

Property Information	ECU Meadowview Parking Expansion		
Address	2021 Meadowview Lane		
Tax Map, Group, Parcel	Tax Map 076 Parcel 005.20		
Civil District	13 th Civil District		
Overlay District	Gateway District		
Land Use Designation	Retail/ Commercial		
Acres	+/- .89		
Existing Use	Eastman Credit Union	Existing Zoning	BC
Proposed Use	Eastman Credit Union	Proposed Zoning	BC
Owner/ Applicant Information		Intent	
Name: Ben Jenkins Address: 130 Regional Park Drive City: Kingsport State: TN Zip Code: 37660 Email: ben@grcinc.com Phone Number: (423)-349-7760		Intent: <i>To receive Gateway approval for a BC zone parking lot expansion project for the Meadowview Eastman Credit Union.</i>	
Planning Department Recommendation			
<p>(Approve, Deny, or Defer)</p> <p>The Kingsport Planning Division recommends plan approval for the following reasons:</p> <ul style="list-style-type: none"> The submitted plans meet the requirements of the Gateway overlay in the BC zone. The development is scheduled for Planning Commission approval on June 19, 2025. <p>Staff Field Notes and General Comments:</p> <ul style="list-style-type: none"> The site plan displays all necessary information and will add 35 additional parking spaces to the development. The grading plan demonstrates minimal disturbance to the area, conforming to the gateway standards. The drainage plan demonstrates proper runoff and the area will still maintain adequate open space as required by the gateway standard. The Landscape Specialist has approved the landscape plan, which will add four additional trees to the area and will be straw/seeded following construction. One singular light pole will be relocated to a new position within the project area, as shown on the site plan, the light pole will be of the same design as all pre-existing light poles on the property. The new location will not have any light pollution impact on any adjacent parcel. <ul style="list-style-type: none"> A formal utility plan was not needed for this development. <p>Staff recommends granting Gateway for the ECU parking lot expansion project based on the projects conformance to the gateway standards.</p>			
Planner: Samuel Cooper		Date: 6/20/2025	
Gateway Commission Action		Meeting Date	6/20/2025
Approval:			
Denial:		Reason for Denial:	
Deferred:		Reason for Deferral:	

ECU Parking Expansion Site Map

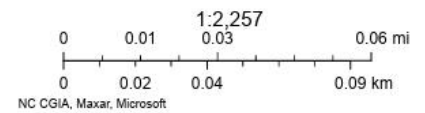


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Sullivan County Parcels Jan 2023

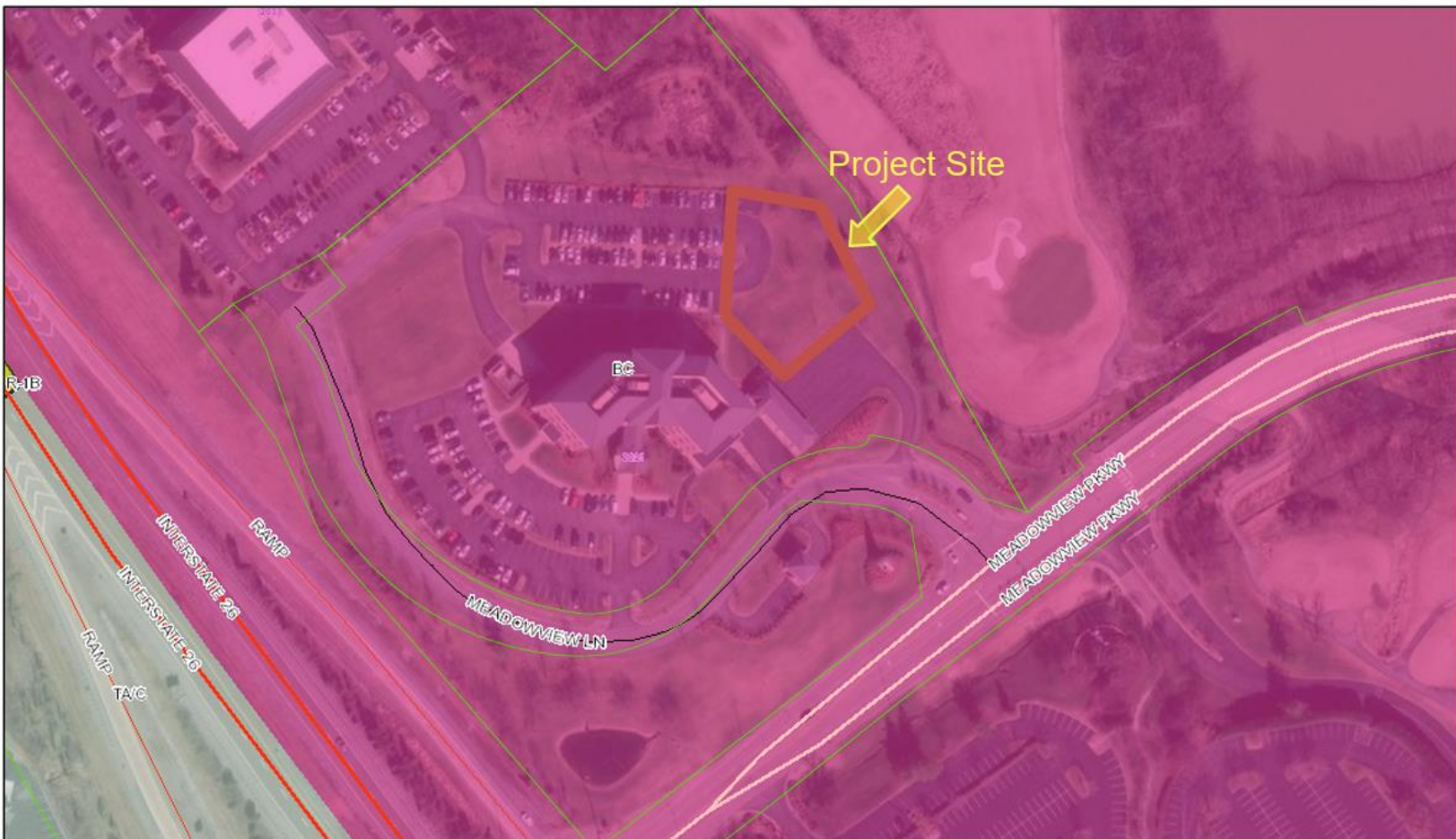
Parcels
Streets
Interstate

Expressway	Collector Street	Ramp
Major Arterial	Local Street	Urban Growth Boundary
Minor Arterial	Private Street	Kpt 911 Address



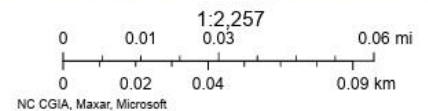
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ECU Parking Expansion Zoning - BC, Business Conference Center District



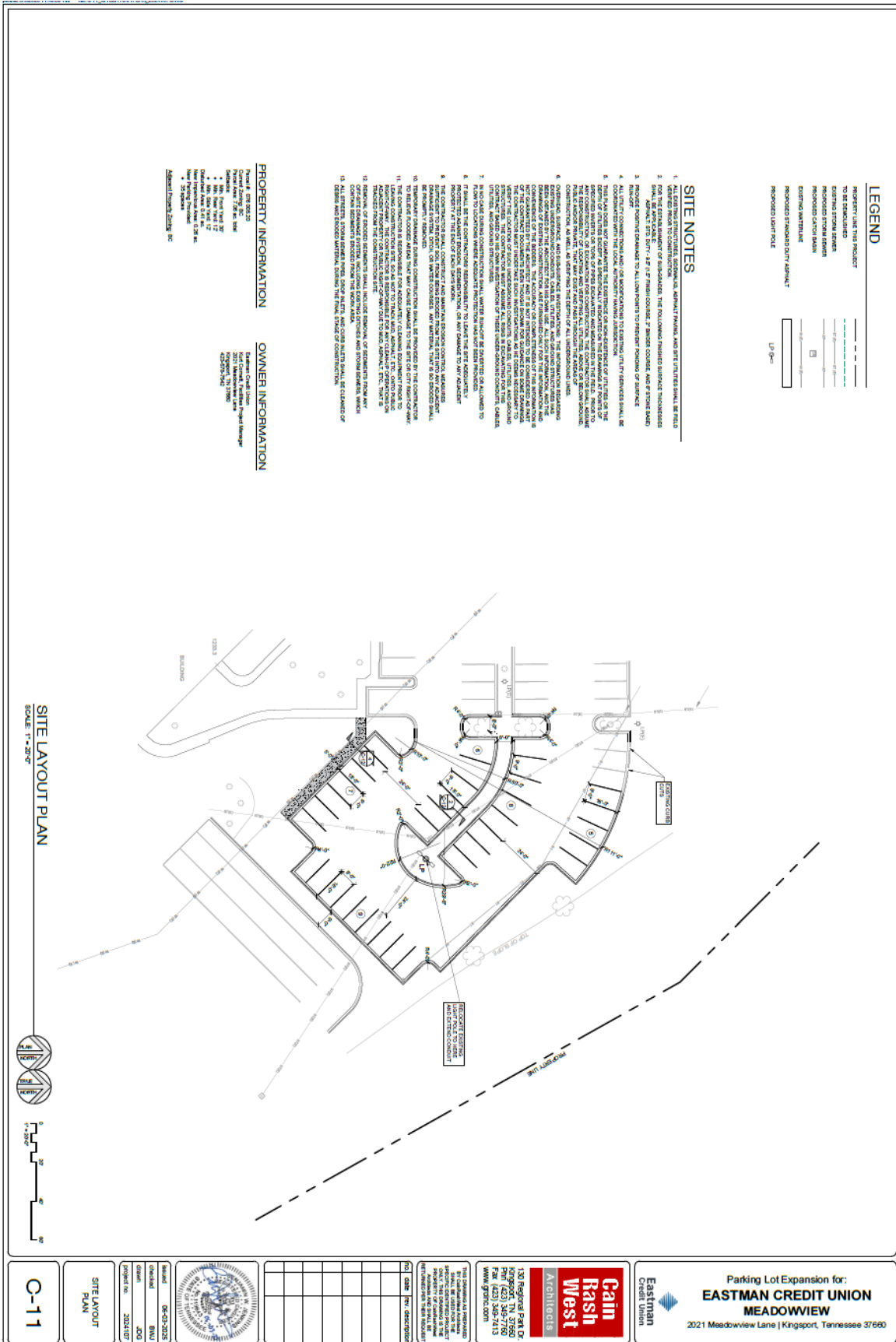
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Sullivan County Parcels Jan 2023	A-1	B-4	M-2	PMD-1	R-1C	TA	Minor Arterial
City Zoning	A-2	B-4P	MX	PMD-2	R-2	TA-C	Collector Street
<Null>	AR	B-4P	P-1	PUD	R-3	UAE	Local Street
TA/C	B-1	BC	P-D	PVD	R-3A	Streets	Private Street
R-5	B-2	GC	PBD-3	R-1	R-3B	Interstate	Ramp
GC	B-3	M-1	PBD*	R-1A	R-4	Expressway	Urban Growth Boundary
B-2E	B-3	M-1R	PD	R-1B	Spilt	Major Arterial	Kpt 911 Address

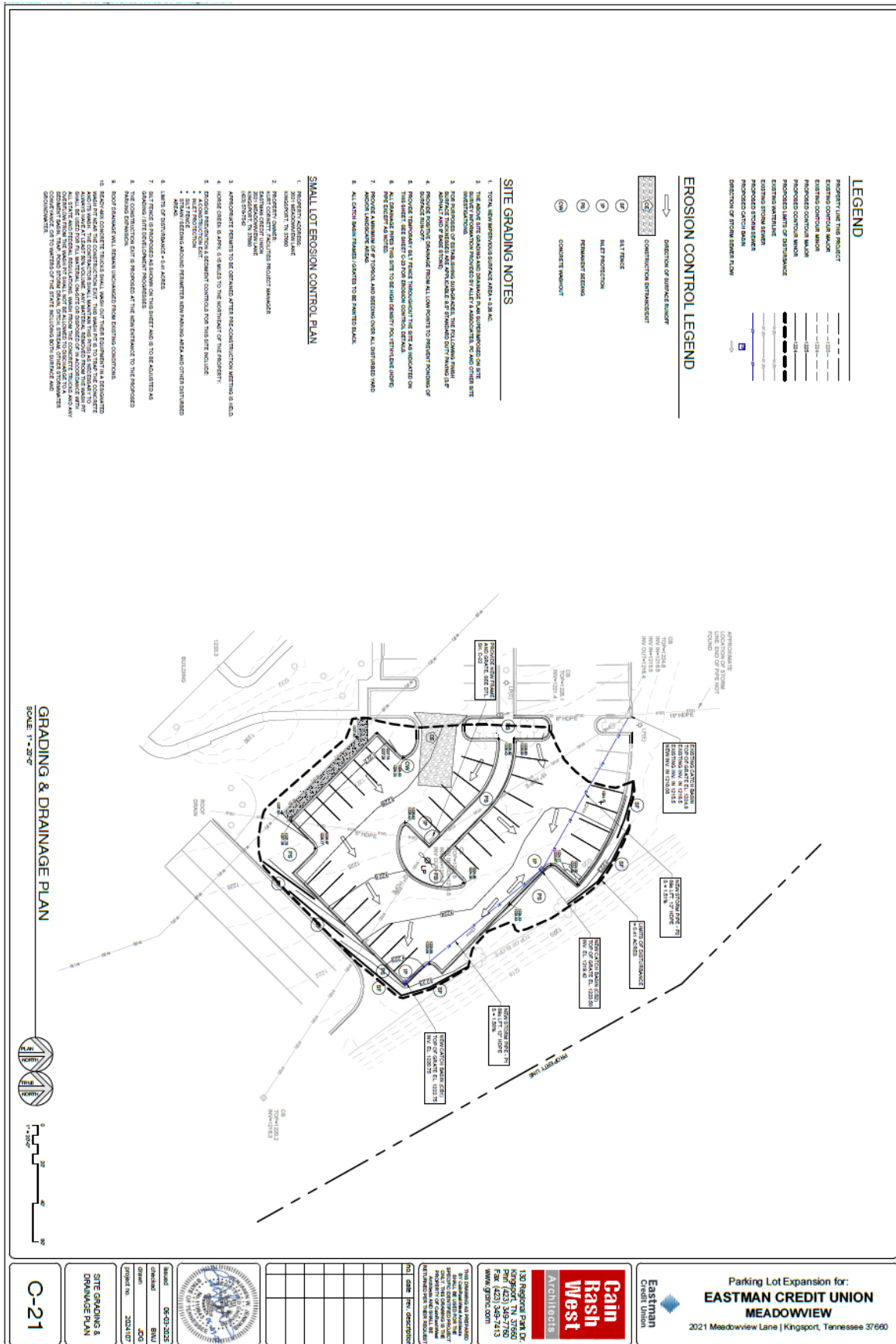


Web AppBuilder for ArcGIS

Zoning Development Plan



Grading & Drainage Plan



LANDSCAPE LEGEND

SEE ALSO SITE PLAN FOR ADDITIONAL LANDING DETAILS AND BROWN TREE STREET

PROPERTY LINE (THIS PROJECT)

PROPERTY LINE (OTHER)

NEW SIDEWALK

EXISTING SIDEWALK

NEW SIDEWALK

EXISTING SIDEWALK

EXISTING TREE TO REMAIN

NEW PLANTING TREE

NEW PLANTING TREE (REPLACEMENT QUANTITY)

EXISTING LIGHTING POLE

EXISTING LIGHT POLE TO BE RELOCATED

EXISTING CATCH BASIN

NEW CATCH BASIN

EXISTING TREE TO REMAIN

NEW PLANTING TREE

NEW PLANTING TREE (REPLACEMENT QUANTITY)

EXISTING LIGHTING POLE

EXISTING LIGHT POLE TO BE RELOCATED

EXISTING CATCH BASIN

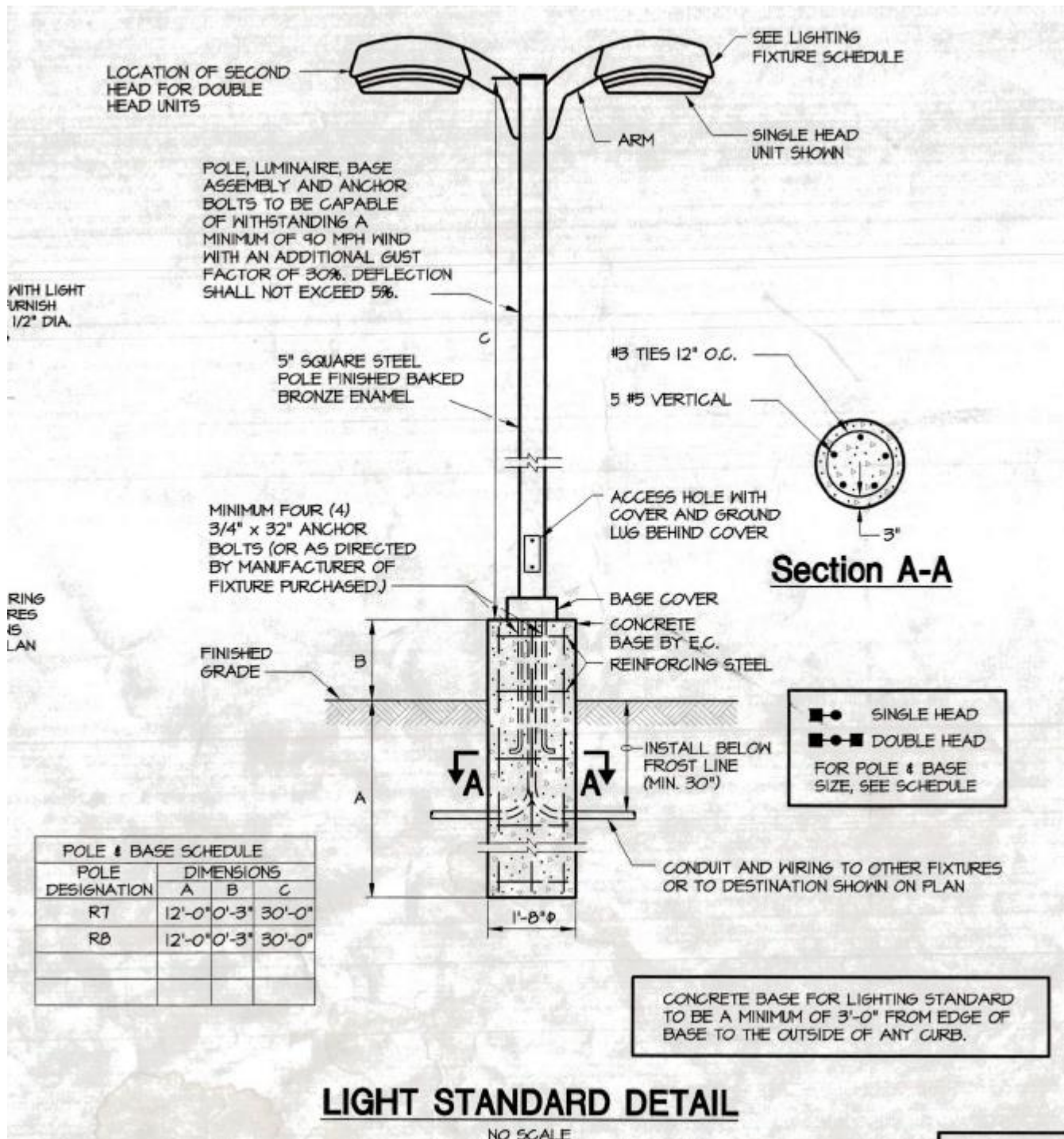
NEW CATCH BASIN

PLANTING SCHEDULE

NO.	PLANTING SCHEDULE	PLANTING QUANTITY	PLANTING DATE	PLANTING TYPE
1	NEW PLANTING TREE	1	2024	NEW
2	NEW PLANTING TREE	1	2024	NEW
3	NEW PLANTING TREE	1	2024	NEW
4	NEW PLANTING TREE	1	2024	NEW
5	NEW PLANTING TREE	1	2024	NEW
6	NEW PLANTING TREE	1	2024	NEW
7	NEW PLANTING TREE	1	2024	NEW
8	NEW PLANTING TREE	1	2024	NEW
9	NEW PLANTING TREE	1	2024	NEW
10	NEW PLANTING TREE	1	2024	NEW
11	NEW PLANTING TREE	1	2024	NEW
12	NEW PLANTING TREE	1	2024	NEW
13	NEW PLANTING TREE	1	2024	NEW
14	NEW PLANTING TREE	1	2024	NEW
15	NEW PLANTING TREE	1	2024	NEW
16	NEW PLANTING TREE	1	2024	NEW
17	NEW PLANTING TREE	1	2024	NEW
18	NEW PLANTING TREE	1	2024	NEW
19	NEW PLANTING TREE	1	2024	NEW
20	NEW PLANTING TREE	1	2024	NEW
21	NEW PLANTING TREE	1	2024	NEW
22	NEW PLANTING TREE	1	2024	NEW
23	NEW PLANTING TREE	1	2024	NEW
24	NEW PLANTING TREE	1	2024	NEW
25	NEW PLANTING TREE	1	2024	NEW
26	NEW PLANTING TREE	1	2024	NEW
27	NEW PLANTING TREE	1	2024	NEW
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29	NEW PLANTING TREE	1	2024	NEW
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70	NEW PLANTING TREE	1	2024	NEW
71	NEW PLANTING TREE	1	2024	NEW
72	NEW PLANTING TREE	1	2024	NEW
73	NEW PLANTING TREE	1	2024	NEW
74	NEW PLANTING TREE	1	2024	NEW
75				

Architectural Plans

LIGHTING FIXTURE SCHEDULE							
TYPE	MANUFACTURER	CATALOG NO.	LAMPS	MOUNTING	FINISH	REMARKS	FIXTURE DESCRIPTION
R7	GARDCO	618-2-3XL-400MH-2TI-BRP	2-400W MH	POLE MOUNTED	BRONZE	PULSE START, ONE FIXTURE OPERATES AT 208V/1Ø	POLE MOUNTED METAL HALIDE FIXTURE ON SQUARE STRAIGHT STEEL POLE PAINTED BRONZE, GULLING STYLE FIXTURE HEAD.
R8	GARDCO	618-14-3XL-400MH-2TI-BRP	1-400W MH	POLE MOUNTED	BRONZE	PULSE START	POLE MOUNTED METAL HALIDE FIXTURE ON SQUARE STRAIGHT STEEL POLE PAINTED BRONZE, GULLING STYLE FIXTURE HEAD.
R10	GARDCO	DF1-C-VFL-150MH-2TI-BRP	1-150W MH	CONDUIT	BRONZE	USE FIXTURE INSERT TO SET CONDUIT STUBUPS	FLOODLIGHT WITH DIE-CAST ALUMINUM HOUSING, TEMPERED GLASS LENS, PULSE-START LAMP
R11	GARDCO	DF1-HRO-NSP-250MH-2TI-BRP	1-250W MH	ROOF MOUNTED	BRONZE	SEAL CONDUIT PENETRATION AT ROOF	FLOODLIGHT WITH DIE-CAST ALUMINUM HOUSING, TEMPERED GLASS LENS, PULSE-START LAMP
Z4	STONCO	6400EV5-120	PAR64	CONCRETE PAD	ALUMINUM	UL LISTED FOR WET LOCATIONS. MUST BE MOUNTED ON CONCRETE PAD WITH SUITABLE BARRIER OR SPACING BETWEEN HOUSING AND PAD TO	SPOTLIGHT WITH ALUMINUM HOUSING, GASKETED LENS AND ADJUSTABLE ARM



Northern Property View



Southern Property View



Recommendation

Staff recommends granting gateway approval for the ECU parking lot expansion project based on the projects conformance to the gateway standards.