

# Kingsport Historic Zoning Commission

Project Number: HISTRC24-0228

<b>Property Information</b>			
<b>Address</b>	1236 Watauga Street		
<b>Tax Map, Group, Parcel</b>	046K E 013.00		
<b>Civil District</b>	11 <sup>th</sup>		
<b>Overlay District</b>	Watauga		
<b>Land Use Plan Designation</b>	Single Family		
<b>Acres</b>	+/- 0.84		
<b>Existing Use</b>	Single Family	<b>Existing Zoning</b>	R-1A
<b>Proposed Use</b>	No Change	<b>Proposed Zoning</b>	No change
<b>Owner Information</b>			
<b>Name:</b> Jay (James) Foster <b>Address:</b> 1236 Watauga Street <b>City:</b> Kingsport <b>State:</b> TN <b>Zip Code:</b> 37660 <b>Email:</b> <b>Phone Number:</b> 919-479-5779 <b>Representative:</b> Marvin Egan		<b>Request:</b> <ul style="list-style-type: none"> <li>▪ <b>Demo existing shed</b></li> <li>▪ <b>Addition onto existing structure (10x18 ½)</b></li> <li>▪ <b>New accessory structure: Cabana (10x20)</b></li> <li>▪ <b>Privacy Fencing</b></li> </ul>	
<b>Points for Consideration</b>			
<p><b>Request:</b> The property owner seeks approval to demolish the existing shed behind the garage, extend the garage toward the rear of the property, and construct a new accessory structure (cabana) within the pool area. Additionally, the owner proposes extending the fencing to match the existing design around the side yard and the front of the pool area, ensuring a seamless connection to the rear of the house. The fencing will maintain a consistent aesthetic, with sections measuring 6 feet and 4 feet in height.</p> <p><b>When considering this request:</b> New additions to historic dwellings should be constructed and designed in a manner that maintains the overall character of the original dwelling. The addition should blend with the original design and not obscure or conceal the historic dwelling or its primary features. New additions should be located on rear or side elevations where not visible from the street. It should blend well without duplicating the original form, material, style, wall plane, or roofline. New accessory structures should have the compatible material of the primary dwelling, and should be located in the rear property and a setback distance of at least one-third of the total depth of the dwelling is recommended. Privacy fence will be set back from the main façade by more than one-third of the total depth of the house.</p> <p><b>Board of Zoning Appeals:</b> The applicant has submitted a request for a side yard variance with the Board of Zoning Appeals to address the 0.9-foot side yard on the eastern side of the property. The Board will review the case on March 6, 2025. Staff will provide an update on the matter during the meeting scheduled for March 10, 2025.</p> <p><b>Staff recommends:</b> Approval of the submitted plans based upon compliance with the Historic Guidelines</p>			
Planning Tech:	Lori Pyatte	Date:	02/28/2025
<b>Historic Zoning Commission Action</b>		<b>Meeting Date:</b>	<b>03/10/2025</b>
Approval:			
Denial:		Reason for Denial:	
Deferred:		Reason for Deferral:	

**Historic Guidelines:**

Chapter 10: Guidelines for Relocation and Demolition: (Demolition)

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**GUIDELINES FOR RELOCATION AND DEMOLITION, continued...**

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In most cases the Commission will allow demolition only under the following circumstances:

- 4.0. If a building has lost its architectural and historical integrity and its removal will not adversely affect a district's historic character.
- 5.0. If the denial of the demolition will result in an unreasonable economic hardship on the applicant as determined by the Commission.
- 6.0. If the public safety and welfare requires the removal of a structure or building.
- 7.0. If the structural stability or deterioration of a property is demonstrated through a report by a structural engineer or architect.  
Such a report must clearly detail the property's physical condition, reasons why rehabilitation is not feasible, and cost estimates for future rehabilitation versus demolition. In addition to this report there should be a separate report which details future action on the site.
- 8.0. Property owners are encouraged to work with the Commission and other interested parties to salvage usable architectural features and materials.

## **CHAPTER 6 - NEW RESIDENTIAL CONSTRUCTION**

### **Policy:**

New additions to historic dwellings should be constructed and designed in a manner that maintains the overall character of the original dwellings. The addition should blend with the original design and not obscure or conceal the historic dwelling or its primary features.

### **1.0 ADDITIONS TO PRIMARY DWELLINGS** **DESIGN GUIDELINES FOR NEW ADDITIONS**

#### **1.1 Consider the location, size, and scale of the addition.**

A new addition should never overwhelm the historic dwelling. The window spacing and materials of the new addition should follow those of the original building. Locate new additions on rear or side elevations where not visible from the street.

#### **1.2 Retain historic character.**

Design the addition in a manner compatible with the historic character of the original building, as well as of surrounding buildings in the district. Though the addition should be a discernible wing from the historic building, it should blend well without duplicating the original form, material, style, wall plane, or roofline.

#### **1.3 Porch enclosures may be appropriate.**

If an owner chooses to enclose a porch (or a portion thereof), the floor fascia board and columns shall not be covered, and every effort shall be made to express the original intent of the porch with screen panels.

#### **1.4 The addition of decks on rear elevations may be appropriate.**

Place decks on rear elevations or in other locations that are out of view from the street. Paint and design decks to blend closely with the dwelling. Keep deck designs simple in appearance. If visible from the street, ensure that decks have square balusters set no more than three inches apart and no more than two inches in width and depth.

**Historic Guidelines:**

**Chapter 6: New Residential Construction ( New Accessory Buildings)**

*New Residential Construction*

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**3.0 NEW ACCESSORY BUILDINGS**

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**3.1 Design new garages and other accessory buildings to be compatible with the historic districts.**

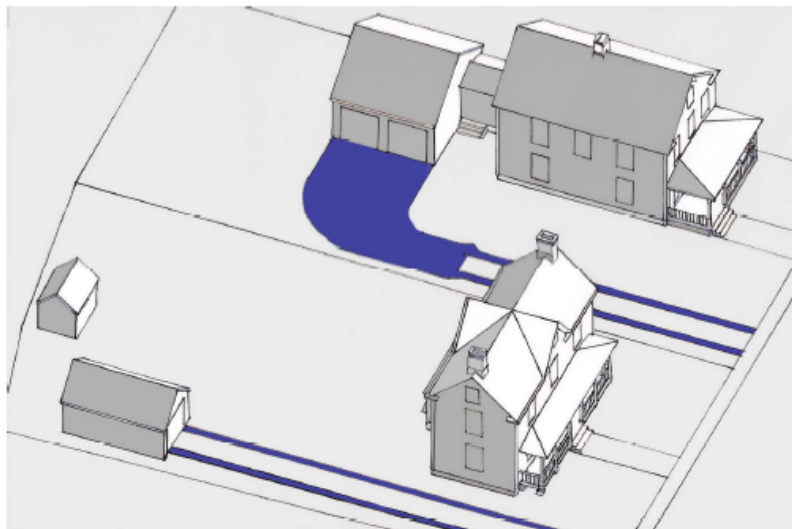
Design new accessory buildings to be compatible with the architectural style and scale of the associated dwelling.

**3.3 New accessory buildings should have compatible materials.**

The exterior finish of attached garages and accessory buildings may be wood, brick or stucco depending on the design and materials of the primary dwelling. An 8:12 pitch is should be a minimum for roofs. Screened landscaping of accessory buildings is also recommended.

**3.3 New accessory buildings shall be sited appropriately on the lot.**

Locate new outbuildings appropriately, such as to the rear of a dwelling or set back from the side elevation of the primary dwelling. The setback distance of at least one-third of the total depth of the dwelling is recommended.



*New garages may be freestanding at the rear or attached via a hypen or breezeway at the rear of dwellings.*

**Historic Guidelines:**

**Chapter 5: Rehabilitation Guidelines for Residential Historic Properties (Site Features/Fences)**

*Rehabilitation Guidelines for Residential Historic Properties*

**DESIGN GUIDELINES FOR SITE FEATURES, continued...**

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**13.3 Traditional fence materials are recommended.**

For front yards wood fences are recommended, but these may also be of wrought iron, metal garden (scallop or square grid) or metal picket. Vinyl and chain link fences are discouraged for front and side yards but may be added along rear lot lines.

**13.4 Privacy fences and hedges may be appropriate.**

For privacy in back yards, wood fences may be installed up to 7' in height or 6' with 2' with a framed lattice top. Wood supports measuring 4" by 4" or metal pipe are recommended. Privacy fences should be set back from the main façade by at least one-third of the total depth of the house. Maintain the fence with regular painting. Living fences, such as hedges or other landscaping, are attractive alternatives to chain-link or privacy fences.



*Appropriate height and design picket fence at 709 Yadkin Street.*

*This appropriate privacy fence at 1154 Watauga Street surrounds the rear yard and is set back from the front of the house.*





# Kingsport Historic Zoning Commission

Project Number: HISTRC24-0228

## Aerial View:



## Google Earth View:



# Kingsport Historic Zoning Commission

Project Number: HISTRC24-0228

## Application:

### HISTORIC ZONING COMMISSION APPLICATION



#### APPLICANT INFORMATION:

Last Name Foster First Jay (James) M.I. \_\_\_\_\_ Date 10/4/24  
Street Address 1236 Watauga St. Apartment/Unit # \_\_\_\_\_  
City Kingsport State TN ZIP 37660  
Phone (919) 749-5779 E-mail Address \_\_\_\_\_

#### PROPERTY INFORMATION:

Tax Map Information \_\_\_\_\_ Tax map: 046K Group: E Parcel: 046 Lot: P14  
013.00  
Street Address 1236 Watauga St. Apartment/Unit # \_\_\_\_\_  
Name of Historic Zone Kingsport Improvement Corp.  
Current Use Residential

#### REPRESENTATIVE INFORMATION:

Last Name Egan First Marvin M.I. \_\_\_\_\_ Date 10/4/24  
Street Address 4648 Old Stage Rd Apartment/Unit # \_\_\_\_\_  
City Kingsport State TN ZIP 37664  
Phone 423-341-0230 E-mail Address office@eganconstruction.com

#### REQUESTED ACTION:

Demo existing garage  
Rebuild in same location  
Paver patio

#### DISCLAIMER AND SIGNATURE

By signing below I state that I have read and understand the conditions of this application and have been notified as to the location, date and time of the meeting in which my application will be reviewed by the Commission. I further state that I am/we are the sole and legal owner(s) of the property described herein or have been appointed by the property owner to serve as a representative for this application and that I am/we are appealing to the Historic Commission.

Signature: [Signature] Date: 10/4/24  
Signed before me on this 4th day of October, 2024,

a notary public for the State of Tennessee  
County of Sullivan

Notary [Signature]  
My Commission Expires August 28, 2028

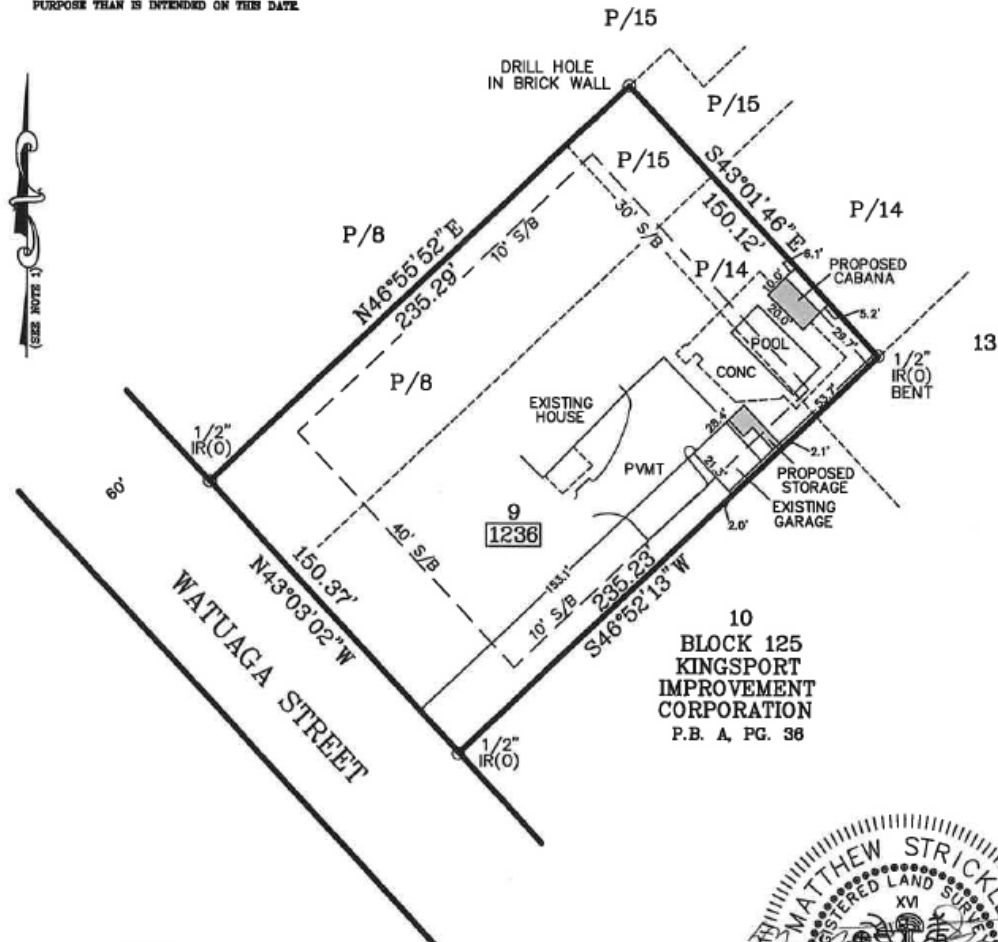


# Kingsport Historic Zoning Commission

Project Number: HISTRC24-0228

## Survey:

© COPYRIGHT ALLEY & ASSOCIATES, INC. 2025  
THIS MAP CAN NOT BE USED FOR ANY OTHER  
PURPOSE THAN IS INTENDED ON THIS DATE



### LEGEND

IR(O) IRON ROD, OLD  
P.B. PLAT BOOK  
PG. PAGE  
P/MT PAVEMENT  
S/B SETBACK  
CONC CONCRETE



### NOTES:

- 1) NORTH BASED ON TENNESSEE STATE PLANE 4100.
- 2) SETBACKS TO CONFORM TO ZONING DESIGNATION
- 3) THIS IS TO CERTIFY THAT I HAVE CONSULTED THE FEDERAL FLOOD INSURANCE ADMINISTRATION BOUNDARY MAP 47163C0045D EFFECTIVE DATE SEPTEMBER 29, 2006 AND FOUND THAT THE ABOVE PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA.
- 4) I HEREBY CERTIFY THAT THIS IS A CATEGORY I SURVEY AND THE RATIO OF PRECISION IS BETTER THAN 1:10,000.
- 5) THIS SURVEY WAS DONE IN COMPLIANCE WITH THE CURRENT TENNESSEE MINIMUM STANDARDS OF PRACTICE.
- 6) THIS SURVEY IS SUBJECT TO ANY AND ALL SERVITUDES, EASEMENTS COVENANTS, OR RESTRICTIONS EITHER WRITTEN OR UNWRITTEN.

**ALLEY & ASSOCIATES, INC.**

422 E Market Street

Kingsport, Tennessee 37660

E-mail: mstrickler@alleyassociates.com

LOT 9, PART OF LOTS 8, 14 & 15, BLOCK 125  
MAP OF: KINGSFORT IMPROVEMENT CORPORATION

OWNER: JAMES FOSTER and wife, KATHLEEN FOSTER

CIVIL DISTRICT: 11TH COUNTY: SULLIVAN

STATE: TENNESSEE TAX MAP 46K "E" PARCEL 013.00

SCALE: 1 INCH = 80' DATE: AUGUST 30, 2024

REFERENCE: PLAT BOOK A, PAGE 36

24-13543

FB/PG: N/A

FOR: BUILDING PERMIT

\*\*\*ADDED PROPOSED GARAGE & CABANA FEB. 19, 2025\*\*\*



**Kingsport Historic Zoning Commission**

**Project Number: HISTRC24-0228**

**Site Visit Photos:**

**Storage Shed**



Storage shed at the rear of the garage—requested for demolition and removal.



A photo of the storage shed taken from the driveway, facing the existing garage.

**Kingsport Historic Zoning Commission**

**Project Number: HISTRC24-0228**

**Site Visit Photos:**

**Garage**



The existing garage will be restored, with an addition extending on the west side toward the pool area.



Side view of the existing garage facing the road—no changes planned for this side facing Watauga, except for window replacements.



## Kingsport Historic Zoning Commission

Project Number: HISTRC24-0228

### Site Visit Photos:

#### Fencing



Existing fencing at 1236 Watauga Street—set to be removed and replaced.



A photo of the approved fencing, approved in November 2024, which will replace the existing pool fencing.





AS BUILT - FRONT VIEW  
NOT TO SCALE



PROPOSED FRONT VIEW  
NOT TO SCALE



2D FLOOR PLAN  
NOT TO SCALE



PROPOSED BACK VIEW  
NOT TO SCALE

Layout Page Table		
Label	Title	DescriptionComments
1	COVER	
2	AS BUILT DESIGN	
3	PROPOSED GARAGE DESIGN	
4	PROPOSED CABANA AND ELEVATIONS	
5	GARAGE ELEVATIONS	
6	ROOF PLANS FOR GARAGE AND CABANA	
7	GROUPED TYPICALS	

**GENERAL NOTES:**

THE BUILDER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH INTERNATIONAL BUILDING CODES AND LOCAL CODES.

WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND GENERAL NOTES. THE ENGINEER/DESIGNER SHALL BE CONSULTED FOR CLARIFICATION IF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN, IF DISCREPANCIES ARE FOUND IN THE PLANS OR NOTES, OR IF A QUESTION ARISES OVER THE INTENT OF THE PLANS OR NOTES. CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS).

PLEASE SEE ADDITIONAL NOTES CALLED OUT ON OTHER SHEETS.

**BUILDING PERFORMANCE:**

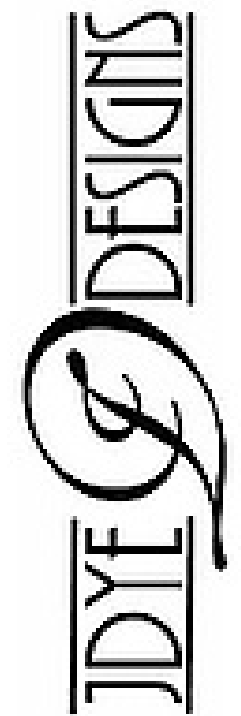
HEAT LOSS CALCULATIONS SHALL COMPLY WITH THE REQUIREMENTS OF REGIONAL AND LOCAL CODES. SEE CALCULATIONS. PORCHES, DECKS, FOUNDATION, FIREPLACE ENCLOSURES, AND GARAGE AREAS NOT INCLUDED IN LIVING AREA. ALL EXHAUST FANS TO BE VENTED DIRECTLY TO THE EXTERIOR. ALL PENETRATIONS OF THE BUILDING ENVELOPE SHALL BE SEALED WITH CAULK OR FOAM.

STRUCTURAL ENGINEER (IF REQUIRED): \_\_\_\_\_  
DESIGNER: \_\_\_\_\_  
BUILDER: \_\_\_\_\_

HOMEOWNER & CONTRACTOR: TO VERIFY ALL DIMENSIONS, STRUCTURAL DETAILS, AND BUILDING CODES, AND GRADE REQUIREMENTS.

ALL RENDERINGS ARE FOR INSPIRATION PURPOSES ONLY AND ARE NOT GUARANTEED TO LOOK LIKE THE FINAL DESIGN

To the best of my knowledge these plans are drawn to comply with owner's and/ or builder's specifications and any changes made on them after prints are made will be done at the owner's and / or builder's expense and responsibility. The contractor shall verify all dimensions and enclosed drawing. J DYE DESIGNS, LLC. is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan to avoid mistakes, the maker can not guarantee against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible thereafter.



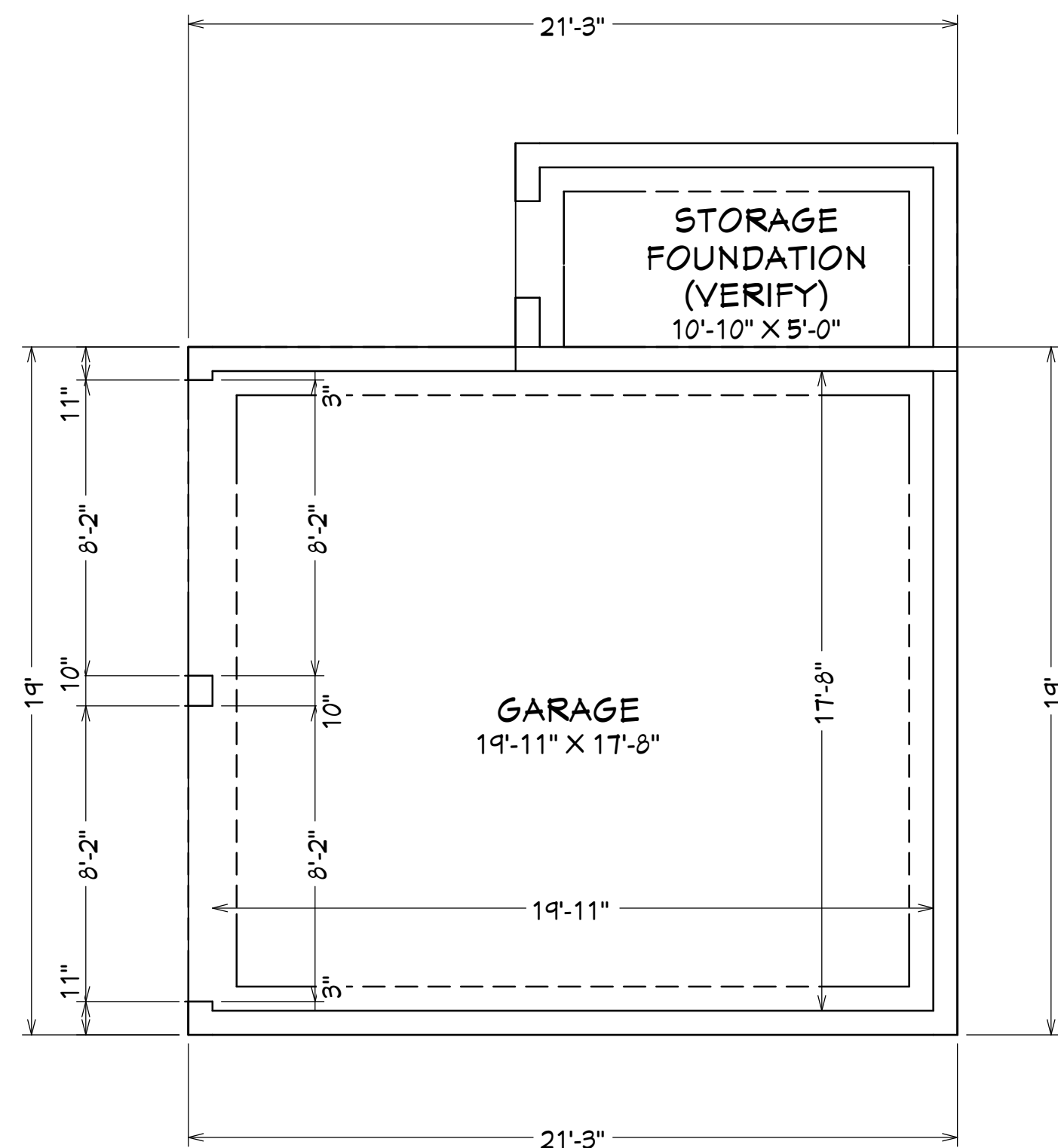
**Jessica Dye**  
P.O. Box 19174, Abingdon, VA 24212  
(276) 411-4032  
jdyledesigns@outlook.com

COVER

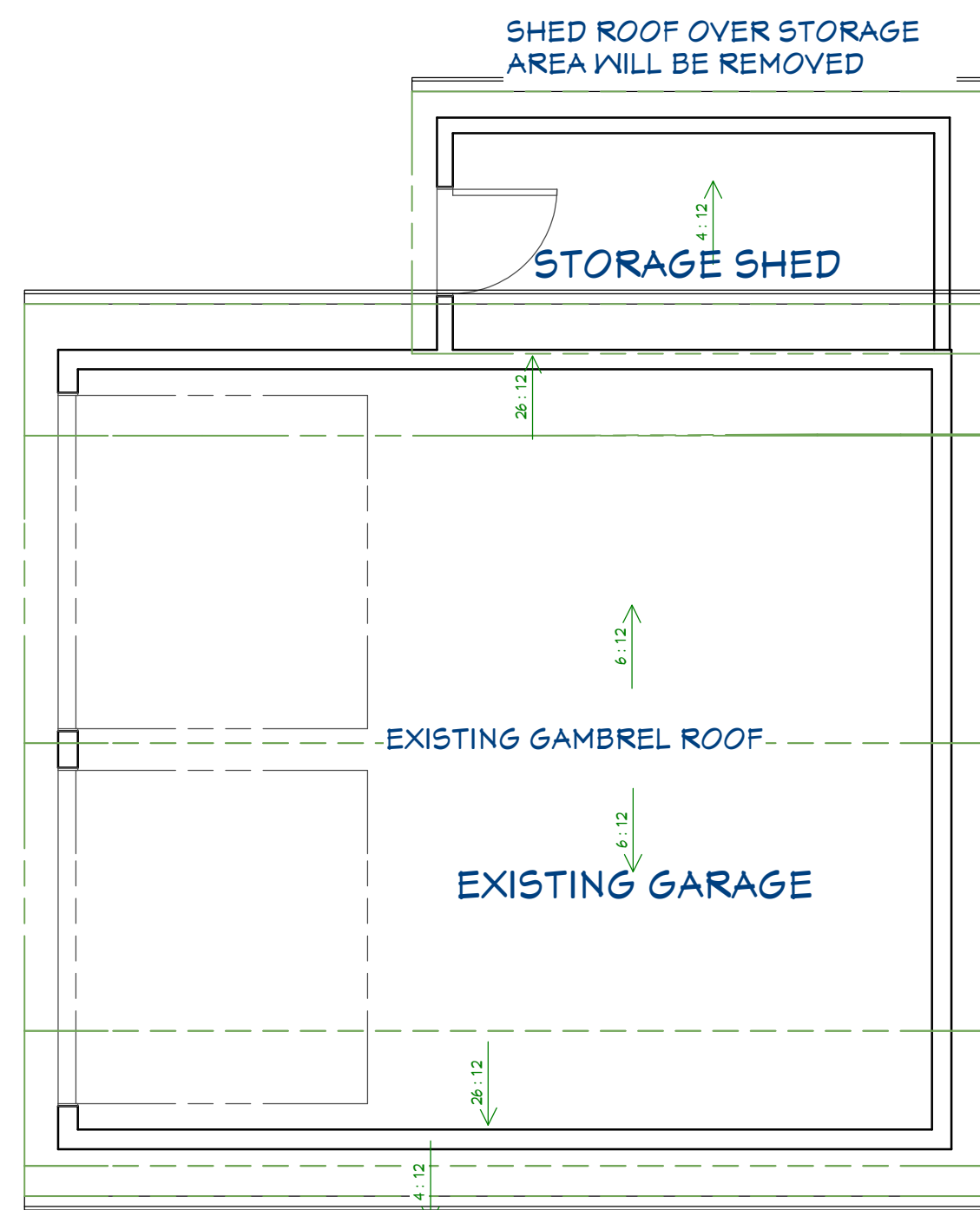
FOSTER PROJECT  
1236 WATAUGA STREET  
KINGSPORT, TN

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02/05/2025  
SCALE:  
1/4" = 1'  
SHEET:  
1

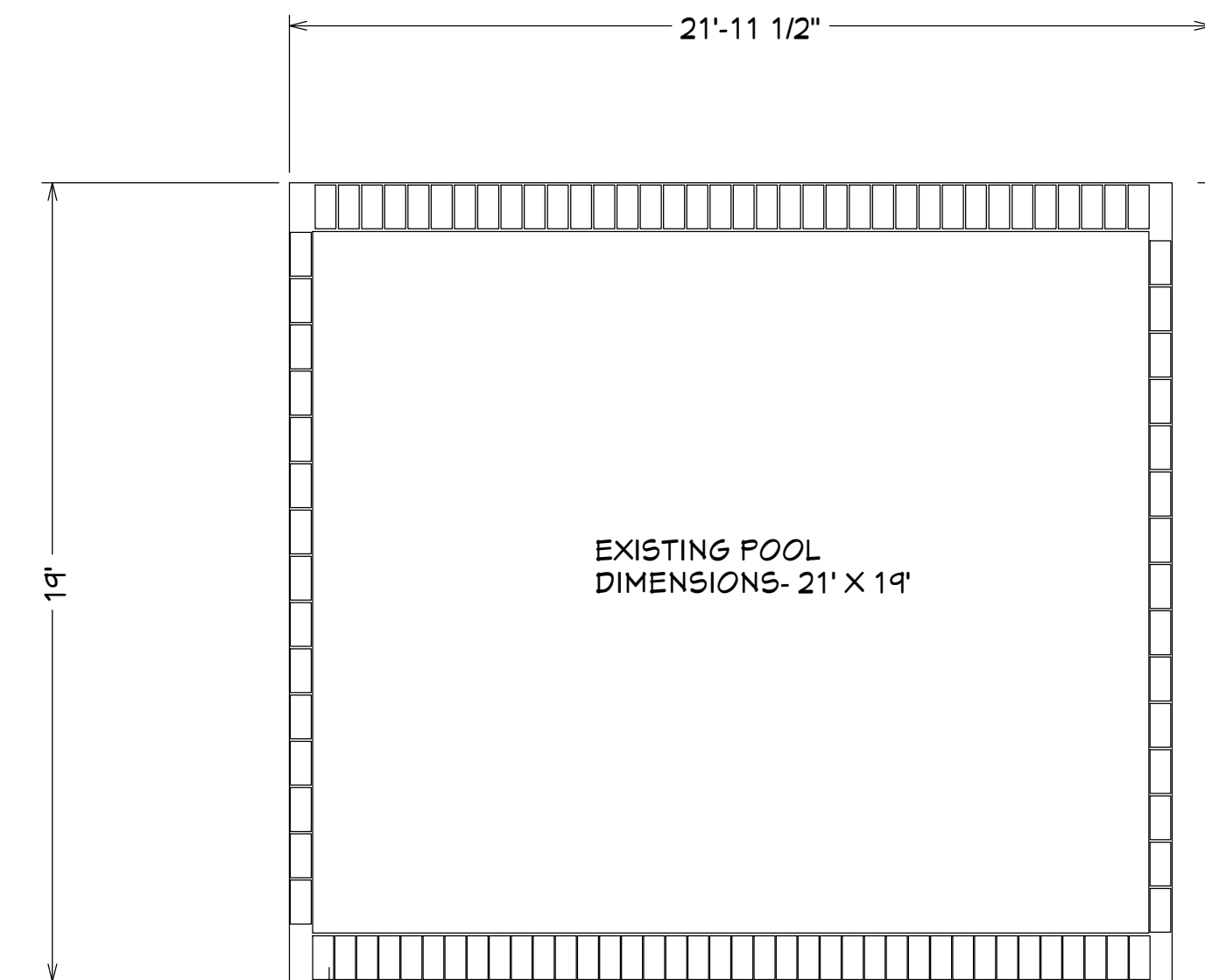




AS BUILT- FOUNDATION PLAN  
SCALE: 1/4" = 1'



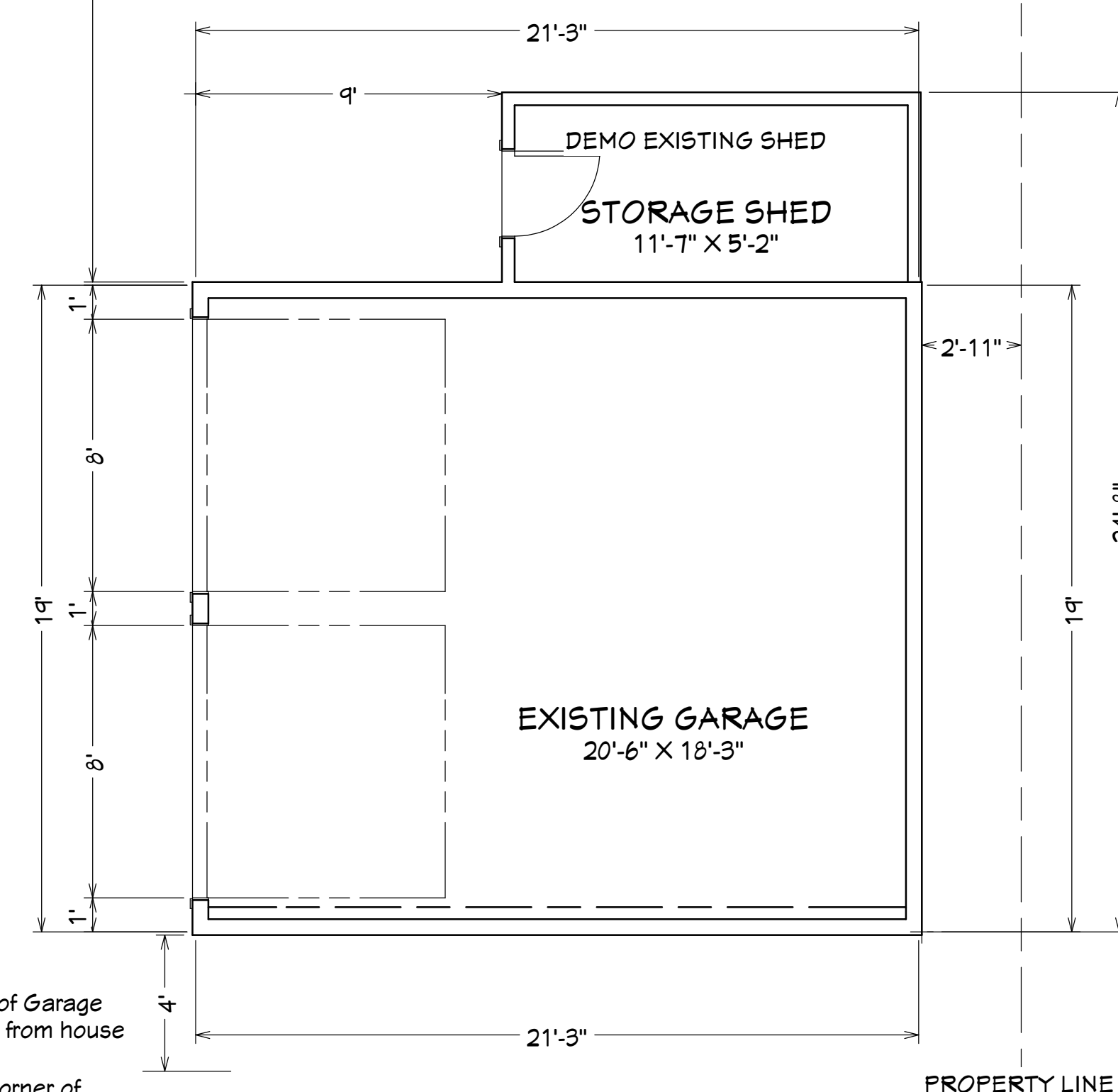
AS BUILT- ROOF PLAN  
SCALE: 1/4" = 1'



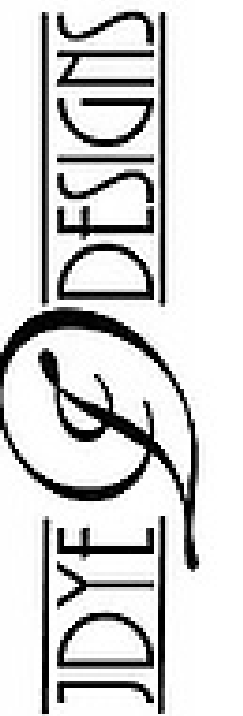
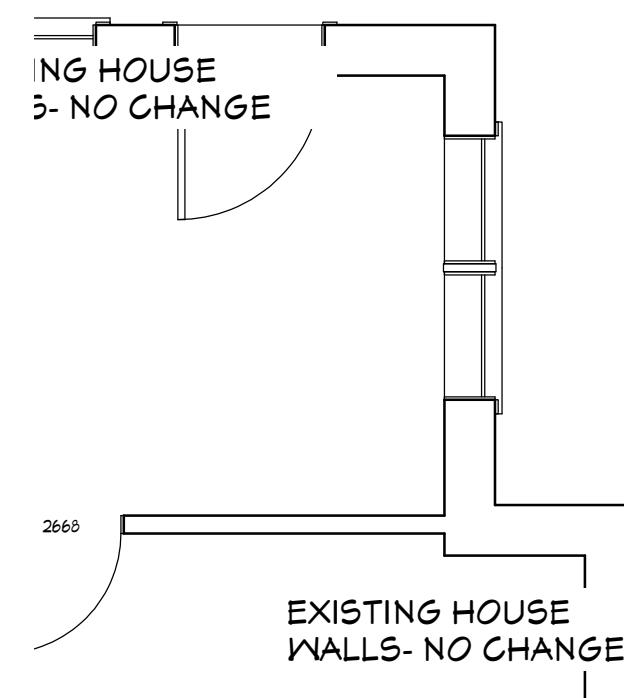
EXISTING FENCE

23'-6" FROM POOL EDGE TO GARAGE CORNER

PROPERTY LINE



AS BUILT- FLOOR PLAN  
SCALE: 1/4" = 1'



Jessica Dye  
P.O. Box 19174, Abingdon, VA 24212  
(276) 411-4032  
jdyledesigns@outlook.com

AS BUILT  
GARAGE  
DESIGN

FOSTER PROJECT  
1236 WATAUGA STREET  
KINGSPORT, TN

DATE:

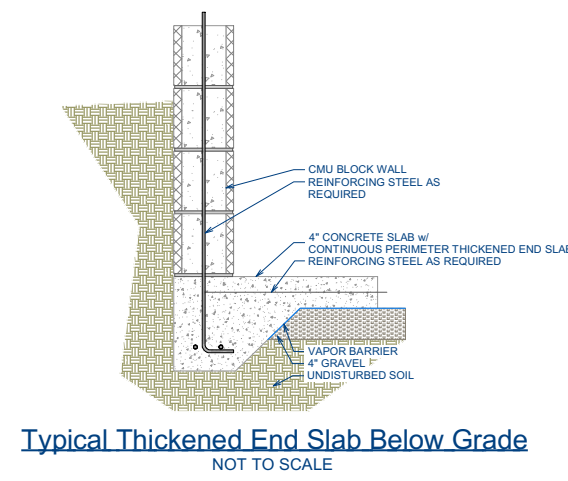
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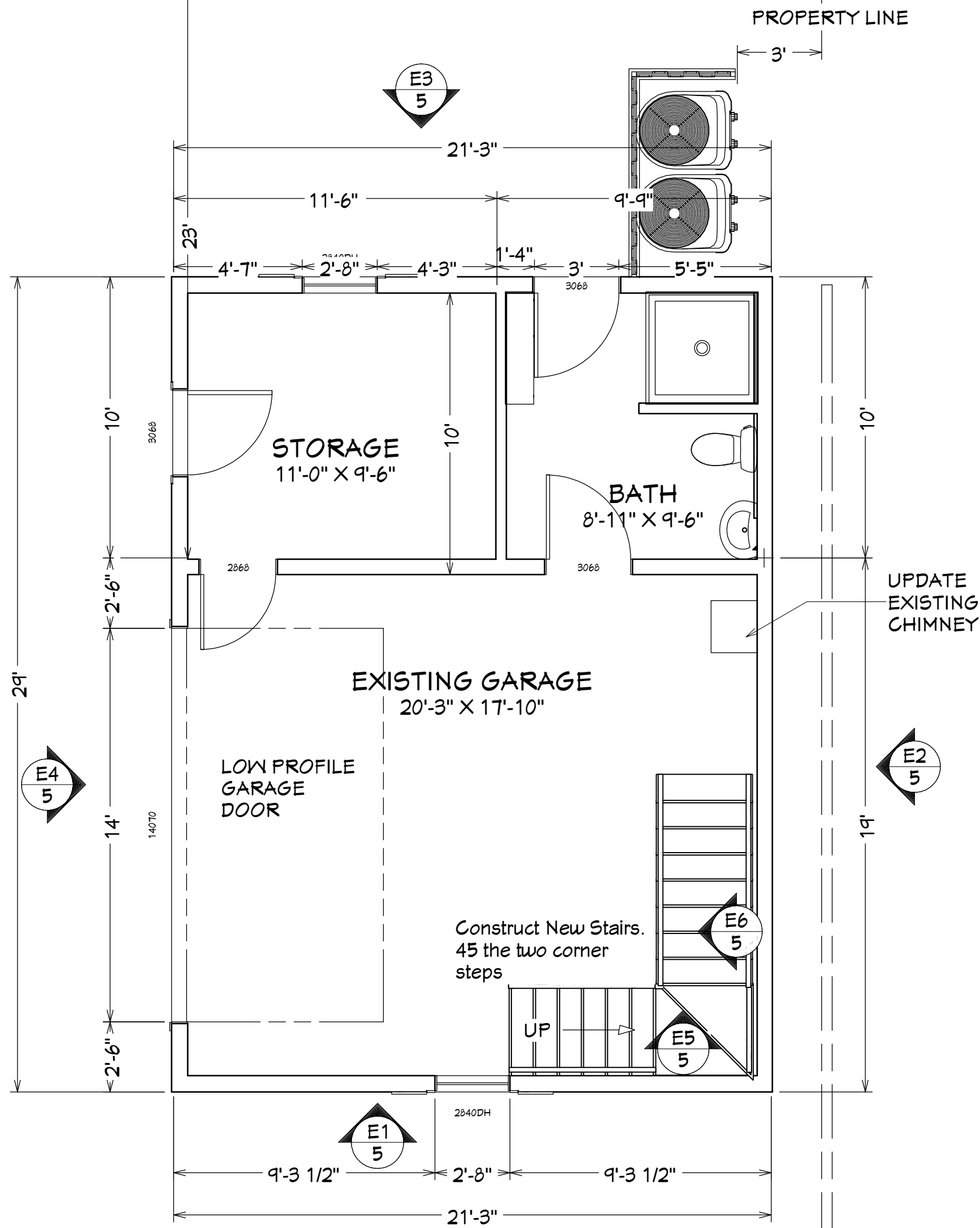
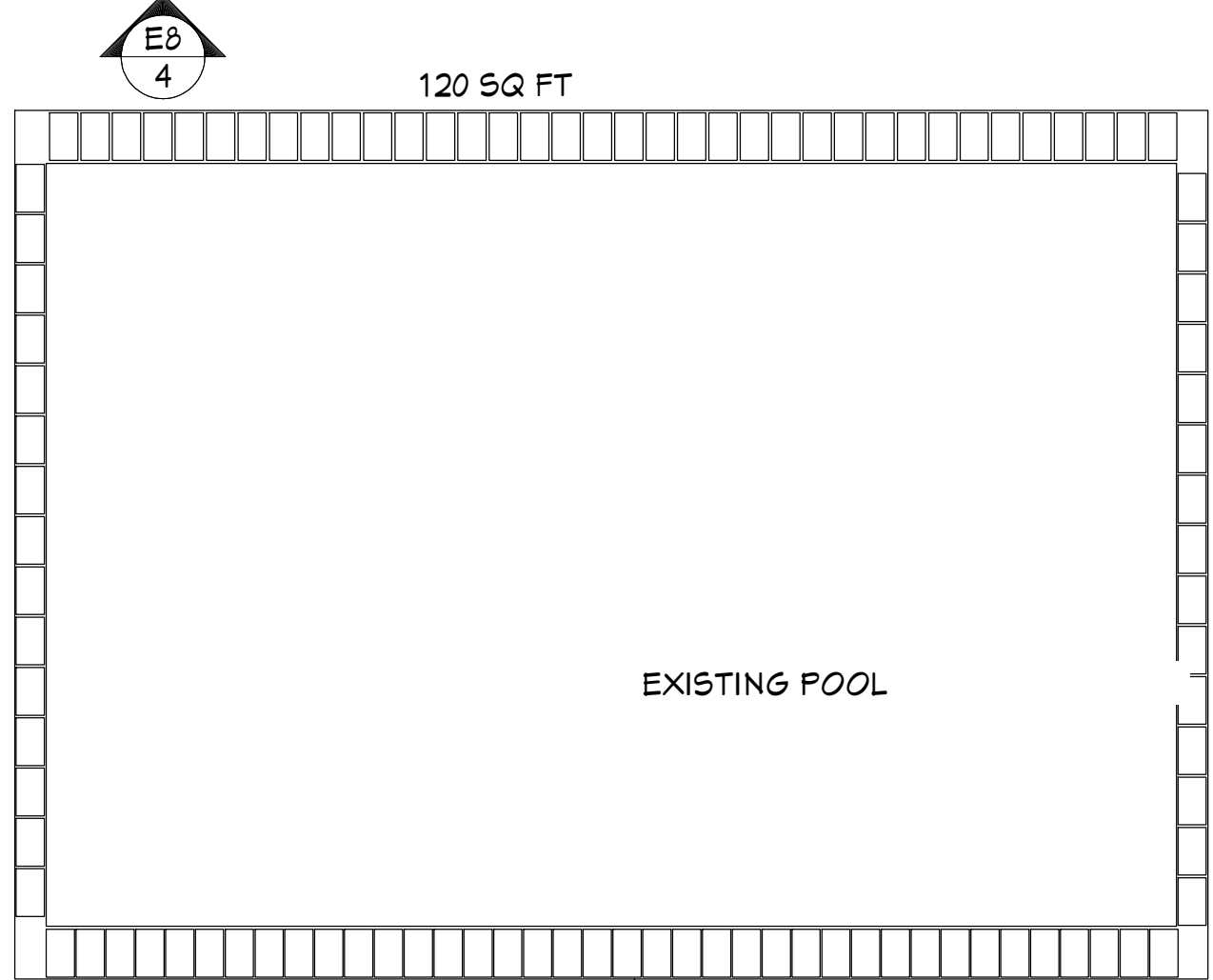
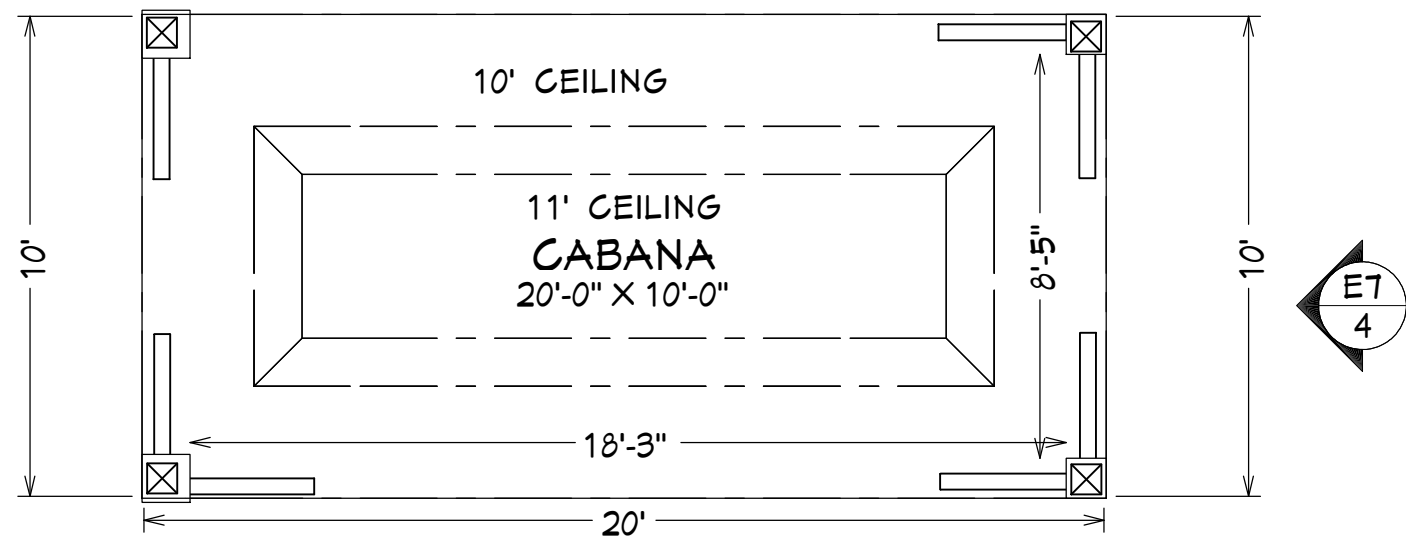
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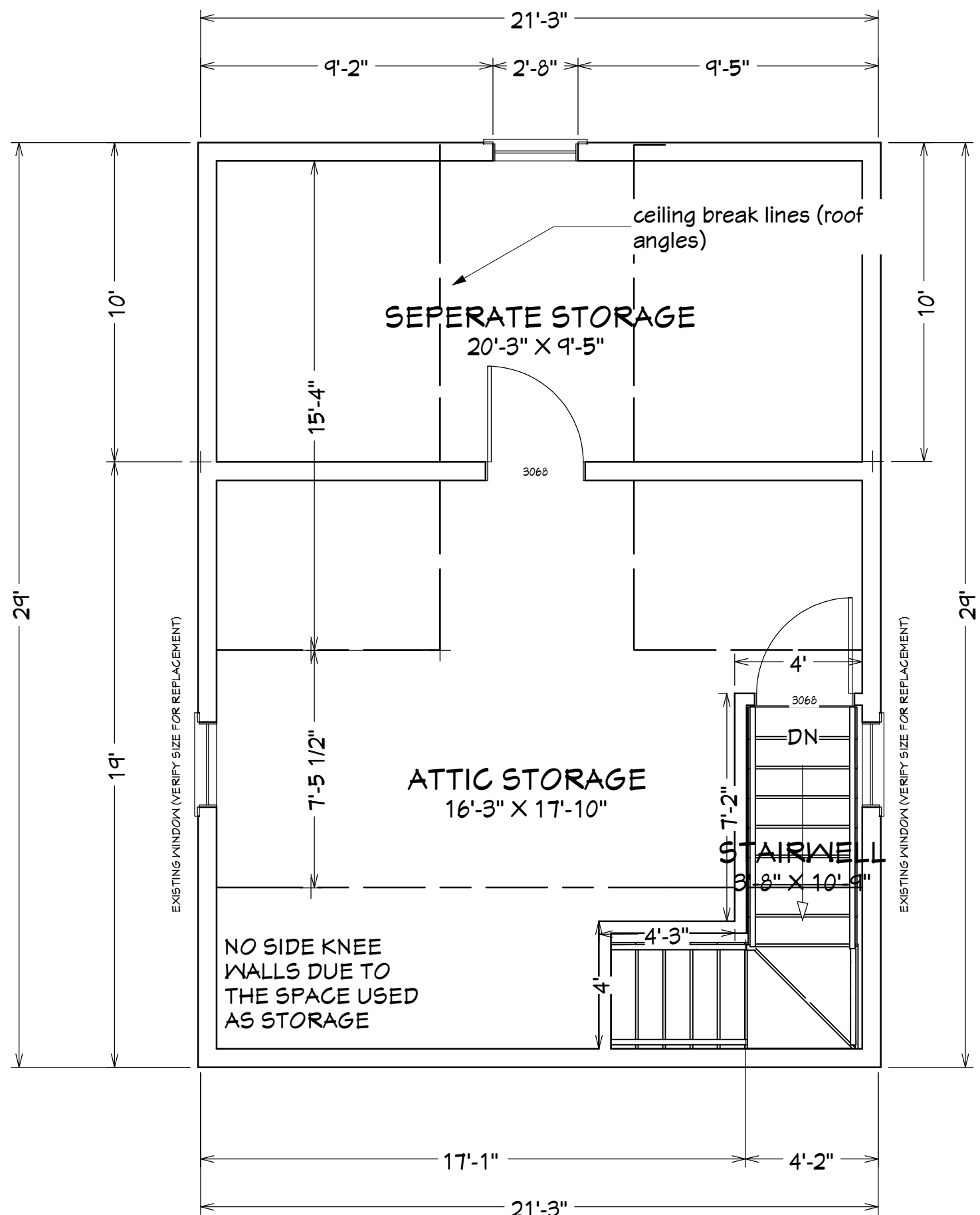
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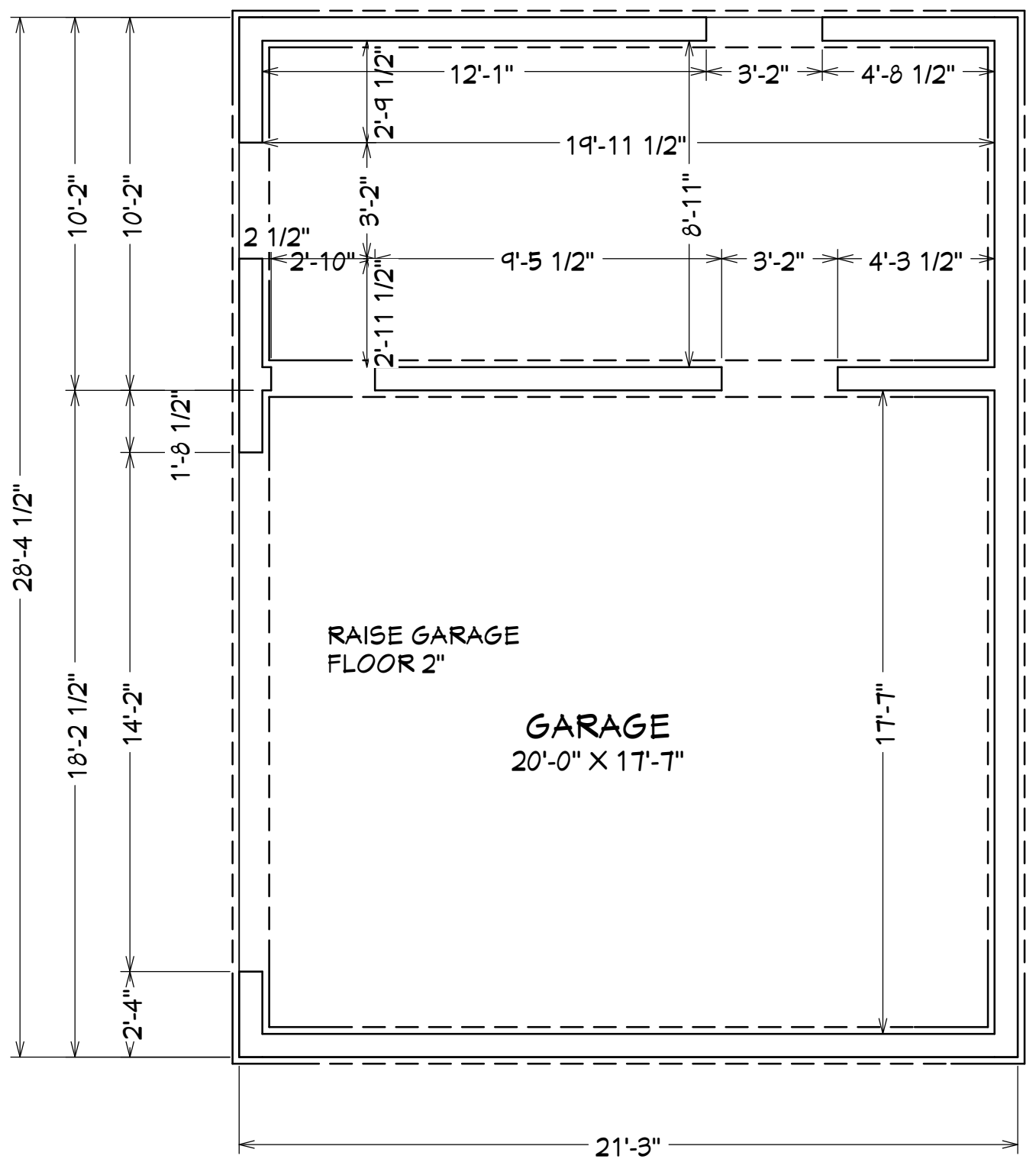
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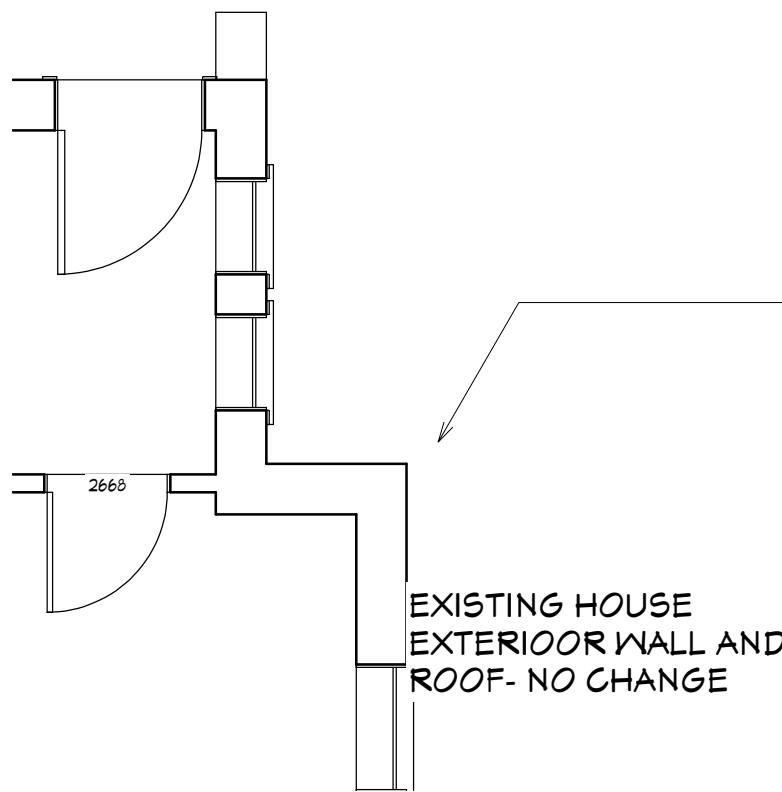
LEVEL 1: FLOOR PLAN  
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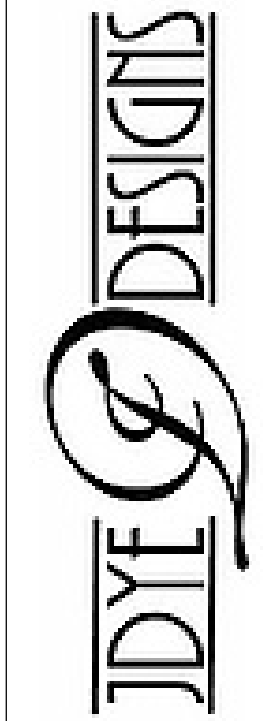
LEVEL 2: FLOOR PLAN  
SCALE: 1/4" = 1'



FOUNDATION PLAN  
SCALE: 1/4" = 1'



Front Corner of Garage  
sets back 48" from house  
corner



Jessica Dye  
P.O. Box 19174, Abingdon, VA 24212  
(276) 411-4032  
jdyledesigns@outlook.com

PROPOSED  
GARAGE DESIGN

FOSTER PROJECT  
1236 WATAUGA STREET  
KINGSPORT, TN

DATE:

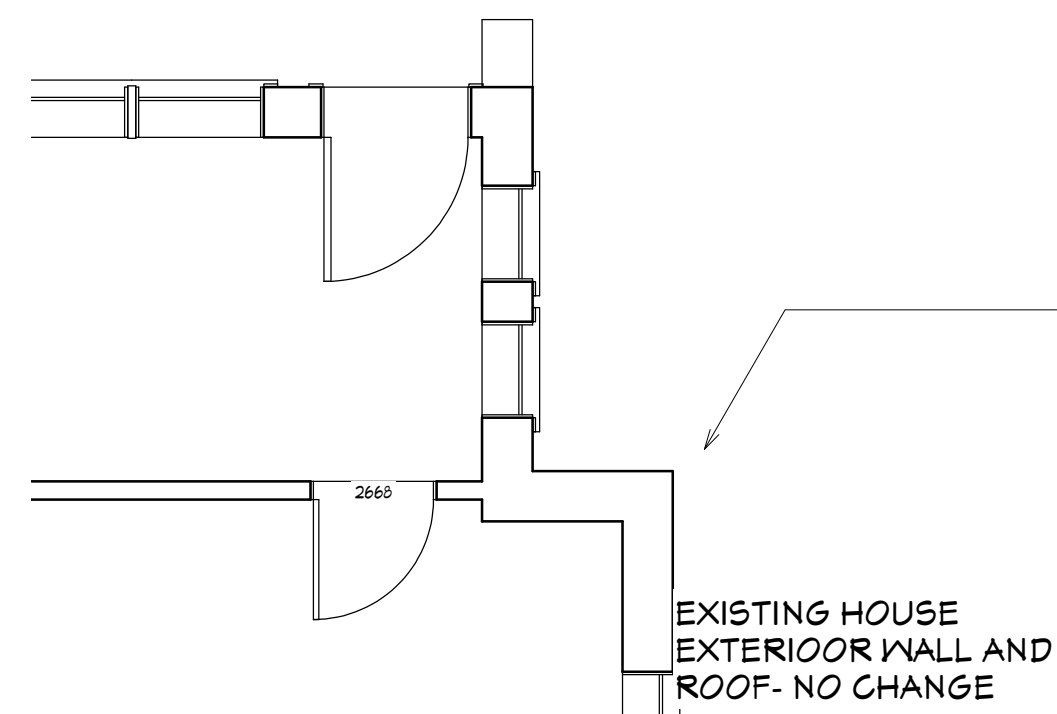
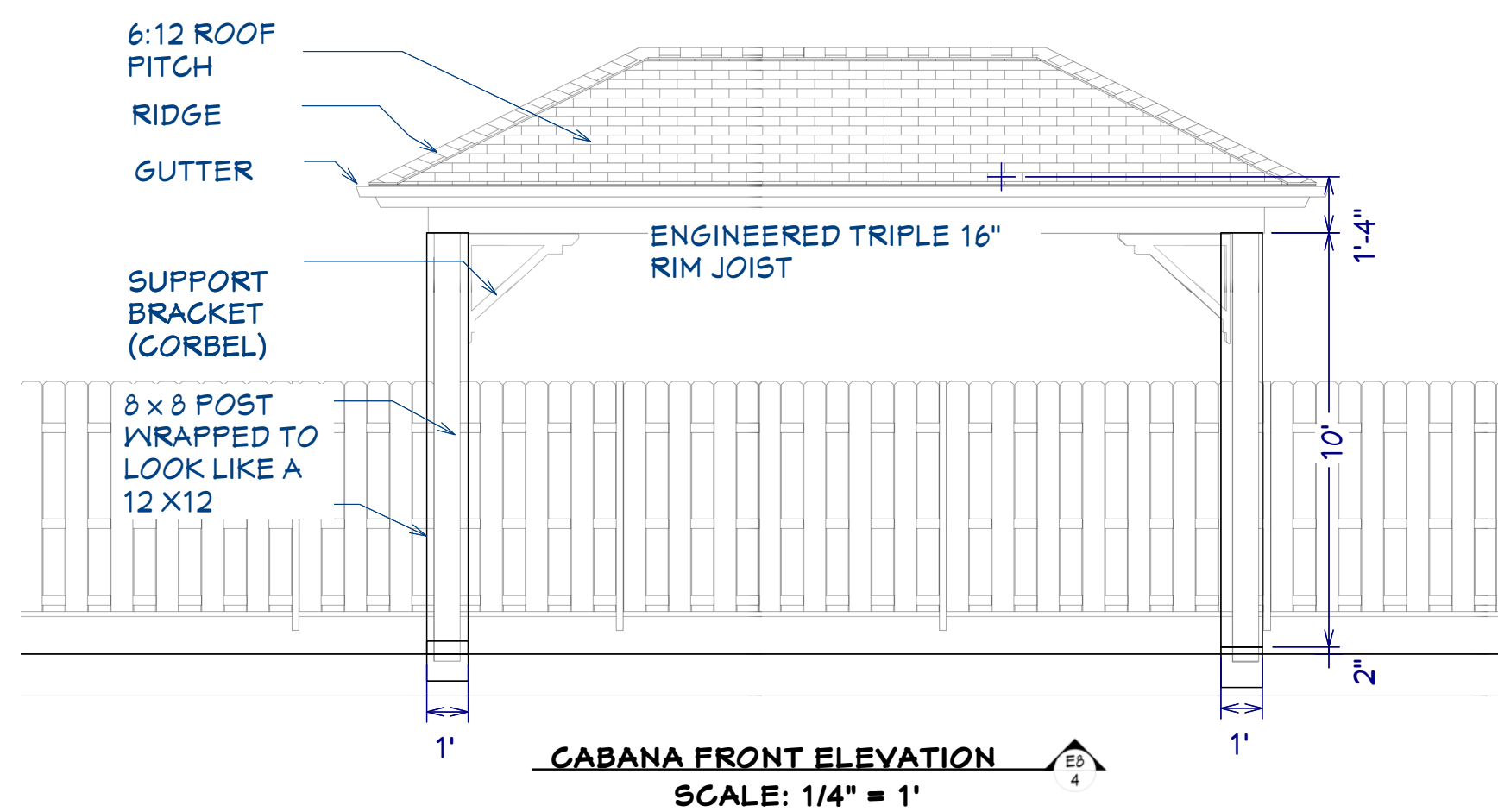
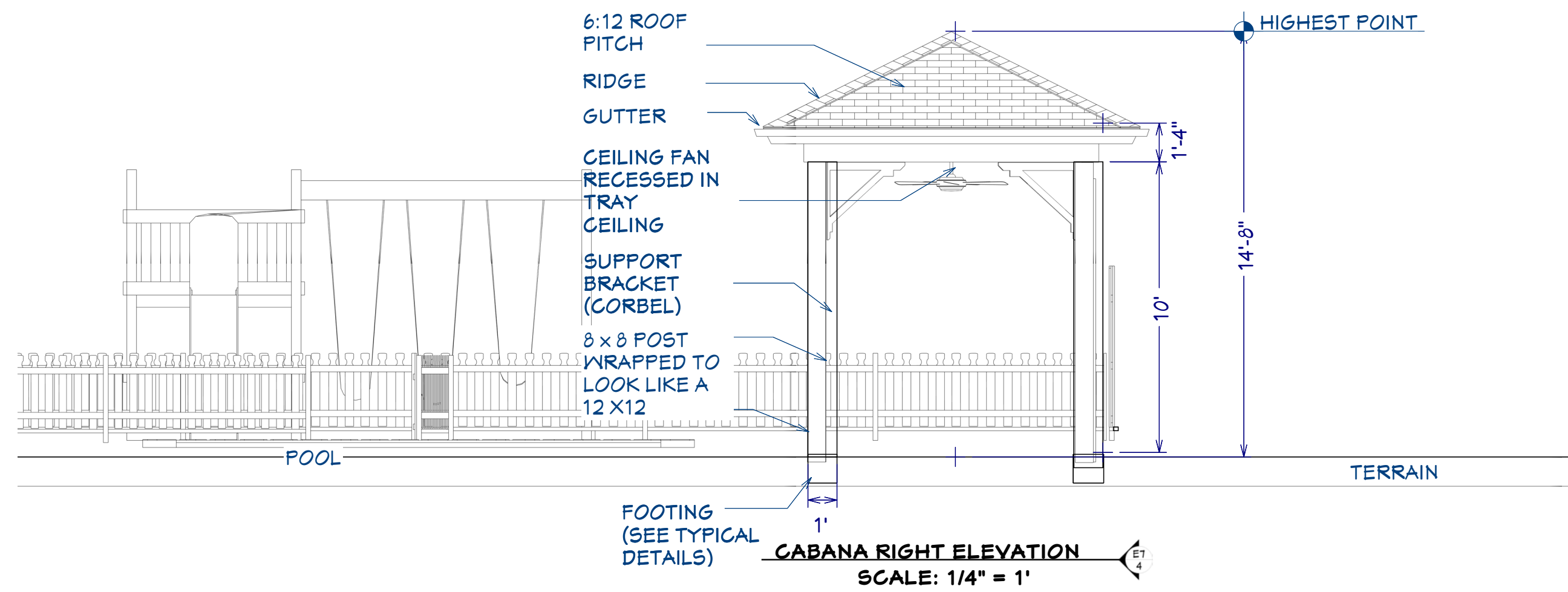
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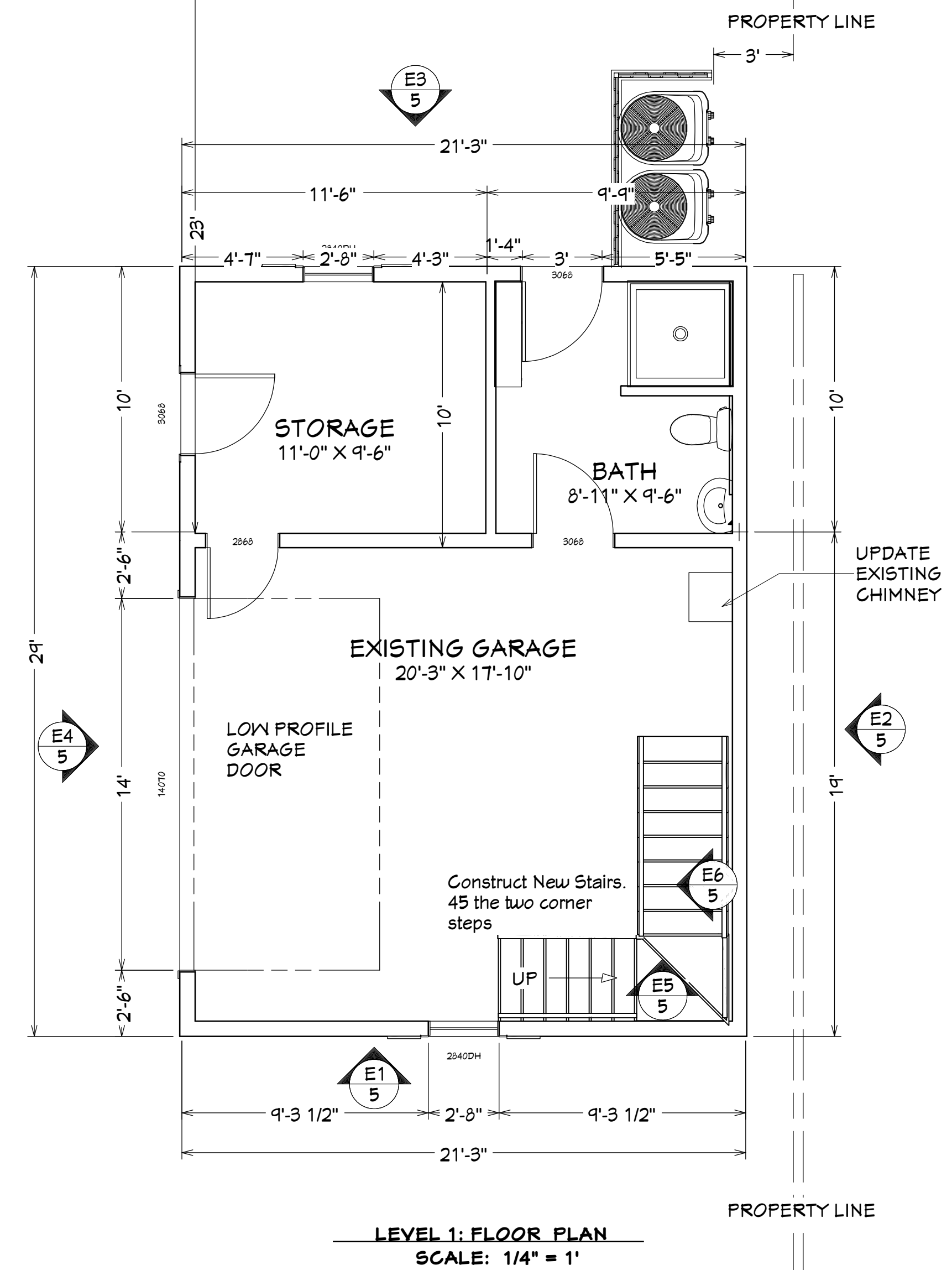
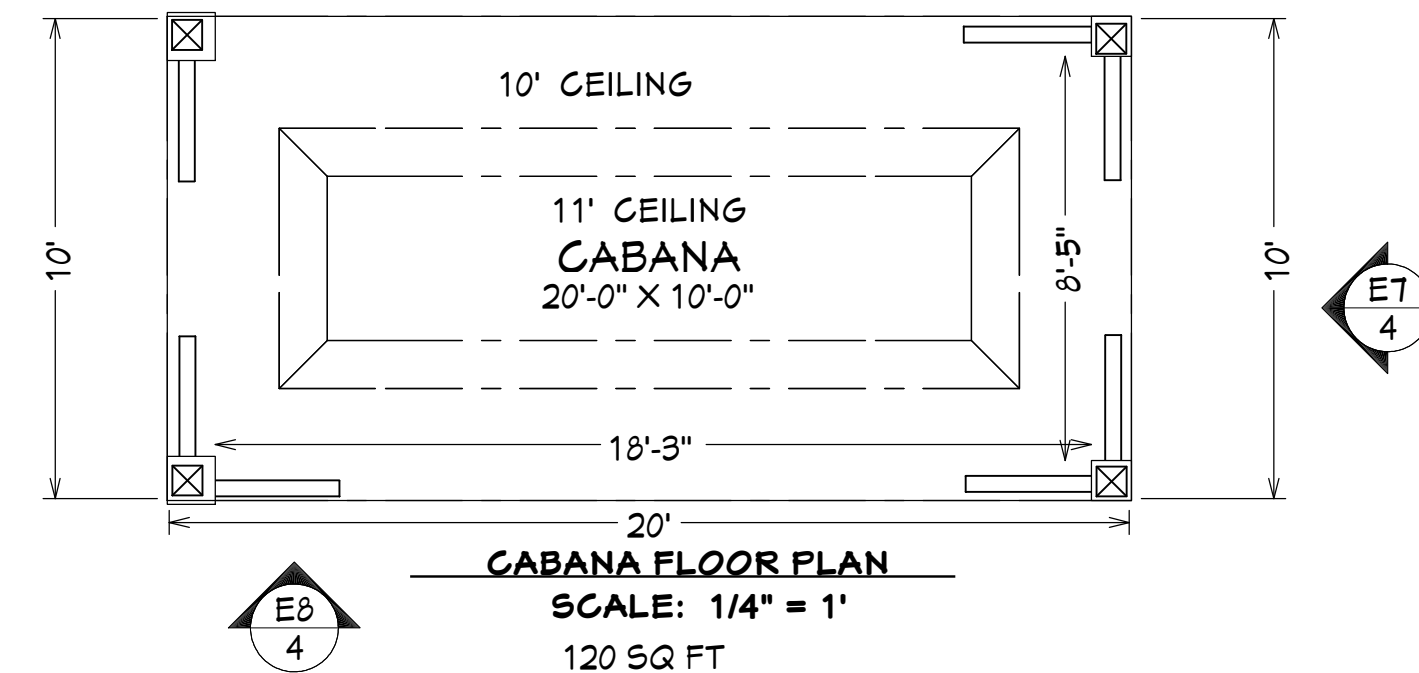
1/4" = 1'

SHEET:

3



FENCING



JDYE & DESIGNS

Jessica Dye  
P.O. Box 19174, Abingdon, VA 24212  
(276) 411-4032  
jdyledesigns@outlook.com

PROPOSED  
CABANA

FOSTER PROJECT  
1236 WATAUGA STREET  
KINGSPORT, TN

DATE:

02/05/2025

SCALE:

1/4" = 1'

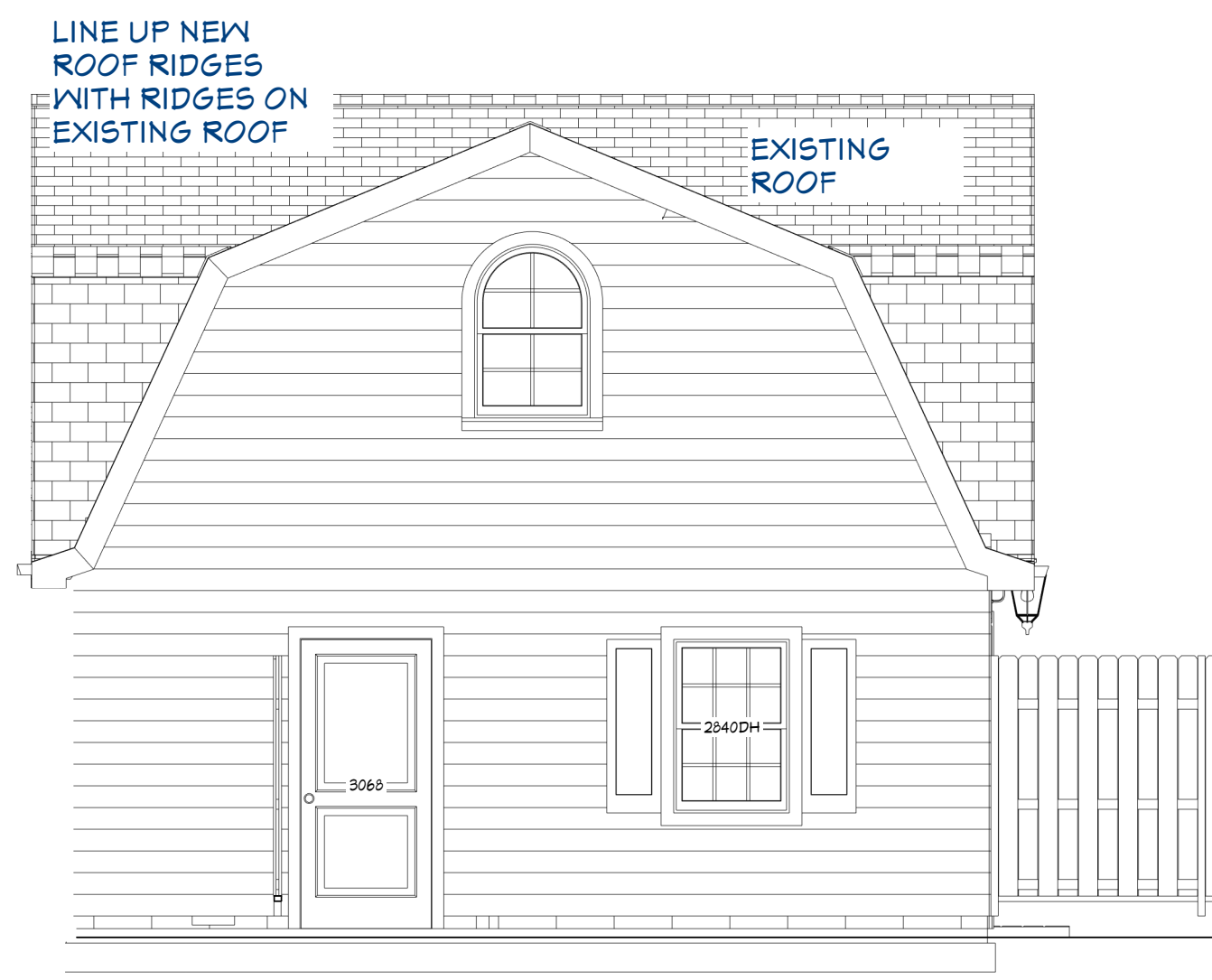
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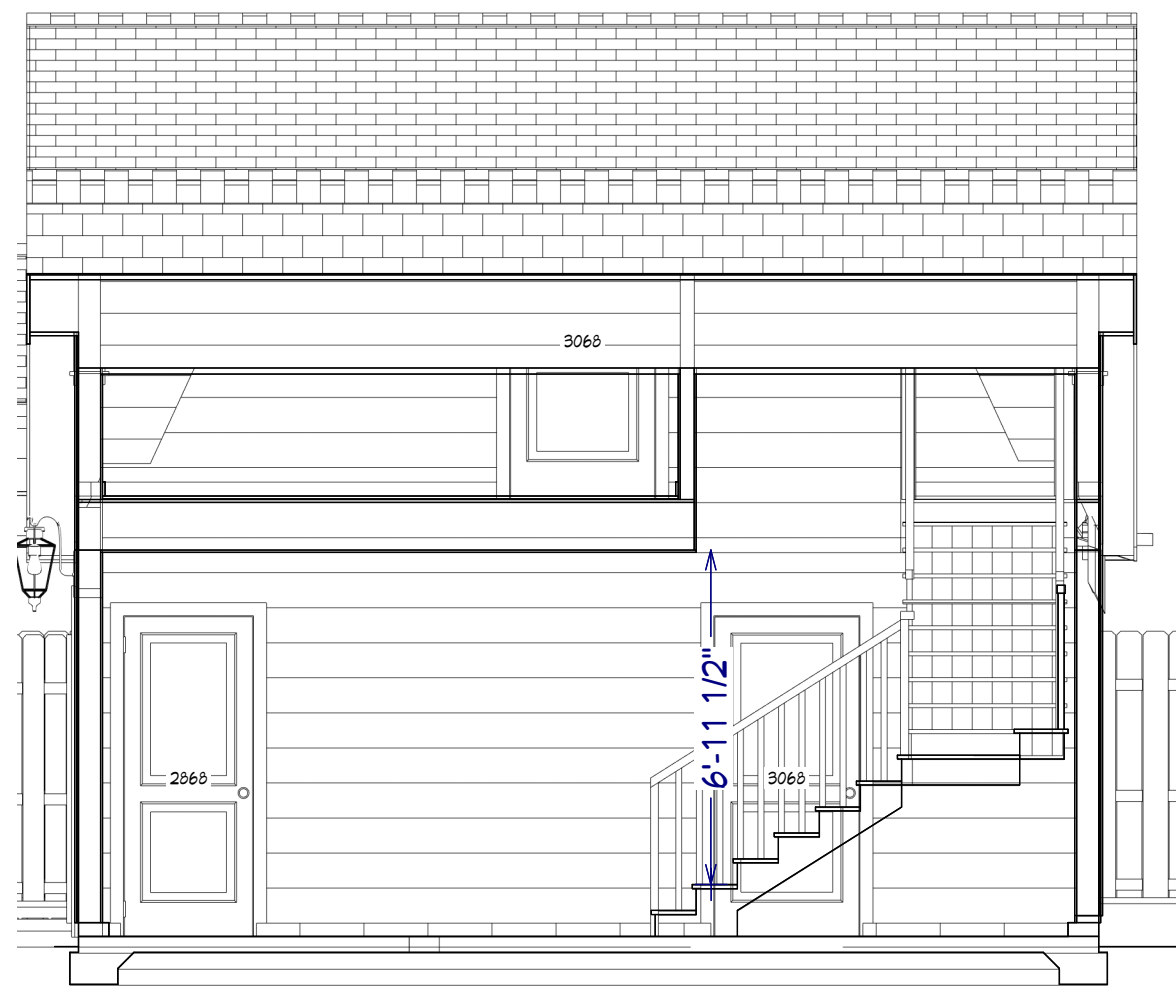




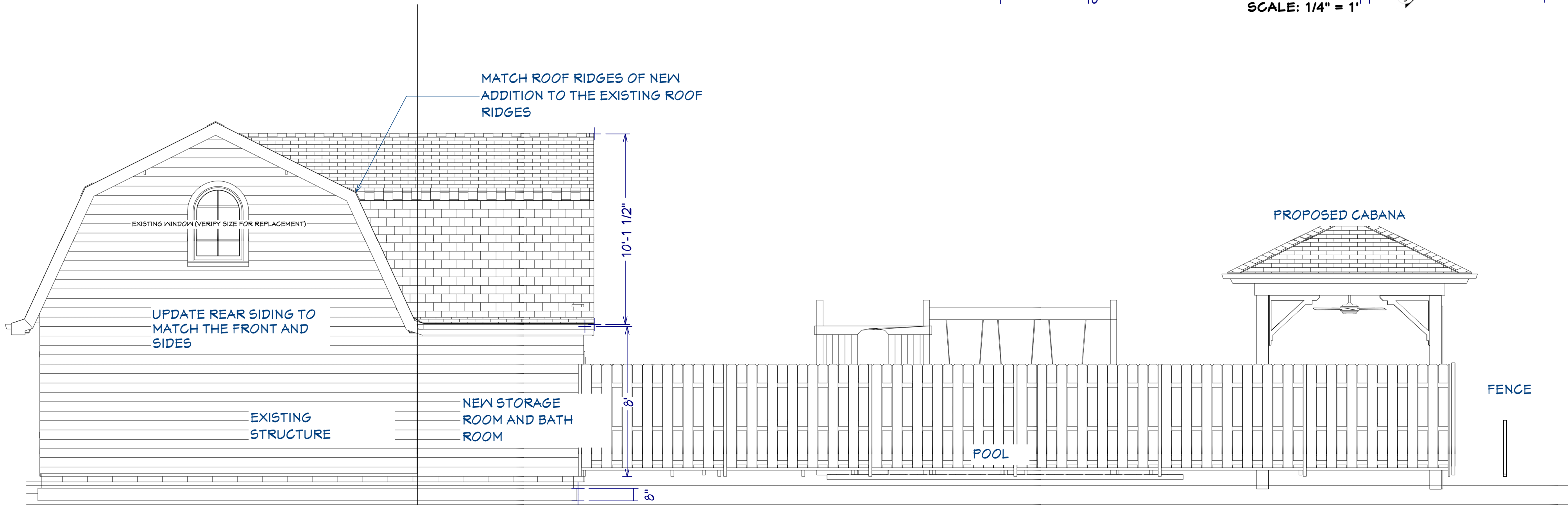
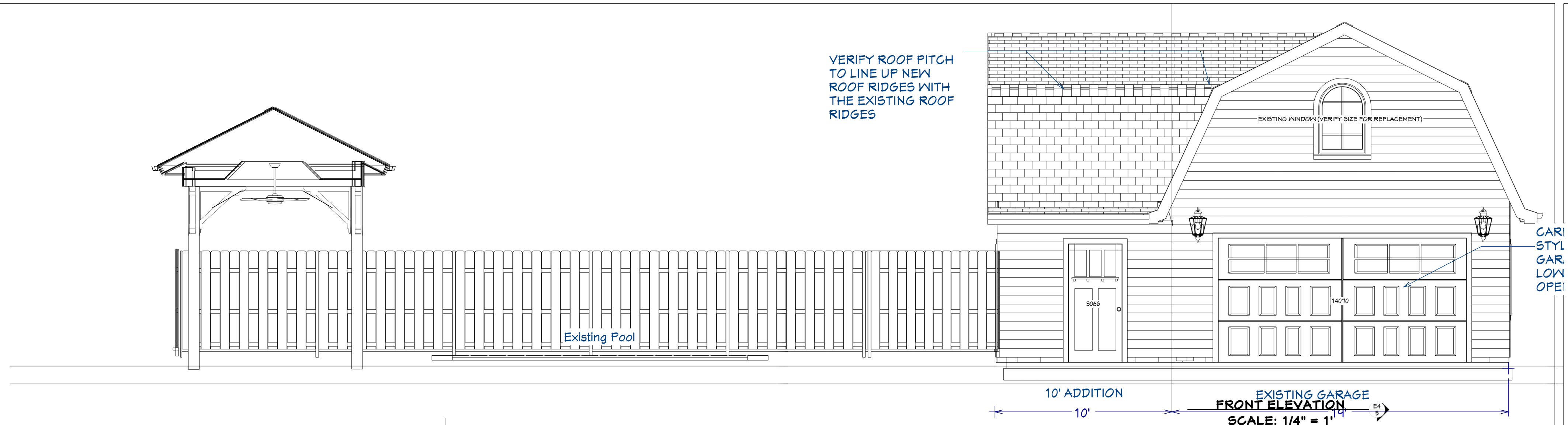
RIGHT ELEVATION  
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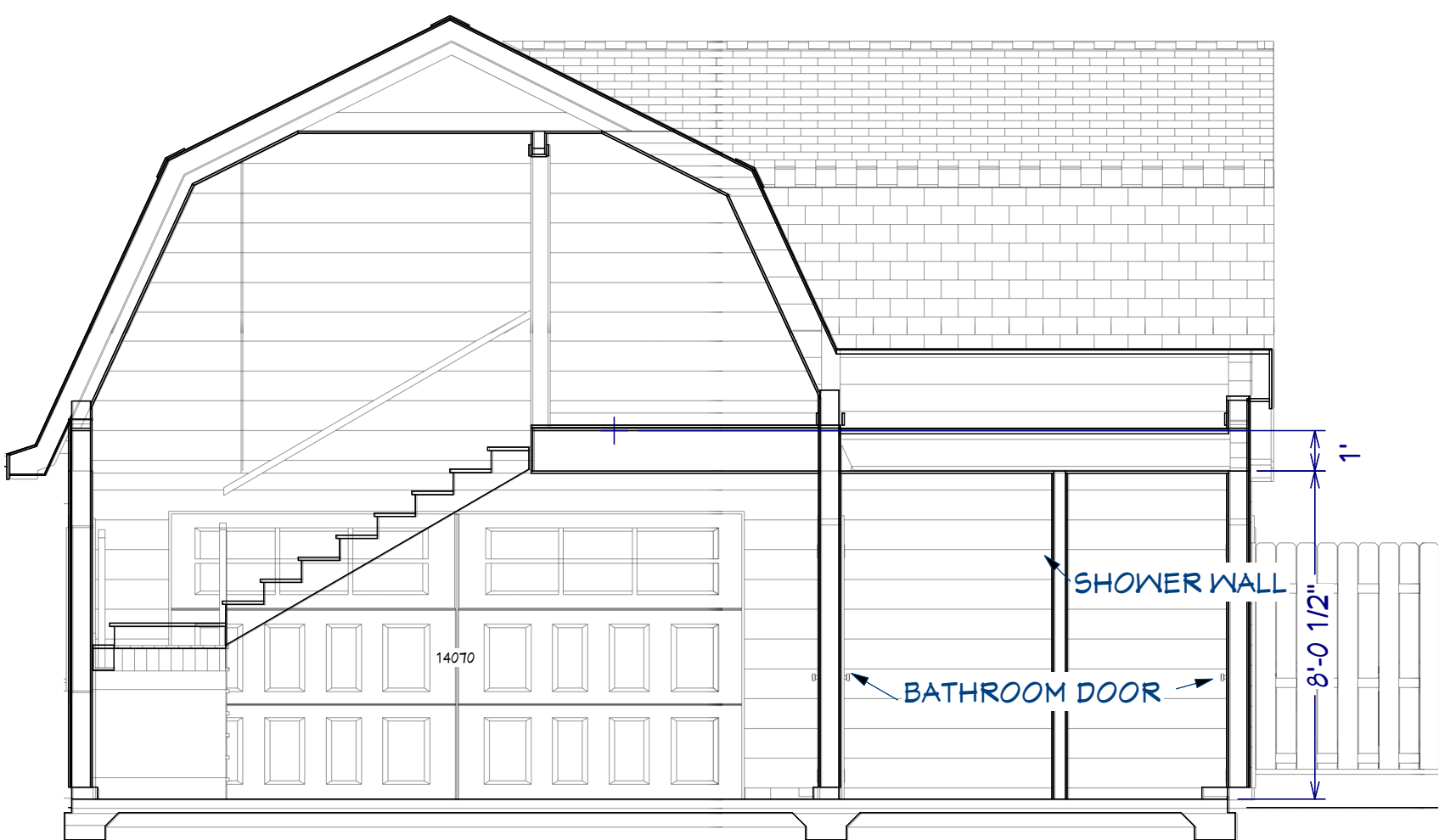
LEFT ELEVATION  
SCALE: 1/4" = 1'



CROSS-SECTION ELEVATION  
SCALE: 1/4" = 1'



REAR ELEVATION  
SCALE: 1/4" = 1'



CROSS-SECTION ELEVATION  
SCALE: 1/4" = 1'



JDYE & DESIGNS

Jessica Dye  
P.O. Box 19174, Abingdon, VA 24212  
(276) 911-4032  
jdyledesigns@outlook.com

GARAGE  
ELEVATIONS

FOSTER PROJECT  
1236 WATAUGA STREET  
KINGSPORT, TN

DATE:

02/05/2025

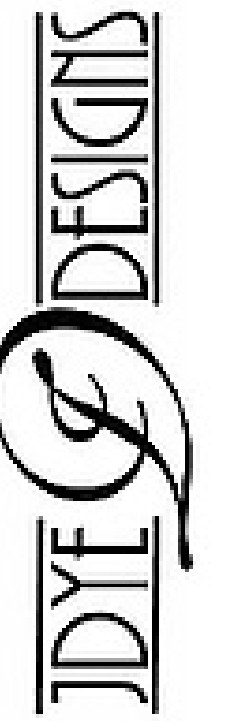
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5





**Jessica Dye**  
P.O. Box 1974, Abingdon, VA 24212  
(276)971-4082  
jdyledesigns@outlook.com

**GARAGE AND  
CABANA**

FOSTER PROJECT  
1236 WATAUGA STREET  
KINGSPORT, TN

ATE:

2/05/2025

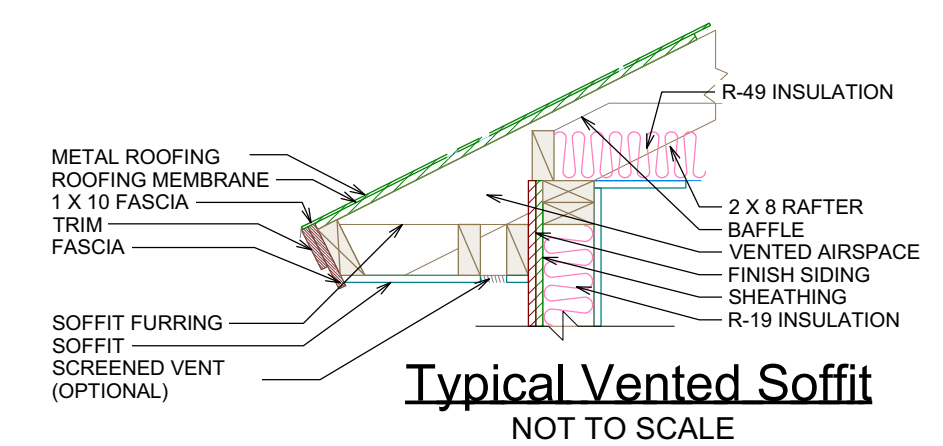
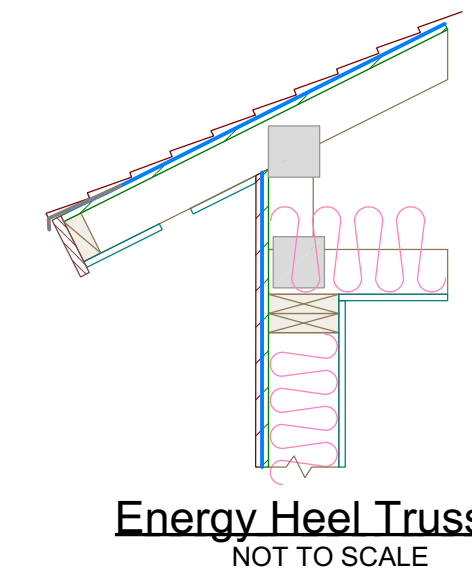
CALE:

$$/4'' = 1'$$

HEET:



**PROPOSED GARAGE - ROOF PLAN**  
**SCALE: 1/4" = 1'**





ROOF FRAMING / TRUSS NOTES: (IF TRUSSES ARE USED IN THE PROJECT)

TRUSS DRAWING IS FOR ILLUSTRATION ONLY. ALL TRUSSES SHALL BE INSTALLED & BRACED TO MANUFACTURERS DRAWINGS & SPECIFICATIONS.

ALL TRUSSES SHALL CARRY MANUFACTURERS STAMP.

ALL TRUSSES WILL NOT BE FIELD ALTERED WITHOUT PRIOR BUILDING DEPT. APPROVAL OF ENGINEERING CALCULATIONS.

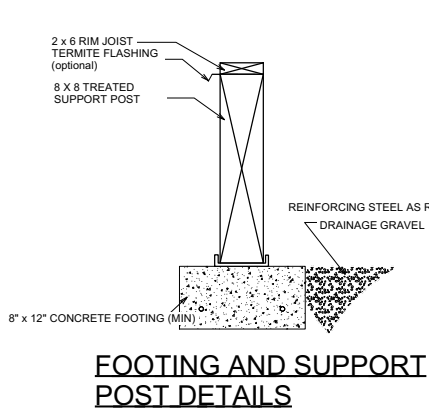
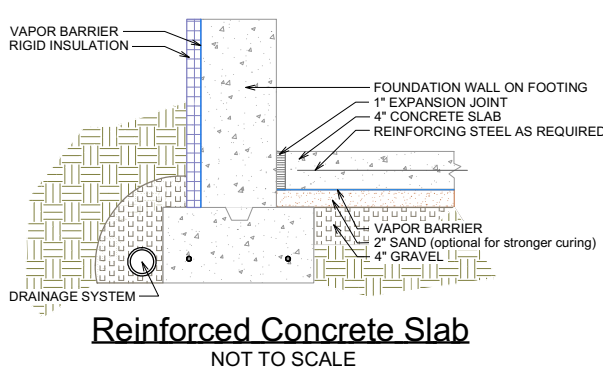
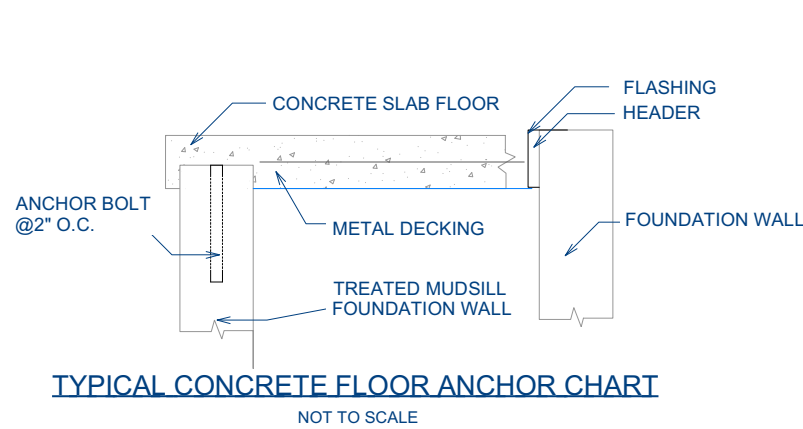
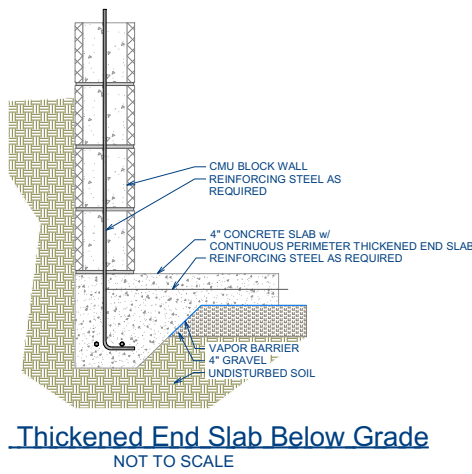
ALL TRUSSES SHALL HAVE DESIGN DETAILS & DRAWINGS ON SITE FOR FRAMING INSPECTION.

ALL CONNECTIONS OF RAFTERS, JACK OR HIP TRUSSES TO MAIN GIRDER TO BE PROVIDED BY TRUSS MANUFACTURER.

ALL ROOF FRAMING 24" O.C.

ALL OVERHANGS 16".

ROOF & FLOOR TRUSS MANUFACTURER:



WALL FRAMING NOTES:

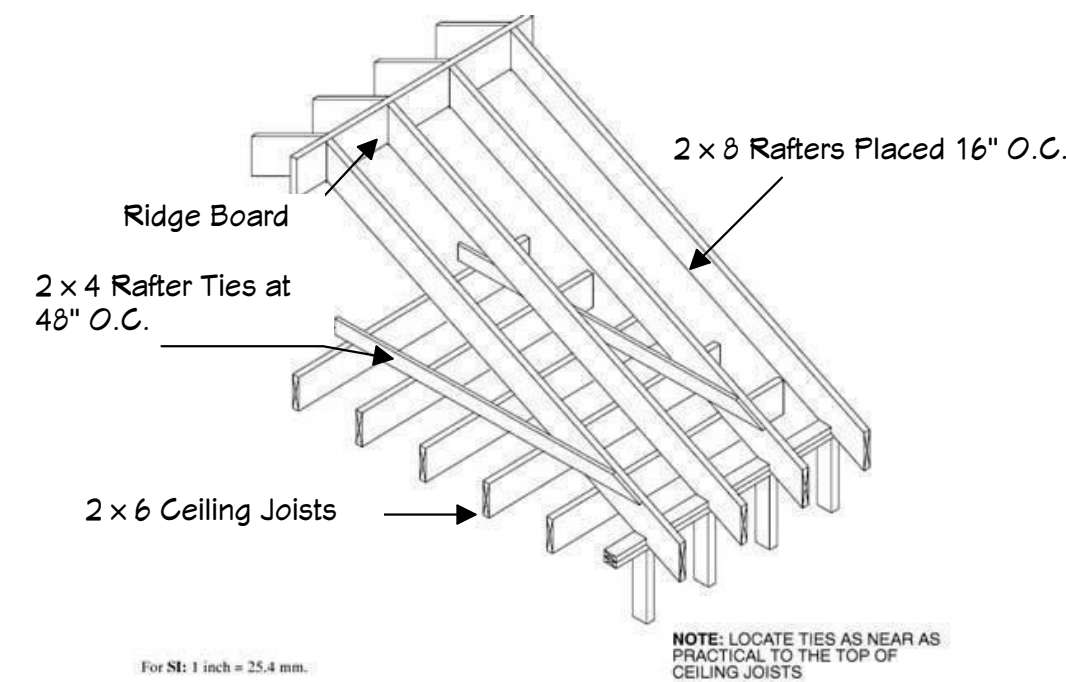
ALL EXTERIOR WALLS ARE 2 X 6 STUDS @16" O.C.  
ALL INTERIOR WALLS ARE 2 X 4 STUDS @ 16"O.C.

FRAMING NOTES:

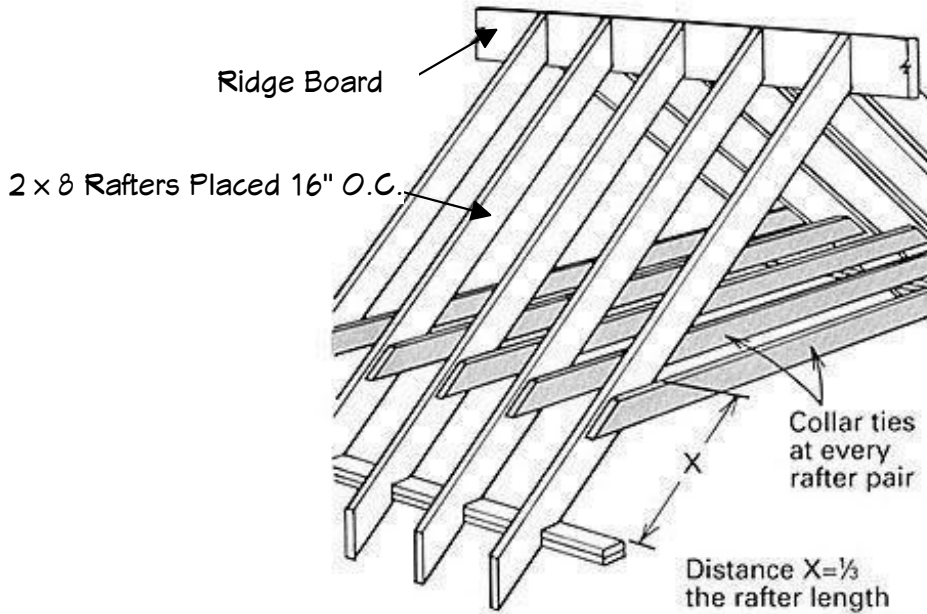
PROVIDE POSITIVE VENTILATION AT EACH END OF EACH RAFTER SPACE AT VAULTED CEILING AREAS.

PROVIDE FIRE BLOCKING, DRAFT STOPS AND FIRE STOPS AS PER I.B.C. SEC. R502.12. (IF CODE REQUIRES).

PROVIDE POSITIVE CONNECTIONS AT EACH END OF ALL POSTS AND COLUMNS TO RESIST LATERAL DISPLACEMENT.



TYPICAL ROOF FRAMING SECTION (FLAT CEILING)



TYPICAL ROOF FRAMING SECTION (VAULTED CEILING)

TYPICAL FOUNDATION NOTES:

SLOPE CRAWL SPACE TO DRAIN. MAXIMUM SLOPE IS 2 HORIZ., 1 VERT. BETWEEN FOOTINGS AT DIFFERENT ELEVATIONS.

ALL FOOTINGS TO REST ON CLEAN, FIRM UNDISTURBED SOIL. STEP FOOTINGS A REQUIRED TO MAINTAIN REQUIRED DEPTH BELOW FINISH GRADES.

CONCRETE STRENGTH.  
3,000 PSI AT 28 DAYS FOR ALL SLABS. (FOUNDATION DESIGN BASED ON 2,500 PSI).  
3,000 PSI AT 28 DAYS FOR ALL OTHER CONDITION.  
MAXIMUM SLUMP, 4"

USE ASTM A-615 GRADE 60 DEFORMED REINFORCING BARS UNLESS NOTED OTHERWISE

CONCRETE EXPANSION ANCHORS SHALL BE 'SIMPSON WEDGE-ALL STUD ANCHORS' OR ENGINEER APPROVED EQUAL. EPOXY TO BE SIMPSON "SET" ADHESIVE OR APPROVED EQUAL.

INFILTRATION, ALL OPENINGS IN THE EXT. BLDG. ENVELOPE SHALL BE SEALED AGAINST AIR INFILTRATION. THE FOLLOWING AREAS MUST BE SEALED.

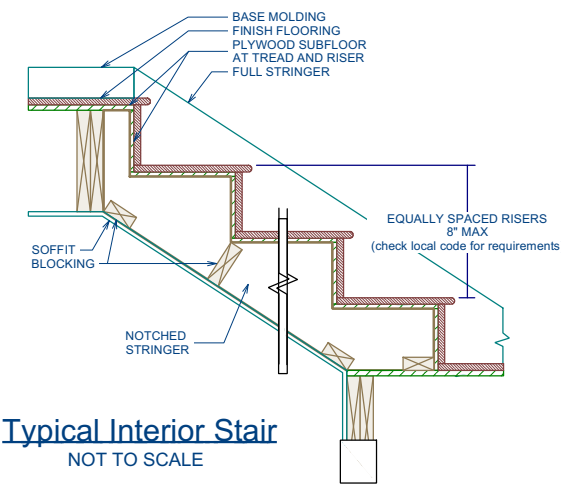
- \* JOINTS AROUND WINDOW AND DOOR FRAMES
- \* JOINTS BETWEEN WALL CAVITY AND WINDOW/DR. FME.
- \* JOINTS BETWEEN WALL AND FOUNDATION
- \* JOINTS BETWEEN WALL AND ROOF
- \* JOINTS BETWEEN WALL PANELS
- \* UTILITY PENETRATIONS THROUGH EXTERIOR WALLS

THE FOUNDATION NOTES ARE SUBJECT TO CHANGE BASED ON STATE AND LOCAL BUILDING CODES.

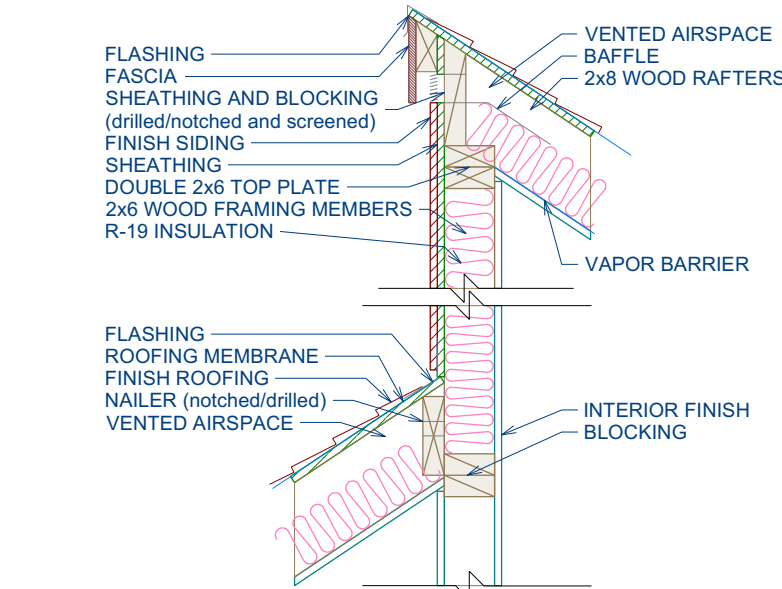
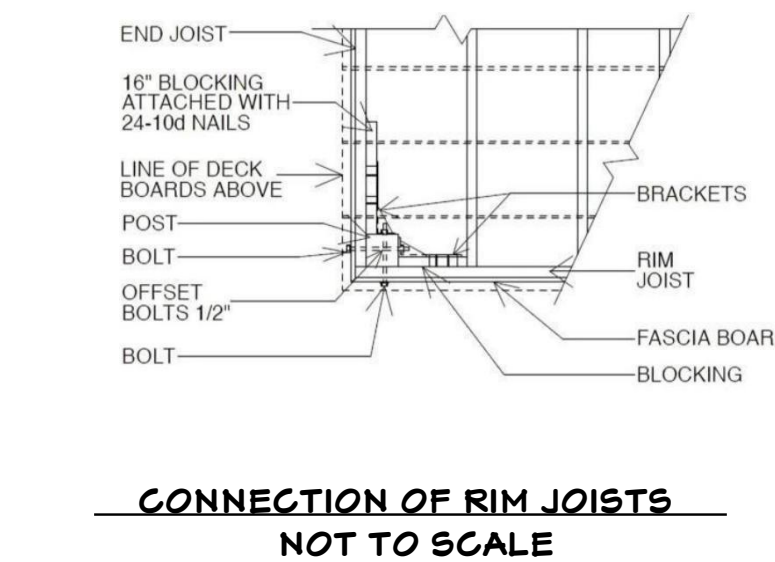
HOMEOWNER WILL TAKE NECESSARY PRECAUTIONS TO REMOVE OR RELOCATE ITEMS OF VALUE TO BE REUSED AND/ OR SAVED, OR IN ANY DANGER OF BEING DAMAGED DUE TO CONSTRUCTION PROCESS.

BUILDING CONTRACTOR/HOME OWNER TO REVIEW AND VERIFY ALL DIMENSIONS, SPECS, AND CONNECTIONS BEFORE CONSTRUCTION BEGINS.

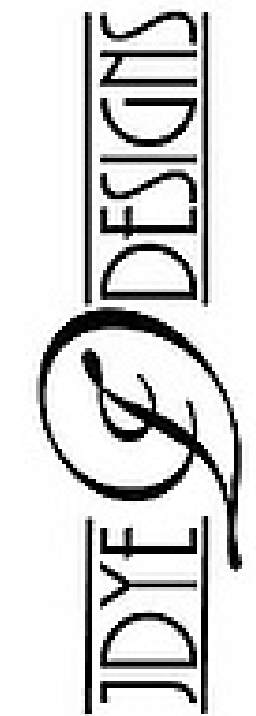
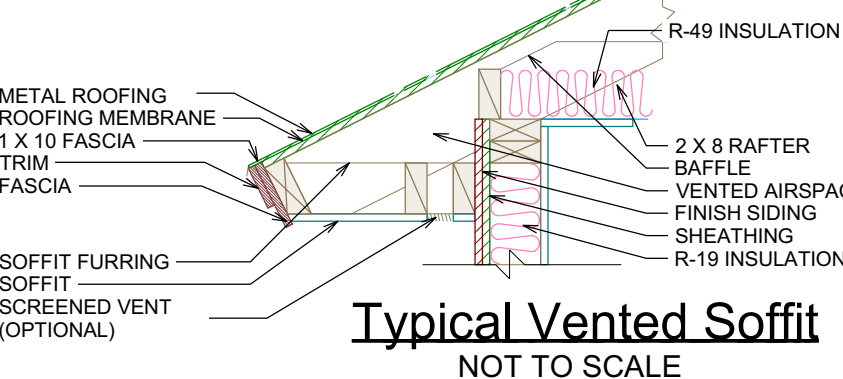
ELECTRICAL SYSTEM CODE: SEC.2701  
MECHANICAL SYSTEM CODE: SEC.2801  
PLUMBING SYSTEM CODE: SEC.2901



TYPICAL FLOOR FRAMING SYSTEM



Typical Shed Roof Peak and Wall Intersec



Jessica Dye  
P.O. Box 19174, Abingdon, VA 24212  
(216)411-4032  
jdyledesigns@outlook.com

GROUPED  
TYPICALS

FOSTER PROJECT  
1236 WATAUGA STREET  
KINGSPORT, TN

DATE:

02/05/2025

SCALE:

1/4" = 1'

SHEET:

7