

### 1025 Tidewater Court Gateway Submittal in an M-1R District

Property Information			
Address	1025 Tidewater Court		
Tax Map, Group, Parcel	076, 020.00		
Civil District	13		
Overlay District	Gateway		
Land Use Designation	Retail/ Commercial		
Acres	+/- 40.266		
Existing Use	vacant	Existing Zoning	B-4P
Proposed Use	AEP Office & Garage	Proposed Zoning	M-1R
Owner /Applicant Information			
<b>Name:</b> Len Johnson <b>Address:</b> 724 Taylor Road <b>City:</b> Knoxville <b>State:</b> TN <b>Zip Code:</b> 37920		<b>Intent:</b> To receive gateway approval for an M-1R zone development of a new AEP office building & Garage.	
Planning Department Recommendation			
The Kingsport Planning Division recommends contingent APPROVAL for the following reasons: The submitted master plan meets the requirements of the Gateway overlay in the M-1R zone.  Staff Field Notes and General Comments: This M-1R District parcel is currently vacant.			
Planner:	Savannah Garland	Date:	19 September 2023
Gateway Commission Action		Meeting Date:	<b>20 October 2023</b>
Approval:			
Denial:		Reason for Denial:	
Deferred:		Reason for Deferral:	

**PROPERTY INFORMATION**

**ADDRESS: 1025 Tidewater Court**

**DISTRICT: 13th**

**OVERLAY DISTRICT: Gateway**

**EXISTING ZONING: B-4P to M-1R**

**ACRES: +/- 40.266**

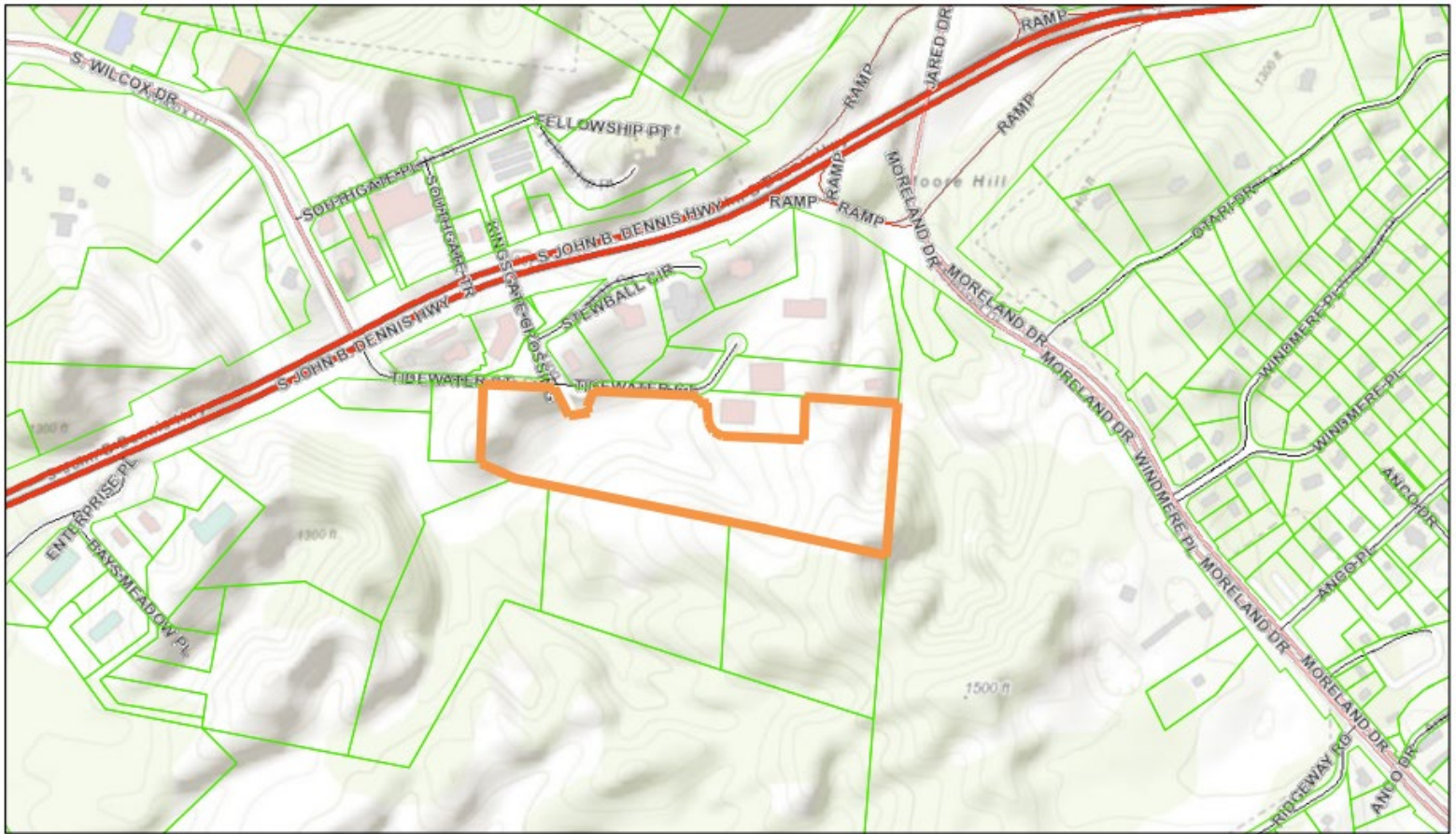
**EXISTING USE: vacant**

**PROPOSED USE: new AEP office building & Garage building**

**INTENT**

To receive gateway approval for an M-1R zone development of a new AEP office building & Garage.

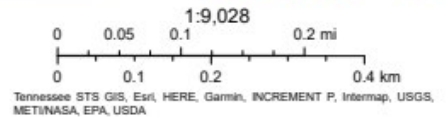
Site Map



9/19/2023, 10:35:08 AM

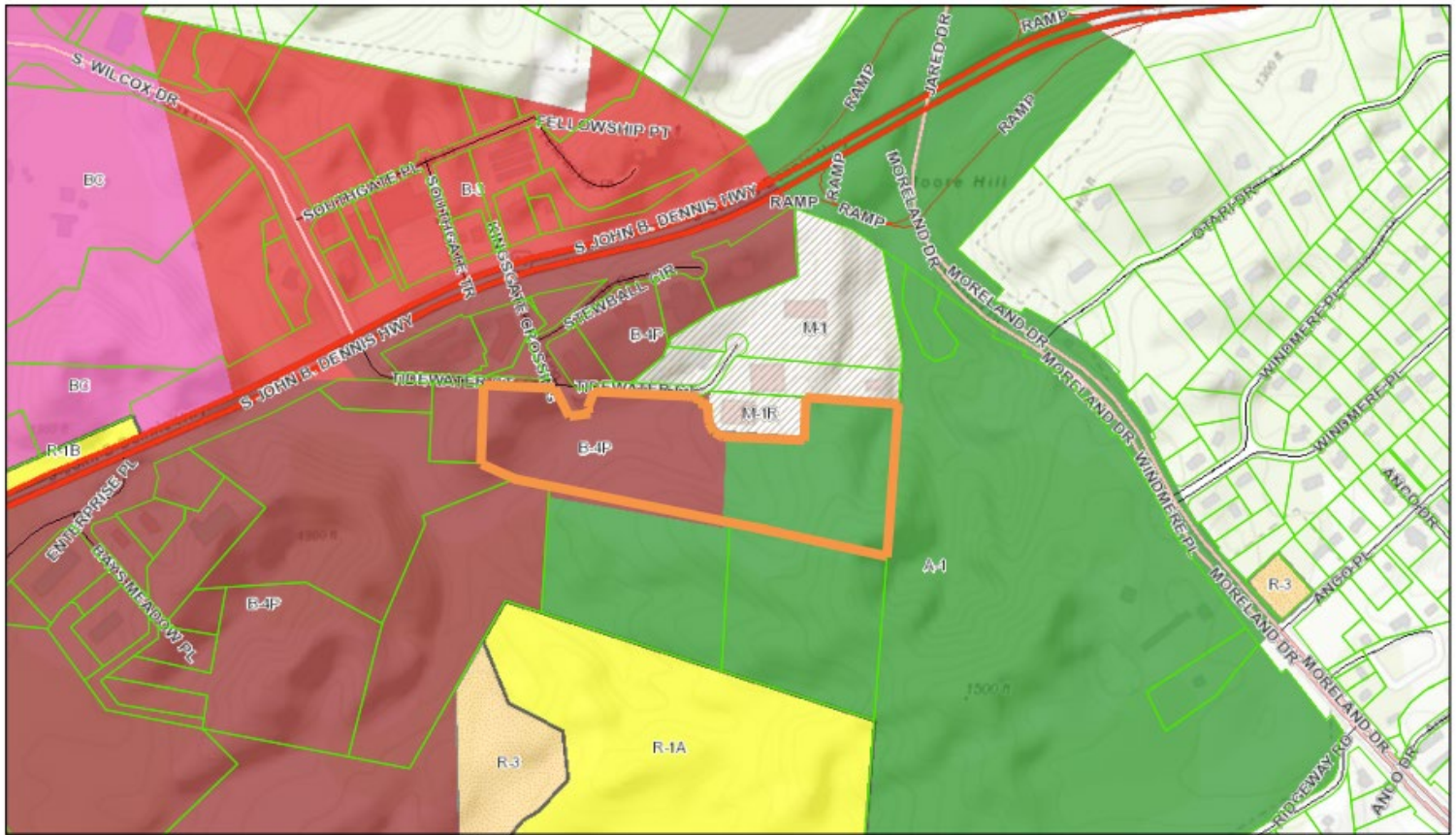
Sullivan County Parcels Jan 2023 Streets

- |                       |            |                  |                |
|-----------------------|------------|------------------|----------------|
| Parcels               | Interstate | Major Arterial   | Local Street   |
| Urban Growth Boundary | Expressway | Minor Arterial   | Private Street |
|                       |            | Collector Street | Ramp           |



Web AppBuilder for ArcGIS

# Zoning



9/19/2023, 10:43:40 AM

Sullivan County Parcels Jan 2023

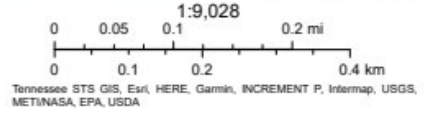
Parcels

City Zoning

<Null>

TAC

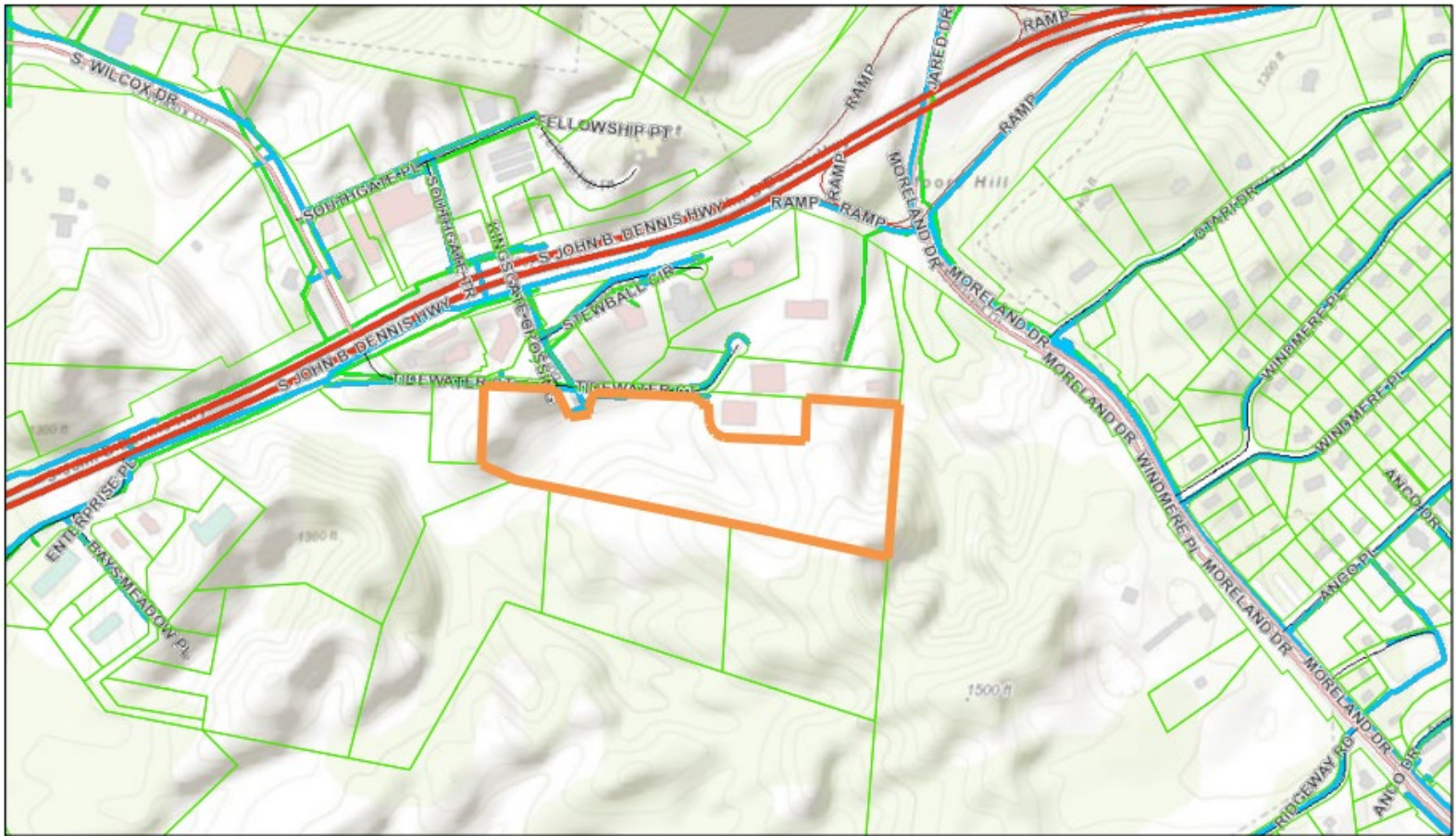
R-5	A-2	B-3	B-4P	M-1R	P-D	PMD-1
GC	AR	B-3	BC	M-2	PBD-3	PMD-2
B-2E	B-1	B-4	GC	MX	PBD*	PUD
A-1	B-2	B-4P	M-1	P-1	PD	PVD



Web AppBuilder for ArcGIS

**\*Rezoned to M-1R\***

Utilities



9/19/2023, 10:45:46 AM

Sullivan County Parcels Jan 2023

Parcels

Sewer Mains

Water Lines

Urban Growth Boundary

Streets

Interstate

Expressway

Major Arterial

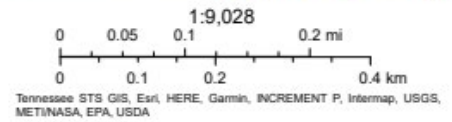
Minor Arterial

Collector Street

Local Street

Private Street

Ramp



Web AppBuilder for ArcGIS

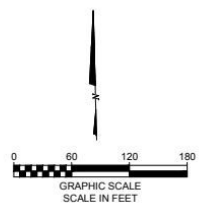
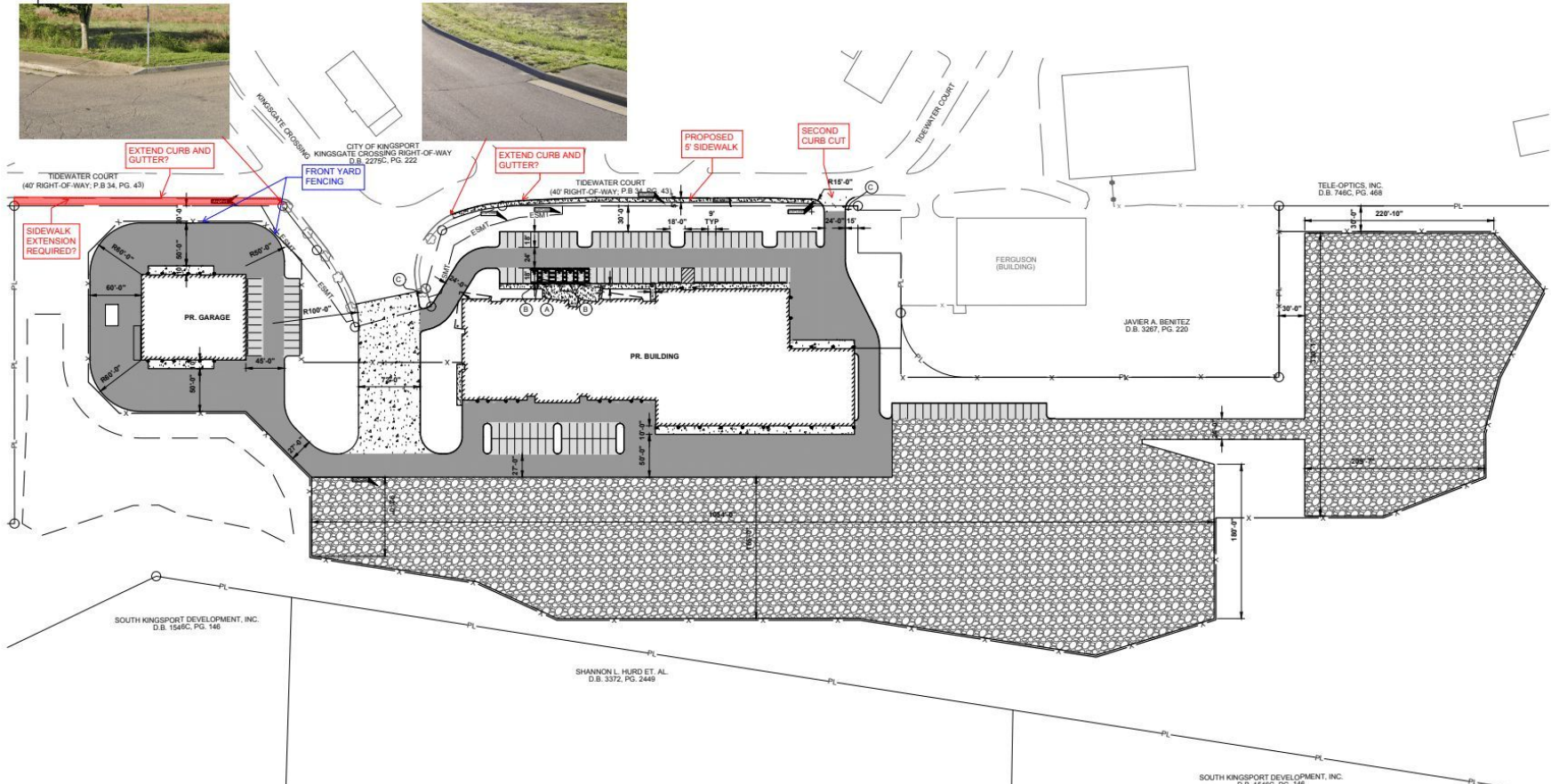
## **SITE PLAN ANALYSIS**

Gateway approvals in the M-1R zoning district consist of the following:

1. Site Plan
2. Grading Plan
3. Landscape Plan
4. Architectural Design
5. Signage
6. Lighting and Utilities
7. Parking

Enlarged plan copies will be provided during the regular meeting for best clarity.

1. Site Plan: The site is spacious and there is ample room to abide by M-1R zoning standards including setbacks.
2. The grading plan shows minimal disturbance, which is a key gateway requirement.
3. Landscape Plan: The landscape plan has received approval from the landscape specialist and conforms to the gateway standard.
4. Architectural Design: A waiver has been requested for pre-engineered metal panel, pre-engineered metal roof panel, composite concrete and wood like panels.
5. Signage: A monument sign is proposed as well as a directional lawn sign.
6. Lighting and Utilities. A foot lighting plan has been submitted. The utilities are proposed to be underground per the gateway standard.
7. Parking is adequate to serve the intended use.



**STAKING LEGEND**

**EXISTING**  
REFER TO SHEET C-001

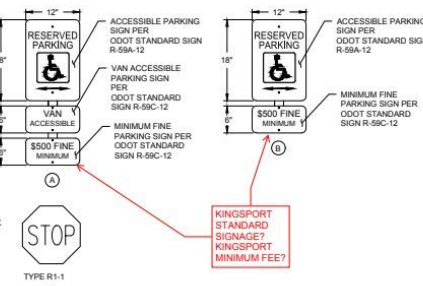
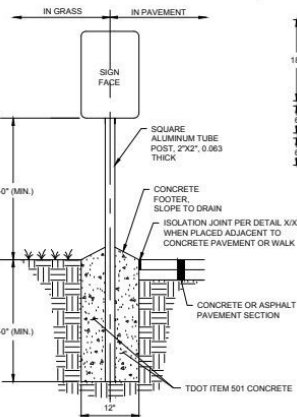
**PROPOSED**

	RIGHT-OF-WAY
	PROPERTY LINE
	BUILDING WALL
	STRAIGHT CURB PER DETAIL JC-104
	PAVEMENT
	WALK
	FENCE
	PAINTED WHEELCHAIR SYMBOL
	HANDICAPPED PARKING SIGN PER DETAIL AC-100
	BOLLARD PER DETAIL HC-104
	BUMPER BLOCK PER DETAIL KC-104
	HEAVY DUTY ASPHALT PER DETAIL AC-104
	LIGHT DUTY ASPHALT PER DETAIL BC-104
	HEAVY DUTY CONCRETE PAVEMENT PER DETAIL CC-104
	SIDEWALK PER DETAIL DC-104
	GRAVEL LOT PER DETAIL IC-104

SOUTH KINGSFORT DEVELOPMENT, INC.  
D.B. 1546C, PG. 146

SHANNON HURD ET AL.  
D.B. 3372, PG. 2466

SOUTH KINGSFORT DEVELOPMENT, INC.  
D.B. 1546C, PG. 146



- NOTES:**
1. PROVIDE SIGN IN ACCORDANCE WITH TDDT ITEM 713.
  2. PROVIDE 0.063 THICK FLAT ALUMINUM SIGN PANELS.
  3. PROVIDE REFLECTIVE FINISH ON SIGN.
  4. PROVIDE PERMANENT WEATHERPROOF ALUMINUM CAP ON POST TOP.
  5. PROVIDE VAN ACCESSIBLE SIGN WHERE NOTED ON DRAWINGS.
  6. ATTACH SIGNS WITH UNISTRUT UNIVERSAL DRIVE RIVET OR APPROVED EQUAL.
  7. ACCESSIBLE SIGNAGE TO BE AS SHOWN UNLESS OTHERWISE SPECIFIED BY LOCAL CODE.

**A** DETAIL  
PARKING SIGNS

N.T.S.

- GENERAL NOTES:**
1. DIMENSIONS AND COORDINATES ARE GIVEN TO FACE OF CURB AND FACE OF BUILDING UNLESS OTHERWISE NOTED.
  2. CURB AND SIDEWALK RADII SHALL BE 5'-0" UNLESS OTHERWISE NOTED.
  3. PROVIDE STRIPING AND SYMBOLS AS SHOWN PER TDDT ITEM 919. PROVIDE STRIPING PAINT WITH GLASS BEADS. PROVIDE TYPE I OR TYPE 3 PAINT IN ACCORDANCE WITH TDDT ITEM 919 DEPENDING ON TEMPERATURE CONDITIONS AT THE TIME OF APPLICATION. TYPICAL LINE WIDTH SHALL BE 4 INCHES, COLOR WHITE. PROVIDE TWO COATS.
  4. STANDARD PARKING STALL DIMENSIONS ARE 9'-0" IN WIDTH BY 16'-0" IN LENGTH UNLESS OTHERWISE NOTED.
  5. SAWCUT FULL DEPTH SIDEWALK AND PAVEMENT WHERE NEW WORK ABUTS EXISTING CONSTRUCTION. TAKE CARE TO PROVIDE NEAT STRAIGHT LINES. PROVIDE PAVEMENT SEALANT PER TDDT ITEM 906 AT JOINT BETWEEN EXISTING AND NEW ASPHALT. REMOVE CONCRETE TO NEAREST JOINT. PROVIDE 1/2" PREFORMED EXPANSION JOINT FILLER BETWEEN NEW AND EXISTING CONSTRUCTION.
  6. ANY PROPERTY PINS DAMAGED AS PART OF CONSTRUCTION SHALL BE RESET BY A TENNESSEE REGISTERED SURVEYOR.
  7. PROVIDE 2 HANDICAP ACCESSIBLE PARKING SIGNS AND 1 VAN ACCESSIBLE PARKING SIGN AS SHOWN ON DETAIL AT THIS SHEET. FINAL LOCATION OF SIGNS TO BE DETERMINED BY ARCHITECT.
  8. MAINTAIN PEDESTRIAN AND VEHICULAR ACCESS TO ADJACENT BUILDINGS AT ALL TIMES DURING CONSTRUCTION.
  9. REFER TO ARCHITECTURAL DRAWINGS FOR ALL SITE SIGNAGE NOT SHOWN ON THIS SHEET.
  10. BUILDING COORDINATES PROVIDED FOR BUILDING LOCATION ONLY. REFER TO ARCHITECTURAL PLANS FOR BUILDING LAYOUT.
  11. PROVIDE CONCRETE PARKING BLOCKS PER PLAN AND PER DETAIL KC-104.
  12. PROVIDE CONTROL JOINTS PER DETAIL. PROVIDE ISOLATION JOINTS WHERE NEW CONCRETE ABUTS EXISTING STRUCTURES PER DETAIL FC-104 AND PER SPECIFICATIONS.

**NOT FOR CONSTRUCTION**

**KORDA**  
KORDA NEMETH ENGINEERING  
1650 WATERMARK DRIVE  
SUITE 200  
COLUMBUS, OHIO 43215

DESIGNED BY: GSW  
CHECKED BY: GSW  
PROJECT NUMBER:

DRAWN BY: KGW  
CHECKED BY: GSW  
PROJECT NUMBER: 2318

**C-100**  
FULL SITE STAKING PLAN

AMERICAN ELECTRIC  
POWER (AEP)  
AEP - KINGSFORT  
SERVICE CENTER

1025 TIDEWATER COURT  
KINGSFORT, TN 37660



172 E STATE ST, SUITE 600  
COLUMBUS, OH 43215  
PHONE: 614.942.9550  
INFO@WEARETRIAD.COM

ISSUE DATE

REVISIONS:

#	DATE	DESCRIPTION

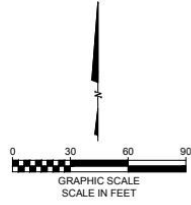
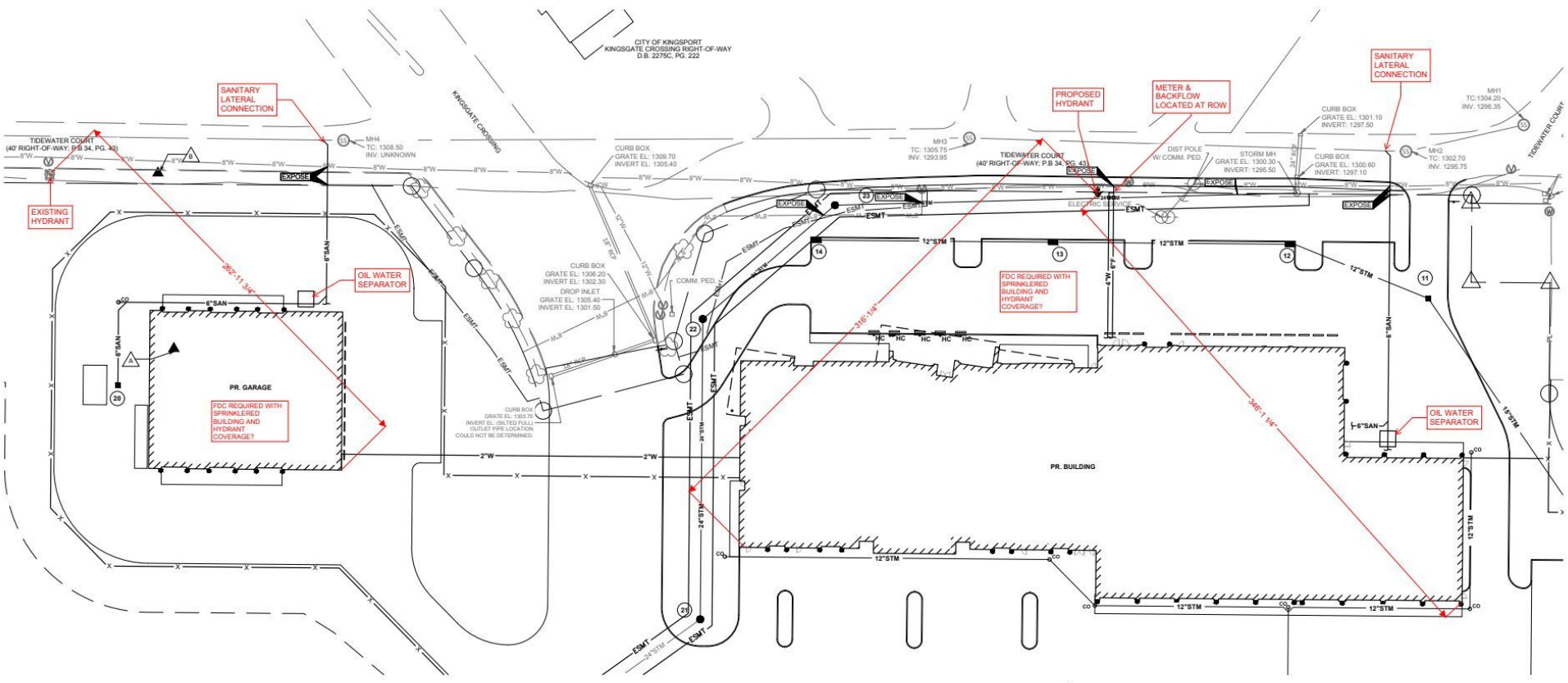
7/20/2023 11:26:36 AM 2318-AEP-Kingsfort-CENTRAL-230\_dwg.dwg (2/2/2023) \_fiscus.dwg

COPYRIGHT TRIAD ARCHITECTS LTD. 2021

7/20/2023 11:26:36 AM

2318 - AEP - KINGSFORT SERVICE CENTER

CITY OF KINGSPORT  
KINGSGATE CROSSING RIGHT-OF-WAY  
D.B. 2279C, PG. 222



**UTILITY LEGEND**

REFER TO SHEET C-301

**PROPOSED**

- E UNDERGROUND ELECTRIC LINE
- W WATER LINE
- F FIRE PROTECTION SERVICE LINE
- STM STORM SEWER
- SAN SANITARY SEWER
- W FIRE HYDRANT

**EXISTING**

- GATE VALVE & CURB BOX
- ▽ FIRE DEPARTMENT CONNECTION
- CLEAN OUT

**NOT FOR CONSTRUCTION**

- CONCEPTUAL DESIGN
- SCHEMATICS
- DESIGN DEVELOPMENT
- WORKING DRAWINGS FOR REVIEW

**KORDA**  
KORDA NEMETH ENGINEERING  
1650 WATERMARK DRIVE  
SUITE 200  
COLUMBUS, OHIO 43215

DRAWN BY: KGW  
CHECKED BY: GJW  
PROJECT NUMBER: 2318

AMERICAN ELECTRIC POWER (AEP)  
AEP - KINGSPORT SERVICE CENTER

1025 TIDEWATER COURT  
KINGSPORT, TN 37660

**trid**  
172 E STATE ST. SUITE 600  
COLUMBUS, OH 43215  
PHONE: (614) 942-1550  
INFO@WEARETRID.COM

ISSUE DATE

REVISIONS:

#	DATE	DESCRIPTION

**C-301**  
SITE UTILITY PLAN

7/20/2023 11:58:36 AM 2318-AEP-Kingsport-CENTRAL-F20-43215-02-30107-1-16-24.rvt

COPYRIGHT TRID ARCHITECTS LTD. 2021

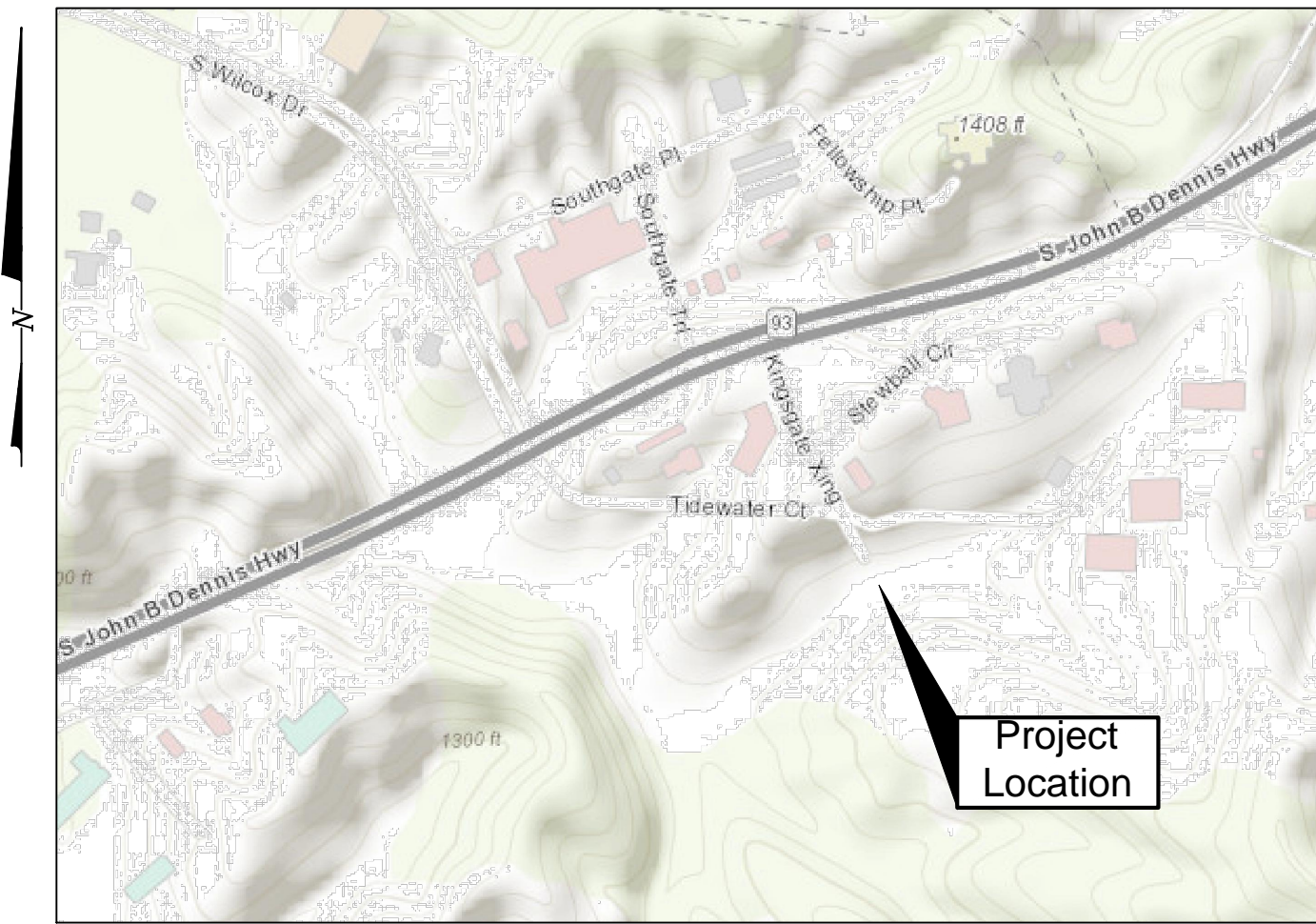
7/20/2023 11:58:36 AM

2318 - AEP - KINGSPORT SERVICE CENTER



CITY OF KINGSPORT, SULLIVAN COUNTY, TENNESSEE  
ZONING DEVELOPMENT PLAN  
FOR  
**AEP- KINGSPORT  
SERVICE CENTER**

1025 TIDEWATER COURT  
KINGSPORT, TN 37660



**VICINITY MAP**  
NOT TO SCALE

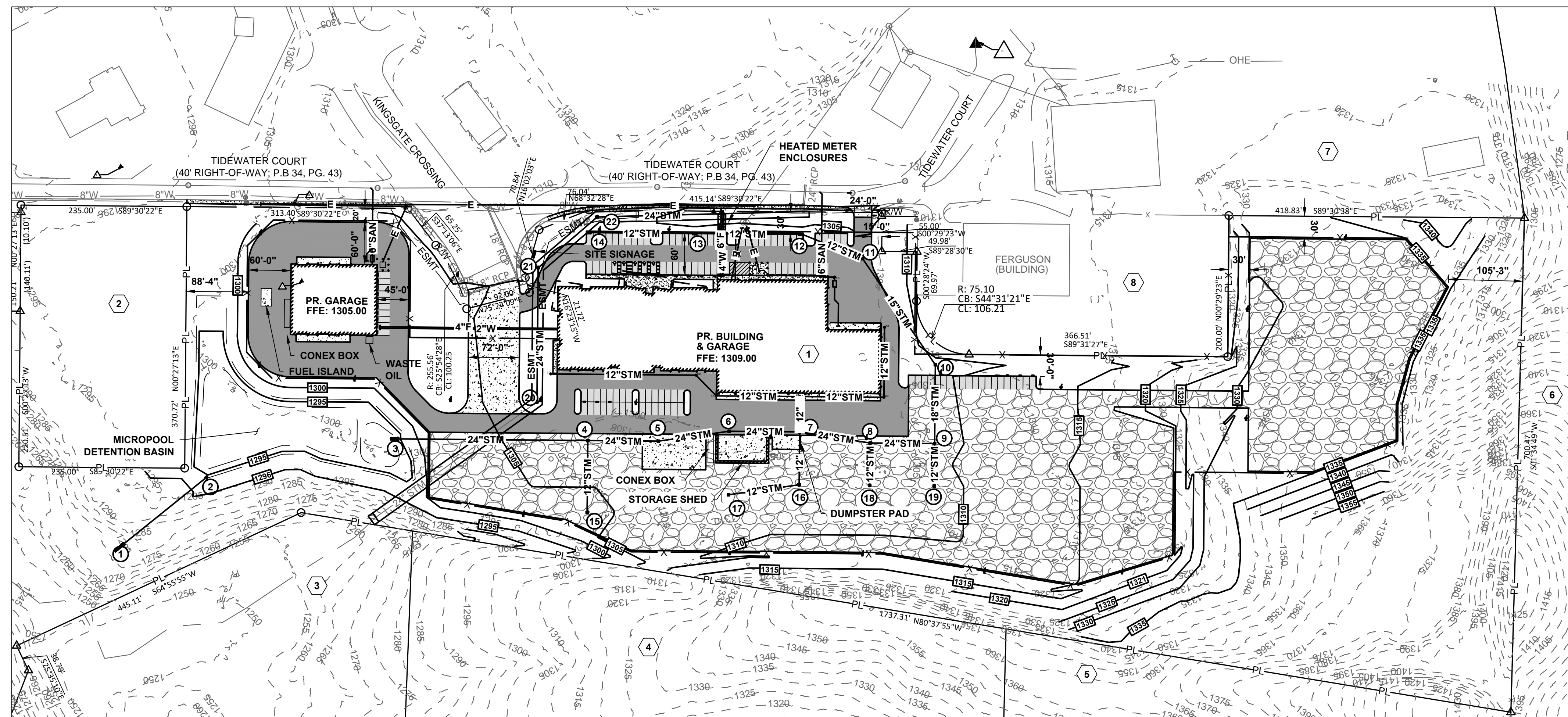
**PROPOSED ZONING: M-1R**

GENERAL PROJECT INFORMATION	
MAXIMUM BUILDING HEIGHT:	N/A
PROPOSED BUILDING HEIGHT:	26'
SITE USAGE:	PUBLIC UTILITIES
BUILDING AREA OFFICE (SF):	26,500
BUILDING AREA GARAGE (SF):	43,900

GENERAL ZONING INFORMATION	
ADDRESS:	1025 TIDEWATER COURT
PARCEL NO.:	08207602000
EXISTING ZONING CLASSIFICATION/DISTRICT:	B-4P & A-1 / GATEWAY DISTRICT
PROPOSED ZONING CLASSIFICATION/DISTRICT:	M-1R / GATEWAY DISTRICT
HEIGHT DISTRICT:	M-1R
TOTAL SITE AREA:	40.27
FLOOD ZONE:	X
FLOOD INSURANCE RATE MAP NUMBER (FIRM):	47163C0045D
MOST RECENT EFFECTIVE DATE OF FIRM:	9/29/2006
BASE FLOOD ELEVATION (BFE):	N/A

SITE DATA TABLE	
TOTAL SITE AREA:	40.27
TOTAL DISTURBED AREA:	17.26
DISTURBED IMPERVIOUS AREA:	5.39
PRE-DEVELOPED IMPERVIOUS:	5.39
POST-DEVELOPED IMPERVIOUS:	10.36

PARKING CALCULATION	
REQUIRED PARKING (1 SPACE PER 1.5 EMPLOYEES MAJOR SHIFT)	67
REQUIRED PARKING (1 SPACE PER COMPANY VEHICLE)	40
PROPOSED PARKING	124
REQUIRED ADA PARKING (VAN/TOTAL)	1/5
PROPOSED ADA PARKING (VAN/TOTAL)	1/5
REQUIRED BICYCLE PARKING	N/A



**INDEX MAP**  
1"=100'

**SITE DEVELOPMENT DATA**

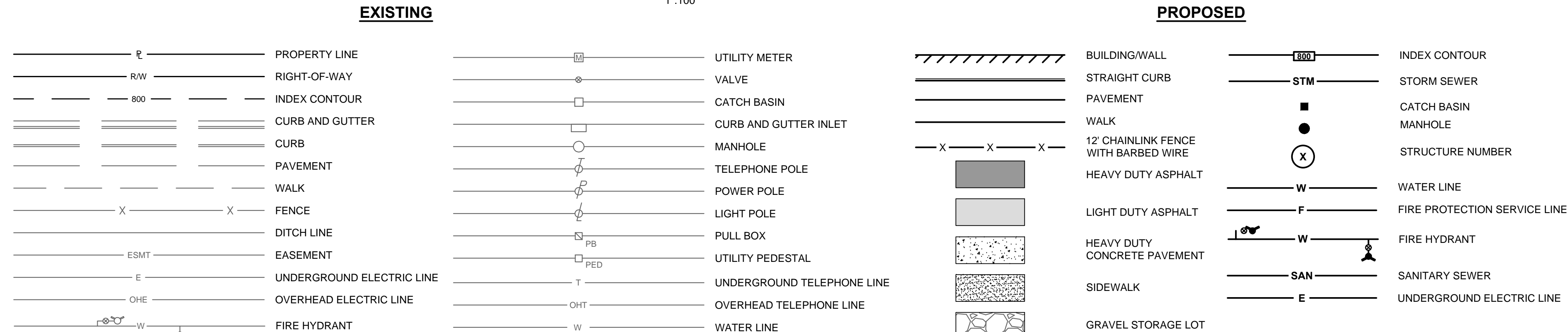
**ARCHITECT:**  
TRIAD  
172 E. STATE STREET, SUITE 600  
COLUMBUS, OH 43215  
CONTACT: KEVIN KINDY  
P: 614-696-4219  
EMAIL: KKINDY@TRIADARCHITECTS.COM

**OWNER/DEVELOPER:**  
AEP  
1 RIVERSIDE PLAZA  
COLUMBUS, OH 43215  
CONTACT: ERIC SAUER  
P: 614-716-1614  
EMAIL: EASAUER@AEP.COM

**ENGINEER:**  
KORDA/NEMETH ENGINEERING  
1650 WATERMARK DRIVE  
COLUMBUS, OH 43215  
CONTACT: GRAHAM WATKINS  
P: 614-643-1176  
EMAIL: GWATKINS@KORDA.COM

**LANDSCAPE ARCHITECT:**  
EDGE  
330 W. SPRING ST, SUITE 350  
CONTACT: BUZZ FORESI  
P: 614-486-3343  
EMAIL: BFORESI@EDGELA.COM

PROPERTY OWNERS				
X	OWNER NAME	PARCEL	ADDRESS	ZONING CLASS
1	KINGSPORT POWER COMPANY	08207602000	1025 TIDEWATER COURT	B-4P/A-1
2	ROY CLEVELAND ANDERSON II	082076 02010	1009 TIDEWATER COURT	B-4P
3	SOUTH KINGSPORT DEVELOPMENT LLC	08207600345	JOHN B DENNIS HWY	B-4P
4	SHANNON L HURD & TRACY E CLEEK	08207600340	JOHN B DENNIS HWY	A-1
5	SOUTH KINGSPORT DEVELOPMENT INC	08207600335	JOHN B DENNIS HWY	A-1
6	RODEFER CLAY & WANNELL	08207602100	RIDGEWAY RD 128	A-1
7	TELE OPTICS INC	08207601940	1041 TIDEWATER COURT	M-1
8	JAVIER A BENITEZ	08207601938	1037 TIDEWATER COURT	M-1



REV.	DATE	DESCRIPTION

**AEP - KINGSPORT SERVICE CENTER**  
1025 TIDEWATER COURT KINGSPORT, TN 37660

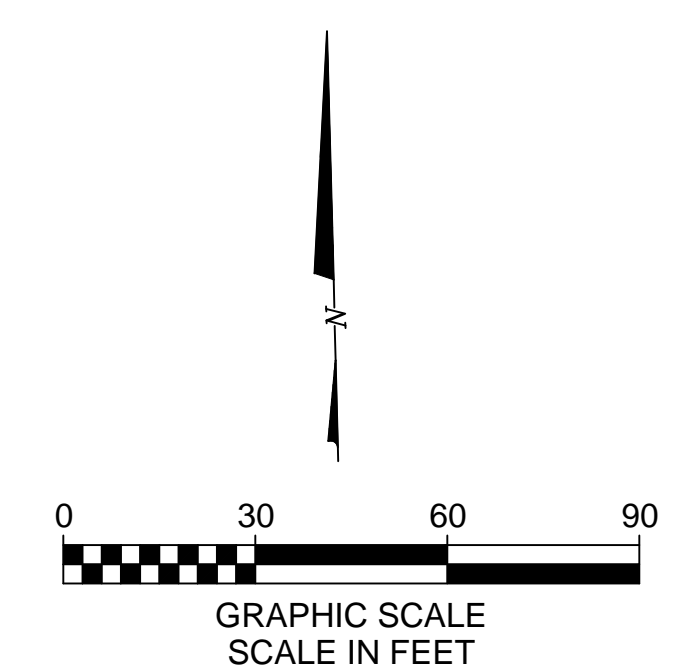
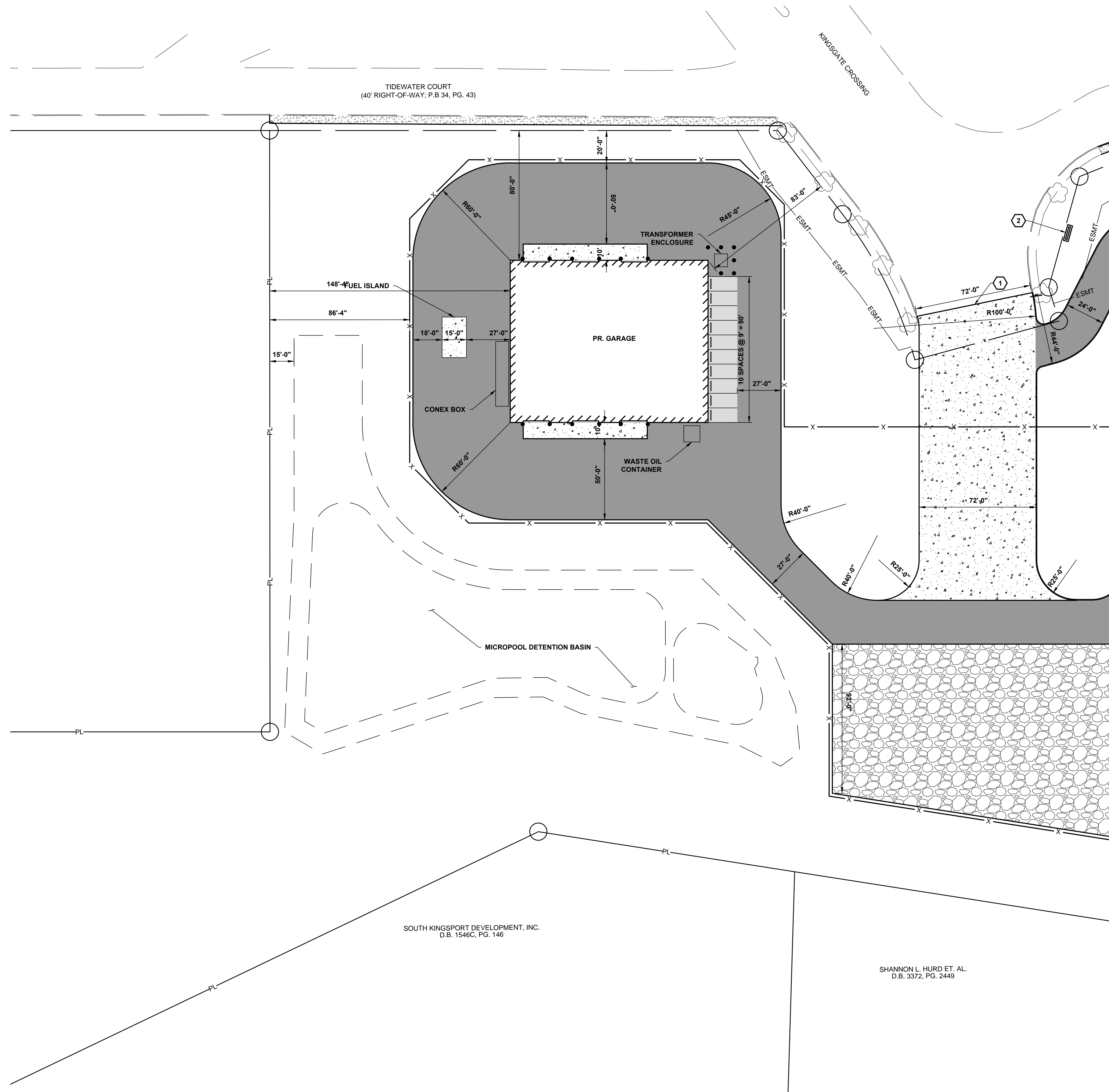
**TITLE SHEET**

**KORDA**  
Korda/Nemeth Engineering, Inc. - Consulting Engineers  
1650 Watermark Drive, Suite 200 - Columbus, Ohio 43215-7010  
TEL: 614-487-1650 - FAX: 614-487-8981 - WEB: www.korda.com

THE ARCHITECT / ENGINEER ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THE USE OF THESE PLANS FOR ANY PROJECT OTHER THAN SPECIFICALLY AUTHORIZED BY THEM AND BONDED AND SEALED FOR SUCH SPECIFIC LOCATION IN THE STATE. PROVISIONS OR STATUTES SHOWN ON THE SEAL. THIS BUILDING USE IS ONLY APPLICABLE IN AREAS MEETING THE STATED DESIGN CRITERIA.  
KNE JOB 2023-0004  
DRAWING NUMBER:

CHECKED BY: GJW  
DRAWN BY: KGW





**STAKING LEGEND**

- EXISTING**  
REFER TO SHEET C-002
- PROPOSED**
- R/W RIGHT-OF-WAY
  - P/L PROPERTY LINE
  - BUILDING/WALL
  - STRAIGHT CURB PER DETAIL J/C-104
  - PAVEMENT
  - WALK
  - 12' CHAINLINK FENCE WITH BARBED WIRE
  - PAINTED WHEELCHAIR SYMBOL
  - SIGN PER DETAIL A/C-100
  - HANDICAPPED PARKING SIGN PER DETAIL A/C-100
  - BOLLARD PER DETAIL H/C-104
  - BUMPER BLOCK PER DETAIL K/C-104
  - HEAVY DUTY ASPHALT PER DETAIL A/C-104
  - LIGHT DUTY ASPHALT PER DETAIL B/C-104
  - HEAVY DUTY CONCRETE PAVEMENT PER DETAIL C/C-104
  - SIDEWALK PER DETAIL D/C-104
  - GRAVEL LOT PER DETAIL I/C-104

**GENERAL NOTES:**

1. DIMENSIONS AND COORDINATES ARE GIVEN TO FACE OF CURB AND FACE OF BUILDING UNLESS OTHERWISE NOTED.
2. CURB AND SIDEWALK RADII SHALL BE 5'-0" UNLESS OTHERWISE NOTED.
3. PROVIDE STRIPING AND SYMBOLS AS SHOWN PER TDOT ITEM 919. PROVIDE STRIPING PAINT WITH GLASS BEADS. PROVIDE TYPE 1 OR TYPE 3 PAINT IN ACCORDANCE WITH TDOT ITEM 919 DEPENDING ON TEMPERATURE CONDITIONS AT THE TIME OF APPLICATION. TYPICAL LINE WIDTH SHALL BE 4 INCHES, COLOR WHITE. PROVIDE TWO COATS.
4. STANDARD PARKING STALL DIMENSIONS ARE 9'-0" IN WIDTH BY 18'-0" IN LENGTH UNLESS OTHERWISE NOTED.
5. SAWCUT FULL DEPTH SIDEWALK AND PAVEMENT WHERE NEW WORK ABUTS EXISTING CONSTRUCTION. TAKE CARE TO PROVIDE NEAT STRAIGHT LINES. PROVIDE PAVEMENT SEALANT PER TDOT ITEM 905 AT JOINT BETWEEN EXISTING AND NEW ASPHALT. REMOVE CONCRETE TO NEAREST JOINT. PROVIDE 1/2" PREFORMED EXPANSION JOINT FILLER BETWEEN NEW AND EXISTING CONSTRUCTION.
6. ANY PROPERTY PINS DAMAGED AS PART OF CONSTRUCTION SHALL BE RESET BY A TENNESSEE REGISTERED SURVEYOR.
7. PROVIDE 4 HANDICAP ACCESSIBLE PARKING SIGNS AND 1 VAN ACCESSIBLE PARKING SIGNS AS SHOWN ON DETAIL A/THIS SHEET. FINAL LOCATION OF SIGNS TO BE DETERMINED BY ARCHITECT.
8. MAINTAIN PEDESTRIAN AND VEHICULAR ACCESS TO ADJACENT BUILDINGS AT ALL TIMES DURING CONSTRUCTION.
9. REFER TO ARCHITECTURAL DRAWINGS FOR ALL SITE SIGNAGE NOT SHOWN ON THIS SHEET.
10. BUILDING COORDINATES PROVIDED FOR BUILDING LOCATION ONLY. REFER TO ARCHITECTURAL PLANS FOR BUILDING LAYOUT.
11. PROVIDE CONCRETE PARKING BLOCKS PER PLAN AND PER DETAIL K/C-104.
12. PROVIDE CONTROL JOINTS PER DETAIL. PROVIDE ISOLATION JOINTS WHERE NEW CONCRETE ABUTS EXISTING STRUCTURES PER DETAIL F/C-104 AND PER SPECIFICATIONS.

**(X) CODED NOTES:**

1. SAW-CUT EXISTING PAVEMENT WITH NEAT, STRAIGHT LINES. MATCH EXISTING PAVEMENT GRADE AT THIS POINT.
2. SITE SIGNAGE. REFER TO ARCHITECTURAL PLANS FOR DETAILS.

SOUTH KINGSFORT DEVELOPMENT, INC.  
D.B. 1546C, PG. 146

SHANNON L. HURD ET. AL.  
D.B. 3372, PG. 2449

REV.	DATE	DESCRIPTION

**AEP - KINGSFORT SERVICE CENTER**  
1025 TIDEWATER COURT KINGSFORT, TN 37660

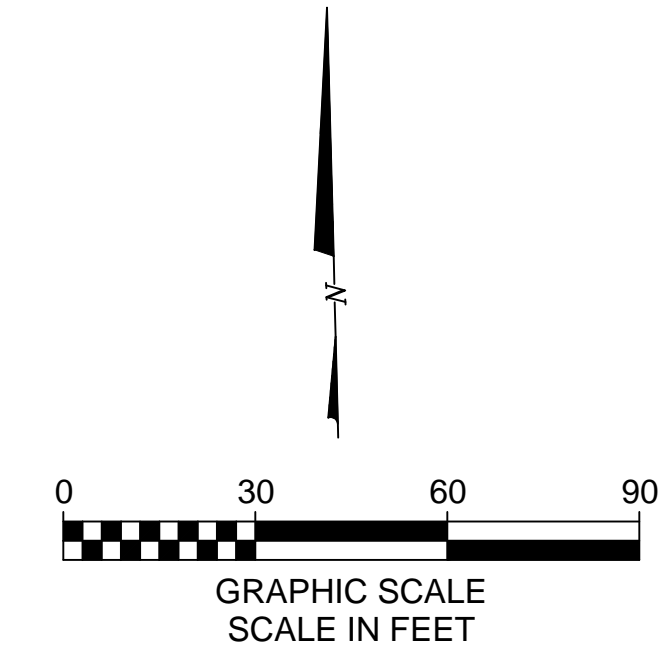
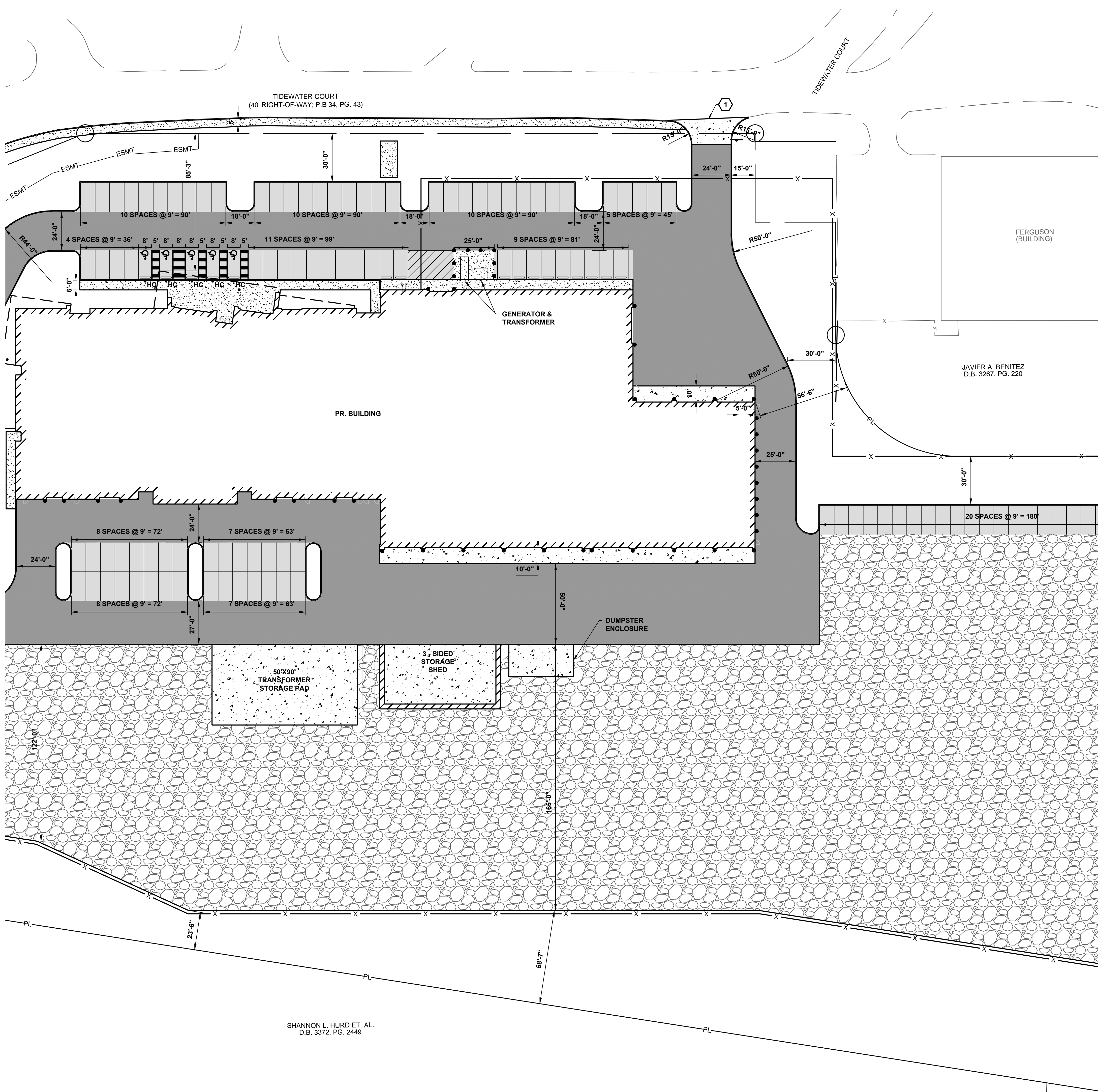
**SITE STAKING PLAN**

**KORDA**  
Korda/Nemeth Engineering, Inc. - Consulting Engineers  
1650 Watermark Drive, Suite 200 - Columbus, Ohio 43215-7010  
TEL 614-487-1650 - FAX 614-487-8981 - WEB www.korda.com

**DRAWN BY: KGW**      **CHECKED BY: GJW**

THE ARCHITECT / ENGINEER ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THE USE OF THESE PLANS FOR ANY PROJECT OTHER THAN SPECIFICALLY AUTHORIZED BY THEM AND SIGNED AND SEALED FOR SUCH SPECIFIC LOCATION IN THE STATE, PROVINCE OR TERRITORY SHOWN ON THE SEAL. THIS BUILDING USE IS ONLY APPLICABLE IN AREAS MEETING THE STATED DESIGN CRITERIA.

KNE JOB 2023-0004  
**DRAWING NUMBER: 7/28**



**STAKING LEGEND**

- EXISTING**  
REFER TO SHEET C-002
- PROPOSED**
- R/W RIGHT-OF-WAY
  - P/L PROPERTY LINE
  - BUILDING/WALL
  - STRAIGHT CURB PER DETAIL J/C-104
  - PAVEMENT
  - WALK
  - 12' CHAINLINK FENCE WITH BARBED WIRE
  - PAINTED WHEELCHAIR SYMBOL
  - SIGN PER DETAIL A/C-100
  - HANDICAPPED PARKING SIGN PER DETAIL A/C-100
  - BOLLARD PER DETAIL H/C-104
  - BUMPER BLOCK PER DETAIL K/C-104
  - HEAVY DUTY ASPHALT PER DETAIL A/C-104
  - LIGHT DUTY ASPHALT PER DETAIL B/C-104
  - HEAVY DUTY CONCRETE PAVEMENT PER DETAIL C/C-104
  - SIDEWALK PER DETAIL D/C-104
  - GRAVEL LOT PER DETAIL I/C-104

**GENERAL NOTES:**

1. DIMENSIONS AND COORDINATES ARE GIVEN TO FACE OF CURB AND FACE OF BUILDING UNLESS OTHERWISE NOTED.
2. CURB AND SIDEWALK RADII SHALL BE 5'-0" UNLESS OTHERWISE NOTED.
3. PROVIDE STRIPING AND SYMBOLS AS SHOWN PER TDOT ITEM 919. PROVIDE STRIPING PAINT WITH GLASS BEADS. PROVIDE TYPE 1 OR TYPE 3 PAINT IN ACCORDANCE WITH TDOT ITEM 919 DEPENDING ON TEMPERATURE CONDITIONS AT THE TIME OF APPLICATION. TYPICAL LINE WIDTH SHALL BE 4 INCHES. COLOR WHITE. PROVIDE TWO COATS.
4. STANDARD PARKING STALL DIMENSIONS ARE 9'-0" IN WIDTH BY 18'-0" IN LENGTH UNLESS OTHERWISE NOTED.
5. SAWCUT FULL DEPTH SIDEWALK AND PAVEMENT WHERE NEW WORK ABUTS EXISTING CONSTRUCTION. TAKE CARE TO PROVIDE NEAT STRAIGHT LINES. PROVIDE PAVEMENT SEALANT PER TDOT ITEM 905 AT JOINT BETWEEN EXISTING AND NEW ASPHALT. REMOVE CONCRETE TO NEAREST JOINT. PROVIDE 1/2" PREFORMED EXPANSION JOINT FILLER BETWEEN NEW AND EXISTING CONSTRUCTION.
6. ANY PROPERTY PINS DAMAGED AS PART OF CONSTRUCTION SHALL BE RESET BY A TENNESSEE REGISTERED SURVEYOR.
7. PROVIDE 2 HANDICAP ACCESSIBLE PARKING SIGNS AND 1 VAN ACCESSIBLE PARKING SIGNS AS SHOWN ON DETAIL A/THIS SHEET. FINAL LOCATION OF SIGNS TO BE DETERMINED BY ARCHITECT.
8. MAINTAIN PEDESTRIAN AND VEHICULAR ACCESS TO ADJACENT BUILDINGS AT ALL TIMES DURING CONSTRUCTION.
9. REFER TO ARCHITECTURAL DRAWINGS FOR ALL SITE SIGNAGE NOT SHOWN ON THIS SHEET.
10. BUILDING COORDINATES PROVIDED FOR BUILDING LOCATION ONLY. REFER TO ARCHITECTURAL PLANS FOR BUILDING LAYOUT.
11. PROVIDE CONCRETE PARKING BLOCKS PER PLAN AND PER DETAIL K/C-104.
12. PROVIDE CONTROL JOINTS PER DETAIL. PROVIDE ISOLATION JOINTS WHERE NEW CONCRETE ABUTS EXISTING STRUCTURES PER DETAIL F/C-104 AND PER SPECIFICATIONS.

**(X) CODED NOTES:**

1. SAW-CUT EXISTING PAVEMENT WITH NEAT, STRAIGHT LINES. MATCH EXISTING PAVEMENT GRADE AT THIS POINT.

Match Line See Sheet C-101

Match Line See Sheet C-103

SHANNON L. HURD ET. AL.  
D.B. 3372, PG. 2449

REV.	DATE	DESCRIPTION

**AEP - KINGSPOST SERVICE CENTER**  
1025 TIDEWATER COURT KINGSPOST, TN 37660

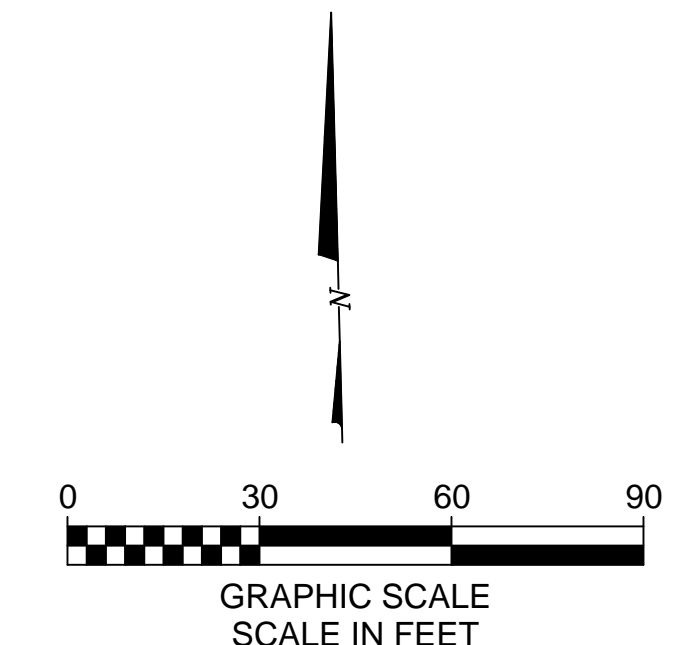
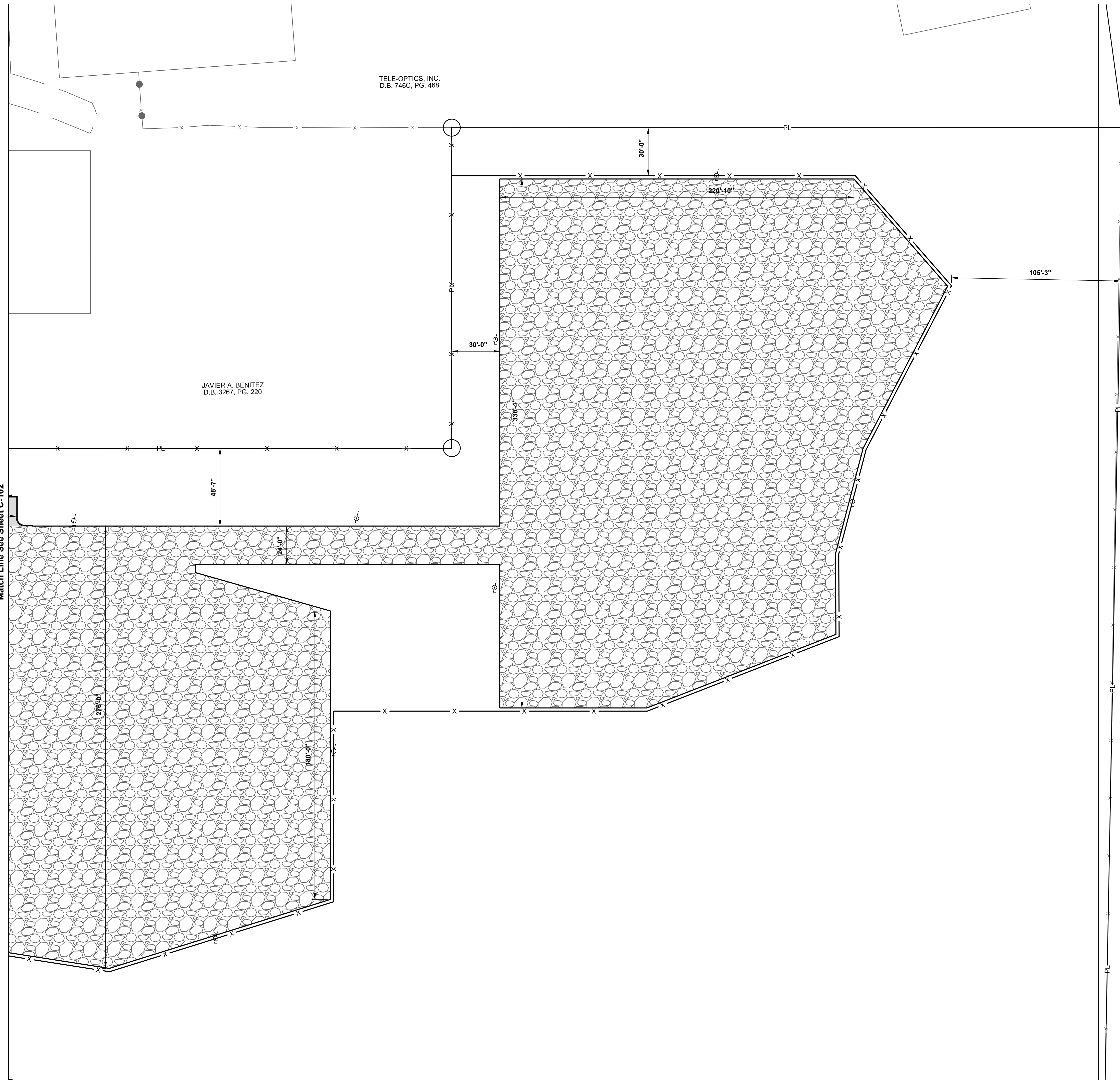
**SITE STAKING PLAN**

**KORDA**  
Korda/Nemeth Engineering, Inc. - Consulting Engineers  
1650 Watermark Drive, Suite 200 - Columbus, Ohio 43215-7010  
TEL 614-487-1650 - FAX 614-487-9881 - WEB www.korda.com

THE ARCHITECT / ENGINEER ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THE USE OF THESE PLANS FOR ANY PROJECT OTHER THAN SPECIFICALLY AUTHORIZED BY THEM AND SIGNED AND SEALED FOR SUCH SPECIFIC LOCATION IN THE STATE, PROVINCE OR TERRITORY SHOWN ON THE SEAL. THIS BUILDING USE IS ONLY APPLICABLE IN AREAS MEETING THE STATED DESIGN CRITERIA.

KNE JOB 2023-0004  
DRAWING NUMBER:  
**8/28**

DRAWN BY: KGW  
CHECKED BY: GJW



**STAKING LEGEND**

- EXISTING**  
REFER TO SHEET C-002
- PROPOSED**
- R/W RIGHT-OF-WAY
  - P/L PROPERTY LINE
  - BUILDING/WALL
  - STRAIGHT CURB PER DETAIL J/C-104
  - PAVEMENT
  - WALK
  - 12' CHAINLINK FENCE WITH BARBED WIRE
  - PAINTED WHEELCHAIR SYMBOL
  - SIGN PER DETAIL A/C-100
  - HANDICAPPED PARKING SIGN PER DETAIL A/C-100
  - BOLLARD PER DETAIL H/C-104
  - BUMPER BLOCK PER DETAIL K/C-104
  - HEAVY DUTY ASPHALT PER DETAIL A/C-104
  - LIGHT DUTY ASPHALT PER DETAIL B/C-104
  - HEAVY DUTY CONCRETE PAVEMENT PER DETAIL C/C-104
  - SIDEWALK PER DETAIL D/C-104
  - GRAVEL LOT PER DETAIL I/C-104

**GENERAL NOTES:**

1. DIMENSIONS AND COORDINATES ARE GIVEN TO FACE OF CURB AND FACE OF BUILDING UNLESS OTHERWISE NOTED.
2. CURB AND SIDEWALK RADII SHALL BE 5'-0" UNLESS OTHERWISE NOTED.
3. PROVIDE STRIPING AND SYMBOLS AS SHOWN PER TDOT ITEM 919. PROVIDE STRIPING PAINT WITH GLASS BEADS. PROVIDE TYPE I OR TYPE 3 PAINT IN ACCORDANCE WITH TDOT ITEM 919 DEPENDING ON TEMPERATURE CONDITIONS AT THE TIME OF APPLICATION. TYPICAL LINE WIDTH SHALL BE 4 INCHES, COLOR WHITE. PROVIDE TWO COATS.
4. STANDARD PARKING STALL DIMENSIONS ARE 9'-0" IN WIDTH BY 18'-0" IN LENGTH UNLESS OTHERWISE NOTED.
5. SAWCUT FULL DEPTH SIDEWALK AND PAVEMENT WHERE NEW WORK ABUTS EXISTING CONSTRUCTION. TAKE CARE TO PROVIDE NEAT STRAIGHT LINES. PROVIDE PAVEMENT SEALANT PER TDOT ITEM 905 AT JOINT BETWEEN EXISTING AND NEW ASPHALT. REMOVE CONCRETE TO NEAREST JOINT. PROVIDE 1/2" PREFORMED EXPANSION JOINT FILLER BETWEEN NEW AND EXISTING CONSTRUCTION.
6. ANY PROPERTY PINS DAMAGED AS PART OF CONSTRUCTION SHALL BE RESET BY A TENNESSEE REGISTERED SURVEYOR.
7. PROVIDE 2 HANDICAP ACCESSIBLE PARKING SIGNS AND 1 VAN ACCESSIBLE PARKING SIGNS AS SHOWN ON DETAIL A/THIS SHEET. FINAL LOCATION OF SIGNS TO BE DETERMINED BY ARCHITECT.
8. MAINTAIN PEDESTRIAN AND VEHICULAR ACCESS TO ADJACENT BUILDINGS AT ALL TIMES DURING CONSTRUCTION.
9. REFER TO ARCHITECTURAL DRAWINGS FOR ALL SITE SIGNAGE NOT SHOWN ON THIS SHEET.
10. BUILDING COORDINATES PROVIDED FOR BUILDING LOCATION ONLY. REFER TO ARCHITECTURAL PLANS FOR BUILDING LAYOUT.
11. PROVIDE CONCRETE PARKING BLOCKS PER PLAN AND PER DETAIL K/C-104.
12. PROVIDE CONTROL JOINTS PER DETAIL. PROVIDE ISOLATION JOINTS WHERE NEW CONCRETE ABUTS EXISTING STRUCTURES PER DETAIL F/C-104 AND PER SPECIFICATIONS.

**CODED NOTES:**

1. SAW-CUT EXISTING PAVEMENT WITH NEAT, STRAIGHT LINES. MATCH EXISTING PAVEMENT GRADE AT THIS POINT.

REV.	DATE	DESCRIPTION

**AEP - KINGSPORT SERVICE CENTER**  
1025 TIDEWATER COURT KINGSPORT, TN 37660

**SITE STAKING PLAN**

**KORDA**  
Korda/Nemeth Engineering, Inc. - Consulting Engineers  
1650 Watermark Drive, Suite 200 - Columbus, Ohio 43215-7010  
TEL 614-487-1650 - FAX 614-487-8981 - WEB www.korda.com

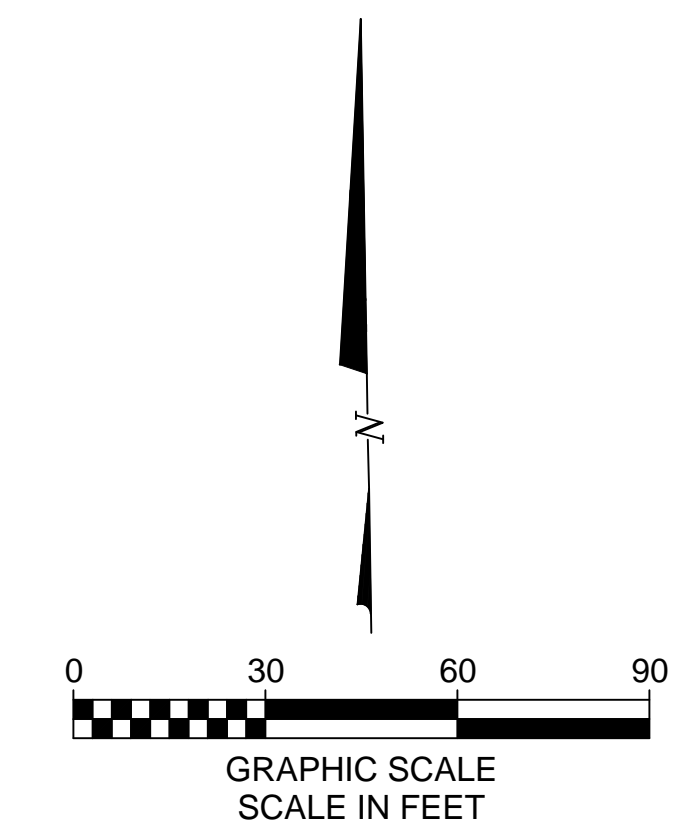
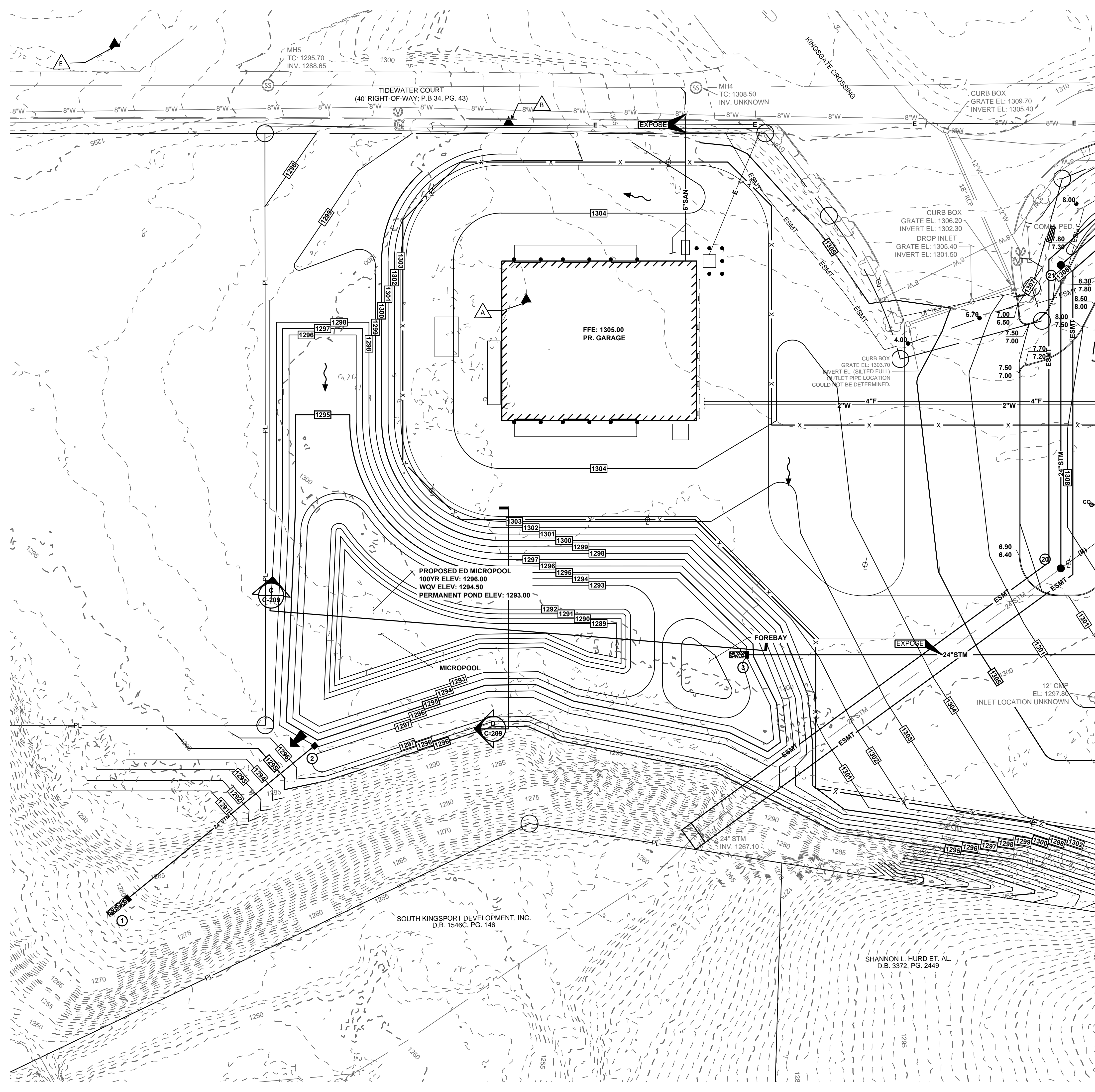
THE ARCHITECT / ENGINEER ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THE USE OF THESE PLANS FOR ANY PROJECT OTHER THAN SPECIFICALLY AUTHORIZED BY THEM AND SIGNED AND SEALED FOR SUCH SPECIFIC LOCATION IN THE STATE, PROVINCE OR TERRITORY SHOWN ON THE SEAL. THIS BUILDING USE IS ONLY APPLICABLE IN AREAS MEETING THE STATED DESIGN CRITERIA.

KNE JOB 2023-0004

DRAWING NUMBER:

9/28

DRAWN BY: KGW  
CHECKED BY: GJW



**GRADING LEGEND**

- EXISTING**  
REFER TO SHEET C-002
- PROPOSED**
- INDEX CONTOUR
  - INTERMEDIATE CONTOUR
  - BUILDING/WALL
  - WATER LINE
  - FIRE PROTECTION SERVICE LINE
  - GAS LINE
  - STORM SEWER
  - UNDERDRAIN
  - SANITARY SEWER
  - UNDERGROUND ELECTRIC LINE
  - CUT AND PLUG EXISTING UTILITY
  - ABANDON EXISTING UTILITY
  - REMOVE EXISTING UTILITY
  - CATCH BASIN
  - MANHOLE
  - DOWNSPOUT ADAPTER
  - GATE VALVE & CURB BOX
  - FIRE DEPARTMENT CONNECTION
  - CLEAN OUT
  - LIGHT POLE
  - STRUCTURE NUMBER
  - GRADE BREAK (CROWN) LINE
  - GRADING/SEEDING LIMITS
  - SPOT ELEVATION
  - TOP OF CASTING
  - TOP OF CURB ELEVATION
  - GUTTER ELEVATION AT FACE OF CURB
  - FLOW DIRECTION ARROW
  - EMERGENCY OVERFLOW
  - MATCH EXISTING ELEVATION
  - HIGH (CROWN) POINT

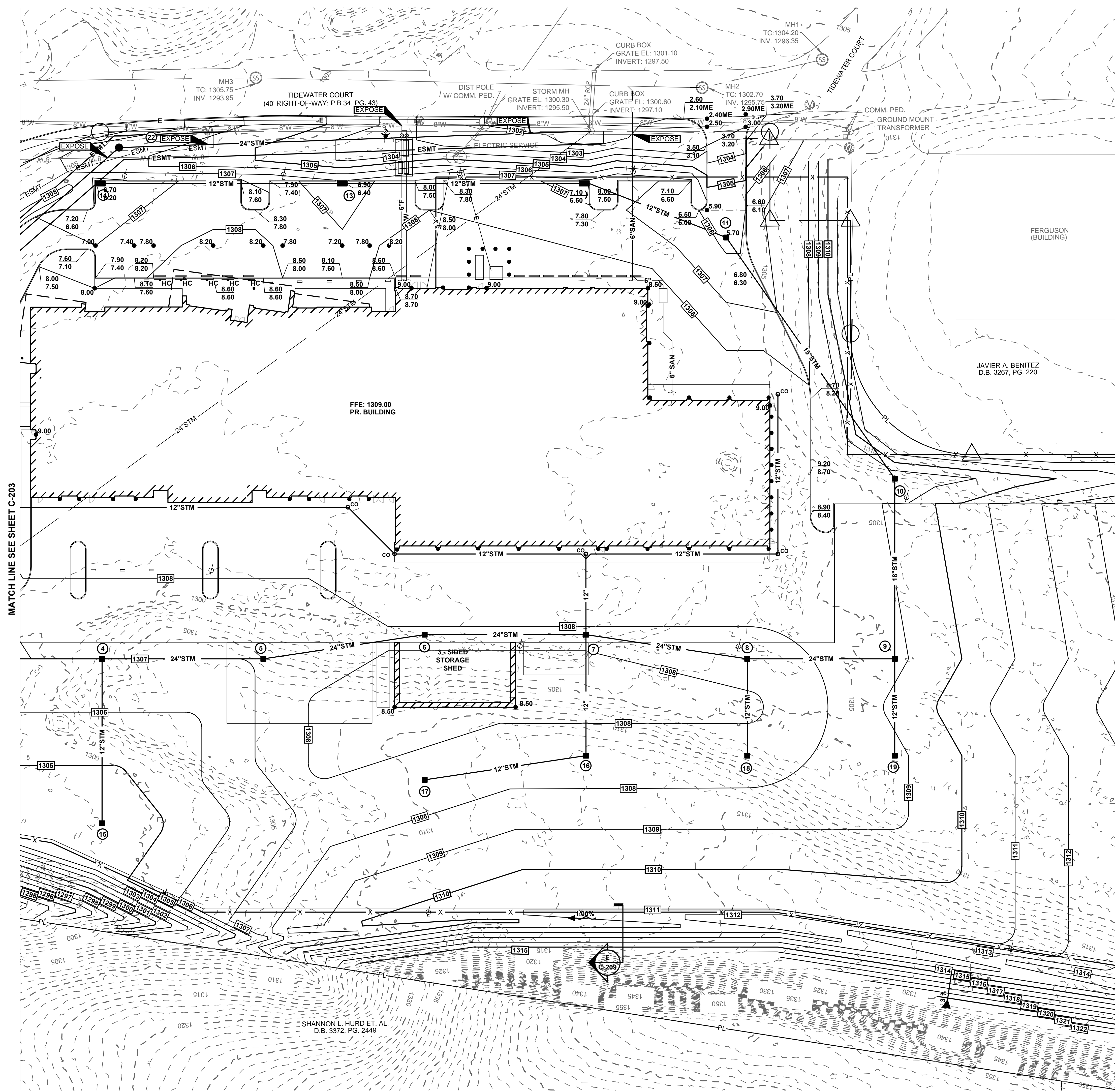
REV.	DATE	DESCRIPTION

**AEP - KINGSPORT SERVICE CENTER**  
1025 TIDEWATER COURT KINGSPORT, TN 37660

**GRADING & STORM SEWER PLAN**

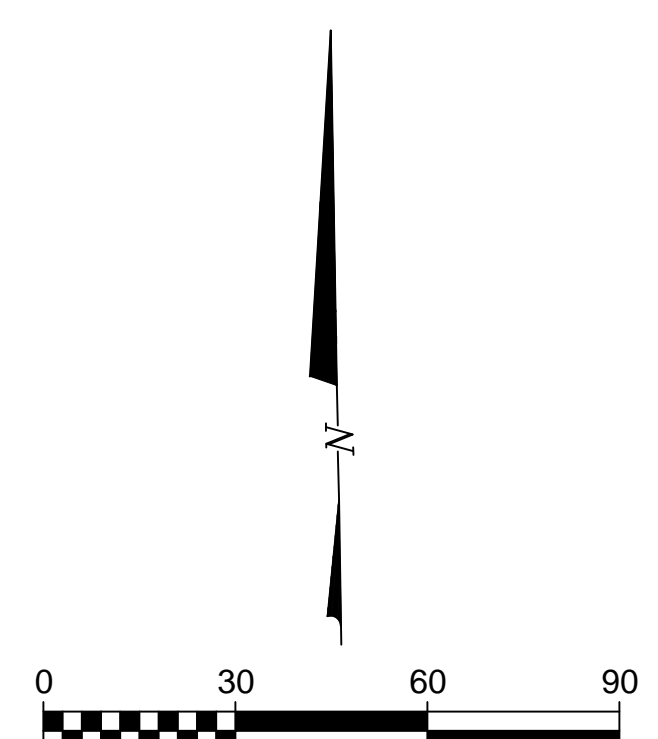
**KORDA**  
Korda/Nemeth Engineering, Inc. - Consulting Engineers  
1650 Watermark Drive, Suite 200 - Columbus, Ohio 43215-7010  
TEL 614-487-1650 - FAX 614-487-8981 - WEB www.korda.com

**DRAWN BY: KGW**      **CHECKED BY: GJW**



MATCH LINE SEE SHEET C-203

MATCHLINE SEE SHEET C-205



GRAPHIC SCALE  
SCALE IN FEET

**GRADING LEGEND**

- EXISTING**  
REFER TO SHEET C-002
- PROPOSED**
- INDEX CONTOUR
  - INTERMEDIATE CONTOUR
  - BUILDING/WALL
  - WATER LINE
  - FIRE PROTECTION SERVICE LINE
  - GAS LINE
  - STORM SEWER
  - UNDERDRAIN
  - SANITARY SEWER
  - UNDERGROUND ELECTRIC LINE
  - CUT AND PLUG EXISTING UTILITY
  - ABANDON EXISTING UTILITY
  - REMOVE EXISTING UTILITY
  - CATCH BASIN
  - MANHOLE
  - DOWNSPOUT ADAPTER
  - GATE VALVE & CURB BOX
  - FIRE DEPARTMENT CONNECTION
  - CLEAN OUT
  - LIGHT POLE
  - STRUCTURE NUMBER
  - GRADE BREAK (CROWN) LINE
  - GRADING/SEEDING LIMITS
  - SPOT ELEVATION
  - TOP OF CASTING
  - TOP OF CURB ELEVATION
  - GUTTER ELEVATION AT FACE OF CURB
  - FLOW DIRECTION ARROW
  - EMERGENCY OVERFLOW
  - MATCH EXISTING ELEVATION
  - HIGH (CROWN) POINT

REVISION/UPLOAD DATE

REV.	DATE	DESCRIPTION

**AEP - KINGSFORT SERVICE CENTER**  
1025 TIDEWATER COURT KINGSFORT, TN 37660

**GRADING & STORM SEWER PLAN**

**KORDA**  
Korda/Nemeth Engineering, Inc. - Consulting Engineers  
1650 Watermark Drive, Suite 200 - Columbus, Ohio 43215-7010  
TEL 614-487-1650 - FAX 614-487-9881 - WEB www.korda.com

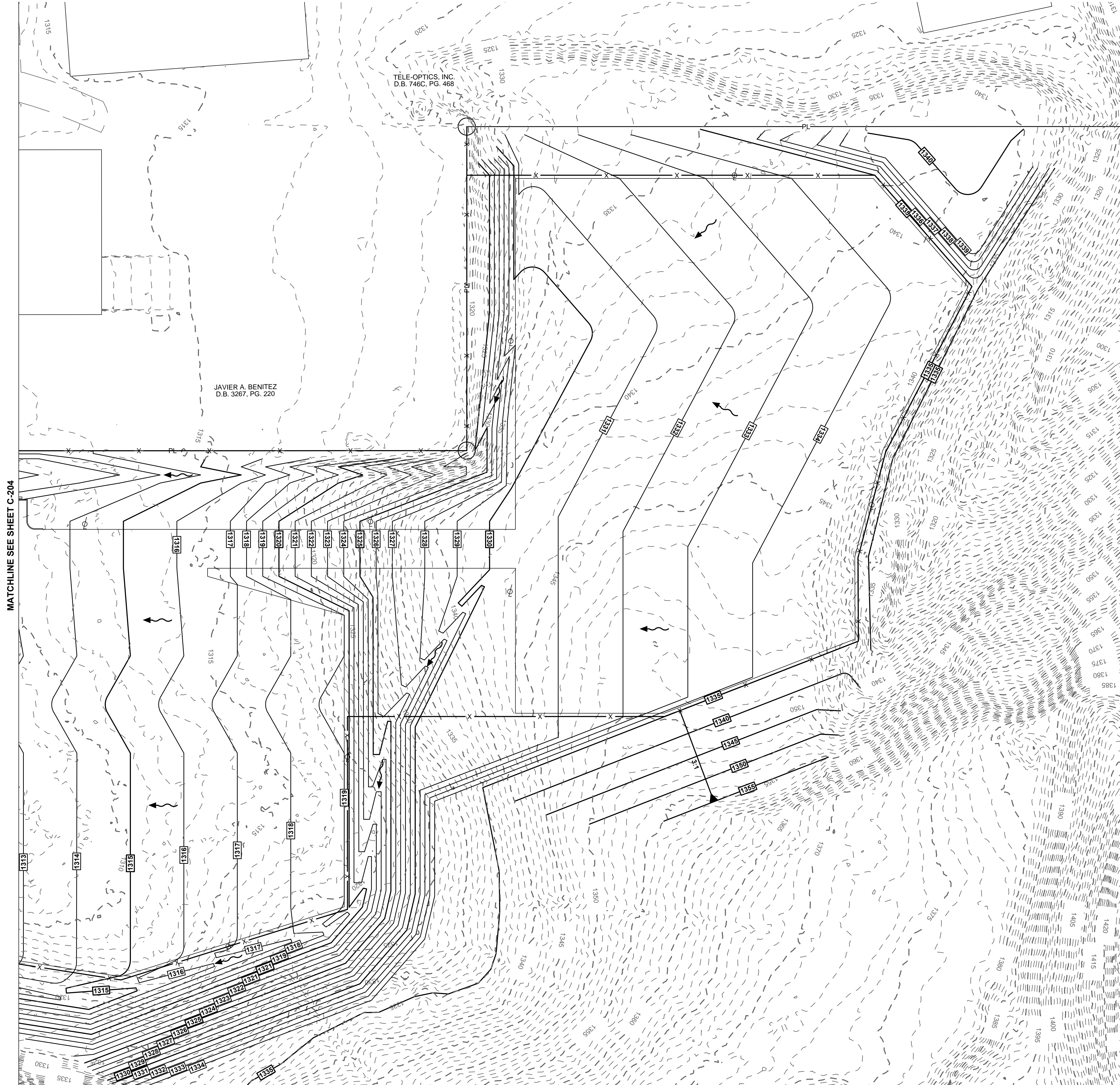
THE ARCHITECT / ENGINEER ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THE USE OF THESE PLANS FOR ANY PROJECT OTHER THAN SPECIFICALLY AUTHORIZED BY THEM AND BONDED AND SEALED FOR SUCH SPECIFIC LOCATION IN THE STATE, PROVINCE OR TERRITORY SHOWN ON THE SEAL. THIS BUILDING USE IS ONLY APPLICABLE IN AREAS MEETING THE STATED DESIGN CRITERIA.

KNE JOB 2023-0004

DRAWING NUMBER:

14/28

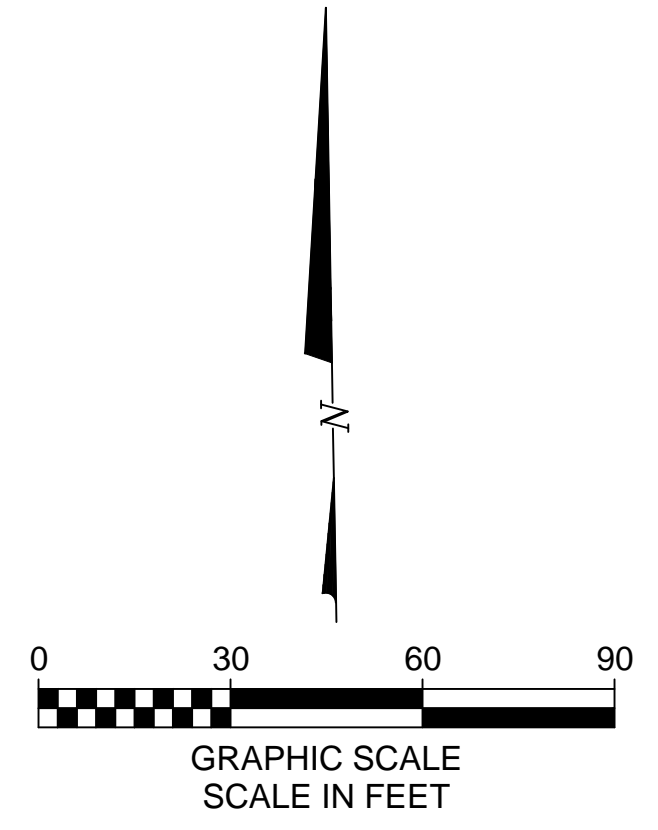
DRAWN BY: KGW CHECKED BY: GJW



TELE-OPTICS, INC.  
D.B. 746C, PG. 468

JAVIER A. BENITEZ  
D.B. 3267, PG. 220

MATCHLINE SEE SHEET C-204



**GRADING LEGEND**

- EXISTING**  
REFER TO SHEET C-002
- PROPOSED**
- INDEX CONTOUR
  - INTERMEDIATE CONTOUR
  - BUILDING/WALL
  - WATER LINE
  - FIRE PROTECTION SERVICE LINE
  - GAS LINE
  - STORM SEWER
  - UNDERDRAIN
  - SANITARY SEWER
  - UNDERGROUND ELECTRIC LINE
  - CUT AND PLUG EXISTING UTILITY
  - ABANDON EXISTING UTILITY
  - REMOVE EXISTING UTILITY
  - CATCH BASIN
  - MANHOLE
  - DOWNSPOUT ADAPTER
  - GATE VALVE & CURB BOX
  - FIRE DEPARTMENT CONNECTION
  - CLEAN OUT
  - LIGHT POLE
  - STRUCTURE NUMBER
  - GRADE BREAK (CROWN) LINE
  - GRADING/SEEDING LIMITS
  - SPOT ELEVATION
  - TOP OF CASTING
  - TOP OF CURB ELEVATION  
GUTTER ELEVATION AT FACE OF CURB
  - FLOW DIRECTION ARROW
  - EMERGENCY OVERFLOW
  - MATCH EXISTING ELEVATION
  - HIGH (CROWN) POINT

REV.	DATE	DESCRIPTION

**AEP - KINGSPOST SERVICE CENTER**  
1025 TIDEWATER COURT KINGSPOST, TN 37660

**GRADING & STORM SEWER PLAN**

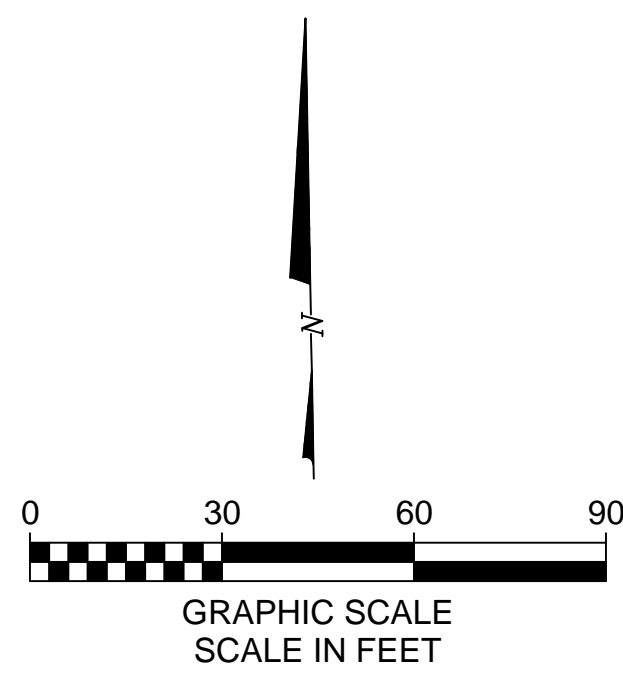
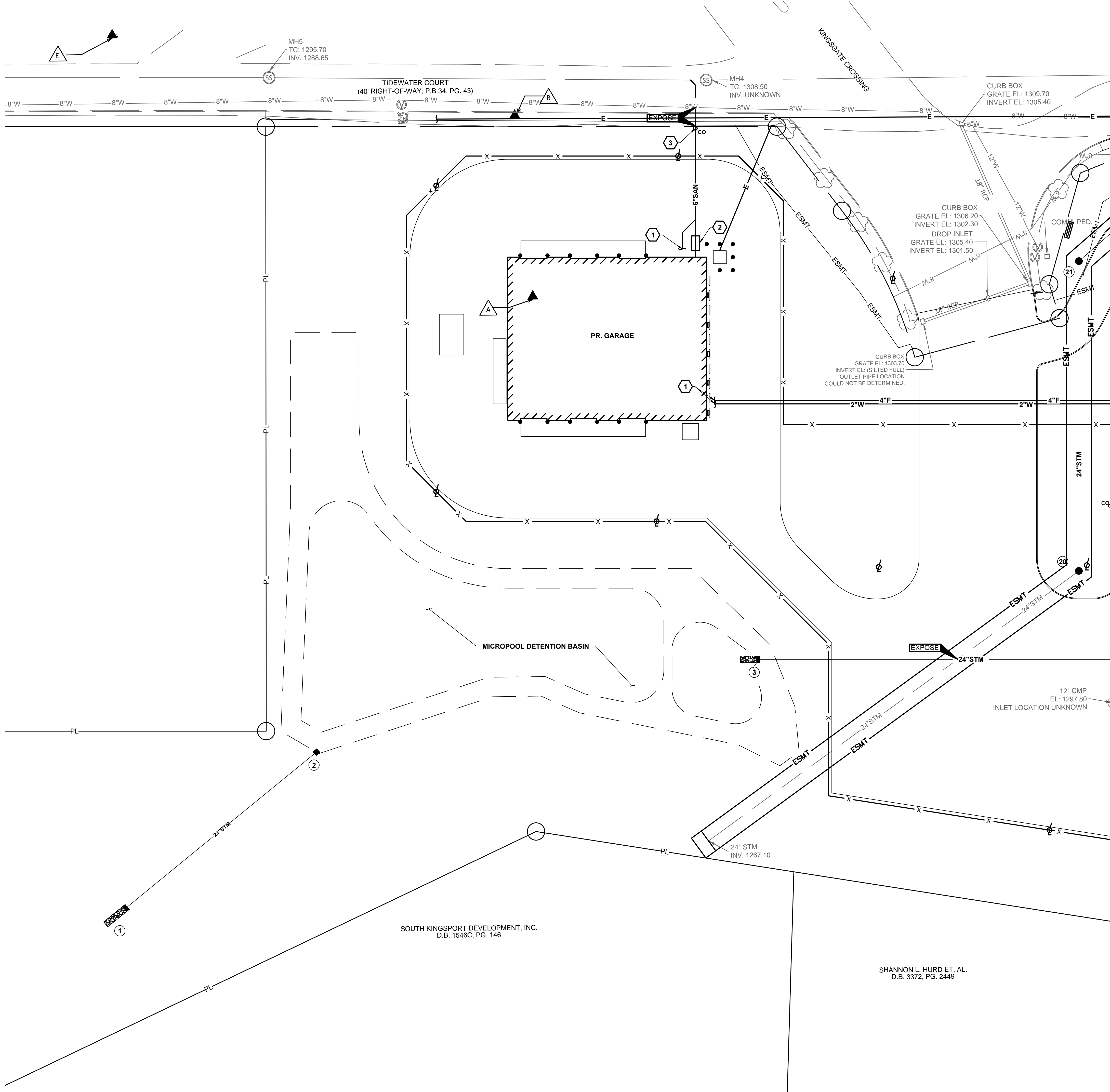
**KORDA**  
Korda/Nemeth Engineering, Inc. - Consulting Engineers  
1650 Watermark Drive, Suite 200 - Columbus, Ohio 43215-7010  
TEL 614-487-1650 - FAX 614-487-8981 - WEB www.korda.com

THE ARCHITECT / ENGINEER ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THE USE OF THESE PLANS FOR ANY PROJECT OTHER THAN SPECIFICALLY AUTHORIZED BY THEM AND BONDED AND SEALED FOR SUCH SPECIFIC LOCATION IN THE STATE, PROVINCE OR TERRITORY SHOWN ON THE SEAL. THIS BUILDING USE IS ONLY APPLICABLE IN AREAS MEETING THE STATED DESIGN CRITERIA.

KNE JOB 2023-0004  
DRAWING NUMBER:  
**15/28**

DRAWN BY: KGW CHECKED BY: GJW





**UTILITY LEGEND**

- EXISTING**  
REFER TO SHEET C-002
- PROPOSED**
- E — UNDERGROUND ELECTRIC LINE
  - W — WATER LINE
  - F — FIRE PROTECTION SERVICE LINE
  - STM — STORM SEWER
  - SAN — SANITARY SEWER
  - -SAN — SANITARY SEWER (BY OTHERS)
  - W — FIRE HYDRANT
- ⊗ GATE VALVE & CURB BOX
  - ⚡ FIRE DEPARTMENT CONNECTION
  - CO CLEAN OUT
  - ⊕ LIGHT POLE
  - ⊞ ELECTRIC VEHICLE CHARGER

**GENERAL NOTES:**

1. DIMENSIONS AND COORDINATES ARE FROM FACE OF CURB OR EXTERIOR FACE OF BUILDING, UNLESS OTHERWISE NOTED.
2. EXTEND UTILITIES TO WITHIN 5' OF FACE OF BUILDING, UNLESS OTHERWISE NOTED. COORDINATE EXACT LOCATION WITH PLUMBING CONTRACTOR. FINAL CONNECTION BY PLUMBING CONTRACTOR.
3. REFER TO SHEETS C-203-C-209 FOR STORM SEWER INFORMATION.
4. MAINTAIN MINIMUM 3'-0" COVER OVER ALL WATERLINES. REFER TO SHEET C-304 FOR PROFILE.
5. MAINTAIN MINIMUM 18" VERTICAL CLEARANCE FROM THE OUTSIDE OF ANY WATERLINE PIPE TO THE OUTSIDE OF ANY STORM OR SANITARY SEWER.
6. PROVIDE THRUST BLOCKS OR RESTRAINED MECHANICAL JOINT PIPE AT EACH VALVE, TEE, FITTING, OR CHANGE IN DIRECTION OF WATERLINE.
7. REFER TO CITY OF KINGSPORT STANDARD DRAWINGS FOR TYPICAL FIRE HYDRANT INSTALLATION DETAILS.
8. ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER ARE PROHIBITED.
9. CONNECTION TO EXISTING WATER MAINS SHALL NOT BE PERFORMED UNTIL THE NEW LINES HAVE BEEN SANITIZED AND ALL TESTS HAVE BEEN COMPLETED AS SPECIFIED BY THE CITY OF KINGSPORT AND THESE CONTRACT DOCUMENTS.
10. ALL COORDINATES AND ELEVATIONS BASED ON SURVEY PERFORMED BY AGE ENGINEERING SERVICES, INC. DATED 11/29/2022. REFER TO SHEET TS1.
11. WHERE PLANS PROVIDE FOR A PROPOSED UTILITY TO BE CONNECTED TO, OR CROSS OVER, OR UNDER AN EXISTING UNDERGROUND UTILITY, THE CONTRACTOR SHALL LOCATE THE EXISTING PIPES OR UTILITIES, BOTH AS TO LINE AND GRADE BEFORE STARTING TO LAY THE PROPOSED UTILITY. THESE LOCATIONS ARE NOTED THUS: **EXPOSE**. IF IT IS DETERMINED THAT THE ELEVATION OF THE EXPOSED UTILITY DIFFERS FROM THE PLAN ELEVATION, RESULTS IN A CHANGE IN THE PLAN SEWER SLOPE, OR WILL INTERSECT AN EXISTING UTILITY AS SHOWN ON THE PLAN, THE ENGINEER SHALL BE NOTIFIED BEFORE STARTING CONSTRUCTION OF ANY PORTION OF THE PROPOSED UTILITY WHICH WILL BE AFFECTED BY THE VARIANCE IN THE EXISTING ELEVATIONS.
12. SUPPORT AND PROTECT ALL UTILITIES EXPOSED DURING EXCAVATION AND TRENCHING.
13. ANY REQUIRED WATERLINE SHUT-DOWNS SHALL BE COORDINATED WITH THE OWNER AND/OR THE CITY.

**(X) CODED NOTES:**

1. CAP AND MARK FOR FUTURE CONNECTION. COORDINATE FINAL LOCATION AND ELEVATION WITH PLUMBING CONTRACTOR. FINAL CONNECTION BY PLUMBING CONTRACTOR.
2. OIL WATER SEPARATOR REFER TO PLUMBING PLANS FOR DETAILS.
3. TWO WAY CLEANOUT AND SANITARY SEWER LATERAL FURNISHED BY CITY OF KINGSPORT. COORDINATE FINAL LOCATION AND ELEVATION FOR CONNECTION.

MATCH LINE SEE SHEET C-302

REV.	DATE	DESCRIPTION

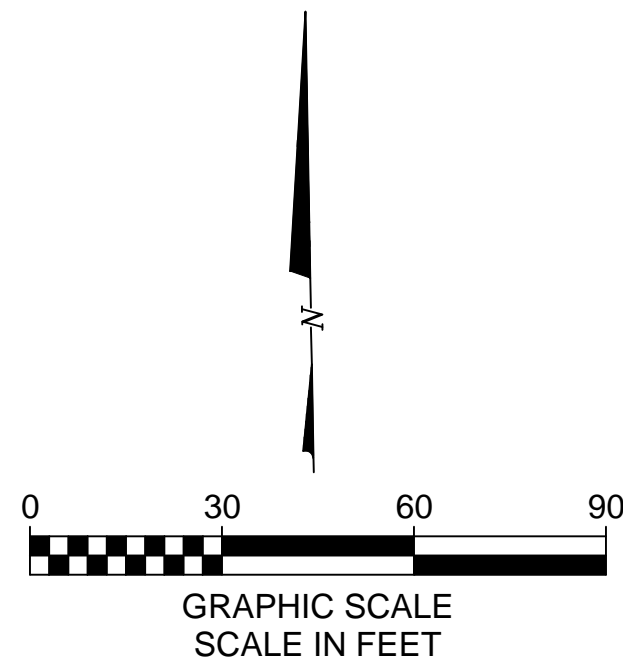
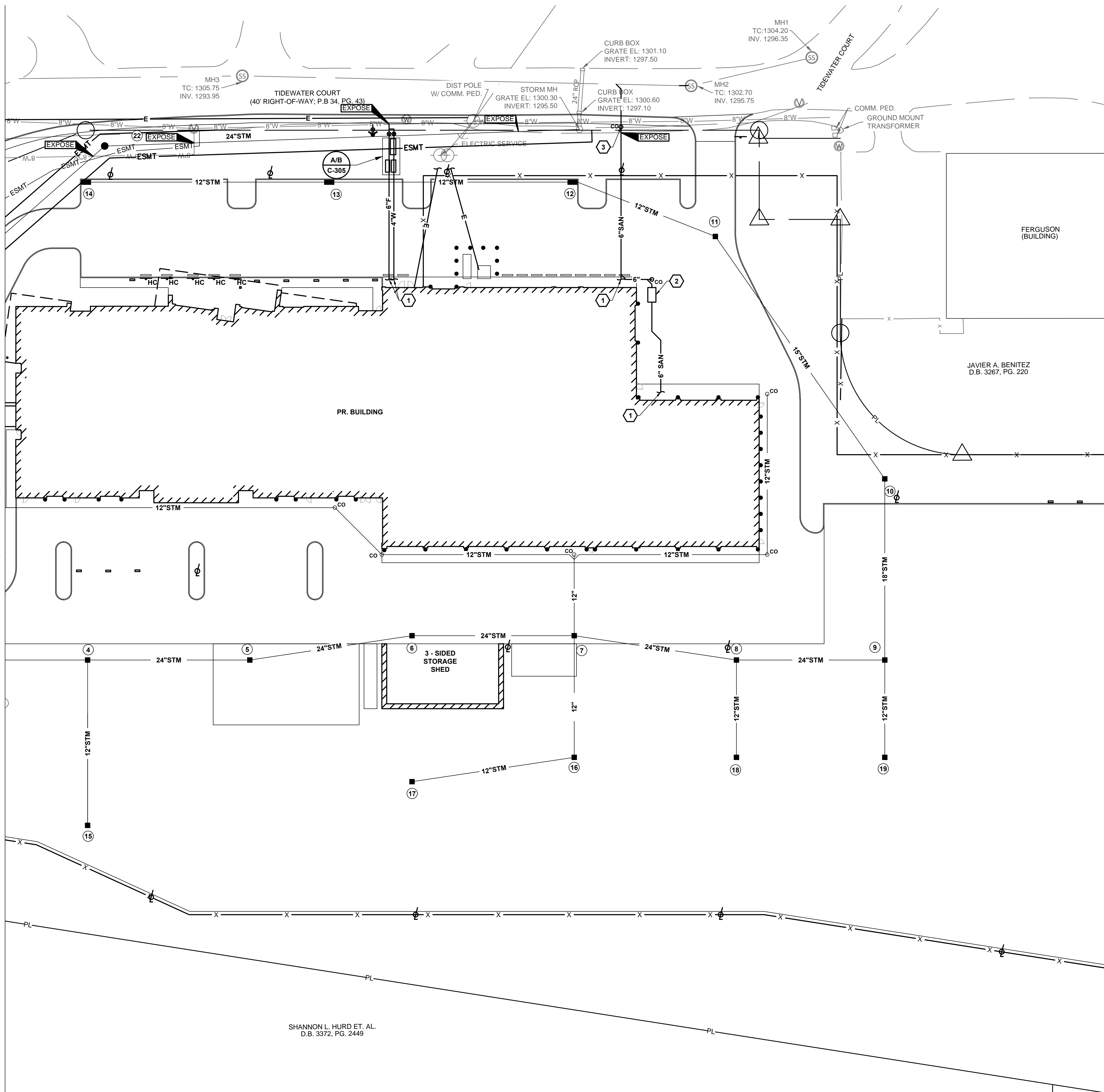
**AEP - KINGSPORT SERVICE CENTER**  
1025 TIDEWATER COURT KINGSPORT, TN 37660

**SITE UTILITY PLAN**

**KORDA**  
Korda/Nemeth Engineering, Inc. - Consulting Engineers  
1650 Watermark Drive, Suite 200 - Columbus, Ohio 43215-7010  
TEL 614-487-1650 - FAX 614-487-8981 - WEB www.korda.com

DRAWN BY: KGW  
CHECKED BY: GJW

THE ARCHITECT / ENGINEER ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THE USE OF THESE PLANS FOR ANY PROJECT OTHER THAN SPECIFICALLY AUTHORIZED BY THEM AND SIGNED AND SEALED FOR SUCH SPECIFIC LOCATION IN THE STATE, PROVINCE OR TERRITORY SHOWN ON THE SEAL. THIS BUILDING USE IS ONLY APPLICABLE IN AREAS MEETING THE STATED DESIGN CRITERIA.



**UTILITY LEGEND**

- EXISTING**  
REFER TO SHEET C-002
- PROPOSED**
- E — UNDERGROUND ELECTRIC LINE
  - W — WATER LINE
  - F — FIRE PROTECTION SERVICE LINE
  - STM — STORM SEWER
  - SAN — SANITARY SEWER
  - SAN — SANITARY SEWER (BY OTHERS)
  - W — FIRE HYDRANT
- ⊙ GATE VALVE & CURB BOX
  - ∇ FIRE DEPARTMENT CONNECTION
  - CO CLEAN OUT
  - ⊕ LIGHT POLE
  - ⊞ ELECTRIC VEHICLE CHARGER

**GENERAL NOTES:**

1. DIMENSIONS AND COORDINATES ARE FROM FACE OF CURB OR EXTERIOR FACE OF BUILDING, UNLESS OTHERWISE NOTED.
2. EXTEND UTILITIES TO WITHIN 5' OF FACE OF BUILDING, UNLESS OTHERWISE NOTED. COORDINATE EXACT LOCATION WITH PLUMBING CONTRACTOR. FINAL CONNECTION BY PLUMBING CONTRACTOR.
3. REFER TO SHEETS C-203-C-209 FOR STORM SEWER INFORMATION.
4. MAINTAIN MINIMUM 3'-0" COVER OVER ALL WATERLINES. REFER TO SHEET C-304 FOR PROFILE.
5. MAINTAIN MINIMUM 18" VERTICAL CLEARANCE FROM THE OUTSIDE OF ANY WATERLINE PIPE TO THE OUTSIDE OF ANY STORM OR SANITARY SEWER.
6. PROVIDE THRUST BLOCKS OR RESTRAINED MECHANICAL JOINT PIPE AT EACH VALVE, TEE, FITTING, OR CHANGE IN DIRECTION OF WATERLINE.
7. REFER TO CITY OF KINGSPORT STANDARD DRAWINGS FOR TYPICAL FIRE HYDRANT INSTALLATION DETAILS.
8. ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER ARE PROHIBITED.
9. CONNECTION TO EXISTING WATER MAINS SHALL NOT BE PERFORMED UNTIL THE NEW LINES HAVE BEEN SANITIZED AND ALL TESTS HAVE BEEN COMPLETED AS SPECIFIED BY THE CITY OF KINGSPORT AND THESE CONTRACT DOCUMENTS.
10. ALL COORDINATES AND ELEVATIONS BASED ON SURVEY PERFORMED BY AGE ENGINEERING SERVICES, INC. DATED 11/29/2022. REFER TO SHEET TS-1.
11. WHERE PLANS PROVIDE FOR A PROPOSED UTILITY TO BE CONNECTED TO, OR CROSS OVER, OR UNDER AN EXISTING UNDERGROUND UTILITY, THE CONTRACTOR SHALL LOCATE THE EXISTING PIPES OR UTILITIES, BOTH AS TO LINE AND GRADE BEFORE STARTING TO LAY THE PROPOSED UTILITY. THESE LOCATIONS ARE NOTED THUS: **EXPOSE**. IF IT IS DETERMINED THAT THE ELEVATION OF THE EXPOSED UTILITY DIFFERS FROM THE PLAN ELEVATION, RESULTS IN A CHANGE IN THE PLAN SEWER SLOPE, OR WILL INTERSECT AN EXISTING UTILITY AS SHOWN ON THE PLAN, THE ENGINEER SHALL BE NOTIFIED BEFORE STARTING CONSTRUCTION OF ANY PORTION OF THE PROPOSED UTILITY WHICH WILL BE AFFECTED BY THE VARIANCE IN THE EXISTING ELEVATIONS.
12. SUPPORT AND PROTECT ALL UTILITIES EXPOSED DURING EXCAVATION AND TRENCHING.
13. ANY REQUIRED WATERLINE SHUT-DOWNS SHALL BE COORDINATED WITH THE OWNER AND/OR THE CITY.

**(X) CODED NOTES:**

1. CAP AND MARK FOR FUTURE CONNECTION. COORDINATE FINAL LOCATION AND ELEVATION WITH PLUMBING CONTRACTOR. FINAL CONNECTION BY PLUMBING CONTRACTOR.
2. OIL WATER SEPARATOR REFER TO PLUMBING PLANS FOR DETAILS.
3. TWO WAY CLEANOUT AND SANITARY SEWER LATERAL FURNISHED BY CITY OF KINGSPORT. COORDINATE FINAL LOCATION AND ELEVATION FOR CONNECTION.

MATCH LINE SEE SHEET C-301

MATCH LINE SEE SHEET C-303

SHANNON L. HURD ET. AL.  
D.B. 3372, PG. 2449

REV.	DATE	DESCRIPTION

**AEP - KINGSPORT SERVICE CENTER**  
1025 TIDEWATER COURT KINGSPORT, TN 37660

**SITE UTILITY PLAN**

**KORDA**  
Korda/Nemeth Engineering, Inc. - Consulting Engineers  
1650 Watermark Drive, Suite 200 - Columbus, Ohio 43215-7010  
TEL 614-487-1650 - FAX 614-487-8981 - WEB www.korda.com

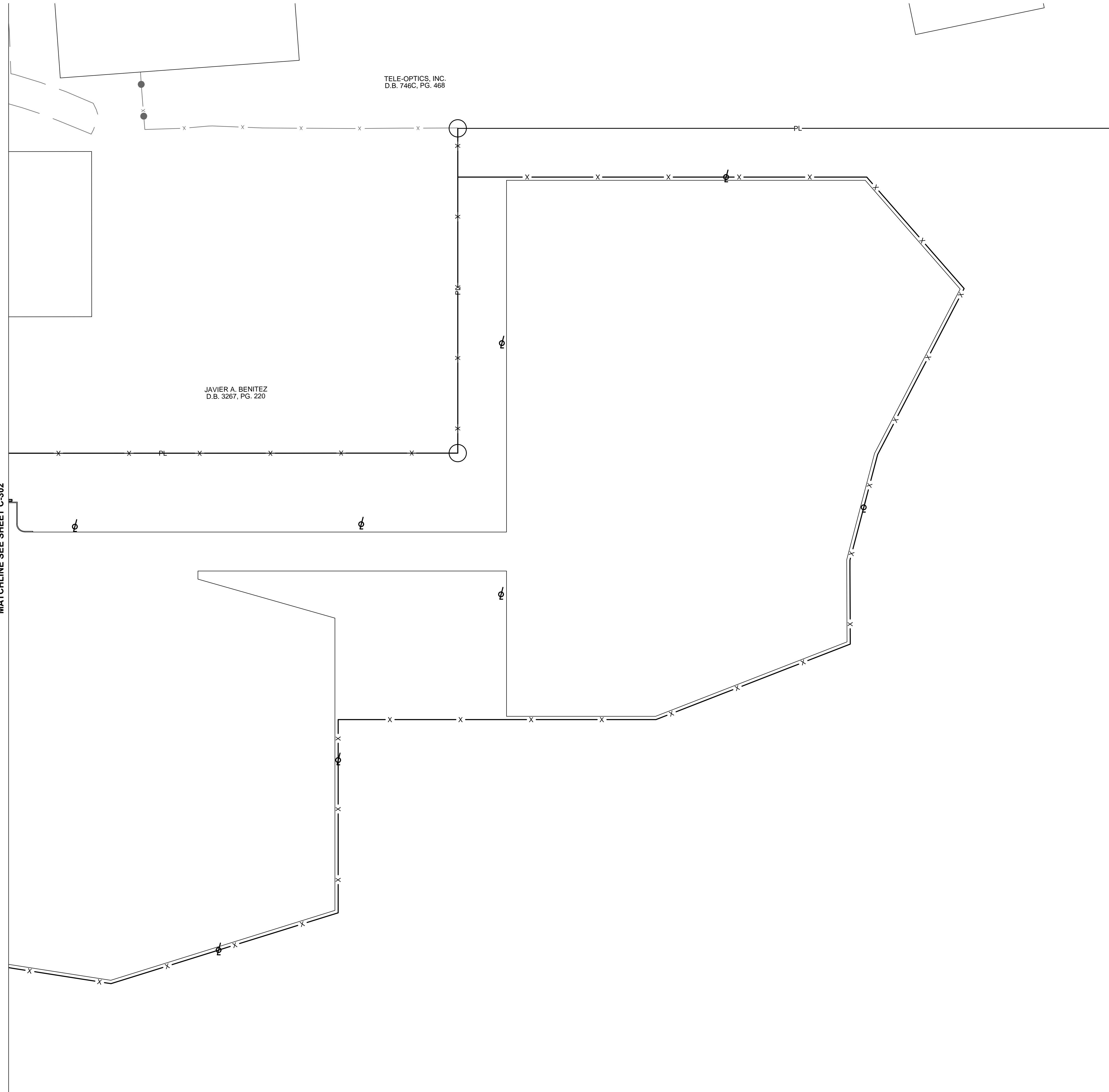
THE ARCHITECT / ENGINEER ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THE USE OF THESE PLANS FOR ANY PROJECT OTHER THAN SPECIFICALLY AUTHORIZED BY THEM AND SIGNED AND SEALED FOR SUCH SPECIFIC LOCATION IN THE STATE, PROVINCE OR TERRITORY SHOWN ON THE SEAL. THIS BUILDING USE IS ONLY APPLICABLE IN AREAS MEETING THE STATED DESIGN CRITERIA.

KNE JOB 2023-0004

DRAWING NUMBER:

**25/28**

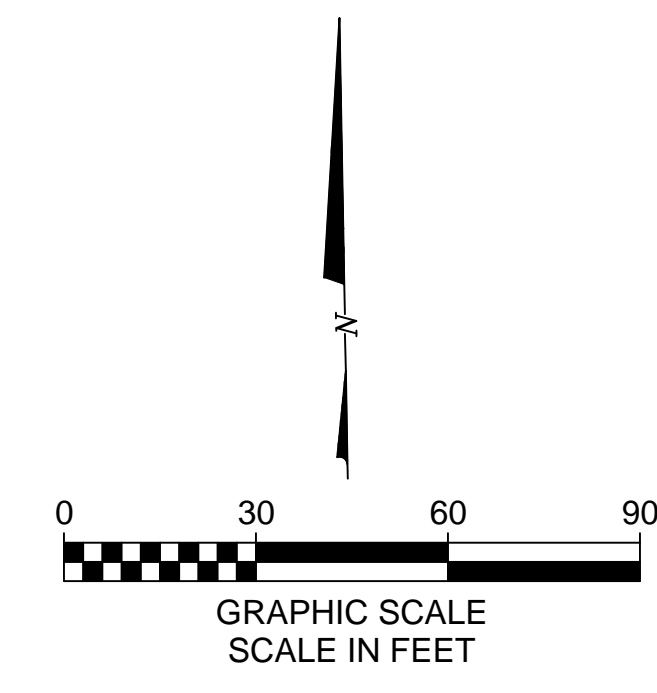
DRAWN BY: KGW CHECKED BY: GJW



MATCHLINE SEE SHEET C-302

TELE-OPTICS, INC.  
D.B. 746C, PG. 468

JAVIER A. BENITEZ  
D.B. 3267, PG. 220



**UTILITY LEGEND**

- EXISTING**  
REFER TO SHEET C-002
- PROPOSED**
- UNDERGROUND ELECTRIC LINE
  - WATER LINE
  - FIRE PROTECTION SERVICE LINE
  - STORM SEWER
  - SANITARY SEWER
  - SANITARY SEWER (BY OTHERS)
  - FIRE HYDRANT
  - GATE VALVE & CURB BOX
  - FIRE DEPARTMENT CONNECTION
  - CLEAN OUT
  - LIGHT POLE
  - ELECTRIC VEHICLE CHARGER

**GENERAL NOTES:**

1. DIMENSIONS AND COORDINATES ARE FROM FACE OF CURB OR EXTERIOR FACE OF BUILDING, UNLESS OTHERWISE NOTED.
2. EXTEND UTILITIES TO WITHIN 5' OF FACE OF BUILDING, UNLESS OTHERWISE NOTED. COORDINATE EXACT LOCATION WITH PLUMBING CONTRACTOR. FINAL CONNECTION BY PLUMBING CONTRACTOR.
3. REFER TO SHEETS C-203-C-209 FOR STORM SEWER INFORMATION.
4. MAINTAIN MINIMUM 3'-0" COVER OVER ALL WATERLINES. REFER TO SHEET C-304 FOR PROFILE.
5. MAINTAIN MINIMUM 18" VERTICAL CLEARANCE FROM THE OUTSIDE OF ANY WATERLINE PIPE TO THE OUTSIDE OF ANY STORM OR SANITARY SEWER.
6. PROVIDE THRUST BLOCKS OR RESTRAINED MECHANICAL JOINT PIPE AT EACH VALVE, TEE, FITTING, OR CHANGE IN DIRECTION OF WATERLINE.
7. REFER TO CITY OF KINGSFORT STANDARD DRAWINGS FOR TYPICAL FIRE HYDRANT INSTALLATION DETAILS.
8. ROOF DRAINS, FOUNDATION DRAINS, AND OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER ARE PROHIBITED.
9. CONNECTION TO EXISTING WATER MAINS SHALL NOT BE PERFORMED UNTIL THE NEW LINES HAVE BEEN SANITIZED AND ALL TESTS HAVE BEEN COMPLETED AS SPECIFIED BY THE CITY OF KINGSFORT AND THESE CONTRACT DOCUMENTS.
10. ALL COORDINATES AND ELEVATIONS BASED ON SURVEY PERFORMED BY AGE ENGINEERING SERVICES, INC. DATED 11/29/2022. REFER TO SHEET TS.1.
11. WHERE PLANS PROVIDE FOR A PROPOSED UTILITY TO BE CONNECTED TO, OR CROSS OVER, OR UNDER AN EXISTING UNDERGROUND UTILITY, THE CONTRACTOR SHALL LOCATE THE EXISTING PIPES OR UTILITIES, BOTH AS TO LINE AND GRADE BEFORE STARTING TO LAY THE PROPOSED UTILITY. THESE LOCATIONS ARE NOTED THUS: **EXPOSE**. IF IT IS DETERMINED THAT THE ELEVATION OF THE EXPOSED UTILITY DIFFERS FROM THE PLAN ELEVATION, RESULTS IN A CHANGE IN THE PLAN SEWER SLOPE, OR WILL INTERSECT AN EXISTING UTILITY AS SHOWN ON THE PLAN, THE ENGINEER SHALL BE NOTIFIED BEFORE STARTING CONSTRUCTION OF ANY PORTION OF THE PROPOSED UTILITY WHICH WILL BE AFFECTED BY THE VARIANCE IN THE EXISTING ELEVATIONS.
12. SUPPORT AND PROTECT ALL UTILITIES EXPOSED DURING EXCAVATION AND TRENCHING.
13. ANY REQUIRED WATERLINE SHUT-DOWNS SHALL BE COORDINATED WITH THE OWNER AND/OR THE CITY.

**(X) CODED NOTES:**

1. CAP AND MARK FOR FUTURE CONNECTION. COORDINATE FINAL LOCATION AND ELEVATION WITH PLUMBING CONTRACTOR. FINAL CONNECTION BY PLUMBING CONTRACTOR.
2. OIL WATER SEPARATOR REFER TO PLUMBING PLANS FOR DETAILS.
3. TWO WAY CLEANOUT AND SANITARY SEWER LATERAL FURNISHED BY CITY OF KINGSFORT. COORDINATE FINAL LOCATION AND ELEVATION FOR CONNECTION.

REVISION/UPLOAD DATE

REV.	DATE	DESCRIPTION

**AEP - KINGSFORT SERVICE CENTER**  
1025 TIDEWATER COURT KINGSFORT, TN 37660

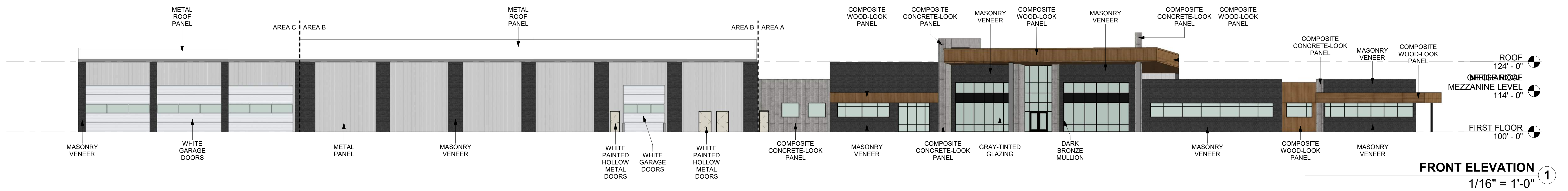
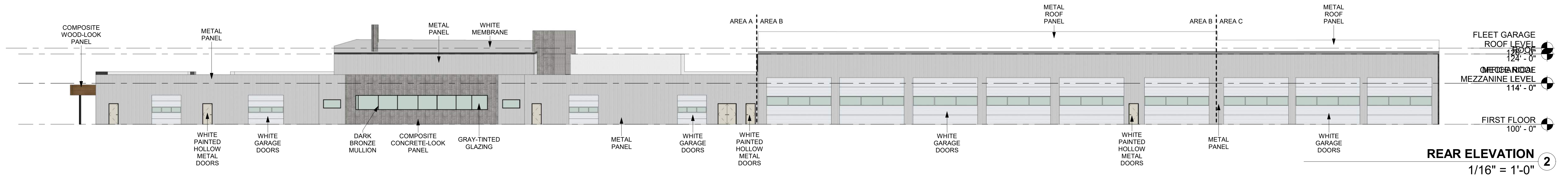
**SITE UTILITY PLAN**





**KORDA**  
Korda/Nemeth Engineering, Inc. - Consulting Engineers  
1650 Watermark Drive, Suite 200 - Columbus, Ohio 43215-7010  
TEL 614-487-1650 - FAX 614-487-8981 - WEB www.korda.com

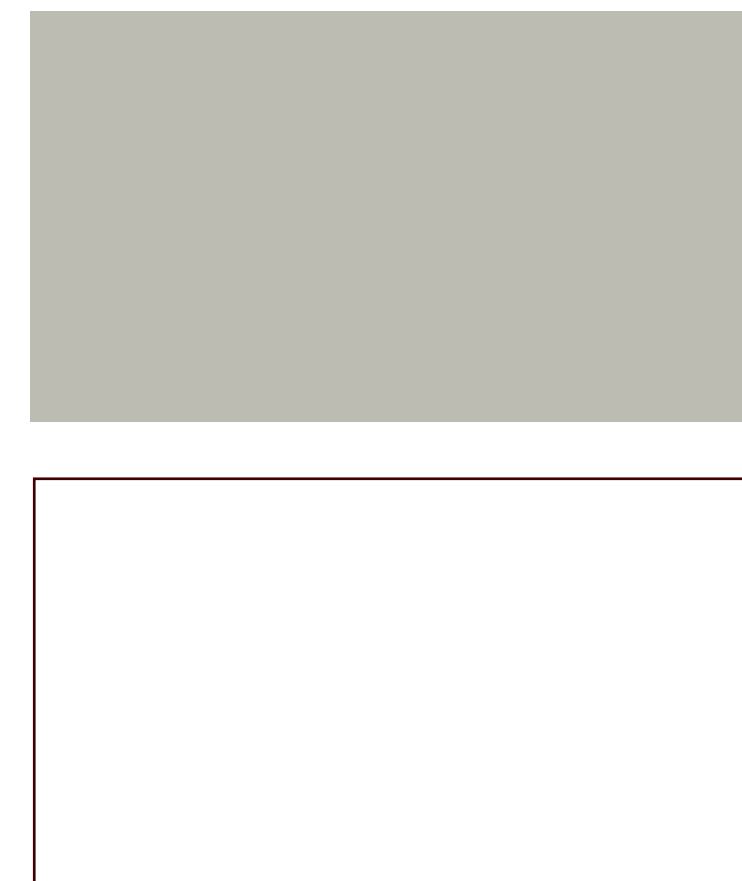
DRAWN BY: KGW CHECKED BY: GJW

THE ARCHITECT / ENGINEER ASSUMES NO RESPONSIBILITY OR LIABILITY FOR THE USE OF THESE PLANS FOR ANY PROJECT OTHER THAN SPECIFICALLY AUTHORIZED BY THEM AND SIGNED AND SEALED FOR SUCH SPECIFIC LOCATION IN THE STATE, PROVINCE OR TERRITORY SHOWN ON THE SEAL. THIS BUILDING USE IS ONLY APPLICABLE IN AREAS MEETING THE STATED DESIGN CRITERIA.

KNE JOB 2023-0004  
DRAWING NUMBER:  
**26/28**



-  **OVERHEAD SECTIONAL DOOR**  
MANUFACTURER: OVERHEAD DOORS  
COLOR: WHITE
-  **HOLLOW METAL DOORS**  
MANUFACTURER: N/A  
COLOR: WHITE
-  **DARK BRONZE MULLION**  
MANUFACTURER: TUBELITE  
COLOR: DARK BRONZE
-  **GRAY-TINTED GLAZING**  
MANUFACTURER: N/A  
COLOR: GRAY-TINTED



**PRE-ENGINEERED METAL PANEL**  
MANUFACTURER: CECO BUILDING SYSTEMS  
COLOR: ASH GREY WITH RIBBED PATTERN

**PRE-ENGINEERED METAL ROOF PANEL**  
MANUFACTURER: CECO BUILDING SYSTEMS  
COLOR: WHITE WITH RIBBED PATTERN



**COMPOSITE WOOD-LOOK PANEL**  
MANUFACTURER: NICHIIHA  
COLOR: VINTAGE WOOD - CEDAR



**MASONRY VENEER**  
MANUFACTURER: BELDEN BRICK  
COLOR: CARBON BLACK VELOUR



**COMPOSITE CONCRETE-LOOK PANEL**  
MANUFACTURER: NICHIIHA  
COLOR: CORBOSA - MOONDUST

**AMERICAN ELECTRIC POWER (AEP)**

**AEP - KINGSFORT SERVICE CENTER**

1025 TIDEWATER COURT  
KINGSFORT, TN 37660

**triad** 172 E. STATE ST, SUITE 600  
COLUMBUS, OH 43215  
PHONE: (614) 942-1050  
INFO@WEARETRIAD.COM

CONSTRUCTION DOCUMENT SET

ISSUE DATE

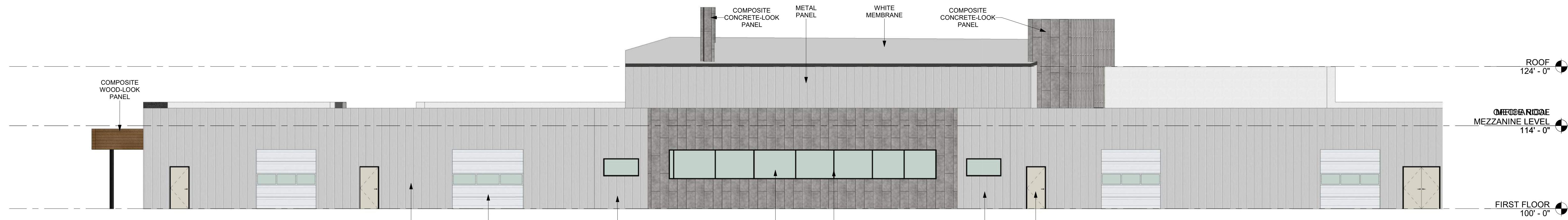
REVISIONS:

#	DATE	DESCRIPTION

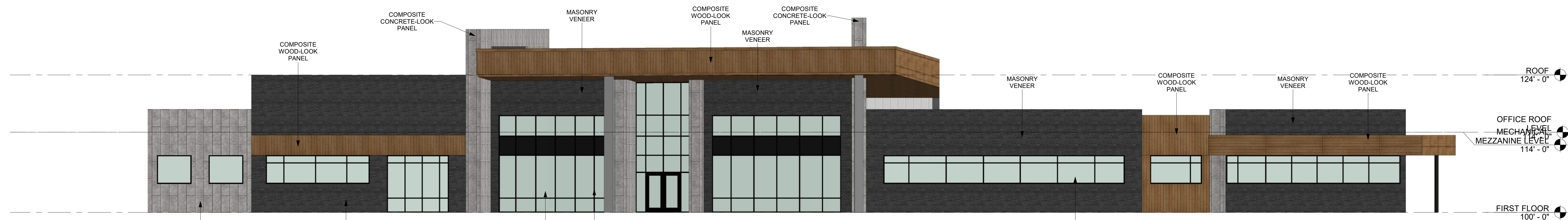
**DRAFT**

DRAWN BY: Author  
CHECKED BY: Checker  
PROJECT NUMBER: 2318

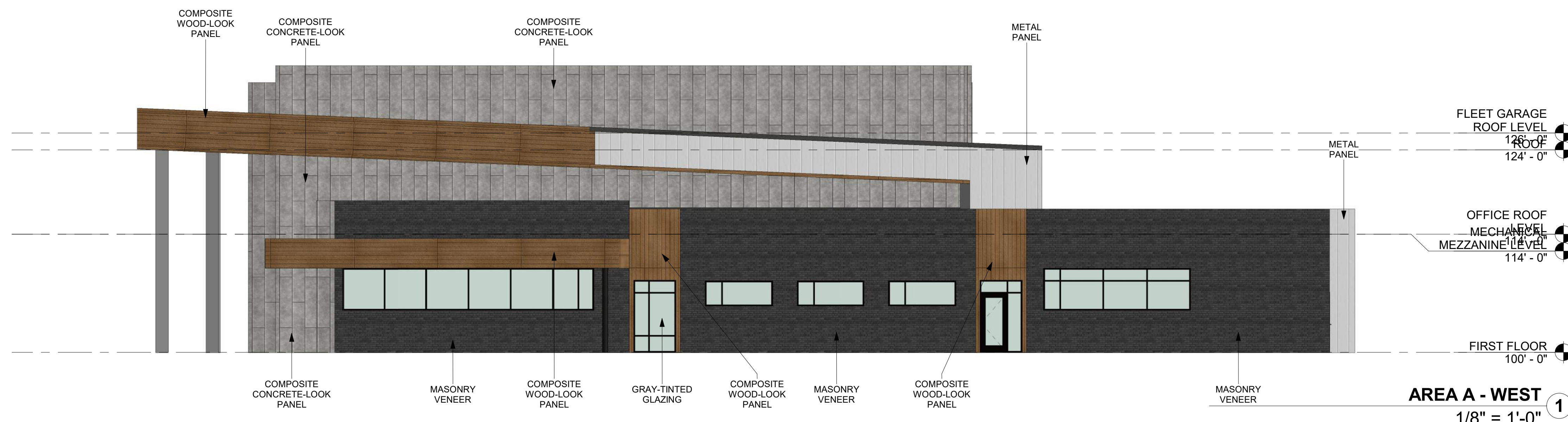
**A-200**  
OVERALL EXTERIOR ELEVATIONS



**AREA A - SOUTH**  
1/8" = 1'-0"



**AREA A - NORTH**  
1/8" = 1'-0"



**AREA A - WEST**  
1/8" = 1'-0"

AMERICAN ELECTRIC  
POWER (AEP)

**AEP - KINGSFORT  
SERVICE CENTER**

1025 TIDEWATER COURT  
KINGSFORT, TN 37660

**triad**  
172 E. STATE ST. SUITE 600  
COLUMBUS, OH 43215  
PHONE: (614) 942-1050  
INFO@WEARETRIAD.COM

CONSTRUCTION DOCUMENT SET

ISSUE DATE

REVISIONS:

#	DATE	DESCRIPTION

**DRAFT**

DRAWN BY: Author  
CHECKED BY: Checker  
PROJECT NUMBER: 2318

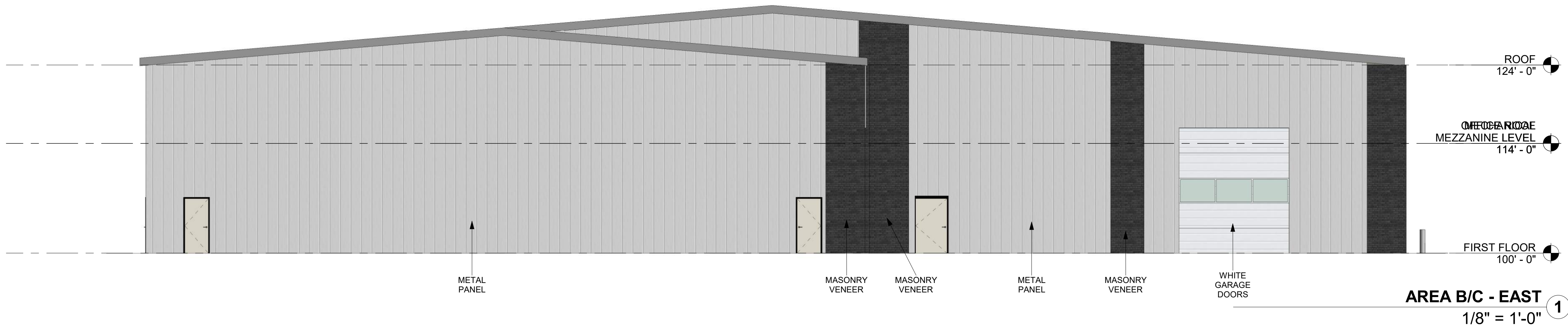
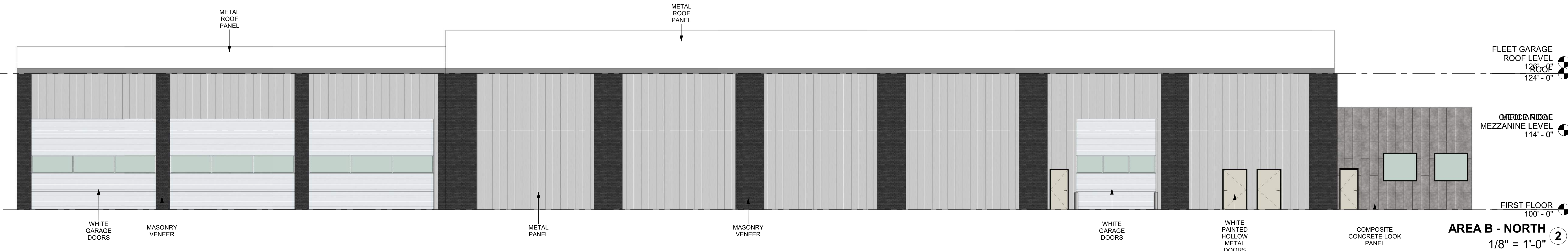
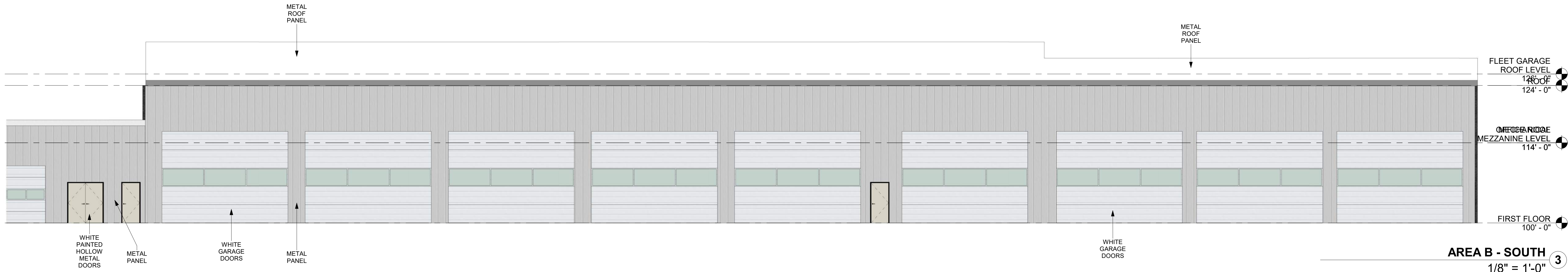
**A-201**  
EXTERIOR ELEVATIONS

COPYRIGHT TRIAD ARCHITECTS LTD. 2021

8/21/2023 2:17:30 PM

2318 - AEP - KINGSFORT SERVICE CENTER

8/21/2023 2:17:30 PM BIM 360://2318 - AEP - Kingsport/2318-AEP - Kingsport-CENTRAL-R20\_rechaei111826.rvt



AMERICAN ELECTRIC  
POWER (AEP)

**AEP - KINGSFORT  
SERVICE CENTER**

1025 TIDEWATER COURT  
KINGSFORT, TN 37660

**triad** 172 E. STATE ST., SUITE 600  
COLUMBUS, OH 43215  
PHONE: (614) 942-1050  
INFO@WEARETRIAD.COM

CONSTRUCTION DOCUMENT SET

ISSUE DATE

REVISIONS:

#	DATE	DESCRIPTION

**DRAFT**

DRAWN BY: Author  
CHECKED BY: Checker  
PROJECT NUMBER: 2318

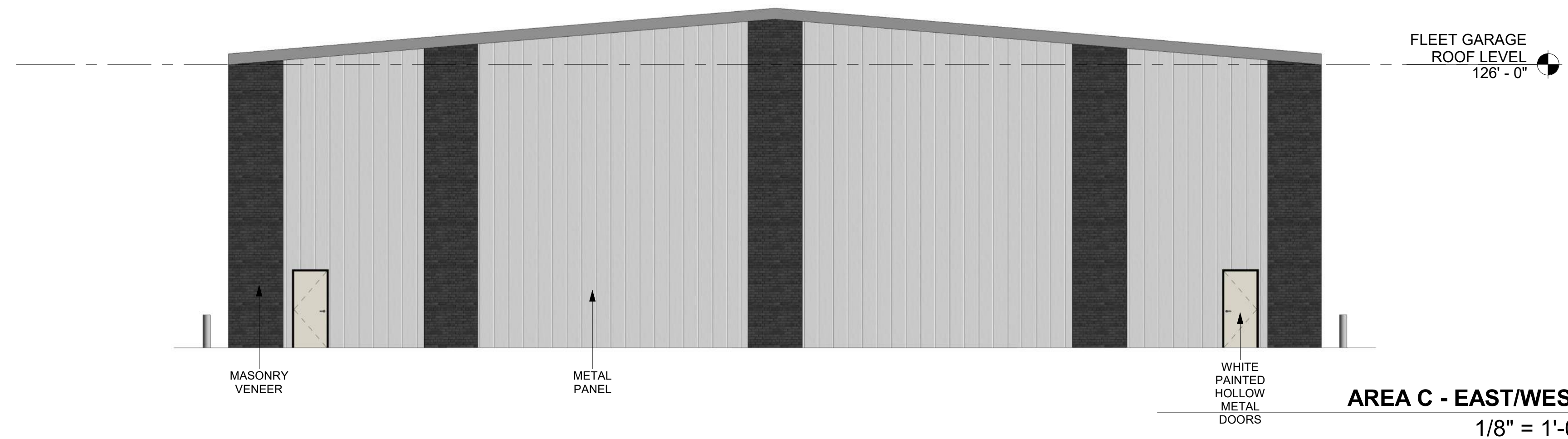
**A-202**  
EXTERIOR ELEVATIONS

COPYRIGHT TRIAD ARCHITECTS LTD. 2021

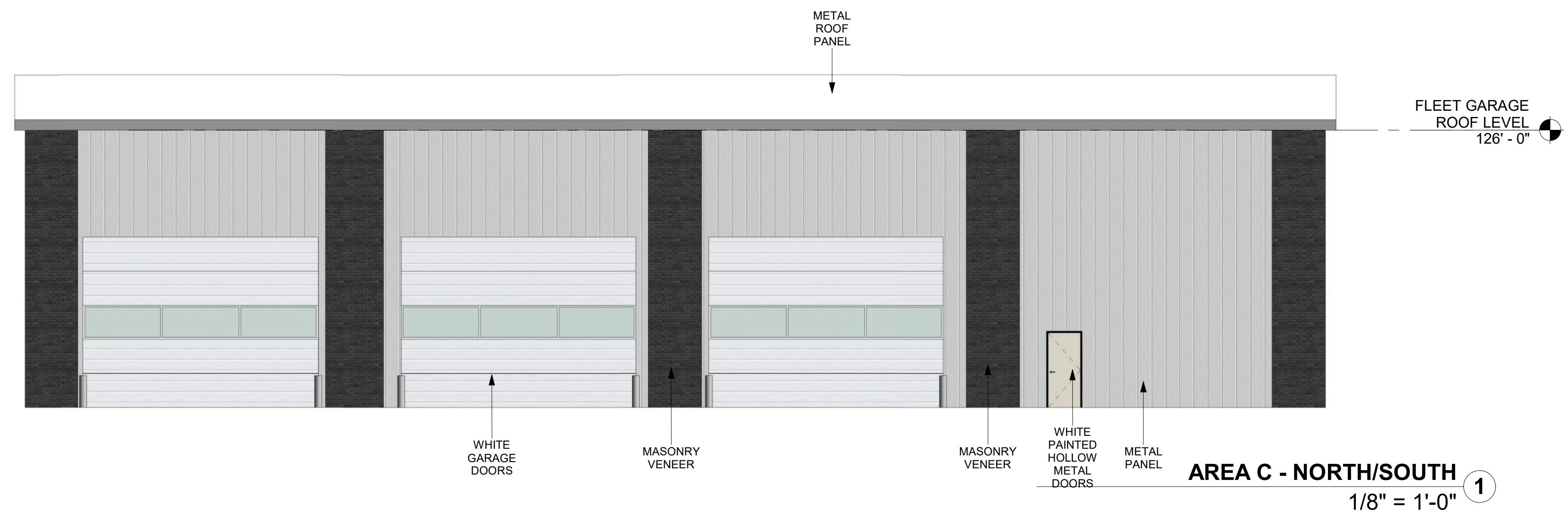
8/21/2023 2:17:39 PM

2318 - AEP - KINGSFORT SERVICE CENTER

8/21/2023 2:17:39 PM BIM\_360//2318 - AEP - Kingsport/2318-AEP - Kingsport-CENTRAL-R20\_rechea.rvt



**AREA C - EAST/WEST** ②  
1/8" = 1'-0"



**AREA C - NORTH/SOUTH** ①  
1/8" = 1'-0"

AMERICAN ELECTRIC  
POWER (AEP)

**AEP - KINGSFORT  
SERVICE CENTER**

1025 TIDEWATER COURT  
KINGSFORT, TN 37660

**triad** 172 E. STATE ST., SUITE 600  
COLUMBUS, OH 43215  
PHONE: (614) 942-1050  
INFO@WEARETRIAD.COM

CONSTRUCTION DOCUMENT SET

ISSUE DATE

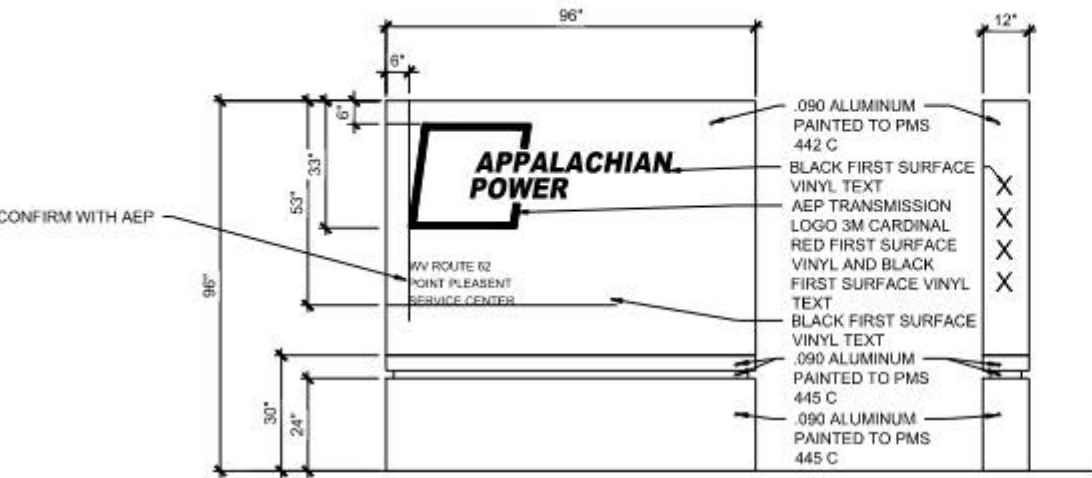
REVISIONS:

#	DATE	DESCRIPTION

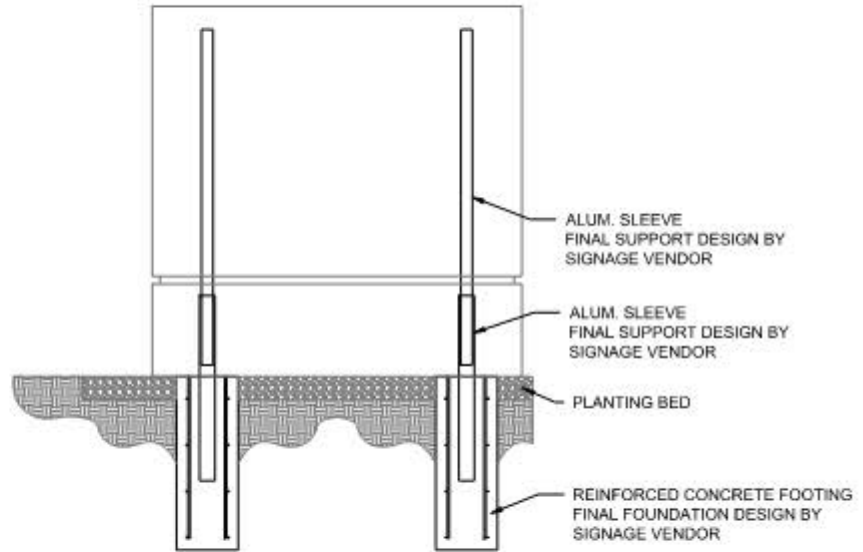
**DRAFT**

DRAWN BY: Author  
CHECKED BY: Checker  
PROJECT NUMBER: 2318

**A-203**  
EXTERIOR ELEVATIONS



INTERNALLY ILLUMINATED MONUMENT SIGN

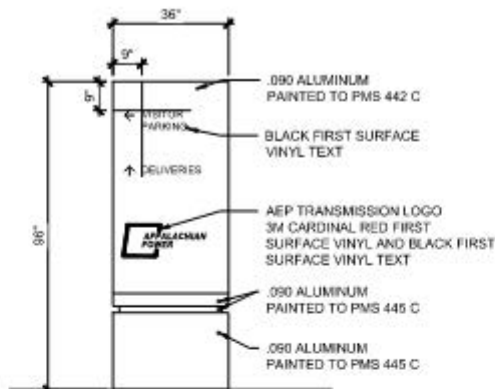


3  
C-14

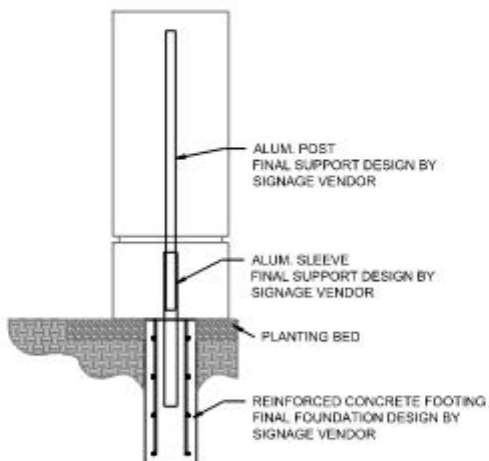
BUILDING MONUMENT SIGN

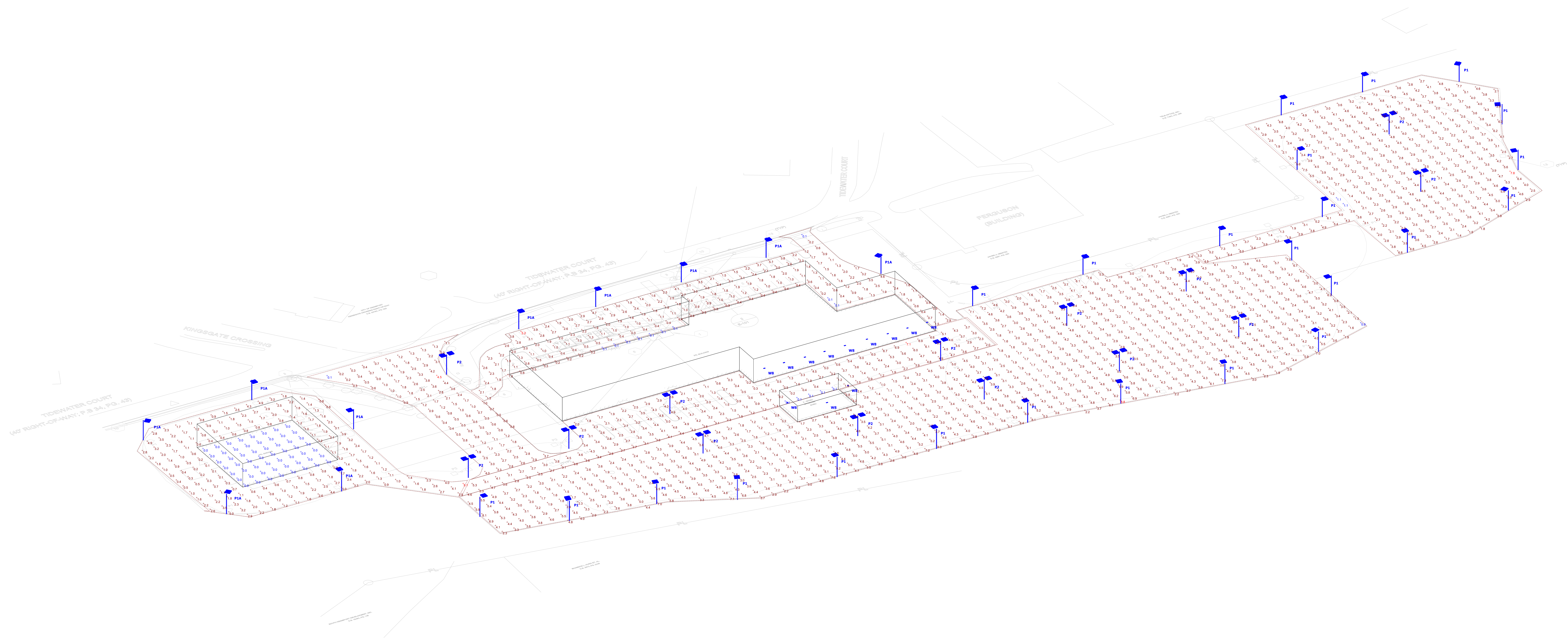
NTS





## INTERNALLY ILLUMINATED DIRECTIONAL LAWN SIGN

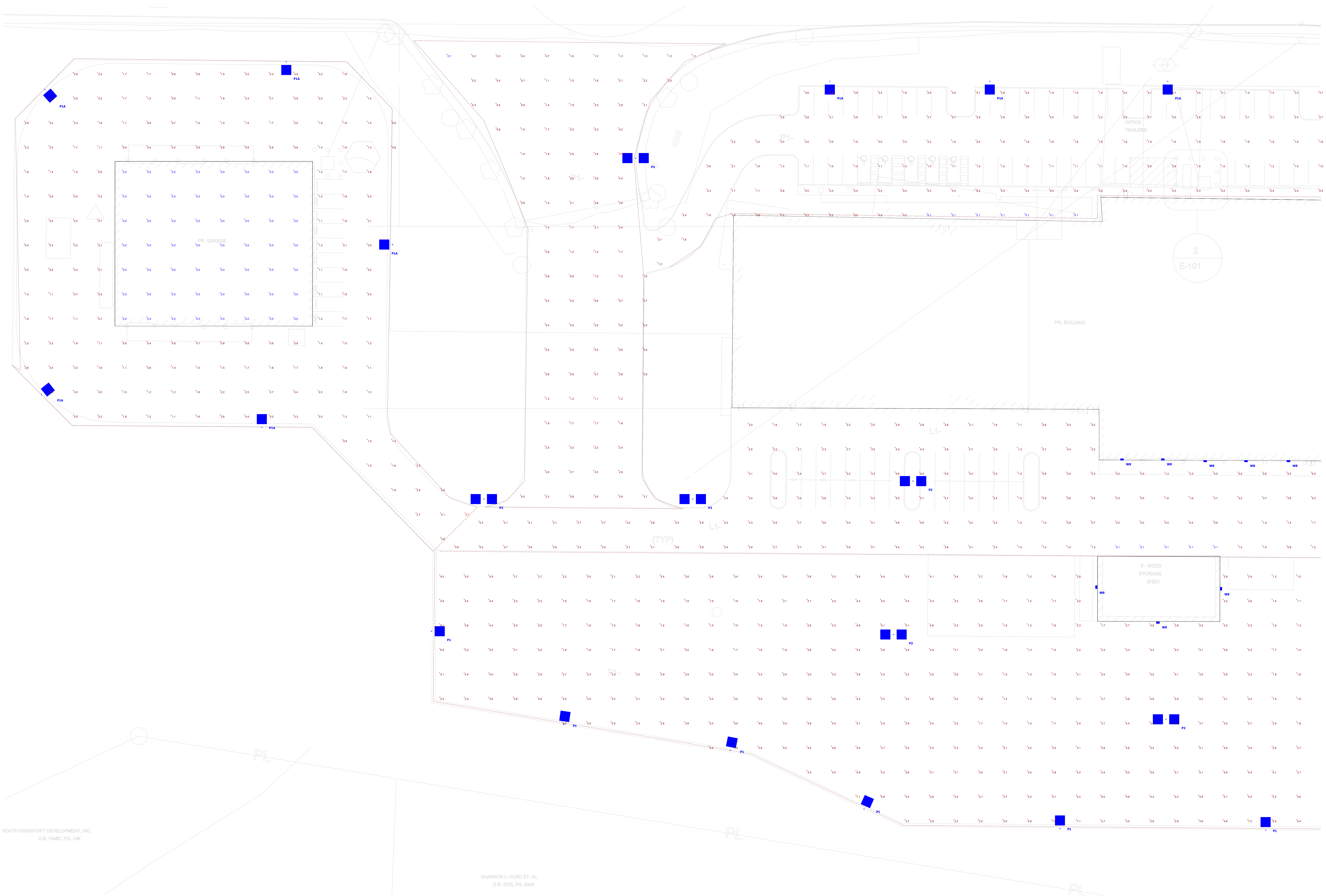




South West View

Symbol	Label	Image	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power	Polar Plot
	P1		24	Lithonia Lighting	RSX2 LED P4 40K R3	RSX Area Fixture Size 2 P4 Lumen Package 4000K CCT Type R3 Distribution	1	25000	1	189.54	 Max: 18023cd
	P2		14	Lithonia Lighting	RSX2 LED P4 40K R5	RSX Area Fixture Size 2 P4 Lumen Package 4000K CCT Type R5 Distribution	1	25667	1	379.08	 Max: 9807cd
	P1A		10	Lithonia Lighting	RSX2 LED P2 40K R3	RSX Area Fixture Size 2 P2 Lumen Package 4000K CCT Type R3 Distribution	1	17202	1	114.07	 Max: 12401cd
	W8		12	Lithonia Lighting	DSXW1 LED 20C 700 40K T3M MVOLT HS	DSXW1 LED WITH (2) 10 LED LIGHT ENGINES, TYPE T3M OPTIC, 4000K, @ 700mA WITH HOUSE-SIDE SHIELDS.	1	4371	1	45.7	 Max: 3116cd

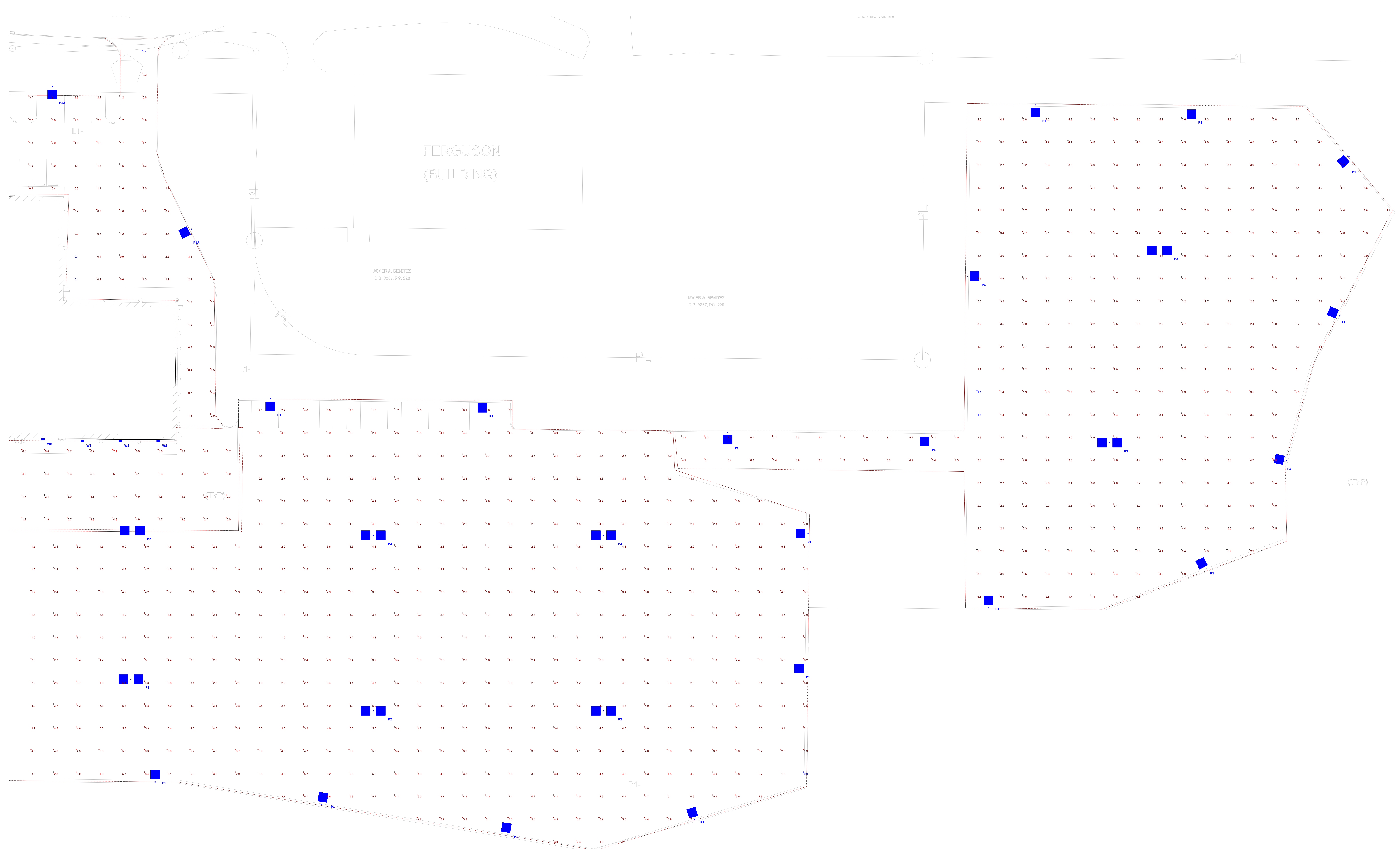




SOUTH KINGSPORT DEVELOPMENT, INC.  
D.B. 15480, PG. 140

SHANNON L. HURD ET. AL.  
D.B. 3372, PG. 2449

Plan View



Plan View

# APPLICATION

Gateway District



## APPLICANT INFORMATION:

Last Name	Sauer	First	Eric	M.I.		Date	9/15/2023
Street Address	1 Riverside Plaza				Apartment/Unit #		
City	Columbus	State	OH	ZIP	43215		
Phone	614-716-1614		E-mail Address	easauer@aep.com			

## PROPERTY INFORMATION:

Tax Map Information	Tax map: 076	Group:	Parcel: 020.00	Lot:	Alternate parcel number we found: 082076 - 020		
Street Address	1025 Tidewater Court				Apartment/Unit #		
Current Zone	B-4P and A-1		Proposed Zone	M-1R			
Current Use	Vacant		Proposed Use	Public Utility Service Center			
Size of tract or parcel:							

**\*If jointly held, list all property owners:**

Certificate Requested for the Purpose of

Building Permit for:  New Construction:

Real Estate Improvement: (Describe)

Expansion or renovation: (Describe)

## DISCLAIMER AND SIGNATURE

By signing below I state that I have read and understand the conditions of this application and have been informed as to the location, date and time of the meeting in which the Gateway Commission will review my application. I further state that I am/we are the sole and legal owner(s) of the property described herein and that I am/we are requesting a certificate of Appropriateness from the Gateway Commission.

Signature  Date 9-19-2023

Signed before me on this 19<sup>th</sup> day of September, 2023

a notary public for the State of Ohio

County of Franklin

Notary 

My Commission Expires \_\_\_\_\_



NICOLE C BURIGANA  
Notary Public  
State of Ohio  
My Comm. Expires  
May 29, 2027

---

---

**CITY PLANNING OFFICE**

Plan Received Date:

Received By:

Application and Fee Paid:

Pre-Submission Conference Date:

Staff Recommendation:

Gateway Commission Meeting Date:

Previous requests or file numbers

Signature of  
City Planner

Date

---