

Kingsport Historic Zoning Commission

Project Number: HISTRC25-0315

Property Information			
Address	205 Canongate Road		
Tax Map, Group, Parcel	022M G 002.00		
Civil District	07 th		
Overlay District	Rotherwood		
Land Use Plan Designation	Single Family		
Acres	+/-		
Existing Use	Single Family	Existing Zoning	R-1A
Proposed Use	No Change	Proposed Zoning	No change
Owner Information			
Name: Bryston Winegar Address: 205 Canongate Road City: Kingsport State: TN Zip Code: 37660 Representative: Marvin Egan		New Construction For: Home addition to the rear of the home to make a master suite room.	
Points for Consideration			
Request: The property owner is proposing a home addition towards the rear of the property. When considering this request: Review the following in our Historic Guidelines from Chapter 6 pertaining to the following: New additions to historic dwellings should be constructed and designed in a manner that maintains the overall character of the original dwellings. The addition should blend with the original design and not obscure or conceal the historic dwelling or its primary features. Staff recommends: approval based upon conformance with the design standards			
Planning Tech:	Lori Pyatte	Date:	12/22/2025
Historic Zoning Commission Action		Meeting Date:	01/12/2026
Approval:			
Denial:		Reason for Denial:	
Deferred:		Reason for Deferral:	

Historic Guidelines:

Additions to Primary Dwellings

New Residential Construction

CHAPTER 6 - NEW RESIDENTIAL CONSTRUCTION

Policy:

New additions to historic dwellings should be constructed and designed in a manner that maintains the overall character of the original dwellings. The addition should blend with the original design and not obscure or conceal the historic dwelling or its primary features.

1.0 ADDITIONS TO PRIMARY DWELLINGS
DESIGN GUIDELINES FOR NEW ADDITIONS

1.1 Consider the location, size, and scale of the addition.

A new addition should never overwhelm the historic dwelling. The window spacing and materials of the new addition should follow those of the original building. Locate new additions on rear or side elevations where not visible from the street.

1.2 Retain historic character.

Design the addition in a manner compatible with the historic character of the original building, as well as of surrounding buildings in the district. Though the addition should be a discernible wing from the historic building, it should blend well without duplicating the original form, material, style, wall plane, or roofline.

1.3 Porch enclosures may be appropriate.

If an owner chooses to enclose a porch (or a portion thereof), the floor fascia board and columns shall not be covered, and every effort shall be made to express the original intent of the porch with screen panels.

1.4 The addition of decks on rear elevations may be appropriate.

Place decks on rear elevations or in other locations that are out of view from the street. Paint and design decks to blend closely with the dwelling. Keep deck designs simple in appearance. If visible from the street, ensure that decks have square balusters set no more than three inches apart and no more than two inches in width and depth.

Kingsport Historic Zoning Commission

Project Number: HISTRC25-0315

Application: _____



HISTORIC ZONING COMMISSION APPLICATION

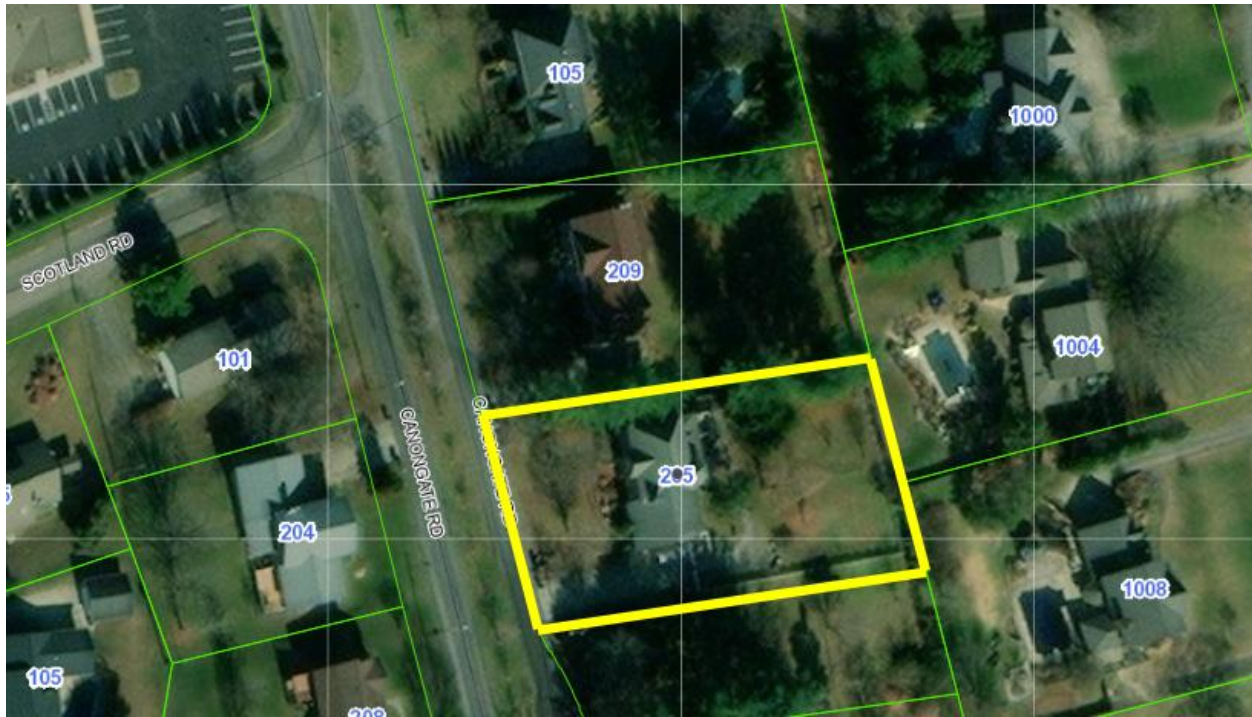
APPLICANT INFORMATION:			
Last Name	Winegar	First	Bryston
M.I.		Date	12/19/25
Street Address	205 Canongate Rd		Apartment/Unit #
City	Kingsport	State	TN
Phone	423-416-5054	ZIP	37660
E-mail Address			
PROPERTY INFORMATION:			
Tax Map Information	Tax map: 022M Group: G	Parcel:	002 001
Street Address	205 Canongate Rd		Apartment/Unit #
Name of Historic Zone	Rotherwood Hills		
Current Use	Primary Residence		
REPRESENTATIVE INFORMATION:			
Last Name	Egan	First	Marin
M.I.	R	Date	12/19/25
Street Address	5737 Fort Henry Drive		Apartment/Unit #
City	Kingsport	State	TN
Phone	423-378-2301	ZIP	37663
E-mail Address			
REQUESTED ACTION:			
Addition of master suite. Exterior of addition to match all existing finishes, including light fixtures, brick color, etc.			
DISCLAIMER AND SIGNATURE			
By signing below I state that I have read and understand the conditions of this application and have been notified as to the location, date and time of the meeting in which my application will be reviewed by the Commission. I further state that I am/we are the sole and legal owner(s) of the property described herein or have been appointed by the property owner to serve as a representative for this application and that I am/we are appealing to the Historic Commission.			
Signature:			Date: 12/19/25
Signed before me on this 19th day of December 2025			
a notary public for the State of Tennessee			
County of Sullivan			
Notary:			
My Commission Expires 07/26/25			



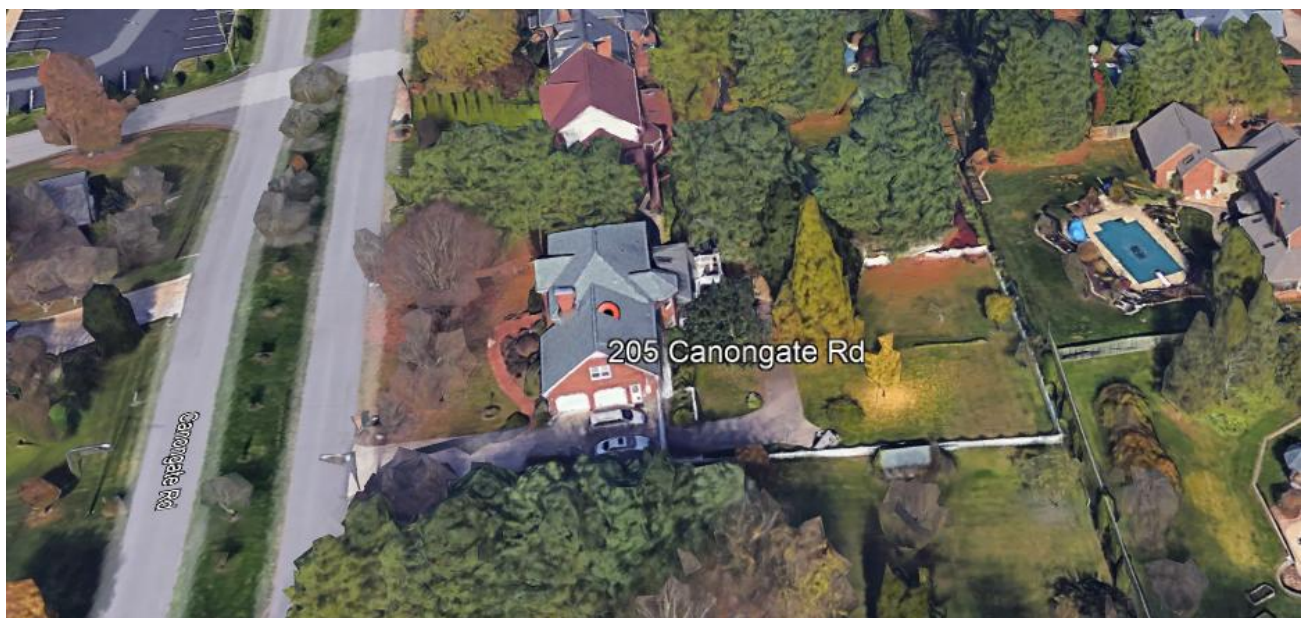
Kingsport Historic Zoning Commission

Project Number: HISTRC25-0315

Aerial View:



Google Earth View:



**BUILDERS FS - KINGSPORT #88**

230 W MAIN STREET

MOUNT CARMEL

TN 37645

Phone: 423-357-4331

Fax: 1-423-357-4810

**Customer
Quote**

Short Form

QUOTE EXPIRES

N/A

QUOTE DATE

Quote Not Ordered

BID BY

PRICE BOOK

Price Book 2025

CREATED

12/19/2025

jr.justice@bldr.com

PK # 329

Customer Information:

Phone:

Fax:

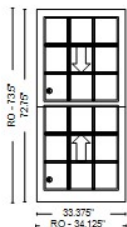
Delivery Information:

Phone:

Fax:

QUOTE #	STATUS	CUSTOMER PO#	DATE PRINTED
3102615	None		12/19/2025 15:20 PM
CUSTOMER JOB NAME	TERMS	QUOTE NAME	PROJECT NAME
		Egan	Winegar

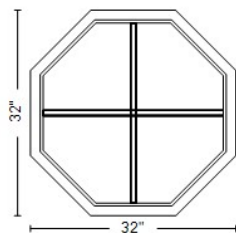
Line #	Room ID	Overall RO	Overall Frame	Price	Qty	Extended
100	#W03 MBR	34 1/8" X 73 1/2"	33.375" X 72.75"	\$1,950.40	5	\$9,752.00



Pinnacle Clad White Double Hung 2832-1 Complete Unit LoE 366 IG 6-9/16 Jamb Ext (Room ID: #W03 MBR)(2604 Powder)(Setup (Standard))(FBC: 11092)(Concealed Jambliner)(Glass Stop Profile: Ogee)(Callout:2-8 x 5-10)(Pine Species)(White Paint)(With Finger Pulls)(Grey Spacer)(Preserve)(White Hardware)(No Brickmould)(Rigid Nail Fin)(7/8" Standard WDL w/Inner Bar)(Ogee WDL Interior Profile)(Colonial Pattern 3W3H/3W3H) (Full Screen)(White Screen - Not Applied)(BetterVue)(Energy Star: Meets in S Zone)(LC-PG35-H) Performance Data:(U-Value: 0.31)(SHGC: 0.18)(VT: 0.41)(CR: 57)

* Units viewed from exterior.

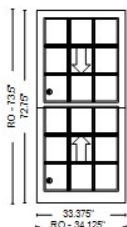
Line #	Room ID	Overall RO	Overall Frame	Price	Qty	Extended
200	#W04 WIC	32 3/4" X 32 3/4"	32" X 32"	\$1,041.53	1	\$1,041.53



Pinnacle Clad White Direct Glaze Octagon Complete Unit LoE 366 IG 6-9/16 Jamb Ext (Room ID: #W04 WIC)(2604 Powder)(Setup (Standard))(FBC: 11570)(Glass Stop Profile: Traditional)(FD: 32 x 32)(Pine Species)(White Paint)(Grey Spacer)(Preserve)(No Brickmould)(Rigid Nail Fin)(Full Width Jamb)(7/8" Standard WDL w/Inner Bar)(Ogee WDL Interior Profile)(Colonial Pattern 2W2H)(Energy Star: Meets in S Zone)(CW-PG70-FW) Performance Data:(U-Value: 0.29)(SHGC: 0.21)(VT: 0.5)(CR: 52)

* Units viewed from exterior.

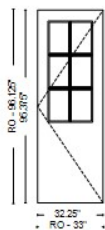
Line #	Room ID	Overall RO	Overall Frame	Price	Qty	Extended
300	#W03 HALL	34 1/8" X 73 1/2"	33.375" X 72.75"	\$1,950.40	1	\$1,950.40



Pinnacle Clad White Double Hung 2832-1 Complete Unit LoE 366 IG 6-9/16 Jamb Ext (Room ID: #W03 HALL)(2604 Powder)(Setup (Standard))(FBC: 11092)(Concealed Jambliner)(Glass Stop Profile: Ogee)(Callout:2-8 x 5-10)(Pine Species)(White Paint)(With Finger Pulls)(Grey Spacer)(Preserve)(White Hardware)(No Brickmould)(Rigid Nail Fin)(7/8" Standard WDL w/Inner Bar)(Ogee WDL Interior Profile)(Colonial Pattern 3W3H/3W3H) (Full Screen)(White Screen - Not Applied)(BetterVue)(Energy Star: Meets in S Zone)(LC-PG35-H) Performance Data:(U-Value: 0.31)(SHGC: 0.18)(VT: 0.41)(CR: 57)

* Units viewed from exterior.

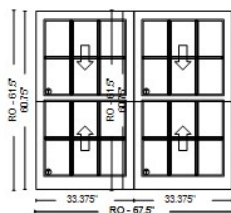
Line #	Room ID	Overall RO	Overall Frame	Price	Qty	Extended
400	#D07 HALL	33" X 96 1/8"	32.25" X 95.375"	\$4,175.64	1	\$4,175.64



* Units viewed from exterior.

Pinnacle Clad White Inswing Single Panel 2880 Complete Unit XL LoE 366 IG 6-9/16 Jamb Ext (Room ID: #D07 HALL)(2604 Powder)(Setup (Standard))(FBC: 11573)(Glass Stop Profile: Ogee)(French Panel)(1/2 Lite Panel with Simulated 2 Panel)(8 Inch Rail)(Pine Species)(White Paint)(White Threshold Finish)(Bronze Sill)(Grey Spacer)(Tempered Glass)(Preserve)(Satin Nickel Multi-Point Hardware)(Euro Handle Style)(No Brickmould)(Rigid Nail Fin)(White Powder Coat Standard Adjustable Hinges)(7/8" Standard WDL w/Inner Bar)(Ogee WDL Interior Profile)(Colonial Pattern 2W3H)(Energy Star:)(R-PG50-SHD) Performance Data:(U-Value: 0.38)(SHGC: 0.07)(VT: 0.14)

Line #	Room ID	Overall RO	Overall Frame	Price	Qty	Extended
500	#W02	67 1/2" X 61 1/2"	66.75" X 60.75"	\$3,504.65	1	\$3,504.65



* Units viewed from exterior.

(A1) DDH 2826 - (A2) DDH 2826 - Standard Mulls

(A1)-Pinnacle Clad White Double Hung 2826 Complete Unit LoE 366 IG 6-9/16 Jamb Ext (Room ID: #W02)(2604 Powder)(Setup (Standard))(FBC: 11092)(Concealed Jambliner) (Glass Stop Profile: Ogee)(Callout:2-8 x 4-10)(Pine Species)(White Paint)(With Finger Pulls) (Grey Spacer)(Tempered Glass)(Preserve)(White Hardware)(No Brickmould)(Rigid Nail Fin) (7/8" Standard WDL w/Inner Bar)(Ogee WDL Interior Profile)(Colonial Pattern 3W2H/3W2H)(Full Screen)(White Screen - Not Applied)(BetterVue)(Energy Star: Meets in S Zone)(LC-PG35-H) Performance Data:(U-Value: 0.31)(SHGC: 0.18)(VT: 0.41)(CR: 57)

(A2)-Pinnacle Clad White Double Hung 2826 Complete Unit LoE 366 IG 6-9/16 Jamb Ext (Room ID: #W02)(2604 Powder)(Setup (Standard))(FBC: 11092)(Concealed Jambliner) (Glass Stop Profile: Ogee)(Callout:2-8 x 4-10)(Pine Species)(White Paint)(With Finger Pulls) (Grey Spacer)(Tempered Glass)(Preserve)(White Hardware)(No Brickmould)(Rigid Nail Fin) (7/8" Standard WDL w/Inner Bar)(Ogee WDL Interior Profile)(Colonial Pattern 3W2H/3W2H)(Full Screen)(White Screen - Not Applied)(BetterVue)(Energy Star: Meets in S Zone)(LC-PG35-H) Performance Data:(U-Value: 0.31)(SHGC: 0.18)(VT: 0.41)(CR: 57)

Quote Comments:

Disclaimer:

SUB-TOTAL:	\$20,424.22
LABOR:	\$0.00
FREIGHT:	\$0.00
SALES TAX:	\$1,991.36
TOTAL:	\$22,415.58

Messages:

* Units meeting Egress size conform to 2018 IRC Section R310.2 Egress requirements; Local codes may differ. Customer is responsible to confirm units meet all applicable requirements..

Submitted By: _____ Date: _____

Accepted By: _____ Date: _____

We appreciate the opportunity to provide you with this quote!



Jessica Dye
P.O. Box 1914, Abingdon, VA 24212
(276) 971-4082
jdyedesigs@outlook.com

COVER

Bryston Winegar
205 Canongate Rd
Kingsport, TN 37660

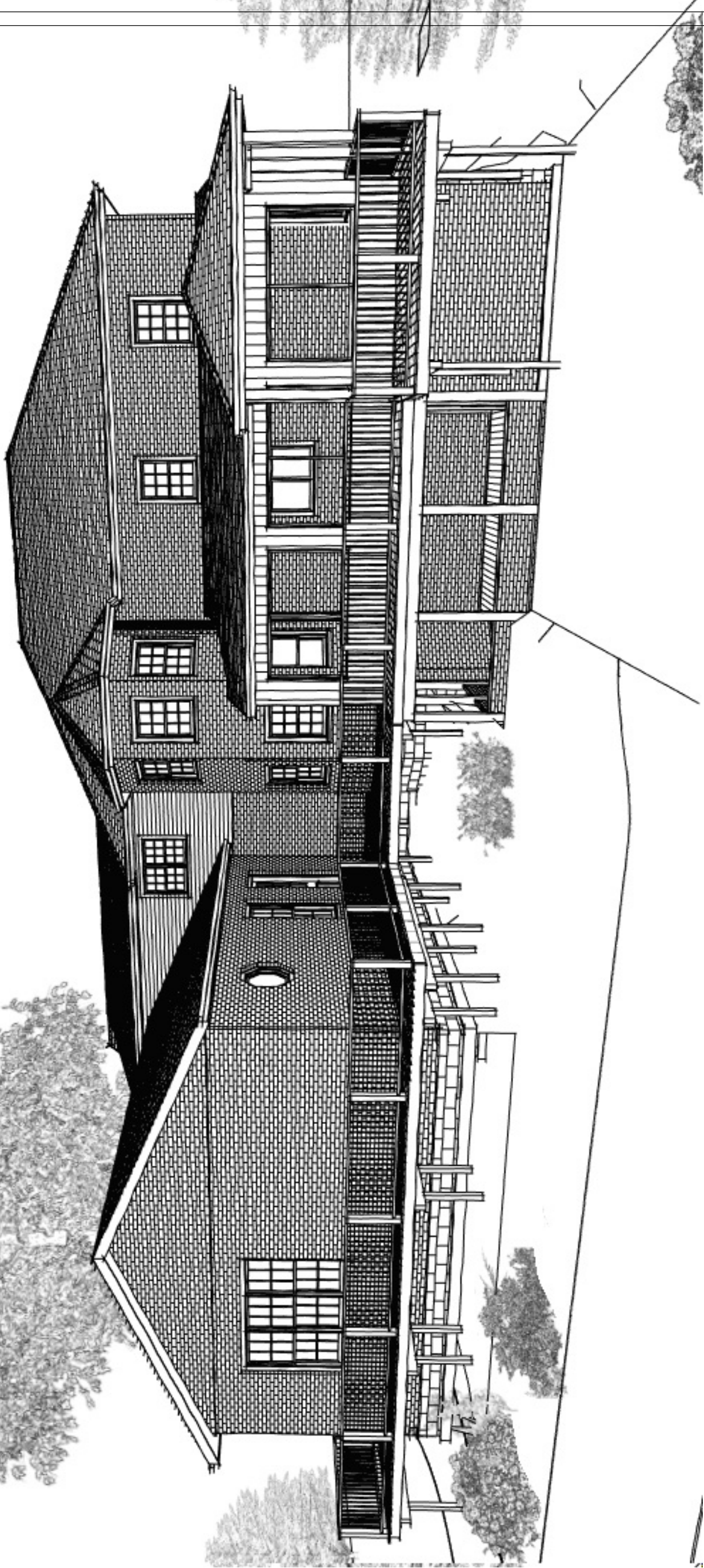
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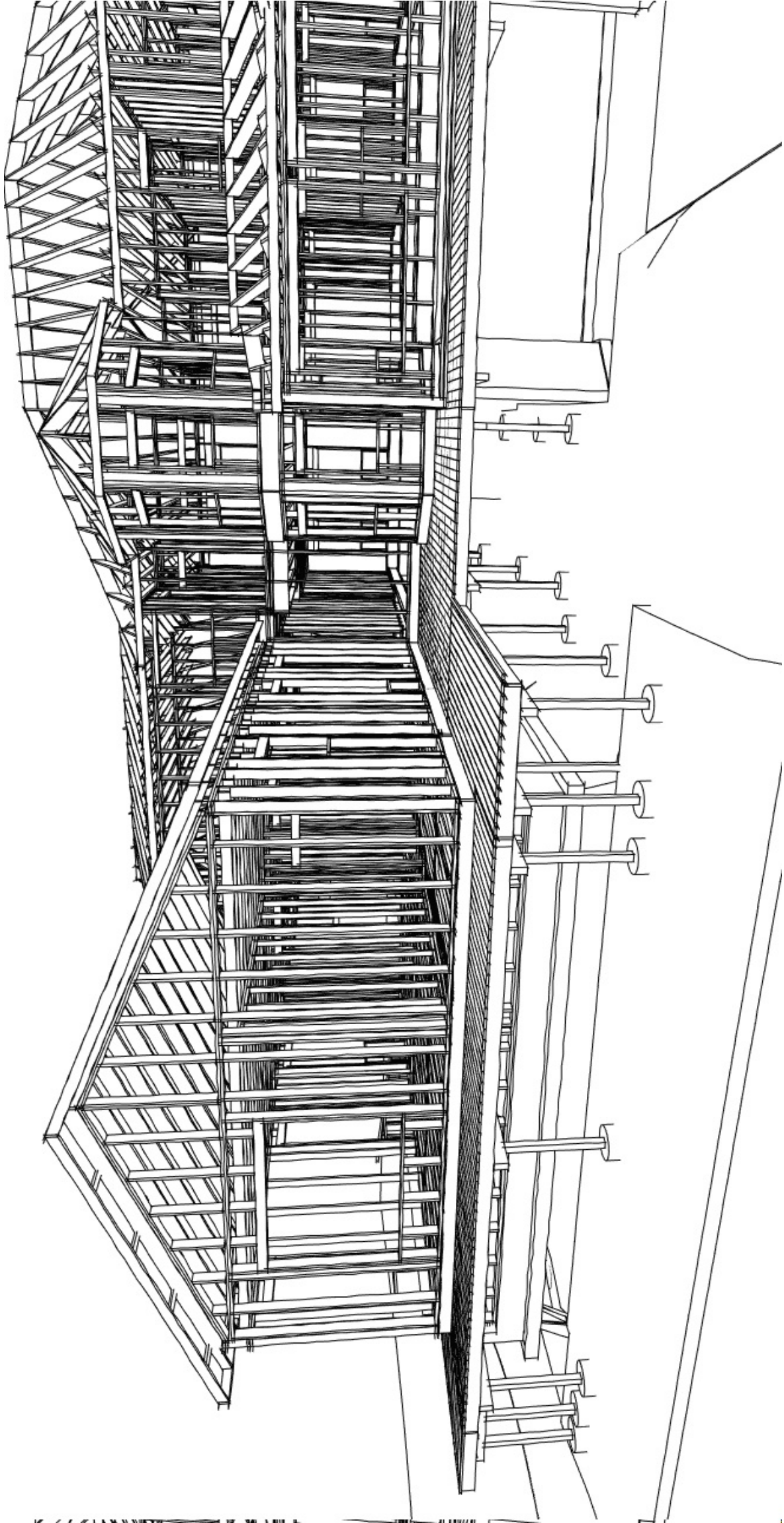
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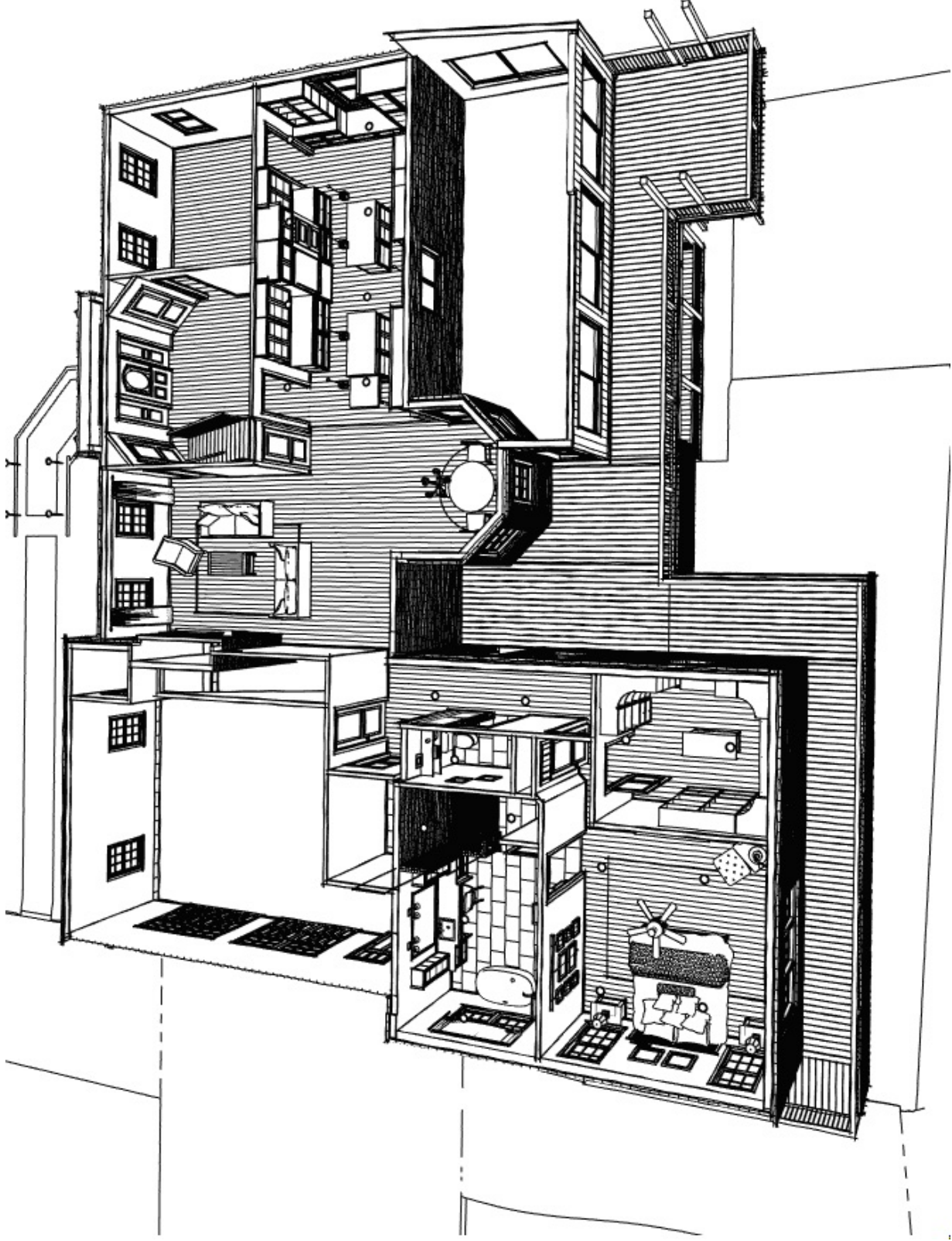
VIEW FROM RIGHT
NOT TO SCALE



VIEW FROM REAR
NOT TO SCALE



3D FRAMING VIEW
NOT TO SCALE



2D FLOOR PLAN
NOT TO SCALE

GENERAL NOTES:
THE BUILDER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH INTERNATIONAL BUILDING CODES AND LOCAL CODES.
WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED OR DIMENSIONED DIMENSIONS. DIMENSIONS SHALL BE GIVEN IN FEET AND INCHES. IF A CLARIFICATION OF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN, IF THE BUILDER HAS ANY QUESTIONS OR CONCERNS, THEY SHALL BE ADDRESSED TO THE ARCHITECT IMMEDIATELY. THE BUILDER SHALL VERIFY THAT THE DIMENSIONS AND SPECIFICATIONS ARE CORRECT AND THAT THE WORK IS BEING DONE IN ACCORDANCE WITH THE PLANS AND NOTES. THE BUILDER SHALL BE RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS).

PLEASE SEE ADDITIONAL NOTES CALLED OUT ON OTHER SHEETS.

BUILDING PERFORMANCE:
HEAT LOSS CALCULATIONS SHALL COMPLY WITH THE REQUIREMENTS OF REGIONAL AND LOCAL CODES. SEE CALCULATIONS, PORCHES, DECKS, FOUNDATION, FIREPLACE ENCLOSURES, AND GARAGE AREAS NOT INCLUDED IN LIVING AREA. ALL EXHAUST FANS TO BE VENTED DIRECTLY OUTSIDE THE BUILDING. ALL PENETRATIONS OF THE BUILDING ENVELOPE SHALL BE SEALED WITH CAULK OR FOAM.

STRUCTURAL ENGINEER (IF REQUIRED):
DESIGNER:
BUILDER:

HOMEOWNER & CONTRACTOR: TO VERIFY ALL DIMENSIONS, STRUCTURAL DETAILS, AND BUILDING CODES, AND GRADE REQUIREMENTS.

ALL RENDERINGS ARE FOR INSPIRATION PURPOSES ONLY AND ARE NOT GUARANTEED TO LOOK LIKE THE FINAL DESIGN

To the best of my knowledge these plans are drawn to comply with owner's and / or builder's specifications and any changes made on them after prints are made will be done at the owner's and / or builder's expense and responsibility. The contractor shall verify all dimensions and enclosed drawing. J DYE DESIGNS, LLC. is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan to avoid mistakes, the maker can not guarantee against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible thereafter.

Label/Title	Description	Comments
1	COVER	
2	PROPOSED FLOOR PLAN, DOOR & WINDOW SCH.	
3	PROPOSED FOUNDATION PLAN	
4	EXISTING FLOOR PLAN AND REAR ELEVATION	
5	PROPOSED ELEVATIONS	
6	PROPOSED ROOF PLAN	
7	GROUPED TYPICALS	

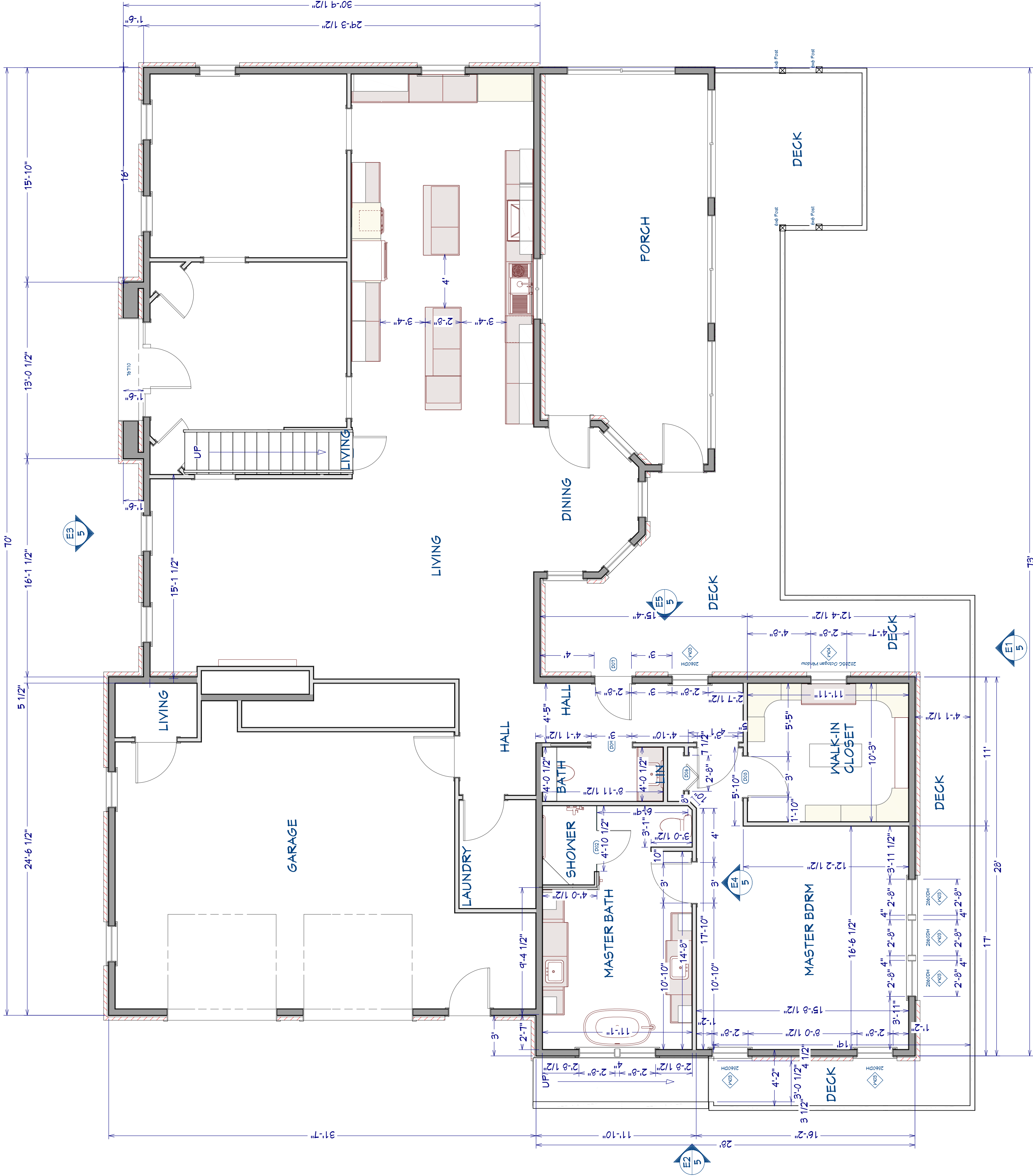


Jessica Dye
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jdyledesigns@outlook.com
(276) 971-4082

PROPOSED FLOOR
PLAN

Bryston Winegar
205 Canongate Rd
Kingsport, TN 37660

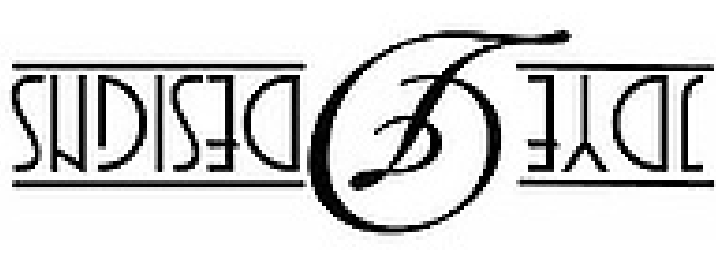
DATE:
03/27/2025
SCALE:
1/4" = 1'
SHEET:
2



3D VIEW NUMBER	3D VIEW LABEL	QTY	FLOOR SIZE	R/O	DOOR SCHEDULE DESCRIPTION	HEADER	CODE COMMENTS
D02		1	2666 L	30"X60"	SHOWER-GLASS SLAB		
D03		1	2666 L IN	32"X62 1/2"	HINGED-DOOR F04	2"X6"X35" (2)	
D06		1	2660 R	32"X48 1/2"	2 DR. BIFOLD- 20 INTERIOR	2"X6"X35" (2)	
D07		1	2890 L EX	34"X94"	EXT. HINGED- 444 SASH	2"X6"X31" (2)	
D08		1	3066 R IN	36"X62 1/2"	HINGED-DOOR F04	2"X6"X41" (2)	
D09		1	3060 L	T3 1/4"X48 1/2"	POCKET-DOOR F04	2"X6"X16 1/4" (2)	

3D VIEW NUMBER	3D VIEW LABEL	QTY	FLOOR SIZE	R/O	EGRESS DESCRIPTION	HEADER	CODE COMMENTS
W02		2	2850DH	33"X61"	DOUBLE HUNG	2"X6"X36" (2)	
W03		6	2860DH	33"X13"	DOUBLE HUNG	2"X6"X36" (2)	
W04		1	28295C OCTOGAN WINDOW	35"X35"	SINGLE CASEMENT-HL-AT	2"X6"X36" (2)	

PROPOSED FLOOR PLAN
SCALE: 1/4" = 1'



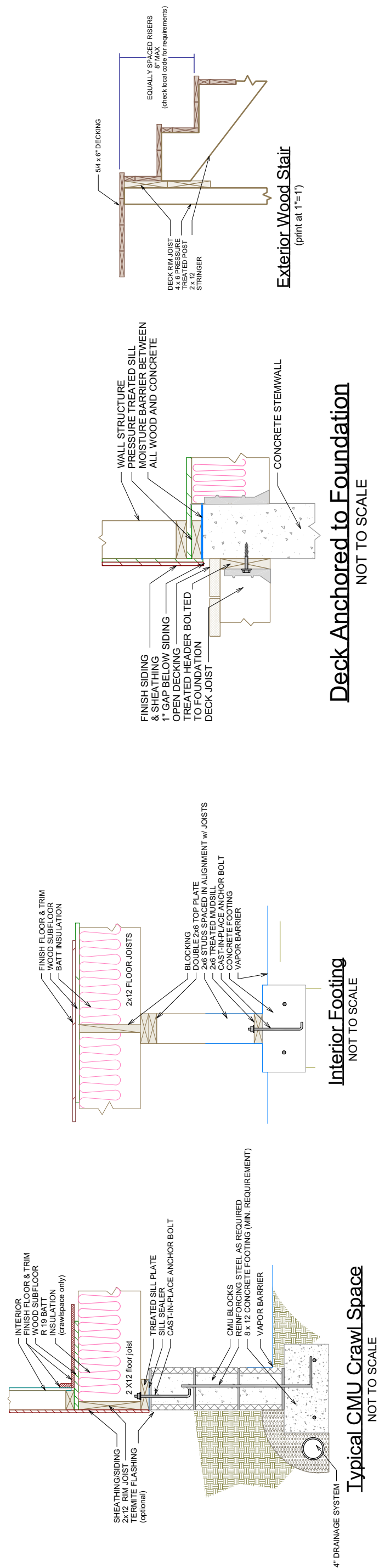
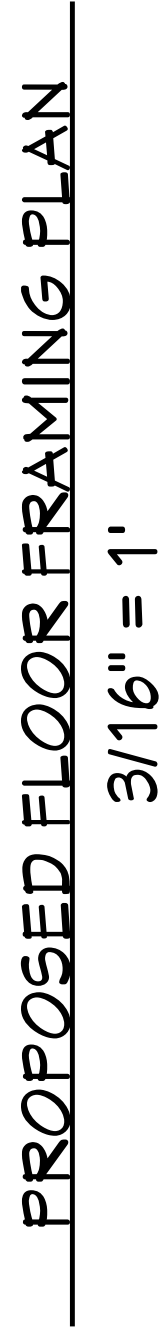
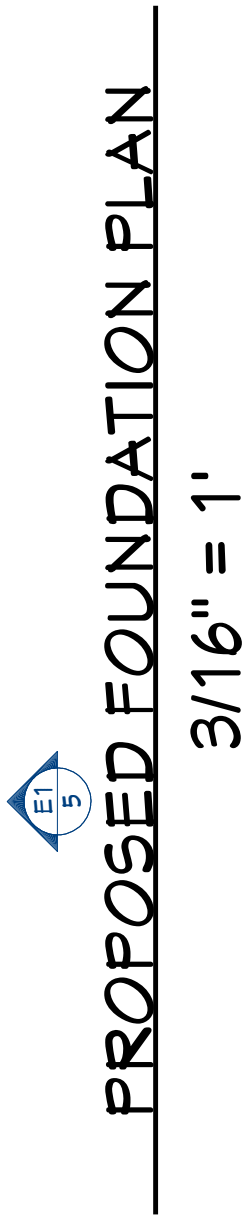
FLOOR FRAMING
PLAN AND
FOUNDATION PLAN

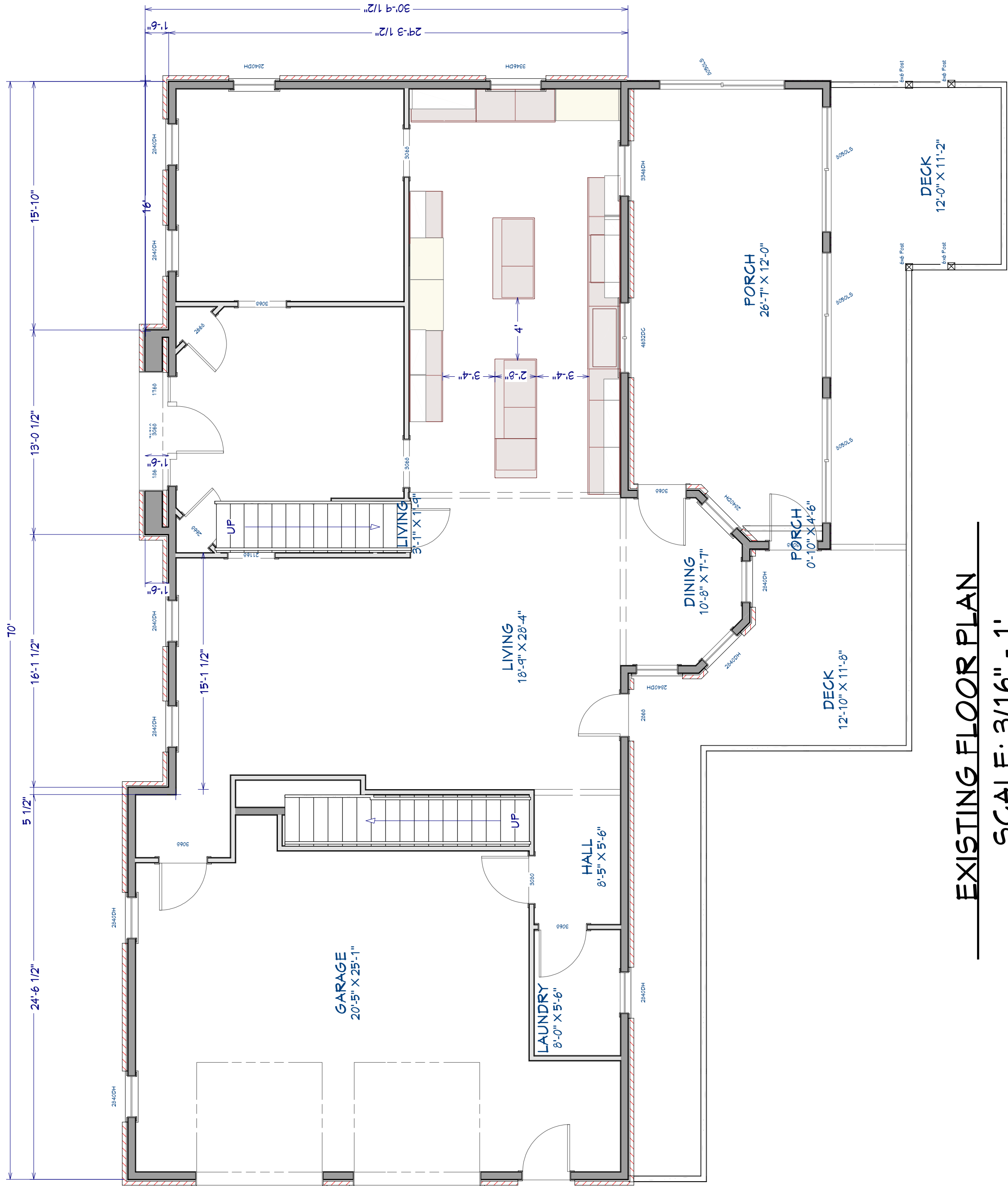
Bryston Winegar
205 Canongate Rd
Kingsport, TN 37660

DATE: 03/27/2025

SCALE: 1' = 16"

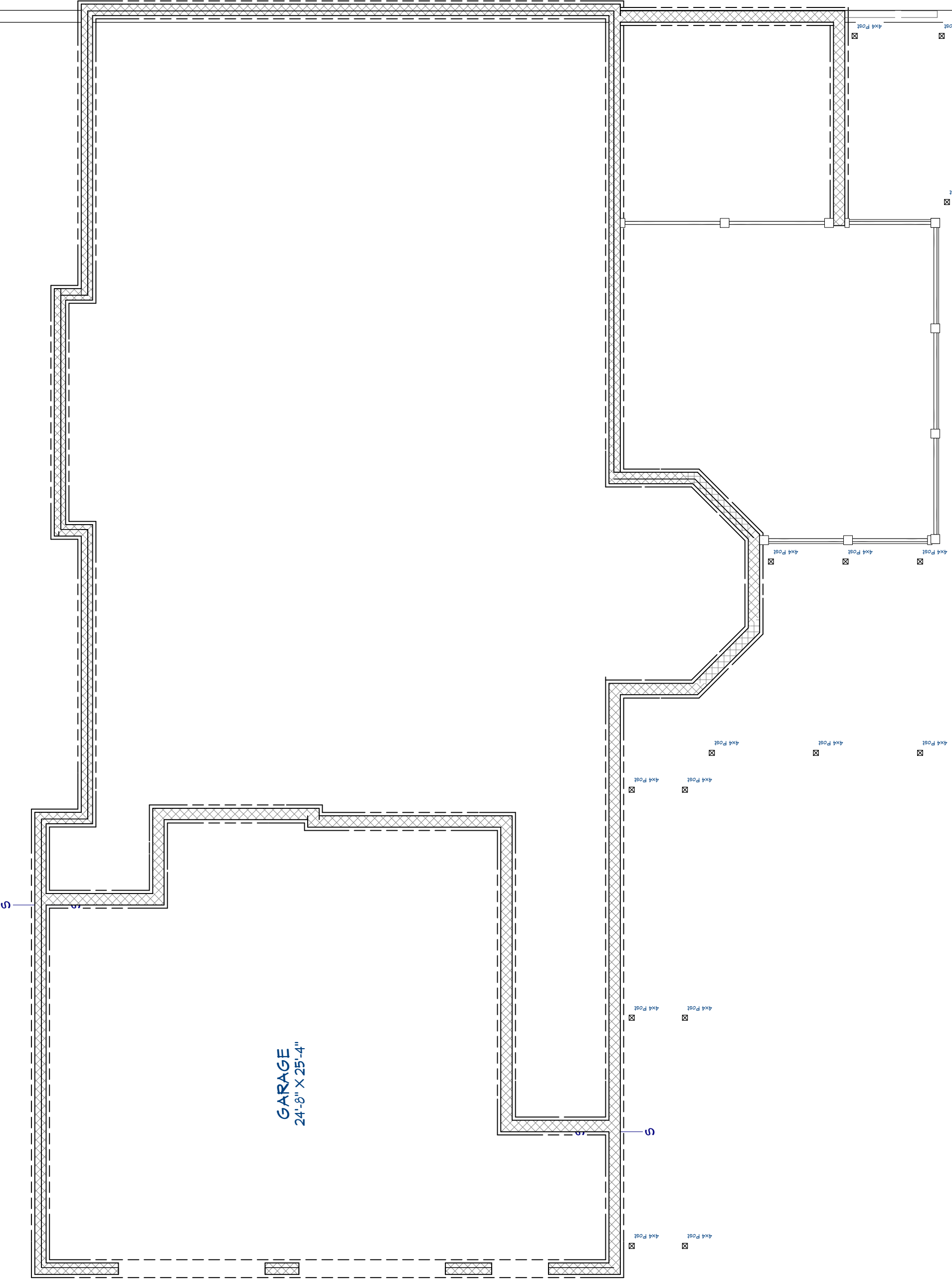
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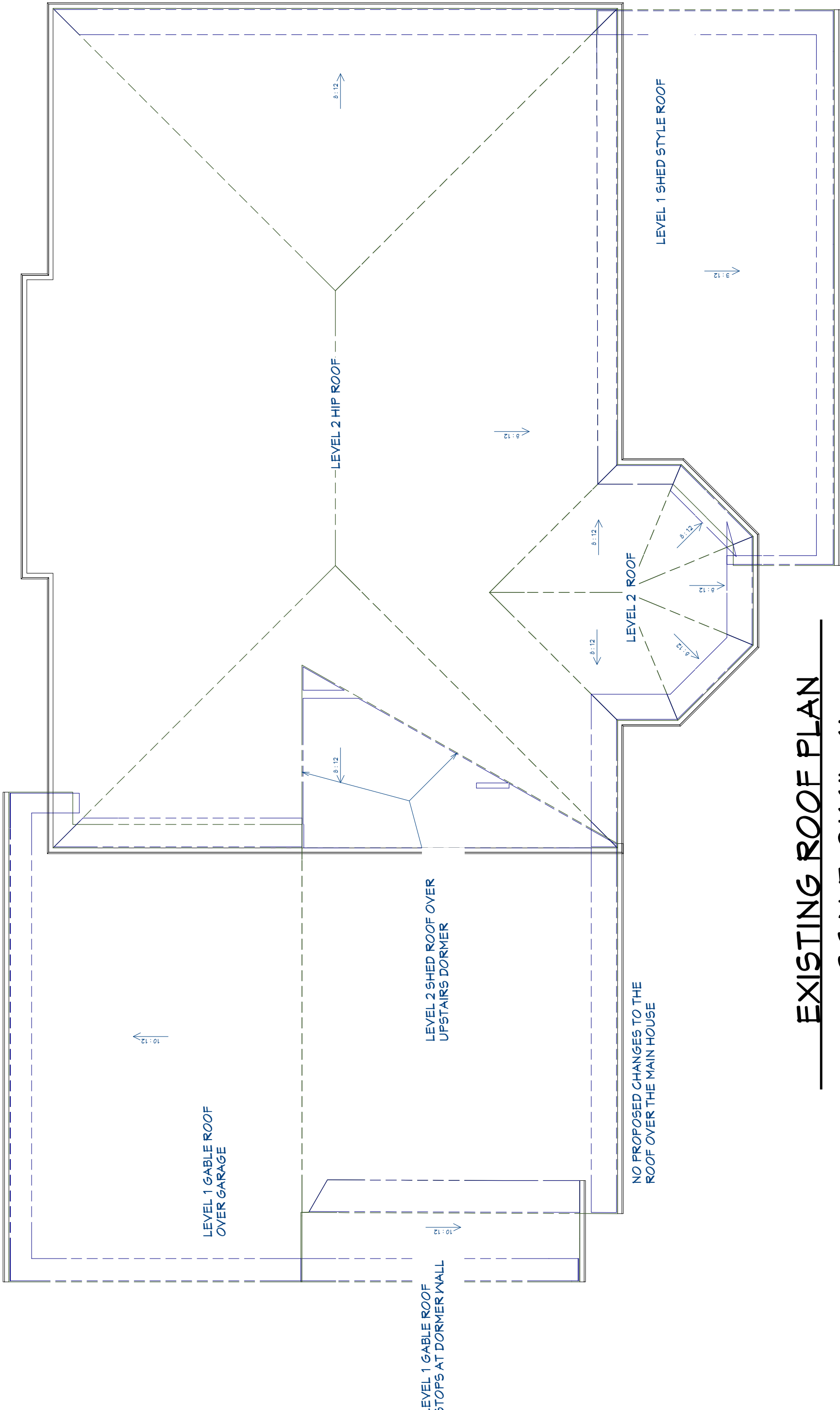
EXISTING FLOOR PLAN

SCALE: 3/16" - 1'



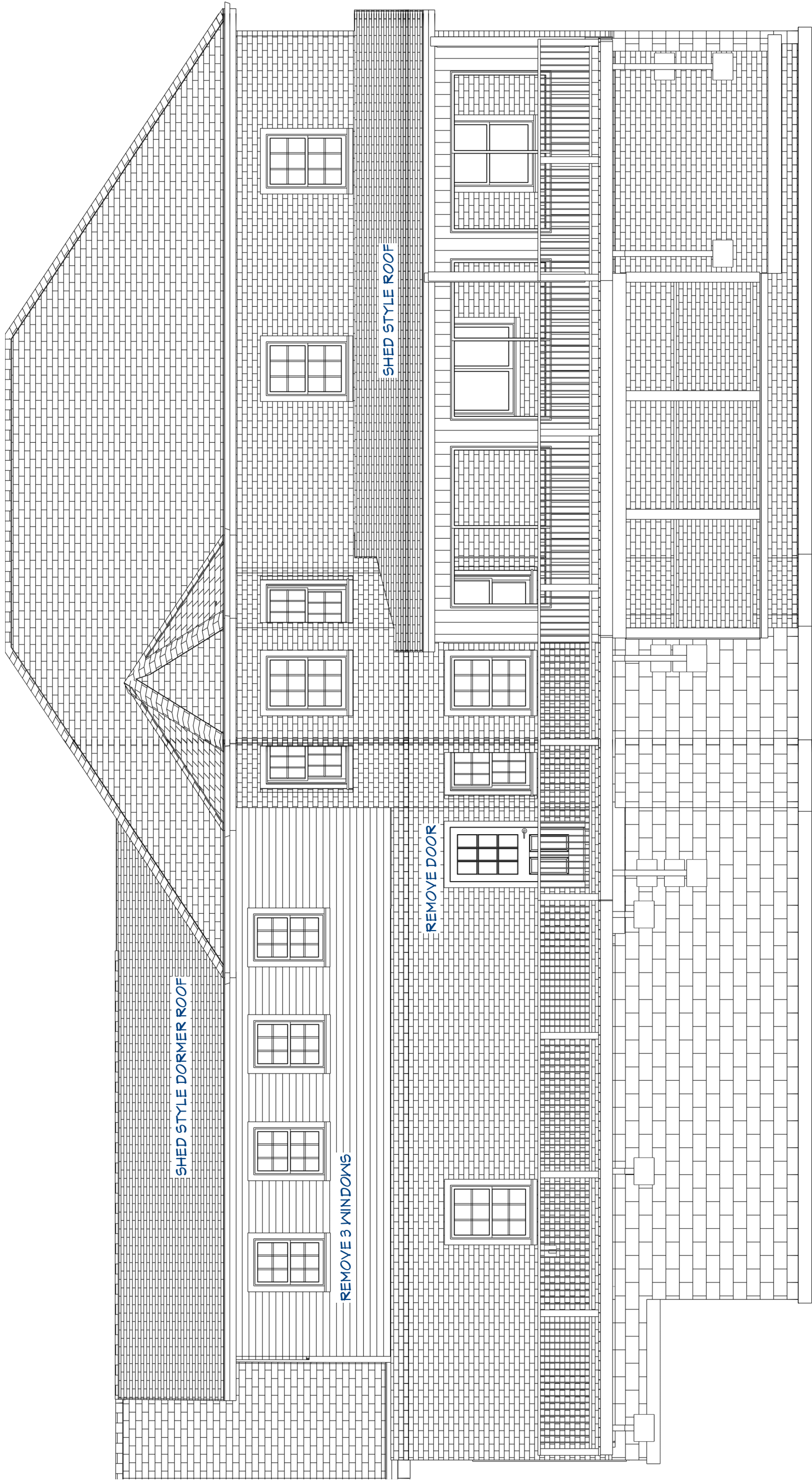
EXISTING FOUNDATION

SCALE: 3/16" - 1'



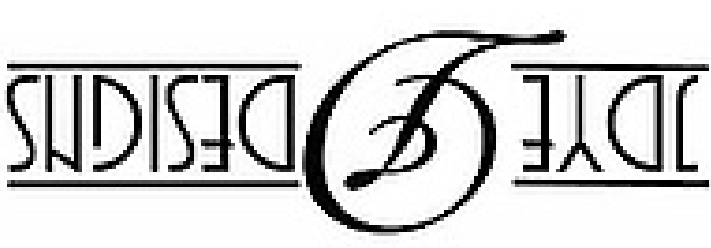
EXISTING ROOF PLAN

SCALE: 3/16" - 1'



EXISTING REAR ELEVATION

SCALE: 3/16" - 1'

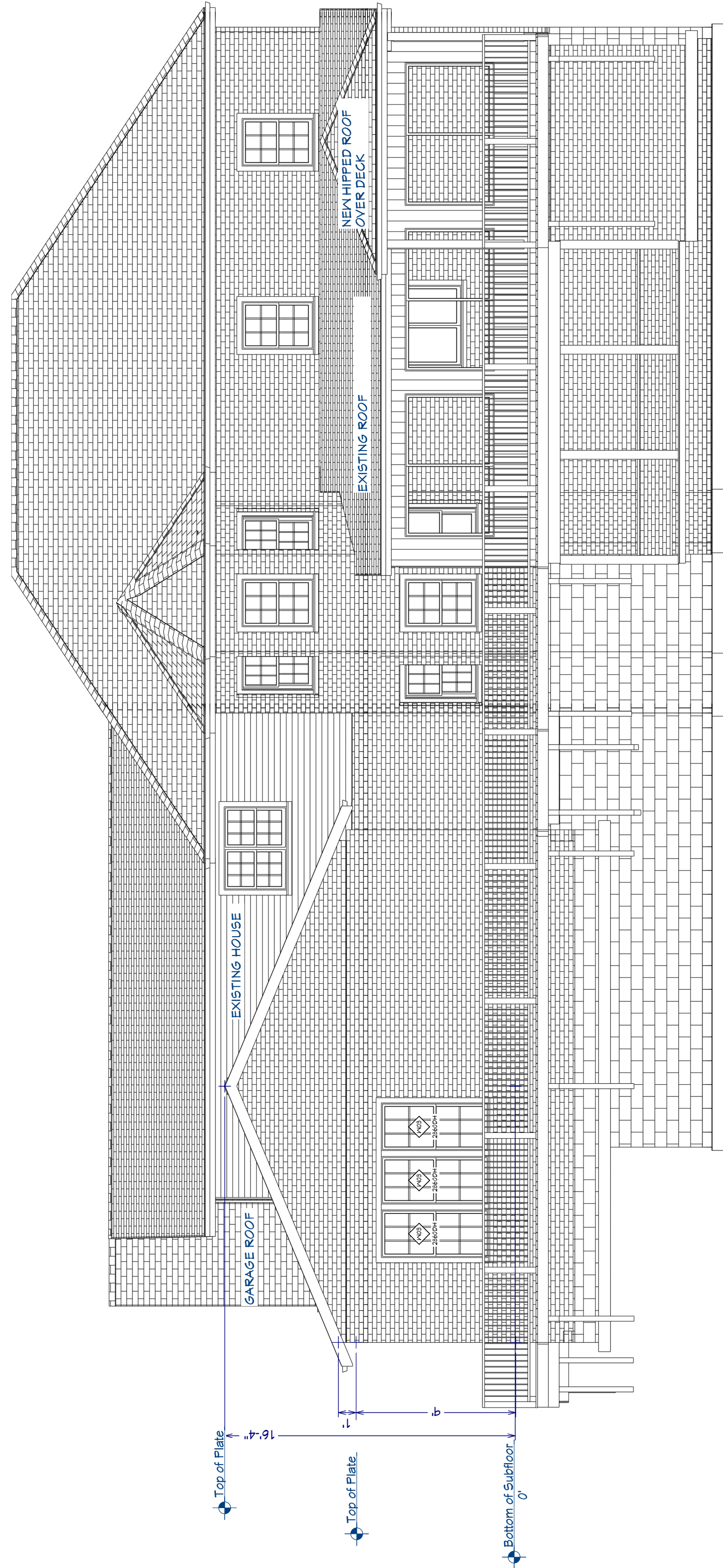


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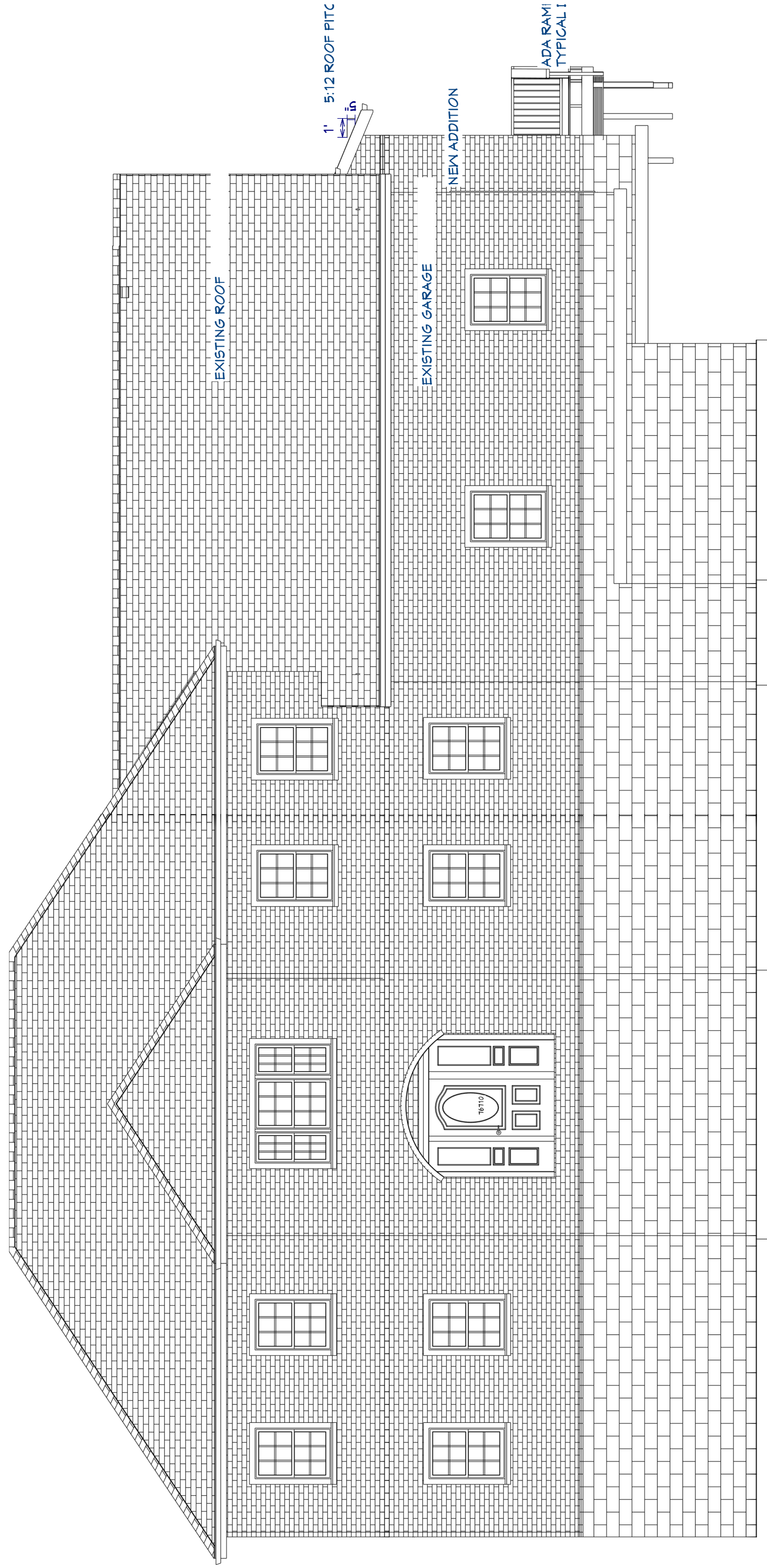
EXISTING FLOOR
PLAN AND REAR
ELEVATION

Bryston Winegar
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Kingsport, TN 37660

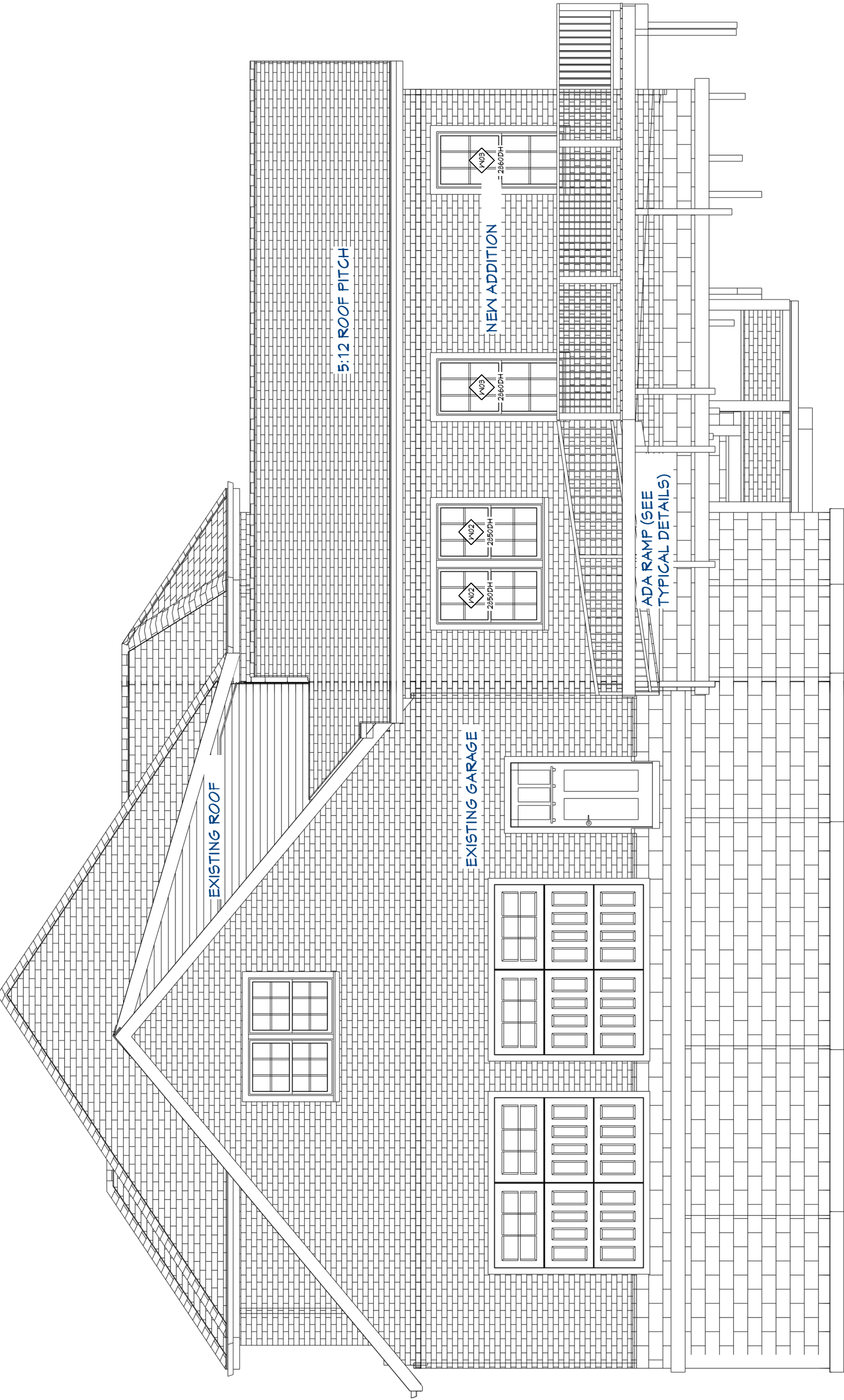
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SHEET:	4



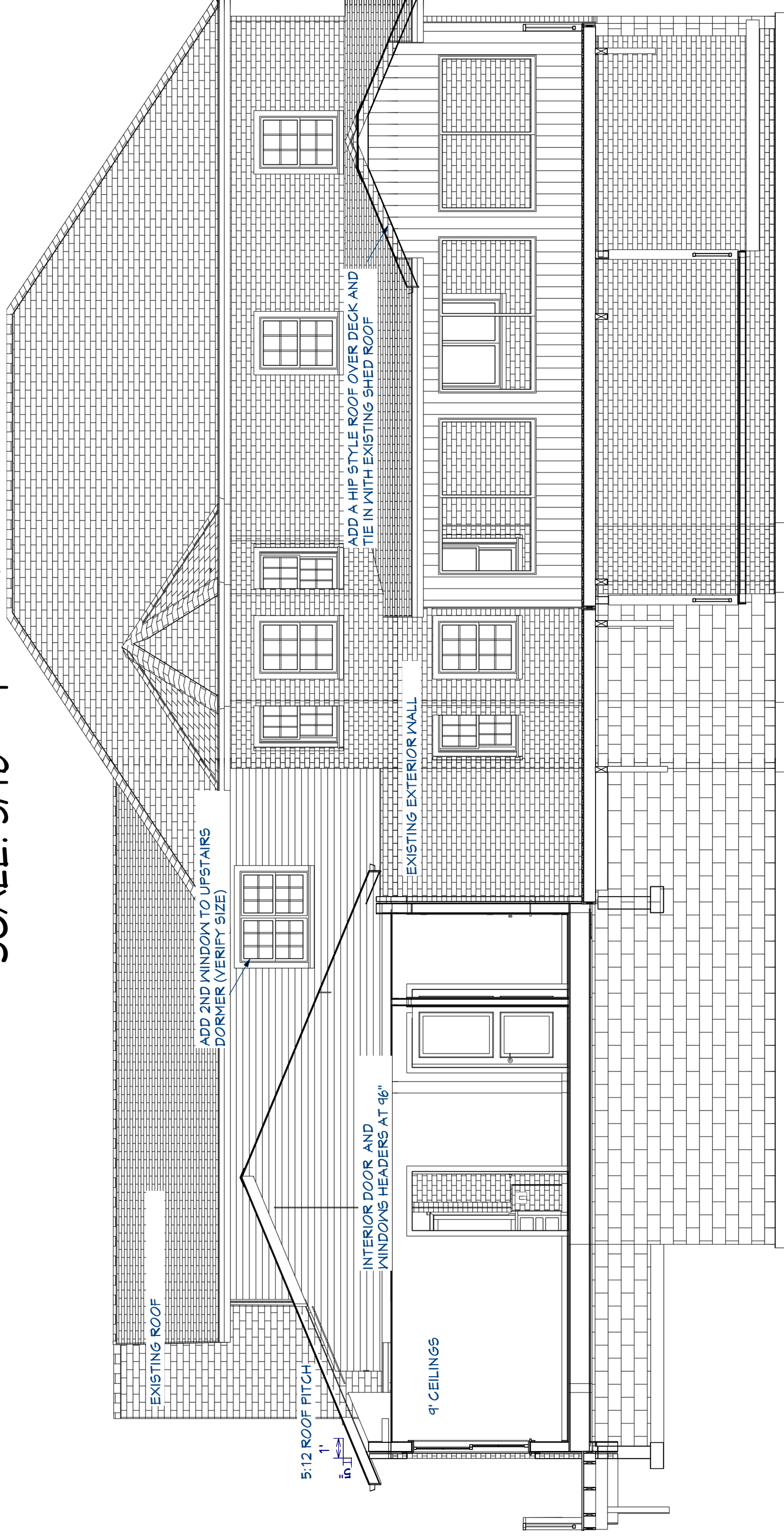
REAR ELEVATION
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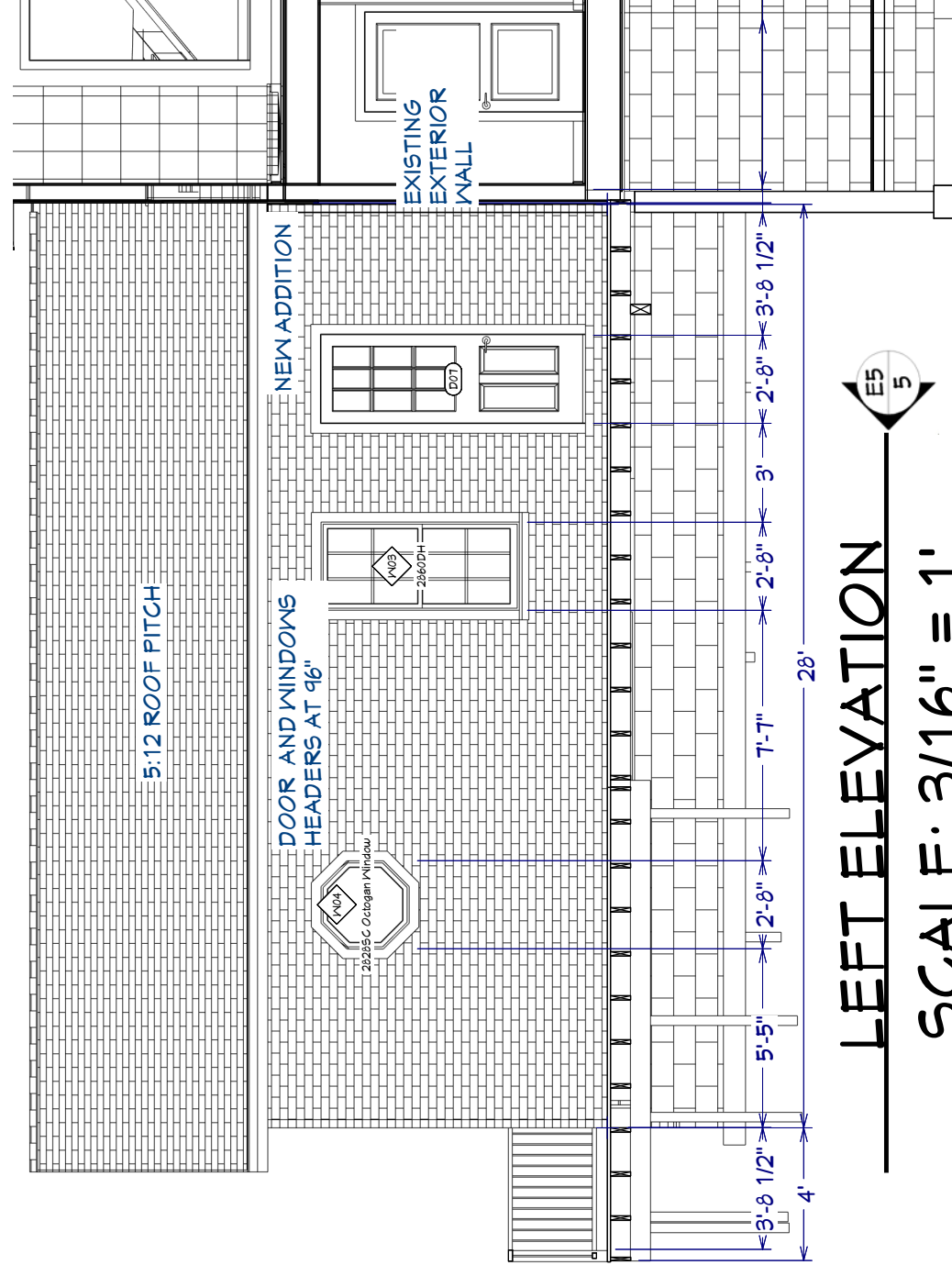
FRONT ELEVATION
SCALE: 3/16" = 1'



RIGHT ELEVATION
SCALE: 3/16" = 1'



CROSS-SECTION ELEVATION: ADDITION
SCALE: 3/16" = 1'



LEFT ELEVATION
SCALE: 3/16" = 1'



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jdyedesigns@outlook.com

ELEVATIONS

Bryston Winegar
205 Canongate Rd
Kingsport, TN 37660

DATE:

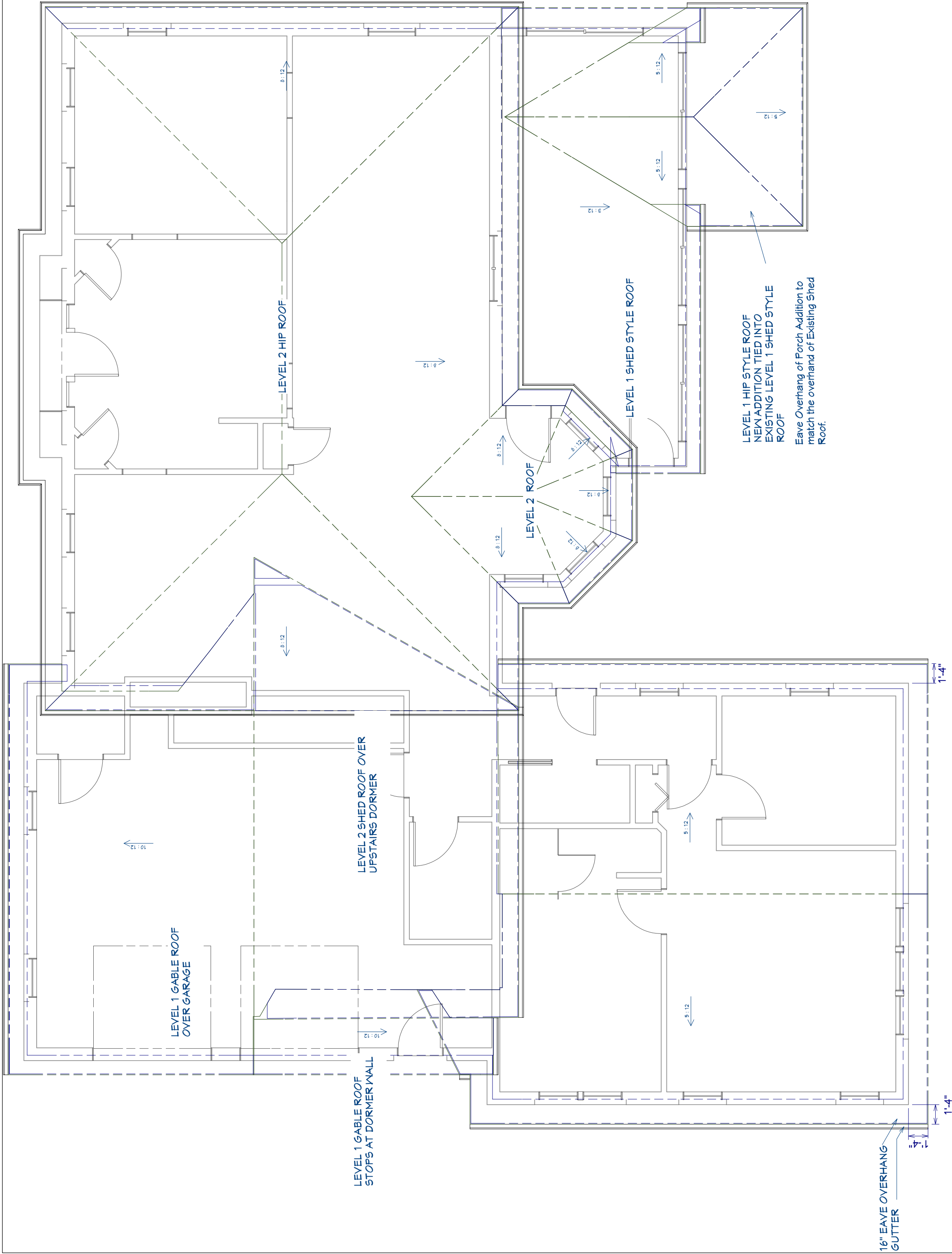
03/27/2025

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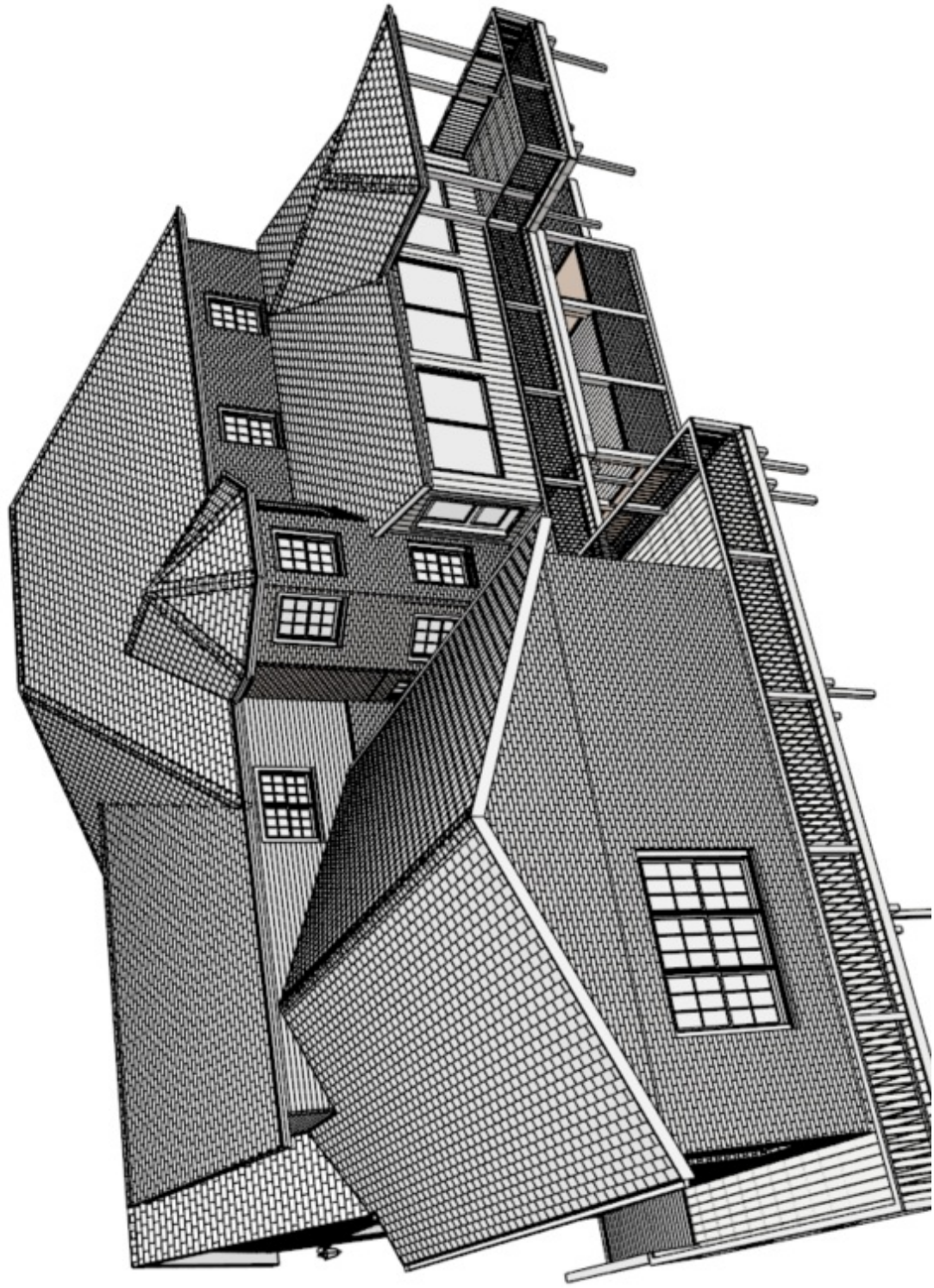
3/16" = 1'

SHEET:

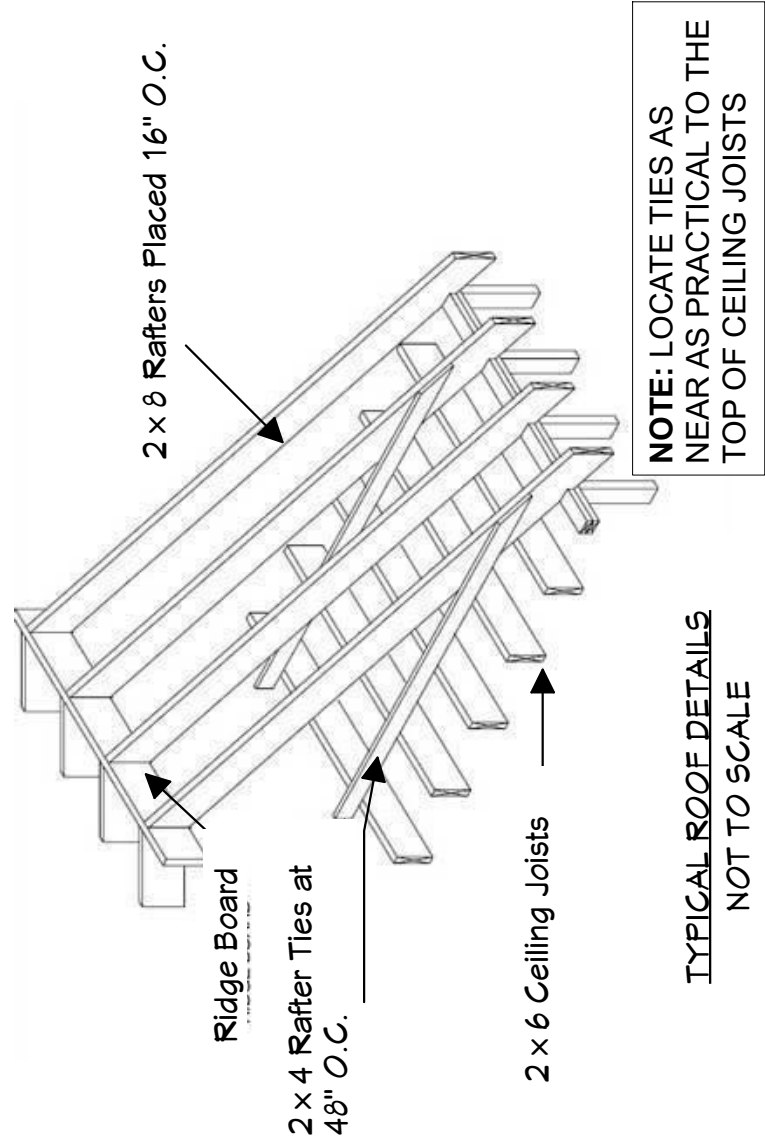
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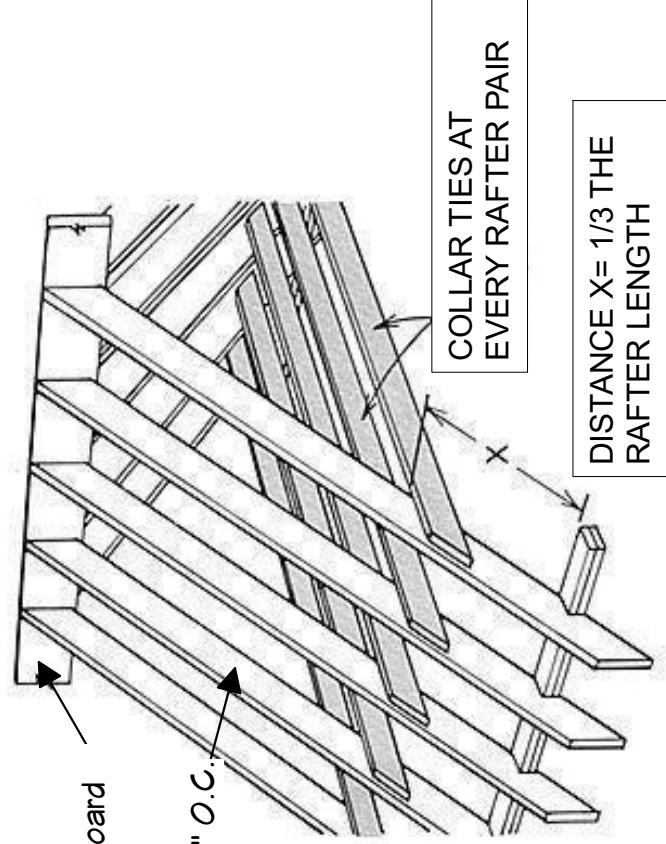
PROPOSED ROOF PLAN
SCALE: 3/16" = 1'



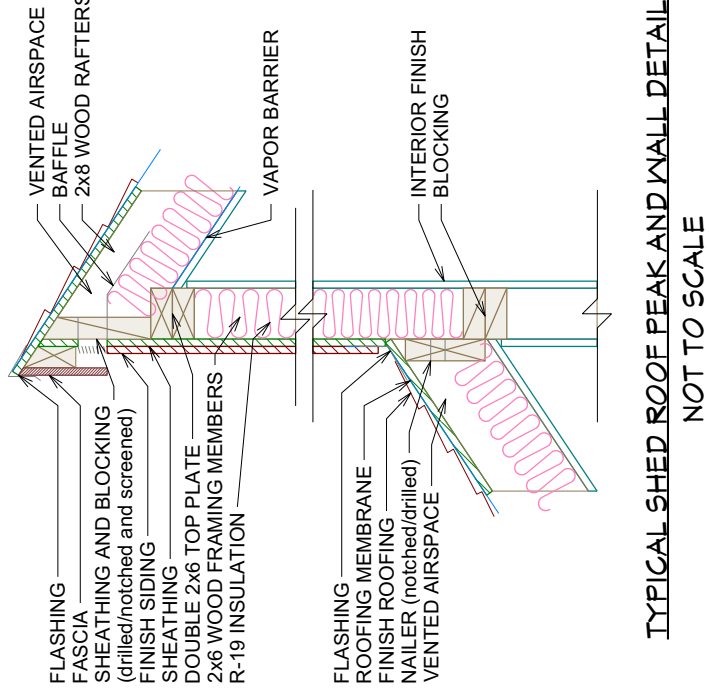
3D ROOF PLAN
NOT TO SCALE



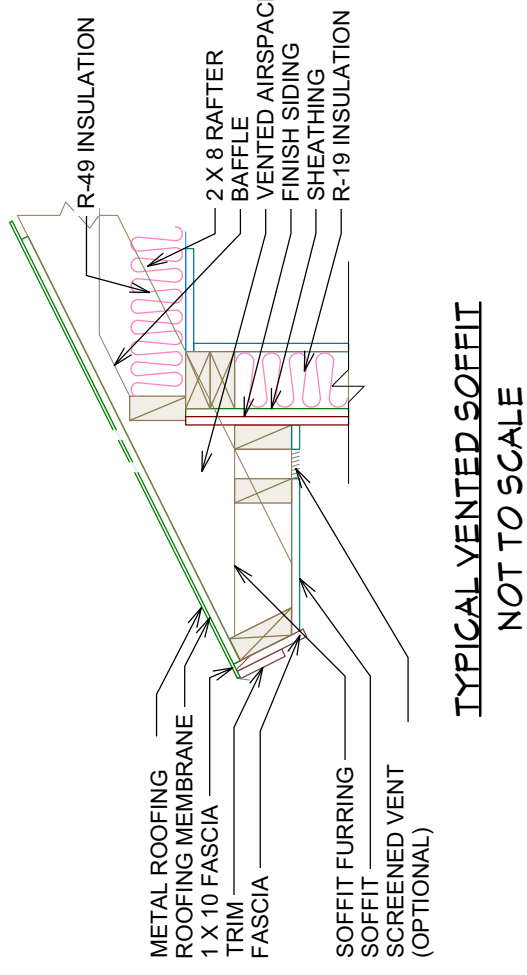
TYPICAL ROOF DETAILS
NOT TO SCALE



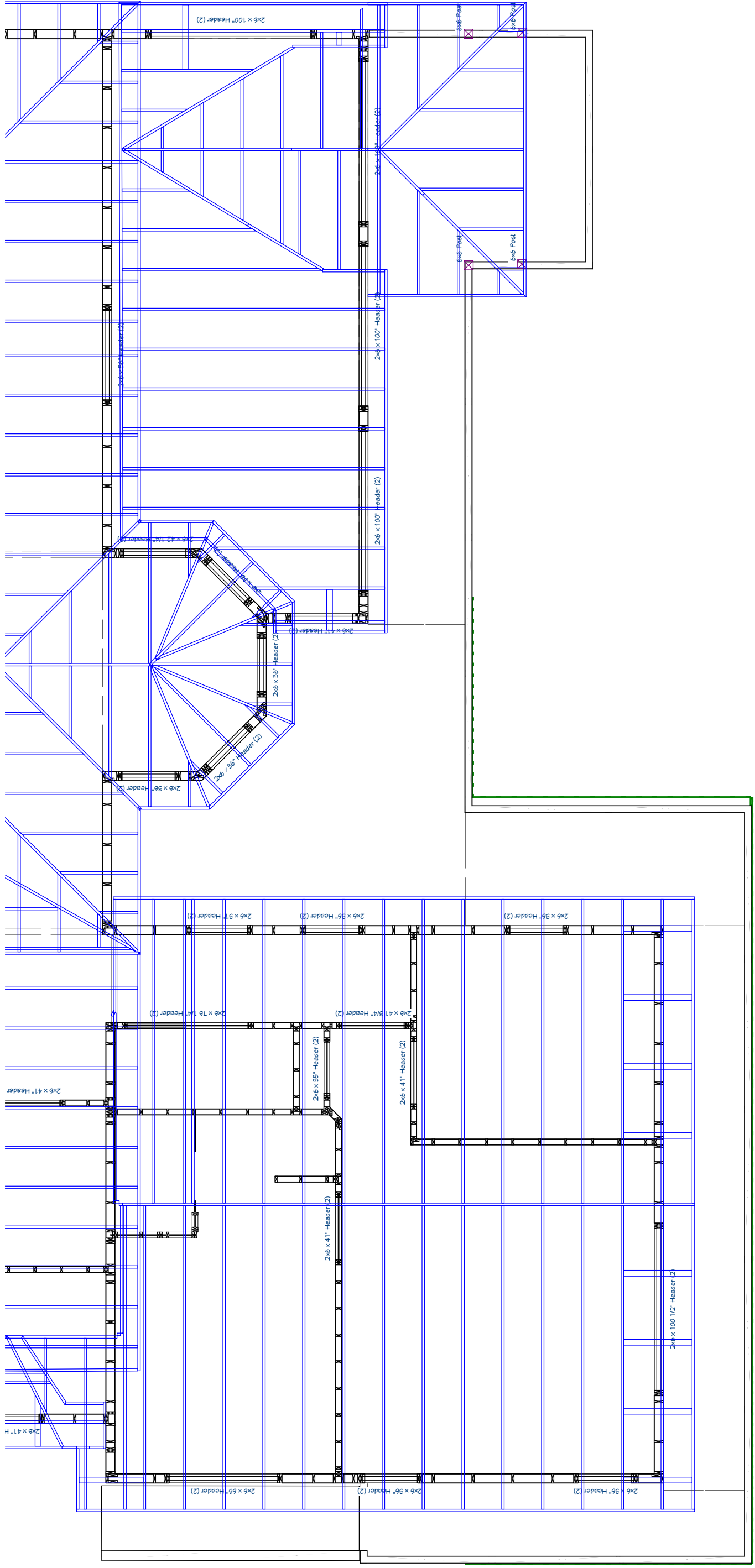
TYPICAL VAULTED ROOF DETAILS
NOT TO SCALE



TYPICAL SHED ROOF PEAK AND WALL DETAIL
NOT TO SCALE



TYPICAL VENTED SOFFIT
NOT TO SCALE



PROPOSED ROOF FRAMING PLAN
SCALE: 3/16" = 1'

ROOF FRAMING / TRUSS NOTES: (IF TRUSSES ARE USED IN THE PROJECT)

- TRUSS DRAWING IS FOR ILLUSTRATION ONLY. ALL TRUSSES SHALL BE INSTALLED & BRACED TO MANUFACTURERS DRAWINGS & SPECIFICATIONS.
- ALL TRUSSES SHALL CARRY MANUFACTURERS STAMP.
- ALL TRUSSES WILL NOT BE FIELD ALTERED WITHOUT PRIOR BUILDING DEPT. APPROVAL OF ENGINEERING CALCULATIONS.
- ALL TRUSSES SHALL HAVE DESIGN DETAILS & DRAWINGS ON SITE FOR FRAMING INSPECTION.
- ALL CONNECTIONS OF RAFTERS, JACK OR HIP TRUSSES TO MAIN GIRDER TO BE PROVIDED BY TRUSS MANUFACTURER.
- ALL ROOF FRAMING 24" O.C.
- ALL OVERHANGS 16".
- ROOF & FLOOR TRUSS MANUFACTURER: _____



JDYF & DESIGNS

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ROOF PLAN AND
CEILING PLAN

Bryston Winegar
205 Canongate Rd
Kingsport, TN 37660

DATE:

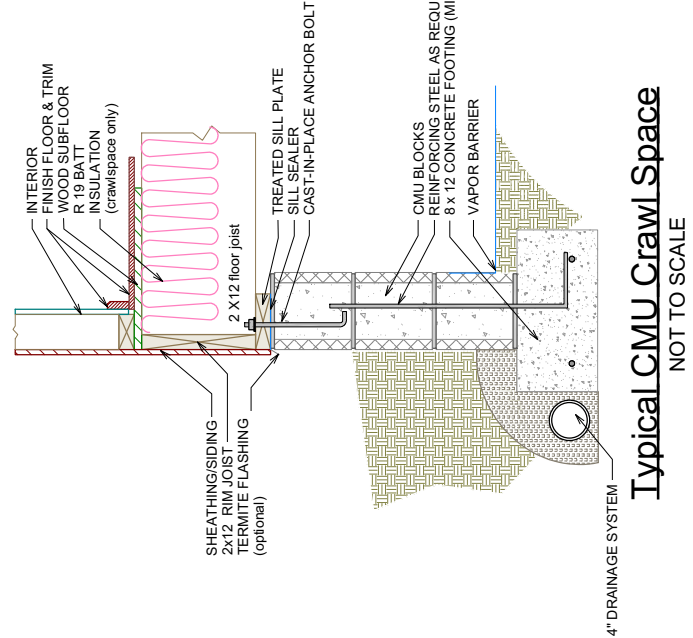
03/27/2025

SCALE:

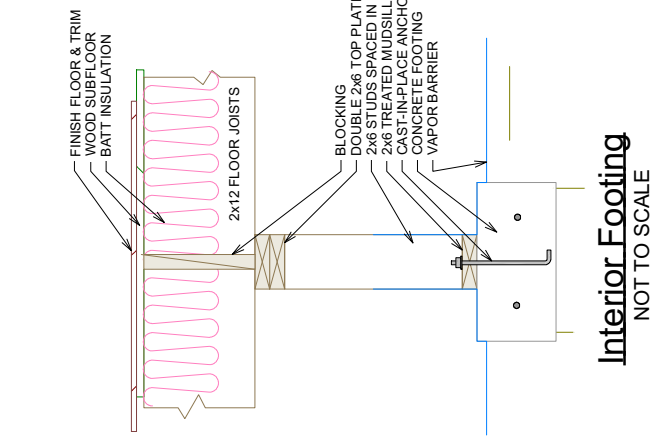
3/16" = 1'

SHEET:

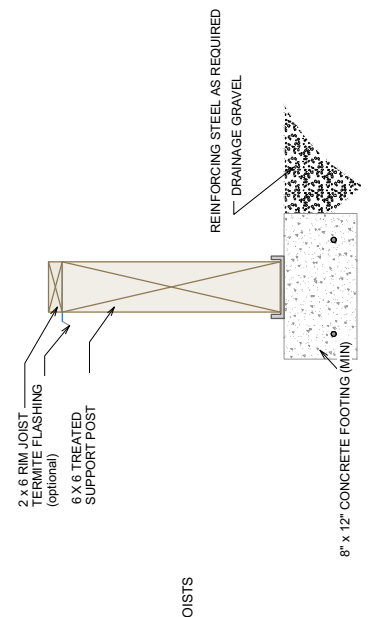
6



Typical CMU Crawl Space



Interior Footing



Footings and Support Post Details

GENERAL NOTES AND SPECIFICATIONS

THE GENERAL CONTRACTOR SHALL FULLY COMPLY WITH THE 2018 IBC AND ALL ADDITIONAL STATE AND LOCAL CODE REQUIREMENTS.

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE GENERAL CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS) AND CONDITIONS ON THE JOB AND MUST NOTIFY THIS OFFICE OF ANY VARIATIONS FROM THESE DRAWINGS.

THIS OFFICE SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, ACTS OR OMISSIONS OF THE CONTRACTOR OR ANY SUBCONTRACTORS, OR FAILURE OF ANY OF THEM TO CARRY OUT WORK IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS.

THIS STRUCTURE SHALL BE ADEQUATELY BRACED FOR WIND LOADS UNTIL THE ROOF, FLOOR AND WALLS HAVE BEEN PERMANENTLY FRAMED TOGETHER AND SHEATHED.

INSTALL WATERPROOF GYPSUM BOARD AT ALL WATER SPLASH AREAS TO MINIMUM 70" ABOVE SHOWER DRAINS.

EXHAUST ALL VENTS AND FANS DIRECTLY TO OUTSIDE VIA METAL DUCTS. PROVIDE 90 CFM (MIN) FANS TO PROVIDE 5 AIR CHANGES PER HOUR IN BATHS CONTAINING TUB AND / OR SHOWER AND IN LAUNDRY ROOMS.

ALL RECESSED LIGHTS IN INSULATED CEILINGS TO HAVE THE I.C. LABEL.

PROVIDE SOLID BLOCKING UNDER ALL BEARING WALLS PERPENDICULAR TO JOISTS AND OTHER BEARING POINTS NOT OTHERWISE PROVIDED WITH SUPPORT.

TYPICAL FOUNDATION NOTES:

SLOPE CRAWL SPACE TO DRAIN. MAXIMUM SLOPE IS 2 HORIZ. , 1 VERT. BETWEEN FOOTINGS AT DIFFERENT ELEVATIONS. ALL FOOTINGS TO REST ON CLEAN, FIRM UNDISTURBED SOIL. STEP FOOTINGS A REQUIRED TO MAINTAIN REQUIRED DEPTH BELOW FINISH GRADES.

CONCRETE STRENGTH,
3,000 PSI AT 28 DAYS FOR ALL SLABS. (FOUNDATION DESIGN BASED ON 2,500 PSI).
3,000 PSI AT 28 DAYS FOR ALL OTHER CONDITION.
MAXIMUM SLUMP, 4"

USE ASTM A-615 GRADE 60 DEFORMED REINFORCING BARS UNLESS NOTED OTHERWISE

CONCRETE EXPANSION ANCHORS SHALL BE 'SIMPSON WEDGE-ALL STUD ANCHORS' OR ENGINEER APPROVED EQUAL. EPOXY TO BE SIMPSON "SET" ADHESIVE OR APPROVED EQUAL.

INFILTRATION, ALL OPENINGS IN THE EXT. BLDG. ENVELOPE SHALL BE SEALED AGAINST AIR INFILTRATION. THE FOLLOWING AREAS MUST BE SEALED.

- * JOINTS AROUND WINDOW AND DOOR FRAMES
- * JOINTS BETWEEN WALL CAVITY AND WINDOW/DR. FME.
- * JOINTS BETWEEN WALL AND FOUNDATION
- * JOINTS BETWEEN WALL AND ROOF
- * UTILITY PENETRATIONS THROUGH EXTERIOR WALLS

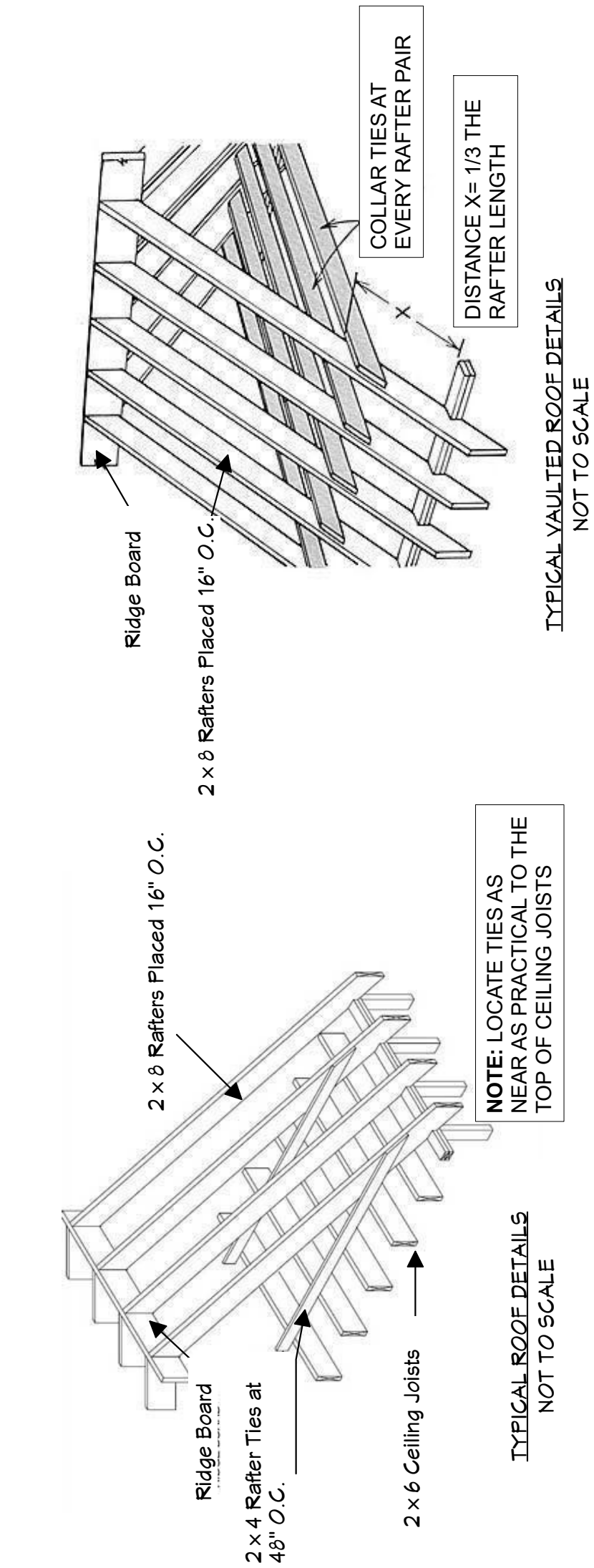
THE FOUNDATION NOTES ARE SUBJECT TO CHANGE BASED ON STATE AND LOCAL BUILDING CODES.

FRAMING NOTES:

PROVIDE POSITIVE VENTILATION AT EACH END OF EACH RAFTER SPACE AT VAULTED CEILING AREAS.

PROVIDE FIRE BLOCKING, DRAFT STOPS AND FIRE STOPS AS PER I.B.C. SEC. R502.12. (IF CODE REQUIRES).

PROVIDE POSITIVE CONNECTIONS AT EACH END OF ALL POSTS AND COLUMNS TO RESIST LATERAL DISPLACEMENT.



Typical Roof Details

Typical Vaulted Roof Details

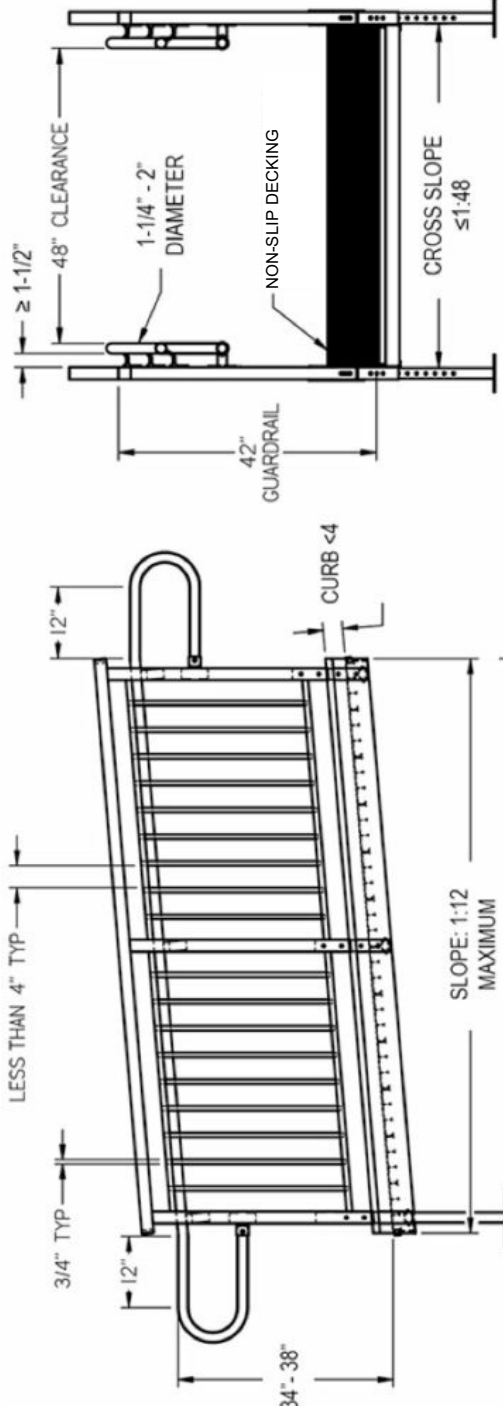
WALL FRAMING NOTES:

ALL EXTERIOR WALLS ARE 2 X 6 STUDS @16" O.C.
ALL INTERIOR WALLS ARE 2 X 4 STUDS @ 16" O.C.

6X6 TREATED SUPPORT POSTS ON THE DECK ADDITION, CUT TO SIZE AND FASTENED WITH SIMPSON BRACKETS AND FASTENED WITH CODE APPROVED ANCHORS.

NOTES:

1. JOISTS: 2x12x16 @16" O.C. (UNLESS NOTED OTHERWISE).
2. RIM JOIST: CONTINUOUS 2x10x16 BEAM.
3. CENTRAL GIRDER (G) 2x12x16 BEAMS, FULL-LENGTH, DROPPED BELOW THE JOISTS WITH SOLID BLOCKING AT ALL PIERS.
4. PROVIDE SIMPSON TP37 PLATE W/(6) ØD COMMON NAILS BOTH SIDES AT ALL STUDS.



Typical ADA Ramp Requirements

NOT TO SCALE

ROOF FRAMING / TRUSS NOTES: (IF TRUSSES ARE USED IN THE PROJECT)

TRUSS DRAWING IS FOR ILLUSTRATION ONLY. ALL TRUSSES SHALL BE INSTALLED & BRACED TO MANUFACTURERS DRAWINGS & SPECIFICATIONS.

ALL TRUSSES SHALL CARRY MANUFACTURERS STAMP.

ALL TRUSSES WILL NOT BE FIELD ALTERED WITHOUT PRIOR BUILDING DEPT. APPROVAL OF ENGINEERING CALCULATIONS.

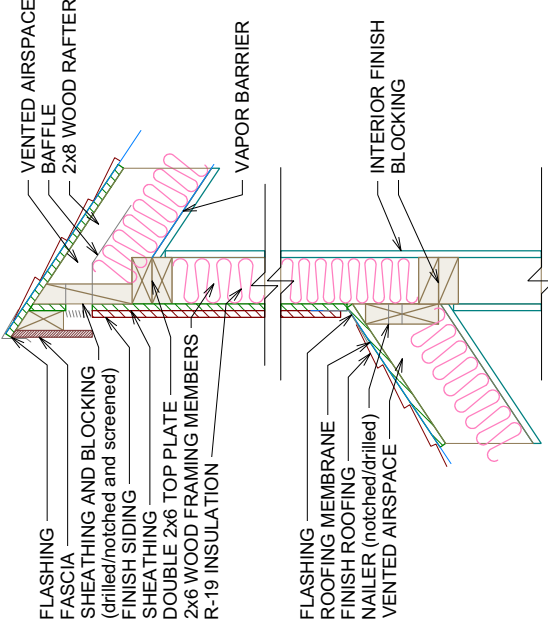
ALL TRUSSES SHALL HAVE DESIGN DETAILS & DRAWINGS ON SITE FOR FRAMING INSPECTION.

ALL CONNECTIONS OF RAFTERS, JACK OR HIP TRUSSES TO MAIN GIRDER TO BE PROVIDED BY TRUSS MANUFACTURER.

ALL ROOF FRAMING 24" O.C.

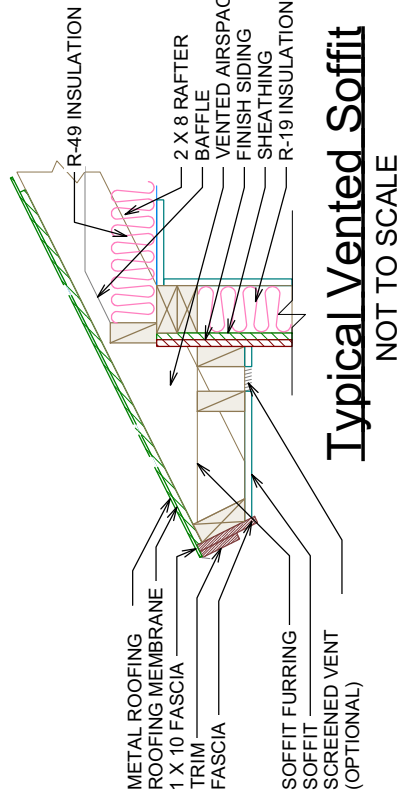
ALL OVERHANGS 16".

ROOF & FLOOR TRUSS MANUFACTURER:



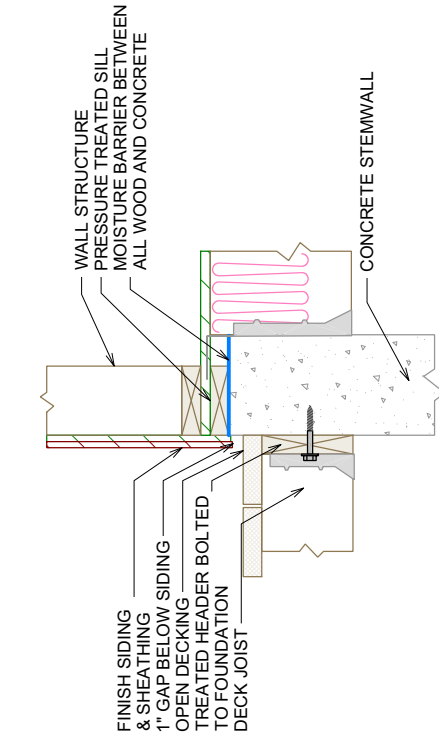
Typical Shed Roof Peak and Wall Intersection

NOT TO SCALE



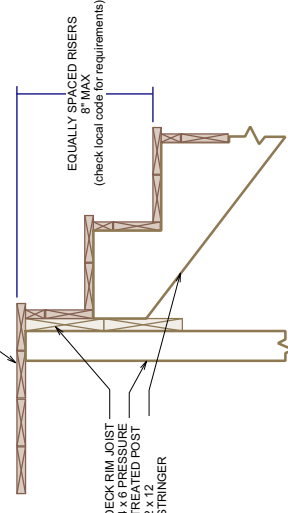
Typical Vented Soffit

NOT TO SCALE



Deck Anchored to Foundation

NOT TO SCALE

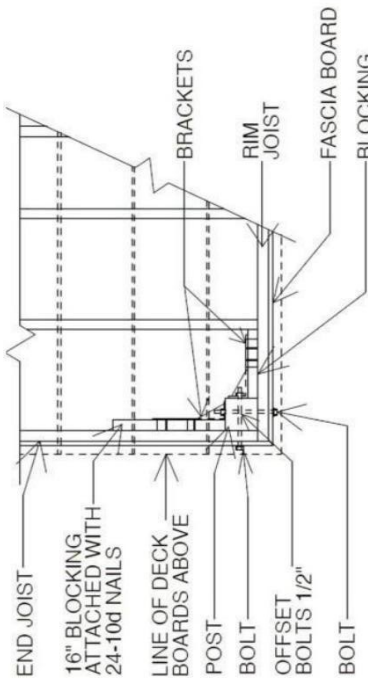


Exterior Wood Stair

(per IRC R310.1.4)

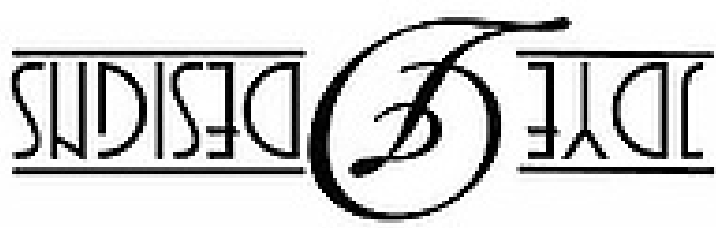
TYPICAL FLOOR FRAMING SYSTEM

NOT TO SCALE



Connection of Rim Joists

NOT TO SCALE



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GROUPED TYPICALS

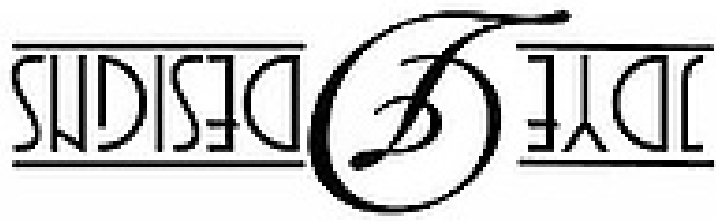
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DATE:

03/27/2025

SHEET:

7



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PROPOSED FLOOR
PLAN

Bryston Winegar
205 Canongate Rd
Kingsport, TN 37660

DATE:

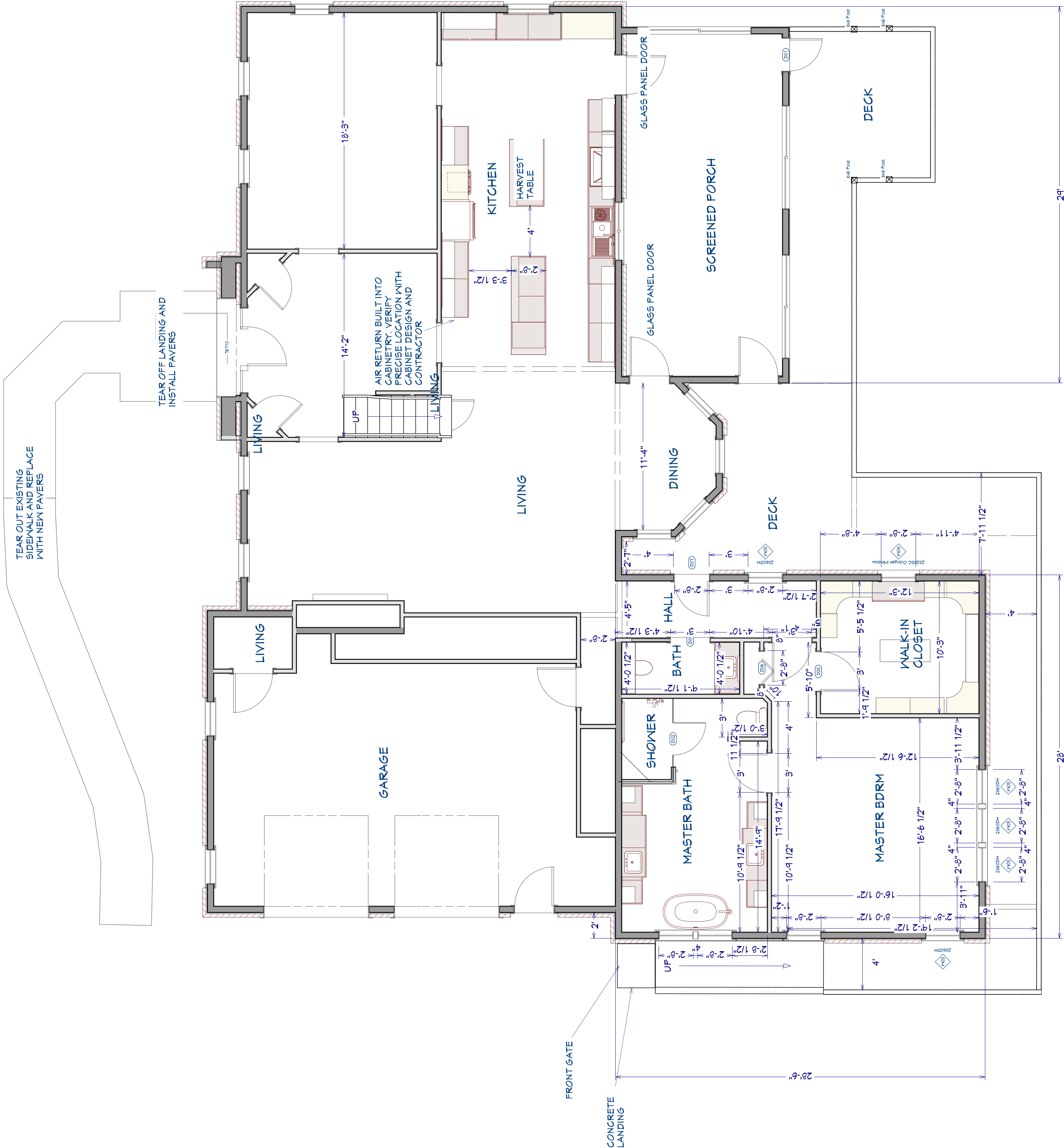
06/06/2025

SCALE:

1/4" = 1'

SHEET:

2



PROPOSED FLOOR PLAN

SCALE: 1/4" - 1'

Kingsport Historic Zoning Commission

Project Number: HISTRC25-0315

Photos provided by Egan Construction:



Kingsport Historic Zoning Commission

Project Number: HISTRC25-0315

Site Visit Photos:

