

ArcGIS Web Map



7/16/2024, 3:11:58 PM

Sullivan County Parcels Jan 2023

Parcels

Streets

Interstate

Expressway

Major Arterial

Minor Arterial

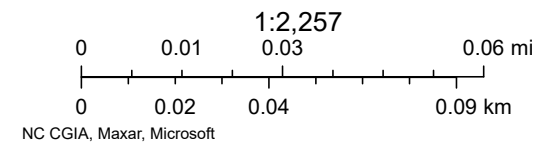
Collector Street

Local Street

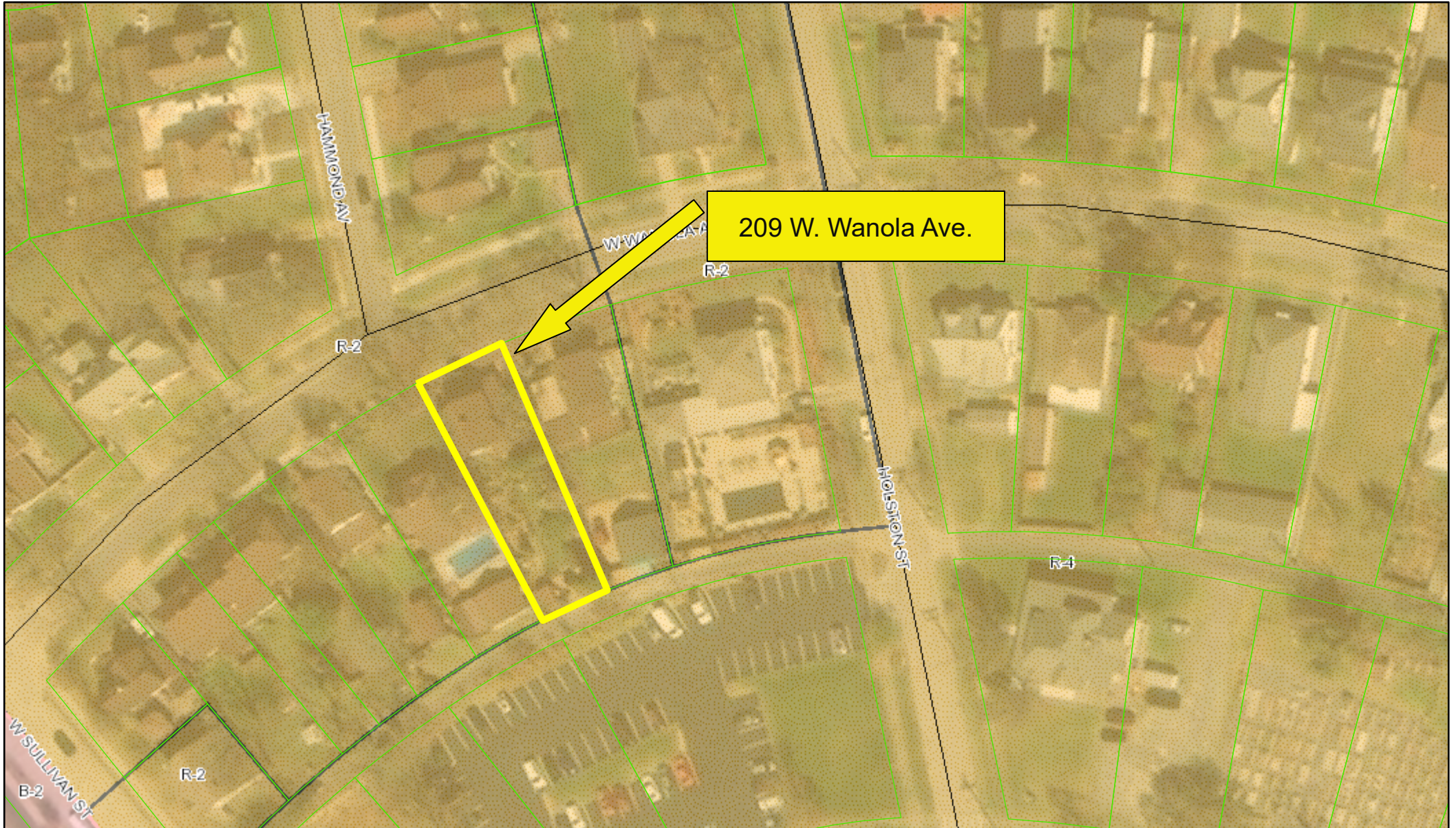
Private Street

Ramp

Urban Growth Boundary



ArcGIS Web Map



7/16/2024, 2:18:26 PM

Sullivan County Parcels Jan 2023

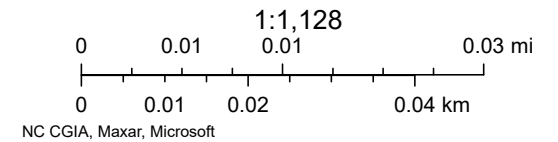
Parcels

Streets

- Interstate
- Expressway

- Major Arterial
- Minor Arterial
- Collector Street
- Local Street
- Private Street
- Ramp
- City Zoning**
- <Null>

- | | | | | |
|---|---|---|--|--|
| T/A/C | A-1 | B-2 | B-4P | M-1 |
| R-5 | A-2 | B-3 | B-4P | M-1R |
| GC | AR | B-3 | BC | M-2 |
| B-2E | B-1 | B-4 | GC | MX |





TO: KINGSFORT BOARD OF ZONING APPEALS

FROM: Jessica McMurray, Development Coordinator

DATE: July 18, 2024

RE: 209 W. Wanola Avenue

The Board is asked to consider the following request:

Case: BZA24-0144 – The owner of property located at 209 W. Wanola Avenue, Control Map 046I, Group C, Parcel 008.00 requests a 2.6 foot side yard (Western) variance to Sec 114-185(e)(1)d for the purpose of constructing a new addition to an existing home. The property is zoned R-2, Two-Family Residential District.

Code reference:

Sec. 114-185. - R-2, Two-Family Residential District.

(e)Dimensional requirements. The minimum and maximum dimensional requirements for the R-2 district are as follows:

(1)Minimum requirements.

- a. Lot area, 7,500 square feet.*
- b. Lot frontage, 60 feet.*
- c. Front yard, 30 feet.*
- d. Each side yard, ten feet.*
- e. Rear yard, 20 feet.*
- f. Usable open space, not applicable.*

APPLICATION

Board of Zoning Appeals



APPLICANT INFORMATION:			
Last Name	Anglin	First	Cheri
M.I.	L	Date	07-14-2024
Street Address		209 W. Wanola Ave.	
Apartment/Unit #			
City	Kingsport	State	TN
ZIP	37660		
Phone	423-361-5001		
E-mail Address	cheri.anglin@aol.com		
PROPERTY INFORMATION:			
Tax Map Information	Tax map: 0461	Group: C	Parcel: 008.00 Lot:
Street Address		209 W. Wanola Ave.	
Apartment/Unit #			
Current Zone	R-2	Proposed Zone	R-2
Current Use	Single Family Home		
Proposed Use	Single Family Home		
REPRESENTATIVE INFORMATION:			
Last Name	Trick	First	Holly
M.I.	S	Date	07-14-2024
Street Address		1292 Muddy Creek Rd.	
Apartment/Unit #			
City	Blountville	State	TN
ZIP	37617		
Phone	423-212-3153		
E-mail Address	holly.trick@collaboratearchitecture.com		
REQUESTED ACTION:			
See attached form.			
DISCLAIMER AND SIGNATURE			
<p>By signing below I state that I have read and understand the conditions of this application and have been informed as to the location, date and time of the meeting in which the Board of Zoning Appeals will review my application. I further state that I am/we are the sole and legal owner(s) of the property described herein and that I am/we are appealing to the Board of Zoning Appeals.</p>			
Signature:	<i>Holly Trick</i>		Date: 07/14/2024
Signed before me on this <u>14th</u> day of <u>July</u> , 20 <u>24</u> , a notary public for the State of <u>Florida</u> County of <u>Saint Lucie</u>			
Notary	<i>Echard bien - aime</i>		
My Commission Expires	07/14/2025		

Notarized remotely online using communication technology via Proof.

209 W. Wanola: Requested Action for Zoning Board

The homeowner of 209 W. Wanola uses the home as primary residence. Due to the age of this structure, being constructed in 1920, there is no laundry room or ground floor bathroom in the original building. A temporary small extension was created to house a laundry room but is not sufficient for long-term needs.

This renovation intends to replace the temporary extension and further extend the existing structure to the rear of the property by adding a laundry room, bathroom and ground floor den.

The current structure is non-conforming on the West (left) façade with a 7.7' setback when 10' is required. The extension is in alignment with the existing façade in order to seamlessly integrate the new construction, however, due to the tight conditions and angled nature of the lot unique to this property, this new extension will reduce the setback to 7.4' (a reduction of approximately 3.6 inches).

On the East (right) façade, the existing home is conforming to the setback. The extension will push to the east property line but will maintain a larger setback than is required.

On the South (bottom) region of the extension, the current deck will be pushed further into the backyard. The existing deck currently reaches the maximum 1/3 of the 10' distance into the setback (3.3'). Therefore, the new deck will be angled to maintain the setback requirements.

This design is intended to match and continue the materials and aesthetics of the existing structure to provide an extension that is compatible with the neighborhood and historical guidelines. The extension is directed solely to the rear yard so that it will be minimally visible from W. Wanola Ave. The new addition is also limited to a single story in order to minimize the impact on the property and surrounding structures.

SUMMARY:

- Nonconforming West façade directly extended reduces setback from 7.7' to 7.4' due to tight lot conditions and shape
- East façade extension remains conforming
- South deck extension angled to maintain maximum setback allowed

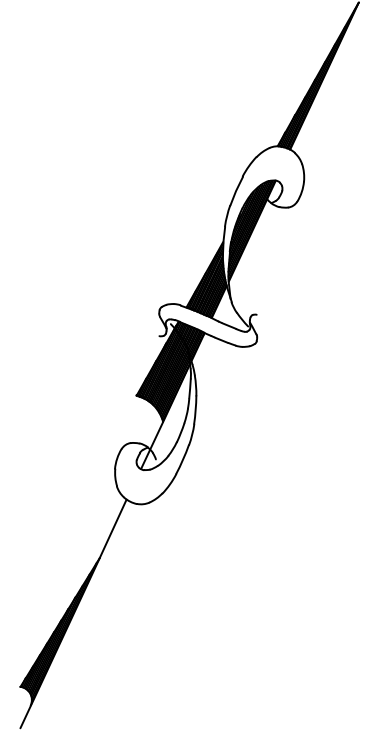
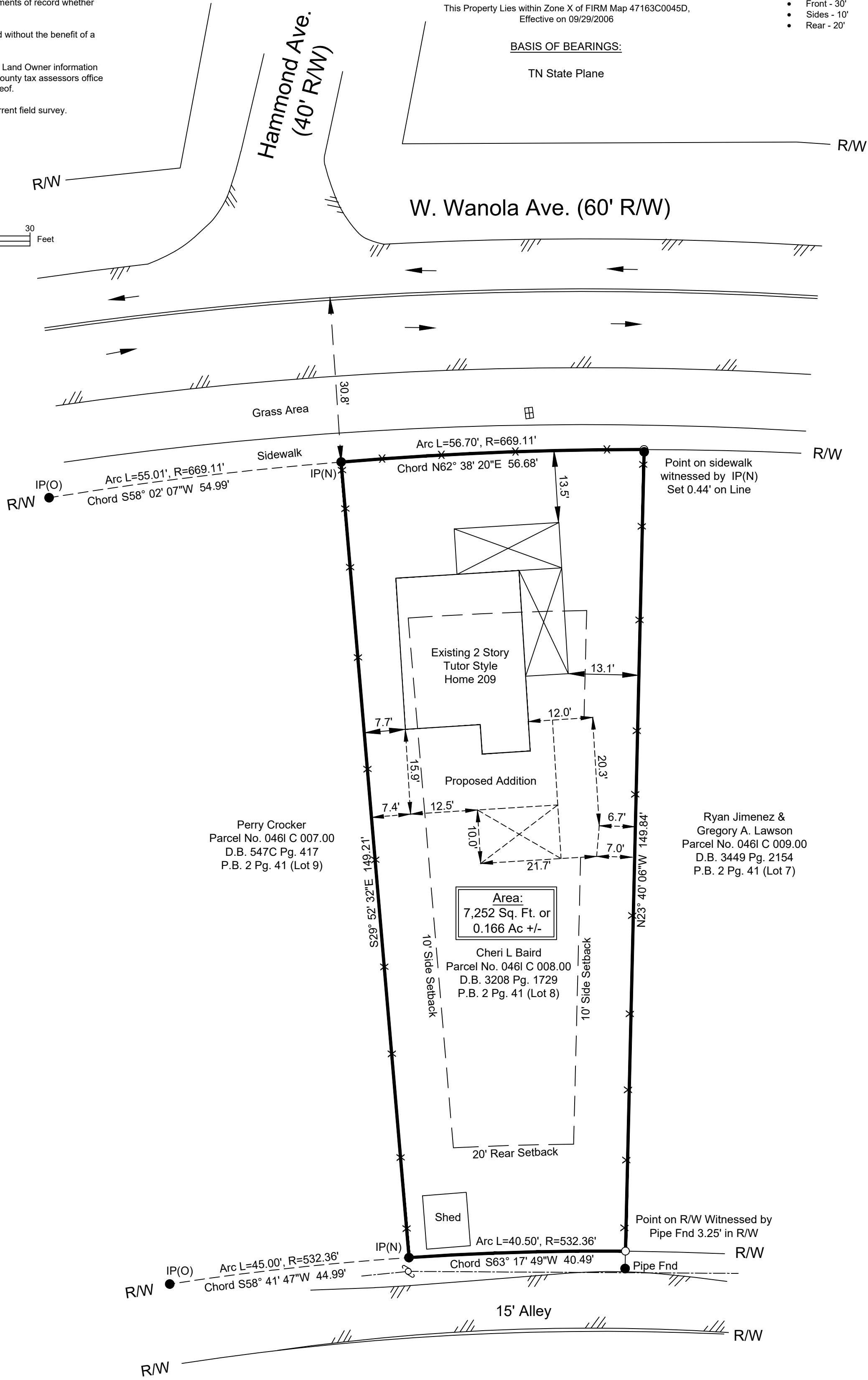
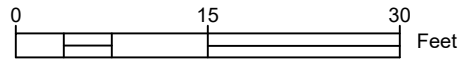
- GENERAL NOTES:**
1. This property is subject to any and all restrictions, zoning, ordinances, rights of way, or easements of record whether shown or not shown hereon.
 2. This survey has been completed without the benefit of a full and complete title search.
 3. Deed References and Adjoining Land Owner information is based on information from the County tax assessors office and is subject to the accuracy thereof.
 4. This Survey is based upon a current field survey.

FLOOD NOTE:
This Property Lies within Zone X of FIRM Map 47163C0045D, Effective on 09/29/2006

- Historic Zone R-2 Setbacks:**
- Front - 30'
 - Sides - 10'
 - Rear - 20'

- LEGEND:**
- Boundary Line
 - Overhead Elec
 - Adjoining P/L
 - Setbacks
 - IR(O) Old Iron Rod Found
 - IR(N) New Iron Rod Set Point
 - ⊠ Water Meter

BASIS OF BEARINGS:
TN State Plane



36435 Kelly Chapel Rd. Glade Spring, VA 24340
(276) 477-4180 (276) 608-7777
afleenor@hsmllc.org



CERTIFICATE OF ACCURACY:
I hereby certify that this is a category 1 Survey and the ratio of precision of the unadjusted survey is 1:10,000 as shown hereon, and that the Lines taken from Plats of record are subject to the accuracy thereof.
Date _____, 20____
Preliminary (For Review)
Tennessee Registered Land Surveyor

CERTIFICATE OF THE APPROVAL OF STREETS
I hereby certify: (1) That streets have been installed in an acceptable manner and according to the specifications or, (2) Adequate rights-of-way dedication upon an existing public road shall serve these lots as proposed.
Date _____, 20____
City Engineer or County Road Commissioner

CERTIFICATE OF APPROVAL OF PUBLIC WATER SYSTEMS
I hereby certify that the public water utility system installed or proposed for installation fully meets the requirements of the _____ utility system, and are hereby approved as shown.
Date _____, 20____
Authorizing Agent

CERTIFICATE OF THE APPROVAL FOR 911-STREET ASSIGNMENT
I hereby certify that the addresses, as noted on the final plat, are approved as assigned.
Date _____, 20____
City G.I.S. Division or Sullivan County Director of 911 Addressing or His/Her Authorized Representative

Survey and Variance Request of Property owned by:
Cheri L. Baird

CERTIFICATE OF OWNERSHIP AND DEDICATION
I (we) hereby certify that I am (we are) the owner(s) of the property shown and described hereon and that I (we) hereby adopt this plan of subdivision with my (our) free consent, establish the minimum building restriction lines, and dedicate all streets, alleys, walks, parks and other open space to public or private use as noted.
Date _____, 20____
Owner _____ Date _____

CERTIFICATE OF THE APPROVAL FOR RECORDING
I hereby certify that the subdivision plat shown hereon has been found to comply with the Subdivision Regulations for Kingsport, Tennessee, with the exception of such variances, if any, as are noted in the minutes of the Planning Commission and that it has been approved for recording in the Office of the _____ Register. If required, a surety bond in the amount of \$_____ has been posted with the Kingsport Regional Planning Commission to assure completion of all required improvements in case of default.
Date _____, 20____
Kingsport Municipal/Regional Planning Commission

CERTIFICATE OF THE APPROVAL OF SEWERAGE SYSTEMS
I hereby certify that the sewerage disposal system installed fully meets the requirements of the Tennessee Department of Environment and Conservation and is hereby approved as shown
Date _____, 20____
Tennessee Department of Environment and Conservation or
Kingsport Authorizing Agent

KINGSPORT, TENNESSEE REGIONAL PLANNING COMMISSION

TOTAL ACRES <u>0.166 +/-</u>	TOTAL LOTS <u>1</u>
ACRES NEW ROAD <u>0</u>	MILES NEW ROAD <u>0</u>
OWNER <u>Cheri L. Baird</u>	CIVIL DISTRICT <u>11</u>
SURVEYOR <u>Aaron S. Fleenor</u>	CLOSURE ERROR <u>1: 10,000</u>

SCALE: 1" = 10'

ANGLIN HOME EXTENSION

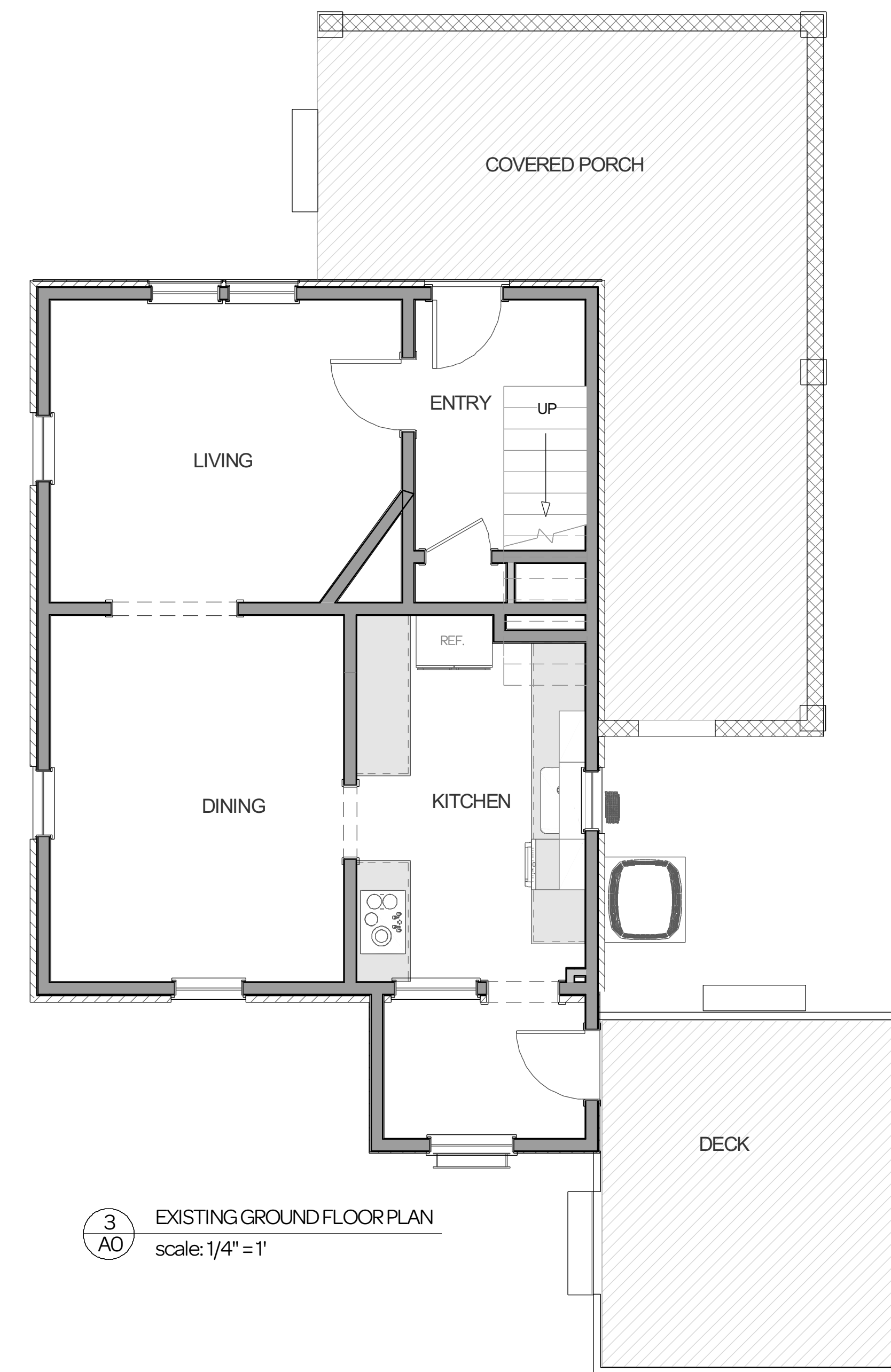
209 W. Wanola Ave, Kingsport, TN 37660



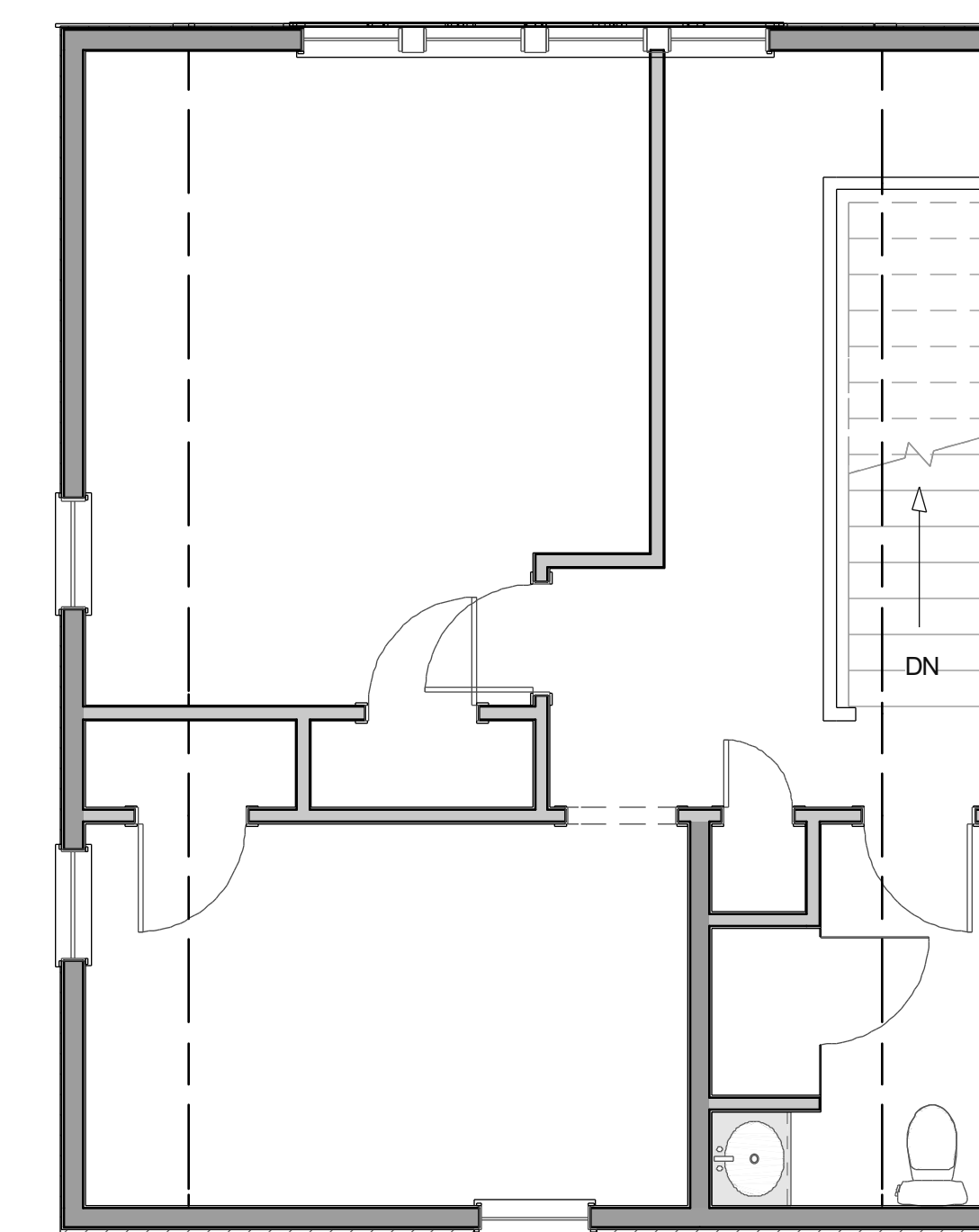
1
A0 EXISTING HOME RENDERING



2
A0 RENOVATION RENDERING



3
A0 EXISTING GROUND FLOOR PLAN
scale: 1/4" = 1'



4
A0 EXISTING SECOND FLOOR PLAN
scale: 1/4" = 1'

DRAWING SHEET INDEX

- A0 - Cover Page
- A1 - Floor Plans, Door and Window Schedules
- A2 - Building Elevations and Sections
- A3 - Project Renderings

PROJECT DATA

Description: Extension of single family home in R-2/ historical Zoning District

Owners: Cheri Anglin

Occupancy Group: Single Family Home R-3

Square Footages:

- First Floor Dining/Kitchen Renovation - Conditioned: 323 sq. ft.
- First Floor Extension - Conditioned: 367 sq. ft.
- Second Floor Nook and Bathroom - Conditioned: 242 sq. ft.
- Second Floor Extension - Conditioned: 397 sq. ft.

Total Renovation + Extension: 1,329 sq. ft.

R-VALUES

COMPONENT	REQUIRED	PROPOSED
Exterior Walls	20	20
Basement Walls	15	15
Windows	0.32	0.32
Ceilings	49	49

CONSTRUCTION NOTES

All work shall be done in accordance with the requirements of the Tennessee building code as amended, the 2015 IECC and all other applicable laws. The contractor is to provide for all required notifications of and coordination with City and State agencies, and provide required permits to the owner. All tests and inspections associated with obtaining approvals to proceed with and complete the work shall be paid to the contractor.

General Contractor is responsible for reading and complying with all general notes on this page and sheet notes on drawing sheets that follow. Notify designer with any questions or discrepancies prior to installation and work.

Verify field conditions prior to commencement of each portion of the work.

All products and materials shall be installed in accordance with manufacturer's instructions/ specifications unless specified otherwise.

Materials, equipment and craftsmanship of all trades shall conform to recognized ASTM of quality appropriate to grade of said materials, equipment and craftsmanship. Materials and equipment shall be new, sound, of high quality and suitable for applications specified. Materials shall be positioned in an orderly manner and shall be aligned with the building structure. Vertical members/surfaces shall be plumb, horizontal and true to line and dimension. Finish materials shall be free of tool marks, flaws and blemishes. Joinery and connections shall be accurate, close/ tight fitting and well crafted. Tolerances recognized by national trade associations will be the minimum acceptable standard for respective trade work.

Materials, equipment, and/or constructive services not indicated in drawings or specified herein, but required for successful and efficient completion of the installation shall be considered implied in the documents. Content and said materials, equipment and/or constructive services shall be furnished and installed at no additional cost to the owner.

The contractor shall be responsible for maintaining the construction site and resulting construction. All shall be maintained neat, clean, orderly and free of debris.

GENERAL NOTES

Dimensions are to face of frame unless otherwise noted.

All interior walls are shown as 2x4 unless otherwise noted or required by code or structural drawings.

All ceilings are 1/2" gypsum board unless otherwise specified.

Doors and cased openings indicated nearby wall intersections shall be located so that the edge of the finish opening is four inches from the face of the nearby wall unless otherwise indicated. All other doors and cased opening shall be centered between adjacent wall intersections.

Contractor shall provide blocking for all bathroom accessories as needed.

Contractor shall provide clothing rod at 5'-5" a.f.f. and painted birch plywood shelf for all closets unless otherwise specified.

All grille, register, thermostat, light, switch and outlet locations are to be approved by homeowner in the field before installation.

STRUCTURAL DISCLAIMER

All structural elements shown or noted are suggestions based on preliminary calculations. These are not to be considered structurally adequate without review. It is highly recommended that these plans be reviewed by a structural engineer prior to construction.

508-469-0802
P.O. Box 621
Chatham, MA 02633



ANGLIN EXTENSION
209 W. Wanola Ave
Kingsport, TN 37660

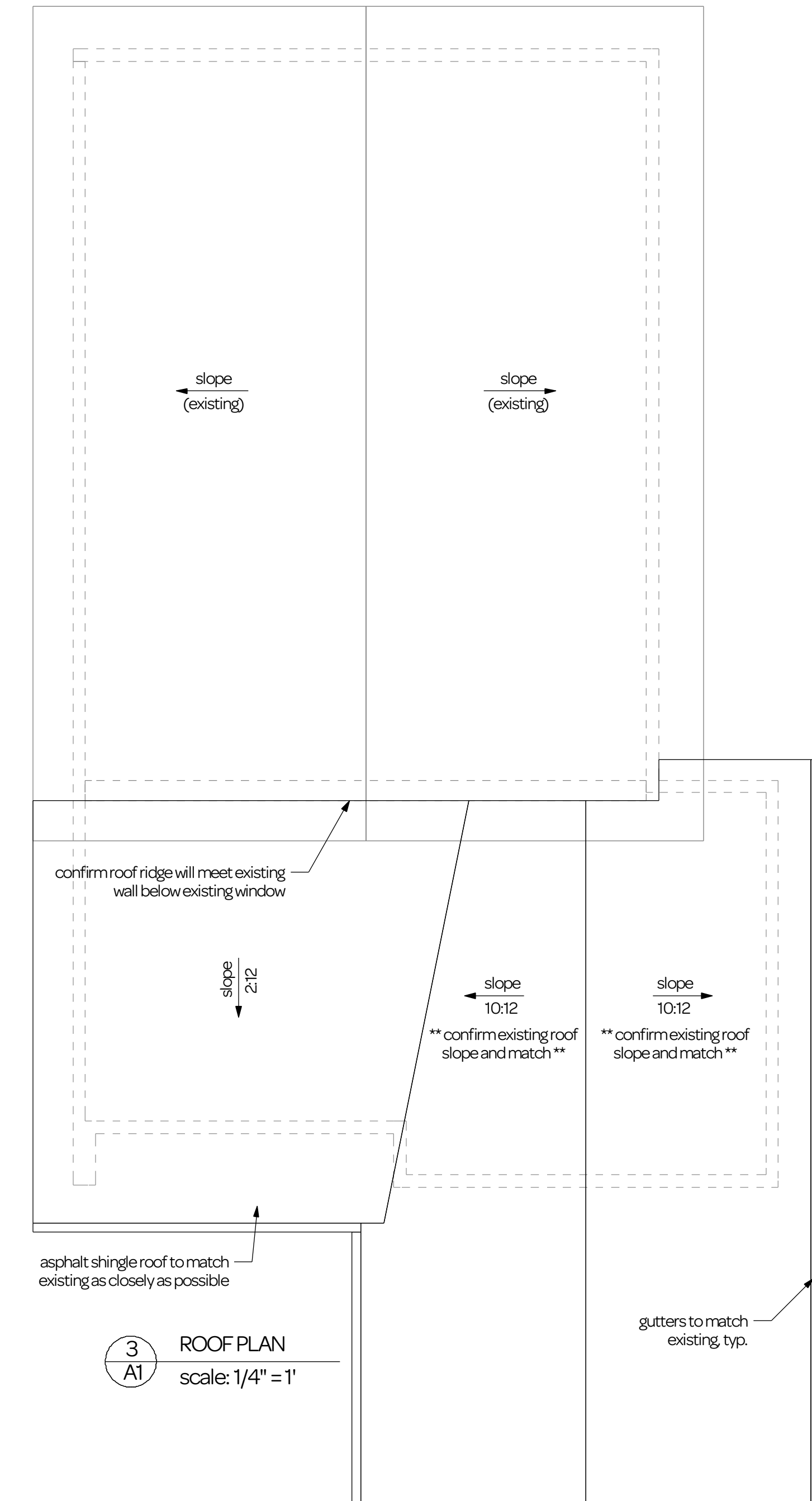
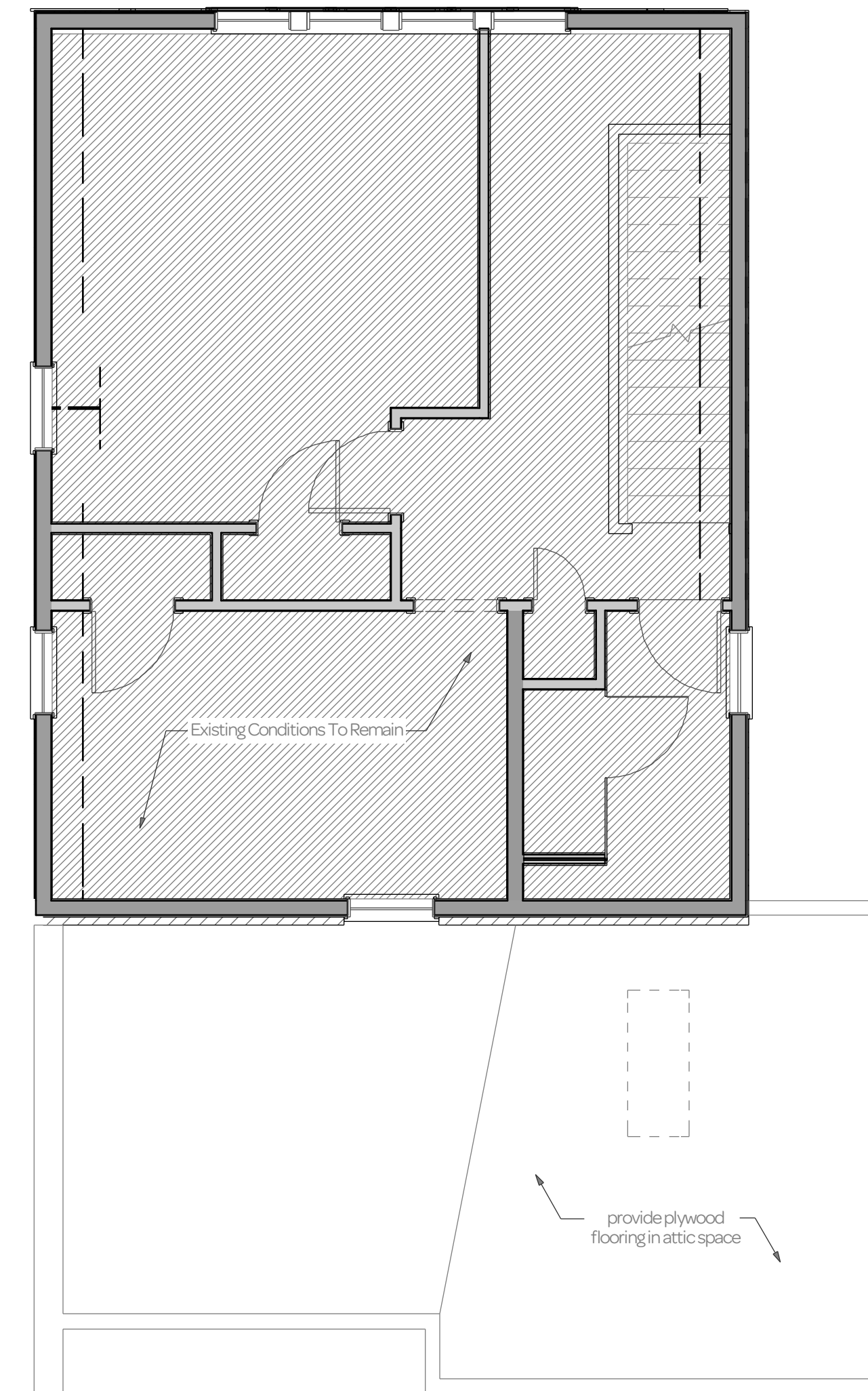
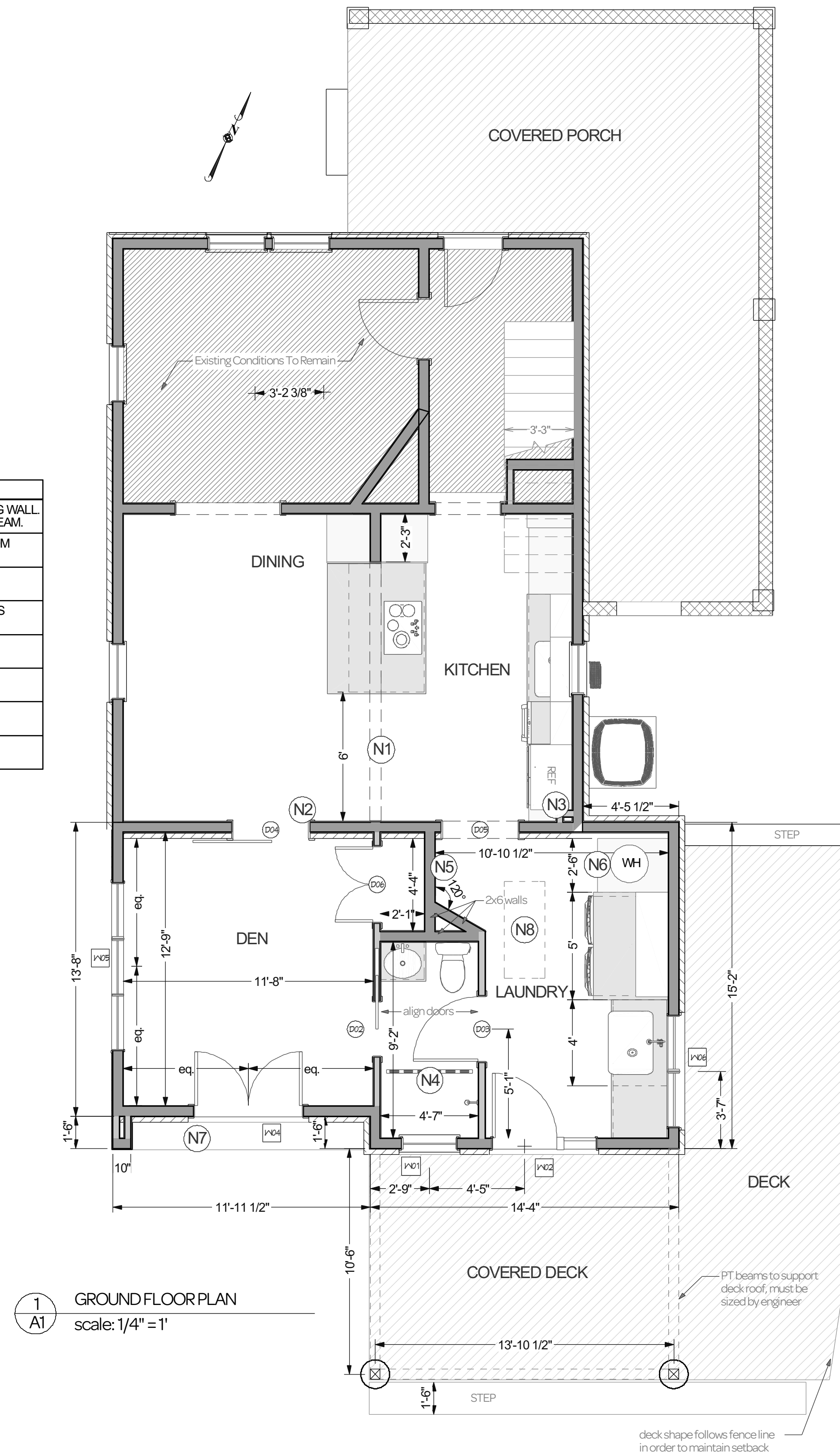
DRAWING SET FOR BUILDING PERMIT

DATE:
7/14/2024
SCALE:
NOT TO SCALE
SHEET:
A0

ADDITIONAL NOTES

- all exterior walls are 2x6 framing with 1/2" gypsum board interior
- all exterior walls are to have a minimum R-value of R-13
- any exterior light fixtures or hose bibs are to be reviewed with homeowner before construction
- it is suggested that the new spaces use minisplits for heating and cooling, this is to be reviewed with the homeowner before construction.
- It is recommended to seal, insulate and condition the new crawlspace. Review with homeowner before construction
- all cabinetry shown is for space planning purposes only, final cabinetry design is to be done by others

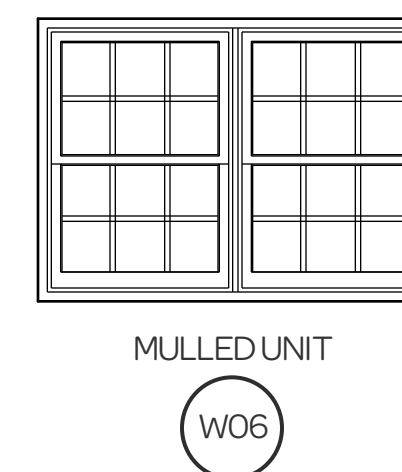
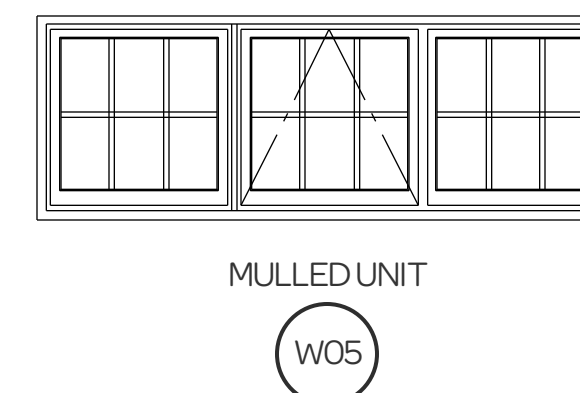
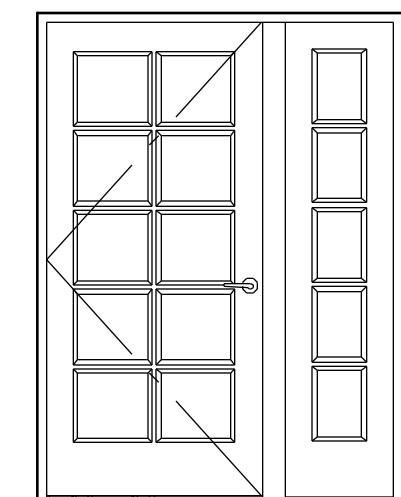
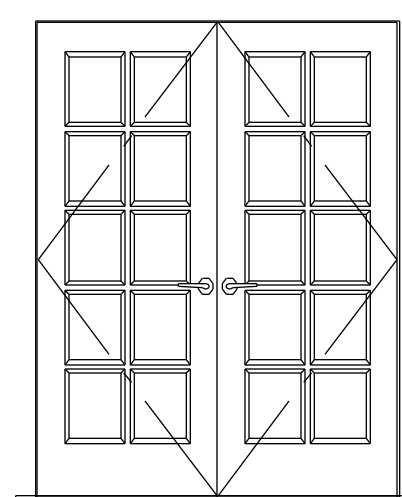
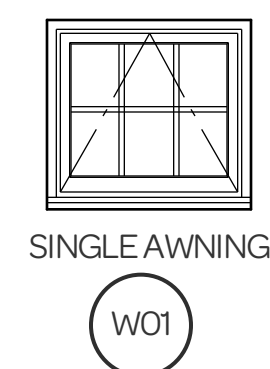
NOTE SCHEDULE	
(N1)	PROVIDE DROPPED BEAM AS NECESSARY TO CREATE OPENING IN EXISTING WALL. MAINTAIN MAXIMUM HEIGHT BY USING WIDER BEAM INSTEAD OF DEEPER BEAM.
(N2)	SYMMETRICALLY PLACE BEDROOM DOOR ON OPPOSITE SIDE OF BEAM FROM DOORWAY INTO LAUNDRY ROOM
(N3)	RELOCATE PLUMBING CHASE INTO WATER HEATER CLOSET IF POSSIBLE
(N4)	PROVIDE FLUSH FLOOR DRAIN AND PITCH ALL BATHROOM FLOOR TOWARDS DRAIN
(N5)	ELECTRICAL PANEL LOCATION
(N6)	RELOCATE WATER HEATER TO THIS LOCATION AND INSTALL FULL HEIGHT CABINET AROUND HEATER
(N7)	PROVIDE DEEP STAIR TO YARD, MATCH DECKING STYLE AND MATERIALS
(N8)	PROVIDE DROP-DOWN ATTIC ACCESS STAIR CENTERED ON ROOF RIDGE



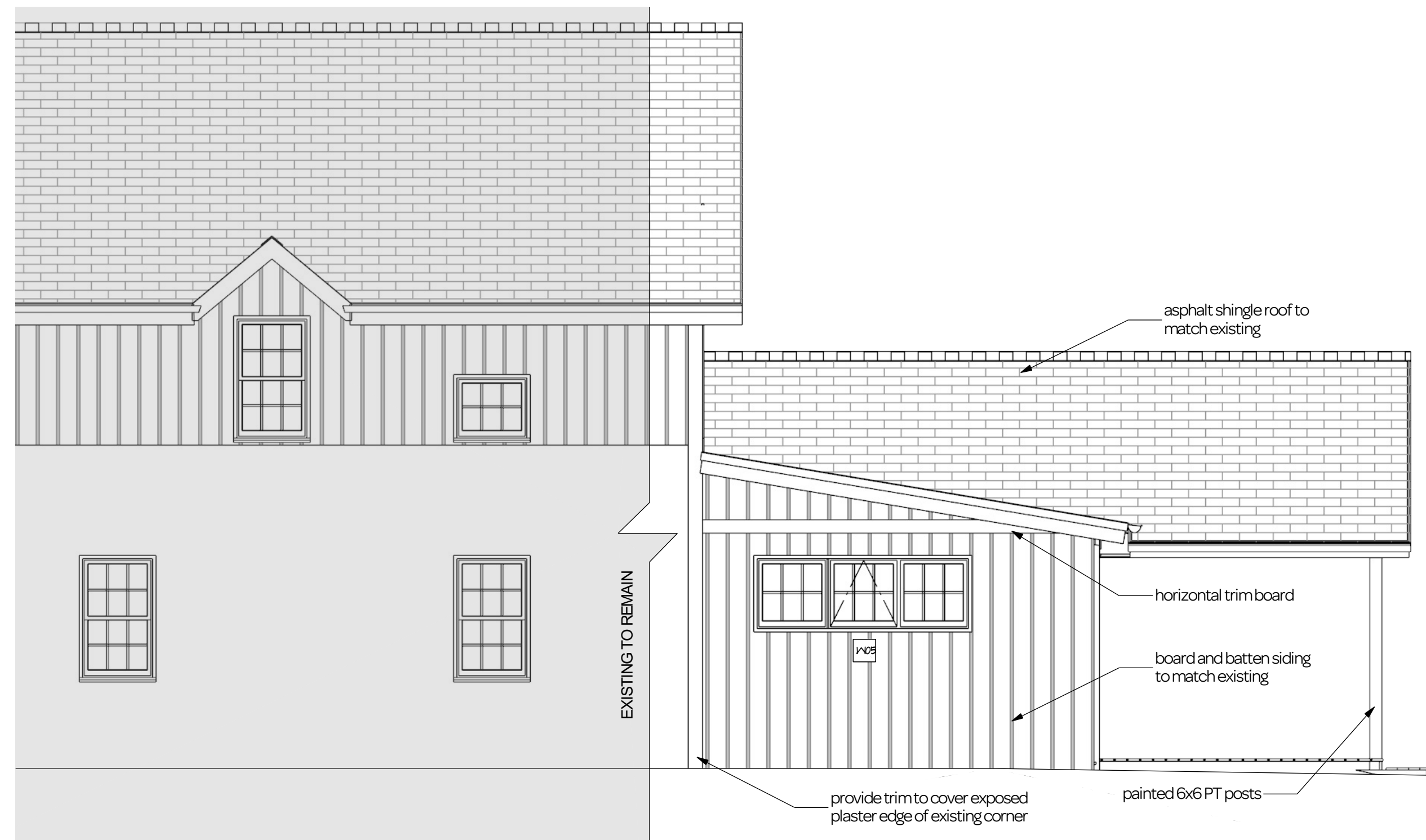
DOOR SCHEDULE					
NUMBER	QTY	HEIGHT	WIDTH	DESCRIPTION	COMMENTS
D02	1	80"	30"	PANEL POCKET DOOR	
D03	1	80"	36"	HINGED PANEL DOOR	
D04	1	80"	42"	BARN DOOR	
D05	1	80"	42"	CASED OPENING	
D06	1	80"	42"	DOUBLE HINGED PANEL DOOR	

WINDOW SCHEDULE				
NUMBER	QTY	DESCRIPTION	EGRESS	COMMENTS
W01	1	SINGLE AWNING		
W02	1	36W X 80H FRENCH DOOR AND 18W SIDELITE	YES	
W04	1	HINGED PATIO DOOR	YES	
W05	1	3X1 MULLED UNIT		
W06	1	2X1 MULLED UNIT		

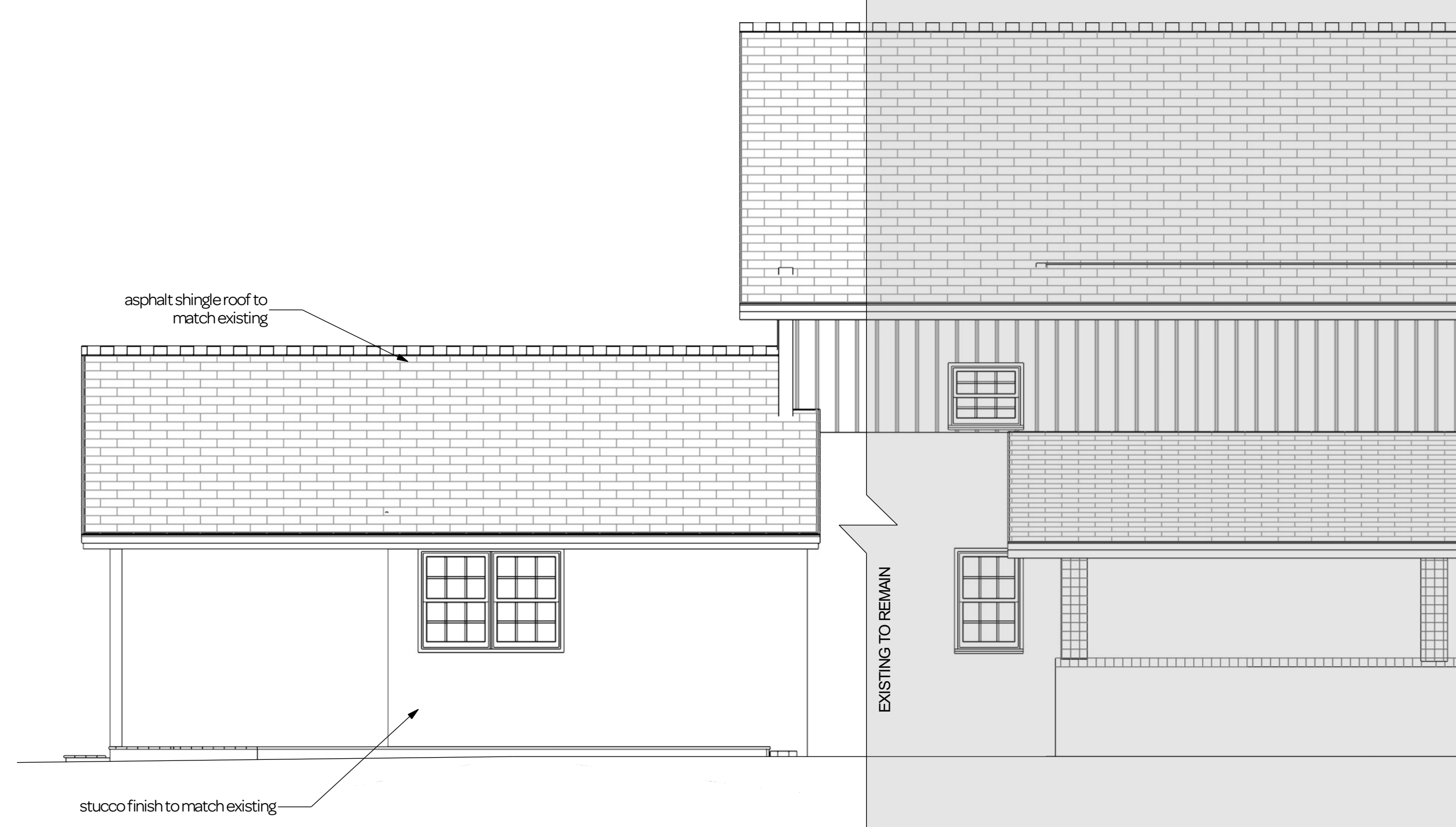
- provide tempered doors and windows as required by code
- window finish is to match existing as much as possible
- provide screens for all operable windows and doors



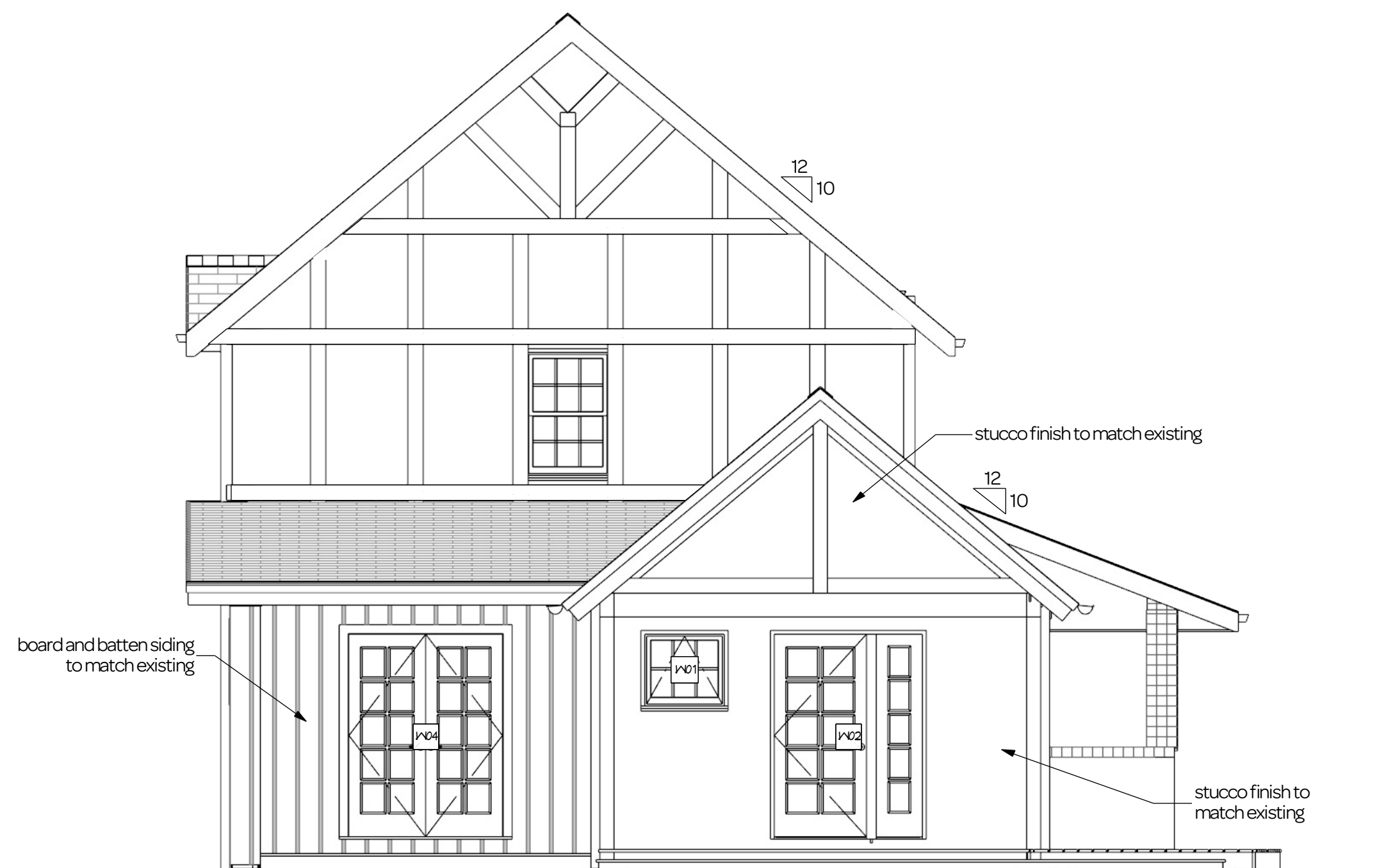
** ALL WINDOW LITE PATTERNS TO BE APPROVED BY HOMEOWNER BEFORE PURCHASE **



1
A2 SOUTH-WEST / LEFT SIDE ELEVATION
scale: 1/4" = 1'



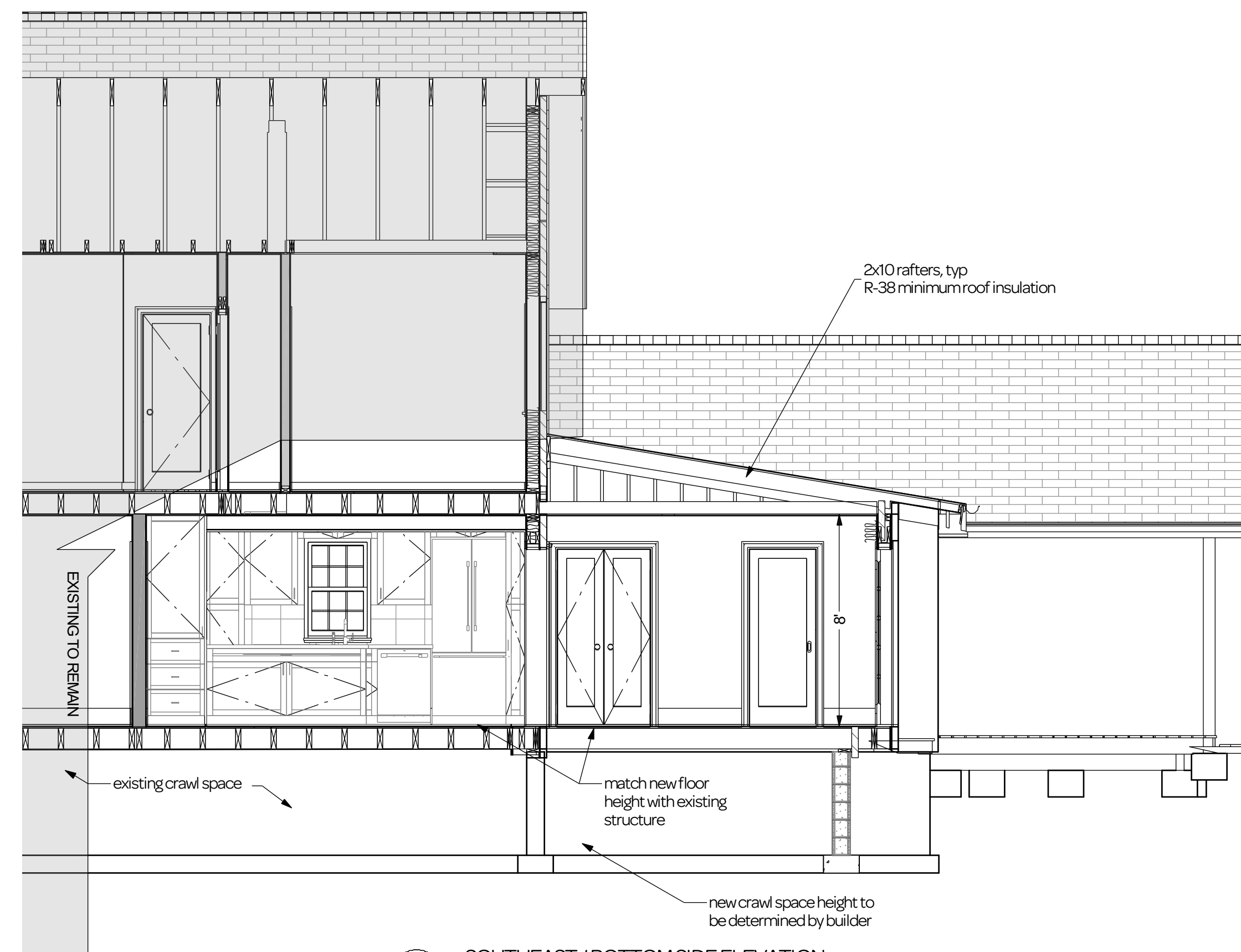
1
A2 NORTH-EAST / RIGHT SIDE ELEVATION
scale: 1/4" = 1'



1
A2 SOUTH-EAST / BOTTOM SIDE ELEVATION
scale: 1/4" = 1'



1
A2 SOUTH-EAST / BOTTOM SIDE ELEVATION
scale: 1/4" = 1'



1
A2 SOUTH-EAST / BOTTOM SIDE ELEVATION
scale: 1/4" = 1'

STRUCTURAL AND FINISH NOTES

All structural elements are intended to provide a level floor surface between the existing floors and new renovation. It is recommended that an engineer provides detailed sizing calculations for these components.

All exterior finishes are intended to match the existing as closely as possible. This includes eave details, trim style and finish, stucco paint and finish, and any other features that are a continuation or imitation of the existing facade. Builder is responsible for assessing existing finishes and providing suitable solutions to match.



508-469-0802
P.O. Box 621
Chatham, MA 02633



ANGLIN EXTENSION
209 W. Wainola Ave
Kingsport, TN 37660

PROJECT RENDERINGS FOR REFERENCE

DATE:

7/14/2024

SCALE:

1/4" = 1'

SHEET:

A3