

REVIEW INFORMATION

TYPE OF REVIEW:

SPECIAL USE REZONING

X ZONING/SITE PLAN

SPECIAL USE PERMIT (ELECTED BODY ONLY)

FINAL DEVELOPMENT PLAN

PRELIMINARY SUBDIVISION

PLANNING BOARD REVIEW

JURISDICTION:

STOKES COUNTY

TOWN OF WALNUT COVE

X CITY OF KING

TOWN OF DANBURY

PURPOSE STATEMENT: THE PURPOSE OF THIS REQUEST IS TO:

OBTAIN SITE PLAN APPROVAL FOR SINGLE FAMILY SUBDIVISION

INFRASTRUCTURE

PUBLIC

PRIVATE

WATER:

X

SEWER:

X

STREETS:

X

LINEAR FEET OF PUBLIC STREETS:

1,250

FT

SITE SIZE AND COVERAGES

TOTAL ACREAGE:

93.17

ACRE(S)

SITE COVERAGES:

BUILDING TO LAND

PAVEMENT TO LAND

OPEN SPACE

TOTAL

100

%

%

%

%

BUILDING SQUARE FOOTAGE:

SF

BUILDING HEIGHT:

FT

ZONING

EXISTING ZONING:

R-15

PROPOSED ZONING:

PUD (R-15)

ALLOWED USES:

SINGLE-FAMILY RESIDENTIAL

PROPOSED USES:

SINGLE-FAMILY RESIDENTIAL

BUILDING SETBACKS

FRONT:

30'

REAR:

30'

SIDE:

10'

HEIGHT:

35'

MIN. LOT WIDTH:

60'

DENSITY CALCULATIONS

OF UNITS OR LOTS:

183

DENSITY:

(NOTE: IF MORE THAN ONE TYPE OF RESIDENTIAL PRODUCT IS PROPOSED, PROVIDE THE NUMBER OF UNITS & DENSITY BROKEN DOWN BY TYPE.)

PROPERTY INFORMATION

OWNER:

7G'S LLC

PIN #'S:

5992-88-3586

DEED:

D.B. 607 PG. 723

ACREAGE:

93.17

OFF-STREET PARKING

PROPOSED USE(S):

SINGLE FAMILY RESIDENTIAL

REQUIRED PARKING:

SPACES/

REQUIRED PARKING:

SPACES/

PROVIDED PARKING:

OFF-STREET LOADING

LOADING/UNLOADING SPACES REQUIRED:

LOADING/UNLOADING SPACES PROVIDED:

SIZE: FT X FT

BUFFERYARDS

ADJOINING ZONING:

R-15, R-20

TYPE REQUIRED:

N/A

WIDTH PROVIDED:

N/A

FT

OTHER NOTES

25' (MIN)

50' R/W (MINIMUM)

25' (MIN)

1'-0"

10'-0" (MIN.)

13'-6" W/ 2'-6" STANDARD CURB

13'-0"

13'-6" W/ 2'-6" STANDARD CURB

13'-0"

10'-0" (MIN.)

1'-0"

1'-0"

5'-0"

4'-0"

2'-0"

11'-0"

11'-0"

2'-0"

4'-0"

5'-0"

1'-0"

1/4" FT

1/4" FT

2:1 CUT MAX.

3:1 FILL MAX.

LOCAL RESIDENTIAL STREET

2:1 CUT MAX.

3:1 FILL MAX.

30' CLEAR OF ALL OBSTRUCTIONS (MIN.)

2'-0" (MIN)

21'-0"

2'-0" (MIN)

1" PER FT.

1" PER FT.

1" PER FT.

EXTENSION TO FOSSTORAL

PAVEMENT SCHEDULE

1.5" ASPHALT CONCRETE SURFACE COURSE, TYPE S9.5B (FINAL LIFT) OR ASPHALT SURFACE TREATMENT (AST) / CHIP SEAL

8" COMPACTED AGGREGATE BASE COURSE OR 4" ASPHALT CONCRETE BASE COURSE, TYPE B25.0C

NOTES:

1. SIDEWALK SHALL BE PROVIDED ON ONE SIDE OF STREET, MINIMUM 4' FROM BACK OF CURB.

TYPICAL PAVEMENT SECTION

TACK COAT

1 1/2" S9.5B

8" COMPACTED AGGREGATE BASE COURSE, OR 4" ACBC TYPE B25.0C (OR 4" BCBC TYPE HS, INDIVIDUAL APPROVAL REQUIRED), SHOULD ENTIRE DEVELOPMENT HAVE A CBR OF 8 OR GREATER, THEN AN ALTERNATIVE BASE COURSE PAVEMENT DESIGN MAY BE SUBMITTED TO THE CITY ENGINEER FOR APPROVAL.

SUBGRADE

COMPACTED SUBGRADE

KEY

2'-0" VALLEY GUTTER

4" CONCRETE SIDEWALK

Parcel Table

Parcel #	Area
1	24994.09
2	13060.44
3	14090.44
4	15025.69
5	16917.14
6	14948.85
7	14721.90
8	14721.90
9	14722.10
10	13326.40
11	15302.26
12	15870.85
13	16214.06
14	16138.37
15	15803.64
16	15840.56
17	15525.38
18	15207.03
19	15501.54
20	15636.66
21	17303.19
22	23821.03
23	33971.37
24	56736.55
25	20492.88
26	12244.40
27	12389.83
28	12724.43
29	12727.87
30	12727.87
31	12727.87
32	13046.31
33	13354.27
34	13212.30
35	17408.66
36	20677.54
37	16438.85
38	14690.03
39	13491.21
40	13491.21
41	13491.21
42	13491.21
43	13491.21
44	13491.21
45	13491.21
46	13491.21
47	13491.21
48	13491.21
49	13487.55
50	13479.69

Parcel Table

Parcel #	Area
51	22146.64
52	34630.55
53	26375.15
54	24606.39
55	40915.99
56	35581.67
58	15450.32
59	13905.99
60	13969.16
61	14149.65
62	15190.80
63	16485.15
64	17713.64
65	19206.70
66	19278.30
67	18743.20
68	17483.16
69	30903.58
70	29568.39
71	19135.30
72	17887.83
73	17584.14
74	17381.83
75	17166.88
76	16894.09
77	16614.14
78	16513.09
79	16817.72
80	17137.94
81	17458.15
82	17727.55
83	17878.75
84	18025.15
85	18171.54
86	18317.94
87	17504.62
88	16891.89
89	16018.03
90	18924.25
91	17019.92
92	16660.40
93	14638.39
94	14619.94
95	14601.49
96	14602.81
97	18249.32
98	14547.36
99	13491.21
100	14377.78
101	14722.55

Parcel Table

Parcel #	Area
102	14605.59
103	13132.85
104	12781.77
105	13896.71
106	14711.56
107	14423.95
108	12111.44
109	14408.45
110	15252.22
111	16095.99
112	16939.76
113	17619.91
114	17747.34
115	42657.55
116	19325.41
117	18512.45
118	40913.10
119	18050.00
120	18002.53
121	17986.95
122	17968.19
123	17949.42
124	17930.65
125	17911.89
126	17893.12
127	17874.36
128	17855.59
129	17836.82
130	18155.97
131	22698.17
132	17683.75
133	13508.23
134	20024.48
135	17392.20
136	24932.99
137	21663.94
138	11895.84
139	10656.13
140	16044.13
141	16695.87
142	30558.51
143	24549.05
144	13839.11
145	13706.47
146	13637.38
147	13568.29
148	14092.59
149	14557.21
150	13693.01
151	13715.67

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Parcel #	Area
152	13738.33
153	13760.99
154	13783.65
155	13806.31
156	13828.97
157	15470.24
158	15699.68
159	12089.28
160	12115.82
161	12142.35
162	14279.77
163	16153.44
164	16671.95
165	14179.99
166	13714.44
167	14582.99
168	13228.92
169	33290.97
170	31606.84
171	14472.32
172	15577.16
173	22759.41
174	11924.22
175	13180.38
176	13676.11
177	13715.01
178	12938.31
179	13336.15
180	13720.56
181	13693.02
182	13707.06
183	15548.43

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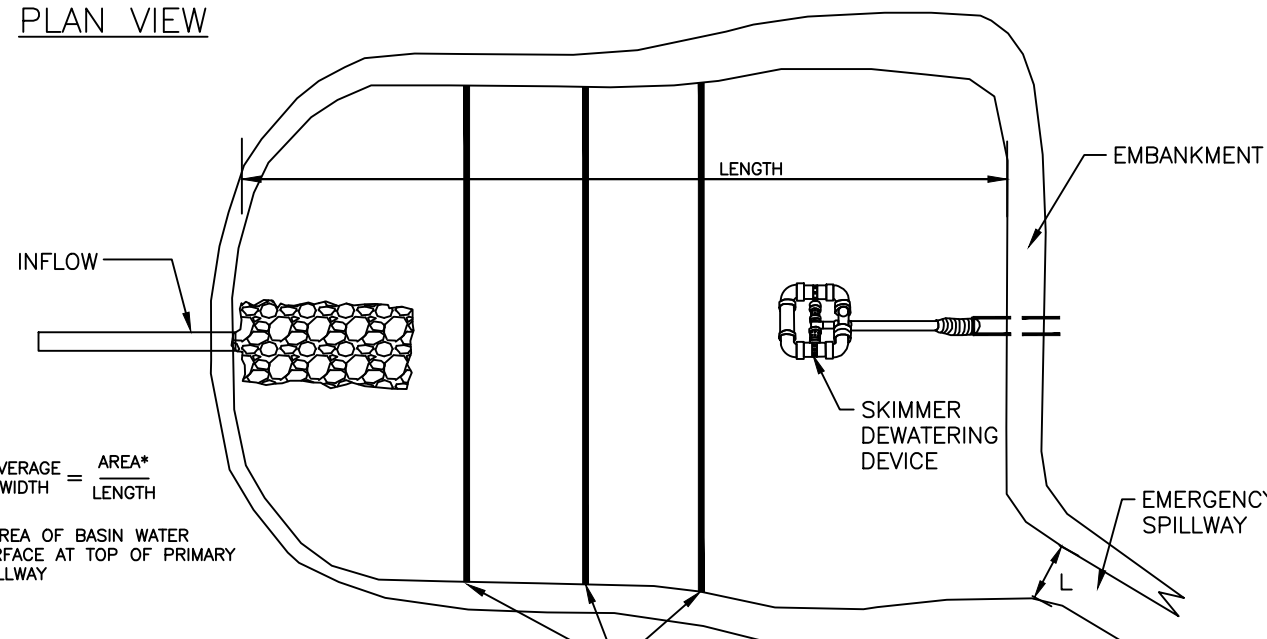
1. PROPERTY OWNER: 7GS, LLC
2. PARCEL ID: 5992-88-3586
3. PROPERTY REFERENCE: D.B. 607, PG. 723
4. TOTAL ACREAGE: 93.17 ACRES

DISTURBED AREA: 541,088 SQ. FT. (12.42 ACRES)

PROPERTY LINES AND TOPOGRAPHY DEPICTED ON THIS MAP ARE BASED ON DEED DESCRIPTION AND PUBLICLY AVAILABLE TOPOGRAPHIC INFORMATION.

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH STATE AND LOCAL REQUIREMENTS.
2. SUFFICIENT EROSION CONTROL PRACTICES MUST BE INSTALLED AND MAINTAINED TO RETAIN SEDIMENT WITHIN THE BOUNDARIES OF THE SITE. ALL EROSION AND SEDIMENT CONTROL PRACTICES ARE TO BE INSPECTED WEEKLY AND AFTER EVERY RUNOFF--PRODUCING RAINFALL EVENT. NECESSARY REPAIRS WILL BE MADE IMMEDIATELY.
3. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED DEPENDING ON SITE REQUIREMENTS AND TERRAIN. ANY EXTENSIVE GRADING MAY REQUIRE ADDITIONAL MEASURES OR UPSIZING OF EROSION CONTROL MEASURES.
4. LOCAL AUTHORITY MAY REQUIRE ADDITIONAL MEASURES ABOVE AND BEYOND WHAT IS PRESCRIBED IN THIS PLAN DUE TO SITE CHARACTERISTICS.

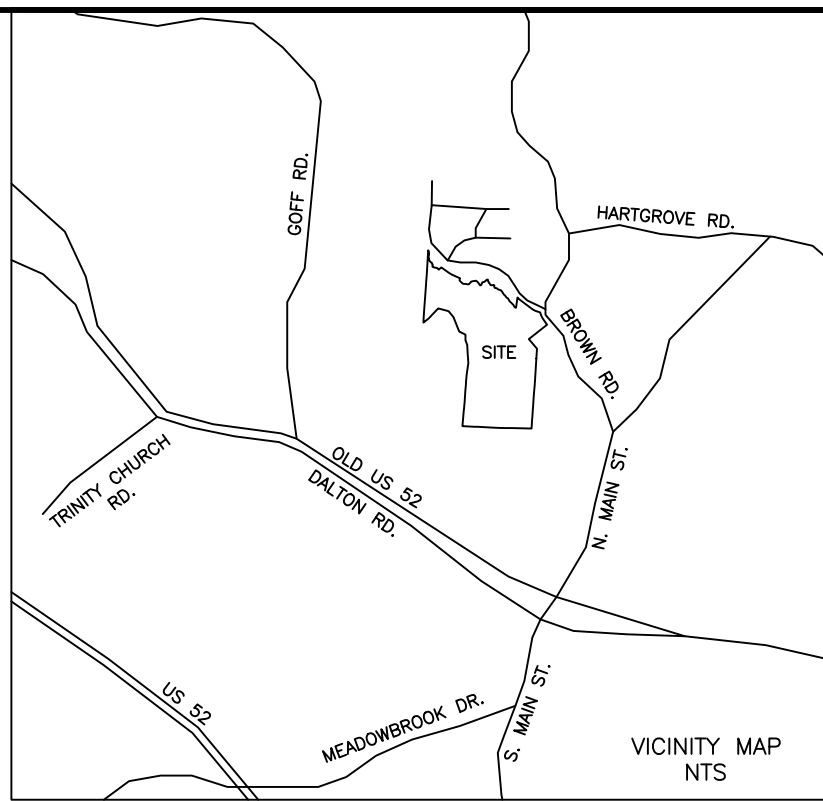
PLAN VIEW



1. REFER TO NCSCPD SECTION #6.6.4 FOR ADDITIONAL DESIGN SPECIFICATIONS REGARDING SKIMMER SEDIMENT BASINS.
2. REFER TO STD. #30. FOR BAFFLE SPACING AND INSTALLATION
3. TURBIDITY CURTAIN (CLDS #30.23) MAY BE USED IN LIEU OF POROUS BAFFLES (C #30.19).
4. SKIMMER INVERT ELEVATION = BASIN BOTTOM + 1' MIN.
5. H = SPILLWAY ELEVATION - SKIMMER INVERT ELEVATION

TEMPORARY SEEDING SCHEDULE

PERMANENT SEEDING SCHEDULE



1. FLOW SHALL NOT RUN PARALLEL WITH THE FENCE
2. END OF SILT FENCE NEEDS TO BE TURNED UPHILL.
3. SEE NC DEQ SEDIMENT DESIGN MANUAL FOR CONSTRUCTION SPECIFICATIONS, WHERE PRACTICE APPLIES AND FOR SPECIAL CONSIDERATIONS.
4. SILT FENCE SHOULD NOT BE USED ALONE BELOW 6% SLOPES GREATER THAN 10' IN HEIGHT.

- NOTES:

1. REMOVE SEDIMENT WHEN HALF OF STONE OUTLET IS COVERED.
2. REPLACE STONE AS NEEDED TO ENSURE DEWATERING.

MAINTENANCE NOTES:

1. INSPECT SILT FENCE AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY.
2. SHOULD THE FABRIC OF A SEDIMENT FENCE COLLAPSE, TEAR, DECOMPOSE OR BECOME INEFFECTIVE, REPLACE IT PROMPTLY
3. REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE. TAKE CARE TO AVOID UNDERMINING THE FENCE DURING CLEANOUT.
4. REMOVE ALL FENCING MATERIALS & UNSTABLE SEDIMENT DEPOSITS AND BRING THE AREA TO GRADE & STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED

SILT FENCE DETAIL



2. OBTAIN GRADING/EROSION CONTROL PLAN, APPROVAL AND PERMIT FROM NCCNR.
3. CONTACT EROSION CONTROL INSPECTOR TO ESTABLISH A PRE-CONSTRUCTION MEETING AND DISCUSS AND DISCUSS THE GRADING AND EROSION CONTROL PLAN.
4. SELF INSPECTION - EFFECTIVE OCTOBER 1, 2010, PERSONS CONDUCTING LAND DISTURBING ACTIVITIES, LARGER THAN ONE (1) ACRE, MUST INSPECT THE PROJECT SITE AFTER EACH DAY OF THE GRADING AND EROSION CONTROL PHASES ARE AS FOLLOWS:
 - a. INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROL MEASURES.
 - b. CLEARING AND GRUBBING OF THE EXISTING GROUND COVER.
 - c. COMPLETION OF ANY PHASE OF GRADING OF SLOPES OR FILLS.
 - d. INSTALLATION OF STORM DRAINAGE FACILITIES.
 - e. COMPLETION OF CONSTRUCTION.
 - f. ESTABLISHMENT OF PERMANENT GROUND COVER TO RETAIN EROSION.
5. CLEAR SITE ONLY AS NECESSARY TO INSTALL INITIAL EROSION CONTROL MEASURES AS FOLLOWS:
 - a. TEMPORARY CONSTRUCTION ENTRANCE/EXIT
 - b. TEMPORARY SEDIMENT TRAP AND/OR OTHER FIVE (5) ACRES, OUTLET STRUCTURES THAT ONLY WITHDRAW WATER FROM THE SURFACE OF THE BASIN SHALL BE UTILIZED, NO SEDIMENT TRAPS OR ROCK DAMS ALLOWED
 - c. TEMPORARY DIVERSION
 - d. TEMPORARY SILT FENCING AND OUTLETS
 - * ADJUST SILT FENCE, OUTLET LOCATIONS PER FIELD CONDITIONS
 - * ERECT EMBANKMENTS AND ROW OF DEVICES (INCLUDING "CLEAN" WATER DIVERSION) UPON COMPLETION OF CONSTRUCTION, SEE GROUND STABILIZATION CRITERIA BELOW FOR MORE INFORMATION.
 - e. STOPPING AND STRIPPING OF SITE AS REQUIRED, EARTHEN MATERIAL STOCKPILES ON-SITE FOR LATER DISTRIBUTION AND/OR REMOVAL, AREAS DEDICATED FOR MANAGEMENT OF LAND CLEARING AND DEMOLITION DEBRIS, CONSTRUCTION AND DEMOLITION DEBRIS, AND LOGS, AND BRUSH SHALL BE REMOVED WITHIN 50 FEET AWAY FROM STORM DRAIN INLETS AND SURFACE WATERS, AND WITHIN AREAS PROTECTED BY EROSION CONTROL MATERIALS.
 - f. INSTALLATION OF EROSION CONTROL DEVICES IN ACCORDANCE WITH THE MAINTENANCE PLAN, INSTALL ADDITIONAL EROSION CONTROL MEASURES AS REQUIRED, IN THE STORM DRAINAGE DITCHES AND DRAINAGE DITCHES, AND IN THE POINT WHERE IT ENTERS EACH DEVIATION. COMPLETION OF PIPING WILL ONLY BE ALLOWED ONCE THE SITE HAS BEEN DEEMED STABLE BY THE EROSION CONTROL INSPECTOR. INSTALL PROTECTION AROUND ALL INLETS AS STORM DRAIN SYSTEM IS INSTALLED.
6. PRIOR TO CONTRACTOR DEMOLISHING FROM THE SITE (APPROXIMATELY 45 DAYS PRIOR TO DEMOLITION), THE CONTRACTOR SHALL CONTACT THE NCCNR (OR DESIGNATED) CONTACT NCCNR AND THE DESIGNATED EROSION CONTROL INSPECTOR OF THE ANTICIPATED DATE TO LEAVE THE SITE. AN ON-SITE INSPECTION WILL BE CONDUCTED TO LEAVE THE SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE EROSION CONTROL INSPECTOR TO MAKE CERTAIN ALL ACTION ITEMS HAVE BEEN ADDRESSED.
7. CONTINUE TO MAINTAIN EROSION CONTROL MEASURES UNTIL VEGETATIVE COVER HAS BEEN ESTABLISHED OR THE EROSION CONTROL MEASURES HAVE BEEN REMOVED. EROSION CONTROL MEASURES ONLY AFTER FINAL INSPECTION BY EROSION CONTROL INSPECTOR.
8. FAILURE TO PERFORM ANY OF THESE STEPS MAY RESULT IN A NOTICE OF VIOLATION.

1. INSPECT ALL SEDIMENTATION AND EROSION CONTROL DEVICES FOR STABILITY AND FUNCTION EACH WEEK AND FOLLOWING EACH RAINFALL EVENT.
2. REMOVE SILT/SEDIMENT FROM TEMPORARY DEVICES WHEN ACCUMULATED VOLUME HAS REACHED 50% CAPACITY OR AS OTHERWISE NOTED.
3. REMOVE ACCUMULATED SILT/SEDIMENT FROM BEHIND TEMPORARY SEDIMENT FENCE WHEN DEPTH EXCEEDS APPROXIMATE 6 INCHES. REPAIR AND REPLACE SILT FENCE AS NECESSARY.
4. SEED AND STABILIZE TEMPORARY DIVERSION BERMS IMMEDIATELY AFTER CONSTRUCTION INCLUDING "CLEAN" WATER DIVERSION BERMS, RE-GRADE/REPAIR BERMS AS REQUIRED.
5. MAINTAIN A LOG APPROPRIATE TO SITE RECORD AND MAINTAIN RECORDS OF INSPECTIONS IN ACCORDANCE WITH THE PROVISIONS OF THE GENERAL PERMITS FOR STORMWATER DISCHARGE PERMIT FOR CONSTRUCTION ACTIVITIES

SITE AREA DESCRIPTION	STABILIZATION TIMEFRAME	STABILIZATION TIMEFRAME EXCEPTIONS
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TIMEFRAME		
PERIMETER DIKES, SWALES, DITCHES, & SLOPES	7 DAYS	NONE
SLOPES STEEPER THAN 3:1	7 DAYS	IF SLOPES ARE 10' OR LESS IN LENGTH & NOT STEEPER THAN 2:1, 14 DAYS ALLOW
SLOPES 3:1 OR FLATTER	14 DAYS	7 DAYS FOR SLOPES > 50 FEET IN LENGTH
ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1	14 DAYS	NONE



SALEM ENGINEERING, PLLC

FIRM: P-1999
214 HELSABECK ROAD
KING, NC 27021
STEVEN@SALEM-ENGINEERING.COM
(336) 972-5806

SCENIC DRIVE SUBDIVISION

GRADING & EROSION CONTROL PLAN

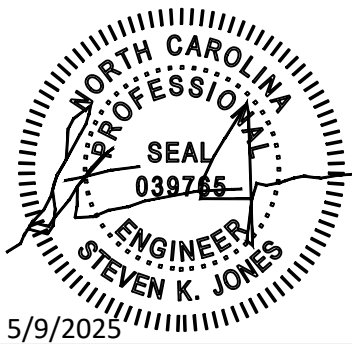
PROJECT LOCATION:
STATE: NORTH CAROLINA
COUNTY: STOKES
CITY/TOWN: KING

PROPERTY OWNER INFORMATION:
7G'S LLC
P.O. BOX 188
KING, NC 27021

NO.	DATE	REVISION NOTE
1		
2		
3		
4		
5		
6		

DRAWING FILE PATH:

DRAWN BY: SKJ
CHECKED BY:
DATE: 2/28/2025
PROJECT NO.: 2025-011
REF. NO.:
SCALE: NTS



5/9/2025

C3.0