

ATTACHMENT A PROJECT PLANS



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MATERIAL SYMBOLS

PLAN AND SECTION		ELEVATION	
	EARTH / TOP SOIL		SIDING - WOOD
	WASHED ROCK		SIDING - FIBER CEMENT/ PHENOLIC CORE PANEL
	ASPHALT PAVING / ROADBED MATL.		BRICK
	CONCRETE		CONCRETE
	BRICK		STUCCO
	CONCRETE MASONRY UNIT		GLASS
	CUT STONE		CONCRETE MASONRY UNIT
	STEEL		
	ALUMINUM		
			PLYWOOD
			FINISH WOOD
			SAND, PLASTER, GYPSUM BOARD
			BATT INSULATION
			BIBS INSULATION
			RIGID INSULATION
			SPRAY FOAM INSULATION
			WALL - NEW CONSTRUCTION
			WALL - EXISTING TO REMAIN
			WALL - TO BE DEMOLISHED

PROJECT TEAM

OWNER:	GMD Development Greg Dunfield 520 Pike Street, Suite 1010 Seattle, Washington 98101 greg@gmddevelopment.com	LANDSCAPE ARCHITECT:	BYLA Landscape Architects Chase Gouley PO Box 594 323 North Lewis Street, Suite N Ketchum, Idaho 83340 (208) 726-5907 chase@byla.us
ARCHITECT:	Michael Doty Associates, Architects, PC PO Box 2792 371 Washington Avenue North Ketchum, Idaho 83340 (208) 726-4228 mike@mda-arc.com	CIVIL ENGINEER:	Galena Engineering, Inc. Sean Flynn 317 North River Street Hailey, Idaho 83333 (208) 788-1705 sflynn@galena-engineering.com
GENERAL CONTRACTOR:	Conrad Brothers Construction Paul Conrad PO Box 3432 1320 Heroic Road Hailey, ID 83333 (208) 726-3830 paul@conradbrothersconstruction.com		
STRUCTURAL ENGINEER:	Frost Structural Engineering Markell Bateman 1020 Lincoln Road Idaho Falls, ID 83401 (208) 227-8404 x 201 markellb@froststructural.com		

PROJECT DATA

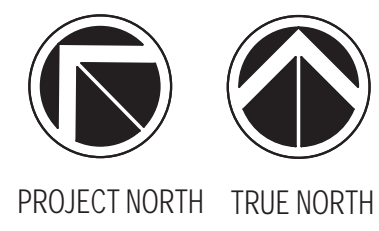
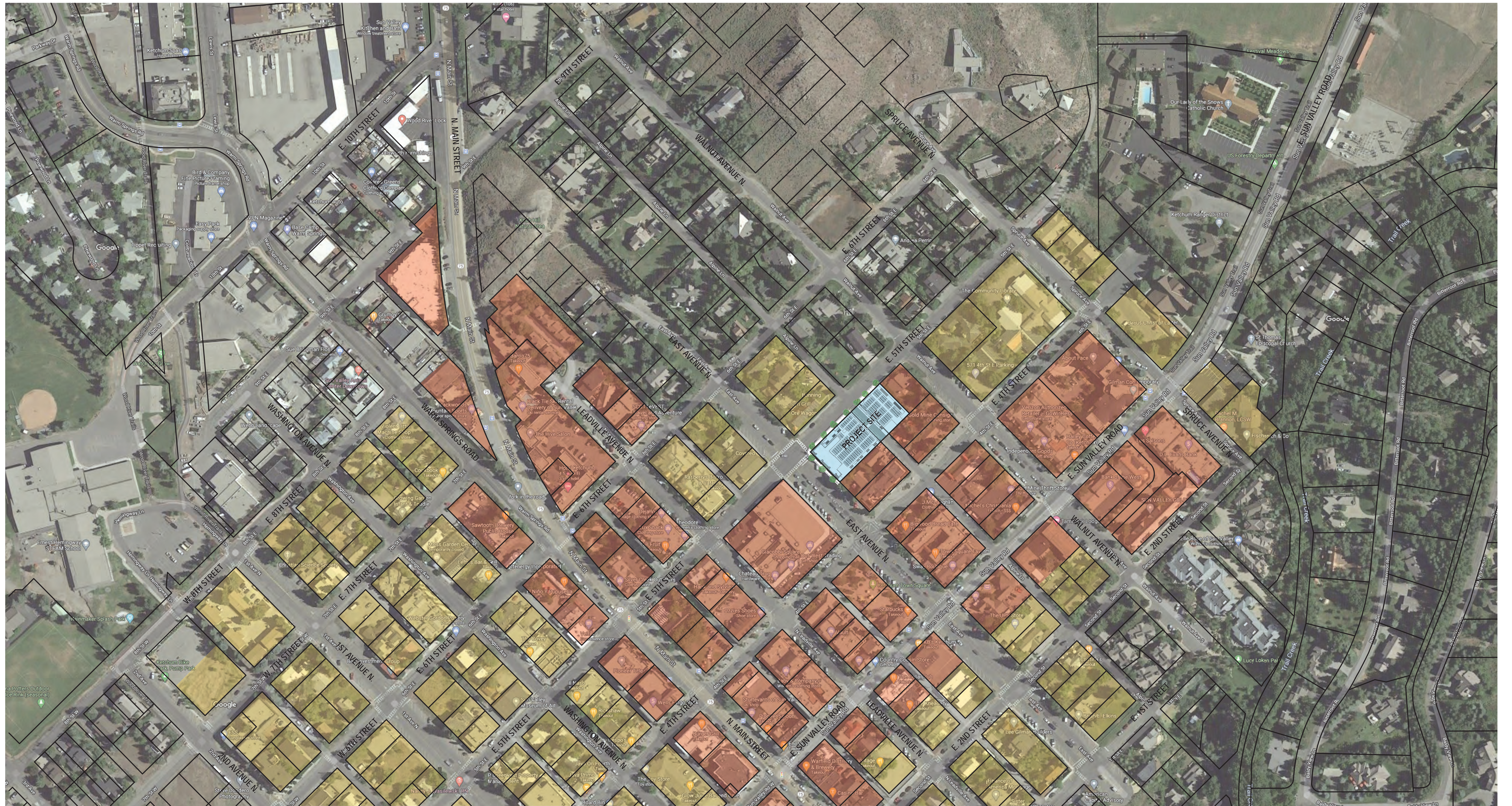
LEGAL DESCRIPTION:	LOT 3A, LOT 7, LOT 8, BLOCK 45, KETCHUM TOWNSITE, KETCHUM, IDAHO
ZONING:	CC-1 COMMUNITY CORE, RETAIL
CONSTRUCTION TYPE:	TYPE V-A
OCCUPANCY:	RESIDENTIAL GROUP R-2 BUSINESS GROUP B STORAGE GROUP S-2 ASSEMBLY GROUP A-3
BUILDING AREA (GROSS):	GROUND FLOOR BLDG A: 5086 SF GROUND FLOOR BLDG B: 1663 SF 2ND FLOOR BLDG A: 12831 SF 2ND FLOOR BLDG B: 6031 SF 3RD FLOOR: 19186 SF 4TH FLOOR BLDG A: 9135 SF 4TH FLOOR BLDG B: 8106 SF TOTAL: 60038 SF
FIRE SPRINKLER SYSTEM:	NFPA 13 THROUGHOUT
SITE AREA:	26164 SQ. FT. (0.60 ACRES)
CODES:	2018 INTERNATIONAL BUILDING CODE (2018 IBC) AS ADOPTED BY CITY OF KETCHUM BUILDING DEPT.
JURISDICTIONS:	CITY OF KETCHUM PLANNING & ZONING CITY OF KETCHUM BUILDING DEPARTMENT CITY OF KETCHUM FIRE DEPARTMENT

BLUEBIRD VILLAGE

480 N. EAST AVE.
KETCHUM, ID 83340

PRE-APPLICATION DESIGN REVIEW
4/12/2021





VICINITY MAP

- PROJECT SITE
- COMMUNITY CORE SUBDISTRICT 1 - RETAIL CORE
- COMMUNITY CORE SUBDISTRICT 2 - MIXED USE

SCALE: 1" = 100'-0"

BLUEBIRD VILLAGE

480 N. EAST AVE.
KETCHUM, ID 83340

PRE-APPLICATION DESIGN REVIEW
04/12/2021



Michael Doty Associates, Architects PC



NW CORNER, EAST AVE. & FIFTH ST.



NE CORNER, FIFTH ST.



SW CORNER, EAST AVE. & 4TH ST.



SE VIEW, 4TH ST. & ALLEY

VICINITY PHOTOS

BLUEBIRD VILLAGE

480 N. EAST AVE.
KETCHUM, ID 83340

PRE-APPLICATION DESIGN REVIEW
4/12/2021





VIEW LOOKING WEST FROM ALLEY ALONG PROPERTY LINE



VIEW LOOKING SOUTHEAST ALONG PROPERTY LINE

VICINITY PHOTOS

BLUEBIRD VILLAGE

480 N. EAST AVE.
KETCHUM, ID 83340

PRE-APPLICATION DESIGN REVIEW
4/12/2021



REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any project or extension of this Project except by agreement in writing with Galena Engineering, Inc.



**A MAP SHOWING BUILDING & TREE HEIGHTS AROUND
LOT 3A AND THE WEST 75' OF LOTS 7 & 8
BLOCK 45, KETCHUM TOWNSITE (480 N EAST AVE)**



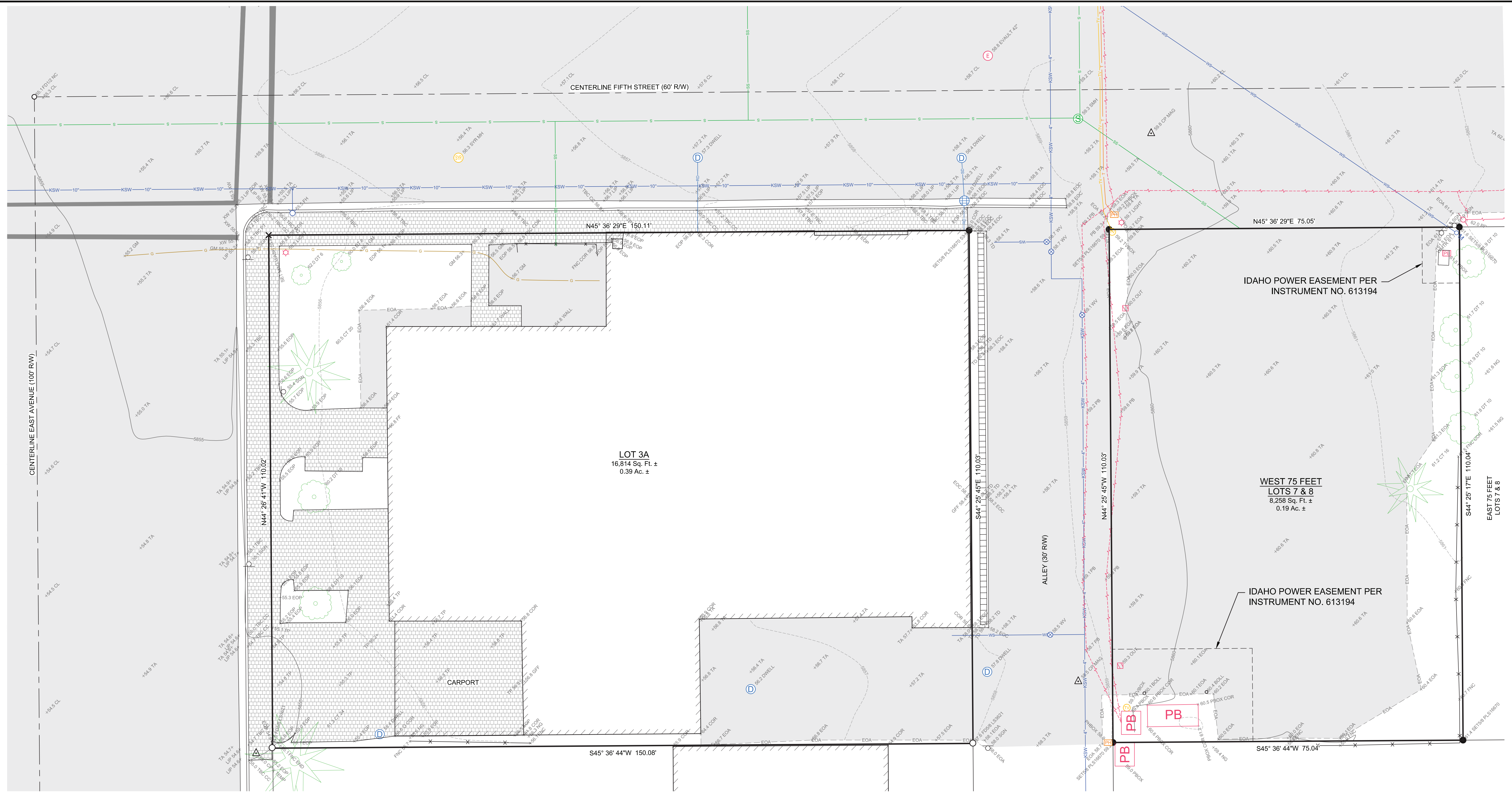
DESIGNED BY _____
 CT
 DRAWN BY _____
 SMF
 CHECKED BY _____

GALENA
 ENGINEERING, INC.
 Civil Engineers & Land Surveyors
 317 N. River Street
 Hailey, Idaho 83433
 (208) 788-1705
 email: galena@galena-engineering.com

PURPOSE:	NO.	DATE	BY	REVISIONS

PROJECT INFORMATION
 LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
 PREPARED FOR GMD DEVELOPMENT, LLC

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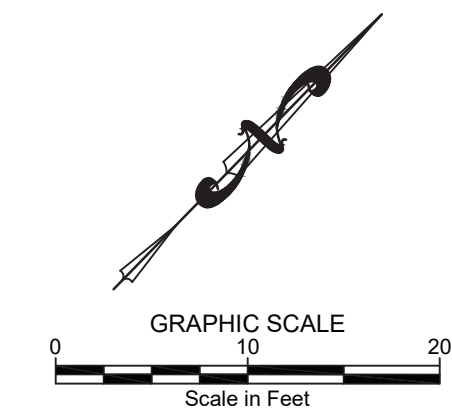


LEGEND

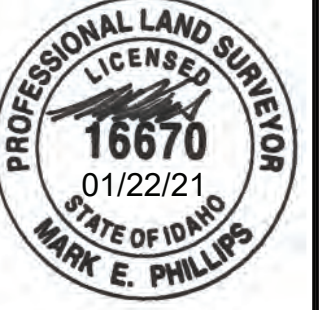
<ul style="list-style-type: none"> Property Line Adjoiner's Lot Line Centerline Idaho Power Easement FD5/8 = Found 5/8" Rebar FD1/2 = Found 1/2" Rebar CNTRL = Survey Control SET5/8 = Set 5/8" Rebar SET MAG = Set Mag Nail 5' Contour Interval 1' Contour Interval Curb & Gutter TD = Trench Drain FNC = Fence Line Building Asphalt Concrete Pavers CT = Conifer Tree DT = Deciduous Tree Boll = Bollard XW = Crosswalk 	<ul style="list-style-type: none"> SGN = Sign GM = Gas Main TVB = Cable TV Buried TVBOX = Cable TV Riser PHB = Buried Telephone Line PHBOX = Telephone Riser SYR MH = Syringa Manhole PB = Buried Power Line Overhead Power Line Light PBOX = Power Box PP = Power Pole EVAULT = Power Vault OUT = Power Outlet Sewer Main SS = Sewer Service SMH = Sewer Manhole Road Drain Storm Drain CB = Catch Basin DWELL = Dry Well Ketchum Spring Line (10") Ketchum Spring Line (4") WS = Water Service WMTR = Water Meter FH = Fire Hydrant WV = Water Valve 	<ul style="list-style-type: none"> AP = Angle Point BEG = Beginning CC = Curb Cut CL = Centerline COR = Corner EOA = Edge of Asphalt EOC = Edge of Concrete EOP = Edge of Pavers FF = Finished Floor GFF = Garage Finished Floor IC = Illegible Cap LIP = Lip of Gutter NC = No Cap NG = Natural Ground PC = Point of Curvature PT = Point of Tangent TA = Top of Asphalt TBC = Top Back of Curb TP = Top of Pavers
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NOTES

- The purpose of this map is to show topographical information as it existed on the date the field survey was performed. Changes may have occurred to site conditions since survey date (12/22/2020).
- Boundary information is based on Found Monumentation. Please refer to the recorded map of the Official Map of the Village of Ketchum, Instr # 302967, records of Blaine County, Idaho. Refer to the Plat Notes, Conditions, Covenants, and Restrictions on Original Plat.
- Underground utility locations are based on above ground appurtenances / utilities visible at the time of the survey, and City Maps. Utilities should be located prior to any excavation.
- Galena Engineering Inc. has not received a Title Policy from the client and has not been requested to obtain one. Relevant information that may be contained within a Title Policy may therefore not appear on this map and may affect items shown hereon. It is the responsibility of the client to determine the significance of the Title Policy information and determine whether it should be included. If the client desires for the information to be included they must furnish said information to Galena Engineering, Inc. and request it be added to this map.
- Benchmark is top of 1/2" rebar marking the intersection of Fifth Street and East Avenue, elevation = 5855.13. Point elevations shown are truncated (i.e. 19.2 is 5819.2). Vertical Datum is NAVD 1988.



A TOPOGRAPHIC MAP SHOWING
LOT 3A AND THE WEST 75' OF LOTS 7 & 8
BLOCK 45, KETCHUM TOWNSHIP (480 N EAST AVE)
 LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
 PREPARED FOR GMD DEVELOPMENT, LLC



DESIGNED BY _____
 DRAWN BY _____
 SMF
 CHECKED BY _____

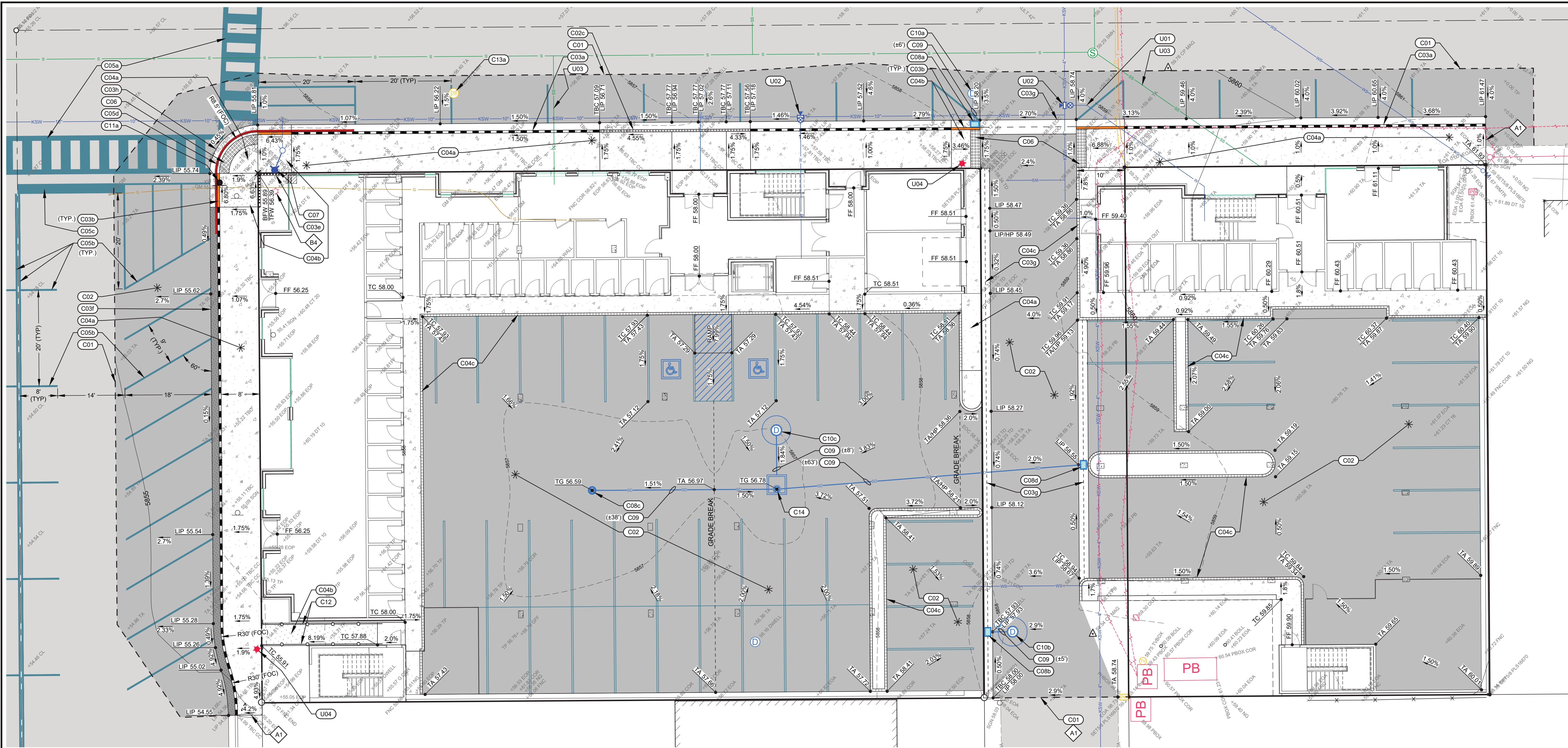
GALENA
ENGINEERING, INC.
 Civil Engineers & Land Surveyors
 317 N. River Street
 Halley, Idaho 83333
 email: galena@galena-engineering.com

PURPOSE:	NO.	DATE	BY	REVISIONS
PDR1.01				

PDR1.01

PROJECT INFORMATION
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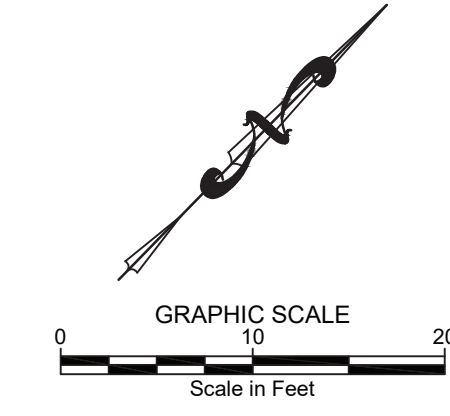
CONSTRUCTION (SITE, GRADING, & DRAINAGE) KEY NOTES

- C01** SAWCUT EXISTING ASPHALT TO PROVIDE FOR A CLEAN VERTICAL EDGE.
- C02** CONSTRUCT ASPHALT ROADWAY / ASPHALT REPAIR. SEE DETAIL 1 / C0.2.
- C03** CONSTRUCT CONCRETE CURB AND GUTTER
 - a. 6" VERTICAL C&G PER DETAIL 2a / C0.2.
 - b. CURB TRANSITION PER DETAIL 2b / C0.2.
 - c. VARIABLE REVEAL C&G PER DETAIL 2c / C0.2.
 - d. 36" WIDE CONCRETE VALLEY GUTTER PER DETAIL 2d / C0.2.
 - e. VERTICAL CURB PER DETAIL 2e / C0.2.
 - f. 6" VERTICAL CURB WITH REVERSE GUTTER PAN PER DETAIL 2f / C0.2.
 - g. 24" WIDE CONCRETE VALLEY GUTTER PER DETAIL 2g / C0.2.
 - h. ZERO REVEAL CURB AND GUTTER PER DETAIL 2h / C0.2.
- C04** CONSTRUCT CONCRETE SIDEWALK. WIDTH AS SHOWN HEREON.
 - a. FLAT WORK, SEE DETAIL 3 / C0.2.
 - b. ADA COMPLIANT RAMPS, SEE DETAIL 3 / C0.2.
 - c. THICKENED EDGE SIDEWALK, SEE DETAIL 4 / C0.2.

- C05** INSTALL ROAD STRIPING / PAINT
 - a. WHITE CROSSWALK STRIPING (12" WIDE STRIPES AND 24" CROSS BARS).
 - b. YELLOW ASPHALT PARKING STRIPING (4" WIDE). MATCH CITY PATTERNS.
 - c. WHITE CROSSWALK / STOP BAR STRIPING (24" WIDE).
 - d. RED "NO PARKING" STRIPING ON CURB. MATCH CITY PATTERNS.
 - e. BLUE ADA PARKING STRIPING AND/OR PARKING SYMBOL (54" WIDE).
- C06** INSTALL CITY OF KETCHUM APPROVED CAST IRON TRUNCATED DOME DETECTABLE WARNING INSERT. SEE DETAIL 2 / C0.3.
- C07** RELOCATE FIRE HYDRANT ASSEMBLY TO BACK OF SIDEWALK.
 - a. ± 4 LF OF 6" C-900 PVC WATER MAIN 22.5' D.I. BEND W/ THRUST BLOCK
 - b. CITY TO PROVIDE MOUNTAIN EXTENSION. CONTRACTOR TO COORDINATE WITH WATER AND FIRE DEPARTMENTS. SEE DETAIL 1 / C0.3 FOR TYPICAL TRENCH SECTION.
- C08** INSTALL CATCH BASIN. SEE DETAIL 5 / C0.2.
 - a. CONNECT TO EXISTING DRYWELL
 - b. RIM (R) = 5857.73
 - c. I.E. (IN) = 5854.7
 - d. I.E. (OUT) = 5853.4
- C09** INSTALL 12" ADS N-12 STORM DRAIN PIPE WITH A MINIMUM SLOPE OF 2.0%. SEE DETAIL 1 / C0.3 FOR TRENCHING SECTION.

- C10** DRYWELL: SEE DETAIL 6 / C0.2.
 - a. CLEAN / RECONSTRUCT EXISTING
 - b. RIM = 5858.25
 - c. I.E. (IN) = 5854.8
 - d. CONSTRUCT NEW DRYWELL
 - e. RIM = 5857.95
 - f. I.E. (IN) = 5854.6
 - g. CONSTRUCT NEW DRYWELL
 - h. **ALL ROOF DRAINS TO BE CONNECTED TO THIS DRYWELL DIRECTLY OR INDIRECTLY
 - i. RIM = 5856.9
 - j. I.E. (IN) = 5853.7
- C11** SIGNS: SEE DETAIL 3 / C0.3 FOR SIGN BASE DETAIL.
 - a. INSTALL STOP / STREET SIGN. USE PREVIOUSLY REMOVED SIGN. COORDINATE FINAL LOCATION WITH CITY OF KETCHUM.
 - b. INSTALL REGULATORY SIGN. COORDINATE TYPE AND FINAL LOCATION WITH CITY OF KETCHUM.
- C12** INSTALL ADA COMPLIANT HAND RAIL PAINTED PER ARCHITECT'S SPECIFICATIONS. SEE DETAIL 4 / C0.3.
- C13** RESET UTILITY BOX LID ELEVATION.
 - a. SYRINGA MANDHOLE
 - b. ORIGINAL RIM = 5856.28
 - c. NEW RIM = 5856.36
- C14** INSTALL CONCRETE 350 GALLON SAND AND GREASE TRAP WITH STANDARD CAST IRON RING & ROUND 24" Ø GRATE.
 - a. RIM = 5856.88
 - b. I.E. (IN, C08c) = 5852.6
 - c. I.E. (IN, C08d) = 5854.0
 - d. I.E. (OUT) = 5853.9
- C15** RELOCATE UTILITIES. LOCATIONS TBD. CONTRACTOR TO COORDINATE WITH UTILITIES FRANCHISE.

- A** MATCH EXISTING LINES AND GRADES
 - B** RETAIN AND PROTECT
 - 1. UTILITY POLE AND TELEPHONE RISER
 - 2. UTILITY BOX / VAULT
 - 3. FIRE HYDRANT
 - 4. STREET LIGHT
- UTILITY IMPROVEMENT KEY NOTES**
- U01** INSTALL 6" C-900 PVC WATER LINE. SEE DETAIL 1 / C0.3 FOR TRENCHING STANDARDS.
 - U02** INSTALL 6" STAINLESS STEEL TAPPING SADDLE W/ THRUST BLOCKS
 - U03** EXISTING SEWER SERVICES TO BE UTILIZED
 - U04** INSTALL KETCHUM STANDARD STREET LIGHT: SOLAR (OFF-GRID). SEE DETAIL 6 / C0.3.



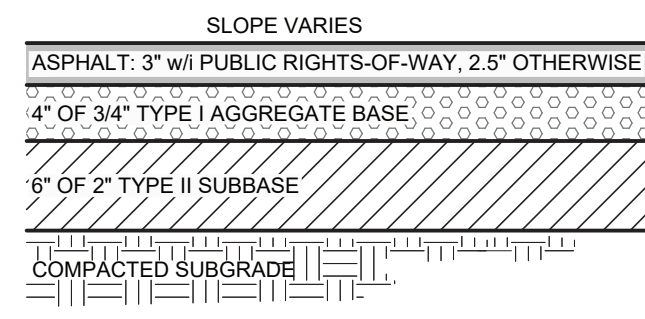
GRADING, DRAINAGE, AND UTILITY PLAN SHOWING BLUEBIRD VILLAGE (480 N EAST AVE)
 LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
 PROJECT INFORMATION
 Prepared for GMD Development, LLC



DESIGNED BY _____
 DRAWN BY _____
 SMF _____
 CHECKED BY _____
GALENA ENGINEERING, INC.
 Civil Engineers & Land Surveyors
 317 N. River Street
 Hailey, Idaho 83433
 (208) 768-1705
 email: galena@galena-engineering.com

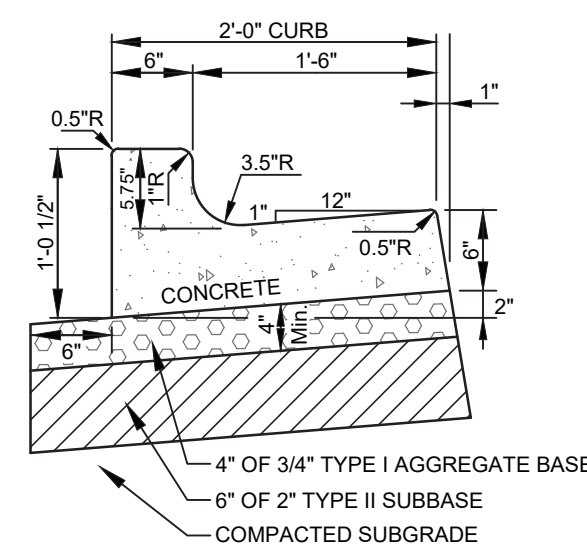
PURPOSE: ISSUE FOR INTERNAL REVIEW	NO.	DATE	BY	REVISIONS

PDR1.02



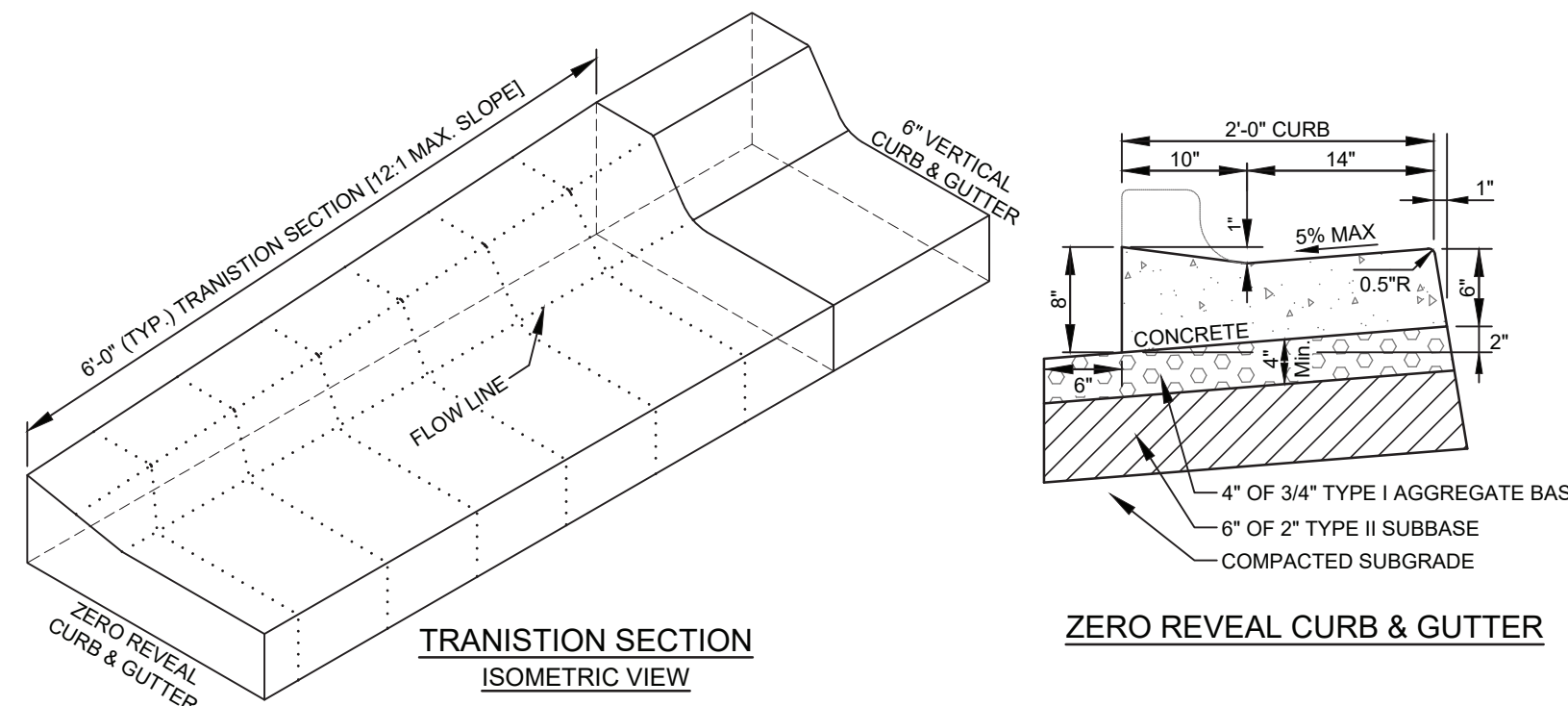
- NOTES:
- SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
 - MATERIALS SHALL CONFORM WITH CURRENT ISPCW STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.

1
C2.01 TYPICAL STREET ASPHALT SECTION
N.T.S.



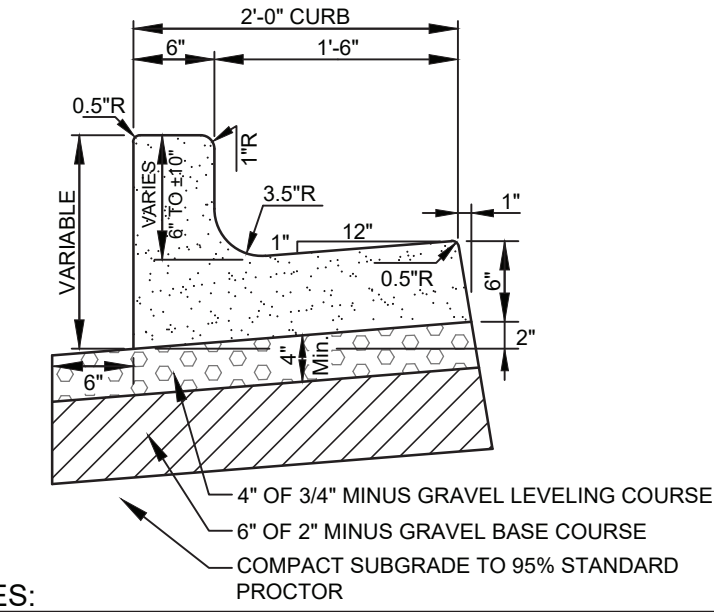
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 - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
 - 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADII.
 - CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FEET MAXIMUM SPACING (8-FEET WISIDEWALK).

2a
C2.01 6" CONCRETE VERTICAL CURB & GUTTER
N.T.S.



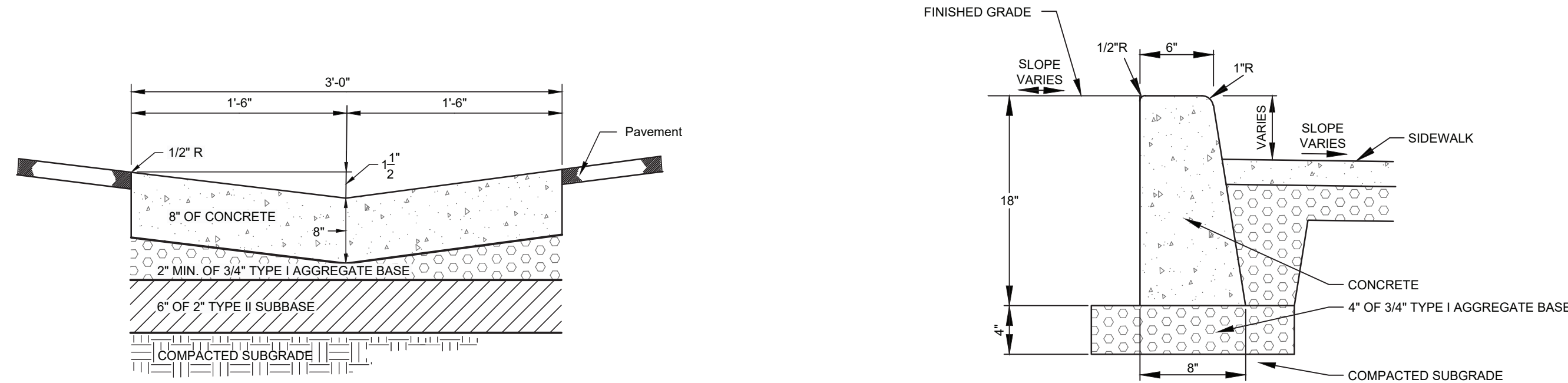
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 - CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FEET MAXIMUM SPACING (8-FEET WISIDEWALK).

2b
C2.01 TYPICAL CURB TRANSITION DETAIL
N.T.S.



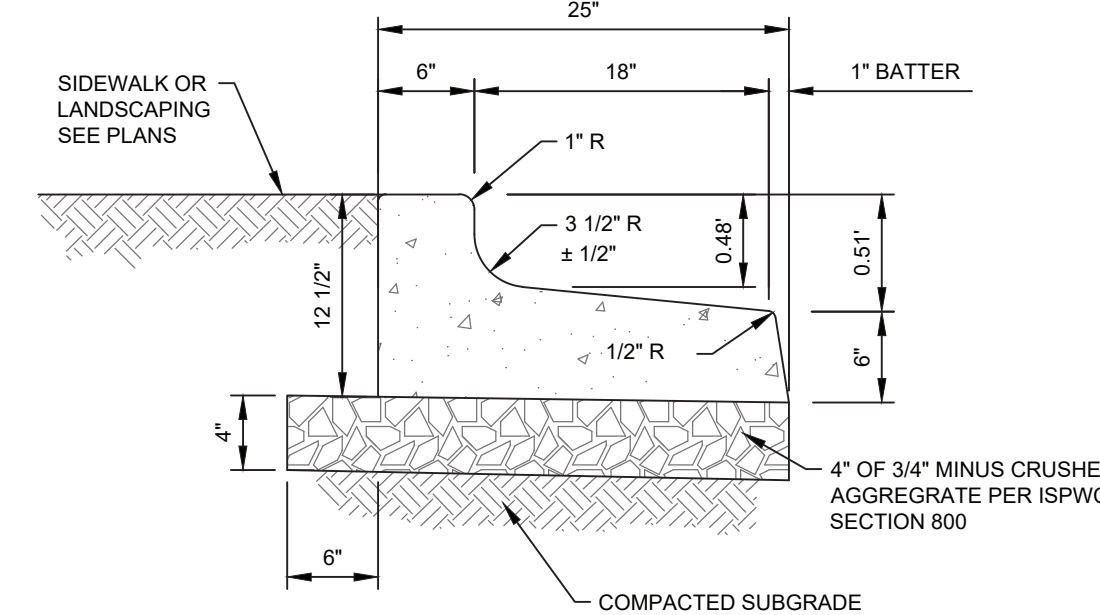
- NOTES:
- 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADII.
 - CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS TO MATCH SIDEWALK WITH 10-FEET MAXIMUM SPACING.
 - MATERIALS SHALL CONFORM WITH CURRENT ISPCW STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.

2c
C2.01 CONCRETE VERTICAL CURB & GUTTER WITH VARIABLE REVEAL
N.T.S.



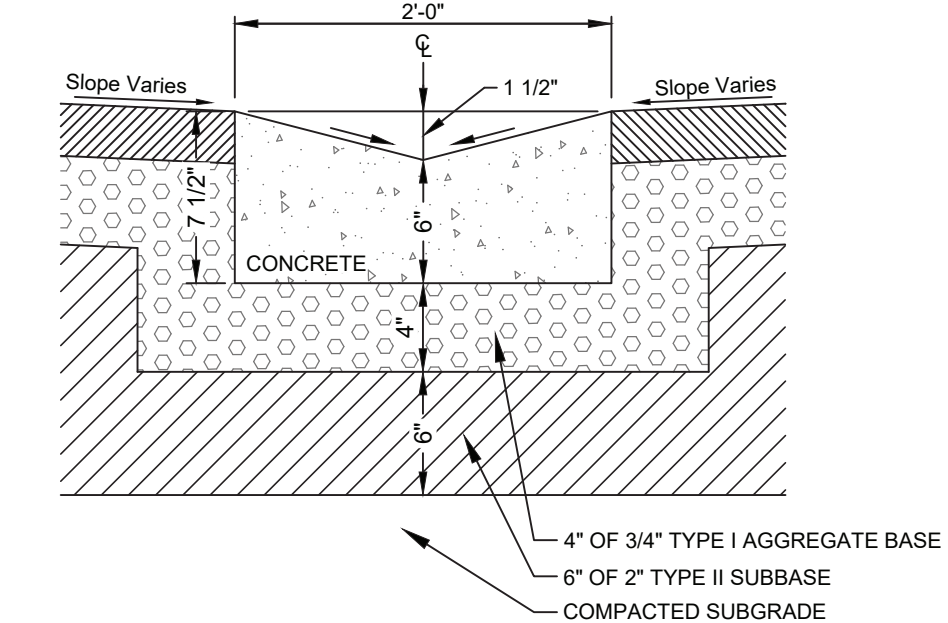
- NOTES:
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 - 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADII.
 - CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FEET MAXIMUM SPACING.

2d
C2.01 36" CONCRETE VALLEY GUTTER
N.T.S.



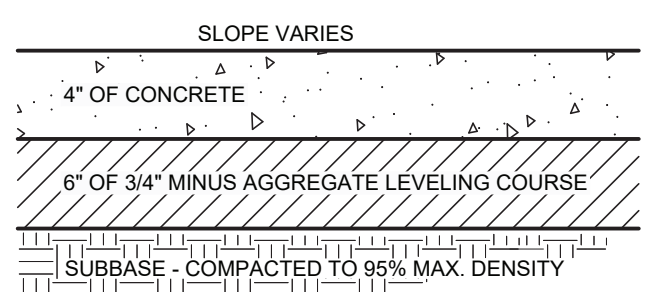
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 - CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FEET MAXIMUM SPACING (8-FEET WISIDEWALK).

2f
C2.01 VERTICAL CURB W/ REVERSE GUTTER PAN
N.T.S.



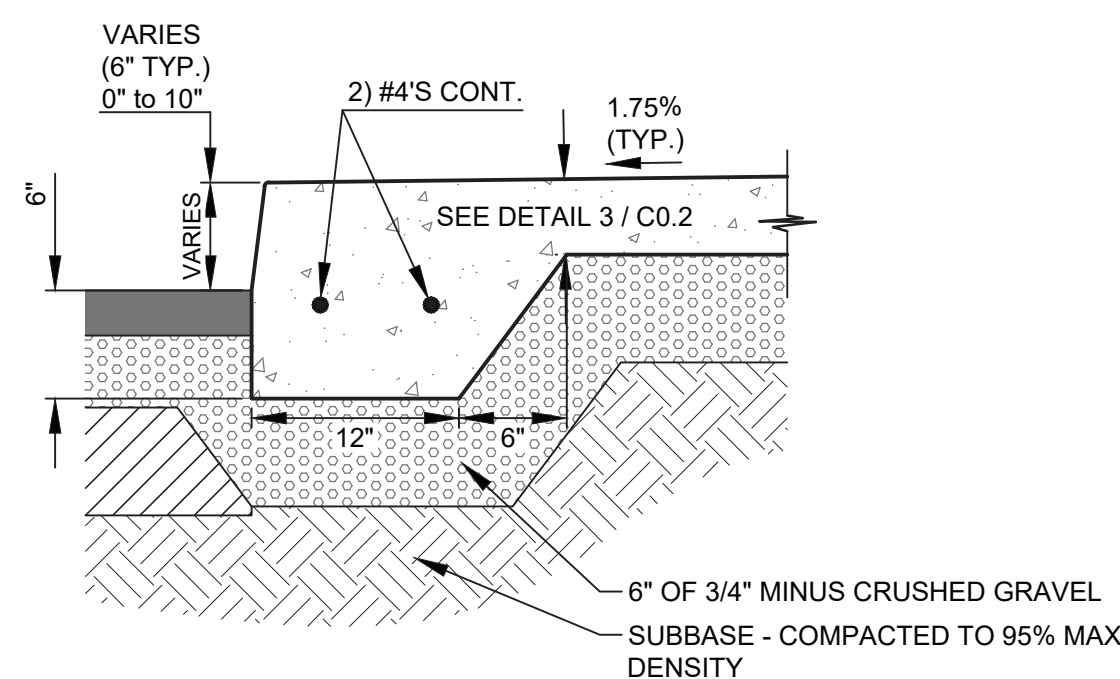
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 - 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADII.
 - CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FEET MAXIMUM SPACING (8-FEET WISIDEWALK).

2g
C2.01 24" WIDE CONCRETE VALLEY GUTTER
N.T.S.



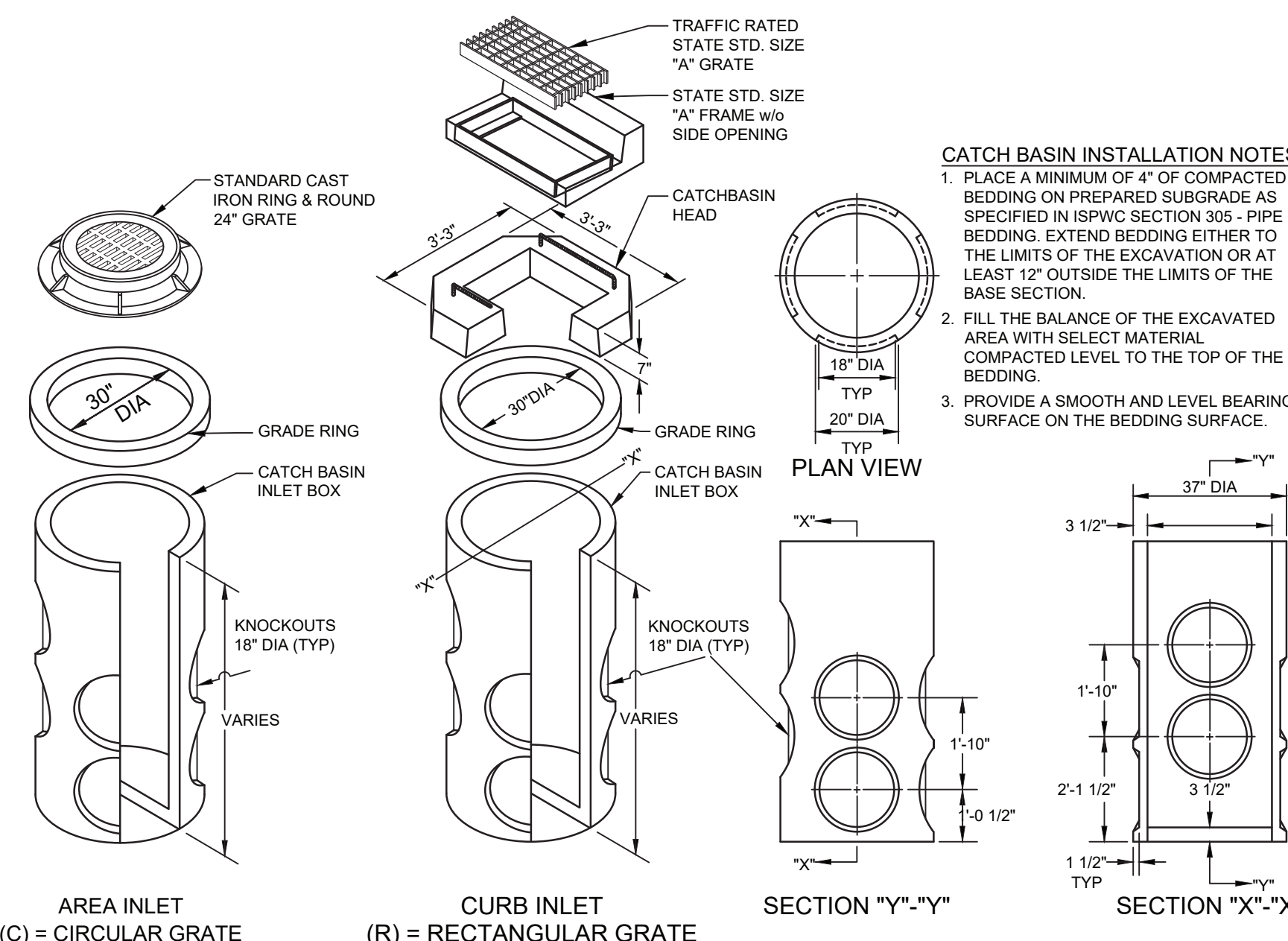
- NOTES:
- 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADII.
 - CONTINUOUS PLACEMENT PREFERRED, SCORE AT INTERVALS TO MATCH WIDTH OF WALK NOT TO EXCEED 5 FEET SPACING.
 - 1/2" TRANSVERSE PREFORMED BITUMINOUS JOINTS AT THE TERMINUS POINTS FOR CURVE AND WHERE SIDEWALK IS PLACED BETWEEN TWO PERMANENT FOUNDATIONS.
 - MATERIALS AND CONSTRUCTION IN COMPLIANCE WITH ISPCW SPECIFICATIONS.

3
C2.01 TYPICAL CONCRETE SIDEWALK SECTION
N.T.S.



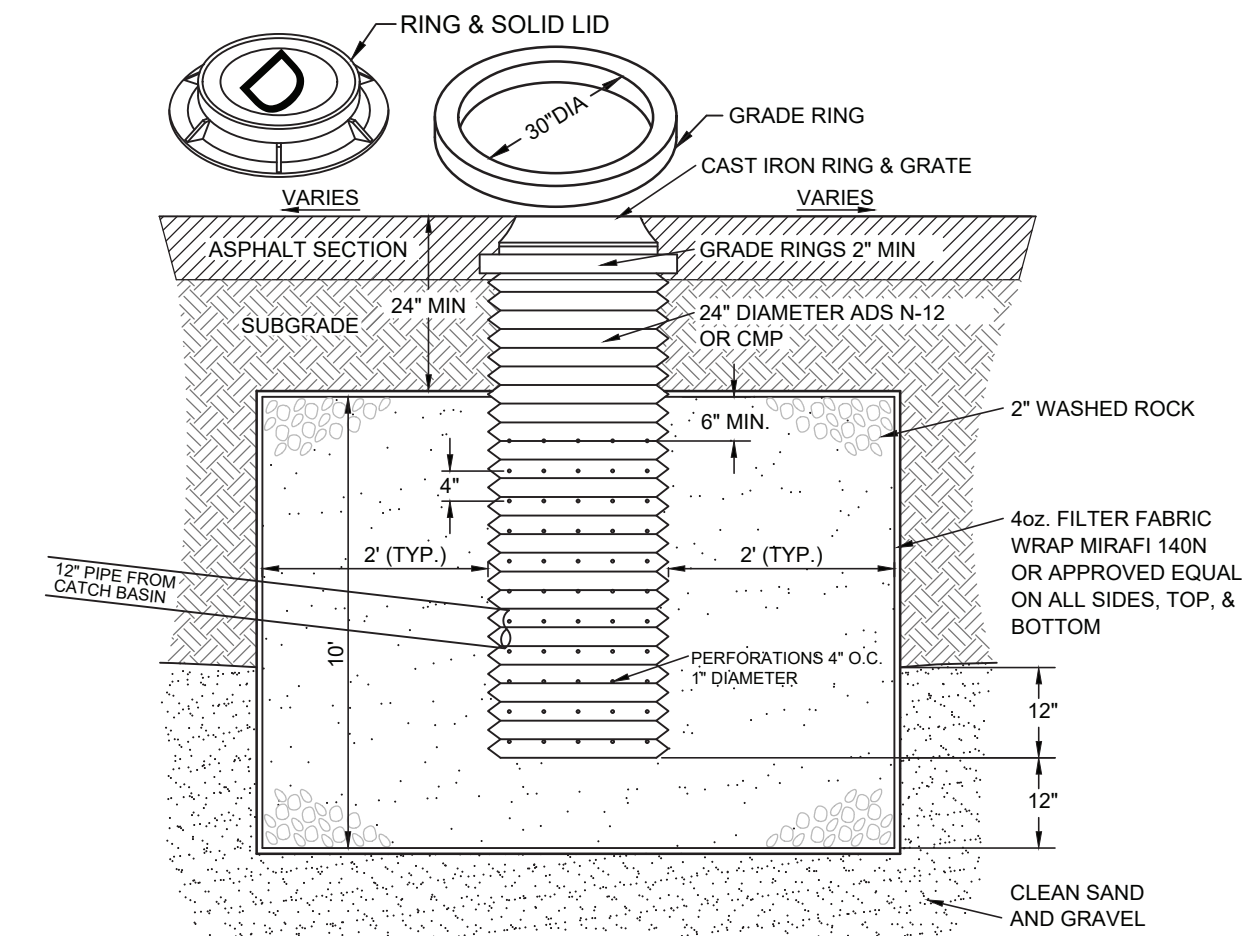
- NOTES:
- 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADII.
 - CONTINUOUS PLACEMENT PREFERRED, SCORE AT INTERVALS TO MATCH WIDTH OF WALK NOT TO EXCEED 5 FEET SPACING.
 - 1/2" TRANSVERSE PREFORMED BITUMINOUS JOINTS AT THE TERMINUS POINTS FOR CURVE AND WHERE SIDEWALK IS PLACED BETWEEN TWO PERMANENT FOUNDATIONS.
 - MATERIALS AND CONSTRUCTION IN COMPLIANCE WITH ISPCW SPECIFICATIONS.

4
C2.01 THICKENED SIDEWALK EDGE
N.T.S.



- CATCH BASIN INSTALLATION NOTES:
- PLACE A MINIMUM OF 4" OF COMPACTED BEDDING ON PREPARED SUBGRADE AS SPECIFIED IN ISPCW SECTION 305 - PIPE BEDDING. EXTEND BEDDING EITHER TO THE LIMITS OF THE EXCAVATION OR AT LEAST 12" OUTSIDE THE LIMITS OF THE BASE SECTION.
 - FILL THE BALANCE OF THE EXCAVATED AREA WITH SELECT MATERIAL COMPACTED LEVEL TO THE TOP OF THE BEDDING.
 - PROVIDE A SMOOTH AND LEVEL BEARING SURFACE ON THE BEDDING SURFACE.

5
C2.01 30" DIAMETER CATCH BASIN
N.T.S.



- NOTES:
- THE BED SHALL BE EXCAVATED A MINIMUM OF 24" INTO CLEAN SAND AND GRAVEL.
 - MAXIMUM DEPTH SHALL NOT EXCEED 12 FEET.
 - IF CLEAN SAND AND GRAVEL IS NOT ENCOUNTERED WITHIN 12 FEET, THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER.
 - GRATE OR SOLID LID AS APPROVED BY CITY OF KETCHUM.

6
C2.01 DRYWELL DETAIL (6' Ø)
N.T.S.

DETAIL SHEET
BLUEBIRD VILLAGE
(480 N EAST AVE)

LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR GMD DEVELOPMENT, LLC

PROJECT INFORMATION
P:\subproj\30600\30600.dwg Engineer: 2021-02-23 10:18:41 AM

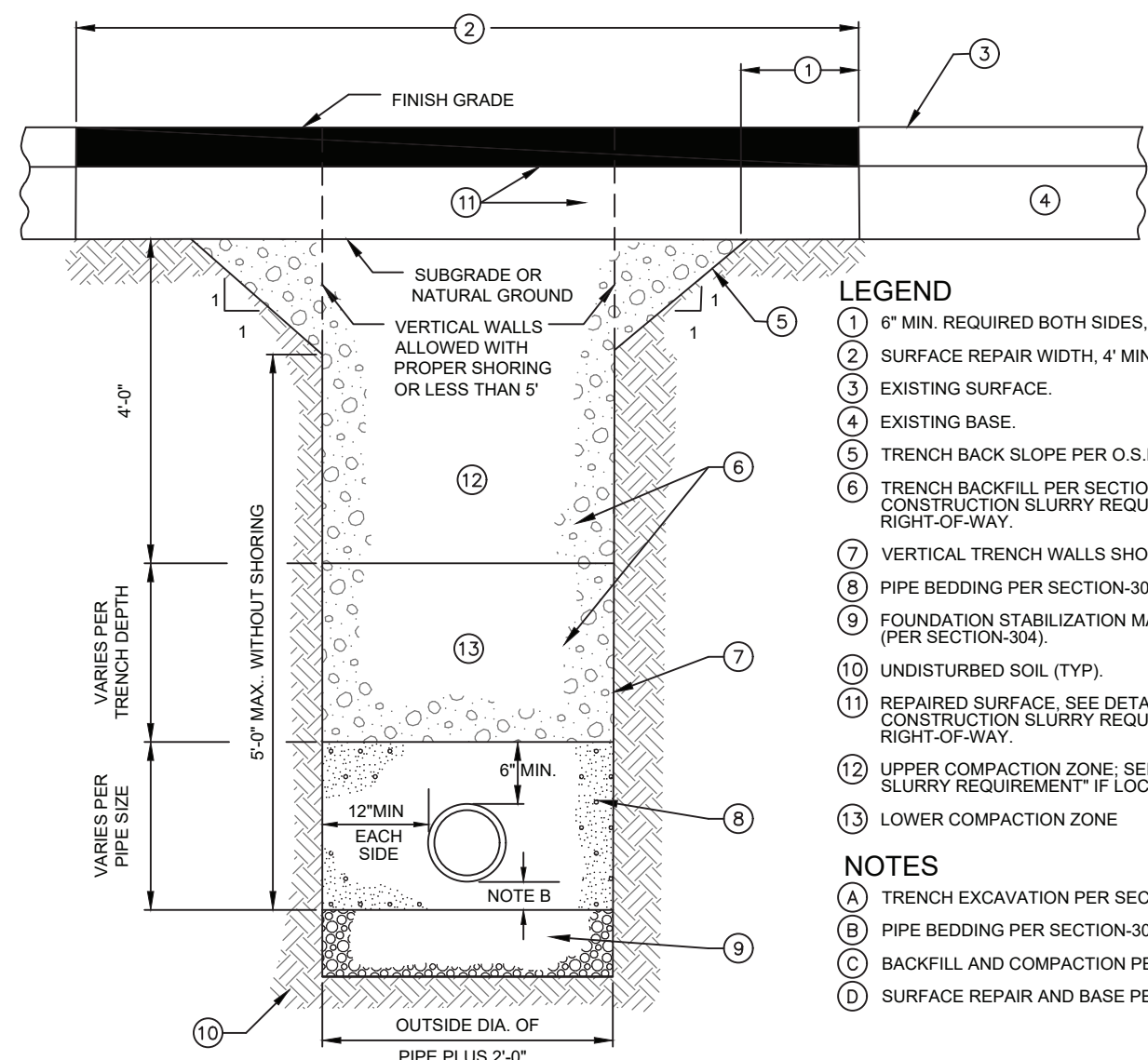


DESIGNED BY
CT
DRAWN BY
SMF
CHECKED BY

GALENA
ENGINEERING, INC.
Civil Engineers & Land Surveyors
317 N. River Street
Halley, Idaho 83333
(208) 768-1705
email: galena@galena-engineering.com

NO.	DATE	BY	REVISIONS

PDR2.01



- LEGEND**
- 6" MIN. REQUIRED BOTH SIDES, SAWCUT REQUIRED.
 - SURFACE REPAIR WIDTH, 4" MINIMUM.
 - EXISTING SURFACE.
 - EXISTING BASE.
 - TRENCH BACK SLOPE PER O.S.H.A. OR SUITABLE SHORING.
 - TRENCH BACKFILL PER SECTION-306, OR SEE "KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT" IF LOCATED WITHIN PUBLIC RIGHT-OF-WAY.
 - VERTICAL TRENCH WALLS SHORING PER O.S.H.A.
 - PIPE BEDDING PER SECTION-305 (SEE SD-302).
 - FOUNDATION STABILIZATION MAY VARY PER SOIL TYPE AND STABILITY (PER SECTION-304).
 - UNDISTURBED SOIL (TYP)
 - REPAIRED SURFACE. SEE DETAILS 1 AND 2. SEE "KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT" IF LOCATED WITHIN PUBLIC RIGHT-OF-WAY.
 - UPPER COMPACTION ZONE. SEE "KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT" IF LOCATED WITHIN PUBLIC RIGHT-OF-WAY.
 - LOWER COMPACTION ZONE.

- NOTES**
- TRENCH EXCAVATION PER SECTION-301.
 - PIPE BEDDING PER SECTION-305.
 - BACKFILL AND COMPACTION PER SECTION-306.
 - SURFACE REPAIR AND BASE PER DETAIL 3/C20.

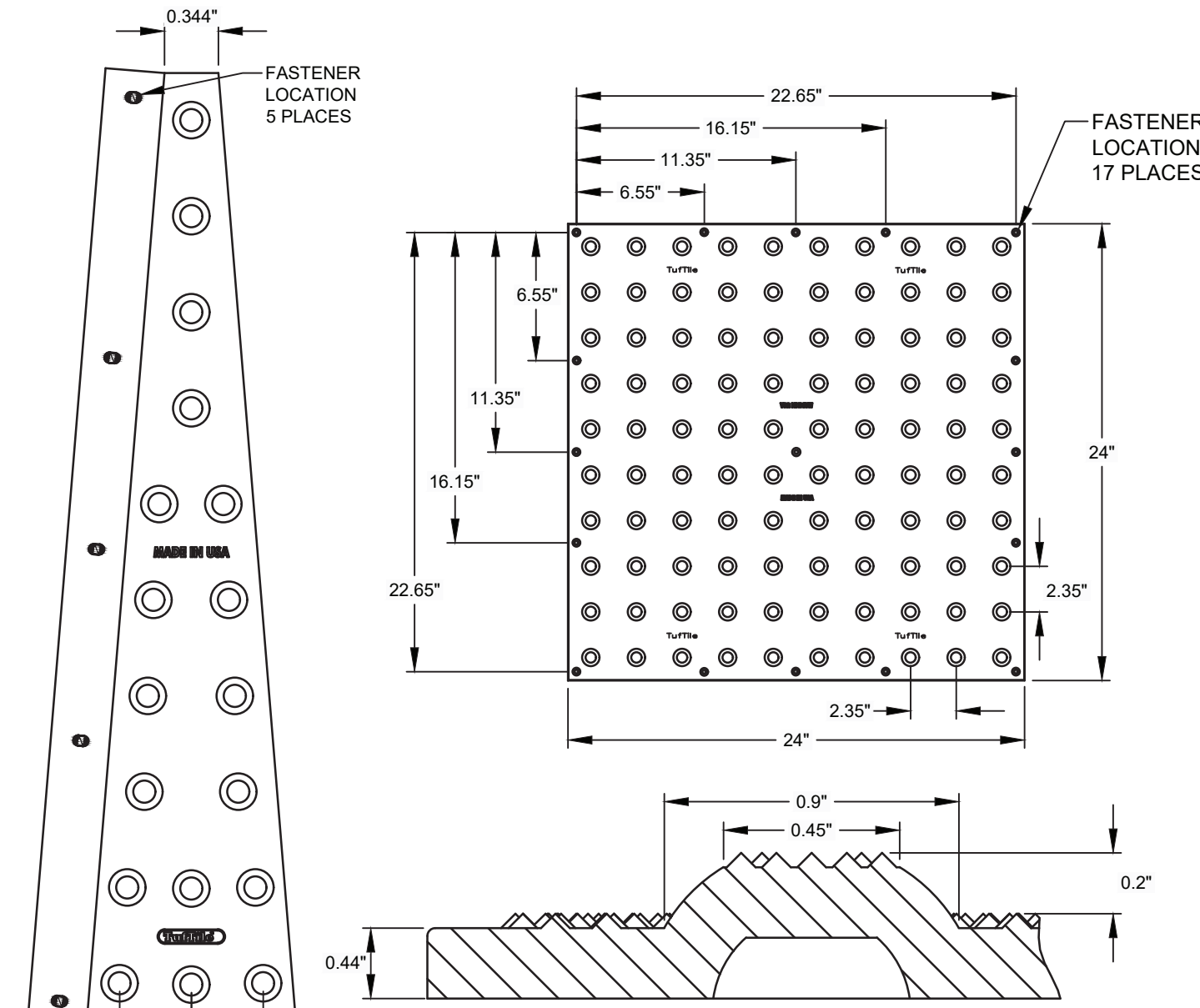
KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT
 IN AREAS WHERE IT IS NECESSARY TO CUT THE ASPHALT PAVEMENT AND DIG A TRENCH FOR BURIAL OF CONDUIT CABLE OR OTHER CITY UTILITY, THE TRENCH SHALL BE BACKFILLED WITH A LEAN CONCRETE MIX TO THE BOTTOM OF FINISH SURFACE MATERIAL WITH THE FOLLOWING PROPORTIONS OF MATERIALS:

COARSE AGGREGATE (1/2" MINUS)	2,600 LBS
SAND	800 LBS
PORTLAND CEMENT	94 LBS
WATER	11 GAL. (MAX.)

WATER CONTENT IS MAXIMUM AND MAY BE REDUCING DOWNWARD. CARES SHALL BE TAKEN TO ASSURE THAT EXCESS WATER IS NOT PRESENT IN THE MIXING DRUM PRIOR TO CHARGING THE MIXER WITH MATERIALS. THOROUGH MIXING WILL BE REQUIRED PRIOR TO DISCHARGE.

NO COMPACTION, VIBRATION OR FINISHING IS REQUIRED. THE LEAN CONCRETE MIX SHALL BE STRUCK OFF AT OR BELOW THE ELEVATION OF THE PLANT MIX SURFACING WITH A SQUARE SHOVEL OR SIMILAR HAND TOOL. THE BACKFILL MIX SHALL BE ALLOWED TO SET FOR A MINIMUM OF 2 HOURS BEFORE THE PERMANENT PLANT MIX SURFACING IS PLACED TO COMPLETE THE TRENCH REPAIR. TEMPORARY PLACEMENT OF ASPHALT COLD MIX SURFACING MAY BE NECESSARY TO ACCOMMODATE TRAFFIC WITHIN THE FIRST 2 HOURS OF BACKFILL PLACEMENT PRIOR TO COMPLETING THE PERMANENT REPAIR.

1
C2.02 **TYPICAL TRENCH SECTION**
 N.T.S.

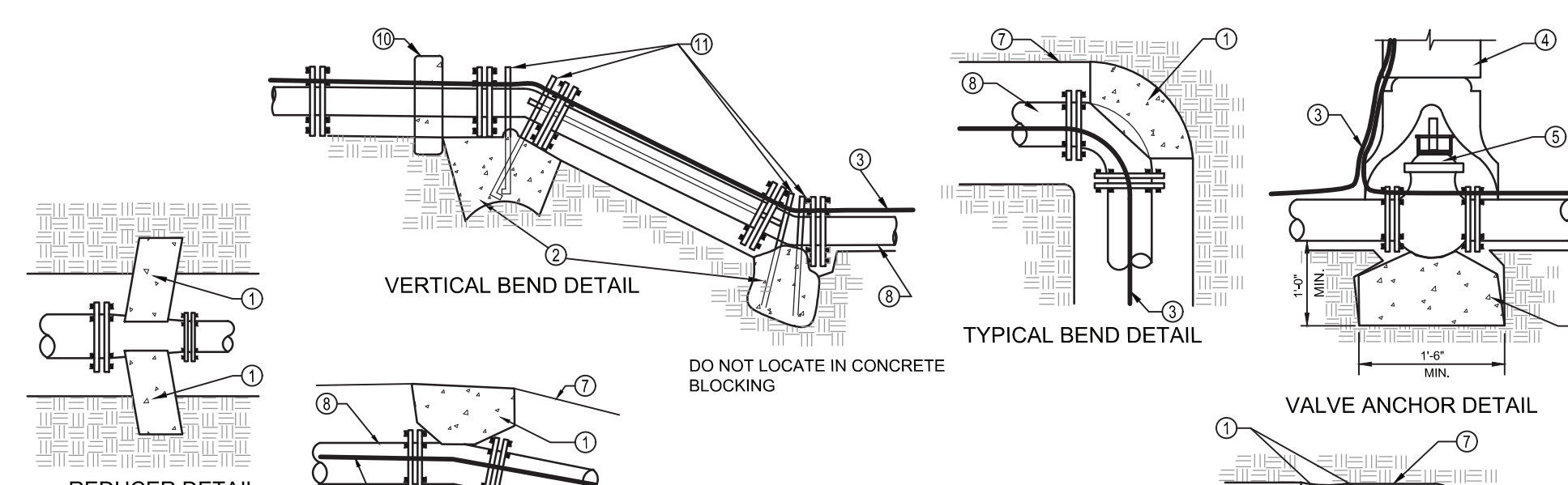


- NOTES:**
- DETECTABLE WARNING TILES SHALL BE TUFITILE (CAST IRON & WET SET) OR APPROVED EQUAL.
 - REFER TO DETAIL 8.
 - COLOR TO BE PATINA (NO FINISH).

2
C2.02 **DETECTABLE WARNING PLATE**
 N.T.S.

- NOTES:**
- BASES SHALL BE INSTALLED TO BE FLUSH WITH SURFACE.
 - ALL INSTALLATIONS SHALL HAVE 14" Ø MINIMUM FOUNDATION OR GROUDED INTO SOLID ROCK.
 - ALL STREET SIGNS SHALL BE IN ACCORDANCE WITH THE MOST CURRENT EDITION OF THE MUTCD.
 - SIGN PLACEMENT SHALL BE APPROVED BY THE CITY OF KETCHUM.
 - CITY TO PROVIDE BASES.

3
C2.02 **TYPICAL SIGN BASE**
 N.T.S.



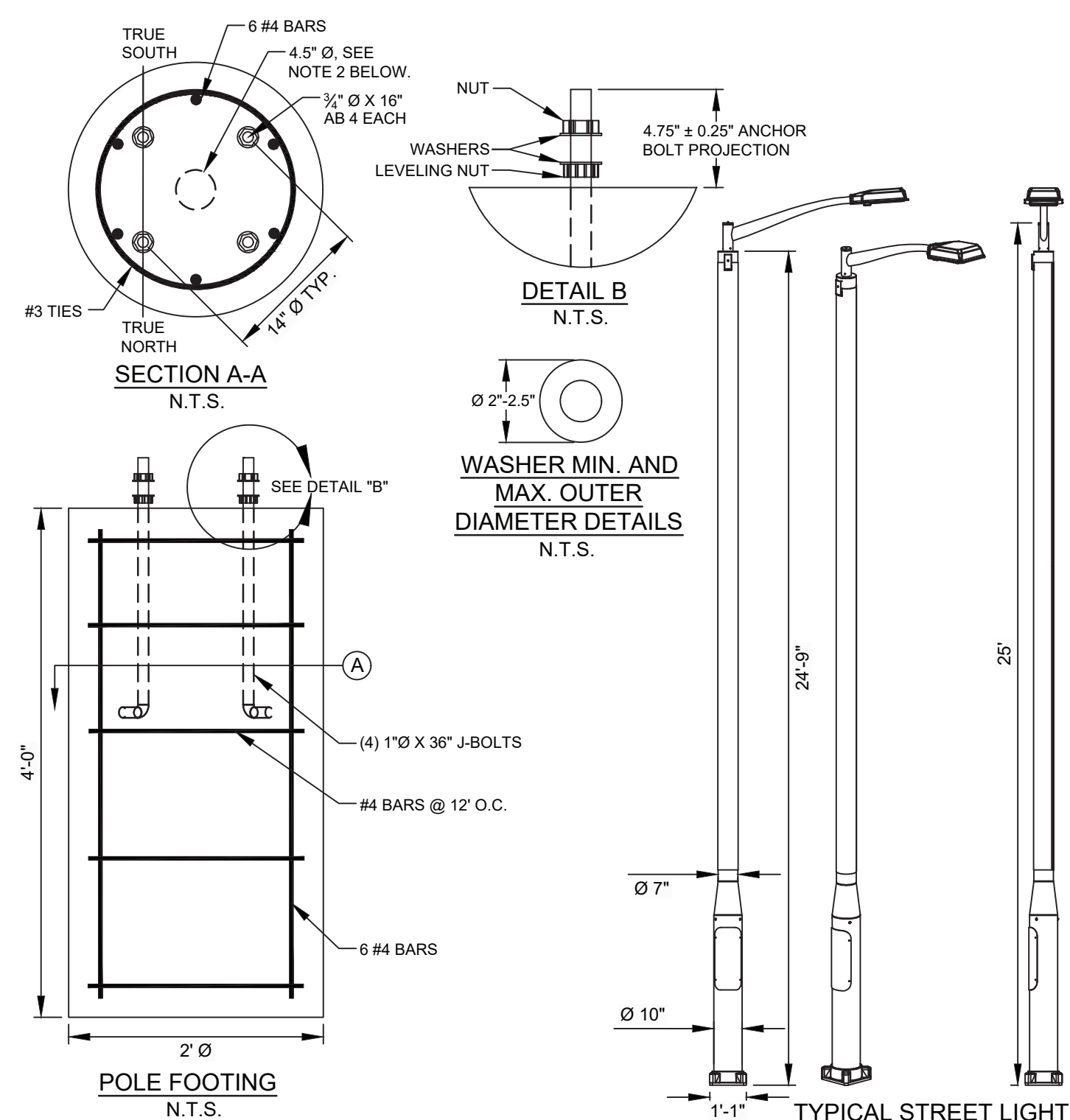
- LEGEND**
- FOR HORIZONTAL PIPE BENDS, BEARING THRUST BLOCKS MUST PROVIDE 2500 PSI CONCRETE POURED AGAINST UNDISTURBED EARTH PER TABLE 1.
 - FOR VERTICAL PIPE BENDS, GRAVITY THRUST BLOCKS MUST PROVIDE A VOLUME OF CONCRETE POURED AGAINST UNDISTURBED EARTH WHICH IS SIZED FOR EXPECTED FORCES WITH A MINIMUM 1.5 FACTOR OF SAFETY.
 - NO. 12 COPPER FINDER WIRE. SEE SD-514 FOR SPLICING.
 - C.I. VALVE BOX WITH COVER.
 - C.I. GATE VALVE (M.J.).
 - PRECAST BLOCK FOR CUT IN TEE AND VALVE OR CAST IN PLACE WITH 2-1/2" Ø MIN REBAR.
 - TRENCH SIDE.
 - PIPE.
 - PLUG.
 - HAMMERHEAD THRUST BLOCKING.
 - ANCHOR BARS (1/2" Ø MIN)

TABLE 1
 THRUST AREA FOR HORIZONTAL BENDS***

PIPE SIZE	MINIMUM SQUARE FEET OF THRUST AREA ONTO UNDISTURBED EARTH*			
	TEE, PLUG OF VALVE	90° BEND**	45° BEND**	22.5°, 11.25° BENDS OR REDUCER
3"	0.8	1.1	0.6	0.3
4"	1.4	2.0	1.1	0.6
6"	3.2	4.5	2.4	1.2
8"	5.7	8.0	4.3	2.2
10"	8.8	12.5	6.8	3.4
12"	12.7	18.0	9.7	5.0
14"	17.3	24.5	13.3	6.8
18"	22.6	32.0	17.3	8.8
18"	26.6	40.5	21.9	11.2

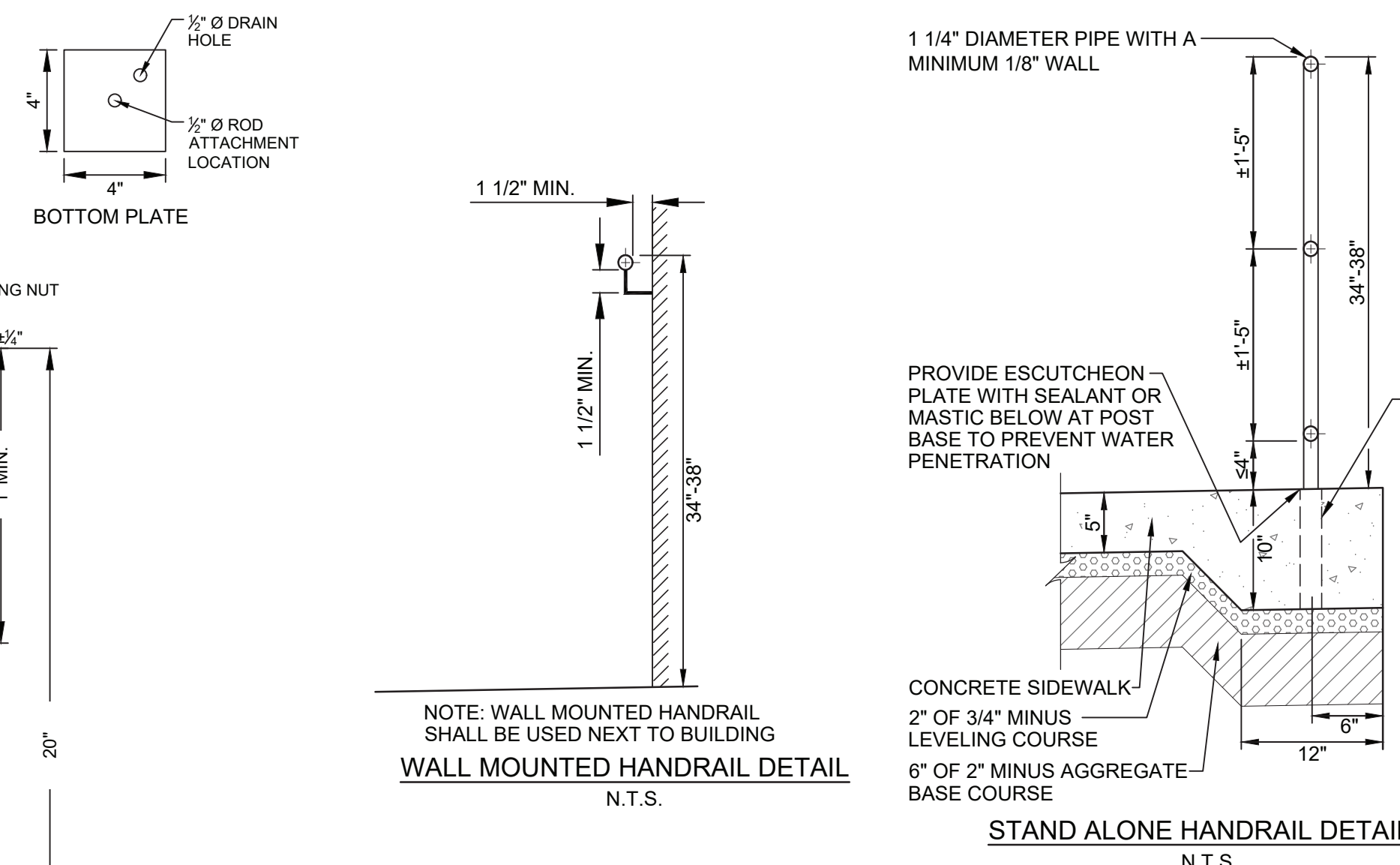
* MUST BE INCREASED BASED ON DIFFERENT CONDITIONS (HIGHER WORKING PRESSURE OR LOWER SOIL BEARING STRENGTH).
 ** OR TEE ACTING AS A 90° BEND
 *** THRUST BLOCK DEPTH TO BE A MINIMUM PF 12" FOR PIPE SIZES 3"-8" AND 18" FOR PIPE SIZES 10"-18" OR THE SQUARE ROOT OF THE REQUIRED BEARING AREA, WHICHEVER IS GREATER.

5
C2.02 **THRUST BLOCK AND ANCHOR DETAILS**
 N.T.S.

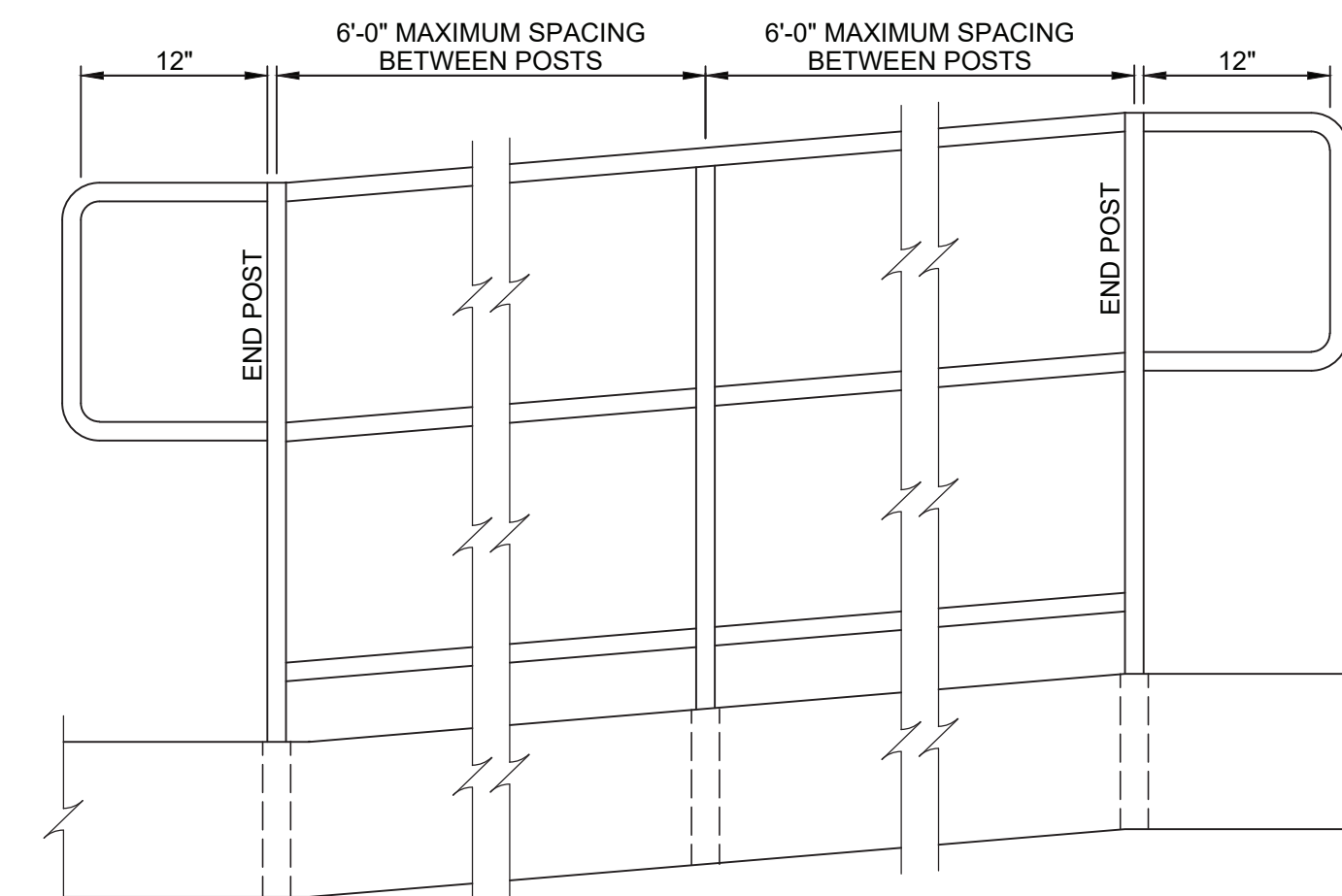


- NOTES:**
- STREET LIGHT IS SOLARONE RFS DESIGN 158 LFP OR APPROVED EQUAL.
 - ANY CONDUITS AND/OR GROUNDING WIRES MUST BE HARDWIRED AND CONTAINED WITHIN A 4.5" Ø CIRCLE CENTERED ON THE FOUNDATION. GROUNDING ELECTRODE WIRE (IF REQUIRED) ARE 5' MIN. ABOVE THE BASE.
 - ANCHOR BOLT ORIENTATION TO TRUE NORTH/SOUTH IS ONLY RELEVANT FOR OFF-GRID SOLAR POLES. DISREGARD FOR GRID-TIED POLES.
 - GROUNDING WIRE MUST BE 60" FROM BASE SO IT CAN REACH THE GROUNDING LUG INSIDE THE POLE.
 - STREET LIGHT SHALL BE 25' IN HEIGHT OR AS APPROVED BY CITY OF KETCHUM.

6
C2.02 **TYPICAL STREET LIGHT**
 N.T.S.

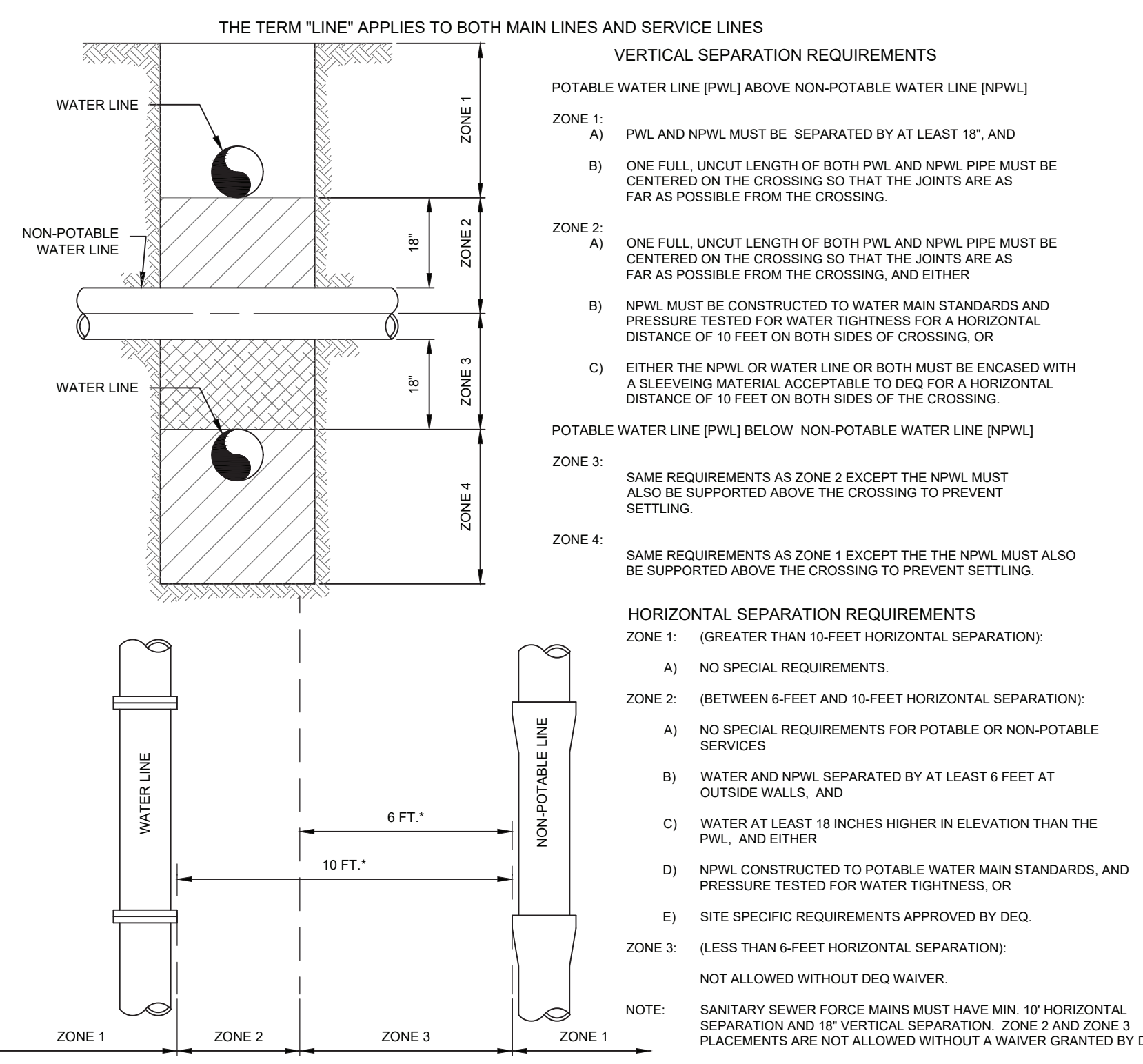


NOTE: WALL MOUNTED HANDRAIL SHALL BE USED NEXT TO BUILDING
WALL MOUNTED HANDRAIL DETAIL
 N.T.S.



- NOTES:**
- HANDRAIL SHALL BE PAINTED. PAINT SPECIFICATIONS PER OWNER.
 - CLEAR WIDTH: THE CLEAR WIDTH OF A RAMP RUN AND, WHERE HANDRAILS ARE PROVIDED, THE CLEAR WIDTH BETWEEN HANDRAILS SHALL BE 36 INCHES MINIMUM PER ADA REQUIREMENTS (405.5)

4
C2.02 **TYPICAL HANDRAIL DETAIL**
 N.T.S.



7
C2.02 **POTABLE AND NON-POTABLE WATER LINE (NPWL) SEPARATION**
 N.T.S.

COVER AND DETAIL SHEET
BLUEBIRD VILLAGE
(480 N EAST AVE)

LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
 PREPARED FOR GMD DEVELOPMENT, LLC
 PROJECT INFORMATION
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DESIGNED BY
 CT
 DRAWN BY
 SMF
 CHECKED BY

GALENA
 ENGINEERING, INC.
 Civil Engineers & Land Surveyors
 317 N. River Street
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 email: galena@galena-engineering.com
 (208) 768-1705

PURPOSE: ISSUE FOR INTERNAL REVIEW

NO.	DATE	BY	REVISIONS

PDR2.02

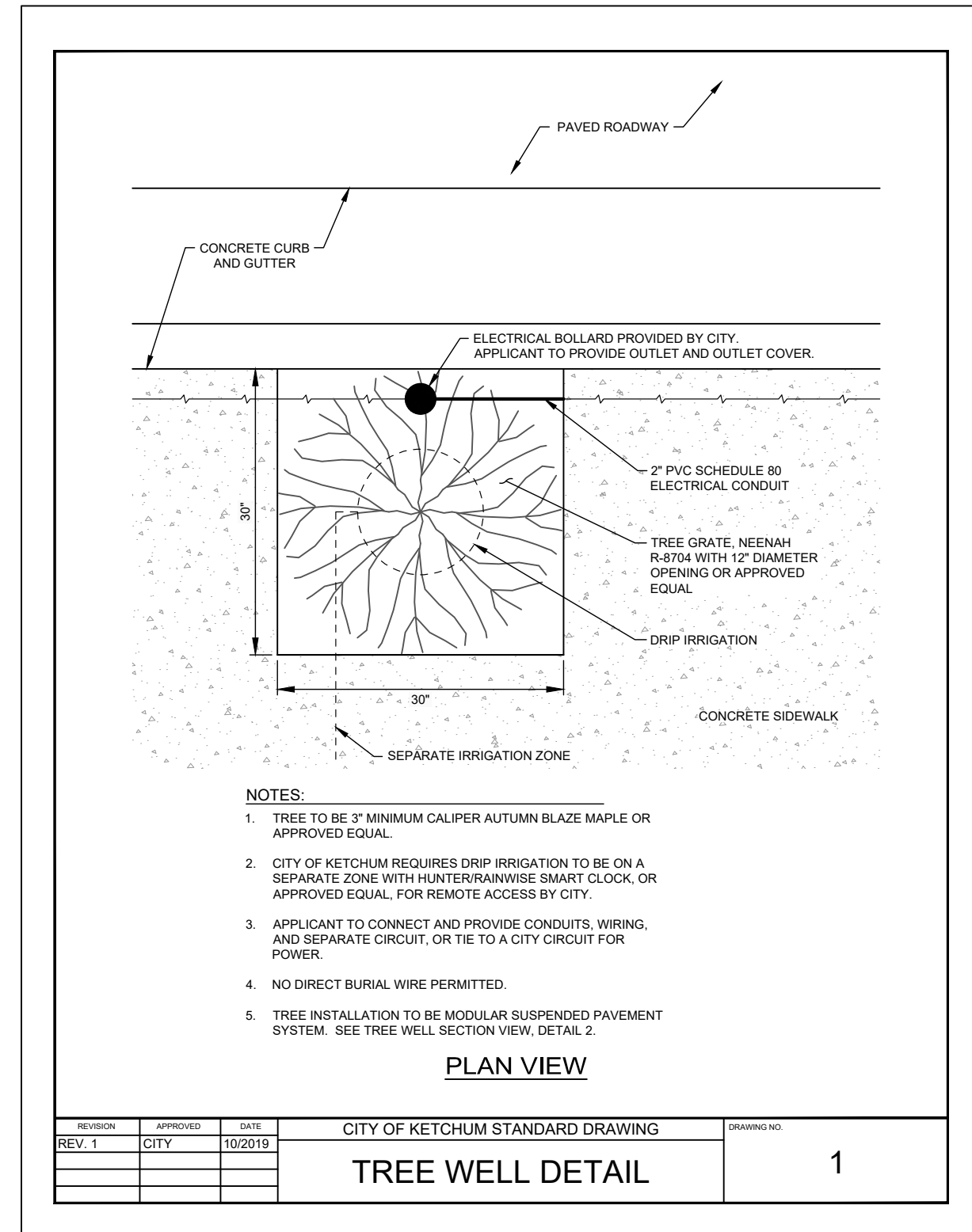


SHEET LEGEND	
SYMBOL	DESCRIPTION
---	Property Line
---	Setbacks / Easements
---	2" Irrigation Sleeve
---	Concrete Walkway
---	Planters - See Architect Drawings
---	U-Frame Bike Rack (5)
○	Tree Grate (11)
○	Street Trees in Tree Grate (per City of Ketchum code)

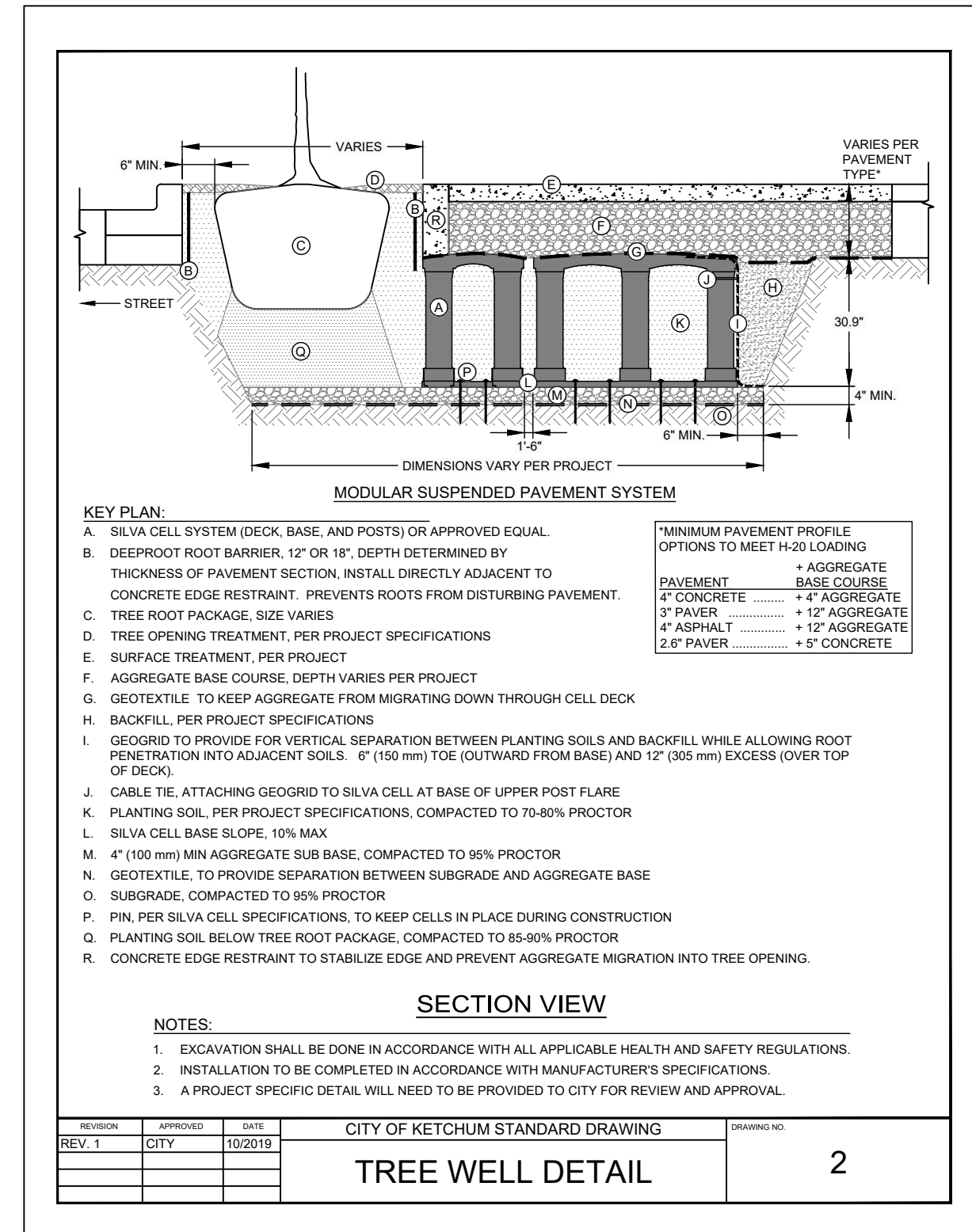
- GENERAL NOTES:**
1. GRADING PER CIVIL ENGINEER
 2. ALL IRRIGATION, ON-SITE, TO BE DRIP IRRIGATED

IRRIGATION SCHEDULE		
AREA DESCRIPTION	IRRIGATION TYPE	ZONE
On Site Planters	Buried Drip Irrigation	1
Street Trees	Buried Drip Irrigation	2

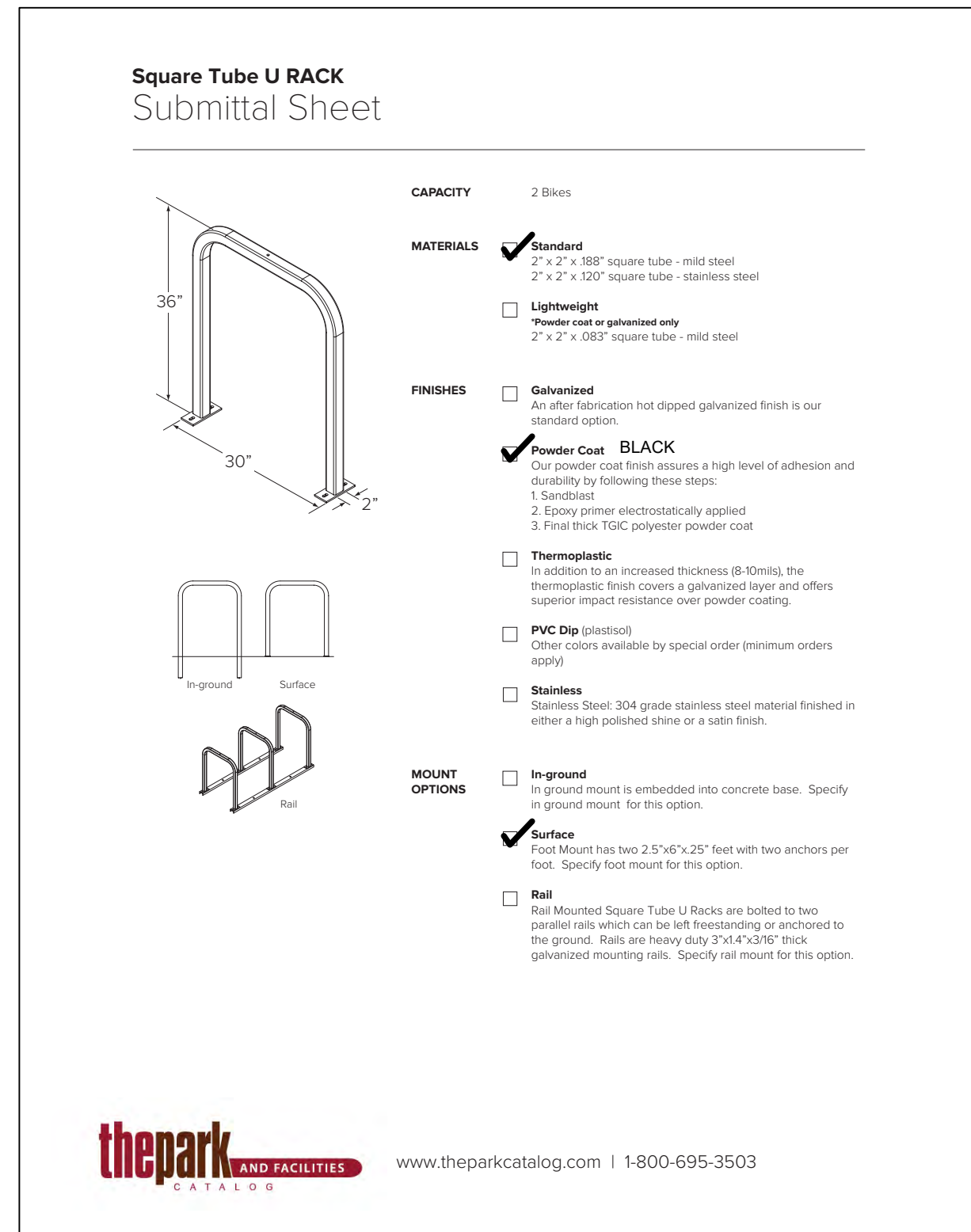
PLANT SCHEDULE STREETScape					
TREES					
ABBRV	QTY.	SIZE	BOTANICAL NAME	COMMON NAME	SPACING
27	11	3" CAL.	Acer freemantii	Red Maple	PER PLAN
PERENNIALS					
ABBRV	QTY.	SIZE	BOTANICAL NAME	COMMON NAME	SPACING
420	92	1 GAL.	VARIOUS		18" G.C.



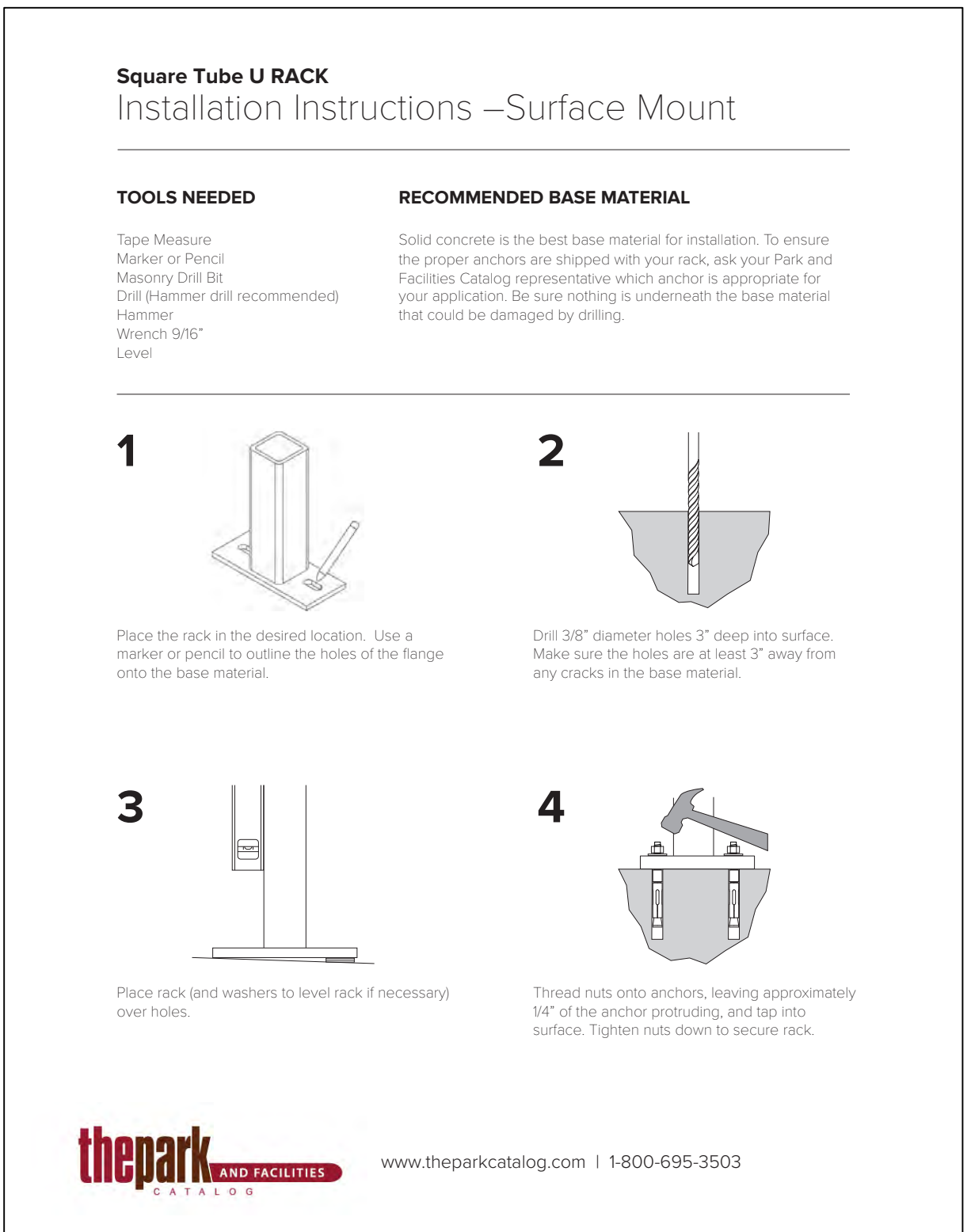
1 CITY OF KETCHUM TREE WELL
Scale: NTS



2 CITY OF KETCHUM TREE WELL
Scale: NTS



3 BIKE RACK
Scale: NTS



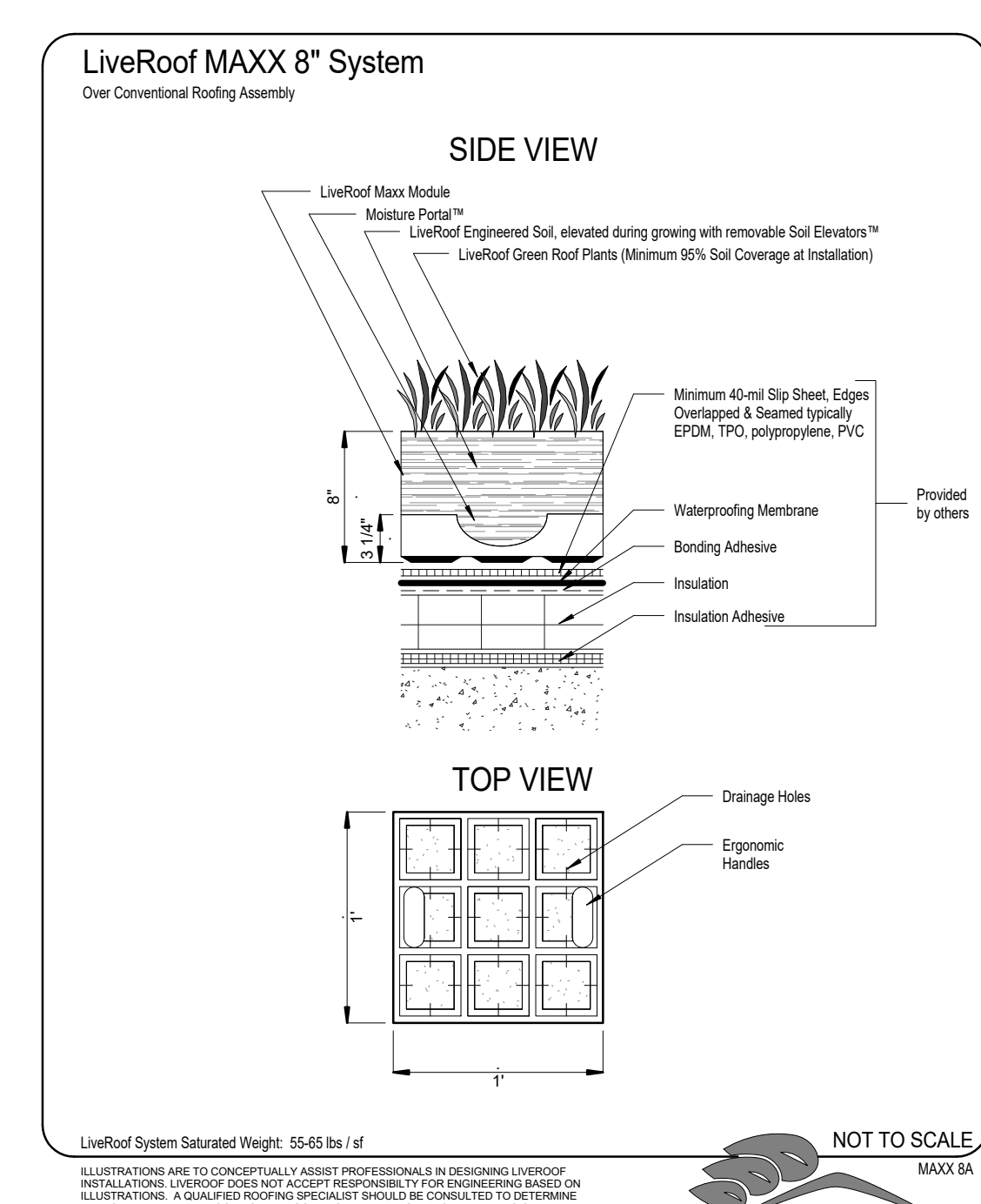
3 BIKE RACK
Scale: NTS

SHEET LEGEND	
SYMBOL	DESCRIPTION
	Property Line
	Setbacks / Easements
	Planters - See Architect Drawings

- GENERAL NOTES:**
1. GRADING PER CIVIL ENGINEER
 2. ALL IRRIGATION, ON-SITE, TO BE DRIP IRRIGATED

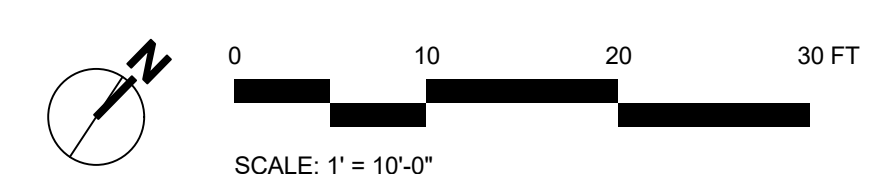
IRRIGATION SCHEDULE		
AREA DESCRIPTION	IRRIGATION TYPE	ZONE
Live Roof Planters	Buried Drip Irrigation	1

PLANT SCHEDULE SECOND LEVEL					
PERENNIALS					
ABBRV	QTY.	SIZE	BOTANICAL NAME	SPACING	
	2,070	50 FT	1 GAL	VARIOUS	18" O.C.



LiveRoof, LLC
P.O. Box 253
Spring Lake, MI 49456
(800) 875-1392
www.liveroof.com

1 LIVE ROOF SYSTEM
Scale: NTS



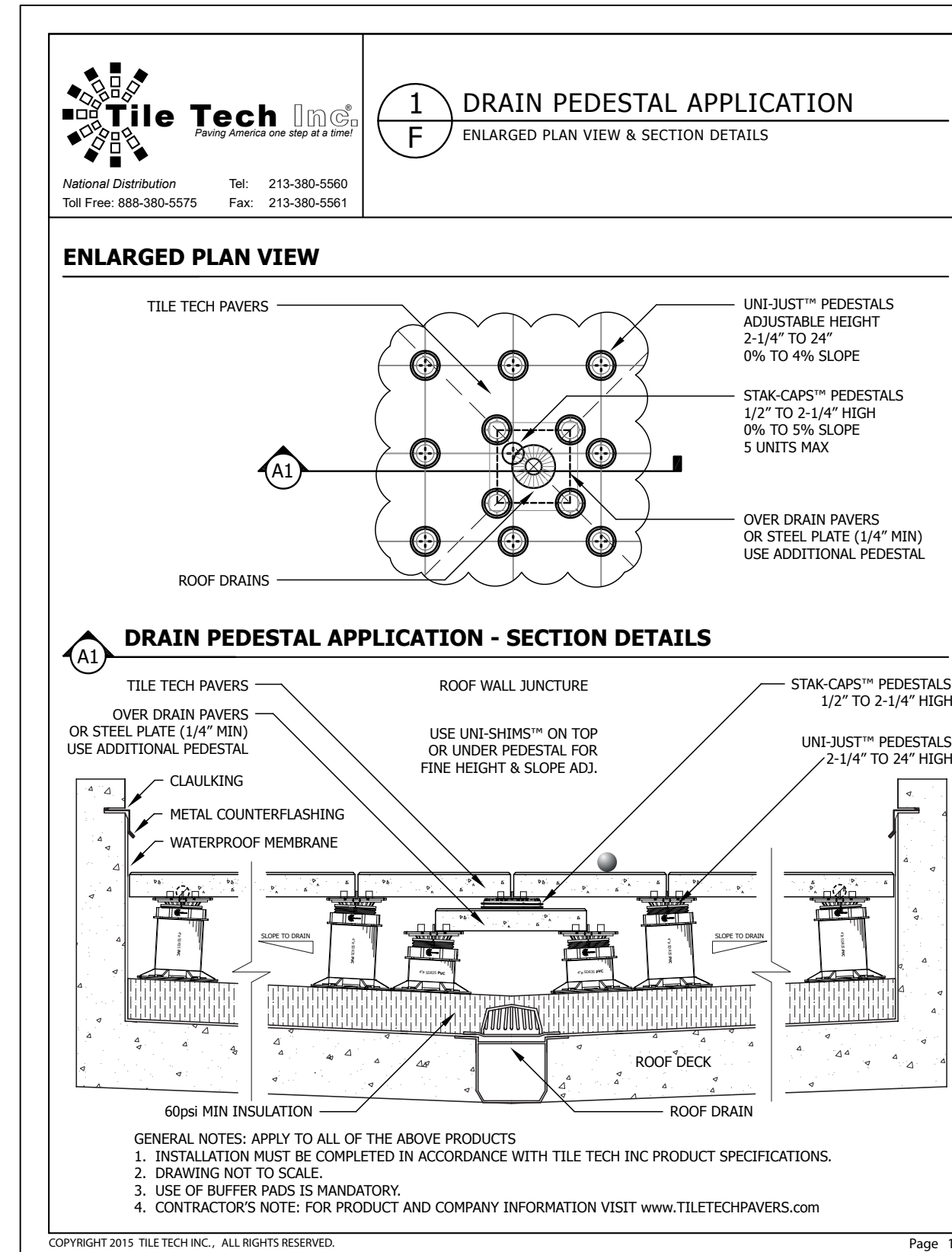


SHEET LEGEND	
SYMBOL	DESCRIPTION
---	Property Line
- - - -	Setbacks / Easements
[Grid Pattern]	Pedestal Pavers
[Green Hatched]	Planters - See Architect Drawings
[Green Circle]	Landscape - Tree

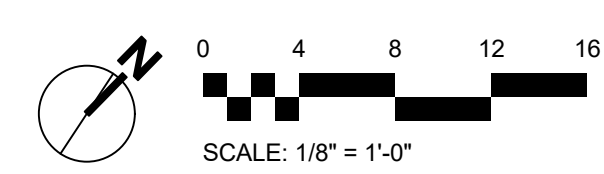
- GENERAL NOTES:**
1. GRADING PER CIVIL ENGINEER
 2. ALL IRRIGATION, ON-SITE, TO BE DRIP IRRIGATED

IRRIGATION SCHEDULE		
AREA DESCRIPTION	IRRIGATION TYPE	ZONE
Raised Planters	Buried Drip Irrigation	1

PLANT SCHEDULE FOURTH FLOOR DECK					
TREES					
ABBRV	QTY.	SIZE	BOTANICAL NAME	COMMON NAME	SPACING
AF	6	3" CAL	Acer freemanii	Red Maple	PER PLAN
PERENNIALS					
ABBRV	QTY.	SIZE	BOTANICAL NAME	COMMON NAME	SPACING
	880 SQ FT	1 GAL	VARIOUS		18" O.C.



1 TILE TECH - DRAIN PEDESTAL APPLICATION
Scale: NTS

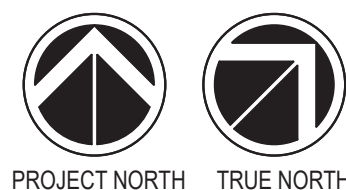
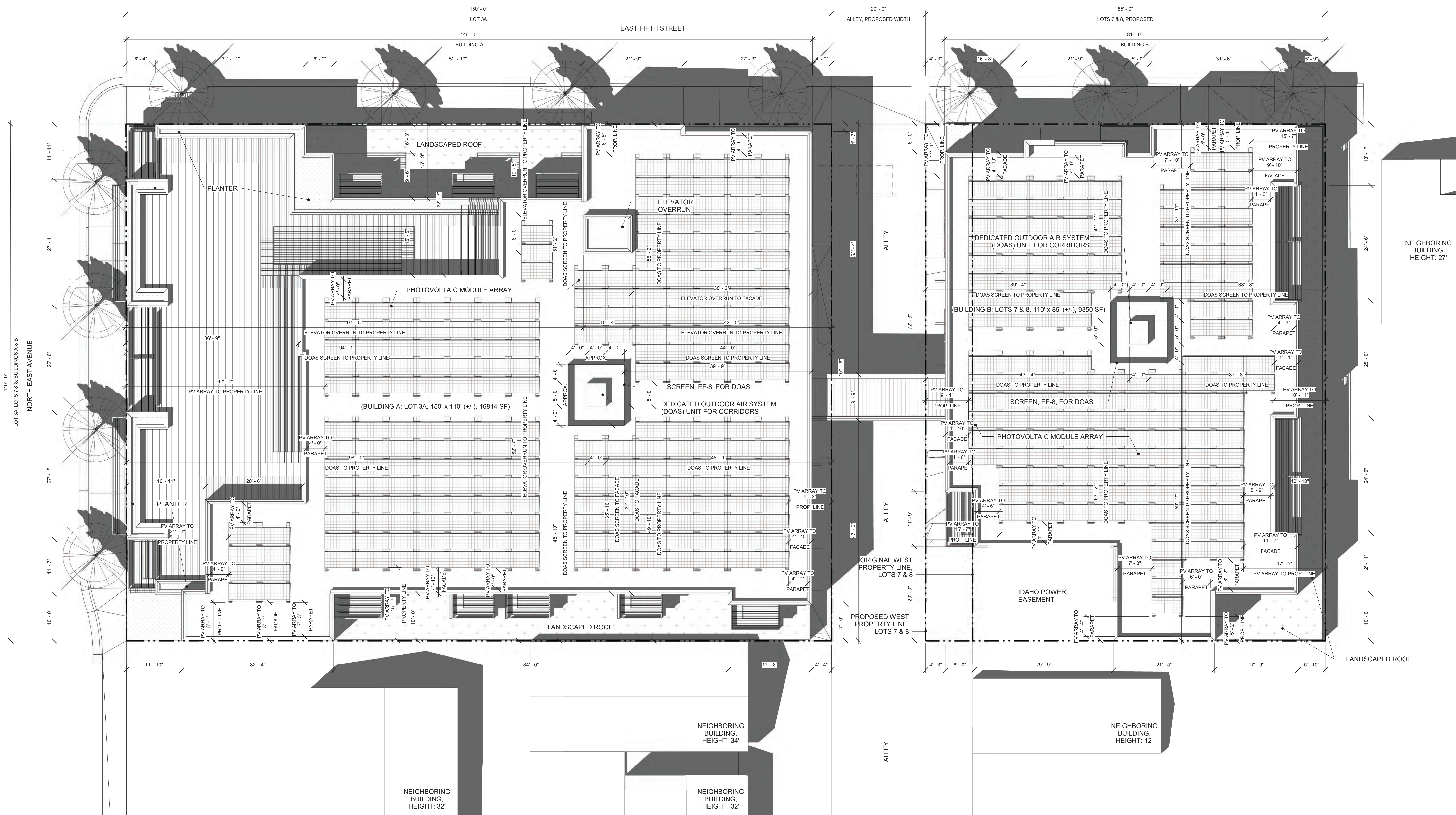


PRE-APPLICATION DESIGN REVIEW
BLUEBIRD VILLAGE
480 N. EAST AVE. | KETCHUM, ID 83340

FILENAME: Bluebird.vwx
PROJECT MANAGER: CG
DRAWN BY: TP
ISSUE DATE: 04.09.2021
PLOT DATE: 4/9/21 4:10:13

FOURTH FLOOR PATIO OVERVIEW

SHEET NO.
PDR L1.04



PROPOSED ARCHITECTURAL SITE PLAN

12:45 PM, JUNE 21, 2021

SITE DIMENSIONS & AREAS

LOT 3A: 110' x 150' (+/-) = 16814 SF
 LOTS 7 & 8: 110' x 85' (+/-) = 9350 SF
 TOTAL: 26164 SF

USE & OCCUPANCY CLASSIFICATION

- RESIDENTIAL GROUP R-2
- BUSINESS GROUP B
- STORAGE GROUP S-2
- ASSEMBLY GROUP A-3

SNOW STORAGE CALCULATION

NO VIABLE ON-SITE SNOW STORAGE AREAS. SNOW MANAGEMENT TO BE ACCOMPLISHED BY SNOWMELT AND HAULING OFF-SITE.

ZONING

ZONING: CC-1 COMMUNITY CORE, RETAIL

CONSTRUCTION TYPE

CONSTRUCTION TYPE: TYPE V-A

BUILDING AREA

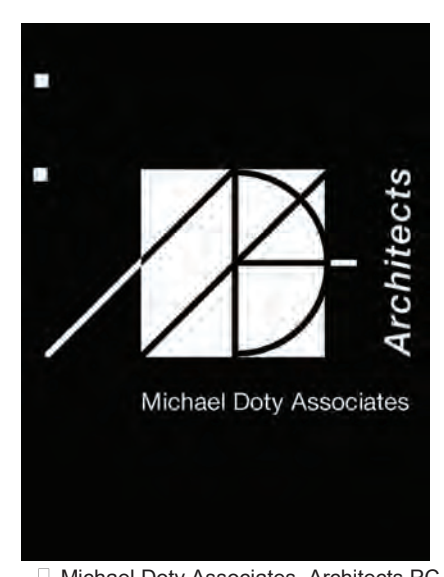
BUILDING AREA (GROSS): 60038 SF

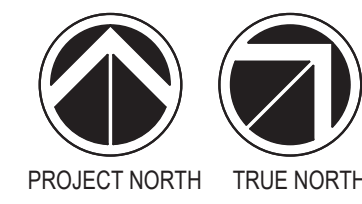
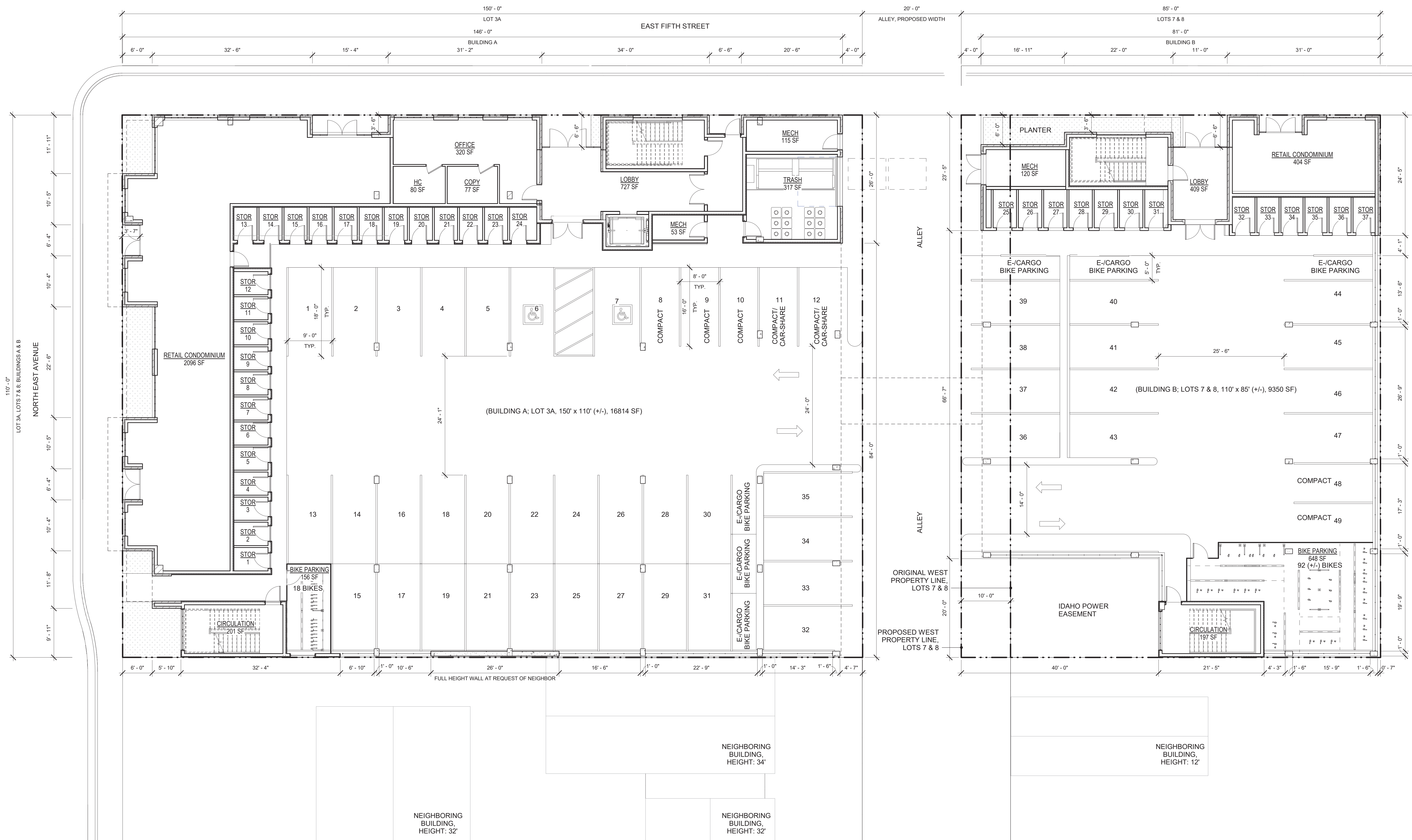
SCALE: 1/8" = 1'-0"

BLUEBIRD VILLAGE

480 N. EAST AVE.
 KETCHUM, ID 83340

PRE-APPLICATION DESIGN REVIEW
 4/12/2021





PROPOSED ARCHITECTURAL SITE PLAN - GROUND LEVEL

SITE DIMENSIONS & AREAS

LOT 3A: 110' x 150' (+/-) = 16814 SF
 LOTS 7 & 8: 110' x 85' (+/-) = 9350 SF
 TOTAL: 26164 SF

USE & OCCUPANCY CLASSIFICATION

BUSINESS GROUP B

STORAGE GROUP S-2

SNOW STORAGE CALCULATION

NO VIABLE ON-SITE SNOW STORAGE AREAS. SNOW MANAGEMENT TO BE ACCOMPLISHED BY SNOWMELT AND HAULING OFF-SITE.

SCALE: 1/8" = 1'-0"

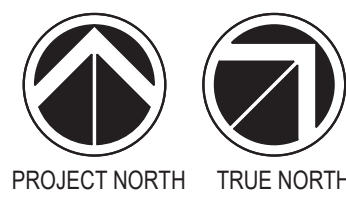
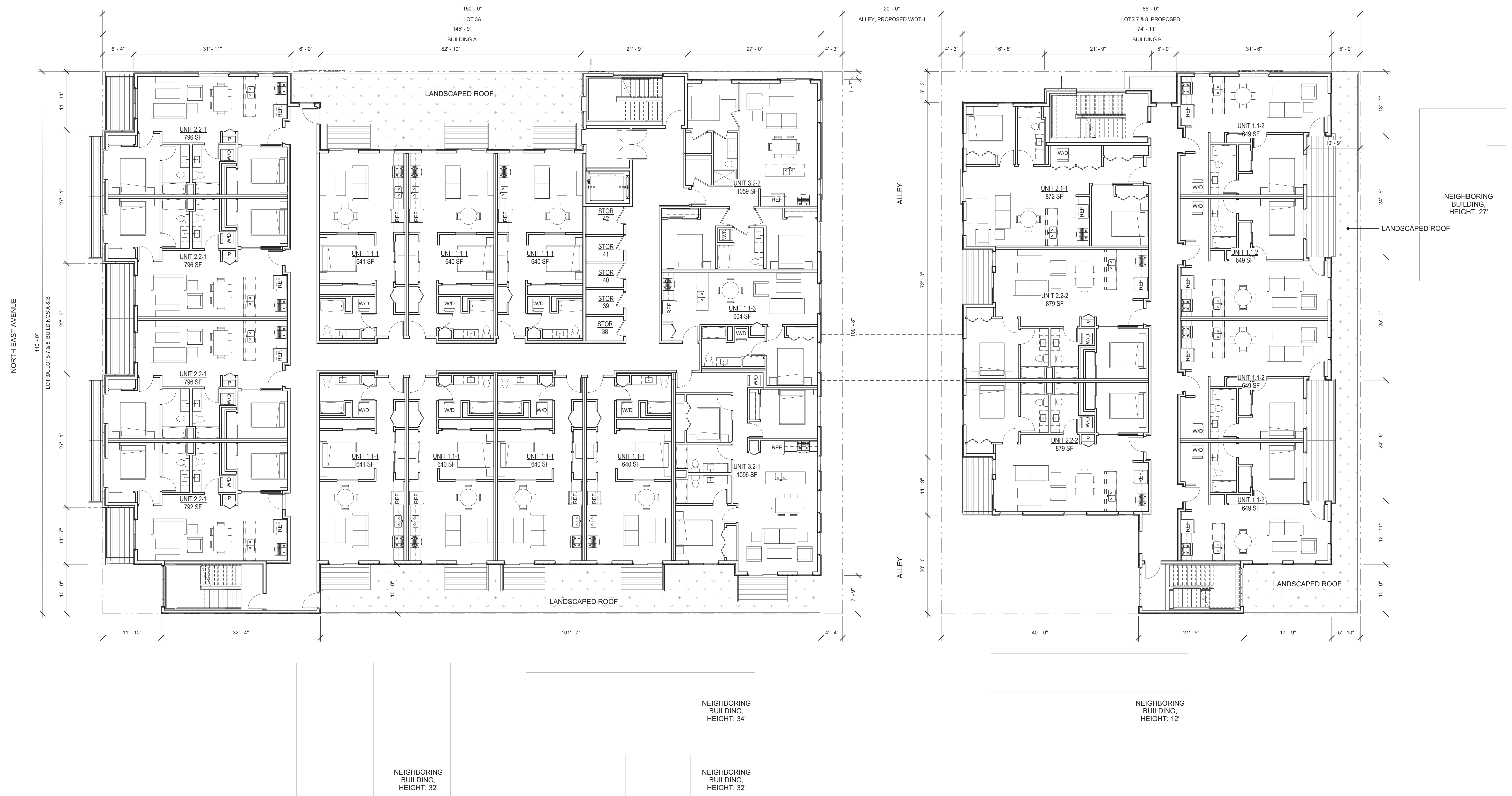
BLUEBIRD VILLAGE

480 N. EAST AVE.
 KETCHUM, ID 83340

PRE-APPLICATION DESIGN REVIEW
 4/12/2021



EAST FIFTH STREET



PROPOSED SECOND FLOOR PLAN

USE & OCCUPANCY CLASSIFICATION

RESIDENTIAL GROUP R-2
STORAGE GROUP S-2

RESIDENTIAL UNIT TYPE KEY

NUMBER OF BEDROOMS (PRIMARY DEFINITION OF TYPE)
NUMBER OF BATHROOMS (SECONDARY DEFINITION OF TYPE)
FLOOR PLAN TYPE & PREVALENCE IN PROJECT*
*PER TYPE: WHERE TYPES HAVE EQUAL NUMBERS OF DIFFERENT FLOOR PLANS, NUMBER DOES NOT NECESSARILY ALSO INDICATE PREVALENCE; 1 INDICATES MOST PREVALENT, 2 LESS PREVALENT, & SO ON

SCALE: 1/8" = 1'-0"

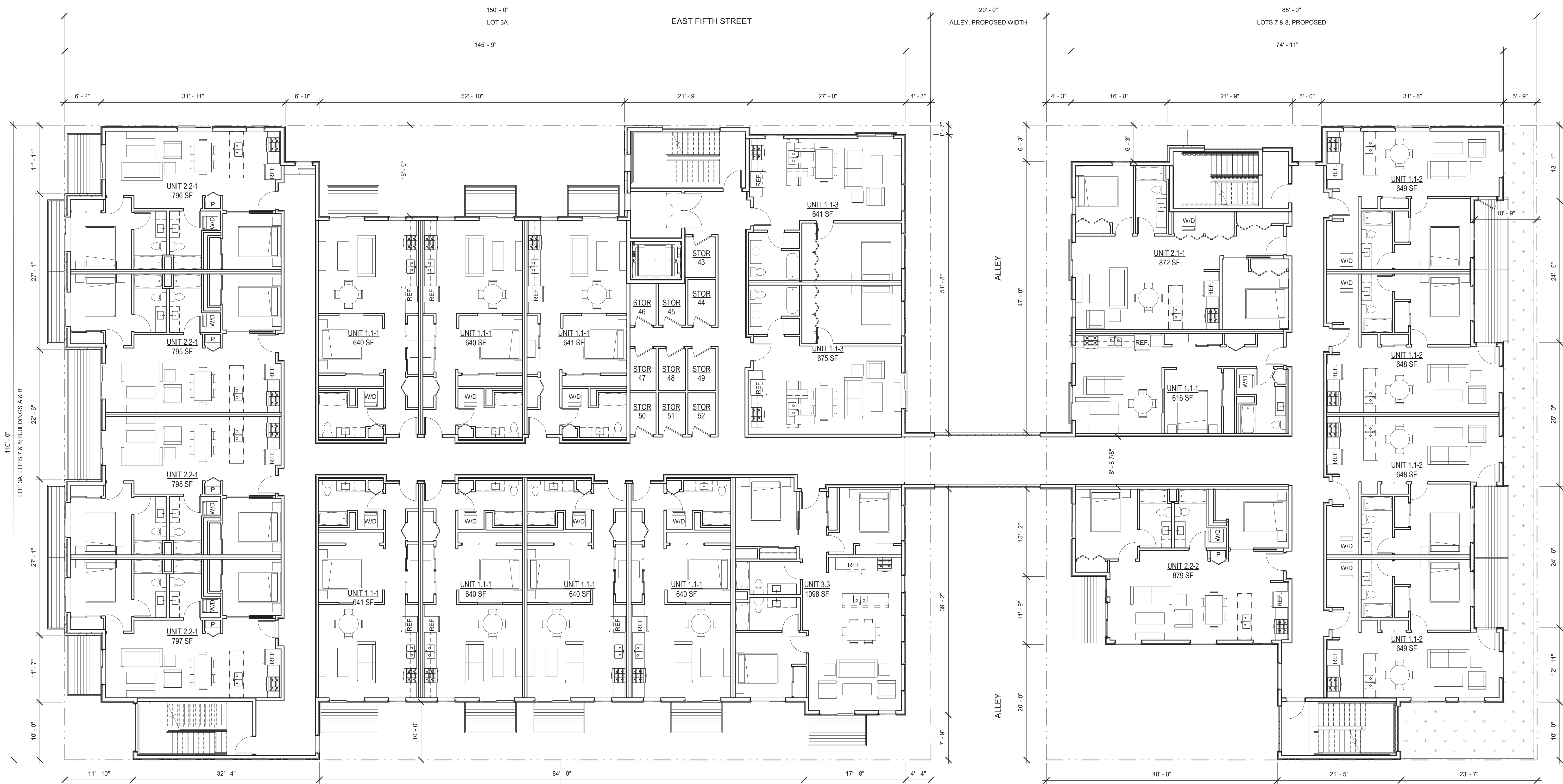
BLUEBIRD VILLAGE

480 N. EAST AVE.
KETCHUM, ID 83340

PRE-APPLICATION DESIGN REVIEW
4/12/2021



NORTH EAST AVENUE



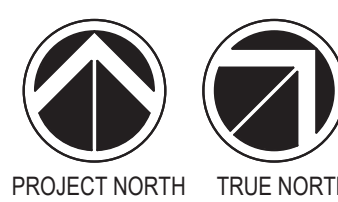
NEIGHBORING BUILDING, HEIGHT: 27'

NEIGHBORING BUILDING, HEIGHT: 34'

NEIGHBORING BUILDING, HEIGHT: 12'

NEIGHBORING BUILDING, HEIGHT: 32'

NEIGHBORING BUILDING, HEIGHT: 32'



PROPOSED THIRD FLOOR PLAN

USE & OCCUPANCY CLASSIFICATION

- RESIDENTIAL GROUP R-2
- STORAGE GROUP S-2

RESIDENTIAL UNIT TYPE KEY

NUMBER OF BEDROOMS (PRIMARY DEFINITION OF TYPE)
 NUMBER OF BATHROOMS (SECONDARY DEFINITION OF TYPE)
 FLOOR PLAN TYPE & PREVALENCE IN PROJECT*
 *PER TYPE: WHERE TYPES HAVE EQUAL NUMBERS OF DIFFERENT FLOOR PLANS, NUMBER DOES NOT NECESSARILY ALSO INDICATE PREVALENCE; 1 INDICATES MOST PREVALENT, 2 LESS PREVALENT, & SO ON

SCALE: 1/8" = 1'-0"

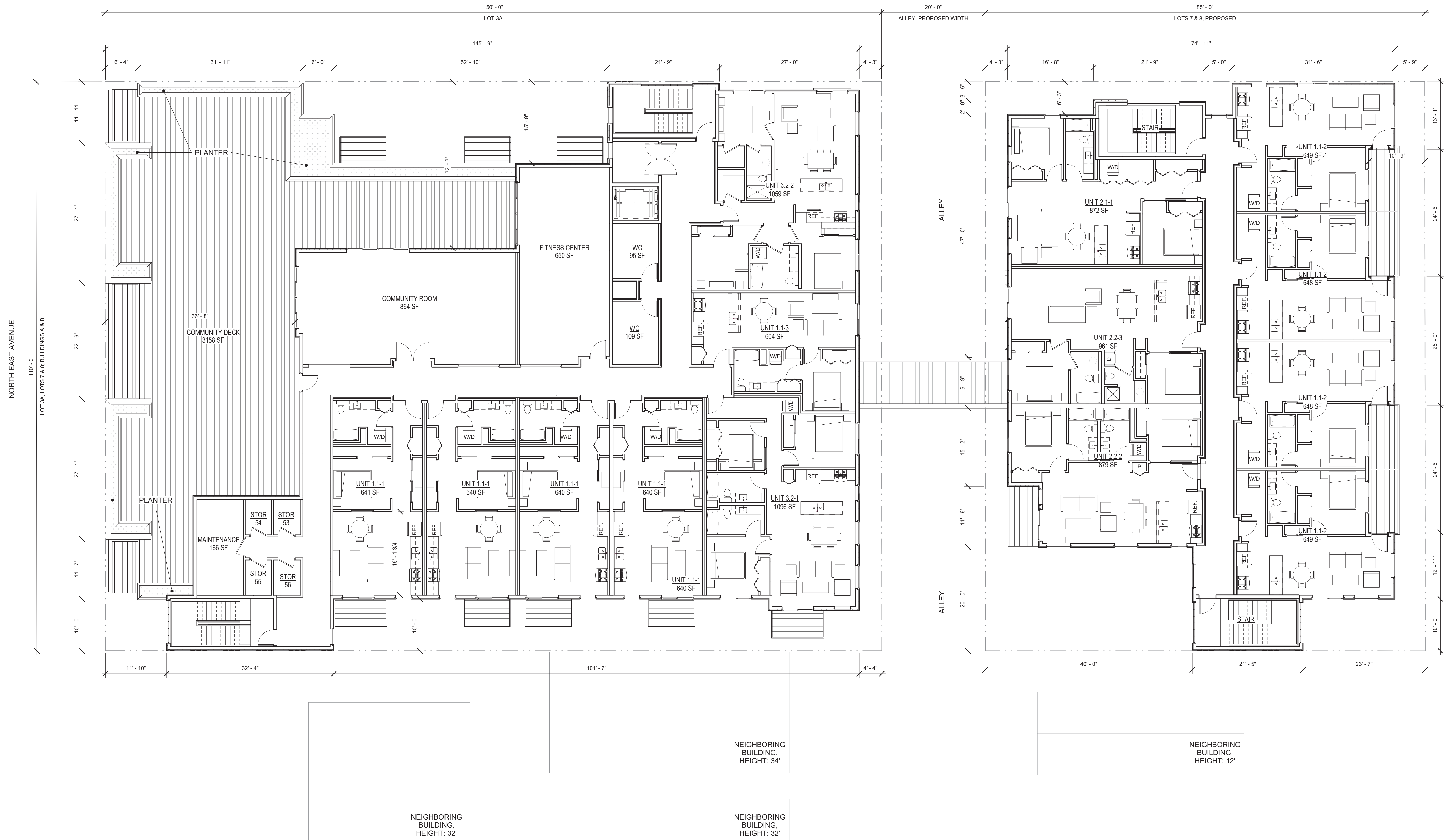
BLUEBIRD VILLAGE

480 N. EAST AVE.
KETCHUM, ID 83340

PRE-APPLICATION DESIGN REVIEW
4/12/2021



EAST FIFTH STREET



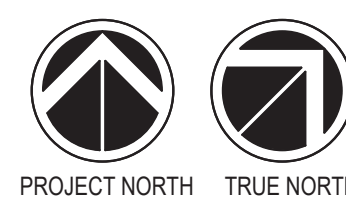
NEIGHBORING BUILDING, HEIGHT: 27'

NEIGHBORING BUILDING, HEIGHT: 34'

NEIGHBORING BUILDING, HEIGHT: 12'

NEIGHBORING BUILDING, HEIGHT: 32'

NEIGHBORING BUILDING, HEIGHT: 32'



PROPOSED FOURTH FLOOR PLAN

USE & OCCUPANCY CLASSIFICATION

RESIDENTIAL GROUP R-2

STORAGE GROUP S-2

ASSEMBLY GROUP A-3

RESIDENTIAL UNIT TYPE KEY

NUMBER OF BEDROOMS (PRIMARY DEFINITION OF TYPE) 1-1-1
 NUMBER OF BATHROOMS (SECONDARY DEFINITION OF TYPE) 1-1-1
 FLOOR PLAN TYPE & PREVALENCE IN PROJECT*
 *PER TYPE: WHERE TYPES HAVE EQUAL NUMBERS OF DIFFERENT FLOOR PLANS, NUMBER DOES NOT NECESSARILY ALSO INDICATE PREVALENCE; 1 INDICATES MOST PREVALENT, 2 LESS PREVALENT, & SO ON

SCALE: 1/8" = 1'-0"

BLUEBIRD VILLAGE

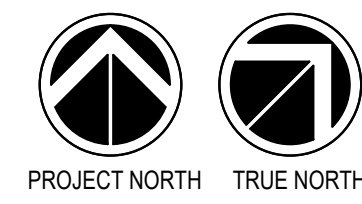
480 N. EAST AVE.
KETCHUM, ID 83340

PRE-APPLICATION DESIGN REVIEW
4/12/2021



Michael Doty Associates, Architects PC

P.D.R.1.04



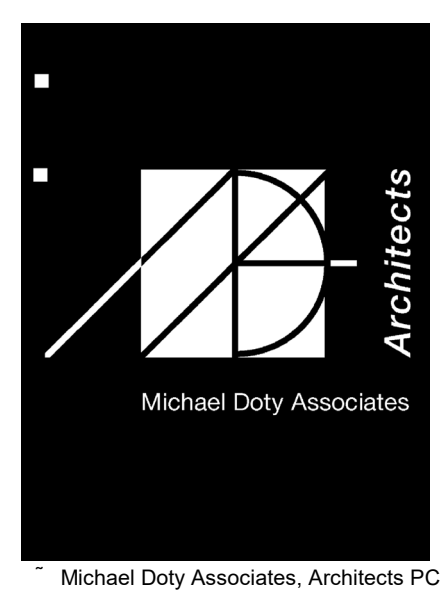
PROPOSED ROOF PLAN 9:00 AM, JUNE 21, 2021

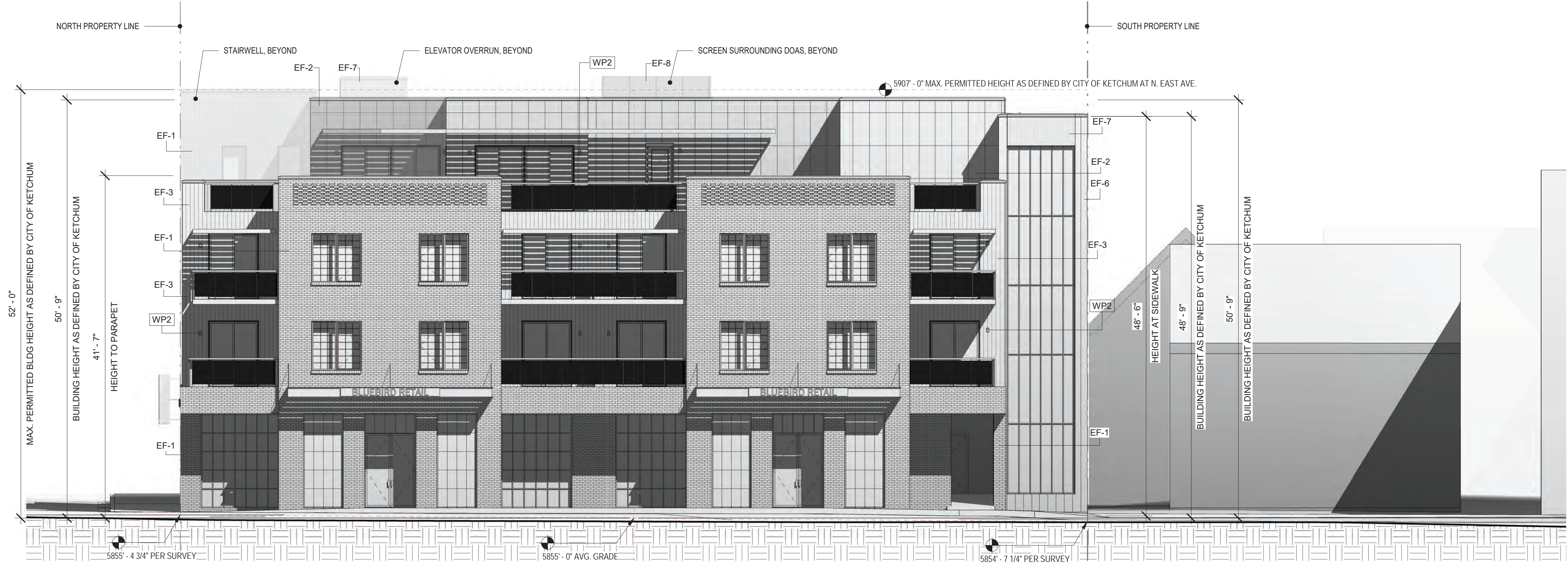
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BLUEBIRD VILLAGE

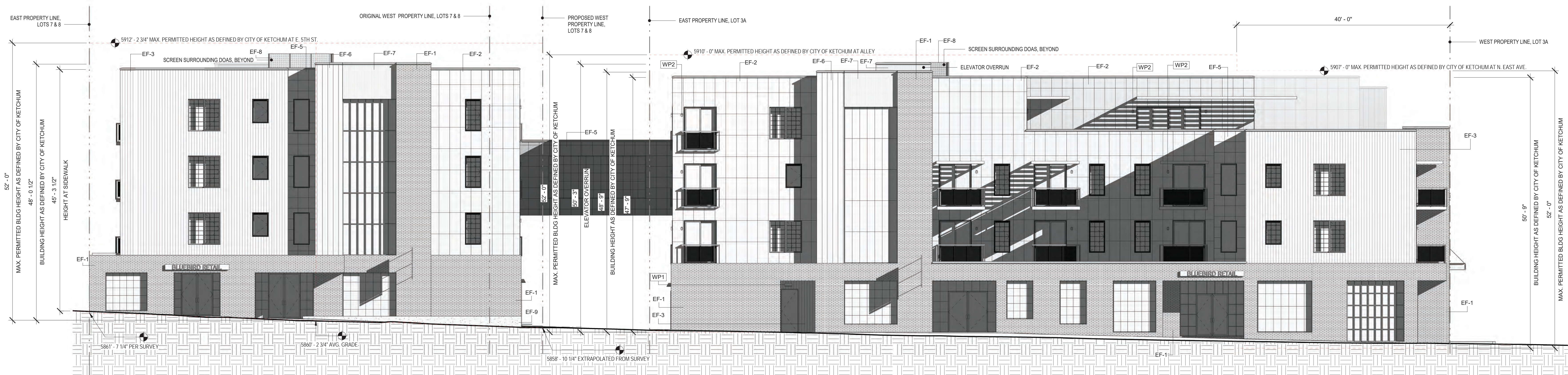
480 N. EAST AVE.
KETCHUM, ID 83340

PRE-APPLICATION DESIGN REVIEW
4/12/2021





WEST ELEVATION - NORTH EAST AVENUE 12:45 PM, SEPTEMBER 22, 2021
1/8" = 1'-0"



NORTH ELEVATION - EAST FIFTH STREET 4:00 PM, SEPTEMBER 22, 2021
1/8" = 1'-0"

PROPOSED BUILDING ELEVATIONS - WEST & NORTH

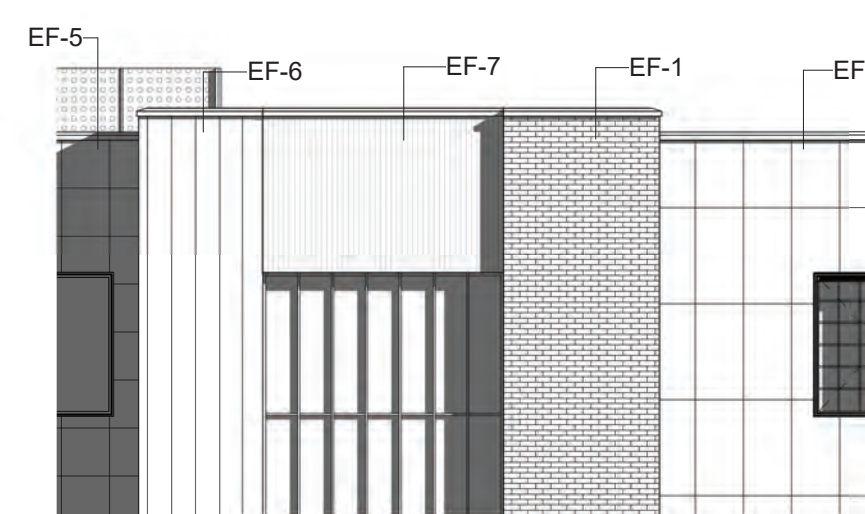
PROPOSED EXTERIOR FINISH TAG USE INSTRUCTIONS & EXAMPLE KEY

FOR FULL KEY REFER TO SHEET A9.00 AND/OR A9.00B (11x17 VERSION)

- GENERAL CATEGORY OF INFORMATION
- SPECIFIC TYPE OR INSTANCE
- EF DENOTES EXTERIOR FINISH (CATEGORY OF INFORMATION)
- THE NUMBER ASSOCIATED WITH EACH TAG IS ASSIGNED TO A SPECIFIC EXTERIOR FINISH
- EACH EXTERIOR FINISH IS REPRESENTED BY AN IMAGE OF THE MATERIAL ON SHEETS PDR A9.00 & A9.00B.
- EACH IMAGE DEFINES THE TAG, WHICH IS SHOWN BELOW
- A PRODUCT OR MATERIAL DESCRIPTION ALSO ACCOMPANIES THE TAG & IMAGE
- SEE EXAMPLES AT RIGHT
- NOT EVERY MATERIAL OR PRODUCT IS ACCOMPANIED BY A TAG.



EXTERIOR FINISH 1 (EF-1):
2-1/4" MODULAR BRICK VENEER RAINSCREEN
INTERSTATE BRICK, NORMAN, BRONZESTONE



PROPOSED EXTERIOR LIGHTING FIXTURE TAG USE INSTRUCTIONS

FOR LIGHTING FIXTURE SCHEDULE & SPEC. SHEETS REFER TO SHEET PDR E2.00

- GENERAL CATEGORY OF INFORMATION
- SPECIFIC TYPE OR INSTANCE
- WP DENOTES WALL MOUNTED LIGHT FIXTURE (CATEGORY OF INFORMATION)
- THE NUMBER ASSOCIATED WITH EACH TAG IS ASSIGNED TO A SPECIFIC PRODUCT
- NOT ALL TYPES OF LIGHT FIXTURES ARE SHOWN OR TAGGED ON THE ELEVATIONS.

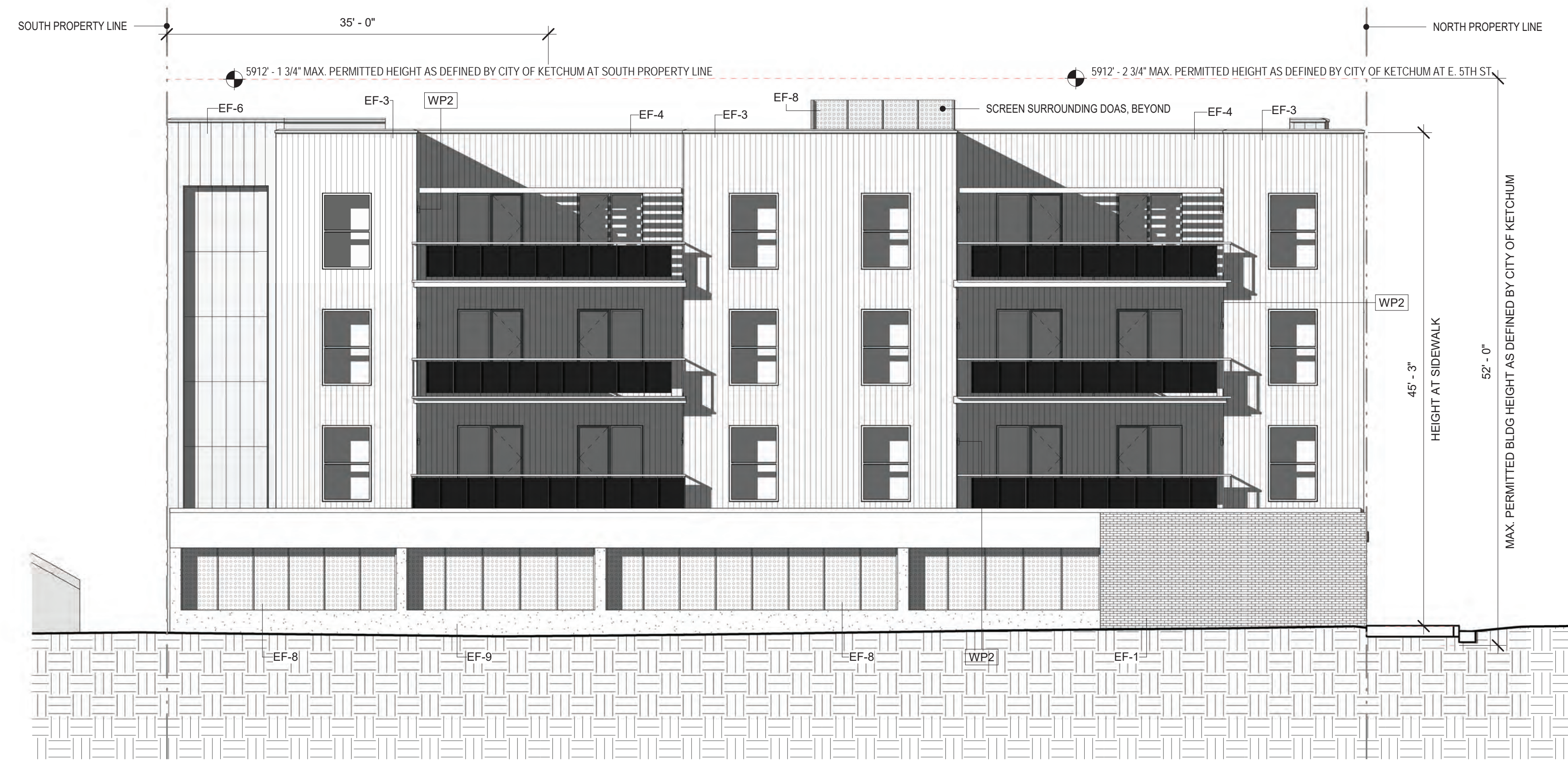


BLUEBIRD VILLAGE

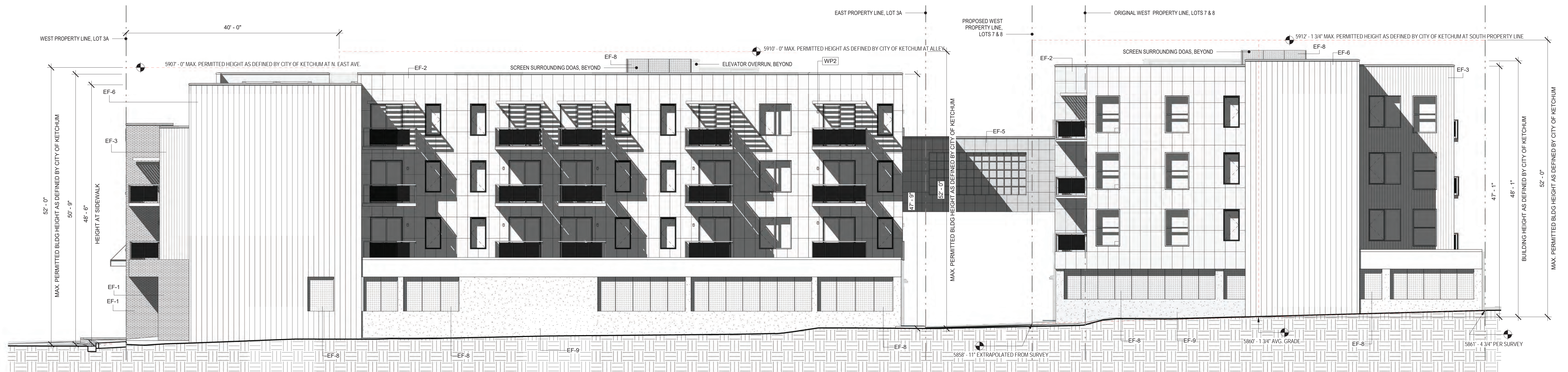
480 N. EAST AVE.
KETCHUM, ID 83340

PRE-APPLICATION DESIGN REVIEW
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EAST ELEVATION - BUILDING B 9:00 AM, SEPTEMBER 22, 2021
1/8" = 1'-0"



SOUTH ELEVATION 1:00 PM, SEPTEMBER 22, 2021
1/8" = 1'-0"

PROPOSED BUILDING ELEVATIONS - EAST & SOUTH

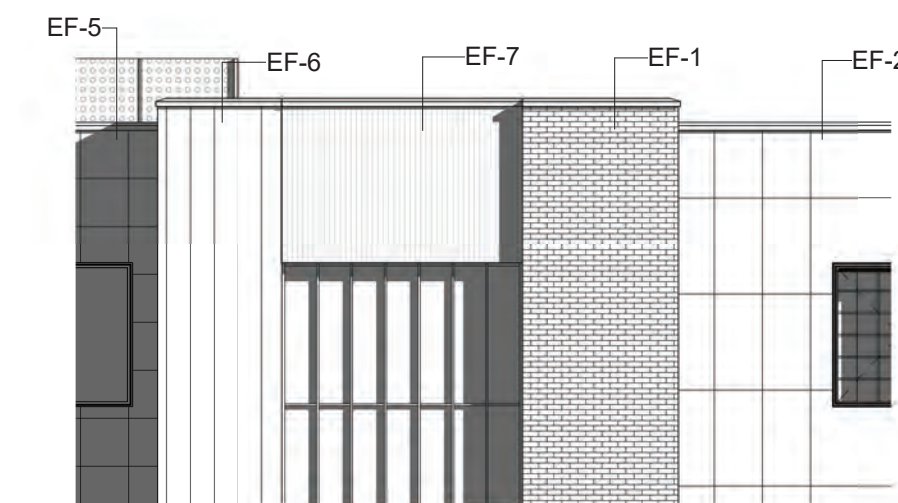
PROPOSED EXTERIOR FINISH TAG USE INSTRUCTIONS & EXAMPLE KEY

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EXTERIOR FINISH 1 (EF-1):
2-1/4" MODULAR BRICK VENEER RAINSCREEN
INTERSTATE BRICK, NORMAN, BRONZESTONE



PROPOSED EXTERIOR LIGHTING FIXTURE TAG USE INSTRUCTIONS

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SCALE: 1/8" = 1'-0"

BLUEBIRD VILLAGE

480 N. EAST AVE.
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PRE-APPLICATION DESIGN REVIEW
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EAST ELEVATION - BUILDING A (ALLEY) 9:00 AM, SEPTEMBER 22, 2021
1/8" = 1'-0"



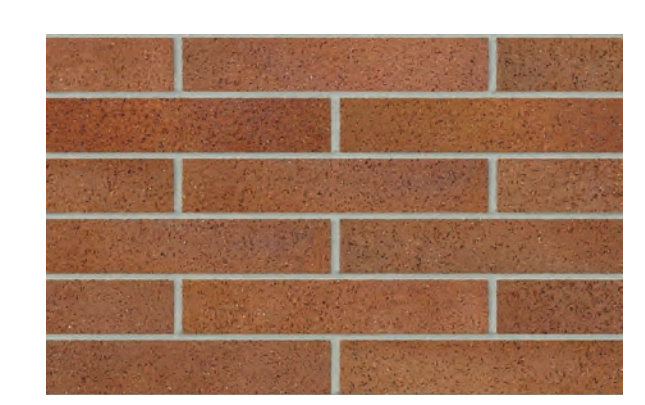
WEST ELEVATION - BUILDING B (ALLEY) 4:00 PM, SEPTEMBER 22, 2021
1/8" = 1'-0"

PROPOSED BUILDING ELEVATIONS - ALLEY

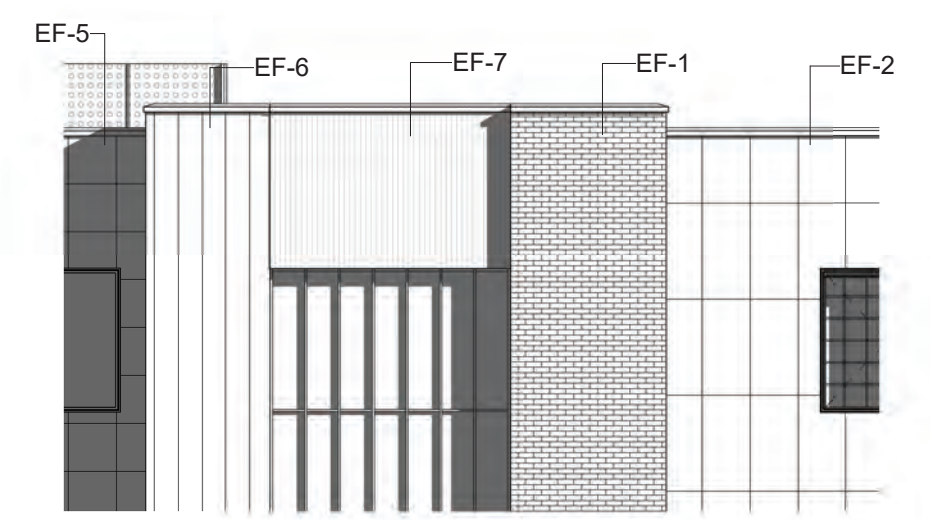
PROPOSED EXTERIOR FINISH TAG USE INSTRUCTIONS & EXAMPLE KEY

FOR FULL KEY REFER TO SHEET A9.00 AND/OR A9.00B (11x17 VERSION)

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EXTERIOR FINISH 1 (EF-1):
2-1/4" MODULAR BRICK VENEER RAINSCREEN
INTERSTATE BRICK, NORMAN, BRONZESTONE



PROPOSED EXTERIOR LIGHTING FIXTURE TAG USE INSTRUCTIONS

FOR LIGHTING FIXTURE SCHEDULE & SPEC. SHEETS REFER TO SHEET PDR E2.00

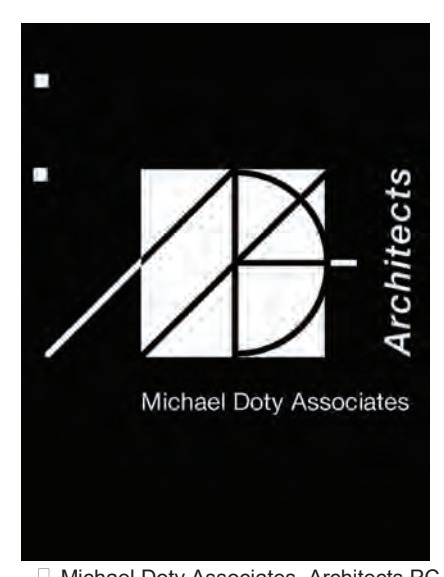
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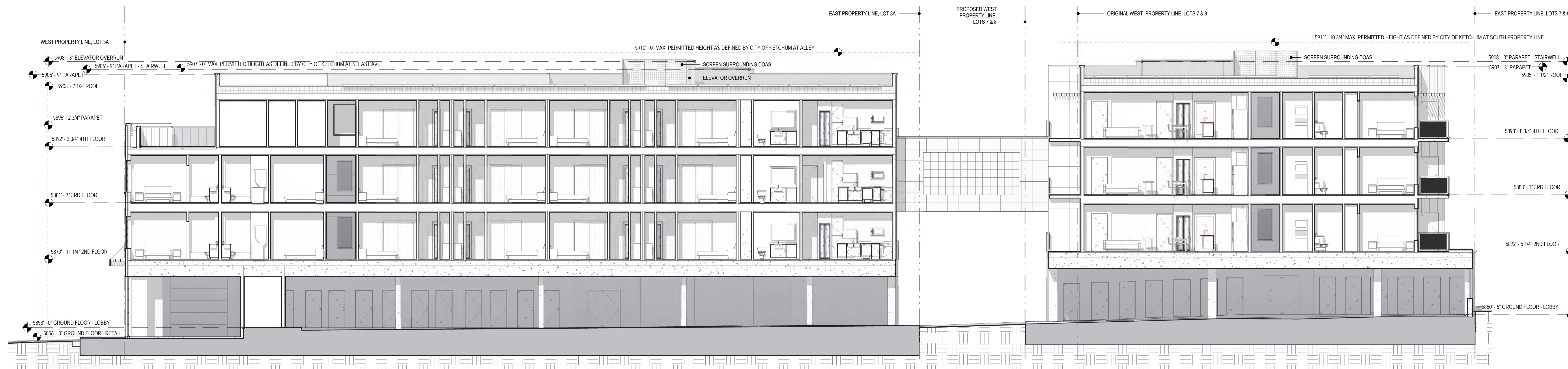
SCALE: 1/8" = 1'-0"

BLUEBIRD VILLAGE

480 N. EAST AVE.
KETCHUM, ID 83340

PRE-APPLICATION DESIGN REVIEW
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SECTION - EAST - WEST
1/8" = 1'-0"

PROPOSED BUILDING SECTION

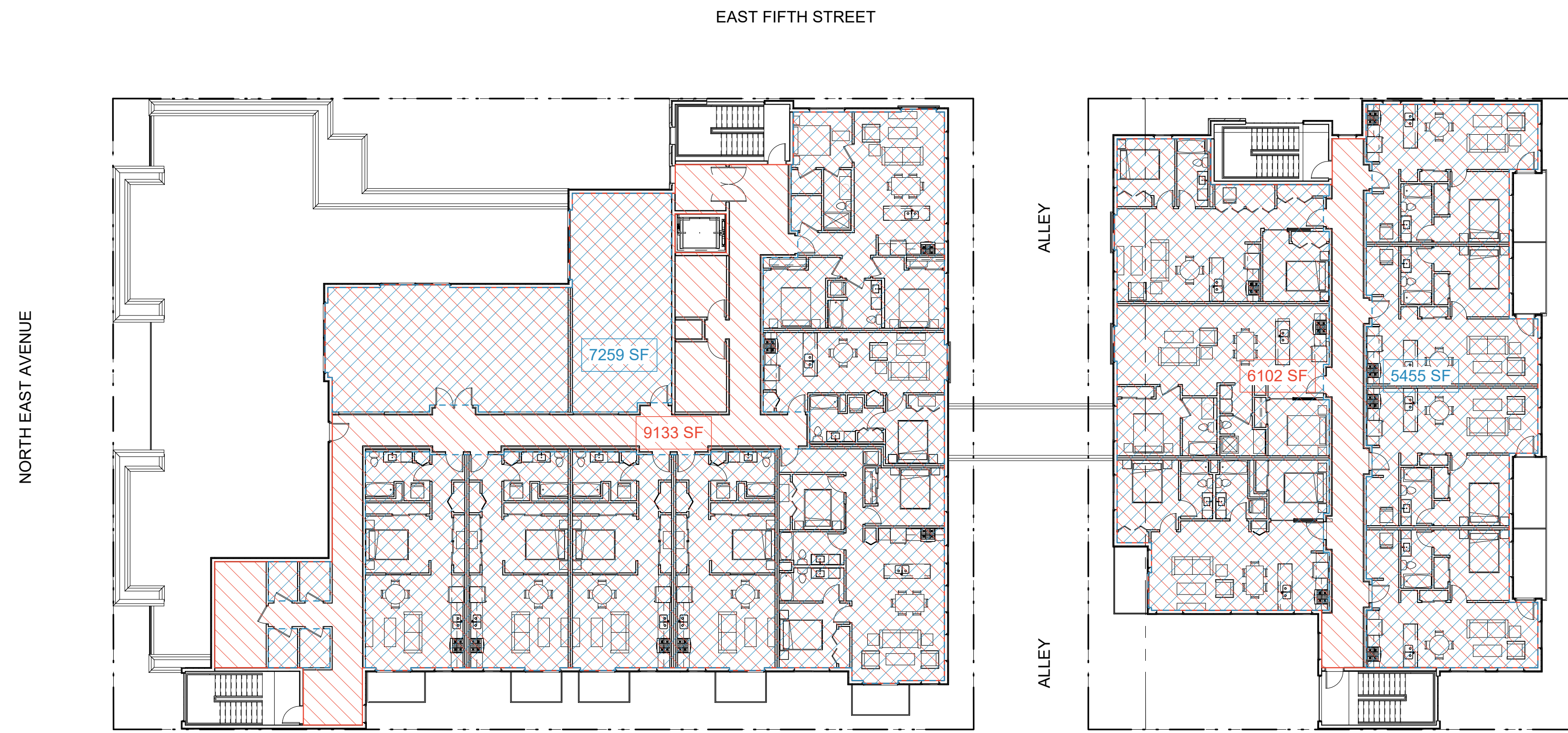
SCALE: 1/8" = 1'-0"

BLUEBIRD VILLAGE

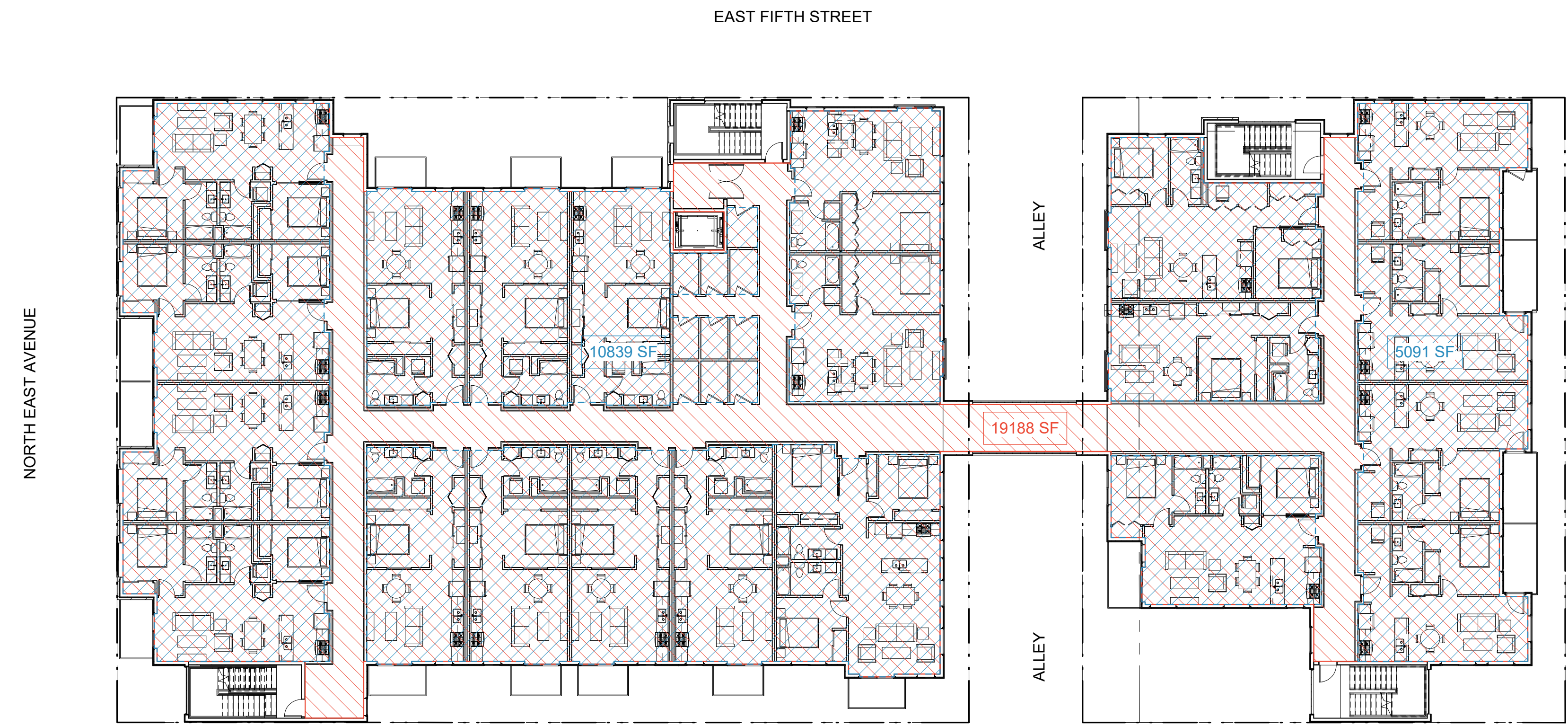
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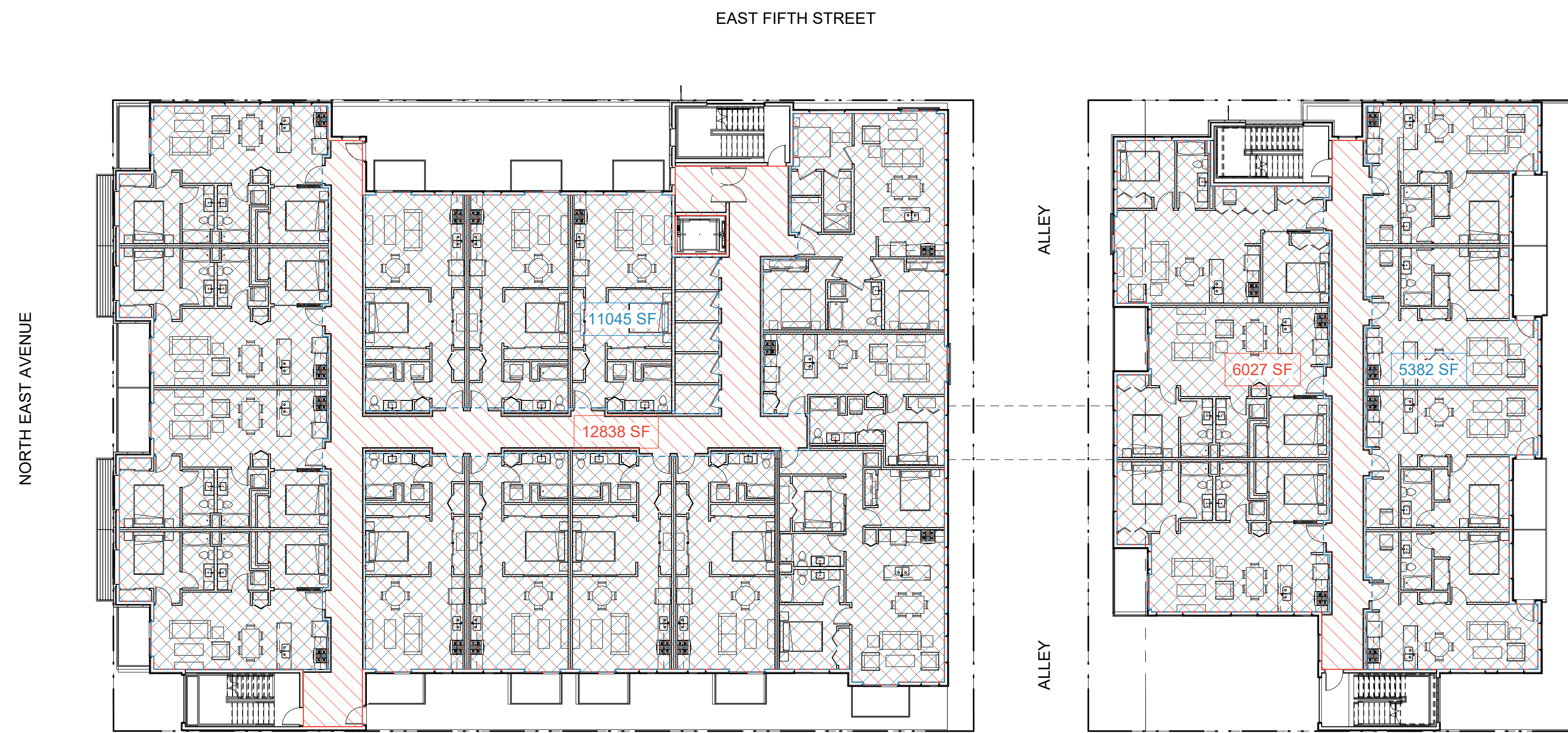




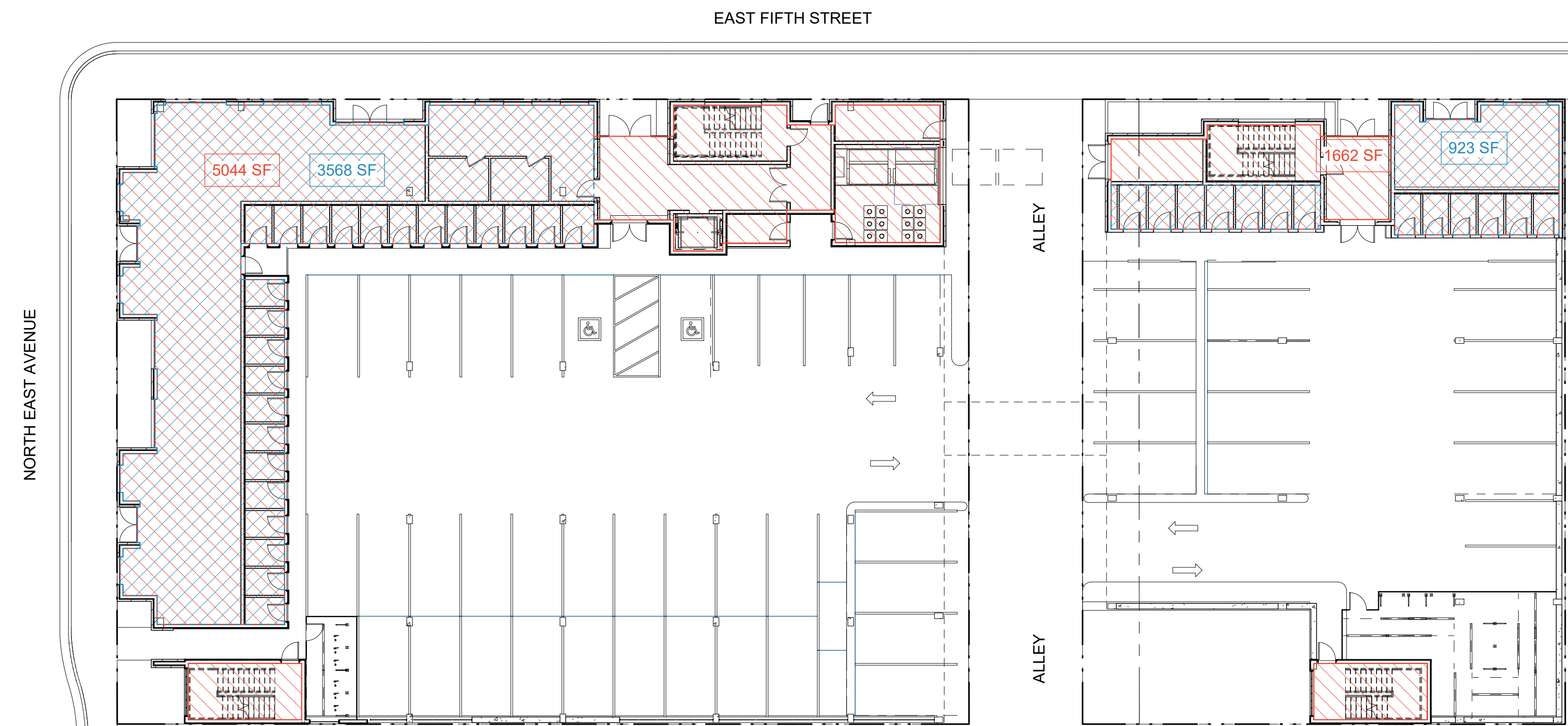
4TH FLOOR
1/16" = 1'-0"
TOTAL AREA FACTORED INTO GROSS F.A.R. CALCULATION: 9133 SF + 6102 SF = 15235 SF
TOTAL AREA FACTORED INTO NET F.A.R. CALCULATION: 7259 SF + 5455 SF = 12714 SF



3RD FLOOR
1/16" = 1'-0"
TOTAL AREA FACTORED INTO GROSS F.A.R. CALCULATION: 19188 SF
TOTAL AREA FACTORED INTO NET F.A.R. CALCULATION: 10839 SF + 5091 SF = 15930 SF



2ND FLOOR
1/16" = 1'-0"
TOTAL AREA FACTORED INTO GROSS F.A.R. CALCULATION: 12838 SF + 6027 SF = 18865 SF
TOTAL AREA FACTORED INTO NET F.A.R. CALCULATION: 11045 SF + 5382 SF = 16427 SF



GROUND FLOOR
1/16" = 1'-0"
TOTAL AREA FACTORED INTO GROSS F.A.R. CALCULATION: 5044 SF + 1662 SF = 6706 SF
TOTAL AREA FACTORED INTO NET F.A.R. CALCULATION: 3568 SF + 923 SF = 4491 SF

FLOOR AREA + FLOOR AREA RATIO

FLOOR AREA RATIO, GROSS

SITE AREA
LOT 3A: 110' x 150' (+/-) = 16814 SF
LOTS 7 & 8: 110' x 85' (+/-) = 9350 SF
TOTAL: 26164 SF

BUILDING GROSS AREA
GROUND FLOOR: 6706 SF
2ND FLOOR: 18865 SF
3RD FLOOR: 19188 SF
4TH FLOOR: 15235 SF
TOTAL: 59994 SF

FLOOR AREA RATIO, GROSS: 59994 SF + 26164 SF = 2.29 F.A.R.


FLOOR AREA RATIO, NET

SITE AREA
LOT 3A: 110' x 150' (+/-) = 16814 SF
LOTS 7 & 8: 110' x 85' (+/-) = 9350 SF
TOTAL: 26164 SF

BUILDING NET AREA
GROUND FLOOR: 4491 SF
2ND FLOOR: 16427 SF
3RD FLOOR: 15930 SF
4TH FLOOR: 12714 SF
TOTAL: 49562 SF

FLOOR AREA RATIO, NET: 49562 SF + 26164 SF = 1.89 F.A.R.

 FLOOR AREA, GROSS 12838 SF

 FLOOR AREA, NET 11045 SF

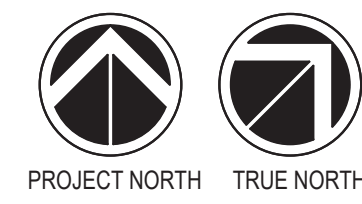
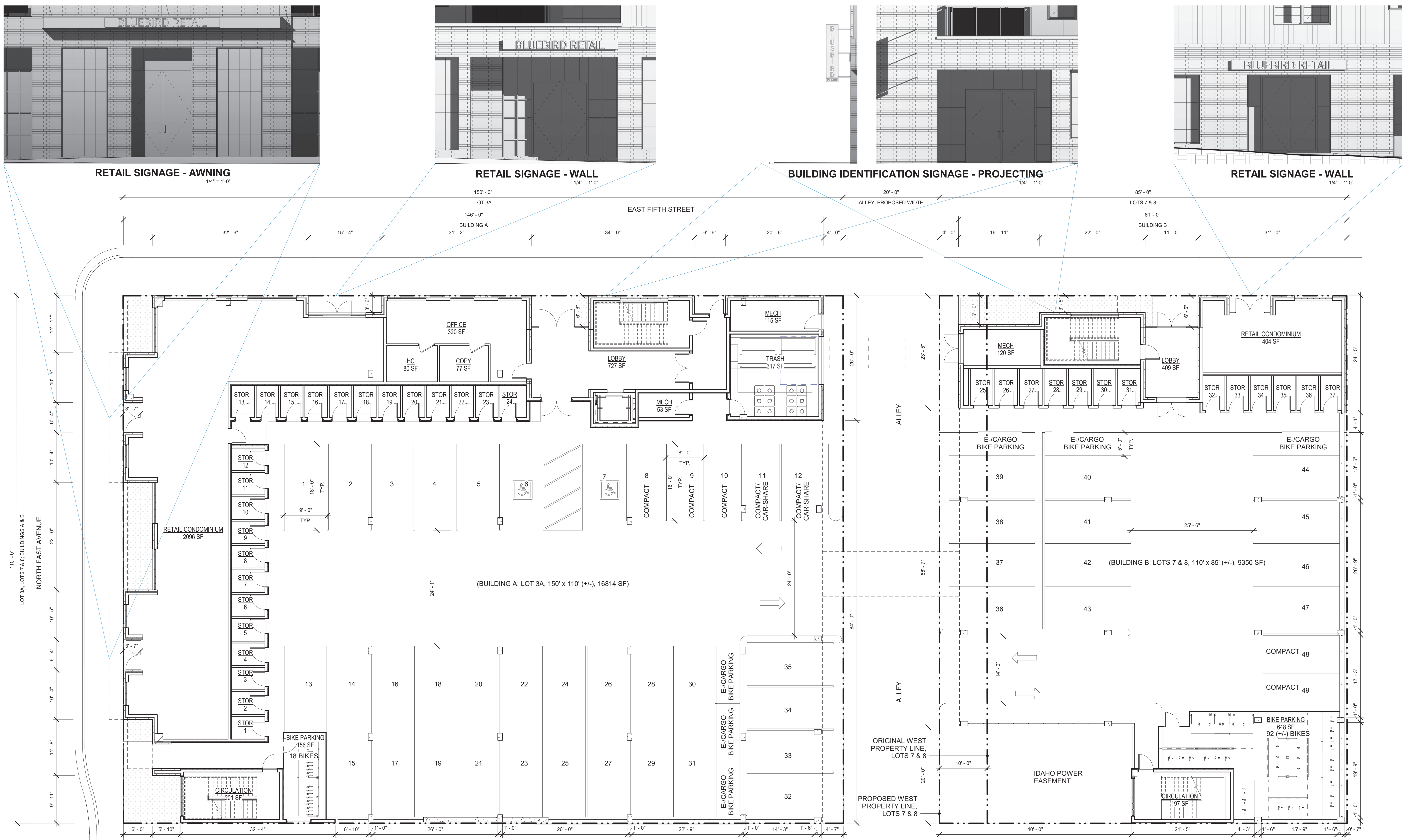
SCALE: As Indicated
12 4 8

BLUEBIRD VILLAGE

480 N. EAST AVE.
KETCHUM, ID 83340

PRE-APPLICATION DESIGN REVIEW
4/12/2021





PROPOSED MASTER SIGNAGE PLAN

EXTERIOR SIGNAGE INFORMATION, FACTORS, & CALCULATIONS

SIGNAGE MATERIALS AND COLORS
 CARBON STEEL, BLACKENED and/or
 PATINATED BLUE, and/or BLACK, and/or
 BLUE and/or CLEAR POWDER COAT or
 OTHER CLEAR PROTECTIVE COAT
 FASTENERS AS REQUIRED

SIGNAGE FONT
 TBD (FRANKLIN GOTHIC, AS SHOWN)

BUILDING A, LOT 3A STREET FRONTAGE EAST AVENUE N.
 110' (+/-)
 SIGN TYPE
 AWNING (RETAIL)
 AREA/SIZE/HEIGHT LIMITATIONS OF AWNING SIGNAGE
 1SqF/3LnFt Street Frontage, ≤ 60SqFt;
 Height ≤ 1' or 80% of Height of Face or Valance, Whichever is Less;
 Lowest Portion ≥ 8' Above Grade
 AREA/SIZE/HEIGHT PROPOSED FOR AWNING SIGNAGE
 X SqFt = 110 Ln Ft + 3 LnFt = 36.67 Sq Ft
 6 SIGNS, 11' FT HIGH EACH, on 2 AWNINGS of 3 FACES EACH
 4 SIGNS, EACH 3' x 1' = 3 SqFt x 4 = 12 SqFt
 2 SIGNS, EACH 12' x 1' = 12 SqFt x 2 = 24 SqFt
 TOTAL SIGNAGE AREA = 36 SqFt
 SIGNAGE AREA per AWNING = 18 SqFt

BUILDING A, LOT 3A STREET FRONTAGE FIFTH STREET E.
 150' (+/-)
 SIGN TYPES
 PROJECTING (BUILDING IDENTIFICATION)
 WALL (RETAIL)
 AREA/SIZE/HEIGHT LIMITATIONS OF PROJECTING SIGNAGE
 Lowest Portion ≥ 8' Above Grade
 Top of Sign Below Windows on 2nd Floor
 1 Per (Residential) Entrance
 Projection from Building ≤ 4'
 Max. Profile or Thickness ≤ 6"
 AREA/SIZE/HEIGHT PROPOSED FOR PROJECTING SIGNAGE
 1 SIGN, APPROX. 6' 0" HIGH x 1' 3" WIDE = 7 1/2 SqFt/Face
 2 FACES, 2 x 7 1/2 SqFt = 15 SqFt
 PROJECTION FROM BUILDING ≤ 4'
 EXACT DIMENSIONS, PROJECTION, & THICKNESS TBD
 AREA/SIZE/HEIGHT LIMITATIONS OF WALL SIGNAGE
 1SqF/3LnFt Street Frontage, ≤ 60SqFt, ≤ 40% of Unbroken Facade Area
 2 Signs Per Permitted Use
 AREA/SIZE/HEIGHT/NUMBER PROPOSED FOR WALL SIGNAGE
 X SqFt = 150 Ln Ft + 3 LnFt = 50 Sq Ft
 1 SIGN, 12' x 1' = 12 SqFt
 TOTAL SIGNAGE AREA, WALL & PROJECTING SIGNAGE
 15 SqFt + 12 SqFt = 27 SqFt, or more, but ≤ 50 Sq Ft

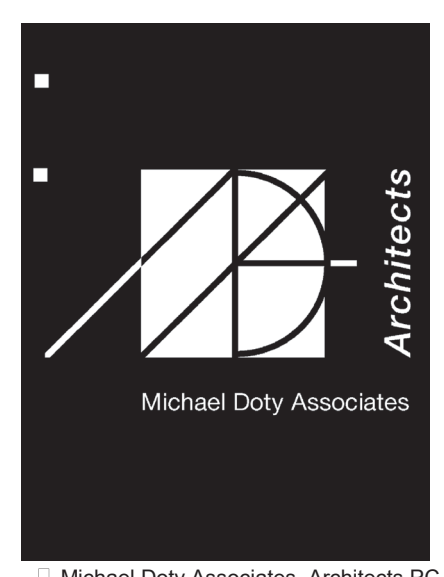
BUILDING B, LOTS 7&8 STREET FRONTAGE FIFTH STREET E.
 85' (+/-)
 SIGN TYPES
 PROJECTING (BUILDING IDENTIFICATION)
 WALL (RETAIL)
 AREA/SIZE/HEIGHT LIMITATIONS OF PROJECTING SIGNAGE
 Lowest Portion ≥ 8' Above Grade
 Top of Sign Below Windows on 2nd Floor
 1 Per (Residential) Entrance
 Projection from Building ≤ 4'
 Max. Profile or Thickness ≤ 6"
 AREA/SIZE/HEIGHT PROPOSED FOR PROJECTING SIGNAGE
 1 SIGN, APPROX. 6' 0" HIGH x 1' 3" WIDE = 7 1/2 SqFt/Face
 2 FACES, 2 x 7 1/2 SqFt = 15 SqFt
 PROJECTION FROM BUILDING ≤ 4'
 EXACT DIMENSIONS, PROJECTION, & THICKNESS TBD
 AREA/SIZE/HEIGHT LIMITATIONS OF WALL SIGNAGE
 1SqF/3LnFt Street Frontage, ≤ 60SqFt, ≤ 40% of Unbroken Facade Area
 2 Signs Per Permitted Use
 AREA/SIZE/HEIGHT/NUMBER PROPOSED FOR WALL SIGNAGE
 X SqFt = 85 Ln Ft + 3 LnFt = 28.33 Sq Ft
 1 SIGN, 12' x 1' = 12 SqFt
 TOTAL SIGNAGE AREA, WALL & PROJECTING SIGNAGE
 15 SqFt + 12 SqFt = 27 SqFt, or more, but ≤ 28.33 Sq Ft

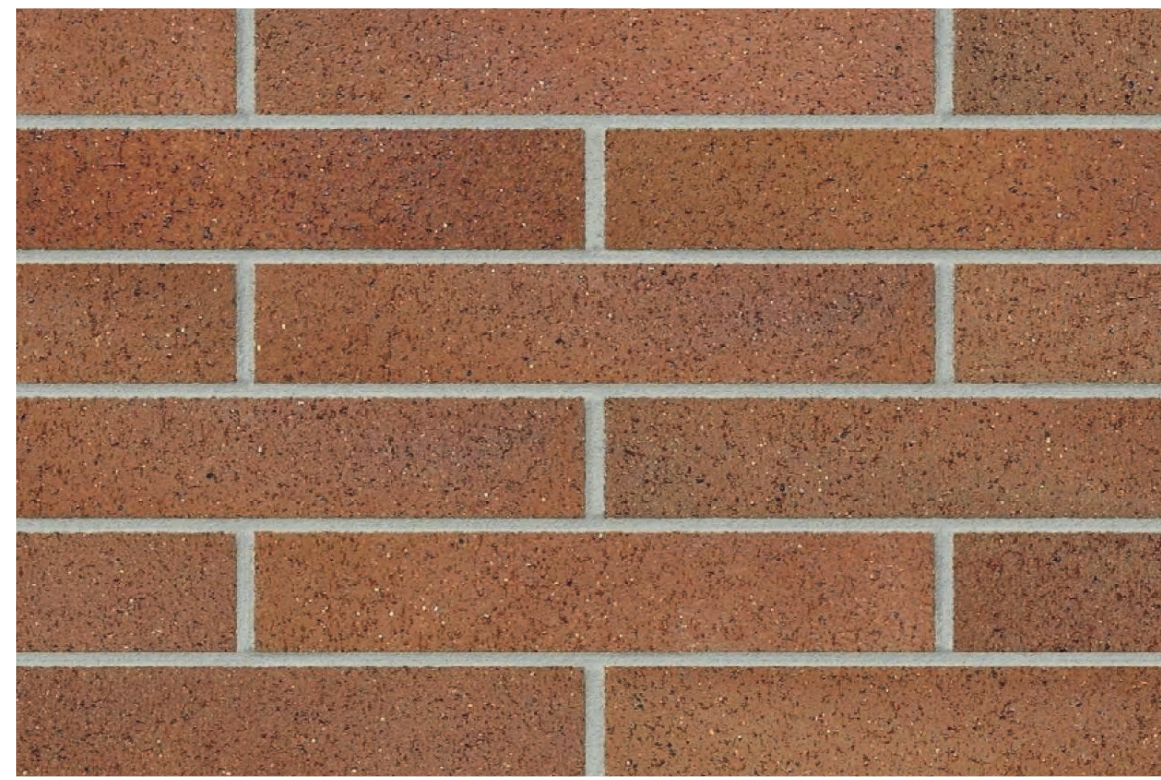
SCALE: 1/8" = 1'-0"

BLUEBIRD VILLAGE

480 N. EAST AVE.
 KETCHUM, ID 83340

PRE-APPLICATION DESIGN REVIEW
 4/12/2021





EXTERIOR FINISH 1 (EF-1):
2-1/4" MODULAR BRICK VENEER RAINSCREEN
INTERSTATE BRICK, NORMAN, BRONZESTONE



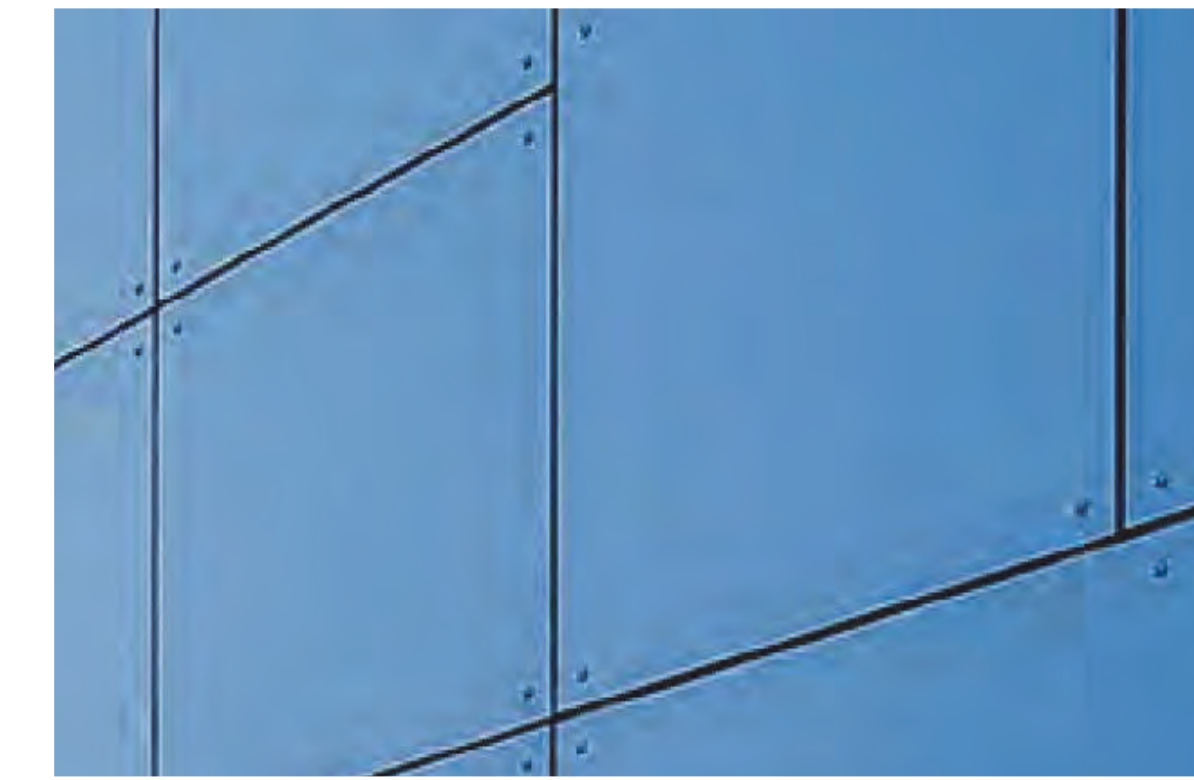
EXTERIOR FINISH 2 (EF-2):
2' x 8' FIBER CEMENT PANEL RAINSCREEN,
AMERICAN FIBER CEMENT CORPORATION,
PATINA 313 (TUFA)



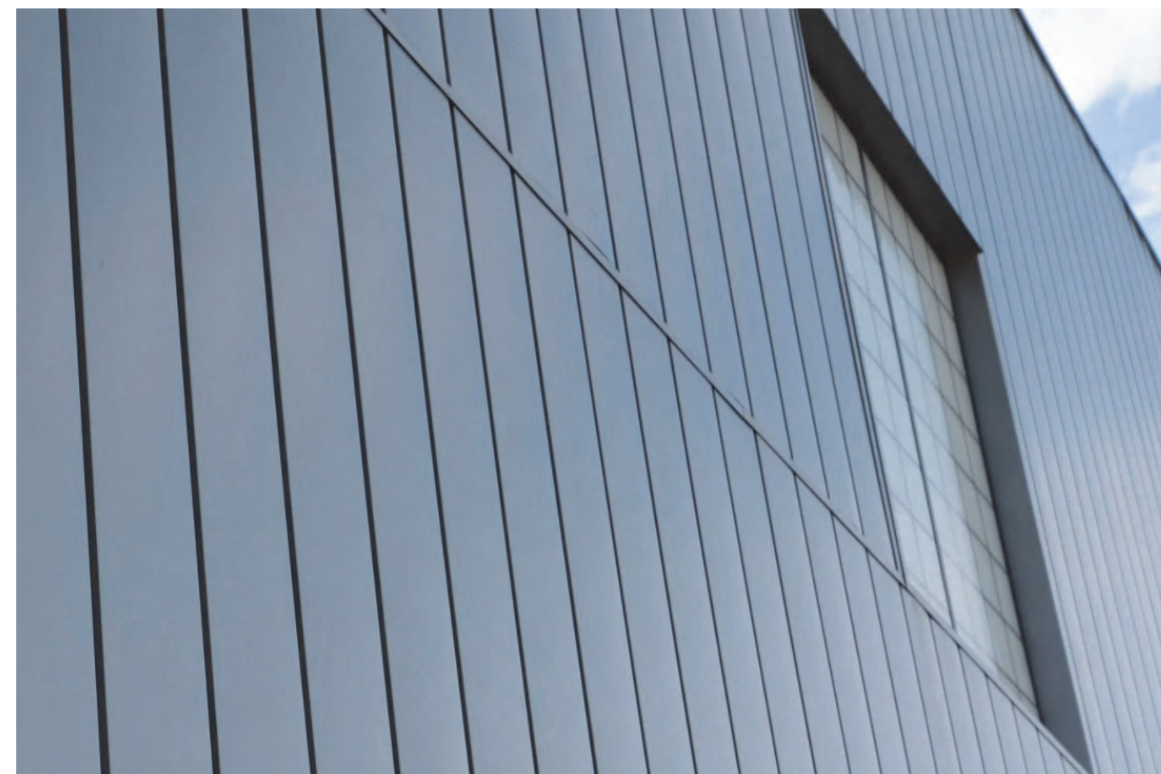
EXTERIOR FINISH 3 (EF-3):
WOOD BOARD RAINSCREEN, VERTICAL
MONTANA TIMBER PRODUCTS
CORRAL BOARD



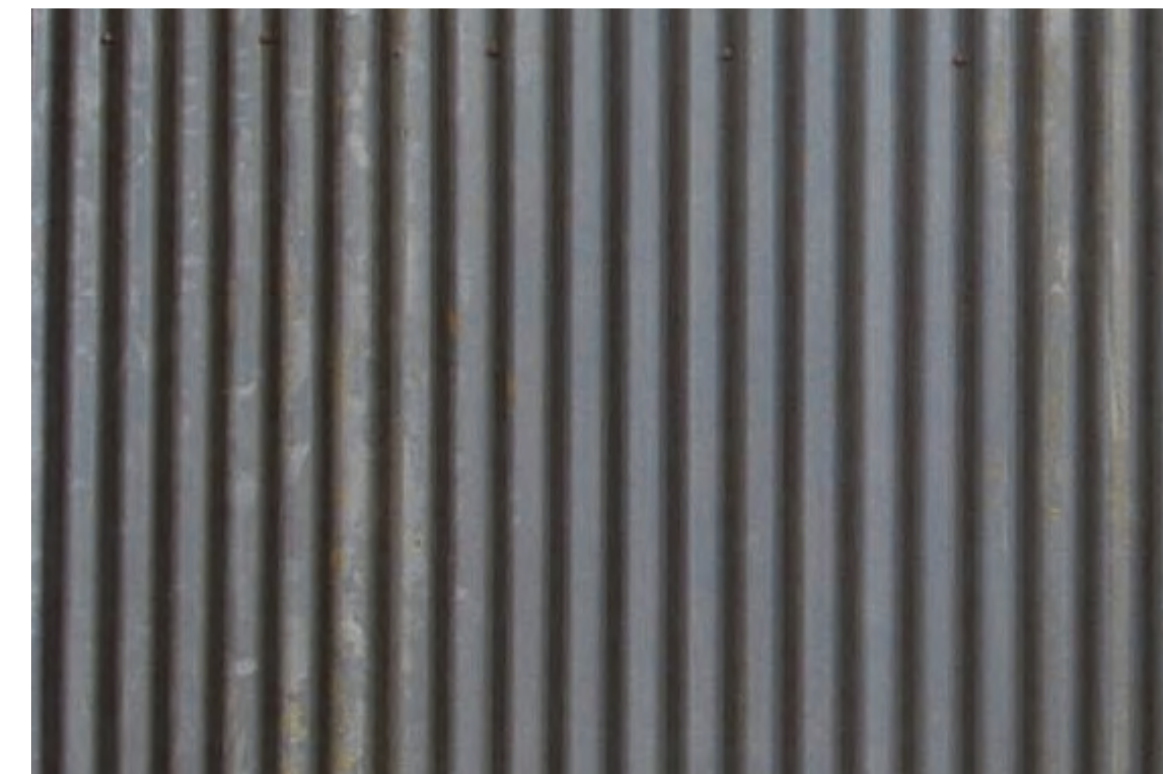
EXTERIOR FINISH 4 (EF-4):
WOOD BOARD RAINSCREEN, VERTICAL
MONTANA TIMBER PRODUCTS
AQUAFIR LIGHT BROWN WIRE BRUSHED



EXTERIOR FINISH 5 (EF-5): SOLID PHENOLIC
PANEL RAINSCREEN, STONEWOOD
ARCHITECTURAL PANELS, 7875-CB LAPIS BLUE



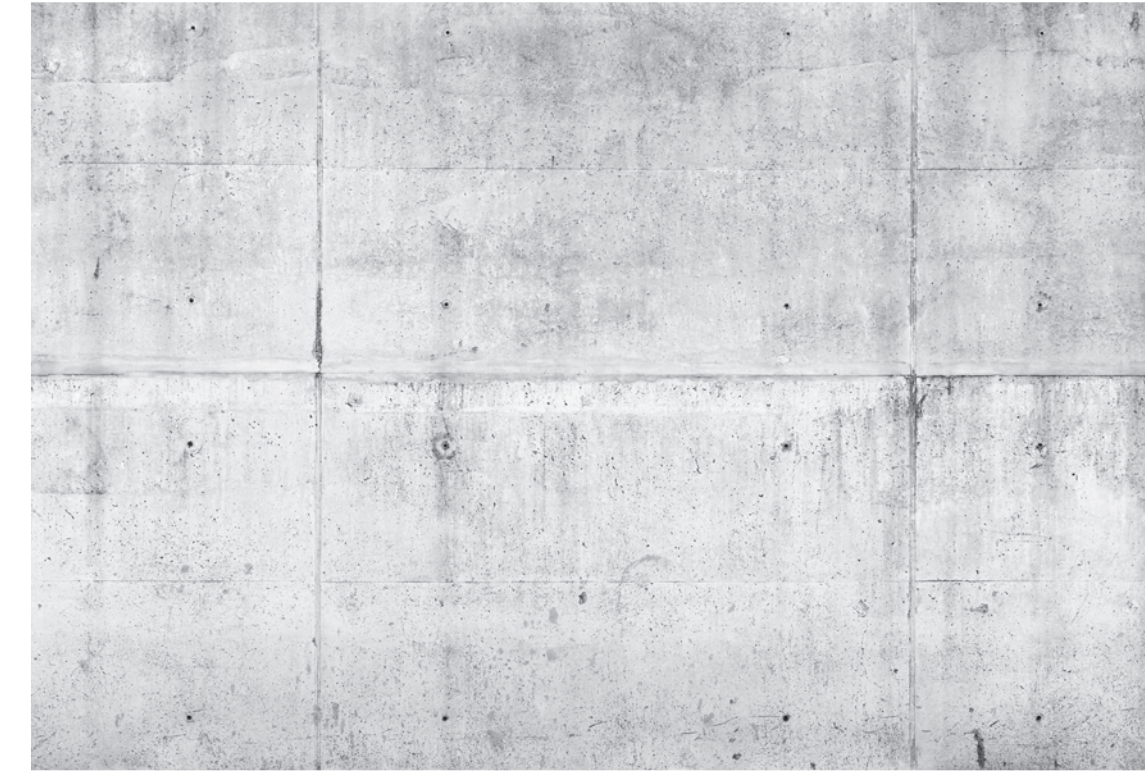
EXTERIOR FINISH 6 (EF-6): 12" WIDE METAL
FLAT PANEL, VERTICAL SIDING, WESTERN
STATES METAL ROOFING, MATTE PATINA



EXTERIOR FINISH 7 (EF-7):
CORRUGATED METAL, VERTICAL SIDING,
WESTERN STATES METAL ROOFING, MATTE
PATINA



EXTERIOR FINISH 8 (EF-8):
PERFORATED SHEET METAL



EXTERIOR FINISH 9 (EF-9):
EXPOSED CONCRETE



GUARDRAIL 1 (GR-1):
MATTE BLACK PERFORATED SHEET METAL



DOORS AND WINDOWS, GROUND FLOOR:
BLACK ANODIZED THERMALLY BROKEN
ALUMINUM STOREFRONT SYSTEM



WINDOW, FLOOR 2, 3, 4:
MILGARD STYLE LINE SERIES
VINYL (PVC) CASEMENT WINDOW
BLACK



WINDOW, FLOOR 2, 3, 4:
MILGARD STYLE LINE OR TRINSIC SERIES
VINYL (PVC) SLIDING PATIO DOOR
BLACK



WINDOW, FLOOR 2, 3, 4:
MILGARD STYLE LINE SERIES
VINYL (PVC) PICTURE WINDOW
BLACK



METAL FLASHING
KYNAR 500, COLOR: BLACK

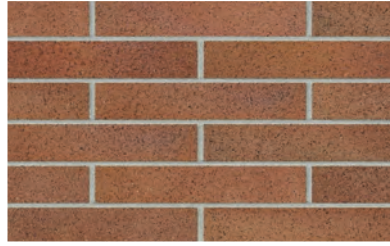
PROPOSED EXTERIOR FINISHES

BLUEBIRD VILLAGE

480 N. EAST AVE.
KETCHUM, ID 83340

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4/12/2021





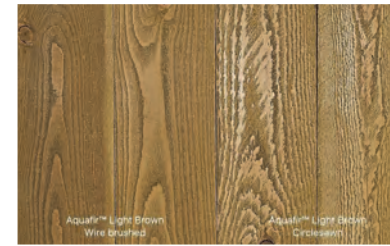
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2-1/4" MODULAR BRICK
VENEER RAINSCREEN
INTERSTATE BRICK, NORMAN,
BRONZESTONE



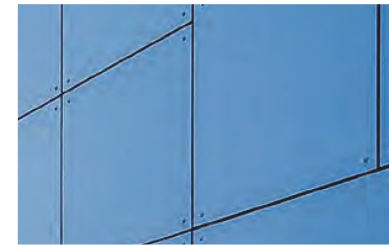
EXTERIOR FINISH 2 (EF-2):
2' x 8' FIBER CEMENT PANEL
RAINSCREEN, AMERICAN FIBER
CEMENT CORPORATION,
PATINA 313 (TUFA)



EXTERIOR FINISH 3 (EF-3):
WOOD BOARD RAINSCREEN, VERTICAL
MONTANA TIMBER PRODUCTS
CORRAL BOARD



EXTERIOR FINISH 4 (EF-4):
WOOD BOARD RAINSCREEN, VERTICAL
MONTANA TIMBER PRODUCTS
AQUAFIR LIGHT BROWN WIRE BRUSHED



EXTERIOR FINISH 5 (EF-5): SOLID
PHENOLIC PANEL RAINSCREEN,
STONEWOOD ARCHITECTURAL
PANELS, 7875-CB LAPIS BLUE



EXTERIOR FINISH 6 (EF-6): 12"
WIDE METAL FLAT PANEL,
VERTICAL SIDING, WESTERN
STATES METAL ROOFING,
MATTE PATINA



EXTERIOR FINISH 7 (EF-7):
CORRUGATED METAL,
VERTICAL SIDING, WESTERN
STATES METAL ROOFING,
MATTE PATINA



EXTERIOR FINISH 8 (EF-8):
PERFORATED SHEET METAL



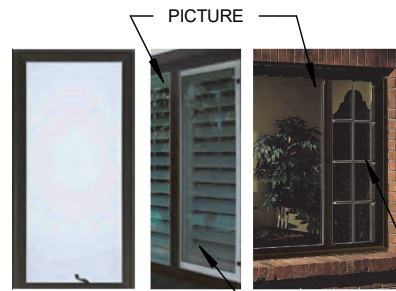
EXTERIOR FINISH 9 (EF-9):
EXPOSED CONCRETE



GUARDRAIL 1 (GR-1):
MATTE BLACK PERFORATED
SHEET METAL



DOORS AND WINDOWS,
GROUND FLOOR:
BLACK ANODIZED THERMALLY
BROKEN ALUMINUM
STOREFRONT SYSTEM



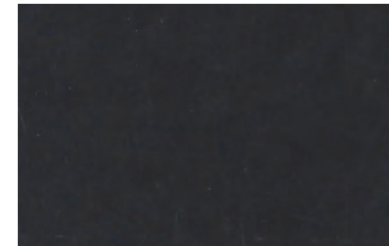
WINDOW, FLOOR 2, 3, 4:
MILGARD STYLE LINE SERIES
VINYL (PVC) CASEMENT WINDOW
BLACK



WINDOW, FLOOR 2, 3, 4:
MILGARD STYLE LINE OR TRINISC SERIES
VINYL (PVC) SLIDING PATIO DOOR
BLACK



WINDOW, FLOOR 2, 3, 4:
MILGARD STYLE LINE SERIES
VINYL (PVC) PICTURE WINDOW
BLACK

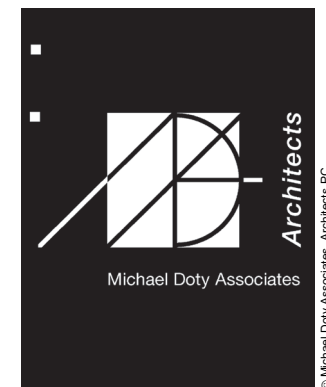


METAL FLASHING
KYNAR 500, COLOR: BLACK

BLUEBIRD VILLAGE

PROPOSED EXTERIOR FINISHES (11 x 17)

04/09/21



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PROPOSED NW CORNER VIEW

BLUEBIRD VILLAGE

480 N. EAST AVE.
KETCHUM, ID 83340

PRE-APPLICATION DESIGN REVIEW
04/12/2021





PROPOSED EAST AVENUE FACADE

BLUEBIRD VILLAGE

480 N. EAST AVE.
KETCHUM, ID 83340

PRE-APPLICATION DESIGN REVIEW
04/12/2021





PROPOSED NE CORNER VIEW

BLUEBIRD VILLAGE

480 N. EAST AVE.
KETCHUM, ID 83340

PRE-APPLICATION DESIGN REVIEW
04/12/2021





PROPOSED FIFTH STREET FACADE

BLUEBIRD VILLAGE

480 N. EAST AVE.
KETCHUM, ID 83340

PRE-APPLICATION DESIGN REVIEW
04/12/2021





PROPOSED SW CORNER VIEW

BLUEBIRD VILLAGE

480 N. EAST AVE.
KETCHUM, ID 83340

PRE-APPLICATION DESIGN REVIEW
04/12/2021





PROPOSED SE CORNER VIEW

BLUEBIRD VILLAGE

480 N. EAST AVE.
KETCHUM, ID 83340

PRE-APPLICATION DESIGN REVIEW
04/12/2021





PROPOSED VIEW



EXISTING VIEW

PROPOSED & EXISTING VIEW FROM SOUTHERN NEIGHBOR

BLUEBIRD VILLAGE

480 N. EAST AVE.
KETCHUM, ID 83340

PRE-APPLICATION DESIGN REVIEW
4/12/2021



ELECTRICAL LEGEND - LIGHTING

REFERENCE FIXTURE SCHEDULE FOR MOUNTING TYPE, MOUNTING HEIGHT, AND FIXTURE TYPE.

DOUBLE FACE EXIT SIGN, CEILING MOUNTED, PROVIDE UNSWITCHED CONDUCTOR.

WALL MOUNTED DOUBLE FACE EXIT SIGN PROVIDE UNSWITCHED CONDUCTOR. MOUNT AT +8'-0" UNO.

SINGLE FACE EXIT SIGN, CEILING MOUNTED PROVIDE UNSWITCHED CONDUCTOR.

WALL MOUNTED SINGLE FACE EXIT SIGN PROVIDE UNSWITCHED CONDUCTOR. MOUNT AT +8'-0" UNO.

ARROW INDICATES DIRECTION TO BE SHOWN ON SIGN.

1'X1' LIGHT FIXTURE.

1'X1' LIGHT FIXTURE, PROVIDE EMERGENCY BATTERY BACKUP CONNECTED TO AN UNSWITCHED CONDUCTOR.

TRACK LIGHT

1'X4' LIGHT FIXTURE.

1'X4' LIGHT FIXTURE, PROVIDE EMERGENCY BATTERY BACKUP CONNECTED TO AN UNSWITCHED CONDUCTOR.

2'X4' LIGHT FIXTURE.

2'X4' LIGHT FIXTURE, PROVIDE EMERGENCY BATTERY BACKUP CONNECTED TO AN UNSWITCHED CONDUCTOR.

2'X2' LIGHT FIXTURE.

2'X2' LIGHT FIXTURE, PROVIDE EMERGENCY BATTERY BACKUP CONNECTED TO AN UNSWITCHED CONDUCTOR.

DIRECT/INDIRECT LIGHT FIXTURE. SEE SCHEDULE FOR LENGTH.

DIRECT/INDIRECT LIGHT FIXTURE. SEE SCHEDULE FOR LENGTH. PROVIDE EMERGENCY BATTERY BACKUP CONNECTED TO AN UNSWITCHED CONDUCTOR.

STRIP LIGHT FIXTURE. SEE SCHEDULE FOR LENGTH. PROVIDE EMERGENCY BATTERY BACKUP CONNECTED TO AN UNSWITCHED CONDUCTOR.

WALL MOUNTED LIGHT FIXTURE.

WALL MOUNTED LIGHT FIXTURE, PROVIDE EMERGENCY BATTERY BACKUP CONNECTED TO AN UNSWITCHED CONDUCTOR.

RECESSED LIGHT FIXTURE

RECESSED LIGHT FIXTURE, PROVIDE EMERGENCY BATTERY BACKUP CONNECTED TO AN UNSWITCHED CONDUCTOR.

ROUND LIGHT FIXTURE

ROUND EMERGENCY LIGHT FIXTURE, PROVIDE EMERGENCY BATTERY BACKUP CONNECTED TO AN UNSWITCHED CONDUCTOR.

WALL MOUNTED LIGHT FIXTURE.

WALL MOUNTED EMERGENCY LIGHT FIXTURE, PROVIDE EMERGENCY BATTERY BACKUP CONNECTED TO AN UNSWITCHED CONDUCTOR.

POLE LIGHT 1 HEAD WITH POLE

TIME CLOCK

PHOTO CONTROL CELL LOCATED 12" ABOVE ROOF FACING NORTH.

OCCUPANCY SENSOR, PROVIDE RELAYS AND POWER PACKS AS REQUIRED

LED DRIVER

EMERGENCY EGRESS LIGHTING WITH OUT FIXTURE HEADS, CONNECT TO AN UNSWITCHED CONDUCTOR.

EMERGENCY EGRESS LIGHTING, CONNECT TO AN UNSWITCHED CONDUCTOR.

XXX INDICATES FIXTURE TYPE. REFER TO FIXTURE SCHEDULE.

EXTERIOR WALL PACK

EMERGENCY EXTERIOR WALL PACK, PROVIDE EMERGENCY BATTERY BACKUP CONNECTED TO AN UNSWITCHED CONDUCTOR

DEVICES

SWITCH, TYPE AS INDICATED. +48" AFF

DOUBLE POLE

3-WAY

4-WAY

KEYED

PILOT LIGHT

DIMMER

HORSEPOWER RATED TO THERMAL OVERLOAD

LOW VOLTAGE

OCCUPANCY SENSOR

OR LOW VOLTAGE, MOMENTARY OVERRIDE

VACUANCY SENSOR

SUPERSCRIPT INDICATES LIGHTS TO BE SWITCHED TOGETHER

DUAL LEVEL SWITCHING, INSIDE AND OUTSIDE LAMPS OF FIXTURE TO BE SWITCHED SEPARATELY.

DUAL LEVEL SWITCHING WITH OCCUPANCY SENSOR, INSIDE AND OUTSIDE LAMPS OF FIXTURE TO BE SWITCHED SEPARATELY.

OCCUPANCY SENSOR WITH MANUAL DIMMING, SET FOR 50% AUTOMATIC ON, AUTOMATIC OFF, WITH MANUAL DIMMING.

SINGLE CONVENIENCE OUTLET, +18" AFF UNO

FLOOR MOUNT SINGLE CONVENIENCE OUTLET

DUPLEX CONVENIENCE OUTLET, +18" AFF UNO

FLOOR MOUNT DUPLEX CONVENIENCE OUTLET

FLOOR SYSTEM DUPLEX CONVENIENCE OUTLET, +18" AFF UNO

SWITCHED DUPLEX CONVENIENCE OUTLET, +18" AFF UNO

FLOOR MOUNTED SWITCHED DUPLEX CONVENIENCE OUTLET

USB DUPLEX CONVENIENCE OUTLET, +18" AFF UNO

USB FOURPLEX CONVENIENCE OUTLET, +18" AFF UNO

FOURPLEX CONVENIENCE OUTLET, +18" AFF UNO

FLOOR MOUNT FOURPLEX CONVENIENCE OUTLET

CONNECTION POINT TO EQUIPMENT SPECIFIED. ELECTRICAL CONTRACTOR TO SUPPLY RACEWAY AND CONDUCTORS AND MAKE FINAL CONNECTION TO EQUIPMENT UNDER THIS SECTION, UNO

FLOOR MOUNTED CONNECTION POINT, SEE NOTE ABOVE FOR REQUIREMENTS

FLOOR MOUNTED JUNCTION BOX

JUNCTION BOX

WALL MOUNTED PUSH BUTTON, MOUNT AT SWITCH HEIGHT UNO

WALL MOUNTED PUSH BUTTON, MOUNT AT SWITCH HEIGHT UNO

MOTOR STARTER/CONTACTOR, SIZE/POLES NEMA 1 UNO AS INDICATED

COMBINATION STARTER AND DISCONNECT, SIZE/POLES, STARTER SIZE AS INDICATED, NEMA 1 UNO

FUSED DISCONNECT SWITCH, SIZE/POLES, FUSE SIZES AS INDICATED, NEMA 1 UNO

NON-FUSED DISCONNECT SIZE/POLES AS INDICATED, NEMA 1 UNO

THERMOSTAT, +48" AFF PROVIDE CONDUIT, J-BOX, CONDUCTORS AS REQUIRED TO CONTROL ASSOCIATED UNITS. UNO COORDINATE WITH DIVISION 15

POWER POLE - DUAL CHANNEL

TRANSFORMER

PANELBOARD. SEE SCHEDULE FOR TYPE

EQUIPMENT CABINET, SURFACE MOUNTED

EQUIPMENT CABINET FLUSH MOUNTED

SURFACE MULTI-OUTLET RACEWAY

MECHANICAL EQUIPMENT CALL OUT

KITCHEN EQUIPMENT CALLOUT

ONE LINE

DELTA WYE TRANSFORMER UNO

PANEL BOARD, SEE SCHEDULE FOR TYPE AND SIZE

CIRCUIT BREAKER, SIZE AND POLES INDICATED

FUSE, SIZE AND TYPE INDICATED, PROVIDE FUSE FOR EACH POLE

INTERRUPTER SWITCH, SIZE AND POLES INDICATED

FUSED SWITCH, SIZE/POLES AND FUSE SIZE INDICATED

DRAW OUT CIRCUIT BREAKER, SIZE AND POLES INDICATED

INDIVIDUAL BREAKER WITH SHUNT TRIP, SIZE AND POLES INDICATED, NEMA 1 UNO

INDIVIDUAL BREAKER, SIZE AND POLES INDICATED, NEMA 1 UNO

GROUND FAULT PROTECTION

TRANSIENT VOLTAGE SURGE SUPPRESSION

ADJUSTABLE BREAKER SETTINGS (PER SPECIFICATIONS):
L=LONG TIME
S=SHORT TIME
T=INSTANTANEOUS
G=GROUND FAULT
R=ENERGY REDUCING MAINTENANCE SWITCH W/STATUS INDICATOR

GROUND

SHUNT TRIP COIL

MOTOR

DISCONNECT SWITCH, SIZE AND POLES INDICATED, NEMA 1 UNO

OVERHEAD SERVICE DROP

GENERATOR SET, MAIN BREAKER SIZE INDICATED

AUTOMATIC TRANSFER SWITCH (ATS)

METER AND BASE

NEUTRAL

DRY TYPE TRANSFORMER

PAD MOUNT TRANSFORMER

SECURITY

CCTV CAMERA POWER SUPPLY

CCTV SYSTEM POWER SUPPLY

ADJUSTABLE CAMERA (PAN/TILT/ZOOM)

FIXED CAMERA

CAMERA IN OUTDOOR HOUSING

ADJUSTABLE CAMERA (PAN/TILT/ZOOM) IN OUTDOOR HOUSING

CCTV OUTLET, +18" UNO

CEILING MOUNTED CCTV OUTLET

SECURITY SYSTEM KEYPAD CONTROLLER COORDINATE BOX SIZE AND MOUNTING WITH VENDOR

CARD READER

CEILING MOUNTED MOTION SENSOR

WALL MOUNTED MOTION SENSOR, MOUNTING HEIGHT INDICATED

PANIC BUTTON - MOUNTED UNDER COUNTER

NOTE: THIS IS A STANDARD LIST OF COMMONLY USED ELECTRICAL SYMBOLS. SOME OF THE SYMBOLS SHOWN MAY NOT HAVE BEEN USED IN THIS DRAWING PACKAGE.

FIRE ALARM

PULL STATION, +44" AFF WITH PRE-ALARM COVER

FIRE ALARM HORN, +84" AFF UNO

FIRE ALARM STROBE, +84" AFF UNO, STROBE INTENSITY INDICATED. 'C' INDICATES CEILING MOUNTED

FIRE ALARM HORN/STROBE +84" AFF UNO, STROBE INTENSITY INDICATED. 'C' INDICATES CEILING MOUNTED

FIRE ALARM BELL, +84" AFF UNO. 'C' INDICATES CEILING MOUNTED

FIRE ALARM CHIME, +84" AFF UNO. 'C' INDICATES CEILING MOUNTED

FIRE ALARM CHIME/STROBE, +84" AFF UNO, STROBE INTENSITY INDICATED. 'C' INDICATES CEILING MOUNTED

SPEAKER STROBE, +84" AFF UNO. 'C' INDICATES CEILING MOUNTED

END OF LINE RESISTOR

FLOW SWITCH, PROVIDE MONITOR MODULE AS REQUIRED

TAMPER SWITCH, PROVIDE MONITOR MODULE AS REQUIRED

PRESSURE SWITCH, PROVIDE MONITOR MODULE AS REQUIRED

FIRE SYSTEM ANNUNCIATOR, FLUSH MOUNTED +54" UNO

POST INDICATOR VALVE, PROVIDE MONITOR MODULE AS REQUIRED

ELECTROMAGNETIC DOOR HOLDER

RELAY

CONTROL MODULE

MONITOR MODULE

FIRE ALARM KNOX BOX

FIRE ALARM CONTROL PANEL

NAC EXTENDER PANEL

FIRE/SMOKE DAMPER

LED INDICATOR LIGHT, CEILING MOUNTED UNO

LED INDICATOR LIGHT WITH TEST SWITCH, CEILING MOUNTED UNO

DUCT MOUNTED SMOKE DETECTOR

SMOKE DETECTOR, CEILING MOUNTED UNO

H HEAT
I IONIZATION
ID IN DUCT
P PHOTOELECTRIC
R RELAY
WG PROVIDE PROTECTIVE WIRE GUARD
BEAM DETECTOR, SENDER & RECEIVER

BS, BR

COMMUNICATIONS

JUNCTION BOX FOR FUTURE TELEPHONE/DATA OUTLET. MOUNT AT 18" A.F.F. UNO. PROVIDE SINGLE-GANG MUD RING WITH BLANK COVER PLATE. PROVIDE 1" CONDUIT TO NEAREST ACCESSIBLE CEILING SPACE.

TELEPHONE/DATA OUTLET, MOUNT AT 18" A.F.F. UNO. PROVIDE 1" CONDUIT TO NEAREST ACCESSIBLE CEILING. INSTALL QUANTITY OF DATA (D) AND TELEPHONE (T) CABLES INDICATED TO THE NEAREST DATA RACK. PROVIDE (2) DATA CABLES IF A CABLE QUANTITY IS NOT INDICATED.

FLOOR MOUNTED BOX FOR FUTURE TELEPHONE/DATA OUTLET. JUNCTION BOX WITH SINGLE-GANG MUD RING. PROVIDE 1" CONDUIT TO NEAREST ACCESSIBLE CEILING SPACE. PROVIDE BLANK COVER PLATE.

FLOOR MOUNTED TELEPHONE/DATA OUTLET, PROVIDE 1" CONDUIT TO NEAREST ACCESSIBLE CEILING. INSTALL QUANTITY OF DATA (D) AND TELEPHONE (T) CABLES INDICATED TO THE NEAREST DATA RACK. PROVIDE (2) DATA CABLES IF A CABLE QUANTITY IS NOT INDICATED.

INTERCOM SYSTEM CALL BUTTON, +48" UNO.

CEILING MOUNTED SPEAKER WITH BACKBOX

WALL MOUNTED SPEAKER, WITH BACKBOX +80" UNO

VOLUME CONTROL, +48" UNO

TELEVISION OUTLET, +18" AFF UNO, PROVIDE 1-1/4" CONDUIT TO NEAREST ACCESSIBLE CEILING SPACE

CEILING MOUNTED TELEVISION OUTLET

TELEPHONE TERMINAL BOARD

CABLE TRAY, 4" DEEP WIRE BASKET STYLE. 'XX' INDICATES WIDTH PROVIDE ALL FITTINGS AND SUPPORT HARDWARE REQUIRED

ELECTRICAL ABBREVIATIONS

A AMPERES

6" ABOVE BACKSPLASH AND ABOVE FINISHED FLOOR

ABOVE FINISHED GRADE

AMP FRAME AMPS INTERRUPTING CAPACITY

AMP TRIP

AUTOMATIC TRANSFER SWITCH

AMERICAN WIRE GAUGE

BOTTOM OF DECK

BOTTOM OF STRUCTURE

CEILING MOUNTED CONDUIT

CIRCUIT BREAKER

COMPACT FLUORESCENT

CIRCUIT

CONDUIT ONLY, PROVIDE PULL-LINE

CURRENT TRANSFORMER

CONTROL

DIRECT CURRENT

DEMOLITION

DEMOLITION DETAIL

DOUBLE TWIN TUBE

EMERGENCY EXISTING

ELECTRICAL CONTRACTOR

EMERGENCY LIGHT

FUSE

FUTURE

FIRE ALARM CONTROL PANEL

GROUND

GROUND FAULT CIRCUIT INTERRUPTER

GROUND FAULT INTERRUPTER

HAND HOLE

HIGH INTENSITY DISCHARGE

HAND-OFF-AUTO

HIGH PRESSURE SODIUM

HEATING, VENTILATION, & AIR CONDITIONING

ISOLATED GROUND

DIAHO POWER COMPANY

JUNCTION BOX

KILOAMP

KILO VOLT-AMP

KILOWATT

KILOWATT HOUR

LIGHTING CONTROL PANEL

MAIN BREAKER

MAIN CIRCUIT BREAKER

MOTOR CONTROL CENTER

MAIN DISTRIBUTION PANEL

MAIN LUGS ONLY

MODULAR METERING CENTER

METAL HALIDE

MAIN SWITCH BOARD

MOUNTING

NEUTRAL

NEW

NORMALLY CLOSED

NATIONAL ELECTRICAL CODE

NOT IN CONTRACT

NIGHT LIGHT

NORMALLY OPEN

NOT TO SCALE

OVERHEAD

OCCUPANCY SENSOR

POLES

PHOTO-CONTROL

POLYVINYL CHLORIDE

POWER

RE-REFERENCE

RECEPTACLE

RELOCATED

SF SQUARE FEET

TO BE DETERMINED

TIME DELAY RELAY

TOE KICK

TWISTED SHIELDED PAIR

TRIPLE TUBE

TRIPLE TUBE

TELEPHONE TERMINAL BOARD

TYPICAL

UNDERCABINET

UNDERGROUND

UNLESS NOTED OTHERWISE

VOLT

VOLT-AMPERE

WATT

WIRE GUARD

WEATHER PROOF/NEMA 3R

PROVIDED/ PROVIDE AND INSTALL / PROVIDED AND PROVIDED BY / PROVIDE AND INSTALL

INSTALL/ INSTALLED

NOTE: THIS IS A STANDARD LIST OF COMMONLY USED ELECTRICAL ABBREVIATIONS. SOME OF THE ABBREVIATIONS SHOWN ABOVE MAY NOT BE USED IN THIS DRAWING PACKAGE.

ELECTRICAL GENERAL NOTES

THESE ELECTRICAL DRAWINGS ARE DIAGRAMMATIC IN NATURE. THEREFORE, THE ELECTRICAL CONTRACTOR SHALL COORDINATE ALL ELECTRICAL EQUIPMENT AND DEVICE LOCATIONS WITH ARCHITECTURAL, MECHANICAL, AND PLUMBING DIVISIONS PRIOR TO ROUGH-IN. REFER TO AND COORDINATE WITH ARCHITECTURAL, MECHANICAL, AND PLUMBING DRAWINGS FOR ADDITIONAL WORK THAT IS REQUIRED BY THE ELECTRICAL CONTRACTOR.

ALL CONDUIT AND JUNCTION BOXES ARE TO BE CONCEALED UNLESS LOCATED WITHIN DEDICATED ELECTRICAL OR MECHANICAL ROOMS. USE OF SURFACE MOUNTED RACEWAYS IN ALL OTHER SPACES MUST BE APPROVED BY THE ARCHITECT FOR EACH LOCATION, WHERE SURFACE RACEWAYS ARE APPROVED, UTILIZE WIREMOLD, OR APPROVED EQUAL, SURFACE MOUNTED RACEWAYS PAINTED TO MATCH SURROUNDING WALLS.

REFER TO ARCHITECTURAL ELEVATIONS FOR OUTLET HEIGHTS WHERE THE SPECIFIC OUTLET HEIGHT IS NOT INDICATED. REFER TO THE ELECTRICAL LEGEND FOR THE DEFAULT OUTLET HEIGHT WHEN NOT INDICATED ON ELEVATIONS OR ON AT THE DEVICES.

PROVIDE PULL-LINE IN ALL EMPTY CONDUITS.

TERMINATE ALL LOW-VOLTAGE CONDUITS WITH INSULATED THROAT BUSHING.

MECHANICAL EQUIPMENT INDICATED IS SHOWN IN AN APPROXIMATE LOCATION. COORDINATE EXACT LOCATION WITH MECHANICAL CONTRACTOR PRIOR TO ROUGH-IN.

ALL NON-LOCKING, 120V, 15 AND 20-AMP RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES PER NEC 408.12

FIRE ALARM:

INSTALL PLENUM RATED FIRE ALARM CONDUCTORS FROM ALL FIRE ALARM DEVICES INDICATED TO THE FIRE ALARM CONTROL PANEL OR NAC EXTENDER PANEL(S) AS REQUIRED. STUB 3/4" CONDUIT FROM DEVICE TO VOID ABOVE CEILING. PROVIDE NAC EXTENDER PANELS QUANTITY AS REQUIRED IN LOCATIONS INDICATED AND CIRCUITING AS REQUIRED FOR A COMPLETE INSTALLATION. CIRCUIT THE FIRE ALARM NOTIFICATION AND INITIATION DEVICES PER THE ELECTRICAL SPECIFICATIONS. FURNISH AND INSTALL ALL APPURTENANCES AND PROGRAMMING REQUIRED FOR A COMPLETE AND OPERATIONAL SYSTEM. REFER TO ELECTRICAL FIRE ALARM SPECIFICATIONS FOR SYSTEM REQUIREMENTS AND SUBMITTAL PROCEDURES.

NOTE:

CONTRACTOR SHALL COORDINATE WITH AN UNDERGROUND LOCATING SERVICE PRIOR TO COMMENCING WORK. SEE CIVIL DRAWINGS FOR ADDITIONAL SITE INFORMATION. COORDINATE WITH OTHER SITE DISCIPLINES.

REFER TO POLE BASE DETAIL FOR SITE LIGHTING POLE BASE REQUIREMENTS.

ROUTE CONDUITS IN COMMON TRENCH WHERE POSSIBLE REFER TO TRENCHING DETAIL.

THE ELECTRICAL DEMOLITION DRAWING(S) PROVIDED ARE INTENDED TO ASSIST THE ELECTRICAL CONTRACTOR IN ESTABLISHING AREAS REQUIRING DISCONNECTION, REMOVAL, OR RELOCATION OF ELECTRICAL EQUIPMENT, OUTLETS, WIRING, DEVICES, FIXTURES, ETC. AND MAY NOT INDICATE ALL DEVICES OR THE FULL EXTENT OF DEMOLITION AND RECONNECTION WHICH MAY BE REQUIRED. THE ELECTRICAL CONTRACTOR SHALL VISIT THE JOB SITE AND THOROUGHLY EXAMINE ALL REQUIRED DEMOLITION WORK AND INCLUDE ALL LABOR AND INCIDENTALS THAT WILL BE NECESSARY TO PERFORM DEMOLITION RECONNECTION AND TEMPORARY POWER CONNECTIONS IN THE BID.

ALL ELECTRICAL DEVICES AND WALLS INDICATED ON THE ELECTRICAL DEMOLITION DRAWING(S) ARE TO REMAIN UNLESS OTHERWISE NOTED.

ELECTRICAL SPECIFICATIONS

ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE LOCALLY ADOPTED ELECTRICAL CODE, ALL LOCAL CODES, AND TO THE FULL ACCEPTANCE OF THE AUTHORITY HAVING JURISDICTION.

OBTAIN ALL PERMITS, COORDINATE, FURNISH, INSTALL, CONNECT AND TEST ALL ELECTRICAL EQUIPMENT REQUIRED FOR ALL THE SYSTEMS INSTALLED UNDER THIS CONTRACT TO INSURE COMPLETE AND FULLY OPERATIONAL SYSTEMS.

CONTRACTOR SHALL MAINTAIN A COMPLETE SET OF AS-BUILT DRAWINGS. AS-BUILT SET OF DRAWINGS SHALL BE UPDATED DAILY AND SHALL DOCUMENT THE ACTUAL INSTALLED CONDITION OF THE ENTIRE ELECTRICAL INSTALLATION. AS-BUILT SET OF DRAWINGS SHALL BE AVAILABLE AT ALL TIMES ON THE SITE FOR INSPECTION BY CODE OFFICIALS, OWNER, ARCHITECT, AND ENGINEER.

PROTECT ALL EXISTING WORK FROM DAMAGE DURING CONSTRUCTION.

DESIGN IS BASED ON BEST AVAILABLE INFORMATION. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS TO DETERMINE STATUS OF ACTUAL CONDITIONS AS THEY RELATE TO THE SCOPE OF WORK AS SHOWN ON THESE PLANS.

COORDINATE ALL ELECTRICAL WORK WITH ALL OTHER TRADES.

COORDINATE EXACT LOCATION AND MOUNTING HEIGHTS OF ALL ELECTRICAL EQUIPMENT AND DEVICES WITH THE ARCHITECTURAL ELEVATIONS AND DETAILS PRIOR TO ROUGH-IN.

DEMOLITION WORK IS A PART OF THIS PROJECT. SEE DRAWINGS FOR EXISTING ELECTRICAL DEVICES TO BE REMOVED. REMOVE ASSOCIATED BOXES, RACEWAYS AND CONDUCTORS BACK TO SOURCE, AND MAKE SAFE.

ALL MATERIALS AND EQUIPMENT FURNISHED TO THE PROJECT SHALL BE NEW AND SHALL BEAR THE LISTING LABEL OF A NATIONALLY RECOGNIZED TESTING LAB AS DEFINED BY OSHA.

ALL ELECTRICAL DEVICES AND TERMINALS SHALL BE RATED 75°C MINIMUM.

ALL CONDUCTORS SHALL BE STRANDED COPPER, 800 VOLT RATED. INSULATION TYPE SHALL BE THINWALL, FULLY COLOR CODED WITH GAUGE, TYPE AND MANUFACTURER MARKED EVERY 24" LONG. CONDUCTOR COLOR CODE SHALL BE AS FOLLOWS:

208Y/120 VOLT SYSTEM	480Y/277 VOLT SYSTEM
PHASE A - BLACK	PHASE A - BROWN
PHASE B - RED	PHASE B - ORANGE
PHASE C - BLUE	PHASE C - YELLOW
NEUTRAL - WHITE	NEUTRAL - GRAY
GROUND - GREEN	GROUND - GREEN

MINIMUM SIZE WIRE FOR POWER AND LIGHTING CIRCUITS SHALL BE #12 AWG. ALL POWER AND LIGHTING CONDUCTORS SHALL BE RATED IN 3/4" CONDUIT MINIMUM.

EMT OR MC TYPE CABLE IS ALLOWED WHEN CONCEALED IN INTERIOR SPACES. MC TYPE CABLE IS NOT ALLOWED FOR HOMERUNS.

MAKE ALL CONNECTIONS TO EQUIPMENT PER MANUFACTURER'S REQUIREMENTS.

ALL EQUIPMENT, SWITCHING DEVICES AND PANELS SHALL BE MOUNTED SO AS TO BE ACCESSIBLE AND SHALL BE MOUNTED PLUMB AND SQUARE WITH WALLS.

DEVICES AND RACEWAYS PENETRATING FIRE RATED WALLS AND FLOORS SHALL BE SEALED WITH FIRE RESISTIVE MATERIAL. COMPATIBLE WITH CONSTRUCTION PENETRATED. TO MAINTAIN RATING OF THE WALL. SEALANT SYSTEM SHALL BE A ILL. APPROVED SYSTEM AND INSTALLED PER MANUFACTURER'S INSTRUCTIONS.

FURNISH AND INSTALL PULL CORD IN ALL EMPTY CONDUITS.

ALL JUNCTION BOX COVERS WITH POWER WIRING SHALL HAVE THE PANEL AND CIRCUIT LABELED ON THE OUTSIDE SURFACE. ALL LABELS FOR EXPOSED JUNCTION BOXES IN "FINISHED AREAS" SHALL BE LABELED UTILIZING SELF ADHESIVE LABELS PRODUCED BY A MECHANICAL LABELING MACHINE. LABELS FOR JUNCTION BOX COVERS IN CONCEALED LOCATIONS SHALL CONSIST OF THE INFORMATION BEING NEATLY HANDWRITTEN ON THE OUTSIDE SURFACE OF THE COVER WITH A PERMANENT STYLE MARKER.

CLEARLY LABEL ALL ACCESSIBLE CONDUIT STUBS WITH SYSTEM NAME AND LOCATION (ROOM NUMBER) WHERE THE OTHER END OF THE CONDUIT TERMINATES. USE INDELEIBLE INK. LABELS SHALL BE LOCATED ON THE CONDUIT IN A POSITION THAT CAN BE EASILY READ.

ALL 1 POLE BREAKER CIRCUITS SHALL HAVE AN INDEPENDENT NEUTRAL CONDUCTOR. NO EDISON STYLE SHARED NEUTRAL CONDUCTORS ARE ALLOWED.

ALL CONDUCTORS IN ELECTRICAL PANELS, CABINETS AND EQUIPMENT SHALL BE NEATLY TRAINED AND LACED.

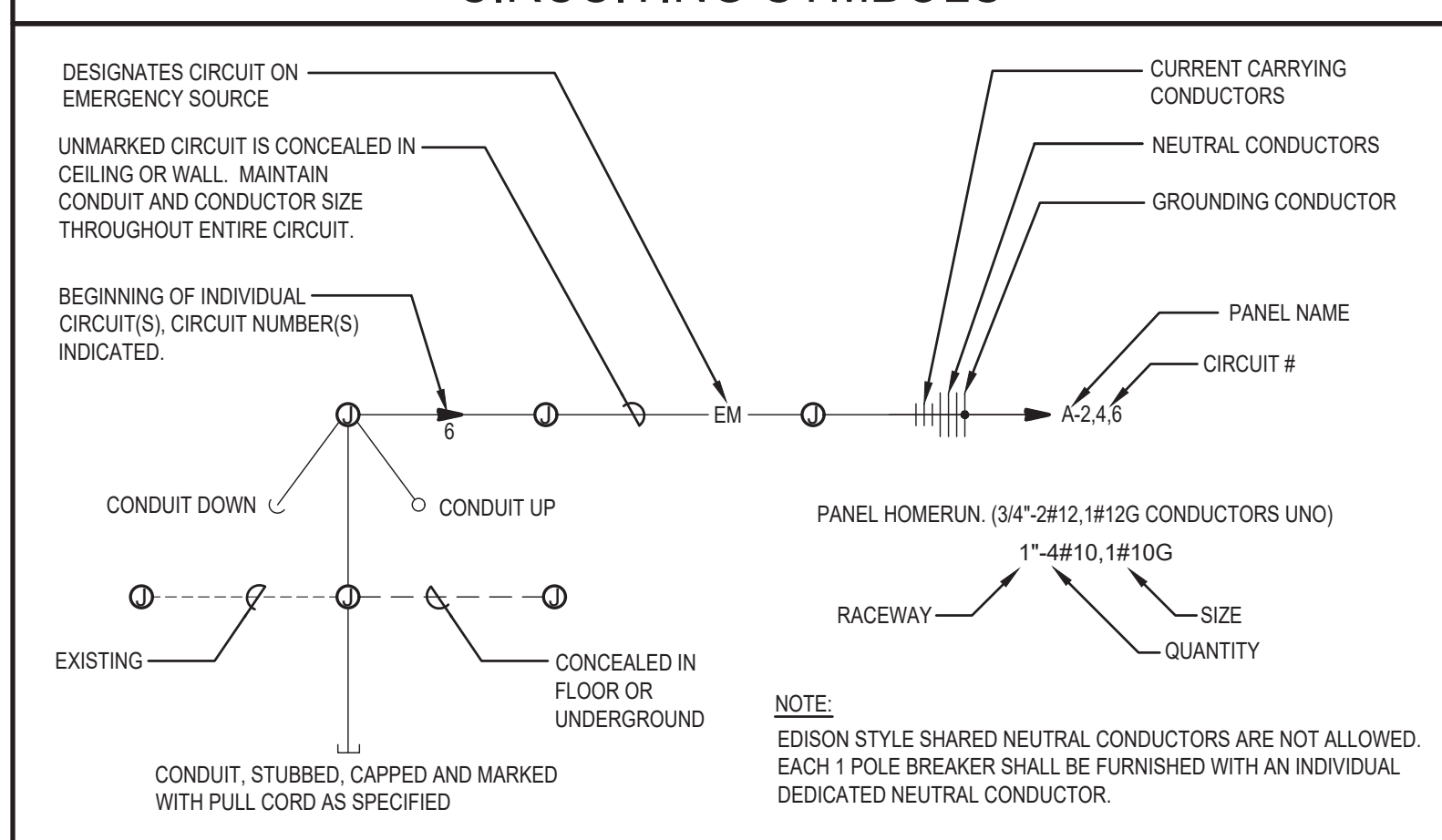
THE CONTRACTOR SHALL PROVIDE UPDATED CIRCUIT PANEL DIRECTORIES FOR ALL PANELS. DIRECTORIES SHALL BE TYPED.

PROVIDE ELECTRICAL SUBMITTALS FOR EQUIPMENT SHOWN AS REQUIRED BY DIVISION 1 SPECIFICATIONS.

ELECTRICAL CONTRACTOR SHALL OBTAIN THE AVAILABLE FAULT CURRENT VALUE FROM THE LOCAL UTILITY OR THE ONE-LINE DIAGRAM AND LABEL THE MAIN BREAKER WITH THAT VALUE.

SWITCH AND RECEPTACLE LABELING: IDENTIFY PANELBOARD AND CIRCUIT NUMBER FROM WHICH DEVICES ARE SERVED. USE MACHINE PRINTED LABEL AND 1/8" TEXT. INSTALL ON THE OUTSIDE OF THE FACEPLATE FOR RECEPTACLES AND INSIDE THE FACEPLATE FOR SWITCHES.

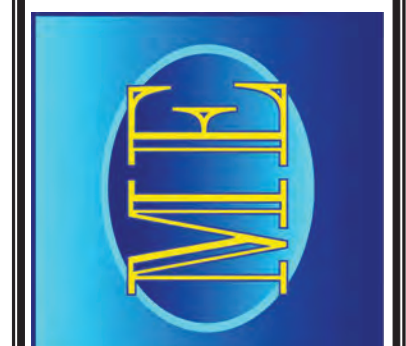
CIRCUITING SYMBOLS



NO.	REVISIONS	DATE

MUSGROVE ENGINEERING, P.A.
 224 S. Whisperwood Way
 Boise, Idaho 83709
 208.384.0308
 208.321.2862

OVER 40 YEARS OF EXCELLENCE

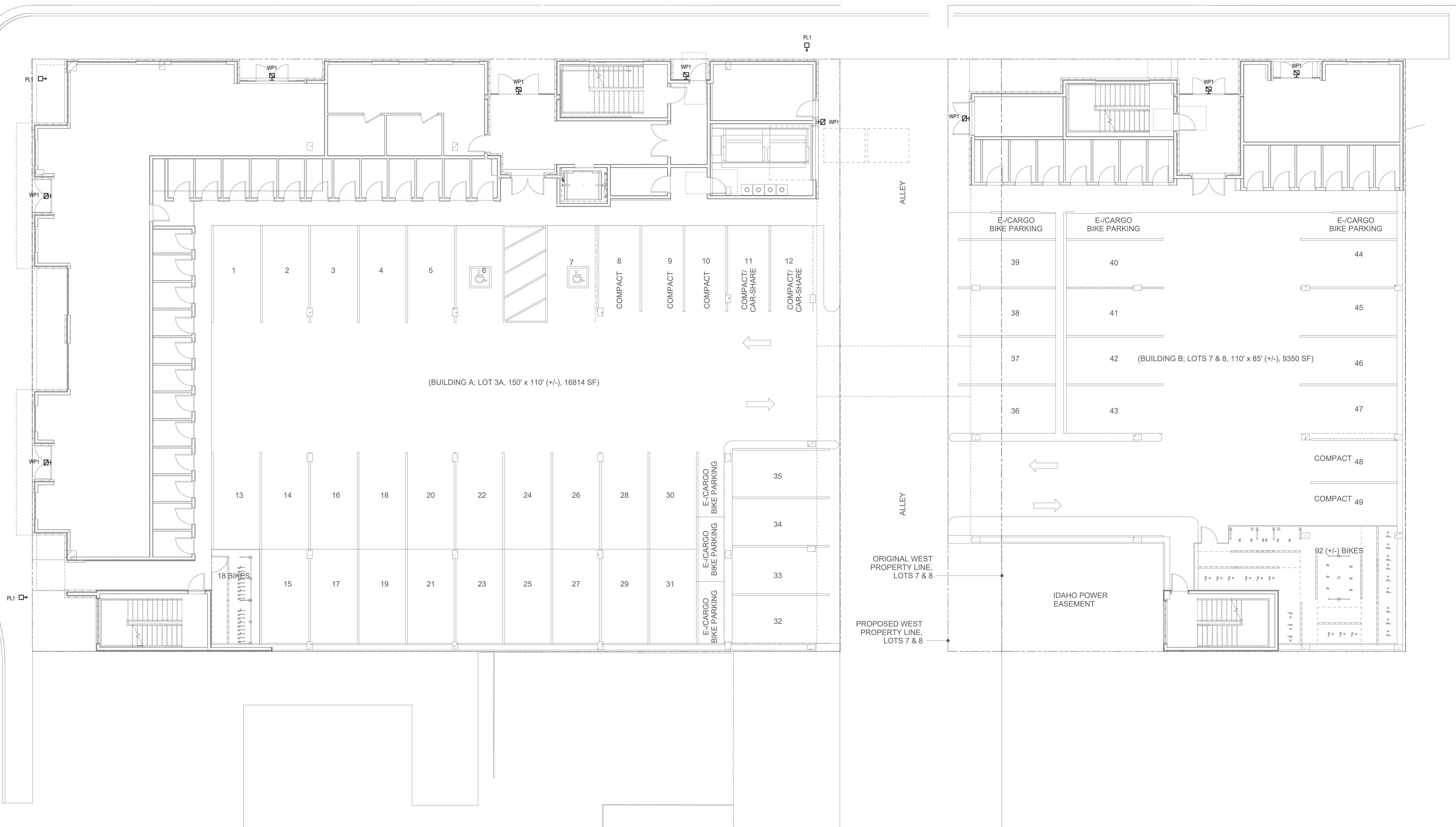


BLUEBIRD VILLAGE
 480 N. EAST AVE.
 KETCHUM, ID 83340

PROJECT	20-523
DRAWN	RM
CHECKED	TM
DATE	4/09/21
SCALE	NOTED ON PLANS
SHEET	

PDR E0.00

EAST FIFTH STREET




ELECTRICAL SITE PLAN

SCALE: 1/8" = 1'-0"

NO.	REVISIONS	DATE

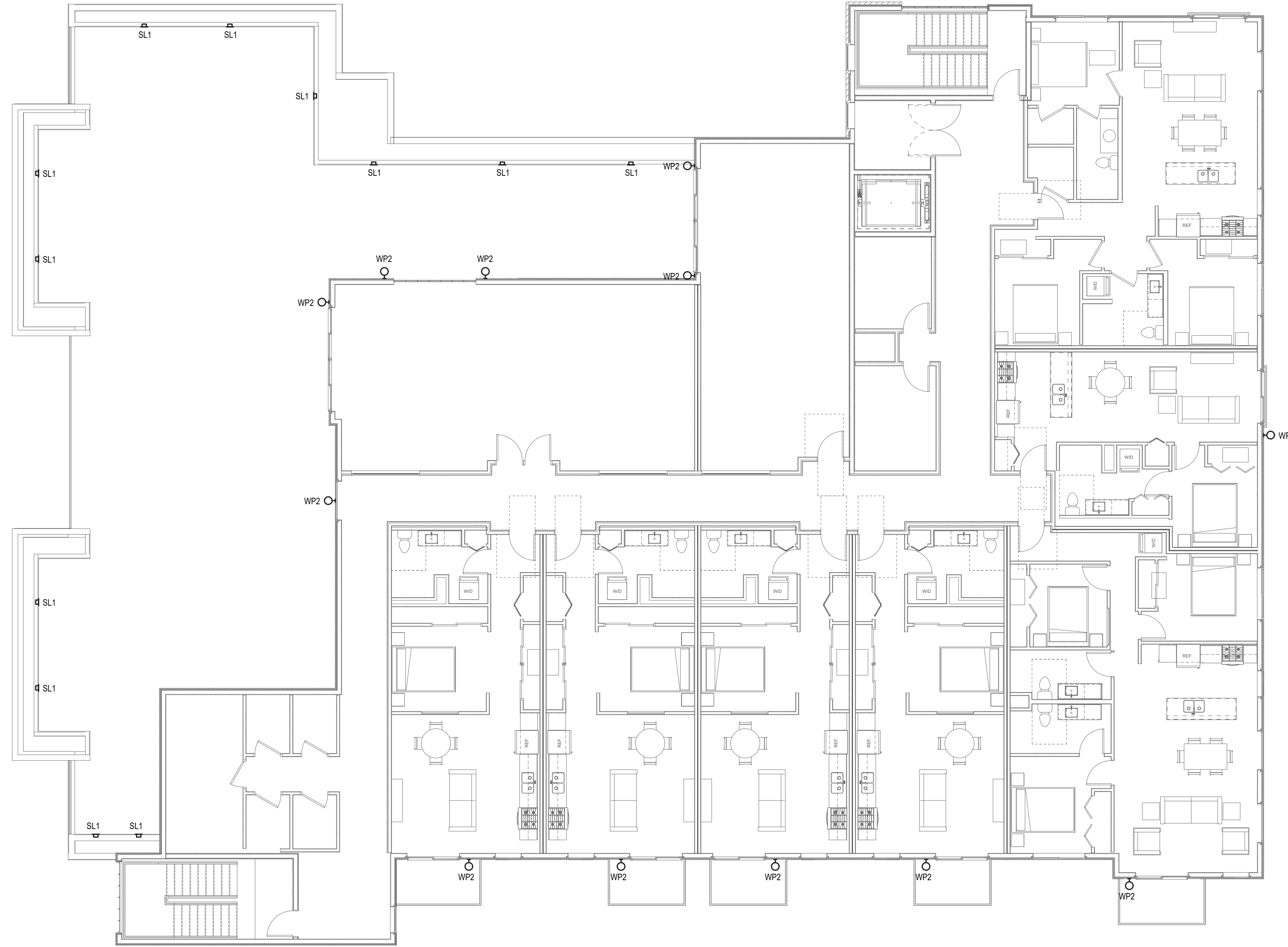
MUSGROVE ENGINEERING, P.A.
 224 S. Whippoorwill Way, 645 W. 25TH St.
 Boise, Idaho 83709 Idaho Falls, Idaho 83402
 208.384.1038 musgrovepa.com 208.321.2862
OVER 40 YEARS OF EXCELLENCE



BLUEBIRD VILLAGE
 480 N. EAST AVE.
 KETCHUM, ID 83340

PROJECT	20523
DRAWN	RM
CHECKED	TM
DATE	4/09/21
SCALE	NOTED ON PLANS
SHEET	

PDR E1.00



4TH FLOOR EXTERIOR LIGHTING PLAN

SCALE: 1/8" = 1'-0"

NO.	REVISIONS	DATE

MUSGROVE
ENGINEERING, P.A.
 224 S. Whisperwood Way Boise, Idaho 83709
 465 W. 25TH St. Idaho Falls, Idaho 83402
 208.384.0300 musgrovepa.com 208.321.2862
 OVER 40 YEARS OF EXCELLENCE



BLUEBIRD VILLAGE
480 N. EAST AVE.
KETCHUM, ID 83340

PROJECT	20-523
DRAWN	RM
CHECKED	TM
DATE	4/09/21
SCALE	NOTED ON PLANS
SHEET	

PDR E1.04

Legend

PROJECT NO.
SET NO.

BLUEBIRD VILLAGE
GMD KCDC APPLICATION

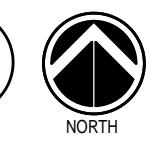
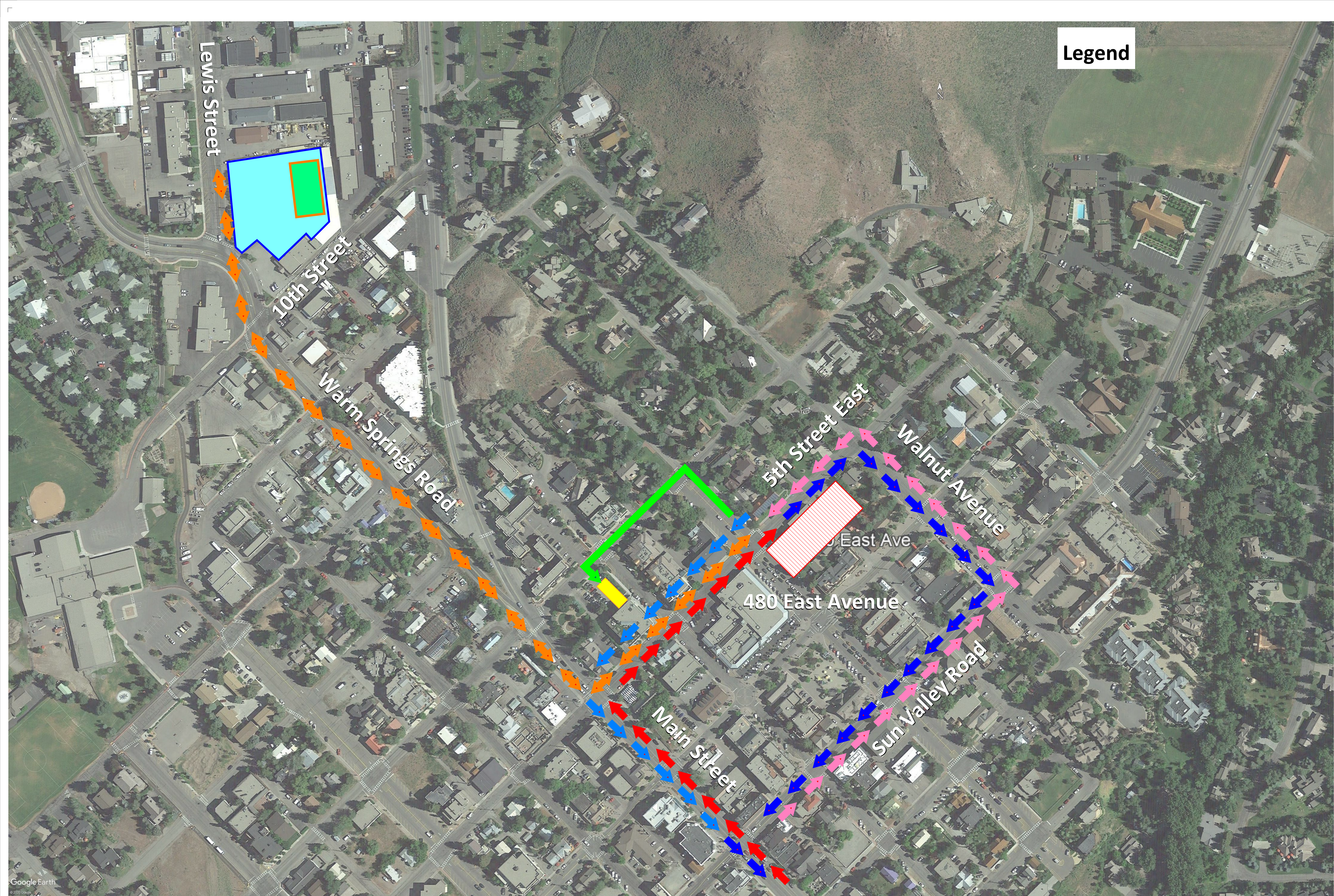
PRINT RECORD
PURPOSE PRELIM BUDGET DATE 6/12/2020

REVISION RECORD
CONSTRUCTION MANAGEMENT PLAN CHANGE

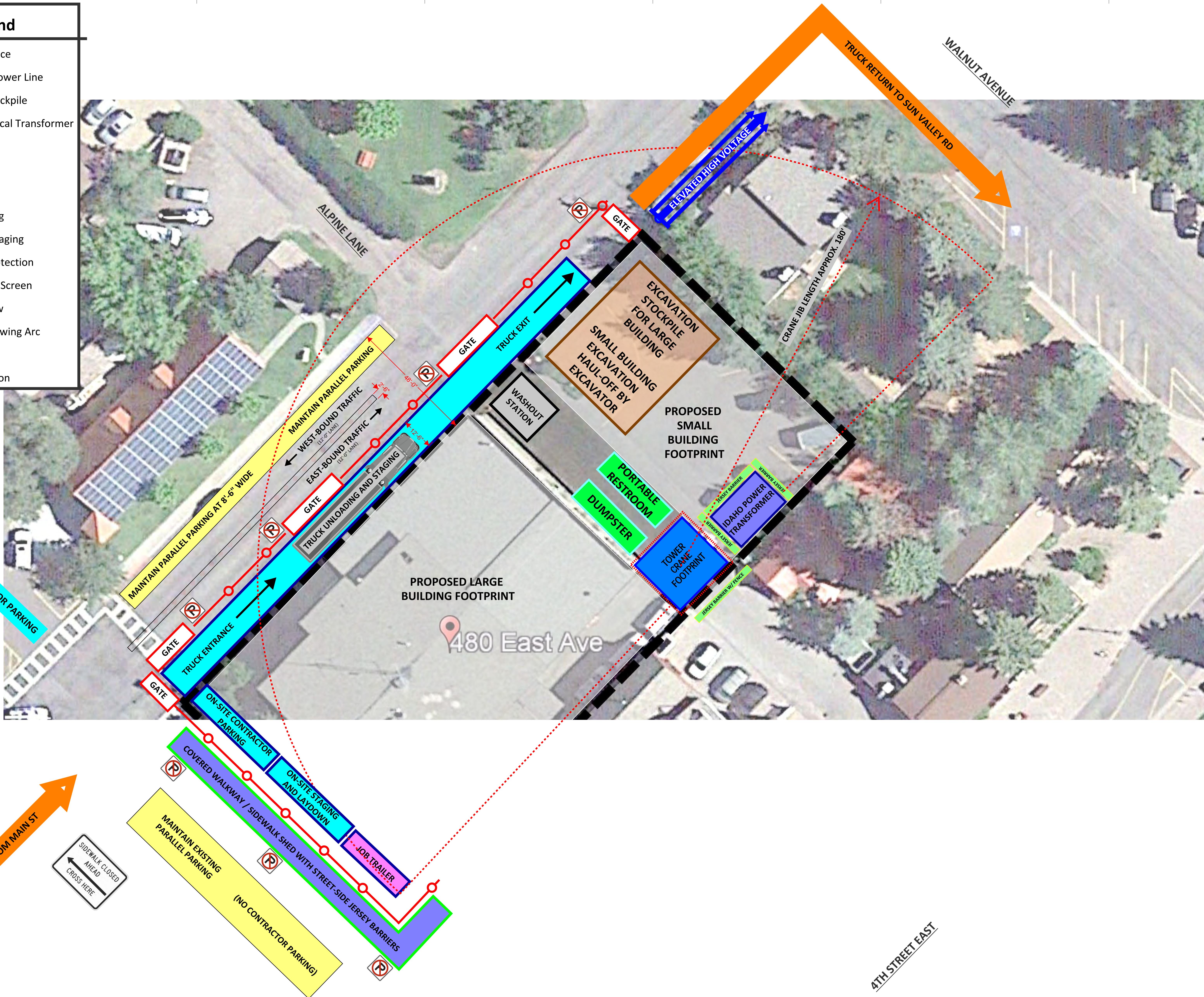
DRAWN:
CHECKED:
DATE: 12/14/2020

SHEET TITLE:
CONSTRUCTION MANAGEMENT PLAN

SHEET OF
PDR K1.01 TOTAL



Legend	
	Chain-Link Fence
	Elevated HV Power Line
	Excavation Stockpile
	Existing Electrical Transformer
	Group
	Jersey Barrier
	Job Trailer
	Parallel Parking
	Parking and Staging
	Pedestrian Protection
	Post Fence w/ Screen
	Snow Windrow
	Tower Crane Swing Arc
	Tower Crane
	Washout Station



PROJECT NO.
SET NO.

BLUEBIRD VILLAGE
GMD KCDC APPLICATION

PRINT RECORD	
PURPOSE	DATE
PRELIM BUDGET	6/12/2020

REVISION RECORD	
NO.	DESCRIPTION

DRAWN:
CHECKED:
DATE: 12/14/2020

SHEET TITLE:
CONSTRUCTION
MANAGEMENT PLAN