



City of Ketchum  
Planning & Building

STAFF REPORT  
KETCHUM PLANNING AND ZONING COMMISSION  
MEETING OF OCTOBER 14, 2025

PROJECT: Warm Springs Townhomes

FILE NUMBER: P24-063

APPLICATION: Design Review

PROPERTY OWNER: 108-110 Ritchie LLC (Presidio Vista Properties)

ARCHITECT: Ro Rockett Design, LLC – Zac Rockett (architect)

LOCATION: 108 Ritchie Dr  
(Warm Springs Village Subdivision 2<sup>nd</sup> Revision Lot 3A Blk 4)

ZONING: Tourist 3000 - (T-3000)

OVERLAY: None

REVIEWER: Morgan Landers, AICP – Director of Planning and Building

NOTICE: A public meeting notice for the project was mailed to all property owners within 300 feet of the project site and all political subdivisions on August 20, 2025. The notice was published in the Idaho Mountain Express on August 20, 2025. A notice was posted on the project site on September 2, 2025, and the city's website on August 19, 2025. A public hearing was held on September 9, 2025 and continued to a date certain (October 14<sup>th</sup>) following Commission deliberations.

## EXECUTIVE SUMMARY

The applicant has submitted a Design Review application for the development of 12-, three- and four-bedroom, townhouse units at 108 Ritchie Dr (the “subject property”). The subject property is zoned Tourist 3000 (T-3000) and is vacant (See Figure 1). The development proposes to utilize the city’s density bonus program for increased FAR and is therefore subject to the minimum residential density requirements of the Ketchum Municipal Code. 11 of the townhouse units range in size from approximately 2,500 SF to 4,400 SF with the twelfth unit being approximately 1,900 SF. The units within the development would be accessed by a private road entering from Ritchie Dr. Each townhouse has dedicated garage parking within each unit. The full project plans are included as Attachment A.

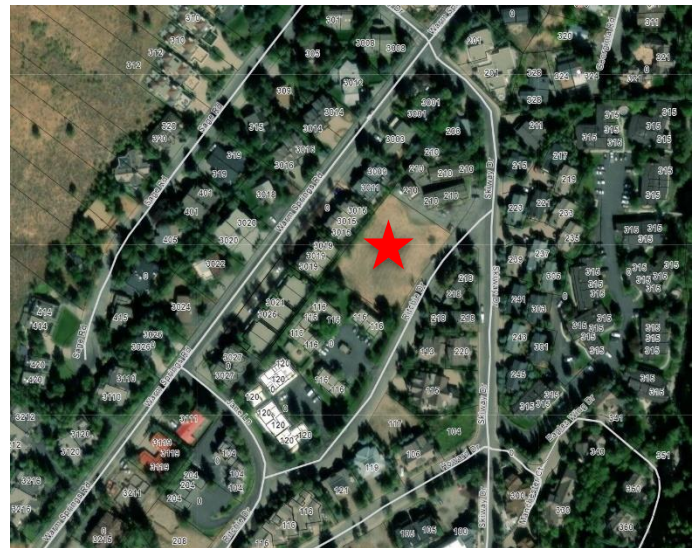


Figure 1: Subject Property

At the September 9, 2025 hearing, staff provided an overview of the proposed development and requested the Commission discuss key design elements related to the bulk and flatness of the buildings and materials of deck railings. Staff also presented some conditions of approval recommended if the Commission determined that approval of the project was warranted. Following staff presentation, applicant presentation, questions from the Commission and public comment, the Commission conducted deliberations and provided feedback to the applicant on areas that needed to be further addressed to fully meet design review criteria for approval. Those items included:

- Issues related to the underground boiler (exhaust fumes and noise)
- Visitor parking concerns
- Bulk and flatness of the structures

The staff memorandum with recommended conditions is included as Attachment B in this report. A recording of the September 9, 2025 meeting can be [watched here](#).

The applicant has since revised the design drawings to address some of the comments provided by staff and the Commission. The revised design drawings are included as Attachment A to this report. Staff recommend the Commission review the revisions provided by the applicant and provide feedback as to whether the changes adequately address the Commission’s concerns.

## ANALYSIS

The applicant has made the following revisions to the design drawings:

1. The access road between Buildings 1 and 3 has been shifted towards Building 1 by 10 feet. The adjustment in the road alignment created space for Buildings 1 and 3 to be offset slightly at the mid-point of the building.
4. The design drawings have been updated to include bicycle parking and drought resistance species. Cross sections have been added to assist the Commission in their evaluation of the development. The cross sections further illustrate the relationship between the development and the site topography.



5. The boiler vault has not been moved to a new location on the site, however, the applicant made modifications to the locations of the vent pipe and intake pipe to minimize noise and exhaust. The boiler vent has been rerouted to extend up through building 3 to the roof, which will help eliminate the concern over plumbing (steam rising) from that element. Exhaust from the boiler is only water-based steam with no odor. The applicant also had their mechanical engineers review and confirm the decibel level of the boiler unit. The unit produces 66db of sound, which is lower than a typical vacuum cleaner at 70db. Since the boiler is in a concrete vault below grade, no noise will be heard by adjacent property owners. The vent pipe itself emits no noise. Visually, steam will be noticeable during cold months which dissipates quickly.
6. Bulk/Mass Revisions – The applicant has represented to staff that splitting Buildings 1 and 3 into two separate buildings is not feasible. Rather than physically creating two separate buildings, the revised plans proposed to offset both buildings at the midpoint of the structure. Additional articulation has been added to Building 3 to reduce the ‘flatness’ previously of concern. Juliet balconies have been added to the north façade of building 4 to reduce the ‘flatness’ that the building previously presented. Glass guardrail caps have been changed to a metal rail.

None of the proposed changes impact the development’s compliance with zoning and dimensional standards.

#### **STAFF RECOMMENDATION**

Staff recommend the Commission review the revised Design Review application and provide direction on items outlined above in the staff report. Following that review, the Commission has the following options:

- Continue the application to a date certain or uncertain with a request for revisions or more information.
- Approve the application with conditions
- Deny the application

If the Commission chooses to move forward with approving the application as presented or revised, staff recommend the following conditions of approval be considered. The Commission may delete, revise, or add to the conditions of approval based on the discussion.

1. The term of Design Review approval shall be twelve (12) months from the date that the Findings of Fact, Conclusions of Law, and Decision are adopted by the Planning and Zoning Commission or upon appeal, the date the approval is granted by the Council. Extensions may be granted per KMC 17.96.090.B.
2. This Design Review approval is based on the plans dated October 14, 2025 and the information presented and approved at the September 9, 2025 and October 14, 2025 Planning and Zoning Commission meetings included as Exhibit A. The building permit plans must conform to the approved Design Review plans unless otherwise approved in writing by the Planning and Zoning Commission or Administrator. Any building or site discrepancies which do not conform to the approved plans will be subject to removal.
3. As a voluntary contribution, in exchange for an increase in FAR pursuant to KMC 17.124.040, a total community housing contribution of 4,429 square feet is required. A FAR Exceedance Agreement between the applicant and the City to memorialize how the community housing

contribution will be met shall be reviewed and approved by City Council, signed, and recorded prior to issuance of a building permit for the project.

4. For driveways less than 18 feet in length, "No Parking" signs shall be installed on or adjacent to every driveway prior to certificate of occupancy for each building.
5. A final landscape plan shall be provided for review and approval prior to building permit issuance. Said landscaping plan shall provide a detailed plan list showing the drought tolerance level of each proposed species. Species must be a minimum of "moderately" drought tolerant, "highly" drought tolerant is preferred.
6. Pursuant to KMC 17.125.060, the development shall provide a minimum of 6 bicycle racks, each serving two bicycles. The location and design shall be submitted, reviewed, and approved by the Planning Department prior to issuance of the first building permit.
7. The development shall utilize internal transformer locations for the development first. Street facing transformers shall only be utilized if no other alternative is feasible. All transformers shall be adequately screened from public view. Final transformer locations and screening proposals shall be reviewed and approved by the Planning Department prior to installation.
8. The grass-crete areas shown in Exhibit A shall always remain clear of snow. In the event snow storage cannot be accommodated by designated snow storage areas, snow shall be hauled off site to always ensure unobstructed access for fire and emergency vehicles.
9. Prior to building permit submittal, the applicant shall investigate the existence of fiber optic conduit. If none is found, the civil plans shall be revised to reflect the addition of fiber optic conduit along the subject property.
10. A preliminary plat application shall be submitted prior to building permit issuance. If the development is to be constructed in multiple phases, the preliminary plat application must include a request for a phased development agreement per KMC 16.04.110.
11. At time of building permit, the applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for all right-of-way improvements, including sidewalks, alley asphalt, streetlights, utilities, and drainage facilities, for final review and approval by the City Engineer, Streets Department, Utilities Department, and Planning Department.
12. All exterior light fixtures shall be at a maximum color temperature of 2700 Kelvins.
13. All boulder retaining walls shall be set back a minimum of one foot unless authorization from adjacent property owners is provided at the time of building permit application.
14. In addition to the requirements set forth in this Design Review approval, this project shall comply with all applicable local, state, and federal laws.

**Attachments:**

- A. Staff Report of September 9, 2025 Planning and Zoning Commission
- B. Revised Project Plans



City of Ketchum

## **ATTACHMENT A:**

# **September 9, 2025 - PZ Commission Staff Report**



City of Ketchum  
Planning & Building

STAFF REPORT  
KETCHUM PLANNING AND ZONING COMMISSION  
MEETING OF SEPTEMBER 9, 2025

PROJECT: Warm Springs Townhomes

FILE NUMBER: P24-063

APPLICATION: Design Review

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ARCHITECT: Ro Rockett Design, LLC – Zac Rockett (architect)

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REVIEWER: Morgan Landers, AICP – Director of Planning and Building

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#### EXECUTIVE SUMMARY

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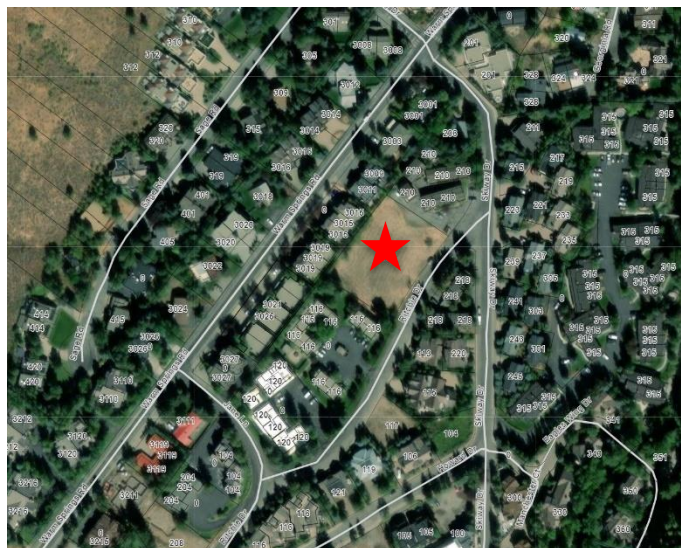


Figure 1: Subject Property

road entering from Ritchie Dr. Each townhouse has dedicated garage parking within each unit. The full project plans are included as Attachment B.

The project is subject to Design Review pursuant to Ketchum Municipal Code §17.96 as the property is a new multi-family development. A pre-application design review meeting was held with the Commission on April 23, 2024. [CLICK HERE](#) to listen to the recording of that meeting. Feedback from the Commission and staff has been incorporated into the development, resulting in substantial changes to the exterior design of the development. All city departments have completed their review of the development. At this time, all technical items have been resolved through corrections in the project plans and potential conditions of approval. However, planning staff does believe additional review and discussion on key architectural design review criteria is warranted prior to approval. See below for discussion of these items. Additionally, Attachment C includes the review of zoning compliance with dimensional standards, parking, and dark skies. Attachment D includes the review of all applicable design review criteria. No Public comments have been received prior to packet publication.

## **BACKGROUND**

The subject property was previously two vacant lots. Prior to the adoption of Interim Ordinance 1234, an application was filed with the city to consolidate the lots (P22-027). The consolidation of the lots was approved on July 18, 2022 by the Ketchum City Council.

The Planning and Building Department received a Pre-Application Design Review application on November 17, 2023 and a public meeting with the Commission was held on April 23, 2024. At the pre-application meeting, the Commission provided a variety of feedback on the design of the project. An overview of that feedback can be found below in the design review criteria section of the staff report.

The Planning and Building Department received the Design Review application on July 22, 2024 and conducted multiple rounds of review to address comments, most specifically related to exterior design of the buildings.

## **Analysis**

Per KMC 17.96.050.A Criteria. The Commission shall determine the following before approval is given for design review:

1. The project does not jeopardize the health, safety or welfare of the public.
2. The project generally conforms with the goals, policies, and objectives of the adopted comprehensive plan.
3. The project conforms to all applicable standards and criteria as set forth in this chapter, this title, and any other standards as adopted or amended by the City of Ketchum from time to time.

## **Criteria 1 & 2**

The 2014 Comprehensive Plan designates the subject property's future land use as "Medium Density Residential". Appropriate uses in this designation include single-family, duplexes, and other attached-unit types such as townhouses. The plan also states that multi-family housing is appropriate in many locations. The proposed development includes two multi-family buildings (Buildings 1 and 3) and two duplex units (Buildings 2 and 4). Staff believes the proposed development meets the intent of the future land use designation as proposed.



Chapter 4 of the comprehensive plan, Community Design and Neighborhoods, states that “Infill and development projects should be contextually appropriate to the neighborhood and development in which they will occur” (Policy CD-1.3). The plan also states that “Each new project should be well-designed and attractive and should complement surrounding land uses and existing neighborhood character” (Policy CD-1.4). The surrounding Warm Springs neighborhood is characterized by a variety of two- and three-story multi-family and duplex developments. Figure 2 shows the subject property highlighted in yellow and surrounding properties. The surrounding properties have an outline of the buildings. Where no building is shown, the property is either vacant or has a single-family residence. As shown in the image, most of the surrounding properties have a similar development pattern as the proposed development.

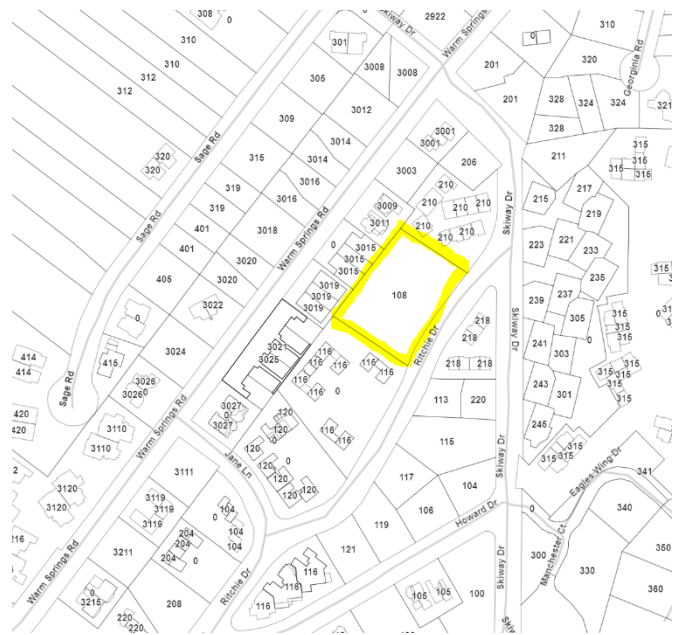


Figure 2: Surrounding Neighborhood Development

Staff believes that the type of development proposed is appropriate for the neighborhood, however, staff does believe that the design of the development should be further considered. Following the pre-application design review meeting and first round of comments from staff on the final design review, the applicant made substantial changes to the exterior design of the building. Staff believes these changes have dramatically improved the compatibility of the development; however, staff does have further comments on the undulation/relief of certain facades, glass railing details on decks, and window detailing. See discussion below for additional discussion.

### Criteria 3: Zoning and Design Review Standards

#### *Zoning and Dimensional Standards*

Staff reviewed the application for applicable zoning and dimensional standards including setbacks, building height, open site area, floor area ratio, parking, dark skies, and other applicable requirements. A full review of zoning and dimensional standards can be found in Attachment C. As proposed, the development meets most of the zoning requirements. Two items were missed by staff during the department review related to bicycle parking and retaining walls. These items are addressed through conditions of approval 6 and 13 and will be verified for compliance at the time of building permit review.

As noted above, the applicant is utilizing the FAR density bonus program. The base FAR permitted in the T-3000 zone district is 0.5, but can be increased to 1.6 with community housing mitigation. The proposed development has an FAR of 1.37 as shown on Sheets A-000 and A-002 of the application materials. The applicant has elected to pay a fee in-lieu of community housing for their mitigation and will be required to pay approximately \$2.4 million in housing in-lieu fees. The detailed calculation of the fee can be found in Attachment C.

### *Design Review Criteria*

As noted above, the Planning and Zoning Commission provided a variety of feedback items to the applicant during the pre-application meeting. In general, that feedback included concerns related to:

- Deck railing transparency and amount of glazing proposed
- Monochromatic color palette and contrast of materials
- Size/scale/mass of the buildings – specifically the length of the larger buildings along Ritchie Dr.
- Incongruous proportions of the structures
- Material orientation – the design proposed mostly vertical siding orientation and other vertical architectural elements

Following the pre-application meeting and first round of review from departments, the applicant team elected to take a different approach to the design of the buildings. See figures below for the initial development proposed at the pre-application meeting compared to the proposed development today.

**View from Ritchie Dr.**



*Figure 3: Initial Application*



*Figure 4: Current Proposal*



## View of the Rear



Figure 5: Initial Application



Figure 6: Current Proposal

## View from South/West



Figure 7: Initial Proposal



Figure 8: Current Proposal

### View from North/East



Figure 99: Initial Proposal



Figure 10: Current Proposal

Overall, staff believes the current proposal is significantly more compatible with the surrounding neighborhood. The color palette, the roof detailing, and the landscape plan address many of the Commission's early concerns. However, staff believe there are still items worth discussing prior to approval of the development.

#### *Bulk/Mass/Flatness*

The Ketchum design review criteria address the bulk and mass of buildings through a few different criteria. Staff believe there are two that directly speak to this development:

- KMC 17.96.060.F.5 - *Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.*
- KMC 17.96.060.F.2 - *The building character shall be clearly defined by the use of architectural features.*

The current proposal takes care in ensuring that the street frontage of the development is well articulated and detailed to enhance the streetscape. The initial proposal contained a significant number of vertical elements that elongated and enhanced the size of the structures along the street. The current proposal relies on horizontal elements, such as the cantilevered decks, which reduces the perceived size of the structures. Unfortunately, that same level of detailing does not translate to the other exterior facades of the development that will be visible from public view. More specifically, the south/west and north/east facades (see Figures 7 through 10 above).



Staff believe these facades to be quite flat and lack architectural features that provide interest and relief from the flat appearance of the structures. It is clear the applicant is drawing inspiration from historic mining structures that often feature tall narrow windows in a repetitive pattern. However, the recessed nature of the windows with minimal trim contributes to the flat nature of the elevations. Staff believe the addition of some key architectural features could assist in adding interest to these elevations. Additionally, the Commission commented on the front façade of Building 3 (see Figures 7 and 8) noting that interior buildings should have similar consideration as the others. Staff agrees that continuity throughout the development is critical and also understands the varying degree of architectural detailing between interior and exterior facing facades. Some considerations for Building 3 may be the reduction of the roof overhang so it is no longer flush with the first and second levels of the building. The applicant could also consider some window trim options to add interest to the facades.

### *Materials*

The Commission provided feedback during the pre-application design review related to the monochromatic color palette and transparency of the decks. As shown in the project plans, the color palette has been adjusted dramatically to a darker and richer brown. Staff believe this color choice is much more compatible with the surrounding structures and allows the buildings to recess into the landscape more. The applicant has also changed the railings along the decks from glass to solid, with a small glass railing on top. KMC 17.96.060.F.3 states *“There shall be continuity of materials, colors and signing within the project”*. Staff believe there is continuity of materials and colors within the project with the exception of the glass railing. Staff recommends the consideration of a metal railing detail rather than the glass railing proposed. See figures below that identify the glass railing currently proposed.



### *Utilities*

The civil and landscape plans both show proposed locations of transformers to serve the development. KMC 17.96.060.D.2 states *“Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view”*. Multiple transformers are necessary to serve all 12 units. Per the letter from Idaho Power dated May 17, 2024, the final location of the transformers has not been finalized until further analysis by Idaho Power is conducted. The letter does state that the proposed locations are acceptable, and all may not be needed. Condition of approval #7 states that the development shall utilize internal transformer locations for the development first and that street facing transformers shall only be utilized if no other alternative is feasible. All transformers shall be adequately screened from public view and final screening proposals shall be reviewed and approved by the Planning Department prior to installation.



## Staff Recommendation

Staff recommends the Commission review the Design Review Application and provide direction on items outlined above in the staff report. Following direction, the Commission has the following options:

- Continue the application to a date certain or uncertain with a request for revisions or more information.
- Approve the application with conditions
- Deny the application

If the Commission chooses to move forward with approving the application as presented or revised, staff recommend the following conditions of approval be considered. The Commission may delete, revise, or add to the conditions of approval based on the discussion.

1. The term of Design Review approval shall be twelve (12) months from the date that the Findings of Fact, Conclusions of Law, and Decision are adopted by the Planning and Zoning Commission or upon appeal, the date the approval is granted by the Council. Extensions may be granted per KMC 17.96.090.B.
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9. Prior to building permit submittal, the applicant shall investigate the existence of fiber optic conduit. If none is found, the civil plans shall be revised to reflect the addition of fiber optic conduit along the subject property.

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11. At time of building permit, the applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for all right-of-way improvements, including sidewalks, alley asphalt, streetlights, utilities, and drainage facilities, for final review and approval by the City Engineer, Streets Department, Utilities Department, and Planning Department.
12. All exterior light fixtures shall be at a maximum color temperature of 2700 Kelvins.
13. All boulder retaining walls shall be set back a minimum of one foot unless authorization from adjacent property owners is provided at the time of building permit application.
14. In addition to the requirements set forth in this Design Review approval, this project shall comply with all applicable local, state, and federal laws.

**Attachments:**

- A. Application and Supplemental Materials
- B. Project Plans
- C. Zoning and Dimensional Standards Analysis
- D. Design Review Standards Analysis



City of Ketchum

# **ATTACHMENT B:**

## **Project Plans**



# WARM SPRINGS TOWNHOMES

DESIGN REVIEW APPLICATION / OCTOBER 14, 2025

**DESCRIPTION**  
3-4 STORY MULTI-FAMILY RESIDENCE WITH 12 UNITS (4 BUILDINGS) WITH 23 INTERIOR, PRIVATE GARAGE PARKING SPACES. SCOPE OF WORK INCLUDES NEW CONSTRUCTION OF FOUNDATION, ERECTION OF STRUCTURE, CIVIL, LANDSCAPING, HARDSCAPING AND FINISHES.

**PROJECT ADDRESS**  
108 / 110 RITCHIE DRIVE KETCHUM, ID 83340

**APPLICABLE CODES**  
ALL CONSTRUCTION SHALL COMPLY WITH:  
2018 INTERNATIONAL BUILDING CODE\*\*  
2018 INTERNATIONAL RESIDENTIAL CODE\*  
2018 INTERNATIONAL FIRE CODE WITH LOCAL AMENDMENTS\*  
2018 INTERNATIONAL ENERGY CONSERVATION CODE\*  
2018 INTERNATIONAL SWIMMING POOL AND SPA CODE  
2018 INTERNATIONAL EXISTING BUILDING CODE  
2018 INTERNATIONAL PROPERTY MAINTENANCE CODE  
TITLE 15 KETCHUM MUNICIPAL CODE  
APPENDIX M OF THE IBC AS AMENDED BY THE CITY OF KETCHUM  
ALL APPLICABLE COUNTY ORDINANCES

\*AS AMENDED BY THE IDAHO BUILDING CODE BOARD AND INCLUDING NOTED APPENDICES.

CONTRACTOR SHALL KEEP A COPY OF THE ABOVE CODE SECTIONS ON THE JOB SITE AT ALL TIMES.

JURISDICTIONAL AGENCY SHALL BE THE KETCHUM BUILDING DEPARTMENT.

**PROJECT DATA**  
LOT AREA: 35,799 SF  
ZONING DESIGNATION: T-3000 (TOURIST ZONE)  
OCCUPANCY: MULTI-FAMILY (PRIVATE CONDOS)  
CONSTRUCTION TYPE: TYPE V  
CLIMATE ZONE: 6

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DRAWINGS, CALCULATIONS, GOVERNMENTAL AGENCY APPROVALS AND FEES TO COMPLETE THIS WORK. CONTRACTOR/SUBCONTRACTORS SHALL SUBMIT MECHANICAL, ELECTRICAL, COMMUNICATIONS AND PLUMBING DRAWINGS TO ROCKETT DESIGN FOR PREVIEW OF DEVICE TYPES, LOCATIONS AND QUANTITIES, HVAC ZONING/THERMOSTAT LOCATIONS, ETC. PRIOR TO SUBMITTING FOR PERMIT AND CONSTRUCTION.
2. THESE DOCUMENTS ARE INTENDED TO INCLUDE ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES REQUIRED TO COMPLETE ALL WORK DESCRIBED HEREIN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BRING TO THE ATTENTION OF THE ARCHITECT ANY CONDITIONS WHICH WILL NOT PERMIT CONSTRUCTION ACCORDING TO THE INTENTIONS OF THESE DOCUMENTS. IT IS THE RESPONSIBILITY OF THE ARCHITECT TO PROVIDE DETAILS AND/OR DIRECTIONS REGARDING DESIGN INTENT WHERE IT IS ALTERED BY EXISTING CONDITIONS OR WHERE NEGLECTED IN THE DOCUMENTS.
3. ANY MATERIALS PROPOSED FOR SUBSTITUTION OF THOSE SPECIFIED, OR CALLED OUT BY TRADE NAME, IN THESE DOCUMENTS SHALL BE PRESENTED TO THE ARCHITECT FOR REVIEW. THE CONTRACTOR SHALL SUBMIT SAMPLES WHEN REQUIRED BY THE ARCHITECT. AND ALL SUCH SAMPLES SHALL BE REVIEWED BY THE ARCHITECT BEFORE THE WORK IS PERFORMED. WORK MUST CONFORM TO THE REVIEWED SAMPLES. ANY WORK WHICH DOES NOT CONFORM SHALL BE REMOVED AND REPLACED WITH WORK WHICH CONFORMS AT THE CONTRACTOR'S EXPENSE. SUBCONTRACTORS SHALL SUBMIT REQUESTS AND SAMPLES FOR REVIEW THROUGH THE GENERAL CONTRACTOR WHEN WORK IS LET THROUGH HIM OR HER. REQUIRED VERIFICATIONS AND SUBMITTALS TO BE MADE IN ADEQUATE TIME AS NOT TO DELAY WORK IN PROGRESS.
4. SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR HIS OR HER REVIEW WHERE CALLED FOR ANYWHERE IN THESE DOCUMENTS. REVIEW SHALL BE MADE BY THE ARCHITECT BEFORE WORK IS BEGUN, AND WORK SHALL CONFORM TO THE REVIEWED SHOP DRAWINGS, SUBJECT TO REPLACEMENT AS REQUIRED IN PARAGRAPH "E" ABOVE.
5. DO NOT SCALE DRAWINGS. CONTRACTOR SHALL VERIFY ALL DIMENSIONAL DISCREPANCIES WITH THE ARCHITECT.
6. CONTRACTOR SHALL VERIFY AND COORDINATE ALL OPENINGS THROUGH FLOORS, CEILINGS, AND WALLS WITH ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS.
7. CONTRACTOR WILL ASSUME RESPONSIBILITY OF ITEMS REQUIRING COORDINATION AND RESOLUTION DURING THE BIDDING PROCESS.
8. BUILDING TO BE FULLY SPRINKLERED PER NFPA 13D. CONTRACTOR TO PROVIDE FIRE SPRINKLER SYSTEM DESIGN AND SHOP DRAWINGS TO CONFORM TO THESE STANDARDS.



## WARM SPRINGS TOWNHOMES KETCHUM, ID

OWNER:

108-110 RITCHIE LLC  
P.O. BOX 14001-174  
KETCHUM, ID 83340  
TEL: 803.801.0419

BUILDING ARCHITECT:

ROCKETT DESIGN  
1031 W. MANCHESTER BLVD. UNIT 6  
INGLEWOOD, CA 90301  
TEL: 213.784.0014

STRUCTURAL ENGINEER:

ZFA STRUCTURAL ENGINEERS  
601 MONTGOMERY STREET SUITE 1450  
SAN FRANCISCO, CA 94111  
TEL: 415.243.4091

MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:

PROFICIENT ENGINEERING  
4704 HARLAN STREET SUITE 620  
DENVER, CO 80212  
TEL: 720.779.3596

CIVIL ENGINEER:

GALENA BENCHMARK ASSOCIATES  
100 BELL DRIVE SUITE C  
KETCHUM, ID 83340  
TEL: 208.725.9512

LANDSCAPE ARCHITECT:

EGGERS ASSOCIATES  
560 NORTH 2ND AVENUE  
KETCHUM, ID 83340  
TEL: 208.725.0988

ISSUE	DESCRIPTION	DATE
1	DESIGN REVIEW APP	25.09.09
2	DESIGN REVIEW APP REV	25.10.14

All designs, ideas, arrangements and plans indicated by these drawings are the property and copyright of the Architect and shall neither be used on any other work nor be disclosed to any other person for any use whatsoever without written permission.

ROCKETT DESIGN and/or its principals and employees waives any and all liability or responsibility for problems that may occur when these plans, drawings, specifications, and/or designs are followed without the designer's guidance with ambiguities, or conflicts which are alleged.

PROJECT:  
**WARM SPRINGS TOWNHOMES KETCHUM, ID**  
108 & 110 RITCHIE DR.  
KETCHUM, IDAHO

DRAWING TITLE:  
**COVER SHEET**

SEAL:

PROJECT NUMBER:  
**2305**

DRAWING NUMBER:

**G-000**

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WARM SPRINGS  
TOWNHOMES  
KETCHUM, ID

OWNER:

108-110 RITCHIE LLC  
P.O. BOX 14001-174  
KETCHUM, ID 83340  
TEL: 603.801.0419

BUILDING ARCHITECT:

RO | ROCKETT DESIGN  
1031 W. MANCHESTER BLVD. UNIT 6  
INGLEWOOD, CA 90301  
TEL: 213.784.0014

STRUCTURAL ENGINEER:

ZFA STRUCTURAL ENGINEERS  
601 MONTGOMERY STREET SUITE 1450  
SAN FRANCISCO, CA 94111  
TEL: 415.243.4091

MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:

PROFICIENT ENGINEERING  
4704 HARLAN STREET SUITE 620  
DENVER, CO 80212  
TEL: 720.779.3596

CIVIL ENGINEER:

GALENA BENCHMARK ASSOCIATES  
100 BELL DRIVE SUITE C  
KETCHUM, ID 83340  
TEL: 208.725.9512

LANDSCAPE ARCHITECT:

EGGERS ASSOCIATES  
560 NORTH 2ND AVENUE  
KETCHUM, ID 83340  
TEL: 208.725.0988

ISSUE	DESCRIPTION	DATE
1	DESIGN REVIEW APP	25.09.09
2	DESIGN REVIEW APP REV	25.10.14

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PROJECT:

WARM SPRINGS TOWNHOMES  
KETCHUM, ID  
108 & 110 RITCHIE DR.  
KETCHUM, IDAHO

DRAWING TITLE:

SITE PLAN - BUILDING AREAS

SEAL:

PROJECT NUMBER

2305

DRAWING NUMBER:

A-000

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[illegible][illegible]

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SEAL:

DRAWING NUMBER:

**A-001**

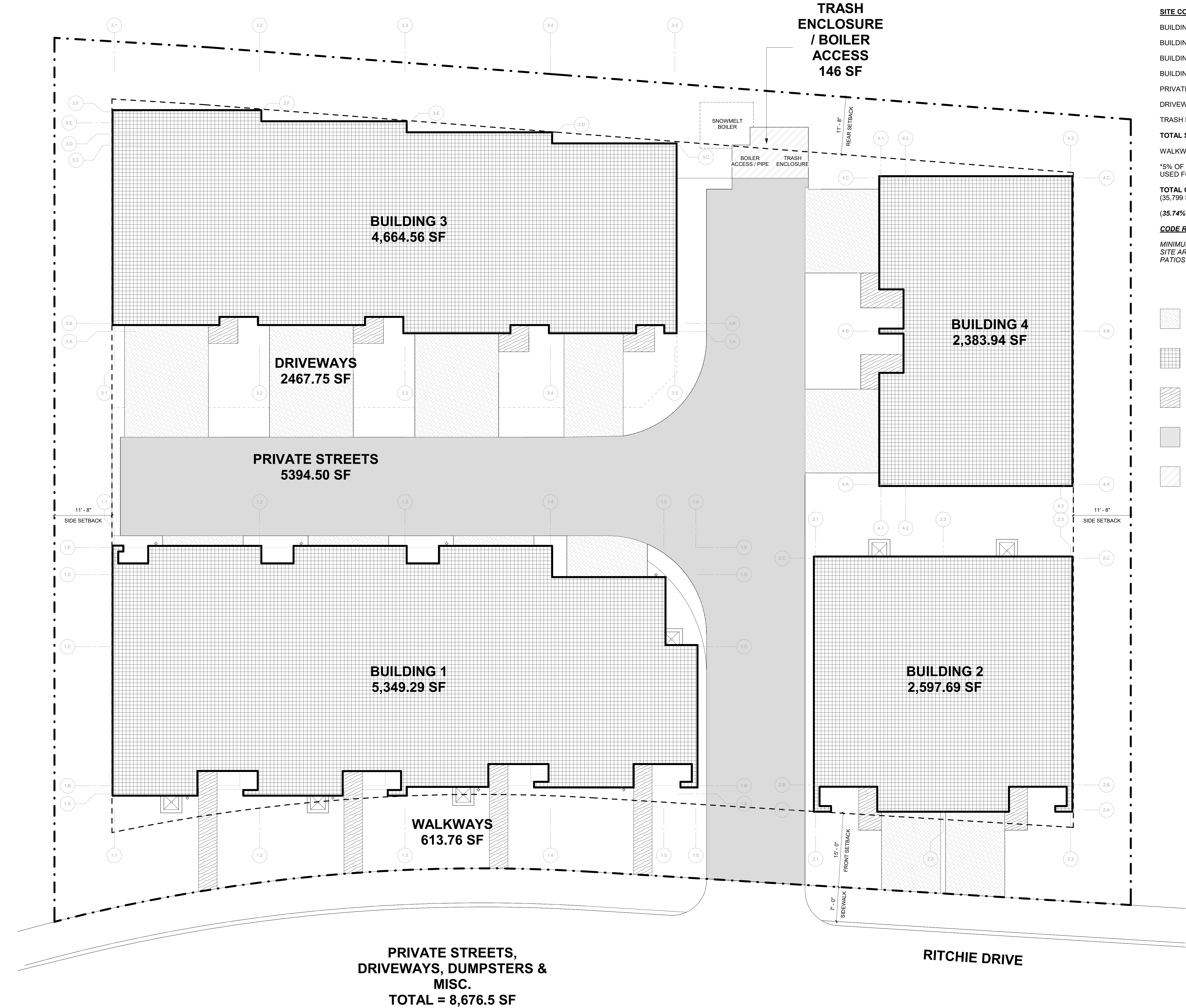
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LOT AREA:	35,799.00 SF
OPEN SPACE REQ (35% LOT AREA):	12,529.65 SF
<b>SITE COVERAGE AREAS:</b>	
BUILDING 1:	5,349.29 SF
BUILDING 2:	2,597.69 SF
BUILDING 3:	4,664.56 SF
BUILDING 4:	2,383.94 SF
PRIVATE STREETS:	5,394.50 SF
DRIVEWAYS:	2,467.75 SF
TRASH ENCLOSURE / BOILER ACCESS:	146.0 SF
<b>TOTAL SITE COVERAGE:</b>	<b>23,003.73 SF</b>
WALKWAY AREA:	613.76 SF*
*5% OF REQ OPEN SPACE (12,529.65 SF) USED FOR WALKWAYS ALLOWABLE = 626.48 SF	
<b>TOTAL OPEN SPACE AREA:</b>	<b>12,795.27 SF</b> (35,799 SF LOT AREA - 23,003.73 SF SITE COVERAGE)
(35.74% - COMPLIANT, 265.62 SF SURPLUS)	
<b>CODE REQUIREMENT: OPEN SPACE</b>	
MINIMUM OPEN SPACE: 35% (A MAXIMUM OF 5% OPEN SITE AREA MAY BE USED FOR PRIVATE DECKS OR PATIOS AND WALKWAYS SUBJECT TO DESIGN REVIEW).	

- DRIVEWAYS
- BUILDINGS
- WALKWAYS
- PRIVATE STREETS
- TRASH ENCLOSURE

WARM SPRINGS TOWNHOMES KETCHUM, ID

OWNER:	108-110 RITCHIE LLC P.O. BOX 14001-174 KETCHUM, ID 83340 TEL: 603.801.0419
BUILDING ARCHITECT:	RO   ROCKETT DESIGN 1031 W. MANCHESTER BLVD. UNIT 6 INGLEWOOD, CA 90301 TEL: 213.784.0014
STRUCTURAL ENGINEER:	ZFA STRUCTURAL ENGINEERS 601 MONTGOMERY STREET SUITE 1450 SAN FRANCISCO, CA 94111 TEL: 415.243.4091
MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:	PROPIQENT ENGINEERING 4704 HARLAN STREET SUITE 620 DENVER, CO 80212 TEL: 720.779.3596
CIVIL ENGINEER:	GALENA BENCHMARK ASSOCIATES 100 BELL DRIVE SUITE C KETCHUM, ID 83340 TEL: 208.725.9512
LANDSCAPE ARCHITECT:	EGGERS ASSOCIATES 560 NORTH 2ND AVENUE KETCHUM, ID 83340 TEL: 208.725.0988

ISSUE	DESCRIPTION	DATE
1	DESIGN REVIEW APP	25.09.09
2	DESIGN REVIEW APP REV	25.10.14

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PROJECT:  
WARM SPRINGS TOWNHOMES  
KETCHUM, ID  
108 & 110 RITCHIE DR.  
KETCHUM, IDAHO

DRAWING TITLE:  
SITE PLAN - OPEN SPACE

SEAL:

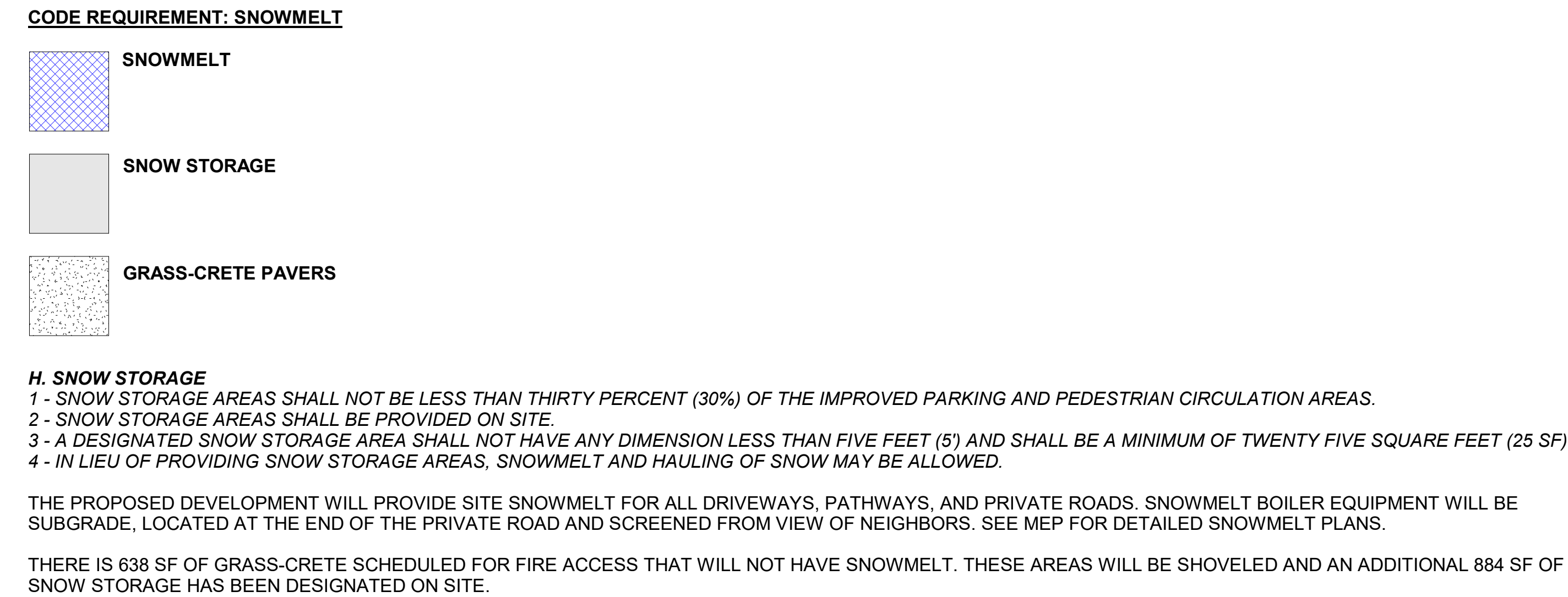
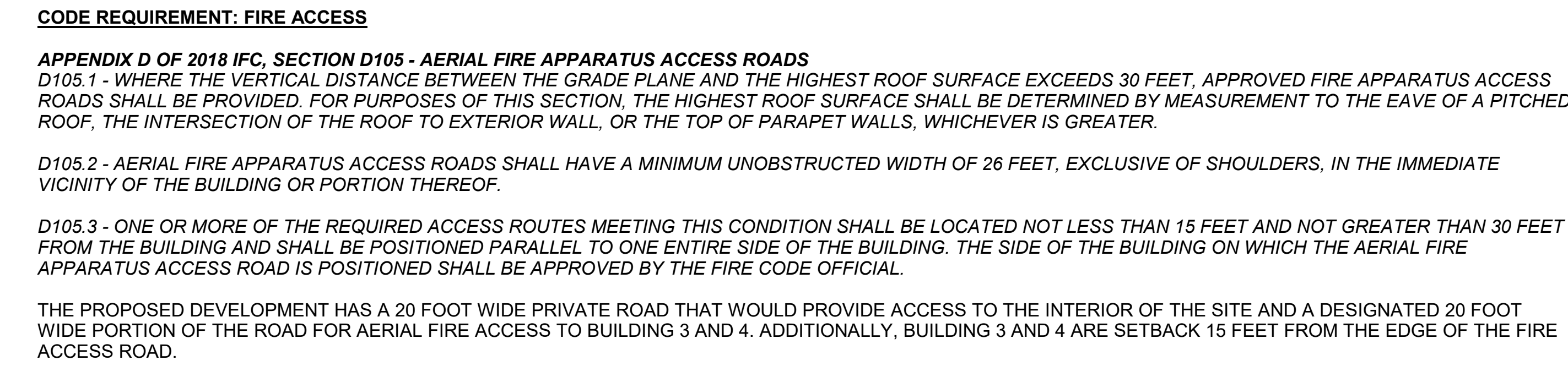
PROJECT NUMBER:  
2305

DRAWING NUMBER:

A-003



OWNER:	<p><b>108-110 RITCHIE LLC</b>  P O BOX 14001-174  KETCHUM, ID 83340  TEL: 603.801.0419</p>
BUILDING ARCHITECT:	<p><b>ROJ ROCKETT DESIGN</b>  1031 W. MANCHESTER BLVD. UNIT 6  INGLEWOOD, CA 90301  TEL: 213.784.0014</p>
STRUCTURAL ENGINEER:	<p><b>ZFA STRUCTURAL ENGINEERS</b>  601 MONTGOMERY STREET SUITE 1450  SAN FRANCISCO, CA 94111  TEL: 415.243.4091</p>
MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:	<p><b>PROFICIENT ENGINEERING</b>  4704 HARLAN STREET SUITE 620  DENVER, CO 80212  TEL: 720.778.3556</p>
CIVIL ENGINEER:	<p><b>GALENA BENCHMARK ASSOCIATES</b>  100 BELL DRIVE SUITE C  KETCHUM, ID 83340  TEL: 208.726.9512</p>
LANDSCAPE ARCHITECT:	<p><b>EGGERS ASSOCIATES</b>  580 NORTH 2ND AVENUE  KETCHUM, ID 83340  TEL: 208.725.0988</p>

[illegible]

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PROJECT:  
**WARM SPRINGS TOWNHOMES**  
**KETCHUM, ID**  
108 & 110 RITCHIE DR.  
KETCHUM, IDAHO

DRAWING TITLE:  
**SITE PLAN - FIRE ACCESS &  
SNOWMELT**

SEAL:

PROJECT NUMBER
2305

DRAWING NUMBER:

**A-004**

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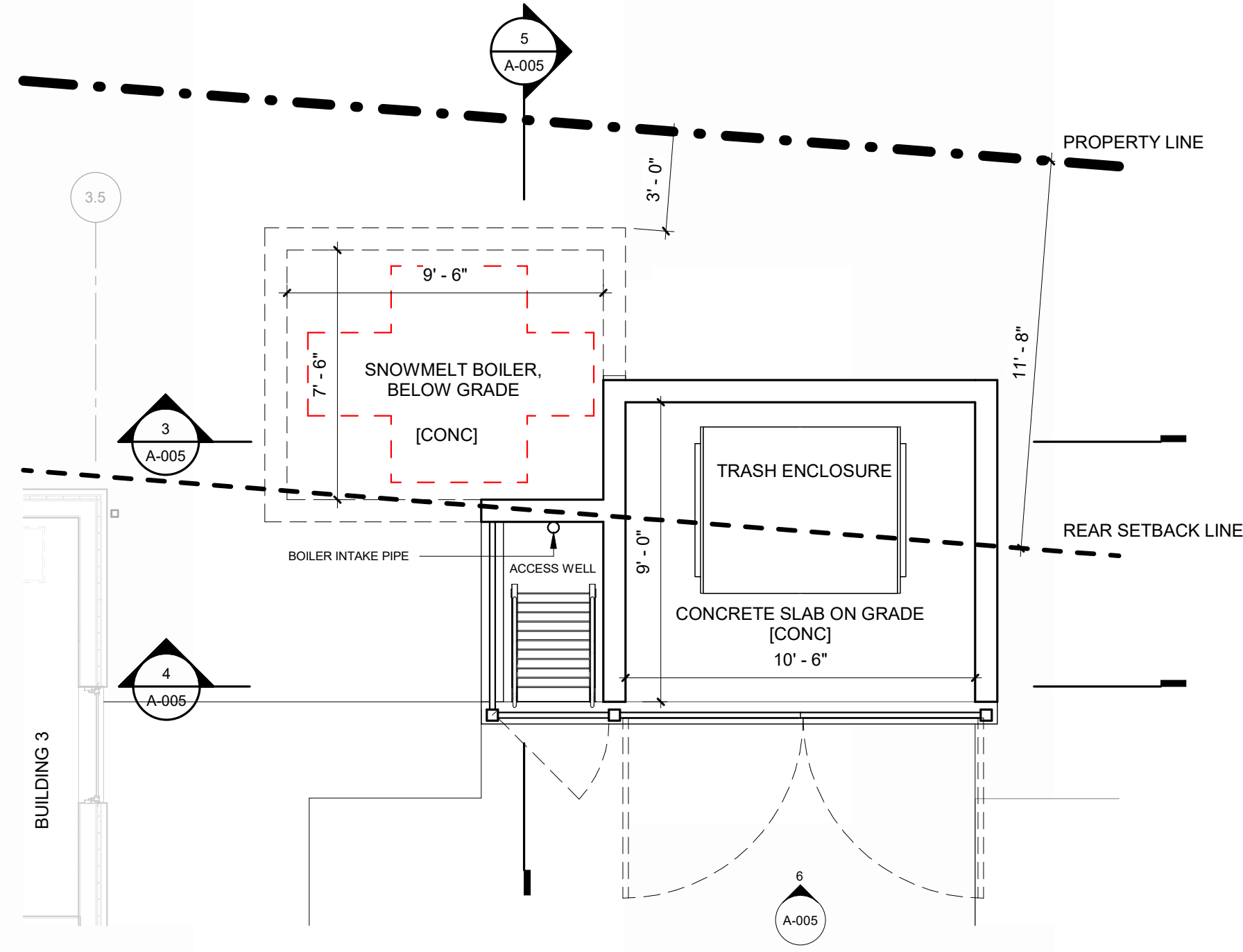
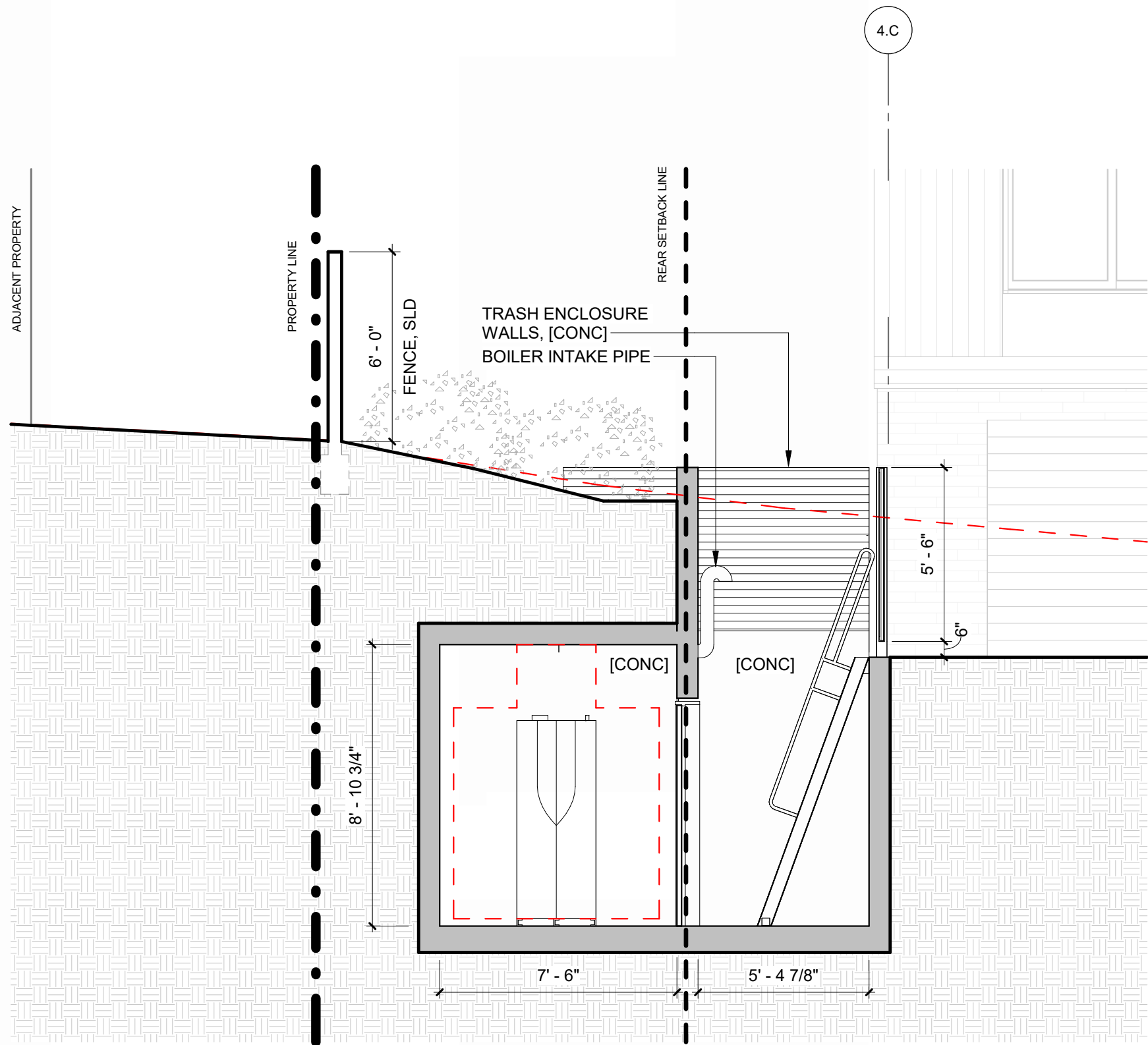
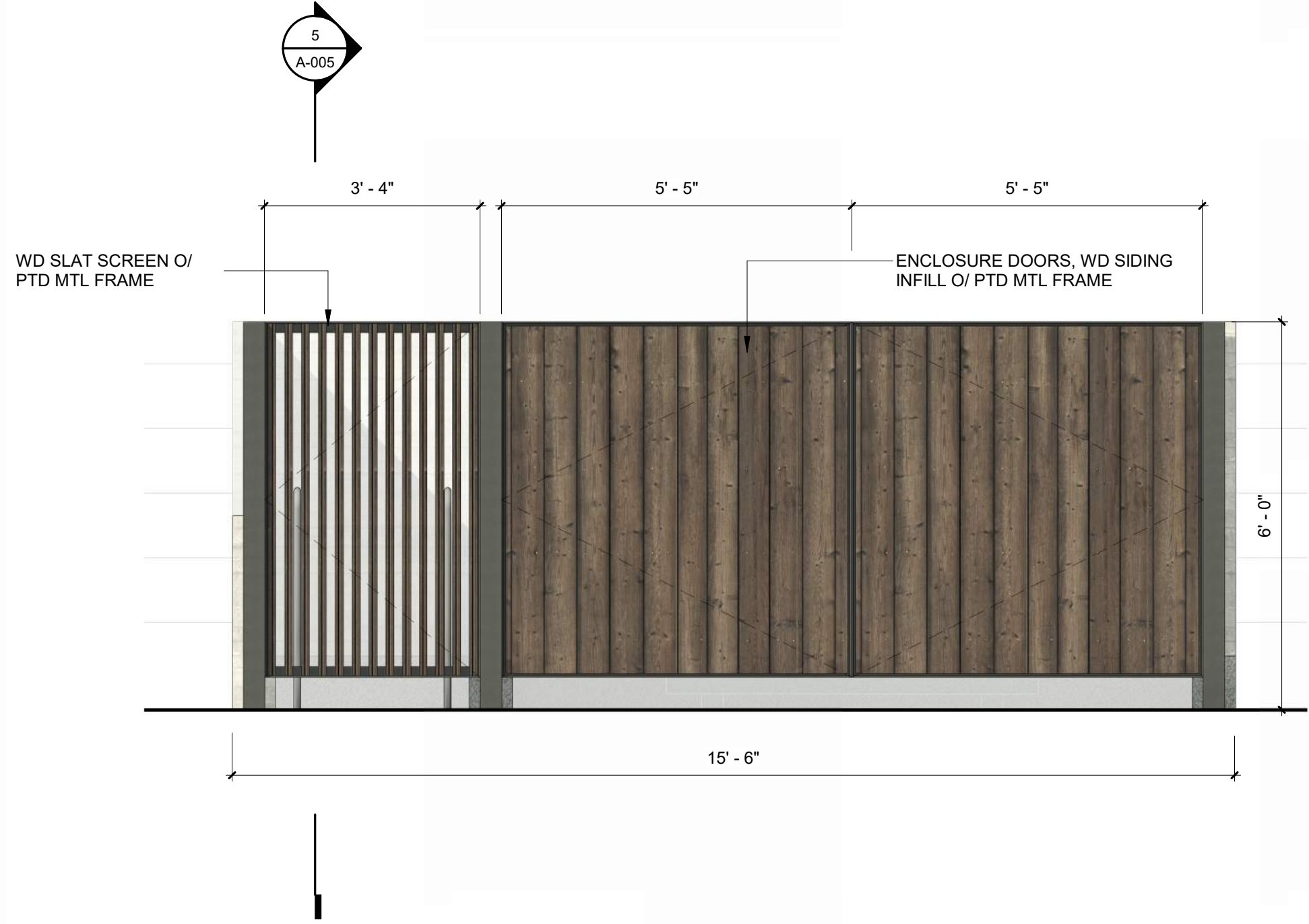




MEDIUM BROWN WOOD SIDING TO MATCH  
BUILDING SIDING MATERIAL



DARK PAINTED METAL STRUCTURE



## WARM SPRINGS TOWNHOMES KETCHUM, ID

OWNER:

108-110 RITCHIE LLC  
P.O. BOX 14001-174  
KETCHUM, ID 83340  
TEL: 803.801.0419

BUILDING ARCHITECT:

RO | ROCKETT DESIGN  
1031 W. MANCHESTER BLVD. UNIT 6  
INGLEWOOD, CA 90301  
TEL: 213.784.0014

STRUCTURAL ENGINEER:

ZFA STRUCTURAL ENGINEERS  
601 MONTGOMERY STREET SUITE 1450  
SAN FRANCISCO, CA 94111  
TEL: 415.243.4091

MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:

PROFICIENT ENGINEERING  
4704 HARLAN STREET SUITE 620  
DENVER, CO 80212  
TEL: 720.779.3596

CIVIL ENGINEER:

GALENA BENCHMARK ASSOCIATES  
100 BELL DRIVE SUITE C  
KETCHUM, ID 83340  
TEL: 208.725.9512

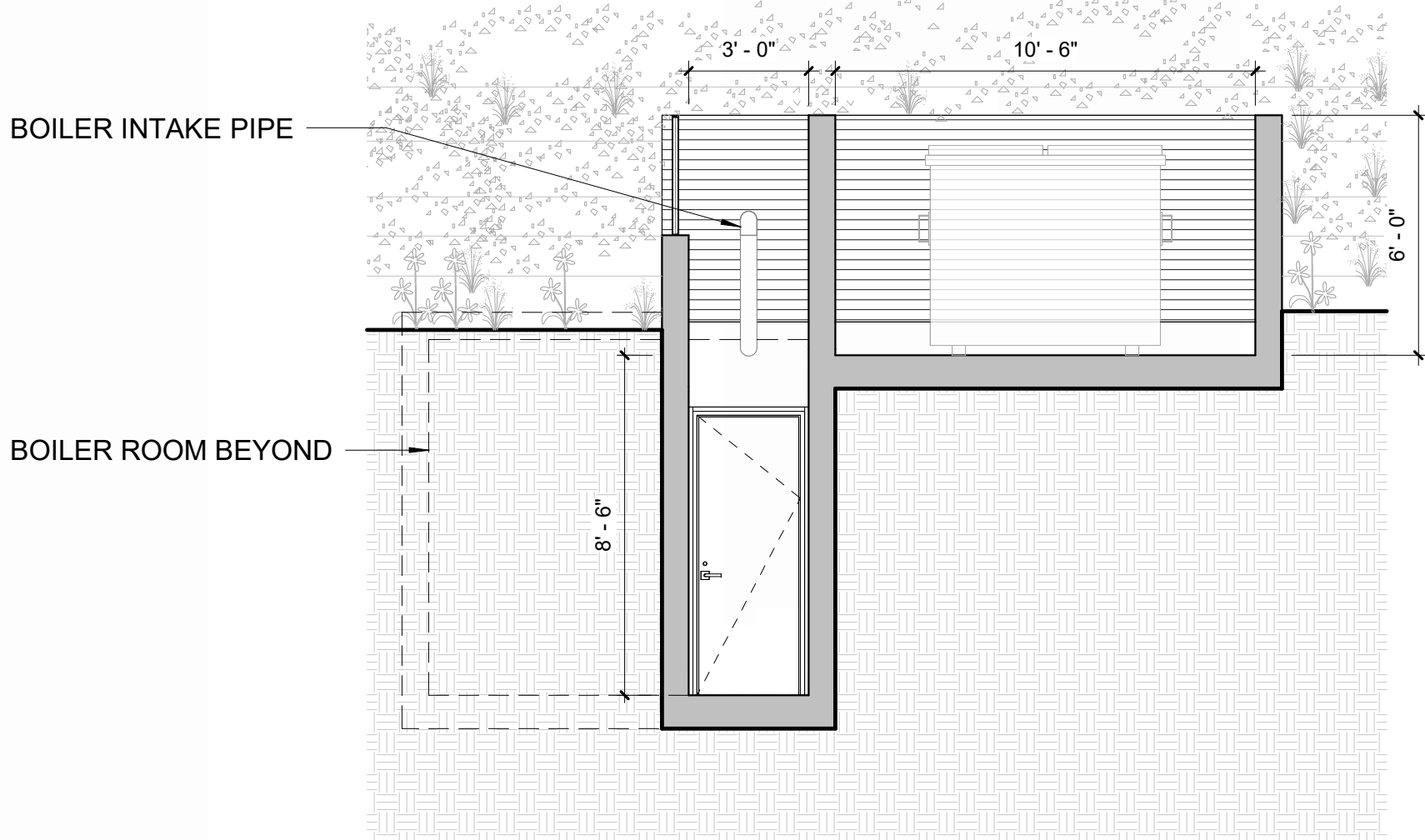
LANDSCAPE ARCHITECT:

EGGERS ASSOCIATES  
560 NORTH 2ND AVENUE  
KETCHUM, ID 83340  
TEL: 208.725.0988

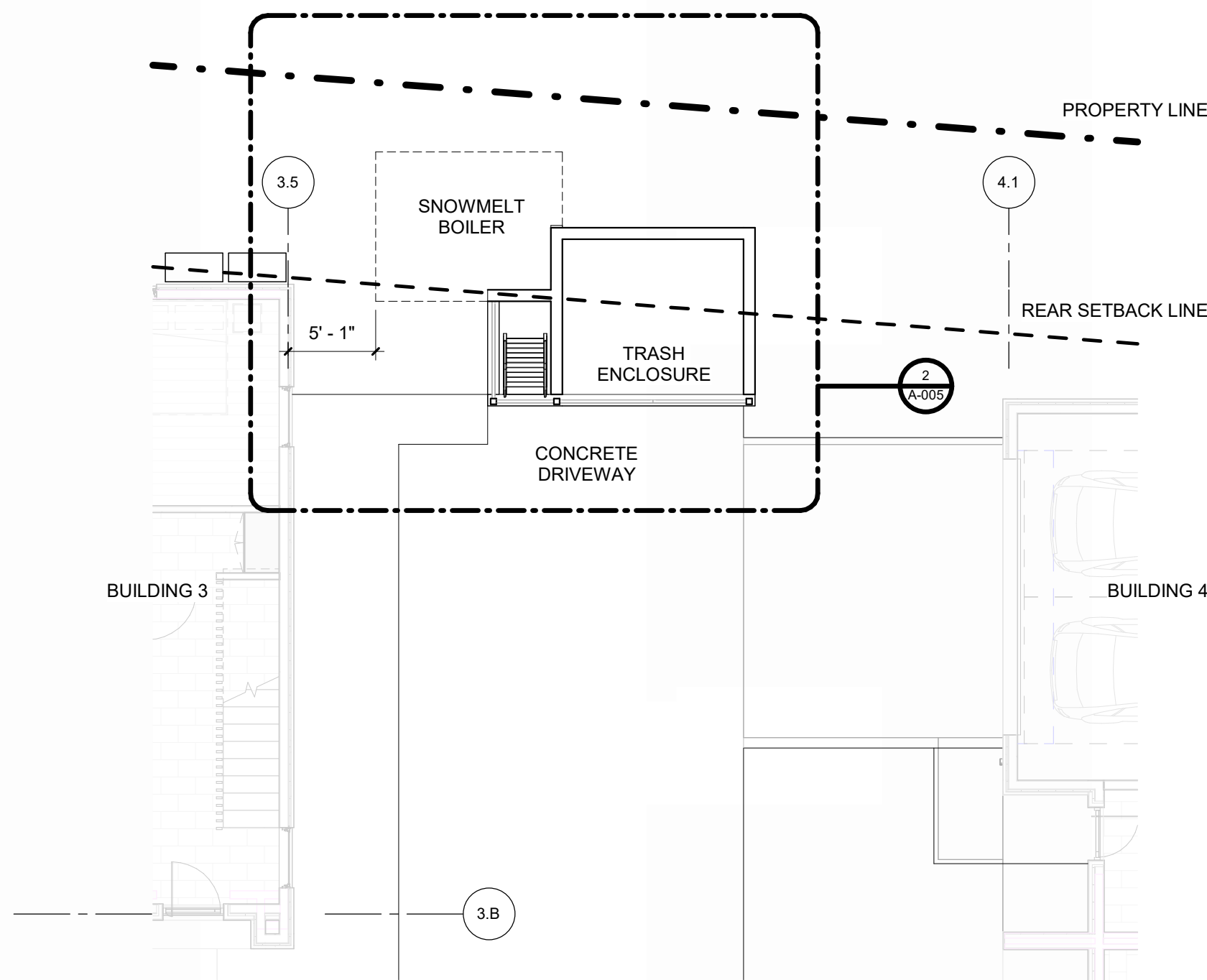
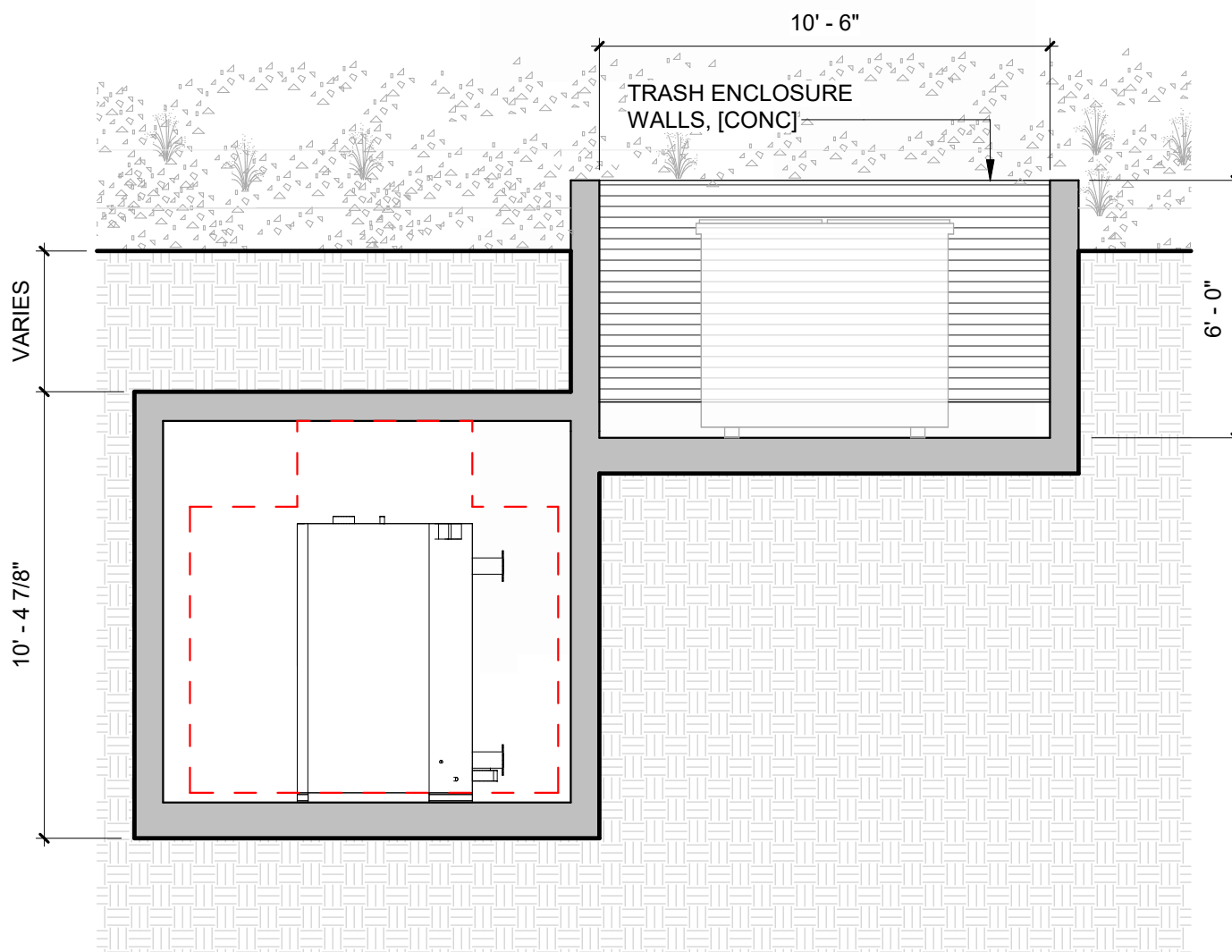
6 1/2" = 1'-0" DUMPSTER ENCLOSURE / ELEVATION - EAST

5 1/4" = 1'-0" DUMPSTER ENCLOSURE / SECTION - EW

2 1/4" = 1'-0" DUMPSTER ENCLOSURE - ENLARGED FLOOR PLAN



4 1/4" = 1'-0" DUMPSTER ENCLOSURE / SECTION - NS A



ISSUE	DESCRIPTION	DATE
1	DESIGN REVIEW APP	25.09.09
2	DESIGN REVIEW APP REV	25.10.14

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PROJECT:  
**WARM SPRINGS TOWNHOMES  
KETCHUM, ID**  
108 & 110 RITCHIE DR.  
KETCHUM, IDAHO

DRAWING TITLE:  
**SNOWMELT VAULT &  
DUMPSTER DETAILS**

SEAL:

PROJECT NUMBER

2305

DRAWING NUMBER:

**A-005**

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PO Box 130 • Ketchum, ID 83340 • Phone 208.726.9600 • [www.ccdisposal.com](http://www.ccdisposal.com)

Planning & Zoning  
City of Ketchum  
P O Box 2315  
Ketchum, ID 83340

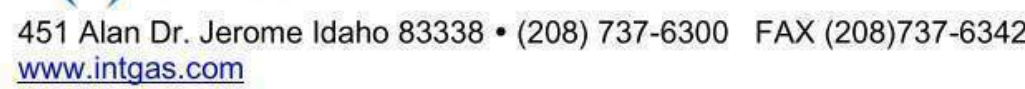
Re: 108 Richie Drive

Please consider this letter as a will serve for the above address. Attached to this email are plans for a 12-unit townhome project to be built. When built according to the plans the enclosure is ample for a dumpster to service the project.

- Snow and Ice removal to and inside of the enclosure
- Access to the enclosure and the turn around area for egress
- Gates maintained in working order

Respectfully,

.108 Richie Drive



May 13, 2024

This letter is to serve as verification of the availability of natural gas currently to the above referenced project in Ketchum, Idaho.

Extensions of our natural gas mains and services will be provided and installed in accordance with our current tariffs, guidelines, policies and provisions on file with the Idaho Public Utilities Commission.

Sincerely,

Lance D. McBride  
Energy Services Representative Sr.  
[lance.mcbride@intgas.com](mailto:lance.mcbride@intgas.com)  
208-737-6314

OWNER

**108-110 RITCHIE LLC**  
P.O. BOX 14001-174  
KETCHUM, ID 83340  
TEL: 603.801.0419

BUILDING ARCHITECT

**RO | ROCKETT DESIGN**  
1031 W. MANCHESTER BLVD. UNIT 6  
INGLEWOOD, CA 90301  
TEL: 213.784.0014

STRUCTURAL ENGINEER

**ZFA STRUCTURAL ENGINEERS**  
601 MONTGOMERY STREET SUITE 1450  
SAN FRANCISCO, CA 94111  
TEL: 415.243.4091

MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:

**PROFICIENT ENGINEERING**  
4704 HARLAN STREET SUITE 620  
DENVER, CO 80212  
TEL: 720.779.3556

CIVIL ENGINEER:

**GALENA BENCHMARK ASSOCIATES**  
100 BELL DRIVE SUITE C  
KETCHUM, ID 83340  
TEL: 208.726.9512

LANDSCAPE ARCHITECT:

**EGGERS ASSOCIATES**  
560 NORTH 2ND AVENUE  
KETCHUM, ID 83340  
TEL: 208.725.0988

**Hank Moore**

**From:** Bennett, Cheryl <CBennett2@idahopower.com>  
**Sent:** Friday, May 17, 2024 10:27 AM  
**To:** Hank Moore  
**Cc:** Erik de Bruijn  
**Subject:** Will Serve Email

Hank and Erik,

You can provide this email to the city of Ketchum for your applications:

I have reviewed the proposed project by Presidio Vista Properties for 12 luxury townhomes on Ritchie Drive.

As this is in the preliminary stages, I have not finalized my design on the project. The proposed transformer locations may work, but I'll have to review when I get into my design phase. I have indicated where they may also be placed depending on the voltage drop, once I get into it. Additionally, we need 10' of clearance to the front of the transformers for safe electrical operation. They can be landscaped on side and rear, no matter where they are placed. We do have primary power on Ritchie Drive, but again, until I start my design, I will not know if I need another device to pick it up (sector) and/or have to cross Ritchie Drive to get to it.

Once the customer makes formal application for design the company will provide electrical service to the project subject to obtaining of any required easements, rights of way, and in compliance with the statutes of the State of Idaho and the tariffs of the company on file with the Idaho Public Utilities Commission (PUC), in particular, the General Rules and Regulations, covering new service attachments and distribution line installations or alterations. The tariff is subject to change from time to time upon approval by the Idaho PUC.

Below is the initial review I have made. Please let me know if you have additional questions or comments

[illegible]

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PROJECT:  
**WARM SPRINGS TOWNHOMES**  
**KETCHUM, ID**  
108 & 110 RITCHIE DR.  
KETCHUM, IDAHO

DRAWING TITLE:  
WILL SERVE LETTERS

SEAL

PROJECT NUMBER	2305
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DRAWING NUMBER

**A-006**

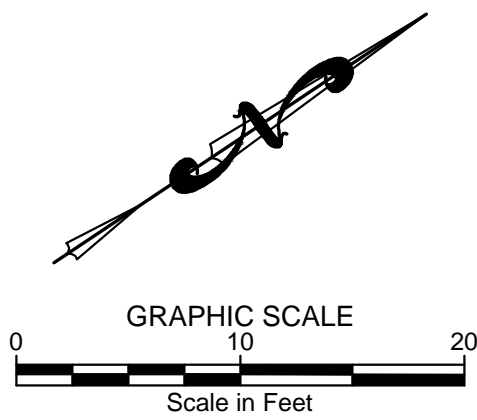


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- LEGEND**
- BLOCK BOUNDARY
  - ADJOINER'S LOT LINE
  - EASEMENT
  - ROAD CENTERLINE
  - 5' CONTOUR INTERVAL (EXISTING)
  - 1' CONTOUR INTERVAL (EXISTING)
  - FENCE LINE
  - RETAINING WALL
  - EOA
  - ASPHALT
  - STORM DRAIN PROPOSED
  - SAWCUT LINE
  - 5' CONTOUR INTERVAL
  - 1' CONTOUR INTERVAL

- SITE IMPROVEMENT KEY NOTES**
- S01 CONSTRUCT HEATED ASPHALT ROADWAY. SEE DETAIL TBD.
  - S02 CONSTRUCT ASPHALT ROADWAY / ASPHALT REPAIR. SEE DETAIL TBD.
  - S03 CONSTRUCT CONCRETE SIDEWALK, CURB AND GUTTER.
    - a. 6" ROLLED C&G
    - b. CURB TRANSITION
    - c. ZERO REVEAL CURB AND GUTTER
  - S04 CONSTRUCT 24" WIDE HEATED CONCRETE VALLEY GUTTER
  - S06 INSTALL HEATED SITE PAVERS. SEE LANDSCAPE PLAN FOR DETAILS.
  - S07 INSTALL SITE GRASS PAVE. SEE LANDSCAPE PLAN FOR DETAILS.
  - S08 CONSTRUCT DRYWELL. SEE DETAIL TBD. PROVIDE MIN. 12-24" SOIL COVER FOR PLANTINGS. REFER TO LANDSCAPE PLANS FOR SOIL COVER REQUIREMENTS.
  - S09 CONSTRUCT 30" CATCH BASIN. SEE DETAIL TBD.
  - S10 INSTALL TRENCH DRAIN.
  - S11 SEE LANDSCAPE SHEETS FOR SITE GRADING AND BOULDER PLACEMENT.

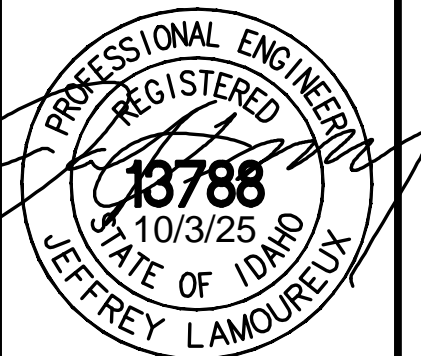


PURPOSE: PRELIMINARY FOR DESIGN REVIEW 10/14/2025

NO. DATE BY REVISIONS

GALENA-BENCHMARK  
ENGINEERING

Civil Engineers & Land Surveyors  
100 Bell Drive  
Ketchum, ID 83340  
(208) 726-9512  
www.benchmark-associates.com



DESIGNED BY: SLS  
DRAWN BY: SLS/PSF  
CHECKED BY: JL  
SURVEY DATE: 06/12/22

GRADING & DRAINAGE PLAN  
WARM SPRINGS VILLAGE SUB. 2ND ADD. REV.  
BLOCK 4, LOT 3A  
LOCATED WITHIN SECTION 14, T.4 N., R.17 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO  
PREPARED FOR: PRESIDIO VISTA PROPERTIES

GALENA  
ELEVATION  
ABOVE SEA  
LEVEL  
FEET

BENCHMARK

ENGINEERING PLANS

QUANTITY

DATE

BY

REVISIONS

NO.

DATE

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NO.

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**108 RITCHIE DR**  
LOT 3A, BLK 4  
WARM SPRINGS VILLAGE SUB 2ND  
ADDITION REVISED  
35,799 S.F.  
0.82 AC.

**LEGEND**

- PROPERTY BOUNDARY
- ADJOINER'S LOT LINE
- ROAD CENTERLINE
- 5' CONTOUR INTERVAL EXISTING
- 1' CONTOUR INTERVAL EXISTING
- FENCE LINE EXISTING
- EOA EDGE OF ASPHALT EXISTING
- GAS LINE EXISTING
- TV UNDERGROUND TELEVISION LINE EXISTING
- T UNDERGROUND TELEPHONE LINE EXISTING
- UNDERGROUND POWER LINE EXISTING
- SD STORM DRAIN PROPOSED
- S SANITARY SEWER MAIN LINE EXISTING
- SS SANITARY SEWER MAIN LINE PROPOSED
- SS SANITARY SEWER SERVICE PROPOSED
- W WATER MAIN LINE EXISTING
- W WATER MAIN LINE PROPOSED
- WS WATER SERVICE PROPOSED
- GV GAS VALVE EXISTING
- PH TELEPHONE RISER EXISTING
- PB POWER TRANSFORMER PROPOSED
- SCB STORM CATCH BASIN PROPOSED
- W WATER MANHOLE PROPOSED
- WV WATER VALVE PROPOSED
- FH FIRE HYDRANT PROPOSED
- SM SEWER MANHOLE PROPOSED
- SC SEWER CLEANOUT PROPOSED
- DGSD DUPLEX SEWER GRINDER PUMP PROPOSED
- GM GAS METER PROPOSED
- EM ELECTRICAL METER PROPOSED

**SAWTOOTH CONDOS COMMON AREA**

**WARM SPRINGS VILAS CONDOS COMMON AREA**

**RELOCATE PHONE BOX**

**INSTALL NEW SANITARY SEWER MANHOLE**

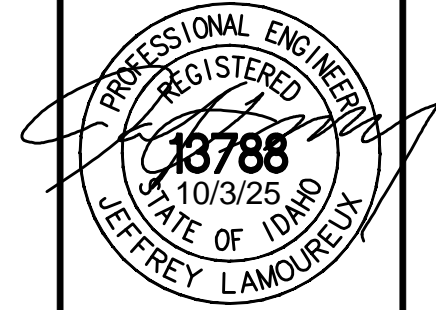
**REPLACE EXISTING 4" CITY SANITARY SEWER MAIN WITH 8" MAIN BETWEEN PROPOSED MANHOLES**

**INSTALL NEW SANITARY SEWER MANHOLE**

**GRAPHIC SCALE**  
0 10 20  
Scale in Feet

LOCATED WITHIN SECTION 14, T.4 N., R.17 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO  
PREPARED FOR: PRESIDIO VISTA PROPERTIES

PROJECT INFORMATION



DESIGNED BY:	SLS
DRAWN BY:	SLS/PSF
CHECKED BY:	JL
SURVEY DATE:	06/12/22

**GALENA-BENCHMARK**  
ENGINEERING

Civil Engineers ■ Land Surveyors  
100 Bell Drive  
P.O. Box 733  
Ketchum, Idaho 83340  
208-726-9612  
[www.benchmark-associates.com](http://www.benchmark-associates.com)

**GALENA**  
ELEVATION  
ABOVE SEA  
9200 FEET

**BENCHMARK**  
SURVEYING ENGINEERING PLANNING

NO	DATE	BY	REVISIONS
----	------	----	-----------

## REVISIONS

BY

C2.00



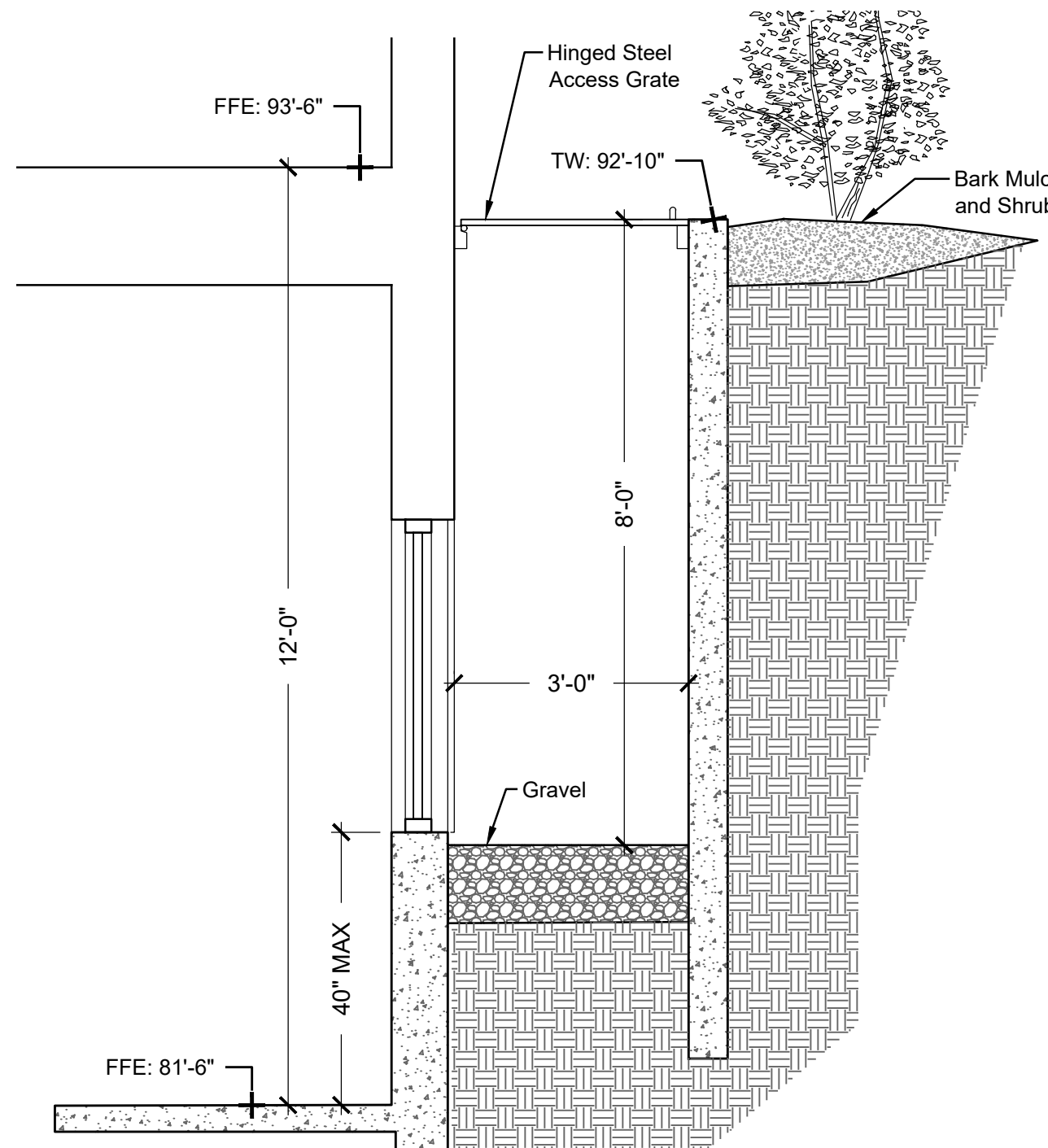


**Plan Legend**

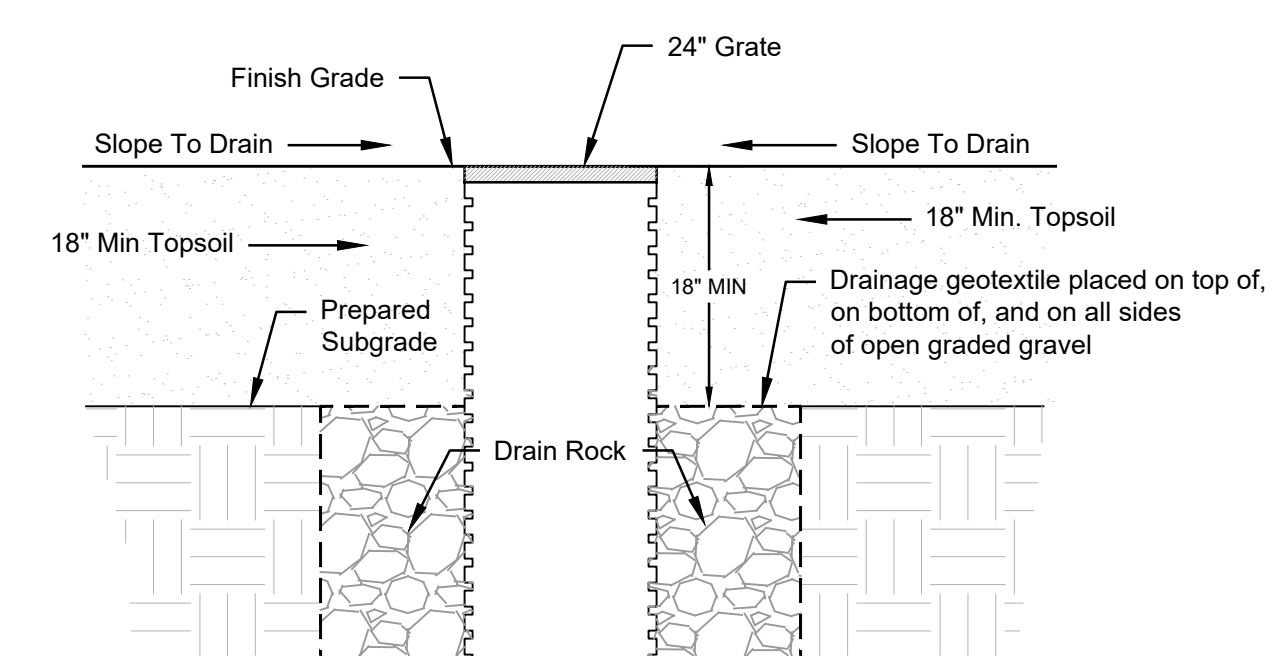
- Property Line
- Existing Contour
- Proposed Contour
- New Fence
- Boulder Retaining
- Grass Pave
- Pavers
- Concrete
- Gravel
- Lawn Grass
- Natural Grass
- Perennials and Groundcover
- Drywell
- Catch Basin
- Drainage Swale

**Grading Abbreviations**

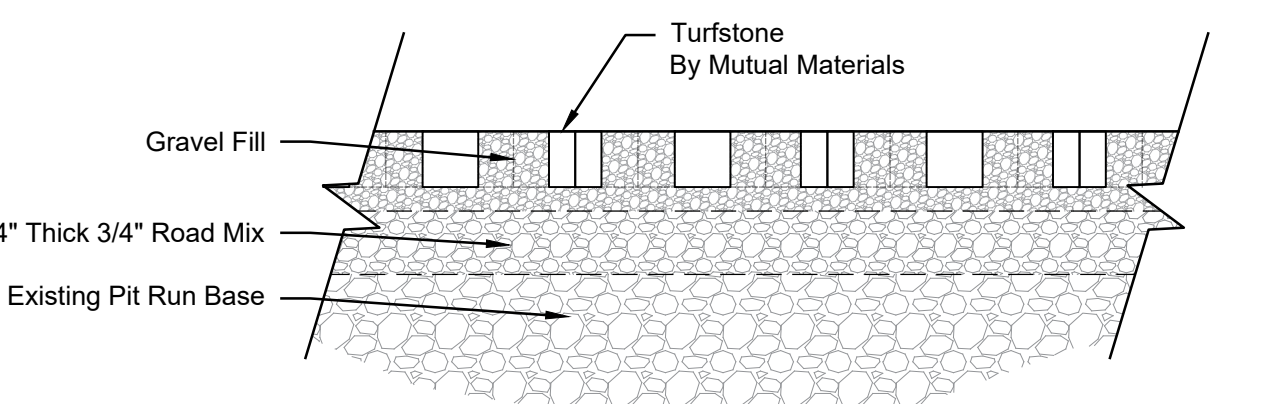
EL	SPOT ELEVATION
FFE	FINISHED FLOOR ELEVATION
HP	HIGH POINT
HPS	HIGH POINT OF SWALE
TS	TOP OF STAIR
BS	BOTTOM OF STAIR
TW	TOP OF WALL
BW	BOTTOM OF WALL
DI	DRAIN INLET ELEVATION
DW	DRYWELL RIM ELEVATION
TC	TOP OF CURB
BC	BOTTOM OF CURB
FG	FINISHED GRADE



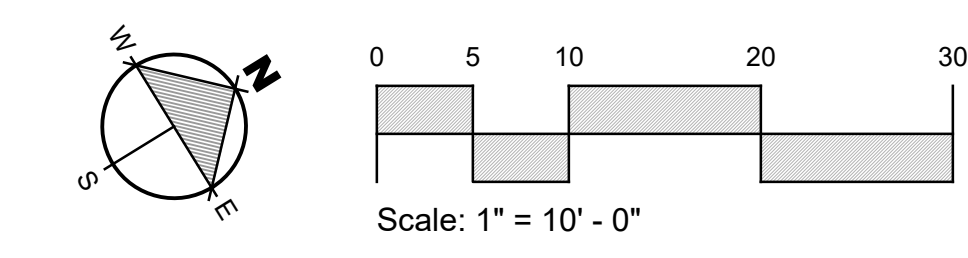
1 Section: Typical Window Well Scale: 1/2" = 1'-0"



2 Section: Drywell Landscape Integration Scale: 1/2" = 1'-0"



Detail: Turfstone (Grassblock) Scale: Not to Scale



Warm Springs

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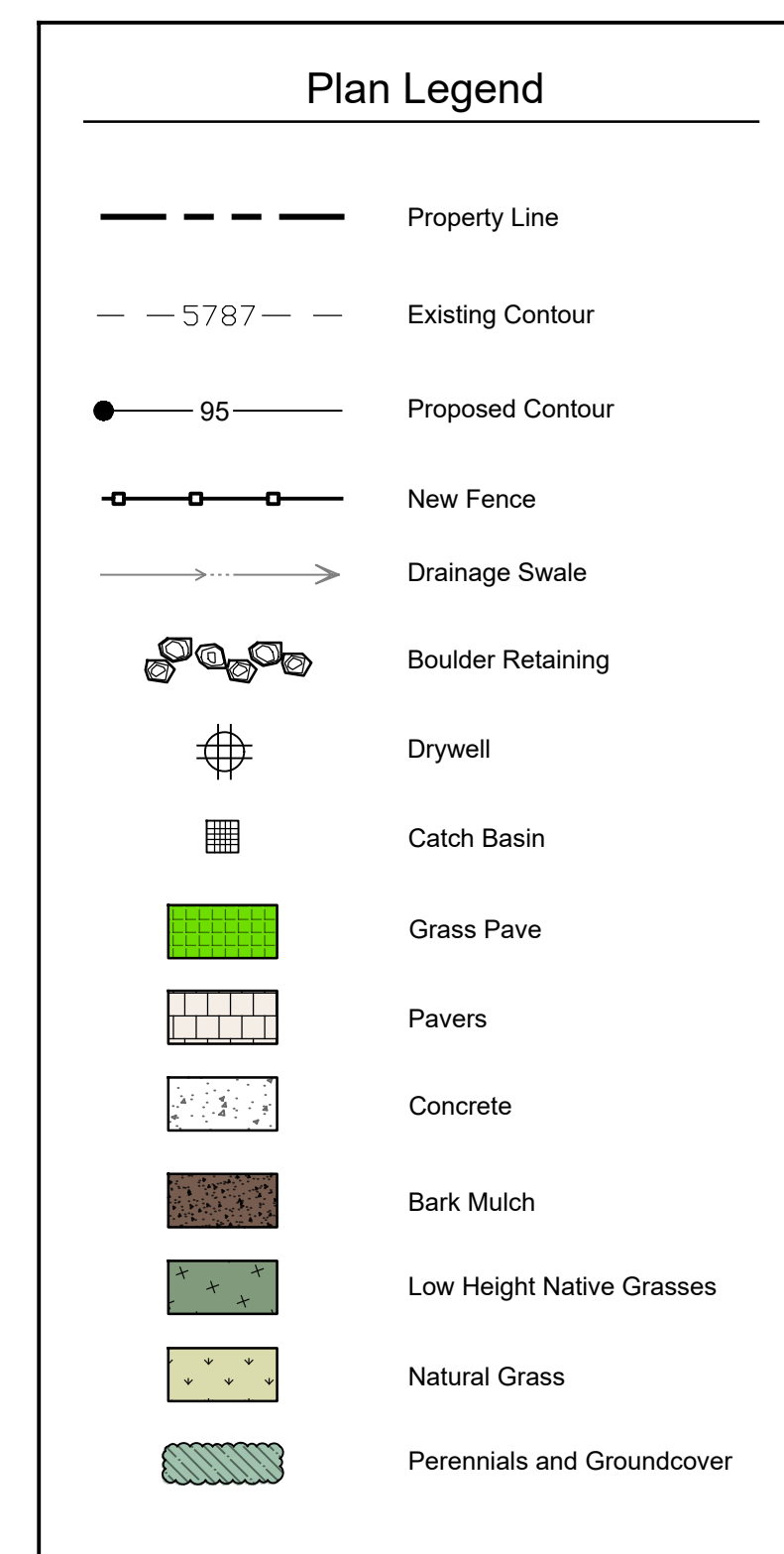
Job No: 2331  
Scale: 1"=10'-0"  
Issue/Revisions Date:  
Concept Update 07/10/24  
Design Review 11/06/24  
DR Resubmission 03/14/25  
DR Resubmission 06/25/25  
DR Resubmission 07/17/25  
DR Resubmission 08/04/25  
DR Resubmission 10/03/25  
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LANDSCAPE ARCHITECT  
NOV 21 2024

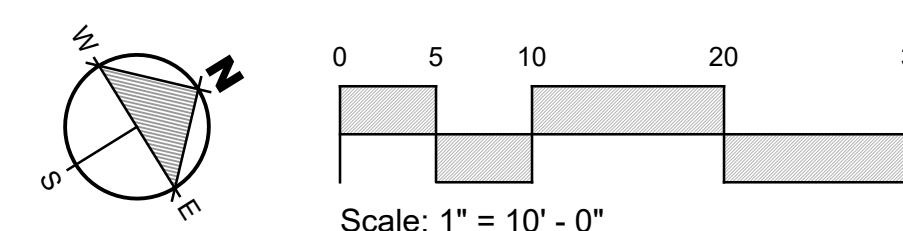
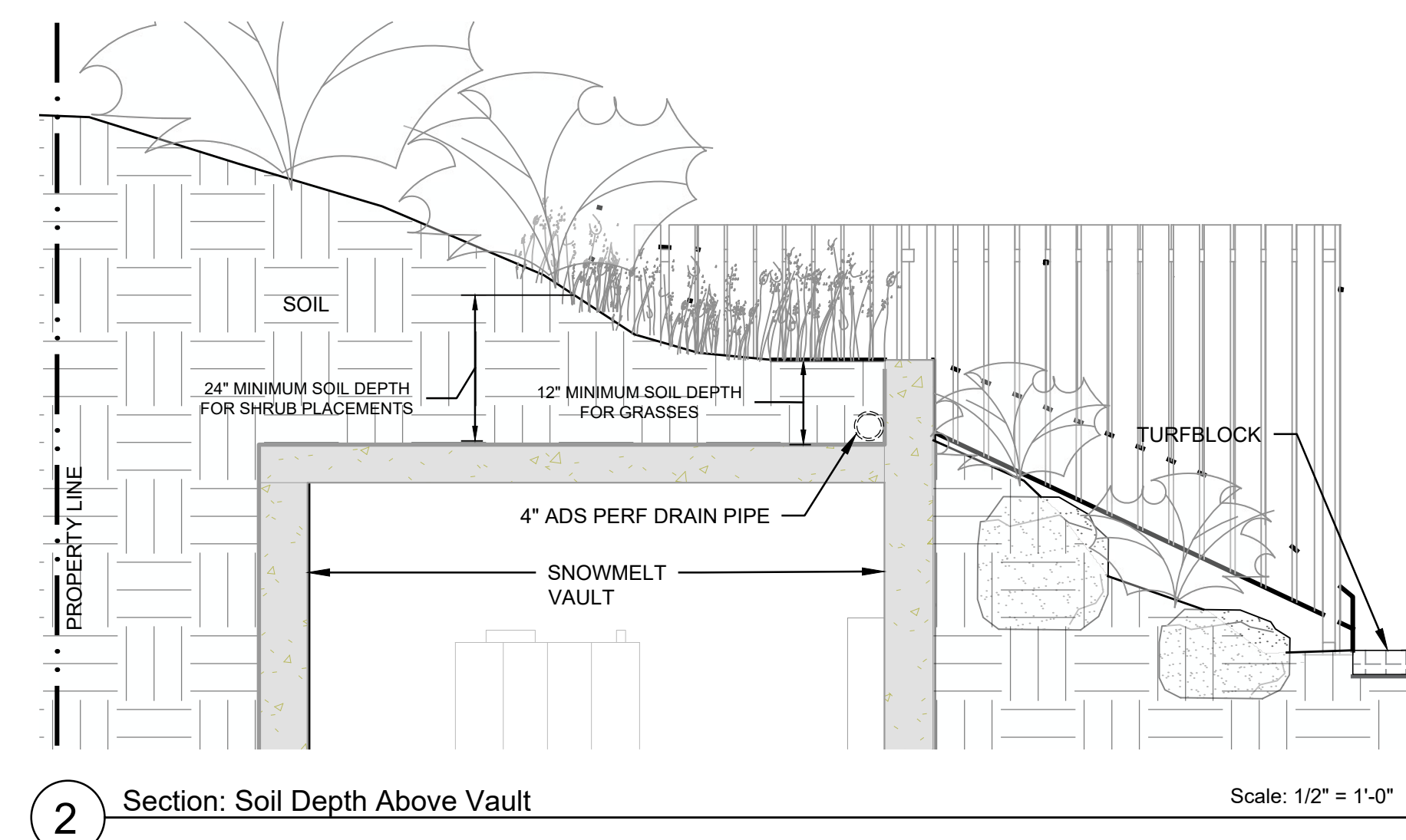
Sheet Title:  
Grading Plan

Sheet No:  
L2.0





Plant Legend						
<i>Qty.</i>	<i>Species</i>	<i>Scientific Name</i>	<i>Install Size</i>	<i>Mature Size</i>	<i>Drought Tolerance</i>	<i>Water Needs</i>
<b>12 Conifer Trees</b>						
2	Colorado Spruce	<i>Picea pungens</i>	8'	25'-30'		medium
5	Subalpine Fir	<i>Abies lasiocarpa</i>	8'	20'-25'		medium
5	Tannenbaum/ Mugo Pine	<i>Pinus mugo</i> (Tannenbaum)	8'	10'-12'		low
<b>15 Deciduous Trees</b> <b>2-1/2-3" Cal.</b>						
7	Prairiefire Crabapple	<i>Malus x 'Prairiefire'</i>	2-1/2" Cal.	10'-15'		low
8	Sargent's Crabapple	<i>Malus sargentii</i>	2-1/2" Cal.	10'-15'		low
<b>126 Deciduous Shrubs</b>						
36	Flame Amur Maple	<i>Acer ginnala</i> 'Flame'	5 Gal	6'-8"		medium
30	Serviceberry	<i>Amelanchier alnifolia</i>	5 Gal	4'-6"		medium
30	Snowberry	<i>Symphoricarpos alba</i>	5 Gal	4'-6"		medium
30	Redwing Dogwood	<i>Cornus sericea</i>	5 Gal	4'-6"		medium
50	Birchleaf Spiraea	<i>Spiraea betulifolia</i> 'Tor'	1 Gal	3'		medium
50	Goldfinger Potentilla	<i>Potentilla fruticosa</i> 'Goldfinger'	1 Gal	3'		medium
<b>31 Evergreen Shrubs</b>						
31	Dwarf Mugo Pine	<i>Pinus mugo</i> var. <i>pumilio</i>	5 Gal	4'-6"		low
<b>600 sq.ft.</b> <b>Perennial Flowers</b> <b>Flats@8"O.C.</b>						
	Various					
<b>2,900 sq.ft.</b> <b>Grasses</b> <b>Hydroseed</b>						
	Lawn Mix					
<b>3,000 sq.ft.</b> <b>Natural Grasses</b> <b>Hydroseed</b>						
	Smooth Brome					

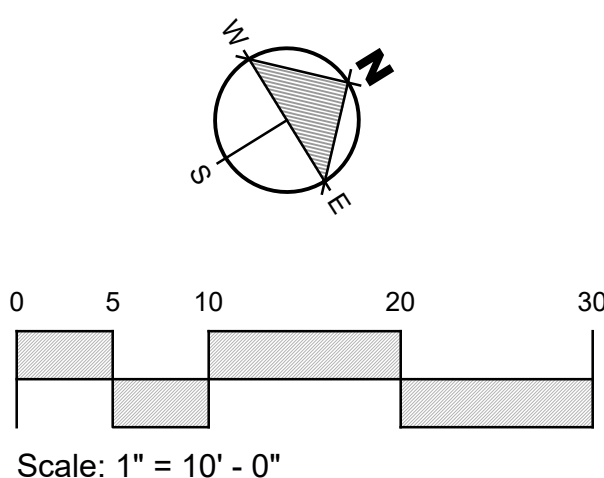
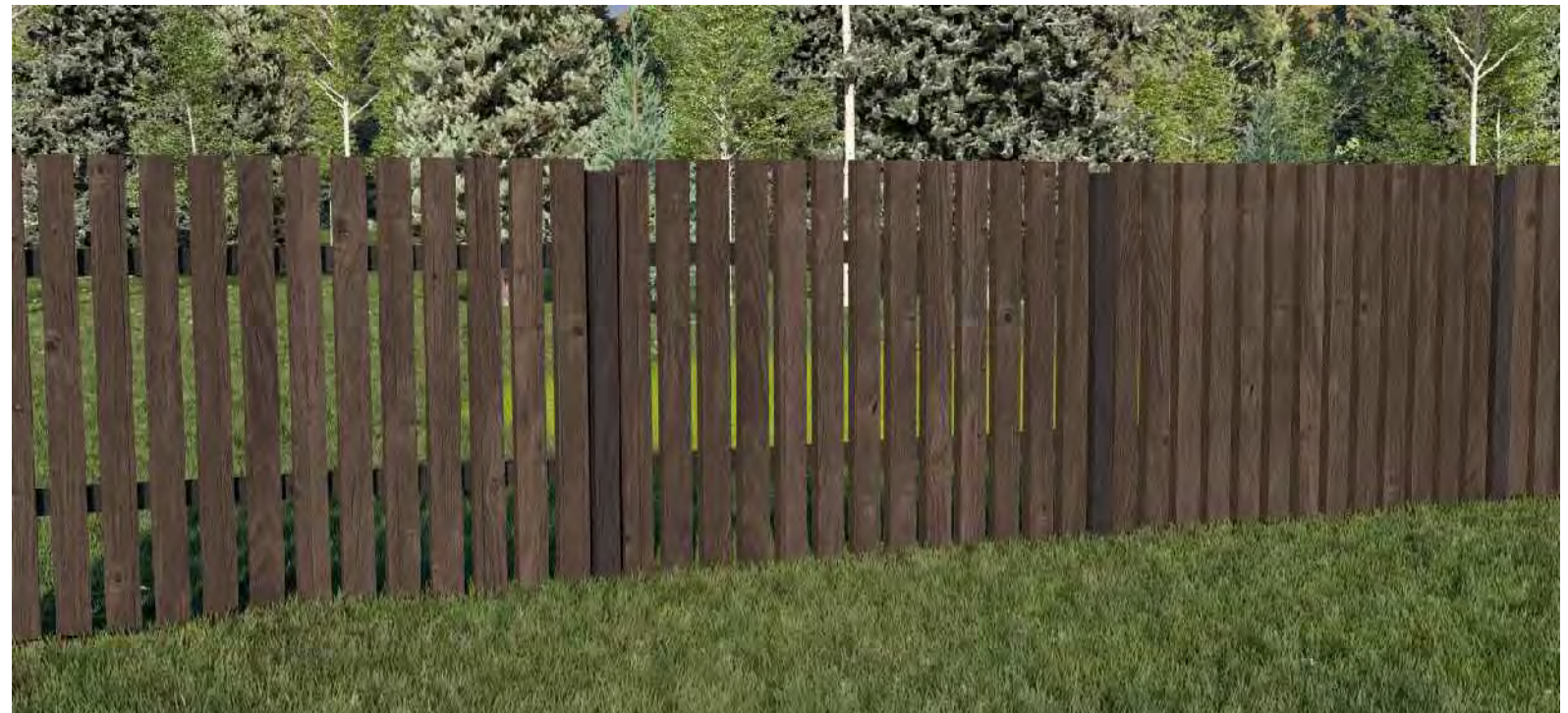
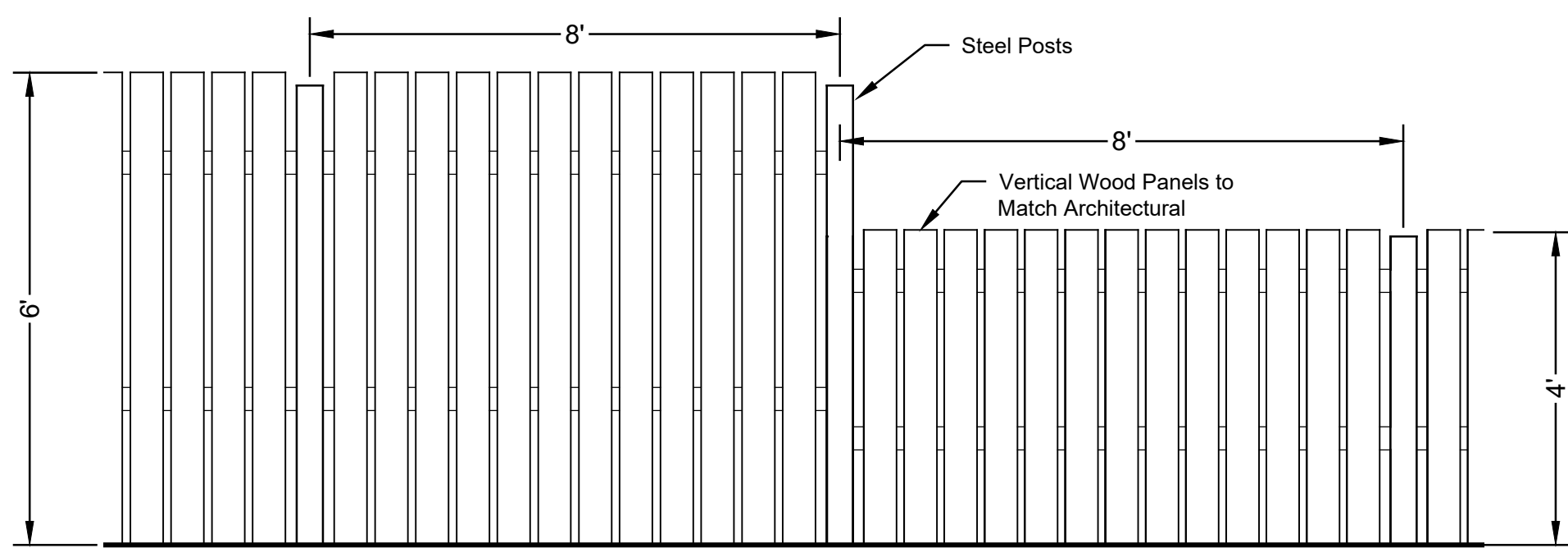






Plan Legend	
	Property Line
	Existing Contour
	Proposed Contour
	Grass Pave
	Pavers
	Concrete

Fence Legend	
	6 Foot High Fence
	4 Foot High Fence



Warm Springs

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Job No: 23.31  
Scale: 1" = 10'-0"

Issue/Revisions	Date:
Concept Update	07/10/24
Design Review	11/06/24
DR Resubmission	03/14/25
DR Resubmission	06/23/25
DR Resubmission	07/17/25
DR Resubmission	08/04/25
DR Resubmission	10/03/25

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J. EGGERS  
LANDSCAPE ARCHITECT  
06-21

Sheet Title:  
Fencing Plan

Sheet No:  
L3.2

DESIGN REVIEW RESUBMITTAL - 10/03/25





Flowering Crab Trees (8 Feet Installation Height)



PLANT MATERIALS



Fir Tree (6 - 8 Feet Installation Height)



Spruce Tree (6 - 8 Feet Installation Height)



Mugo Pine Tree (6 - 8 Feet Installation Height)



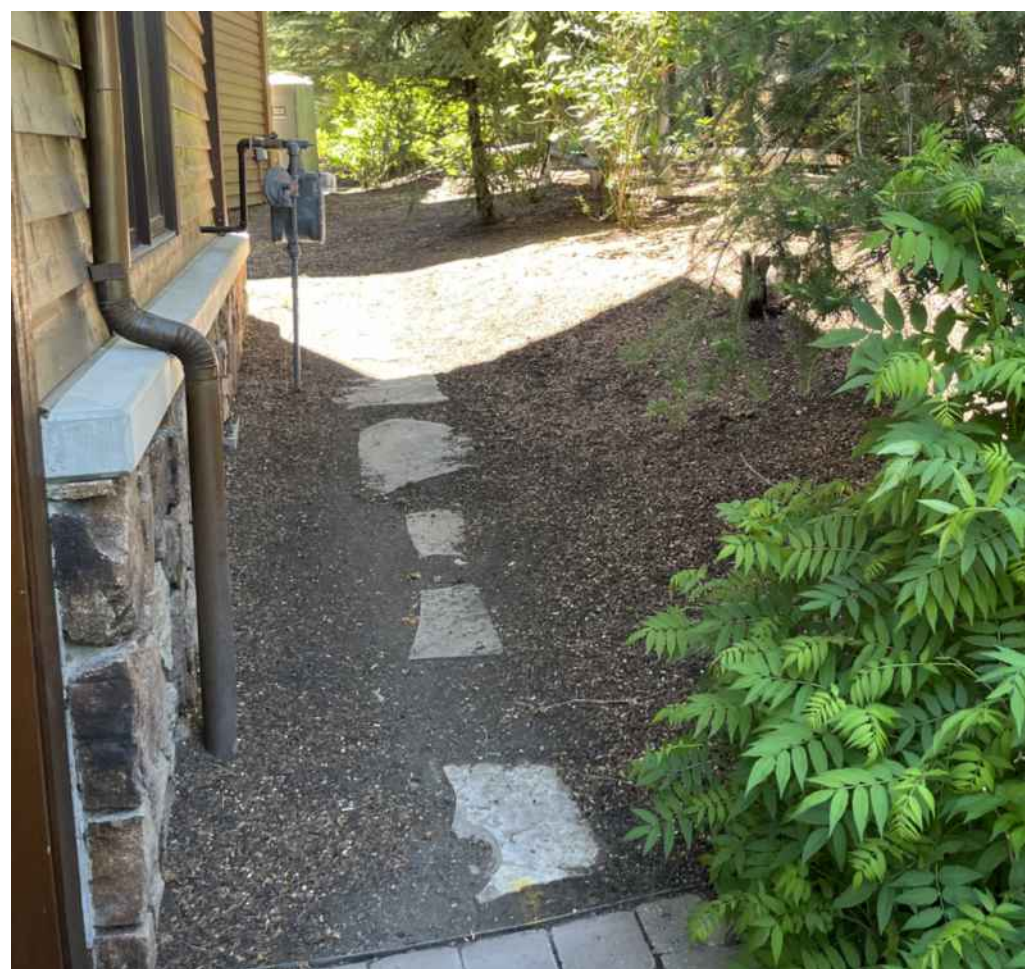
Streetside Example: Low Natural Grass (Scottish Links)



STREET PLANTING EXAMPLES



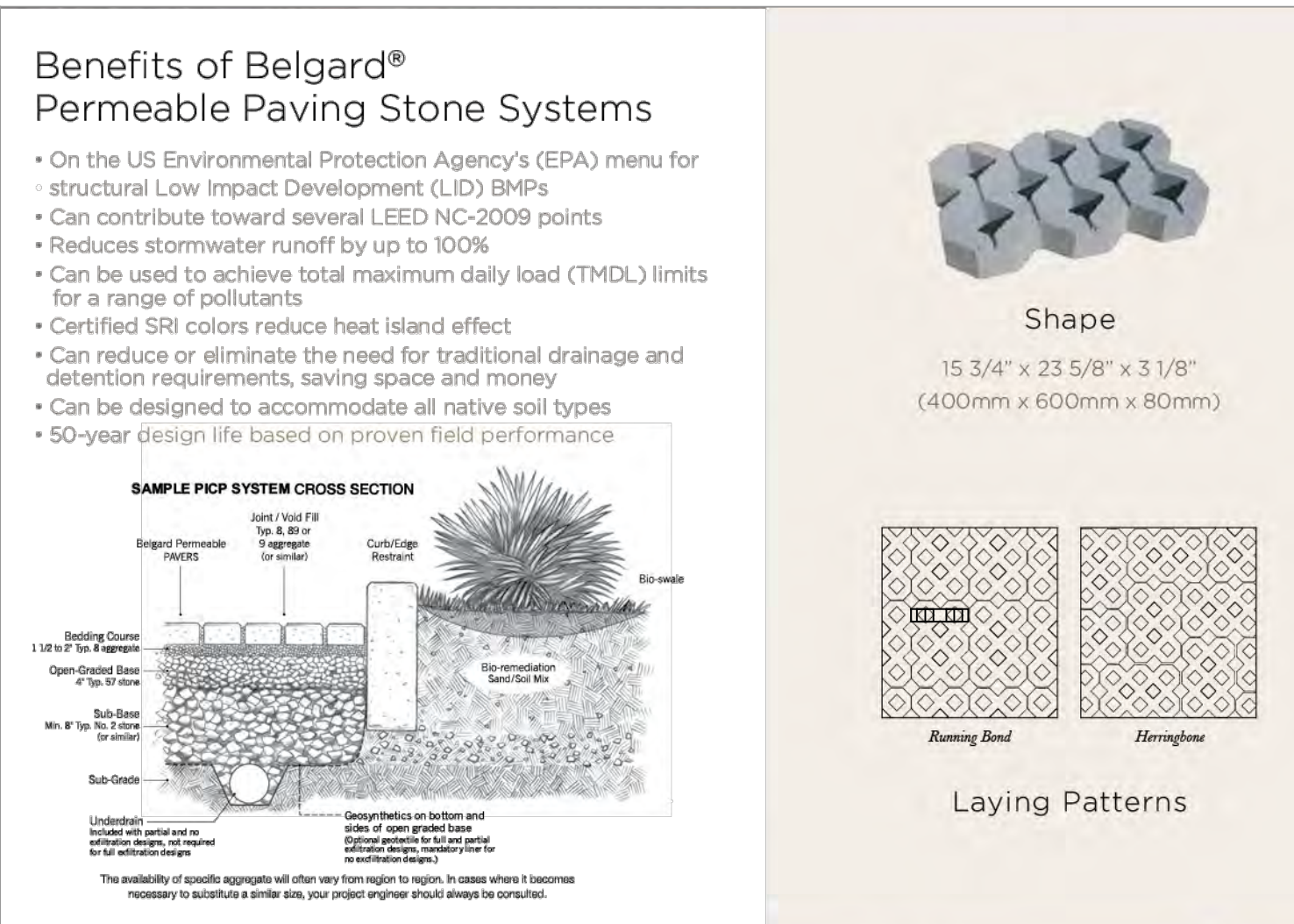
Transformer Screening



Bark Mulch and Path



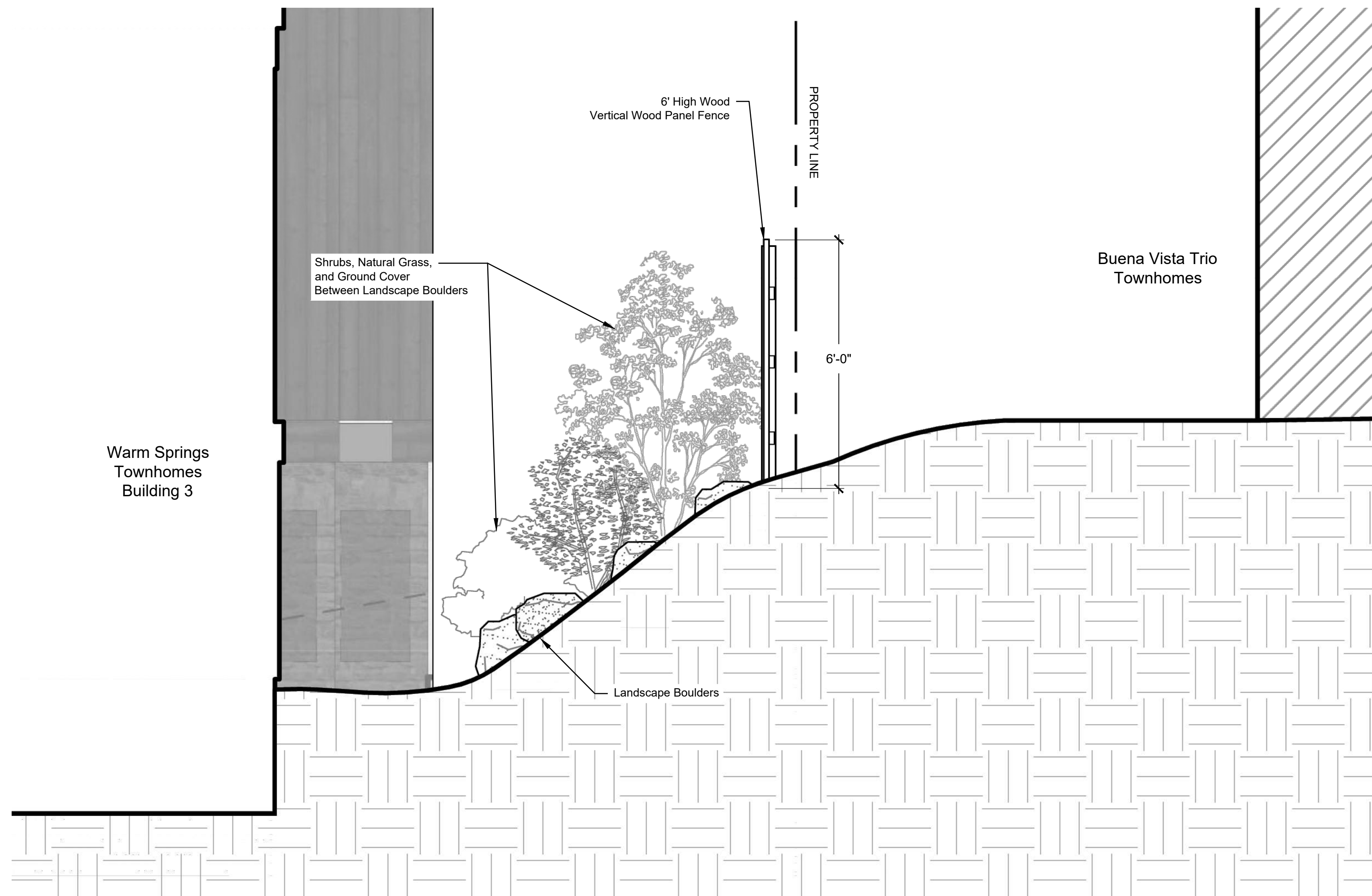
Landscape Boulders With Plantings



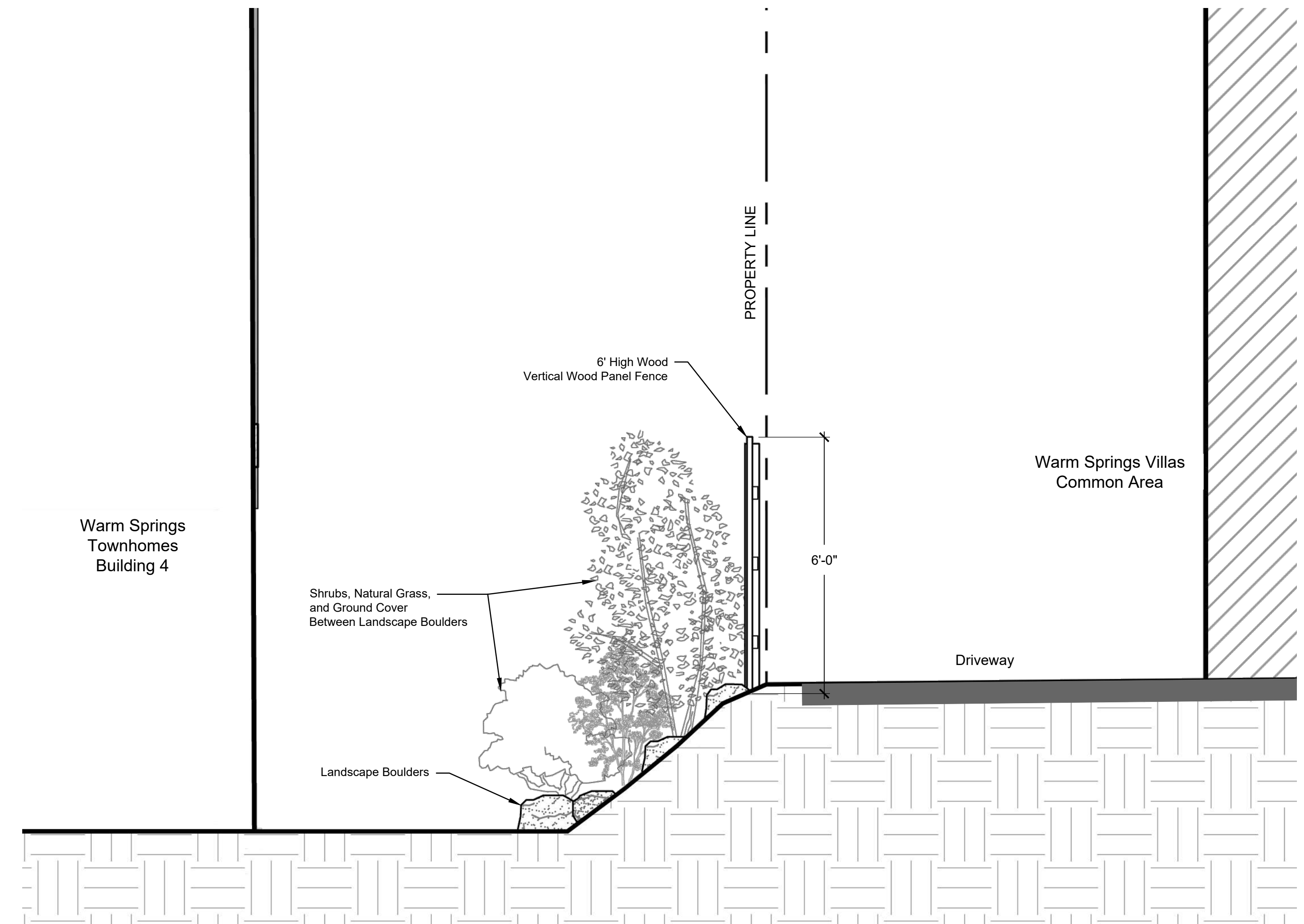
Driveable Permeable Pavers / Filled with Decorative Gravel

HARDSCAPE MATERIALS

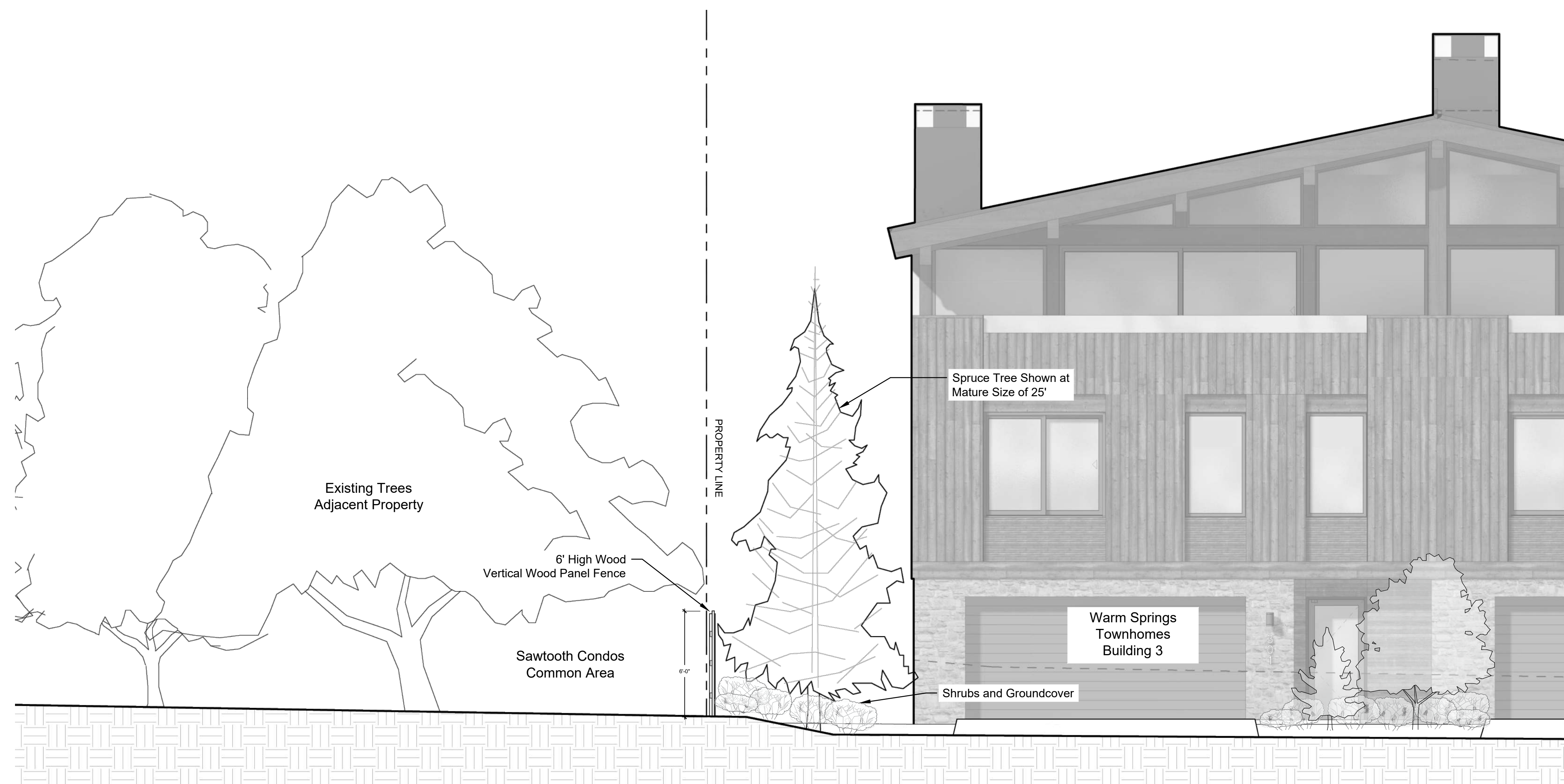




1 Section: Building 3 Scale: 1/2" = 1'-0"



2 Section: Adjacent Driveway & Building 4 Scale: 1/2" = 1'-0"



3 Elevation: Adjacent Common Area & Building 3 Scale: 1/4" = 1'-0"

Warm  
Springs

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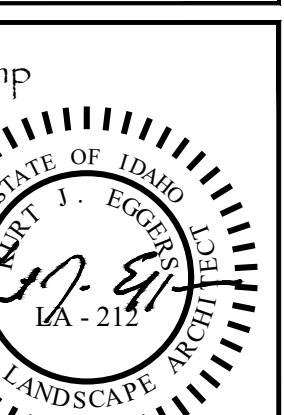
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DR Resubmission	10/03/25

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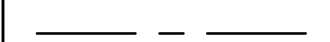
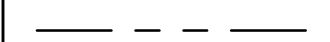
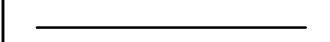
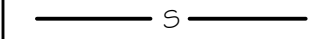
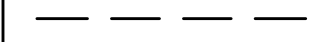
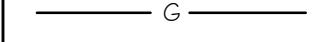




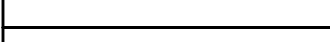
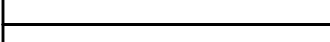
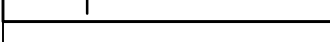
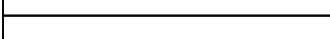
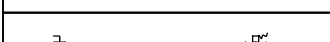
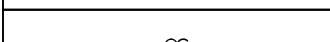
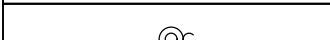







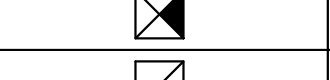
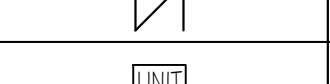

Sheet Title:  
Site  
Sections

Sheet No:  
L5.0




ABBREVIATIONS			
CD	CONDENSATE DRAIN	MV	MIXING VALVE
CONT	CONTINUATION	OH	OVERHEAD
CW	COLD WATER	G	NATURAL GAS
DN	DOWN	PD	PUMPED DISCHARGE
ET	EXPANSION TANK	PRV	PRESSURE REDUCING VALVE
EWC	ELECTRIC WATER COOLER	RP	RECIRCULATION PUMP
ex.	EXISTING	S, SAN	SANITARY
FCO	FLOOR CLEANOUT	SH	SHOWER
FD	FLOOR DRAIN	SK	SINK
FHB	FREEZEPROOF HOSE BIBB	TP	TRAP PRIMER
FS	FLOOR SINK	TYF	TYPICAL
FRH	FREEZEPROOF ROOF HYDRANT	UR	URINAL
FVH	FREEZEPROOF WALL HYDRANT	V	VENT
GCO	GRADE CLEANOUT	VTR	VENT THROUGH ROOF
GI	GREASE INTERCEPTOR	WC	WATER CLOSET
HB	HOSE BIBB	W.C.	WATER COLUMN
HD	HUB DRAIN	WCO	WALL CLEANOUT
HWS	HOT WATER SUPPLY	WHA	WATER HAMMER ARRESTER
HWR	HOT WATER RETURN	WMB	WASHING MACHINE BOX

LEGEND	
	COLD WATER PIPE
	HOT WATER PIPE
	HOT WATER RETURN PIPE
	SANITARY PIPE
	VENT PIPE
	NATURAL GAS PIPE
	GREASE WASTE PIPE
	PIPE UP / PIPE DOWN
	PIPE TEE FROM TOP / TEE FROM BOTTOM
	PIPE CAP / PIPE CONTINUATION
	DIRECTIONAL FLOW ARROW
	BALL VALVE / CHECK VALVE
	MIXING VALVE / PRESSURE REDUCING VALVE
	FLOOR DRAIN / FLOOR SINK
	WATER HAMMER ARRESTOR
	GAS COCK / GAS SOLENOID VALVE
	P-TRAP
	HUB DRAIN
	FLOOR CLEANOUT / GRADE CLEANOUT
	VENT THROUGH ROOF
	PIPE CLEANOUT / WALL CLEANOUT

LEGEND	
SYMBOLS	DESCRIPTION
	DUCT UP
	DUCT UP
	DUCT DOWN
	EQUIPMENT TYPE EQUIPMENT NUMBER. WHERE A LETTER IS USED, THERE ARE MULTIPLE INSTANCES.

SPECIFICATIONS	
IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE LOCAL GAS UTILITY PROVIDER TO CONFIRM THE AVAILABILITY OF THE INDICATED DESIGN DELIVERY PRESSURE PRIOR TO COMMENCING WORK.	
ALL GAS PIPING SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE INTERNATIONAL FUEL GAS CODE AND NFPA 54.	
ABOVE GRADE GAS PIPING SHALL BE SCHEDULE 40 BLACK STEEL (ASTM A53/A53M). FITTINGS SHALL BE ASME B1 6.3 MALLEABLE IRON OR ASTM A234/A234M WROUGHT STEEL WELDING TYPE. JOINTS SHALL BE THREADED OR WELDED TO ASME B31.1.	
BELOW GRADE GAS PIPING SHALL BE FLEXIBLE POLYETHYLENE TUBING AND SHALL COMPLY WITH ASTM D2513 AND CSA B137.4, AND SHALL BE INSTALLED IN ACCORDANCE WITH IFGC SECTION 402.11.2. PROVIDE MANUFACTURED RISER ASSEMBLY TO TRANSITION FROM TUBING TO ABOVEGROUND METALLIC PIPING.	
SHUTOFF VALVES SHALL BE PROVIDED AND LOCATED IN PLACES SO AS TO PROVIDE ACCESS FOR OPERATION AND SHALL BE INSTALLED SO AS TO BE PROTECTED FROM DAMAGE.	
ALL GAS FIRED APPLIANCES ARE PROVIDED WITH A GAS PRESSURE OF 7" W.C. AT FINAL EQUIPMENT CONNECTION. IF 7" W.C. EXCEEDS EQUIPMENT'S SPECIFIC INLET PRESSURE REQUIREMENT, CONTRACTOR SHALL PROVIDE APPROPRIATE PRESSURE REGULATING VALVE.	
GAS PIPING ON ROOF SURFACES SHALL BE ELEVATED NO LESS THAN 3/4" INCHES ABOVE ROOF SURFACE AND SHALL BE CLAMPED TO RUBBER CHANNEL SUPPORTS (MIFAB C10 SERIES OR EQUAL). PROVIDE SUPPORT AT EVERY ELBOW. THE MAXIMUM SPACING OF SUPPORTS SHALL BE: 1/2" PIPE: 5'-0"; 3/4" TO 1 1/4" PIPING: 6'-0"; 1 1/2" AND LARGER: 12'-0". VERTICAL PIPING SHALL BE SUPPORTED AT BASE, TOP AND AT 10' INTERVALS (MINIMUM).	
ALL EXTERIOR GAS PIPING ON ROOF SHALL BE PRIMED AND PAINTED 0.5 H.A. YELLOW. GAS PIPING RUNNING ON EXTERIOR WALLS SHALL BE PRIMED AND PAINTED TO MATCH BUILDING WALL.	
EXPPOSED GAS PIPING SHALL BE IDENTIFIED BY A YELLOW LABEL MARKED 'GAS' IN BLACK LETTERS. ALL PIPING GREATER THAN 7" W.C. SERVICE PRESSURE SHALL BE IDENTIFIED BY A YELLOW LABEL WITH BLACK LETTERS INDICATING THE PIPING SYSTEM PRESSURE. THE SYSTEM SHALL BE MARKED AT THE BEGINNING, ALL ENDS AND AT INTERVALS NOT EXCEEDING 5 FEET ALONG ITS EXPOSED LENGTH.	
BALL VALVES: THREE PIECE BODY, FULL PORT, CHROME PLATED BALL, BLOWOUT PROOF STEM, TFE SEATS, UL LISTED FOR FLAMMABLE LIQUIDS, 600 PSI WOG, THREADED ENDS.	
PRESSURE REGULATOR VALVE: SINGLE STAGE AND SUITABLE FOR NATURAL GAS, STEEL JACKET AND CORROSION RESISTANT COMPONENTS, THREADED FOR REGULATORS NPS 2 AND SMALLER. PROVIDE SHUTOFF VALVE IMMEDIATELY AHEAD OF REGULATOR, AND INSTALL TEST PORTS ON EITHER SIDE REGULATOR, WITH UPSTREAM TEST PORT DOWNSTREAM OF SHUTOFF VALVE. REGULATORS SHALL BE INSTALLED PER IFGC SECTION 410. FOR 2PSI INLET, PROVIDE MAXITROL 325-L SERIES. PROVIDE VENT PROTECTOR FOR EXTERIOR APPLICATIONS. FOR INTERIOR APPLICATIONS SHALL BE PIPED TO THE EXTERIOR WITH TURNDOWN AND SCREEN PROTECTOR (REGULATOR EQUIPPED WITH FACTORY PROVIDED VENT LIMITER IS ACCEPTABLE WHERE APPROVED BY THE LOCAL JURISDICTION).	
SHUTOFF VALVES SHALL BE PROVIDED IN ACCORDANCE WITH IFGC 409. INSTALL MANUAL GAS SHUTOFF VALVE FOR EACH GAS APPLIANCE AHEAD OF CORRUGATED STAINLESS STEEL TUBING OR COPPER CONNECTOR. SHUTOFF SHALL BE WITHIN 6" OF APPLIANCE.	
INSTALL UNIONS IN PIPES NPS 2 AND SMALLER, ADJACENT TO EACH VALVE, AT FINAL CONNECTION TO EACH PIECE OF EQUIPMENT.	
ALL GAS PIPING INSTALLED BENEATH THE BUILDING SLAB SHALL BE ENCASED IN WROUGHT IRON CONDUIT. PIPING SHALL BE PROTECTED AND INSTALLED ACCORDING TO THE INTERNATIONAL FUEL GAS CODE SECTION 404.14.	
TANK TYPE WATER HEATERS WATER HEATERS SHALL BE U.L. LISTED AND SHALL MEET OR EXCEED THE STANDBY LOSS REQUIREMENTS OF U.S. DEPT. OF ENERGY AND CURRENT EDITION OF ASHRAE/IESNA 90.1.	
WATER HEATERS SHALL HAVE 1/2" WORKING PRESSURE AND BE EQUIPPED WITH EXTRUDED HIGH DENSITY ANODE ROD AND HIGH TEMPERATURE CUTOFF SWITCH. WATER HEATERS SHALL BE THERMOSTATICALLY CONTROLLED AND SET TO 120° UNLESS OTHERWISE NOTED. WATER HEATERS SHALL BE INSTALLED ON SUSPENDED PLATFORM, STEEL STAND OR CONCRETE PAD, AS INDICATED ON DRAWINGS.	
WATER HEATERS SHALL HAVE A MINIMUM 3 YEAR LIMITED WARRANTY.	
WATER HEATERS SHALL BE INSTALLED LEVEL AND PLUMB. FIELD COORDINATE EXACT WATER HEATER LOCATION. MAINTAIN MANUFACTURER'S RECOMMENDED CLEARANCES, AND INSTALL SUCH THAT CONTROLS AND DEVICES ARE ACCESSIBLE FOR SERVICING.	
INSTALL SHUTOFF VALVES IN COLD WATER INLET AND HOT WATER OUTLET. INSTALL THERMOMETER ON HOT WATER OUTLET. WATER HEATER SHALL HAVE ASME RATED COMBINATION TEMPERATURE AND PRESSURE RELIEF VALVE IN TOP PORTION OF TANK (FACTORY OR FIELD INSTALLED). PIPE RELIEF VALVE OUTLET TO FLOOR DRAIN, MOP SINK, INDIRECT WASTE RECEPTOR OR TO EXTERIOR. MAINTAIN CONTINUOUS DOWNWARD PITCH TOWARD DISCHARGE LOCATION, AND PROVIDE AIR GAP AT DISCHARGE LOCATION. WHERE WATER HEATER DRAIN PAN IS INDICATED ON PLANS, ROUTE DRAIN TO SAME LOCATION AS RELIEF VALVE AND DISCHARGE WITH AIR GAP.	
HANGERS AND SUPPORTS HANGERS SHALL BE COMPLETE WITH RODS AND SUPPORTS PROPORTIONED TO THE SIZE OF PIPE TO BE SUPPORTED, IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS.	
SIZE HANGERS FOR INSULATED PIPING TO BEAR ON OUTSIDE OF INSULATION. PROVIDE INSULATION PROTECTORS AT HANGERS BEARING ON THE OUTSIDE OF INSULATION. PROVIDE A RIGID INSERT OR RIGID INSULATION AT EACH INSULATION PROTECTOR.	
WHERE SEVERAL PIPES 1/2" AND SMALLER RUN PARALLEL AND IN THE SAME PLANE, THEY MAY BE SUPPORTED ON GANG OR MULTIPLE HANGERS. LARGER PIPING SHALL BE INDEPENDENTLY HUNG, RUN PARALLEL AND BE EQUALLY SPACED.	
PIPING SHALL BE SUPPORTED IN ACCORDANCE WITH IPC SECTION 308, AND SPACING OF HANGERS SHALL NOT EXCEED THE LIMITS SET FORTH IN TABLE 308.5. PIPES SHALL BE SUPPORTED WITHIN 1'-0" OF EACH ELBOW.	
VERTICAL PIPE SUBJECT TO MOVEMENT SHALL BE SUPPORTED FROM THE WALL BY MEANS OF A PIPE CLAMP.	
SUPPORT DOMESTIC WATER PIPING IN SPACES BEHIND PLUMBING FIXTURES BY BRACKETS AND U-BOLTS SECURED TO WASTE AND VENT STACKS. SIZE U-BOLTS TO BEAR ON THE PIPING.	
AFTER HANGER RODS ARE INSTALLED IN FINISHED CONCRETE CEILING, FILL THE REMAINING OPENING WITH CEMENT SO THAT NO HOLE SHOWS AT THE CEILING.	
WHERE COPPER PIPING IS USED, NONFERROUS METAL SUPPORT(S) OR PROPER ISOLATION BETWEEN DISSIMILAR MATERIALS SHALL BE PROVIDED.	
PIPE HANGERS AND SUPPORTS SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH RECOMMENDATIONS SET FORTH IN MANUFACTURERS STANDARDIZATION SOCIETY STANDARD PRACTICES NO. SP-69 AND SP-58.	
SLEEVES SLEEVES SHALL BE PROVIDED WHERE PIPES PASS THROUGH WALLS, FLOORS AND ROOFS. PROVIDE STANDARD WEIGHT STEEL SLEEVES IN CONCRETE AND MASONRY CONSTRUCTION. PROVIDE 26GA GALVANIZED SHEET METAL SLEEVES IN INTERIOR DRYWALL CONSTRUCTION. SLEEVES SHALL BE THE FULL THICKNESS OF WALLS AND SHALL ALLOW FOR THE FULL THICKNESS OF PIPE INSULATION, WHERE APPLICABLE.	
SLEEVES MAY BE OMITTED WHEN OPENINGS ARE CORE DRILLED FOR CONCEALED VERTICAL AND HORIZONTAL PIPING. SLEEVES ARE NOT REQUIRED AT INDIVIDUAL PLUMBING FIXTURES OR IN CONCRETE FLOOR SLABS ON GRADE, UNLESS OTHERWISE NOTED.	
SLEEVES FOR ALL PIPING PENETRATING FIRE RATED WALLS AND FLOORS SHALL BE PROVIDED WITH 3M PIPE BARRIER NO. CP-25 FIRE PROOFING CAULKING, OR EQUAL, IN ANNULAR SPACE BETWEEN SLEEVE AND PIPING. CONTRACTOR SHALL VERIFY THE RATING OF THE WALL AND CONFIRM THE PENETRATION PROTECTION PROVIDED MEETS THAT RATING.	
PENETRATIONS THROUGH OUTSIDE WALLS SHALL BE WATERTIGHT. CAULK BETWEEN PLUMBING PIPE AND SLEEVE. PACK WITH FIBERGLASS AND CAULK, 1" DEEP AT EACH FACE WITH NON-HARDENING SEALANT BETWEEN PIPE AND SLEEVE.	
WASTE AND VENT PIPING SYSTEMS AND ACCESSORIES SANITARY PIPING SHALL BE PVC SCHEDULE 40 SOLID WALL PIPE AND DWV FITTING SYSTEM.	
PIPE AND FITTINGS SHALL BE MANUFACTURED FROM PVC COMPOUND WITH A CELL CLASS OF 12454 PER ASTM D-1784 AND CONFORM WITH NATIONAL SANITATION FOUNDATION (NSF) STANDARD 14. PIPE SHALL BE IRON PIPE SIZE (IPS) CONFORMING TO ASTM D-1785 AND ASTM D-2665. INJECTION MOLDED FITTINGS SHALL CONFORM TO ASTM D-2665. FABRICATED FITTINGS SHALL CONFORM TO ASTM F-1866. SOLVENT CEMENTS SHALL CONFORM TO ASTM D-2564. PRIMER SHALL CONFORM TO ASTM F-656. BURIED PIPE SHALL CONFORM TO ASTM D-2321.	
WASTE AND VENT PIPING SHALL BE TESTED IN ACCORDANCE WITH THE GOVERNING CODES. AT A MINIMUM, WASTE PIPING SHALL BE TESTED WITH AT LEAST 10 FOOT OF WATER HEAD PRESSURE APPLIED.	
ALL VENTS THROUGH ROOF SHALL BE LOCATED AT LEAST 10'-0" AWAY FROM ANY AIR INTAKE, EVAPORATIVE COOLER, OR ANY OTHER DEVICE THAT WOULD DRAW AIR FROM THE VENT. FLASH AROUND ALL PIPES PENETRATING THROUGH ROOF WITH STANDARD MANUFACTURED FLASHINGS. FLASHING SHALL BE SHEET METAL WITH RUBBER GASKETS AND SHALL EXTEND INTO ROOFING AND UP PIPE DISTANCES IN ACCORDANCE WITH THE LOCAL CODE.	
NO DOUBLE COMBINATION FITTINGS MAY BE UTILIZED IN THE HORIZONTAL.	
WHERE TWO HORIZONTAL PIPES (BACK-TO-BACK WATER CLOSETS OR TWO SANITARY BRANCHES) COMBINE IN THE VERTICAL, A DOUBLE COMBINATION WYE EIGHTH BEND FITTING SHALL BE INSTALLED. DOUBLE SANITARY TEE OR SANITARY CROSS IS NOT ACCEPTABLE.	
WHERE DRAWINGS REQUIRE CONNECTION TO EXISTING SANITARY SEWER PIPING IN BUILDING, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD DETERMINE EXACT LOCATION, DEPTH AND DIRECTION OF FLOW PRIOR TO COMMENCING WORK. CONTRACTOR SHALL ALERT ARCHITECT/ENGINEER IF THERE IS A POTENTIAL ISSUE MAINTAINING PROPER SLOPE IN CONNECTING TO EXISTING, OR IF THERE IS A MORE DIRECT CONNECTION POSSIBLE. CONTRACTOR SHALL CONFIRM THAT ANY EXISTING PIPING TO BE REUSED IS CLEAN, FREE OF DEFECTS, ADEQUATELY SLOPED (1/4" FT MINIMUM) AND THAT THERE ARE NO DIPS THAT COULD HOLD WATER. PROVIDE CAMERA SCOPING TO DOCUMENT THIS INFORMATION. CONTRACTOR SHALL ALERT ARCHITECT/ENGINEER OF ANY DEFICIENCIES.	
DOMESTIC WATER SYSTEMS AND ACCESSORIES WATER PIPING ABOVE SLAB: TYPE 1/2" THICK DRAWN COPPER TUBING, ASTM B88, WROUGHT SOLDER JOINTS, ANSI B1 6.2.2.	
WATER PIPING BELOW SLAB: TYPE K SOFT DRAWN COPPER TUBING, WITH NO JOINTS BELOW SLAB, ASTM B88.	
ALL DOMESTIC HOT WATER PIPING SHALL HAVE A MINIMUM PRESSURE RATING OF 100PSI AT 180°F.	
DOMESTIC WATER PIPING SHALL BE TESTED IN ACCORDANCE WITH ALL GOVERNING CODES. PIPING SHALL BE PURGED OF DELETERIOUS MATTER AND DISINFECTED PRIOR TO UTILIZATION. PIPING TO BE FLUSHED AND STERILIZED IN ACCORDANCE WITH IPC 610.1 AND ALL APPLICABLE LOCAL AND STATE HEALTH DEPARTMENT STANDARDS.	
BALL VALVES SHALL BE TWO-PIECE BRONZE BODY, LARGE PORT WITH SOLID, SMOOTH BORE CHROME PLATED BRASS BALL. SEATS SHALL BE REINFORCED TFE WITH TEFLON PACKING RING AND THREADED ADJUSTABLE PACKING NUT. PROVIDE STEM EXTENSION AS NEEDED TO PROVIDE HANDLE ON OUTSIDE OF PIPE INSULATION. VALVES SHALL BE APOLLO 70 OR EQUAL.	
BACKFLOW PREVENTERS SHALL BE INSTALLED IN ACCESSIBLE LOCATIONS FOR EASE OF TESTING AND SERVICING. FOR BACKFLOW PREVENTERS WITH VENT CONNECTIONS, ROUTE VENT LINE TO NEAREST DRAIN AND DISCHARGE WITH AIR GAP. BACKFLOW PREVENTERS SHALL BE TESTED IN ACCORDANCE WITH IPC 312.10.2. CONTRACTOR SHALL PROVIDE CERTIFICATIONS THAT STATE DEVICES HAVE BEEN TESTED AND APPROVED.	
THERMOMETERS SHALL BE 9" ADJUSTABLE ANGLE, 30°-180°F RANGE (TERECIE BX9 OR EQUAL). PRESSURE GAUGES SHALL BE 4 1/2" DIAL SIZE, 0-1 GOPSI (TERECIE 600CB OR EQUAL).	
CONTRACTOR SHALL FIELD VERIFY INCOMING DOMESTIC WATER PRESSURE TO CONFIRM ADEQUATE PRESSURE TO SERVE THE DOMESTIC WATER SYSTEM. CONTRACTOR SHALL ALERT ENGINEER TO A POTENTIAL LOW PRESSURE CONDITION. WHERE PRESSURE EXCEEDS 80PSI, PROVIDE PRESSURE REGULATING VALVE (WATTS LP223) AND UPSTREAM STRAINER (WATTS LSF777).	
CONTRACTOR SHALL FIELD COORDINATE LOCATION OF ACCESSIBLE ISOLATION VALVES ON DOMESTIC HOT & COLD WATER SUPPLIES TO FIXTURES OR GROUPS OF FIXTURES SUCH THAT THEY MAY BE SHUT OFF FOR SERVICING. SERVICE AND HOSE BIBB VALVES SHALL BE IDENTIFIED. ALL OTHER VALVES INSTALLED IN LOCATIONS THAT ARE NOT ADJACENT TO THE FIXTURE(S) SHALL BE IDENTIFIED, INDICATING THE FIXTURE(S) SERVED.	
INSULATION INSULATE ALL DOMESTIC HOT WATER AND HOT WATER RECIRCULATION PIPING IN ACCORDANCE WITH IECC TABLE C403.2.10. PIPE UP TO 1 1/4": 1" THICK INSULATION. PIPE 1 1/2" OR LARGER: 1 1/2" THICK INSULATION	
INSULATE ALL HORIZONTAL COLD WATER PIPING LOCATED ABOVE CEILING, VERTICAL PIPING LOCATED IN AN EXTERIOR WALL, EXPOSED PIPING (I.E. MECH ROOMS). PIPE UP TO 1 1/4" THICK. PIPING 1 1/2" AND OVER: 1 1/2" THICK INSULATION. ALL WATER AND DRAINAGE PIPING INSTALLED IN EXTERIOR WALLS SHALL BE WRAPPED IN 1 1/2" THICK PIPE INSULATION AND BE LOCATED ON THE INTERIOR SIDE OF THE BUILDING INSULATION. IF INSTALLED IN EXTERIOR BLOCK WALLS, INTERSTITIAL SPACES SHALL BE FILLED WITH FOAM INSULATION.	
ALL JOINTS SHALL BE SEALED WITH MATCHING VAPOR BARRIER TAPE.	
INSULATION SHALL HAVE A K-FACTOR (AVERAGE THERMAL CONDUCTIVITY) NOT TO EXCEED 0.27 BTU-IN/HR x SQFT x °F.	
PROTECTION OF PIPING PIPING PASSING UNDER FOOTINGS OR THROUGH FOUNDATION WALLS SHALL BE PROVIDED WITH A SLEEVE TWICE THE DIAMETER OF THE PIPE. OPEN ENDS OF SLEEVES SHALL BE SEALED. PIPING PASSING THROUGH CONCRETE OR CINDER WALLS AND FLOORS OR OTHER CORROSIVE MATERIAL SHALL BE PROTECTED IN ACCORDANCE WITH IPC 305.1. ALL PIPING INSTALLED THROUGH HOLES OR NOTCHES IN STUDS, JOISTS, RAFTERS OR SIMILAR MEMBERS SHALL BE PROTECTED BY STEEL SHIELD PLATES IN ACCORDANCE WITH IPC 305.6. VERTICAL STACKS IN WOOD CONSTRUCTION SHALL BE PROTECTED FROM BUILDING SETTLING WITH COMPRESSION/EXPANSION FITTINGS AND PIPE CLAMPS INSTALLED PER MANUFACTURER'S RECOMMENDATIONS (FERNOCO XJ SERIES OR EQUAL).	

SPECIFICATIONS	
APPLICABLE CODES: INTERNATIONAL FIRE CODE (IFC), 2018 EDITION 2020 IFC CO AMENDMENTS INTERNATIONAL PLUMBING CODE (IPC), 2018 EDITION 2020 IPC CO AMENDMENTS INTERNATIONAL MECHANICAL CODE (IMC), 2018 EDITION 2020 IMC CO AMENDMENTS INTERNATIONAL FUEL GAS CODE (IFGC), 2018 EDITION 2020 IFGC CO AMENDMENTS INTERNATIONAL ENERGY CONSERVATION CODE (IECC), 2018 EDITION 2020 SUPPLEMENTS AND AMENDMENTS	
GENERAL NOTES: REFER TO ARCHITECTURAL REFLECTED CEILING PLANS FOR EXACT LOCATION OF ALL CEILING MOUNTED EQUIPMENT. ALL DUCT DIMENSIONS INDICATED IN THESE DOCUMENTS ARE INSIDE-CLEAR DIMENSIONS. PORTIONS OF DUCTWORK OR PIPING VISIBLE THROUGH GRILLES AND REGISTERS IN FINISHED AREAS SHALL BE PAINTED FLAT BLACK. PAINT BLACK BEHIND ALL GRILLES. ALL WIRING IN THE CEILING FLENUM SHALL BE FLENUM RATED CABLE. MOUNTING FRAME OF CEILING MOUNTED AIR DISTRIBUTION DEVICES SHALL BE COMPATIBLE WITH CEILING TYPE. REFER TO ARCHITECTURAL DRAWINGS FOR CEILING TYPE. ALL FIRE SEPARATIONS MUST BE PROTECTED WHEN APPLICABLE. PROVIDE NEW FILTERS (MERV 7 OR BETTER PER OWNER) FOR ALL APPLICABLE HVAC EQUIPMENT AT THE END OF CONSTRUCTION. ALL MATERIAL IN FLENUM MUST MEET FIRE AND SMOKE SPREAD AS REQUIRED BY NFPA 90A. ALL ROOF PENETRATIONS TO BE 12" APART AND AT LEAST 12" AWAY FROM CURBS, WALLS, AND DRAIN SUMPS TO PROVIDE ROOFING CONTRACTOR WITH SUFFICIENT ACCESS FOR FLASHING EACH ROOF PENETRATION. SUBSTITUTIONS MUST BE APPROVED IN WRITING BY ARCHITECT PRIOR TO BID SUBMISSION. CONTRACTOR SHALL REVIEW ALL CONTRACT DOCUMENTS AND SHALL BE FAMILIAR WITH THE SCOPE AND REQUIREMENTS OF THIS PROJECT. ANY DISCREPANCIES OR LACK OF CLARITY IN THE DOCUMENTS SHALL BE IDENTIFIED TO THE ARCHITECT OR ENGINEER PRIOR TO THE SUBMISSION OF PRICING BIDS. WITH A SUBMITTED BID, CONTRACTOR IS ACCEPTING THESE DOCUMENTS AS SUFFICIENT DEFINITION OF THE SCOPE OF WORK, AND ANY ADDITIONAL COSTS BASED ON UNCLARITY OF CONTRACT DOCUMENTS WILL NOT BE CONSIDERED. THE CONTRACTOR SHALL REFERENCE THE FULL SET OF CONSTRUCTION DOCUMENTS DURING PRICING AND CONSTRUCTION FOR COORDINATION BETWEEN DISCIPLINES RELATIVE TO THE MECHANICAL SCOPE. EXISTING CONDITIONS: CONTRACTOR SHALL VISIT THE SITE AND UNDERSTAND JOB CONDITIONS BEFORE SUBMITTING A PROPOSAL. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY LOCATIONS AND SIZES OF ALL EXISTING UTILITY SERVICES PRIOR TO SUBMITTING HIS PROPOSAL. NO CONSIDERATION WILL BE GIVEN TO CLAIMS FOR EXTRA COST ARISING FROM CONTRACTOR'S FAILURE TO BE FULLY COGNIZANT OF JOB OR SITE CONDITIONS EXISTING AT TIME OF ACCEPTANCE OF BID. ACTIVE SERVICES: WHEN ENCOUNTERED IN WORK, PROTECT, BRACE, SUPPORT EXISTING ACTIVE SEWERS, GAS AND OTHER SERVICES REQUIRED FOR PROPER EXECUTION OF WORK. IF EXISTING ACTIVE SERVICES ARE ENCOUNTERED THAT REQUIRE RELOCATION, RELOCATE AS APPROVED. DO NOT PREVENT OR DISTURB OPERATION OF ACTIVE SERVICES THAT ARE TO REMAIN. INACTIVE SERVICES: WHEN ENCOUNTERED IN WORK, REMOVE, CAP OR PLUG INACTIVE SERVICES, AS INDICATED. INTERRUPTION OF SERVICES: WHERE WORK MAKES TEMPORARY SHUT-DOWNS OF SERVICES UNAVOIDABLE, SHUT DOWN AT NIGHT, OR AT SUCH TIMES AS APPROVED BY OWNER, WHICH WILL CAUSE LEAST INTERFERENCE WITH ESTABLISHED OPERATING ROUTINE. ARRANGE WORK TO ASSURE THAT SERVICES WILL BE SHUT DOWN ONLY DURING TIME ACTUALLY REQUIRED TO MAKE NECESSARY CONNECTION TO EXISTING WORK. WHERE EXISTING WALLS, CEILINGS, FLOORS, ETC., ARE CUT OR OTHERWISE DAMAGED DURING CONSTRUCTION, REPAIR ALL SURFACES TO THEIR ORIGINAL CONDITION.	
SHOP DRAWINGS: SUBMIT SHOP DRAWINGS FOR REVIEW. PDF FILES PREFERRED. SHOP DRAWINGS SHALL BE BOUND INTO VOLUMES (FILES), WITH EACH VOLUME (FILE) CONTAINING ONE COPY OF ALL SHOP DRAWINGS. ALL SHOP DRAWINGS SHALL BE SUBMITTED SIMULTANEOUSLY; NO SHOP DRAWINGS WILL BE CHECKED UNTIL ALL HAVE BEEN SUBMITTED. SUBMITTALS SHALL BE SUPPORTED BY DESCRIPTIVE MATERIAL, SUCH AS CATALOG CUTS, DIAGRAMS, PERFORMANCE CURVES AND CHARTS PUBLISHED BY THE MANUFACTURER, TO SHOW CONFORMANCE TO SPECIFICATION AND DRAWING REQUIREMENTS; MODEL NUMBERS ALONE WILL NOT BE ACCEPTABLE. ALL LITERATURE SHALL CLEARLY INDICATE THE SPECIFIED MODEL NUMBER, DIMENSIONS, ARRANGEMENT, RATING AND CHARACTERISTICS OF THE PROPOSED EQUIPMENT. CAPACITIES AND RATINGS SHALL BE BASED ON CONDITIONS INDICATED OR SPECIFIED HEREIN. ANY DEVIATIONS FROM SPECIFIED EQUIPMENT, PARTICULARLY THOSE WHICH REQUIRE COORDINATION WITH OTHER TRADES) SHALL BE CLEARLY NOTED IN A CONCISE LIST ON A SEPARATE SHEET.	
TEST AND BALANCE: TEST AND BALANCE (TAB) CONTRACTOR SHALL HOLD A CURRENT NATIONAL BALANCING COUNCIL (NBC) CERTIFICATION AND POSSESS ACCURATE AND CALIBRATED INSTRUMENTS. TAB WORK AND REPORTS SHALL BE PER NBC PRACTICAL STANDARDS, PROCEDURES AND FORMS. ACCEPTABLE ALTERNATIVE TAB FIRM CERTIFICATIONS/PROCEDURES: NEBB, AABC, OR TABB. PRIOR TO COMMENCEMENT OF THE TAB WORK, THE MECHANICAL SYSTEMS ARE TO BE STARTED AND FULLY FUNCTIONING. A CHECKLIST PRIOR TAB WORK IS TO BE SENT TO THE INSTALLING CONTRACTOR AND RETURNED ATTESTING TO THE READINESS OF THE SYSTEMS FOR BALANCING. PREFERRED TAB FIRM: P-TAB.COM	
GUARANTEE: GUARANTEE THAT EACH PIECE OF APPARATUS SHALL BE OF THE CUSTOMARY STANDARD AND QUALITY FURNISHED BY THE DESIGNED MANUFACTURER FOR THAT CATALOG NUMBER. GUARANTEE THAT THE AIR SYSTEMS SHALL OPERATE WITHOUT AERODYNAMIC NOISE GENERATED FROM THE FAULTY INSTALLATION OF DUCT WORK OR ANY COMPONENT OF THE AIR DISTRIBUTION SYSTEM. GUARANTEE THAT ALL SYSTEMS AND COMPONENTS SHALL BE PROVIDED WITH A ONE YEAR WARRANTY FROM THE TIME OF DATE OF SUBSTANTIAL COMPLETION. THE WARRANTY SHALL COVER ALL MATERIALS AND WORKMANSHIP. DURING THIS WARRANTY PERIOD, ALL DEFECTS IN MATERIALS AND WORKMANSHIP SHALL BE CORRECTED BY REPAIR OR REPLACEMENT WITHOUT INCURRING ADDITIONS TO THE CONTRACT.	
SNOW MELT BOILER WATER PIPING: CONDENSER WATER PIPING SHALL BE SCHEDULE 40 STEEL PIPE, GROOVED, MECHANICAL JOINT COUPLING AND FITTINGS; AND GROOVED MECHANICAL JOINTS. SNOW MELT BOILER WATER PIPING INSULATION: CONDENSER WATER PIPING SHALL BE INSULATED WITH 1 1/2" CELLULAR GLASS WITH ALL SERVICE JACKET (ASJ) OR 1-1/2" MINERAL FIBER PREFORMED PIPE, TYPE 1, WITH ASJ.	
PROJECT: WARM SPRINGS TOWNHOMES 108 RITCHIE DRIVE KETCHUM, ID 83340 DRAWING TITLE: GENERAL SEAL: PROFESSIONAL ENGINEER LICENSED PAUL KENNEDY 7628 KETCHUM, IDAHO	
PROJECT NUMBER 2000.01 DRAWING NUMBER: M0.1 ©2025, ROJ ROCKETT DESIGN, INC.	



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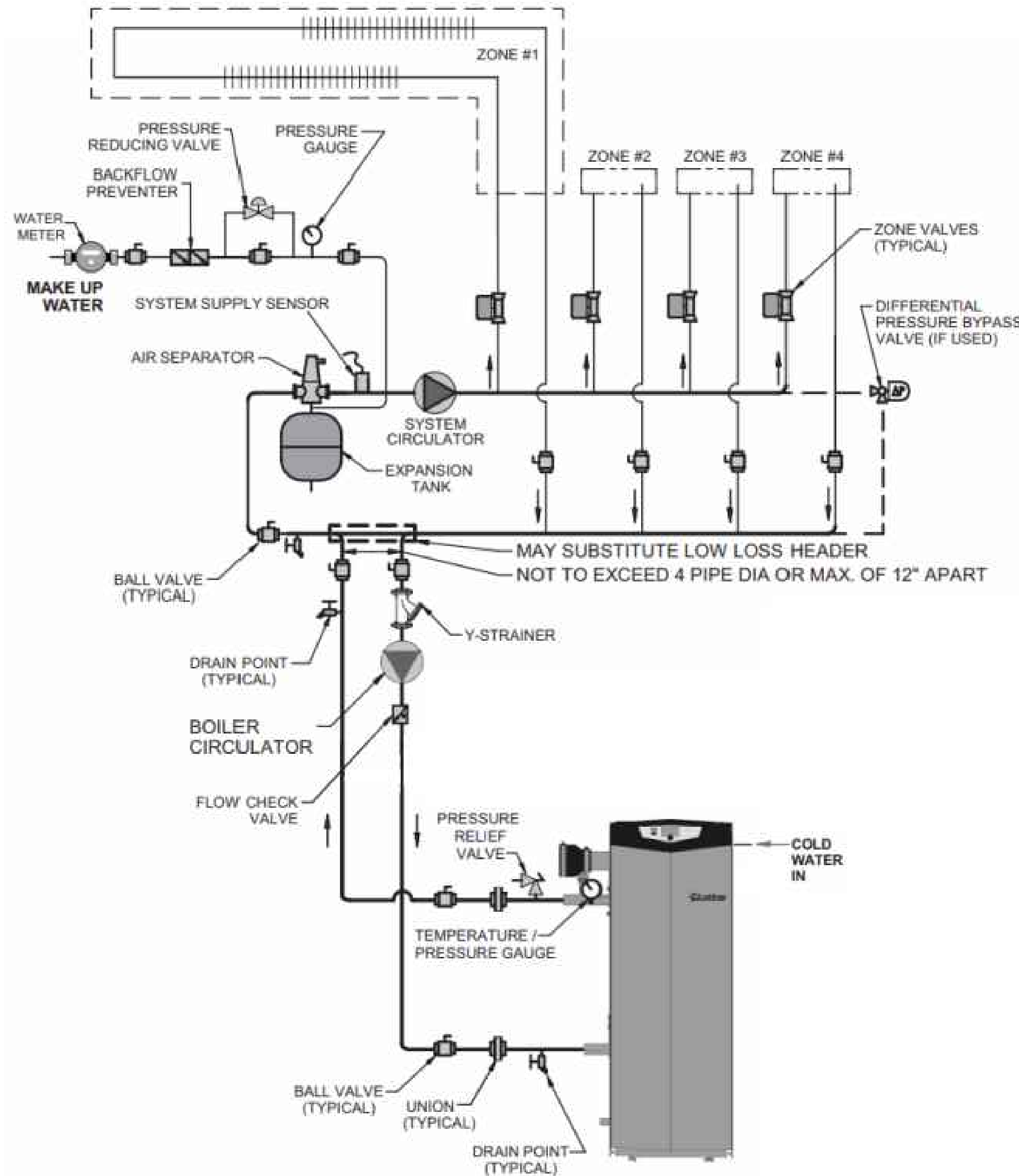
PROJECT:  
WARM SPRINGS TOWNHOMES  
108 RITCHIE DRIVE  
KETCHUM, ID 83340

DRAWING TITLE:  
GENERAL

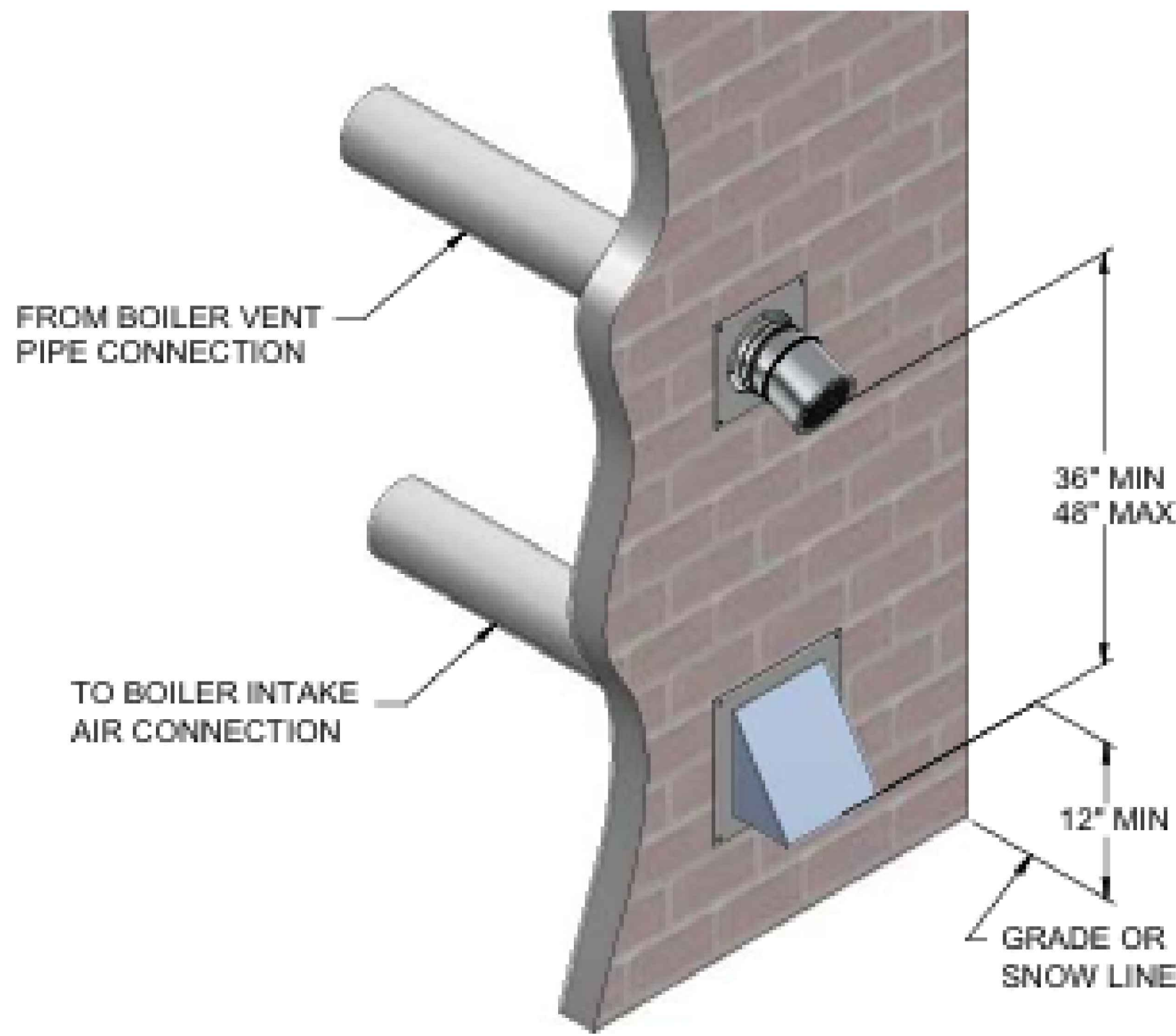
SEAL:  
PROFESSIONAL ENGINEER  
LICENSED  
PAUL KENNEDY  
7628  
KETCHUM, IDAHO

PROJECT NUMBER  
2000.01  
DRAWING NUMBER:  
M0.1  
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BOILER INSTALLATION DETAIL  
NO SCALE



BOILER SIDEWALL TERMINATION DETAIL  
NO SCALE

## HOT WATER BOILER

MARK	SERVES	BASIS OF DESIGN	WATER			HEATER		DECIBEL (dB)	TURN DOWN	THERMAL EFFICIENCY (%)	OPERATING WEIGHT (LBS)	REMARKS									
			GPM	EVT (°F)	LWT (°F)	INPUT (MBH)	OUTPUT (MBH)					1	2	3	4	5	6	7	8	9	10
B-1	BUILDING B RAMP	FB1751	145.0	40	121	1,751.0	1,684.0	66	25:1	96.2	250	X	X	X	X	X	X	X	X	X	X

NOTES:

A. SELECTIONS ARE BASED ON LOCHINVAR, EQUAL PRODUCTS BY AERCO, PATTERSON KELLEY, HYDROTHERM.

B. SEE ELECTRICAL DRAWINGS FOR ELECTRICAL POWER INFORMATION.

C. THERMAL EFFICIENCY IS BASED ON AHRI EFFICIENCY 80°F TO 180°F.

REMARKS:

1. SINGLE POINT POWER CONNECTION.

2. DISCONNECT SWITCH PROVIDED BY THE ELECTRICAL SUBCONTRACTOR.

3. FACTORY PROVIDED MULTI-BOILER CONTROL SYSTEM.

4. OUTDOOR AIR RESET.

5. BAS INTERFACE (BAGNET).

6. DIRECT VENT SEALED COMBUSTION CONFIGURATION.

7. CONCENTRIC VENT KIT.

8. HIGH & LOW GAS PRESSURE SWITCHES WITH MANUAL RESET.

9. 50%-50% PROPYLENE GLYCOL AND WATER SOLUTION, PROVIDE ADVANTAGE CONTROLS 55 GALLON E-GLYCOL FEEDER. INSTALL PER MANUFACTURERS INSTRUCTIONS. PROVIDE WITH BAS INTERFACE (BAGNET).

## PUMP SCHEDULE

MARK	SERVICE / DUTY	TYPE	GPM	HEAD (FT)	IMPELLER DIAMETER (IN)	MAX NPSHR (PSI)	MOTOR (HP)	PUMP SPEED (RPM)	PUMP EFF (%)	OPERATING WEIGHT (LBS)	BASIS OF DESIGN MODEL	REMARKS									
												1	2	3	4	5	6	7	8		
P-1A	B-4: PRIMARY LOOP	ECM HIGH-EFFICIENCY	145	11.000	10"	4.35	2.1	4760	36	52	TACO VR25M5F	X	X	X	X	X	X	X	X	X	X
P-1B	B-4: SECONDARY LOOP	ECM HIGH-EFFICIENCY	145	13.900	10"	4.4	5	4400	63	72	TACO 3KV3009D	X	X	X	X	X	X	X	X	X	X

NOTES (APPLY TO ALL):

A. SEE ELECTRICAL DRAWINGS FOR ELECTRICAL POWER INFORMATION.

B. BASIS OF DESIGN: TACO AND GRUNDFOS

ACCEPTABLE ALTERNATES: BELL & GOSSETT, ARMSTRONG, AURORA.

REMARKS:

1. FLEXIBLE COUPLING.

2. DISCONNECT SWITCH BY THE ELECTRICAL SUBCONTRACTOR.

3. SUCTION DIFFUSER WITH INTEGRAL STRAINER.

4. INVERTER DUTY MOTOR WITH VFD. VFD PROVIDED BY THE ELECTRICAL SUBCONTRACTOR.

5. DDC CONTROL, INTERLOCK WITH BAS.

6. FIELD INSTALLED DIFFERENTIAL PRESSURE SENSOR AT MOST CRITICAL POINT.

7. PUMP & INERTIA BASE MOUNTED ON CONCRETE HOUSEKEEPING PAD PROVIDED BY OTHERS.

8. PUMP IS PROVIDED WITH BOILER AND IS SHOWN FOR REFERENCE ONLY.

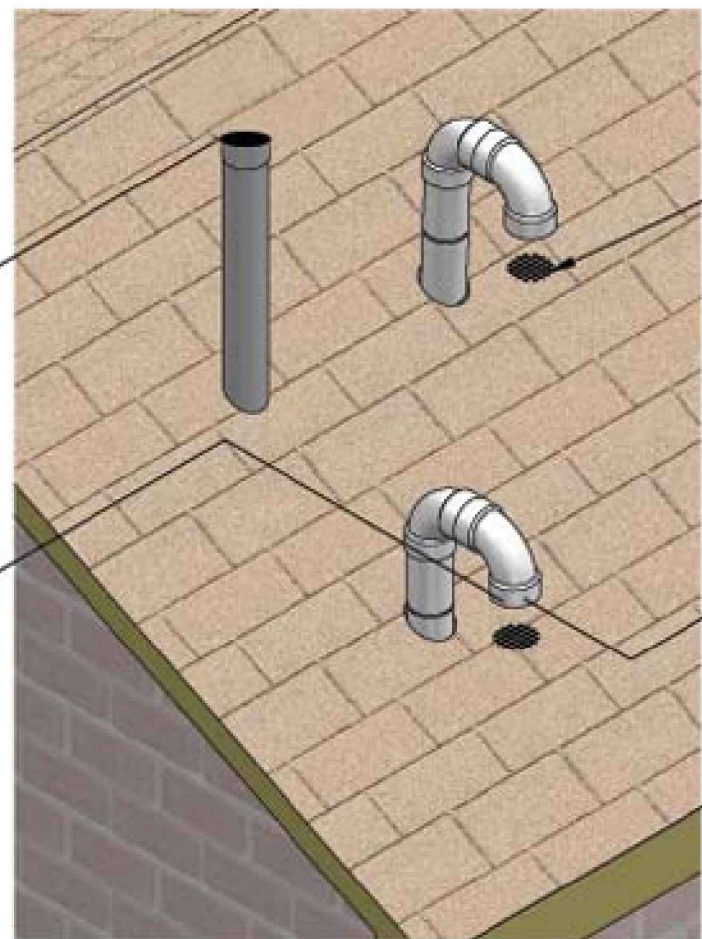
## MANIFOLD SCHEDULE

MARK	BOILER	CIRCUITS	GPM	REQUIRED TEMP (°F)	SUPPLIED TEMP (°F)	MANIFOLD TYPE (FT)	MANIFOLD HEAD LOSS (FT)	CIRCUIT HEAD LOSS (FT)	S/R HEAD LOSS (FT)	TOTAL HEAD LOSS (FT)
MANIFOLD 1	B-1	6	14.17	115	121	PRO-BALANCE 1-1/4\"/>	5.2	10.2	0	15
MANIFOLD 2	B-1	5	10.98	116	121	PRO-BALANCE 1-1/4\"/>	3.9	10.1	0	14
MANIFOLD 3	B-1	12	31.36	115	121	PRO-BALANCE 1-1/4\"/>	13.9	13.6	0	28
MANIFOLD 4	B-1	4	10.48	116	121	PRO-BALANCE 1-1/4\"/>	5.1	13.0	0	18
MANIFOLD 5	B-1	11	26.83	117	121	PRO-BALANCE 1-1/4\"/>	10.7	14.2	0	25
MANIFOLD 6	B-1	7	17.80	116	121	PRO-BALANCE 1-1/4\"/>	6.7	14.1	0	21
MANIFOLD 7	B-1	1	1.90	112	121	PRO-BALANCE 1-1/4\"/>	2.7	7.5	0	10
MANIFOLD 8	B-1	2	3.01	123	121	PRO-BALANCE 1-1/4\"/>	1.9	3.9	0	6
MANIFOLD 9	B-1	8	18.81	115	121	PRO-BALANCE 1-1/4\"/>	6.0	13.0	0	19
MANIFOLD 10	B-1	4	6.59	117	121	PRO-BALANCE 1-1/4\"/>	2.0	4.3	0	6
MANIFOLD 11	B-1	2	2.56	117	121	PRO-BALANCE 1-1/4\"/>	2.7	9.5	0	12

NOTES (APPLY TO ALL):

A. REFER TO SNOW MELT SYSTEM LOOP DRAWINGS FOR MORE INFORMATION.

VENT OUTLET  
36" [914 MM] MINIMUM  
ABOVE AIR INLET



BOILER VERTICAL TERMINATION DETAIL  
NO SCALE



## WARM SPRINGS TOWNHOMES KETCHUM, IDAHO

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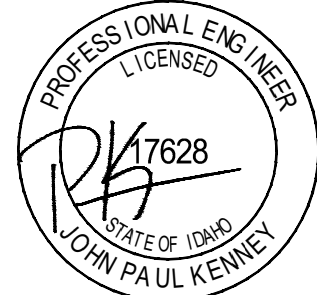
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PROJECT:  
WARM SPRINGS TOWNHOMES

108 RITCHIE DRIVE  
KETCHUM, ID 83340

DRAWING TITLE:  
SCHEDULES DETAILS

SEAL:



PROJECT NUMBER:  
2000.01

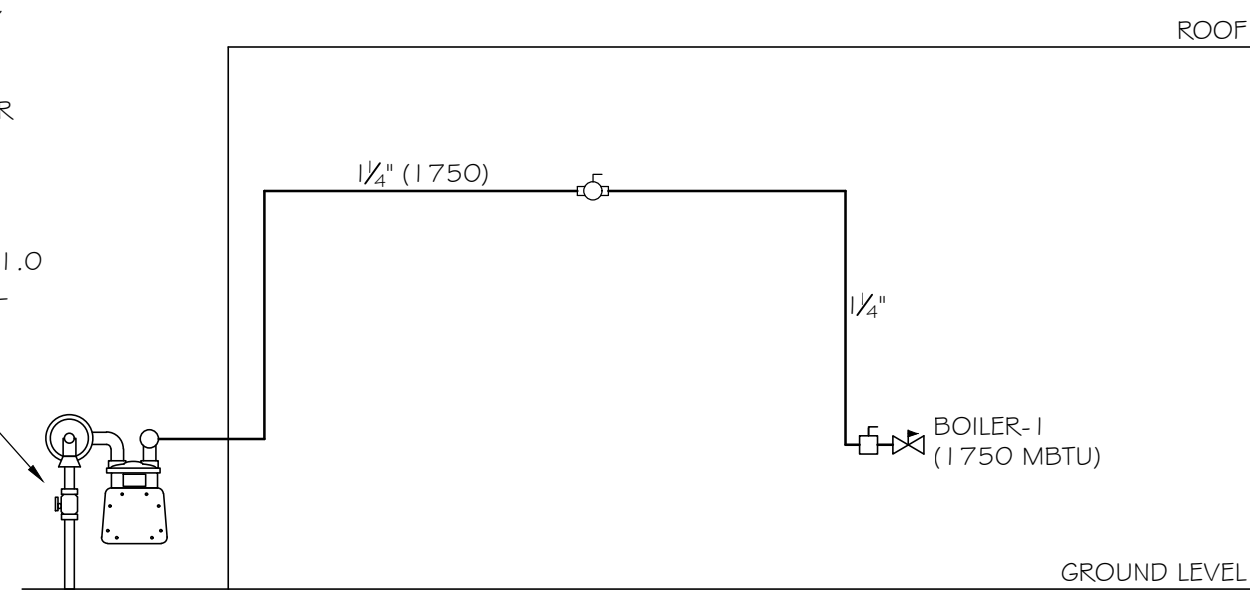
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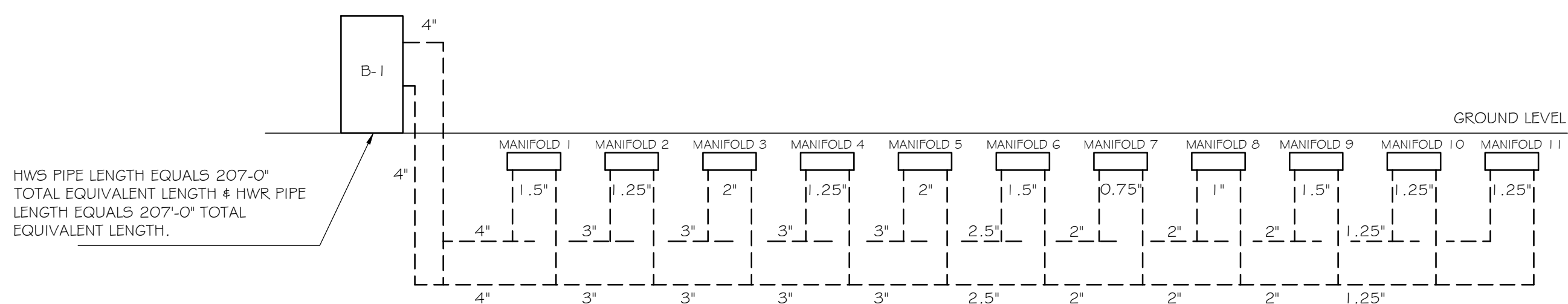


## NO SCALE

NATURAL GAS PRESSURE REGULATOR &  
METER INSTALLATION (FIELD COORDINATE  
INSTALLATION OF NEW METER ASSEMBLY  
WITH NATURAL GAS PROVIDER). DELIVERY  
PRESSURE = 2PSI. CONTRACTOR SHALL  
CONFIRM THE AVAILABILITY OF 2.0 PSI  
PRESSURE FROM NATURAL GAS PROVIDER  
PRIOR TO COMMENCING WORK. TOTAL  
CONNECTED LOAD = 1,750,000 BTU.  
SIZING BASED ON IFGC TABLE 402.4(5) -  
SCHEDULE 40 METALLIC PIPE, INLET  
PRESSURE 2.0 PSI, PRESSURE DROP OF 1.0  
PSI, 0.60 SPECIFIC GRAVITY, 100' TOTAL  
DEVELOPED LENGTH.



## NO SCALE



A. REFER TO SNOW MELT SYSTEM LOOP DRAWINGS FOR MORE INFORMATION ON SNOW MELT PIPING AND MANIFOLDS.

B. REFER TO MANIFOLD PIPING DIAGRAM FOR BOILER 1 ON THIS SHEET FOR MORE INFORMATION ON BOILER SYSTEM PIPE SIZES.

- ① NATURAL GAS DN TO BOILER WITH SHUTOFF VALVE, DIRT LEG & UNION FIDEL COORDINATE FINAL CONNECTION.
- ② 1" DOMESTIC WATER SERVICE BIG, SEE CIVIL DWG FOR CONT
- ③ BOILER FUEL VENT TO ROOF TERMINATION PER MANUFACTURER'S INSTALLATION INSTRUCTIONS. TELL TO MANUFACTURERS REQUIRED CLEARANCES LISTED ON THIS SHEET.
- ④ ROUTE 4" HWS TO MAINFOLDS AND CONTINUE 4" HWR FROM MAINFOLD BACK TO BOILER. REFER TO SHOW MEET SYSTEM LOOP DRAWING ON SHEET M-3 FOR MAINFOLD LOCATIONS AND MANIFOLD PIPING DIAGRAM.
- ⑤ NATURAL GAS DN TO NEW METEPLYR INSTALLATION, COORDINATE WITH UTILITY PROVIDER. SEE NATURAL GAS RISER DIAGRAM FOR ADDITIONAL INFORMATION AND SIZING CRITERIA.
- ⑥ BOILER COMBUSTION PIP TO EXTERIOR WALL ABOVE DOOR TERMINATION PER MANUFACTURER'S INSTALLATION INSTRUCTIONS. REFER TO MANUFACTURERS REQUIRED CLEARANCES LISTED ON THIS SHEET.

- THE TOTAL LENGTH OF PIPING FOR VENT OR AIR MUST NOT EXCEED THE LIMITS GIVEN IN THE GENERAL VENTING SECTION ON PAGE 17 OF THE MANUAL.
- THE VENT MUST TERMINATE AT LEAST 3 FEET ABOVE THE HIGHEST PLACE IN WHICH THE VENT PENETRATES THE ROOF AND AT LEAST 2 FEET ABOVE ANY PART OF A BUILDING WITHIN 10 HORIZONTAL FEET.
- THE AIR PIPING MUST TERMINATE IN A DOWN—TURNED 180° RETURN PIPE NO FURTHER THAN 2 FEET (.6 M) FROM THE CENTER OF THE VENT PIPE. THIS PLACEMENT AVOIDS RECIRCULATION OF FLUE PRODUCTS INTO THE COMBUSTION AIR STREAM.
- THE VENT PIPING MUST TERMINATE IN AN UP—TURNED COUPLING AS SHOWN IN FIG. 3—1. THE TOP OF THE COUPLING OR THE RAIN CAP MUST BE AT LEAST 36" (914 MM) ABOVE THE AIR INTAKE. THE AIR INLET PIPE AND VENT PIPE CAN BE LOCATED IN ANY DESIRED POSITION ON THE ROOF, BUT MUST ALWAYS BE NO FURTHER THAN 2 FEET (.6 M) APART AND WITH THE VENT TERMINATION AT LEAST 36" (914 MM) ABOVE THE AIR INTAKE.
- LOCATE TERMINATIONS SO THEY ARE NOT LIKELY TO BE DAMAGED BY FOREIGN OBJECTS, SUCH AS STONES OR BALLS, OR SUBJECT TO BUILDUP OF LEAVES OR SEDIMENT.
- DO NOT EXTEND EXPOSED VENT PIPE OUTSIDE OF BUILDING MORE THAN SHOWN IN THE MANUAL OR DETAIL ON MO.2. CONDENSATE COULD FREEZE AND BLOCK VENT PIPE.

OWNER:

108-110 RITCHIE LLC  
P.O. BOX 14001-174  
KETCHUM, ID 83340  
TEL: 603.801.0419

BUILDING ARCHITECT:

RO | ROCKETT DESIGN  
1031 W. MANCHESTER BLVD. UNIT 6  
INGLEWOOD, CA 90301  
TEL: 213.784.0014

STRUCTURAL ENGINEER:

**ZFA STRUCTURAL ENGINEERS**  
601 MONTGOMERY STREET SUITE 1450  
SAN FRANCISCO, CA 94111  
TEL: 415.243.4091

MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:

**PROFICIENT ENGINEERING**  
4704 HARLAN STREET SUITE 620  
DENVER, CO 80212  
TEL: 720.779.3556

CIVIL ENGINEER

**GALENA BENCHMARK ASSOCIATES**  
100 BELL DRIVE SUITE C  
KETCHUM, ID 83340  
TEL: 208.726.9512

LANDSCAPE ARCHITECT:

**EGGERS ASSOCIATES**  
560 NORTH 2ND AVENUE  
KETCHUM, ID 83340  
TEL: 208.725.0988

GEOTECHNICAL ENGINEER

LIGHTING DESIGNER:

### AUDIO / VISUAL / CONTROLS

GENERAL CONTRACTOR

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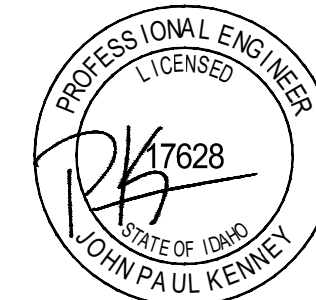
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PROJECT

WARM SPRINGS TOWNHOMES

108 RITCHIE DRIVE  
KETCHUM, ID 83340

DRAWING TITLE:  
SNOW MELT DESIGN



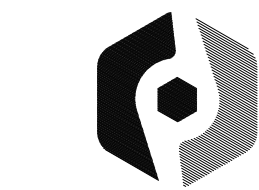
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DRAWING NUMBER

M1.0

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PROJECT # 324050

## WARM SPRINGS TOWNHOMES KETCHUM, IDAHO

OWNER:

108-110 RITCHIE LLC  
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KETCHUM, ID 83340  
TEL: 603.801.0419

BUILDING ARCHITECT:

RO | ROCKETT DESIGN  
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INGLEWOOD, CA 90301  
TEL: 213.784.0014

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SAN FRANCISCO, CA 94111  
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KETCHUM, ID 83340  
TEL: 208.728.9512

LANDSCAPE ARCHITECT:

EGGERS ASSOCIATES  
560 NORTH 2ND AVENUE  
KETCHUM, ID 83340  
TEL: 208.725.0988

GEOTECHNICAL ENGINEER:

LIGHTING DESIGNER:

AUDIO / VISUAL / CONTROLS:

GENERAL CONTRACTOR:

ISSUE	DESCRIPTION	DATE
1	DESIGN REVIEW SUBMISSION	7/10/2024
	DESIGN REVIEW RESUBMISSION	11/5/2024
2	DESIGN REVIEW SUBMISSION	3/14/2025
3	DESIGN REVIEW RESUBMISSION	6/25/2025

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PROJECT:

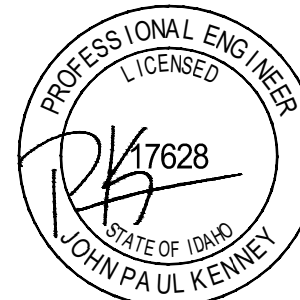
**WARM SPRINGS TOWNHOMES**

108 RITCHIE DRIVE  
KETCHUM, ID 83340

DRAWING TITLE:

**SNOW MELT SYSTEM LOOP**

SEAL:



PROJECT NUMBER

2000.01

DRAWING NUMBER:

**M3.0**

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PROJECT:

**Warm Springs Snowmelt  
REV10 Quote#092925DPMEQ**

CUSTOMER:

PROJECT NO.:

**092925DPMEQ**

SCALE:

**3/16"=1'**

DRAWING NAME:

**Snow Melt**

DRAWN BY:

**Dylan Meyer**

Created Using LoopCAD 2025 25.0.0396 (9/29/2025)

DATE:

**9/29/2025**

## REVISIONS


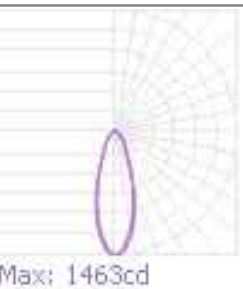




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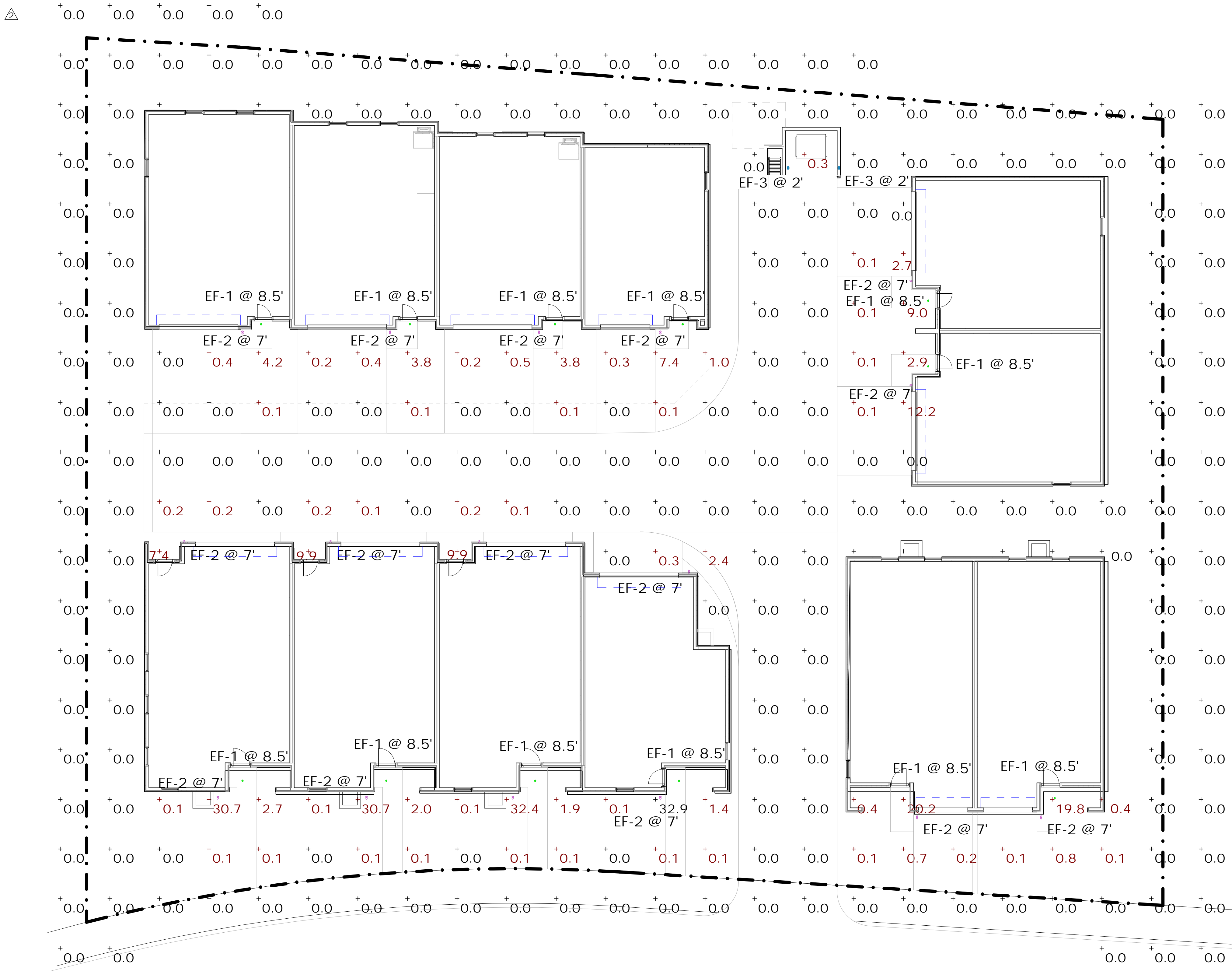
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Schedule										
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Filename	Light Loss Factor	Total Lamp Lumens	Wattage	Plot
	EF-1	12	WAC LIGHTING	R3CRDL-BK(N927)	Recessed-mounted Luminaires	R3CRDT-WT(N927).IES	1	842	13.5	 Max: 1463cd
	EF-2	16	WAC LIGHTING	DS-WS0622-F927A-WT	Surface-mounted Luminaires	DS-WS0622-F927A-WT.IES	1	2034	21.8545	 Max: 2567cd
	EF-3	2	WAC Lighting	WL-LED100-27-BK	LED Step light	WL-LED100-C-BK.IES	1	31	4	 Max: 43cd

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1		0.9 fc	32.9 fc	0.0 fc	N/A	N/A



WARM SPRINGS  
TOWNHOMES  
108 RITCHIE DRIVE  
KETCHUM, ID 83340

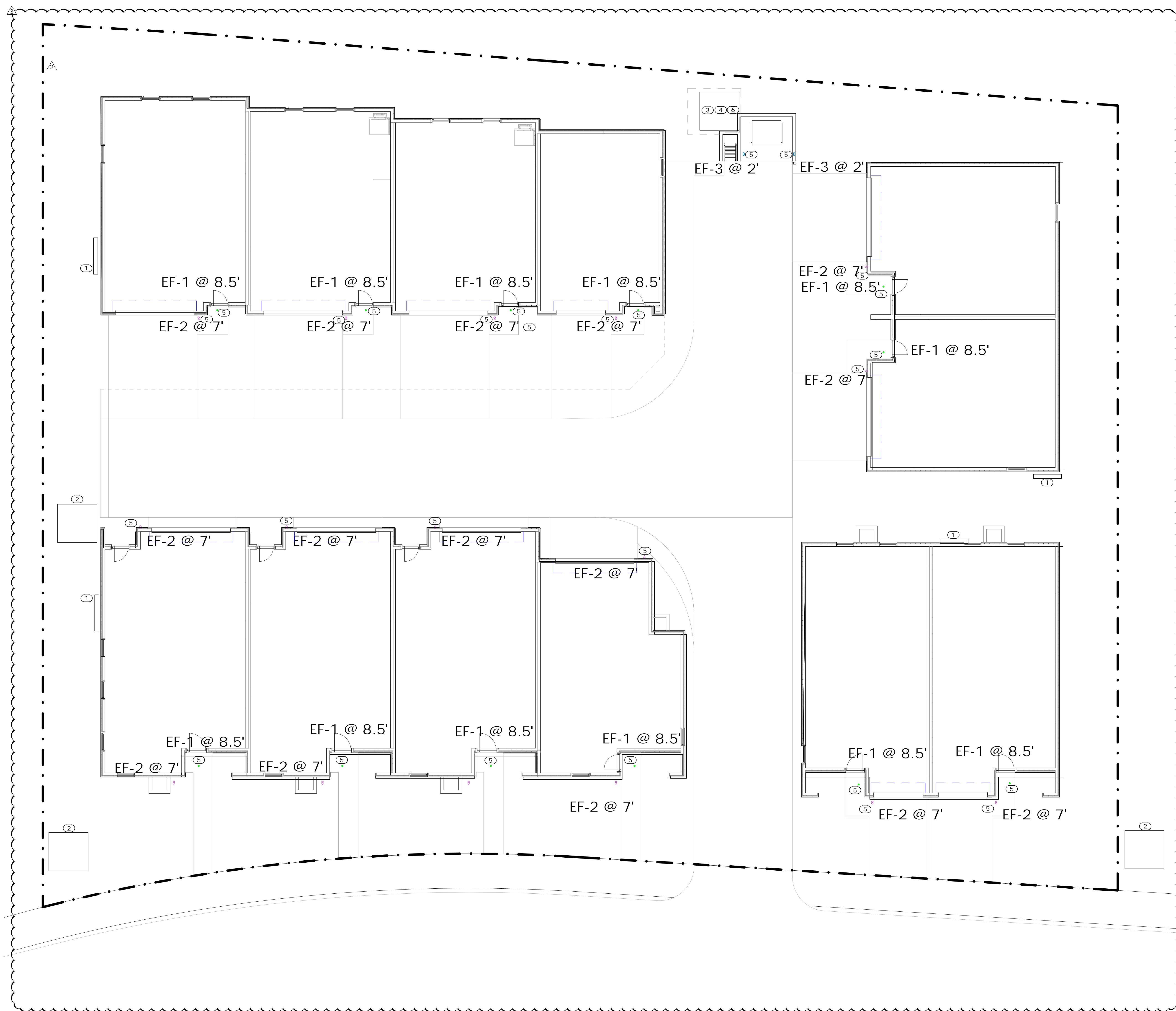
REVISION		
No.	Description	Date
1	Design Review	11/5/2024
2	Resubmission	3/14/2025
3	Design Review	6/25/2025

PROJECT NUMBER 324050  
ISSUE DATE 7/10/2024  
ISSUE

DESIGN REVIEW  
APPLICATION

SHEET TITLE  
SITE PHOTOMETRIC  
SHEET NO.

E0.10



- GENERAL NOTES
- ALL SITE AND EXTERIOR BUILDING LIGHTING FIXTURES SHALL CONFORM TO DARK SKY REQUIREMENTS AS NECESSARY TO MEET LOCAL JURISDICTIONAL CODES.
- KEYNOTES
- 1

PROPOSED LOCATION FOR MAIN SERVICE DISCONNECT AND UNIT METERING STACK. REFERENCE ARCHITECTURAL PLANS FOR EXACT LOCATION.
- 2

PROPOSED UTILITY TRANSFORMER LOCATION. COORDINATE UTILITY TRANSFORMER LOCATION WITH UTILITY PROVIDER AND BUILDING SERVICE DISCONNECT LOCATION PRIOR TO ROUGH-IN.
- 3

PROVIDE 208, 1PH, 3W, 20A BRANCH CIRCUIT AND 30A/2P/NEMA 3R DISCONNECT FOR PRIMARY LOOP PUMP POWER. CIRCUIT FROM NEAREST HOUSE PANEL. COORDINATE CONNECTION LOCATION WITH PUMP VENDOR PRIOR TO ROUGH-IN.
- 4

PROVIDE 208, 1PH, 3W, 20A BRANCH CIRCUIT AND 30A/2P/NEMA 3R DISCONNECT FOR SECONDARY LOOP PUMP POWER. CIRCUIT FROM NEAREST HOUSE PANEL. COORDINATE CONNECTION LOCATION WITH PUMP VENDOR PRIOR TO ROUGH-IN.
- 5

PROVIDE 120V, 20A BRANCH CIRCUIT VIA PHOTOCELL FOR LUMINAIRE CONTROL TO EXTERIOR LUMINAIRE. CIRCUIT FROM TENANT PANEL.
- 6

PROVIDE 120V, 20A BRANCH CIRCUIT FOR BOILER POWER. CIRCUIT FROM NEAREST HOUSE PANEL.

TOWN STAMP

PROFICIENT

ENGINEERING

4704 N. Harlem St Suite 620  
Denver, Colorado 80212  
720.779.3556  
PROJECT # 324050

PROFESSIONAL ENGINEER

LICENSED

PAUL KENNEY

STATE OF COLORADO

7628

DISCIPLINE STAMP

WARM SPRINGS

TOWNHOMES

108 RITCHIE DRIVE

KETCHUM, ID 83340

REVISION

No.	Description	Date
1	Design Review	11/5/2024
2	Design Review Resubmission	3/14/2025
3	Design Review Resubmission	6/25/2025

PROJECT NUMBER

324050

ISSUE DATE

7/10/2024

ISSUE

DESIGN REVIEW APPLICATION

SHEET TITLE

SITE PLAN

SHEET NO.

E0.11



OCULARC 3.5  
Adjustable Downlight - R3CRDT, R3CRDL

WAC LIGHTING  
Responsible Lighting®



Fixture Type: **EF-1**

Catalog Number: **R3CRDL-BK-N927**

Project:

Location:

- PRODUCT DESCRIPTION**
- Ocularc 3.5 offers performance features in a simple but versatile package for residential and commercial applications alike. One housing can be used for downlight, adjustable, pinhole, wall wash trims.
- FEATURES**
- 3 beam angle options included:
  - Narrow flood beam film pre-installed, interchangeable flood beam film supplied, remove film for spot beam.
  - IC-Rated, Airtight, New Construction
  - Adjustable LED light engine included with housing:
  - Vertical Adjustment 0-30°, Horizontal Adjustment 365°
  - Shallow housing under 4" depth
  - 5 year warranty

**SPECIFICATIONS**

**Construction:** Die-cast aluminum trim and heat sink

**Dimming:** 100% - 1% TRIAC, ELV

100% - 5%, 0-10V

**Input Power:** 13.5W, 120V-277V 50/60Hz

**Light Source:** High output COB LED rated life of 50,000 hours.

**Mounting:** Retention clips firmly hold trim to housing. Cutout 4 1/2"

**Finish:** Powder coated white, enamel-coated haze.

**Ceiling Thickness:** 1/2" - 1"

**Standards:** UL & cUL, Wet location listed, Energy Star® 2.0

Title 24 JAS-2016 Compliant

**Operating Temperature:** -1°F to 104°F (-20°C to 40°C)

Trims (Order Housing Separately)	Model	Beam	Color Temp	Lumens	CBCP	Finish
	<b>R3CRDT</b> Round Trim Downlight & Adjustable	Spot 16°	927 2700K	853	4989	
			930 3000K	920	5364	
			935 3500K	935	5472	
			940 4000K	960	5760	
	<b>R3CRDL</b> Round Trimless Downlight & Adjustable	Flood 51°	927 2700K	840	1463	<b>HZW</b> Haze/White
			930 3000K	905	1574	<b>WT</b> White
			935 3500K	920	1605	<b>BK</b> Black
			940 4000K	965	1683	
	<b>R3CRDL</b> Round Trimless Downlight & Adjustable	Spot 16°	927 2700K	853	4989	
			930 3000K	920	5364	
			935 3500K	935	5472	
			940 4000K	960	5760	
	<b>R3CRDL</b> Round Trimless Downlight & Adjustable	Narrow Flood 36°	927 2700K	840	1463	<b>HZ</b> Haze
			930 3000K	905	1574	<b>WT</b> White
			935 3500K	920	1605	<b>BK</b> Black
			940 4000K	965	1683	
	<b>R3CRDL</b> Round Trimless Downlight & Adjustable	Flood 51°	927 2700K	865	609	
			930 3000K	865	602	
			935 3500K	885	620	
			940 4000K	925	965	

**R3CRD -** -  
Example: **R3CRDT-WT**

wacighting.com  
Phone (800) 526.2588  
Fax (800) 526.2585

Headquarters/Eastern Distribution Center  
44 Harbor Park Drive  
Port Washington, NY 11050

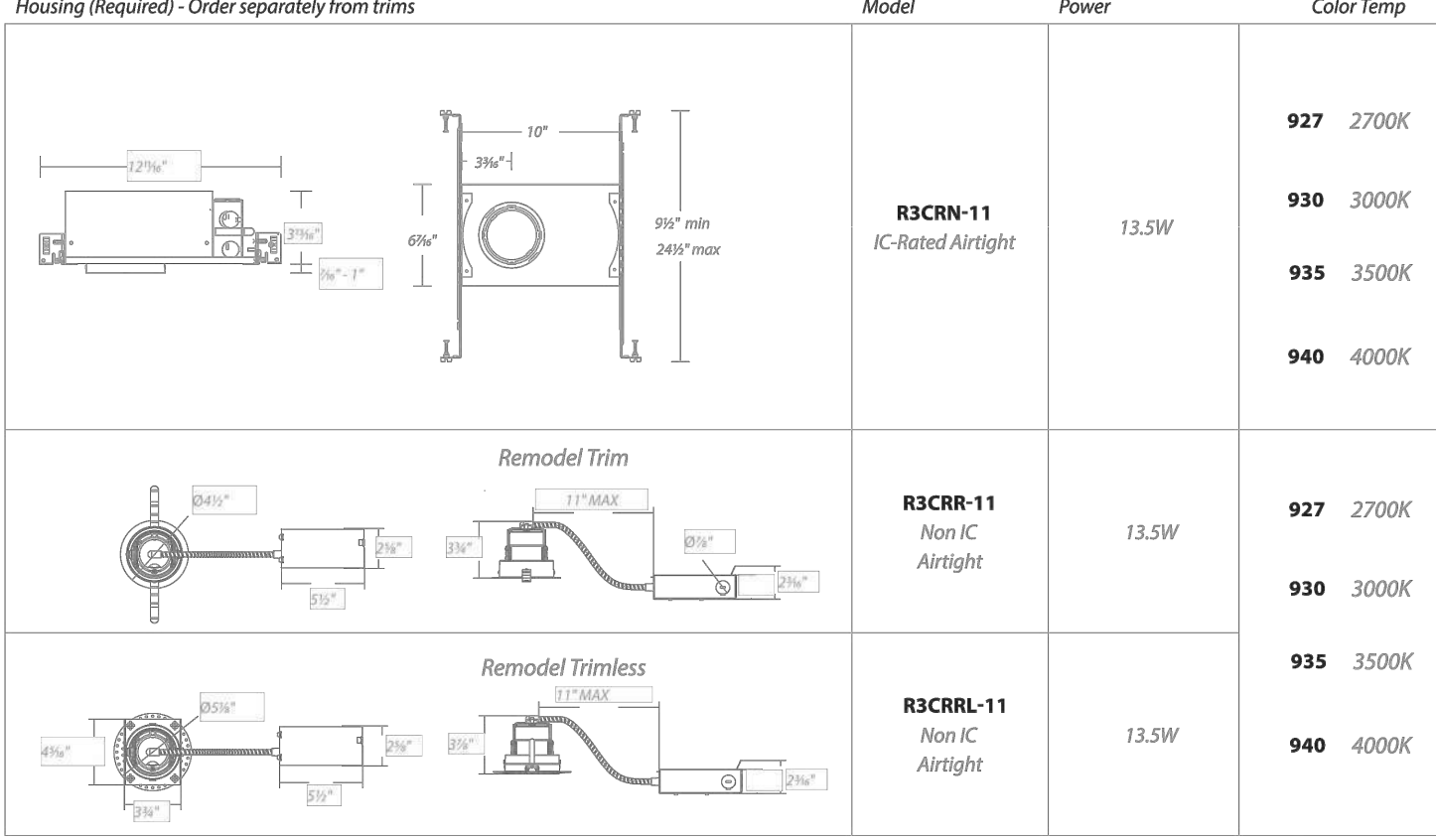
Central Distribution Center  
1600 Distribution Ct  
Lithia Springs, GA 30122

Western Distribution Center  
1750 Archibald Avenue  
Ontario, CA 91760

WAC Lighting retains the right to modify the design of our products at any time as part of the company's continuous improvement program. FEB. 2021 1

OCULARC 3.5  
Adjustable Downlight - R3CRDT, R3CRDL

WAC LIGHTING  
Responsible Lighting®



**R3CR - 11**  
Example: **R3CRN-11-927**

- FEATURES**
- Adjustable LED light engine included with housing:
  - Vertical Adjustment 0-30°, Horizontal Adjustment 365°
  - Trim or trimless with die-cast speckle frame included.
  - Accepts one optional honeycomb louver or optical lens.

**GLARE CONTROL ACCESSORIES** sold separately

**LENS-16 HCL** Honeycomb Louver

**LENS ACCESSORIES** sold separately

**LENS-16**

- AMB** Amber
- RED** Red
- FR** Frosted
- SPR** Spread
- BEL** Beam Elongating

wacighting.com  
Phone (800) 526.2588  
Fax (800) 526.2585

Headquarters/Eastern Distribution Center  
44 Harbor Park Drive  
Port Washington, NY 11050

Central Distribution Center  
1600 Distribution Ct  
Lithia Springs, GA 30122

Western Distribution Center  
1750 Archibald Avenue  
Ontario, CA 91760

WAC Lighting retains the right to modify the design of our products at any time as part of the company's continuous improvement program. FEB. 2021 2

TUBE ARCHITECTURAL DS-WS06  
LED Wall Mounts

WAC LIGHTING



**PRODUCT DESCRIPTION**

The latest energy efficient LED technology in an appealing cylindrical profile delivers accent and wall wash lighting. Comes in various light distribution and beam angle options.

- FEATURES**
- High performance exterior rated LED wall mount light
  - Fixture can install upside down to alter light distribution
  - Solid aluminum construction
  - 5 year warranty
- Light Source:**
- High output 3 Step Mac Adam Ellipse COB
  - Rated life of 60,000 hours at L70
  - Electrostatically powder coated, white, black, bronze and graphite
  - IP65 rated, ETL & cETL wet location listed
  - Energy Star® 2.2 rated Title 24 JAS-2016 Compliant
  - -13°F to 122°F (-25°C to 50°C)
- Finishes:**
- IP65 rated, Protected against high pressure water jets
  - Up to 200 features can be connected in parallel
  - 5 year WAC Lighting product warranty

ORDERING NUMBER		Diameter	Watt	Beam Angle	Color Temp	Reference Output * Efficacy (lm/W)	Light Distribution	Finish			
DS-WS06	6"	35W	Straight up or down	927S	2700K 90	2620	18842	81		BK Black WT White BZ Bronze GH Graphite	
				27S	2700K 85	3385	26688	97			
				930S	3000K 90	2925	15543	88			
				35S	3500K 85	3535	23632	101			
				40S	4000K 85	3635	24255	104			
	6"	22W	Straight up or down	927S	2700K 90	2800	7992	80			
				27S	2700K 85	3360	9589	95			
				930S	3000K 90	2900	6208	63			
				35S	3500K 85	3510	10244	100			
				40S	4000K 85	3600	10388	103			
DS-WS0622	6"	35W	Straight up or down	927S	2700K 90	2825	5451	81		BK Black WT White BZ Bronze GH Graphite	
				27S	2700K 85	3432	5540	97			
				930S	3000K 90	2930	5654	84			
				35S	3500K 85	3543	6809	98			
				40S	4000K 85	3640	7017	104			
	6"	22W	Straight up or down	927S	2700K 90	3675	7085	105			
				27A	2700K 90	2860		82			
				930A	3000K 90	2970	N/A	84			
				35A	3500K 85	3685		103			
				40A	4000K 85	3785		106			
DS-WS0622	6"	35W	Away from the wall	927S	2700K 90	2860		82		BK Black WT White BZ Bronze GH Graphite	
				27B	2700K 85	3415		88			
				930B	3000K 90	2970	N/A	85			
				35B	3500K 85	3590		103			
				40B	4000K 85	3685		106			
	6"	22W	Towards the wall	927S	2700K 90	2860		82			
				27B	2700K 85	3415		88			
				930B	3000K 90	2970	N/A	85			
				35B	3500K 85	3590		103			
				40B	4000K 85	3685		106			



WARM SPRINGS  
TOWNHOMES  
KETCHUM, ID

OWNER:

108-110 RITCHIE LLC  
P.O. BOX 14001-174  
KETCHUM, ID 83340  
TEL: 803.801.0419

BUILDING ARCHITECT:

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TEL: 213.784.0014

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4704 HARLAN STREET SUITE 620  
DENVER, CO 80212  
TEL: 720.779.3596

CIVIL ENGINEER:

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100 BELL DRIVE SUITE C  
KETCHUM, ID 83340  
TEL: 208.725.9512

LANDSCAPE ARCHITECT:

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KETCHUM, ID 83340  
TEL: 208.725.0988

ISSUE	DESCRIPTION	DATE
1	DESIGN REVIEW APP	25.09.09
2	DESIGN REVIEW APP REV	25.10.14

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PROJECT:

WARM SPRINGS TOWNHOMES  
KETCHUM, ID

108 & 110 RITCHIE DR.  
KETCHUM, IDAHO

DRAWING TITLE:

LEVEL 00 OVERALL FLOOR  
PLAN

SEAL:

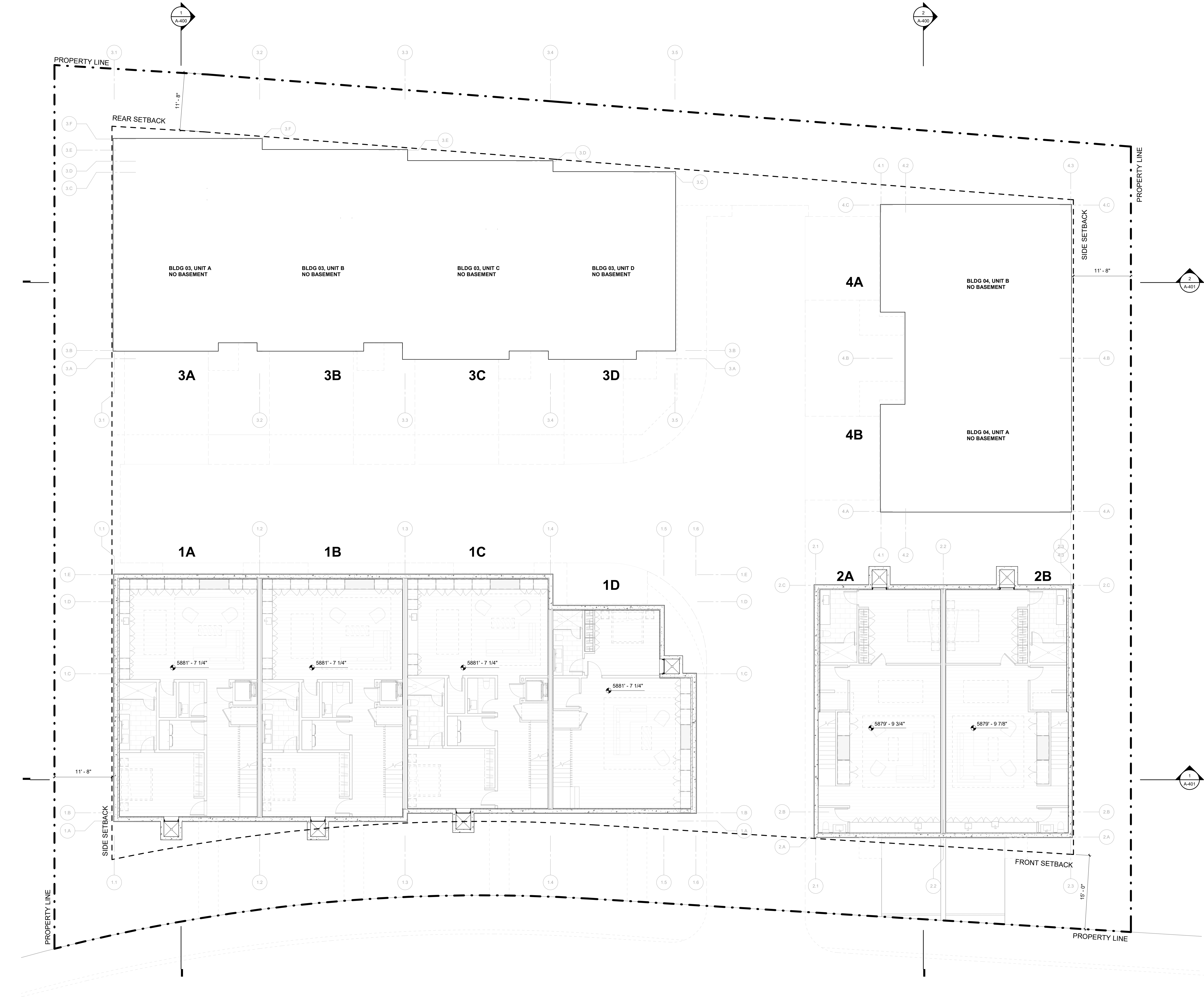
PROJECT NUMBER

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DRAWING NUMBER:

A-100

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WARM SPRINGS  
TOWNHOMES  
KETCHUM, ID

OWNER:

108-110 RITCHIE LLC  
P.O. BOX 14001-174  
KETCHUM, ID 83340  
TEL: 803.801.0419

BUILDING ARCHITECT:

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INGLEWOOD, CA 90301  
TEL: 213.784.0014

STRUCTURAL ENGINEER:

ZFA STRUCTURAL ENGINEERS  
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PROJECT:

WARM SPRINGS TOWNHOMES  
KETCHUM, ID

108 & 110 RITCHIE DR.  
KETCHUM, IDAHO

DRAWING TITLE:

LEVEL 01 OVERALL FLOOR  
PLAN

SEAL:

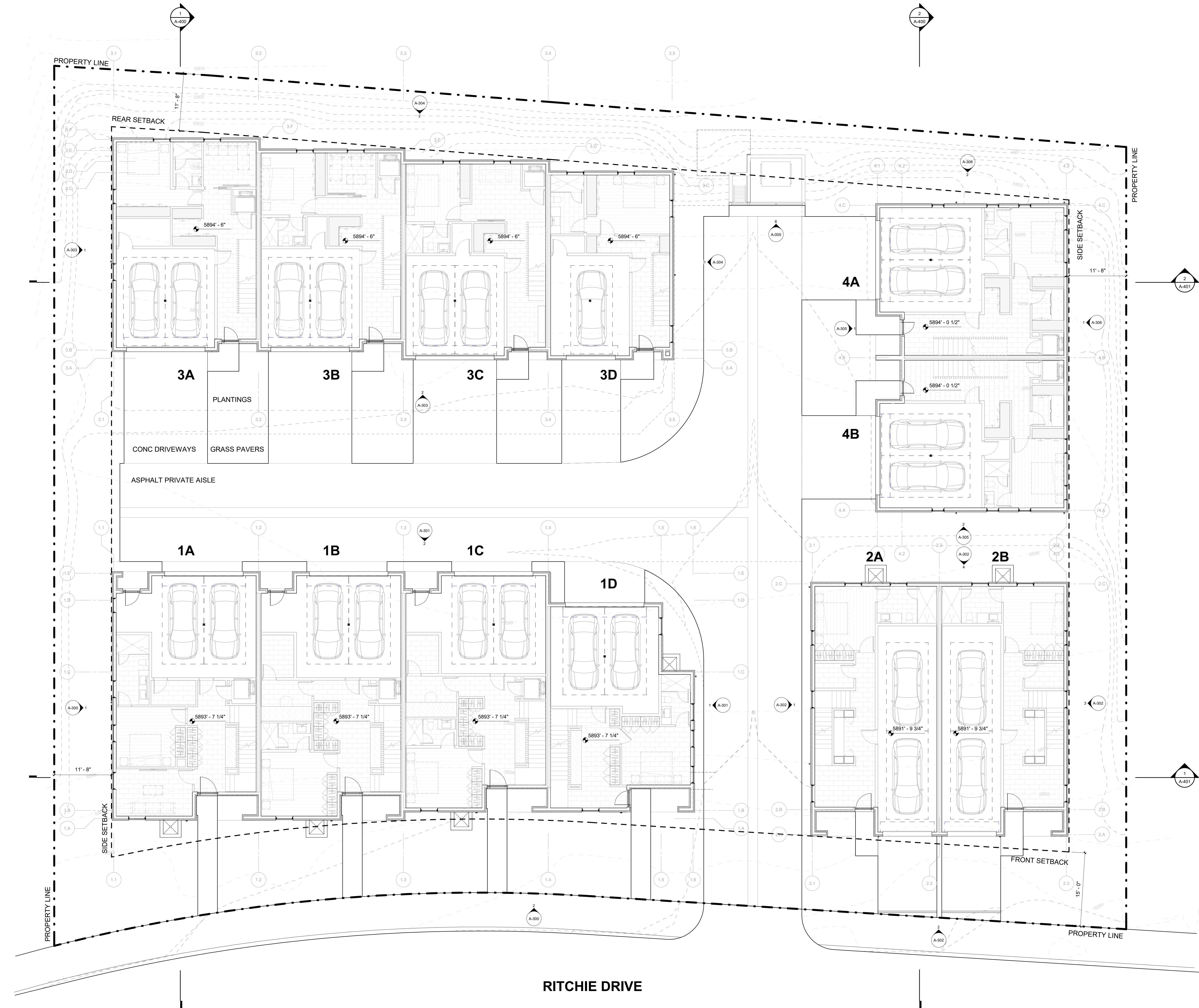
PROJECT NUMBER

2305

DRAWING NUMBER:

A-101

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NOTES:  
1. "NO PARKING" SIGNS SHALL BE POSTED FOR ANY DRIVEWAY THAT DOES NOT MEET THE DIMENSIONAL STANDARDS FOR PARKING (9' W x 18' L)



WARM SPRINGS  
TOWNHOMES  
KETCHUM, ID

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RO | ROCKETT DESIGN  
1031 W. MANCHESTER BLVD. UNIT 6  
INGLEWOOD, CA 90301  
TEL: 213.784.0014

STRUCTURAL ENGINEER:

ZFA STRUCTURAL ENGINEERS  
601 MONTGOMERY STREET SUITE 1450  
SAN FRANCISCO, CA 94111  
TEL: 415.243.4091

MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:

PROFICIENT ENGINEERING  
4704 HARLAN STREET SUITE 620  
DENVER, CO 80212  
TEL: 720.779.3596

CIVIL ENGINEER:

GALENA BENCHMARK ASSOCIATES  
100 BELL DRIVE SUITE C  
KETCHUM, ID 83340  
TEL: 208.725.9512

LANDSCAPE ARCHITECT:

EGGERS ASSOCIATES  
560 NORTH 2ND AVENUE  
KETCHUM, ID 83340  
TEL: 208.725.0988

ISSUE	DESCRIPTION	DATE
1	DESIGN REVIEW APP	25.09.09
2	DESIGN REVIEW APP REV	25.10.14

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PROJECT:

WARM SPRINGS TOWNHOMES  
KETCHUM, ID  
108 & 110 RITCHIE DR.  
KETCHUM, IDAHO

DRAWING TITLE:

LEVEL 02 OVERALL FLOOR  
PLAN

SEAL:

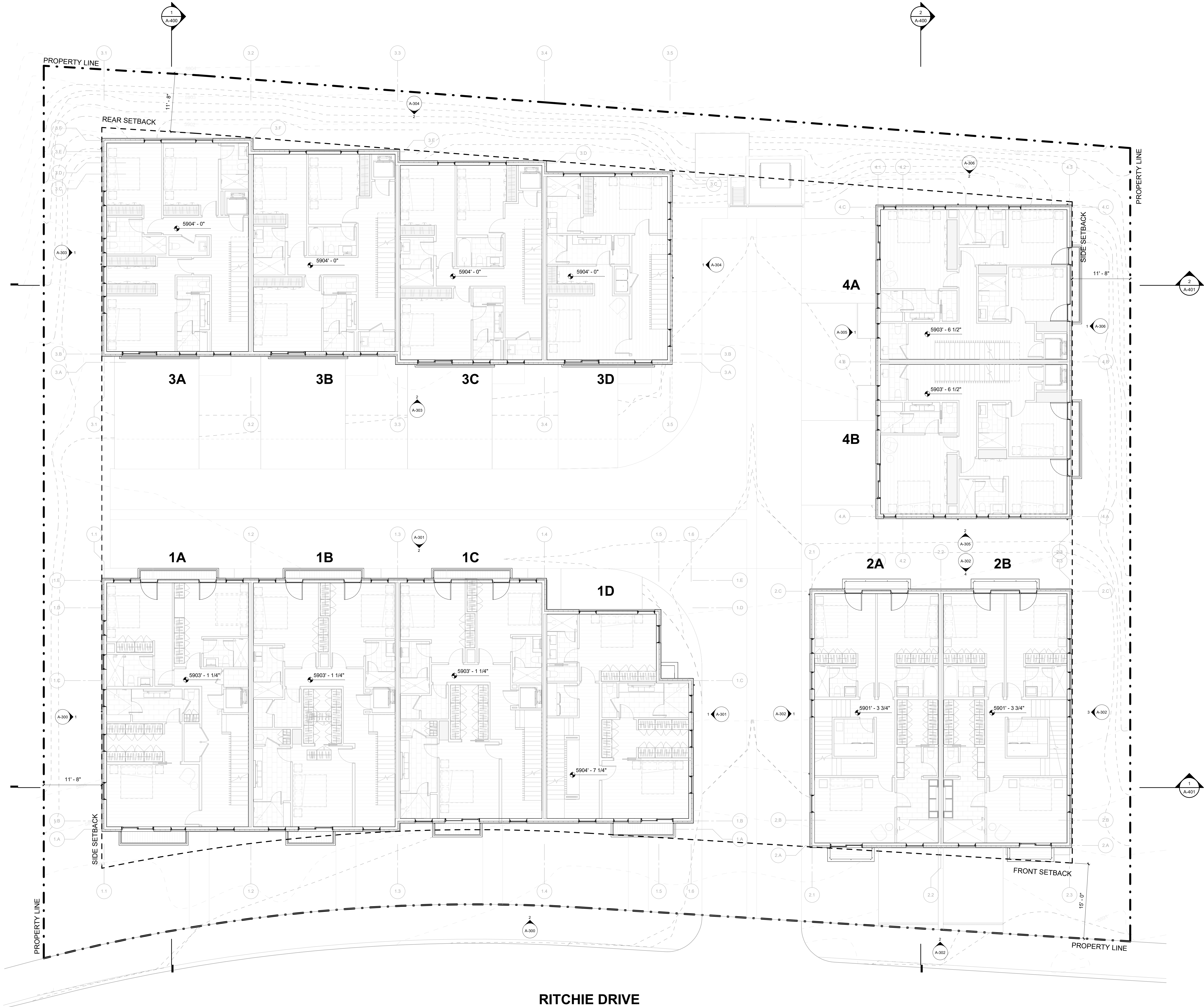
PROJECT NUMBER

2305

DRAWING NUMBER:

A-102

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WARM SPRINGS  
TOWNHOMES  
KETCHUM, ID

OWNER:

108-110 RITCHIE LLC  
P.O. BOX 14001-174  
KETCHUM, ID 83340  
TEL: 803.801.0419

BUILDING ARCHITECT:

RO | ROCKETT DESIGN  
1031 W. MANCHESTER BLVD. UNIT 6  
INGLEWOOD, CA 90301  
TEL: 213.784.0014

STRUCTURAL ENGINEER:

ZFA STRUCTURAL ENGINEERS  
601 MONTGOMERY STREET SUITE 1450  
SAN FRANCISCO, CA 94111  
TEL: 415.243.4091

MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:

PROPIQENT ENGINEERING  
4704 HARLAN STREET SUITE 620  
DENVER, CO 80212  
TEL: 720.779.3596

CIVIL ENGINEER:

GALENA BENCHMARK ASSOCIATES  
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KETCHUM, ID 83340  
TEL: 208.725.9512

LANDSCAPE ARCHITECT:

EGGERS ASSOCIATES  
560 NORTH 2ND AVENUE  
KETCHUM, ID 83340  
TEL: 208.725.0988

ISSUE	DESCRIPTION	DATE
1	DESIGN REVIEW APP	25.09.09
2	DESIGN REVIEW APP REV	25.10.14

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PROJECT:

WARM SPRINGS TOWNHOMES  
KETCHUM, ID

108 & 110 RITCHIE DR.  
KETCHUM, IDAHO

DRAWING TITLE:

LEVEL 03 OVERALL FLOOR  
PLAN

SEAL:

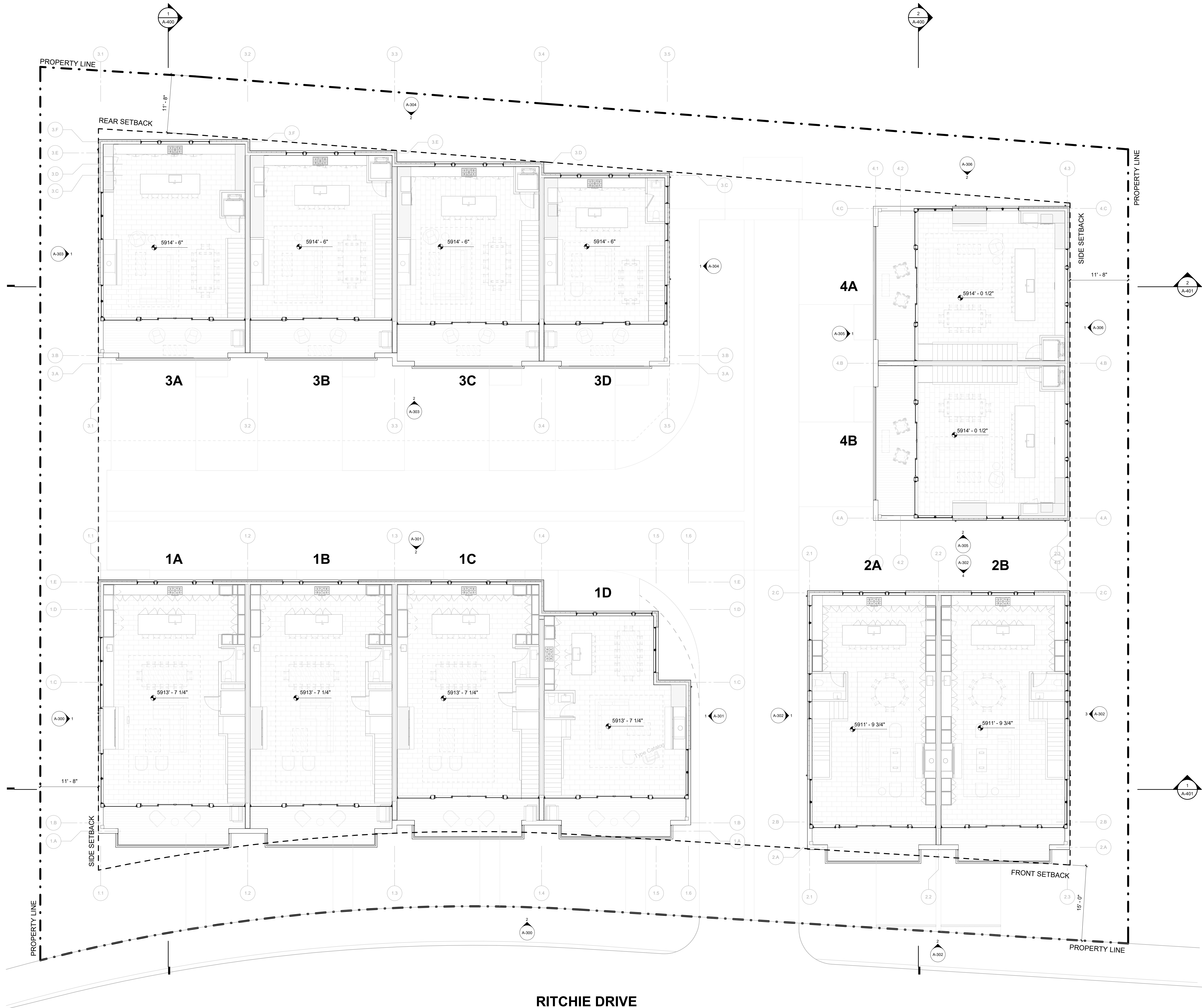
PROJECT NUMBER

2305

DRAWING NUMBER:

A-103

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OWNER:

BUILDING ARCHITECT:

STRUCTURAL ENGINEER:

MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:

CIVIL ENGINEER:

LANDSCAPE ARCHITECT:

SEAL:

2305

DRAWING NUMBER:

**A-104**

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2 1/4" = 1'-0" BUILDING 1 / ELEVATION - EAST



1 1/4" = 1'-0" BUILDING 1 / ELEVATION - SOUTH

WARM SPRINGS TOWNHOMES KETCHUM, ID

OWNER:

108-110 RITCHIE LLC  
P.O. BOX 14001-174  
KETCHUM, ID 83340  
TEL: 803.801.0419

BUILDING ARCHITECT:

RO | ROCKETT DESIGN  
1031 W. MANCHESTER BLVD. UNIT 6  
INGLEWOOD, CA 90301  
TEL: 213.784.0014

STRUCTURAL ENGINEER:

ZFA STRUCTURAL ENGINEERS  
601 MONTGOMERY STREET SUITE 1450  
SAN FRANCISCO, CA 94111  
TEL: 415.243.4091

MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:

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DENVER, CO 80212  
TEL: 720.779.3596

CIVIL ENGINEER:

GALENA BENCHMARK ASSOCIATES  
100 BELL DRIVE SUITE C  
KETCHUM, ID 83340  
TEL: 208.725.9512

LANDSCAPE ARCHITECT:

EGGERS ASSOCIATES  
560 NORTH 2ND AVENUE  
KETCHUM, ID 83340  
TEL: 208.725.0988

ISSUE	DESCRIPTION	DATE
1	DESIGN REVIEW APP	25.09.09
2	DESIGN REVIEW APP REV	25.10.14

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PROJECT:

WARM SPRINGS TOWNHOMES KETCHUM, ID  
108 & 110 RITCHIE DR.  
KETCHUM, IDAHO

DRAWING TITLE:

BUILDING ELEVATIONS - BUILDING 1

SEAL:

PROJECT NUMBER

2305

DRAWING NUMBER:

A-300

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2 1/4" = 1'-0" BUILDING 1 / ELEVATION - WEST



1 1/4" = 1'-0" BUILDING 1 / ELEVATION - NORTH

WARM SPRINGS  
TOWNHOMES  
KETCHUM, ID

OWNER:

108-110 RITCHIE LLC  
P.O. BOX 14001-174  
KETCHUM, ID 83340  
TEL: 803.801.0419

BUILDING ARCHITECT:

RO | ROCKETT DESIGN  
1031 W. MANCHESTER BLVD. UNIT 6  
INGLEWOOD, CA 90301  
TEL: 213.784.0014

STRUCTURAL ENGINEER:

ZFA STRUCTURAL ENGINEERS  
601 MONTGOMERY STREET SUITE 1450  
SAN FRANCISCO, CA 94111  
TEL: 415.243.4091

MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:

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4704 HARLAN STREET SUITE 620  
DENVER, CO 80212  
TEL: 720.779.3596

CIVIL ENGINEER:

GALENA BENCHMARK ASSOCIATES  
100 BELL DRIVE SUITE C  
KETCHUM, ID 83340  
TEL: 208.725.9512

LANDSCAPE ARCHITECT:

EGGERS ASSOCIATES  
560 NORTH 2ND AVENUE  
KETCHUM, ID 83340  
TEL: 208.725.0988

ISSUE	DESCRIPTION	DATE
1	DESIGN REVIEW APP	25.09.09
2	DESIGN REVIEW APP REV	25.10.14

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PROJECT:

WARM SPRINGS TOWNHOMES  
KETCHUM, ID  
108 & 110 RITCHIE DR.  
KETCHUM, IDAHO

DRAWING TITLE:

BUILDING ELEVATIONS -  
BUILDING 1

SEAL:

PROJECT NUMBER

2305

DRAWING NUMBER:

A-301



WARM SPRINGS TOWNHOMES  
KETCHUM, ID

OWNER:  
  
108-110 RITCHIE LLC  
P.O. BOX 14001-174  
KETCHUM, ID 83340  
TEL: 803.801.0419

BUILDING ARCHITECT:  
  
RO | ROCKETT DESIGN  
1031 W. MANCHESTER BLVD. UNIT 6  
INGLEWOOD, CA 90301  
TEL: 213.784.0014

STRUCTURAL ENGINEER:  
  
ZFA STRUCTURAL ENGINEERS  
601 MONTGOMERY STREET SUITE 1450  
SAN FRANCISCO, CA 94111  
TEL: 415.243.4091

MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:  
  
PROFICIENT ENGINEERING  
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DENVER, CO 80212  
TEL: 720.779.3596

CIVIL ENGINEER:  
  
GALENA BENCHMARK ASSOCIATES  
100 BELL DRIVE SUITE C  
KETCHUM, ID 83340  
TEL: 208.725.9512

LANDSCAPE ARCHITECT:  
  
EGGERS ASSOCIATES  
560 NORTH 2ND AVENUE  
KETCHUM, ID 83340  
TEL: 208.725.0988

ISSUE	DESCRIPTION	DATE
1	DESIGN REVIEW APP	25.09.09
2	DESIGN REVIEW APP REV	25.10.14

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PROJECT:  
**WARM SPRINGS TOWNHOMES  
KETCHUM, ID**  
108 & 110 RITCHIE DR.  
KETCHUM, IDAHO

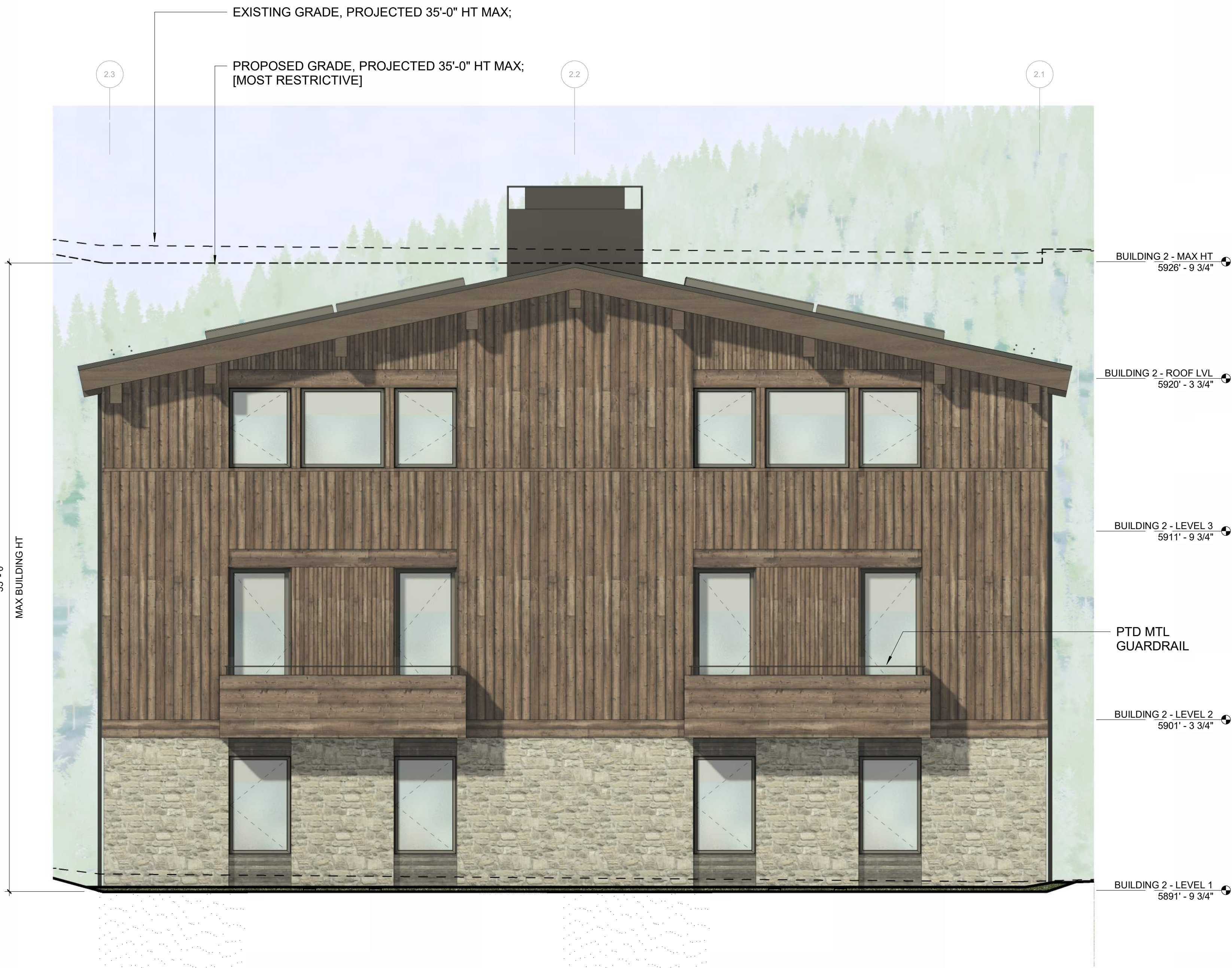
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**BUILDING ELEVATIONS -  
BUILDING 2**

SEAL:

PROJECT NUMBER  
**2305**

DRAWING NUMBER:  
**A-302**

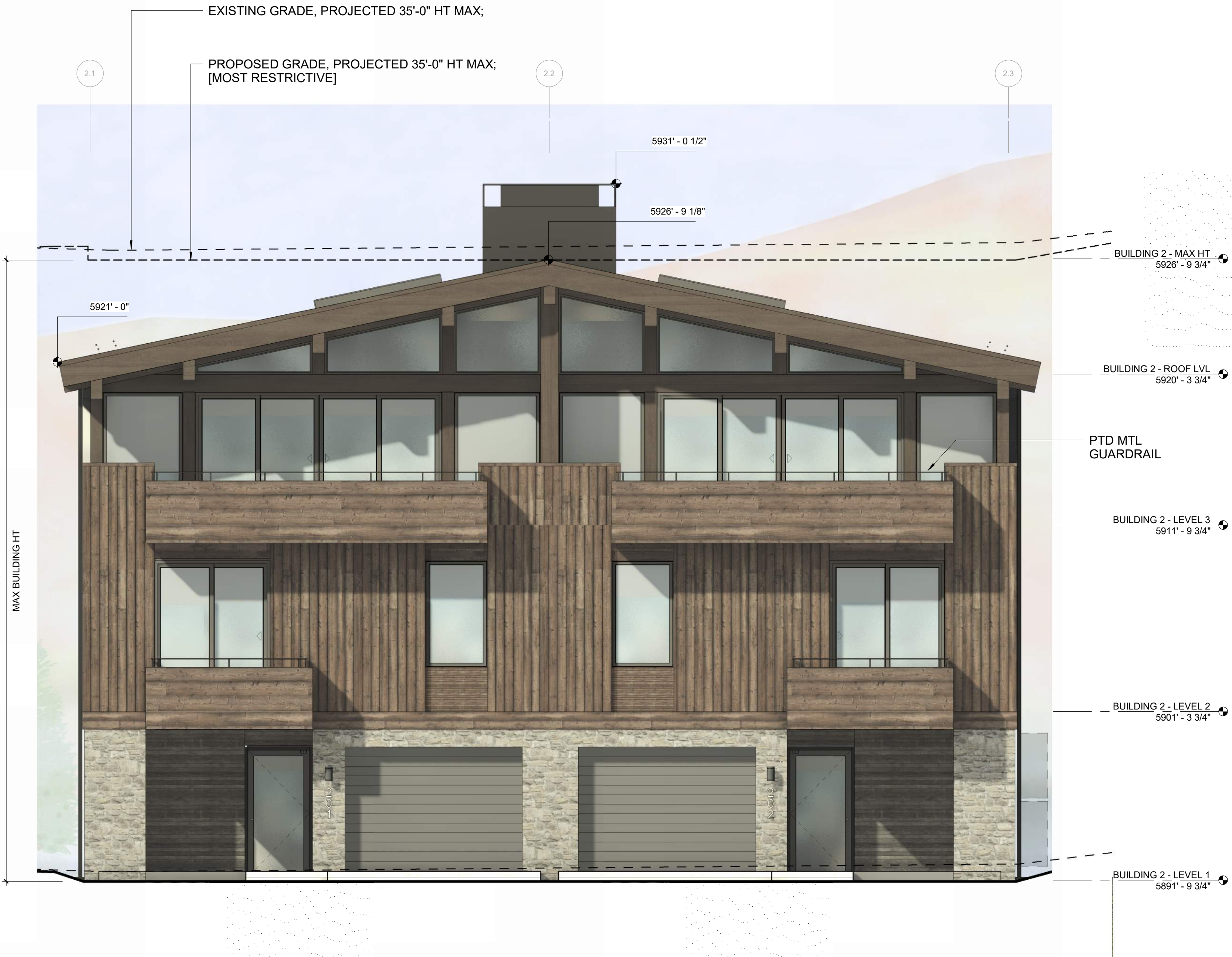
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4 1/4" = 1'-0" BUILDING 2 / ELEVATION - WEST



3 1/4" = 1'-0" BUILDING 2 / ELEVATION - NORTH



2 1/4" = 1'-0" BUILDING 2 / ELEVATION - EAST



1 1/4" = 1'-0" BUILDING 2 / ELEVATION - SOUTH



**OWNER:**

**108-110 RITCHIE LLC**  
P O BOX 14001-174  
KETCHUM, ID 83340  
TEL: 603.801.0419

**BUILDING ARCHITECT:**

**RO J ROCKETT DESIGN**  
601 W MANCHESTER BLVD, UNIT 6  
INGLEWOOD, CA 90301  
TEL: 213.784.0014

**STRUCTURAL ENGINEER:**

**ZFA STRUCTURAL ENGINEERS**  
601 MONTGOMERY STREET SUITE 1450  
SAN FRANCISCO, CA 94111  
TEL: 415.243.4081

**MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:**

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DENVER, CO 80212  
TEL: 720.779.3596

**CIVIL ENGINEER:**

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100 BELL DRIVE SUITE C  
KETCHUM, ID 83340  
TEL: 208.726.9512

**LANDSCAPE ARCHITECT:**

**EGGERS ASSOCIATES**  
5600 NORTH 2ND AVENUE  
KETCHUM, ID 83340  
TEL: 208.725.0988

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KETCHUM, ID 83340  
TEL: 603.801.0419

BUILDING ARCHITECT:

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INGLEWOOD, CA 90301  
TEL: 213.784.0014

STRUCTURAL ENGINEER:

**ZFA STRUCTURAL ENGINEERS**  
601 MONTGOMERY STREET SUITE 1450  
SAN FRANCISCO, CA 94111  
TEL: 415.243.4091

MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:

**PROFICIENT ENGINEERING**  
4704 HARLAN STREET SUITE 620  
DENVER, CO 80212  
TEL: 720.779.3556

CIVIL ENGINEER:

**GALENA BENCHMARK ASSOCIATES**  
100 BELL DRIVE SUITE C  
KETCHUM, ID 83340  
TEL: 208.726.9512

LANDSCAPE ARCHITECT:

**EGGERS ASSOCIATES**  
560 NORTH 2ND AVENUE  
KETCHUM, ID 83340  
TEL: 208.725.0988

[illegible]

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PROJECT:

**WARM SPRINGS TOWNHOMES**  
**KETCHUM, ID**  
108 & 110 RITCHIE DR.  
KETCHUM, IDAHO

DRAWING TITLE:  
**BUILDING ELEVATIONS -  
BUILDING 3**

SEAL:

PROJECT NUMBER

2305

DRAWING NUMBER:

**A-304**

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WARM SPRINGS TOWNHOMES  
KETCHUM, ID

OWNER:

108-110 RITCHIE LLC  
P.O. BOX 14001-174  
KETCHUM, ID 83340  
TEL: 803.801.0419

BUILDING ARCHITECT:

RO | ROCKETT DESIGN  
1031 W. MANCHESTER BLVD. UNIT 6  
INGLEWOOD, CA 90301  
TEL: 213.784.0014

STRUCTURAL ENGINEER:

ZFA STRUCTURAL ENGINEERS  
601 MONTGOMERY STREET SUITE 1450  
SAN FRANCISCO, CA 94111  
TEL: 415.243.4091

MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:

PROFICIENT ENGINEERING  
4704 HARLAN STREET SUITE 620  
DENVER, CO 80212  
TEL: 720.779.3596

CIVIL ENGINEER:

GALENA BENCHMARK ASSOCIATES  
100 BELL DRIVE SUITE C  
KETCHUM, ID 83340  
TEL: 208.725.9512

LANDSCAPE ARCHITECT:

EGGERS ASSOCIATES  
560 NORTH 2ND AVENUE  
KETCHUM, ID 83340  
TEL: 208.725.0988

ISSUE	DESCRIPTION	DATE
1	DESIGN REVIEW APP	25.09.09
2	DESIGN REVIEW APP REV	25.10.14

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PROJECT:

WARM SPRINGS TOWNHOMES  
KETCHUM, ID  
108 & 110 RITCHIE DR.  
KETCHUM, IDAHO

DRAWING TITLE:

BUILDING ELEVATIONS -  
BUILDING 4

SEAL:

PROJECT NUMBER

2305

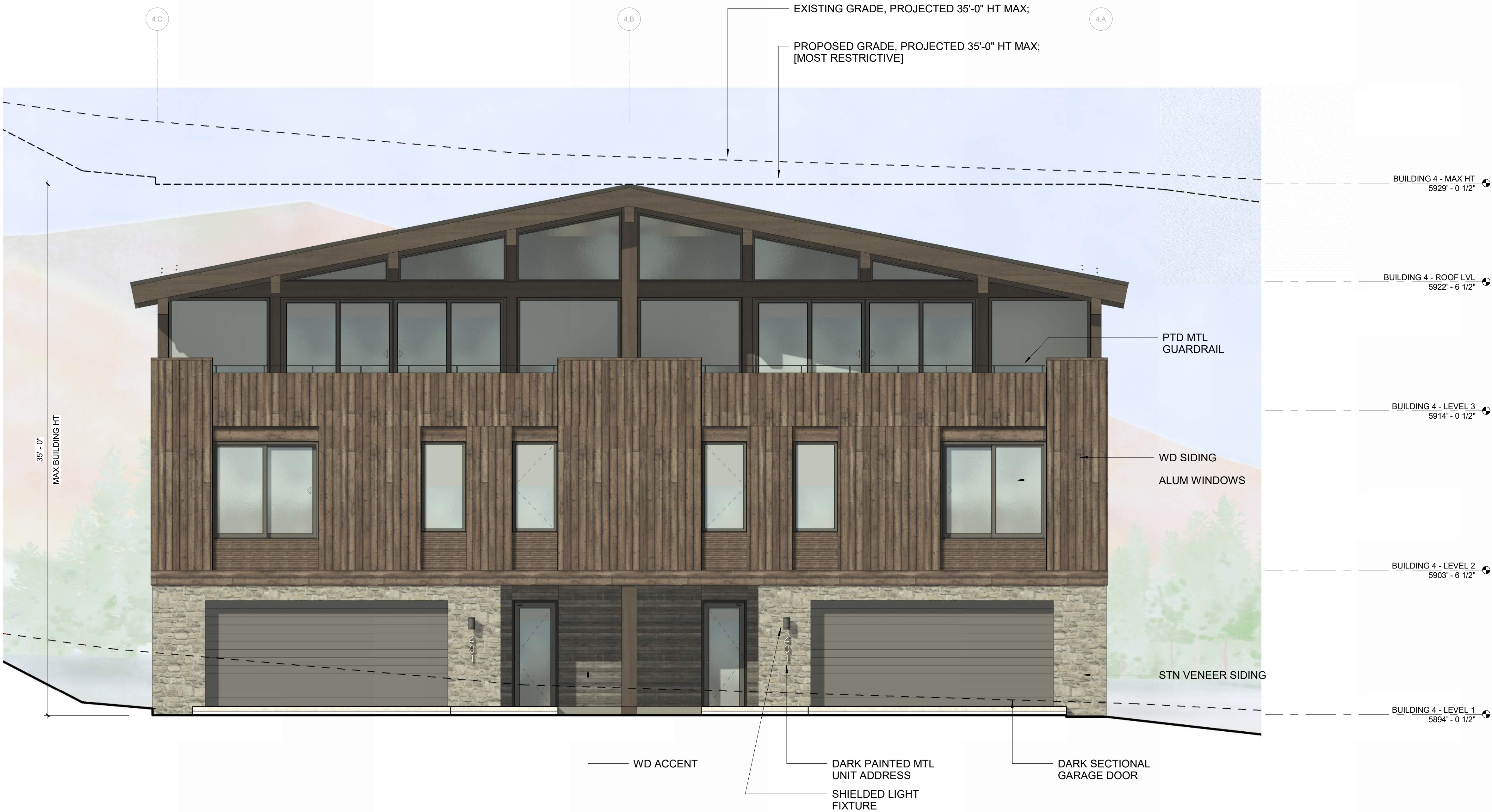
DRAWING NUMBER:

A-305

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2 1/4" = 1'-0" BUILDING 4 / ELEVATION - EAST



1 1/4" = 1'-0" BUILDING 4 / ELEVATION - SOUTH



WARM SPRINGS TOWNHOMES  
KETCHUM, ID

OWNER:

108-110 RITCHIE LLC  
P.O. BOX 14001-174  
KETCHUM, ID 83340  
TEL: 803.801.0419

BUILDING ARCHITECT:

RO | ROCKETT DESIGN  
1031 W. MANCHESTER BLVD. UNIT 6  
INGLEWOOD, CA 90301  
TEL: 213.784.0014

STRUCTURAL ENGINEER:

ZFA STRUCTURAL ENGINEERS  
601 MONTGOMERY STREET SUITE 1450  
SAN FRANCISCO, CA 94111  
TEL: 415.243.4091

MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:

PROFICIENT ENGINEERING  
4704 HARLAN STREET SUITE 620  
DENVER, CO 80212  
TEL: 720.779.3596

CIVIL ENGINEER:

GALENA BENCHMARK ASSOCIATES  
100 BELL DRIVE SUITE C  
KETCHUM, ID 83340  
TEL: 208.725.9512

LANDSCAPE ARCHITECT:

EGGERS ASSOCIATES  
560 NORTH 2ND AVENUE  
KETCHUM, ID 83340  
TEL: 208.725.0988

ISSUE	DESCRIPTION	DATE
1	DESIGN REVIEW APP	25.09.09
2	DESIGN REVIEW APP REV	25.10.14

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PROJECT:

WARM SPRINGS TOWNHOMES  
KETCHUM, ID  
108 & 110 RITCHIE DR.  
KETCHUM, IDAHO

DRAWING TITLE:

BUILDING ELEVATIONS -  
BUILDING 4

SEAL:

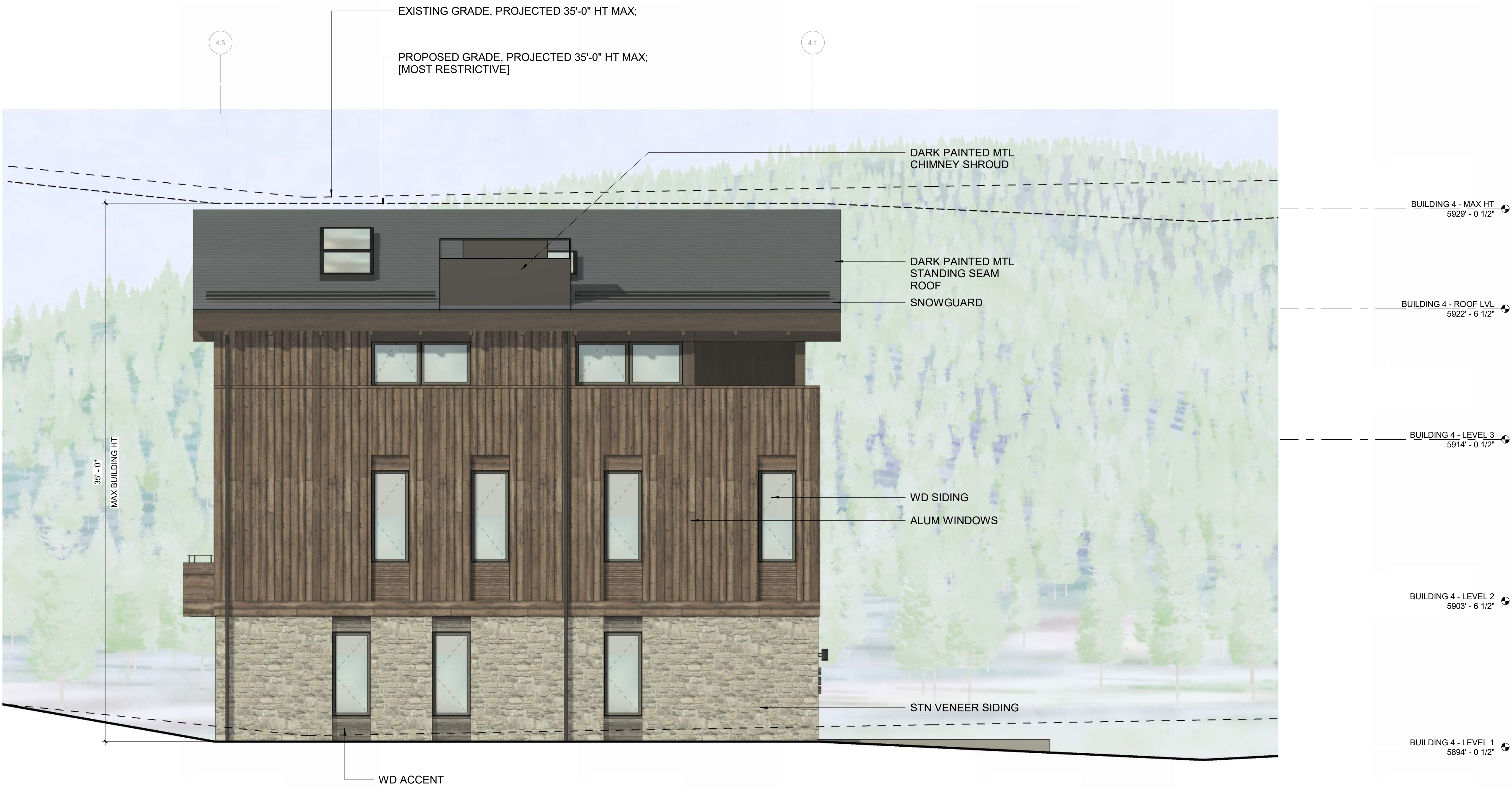
PROJECT NUMBER

2305

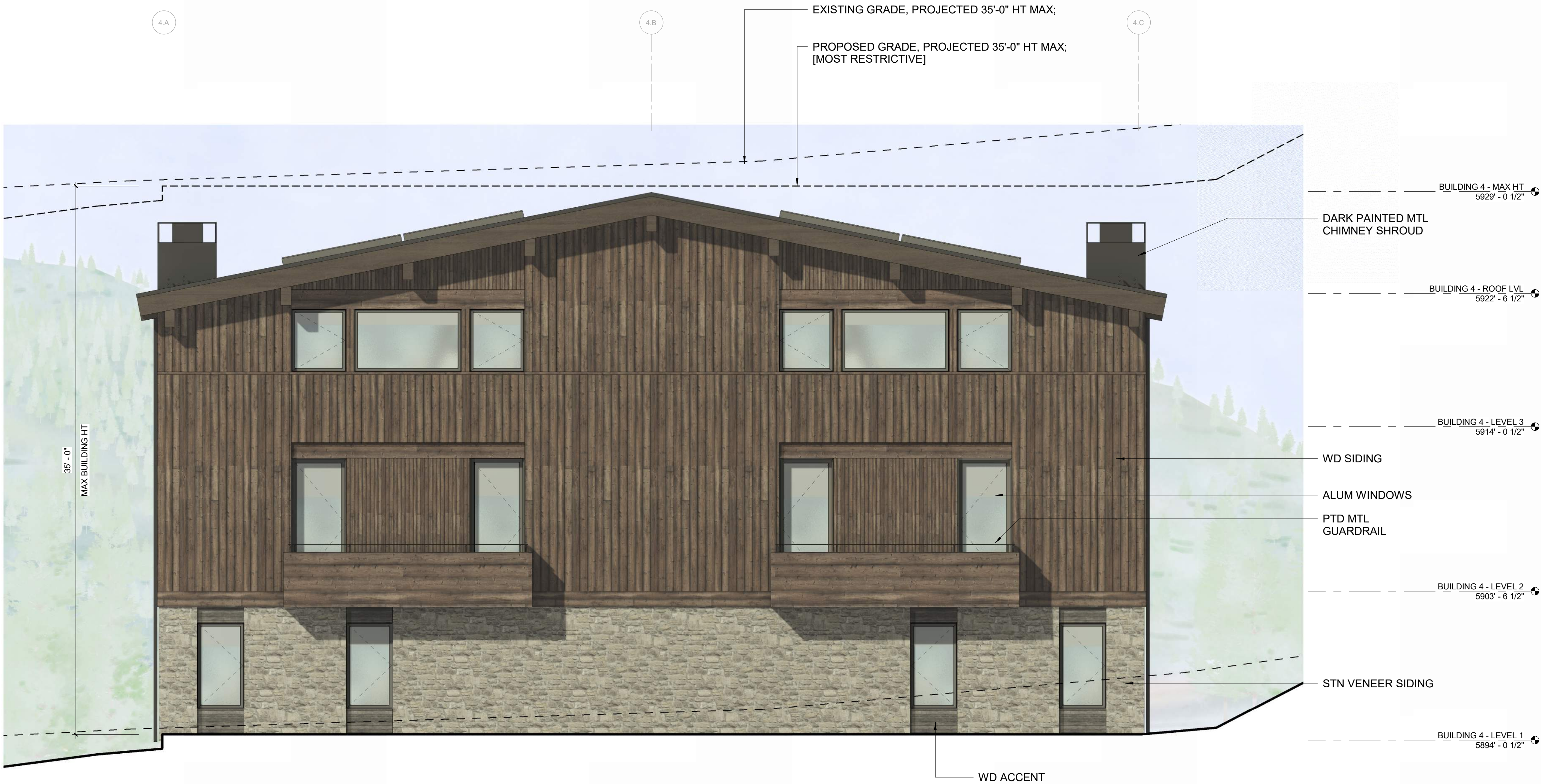
DRAWING NUMBER:

A-306

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2 1/4" = 1'-0" BUILDING 4 / ELEVATION - WEST



1 1/4" = 1'-0" BUILDING 4 / ELEVATION - NORTH



OWNER:

---

**108-110 RITCHIE LLC**  
P.O. BOX 14001-174  
KETCHUM, ID 83340  
TEL: 603.801.0419

**STRUCTURAL ENGINEER:**

---

**ZFA STRUCTURAL ENGINEERS**  
601 MONTGOMERY STREET SUITE 1450  
SAN FRANCISCO, CA 94111  
TEL: 415.243.4091

**PROFICIENT ENGINEERING**  
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DENVER, CO 80212  
TEL: 720.779.3556

100 BELL DRIVE SUITE C  
KETCHUM, ID 83340  
TEL: 208.726.9512

300 NORTH 2ND AVENUE  
KETCHUM, ID 83340  
TEL: 208.725.0988



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PROJECT:  
**WARM SPRINGS TOWNHOMES**  
**KETCHUM, ID**  
108 & 110 RITCHIE DR.  
KETCHUM, IDAHO

SEAL: \_\_\_\_\_

DRAWING NUMBER:  
**A-400**



**OWNER:**

**108-110 RITCHIE LLC**  
P.O. BOX 14001-174  
KETCHUM, ID 83340  
TEL: 603.801.0419

**BUILDING ARCHITECT:**

**RO J ROCKETT DESIGN**  
101 W. HANCOCK STREET BLVD. UNIT 6  
INGLEWOOD, CA 90301  
TEL: 213.784.0014

**STRUCTURAL ENGINEER:**

**ZFA STRUCTURAL ENGINEERS**  
601 MONTGOMERY STREET SUITE 1450  
SAN FRANCISCO, CA 94111  
TEL: 415.243.4081

**MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:**

**PROFICIENT ENGINEERING**  
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DENVER, CO 80212  
TEL: 720.779.3596

**CIVIL ENGINEER:**

**GALENA BENCHMARK ASSOCIATES**  
100 BELL DRIVE SUITE C  
KETCHUM, ID 83340  
TEL: 208.726.9512

**LANDSCAPE ARCHITECT:**

**EGGERS ASSOCIATES**  
56 NORTH 2ND AVENUE  
KETCHUM, ID 83340  
TEL: 208.725.0988



2	3/16" = 1'-0"	BUILDING SECTION - NS B
---	---------------	-------------------------



1	3/16" = 1'-0"	<b>BUILDING SECTION - NS A</b>
---	---------------	--------------------------------

[illegible]

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PROJECT:  
**WARM SPRINGS TOWNHOMES**  
**KETCHUM, ID**  
108 & 110 RITCHIE DR.  
KETCHUM, IDAHO

DRAWING TITLE:  
**BUILDING SECTIONS**

SEAL: \_\_\_\_\_

PROJECT NUMBER	2305
----------------	------

DRAWING NUMBER:  
**A-401**

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**WARM SPRINGS  
TOWNHOMES  
KETCHUM, ID**

OWNER:

**108-110 RITCHIE LLC**  
P.O. BOX 14001-174  
KETCHUM, ID 83340  
TEL: 603.801.0419

BUILDING ARCHITECT:

**RO | ROCKETT DESIGN**  
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INGLEWOOD, CA 90301  
TEL: 213.784.0014

STRUCTURAL ENGINEER:

**ZFA STRUCTURAL ENGINEERS**  
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SAN FRANCISCO, CA 94111  
TEL: 415.243.4091

MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:

**PROFICIENT ENGINEERING**  
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DENVER, CO 80212  
TEL: 720.779.3556

CIVIL ENGINEER:

**GALENA BENCHMARK ASSOCIATES**  
100 BELL DRIVE SUITE C  
KETCHUM, ID 83340  
TEL: 208.726.9512

LANDSCAPE ARCHITECT:

**EGGERS ASSOCIATES**  
560 NORTH 2ND AVENUE  
KETCHUM, ID 83340  
TEL: 208.725.0988

[illegible]

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PROJECT:

**WARM SPRINGS TOWNHOMES**  
**KETCHUM, ID**  
108 & 110 RITCHIE DR.  
KETCHUM, IDAHO

DRAWING TITLE:  
**MATERIALS**

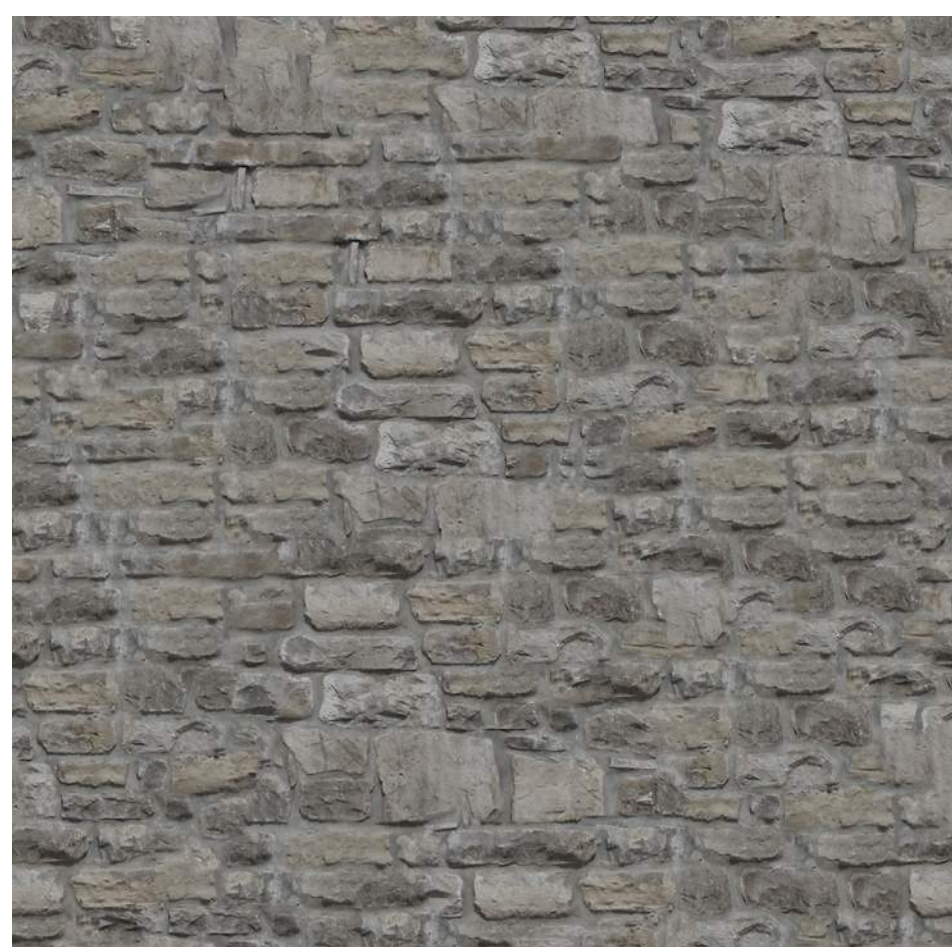
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PROJECT NUMBER  
2305

DRAWING NUMBER:

## A-500

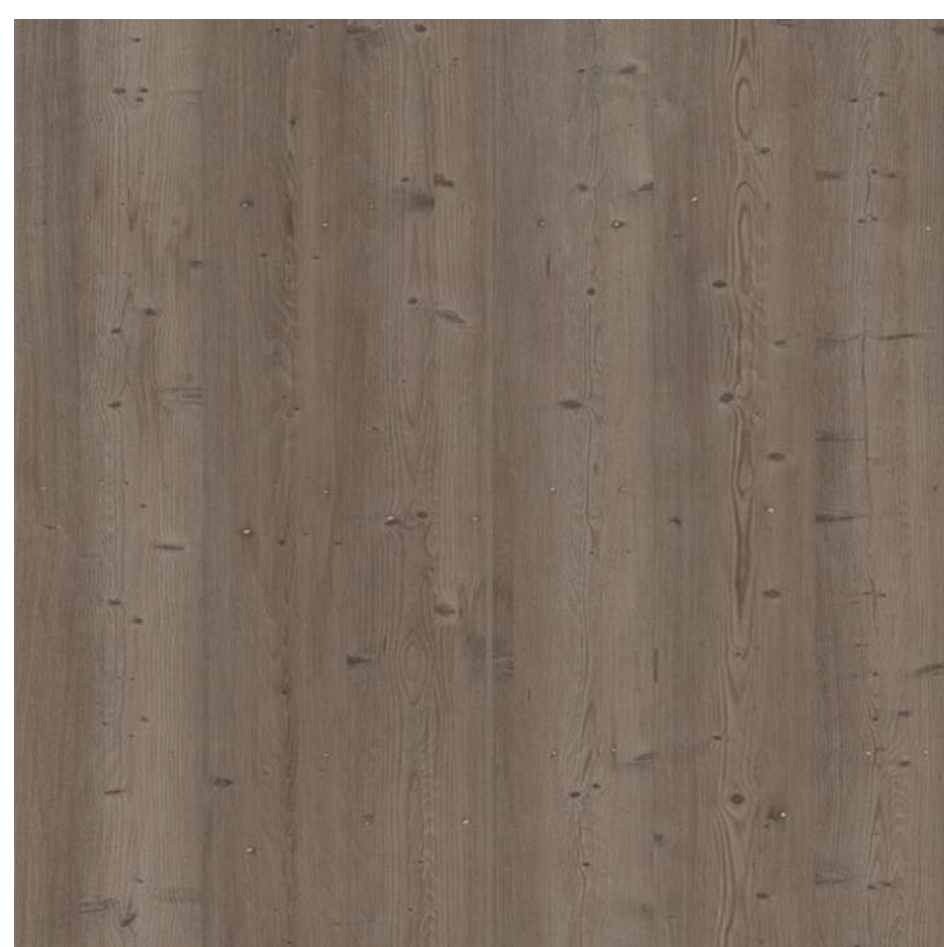
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**MEDIUM GREY, PARGED FIELD STONE**



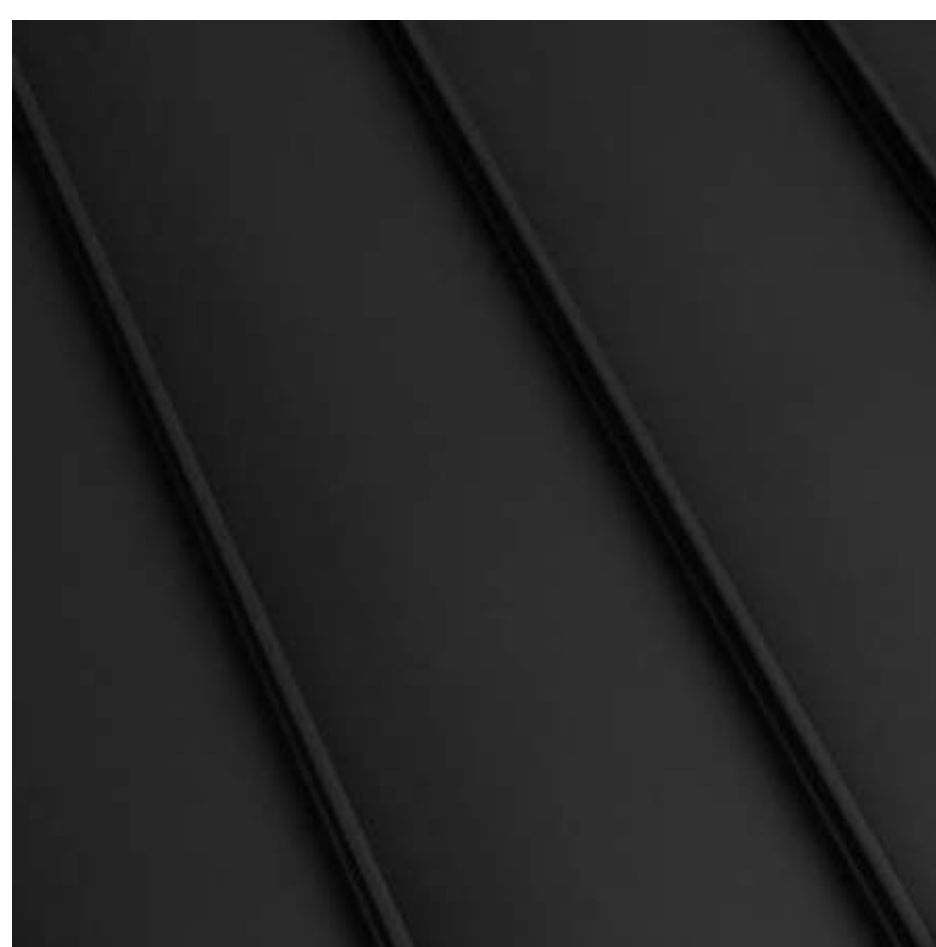
**MEDIUM BROWN, RUSTIC TONGUE AND  
GROOVE WOOD SIDING W/ FACE NAILING**



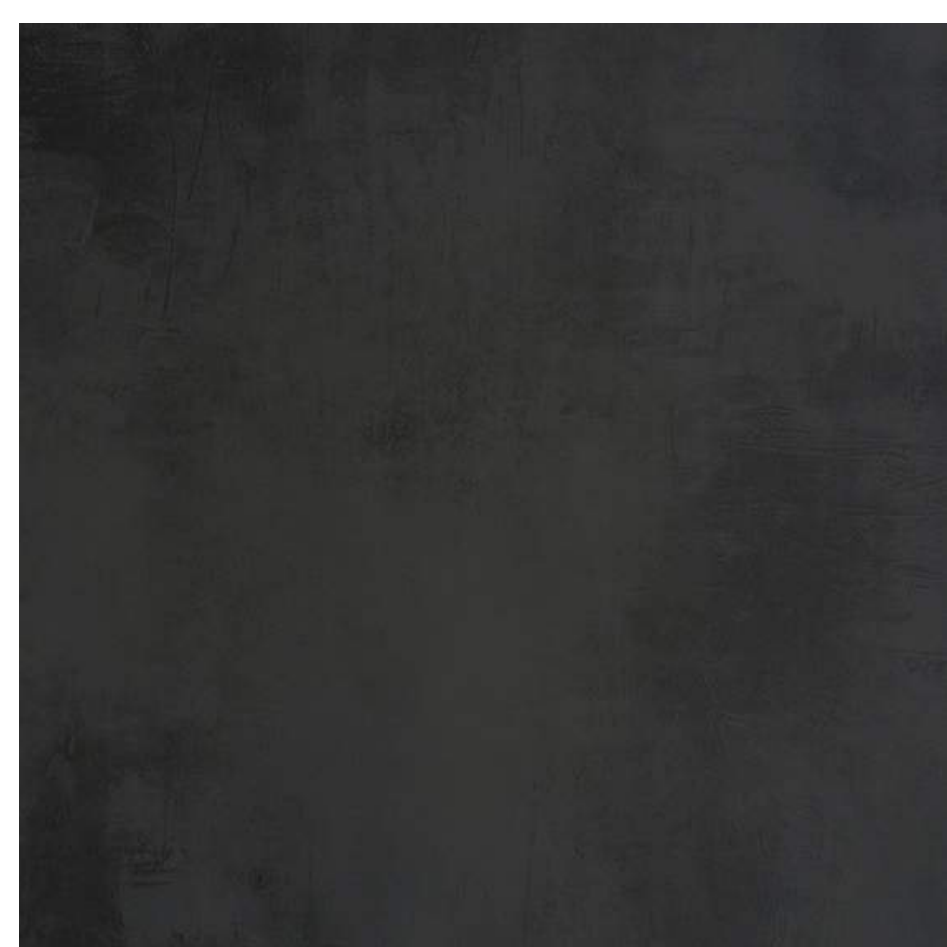
**MEDIUM BROWN, RUSTIC WD BEAMS, FASCIA  
& ACCENTS**



**DARK, RUSTIC WD TONGUE AND GROOVE  
ACCENTS**

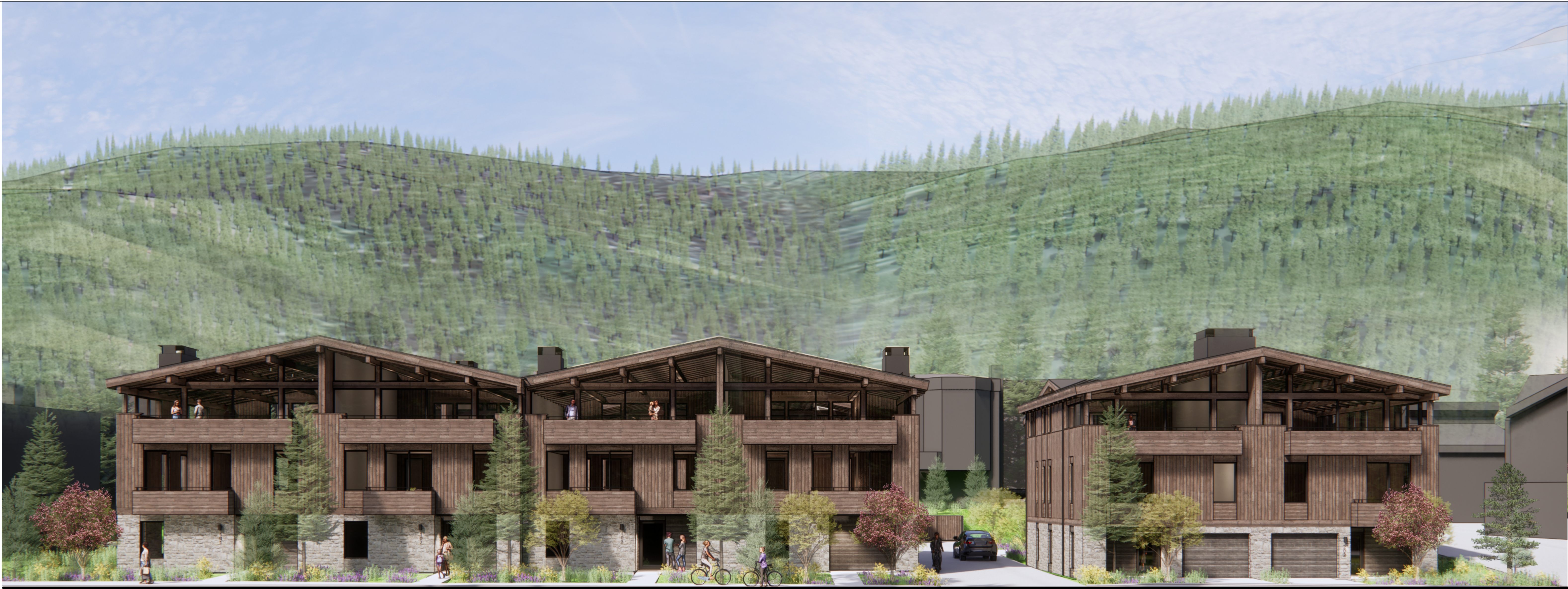


**DARK STANDING SEAM ROOF**

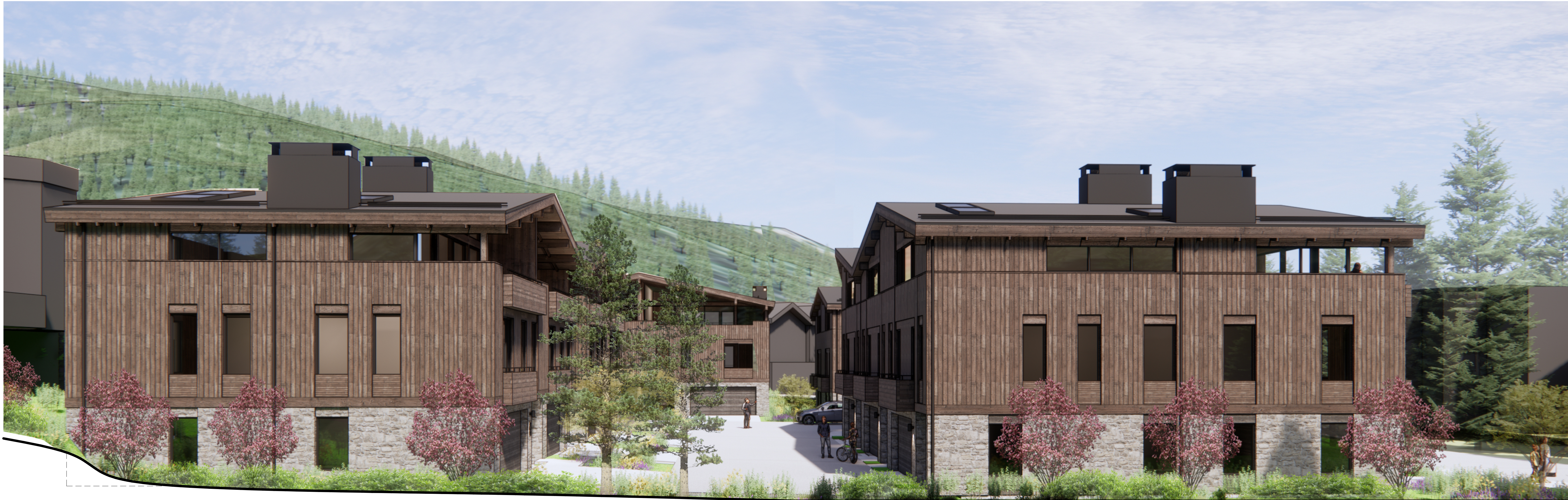


### DARK METAL TRIM & WINDOW FRAMES





2 12" = 1'-0" SITE ELEVATION - EAST



1 12" = 1'-0" SITE ELEVATION - SOUTH

WARM SPRINGS  
TOWNHOMES  
KETCHUM, ID

OWNER:

108-110 RITCHIE LLC  
P.O. BOX 14001-174  
KETCHUM, ID 83340  
TEL: 803.801.0419

BUILDING ARCHITECT:

RO | ROCKETT DESIGN  
1031 W. MANCHESTER BLVD. UNIT 6  
INGLEWOOD, CA 90301  
TEL: 213.784.0014

STRUCTURAL ENGINEER:

ZFA STRUCTURAL ENGINEERS  
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SAN FRANCISCO, CA 94111  
TEL: 415.243.4091

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DENVER, CO 80212  
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CIVIL ENGINEER:

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100 BELL DRIVE SUITE C  
KETCHUM, ID 83340  
TEL: 208.725.9512

LANDSCAPE ARCHITECT:

EGGERS ASSOCIATES  
560 NORTH 2ND AVENUE  
KETCHUM, ID 83340  
TEL: 208.725.0988

ISSUE	DESCRIPTION	DATE
1	DESIGN REVIEW APP	25.09.09
2	DESIGN REVIEW APP REV	25.10.14

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PROJECT:

WARM SPRINGS TOWNHOMES  
KETCHUM, ID  
108 & 110 RITCHIE DR.  
KETCHUM, IDAHO

DRAWING TITLE:

RENDERED ELEVATIONS

SEAL:

PROJECT NUMBER

2305

DRAWING NUMBER:

A-501





2 12" = 1'-0" SITE ELEVATION - WEST



1 12" = 1'-0" SITE ELEVATION - NORTH

WARM SPRINGS TOWNHOMES  
KETCHUM, ID

OWNER:

108-110 RITCHIE LLC  
P.O. BOX 14001-174  
KETCHUM, ID 83340  
TEL: 803.801.0419

BUILDING ARCHITECT:

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WARM SPRINGS TOWNHOMES  
KETCHUM, ID  
108 & 110 RITCHIE DR.  
KETCHUM, IDAHO

DRAWING TITLE:

RENDERED ELEVATIONS

SEAL:

PROJECT NUMBER

2305

DRAWING NUMBER:

A-502





VIEW FROM AERIAL PERSPECTIVE



VIEW FROM RITCHIE DRIVE - NORTH

WARM SPRINGS  
TOWNHOMES  
KETCHUM, ID

OWNER:

108-110 RITCHIE LLC  
P.O. BOX 14001-174  
KETCHUM, ID 83340  
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PROJECT:

WARM SPRINGS TOWNHOMES  
KETCHUM, ID  
108 & 110 RITCHIE DR.  
KETCHUM, IDAHO

DRAWING TITLE:

PERSPECTIVE RENDERINGS

SEAL:

PROJECT NUMBER

2305

DRAWING NUMBER:

A-503





**WARM SPRINGS  
TOWNHOMES  
KETCHUM, ID**

OWNER:

**108-110 RITCHIE LLC**  
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KETCHUM, ID 83340  
TEL: 603.801.0419

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LANDSCAPE ARCHITECT:

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PROJECT:

**WARM SPRINGS TOWNHOMES  
KETCHUM, ID**

108 & 110 RITCHIE DR.  
KETCHUM, IDAHO

DRAWING TITLE:

## PERSPECTIVE RENDERINGS

SEAL:

PROJECT NUMBER
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2305

DRAWING NUMBER:

# A-504

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**WARM SPRINGS  
TOWNHOMES  
KETCHUM, ID**

OWNER:

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KETCHUM, ID 83340  
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PROJECT:

## WARM SPRINGS TOWNHOMES KETCHUM, ID

108 & 110 RITCHIE DR.  
KETCHUM, IDAHO

DRAWING TITLE:

## PERSPECTIVE RENDERINGS

SEAL

PROJECT NUMBER

2305

DRAWING NUMBER

# A-505

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