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August 8, 2024

To: Planning and Zoning Commissioners
City of Ketchum
Delivered via meeting packet for 8/13/2024

From: Matthew Johnson, City Attorney

Re: Administrative Appeal Process (2024) – 121 Badger Lane

Background:

This is an administrative appeal to the P&Z Commission of a Determination by the Planning Director on a Floodplain Development Permit. The appeal was filed by nearby property owners Nicholas and Stephanie Osborne, represented by Gary Slette of Robertson & Slette. Applicant 121 Badger Lane, LLC, has responded to the appeal and is represented by Danielle Strollo of Givens Pursley.

This matter generally concerns the floodplain development permit review process, in particular staff interpretations and application of permit criteria. The details of these issues are presented in the memoranda presented by the parties.

This matter will seem familiar, as this same Property, and similar Permit and determination, were administratively appealed to the Commission in December of 2023. The Commission sent the matter back to the parties and the Planning Department at that time with direction for further review of information related to the permit. This administrative appeal is a result of that further review by the Planning Department resulting in a new Director determination, and a new administrative appeal.

Procedural Status:

This is an administrative appeal of decisions or determinations of the Planning Director, as is provided for in Ketchum Municipal Code §17.144.010.

This matter was scheduled by the City Attorney, along with approving deadlines for submission of memorandum, by agreement of the parties involved and approval of the Commission. All three memoranda – (1) Appeal by Appellant, (2) Response by Applicant/Respondent, (3) Reply by Appellant - have been timely submitted and are provided for

the Commission's review.

From a process perspective, the Commission can focus its review primarily on those memoranda and their arguments. The Council is reviewing these arguments and addressing interpretation questions in a quasi-judicial role. The remainder of any accompanying documents are the Record, which may include application documents, minutes, staff reports, etc., and are available primarily as resources or for purposes of reference within arguments to evaluate the factual background.

This is an administrative appeal hearing. Oral arguments will be presented by the attorneys for the involved parties. The presenting parties and supporting staff will be available for questions. This is not a public hearing and there is no public comment as part of the process. Comments or input to Commissioners outside the appeal hearing are discouraged, and if any is received should be disclosed by that Commissioner as an ex parte communication at the start of the hearing.

During the hearing, the Commission, at its discretion, is welcome to ask questions of staff or the parties as may be helpful to deliberation. It is encouraged to handle most questions for a party during their portion of the hearing.

The order of presentation will be Appellant, Applicant/Respondent, Director if desired, and then an Appellant rebuttal if desired. Any further presentation or answers to questions will be at the discretion of the Commission.

Standard of Review:

Since the Commission does not hear administrative appeals frequently, a common question when they do arise is as to the applicable standard of review. Standard of review is a legal term guiding the discretion (or not) of the review and decision with respect to use of the Record and in particular in whether or not to consider new additional information.

In this situation, it is important for the Commission to understand the standard of review as defined in KMC §17.144.010(C):

Authority of Commission. Upon hearing the appeal, the Commission shall consider the record, the order, requirement, decision or determination of the administrator and the notice of appeal, together with oral presentation and written legal arguments by the appellant and the administrator. The Commission shall not consider any new facts or evidence at this point. The Commission may affirm, reverse or modify, in whole or in part, the order, requirement, decision or determination of the administrator.

While arguments, per the memoranda of the parties, are considered, there should not be new factual information considered or weighed that was not part of the Record below.

Decision Options:

As indicated in the last sentences of KMC §17.144.010(C), upon review and deliberation, the Commission may decide from the following on the underlying Director decision: affirm, reverse, modify in whole or in part, and/or remand the application back to the Director with direction.

Per KMC §17.144.010(D), the Commission must issue a written decision within 30 days of this hearing. Typically, the Commission will indicate a decision, or at least direction, for legal counsel to prepare a draft written decision for final approval and decision at a future meeting within that 30-day time period.

I will be present for the hearing and available to assist in the proceedings, including recommending motions language based on the Commission's direction, as is helpful.



City of Ketchum

ATTACHMENT A:

Appellant's Brief

Robertson & Slette, p.l.l.c.

J. EVAN ROBERTSON
GARY D. SLETTE

Cassie Chapman – Paralegal
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GARY D. SLETTE
gslette@rsidaholaw.com

July 17, 2024

VIA EMAIL: mlanders@ketchumidaho.org
acrutcher@kethumidaho.org

City of Ketchum Planning and Zoning Commission
P.O. Box 2315
191 5th St. West
Ketchum, Idaho 83340

RE: 121 BADGER APPEAL / APPELLANTS' BRIEF

Dear Planning and Zoning Commissioners,

Our law firm represents Nicholas and Stephanie Osborne, the Appellants in this case. I am providing this Appellant Brief with Exhibits “A” and “B” in accordance with the Scheduling Order provided by your City Attorney.

I. THE HISTORIC LOCATION OF THE DRIVEWAY

Planning and Building Findings and Decision inaccurately state that “Historically the subject property has had a road/driveway at the northern boundary with a culvert underneath”. Historically the driveway has turned south before entering the floodplain so that floodwaters accumulate in wetlands on the subject property rather than backing up into neighboring properties.

II. FAILURE TO EVALUATE ALTERNATIVES

The Planning and Building Department did not evaluate alternatives for the proposed development as required by City zoning regulations, including for the driveway which extends into the floodplain and along the northern property line. Numerous findings of facts and provisions of the City of Ketchum Zoning Code, including 17.88.010(A)(1-3), 17.88.020(H) and (J), 17.88.030(C) and (E), 17.88.040(B)(1,2 and 4), 17.88.050(E)(1, 5 & 21) and 17.88.050(I)(2) (f and h) address risks resulting from floodplain development, the importance of maintaining natural conditions of the floodplain. Where development is proposed that impacts any wetland, the first priority shall be to move the development from the wetland area (17.88.050(E)(21) and consideration of “the availability of alternative locations for the proposed use which are not subject to flooding or erosion damage” (17.88.050(1)(f). Despite a significant change made to the proposed driveway, the Planning and Building Department has only sought to remediate the resulting flawed plan, and has not requested or evaluated alternative locations for the driveway. During the planning phase, it was determined

that the proposed driveway in the floodplain needed to be raised to provide the required clearance for emergency vehicles during flood conditions. This change only exacerbated the already flawed plan. Despite this significant change, alternatives including relocating the driveway to its original location as suggested by the Planning & Zoning Commission chairman during the December 12, 2023, hearing, or other alternatives proposed by the Osbornes have not been adequately considered.

III. THE PROPOSED DRIVEWAY ACTS AS A BARRIER TO THE PASSAGE OF FLOODWATERS

The raised driveway creates a barrier or berm across its entire span and fills existing wetlands that currently collect floodwaters in both the eastern and western portions of the floodplain adjacent to the Osborne property. The Planning and Building Findings and Decision accurately state, "As a result of the raised driveway, if no culverts were placed underneath, the adjacent property to the north would be adversely impacted with increased floodwaters". The Planning and Building Department has not fully evaluated the inadequate and poorly planned drainage in the western part of the floodplain. The proposed driveway increases the elevation above the existing grade by up to 3 feet, and elevations in the western portion of the driveway closest to the Osbornes' property by 1.25 to 2 feet above the BFE as stated in the Planning and Building Findings. That will not allow sheet flooding as required by 17.88.050(E)(5). Proposed culverts only address a channel and filled wetland area in the eastern part of the floodplain while the western part of the floodplain, which is closer to the Big Wood River, experiences even greater flows during flooding.

IV. CULVERTS ARE NOT THE ANSWER

The proposed culverts are inadequate to ensure proper drainage. A condition of approval is that the culverts are required to be maintained and kept clear to ensure sufficient carrying capacity. Who will keep them clear? Who will insure sufficient carrying capacity? Who will answer the call at the City when the culverts become plugged? The Planning and Building Findings and Decision do not consider that in flood conditions, it may be impossible for the culverts to be accessed, maintained and kept clear due to the potential volumes of flood water and debris. Because the culvert inlets are almost directly on the shared property line, any back-up of the culverts will only serve to create hazards for the Osborne property. The proposed residence that is the subject of this application is being developed for sale. The Planning and Building Findings and Decision do not address how these conditions will be enforced on future owners. There is no City authority that will respond to a blocked culvert that causes flood flows to back up on the Osborne property. A new owner will very likely be a part-time resident who would not be present during the time of the year when flooding would occur. How does the City propose to ameliorate the flooding when it does occur? Perhaps Spencer Cordovano said it best during the hearing of the Osbornes' last appeal of this application. Due to his having lived in the Wood River Valley for many years, and having observed multiple flooding events during those years, he was familiar with the river and how ineffective culverts were in handling flood flows. He was adamantly opposed to the installation of culverts as a means of abating flooding on the Big Wood River because of a culvert's propensity to plug given the volume of debris load in the river during flood season.

As someone who has personally canoed the length of the Big Wood River from three miles north of Ketchum down to Hailey, the undersigned has firsthand knowledge of the magnitude of just how much debris is carried by the Big Wood River. It is absolutely astounding, and it certainly legitimizes the name accorded to the river itself, i.e., the Big Wood River.

As an example of what a plugged culvert looks like after a flood condition, reference is made to the photograph attached hereto as Exhibit "A". The culvert in the photo appears to be somewhere between six feet and eight feet tall, and yet it is solidly plugged with trees and debris. Because the applicant in this instance proposes to install multiple culverts, the photograph attached as Exhibit "B" is a good example of a situation where multiple culvert problems can occur. Simply stated, the culverts that are proposed to mitigate the flooding impact created by the raised berm immediately adjacent to the Osborne property are not an appropriate solution at this location given the proximity of the river. A plan that places the driveway at its historic location would clearly be a better approach in order to eliminate the risk to the Osborne property.

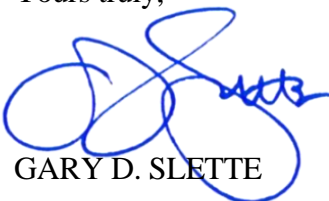
V. THE LOMA AND FEMA

The Planning and Building Findings and Decision do not address commentary from neighbors regarding evidence that the LOMA on the site had been improperly issued as a result of fill which had been placed on the site rather than the natural conditions of the site as the LOMA requires. Pit tests on the site included as part of this application revealed only one area of the site that had fill material in the LOMA. The Planning and Building Findings and Decision do not address the fact that the existing floodplain map for the site is out of date and changes in the draft FEMA floodplain map would return the LOMA on the site to floodplain (Draft April 17, 2024), and expand the floodway adjacent to the site and neighboring properties. Zoning Regulation 17.88.050(G)(1)(a) allows the City to consider "whether there have been significant amendments to the City's...draft or interim floodplain maps...which will apply to the subject approval". The subject property is not only in the floodplain, but also partially in the Historic Channel Migration Zone. The Planning and Zoning Findings and Decision are based on an analysis which does not reflect known conditions.

VI. THE HISTORIC FISHING CABIN

The Planning and Zoning Findings and Decision do not address the historic fishing cabin owned by the Osbornes and identified by the Historical Committee that sits on the northern property line of the site and is within feet of the elevated driveway where flooding is most likely to occur. The historic cabin remains on its original foundation of river rock. As a consequence, the cabin is not only at risk of flooding but also of moving and collapsing in flood conditions.

Yours truly,



GARY D. SLETTE

cc: Clients
Matthew Johnson
Danielle Strollo



SR 56 Dubois @ RP 54.2
April 2015

Debris at inlet.

EXHIBIT
A



Multiple culvert problems

Note that one culvert tends to become the streams choice, and the other may experience sediment accumulation. And, the one the stream chooses to use, also collects floating debris.

**EXHIBIT
B**

**Nicholas and Stephanie Osborne
150 Wood River Drive North
Ketchum, Idaho 83340**

July 17, 2024

City of Ketchum Planning and Zoning Commission
191 5th Street West
Ketchum, Idaho 83340

Dear Members of the City of Ketchum Planning and Zoning Commission:

We appreciate the opportunity to again appeal the Flood Plain Development Permit for 121 Badger Lane. We are providing the following Documents for your review in support of our appeal:

Exhibit 1. Summary of Continuing Issues with Proposed Development and Planning and Building Department Review.

Exhibit 2. Comments Provided by the Osbornes to the Planning and Building Department on March 28, 2024

Exhibit 3. Copy of prior appeal documents submitted to the City of Ketchum Planning and Zoning Commission by the Osbornes on October 6, 2023.

Sincerely,

Nicholas and Stephanie Osborne

Exhibit 2

**Nicholas and Stephanie Osborne
105 North Wood River Drive
Ketchum, Idaho 83340**

March 28, 2024

City of Ketchum Planning and Building Department
191 5th St. West
Ketchum, Idaho 83340

Dear Members of the Ketchum Planning and Building Staff,

We are writing to provide comments on the Revised Floodplain Development Plan for 121 Badger Lane dated March 5, 2024. Although the applicant responded to the City's "required actions", including comments 1c-5 from Biota Research, the revised plan still does little to address our ongoing concerns with this flawed Development Plan. The raised driveway along the northern property line that bisects the shared floodplain between the applicant and Osborne properties creates a "levee" and impedes the sheeting of floodwaters and imperils the Osborne's property which includes a historic 1940's fishing cabin and our newer home. The City, having required an elevated driveway for emergency vehicles clearly understands the flooding issues on the site, and now needs to ensure that the 121 Badger Lane Plan mitigates any negative impacts this creates on the neighbors' properties.

Our comments on specific elements of the Revised Plan are as follows:

1. Table 1 includes labels and data that are unclear and includes data that is repeated, making impacts impossible to determine.
2. The response includes misleading and inaccurate statements about lack of flood flow on the Osborne property: "the northern channel (sic) on the Osborne property has not experienced flood flow" (in response to Biota comment #2) and "The quantity of water flowing from the Osborne property is minimal" (in response to Biota comment #5 and #9) The Osbornes have observed flooding in this area and have submitted an aerial picture of historic below peak flood waters on the property. The Brockway and the applicant's statements are contrary to the known and observed facts.
3. The response acknowledges "the debris cage will need to be regularly maintained to ensure that it is free of debris" but provides no assurance that buyer/owner will be subject to maintenance requirements by the City. Culverts only work if they are maintained, and if no one is obligated to undertake that work, the culverts will likely become plugged during a flood event. The Big Wood River is appropriately named given the sheer amount of debris that floodwaters carry.
4. The response does not address Biota's comment #7 that "culverts do not meet City code by allowing code-required sheet flooding".
5. The proposed raised driveway extends well to the west of culverts 1 & 2, filling and capping wetlands that currently collect floodwater channeling from the Osborne property. This western end of the property is where the greatest flow of floodwater exists due to

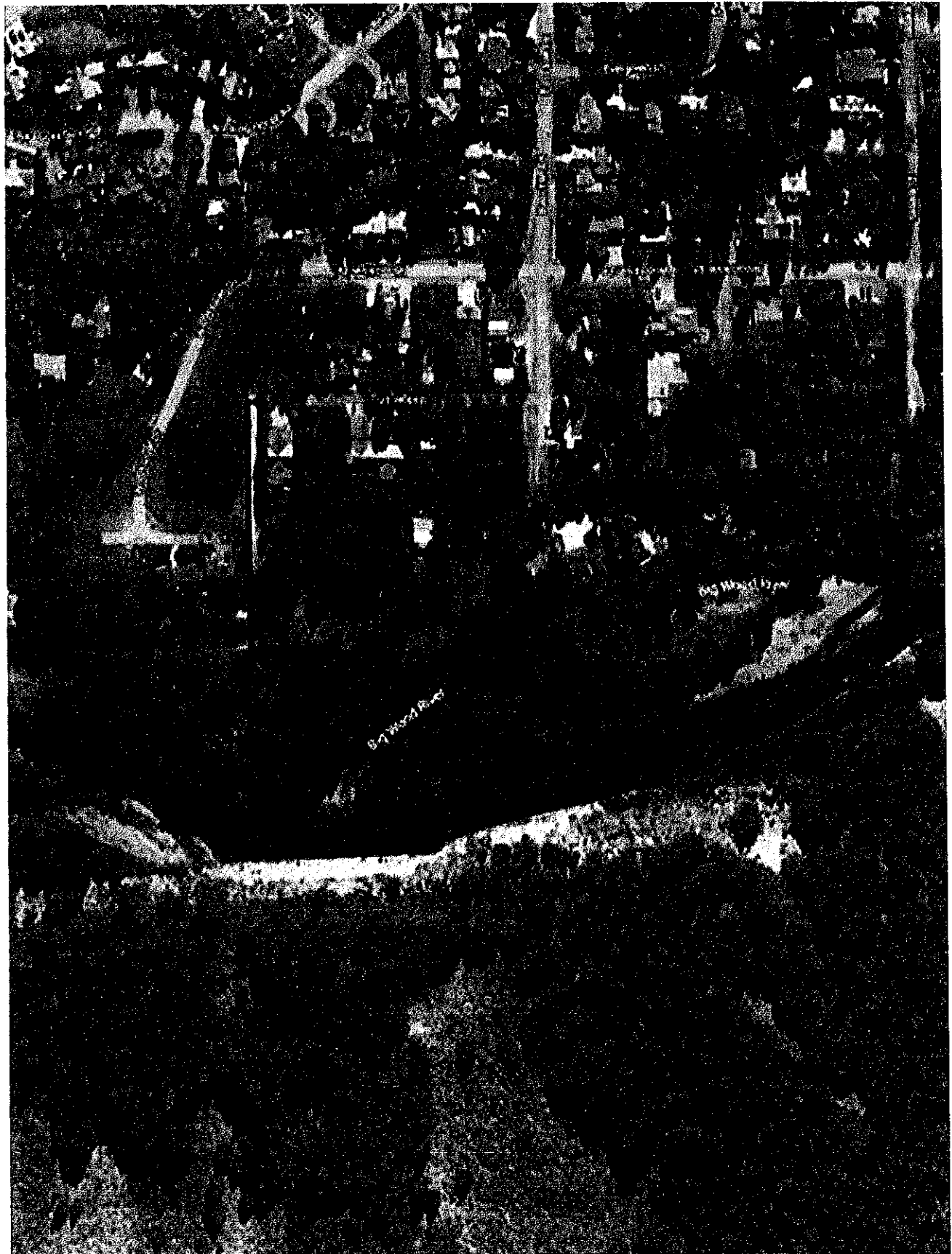
proximity to the river. The proposed dry well and culvert 3 are wholly inadequate to address the floodwater in this area.

6. The response acknowledges that the HEC-RAS software used to model the impacts is not capable of modeling the actual plan or site conditions.
7. Despite suggested alternative locations for the driveway, the plan continues to rely on a raised driveway that creates an unnecessary levee across the floodplain.
8. The response does not address the evidence provided by neighbors and in the Floodplain Development Application that calls into question the validity of the LOMA on this site.

The Applicant is proposing a plan based on hydrologic modeling that is not capable of accurately measuring flows, a LOMA that may have been improperly issued, a soon to be out of date floodplain map and a culvert drainage system that needs constant maintenance to function correctly. We believe the remaining questions and flaws in the Plan call for a more comprehensive redesign for the site. Any approval of the current Development Plan is not in the best interests of the City, the neighbors, or the owners of the property.

Sincerely yours,

Nicholas and Stephanie Osborne





1 inch = 0.02 miles

BROCKWAY ENGINEERING, PLLC.
 JJJ - Date: 5/4/2023

121 BADGER LANE

FIGURE 4

NAIP 2021 IMAGERY

Legend

Cut (-) and Fill (+)

- 3
- 2.5
- 2
- 1.5
- 1
- 0.5
- 0
- 0.5
- 1
- 1.5
- 2
- 2.5
- 3

--- Approximate OHWM

- - - 25' Offset Riparian Setback

□ Property

Base Flood Elevations

Special Flood Hazard Area (Floodplain, 1%)

Floodway

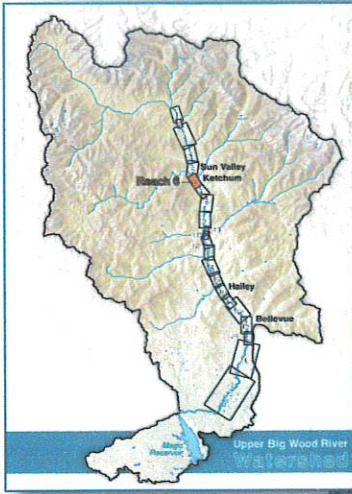
500 Year Floodplain (0.2%)

X: Area of Minimal Flood Hazard

D: Unstudied



Warm Springs Crk to Trail Creek



River Reach Locator Map

REACH 6

Legend

- 2017 Channel Trace
 - Irrigation Diversion
 - Bridge
 - FEMA 100 Year
 - Levee
 - Rock Armoring
 - Historic Channel Migration Zone
- Flood Risk Zone**
- Flood Risk Zone I
 - Flood Risk Zone II
- Zone of Recent Erosion**
- 2015 to 2017 Erosion
- Zone of Potential Erosion**
- High Erosion Potential
 - Moderate Erosion Potential
- Photo Point

Reach Description

Reach 6 runs 1.6 miles from the confluence of Warm Springs Creek to Trail Creek. This reach is adjacent to highly developed lands along the eastern floodplain and confined by riprap along this bank almost its entire length through Ketchum.

A major westward shift in channel alignment occurred near Buss Elle Rd between 1986 and 2004. The 2017 flooding resulted in large zones of in-channel deposition and heightened flood risk. Sediment inputs from Warm Springs Creek play a major role in channel evolution, flood risk, and migration risk in Reach 6.



REACH MAP -AERIAL
2015 Aerial Photo and Flood Risk



Average FEMA Floodplain Width: 436 feet
2017 Average Bankfull Channel Width: 104 feet

REACH 6

Reach Characteristics

The Warm Springs creek watershed was impacted by the 2013 Beaver Creek and 2007 Castle Rock fires which increased sediment supply.

Main channel occupied this area in the 1980's and relic riprap remains

Area of historic floodplain fill

Legend

- Historic Channel Migration Zone (HCMZ)
- 2017 Channel Trace
- Irrigation Diversion
- Bridge
- Rock Armoring
- Levee

Zone of Recent Erosion

- 2004 to 2015 Erosion
- 2015 to 2017 Erosion

HAWS

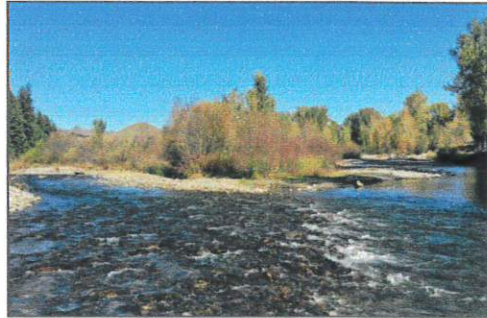
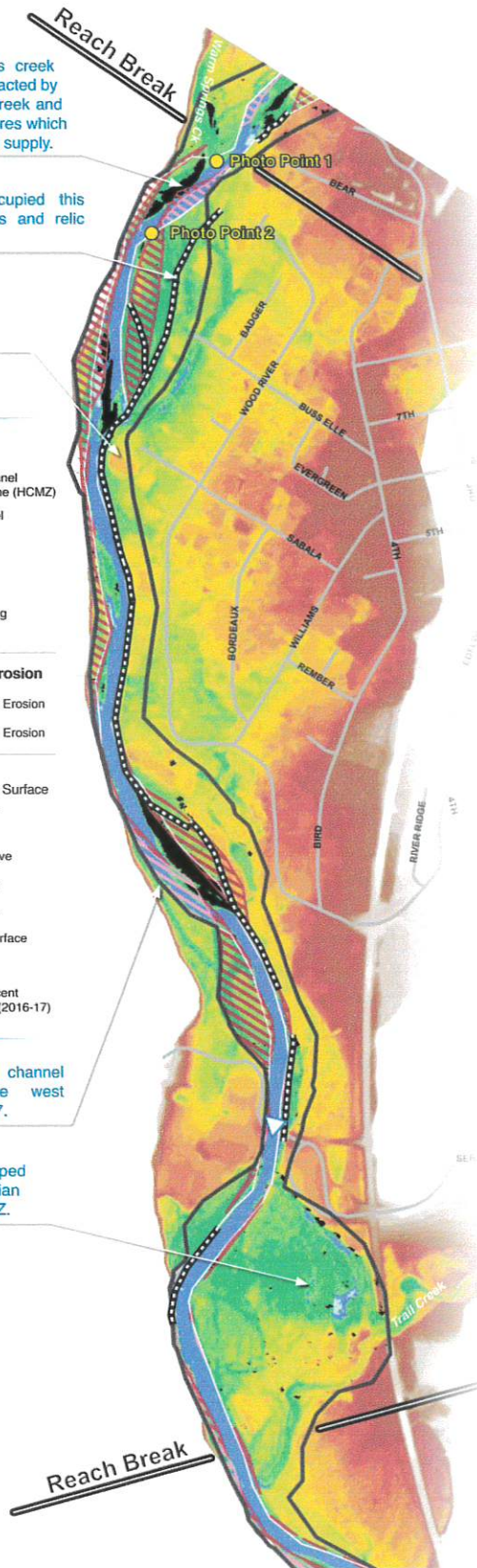
Height Above Water Surface

- + 24.3' Above
- + 10 - 12' Above
- + 6 - 7' Above
- + 2 - 4' Above
- 0' Water Surface
- 6.2' Below

Zones of Recent Aggradation (2016-17)

Location of rapid channel migration to the west between 2016-2017.

Important undeveloped floodplain and riparian habitat within HCMZ.



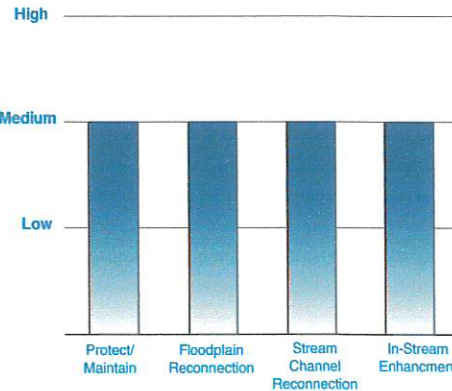
Reach 6 - Photo Point 1
Warm Springs Creek confluence



Reach 6 - Photo Point 2 - Looking downstream

	Reach Characteristics	Reach Average	Big Wood River Average
	Sinuosity	1.04	1.15
	Gradient (ft/ft)	0.0062	0.0064
	HCMZ Width (ft)	403	513
	Bankloss 2015-2017 (acre/river mile)	1.4	4.9
	Bankloss 2004-2015 (acre/river mile)	8.5	6.8
	Bank Stabilization (%)	38%	24%

The Warm Springs Creek reach is the first reach that transitions to a lower energy system (less steep river gradient). Lower energy rivers tend to have more channel migration and a higher sinuosity, but this reach had the third least sinuous channel with very little channel migration between 2015-2017 (3.5x less than average). This observation may be explained by the near continuous bank armoring on the east riverbank.



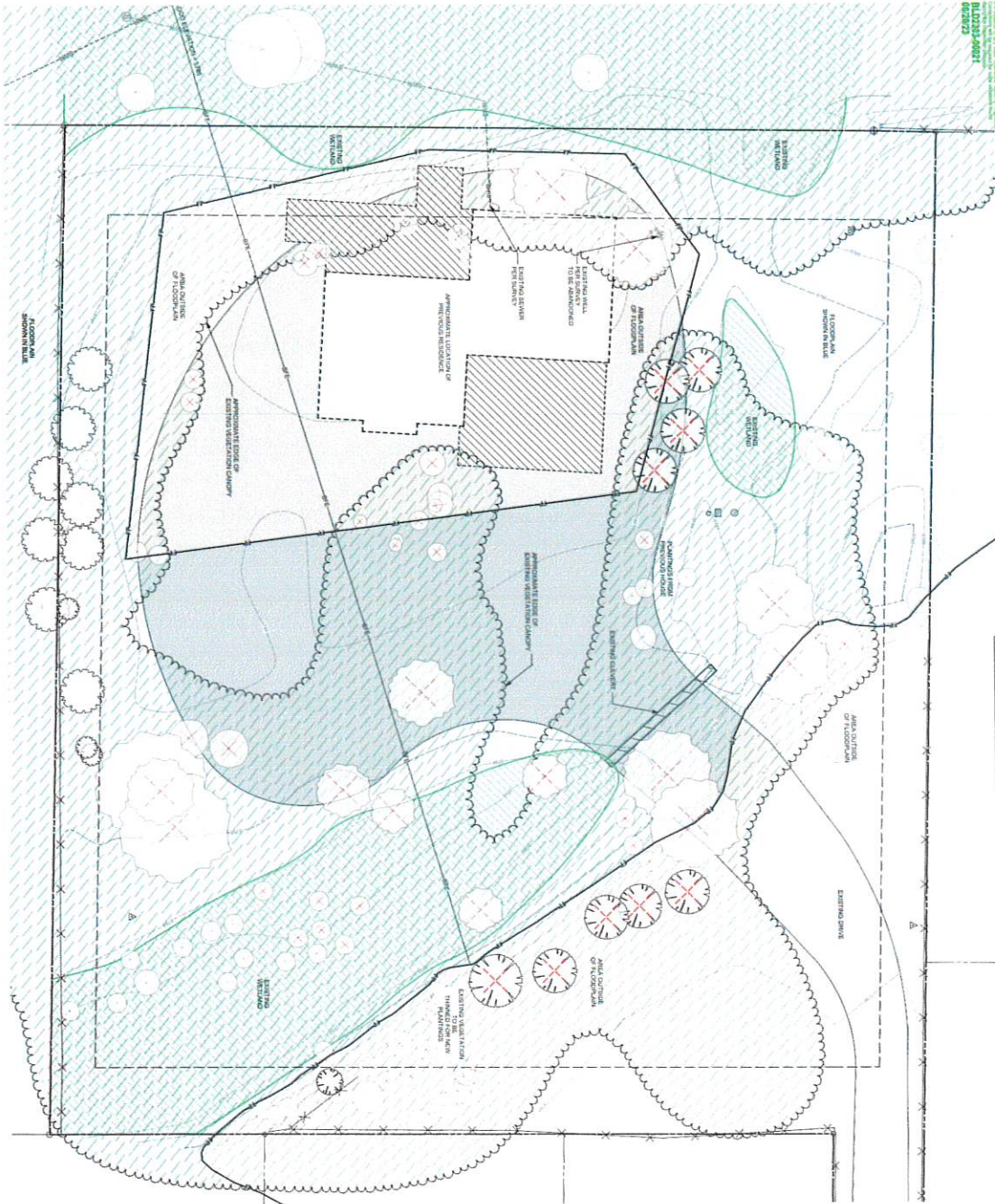
Reach Project Potential

Opportunities in Reach 6 include efforts to promote removal or modification of rock armoring where feasible. In-stream sediment management through placement of flood fencing or engineered log jams could assist in sediment retention. The area around the Trail Creek confluence may offer opportunities for stream channel or floodplain process reconnection.

REACH MAP - HAWS

Height Above Water Surface (HAWS), Erosion Hazards, HCMZ

Height Above Water Surface mapping of the Big Wood River uses a technique to show elevation difference of the floodplain topography relative to the river water surface. The map shows relic features in the floodplain created by the river, such as abandoned channels, meander bends, and oxbows. This illustrates how the river has actively meandered across the width of the geomorphic floodplain.



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 www.byla.io

SYMBOL		DESCRIPTION
(Circle with cross)	Existing Tree	Existing Tree to be Maintained
(Triangle)	Survey Point	Survey Point
(Circle with dot)	Proposed Tree	Proposed Tree
(Circle with cross)	Existing Tree	Existing Tree to be Removed

EXISTING TREES OVER 2" CALIPER	
SYMBOL	DESCRIPTION
(Circle with cross)	Maple
(Circle with dot)	Cedarwood
(Circle with cross)	Maple
(Circle with cross)	Pine



L1.1

EXISTING CONDITIONS & DEMO PLAN
 SHEET NO. 2/17/2023
 22233 128.512M

LANDSCAPE PLAN
 BADGER LANE
 121 BADGER LANE KETCHUM, ID 83340

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 WWW.KETCHUMARCHITECTS.COM



GRADING & DRAINAGE LEGEND

SYMBOL	DESCRIPTION
1	PROPOSED FINISHED GRADE
2	EXISTING FINISHED GRADE
3	PROPOSED GRADE
4	EXISTING GRADE
5	PROPOSED DRIVEWAY
6	EXISTING DRIVEWAY
7	PROPOSED SIDEWALK
8	EXISTING SIDEWALK
9	PROPOSED PAVEMENT
10	EXISTING PAVEMENT
11	PROPOSED ASPHALT DRIVEWAY
12	EXISTING ASPHALT DRIVEWAY
13	PROPOSED CONCRETE DRIVEWAY
14	EXISTING CONCRETE DRIVEWAY
15	PROPOSED DRIVEWAY
16	EXISTING DRIVEWAY
17	PROPOSED SIDEWALK
18	EXISTING SIDEWALK
19	PROPOSED PAVEMENT
20	EXISTING PAVEMENT
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27	PROPOSED SIDEWALK
28	EXISTING SIDEWALK
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35	PROPOSED DRIVEWAY
36	EXISTING DRIVEWAY
37	PROPOSED SIDEWALK
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41	PROPOSED ASPHALT DRIVEWAY
42	EXISTING ASPHALT DRIVEWAY
43	PROPOSED CONCRETE DRIVEWAY
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51	PROPOSED ASPHALT DRIVEWAY
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87	PROPOSED SIDEWALK
88	EXISTING SIDEWALK
89	PROPOSED PAVEMENT
90	EXISTING PAVEMENT
91	PROPOSED ASPHALT DRIVEWAY
92	EXISTING ASPHALT DRIVEWAY
93	PROPOSED CONCRETE DRIVEWAY
94	EXISTING CONCRETE DRIVEWAY
95	PROPOSED DRIVEWAY
96	EXISTING DRIVEWAY
97	PROPOSED SIDEWALK
98	EXISTING SIDEWALK
99	PROPOSED PAVEMENT
100	EXISTING PAVEMENT



L2.0

GRADING PLAN

PROJECT: BADGER LANE, 121
 CLIENT: [REDACTED]
 DATE: 4/29/2024
 DRAWN BY: [REDACTED]
 CHECKED BY: [REDACTED]

LANDSCAPE PLAN
BADGER LANE
 121 BADGER LANE KETCHUM, ID 83340

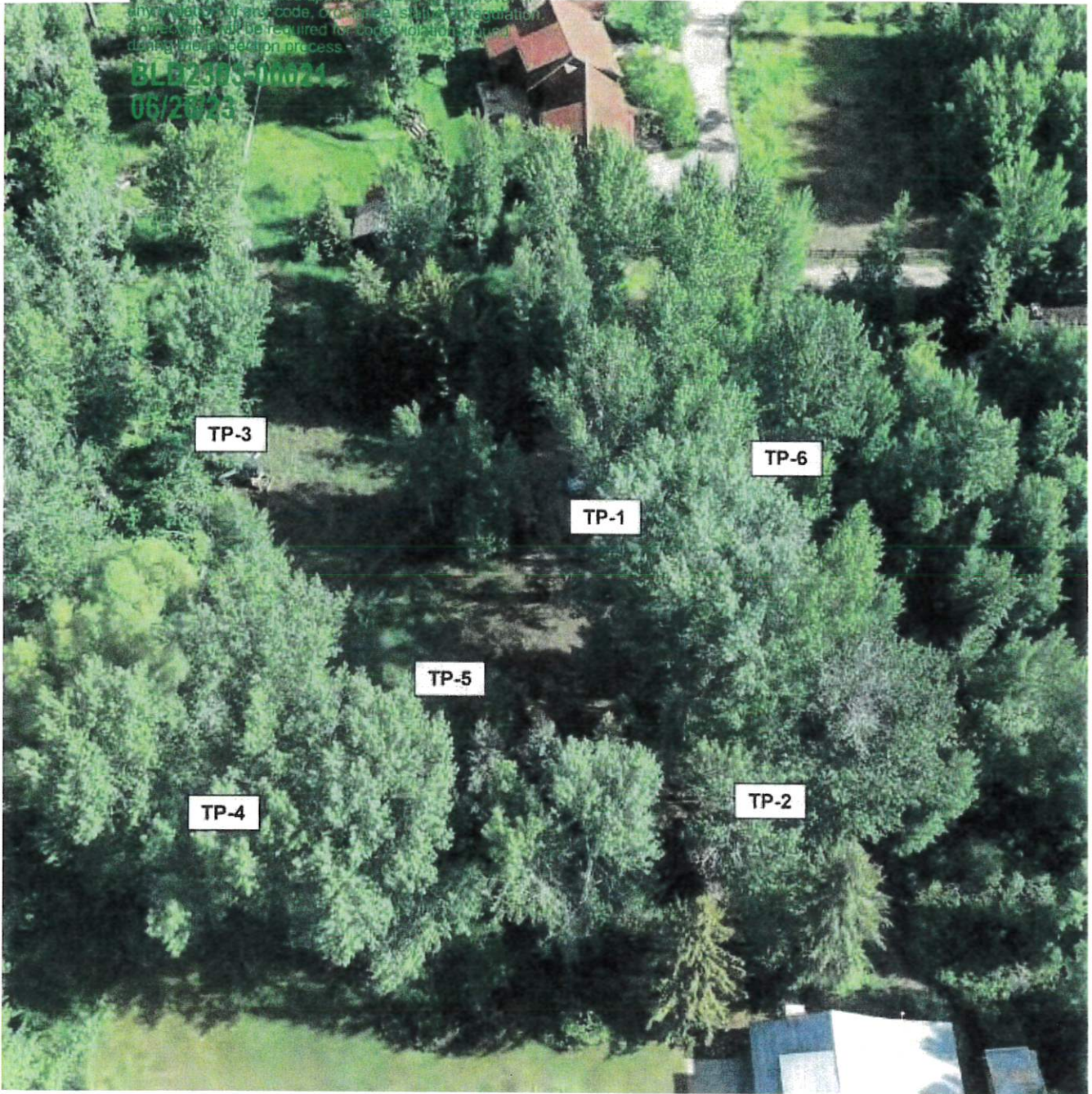
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 LANDSCAPE ARCHITECTS

Approved

These plans have been found to be in substantial compliance of the adopted building codes. These documents are approved contingent on compliance with the mark-ups and notes applied. This is not approval of any agency or code, or final state or regulation. Some items will be required for code violation if used during the inspection process.

BLR2383-00024
06/26/23



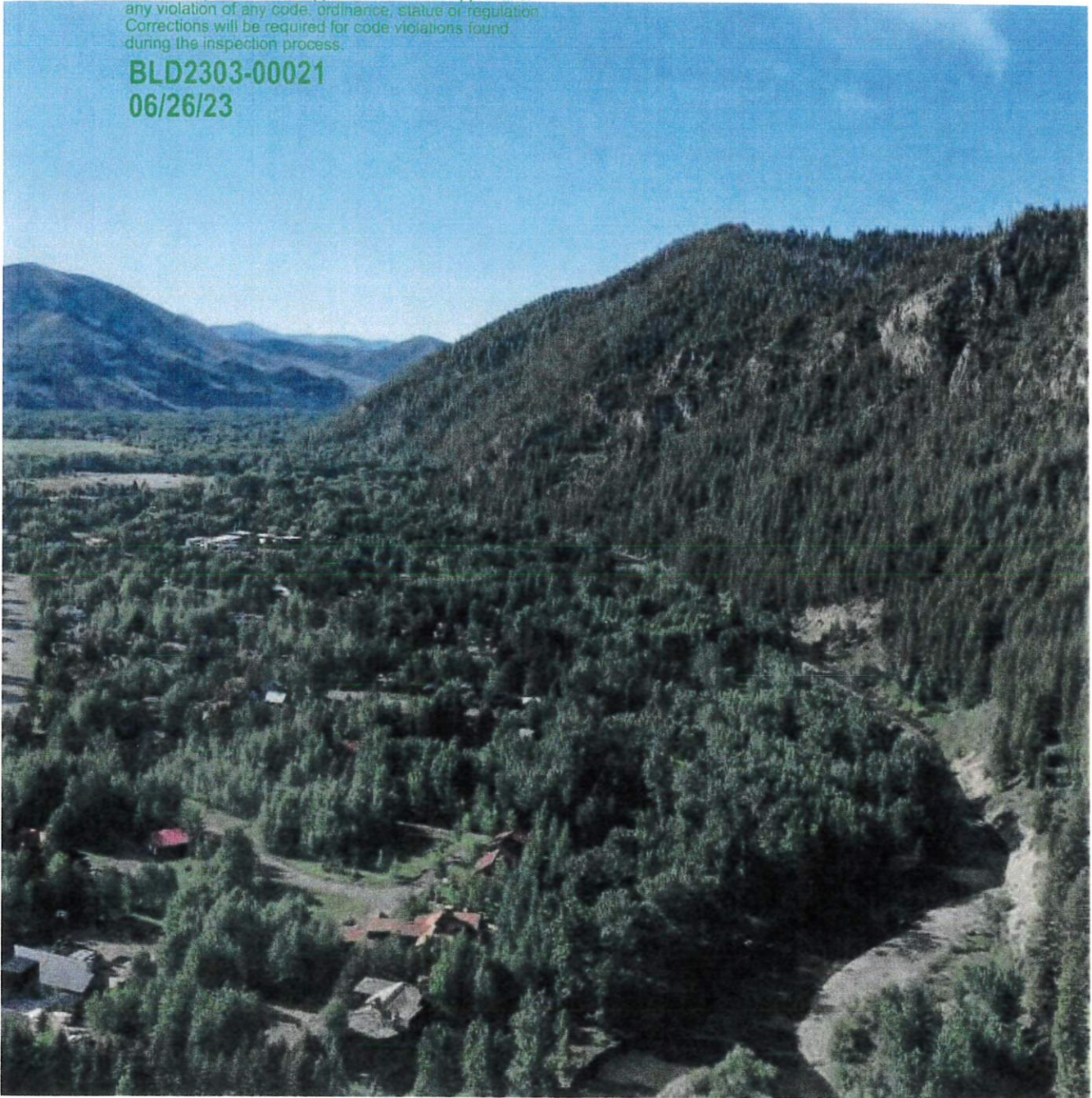
TEST PIT SITE PLAN PHOTO 1
Proposed Badger Lane Residence
Parcel 4, Rocking Ranch Subdivision No. 2
121 Badger Lane
Ketchum, Idaho
Image captured on June 24, 2022

Approved

These plans have been found to be in substantial compliance of the adopted building codes. These documents are approved contingent on compliance with the mark-ups and notes applied. This is not approval of any violation of any code, ordinance, statute or regulation. Corrections will be required for code violations found during the inspection process.

BLD2303-00021

06/26/23



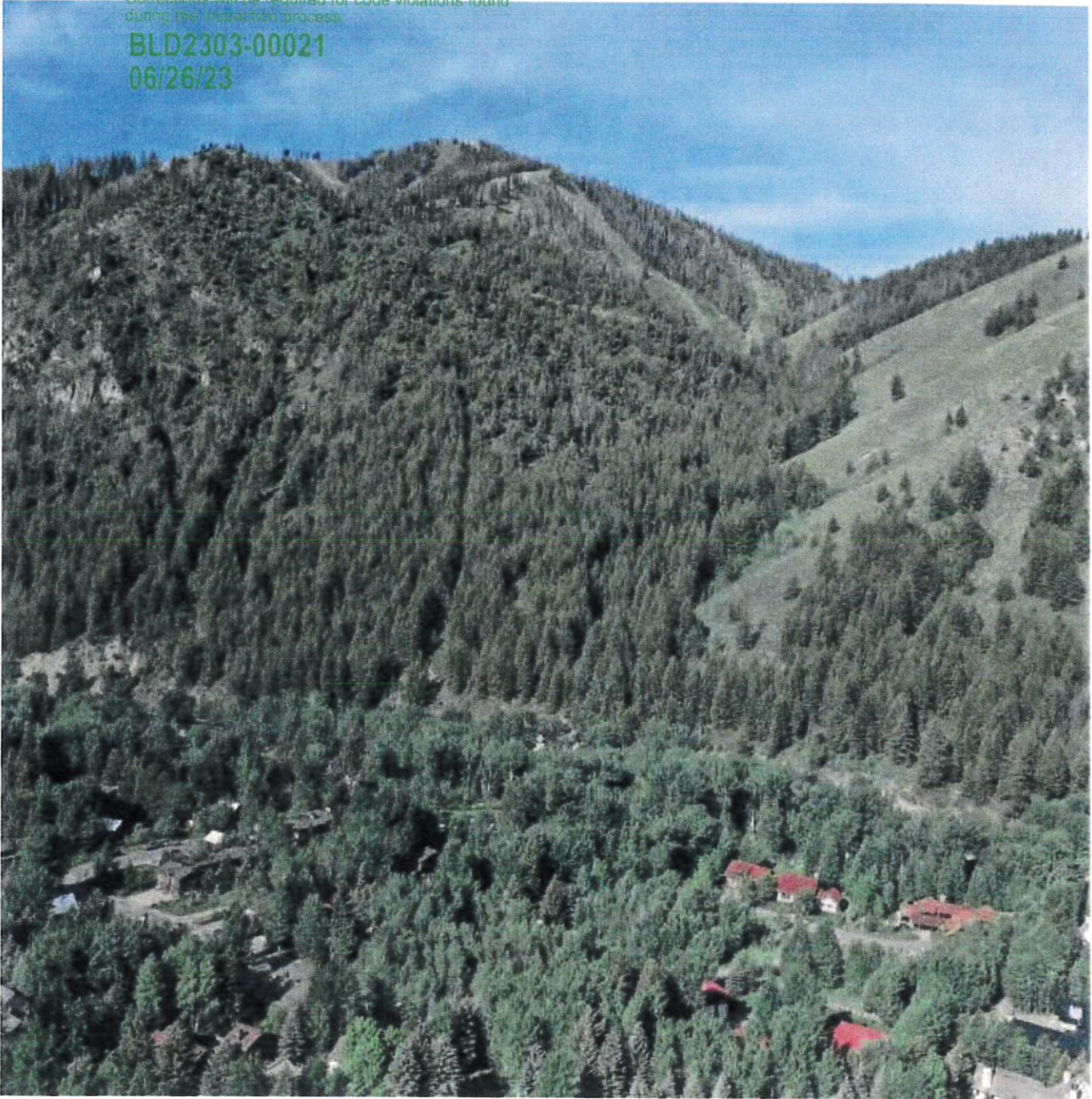
TEST PIT SITE PLAN PHOTO 2
Proposed Badger Lane Residence
Parcel 4, Rocking Ranch Subdivision No. 2
121 Badger Lane
Ketchum, Idaho
Image captured on June 24, 2022

Approved

These plans have been found to be in substantial compliance of the adopted building codes. These documents are approved contingent on compliance with the mark-ups and notes applied. This is not approval of any violation of any code, ordinance, statute or regulation. Corrections will be required for code violations found during the inspection process.

BLD2303-00021

06/26/23



TEST PIT SITE PLAN PHOTO 3
Proposed Badger Lane Residence
Parcel 4, Rocking Ranch Subdivision No. 2
121 Badger Lane
Ketchum, Idaho
Image captured on June 24, 2022

Approved

These plans have been found to be in substantial compliance of the adopted building codes. These documents are approved contingent on compliance with the mark-ups and notes applied. This is not approval of any violation of any code, ordinance, state or regulation. Corrections will be required for code violations found during the inspection process.

BLD2303-00021
06/26/23

EXPLORATORY TEST PIT #1
Proposed Badger Lane Residence
Parcel 4, Rocking Ranch Subdivision No. 2
121 Badger Lane
Ketchum, Idaho

DEPTH (Feet)	USCS SOIL CLASS	SOIL DESCRIPTION
0.0'-0.8'	SM	Silty fine SAND & GRAVEL, little Roots (NATIVE) Brown, loose, damp.
0.8'-4.8'	GW	SAND, GRAVEL, COBBLE & BOULDER (NATIVE) Brown, compact-dense, damp-saturated.

Test Pit completed on June 24, 2022.

See *Test Pit Site Plan Photo 1* for test pit location.

The test pit surface elevation is approximately 5783 feet based on the Blaine County Land Use Information Map.

Groundwater encountered at 3.2 feet below existing grade.

Test pit terminated at 4.8 feet below existing grade after reaching several feet below typical crawlspace footings and due to the consistency of the soil type between the test pits.

No soil sample retrieved.

Minor sloughing of test pit walls in native sand and gravel soil.

Excavation equipment: DEERE track-mounted excavator.



Approved

These plans have been found to be in substantial compliance of the adopted building codes. These documents are approved contingent on compliance with the mark-ups and notes applied. This is not approval of any violation of any code, ordinance, state or regulation. Corrections will be required for code violations found during the inspection process.

BLD2303-00021
06/26/23

EXPLORATORY TEST PIT #2
Proposed Badger Lane Residence
Parcel 4, Rocking Ranch Subdivision No. 2
121 Badger Lane
Ketchum, Idaho

DEPTH (Feet)	USCS SOIL CLASS	SOIL DESCRIPTION
0.0'-1.0'	SM	Silty fine SAND & GRAVEL, little Roots (NATIVE) Brown, loose, damp.
1.0'-6.4'	GW	SAND, GRAVEL, COBBLE & BOULDER (NATIVE) Brown, compact-dense, damp-saturated.

Test Pit completed on June 24, 2022.

See *Test Pit Site Plan Photo 1* for test pit location.

The test pit surface elevation is approximately 5784 feet based on the Blaine County Land Use Information Map.

Groundwater encountered at 4.8 feet below existing grade.

Test pit terminated at 6.4 feet below existing grade after reaching several feet below typical crawlspace footings and due to the consistency of the soil type between the test pits.

No soil sample retrieved.

Minor sloughing of test pit walls in native sand and gravel soil.

Excavation equipment: DEERE track-mounted excavator.



Approved

These plans have been found to be in substantial compliance of the adopted building codes. These documents are approved contingent on compliance with the mark-ups and notes applied. This is not approval of any violation of any code, ordinance, state or regulation. Corrections will be required for code violations found during the inspection process.

BLD2303-00021
06/26/23

EXPLORATORY TEST PIT #3
Proposed Badger Lane Residence
Parcel 4, Rocking Ranch Subdivision No. 2
121 Badger Lane
Ketchum, Idaho

DEPTH (Feet)	USCS SOIL CLASS	SOIL DESCRIPTION
0.0'-3.9'	SM	Silty fine SAND & GRAVEL, heavy Roots (UNCONTROLLED FILL?) Brown, loose, damp.
3.9'-6.9'	GW	SAND, GRAVEL, COBBLE & BOULDER (NATIVE) Brown, compact-dense, damp-saturated.

Test Pit completed on June 24, 2022.

See *Test Pit Site Plan Photo 1* for test pit location.

The test pit surface elevation is approximately 5786 feet based on the Blaine County Land Use Information Map.

Groundwater encountered at 5.2 feet below existing grade.

Test pit terminated at 6.9 feet below existing grade after reaching several feet below typical crawlspace footings and due to the consistency of the soil type between the test pits.

No soil sample retrieved.

Minor sloughing of test pit walls in native sand and gravel soil.

Excavation equipment: DEERE track-mounted excavator.



Approved

These plans have been found to be in substantial compliance of the adopted building codes. These documents are approved contingent on compliance with the mark-ups and notes applied. This is not approval of any violation of any code, ordinance, state or regulation. Corrections will be required for code violations found during the inspection process.

BLD2303-00021
06/26/23

EXPLORATORY TEST PIT #4
Proposed Badger Lane Residence
Parcel 4, Rocking Ranch Subdivision No. 2
121 Badger Lane
Ketchum, Idaho

DEPTH (Feet)	USCS SOIL CLASS	SOIL DESCRIPTION
0.0'-2.0'	SM	Silty fine SAND & GRAVEL, little Roots (NATIVE) Brown, loose, damp.
2.0'-4.8'	GW	SAND, GRAVEL, COBBLE & BOULDER (NATIVE) Brown, compact-dense, damp-saturated.

Test Pit completed on June 24, 2022.

See *Test Pit Site Plan Photo 1* for test pit location.

The test pit surface elevation is approximately 5786 feet based on the Blaine County Land Use Information Map.

Groundwater encountered at 3.5 feet below existing grade.

Test pit terminated at 4.8 feet below existing grade after reaching several feet below typical crawlspace footings and due to the consistency of the soil type between the test pits.

No soil sample retrieved.

Minor sloughing of test pit walls in native sand and gravel soil.

Excavation equipment: DEERE track-mounted excavator.



Approved

These plans have been found to be in substantial compliance of the adopted building codes. These documents are approved contingent on compliance with the mark-ups and notes applied. This is not approval of any violation of any code, ordinance, state or federal. Corrections will be required for code violations found during the inspection process.

BLD2303-00021
06/26/23

EXPLORATORY TEST PIT #5
Proposed Badger Lane Residence
Parcel 4, Rocking Ranch Subdivision No. 2
121 Badger Lane
Ketchum, Idaho

<u>DEPTH</u> <u>(Feet)</u>	<u>USCS SOIL</u> <u>CLASS</u>	<u>SOIL</u> <u>DESCRIPTION</u>
0.0'-1.6'	SM	Silty fine SAND & GRAVEL, little Roots (NATIVE) Brown, loose, damp.
1.6'-6.2'	GW	SAND, GRAVEL, COBBLE & BOULDER (NATIVE) Brown, compact-dense, damp-saturated.

Test Pit completed on June 24, 2022.

See *Test Pit Site Plan Photo 1* for test pit location.

The test pit surface elevation is approximately 5786 feet based on the Blaine County Land Use Information Map.

Groundwater encountered at 4.0 feet below existing grade.

Test pit terminated at 6.2 feet below existing grade after reaching several feet below typical crawlspace footings and due to the consistency of the soil type between the test pits.

No soil sample retrieved.

Minor sloughing of test pit walls in native sand and gravel soil.

Excavation equipment: DEERE track-mounted excavator.



Approved

These plans have been found to be in substantial compliance of the adopted building codes. These documents are approved contingent on compliance with the mark-ups and notes applied. This is not approval of any violation of any code, ordinance, state or regulation. Corrections will be required for code violations found during the inspection process.

BLD2303-00021
06/26/23

EXPLORATORY TEST PIT #6
Proposed Badger Lane Residence
Parcel 4, Rocking Ranch Subdivision No. 2
121 Badger Lane
Ketchum, Idaho

<u>DEPTH (Feet)</u>	<u>USCS SOIL CLASS</u>	<u>SOIL DESCRIPTION</u>
0.0'-1.1'	SM	Silty fine SAND & GRAVEL, little Roots (NATIVE) Brown, loose, damp.
1.1'-5.4'	GW	SAND, GRAVEL, COBBLE & BOULDER (NATIVE) Brown, compact-dense, damp.

Test Pit completed on June 24, 2022.

See *Test Pit Site Plan Photo 1* for test pit location.

The test pit surface elevation is approximately 5788 feet based on the Blaine County Land Use Information Map.

No groundwater encountered.

Test pit terminated at 5.4 feet below existing grade after reaching several feet below typical crawspace footings and due to the consistency of the soil type between the test pits.

No soil sample retrieved.

Minor sloughing of test pit walls in native sand and gravel soil.

Excavation equipment: DEERE track-mounted excavator.



Approved

These plans have been found to be in substantial compliance of the adopted building codes. These documents are approved contingent on compliance with the mark-ups and notes applied. This is not approval of any violation of any code, ordinance, statute or regulation. Corrections will be required for code violations found during the active process.

SOIL CLASSIFICATION / LEGEND

RELATIVE DENSITY OR CONSISTENCY UTILIZING STANDARD PENETRATION TEST VALUES

COHESIONLESS SOILS (a)			COHESIVE SOILS (b)		
Density (c)	N, blows/ft (c)	Relative Density (1%)	Consistency	N, blows/ft (c)	Undrained (d) Shear Strength(psf)
Very Loose	0 to 4	0 - 15	Very Soft	0 to 2	<250
Loose	4 to 10	15 - 35	Soft	2 to 4	250-500
Compost	10 to 30	35 - 65	Firm	4 to 8	500-1000
Dense	30 to 50	65 - 85	Stiff	8 to 15	1000-2000
Very Dense	over 50	>85	Very Stiff	15 to 30	2000-4000
			Hard	over 30	>4000

- (a) Soils consisting of gravel, sand, and silt, either separately or in combination, possessing no characteristics of plasticity and exhibiting drained behavior.
 (b) Soils possessing the characteristics of plasticity and exhibiting undrained behavior.
 (c) Refer to text of ASTM D 1586-84 for a definition of N; in normally consolidated cohesionless soils Relative Density terms are based on N_v values corrected for overburden pressures.
 (d) Undrained shear strength = 1/2 unconfined compression strength.

UNIFIED SOIL CLASSIFICATION SYSTEM

MAJOR DIVISIONS		SYMBOL	TYPICAL NAMES
COURSE GRAINED SOILS More than 50% retained on No. 200 Sieve	GRAVELS More than 50% of coarse fraction retained on No. 4 Sieve	CLEAN GRAVELS	GW Well-Graded gravel
			GP Poorly-graded gravels
	GRAVELS WITH FINES	GM Gravel and Silt Mixtures	
		GC Gravel and Clay Mixtures	
	SANDS 50% or more of coarse fraction passes No. 4 Sieve	CLEAN SANDS	SW Well-graded Sands
			SP Poorly-graded Sands
SANDS WITH FINES More than 12% fines		SM Sand and Silt Mixtures	
		SC Sand and Clay Mixtures	
FINE GRAINED SOILS 50% or more passes the No. 200 Sieve	SILTS & CLAYS Liquid limit less than 50	INORGANIC	CL Low-plasticity Clays
			ML Non-plastic and Low-plasticity Silts
	ORGANIC	OL Organic Silt and Clay of Low plasticity	
		SILTS & CLAYS Liquid limit less than 50	INORGANIC
	MH High Plasticity Silts		
	ORGANIC		
HIGHLY ORGANIC SOILS		PT Peat, Muck and Other Highly Organic Soils	

COMPONENT DEFINITIONS BY GRADATION

COMPONENT	SIZE RANGE
Boulders	Above 12 inches
Cobbles	3 inches to 12 inches
Gravel	3 inches to No. 4 (4.76mm)
Coarse gravel	3 inches to 3/4 inch
Fine gravel	3/4 inch to No. 4 (4.76mm)
Sand	No. 4 (4.76mm) to No. 200 (0.074mm)
Coarse sand	No. 4 (4.76mm) to No. 10 (2.0mm)
Medium sand	No. 10 (2.0mm) to No. 40 (0.42mm)
Fine sand	No. 40 (0.42) to No. 200 (0.074mm)
Silt & Clay	Smaller than No. 200 (0.074mm)

SILT & CLAY DESCRIPTIONS

DESCRIPTIONS	TYPICAL UNIFIED DESIGNATION
Silt	ML (non-plastic)
Clayey Silt	CL-ML (low plasticity)
Silty Clay	CL
Clay	CH
Plastic Silt	MH
Organic Soils	OL, OH, Pt

LABORATORY TESTS

TEST	DESIGNATION
Moisture	(1)
Density	D
Grain Size	G
Hydrometer	H
Atterberg Limits	(1)
Consolidation	C
Unconfined	U
UU Triax	UU
CU Triax	CU
CD Triax	CD
Permeability	P

(1) Moisture & Atterberg Limits

SAMPLES

SS SPT Samples
 HD Heavy Duty Split Spoons
 SH Shelby Tube
 P Pitcher Sampler
 B Bulk
 C Cord

Unless otherwise noted, drive samples advance with 140 lb. Hammer with 30 inch drop.

COMPONENT PROPORTIONS

DESCRIPTIONS	RANGE OF PROPORTION
Trace	0-5%
Little	5-12%
Some or Adjective (a)	12-30%
And	30-50%

(a) Use Gravelly, Sandy or Silty as appropriate.

<https://experience.arcgis.com/experience/4ed5417c1e6b4874851b44e9be1426f0/page/Draft-Floodplains/>

RiskMAP

Increasing Resilience Together

Draft Floodplain Iteration Comparison

Blaine County, Idaho (Big Wood) Draft Floodplain Iterations (September 2022 and April 2024)

Draft Assessment

Draft Floodplains

Scope (Flood Study)

Overview

This tab is intended to compare draft floodplain mapping from September 2022 with draft floodplain mapping from April 2024.

Proposed areas are grouped by risk, flood zone, and flood frequency as follows:

Area of High Flood Risk

- Zone A | 1% Annual Chance Flood Event
- Zone AE (Floodway) | 1% Annual Chance Flood Event
- Zone AE | 1% Annual Chance Flood Event
- Zone AO | 1% Annual Chance Flood Event

Area of Moderate Flood Risk

- Zone X (Depth Less Than 1 Foot) | 1% Annual Chance Flood Event
- Zone X (Shaded) | 0.2% Annual Chance Flood Event

To compare between September 2022 and April 2024 updated floodplains, click the maps on the bottom left corner

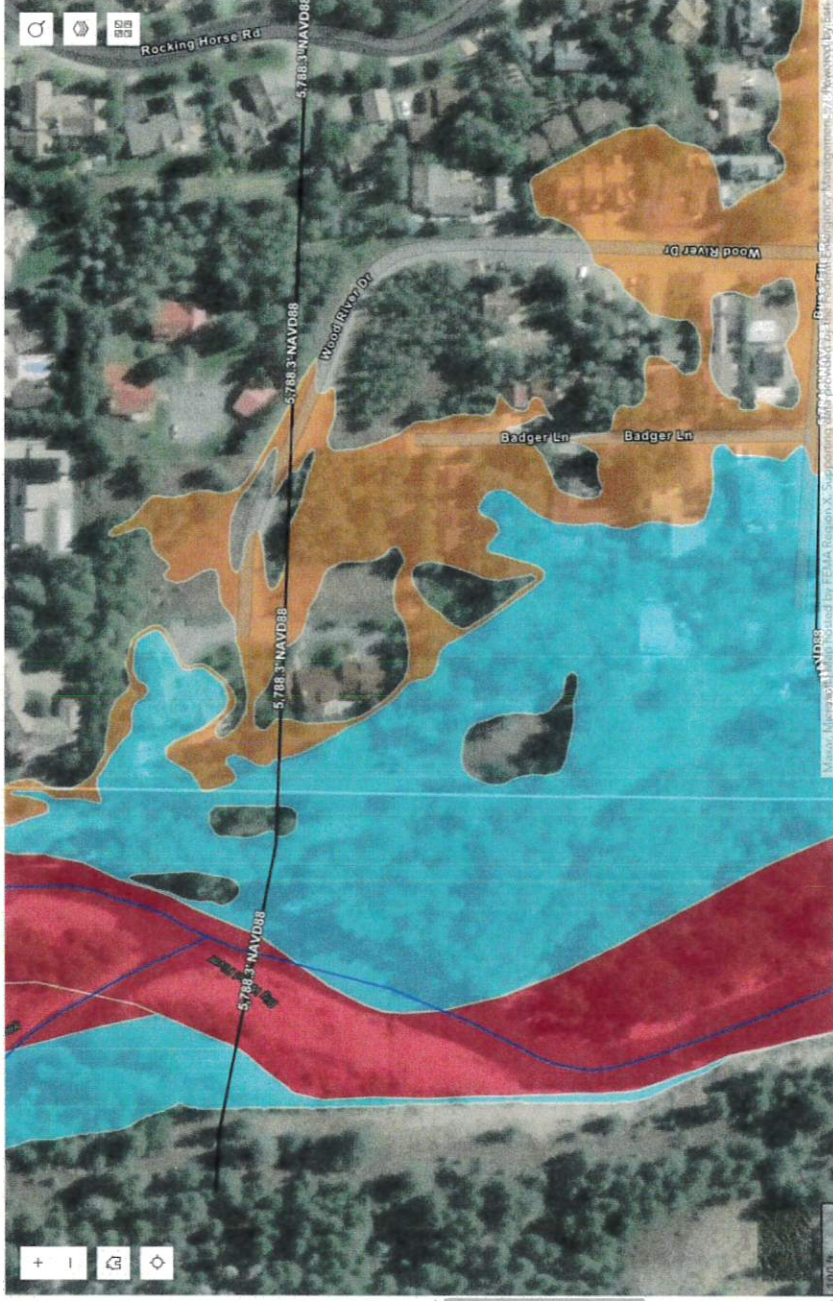
Draft Limit of Study (as of September 13, 2022)

Draft 1% Annual Chance Water Surface Elevation (as of September 13, 2022)

Draft Base Flood Elevation (as of September 13, 2022)

Draft Study Reach (as of September 13, 2022)

Draft Flood Hazard Area (as of September 13, 2022)

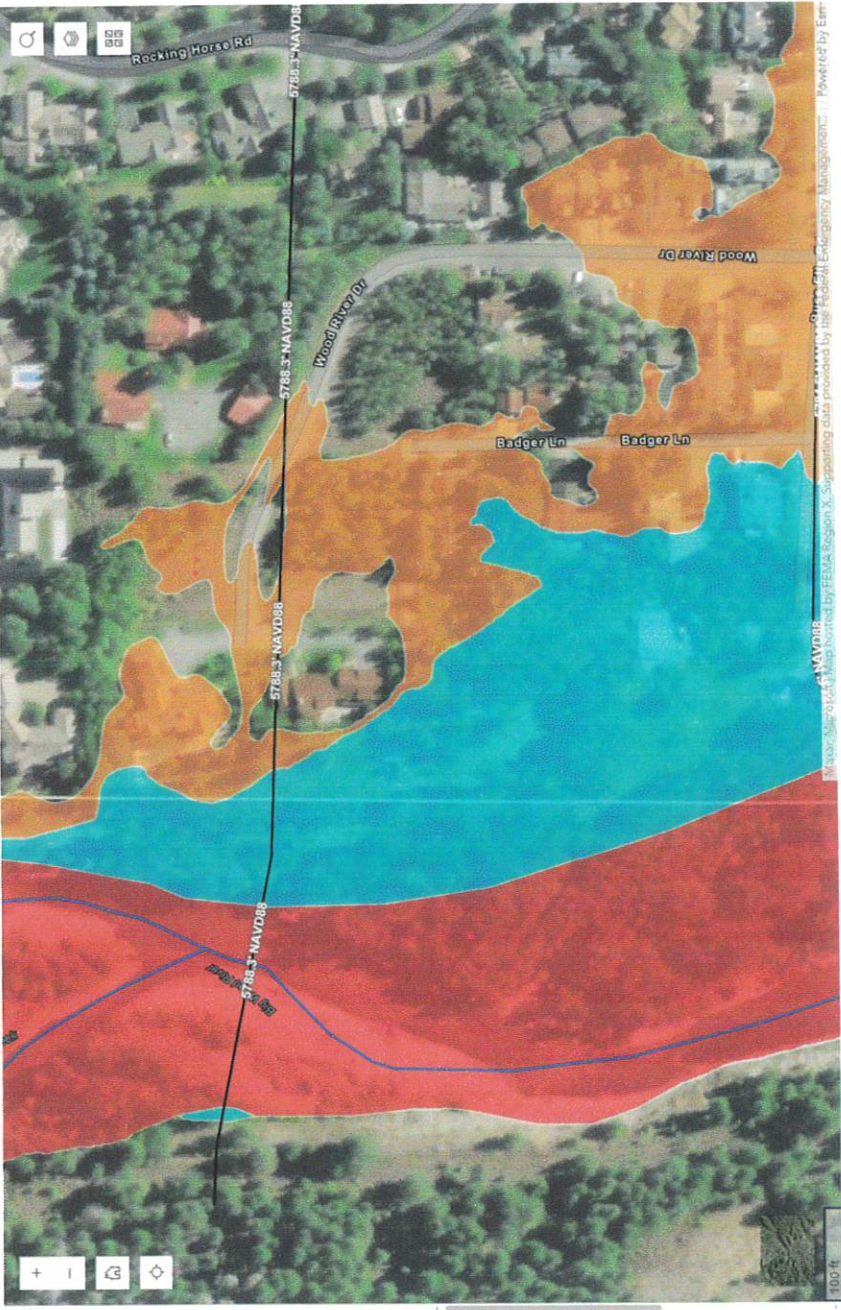


Zone A

Map and data provided by FEMA Region X. Supporting data provided by the Pacific Catastrophe Management Solutions by Jhu

Blaine County, Idaho (Big Wood) Draft Floodplain Iterations (September 2022 and April 2024)

Effective Floodplains Scope (Flood Study) Draft Floodplains Draft Assessment **Draft Floodplain Iteration Comparison**



Overview
This tab is intended to compare draft floodplain mapping from September 2022 with draft floodplain mapping from April 2024.

Proposed areas are grouped by risk, flood zone, and flood frequency as follows:

- Area of High Flood Risk**
 - Zone A | 1% Annual Chance Flood Event
 - Zone AE (Floodway) | 1% Annual Chance Flood Event
 - Zone AE | 1% Annual Chance Flood Event
 - Zone AO | 1% Annual Chance Flood Event
- Area of Moderate Flood Risk**
 - Zone X (Depth Less Than 1 Foot) | 1% Annual Chance Flood Event
 - Zone X (Shaded) | 0.2% Annual Chance Flood Event

To compare between September 2022 and April 2024 updated floodplains, click the maps on the bottom left corner

Draft Limit of Study (as of April 17, 2024)

Draft 1% Annual Chance Water Surface Elevation (as of April 17, 2024)

Draft Study Reach (as of April 17, 2024)

Draft Flood Hazard Area (as of April 17, 2024)

- Zone A
- Zone AE
- Zone AE (Floodway)

Also located on Lot 3 is a 1930's vintage summer home cabin from the Fosterville era (Figure 14). The one story cabin has a stone foundation and exterior walls are clad with half-round horizontal logs chinked with mud and patterned with vertical split log siding. The front-gable roof has extending eaves and is covered with wood shingles. Several hand made wooden bird houses adorn the outside walls on all sides. An earth covered root cellar with a trap door is located adjacent to the two cabins on Lot 4 was noted as were several rock lined walkways, a stone wall, and an abandoned and overgrown irrigation ditch. The property is considered eligible to the NRHP under Criterion A for its association with the initial settlement period of Ketchum. Under Criterion C, the property is eligible because it retains its original rural historical setting, has integrity, and represents a unique example of Ketchum nineteenth and early twentieth century architecture.



Figure 14. A summer cabin from the Fosterville Era in West Ketchum, view northwest.
Digital Image WK 16 # 16.

Robertson & Slette, p.l.l.c.

J. EVAN ROBERTSON
GARY D. SLETTE

Cassie Chapman – Legal Assistant
cchapman@rsidaholaw.com

ATTORNEYS AT LAW
134 Third Avenue East
P.O. BOX 1906
TWIN FALLS, IDAHO 83303-1906
TELEPHONE (208) 933-0700
FAX (208) 933-0701



GARY D. SLETTE
gslette@rsidaholaw.com

October 6, 2023

VIA EMAIL: mlanders@ketchumidaho.org
acrutcher@ketchumidaho.org

City of Ketchum Planning and Zoning Commission
Attn: Morgan Landers & Adam Crutcher
P.O. Box 2315
191 5th St. West
Ketchum, Idaho 83340

RE: OSBORNE APPEAL (121 BADGER LANE)

Dear Morgan and Adam,

Our law firm represents Nicholas and Stephanie Osborne. Enclosed please find supporting documentation prepared by them and their consultant, Biota Research and Consulting for the hearing on their appeal which was filed with the City on July 11, 2023. Procedurally, this appeal was timely filed in accordance with Adam Crutcher's email dated July 11, 2023, a copy of which attached hereto as Exhibit "A". In response to issues advanced by the applicant's attorney, City Attorney Matthew Johnson confirmed the timeliness of the Osbornes' appellate filing in his email dated August 23, 2023, a copy of which is attached hereto as Exhibit "B". The concurrent approval of the Floodplain Development Permit and the Building Permit dated June 26, 2023, is evidenced by the stamped final approval document attached hereto as Exhibit "C".

Substantively, the appeal is based on the written letters authored by our clients and the Technical Memorandum submitted by Biota dated August 22, 2023. From a practical perspective, my client's written comments succinctly set forth relevant facts and their concerns as to events they have observed over the years regarding flooding on the Big Wood River, and the resultant impact on property in the floodplain in their neighborhood. The Biota Technical Memorandum

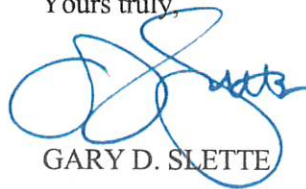
October 6, 2023

Page 2

identifies several issues that deserve thoughtful consideration by the Commission insofar as this appeal is concerned. The section entitled "SUMMARY AND CONCLUSIONS" on page 6 of the Biota report supports the need to reverse the decision on appeal to allow for the suggested hydrologic modeling and design modifications to prevent a diminution in flood plain carrying capacity. Additionally, Biota does not question the accuracy of the cross-sectional detail and analysis performed and provided by the applicant's engineer; however, the layout and location of the cross-sections in the proposed condition analysis do not appear to capture the development location and grading activities presented in the proposed condition site plan.

My clients and I will be in attendance with a representative from Biota at the appeal hearing scheduled for October 24 beginning at 4:30 p.m. If the Commission has requests for further information, we anticipate the ability to respond at that time.

Yours truly,

A handwritten signature in blue ink, appearing to read "G. Slette", is written over a circular stamp that contains the name "GARY D. SLETTE".

GARY D. SLETTE

cc: Clients
Mattew Johnson
Franklin Lee

From: Matthew A. Johnson <mjohnson@WHITEPETERSON.com>
Sent: Wednesday, August 23, 2023 4:46 PM
To: Franklin G Lee <FrankLee@givenspursley.com>; Gary Slette <gslette@rsidaholaw.com>
Subject: 121 Badger - dismissal request (informal)

Franklin and Gary –

Treating this informally initially, as I've only had an opportunity to do a somewhat rushed review of the correspondence, but think some clarification may be useful between the attorneys involved.

The City evaluates floodplain development permits concurrently with building permits. While comments and review may be happening separately for each, such that one may seem resolved prior to another, the practice is that they are finally and formally approved at the same time. So, from a process perspective, the Floodplain Development Permit in this matter would have been finally/formally approved on the same date as the Building Permit. This would be considered the final administrative determination date for purposes of calculating administrative appeal deadlines. I believe this is the reason for the document, that it looks like Gary provided, with the Approved stamp dated 6/26/23.

My quick read inclination is this means we do not have a timeliness/automatic dismissal issue, but please advise me if you still feel otherwise.

Matt

Matthew A. Johnson
WHITE PETERSON GIGRAY & NICHOLS, P.A.
Canyon Park at the Idaho Center
5700 E. Franklin Rd., Ste. #200
Nampa, ID 83687-7901
208.466.9272 (tel)
208.466.4405 (fax)
mjohnson@whitepeterson.com

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**EXHIBIT
B**

From: Adam Crutcher <ACrutcher@ketchumidaho.org>
Sent: Tuesday, July 11, 2023 12:39 PM
To: Osborne, Nicholas
Cc: Stephanie Osborne; Nicholas Osborne
Subject: RE: 121 Badger Lane - Appeal to the Ketchum Planning and Zoning Commission
Attachments: appeal_application.pdf

Hi Nick,

Thank you for sending that over. I've attached the appeal application so you can fill that out and send it over to planningandzoning@ketchumidaho.org then we can start to process the appeal application. This application will need to be submitted today for the appeal request to be valid. Our planning technician will then invoice for the application fee and get the ball rolling.

The application that is being appealed is P23-014 and the date of decision or date findings of fact were adopted is June 26, 2023. What you can do for the sections titled "Explain How You Are and Affected Party & This Appeal is Based on The Following Factors" by referencing the narrative which you attached.

Thanks

ADAM CRUTCHER | CITY OF KETCHUM

PLANNING AND BUILDING | ASSOCIATE PLANNER

P.O. Box 2315 | 191 W 5th St | Ketchum, ID 83340

o. 208.806.7008 |

acrutcher@ketchumidaho.org | www.ketchumidaho.org

****Please sign up for the NEW Planning and Building quarterly newsletter. Click [HERE](#) and select "Planning and Development"**

From: Osborne, Nicholas <Nicholas.Osborne@psc.com>
Sent: Tuesday, July 11, 2023 11:44 AM
To: Adam Crutcher <ACrutcher@ketchumidaho.org>
Cc: Stephanie Osborne <stephanieosborne6@gmail.com>; Nicholas Osborne <NOsborne@msn.com>
Subject: 121 Badger Lane - Appeal to the Ketchum Planning and Zoning Commission

Adam,

Attached a letter of Appeal to the Ketchum Planning and Zoning Commission with respect to 121 Badger Lane. Will you please forward this to the members of the Commission and others as necessary. Please let us know if there are any questions or follow-up required.

Best,

Nick Osborne

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**EXHIBIT
A**

Approved

These plans have been found to be in substantial compliance of the adopted building codes. These documents are approved contingent on compliance with the map-ups and notes applied. This is not approval of any violation of any code, ordinance, statute or regulation. Corrections will be required for code violations found during the inspection process.



City of Ketchum
Planning & Building

KID2303-00021
06/26/23


OFFICIAL USE ONLY	
File Number	
Date Received	
By	
Fee Paid	
Approved Date	
Denial Date	
By	

Floodplain Development Permit and Riparian Alteration Application

NOTE: This permit is required for all properties containing 100 year floodplain area and Riparian Setbacks

PROPERTY OWNER INFORMATION			
Property Owner Name(s):	121 BADGER LANE LLC		
Property Owner's Mailing Address:	P.O. BOX 14001-174 KETCHUM, ID 83340		
Phone:			
Email:			
PROJECT INFORMATION			
Project Name:	BADGER RESIDENCE		
Project Representative's Name (main point of contact for project):	FRAZIER CAVNESS		
Project Representative's Phone:	720.339.6798		
Project Representative's Mailing Address:	P.O. BOX 14001-174 KETCHUM, ID 83340		
Project Representative's Email:	frazier@presidiovistaproperties.com		
Architect's name, phone number, e-mail:	RO ROCKETT DESIGN JASON RO 213.784.0014 jro@rorockettdesign.com		
Landscape Architect's name, phone number, e-mail:	BYLA BEN YOUNG 208.720.0215 ben@byla.us		
Environmental consultant's name, phone number, e-mail:	SAWTOOTH TRENT STUMPH 208.727.9748 trent@sawtoothenvironmental.com		
Engineer's name, phone number, e-mail:	BROCKWAY ENGINEERING CHUCK BROCKWAY 208-736-8543 charles.g.brockway@brockwayeng.com>		
Project Address:	121 BADGER LANE KETCHUM, ID 83340		
Legal Description of parcel:	PARCEL 4, ROCKING RANCH SUB #2 (LOCATED WITHIN SECTION 13, T.4 N., R.17 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO)		
Lot Size:	1.09 ACRES (PER SURVEY)		
Zoning District:	LR		
Overlay Zones – indicate all that apply:	<input checked="" type="checkbox"/> Floodplain <input type="checkbox"/> Floodway <input type="checkbox"/> Riparian Zone <input type="checkbox"/> Avalanche <input type="checkbox"/> Mountain		
Brief description of project scope:	NEW SINGLE FAMILY DWELLING: MAIN RESIDENCE + ADU W/ IN-GROUND POOL (ADU STRUCTURE OUTSIDE OF FLOODPLAIN)		
Value of Project:	\$ 400,000		
TYPE OF PROJECT – indicate all that apply:			
<input type="checkbox"/> New Building in Floodplain	<input type="checkbox"/> Building Addition in Floodplain	<input type="checkbox"/> Streambank Stabilization / Stream Alteration	<input type="checkbox"/> Other. Please describe:
<input type="checkbox"/> Riparian Alteration	<input checked="" type="checkbox"/> Floodplain Development		
PROPOSED SETBACKS – if project is a new building or an addition to an existing building			
Front: 15	Side: 15	Side: 15	Rear: 20
ADDITIONAL INFORMATION			
Will fill or excavation be required in floodplain, floodway or riparian zone?	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	
If Yes, Amount in Cubic Yards:	Fill: 258 CY	Excavation: 274 CY	
Will Existing Trees or Vegetation be Removed?	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	
Will new trees or vegetation be planted?	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	

Applicant agrees in the event of a dispute concerning the interpretation or enforcement of the Floodplain Management Overlay Application, in which the City of Ketchum is the prevailing party, to pay reasonable attorney fees, including attorney fees on appeal, and expenses of the City of Ketchum. I, the undersigned, certify that all information submitted with and upon this application form is true and accurate to the best of my knowledge and belief.


Signature of Owner/Representative

2/27/2023

Date

EXHIBIT
C

Nicholas and Stephanie Osborne
105 Wood River Drive North
Ketchum, Idaho 83340

October 4, 2023

City of Ketchum Planning and Zoning Commission
191 5th Street West
Ketchum, Idaho 83340

Dear Members of the Ketchum Planning and Zoning Commission:

We appreciate the opportunity to appeal the Flood Plain Development Permit for 121 Badger Lane. We are providing the following documents for your review in support of our appeal:

Exhibit 1. Letter Dated October 4, 2023 from Nicholas and Stephanie Osborne outlining the unique conditions of the location, issues with the proposed development and additional considerations.

Exhibit 2. Technical Memorandum from Biota Research concluding the proposed development does not adhere to the guidelines of the City of Ketchum Floodplain Development Permit and do not align with FEMA NAI policies.

Exhibit 3. Letter dated April 12, 2023 from Nicholas and Stephanie Osborne provided in response to the notification of the planned development and solicitation of comments by the Planning and Zoning Commission Staff.

Exhibit 4. Letter dated July 11, 2023 from Nicholas and Stephanie Osborne provided at the time of our Appeal.

Exhibit 5. Relevant excerpts from the Ketchum City Code addressing flood plain development.

Sincerely,

Nicholas and Stephanie Osborne

Nicholas and Stephanie Osborne
105 Wood River Drive North
Ketchum, Idaho 83340

October 4, 2023

Dear Members of the Ketchum Planning & Zoning Commission

As appellants of the Flood Plain Development Permit for 121 Badger Lane, and owners of 103 and 105 Wood River Drive North which share the entire northern property line of 121 Badger Lane we write today to provide you with a more complete picture of this area of Ketchum and the unique conditions that give rise to our concerns. They have been brought to the attention of the Planning staff in letters from us on April 12, 2023, in response to the notification of the planned development and solicitation of comments, and on July 11, 2023, at the time of our appeal. Rather repeating the contents of those letters we attach both here for your review.

The Area and Unique Conditions:

The area is highly susceptible to flooding and the risks are likely to increase. 105 Wood River Drive North and 121 Badger Lane are directly below the confluence of Warm Springs Creek and the Big Wood River and have experienced significant flood water issues in the past. High water from Warm Springs Creek flows directly toward the both properties on the East bank of the Big Wood River, which has caused significant erosion of the bank and the river frequently breaches the bank.

A significant portion of 121 Badger Lane sits within the floodplain and, according to the 2020 Big Wood River Atlas, within the Historic Channel Migration Zone of the Big Wood River. The proposed building site is entirely surrounded by and extends into the Flood Plain and wetlands.

A LOMA was issued which excluded a portion of the site from the floodplain. Local residents observed significant fill being deposited by a prior owner in the area covered by the LOMA, and it is believed that this resulted in the LOMA being improperly issued.

A portion of 105 Wood River Drive North sits within the same floodplain as 121 Badger Lane. There are two clear natural channels in the southwest portion of 105 Wood River Drive North which drain directly onto 121 Badger Lane. During runoff in 2017 there was sheeting water in these channels and across the lot and at other times there has been standing water in these channels. Sheeting water runs through 121 Badger Lane and standing water is absorbed in wetlands on 121 Badger Lane immediately south of 105 Wood River Drive North. The water that flows across 121 Badger Lane flow directly into neighborhoods on Buss Elle Drive and Wood River Drive.

A number of recent studies have concluded that the change in weather we are experiencing, irrespective of the causes, have resulted in FEMA Flood Maps that significantly underestimate the Flood Risk. Ketchum's current FEMA flood Map was created in 2010, making it 13 years old, significantly older than the prescribed 5 year revisions cycle and according to the City of Ketchum website is currently being updated.

The Proposed Project:

The proposed development plan for 121 Badger Lane unnecessarily places portions of a large home and significant hardscape in the flood plain, including an elevated driveway directly on our property line and over existing wetlands. This will create a barrier to water naturally flowing across our property and will prevent standing water from being absorbed in the existing wetlands.

There are many alternative locations for the proposed driveway. A driveway for the prior home already exists on 121 Badger Lane, and by turning south before entering the floodplain and entering the floodplain away from neighboring properties, it avoids destroying wetlands and allows more of the potential problems to be dealt with on the site.

Recognizing the risk of flood waters on 121 Badger Lane, Ketchum Staff required the developer to raise the driveway, provide culverts under the driveway (though the culverts do not appear to be specified in the plans) and replace the wetlands in a new location. These changes create multiple issues for neighbors both north and south of 121 Badger Lane. The raised driveway creates an even greater barrier to the flow of water across the property line, the culverts restrict flow above the driveway and accelerate it below the driveway and the destruction of the existing wetlands will eliminate the absorption of water where it naturally accumulates.

In addition, the proposed driveway and culverts provide no space for the removal of snow in ways which would avoid impacting neighbors properties, creating blockages for the proposed culverts or filling the existing wetlands. Culverts are very unreliable, susceptible to blockages from natural debris and wildlife activity. We have experienced flooding on other properties due to blockages in culverts and do not believe they are an acceptable remediation when the impacts of failure will be significantly borne by neighbors rather than the owners of the site.

The proposed development is expected to be sold upon completion. Any assurances from the current owner/developer for proper maintenance of the culverts or other remediations provides little assurance of the long-term compliance.

Additional Considerations and Analysis:

The Ketchum City Code include many sections which address the significant costs flooding creates for our community, the many causes of flooding in Ketchum, the criteria for approval of development in areas susceptible to flooding which will affect the health of the Big Wood River. We have attached and highlighted a number of those we believe are relevant.

As a result of all of these issues, we retained both engineering and legal advisors to help us assess the legitimacy of our concerns. We have been advised and believe the potential issues are real and encourage the City to fully consider the engineering evaluation which we have also attached.

We appreciate the Planning Commission giving our appeal full consideration. We are long time members of the Ketchum community that want the best for our town. Many of the issues we have could have been easily understood and addressed had our neighbor chosen to discuss the plans with us prior to seeking the approval of proposed development. Unfortunately, because they did not choose that path, we now find ourselves participating in a more costly and formal administrative appeal process.

Sincerely,

Nicholas and Stephanie

TECHNICAL MEMORANDUM FROM



P. O. Box 8578, 140 E. Broadway, Suite 23, Jackson, Wyoming 83002; (307) 733-4216

To: City of Ketchum, Idaho

Cc: Gary Slette, Nicholas and Stephanie Osborne

Date: August 22, 2023

Re: Big Wood River, 121 Badger Lane, Floodplain Permit Review

The content of this memorandum outlines the findings of an initial technical review performed by Biota Research and Consulting, Inc. (Biota) of the City of Ketchum, Idaho, Floodplain Development Permit and associated documents for the Badger Residence Project (parcel RPK05130000040) submitted by 121 Badger Lane LLC. For the review, Biota was provided the Floodplain Development Permit application materials and approved plans. The findings in this memorandum were based on documents made available to Biota. Biota reserves the right to provide additional technical review comments on behalf of the Osbornes in the future.

Biota also obtained the Federal Emergency Management Agency (FEMA) Letter of Map Amendment (LOMA) for the subject property, dated May 15, 2014. The intent of the technical review was to identify if potential flooding risks to the Osborne property (RPK0508001003A) have been properly evaluated according to the City of Ketchum ordinance and permit application requirements. The Osborne property is located immediately upstream (north) of the proposed project.

The effective Flood Insurance Rate Map (FIRM) is Panel No. 16013C0442E with effective date of November 26, 2010. The parcel of interest is located in a FEMA mapped floodplain designated Zone AE Special Flood Hazard Area (SFHA). The proposed project lies between published cross sections EG and EF of the detailed study hydraulic model. A new draft effective hydraulic model is currently being developed by FEMA that will be used to replace the effective FIRM with new updated maps. The draft model developed by FEMA has not yet been published to be used as the effective model for Ketchum or other areas within Blaine County, Idaho. However, it is important to note that the draft effective model uses a base flood discharge of 6,363 cubic feet per second (cfs) compared to only 4,740 cfs for the Big Wood River below Warm Springs Creek, which is an increase of 1,623 cfs. The 2014 LOMA removes a portion of the 121 Badger Lane Property from the FEMA floodplain. The area removed by the LOMA is shown on the project design plans. Given the presence of the previous residential structure on the property in the location described by the LOMA, it is likely that this area was raised out of the elevation of the FEMA floodplain by placing fill material.

Floodplain development permits are typically evaluated based on a no-rise certification or a No Adverse Impacts (NAI) statement. The no-rise is a hydraulic modeling analysis that evaluates potential increases

to the Base Flood Elevation (BFE) from project actions. The NAI approach was developed as a “good neighbor” policy to assess how existing floodplain properties are being affected by the land use decision others. The NAI policy requires those who alter flooding conditions to mitigate the impact their actions have on other individuals and adjacent communities. (Larson and Plasencia 2001). The policy states that impacts include increased flood peaks, flood stage, flood velocity, erosion and sedimentation, or decreased water quality or quality of riparian habitat.

1.0 FLOODPLAIN PERMIT TECHNICAL REVIEW

Biota reviewed the approved Floodplain Development Permit and Riparian Alteration Application dated June 26, 2023, including the attached narrative from Brockway Engineering, PLLC (Brockway) dated May 4, 2023. Biota’s senior hydraulic engineer and certified floodplain manager, Chad Bailey P.E, CFM reviewed the hydraulic model results. There were several issues identified that, in our opinion, need to be evaluated more thoroughly to determine the potential for adverse impacts related to the proposed project. Those issues are described in detail below.

- 1) Guideline 17.88.050(E)6 of the floodplain development requirements states that floodplain development projects should not diminish flood water carrying capacity. As shown on the existing conditions topographic survey maps, there are existing drainage paths that cross from the Osborne property to the 121 Badger Lane property in the area of proposed floodplain construction (Figure 1). The drainage flow paths are highlighted with blue arrows on Figure 1. The existing driveway has imported fill material and a culvert placed within the floodplain. It is not clear when this material was placed or if it was a permitted activity. The culvert and fill material do interrupt natural drainage patterns but sheet flooding can occur under existing conditions because the driveway is not elevated above native grades to the west of the culvert.

The same blue arrows are displayed with the grading and drainage site plan (Sheet L2) in Figure 2. The grading and drainage site plan elevations indicate that the proposed driveway is to be elevated approximately 0.5 to 3.0 feet relative to existing grades in the area of the natural drainages (Figure 3). The driveway orientation is generally perpendicular to the flood flow path. The result would be that the elevated driveway would backwater flood flows upstream onto the Osborne property. The grading and site plans indicate that a 12-inch culvert is proposed to drain the area north of the driveway into a constructed wetland. The floodplain development permit application materials did not demonstrate that a 12-inch culvert would convey the capacity of flood water in this area during a 100-year flood. In addition, the culvert is not an open inlet but a catch basin design that has a greater risk of becoming plugged by debris and sediment, which could render it ineffective during flooding. The natural drainage that crosses existing wetlands is proposed to be drained with a 24- by 36-inch arch pipe culvert. This proposed culvert is oriented perpendicular to the floodplain flow path which will limit functionality. The floodplain development permit application materials did not demonstrate that this culvert would convey the capacity of flood water in this area during a 100-year flood.

In response to Section 17.88.050(E)6 of the floodplain development permit, Brockway indicated that the proposed development has more excavation (274 cy) than fill (258 cy). Having more excavation than fill does not ensure that the flood carrying capacity is maintained. It clearly depends on where the fill is being placed and if natural drainage patterns persist. As shown in Figure 3, the proposed fill placement blocks the natural drainages that are visible in Figure 1. Based on our review of the application materials, it has not been demonstrated that flood water

carrying capacity is being maintained with the proposed project. In addition, the hydraulic model for the project does not include any cross sections that correctly represent the proposed driveway in the area of the subject drainages (Figure 4) and therefore does not evaluate the potential backwater effect from the placement of fill in the FEMA floodplain. Also, the model results provided in fact show a rise of 0.1 foot as shown on Table 2 of the Brockway Technical Narrative. This rise in proposed BFE suggests that the flood flow capacity is diminished under proposed conditions. It is our recommendation that more detailed hydraulic modeling with properly placed and orientated sections be conducted to evaluate the impact of the proposed project grading, including the driveway, on the BFE on the Osborne property. Sections should be perpendicular to the flood flow and aligned with the driveway fill structure and proposed drainage culvert opening.

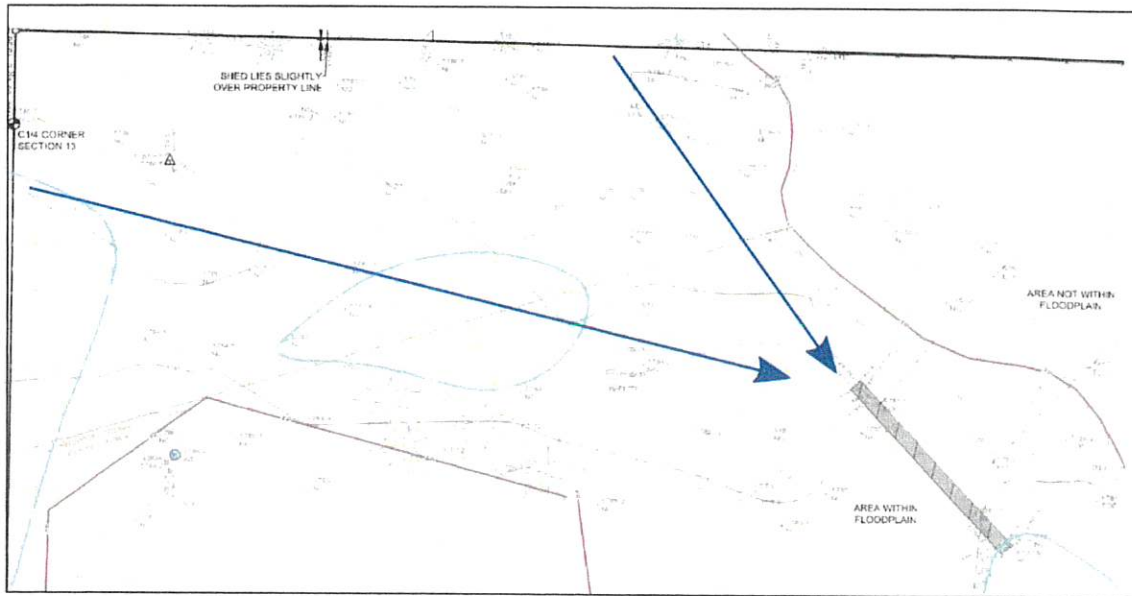


Figure 1. Existing conditions topographic survey map showing drainage patterns (highlighted with blue arrows). Basemap Source: Galena Engineering, Inc.

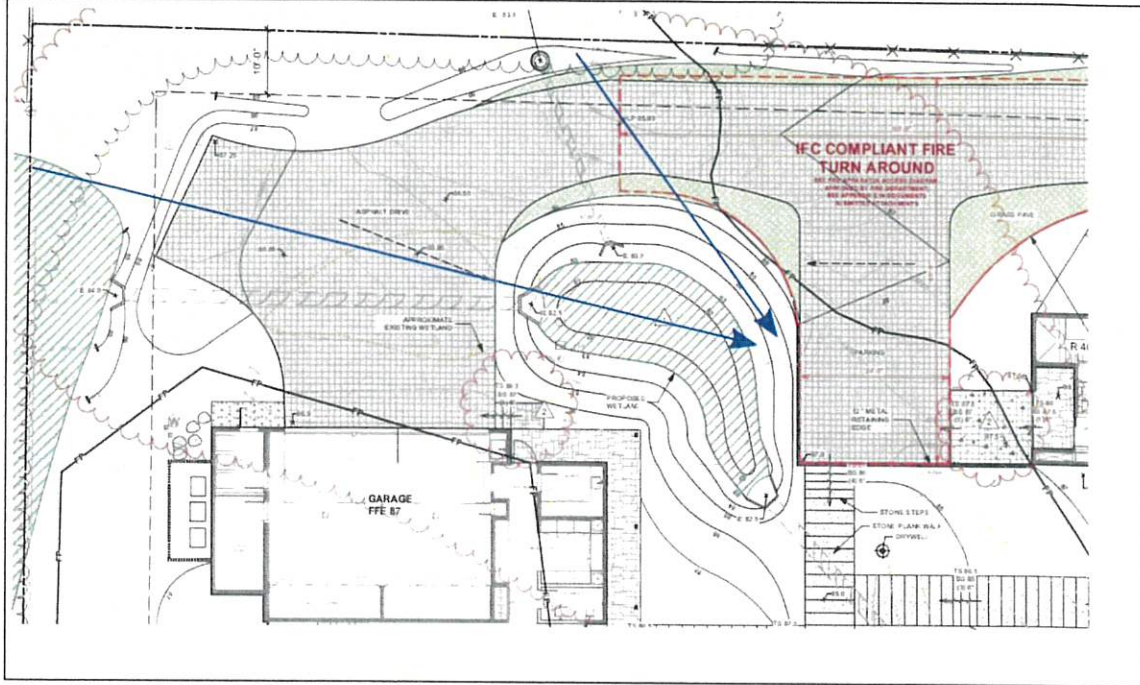


Figure 2. Proposed grading and drainage site plan showing fill to be placed blocking natural drainage patterns (highlighted with blue arrows). Basemap Source: BYLA Landscape Architects.

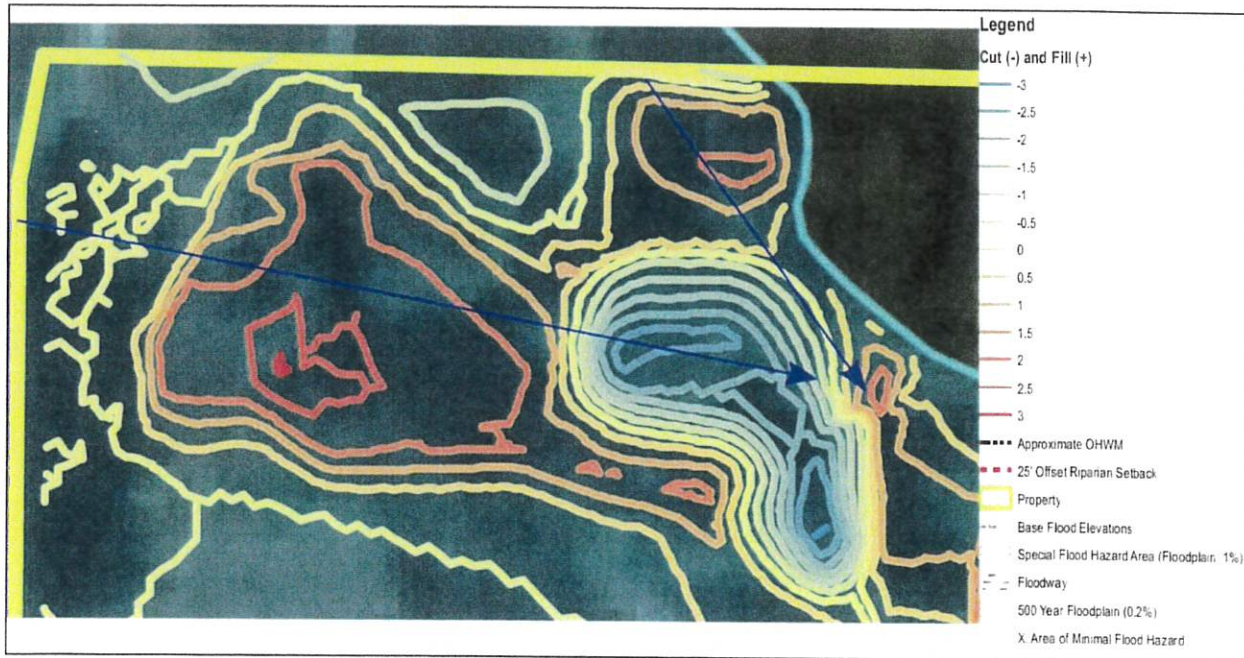


Figure 3. Proposed grading cut and fill quantities showing up to 3 feet of fill to be placed blocking natural drainage patterns (highlighted with blue arrows). Source: Brockway Engineering, PLLC.



Figure 4. Hydraulic model cross section layout showing model does not capture proposed driveway grading in area of interest. Source: Brockway Engineering, PLLC.

- 2) Guideline 17.88.050(E)5 of the floodplain development permit requirements states that landscaping and driveway plans should accommodate the function of the floodplain by allowing for sheet flooding. In this context, the term sheet flooding is understood to describe the natural unobstructed flow of unchanneled water across the floodplain. The proposed driveway would disrupt the natural sheet flow of flood waters in the FEMA floodplain because the driveway is elevated from surrounding topography and perpendicular to the flood flow path. The floodplain development permit indicates that originally the driveway was going to be at the existing grade but the elevation was raised as a requirement for emergency vehicles (no more than 1 foot of water depth on the driveway during the 100-year flood). It is our recommendation that alternatives be evaluated for the proposed driveway that do not limit sheet flow on the floodplain. It is our recommendation that the potential change to sheet flow flooding be evaluated with hydraulic modeling. The installation of culverts to manage the drainage in fact channelizes the flow, reducing the floodplain function, and increasing the risk for backwater, increased velocity and increased erosive forces. A two-dimensional (2-D) hydraulic model would be preferred for this analysis.
- 3) Guideline 17.88.050(E)1b of the floodplain development permit requirements states that a CLOMR-F should be obtained prior to placement of any additional fill in the floodplain. The 2014 LOMA removed portions of the property from the floodplain. Currently, fill in those areas is not

subject to this requirement, and it is not well documented what review or permitting was done for the historic fill placement. The floodplain development permit indicates that there will be an estimated 258 cy of fill on the property in the FEMA floodplain. This fill includes a portion of the proposed residence, which is located in the floodplain, outside the area covered by the 2014 LOMA. The applicant has not completed a CLOMR-F for the fill within the floodplain. It is important to document all fill placed in the floodplain as multiple fill placements can have cumulative effects that adversely impact flooding on adjacent properties. It is our recommendation that the areas of fill on the floodplain be clearly identified on the floodplain development permit and that a CLOMR-F be completed prior to placing any fill material on the FEMA floodplain.

3.0 SUMMARY AND CONCLUSIONS

The technical review of the Badger Residence Project Floodplain Development Permit application materials indicated that proposed site grading and drainage plans do not adhere to the guidelines of the City of Ketchum Floodplain Development Permit and do not align with FEMA NAI policies. The proposed driveway was not demonstrated to maintain flood flow capacity and does not allow for natural sheet flow flooding. The proposed project would place fill in the FEMA floodplain and the potential for adverse impacts has not been thoroughly evaluated. It is our opinion that the current plan has the potential to increase flooding risk on the Osborne property. Hydraulic modeling and design modifications should be completed to demonstrate no adverse impacts on the Osborne property.

REFERENCES CITED

Larson, L., and D. Plasencia. 2001. No Adverse Impact: A New Direction in Floodplain Management Policy.

Adam Crutcher
City of Ketchum Planning and Building
PO Box 2315
191 W 5th Street
Ketchum, ID
BY E-MAIL

April 12, 2023

Dear Members of the Ketchum Planning & Building Department,

We appreciate the opportunity to comment on the Floodplain Development Application for 121 Badger Lane. We are residents of 105 Wood River Drive North and owners of 103 Wood River Drive North which border 121 Badger Lane to the North. We understand the applicant seeks to build a 9,100+ sq ft house that extends beyond the existing FOMA boundary and an additional 1,200 sq ft ADU. We have only reviewed some of the structural and landscape plans as have been provided to us.

Much of 121 Badger Lane and 105 Wood River Drive North are in the flood zone. Notwithstanding the recent drought, during runoff the Big Wood River regularly exceeds its bank creating sheeting water and channels on both the BLM land and the adjoining properties. River water that flows across our property drains to 121 Badger Lane and from there to downstream properties. In past years this has resulted in flooding of downstream neighborhoods. In addition, together with the BLM land and the Big Wood River, this area is an active zone for wildlife, with large and small mammals, waterfowl and birds relying on the cover and wetlands for habitat.

We considered purchasing 121 Badger Lane from a prior owner but determined that it was not suited for a home given its location in the flood zone, existing wetlands and elevations. In fact the previous home on the site was elevated on piers above ground level reflecting the issues posed by flood waters and wetlands. While a LOMA was issued for the site, it remains surrounded by flood zone and wetlands. It currently provides permeable ground and trees and bushes which are important to draining upstream properties and controlling the flow of water to downstream properties.

We are concerned about the proposed construction plans and the proposed landscape plans. Any development will likely have an impact on flow of water above, through and below the site increasing flooding risk in the area. Further expanding the building footprint will likely increase this risk. As well, the landscape plan calls for the addition of extensive hardscape in the floodplain and surrounding existing wetlands, reducing the ability of the site to absorb water, restricting the flow of water across the property and accelerating the flow of water that does cross the property.

When reviewing the proposed plans we would ask you to consider the following at this time:

1. **What would warrant expanding the footprint beyond the LOMA into an existing flood zone?** Ketchum's Code of Ordinances extensively address the risks and costs to the community of development in floodplain, the importance of the Big Wood River and preserving and protecting wildlife. Observed conditions on this site and surrounding areas in the recent past indicate that the risks of extensive development are real and great.

2. **Will the design and scale of the project affect the flow of water for upstream and downstream properties?** We would note that when we rebuilt one of the historic fishing cabins on our property partially within the flood zone we were required to allow for water to pass underneath the cabin, as did the prior home at 121 Badger Lane.
3. **Is the design and amount of hardscape proposed appropriate for the site?** 60% - 70% of the site will be covered by hardscape, including pools, spas, decking, driveways and walkways. In particular, plans include a driveway that runs almost the entire length of the property and surrounds existing wetlands. Even small changes in surface materials and elevation to accommodate a driveway in the flood zone may have a material impact on the flow of water. The proposed drainage for the portion of the driveway not in the flood zone would be on neighbor's properties. Snow storage for a driveway of this length is not addressed but would potentially create further drainage issues. Isn't it more appropriate to have the driveway terminate where existing parking is planned in the ADU, before reaching the flood zone and wetlands and to have significantly less hardscape in the flood zone.
4. **What conditions are required during construction to minimize the impact on neighbors, wetlands and wildlife?** Construction parking and dumpsters are proposed in the flood zone, on top of existing wetlands and directly adjacent to 105 Wood River Drive North. What impact will this have to water flow, wetlands and noise, dust and debris during construction?
5. **What is the potential impact of the proposed development on the extensive wildlife in the area?** Surrounding the wetlands with a driveway will likely affect the wildlife that uses these wetlands. And with the proposed residence directly adjacent to BLM land, what is necessary to protect the habitat for wildlife, given the precedent of downstream neighbors clearing BLM land to enhance their views.

When we built our home at 105 Wood River Drive North, we were careful to keep the building footprint outside of the flood zone, maintaining only historic fishing cabins in the flood zone, to minimize hardscape, to preserve the natural conditions of the property for wildlife and to consult with the previous owners of 121 Badger Lane on our proposed building and landscape plans to minimize its impact on them. The Big Wood River is a precious asset for the people and wildlife of the Wood River Valley which has already been significantly impacted by development along its banks and in its floodplain. We ask the City and its staff to make every effort to protect the River and its adjoining neighborhoods.

We are attaching an additional analysis of the project which raises further questions and issues, provided to us with the request that the providing party not be disclosed at this time. We look forward to further review of the project if it proceeds. Please feel free to contact us if you have any questions regarding our comments.

Sincerely yours,

Nicholas and Stephanie Osborne

FLOODPLAIN

- The plan set did not include any information of the actual Floodplain Analysis. But we have to assume that the engineering consultants have analyzed the cut and fill within the Floodplain, and have provided sufficient documentation/studies that demonstrate there will be no net loss of flood water carrying capacity.
- The proposed design shows 3 culverts that will convey drainage and floodwaters across the property, which roughly follows the existing drainage pattern. And once again, we have to assume that they have been sized correctly to convey floodwaters sufficiently. However, if these culverts become blocked, floodwaters could be forced to backup and affect adjacent properties.

WETLANDS

- The plan set did not include any information of the actual Wetland Analysis. But we have to assume that the consultants have provided a complete study demonstrating no net loss, and adequate restoration.
- The existing wetlands along the west property boundary do not appear to be protected, nor is it clear as to whether that portion of the Wetlands have been included in the overall assessment of no net loss.
- A-100.2 shows portions of the existing wetlands along the west boundary to be within the limit of construction (along with under the dumpster and recycling).
- L3.0 shows lawn over the existing wetlands along the west boundary.
- A sufficient buffer would be appropriate to protect the wetlands from disturbance, grading/fill, manicured lawn (and associated maintenance).
- Given all of the above, it is important to ensure that these wetlands have been adequately analyzed and are part of the overall restoration.

DRIVEWAY

- It is not clear as to how the access driveway will drain, or where it is collected - but it appears it will be draining onto adjacent properties.
- It is also not clear as to how it will be constructed without impacting adjacent properties. The typical section on C-1 shows 4:1 side slopes which would be over the property boundary.

SNOW STORAGE

- I assume that they are proposing to haul snow from the access driveway, but even that will likely impact adjacent properties given the lack of space for equipment to operate effectively.

LANDSCAPING/SCREENING

- There simply is not much room for adequate screening along the north property boundary.
- The proposed plantings along the north boundary, while appreciated for screening, could be potentially problematic in the long term.
- L3.0 shows 7 Subalpine Firs, and 14 Concolor Firs.
- The Subalpine Firs are a naturally narrow-growing conifer which might work in some of the tight spaces as shown.
- However, the Concolor Firs will get much larger and wider – eventually growing well into the adjacent property (as well as into the driveway).
- Consequently, it is likely that over time the proposed trees will go into decline, need to be aggressively pruned, or will be removed due to encroaching into the driveway.

EXHIBIT 4

Nicholas and Stephanie Osborne
105/103 Wood River Drive North
Ketchum, Idaho 83340

July 11, 2023

City of Ketchum Planning and Zoning Commission
191 5th St W
Ketchum, Idaho 83340
BY EMAIL

City of Ketchum Planning and Zoning Commission,

We are writing to Appeal the approval of the development plan for 121 Badger Lane pursuant to Chapter 17.144 of the Ketchum Idaho Code of Ordinances. We believe the process has failed to adequately address issues with respect to the project and its impact on neighbors. On April 12, 2023, we submitted a letter to the Ketchum and Zoning Commission and Staff raising a number of potential issues. While we have been updated periodically by department staff on the status of the review, nothing was done to address the specific concerns and questions we raised. Alternatives, including moving the driveway out of the floodplain, were not considered and adjustments made since that time, including raising the elevation of the driveway, have worsened the issues. At this time we would note the following:

1. A driveway that runs the entire length of the property and through the floodplain and adjacent to our property creates an entirely unnecessary barrier to the flow of water and affects wetlands and water channels that are shared by our property and 121 Badger Lane, and a historic Ketchum fishing cabin on our property. One area of previously identified wetlands on 121 Badger Lane has in fact been removed from the document that show the location of existing and new wetlands. While the development plan may address water and wetlands issues on the site, it does not appear that conditions on neighboring properties have been adequately considered.
2. We understand that the elevation of the driveway was increased to allow required clearance for emergency vehicles because it is in the floodplain. This change raises the barrier for water draining from our property. No consideration appears to have been given to moving the driveway to a location which is less susceptible to flooding and avoids creating an unnecessary barrier in the floodplain or destruction of existing wetlands.
3. While the engineering of the site may allow modeled amounts of water to be conveyed across the site, the amount of water that the site will absorb will be reduced and the speed of the water conveyed will be slowed to the north of the property and accelerated across the property as a result of the construction footprint and hardscape in the floodplain and the channeling of water through culverts.
4. While we understand the flood issues have been considered and engineering solutions proposed, we question the assumptions made about both the conditions that 121 Badger Lane may experience during high water and the impacts of the proposed solutions on neighboring properties. Multiple studies have recently been published indicating that existing government precipitation and flood data has been rendered inaccurate by changing weather and underestimates the potential for flooding, including in Blaine County. Proposed culverts,

culverts create a finite limit on the amount of water that can pass are subject to blockage from debris, snow/ice and wildlife. Snow plowed from the driveway in the floodplain will have no place to go but to areas that are important for drainage.

5. We believe the existing LOMA was inappropriately issued, as a result of significant fill being added to the property, which multiple neighbors can attest to, rather than as a result of natural conditions.

We were surprised by the brevity of the review and the failure to address the specific concerns raised by neighbors given the location of the development in the floodplain and neighbors' familiarity with conditions around the site. We are now consulting with engineers and lawyers to better assess our concerns and potential remedies. We request that the Planning and Zoning Commission also take the time to undertake a more rigorous review of the proposal and potential alternatives that will allow appropriate development with less impact on neighbors. Please let us know how you plan to proceed and what further information we can provide. Adam Crutcher has our contact information.

Sincerely yours,

Nicholas Osborne and Stephanie Osborne

EXHIBIT 5

17.88.010 - Statutory authorization and findings of fact.

Therefore, the Council of the City of Ketchum Idaho does hereby ordain as follows:

1. The flood hazard areas of Ketchum, Idaho, are subject to periodic inundation which results in loss of life and property, health and safety hazards, disruption of commerce and governmental services, extraordinary public expenditures for flood protection and relief, and impairment of the tax base, all of which adversely affect the public health, safety and general welfare.
2. These flood losses are caused by the cumulative effects of obstruction in areas of special flood hazard which increase flood heights and velocities and by development that is inadequately floodproofed, elevated, anchored, or otherwise protected from flood damage.
3. The Big Wood River, its tributaries, and their associated floodplains in Ketchum are important to the well-being of our citizens as they provide recreation, fish and wildlife habitat, aesthetic beauty, a source of irrigation water, as well as other economic and lifestyle values.

17.88.020 - Statement of purpose.

It is the purpose of this chapter to promote the public health, safety, and general welfare, and to minimize public and private losses due to flood conditions in specific areas by provisions designed:

- H. To ensure that those who occupy the areas of special flood hazard assume the responsibility for their actions.
- J. To allow the river and creeks and their adjacent lands to convey floodwaters to minimize property damage;
- N. To restrict or prohibit uses which are injurious to health, safety, or property in times of flood, which result in environmental damage, or that cause increased flood heights or velocities; and

17.88.030 - Methods of reducing flood losses.

In order to accomplish its purposes, this chapter includes methods and provisions for:

- A. Restricting or prohibiting development which is dangerous to health, safety, and property due to water or erosion hazards, or which result in damaging increases in erosion, flood heights, or velocities;
- C. Preserving and restoring natural floodplains, stream channels, and natural protective barriers that carry and store flood waters;

D. Controlling, filling, grading, dredging, and other development which may increase flood damage or erosion; and

E. Preventing or regulating the construction of flood barriers which may unnaturally divert floodwaters, or which may increase flood hazards to any other properties.

17.88.040 - General provisions.

1. Flooding is aggravated by the collection of debris upstream of channel obstructions located in floodplain areas. Such obstructions include, but are not limited to, bridges, fences, houses, and trees. The accumulation of debris can result in significantly higher water surface elevations and flooding beyond limits of the SFHA shown on the FIRMs upstream from the obstructions.

2. Structures located in proximity to waterways, even if the structure's location is outside the boundaries of the SFHA, may be subject to inundation and damages during flood events due to the potential of the channel to change direction abruptly during high flows. In particular, this risk affects lands adjacent to the Big Wood River, which is wide and flat with a relatively shallow channel in many areas.

4. Encroachments (i.e., houses, fill, etc.) on floodplains reduce the flood carrying capacity of the river and its floodplain and increase flood heights, thus increasing flood hazards on land beyond the encroachment. With every new development since the FEMA one percent annual chance boundary was determined, the ability of the floodplain to function as originally assumed changes.

17.88.050 - Administration.

E. *Criteria for evaluation of applications.* The criteria of floodplain development permit applications and riparian alteration permits shall be as follows:

1. The proposal preserves or restores the inherent natural characteristics of the river, floodplain, and riparian zone, including riparian vegetation and wildlife habitat. Development does not alter river channel unless all stream alteration criteria for evaluation are also met.

5. Landscaping and driveway plans to accommodate the function of the floodplain allow for sheet flooding. Surface drainage is controlled and shall not adversely impact adjacent properties including driveways drained away from paved roadways. Culvert(s) under driveways may be required. Landscaping berms shall be designed to not dam or otherwise obstruct floodwaters or divert same onto roads or other public pathways.

6. Floodwater carrying capacity is not diminished by the proposal.

12. Driveways shall comply with City of Ketchum street standards; access for emergency vehicles has been adequately provided for by limiting flood depths in all roadways to one foot or less during the one percent annual chance event.

21. (Wetlands) Where development is proposed that impacts any wetland the first priority shall be to move development from the wetland area. Mitigation strategies shall be proposed at time of application that replace the impacted wetland area with an equal amount and quality of new wetland area or riparian habitat improvement.

1. *Floodplain development variance procedure.*

2. *Considerations.* In passing upon such applications, the Commission shall consider all technical evaluations, and all relevant factors and standards specified in other sections herein and:

a. The danger that materials may be swept onto other lands to the injury of others;

b. The danger to life and property due to flooding or erosion damage;

f. The availability of alternative locations for the proposed use which are not subject to flooding or erosion damage;



City of Ketchum

ATTACHMENT B:

Response Brief

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July 31, 2024

Via e-mail to: Gary Slette (gslette@rsidaholaw.com)
Matthew A. Johnson (mjohnson@WHITEPETERSON.com)

Ketchum Planning and Zoning Commission
P.O. Box 2315
191 5th St., West
Ketchum, ID 83340

RE: 121 Badger Appeal – Respondent’s Brief In Opposition to Appeal

Dear Planning and Zoning Commissioners:

This firm represents 121 Badger Lane, LLC (“**Applicant**”), the Applicant for a Floodplain Development Permit for 121 Badger Lane in Ketchum that was approved by the Ketchum Administrator on May 14, 2024 (“**Decision**”). We provide this responsive briefing to the appeal brief from appellant’s attorney Gary Slette dated July 17, 2024 (“**Appeal Brief**”).

This second appeal of the issuance of a Floodplain Development Permit for 121 Badger Lane should be denied for one main legal reason: because there was no error in the May 14 decision approving the requested Floodplain Development Permit for a new home on the property (the “**Decision**”), nor has one been alleged. The Decision was properly made in accordance with the Administrator’s authority, applicable standards in City Code, and volumes of evidence in the record. For this reason, the appeal lacks a legal basis and should be dismissed.

This appeal also lacks factual basis. The Applicant’s civil engineers have provided volumes of documentation that developing the proposed home on 121 Badger Lane will cause no flooding impacts on the Osborne property. City staff and the City’s consultant engineers have now concluded twice that there will be no impacts of flooding to the Osborne property. Sound engineering practices and concrete evidence in the record shows there is no factual basis for this appeal and it should therefore be dismissed as without merit.

I. Overview of Application and Decision.

As a reminder, this is the second time the Commission is evaluating an appeal for 121 Badger. The original permit was approved administratively and issued in June 2023, appealed by the appellants in July, and heard by the Planning and Zoning Commission after significant delay in December 2023. In that appeal, and again for this appeal, the appellants (the Osbornes) raised concerns that development at 121 Badger would increase floodwater on their property.

The December hearing resulted in a Decision that found no clear error but asked the Planning Department to “conduct supplementary review and analysis” and “further analysis on the modeling difficulties and the evaluation of the involved driveway area,” as well as to work with the Applicant “on evaluation and review of the Application in relation to Ketchum Municipal Code § 17.88.050(5) and (6).”¹ Those criteria relate to whether the plans accommodate the function of the floodplain by allowing sheet flooding, whether the application will adversely impact adjacent property, and whether floodwater carrying capacity is reduced by the application. The Planning Department asked the Applicant to submit another application with additional engineering relating to criteria 5 and 6, which the Applicant submitted in early February 2024.

The Planning Department followed the same procedures for this second application as they did for the first, providing notice and soliciting public comment. That public comment was reviewed by Planning Department staff and considered during the application review process; in fact, staff requested additional information from the Applicant in response to comments a number of times demonstrating a clear intent to address every possible comment. After a thorough review by Planning Department staff and the City’s own engineering consultants, and multiple rounds of requested revisions to address public comments, the Planning Department approved the application in the May 14 Decision letter analyzing precisely how the Application satisfied each of the applicable City Code criteria for approval.

II. The Appeal Must Be Dismissed Because It Does Not Meet Appeal Criteria.

The Appeal does not meet the appeal criteria in City Code and therefore must be dismissed. Ketchum City Code § 17.144.050 requires that the Appellant identify specific error or abuse of discretion in the Notice of Appeal:

The notice of appeal shall be in writing and in such form as shall be available from the office of the administrator, which *shall require to be set forth with specificity all bases for appeal, including the particulars regarding any claimed error or abuse of discretion.*²

Here, Appellant has not alleged, with specificity or otherwise, any error or abuse of discretion. They instead suggest—for the second time in a year—that the Administrator failed to adequately consider the available information, or that other standards should have been used in evaluating the Application. These remain insufficient grounds for an appeal and do not meet the express appeal standards required by City Code.

The arguments are also without merit. The Appeal Brief largely restates the arguments made in both the prior appeal and the letter to accompany the Notice of Appeal filed on May 28, noting six reasons they believe the Decision fell short. Just as they were unpersuasive in the prior appeal, these reasons remain unpersuasive under the applicable Code.

First, they note the historic driveway location and say the Decision inaccurately stated its location. In truth, the Administrator correctly stated in the Decision that the driveway location was on the northern boundary of the property. Regardless, it is irrelevant where the prior driveway

¹ 121 Badger Lane Administrative Appeal: Commission Decision, adopted January 9, 2024, p. 3.

² City Code § 17.144.050 (emphasis added).

existed because there is no Code requirement that redevelopment of a site consider the prior design. Instead, the design of the site must meet Code requirements for a floodplain development permit. The design proposed by the Applicant meets Code requirements as reflected in the Decision. Further, the hydraulic model submitted with the Application demonstrates that the floodwater will not back up onto the Osborne property to the north.

Second, the Appeal Brief notes that the Planning and Building Department did not evaluate alternatives for the proposed development when evaluating risks for floodplain development. The Appeal Brief cites two sections in particular for this requirement in Ketchum City Code, stating: “Where development is proposed that impacts any wetland, the first priority shall be to move the development from the wetland area (17.88.050(E)(21) and consideration of ‘the availability of alternative locations for the proposed use which are not subject to flooding or erosion damage.’ (17.88.050(1)(f) [sic].” Section 17.88.050(E)(21) was met in this application because the application locates the vast majority of the development out of wetlands leaving only a portion of the driveway in that area, and mitigates those wetland impacts on a one-to-one basis as required by Code. As the Decision states, “The proposed development will impact, permanently fill approximately 1,277 square feet of wetlands with proposed wetland mitigation creating approximately 1,278 square feet of wetlands.” The second Code reference, § 17.88.050(1)(f) is erroneous but appears to be referring to 17.88.050(I)(2)(f), the evaluation standards for variance applications. This is not applicable because the Applicant did not apply for or receive a variance.

Third, the Appeal Brief repeats an argument from the prior appeal that the proposed driveway acts as a barrier to the passage of floodwaters. The topographic data does not support the claim that the proposed driveway will act as a barrier to flood water flow. The native ground elevations downstream of the proposed driveway location are 5786.8’, 5786.6’ and 5786.1’, all of which are higher than the driveway elevation at the area in question at 5786.0’. Placing the driveway in the proposed location will not create an additional barrier to flood flows since the driveway is lower than the existing grades. Flood flows will pass through the culverts and over the driveway to the same areas as has happened historically. The Appeal Brief states that the proposed culverts only addresses the eastern part of the floodplain. However, the western part of the property is primarily outside of the floodplain by elevation. High ground runs north and south and includes the proposed residence and the shed on the Osborne property, which further separates flood flow to the north of 121 Badger Lane. The primary movement of flood water is to the west of 121 Badger Lane. All hydraulic modeling indicates that the project will not adversely impact the Osbornes. Furthermore, none of the Osborne property is located to the west of the proposed project.

Fourth, the Appeal Brief says “culverts are not the answer,” and indicates concerns about blockages. Culverts are effective engineering devices for facilitating drainage and are used extensively throughout the Wood River Valley. Culverts are a standard practice for moving water under driveways and roadways throughout the world. The claim that the proposed culverts are inadequate to ensure adequate drainage is both unsubstantiated and unjustified. Several engineering models have shown that there will not be any impact in water levels at the property line. The proposed culverts were designed to carry the calculated floodwater with a conservative clogging factor of 50%. This clogging factor is not required by Code, but instead was added by City staff during the review process, and operates to demonstrate no adverse effects even under quite significant clogging. The culverts were designed to carry sufficient flood flow so that the elevation rise at the property line from the proposed project was 0.00-ft. Condition #15 of the

Decision indicates that the City has the right to enter onto the land to ensure culverts are appropriately maintained. The condition does not expire, so the maintenance requirement will apply to any future owners.

Fifth, the Appeal Brief again claims the LOMA was improperly issued and that the City should use another map that is not adopted into Code and has yet to be finalized. The LOMA was properly issued in 2014. However, this application does not require or rely on the LOMA to develop in the floodplain. Instead, an application must meet the applicable Code standards, including minimizing impact to the floodplain. Staff, staff's consultant engineers, and the Administrator have now found twice that this application complies with Ketchum Code requirements.

Sixth and finally, the Appeal Brief states that the Applicant's plan risks flooding a "historic fishing cabin" on the Osborne property that the Appeal Brief states "remains on its original foundation of river rock." Historical site photos instead show that the referenced cabin did not exist in its current location prior to the subdivision of 105 Wood River Dr. It is also no longer on a historic rock foundation. Contrary to appellants' claims, the evidence suggests the cabin was recently moved to its current location in the floodplain. In its current location, the cabin is located within the side yard setbacks of 105 Wood River Dr. and encroaches across the property line between 105 Wood River Drive and 121 Badger Lane. Regardless of its historical location, the engineering models have demonstrated that the proposed project would not impact floodwater elevations at the property line and therefore the cabin in its current location would not be affected.

III. The Decision Meets City Code Requirements.

Finally, the Decision should be affirmed again by the Commission because the Decision analyzes all of the applicable criteria under Ketchum City Code § 17.88.050(E)(1) through (21), § 17.88.060.(A)(1) through (3), § 17.88.060(B)(1) and § 17.88.060(B)(2)(a) through (c), analyzing how the Application meets each criteria.

With specific regard to § 17.88.050(E)(5) and (E)(6), for which the Commission previously sought more information, the Decision provides additional detail. While analyzing Section 17.88.050(E)(5), the Decision says that the driveway was slightly raised for emergency vehicle access requirements, which could result in increased floodwaters. The Decision then states:

To resolve this issue, three culverts (24" HDPE) have been proposed underneath the driveway to allow for floodwaters to pass under the driveway in order to not have an adverse impact on the adjacent property owner. A HEC-RAS model was run for the site and showed three culverts would result in no increased floodwater at cross section Badger 6 (along northern property line). The installation of the three culverts would result in most floodwater running underneath the driveway. An HY-8 model was also run to evaluate the proposed culverts that are in series under the driveway. The HEC-RAS model was found to have the more conservative results and was therefore used to determine the necessary culverts needed. A separate weir flow analysis was conducted to determine the capacity of the culvert inlets under clogged conditions and found that the culverts had adequate capacity to carry floodwaters with 50% of the grate being clogged. As mentioned in condition of

approval #15, culverts are required to be maintained and kept clear to ensure sufficient carrying capacity. No landscape berms are proposed.

The Decision also carefully analyzes criteria (E)(6), which requires that flood water carrying capacity is not diminished by the proposal. The analysis states:

The proposed development has more excavation (274 cubic yards) than fill (258 cubic yards) resulting in a net 16 cubic yards of cut on the subject property. All cut and fill considered for floodwater carrying capacity is below the Base Flood Elevation (BFE). As mentioned previously, HEC-RAS model for the site shows no increase in floodwaters on adjacent properties to the north & south.

Because the Decision properly and adequately analyzes all applicable criteria for approval, there is no error in the Decision.

IV. Conclusion

In closing, we ask that the Decision be upheld and the appeal dismissed. Since the prior appeal, the Applicant has gone above and beyond what is required under Code, providing hundreds of pages of additional documentation including every item of additional information requested by the City to demonstrate that there will be no impact to the Appellant's property. The Appellant has still offered no reason why anything staff did was erroneous so as to justify this appeal. We therefore ask that you uphold the decision of the Planning Staff and the City's engineering consultants and dismiss the Appellant's efforts to delay this project even further. Thank you for your time and consideration.

Sincerely,



Danielle M. Strollo



City of Ketchum

ATTACHMENT C:

Appellants Reply Brief

Robertson & Slette, p.l.l.c.

J. EVAN ROBERTSON

GARY D. SLETTE

Cassie Chapman – Paralegal
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August 2, 2024



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City of Ketchum Planning and Zoning Commission
P.O. Box 2315
191 5th St. West
Ketchum, Idaho 83340

RE: 121 BADGER APPEAL / APPELLANTS' REPLY BRIEF

Dear Planning and Zoning Commissioners,

Our law firm represents Nicholas and Stephanie Osborne, the Appellants in this case. The following constitutes their Reply Brief, and these points are intended to be responsive to individual sections of the Respondent's Brief in Opposition to Appeal.

Section II, 1st and 2nd Paragraphs – The Appellants have been clear in their Notice of Appeal and in their Opening Brief about the identification of claimed errors or abuses of discretion with regard to the staff's analysis. It is to exalt form over substance to suggest that the Appellants needed to articulate those precise words in order to file their Notice of Appeal and to advance their arguments on appeal. If the Notice of Appeal was facially devoid of merit, the City staff presumably would have rejected it instead of processing it as has been done.

Section II, 4th Paragraph – It cannot be questioned that the location of the driveway that has traditionally served the property turns south prior to entering the floodplain, a fact which is shown on the Applicant's Landscape Plan, Existing Conditions L1.1. There presumably was a reason to put the driveway in that location because it avoided interference with existing wetlands and the floodplain. That is precisely why the Appellants have asserted a lack of evaluation of alternatives for this site. Just because the Applicant desires the new driveway location to be in flood prone and wetland areas does not mean the City should simply acquiesce to those desires.

Section II, 5th Paragraph – The Appellants can find nothing in the Ketchum Municipal Code which states that having a "one to one basis" of cut and fill overrides the requirements of 17.88.050(E)(21). In general, filling in the floodplain is highly discouraged, and most often prohibited, by all jurisdictions in Blaine County. Additionally, by adding fill to further raise the proposed new driveway location on the northern boundary of the Applicant's property only serves to increase the flood potential on the Appellants' property.

Section II, 6th Paragraph – Counsel for the Applicant only addresses issues created at the east end of the floodplain on the Applicant’s property. It is true that there are existing elevations south of the proposed driveway in the eastern portion that are at elevation 5786. However, there is an existing wetland area on the property line where the culverts are proposed to be placed that is proposed to be filled and covered with the driveway. That will raise the elevation from 5784.8/.9 to 5786. The statement that the western part of the property is outside of the floodplain is not accurate because only the LOMA portion is outside the floodplain. As shown in the Galena-Benchmark Engineering Grading and Drainage Plan C-1 the western portion of the driveway will have elevations on the north side of 5786.75 to 5787.25 which are above the Base Flood Elevation (“BFE”) of 5786.5, and above the existing elevation of 5785/86. As such, water would have to run uphill. In addition, wetlands in this area will be filled raising the elevation from 5783.6/84.3 to 5786.55/5786.85, which again is above the BFE. The statement that the primary movement of floodwater is to the west of 121 Badger Lane is true because that is where the river is situated, but most of the property is in the floodplain and there are two distinct channels, one in the eastern portion of the floodplain and one in the western portion of the floodplain on both properties where flood waters flow north to south from the Osbornes’ property to 121 Badger Lane. The proposed culverts only address water that flows in the eastern channel. To fully comprehend and analyze the situation, the Commission would be best served by conducting an on-site inspection of the property itself.

Section II, 7th Paragraph – The proposed approach by staff appears entirely inadequate. Just because the City claims a right to be able to enter the Applicant’s property “to ensure culverts are appropriately maintained” does not translate to an obligation on the part of a future owner to get out there with a shovel or a backhoe in flood conditions when the culverts are not being appropriately maintained. The property is being developed for sale, and the Appellants are not aware of any affirmative covenant that would compel the current owner, or a future owner, to conduct maintenance activities to preclude floodwaters from accumulating on the Appellants’ property.

Section II, 9th Paragraph – The alleged encroachment of the fishing cabin on the parties’ common boundary is a red-herring diversionary tactic now advanced by the Applicant. It has no bearing on the wisdom or the efficacy of the Applicant’s proposed plan to raise the elevation of a new driveway in the floodplain in an area immediately adjacent to the Appellants’ property. (For what it’s worth, the last time the Osbornes looked, the fishing cabin was still on its rock and log foundation.)

Section III, 2nd Paragraph – The proposed culverts only address the eastern portion of the property. It should be of interest that the City of Ketchum has joined with Blaine County and the other cities in the Wood River Valley in adopting the “Blaine County Multi-Jurisdictional All Hazard Mitigation Plan”. One of the high-ranking projects identified in that Plan is to “Develop a listing of roads, bridges, cattle guards, culverts and other limiting conditions ...”. To the Osbornes, it seems entirely incongruous to add three culverts in the floodplain which will only serve to become a “limiting condition” to the passage of 100-year flood flows.

Section III, 3rd Paragraph – Stated again, the Appellants have not been able to find anything in the City Code which provides the balance of cut and fill as an adequate remediation technique. While the cut and fill may be below the BFE, the driveway in a number of areas is not so situated.

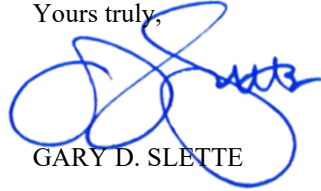
August 2, 2024

Page 3

The Appellants also claim that Ketchum City Code 17.88.050 (G) (1) (a) allows the City to consider “whether there have been significant amendments to the City’s...draft or interim floodplain maps...which will apply to the subject approval”. Draft floodplain maps as of April 2024, available via the City’s website, identify significant amendments to the floodplain map on the proposed building site. The Applicant’s Response does not address this issue.

Thank you for your consideration.

Yours truly,

A handwritten signature in blue ink, appearing to read 'G. Slette', is written over the text 'Yours truly,'.

GARY D. SLETTE

cc: Clients

Matthew Johnson

Danielle Strollo



City of Ketchum

ATTACHMENT D:

Floodplain Development Permit – Findings of Fact and Approved Plans



City of Ketchum
Planning & Building

**CITY OF KETCHUM
ZONING CODE TITLE 17
ADMINISTRATIVE FLOODPLAIN DEVELOPMENT PERMIT
FINDINGS AND DECISION**

PROJECT: Badger Residence

FILE NUMBER: P23-014

OWNER: 121 Badger Lane LLC

REPRESENTATIVE: Erik de Bruijn

REQUEST: Request to construct a new single-family residence on subject property

LOCATION: 121 Badger Ln (ROCKING RANCH SUB #2 PARCEL 4 47,480SF)

ZONING: Limited Residential (LR)

OVERLAYS: Floodplain Management Overlay

REVIEWERS: Adam Crutcher – Associate Planner

NOTICING: Notice sent to 300-ft adjoiners 2/7/2024

BACKGROUND FACTS

1. The City of Ketchum is a municipal corporation organized under Article XII of the Idaho Constitution and the laws of the State of Idaho, Title 50, Idaho Code. Under Chapter 65, Title 67 of the Idaho Code, the City is required to pass certain ordinances regarding land use, including a zoning ordinance.
2. Pursuant to Zoning Code Title 17, Section 17.88.050(D)1, the administrator shall have the authority to consider and approve, approve with conditions, or deny applications for floodplain development permits and for waterways design review.
3. The scope of work consists of the construction of a new single-family residence. The proposed residence is located partially within the Special Flood Hazard Area (SFHA). The contains wetlands which are proposed to be modified and relocated.
4. The project site contains floodplain.
5. The original application was approved on June 26, 2023, and subsequently appealed (P23-014A) to the Planning & Zoning Commission. The Commission held the appeal hearing on December 12, 2023 and remanded the application back to staff for further analysis to ensure that no adverse impact to the adjacent property to the north would occur as a result of the proposed development. The written decision of this remanding was finalized and signed on January 9, 2024.

FINDINGS OF CONFORMANCE WITH FLOODPLAIN DEVELOPMENT REQUIREMENTS

Floodplain Development Permit Requirements		
1. EVALUATION STANDARDS: 17.88.050(E)		

Compliant			Standards and Staff Comments	
Yes	No	N/A	Guideline	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.050(E)1	<p>The proposal preserves or restores the inherent natural characteristics of the river, floodplain, and riparian zone, including riparian vegetation and wildlife habitat. Development does not alter river channel unless all stream alteration criteria for evaluation are also met.</p> <p><i>Staff Comments</i> The proposal preserves the inherent natural characteristics of the floodplain by allowing floodwaters to flow in its historic path (north to south). Historically, the subject property has had a road/driveway at the northern boundary with a culvert underneath. This has led to most floodwaters to overtop the driveway with some flowing through the culvert. The proposal adds additional culverts to allow for increased amount of floodwaters to flow underneath the proposed driveway with less overtopping. A majority of proposed residence and ADU are located outside of floodplain due to LOMA for property. Plantings on the property are native with those in delineated wetlands being appropriate species.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.88.050(E)2	<p>No temporary construction activities, encroachment or other disturbance into the 25-foot riparian zone, including encroachment of below grade structures, shall be permitted, with the exception of approved stream stabilization work and restoration work associated with a riparian zone that is degraded.</p> <p><i>Staff Comments</i> The subject property does not contain the 25-foot riparian zone.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.88.050(E)3	<p>No permanent development shall occur within the 25-foot riparian zone, with the exception of approved stream stabilization work and restoration work associated with permit issued under this title, or exceptions as described below: a. Access to a property where no other primary access is available; b. Emergency access required by the fire department; c. A single defined pathways or staircases for the purpose of providing access to the river channel and in order to mitigate multiple undefined social paths; d. Development by the City of Ketchum.</p> <p><i>Staff Comments</i> The subject property does not contain the 25-foot riparian zone.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.88.050(E)4	<p>New or replacement planting and vegetation in the riparian zone shall include plantings that are low growing and have dense root systems for the purpose of stabilizing stream banks and repairing damage previously done to riparian vegetation. Examples of such plantings most commonly include: red osier dogwood, common</p>

Compliant			Standards and Staff Comments	
Yes	No	N/A	Guideline	City Standards and Staff Comments
				chokecherry, serviceberry, elderberry, river birch, skunk bush sumac, Beb's willow, Drummond's willow, little wild rose, gooseberry, and honeysuckle. However, in rare instances the distance from the top-of-bank to the mean high water mark is significant and the native vegetation appropriate for the riparian zone are low growing, drought resistant grasses and shrubs. Replacement planting and vegetation shall be appropriate for the specific site conditions. Proposal does not include vegetation within the 25-foot riparian zone that is degraded, not natural, or which does not promote bank stability.
			Staff Comments	<i>The subject property does not contain the 25-foot riparian zone. Still the project does contain wetlands and proposes species associated with riparian habitat.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.050(E)5	Landscaping and driveway plans to accommodate the function of the floodplain allow for sheet flooding. Surface drainage is controlled and shall not adversely impact adjacent properties including driveways drained away from paved roadways. Culvert(s) under driveways may be required. Landscaping berms shall be designed to not dam or otherwise obstruct floodwaters or divert same onto roads or other public pathways.
			Staff Comments	<i>Driveway is slightly raised to ensure no more than 1-ft of flooding occurs (emergency vehicle requirement). As a result of the raised driveway, if no culverts were placed underneath, the adjacent property to the north would be adversely impacted with increased floodwaters. To resolve this issue, three culverts (24" HDPE) have been proposed underneath the driveway to allow for floodwaters to pass under the driveway in order to not have an adverse impact on the adjacent property owner. A HEC-RAS model was run for the site was run and showed three culverts would result in no increased floodwater at cross section Badger 6 (along northern property line). The installation of the three culverts would result in most floodwater running underneath the driveway. An HY-8 model was also run to evaluate the proposed culverts that are in series under the driveway. The HEC-RAS model was found to have the more conservative results and was therefore used to determine the necessary culverts needed. A separate weir flow analysis was conducted to determine the capacity of the culvert inlets under clogged conditions and found that the culverts had adequate capacity to carry floodwaters with 50% of the grate being clogged. As mentioned in condition of approval #15, culverts are required to be maintained and kept clear to ensure sufficient carrying capacity. No landscape berms are proposed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.050(E)6	Flood water carrying capacity is not diminished by the proposal.
			Staff Comments	<i>The proposed development has more excavation (274 cubic yards) than fill (258 cubic yards) resulting in a net 16 cubic yards of cut on the subject property. All cut and fill considered for floodwater carrying capacity is below the Base Flood Elevation (BFE). As mentioned previously, HEC-RAS model for the site shows no increase</i>

Compliant			Standards and Staff Comments	
Yes	No	N/A	Guideline	City Standards and Staff Comments
				<i>in floodwaters on adjacent properties to the north & south. The driveway is slightly raised to ensure no more than 1-ft of flooding occurs (emergency vehicle requirement). As a result of the raised driveway, if no culverts were placed underneath, the adjacent property to the north would be adversely impacted with increased floodwaters. To resolve this issue, three culverts (24" HDPE) have been proposed underneath the driveway to allow for floodwaters to pass under the driveway in order to not have an adverse impact on the adjacent property owner.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.050(E)7	Impacts of the development on aquatic life, recreation, or water quality upstream, downstream or across the stream are not adverse.
			Staff Comments	<i>The subject property is not adjacent to the Big Wood River. The wetland plantings will be beneficial to water quality and aquatic life. No work is proposed within the floodway or stream. No downstream impacts or across stream impacts will be associated with the approved landscape plan (L3.0).</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.88.050(E)8	Building setback in excess of the minimum required along waterways is encouraged. An additional ten-foot building setback beyond the required 25-foot riparian zone is encouraged to provide for yards, decks and patios outside the 25-foot riparian zone.
			Staff Comments	<i>N/A. The subject property does not contain the 25-foot riparian zone.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.050(E)9	The top of the lowest floor of a building located in, or partially within, the SFHA shall be at or above the flood protection elevation (FPE). A building is considered to be partially within the SFHA if any portion of the building or appendage of the building, such as footings, attached decks, posts for upper story decks, are located within the SFHA. See section 17.88.060, figures 1 and 2 of this chapter to reference construction details. See chapter 17.08 of this title for definition of "lowest floor." a. In the SFHA where base flood elevations (BFEs) have been determined, the FPE shall be 24 inches above the BFE for the subject property; 24 inches or two feet is the required freeboard in Ketchum City Limits. b. In the SFHA where no BFE has been established, the FPE shall be at least two feet above the highest adjacent grade.
			Staff Comments	<i>The top of the lowest floor (finished floor) will be elevated 24" above the Base Flood Elevation of 5786.5. As the proposed elevation is located within the AE zone the top of the lowest floor is required to be 24" above the BFE.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.050(E)10	The backfill used around the foundation in the SFHA floodplain shall provide a reasonable transition to existing grade but shall not be used to fill the parcel to any greater extent. a. Compensatory storage shall be required for any fill placed within the floodplain. b. A CLOMR-F shall be obtained prior to placement of any additional fill in the floodplain.

Compliant			Standards and Staff Comments	
Yes	No	N/A	Guideline	City Standards and Staff Comments
			Staff Comments	<i>An estimated 258 cubic yards of fill will be placed within the SFHA. The excavation on the site is proposed to be 274 cubic yards, resulting in 16 cubic yards of excess excavation. Fill and excavation on the site transitions to existing grade within the property boundaries.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.050(E)1 1	All new buildings located partially or wholly within the SFHA shall be constructed on foundations that are designed by a licensed professional engineer.
			Staff Comments	<i>Both buildings will be constructed with concrete slab on grade foundations designed by David Funk who is a licensed professional engineer within Idaho.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.050(E)1 2	Driveways shall comply with City of Ketchum street standards; access for emergency vehicles has been adequately provided for by limiting flood depths in all roadways to one foot or less during the one percent annual chance event.
			Staff Comments	<i>Driveway complies with City of Ketchum street standards. The Fire & Streets Departments have both approved the proposed driveway design. Driveway has been elevated so no greater than 1 foot of floodwater may over top during the one percent annual chance flood.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.050(E)1 3	Landscaping or revegetation shall conceal cuts and fills required for driveways and other elements of the development.
			Staff Comments	<i>Landscaping is proposed on all areas of the property including driveways and other elements of the development. The landscaping will conceal any cuts and fill which are required.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.88.050(E)1 4	(Stream Alteration) The proposal is shown to be a permanent solution and creates a stable situation.
			Staff Comments	<i>N/A - Stream Alteration is not proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.88.050(E)1 5	(Stream alteration.) No increase to the one percent annual chance flood elevation at any location in the community, based on hydrologic and hydraulic analysis performed in accordance with standard engineering practice and has been certified and submitted with supporting calculations and a No Rise Certificate, by a registered Idaho engineer.
			Staff Comments	<i>N/A - Stream Alteration is not proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.88.050(E)1 6	(Stream alteration.) The project has demonstrated no adverse impact or has demonstrated all impacts will be mitigated.
			Staff Comments	<i>N/A - Stream Alteration is not proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.88.050(E)1 7	(Stream alteration.) The recreational use of the stream including access along any and all public pedestrian/fisher's easements and the aesthetic beauty shall not be obstructed or interfered with by the proposed work.
			Staff Comments	<i>N/A - Stream Alteration is not proposed.</i>

Compliant			Standards and Staff Comments	
Yes	No	N/A	Guideline	City Standards and <i>Staff Comments</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.88.050(E)18	(Stream alteration) Fish habitat is maintained or improved as a result of the work proposed.
			<i>Staff Comments</i>	<i>N/A - Stream Alteration is not proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.88.050(E)19	(Stream alteration.) The proposed work shall not be in conflict with the local public interest, including, but not limited to, property values, fish and wildlife habitat, aquatic life, recreation and access to public lands and waters, aesthetic beauty of the stream and water quality.
			<i>Staff Comments</i>	<i>N/A - Stream Alteration is not proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.88.050(E)20	(Stream alteration.) The work proposed is for the protection of the public health, safety and/or welfare such as public schools, sewage treatment plant, water and sewer distribution lines and bridges providing particularly limited or sole access to areas of habitation.
			<i>Staff Comments</i>	<i>N/A - Stream Alteration is not proposed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.050(E)21	(Wetlands) Where development is proposed that impacts any wetland the first priority shall be to move development from the wetland area. Mitigation strategies shall be proposed at time of application that replace the impacted wetland area with an equal amount and quality of new wetland area or riparian habitat improvement.
			<i>Staff Comments</i>	<i>Project site contains wetlands as delineated by Trent Stumph with Sawtooth Environmental. The proposed development will impact, permanently fill approximately 1,277 square feet of wetlands with proposed wetland mitigation creating approximately 1,278 square feet of wetlands. Wetlands include species such as Bebbs Willows, Red-osier Dogwood, and Quaking Aspen.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.060.A.1	A. General Standards: In all areas of special flood hazard, the following standards are required: 1. Anchoring: a. All new construction and substantial improvements shall be anchored to prevent flotation, collapse, or lateral movement of the structure resulting from hydrodynamic and hydrostatic loads, including the effects of buoyancy. b. All manufactured homes must likewise be anchored to prevent flotation, collapse or lateral movement, and shall be installed using methods and practices that minimize flood damage. Anchoring methods may include, but are not limited to, use of over the top or frame ties to ground anchors (reference the Federal Emergency Management Agency's "Manufactured Home Installation in Flood Hazard Areas" guidebook for additional techniques).
			<i>Staff Comments</i>	<i>The proposed development is a single-family home that will be constructed on site and attached to a foundation designed by a professional engineer. Sheet S-111A indicates foundation has been designed to meet standards of this section. The new construction will be anchored to prevent flotation, collapse, or lateral movements.</i>

Compliant			Standards and Staff Comments	
Yes	No	N/A	Guideline	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.060.A.2	<p>2. Construction Materials And Methods:</p> <p>a. All structural and nonstructural building materials utilized at or below the base flood elevation must be flood resistant. Flood damage resistant materials must be used for all building elements subject to exposure to floodwaters, including floor joists, insulation, and ductwork. If flood damage resistant materials are not used for building elements, those elements must be elevated above the base flood elevation. This requirement applies regardless of the expected or historical flood duration.</p> <p>b. All new construction and substantial improvements shall be constructed using methods and practices that minimize flood damage.</p> <p>c. Electrical, heating, ventilation, plumbing and air conditioning equipment and other service facilities shall be designed and/or otherwise elevated or located so as to prevent water from entering or accumulating within the components during conditions of flooding.</p>
			Staff Comments	<p>A. Proposed materials below the BFE include reinforced concrete & galvanized steel. Both materials are acceptable per FEMA Technical Bulletin 2.</p> <p>B. This project consists of new construction. All floodplain development regulations required by Ketchum Municipal Code will be met.</p> <p>C. The mechanical room and all mechanical equipment are to be located above the BFE and outside of the SFHA. No HVAC or electrical panels will be located below the BFE. Any plumbing and electrical leading from mains to the residence will be watertight and located underground.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.060.A.3	<p>3. Utilities:</p> <p>a. All new and replacement water supply systems shall be designed to minimize or eliminate infiltration of floodwaters into the system;</p> <p>b. New and replacement sanitary sewage systems shall be designed to minimize or eliminate infiltration of floodwaters into the systems and discharge from the systems into floodwaters; and</p> <p>c. On site waste disposal systems shall be located to avoid impairment to them or contamination from them during flooding.</p>
			Staff Comments	Water and sewer services into the residence will be located underground and built to required plumbing codes
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.88.060.B.1	<p>1. All construction in AO zones shall be designed and constructed with drainage paths around structures to guide water away from structures</p>
			Staff Comments	Proposed residence is within the AE zone, not the AO.

Compliant			Standards and Staff Comments	
Yes	No	N/A	Guideline	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.060.B.2. a	<p>2. Residential Construction: a. New construction and substantial improvement of any residential structure in any A1-30, AE and AH zone shall have the top of the lowest floor, including basement, elevated a minimum of twenty four inches (24") above the base flood elevation.</p> <p>Staff Comments <i>The top of the lowest floor (finished floor) will be elevated 24" above the Base Flood Elevation of 5786.5'. As the proposed elevation is located within the AE zone the top of the lowest floor is required to be 24" above the BFE. Sheets A-400, A-401, & A-402 show lowest floor elevated above BFE by 24".</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.88.060.B.2. b	<p>b. New construction and substantial improvement of any residential structure in any AO zone shall have the lowest floor, including basement, elevated to or above the highest adjacent grade at least as high as the FIRM's depth number plus twenty four inches (24").</p> <p>Staff Comments <i>N/A. Proposed residence is within the AE zone, not the AO</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.060.B.2. c.	<p>c. Fully enclosed areas below the lowest floor that are subject to flooding are prohibited, or shall be designed to automatically equalize hydrostatic flood forces on exterior walls by allowing for the entry and exit of floodwaters. Designs for meeting this requirement must either be certified by a registered professional engineer or architect or must meet or exceed the following minimum criteria (see figures 1, "Preferred Crawl Space Construction", and 2, "Below Grade Crawl Space Construction", of this section):</p> <p>Staff Comments <i>The residence will have one fully enclosed area not raised to the flood protection elevation: the garage. The garage has been designed to include to automatically equalize hydrostatic flood forces on exterior walls through the installation of flood openings (Smart Vents have been specified for this project). The appropriate number of vents to cover the square footage the enclosed area are proposed –6 openings for the garage.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.060.B.2. c.(1)	<p>(1) A minimum of two (2) openings having a total net area of not less than one square inch for every square foot of enclosed area subject to flooding shall be provided. Openings shall be placed on at least two (2) walls to permit entry and exit of floodwaters.</p> <p>Staff Comments <i>Flood openings are placed on at least two walls. Engineered Smart Vents are proposed. One Smart Vent is sized for 200 square feet of floor area. The garage is 1170 sq ft and 6 Smart Vents are proposed. See sheet A-110.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.060.B.2. c.(2)	<p>(2) The bottom of each flood vent opening shall be no higher than one foot (1') above the lowest adjacent exterior grade.</p> <p>Staff Comments <i>Spec sheets for proposed flood vents indicate this requirement will be met. Bottom of proposed flood vents will be a maximum of one foot (1') above finished grade.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.060.B.2. c.(3)	<p>(3) Engineered flood vents are required.</p>

Compliant			Standards and Staff Comments	
Yes	No	N/A	Guideline	City Standards and Staff Comments
			Staff Comments	<i>Proposed vents are Engineered Smart Vents</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.060.B2. c.(4)	(4) Portions of the building below the base flood elevation shall be constructed with material resistant to flood damage.
			Staff Comments	<i>This standard has been met. See 17.88.060.A.2</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.88.060.B2. c.(5)	(5) The interior grade of a below grade crawl space (see figure 2, "Below Grade Crawl Space Construction", of this section) below the base flood elevation shall not be more than two feet (2') below the lowest adjacent exterior grade.
			Staff Comments	<i>N/A. No crawlspace proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.88.060.B2. c.(5)	6) The height of a below grade crawl space, measured from the interior grade of the crawl space to the top of the crawl space foundation wall, shall not exceed four feet (4') at any point.
			Staff Comments	<i>N/A. No crawlspace proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.88.060.B2. c.(5)	(7) A below grade crawl space shall have an adequate drainage system that removes floodwaters from the interior area of the crawl space within a reasonable time after a flood event.
			Staff Comments	<i>N/A. No crawlspace proposed.</i>
			17.88.060.B2. c.(6)	(8) The velocity of floodwaters at the site should not exceed five feet per second for any crawlspace
			Staff Comments	<i>N/A. No crawlspace proposed.</i>

CONCLUSIONS OF LAW

1. The City of Ketchum is a municipal corporation organized under Article XII of the Idaho Constitution and the laws of the State of Idaho, Title 50, Idaho Code;
2. Under Chapter 65, Title 67, of the Idaho Code the City has passed a zoning ordinance, Title 17;
3. The City of Ketchum Planning Department provided adequate notice of opportunity to comment on this application pursuant to Chapter 17.88.050 D of the zoning ordinance, Title 17;
4. The project **does** meet the standards of approval under Chapter 17.88 of Zoning Code Title 17.

DECISION

THEREFORE, the Administrative Floodplain Development Permit for the proposed project, Badger Residence, is approved on this date, May 14, 2024, with the following conditions.

Conditions of Approval

1. This approval is subject to the scope of work described in the documents shown in Attachment A.
2. Any modification to approved plans as referenced in this approval shall be subject to a written amendment to this permit approval. If construction or improvements differ from the approved plans, such work may be subject to removal at the applicants expense.
3. Follow up site visits to ensure compliance with the approved Landscaping Plan, L5.0 dated 4/29/2024, are required for the three (3) years following the initial site visit that occurs in conjunction with issuance of the Certificate of Occupancy.
 - A. If, upon an annual inspection, 80% or fewer of the plants indicated on Landscape Plan L5.0 dated 4/29/2024 have not survived, the property owner shall re-install new plantings.
4. Floodplain Development Permit approval shall expire one (1) year from the date of signing of approved Findings of Fact per the terms of KMC, Section 17.88.050.G, Terms of Approval, if construction has not commenced. Once a building permit has been issued, the approval shall be valid for the duration of the building permit.
5. No use of restricted use chemicals or soil sterilants will be allowed within one hundred feet (100') of the mean high-water mark on any property within the city limits at any time (KMC 17.88.040.C.3);
6. All applications of herbicides and/or pesticides within one hundred feet (100') of the mean high water mark, but not within twenty five feet (25') of the mean high water mark, must be done by a licensed applicator and applied at the minimum application rates (KMC 17.88.040.C.4);
7. Application times for herbicides and/or pesticides will be limited to two (2) times a year; once in the spring and once in the fall unless otherwise approved by the City Arborist (KMC 17.88.040.C.5);
8. It shall be unlawful to dump, deposit or otherwise cause any trash, landscape debris or other material to be placed in any stream, channel, ditch, pond or basin that regularly or periodically carries or stores water.
9. A building under-construction Elevation Certificate (FEMA FORM 86-0-33) shall be submitted within seven calendar days upon completion of the foundation and lowest floor.
10. A final, as built finished construction Elevation Certificate (FEMA Form 86-0-33) with supporting documentation such as an as-built survey of the project produced by a surveyor or engineer licensed in Idaho demonstrating that the project was constructed in accordance with the approved plans, shall be submitted prior to issuance of Certificate of Occupancy. Deficiencies detected by such documentation shall be corrected by the permit holder immediately and prior to certificate of occupancy issuance. In some instances, another certification may be required to certify corrected as-built construction. Failure to submit the certification or failure to make required corrections shall be cause to withhold the issuance of a certificate of occupancy.
11. The finished construction elevation certificate certifier shall provide at least two photographs showing the front and rear of the building taken within 90 days from the date of certification. The photographs must be taken with views confirming the building description and elevation locations identified on the approved plans. To the extent possible, these photographs should show the entire building including foundation. If the building has split-level or multi-level areas, provide at least two additional photographs showing side views of the building. In addition, when applicable, provide a photograph of the foundation showing a representative example of the flood openings or vents if applicable. All photographs must be in color and measure at least three inches by three inches. Digital photographs are acceptable.
12. An inspection to verify flood vent placement shall be scheduled within seven calendar days upon completion of first floor framing.
13. The Administrator may conduct site inspections of work in progress. The Administrator may make as many inspections of the work as may be necessary to ensure that the work is being done according to the terms of this permit, approved plans and KMC 17.88. In exercising this power, the Administrator

has a right, upon presentation of proper credentials, to enter the property at any reasonable hour for the purposes of inspection or other enforcement action.

14. Upon notification of imminent flood danger from the City of Ketchum, all construction activity and materials within the designated SFHA shall be removed to a location outside of said zone.
15. Maintenance of culverts to ensure they function properly during flooding conditions is required. Per KMC 17.88.050.D.3.b.(2), the administrator and each member of his or her inspections department shall a right, upon presentation of proper credentials, to enter on any premises within the territorial jurisdiction of the department at any reasonable hour for the purposes of inspection or other enforcement action to verify that the culverts are maintained appropriately.

Decision: Approved, subject to conditions above.

DATED this

14th day of May 2024



Adam Crutcher
Associate Planner

ATTACHMENTS:

- A. Project Plans

Permit Holder's Acknowledgement:

I have read the terms and conditions of this permit approval and agree to follow all the conditions of approval. I understand if construction does not comply with the conditions of approval, the project may be issued a stop work order until any deficiencies are corrected.

Print Name: Erik de Buijn

Sign 

Date: 05/14/2024



Approved
 These plans have been found to be in substantial compliance with the adopted building codes. These documents are approved contingent on compliance with the mark-ups and notes applied. This is not approval of any code, ordinance, statute or regulation. Corrections will be required for code violations found during the inspection process.

BLD2303-00021
 06/26/23

4/26/23

121 BADGER LANE

BUILDING PERMIT SUBMITTAL



BADGER RESIDENCE

OWNER:
 121 BADGER LANE LLC
 P.O. BOX 14001-174
 KETCHUM, ID 83340

PROJECT ARCHITECT:
 RO | ROCKETT DESIGN
 1031 W. MANCHESTER BLVD, UNIT 6
 INGLEWOOD, CA 90301
 TEL: 213.784.0014

SURVEYOR:
 GALENA ENGINEERING, INC.
 317 NORTH RIVER STREET
 HAILEY, ID 83333
 TEL: 208.788.1705

ENVIRONMENTAL CONSULTANT:
 SAWTOOTH ENVIRONMENTAL CONSULTING
 P.O. BOX 2707 / 540 NORTH FIRST AVE
 KETCHUM, ID 83340
 TEL: 208.727.9748

HYDROLOGY / WATER ENGINEERING:
 BROCKWAY ENGINEERING, INC.
 2018 WASHINGTON ST NORTH, SUITE 4
 TWIN FALLS, ID 83301
 TEL: 208.736-8543

GEOTECHNICAL ENGINEER:
 BUTLER ASSOCIATES, INC.
 P.O. BOX 1034
 KETCHUM, ID 83340
 TEL: 208.720.6432

LANDSCAPE ARCHITECT:
 BYLA
 323 LEWIS STREET, SUITE N
 KETCHUM, ID 83340
 TEL: : 208.726.5907

CIVIL ENGINEER:
 BENCHMARK ASSOCIATES, P.A.
 P.O. BOX 733 - 100 BELL DRIVE
 KETCHUM, IDAHO 83340
 TEL: 208.726.9512


STRUCTURAL ENGINEER:
 LFA
 319 MAIN STREET
 EL SEGUNDO, CA 90245
 TEL: 213.239.9700

MEP ENGINEER:
 CES ENGINEERING SERVICES, LLC
 1001 W OAK BUILDING B SUITE 107
 BOZEMAN, MT 59715
 TEL: 406.272.0352

LIGHTING DESIGN CONSULTANT:
 KGM ARCHITECTURAL LIGHTING
 270 CORAL CIRCLE
 EL SEGUNDO, CA 90245
 TEL: 310.552.2191

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SEAL:


1	05.02.23	PERMIT REVIEW- REV 1
0	02.28.23	BUILDING PERMIT SUBMITTAL
NO	DATE	ISSUE

PROJECT:
BADGER RESIDENCE
 121 BADGER LANE
 KETCHUM, ID 83340


PROJECT NUMBER
#2201

DRAWING TITLE:
COVER SHEET

DRAWING NUMBER:
G-000

NOT FOR CONSTRUCTION

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PROJECT DESCRIPTION	PROJECT DATA	ACCESSORY DWELLING UNIT - NET LIVABLE AREA	VICINITY MAP
<p>SINGLE FAMILY RESIDENCE: MAIN HOUSE DWELLING WITH IN-GROUND SPA; ACCESSORY DWELLING UNIT WITH IN-GROUND POOL AND SPA.</p> <p>SCOPE OF WORK INCLUDES: NEW CONSTRUCTION OF FOUNDATION, STRUCTURAL, CIVIL, LANDSCAPING, AND HARDSCAPING.</p>	<p>PARCEL #: RPK05130000040 PARCEL AREA: 1.09 ACRES PER SURVEY (47,480 SF) ZONING DISTRICT: LR- LIMITED RESIDENTIAL DISTRICT FLOODPLAIN OVERLAY DISTRICT: YES AVALANCHE OVERLAY DISTRICT: NO MOUNTAIN BOUNDARY: NO</p> <p>OCCUPANCY: R-3 - SINGLE FAMILY DWELLING CONSTRUCTION TYPE: TYPE V ZONING HEIGHT LIMIT: 35' IFC HEIGHT LIMIT: 30' (SEE SHEET G-011) STORIES: 2 SETBACKS: 15' FRONT, 20' REAR, GREATER OF 1' FOR EVERY 2' OF BUILDING HEIGHT OF 10' SIDE</p> <p>PARKING: 2 REQ'D PER DWELLING UNIT AUTOMATIC SPRINKLER SYSTEM REQ'D: YES ; NFPA 13D</p> <p>MAX BUILDING COVERAGE (LR ZONE): 35% PROPOSED BUILDING COVERAGE: 21% (SEE SHEET G-010)</p>	<p>(SEE SHEET G-012 FOR AREA CALCULATION FOR ADU- NET LIVABLE SF)</p> <p><u>PROPOSED NET LIVABLE FLOOR AREA- ADU</u></p> <p>ADU- LEVEL 01 = 621 SF ADU- LEVEL 02 = 572 SF TOTAL = 1,193 SF</p> <p>ADU- GARAGE = 495 SF</p>	
<p>PROJECT ADDRESS</p> <p>121 BADGER LANE KETCHUM, ID 83340</p>	<p>LEGAL DESCRIPTION</p> <p>PARCEL 4, ROCKING RANCH SUB #2 (LOCATED WITHIN SECTION 13, T.4 N., R.17 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO)</p>	<p>APPLICABLE CODES:</p> <p>ALL CONSTRUCTION SHALL COMPLY WITH:</p> <p>2018 INTERNATIONAL BUILDING CODE* 2018 INTERNATIONAL RESIDENTIAL CODE* 2018 INTERNATIONAL FIRE CODE WITH LOCAL AMENDMENTS* 2018 INTERNATIONAL ENERGY CONSERVATION CODE 2018 INTERNATIONAL SWIMMING POOL AND SPA CODE 2018 INTERNATIONAL EXISTING BUILDING CODE 2018 INTERNATIONAL PROPERTY MAINTENANCE CODE</p> <p>*AS AMENDED BY THE IDAHO BUILDING CODE BOARD AND INCLUDING NOTED APPENDICES.</p> <p>NATIONAL GREEN BUILDING STANDARD [SILVER CERTIFICATION] TITLE 15 KETCHUM MUNICIPAL CODE APPENDIX M OF THE IBC AS AMENDED BY THE CITY OF KETCHUM</p> <p>ALL APPLICABLE COUNTY ORDINANCES CONTRACTOR SHALL KEEP A COPY OF THE ABOVE CODE SECTIONS ON THE JOB SITE AT ALL TIMES.</p> <p>JURISDICTIONAL AGENCY SHALL BE THE KETCHUM BUILDING DEPARTMENT.</p>	
	<p>PROPOSED DEVELOPMENT</p> <p><u>PROPOSED GROSS FLOOR AREA</u></p> <p>MAIN HOUSE- LEVEL 01 = 5,450 SF MAIN HOUSE- LEVEL 02 = 3,900 SF TOTAL = 9,350 SF</p> <p>ADU- LEVEL 01 = 1,411 SF ADU- LEVEL 02 = 945 SF TOTAL = 2,356 SF</p> <p><u>PROPOSED UNCONDITIONED FLOOR AREA</u></p> <p>MAIN HOUSE- GARAGE = 1,105 SF MAIN HOUSE- MECH = 508 SF</p> <p>ADU- GARAGE = 530 SF ADU- MECH = 292 SF</p> <p><u>PROPOSED CONDITIONED FLOOR AREA</u></p> <p>MAIN HOUSE- CONDITIONED = 7,737 SF</p> <p>ADU - NET LIVABLE (PER CoK) = 1,193 SF *SEE SHEET G-012 ADU - CONDITIONED = 1,534 SF</p> <p><u>PROPOSED COVERED PORCH / PATIO:</u></p> <p>MAIN HOUSE FRONT DECK = 907 SF ADU LEVEL 02 BALCONY = 142 SF</p> <p><u>PROPOSED UNCOVERED PORCH / PATIO:</u></p> <p>MAIN HOUSE REAR DECK = 1,388 SF ADU POOL DECK = 658 SF ADU LEVEL 02 ROOF DECK = 240 SF</p>	<p>NOTES</p> <p>THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DRAWINGS, CALCULATIONS, GOVERNMENTAL AGENCY APPROVALS AND FEES TO COMPLETE THIS WORK. CONTRACTORS/SUBCONTRACTORS SHALL SUBMIT MECHANICAL, ELECTRICAL, COMMUNICATIONS AND PLUMBING DRAWINGS TO RO ROCKETT DESIGN FOR PREVIEW OF DEVICE TYPES, LOCATIONS AND QUANTITIES, HVAC ZONING/THERMOSTAT LOCATIONS, ETC. PRIOR TO SUBMITTING FOR PERMIT AND CONSTRUCTION.</p>	



Approved
 These plans have been found to be in substantial compliance with the Idaho building codes. These documents are approved contingent on compliance with the mark-ups and notes applied. This is not approval of any code, ordinance, statute or regulation. Corrections will be required for code violations found during the inspection process.

BLD2303-00021
 9/6/26/23

2/28/23

SHEET INDEX

		BUILDING PERMIT
6-STRUCTURAL		
S-001	GENERAL NOTES	•
S-002	GENERAL NOTES	•
S-003	GENERAL NOTE	•
S-011	TYPICAL DETAILS- CONCRETE	•
S-012	TYPICAL DETAILS- CONCRETE	•
S-013	TYPICAL DETAILS- CONCRETE	•
S-021	TYPICAL DETAILS- STEEL	•
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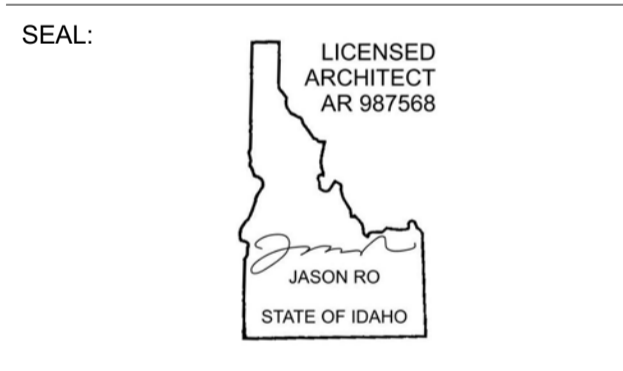
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NO	DATE	BUILDING PERMIT ISSUE
0	02.28.23	

PROJECT:
BADGER RESIDENCE
 121 BADGER LANE
 KETCHUM, ID 83340

PROJECT NUMBER
#2201

DRAWING TITLE:
SHEET INDEX

DRAWING NUMBER:
G-001

These plans have been found to be in substantial compliance with the energy code. These documents are approved contingent on compliance with the mark-ups and notes applied. This is not approval of any code, ordinance, statute or regulation. Corrections will be required for code violations found during the inspection process.

BLD2303-00021
06/26/23

Table with 6 columns: Section # & Req. ID, Final Inspection Provisions, Plans Verified Value, Field Verified Value, Complies?, Comments/Assumptions. Rows include 402.1.1 Ceiling insulation R-value, 402.2.2 Attic access hatch and door, 403.3.3 Ducts are pressure tested, etc.

Project Title: 121 Badger Lane ADU Data filename: Report date: 01/25/23 Page 8 of 10

Table with 6 columns: Section # & Req. ID, Framing / Rough-in Inspection, Plans Verified Value, Field Verified Value, Complies?, Comments/Assumptions. Rows include 402.1.1 Door U-factor, 402.2.4 Glazing U-factor, 403.1.3 U-factors of fenestration products, etc.

Project Title: 121 Badger Lane ADU Data filename: Report date: 01/25/23 Page 5 of 10

Compliance Statement: The proposed building design described here is consistent with the building plans, specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the 2018 IECC requirements in REScheck Version 1.5.23.2 R2 and to comply with the mandatory requirements listed in the REScheck Inspection Checklist.

Name: Title Signature Date

OWNER: 121 BADGER LANE LLC, P.O. BOX 14001-174, KETCHUM, ID 83340. PROJECT ARCHITECT: RO J ROCKETT DESIGN, 1031 W. MANCHESTER BLVD, UNIT 6, INGLEWOOD, CA 90301. SURVEYOR: GALENA ENGINEERING, INC. ENVIRONMENTAL CONSULTANT: SAWTOOTH ENVIRONMENTAL CONSULTING. HYDROLOGY / WATER ENGINEERING: BROCKWAY ENGINEERING, INC. GEOTECHNICAL ENGINEER: BUTLER ASSOCIATES, INC. LANDSCAPE ARCHITECT: BYLA. CIVIL ENGINEER: BENCHMARK ASSOCIATES, P.A. STRUCTURAL ENGINEER: LFA. MEP ENGINEER: CES ENGINEERING SERVICES, LLC. LIGHTING DESIGN CONSULTANT: KGM ARCHITECTURAL LIGHTING.

Table with 6 columns: Section # & Req. ID, Final Inspection Provisions, Plans Verified Value, Field Verified Value, Complies?, Comments/Assumptions. Additional Comments/Assumptions: Manufacturer manual for mechanical and water heating systems have been provided.

Project Title: 121 Badger Lane ADU Data filename: Report date: 01/25/23 Page 10 of 10

Table with 6 columns: Section # & Req. ID, Insulation Inspection, Plans Verified Value, Field Verified Value, Complies?, Comments/Assumptions. Rows include 402.1.1 Floor insulation R-value, 402.2.2 Insulation in contact with the underside of the subfloor, etc.

Project Title: 121 Badger Lane ADU Data filename: Report date: 01/25/23 Page 7 of 10

Table with 6 columns: Section # & Req. ID, Foundation Inspection, Plans Verified Value, Field Verified Value, Complies?, Comments/Assumptions. Rows include 402.1.2 Slab edge insulation R-value, 403.2.1 Protective covering is installed to protect exposed exterior insulation, etc.

Project Title: 121 Badger Lane ADU Data filename: Report date: 01/25/23 Page 4 of 10

Generated by REScheck-Web Software Compliance Certificate. Project: 121 Badger Lane ADU. Energy Code: 2018 IECC. Location: Ketchum, Idaho. Construction Type: Single-Family. New Construction. Conditioned Floor Area: 1,523 R2. Glazing Area: 26%. Climate Zone: 6 (R2B HDD). Compliance: Passes using UA trade-off. Envelope Assemblies table with columns: Assembly, Gross Area, Cavity, Cost, Proj. U-Factor, Reg. U-Factor, Prop. UA, Reg. UA.

Table with 6 columns: Section # & Req. ID, Final Inspection Provisions, Plans Verified Value, Field Verified Value, Complies?, Comments/Assumptions. Rows include 402.1.1 All mechanical ventilation system, 403.2.2 Hot water boilers supplying heat through one- or two-pipe heating systems, 403.5.1.1 Heated water circulation systems, etc.

Project Title: 121 Badger Lane ADU Data filename: Report date: 01/25/23 Page 9 of 10

Table with 6 columns: Section # & Req. ID, Framing / Rough-in Inspection, Plans Verified Value, Field Verified Value, Complies?, Comments/Assumptions. Rows include 402.1.1 Protection of insulation on HVAC piping, 403.5.1 Hot water pipes are insulated to R-3, etc.

Project Title: 121 Badger Lane ADU Data filename: Report date: 01/25/23 Page 5 of 10

REScheck Software Version: REScheck-Web Inspection Checklist. Energy Code: 2018 IECC. Requirements: 0.0% were addressed directly in the REScheck software. Table with 6 columns: Section # & Req. ID, Pre-Inspection/Plan Review, Plans Verified Value, Field Verified Value, Complies?, Comments/Assumptions. Rows include 103.1 Construction drawings and documentation demonstrate energy code compliance for the building envelope, etc.

Project Title: 121 Badger Lane ADU Data filename: Report date: 01/25/23 Page 3 of 10

2018 IECC Energy Efficiency Certificate. Insulation Rating: Above-Grade Wall 27.00, Below-Grade Wall 0.00, Floor 15.00, Ceiling / Roof 54.00. Glass & Door Rating: U-Factor, SHGC. Heating and Cooling Equipment Efficiency. Name: Date: Comments:

BADGER RESIDENCE

OWNER: 121 BADGER LANE LLC, P.O. BOX 14001-174, KETCHUM, ID 83340. PROJECT ARCHITECT: RO J ROCKETT DESIGN, 1031 W. MANCHESTER BLVD, UNIT 6, INGLEWOOD, CA 90301. TEL: 213.784.0014

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LIGHTING DESIGN CONSULTANT: KGM ARCHITECTURAL LIGHTING, 270 CORAL CIRCLE, EL SEGUNDO, CA 90245. TEL: 310.552.2191

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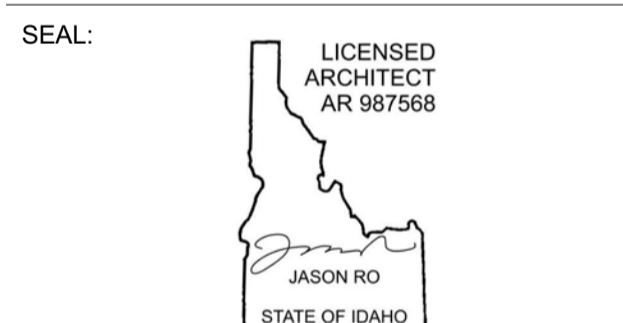


Table with 2 columns: Date, Building Permit Issue. Row: 02.28.23, BUILDING PERMIT ISSUE.

PROJECT: 121 BADGER RESIDENCE, 121 BADGER LANE, KETCHUM, ID 83340

PROJECT NUMBER: #2201. DRAWING TITLE: ENERGY COMPLIANCE- ADU. DRAWING NUMBER: G-006. ©2023, RO J ROCKETT DESIGN, INC.



Approved
 These plans have been found to be in substantial compliance with the applicable building codes. These documents are approved contingent on compliance with the mark-ups and notes applied. This is not approval of any code, ordinance, statute or regulation. Corrections will be required for code violations found during the inspection process.

BLD2303-00021
 06/26/23

2/25/23

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Summary of Results of the Design Phase

No Mandatory items missing on the "Overview (Design)" page. Location: 121 Badger Lane - ADU, Ketchum, Idaho 83340

Category	Points Required			Points Obtained	Mandatory Practices	No Items
	Required	Silver	Gold			
Chapter 6: Lot Design, Preparation, and Development	10	10	10	10	✓	✓
Chapter 6: Resource Efficiency	43	35	30	35	✓	✓
Chapter 6: Energy Efficiency	15	15	15	15	✓	✓
Chapter 6: Water Efficiency	13	13	13	13	✓	✓
Chapter 6: Indoor Environmental Quality	12	12	12	12	✓	✓
Chapter 20: Operation, Maintenance, and Building Owner Education	8	8	8	8	✓	✓
Additional Points Required Due to LEED v4.0 (EQ-C)	0	0	0	0		
Total points required	108	108	108	108		
Additional Points Earned	243	166	96	166		
Overall Level Achieved for Design	Silver					

*REFER TO DOCUMENT SUBMITTAL FOR COMPLETE WORKBOOK SPREADSHEET

2 SCALE: NA NGBS SUMMARY - ADU

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Summary of Results of the Design Phase

No Mandatory items missing on the "Overview (Design)" page. Location: 121 Badger Lane, Ketchum, Idaho 83340

Category	Points Required			Points Obtained	Mandatory Practices	No Items
	Required	Silver	Gold			
Chapter 6: Lot Design, Preparation, and Development	10	10	10	10	✓	✓
Chapter 6: Resource Efficiency	43	35	30	35	✓	✓
Chapter 6: Energy Efficiency	15	15	15	15	✓	✓
Chapter 6: Water Efficiency	13	13	13	13	✓	✓
Chapter 6: Indoor Environmental Quality	12	12	12	12	✓	✓
Chapter 20: Operation, Maintenance, and Building Owner Education	8	8	8	8	✓	✓
Additional Points Required Due to LEED v4.0 (EQ-C)	0	0	0	0		
Total points required	108	108	108	108		
Additional Points Earned	243	166	96	166		
Overall Level Achieved for Design	Silver					

*REFER TO DOCUMENT SUBMITTAL FOR COMPLETE WORKBOOK SPREADSHEET

1 SCALE: NA NGBS SUMMARY - MAIN HOUSE

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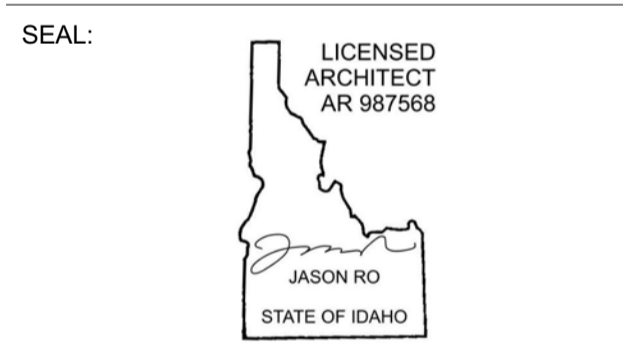
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0 02.28.23 BUILDING PERMIT
 NO DATE ISSUE

PROJECT:
BADGER RESIDENCE
 121 BADGER LANE
 KETCHUM, ID 83340

PROJECT NUMBER
#2201

DRAWING TITLE:
NATIONAL GREEN BUILDING STANDARDS CERTIFICATION

DRAWING NUMBER:
G-008

BADGER RESIDENCE

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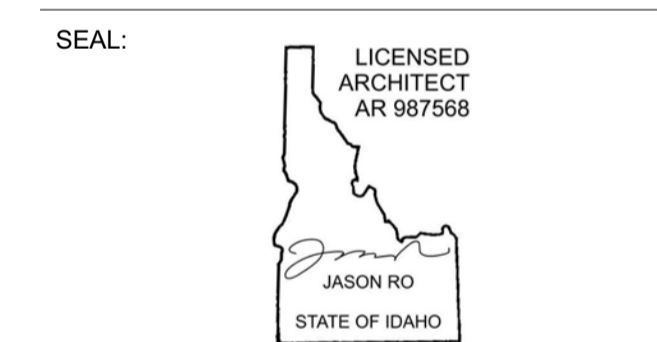
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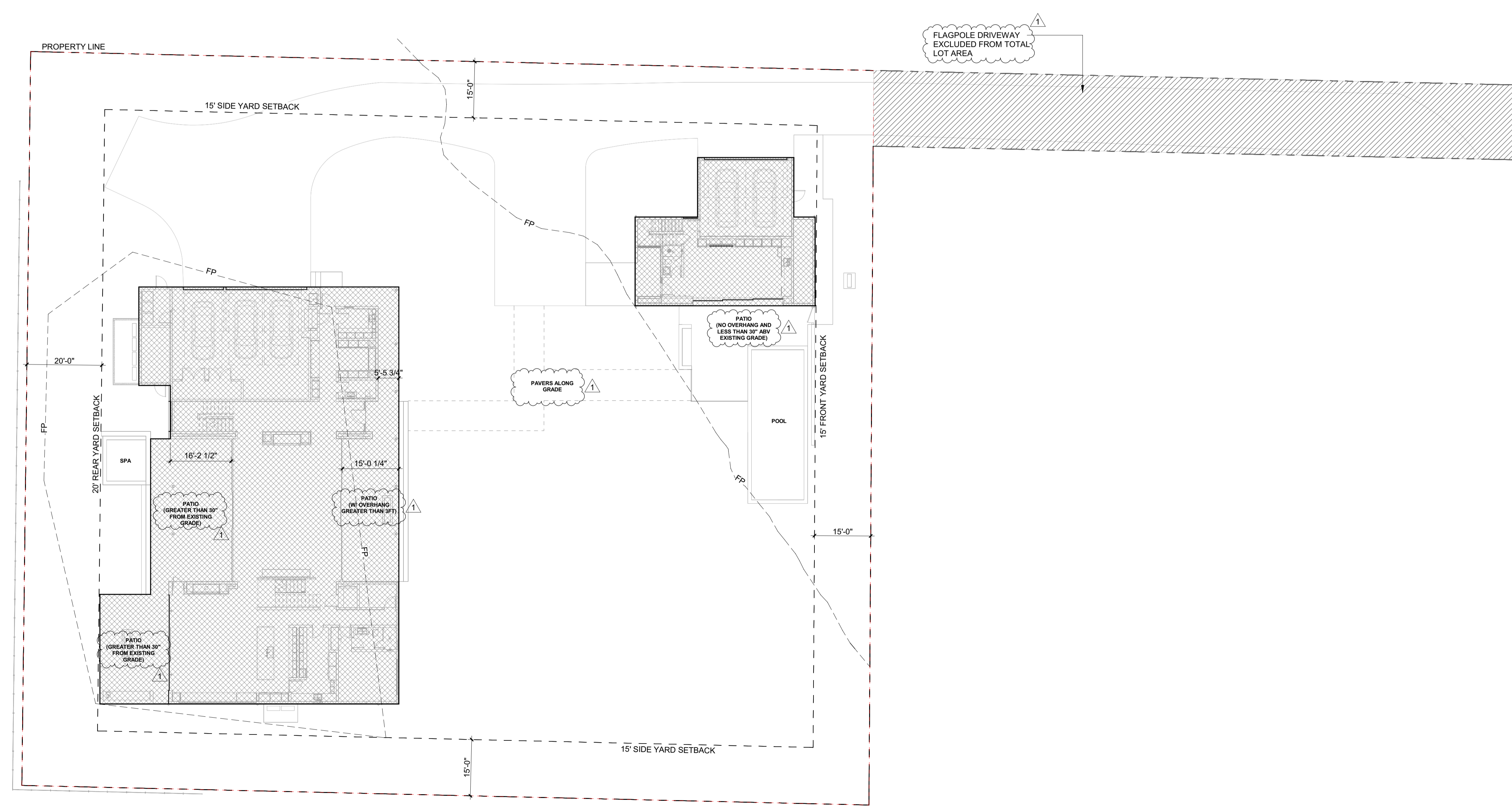
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AREA OF BUILDING, PATIOS WITH OVERHANGS GREATER THAN 3 FT AND PATIOS ABOVE 30" FROM EXISTING GRADE AT ANY POINT

17.08.020 TERMS DEFINED
 BUILDING COVERAGE: THE TOTAL SQUARE FOOTAGE OF THE BUILDING FOUNDATION AND ALL HORIZONTAL PROJECTIONS WHICH CONSTITUTE A "BUILDING" AS DEFINED IN THIS SECTION, BUT NOT INCLUDING ROOF OVERHANGS THAT ARE THREE FEET OR LESS OR UNCOVERED DECKS LESS THAN 30 INCHES ABOVE GRADE. GARAGES AND GUEST HOMES SHALL BE INCLUDED IN BUILDING COVERAGE. THE LOT AREA USED TO DETERMINE BUILDING COVERAGE SHALL BE THAT AREA LANDWARD SIDE OF THE MEAN HIGH WATER MARK ON THE BIG WOOD RIVER, TRAIL CREEK AND WARM SPRINGS CREEK.

TOTAL LOT AREA (EXCLUDING FLAGPOLE DRIVEWAY)
 = 44,138 SF
 TOTAL BUILDING COVERAGE (%) = (9,309 SF / 44,138 SF) X 100 = (21%)
 MAX BUILDING COVERAGE FOR LR DISTRICT = 35%



NO	DATE	ISSUE
1	05.02.23	PERMIT REVIEW- REV 1
0	02.28.23	BUILDING PERMIT SUBMITTAL

PROJECT:
BADGER RESIDENCE
 121 BADGER LANE
 KETCHUM, ID 83340

PROJECT NUMBER
#2201

DRAWING TITLE:
LOT COVERAGE

DRAWING NUMBER:
G-010



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BLD2303-00021
06/26/23

4/20/23

BADGER RESIDENCE

OWNER:
121 BADGER LANE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340

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MEP ENGINEER:
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SEAL:
LICENCED ARCHITECT
AR 987568
JASON RO
STATE OF IDAHO

1	05.02.23	PERMIT REVIEW- REV 1
0	02.28.23	BUILDING PERMIT SUBMITTAL
NO	DATE	ISSUE

PROJECT:
BADGER RESIDENCE
121 BADGER LANE
KETCHUM, ID 83340

PROJECT NUMBER:
#2201

DRAWING TITLE:
HEIGHT DIAGRAM

DRAWING NUMBER:
G-011

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01M 3/32" = 1'-0" MAIN HOUSE ELEVATION

01A 3/32" = 1'-0" ADU ELEVATION

INTERNATIONAL FIRE CODE (IFC) 2018 - CHAPTER 2 DEFINITIONS:

GRADE PLANE. A REFERENCE PLANE REPRESENTING THE AVERAGE OF FINISHED GROUND LEVEL ADJOINING THE BUILDING AT EXTERIOR WALLS. WHERE THE FINISHED GROUND LEVEL SLOPES AWAY FROM THE EXTERIOR WALLS, THE REFERENCE PLANE SHALL BE ESTABLISHED BY THE LOWEST POINT WITHIN THE AREA BETWEEN THE LOT LINE, OR WHERE THE OT LINE IS MORE THAN 6' FROM THE BUILDING, BETWEEN THE BUILDING AND A POINT 6 FEET FROM THE BUILDING.

MAIN HOUSE - GRADE PLANE ELEVATION:

5786.2 + 5786 + 5786.5 + 5785.7 + 5787.5 + 5788.5 + 5788.5 + 5787.5 + 5786.2 + 5785.3 + 5788.5 + 5788.5 + 5788.5 + 5788.5 + 5788.5 + 5787

16

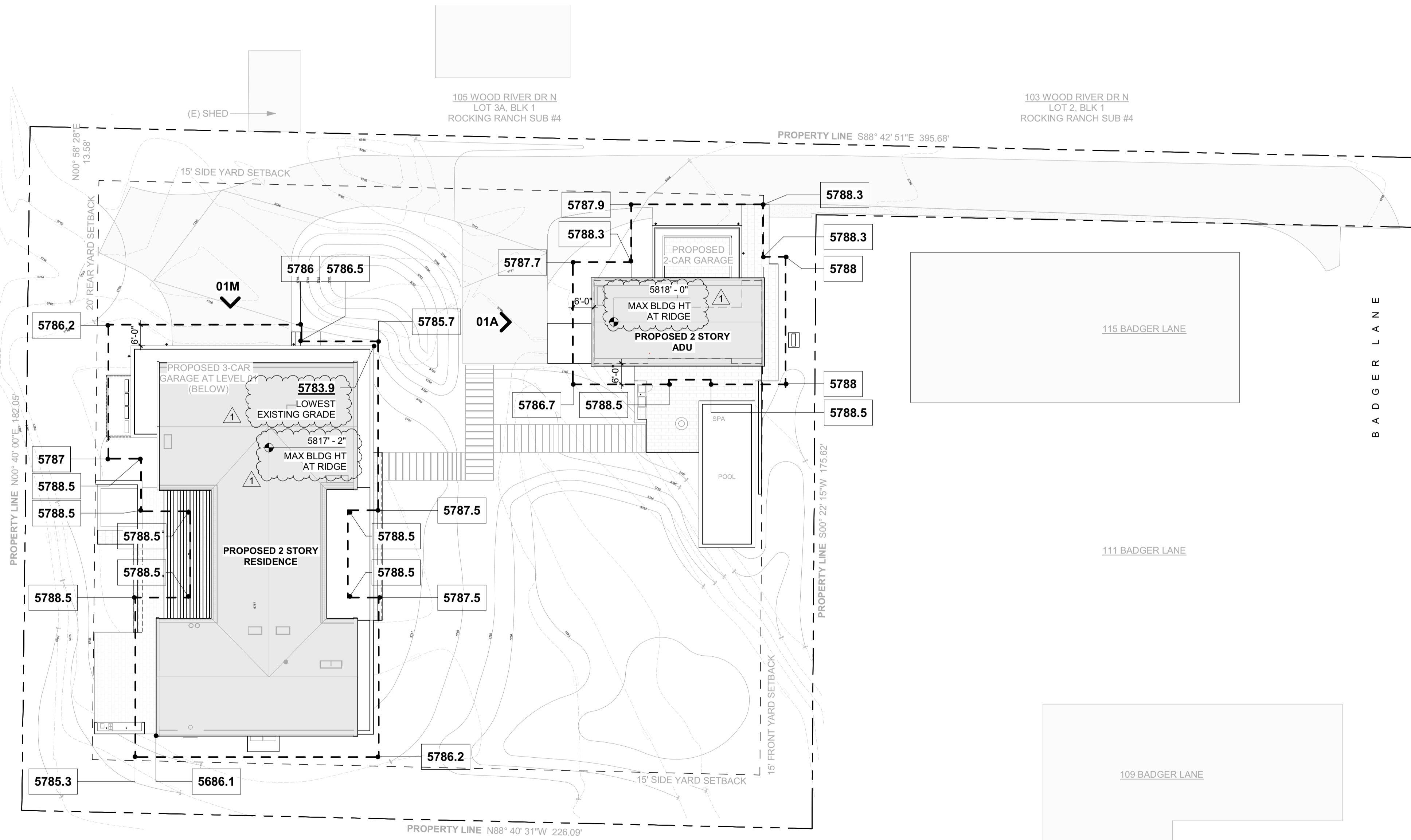
= 5787.3

ADU - GRADE PLANE ELEVATION:

5787.9 + 5788.3 + 5788.3 + 5788 + 5788 + 5788.5 + 5788.5 + 5786.7 + 5787.7 + 5788.3

10

= 5788.0



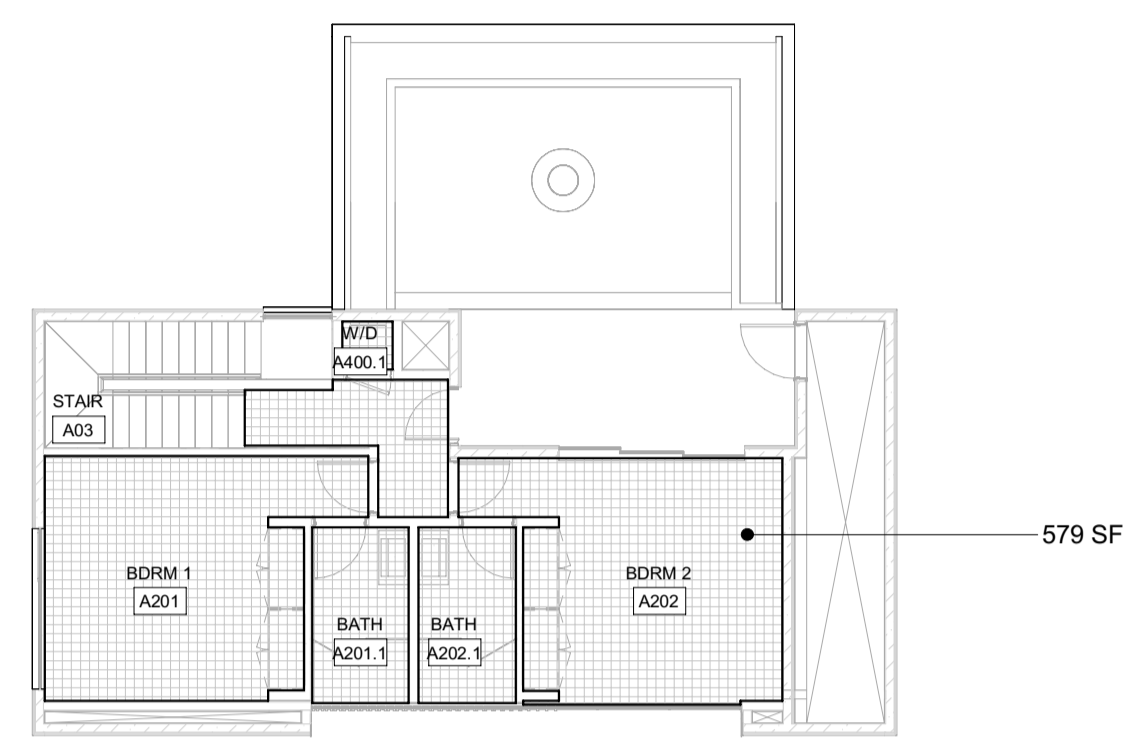
1 1" = 20'-0" SITE PLAN - HEIGHT DIAGRAM



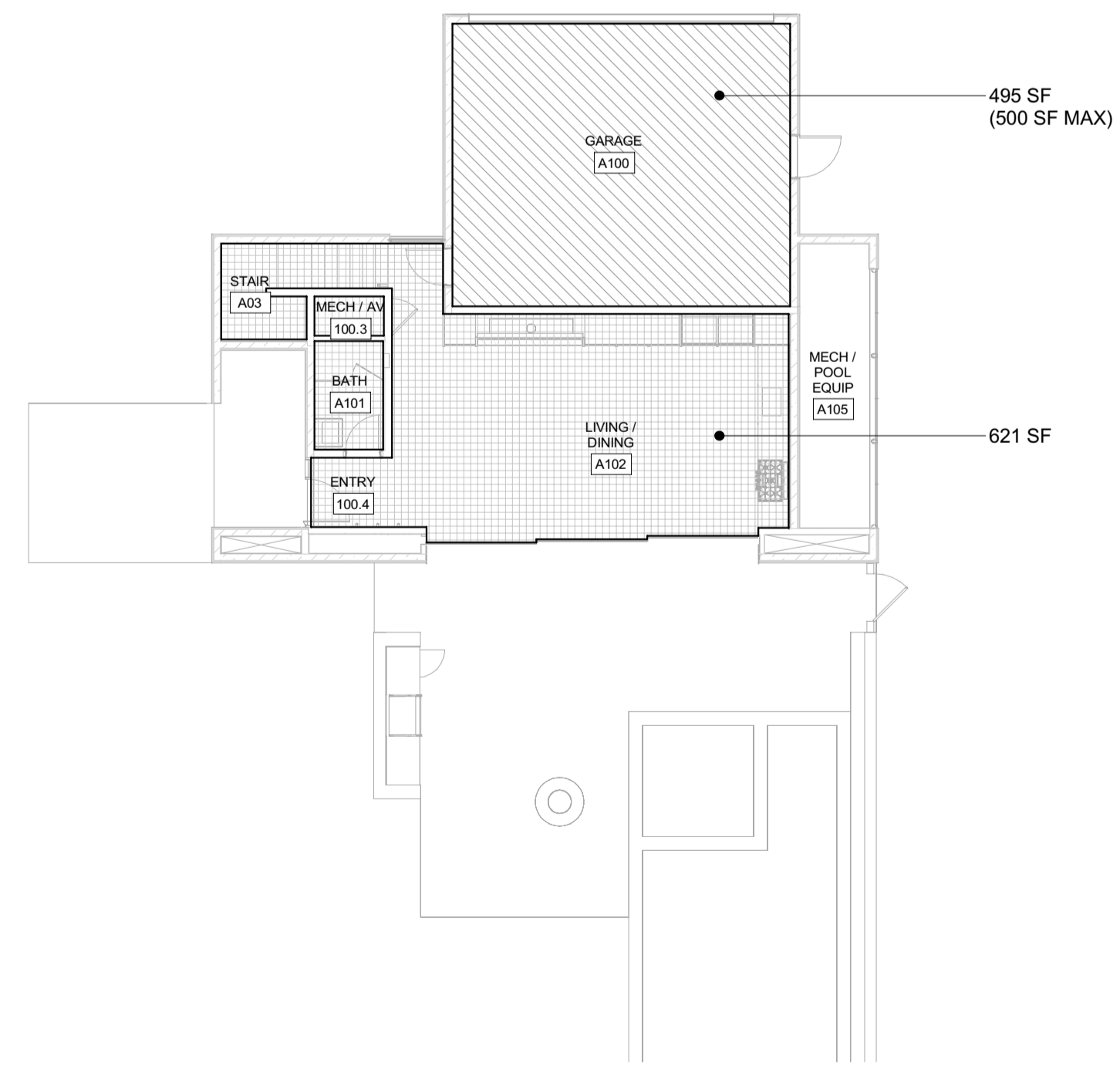
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BLD2303-00021
06/26/23

2/26/23



2 3/32" = 1'-0" ADU - LEVEL 02 - NET LIVABLE AREA



1 3/32" = 1'-0" ADU - LEVEL 01 - NET LIVABLE AREA

ADU - NET LIVABLE AREA	
LEVEL	AREA
ADU - LEVEL 01	621 SF
ADU - LEVEL 02	579 SF
TOTAL	1,200 SF

"NET LIVABLE AREA (AS CONFIRMED BY CITY OF KETCHUM PLANNING DEPT) IS MEASURED FROM INSIDE FACE OF EXTERIOR WALLS EXCLUDING GARAGE, MECHANICAL ROOMS / SHAFTS, THICKNESS OF INTERIOR WALLS, STAIRS AND DOUBLE HEIGHT SPACES COUNTED ONLY ONCE

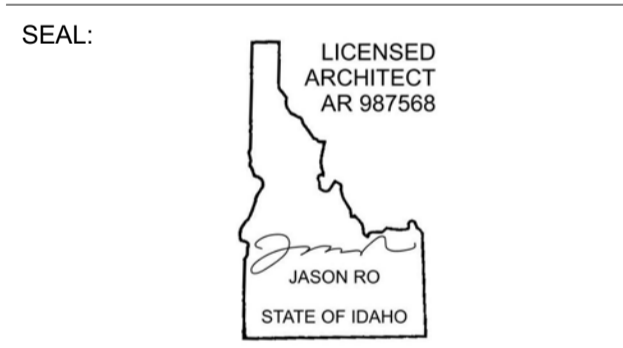
17.124.070 ACCESSORY DWELLING UNITS
 B. UNIT SIZE RESTRICTIONS. ACCESSORY DWELLING UNITS MUST CONTAIN A MINIMUM OF 300 SQUARE FEET OF NET LIVABLE SPACE, BUT CANNOT EXCEED 1,200 SQUARE FEET OF NET LIVABLE SPACE.
 C. MAXIMUM BUILDING COVERAGE. THE MAXIMUM BUILDING COVERAGE OF AN ACCESSORY DWELLING UNIT, TOGETHER WITH THE PRIMARY DWELLING UNIT, SHALL BE THE COVERAGE REQUIREMENTS OF THE UNDERLYING ZONING DISTRICT SPECIFIED IN SECTION 17.12.030, "DIMENSIONAL STANDARDS, DISTRICTS MATRIX, OF THIS TITLE. IF THE MAXIMUM BUILDING COVERAGE REQUIREMENT CAUSES SIGNIFICANT RESTRICTIONS TO THE CONSTRUCTION OF AN ACCESSORY DWELLING UNIT, AN INCREASE OF NO GREATER THAN FIVE PERCENT MAY BE GRANTED.
 E. STORAGE. DESIGNATED STORAGE SHALL BE PROVIDED FOR ALL ACCESSORY DWELLING UNITS.

BADGER RESIDENCE

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0	02.28.23	BUILDING PERMIT
NO	DATE	ISSUE

PROJECT:
BADGER RESIDENCE
 121 BADGER LANE
 KETCHUM, ID 83340

PROJECT NUMBER
#2201

DRAWING TITLE:
AREA CALCULATIONS- ADU NET LIVABLE

DRAWING NUMBER:
G-012



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BLD2303-00021
06/26/23

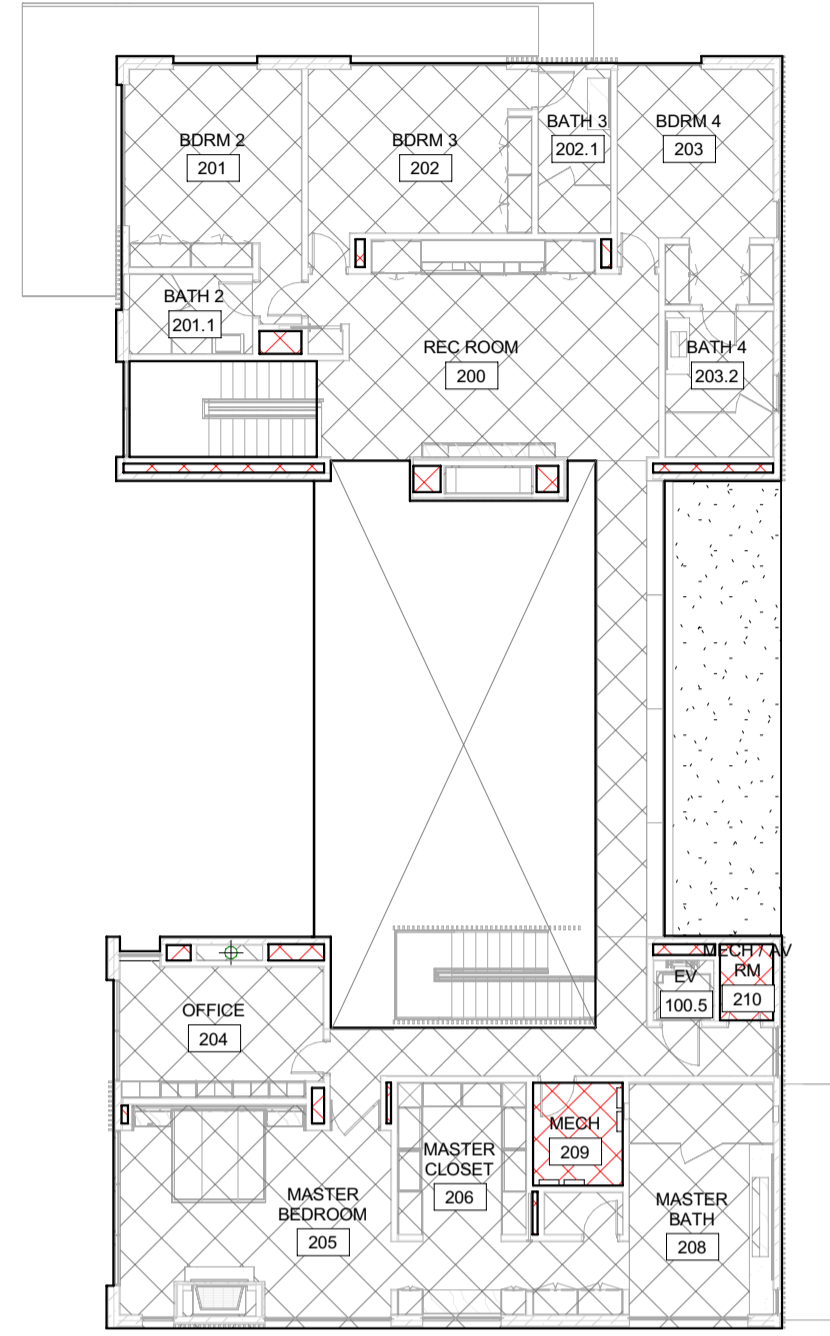
FLOOR AREA - CONDITIONED MH	
NAME	AREA
MH LEVEL 01 - CONDITIONED	4023 SF
MH LEVEL 02 - CONDITIONED	3532 SF
	7555 SF

FLOOR AREA - MECH	
NAME	AREA
MECH	473 SF

FLOOR AREA - GARAGE	
NAME	AREA
GARAGE	1142 SF

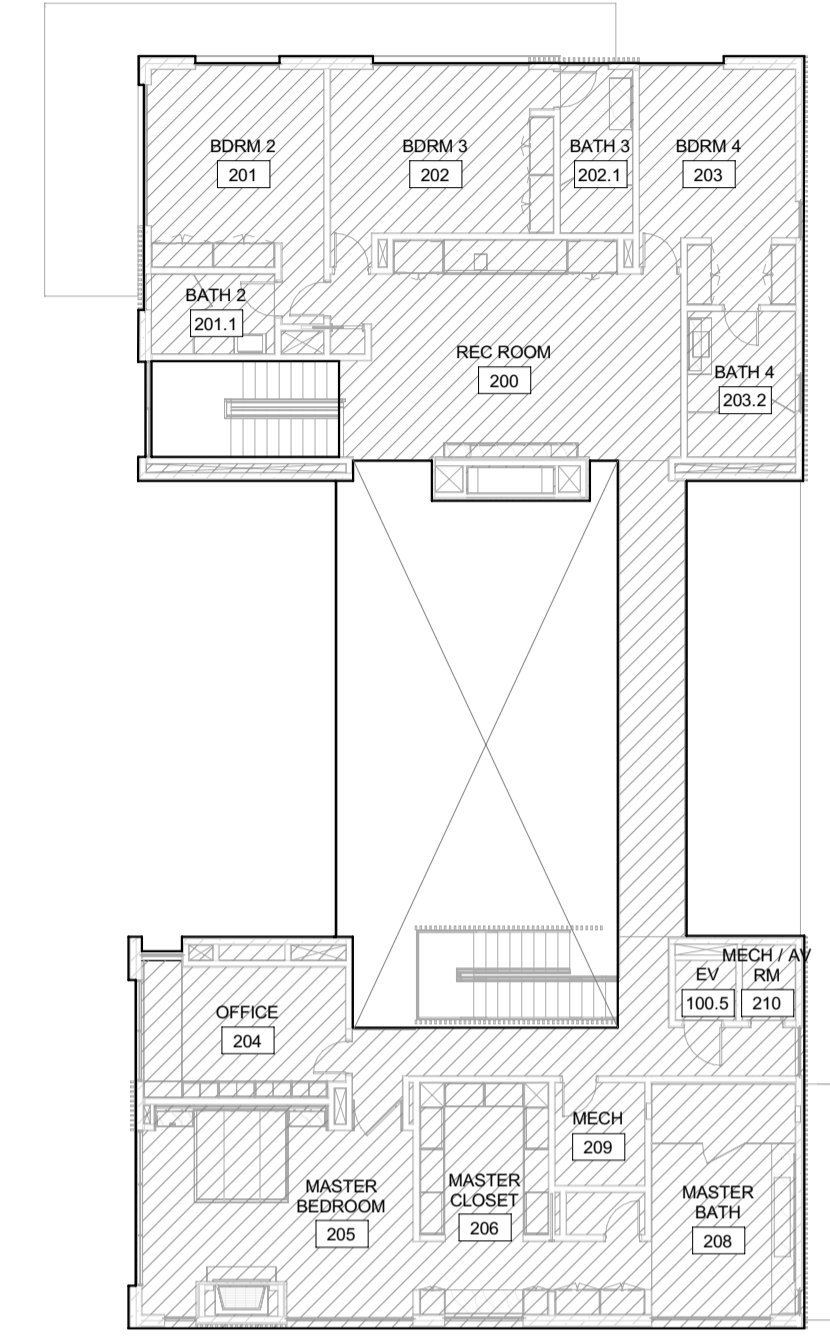
FLOOR AREA GROSS 9170 SF
- FLOOR AREA GARAGE 1142 SF
- FLOOR AREA MECH 473 SF

FLOOR AREA CONDITIONED 7555 SF



FLOOR AREA - GROSS	
NAME	AREA
LEVEL 01 - GROSS	5486 SF
LEVEL 02 - GROSS	3683 SF
	9170 SF

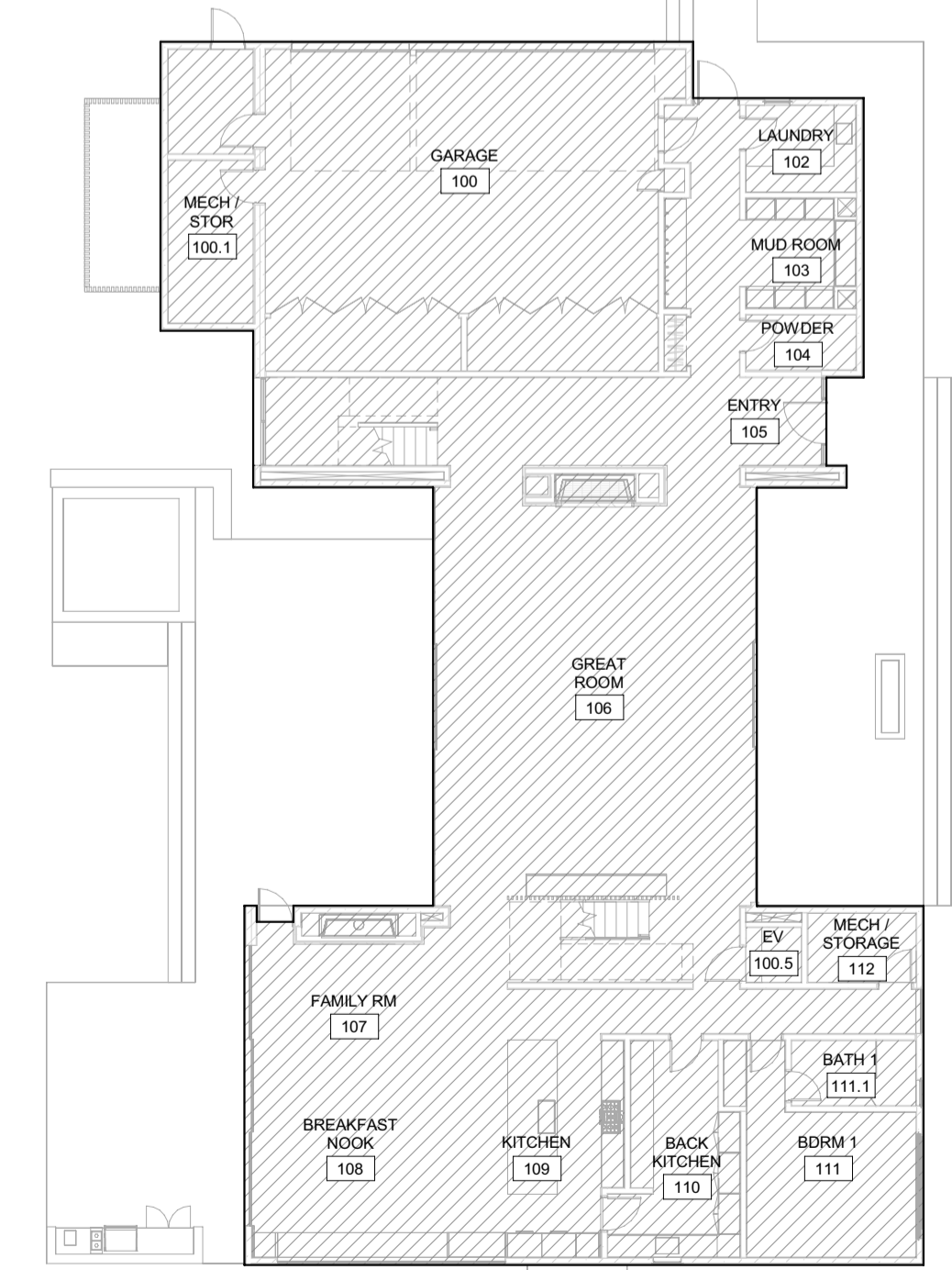
FLOOR AREA GROSS EXCLUDES DOUBLE HEIGHT SPACES AND STAIRS AT TOP LEVEL



2 1/16" = 1'-0" MAIN HOUSE - LEVEL 02 / GROSS AREA

FLOOR AREA - GROSS	
NAME	AREA
LEVEL 01 - GROSS	5486 SF
LEVEL 02 - GROSS	3683 SF
	9170 SF

FLOOR AREA GROSS EXCLUDES DOUBLE HEIGHT SPACES AND STAIRS AT TOP LEVEL



1 1/16" = 1'-0" MAIN HOUSE - LEVEL 01 / GROSS AREA

4 1/16" = 1'-0" MAIN HOUSE - LEVEL 02 / CONDITIONED

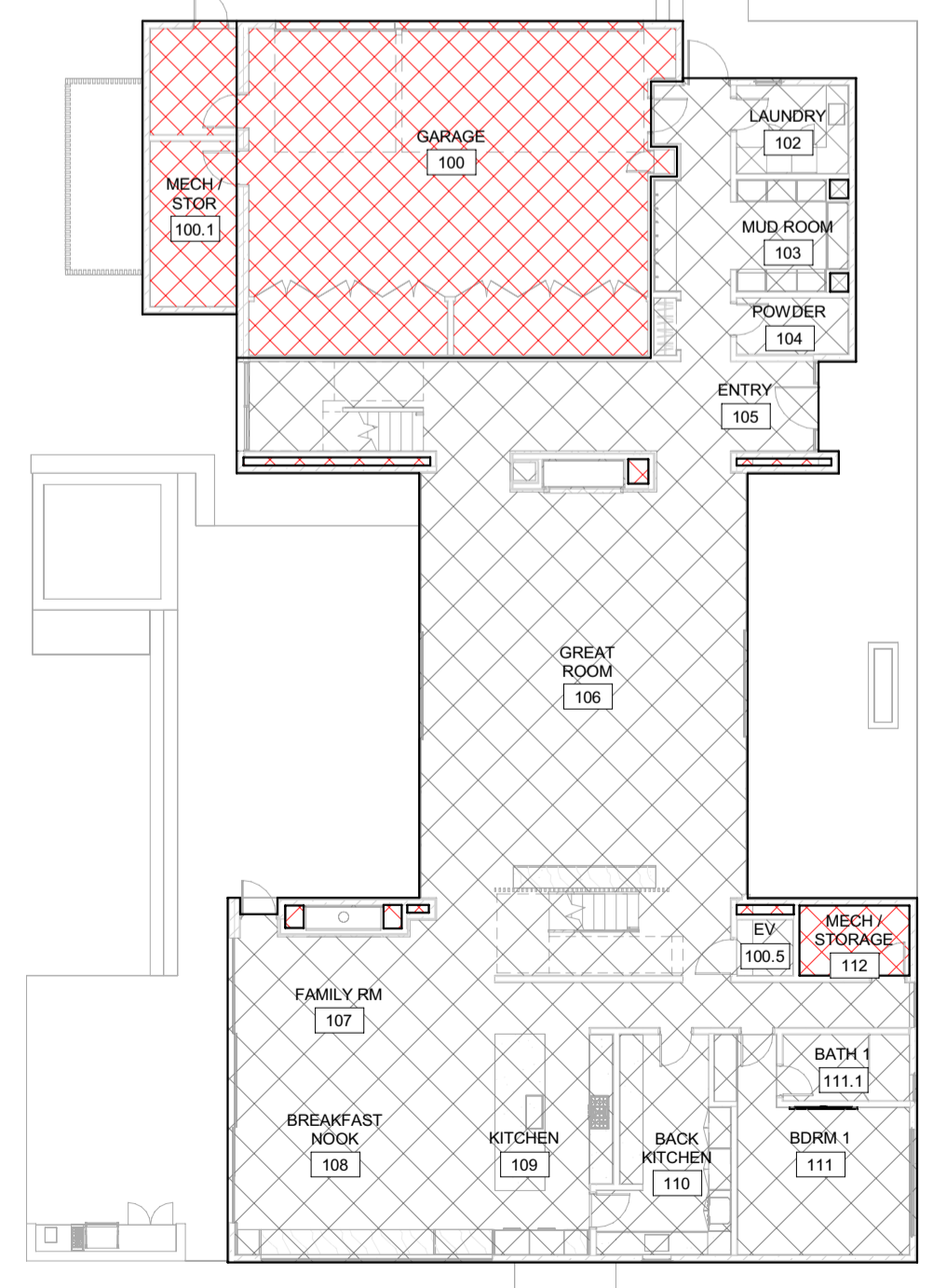
FLOOR AREA - CONDITIONED MH	
NAME	AREA
MH LEVEL 01 - CONDITIONED	4023 SF
MH LEVEL 02 - CONDITIONED	3532 SF
	7555 SF

FLOOR AREA - MECH	
NAME	AREA
MECH	473 SF

FLOOR AREA - GARAGE	
NAME	AREA
GARAGE	1142 SF

FLOOR AREA GROSS 9170 SF
- FLOOR AREA GARAGE 1142 SF
- FLOOR AREA MECH 473 SF

FLOOR AREA CONDITIONED 7555 SF



3 1/16" = 1'-0" MAIN HOUSE - LEVEL 01 / CONDITIONED

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SEAL:
LICENSIED ARCHITECT
AR 987568
JASON RO
STATE OF IDAHO

0	02.28.23	BUILDING PERMIT
NO	DATE	ISSUE

PROJECT:
BADGER RESIDENCE
121 BADGER LANE
KETCHUM, ID 83340

PROJECT NUMBER
#2201

DRAWING TITLE:
AREA CALCULATIONS- MH GROSS / CONDITIONED

DRAWING NUMBER:
G-012.1



Approved

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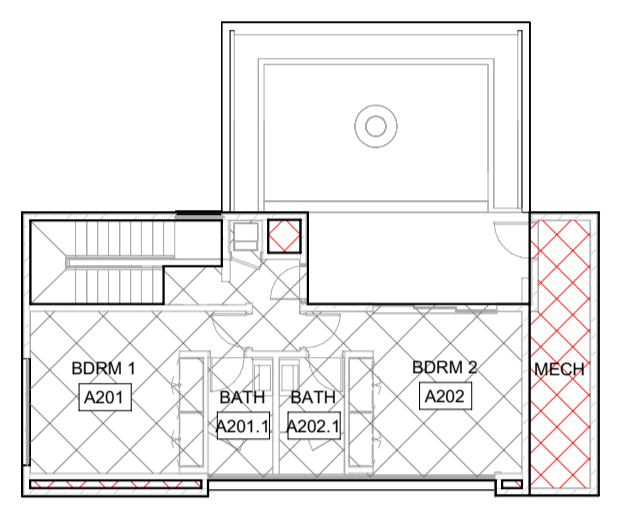
BLD2303-00021
06/26/23

FLOOR AREA - CONDITIONED ADU	
NAME	AREA
ADU LEVEL 01 - CONDITIONED	735 SF
ADU LEVEL 02 - CONDITIONED	716 SF
TOTAL	1451 SF

FLOOR AREA GROSS	2297 SF
- FLOOR AREA GARAGE	548 SF
- FLOOR AREA MECH	298 SF
FLOOR AREA CONDITIONED	1451 SF

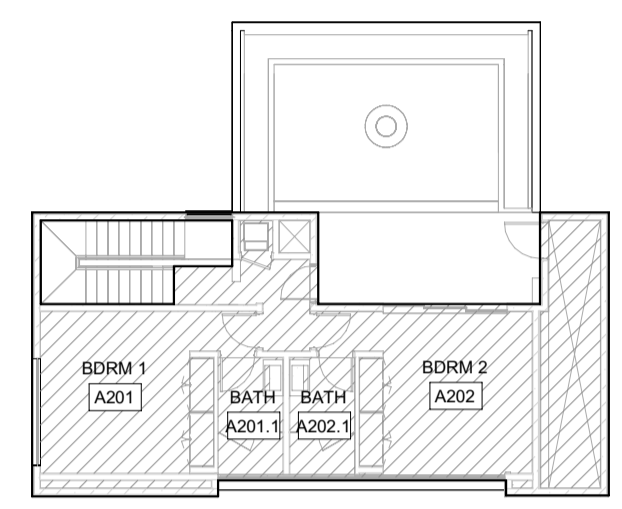
FLOOR AREA - MECH	
NAME	AREA
MECH	298 SF

FLOOR AREA - GARAGE	
NAME	AREA
GARAGE	548 SF



FLOOR AREA - GROSS ADU	
NAME	AREA
ADU LEVEL 01 - GROSS	1428 SF
ADU LEVEL 02 - GROSS	869 SF
TOTAL	2297 SF

FLOOR AREA GROSS EXCLUDES DOUBLE HEIGHT SPACES AND STAIRS AT TOP LEVEL



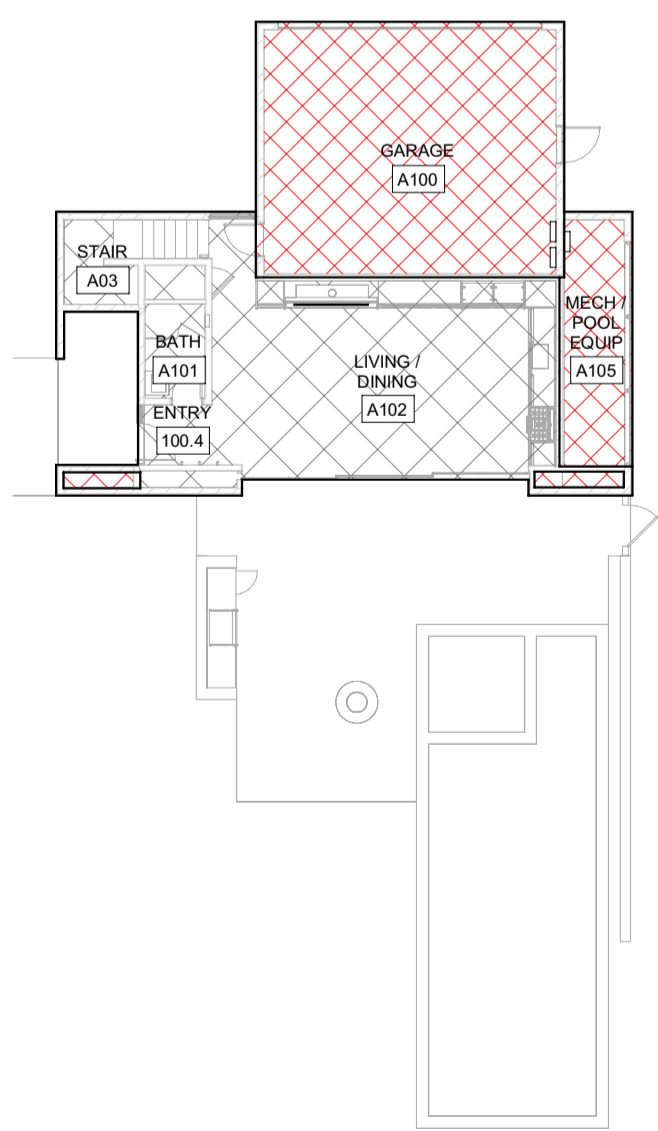
4 1/16" = 1'-0" ADU - LEVEL 02 / CONDITIONED

FLOOR AREA - CONDITIONED ADU	
NAME	AREA
ADU LEVEL 01 - CONDITIONED	735 SF
ADU LEVEL 02 - CONDITIONED	716 SF
TOTAL	1451 SF

FLOOR AREA - MECH	
NAME	AREA
MECH	298 SF

FLOOR AREA - GARAGE	
NAME	AREA
GARAGE	548 SF

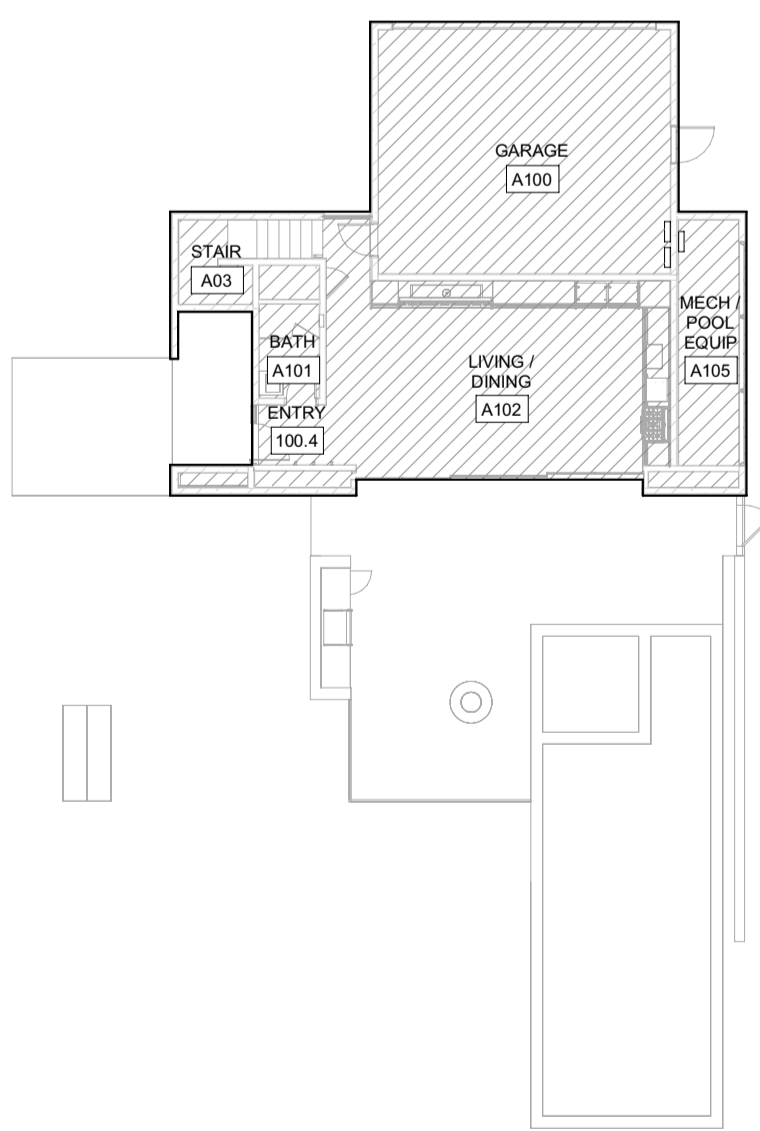
FLOOR AREA GROSS	2297 SF
- FLOOR AREA GARAGE	548 SF
- FLOOR AREA MECH	298 SF
FLOOR AREA CONDITIONED	1451 SF



2 1/16" = 1'-0" ADU - LEVEL 02 / GROSS AREA

FLOOR AREA - GROSS ADU	
NAME	AREA
ADU LEVEL 01 - GROSS	1428 SF
ADU LEVEL 02 - GROSS	869 SF
TOTAL	2297 SF

FLOOR AREA GROSS EXCLUDES DOUBLE HEIGHT SPACES AND STAIRS AT TOP LEVEL



3 1/16" = 1'-0" ADU - LEVEL 01 / CONDITIONED

1 1/16" = 1'-0" ADU - LEVEL 01 / GROSS AREA

BADGER RESIDENCE

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0 02.28.23 BUILDING PERMIT
NO DATE ISSUE

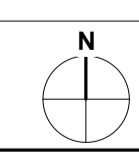
PROJECT:
BADGER RESIDENCE
121 BADGER LANE
KETCHUM, ID 83340

PROJECT NUMBER
#2201

DRAWING TITLE:
AREA CALCULATIONS- ADU GROSS / CONDITIONED

DRAWING NUMBER:
G-012.2

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BLD2303-00021
06/26/23

2/2/25



1 MAIN HOUSE | EAST ELEVATION VIEW - FRONT



2 MAIN HOUSE | NORTH-EAST VIEW - DRIVEWAY



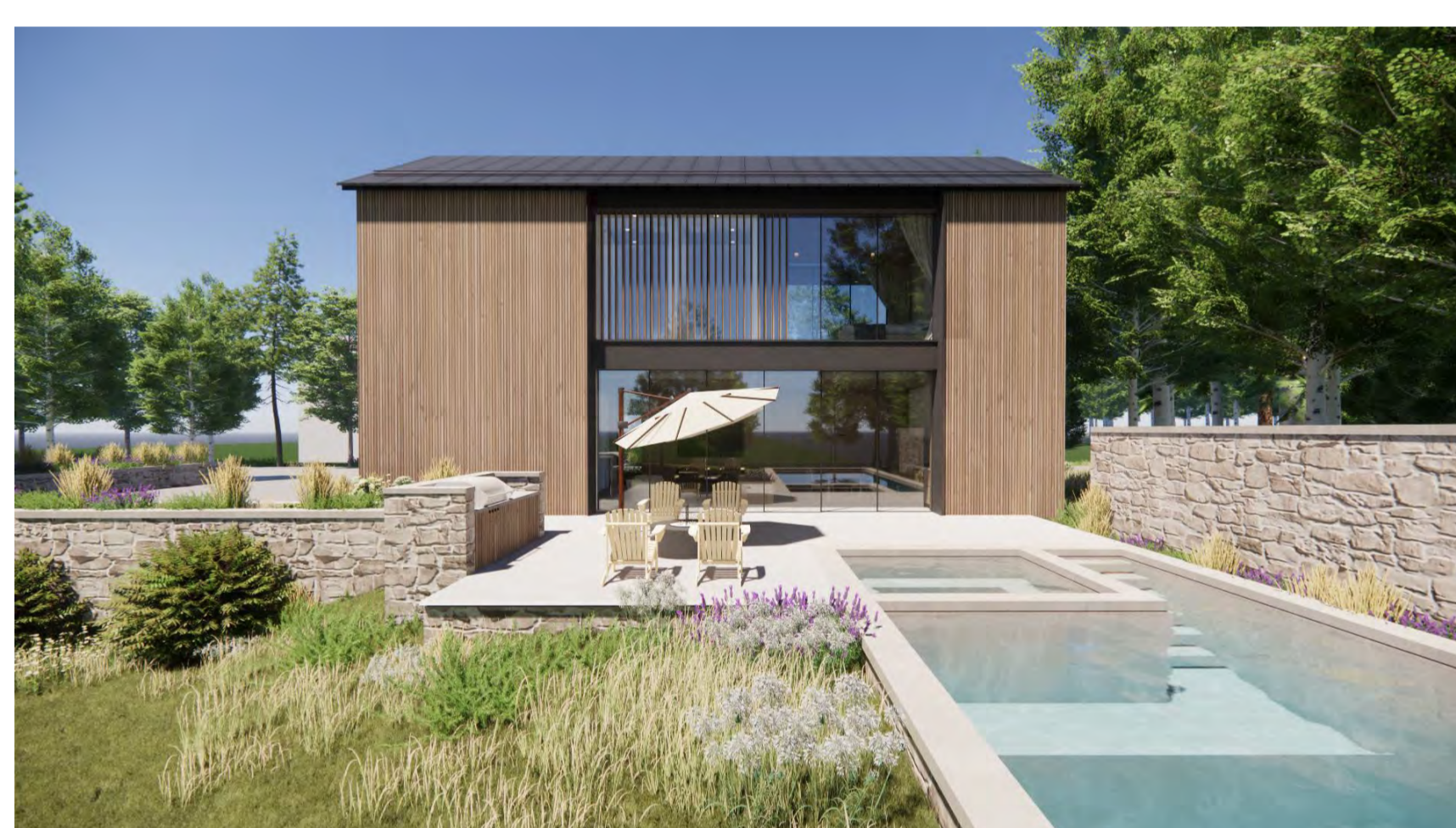
3 MAIN HOUSE | WEST ELEVATION VIEW - REAR



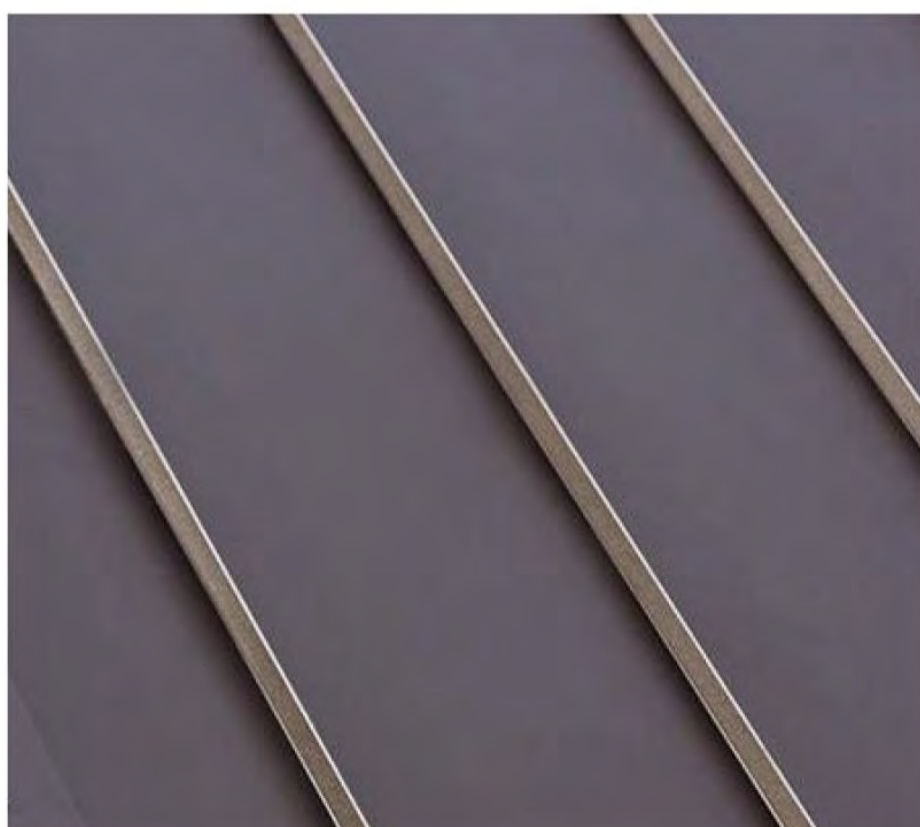
4 ADU | NORTH-EAST VIEW - DRIVEWAY



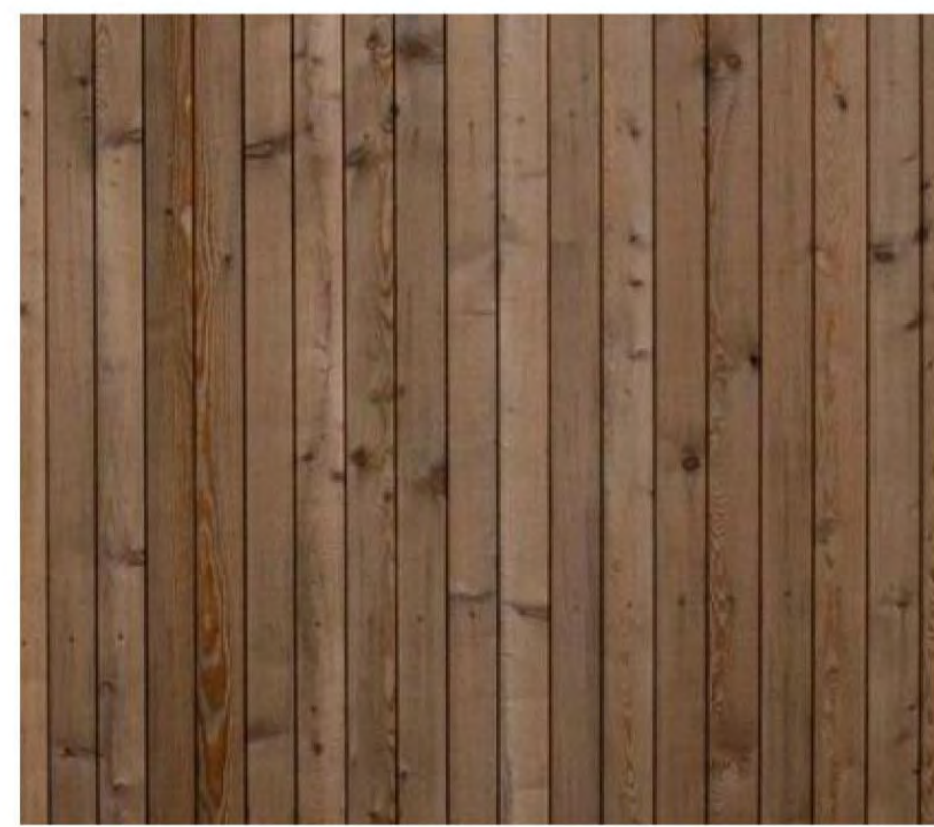
5 ADU | NORTH-WEST VIEW - GUEST PARKING & ENTRY



6 ADU | SOUTH ELEVATION VIEW - POOL DECK



METAL: ROOF + FASCIAS



WOOD: RAINSCREEN FACADE / SCREENS



CONCRETE: BASE + STEPS



METAL WINDOWS



STONE: LANDSCAPE WALLS

5 EXTERIOR MATERIALS

BADGER RESIDENCE

OWNER:

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KETCHUM, ID 83340

PROJECT ARCHITECT:

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STRUCTURAL ENGINEER:

LFA
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TEL: 213.239.9700

MEP ENGINEER:

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BOZEMAN, MT 59715
TEL: 406.272.0352

LIGHTING DESIGN CONSULTANT:

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270 CORAL CIRCLE
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TEL: 310.552.2191

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SEAL:



0	02.28.23	BUILDING PERMIT
NO	DATE	ISSUE

PROJECT:

BADGER RESIDENCE
121 BADGER LANE
KETCHUM, ID 83340

PROJECT NUMBER

#2201



DRAWING TITLE:

PERSPECTIVE VIEWS & MATERIALS

DRAWING NUMBER:

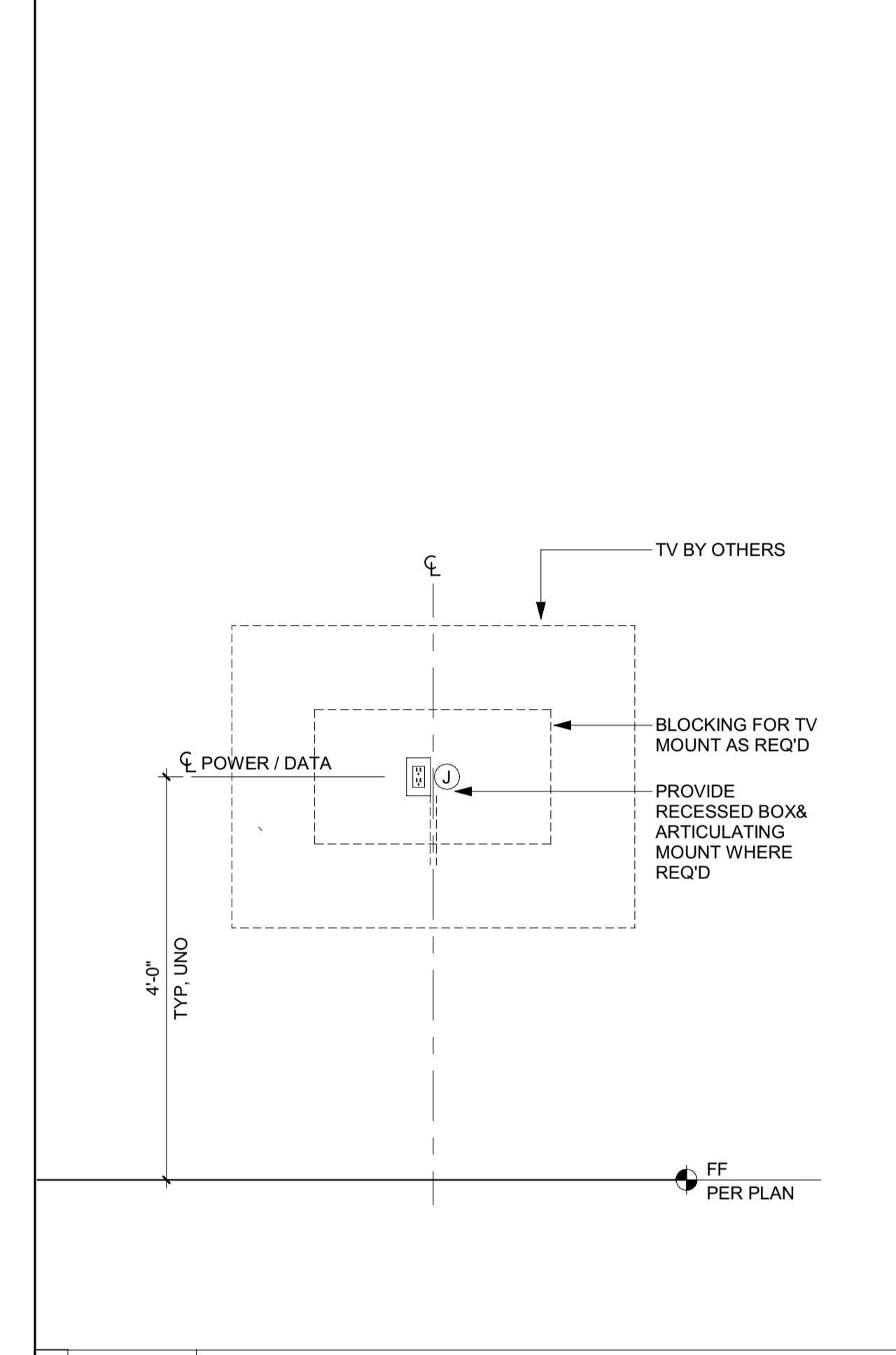
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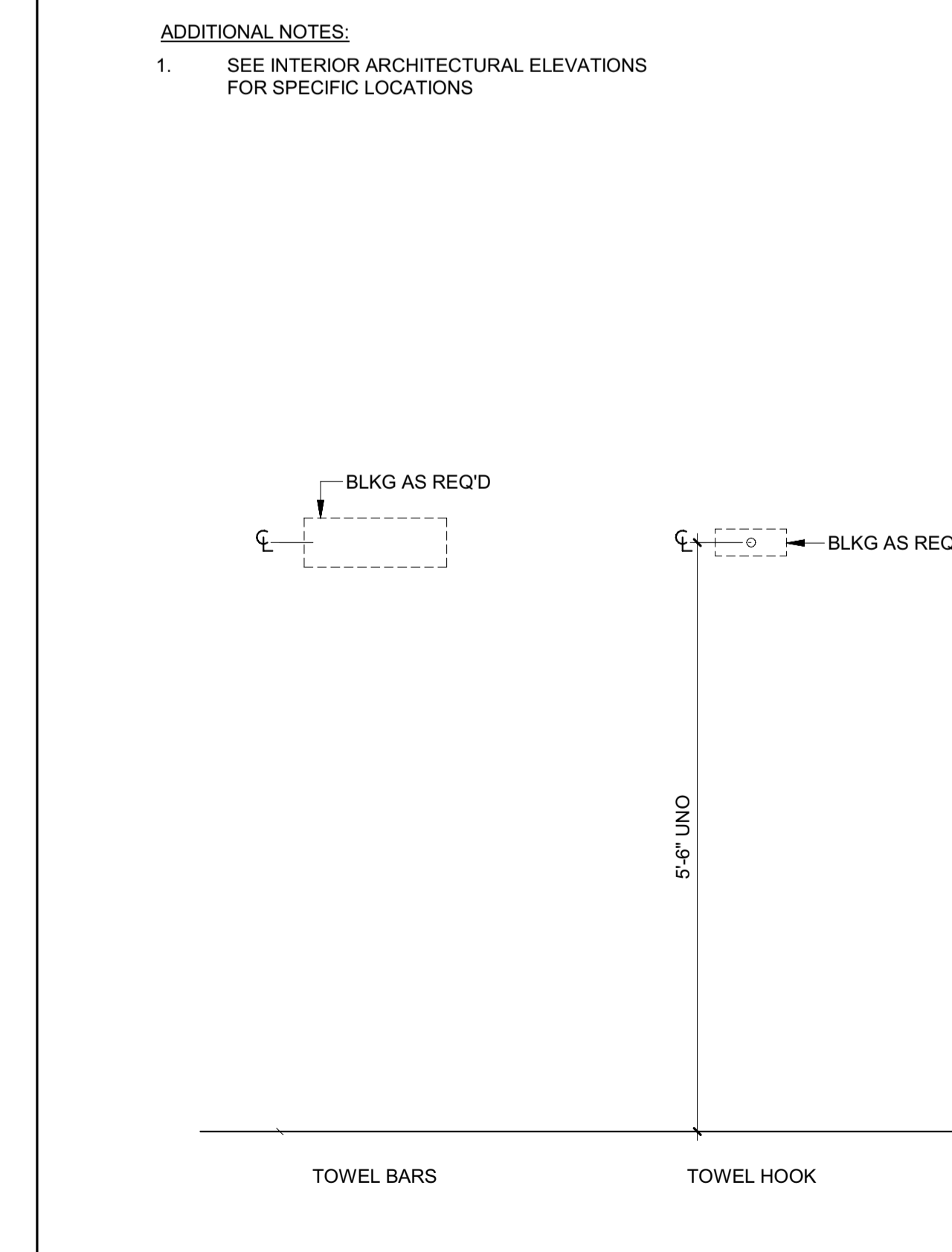
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BLD2303-00021
06/26/23

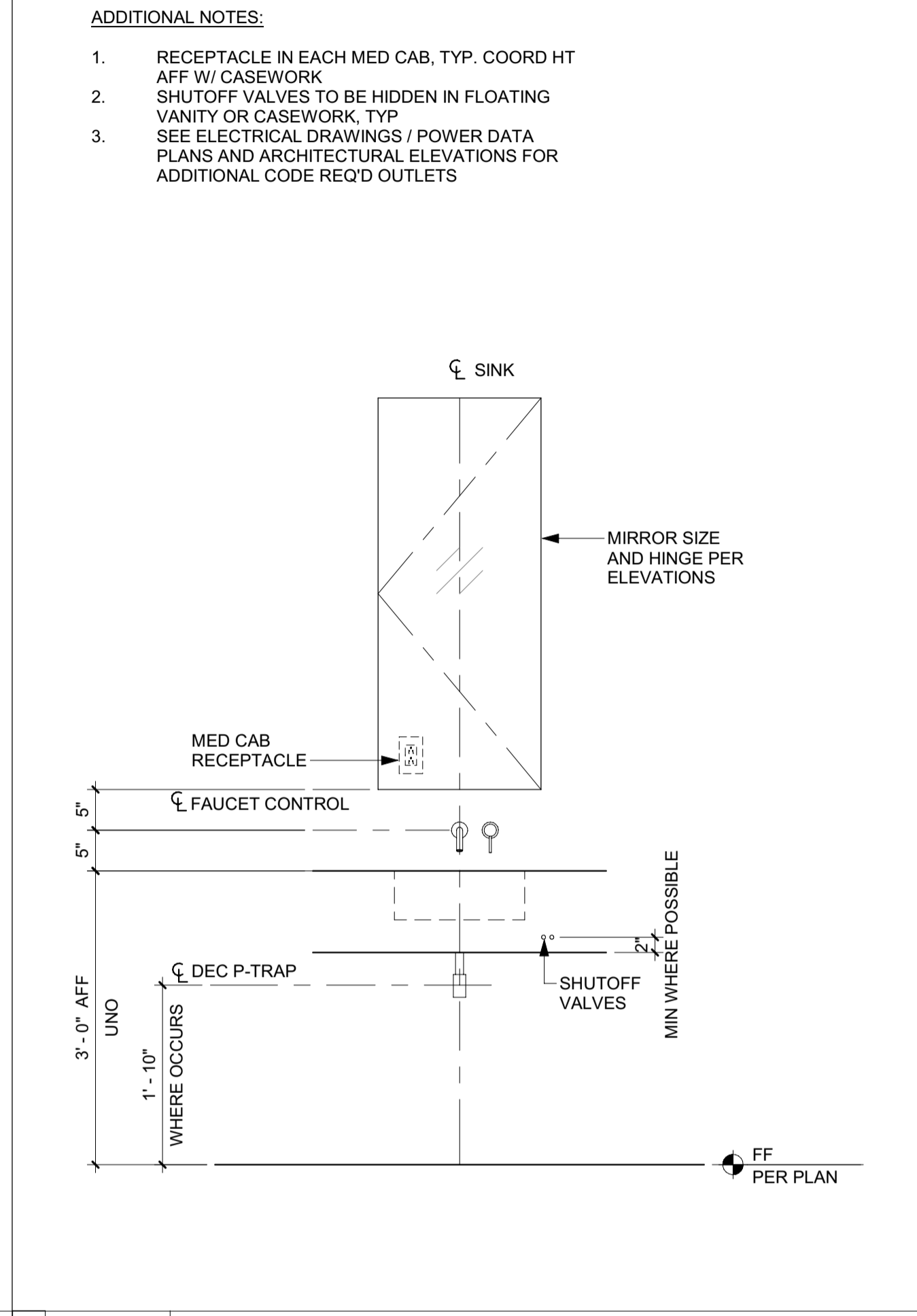
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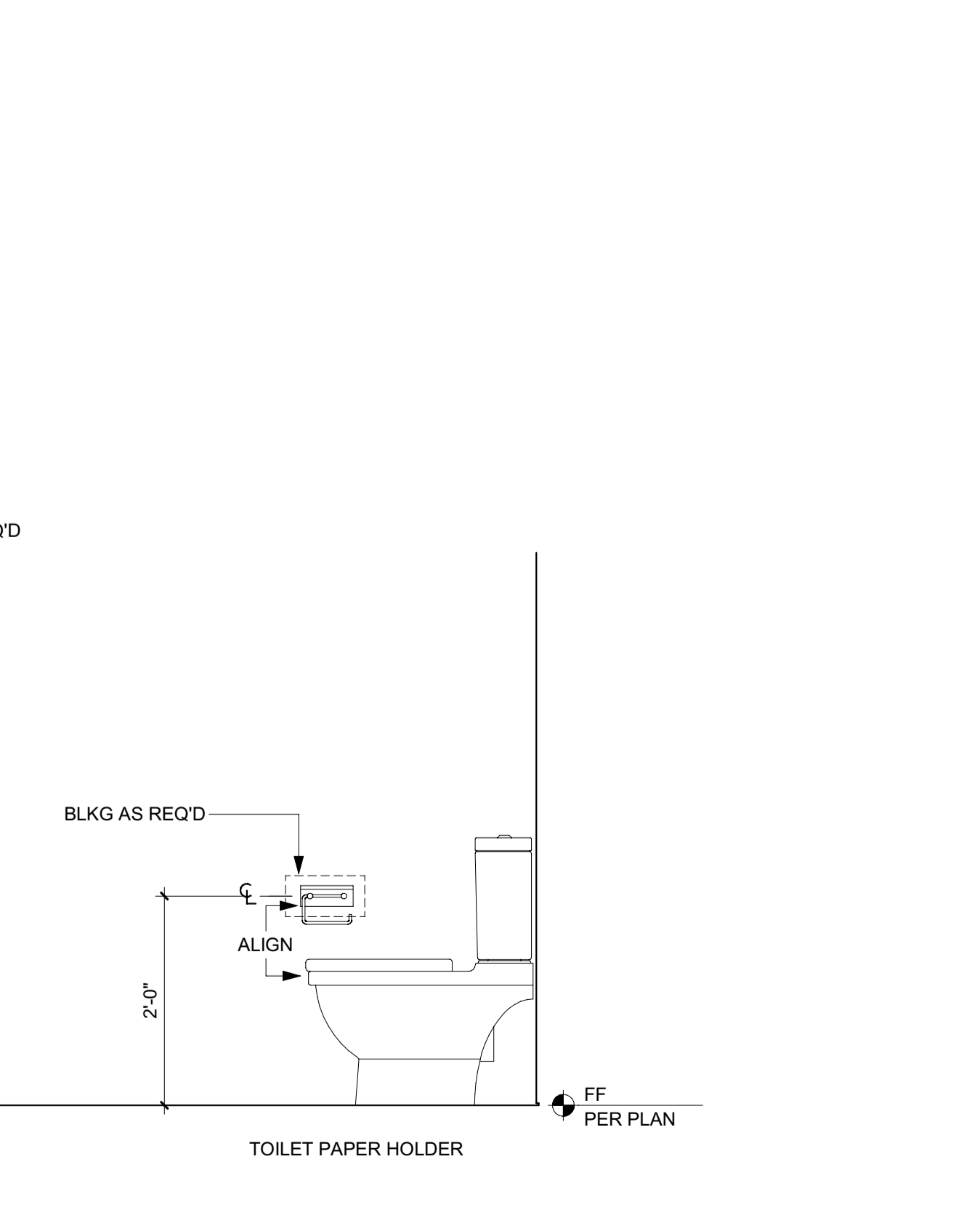
7 3/4" = 1'-0" TYP TV MOUNTING



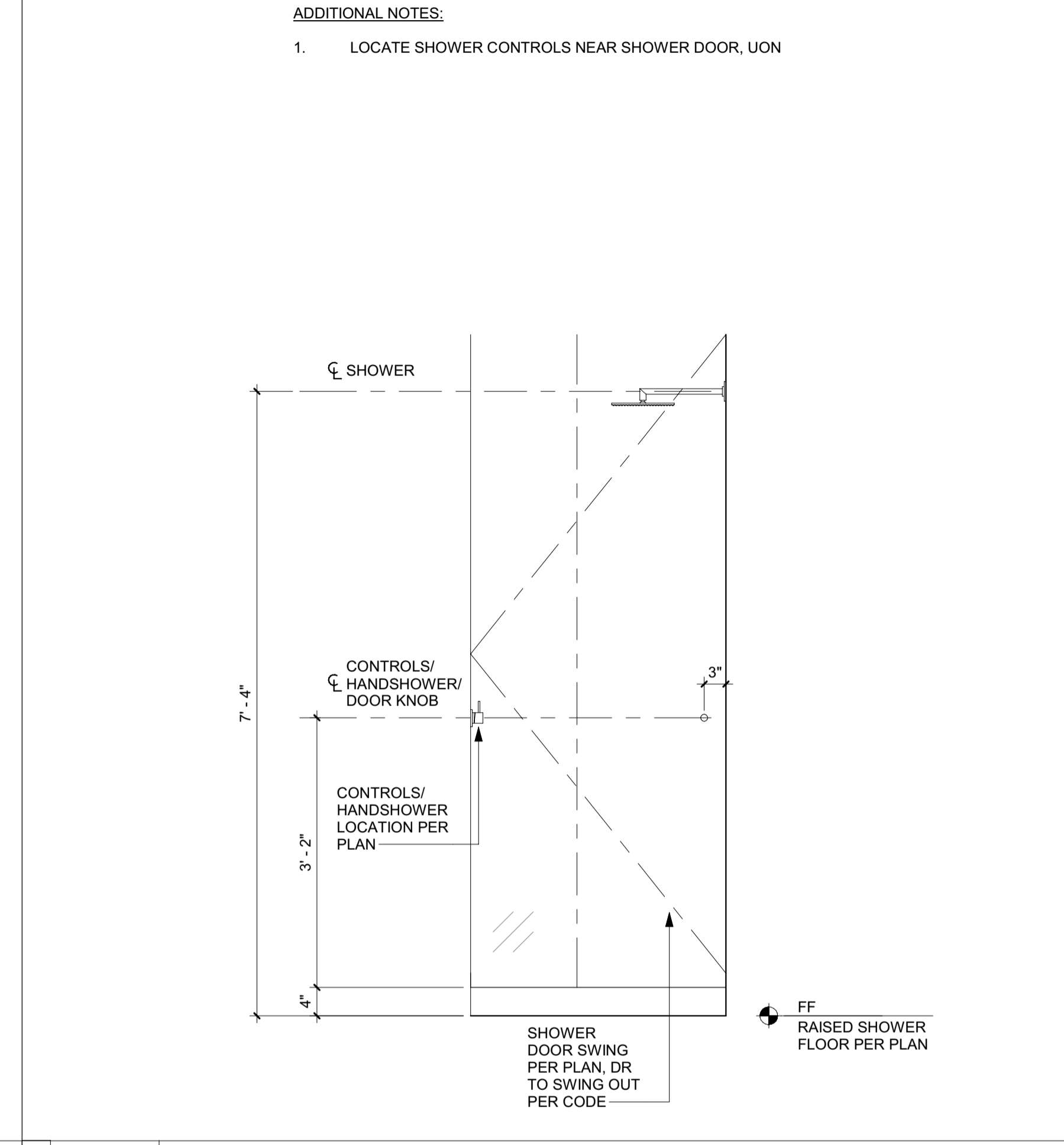
3 3/4" = 1'-0" TYP MOUNTING HEIGHTS



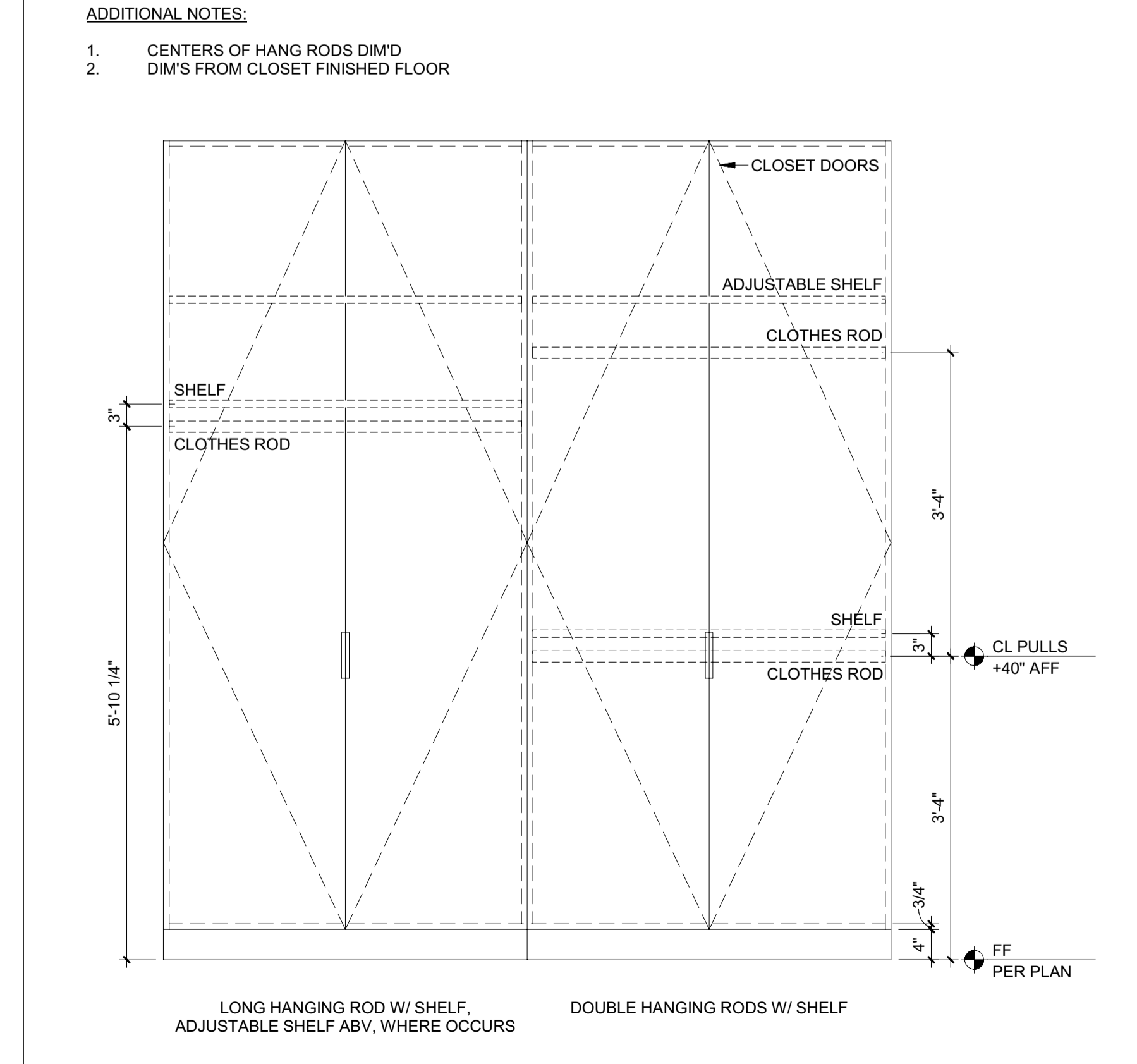
6 3/4" = 1'-0" TYP VANITY / MED CAB



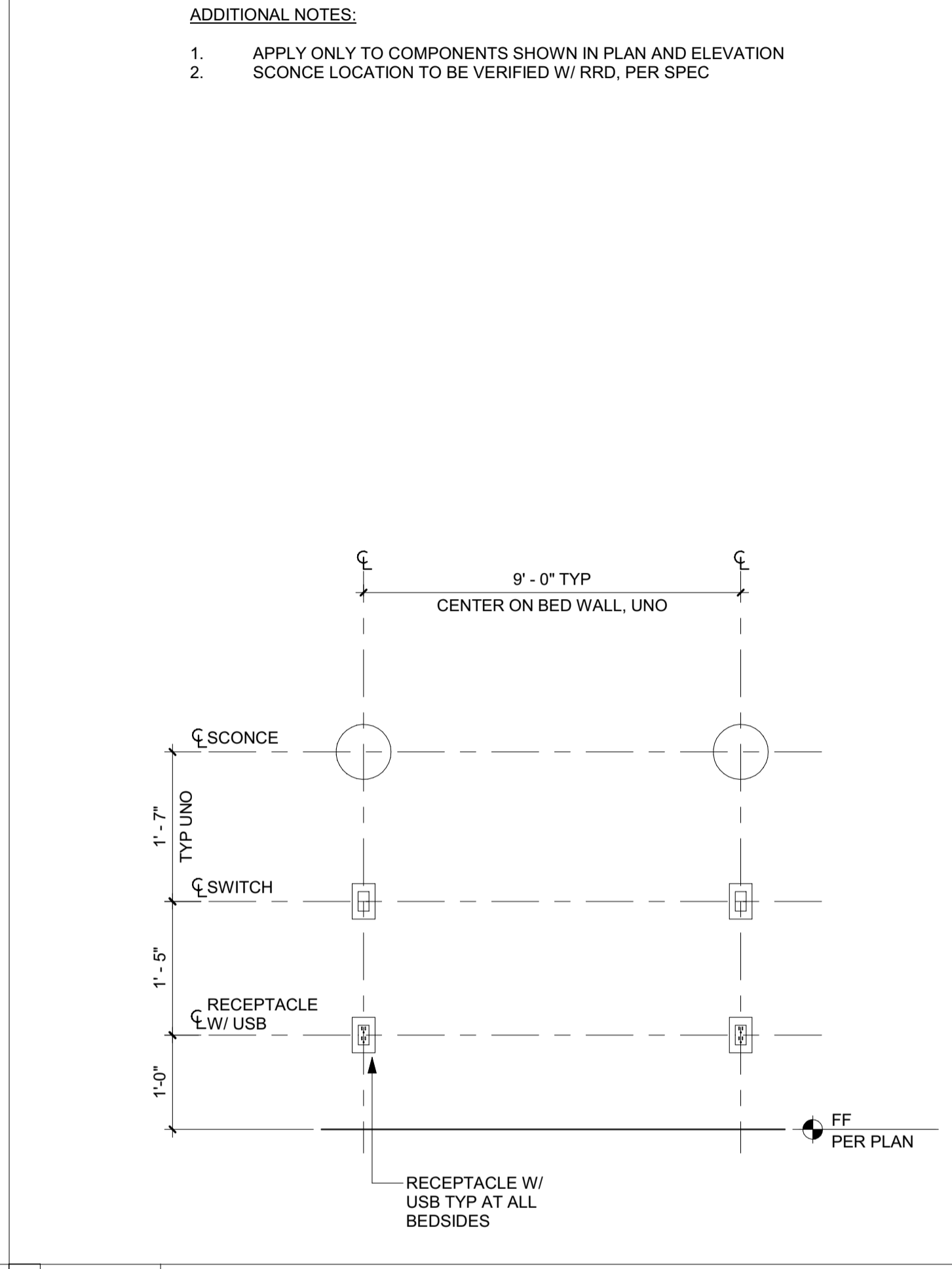
2 3/4" = 1'-0" TYP CLOSET RODS, SHELVES & PULLS



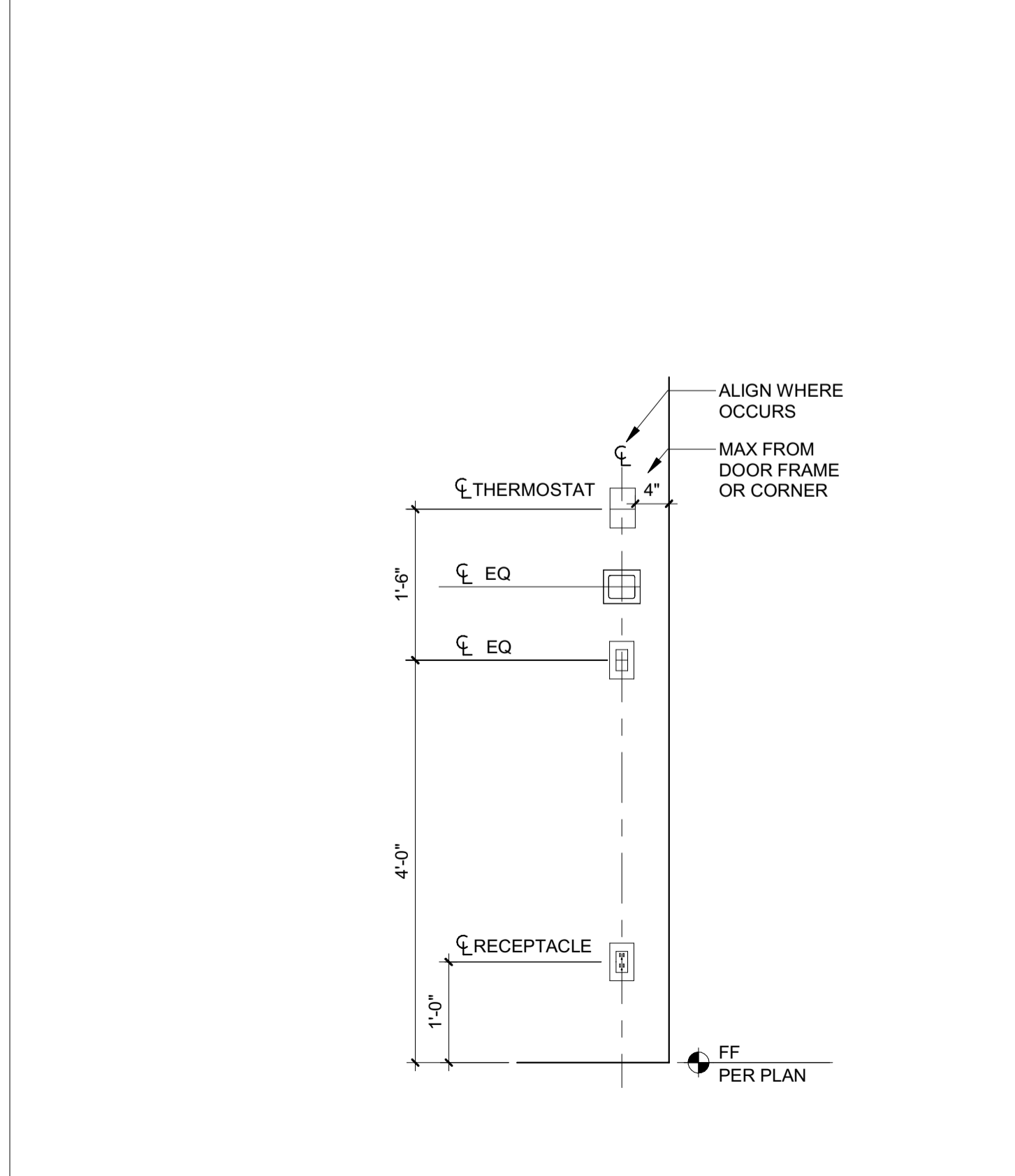
5 3/4" = 1'-0" TYP SHOWER CONTROLS



8 3/4" = 1'-0" TYP SWITCHES & REC



4 3/4" = 1'-0" TYP BED WALL



1 3/4" = 1'-0" TYP ISLAND PLUMBING VENT

- ADDITIONAL NOTES:**
1. RECEPTACLE IN EACH MED CAB, TYP. COORD HT AFF W/ CASEWORK
 2. SHUTOFF VALVES TO BE HIDDEN IN FLOATING VANITY OR CASEWORK, TYP
 3. SEE ELECTRICAL DRAWINGS / POWER DATA PLANS AND ARCHITECTURAL ELEVATIONS FOR ADDITIONAL CODE REQ'D OUTLETS

- ADDITIONAL NOTES:**
1. LOCATE SHOWER CONTROLS NEAR SHOWER DOOR, UNO

- ADDITIONAL NOTES:**
1. APPLY ONLY TO COMPONENTS SHOWN IN PLAN AND ELEVATION
 2. SCNCE LOCATION TO BE VERIFIED W/ RRD, PER SPEC

1. SEE PLUMBING DRAWINGS FOR MORE INFORMATION

BADGER RESIDENCE

OWNER:
121 BADGER LANE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340

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TWIN FALLS, ID 83301
TEL: 208.736-8543

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BENCHMARK ASSOCIATES, P.A.
P.O. BOX 733 - 100 BELL DRIVE
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TEL: 208.726.9512

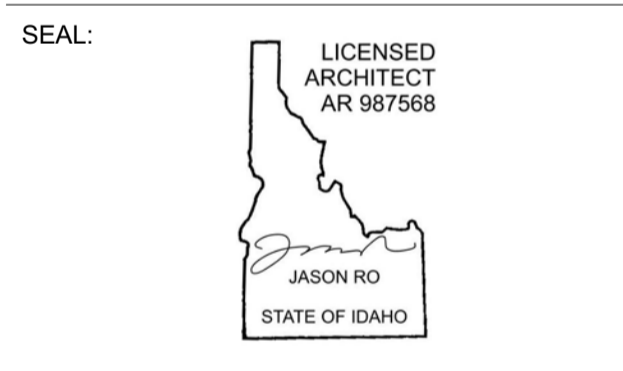
STRUCTURAL ENGINEER:
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NO	DATE	BUILDING PERMIT	ISSUE
0	02.28.23		

PROJECT:
BADGER RESIDENCE
121 BADGER LANE
KETCHUM, ID 83340

PROJECT NUMBER:
#2201

DRAWING TITLE:
TYPICAL MOUNTING HEIGHTS

DRAWING NUMBER:
G-014

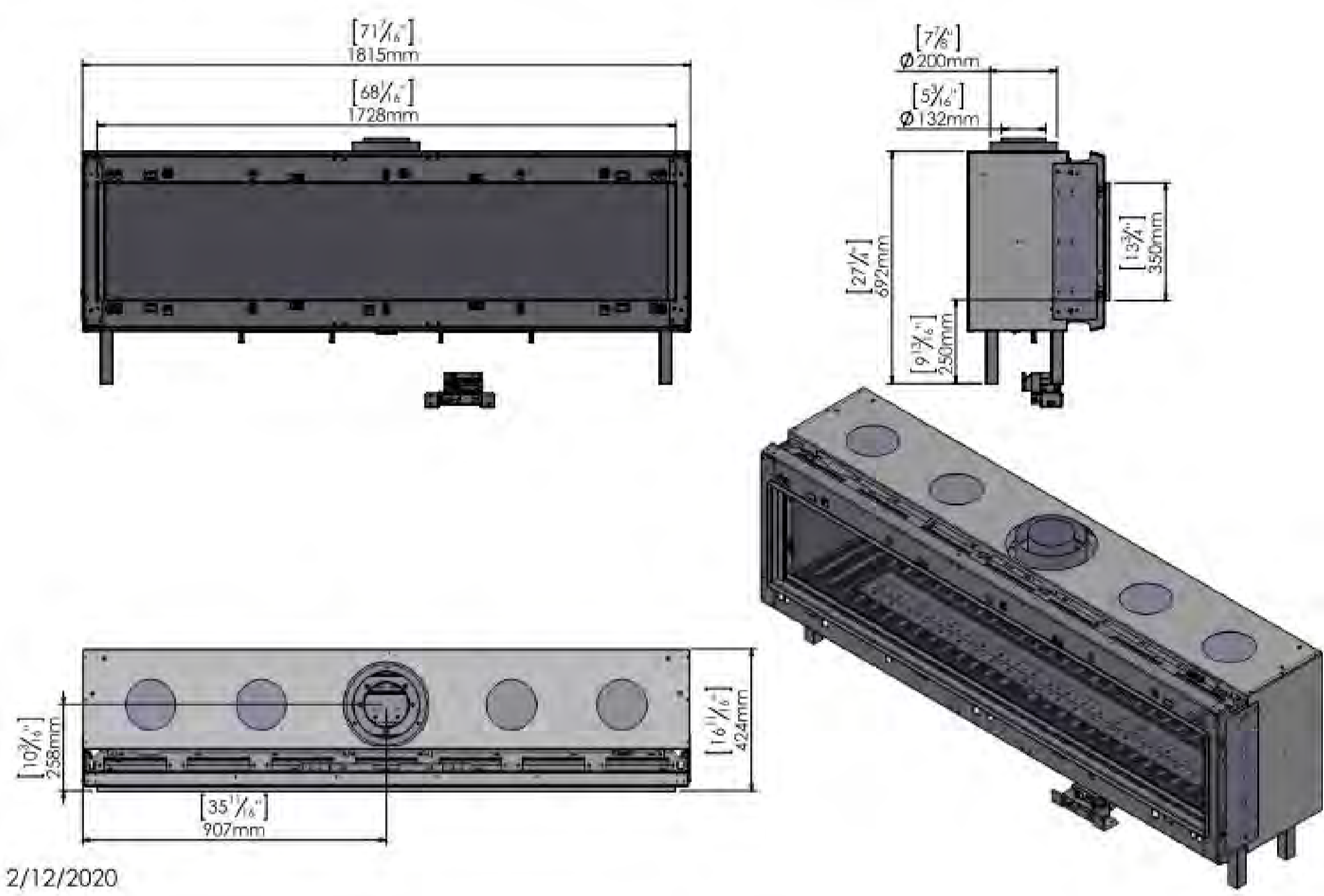
Approved
 These plans have been found to be in substantial compliance with the applicable building codes. These documents are approved contingent on compliance with the mark-ups and notes applied. This is not approval of any code, ordinance, statute or regulation. Erections will be required for code violations found during the inspection process.
 BLD2303-00021
 06/26/23
 2/2/20

UNIT	INT/EXT	RM #	RM NAME	MANUFACTURER	MODEL	BTU	SCHEDULE FIREPLACES	TYPE/DESCRIPTION
FP-1	INT	106	GREAT ROOM	ISOKERN	MAGNUM T2 TALL			
FP-2	INT	107	FAMILY RM	ISOKERN	MAXIMUS LINEAR 72	92,000		
FP-3	INT	205	MASTER BEDROOM	ISOKERN	MAGNUM 48			
FP-4	INT	A102	LIVING / DINING	ORTAL	170 FRONT	43,715		FLUSH HORIZONTAL POWER VENT
FP-5	EXT		ADU POOL DECK	LUMACAST	CYLINDRA 48	180,000		
FP-6	EXT		ADU UPPER DECK	LUMACAST	CYLINDRA 42	180,000		
FP-7	EXT		MH FRONT DECK	LUMACAST	BLOC 92	200,000		
FP-8	EXT		MH REAR DECK	LUMACAST	BLOC 92	200,000		

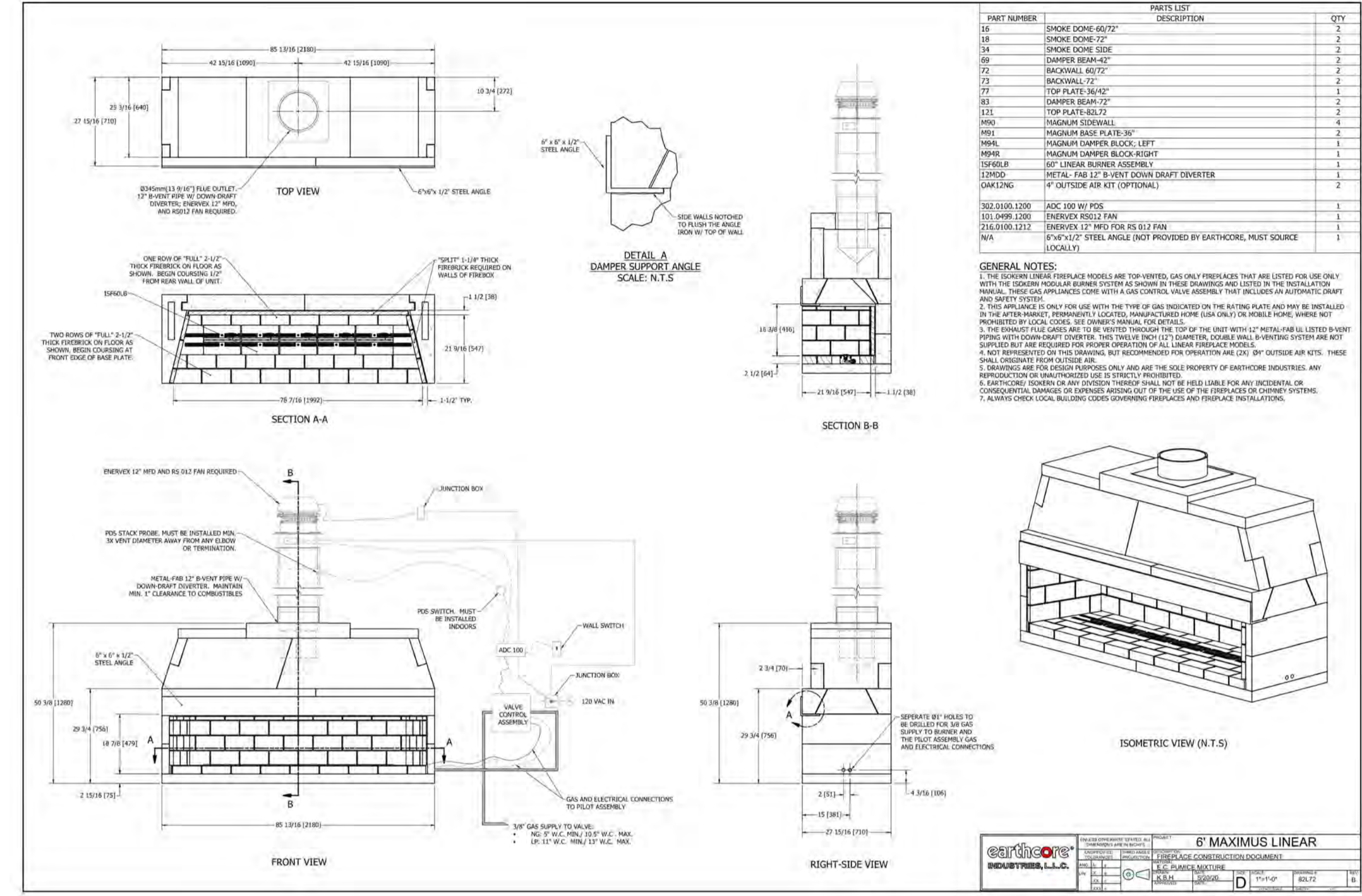
ORTAL

YOUR LIFE. YOUR FIRE

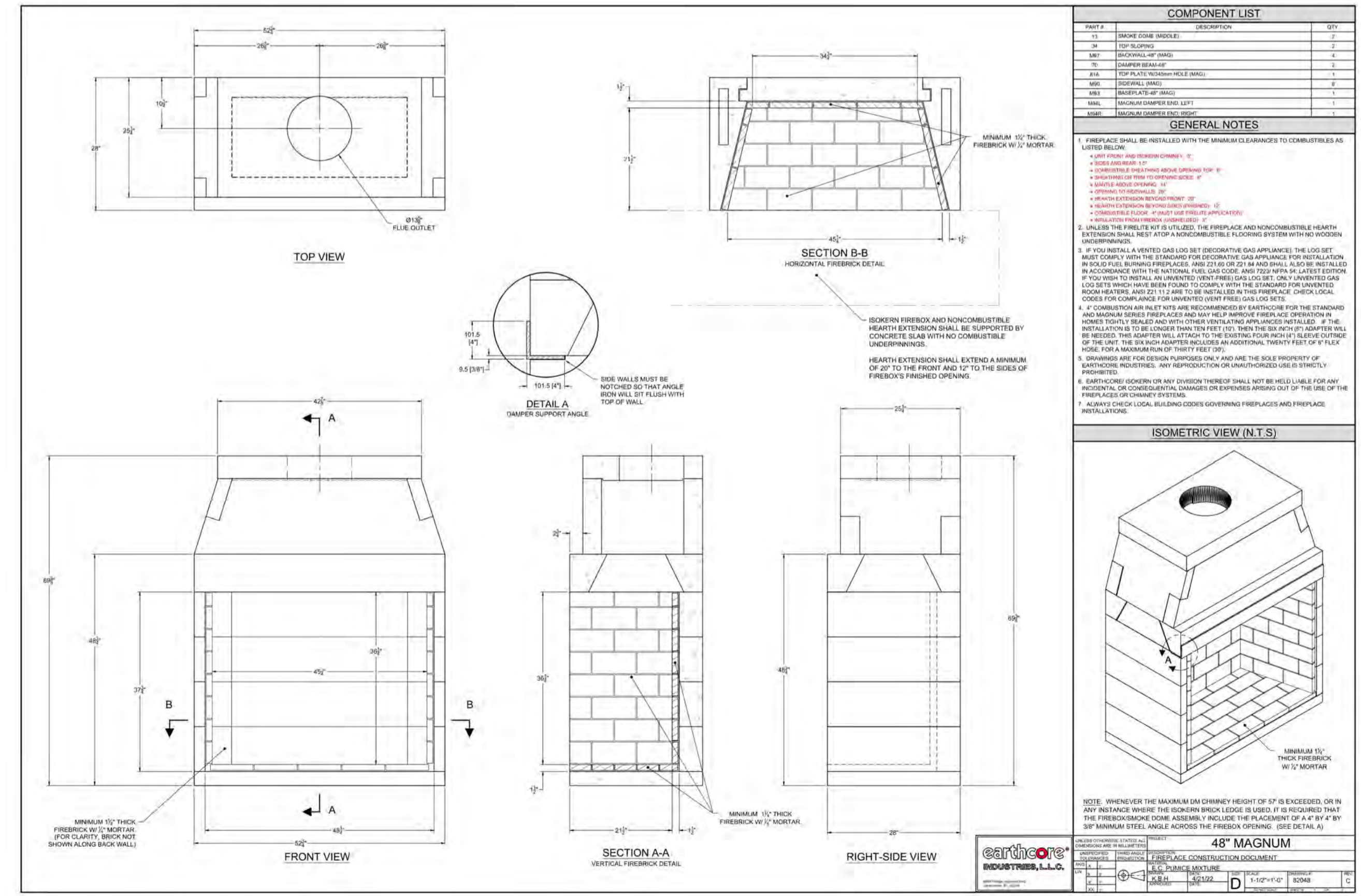
170 Front (Screen)



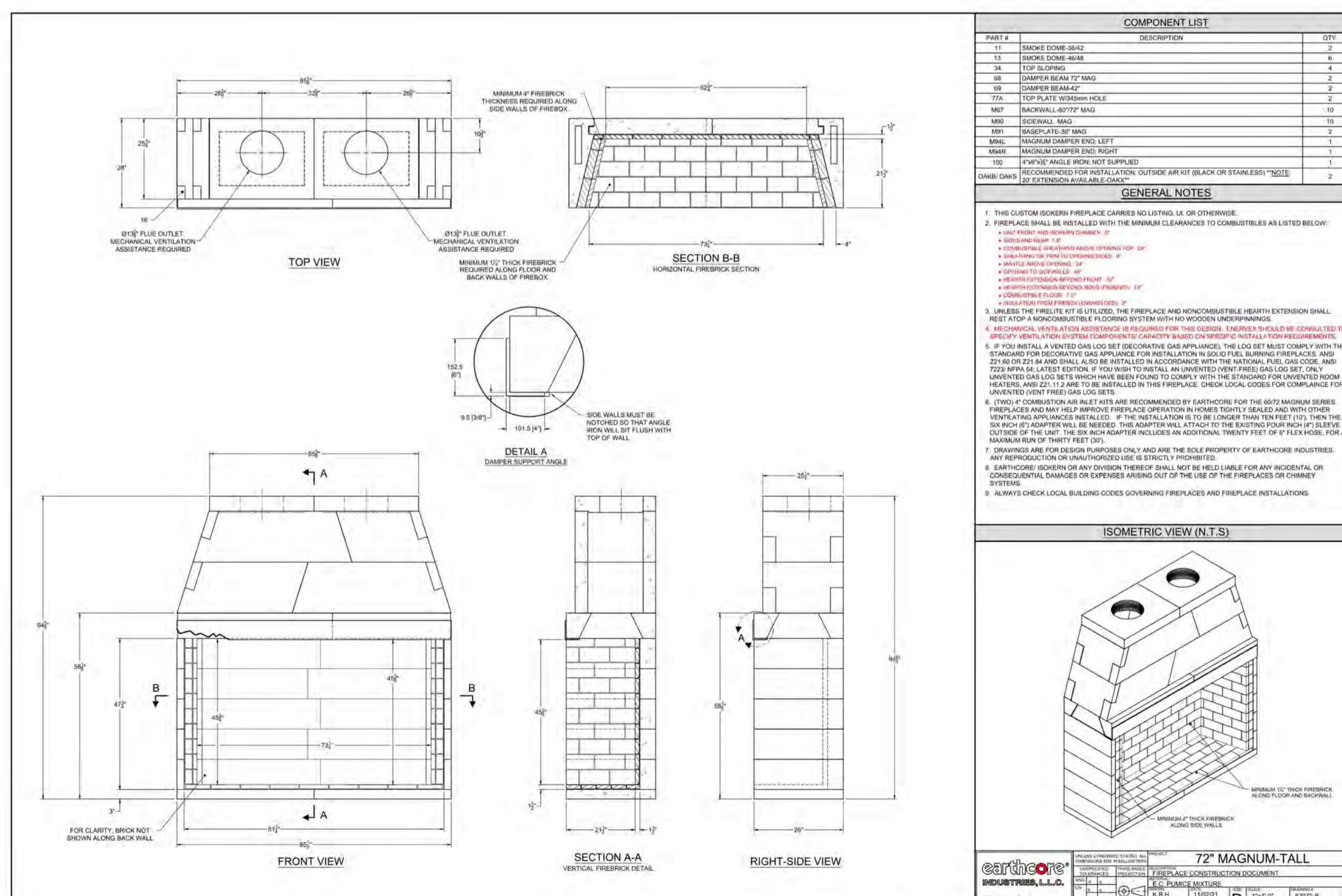
4 SCALE: NTS [FP-4] ORTAL - 170 FRONT



2 SCALE: NTS [FP-2] ISOKERN 72" MAXIMUS LINEAR



3 SCALE: NTS [FP-3] ISOKERN MAGNUM 48



1 SCALE: NTS [FP-1] ISOKERN 72" MAGNUM - TALL

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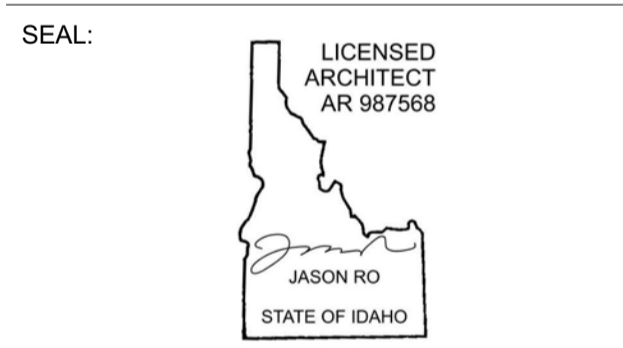
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MEP ENGINEER:
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NO	DATE	BUILDING PERMIT ISSUE
0	02.28.23	

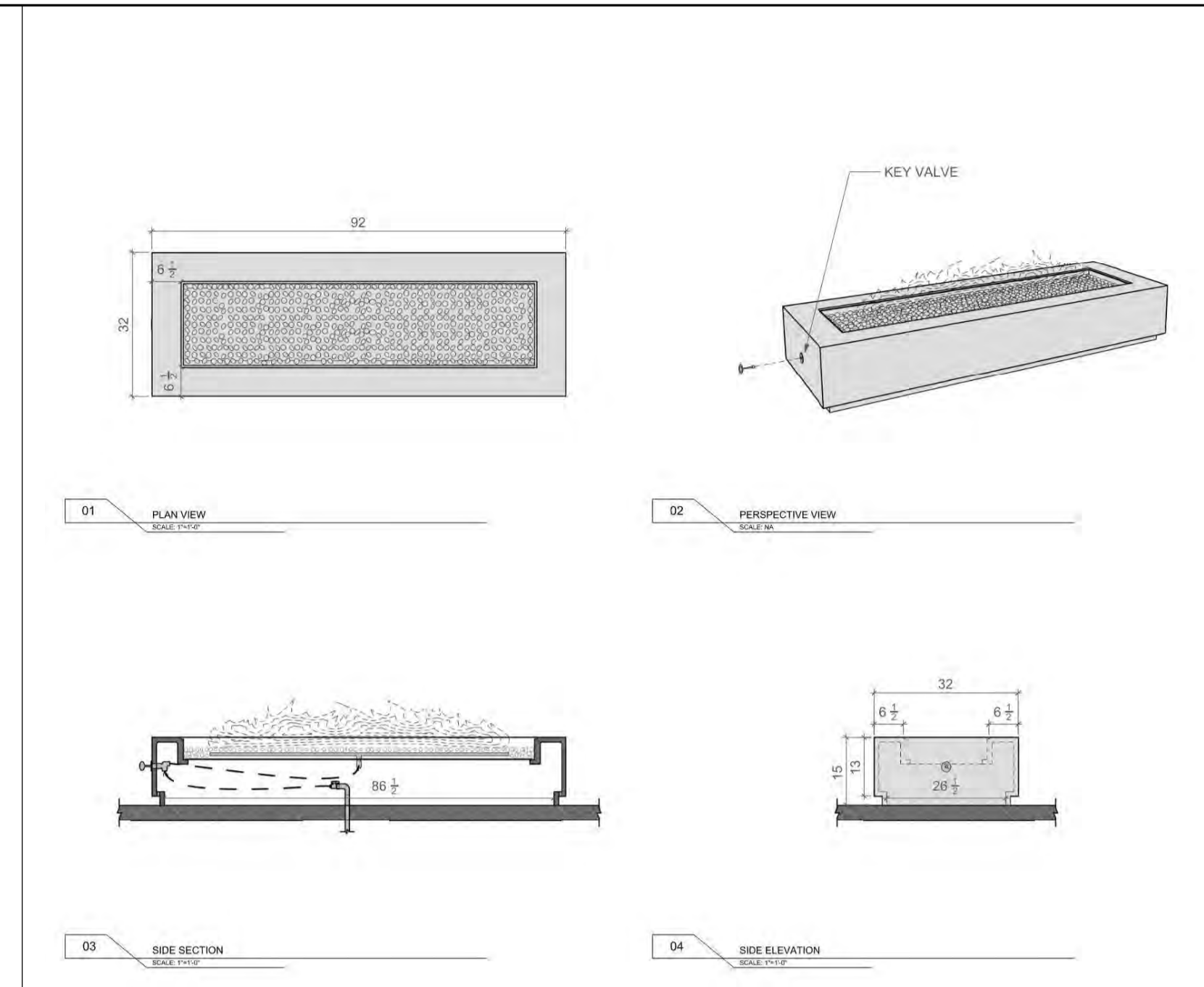
PROJECT:
 BADGER RESIDENCE
 121 BADGER LANE
 KETCHUM, ID 83340

PROJECT NUMBER
#2201

DRAWING TITLE:
FIREPLACE SCHEDULE

DRAWING NUMBER:
G-102

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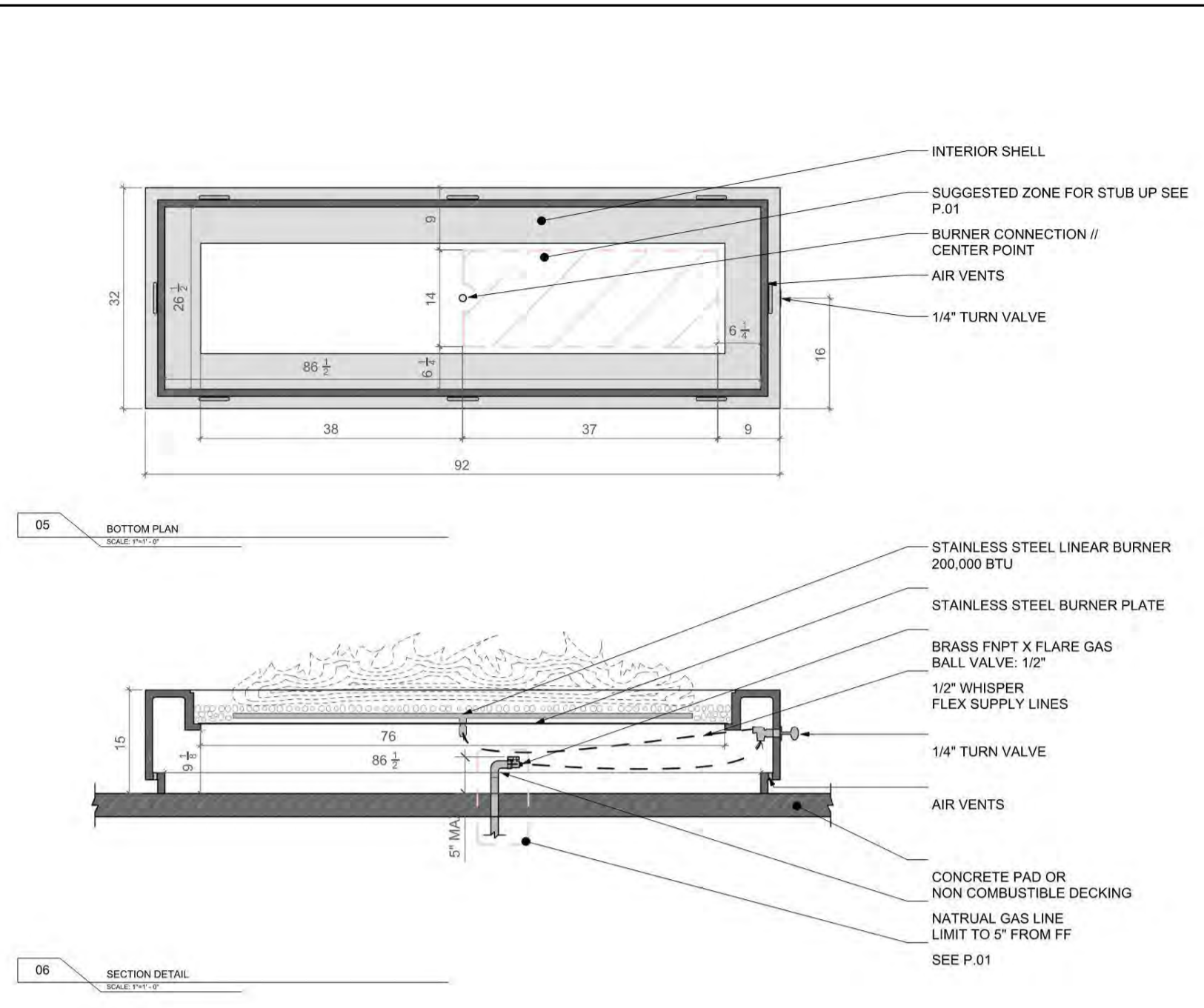
LUMACAST
 7171 River Rd.
 San Diego, CA 92121
 619.451.1888
 www.lumacast.com

PROJECT INFORMATION
 PROJECT: [REDACTED]
 PROJECT FIRM: [REDACTED]
 DESIGNER: [REDACTED]

DRAWING INFORMATION
 DRAWING PACKAGE: [REDACTED]
 SHEET CONTENTS: [REDACTED]
 SHEET LOCATION: [REDACTED]

DESIGNER: [REDACTED]
DATE: [REDACTED]

A1.0
 SHEET NO.



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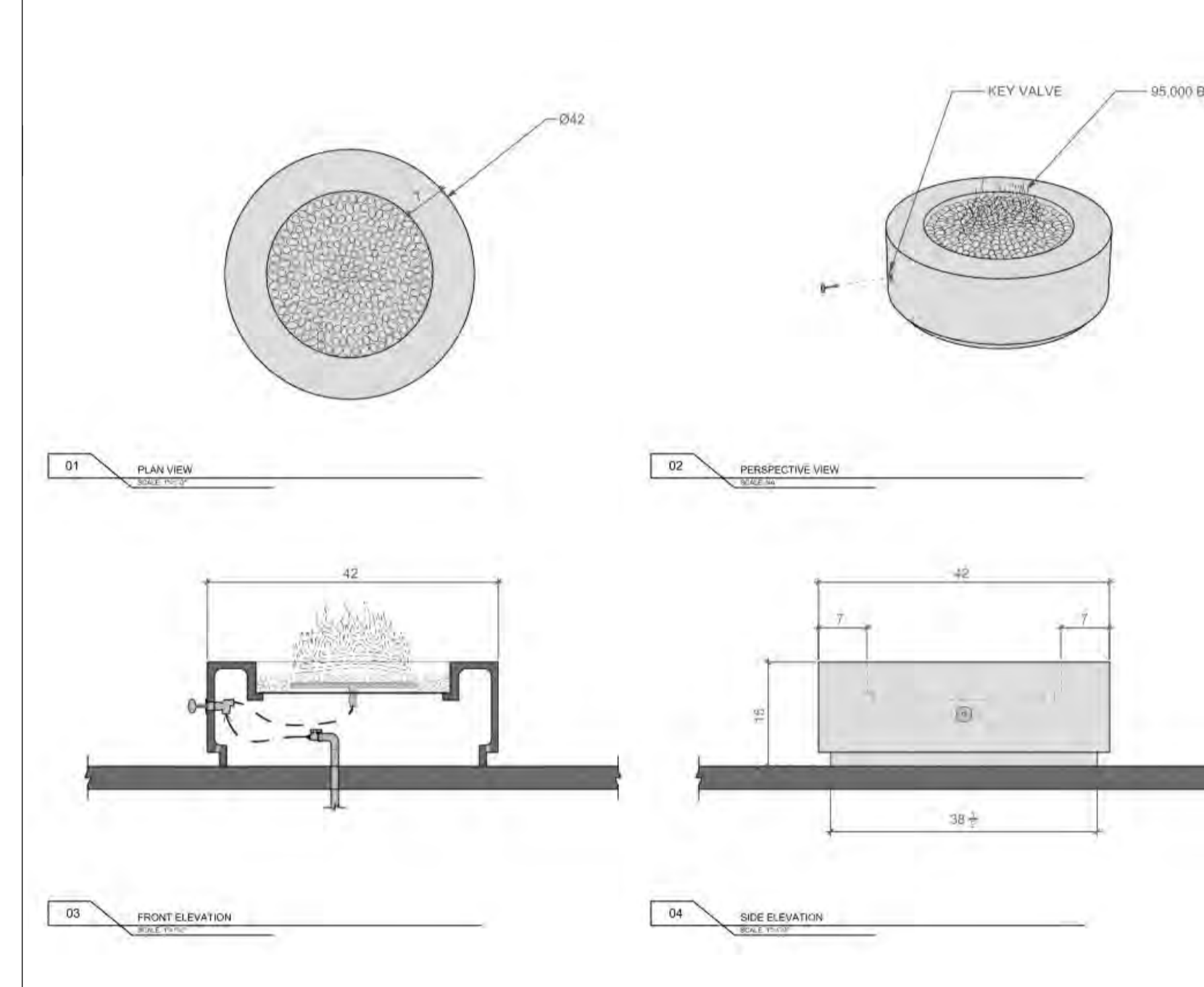
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 DESIGNER: [REDACTED]

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DESIGNER: [REDACTED]
DATE: [REDACTED]

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 SHEET NO.

7 SCALE: NTS [FP-7 & FP-8] LUMACAST - BLOC 92



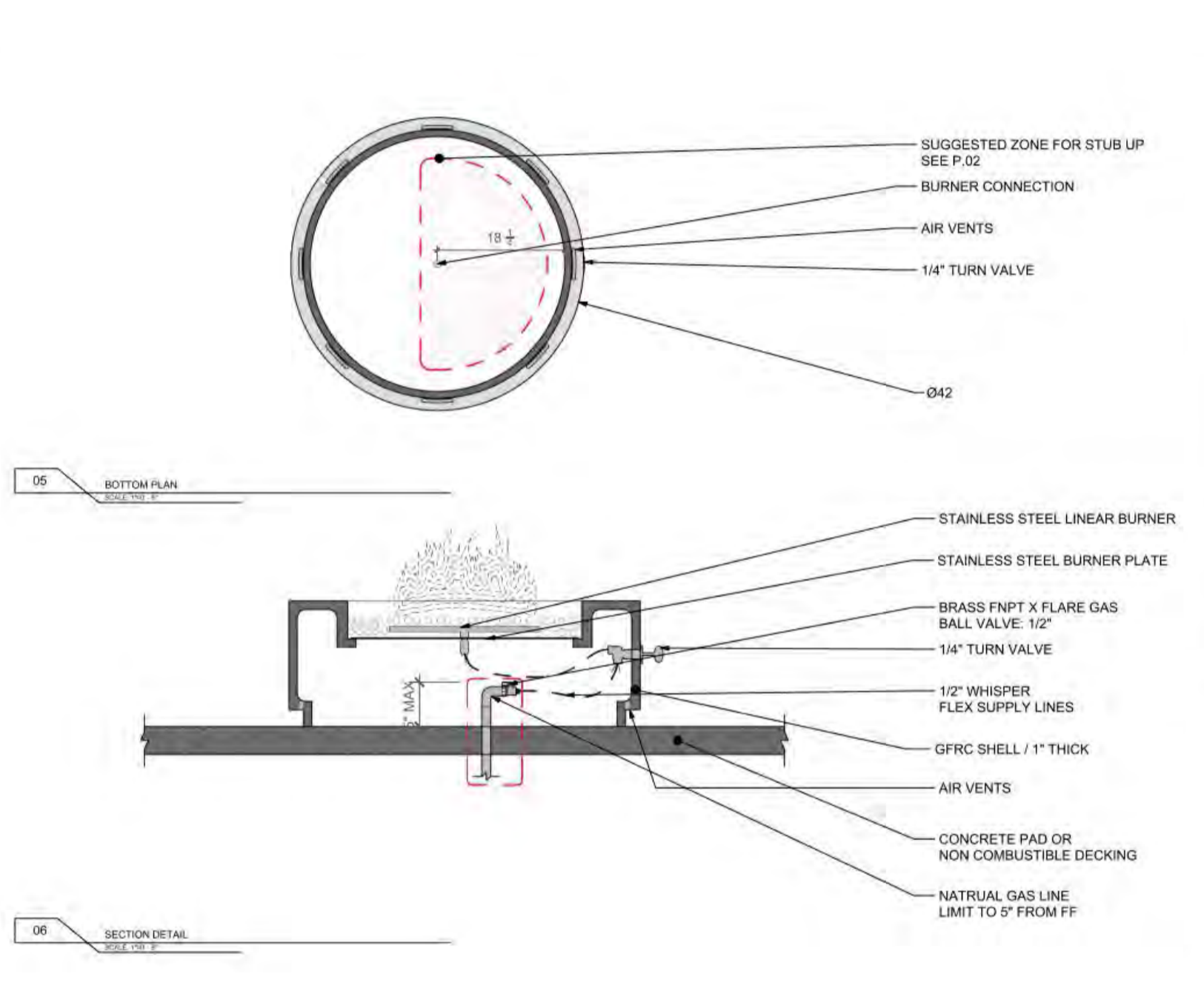
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 San Diego, CA 92121
 619.451.1888
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PROJECT INFORMATION
 PROJECT: [REDACTED]
 PROJECT FIRM: [REDACTED]
 DESIGNER: [REDACTED]

DRAWING INFORMATION
 DRAWING PACKAGE: [REDACTED]
 SHEET CONTENTS: [REDACTED]
 SHEET LOCATION: [REDACTED]

DESIGNER: [REDACTED]
DATE: [REDACTED]

A1.0
 SHEET NO.



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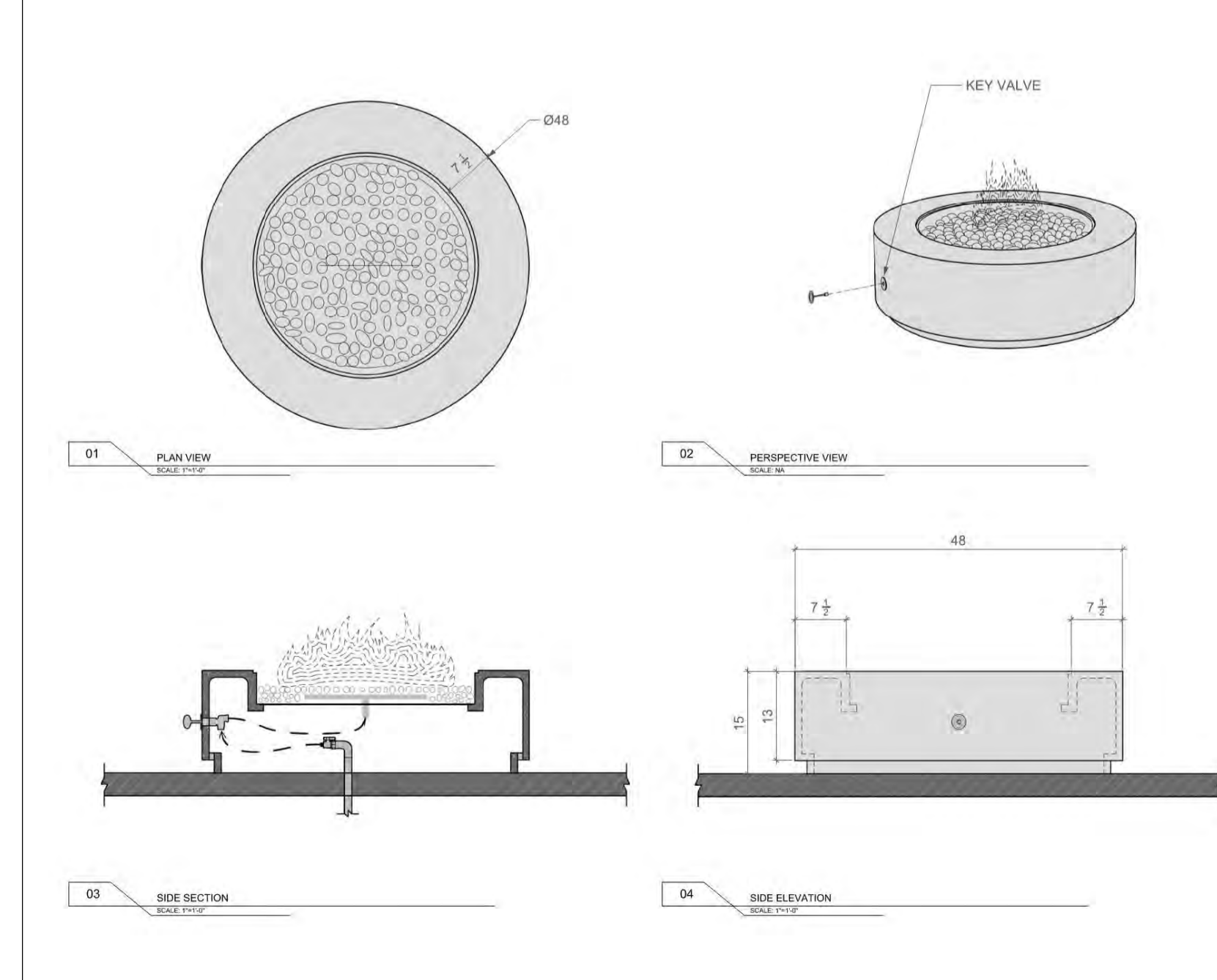
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 PROJECT FIRM: [REDACTED]
 DESIGNER: [REDACTED]

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 SHEET CONTENTS: [REDACTED]
 SHEET LOCATION: [REDACTED]

DESIGNER: [REDACTED]
DATE: [REDACTED]

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 SHEET NO.

6 SCALE: NTS [FP-6] LUMACAST - CYLINDRA 42



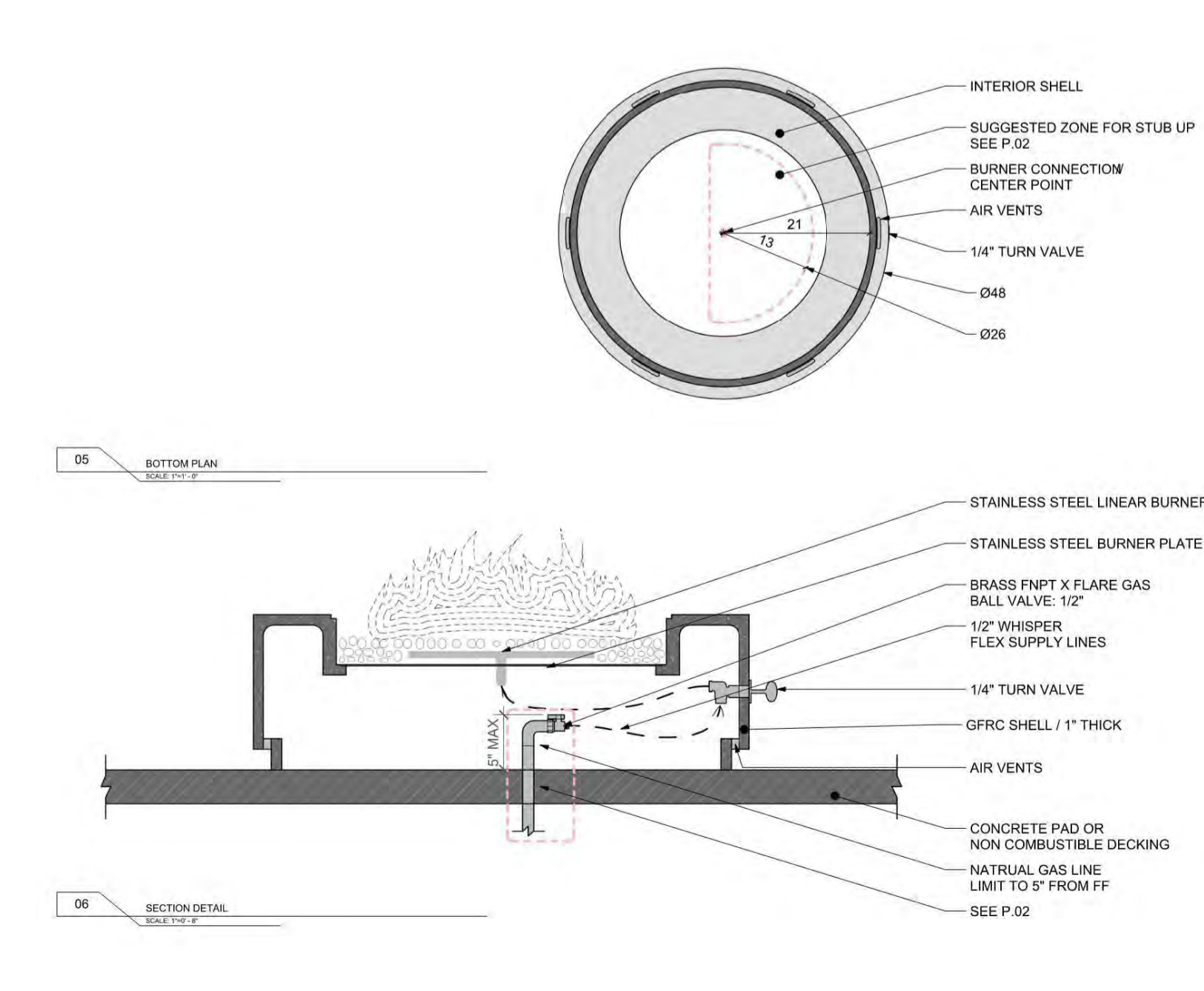
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PROJECT INFORMATION
 PROJECT: [REDACTED]
 PROJECT FIRM: [REDACTED]
 DESIGNER: [REDACTED]

DRAWING INFORMATION
 DRAWING PACKAGE: [REDACTED]
 SHEET CONTENTS: [REDACTED]
 SHEET LOCATION: [REDACTED]

DESIGNER: [REDACTED]
DATE: [REDACTED]

A1.0
 SHEET NO.



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PROJECT INFORMATION
 PROJECT: [REDACTED]
 PROJECT FIRM: [REDACTED]
 DESIGNER: [REDACTED]

DRAWING INFORMATION
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 SHEET CONTENTS: [REDACTED]
 SHEET LOCATION: [REDACTED]

DESIGNER: [REDACTED]
DATE: [REDACTED]

A1.1
 SHEET NO.

5 SCALE: NTS [FP-5] LUMACAST - CYLINDRA 48

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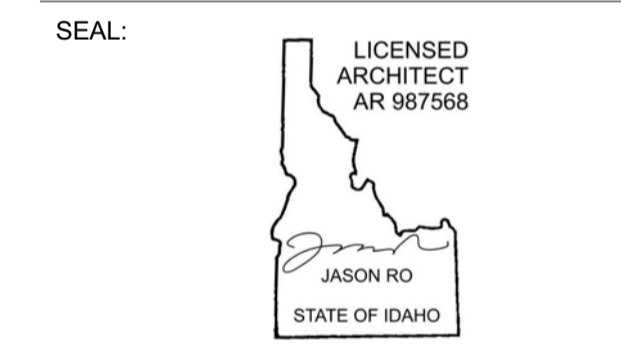
LANDSCAPE ARCHITECT:
BYLA
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0	02.28.23	BUILDING PERMIT
NO	DATE	ISSUE

PROJECT:
BADGER RESIDENCE
 121 BADGER LANE
 KETCHUM, ID 83340

PROJECT NUMBER
#2201

DRAWING TITLE:
FIREPLACE SCHEDULE

DRAWING NUMBER:
G-103

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BLD2303-00021
06/26/23

2/2/25

SCHEDULE - APPLIANCE						
TYPE	RM NAME	DESCRIPTION	MANUFACTURER	MODEL	FINISH	COMMENTS
A-01	LAUNDRY	FRONT LOAD WASHER	SAMSUNG	WF45T6000AW	WHITE	ENERGY STAR RATED
A-02	LAUNDRY	FRONT LOAD ELECTRIC DRYER	SAMSUNG	DVE45T6000W	WHITE	ENERGY STAR RATED
A-03	KITCHEN	VARIO 400 SERIES GAS COOKTOP	GAGGENAU	VG 491 211CA	SS	
A-04	KITCHEN	WALL HOOD	GAGGENAU	AW442720/AR400743	SS	400 SERIES PROFESSIONAL WALL HOOD W/ BAFFLE FILTERS, W/ AR 400 SERIES INTERNAL BLOWER
A-05	BACK KITCHEN	DISHWASHER	GAGGENAU	DF480763	FI	400 SERIES, FULLY INTEGRATED TALL TUB, APPLIANCE HEIGHT 34 1/2"; ENERGY STAR RATED
A-05	ADU KITCHEN	DISHWASHER	GAGGENAU	DF480763	FI	400 SERIES, FULLY INTEGRATED TALL TUB, APPLIANCE HEIGHT 34 1/2"; ENERGY STAR RATED
A-05	KITCHEN	DISHWASHER	GAGGENAU	DF480763	FI	400 SERIES, FULLY INTEGRATED TALL TUB, APPLIANCE HEIGHT 34 1/2"; ENERGY STAR RATED
A-05	REC ROOM	DISHWASHER	GAGGENAU	DF480763	FI	400 SERIES, FULLY INTEGRATED TALL TUB, APPLIANCE HEIGHT 34 1/2"; ENERGY STAR RATED
A-06	KITCHEN	REFRIGERATOR	GAGGENAU	RB492705	FI	
A-06	KITCHEN	REFRIGERATOR	GAGGENAU	RB492705	FI	
A-07	KITCHEN	WINE COOLER	GAGGENAU	RB468765	FI	
A-08	BACK KITCHEN	400 SERIES DOUBLE OVEN	GAGGENAU	BX 480 612	SS	
A-09	KITCHEN	24" MICROWAVE BUILT-IN DRAWER	GAGGENAU	MW420620	SS	
A-11	REC ROOM	15" UC ICE MAKER	SUBZERO	UC-15IP	FI	WITH PUMP; ENERGY STAR RATED
A-12	REC ROOM	24" UC REFRIGERATOR PANEL READY	SUBZERO	DEU2450CL	FI	PANEL READY
A-12	ADU DECK	UC WINE STORAGE	SUB ZERO	HP24WS-3	FI	
A-12	MH BACK DECK	UC WINE STORAGE	SUB ZERO	HP24WS-3		
A-12	MH BACK DECK	UC WINE STORAGE	SUB ZERO	HP24WS-3		
A-13	ADU KITCHEN	30" REFRIGERATOR	GAGGENAU	RB472705	FI	BOTTOM MOUNT FREEZER, LED LIGHTING
A-13	ADU KITCHEN	30" REFRIGERATOR	GAGGENAU	RB472705	FI	BOTTOM MOUNT FREEZER, LED LIGHTING
A-14	ADU KITCHEN	36" DOWNDRAFT	GAGGENAU	AL400792	SS	RETRACTABLE, REMOTE BLOWER
A-15/16	ADU W/D CL	24" FRONT LOAD STACKED WASHER/DRYER	SAMSUNG	WW22K6800AW	WHITE	ENERGY STAR RATED
A-18	MH / ADU DECK	42" BARBEQUE	LYNX	L42R-3	SS	
A-18	MH / ADU DECK	42" BARBEQUE	LYNX	L42R-3	SS	
A-19	ADU KITCHEN	30" SINGLE OVEN	GAGGENAU	BO480613	SS	TFT DISPLAY, RIGHT-HINGED
A-20	MH BACK DECK	13" SIDE BURNER	LYNX	LSB2-2 NG		

BADGER RESIDENCE

OWNER:

121 BADGER LANE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340

PROJECT ARCHITECT:

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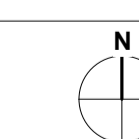
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NO	DATE	ISSUE

PROJECT:

BADGER RESIDENCE
121 BADGER LANE
KETCHUM, ID 83340

PROJECT NUMBER

#2201



DRAWING TITLE:

APPLIANCE SCHEDULE

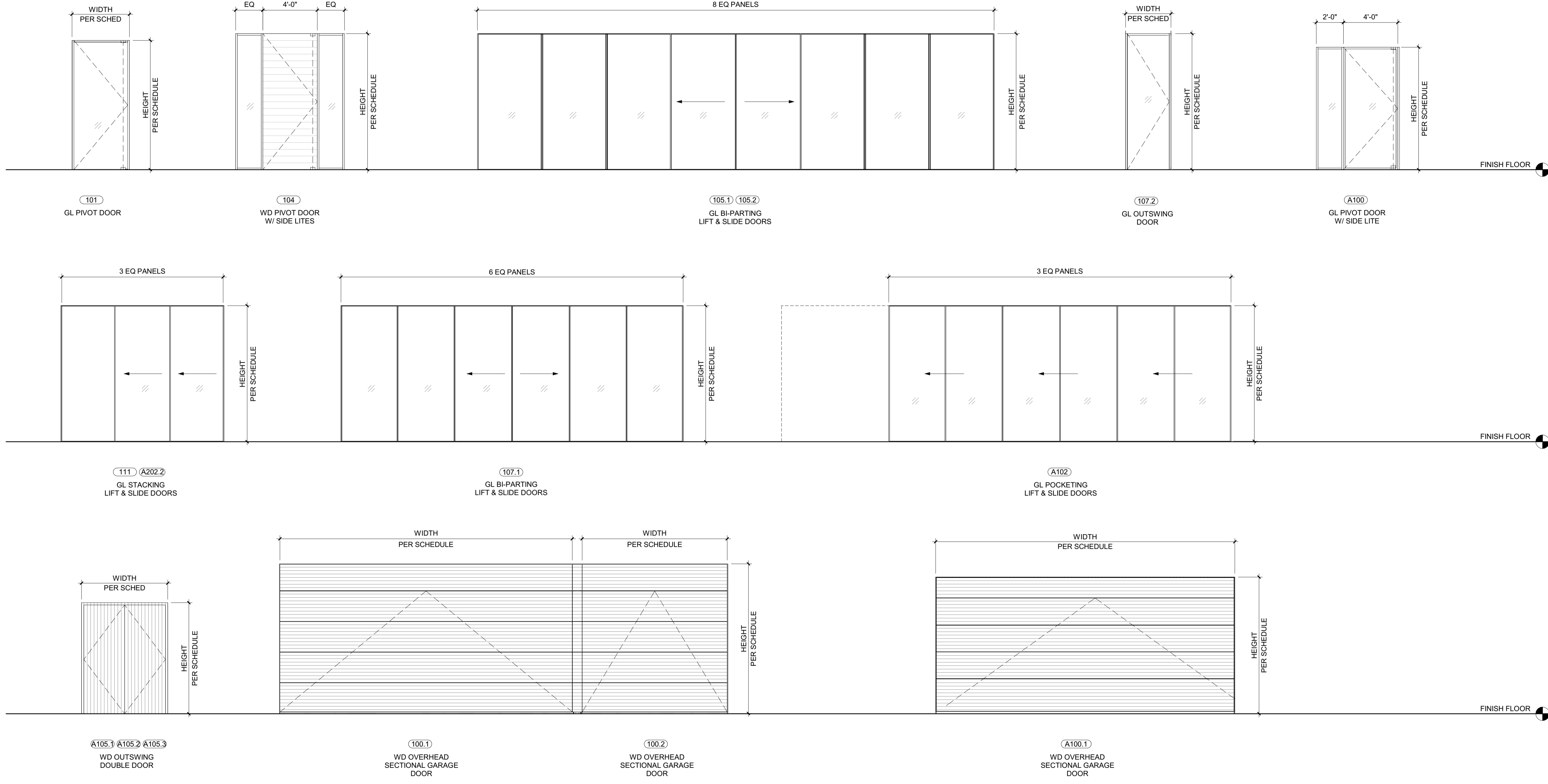
DRAWING NUMBER:

G-105

- GENERAL NOTES:**
- SCHEDULE IS INTENDED AS A GUIDE. DIMENSIONS INDICATE UNIT OPENING SIZE FOR LIGHT, VENTILATION, & EGRESS CODE COMPLIANCE. CONTRACTOR TO FIELD VERIFY ALL OPENINGS PRIOR TO FABRICATION.
 - COORDINATE JAMB / HEAD DIMENSIONS WITH VARYING WALL THICKNESS.
 - GLASS DOOR ADJACENT PANELS & ALL GLAZED OPENINGS WITHIN 18" OF THE ADJACENT FLOOR SHALL BE OF GLASS APPROVED FOR IMPACT HAZARD PER UBC SECTION 2406
 - HAND ACTIVATED DOOR OPENING HARDWARE SHOULD BE CENTERED BETWEEN 30" AND 40" A.F.F.
 - ALL DOOR STOPS FOR DOORS TO BE LAID OUT IN FIELD W/ DESIGNER.
 - SEE PROJECT MANUAL FOR DOOR HARDWARE GROUPS
 - ALL POCKET DOORS SHOULD BE PROVIDED WITH 2" EXTRA MINIMUM IN WIDTH.
 - ALL GLAZING TO BE TEMPERED GLASS.

TAG	ROOM #	ROOM NAME	EXT / INT	DOOR SIZE		OPERATION	DETAIL			MANUFACTURER	MODEL	MATERIAL	DOOR FINISH	HARDWARE GROUP	FIRE RATING	COMMENTS
				WIDTH	HEIGHT		JAMB	HEAD	SILL							
100.1	100	GARAGE	Exterior	21' - 6"	9' - 0"	SECTIONAL				CUSTOM		WD			INSULATED STEEL OVERHEAD DOOR	
100.2	100	GARAGE	Exterior	10' - 8"	9' - 0"	SECTIONAL				CUSTOM		WD			INSULATED STEEL OVERHEAD DOOR	
100.5	100.2	TRASH RM	Exterior	3' - 0"	10' - 10"	SWING				CUSTOM		WD			FRAMELESS- WOOD BLIND CUT DOOR	
101	101	VESTIBULE	Exterior	3' - 11 1/2"	9' - 4 1/2"	PIVOT				PANORAMAH	AHI 38	ALUM/GL	ANODIZED-6EA		TEMPERED GLASS	
104	105	ENTRY	Exterior	8' - 0"	10' - 0"	PIVOT				PANORAMAH	AHI 38	ALUM/GL	ANODIZED-6EA		TEMPERED GLASS	
106.1	106	GREAT ROOM	Exterior	37' - 8"	10' - 0"	LIFT & SLIDE				PANORAMAH	AHI 38	ALUM/GL	ANODIZED-6EA		TEMPERED GLASS; HIDDEN SILL PROFILE W/ GUTTER	
106.2	106	GREAT ROOM	Exterior	38' - 0"	10' - 0"	LIFT & SLIDE				PANORAMAH	AHI 38	ALUM/GL	ANODIZED-6EA		TEMPERED GLASS; HIDDEN SILL PROFILE W/ GUTTER	
107.2	107	FAMILY RM	Exterior	3' - 1"	9' - 10 1/2"	OUTSWING				PANORAMAH	AHI 38	ALUM/GL	ANODIZED-6EA		TEMPERED GLASS	
A03	A03	STAIR	Exterior	3' - 3"	9' - 0"	OUTSWING				PANORAMAH	AHI 38	ALUM/GL	ANODIZED-6EA		TEMPERED GLASS	
A100	100.4	ENTRY	Exterior	5' - 0"	9' - 6"	PIVOT				PANORAMAH	AHI 38	ALUM/GL	ANODIZED-6EA		TEMPERED GLASS	
A100.2	A100	GARAGE	Exterior	3' - 0"	8' - 0"	OUTSWING				PANORAMAH	AHI 38	ALUM/GL	ANODIZED-6EA		TEMPERED GLASS	
A102	A102	LIVING / DINING	Exterior	23' - 10 3/4"	10' - 0"	LIFT & SLIDE				PANORAMAH	AHI 38	ALUM/GL	ANODIZED-6EA		TEMPERED GLASS; HIDDEN SILL PROFILE W/ GUTTER	
A105.1	A105	MECH / POOL EQUIP	Exterior	6' - 0"	8' - 0"	WD OUTSWING DOUBLE				CUSTOM		WD				
A105.2	A105	MECH / POOL EQUIP	Exterior	6' - 0"	8' - 0"	WD OUTSWING DOUBLE				CUSTOM		WD				
A105.3	A105	MECH / POOL EQUIP	Exterior	6' - 0"	8' - 0"	WD OUTSWING DOUBLE				CUSTOM		WD				
A202.2	A202	BDRM 2	Exterior	10' - 4"	9' - 0"	LIFT & SLIDE				PANORAMAH	AHI 38	ALUM/GL	ANODIZED-6EA		TEMPERED GLASS; HIDDEN SILL PROFILE W/ GUTTER	

NOTE: EXTERIOR ELEVATION VIEW



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SEAL:

 LICENSSED ARCHITECT
 AR 987568
 JASON RO
 STATE OF IDAHO

NO	DATE	BUILDING PERMIT	ISSUE
0	02.28.23	BUILDING PERMIT	ISSUE

PROJECT:
BADGER RESIDENCE
 121 BADGER LANE
 KETCHUM, ID 83340

PROJECT NUMBER
#2201

DRAWING TITLE:
EXTERIOR DOOR SCHEDULE

DRAWING NUMBER:
G-106



These plans have been found to be in substantial compliance with the adopted building codes. These documents are approved contingent on compliance with the mark-ups and notes applied. This is not approval of any code, ordinance, statute or regulation. Erections will be required for code violations found during the inspection process.

BLD2303-00021
06/26/23

2/26/23

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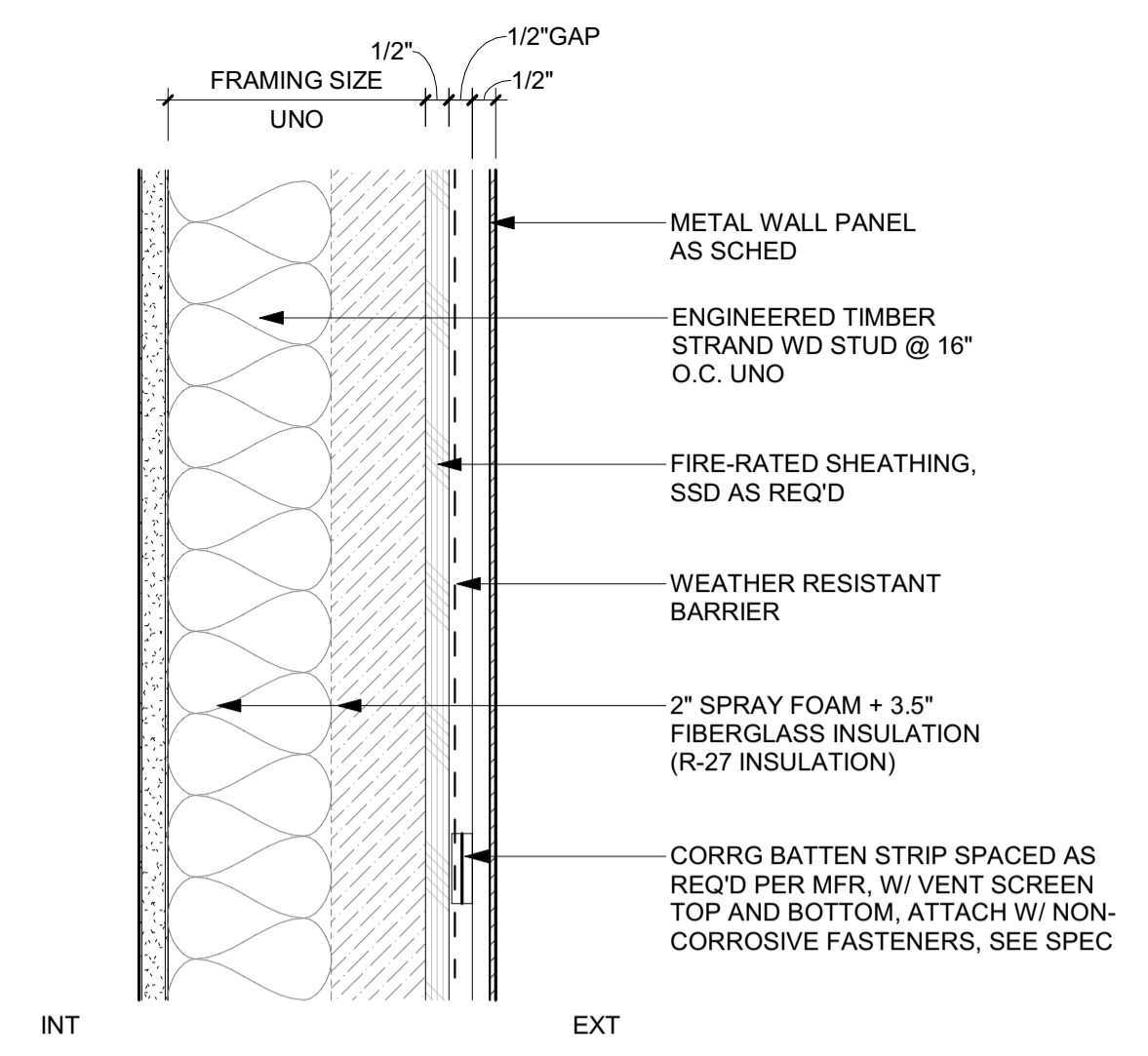
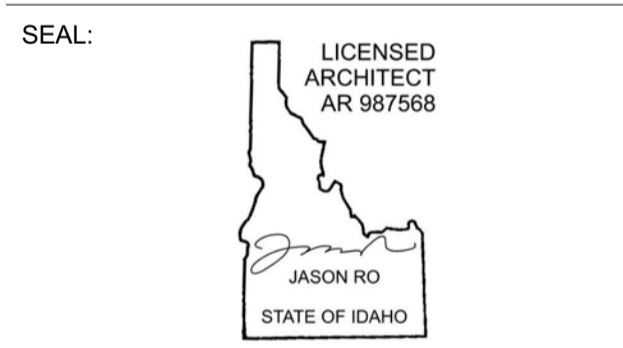
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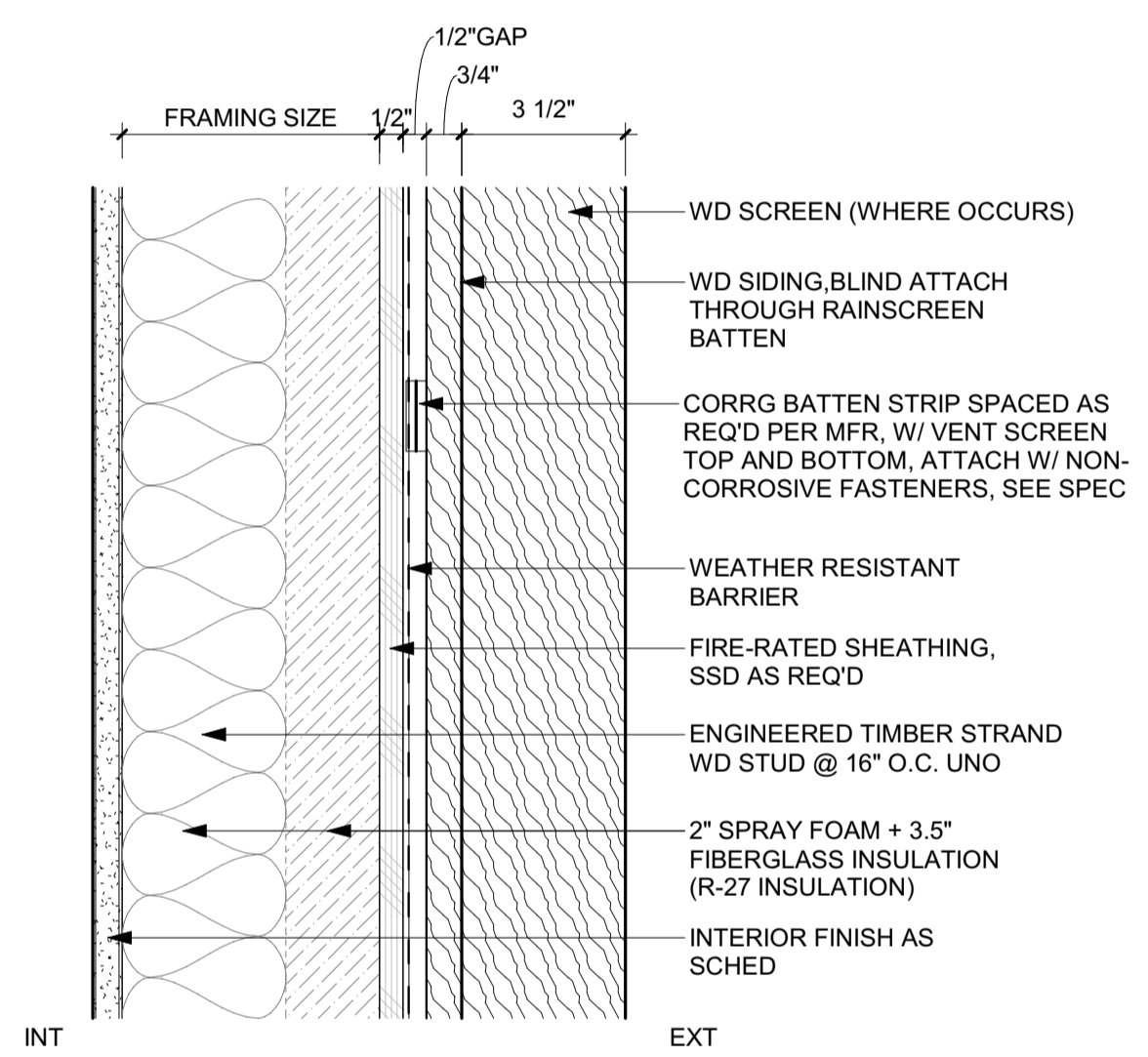
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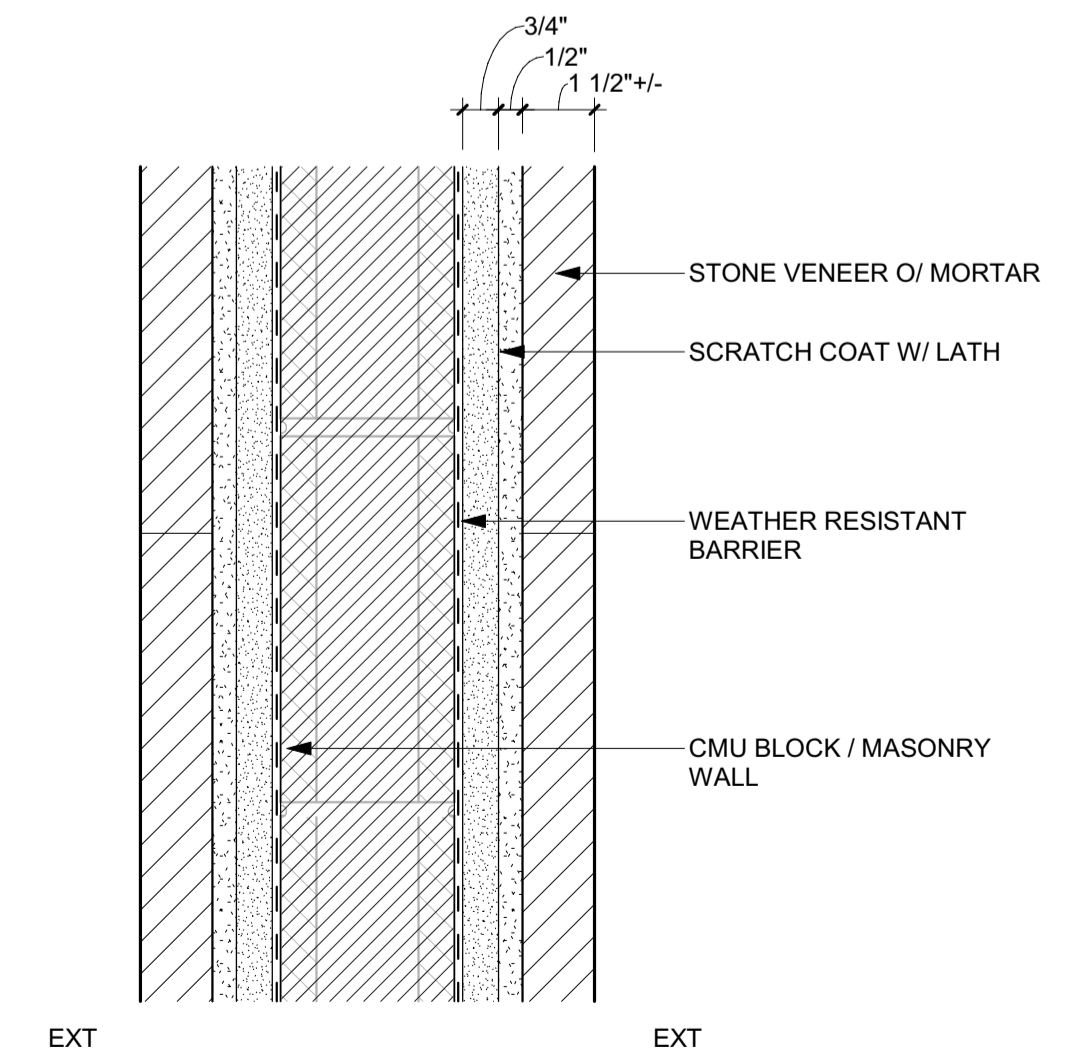
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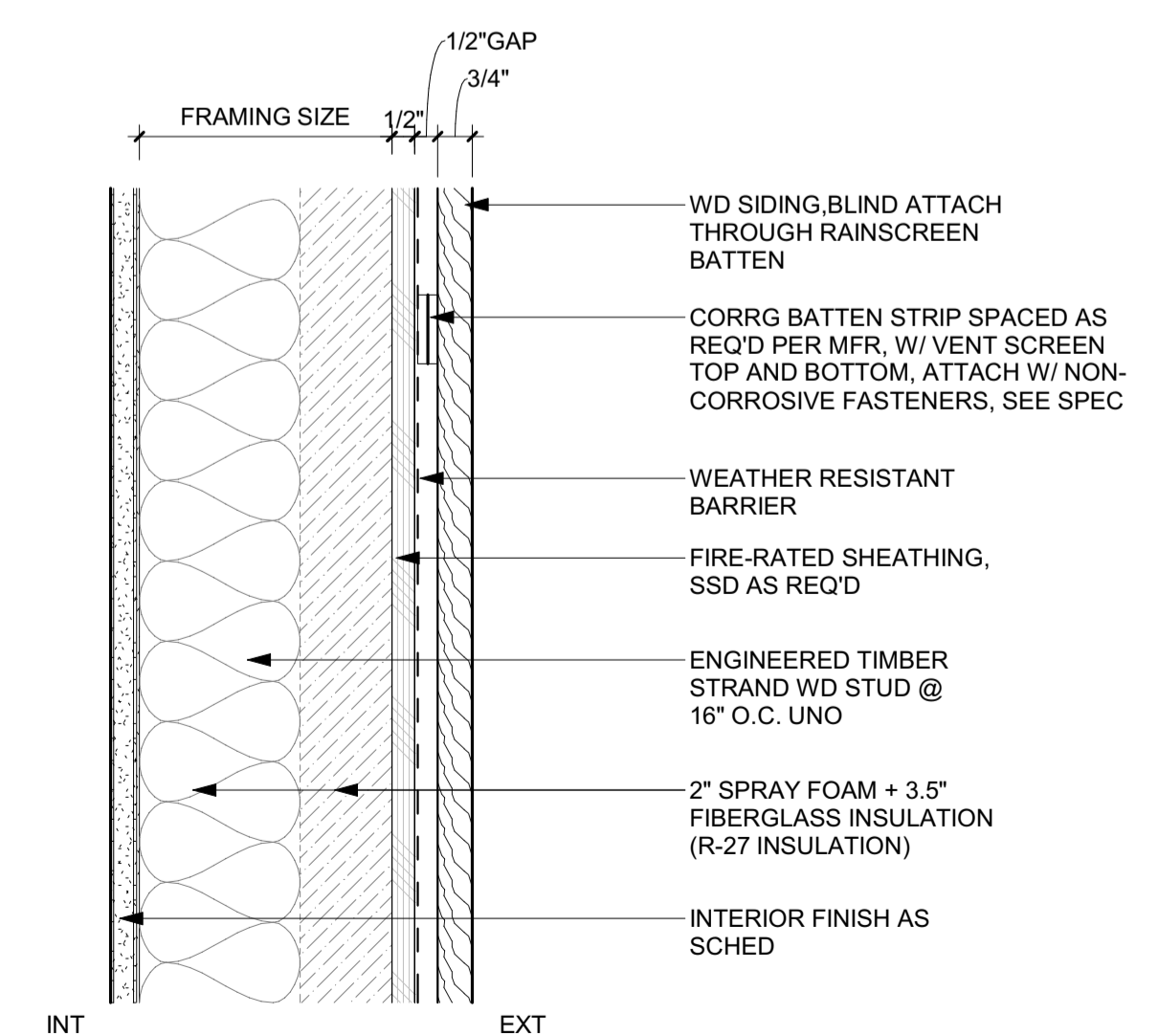
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2 3" = 1'-0" WALL TYPE E-2-EXTERIOR WOOD RAINSCREEN (W/ WD SLATS)



4 3" = 1'-0" WALL TYPE E-4-STONE VENEER / SITE WALLS



1 3" = 1'-0" WALL TYPE E-1-EXTERIOR WOOD RAINSCREEN

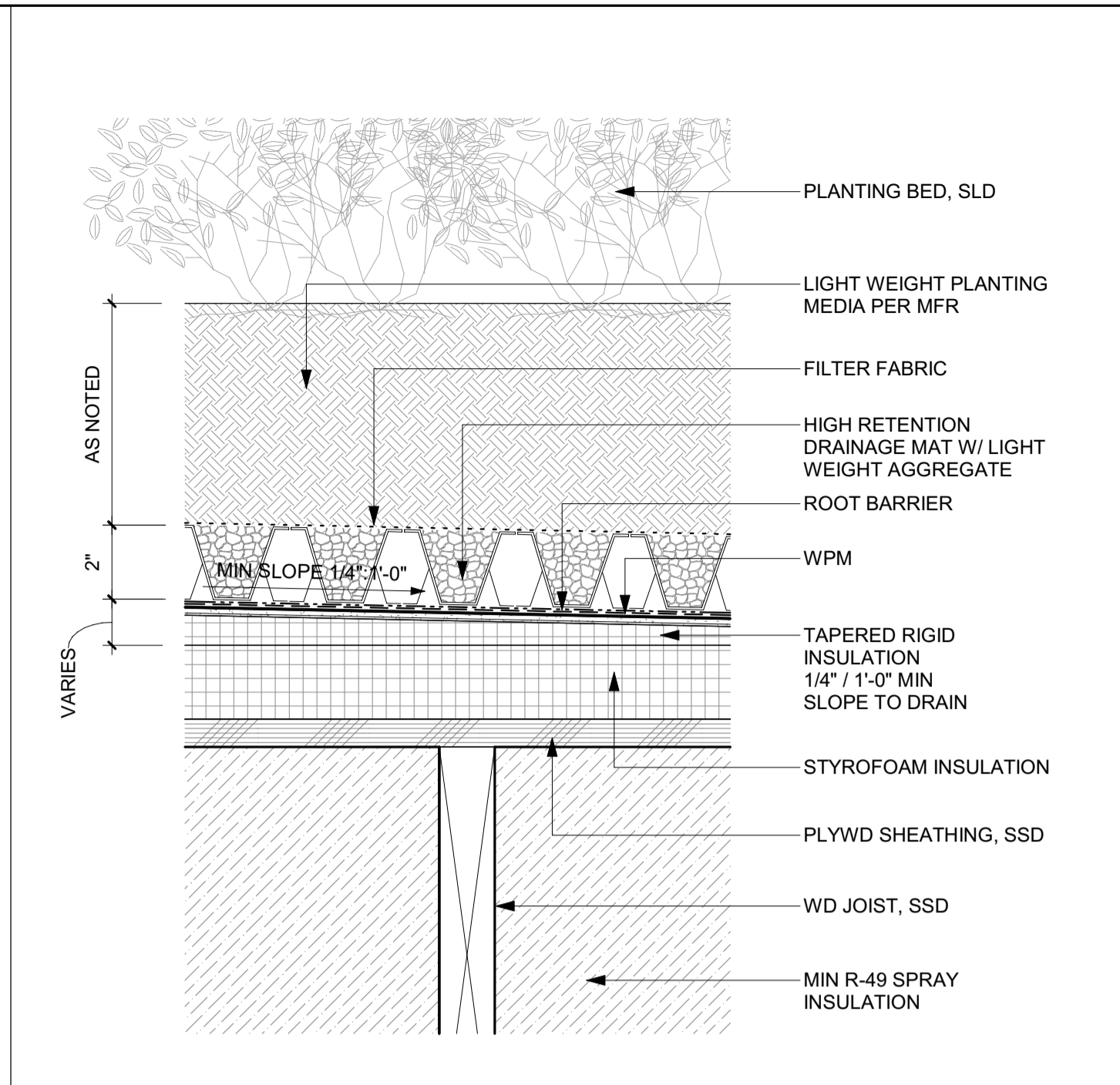
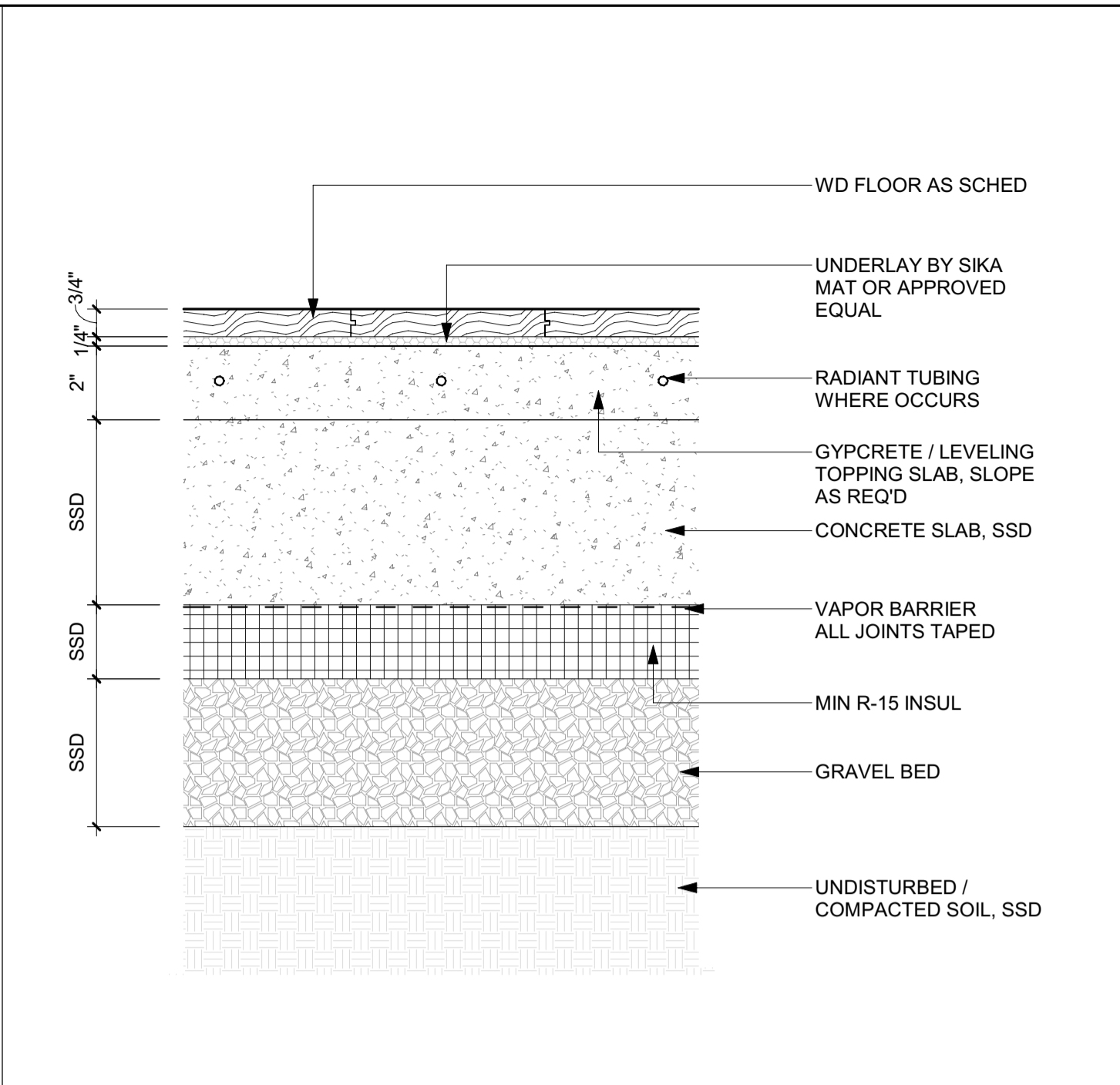
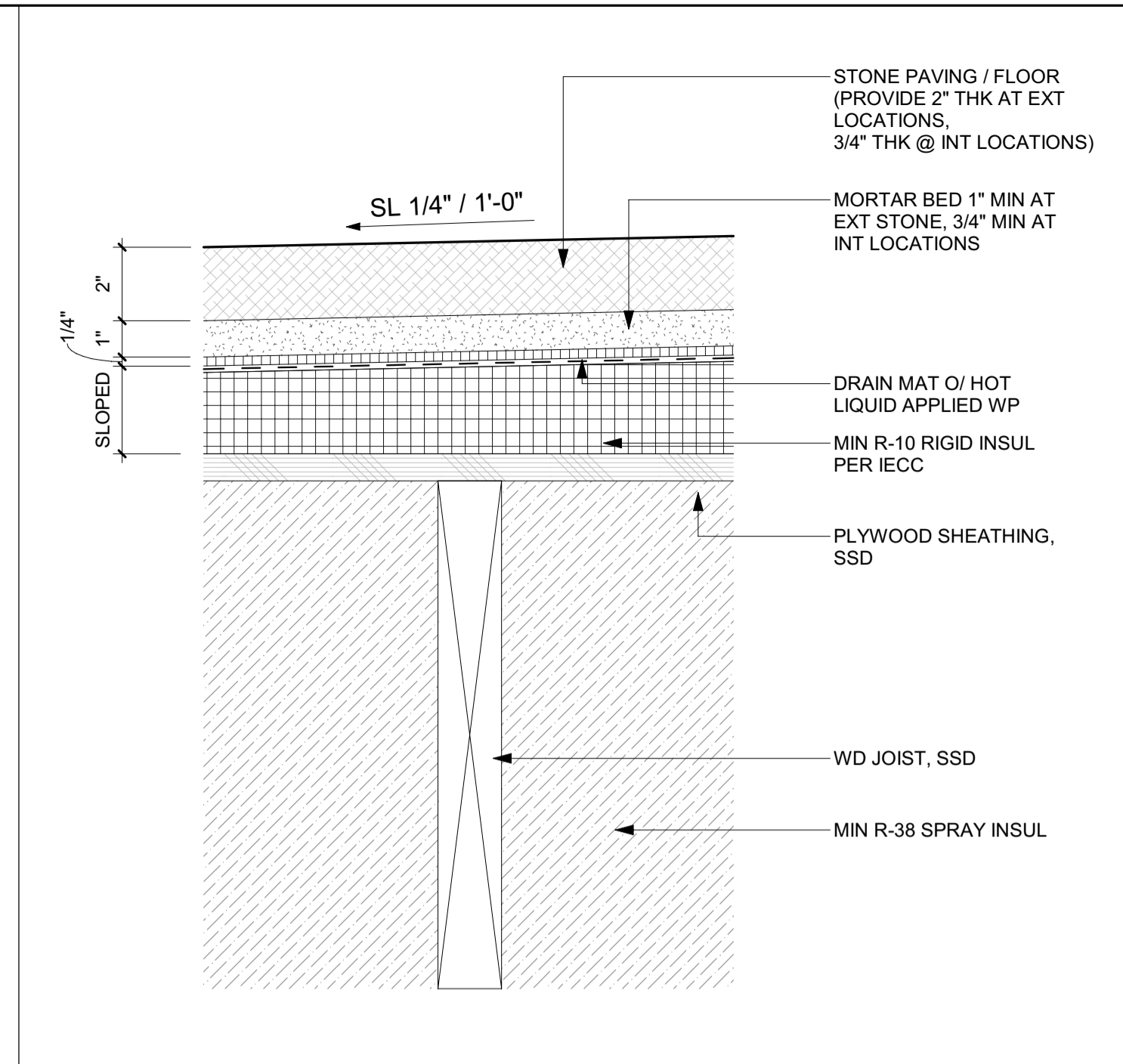
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NO	DATE	ISSUE

PROJECT:
BADGER RESIDENCE
121 BADGER LANE
KETCHUM, ID 83340

PROJECT NUMBER:
#2201

DRAWING TITLE:
EXTERIOR WALL ASSEMBLY TYPES

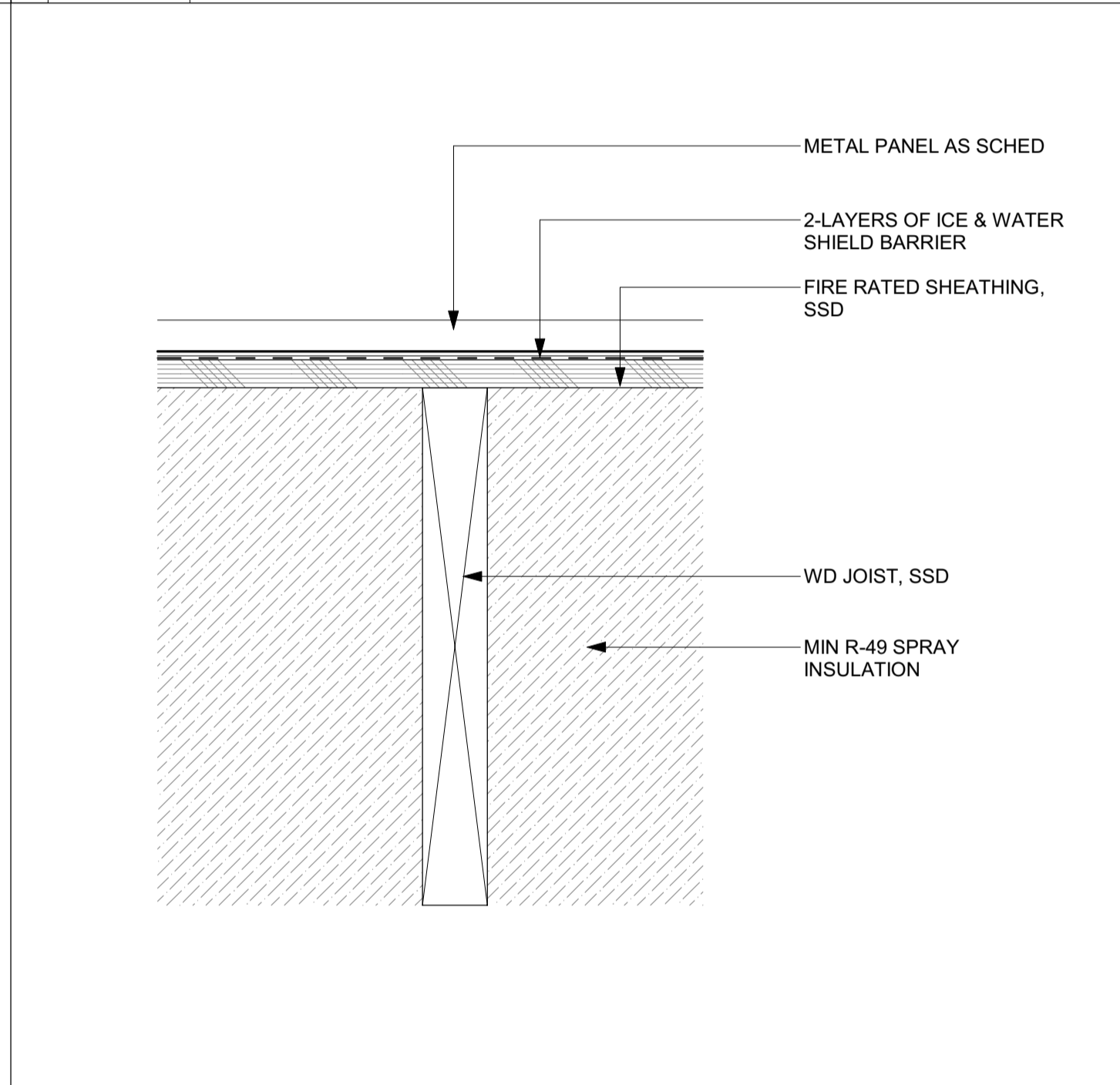
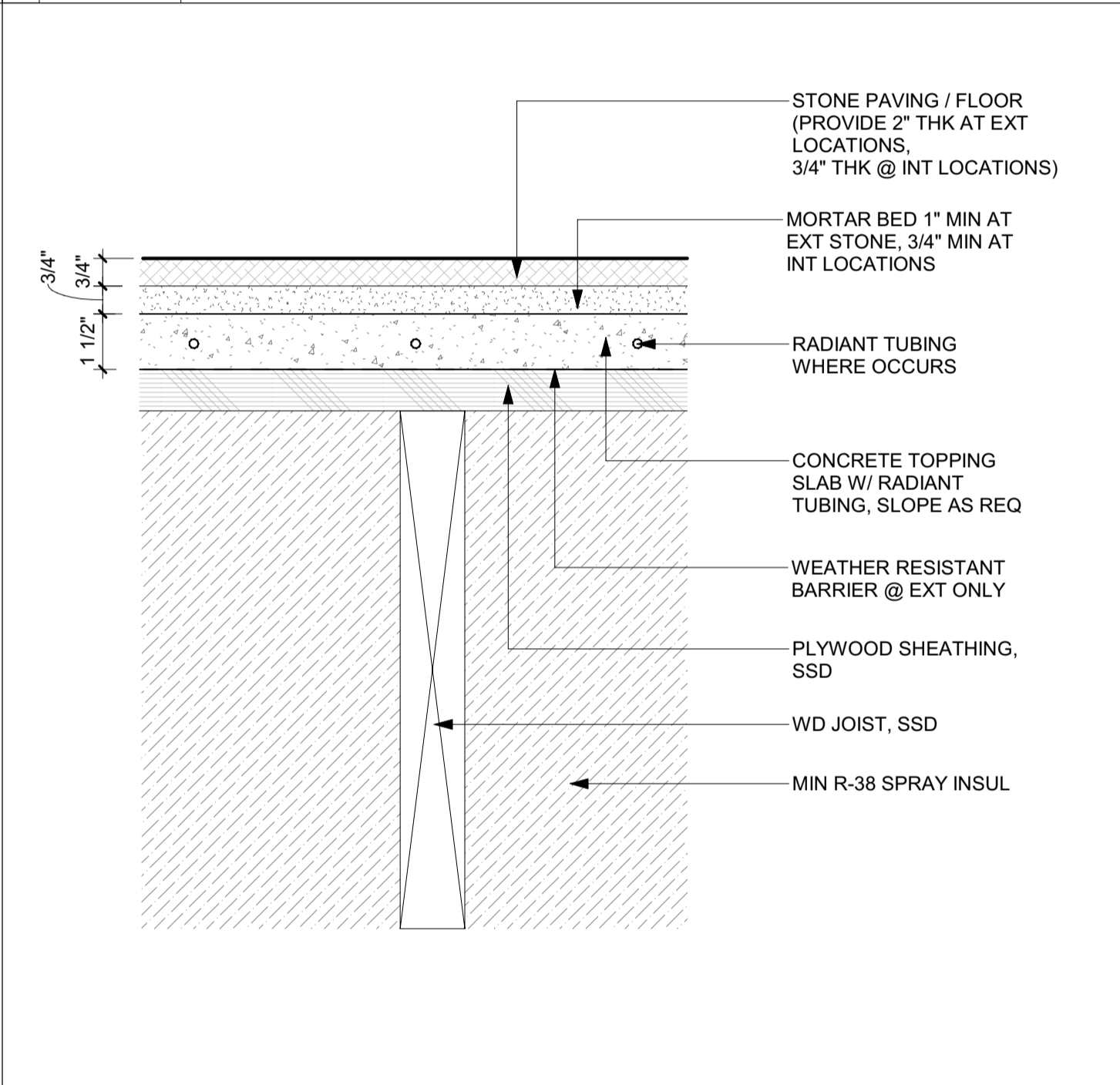
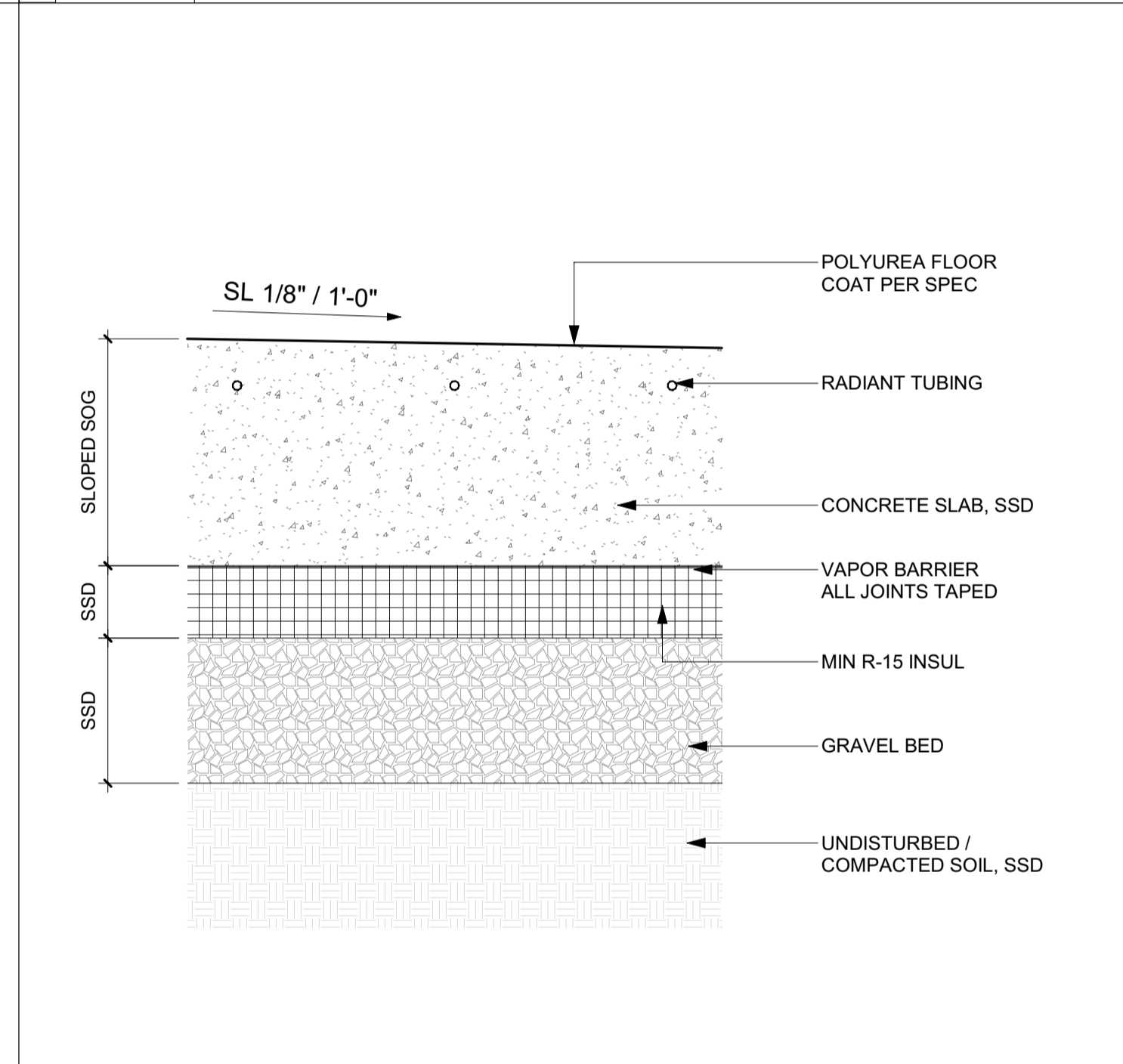
DRAWING NUMBER:
G-200



9 3" = 1'-0" FLOOR TYPE FL-6 PLYWD OVER WD LVL JOISTS W/ STONE TILE Copy 1

6 3" = 1'-0" FLOOR TYPE FL-3 SLAB ON GRADE W/ WD FLOORING Copy 1

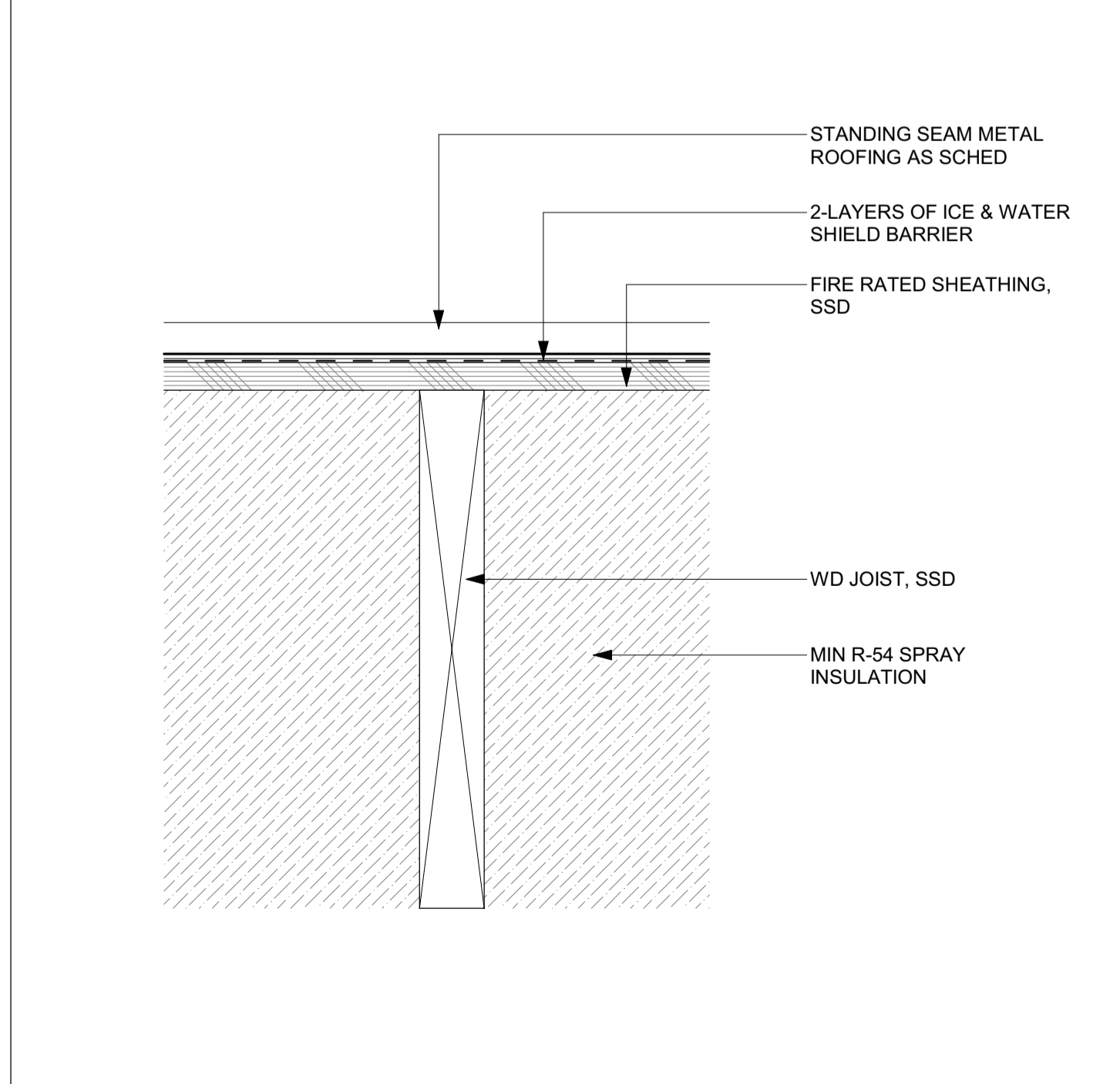
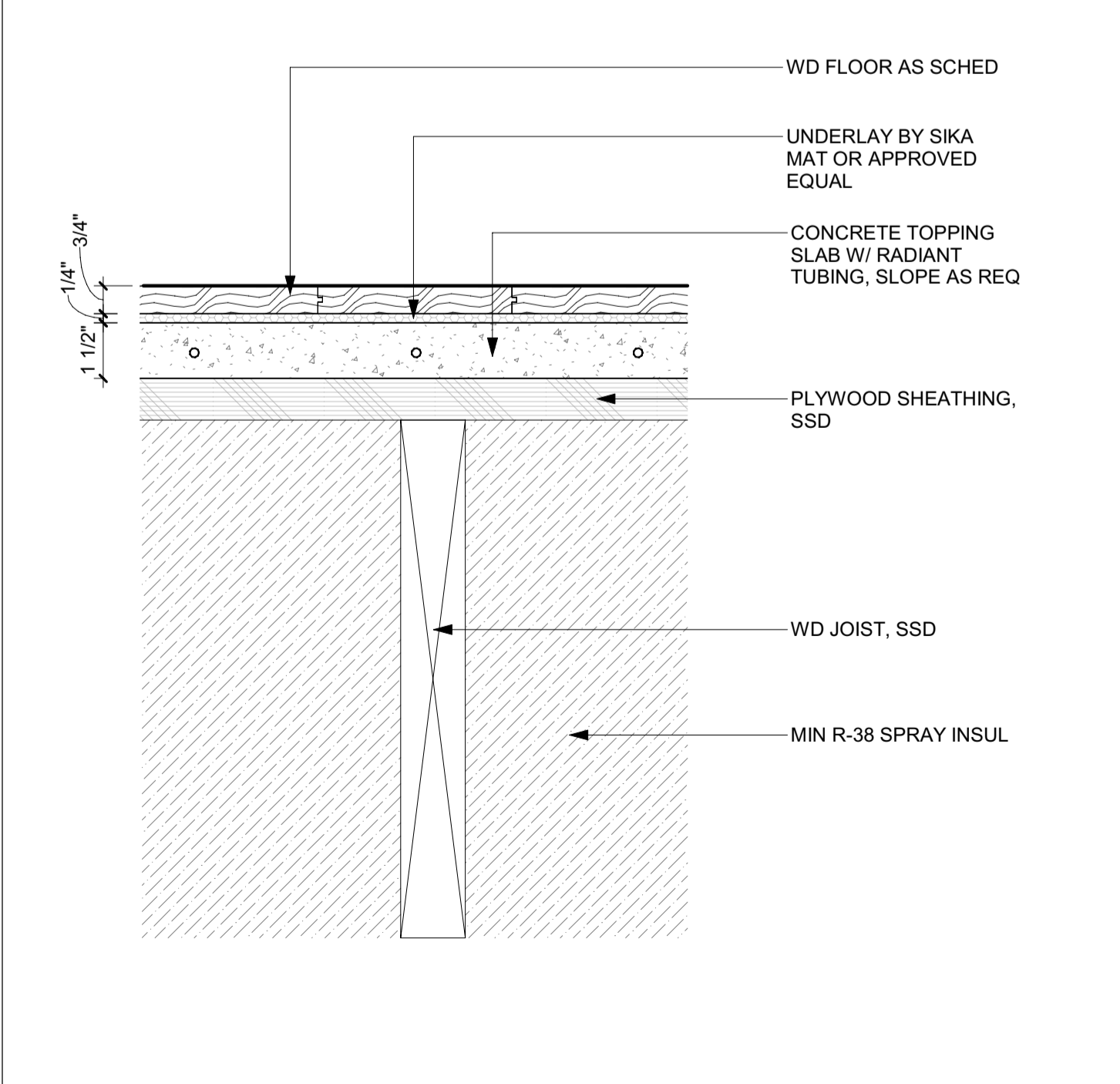
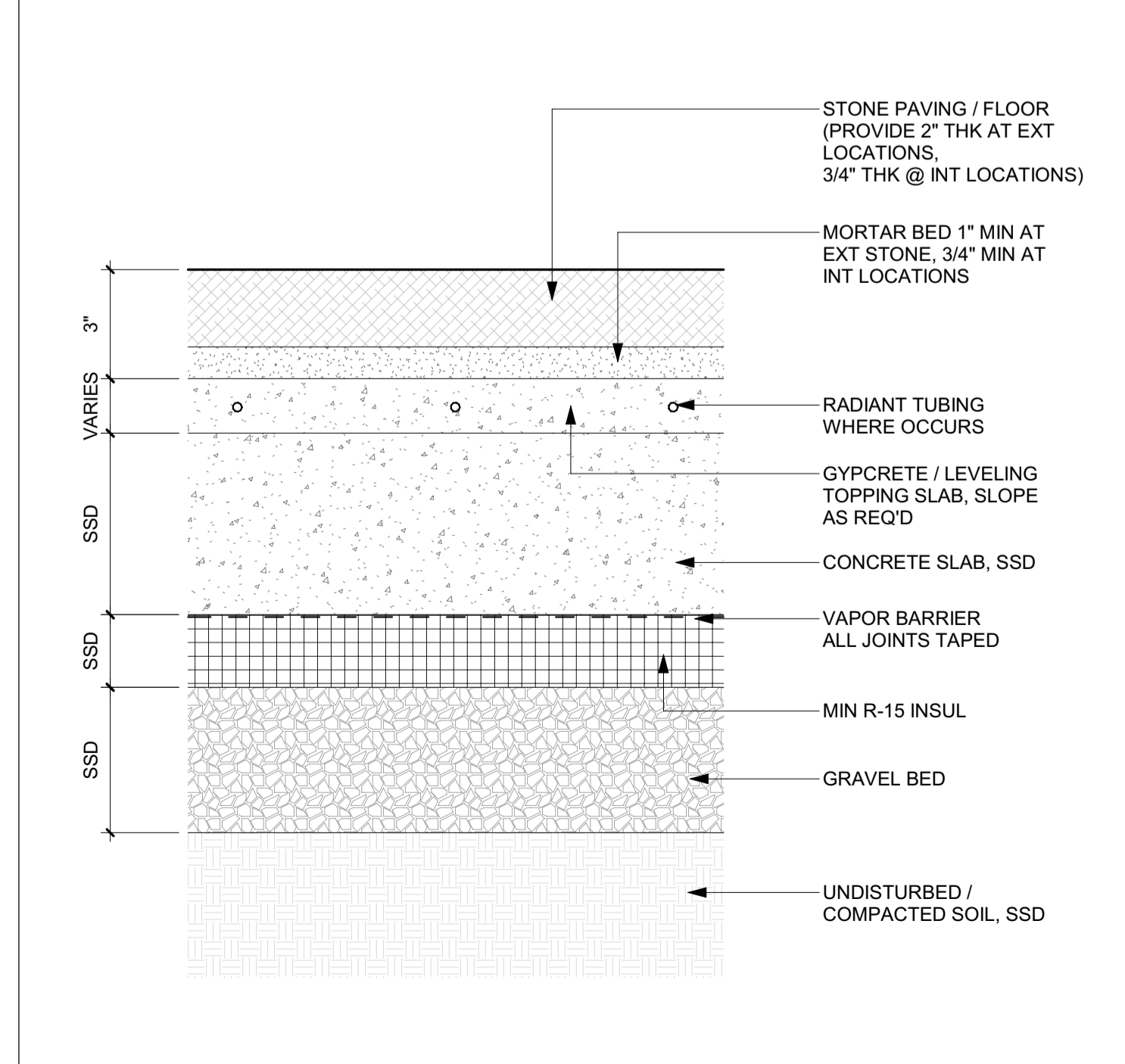
3 3" = 1'-0" ROOF TYPE R-3 ROOF PLANTER



8 3" = 1'-0" FLOOR TYPE FL-5 CONCRETE SLAB ON GRADE - POLYUREA FLOOR FINISH

5 3" = 1'-0" FLOOR TYPE FL-2 PLYWD O/ WD JOISTS W/ STONE TILE

2 3" = 1'-0" ROOF TYPE R-2 FLAT PANEL ROOF / CANOPY



7 3" = 1'-0" FLOOR TYPE FL-4 SLAB ON GRADE W/ STONE TILE Copy 1

4 3" = 1'-0" FLOOR TYPE FL-1 PLYWD O/ WD JOISTS W/ WD FLOOR

1 3" = 1'-0" ROOF TYPE R-1 STANDING SEAM ROOF

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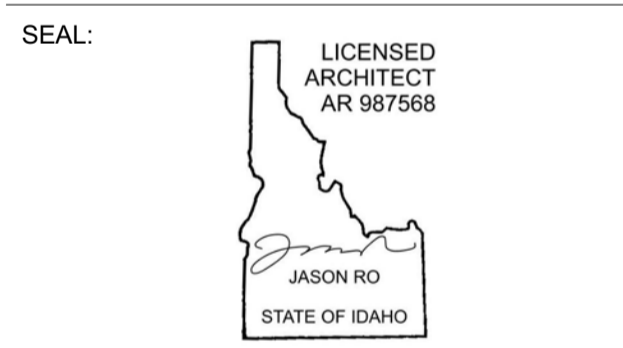
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NO	DATE	ISSUE

PROJECT:
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 121 BADGER LANE
 KETCHUM, ID 83340

PROJECT NUMBER
#2201

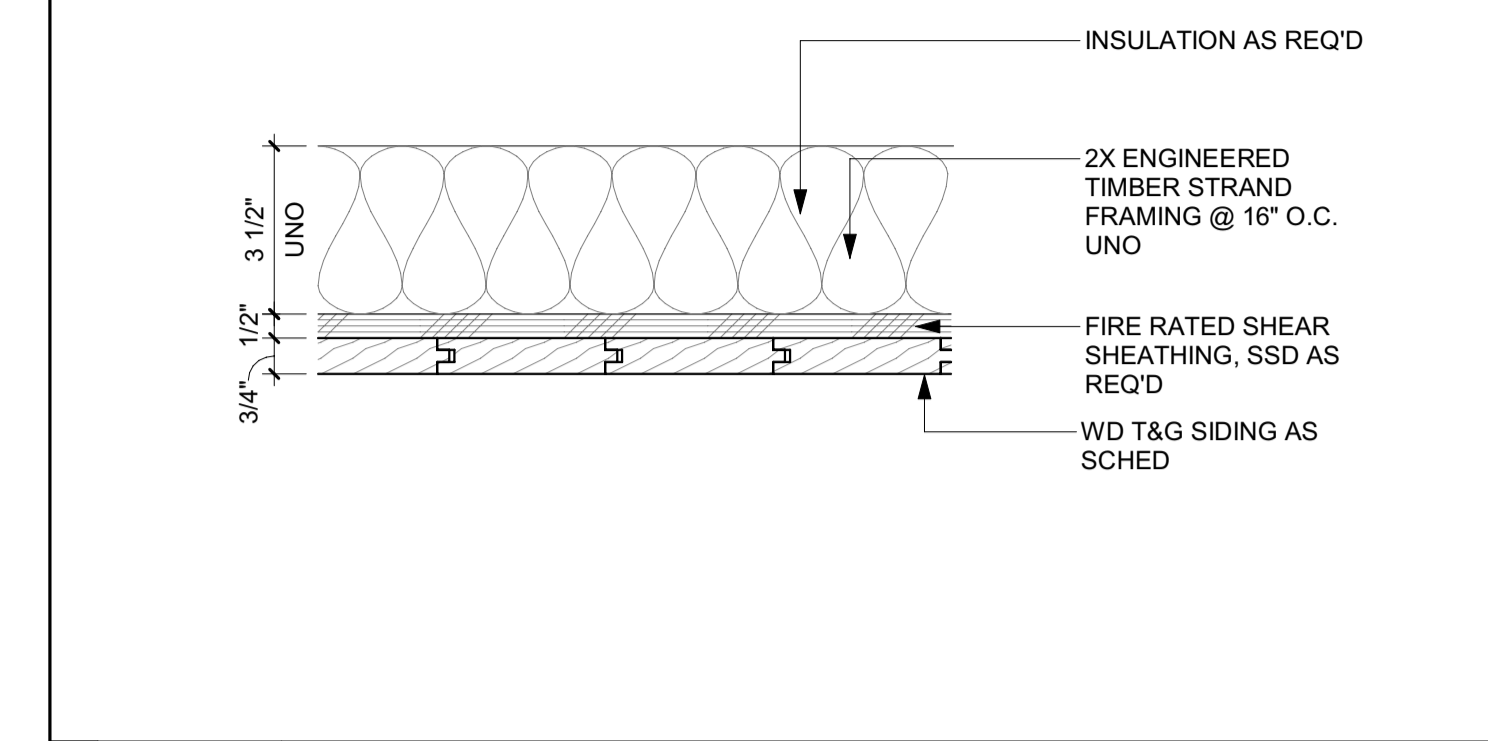
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ROOF AND FLOOR ASSEMBLY TYPES

DRAWING NUMBER:
G-201

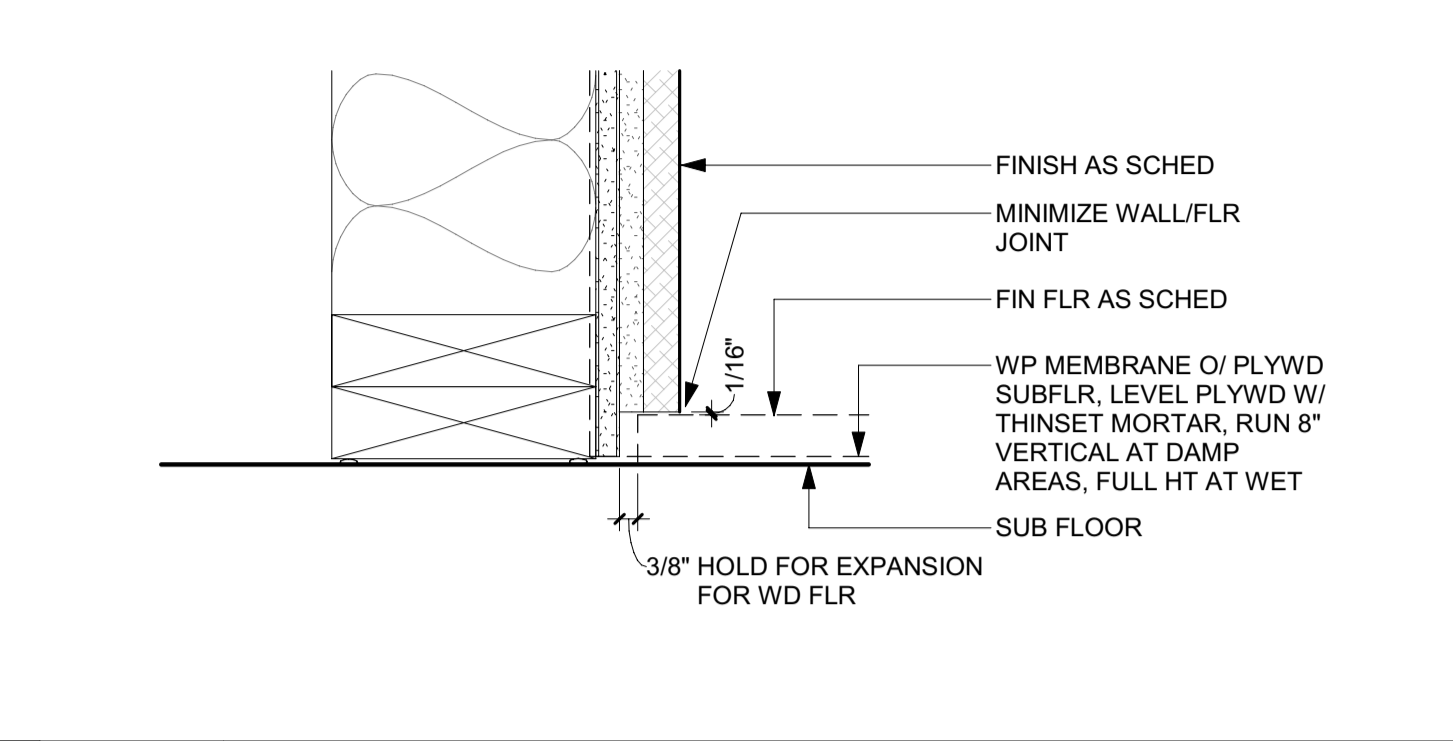


Approved
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 BLD2303-00021
 06/26/23

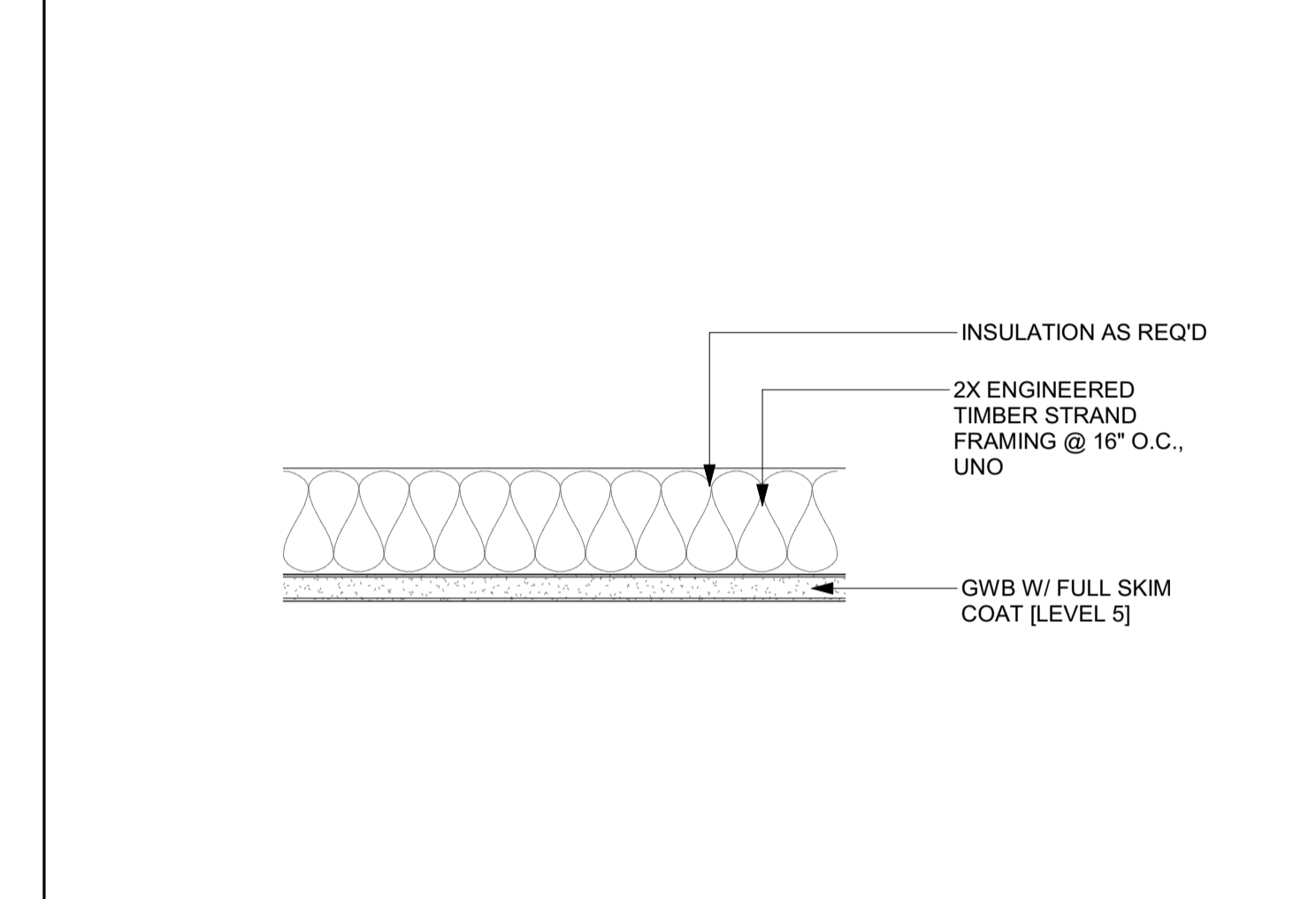
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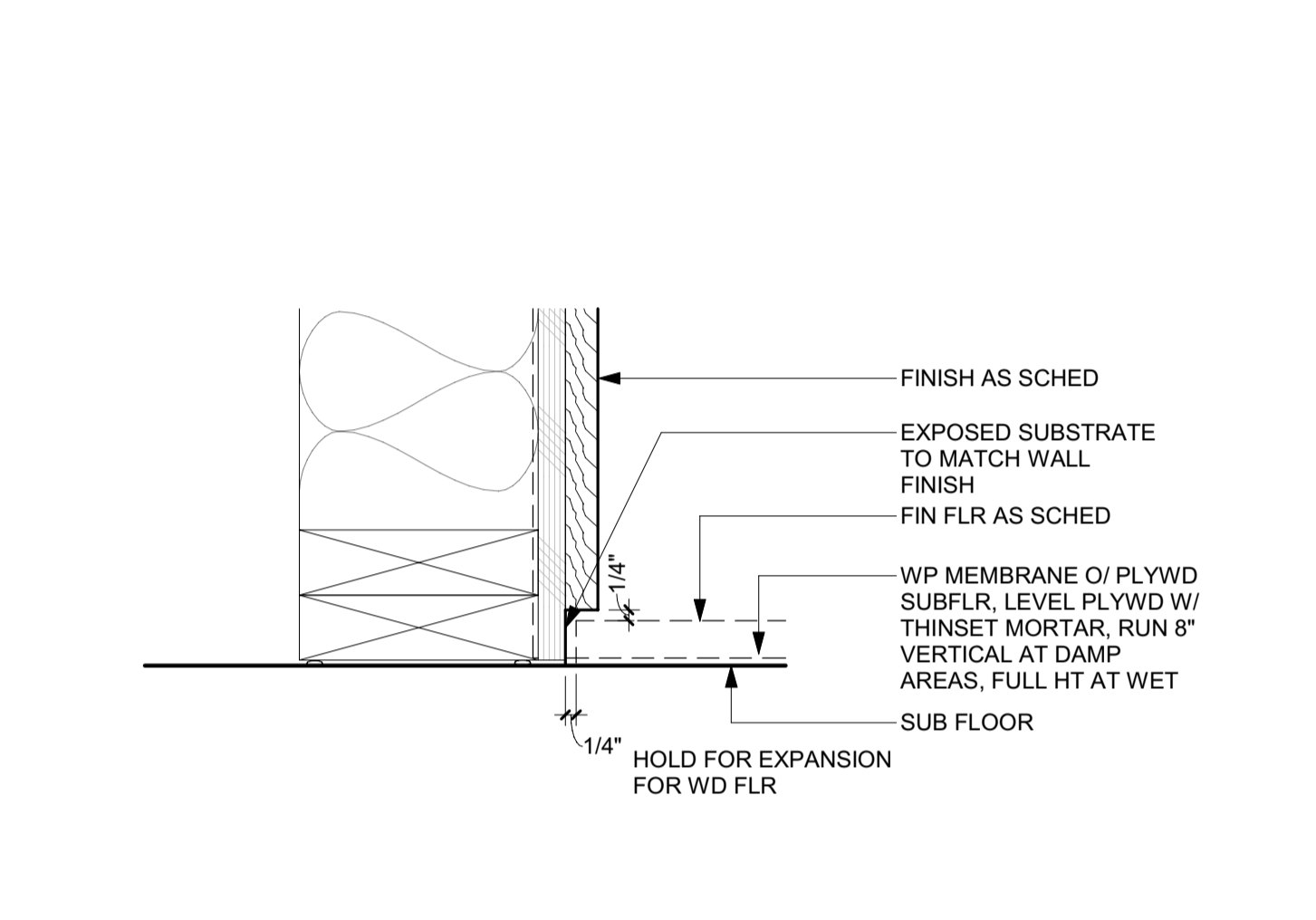
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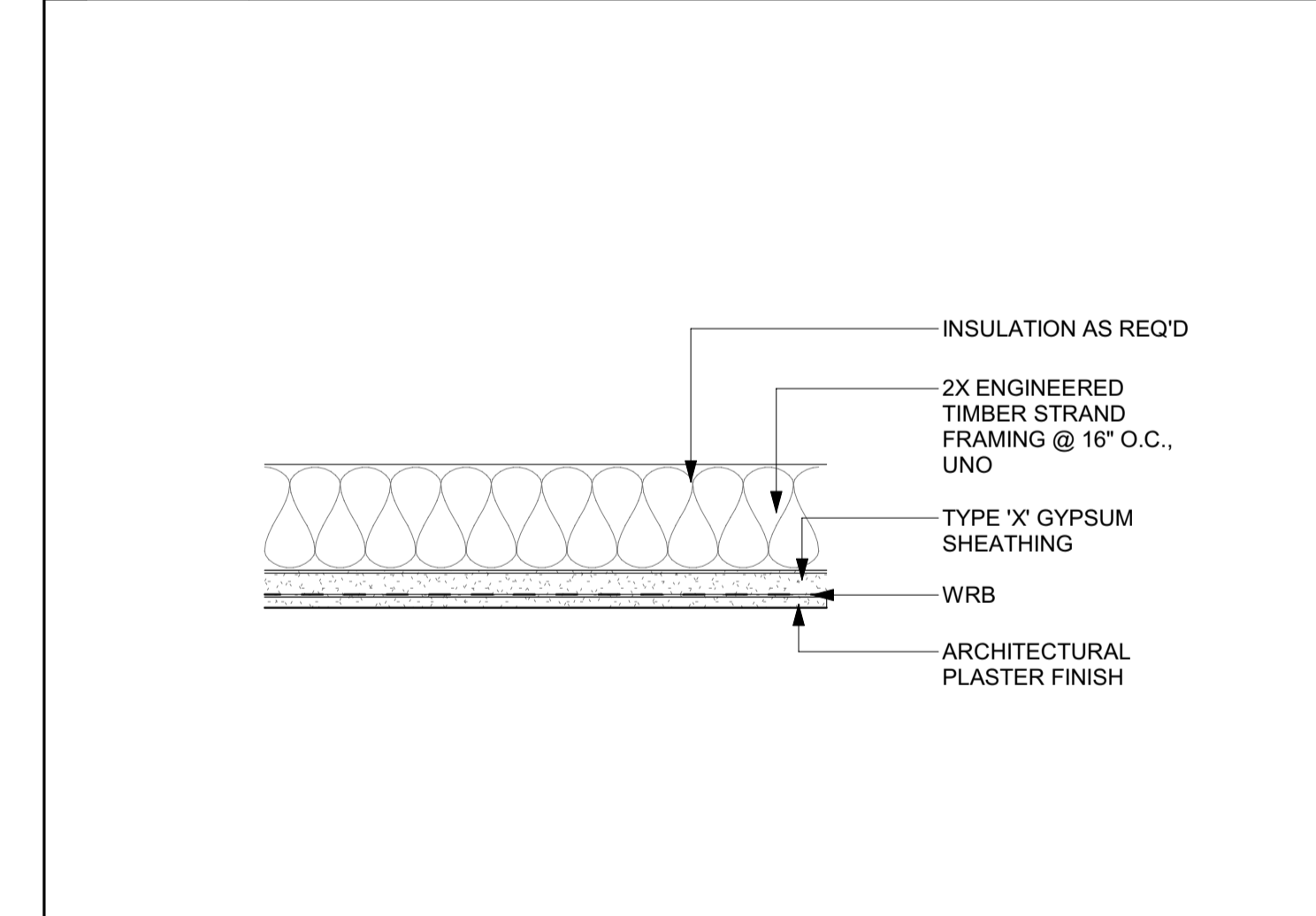
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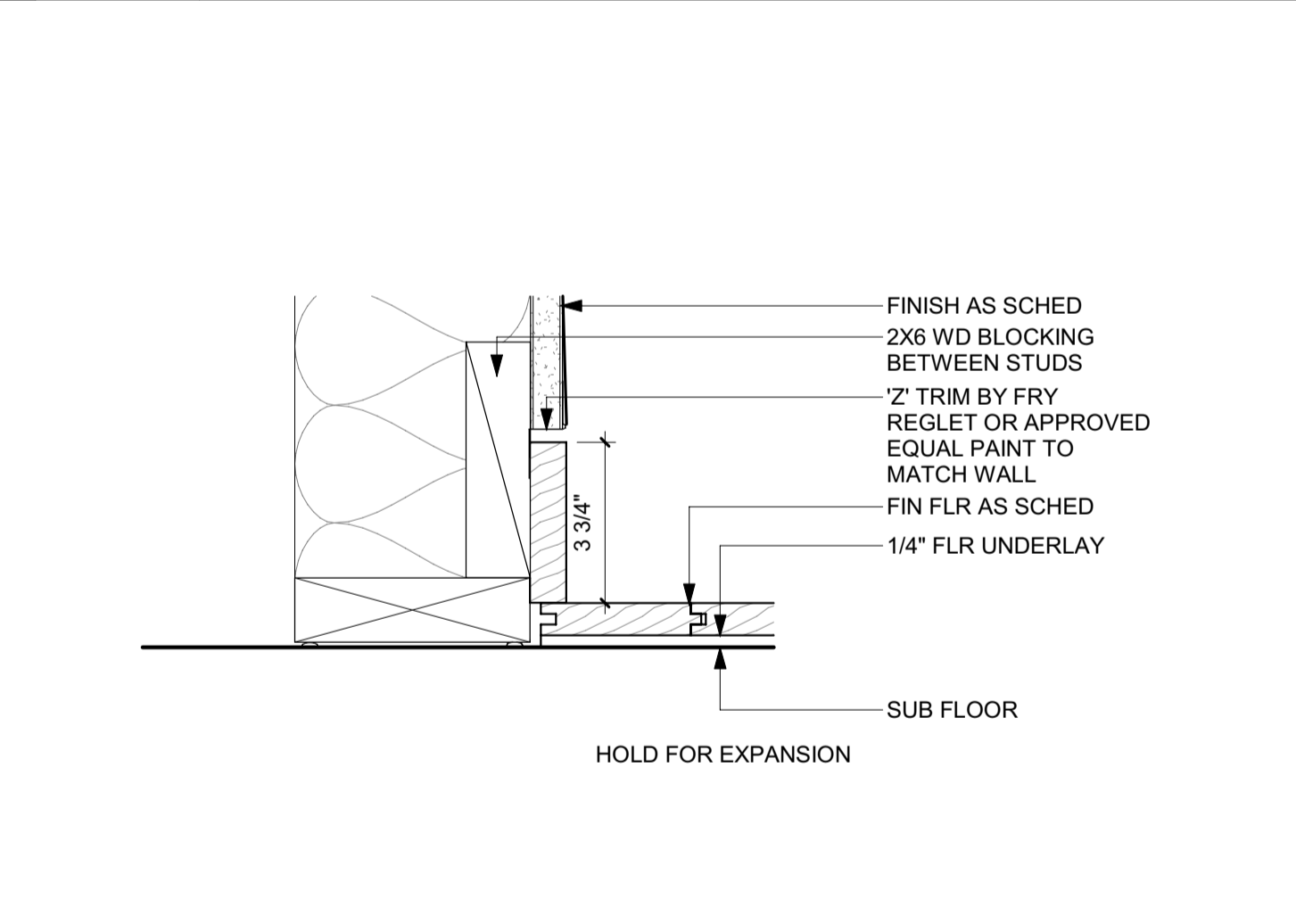
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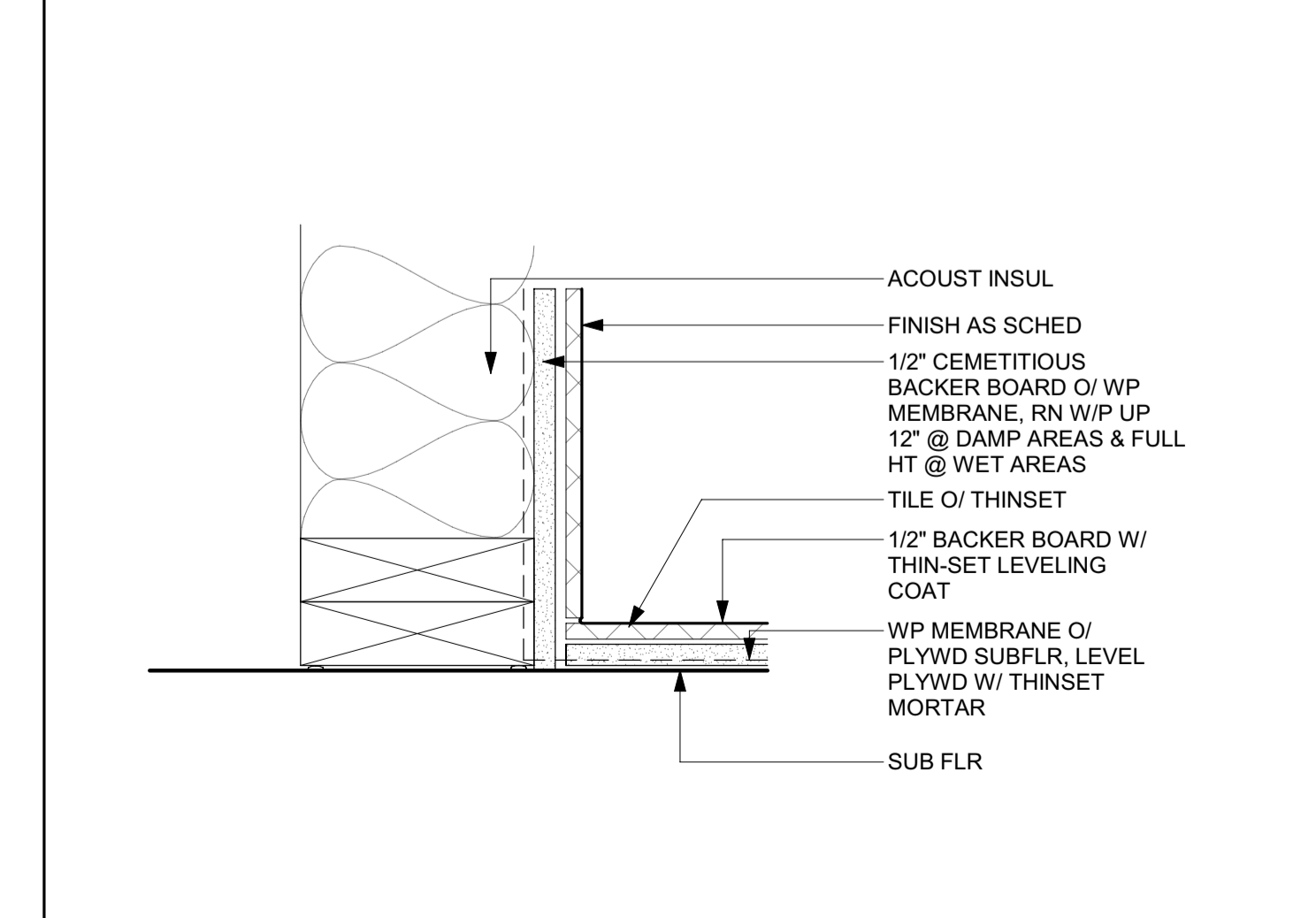
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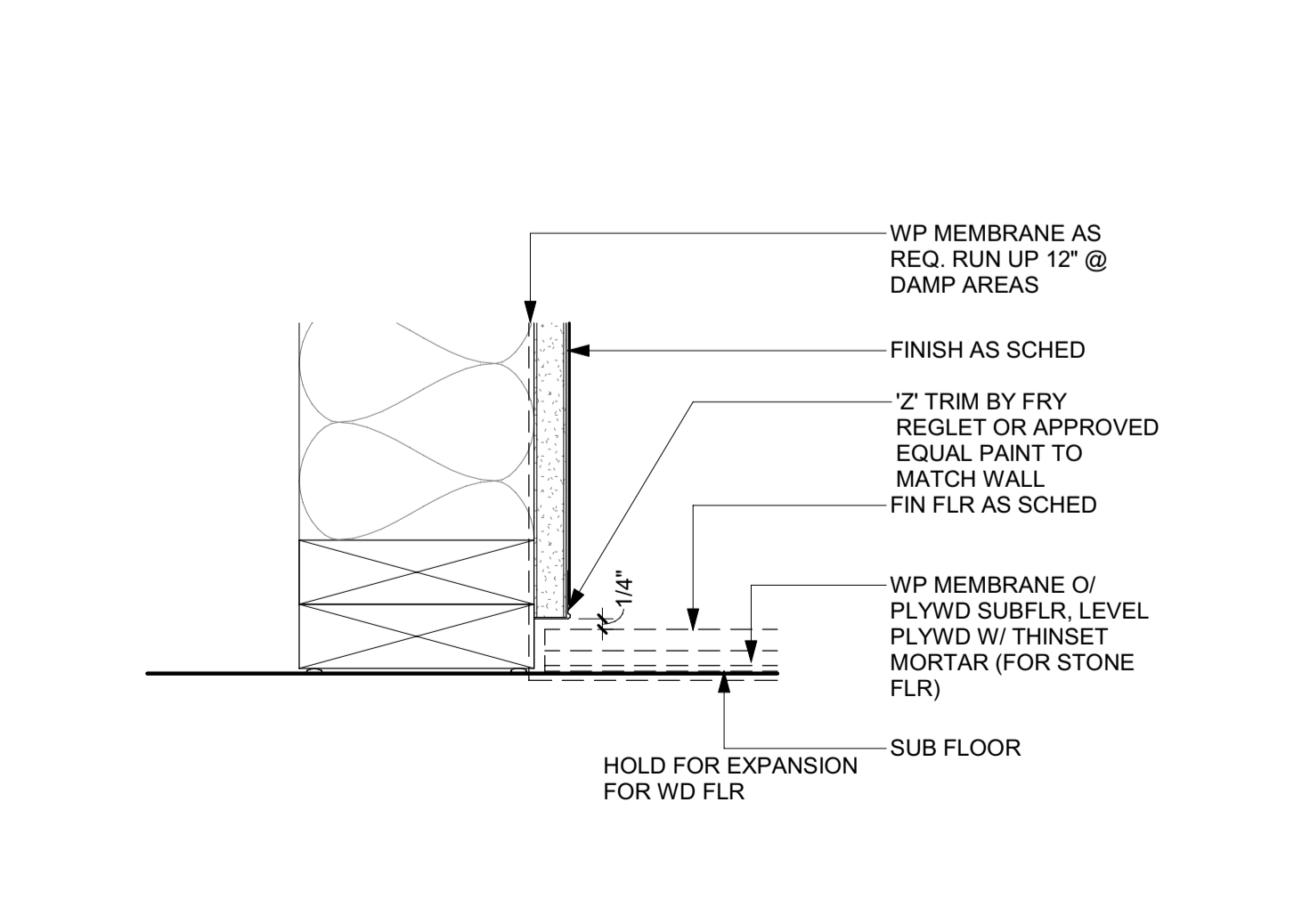
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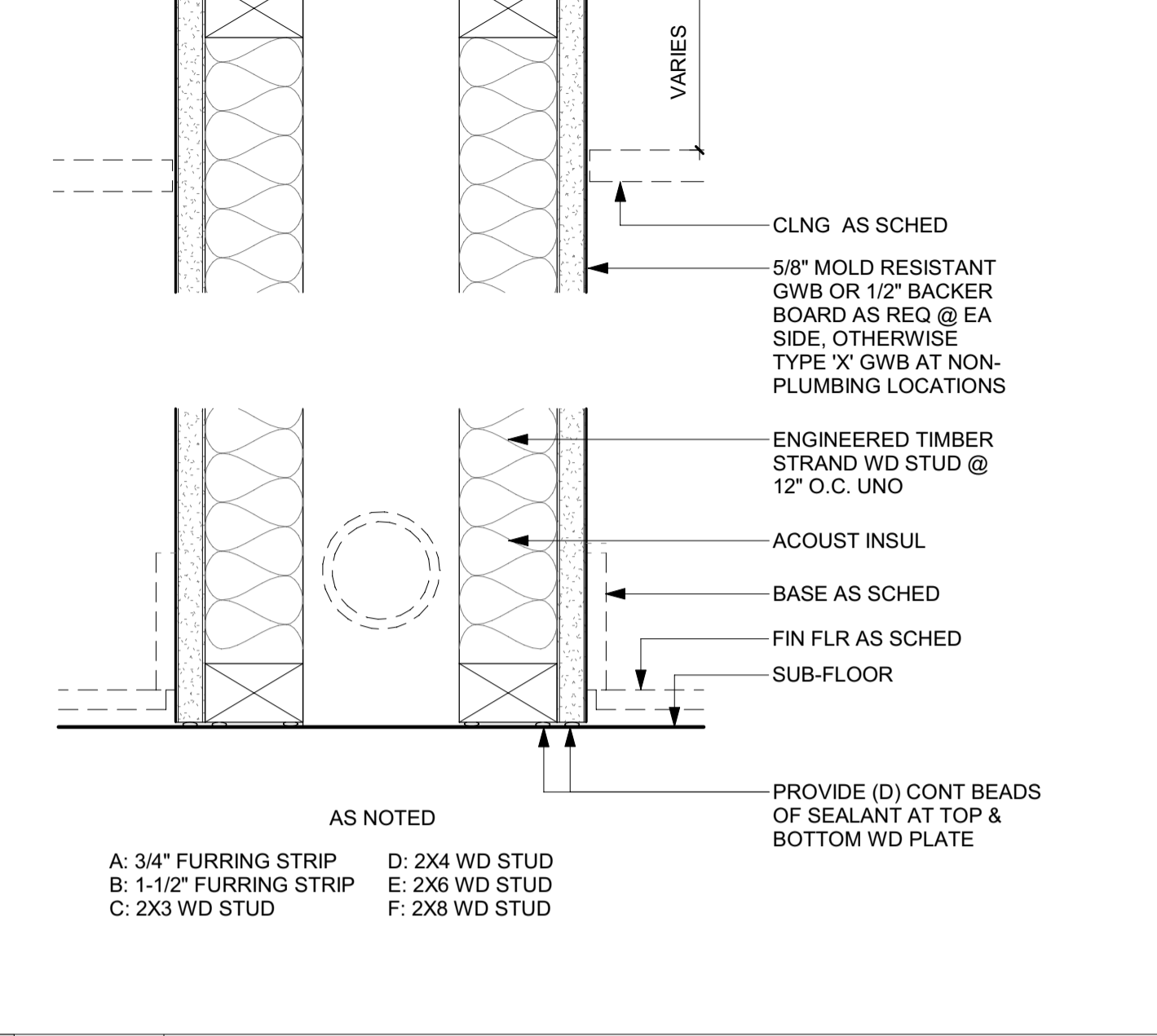
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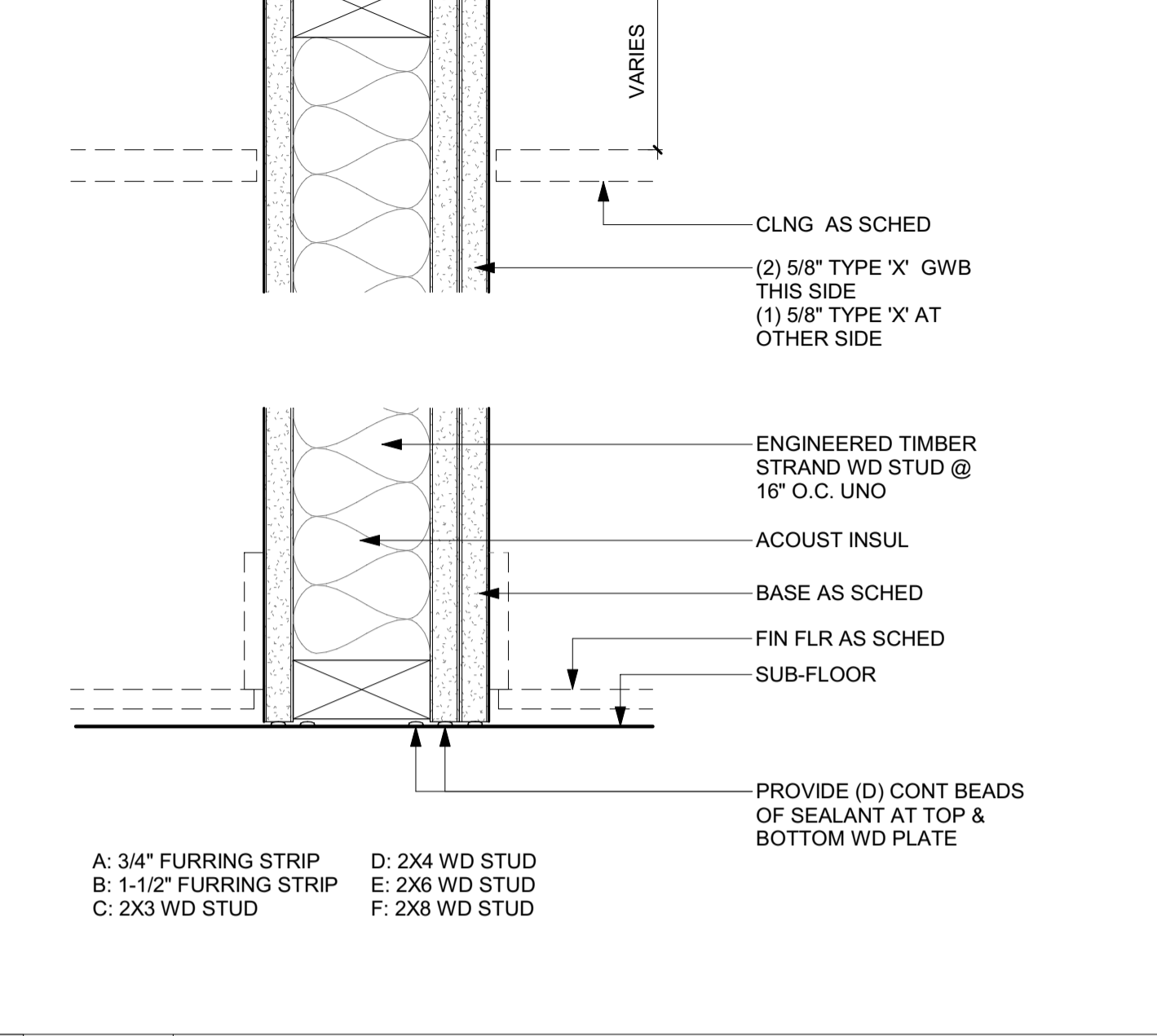
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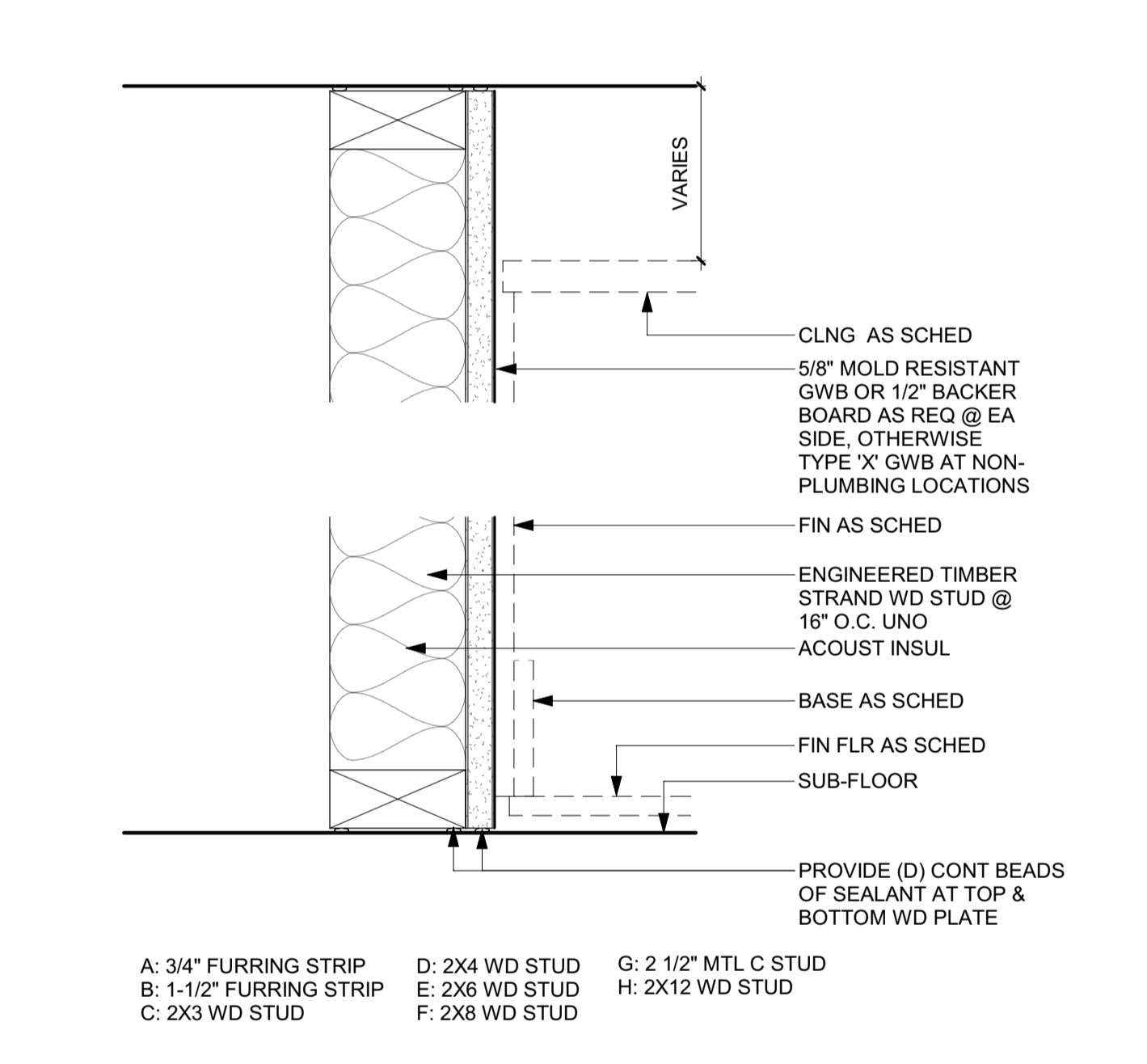
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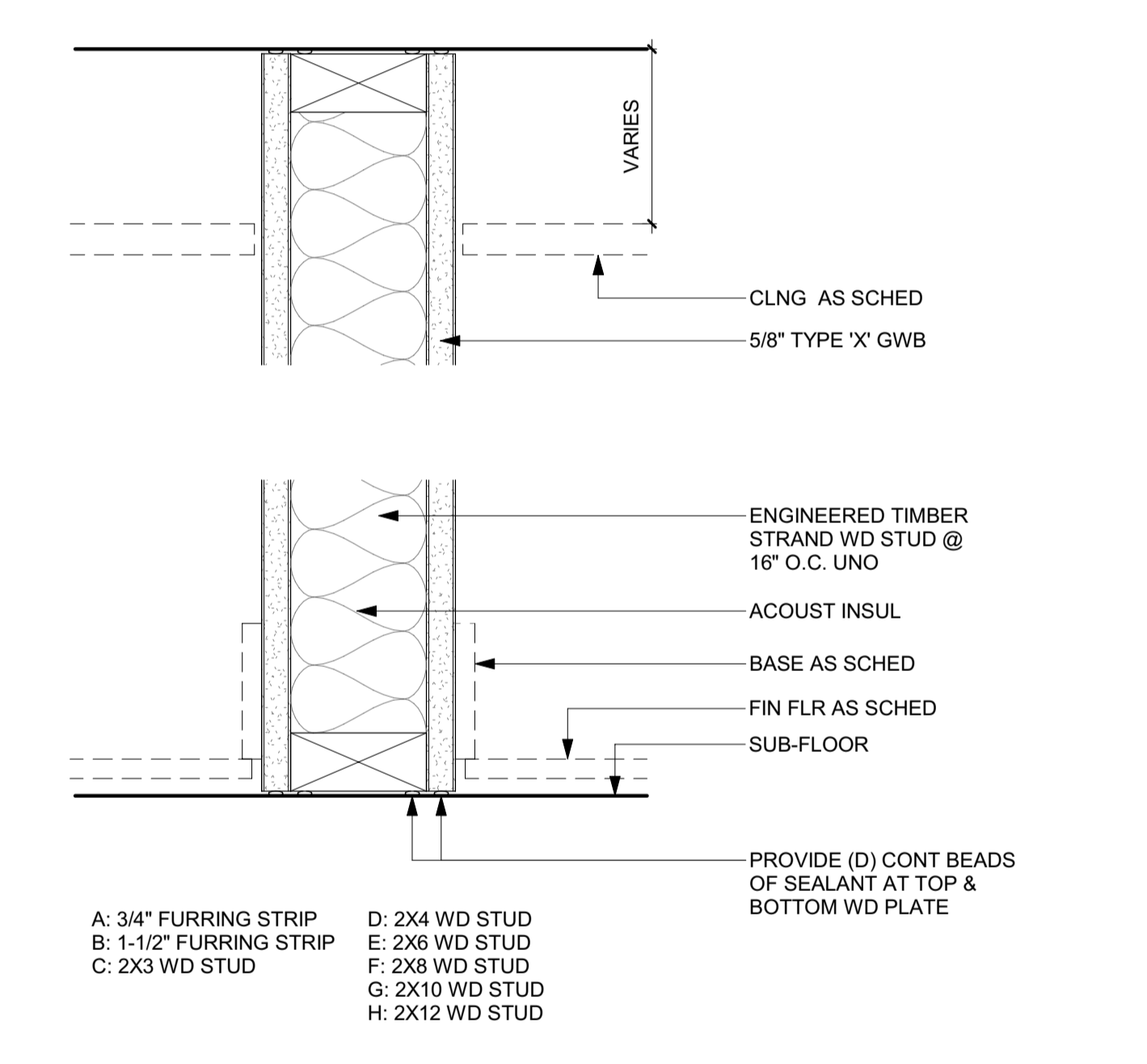
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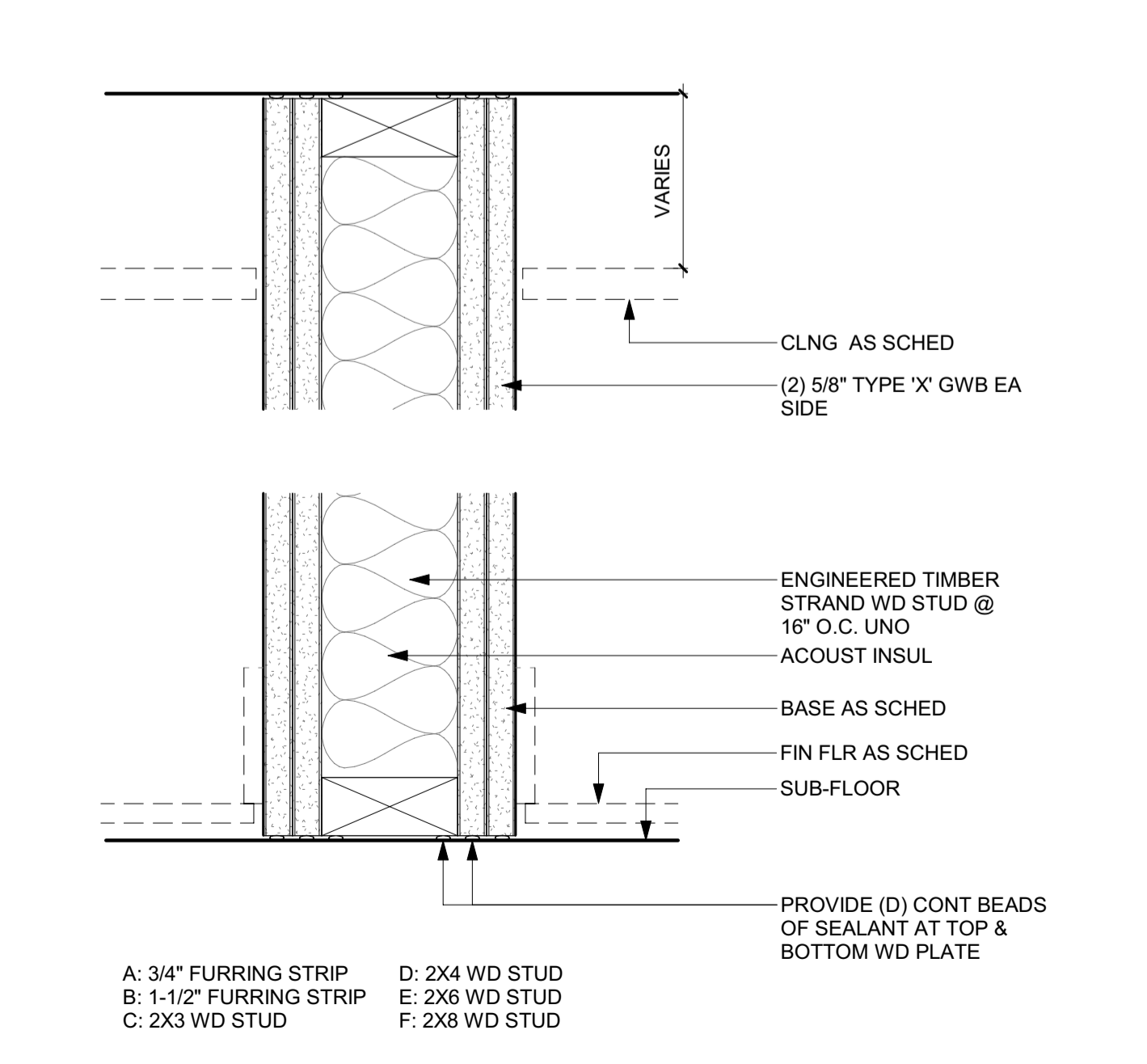
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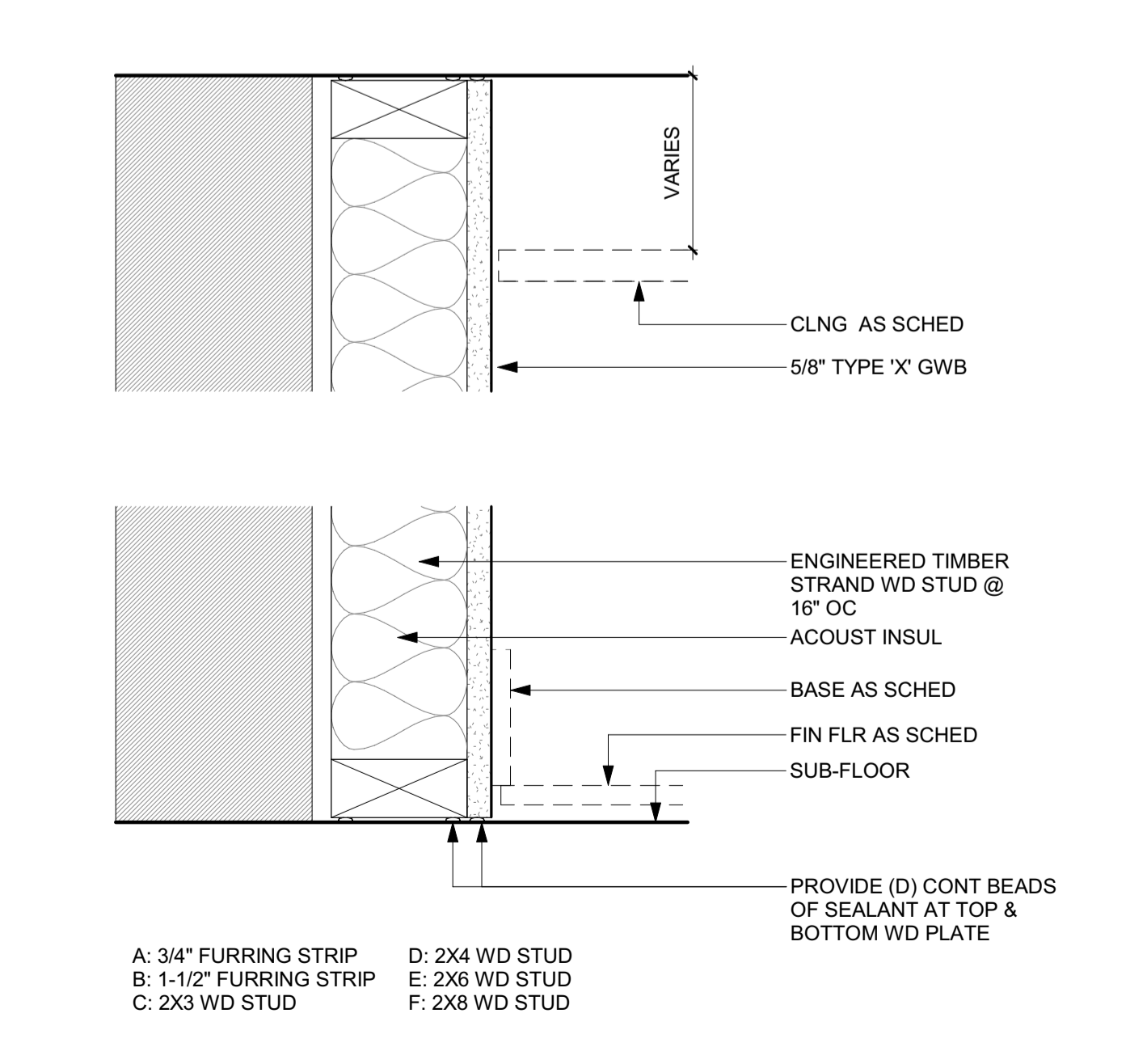
5 3\"/>



2 3\"/>



4 3\"/>



1 3\"/>

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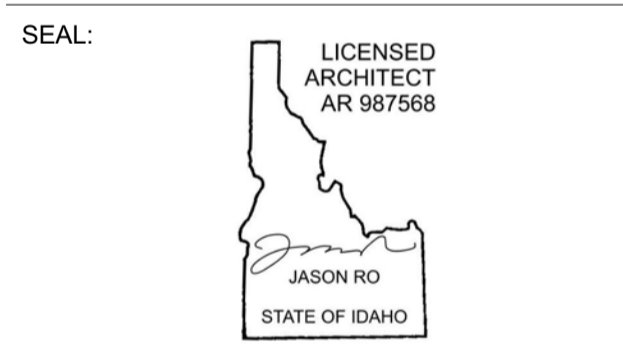
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NO	DATE	ISSUE

PROJECT:
BADGER RESIDENCE
 121 BADGER LANE
 KETCHUM, ID 83340

PROJECT NUMBER
#2201

DRAWING TITLE:
INTERIOR WALL AND CEILING ASSEMBLY TYPES

DRAWING NUMBER:
G-202



APPROVED
 These plans have been found to be in substantial compliance of the adopted building codes. These documents are approved contingent on compliance with the mark-ups, notes, and conditions of approval applied. This is not approval of any violation of any code, ordinance, statute or regulation. Corrections will be required for code violations found during the inspection process.

LEGAL DESCRIPTION:
 PARCEL 4, ROCKING RANCH SUB #2 (LOCATED WITHIN SECTION 13, T.4 N., R.17 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO)

ZONING DISTRICT: LR

FLOODPLAIN ZONE: AE

PROPERTY SIZE: 1.09 ACRES PER SURVEY (47,480 SF)

SITE PLAN NOTES:

- ELEVATION: 100'-0" = 5788'-6"
- SEE LANDSCAPE DRAWINGS FOR (E) AND (N) TREE LOCATIONS
- SEE LANDSCAPE DRAWINGS FOR DRIVEWAY LAYOUT, PROFILE & SITE DRAINAGE INFORMATION
- SEE ROOF PLAN FOR MORE ROOF INFORMATION
- SEE G-010 & G-011 FOR SITE COVERAGE AND HEIGHT CALCULATIONS
- SEE CONSTRUCTION ACTIVITY PLAN FOR ALL STAGING INFORMATION

BADGER RESIDENCE

OWNER:
 121 BADGER LANE LLC
 P.O. BOX 14001-174
 KETCHUM, ID 83340

PROJECT ARCHITECT:
 RO | ROCKETT DESIGN
 1031 W. MANCHESTER BLVD, UNIT 6
 INGLEWOOD, CA 90301
 TEL: 213.784.0014

SURVEYOR:
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 HAILEY, ID 83333
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 TEL: 310.552.2191

WATERPROOFING CONSULTANT:
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 3609 S WADSWORTH BLVD, SUITE 400
 LAKEWOOD, CO 80235
 TEL: 303.914.4300

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SEAL:

LICENSED ARCHITECT
 AR 987568

JASON RO
 STATE OF IDAHO

5	02.12.24	100% CD SET REV
4	02.12.24	PERMIT MODIFICATION
3	08.04.23	100% CD SET
	02.28.23	BUILDING PERMIT SUBMITTAL
NO	DATE	ISSUE

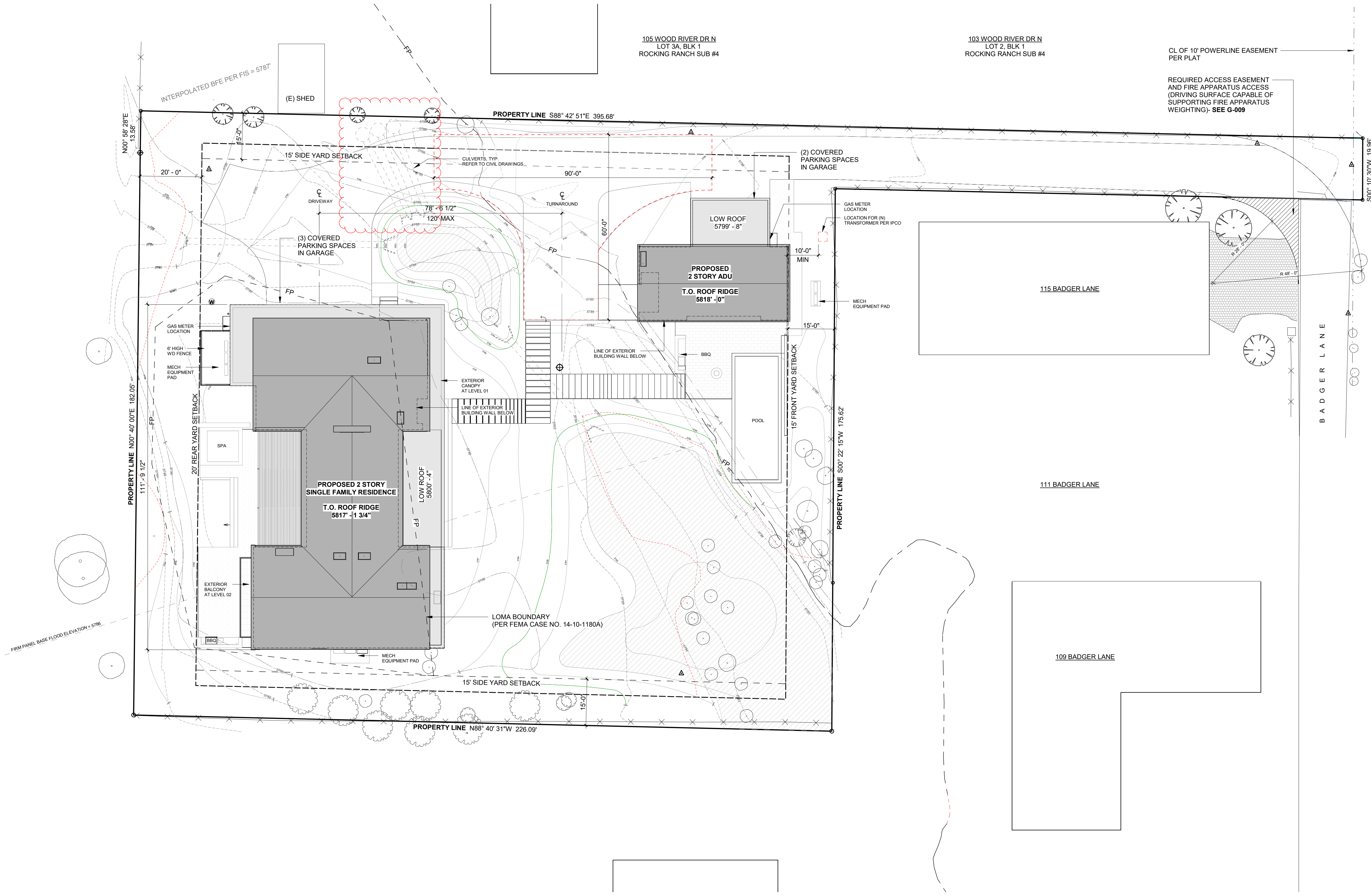
PROJECT:
BADGER RESIDENCE
 121 BADGER LANE
 KETCHUM, ID 83340

PROJECT NUMBER
#2201

DRAWING TITLE:
SITE PLAN

DRAWING NUMBER:
A-100.1

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General Notes:

- All neighbors with properties adjacent to the project shall be provided notice of the project, schedule and the general contractor's contact information in advance of construction.
- Trucks to be cleaned prior to leaving the site through mud removal to maintain clean city streets.
- Dust mitigation to be used by sprinkling the site during excavation when necessary.
- Vehicle parking is expected to be on the project site. "No parking" sign to be placed at the end of Badger Lane to ensure no parking occurs near the fire hydrant.
- Storage of temporary construction materials and tools will be on private property only and not in the right of way.
- Right of way will only be used to get access to the project site. No loading or unloading is expected to take place.
- See "Truck Route" picture demonstrating route to the job site from Main St.
- Site conditions to be cleaned and vegetated in accordance with the Landscape Plan once construction is completed.
- The general contractor is responsible for all subcontractors and will be held responsible for all aspects of the construction activity permit.
- Speed limits for construction vehicles shall be limited to 15 miles per hour within one block of a construction site, unless otherwise determined by the Ketchum Police Department.
- The job site shall be kept in a clean and orderly condition. Trash shall be picked up on the site and surrounding areas on a daily basis, and materials shall be stored in neat, tidy piles.
- Manholes may not be obstructed at any time. In addition, minimum three feet clear shall be maintained on back and sides of fire hydrants, and minimum 15 feet clear shall be maintained on the front, street side of fire hydrants.
- Contractor is responsible for snow removal. Snow will be stored on site outside of the right of way. If unable to store on site, it will be hauled away from the project.
- Mature trees will be protected and fenced at the drip line throughout construction.
- Wetlands to remain undisturbed during construction. Silt fencing to be placed along wetland borders to ensure material and equipment will not enter into wetland areas.
- No contractor parking will be permitted on Badger Lane and Buss Elle Rd.

Cut and Fill Calculations:

Cut = 274 cy
 Fill = 258 cy
 Difference = 16 cy
 Excess material is to be stored on site in the stockpile location until completion of construction.

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SEAL:


1	05.02.23	PERMIT REVIEW- REV 1
0	02.28.23	BUILDING PERMIT SUBMITTAL
NO	DATE	ISSUE

PROJECT:
BADGER RESIDENCE
 121 BADGER LANE
 KETCHUM, ID 83340

PROJECT NUMBER
#2201

DRAWING TITLE:
SITE PLAN

DRAWING NUMBER:
A-100.1



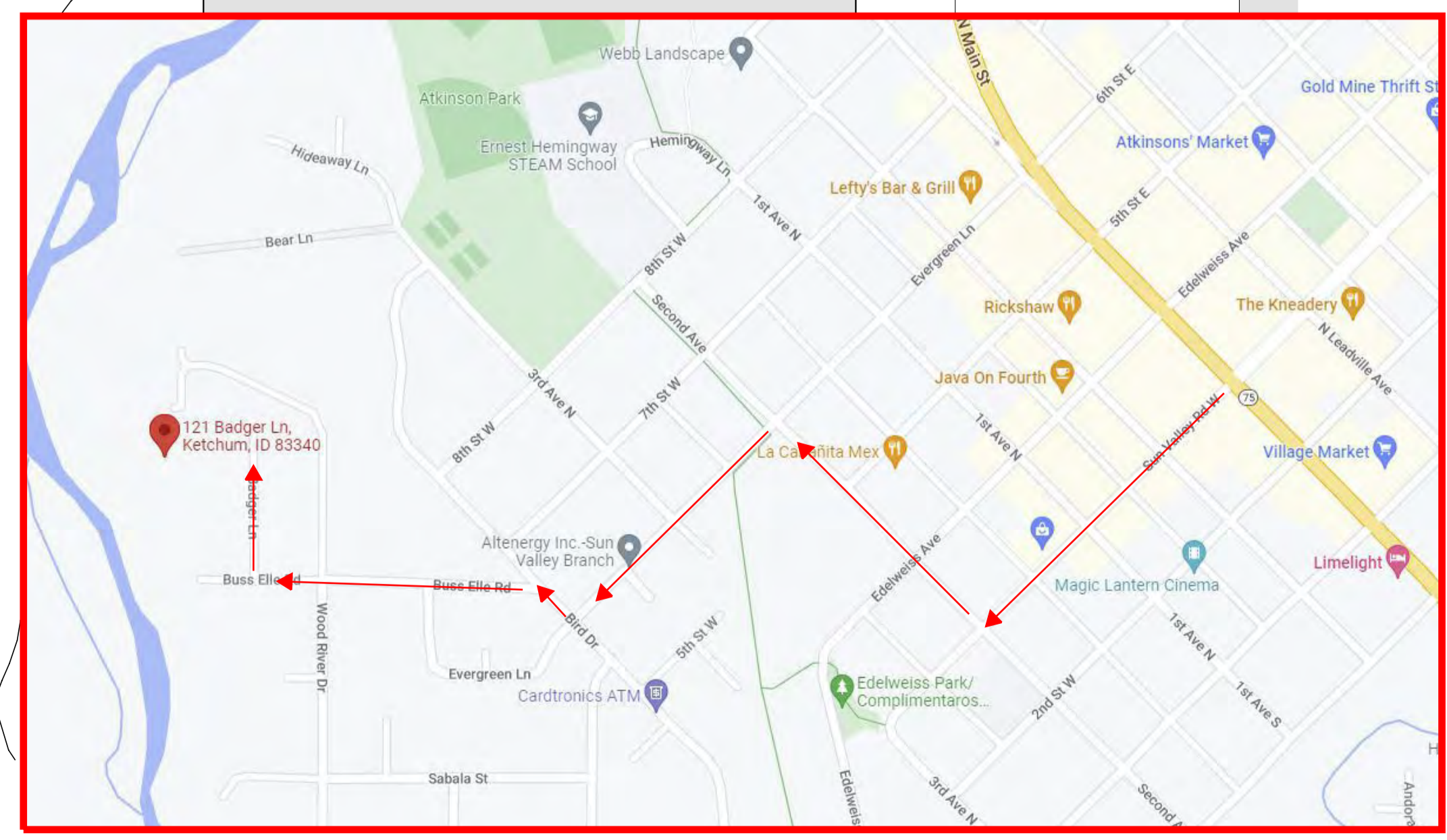
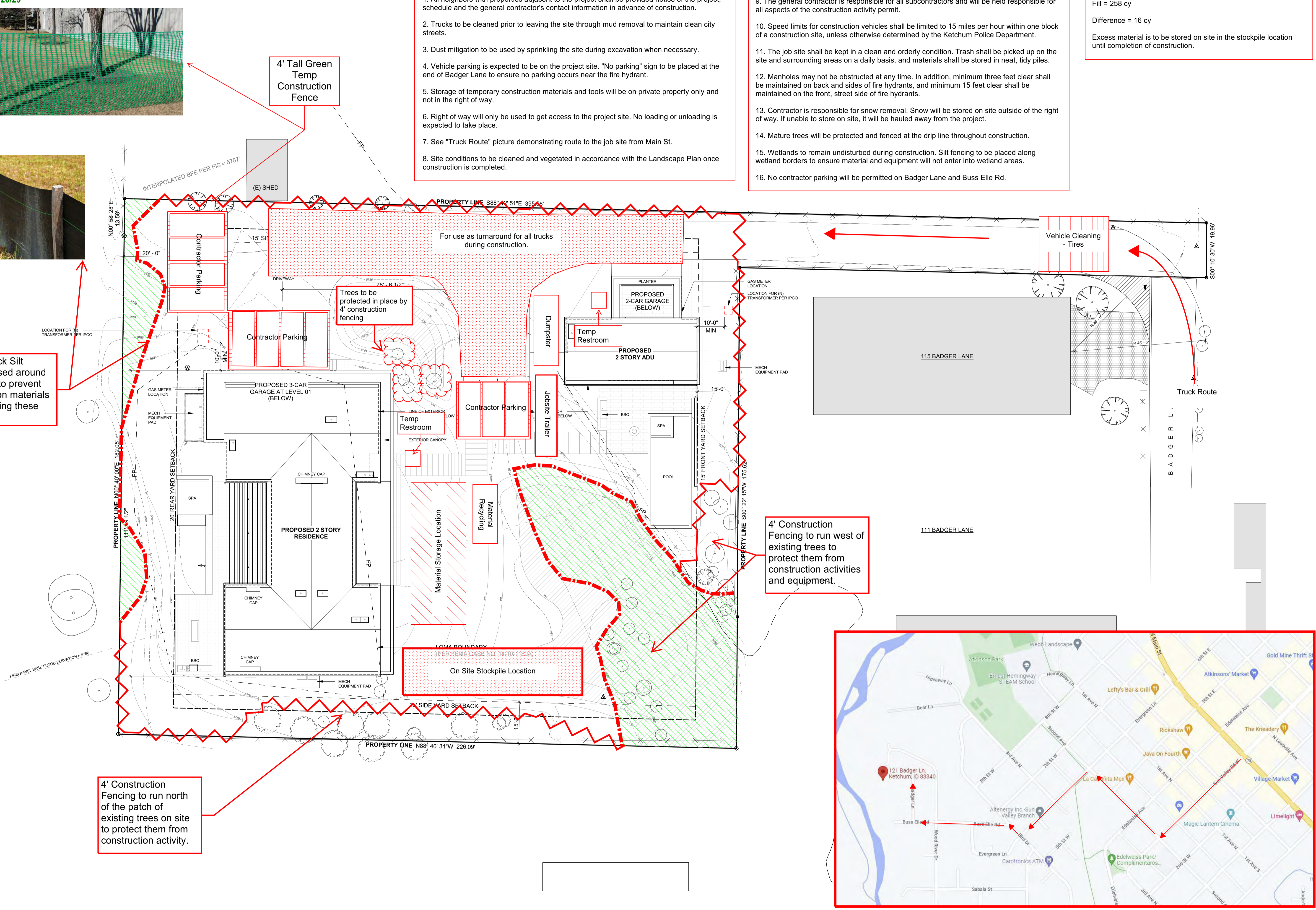
4' Tall Green Temp Construction Fence



3' Tall Black Silt Fencing used around Wetlands to prevent construction materials from entering these areas.

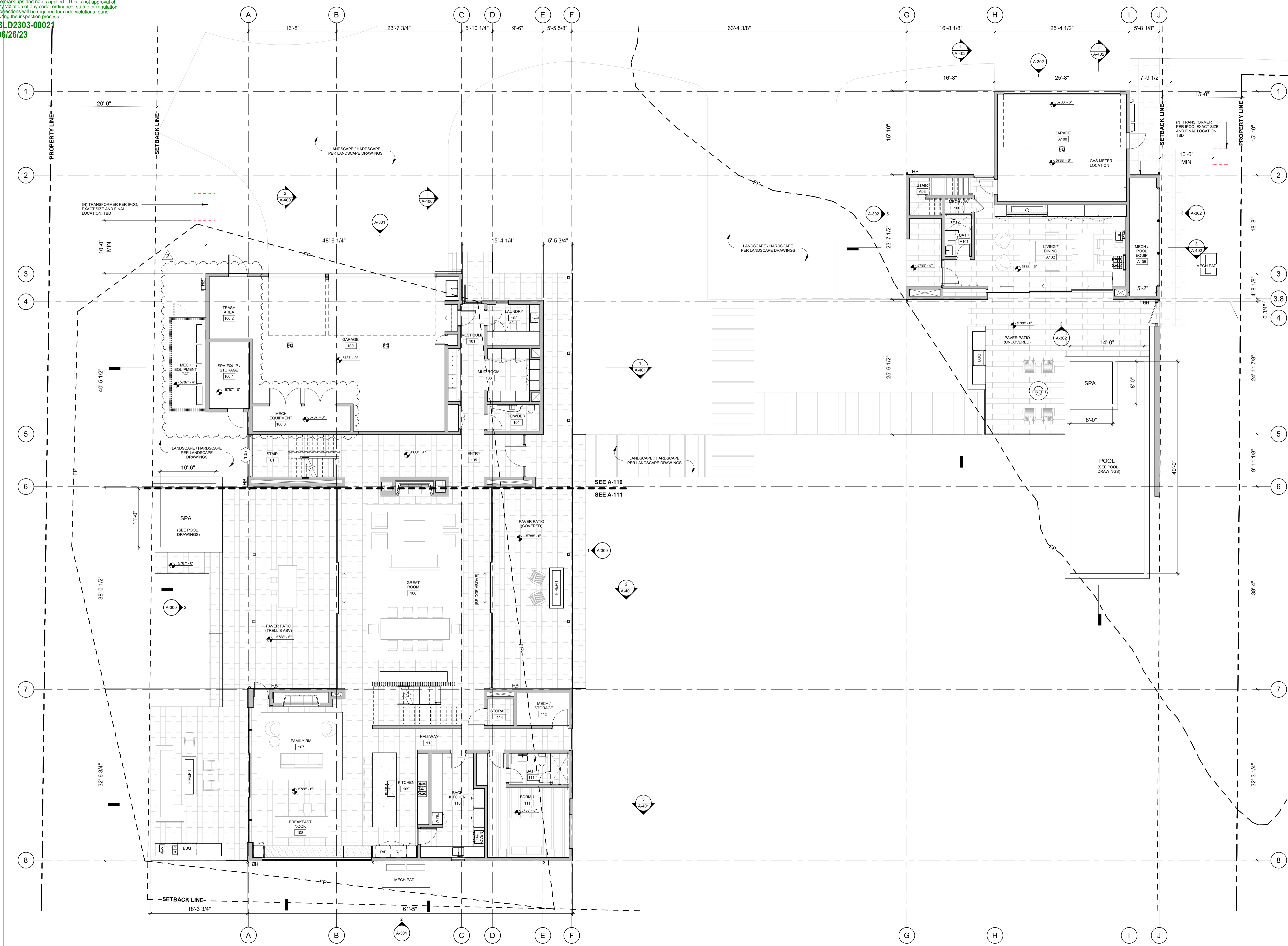
4' Construction Fencing to run west of existing trees to protect them from construction activities and equipment.

4' Construction Fencing to run north of the patch of existing trees on site to protect them from construction activity.



Approved
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BLD2303-00021
 06/26/23



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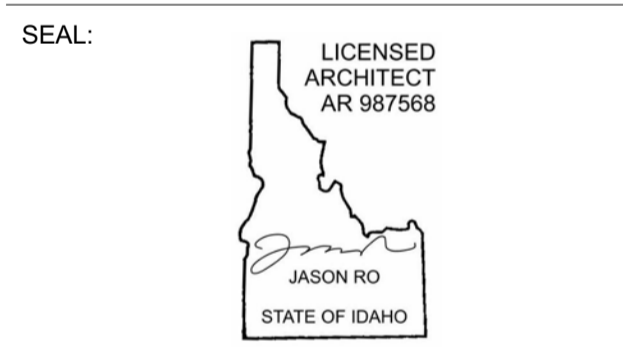
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2	06.06.23	PERMIT REVIEW - REV 2
	02.28.23	BUILDING PERMIT SUBMITTAL
NO	DATE	ISSUE

PROJECT:
BADGER RESIDENCE
 121 BADGER LANE
 KETCHUM, ID 83340

PROJECT NUMBER
#2201

DRAWING TITLE:
REFERENCE PLAN / LEVEL 01

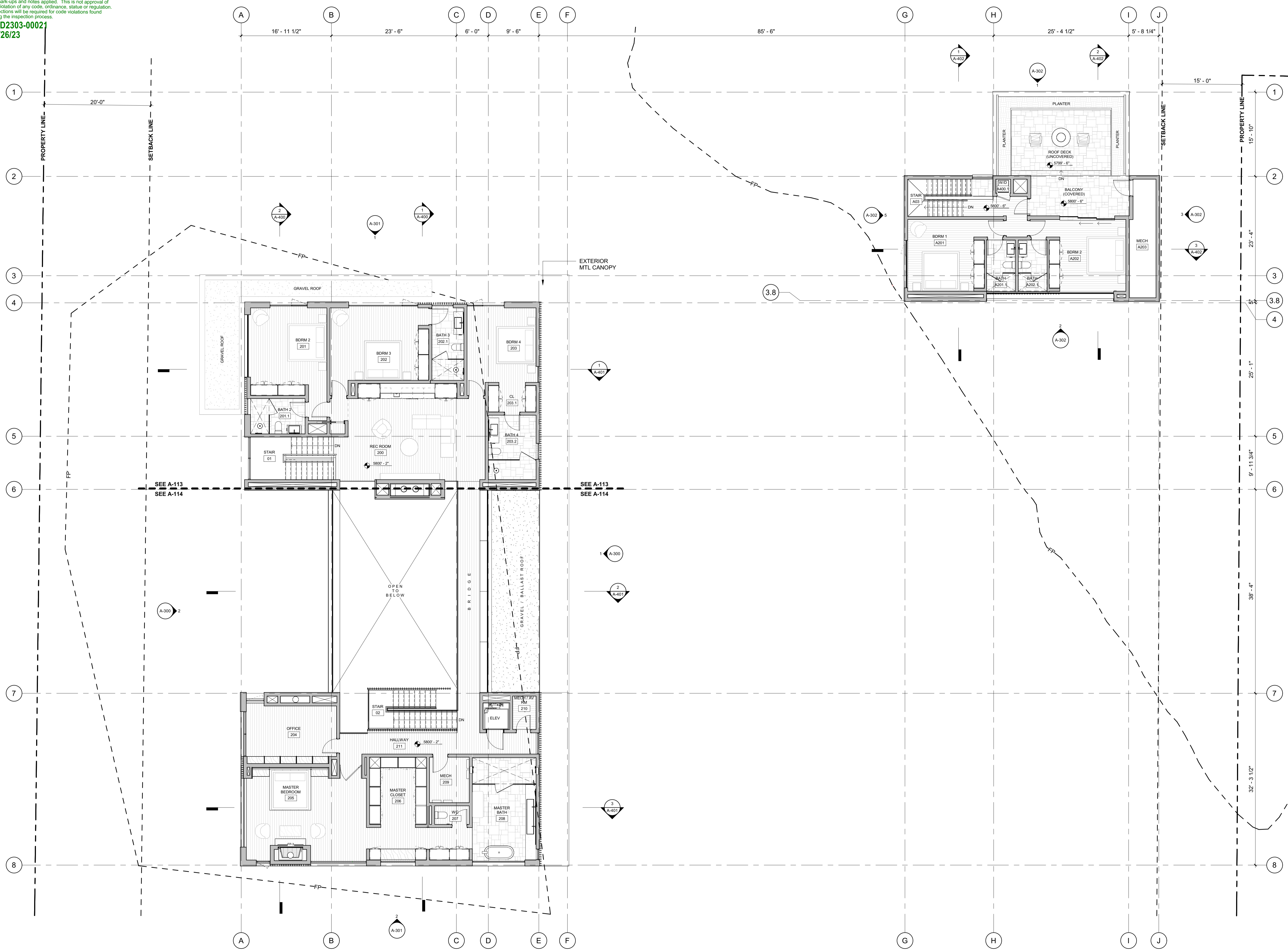
DRAWING NUMBER:
A-101

NOT FOR CONSTRUCTION
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Approved
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BLD2303-00021
 06/26/23

2/2/25



BADGER RESIDENCE

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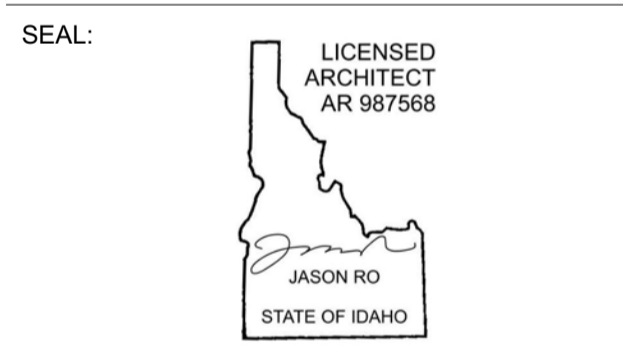
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NO	DATE	BUILDING PERMIT	ISSUE
0	02.28.23		

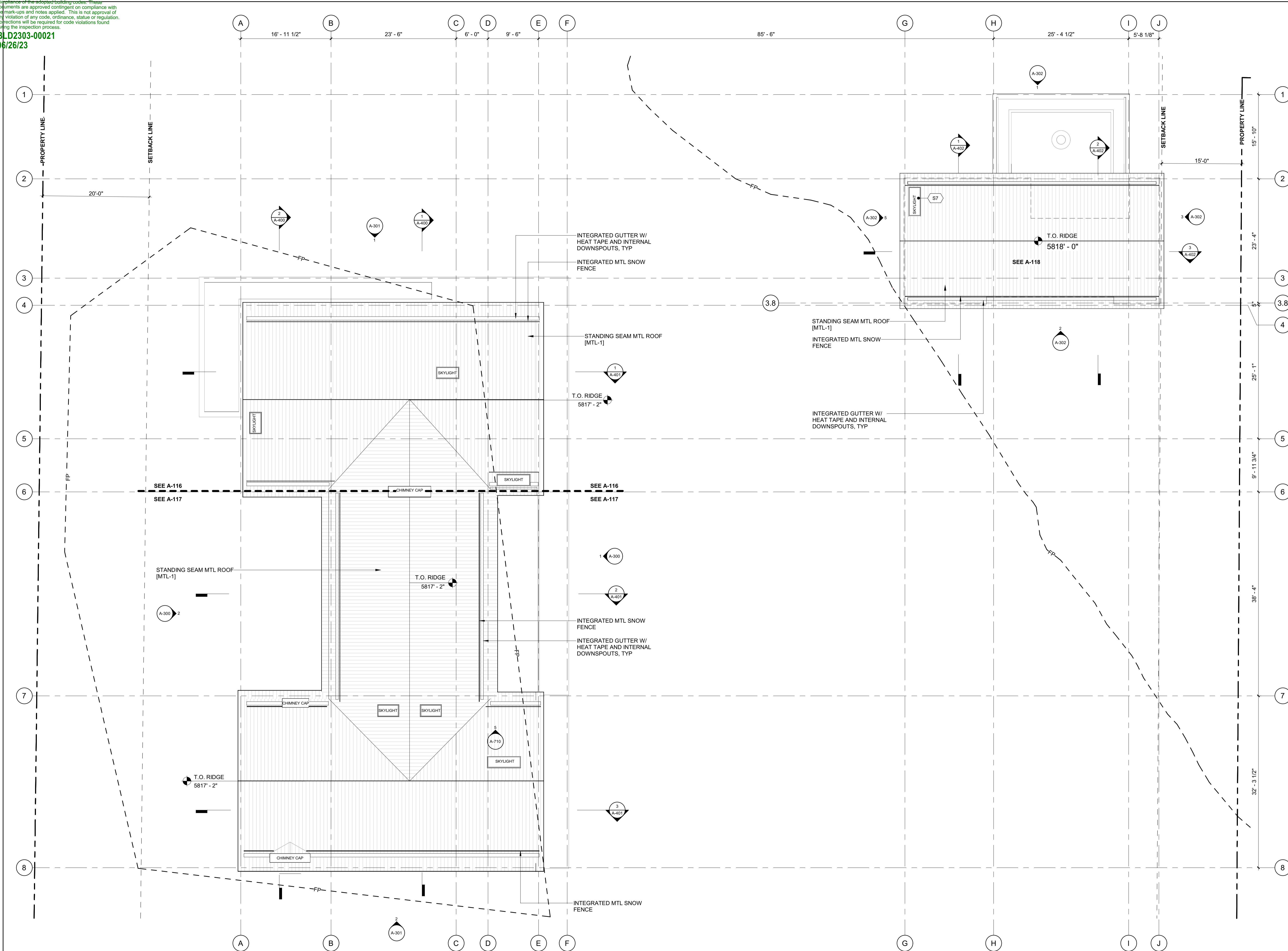
PROJECT:
BADGER RESIDENCE
 121 BADGER LANE
 KETCHUM, ID 83340

PROJECT NUMBER
#2201

DRAWING TITLE:
REFERENCE PLAN / LEVEL 02

DRAWING NUMBER:
A-102

Approved
 These plans have been found to be in substantial compliance with the relevant building codes. These documents are approved contingent on compliance with the mark-ups and notes applied. This is not approval of any code, ordinance, statute or regulation. Corrections will be required for code violations found during the inspection process.
 BLD2303-00021
 06/26/23



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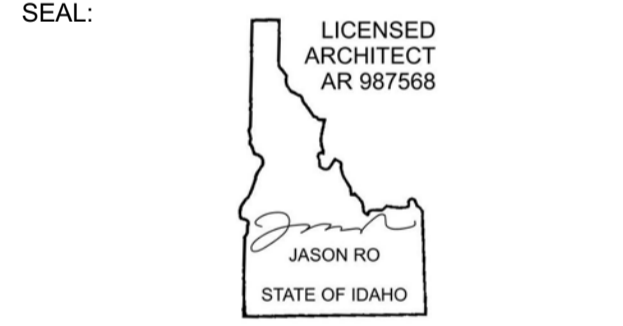
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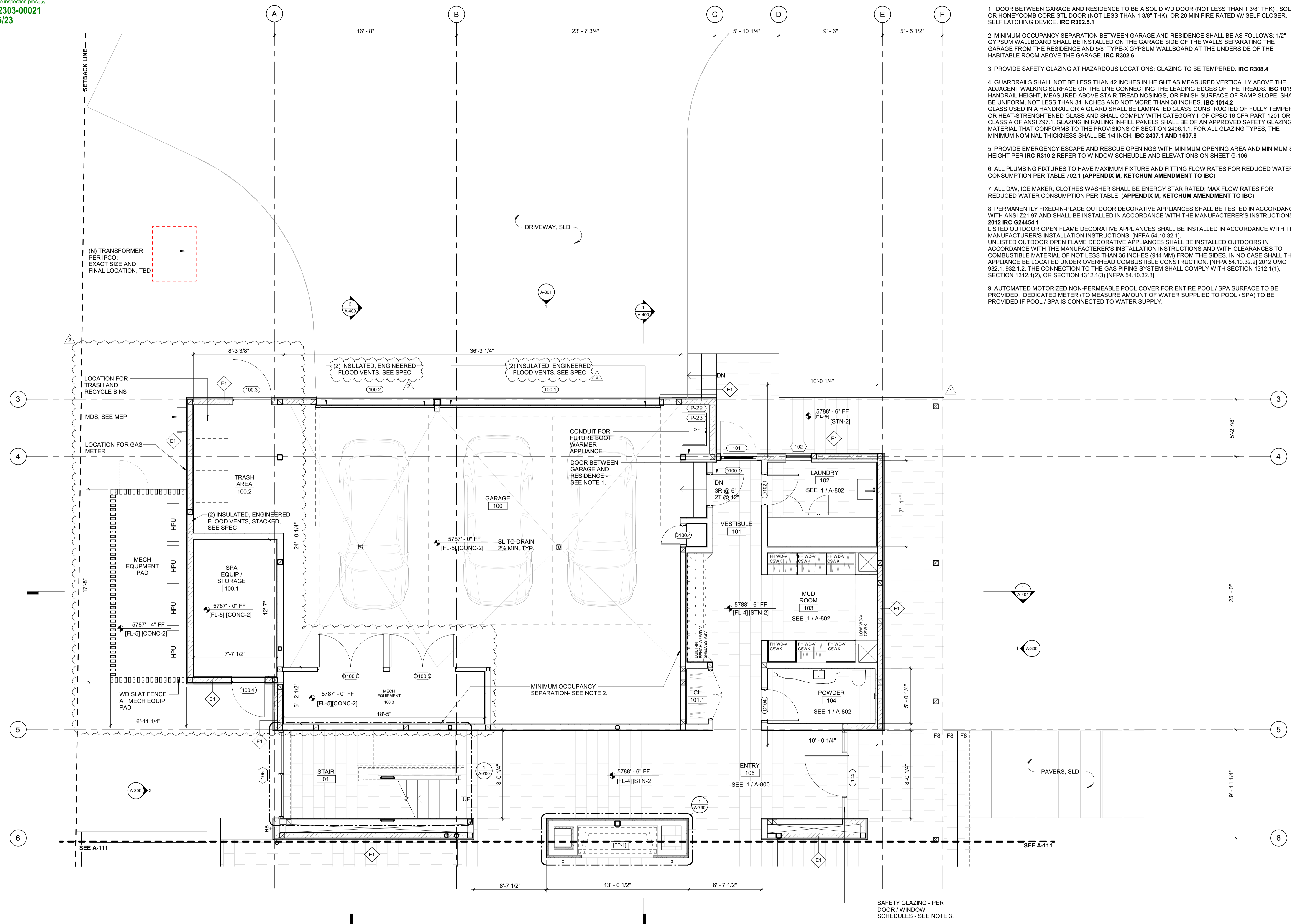
NO	DATE	BUILDING PERMIT	ISSUE
0	02.28.23	BUILDING PERMIT	

PROJECT:
BADGER RESIDENCE
 121 BADGER LANE
 KETCHUM, ID 83340

PROJECT NUMBER
#2201

DRAWING TITLE:
REFERENCE PLAN / ROOF

DRAWING NUMBER:
A-103



GENERAL NOTES:

- DOOR BETWEEN GARAGE AND RESIDENCE TO BE A SOLID WD DOOR (NOT LESS THAN 1 3/8" THK), SOLID OR HONEYCOMB CORE STL DOOR (NOT LESS THAN 1 3/8" THK), OR 20 MIN FIRE RATED W/ SELF CLOSER, SELF LATCHING DEVICE. **IRC R302.5.1**
- MINIMUM OCCUPANCY SEPARATION BETWEEN GARAGE AND RESIDENCE SHALL BE AS FOLLOWS: 1/2" GYPSUM WALLBOARD SHALL BE INSTALLED ON THE GARAGE SIDE OF THE WALLS SEPARATING THE GARAGE FROM THE RESIDENCE AND 5/8" TYPE-X GYPSUM WALLBOARD AT THE UNDERSIDE OF THE HABITABLE ROOM ABOVE THE GARAGE. **IRC R302.6**
- PROVIDE SAFETY GLAZING AT HAZARDOUS LOCATIONS; GLAZING TO BE TEMPERED. **IRC R308.4**
- GUARDRAILS SHALL NOT BE LESS THAN 42 INCHES IN HEIGHT AS MEASURED VERTICALLY ABOVE THE ADJACENT WALKING SURFACE OR THE LINE CONNECTING THE LEADING EDGES OF THE TREADS. **IBC 1015.3** HANDRAIL HEIGHT, MEASURED ABOVE STAIR TREAD NOSINGS, OR FINISH SURFACE OF RAMP SLOPE, SHALL BE UNIFORM, NOT LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES. **IBC 1014.2** GLASS USED IN A HANDRAIL OR A GUARD SHALL BE LAMINATED GLASS CONSTRUCTED OF FULLY TEMPERED OR HEAT-STRENGTHENED GLASS AND SHALL COMPLY WITH CATEGORY II OF CPSC 16 CFR PART 1201 OR CLASS A OF ANSI Z97.1. GLAZING IN RAILING IN-FILL PANELS SHALL BE OF AN APPROVED SAFETY GLAZING MATERIAL THAT CONFORMS TO THE PROVISIONS OF SECTION 2406.1.1. FOR ALL GLAZING TYPES, THE MINIMUM NOMINAL THICKNESS SHALL BE 1/4 INCH. **IBC 2407.1 AND 1607.8**
- PROVIDE EMERGENCY ESCAPE AND RESCUE OPENINGS WITH MINIMUM OPENING AREA AND MINIMUM SILL HEIGHT PER **IRC R310.2** REFER TO WINDOW SCHEDULE AND ELEVATIONS ON SHEET G-106
- ALL PLUMBING FIXTURES TO HAVE MAXIMUM FIXTURE AND FITTING FLOW RATES FOR REDUCED WATER CONSUMPTION PER TABLE 702.1 (**APPENDIX M, KETCHUM AMENDMENT TO IBC**)
- ALL DW, ICE MAKER, CLOTHES WASHER SHALL BE ENERGY STAR RATED; MAX FLOW RATES FOR REDUCED WATER CONSUMPTION PER TABLE (**APPENDIX M, KETCHUM AMENDMENT TO IBC**)
- PERMANENTLY FIXED-IN-PLACE OUTDOOR DECORATIVE APPLIANCES SHALL BE TESTED IN ACCORDANCE WITH ANSI Z21.97 AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. **2012 IRC G2445.1** LISTED OUTDOOR OPEN FLAME DECORATIVE APPLIANCES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. [NFPA 54.10.32.1] UNLISTED OUTDOOR OPEN FLAME DECORATIVE APPLIANCES SHALL BE INSTALLED OUTDOORS IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND WITH CLEARANCES TO COMBUSTIBLE MATERIAL OF NOT LESS THAN 36 INCHES (914 MM) FROM THE SIDES. IN NO CASE SHALL THE APPLIANCE BE LOCATED UNDER OVERHEAD COMBUSTIBLE CONSTRUCTION. [NFPA 54.10.32.2] 2012 UMC 932.1, 932.1.2, THE CONNECTION TO THE GAS PIPING SYSTEM SHALL COMPLY WITH SECTION 1312.1(1), SECTION 1312.1(2), OR SECTION 1312.1(3) [NFPA 54.10.32.3]
- AUTOMATED MOTORIZED NON-PERMEABLE POOL COVER FOR ENTIRE POOL / SPA SURFACE TO BE PROVIDED. DEDICATED METER (TO MEASURE AMOUNT OF WATER SUPPLIED TO POOL / SPA) TO BE PROVIDED IF POOL / SPA IS CONNECTED TO WATER SUPPLY.

BADGER RESIDENCE

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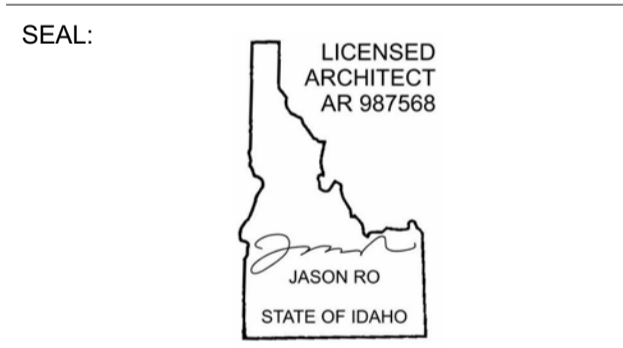
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NO	DATE	ISSUE
2	06.06.23	PERMIT REVIEW- REV 2
1	05.02.23	PERMIT REVIEW- REV 1
	02.28.23	BUILDING PERMIT SUBMITTAL

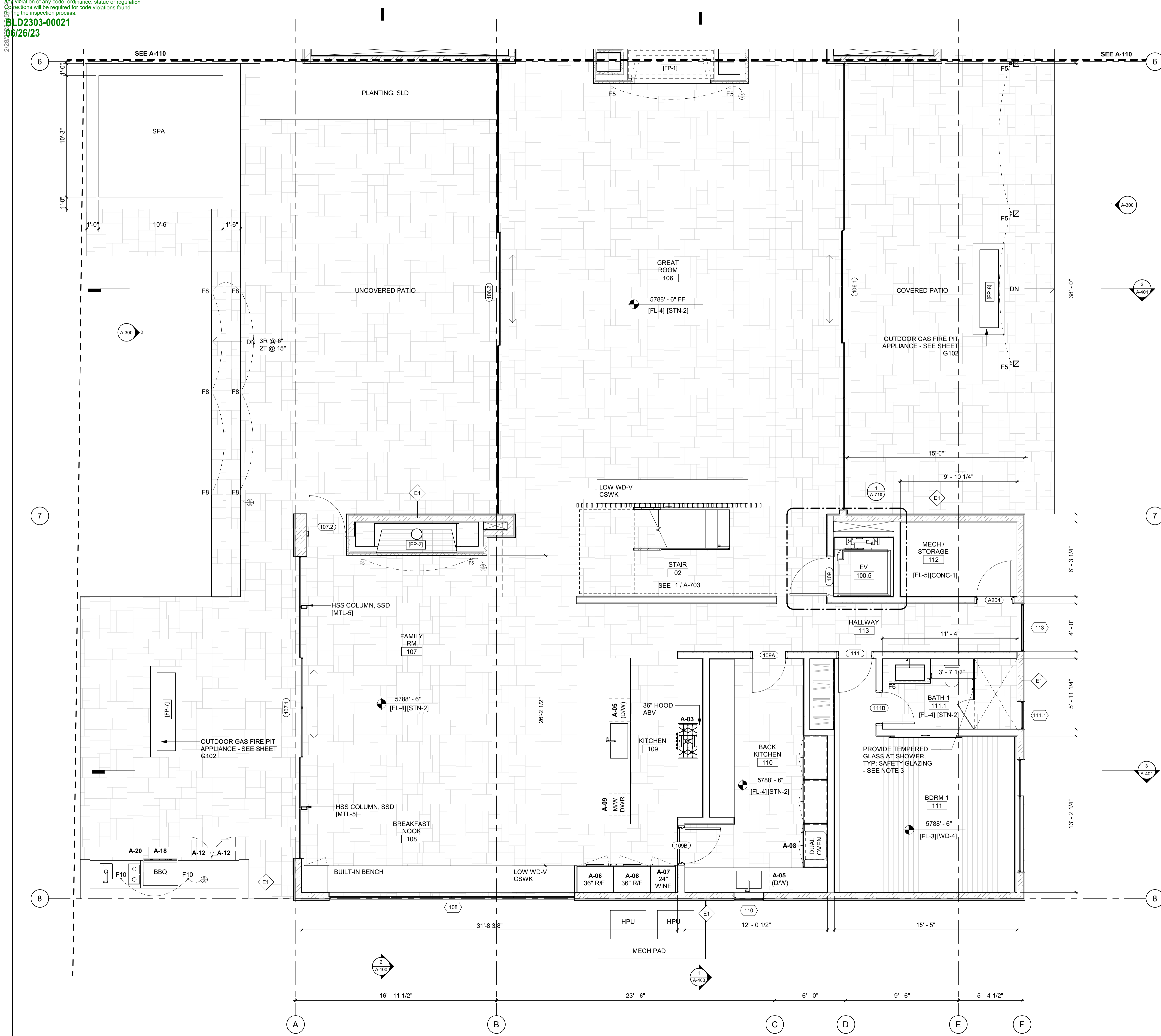
PROJECT:
BADGER RESIDENCE
 121 BADGER LANE
 KETCHUM, ID 83340

PROJECT NUMBER
#2201

DRAWING TITLE:
FLOOR PLAN / LEVEL 01 / NORTH

DRAWING NUMBER:
A-110

NOT FOR CONSTRUCTION
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- GENERAL NOTES:**
- DOOR BETWEEN GARAGE AND RESIDENCE TO BE A SOLID WD DOOR (NOT LESS THAN 1 3/8" THK), SOLID OR HONEYCOMB CORE STL DOOR (NOT LESS THAN 1 3/8" THK), OR 20 MIN FIRE RATED W/ SELF CLOSER, SELF LATCHING DEVICE. **IRC R302.5.1**
 - MINIMUM OCCUPANCY SEPARATION BETWEEN GARAGE AND RESIDENCE SHALL BE AS FOLLOWS: 1/2" GYPSUM WALLBOARD SHALL BE INSTALLED ON THE GARAGE SIDE OF THE WALLS SEPARATING THE GARAGE FROM THE RESIDENCE AND 5/8" TYPE-X GYPSUM WALLBOARD AT THE UNDERSIDE OF THE HABITABLE ROOM ABOVE THE GARAGE. **IRC R302.6**
 - PROVIDE SAFETY GLAZING AT HAZARDOUS LOCATIONS; GLAZING TO BE TEMPERED. **IRC R308.4**
 - GUARDRAILS SHALL NOT BE LESS THAN 42 INCHES IN HEIGHT AS MEASURED VERTICALLY ABOVE THE ADJACENT WALKING SURFACE OR THE LINE CONNECTING THE LEADING EDGES OF THE TREADS. **IBC 1015.3**
 HANDRAIL HEIGHT, MEASURED ABOVE STAIR TREAD NOSINGS, OR FINISH SURFACE OF RAMP SLOPE, SHALL BE UNIFORM, NOT LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES. **IBC 1014.2**
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BADGER RESIDENCE

OWNER:
121 BADGER LANE LLC
 P.O. BOX 14001-174
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 TEL: 208.726.9512

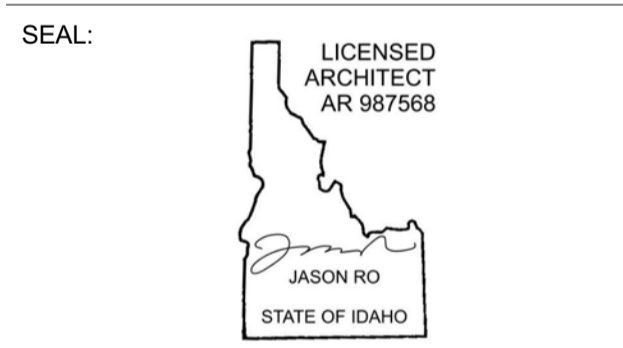
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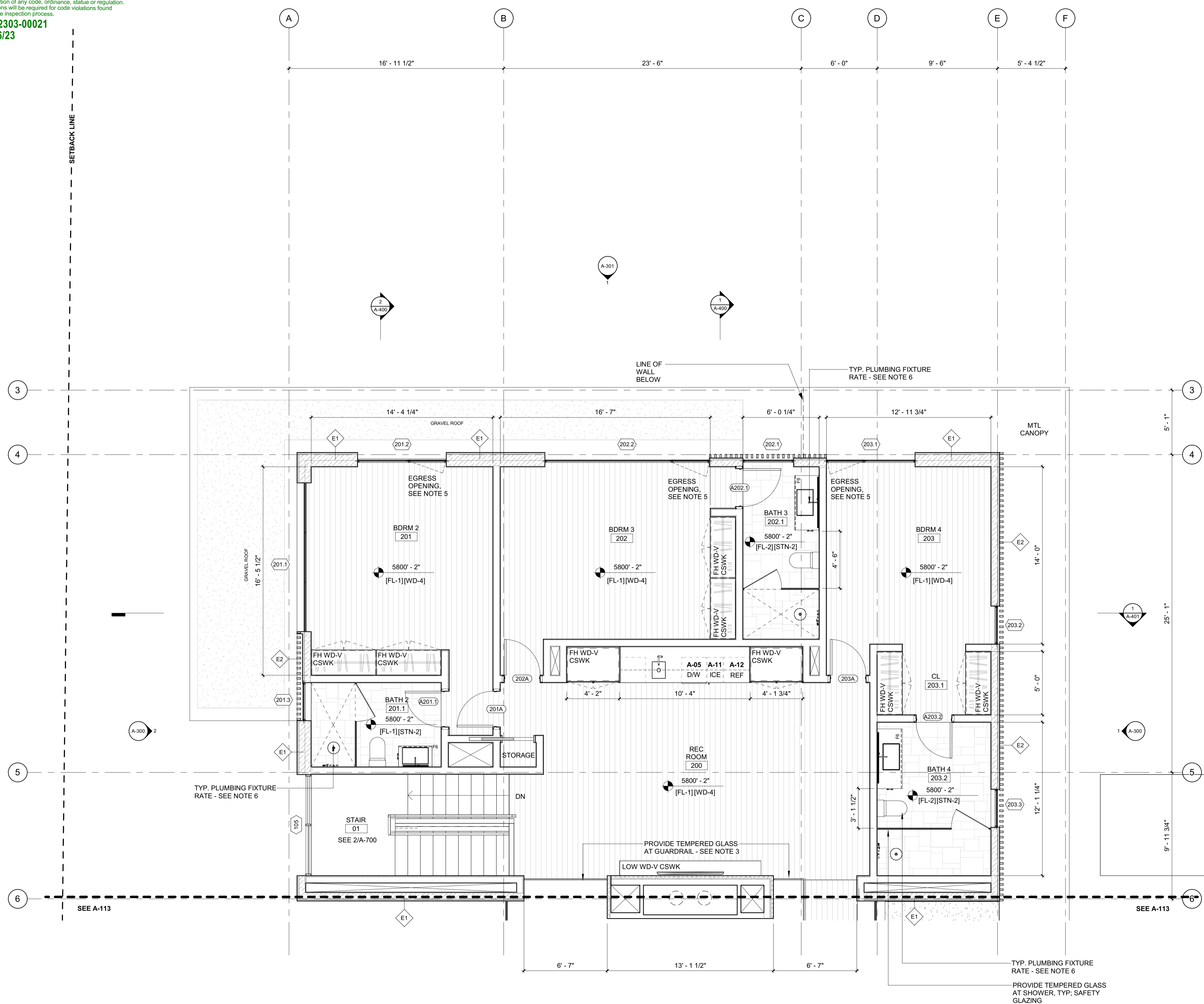
NO	DATE	BUILDING PERMIT	ISSUE
0	02.28.23		

PROJECT:
BADGER RESIDENCE
 121 BADGER LANE
 KETCHUM, ID 83340

PROJECT NUMBER
#2201

DRAWING TITLE:
FLOOR PLAN / LEVEL 01 / SOUTH

DRAWING NUMBER:
A-111



- GENERAL NOTES:**
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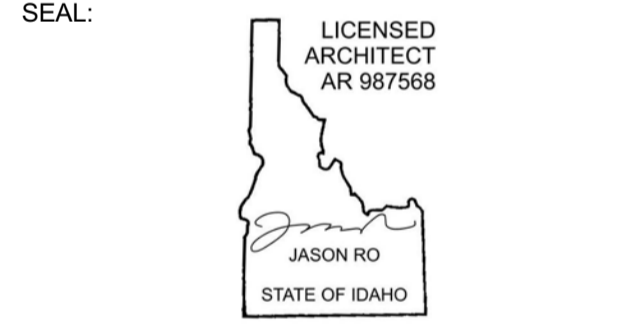
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NO	DATE	BUILDING PERMIT ISSUE
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PROJECT:
BADGER RESIDENCE
 121 BADGER LANE
 KETCHUM, ID 83340

PROJECT NUMBER
#2201

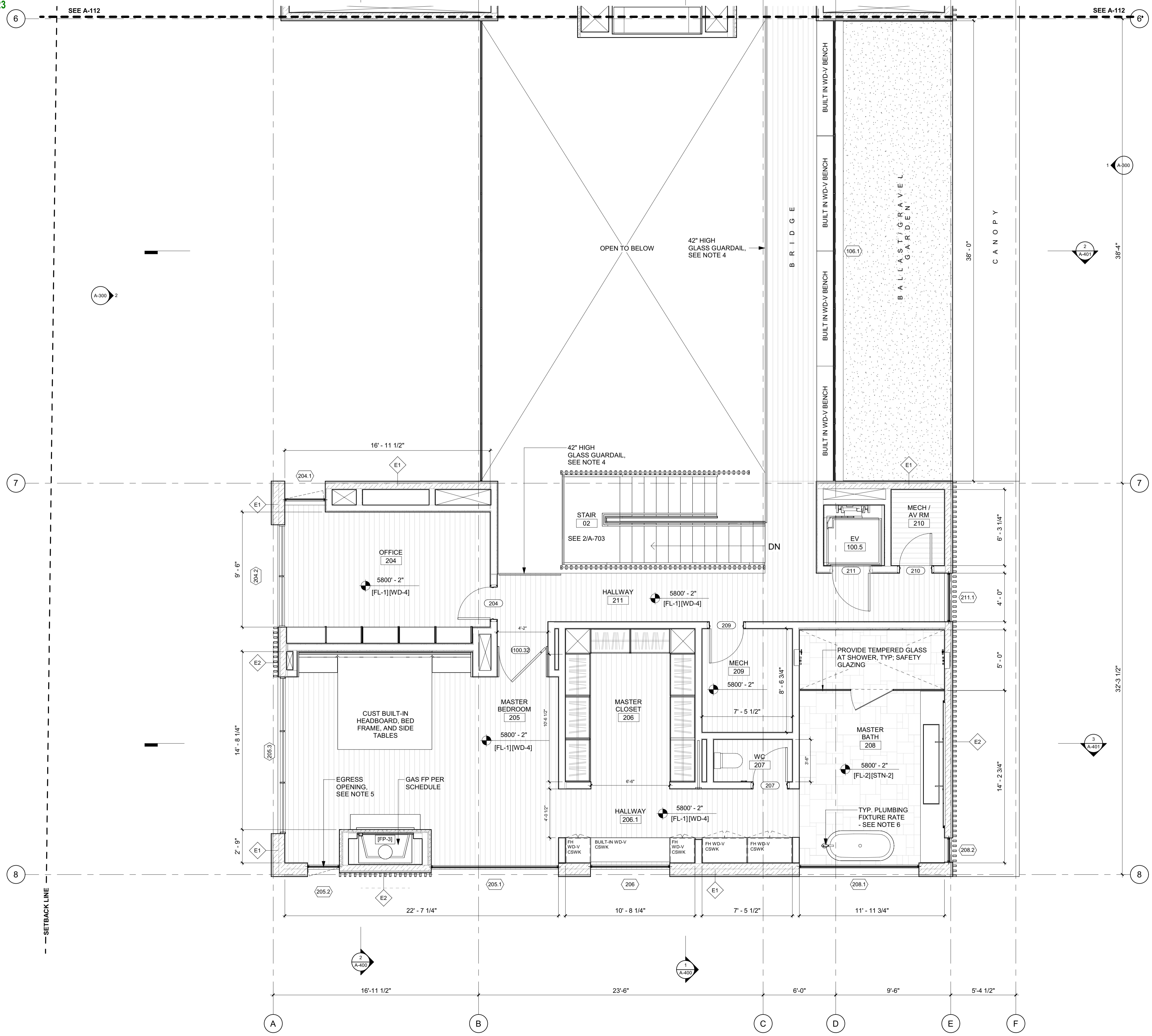
DRAWING TITLE:
FLOOR PLAN / LEVEL 02 / NORTH

DRAWING NUMBER:
A-112

BLD2303-00021

06/26/23

2/2/25



GENERAL NOTES:

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BADGER RESIDENCE

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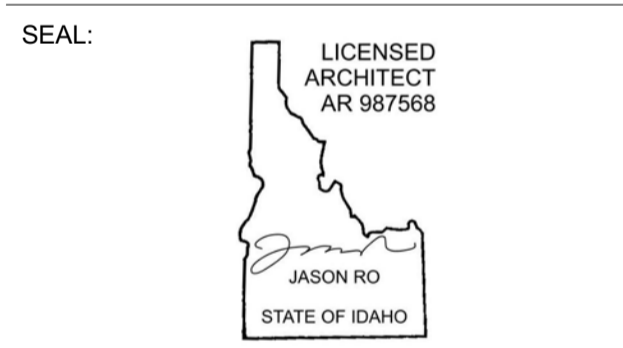
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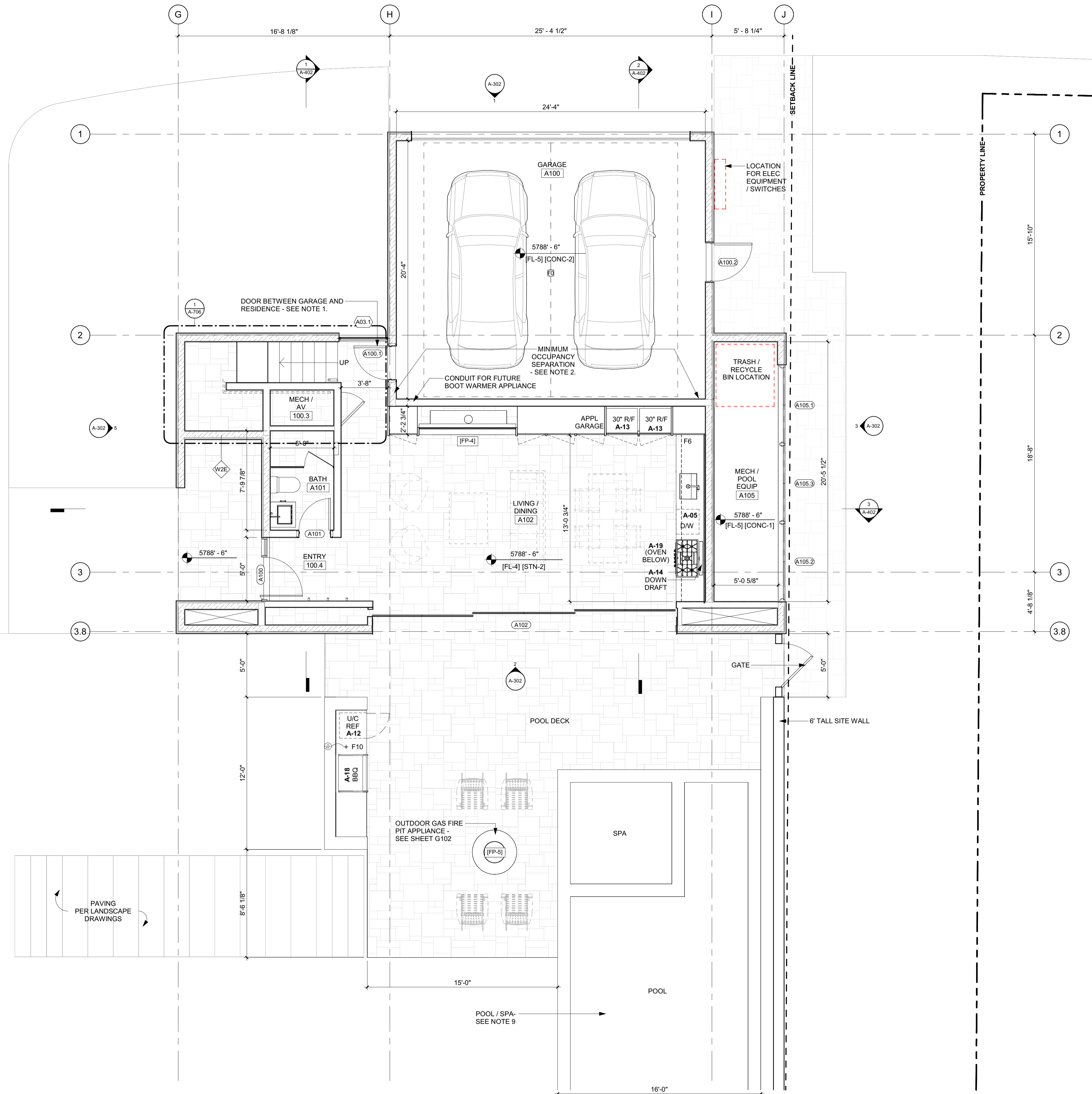
0 02.28.23 BUILDING PERMIT
 NO DATE ISSUE

PROJECT:
BADGER RESIDENCE
 121 BADGER LANE
 KETCHUM, ID 83340

PROJECT NUMBER
#2201

DRAWING TITLE:
FLOOR PLAN / LEVEL 02 / SOUTH

DRAWING NUMBER:
A-113



GENERAL NOTES:

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AUTO COURT
 ALL LANDSCAPE / HARDSCAPE / DRIVEWAY DESIGN AND EXTERIOR LIGHTING PER LANDSCAPE ARCHITECT, SLD

PAVING PER LANDSCAPE DRAWINGS

BADGER RESIDENCE

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 TEL: 406.272.0352

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 LICENSED ARCHITECT
 AR 987568
 JASON RO
 STATE OF IDAHO

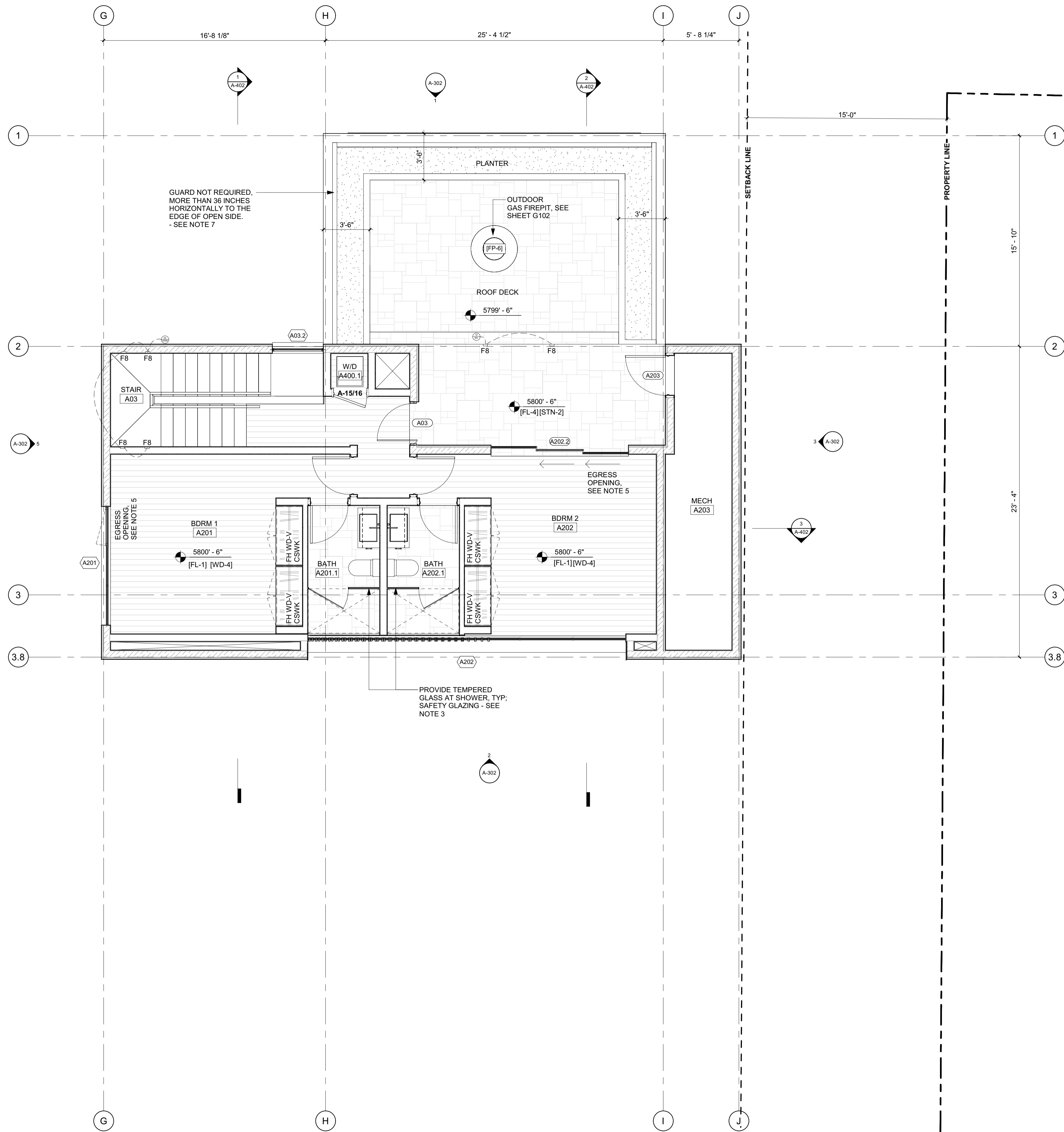
NO	DATE	BUILDING PERMIT	ISSUE
0	02.28.23	BUILDING PERMIT	

PROJECT:
BADGER RESIDENCE
 121 BADGER LANE
 KETCHUM, ID 83340

PROJECT NUMBER
#2201

DRAWING TITLE:
FLOOR PLAN / LEVEL 01 / ADU

DRAWING NUMBER:
A-114



- GENERAL NOTES:**
- DOOR BETWEEN GARAGE AND RESIDENCE TO BE A SOLID WD DOOR (NOT LESS THAN 1 3/8" THK), SOLID OR HONEYCOMB CORE STL DOOR (NOT LESS THAN 1 3/8" THK), OR 20 MIN FIRE RATED W/ SELF CLOSER, SELF LATCHING DEVICE. **IRC R302.5.1**
 - MINIMUM OCCUPANCY SEPARATION BETWEEN GARAGE AND RESIDENCE SHALL BE AS FOLLOWS: 1/2" GYPSUM WALLBOARD SHALL BE INSTALLED ON THE GARAGE SIDE OF THE WALLS SEPARATING THE GARAGE FROM THE RESIDENCE AND 5/8" TYPE-X GYPSUM WALLBOARD AT THE UNDERSIDE OF THE HABITABLE ROOM ABOVE THE GARAGE. **IRC R302.6**
 - PROVIDE SAFETY GLAZING AT HAZARDOUS LOCATIONS; GLAZING TO BE TEMPERED. **IRC R308.4**
 - GUARDRAILS SHALL NOT BE LESS THAN 42 INCHES IN HEIGHT AS MEASURED VERTICALLY ABOVE THE ADJACENT WALKING SURFACE OR THE LINE CONNECTING THE LEADING EDGES OF THE TREADS. **IBC 1015.3**
 HANDRAIL HEIGHT, MEASURED ABOVE STAIR TREAD NOSINGS, OR FINISH SURFACE OF RAMP SLOPE, SHALL BE UNIFORM, NOT LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES. **IBC 1014.2**
 GLASS USED IN A HANDRAIL OR A GUARD SHALL BE LAMINATED GLASS CONSTRUCTED OF FULLY TEMPERED OR HEAT-STRENGTHENED GLASS AND SHALL COMPLY WITH CATEGORY II OF CPSC 16 CFR PART 1201 OR CLASS A OF ANSI Z97.1. GLAZING IN RAILING IN-FILL PANELS SHALL BE OF AN APPROVED SAFETY GLAZING MATERIAL THAT CONFORMS TO THE PROVISIONS OF SECTION 2406.1.1. FOR ALL GLAZING TYPES, THE MINIMUM NOMINAL THICKNESS SHALL BE 1/4 INCH. **IBC 2407.1 AND 1607.8**
 - PROVIDE EMERGENCY ESCAPE AND RESCUE OPENINGS WITH MINIMUM OPENING AREA AND MINIMUM SILL HEIGHT PER **IRC R310.2** REFER TO WINDOW SCHEDULE AND ELEVATIONS ON SHEET G-106
 - ALL PLUMBING FIXTURES TO HAVE MAXIMUM FIXTURE AND FITTING FLOW RATES FOR REDUCED WATER CONSUMPTION PER TABLE 702.1 (**APPENDIX M, KETCHUM AMENDMENT TO IBC**)
 - ALL DW, ICE MAKER, CLOTHES WASHER SHALL BE ENERGY STAR RATED; MAX FLOW RATES FOR REDUCED WATER CONSUMPTION PER TABLE (**APPENDIX M, KETCHUM AMENDMENT TO IBC**)
 - PERMANENTLY FIXED-IN-PLACE OUTDOOR DECORATIVE APPLIANCES SHALL BE TESTED IN ACCORDANCE WITH ANSI Z21.97 AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. **2012 IRC G24454.1**
 LISTED OUTDOOR OPEN FLAME DECORATIVE APPLIANCES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. [NFPA 54.10.32.1]
 UNLISTED OUTDOOR OPEN FLAME DECORATIVE APPLIANCES SHALL BE INSTALLED OUTDOORS IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND WITH CLEARANCES TO COMBUSTIBLE MATERIAL OF NOT LESS THAN 36 INCHES (914 MM) FROM THE SIDES. IN NO CASE SHALL THE APPLIANCE BE LOCATED UNDER OVERHEAD COMBUSTIBLE CONSTRUCTION. [NFPA 54.10.32.2] 2012 UMC 932.1, 932.1.2. THE CONNECTION TO THE GAS PIPING SYSTEM SHALL COMPLY WITH SECTION 1312.1(1), SECTION 1312.1(2), OR SECTION 1312.1(3) [NFPA 54.10.32.3]
 - AUTOMATED MOTORIZED NON-PERMEABLE POOL COVER FOR ENTIRE POOL / SPA SURFACE TO BE PROVIDED. DEDICATED METER (TO MEASURE AMOUNT OF WATER SUPPLIED TO POOL / SPA) TO BE PROVIDED IF POOL / SPA IS CONNECTED TO WATER SUPPLY.

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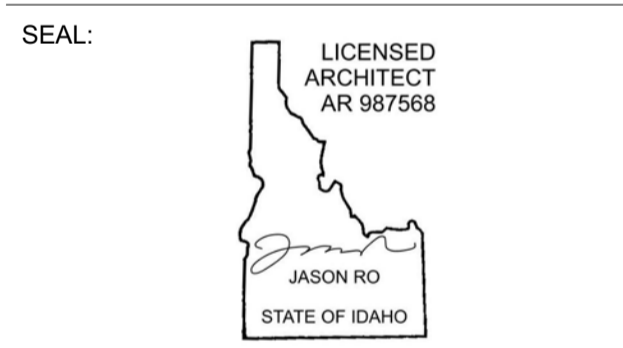
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PROJECT:
BADGER RESIDENCE
 121 BADGER LANE
 KETCHUM, ID 83340

PROJECT NUMBER
#2201

DRAWING TITLE:
FLOOR PLAN / LEVEL 02 / ADU

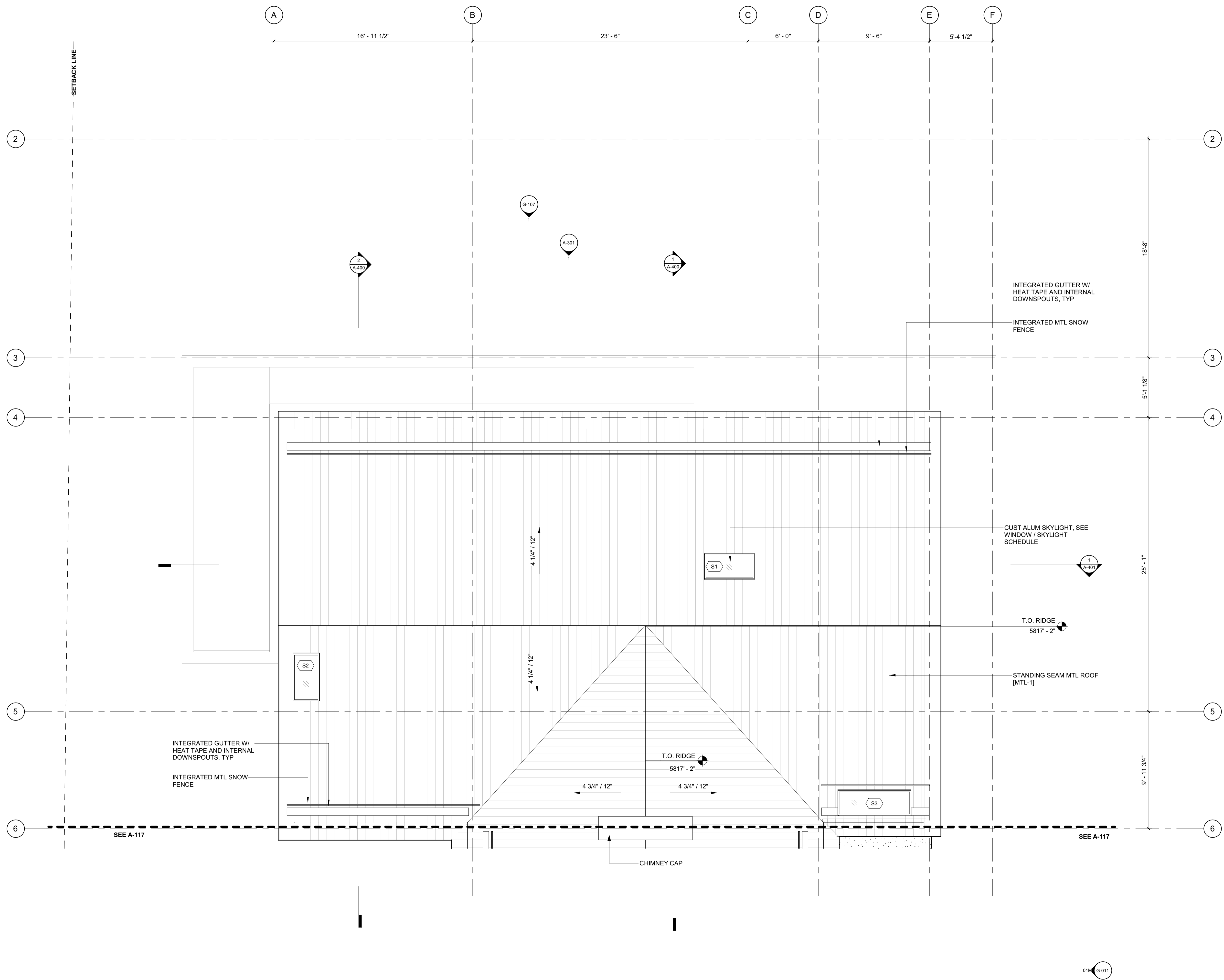
DRAWING NUMBER:
A-115



Approved
 These plans have been found to be in substantial compliance with the adopted building codes. These documents are approved contingent on compliance with the mark-ups and notes applied. This is not approval of any code, ordinance, statute or regulation. Erections will be required for code violations found during the inspection process.

BLD2303-00021
 06/26/23

2/25

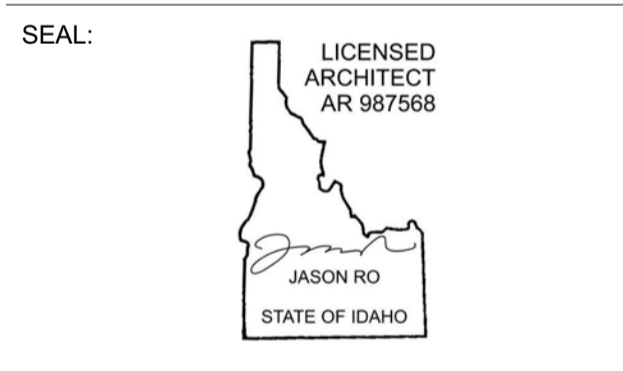


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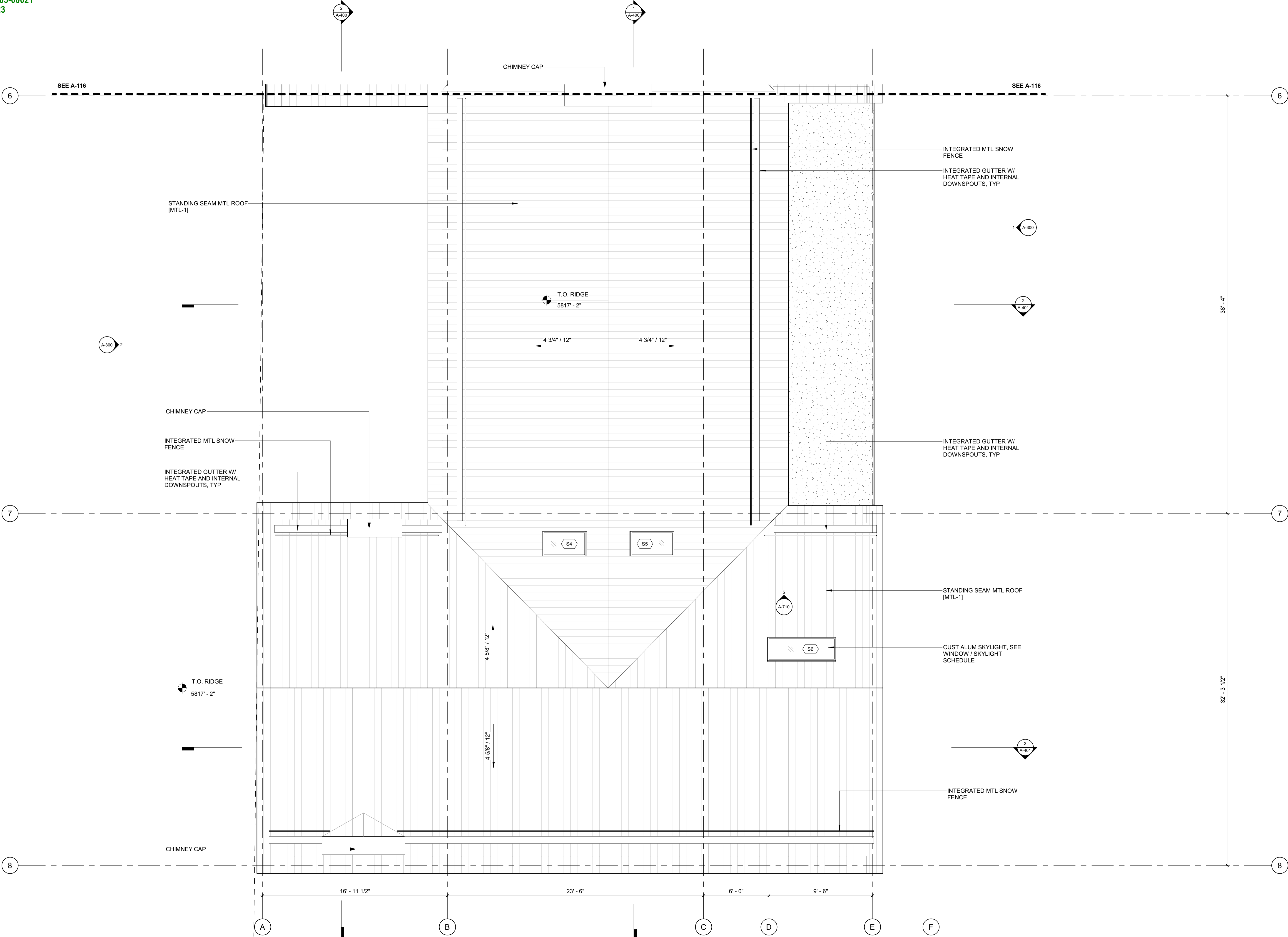
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		ISSUE

PROJECT:
BADGER RESIDENCE
 121 BADGER LANE
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PROJECT NUMBER
#2201

DRAWING TITLE:
ROOF PLAN / NORTH

DRAWING NUMBER:
A-116



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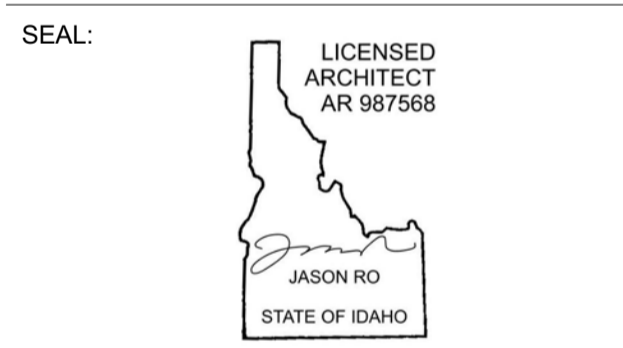
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PROJECT:
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 121 BADGER LANE
 KETCHUM, ID 83340

PROJECT NUMBER:
#2201

DRAWING TITLE:
ROOF PLAN / SOUTH

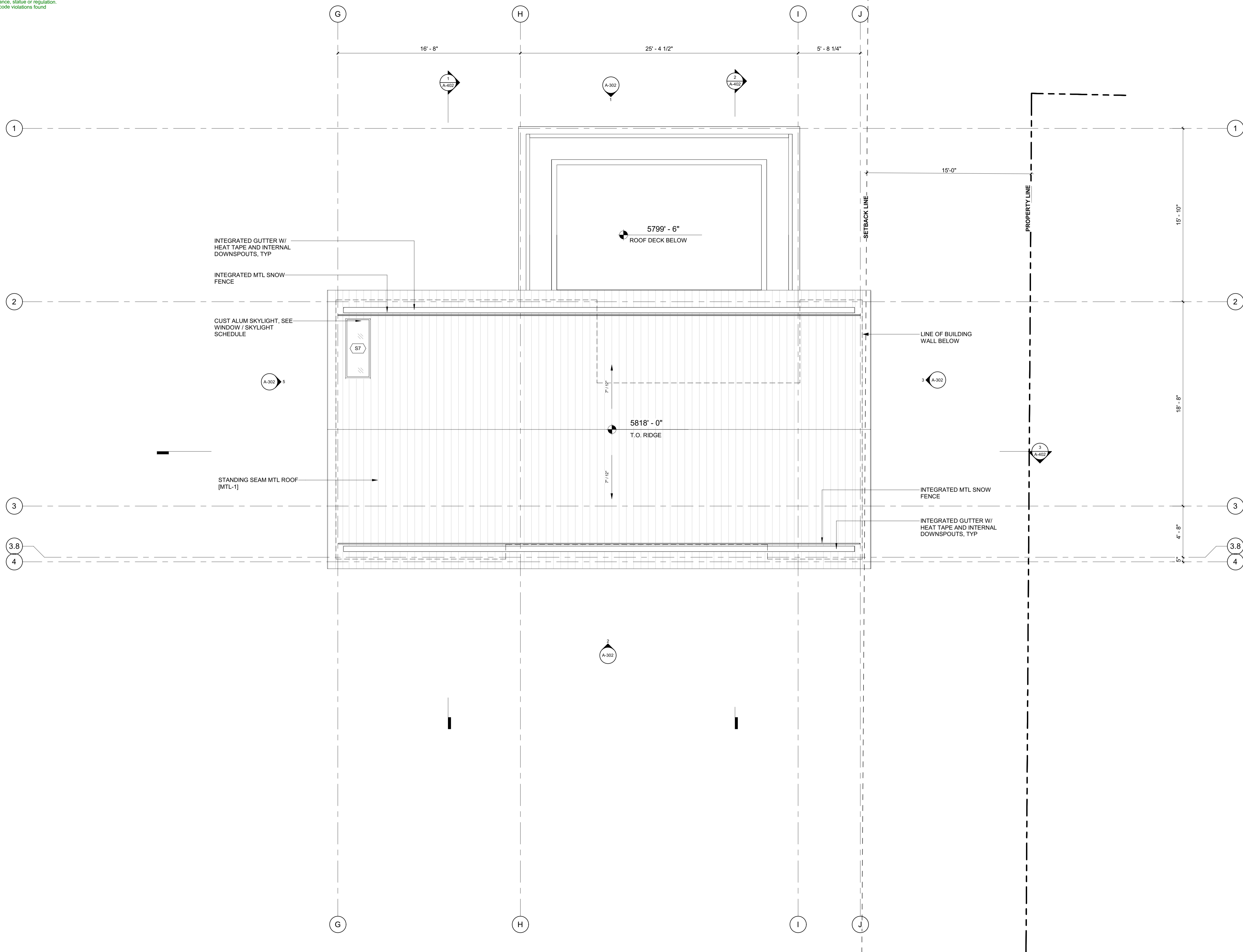
DRAWING NUMBER:
A-117



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BLD2303-00021
06/26/23

2/2/25



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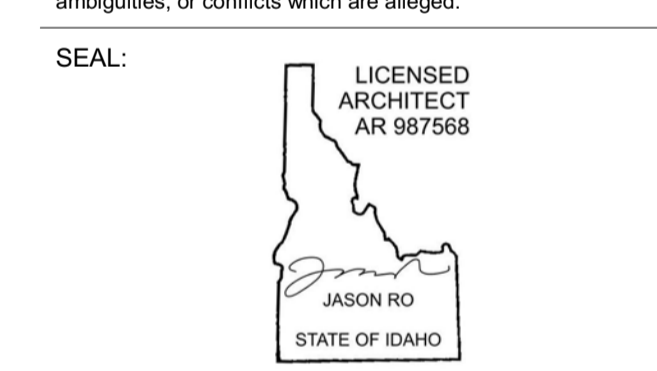
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0	02.28.23	BUILDING PERMIT ISSUE

PROJECT:
BADGER RESIDENCE
121 BADGER LANE
KETCHUM, ID 83340

PROJECT NUMBER
#2201

DRAWING TITLE:
ROOF PLAN / ADU

DRAWING NUMBER:
A-118

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Approved
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BLD2303-00021
 06/26/23

2/2/25

POWER / DATA NOTES:

1. COORDINATE BATH EXHAUST CONTROLS WITH LIGHTING DESIGNER. INTEGRATE WITH LIGHTING CONTROLS AS REQUIRED BY THE OWNER. POWER BATH EXHAUST THROUGH PANEL LIGHTING.
2. COORDINATE LOCATION OF A/V AND TELEVISION CONNECTIONS WITH A/V CONSULTANT PRIOR TO ROUGH-IN. CONNECT TO LOCAL RECEPTACLE CIRCUIT IF NOT BEING CONNECTED THROUGH THE A/V PANEL.
3. WIRELESS DOCKING STATION ON CORRESPONDING HORIZONTAL SURFACE.
4. PROVIDE OUTLETS LOCATED IN BATHROOM MEDICINE CABINET. COORDINATE LOCATION WITH ARCHITECT PRIOR TO ROUGH-IN. THESE OUTLETS ARE IN ADDITION ABOVE COUNTER OUTLETS THAT ARE REQUIRED BY CODE.

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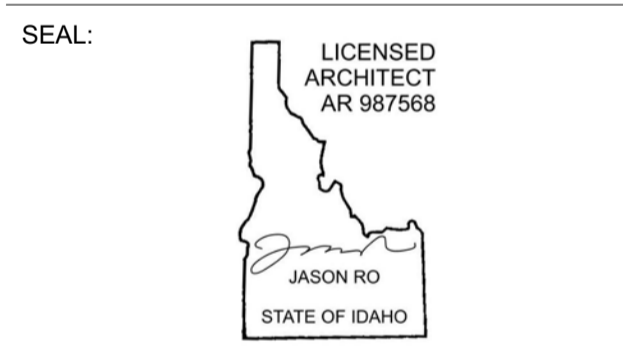
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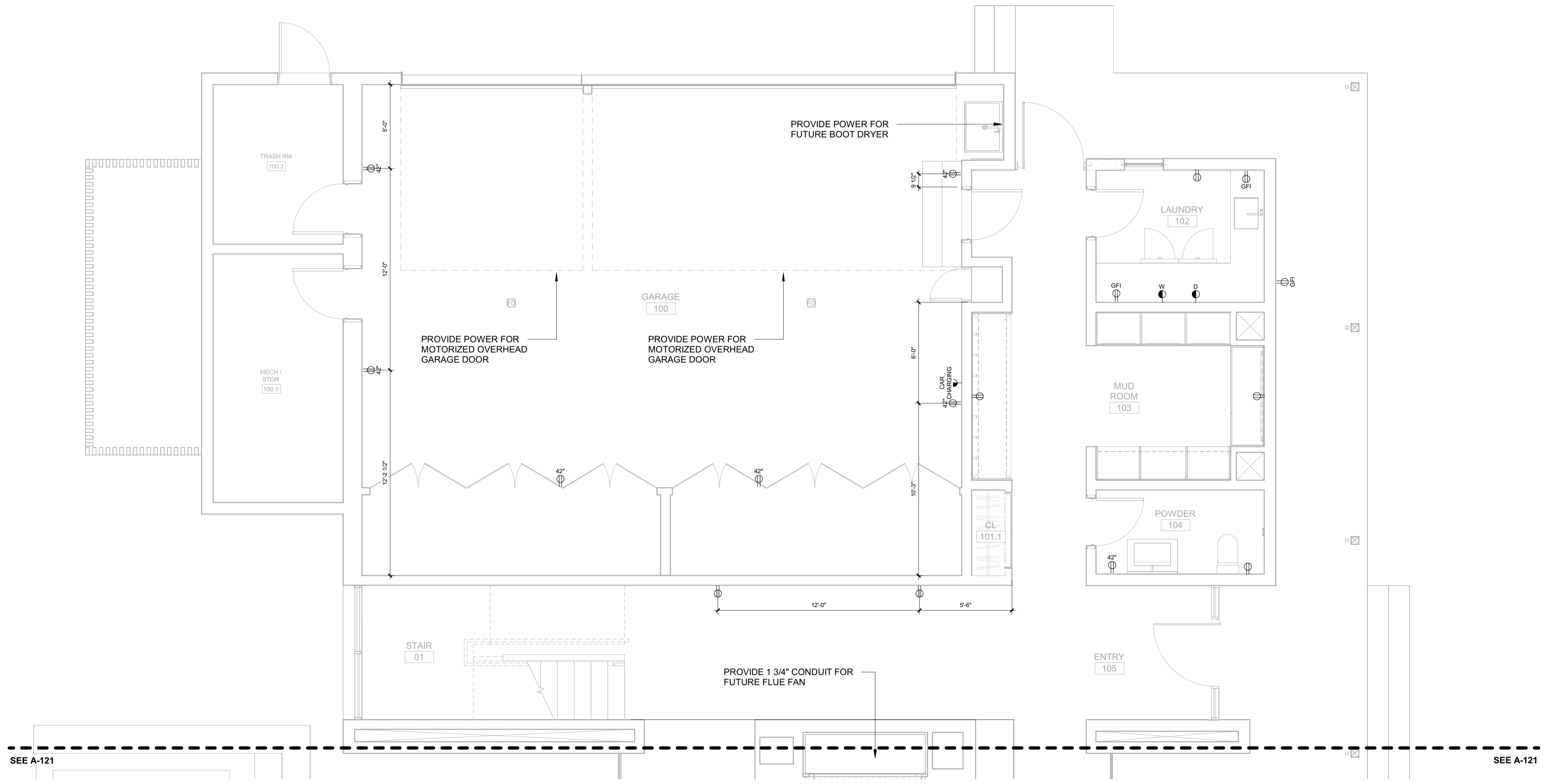
PROJECT:
BADGER RESIDENCE
 121 BADGER LANE
 KETCHUM, ID 83340

PROJECT NUMBER
#2201

DRAWING TITLE:
POWER + DATA PLAN / LEVEL 01 / NORTH

DRAWING NUMBER:
A-120

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POWER / DATA NOTES:

1. COORDINATE BATH EXHAUST CONTROLS WITH LIGHTING DESIGNER. INTEGRATE WITH LIGHTING CONTROLS AS REQUIRED BY THE OWNER. POWER BATH EXHAUST THROUGH PANEL LIGHTING.
2. COORDINATE LOCATION OF AV AND TELEVISION CONNECTIONS WITH AV CONSULTANT PRIOR TO ROUGH-IN. CONNECT TO LOCAL RECEPTACLE CIRCUIT IF NOT BEING CONNECTED THROUGH THE AV PANEL.
3. WIRELESS DOCKING STATION ON CORRESPONDING HORIZONTAL SURFACE.
4. PROVIDE OUTLETS LOCATED IN BATHROOM MEDICINE CABINET. COORDINATE LOCATION WITH ARCHITECT PRIOR TO ROUGH-IN. THESE OUTLETS ARE IN ADDITION ABOVE COUNTER OUTLETS THAT ARE REQUIRED BY CODE.

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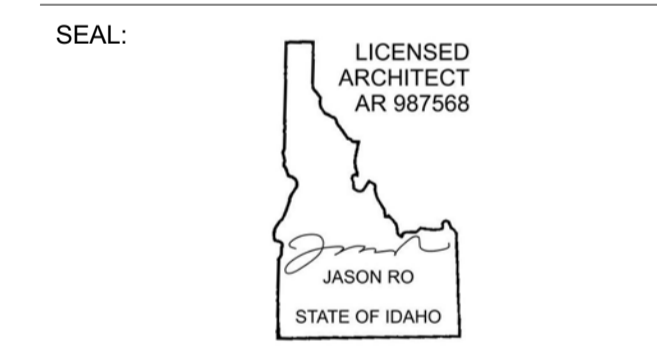
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 270 CORAL CIRCLE
 EL SEGUNDO, CA 90245
 TEL: 310.552.2191

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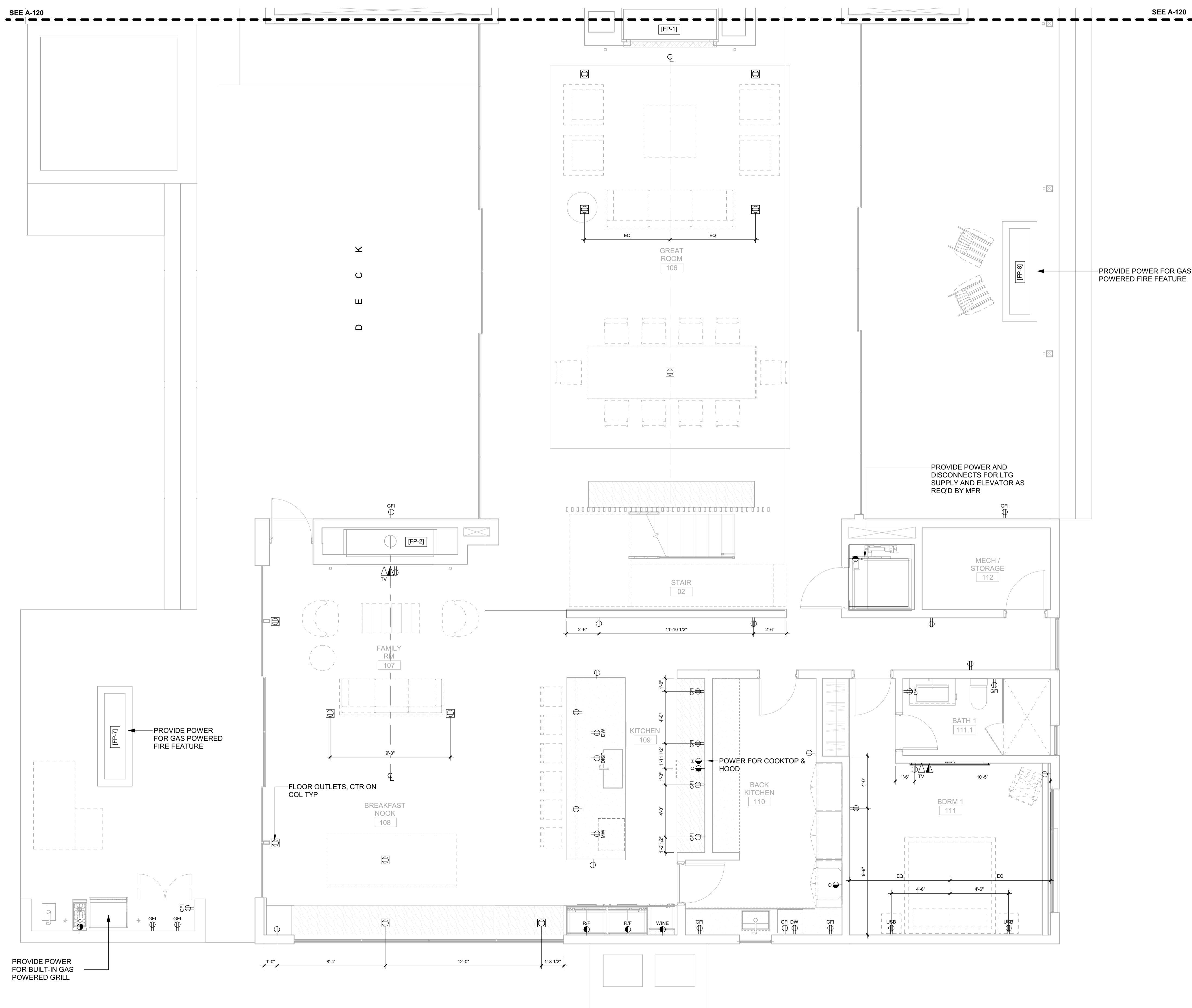
NO	DATE	BUILDING PERMIT	ISSUE
0	02.28.23		

PROJECT:
BADGER RESIDENCE
 121 BADGER LANE
 KETCHUM, ID 83340

PROJECT NUMBER:
#2201

DRAWING TITLE:
POWER + DATA PLAN / LEVEL 01 / SOUTH

DRAWING NUMBER:
A-121





These plans have been found to be in substantial compliance with the adopted building codes. These documents are approved contingent on compliance with the mark-ups and notes applied. This is not approval of any code, ordinance, statute or regulation. Corrections will be required for code violations found during the inspection process.

BLD2303-00021
9/6/26/23

2/26/23

POWER / DATA NOTES:

- COORDINATE BATH EXHAUST CONTROLS WITH LIGHTING DESIGNER. INTEGRATE WITH LIGHTING CONTROLS AS REQUIRED BY THE OWNER. POWER BATH EXHAUST THROUGH PANEL LIGHTING.
- COORDINATE LOCATION OF AV AND TELEVISION CONNECTIONS WITH AV CONSULTANT PRIOR TO ROUGH-IN. CONNECT TO LOCAL RECEPTACLE CIRCUIT IF NOT BEING CONNECTED THROUGH THE AV PANEL.
- WIRELESS DOCKING STATION ON CORRESPONDING HORIZONTAL SURFACE.
- PROVIDE OUTLETS LOCATED IN BATHROOM MEDICINE CABINET. COORDINATE LOCATION WITH ARCHITECT PRIOR TO ROUGH-IN. THESE OUTLETS ARE IN ADDITION ABOVE COUNTER OUTLETS THAT ARE REQUIRED BY CODE.

BADGER RESIDENCE

OWNER:
121 BADGER LANE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340

PROJECT ARCHITECT:
RO | ROCKETT DESIGN
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INGLEWOOD, CA 90301
TEL: 213.784.0014

SURVEYOR:
GALENA ENGINEERING, INC.
317 NORTH RIVER STREET
HAILEY, ID 83333
TEL: 208.788.1705

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SAWTOOTH ENVIRONMENTAL CONSULTING
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KETCHUM, ID 83340
TEL: 208.727.9748

HYDROLOGY / WATER ENGINEERING:
BROCKWAY ENGINEERING, INC.
2018 WASHINGTON ST NORTH, SUITE 4
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TEL: 208.736-8543

GEOTECHNICAL ENGINEER:
BUTLER ASSOCIATES, INC.
P.O. BOX 1034
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TEL: 208.720.6432

LANDSCAPE ARCHITECT:
BYLA
323 LEWIS STREET, SUITE N
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CIVIL ENGINEER:
BENCHMARK ASSOCIATES, P.A.
P.O. BOX 733 - 100 BELL DRIVE
KETCHUM, IDAHO 83340
TEL: 208.726.9512

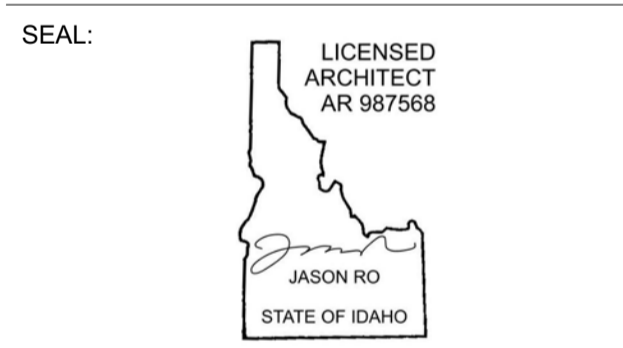
STRUCTURAL ENGINEER:
LFA
319 MAIN STREET
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TEL: 213.239.9700

MEP ENGINEER:
CES ENGINEERING SERVICES, LLC
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TEL: 310.552.2191

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NO	DATE	BUILDING PERMIT	ISSUE
0	02.28.23	BUILDING PERMIT	

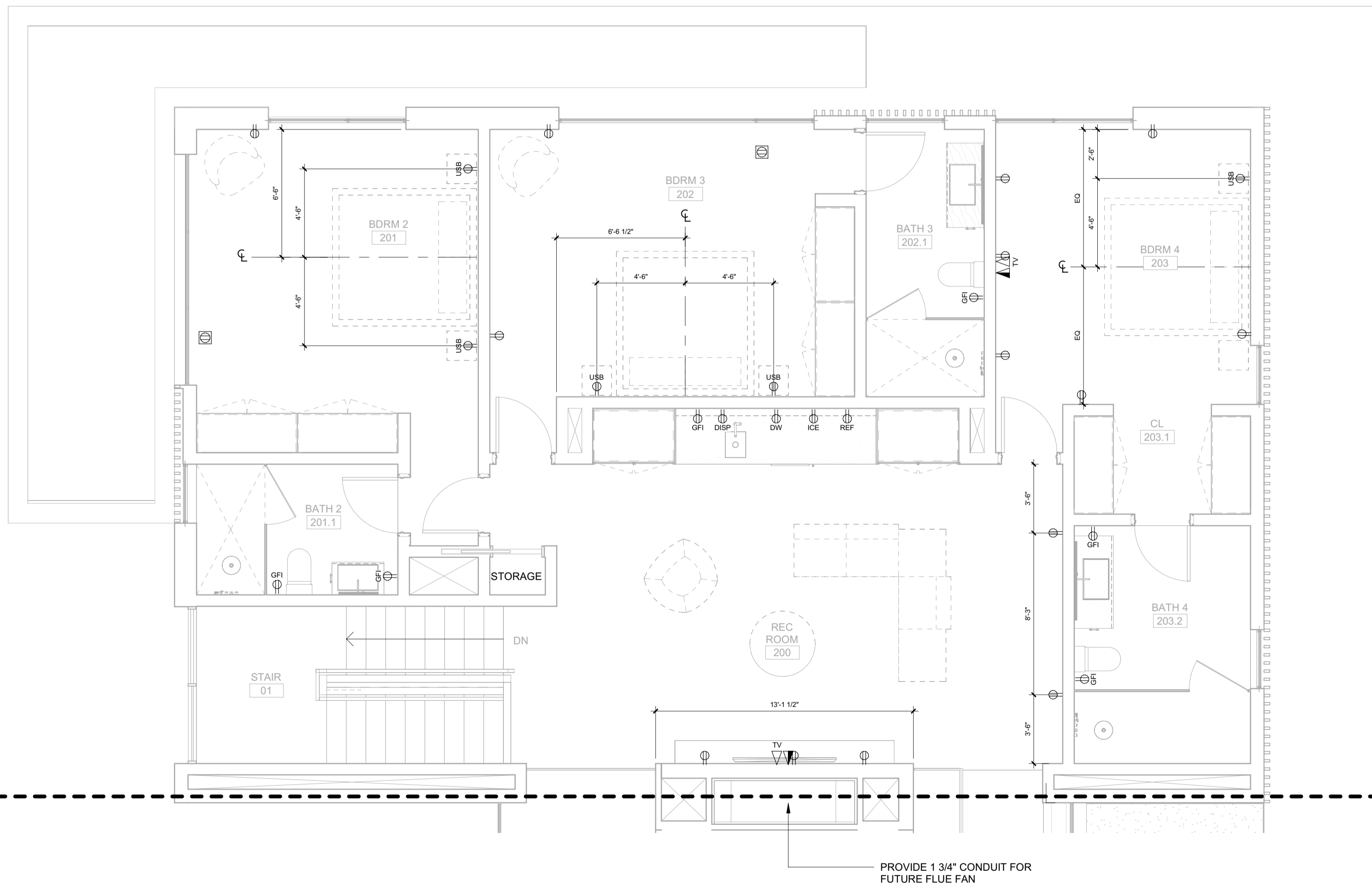
PROJECT:
BADGER RESIDENCE
121 BADGER LANE
KETCHUM, ID 83340

PROJECT NUMBER:
#2201

DRAWING TITLE:
POWER + DATA PLAN / LEVEL 02 / NORTH

DRAWING NUMBER:
A-122

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SEE A-123

SEE A-123

PROVIDE 1 3/4" CONDUIT FOR FUTURE FLUE FAN



Approved
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BLD2303-00021
 06/26/23

2/2/23

POWER / DATA NOTES:

1. COORDINATE BATH EXHAUST CONTROLS WITH LIGHTING DESIGNER. INTEGRATE WITH LIGHTING CONTROLS AS REQUIRED BY THE OWNER. POWER BATH EXHAUST THROUGH PANEL LIGHTING.
2. COORDINATE LOCATION OF AV AND TELEVISION CONNECTIONS WITH AV CONSULTANT PRIOR TO ROUGH-IN. CONNECT TO LOCAL RECEPTACLE CIRCUIT IF NOT BEING CONNECTED THROUGH THE AV PANEL.
3. WIRELESS DOCKING STATION ON CORRESPONDING HORIZONTAL SURFACE.
4. PROVIDE OUTLETS LOCATED IN BATHROOM MEDICINE CABINET. COORDINATE LOCATION WITH ARCHITECT PRIOR TO ROUGH-IN. THESE OUTLETS ARE IN ADDITION ABOVE COUNTER OUTLETS THAT ARE REQUIRED BY CODE.

BADGER RESIDENCE

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 TEL: 406.272.0352

LIGHTING DESIGN CONSULTANT:
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 TEL: 310.552.2191

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SEAL:
 LICENSED ARCHITECT
 AR 987568
 JASON RO
 STATE OF IDAHO

0	02.28.23	BUILDING PERMIT
NO	DATE	ISSUE

PROJECT:
BADGER RESIDENCE
 121 BADGER LANE
 KETCHUM, ID 83340

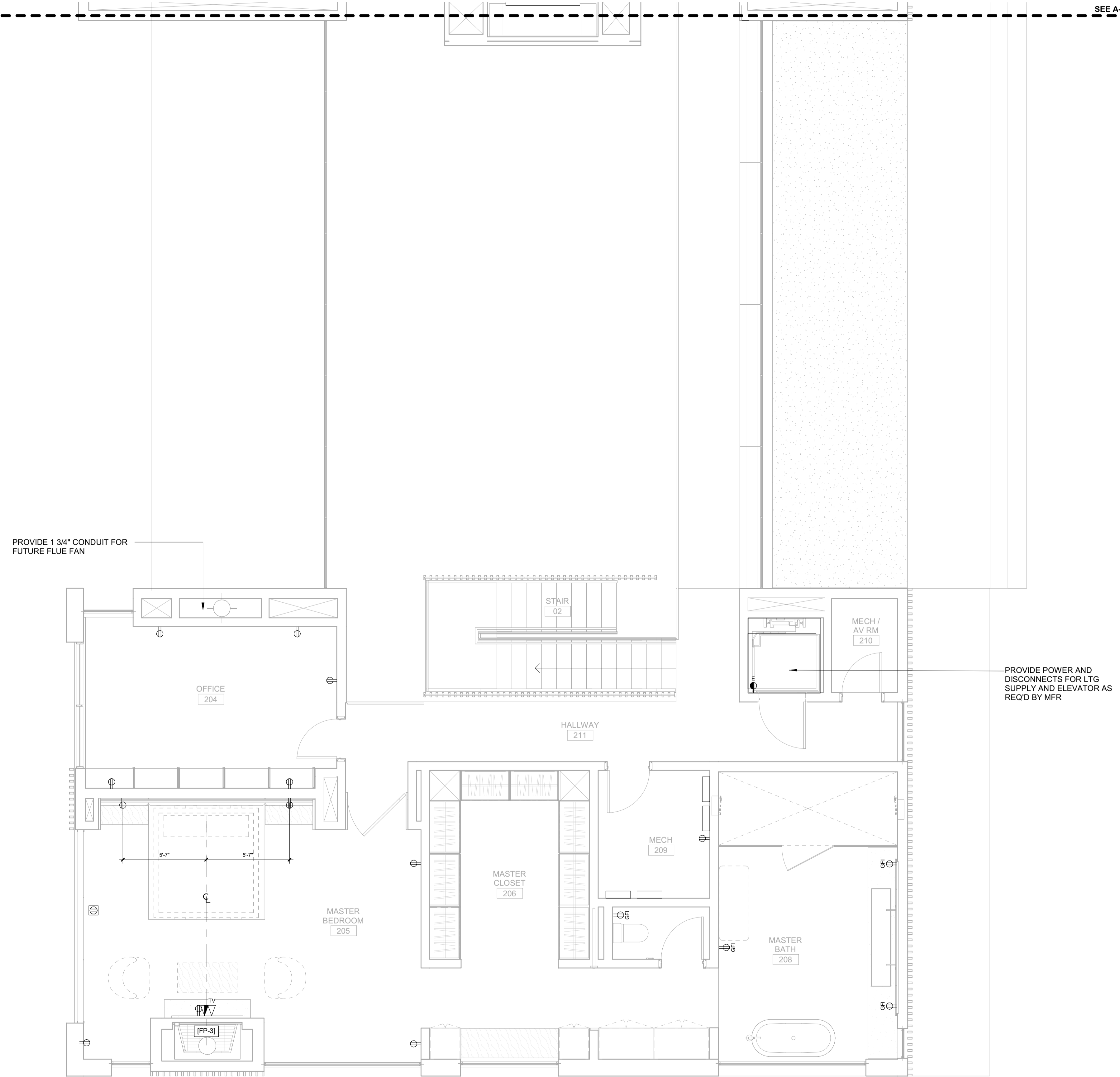
PROJECT NUMBER
#2201

DRAWING TITLE:
POWER + DATA PLAN / LEVEL 02 / SOUTH

DRAWING NUMBER:
A-123

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SEE A-122

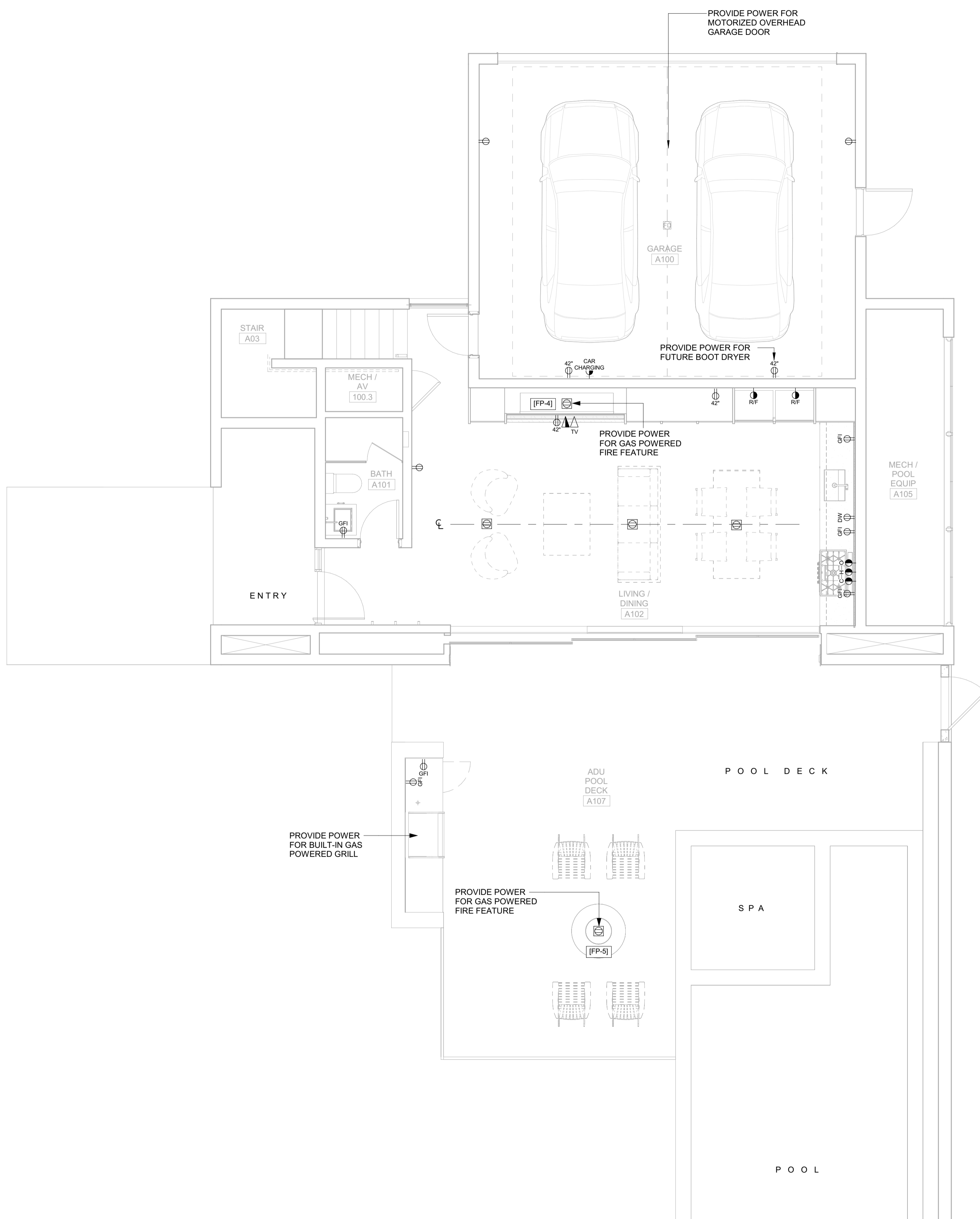




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BLD2303-00021
06/26/23

2/2/23



POWER / DATA NOTES:

1. COORDINATE BATH EXHAUST CONTROLS WITH LIGHTING DESIGNER. INTEGRATE WITH LIGHTING CONTROLS AS REQUIRED BY THE OWNER. POWER BATH EXHAUST THROUGH PANEL LIGHTING.
2. COORDINATE LOCATION OF A/V AND TELEVISION CONNECTIONS WITH A/V CONSULTANT PRIOR TO ROUGH-IN. CONNECT TO LOCAL RECEPTACLE CIRCUIT IF NOT BEING CONNECTED THROUGH THE A/V PANEL.
3. WIRELESS DOCKING STATION ON CORRESPONDING HORIZONTAL SURFACE.
4. PROVIDE OUTLETS LOCATED IN BATHROOM MEDICINE CABINET. COORDINATE LOCATION WITH ARCHITECT PRIOR TO ROUGH-IN. THESE OUTLETS ARE IN ADDITION ABOVE COUNTER OUTLETS THAT ARE REQUIRED BY CODE.

BADGER RESIDENCE

OWNER:
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 TEL: 208.727.9748

HYDROLOGY / WATER ENGINEERING:
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 TEL: 208.736-8543

GEOTECHNICAL ENGINEER:
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 TEL: 208.720.6432

LANDSCAPE ARCHITECT:
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CIVIL ENGINEER:
BENCHMARK ASSOCIATES, P.A.
 P.O. BOX 733 - 100 BELL DRIVE
 KETCHUM, IDAHO 83340
 TEL: 208.726.9512

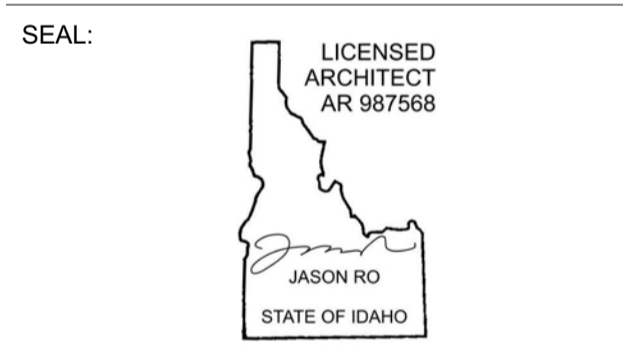
STRUCTURAL ENGINEER:
LFA
 319 MAIN STREET
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 TEL: 213.239.9700

MEP ENGINEER:
CES ENGINEERING SERVICES, LLC
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 TEL: 406.272.0352

LIGHTING DESIGN CONSULTANT:
KGM ARCHITECTURAL LIGHTING
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0	02.28.23	BUILDING PERMIT
NO	DATE	ISSUE

PROJECT:
BADGER RESIDENCE
 121 BADGER LANE
 KETCHUM, ID 83340

PROJECT NUMBER
#2201

DRAWING TITLE:
POWER + DATA PLAN / LEVEL 01 / ADU

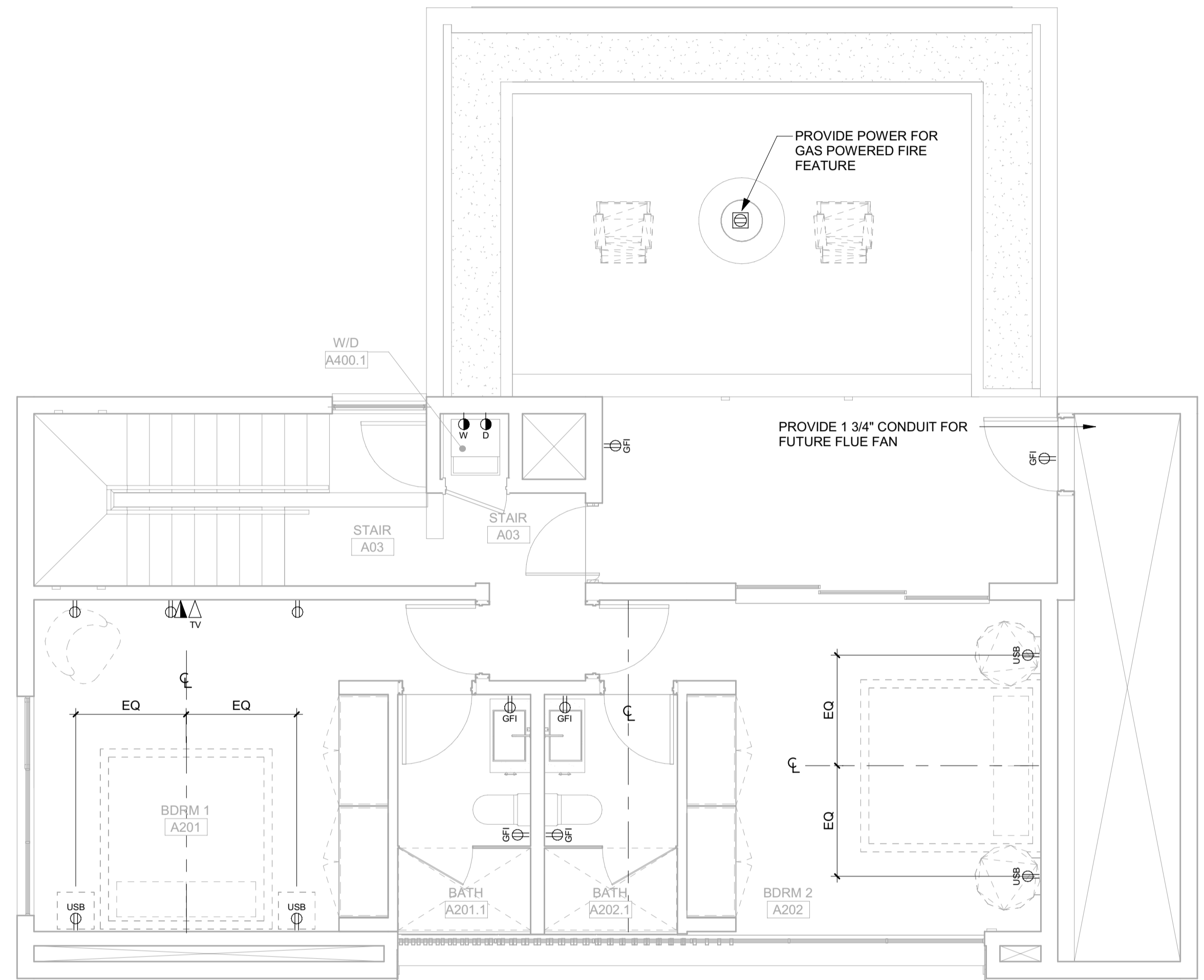
DRAWING NUMBER:
A-124



Approved
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BLD2303-00021
 9/6/26/23

2/26/23



POWER / DATA NOTES:

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BADGER RESIDENCE

- OWNER:**
 121 BADGER LANE LLC
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- PROJECT ARCHITECT:**
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- SURVEYOR:**
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 TEL: 208.788.1705
- ENVIRONMENTAL CONSULTANT:**
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- HYDROLOGY / WATER ENGINEERING:**
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 2018 WASHINGTON ST NORTH, SUITE 4
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 TEL: 208.736-8543
- GEOTECHNICAL ENGINEER:**
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 TEL: 208.720.6432
- LANDSCAPE ARCHITECT:**
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- CIVIL ENGINEER:**
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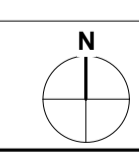
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SEAL:

NO	DATE	ISSUE

PROJECT:
BADGER RESIDENCE
 121 BADGER LANE
 KETCHUM, ID 83340

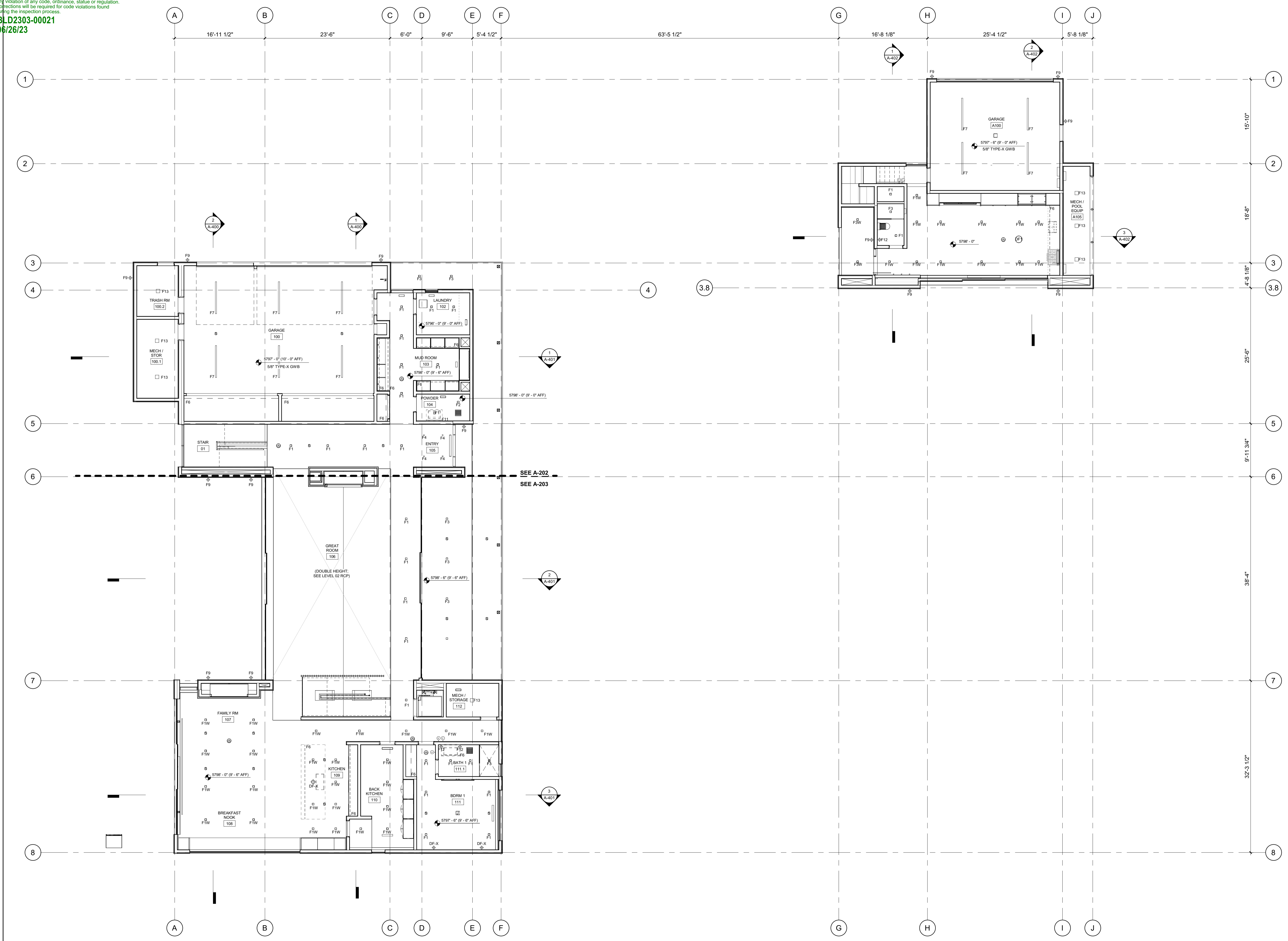
PROJECT NUMBER:
#2201



DRAWING TITLE:
POWER + DATA PLAN / LEVEL 02 / ADU

DRAWING NUMBER:
A-125

Approved
 These plans have been found to be in substantial compliance with the adopted building codes. These documents are approved contingent on compliance with the mark-ups and notes applied. This is not approval of any code, ordinance, statute or regulation. Corrections will be required for code violations found during the inspection process.
 BLD2303-00021
 9/6/26/23



BADGER RESIDENCE

OWNER:
 121 BADGER LANE LLC
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 TEL: 208.720.6432

LANDSCAPE ARCHITECT:
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 TEL: 208.726.5907

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 P.O. BOX 733 - 100 BELL DRIVE
 KETCHUM, IDAHO 83340
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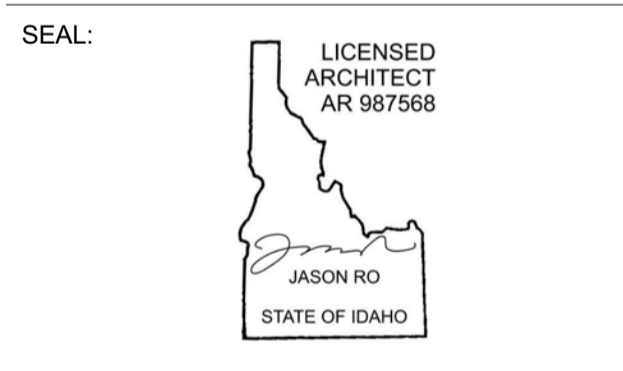
STRUCTURAL ENGINEER:
 LFA
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 TEL: 213.239.9700

MEP ENGINEER:
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NO	DATE	BUILDING PERMIT	ISSUE
0	02.28.23	BUILDING PERMIT	

PROJECT:
BADGER RESIDENCE
 121 BADGER LANE
 KETCHUM, ID 83340

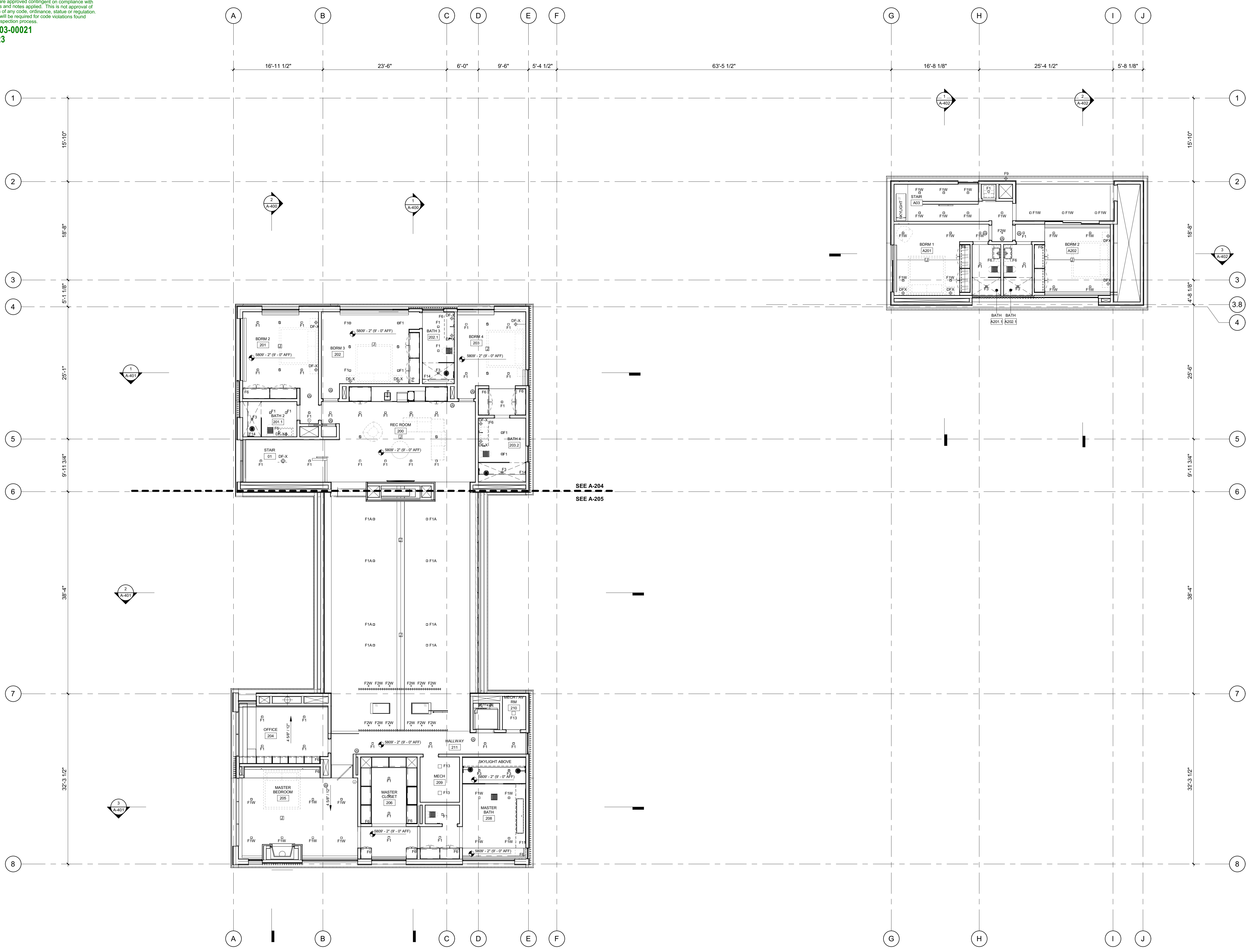
PROJECT NUMBER
#2201

DRAWING TITLE:
REFERENCE RCP / LEVEL 01

DRAWING NUMBER:
A-200

Approved
 These plans have been found to be in substantial compliance with the applicable building codes. These documents are approved contingent on compliance with the mark-ups and notes applied. This is not approval of any code, ordinance, statute or regulation. Corrections will be required for code violations found during the inspection process.
BLD2303-00021
9/6/26/23

2/26/23



BADGER RESIDENCE

OWNER:
121 BADGER LANE LLC
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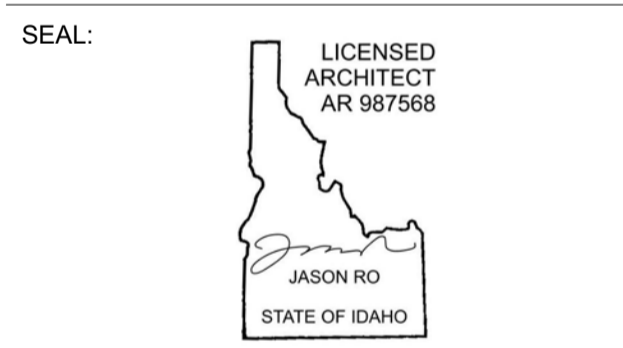
STRUCTURAL ENGINEER:
LFA
 319 MAIN STREET
 EL SEGUNDO, CA 90245
 TEL: 213.239.9700

MEP ENGINEER:
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 1001 W OAK BUILDING B SUITE 107
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NO	DATE	BUILDING PERMIT	ISSUE
0	02.28.23	BUILDING PERMIT	

PROJECT:
BADGER RESIDENCE
 121 BADGER LANE
 KETCHUM, ID 83340

PROJECT NUMBER:
#2201

DRAWING TITLE:
REFERENCE RCP / LEVEL 02

DRAWING NUMBER:
A-201



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BLD2303-00021
9/6/26/23

2/26/23

RCP NOTES:

1. SEE FLOOR PLANS FOR LIGHTING FIXTURES AT FLOORS OR LOW WALLS
2. PROVIDE SMOKE AND CO2 DETECTORS AS REQ'D BY CODE
3. FIRE SPRINKLER SYSTEM / ALARM UNDER SEPARATE PERMIT, COORDINATE LOCATION OF ALL SPRINKLER HEADS AND ALARM WITH ARCHITECT. SPRINKLER HEADS TO BE FLUSH CONCEALED, MATCH CLG COLOR.
4. COORDINATE ALL LAYOUT CONFLICTS WITH ARCHITECT.
5. COORDINATE MECHANICAL GRILLES WITH ARCHITECT; MUD-IN TYP IN GYP, CUSTOM BUILT-IN GRILLES TYP IN WOOD CEILINGS.
6. DECORATIVE LIGHT FIXTURES SHOWN FOR LOCATION ONLY, COORDINATE WITH OWNER AND ARCHITECT.
7. COORDINATE POCKET SHADE LOCATIONS WITH ARCHITECT AND OWNER.
8. ELECTRICAL SYSTEM TO BE DESIGN-BUILD COORDINATE WITH ARCHITECT.
9. SEE PROJECT MANUAL FOR LIGHT FIXTURE SPECS.
10. BATHROOM EXHAUST FANS SHALL BE TIED INTO LIGHTING CONTROL SYSTEM FOR TIMED SHUT-OFF. ALL BATHROOM FANS SHALL BE FITTED WITH CUSTOM GRILLES PAINTED TO MATCH CEILING.

BADGER RESIDENCE

OWNER:

121 BADGER LANE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340

PROJECT ARCHITECT:

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TEL: 213.784.0014

SURVEYOR:

GALENA ENGINEERING, INC.
317 NORTH RIVER STREET
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TEL: 208.788.1705

ENVIRONMENTAL CONSULTANT:

SAWTOOTH ENVIRONMENTAL CONSULTING
P.O. BOX 2707 / 540 NORTH FIRST AVE
KETCHUM, ID 83340
TEL: 208.727.9748

HYDROLOGY / WATER ENGINEERING:

BROCKWAY ENGINEERING, INC.
2018 WASHINGTON ST NORTH, SUITE 4
TWIN FALLS, ID 83301
TEL: 208.736-8543

GEOTECHNICAL ENGINEER:

BUTLER ASSOCIATES, INC.
P.O. BOX 1034
KETCHUM, ID 83340
TEL: 208.720.6432

LANDSCAPE ARCHITECT:

BYLA
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KETCHUM, ID 83340
TEL: 208.726.5907

CIVIL ENGINEER:

BENCHMARK ASSOCIATES, P.A.
P.O. BOX 733 - 100 BELL DRIVE
KETCHUM, IDAHO 83340
TEL: 208.726.9512

STRUCTURAL ENGINEER:

LFA
319 MAIN STREET
EL SEGUNDO, CA 90245
TEL: 213.239.9700

MEP ENGINEER:

CES ENGINEERING SERVICES, LLC
1001 W OAK BUILDING B SUITE 107
BOZEMAN, MT 59715
TEL: 406.272.0352

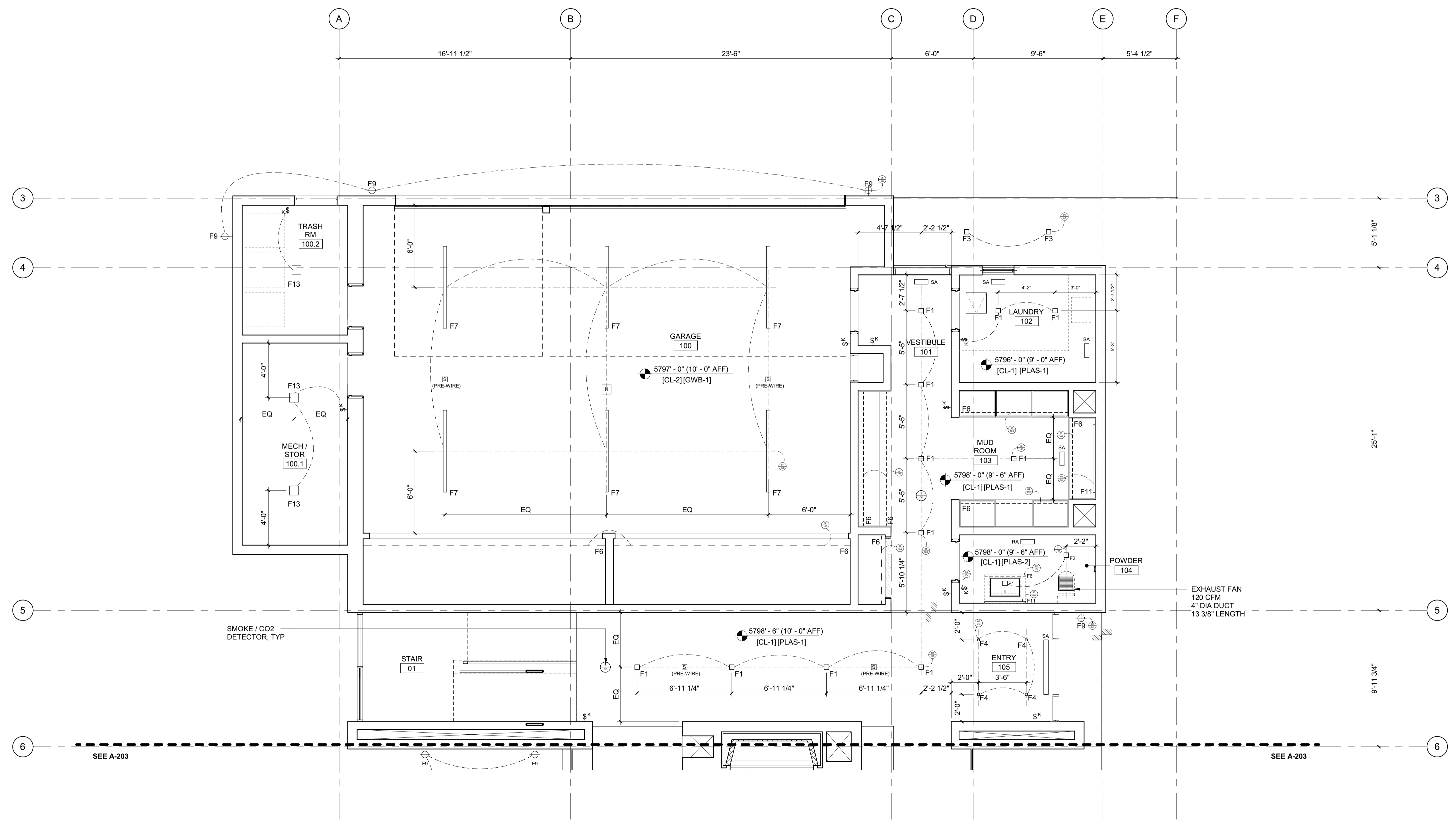
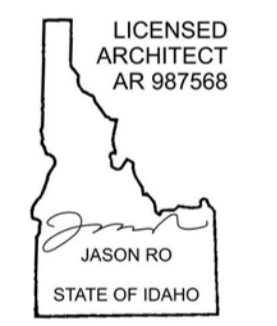
LIGHTING DESIGN CONSULTANT:

KGM ARCHITECTURAL LIGHTING
270 CORAL CIRCLE
EL SEGUNDO, CA 90245
TEL: 310.552.2191

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SEAL:



NO	DATE	BUILDING PERMIT	ISSUE
0	02.28.23		

PROJECT:
BADGER RESIDENCE
121 BADGER LANE
KETCHUM, ID 83340

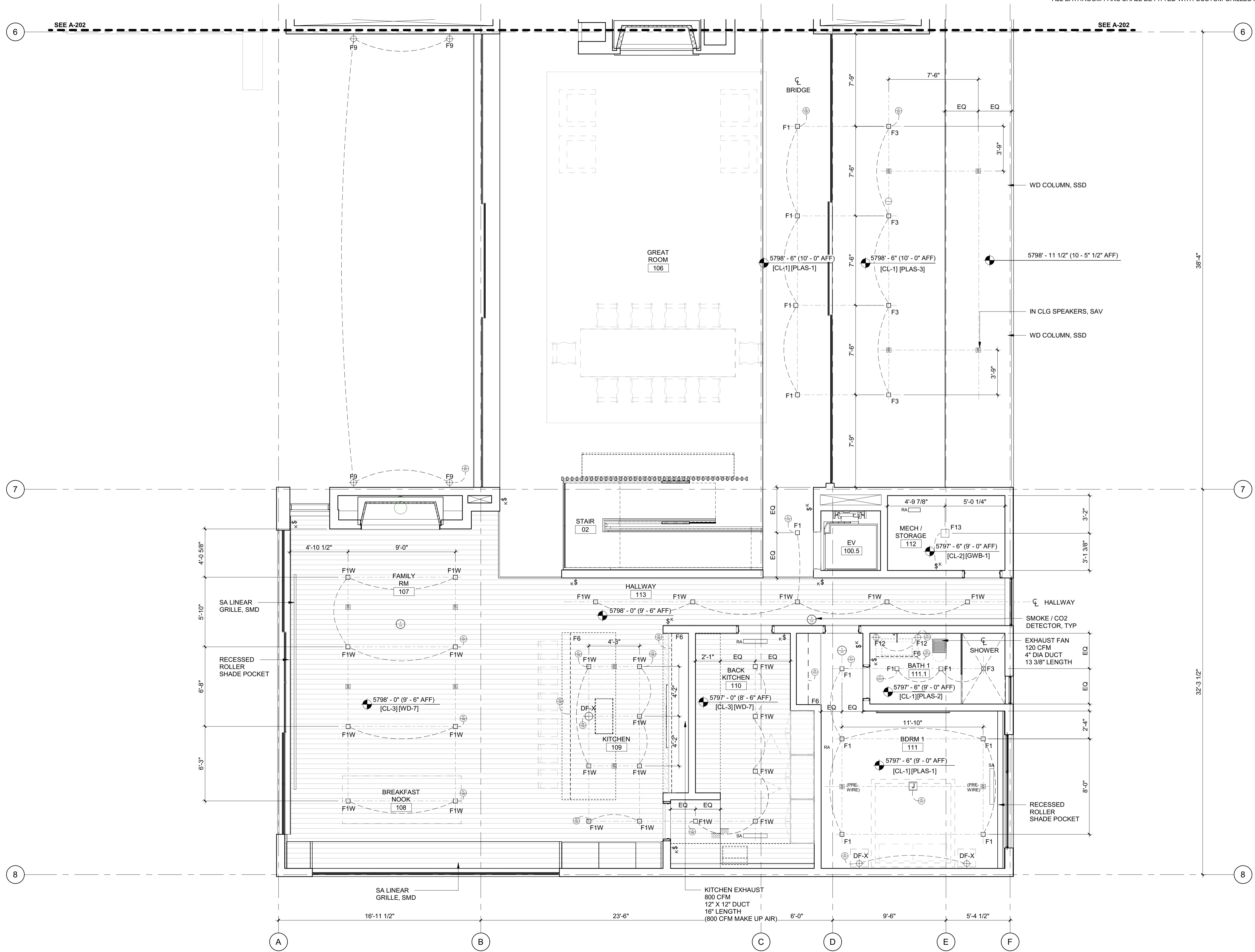
PROJECT NUMBER
#2201

DRAWING TITLE:
RCP / LEVEL 01 / NORTH

DRAWING NUMBER:
A-202

RCP NOTES:

1. SEE FLOOR PLANS FOR LIGHTING FIXTURES AT FLOORS OR LOW WALLS
2. PROVIDE SMOKE AND CO2 DETECTORS AS REQ'D BY CODE
3. FIRE SPRINKLER SYSTEM / ALARM UNDER SEPARATE PERMIT. COORDINATE LOCATION OF ALL SPRINKLER HEADS AND ALARM WITH ARCHITECT. SPRINKLER HEADS TO BE FLUSH CONCEALED, MATCH CLG COLOR.
4. COORDINATE ALL LAYOUT CONFLICTS WITH ARCHITECT.
5. COORDINATE MECHANICAL GRILLES WITH ARCHITECT; MUD-IN TYP IN GYP, CUSTOM BUILT-IN GRILLES TYP IN WOOD CEILINGS.
6. DECORATIVE LIGHT FIXTURES SHOWN FOR LOCATION ONLY. COORDINATE WITH OWNER AND ARCHITECT.
7. COORDINATE POCKET SHADE LOCATIONS WITH ARCHITECT AND OWNER.
8. ELECTRICAL SYSTEM TO BE DESIGN-BUILD COORDINATE WITH ARCHITECT.
9. SEE PROJECT MANUAL FOR LIGHT FIXTURE SPECS.
10. BATHROOM EXHAUST FANS SHALL BE TIED INTO LIGHTING CONTROL SYSTEM FOR TIMED SHUT-OFF. ALL BATHROOM FANS SHALL BE FITTED WITH CUSTOM GRILLES PAINTED TO MATCH CEILING.



BADGER RESIDENCE

OWNER:

121 BADGER LANE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340

PROJECT ARCHITECT:

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TEL: 208.736-8543

GEOTECHNICAL ENGINEER:

BUTLER ASSOCIATES, INC.
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TEL: 208.720.6432

LANDSCAPE ARCHITECT:

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TEL: 208.726.9512

STRUCTURAL ENGINEER:

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TEL: 213.239.9700

MEP ENGINEER:

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TEL: 406.272.0352

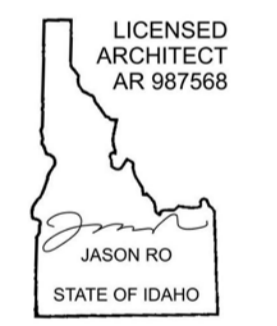
LIGHTING DESIGN CONSULTANT:

KGM ARCHITECTURAL LIGHTING
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EL SEGUNDO, CA 90245
TEL: 310.552.2191

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NO	DATE	BUILDING PERMIT
0	02.28.23	ISSUE

PROJECT:
BADGER RESIDENCE
121 BADGER LANE
KETCHUM, ID 83340

PROJECT NUMBER
#2201

DRAWING TITLE:
RCP / LEVEL 01 / SOUTH

DRAWING NUMBER:

A-203

RCP NOTES:

1. SEE FLOOR PLANS FOR LIGHTING FIXTURES AT FLOORS OR LOW WALLS
2. PROVIDE SMOKE AND CO2 DETECTORS AS REQUIRED BY CODE
3. FIRE SPRINKLER SYSTEM / ALARM UNDER SEPARATE PERMIT. COORDINATE LOCATION OF ALL SPRINKLER HEADS AND ALARM WITH ARCHITECT. SPRINKLER HEADS TO BE FLUSH CONCEALED, MATCH CLG COLOR.
4. COORDINATE ALL LAYOUT CONFLICTS WITH ARCHITECT.
5. COORDINATE MECHANICAL GRILLES WITH ARCHITECT; MUD-IN TYP IN GYP. CUSTOM BUILT-IN GRILLES TYP IN WOOD CEILINGS.
6. DECORATIVE LIGHT FIXTURES SHOWN FOR LOCATION ONLY. COORDINATE WITH OWNER AND ARCHITECT.
7. COORDINATE POCKET SHADE LOCATIONS WITH ARCHITECT AND OWNER.
8. ELECTRICAL SYSTEM TO BE DESIGN-BUILD COORDINATE WITH ARCHITECT.
9. SEE PROJECT MANUAL FOR LIGHT FIXTURE SPECS.
10. BATHROOM EXHAUST FANS SHALL BE TIED INTO LIGHTING CONTROL SYSTEM FOR TIMED SHUT-OFF. ALL BATHROOM FANS SHALL BE FITTED WITH CUSTOM GRILLES PAINTED TO MATCH CEILING.

BADGER RESIDENCE

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SURVEYOR:
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 2018 WASHINGTON ST NORTH, SUITE 4
 TWIN FALLS, ID 83301
 TEL: 208.736-8543

GEOTECHNICAL ENGINEER:
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 TEL: 208.720.6432

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CIVIL ENGINEER:
BENCHMARK ASSOCIATES, P.A.
 P.O. BOX 733 - 100 BELL DRIVE
 KETCHUM, IDAHO 83340
 TEL: 208.726.9512

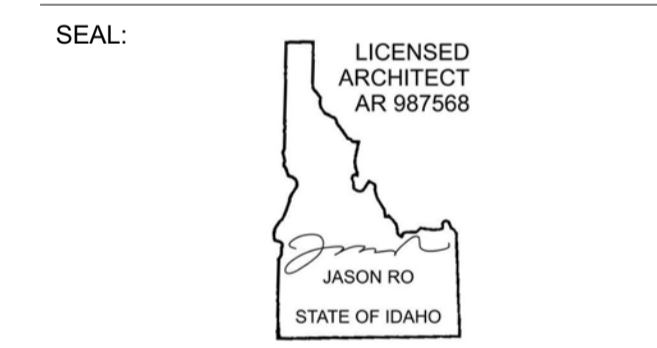
STRUCTURAL ENGINEER:
LFA
 319 MAIN STREET
 EL SEGUNDO, CA 90245
 TEL: 213.239.9700

MEP ENGINEER:
CES ENGINEERING SERVICES, LLC
 1001 W OAK BUILDING B SUITE 107
 BOZEMAN, MT 59715
 TEL: 406.272.0352

LIGHTING DESIGN CONSULTANT:
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 EL SEGUNDO, CA 90245
 TEL: 310.552.2191

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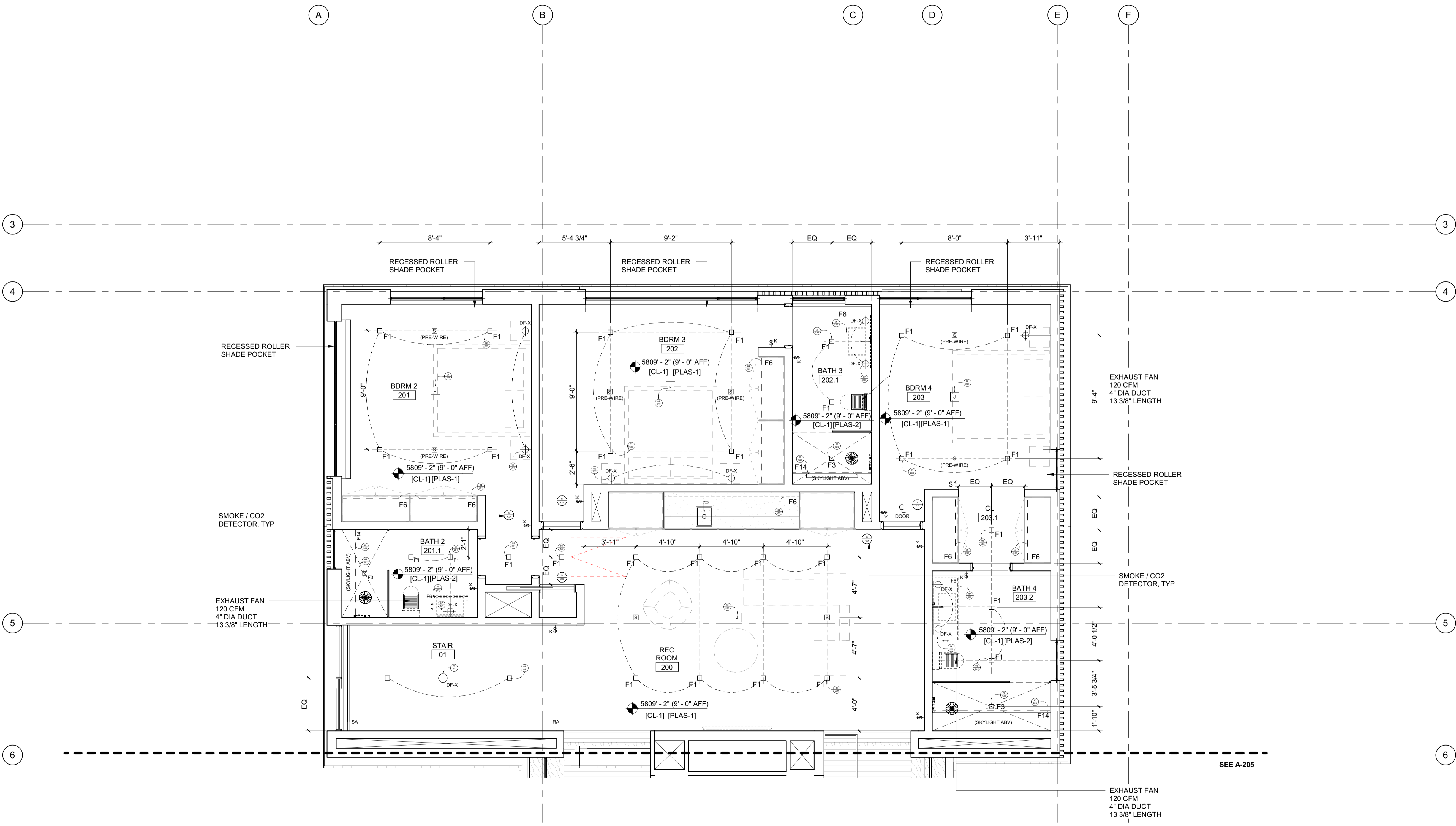
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0	02.28.23	ISSUE

PROJECT:
BADGER RESIDENCE
 121 BADGER LANE
 KETCHUM, ID 83340

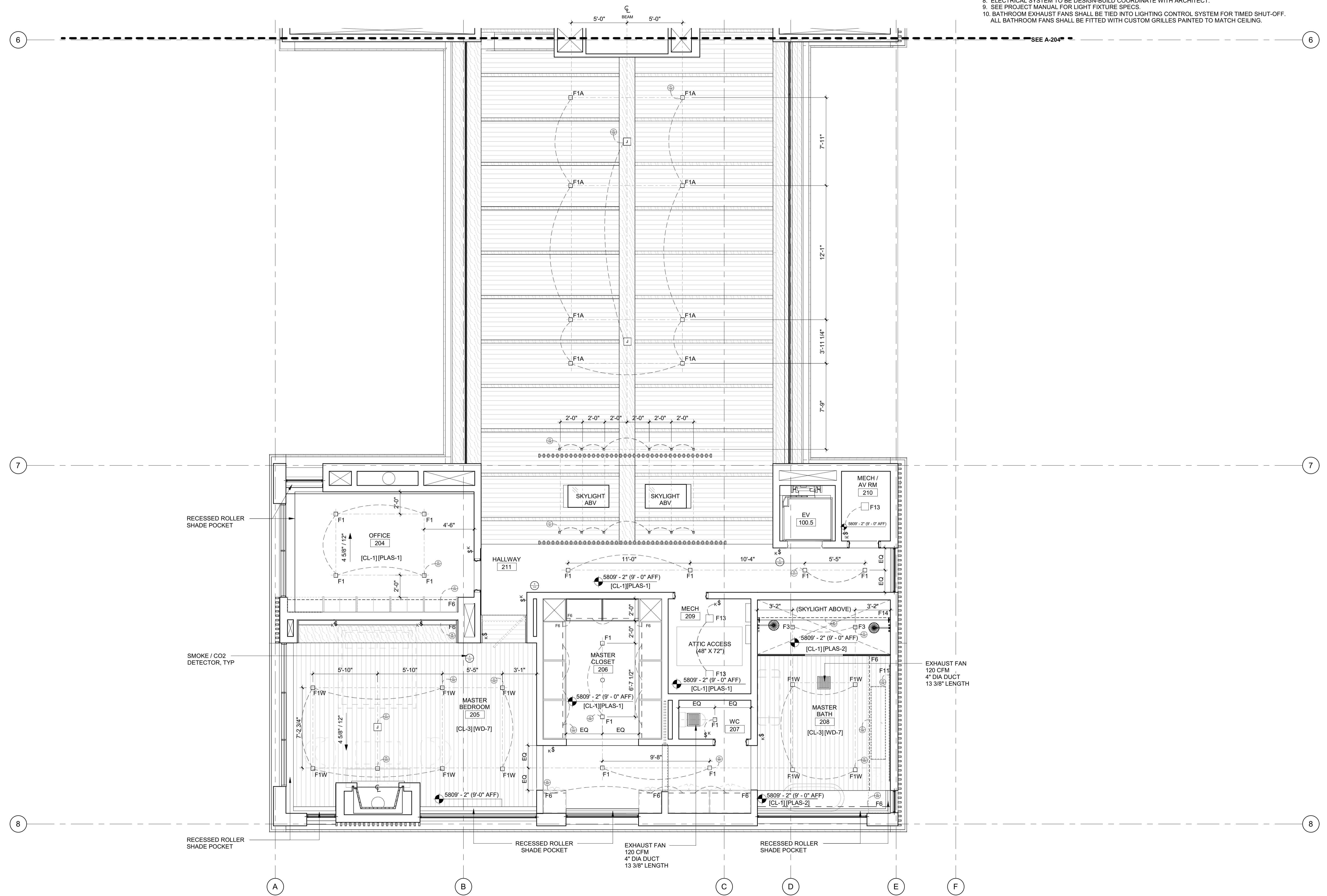
PROJECT NUMBER:
#2201

DRAWING TITLE:
RCP / LEVEL 02 / NORTH

DRAWING NUMBER:
A-204



- RCP NOTES:**
1. SEE FLOOR PLANS FOR LIGHTING FIXTURES AT FLOORS OR LOW WALLS
 2. PROVIDE SMOKE AND CO2 DETECTORS AS REQ'D BY CODE
 3. FIRE SPRINKLER SYSTEM / ALARM UNDER SEPARATE PERMIT. COORDINATE LOCATION OF ALL SPRINKLER HEADS AND ALARM WITH ARCHITECT. SPRINKLER HEADS TO BE FLUSH CONCEALED, MATCH CLG COLOR.
 4. COORDINATE ALL LAYOUT CONFLICTS WITH ARCHITECT.
 5. COORDINATE MECHANICAL GRILLES WITH ARCHITECT, MUD-IN TYP IN GYP, CUSTOM BUILT-IN GRILLES TYP IN WOOD CEILINGS.
 6. DECORATIVE LIGHT FIXTURES SHOWN FOR LOCATION ONLY, COORDINATE WITH OWNER AND ARCHITECT.
 7. COORDINATE POCKET SHADE LOCATIONS WITH ARCHITECT AND OWNER.
 8. ELECTRICAL SYSTEM TO BE DESIGN-BUILD COORDINATE WITH ARCHITECT.
 9. SEE PROJECT MANUAL FOR LIGHT FIXTURE SPECS
 10. BATHROOM EXHAUST FANS SHALL BE TIED INTO LIGHTING CONTROL SYSTEM FOR TIMED SHUT-OFF. ALL BATHROOM FANS SHALL BE FITTED WITH CUSTOM GRILLES PAINTED TO MATCH CEILING.



BADGER RESIDENCE

OWNER:
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GEOTECHNICAL ENGINEER:
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 TEL: 208.720.6432

LANDSCAPE ARCHITECT:
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CIVIL ENGINEER:
BENCHMARK ASSOCIATES, P.A.
 P.O. BOX 733 - 100 BELL DRIVE
 KETCHUM, IDAHO 83340
 TEL: 208.726.9512

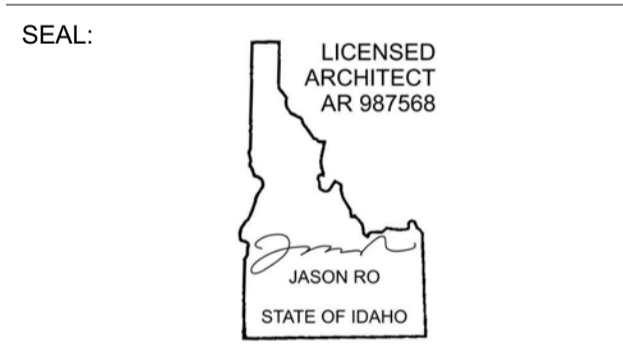
STRUCTURAL ENGINEER:
LFA
 319 MAIN STREET
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 TEL: 213.239.9700

MEP ENGINEER:
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 1001 W OAK BUILDING B SUITE 107
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 TEL: 406.272.0352

LIGHTING DESIGN CONSULTANT:
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 TEL: 310.552.2191

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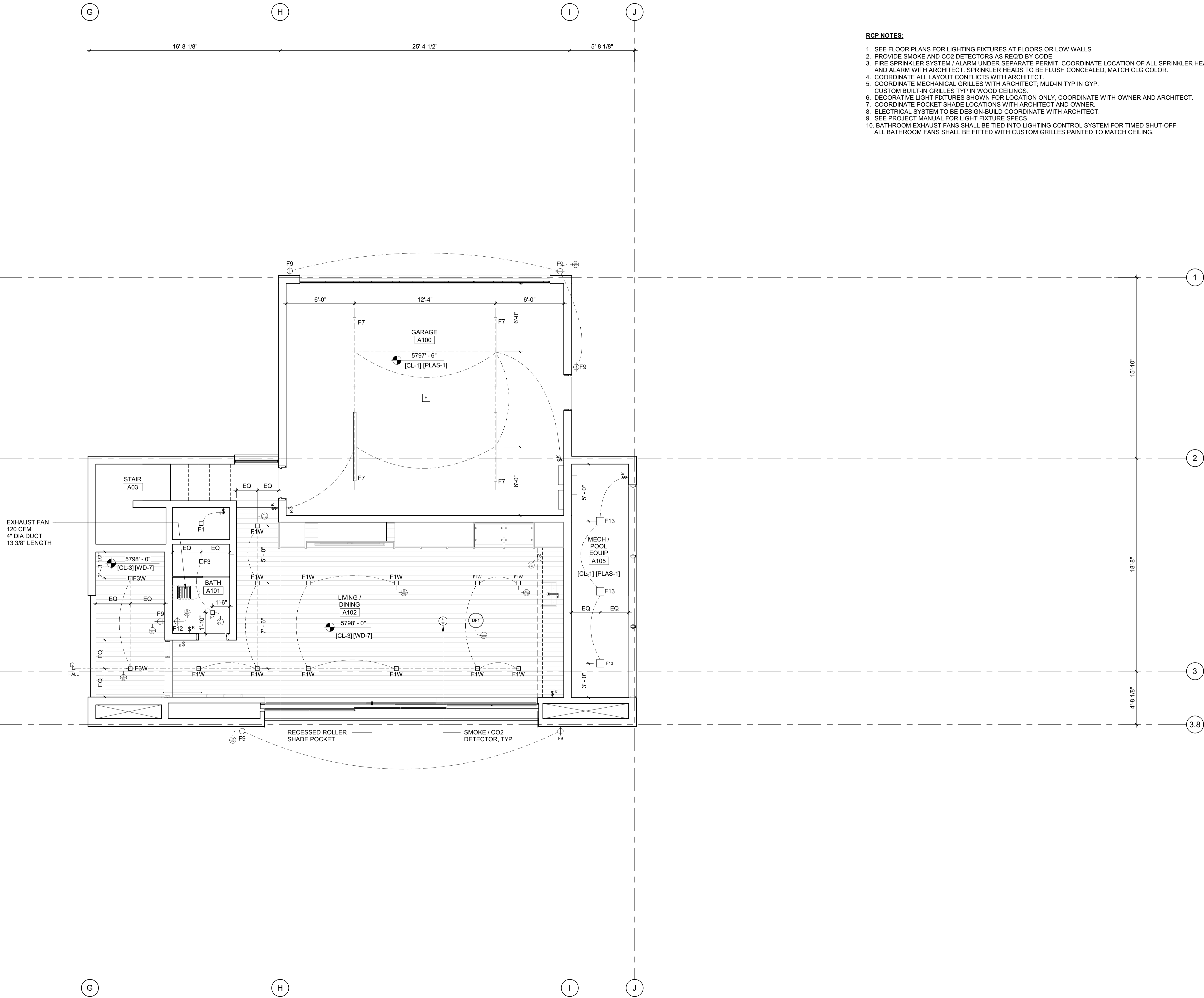
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NO	DATE	ISSUE

PROJECT:
BADGER RESIDENCE
 121 BADGER LANE
 KETCHUM, ID 83340

PROJECT NUMBER:
#2201

DRAWING TITLE:
RCP / LEVEL 02 / SOUTH

DRAWING NUMBER:
A-205



- RCP NOTES:**
1. SEE FLOOR PLANS FOR LIGHTING FIXTURES AT FLOORS OR LOW WALLS
 2. PROVIDE SMOKE AND CO2 DETECTORS AS REQ'D BY CODE
 3. FIRE SPRINKLER SYSTEM / ALARM UNDER SEPARATE PERMIT, COORDINATE LOCATION OF ALL SPRINKLER HEADS AND ALARM WITH ARCHITECT. SPRINKLER HEADS TO BE FLUSH CONCEALED, MATCH CLG COLOR.
 4. COORDINATE ALL LAYOUT CONFLICTS WITH ARCHITECT.
 5. COORDINATE MECHANICAL GRILLES WITH ARCHITECT; MUD-IN TYP IN GYP, CUSTOM BUILT-IN GRILLES TYP IN WOOD CEILINGS.
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 7. COORDINATE POCKET SHADE LOCATIONS WITH ARCHITECT AND OWNER.
 8. ELECTRICAL SYSTEM TO BE DESIGN-BUILD COORDINATE WITH ARCHITECT.
 9. SEE PROJECT MANUAL FOR LIGHT FIXTURE SPECS.
 10. BATHROOM EXHAUST FANS SHALL BE TIED INTO LIGHTING CONTROL SYSTEM FOR TIMED SHUT-OFF. ALL BATHROOM FANS SHALL BE FITTED WITH CUSTOM GRILLES PAINTED TO MATCH CEILING.

BADGER RESIDENCE

OWNER:
121 BADGER LANE LLC
 P.O. BOX 14001-174
 KETCHUM, ID 83340

PROJECT ARCHITECT:
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 1031 W. MANCHESTER BLVD, UNIT 6
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SURVEYOR:
GALENA ENGINEERING, INC.
 317 NORTH RIVER STREET
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 TEL: 208.788.1705

ENVIRONMENTAL CONSULTANT:
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 TEL: 208.727.9748

HYDROLOGY / WATER ENGINEERING:
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 2018 WASHINGTON ST NORTH, SUITE 4
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 TEL: 208.736-8543

GEOTECHNICAL ENGINEER:
BUTLER ASSOCIATES, INC.
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 TEL: 208.720.6432

LANDSCAPE ARCHITECT:
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 KETCHUM, ID 83340
 TEL: 208.726.5907

CIVIL ENGINEER:
BENCHMARK ASSOCIATES, P.A.
 P.O. BOX 733 - 100 BELL DRIVE
 KETCHUM, IDAHO 83340
 TEL: 208.726.9512

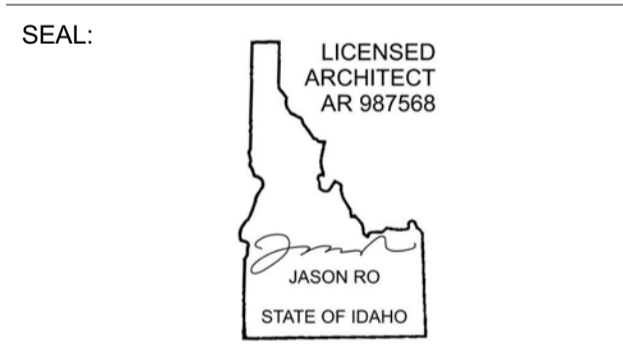
STRUCTURAL ENGINEER:
LFA
 319 MAIN STREET
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 TEL: 213.239.9700

MEP ENGINEER:
CES ENGINEERING SERVICES, LLC
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LIGHTING DESIGN CONSULTANT:
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 TEL: 310.552.2191

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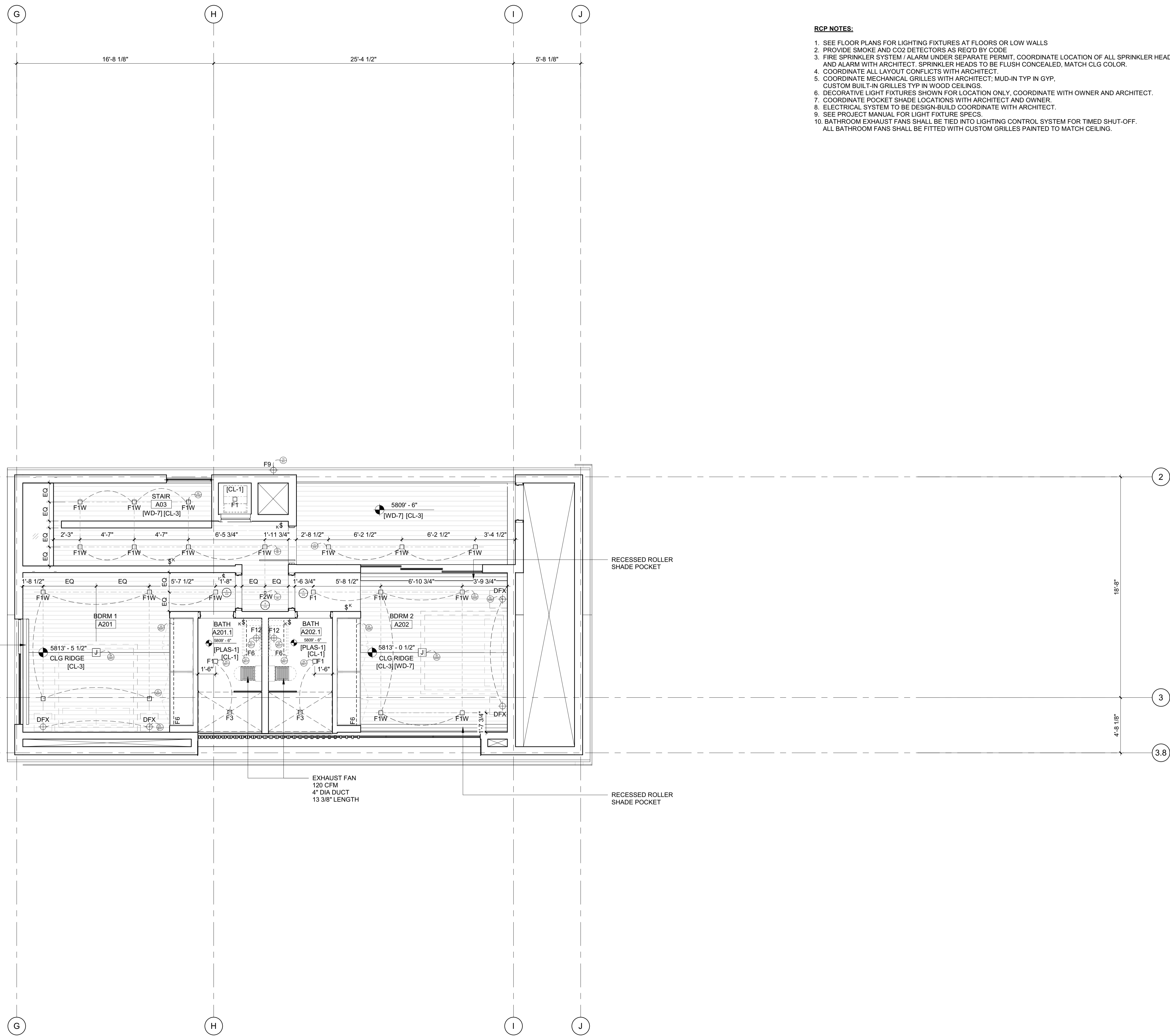
NO	DATE	BUILDING PERMIT	ISSUE
0	02.28.23		

PROJECT:
BADGER RESIDENCE
 121 BADGER LANE
 KETCHUM, ID 83340

PROJECT NUMBER:
#2201

DRAWING TITLE:
RCP / LEVEL 01 / ADU

DRAWING NUMBER:
A-206



- RCP NOTES:**
1. SEE FLOOR PLANS FOR LIGHTING FIXTURES AT FLOORS OR LOW WALLS
 2. PROVIDE SMOKE AND CO2 DETECTORS AS REQ'D BY CODE
 3. FIRE SPRINKLER SYSTEM / ALARM UNDER SEPARATE PERMIT. COORDINATE LOCATION OF ALL SPRINKLER HEADS AND ALARM WITH ARCHITECT. SPRINKLER HEADS TO BE FLUSH CONCEALED, MATCH CLG COLOR.
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 9. SEE PROJECT MANUAL FOR LIGHT FIXTURE SPECS.
 10. BATHROOM EXHAUST FANS SHALL BE TIED INTO LIGHTING CONTROL SYSTEM FOR TIMED SHUT-OFF. ALL BATHROOM FANS SHALL BE FITTED WITH CUSTOM GRILLES PAINTED TO MATCH CEILING.

BADGER RESIDENCE

OWNER:
121 BADGER LANE LLC
 P.O. BOX 14001-174
 KETCHUM, ID 83340

PROJECT ARCHITECT:
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LANDSCAPE ARCHITECT:
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 323 LEWIS STREET, SUITE N
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 TEL: 208.726.5907

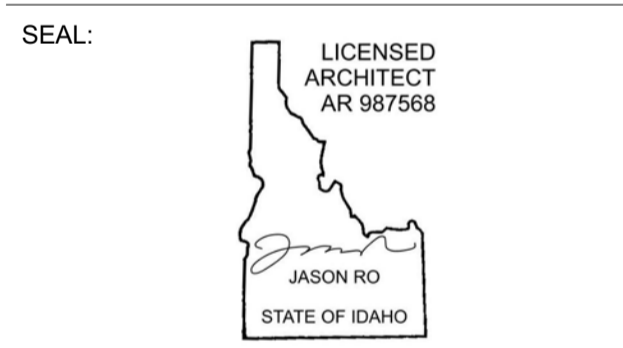
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 TEL: 310.552.2191

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PROJECT:
BADGER RESIDENCE
 121 BADGER LANE
 KETCHUM, ID 83340

PROJECT NUMBER:
#2201

DRAWING TITLE:
RCP / LEVEL 02 / ADU

DRAWING NUMBER:
A-207

BADGER RESIDENCE

OWNER:
121 BADGER LANE LLC
 P.O. BOX 14001-174
 KETCHUM, ID 83340

PROJECT ARCHITECT:
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 TEL: 208.736-8543

GEOTECHNICAL ENGINEER:
BUTLER ASSOCIATES, INC.
 P.O. BOX 1034
 KETCHUM, ID 83340
 TEL: 208.720.6432

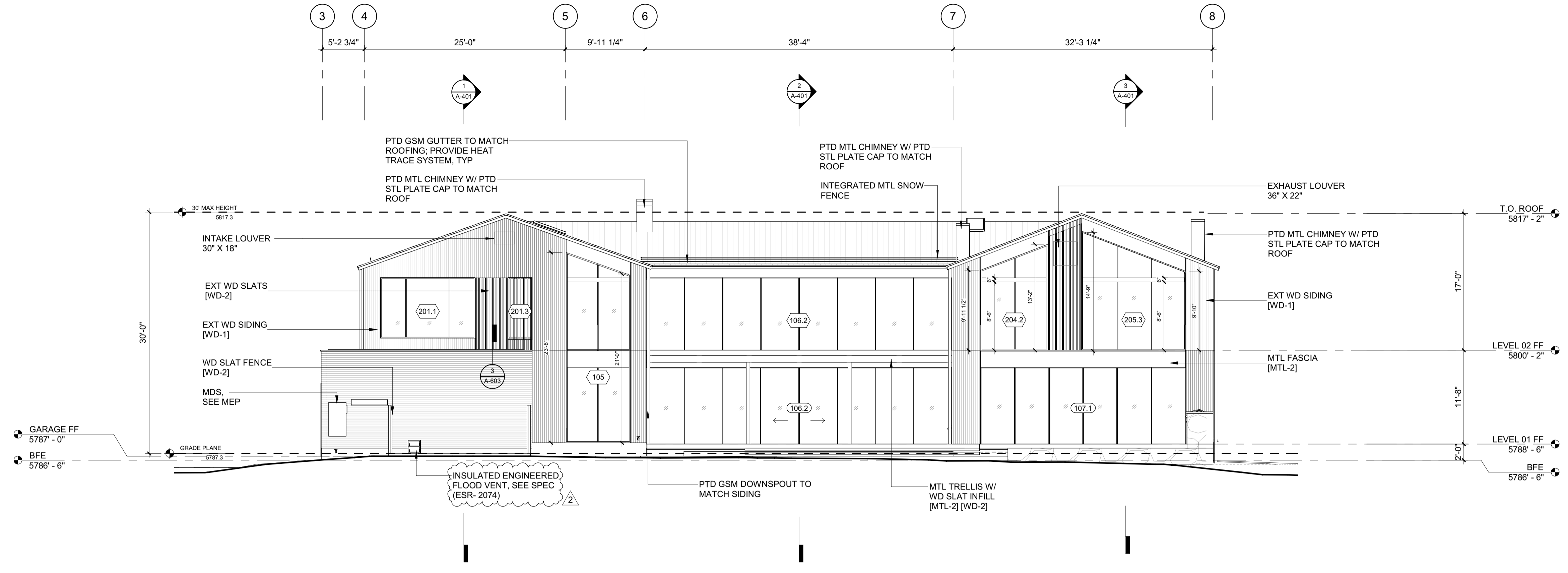
LANDSCAPE ARCHITECT:
BYLA
 323 LEWIS STREET, SUITE N
 KETCHUM, ID 83340
 TEL: 208.726.5907

CIVIL ENGINEER:
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 KETCHUM, IDAHO 83340
 TEL: 208.726.9512

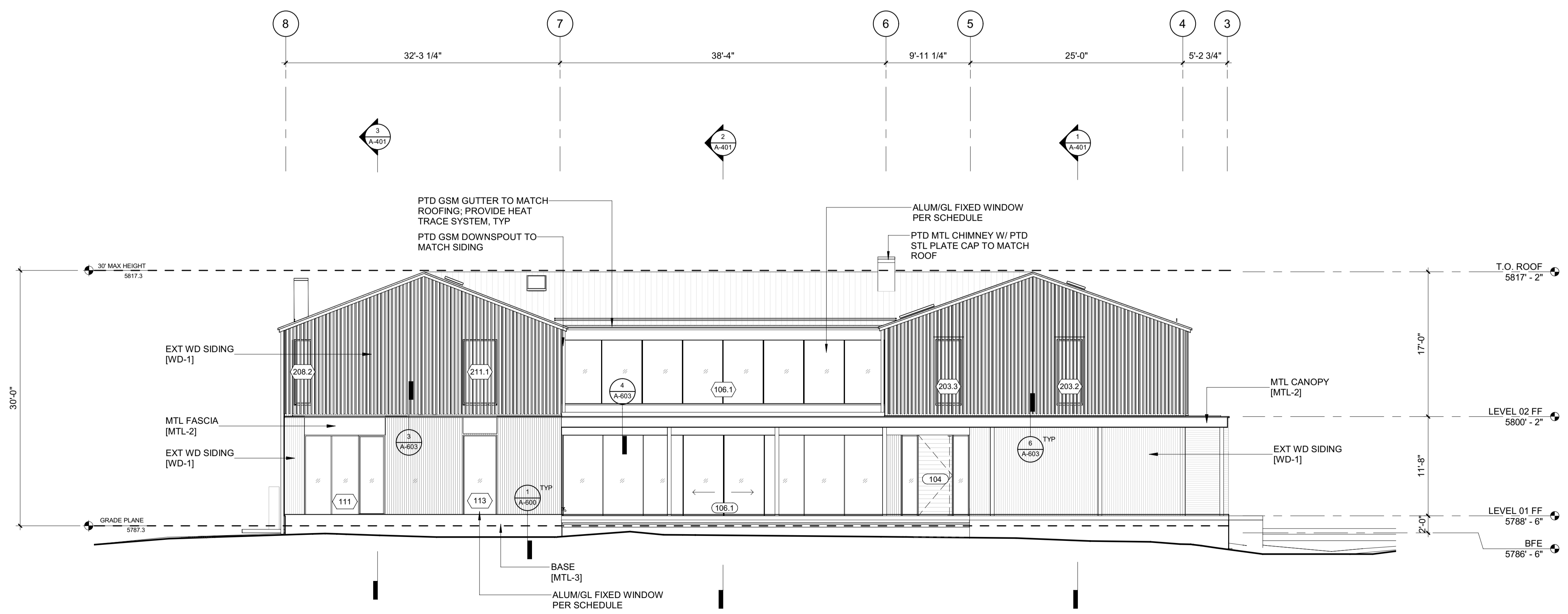
STRUCTURAL ENGINEER:
LFA
 319 MAIN STREET
 EL SEGUNDO, CA 90245
 TEL: 213.239.9700

MEP ENGINEER:
CES ENGINEERING SERVICES, LLC
 1001 W OAK BUILDING B SUITE 107
 BOZEMAN, MT 59715
 TEL: 406.272.0352

LIGHTING DESIGN CONSULTANT:
KGM ARCHITECTURAL LIGHTING
 270 CORAL CIRCLE
 EL SEGUNDO, CA 90245
 TEL: 310.552.2191



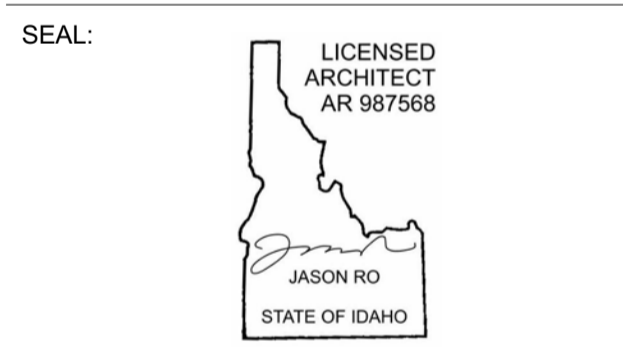
2 1/8" = 1'-0" ELEVATION / WEST



1 1/8" = 1'-0" ELEVATION / EAST

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2	06.06.23	PERMIT REVIEW- REV 2
	02.28.23	BUILDING PERMIT SUBMITTAL
NO	DATE	ISSUE

PROJECT:
BADGER RESIDENCE
 121 BADGER LANE
 KETCHUM, ID 83340

PROJECT NUMBER
#2201

DRAWING TITLE:
EXTERIOR ELEVATIONS

DRAWING NUMBER:
A-300

NOT FOR CONSTRUCTION
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BADGER RESIDENCE

OWNER:
121 BADGER LANE LLC
 P.O. BOX 14001-174
 KETCHUM, ID 83340

PROJECT ARCHITECT:
RO | ROCKETT DESIGN
 1031 W. MANCHESTER BLVD, UNIT 6
 INGLEWOOD, CA 90301
 TEL: 213.784.0014

SURVEYOR:
GALENA ENGINEERING, INC.
 317 NORTH RIVER STREET
 HAILEY, ID 83333
 TEL: 208.788.1705

ENVIRONMENTAL CONSULTANT:
SAWTOOTH ENVIRONMENTAL CONSULTING
 P.O. BOX 2707 / 540 NORTH FIRST AVE
 KETCHUM, ID 83340
 TEL: 208.727.9748

HYDROLOGY / WATER ENGINEERING:
BROCKWAY ENGINEERING, INC.
 2018 WASHINGTON ST NORTH, SUITE 4
 TWIN FALLS, ID 83301
 TEL: 208.736-8543

GEOTECHNICAL ENGINEER:
BUTLER ASSOCIATES, INC.
 P.O. BOX 1034
 KETCHUM, ID 83340
 TEL: 208.720.6432

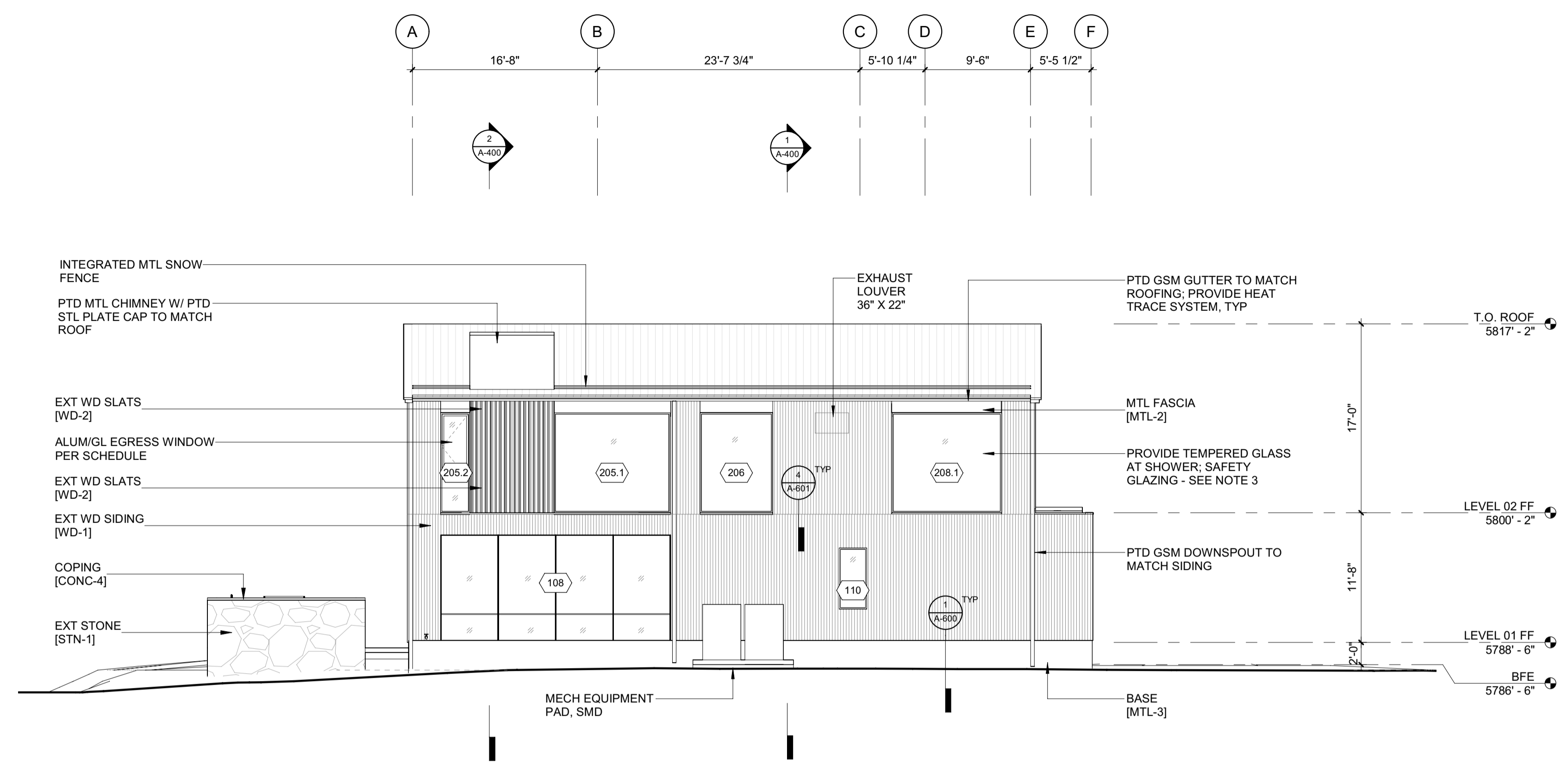
LANDSCAPE ARCHITECT:
BYLA
 323 LEWIS STREET, SUITE N
 KETCHUM, ID 83340
 TEL: 208.726.5907

CIVIL ENGINEER:
BENCHMARK ASSOCIATES, P.A.
 P.O. BOX 733 - 100 BELL DRIVE
 KETCHUM, IDAHO 83340
 TEL: 208.726.9512

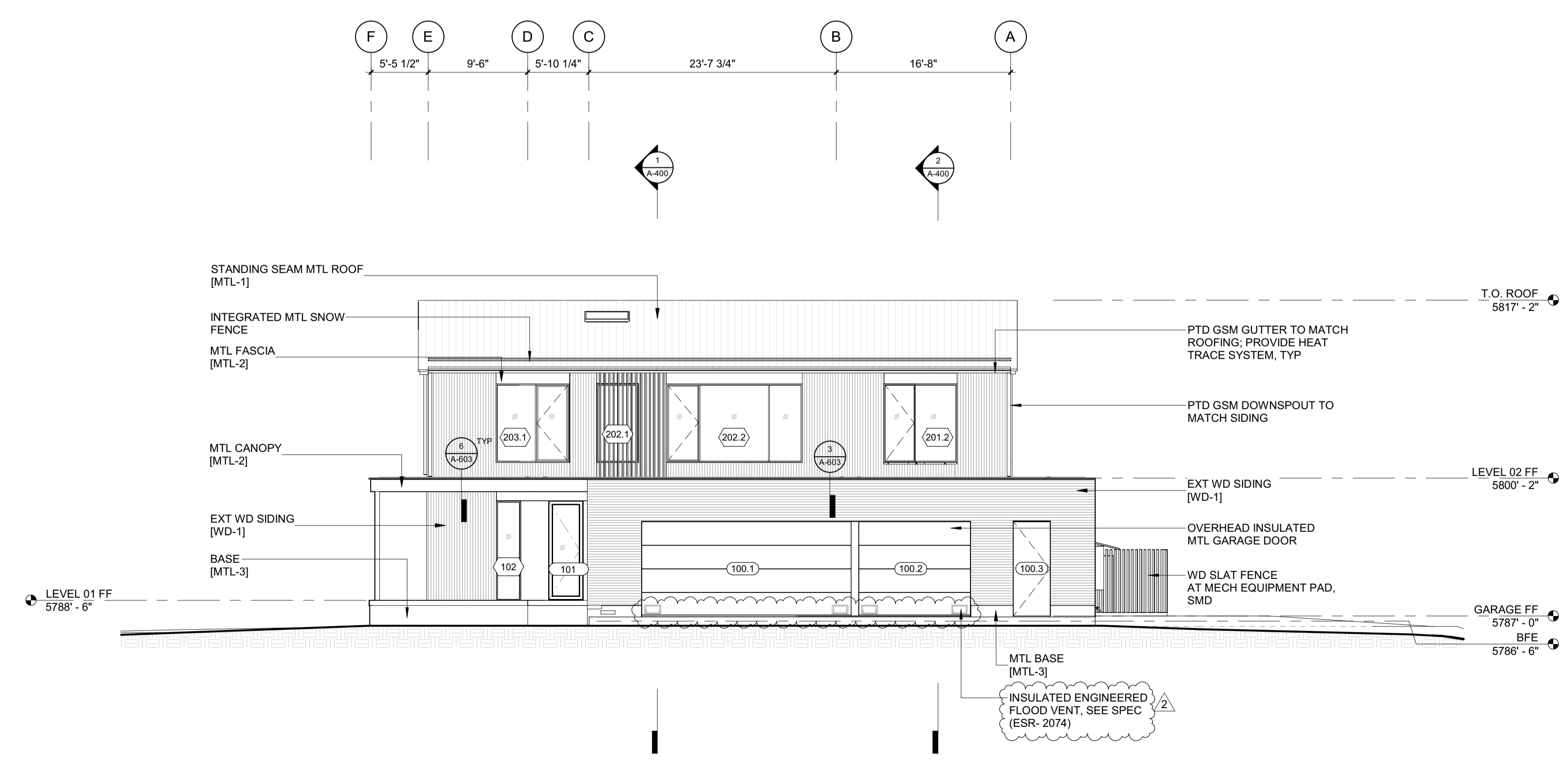
STRUCTURAL ENGINEER:
LFA
 319 MAIN STREET
 EL SEGUNDO, CA 90245
 TEL: 213.239.9700

MEP ENGINEER:
CES ENGINEERING SERVICES, LLC
 1001 W OAK BUILDING B SUITE 107
 BOZEMAN, MT 59715
 TEL: 406.272.0352

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 270 CORAL CIRCLE
 EL SEGUNDO, CA 90245
 TEL: 310.552.2191



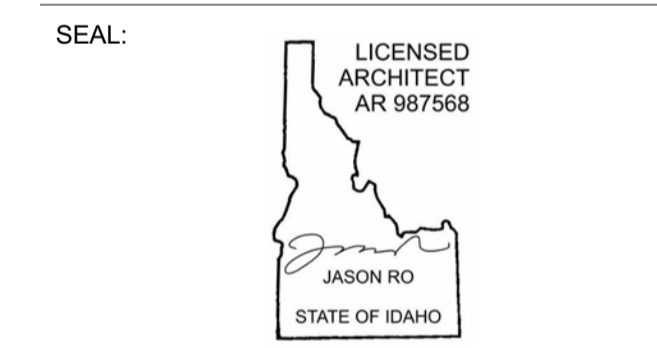
2 1/8" = 1'-0" ELEVATION / SOUTH



1 1/8" = 1'-0" ELEVATION / NORTH

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2	06.06.23	PERMIT REVIEW- REV 2
	02.28.23	BUILDING PERMIT SUBMITTAL
NO	DATE	ISSUE

PROJECT:
BADGER RESIDENCE
 121 BADGER LANE
 KETCHUM, ID 83340

PROJECT NUMBER
#2201

DRAWING TITLE:
EXTERIOR ELEVATIONS

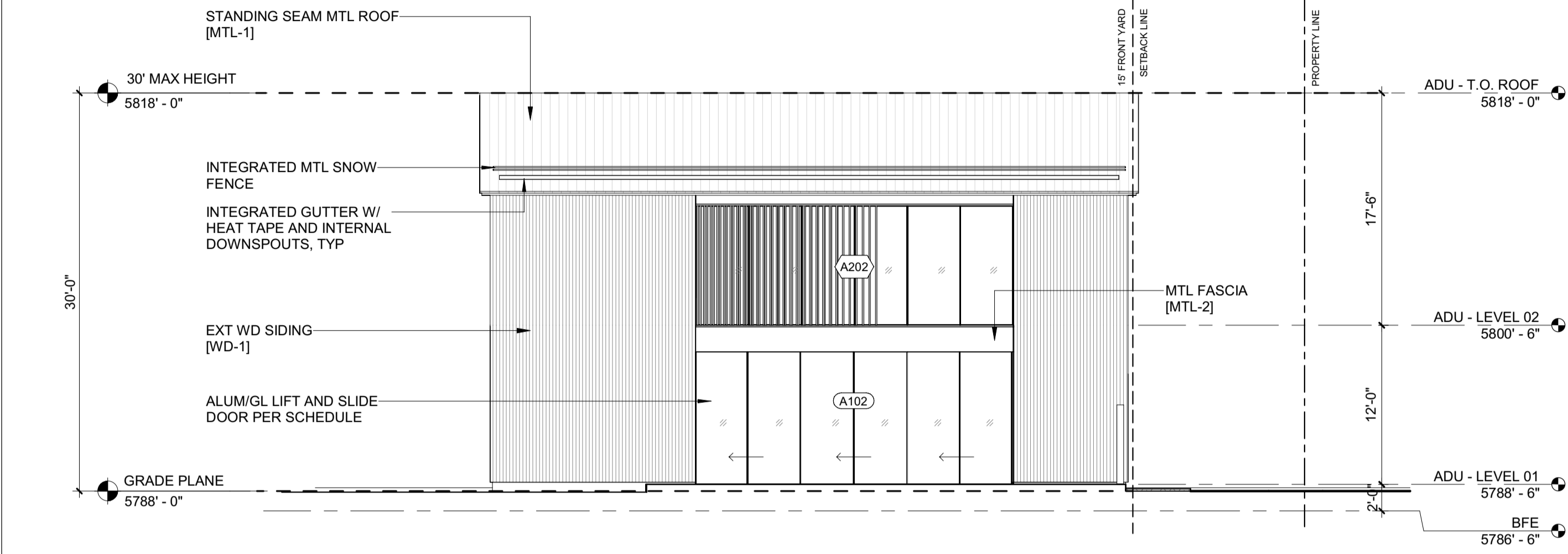
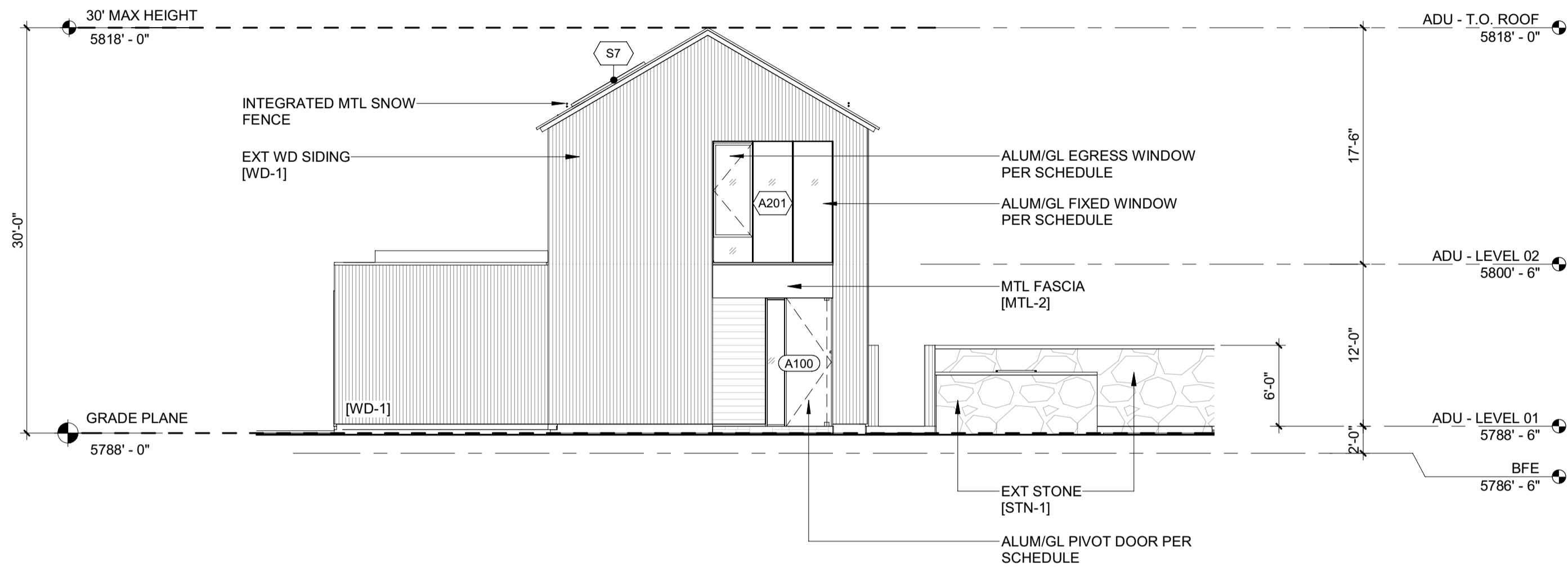
DRAWING NUMBER:
A-301

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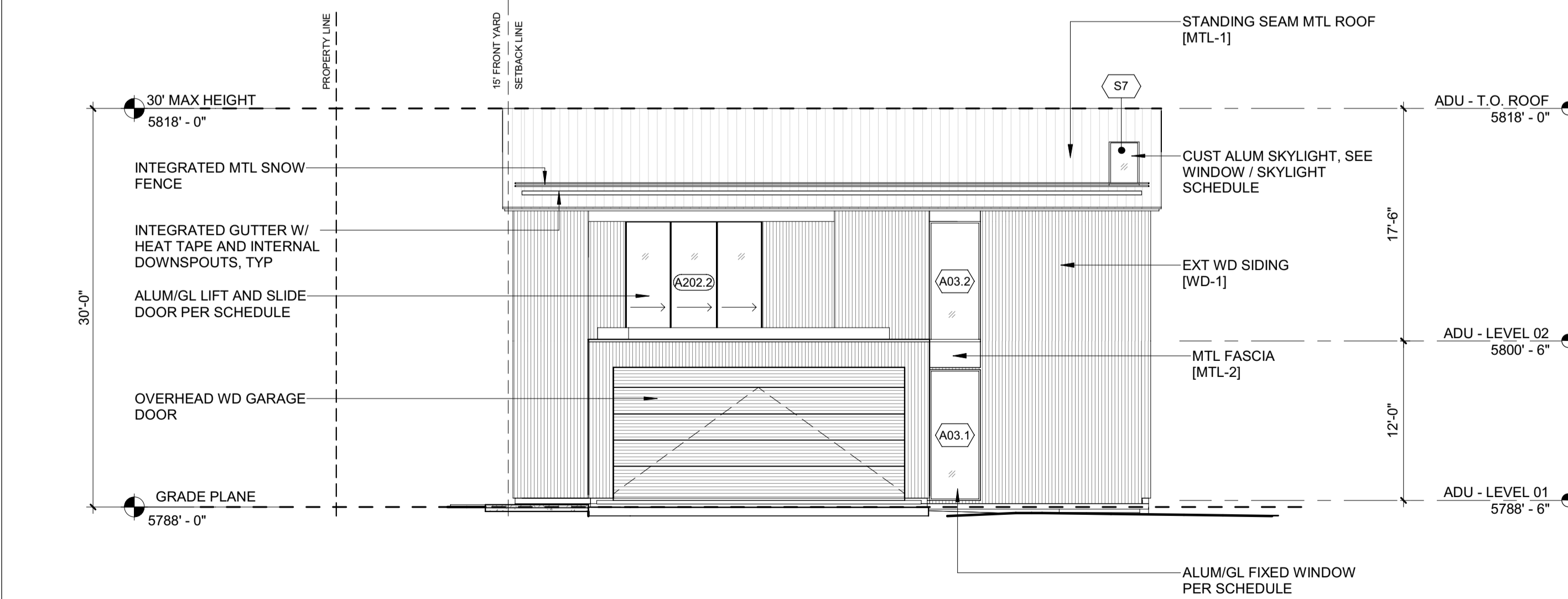
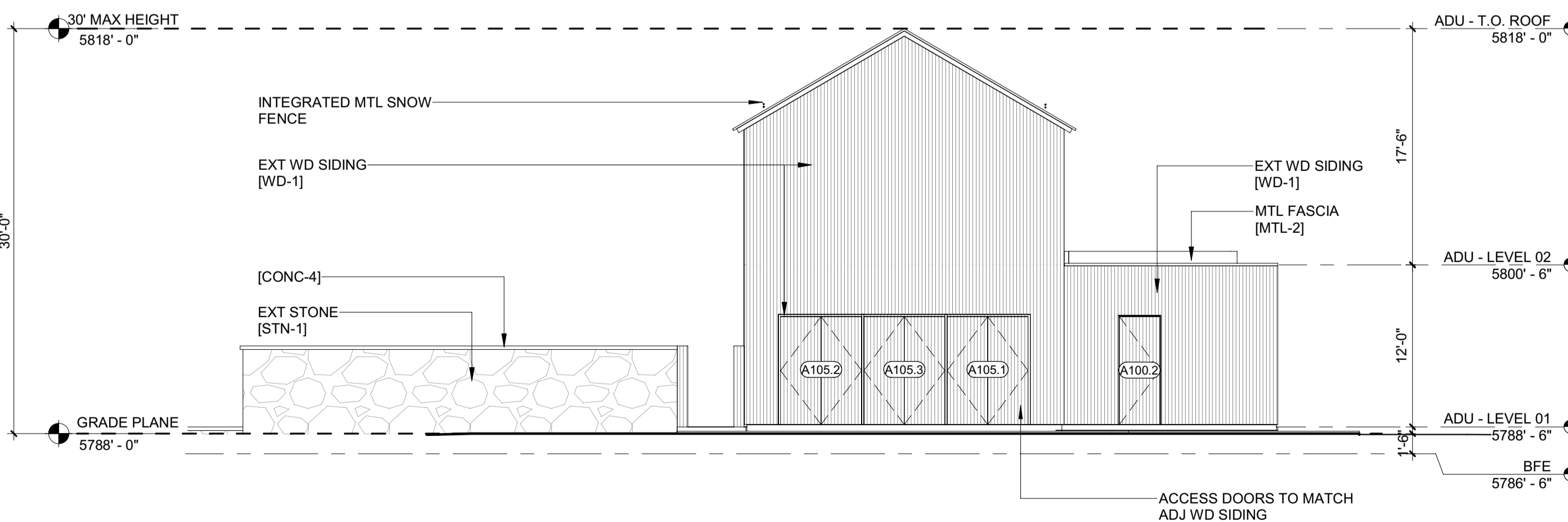
BLD2303-00021
9/6/26/23

2/26/23



5 1/8" = 1'-0" ADU - ELEVATION / WEST

2 1/8" = 1'-0" ADU - ELEVATION / SOUTH



3 1/8" = 1'-0" ADU - ELEVATION / EAST

1 1/8" = 1'-0" ADU - ELEVATION / NORTH

BADGER RESIDENCE

OWNER:
121 BADGER LANE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340

PROJECT ARCHITECT:

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INGLEWOOD, CA 90301
TEL: 213.784.0014

SURVEYOR:

GALENA ENGINEERING, INC.
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ENVIRONMENTAL CONSULTANT:

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KETCHUM, ID 83340
TEL: 208.727.9748

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BROCKWAY ENGINEERING, INC.
2018 WASHINGTON ST NORTH, SUITE 4
TWIN FALLS, ID 83301
TEL: 208.736-8543

GEOTECHNICAL ENGINEER:

BUTLER ASSOCIATES, INC.
P.O. BOX 1034
KETCHUM, ID 83340
TEL: 208.720.6432

LANDSCAPE ARCHITECT:

BYLA
323 LEWIS STREET, SUITE N
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CIVIL ENGINEER:

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KETCHUM, IDAHO 83340
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STRUCTURAL ENGINEER:

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319 MAIN STREET
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TEL: 213.239.9700

MEP ENGINEER:

CES ENGINEERING SERVICES, LLC
1001 W OAK BUILDING B SUITE 107
BOZEMAN, MT 59715
TEL: 406.272.0352

LIGHTING DESIGN CONSULTANT:

KGM ARCHITECTURAL LIGHTING
270 CORAL CIRCLE
EL SEGUNDO, CA 90245
TEL: 310.552.2191

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SEAL:



NO DATE ISSUE

PROJECT:
BADGER RESIDENCE
121 BADGER LANE
KETCHUM, ID 83340

PROJECT NUMBER
#2201

DRAWING TITLE:
EXTERIOR ELEVATIONS / ADU

DRAWING NUMBER:

A-302



Approved
 These plans have been found to be in substantial compliance with the adopted building codes. These documents are approved contingent on compliance with the mark-ups and notes applied. This is not approval of any code, ordinance, statute or regulation. Corrections will be required for code violations found during the inspection process.

BLD2303-00021
 9/6/26/23

2/26/23

BADGER RESIDENCE

OWNER:
121 BADGER LANE LLC
 P.O. BOX 14001-174
 KETCHUM, ID 83340

PROJECT ARCHITECT:
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 TEL: 208.727.9748

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 2018 WASHINGTON ST NORTH, SUITE 4
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 TEL: 208.736-8543

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LANDSCAPE ARCHITECT:
BYLA
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 KETCHUM, ID 83340
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CIVIL ENGINEER:
BENCHMARK ASSOCIATES, P.A.
 P.O. BOX 733 - 100 BELL DRIVE
 KETCHUM, IDAHO 83340
 TEL: 208.726.9512

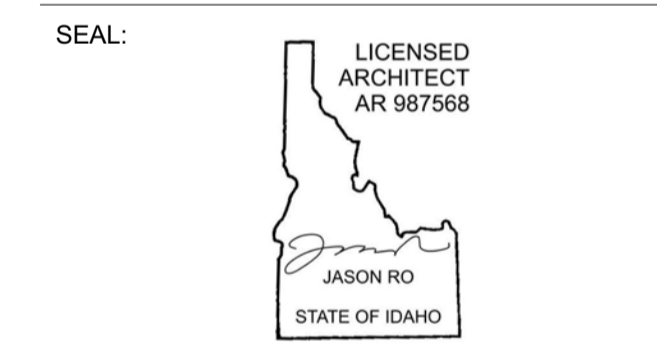
STRUCTURAL ENGINEER:
LFA
 319 MAIN STREET
 EL SEGUNDO, CA 90245
 TEL: 213.239.9700

MEP ENGINEER:
CES ENGINEERING SERVICES, LLC
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LIGHTING DESIGN CONSULTANT:
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NO	DATE	BUILDING PERMIT	ISSUE
0	02.28.23		

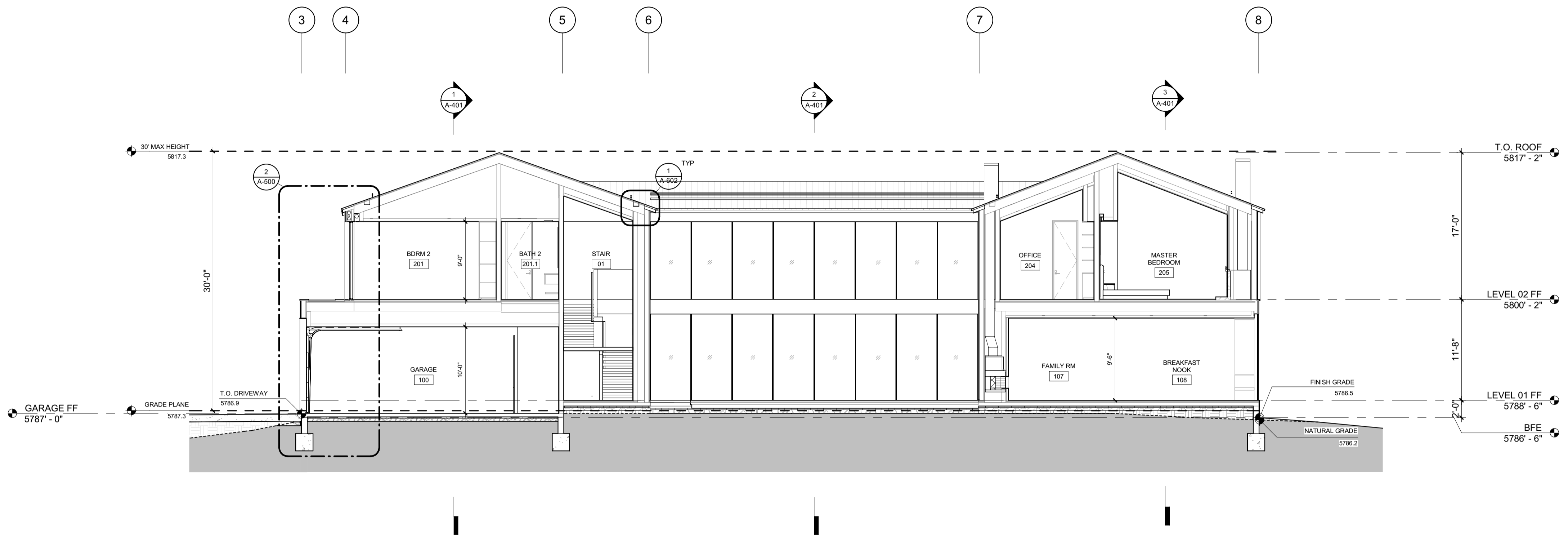
PROJECT:
BADGER RESIDENCE
 121 BADGER LANE
 KETCHUM, ID 83340

PROJECT NUMBER
#2201

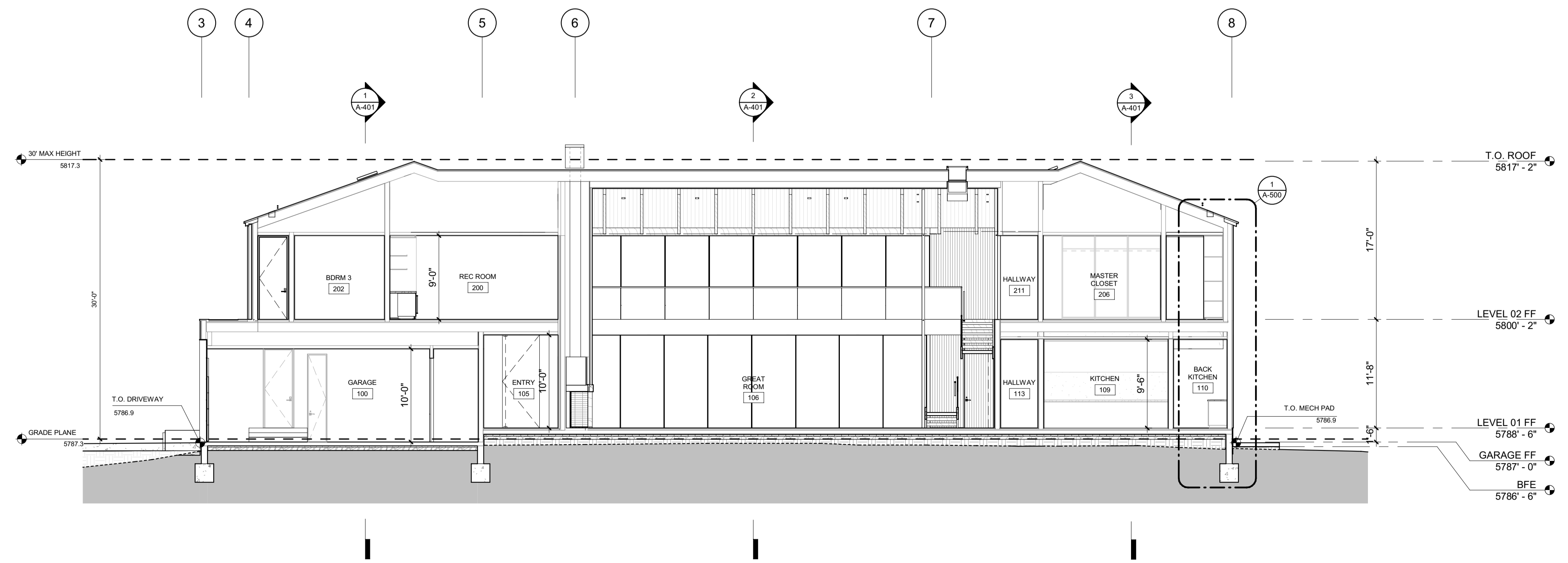
DRAWING TITLE:
BUILDING SECTIONS

DRAWING NUMBER:
A-400

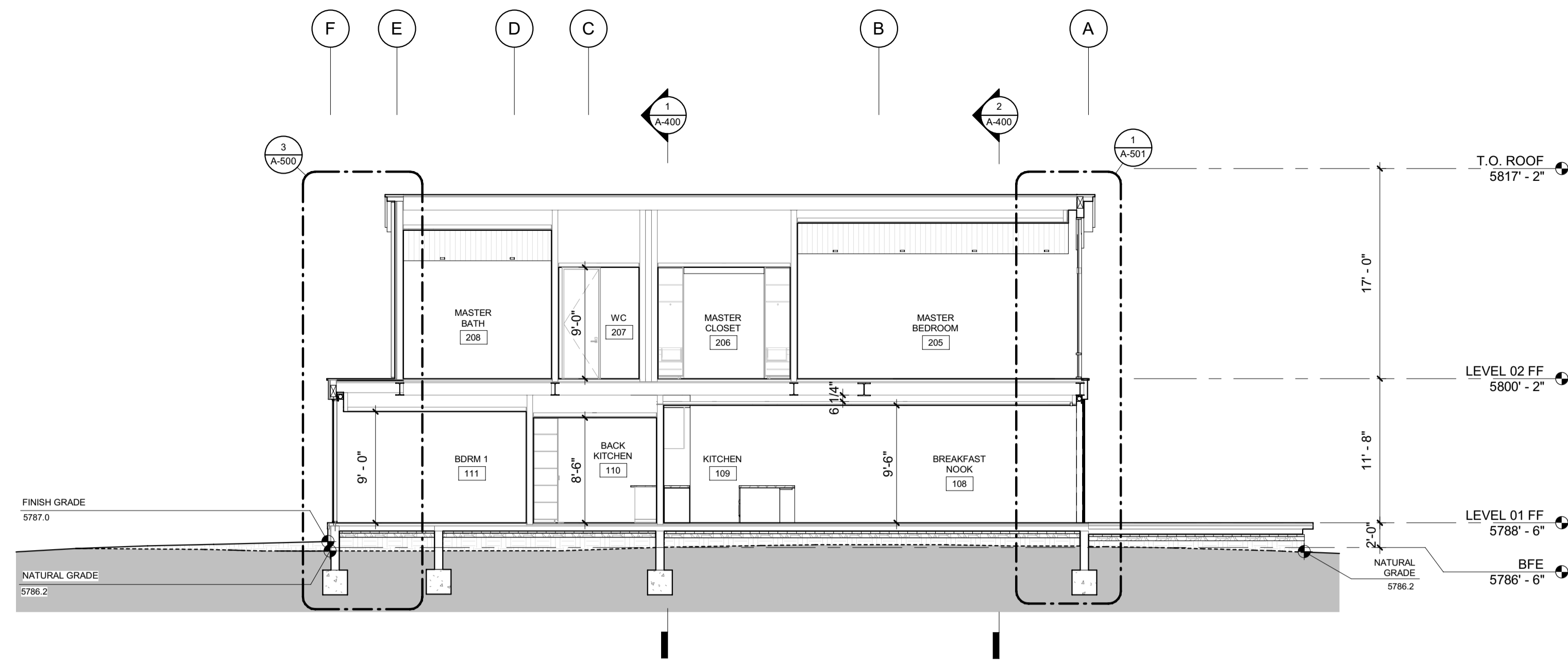
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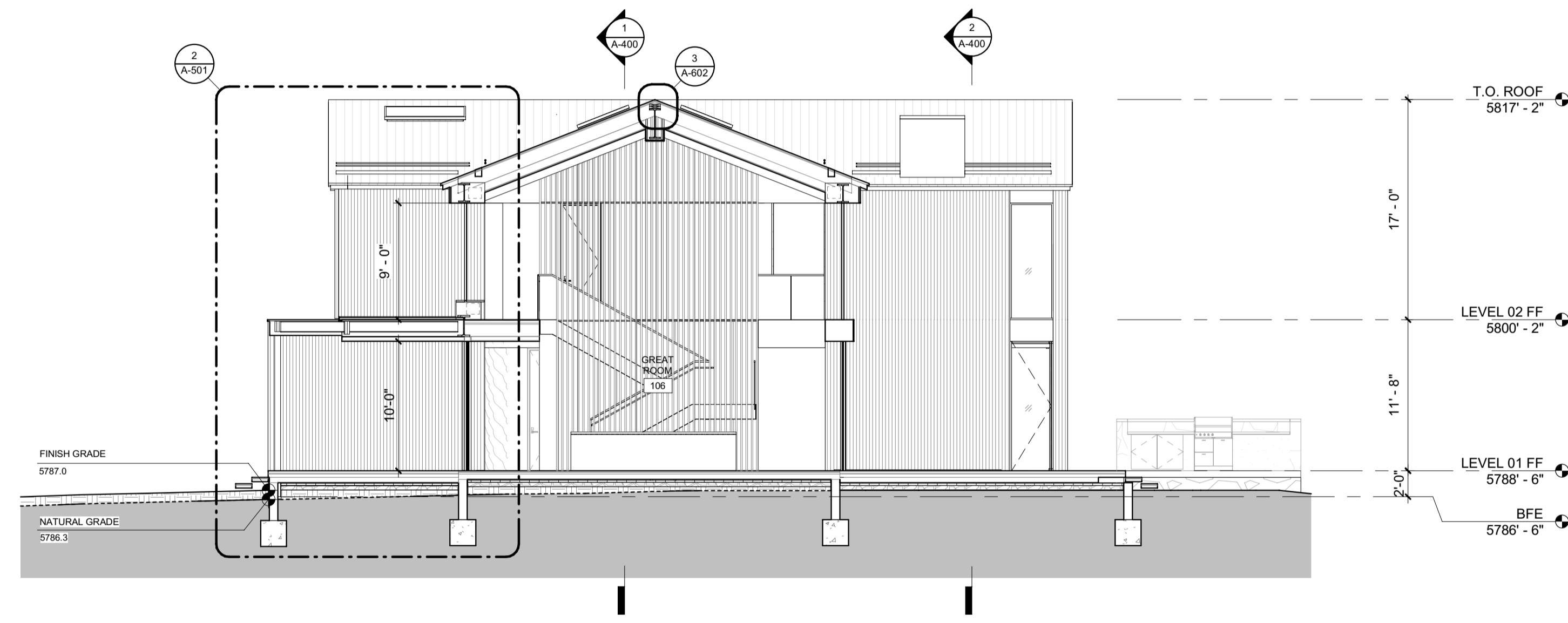
2 1/8" = 1'-0" BUILDING SECTION N-S 2



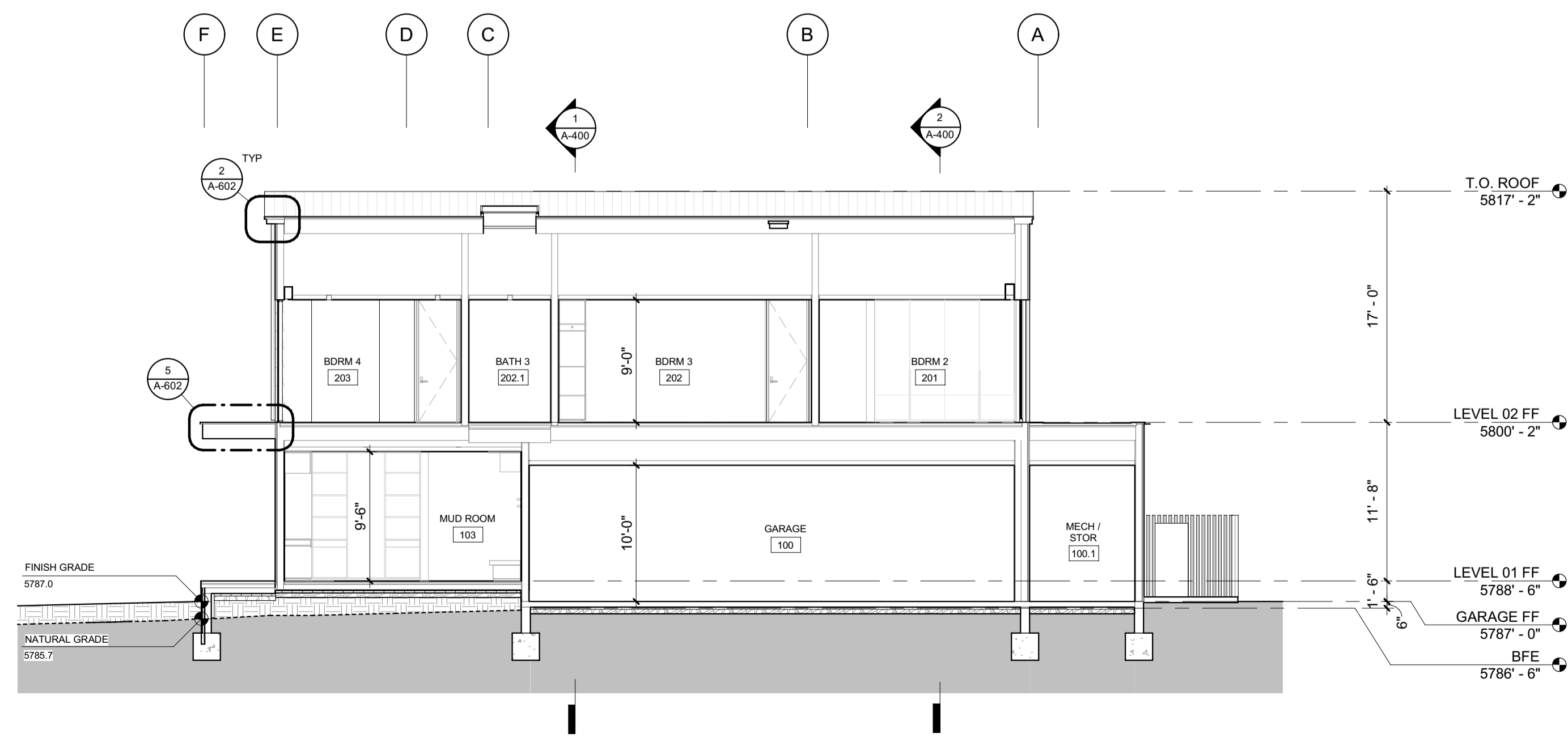
1 1/8" = 1'-0" BUILDING SECTION N-S 1



3 1/8" = 1'-0" BUILDING SECTION E-W 3



2 1/8" = 1'-0" BUILDING SECTION E-W 2



1 1/8" = 1'-0" BUILDING SECTION E-W 4

BADGER RESIDENCE

- OWNER:
 121 BADGER LANE LLC
 P.O. BOX 14001-174
 KETCHUM, ID 83340
- PROJECT ARCHITECT:
 RO | ROCKETT DESIGN
 1031 W. MANCHESTER BLVD, UNIT 6
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 TEL: 213.784.0014
- SURVEYOR:
 GALENA ENGINEERING, INC.
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 HAILEY, ID 83333
 TEL: 208.788.1705
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 SAWTOOTH ENVIRONMENTAL CONSULTING
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 KETCHUM, ID 83340
 TEL: 208.727.9748
- HYDROLOGY / WATER ENGINEERING:
 BROCKWAY ENGINEERING, INC.
 2018 WASHINGTON ST NORTH, SUITE 4
 TWIN FALLS, ID 83301
 TEL: 208.736-8543
- GEOTECHNICAL ENGINEER:
 BUTLER ASSOCIATES, INC.
 P.O. BOX 1034
 KETCHUM, ID 83340
 TEL: 208.720.6432
- LANDSCAPE ARCHITECT:
 BYLA
 323 LEWIS STREET, SUITE N
 KETCHUM, ID 83340
 TEL: 208.726.5907

- CIVIL ENGINEER:
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- STRUCTURAL ENGINEER:
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 TEL: 213.239.9700
- MEP ENGINEER:
 CES ENGINEERING SERVICES, LLC
 1001 W OAK BUILDING B SUITE 107
 BOZEMAN, MT 59715
 TEL: 406.272.0352
- LIGHTING DESIGN CONSULTANT:
 KGM ARCHITECTURAL LIGHTING
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SEAL:

NO	DATE	ISSUE

PROJECT:
BADGER RESIDENCE
 121 BADGER LANE
 KETCHUM, ID 83340

PROJECT NUMBER
#2201

DRAWING TITLE:
BUILDING SECTIONS

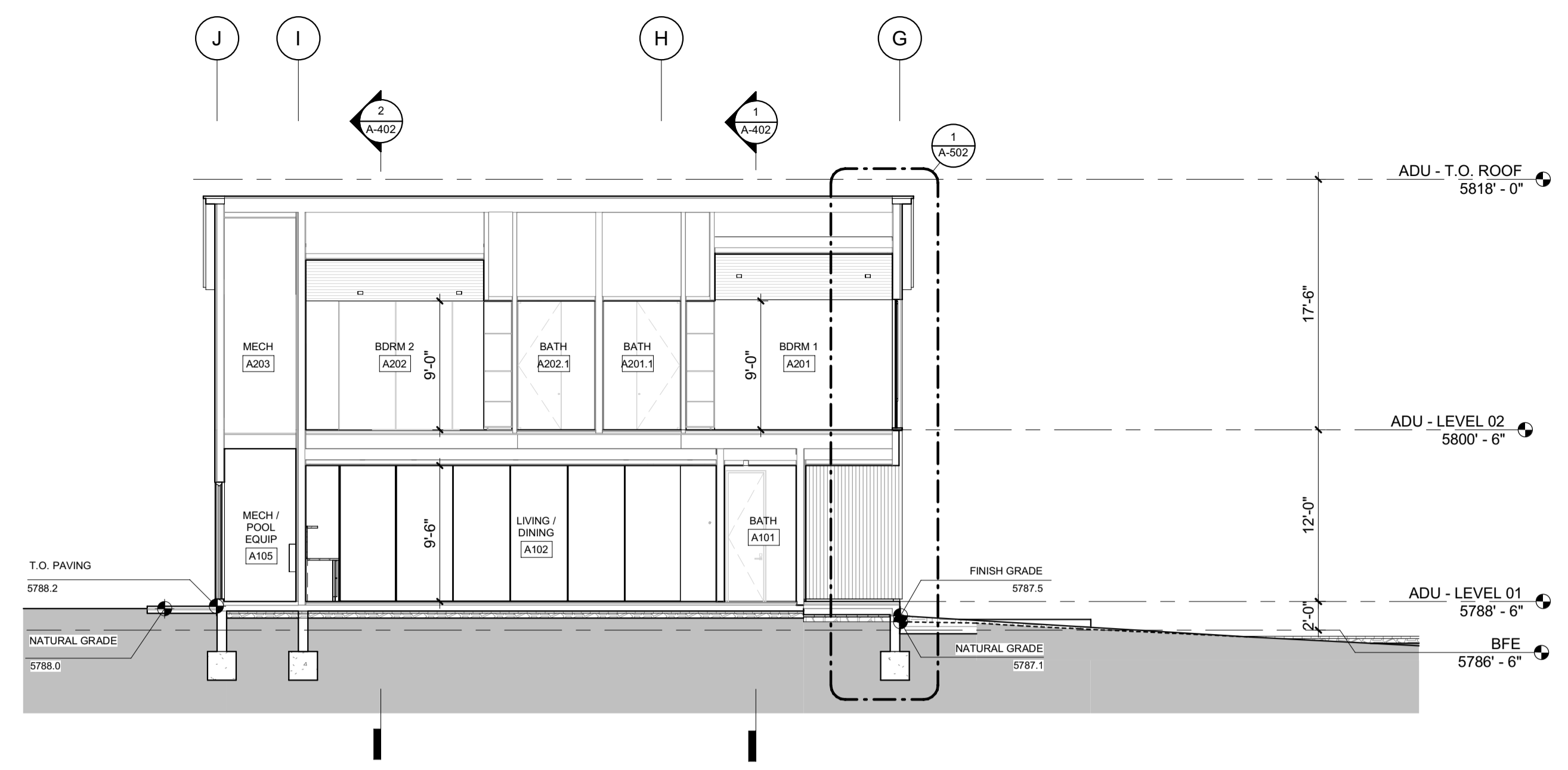
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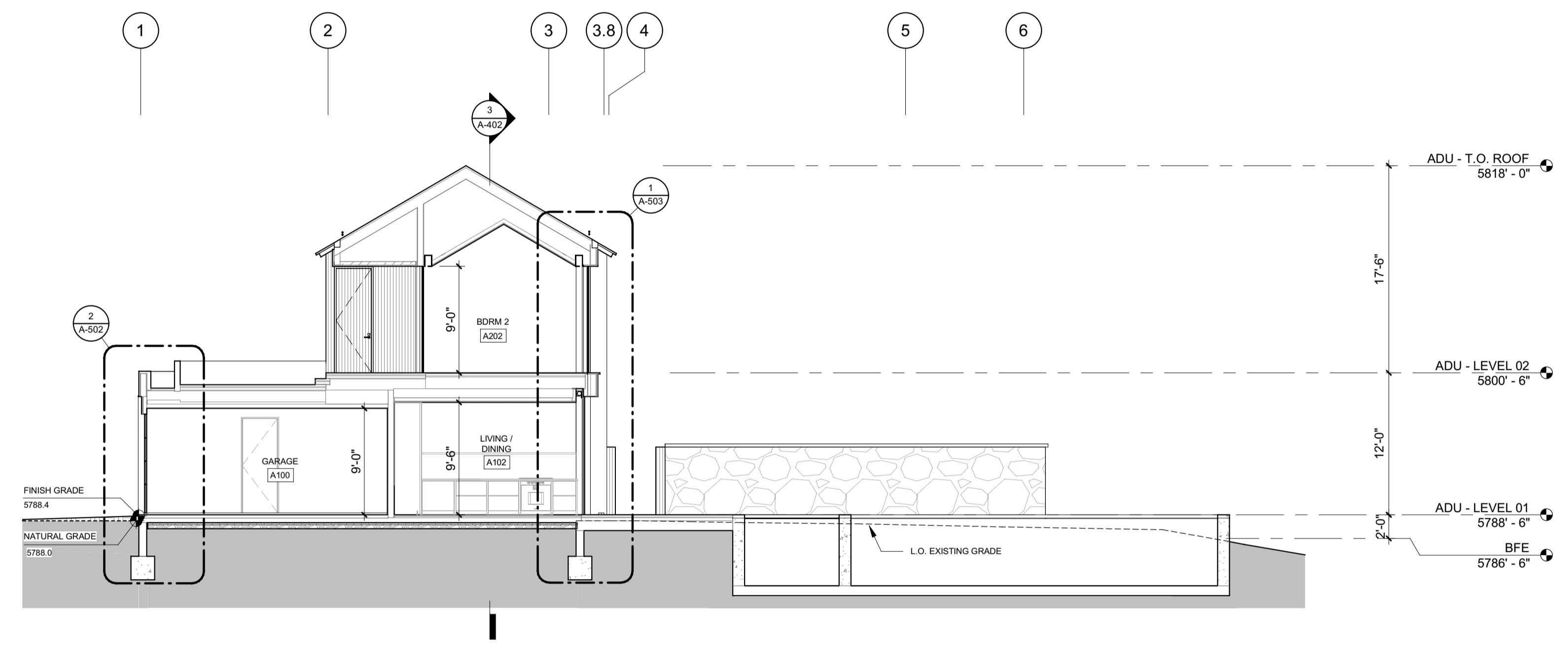
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BLD2303-00021
9/6/26/23

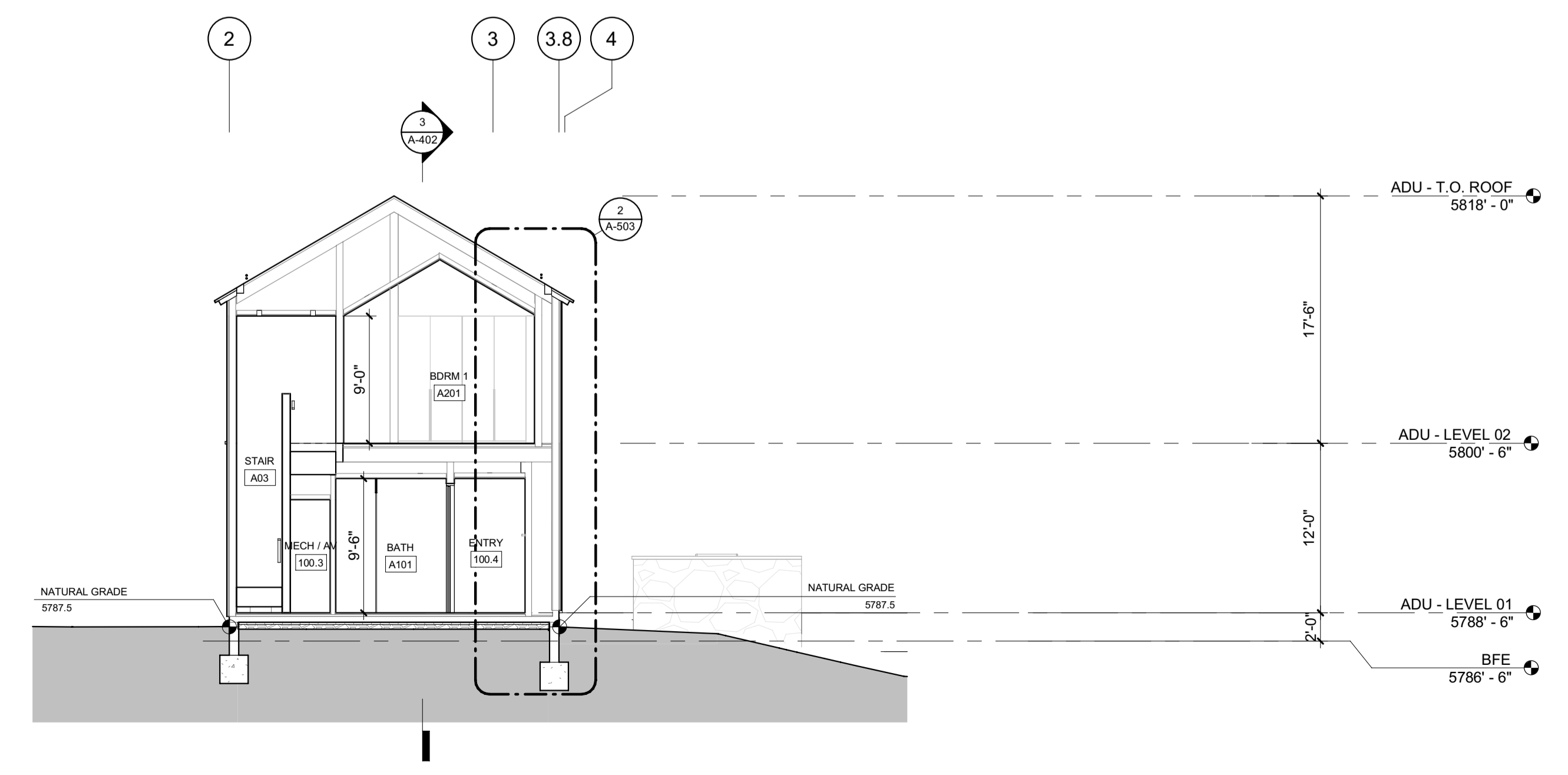
2/26/23



3 1/8" = 1'-0" ADU BUILDING SECTION E-W



2 1/8" = 1'-0" ADU BUILDING SECTION N-S 2



1 1/8" = 1'-0" ADU BUILDING SECTION N-S 1

BADGER RESIDENCE

OWNER:
121 BADGER LANE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340

PROJECT ARCHITECT:
RO | ROCKETT DESIGN
1031 W. MANCHESTER BLVD, UNIT 6
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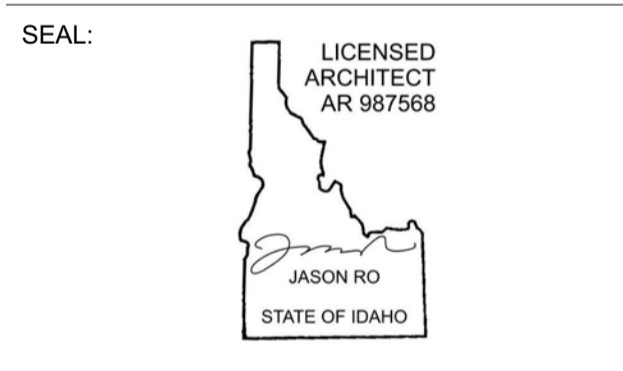
STRUCTURAL ENGINEER:
LFA
319 MAIN STREET
EL SEGUNDO, CA 90245
TEL: 213.239.9700

MEP ENGINEER:
CES ENGINEERING SERVICES, LLC
1001 W OAK BUILDING B SUITE 107
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0	02.28.23	BUILDING PERMIT
NO	DATE	ISSUE

PROJECT:
BADGER RESIDENCE
121 BADGER LANE
KETCHUM, ID 83340

PROJECT NUMBER:
#2201

DRAWING TITLE:
BUILDING SECTIONS / ADU

DRAWING NUMBER:
A-402

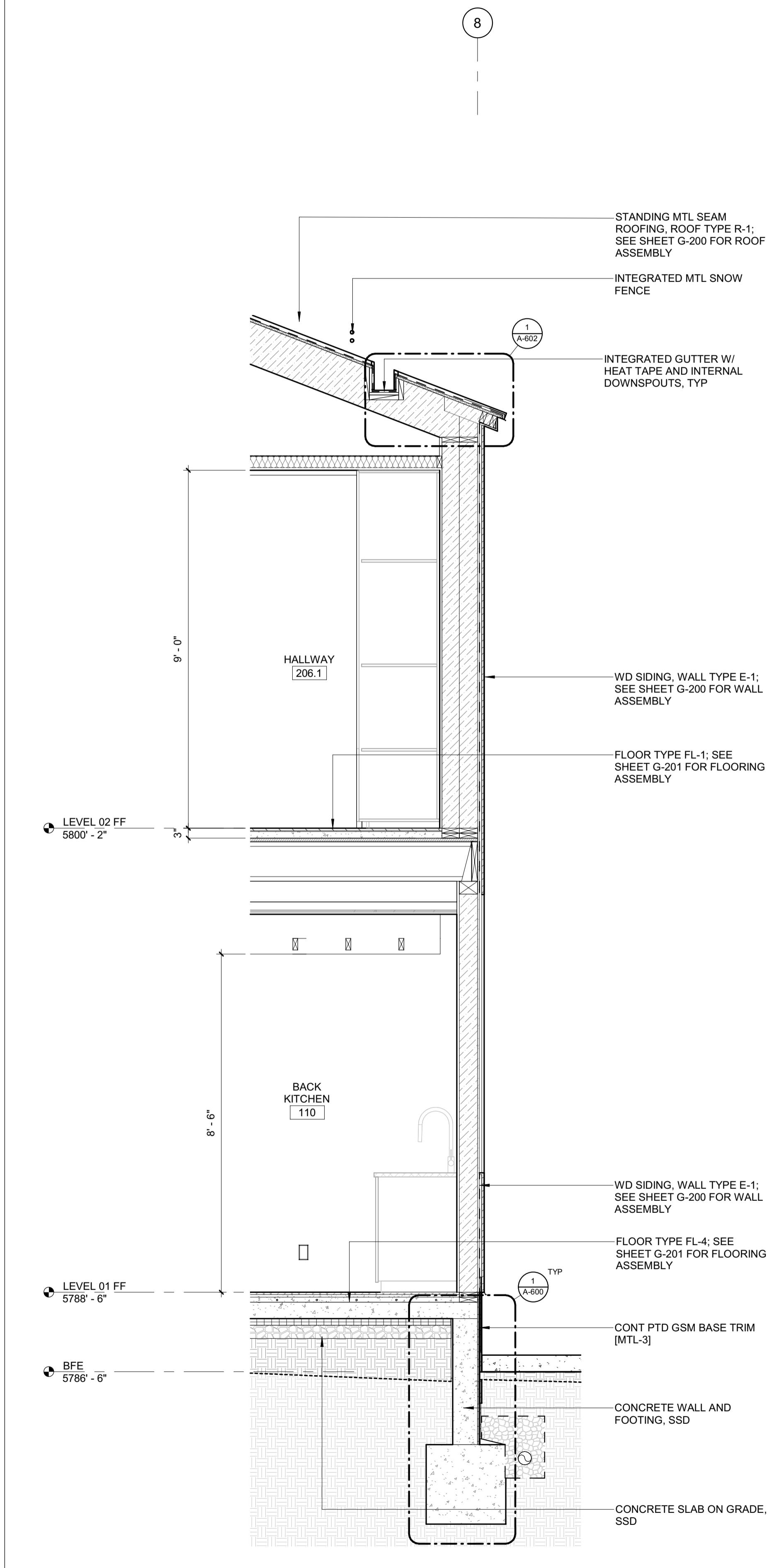
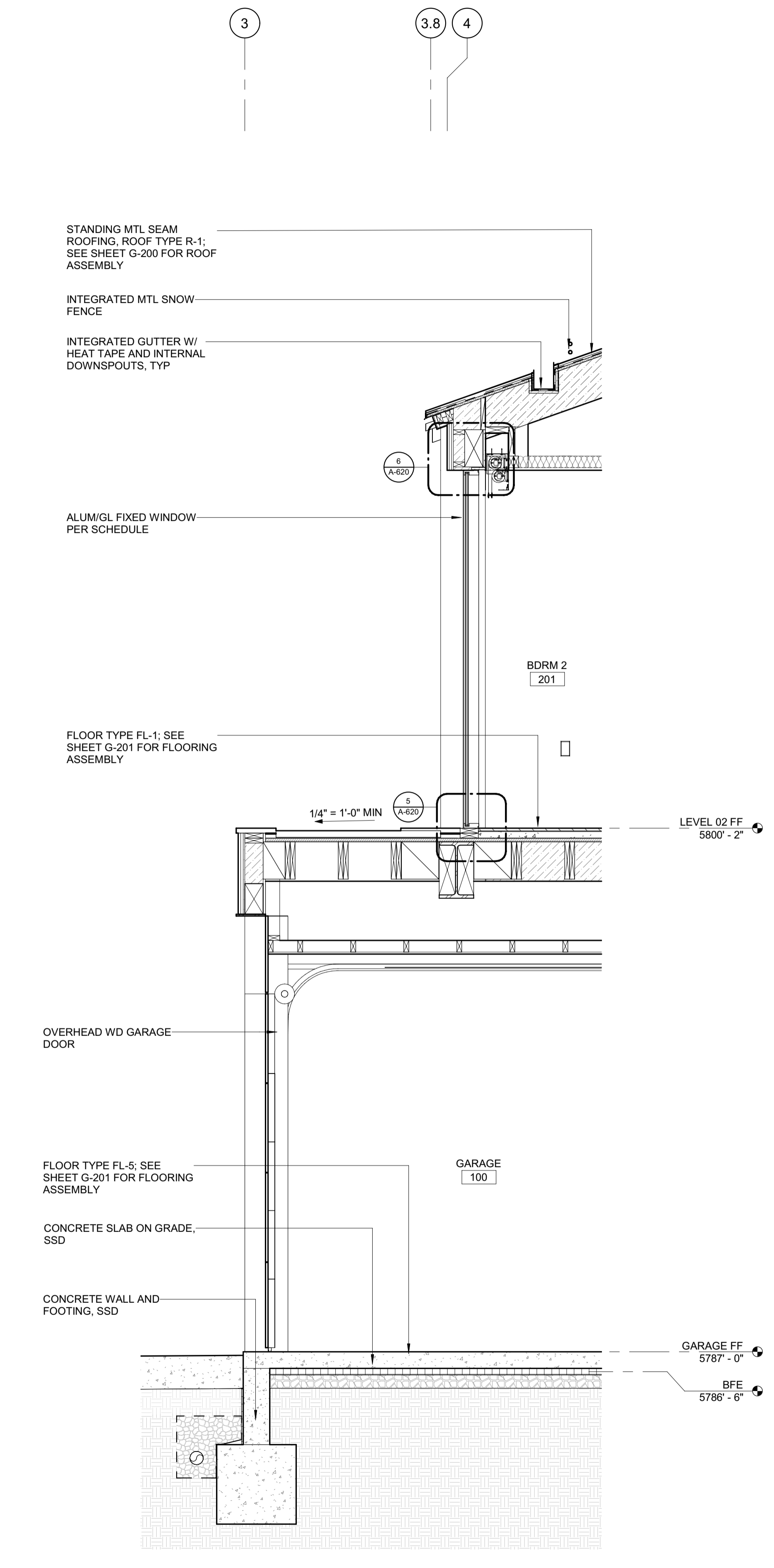
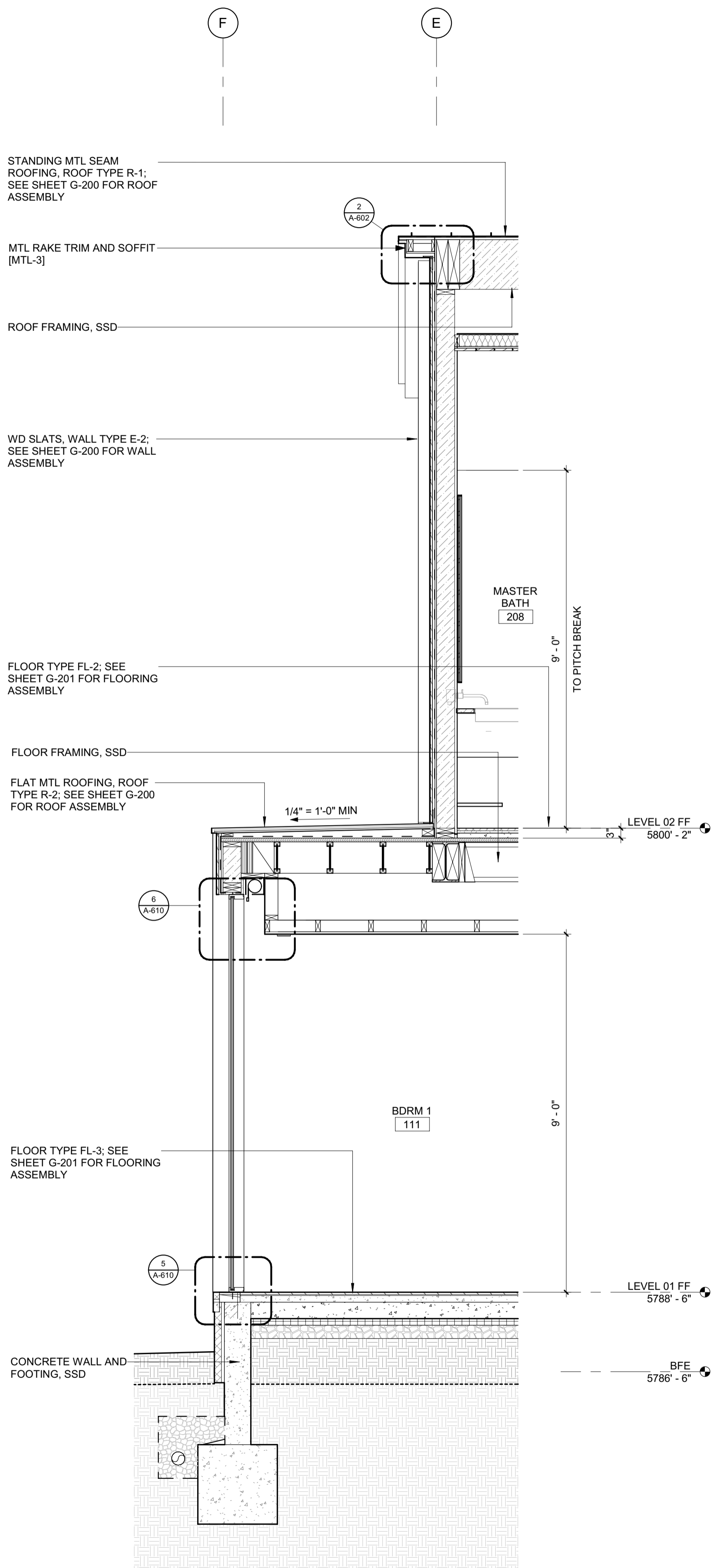
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BLD2303-00021
9/6/26/23

2/28/23



BADGER RESIDENCE

OWNER:
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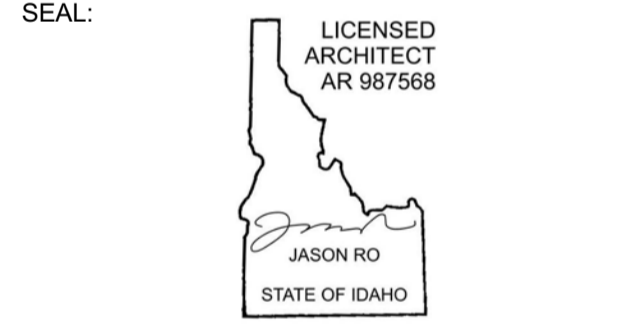
STRUCTURAL ENGINEER:
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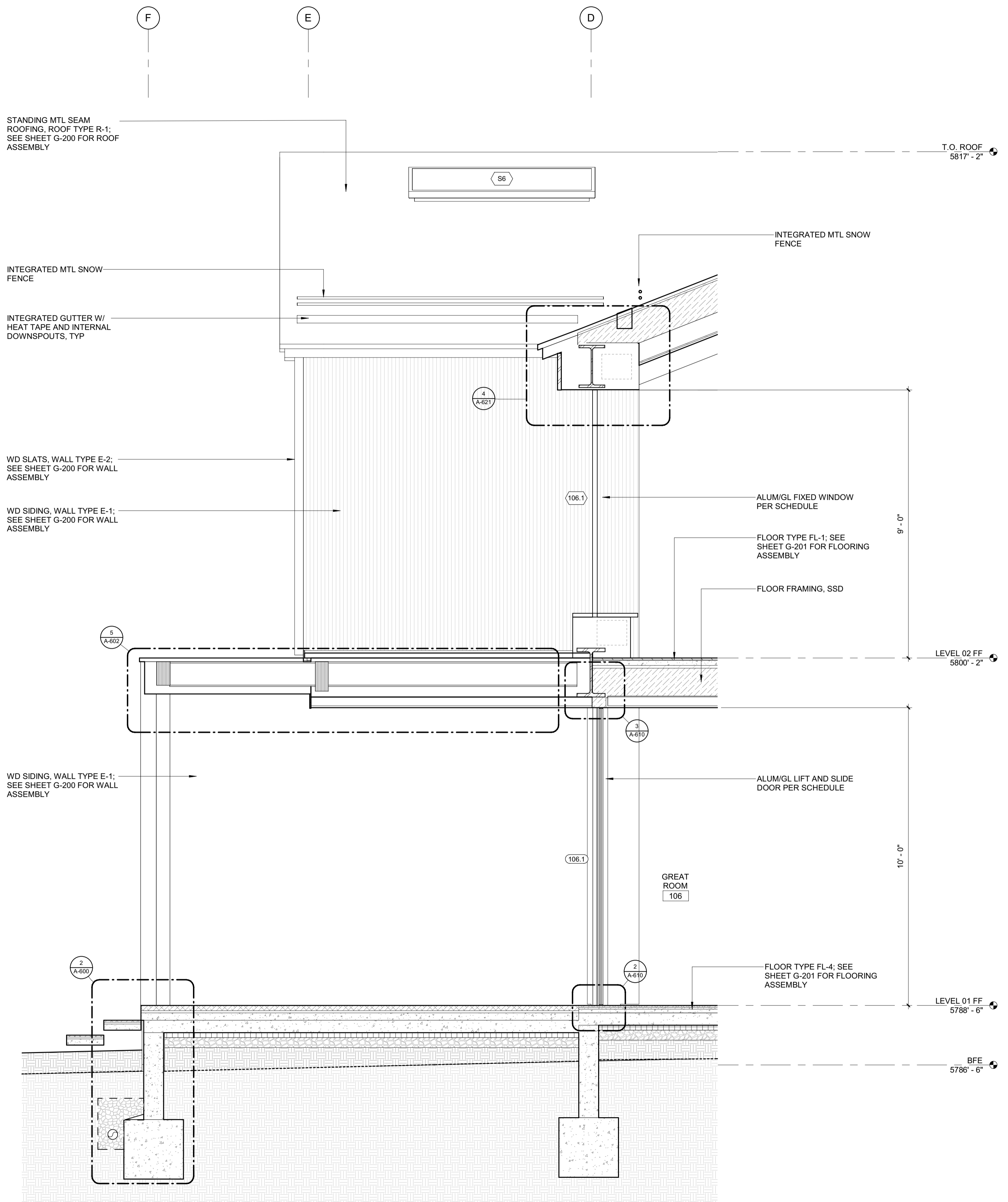
0	02.28.23	BUILDING PERMIT
NO	DATE	ISSUE

PROJECT:
BADGER RESIDENCE
121 BADGER LANE
KETCHUM, ID 83340

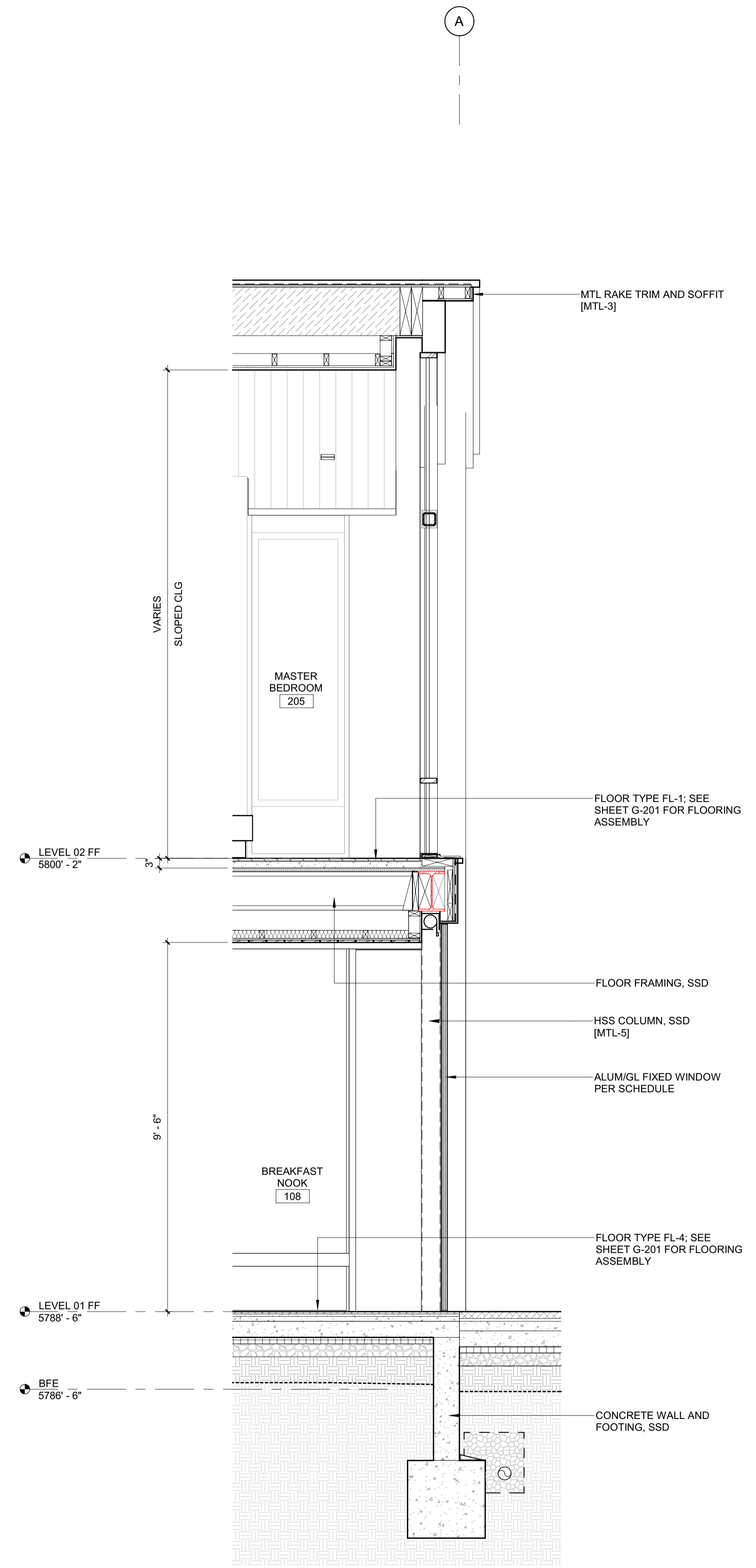
PROJECT NUMBER
#2201

DRAWING TITLE:
WALL SECTIONS

DRAWING NUMBER:
A-500



2 1/2" = 1'-0" WALL SECTION E-W 2



1 1/2" = 1'-0" WALL SECTION @ MH WEST

BADGER RESIDENCE

OWNER:
 121 BADGER LANE LLC
 P.O. BOX 14001-174
 KETCHUM, ID 83340

PROJECT ARCHITECT:
 RO | ROCKETT DESIGN
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SURVEYOR:
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 HAILEY, ID 83333
 TEL: 208.788.1705

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 SAWTOOTH ENVIRONMENTAL CONSULTING
 P.O. BOX 2707 / 540 NORTH FIRST AVE
 KETCHUM, ID 83340
 TEL: 208.727.9748

HYDROLOGY / WATER ENGINEERING:
 BROCKWAY ENGINEERING, INC.
 2018 WASHINGTON ST NORTH, SUITE 4
 TWIN FALLS, ID 83301
 TEL: 208.736-8543

GEOTECHNICAL ENGINEER:
 BUTLER ASSOCIATES, INC.
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 KETCHUM, ID 83340
 TEL: 208.720.6432

LANDSCAPE ARCHITECT:
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 323 LEWIS STREET, SUITE N
 KETCHUM, ID 83340
 TEL: 208.726.5907

CIVIL ENGINEER:
 BENCHMARK ASSOCIATES, P.A.
 P.O. BOX 733 - 100 BELL DRIVE
 KETCHUM, IDAHO 83340
 TEL: 208.726.9512

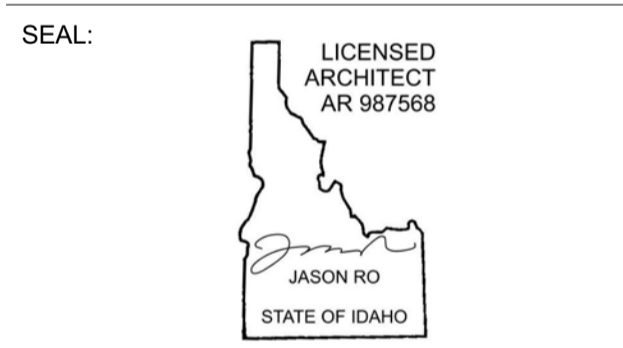
STRUCTURAL ENGINEER:
 LFA
 319 MAIN STREET
 EL SEGUNDO, CA 90245
 TEL: 213.239.9700

MEP ENGINEER:
 CES ENGINEERING SERVICES, LLC
 1001 W OAK BUILDING B SUITE 107
 BOZEMAN, MT 59715
 TEL: 406.272.0352

LIGHTING DESIGN CONSULTANT:
 KGM ARCHITECTURAL LIGHTING
 270 CORAL CIRCLE
 EL SEGUNDO, CA 90245
 TEL: 310.552.2191

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NO	DATE	BUILDING PERMIT	ISSUE
0	02.28.23		

PROJECT:
BADGER RESIDENCE
 121 BADGER LANE
 KETCHUM, ID 83340

PROJECT NUMBER
#2201

DRAWING TITLE:
WALL SECTIONS

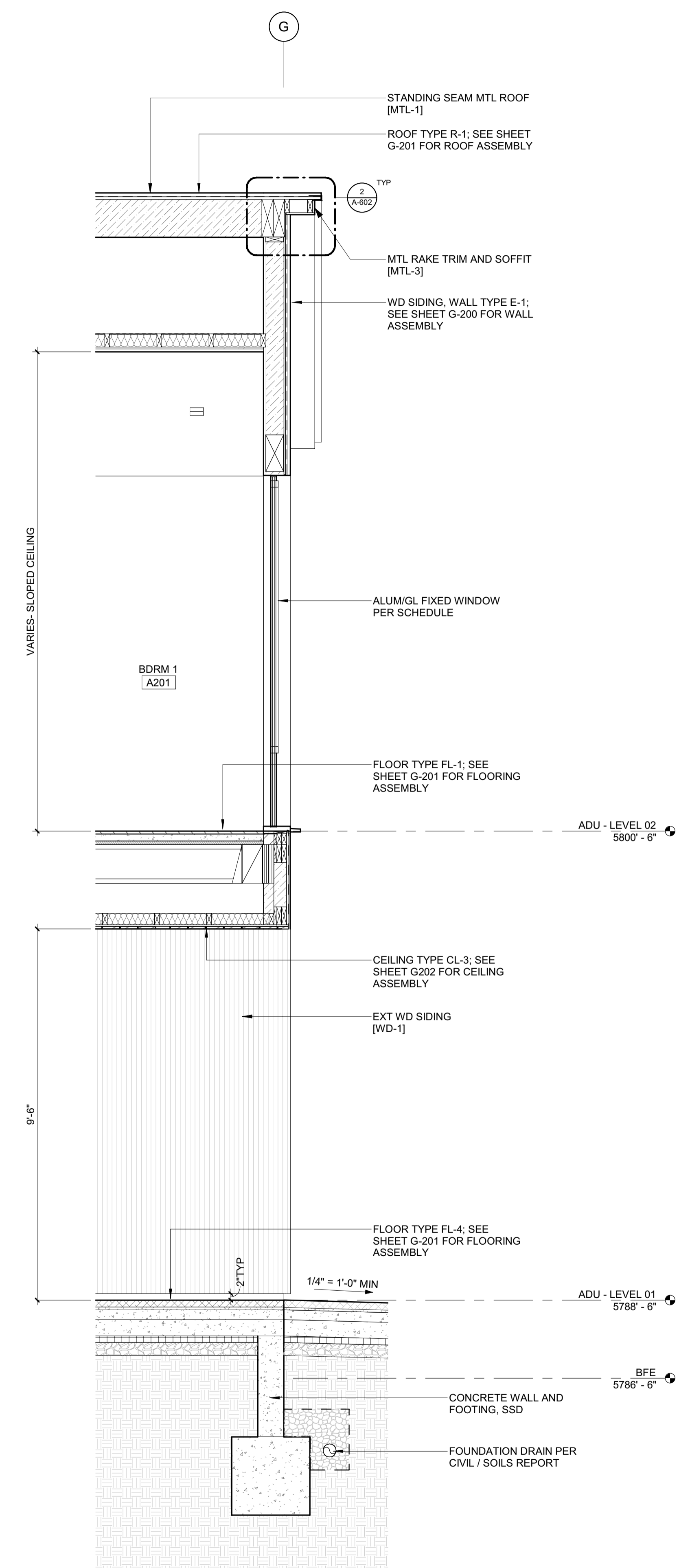
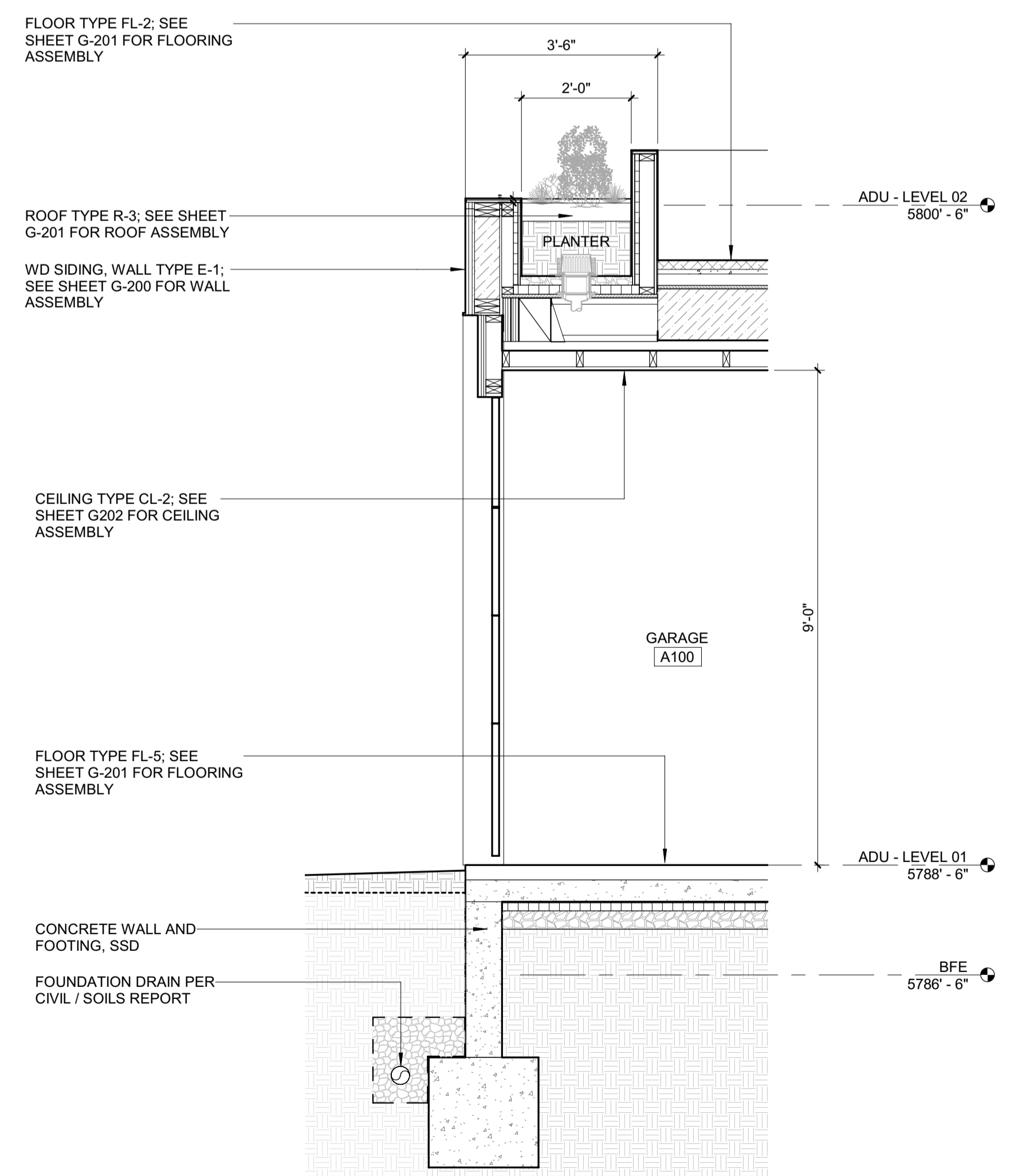
DRAWING NUMBER:
A-501



These plans have been found to be in substantial compliance with the adopted building codes. These documents are approved contingent on compliance with the mark-ups and notes applied. This is not approval of any code, ordinance, statute or regulation. Corrections will be required for code violations found during the inspection process.

BLD2303-00021
06/26/23

2/26/23



BADGER RESIDENCE

OWNER:
121 BADGER LANE LLC
P.O. BOX 14001-174
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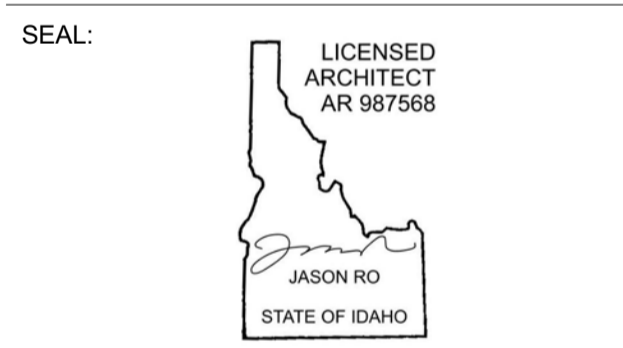
STRUCTURAL ENGINEER:
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TEL: 213.239.9700

MEP ENGINEER:
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NO	DATE	BUILDING PERMIT	ISSUE
0	02.28.23	BUILDING PERMIT	

PROJECT:
BADGER RESIDENCE
121 BADGER LANE
KETCHUM, ID 83340

PROJECT NUMBER
#2201

DRAWING TITLE:
WALL SECTIONS / ADU

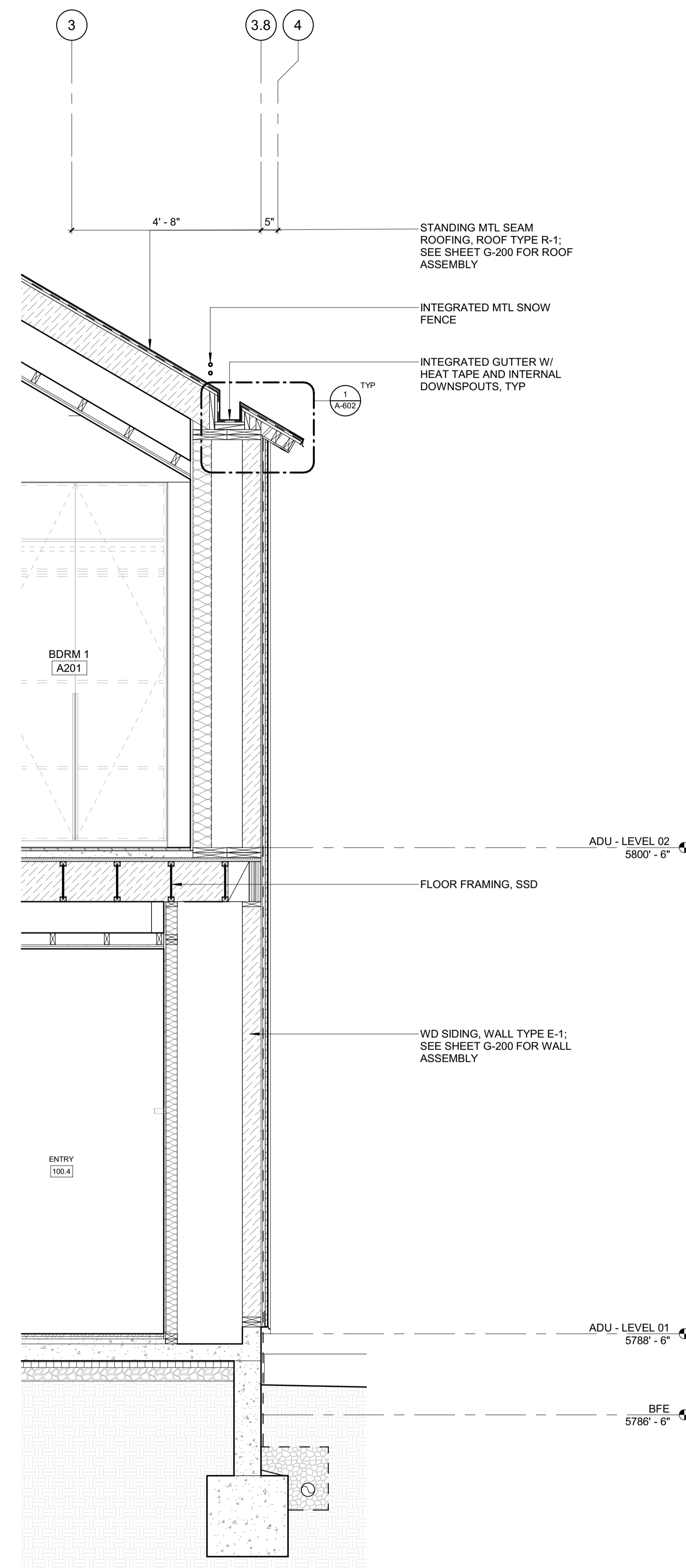
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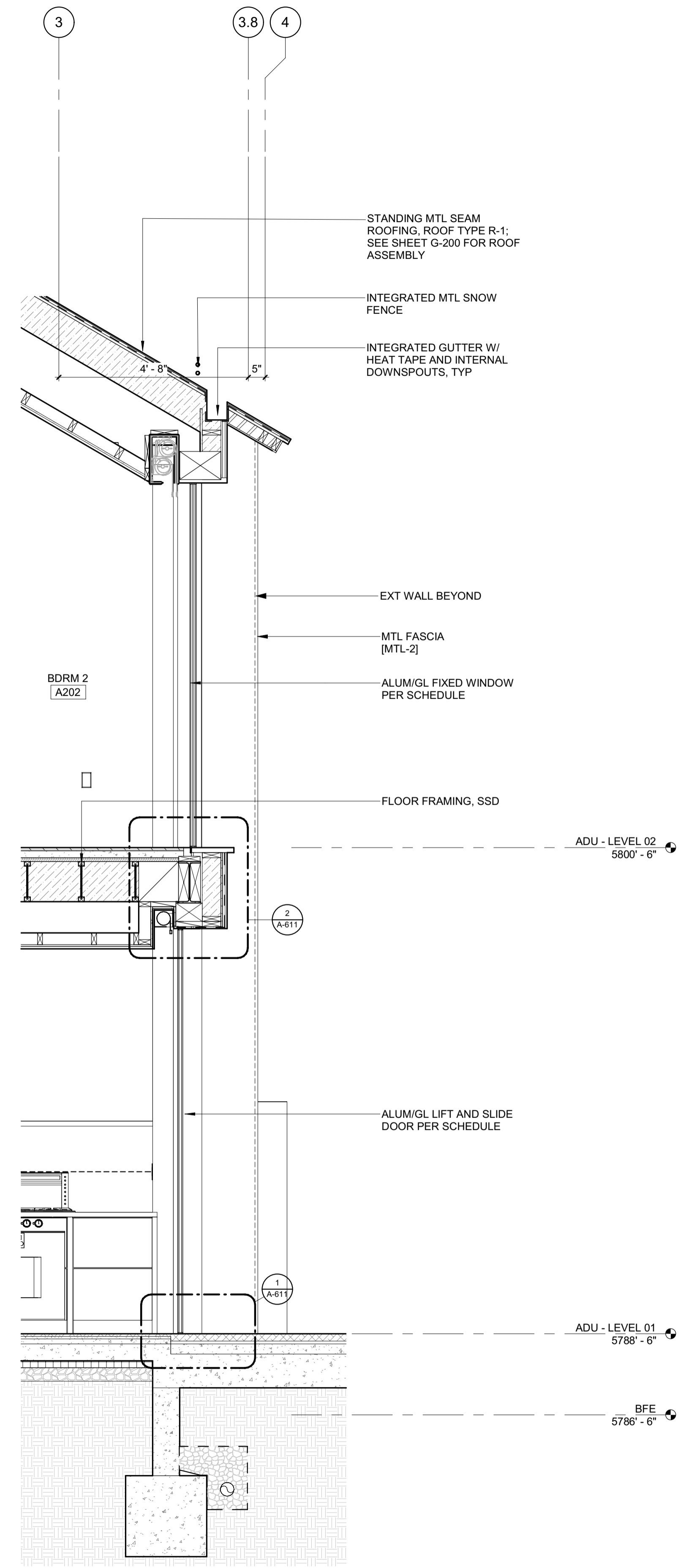
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BLD2303-00021
06/26/23

2/26/23



2 1/2" = 1'-0" WALL SECTION @ ADU SOUTH 2



1 1/2" = 1'-0" WALL SECTION @ ADU SOUTH 1

BADGER RESIDENCE

OWNER:
121 BADGER LANE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340

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TEL: 208.736-8543

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TEL: 208.720.6432

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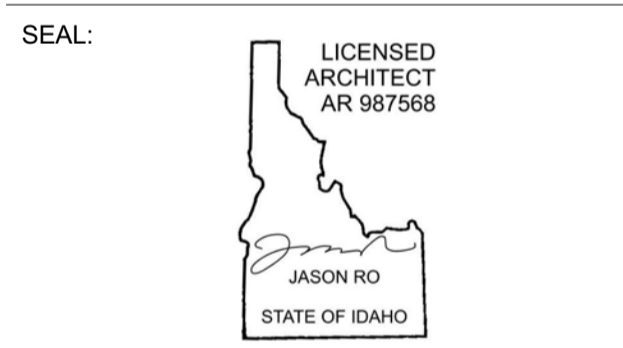
STRUCTURAL ENGINEER:
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319 MAIN STREET
EL SEGUNDO, CA 90245
TEL: 213.239.9700

MEP ENGINEER:
CES ENGINEERING SERVICES, LLC
1001 W OAK BUILDING B SUITE 107
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TEL: 310.552.2191

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NO	DATE	BUILDING PERMIT	ISSUE
0	02.28.23	BUILDING PERMIT	

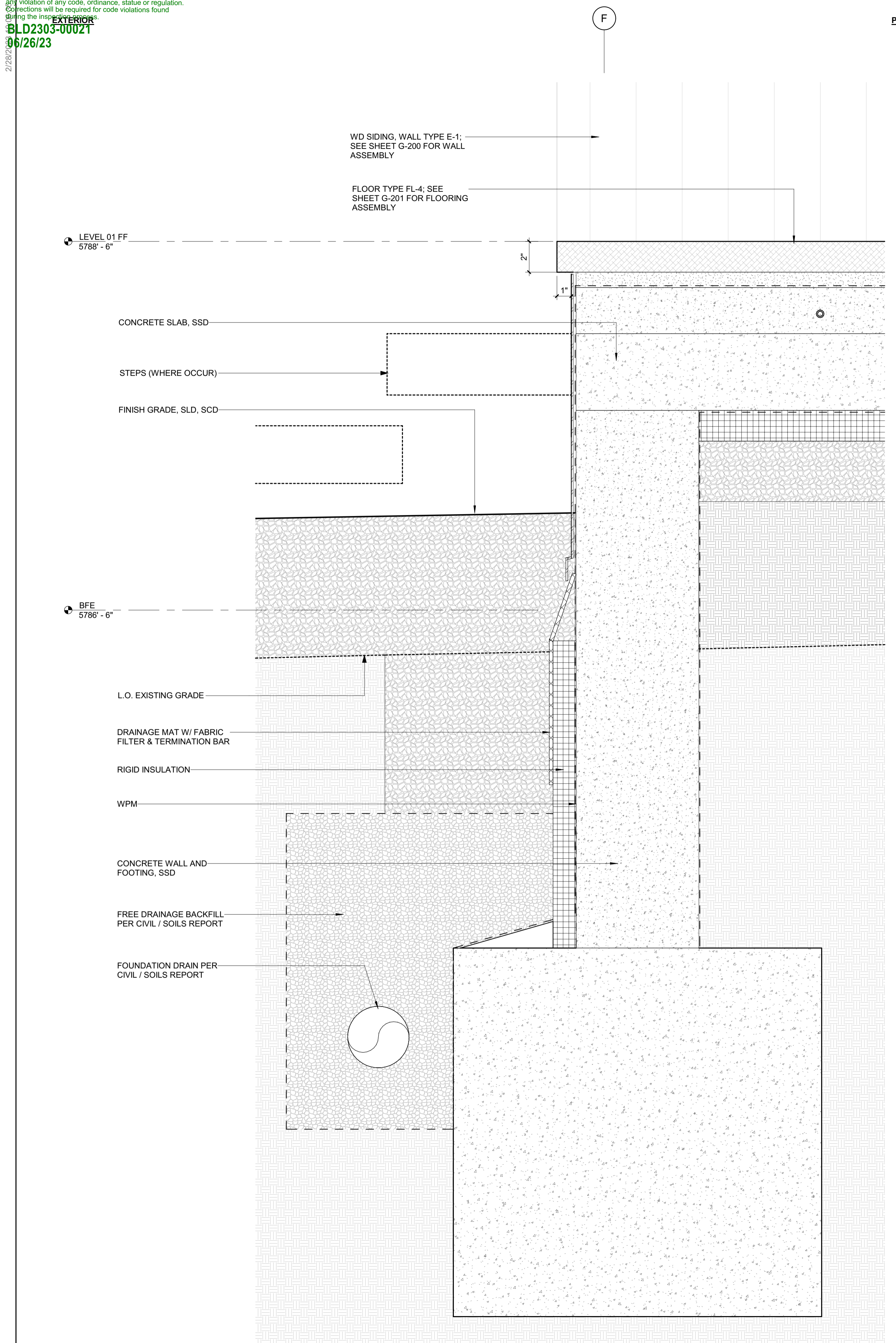
PROJECT:
BADGER RESIDENCE
121 BADGER LANE
KETCHUM, ID 83340

PROJECT NUMBER
#2201

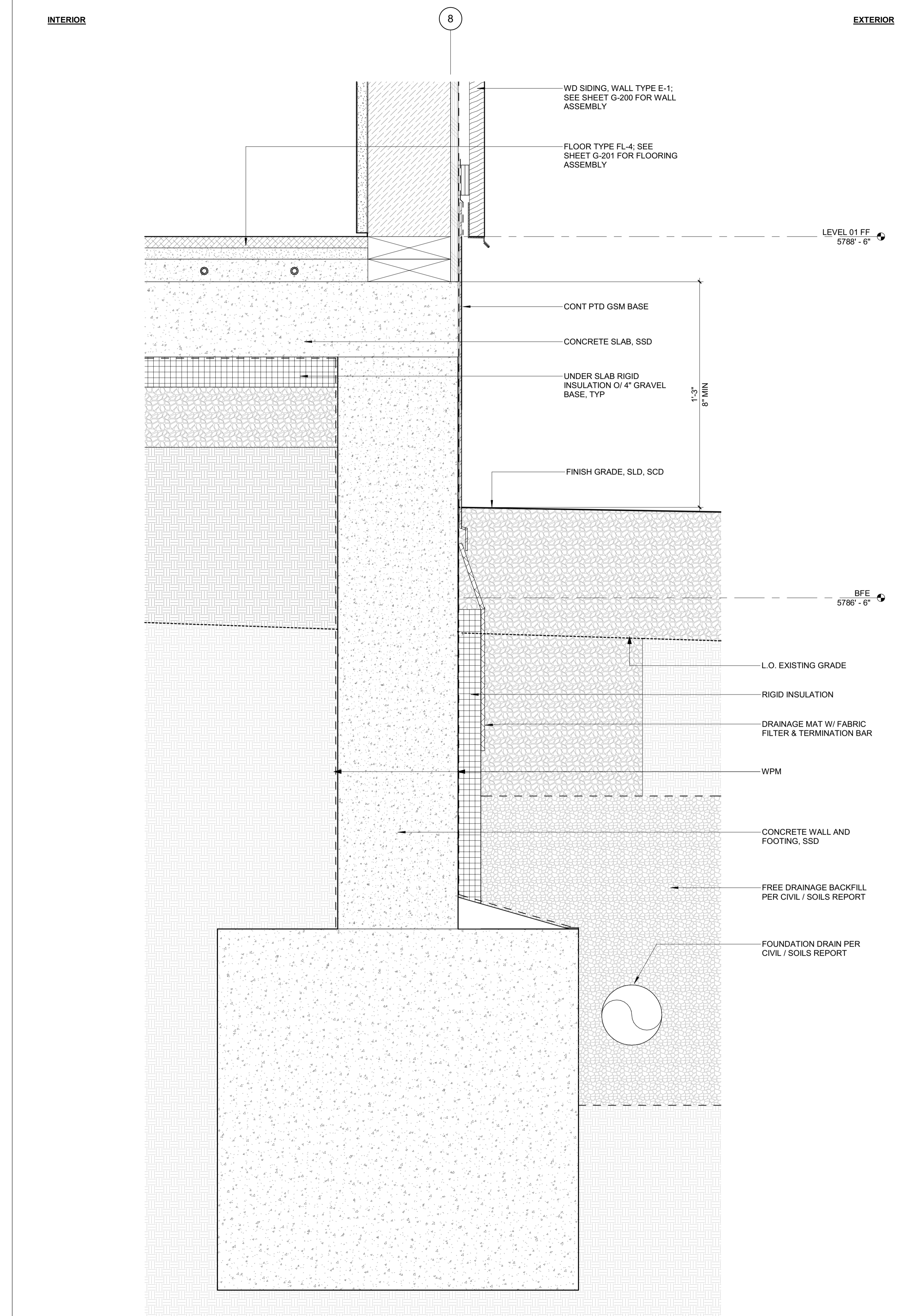
DRAWING TITLE:
WALL SECTIONS / ADU

DRAWING NUMBER:
A-503

Approved
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 EXTERIOR
 BLD2303-00021
 9/6/26/23



2 3" = 1'-0" DETAIL / TYP BASE 2



1 3" = 1'-0" DETAIL / TYP BASE

BADGER RESIDENCE

OWNER:
 121 BADGER LANE LLC
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 KETCHUM, ID 83340

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SEAL:


0	02.28.23	BUILDING PERMIT
NO	DATE	ISSUE

PROJECT:
BADGER RESIDENCE
 121 BADGER LANE
 KETCHUM, ID 83340

PROJECT NUMBER
#2201

DRAWING TITLE:
DETAILS / EXTERIOR

DRAWING NUMBER:
A-600



These plans have been found to be in substantial compliance with the applicable building codes. These documents are approved contingent on compliance with the mark-ups and notes applied. This is not approval of any code, ordinance, statute or regulation. Corrections will be required for code violations found during the inspection process.

BLD2303-00021
06/26/23

2/28/23

BADGER RESIDENCE

OWNER:
121 BADGER LANE LLC
P.O. BOX 14001-174
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CIVIL ENGINEER:
BENCHMARK ASSOCIATES, P.A.
P.O. BOX 733 - 100 BELL DRIVE
KETCHUM, IDAHO 83340
TEL: 208.726.9512

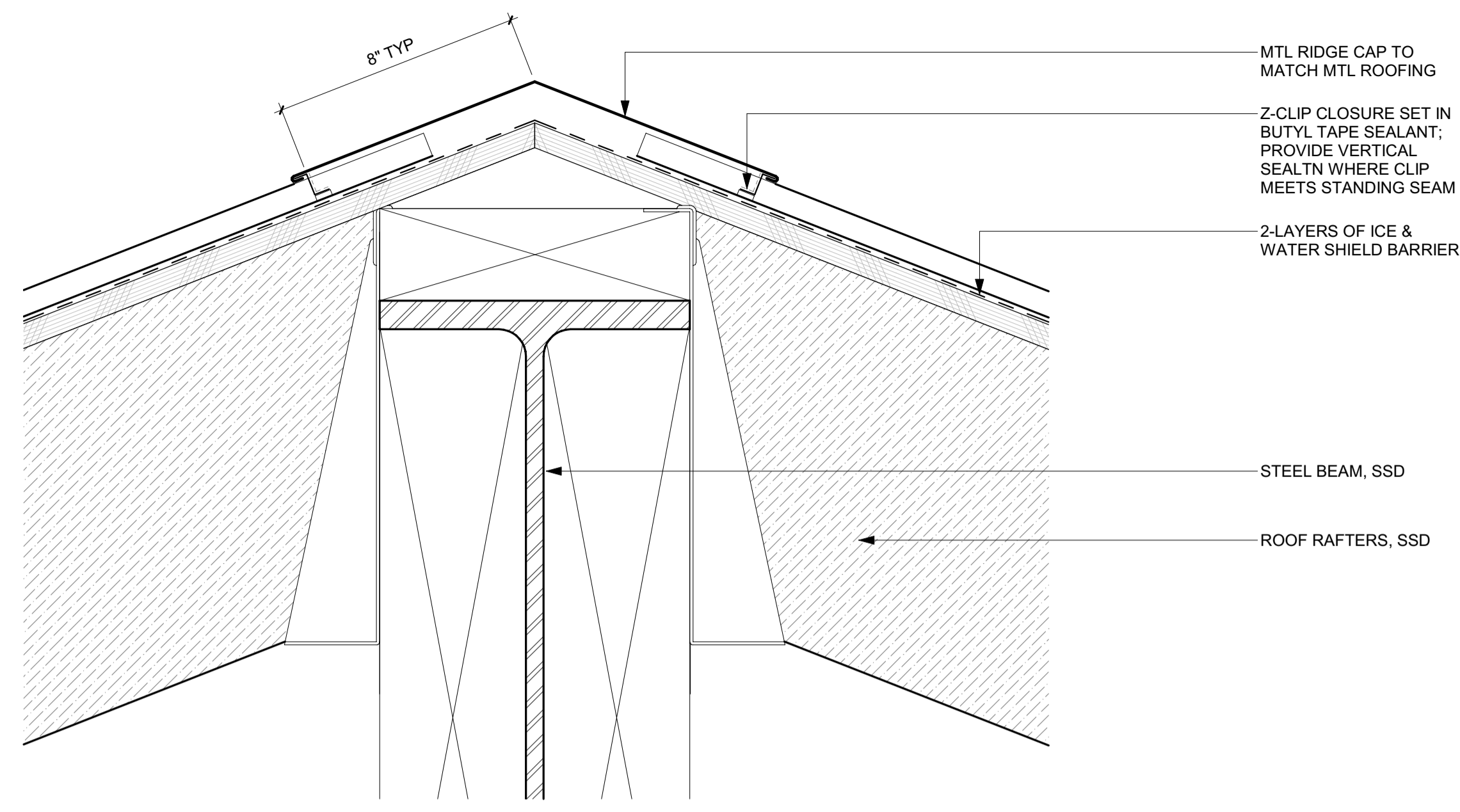
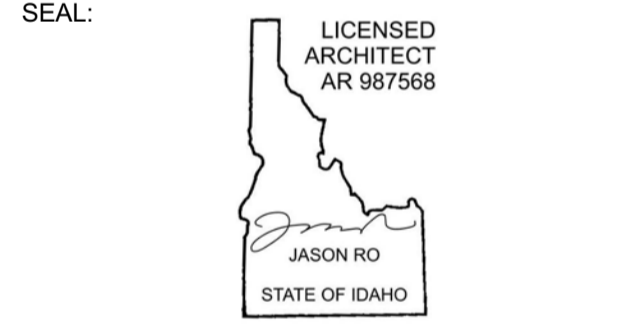
STRUCTURAL ENGINEER:
LFA
319 MAIN STREET
EL SEGUNDO, CA 90245
TEL: 213.239.9700

MEP ENGINEER:
CES ENGINEERING SERVICES, LLC
1001 W OAK BUILDING B SUITE 107
BOZEMAN, MT 59715
TEL: 406.272.0352

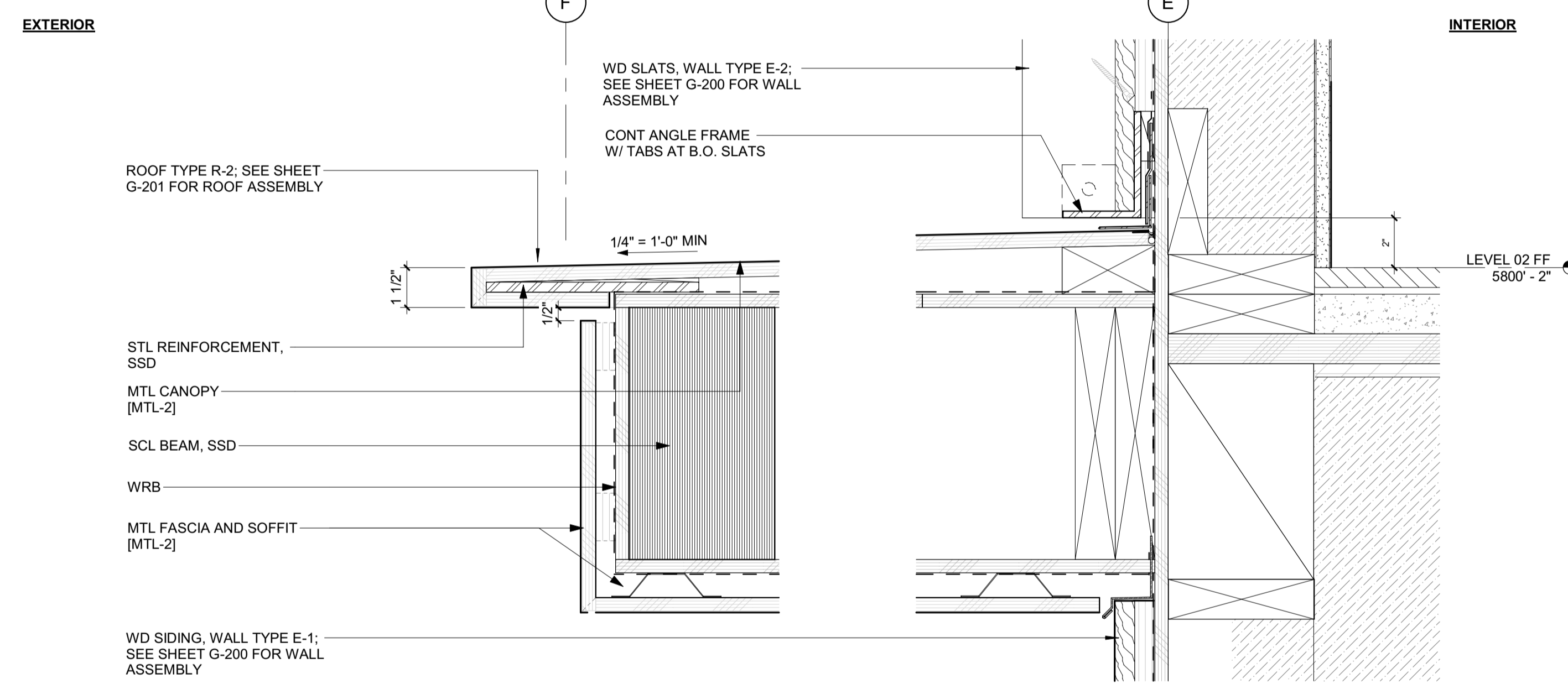
LIGHTING DESIGN CONSULTANT:
KGM ARCHITECTURAL LIGHTING
270 CORAL CIRCLE
EL SEGUNDO, CA 90245
TEL: 310.552.2191

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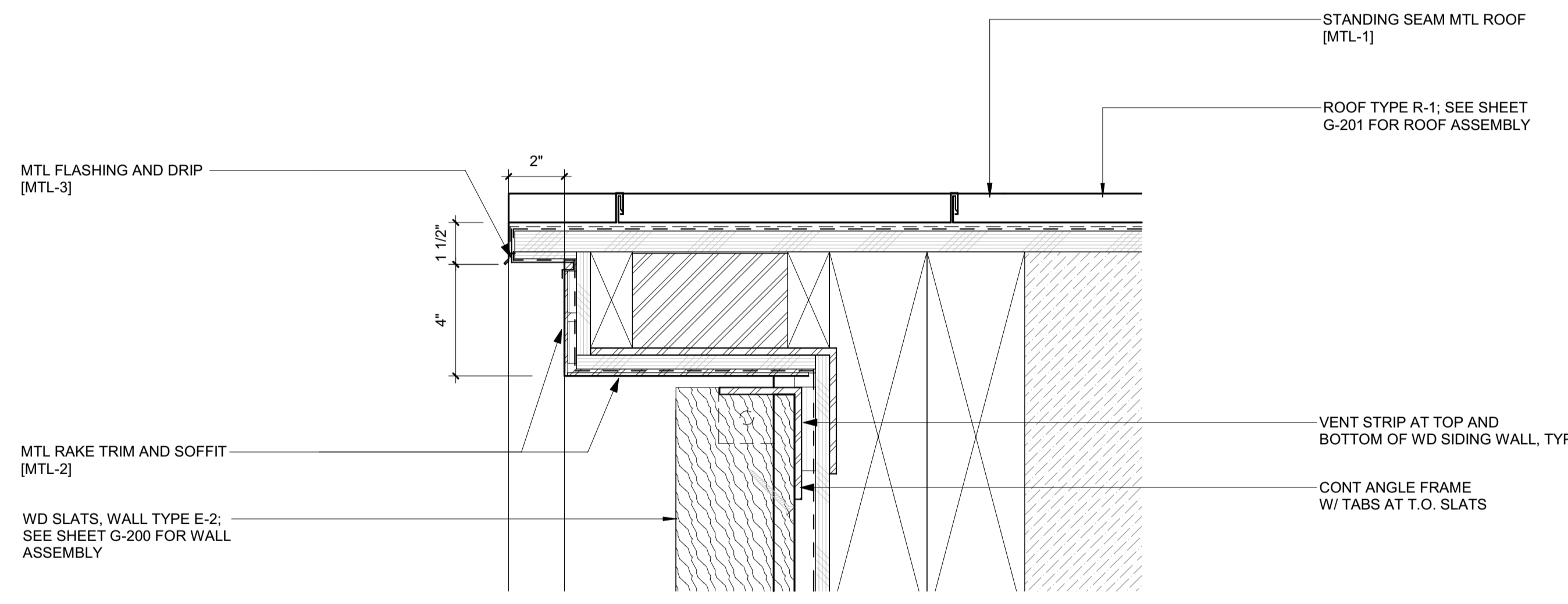
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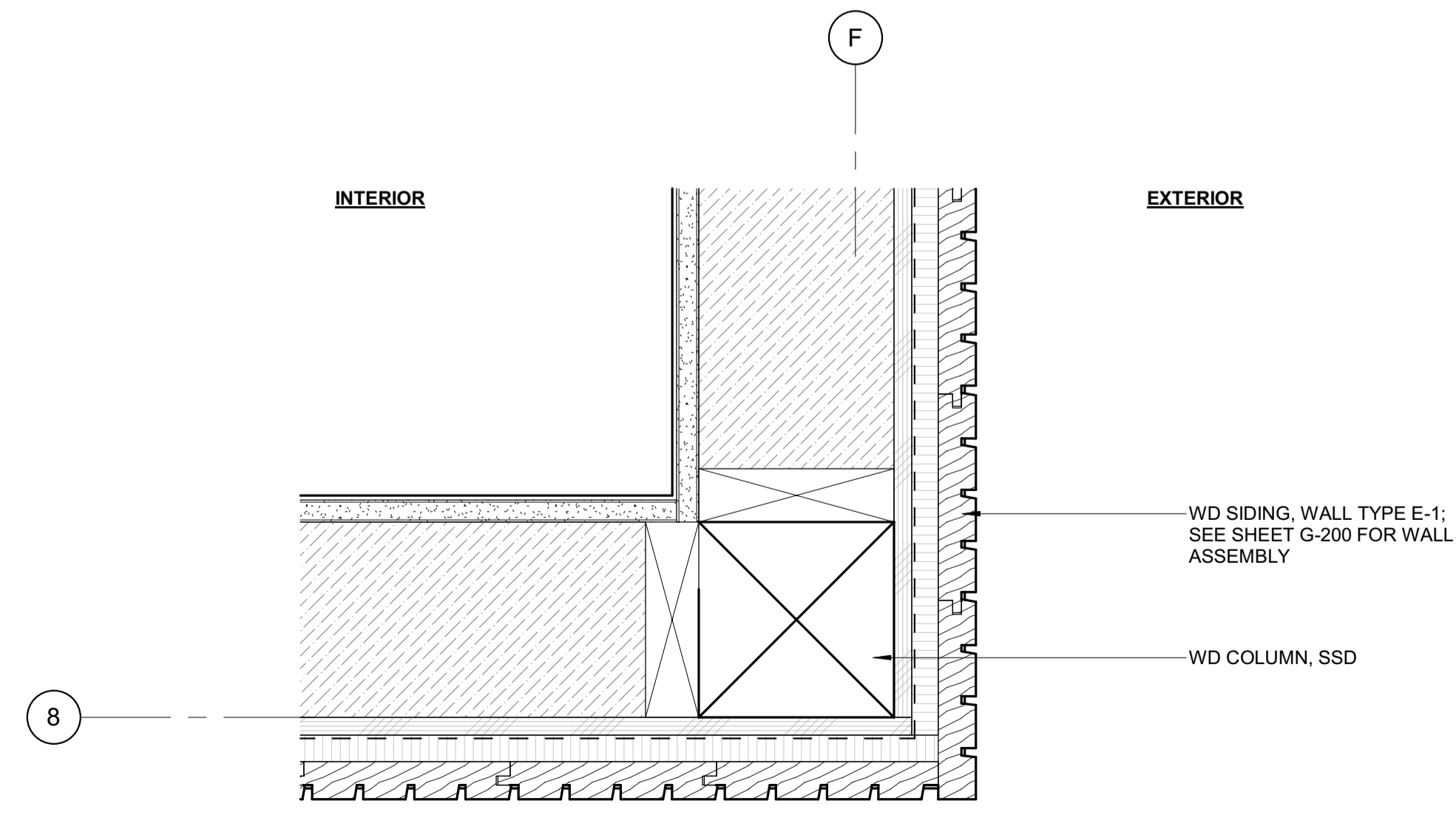
3 3" = 1'-0" DETAIL / TYP ROOF RIDGE



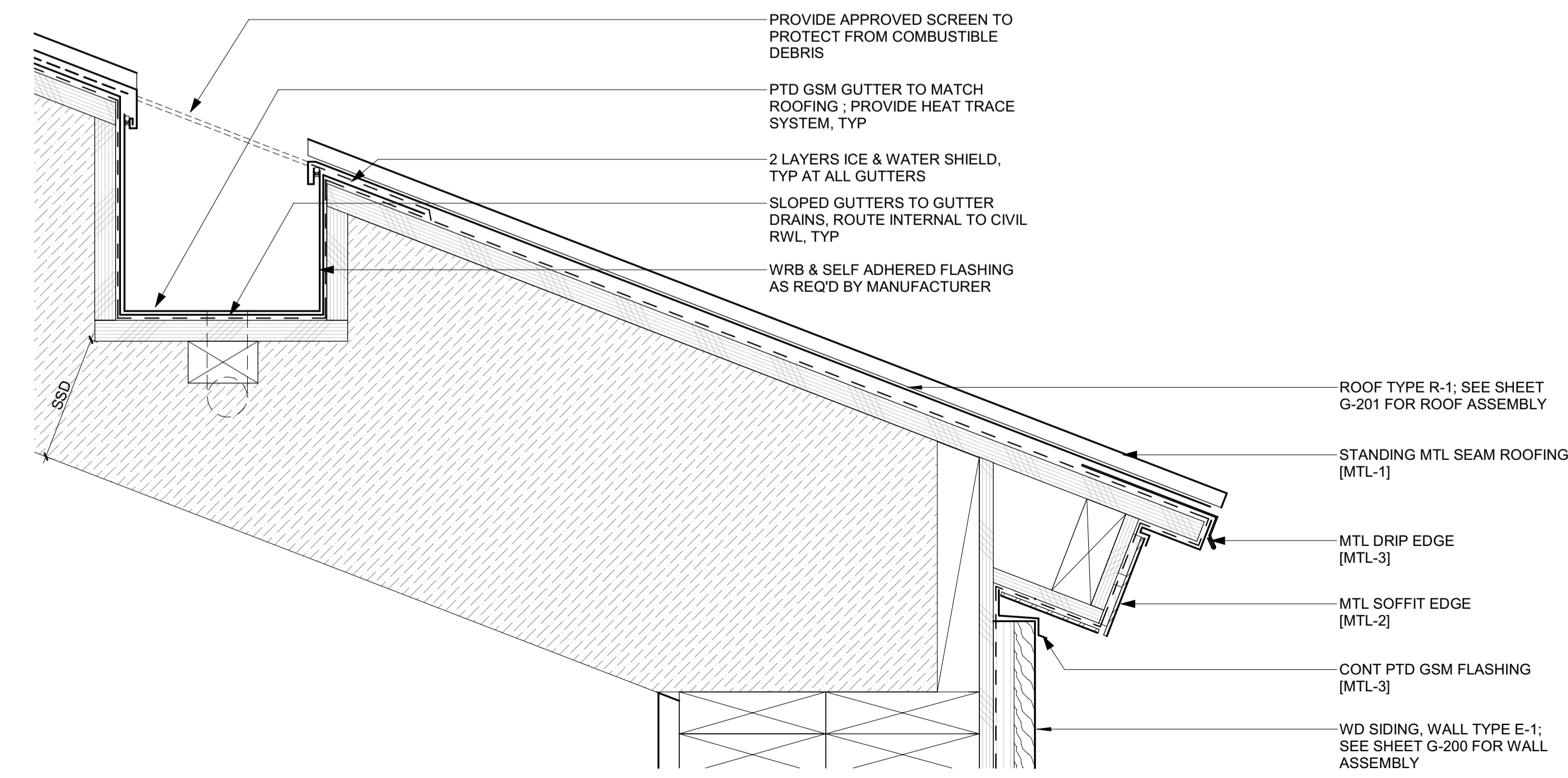
5 3" = 1'-0" DETAIL / CANOPY OVERHANG



2 3" = 1'-0" DETAIL / TYP RAKE END



4 3" = 1'-0" PLAN DETAIL / EXT CORNER TRIM @ WD SIDING



1 3" = 1'-0" DETAIL / TYP EAVE END + GUTTER

0	02.28.23	BUILDING PERMIT
NO	DATE	ISSUE

PROJECT:
BADGER RESIDENCE
121 BADGER LANE
KETCHUM, ID 83340

PROJECT NUMBER
#2201

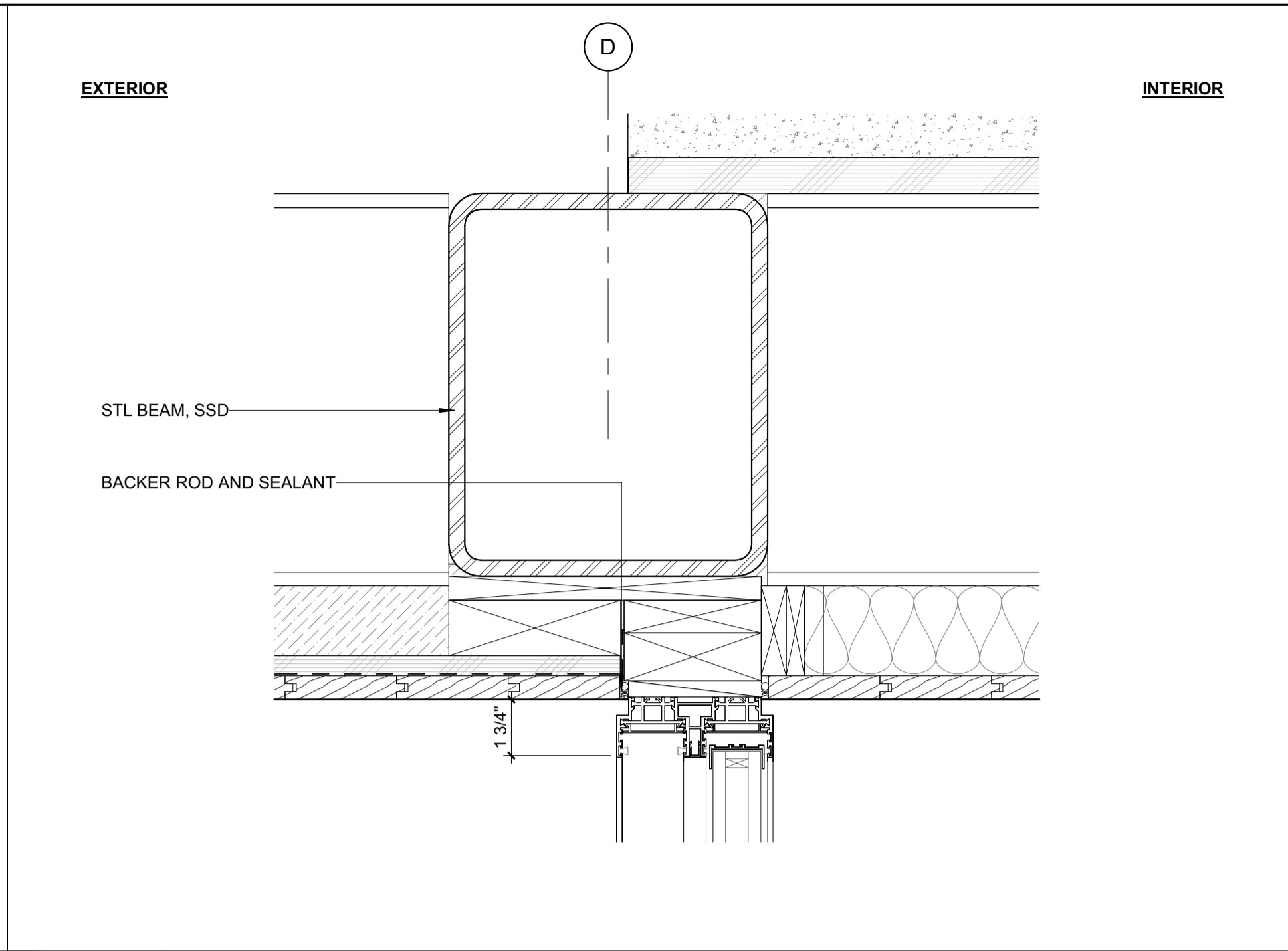
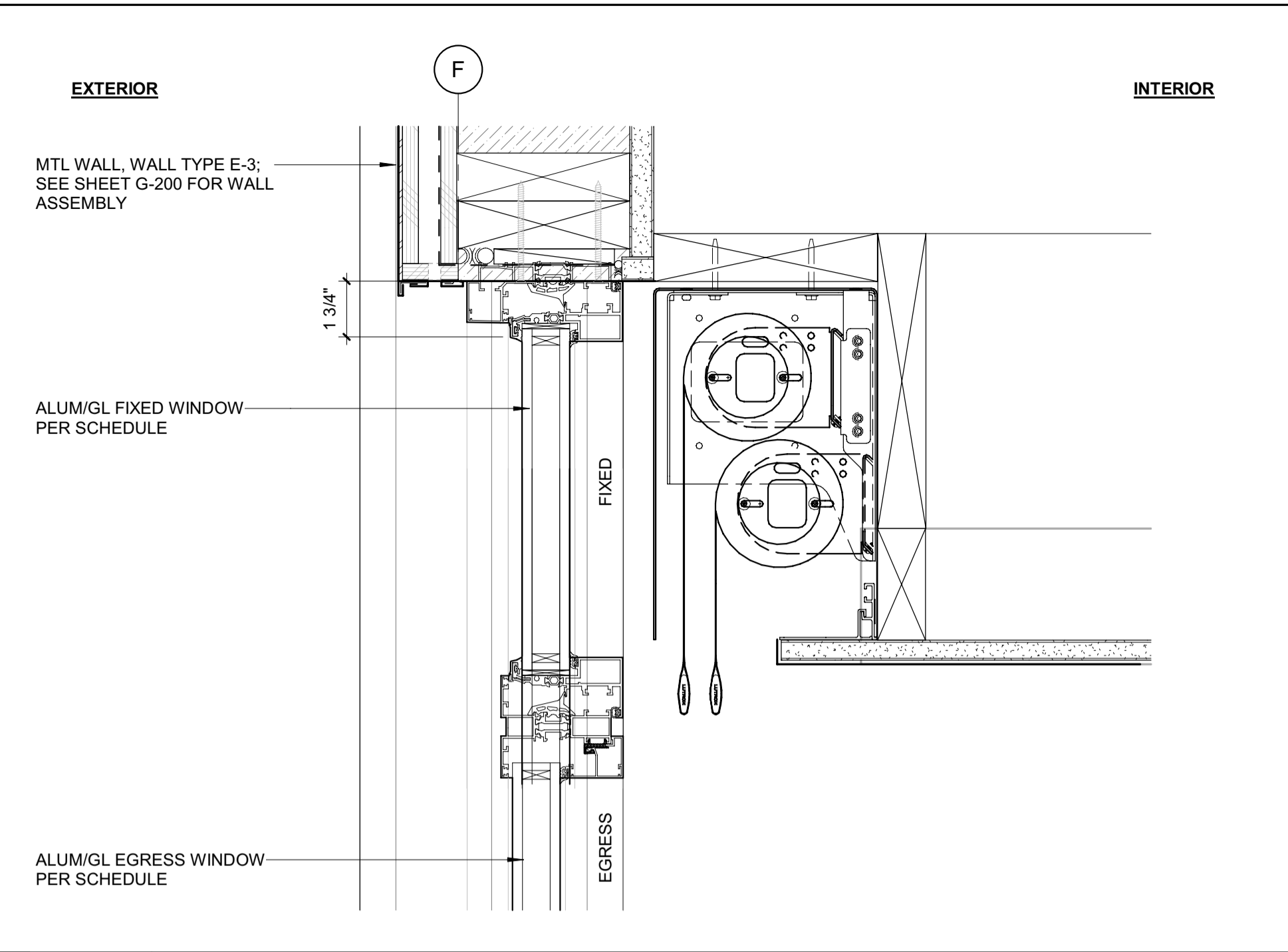
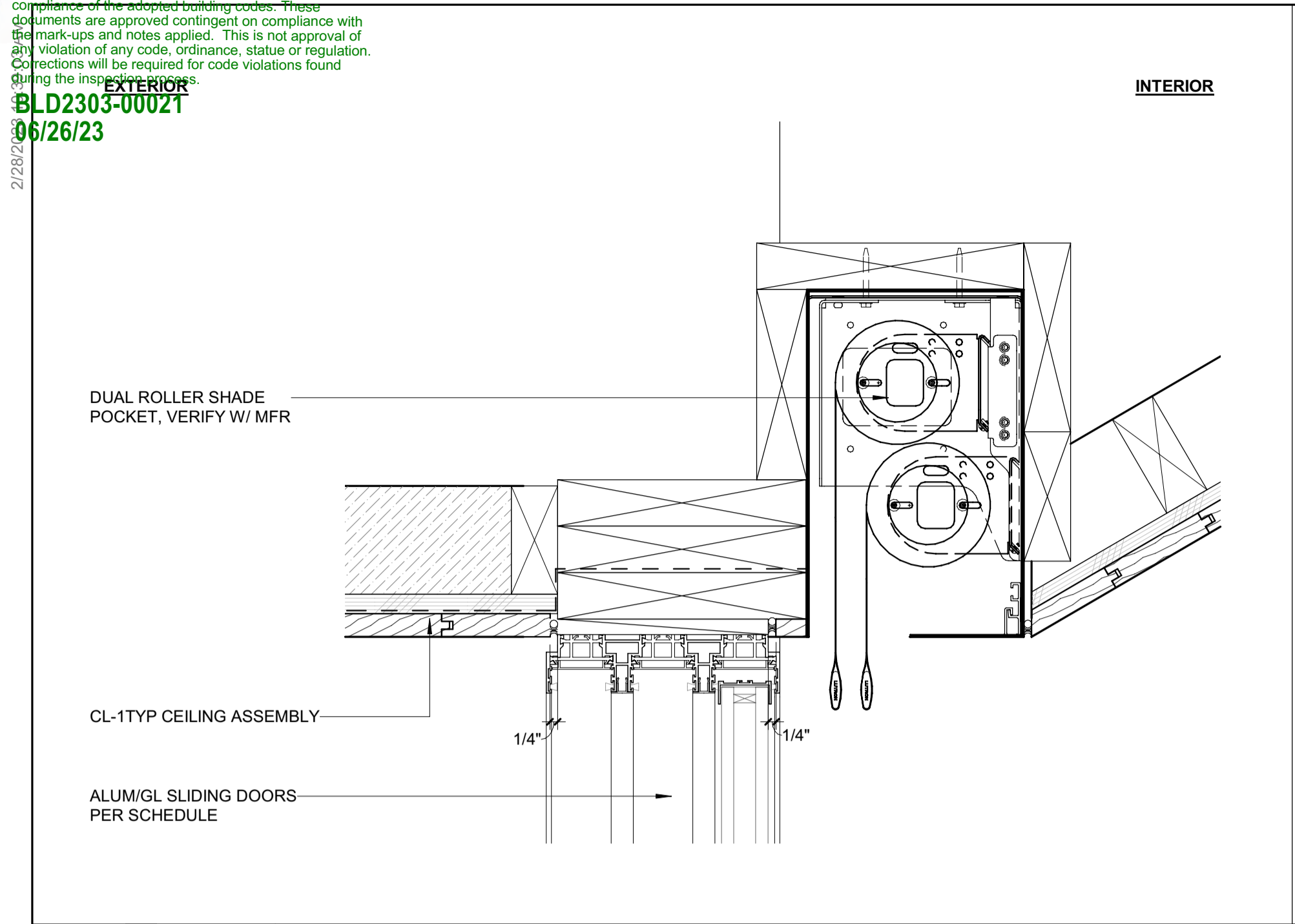
DRAWING TITLE:
DETAILS / EXTERIOR

DRAWING NUMBER:
A-602



Approved
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BLD2303-00021
 9/6/26/23

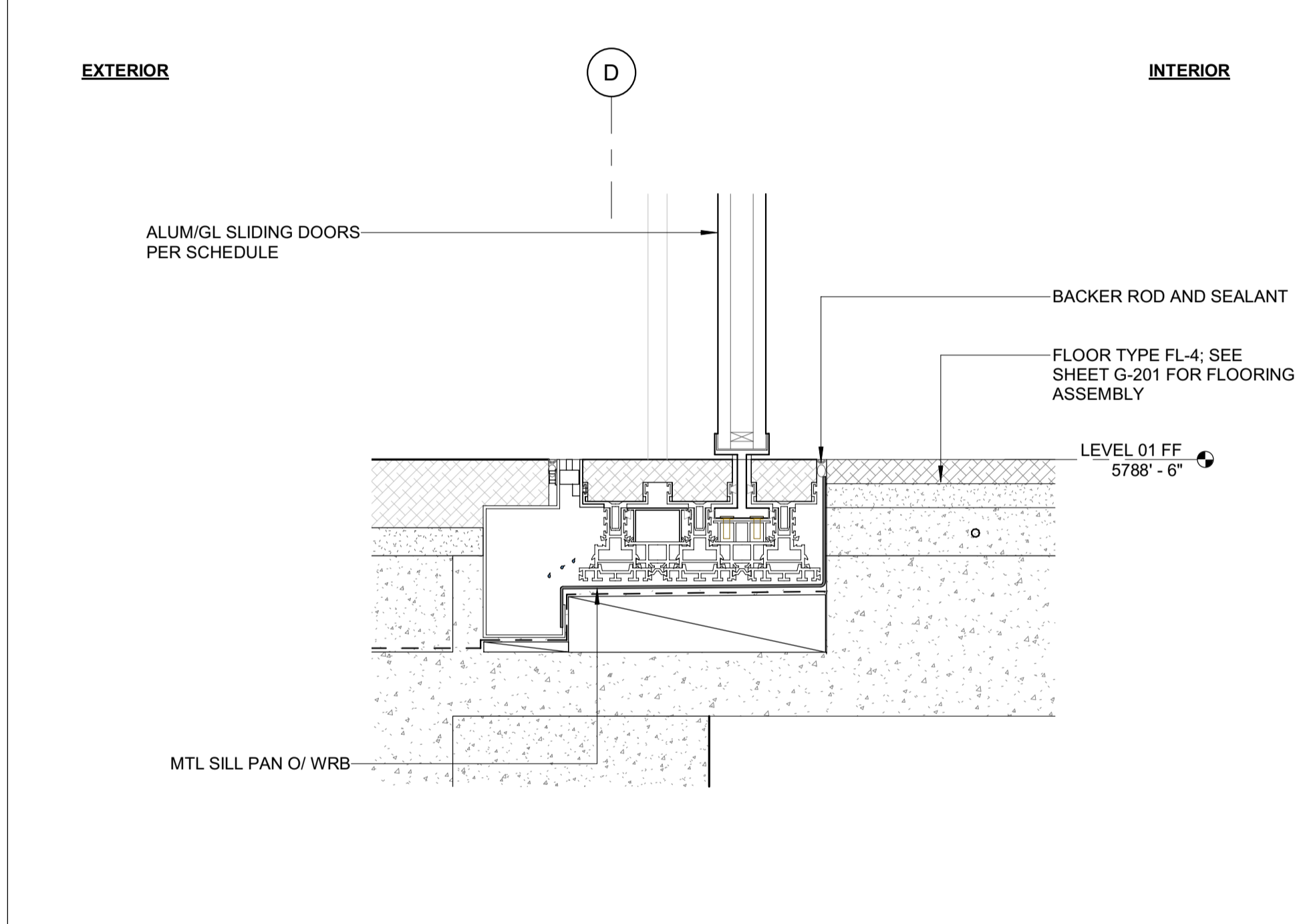
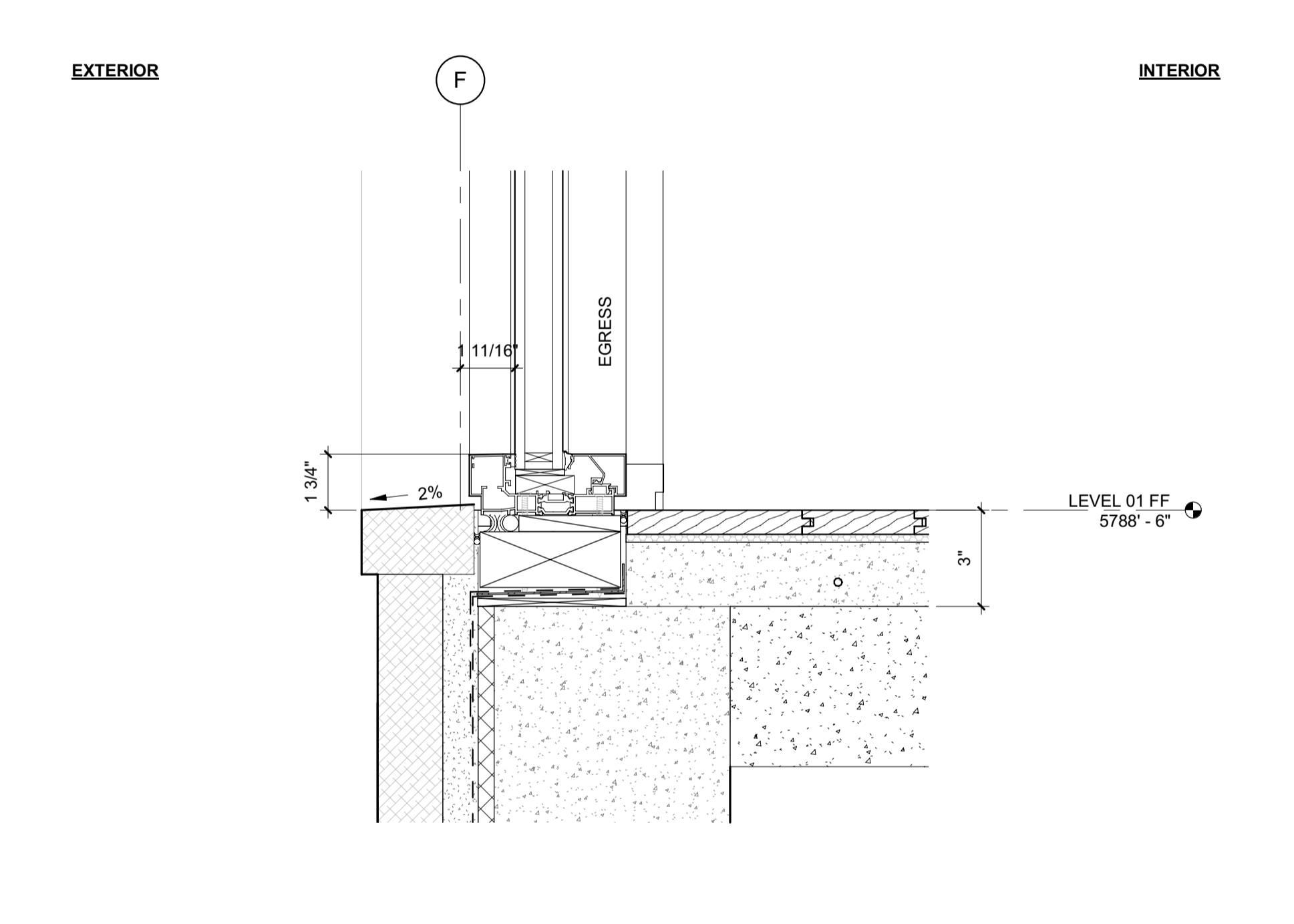
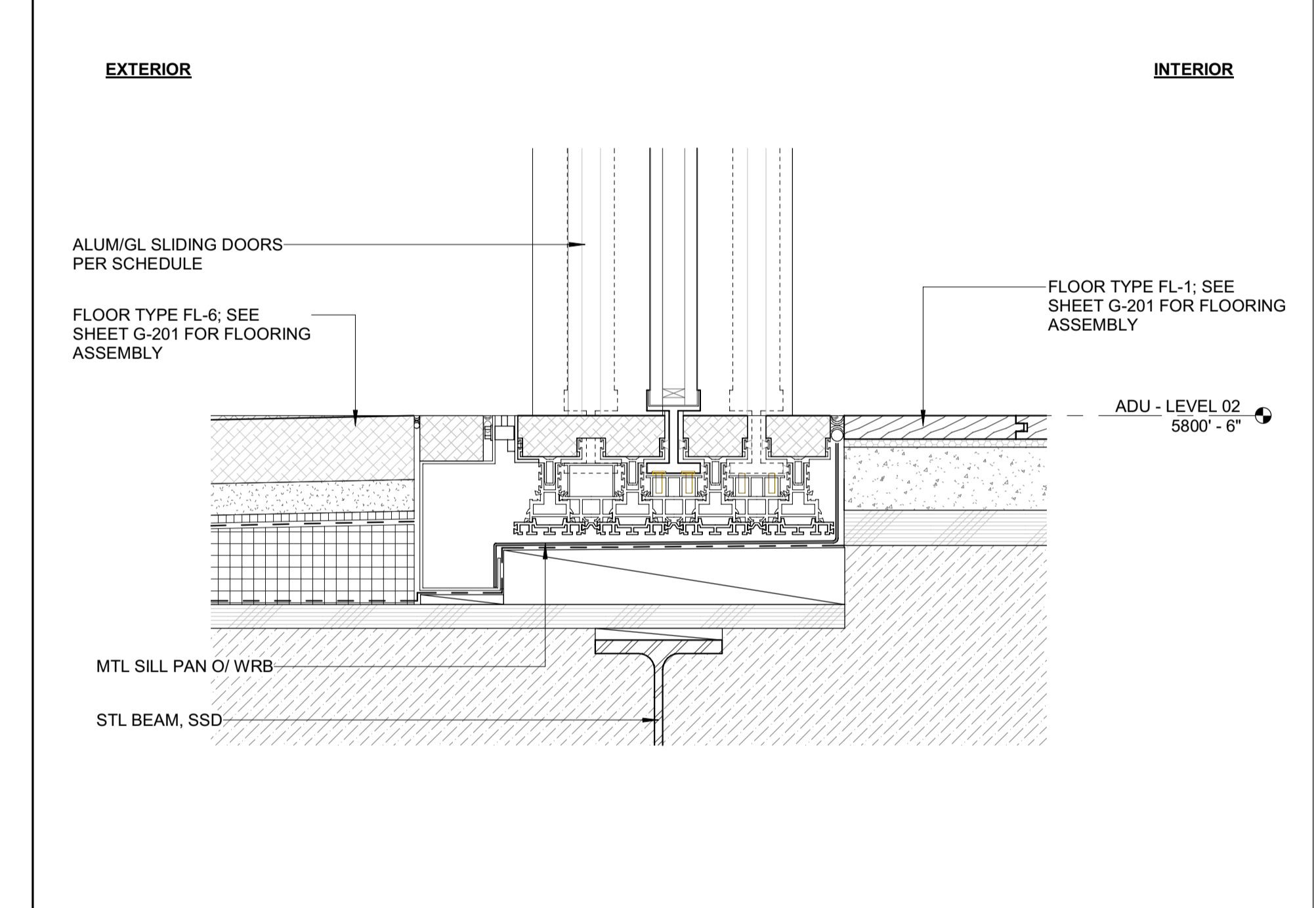
2/28/23



9 3" = 1'-0" DETAIL / HEAD @ ADU ROOF DECK SLIDER

6 3" = 1'-0" DETAIL / HEAD @ BDRM 1 EGRESS

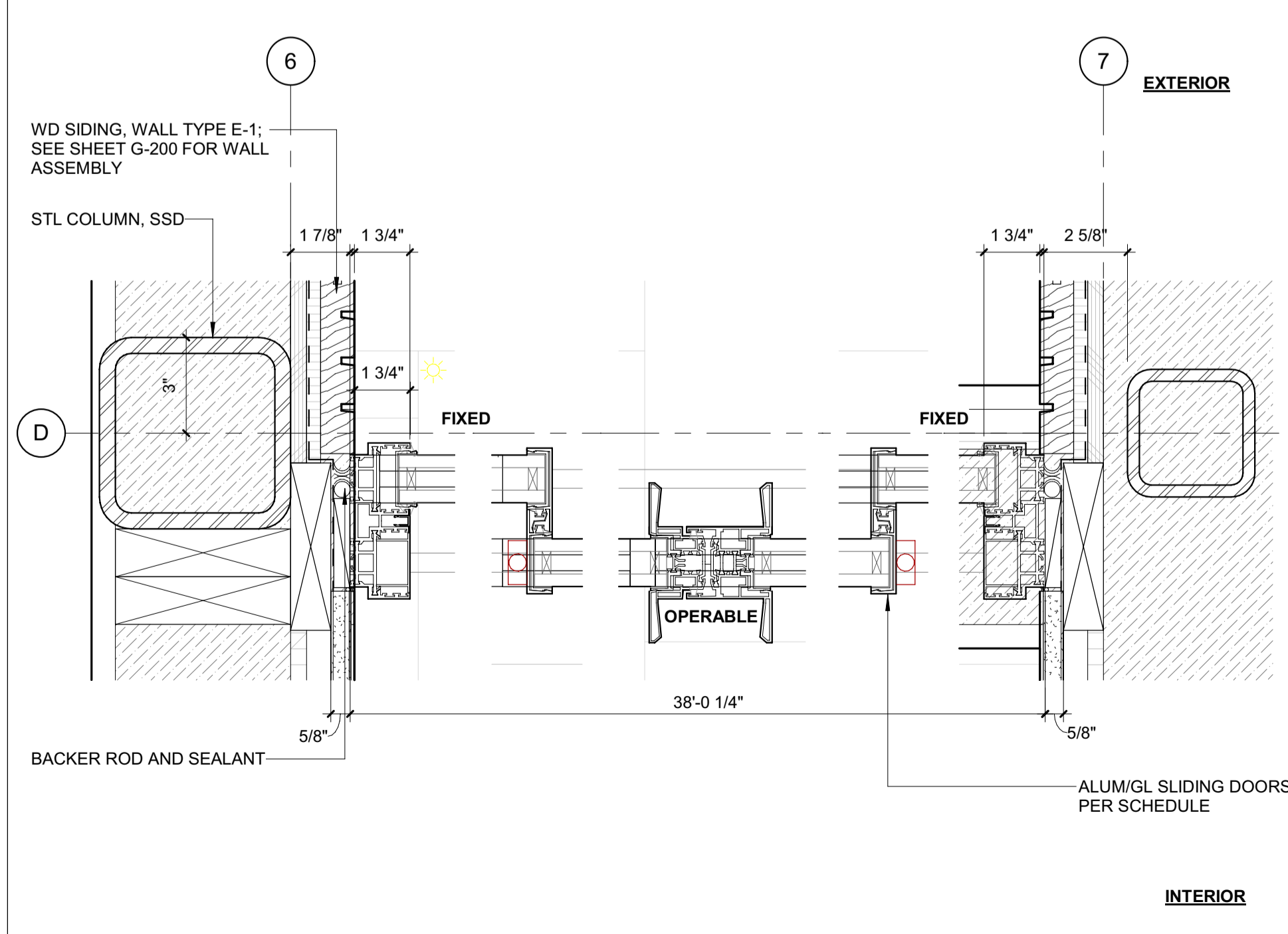
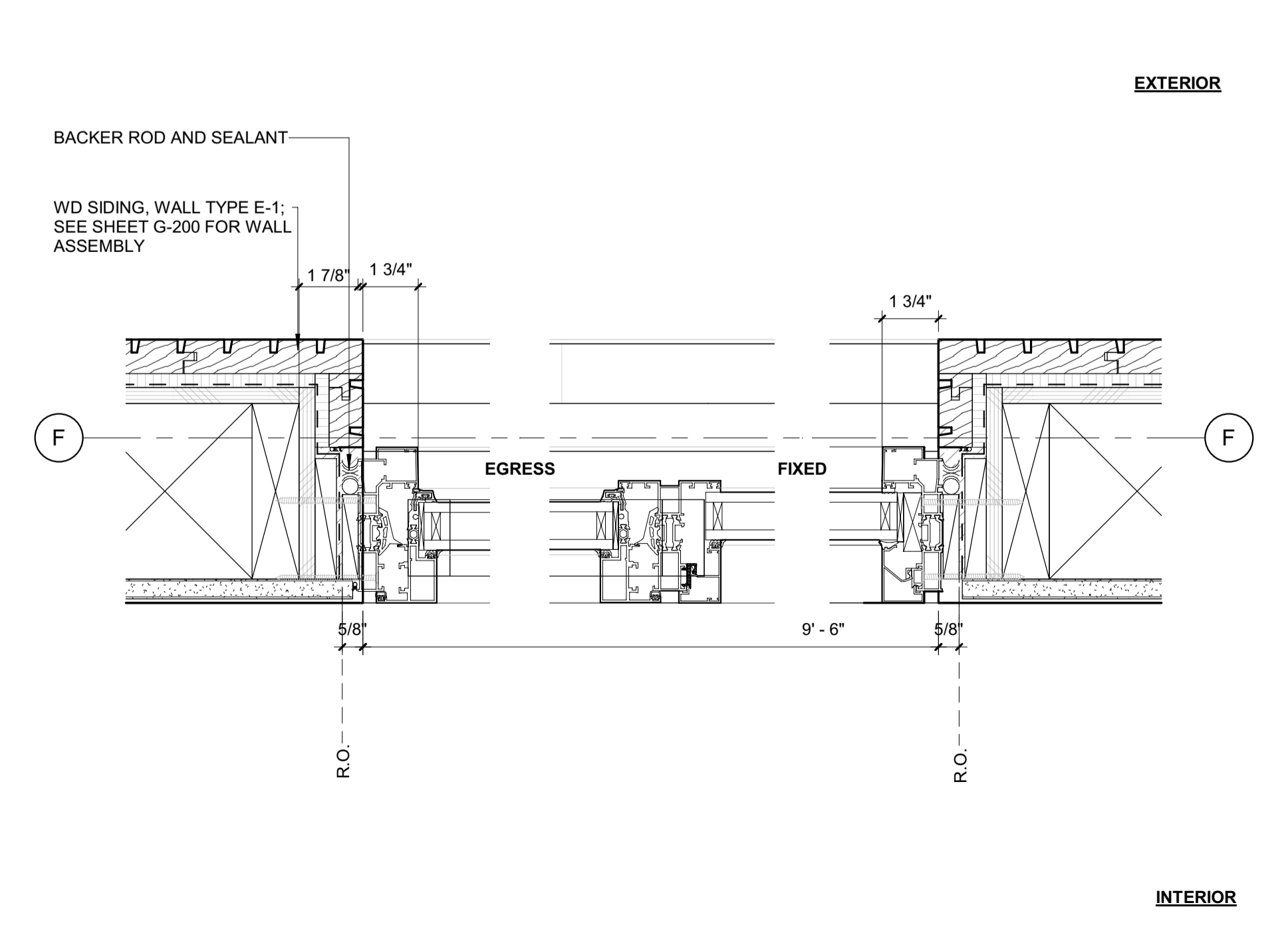
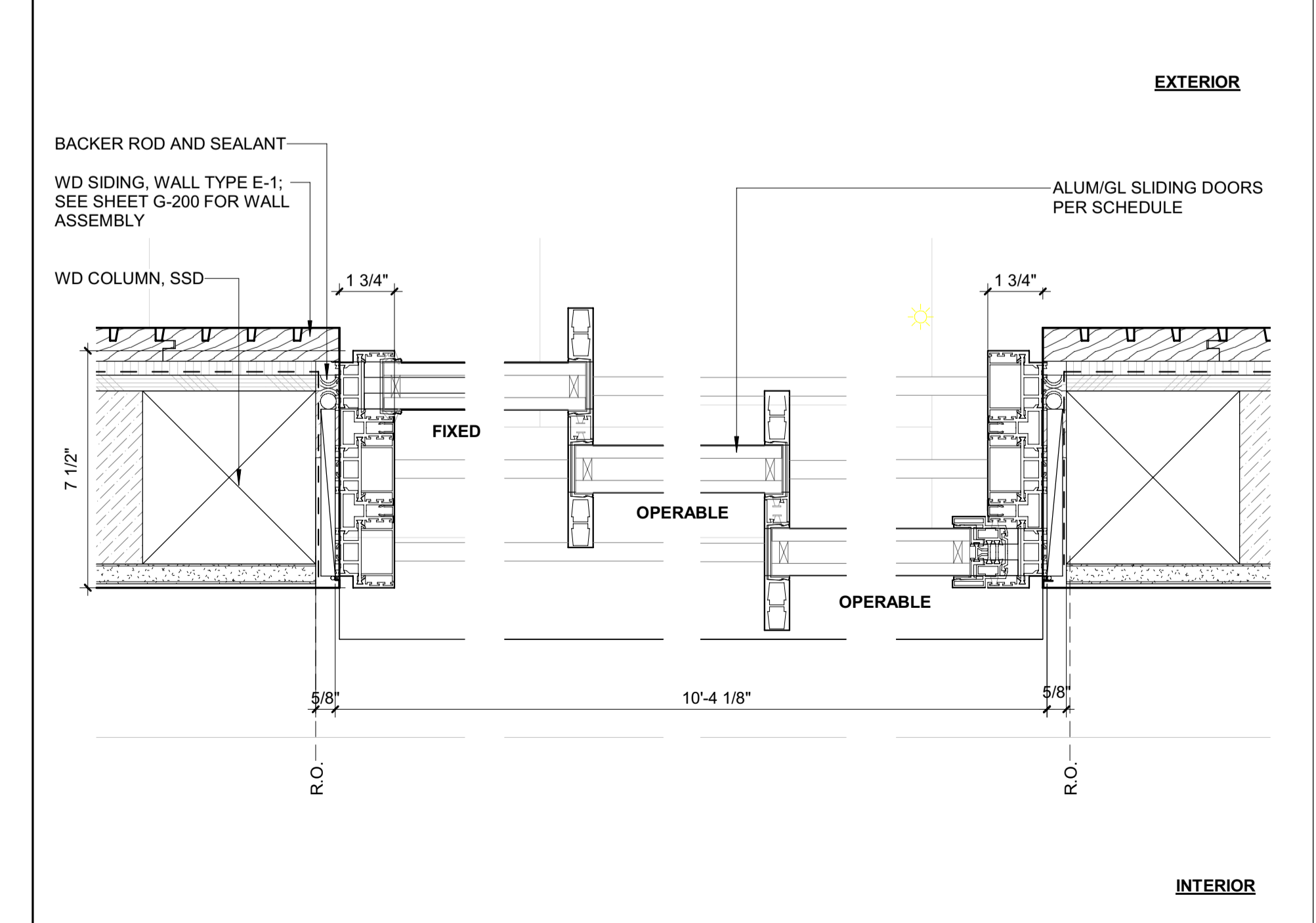
3 3" = 1'-0" DETAIL / HEAD @ GREAT RM SLIDER



8 3" = 1'-0" DETAIL / SILL @ ADU ROOF DECK SLIDER

5 3" = 1'-0" DETAIL / SILL @ BDRM 1 EGRESS

2 3" = 1'-0" DETAIL / SILL @ GREAT RM SLIDER



7 3" = 1'-0" DETAIL / JAMB @ ADU ROOF DECK SLIDER

4 3" = 1'-0" DETAIL / JAMB @ BDRM 1 EGRESS

1 3" = 1'-0" DETAIL / JAMB @ GREAT RM SLIDER

BADGER RESIDENCE

OWNER:
 121 BADGER LANE LLC
 P.O. BOX 14001-174
 KETCHUM, ID 83340

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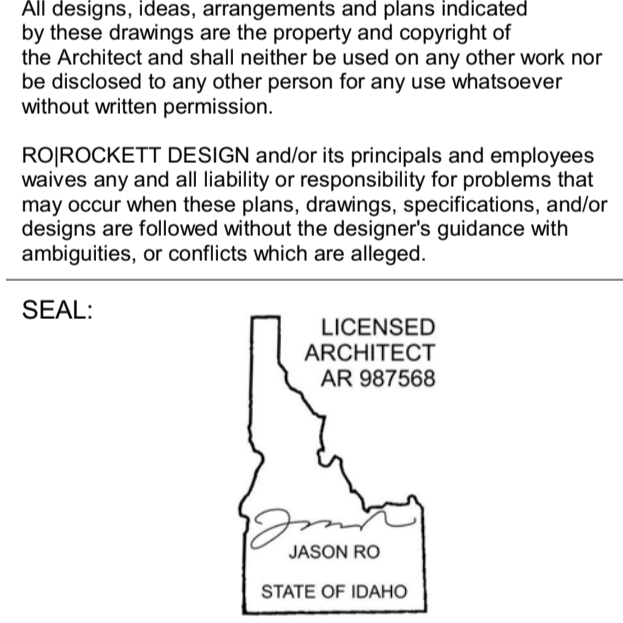
STRUCTURAL ENGINEER:
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 319 MAIN STREET
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 TEL: 213.239.9700

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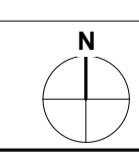
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NO	DATE	ISSUE

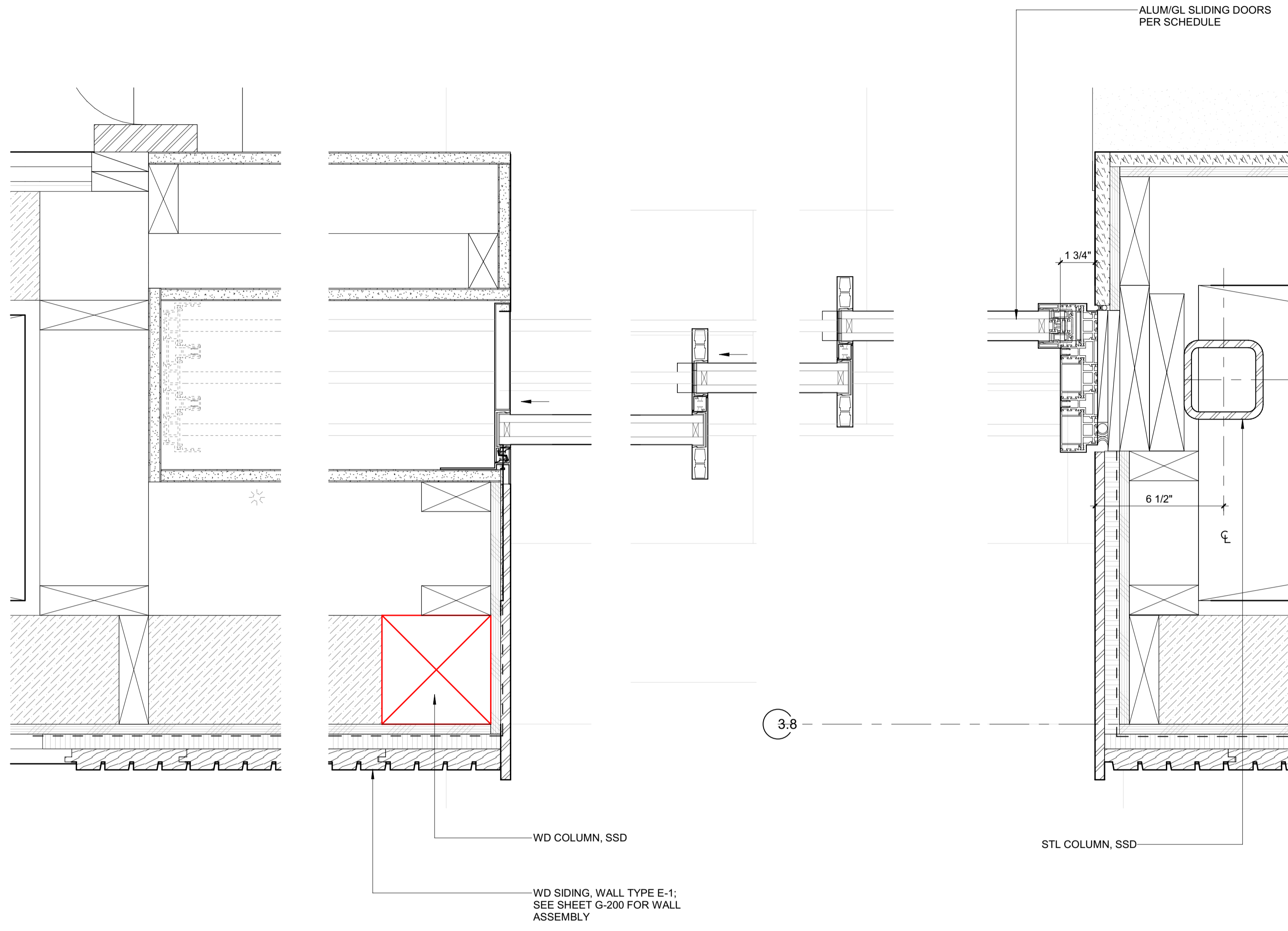
PROJECT:
BADGER RESIDENCE
 121 BADGER LANE
 KETCHUM, ID 83340

PROJECT NUMBER
#2201

DRAWING TITLE:
EXTERIOR DOOR DETAILS

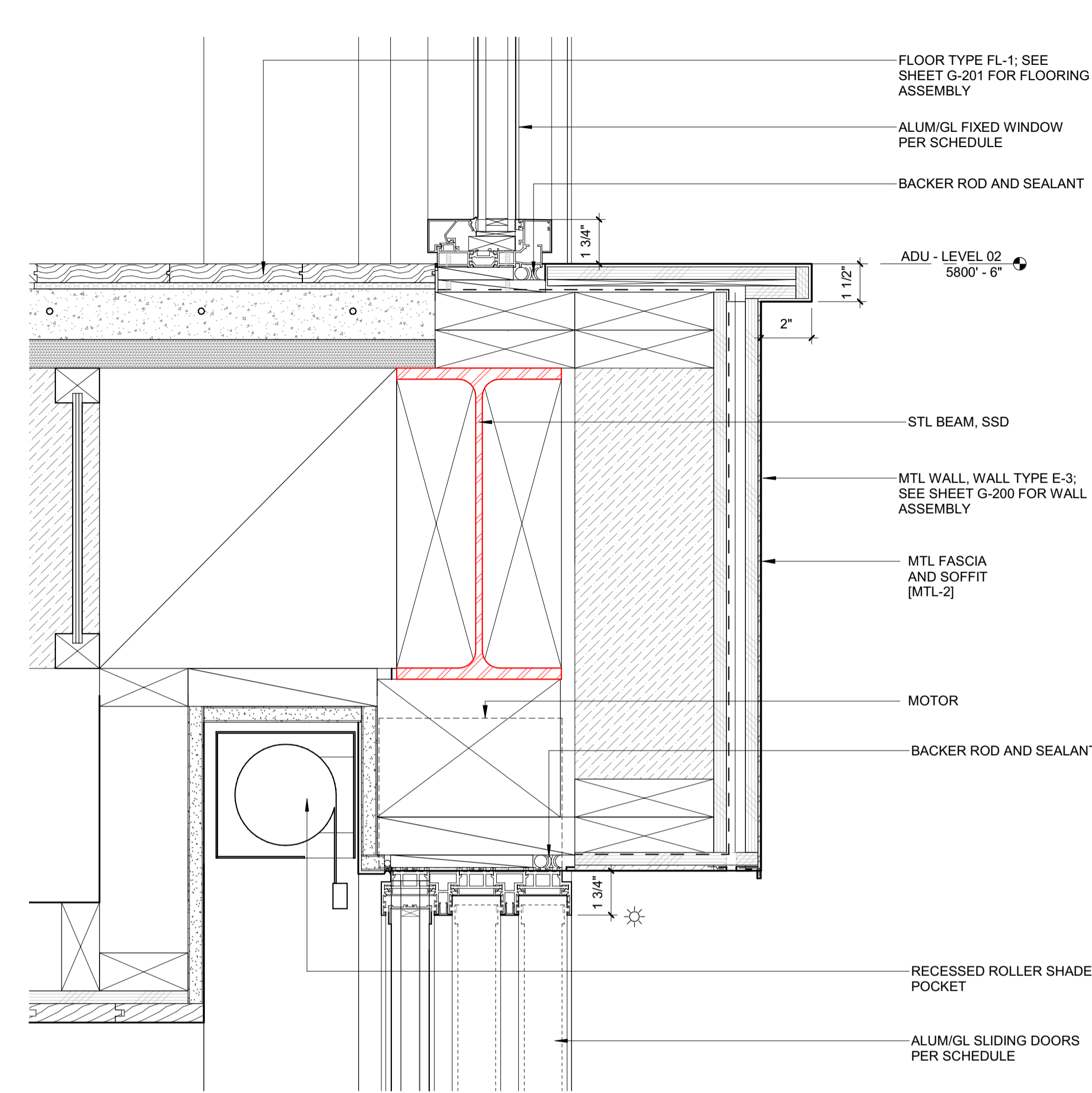
DRAWING NUMBER:
A-610





INTERIOR

EXTERIOR

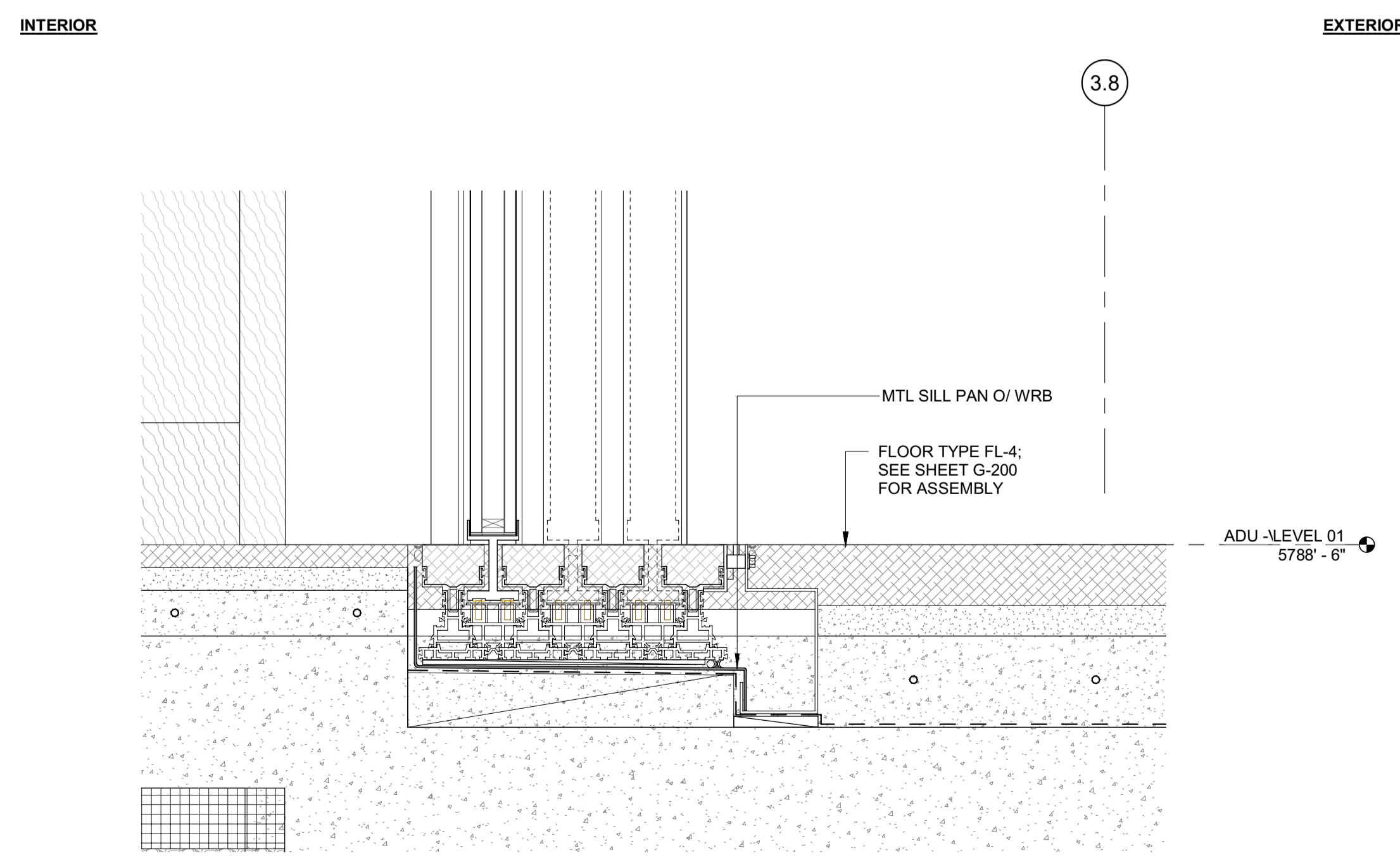


INTERIOR

EXTERIOR

3 3" = 1'-0" DETAIL / JAMB @ ADU SLIDERS / STACKING / DOOR A102

2 3" = 1'-0" DETAIL / HEAD @ ADU SLIDERS / STACKING



INTERIOR

EXTERIOR

1 3" = 1'-0" DETAIL / SILL @ ADU SLIDERS / STACKING

BADGER RESIDENCE

OWNER:
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 TEL: 208.726.9512

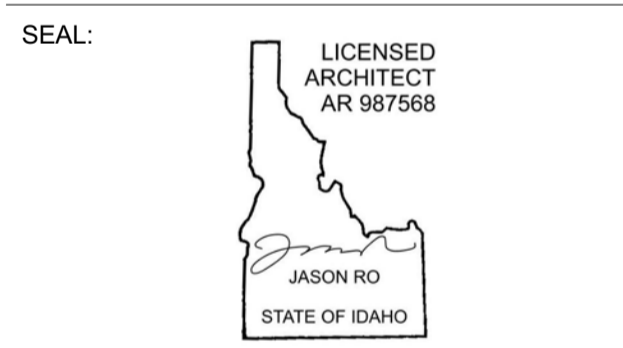
STRUCTURAL ENGINEER:
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 319 MAIN STREET
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 TEL: 213.239.9700

MEP ENGINEER:
 CES ENGINEERING SERVICES, LLC
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LIGHTING DESIGN CONSULTANT:
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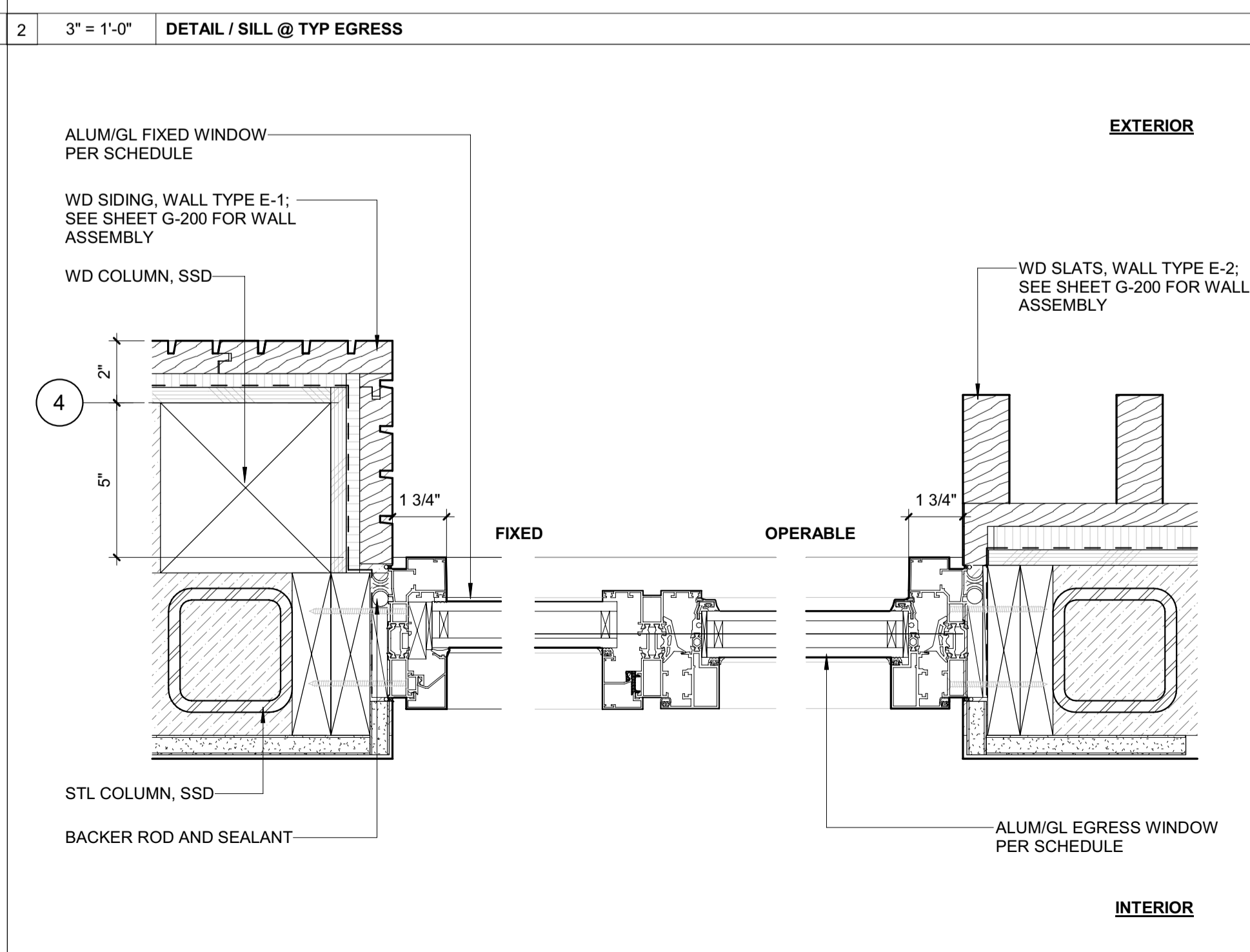
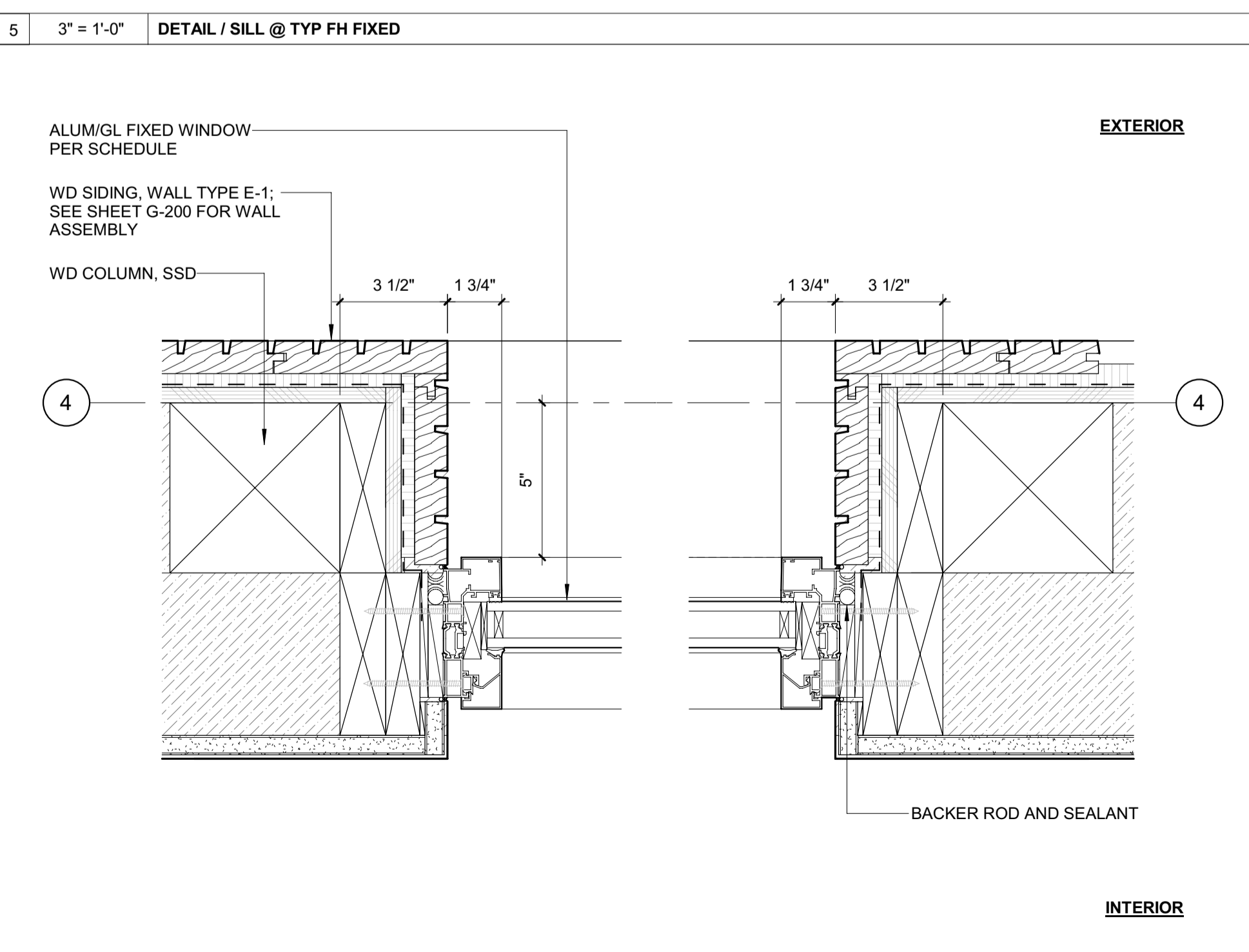
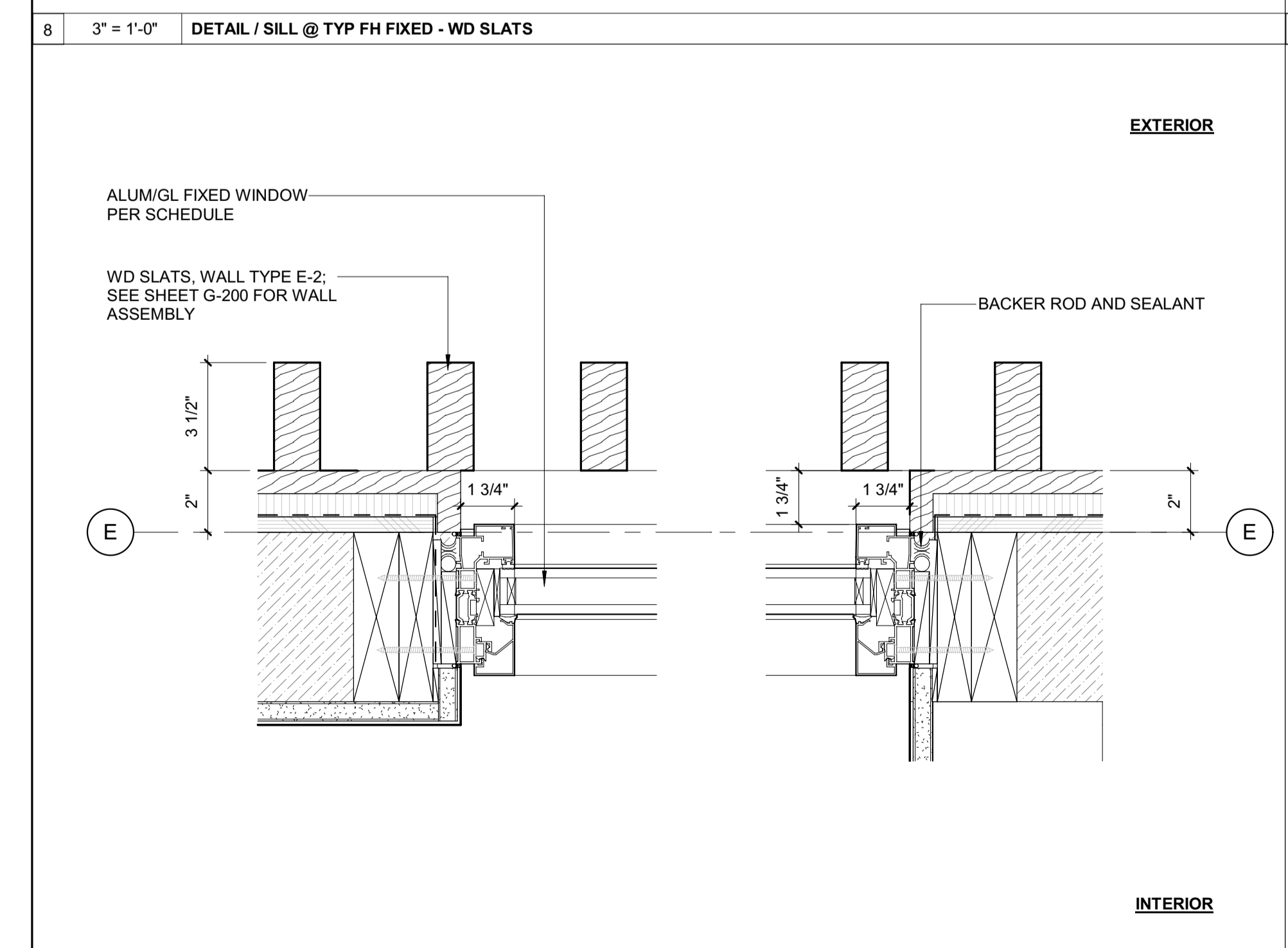
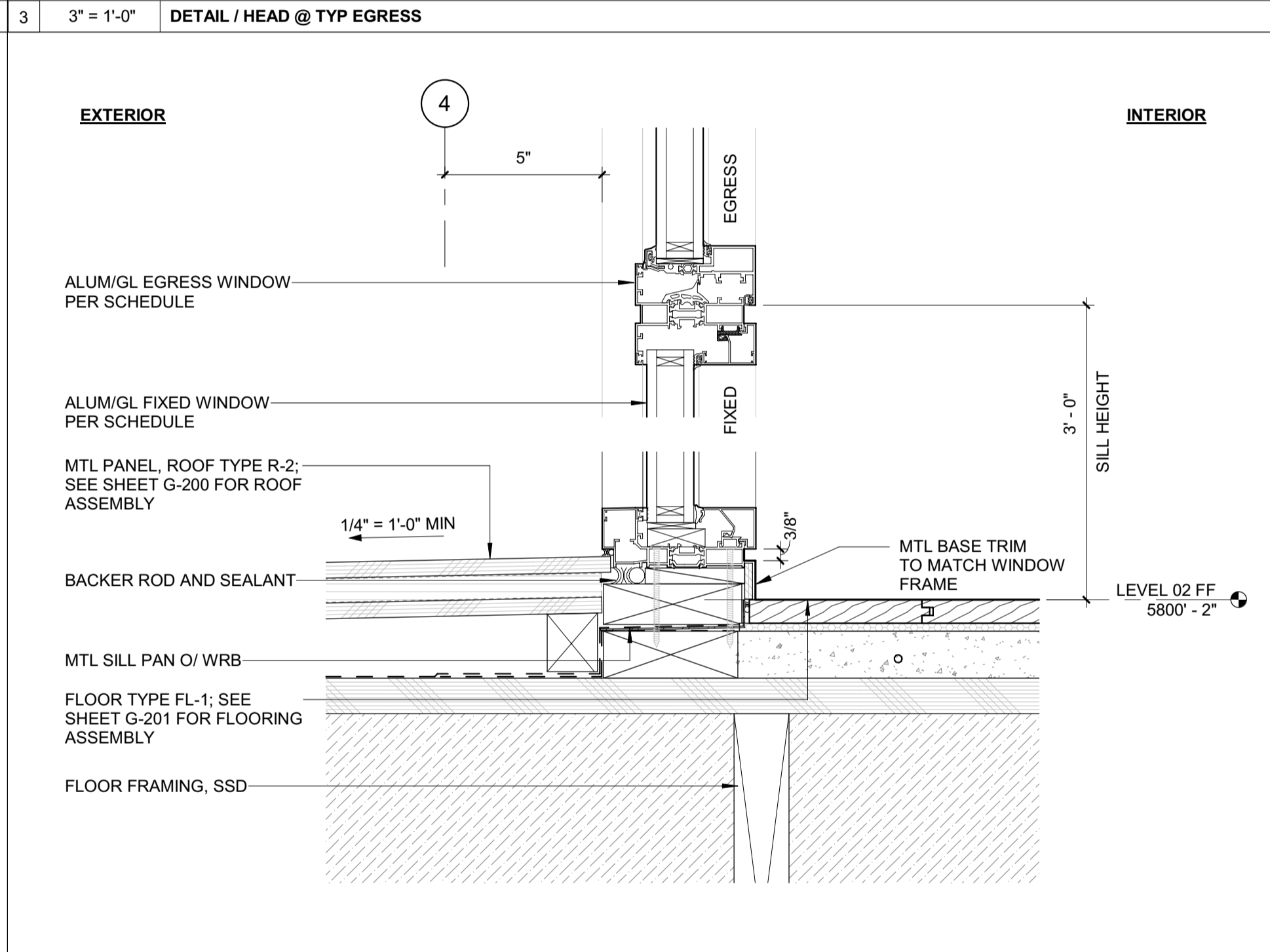
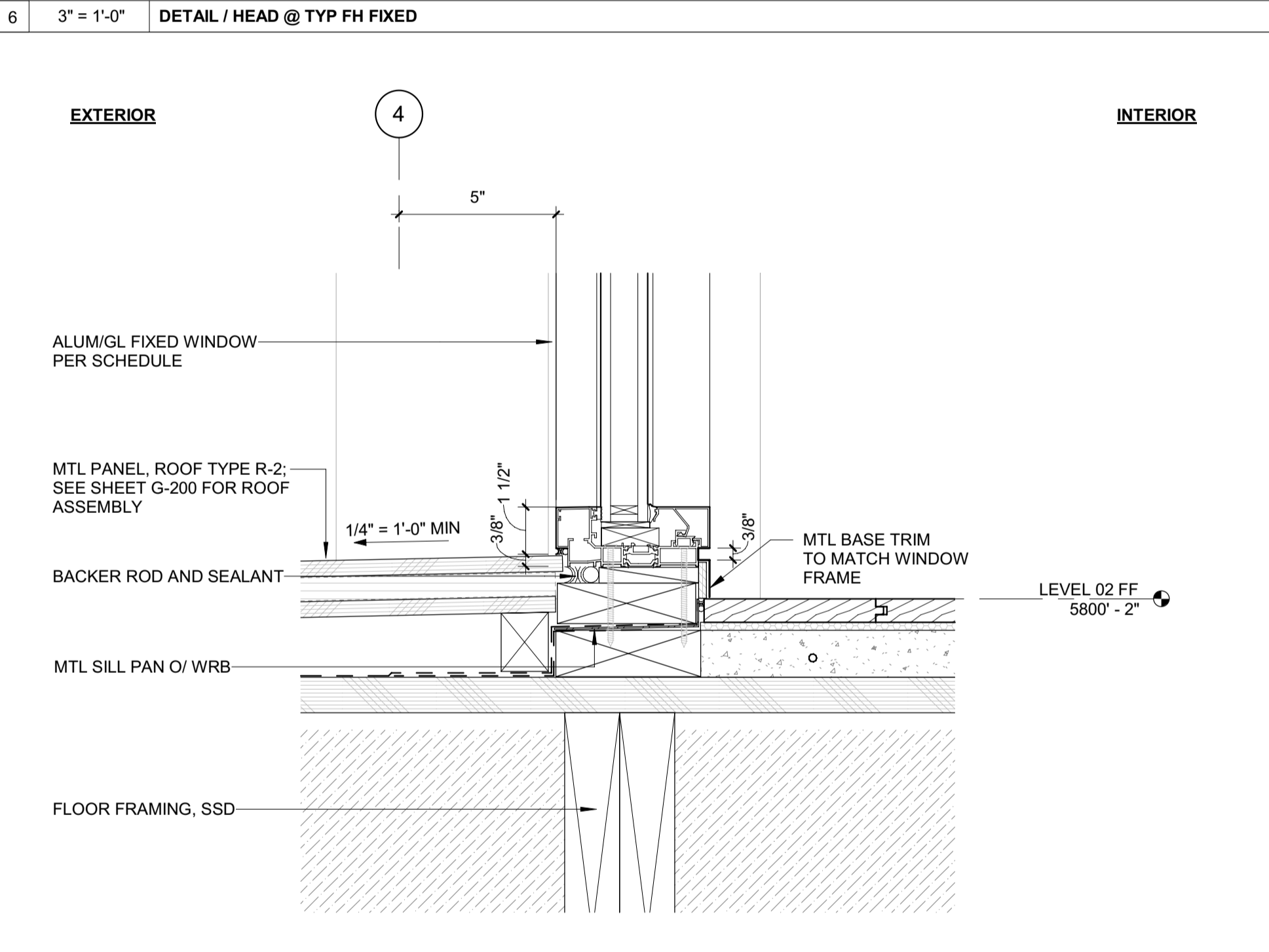
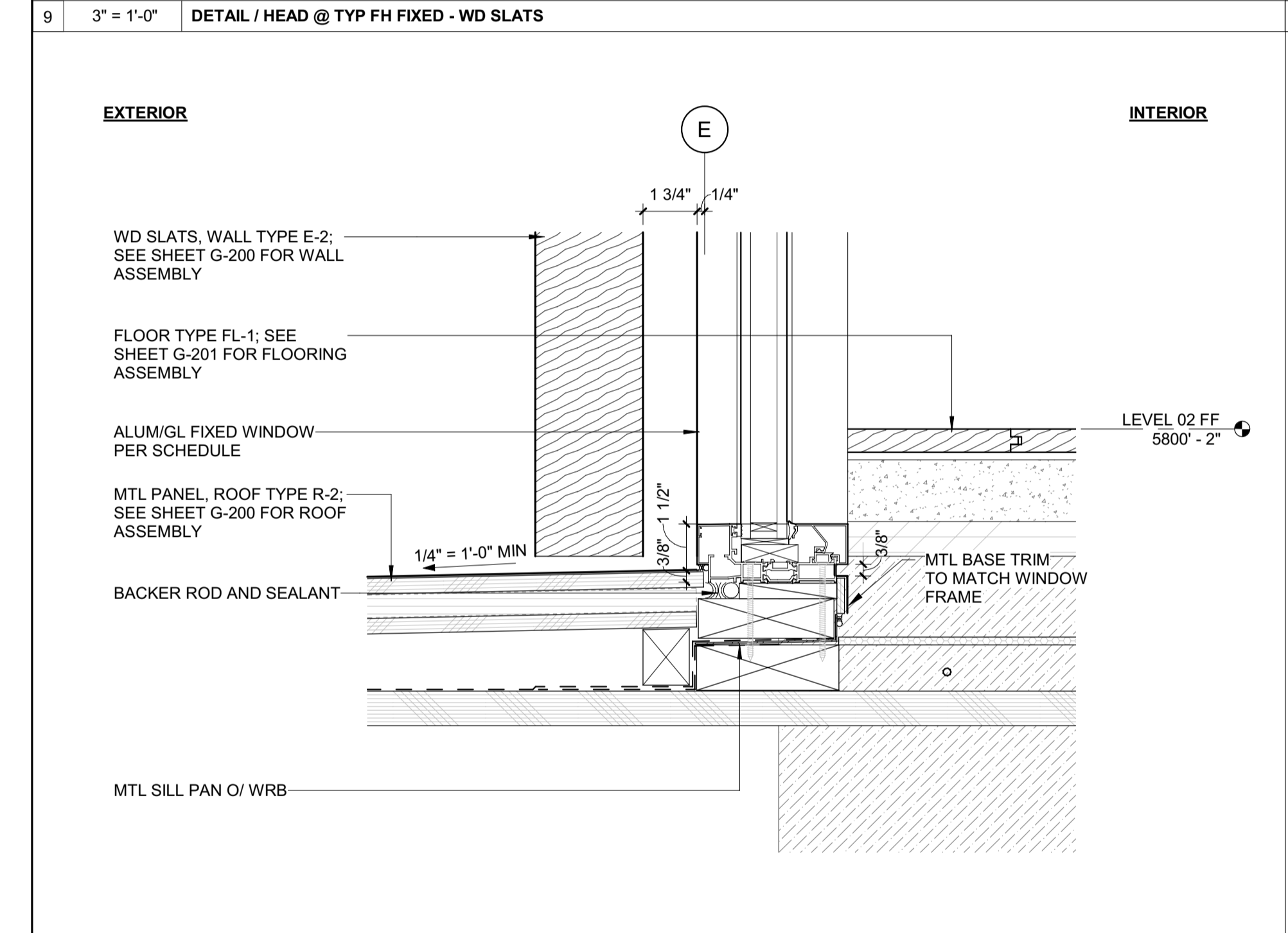
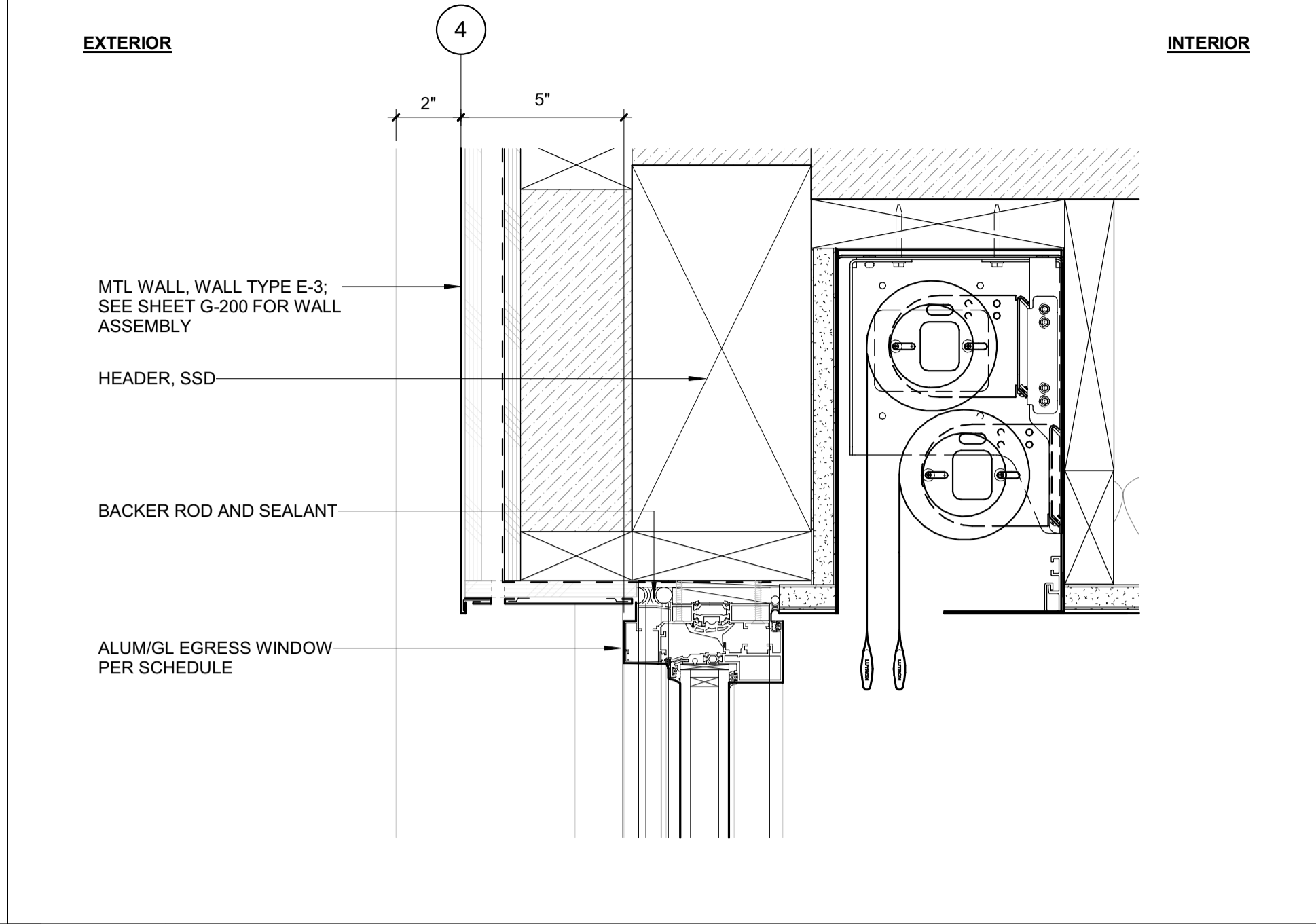
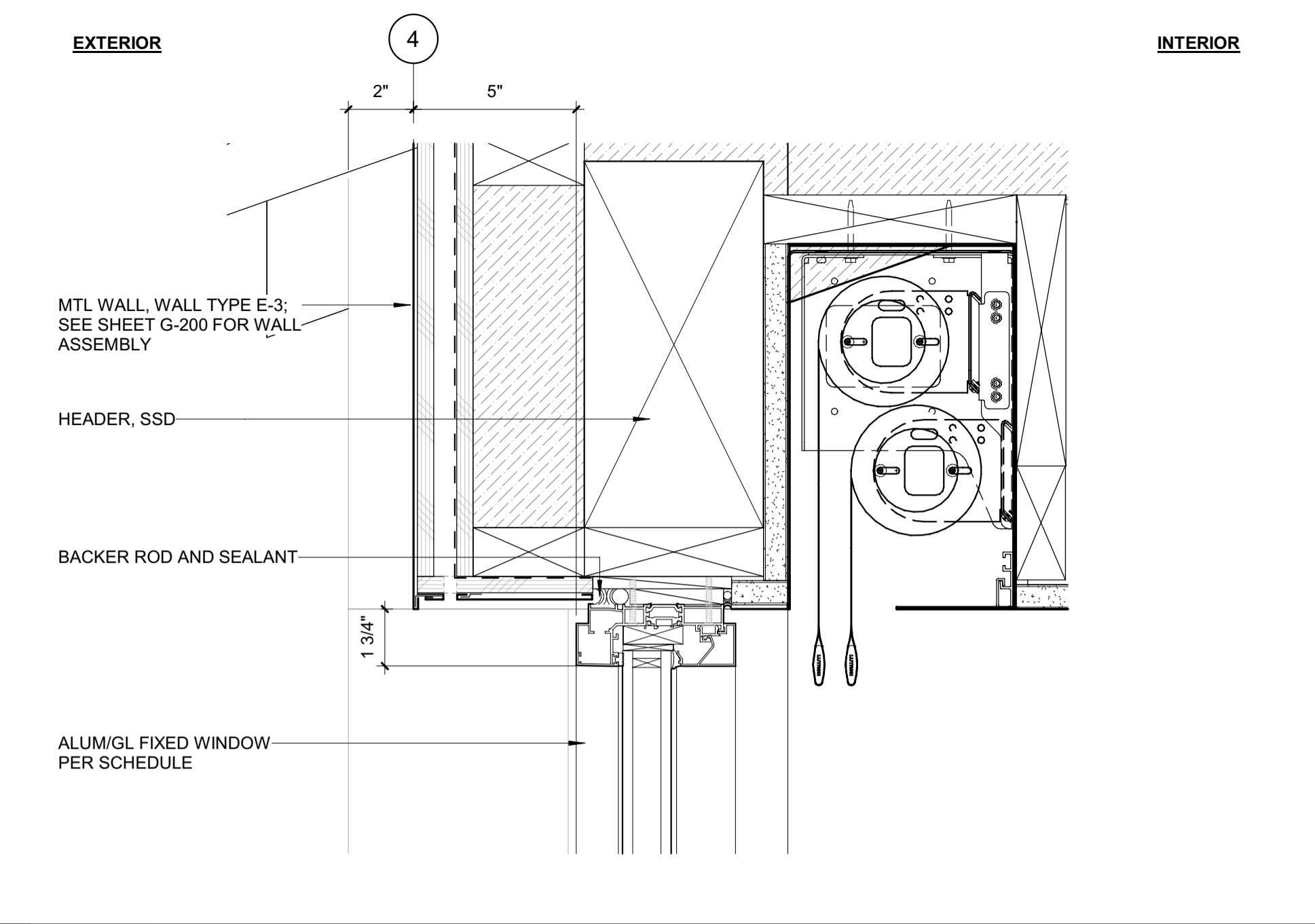
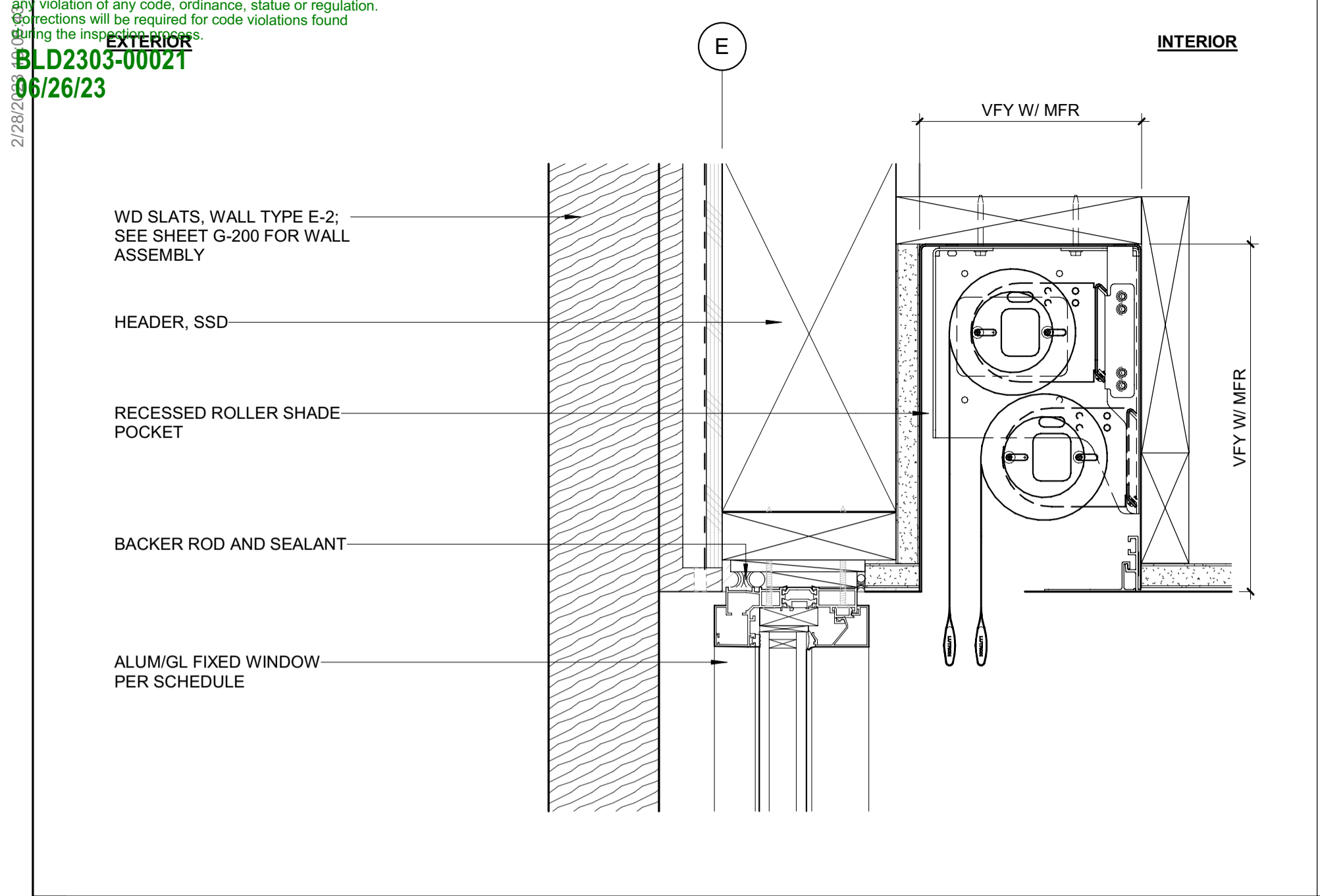
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0	02.28.23		

PROJECT:
BADGER RESIDENCE
 121 BADGER LANE
 KETCHUM, ID 83340

PROJECT NUMBER
#2201

DRAWING TITLE:
EXTERIOR DOOR DETAILS

DRAWING NUMBER:
A-611



BADGER RESIDENCE

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 JASON RO
 STATE OF IDAHO

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NO	DATE	ISSUE
PROJECT: BADGER RESIDENCE 121 BADGER LANE KETCHUM, ID 83340		
PROJECT NUMBER #2201		
DRAWING TITLE: EXTERIOR WINDOW DETAILS		
DRAWING NUMBER: A-620		

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Approved
 These plans have been found to be in substantial compliance with the applicable building codes. These documents are approved contingent on compliance with the mark-ups and notes applied. This is not approval of any code, ordinance, statute or regulation. Corrections will be required for code violations found during the inspection process.

BLD2303-00021
 06/26/23

2/26/23

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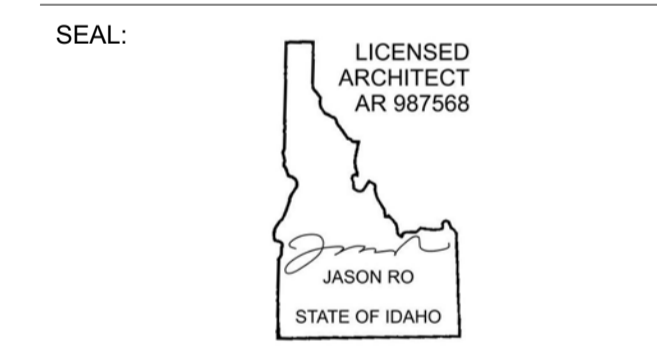
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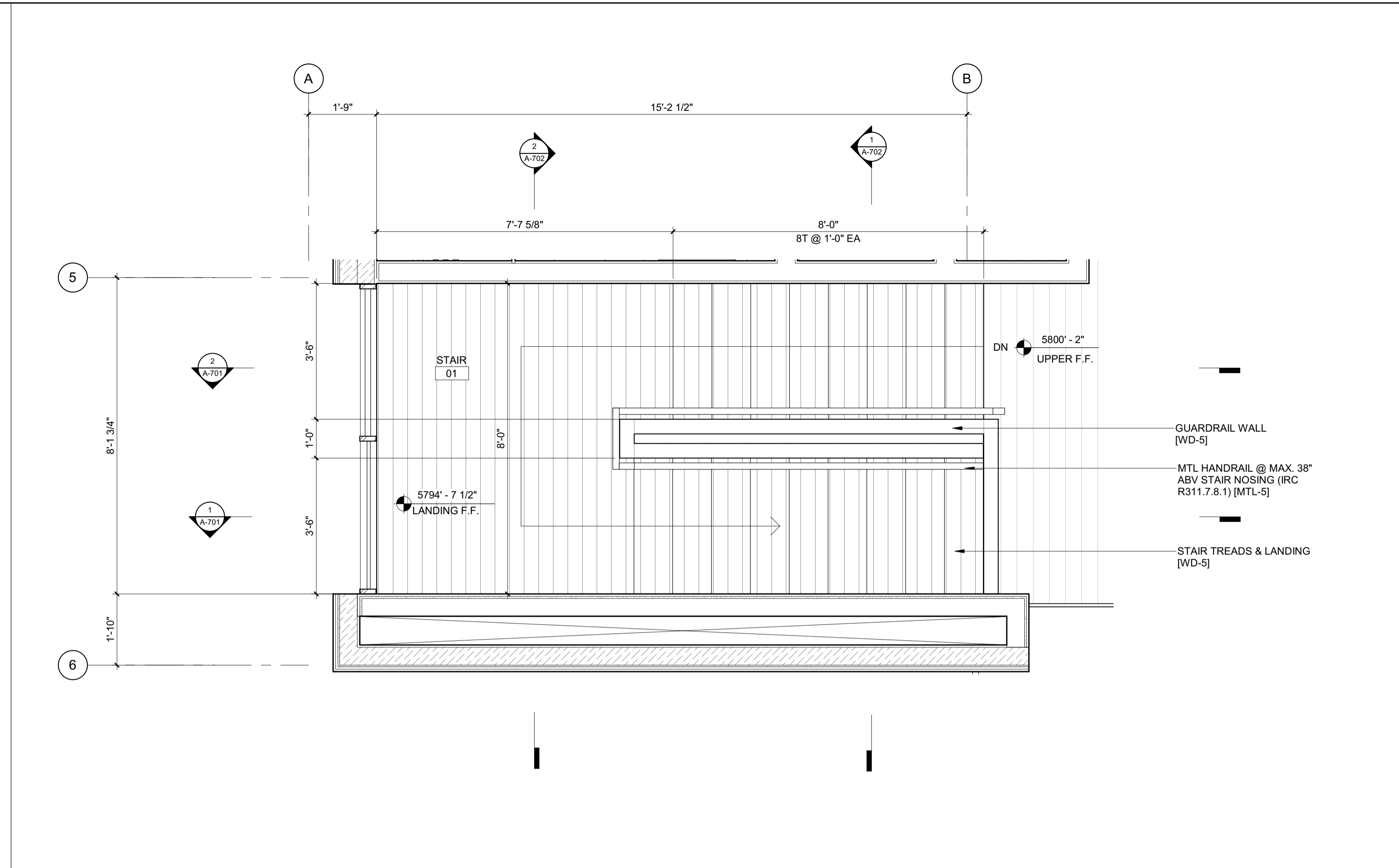
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 121 BADGER LANE
 KETCHUM, ID 83340

PROJECT NUMBER
#2201

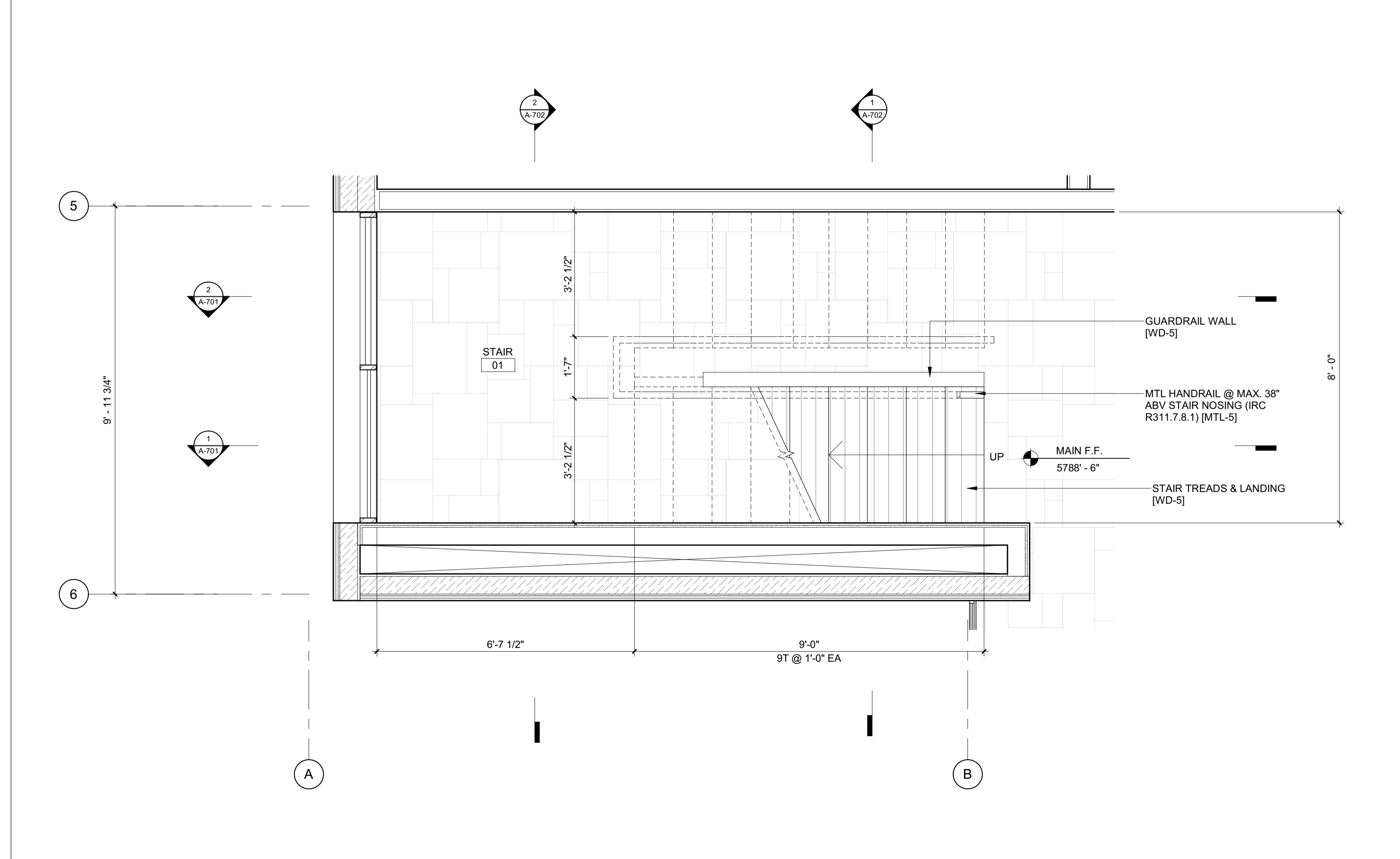
DRAWING TITLE:
ENLARGED PLANS / STAIR 1

DRAWING NUMBER:
A-700

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2 1/2" = 1'-0" ENLARGED PLAN / STAIR 1 / LEVEL 02



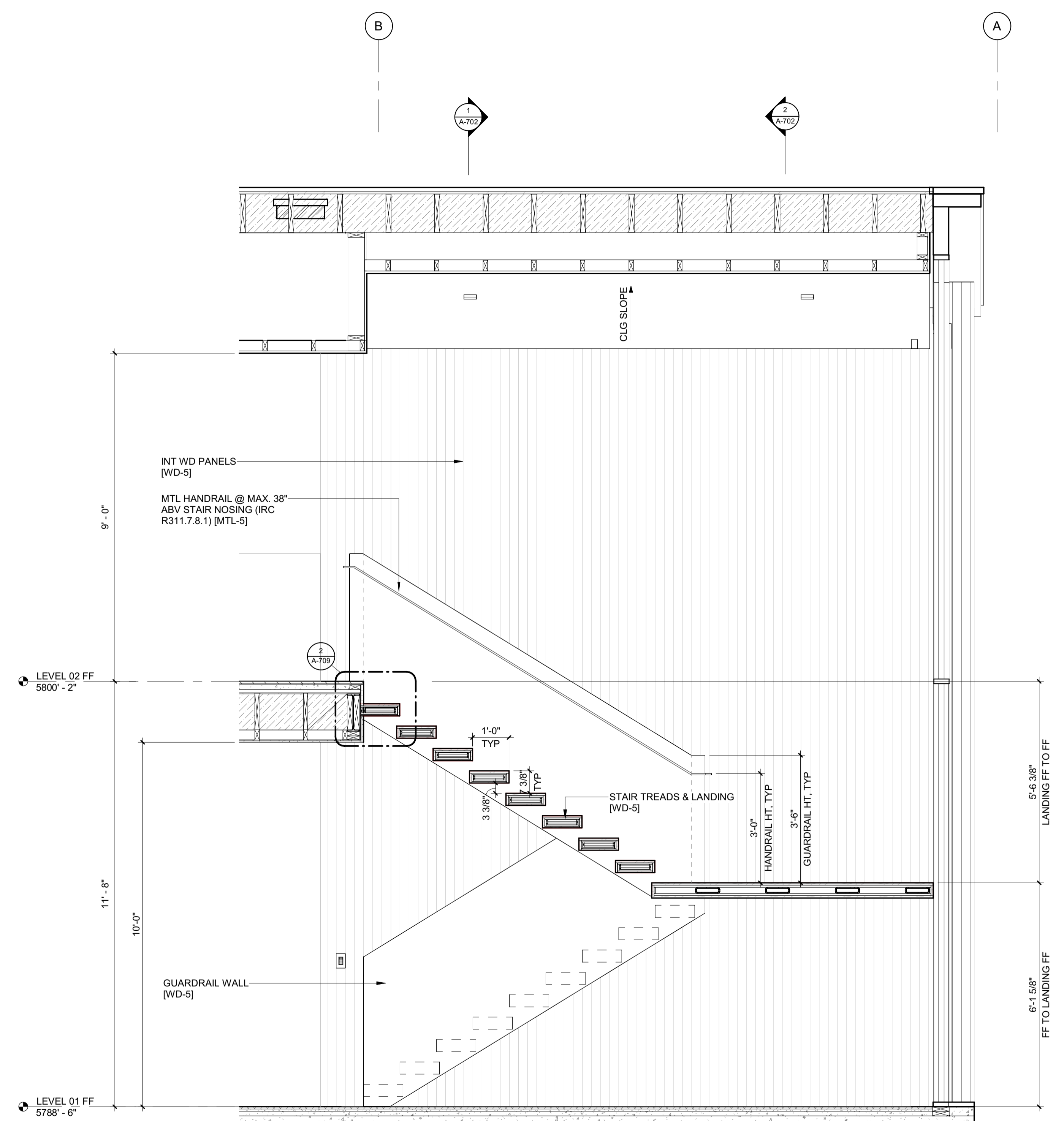
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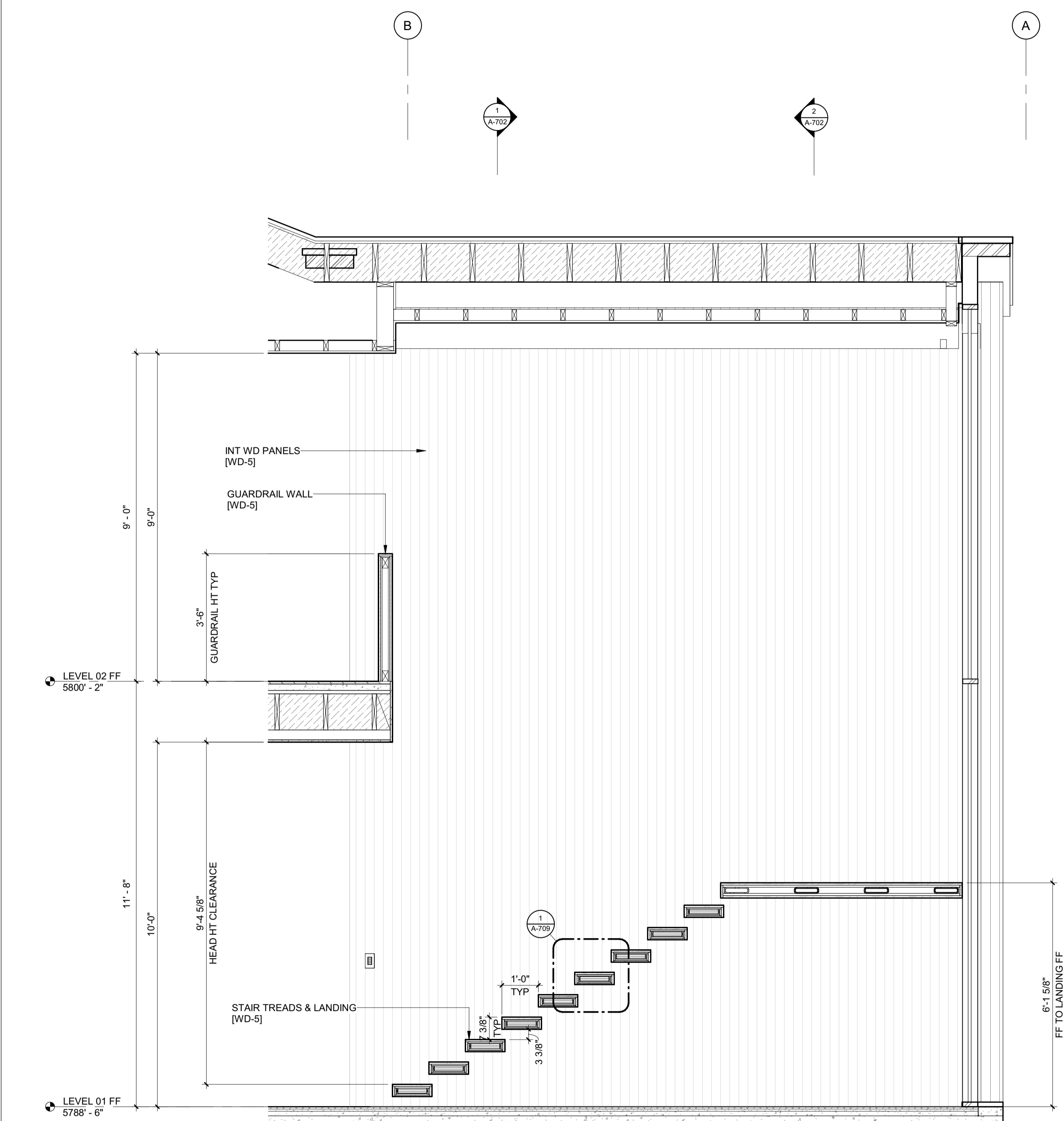
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BLD2303-00021
9/6/26/23

2/26/23



2 1/2" = 1'-0" STAIR 1 / SECTION 2



1 1/2" = 1'-0" STAIR 1 / SECTION 1

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TEL: 208.726.9512

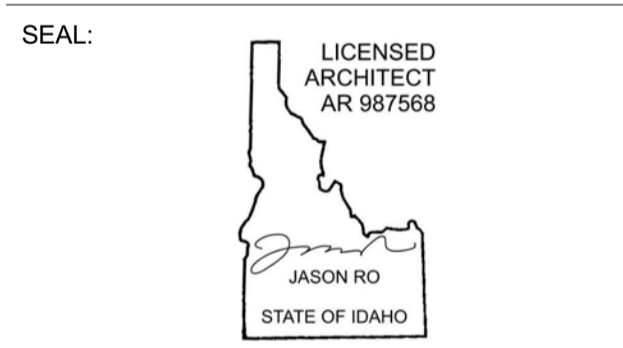
STRUCTURAL ENGINEER:
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319 MAIN STREET
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TEL: 213.239.9700

MEP ENGINEER:
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NO	DATE	BUILDING PERMIT	ISSUE
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PROJECT:
BADGER RESIDENCE
121 BADGER LANE
KETCHUM, ID 83340

PROJECT NUMBER:
#2201

DRAWING TITLE:
ENLARGED SECTIONS / STAIR 1

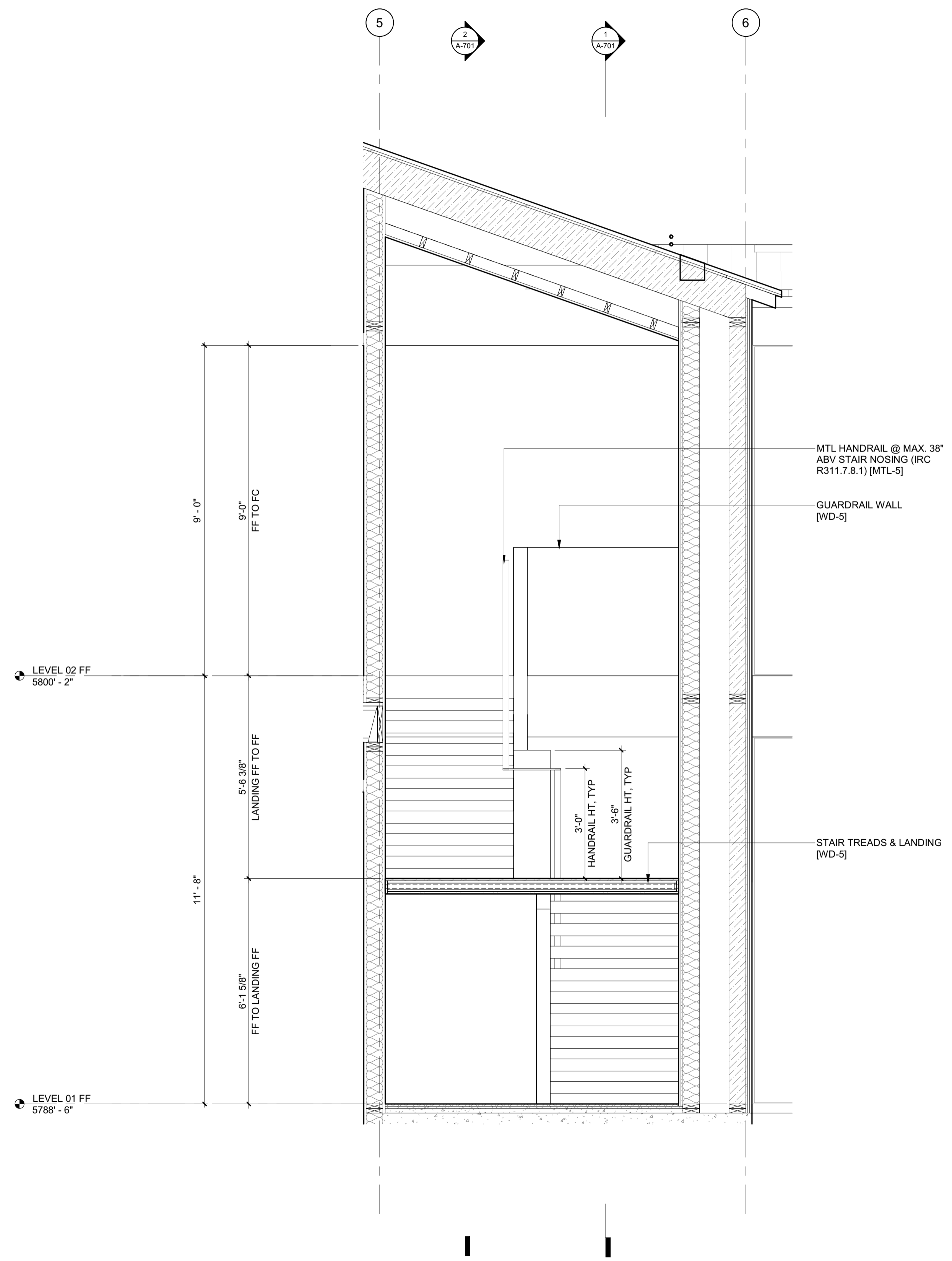
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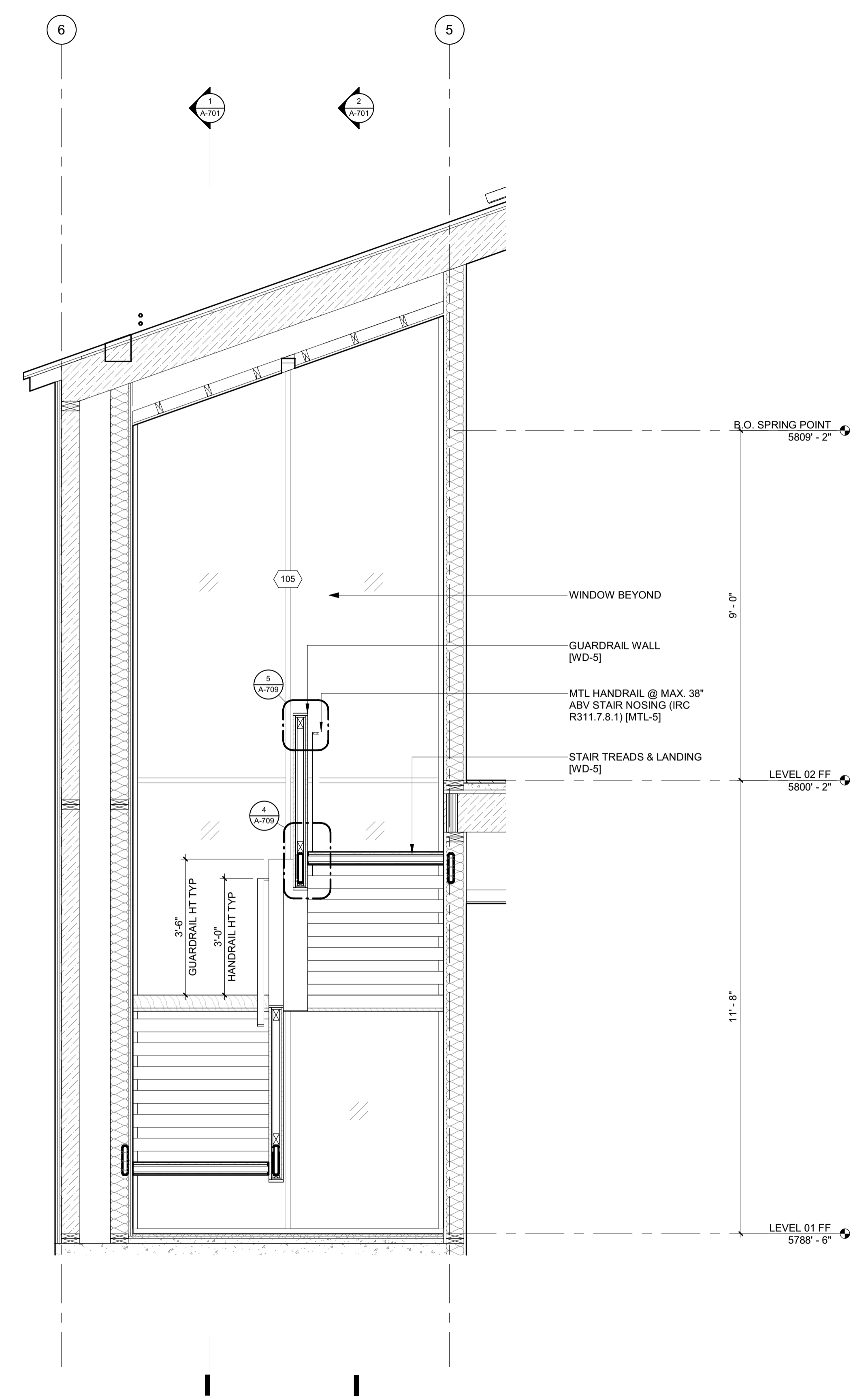
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BLD2303-00021
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2/26/23



2 1/2" = 1'-0" STAIR 1 / SECTION 4



1 1/2" = 1'-0" STAIR 1 / SECTION 3

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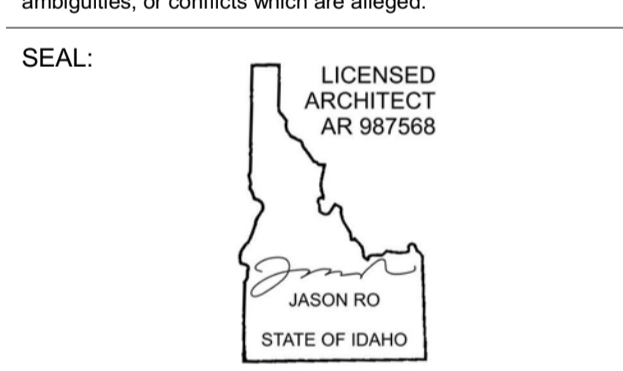
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NO	DATE	ISSUE

PROJECT:
BADGER RESIDENCE
121 BADGER LANE
KETCHUM, ID 83340

PROJECT NUMBER:
#2201

DRAWING TITLE:
ENLARGED SECTIONS / STAIR 1

DRAWING NUMBER:
A-702



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BLD2303-00021
9/6/26/23

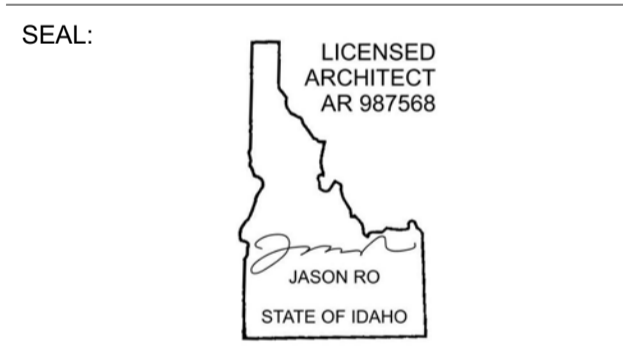
2/26/23

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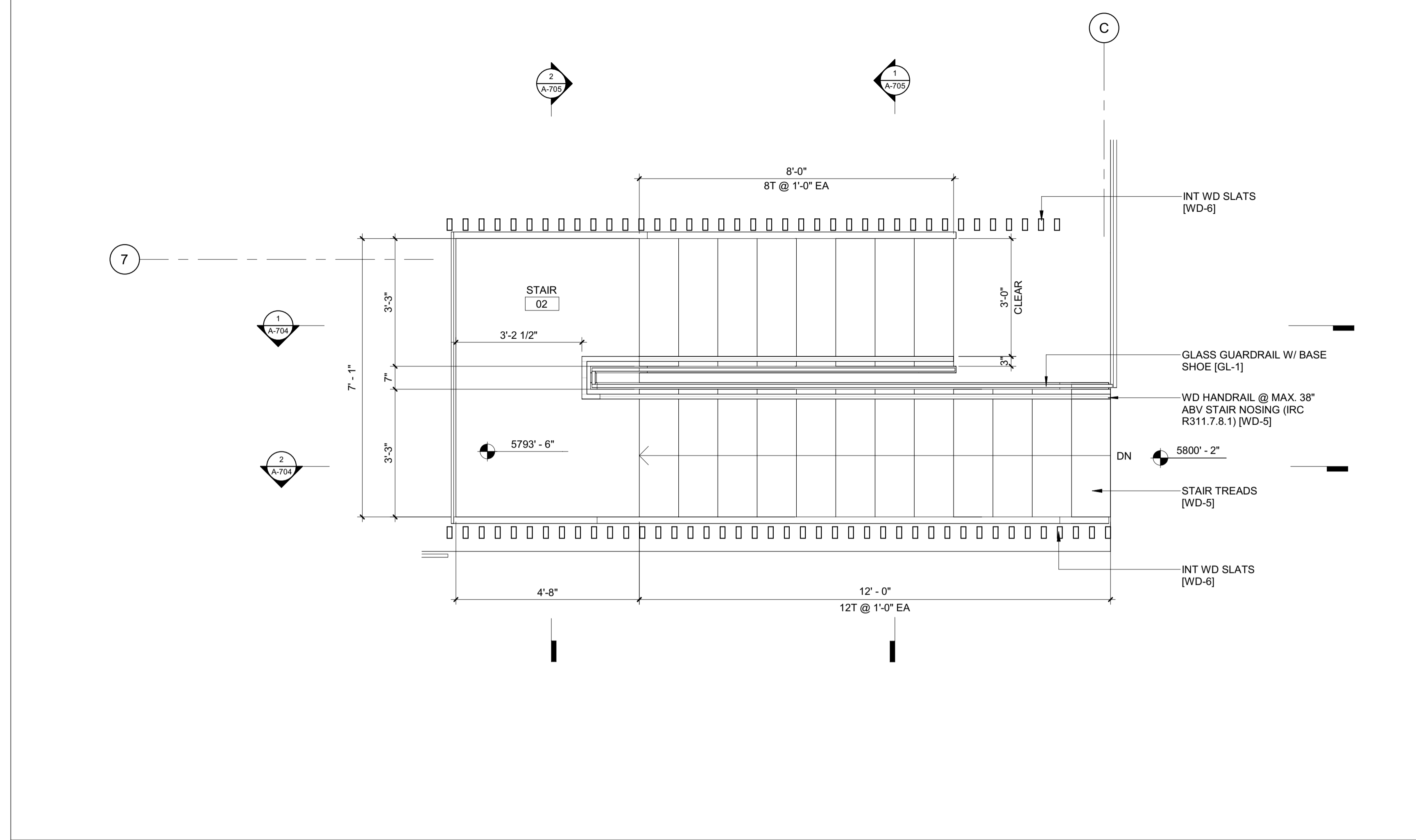
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PROJECT:
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KETCHUM, ID 83340

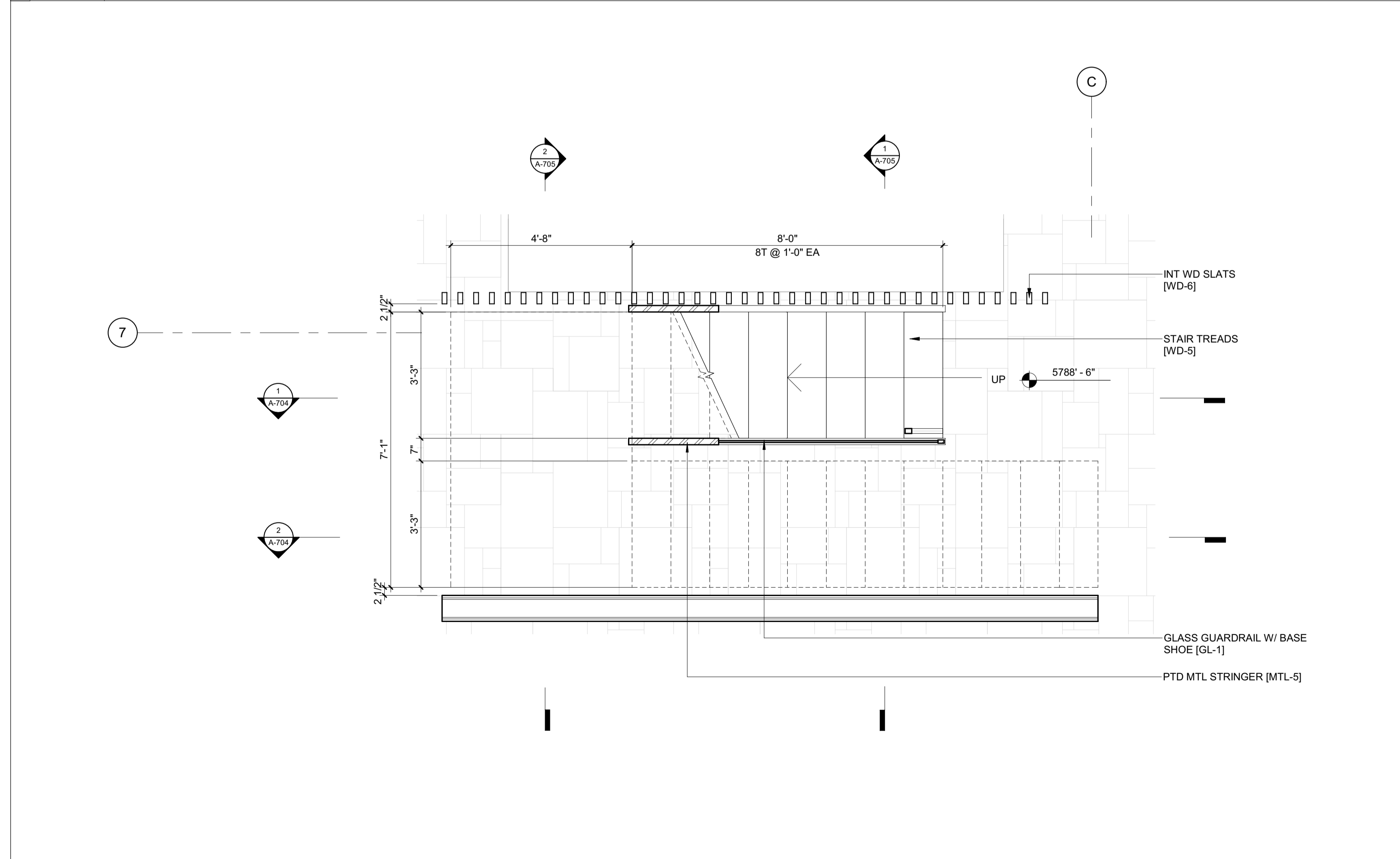
PROJECT NUMBER
#2201

DRAWING TITLE:
ENLARGED PLANS / STAIR 2

DRAWING NUMBER:
A-703



2 1/2" = 1'-0" ENLARGED PLAN / STAIR 2 / LEVEL 02



1 1/2" = 1'-0" ENLARGED PLAN / STAIR 2 / LEVEL 01

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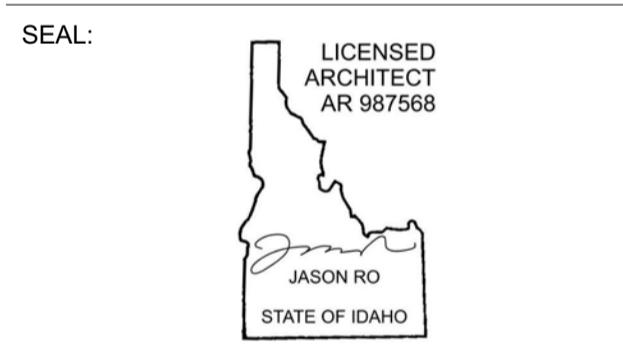
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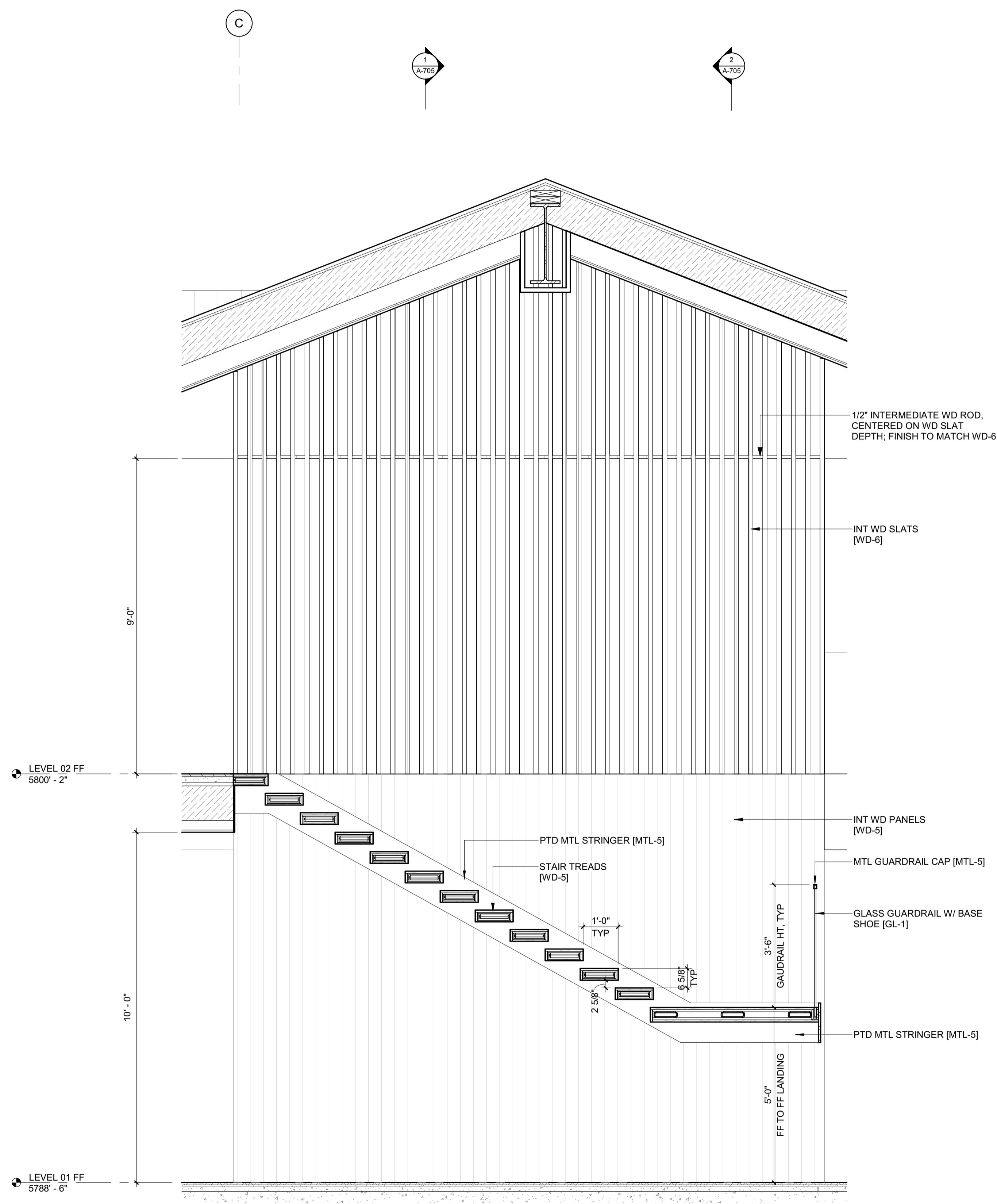
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NO	DATE	ISSUE

PROJECT:
BADGER RESIDENCE
 121 BADGER LANE
 KETCHUM, ID 83340

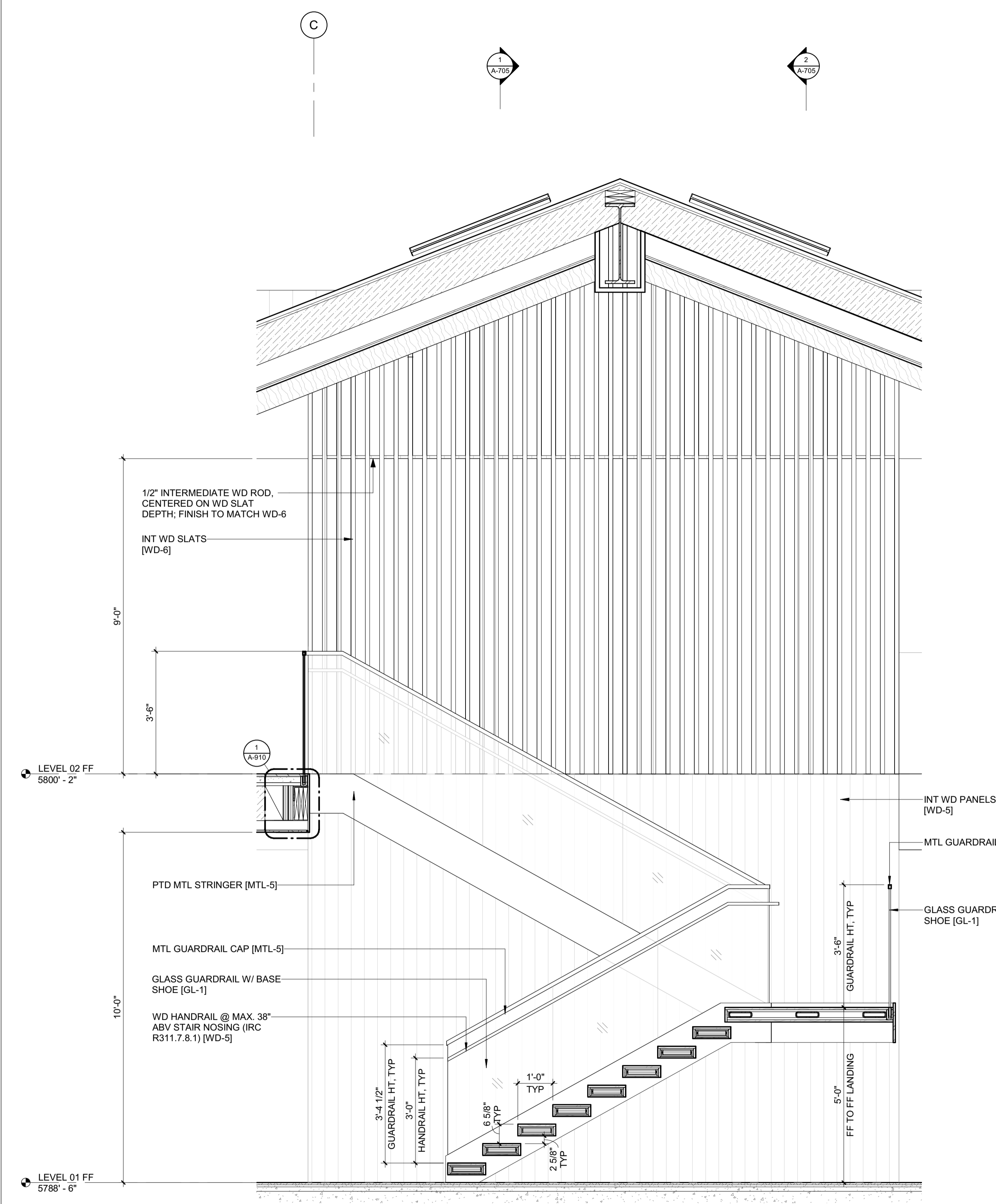
PROJECT NUMBER
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DRAWING TITLE:
ENLARGED SECTIONS / STAIR 2

DRAWING NUMBER:
A-704



2 1/2" = 1'-0" STAIR 2 / SECTION 2



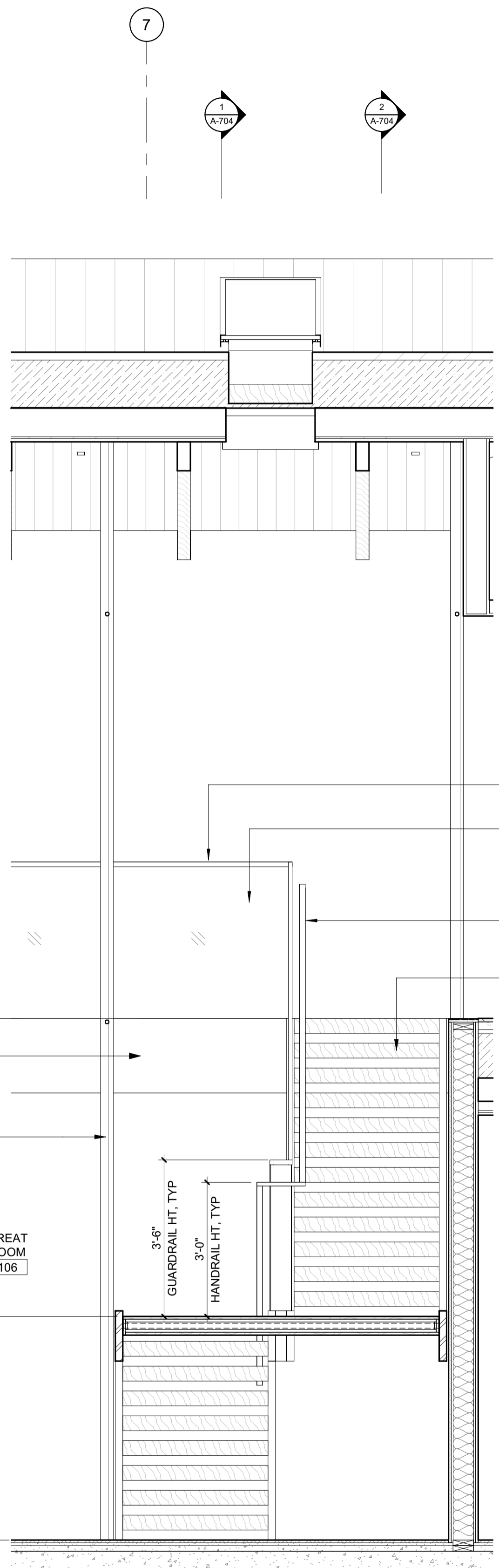
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BLD2303-00021
9/6/26/23

2/26/23



MTL GUARDRAIL CAP [MTL-5]
GLASS GUARDRAIL W/ BASE SHOE [GL-1]
WD HANDRAIL @ MAX. 38" ABV STAIR NOSING (IRC R311.7.8.1) [WD-5]
STAIR TREADS [WD-5]

LEVEL 02 FF
5800' - 2"

PTD MTL PANEL FASCIA [MTL-5]
INT WD SLATS [WD-6]

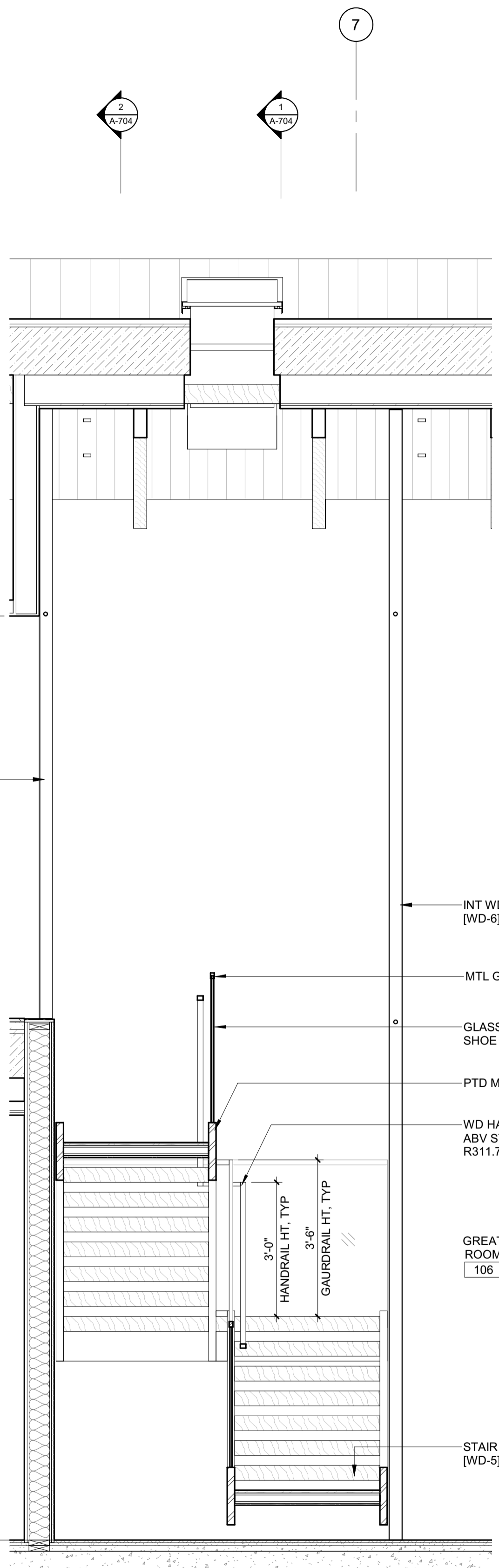
6'-5 1/2" LANDING FF TO FF

5'-0" FF TO LANDING FF

LEVEL 01 FF
5788' - 6"

GREAT ROOM 106

3'-0" GUARDRAIL HT. TYP
3'-0" HANDRAIL HT. TYP



LEVEL 02 FF
5800' - 2"

INT WD SLATS [WD-6]

9'-0"

11'-8"

LEVEL 01 FF
5788' - 6"

INT WD SLATS [WD-6]
MTL GUARDRAIL CAP [MTL-5]
GLASS GUARDRAIL W/ BASE SHOE [GL-1]
PTD MTL STRINGER [MTL-5]
WD HANDRAIL @ MAX. 38" ABV STAIR NOSING (IRC R311.7.8.1) [WD-5]

GREAT ROOM 106

3'-0" HANDRAIL HT. TYP
3'-0" GAURDRAIL HT. TYP

STAIR TREADS [WD-5]

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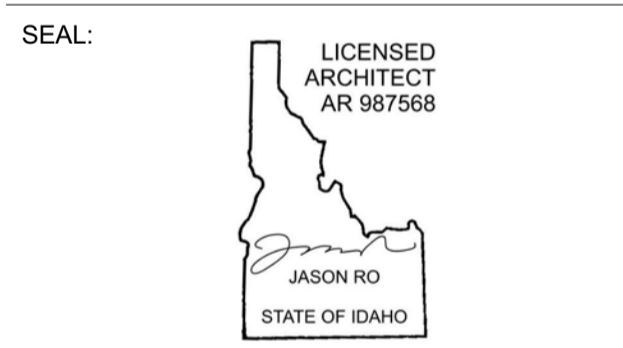
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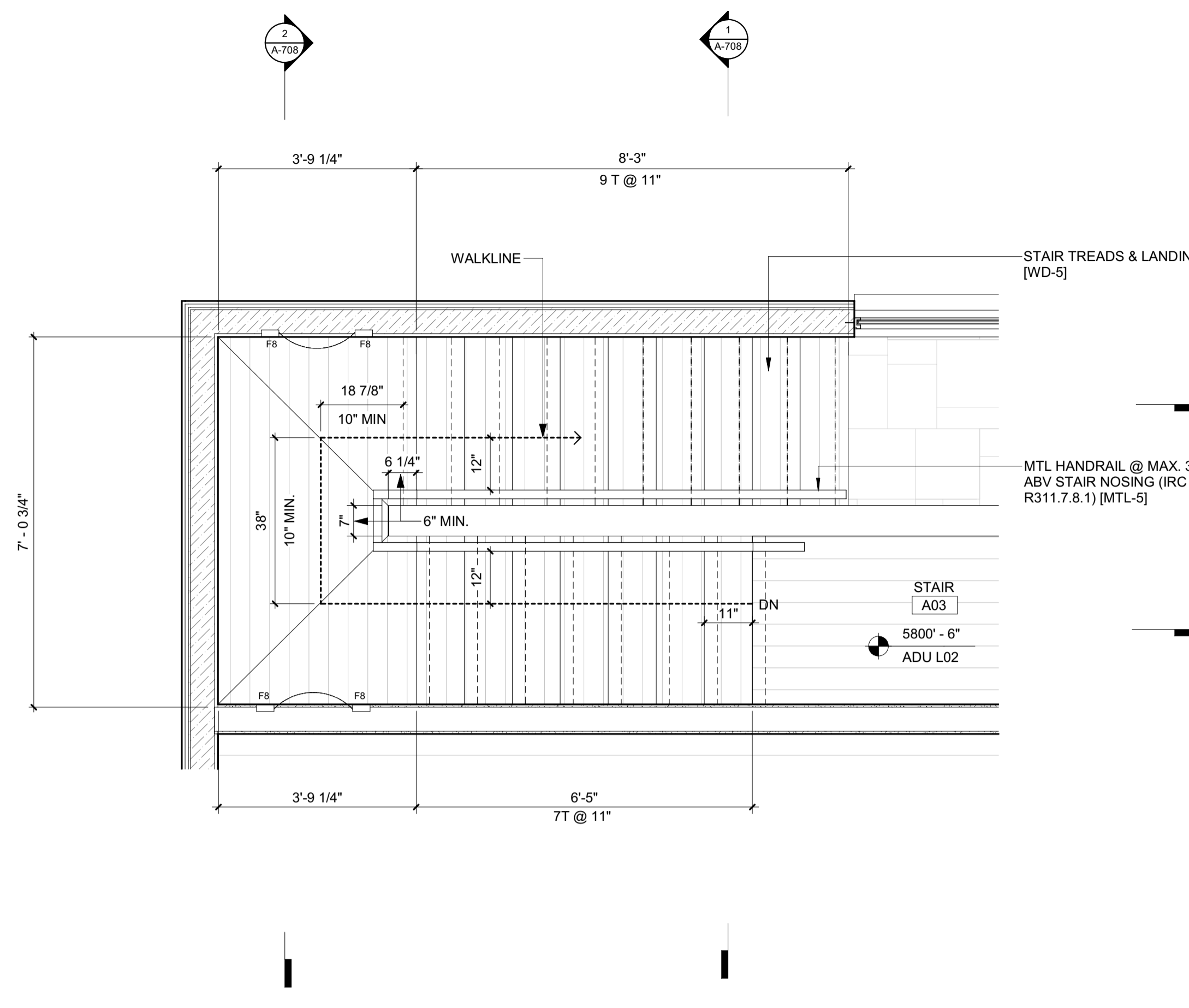
DRAWING TITLE:
ENLARGED SECTIONS / STAIR 2

DRAWING NUMBER:
A-705

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BLD2303-00021
9/6/26/23



STAIR NOTES:

1. THE WALKLINE ACROSS WINDER TREADS AND LANDINGS SHALL BE CONCENTRIC TO THE TURN AND PARALLEL TO THE DIRECTION OF TRAVEL ENTERING AND EXITING THE TURN. THE WALKLINE SHALL BE LOCATED 12 INCHES FROM THE INSIDE OF THE TURN. THE 12-INCH DIMENSION SHALL BE MEASURED FROM THE WIDEST POINT OF THE CLEAR STAIR WIDTH AT THE WALKING SURFACE. WHERE WINDERS ARE ADJACENT WITHIN A FLIGHT, THE POINT OF THE WIDEST CLEAR STAIR WIDTH OF THE ADJACENT WINDERS SHALL BE USED. **R311.7.3**
2. WINDER TREADS SHALL HAVE A TREAD DEPTH OF NOT LESS THAN 10 INCHES MEASURED BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTIONS OF ADJACENT TREADS AT THE INTERSECTIONS WITH WALKLINE. WINDER TREADS SHALL HAVE A TREAD DEPTH OF NOT LESS THAN 6 INCHES AT ANY POINT WITHIN THE CLEAR WIDTH OF THE STAIR. WITHIN ANY FLIGHT OF STAIRS, THE LARGEST WINDER TREAD DEPTH AT THE WALKLINE SHALL NOT EXCEED THE SMALLEST WINDER TREAD BY MORE THAN 3/8 INCH. CONSISTENTLY SHAPED WINDERS AT THE WALKLINE SHALL BE ALLOWED WITHIN THE SAME FLIGHT OF STAIRS AS RECTANGULAR TREADS AND SHALL NOT BE REQUIRED TO BE WITHIN 3/8 INCH OF THE RECTANGULAR TREAD DEPTH. **R311.7.5.2.1**

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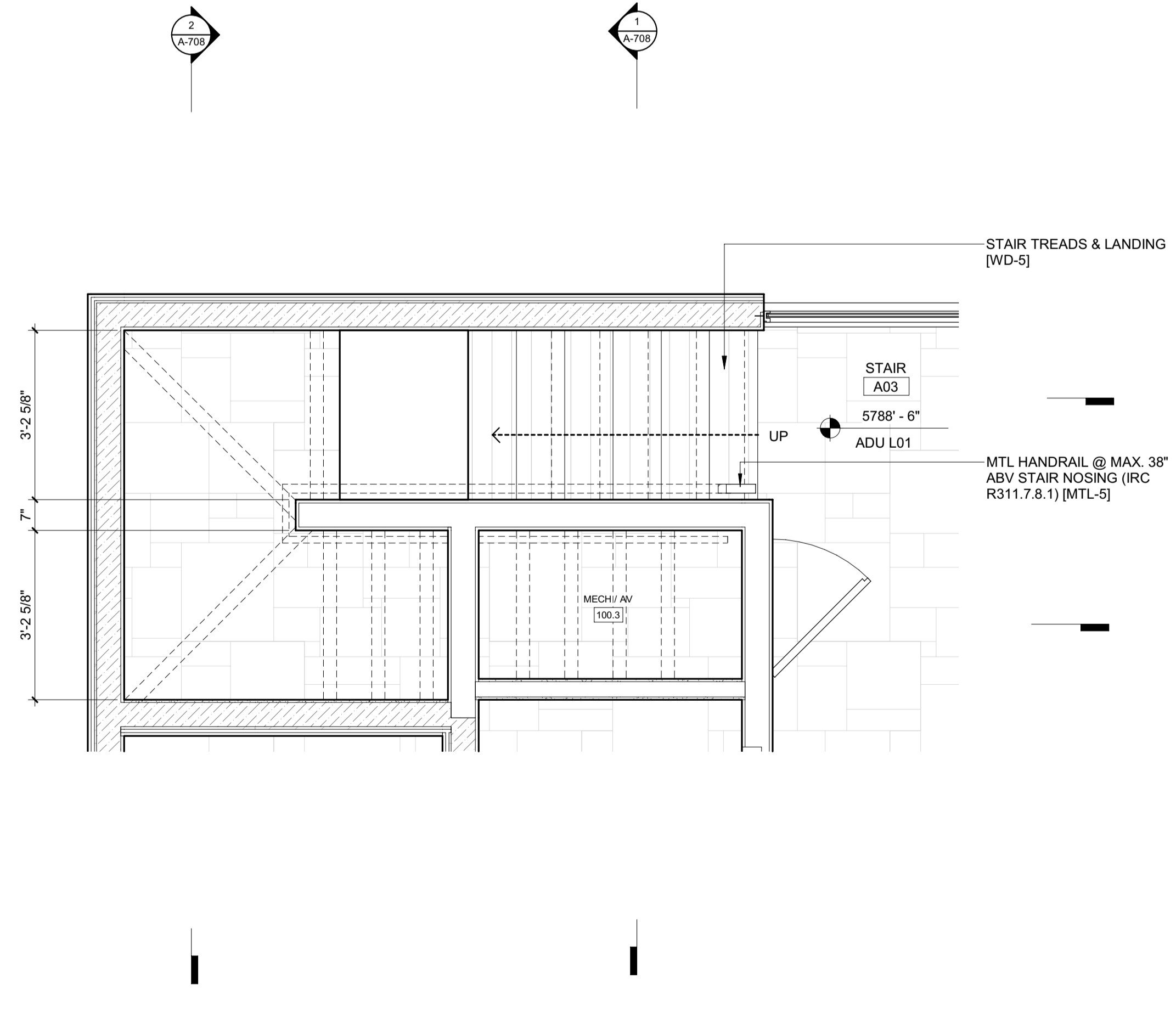
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2 1/2" = 1'-0" ENLARGED PLAN / STAIR 3 / ADU LEVEL 02



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SEAL:

NO	DATE	ISSUE

PROJECT:
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121 BADGER LANE
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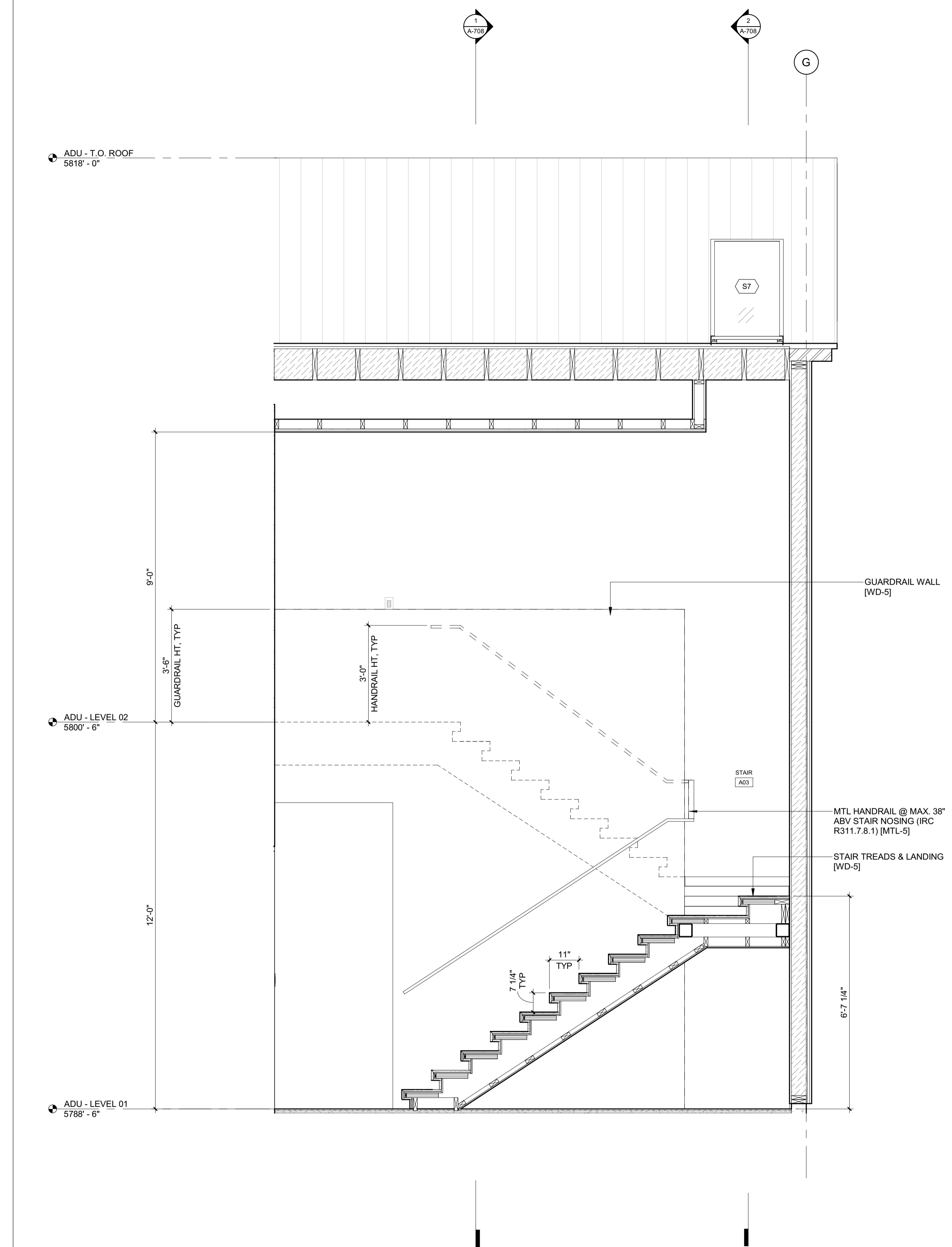
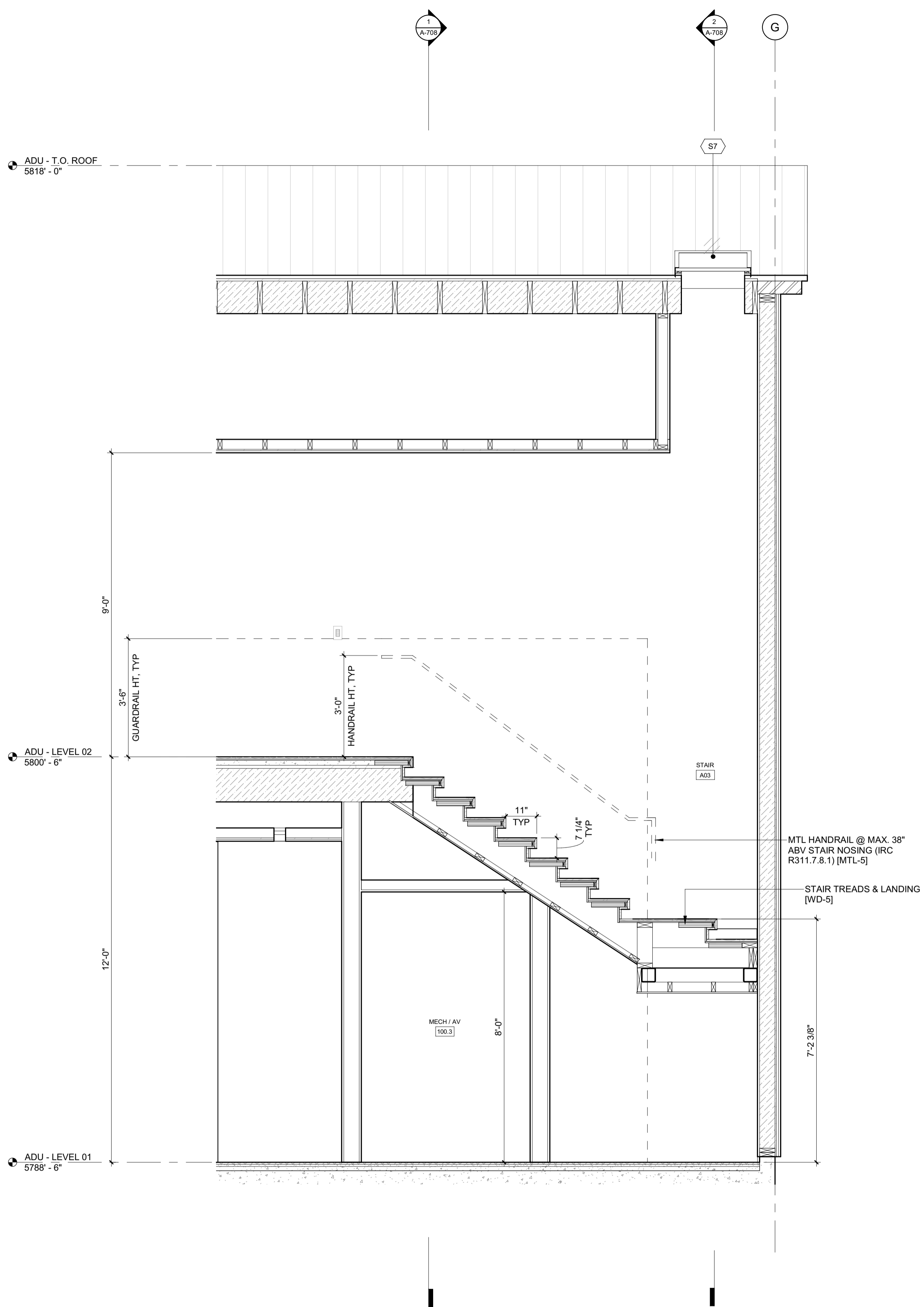
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DRAWING TITLE:
ENLARGED PLANS / STAIR 3

DRAWING NUMBER:
A-706

1 1/2" = 1'-0" ENLARGED PLAN / STAIR 3 / ADU LEVEL 01

2/25

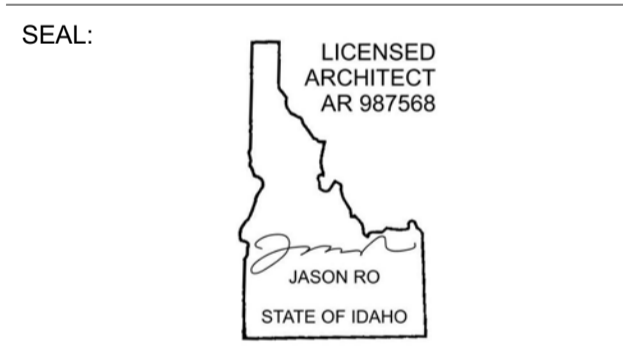


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PROJECT NUMBER:
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DRAWING TITLE:
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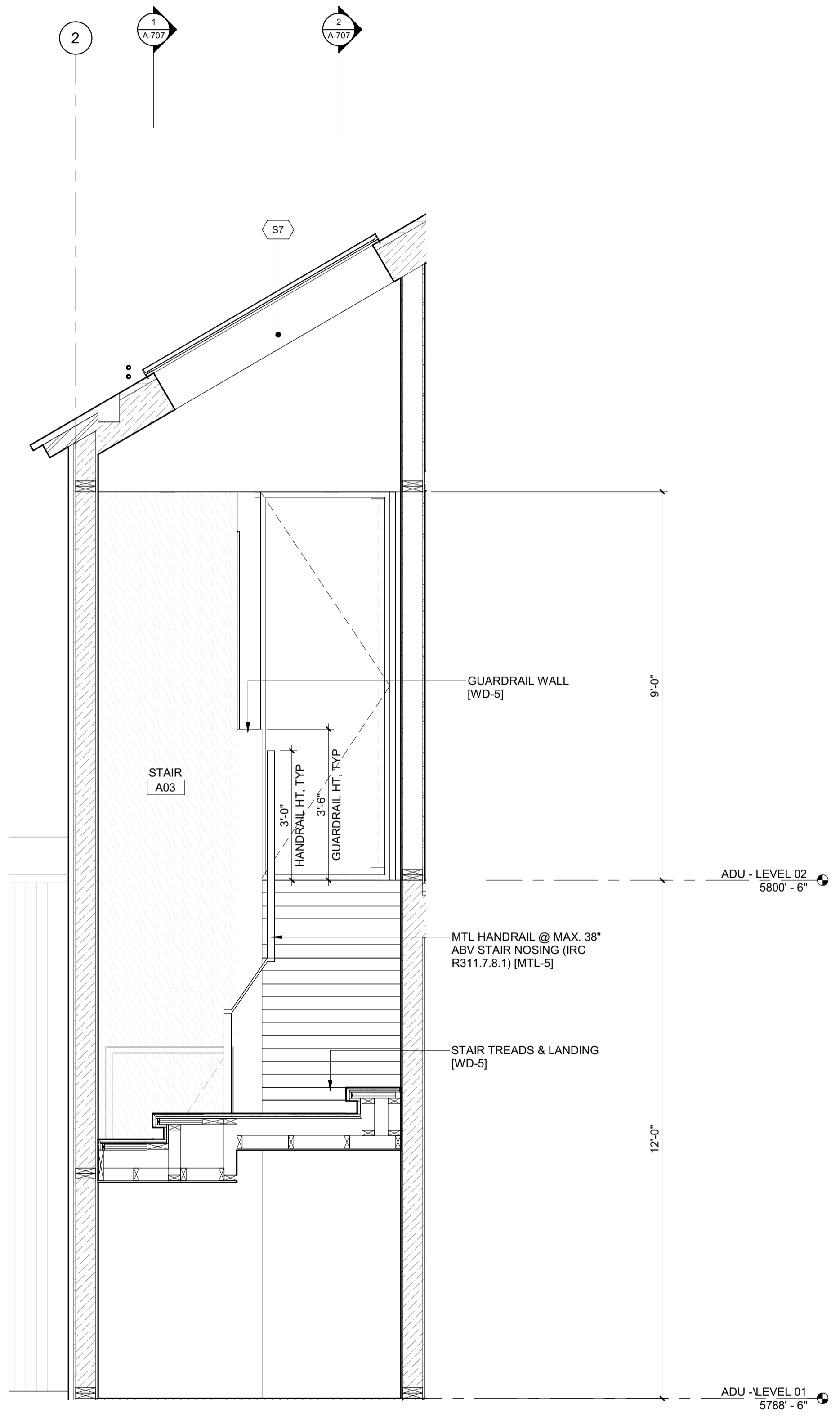
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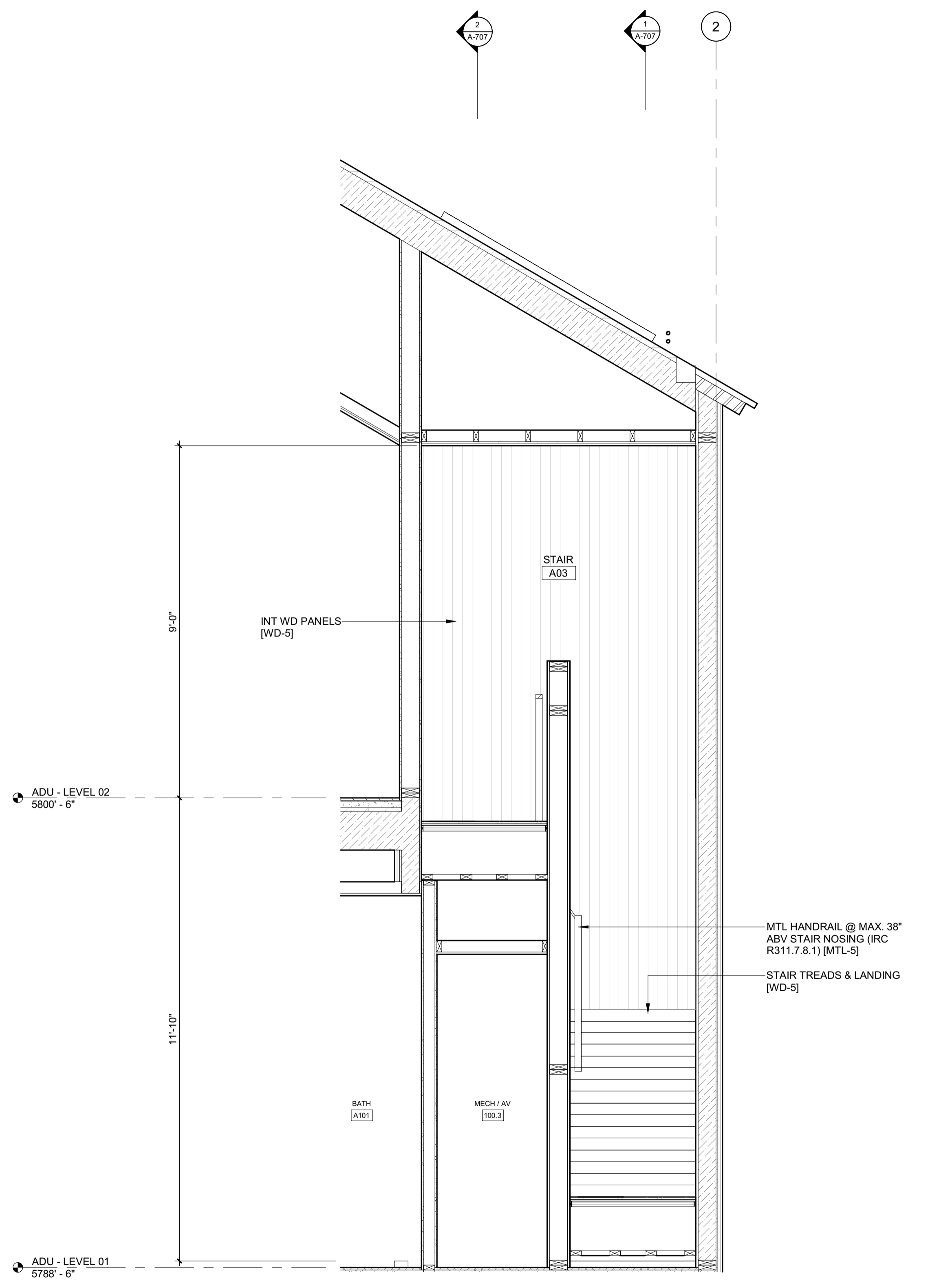
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9/6/26/23

2/26/23



2 1/2" = 1'-0" STAIR 3 / SECTION 5



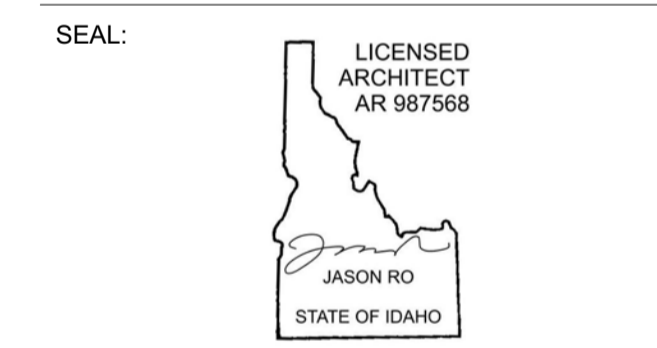
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		ISSUE

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PROJECT NUMBER
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DRAWING TITLE:
ENLARGED SECTIONS / STAIR 3

DRAWING NUMBER:
A-708



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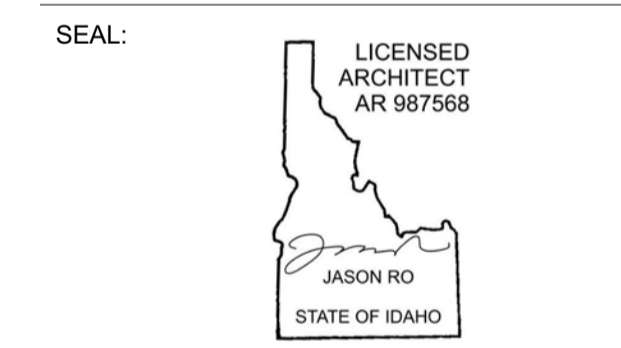
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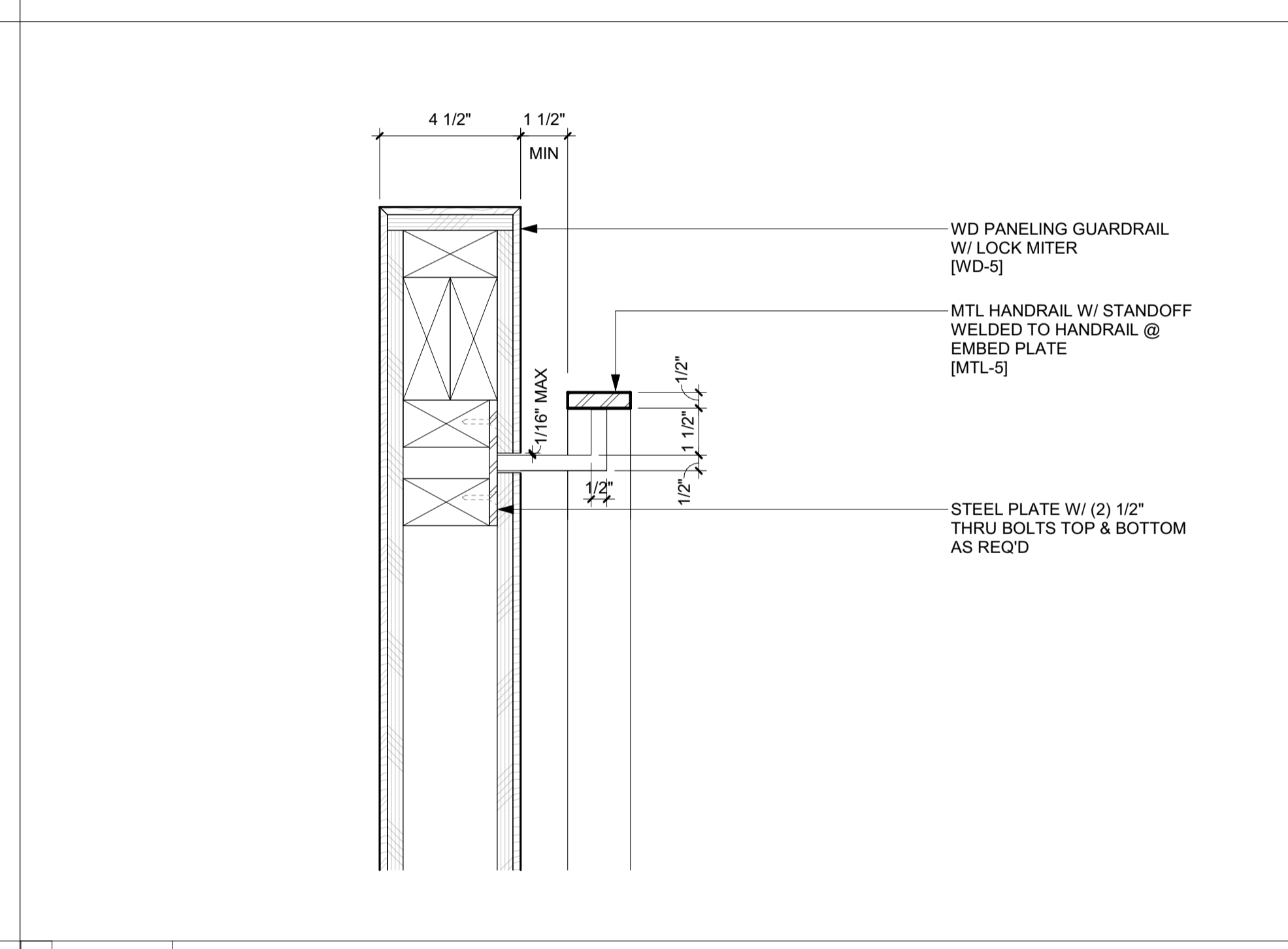
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PROJECT:
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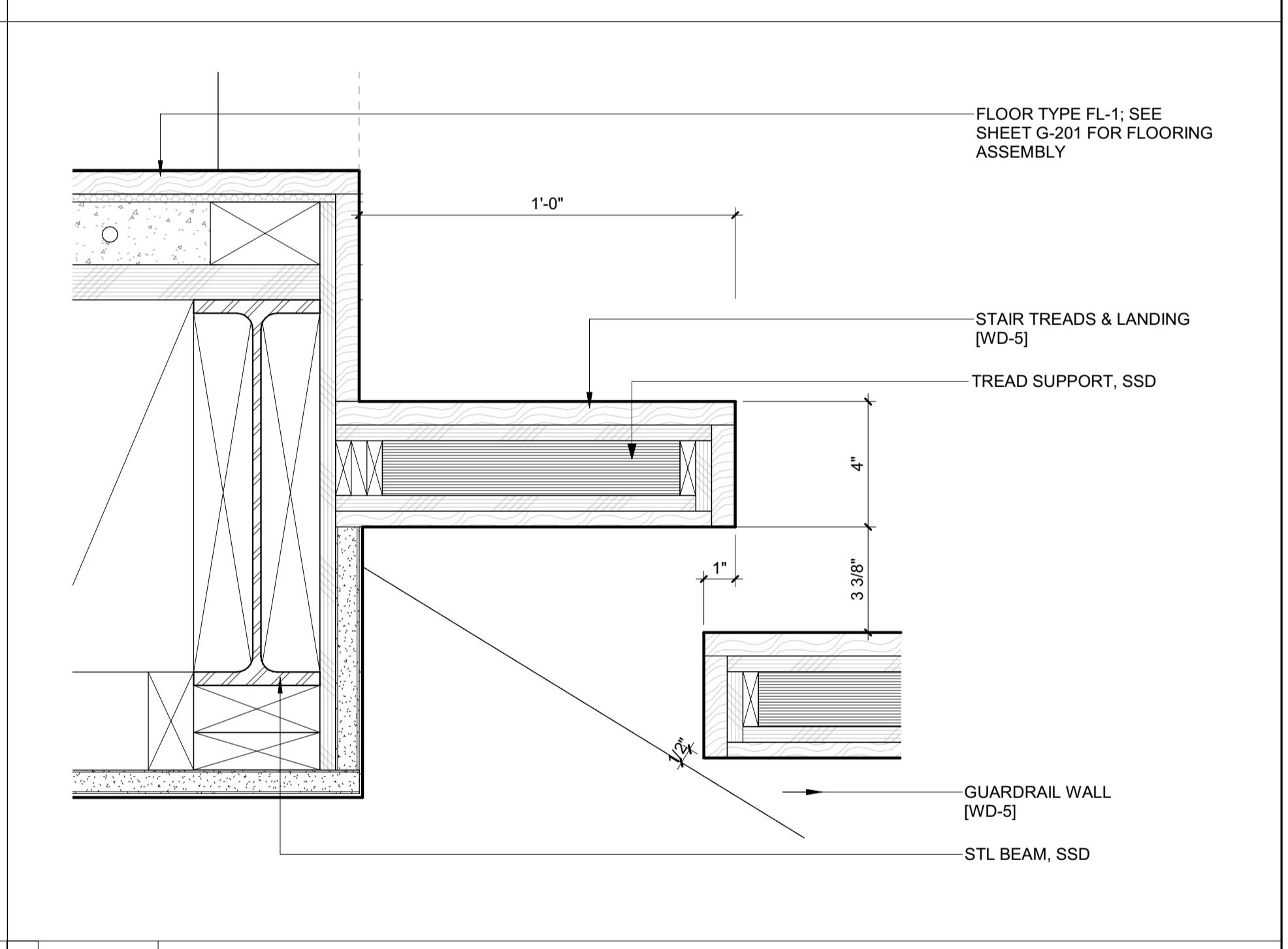
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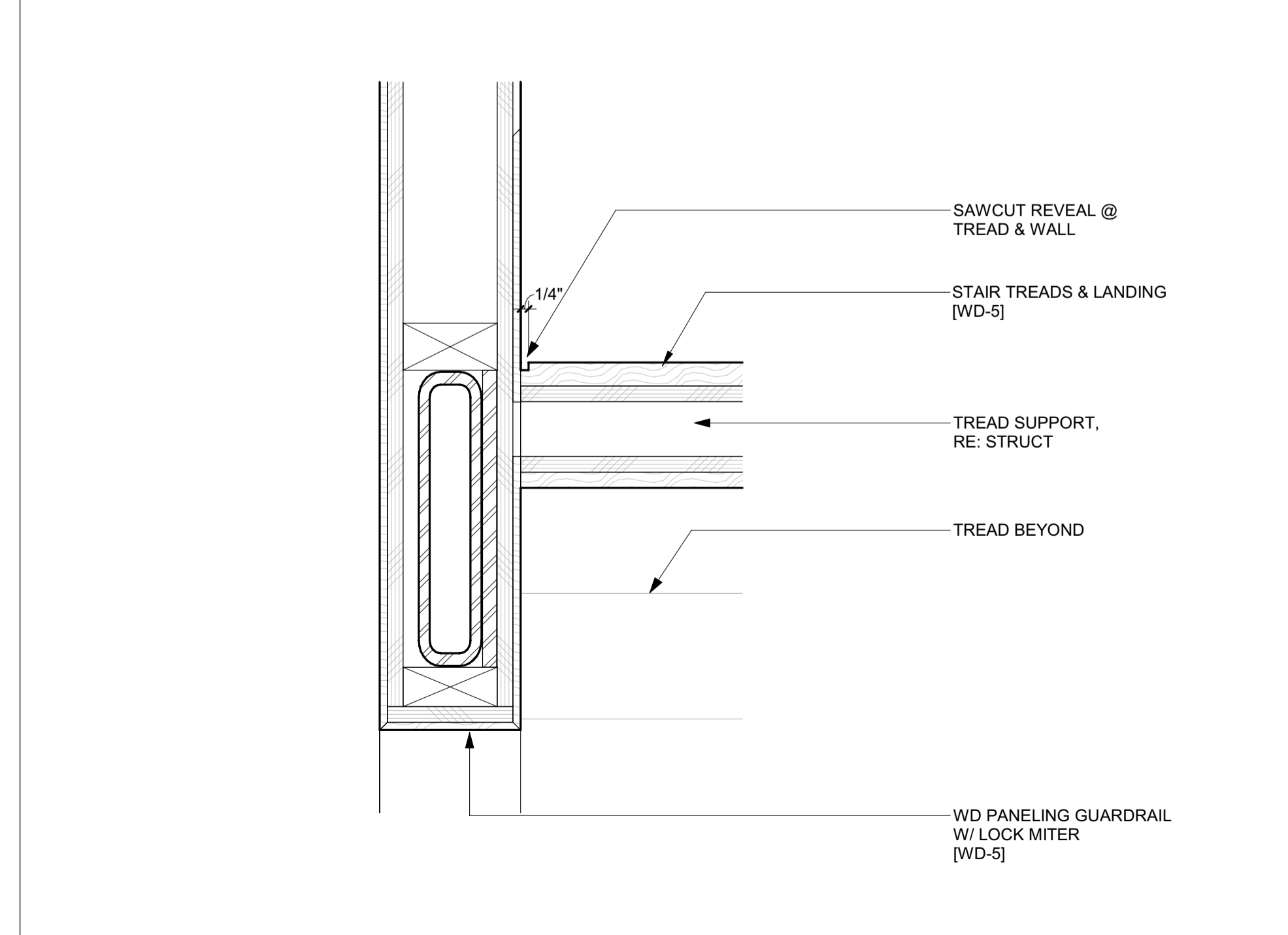
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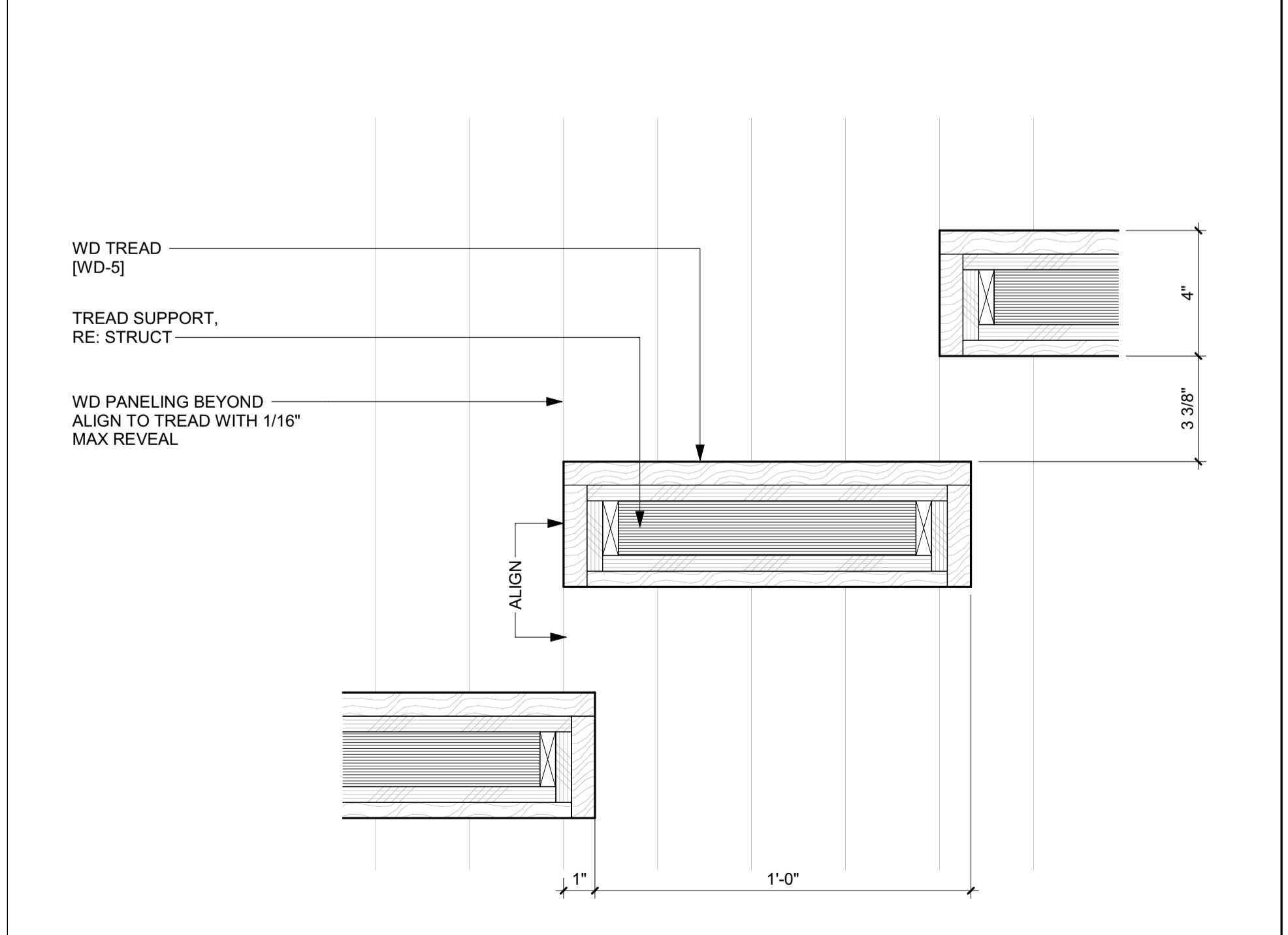
5 3" = 1'-0" DETAIL / STAIR 1 HANDRAIL @ GUARDRAIL WALL



2 3" = 1'-0" DETAIL / STAIR 1 @ FLR LANDING



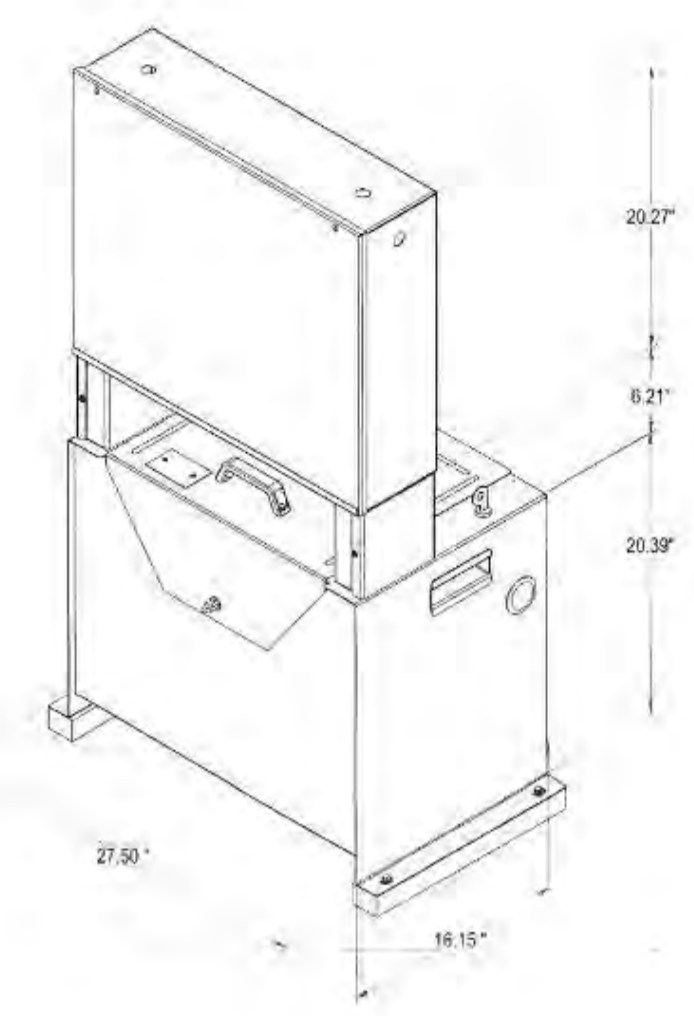
4 3" = 1'-0" DETAIL / STAIR 1 TREAD @ GUARDRAIL WALL



1 3" = 1'-0" DETAIL / TYP STAIR 1 TREAD

Controller tank specifications

Controller tank specifications	
Dimensions	Height: 47" (1194 mm) Width: 28" (711 mm) Depth: 17" (432 mm)
Minimum required clearance	39.37" (1000 mm)
Valve and manual lowering handle location	Inside tank
Rupture valve test	T-fitting factory installed
Tank to controller wiring	Quick connect valve and motor wiring
Controller layout	Relay board
Keyed lock to tank	Yes
Machine room required	No (with local jurisdiction approval)
Tank capacity (gal/ltr)	15-16.5 gal/57-63 ltr
Maximum dry weight (lb/kg)	147 lb/55 kg
Maximum filled weight (lb/kg)	312 lb/117 kg
Operating environment	50°F - 120°F / 10°C - 49°C
Operating volume	57 dBA

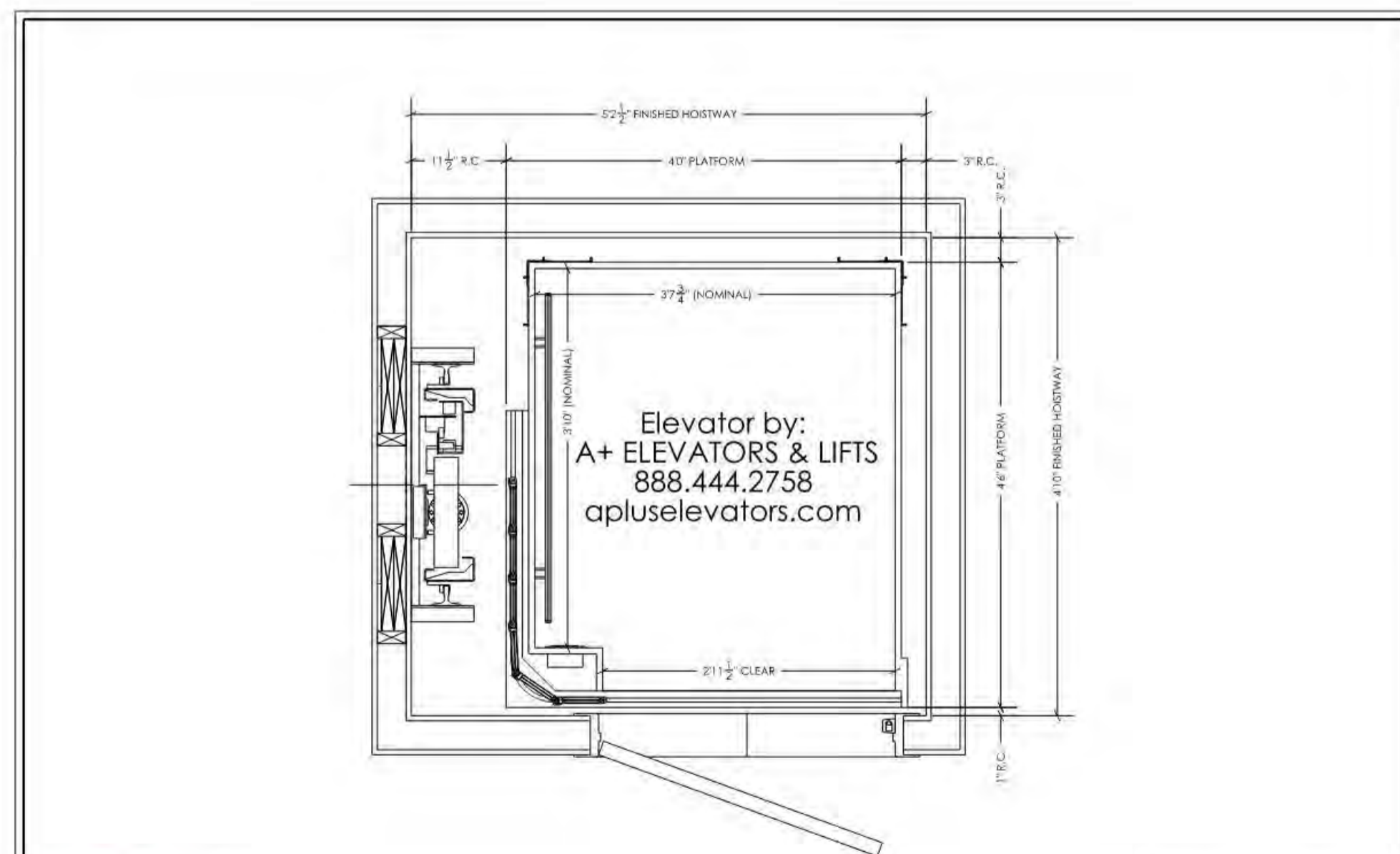


Controller tank features

- Hydraulic hose connection port on both sides of the tank
- Built-in handles on both sides of the tank
- Isolation mounting of pump motor valve assembly minimizes operating issues

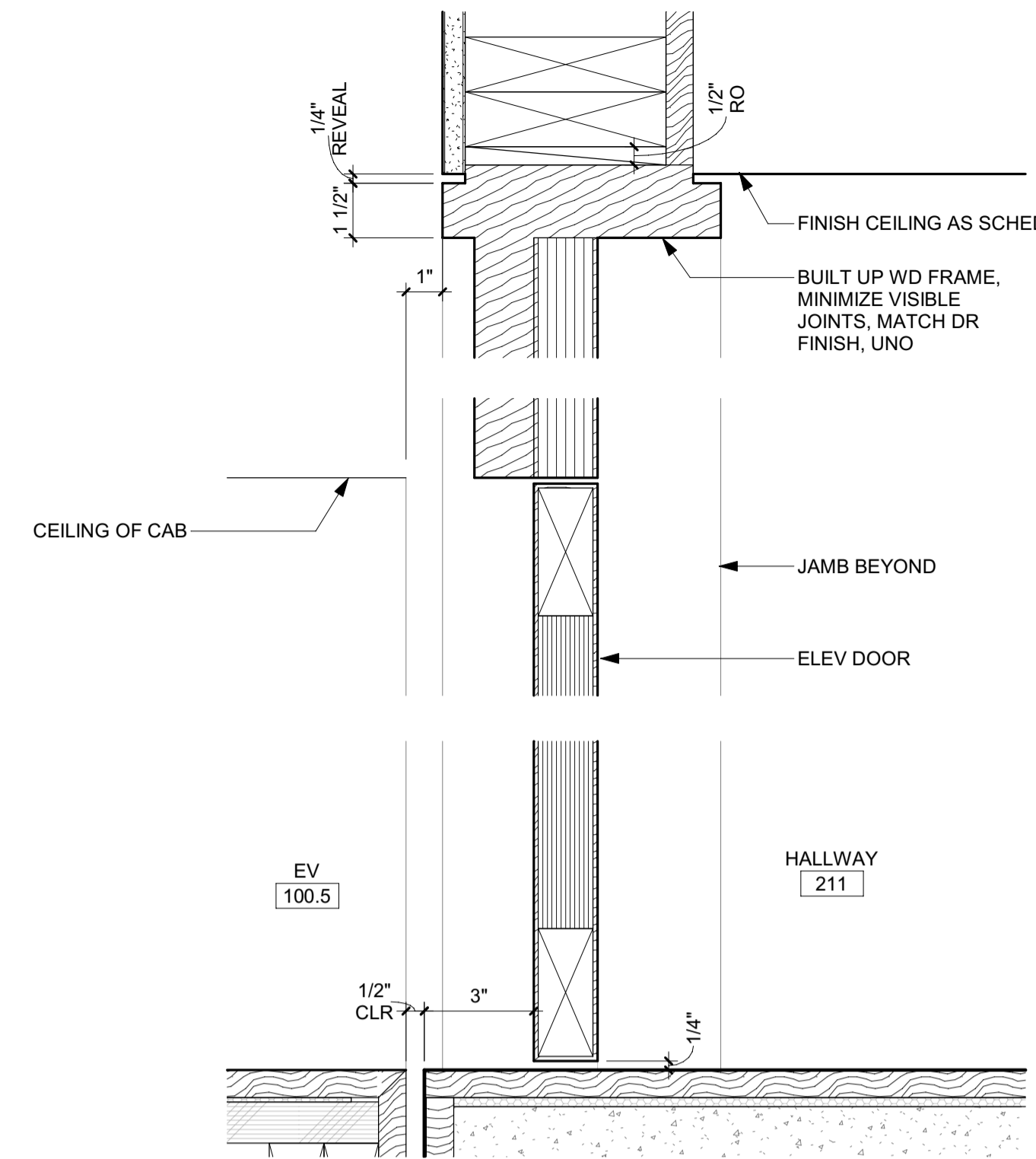
Part No. 000783, 25-m05-2015

Infinity and Infinity HD Planning Guide

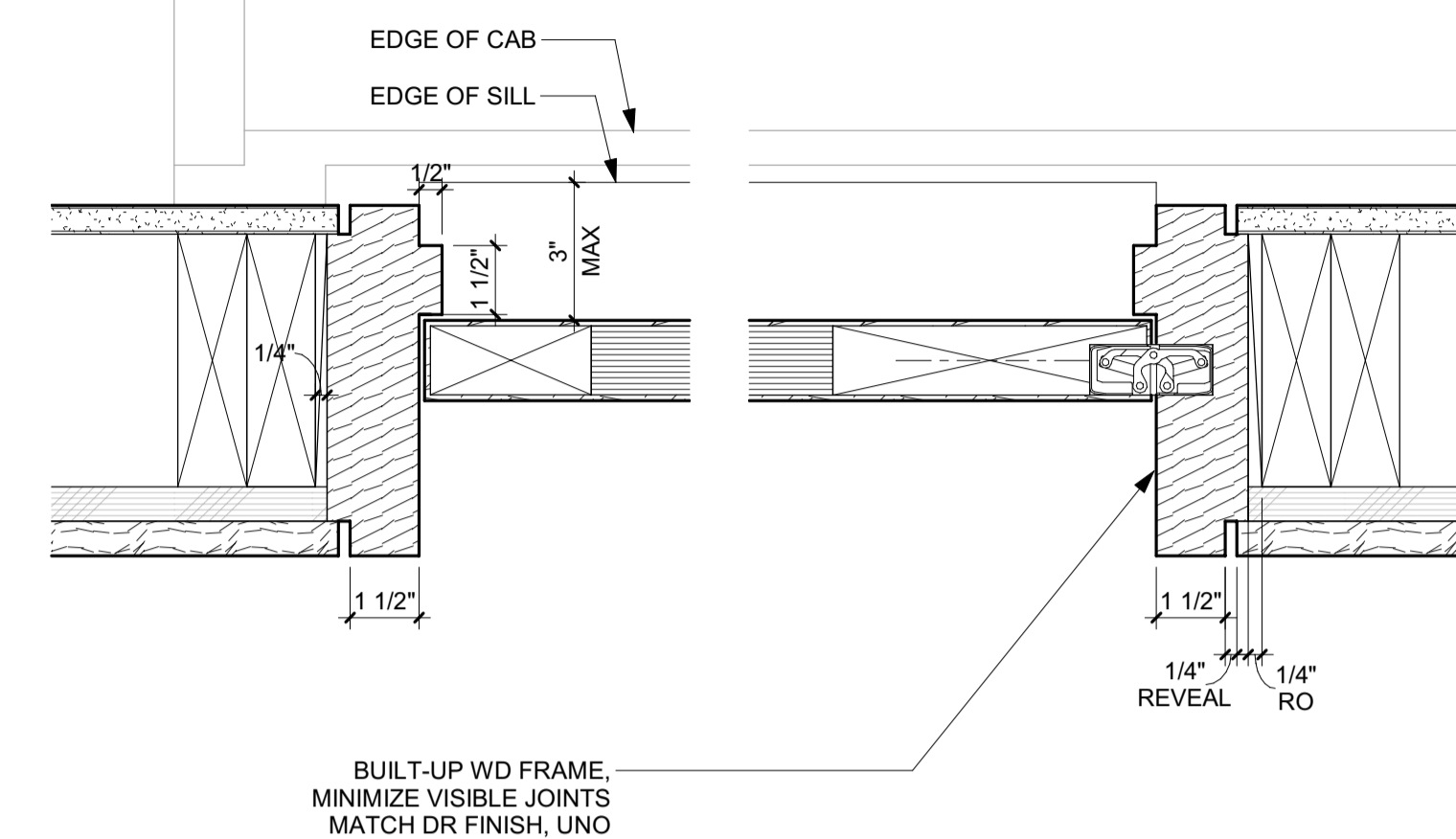


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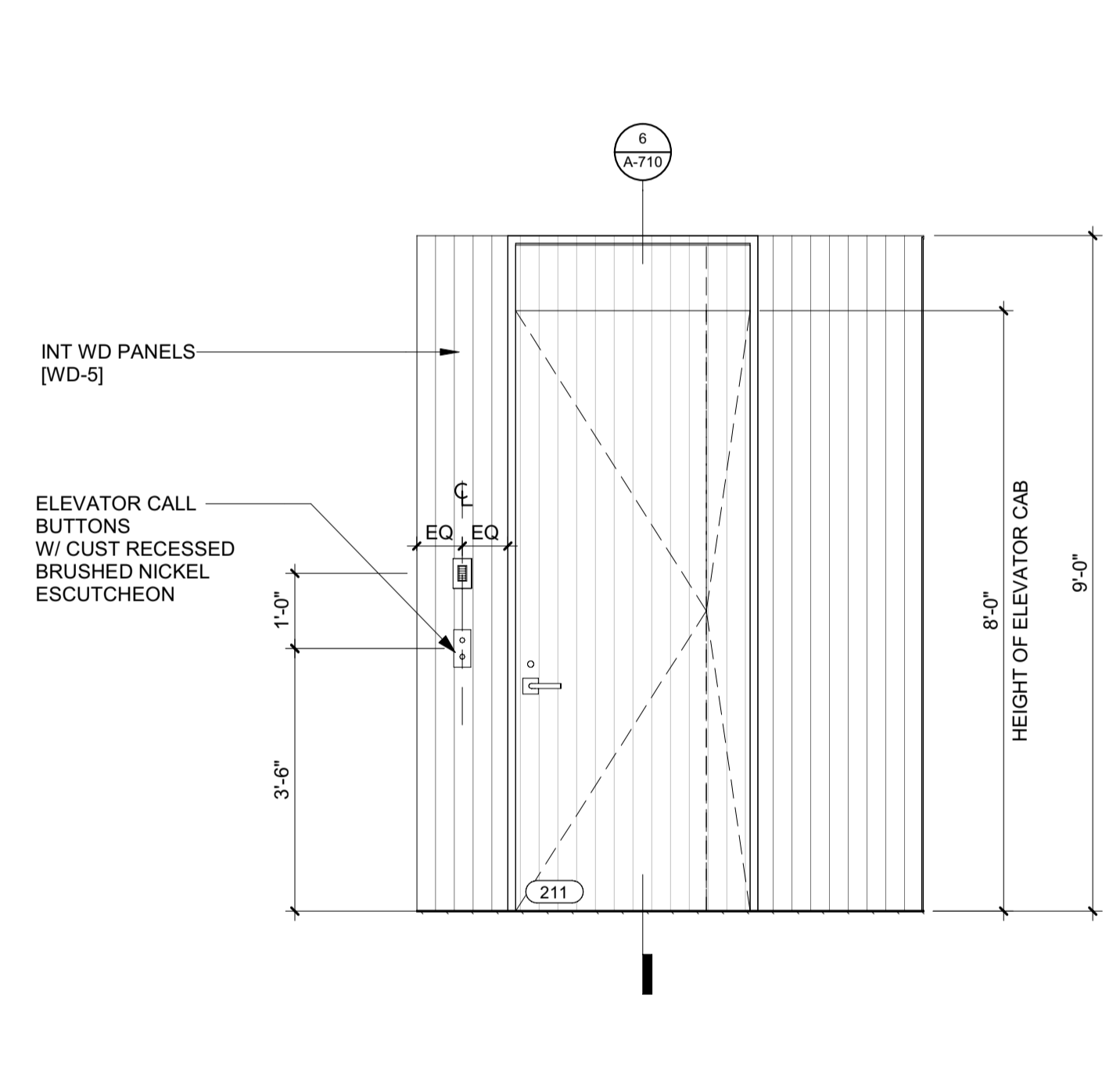
INLINE LH - 18 SQFT PLATFORM



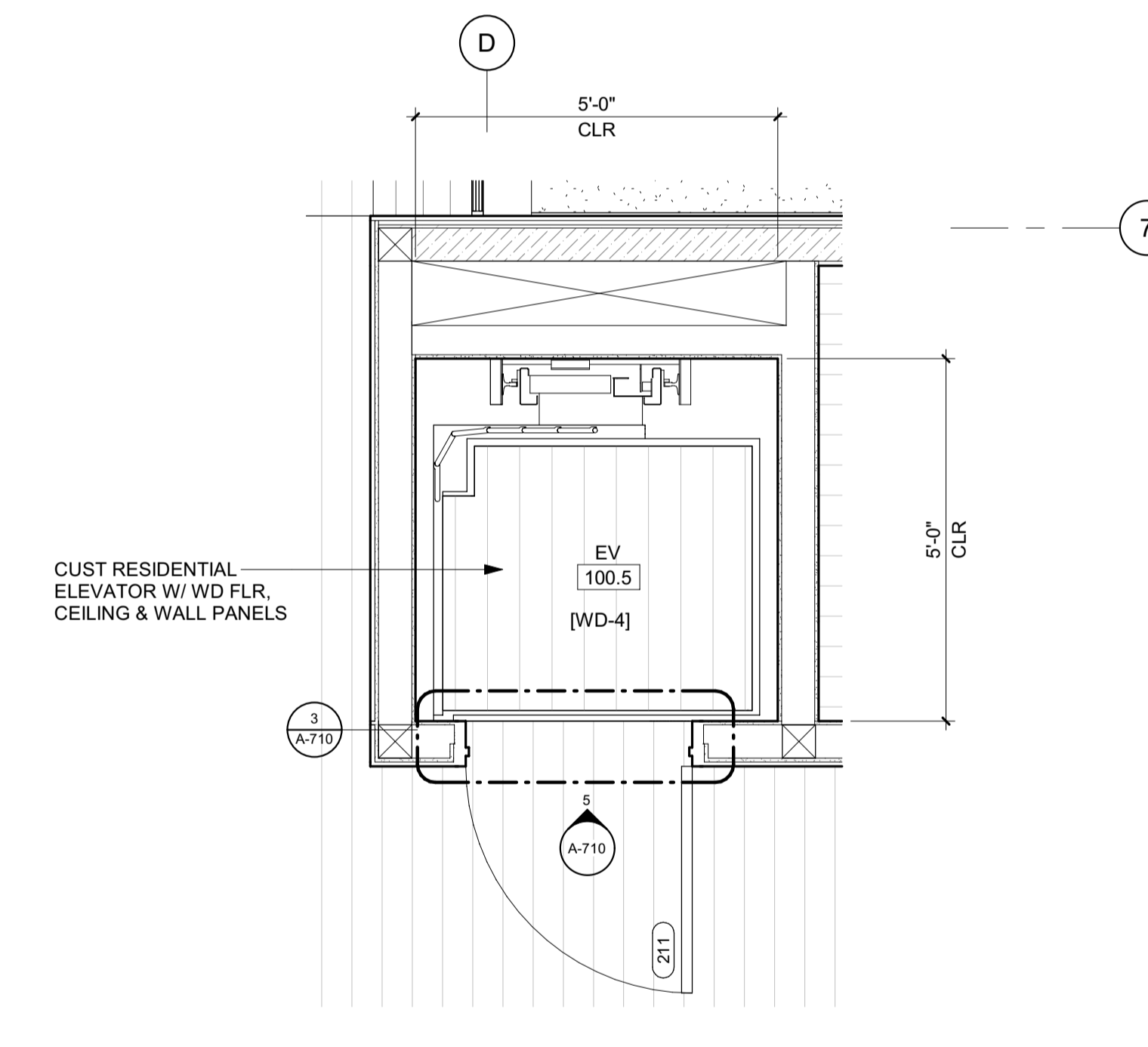
6 3" = 1'-0" DETAIL / HEAD & SILL / ELEVATOR DR 211



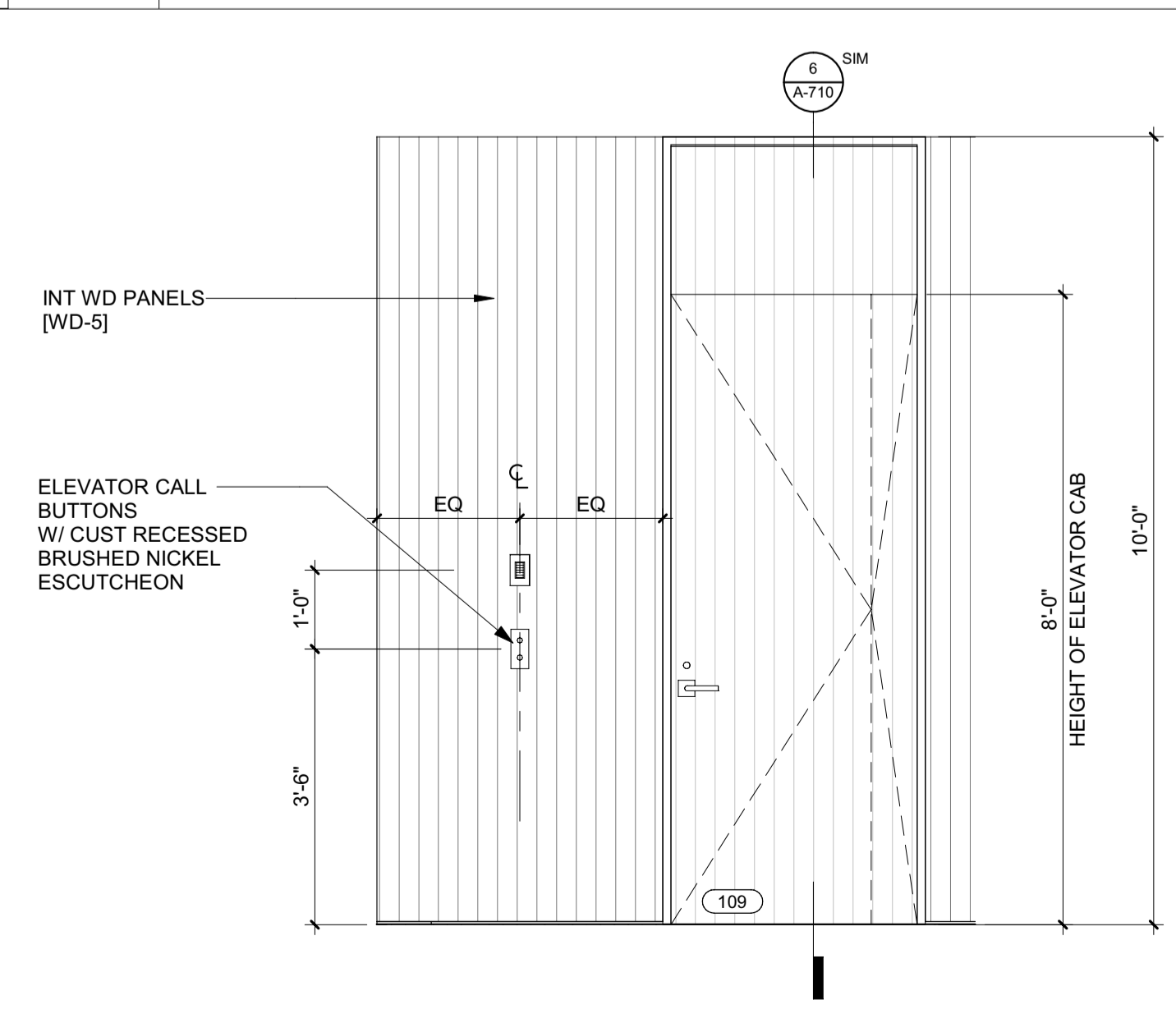
3 3" = 1'-0" DETAIL / JAMB / ELEVATOR DOOR 211



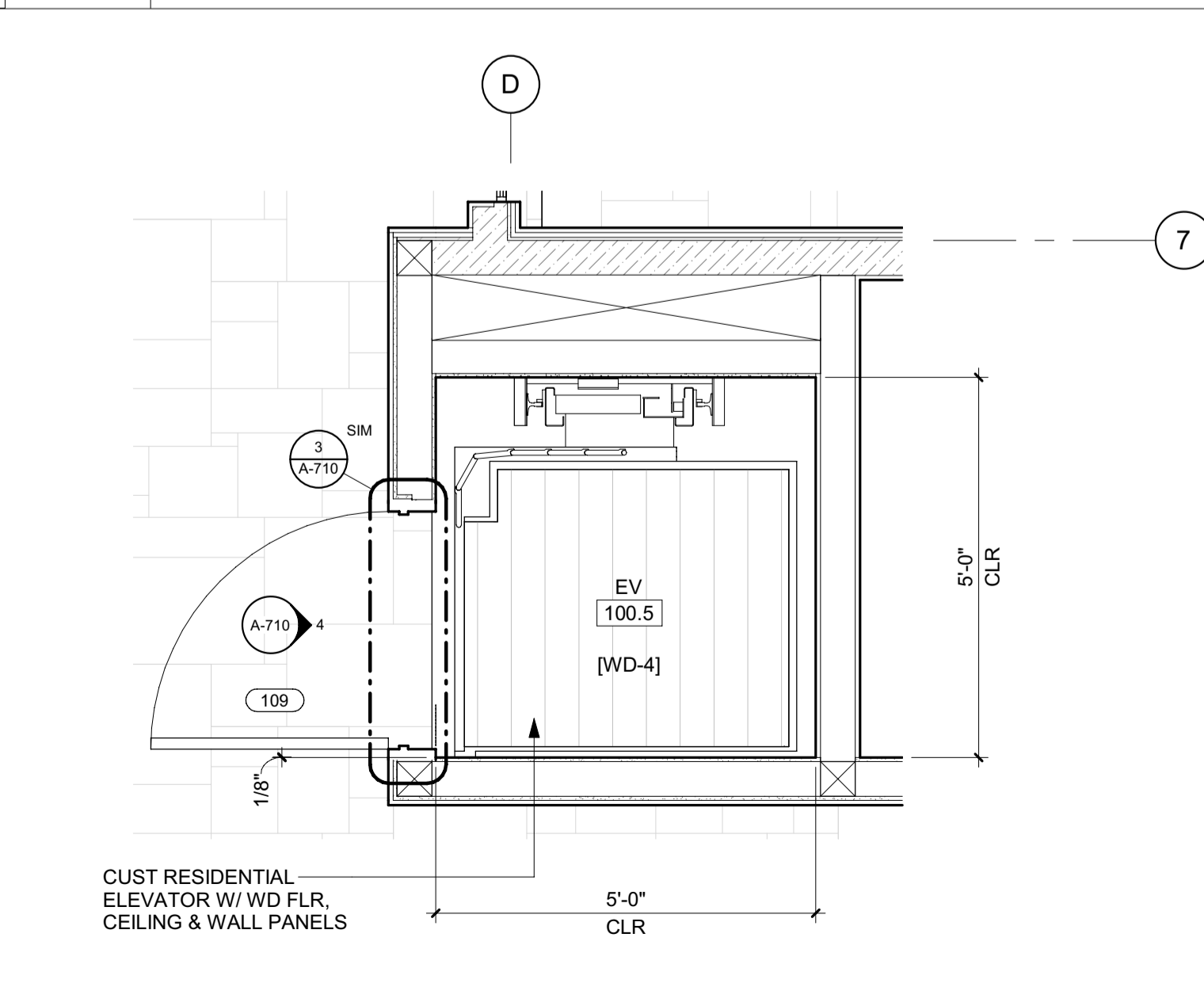
5 1/2" = 1'-0" ELEVATION / LEVEL 02 / ELEVATOR



2 1/2" = 1'-0" PLAN / LEVEL 02 / ELEVATOR



4 1/2" = 1'-0" ELEVATION / LEVEL 01 / ELEVATOR



1 1/2" = 1'-0" PLAN / LEVEL 01 / ELEVATOR

BADGER RESIDENCE

OWNER:

121 BADGER LANE LLC
 P.O. BOX 14001-174
 KETCHUM, ID 83340

PROJECT ARCHITECT:

RO | ROCKETT DESIGN
 1031 W. MANCHESTER BLVD, UNIT 6
 INGLEWOOD, CA 90301
 TEL: 213.784.0014

SURVEYOR:

GALENA ENGINEERING, INC.
 317 NORTH RIVER STREET
 HAILEY, ID 83333
 TEL: 208.788.1705

ENVIRONMENTAL CONSULTANT:

SAWTOOTH ENVIRONMENTAL CONSULTING
 P.O. BOX 2707 / 540 NORTH FIRST AVE
 KETCHUM, ID 83340
 TEL: 208.727.9748

HYDROLOGY / WATER ENGINEERING:

BROCKWAY ENGINEERING, INC.
 2018 WASHINGTON ST NORTH, SUITE 4
 TWIN FALLS, ID 83301
 TEL: 208.736-8543

GEOTECHNICAL ENGINEER:

BUTLER ASSOCIATES, INC.
 P.O. BOX 1034
 KETCHUM, ID 83340
 TEL: 208.720.6432

LANDSCAPE ARCHITECT:

BYLA
 323 LEWIS STREET, SUITE N
 KETCHUM, ID 83340
 TEL: 208.726.5907

CIVIL ENGINEER:

BENCHMARK ASSOCIATES, P.A.
 P.O. BOX 733 - 100 BELL DRIVE
 KETCHUM, IDAHO 83340
 TEL: 208.726.9512

STRUCTURAL ENGINEER:

LFA
 319 MAIN STREET
 EL SEGUNDO, CA 90245
 TEL: 213.239.9700

MEP ENGINEER:

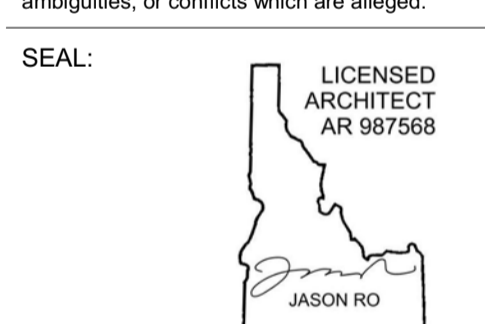
DES ENGINEERING SERVICES, LLC
 1001 W OAK BUILDING B SUITE 107
 BOZEMAN, MT 59715
 TEL: 406.272.0352

LIGHTING DESIGN CONSULTANT:

KGM ARCHITECTURAL LIGHTING
 270 CORAL CIRCLE
 EL SEGUNDO, CA 90245
 TEL: 310.552.2191

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NO	DATE	BUILDING PERMIT	ISSUE
0	02.28.23	BUILDING PERMIT	

PROJECT:
BADGER RESIDENCE
 121 BADGER LANE
 KETCHUM, ID 83340

PROJECT NUMBER

#2201

DRAWING TITLE:
ELEVATOR PLANS, ELEVS & DETAILS

DRAWING NUMBER:

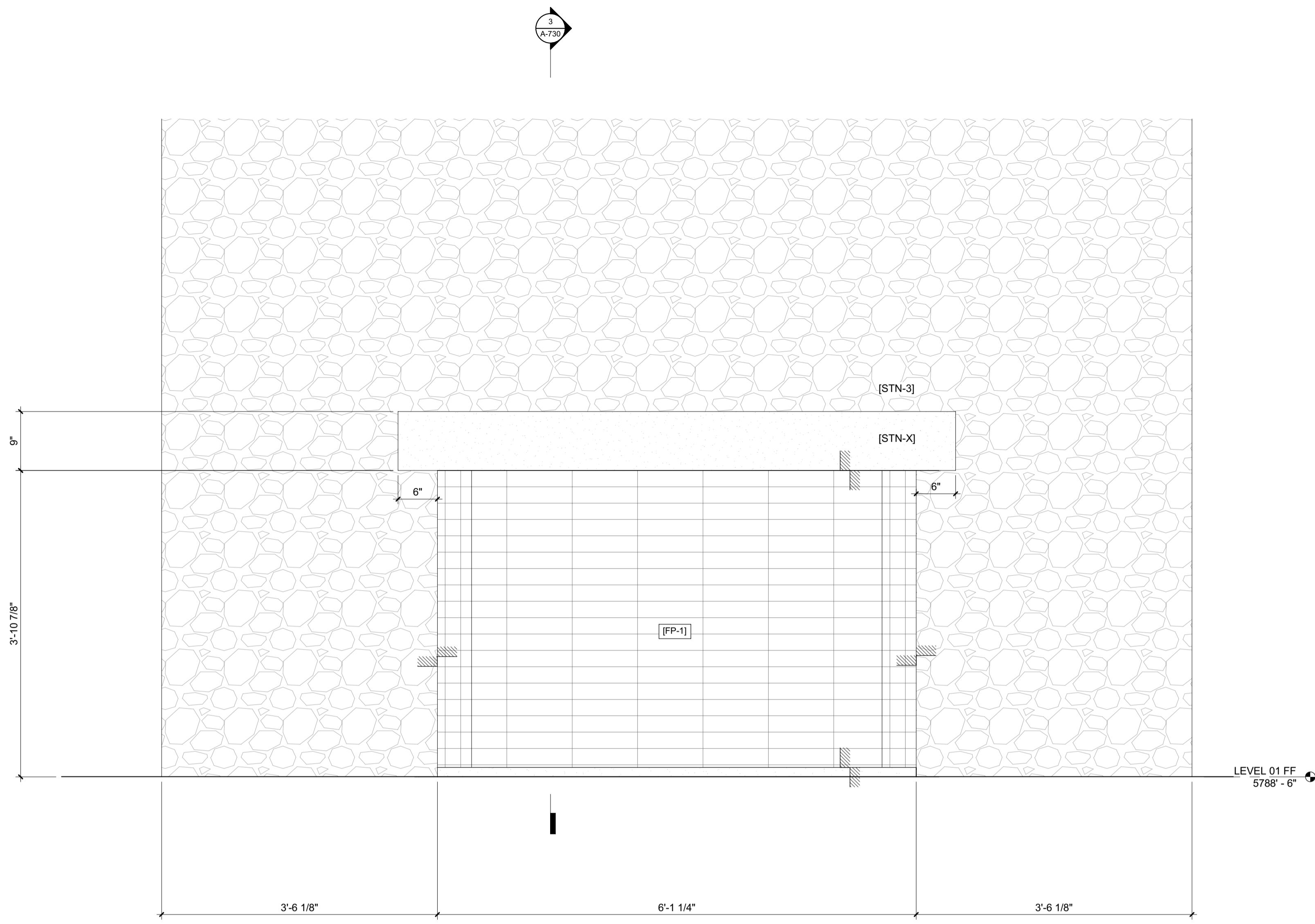
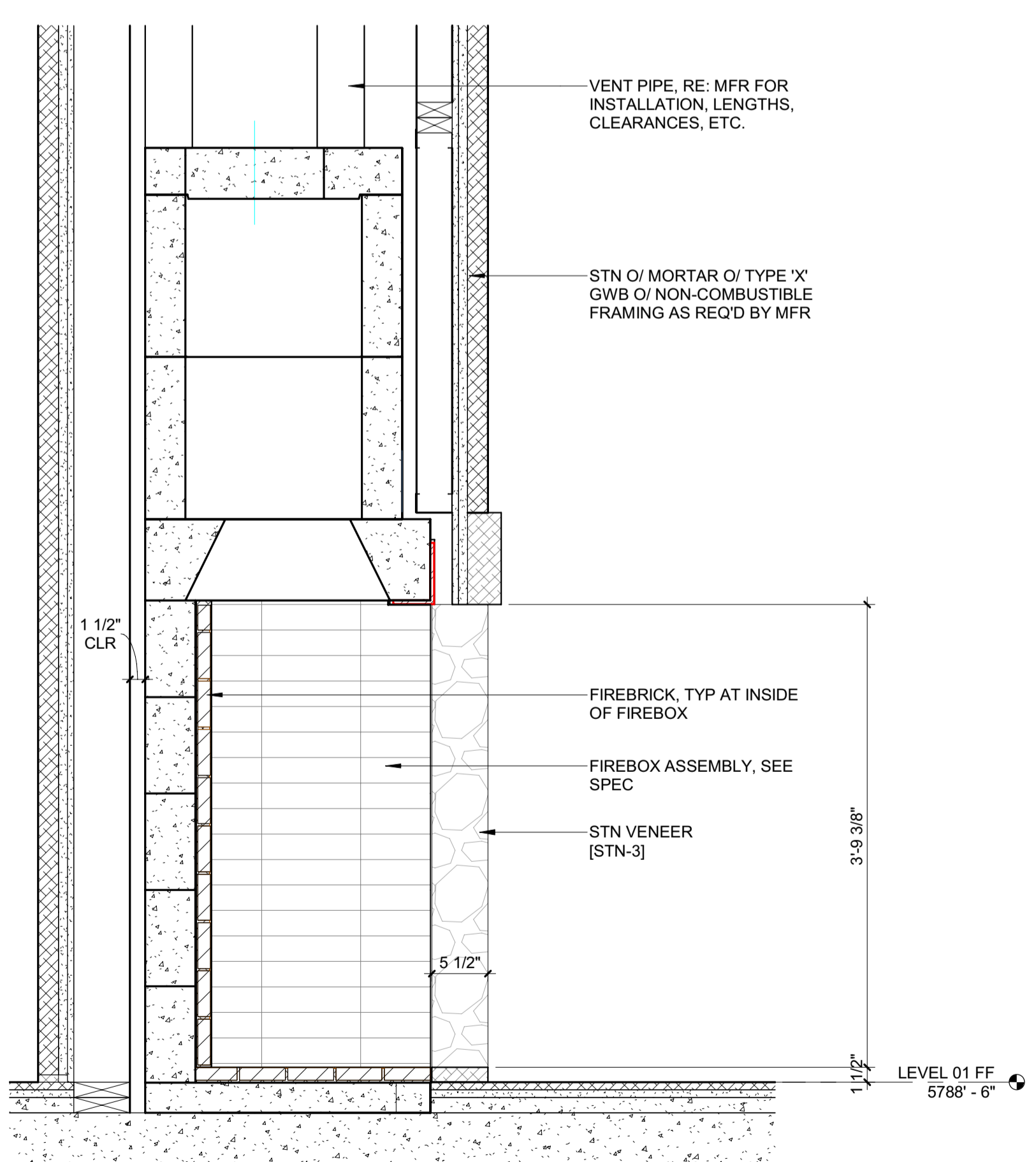
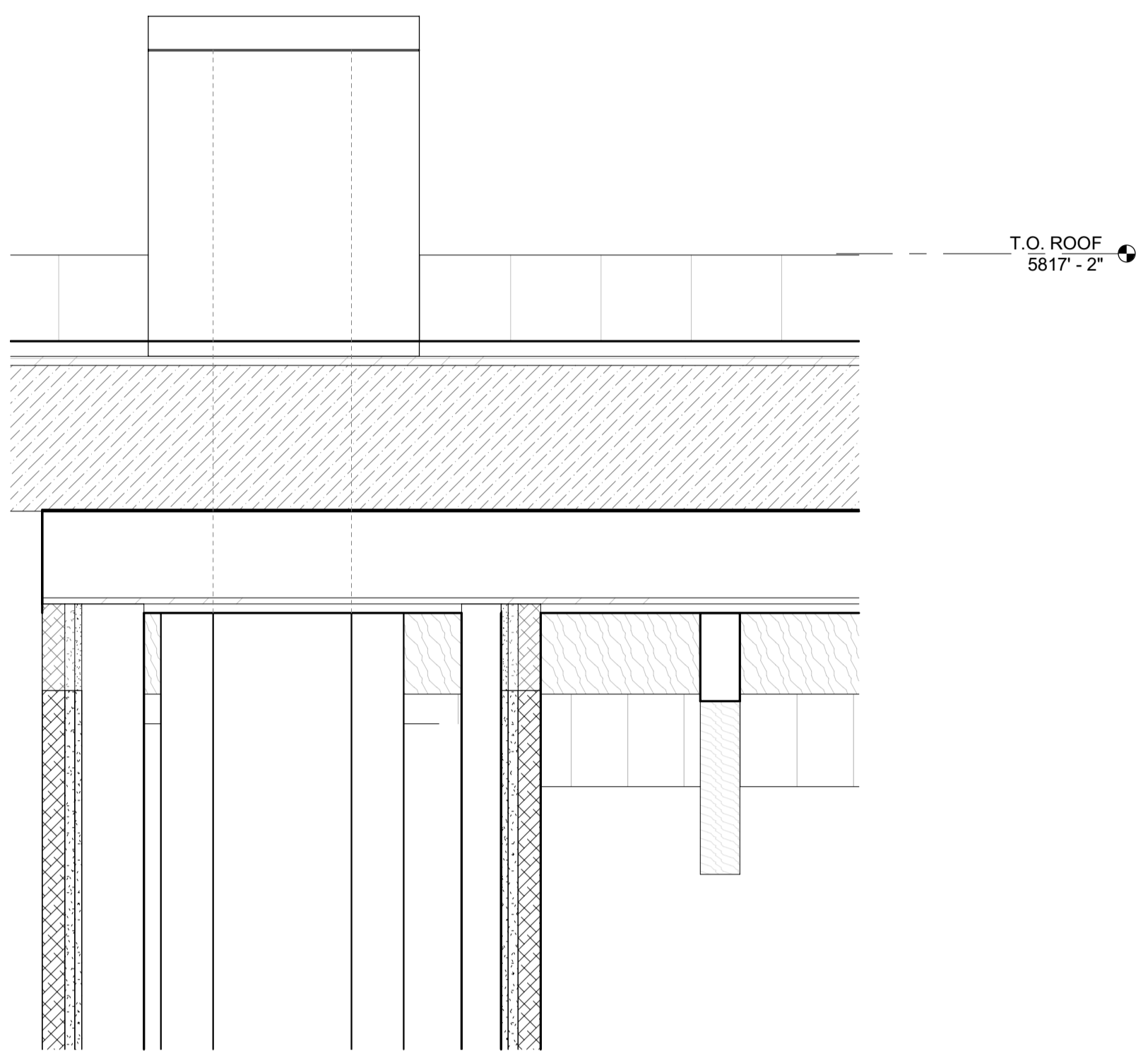
A-710



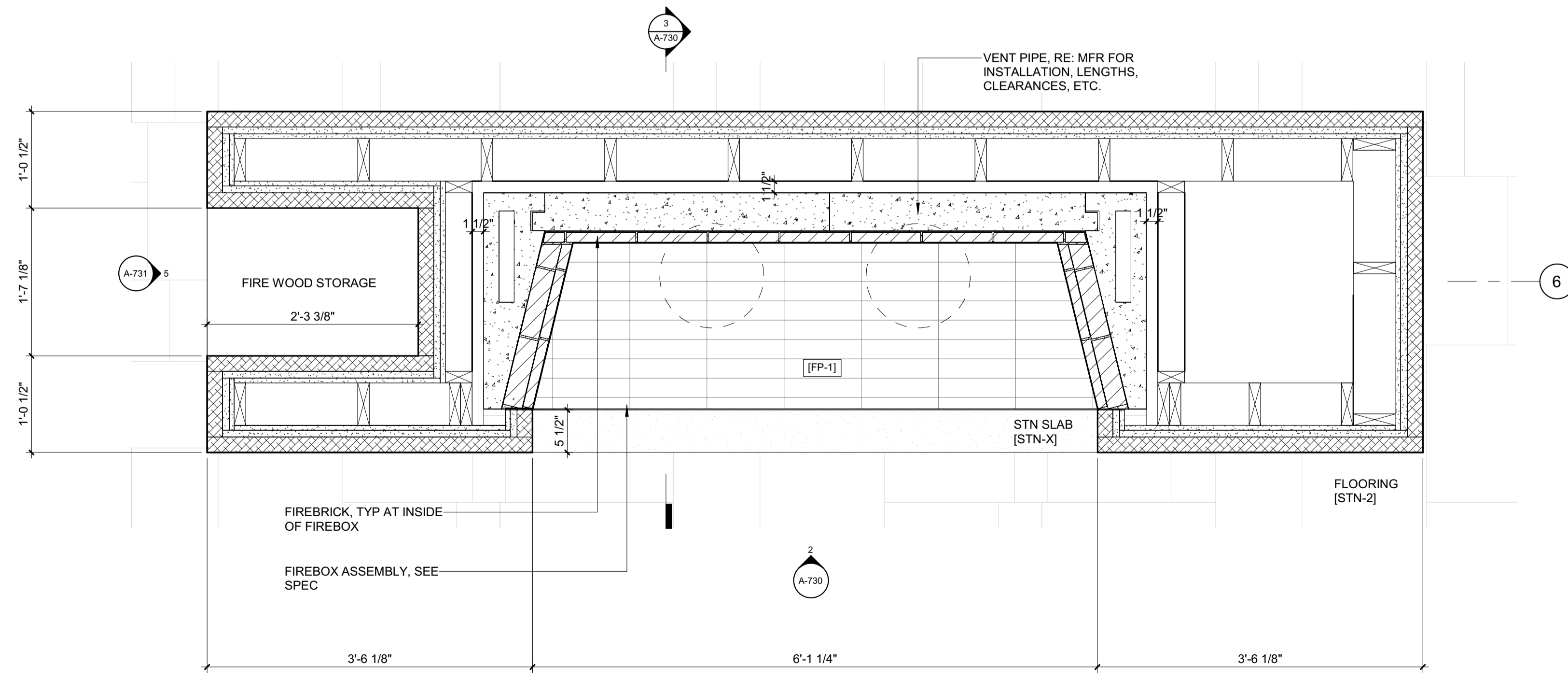
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BLD2303-00021
9/6/26/23

2/26/23



2 1\"/>



1 1\"/>

3 1\"/>

BADGER RESIDENCE

OWNER:
121 BADGER LANE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340

PROJECT ARCHITECT:
RO | ROCKETT DESIGN
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TEL: 208.727.9748

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2018 WASHINGTON ST NORTH, SUITE 4
TWIN FALLS, ID 83301
TEL: 208.736-8543

GEOTECHNICAL ENGINEER:
BUTLER ASSOCIATES, INC.
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KETCHUM, ID 83340
TEL: 208.720.6432

LANDSCAPE ARCHITECT:
BYLA
323 LEWIS STREET, SUITE N
KETCHUM, ID 83340
TEL : 208.726.5907

CIVIL ENGINEER:
BENCHMARK ASSOCIATES, P.A.
P.O. BOX 733 - 100 BELL DRIVE
KETCHUM, IDAHO 83340
TEL: 208.726.9512

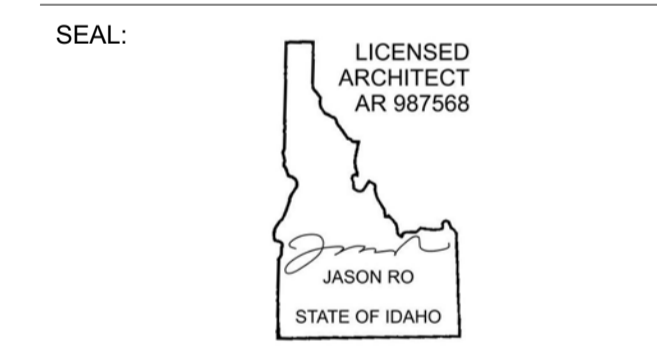
STRUCTURAL ENGINEER:
LFA
319 MAIN STREET
EL SEGUNDO, CA 90245
TEL: 213.239.9700

MEP ENGINEER:
CES ENGINEERING SERVICES, LLC
1001 W OAK BUILDING B SUITE 107
BOZEMAN, MT 59715
TEL: 406.272.0352

LIGHTING DESIGN CONSULTANT:
KGM ARCHITECTURAL LIGHTING
270 CORAL CIRCLE
EL SEGUNDO, CA 90245
TEL: 310.552.2191

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NO	DATE	ISSUE

PROJECT:
BADGER RESIDENCE
121 BADGER LANE
KETCHUM, ID 83340

PROJECT NUMBER:
#2201

DRAWING TITLE:
FIREPLACE 1 / PLANS, SECTIONS, DETAILS

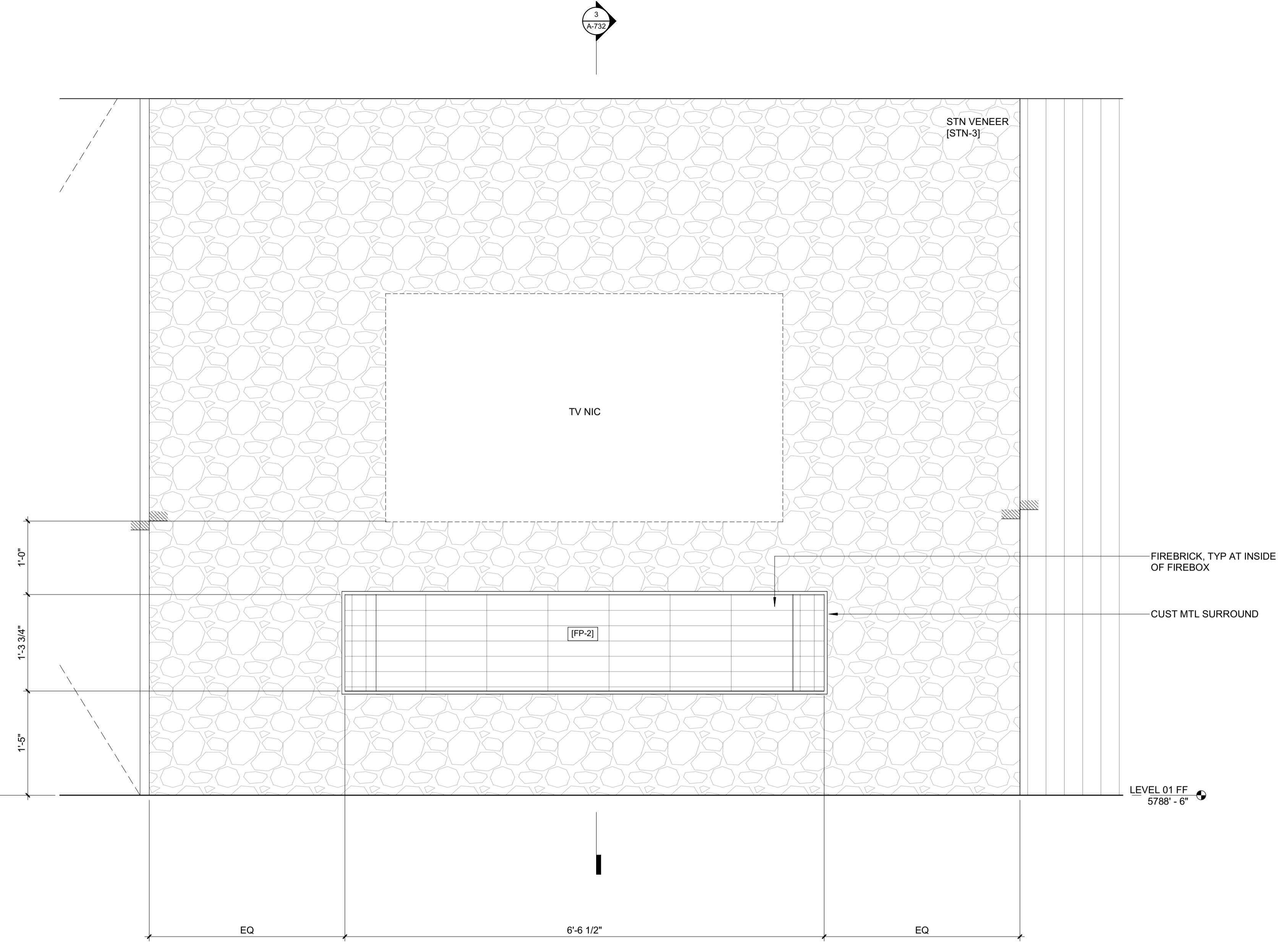
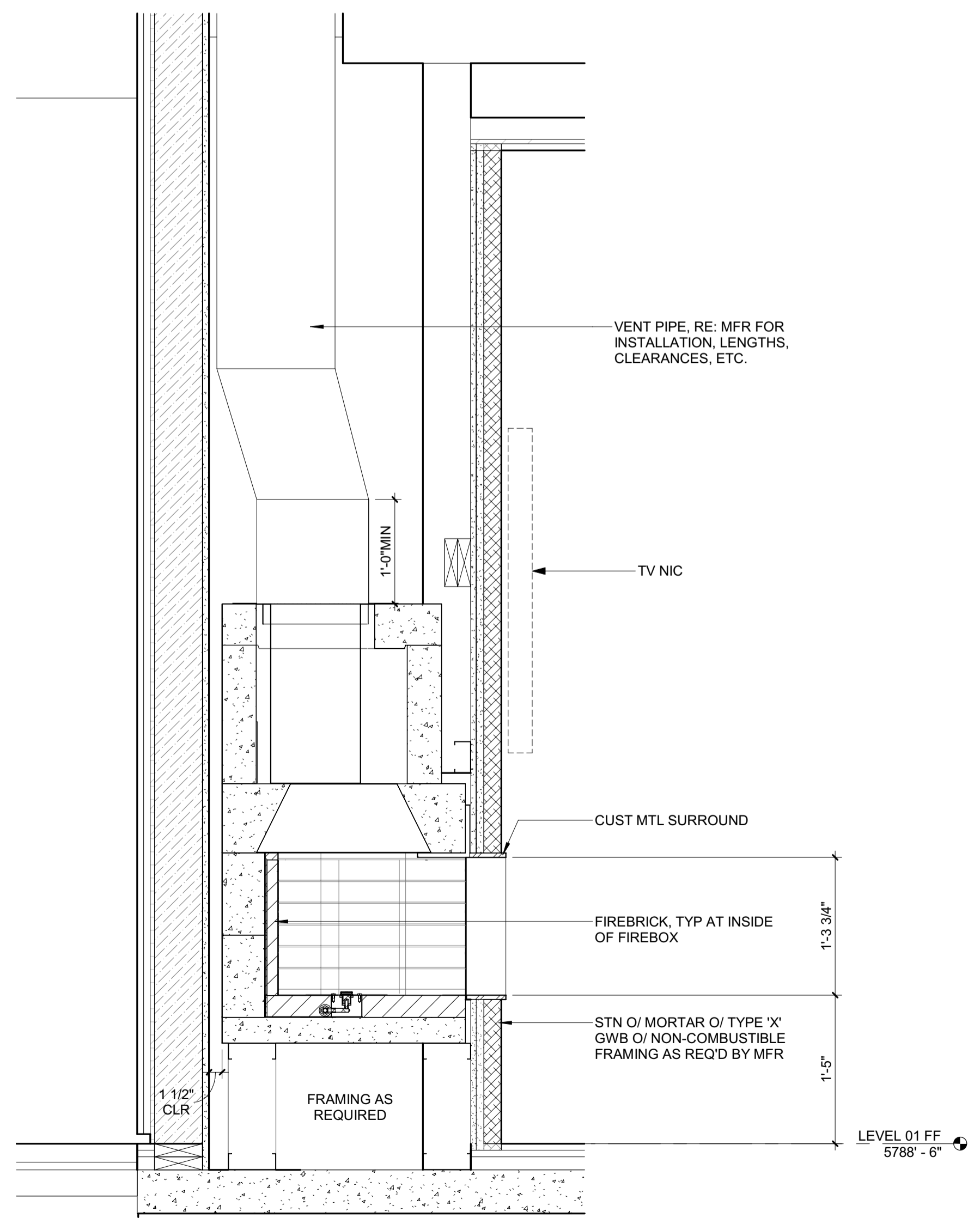
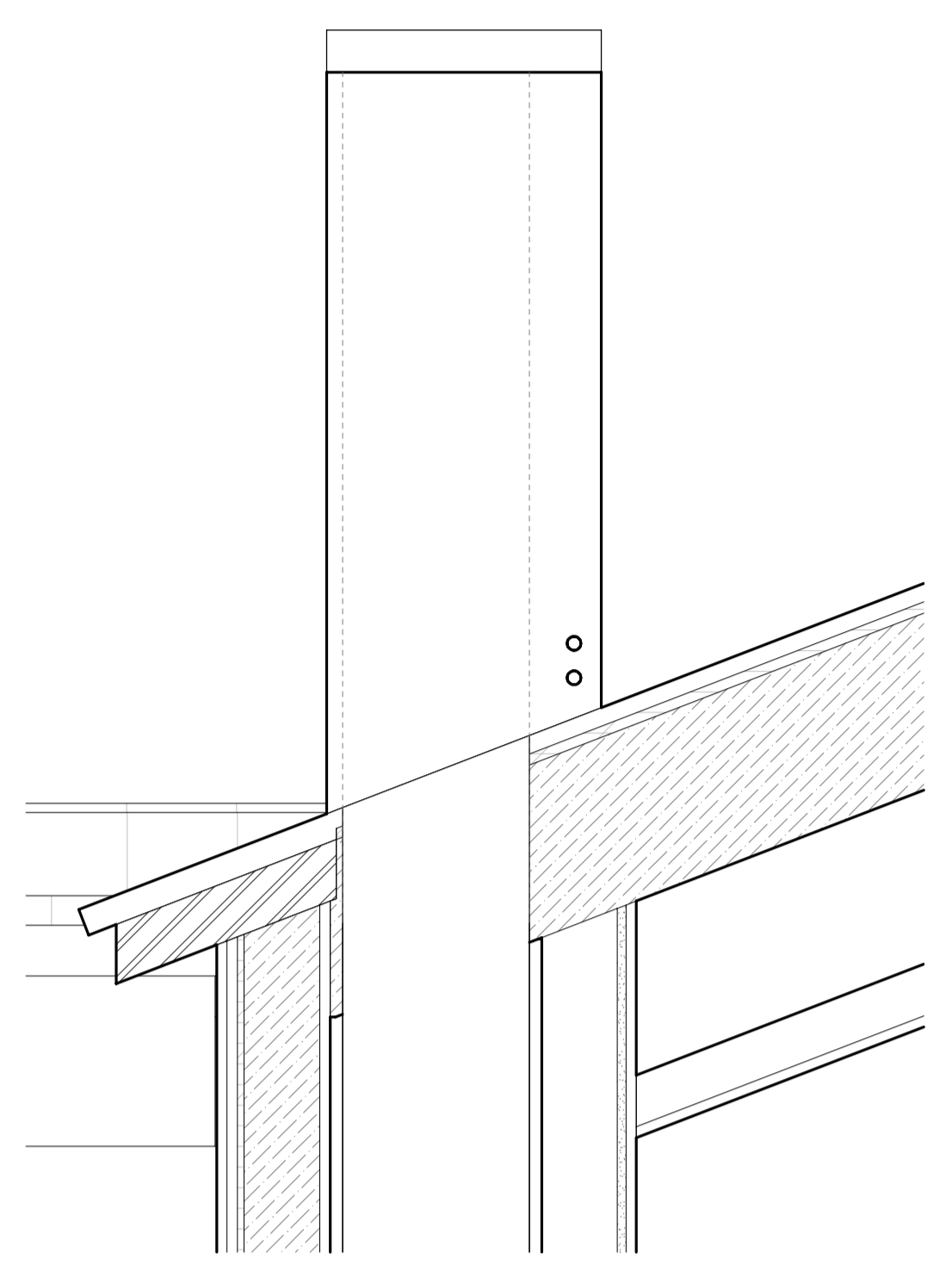
DRAWING NUMBER:
A-730



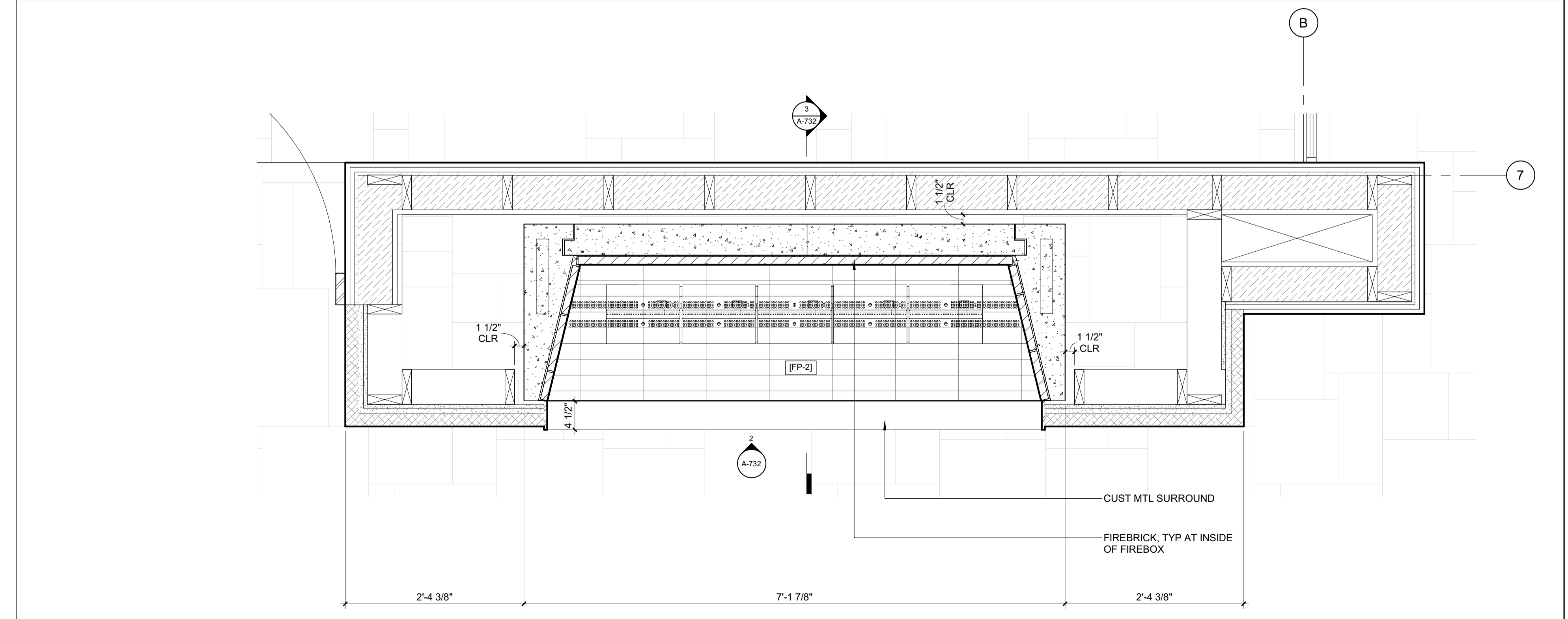
These plans have been found to be in substantial compliance with the Idaho Building Code. These documents are approved contingent on compliance with the mark-ups and notes applied. This is not approval of any code, ordinance, statute or regulation. Corrections will be required for code violations found during the inspection process.

BLD2303-00021
9/6/26/23

2/26/23



2 1" = 1'-0" FAMILY ROOM



3 1" = 1'-0" DETAIL / FAMILY RM / FIREPLACE

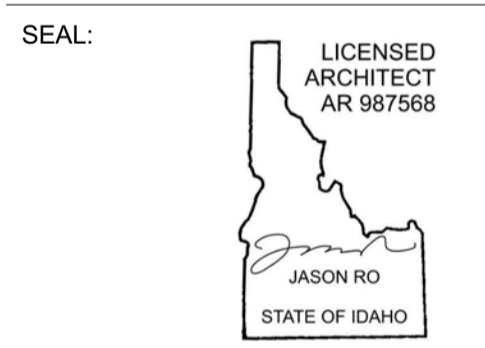
1 1" = 1'-0" ENLARGED PLAN / FIREPLACE 2 - FAMILY ROOM

BADGER RESIDENCE

- OWNER:
121 BADGER LANE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340
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RO | ROCKETT DESIGN
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TEL: 213.784.0014
- SURVEYOR:
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317 NORTH RIVER STREET
HAILEY, ID 83333
TEL: 208.788.1705
- ENVIRONMENTAL CONSULTANT:
SAWTOOTH ENVIRONMENTAL CONSULTING
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TEL: 208.727.9748
- HYDROLOGY / WATER ENGINEERING:
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2018 WASHINGTON ST NORTH, SUITE 4
TWIN FALLS, ID 83301
TEL: 208.736-8543
- GEOTECHNICAL ENGINEER:
BUTLER ASSOCIATES, INC.
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TEL: 208.720.6432
- LANDSCAPE ARCHITECT:
BYLA
323 LEWIS STREET, SUITE N
KETCHUM, ID 83340
TEL : 208.726.5907
- CIVIL ENGINEER:
BENCHMARK ASSOCIATES, P.A.
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KETCHUM, IDAHO 83340
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- STRUCTURAL ENGINEER:
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319 MAIN STREET
EL SEGUNDO, CA 90245
TEL: 213.239.9700
- MEP ENGINEER:
CES ENGINEERING SERVICES, LLC
1001 W OAK BUILDING B SUITE 107
BOZEMAN, MT 59715
TEL: 406.272.0352
- LIGHTING DESIGN CONSULTANT:
KGM ARCHITECTURAL LIGHTING
270 CORAL CIRCLE
EL SEGUNDO, CA 90245
TEL: 310.552.2191

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NO	DATE	ISSUE

PROJECT:
BADGER RESIDENCE
121 BADGER LANE
KETCHUM, ID 83340

PROJECT NUMBER
#2201

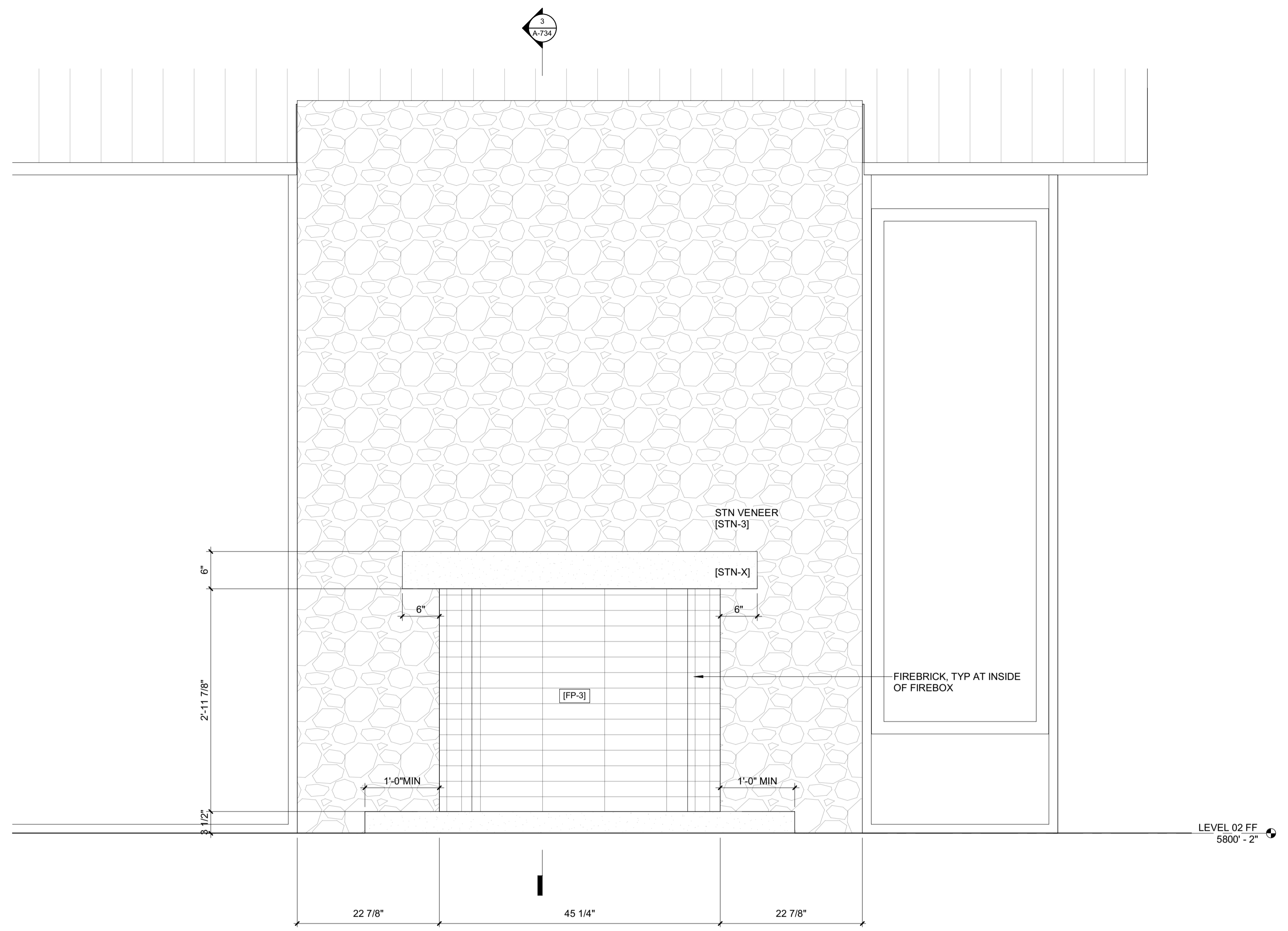
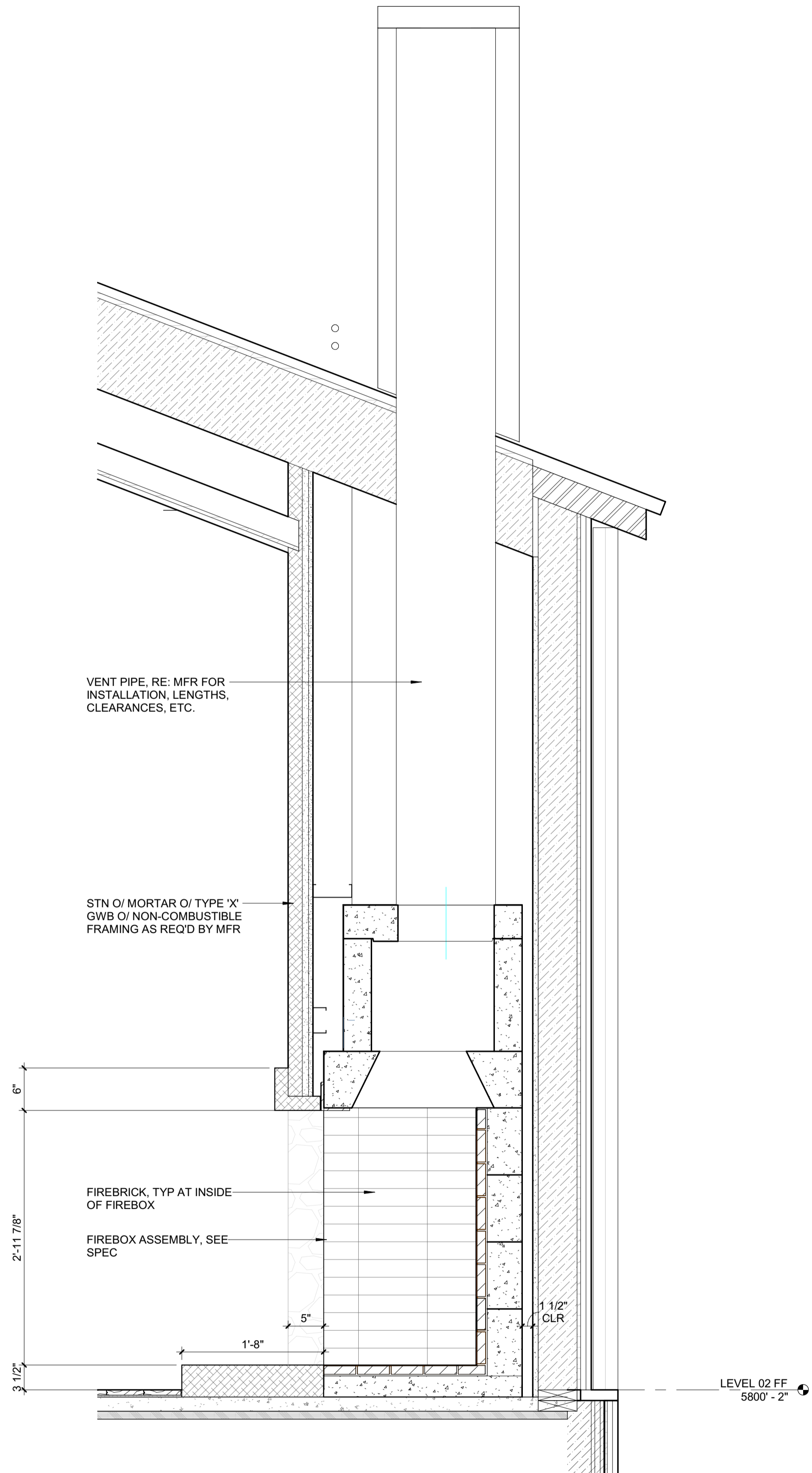
DRAWING TITLE:
**FIREPLACE 2 / PLANS,
SECTIONS, DETAILS**

DRAWING NUMBER:
A-732

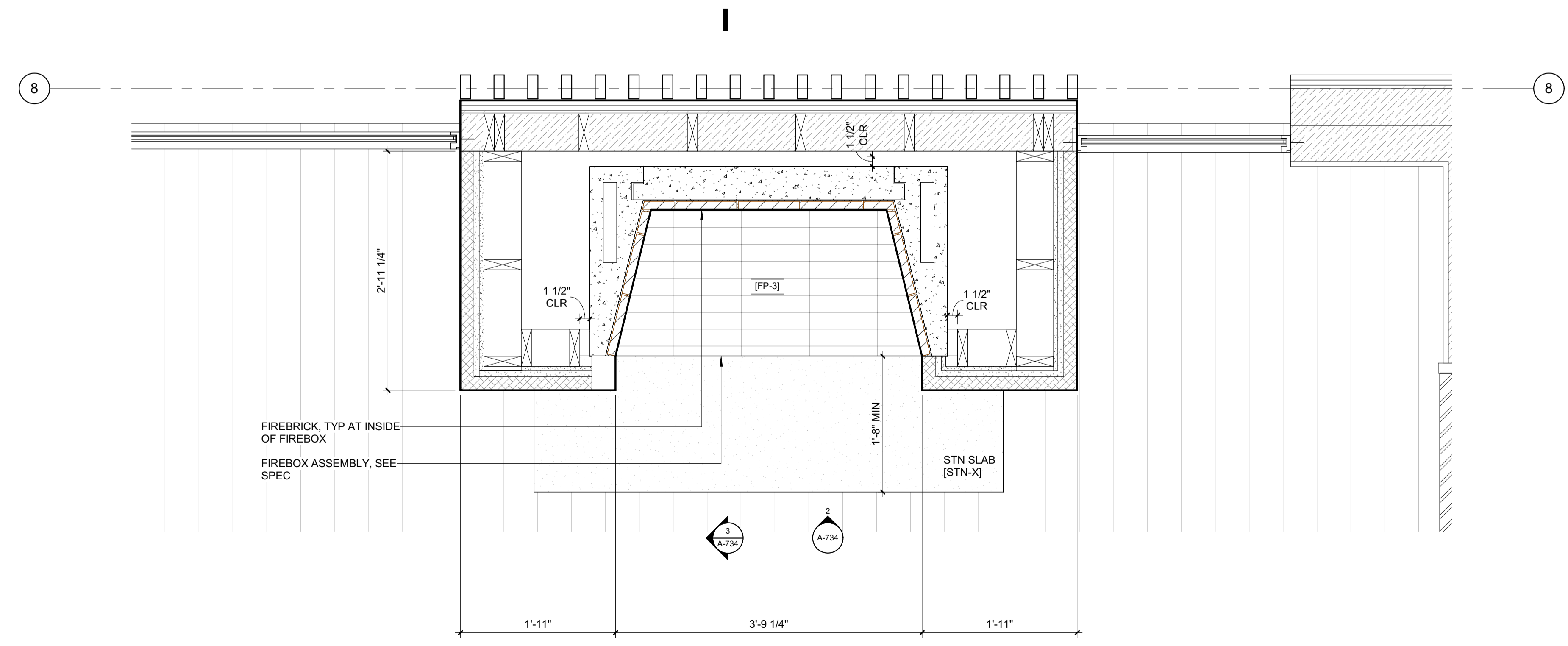
Approved
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BLD2303-00021
06/26/23

2/26/23



2 1" = 1'-0" MBED FP



1 1" = 1'-0" ENLARGED PLAN / FIREPLACE 3 - MASTER BEDROOM

3 1" = 1'-0" DETAIL / M BED / FIREPLACE

BADGER RESIDENCE

OWNER:
121 BADGER LANE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340

PROJECT ARCHITECT:
RO | ROCKETT DESIGN
1031 W. MANCHESTER BLVD, UNIT 6
INGLEWOOD, CA 90301
TEL: 213.784.0014

SURVEYOR:
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HAILEY, ID 83333
TEL: 208.788.1705

ENVIRONMENTAL CONSULTANT:
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KETCHUM, ID 83340
TEL: 208.727.9748

HYDROLOGY / WATER ENGINEERING:
BROCKWAY ENGINEERING, INC.
2018 WASHINGTON ST NORTH, SUITE 4
TWIN FALLS, ID 83301
TEL: 208.736-8543

GEOTECHNICAL ENGINEER:
BUTLER ASSOCIATES, INC.
P.O. BOX 1034
KETCHUM, ID 83340
TEL: 208.720.6432

LANDSCAPE ARCHITECT:
BYLA
323 LEWIS STREET, SUITE N
KETCHUM, ID 83340
TEL: 208.726.5907

CIVIL ENGINEER:
BENCHMARK ASSOCIATES, P.A.
P.O. BOX 733 - 100 BELL DRIVE
KETCHUM, IDAHO 83340
TEL: 208.726.9512

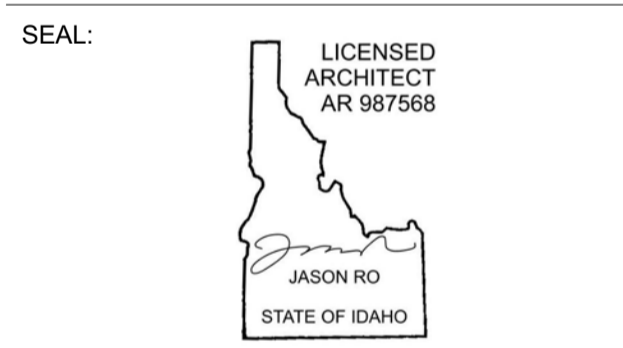
STRUCTURAL ENGINEER:
LFA
319 MAIN STREET
EL SEGUNDO, CA 90245
TEL: 213.239.9700

MEP ENGINEER:
CES ENGINEERING SERVICES, LLC
1001 W OAK BUILDING B SUITE 107
BOZEMAN, MT 59715
TEL: 406.272.0352

LIGHTING DESIGN CONSULTANT:
KGM ARCHITECTURAL LIGHTING
270 CORAL CIRCLE
EL SEGUNDO, CA 90245
TEL: 310.552.2191

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NO	DATE	ISSUE
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PROJECT:
BADGER RESIDENCE
121 BADGER LANE
KETCHUM, ID 83340

PROJECT NUMBER
#2201

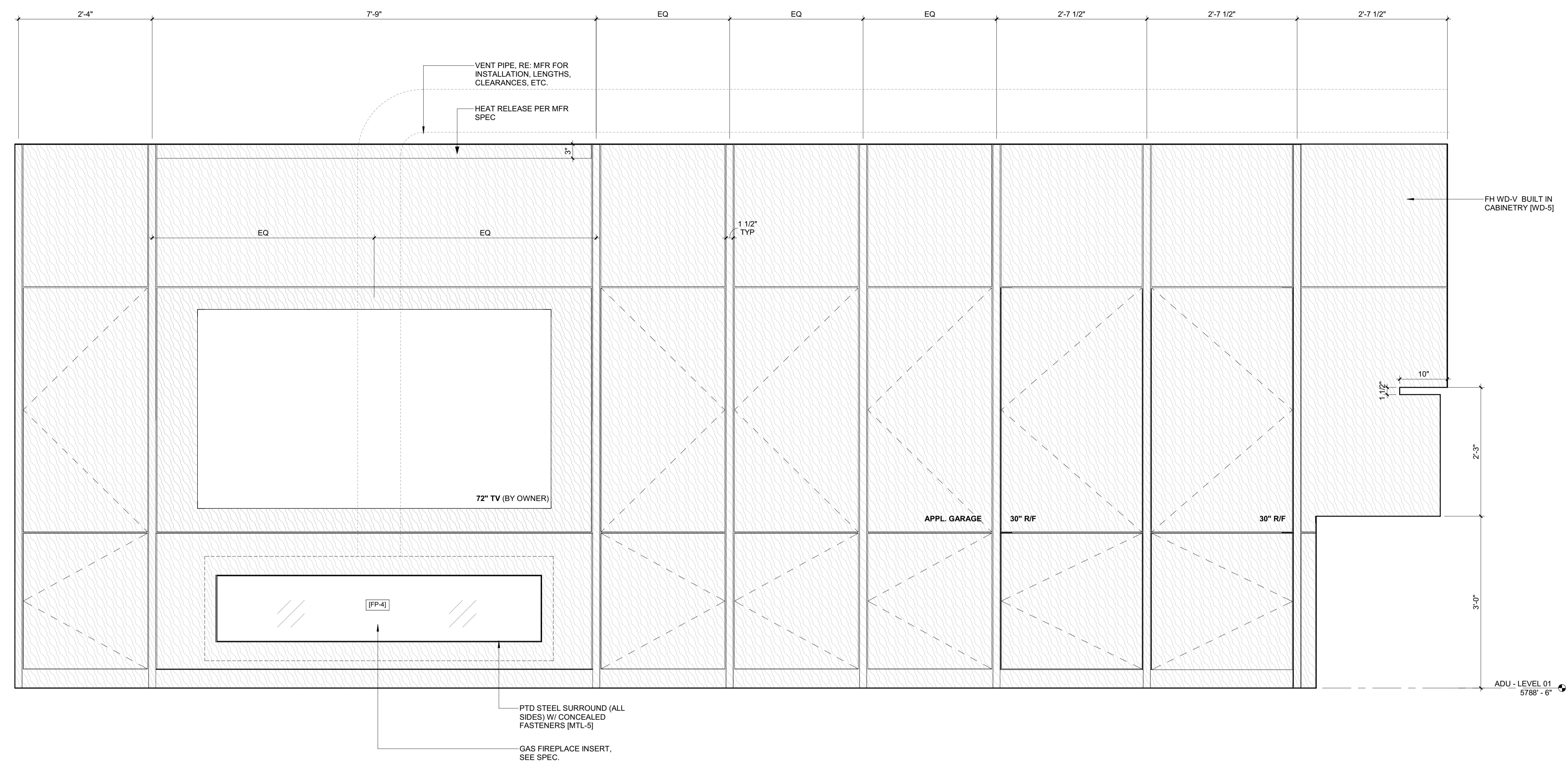
DRAWING TITLE:
FIREPLACE 3 / PLANS, SECTIONS, DETAILS

DRAWING NUMBER:
A-734

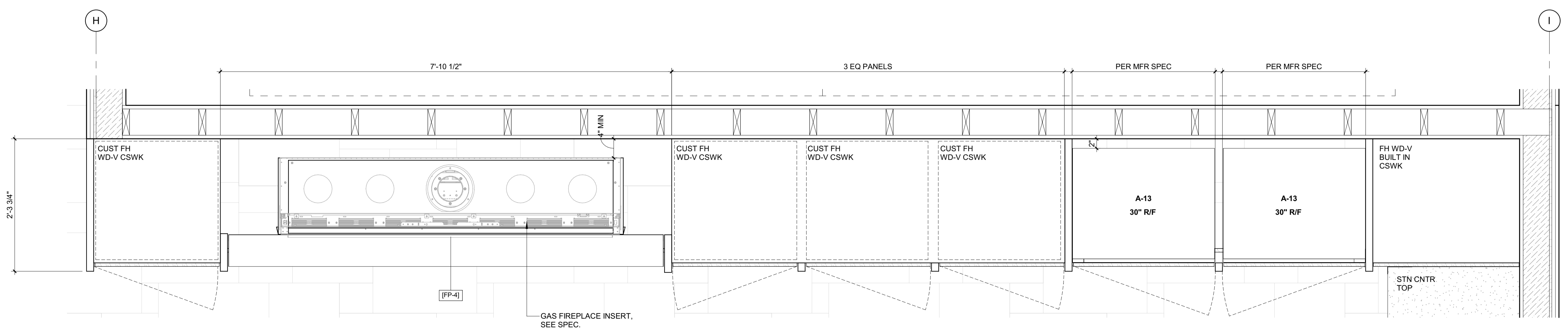


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BLD2303-00021
06/26/23



2 1" = 1'-0" ELEVATION / ADU / FIREPLACE 4 - ADU



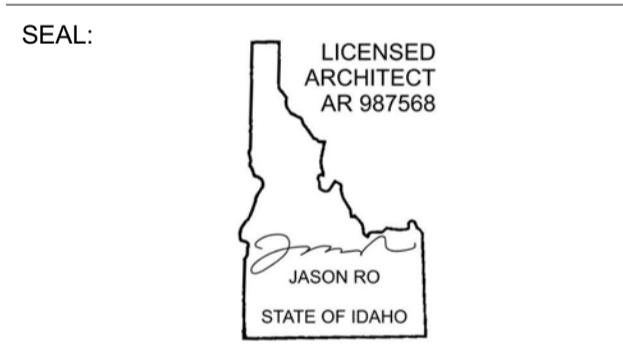
1 1" = 1'-0" ENLARGED PLAN / FIREPLACE 4 - ADU

BADGER RESIDENCE

- OWNER:
121 BADGER LANE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340
- PROJECT ARCHITECT:
RO | ROCKETT DESIGN
1031 W. MANCHESTER BLVD, UNIT 6
INGLEWOOD, CA 90301
TEL: 213.784.0014
- SURVEYOR:
GALENA ENGINEERING, INC.
317 NORTH RIVER STREET
HAILEY, ID 83333
TEL: 208.788.1705
- ENVIRONMENTAL CONSULTANT:
SAWTOOTH ENVIRONMENTAL CONSULTING
P.O. BOX 2707 / 540 NORTH FIRST AVE
KETCHUM, ID 83340
TEL: 208.727.9748
- HYDROLOGY / WATER ENGINEERING:
BROCKWAY ENGINEERING, INC.
2016 WASHINGTON ST NORTH, SUITE 4
TWIN FALLS, ID 83301
TEL: 208.736-8543
- GEOTECHNICAL ENGINEER:
BUTLER ASSOCIATES, INC.
P.O. BOX 1034
KETCHUM, ID 83340
TEL: 208.720.6432
- LANDSCAPE ARCHITECT:
BYLA
323 LEWIS STREET, SUITE N
KETCHUM, ID 83340
TEL: 208.726.5907
- CIVIL ENGINEER:
BENCHMARK ASSOCIATES, P.A.
P.O. BOX 733 - 100 BELL DRIVE
KETCHUM, IDAHO 83340
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0	02.28.23	BUILDING PERMIT
NO	DATE	ISSUE

PROJECT:
BADGER RESIDENCE
121 BADGER LANE
KETCHUM, ID 83340

PROJECT NUMBER
#2201

DRAWING TITLE:
FIREPLACE 4 / PLANS, SECTIONS, DETAILS

DRAWING NUMBER:
A-736



Approved
 These plans have been found to be in substantial compliance with the adopted building codes. These documents are approved contingent on compliance with the mark-ups and notes applied. This is not approval of any code, ordinance, statute or regulation. Corrections will be required for code violations found during the inspection process.

BLD2303-00021
06/26/23

2/26/23

BADGER RESIDENCE

OWNER:

121 BADGER LANE LLC
 P.O. BOX 14001-174
 KETCHUM, ID 83340

PROJECT ARCHITECT:

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 INGLEWOOD, CA 90301
 TEL: 213.784.0014

SURVEYOR:

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 317 NORTH RIVER STREET
 HAILEY, ID 83333
 TEL: 208.788.1705

ENVIRONMENTAL CONSULTANT:

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 TEL: 208.727.9748

HYDROLOGY / WATER ENGINEERING:

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 2018 WASHINGTON ST NORTH, SUITE 4
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 TEL: 208.736-8543

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 TEL: 208.726.9512

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 319 MAIN STREET
 EL SEGUNDO, CA 90245
 TEL: 213.239.9700

MEP ENGINEER:

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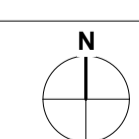
SEAL:



0	02.28.23	BUILDING PERMIT
NO	DATE	ISSUE

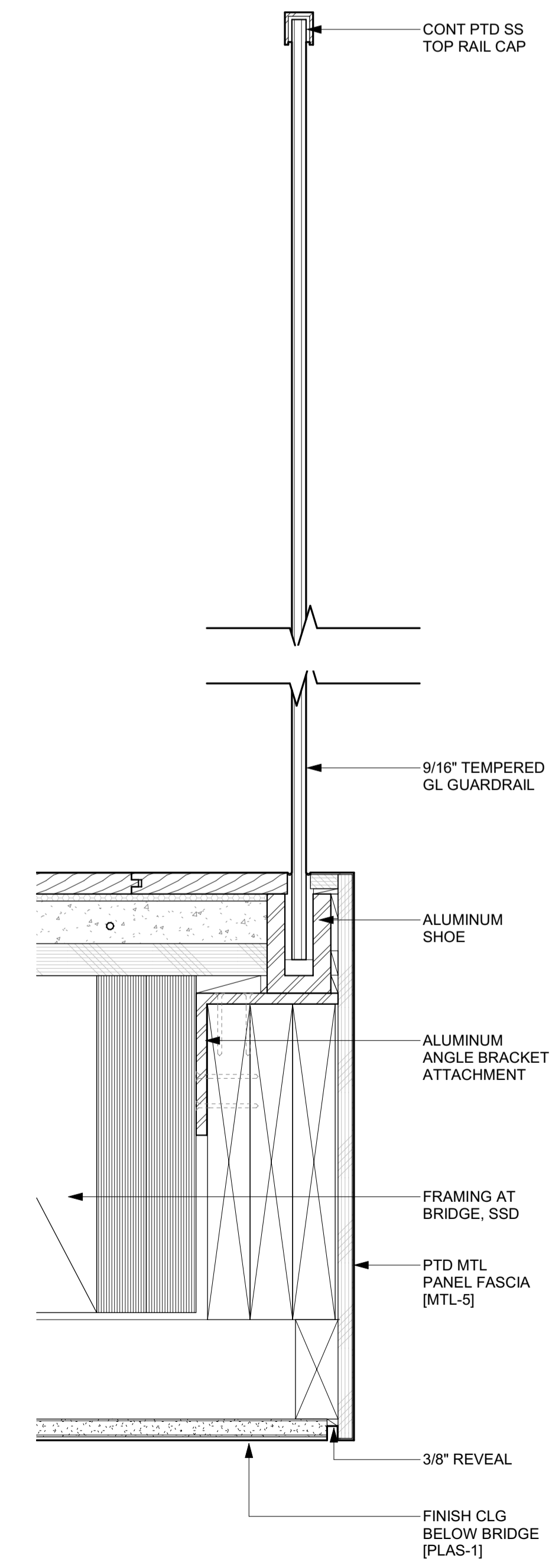
PROJECT:
BADGER RESIDENCE
 121 BADGER LANE
 KETCHUM, ID 83340

PROJECT NUMBER
#2201



DRAWING TITLE:
DETAILS / INTERIOR

DRAWING NUMBER:
A-910



1 3" = 1'-0" **DETAIL / TYP INT GUARDRAIL**



APPROVED
 These plans have been found to be in substantial compliance of the adopted building codes. These documents are approved contingent on compliance with the mark-ups, notes, and conditions of approval applied. This is not approval of any violation of any code, ordinance, statute or regulation. Corrections will be required for code violations found during the inspection process.

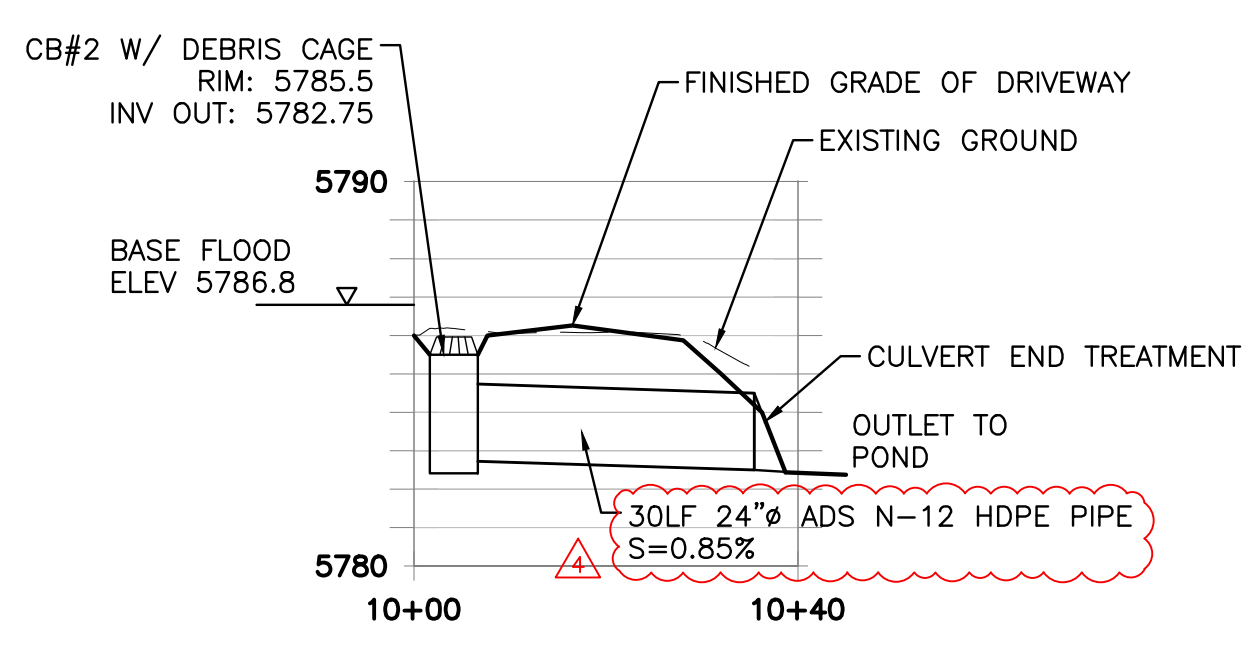
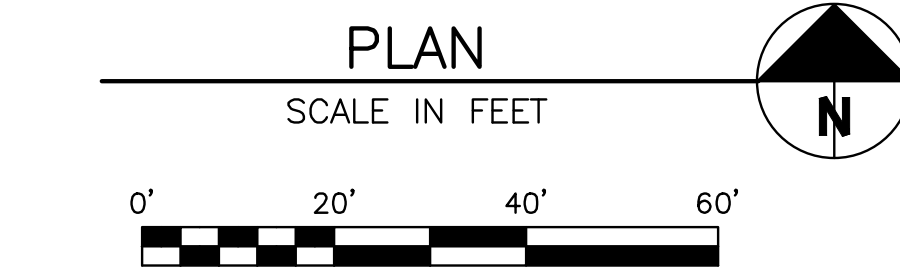
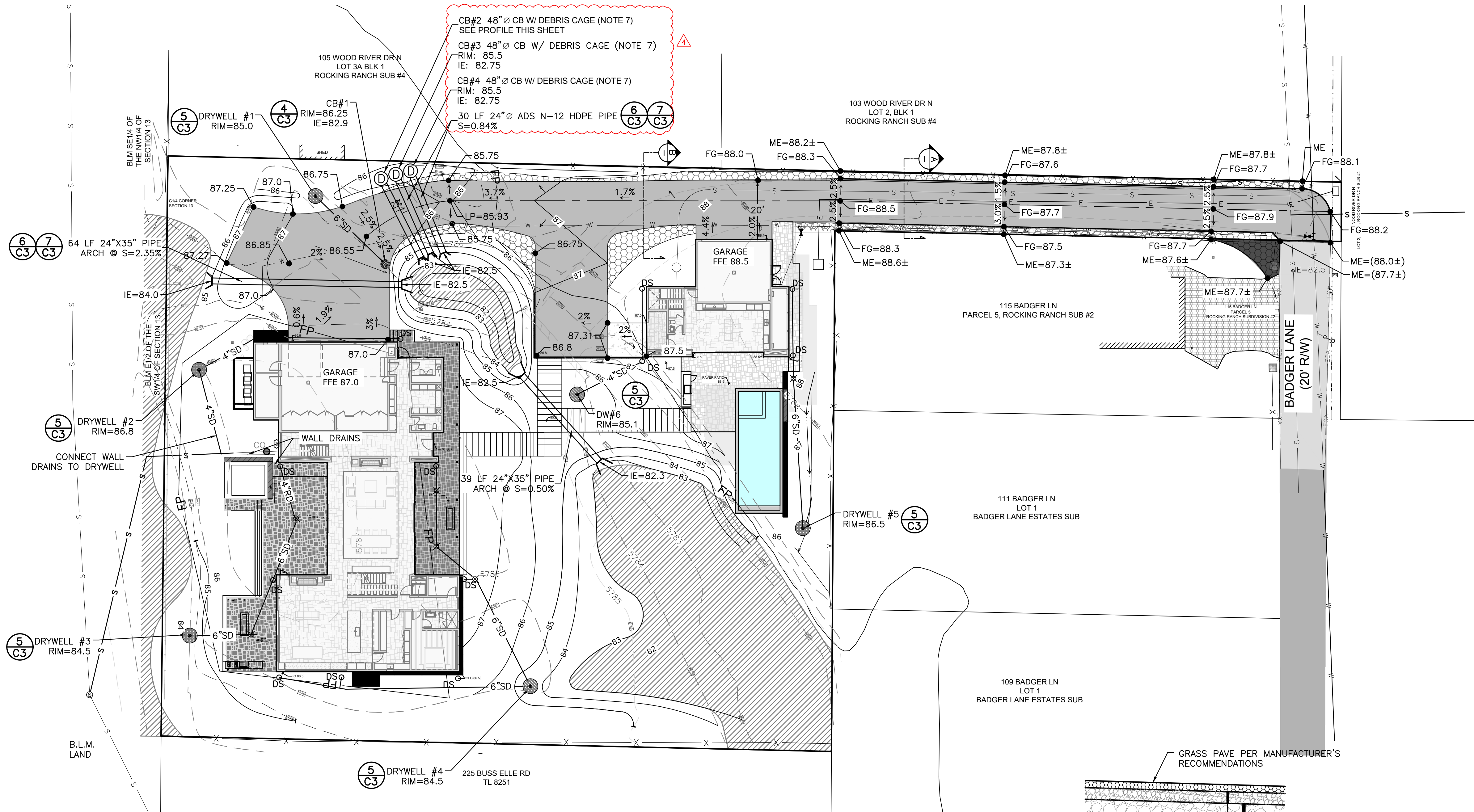
EXISTING UTILITIES ENCOUNTERED DURING CONSTRUCTION.

1585) AT LEAST ACTIVITIES. THE MAGE TO

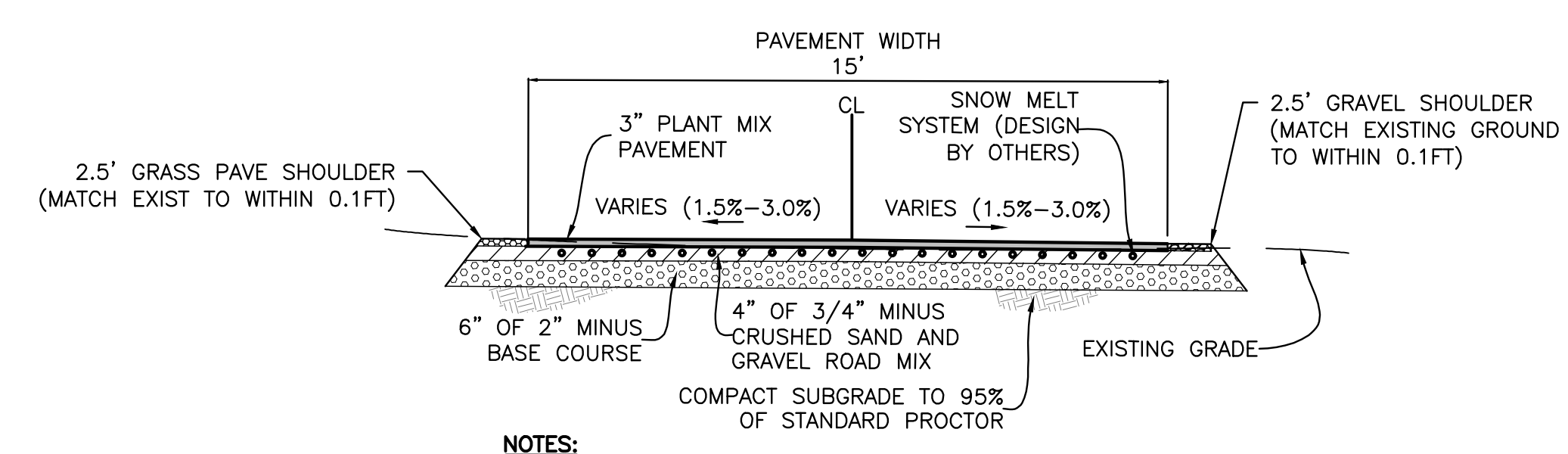
- CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL DURING THE CONSTRUCTION OF ALL ITEMS HEREON. DUST CONTROL SHALL BE CONTINUOUS DURING CONSTRUCTION, 24 HOURS PER DAY 7 DAYS PER WEEK.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM THE HOUSE.
- STORM DRAINS SHALL HAVE A MINIMUM SLOPE OF 2%. ROOF DRAINS SHALL HAVE MINIMUM SLOPE OF 1%.
- CULVERTS SHALL BE FITTED WITH BEVELED END TREATMENTS.
- 48" DIAMETER CATCH BASINS SHALL BE FITTED WITH ROUND DEBRIS CAGES (CONTECH STORMWRX OR EQUAL).
- ALL WORK WITHIN THE CITY RIGHT OF WAY SHALL CONFORM TO CITY OF KETCHUM STANDARDS.

LEGEND

PROPERTY LINE	---
ADJOINING PROPERTY LINE	---
CENTERLINE	---
FENCE	-X-
FLOODPLAIN (FEMA 2010)	FP
EASEMENT	---
SEWER	S
SEWER MANHOLE (MH)	⊙
WATER	W
WATER GATE VALVE	⊕
WATER METER (WM)	⊙
GAS	G
POWER	E
OVERHEAD POWER	OH-P
TELEPHONE	T
CABLE TV LINE	TV
ELEVATION CONTOUR	-5775-
PROPOSED ELEV CONTOUR	59
SAWCUT LINE	---
FLOW LINE	---
ROOF DRAIN	RD
STORM DRAIN PIPE	SD
DOWN SPOUT	DS
CATCH BASIN	⊙
AREA DRAIN	⊙
DRYWELL	⊙
LANDSCAPE DRYWELL	⊙
ASPHALT PAVEMENT	---
ASPHALT WITH SNOWMELT	---
GRAVEL	---
GRASS PAVE	---
FG	---
EG	---

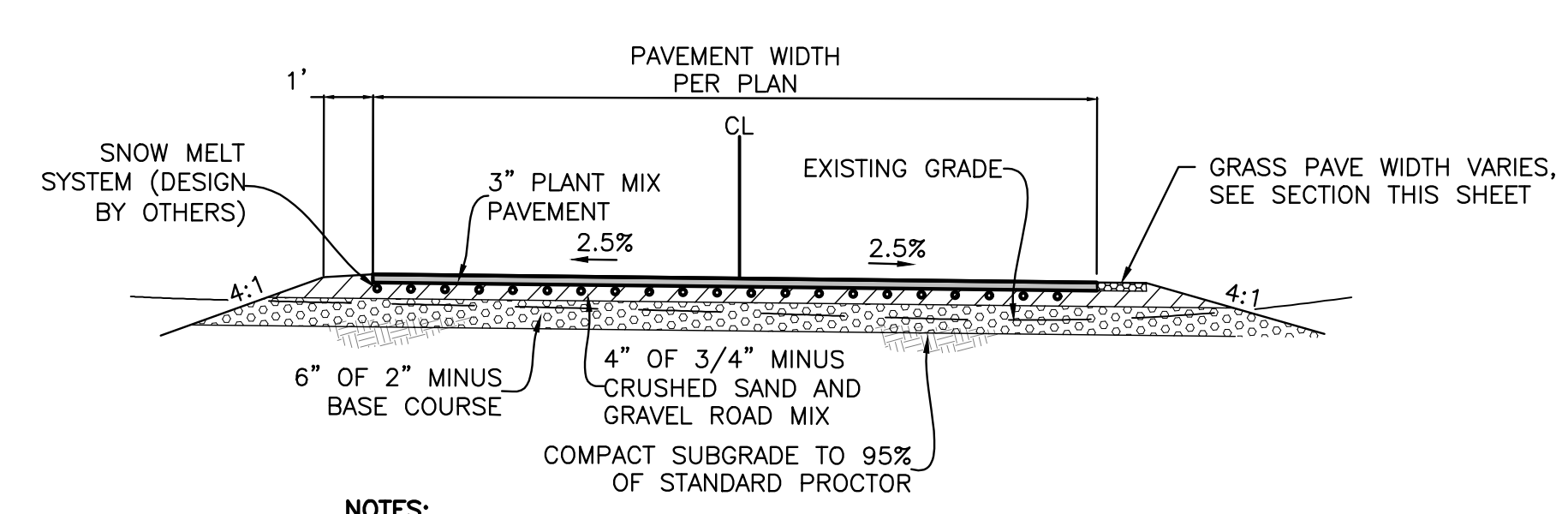


PROFILE: CB#2 TO POND
 HORZ: 1"=20'
 VERT: 1"=5'



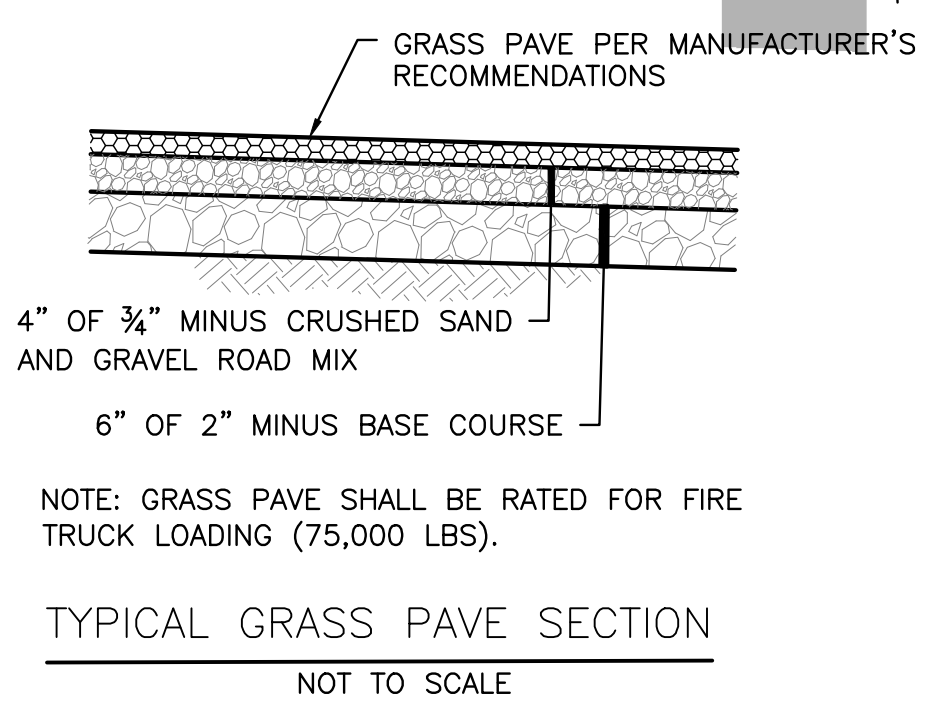
NOTES:
 1. COMPACT DRIVEWAY SUBGRADE AND ALL STRUCTURAL FILL MATERIAL TO AT LEAST 95% OF THE MAXIMUM DENSITY OF EACH MATERIAL ACCORDING TO STANDARD PROCTOR ASTM D-698.

15-FOOT ASPHALT DRIVEWAY WITH SNOW MELT SECTION A
 NOT TO SCALE



NOTES:
 1. COMPACT DRIVEWAY SUBGRADE AND ALL STRUCTURAL FILL MATERIAL TO AT LEAST 95% OF THE MAXIMUM DENSITY OF EACH MATERIAL ACCORDING TO STANDARD PROCTOR ASTM D-698.

TYPICAL ASPHALT DRIVEWAY WITH SNOW MELT SECTION B
 NOT TO SCALE



TYPICAL GRASS PAVE SECTION
 NOT TO SCALE

ISSUED FOR CONSTRUCTION

PROFESSIONAL ENGINEER
 STATE OF IDAHO
 P. JOHANNESSEN
 17661
 4/25/2024

NO.	DESCRIPTION	DATE	BY
1	CITY COMMENTS	5/1/2023	PLJ
2	APPEAL COMMENTS	2/1/2024	PLJ
3	APPEAL COMMENTS	3/13/24	PLJ
4	APPEAL COMMENTS	4/25/24	PLJ

GALENA-BENCHMARK ENGINEERING
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 Ketchum, Idaho 83340
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GRADING & DRAINAGE PLAN
 ROCKING RANCH #2 PARCEL 4
 T4N, R17E, SEC 13, B.M., BLAINE COUNTY, IDAHO
 PREPARED FOR: PRESIDIO VISTA PROPERTIES

DRAWN BY: PLJ
 DESIGNED BY: PLJ
 CHECKED BY: PLJ
 DATE: 4/25/2024
 PROJECT NO.: 22185

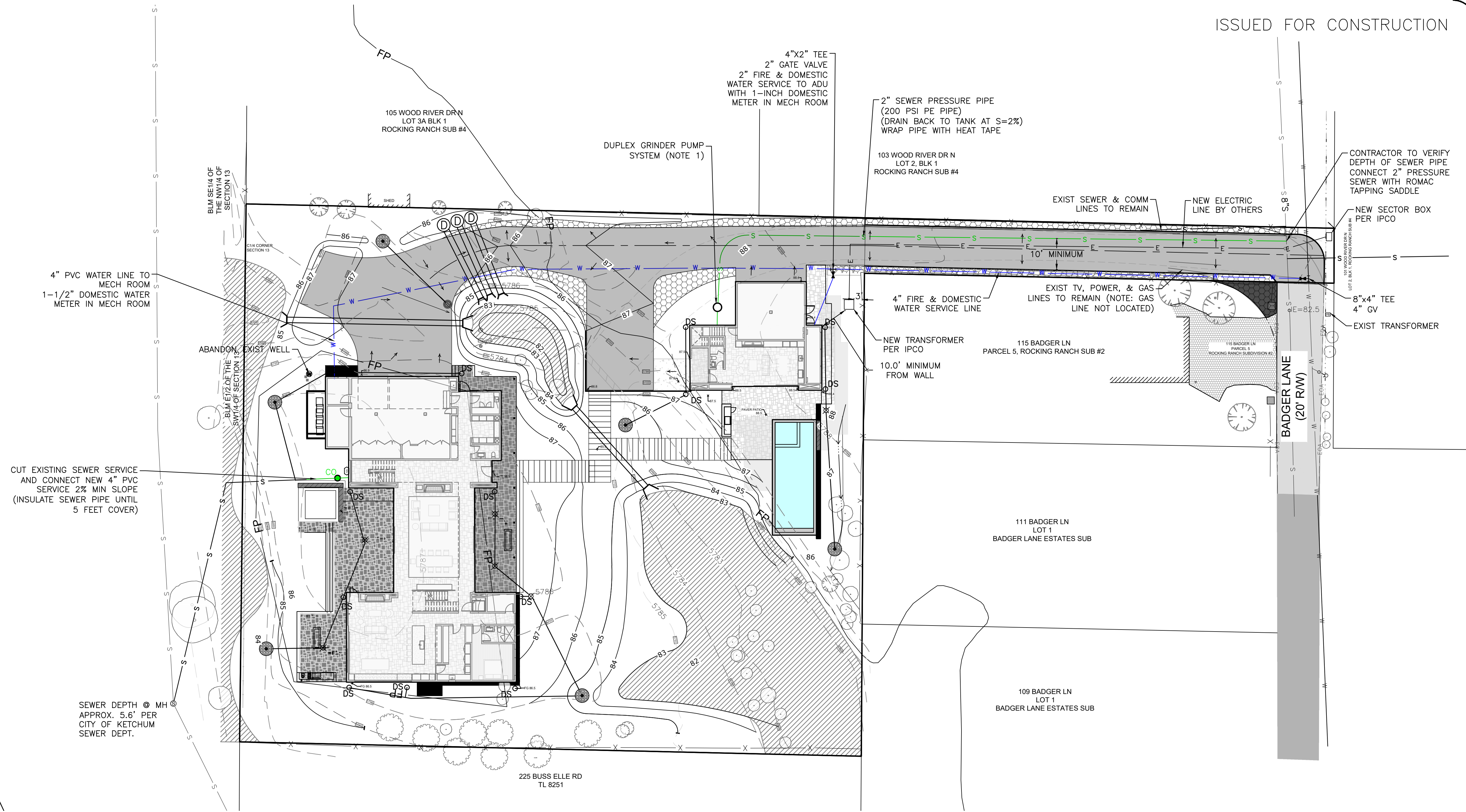
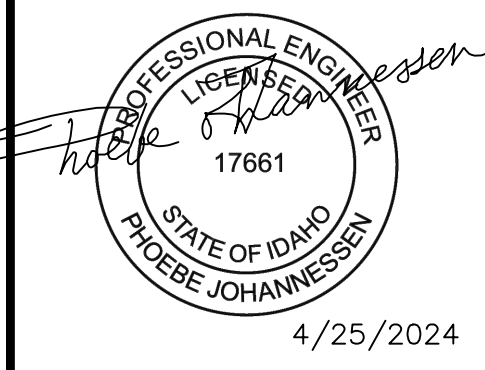
DRAWING NO.

C-1



APPROVED
 These plans have been found to be in substantial compliance of the adopted building codes. These documents are approved contingent on compliance with the mark-ups, notes, and conditions of approval applied. This is not approval of any violation of any code, ordinance, statute or regulation. Corrections will be required for code violations found during the inspection process.

ISSUED FOR CONSTRUCTION

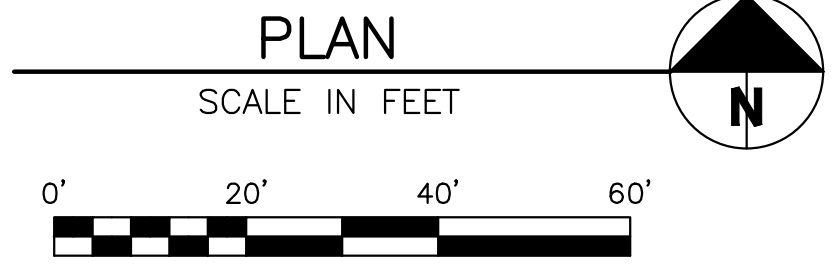


DOSING NOTES:

DOSING VOLUME = 132 GAL
 THE 2" PRESSURE LINE CONTAINS APPROX. 42 GALLONS OF EFFLUENT THAT SHALL DRAIN BACK TO THE PUMP TANK BETWEEN CYCLES.
 36" DIA. PUMP TANK CAPACITY IS 4.4 GAL/INCH
 EACH PUMP CYCLE = 90 GAL + 42 GAL = 132 GAL
 MINIMUM PUMP REQUIREMENT IS 30 GPM WITH A TOTAL DYNAMIC HEAD OF 17 FEET.

SEWER PUMP SYSTEM CONSTRUCTION NOTES:

- DUPLEX GRINDER PUMP SYSTEM SHALL CONTAIN TWO 1 HP GRINDER PUMPS. PRESSURE PIPE OUTLET SHALL BE 10' DEEP TO ALLOW PIPE TO DRAIN BACK TO TANK BETWEEN CYCLES. CONTRACTOR TO VERIFY OUTLET DEPTH REQUIRED TO DRAIN PIPE BACK FROM MAIN.
- ALL TANKS, CHAMBERS AND/OR PIPING SHALL BE SEALED AND WATER TIGHT.
- TANK SHALL BE DESIGNED TO RESIST BUOYANCY FORCES. ASSUME MAXIMUM WATER TABLE IS AT GROUND SURFACE.
- DOSING CHAMBER PUMPS SHALL BE PER PUMP CURVE DETAIL OR EQUIVALENT UPON APPROVAL OF ENGINEER.
- PUMPS AND ELECTRICAL EQUIPMENT SHALL CONFORM TO THE IDAHO STATE ELECTRICAL CODE.
- PUMP MUST BE INSTALLED SUCH THAT IT IS SUBMERGED AT ALL TIMES.
- ELECTRICAL CONNECTIONS SHALL BE MADE OUTSIDE OF THE CHAMBER IN A WATER PROOF BOX (CROUSE-HINDS TYPE EAB OR EQUIVALENT).
- WIRES MUST BE INSTALLED IN A SOLID WATER TIGHT CONDUIT.
- PUMPS AND ALARM SYSTEM SHALL BE ON ISOLATED CIRCUITS.
- AN AUDIBLE ALARM SHALL BE INSTALLED WITHIN THE LIVING SPACE OF THE HOUSE TO INDICATE WHEN THE LEVEL OF EFFLUENT IN THE PUMP CHAMBER IS ABOVE THE PUMP ON LEVEL.
- CONTRACTOR SHALL FIELD VERIFY LOCATION OF ALL UTILITIES BEFORE COMMENCING CONSTRUCTION. ANY CONFLICT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.



NO.	REVISIONS DESCRIPTION	DATE	BY

GALENA-BENCHMARK ENGINEERING
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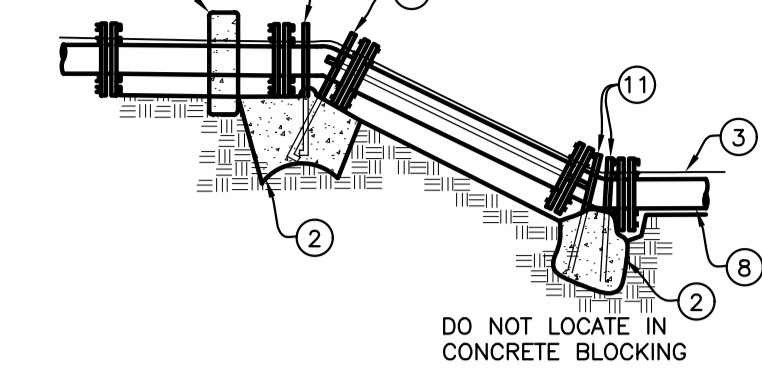
UTILITY PLAN
ROCKING RANCH #2 PARCEL 4
 T4N, R17E, SEC 13, B.M., BLAINE COUNTY, IDAHO
 PREPARED FOR: PRESIDIO VISTA PROPERTIES

DRAWN BY: PLJ
 DESIGNED BY: PLJ
 CHECKED BY: PLJ
 DATE: 4/25/2024
 PROJECT NO.: 22185

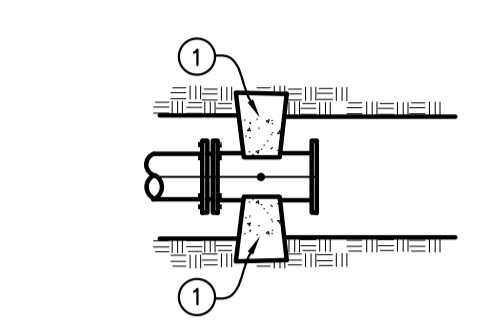
DRAWING NO.
C-2

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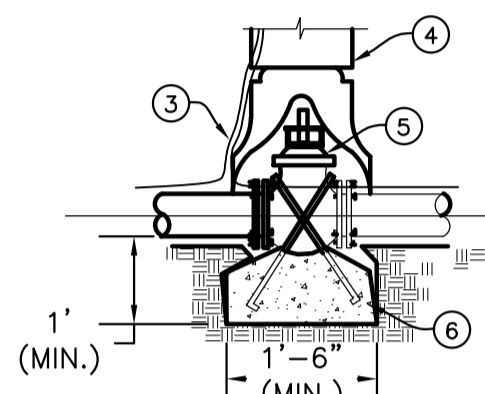
BLD2303-00021
06/26/23



VERTICAL BEND DETAIL



REDUCER DETAIL



VALVE ANCHOR DETAIL

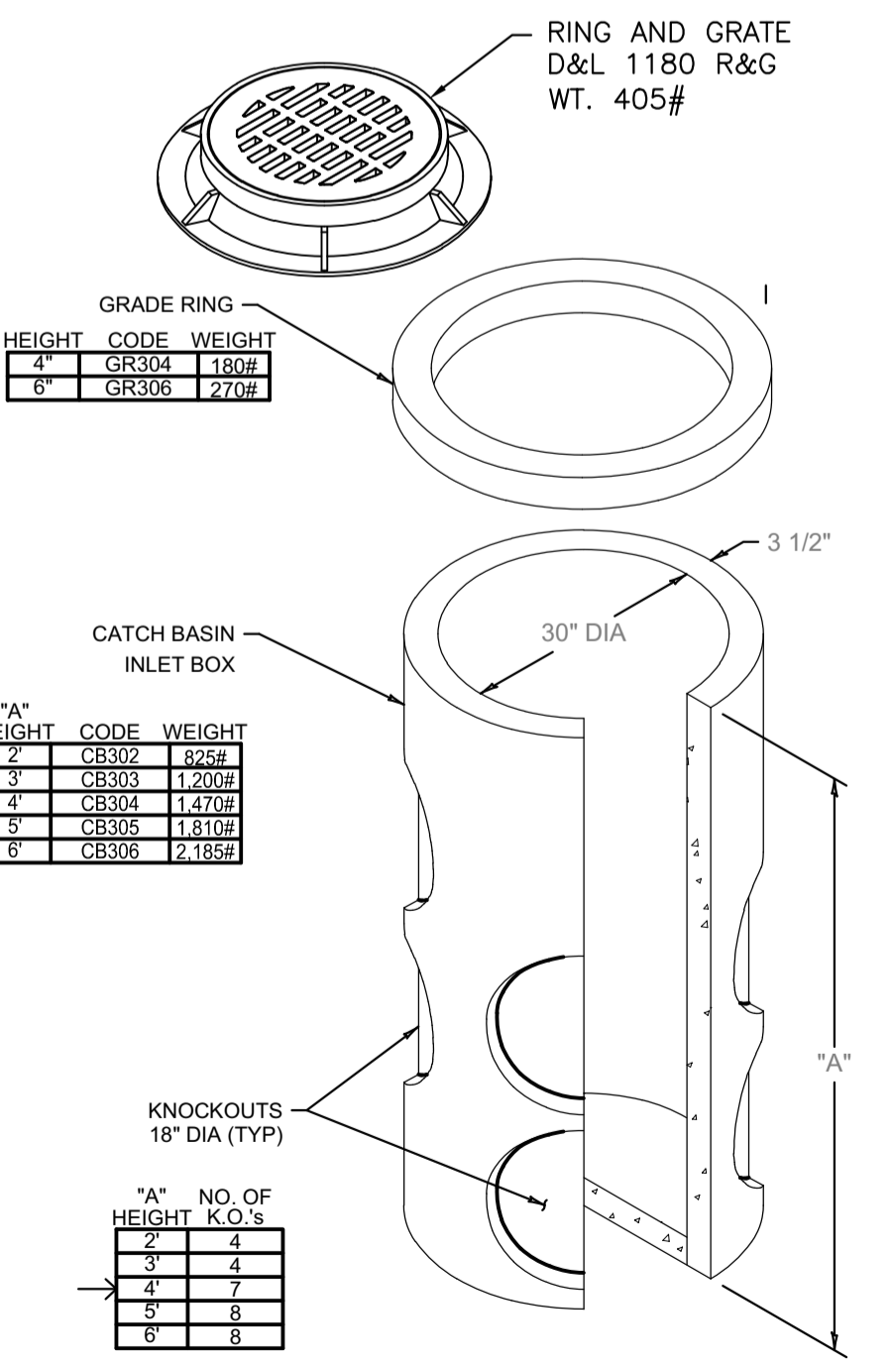
TABLE 1
THRUST AREA FOR HORIZONTAL BENDS***
SOIL BEARING PRESSURE = 2000 PSF
WORKING PRESSURE RATING = 150 PSI
SAFETY FACTOR = 1.5

MINIMUM SQUARE FEET OF THRUST AREA ONTO UNDISTURBED EARTH*

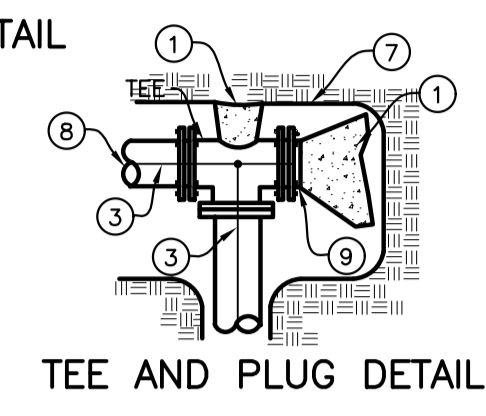
PIPE SIZE	TEE, PLUG OR VALVE	90°**	45°	22 1/2', 11.25' BENDS OR REDUCER
3"	0.8	1.1	0.6	0.3
4"	1.4	2.0	1.1	0.6
6"	3.2	4.5	2.4	1.2
8"	5.7	8.0	4.3	2.2
10"	8.8	12.5	6.8	3.4
12"	12.7	18.0	9.7	5.0
14"	17.3	24.5	13.3	6.8
16"	22.6	32.0	17.3	8.8
18"	28.6	40.5	21.9	11.2

* MUST BE INCREASED BASED ON DIFFERENT CONDITIONS (HIGHER WORKING PRESSURE OR LOWER SOIL BEARING STRENGTH).
** OR TEE ACTING AS A 90° BEND
*** THRUST BLOCK DEPTH TO BE A MINIMUM OF 12" FOR PIPE SIZES 3"-8" AND 18" FOR PIPE SIZES 10"-18" OR THE SQUARE ROOT OF THE REQUIRED BEARING AREA, WHICHEVER IS GREATER.

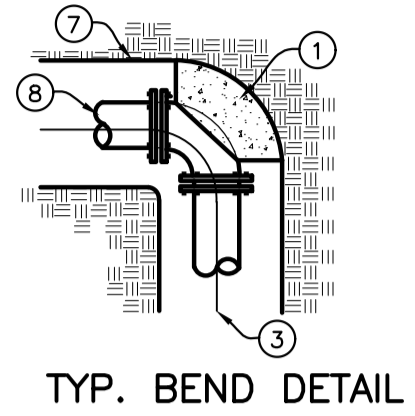
1 SD-403 THRUST BLOCK DETAIL
C2 NOT TO SCALE



4 30" CATCH BASIN (TYP.)
C1 NOT TO SCALE



TEE AND PLUG DETAIL



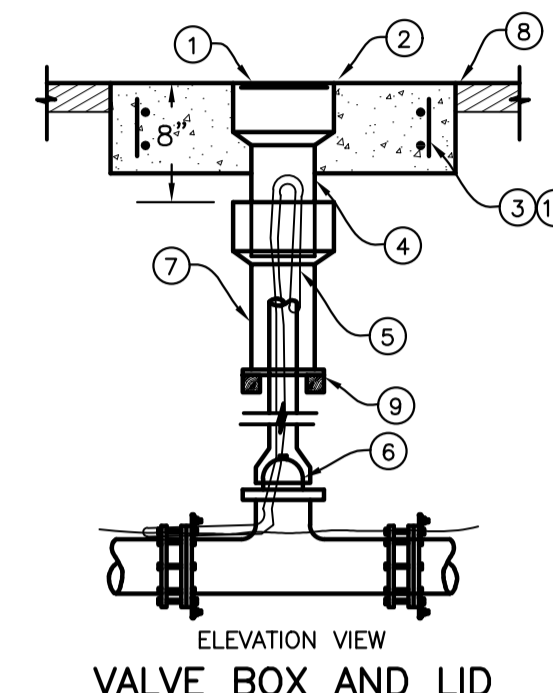
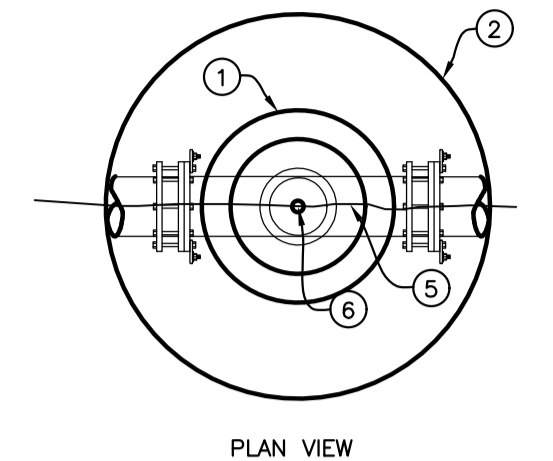
TYP. BEND DETAIL

LEGEND

- 1 FOR HORIZONTAL PIPE BENDS, BEARING THRUST BLOCKS MUST PROVIDE 2500 P.S.I. CONCRETE POURED AGAINST UNDISTURBED EARTH PER TABLE 1.
- 2 FOR VERTICAL PIPE BENDS, GRAVITY THRUST BLOCKS MUST PROVIDE A VOLUME OF CONCRETE POURED AGAINST UNDISTURBED EARTH WHICH IS SIZED FOR EXPECTED FORCES WITH A MINIMUM 1.5 FACTOR OF SAFETY.
- 3 NO. 12 COPPER FINDER WIRE, SEE SD-514 FOR SPLICING.
- 4 C.I. VALVE BOX WITH COVER.
- 5 C.I. GATE VALVE (M.J.).
- 6 PRECAST BLOCK FOR CUT IN TEE AND VALVE OR CAST IN PLACE WITH 2 1/2" Ø MIN. REBAR.
- 7 TRENCH SIDE.
- 8 PIPE.
- 9 PLUG.
- 10 HAMMERHEAD THRUST BLOCKING.
- 11 ANCHOR BARS (1/2" Ø MIN.)

NOTES:

- A ANCHOR ALL VALVES CONNECTED TO P.V.C. PIPE AS SHOWN.
- B COVER BOLTS AND FLANGES WITH PLASTIC TO PROTECT FROM CONCRETE ADHERENCE DURING CONSTRUCTION OF THRUST BLOCKS.
- C SEE CHART FOR MIN. THRUST BLOCK BEARING AREAS.
- D ALL CONCRETE TO BE 2500 P.S.I. STRENGTH POURED AGAINST UNDISTURBED EARTH.
- E PROVIDE 6 MIL POLYPROPYLENE BETWEEN FITTINGS AND CONCRETE.
- F NOTIFY ENGINEER FOR ANY CONDITION OR PIPE SIZE NOT INDICATED.
- G ALL BLOCKS TO BE CENTERED AROUND PIPE SPRING LINE.



VALVE BOX AND LID

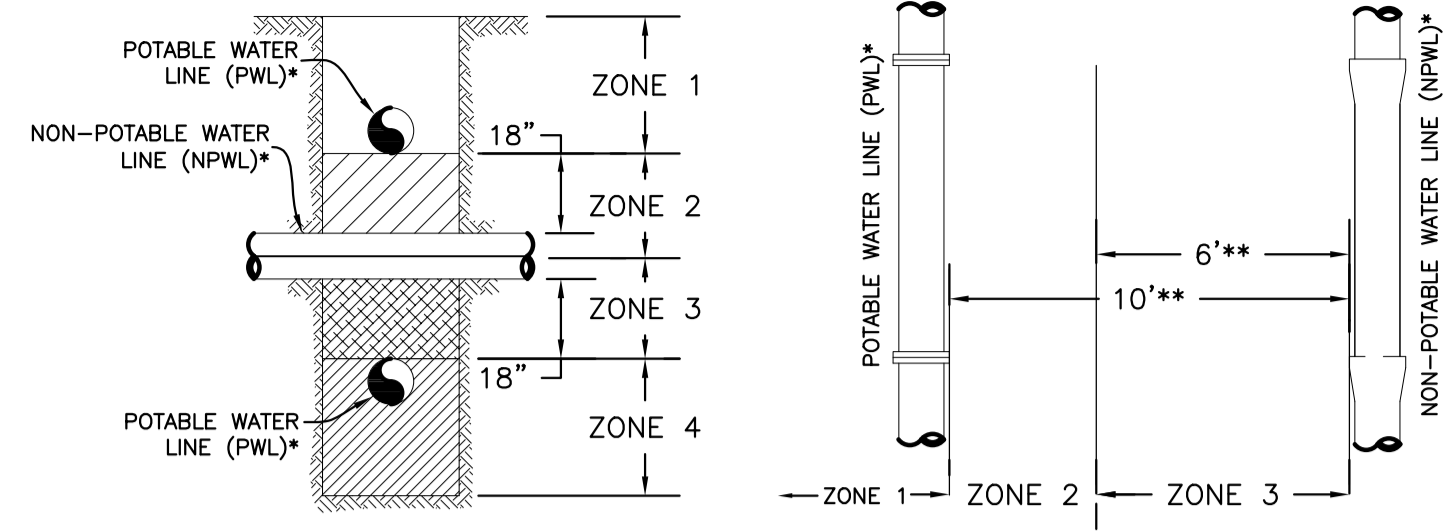
2 VALVE BOX AND LID DETAIL
C2 NOT TO SCALE

LEGEND

- 1 5 1/4" LOCKING LID IF REQUIRED (TYLER NO. 6855).
- 2 24" Ø X 6" CONCRETE COLLAR.
- 3 (2) #4 REBAR HOOPS WITH #4 VERTICALS.
- 4 PACK VOID WITH RUBBER SILICONE.
- 5 NO. 12 AWG. COPPER WIRE FINDER.
- 6 VALVE.
- 7 CAST IRON VALVE RISER.
- 8 FINISHED GRADE.
- 9 REDWOOD BLOCKS.
- 10 FIBRILLATED POLYPROPYLENE FIBER (ADDED PER MANUFACTURER'S RECOMMENDATIONS) MAY BE USED IN LIEU OF #4 REBAR IN CONCRETE COLLARS

NOTES:

- A ALL PRODUCTS AS INDICATED OR APPROVED SUBSTITUTION.
- B IF AUTHORIZED BY THE ENGINEER, A HEAVY (10 GAGE) STEEL VALVE BOX AND CAP MAY BE USED IN LIEU OF CAST IRON BOX AND LID.



* THE TERM "LINE" APPLIES TO BOTH MAIN LINES AND SERVICE LINES. FOR SPECIAL CIRCUMSTANCES REGARDING EXISTING POTABLE OR NON-POTABLE SERVICE LINES, REFER TO ADAPA 58.01.08.542.07c AND 58.01.16.430.02.0.iii, RESPECTIVELY.
** DISTANCES ARE HORIZONTAL.
*** JOINT PLACEMENT APPLIES ONLY TO FACILITY BEING CONSTRUCTED: POTABLE WATER, NON-POTABLE WATER, OR BOTH.

VERTICAL SEPARATION REQUIREMENTS

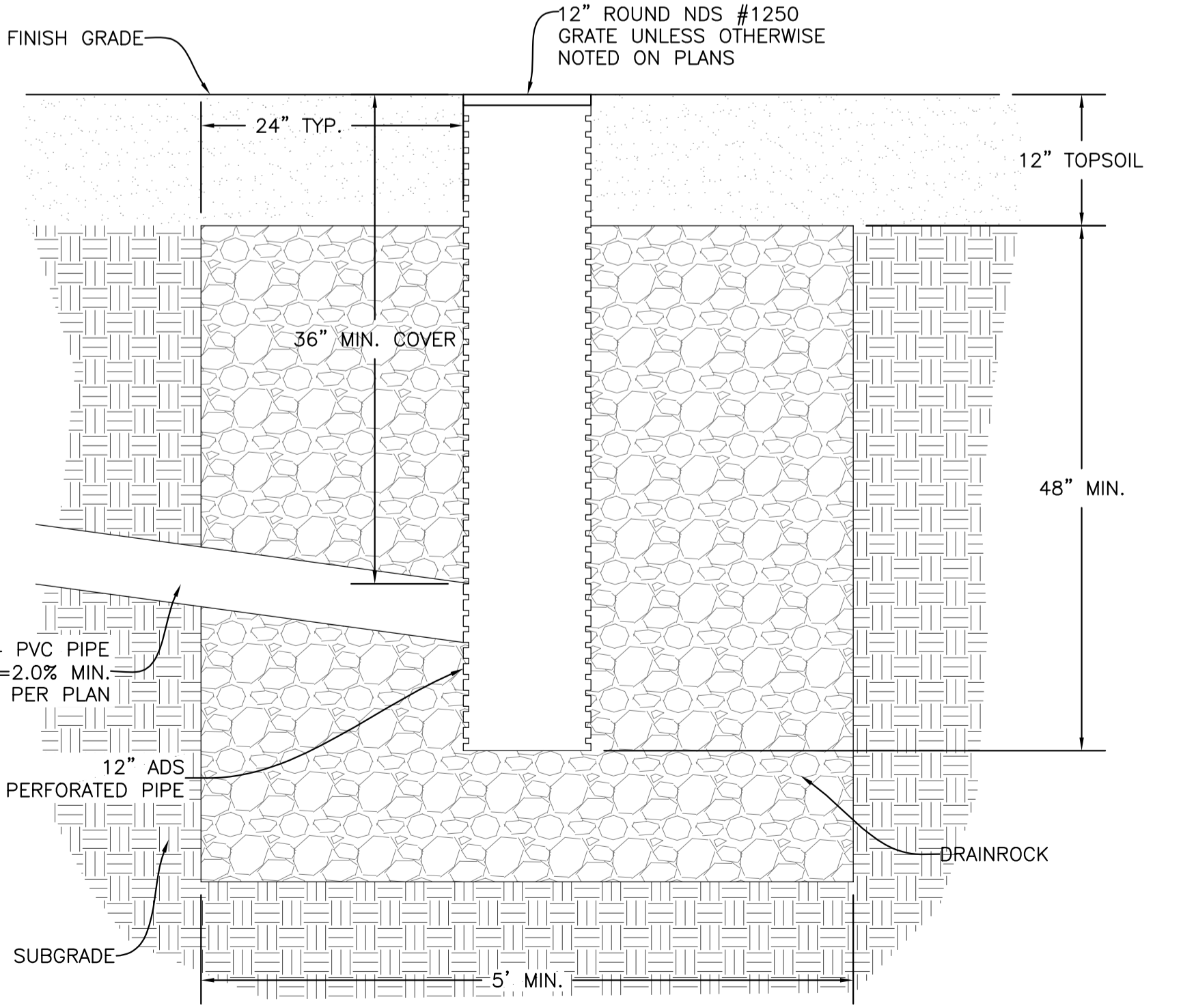
- ZONE 1: A) P.W. AND NP.W. MUST BE SEPARATED BY AT LEAST 18 INCHES AND B) ONE FULL, UN-CUT LENGTH OF P.W. OR NP.W. PIPE MUST BE CENTERED ON THE CROSSING SO THAT THE JOINTS ARE AS FAR AS POSSIBLE FROM THE CROSSING.
- ZONE 2: A) ONE FULL, UN-CUT LENGTH OF P.W. OR NP.W. PIPE MUST BE CENTERED ON THE CROSSING WITH A SINGLE 20-FOOT SEGMENT SO THAT THE JOINTS ARE AS FAR AS POSSIBLE FROM THE CROSSING.
- AND EITHER B) NP.W. MAIN MUST BE CONSTRUCTED TO WATER MAIN STANDARDS WITH A SINGLE 20-FOOT SEGMENT FOR A HORIZONTAL DISTANCE OF 10 FEET ON BOTH SIDES OF THE CROSSING.
- OR C) EITHER THE NP.W. OR P.W. MUST BE ENCASED WITH A POTABLE WATER CLASS SLEEVE FOR A HORIZONTAL DISTANCE OF 10 FEET ON BOTH SIDES OF THE CROSSING.
- ZONE 3: SAME REQUIREMENTS AS ZONE 2 EXCEPT THE NP.W. MUST ALSO BE SUPPORTED ABOVE THE CROSSING TO PREVENT SETTLING.
- ZONE 4: SAME REQUIREMENTS AS ZONE 1 (ITEM 1A ONLY) EXCEPT THE NP.W. MUST ALSO BE SUPPORTED ABOVE THE CROSSING TO PREVENT SETTLING.

HORIZONTAL SEPARATION REQUIREMENTS

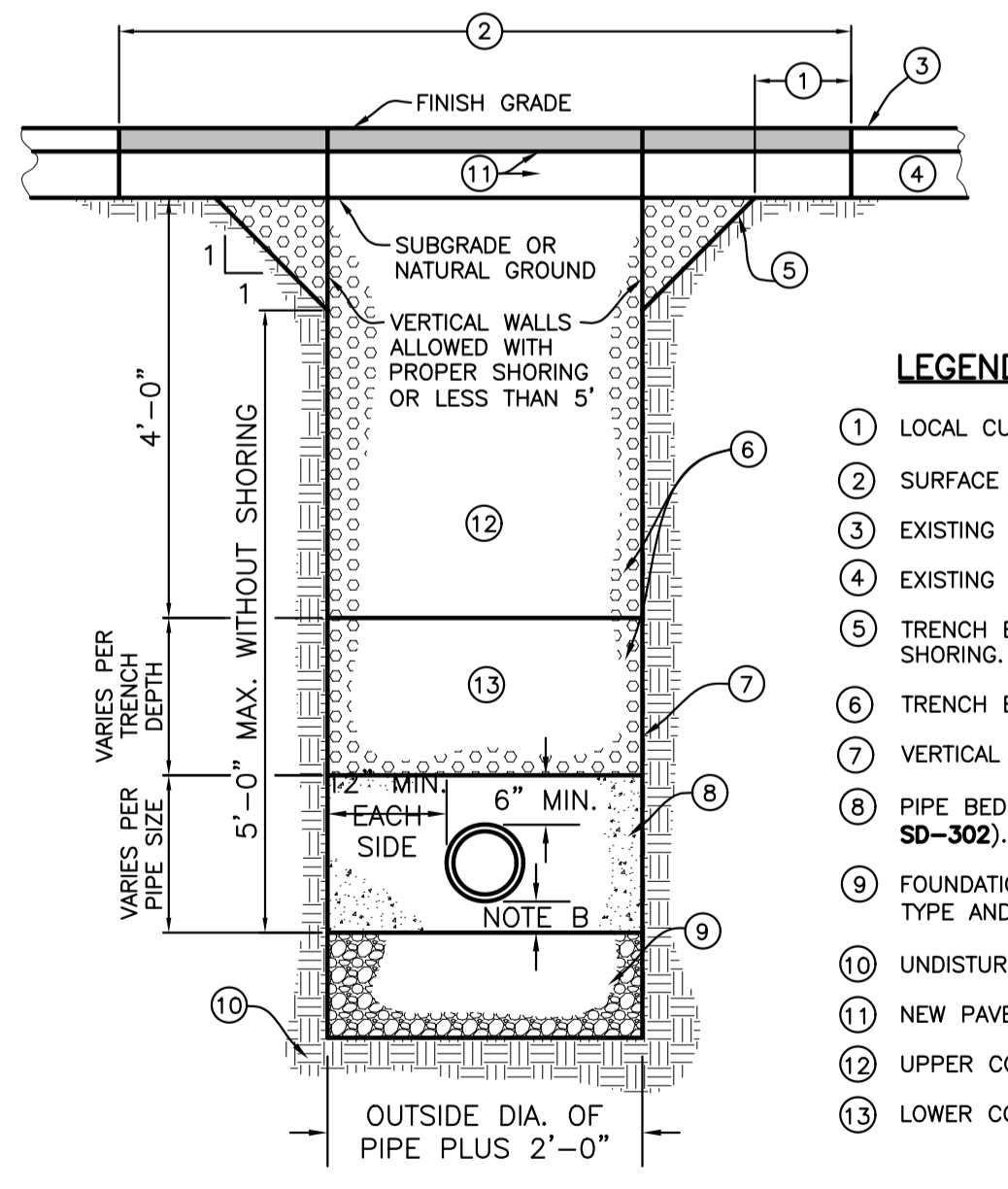
- ZONE 1: A) IF CONSTRUCTING BOTH P.W. AND NP.W. PIPELINES MUST BE IN SEPARATE TRENCHES.
- ZONE 2: A) P.W. AND NP.W. MUST BE SEPARATED BY AT LEAST 6 FEET AT OUTSIDE WALLS.
- AND B) BOTTOM OF P.W. MUST BE ABOVE TOP OF NP.W. AND EITHER C) NP.W. CONSTRUCTED TO WATER MAIN STANDARDS.
- OR D) SITE SPECIFIC REQUIREMENTS APPROVED BY DEQ.
- ZONE 3: NOT ALLOWED WITHOUT DEQ WAIVER.

NOTE: SANITARY SEWER FORCE MAINS MUST HAVE MIN. 10' HORIZONTAL SEPARATION AND 18" VERTICAL SEPARATION. ZONE 2 AND ZONE 3 PLACEMENTS ARE NOT ALLOWED WITHOUT A WAIVER GRANTED BY DEQ.

3 POTABLE AND NON-POTABLE WATER LINE (NPWL) SEPARATION
C2 NOT TO SCALE



5 LANDSCAPE DRYWELL
C1 NOT TO SCALE



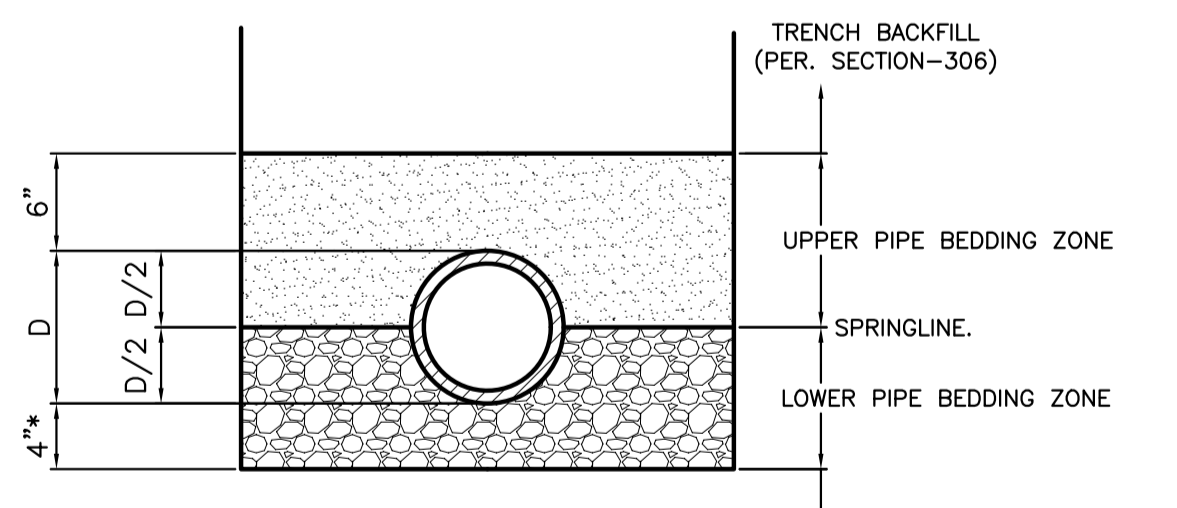
LEGEND

- 1 LOCAL CUT BACK, ONLY IF REQUIRED
- 2 SURFACE REPAIR WIDTH, 4' MINIMUM.
- 3 EXISTING SURFACE.
- 4 EXISTING BASE.
- 5 TRENCH BACK SLOPE PER O.S.H.A. OR SUITABLE SHORING.
- 6 TRENCH BACKFILL PER ISPCW SECTION-306.
- 7 VERTICAL TRENCH WALLS SHORING PER O.S.H.A.
- 8 PIPE BEDDING PER ISPCW SECTION-305 (SEE SD-302).
- 9 FOUNDATION STABILIZATION MAY VARY PER SOIL TYPE AND STABILITY (PER SECTION-304)
- 10 UNDISTURBED SOIL (TYP.)
- 11 NEW PAVEMENT AND BASE
- 12 UPPER COMPACTION ZONE.
- 13 LOWER COMPACTION ZONE.

NOTES:

- A TRENCH EXCAVATION PER ISPCW SECTION-301.
- B PIPE BEDDING PER ISPCW SECTION-305.
- C BACKFILL AND COMPACTION PER ISPCW SECTION-306.
- D SURFACE REPAIR AND BASE PER ISPCW SECTION-307. SEE SD-303.

6 TYPICAL TRENCH
C1 SCALE: NONE



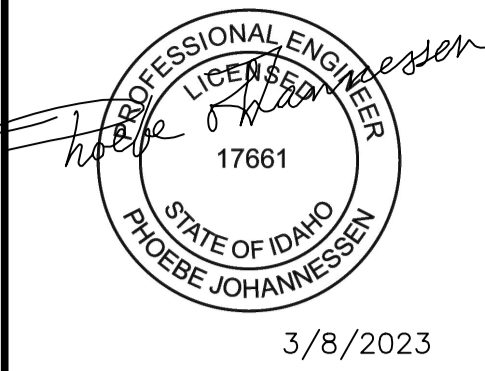
BEDDING SYSTEM	BEDDING MATERIALS
CLASS A-1	LOWER BEDDING ZONE TYPE I UPPER BEDDING ZONE TYPE I

NOTES:

- A REFER TO ISPCW SECTION-305 FOR MATERIAL AND COMPACTION REQUIREMENTS.

7 TYPICAL PIPE BEDDING SECTION
C1 NOT TO SCALE

PERMIT SET



3/8/2023

REVISIONS	NO.	DESCRIPTION	DATE	BY
	1			



PREPARED BY:
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DETAILS
ROCKING RANCH #2 PARCEL 4
T4N, R17E, SEC 13, B.M., BLAINE COUNTY, IDAHO
PREPARED FOR: PRESIDIO VISTA PROPERTIES

DRAWN BY: PLJ
DESIGNED BY: PLJ
CHECKED BY:
DATE: 2/28/2023
PROJECT NO.: 22185

DRAWING NO.

C-3



Approved

These plans have been found to be in substantial compliance of the adopted building codes. These documents are approved contingent on compliance with the markups and notes applied. This is not approval of any jurisdictional code, ordinance, statute or regulation. Some items may be required for code violations found during the inspection process.

ES ICC EVALUATION SERVICE

BLD2303-00021

06/26/23

ICC-ES Evaluation Report

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ESR-2074

Reissued 02/2023

This report is subject to renewal 02/2025.

DIVISION: 08 00 00—OPENINGS

SECTION: 08 95 43—VENTS/FOUNDATION FLOOD VENTS

REPORT HOLDER:

SMART VENT PRODUCTS, INC.

EVALUATION SUBJECT:

**SMART VENT® AUTOMATIC FOUNDATION FLOOD VENTS: MODELS #1540-520;
#1540-521; #1540-510; #1540-511; #1540-570; #1540-574; #1540-524; #1540-514
FLOOD VENT SEALING KIT #1540-526**



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ICC-ES Evaluation Report ESR-2074

Reissued February 2023

This report is subject to renewal February 2025.

DIVISION: 08 00 00—OPENINGS
Section: 08 95 43—Vents/Foundation Flood Vents

REPORT HOLDER:

SMART VENT PRODUCTS, INC.

EVALUATION SUBJECT:

**SMART VENT® AUTOMATIC FOUNDATION FLOOD VENTS:
MODELS #1540-520; #1540-521; #1540-510; #1540-511;
#1540-570; #1540-574; #1540-524; #1540-514
FLOOD VENT SEALING KIT #1540-526**

1.0 EVALUATION SCOPE

Compliance with the following codes:

- 2021, 2018, 2015, 2012, 2009 and 2006 *International Building Code*® (IBC)
- 2021, 2018, 2015, 2012, 2009 and 2006 *International Residential Code*® (IRC)
- 2021 and 2018 *International Energy Conservation Code*® (IECC)
- 2013 *Abu Dhabi International Building Code* (ADIBC)[†]

[†]The ADIBC is based on the 2009 IBC. 2009 IBC code sections referenced in this report are the same sections in the ADIBC.

Properties evaluated:

- Physical operation
- Water flow

2.0 USES

The Smart Vent® units are engineered mechanically operated flood vents (FVs) employed to equalize hydrostatic pressure on walls of enclosures subject to rising or falling flood waters. Certain models also allow natural ventilation.

3.0 DESCRIPTION

3.1 General:

When subjected to rising water, the Smart Vent® FVs internal floats are activated, then pivot open to allow flow in either direction to equalize water level and hydrostatic pressure from one side of the foundation to the other. The FV pivoting door is normally held in the closed position by a buoyant release device. When subjected to rising water, the buoyant release device causes the unit to unlatch, allowing

the door to rotate out of the way and allow flow. The water level stabilizes, equalizing the lateral forces. Each unit is fabricated from stainless steel. Smart Vent® Automatic Foundation Flood Vents are available in various models and sizes as described in Table 1. The SmartVENT® Stacking Model #1540-511 and FloodVENT® Stacking Model #1540-521 units each contain two vertically arranged openings per unit.

3.2 Engineered Opening:

The FVs comply with the design principle noted in Section 2.7.2.2 and Section 2.7.3 of ASCE/SEI 24-14 [Section 2.6.2.2 of ASCE/SEI 24-05 (2012, 2009, 2006 IBC and IRC)] for a maximum rate of rise and fall of 5.0 feet per hour (0.423 mm/s). In order to comply with the engineered opening requirement of ASCE/SEI 24, Smart Vent FVs must be installed in accordance with Section 4.0.

3.3 Ventilation:

The SmartVENT® Model #1540-510 and SmartVENT® Overhead Door Model #1540-514 both have screen covers with 1/4-inch-by-1/4-inch (6.35 by 6.35 mm) openings, yielding 51 square inches (32 903 mm²) of net free area to supply natural ventilation. The SmartVENT® Stacking Model #1540-511 consists of two Model #1540-510 units in one assembly, and provides 102 square inches (65 806 mm²) of net free area to supply natural ventilation. Other FVs described in this report do not offer natural ventilation.

3.4 Flood Vent Sealing Kit:

The Flood Vent Sealing Kit Model #1540-526 is used with SmartVENT® Model #1540-520. It is a Homasote 440 Sound Barrier® (ESR-1374) insert with 21 – 2-inch-by-2-inch (51 mm x 51 mm) squares cut in it. See Figure 4.

4.0 DESIGN AND INSTALLATION

4.1 SmartVENT® and FloodVENT®:

SmartVENT® and FloodVENT® are designed to be installed into walls or overhead doors of existing or new construction from the exterior side. Installation of the vents must be in accordance with the manufacturer's instructions, the applicable code and this report. Installation clips allow mounting in masonry and concrete walls of any thickness. In order to comply with the engineered opening design principle noted in Section 2.7.2.2 and 2.7.3 of ASCE/SEI 24-14 [Section 2.6.2.2 of ASCE/SEI 24-05 (2012, 2009, 2006 IBC and IRC)], the Smart Vent® FVs must be installed as follows:

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These plans have been found to be in substantial compliance of the adopted building codes. These drawings of any openings with different sides with the closed area and notes applied. This is not approval of any violation of any code, ordinance, statute or regulation. A minimum of one FV for every 200 square feet (18.6 m²) of enclosed area, except that the SmartVENT® Stacking Model #1540-511 and FloodVENT® Stacking Model #1540-521 must be installed with a minimum of one FV for every 400 square feet (37.2 m²) of enclosed area.

BLD2303-00024
06/26/23

- With a minimum of one FV for every 200 square feet (18.6 m²) of enclosed area, except that the SmartVENT® Stacking Model #1540-511 and FloodVENT® Stacking Model #1540-521 must be installed with a minimum of one FV for every 400 square feet (37.2 m²) of enclosed area.
- Below the base flood elevation.
- With the bottom of the FV located a maximum of 12 inches (305.4 mm) above the higher of the final grade or floor and finished exterior grade immediately under each opening.

4.2 Flood Vent Sealing Kit

The Flood Vent Sealing Kit Model 1540-526 is used in conjunction with FloodVENT® Model #1540-520. When installed and tested in accordance with ASTM E283, the FV and Flood Vent Sealing Kit assembly have an air leakage rate of less than 0.2 cubic feet per minute per lineal foot (18.56 l/min per lineal meter) at a pressure differential of 1 pound per square foot (50 Pa) based on 12.58 lineal feet (3.8 lineal meters) contained by the Flood Vent Sealing Kit.

5.0 CONDITIONS OF USE

The Smart Vent® FVs described in this report comply with, or are suitable alternatives to what is specified in, those codes listed in Section 1.0 of this report, subject to the following conditions:

- 5.1 The Smart Vent® FVs must be installed in accordance with this report, the applicable code and the

manufacturer's installation instructions. In the event of a conflict, the instructions in this report govern.

- 5.2 The Smart Vent® FVs must not be used in the place of "breakaway walls" in coastal high hazard areas, but are permitted for use in conjunction with breakaway walls in other areas.

6.0 EVIDENCE SUBMITTED

- 6.1 Data in accordance with the ICC-ES Acceptance Criteria for Mechanically Operated Flood Vents (AC364), dated August 2015 (editorially revised February 2021).
- 6.2 Test report on air infiltration in accordance with ASTM E283.

7.0 IDENTIFICATION

- 7.1 The Smart VENT® models and the Flood Vent Sealing Kit described in this report must be identified by a label bearing the manufacturer's name (Smartvent Products, Inc.), the model number, and the evaluation report number (ESR-2074).
- 7.2 The report holder's contact information is the following:

SMART VENT PRODUCTS, INC.
19 MANTUA ROAD
MOUNT ROYAL, NEW JERSEY 08061
(877) 441-8368
www.smartvent.com
info@smartvent.com

TABLE 1—MODEL SIZES

MODEL NAME	MODEL NUMBER	MODEL SIZE (in.)	COVERAGE (sq. ft.)
FloodVENT®	1540-520	15 ³ / ₄ " X 7 ³ / ₄ "	200
SmartVENT®	1540-510	15 ³ / ₄ " X 7 ³ / ₄ "	200
FloodVENT® Overhead Door	1540-524	15 ³ / ₄ " X 7 ³ / ₄ "	200
SmartVENT® Overhead Door	1540-514	15 ³ / ₄ " X 7 ³ / ₄ "	200
Wood Wall FloodVENT®	1540-570	14" X 8 ³ / ₄ "	200
Wood Wall FloodVENT® Overhead Door	1540-574	14" X 8 ³ / ₄ "	200
SmartVENT® Stacker	1540-511	16" X 16"	400
FloodVent® Stacker	1540-521	16" X 16"	400

For SI: 1 inch = 25.4 mm; 1 square foot = m²

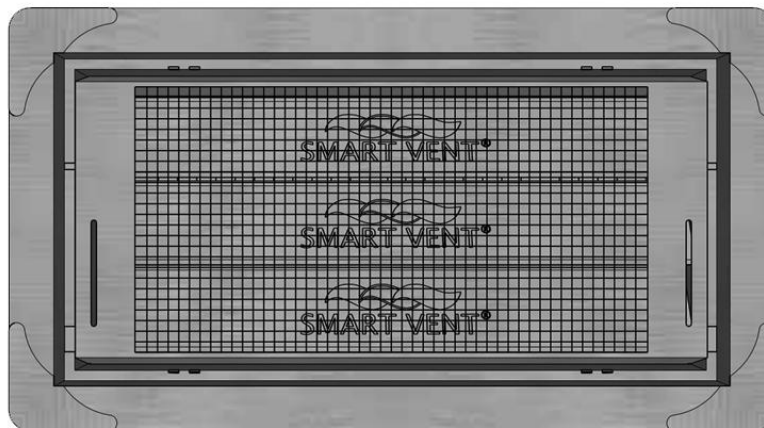


FIGURE 1—SMART VENT: MODEL 1540-510



Approved

Most Widely Accepted and Trusted
These plans have been found to be in substantial

compliance of the adopted building codes. These documents are approved contingent on compliance with the mark-ups and notes applied. This is not approval of any violation of any code, ordinance, statute or regulation. Corrections will be required for code violations found during the inspection process.

BLD2303-00021

06/26/23



FIGURE 2—SMART VENT MODEL 1540-520



FIGURE 3—SMART VENT: SHOWN WITH FLOOD DOOR PIVOTED OPEN

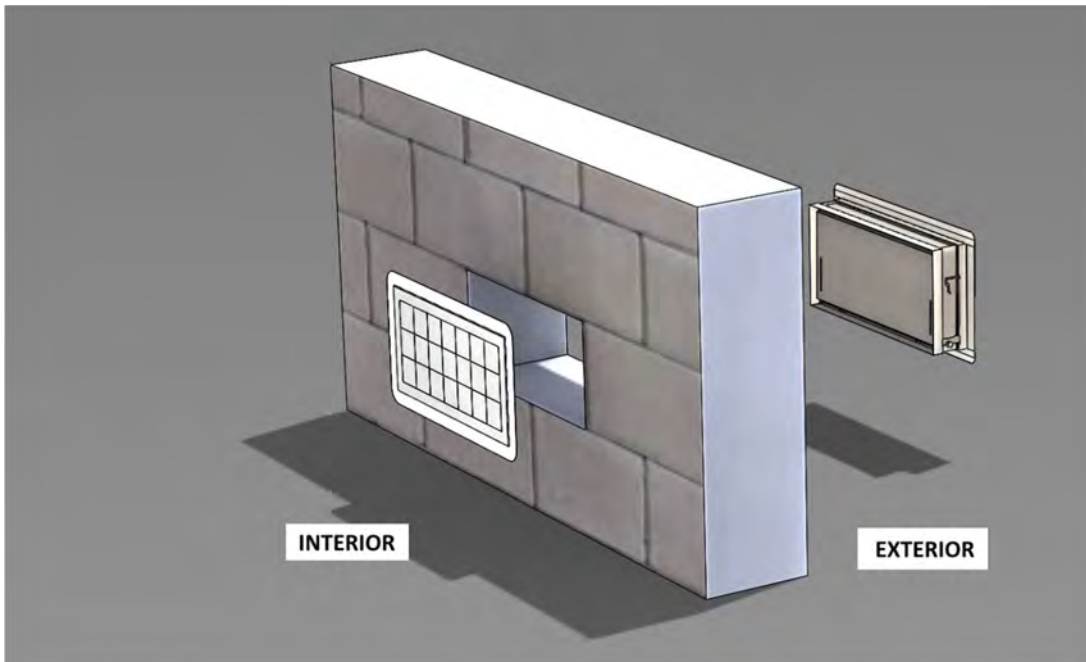


FIGURE 4—FLOOD VENT SEALING KIT



Approved

These plans have been found to be in substantial compliance of the California Building Code. These evaluations are approved contingent on compliance with applicable code and rules applied. This is not approval of any code, ordinance, statute or regulation. Compliance will be required for code violations found during the inspection process.

ICC-ES Evaluation Report
BLD2303-00021
06/26/23

ESR-2074 CBC and CRC Supplement

Reissued February 2023

This report is subject to renewal February 2025.

www.icc-es.org | (800) 423-6587 | (562) 699-0543

A Subsidiary of the International Code Council®

DIVISION: 08 00 00—OPENINGS
Section: 08 95 43—Vents/Foundation Flood Vents

REPORT HOLDER:

SMART VENT PRODUCTS, INC.

EVALUATION SUBJECT:

SMART VENT® AUTOMATIC FOUNDATION FLOOD VENTS: MODELS #1540-520; #1540-521; #1540-510; #1540-511; #1540-570; #1540-574; #1540-524; #1540-514
FLOOD VENT SEALING KIT #1540-526

1.0 REPORT PURPOSE AND SCOPE

Purpose:

The purpose of this evaluation report supplement is to indicate that Smart Vent® Automatic Foundation Flood Vents, described in ICC-ES evaluation report ESR-2074, have also been evaluated for compliance with codes noted below.

Applicable code editions:

- 2019 California Building Code (CBC)

For evaluation of applicable chapters adopted by the California Office of Statewide Health Planning and Development (OSHPD) AKA: California Department of Health Care Access and Information (HCAI) and the Division of State Architect (DSA), see Sections 2.1.1 and 2.1.2 below.

- 2019 California Residential Code (CRC)

2.0 CONCLUSIONS

2.1 CBC:

The Smart Vent® Automatic Foundation Flood Vents, described in Sections 2.0 through 7.0 of the evaluation report ESR-2074, comply with 2019 CBC Chapter 12, provided the design and installation are in accordance with the 2018 *International Building Code*® (IBC) provisions noted in the evaluation report and the additional requirements of CBC Chapters 12 and 16, as applicable.

2.1.1 OSHPD:

The applicable OSHPD Sections and Chapters of the CBC are beyond the scope of this supplement.

2.1.2 DSA:

The applicable DSA Sections and Chapters of the CBC are beyond the scope of this supplement.

2.2 CRC:

The Smart Vent® Automatic Foundation Flood Vents, described in Sections 2.0 through 7.0 of the evaluation report ESR-2074, comply with the 2019 CRC, provided the design and installation are in accordance with the 2018 *International Residential Code*® (IRC) provisions noted in the evaluation report.

This supplement expires concurrently with the evaluation report, reissued February 2023.





Approved

These plans have been found to be in substantial compliance of the adopted building codes. These approvals are approved contingent on compliance with applicable codes and rules applied. This is not approval of any code, ordinance, statute or regulation. No warranty will be required for code violations found during the inspection process.

ICC-ES Evaluation Report
BD2303-00021
06/26/23

ESR-2074 FBC Supplement

Reissued February 2023

This report is subject to renewal February 2025.

www.icc-es.org | (800) 423-6587 | (562) 699-0543

A Subsidiary of the International Code Council®

DIVISION: 08 00 00—OPENINGS
Section: 08 95 43—Vents/Foundation Flood Vents

REPORT HOLDER:

SMART VENT PRODUCTS, INC.

EVALUATION SUBJECT:

SMART VENT® AUTOMATIC FOUNDATION FLOOD VENTS: MODELS #1540-520; #1540-521; #1540-510; #1540-511; #1540-570; #1540-574; #1540-524; #1540-514
FLOOD VENT SEALING KIT #1540-526

1.0 REPORT PURPOSE AND SCOPE

Purpose:

The purpose of this evaluation report supplement is to indicate that Smart Vent® Automatic Foundation Flood Vents, described in ICC-ES evaluation report ESR-2074, have also been evaluated for compliance with the codes noted below.

Applicable code editions:

- 2020 Florida Building Code—Building
- 2020 Florida Building Code—Residential

2.0 CONCLUSIONS

The Smart Vent® Automatic Foundation Flood Vents, described in Sections 2.0 through 7.0 of the evaluation report ESR-2074, comply with the *Florida Building Code—Building* and the *Florida Building Code—Residential*, provided the design requirements are determined in accordance with the *Florida Building Code—Building* or the *Florida Building Code—Residential*, as applicable. The installation requirements noted in ICC-ES evaluation report ESR-2074 for 2018 *International Building Code*® meet the requirements of the *Florida Building Code—Building* or the *Florida Building Code—Residential*, as applicable.

Use of the Smart Vent® Automatic Foundation Flood Vents has also been found to be in compliance with the High-Velocity Hurricane Zone provisions of the *Florida Building Code—Building* and the *Florida Building Code—Residential*.

For products falling under Florida Rule 61G20-3, verification that the report holder's quality assurance program is audited by a quality assurance entity approved by the Florida Building Commission for the type of inspections being conducted is the responsibility of an approved validation entity (or the code official when the report holder does not possess an approval by the Commission).

This supplement expires concurrently with the evaluation report, reissued February 2023.





APPROVED
 These plans have been found to be in substantial compliance of the adopted building codes. These documents are approved contingent on compliance with the mark-ups, notes, and conditions of approval applied. This is not approval of any violation of any code, ordinance, statute or regulation. Corrections will be required for code violations found during the inspection process.



SHEET LEGEND	
SYMBOL	DESCRIPTION
---	Property Line
---	Floodplain
---	Setbacks / Easements
-SILT-	Silt Fence / L.O.D.
(XXXX)	Existing Contours
(XXXX)	Existing Contours
XXXX	Proposed Contours
XXXX	Proposed Contours
○ ○	Existing Vegetation
■	Grass Pave
■	Surface Material - Driveway Pavers
■	Surface Material - Chipseal Asphalt
■	Surface Material - Cut Stone
■	Surface Material - Gravel
■	Surface Material - Stone
■	Landscape - Native
■	Landscape - Lawn
■	Proposed Wetlands

BYLA
 LANDSCAPE ARCHITECTS

323 Lewis - Ketchum, ID
 (208) 726 5907 • (208) 720 0215
 www.byla.us

ISSUE: 19 4/29/2024 Updated Culverts
 REVISIONS:

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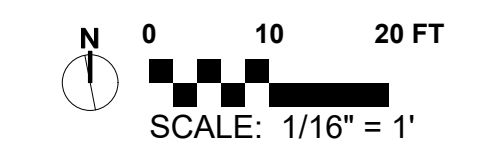
LANDSCAPE PLAN
BADGER LANE
 121 BADGER LANE KETCHUM, ID 83340

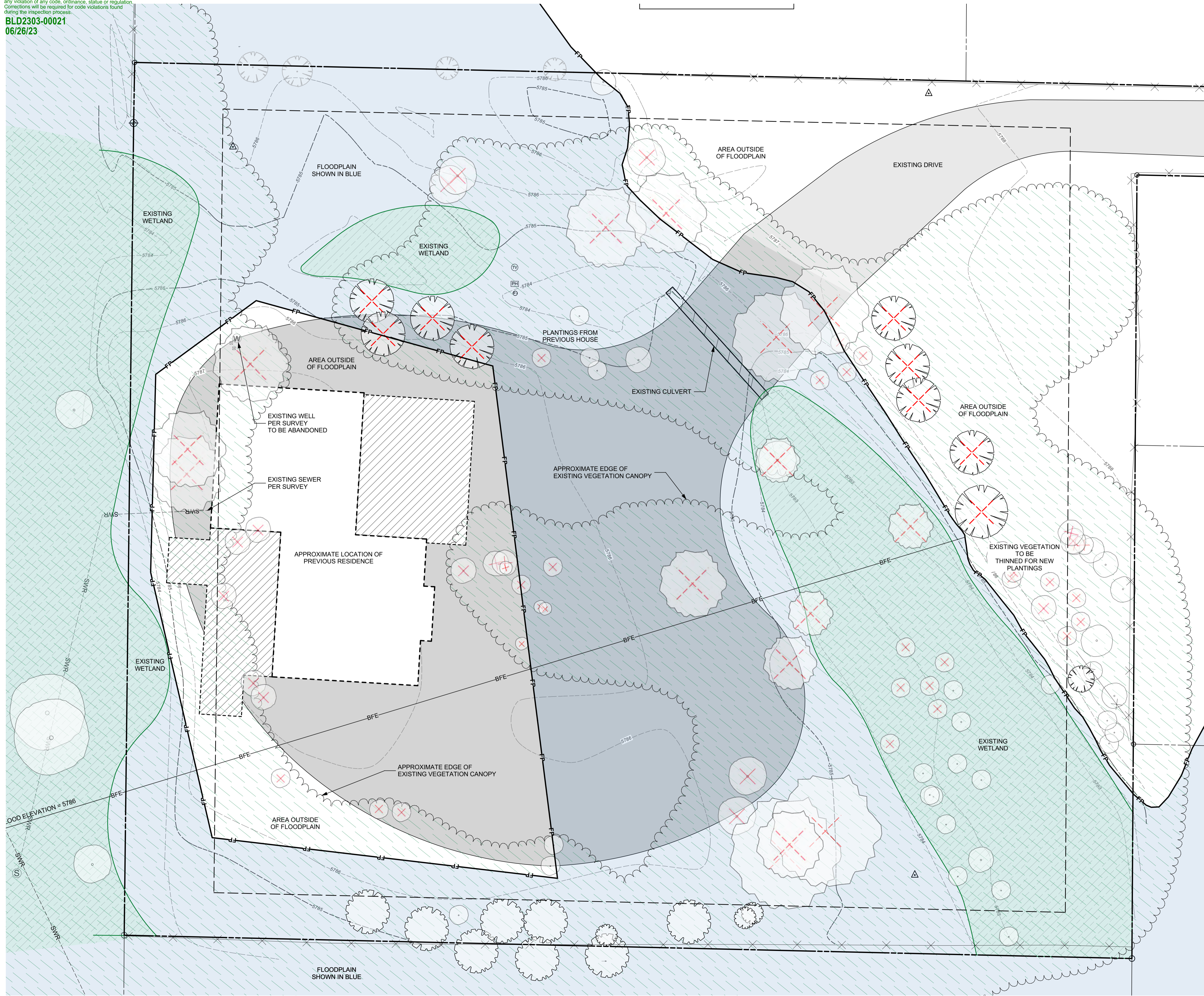
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 PROJECT MANAGER: CG
 DRAWN BY: LH
 ISSUE DATE: 4/29/2024
 PLOT DATE: 4/29/24 10:16:39 AM

SITE OVERVIEW

SHEET NO.

L1.0





SHEET LEGEND	
SYMBOL	DESCRIPTION
---	Property Line
---	Floodplain
(XXXX)	Existing Contours
█	Disturbed
☁	Existing Tree Canopy
▨	Existing Wetlands
✕	Existing Fence
△	Survey Point
✕	Existing Tree To Be Removed

EXISTING TREES OVER 2" CALIPER	
SYMBOL	DESCRIPTION
○	Aspen
☁	Cottonwood
☁	Spruce
☁	Fir

LANDSCAPE PLAN
BADGER LANE
 121 BADGER LANE KETCHUM, ID 83340

FILENAME: BADGER LANE 2023_SHIFT.vwx
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 DRAWN BY: XX
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 PLOT DATE: 2/23/23 12:06:15 PM

EXISTING CONDITIONS & DEMO PLAN

SHEET NO.

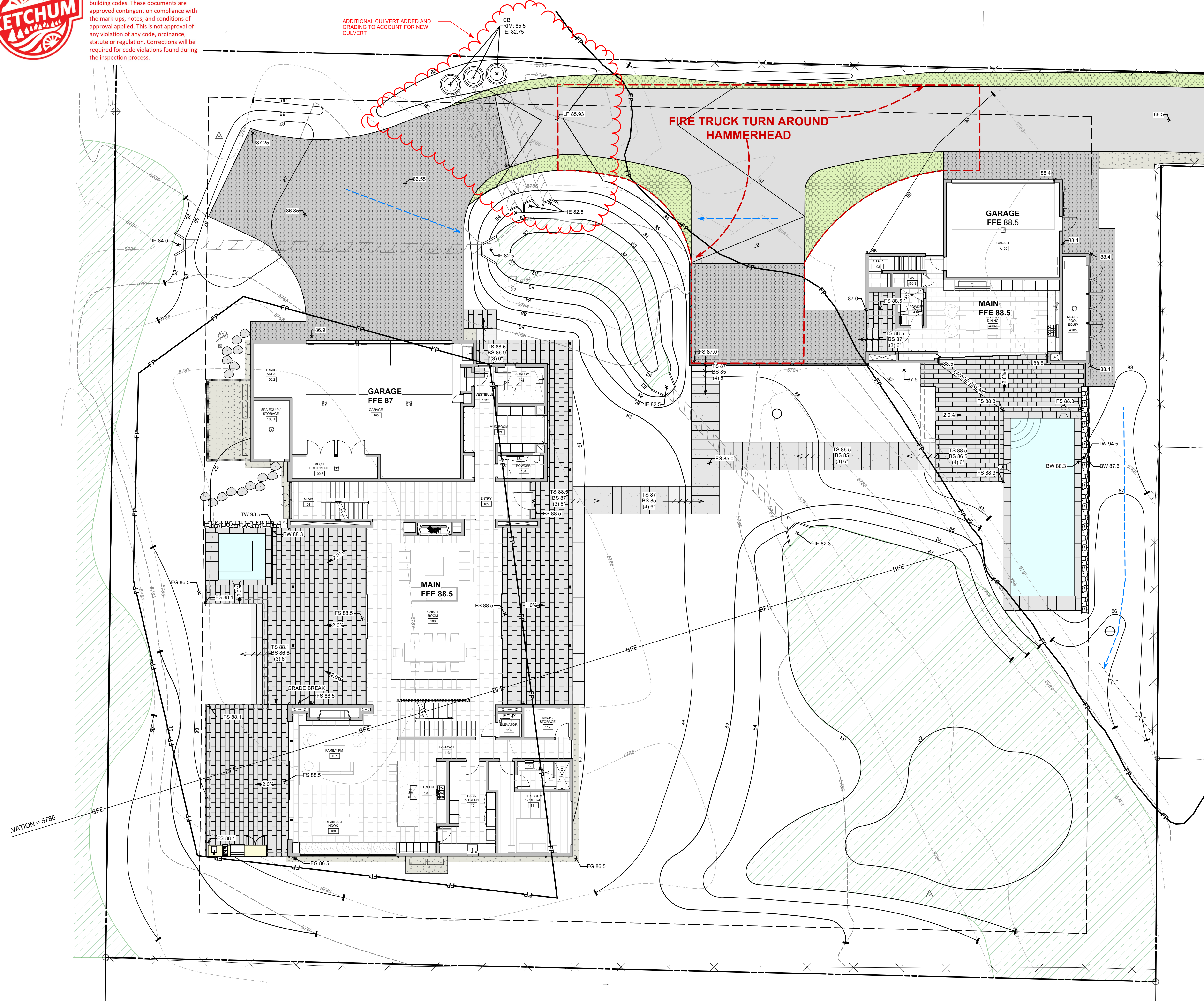


L1.1



APPROVED
 These plans have been found to be in substantial compliance of the adopted building codes. These documents are approved contingent on compliance with the mark-ups, notes, and conditions of approval applied. This is not approval of any violation of any code, ordinance, statute or regulation. Corrections will be required for code violations found during the inspection process.

ADDITIONAL CULVERT ADDED AND GRADING TO ACCOUNT FOR NEW CULVERT



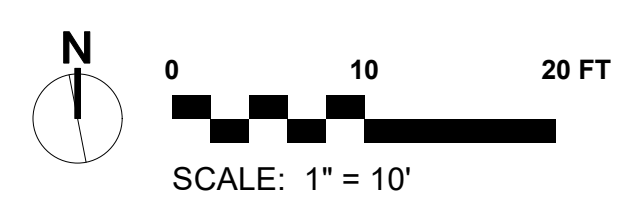
GRADING + DRAINAGE LEGEND	
SYMBOL	DESCRIPTION
	Catch Basin
	Drywell
	% Pitch
	Drainage Direction
FFE	Finished Floor Elevation
+10.50	Spot Elevation
FG	Finished Grade
FS	Finished Surface
TS	Top of Step
BS	Bottom of Step
TW	Top of Wall
BW	Bottom of Wall
TM	Top of Metal
LP	Low Point
HP	High Point
IE	Invert Elevation

LANDSCAPE PLAN
BADGER LANE
 121 BADGER LANE KETCHUM, ID 83340

FILENAME: **BADGER LANE_wvx**
 PROJECT MANAGER: **CG**
 DRAWN BY: **LH**
 ISSUE DATE: **4/29/2024**
 PLOT DATE: **4/29/24 10:16:41 AM**

GRADING PLAN

SHEET NO.

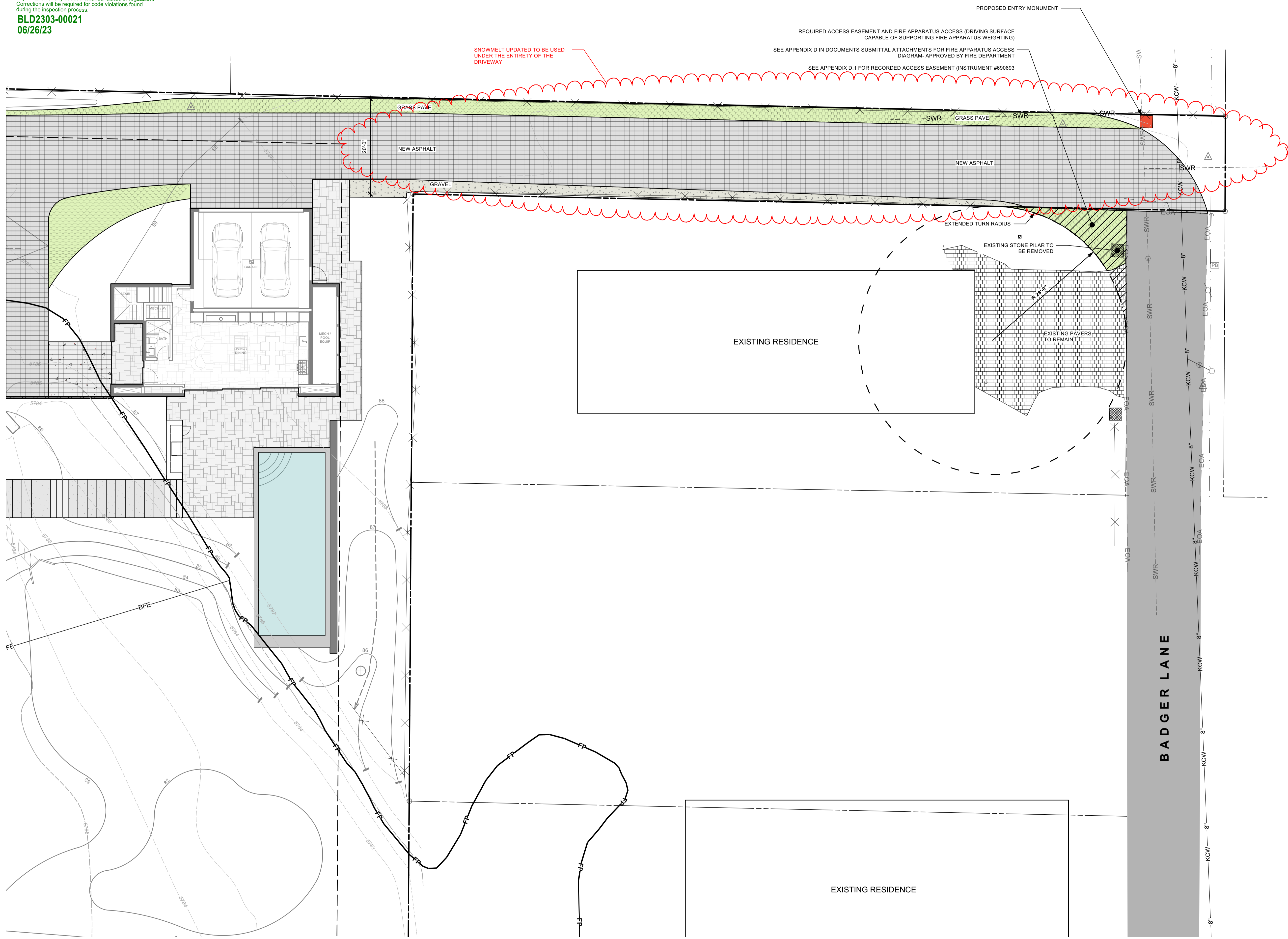


L2.0



Approved
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BLD2303-00021
 06/26/23



SHEET LEGEND	
SYMBOL	DESCRIPTION
---	Property Line
---	Floodplain
---	Setbacks / Easements
(XXXX)	Existing Contours
XXXX	Proposed Contours
---	Existing Fence
(Circle with cross)	Existing Vegetation
(Triangle)	Survey Point
(Green hatched)	Grass Pave
(Black hatched)	Surface Material - Metal
(Grey hatched)	Surface Material - Gravel
(Dark grey hatched)	Surface Material - Asphalt
(Light grey hatched)	Surface Material - Stone
(Patterned hatched)	Surface Material - Stone Paver
(Light green hatched)	Landscape - Native
(Light green)	Landscape - Lawn
(Green hatched)	Proposed Wetland
(Red scalloped line)	Snowmelted Surface

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ISSUE: 8 5/4/2023 FP DEV PERMIT REVISIONS
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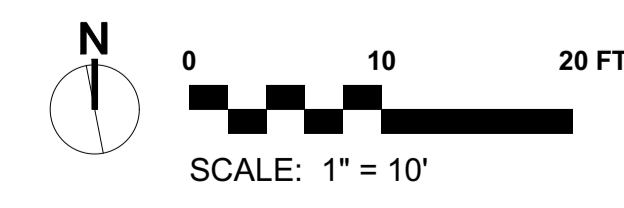
LANDSCAPE PLAN
BADGER LANE
 121 BADGER LANE KETCHUM, ID 83340

FILENAME: BADGER LANE_FP
 Dev Permit.vwx
 PROJECT MANAGER: CG
 DRAWN BY: LH
 ISSUE DATE: 5/4/2023
 PLOT DATE: 5/4/23 10:47:07 AM

FRONT DRIVE EASEMENT

SHEET NO.

L2.1



Approved
 These plans have been found to be in substantial compliance of the adopted building codes. These documents are approved contingent on compliance with the mark-ups and notes applied. This is not approval of any code, ordinance, statute or regulation. Corrections will be required for code violations found during the inspection process.

BLD2303-00021
 06/26/23



SHEET LEGEND

SYMBOL	DESCRIPTION
---	Property Line
---	Floodplain
---	Setbacks / Easements
(XXXX)	Existing Contours
XXXX	Proposed Contours
✕	Existing Fence
△	Survey Point
○	Existing Vegetation
▨	Proposed Wetland
▨	Grass Pave
▨	Surface Material - Metal
▨	Surface Material - Gravel
▨	Surface Material - Asphalt
▨	Surface Material - Stone
▨	Surface Material - Stone Paver
▨	Landscape - Native
▨	Landscape - Lawn
○	Landscape - Trees

IRRIGATION SCHEDULE

AREA DESCRIPTION	IRRIGATION TYPE
Trees + Shrubs	Buried Drip Irrigation
Perennial Beds	N/A
Lawn	Overhead Irrigation
Native Re-Veg	Temporary Overhead

IRRIGATION NOTES:
 ALL TREES TO HAVE DRIP IRRIGATION AND ALL OTHER PLANTINGS TO BE IRRIGATED

PLANT SCHEDULE

TREES				
ABBRV	QTY	SIZE	BOTANICAL NAME	COMMON NAME
AC	24	8" B&B	<i>Abies concolor</i>	White Fir
AL	19	8"-12" B&B	<i>Abies lasiocarpa</i>	Subalpine Fir
PT	51	2"-4" CAL.	<i>Populus tremuloides</i>	Quaking Aspen

SHRUBS				
ABBRV	QTY	SIZE	BOTANICAL NAME	COMMON NAME
AA	8	5 GAL.	<i>Amelanchier alnifolia</i>	Serviceberry
CSI	115	10 gal.	<i>Cornus sericea 'Isanti'</i>	Isanti Red-Osier Dogwood
RA	13	5 GAL.	<i>Ribes alpinum</i>	Alpine Currant
SB	29	6" BB	<i>Salix bebbiana</i>	Bebb Willow

NATIVE GRASSES				
ABBRV	AREA	SIZE	BOTANICAL NAME	COMMON NAME
BC	7038.4 SF		<i>Bromus cernatus</i>	Mountain Brome

Lawn				
ABBRV	AREA	SIZE	BOTANICAL NAME	COMMON NAME
FL	5173.5 SF		<i>Festuca longifolia</i>	Hard Fescue

UPDATED PLANTING SCHEDULE

LIGHTING LEGEND

SYMBOL	QTY	DESCRIPTION
●	15	Lighting - Path Light
○	7	Lighting - Wall Light

LIGHTING NOTES:
 ALL LIGHTING SHOWN FOR DESIGN INTENT. ALL LIGHTING WILL BE COMPLIANT TO CITY OF KETCHUM DARK SKY LIGHTING ORDINANCES.

PATH LIGHT

QUAD LED PATH LIGHT
 6091

WAC LANDSCAPE LIGHTING

SPECIFICATIONS
 Input: 9-15VAC (Transformer is required)
 Power: 3.0W / 4.5VA
 Brightness: Up to 100 lm
 CRI: 90
 Rated Life: 60,000 hours

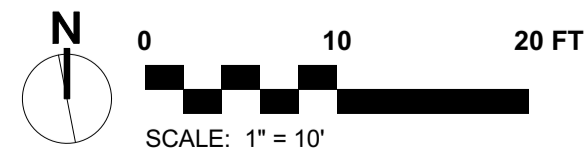
WALL LIGHT

Model: WL-LED100
 LEDme® Step Light

WAC LIGHTING
 Responsible Lighting®

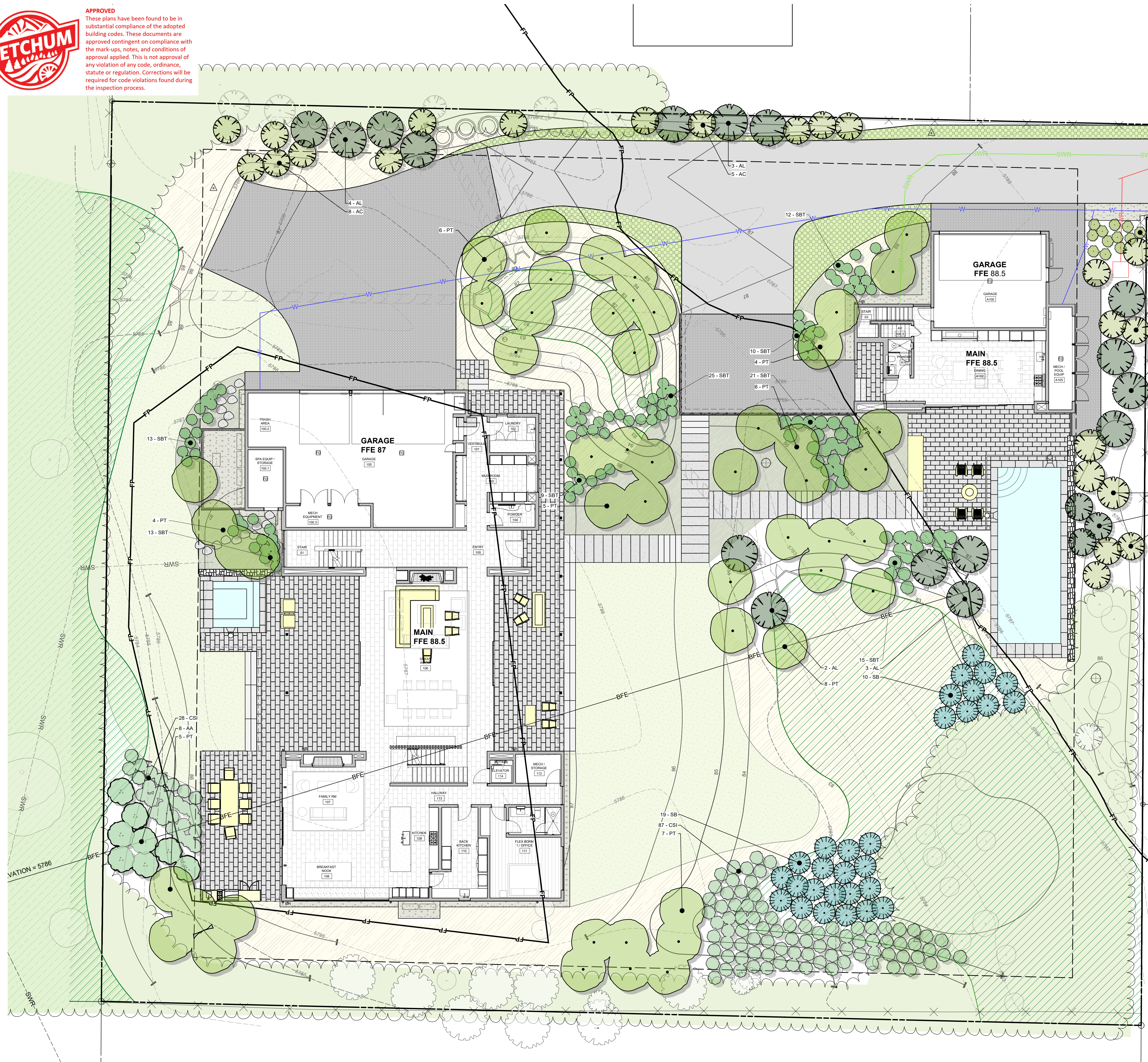
SPECIFICATIONS
 Construction: Die-cast aluminum or 316 marine grade cast stainless steel
 Power: Direct wiring, no remote driver needed. Input voltage: 120V or 277VAC, 50/60Hz
 Light Source: 2700K or 3000K CCT Samsung HV AC High Power LED, CR: 90
 Optional color lenses. Total power consumption of 3.5W
 Mounting: Fits into 2" x 4" J-Box with minimum inside dimensions of 3" x 2" x 2"
 Includes bracket for J-Box mount.
 Dimming: Dim to 10% with electronic low voltage (ELV) dimmer
 Approved dimmers: Lutron Nova TV-900 & TVELV-600, Lutron Wiser VTELV-400, Lutron Diva DVELV-300P, Lutron Skylark SELV-300P, Lutron Maestro MVELV-400
 Standards: IRL, UL & cUL listed for wet locations, Title 24 JAB-2016 Compliant.

PRODUCT DESCRIPTION
 Horizontal rectangular LEDme® Step Light. Designed for safety and style on stairways, patios, decks, balcony area, walkways and building perimeters.
 Features an architectural design. Energy efficient for long lasting indoor and outdoor lighting solutions. Creates an attractive, romantic impression at night.





APPROVED
 These plans have been found to be in substantial compliance of the adopted building codes. These documents are approved contingent on compliance with the mark-ups, notes, and conditions of approval applied. This is not approval of any violation of any code, ordinance, statute or regulation. Corrections will be required for code violations found during the inspection process.



PLANT SCHEDULE				
TREES				
ABBRV	QTY.	SIZE	BOTANICAL NAME	COMMON NAME
AC	23	14' - 16' B&B	<i>Abies concolor</i>	White Fir
AL	19	12' - 16' B&B	<i>Abies lasiocarpa</i>	Subalpine Fir
PT	50	2'-4" CAL.	<i>Populus tremuloides</i>	Quaking Aspen
SHRUBS				
ABBRV	QTY.	SIZE	BOTANICAL NAME	COMMON NAME
AA	8	5 Gal.	<i>Amelanchier alnifolia</i>	Serviceberry
CSI	115	5 GAL.	<i>Cornus sericea 'saari'</i>	Saanit Red-Osier Dogwood
RA	25	5 GAL.	<i>Ribes alpinum</i>	Alpine Currant
SB	29	5 Gal.	<i>Salix bebbiana</i>	Bebb's Willow
SBT	118	5 Gal.	<i>Spiraea betulifolia 'Tor'</i>	Tor Birchleaf Spiraea
PERENNIALS				
ABBRV	AREA	SIZE	BOTANICAL NAME	COMMON NAME
P	810	1 gal.	Generic Perennial	TBD
NATIVE GRASSES				
ABBRV	AREA	SIZE	BOTANICAL NAME	COMMON NAME
BC	7038.4 SF		<i>Bromus carinatus</i>	Mountain Brome
Lawn				
ABBRV	AREA	SIZE	BOTANICAL NAME	COMMON NAME
FL	5173.5 SF		<i>Festuca longifolia</i>	Hard Fescue

IRRIGATION SCHEDULE	
AREA DESCRIPTION	IRRIGATION TYPE
Trees + Shrubs	Buried Drip Irrigation
Perennial Beds	N/A
Lawn	Overhead Irrigation
Native Re-Veg	Temporary Overhead

GENERAL PLANTING NOTES:

1. THE CONTRACTOR SHALL LOCATE AND VERIFY THE EXISTENCE OF ALL UTILITIES PRIOR TO STARTING WORK
2. CONTRACTOR SHALL CLEAR AND GRUB ALL EXISTING VEGETATION WITHIN NEW PLANTING AREAS, UNLESS OTHERWISE INDICATED, AS REQUIRED FOR THE SITE CONSTRUCTION AND PLANTING OPERATIONS. LIMITS OF CLEARING SHALL BE REVIEWED WITH LANDSCAPE ARCHITECT PRIOR TO COMMENCEMENT OF WORK. STRIP ALL ORGANIC MATTER TO A SUFFICIENT DEPTH TO COMPLETELY REMOVE SUCH MATERIAL.
3. EXISTING PLANT MATERIAL: PROTECT ALL EXISTING PLANT MATERIAL TO REMAIN. CONTRACTOR TO REPAIR ANY DAMAGE INCURRED AS A DIRECT RESULT OF THIS CONTRACT TO THE OWNER'S SATISFACTION AT NO ADDITIONAL COST.
4. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN ON ALL DRAWINGS.
5. ALL MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STANDARD FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
6. NO PLANT SHALL BE PUT INTO THE GROUND BEFORE ROUGH GRADING HAS BEEN FINISHED AND APPROVED BY THE PROJECT ARCHITECT OR EQUAL.
7. WITH CONTAINER GROWN STOCK, THE CONTAINER SHALL BE REMOVED AND THE CONTAINER BALL SHALL BE CUT THROUGH THE SURFACE IN TWO VERTICAL LOCATIONS.
8. THE DAY PRIOR TO PLANTING, THE LOCATION OF ALL TREES AND SHRUBS SHALL BE STAKED BY CONTRACTOR FOR APPROVAL BY PROJECT LANDSCAPE ARCHITECT OR EQUAL.
9. ALL PLANT MATERIAL SHALL BE SELECTED AT NURSERY BY THE PROJECT LANDSCAPE ARCHITECT OR OFFICE STAFF.
10. ALL PLANTS TO BE INSTALLED AS PER DETAILS AND THE CONTRACT SPECIFICATIONS.
11. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL THEN BE WATERED WEAKLY, IF NECESSARY, DURING THE FIRST GROWING SEASON.
12. MULCH: INSTALL A UNIFORM TWO INCH COVERING OF COMPOST PER SPEC.
13. TOPSOIL: LAWN AREAS TO RECEIVE A FOUR (4) INCH LAYER OF NATIVE/IMPORT TOPSOIL. PERENNIAL BEDS TO RECEIVE A TWELVE (12) INCH LAYER OF AMENDED 60/40 BLEND - CONTRACTOR TO PROVIDE SPEC. PRIOR TO MATERIAL ARRIVING ON SITE.
14. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO INSPECT AND REJECT PLANT MATERIAL AT ANY POINT FROM DELIVERY THROUGH WARRANTY PERIOD. CONTRACTOR TO REPLACE MATERIAL DURING CURRENT PLANTING WINDOW.

SOIL PREPARATION NOTES:

1. BED PREPARATION: prepare soils in planting areas by roto-tilling amendment and topsoil to a depth of 8" below finished soil surface in all planted areas. Trees will require over-excavation and backfill with amended soil.
2. DE-COMPACTION: subsiding in planting areas should be performed as required, at a depth of 12-24 inches in such a manner as will fracture compacted soil without adversely displacing surface soil, or disturbing plant life, topsoil and surface residue. Multiple passes at varying angles are required to ensure suitability for growth. When using disc or ripping equipment, it is required that the final passes over the area be made with a roto-tiller to break up any large clumps to make final grading easier. Proper equipment, and method are critical.
3. LANDSCAPE CONSTRUCTION COMPACTION MITIGATION: compaction during construction should be minimized as possible and remediated as required to less than 80% using methods described, prior to plant installation.
4. The landscape contractor shall complete the following. Strip existing topsoil and stockpile on site for later use. Conduct a soil evaluation and provide written lab report to determine the existing soil's: composition, compaction rate, nutrient qualities, organic content, pH levels and water holding capabilities.
5. The ideal particle soil mix for this project is approximately 45% sand, 40% silt, 10% clay and 5% organic material with a pH level near seven. Prior to the installation of the landscape and irrigation system, contractor to prepare soil to ensure a proper environment for plant root development.
6. SOIL AMENDMENT: after initial soil de-compaction procedures are performed, soil amendments should be added. The addition of soil amendments is determined from soil tests conducted prior to work commencing. Soil amendment may include inorganic material such as sand, silt or clay, which help improve soil texture. Organic material such as compost, manure, and peat moss may also be used and help improve soil structure. Other amendments shall be added as specified in required soils report. All amendments should be mixed thoroughly with existing soil and an additional soil test will be taken to ensure proper soil conditions prior to planting.
7. SUPPLEMENTAL TOPSOIL: if necessary, provide new topsoil that is fertile, friable and natural loam surface soil, reasonably free of subsoil, clay, clay clumps, brush weeds, and other litter and free of roots, stumps, stones larger than 2" in any dimension and other extraneous or toxic matter harmful to plant growth. Obtain topsoil from local sources or from areas having similar soil characteristics to that necessary for vigorous growth of specified plantings. Obtain topsoil that occurs in a depth of not less than 6". Do not obtain soil from bogs or marshes.
8. TURF/SOD PREPARATION: prepare soils in seed and sod areas by roto-tilling amendment and topsoil to a depth of 4" below finished soil surface.

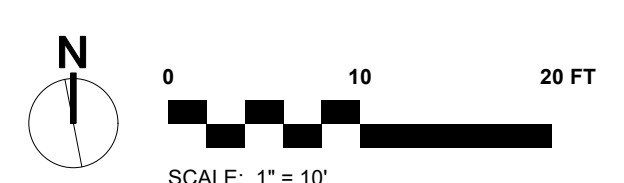
LANDSCAPE PLAN
BADGER LANE
 121 BADGER LANE KETCHUM, ID 83340

FILENAME: **BADGER_LANE_vwx**
 PROJECT MANAGER: **CG**
 DRAWN BY: **LH**
 ISSUE DATE: **4/29/2024**
 PLOT DATE: **4/29/24 10:16:44 AM**

PLANTING PLAN

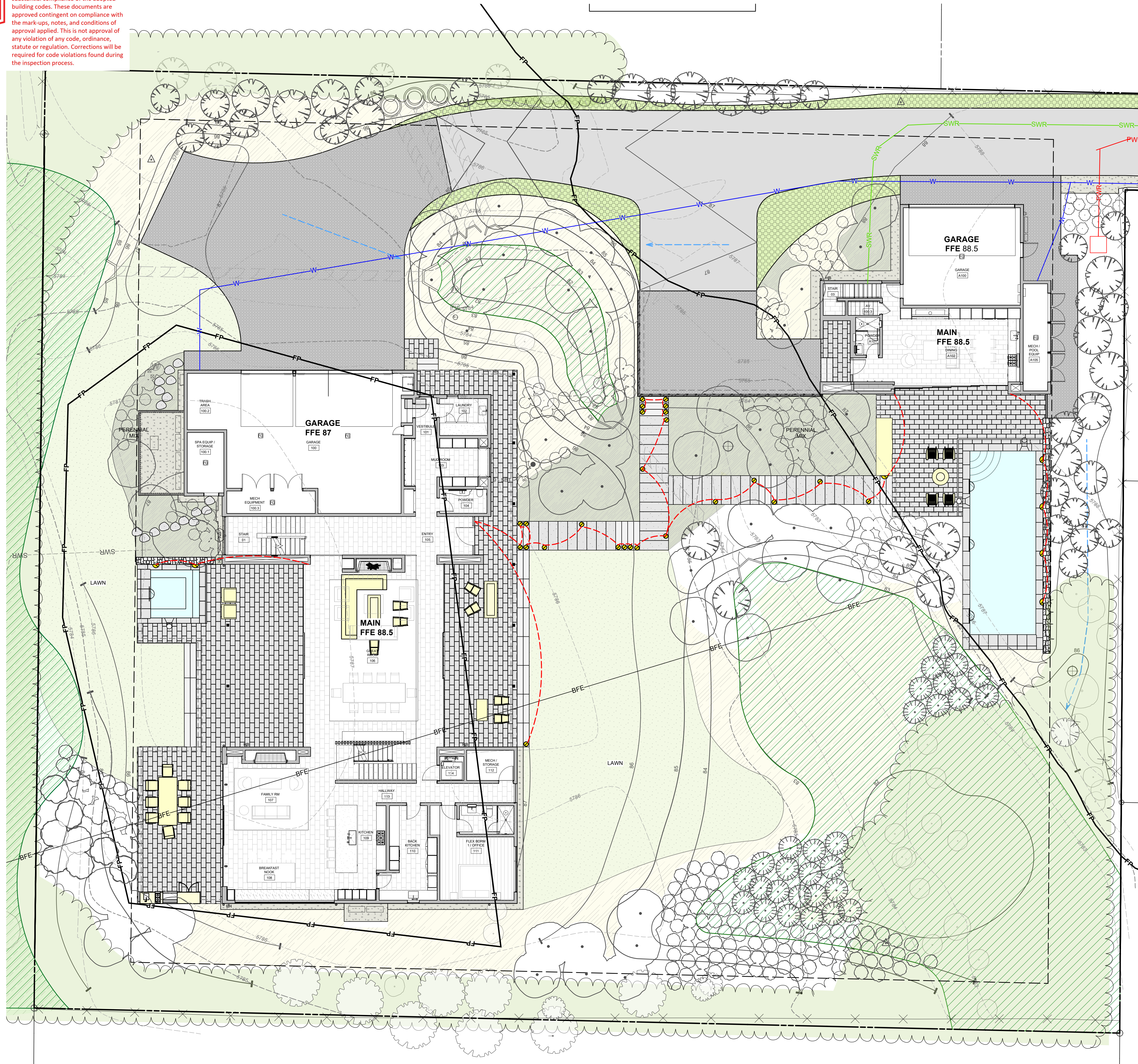
SHEET NO.

L5.0





APPROVED
 These plans have been found to be in substantial compliance of the adopted building codes. These documents are approved contingent on compliance with the mark-ups, notes, and conditions of approval applied. This is not approval of any violation of any code, ordinance, statute or regulation. Corrections will be required for code violations found during the inspection process.



FIXTURE LEGEND			
SYMBOL	QTY.	TYPE	DESCRIPTION
	15	PATH LIGHT	WAC- 2" INGROUND QUAD-DIRECTIONAL
	7	WALL LIGHT	WAC-WL-LED100
	4	POOL/SPA	PER POOL CONTRACTOR

LIGHTING NOTES:
 ALL LIGHTING SHOWN FOR DESIGN INTENT.
 ALL LIGHTING WILL BE COMPLIANT TO CITY OF KETCHUM DARK SKY LIGHTING ORDINANCES.

BYLA
 LANDSCAPE ARCHITECTS
 323 Lewis - Ketchum, ID
 (208) 726 5907 • (208) 720 0215
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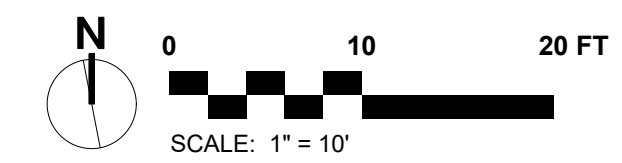
ISSUE: 19 4/29/2024 Updated Culverts
 REVISIONS:
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 BYLA Landscape Architects

LANDSCAPE PLAN
BADGER LANE
 121 BADGER LANE KETCHUM, ID 83340

FILENAME: BADGER_LANE_vwx
 PROJECT MANAGER: CG
 DRAWN BY: LH
 ISSUE DATE: 4/29/2024
 PLOT DATE: 4/29/24 10:16:46 AM

LIGHTING + UTILITY PLAN

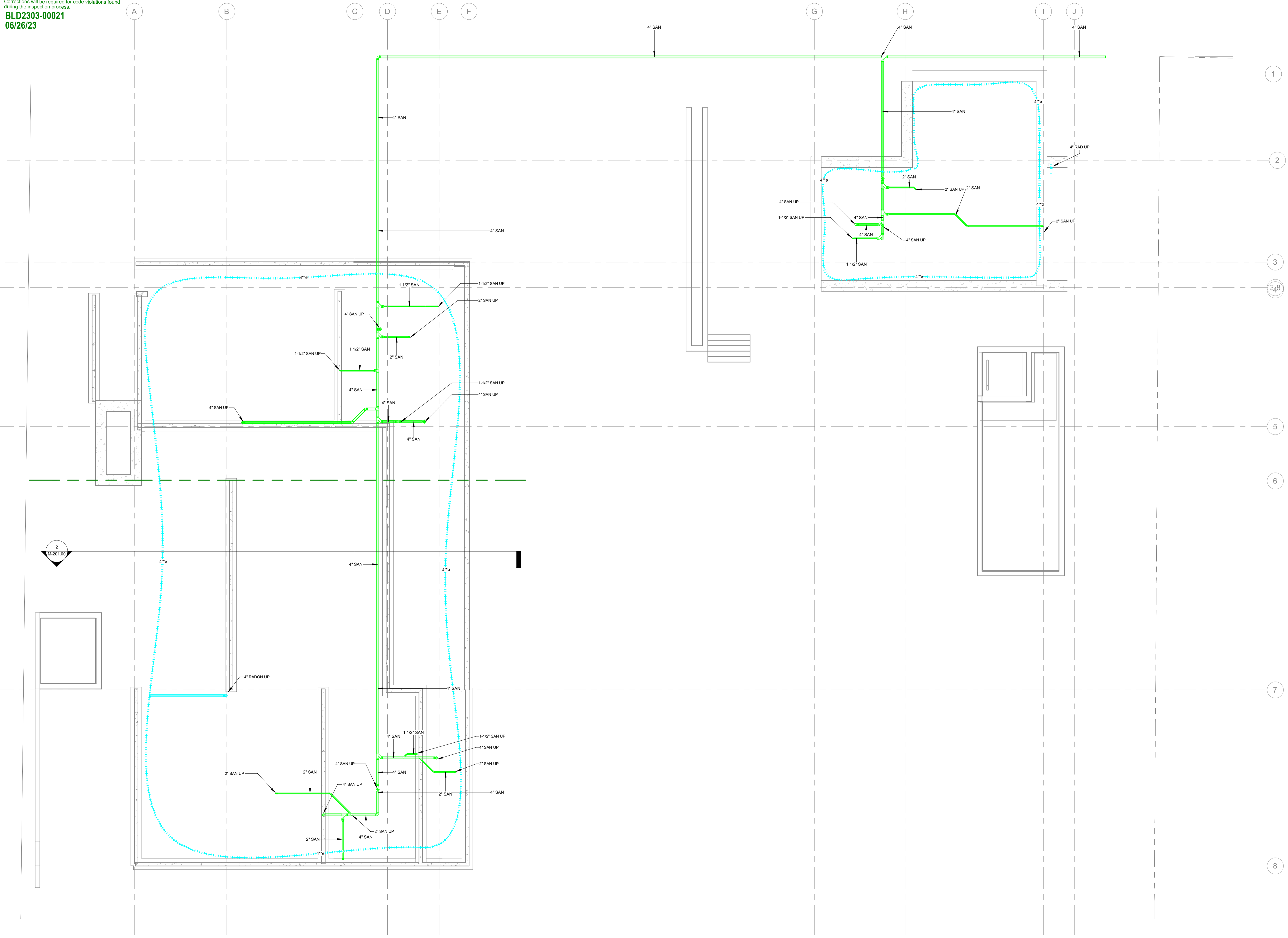
SHEET NO.



L6.0



Approved
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BLD2303-00021
06/26/23



CES Engineering Services MT, LLC
 1001 W Oak, Building B,
 Suite 107
 Bozeman MT 59715
 406.272.0352
 www.ceseng.com

2022661

ISSUANCES

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		

REVISIONS

NO.	DATE	DESCRIPTION

121 BADGER LANE
KETCHUM IDAHO

PLUMBING - SUBSLAB

DATE:	12/15/2022
PROJECT NO:	2022661
DRAWN:	
CHECKED:	
ISSUED FOR:	PERMIT
REVISIONS:	

SEAL:

SHEET NO.

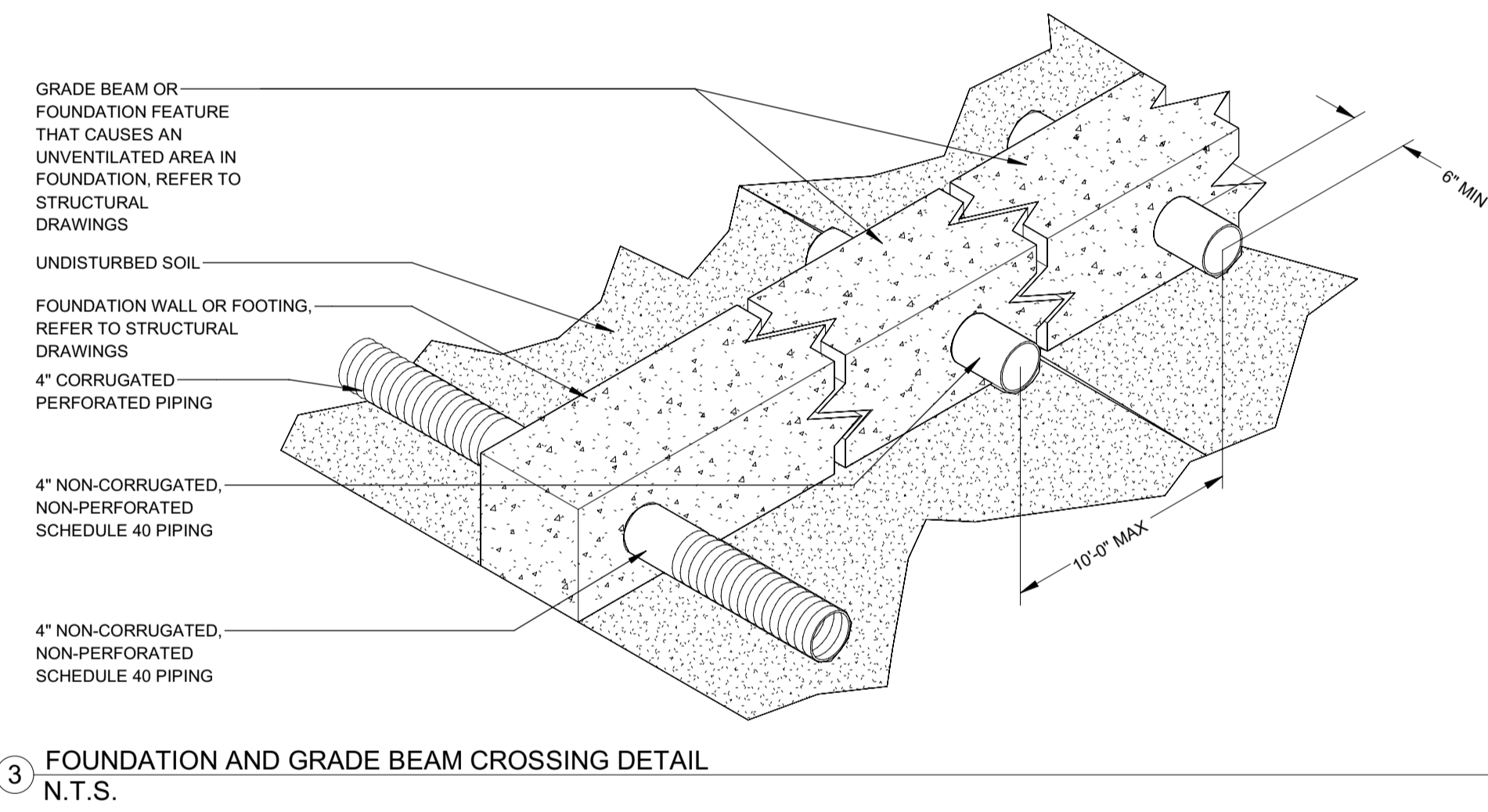
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2022661

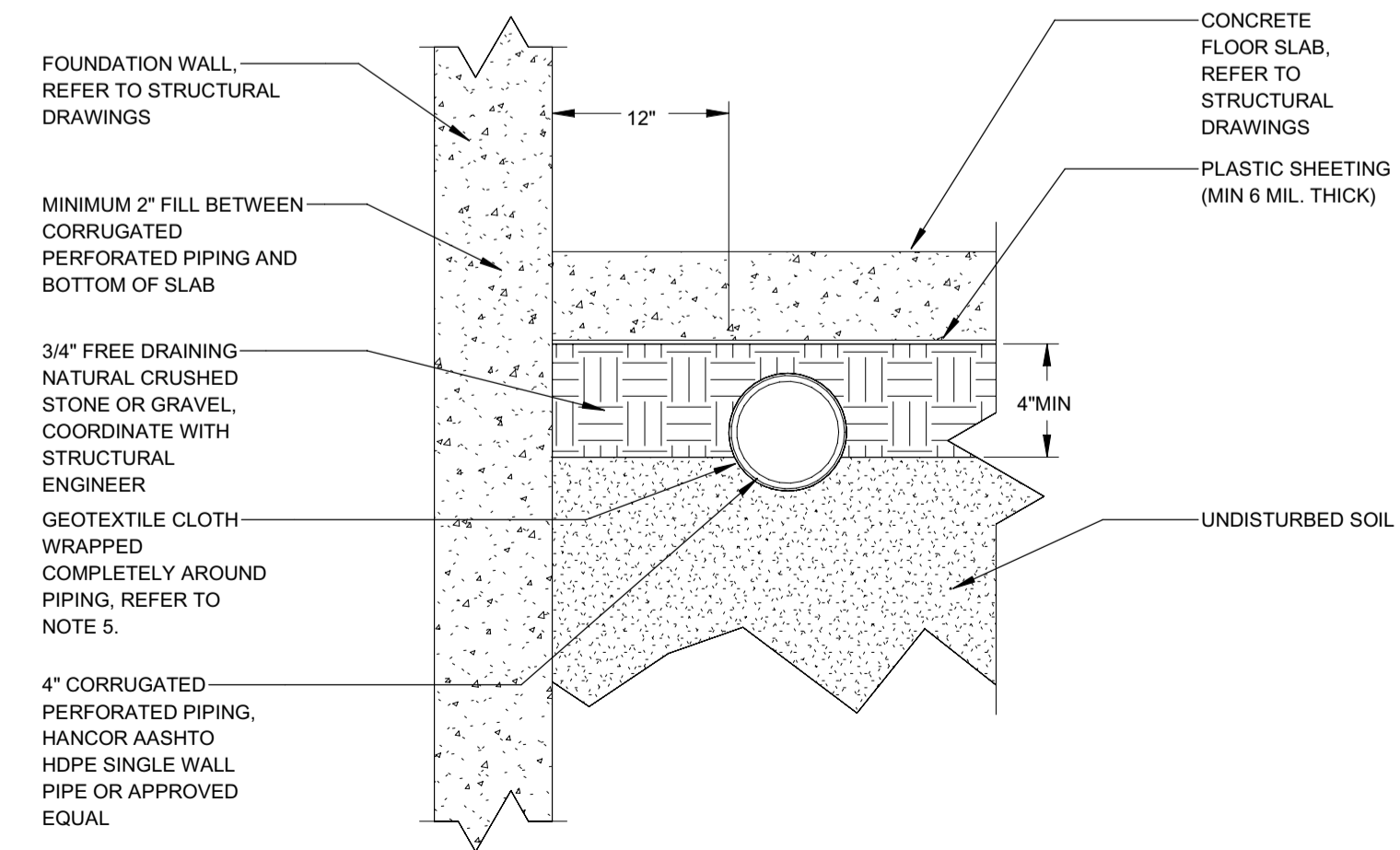
RADON FAN SCHEDULE													
SYMBOL	MANUFACTURER	MODEL	TYPE	LOCATION	SERVING	MAX AIRFLOW	MAX ESP	FAN SPEED	PHASE	VOLTAGE	AMPS	WEIGHT	REMARKS
RF-1	FANTECH	RMEC-4	INLINE	SEE PLANS	RADON RISER	555 CFM	4.4" WC	4084 RPM	1	120 V	2.1 A	7.8 LBS	1.2
RF-2	FANTECH	RMEC-4	INLINE	SEE PLANS	RADON RISER	555 CFM	4.4" WC	4084 RPM	1	120 V	2.1 A	7.8 LBS	1.2

REMARKS:
 1. INSTALL FAN IN VERTICAL RUN OF PIPE.
 2. INSTALL FAN NO MORE THAN 10 FT FROM RADON EXHAUST PIPE TERMINATION TO BUILDING EXTERIOR.

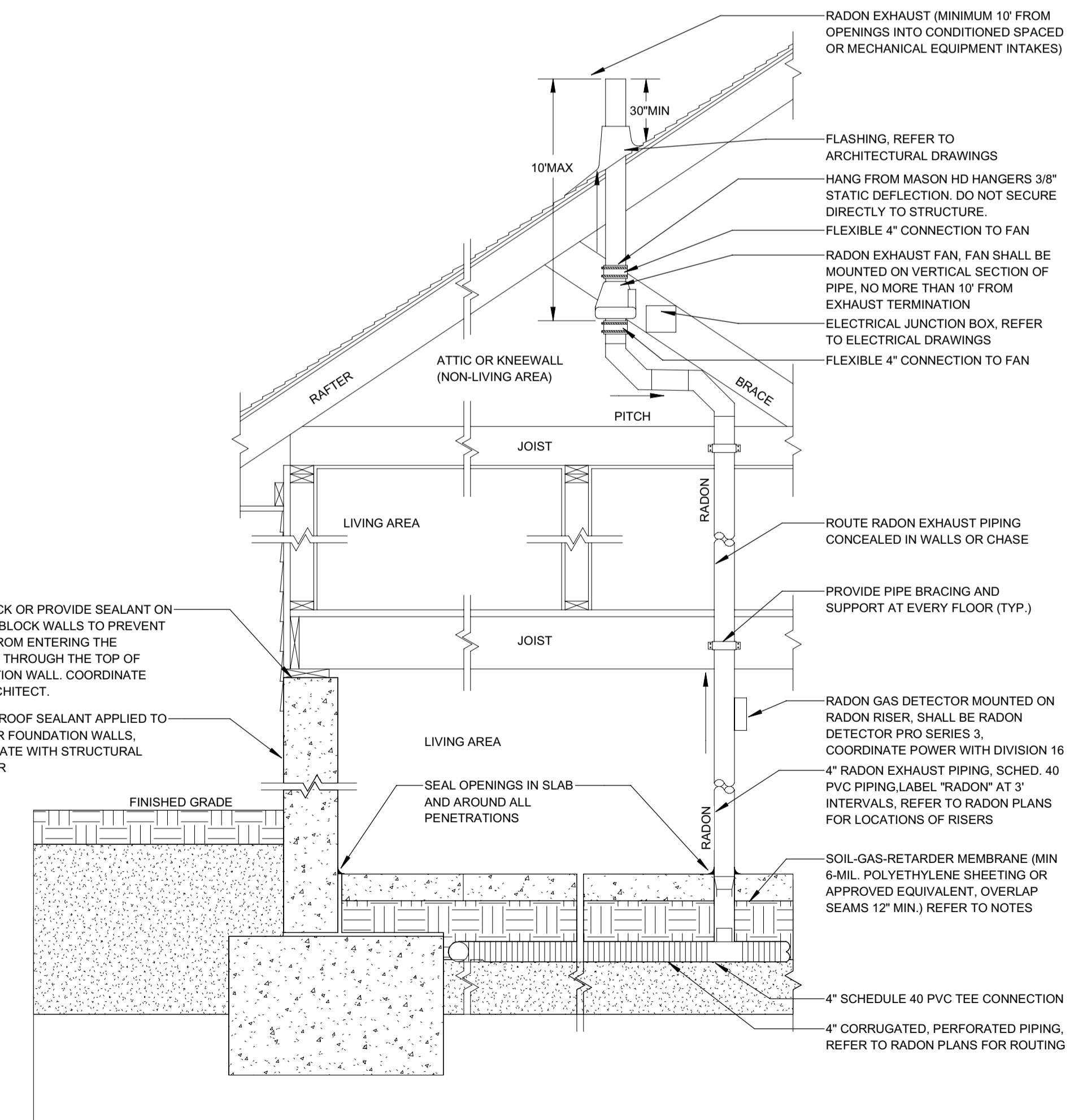
- ### RADON NOTES
- UNDER SLAB RADON PIPING SHALL BE INSTALLED WITH A PITCH UPTOWARDS THE RISER OF 1/16" PER LINEAR FOOT.
 - THROUGH SLAB RADON RISER SHALL BE 4" SCHEDULE 40 PVC.
 - ALL OPENINGS, GAPS, AND JOINTS IN FLOOR SLAB AND WALL ASSEMBLIES IN CONTACT WITH SOIL OR GAPS AROUND PIPES, TOILETS, BATHTUBS, DRAINS OR ANY OTHER SLAB PENETRATION IN THE FLOOR OR WALL ASSEMBLIES SHALL BE AIR-TIGHT SEAL. SEAL LARGE OPENINGS WITH NON-SHRINK MORTAR, GROUTS, OR EXPANDING FOAM AND SMALL GAPS WITH ELASTOMETRIC JOINT SEALANT, AS DEFINED IN ASTM C920-07. COORDINATE SEALANT SPECIFICATIONS WITH STRUCTURAL ENGINEER.
 - ALL UNDER SLAB CORRUGATED PERFORATED PIPING SHALL BE WRAPPED IN A GEOTEXTILE CLOTH TO REDUCE CLOGGING. CLOTH SHALL BE PROPEX GEOTEX OR APPROVED EQUAL.
 - 2" FILL SHALL BE PROVIDED BETWEEN THE TOP OF THE CORRUGATED PERFORATED PIPE AND THE BOTTOM OF THE FLOOR SLAB.
 - ALL SUB-SLAB PIPING, FOUNDATION AND FOOTING PENETRATIONS, AND RADON RISER LOCATIONS SHALL BE COORDINATED WITH THE STRUCTURAL ENGINEER.
 - ALL CONCRETE SLABS THAT COME IN CONTACT WITH THE GROUND SHALL BE LAID OVER A GAS PERMEABLE MATERIAL MADE UP OF A MINIMUM 4" THICK UNIFORM LAYER OF CLEAN AGGREGATE, 3/4" IN DIAMETER.
 - RADON EXHAUST PIPING SHALL BE INSTALLED SO THAT ANY RAINWATER OR CONDENSATION DRAINS DOWNWARD INTO THE GROUND BENEATH THE SLAB OR SOIL-GAS-RETARDER MEMBRANE.
 - ALL POSITIVELY PRESSURED PORTIONS OF THE RADON EXHAUST PIPING AND FAN SHALL BE LOCATED OUTSIDE THE HABITABLE SPACE OF THE BUILDING.
 - AN ALARM SIGNAL SHALL BE SENT TO THE SECURITY SYSTEM IF THERE IS A LOSS OF PRESSURE OF AIR FLOW IN THE RADON EXHAUST PIPE.
 - PROVIDE RADON GAS DETECTORS IN BASEMENT, AND ALL FLOORS WITH LIVABLE SPACE. COORDINATE FINAL LOCATION WITH ARCHITECT.
 - 45° BENDS SHALL BE USED TO CHANGE IN RADON EXHAUST PIPING DIRECTION.
 - SEAL ALL BUILDING CHASES FROM FLOOR TO FLOOR TO REDUCE THE RADON FLOWING INTO THE BUILDING DUE TO 'STACK EFFECT' STANDARD AIR TIGHTNESS METHODS ARE ACCEPTABLE.



3 FOUNDATION AND GRADE BEAM CROSSING DETAIL
 N.T.S.



2 RADON PIPE TRENCH DETAIL
 N.T.S.



1 TYPICAL RADON RISER EXHAUST DETAIL
 N.T.S.

121 BADGER LANE
 KETCHUM IDAHO

RADON DETAILS

DATE:	12/15/2022
PROJECT NO:	2022661
DRAWN:	Author
CHECKED:	Checker
ISSUED FOR:	PERMIT

SEAL:

SHEET NO.

P-303.00

MECHANICAL AND ADHESIVE ANCHORS

BLD2303-00021
06/26/23

- 1. ADHESIVE ANCHORS AND DOWELS INSTALLED INTO CONCRETE:
 - A. "SET-XP" BY SIMPSON STRONG TIE (COLA RR#25744, ESR#2508)
 - B. "HIT-HY 20" BY HILTI, INC. (COLA RR#25964, ESR#3187)
 - C. "HIT-RE 500 V3" BY HILTI, INC. (COLA RR#26028, ESR#3814)
 - D. "PURE110+" BY DEWALT (COLA RR#26035, ESR#3298)
- 2. ADHESIVE ANCHORS AND DOWELS INSTALLED INTO GROUT-FILLED MASONRY UNITS:
 - A. "SET-XP" BY SIMPSON STRONG TIE (COLA RR#25965, IAPMO ER#265)
 - B. "AC100+GOLD" BY DEWALT (COLA RR#26049, ESR#3200)
- 3. ADHESIVE ANCHORS AND DOWELS INSTALLED INTO UNREINFORCED BRICK MASONRY (URM):
 - A. "EPOXY-TIE ET-HP" BY SIMPSON STRONG TIE, IN CITY OF LOS ANGELES ONLY (COLA RR#25120)
 - B. "EPOXY-TIE SET" BY SIMPSON STRONG TIE, NOT IN CITY OF LOS ANGELES (ESR#11772)
 - C. "AC100+GOLD" BY DEWALT (ESR#4105)
- 4. MECHANICAL ANCHORS INSTALLED INTO CONCRETE:
 - A. "STRONG BOLT 2" BY SIMPSON STRONG-TIE (COLA RR#25891, ESR#3037)
 - B. "KWIK BOLT 3" BY HILTI, INC. NOT IN CITY OF LOS ANGELES (ESR#2302)
 - C. "KWIK BOLT 2" BY HILTI, INC. (COLA RR#25701, ESR#1917)
 - D. "POWER-STUD+SD2" BY DEWALT (COLA RR#26035, ESR#2502)
- 5. MECHANICAL ANCHORS INSTALLED INTO GROUT-FILLED MASONRY UNITS:
 - A. "STRONG BOLT 2" BY SIMPSON STRONG-TIE (COLA RR#25936, IAPMO#240)
 - B. "POWER-STUD+SD1" BY DEWALT (COLA RR#25864, ESR#2966)
- 6. ADHESIVE ANCHORS: ASTM A36 THREADED RODS WITH ASTM A 563 GRADE A NUTS AND ANSI B18.22.1 TYPE A WASHERS, UNLESS OTHERWISE NOTED. ANCHORS DESIGNATED AS ASTM A193 GRADE B7 THREADED RODS TO USE ASTM A 563 GRADE DH HEAVY HEX NUTS AND ASTM F 436 WASHERS.
- 7. ADHESIVE DOWELS: ASTM A615 GRADE 60 REINFORCING STEEL.
- 8. ALL ANCHORS SHALL BE INSTALLED IN ACCORDANCE WITH ICC-ES REPORT AND COLA REPORT AND MANUFACTURERS RECOMMENDATIONS.
- 9. UNLESS OTHERWISE NOTED, PROVIDE MINIMUM EMBEDMENT OF ANCHORS PER ICC-ES REPORT, COLA REPORTS & MANUFACTURERS RECOMMENDATIONS.
- 11. CONFIRM FINAL ANCHOR LOCATIONS PRIOR TO FABRICATING PLATES, MEMBERS, OR OTHER STEEL ASSEMBLIES ATTACHED WITH MECHANICAL OR ADHESIVE ANCHORS. AT CONTRACTOR OPTION, OVERSIZED HOLES AND WELDED PLATE WASHERS CAN BE USED IN LIEU OF STANDARD DIAMETER HOLES. SIZE & WELD
- 12. PRIOR TO ALL DRILLING OR CORING, THE CONTRACTOR SHALL (1) VERIFY THE EXISTING CONCRETE OR MASONRY THICKNESS TO PREVENT DAMAGE TO THE OPPOSITE FACE OF CONCRETE AND MAINTAIN 1-1/2" CLEAR COVER U.N.O., AND (2) IDENTIFY EXISTING REINFORCING LOCATIONS BY PACHOMETER, PROBING, CHIPPING, ETC. TO AVOID DAMAGE EXISTING REINFORCING.
- 13. IF REINFORCEMENT IS ENCOUNTERED DURING DRILLING, ABANDON AND SHIFT THE HOLE LOCATION TO AVOID THE REINFORCEMENT, PROVIDE A MINIMUM OF 2 ANCHOR DIAMETERS OR 1 INCH, WHICHEVER IS LARGER, OF SOUND CONCRETE BETWEEN THE DOWEL AND THE ABANDONED HOLE. FILL THE ABANDONED HOLE WITH NON-SHRINK GROUT. IF THE ANCHOR OR DOWEL MAY NOT BE SHIFTED AS NOTED ABOVE, THE ENGINEER WILL DETERMINE A NEW LOCATION.
- 14. ANCHORS SHALL BE PROOF-TESTED BY OWNER'S TESTING AND INSPECTION AGENCY. TEST 20% OF ALL ANCHORS.
- 15. TEST ANCHORS NO SOONER THAN 24 HOURS AFTER INSTALLATION.
- 16. APPLY TEST LOAD BY ANY METHOD THAT WILL EFFECTIVELY MEASURE THE TENSION ON THE ANCHOR SUCH AS DIRECT PULL WITH A HYDRAULIC JACK, TORQUE WRENCH, OR CALIBRATED SPRING-LOADING DEVICES, ETC.
- 17. ADHESIVE ANCHORS SHALL BE INSTALLED IN CONCRETE OR GROUT HAVING A MINIMUM AGE OF 21 DAYS AT THE TIME OF ANCHOR INSTALLATION.
- 18. ALLOW FOR CURING TIME PER MANUFACTURER RECOMMENDATIONS PRIOR TO POURING FRESH CONCRETE AGAINST DRILL AND EPOXY ELEMENTS.
- 19. FOR EXTERIOR AND FOR EXPOSED APPLICATIONS PROVIDE HOT DIP GALVANIZED OR STAINLESS STEEL ANCHORS.

STRUCTURAL SCOPE - BID

- 1. THE FRAMING AND OTHER STRUCTURAL ELEMENTS SPECIFIED IN THESE PLANS REPRESENT STRUCTURAL FRAMING OF THE MAIN STRUCTURE.
- 2. AN APPROPRIATE ALLOWANCE SHALL BE PLANNED FOR AND PROVIDED TO ALLOW FOR ADDITIONAL MISCELLANEOUS FRAMING/BLOCKING, NOT PART OF THE MAIN STRUCTURE, AS REQUIRED FOR SUPPORT OF NON STRUCTURAL ELEMENTS SUCH AS, BUT NOT LIMITED TO, SUSPENDED CEILING, SOFFITS, COVES, ARCHITECTURAL FURRING AND BLOCKING, MECHANICAL DUCT WORK AND EQUIPMENT, ELECTRICAL FIXTURES & ROUTING, PLUMBING CHASES, SPRINKLERS, AND OTHER RELATED NONSTRUCTURAL ELEMENTS. CONSULT AND COORDINATE WITH ARCHITECTURAL DRAWINGS AND MECHANICAL, ELECTRICAL, & PLUMBING DRAWINGS (OR MEP DESIGN-BUILD CONTRACTOR OR SUBCONTRACTORS) FOR SPECIFIC GUIDANCE IN THIS REGARD.
- 3. FRAMING LAYOUT AND OTHER STRUCTURAL ELEMENTS TO BE COORDINATED WITH AND ALIGNED TO / PROVIDE FOR APPROPRIATE ALIGNMENT WITH NON STRUCTURAL ELEMENTS PER PREVIOUS PARAGRAPH CONSULT AND COORDINATE WITH ARCHITECTURAL DRAWINGS AND MECHANICAL, ELECTRICAL, & PLUMBING DRAWINGS (OR MEP DESIGN-BUILD CONTRACTOR OR SUBCONTRACTORS) FOR SPECIFIC GUIDANCE IN THIS REGARD.
- 4. THESE DRAWINGS ARE NOT MEANT AS A BID SET UNLESS SPECIFICALLY INDICATED IN THE SUBMITTAL ISSUANCE NAME AS "BID SET". PLEASE CONFIRM WITH SEOR PRIOR TO USING THESE DRAWINGS AS A BID SET.
- 5. STRUCTURAL ITEMS THAT ARE TO BE CONTRACTOR DESIGNED AND BUILT ARE PER THE DEFERRED SUBMITTAL LIST ON STRUCTURAL AND/OR ARCHITECTURAL DRAWINGS.
- 6. THE FOLLOWING ITEMS ARE EXAMPLES OF ITEMS THAT ARE NOT INCLUDED IN THE DRAWINGS AND SHALL BE ESTIMATED AND PROVIDED BY THE CONTRACTOR BASED ON OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS:
 - A. MEP ANCHORAGE
 - B. FIRE SPRINKLERS
 - C. ELEVATORS MISC. STEEL
 - D. FACADE ATTACHMENT
 - E. LANDSCAPE ELEMENTS
 - F. MONUMENTS AND ARTWORK
 - G. SIGNAGE
 - H. POOL SHELL AND EQUIPMENT ANCHORAGE
 - I. CABLE SYSTEMS
 - J. MISC. METAL SHOWN IN CONSULTANTS' DRAWINGS OR REQUIRED FOR ATTACHMENTS OF THEIR COMPONENTS.
 - K. GUARD RAIL INFILLS
 - L. GLAZING AND ATTACHMENT
 - M. STOREFRONT OR CURTAIN WALL
 - N. ALL ALUMINUM
 - O. INTERIOR AND DECORATIVE ELEMENT ATTACHMENTS
 - P. PFE BACKING OR ATTACHMENTS.
 - Q. AWNINGS

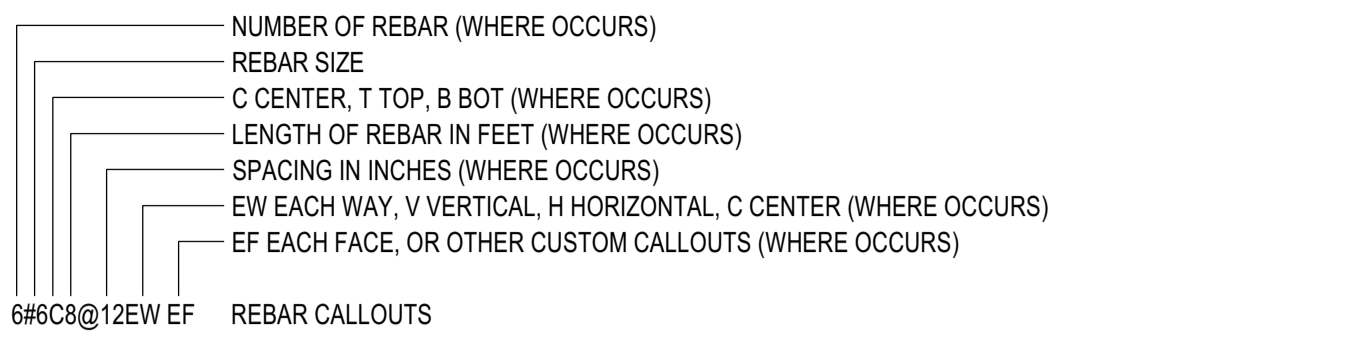
SHOTCRETE

- 1. SHOTCRETE MAY BE USED IN LIEU OF POURED-IN-PLACE CONCRETE IN LOCATIONS WHERE ALL OF THE FOLLOWING CONDITIONS ARE MET:
 - A. SHOTCRETE CONSTRUCTION COMPLIES WITH ALL REQUIREMENTS OF THE 2019 CALIFORNIA BUILDING CODE (2020 LOS ANGELES BUILDING CODE FOR PROJECTS WITHIN LOS ANGELES JURISDICTION)
 - B. NON-CONTACT LAP SPICES ARE PROVIDED
 - C. REINFORCEMENT SIZE AND SPACING AS SHOWN ON THE DRAWINGS COMPLIES WITH ACI/IBC REQUIREMENTS FOR SHOTCRETE
 - D. REBAR SIZE IS LIMITED TO:
 - #5 IN CITY OF LA. GC MAY APPLY FOR CODE MODIFICATION TO OBTAIN PERMIT TO USE LARGER DIAMETERS
 - #8 IN ALL OTHER CASES
 - E. REPRESENTATIVE MOCK UP PANELS ARE SHOT, DISASSEMBLED AND APPROVED FOR STRUCTURAL QUALITY PRIOR TO CONCRETE PLACEMENT ON THE BUILDING
 - F. REPRESENTATIVE PANELS ARE SHOT AND APPROVED FOR ARCHITECTURAL FINISH QUALITY COMPARABLE TO POURED-IN-PLACE CONCRETE PRIOR TO CONCRETE PLACEMENT
 - G. MEETS ALL REQUIREMENTS OUTLINED IN THE SPECIFICATIONS.
- 2. MIX DESIGN AND PLACEMENT OF SHOTCRETE TO BE OF SAME OR HIGHER QUALITY AND STRENGTH AS CONVENTIONALLY FORMED AND PLACED REINFORCED CONCRETE. ALL MATERIALS SHALL MEET REQUIREMENTS OF ASTM C 1436.
- 3. ALL THE REQUIREMENTS OF CALIFORNIA BUILDING CODE SECTION 1913 & 1924 FOR WET MIX SHOTCRETE (SEE BELOW) AND ACI 506R-05 SHALL BE FOLLOWED FOR SHOTCRETE WORK, INCLUDING BUT NOT LIMITED TO PLACEMENT OF REINFORCING STEEL, TEST PANEL REQUIREMENTS AND CORES.
- 4. REINFORCING STEEL SHALL BE SECURELY TIED IN PLACE IN A MANNER THAT PREVENTS MOVEMENT DURING THE WET MIX SHOTCRETE APPLICATION.
- 5. THE HEIGHT OF A LAYER SHALL BE LIMITED TO NOT MORE THAN THREE FEET AND A SUCCEEDING LAYER SHALL NOT BE PLACED IN LESS THAN THREE HOURS. NO SLOUGHING OR SAGGING SHALL BE PERMITTED.
- 6. SLUMP SHALL BE 2" (+ OR - 1/2") AND SHALL BE MEASURED AT THE POINT OF DISCHARGE FROM THE MIXER (EXCEPT THE BUILDING INSPECTOR MAY REQUIRE SLUMP TESTS AT THE DISCHARGE POINT WHERE WATER MAY HAVE BEEN ADDED).
- 7. A CAPABLE NOZZLEMAN'S HELPER WITH AN AIR BLOW PIPE SHALL BE PROVIDED TO ASSIST THE NOZZLEMAN IN KEEPING ALL REBOUND BUILD-UP OUT OF THE WORK. ADDITIONAL WORKERS MAY BE REQUIRED TO TAKE THE REBOUND FROM THE WORK IF THE REBOUND CANNOT BE REMOVED BY THE AIR BLOW PIPE.
- 8. THE CONTRACTOR SHALL AGREE TO PROVIDE A DESIGNATED LIAISON BETWEEN HIS CREW, THE TESTING AGENCY AND THE BUILDING INSPECTOR. ONE DEPUTY SHALL BE ASSIGNED TO EACH NOZZLE.
- 9. SPECIAL PLACEMENT METHODS SHALL BE USED BEHIND STEEL EMBEDDED PLATES, KEYWAYS, ETC. FOR PROPER CONSOLIDATION AND ELIMINATION OF ANY VOIDS OR AIR POCKETS. NO KEYWAYS OR EMBEDMENTS SHALL BE PLACED IN THE FRONT FACE THAT WILL INTERFERE WITH THE STREAM FROM THE NOZZLE.
- 10. A COPY OF THE LOS ANGELES INFORMATION BULLETIN/PUBLIC BUILDING CODE AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE. DOCUMENT NO. PIBC 2014-051.
- 11. STRENGTH TEST PANELS SHALL BE MADE IN ACCORDANCE WITH LABC SECTION 1924.10, ITEM 2. PREPARE AND TEST SPECIMENS IN COMPLIANCE WITH ASTM C 39 AND ASTM C 42. LOCATION OF SAMPLES WILL BE DESIGNATED BY THE ARCHITECT. SIZE SHALL BE 4 IN. IN DIAMETER. SEE SPECIFICATIONS FOR ADDITIONAL TESTING REQUIREMENTS AND PROCEDURES.
- 12. A 4"x4" MOCK-UP PANEL SHALL BE SHOT, CURED, CORED, AND TESTED PRIOR TO COMMENCEMENT OF THE PROJECT. THE MOCK-UP PANEL SHALL BE REPRESENTATIVE OF THE PROJECT AND SIMULATE JOB CONDITIONS AS CLOSELY AS POSSIBLE. THE PANEL THICKNESS AND REINFORCING SHALL REPRODUCE THE THICKEST AND MOST CONGESTED AREA IN THE STRUCTURAL DESIGN. IT SHALL BE SHOT AT THE SAME ANGLE, USING THE SAME NOZZLEMAN AND WITH THE SAME CONCRETE MIX DESIGN THAT WILL BE USED ON THE PROJECT.
- 13. SHOTCRETE REQUIRES CONTINUOUS INSPECTION BY A REGISTERED DEPUTY INSPECTOR. CONTINUOUS INSPECTIONS SHALL BE PROVIDED FOR THE PLACEMENT OF ALL REINFORCING, THE PLACEMENT OF SHOTCRETE, AND THE ASSEMBLY, SHOOTING, TESTING, AND DISASSEMBLY OF TEST PANELS.
- 14. THE SHOTCRETE SUBCONTRACTOR SHALL PRESENT, UPON THE REQUEST OF A DEPARTMENT OF BUILDING AND SAFETY INSPECTOR, A "STATEMENT OF QUALIFICATIONS" SIGNED BY AN OFFICER OF THE SUBCONTRACTOR CORPORATIONS. BOTH THE SPECIFICATION AND STATEMENT SHALL INCLUDE, BUT NOT NECESSARILY BE LIMITED TO, THE FOLLOWING:
 - A. THE DURATION AND TYPE OF STRUCTURAL SHOTCRETE EXPERIENCE (NOT INCLUDING SWIMMING POOLS) OF THE NOZZLEMAN, THE SUBCONTRACTING COMPANY, THE SUPERINTENDENT, AND HELPER.
 - B. THE SUBCONTRACTOR'S LISTED EXPERIENCE SHALL REFERENCE SPECIFIC PROJECTS APPROVED IN THE CITY OF LOS ANGELES.

DEFERRED SUBMITTAL

- 1. THE FOLLOWING ITEMS SHALL BE CONSIDERED AS DEFERRED SUBMITTAL THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ENGINEERED SHOP DRAWINGS FROM THE SPECIALTY SUBCONTRACTOR PREPARED UNDER THE DIRECT SUPERVISION OF A CALIFORNIA LICENSED ENGINEER. THESE SHOP DRAWINGS SHALL BE PROVIDED TO THE ARCHITECT, ENGINEER, AND BUILDING DEPARTMENT OF AUTHORITY OF JURISDICTION FOR REVIEW AND APPROVAL PRIOR TO FABRICATION. THESE ITEMS SHALL INCLUDE:
 - A. STEEL STAIRS
 - B. GRATING NOT SPEC'D ON PLAN
 - C. POOLS AND SPAS
 - D. EXTERIOR BUILDING MAINTENANCE SYSTEMS
 - E. CURTAINWALL OR STOREFRONT SYSTEMS
 - F. LIGHT GAGE METALS
 - G. ROOF EQUIPMENT ANCHORAGE
 - H. GLAZING INCLUDING GLASS GUARDRAILS
 - I. CABLE RAIL SYSTEMS
 - J. TRUSSES
 - K. ELEVATORS
 - L. AWNINGS
 - M. MICROPILES
 - N. TIEDOWNS
 - O. TENDONS IN POST TENSIONED DESIGN. PROVIDE SHOP DRAWINGS OF TENDON LAYOUT AND CALCULATIONS

REINFORCEMENT



- 1. ALL REINFORCING BARS SHALL CONFORM TO ASTM A-615, GRADE 60, UNLESS NOTED OTHERWISE ON THE DRAWINGS AND BELOW:
 - A. SPIRALS SHALL BE COLD DRAWN BARS CONFORMING TO ASTM A-82
 - B. FOR SLABS AND FOUNDATIONS A HIGHER GRADE THAN GRADE 60 MAY BE PROVIDED AT CONTRACTOR'S OPTION AND AT NO ADDITIONAL COST TO THE CLIENT, PROVIDED THAT REBAR SIZE AND SPACING SHALL NOT BE ALTERED. IF ALTERATION TO REBAR SIZE AND SPACING IS SOUGHT, THESE MUST BE APPROVED IN WRITING BY SEOR. ENGINEERING AND PERMITTING FEES SHALL BE PAID BY CONTRACTOR WITHOUT ADDITIONAL COST TO THE CLIENT.
 - C. MOMENT FRAME LONGITUDINAL REBAR, COLUMN LONGITUDINAL REBAR, SHEAR WALL VERTICAL REBAR, AND COUPLING BEAM LONGITUDINAL REBAR SHALL BE ASTM A-706, GRADE 60. ASTM A-615, GRADE 60 REINFORCEMENT SHALL BE PERMITTED IN THESE STRUCTURAL ELEMENTS PROVIDED THE FOLLOWING CONDITIONS ARE MET:
 - a. THE ACTUAL YIELD STRENGTH BASED ON MILL TESTS DOES NOT EXCEED THE SPECIFIED YIELD STRENGTH BY MORE THAN 18,000 PSI.
 - b. THE MINIMUM ELONGATION IN 8 INCHES SHALL BE AS FOLLOWS:
 - NO.3 THROUGH NO.6 = 14 PERCENT
 - NO.7 THROUGH NO.11 = 12 PERCENT
 - NO.14 THROUGH NO.18 = 10 PERCENT
 - D. SMOOTH DOWELS IN SLAB ON GRADE: ASTM A36, 36 KSI
- 2. WELDING OF REINFORCEMENT (INCLUDING TACK WELDING) SHALL NOT BE DONE UNLESS SPECIFICALLY SHOWN ON THE DRAWINGS. WHERE SHOWN ON THE DRAWINGS, THE FOLLOWING SHALL APPLY:
 - A. WELDED REBAR SHALL COMPLY WITH ASTM A-706 [Fy=60 KSI]
 - B. WELDING SHALL CONFORM TO AWS D1.4
 - C. WELDING OF REINFORCING STEEL SHALL BE PERFORMED BY WELDERS CERTIFIED BY THE CITY OF LA
 - D. USE E90XX ELECTRODES
- 3. WELDED WIRE FABRIC SHALL BE MADE OF COLD DRAWN WIRE AND SHALL CONFORM TO ASTM A-185 [Fy=65 KSI]. MINIMUM LAP AT SPLICES OF 12 INCHES. PROVIDE MESH IN FLAT SHEETS ONLY. ROLLED MESH IS NOT ACCEPTABLE. OFFSET END-LAPS IN ADJACENT SHEETS TO PREVENT CONTINUOUS LAPs.
- 4. REINFORCING STEEL SHALL HAVE THE FOLLOWING CONCRETE COVER. SEE ACI FOR TOLERANCES:
 - A. CONCRETE PILES 2 1/2"
 - B. CONCRETE POURED AGAINST EARTH (OTHER THAN PILES) 3"
 - C. CONCRETE NOT FORMED IN CONTACT WITH EARTH 3"
 - D. FORMED CONCRETE IN CONTACT WITH EARTH 2"
 - E. CONCRETE EXPOSED TO WEATHER (#6 AND LARGER) 2"
 - F. CONCRETE EXPOSED TO WEATHER (#5 AND SMALLER) 1-1/2"
 - G. SLABS (INCLUDING SLAB SUPPORTING EARTH), WALLS, AND JOISTS NOT EXPOSED TO WEATHER (#11 AND SMALLER) 1"
 - H. OTHER CONCRETE NOT EXPOSED TO WEATHER 1-1/2"
- 5. #5 AND LARGER REINFORCING BARS SHALL NOT BE SPLICED EXCEPT AS LOCATED AND DETAILED ON THE DRAWINGS. #4 AND SMALLER BARS WITH LENGTHS NOT SHOWN SHALL BE CONTINUOUS. PROVIDE CLASS 'B' SPLICE UNLESS NOTED OTHERWISE. ALL BARS IN MASONRY SHALL BE CONTINUOUS, LAPPING 48 BAR DIAMETERS, 2'-0" MINIMUM. HORIZONTAL WALL SPLICES SHALL BE STAGGERED. VERTICAL BARS SHALL NOT BE SPLICED EXCEPT AT HORIZONTAL SUPPORTS, SUCH AS FLOOR OR ROOF, UNLESS DETAILED OTHERWISE. ALL BARS ENDING AT THE FACE OF A WALL, COLUMN, OR BEAM SHALL EXTEND TO WITHIN 2" OF THE FAR FACE AND HAVE A 90 DEGREE HOOK, UNLESS OTHERWISE SHOWN.
- 6. BARS SHALL BE FIRMLY SUPPORTED AND ACCURATELY PLACED AS REQUIRED BY THE ACI STANDARDS, USING TIE AND SUPPORT BARS IN ADDITION TO REINFORCEMENT SHOWN WHERE NECESSARY FOR FIRM AND ACCURATE PLACING. PROVIDE DOWELS TO MATCH ALL REINFORCEMENT AT POUR JOINTS, UNLESS SHOWN OR NOTED OTHERWISE. ALL DOWELS AND BOLTS SHALL BE ACCURATELY SET IN PLACE BEFORE PLACING CONCRETE. NO WELDING OF REINFORCEMENT (INCLUDING TACK WELDING) SHALL BE DONE UNLESS SHOWN ON THE DRAWINGS OR APPROVED BY THE ENGINEER. ALL SLAB AND BEAM REINFORCEMENT SHALL BE CHAired UP.
- 7. IN WALL REINFORCING, CURTAINS CONTAINING VERTICAL AND HORIZONTAL BARS OF THE SAME SIZE, VERTICAL BARS SHALL BE PLACED CLOSEST TO THE WALL SURFACE. IN CURTAINS WHICH VERTICAL AND HORIZONTAL BARS ARE OF DIFFERENT SIZES OR SPACING, THE LAYER WITH THE MOST STEEL SHALL BE PLACED CLOSEST TO THE NEAR SURFACE, UNLESS NOTED OTHERWISE ON PLAN.
- 8. ALL BARS INTERRUPTED BY STRUCTURAL STEEL SHALL EXTEND TO WITHIN 1" OF STRUCTURAL STEEL FLANGE OR WEB AND HAVE A 90 DEGREE HOOK, UNLESS OTHERWISE SHOWN.
- 9. DRAWINGS SHOW TYPICAL REINFORCING CONDITIONS. CONTRACTOR SHALL PREPARE DETAILED PLACEMENT DRAWINGS OF ALL CONDITIONS SHOWING QUANTITY, SPACING, SIZES, CLEARANCES, LAPS, INTERSECTIONS, AND COVERAGE REQUIRED BY THE STRUCTURAL DETAILS, APPLICABLE CODE, AND TRADE STANDARDS. CONTRACTOR SHALL NOTIFY REINFORCING INSPECTOR OF ANY ADJUSTMENTS FROM TYPICAL CONDITIONS WHICH ARE PROPOSED IN PLACEMENT DRAWINGS TO FACILITATE FIELD PLACEMENT OF REINFORCING STEEL AND CONCRETE.
- 10. ALL PRINCIPAL REBAR SHALL TERMINATE WITH A STANDARD HOOK MINIMUM UNLESS SPECIFICALLY DETAILED OTHERWISE. REBAR BENDS SHALL BE MADE COLD. REBAR SHALL NOT BE BENT AFTER ANY PORTION OF THE BAR IS ENCASED IN CONCRETE.
- 11. ALL LAP SPLICES ARE CLASS 'B' LAP SPLICES UNLESS NOTED OTHERWISE.
- 12. MECHANICAL COUPLER SHALL BE BAR-LOCK COUPLER SYSTEM (ICC ESR-2495, LARR #25342) FOR GRADE 60 CONFORMING TO ASTM A615 OR ASTM A706 OR LENTON MECHANICAL COUPLERS (ICC ESR-0129 LARR #24507) FOR GRADE 60, 75 CONFORMING TO ASTM A615 OR APPROVED EQUAL.
- 13. ALL WALL FOOTING REINFORCEMENT SHALL BEND AROUND ALL CORNERS AND EXTEND 36 BAR DIAMETERS OR 18 INCHES WHICHEVER IS LARGER. UNLESS NOTED OTHERWISE.
- 14. ALL SLABS ON GRADE LESS THAN 6" IN THICKNESS SHALL BE REINFORCED WITH #4 REBARS AT 16 INCHES ON CENTERS EACH WAY, UNLESS NOTED OTHERWISE. PROVIDE ONE (1) LAYER OF 6X6/W2.9XW2.9 WELDED WIRE FABRIC CONTINUOUS FOR EVERY 3" ARCHITECTURAL CONCRETE FILLS ABOVE THE STRUCTURAL SLAB.
- 15. ALL MECHANICAL, PLUMBING AND ELECTRICAL EQUIPMENT PADS LESS THAN 4" THICK SHALL BE REINFORCED WITH AT LEAST ONE (1) LAYER OF 6X6/W2.9XW2.9 WELDED WIRE FABRIC AND HAVE HOOKED DOWELS (#3 AT 12" ON CENTERS) INTO THE STRUCTURAL SLAB. UNLESS NOTED OTHERWISE. FOR PADS GREATER THAN 4 INCHES THICK, USE REINFORCING AS SHOWN IN THE TYPICAL DETAILS.
- 16. ADDITIONAL REINFORCEMENT SHALL BE PROVIDED AROUND ALL SLAB AND WALL OPENINGS INCLUDING DIAGONAL BARS WITHOUT EXCEPTION.
- 17. ALL STRUCTURAL CONCRETE ELEMENTS REQUIRE REINFORCEMENT SINCE NO PLAIN CONCRETE ELEMENTS ARE USED. ALL CONCRETE SLABS SHALL HAVE A MINIMUM REINFORCEMENT PERCENTAGE OF 0.18 EACH WAY CONTINUOUS.
- 18. REINFORCING STEEL SHOP DRAWINGS SHALL INCLUDE SLAB OPENINGS, DEPRESSIONS, SLOPES, CURBS, DRAINS, AND SLAB EDGE LOCATIONS FROM ALL MEP TRADES. GENERAL CONTRACTOR IS RESPONSIBLE TO COORDINATE AND INDICATE ALL SLAB OPENINGS ON PLAN AND SUBMIT TO THE STRUCTURAL ENGINEER PRIOR TO SUBMITTAL OF REINFORCING SHOP DRAWINGS.
- 19. CONTRACTOR SHALL FURNISH MISCELLANEOUS REBAR IN ADDITION TO THE REBAR SPECIFIED ON THE STRUCTURAL DRAWINGS, WHICH SHALL BE INSTALLED AT EOR'S DISCRETION DURING CONSTRUCTION. THE AMOUNT OF ADDITIONAL REBAR SHALL BE 5 TONS OR 2% OF THE REBAR WEIGHT SPECIFIED PER STRUCTURAL DRAWINGS, WHICHEVER IS GREATER.

CONCRETE

- 1. CONCRETE IS REINFORCED AND CAST-IN-PLACE UNLESS OTHERWISE NOTED. WHERE REINFORCING IS NOT SPECIFICALLY SHOWN OR WHERE DETAILS ARE NOT GIVEN, PROVIDE REINFORCING SIMILAR TO THAT SHOWN FOR SIMILAR CONDITIONS. SUBJECT TO REVIEW BY THE OWNER'S REPRESENTATIVE.
- 2. ALL PHASES OF WORK PERTAINING TO THE CONCRETE CONSTRUCTION SHALL CONFORM TO THE LATEST EDITION OF ACI 318 "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE", AND THE LATEST EDITION OF ACI 117 "SPECIFICATIONS FOR TOLERANCES FOR CONCRETE CONSTRUCTION AND MATERIALS"
- 3. CONCRETE MIXES SHALL MEET FOLLOWING SPECIFICATIONS:

CONCRETE MIX SPECIFICATIONS							
LOCATION	WEIGHT	Fc @ 28 DAYS (PSI)	W/C	SLUMP (IN)	LARGEST Agg (IN)	ALLOWABLE FLYASH	MAX SHRINK @ 28 DAYS
ALL LOCATIONS UNO	NORMAL	4,000	0.50	4	1	15%	0.045%
####	####	####	####	#	#	#	#

(*) ELEVATED SLAB SHALL ALSO DEVELOP 5,500 PSI AT 60 DAYS

 - 4. NO MORE THAN ONE GRADE OF CONCRETE SHALL BE ON THE JOB SITE AT ANY ONE TIME.
 - 5. ALL STRUCTURAL CONCRETE MIXES SHALL BE DESIGNED BY AN APPROVED LABORATORY AND SHALL BE STAMPED AND SIGNED BY A CIVIL ENGINEER LICENSED IN CALIFORNIA.
 - 6. CONCRETE MIX PROPORTIONING SHALL MEET STATISTICAL STRENGTH REQUIREMENTS OF ACI 301 AND ACI 214R. MIX DESIGNS SHOWING COMPLIANCE WITH STRENGTH REQUIREMENTS TO BE SUBMITTED TO SEOR FOR REVIEW.
 - 7. CONCRETE STRENGTH TEST REPORTS SHALL BE IN COMPLIANCE WITH ACI 318 AND SHALL BE SUBMITTED TO SEOR
 - 8. CONCRETE MATERIALS AND MIXTURES
 - A. MIXES SHALL BE PREPARED WITH TYPE I/IV PORTLAND CEMENT CONFORMING TO ASTM C150.
 - B. FLY ASH CONFORMING WITH ASTM C618 MAY REPLACE PORTLAND CEMENT CONTENT BY WEIGHT, UNLESS OTHERWISE NOTED ON THE CONCRETE MIX SPECIFICATIONS. REPLACEMENT MAY BE UP TO 15% FOR ELEVATED SLAB OR 25% FOR OTHER CASES. WHERE CONCRETE IS VISUALLY EXPOSED VERIFY WITH THE PROJECT ARCHITECT THE USE OF FLY ASH.
 - C. NORMAL WEIGHT CONCRETE AGGREGATES SHALL CONFORM TO ASTM C33. LIGHT WEIGHT CONCRETE AGGREGATES SHALL CONFORM TO ASTM C330. UNLESS OTHERWISE NOTED ON THE CONCRETE MIX SPECIFICATIONS, COARSE AGGREGATE GRADATION SHALL INCLUDE LARGEST AGGREGATE OF 1", EXCEPT THAT A LARGEST SIZE OF 3/8" IS ALLOWED FOR FOUNDATION, COLUMNS, AND WALLS.
 - D. WATER USED IN MIXING CONCRETE SHALL CONFORM WITH ASTM C1602.
 - E. ADMIXTURES, IF USED, SHALL COMPLY WITH ASTM STANDARDS NOTED ON LATEST EDITION OF ACI 318.
 - F. ADDITIVES SPECIFIED BY OTHER CONSULTANT, SUCH AS, BUT NOT LIMITED TO, WATER PROOFING ADDITIVES, PIGMENTS, ETC. SHALL NOT IMPAIR THE EXPECTED STRUCTURAL PERFORMANCE OF THE CONCRETE. SPECIFICATIONS SHALL BE SUBMITTED TO SEOR FOR REVIEW AND APPROVAL
 - 9. THOROUGHLY CLEAN AND ROUGHEN ALL HARDENED CONCRETE AND MASONRY SURFACES TO RECEIVE NEW CONCRETE. INTERFACE SHALL BE ROUGHENED TO A FULL AMPLITUDE OF 1/4" WITH EXPOSED AGGREGATE UNLESS NOTED OTHERWISE.
 - 10. DEFECTIVE CONCRETE (VOIDS, ROCK POCKETS, HONEYCOMBS, CRACKING, ETC.) SHALL BE REMOVED AND REPLACED AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
 - 11. KEY AND DOWEL POUR JOINTS AS SHOWN ON THE PLANS, ANY DEVIATION FROM POUR JOINTS SHOWN ON THE PLANS MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE.
 - 12. WHERE ELEMENTS SUCH AS, BUT NOT LIMITED TO, CONDUITS, PIPES, AND DUCTWORK, ARE TO BE PLACED WITHIN OR THRU CONCRETE MEMBERS, DIRECT CONTACT OF SUCH MEMBERS WITH CONCRETE SHALL BE PREVENTED AS REQUIRED BY DESIGNER/SPECIFIER/SUPPLIER/INSTALLER OF SUCH ELEMENTS, AND AS NEEDED TO COMPLY WITH PLUMBING CODE AND/OR TO AVOID DAMAGE OF SUCH ELEMENTS, TYPICAL MEANS TO AVOID DIRECT CONTACT WITH CONCRETE SUCH AS SLEEVES, LAYERS OF COMPRESSIBLE MATERIALS, AIR GAPS, ETC. SHALL BE SPECIFIED BY, OR OBTAINED BY GC FROM, DESIGNER/SPECIFIER/SUPPLIER/INSTALLER OF SUCH ELEMENTS. REBAR DISPLACED BY SUCH ELEMENTS SHALL BE ARRANGED AS CLOSE AS PRACTICALLY POSSIBLE AROUND THE EMBEDDED ELEMENTS AND SHALL NOT BE INTERRUPTED.
 - 13. NON-SHRINK CEMENT GROUT SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 7000 PSI. USE "QUIKRETE" (LARR #25451) OR "RAPID SET" (LARR #24654).
 - 14. WHEN WATER OVER 3" IN DEPTH IS PRESENT IN THE DRILLED PILE HOLES:
 - A. A CONCRETE MIX WITH A STRENGTH OF 1,000 PSI GREATER THAN THE SPECIFICATIONS LISTED ABOVE WITH A MINIMUM OF 5,000 PSI AND MAX W/C = 0.42 WILL BE USED.
 - B. AN ADMIXTURE THAT REDUCES THE PROBLEM OF SEGREGATION OF PASTE/AGGREGATES AND DILUTION OF PASTE SHALL BE INCLUDED.
 - 15. TO MINIMIZE CONCRETE SHRINKAGE CRACKING IN CONCRETE SLABS, THE MAXIMUM SIZE OF CONCRETE POURS FOR SLABS ON GRADE, FORMED SLABS, AND SLABS ON METAL DECK, IS 200 FEET IN ANY DIRECTION. THE RATIO OF THE PLAN LENGTH (LONGER DIRECTION) TO WIDTH (SHORTER DIRECTION) DIMENSIONS SHALL NOT EXCEED 2 TO 1.
 - 16. FORM WORK SHALL BE REMOVED IN A MANNER THAT MAINTAINS THE STRENGTH AND STABILITY OF THE STRUCTURE AT ALL TIMES.
 - 17. FORM WORK OF ELEVATED NON P.T. SLABS SHALL NOT BE REMOVED BEFORE ALL CONDITIONS BELOW ARE MET:
 - A. THE SPECIFIED COMPRESSIVE STRENGTH IS REACHED
 - B. FORM WORK IS LEFT IN PLACE AT LEAST 28 DAYS AFTER CONCRETE POUR, EXCEPT THAT FORM WORK CAN BE REMOVED 14 DAYS AFTER CONCRETE POUR IF FOLLOWED BY IMMEDIATE RE-SHORING OF THE SLAB ON THE SAME DAY. RE-SHORING SHALL BE MAINTAINED IN PLACE A MIN OF 28 DAYS AFTER CONCRETE POUR.
 - C. NO STRIPPING OF FORMS IS ALLOWED BEFORE CONCRETE HAS CURED SUFFICIENTLY TO PREVENT SPALLING, CHIPPING OR OTHER DAMAGE DUE TO FORM REMOVAL.
 - 18. FOAM USED IN OVER-FRAMING & BUILT UP SLAB APPLICATIONS SHALL CONFORM TO ASTM D6817 AND SHALL HAVE THE FOLLOWING PROPERTIES AT A MINIMUM:
 - A. TYPICAL FLOOR AREAS: 7PSI COMPRESSIVE RESISTANCE AT 1% DEFORMATION.
 - B. LOADING DOCKS, SIDEWALKS, AND OTHER HEAVILY LOADED AREAS: 15PSI COMPRESSIVE RESISTANCE AT 1% DEFORMATION.
 - C. INSULATING FOAM AT NON-OCCUPIABLE ROOFS: 15PSI COMPRESSIVE RESISTANCE AT 10% DEFORMATION.
 - 19. CONCRETE PLACEMENT METHOD. GENERAL CONTRACTOR SHALL SELECT CONCRETE PLACEMENT METHOD, INCLUDING, BUT NOT LIMITED TO, POURED IN PLACE, SHOTCRETE, ETC., ADEQUATE TO COMPLY WITH ALL CONCRETE SPECIFICATIONS PER CONSTRUCTION DOCUMENTS, SUCH AS, BUT NOT LIMITED TO, CONCRETE MIXES PARAMETERS, ARCHITECTURAL FINISH, EXPOSED CONCRETE, ETC.
 - 20. ALL BASEMENT WALLS INSTALLED DIRECTLY AGAINST SHORING OR OTHER BLIND SIDE INSTALLATIONS SHALL HAVE APPROPRIATE WATERPROOFING AND DRAINAGE SYSTEMS INSTALLED THAT ARE COMPATIBLE WITH SHOTCRETE PLACEMENT METHOD AND POURED IN PLACE METHOD REGARDLESS OF CONCRETE PLACEMENT METHOD. WATERPROOFING AND DRAINAGE SYSTEMS SHALL BE AS SPECIFIED BY THE ARCHITECT AND/OR WATERPROOFING CONSULTANT AND SHALL BE INSTALLED PER MANUFACTURERS RECOMMENDATIONS.

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SEAL:

02/24/23	PC SUBMITTAL
NO	ISSUE

PROJECT:
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PROJECT NUMBER:
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DRAWING TITLE:
GENERAL NOTES

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S-002



These plans have been found to be in substantial compliance with the applicable building codes. These documents are approved contingent on compliance with the mark-ups and notes appearing on these plans. This approval is subject to any code, ordinance, statute or regulation, or any other rule or regulation, or any other rule or regulation, or any other rule or regulation, or any other rule or regulation.

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GENERAL IDENTIFICATION
 ALL LUMBER ON SITE SHALL BE IDENTIFIED BY THE GRADE MARK OF A GRADING OR INSPECTION BUREAU OR AGENCY RECOGNIZED AS COMPETENT, TO ALLOW FOR VERIFICATION OF COMPLIANCE WITH SPECIFICATIONS AND DRAWINGS BY STRUCTURAL OBSERVERS AND INSPECTORS. INSTALLATION SHALL NOT NOT CONCEAL STAMPS AT TIME OF OBSERVATION/INSPECTION. STRUCTURAL LUMBER GRADE STAMP SHALL COMPLY WITH WITH "STANDARD GRADING RULE NUMBER 17" OF THE WEST COAST LUMBER INSPECTION BUREAU. WOOD STRUCTURAL PANELS SHALL BEAR APA STAMP. STRUCTURAL COMPOSITE LUMBER SHALL BEAR IDENTIFICATION PER MANUFACTURER.

2. MOISTURE CONTENT.
 ALL STRUCTURAL MEMBERS SHALL NOT EXCEED THE MAXIMUM MOISTURE CONTENT (MMC) REQUIREMENTS AS LISTED BELOW PRIOR TO INSTALLATION OF NON-STRUCTURAL ELEMENTS INCLUDING BUT NOT LIMITED TO WEATHER BARRIER, DRYWALL AND FACADE.
 A. 16% FOR SAWN LUMBER JOISTS AND PLATES.
 B. 19% FOR ALL OTHER SAWN LUMBER FRAMING MEMBERS

CONTRACTOR TO CONDUCT MOISTURE TESTING, IN THE PRESENCE OF A DEPUTY INSPECTOR, USING MOISTURE METER HAVING A ONE INCH NEEDLE INTO LUMBER AT NINE LOCATIONS (THREE JOISTS, THREE TOP PLATES & THREE SILL PLATES) AT EACH FLOOR. LOCATIONS TO BE REVIEWED AND APPROVED BY S.E.O.R. MOISTURE TO BE MEASURED WITHIN SEVEN DAYS PRIOR TO INSTALLATION OF DRY WALL OR DENS BOARD TO DEMONSTRATE MOISTURE CONTENT IS AT OR BELOW REQUIRED PERCENTAGE.

ANY LUMBER, IF BROUGHT TO THE SITE WITH MOISTURE CONTENT GREATER THE FINAL REQUIRED MMC, IS REQUIRED TO BE DRIED ON SITE BEFORE OR DURING FRAMING AND REMAIN DRY, AND IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO ACHIEVE THE REQUIRED FINAL MMC. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL STRUCTURAL AND NON-STRUCTURAL DAMAGE FROM SHRINKAGE FROM LUMBER RECEIVING FINISHES WITHOUT PASSING THE SPECIFIED MOISTURE TEST. IT IS CONTRACTOR'S RESPONSIBILITY TO INCLUDE THIS MOISTURE TESTING AS PART OF THE CONSTRUCTION SCHEDULE TO ALLOW VARIOUS WEATHER CONDITIONS.

3. INTEGRITY.
 DO NOT CUT, BORE, COUNTERSINK OR NOTCH WOOD MEMBERS EXCEPT WHERE SHOWN IN THE DETAILS.

4. ALL STRUCTURAL SAWN LUMBER, UNLESS NOTED BELOW OR ON THE PLANS, SHALL BE VISUALLY GRADED DOUGLAS FIR LARCH NO. 1.
 A. ALL 2x "DIMENSION LUMBER" MEMBERS SHALL BE DFL NO. 2
 B. ALL 4x "DIMENSION LUMBER" UP TO 4x8 SHALL BE DFL NO. 2
 C. ALL 4x10 OR DEEPER "DIMENSION LUMBER" MEMBERS SHALL BE DFL NO.1
 D. ALL 6x6 "POST AND TIMBER" MEMBERS SHALL BE DFL NO. 1
 E. ALL 6x8 "POST AND TIMBERS" MEMBERS SHALL BE DFL NO. 1
 F. ALL 6x10 OR DEEPER "BEAM AND STRINGERS" SHALL BE DFL NO. 1

5. WOOD STRUCTURAL PANELS SHALL COMPLY WITH U.S. PRODUCT STANDARDS FOR ITS TYPE IN PS 1-09 OR PS 2-10 AND BE CLASSIFIED AS EXPOSURE 1, AS A MINIMUM ALL WOOD STRUCTURAL PANELS SHALL BE APA RATED SHEATHING UNLESS NOTED OTHERWISE ON PLANS AND DETAILS. PANEL CONSTRUCTION FOR ALL WOOD STRUCTURAL PANELS SHALL BE 4 PLY PLYWOOD, EXCEPT THAT OSB IS PERMITTED FOR WALL SHEATHING AT NON FIRE TREATED PANELS. MINIMUM GRADE VENEER FOR PLYWOOD SHALL BE "CD". ALL WOOD STRUCTURAL PANELS SHALL BE BLOCKED AT UNSUPPORTED EDGES. WALL PANELS SHALL BE 15/32 INCH, SPAN RATING 32/16 U.N.O.

6. ALL LUMBER IN DIRECT CONTACT WITH CONCRETE OR MASONRY, INCLUDING BUT NOT LIMITED TO FOUNDATION SILLS, SHALL BE NATURALLY DURABLE OR PRESERVATIVE-TREATED DOUGLAS FIR, EXCEPT THAT MEMBERS THAT ARE PART OF FIRE TREATED ASSEMBLIES SHALL BE FIRE TREATED.

7. CONNECTION TO STEEL ELEMENTS - NAILERS.
 U.N.O. ON PLANS AND DETAILS. WHERE WOOD MEMBERS ARE TO BE CONNECTED TO STEEL ELEMENTS, OR WHERE WOOD NAILERS CONNECTED TO STEEL MEMBERS ARE NEEDED FOR PROPER INSTALLATION OF FINISH MATERIALS, AS A MINIMUM PROVIDE WOOD NAILERS AS SPECIFIED BELOW WITH 5/8"Ø WELDED THREADED STUDS @ 24" O.C:
 A. WOOD NAILERS NEEDED ONLY FOR INSTALLATION OF FINISH MATERIAL: 2X WOOD NAILERS, COUNTERSINKING OF THREADED STUDS BOLT IS ACCEPTABLE IF NEEDED FOR FLUSH INSTALLATION OF FINISH MATERIAL.
 B. WOOD NAILERS NEEDED TO SUPPORT OTHER WOOD ELEMENTS: 2X WOOD NAILERS OR 3X WOOD NAILERS WITH OR WITHOUT COUNTERSINKING OF THREADED STUDS BOLT RESPECTIVELY.

8. FASTENERS.
 FASTENERS INCLUDE BUT ARE NOT LIMITED TO NAILS, WOOD SCREWS, LAG SCREWS, BOLTS, WELDED THREADED STUDS, THREADED RODS, ANCHOR BOLTS, ANCHOR RODS, NUTS, AND WASHERS.

9. NAILS:
 A. ALL NAILS SHALL BE COMMON WIRE NAILS IN ACCORDANCE WITH THE LATEST EDITION OF THE "NATION DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" (NDS)
 B. NAILING TO BE IN ACCORDANCE WITH CBC 2019 NAILING SCHEDULE UNLESS NOTED OTHERWISE.
 C. THE MINIMUM PENETRATION OF NAILS SHALL BE 10 TIMES THE NAIL SHANK DIAMETER OR 1 1/2", WHICHEVER IS GREATER. PENETRATION IS MEASURED INTO THE PIECE RECEIVING THE NAIL POINT.
 D. BORED HOLES SHALL BE PERMITTED FOR ALL NAILS TO HELP PREVENT WOOD FROM SPLITTING. BORE HOLES SHALL BE MANDATORY FOR 20d NAILS OR LARGER. WHEN UTILIZED, BORED HOLES SHALL HAVE DIAMETER NOT EXCEEDING 75% OF NAIL DIAMETER.
 E. EDGE DISTANCES, END DISTANCES, AND FASTENER SPACING SHALL BE SUFFICIENT TO PREVENT SPLITTING OF THE WOOD. BORED HOLES MAY BE UTILIZED TO HELP PREVENT WOOD FROM SPLITTING.

10. WOOD SCREWS:
 A. WOOD SCREWS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF "NATION DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" (NDS)
 B. THE MINIMUM PENETRATION OF WOOD SCREWS SHALL BE 10 TIMES THE SCREW DIAMETER OR 1 1/2", WHICHEVER IS GREATER. PENETRATION IS MEASURED INTO THE PIECE RECEIVING THE NAIL POINT.
 C. LEAD HOLES SHALL BE ABOUT 7/8 THE DIAMETER OF THE SCREW.
 D. WOOD SCREWS SHALL BE TURNED, NOT DRIVEN, INTO LEAD HOLES. SOAP OR OTHER LUBRICANTS SHALL BE PERMITTED AS NEEDED TO FACILITATE THE INSERTION AND PREVENT DAMAGE OF THE WOOD SCREW.
 E. EDGE DISTANCES, END DISTANCES, AND FASTENER SPACING SHALL BE SUFFICIENT TO PREVENT SPLITTING OF THE WOOD.

11. LAG SCREWS
 A. LAG SCREWS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF "NATION DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" (NDS).
 B. PROVIDE LEAD HOLE 40% TO 70% OF THREADED SHANK DIAMETER AND FULL DIAMETER FOR SMOOTH SHANK PORTION.
 C. LAG SCREWS SHALL BE TURNED, NOT DRIVEN, INTO PRE DRILLED LEAD HOLES. SOAP OR OTHER LUBRICANTS SHALL BE PERMITTED AS NEEDED TO FACILITATE THE INSERTION AND PREVENT DAMAGE OF THE WOOD SCREW.

12. ALL BOLTS AND ANCHOR BOLTS IN WOOD SHALL BE A-307 STANDARD BOLTS. HOLES SHALL NOT BE MORE THAN 1/16" LARGER THAN THE BOLT DIAMETER. A STANDARD CUT WASHER (NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION - APPENDIX TABLE L6), OR METAL PLATE OR METAL STRAP OF EQUAL OR GREATER DIMENSIONS AND THICKNESS SHALL BE PROVIDED BETWEEN THE WOOD AND THE NUT.

13. PRE MANUFACTURED CONNECTORS:
 A. ALL PRE MANUFACTURED FRAMING HARDWARE AND CONNECTORS SHALL BE PER SIMPSON STRONG-TIE UNLESS NOTED OTHERWISE.
 B. INSTALL PER MANUFACTURER'S RECOMMENDATIONS AND ICC REQUIREMENTS, INCLUDING ALL FASTENERS REQUIRED BY MANUFACTURER.
 C. FRAMING CLIPS TO COMPLY WITH (APMO ER 0112 2606, L.A. RR 25814). STRAPS TO COMPLY WITH (ICC-ESR 2105, L.A. RR 25713).
 D. CORROSION PROTECTION COATING SHALL BE:
 • G90 FOR INTERIOR AND DRY APPLICATIONS
 • ZMAX OR HOT DIP GALVANIZED, AS AVAILABLE FOR A GIVEN PIECE OF HARDWARE, FOR EXTERIOR APPLICATIONS.

14. CORROSION PROTECTION OF FASTENERS AND CONNECTORS
 A. FASTENERS AND CONNECTORS EXPOSED TO EXTERIOR ENVIRONMENT SHALL BE HOT DIP GALVANIZED OR STAINLESS STEEL.
 B. FASTENERS IN CONTACT WITH PRESERVATIVE OR FIRE RETARDANT TREATED LUMBER SHALL BE HOT DIP GALVANIZED OR STAINLESS STEEL, EXCEPT THAT PLAIN CARBON STEEL FASTENERS IN SBXDOT AND ZINC BORATE PRESERVATIVE-TREATED WOOD IN AN INTERIOR, DRY ENVIRONMENT SHALL BE PERMITTED.

15. NARROW STEEL SHEAR PANELS SHALL BE INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS AND CONFORM TO THE FOLLOWING: HARDY FRAMES (HF): LARR#25759 SIMPSON STRONG WALLS (SSW): LARR#25625

16. GLUE BETWEEN WOOD STRUCTURAL PANELS AND WOOD FRAMING MEMBERS SHALL BE APPLIED TO REDUCE SQUEAKINESS OF FLOOR IN OCCUPIED SPACES. GLUE SHALL CONFORM TO APA PERFORMANCE SPECIFICATION AFG-01 OR ASTM D3498. INSTALL AS DIRECTED PER APA FORM NO. Q300P.

17. FIRE RATED ASSEMBLIES.
 WOOD AND COMPONENTS IN EXTERIOR WALLS LABELED AS FIRE RATED BY THE ARCHITECT SHALL BEAR A FIRE-RETARDANT-TREATED STAMP INDICATION BY MEANS SATISFACTORY TO LOCAL AUTHORITIES. THE FOLLOWING FIRE RETARDANTS SHALL BE USED:
 A. FOR PLYWOOD & LUMBER: PYRO-GUARD FIRE RETARDANT (ICC ESR-1791, UL ER7002-01, LARR 25150), EQUIVALENT SUBSTITUTE MAY BE USED ONLY IF PRODUCT IS APPROVED BY THE S.E.O.R.

STRUCTURAL STEEL WELDING

1. ALL WELDING SHALL BE IN STRICT CONFORMANCE WITH THE LATEST EDITION OF AWS D1.1 AND THE 2019 CALIFORNIA BUILDING CODE.

2. ALL WELDS WITHIN MEMBERS DESIGNATED AS PART OF THE LATERAL FORCE RESISTING SYSTEM SHALL CONFORM TO THE DETAILING, MATERIALS, WORKMANSHIP, TESTING AND INSPECTION REQUIREMENTS PER AWS D1.8.

3. ALL WELDING ELECTRODES (FILLER METAL) SHALL BE E70XX (70 KSI), U.N.O., AND SHALL BE LOW HYDROGEN TYPES. FOR WELDING OF REBAR SEE "REINFORCEMENT" SECTION. FIELD WELDING OF FULL AND PARTIAL PENETRATION WELDS OF THE STEEL MOMENT FRAME CONNECTIONS BETWEEN MOMENT FRAME BEAMS AND MOMENT FRAME COLUMNS SHALL BE BY SHIELDED METAL ARC PROCESS USING LOW HYDROGEN ELECTRODES

4. ALL WELDS SHALL HAVE A FILLER METAL WITH CHARPY V-NOTCH TOUGHNESS OF 20 FT/LBS AVERAGE AT -20 DEGREES FAHRENHEIT AND 40 FT/LBS @ 70 DEGREES FAHRENHEIT. PROVIDE MANUFACTURER'S CERTIFICATION.

5. LENGTHS OF WELDS ARE EFFECTIVE LENGTHS AS SPECIFIED IN THE APPLICABLE CODE. WHERE LENGTH OF WELD IS NOT SHOWN IT SHALL BE FULL LENGTH OF JOINT. ALL BUTT WELDS SHALL BE FULL PENETRATION, UNLESS NOTED OTHERWISE.

6. CONTRACTOR SHALL PROVIDE FIELD WELDING AS REQUIRED FOR CONSTRUCTION, WHERE FIELD WELDING IS NOTED, THE DESIGNATION IS GIVEN AS A SUGGESTED CONSTRUCTION PROCEDURE ONLY.

7. ALL SHOP WELDS SHALL BE PERFORMED BY A LOS ANGELES CITY LICENSED FABRICATOR.

8. ALL WELDERS SHALL BE QUALIFIED FOR THE WORK THEY WILL BE DOING & SHALL HAVE CURRENT CERTIFICATIONS BY AWS & THE CITY OF LOS ANGELES.

9. FACES OF FILLET WELDS EXPOSED TO VIEW SHALL HAVE AS-WELDED SURFACES THAT ARE REASONABLY SMOOTH AND UNIFORM. NO FINISHING OR GRINDING SHALL BE REQUIRED, EXCEPT WHERE CLEARANCES OR FIT OF OTHER ITEMS MAY SO NECESSITATE.

10. ALL PARTIAL AND FULL PENETRATION WELDS WHICH ARE EXPOSED TO VIEW SHALL BE GROUND SMOOTH AND FLUSH WITH FINISH SURFACE OF STEEL. HOLES SHALL BE FILLED WITH WELD METAL OR BODY SOLDER AND SMOOTHED BY GRINDING OR FILING.

11. CLEAN GROOVE PREPARATION THERMAL CUTS BY GRINDING.

12. WELDS SHALL BE TERMINATED AT THE END OF A JOINT IN A MANNER THAT WILL ENSURE SOUND WELDS. WHENEVER NECESSARY THIS SHALL BE DONE BY USE OF EXTENSION BARS AND RUN OFF TABS.

13. ALL WELDED JOINTS SHALL BE PRE-QUALIFIED PER THE LATEST EDITION OF AWS D1.1. NON PRE- QUALIFIED WELDED JOINTS SHALL BE QUALIFIED BY TEST & PROCEDURE QUALIFICATION TEST RECORD INCLUDED PER THE LATEST EDITION OF AWS D1.1.

14. THE CONTRACTOR SHALL SUBMIT ALL WELDING PROCEDURE SPECIFICATIONS (WPS) TO BE USED ON THE PROJECT PER THE LATEST EDITION OF AWS D1.1. THE WPS SHALL INCLUDE ALL MANUFACTURER'S DATA SHEETS FOR ALL WELDING MATERIALS TO BE USED, THE DATA SHEETS SHALL DESCRIBE THE PRODUCTS, LIMITATIONS OF USE, RECOMMENDED WELDING PARAMETERS, AND STORAGE AND EXPOSURE REQUIREMENTS.

15. ELECTRODES SHALL BE RECEIVED AND STORED IN THE ORIGINAL, UNDAMAGED MANUFACTURER PACKAGING, UNTIL READY FOR USE. WHEN WELDING IS TO BE SUSPENDED FOR MORE THAN 8 HOURS, ELECTRODES SHALL BE REMOVED FROM THE MACHINES AND STORED IN AN ELECTRODE WIRE OVEN MAINTAINED AT A TEMPERATURE BETWEEN 250 DEGREES AND 550 DEGREES OR AS RECOMMENDED BY THE MANUFACTURER. ELECTRODES NOT CONSUMED WITHIN 24 HOURS OF ACCUMULATED EXPOSURE OUTSIDE CLOSED OR HEATED STORAGE SHALL NOT BE USED.

16. ALL BOTTOM FLANGE BACKING BARS SHALL BE REMOVED. FOLLOWING REMOVAL OF BACKING, THE ROOT PASS SHALL BE BACKGOUGED TO SOUND WELD METAL AND BACKWELDED UNTIL FLUSH OR WITH SLIGHT REINFORCEMENT. THE SURFACE SHALL BE GROUND SMOOTH TO A SURFACE ROUGHNESS NOT TO EXCEED 500 MICRINOCHES.

ADDITIONAL STRUCTURAL STEEL WELDING NOTES AT MOMENT FRAME CONNECTIONS

1. THE FOLLOWING PROVISIONS APPLY TO ALL WELDING AT BEAM-COLUMN MOMENT FRAME CONNECTIONS:

A. MINIMUM INITIAL PREHEAT TO BE 226 DEGREES F MEASURED +/- 3 INCHES FROM THE WELD JOINT. FOR JUMBO SECTIONS, MINIMUM PREHEAT TO BE 350 DEGREES F. MAXIMUM INTERPASS TEMPERATURE 600 DEGREES F SHALL BE MONITORED ON COLUMN FLANGE. MAINTAIN PREHEAT TEMPERATURE WHEN WELDING IS INTERRUPTED.

B. EACH FLANGE OF A MOMENT FRAME BEAM TO COLUMN CONNECTION SHALL BE WELDED IN ONE CONTINUOUS PROCESS WITHOUT COOLING BELOW THE PRE-HEAT TEMPERATURE.

C. USE STRINGER PASSES ONLY, NO WEAVING. LAY PASSES IN HORIZONTAL LAYERS. EACH PASS SHALL BE THOROUGHLY DESLAGGED AND CLEANED BY WIRE BRUSHING.

D. PEEN EACH PASS, EXCEPT FIRST AND LAST, IMMEDIATELY AFTER DESLAGGING AND CLEAN USING A POWER SLAGGING GUN WITH A BLUNT TOOL. KEEP GUN AT RIGHT ANGLES TO WELD AND MAKE 4-5 PASSES THE LENGTH OF THE WELD WITH NO NICKS, CUTS OR DEEP INDENTATIONS BEING EVIDENT.

E. BOTH BEAM FLANGES SHOULD BE WELDED PRIOR TO ANY SUPPLEMENTAL WELDING TO THE SHEAR TAB. WELD RUN OFF TABS SHALL BE REMOVED AND GROUND FLUSH TO THE BEAM FLANGE WITH MINIMAL DISTURBANCE.

F. RUN OFF TABS USED AT BEAM FLANGE CONNECTION SHALL BE REMOVED AND THE ENDS OF THE WELDS SHALL BE MADE SMOOTH & FLUSH WITH THE EDGE OF ABUTTING PARTS PER 3.12.3 OF AWS D1.1-96. NO WELD DAMS ARE ALLOWED.

G. AFTER FULL PENETRATION WELDING, THE BOTTOM BACKING BAR IS TO BE REMOVED, THE WELD ROOT T&B SHALL BE INSPECTED AND TESTED FOR IMPERFECTIONS, WHICH IF FOUND, ARE TO BE REMOVED BY BACKGOUGING TO SOUND MATERIAL & CLEANED BY GRINDING IF BACKGOUGED BY AIR ARC. THE BACKGOUGED AREA IS TO BE WELDED. A FILLET WELD SHALL BE APPLIED TO REINFORCE THE JOINT. THE SIZE OF THE REINFORCING FILLET WELD SHALL BE EQUAL TO 1/4 THE PLATE THICKNESS, BUT NOT LESS THAN 5/16", NOR MORE THAN 3/8" PER NOTE J OF FIGURE 2.4 OF AWS D1.1-96.

2. THE FOLLOWING PROVISIONS APPLY TO WELDING BEAM-COLUMN MOMENT FRAME BOTTOM FLANGE CONNECTIONS:

A. THE ROOT PASS SHALL BEGIN IN THE CENTER OF THE JOINT, IN THE AREA OF THE WELD ACCESS HOLE, REACHING PAST THE BEAM WEB THROUGH THE COPE HOLE WHEN NEAR END OF WELDING. AFTER THE ARC IS INITIATED, TRAVEL SHALL PROGRESS TOWARD THE EDGE OF BEAM BOTH FLANGES, AND THE WELD SHALL BE TERMINATED ON THE WELD RUN OFF TAB.

B. THE HALF LENGTH ROOT PASS SHALL BE THOROUGHLY CLEANED.

C. THE START OF THE WELD IN THE WELD ACCESS HOLE AREA SHALL BE VISUALLY INSPECTED TO ENSURE FUSION, SOUNDNESS, FREE FROM SLAG INCLUSIONS AND EXCESSIVE POROSITY. THE RESULTING BEAD PROFILE SHALL BE SUITABLE FOR OBTAINING GOOD FUSION BY THE SUBSEQUENT PASS TO BE INITIATED ON THE OPPOSITE SIDE OF THE BEAM WEB. IF THE PROFILE IS NOT CONDUCIVE TO GOOD FUSION, THE START OF THE FIRST ROOT PASS SHALL BE GROUND, GOUGED, CHIPPED, OR OTHERWISE PREPARED TO ENSURE ADEQUATE FUSION.

D. THE SECOND HALF OF THE WELD JOINT SHALL HAVE THE ROOT PASS APPLIED BEFORE ANY OTHER WELD PASSES ARE PERFORMED. THE ARC SHALL BE INITIATED IN THE AREA OF THE START OF THE FIRST ROOT PASS, AND TRAVEL SHALL PROGRESS TO THE END OF THE JOINT, TERMINATING ON THE WELD TAB.

E. EACH WELD LAYER SHALL BE COMPLETED ON BOTH SIDES OF THE JOINT BEFORE A NEW LAYER IS DEPOSITED.

STRUCTURAL STEEL

1. FABRICATION AND ERECTION OF STRUCTURAL STEEL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF AISC SPECIFICATIONS FOR STRUCTURAL STEEL BUILDINGS, AND THE LATEST EDITION OF AISC SEISMIC PROVISIONS FOR STRUCTURAL STEEL BUILDINGS. WHERE THE STRUCTURAL STEEL IS EXPOSED, FABRICATION AND ERECTION SHALL ALSO BE IN ACCORDANCE WITH AISC CODE OF STANDARD PRACTICE FOR ARCHITECTURALLY EXPOSED STRUCTURAL STEEL.

2. STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING ASTM DESIGNATION:

a. ALL WIDE FLANGE SHAPES	A992, GRADE 50
b. STEEL ANGLES	A36
c. ALL PLATES	A36
WHERE GRADE 50 IS SPECIFIED PROVIDE	A572
d. HSS (RECTANGULAR AND SQUARE)	A500, GRADE C
e. HSS (ROUND)	A500, GRADE B
f. PIPE	A53, GRADE B
g. CHANNELS (C AND MC SECTIONS)	A36
h. ALL OTHER STRUCTURAL SECTIONS	A572, GRADE 50

3. ALL STEEL SHALL BE PROVIDED BY A CITY OF LOS ANGELES LICENSED FABRICATOR.

4. WHEN FABRICATING BEAMS PLACE NATURAL CAMBER UP.

5. ALL FLANGE STIFFENER PLATES SHALL BE ORIENTED SO THAT ROLLING DIRECTION OF PLATE IS PARALLEL WITH DIRECTION OF PRINCIPAL STRESS.

6. SPLICE MEMBERS ONLY WHERE INDICATED.

7. MECHANICAL FASTENING AND THREADED PARTS

A. BOLTS AND THREADED PARTS SHALL CONFORM TO THE FOLLOWING ASTM DESIGNATION:

a. HIGH STRENGTH BOLTS	F1325, GR A325X
b. HEADED AND HOOKED ANCHOR RODS U.N.O.	F1554, GR36
c. ALL THREADED RODS U.N.O.	F1554, GR36
d. TIE RODS	F1554, GR36
e. ANCHORS AT NON-MOMENT FRAME COLUMN BASE P.L.	F1554, GR36
f. ANCHORS AT MOMENT FRAME COLUMN BASE P.L.	F1554, GR105
g. NUTS FOR BOLTS AND MACHINE BOLTS	A563
h. HARDENED WASHERS	F436
i. UNHARDENED WASHERS	F844
j. PLAIN WASHERS	ANSI B18.22.1
k. BEVELED WASHERS	ANSI B18.23.1

B. HIGH STRENGTH BOLTS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF "AISC SPECIFICATIONS FOR STRUCTURAL JOINTS USING HIGH STRENGTH BOLTS" BY RCSC. HIGH STRENGTH BOLTS SHALL BE BEARING TYPE WITH THREADS EXCLUDED FROM THE FROM THE SHEAR PLANES (I.E. A325-X).

C. ALL JOINTS U.N.O. SHALL BE BE SNUG-TIGHTENED JOINTS. JOINTS AT ALL LFRS ELEMENTS SHALL BE PRE-TENSIONED W/ CLASS A FAYING SURFACE.

D. ALL BOLTED CONNECTIONS SHALL HAVE A MINIMUM OF TWO 3/4"Ø BOLTS.
 E. ALL HOLES SHALL BE STANDARD DIAMETER.

F. PROVIDE BEVELED WASHERS ON ALL CONNECTIONS WHERE SLOPE SURFACE EXCEEDS 1:20.
 G. WELDING OF FASTENERS OR THREADED PARTS SHALL BE ALLOWED ONLY WHERE SPECIFICALLY SHOWN ON THE STRUCTURAL DRAWINGS. IN SUCH INSTANCES, WELDABLE FASTENERS OR THREADED PARTS SHALL BE PROVIDED AND SHALL CONFORM TO SUPPLEMENTARY REQUIREMENT S1 WHENEVER SUCH REQUIREMENT IS AVAILABLE FOR A GIVEN ASTM FASTENER SPECIFICATION. FOR WELDING OF REBAR SEE "REINFORCEMENT" SECTION

8. AFTER FABRICATION, ALL STEEL SHALL BE CLEANED FREE OF RUST, LOOSE MILL SCALE AND OIL.

9. PROVIDE FILLS AT SPLICES OF PARTS HAVING MORE THAN 1/8" DIFFERENCE IN THICKNESS.

10. HEADED ANCHOR STUDS AND THREADED STUDS SHALL BE NELSON GRANULAR FLUX-FILLED, AND SHALL BE MADE FROM COLD FINISHED LOW CARBON STEEL, CONFORMING TO A-108, GRADES 1015 - 1020 WITH A MINIMUM TENSILE STRENGTH OF 60,000 PSI. (COLA RR 2729). STUD WELDING INSPECTION AND TESTING SHALL CONFORM TO AWS D1.1.

11. DEFORMED BAR ANCHOR STUDS SHALL BE NELSON D2L GRANULAR FLUX-FILLED REBAR STUDS OR APPROVED EQUAL, AND SHALL BE MADE OF LOW CARBON COLD ROLLED STEEL WITH A MINIMUM TENSILE STRENGTH OF 80,000 PSI. STUD WELDING INSPECTION AND TESTING SHALL CONFORM TO AWS D1.1.

12. HOT DIP GALVANIZING IN ACCORDANCE WITH ASTM A123 AND ASTM A153 STRUCTURAL STEEL AND FASTENERS THAT ARE PERMANENTLY EXPOSED TO THE WEATHER. REPAIR GALVANIZING AFTER WELDING IN ACCORDANCE WITH ASTM A780.

13. THE FULL DESIGN AND LOAD CARRYING CAPACITY OF THE STEELWORK SHALL NOT BE IMPAIRED DUE TO FABRICATION, SHIPMENT, OR ERECTION PROCEDURES, THROUGHOUT THE COMPLETE PROCESS. THE STABILITY OF ALL INDIVIDUAL MEMBERS AND ASSEMBLIES SHALL BE MAINTAINED.

14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF ALL ERECTION PROCEDURES AND SEQUENCES WITH RELATION TO TEMPERATURE DIFFERENTIALS AND WELD SHRINKAGE.

15. ALL ADDITIONAL STEEL REQUIRED FOR ERECTION PURPOSES SHALL BE PROVIDED AT NO ADDITIONAL COST AND SHALL BE REMOVED UNLESS APPROVED BY THE OWNER'S REPRESENTATIVE IN WRITING.

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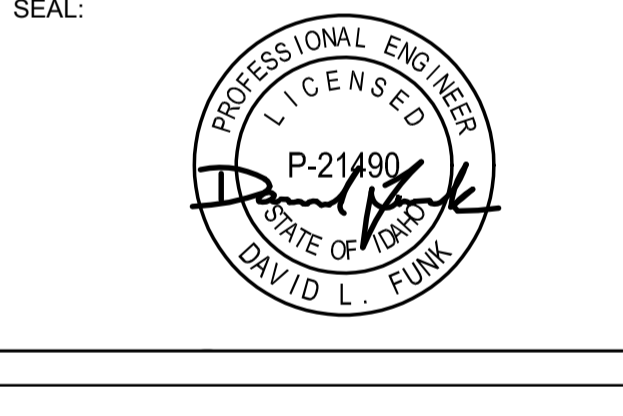
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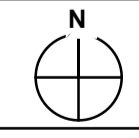
DATE: 02/24/23
 NO: 2023
 PC SUBMITTAL ISSUE

PROJECT:
BADGER RESIDENCE
 121 BADGER LANE
 KETCHUM, ID 83340

PROJECT NUMBER:
#2201

DRAWING TITLE:
GENERAL NOTES

DRAWING NUMBER:
S-003

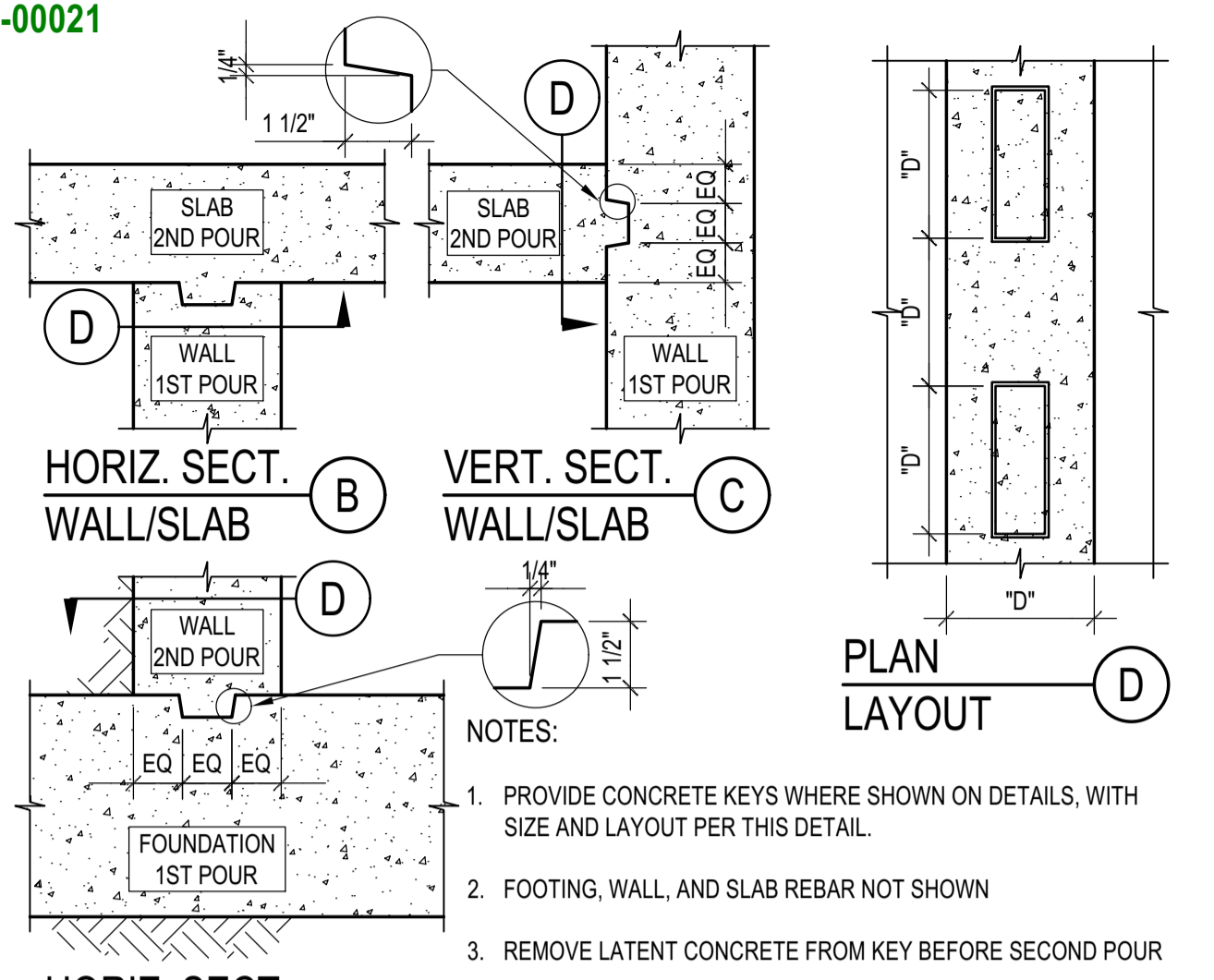




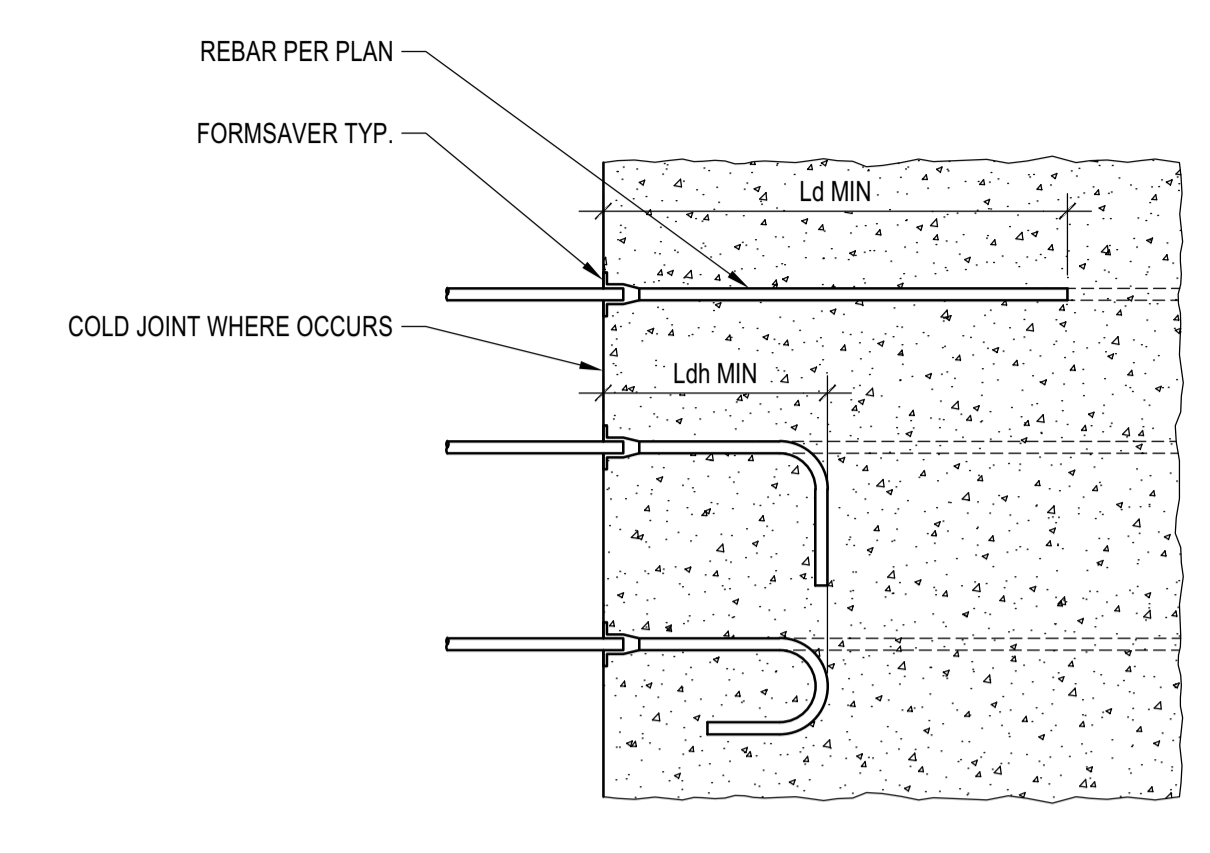
Approved
These plans have been found to be in substantial compliance with the adopted building codes. These documents are approved contingent on compliance with the mark-ups and notes applied. This is not approval of any code, ordinance, statute or regulation. Corrections will be required for code violations found during the inspection process.

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06/26/23

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KEY IN CONCRETE
SCALE: N.T.S.



NOTES:
1. FORMSAVERS MAY BE PROVIDED AT COLD JOINT. IF NOT NOTED ON PLAN OR ELSEWHERE IN THE DRAWING SET, OBTAIN APPROVAL FROM SEOR.
2. SELECT FORMSAVERS THAT CAN DEVELOP REBAR STRENGTH.

FORMSAVER
SCALE: N.T.S.

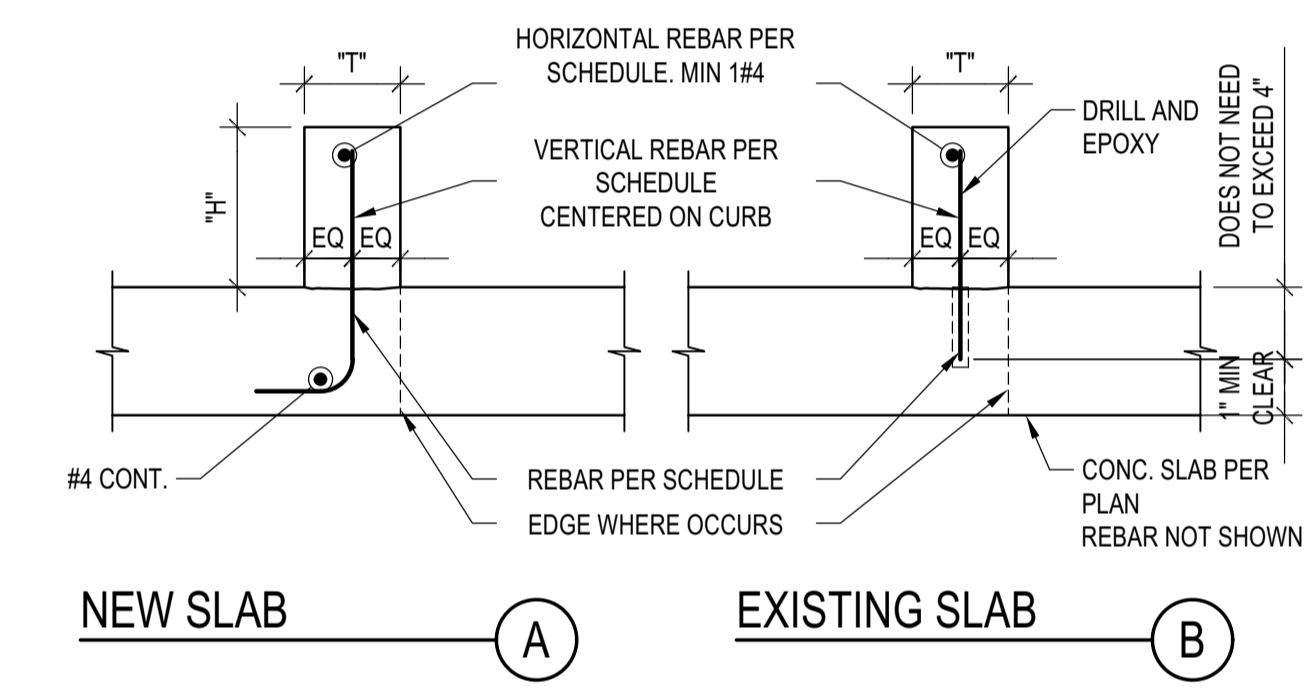
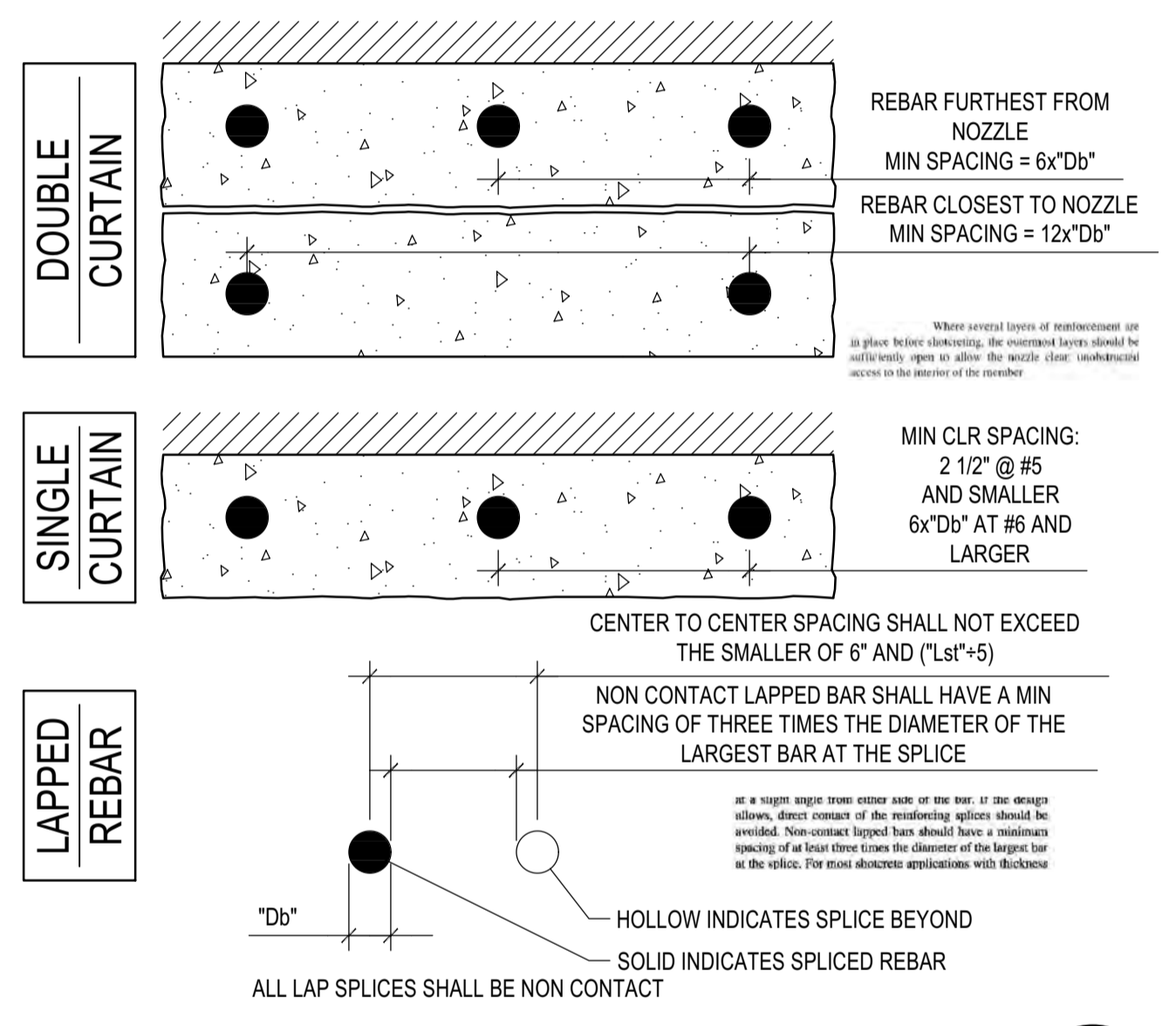


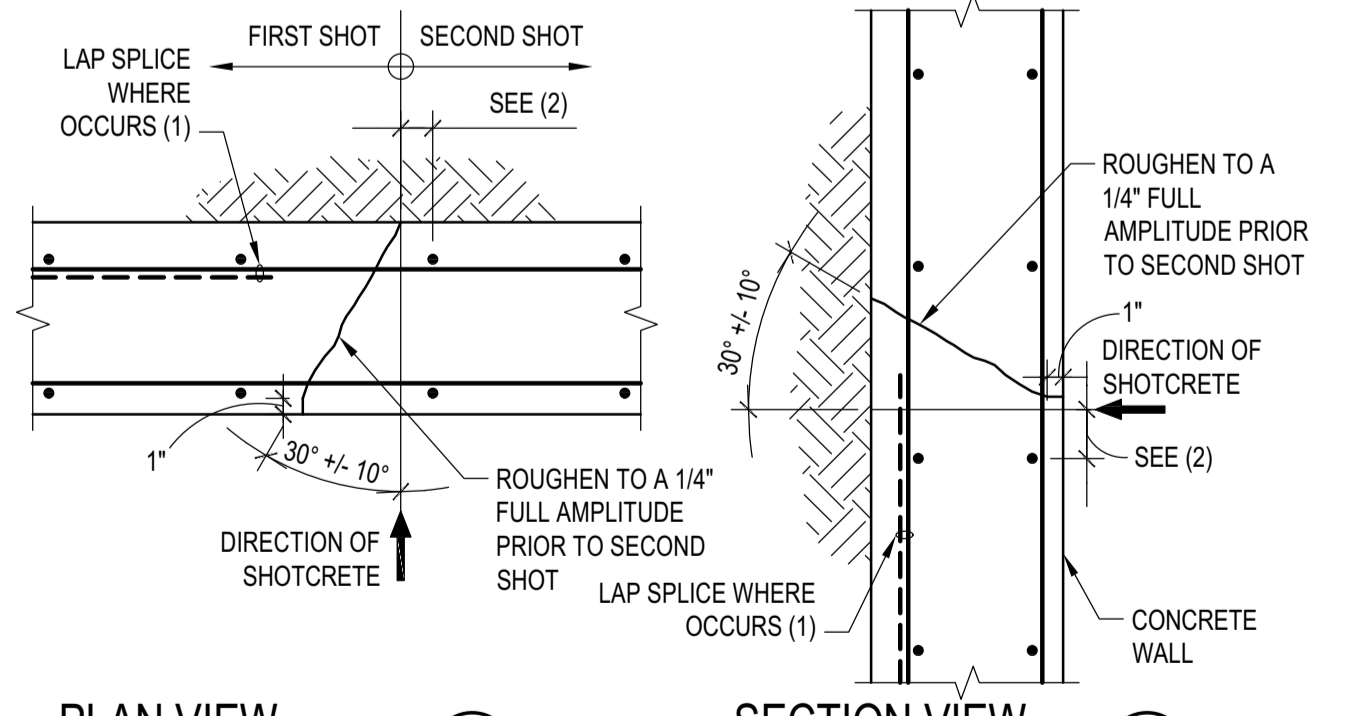
Table with 4 columns: CURB SIZE AND REINF. SCHEDULE, 'H', 'T', VERT., HOR.

NOTES:
1. FOR CURB LOCATION, 'T' AND 'H' DIMENSIONS S.A.D. FOR SIZE LIMITATION AND REINFORCEMENT SEE SCHEDULE.
2. AT CONTRACTOR DISCRETION, CURB MAY BE POURED MONOLITHICALLY WITH SLAB. WHEN POURED SUBSEQUENTLY, OR AT (E) SLAB, ROUGHEN SLAB SURFACE PRIOR TO POUR CURB.
3. EXPANSIVE OR HYDROPHILIC WATERSTOPS AT CURBS ARE NOT ALLOWED

CONCRETE CURB DETAIL
SCALE: N.T.S.

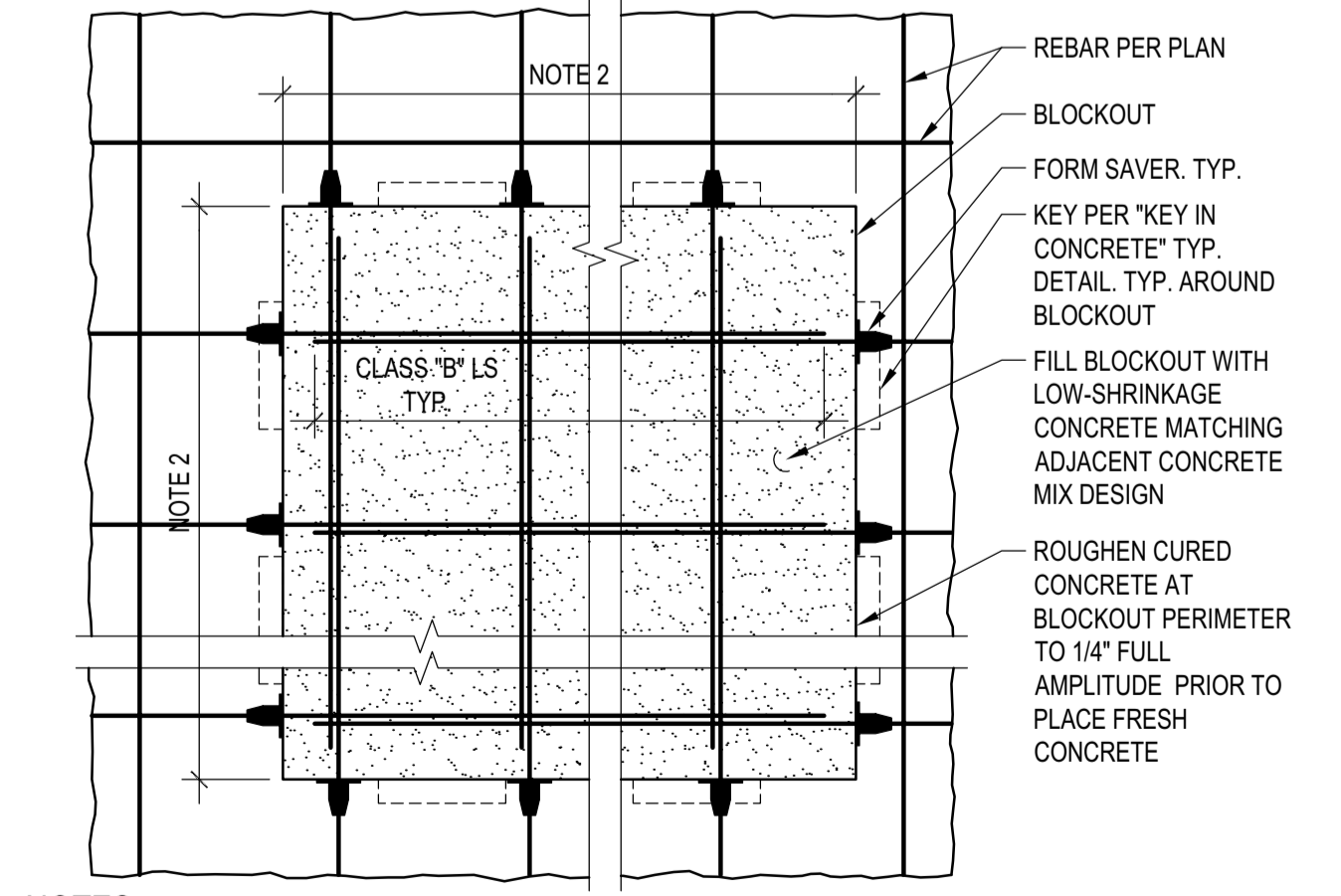


MIN BAR SPACING IN SHOTCRETE
SCALE: N.T.S.



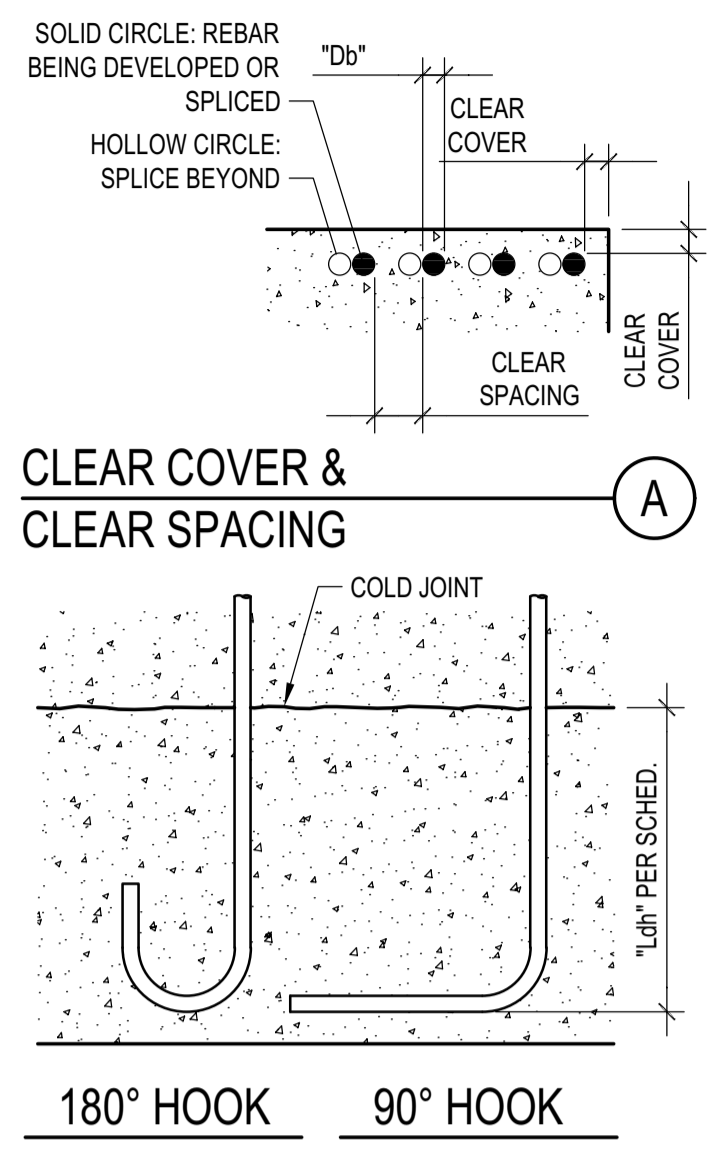
SHOTCRETE WALL - CONSTRUCTION JOINT
SCALE: N.T.S.

NOTES:
1. CONSTRUCTION JOINTS SHALL NOT BE PLACED ACROSS LAPPING REBAR
2. REBAR PARALLEL TO JOINT SHALL BE A MIN OF 2" AWAY FROM JOINT
3. INCLUDE VERTICAL CONSTRUCTION JOINT LOCATIONS AS PART OF SHOP DRAWINGS

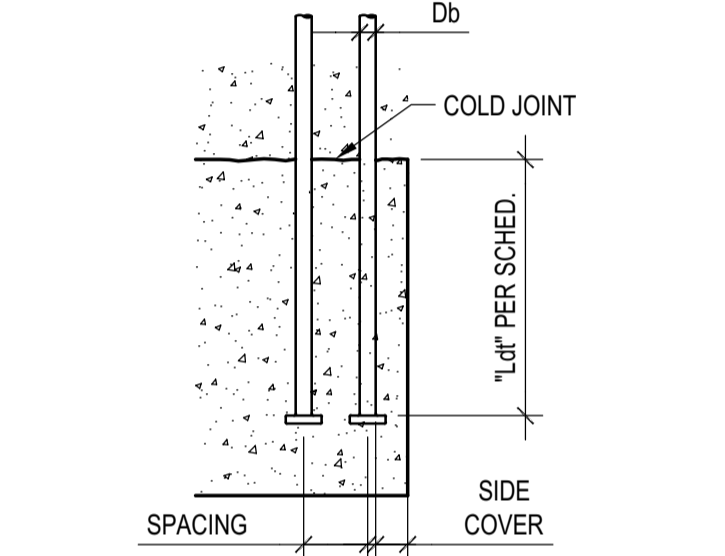


NOTES:
1. PROVIDE BLOCKOUTS WHERE NOTED ON PLANS OR OBTAIN APPROVAL IN WRITING FROM SEOR.
2. UNLESS SPECIFIED ELSEWHERE IN THE DRAWING SET, SIZE OF BLOCKOUTS SHALL BE THE LEAST REQUIRED FOR CONSTRUCTIBILITY REQUIREMENTS AND DEVELOPMENT BAR LENGTH.
3. AT GC DISCRETION AND AS COST SAVING SOLUTION, FORMSAVERS MAY BE OMITTED IF REBAR ARE CONTINUOUS THRU BLOCKOUT

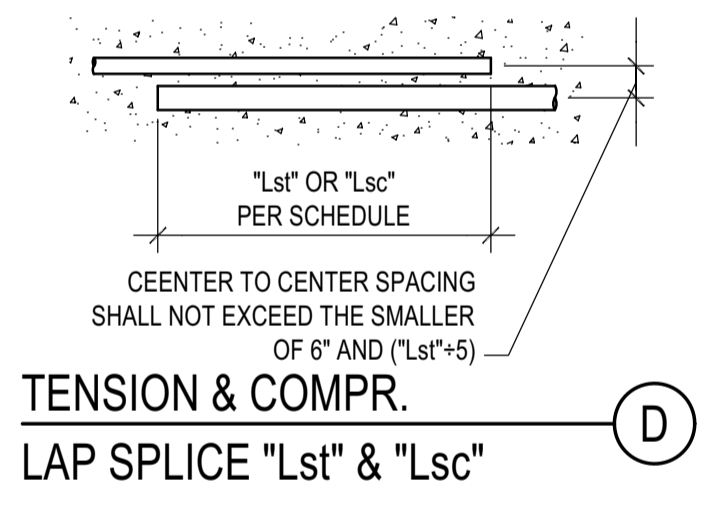
GENERIC BLOCKOUT
SCALE: N.T.S.



DEVELOPMENT OF STANDARD HOOK 'Ldh'



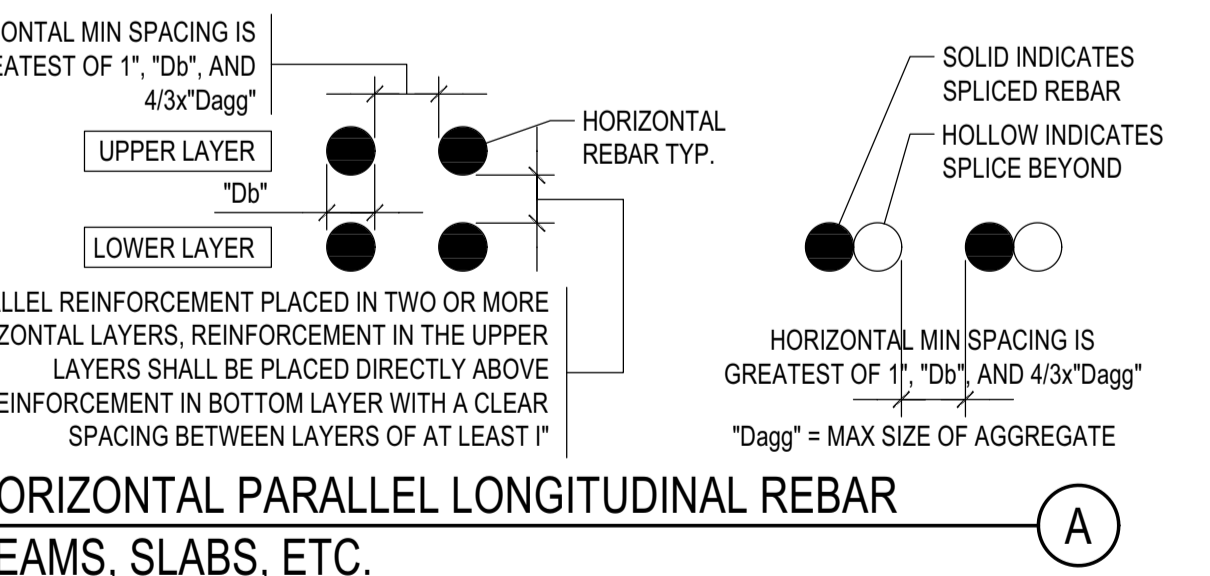
DEVELOPMENT OF HEADED BAR 'Ldt'



DEVELOPMENT AND SPLICE OF REBAR IN CONCRETE
SCALE: N.T.S.

Table: DEVELOPMENT OF LONGITUDINAL GR60 REBAR (IN) and LAP SPLICE OF LONGITUDINAL GR60 REBAR (IN). Includes columns for Tension, Compression, and Development Length.

NOTES:
1. REBAR SHALL BE ALWAYS DEVELOPED ACROSS COLD JOINTS. SPLICES SHALL OCCUR ONLY WHERE SHOWN ON DETAILS. UNLESS OTHERWISE NOTED ELSEWHERE IN THE DRAWING SET, THE FOLLOWING SHALL APPLY:
A. MIN DEVELOPMENT LENGTH ACROSS A COLD JOINT OF STRAIGHT REBAR SHALL BE 'Ldt'
B. MIN DEVELOPMENT LENGTH ACROSS A COLD JOINT OF HOOKED REBAR SHALL BE 'Ldh'
C. LAP SPLICE SHALL BE CLASS B TENSION LAP SPLICE 'Lst'
2. ALL THE DEVELOPMENT LENGTHS AND LAP SPLICES SHALL BE MODIFIED AS FOLLOWS:
A. CASTING POSITION: IF MORE THAN 12 IN OF FRESH CONCRETE IS PLACED BELOW HORIZONTAL TOP REBAR, SCHEDULED VALUES OF 'Ldt' AND 'Lst' SHALL BE MULTIPLIED BY 1.3.
B. LIGHT WEIGHT CONCRETE: IF LIGHT WEIGHT CONCRETE IS USED, ALL THE DEVELOPMENT LENGTHS AND TENSION LAP SPLICE SCHEDULED VALUES SHALL BE MULTIPLIED BY 1.33. HEADED BARS ARE NOT ALLOWED IN LIGHT WEIGHT CONCRETE. COMPRESSION LAP SPLICE 'Lsc' DO NOT NEED TO BE INCREASED
C. GRADE OF STEEL: EXCEPT 'Lsc', SCHEDULED LENGTHS APPLY TO REBAR WITH GRADE 60 KSI. WHERE REBAR WITH HIGHER STRENGTH IS SPECIFIED OR APPROVED AS A SUBSTITUTION, THE SPLICES PER TABLE ABOVE SHALL BE INCREASED PROPORTIONALLY TO THE HIGHER STRENGTH. FOR EXAMPLE, FOR GRADE 80, THE LENGTHS SHALL BE MULTIPLIED BY 80/60 = 1.33. HEADED BARS WITH GRADE GREATER THAN 60 KSI SHALL NOT BE PERMITTED UNLESS OTHERWISE SHOWN ON RESEARCH REPORT OF SELECTED HEADED BAR.
D. EPOXY COATING: SCHEDULED LENGTHS APPLY TO UNCOATED OR ZINC COATED (GALVANIZED) REBAR. IF EPOXY COATING IS SPECIFIED, SCHEDULED VALUED SHALL BE MULTIPLIED BY 1.2 FOR 'Ldh', 'Ldt' AND BY 1.5 FOR 'Ld', 'Lst'. Ldc AND Lsc DO NOT NEED TO BE INCREASED.
E. CONFINEMENT: SCHEDULED VALUES OF 'Ldt' AND 'Lst' SHALL BE MULTIPLIED BY 1.5 FOR:
• MEMBERS WITH TIES (SUCH AS WALLS, SLAB, FOOTINGS, ETC.) WITH LONGITUDINAL REBAR WITH 'CLEAR COVER' LESS THAN 'Db' OR WITH 'CLEAR SPACING' LESS THAN 'Db'
• MEMBERS WITHOUT TIES (SUCH AS COLUMNS, PILES, BEAMS, ETC.) WITH LONGITUDINAL REBAR WITH 'CLEAR SPACING' LESS THAN 2 x 'Db'
SCHEDULED VALUES OF 'Lsc' SHALL BE MULTIPLIED BY 1.33 WHEN OCCURRING AT WALLS
3. HEADED DEFORMED BARS SHALL BE PERMITTED IF ALL FOLLOWING CONDITIONS ARE MET (SEE INSET DETAIL):
• PROVIDE HRC555 HEADED DEFORMED BAR (RESEARCH REPORT ER 177) OR APPROVED EQUIVALENT
• SIDE COVER IS AT LEAST 2xDb
• REBAR SPACING IS AT LEAST 4xDb
4. WHERE REBAR OF DIFFERENT SIZE ARE LAP SPICED, FOLLOWING SHALL APPLY:
A. LAP SPLICE SHALL BE THE GREATER OF Ld OF LARGER BAR AND Lst OF SMALLER BAR (TENSION)
B. LAP SPLICE SHALL BE THE GREATER OF Ldc OF LARGER BAR AND Lsc OF SMALLER BAR (COMPRESSION).
C. TENSION SHALL BE ASSUMED UNLESS NOTED OTHERWISE ELSEWHERE IN THIS SET.
5. FOR LAP OF BUNDLED REBAR CONTACT E.O.R.
6. LAP SPLICE FOR #14 AND #18 ARE NOT ALLOWED. PROVIDE MECHANICAL OR WELDED SPLICES DEVELOPING 1.25Fy FOR THESE SPLICES. SUBMIT SELECTED SPLICE SYSTEM TO E.O.R. FOR APPROVAL.
7. REDUCED CLASS B LAP SPLICE SHALL APPLY AT COLUMNS AND SHEAR WALL BOUNDARY MEMBERS WHERE SPECIFICALLY IDENTIFIED ON DRAWINGS



HORIZONTAL PARALLEL LONGITUDINAL REBAR BEAMS, SLABS, ETC.



VERTICAL PARALLEL LONGITUDINAL REBAR COLUMNS, WALLS, BOUNDARY ELEMENTS, ETC.

MIN BAR SPACING IN CIP CONC.
SCALE: N.T.S.

Table: STANDARD HOOK GEOMETRY FOR LONGITUDINAL REBAR AND STANDARD HOOK GEOMETRY FOR STIRRUPS, TIES, AND HOOKS. Includes columns for Bar Size, Min Inside Bend Diameter, Straight Extension, and Type of Standard Hook.

STANDARD HOOKS
SCALE: N.T.S.

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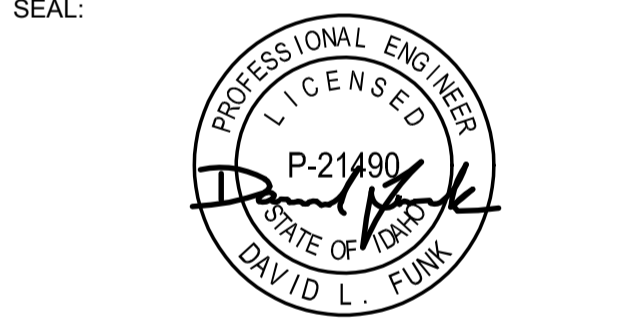


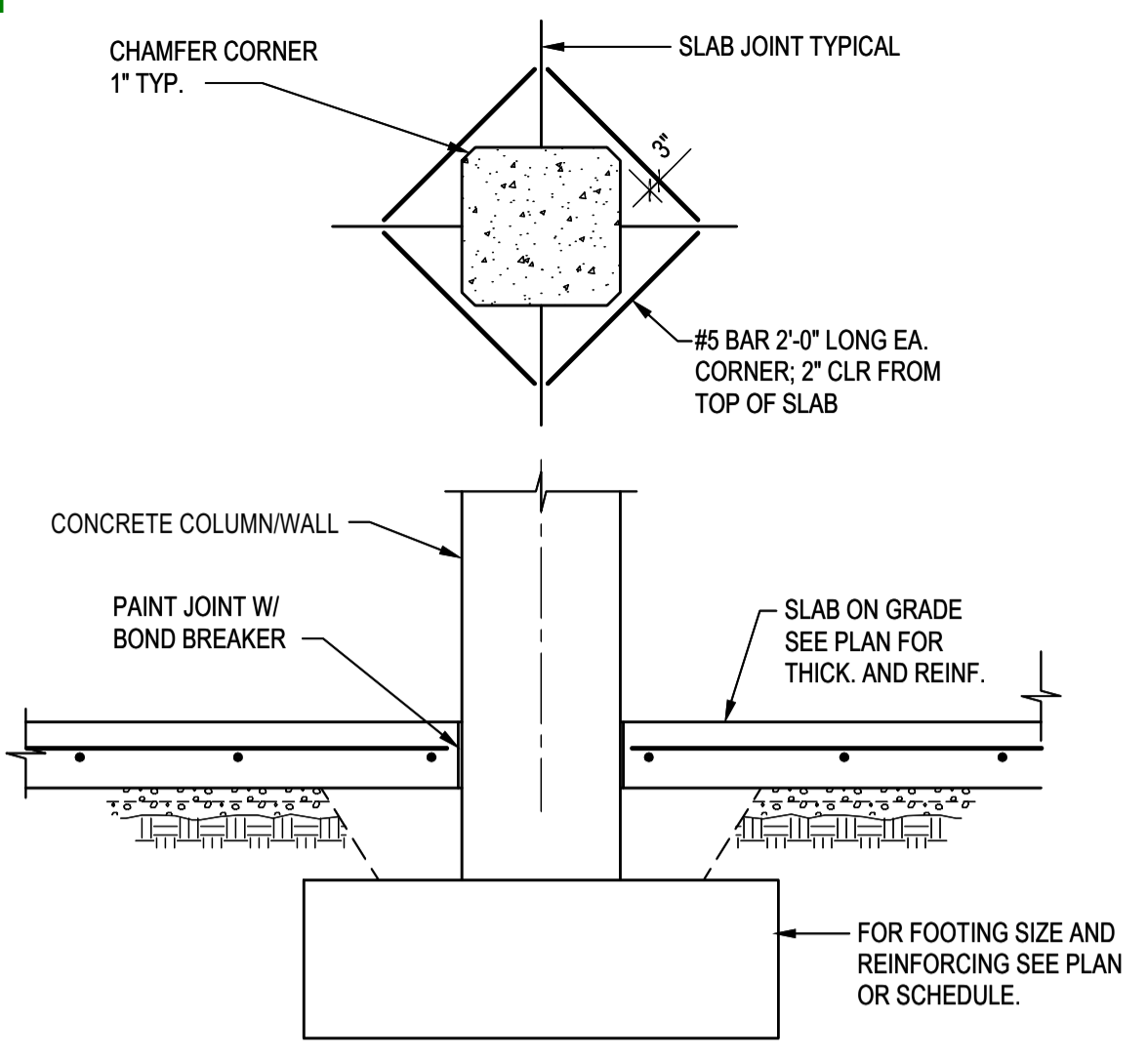
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PROJECT:
BADGER RESIDENCE
121 BADGER LANE
KETCHUM, ID 83340

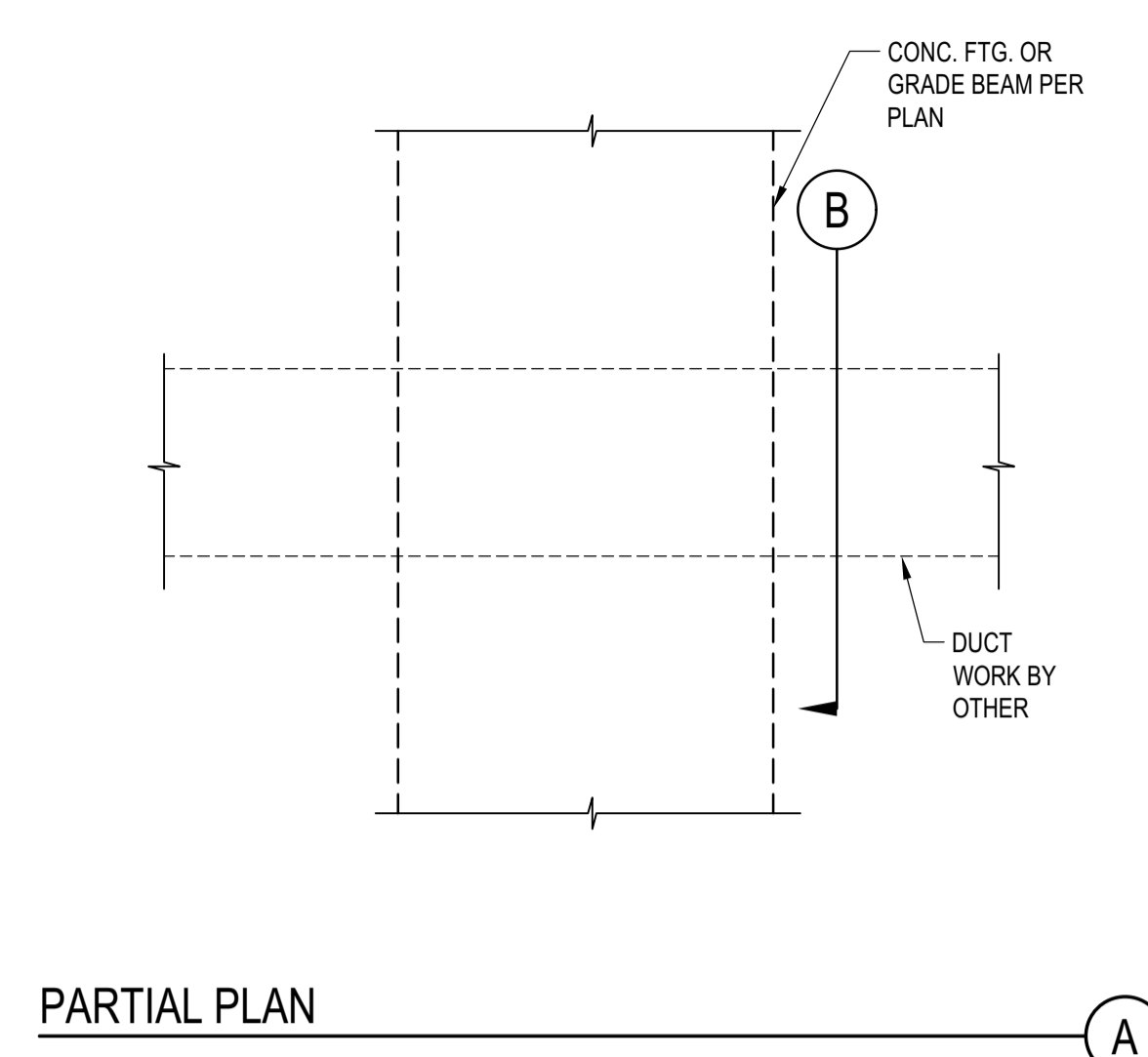
PROJECT NUMBER
#2201

DRAWING TITLE:
TYPICAL DETAILS - CONCRETE

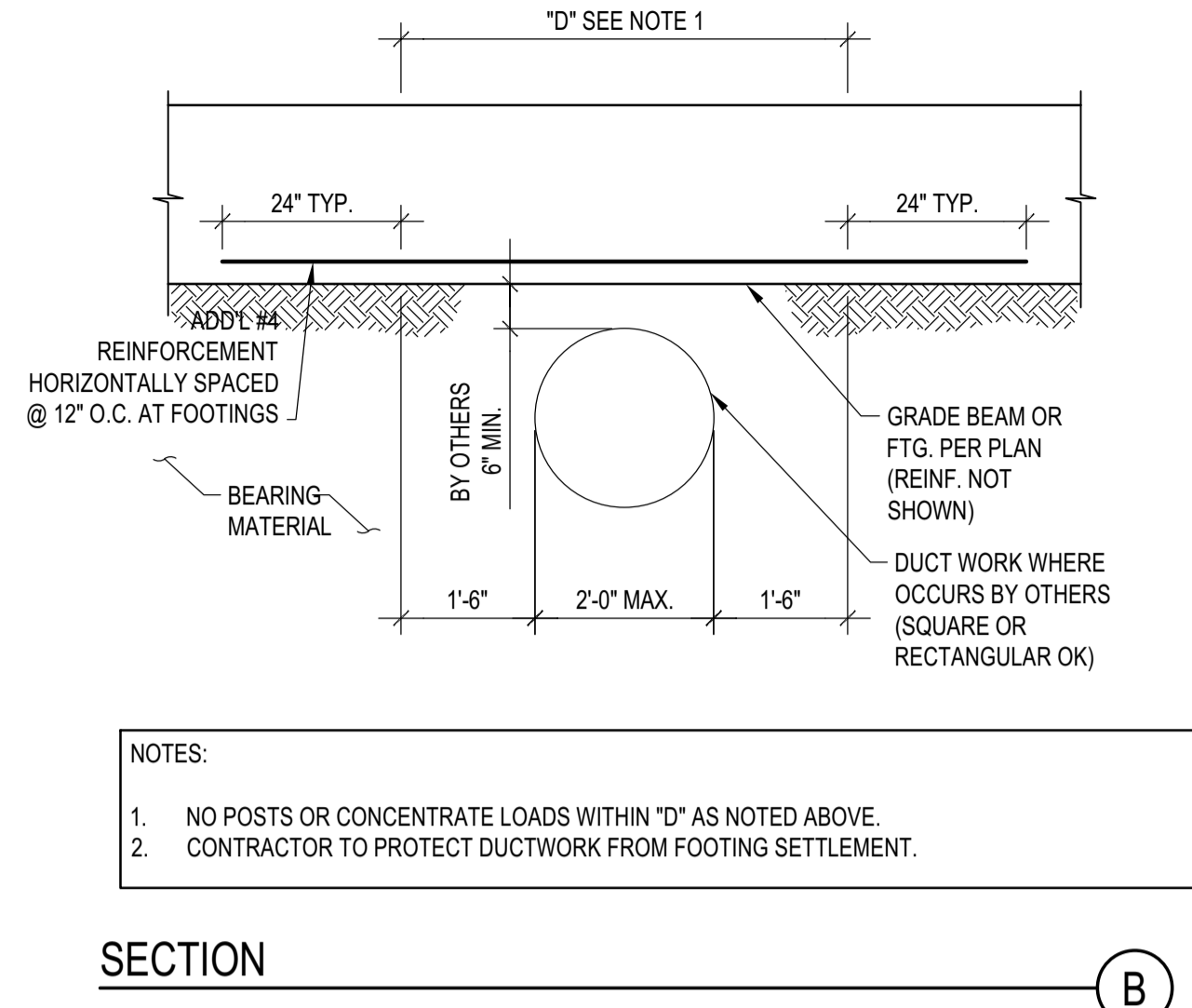
DRAWING NUMBER:
S-011



S.O.G. @ CONCRETE COLUMN
 SCALE: N.T.S.

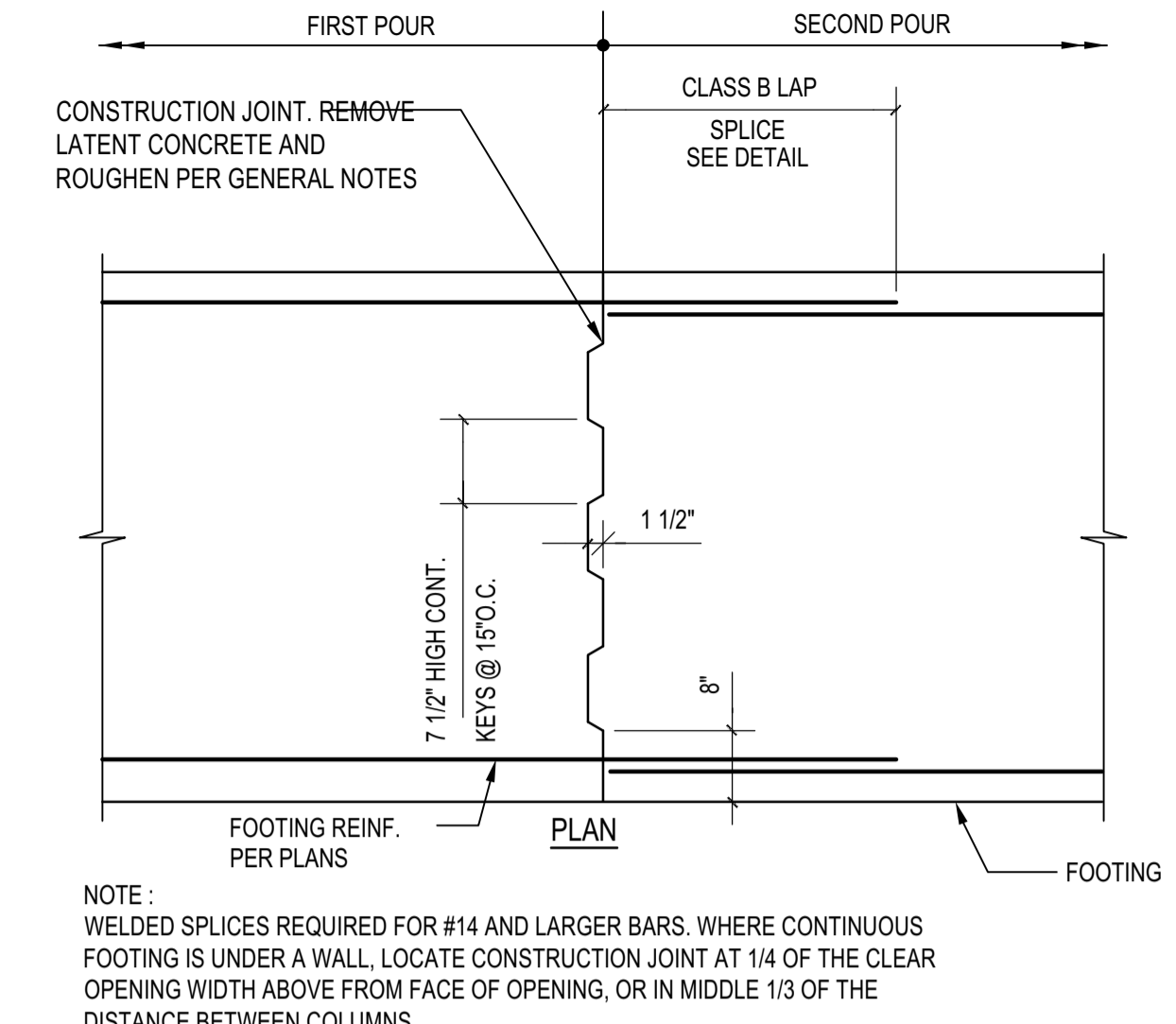


TYP. DUCT BELOW FOOTING OR GRADE BEAM
 SCALE: N.T.S.



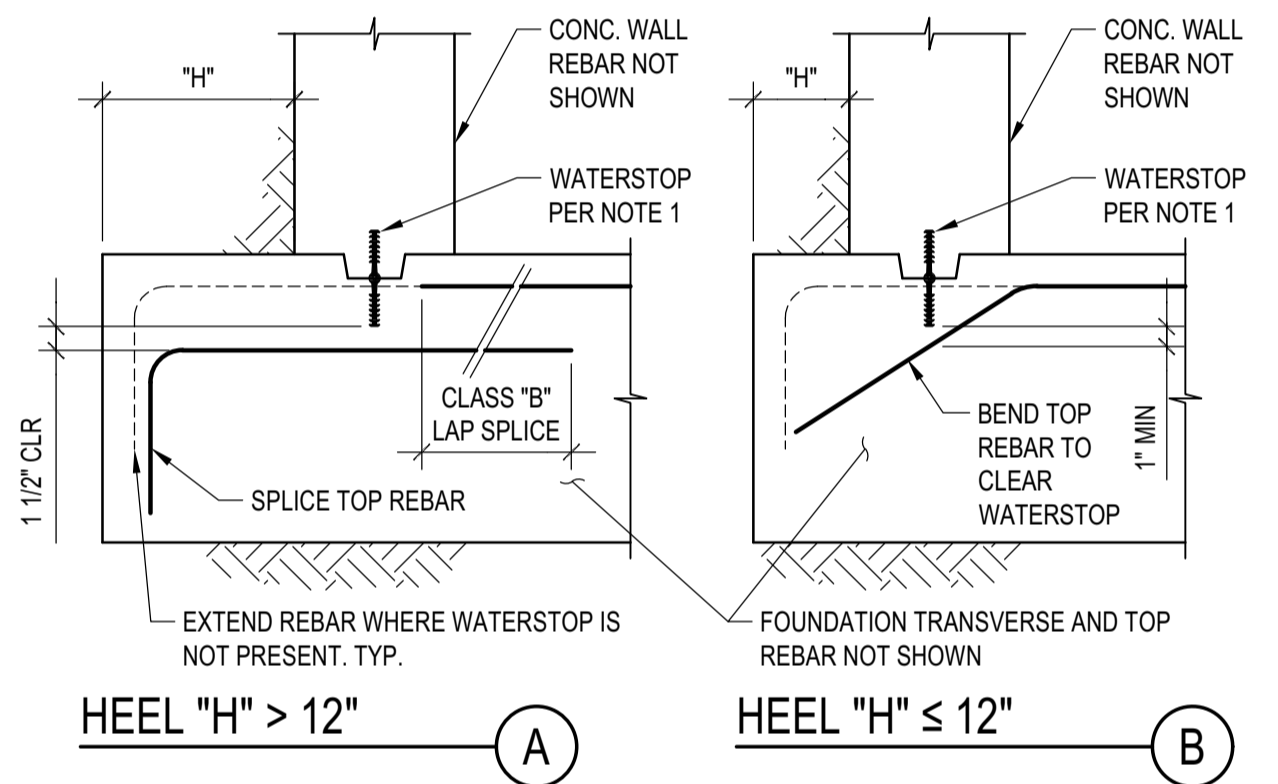
- NOTES:
 1. NO POSTS OR CONCENTRATE LOADS WITHIN "D" AS NOTED ABOVE.
 2. CONTRACTOR TO PROTECT DUCTWORK FROM FOOTING SETTLEMENT.

SECTION
 SCALE: N.T.S.



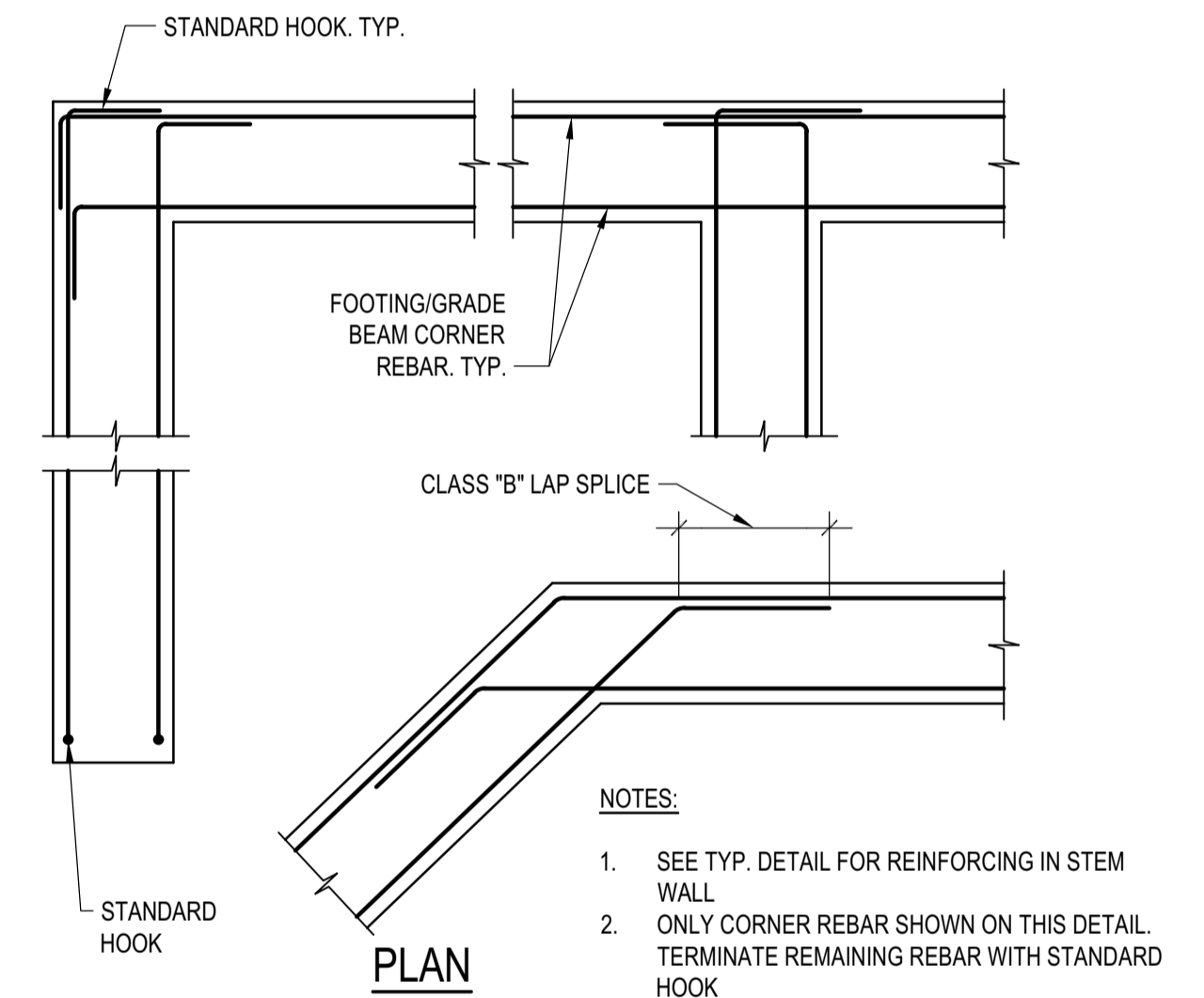
- NOTE:
 WELDED SPLICES REQUIRED FOR #14 AND LARGER BARS, WHERE CONTINUOUS FOOTING IS UNDER A WALL, LOCATE CONSTRUCTION JOINT AT 1/4 OF THE CLEAR OPENING WIDTH ABOVE FROM FACE OF OPENING, OR IN MIDDLE 1/3 OF THE DISTANCE BETWEEN COLUMNS.

CONT. FTG. CONSTRUCTION JOINT
 SCALE: N.T.S.



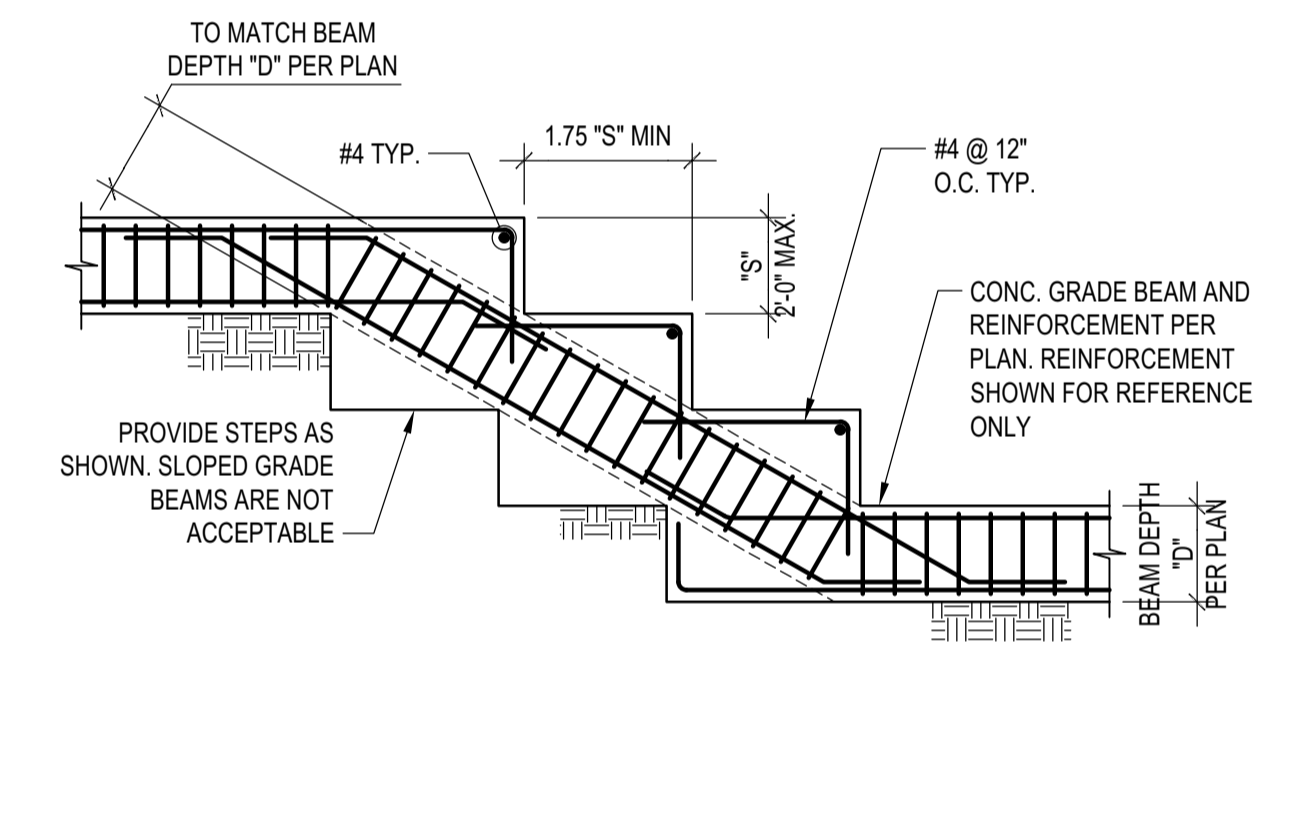
- NOTES:
 1. WATERSTOPS ARE SPECIFIED BY ARCHITECT, WATERPROOFING CONSULTANT, CONTRACTOR, ECT. WATERSTOPS DO NOT FALL WITHIN LFA SCOPE.
 2. WHERE WATERSTOPS ARE SPECIFIED, G.C. SHALL COORDINATE REBAR CONFIGURATION WITH WATERSTOPS AS SHOWN ON THIS DETAIL.
 3. OBTAIN APPROVAL OF E.O.R. FOR OTHER REBAR/WATERSTOPS CONFIGURATIONS

REBAR DETAIL AT WATERSTOP
 SCALE: N.T.S.

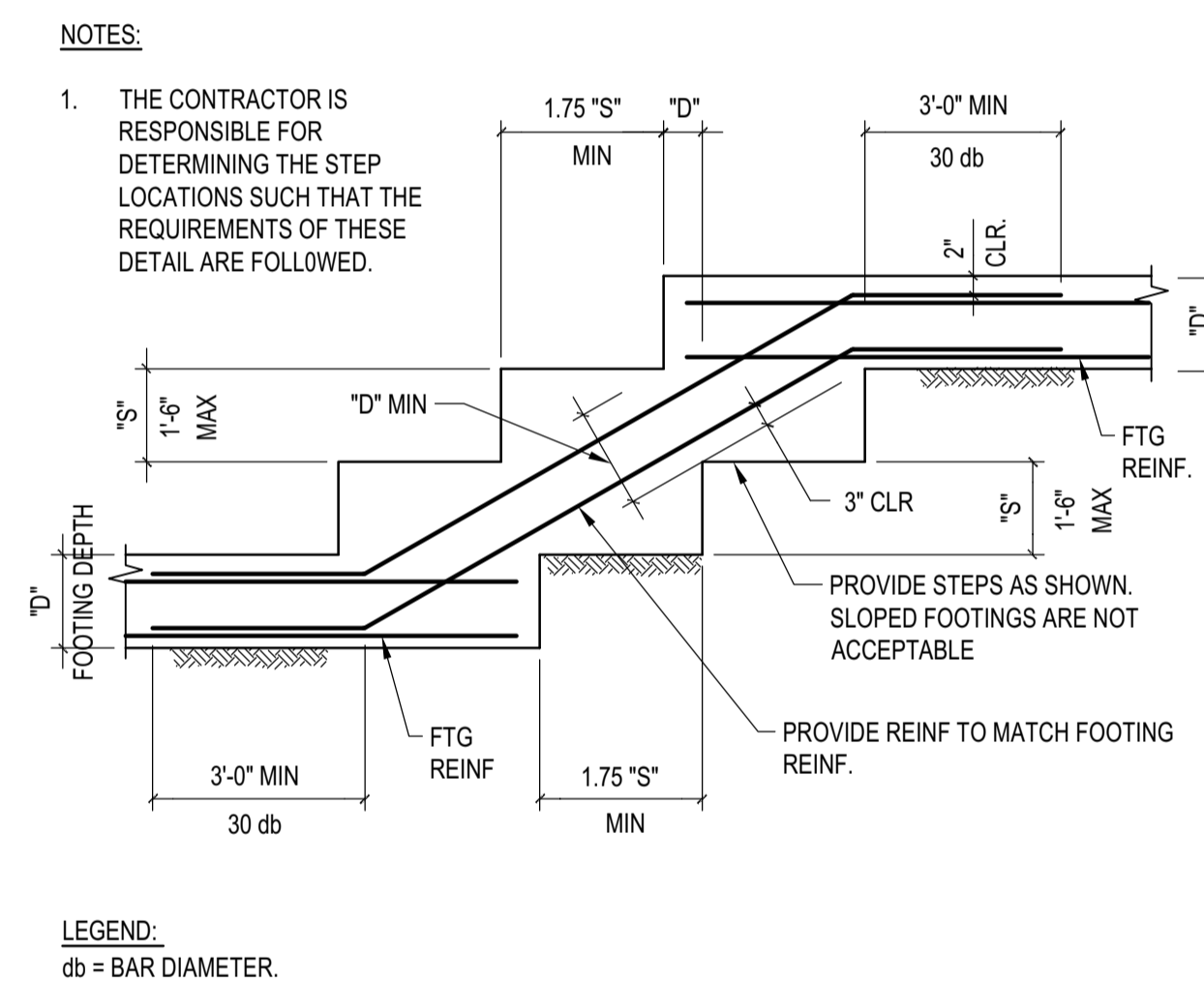


- NOTES:
 1. SEE TYP. DETAIL FOR REINFORCING IN STEM WALL
 2. ONLY CORNER REBAR SHOWN ON THIS DETAIL. TERMINATE REMAINING REBAR WITH STANDARD HOOK

FOOTING AND GRADE BEAM REINFORCEMENT @ CORNERS
 SCALE: N.T.S.



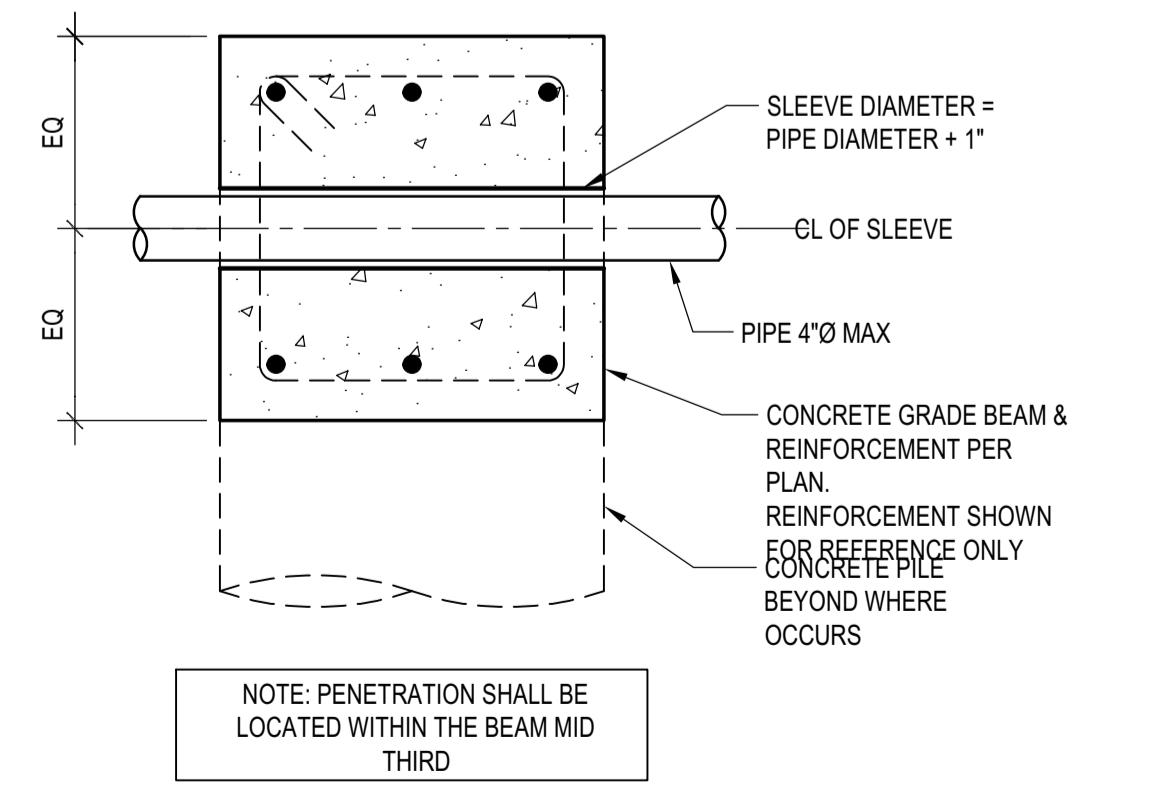
STEPPED GRADE BEAM DETAIL
 SCALE: N.T.S.



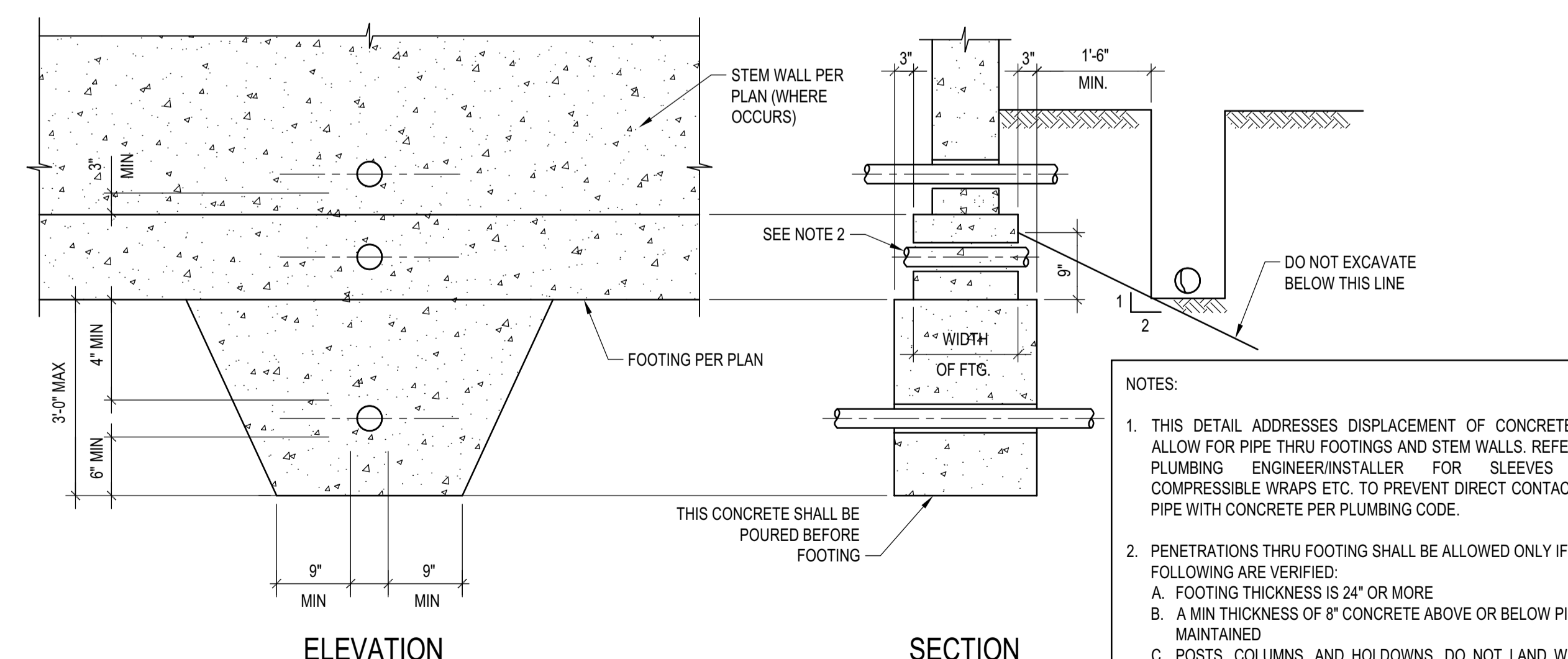
- NOTES:
 1. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE STEP LOCATIONS SUCH THAT THE REQUIREMENTS OF THESE DETAIL ARE FOLLOWED.

- LEGEND:
 db = BAR DIAMETER.

TYP. STEPPED FOOTING DETAIL
 SCALE: N.T.S.



TYP. PIPE THRU GRADE BEAM
 SCALE: N.T.S.



- NOTES:
 1. THIS DETAIL ADDRESSES DISPLACEMENT OF CONCRETE TO ALLOW FOR PIPE THRU FOOTINGS AND STEM WALLS. REFER TO PLUMBING ENGINEER/INSTALLER FOR SLEEVES OR COMPRESSIBLE WRAPS ETC. TO PREVENT DIRECT CONTACT OF PIPE WITH CONCRETE PER PLUMBING CODE.
 2. PENETRATIONS THRU FOOTING SHALL BE ALLOWED ONLY IF ALL FOLLOWING ARE VERIFIED:
 A. FOOTING THICKNESS IS 24" OR MORE
 B. A MIN THICKNESS OF 6" CONCRETE ABOVE OR BELOW PIPE IS MAINTAINED
 C. POSTS, COLUMNS, AND HOLDDOWNS, DO NOT LAND WITHIN 24" ON EITHER SIDE OF PENETRATION
 D. REBAR ARE NOT DISPLACED

TYP. PIPE THRU FOUNDATION DETAIL
 SCALE: N.T.S.

BADGER RESIDENCE

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121 BADGER LANE LLC
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GALENA ENGINEERING, INC.
 317 NORTH RIVER STREET
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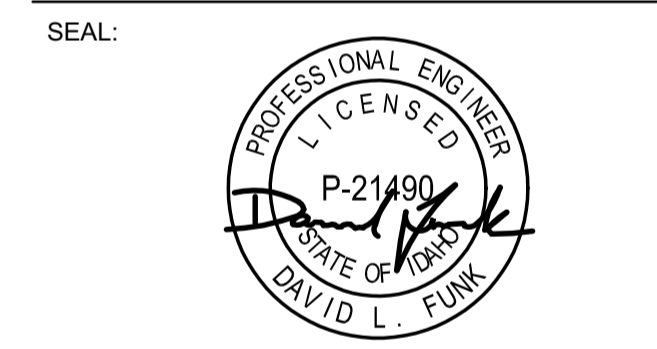
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BUTLER ASSOCIATES, INC.
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LANDSCAPE ARCHITECT:
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 LFA Job #22791



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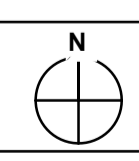
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 NO DATE ISSUE

PROJECT:
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 121 BADGER LANE
 KETCHUM, ID 83340

PROJECT NUMBER
#2201

DRAWING TITLE:
TYPICAL DETAILS - CONCRETE

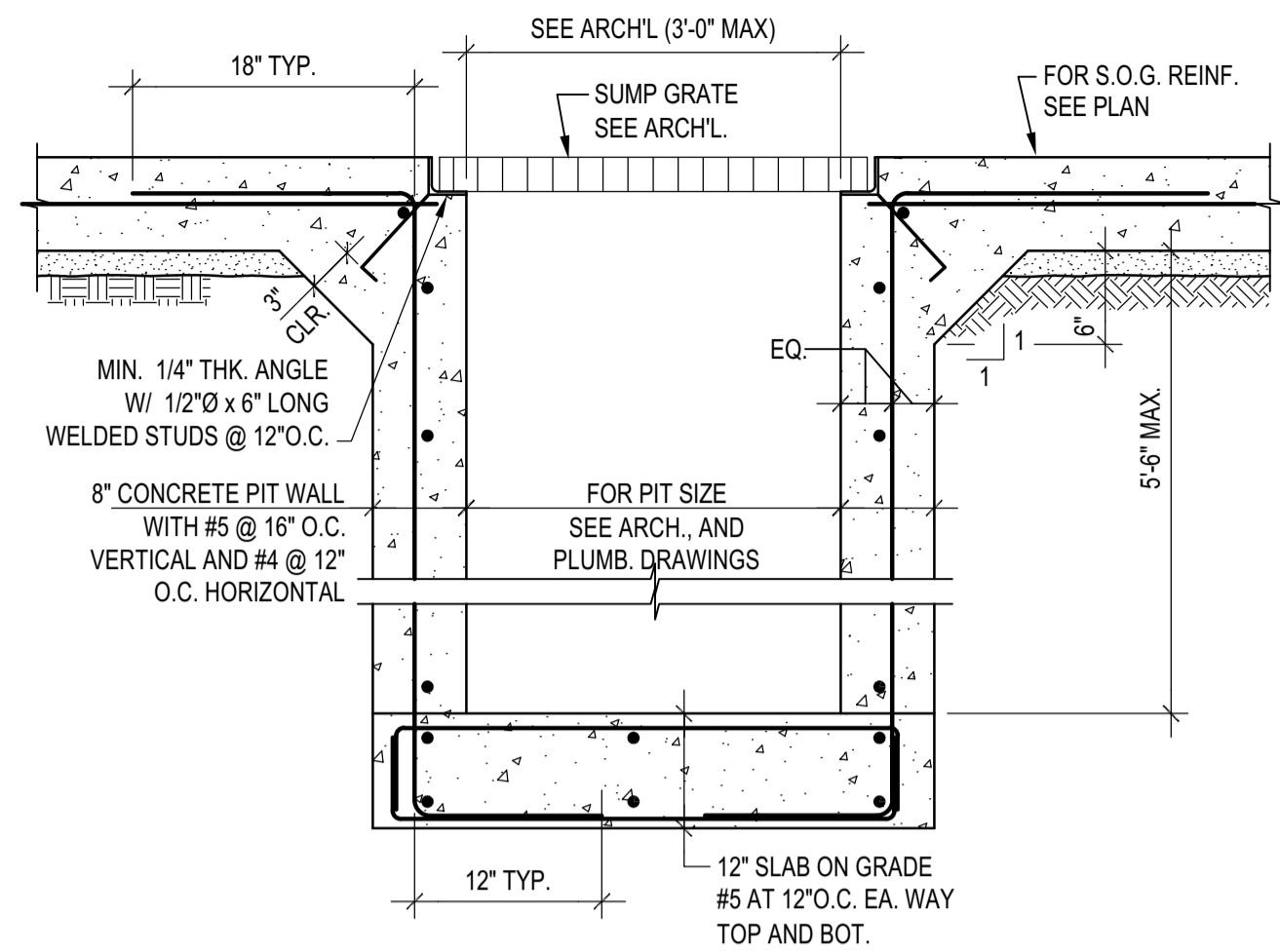
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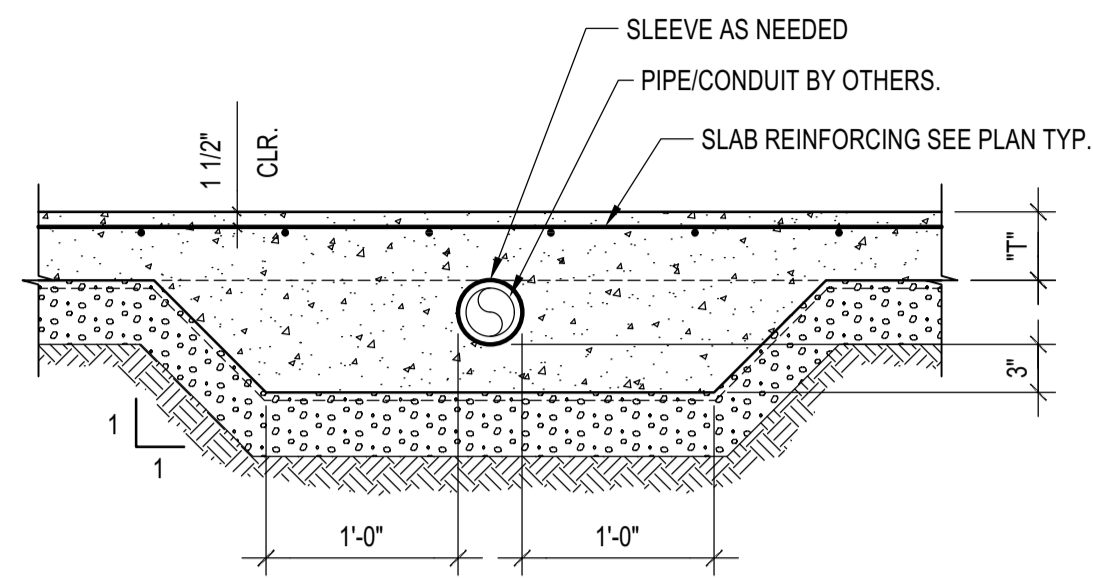
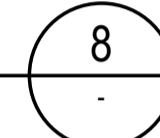
These plans have been found to be in substantial compliance with the adopted building codes. These documents are approved contingent on compliance with the mark-ups and notes applied. This is not approval of any code, ordinance, statute or regulation. Corrections will be required for code violations found during the inspection process.

BLD2303-00021
06/26/23



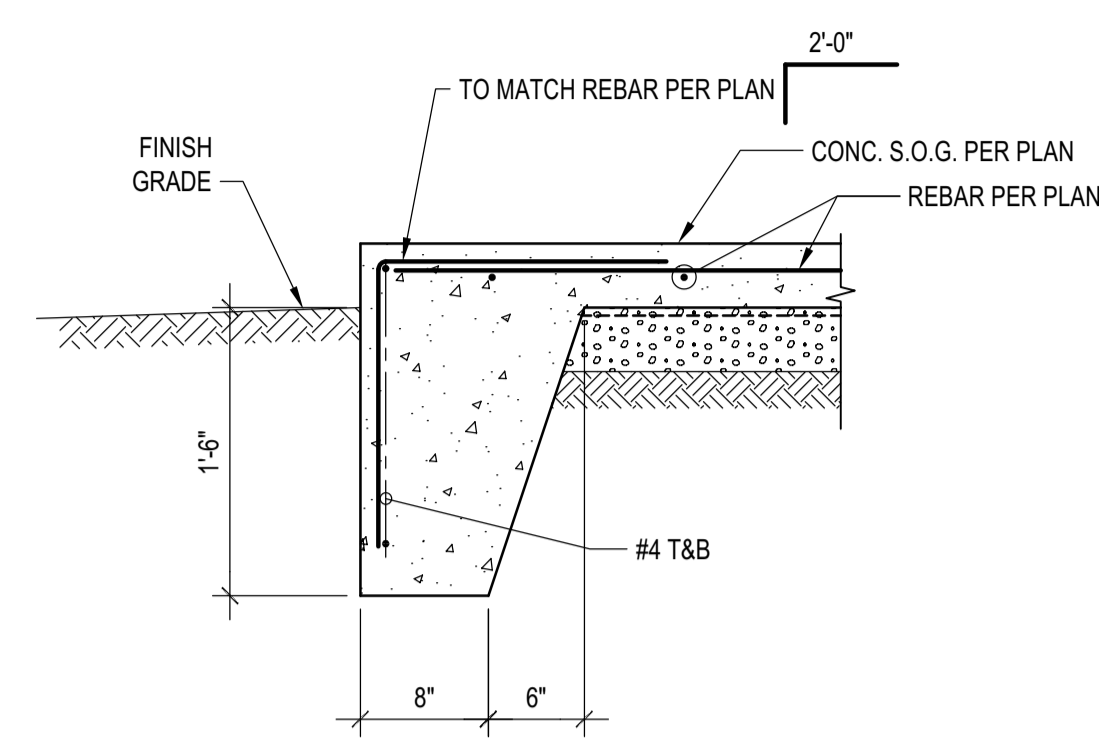
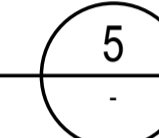
TYP. SUMP PUMP PIT

SCALE: N.T.S.



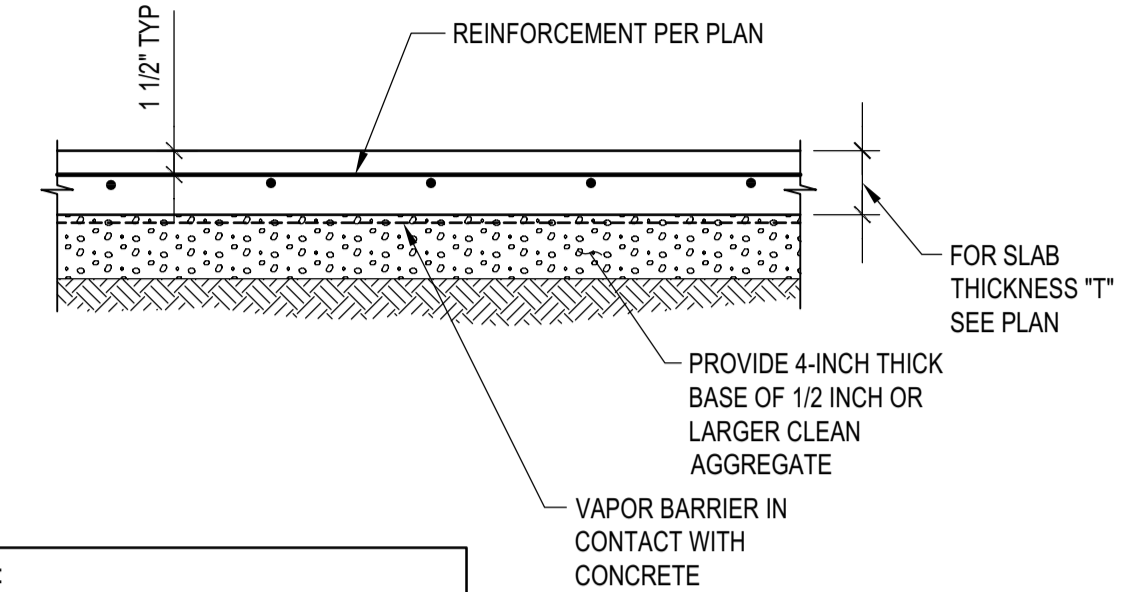
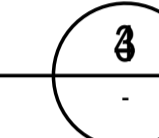
TYP. PIPE THRU SLAB ON GRADE

SCALE: N.T.S.



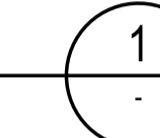
SLAB ON GRADE EDGE DETAIL

SCALE: N.T.S.



TYPICAL SLAB ON GRADE

SCALE: N.T.S.



- NOTES:
- SEE SOILS REPORT FOR ADDITIONAL SUBGRADE PREPARATION REQUIREMENTS
 - VAPOR BARRIERS SPECS NOT PER LFA

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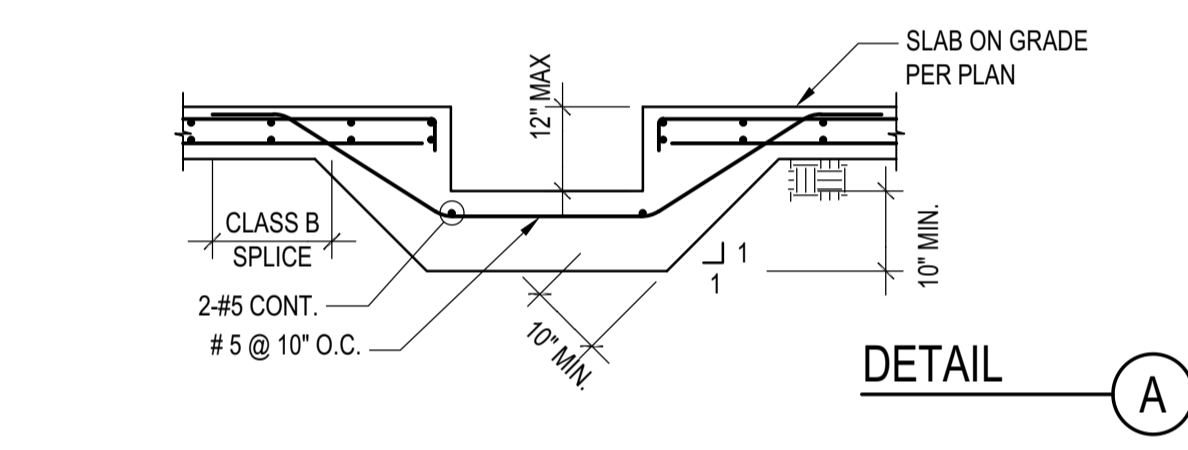
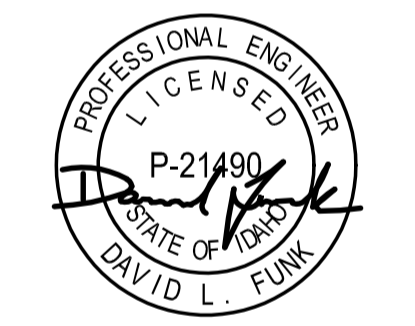
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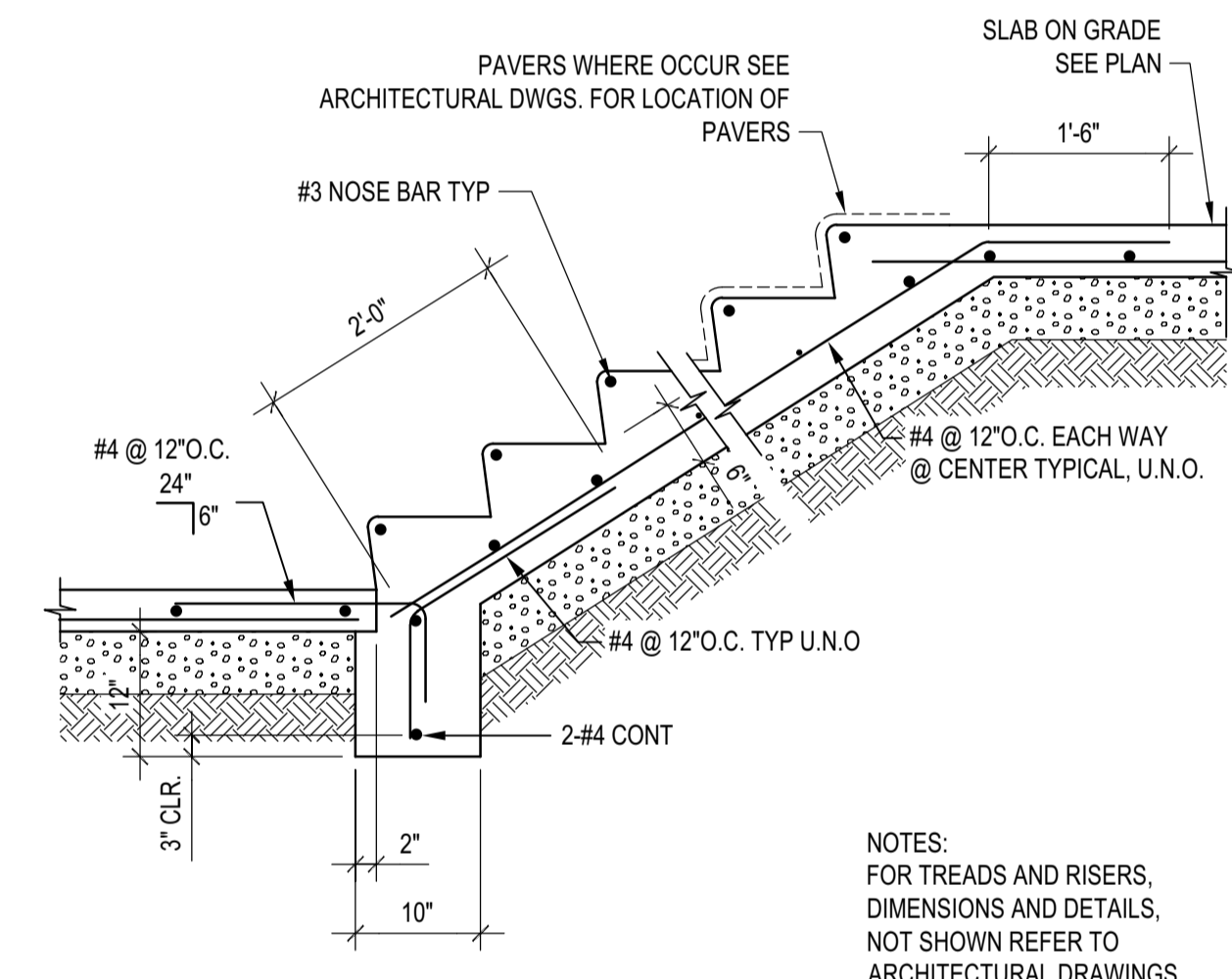
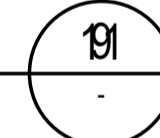
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SEAL:



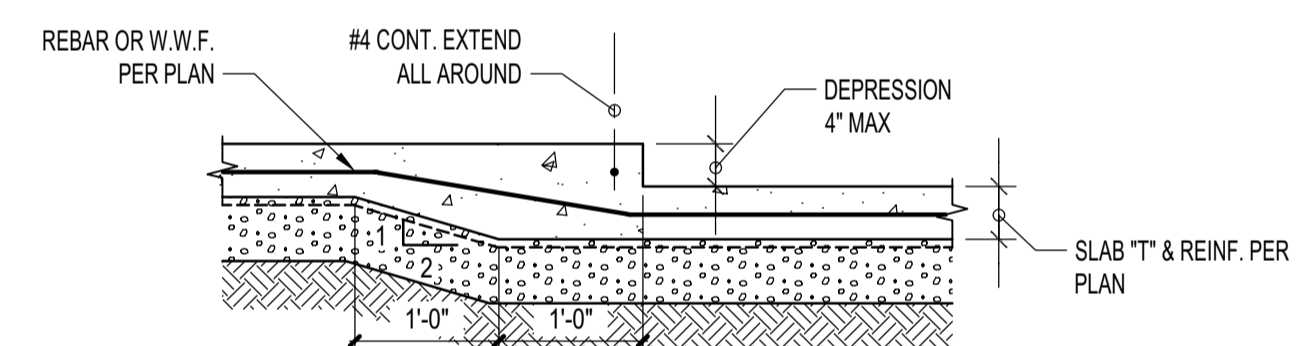
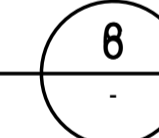
TRENCH DRAIN DETAIL

SCALE: N.T.S.

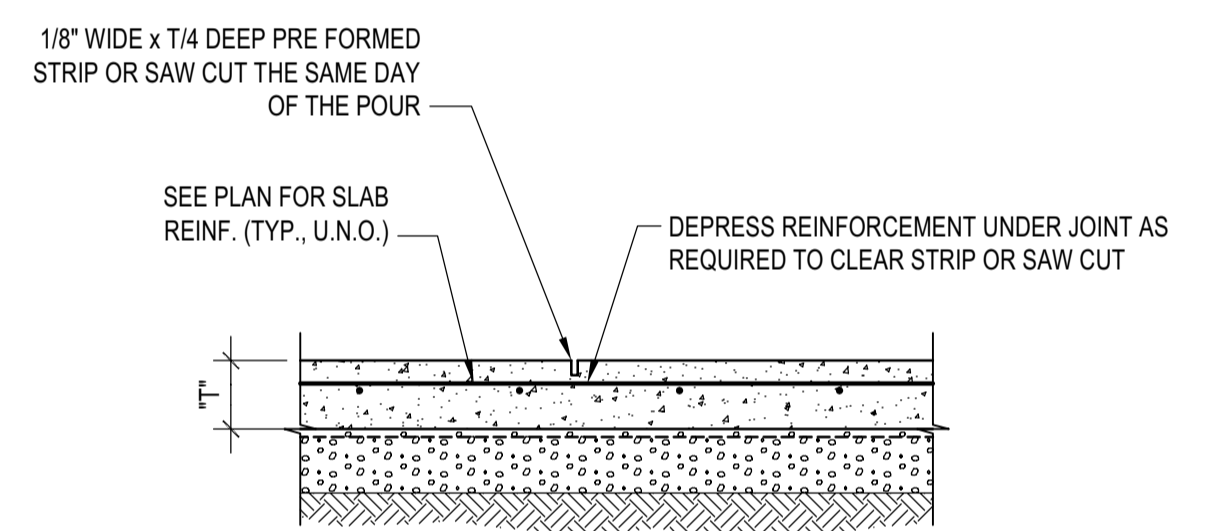
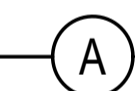


STAIR ON GRADE DETAIL

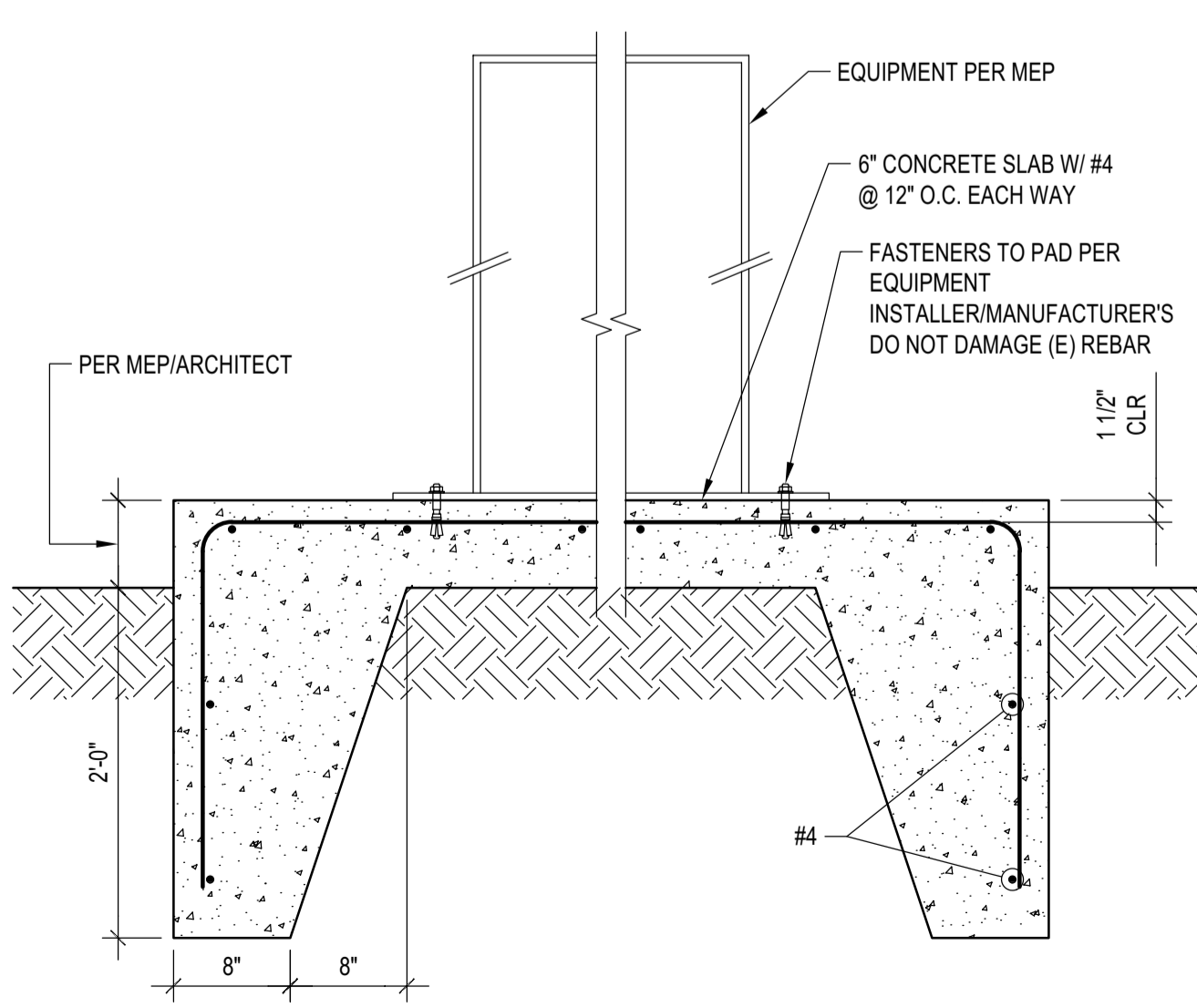
SCALE: N.T.S.



DEPRESSION <=4"

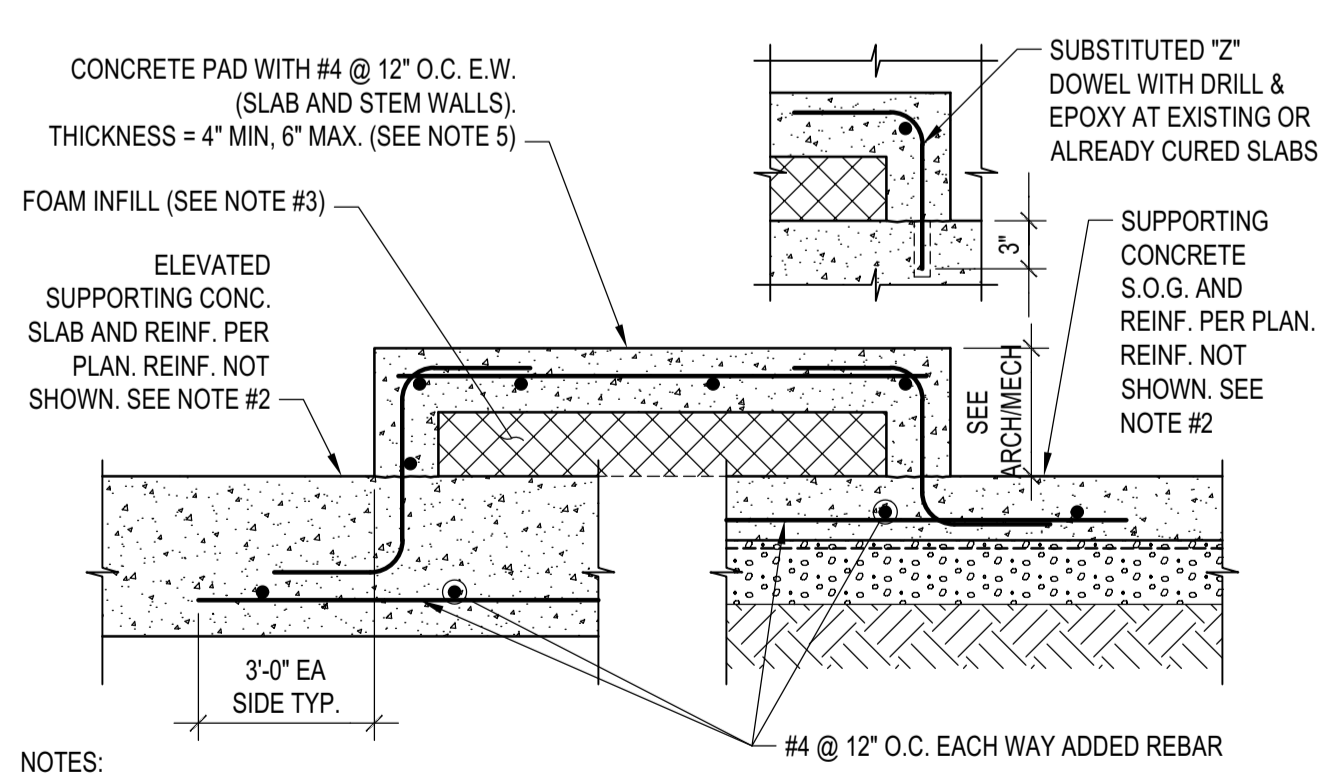
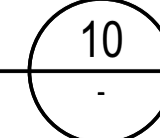


CONTROL JOINT (WHERE CONTINUOUS POUR IS USED)



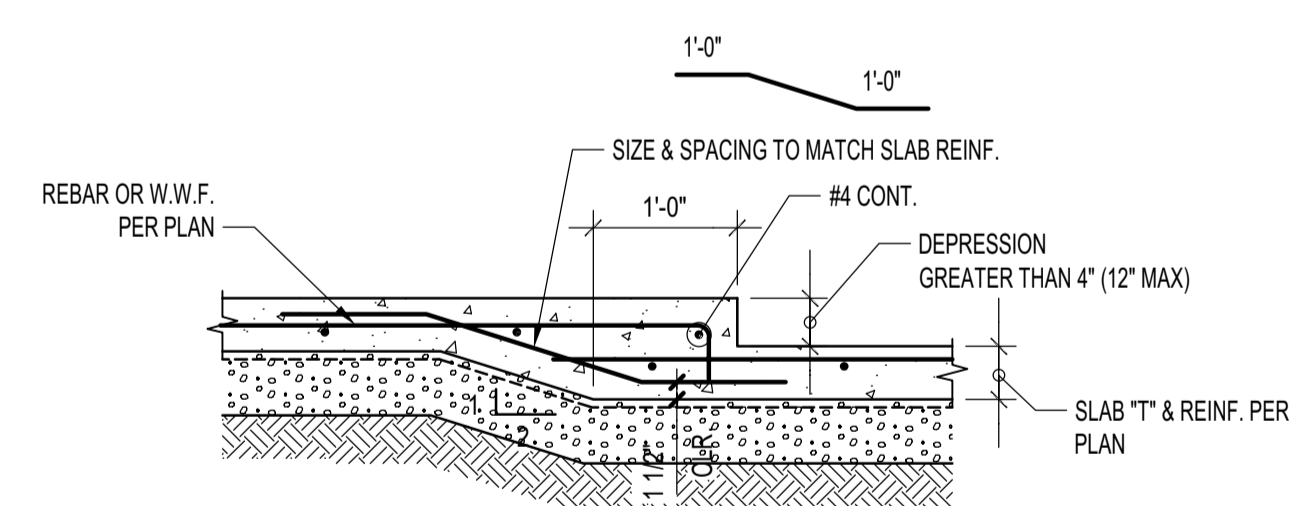
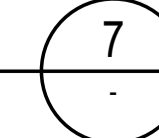
EQUIPMENT CONC. PAD ON GRADE

SCALE: N.T.S.

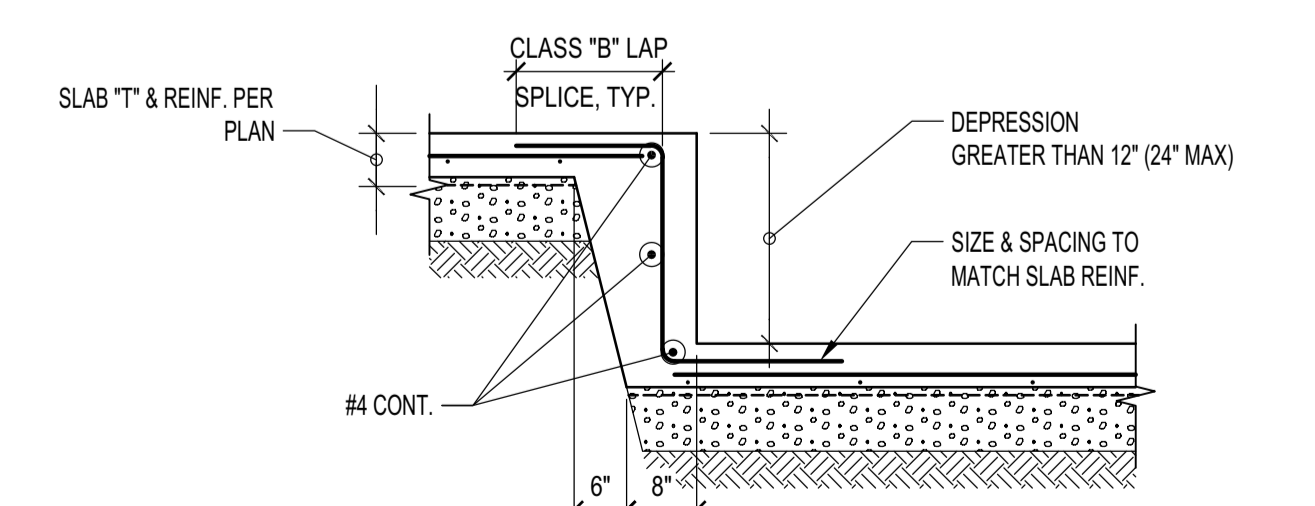
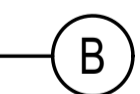


MECH. PAD FOR LIGHT EQUIPMENT

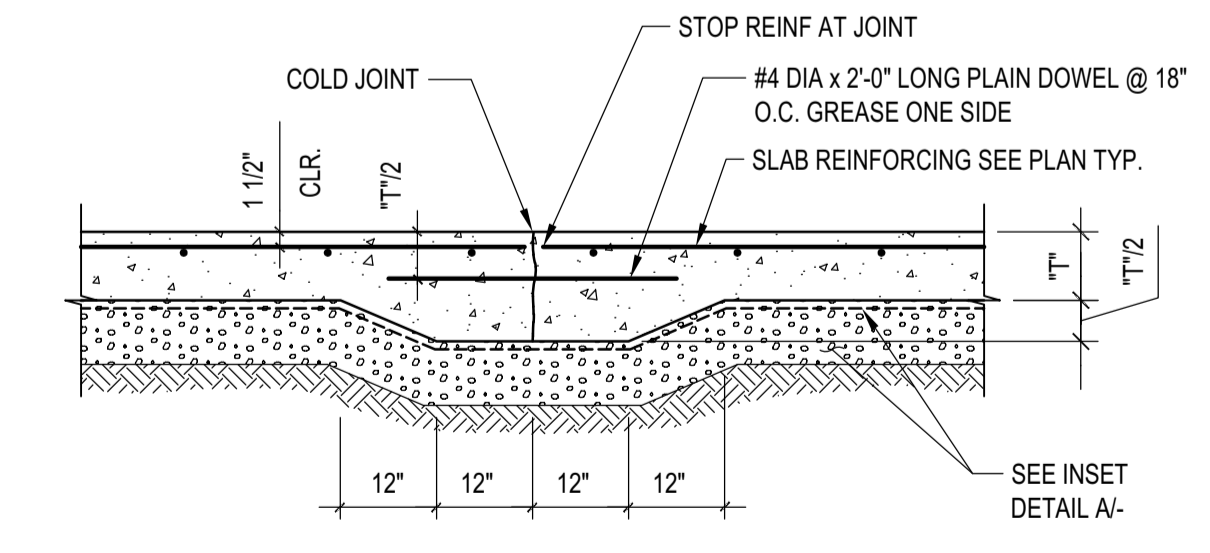
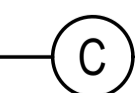
SCALE: N.T.S.



DEPRESSION >4" & <=12"



DEPRESSION >12" & <=24"



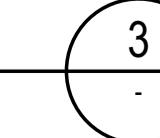
TYPICAL CONSTRUCTION JOINT



- NOTES:
- CONTROL JOINTS TO BE LOCATED AT COLUMN CENTER LINES AND AT 20-0" O.C. MAX. AND EVERY 400 SQUARE FEET.
 - IF SAW-CUT CONTROL JOINT TO BE USED, SAW-CUT WITHIN 24 HOURS OF POUR.
 - SEE PLAN FOR "T".

JOINTS AT SLAB ON GRADE

SCALE: N.T.S.



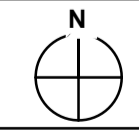
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PROJECT:
BADGER RESIDENCE
121 BADGER LANE
KETCHUM, ID 83340

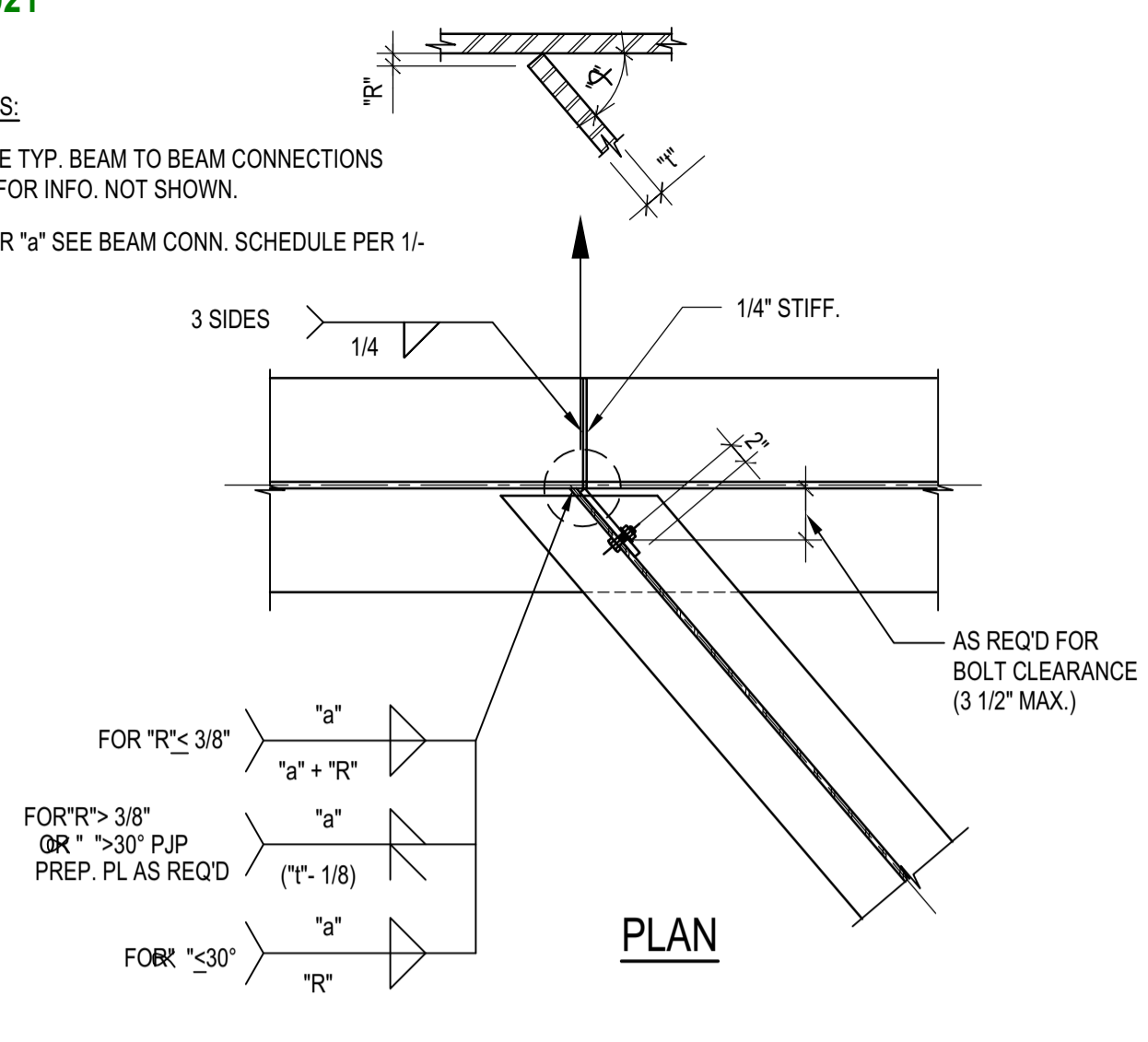
PROJECT NUMBER
#2201

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TYPICAL DETAILS - CONCRETE

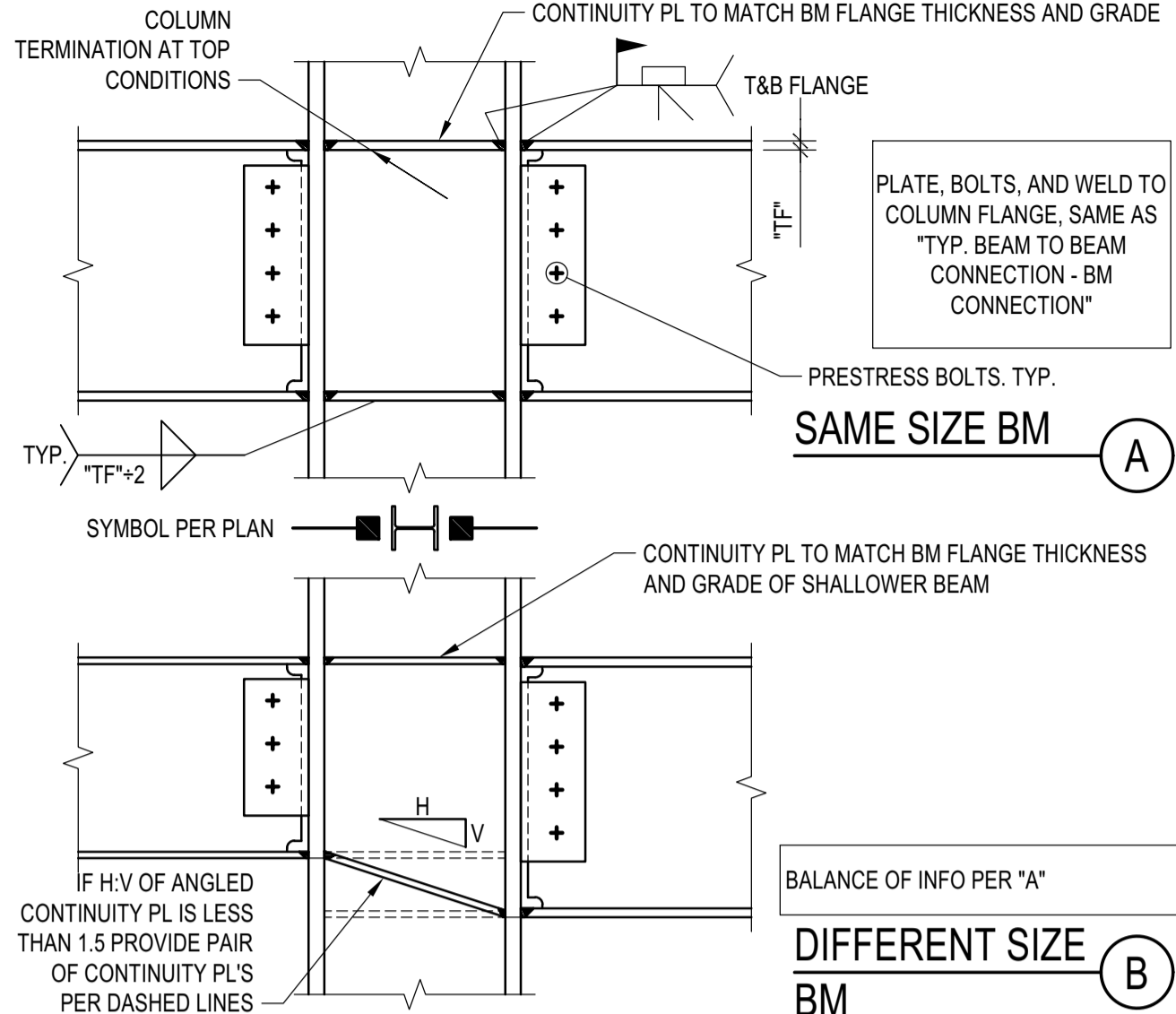
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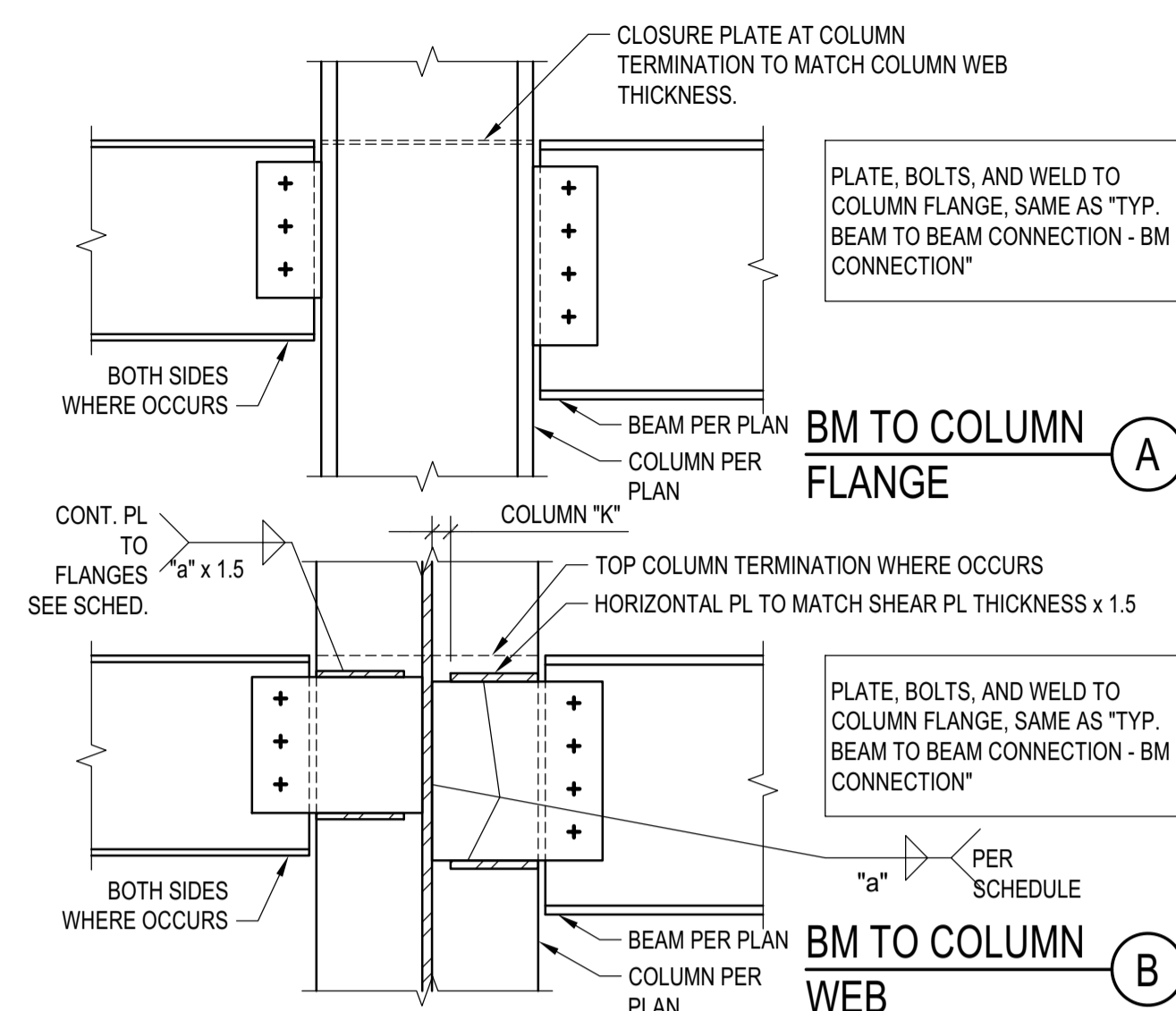
- NOTES:
 1. SEE TYP. BEAM TO BEAM CONNECTIONS FOR INFO. NOT SHOWN.
 2. FOR "a" SEE BEAM CONN. SCHEDULE PER 1-



SKEWED BEAM TO BEAM CONN.
 SCALE: N.T.S. 8



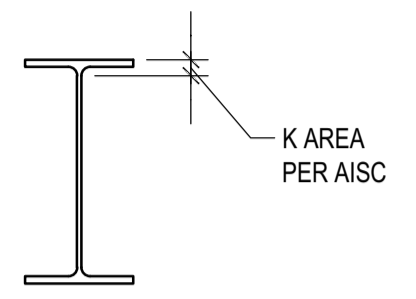
BM TO CLN FLANGE RIGID CONN.
 SCALE: N.T.S. 5



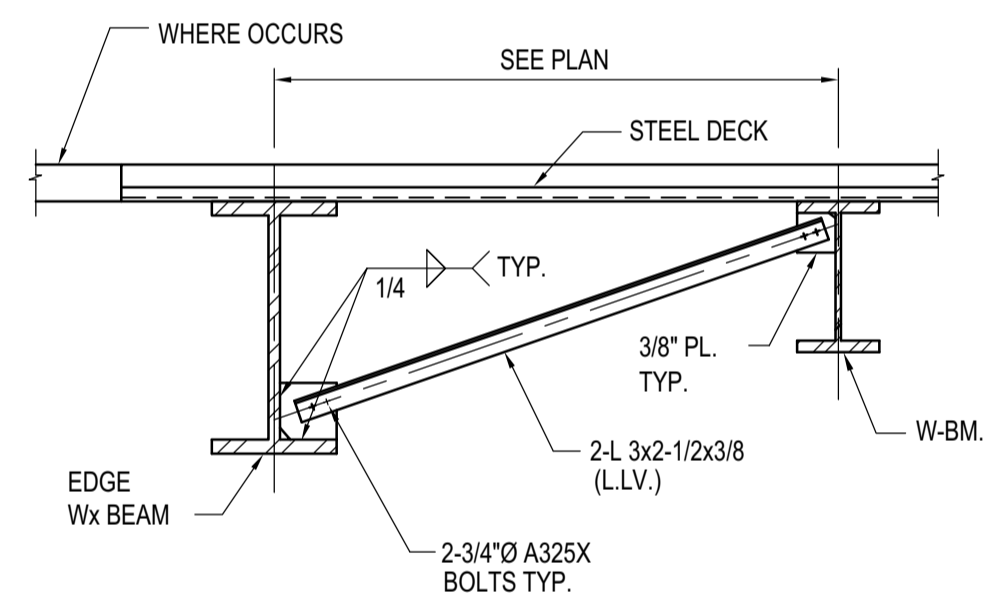
TYP. BEAM TO WF COLUMN
 SCALE: N.T.S. 3

NOTES:
 1. BEAM PREP AND WELDED JOINT TO COMPLY WITH PRE-QUALIFIED AWS AND AISC DETAILING REQUIREMENTS.
 2. FIELD WELD CONNECTION PLATES WHERE (N) MEMBERS CONNECT TO (E) MEMBERS.
 3. AT W6 BEAMS PROVIDE 1 7/8" SPACING BETWEEN BOLTS.
 4. ALL HOLES SHALL BE STANDARD HOLES.
 5. OBTAIN APPROVAL FROM PROJECT ARCHITECT FOR ADDED ERECTION PLATES AND BOLTS AT ARCHITECTURALLY EXPOSED STRUCTURAL STEEL.

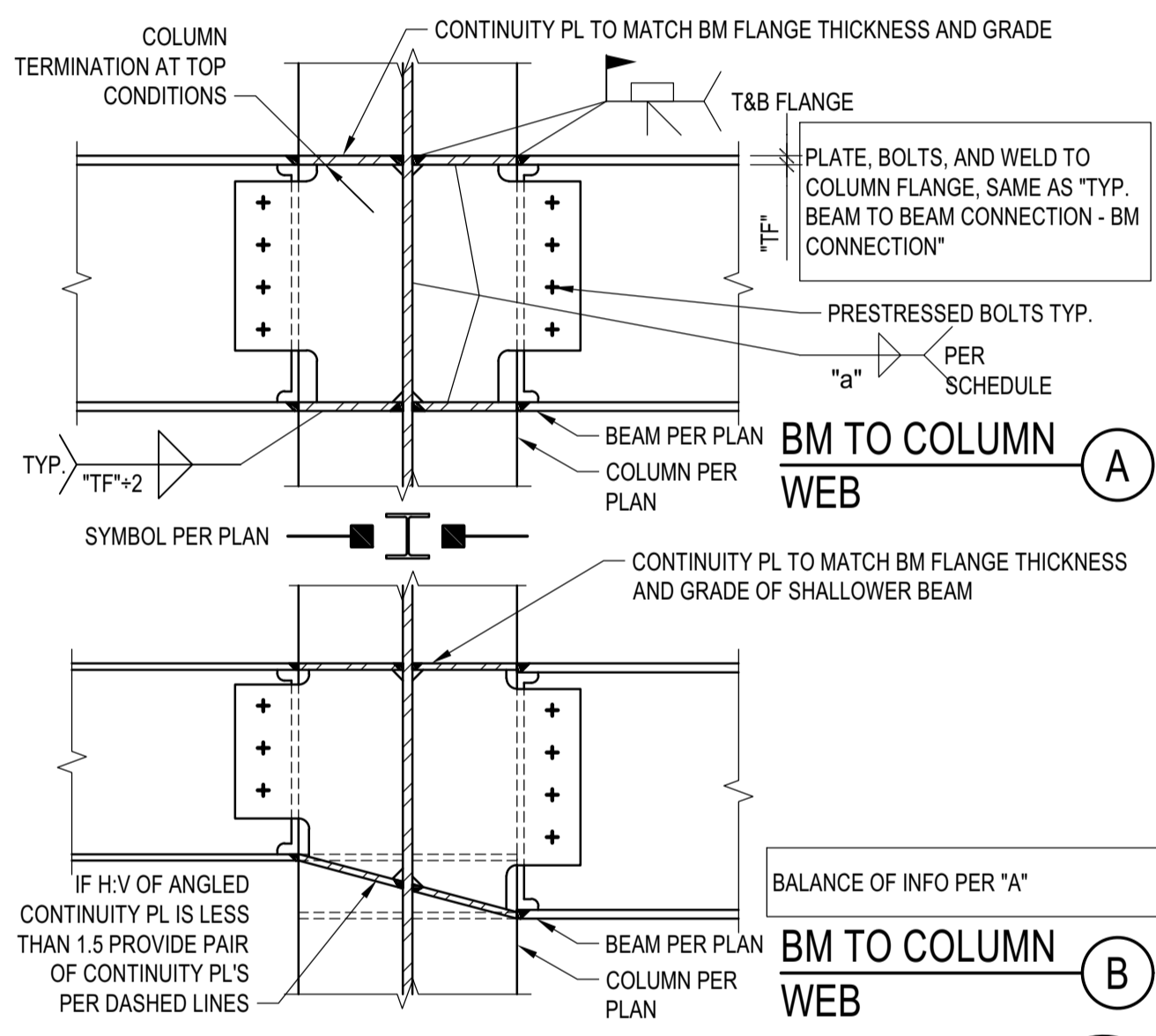
BEAM/ GIRDER	CONNECTION BOLT - A325X			
	NO. OF BOLTS	SIZE OF BOLTS	PLATE THICK.	WELD SIZE
W6	2 (1)	5/8"Ø	3/8"	5/16"
W8, W10	2	7/8"Ø	3/8"	5/16"
W12, W14	3	7/8"Ø	3/8"	3/8"
W16, W18	4	7/8"Ø	1/2"	3/8"
W21	5	7/8"Ø	1/2"	3/8"
W24	6	7/8"Ø	1/2"	3/8"
W27	7	7/8"Ø	1/2"	3/8"
W30	8	7/8"Ø	5/8"	3/8"
W33	9	7/8"Ø	5/8"	3/8"
W36	10	7/8"Ø	5/8"	3/8"



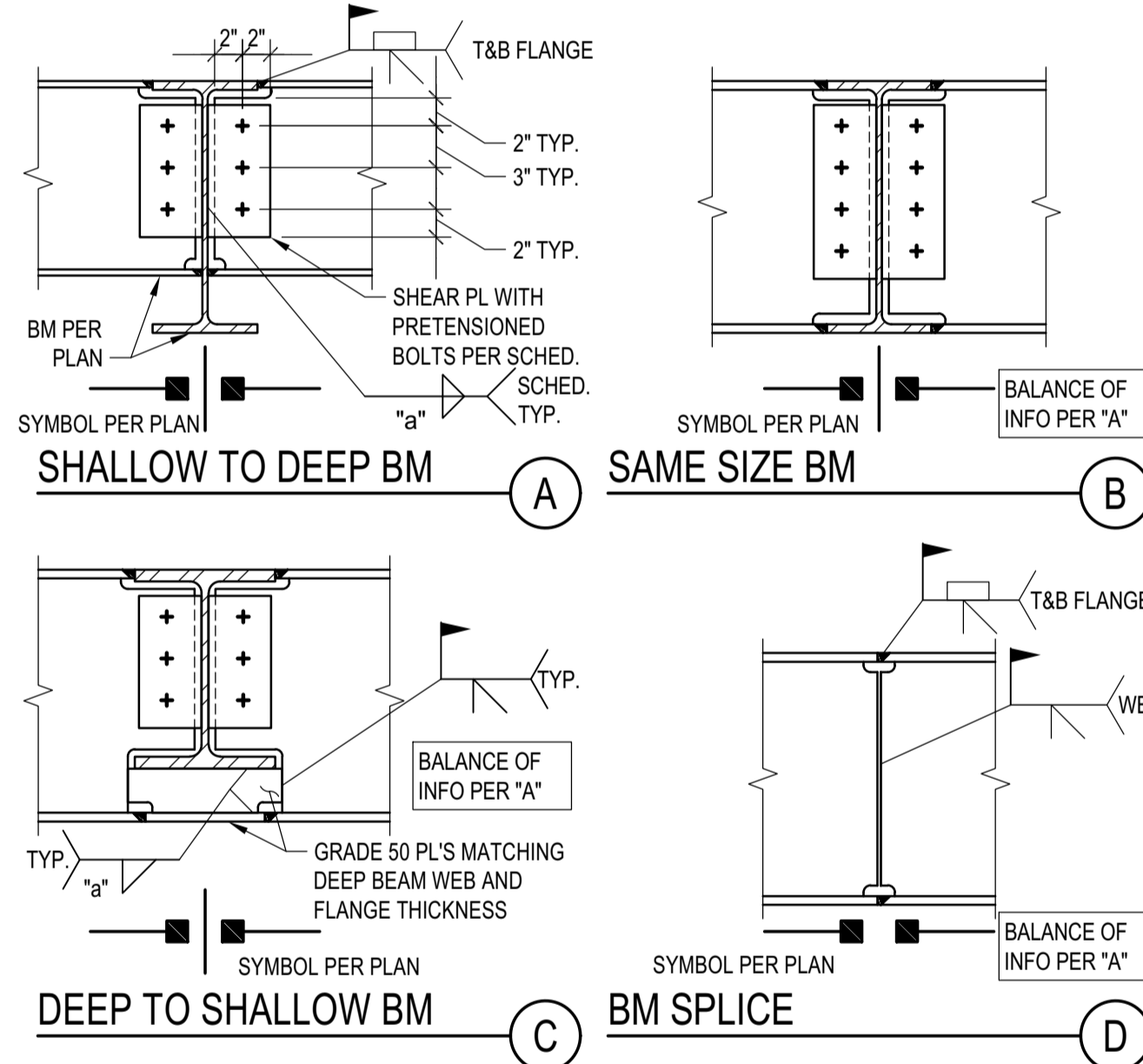
BEAM CONNECTION SCHEDULE
 SCALE: N.T.S. 1



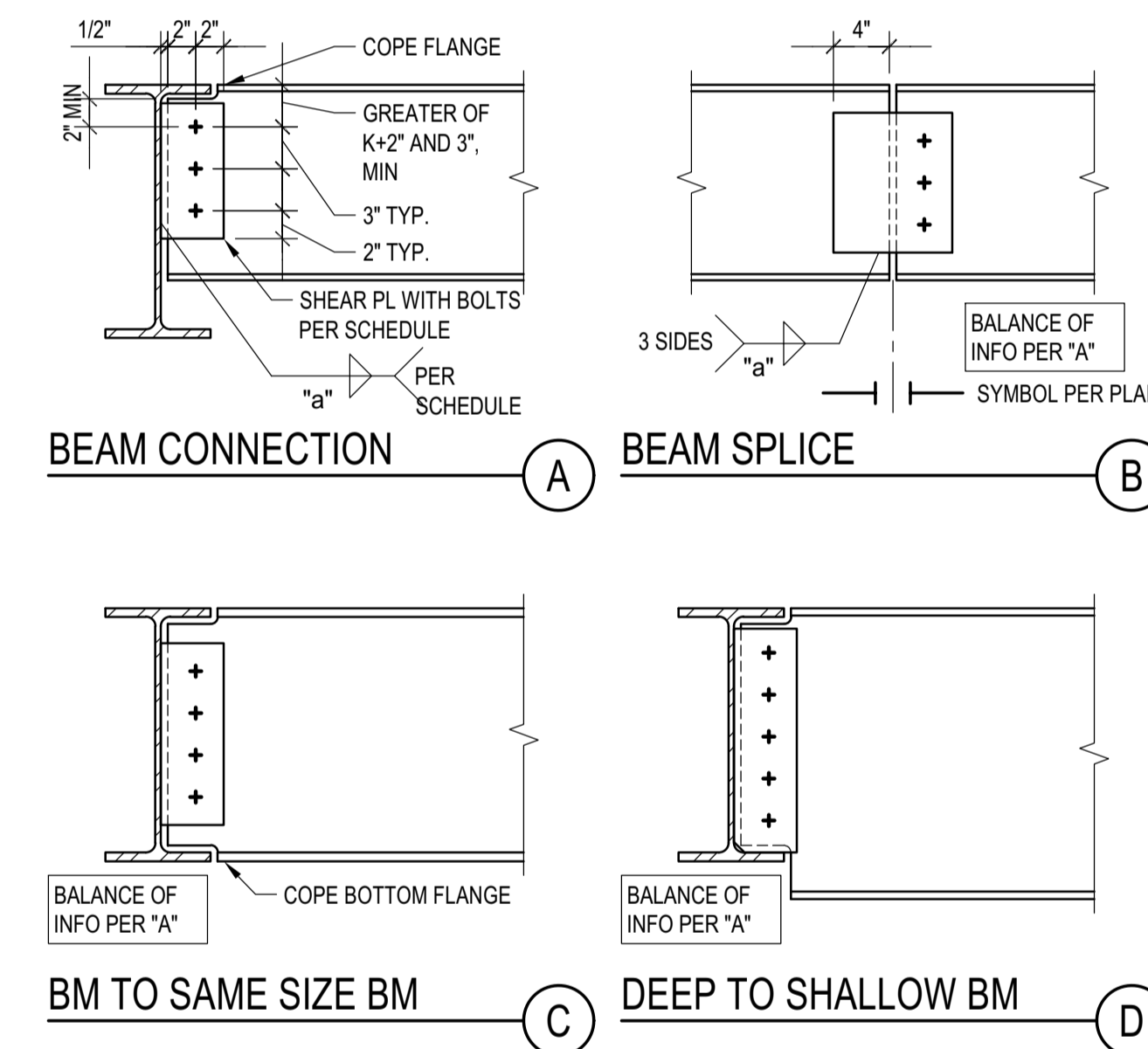
TYPICAL BEAM BOTTOM FLANGE BRACE DETAIL
 SCALE: N.T.S. 9



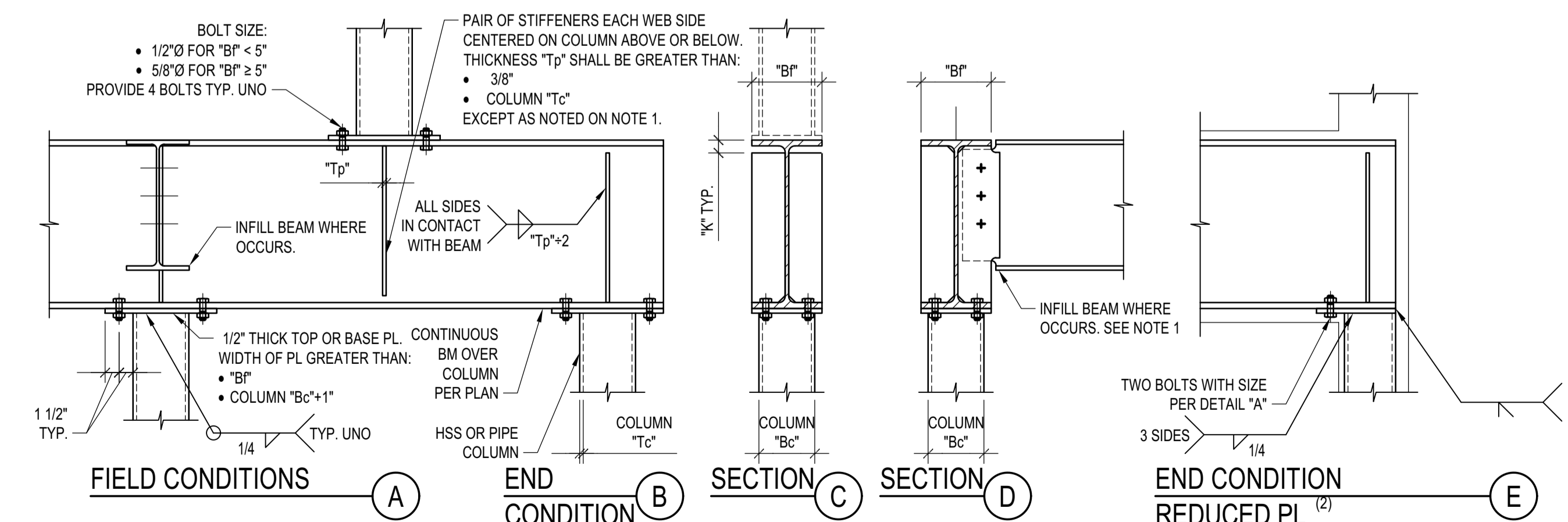
BM TO CLN WEB RIGID CONN.
 SCALE: N.T.S. 6



SHALLOW TO DEEP BM 4
SAME SIZE BM 5
DEEP TO SHALLOW BM 6
BM SPLICE 7

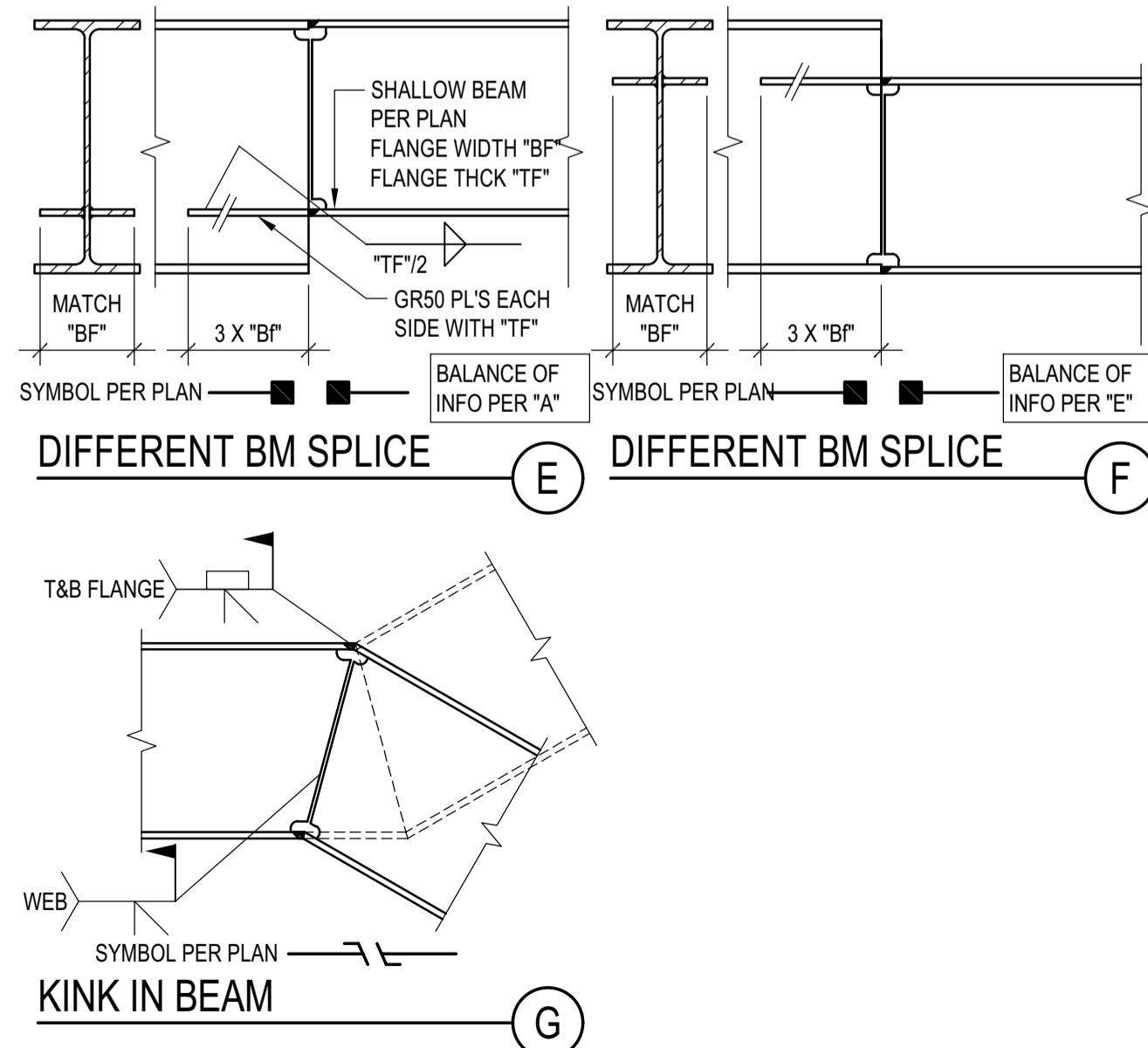


BEAM CONNECTION 1
BEAM SPLICE 2
BM TO SAME SIZE BM 3
DEEP TO SHALLOW BM 4

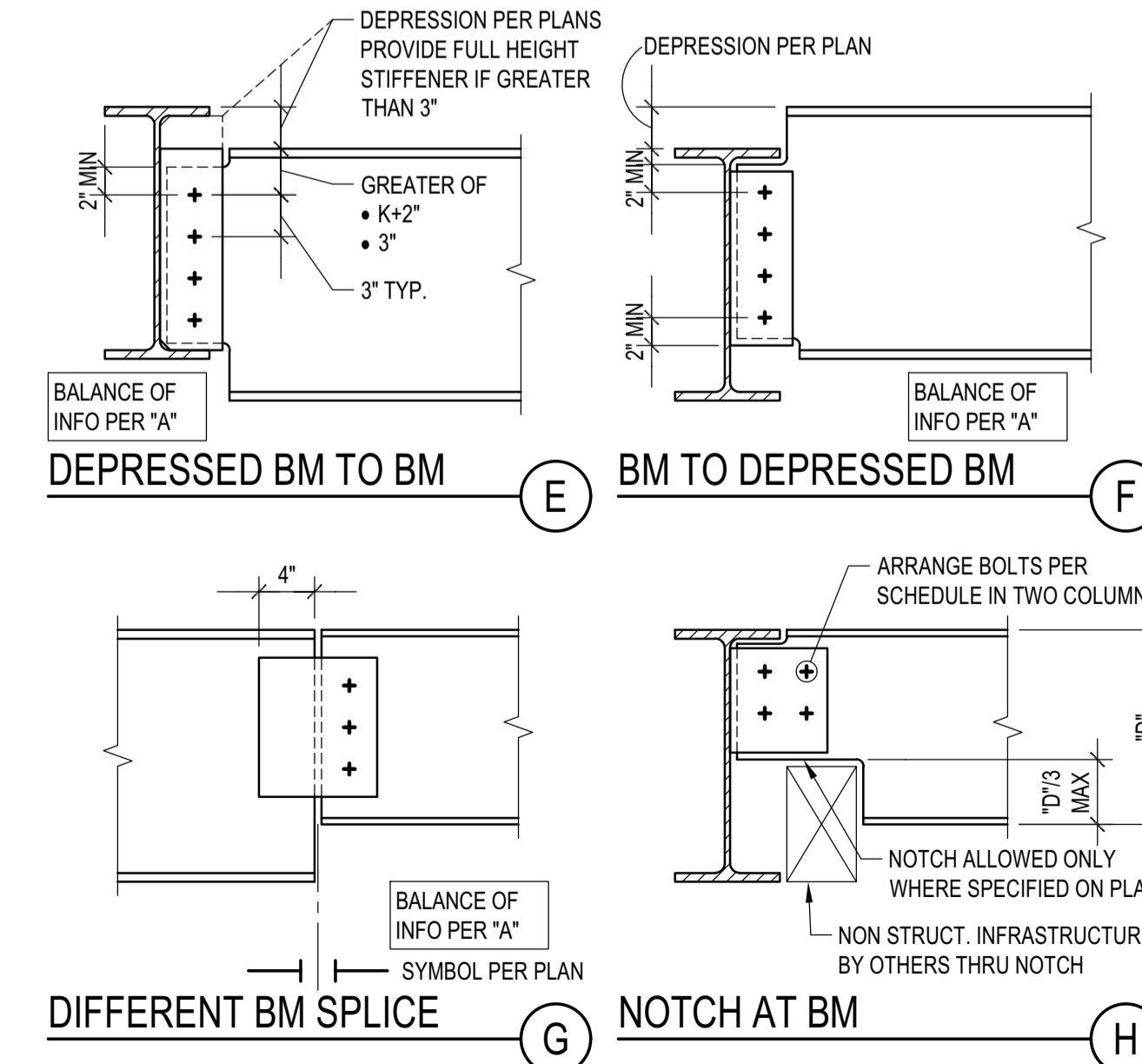


- NOTES:
 1. WHERE: INFILL BEAM OCCURS PROVIDE PAIR OF FULL DEPTH STIFFENERS AS SHOWN ON DETAIL "D". SEE BEAM TO BEAM CONNECTIONS. PROVIDE LARGER PL THICKNESS AND WELDS WHERE REQUIRED BY OTHER DETAILS.
 2. PROVIDE REDUCED PLATE AS NEEDED TO PREVENT BASE OR TOP PLATE EXTENDS OUT OF SHEATHING WHERE END COLUMN OCCURS WITHIN A LIGHT FRAME WOOD OR COLD FRAMED WALL.

HSS AND PIPE COLUMN TO WF BEAM CONNECTIONS
 SCALE: N.T.S. 7



DIFFERENT BM SPLICE 8
KINK IN BEAM 9



DEPRESSED BM TO BM 5
BM TO DEPRESSED BM 6
DIFFERENT BM SPLICE 7
NOTCH AT BM 8

BADGER RESIDENCE

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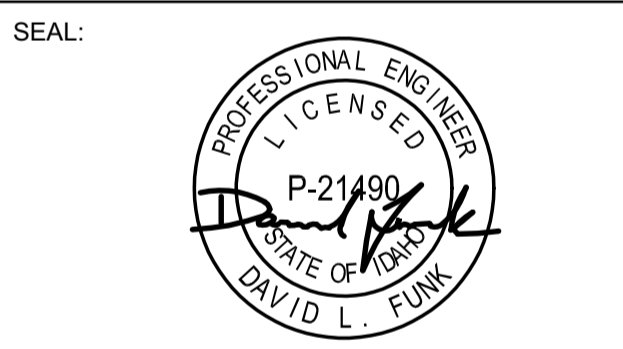
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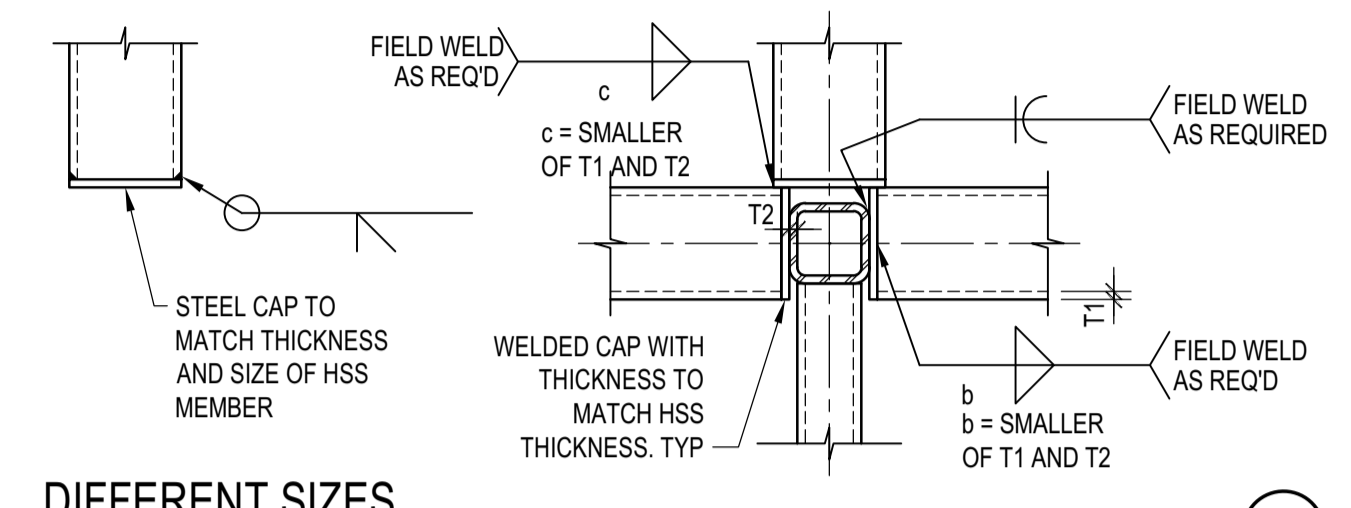
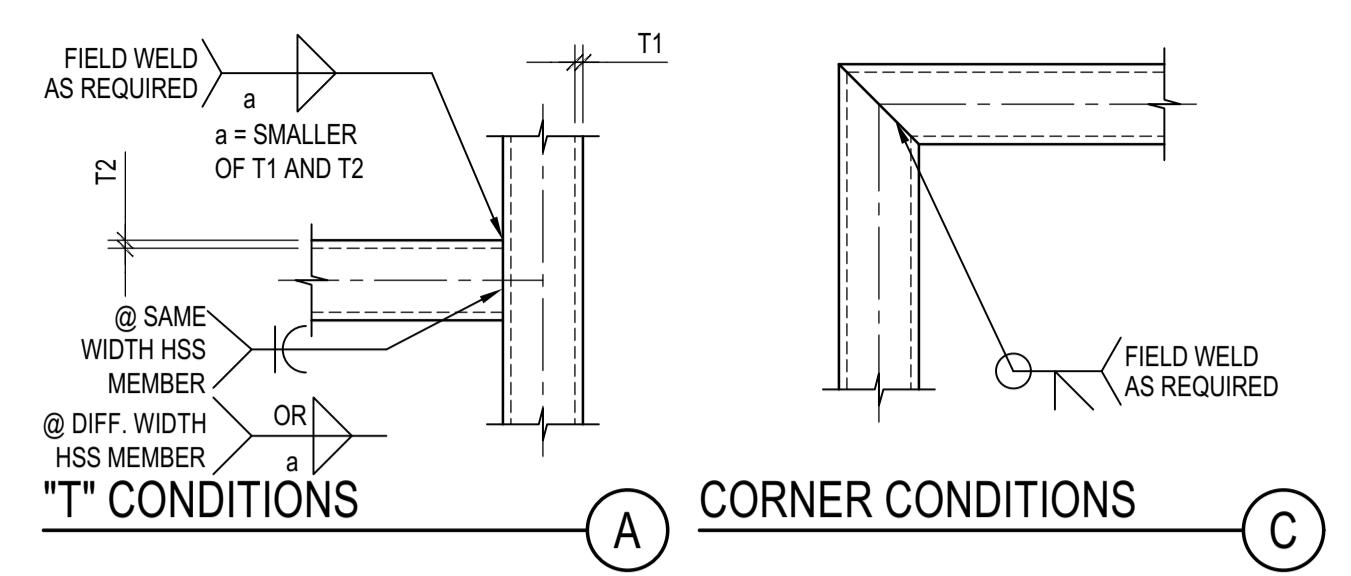
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 121 BADGER LANE
 KETCHUM, ID 83340

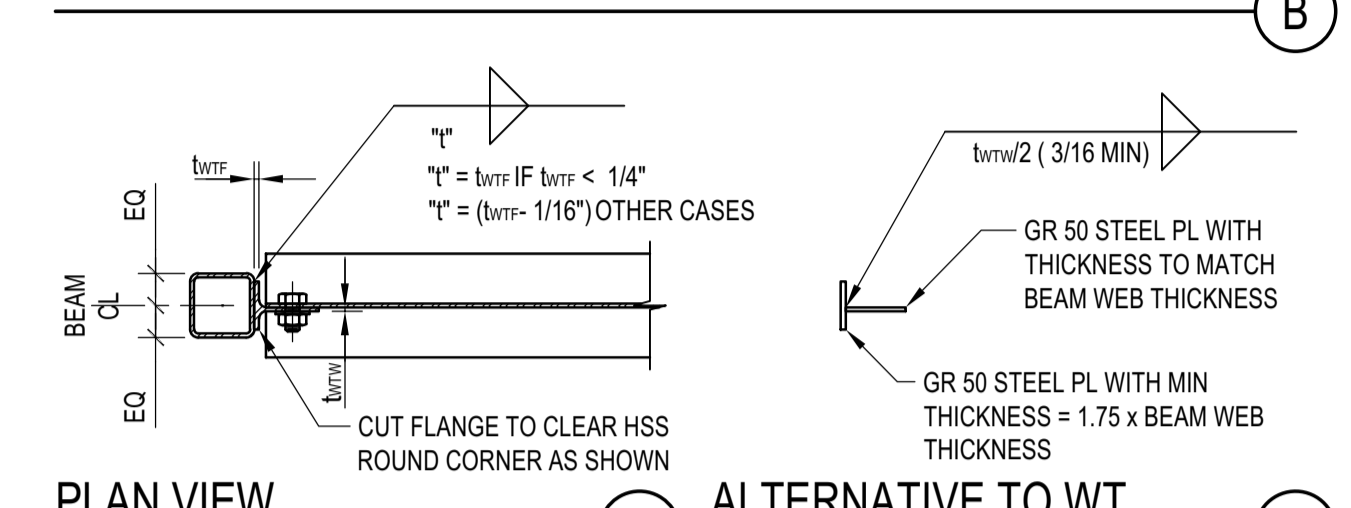
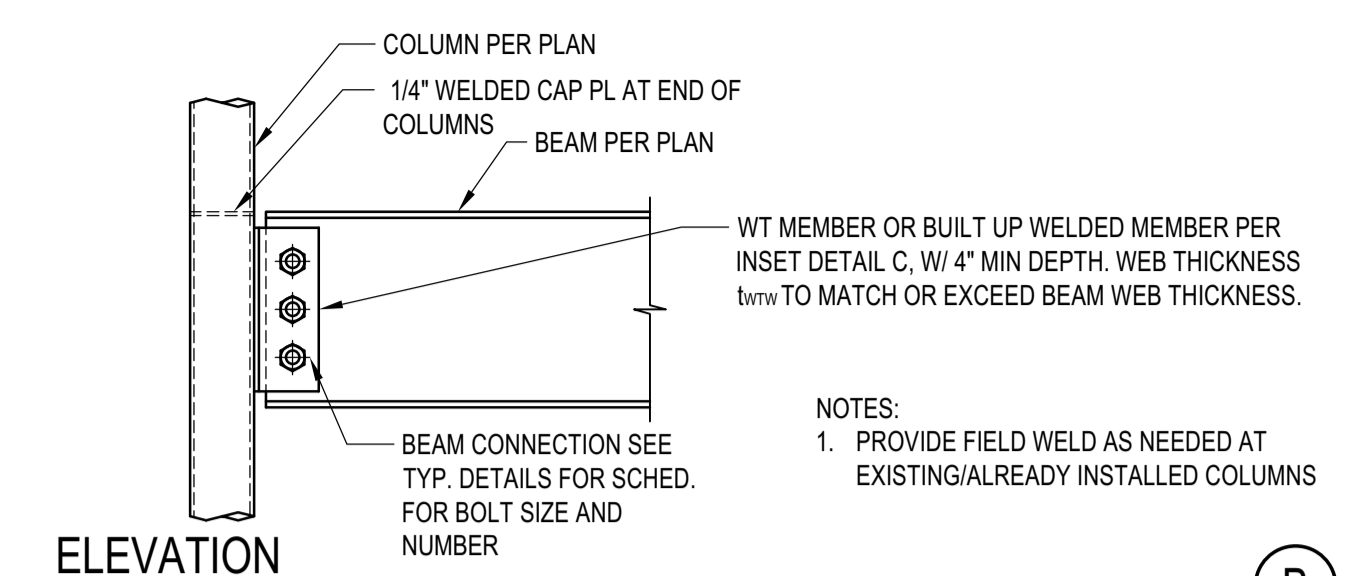
PROJECT NUMBER
#2201

DRAWING TITLE:
TYPICAL DETAILS - STEEL

DRAWING NUMBER:
S-021



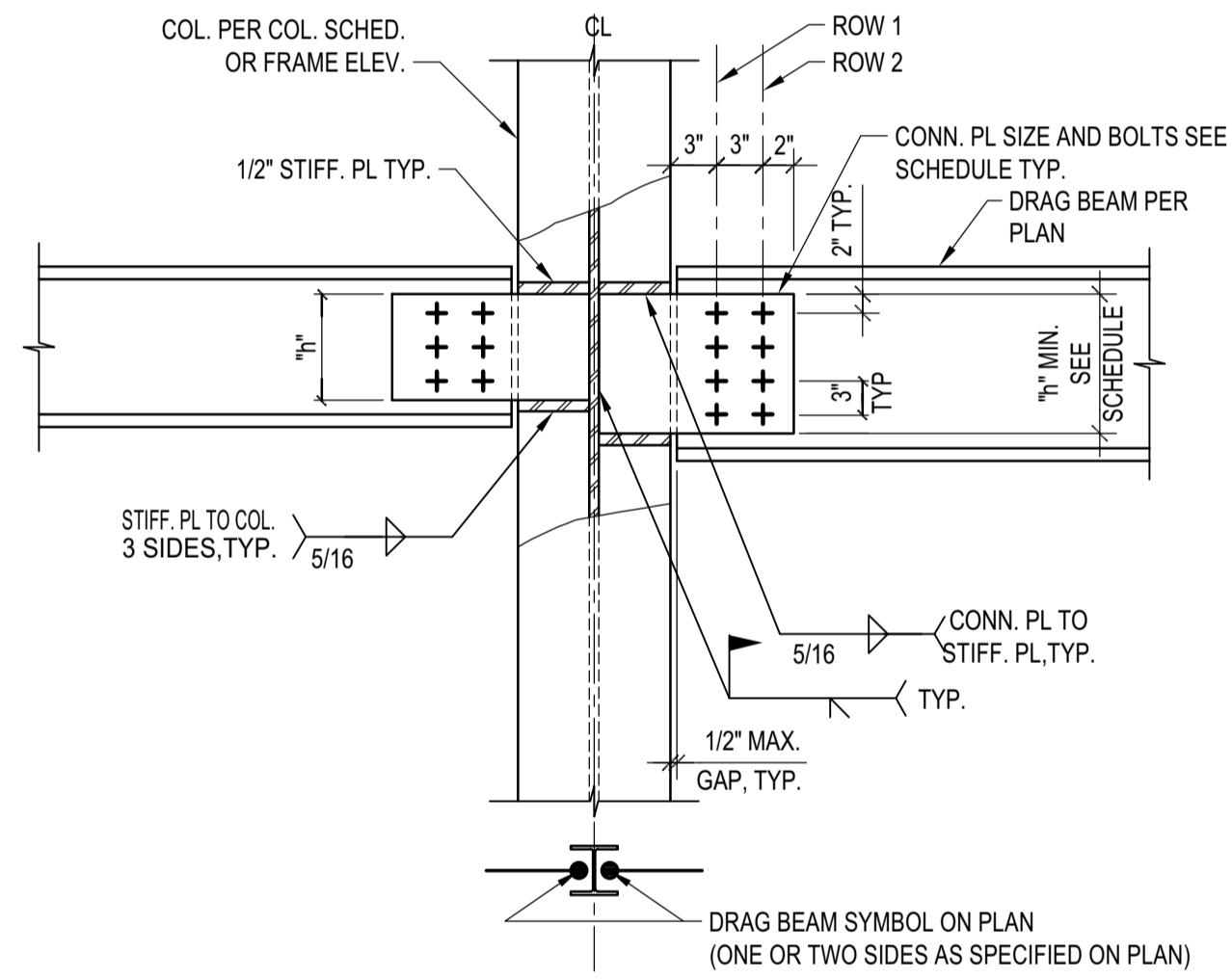
HSS MEMBERS CONNECTION
 SCALE: N.T.S.



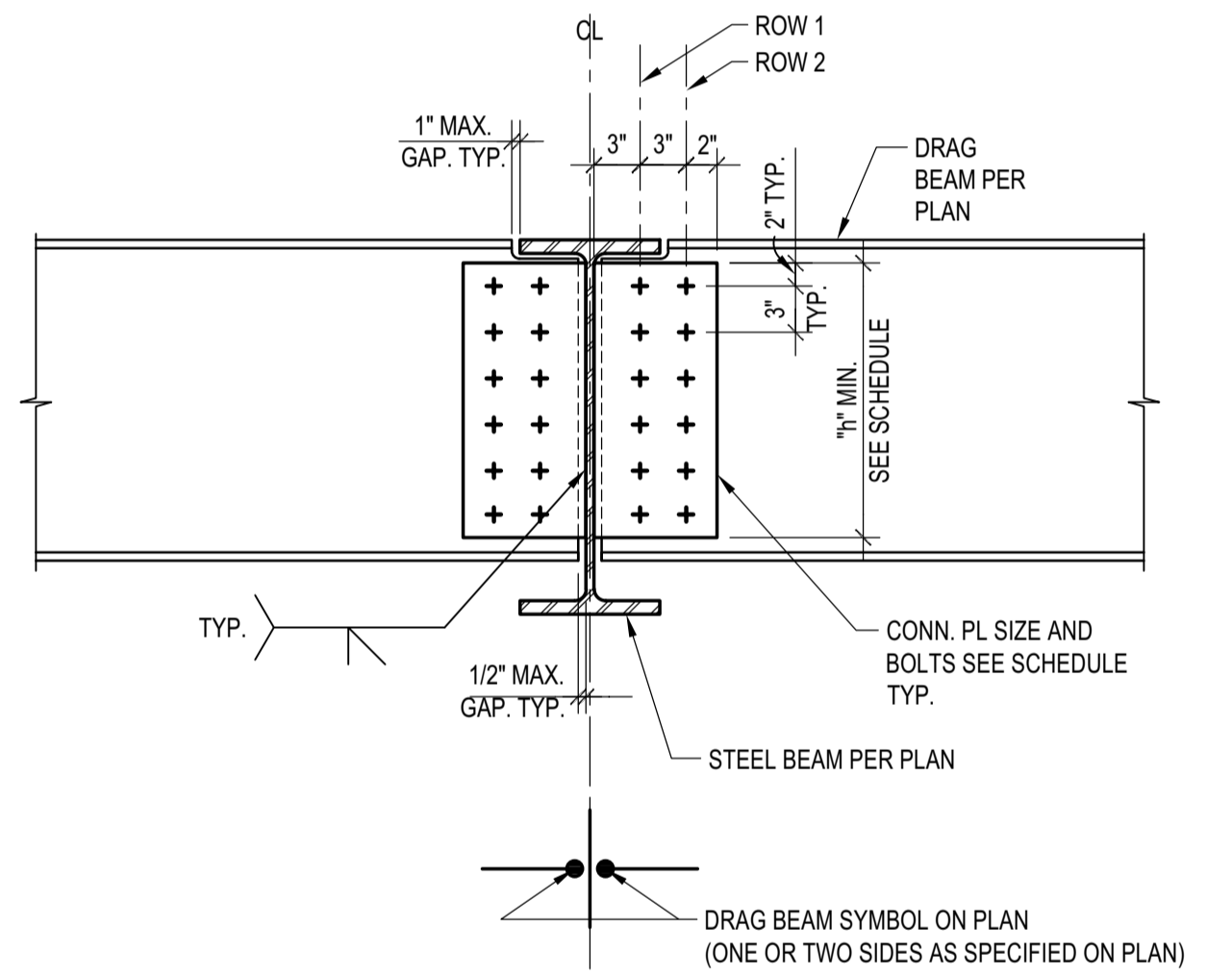
TYP. BEAM TO HSS-TS COLUMN
 SCALE: N.T.S.

DRAG BEAM CONNECTION SCHEDULE				
BEAM SIZE	NUMBER OF 1"Ø A490-SC BOLTS		CONNECTION PLATE	
	ROW 1	ROW 2	PLATE THICKNESS "t"	PLATE HEIGHT "h"
W12x	2	2	5/8"	9"
W14x	3	2	5/8"	11"
W16	4	2	5/8"	13"
W18x	4	4	3/4"	13"
W21x	5	4	3/4"	16"
W24x65	6	4	3/4"	19"
W24x62	6	4	3/4"	19"
W24x68	6	4	1 1/4"	19"
W24x76	6	4	1 1/4"	19"
W24x84	6	6	1 1/2"	19"
W24x94	6	6	1 5/8"	19"
W27x	7	5	1 5/8"	22"

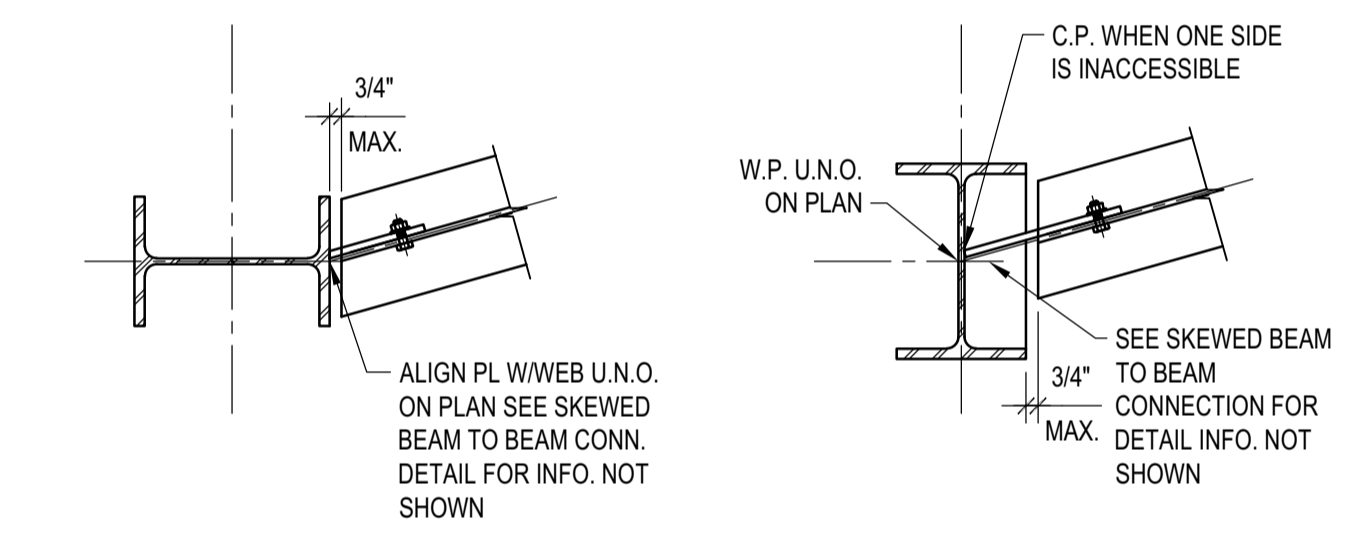
DRAG BEAM CONNECTION SCHEDULE



DRAG BEAM TO COL. WEB CONN.



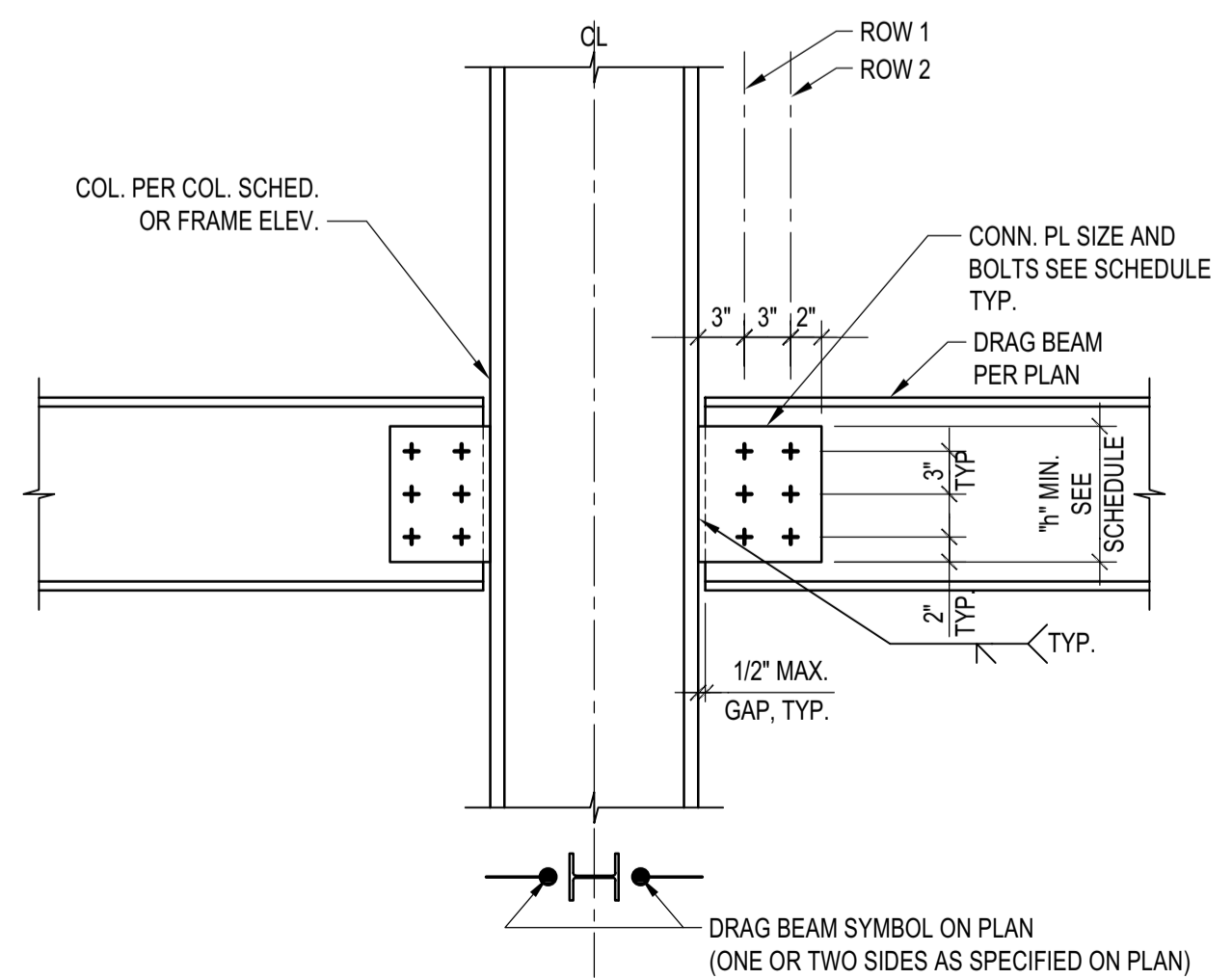
DRAG BEAM TO BEAM CONNECTION



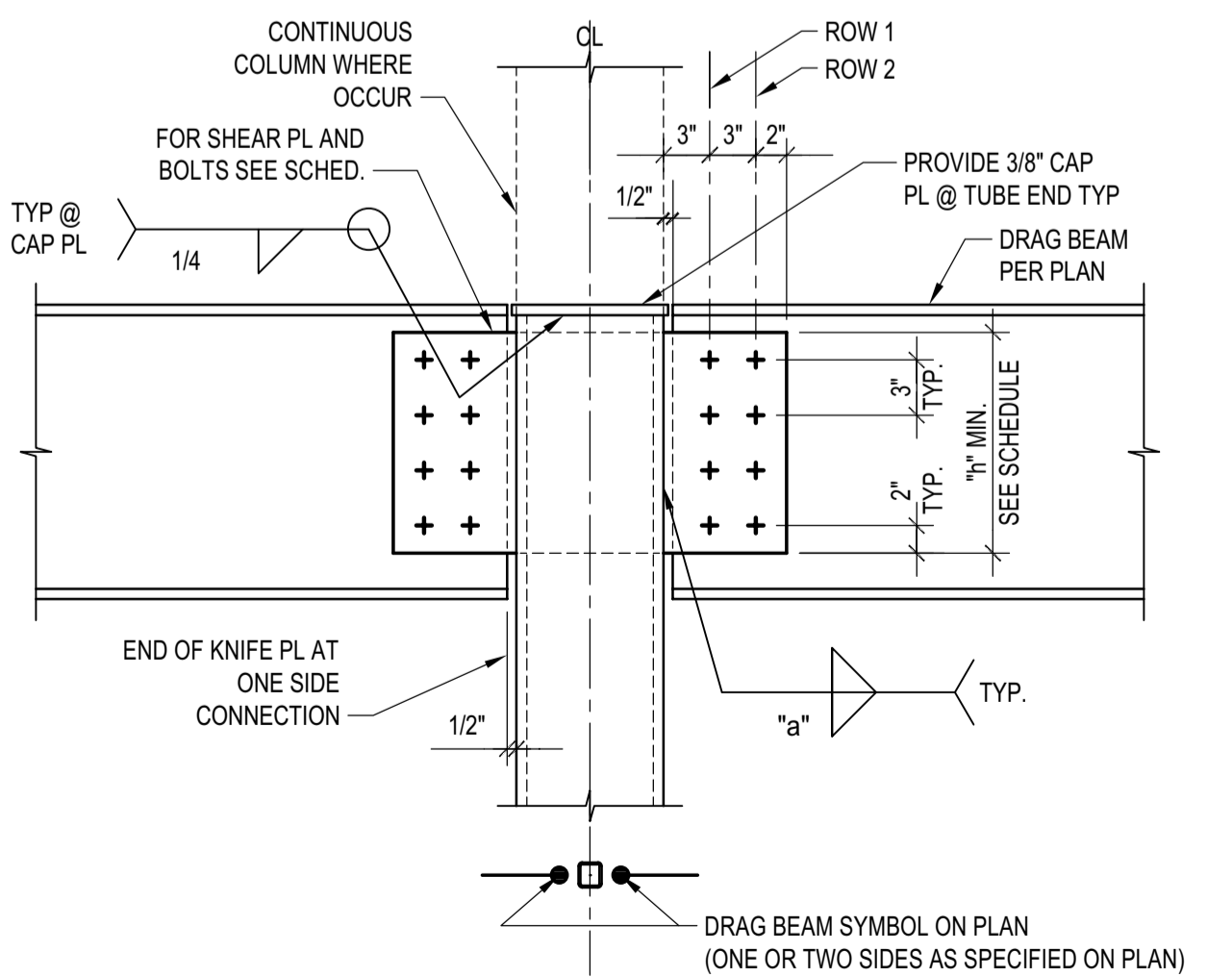
SKewed BEAM TO COLUMN CONN.

- NOTES:
 1. ALL FILLET WELD SIZES SHOWN ARE MINIMUM WELD SIZE. WHERE WELD SIZE SHOWN ARE SMALLER THAN AWS MINIMUM WELD SIZE, AWS MINIMUM WELD SIZE SHALL BE USED.
 2. ALL CONN PL. SHALL BE A572, GRADE 50
 3. FIELD WELD CONNECTION PLATES WHERE (N) MEMBERS CONNECT TO (E) MEMBERS.
 4. USE STD. HOLES @ STEEL BEAM & SHEAR PL. TYP.

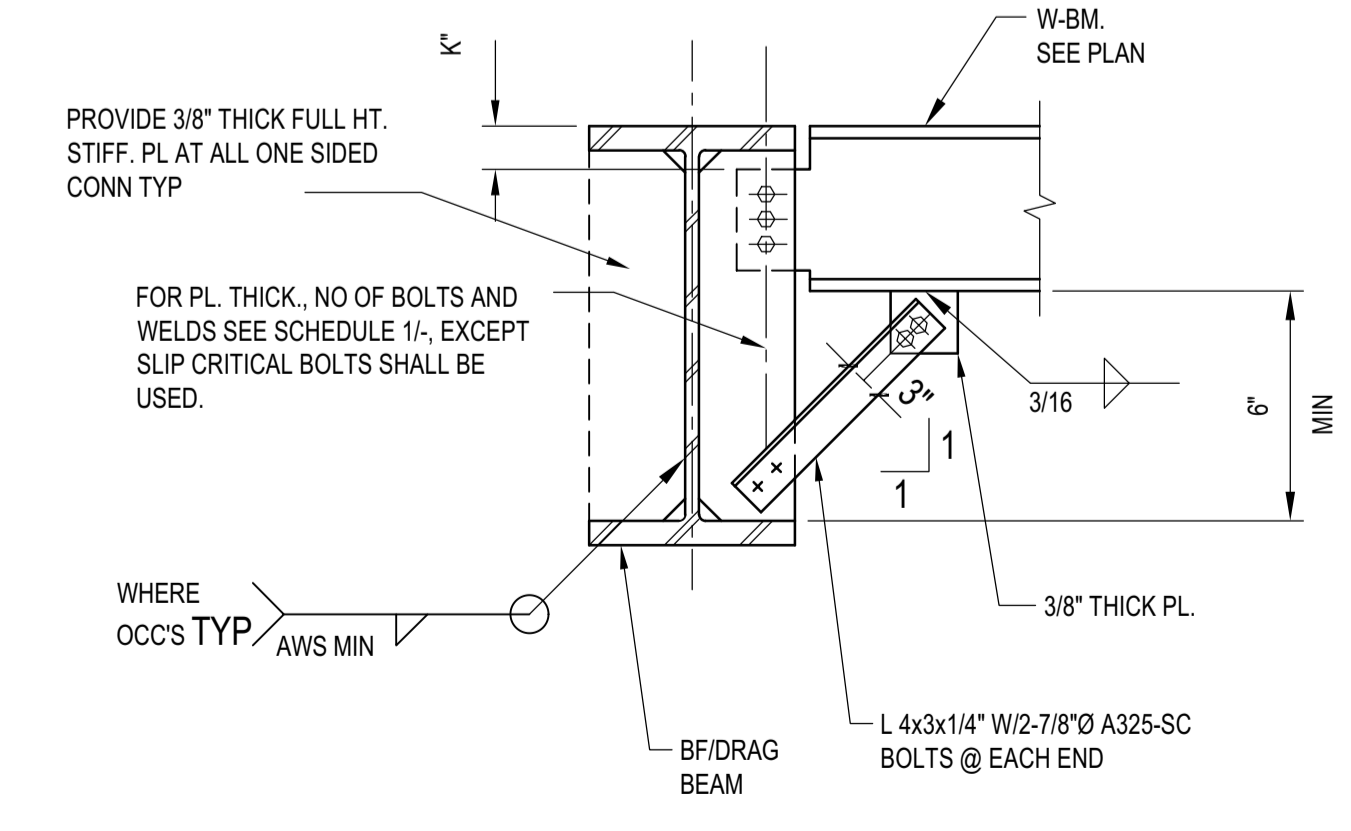
DRAG BEAM CONNECTION NOTES



DRAG BEAM TO COL. FLANGE CONN.



DRAG BEAM TO TS COLUMN



BEAM TO BRACED BEAM CONN.
 SCALE: N.T.S.

TYPICAL DRAG BEAM CONNECTIONS
 SCALE: N.T.S.

BADGER RESIDENCE

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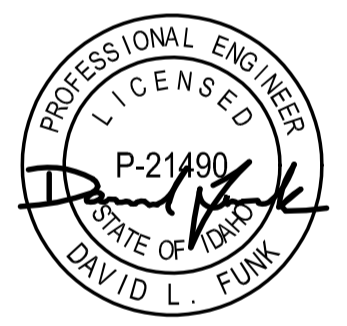
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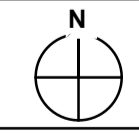
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 NO DATE ISSUE

PROJECT:
BADGER RESIDENCE
 121 BADGER LANE
 KETCHUM, ID 83340

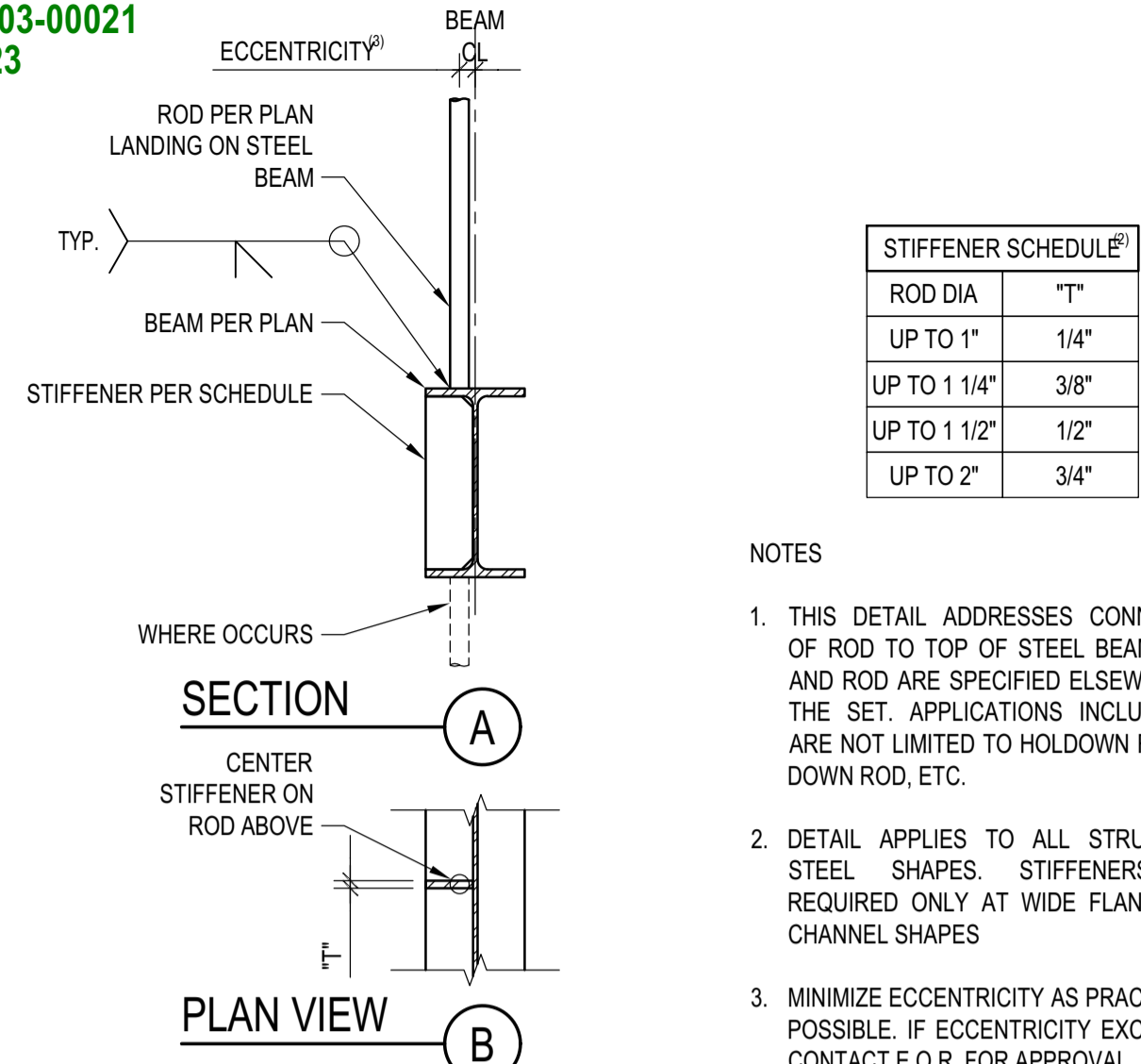
PROJECT NUMBER
#2201

DRAWING TITLE:
TYPICAL DETAILS - STEEL

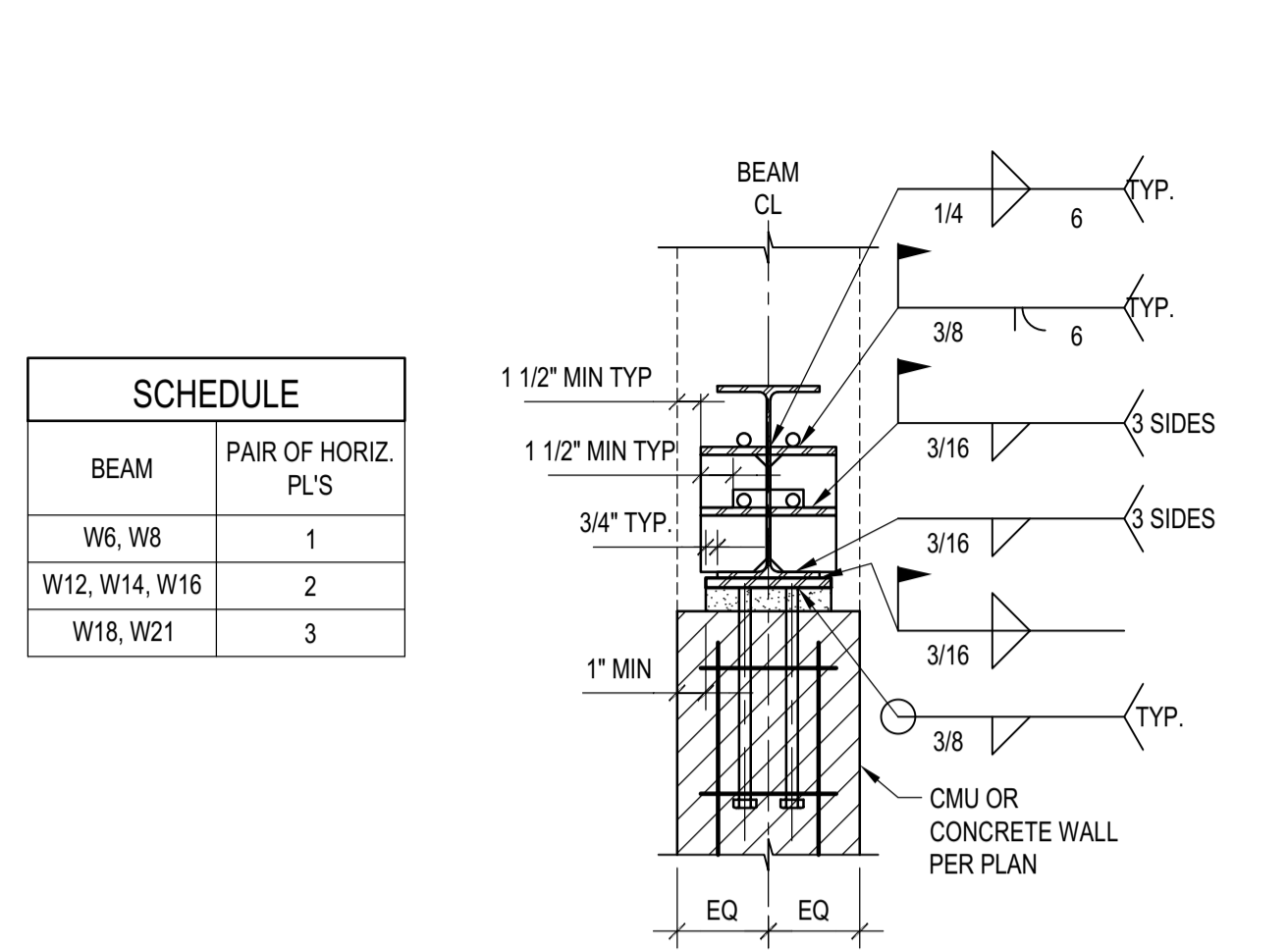
DRAWING NUMBER:
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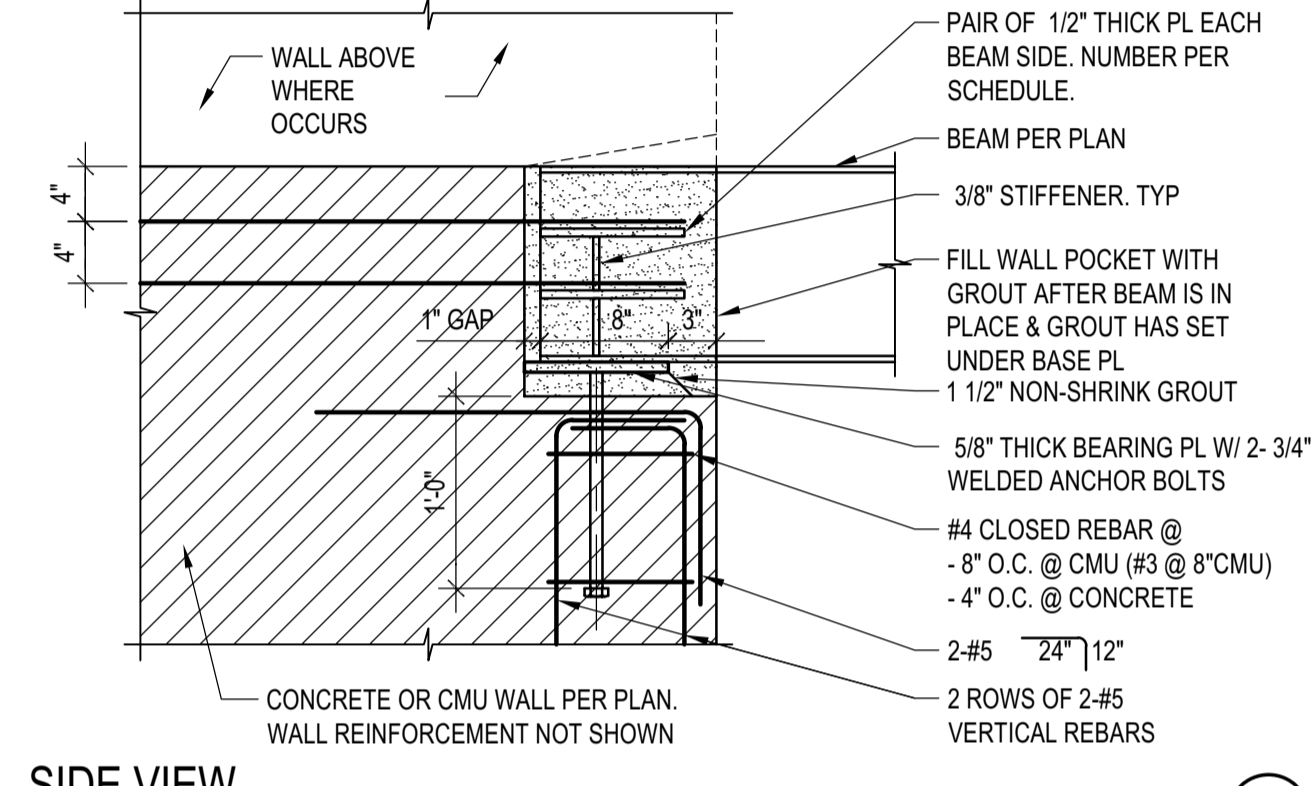
BLD2303-00021
 06/26/23



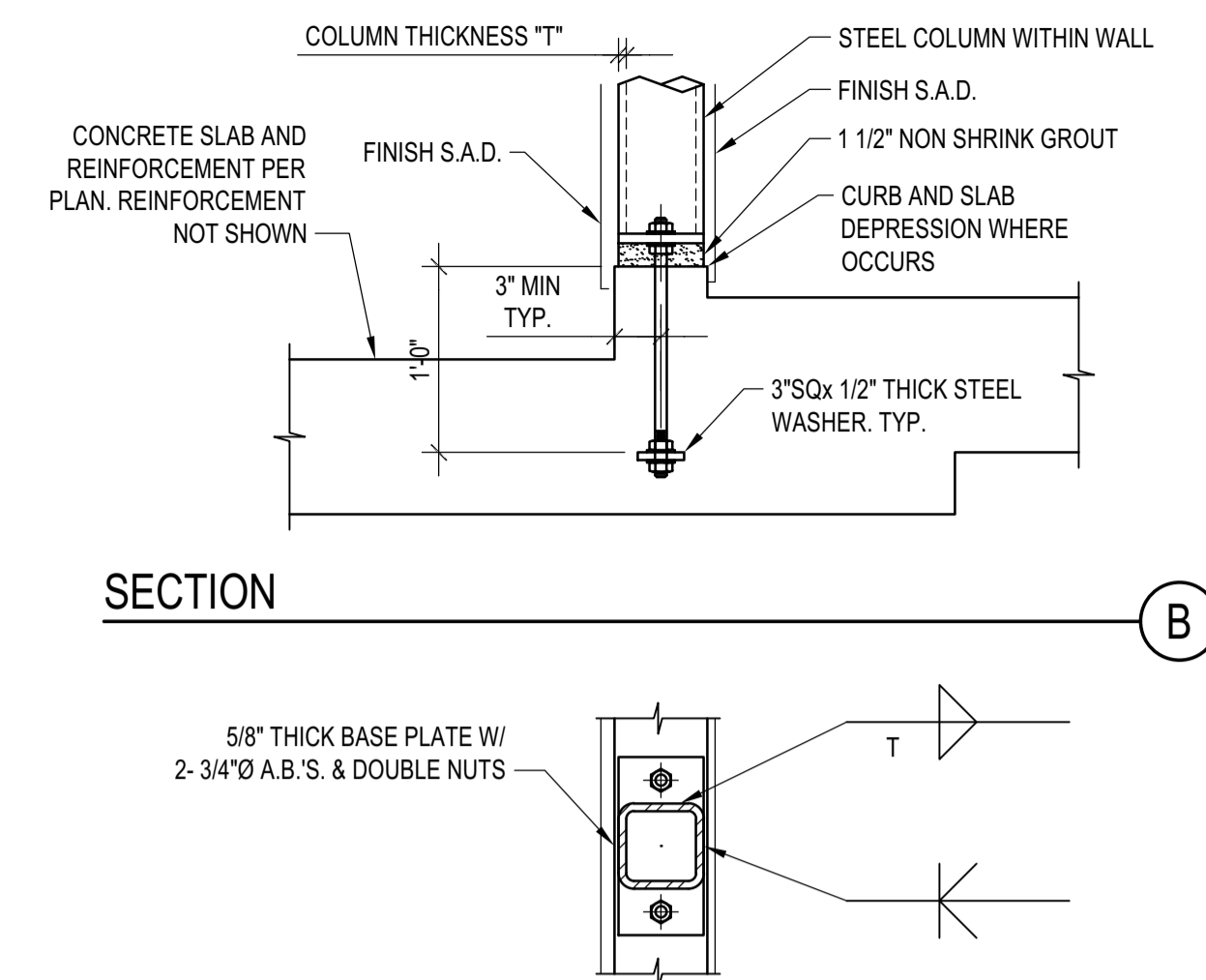
ROD CONNECTED TO STEEL BEAM
 SCALE: N.T.S.



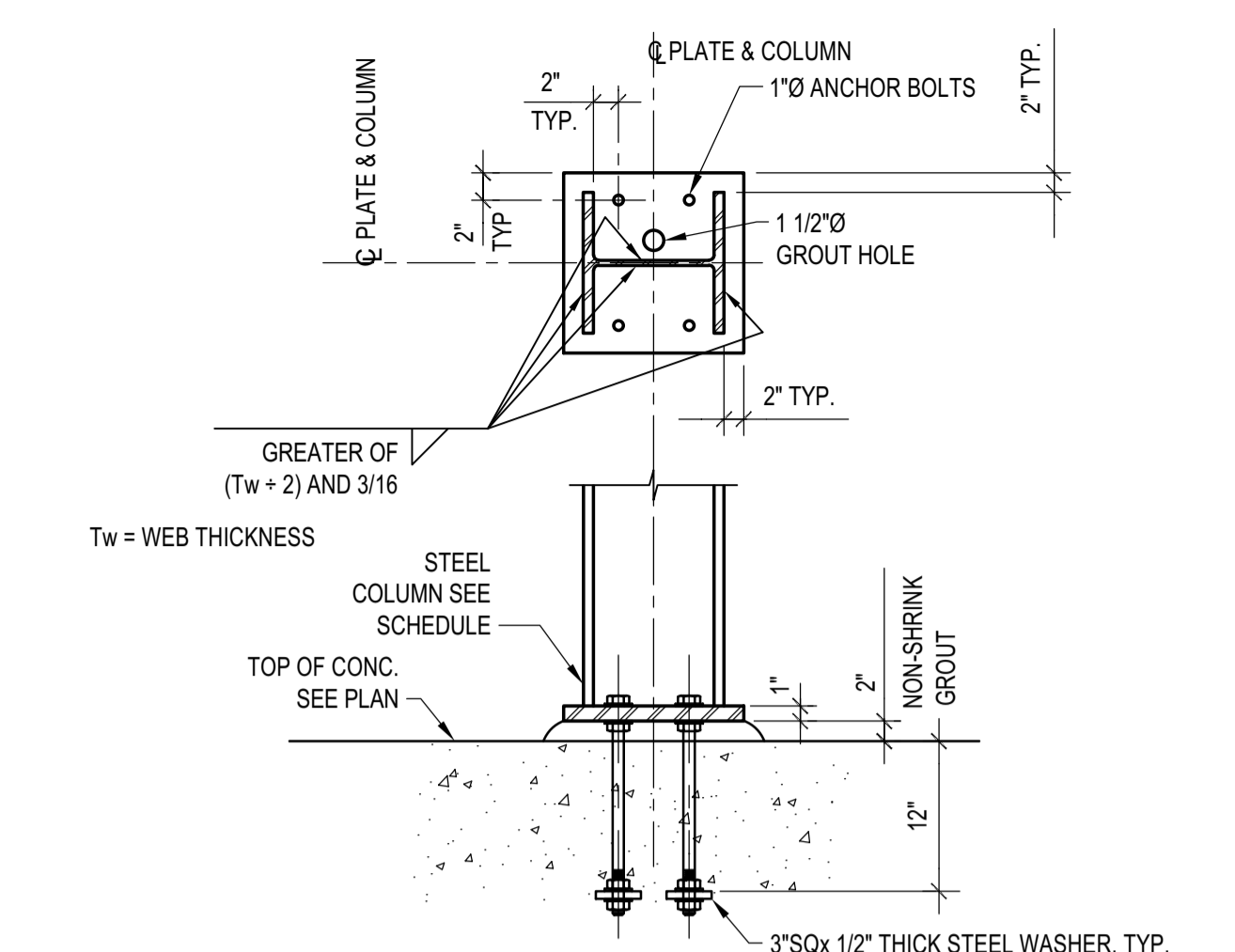
SCHEDULE FRONT VIEW



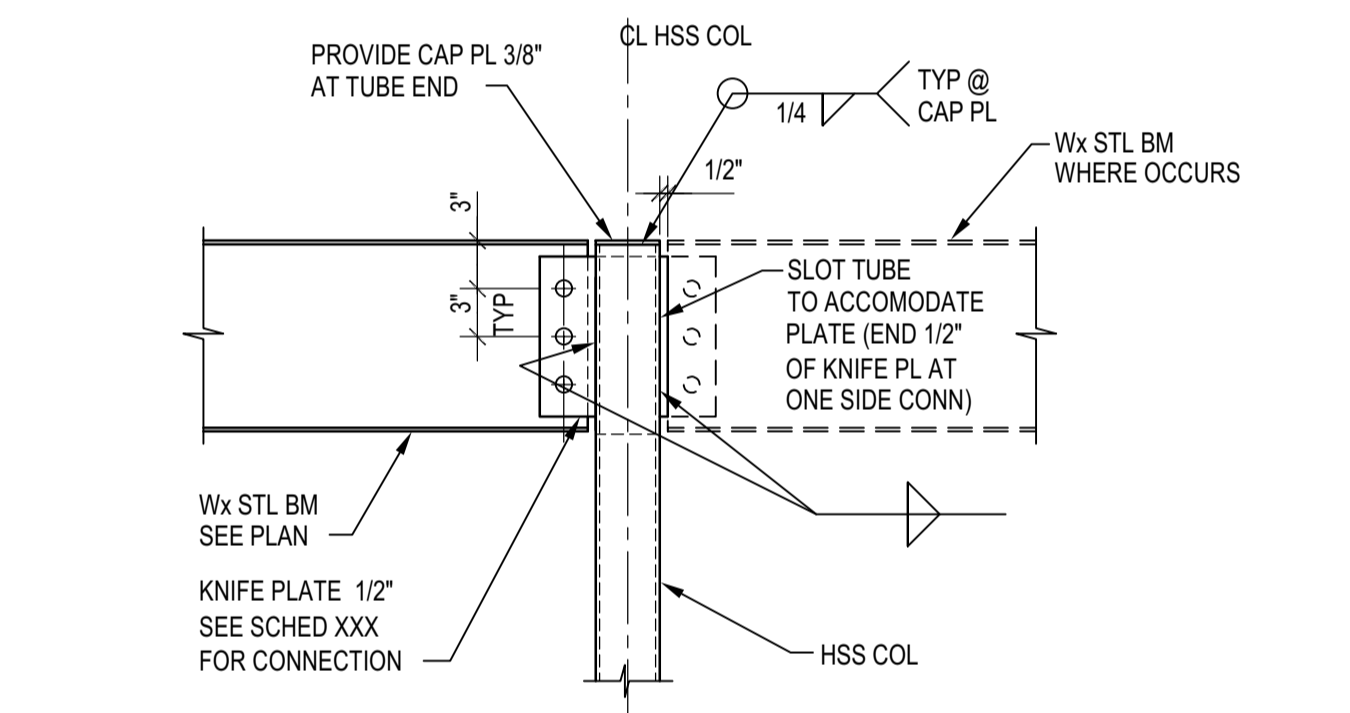
STEEL BEAM PARALLEL TO CONC. OR CMU WALL CONNECTION
 SCALE: N.T.S.



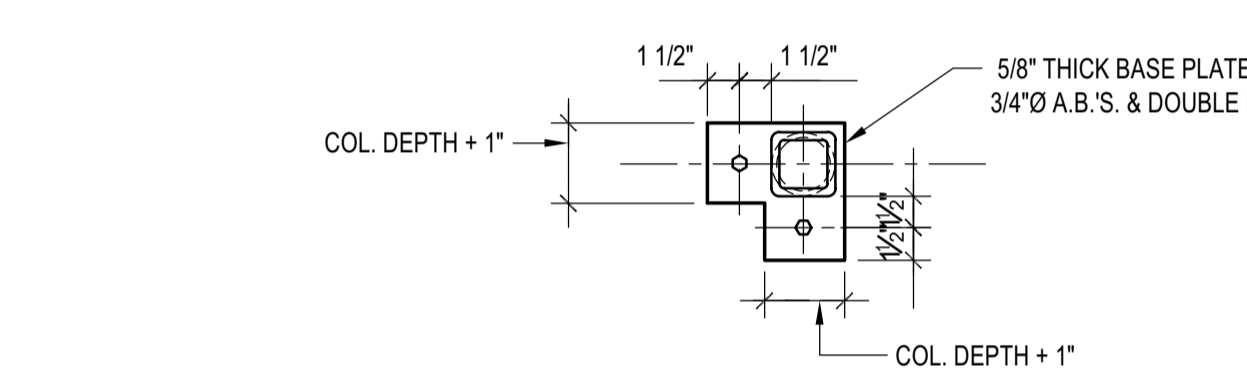
B. PL ON PODIUM SLAB CURB
 SCALE: N.T.S.



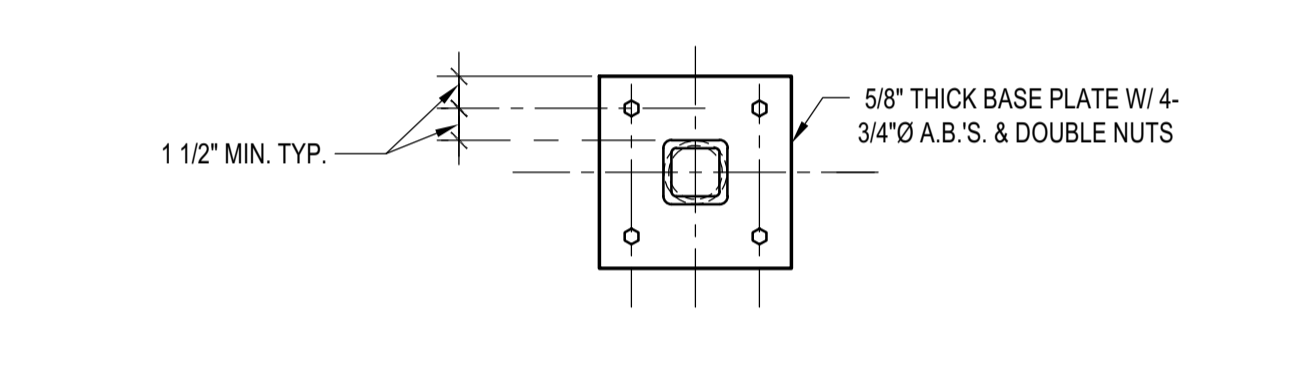
TYP. Wx BASE PLATE DETAIL
 SCALE: N.T.S.



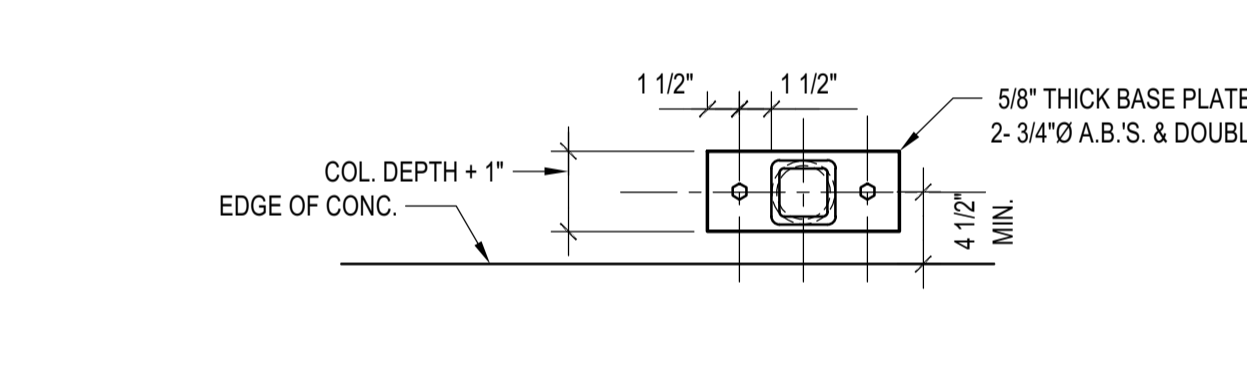
Wx BM TO HSS COLUMN CONNECTION DETAIL AT ROOF
 SCALE: N.T.S.



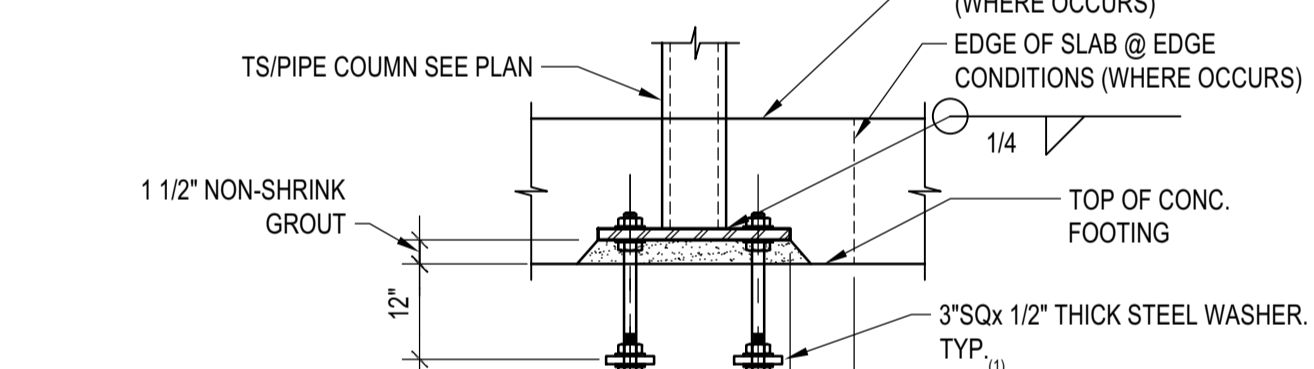
ISOLATED HSS-PIPE COL. BASE PL
 SCALE: N.T.S.



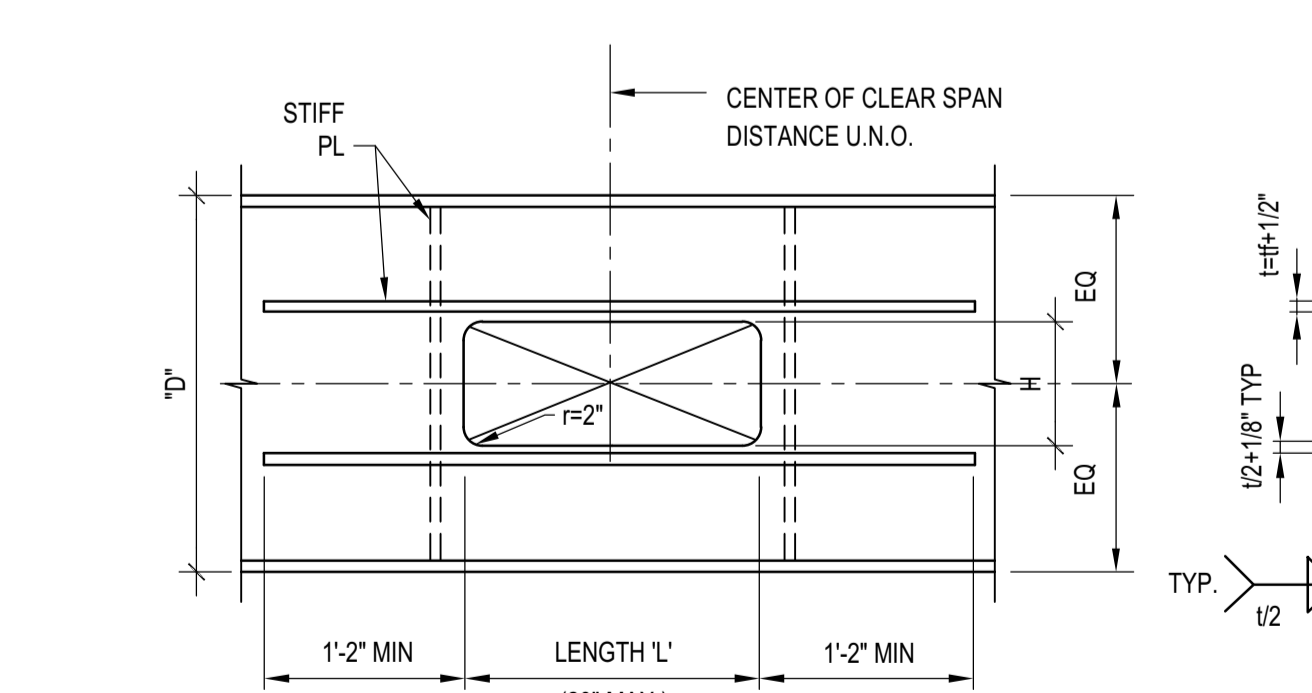
PLAN AT INTERIOR WALL CONDITIONS



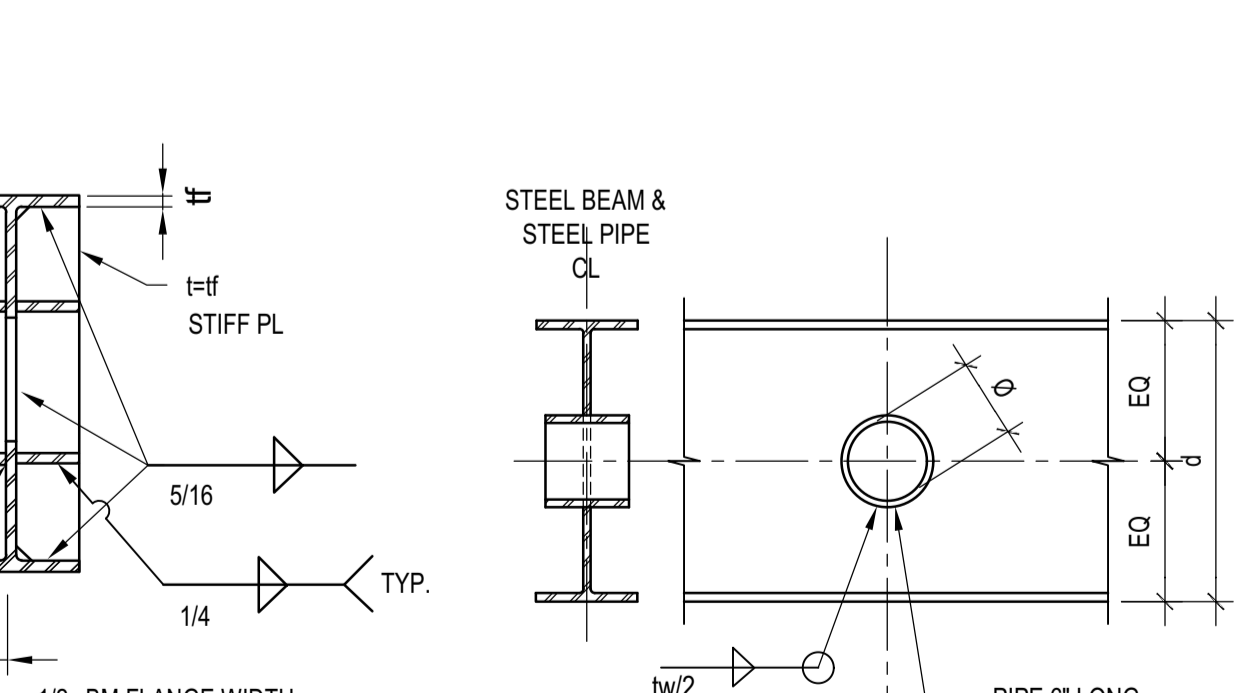
PLAN AT EXTERIOR WALL CONDITIONS



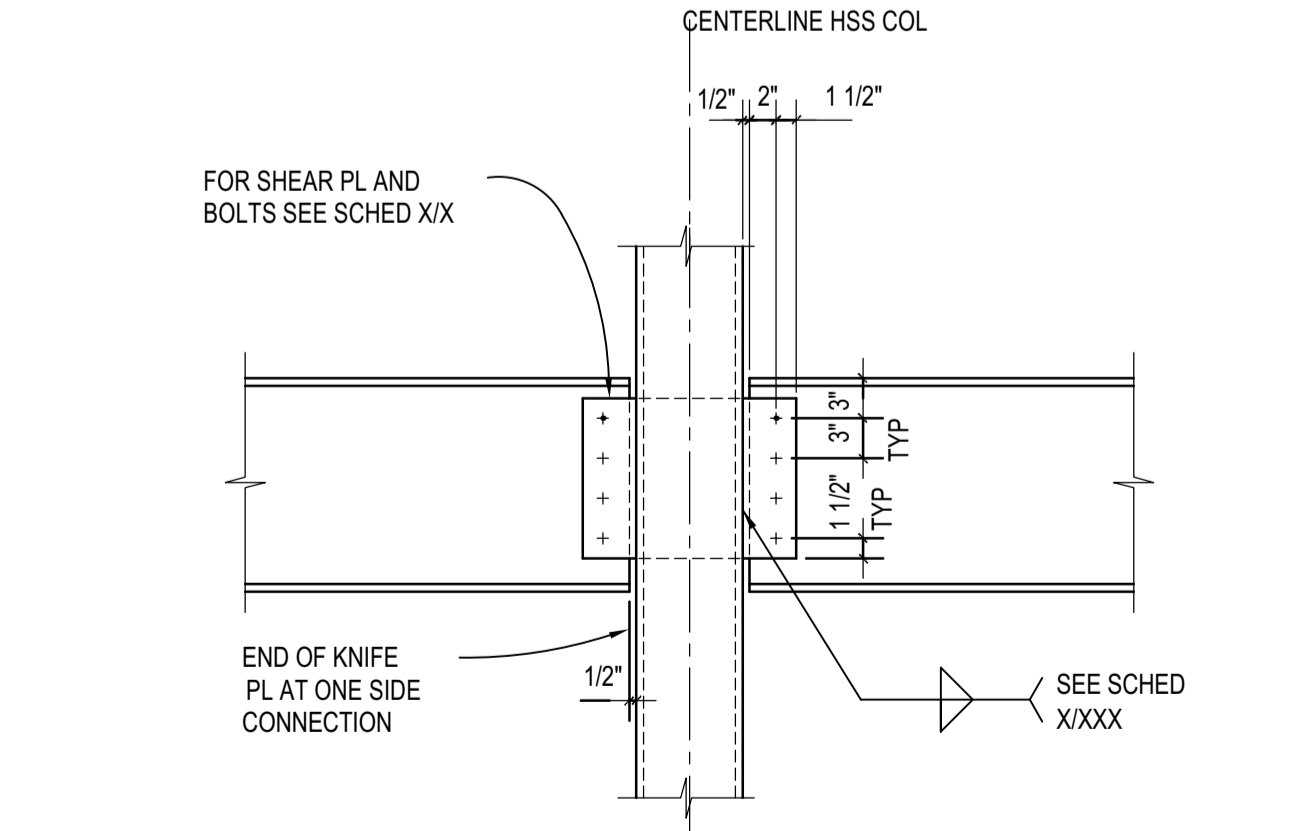
ELEVATION



RECTANGULAR OPENING



CIRCULAR OPENING



Wx BEAM TO HSS COL. CONN. DETAIL
 SCALE: N.T.S.

NOTE: MAX "h" = D/2 OR 10" WHICHEVER IS SMALLER

NOTE: $\phi < 6"$ OR $d/3$ WHICHEVER IS SMALLER

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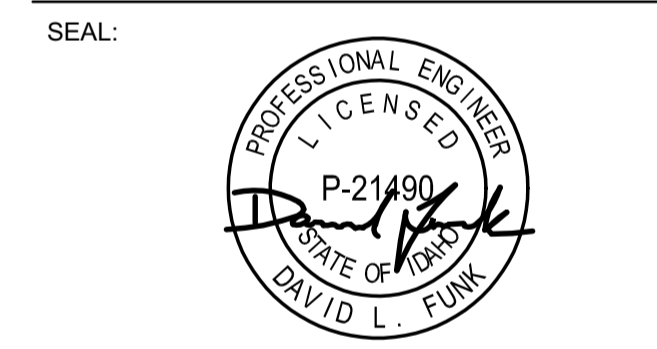
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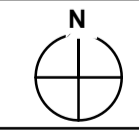
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 NO DATE ISSUE

PROJECT:
BADGER RESIDENCE
 121 BADGER LANE
 KETCHUM, ID 83340

PROJECT NUMBER
#2201

DRAWING TITLE:
TYPICAL DETAILS - STEEL

DRAWING NUMBER:
S-023



OWNER:
121 BADGER LANE LLC
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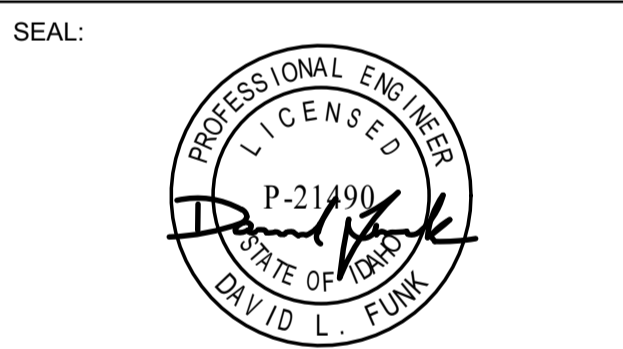
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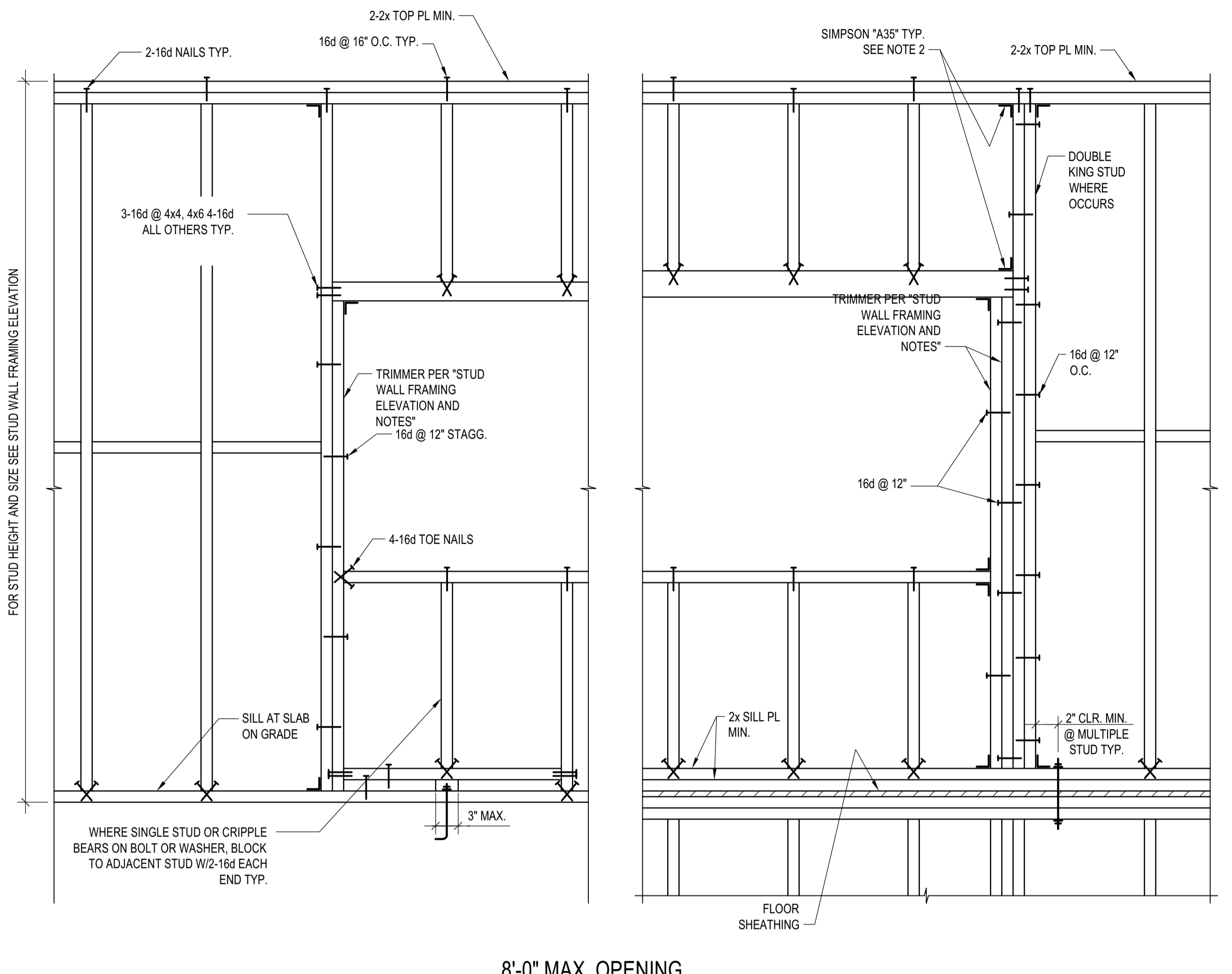
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PROJECT:
BADGER RESIDENCE
 121 BADGER LANE
 KETCHUM, ID 83340

PROJECT NUMBER
#2201

DRAWING TITLE:
TYPICAL DETAILS - STEEL

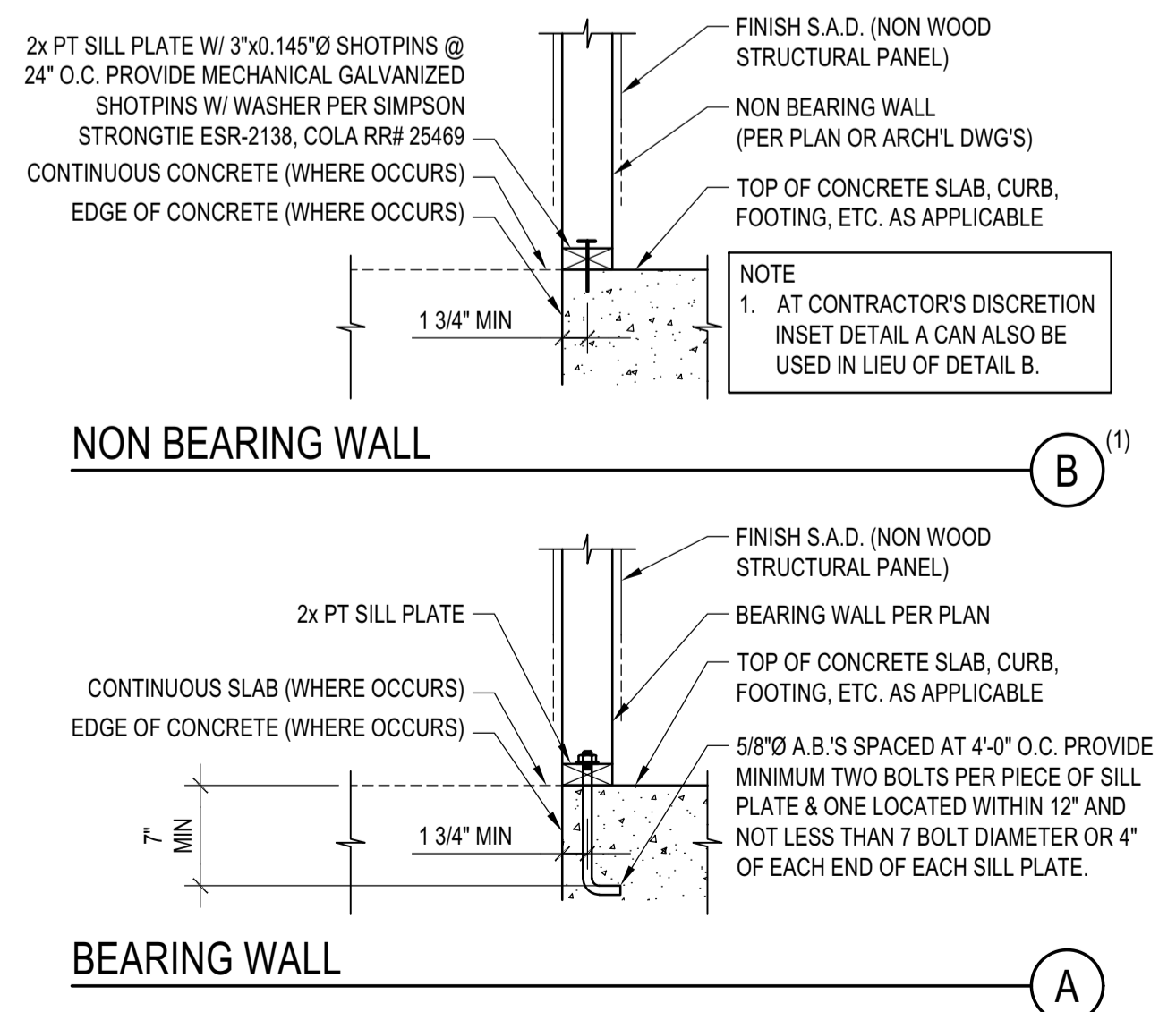
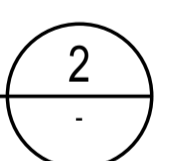
DRAWING NUMBER:
S-031



- NOTES:
- SEE 'STUD WALL FRAMING ELEVATION AND NOTES' FOR MINIMUM HEADER SIZES, AND MINIMUM NUMBER AND SIZE OF TRIMMERS AND KING STUDS.
 - A35 CLIPS CAN BE OMITTED AT INTERIOR WALLS

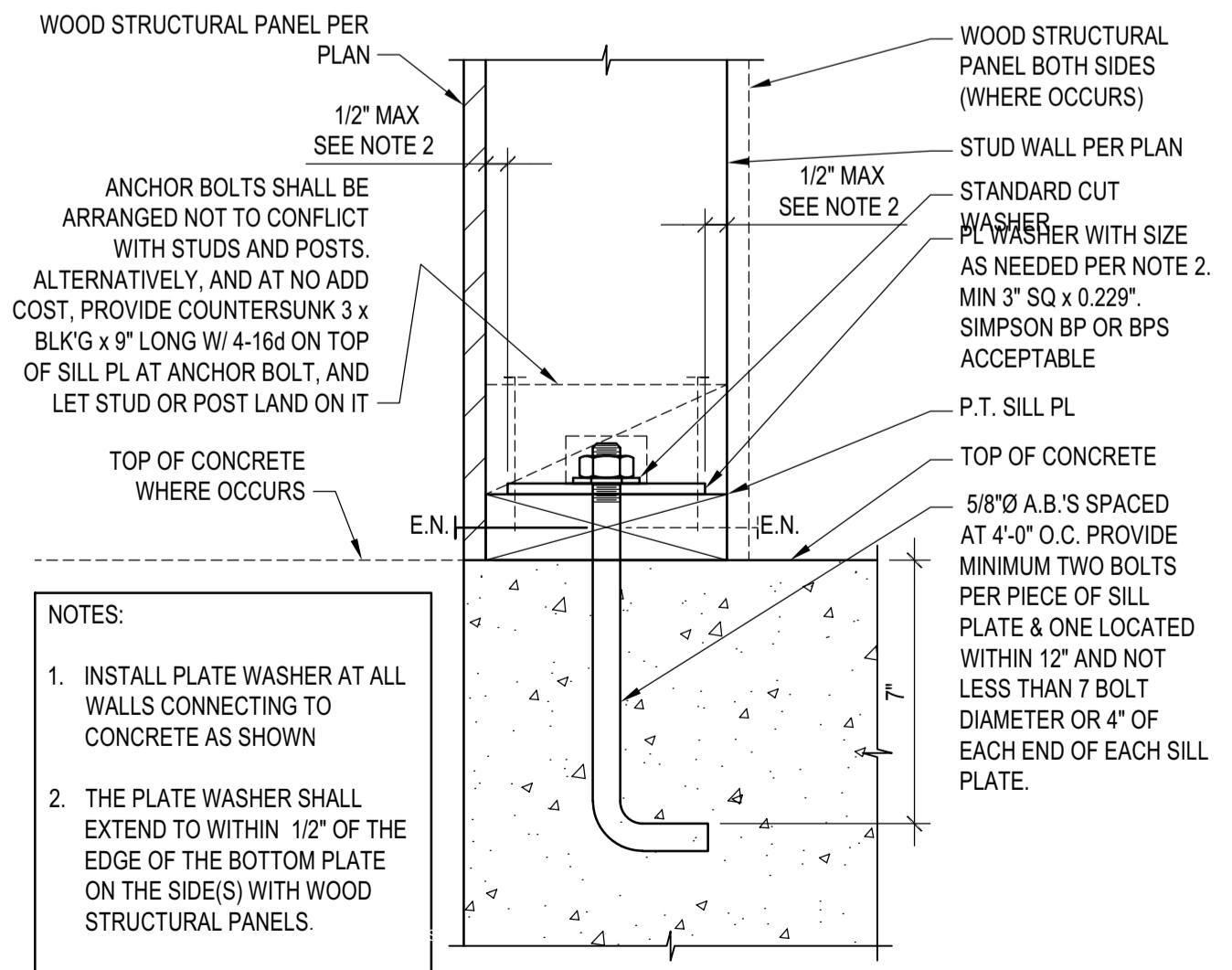
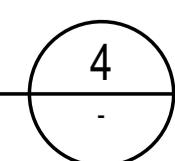
TYP. STUD WALL OPENING FRAMING

SCALE: N.T.S.



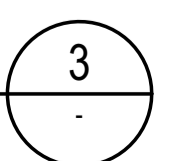
BASE DETAIL @ NON SHEAT'D WALL

SCALE: N.T.S.



BASE DETAIL @ SHEATHED WALL OTHER THAN SHEAR WALLS

SCALE: N.T.S.



TYP. TRIMMER & KING STUDS SCHEDULE AT BEARING HEADERS

OPENING WIDTH	U.N.O.	
	INTERIOR	EXTERIOR
<= 6'-0"	(1)-TRIMMER (1)-KING STUD	(1)-TRIMMER (1)-KING STUD
> 6'-0"	-	(2)-TRIMMER (2)-KING STUD

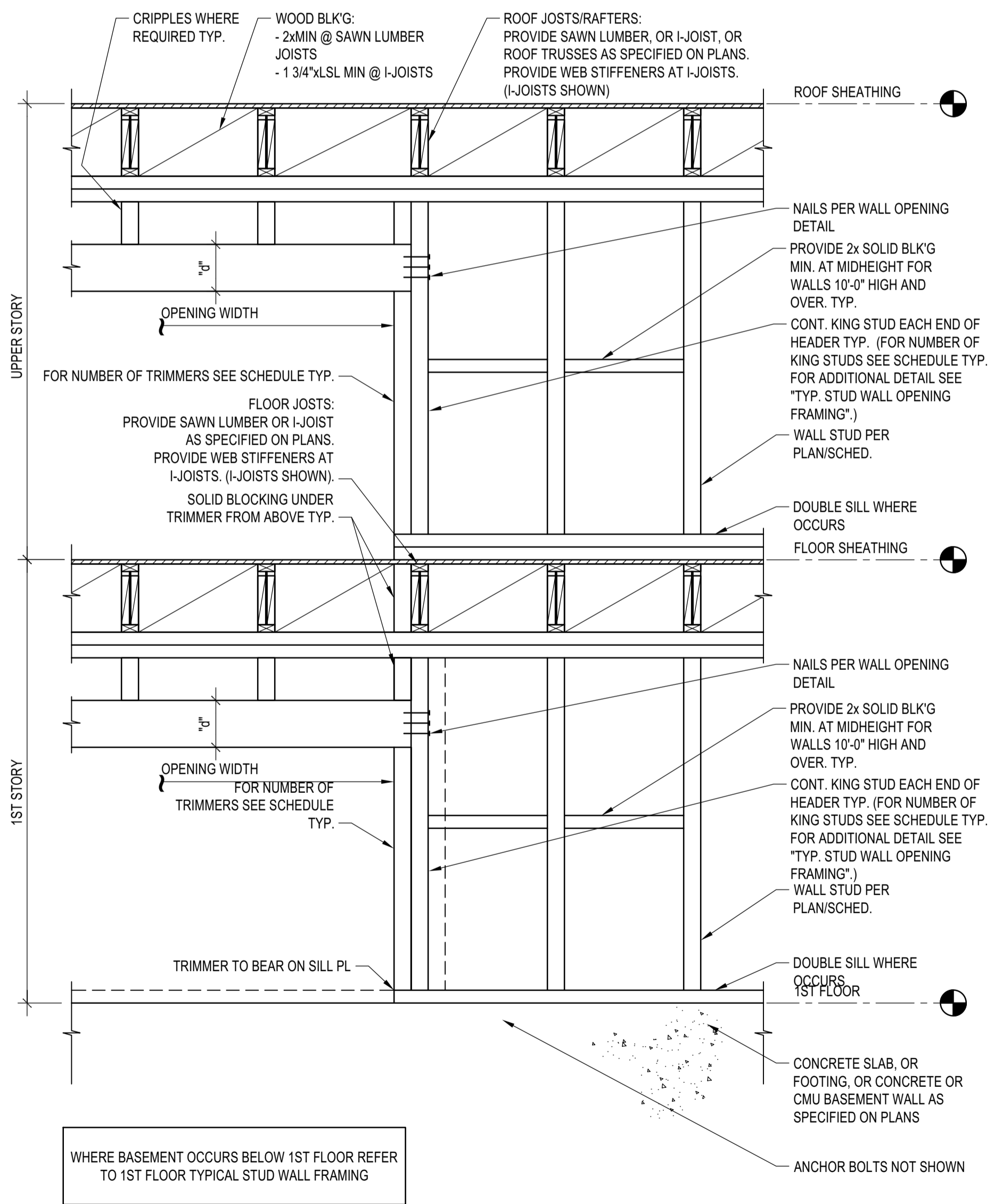
* FOR ALL INTERIOR HEADERS SUPPORTING ROOF + 3 LEVELS OR MORE, ADD ONE ADDITIONAL KING STUD TO THE SCHEDULE ABOVE.

TYP. MINIMUM NON-BEARING HEADER SCHEDULE U.N.O.

WIDTH OF OPENING	U.N.O.		
	EXTERIOR	INTERIOR (4x WALL)	INTERIOR (6x WALL)
4'-0"	6x6	4x4(2)-2x4	6x6
6'-0"	6x6	4x4(2)-2x4	6x6
8'-0"	6x6	4x6(2)-2x6	6x6

TYP. MINIMUM BEARING HEADER SCHEDULE U.N.O.

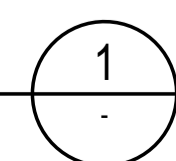
WIDTH OF OPENING	U.N.O.								
	EXTERIOR			INTERIOR - 4x WALL			INTERIOR - 6x WALL		
	ROOF	FLOOR	PUBLIC AREA	ROOF	FLOOR	PUBLIC AREA	ROOF	FLOOR	PUBLIC AREA
4'-0"	6x6	6x6	6x8	4x6(2)-2x6	4x8(2)-2x8	4x10(2)-2x12	6x6	6x8	6x10
6'-0"	6x6	6x8	6x10	4x8(2)-2x8	4x10(2)-2x12	4x12	6x8	6x10	6x12
8'-0"	6x8	6x10	6x12	-	-	-	-	-	-

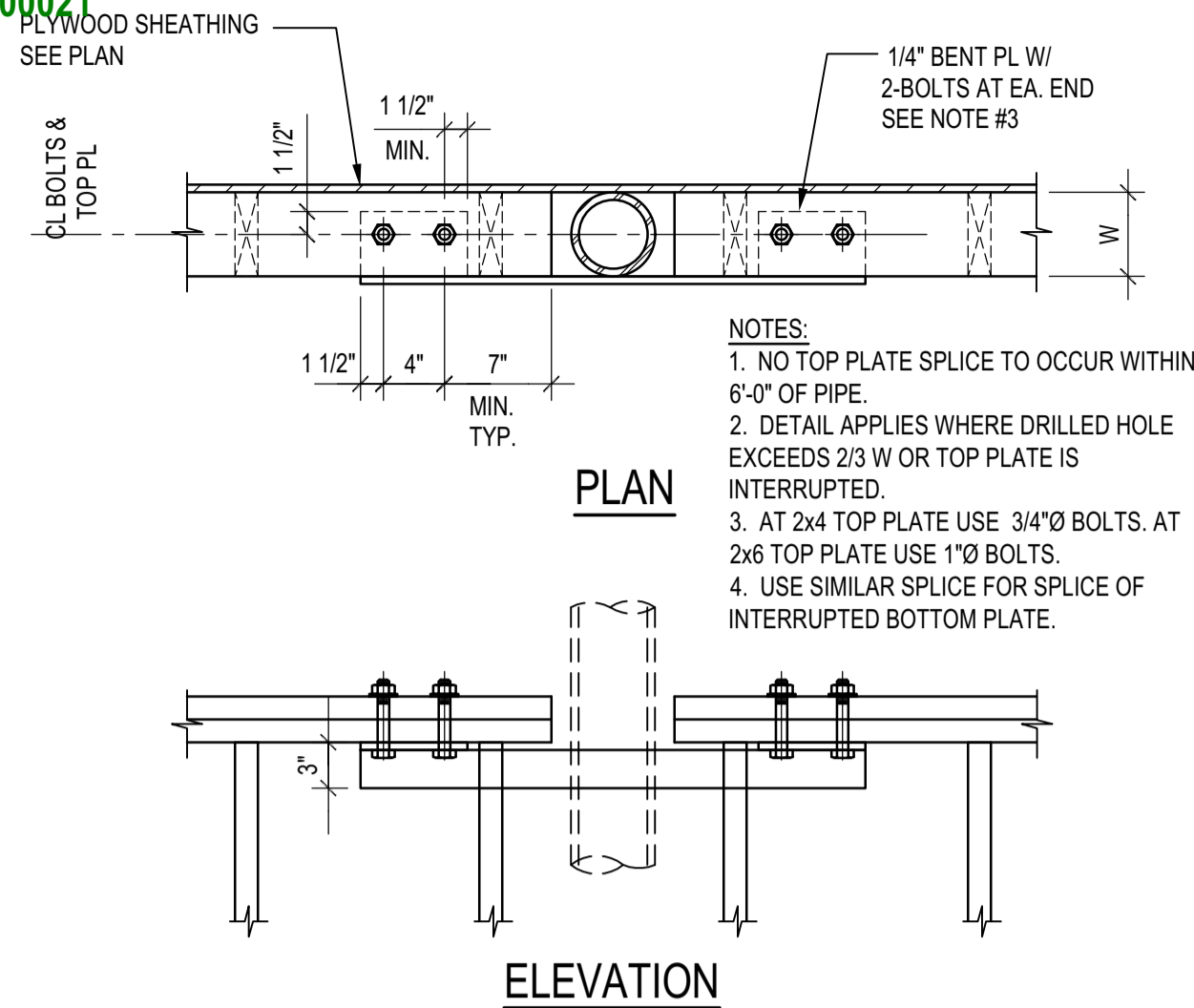


- NOTES:
- SEE PLANS FOR SPECIAL FRAMING REQUIREMENTS. PLATFORM FRAMING SHALL BE PROVIDED UNLESS BALLOON FRAMING IS EXPLICITLY CALLED OUT ON THE PLANS
 - HEADER SIZES SHOWN IN SCHEDULES ABOVE ARE MINIMUM HEADER SIZES, SEE PLANS FOR WHERE LARGER HEADER SIZES ARE REQUIRED.
 - STUD HEIGHT LIMITATIONS:
 2x4 AT 16" O.C. NOT TO EXCEED 9 FEET.
 3x4 AT 16" O.C. NOT TO EXCEED 10 1/2 FEET.
 - IF CALLED OUT STUD SIZES AT ANY GIVEN FLOOR LEVEL EXCEED THESE LIMITATIONS, CONTACT STRUCTURAL ENGINEER FOR CLARIFICATION.
 - TRIMMERS TO BE SAME SIZE AS STUDS AS GIVEN FLOOR LEVEL UNLESS NOTED OTHERWISE. SEE PLANS FOR POSTS WHERE REQUIRED INSTEAD OF TRIMMERS.
 - NAIL TRIMMERS TOGETHER W/16d NAILS AT 12" O.C. STAGGERED EACH FACE.
 - SEE PLANS FOR SHEAR WALL FRAMING REQUIREMENTS.
 - FOR ACTUAL WALL WIDTH, SEE ARCHITECTURAL DRAWINGS.
 - ALIGN ROOF & FLOOR FRAMING WITH STUDS AS SHOWN.
 - PROVIDE (1)-TRIMMER AND (1)-KING STUD @ NON-LOAD BEARING HEADERS.

STUD WALL PLATFORM FRAMING ELEVATION

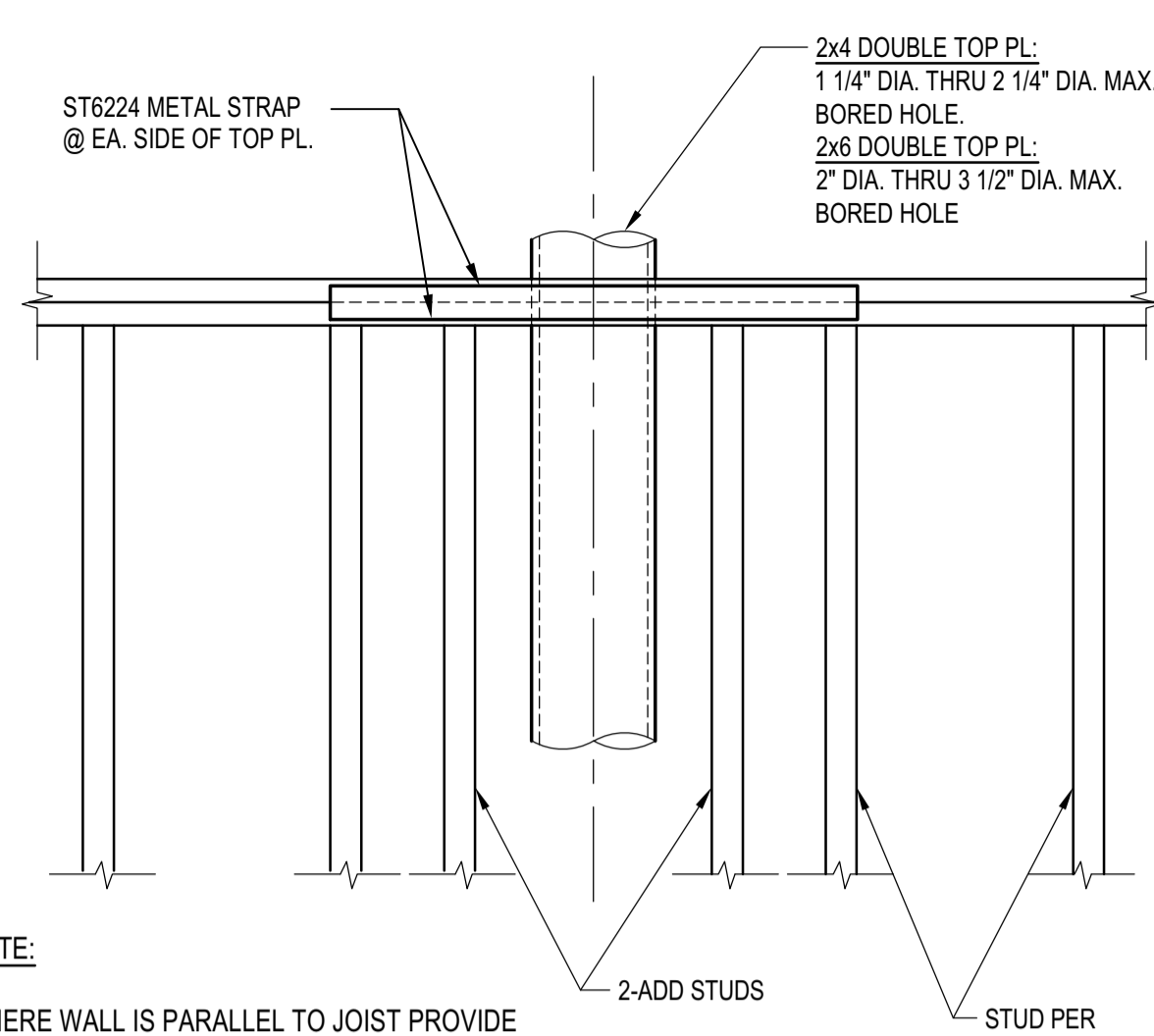
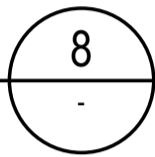
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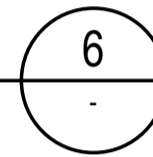
TYP. INTERRUPTED TOP/BOTT. PLATE SPLICE

SCALE: N.T.S.



SHEAR WALL WITH PIPE DETAIL

SCALE: N.T.S.

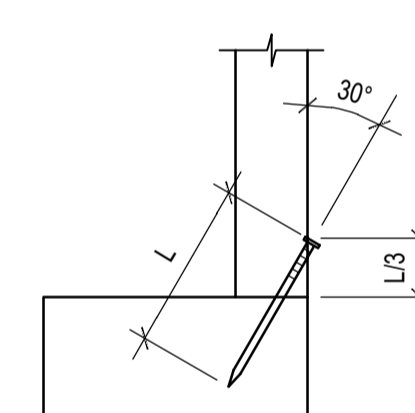


NAILING SCHEDULE (1)

CONNECTION	NAILING
POST TO PIER PAD, TOE NAIL	3-16d or 4-8d
GIRDER TO POST, TOE NAIL	3-16d or 4-8d
JOIST TO SILL OR GIRDER, TOE NAIL	3-8d
BRIDGING TO JOIST, TOE NAIL EACH END	2-8d
JOIST TO BLOCKING, END NAIL	16d T&B OF EACH JOIST
RIM JOIST TO JOISTS, END NAIL	16d T&B OF EACH JOIST
RIM JOIST TO SILL, TOE NAIL	16d @ 16" O.C.
FLOOR JOIST LAP @ BEARING, FACE NAIL	2-16d
SOLE PLATE TO JOIST OR BLOCKING, FACE NAIL	16d @ 16" O.C.
TOP PLATE TO STUD, END NAIL	2-16d
STUD TO SOLE PLATE	2-16d END NAIL, OR 4-8d TOE NAIL
DOUBLED STUDS, FACE NAIL	16d @ 24" O.C.
DOUBLE TOP PLATES, FACE NAIL	8-16d
DOUBLE TOP PLATES, LAP SPLICE	16d @ 16" O.C.
TOP PLATES, LAPS AND INTERSECTIONS, FACE NAIL	2-16d
BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE, TOENAIL	3-8d
RIM JOIST TO TOP PLATE, TOENAIL	8d @ 16" O.C.
CONTINUOUS HEADER, TWO PIECES	16d @ 16" O.C. ALONG EACH EDGE
CEILING JOIST TO PLATE, TOE NAIL	3-8d
CONTINUOUS HEADER TO STUD, TOE NAIL	4-8d
CEILING JOISTS, LAP OVER PARTITIONS, FACE NAIL	3-16d
CEILING JOIST TO PARALLEL RAFTER, FACE NAIL	3-16d
RAFTER TO RIDGE	3-8d
RAFTER TIES, 2" LUMBER, FACE NAIL	3-16d
RAFTER TIES, 1" LUMBER, FACE NAIL	5-8d
RAFTER TO PLATE, TOE NAIL	3-8d
1"x4" MIN. BRACE TO EACH STUD AND PLATE, FACE NAIL	2-8d
BUILT-UP CORNER STUDS	16d @ 24" O.C.

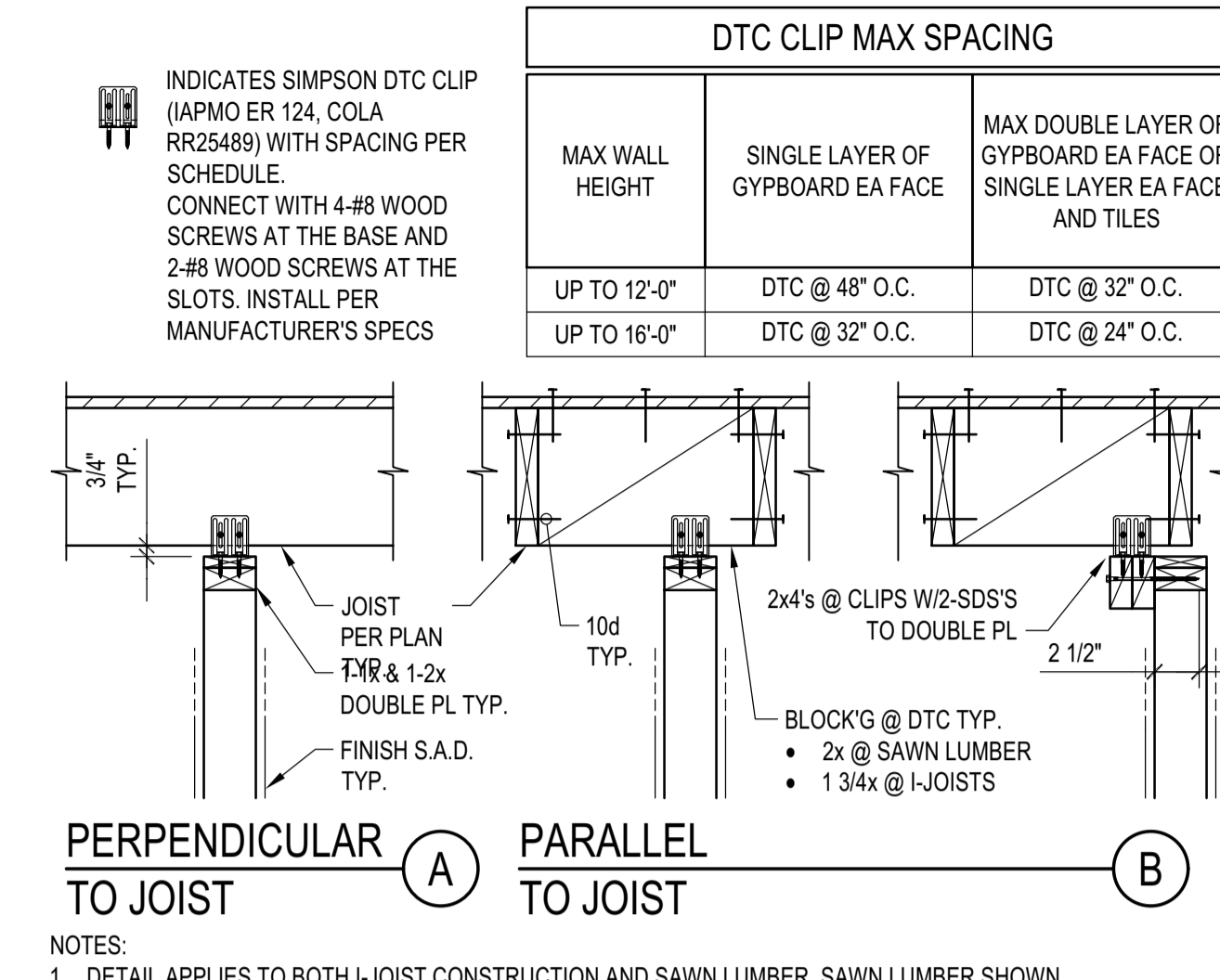
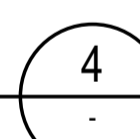
NOTES:
 1. ALTERNATIVELY, PROVIDE NAILING PER "FASTENING SCHEDULE" PER LATEST EDITION OF CALIFORNIA BUILDING CODE

SCHEDULE



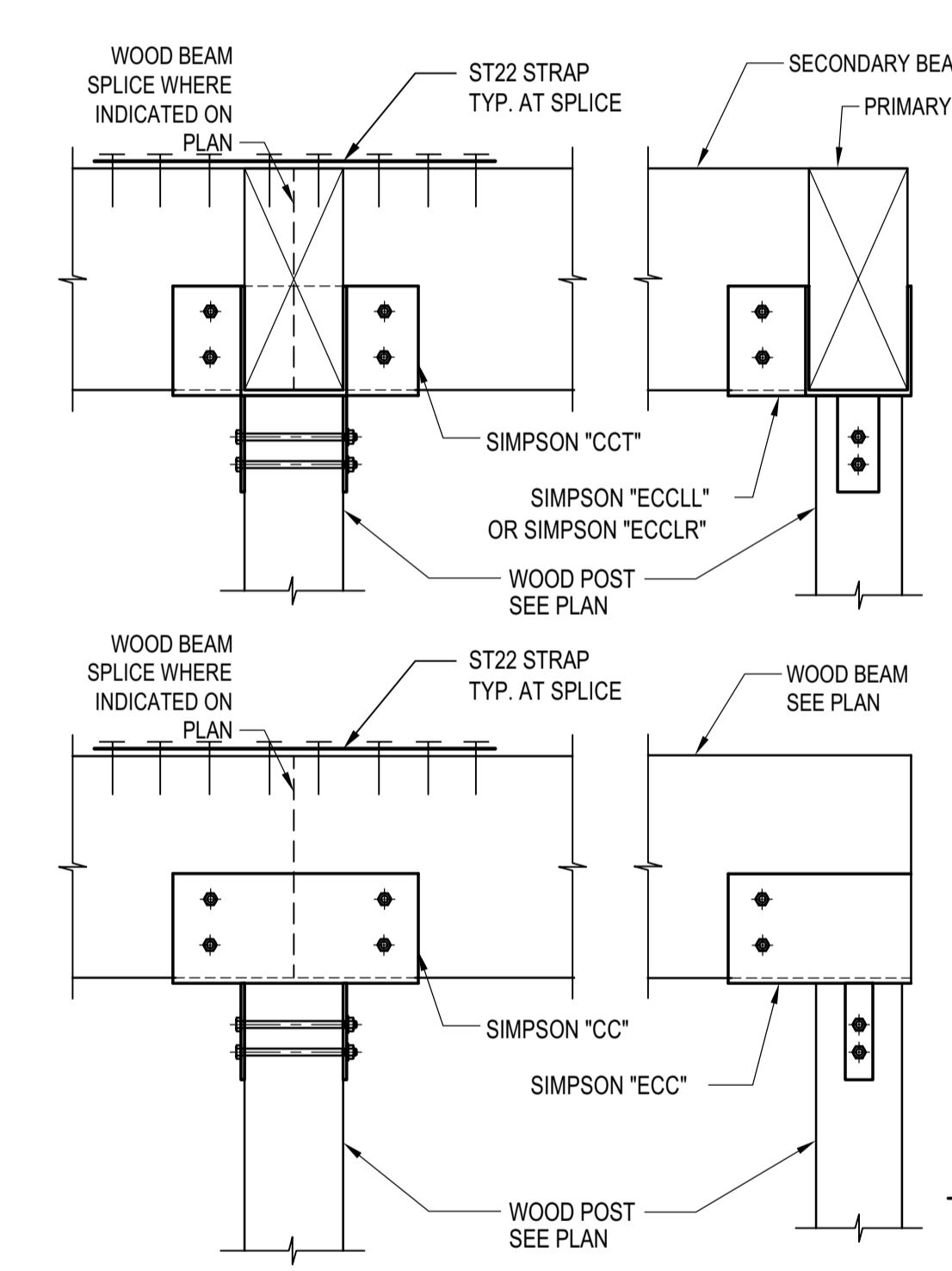
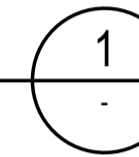
NAILING SCHEDULE

SCALE: N.T.S.



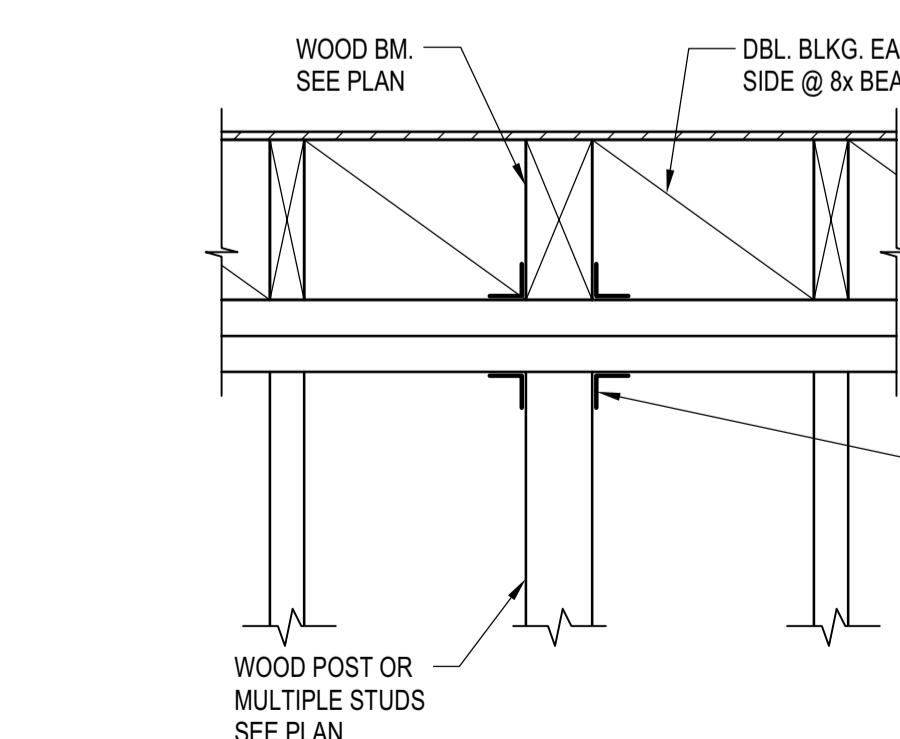
TOP CONN. NON BEARING WALL

SCALE: N.T.S.



ISOLATED POST

BEAM WITH DIFFERENT WIDTH



TYP. BEAM TO POST CONN. DETAIL

SCALE: N.T.S.

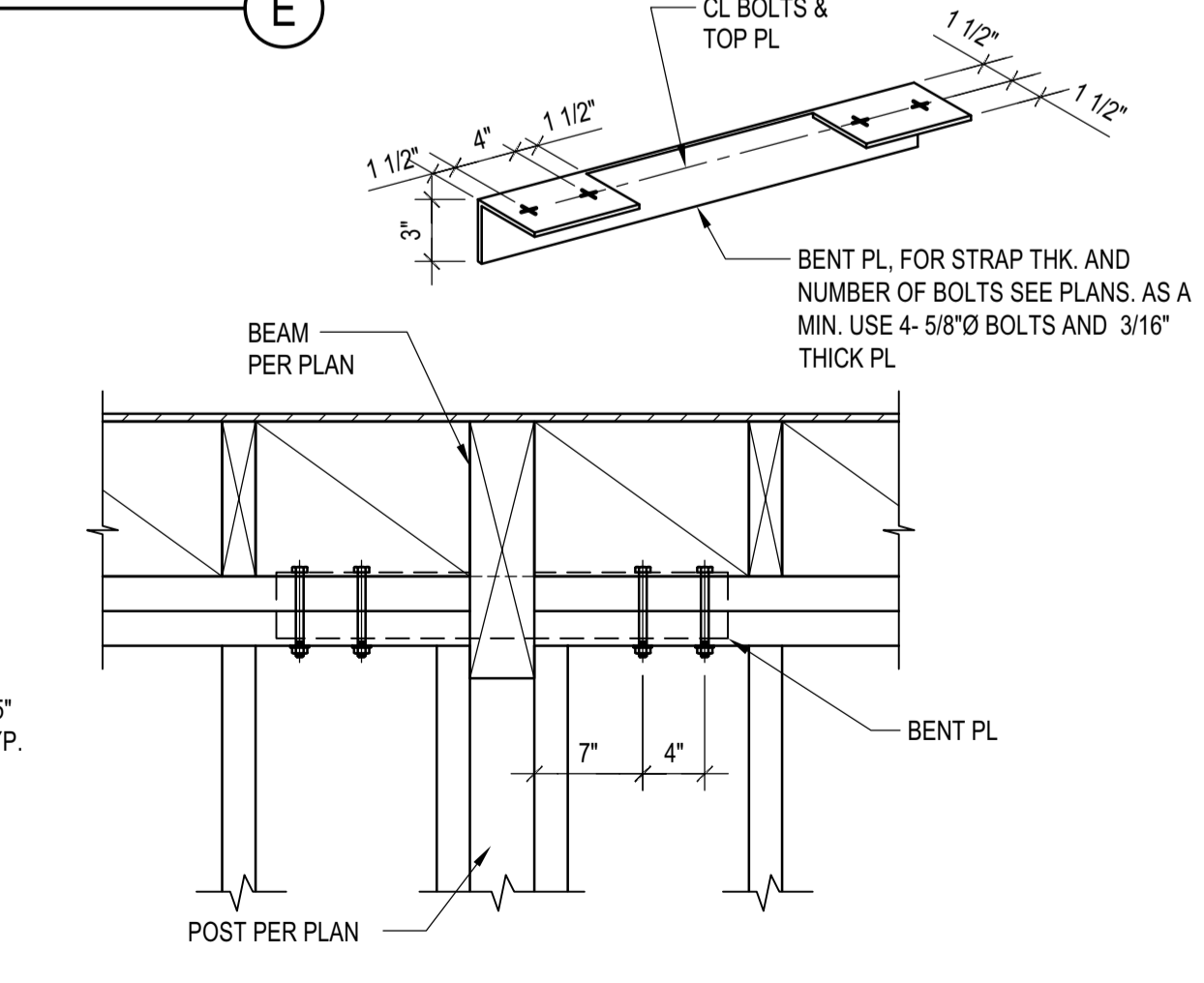
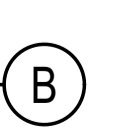
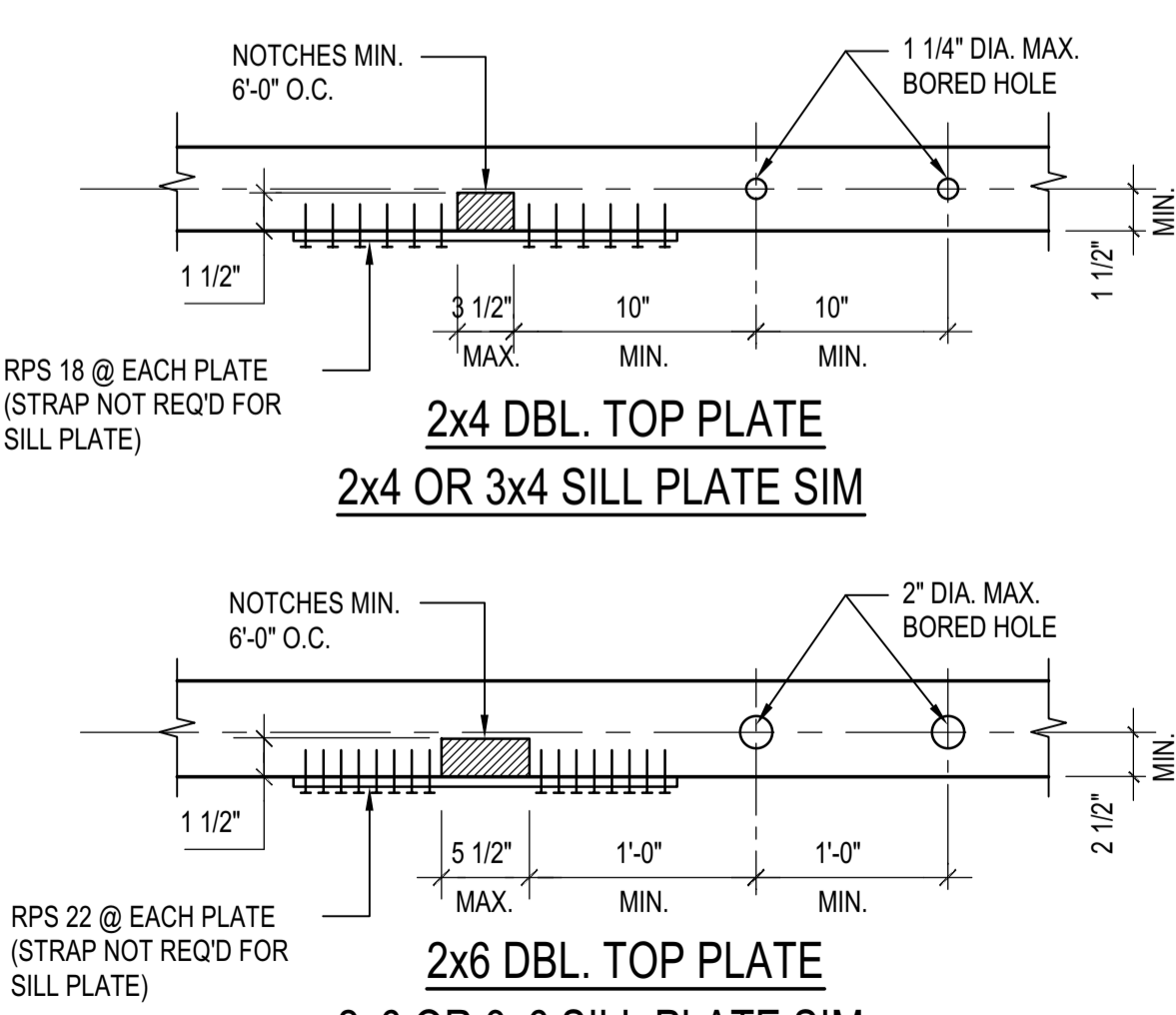
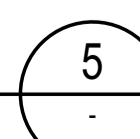
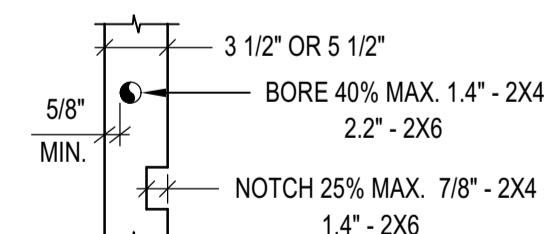


PLATE NOTCHING & BORING

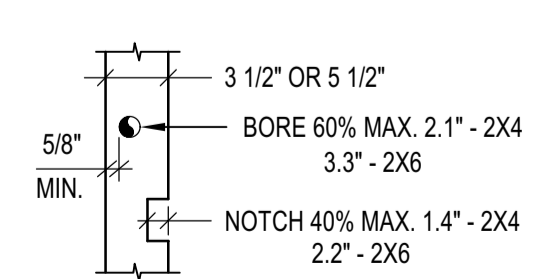
SCALE: N.T.S.



DOUBLE STUDS-BEARING OR NOT



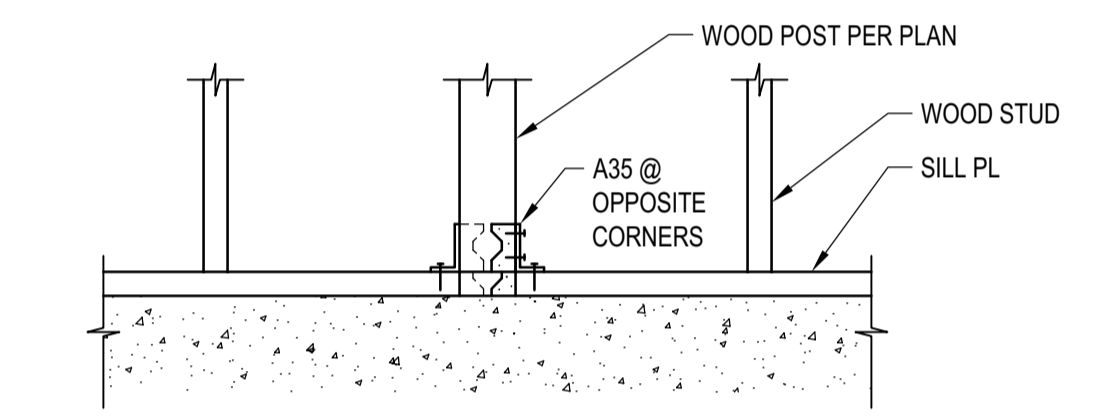
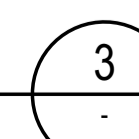
BEARING STUDS



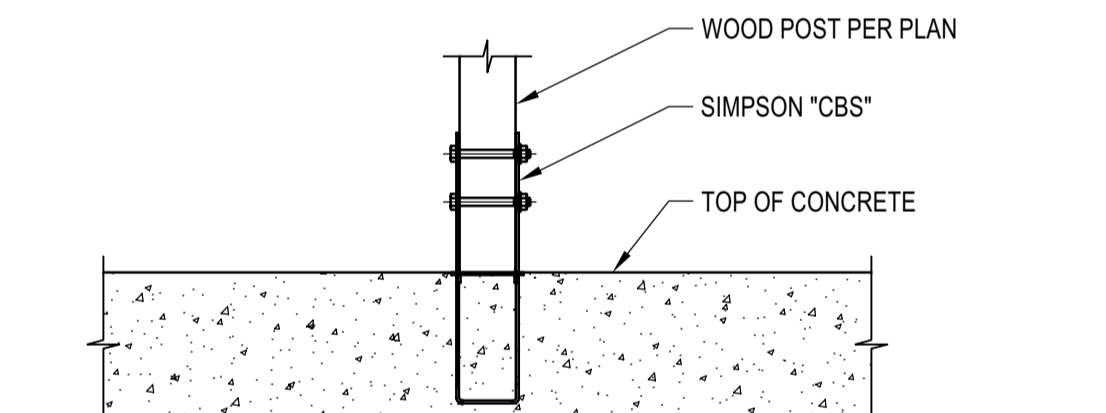
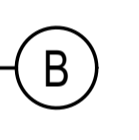
NON-BEARING STUDS

TYP. STUD NOTCHING

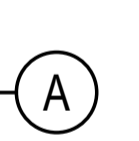
SCALE: N.T.S.



WITHIN A WALL

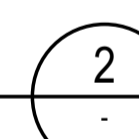


ISOLATED POST



TYP. POST BASE

SCALE: N.T.S.



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 LFA Job #22791

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SCALE:



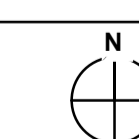
02/24/23 PC SUBMITTAL
 NO DATE ISSUE

PROJECT:
BADGER RESIDENCE
 121 BADGER LANE
 KETCHUM, ID 83340

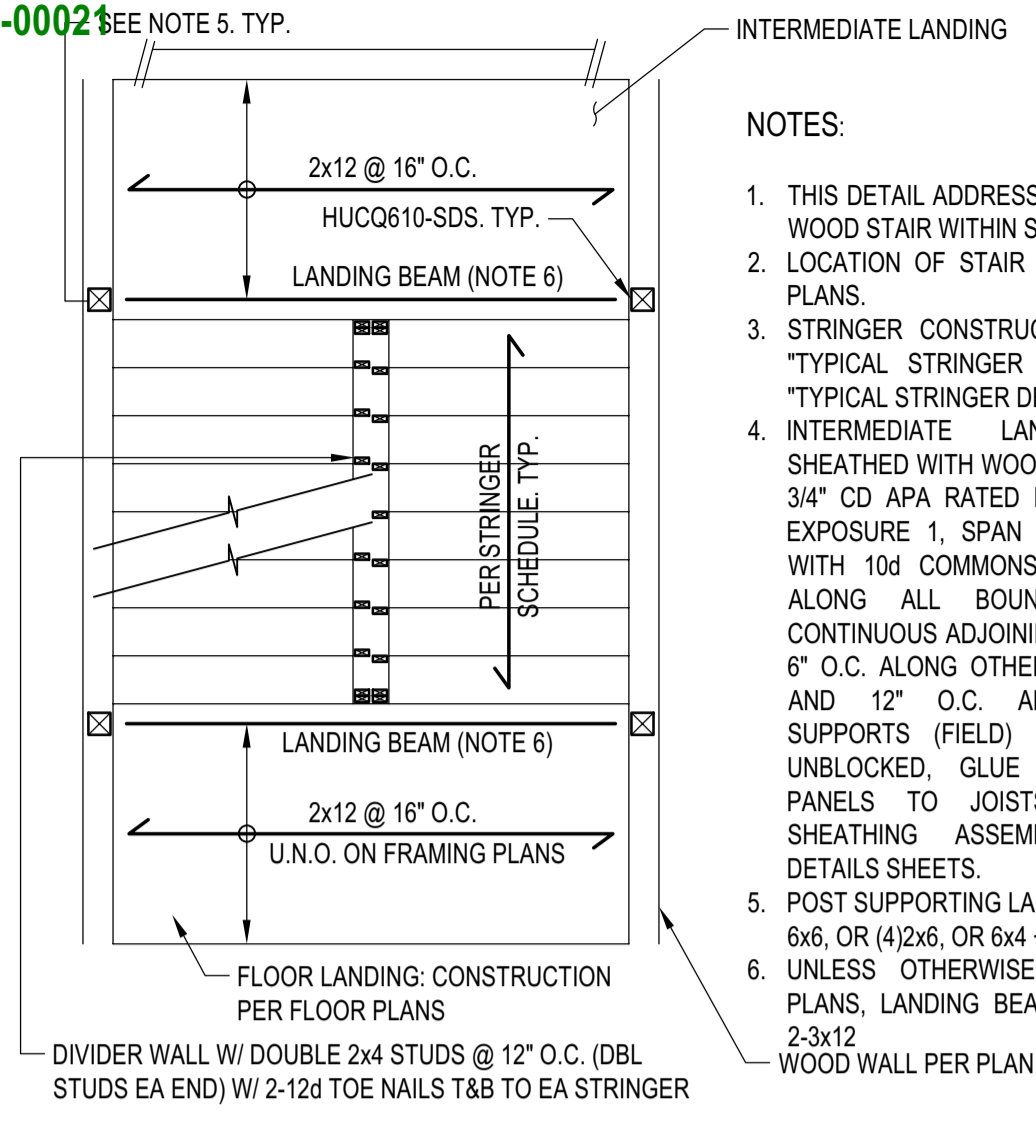
PROJECT NUMBER
#2201

DRAWING TITLE:
TYPICAL DETAILS - WOOD

DRAWING NUMBER:
S-032

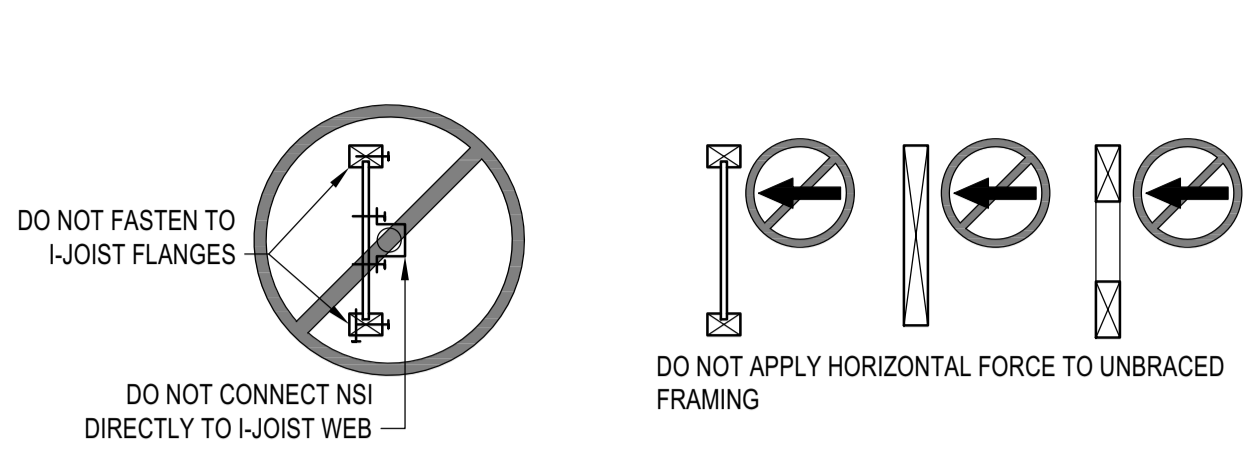


BLD2303-0002
 06/26/23



- NOTES:**
1. THIS DETAIL ADDRESSES CONSTRUCTION OF WOOD STAIR WITHIN SHAFT UP TO 5 STORY.
 2. LOCATION OF STAIR IS SHOWN ON FLOOR PLANS.
 3. STRINGER CONSTRUCTION SHALL BE PER "TYPICAL STRINGER CONSTRUCTION" AND "TYPICAL STRINGER DETAIL".
 4. INTERMEDIATE LANDING SHALL BE SHEATHED WITH WOOD STRUCTURAL PANEL, 3/4" CD APA RATED PLYWOOD SHEATHING, EXPOSURE 1, SPAN RATING 4824, NAILED WITH 10d COMMONS SPACED AT 6" O.C. ALONG ALL BOUNDARIES (B.N.) AND CONTINUOUS ADJOINING PANEL EDGES, AND 6" O.C. ALONG OTHER PANEL EDGES (E.N.) AND 12" O.C. ALONG INTERMEDIATE SUPPORTS (FIELD) (F.N.). PANEL EDGES UNBLOCKED. GLUE WOOD STRUCTURAL PANELS TO JOISTS. SEE "TYPICAL SHEATHING ASSEMBLY" PER TYPICAL DETAILS SHEETS.
 5. POST SUPPORTING LANDING BEAM TO BE MIN 6x6, OR (4)2x6, OR 6x4 + 2x6
 6. UNLESS OTHERWISE NOTED ON FLOOR PLANS, LANDING BEAM SHALL BE 6x10 OR 2-3x12 WOOD WALL PER PLAN

TWO FLIGHT WOOD STAIR
 SCALE: N.T.S.



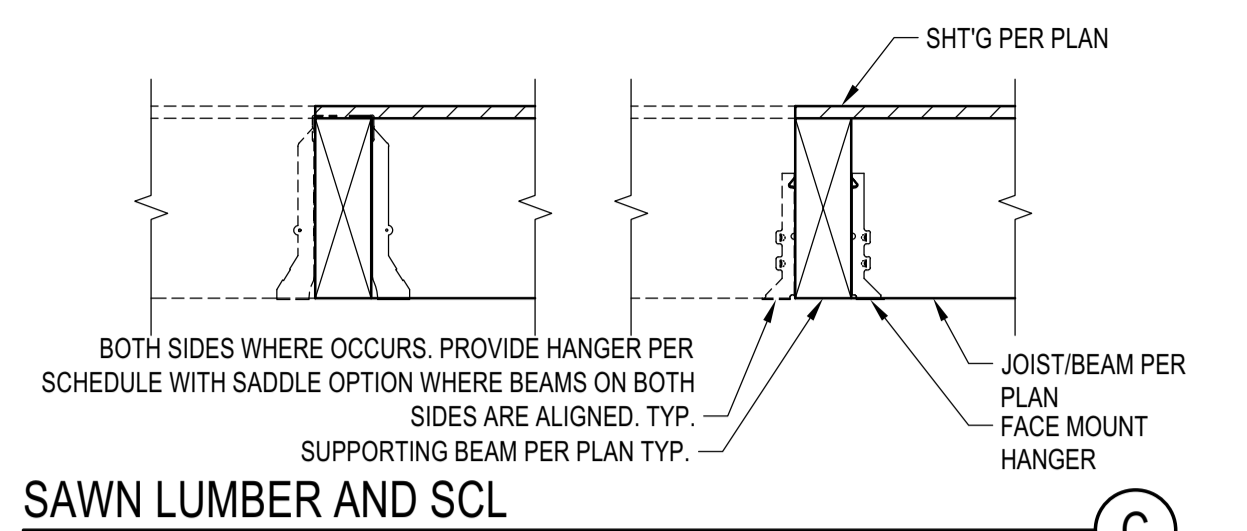
- NOTES:**
1. THIS DETAIL ADDRESSES CONNECTION OF NON STRUCTURAL INFRASTRUCTURES "NSI" TO WOOD FRAMING. NSI INCLUDE, BUT ARE NOT LIMITED TO, SPRINKLERS, LIGHTING, MEP, FF&E, ETC.
 2. CONNECTION OF NSI TO FRAMING SHALL BE DESIGNED AND SPECIFIED BY NSI SUPPLIER. CONNECTION SHALL INCLUDE FASTENERS TO FRAMING AND ADDITIONAL FRAMING MEMBERS, SUCH AS WEB STIFFENERS, WEB FILLERS, BRACING, AND BLOCKING
 3. CONNECTION OF NSI SHALL COMPLY WITH LIMITATIONS SET FORTH PER THIS DETAIL AND SHALL NOT IMPAIR OR DAMAGE FRAMING. IN ADDITION, IF NSI IS CONNECTED TO ENGINEERED OR PREFABRICATED ELEMENTS (SUCH AS I-JOISTS, OPEN WEB TRUSSES, ETC.), NSI SUPPLIER SHALL COORDINATE CONNECTION DETAILS DIRECTLY WITH FRAMING MANUFACTURER'S SPECIFICATIONS AND FABRICATOR, AS APPLICABLE
 5. SUBMIT DETAILS/SHOP DRAWINGS TO SEOR FOR REVIEW OF STRUCTURAL IMPACT ON BUILDING STRUCTURE

NON-STRUCT. ELEMENTS TO FRM'G
 SCALE: N.T.S.

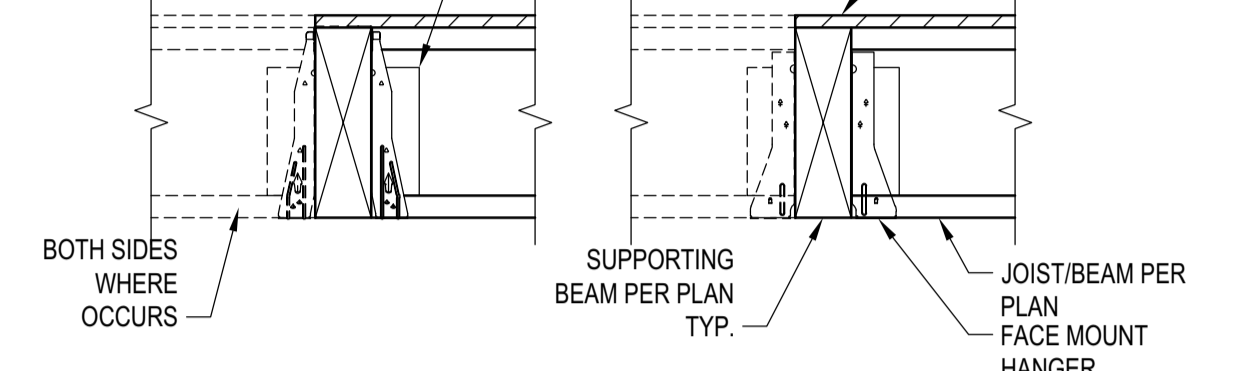
HANGER SCHEDULE - MANUFACTURER: SIMPSON STRONGTIE			
TOP MOUNT HANGER (SEE NOTE 1)		FACE MOUNT HANGER (SEE NOTE 1)	
JOIST/BEAM SIZE	HANGER TYPE	JOIST/BEAM SIZE	HANGER TYPE
ALL SAWN LUMBER U.N.O.	SIMPSON HUTP ^{ESR-2593} COLARR2593	ALL SAWN LUMBER U.N.O.	SIMPSON HU ^{ESR-2549} COLARR2549
2x6 THRU 2x16	SIMPSON LB ^{ESR-2593} COLARR2593	2x6 THRU 2x10	SIMPSON LUS ^{ESR-2549} COLARR2549
2-2x6 THRU 2-2x14	SIMPSON HUSTF ^{ESR-2593} COLARR2593	2-2x6 THRU 2-2x10	SIMPSON LUS ^{ESR-2549} COLARR2549
4x6 THRU 4x14	SIMPSON HUSTF ^{ESR-2593} COLARR2593	4x6 THRU 4x16	SIMPSON HUS ^{ESR-2592} COLARR2592
ALL I-JOIST U.N.O.	SIMPSON MIT ^{ESR-2615} LA SUPPLEM.	ALL I-JOIST U.N.O.	SIMPSON MIU ^{ESR-2592} COLARR2592
SINGLE I-JOIST TO WOOD BEAM 9 1/4 THRU 16 DEEP	SIMPSON ITS ^{ESR-2615} COLARR2615	SINGLE I-JOIST TO WOOD BEAM 9 1/4 THRU 16 DEEP	SIMPSON IUS ^{ESR-2592} COLARR2592
ALL PSL/LV/LSL BEAMS U.N.O.	SIMPSON HGHTV ^{ESR-2615} COLARR2615	ALL PSL/LV/LSL BEAMS U.N.O.	SIMPSON HGU ^{ESR-2592} COLARR2592
		3 1/2" AND 5 1/4" PSL/LV/LSL UP TO 11 7/8" DEEP	SIMPSON MGU ^{ESR-2592} COLARR2592
ALL GLULAM BEAMS U.N.O.	SIMPSON EG ^{ESR-2615} COLARR2615	ALL GLULAM BEAMS U.N.O.	SIMPSON HHGU ^{ESR-2592} COLARR2592

- NOTES:**
1. HANGERS SHALL BE USED TO SUPPORT BEAM OR JOISTS FROM A SUPPORTING BEAM.
 2. TOP OR FACE MOUNT HANGERS SHALL BE SELECTED AT CONTRACTOR'S DISCRETION BASED ON MORE ECONOMICAL CHOICE.
 3. HANGERS SHALL BE INSTALLED PER MANUFACTURER'S REQUIREMENTS, SUCH AS BUT NOT LIMITED TO MIN THICKNESS FOR FASTENER EMBEDMENT, MIN EDGE DISTANCE, MIN SIZE OF HEADERS, ETC.
 4. PROVIDE SKEWED, SLOPED HANGERS AS REQ'D
 5. PROVIDE OFFSET OR CONCEALED FLANGE HANGERS AT EDGE CONDITIONS AS NEEDED

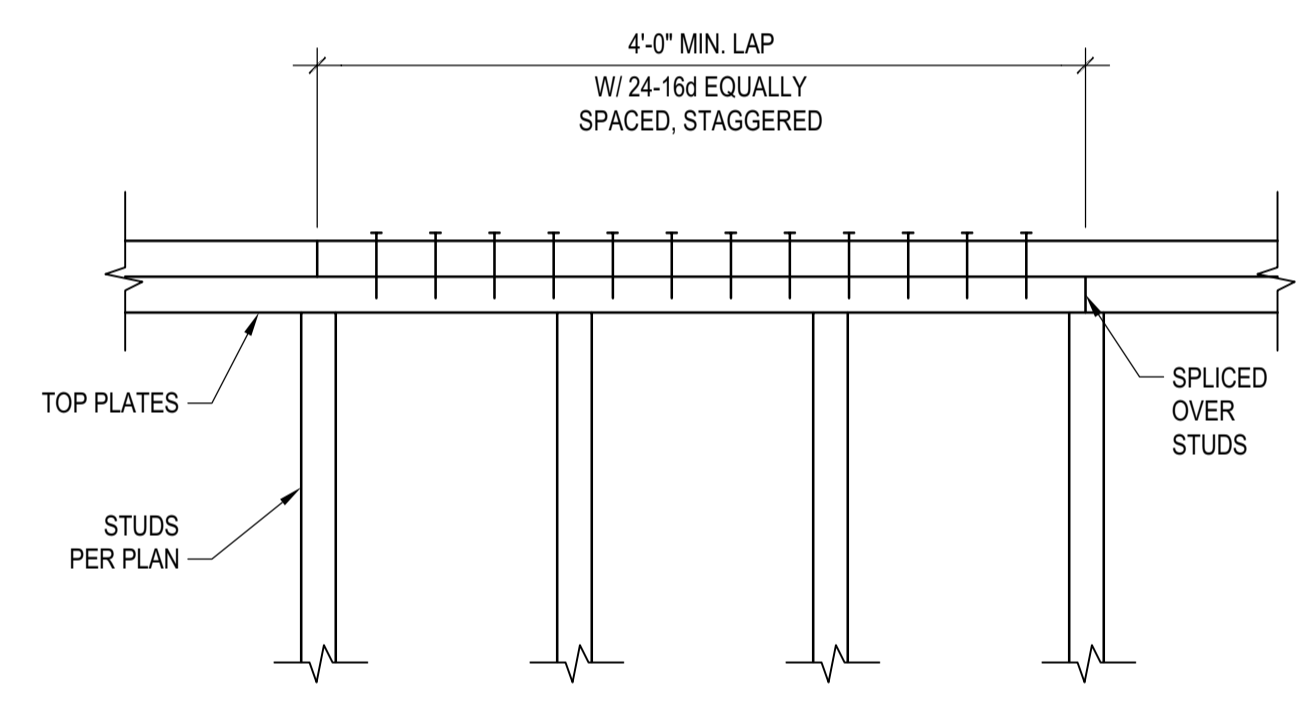
HANGER SCHEDULE AND NOTES
 SCALE: N.T.S.



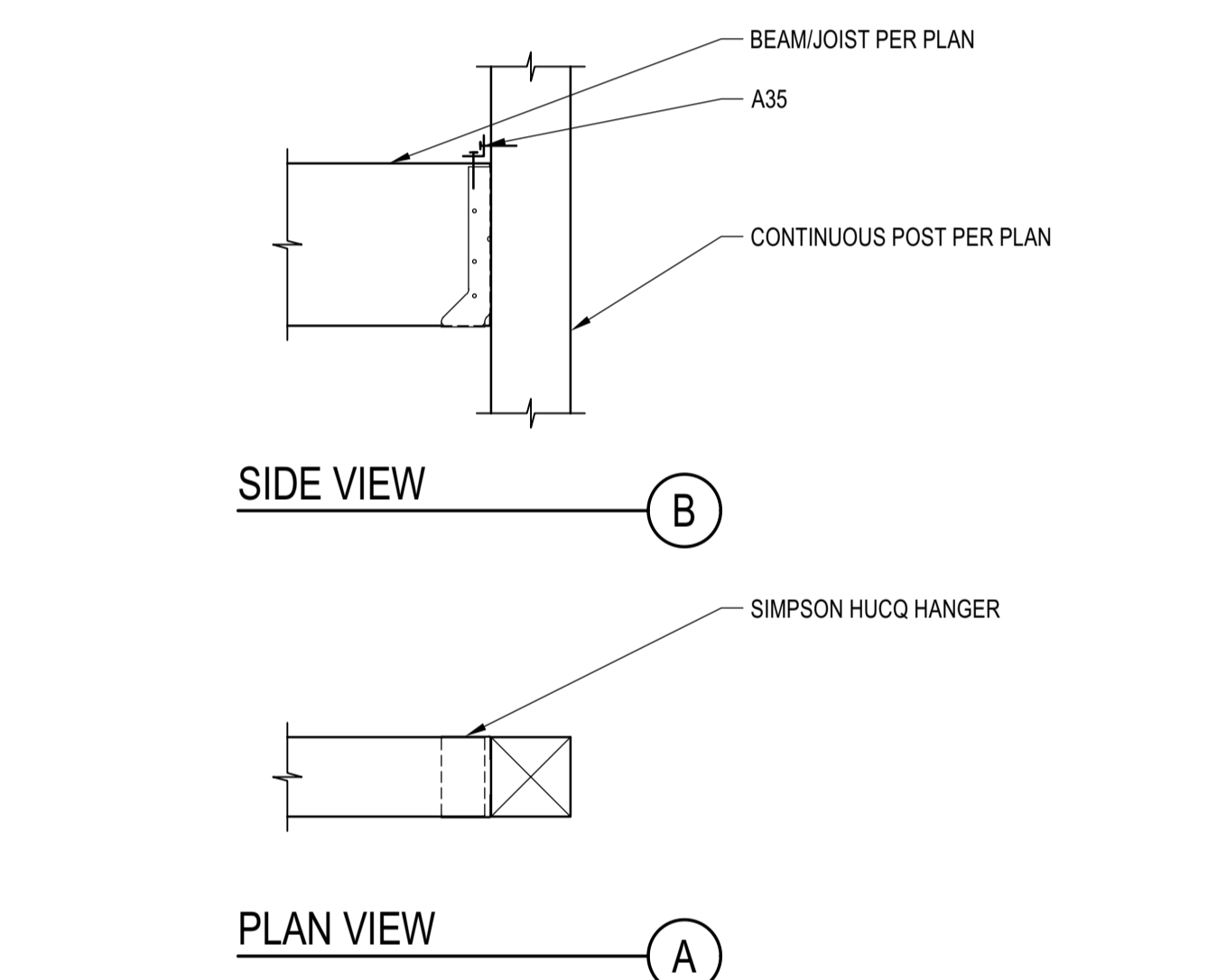
SAWN LUMBER AND SCL
 SCALE: N.T.S.



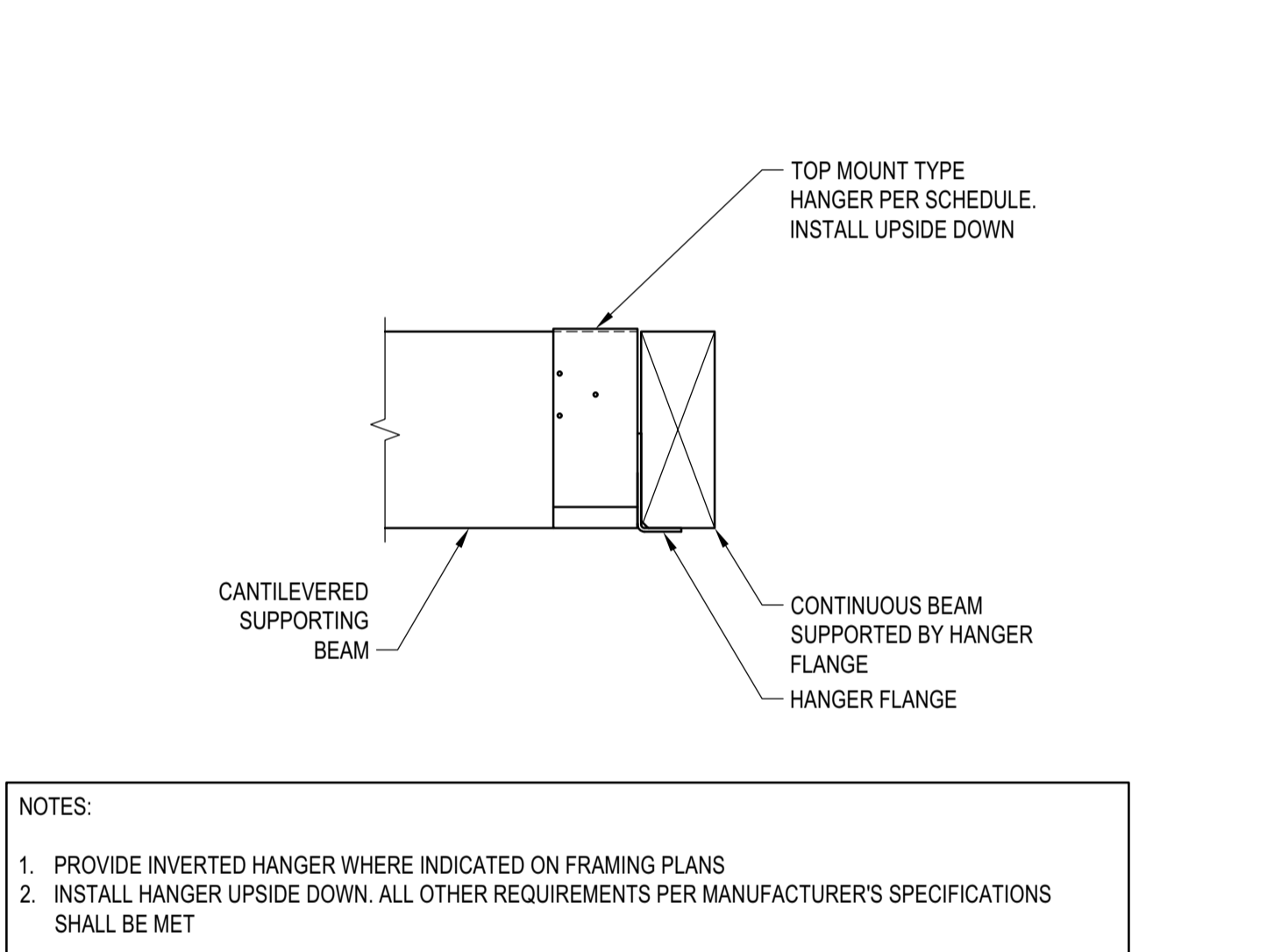
I-JOIST CONSTRUCTION
 SCALE: N.T.S.



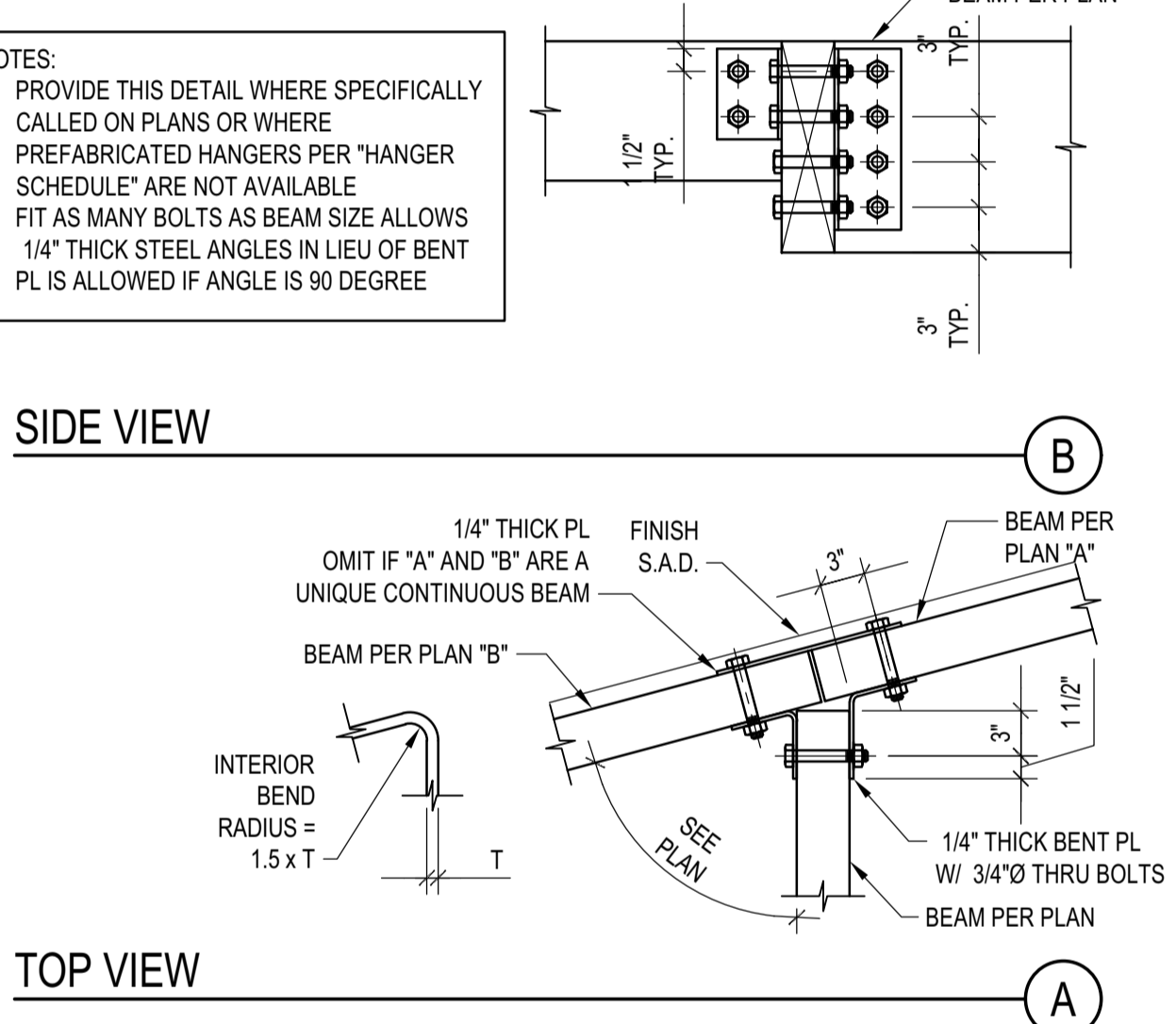
TYP. TOP PLATES SPLICE DETAIL
 SCALE: N.T.S.



BM TO POST FACE MOUNT CONN.
 SCALE: N.T.S.



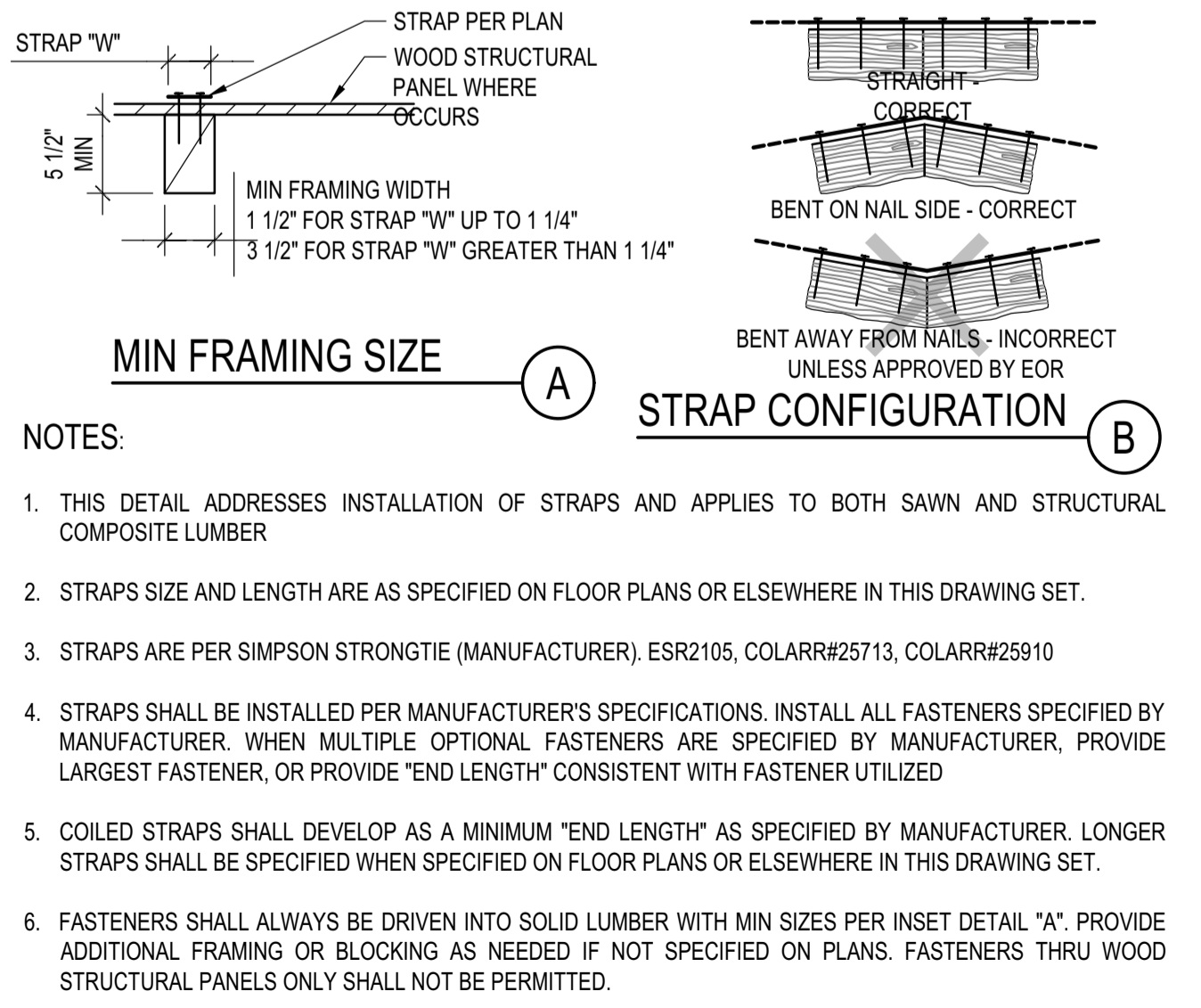
INVERTED HANGER
 SCALE: N.T.S.



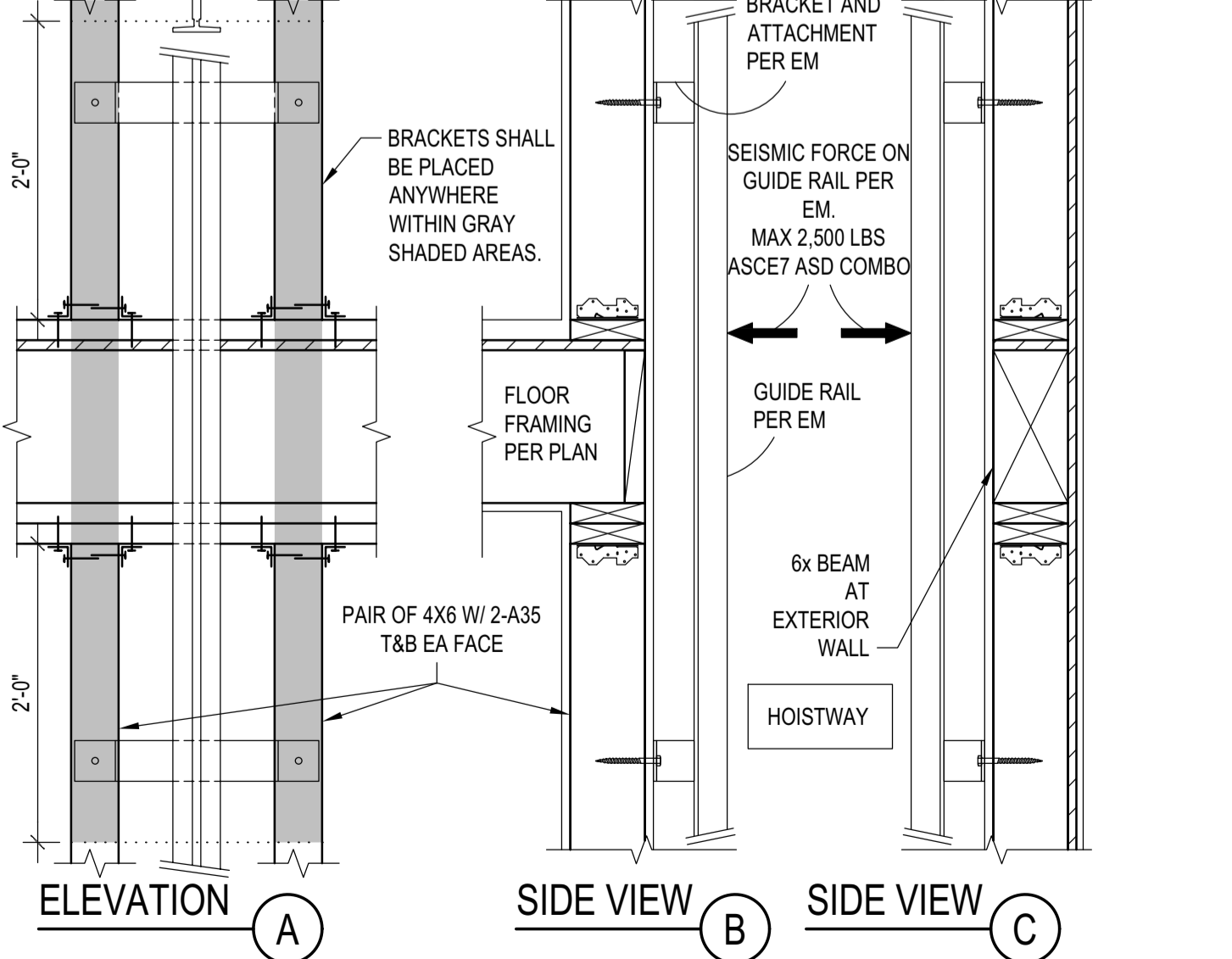
CUSTOM WD BEAM "T" CONNECTION
 SCALE: N.T.S.

TJI JOIST SERIES	STIFFENER	"a"	"b"	NAILS	w	t
TJI 110	PS1 OR PS2 SHEATHING FACE GRAIN VERTICAL	1/8" MIN 2 3/4" MAX	1" MAX	3-8d	2 5/16" MIN	5/8" MIN
TJI 210	PS1 OR PS2 SHEATHING FACE GRAIN VERTICAL	1/8" MIN 2 3/4" MAX	1" MAX	3-8d	2 5/16" MIN	23/32" MIN
TJI 230/TJI 360	PS1 OR PS2 SHEATHING FACE GRAIN VERTICAL	1/8" MIN 2 3/4" MAX	1" MAX	3-8d	2 5/16" MIN	7/8" MIN
TJI 560	2x4 CONSTRUCTION GRADE OR BETTER	1/8" MIN 2 3/4" MAX	1 1/2" MAX	3-16d	3 1/2" MIN	1 1/2" MIN

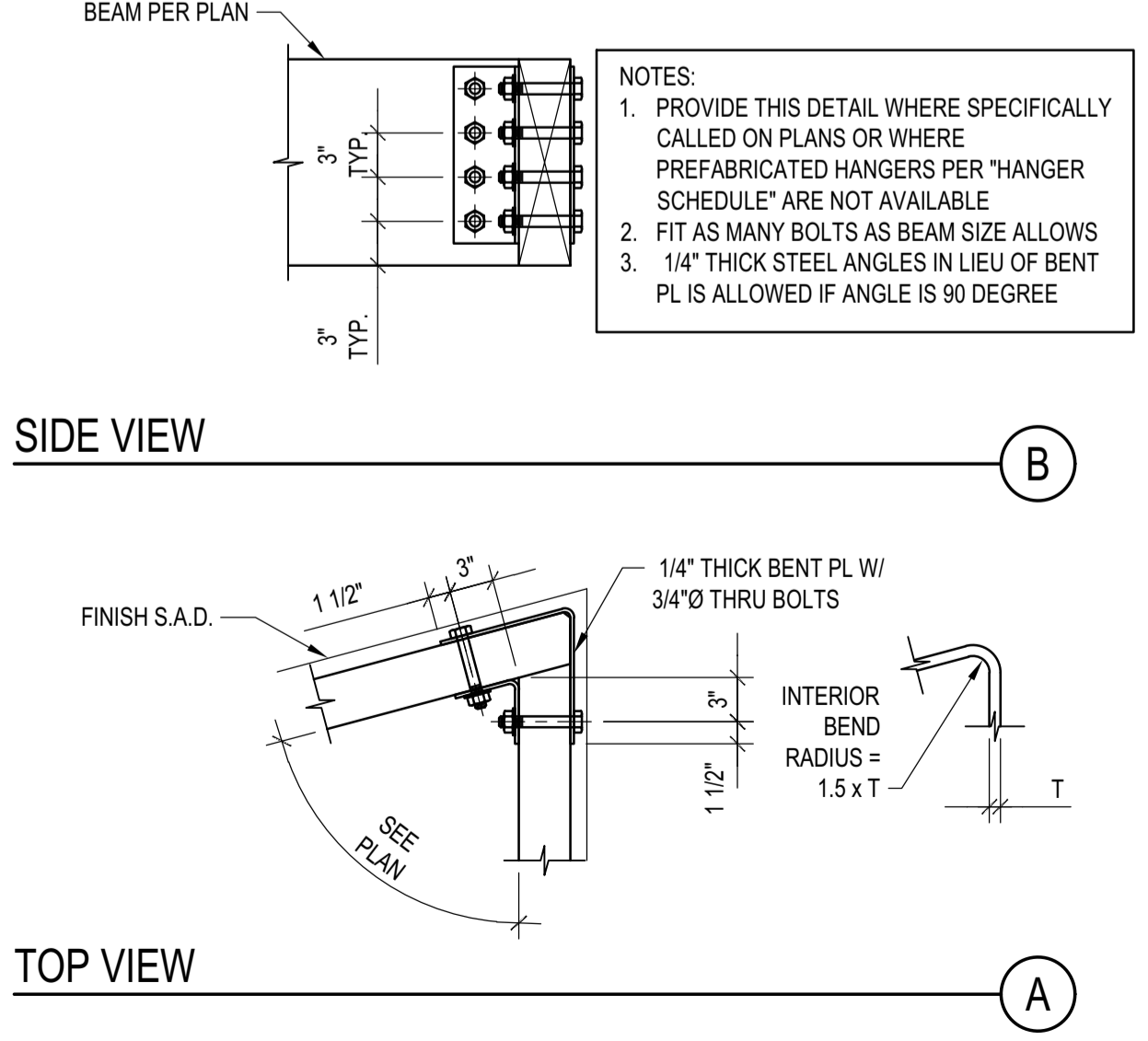
I-JOIST STIFFENER
 SCALE: N.T.S.



STRAP INSTALLATION
 SCALE: N.T.S.



ELEVATOR VERTICAL SUPPORT
 SCALE: N.T.S.



CUSTOM WD BEAM "L" CONNECTION
 SCALE: N.T.S.

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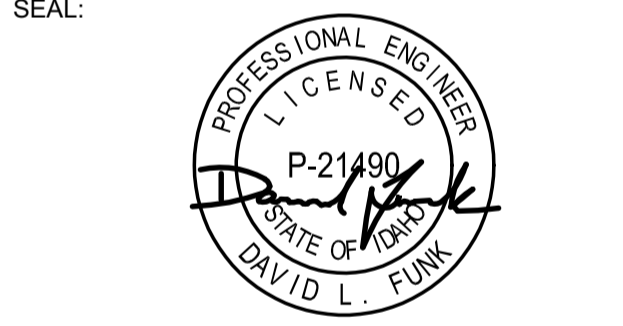
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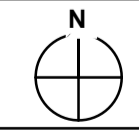
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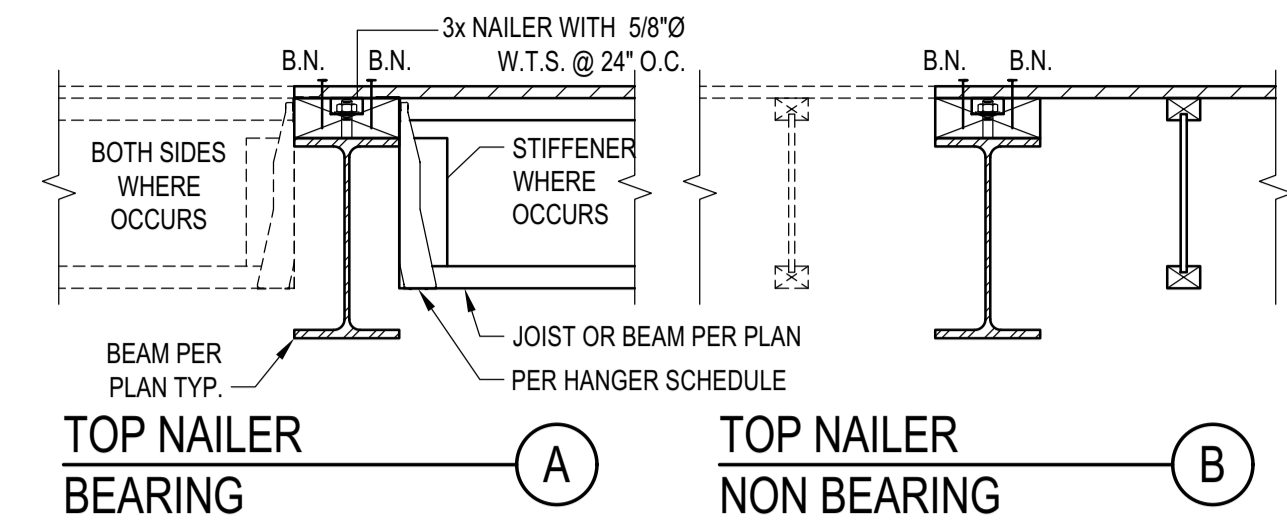
PROJECT:
BADGER RESIDENCE
 121 BADGER LANE
 KETCHUM, ID 83340

PROJECT NUMBER
#2201

DRAWING TITLE:
TYPICAL DETAILS - WOOD

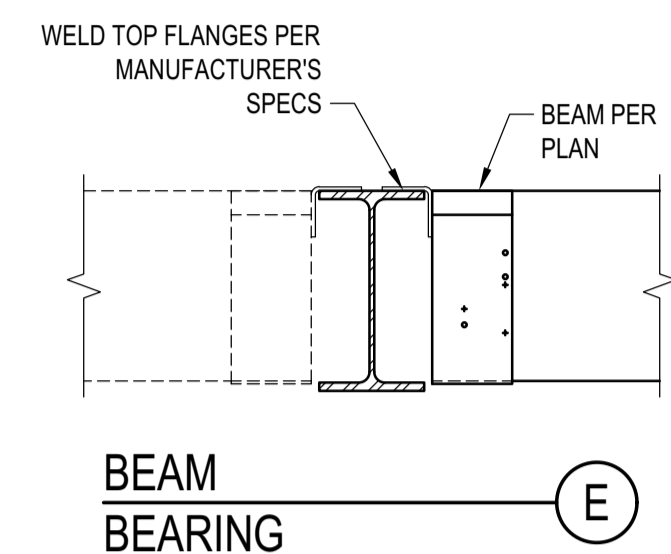
DRAWING NUMBER:
S-033





NOTES:

- 1. DETAILS APPLIES TO BOTH I-JOIST AND SAWN LUMBER. I-JOIST SHOWN.
2. PROVIDE TOP OR SIDE NAILER AS SPECIFIED ON THE PLANS OR CUSTOM DETAILS. IF NOT SPECIFIED, PROVIDE SIDE NAILER.
3. BLK'G, UNBLK'D, HI LOAD DIAPHRAGM ARE SPECIFIED ON PLANS
4. SEE 'LEDGER/NAILER ANCHOR LAYOUT' FOR ANCHOR LAYOUT



STEEL BEAM IN WOOD FRAMING

SCALE: N.T.S.

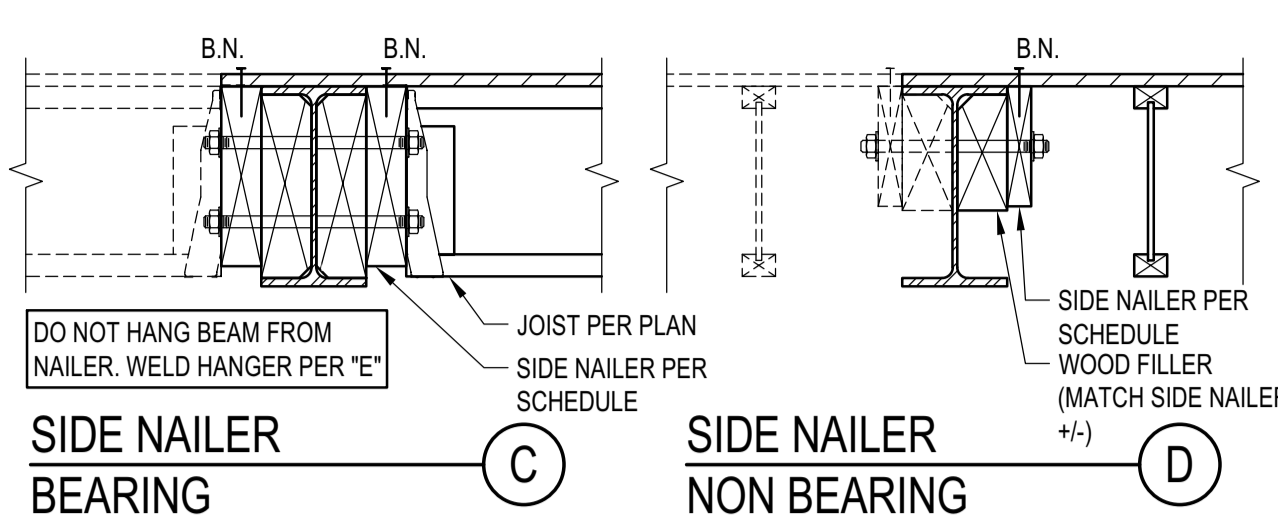


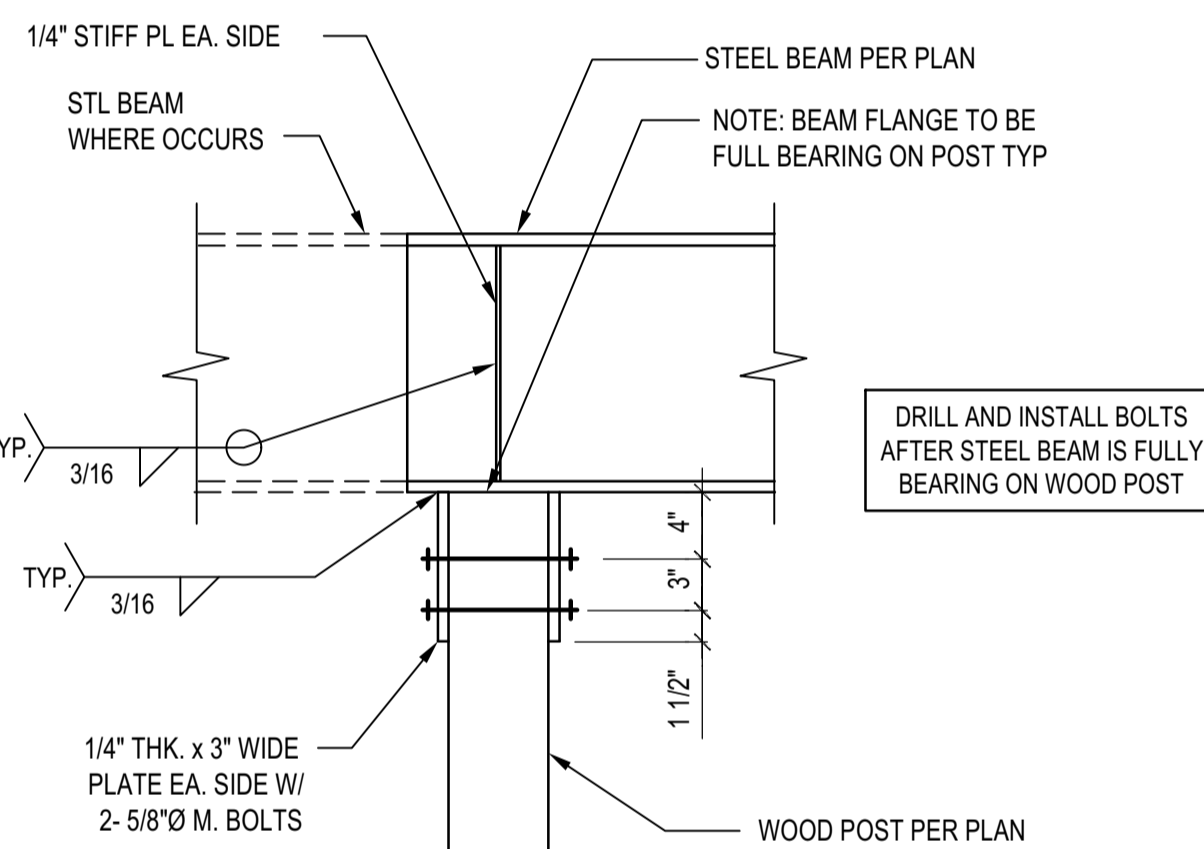
Table with columns: MAX JOIST SPAN, ASSEMBLY, I, II, III and rows for 12'-0", 18'-0", 24'-0", 30'-0", 36'-0" spans.

- ASSEMBLIES:
I. NON OCCUPIED ROOFS WITH MAX 1" GRAVEL AND WITHOUT GARDEN ROOF
II. THIS ASSEMBLY INCLUDES:
- NON OCCUPIED ROOFS WITH MORE THAN 1" AND UP TO 3" GRAVEL
- NON OCCUPIED GARDEN ROOF ASSEMBLIES UP TO 6"
- SINGLE FAMILY FLOORS AND DECKS
III. ALL CASES NOT COVERED IN I. OR II.

Table with columns: DIAPHRAGM TYPE, SIDE NAILER and rows for BLK'D/UNBLK'D and HIGH LOAD.

- SCHEDULE LEGEND: 3x, 2, 3/4, 12
SIDE NAILER
ROWS OF FASTENERS
FASTENER DIAMETER
FASTENER SPACING

5



STL BEAM TO ISOLATED WOOD POST CONNECTION

SCALE: N.T.S.

8

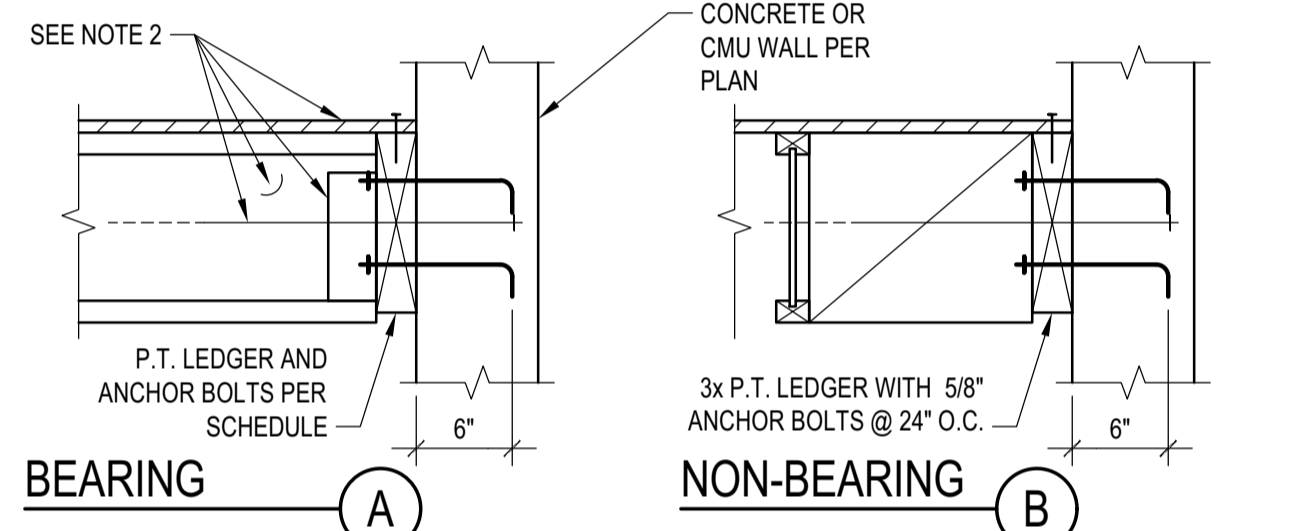


Table with columns: MAX JOIST SPAN, ASSEMBLY, I, II, III and rows for 12'-0", 18'-0", 24'-0", 30'-0", 36'-0" spans.

- ASSEMBLIES:
I. NON OCCUPIED ROOFS WITH MAX 1" GRAVEL AND WITHOUT GARDEN ROOF
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- NON OCCUPIED GARDEN ROOF ASSEMBLIES UP TO 6"
- SINGLE FAMILY FLOORS AND DECKS
III. ALL CASES NOT COVERED IN I. OR II.

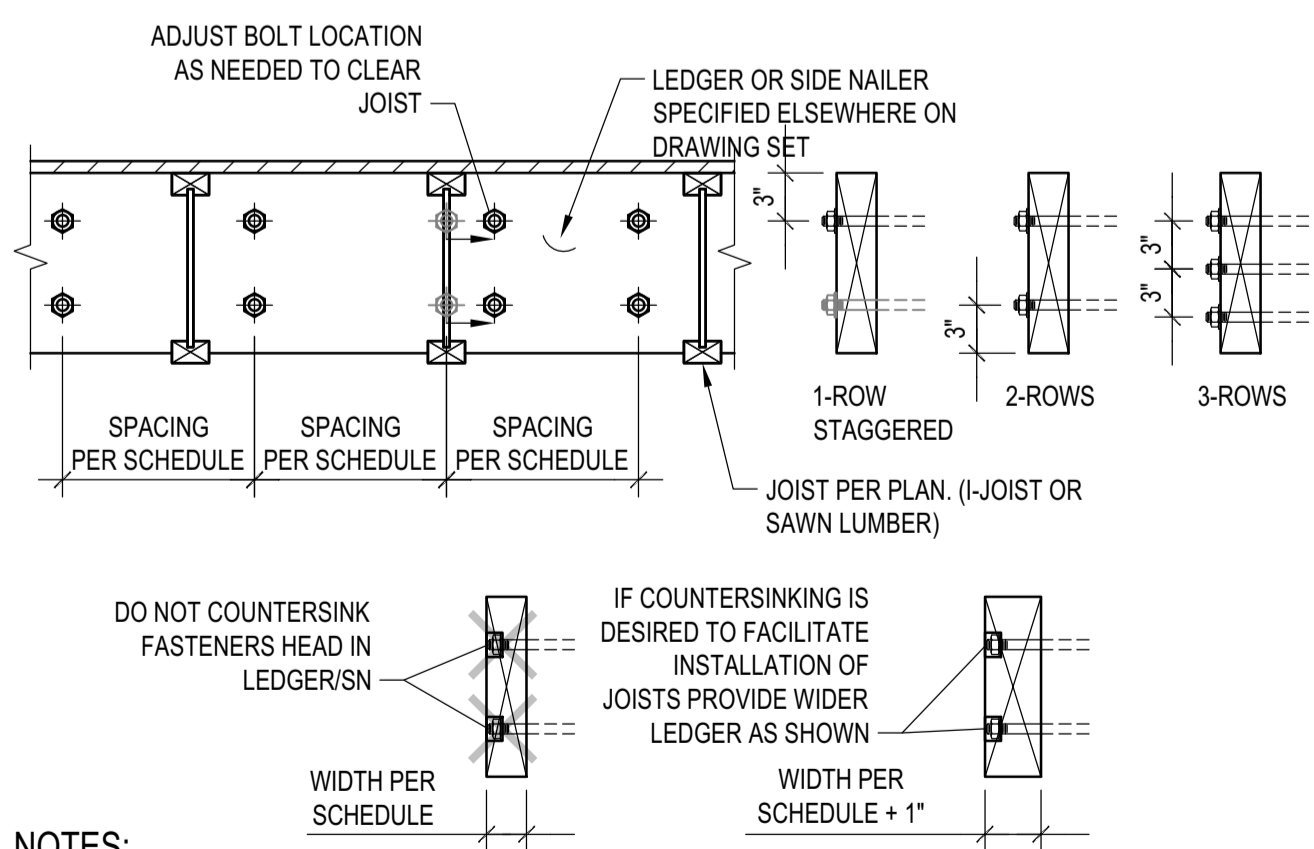
- NOTES:
1. THIS DETAIL ADDRESSES LEDGER AND ITS CONNECTION TO CONCRETE OR CMU.
2. FRAMING AND OUT OF PLANE ANCHORAGE ARE REFERENCED ELSEWHERE IN THE SET
3. SEE 'LEDGER/NAILER ANCHOR LAYOUT' FOR ANCHOR LAYOUT

- SCHEDULE LEGEND: 3x, 2, 3/4, 12
LEDGER
FASTENER DIAMETER
FASTENER SPACING

LEDGER TO CONCRETE/CMU WALL

SCALE: N.T.S.

6



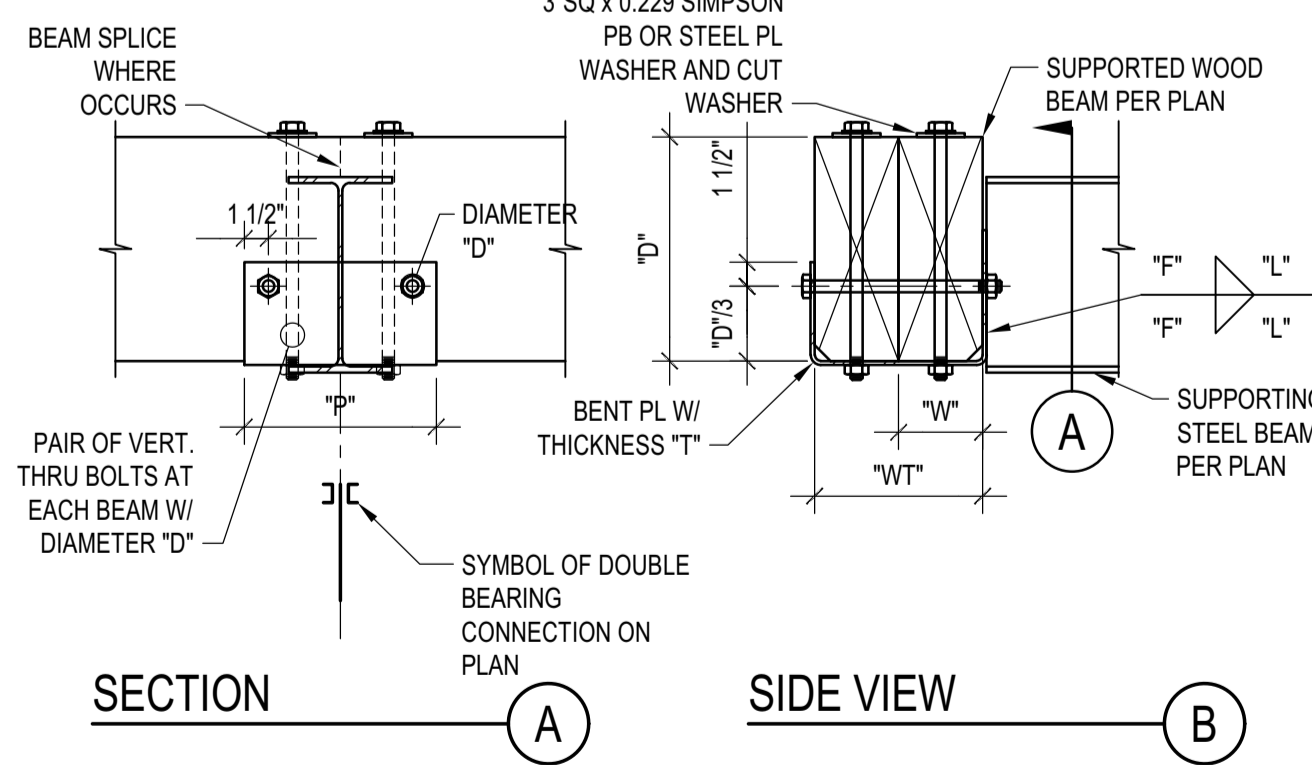
NOTES:

- 1. THIS DETAIL ADDRESSES LAYOUT OF ANCHOR BOLTS AND WELDED THREADED STUDS IN LEDGER AND SIDE NAILERS RESPECTIVELY. SIZE AND SPACING OF A.B. AND W.T.S. ARE PER SCHEDULES.
2. COORDINATE JOISTS LOCATION WITH FASTENER NUT. DO NOT COUNTERSINK LEDGER/SIDE NAILER. ALTERNATIVELY, PROVIDE 1" WIDER LEDGER/SIDE NAILER THAT WHAT SPECIFIED ON SCHEDULE AND PROVIDE COUNTERSUNK HOLES.
3. LEDGER DEPTH SHALL BE GREATER THAN JOIST DEPTH AND DEPTH NEEDED TO INSTALL FASTENERS.

LEDGER/NAILER ANCHOR LAYOUT

SCALE: N.T.S.

9



NOTES:

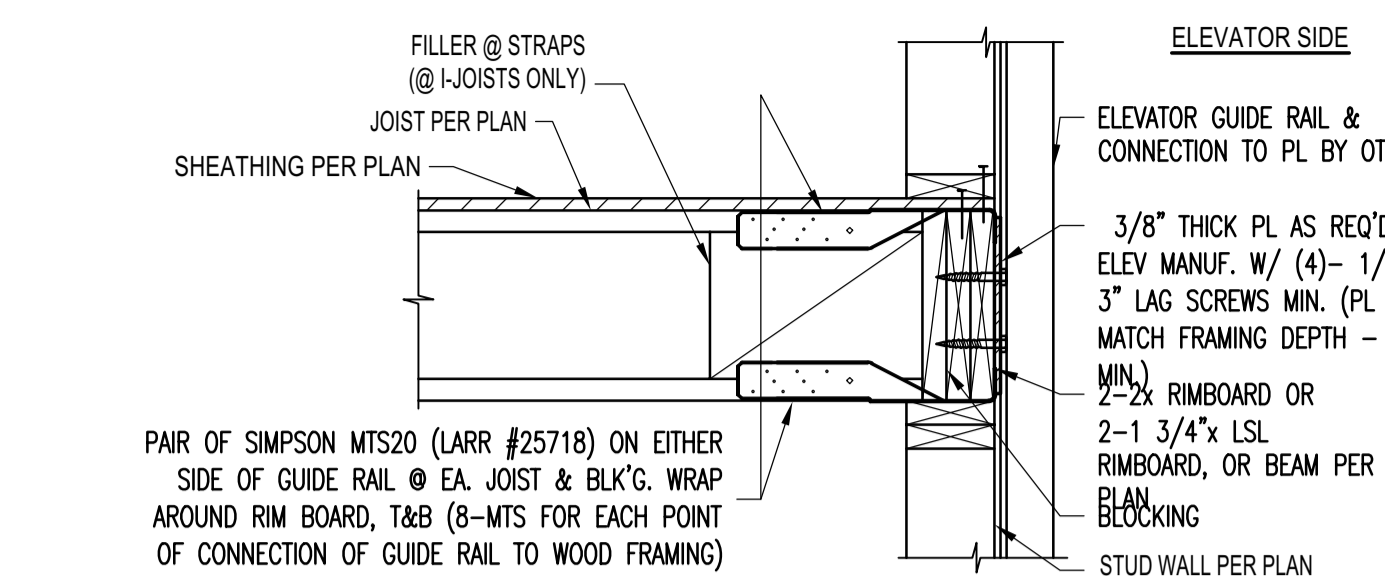
- 1. THIS DETAIL APPLIES WHERE SPECIFIED ON PLANS
2. THE DETAIL APPLIES TO SINGLE OR COMPOSITE BEAMS, WHERE SINGLE BEAMS ARE SPECIFIED, "WT" AND "W" COINCIDE.

Table with columns: SCHEDULE (INCHES) and rows for WT, T, F, L, P, W, D with values like 1/4, 3/16, 5, 12, etc.

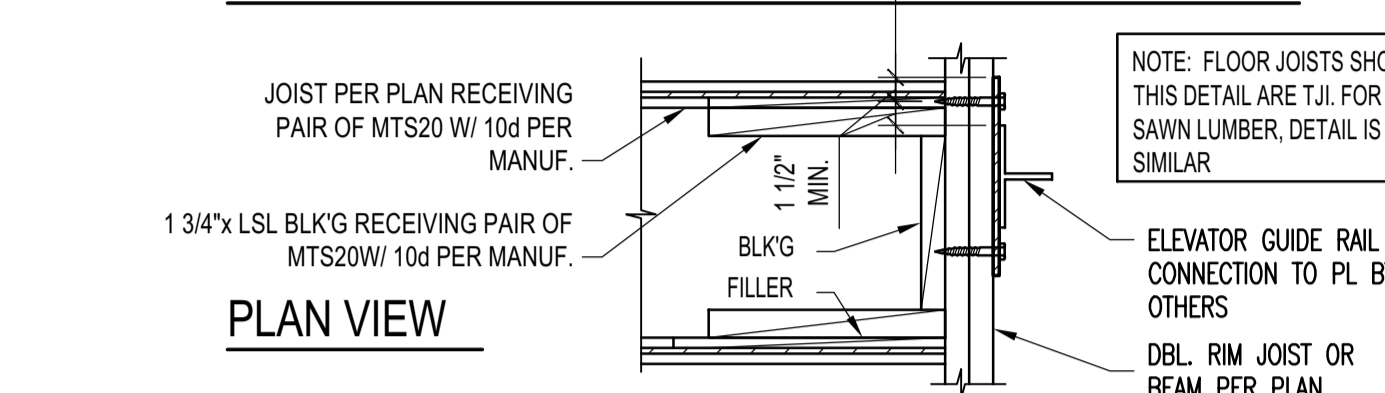
DOUBLE BEARING CONNECTION

SCALE: N.T.S.

7



SECTION



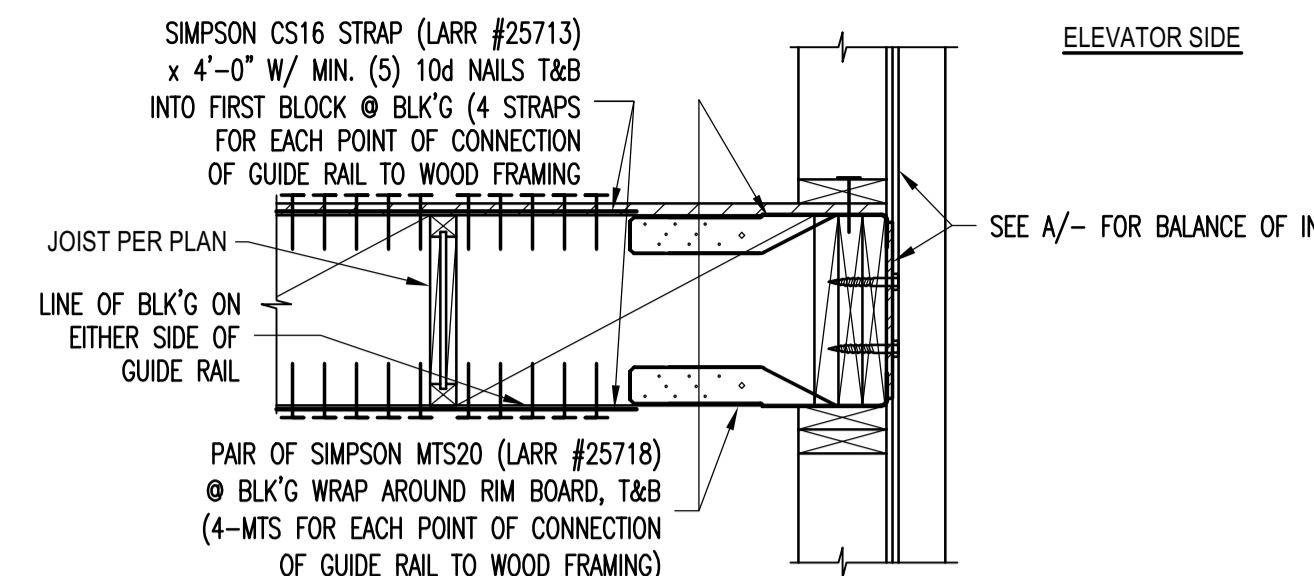
PLAN VIEW

JOISTS PERPENDICULAR TO WALL

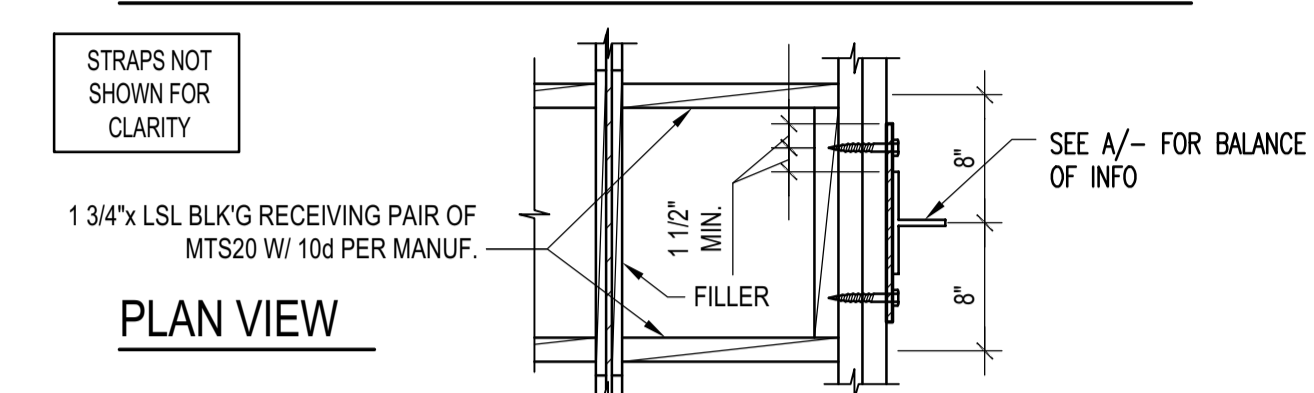
4

ELEVATOR GUIDE RAIL SUPPORT DETAIL

SCALE: N.T.S.



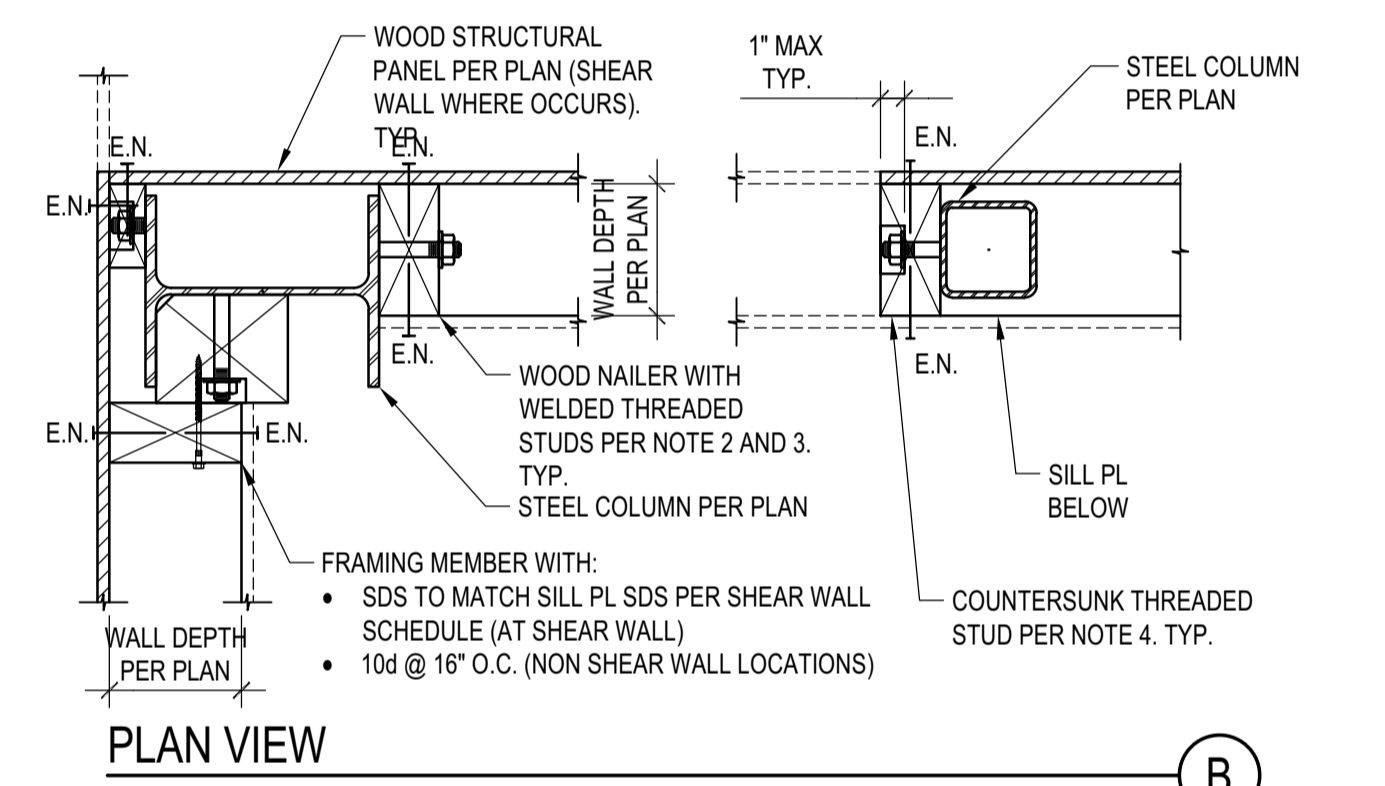
SECTION



PLAN VIEW

JOISTS PARALLEL TO WALL

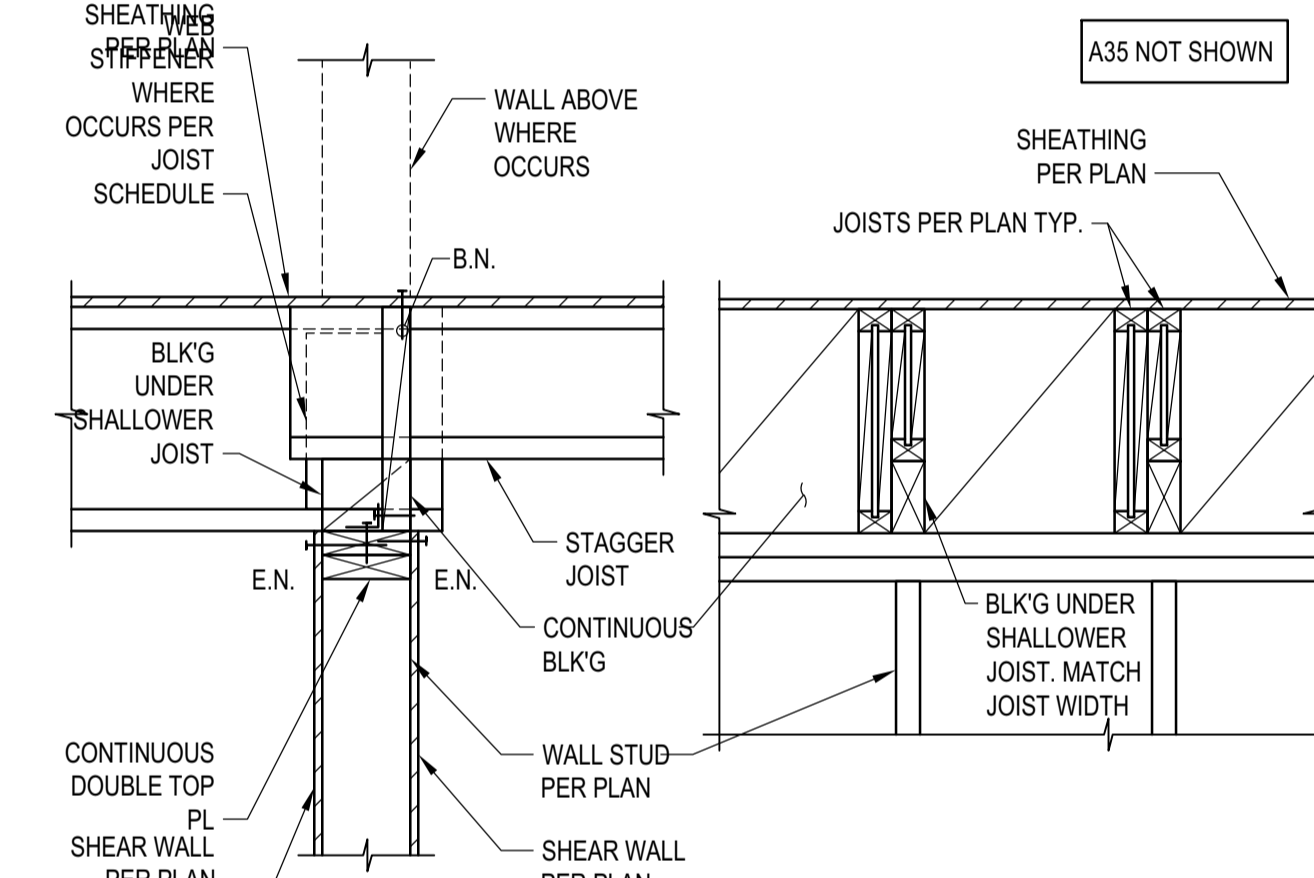
1



PLAN VIEW

ELEVATION

2



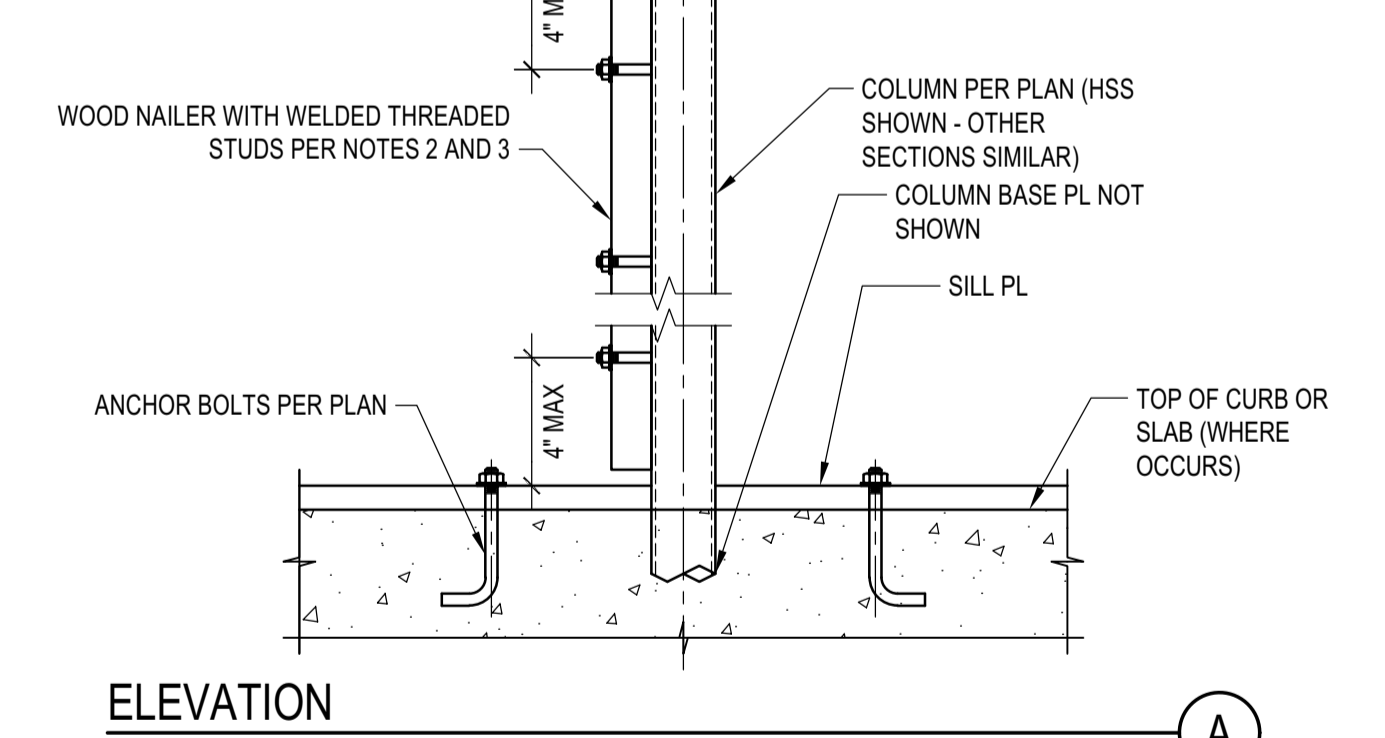
SECTION

ELEVATION

JOIST WITH DIFFERENT DEPTH

SCALE: N.T.S.

3



ELEVATION

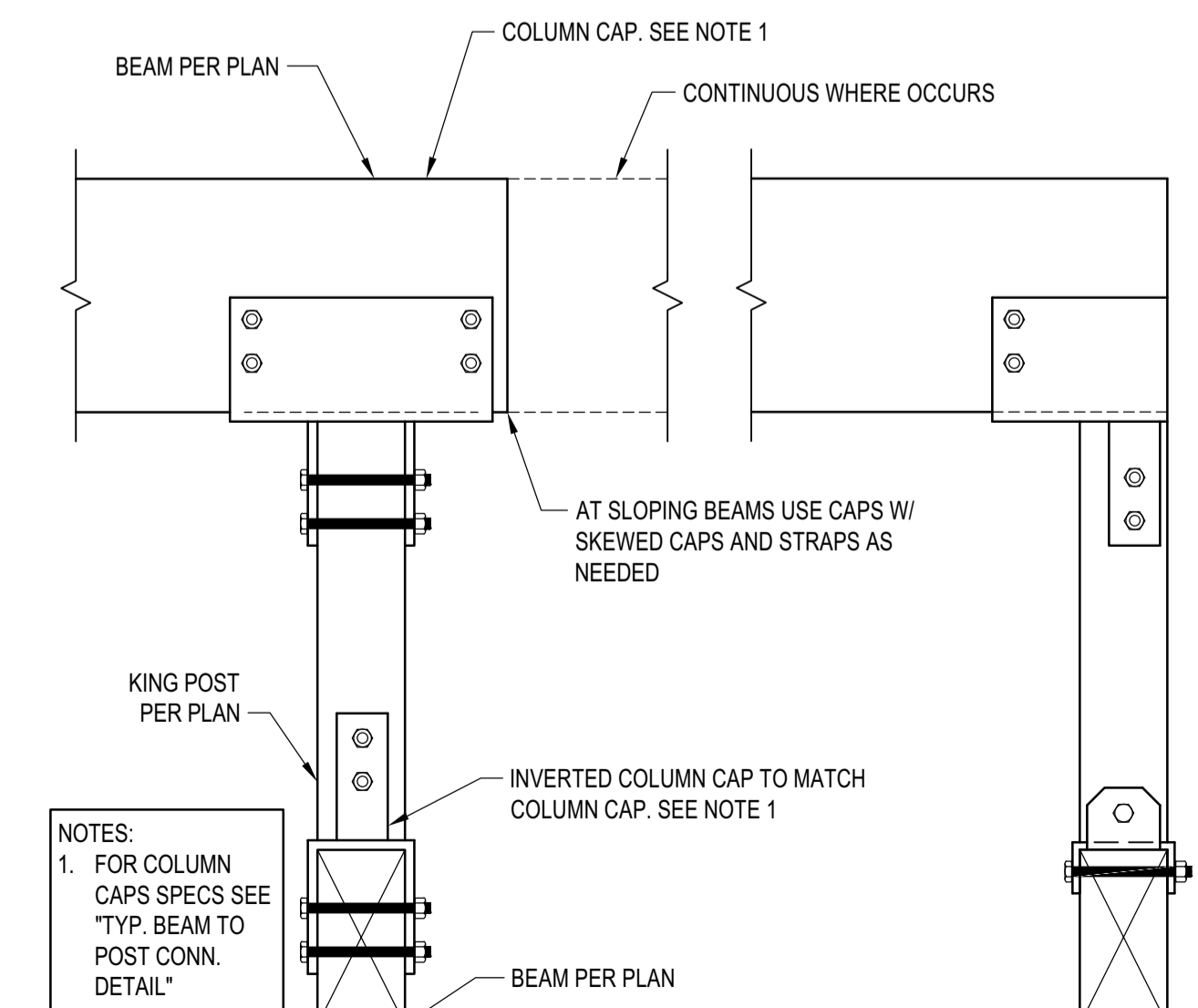
NOTES:

- 1. STEEL COLUMN SECTIONS: WIDE FLANGE AND HSS COLUMN SECTIONS ARE SHOWN. SIMILAR REQUIREMENTS FOR WOOD NAILERS SHALL APPLY FOR OTHER TYPES OF STEEL SECTIONS.
2. LOCATION OF WOOD NAILERS: PROVIDE WOOD NAILERS AT ALL LOCATIONS WHERE STEEL COLUMN OCCURS WITHIN SHEAR WALLS. FOR LOCATIONS OTHER THAN SHEAR WALLS PROVIDE WOOD NAILERS AS NEEDED FOR PROPER INSTALLATION OF FINISH MATERIALS.
3. WOOD NAILERS SIZE AND CONNECTION: WOOD NAILERS SHALL BE CONNECTED WITH 5/8" WELDED THREADED ANCHORS TO THE STEEL SECTIONS. SPACING AND NOMINAL THICKNESS OF WOOD NAILERS SHALL BE:
A. PER SHEAR WALL SCHEDULE WHERE WOOD NAILERS ARE CONNECTED TO A SHEAR WALL STRUCTURAL PANEL
B. 2x MIN WOOD NAILER WITH THREADED ANCHORS @ 24" O.C. WHERE WOOD NAILERS DO NOT OCCUR WITHIN A SHEAR WALL
4. COUNTERSINKING OF WELDED THREADED STUD NUT IN WOOD NAILERS SHALL BE PERMITTED AS FOLLOWS:
A. AT NAILERS CONNECTED TO SHEAR WALL STRUCTURAL PANELS COUNTERSINK ONLY IF NAILER IS 3x OR LARGER
B. AT NAILERS NEEDED ONLY FOR INSTALLATION OF FINISH MATERIAL COUNTERSINKING SHALL BE ALLOWED AS NEEDED FOR PROPER INSTALLATION OF FINISH MATERIAL

STEEL COLUMN IN STUD WALL

SCALE: N.T.S.

4



TYP. KING POST DETAIL

SCALE: N.T.S.

3

BADGER RESIDENCE

OWNER:
121 BADGER LANE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340

PROJECT ARCHITECT:

ROCKETT DESIGN
1031 W. MANCHESTER BLVD, UNIT 6
INGLEWOOD, CA 90301
TEL: 213.784.0014

SURVEYOR & CIVIL ENGINEER:

GALENA ENGINEERING, INC.
317 NORTH RIVER STREET
HAILEY, ID 83333
TEL: 208.788.1705

GEOTECHNICAL ENGINEER:

BUTLER ASSOCIATES, INC.
P.O. BOX 1034
KETCHUM, ID 83340
TEL: 208.720.6432

LANDSCAPE ARCHITECT:

BYLA
323 LEWIS STREET, SUITE N
KETCHUM, ID 83340
TEL: 208.726.5907

STRUCTURAL ENGINEER:

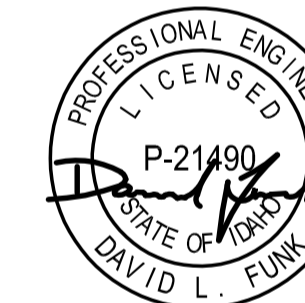
LFA
319 MAIN STREET
EL SEGUNDO, CA 90245
TEL: 213.239.9700
LFA Job #22791



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SEAL:



02/24/23 PC SUBMITTAL
NO DATE ISSUE

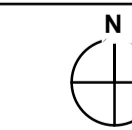
PROJECT:
BADGER RESIDENCE
121 BADGER LANE
KETCHUM, ID 83340

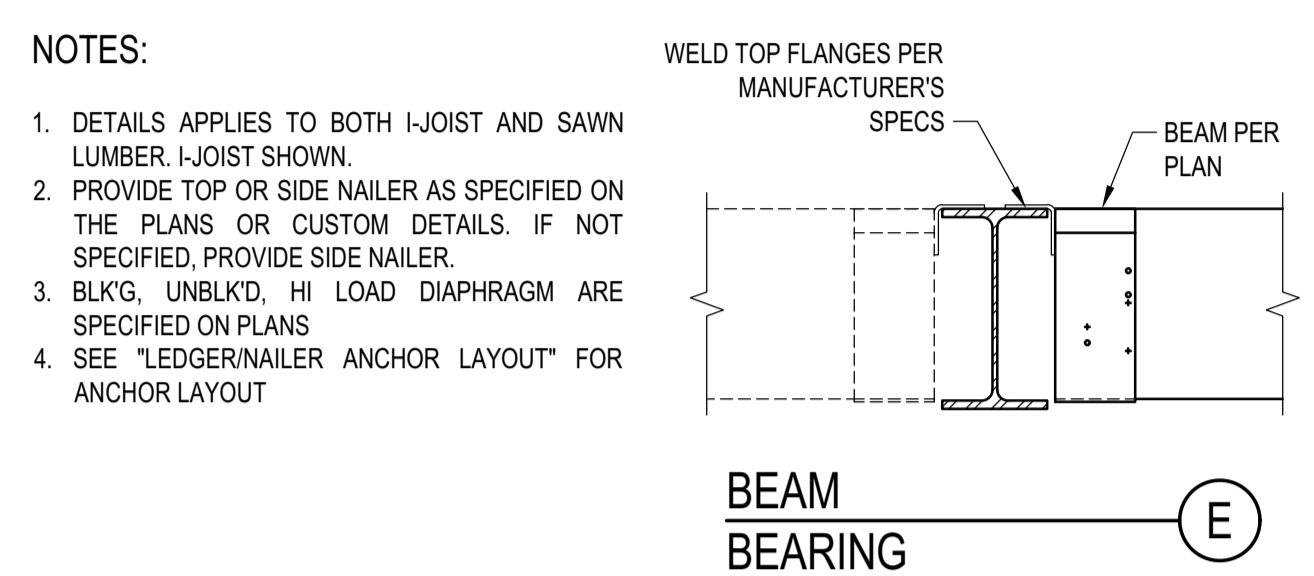
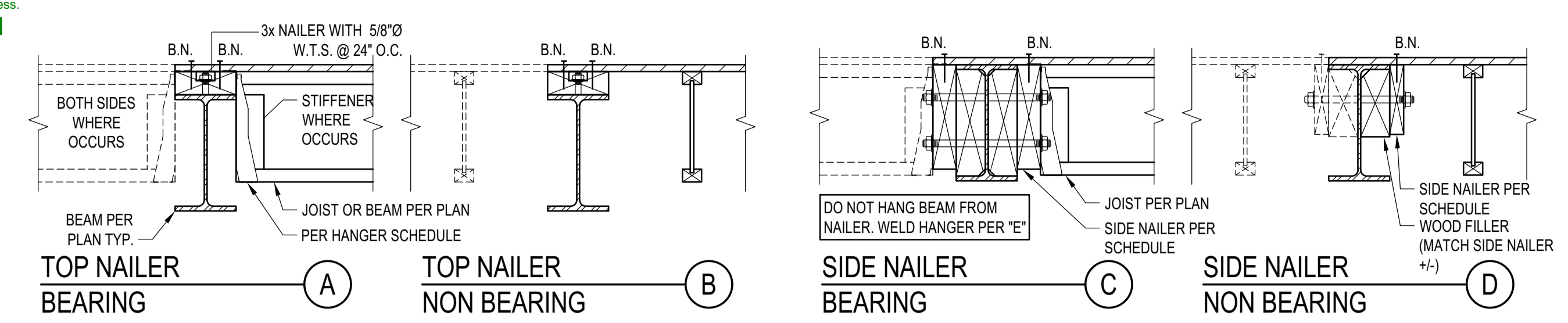
PROJECT NUMBER
#2201

DRAWING TITLE:
TYPICAL DETAILS - WOOD

DRAWING NUMBER:

S-034





ASSEMBLIES:

- NON OCCUPIED ROOFS WITH MAX 1" GRAVEL AND WITHOUT GARDEN ROOF
- THIS ASSEMBLY INCLUDES:
 - NON OCCUPIED ROOFS WITH MORE THAN 1" AND UP TO 3" GRAVEL
 - NON OCCUPIED GARDEN ROOF ASSEMBLIES UP TO 6"
 - SINGLE FAMILY FLOORS AND DECKS
- ALL CASES NOT COVERED IN I. OR II.

SCHEDULE LEGEND

3x	2	3/4	12
----	---	-----	----

ASSEMBLY SCHEDULES:

MAX JOIST SPAN	SIDE NAILER - BEARING		
	ASSEMBLY I.	ASSEMBLY II.	ASSEMBLY III.
12'-0"	3x 1 5/8 24	3x 1 3/4 12	3x 2 3/4 16
18'-0"	3x 1 5/8 16	3x 2 3/4 16	3x 3 3/4 16
24'-0"	3x 1 5/8 12	3x 2 3/4 12	3x 2 3/4 8
30'-0"	3x 2 5/8 16	3x 3 3/4 16	3x 3 3/4 8
36'-0"	3x 2 5/8 16	3x 2 3/4 8	3x 3 3/4 8

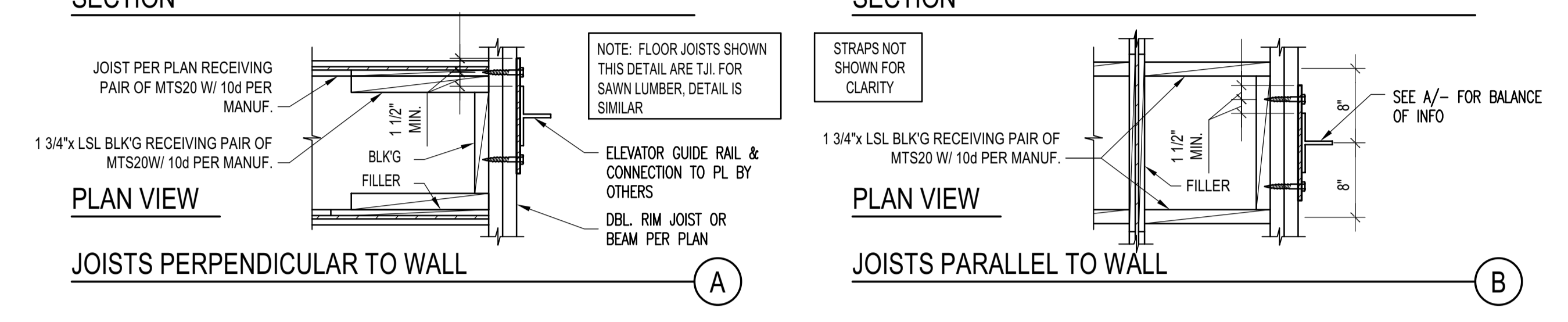
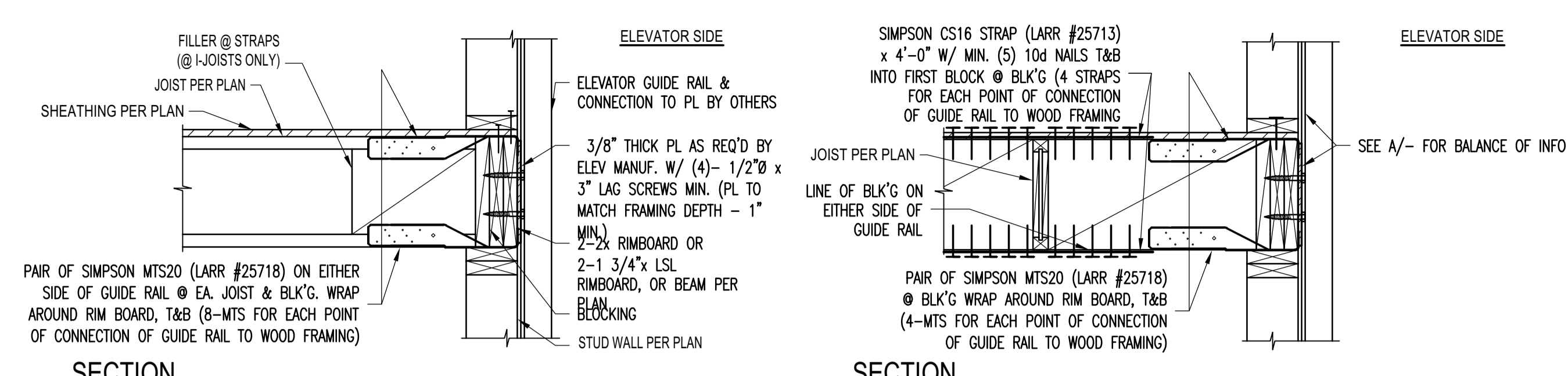
SIDE NAILER - NOT BEARING

DIAPHRAGM TYPE	SIDE NAILER		
	ASSEMBLY I.	ASSEMBLY II.	ASSEMBLY III.
BLK'D/UNBLK'D ⁽¹⁾	2x 1 5/8 24	2x 1 3/4 12	2x 2 3/4 16
HIGH LOAD ⁽²⁾	3x 1 3/4 12	3x 1 3/4 12	3x 1 3/4 12

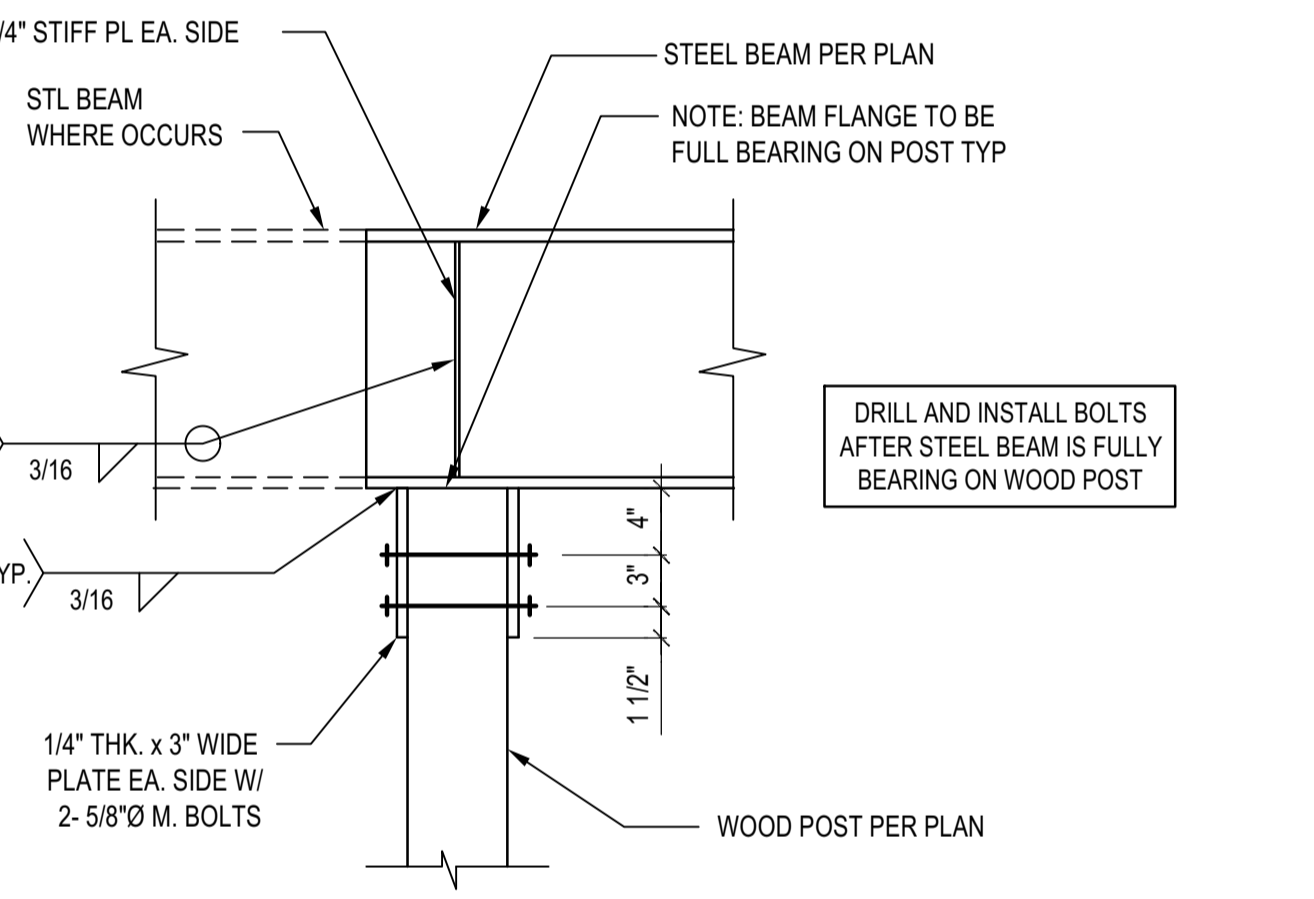
NOTES:

- DETAILS APPLIES TO BOTH I-JOIST AND SAWN LUMBER. I-JOIST SHOWN.
- PROVIDE TOP OR SIDE NAILER AS SPECIFIED ON THE PLANS OR CUSTOM DETAILS. IF NOT SPECIFIED, PROVIDE SIDE NAILER.
- BLK'G, UNBLK'D, HI LOAD DIAPHRAGM ARE SPECIFIED ON PLANS
- SEE "LEDGER/NAILER ANCHOR LAYOUT" FOR ANCHOR LAYOUT

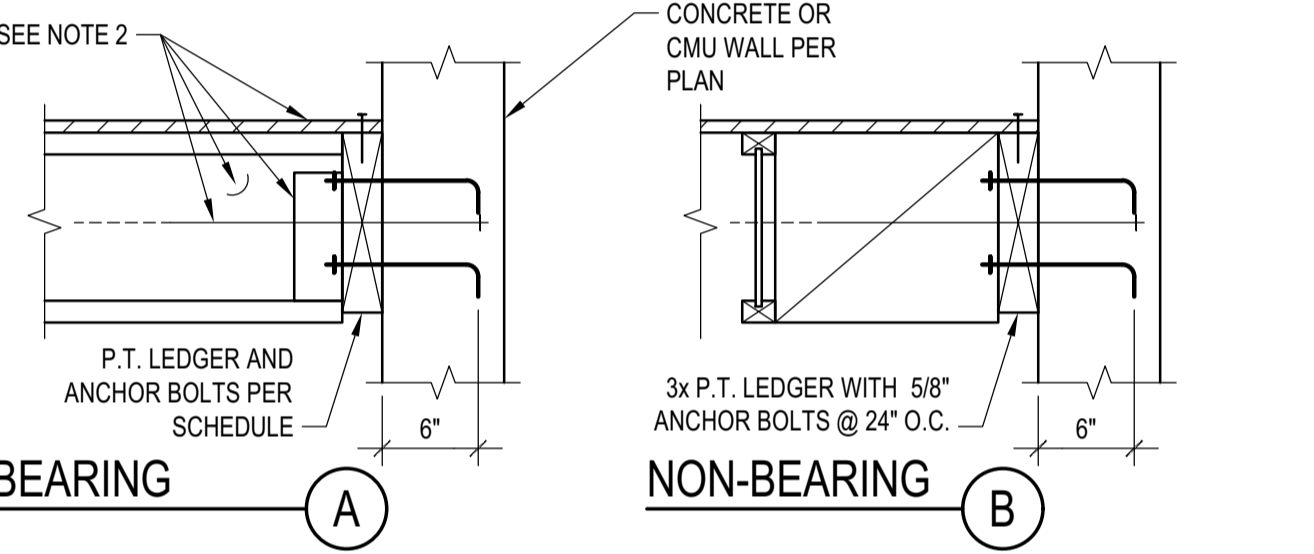
STEEL BEAM IN WOOD FRAMING
 SCALE: N.T.S.



ELEVATOR GUIDE RAIL SUPPORT DETAIL
 SCALE: N.T.S.



STL BEAM TO ISOLATED WOOD POST CONNECTION
 SCALE: N.T.S.



ASSEMBLIES:

- NON OCCUPIED ROOFS WITH MAX 1" GRAVEL AND WITHOUT GARDEN ROOF
- THIS ASSEMBLY INCLUDES:
 - NON OCCUPIED ROOFS WITH MORE THAN 1" AND UP TO 3" GRAVEL
 - NON OCCUPIED GARDEN ROOF ASSEMBLIES UP TO 6"
 - SINGLE FAMILY FLOORS AND DECKS
- ALL CASES NOT COVERED IN I. OR II.

SCHEDULE LEGEND

3x	2	3/4	12
----	---	-----	----

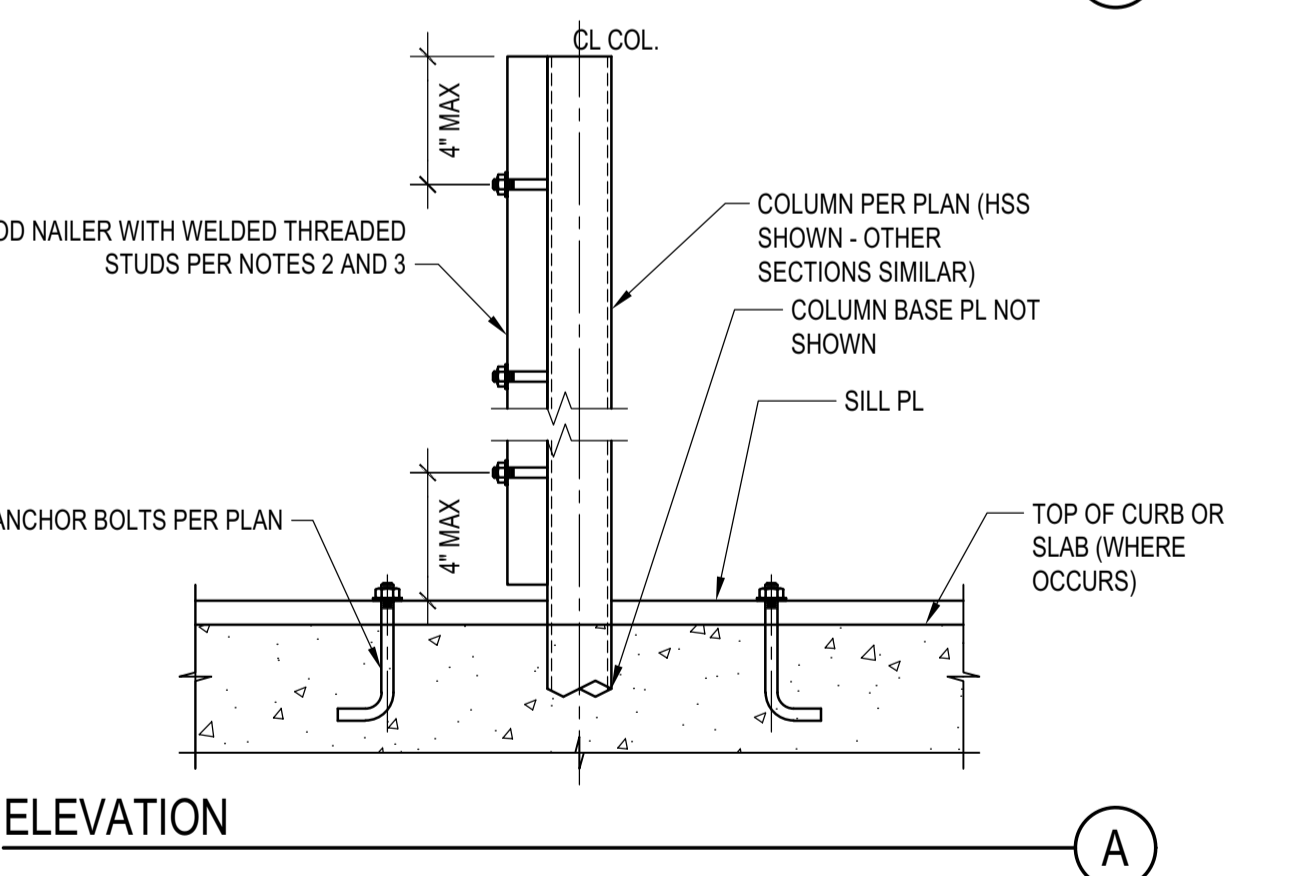
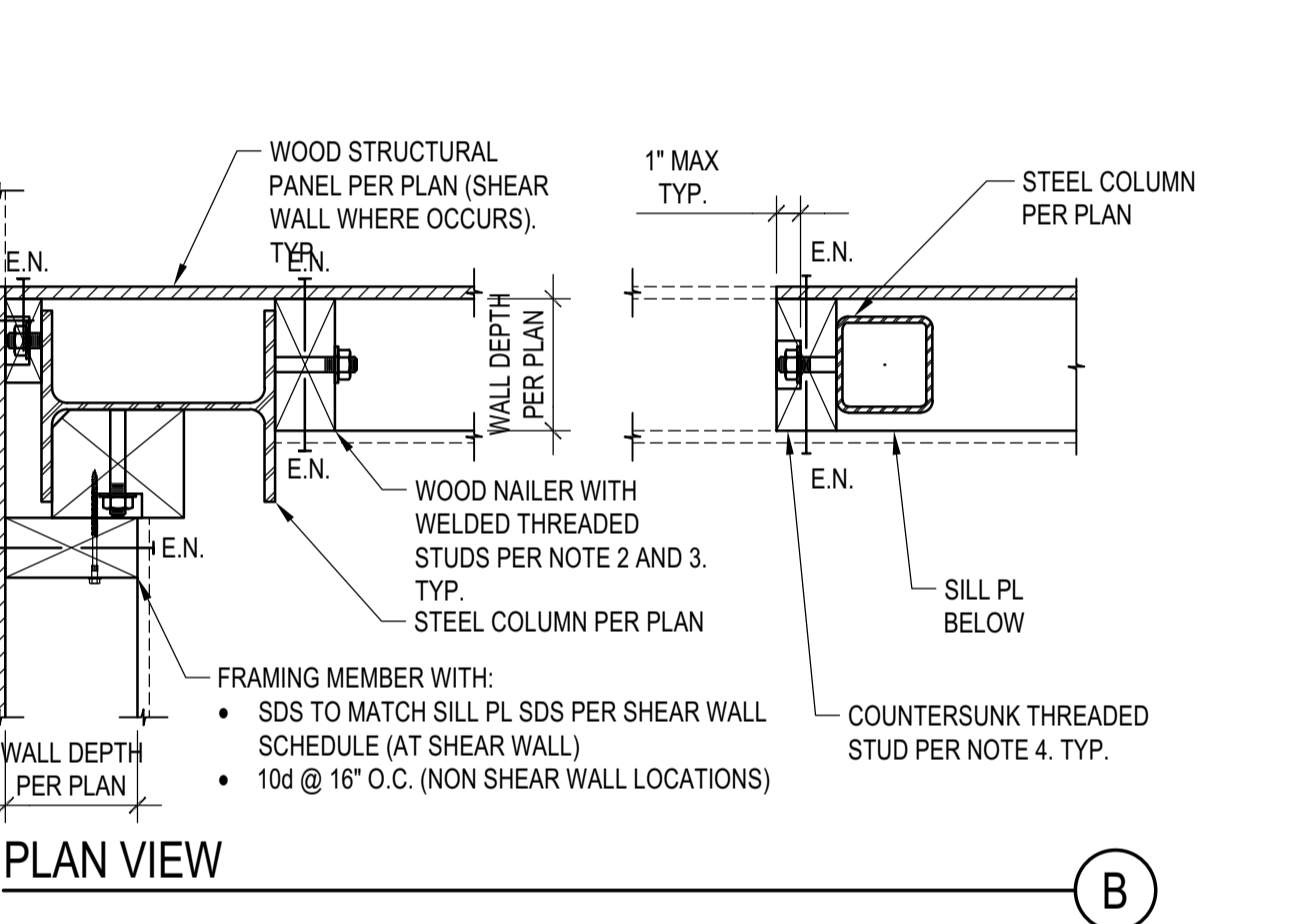
BEARING LEDGER SCHEDULE

MAX JOIST SPAN	BEARING LEDGER SCHEDULE		
	ASSEMBLY I.	ASSEMBLY II.	ASSEMBLY III.
12'-0"	3x 1 5/8 24	3x 1 3/4 16	3x 2 3/4 16
18'-0"	3x 1 5/8 16	3x 2 3/4 16	3x 3 3/4 16
24'-0"	3x 1 5/8 12	3x 2 3/4 12	3x 3 3/4 16
30'-0"	3x 1 5/8 12	3x 3 3/4 16	3x 2 3/4 8
36'-0"	3x 2 5/8 16	3x 3 3/4 16	3x 3 3/4 8

NOTES:

- THIS DETAIL ADDRESSES LEDGER AND ITS CONNECTION TO CONCRETE OR CMU.
- FRAMING AND OUT OF PLANE ANCHORAGE ARE REFERENCED ELSEWHERE IN THE SET
- SEE "LEDGER/NAILER ANCHOR LAYOUT" FOR ANCHOR LAYOUT

LEDGER TO CONCRETE/CMU WALL
 SCALE: N.T.S.



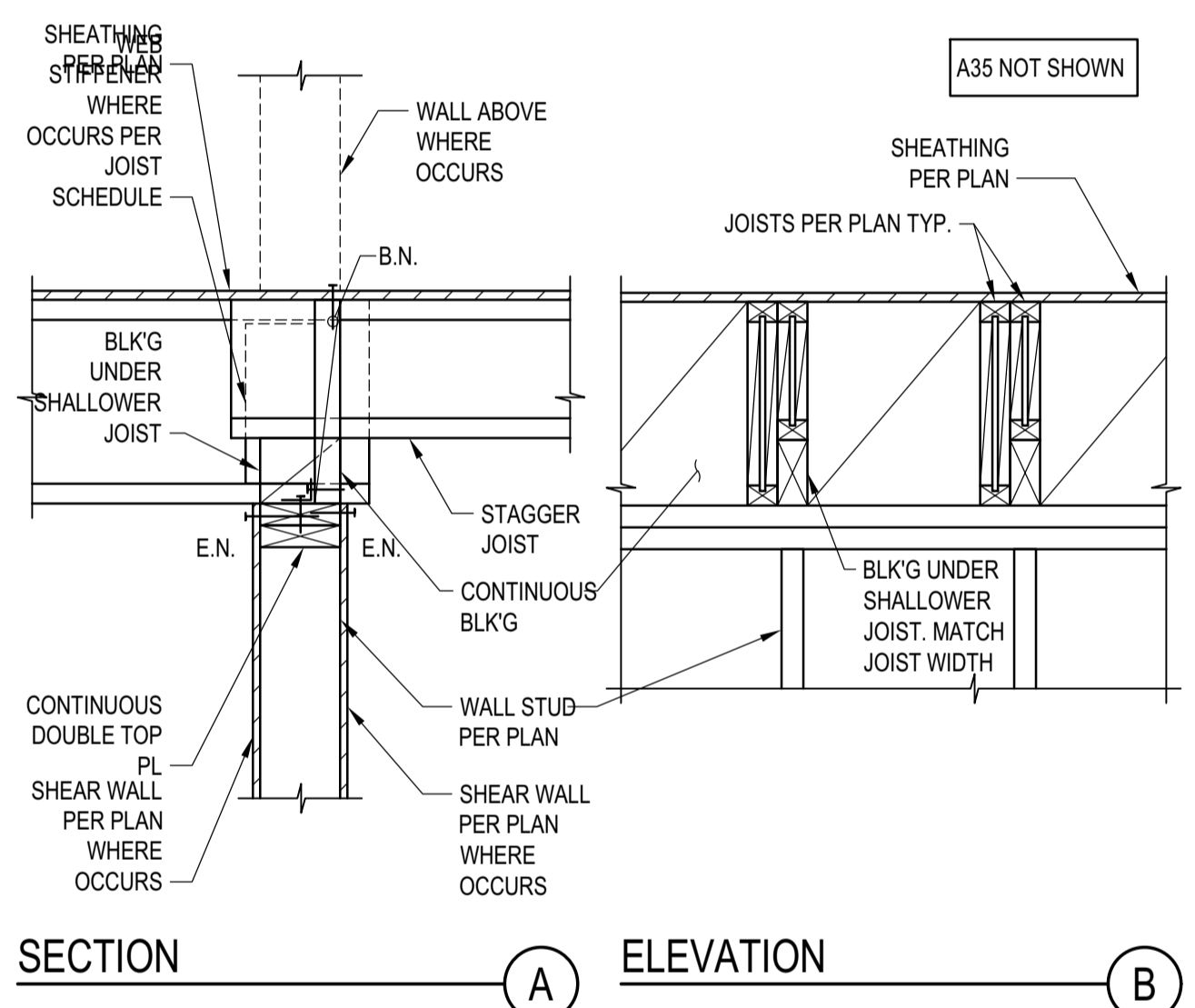
NOTES:

- STEEL COLUMN SECTIONS: WIDE FLANGE AND HSS COLUMN SECTIONS ARE SHOWN. SIMILAR REQUIREMENTS FOR WOOD NAILERS SHALL APPLY FOR OTHER TYPES OF STEEL SECTIONS.
- LOCATION OF WOOD NAILERS: PROVIDE WOOD NAILERS AT ALL LOCATIONS WHERE STEEL COLUMN OCCURS WITHIN SHEAR WALLS. FOR LOCATIONS OTHER THAN SHEAR WALLS PROVIDE WOOD NAILERS AS NEEDED FOR PROPER INSTALLATION OF FINISH MATERIALS.
- WOOD NAILERS SIZE AND CONNECTION: WOOD NAILERS SHALL BE CONNECTED WITH 5/8" WELDED THREADED ANCHORS TO THE STEEL SECTIONS. SPACING AND NOMINAL THICKNESS OF WOOD NAILERS SHALL BE:
 - PER SHEAR WALL SCHEDULE WHERE WOOD NAILERS ARE CONNECTED TO A SHEAR WALL STRUCTURAL PANEL
 - 2x MIN WOOD NAILER WITH THREADED ANCHORS @ 24" O.C. WHERE WOOD NAILERS DO NOT OCCUR WITHIN A SHEAR WALL
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 - AT NAILERS NEEDED ONLY FOR INSTALLATION OF FINISH MATERIAL COUNTERSINKING SHALL BE ALLOWED AS NEEDED FOR PROPER INSTALLATION OF FINISH MATERIAL

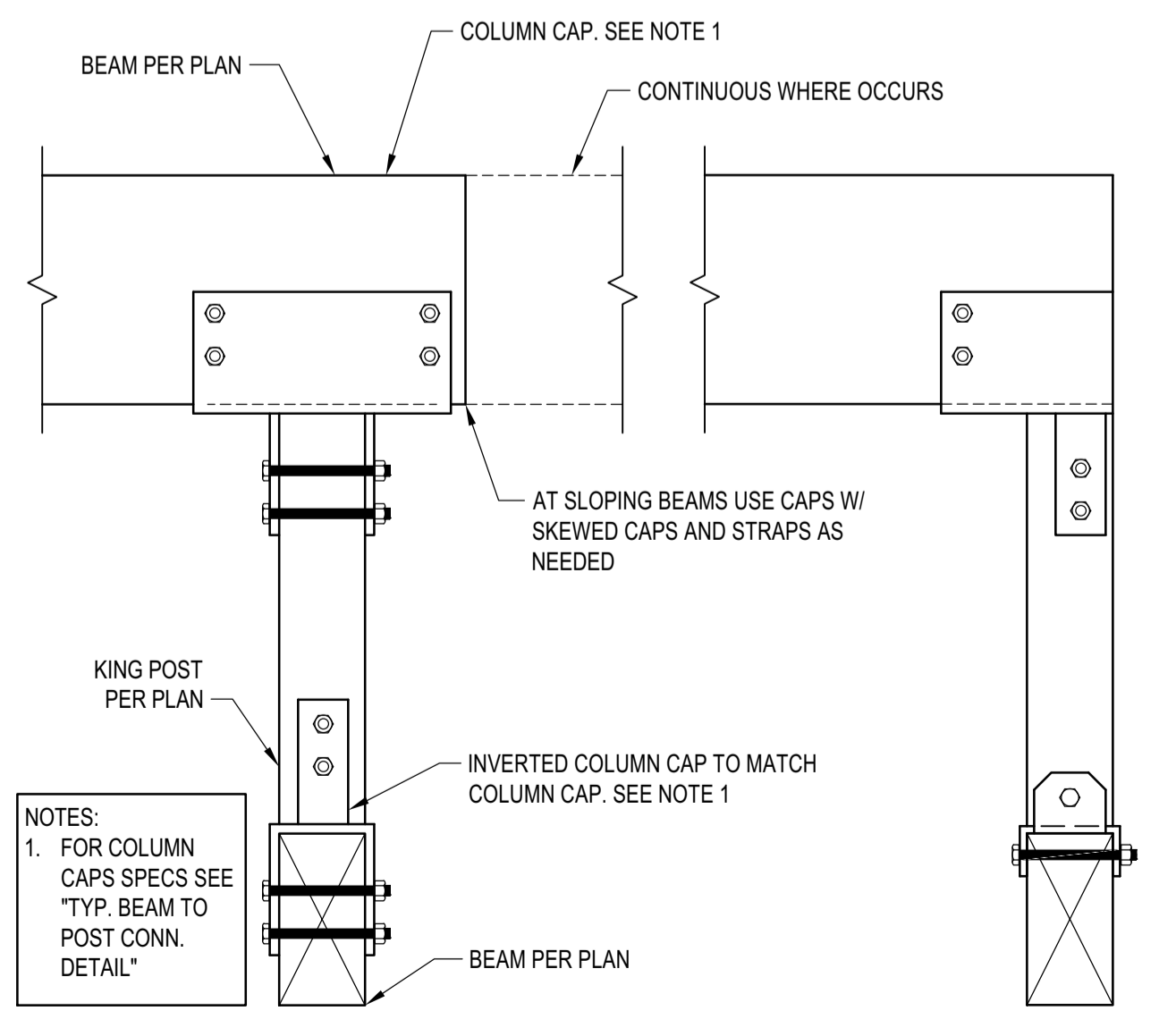
SCHEDULE (INCHES)

WT	T	F	L	P	W	D
WT5	1/4	3/16	5	12	W3	1/2 1/2
7<WT5	3/8	1/4	7	14	3 1/2x12x12	5/8
WT-14	1/2	3/8	9	16	W-5	1/2 3/4

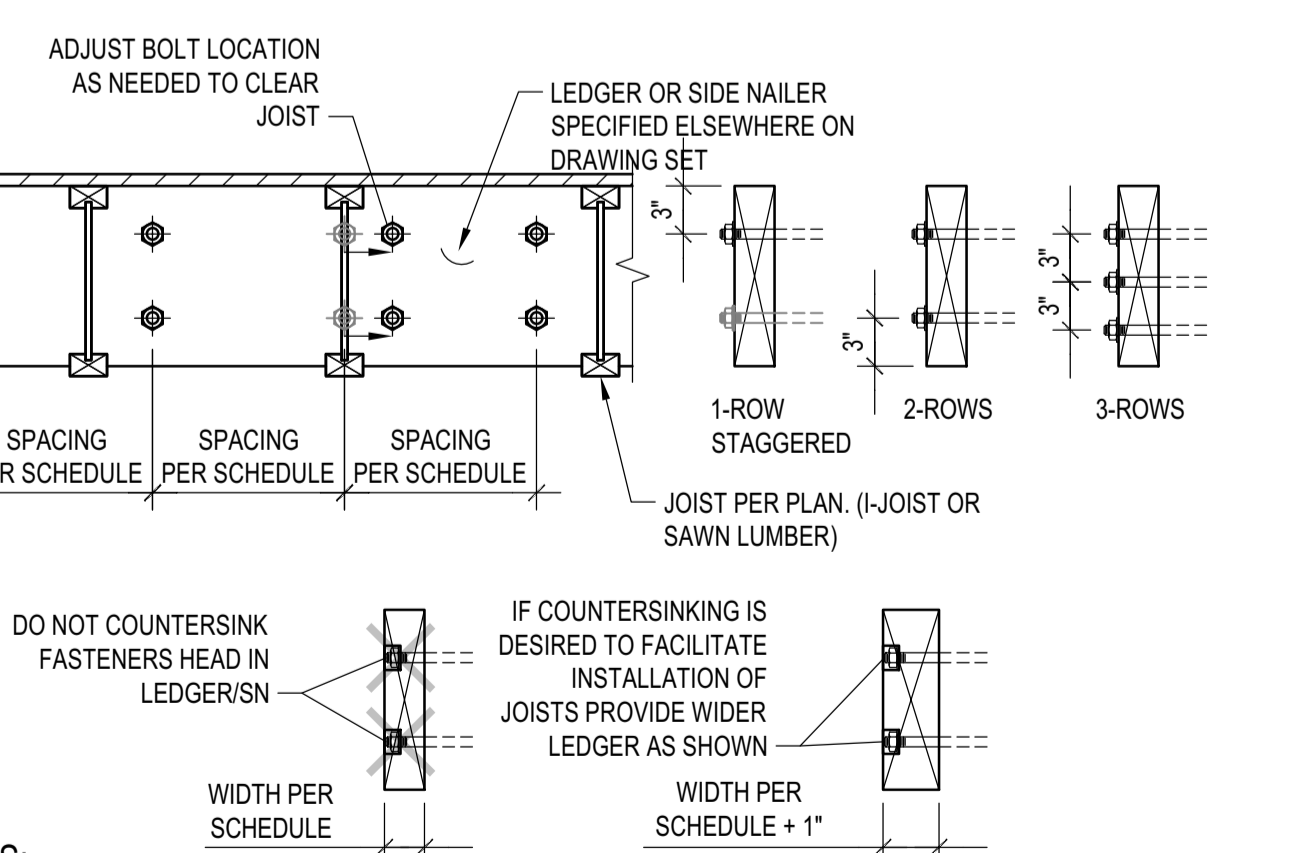
STEEL COLUMN IN STUD WALL
 SCALE: N.T.S.



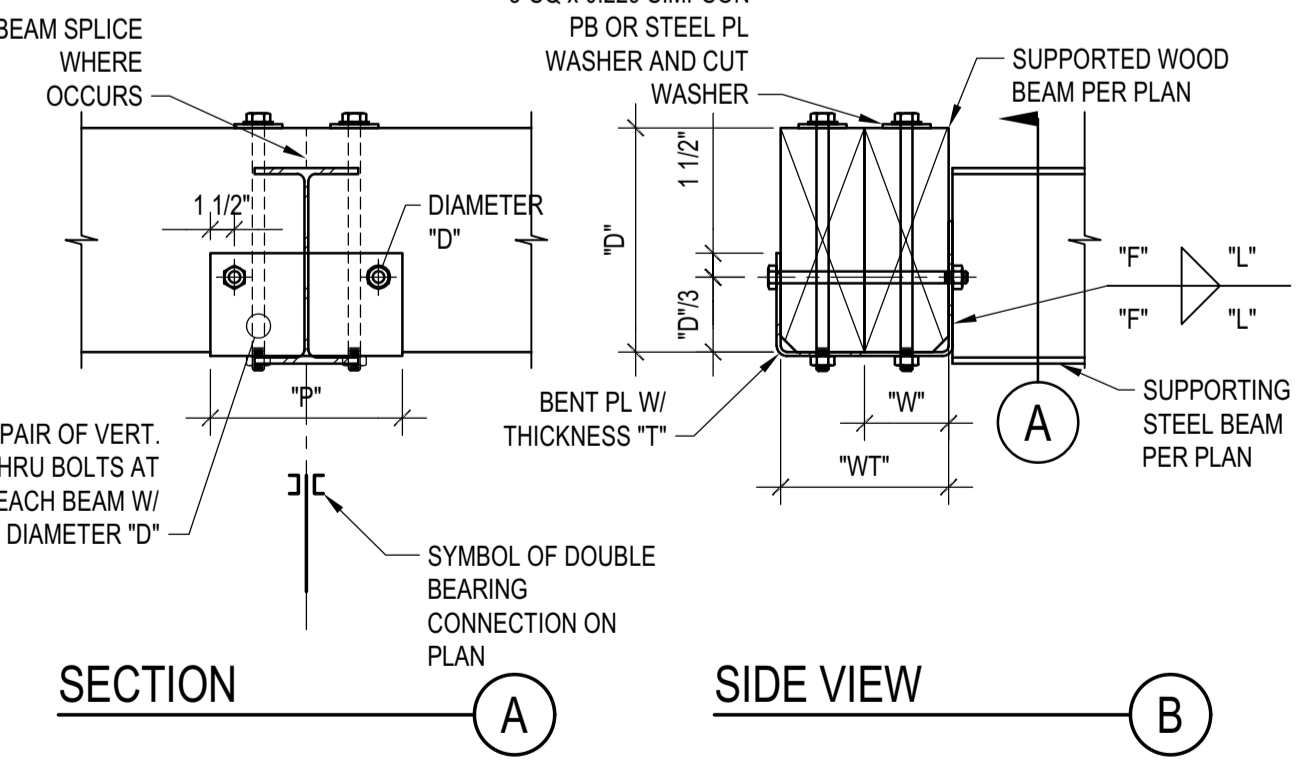
JOIST WITH DIFFERENT DEPTH
 SCALE: N.T.S.



TYP. KING POST DETAIL
 SCALE: N.T.S.



LEDGER/NAILER ANCHOR LAYOUT
 SCALE: N.T.S.



LEDGER TO CONCRETE/CMU WALL
 SCALE: N.T.S.

BADGER RESIDENCE

OWNER:
121 BADGER LANE LLC
 P.O. BOX 14001-174
 KETCHUM, ID 83340

PROJECT ARCHITECT:
ROCKETT DESIGN
 1031 W. MANCHESTER BLVD, UNIT 6
 INGLEWOOD, CA 90301
 TEL: 213.784.0014

SURVEYOR & CIVIL ENGINEER:
GALENA ENGINEERING, INC.
 317 NORTH RIVER STREET
 HAILEY, ID 83333
 TEL: 208.788.1705

GEOTECHNICAL ENGINEER:
BUTLER ASSOCIATES, INC.
 P.O. BOX 1034
 KETCHUM, ID 83340
 TEL: 208.720.6432

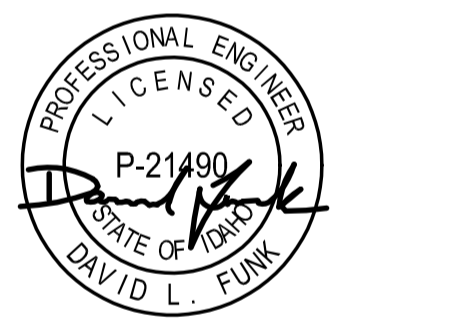
LANDSCAPE ARCHITECT:
BYLA
 323 LEWIS STREET, SUITE N
 KETCHUM, ID 83340
 TEL: 208.726.5907

STRUCTURAL ENGINEER:
LFA
 319 MAIN STREET
 EL SEGUNDO, CA 90245
 TEL: 213.239.8700
 LFA Job #22791



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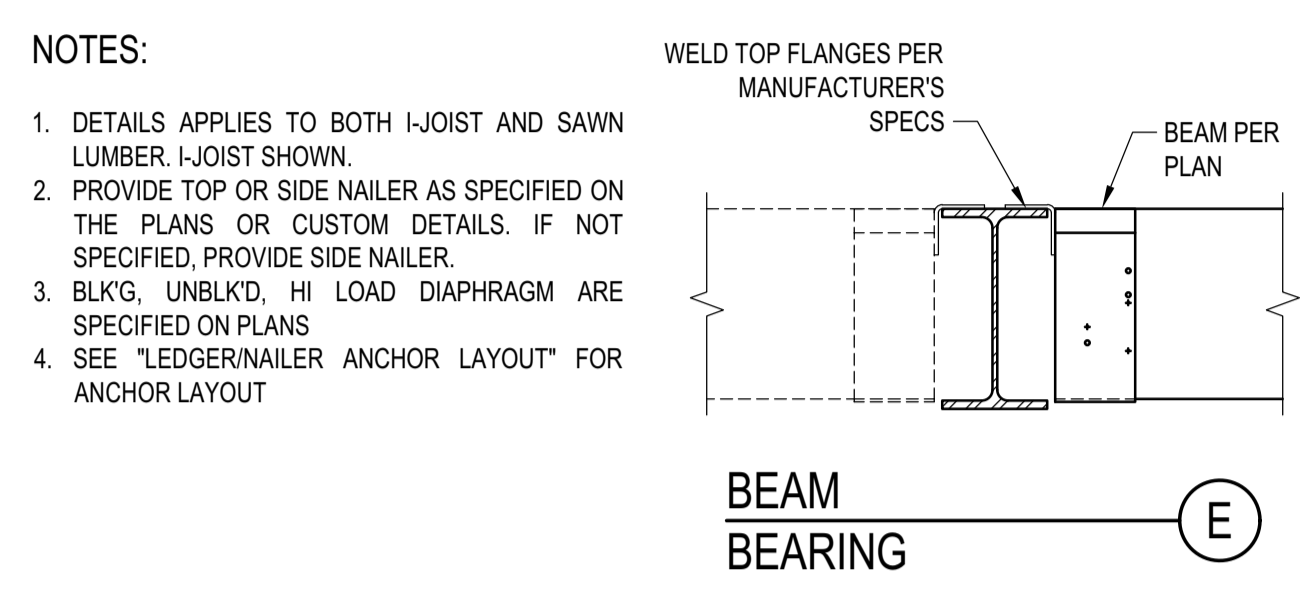
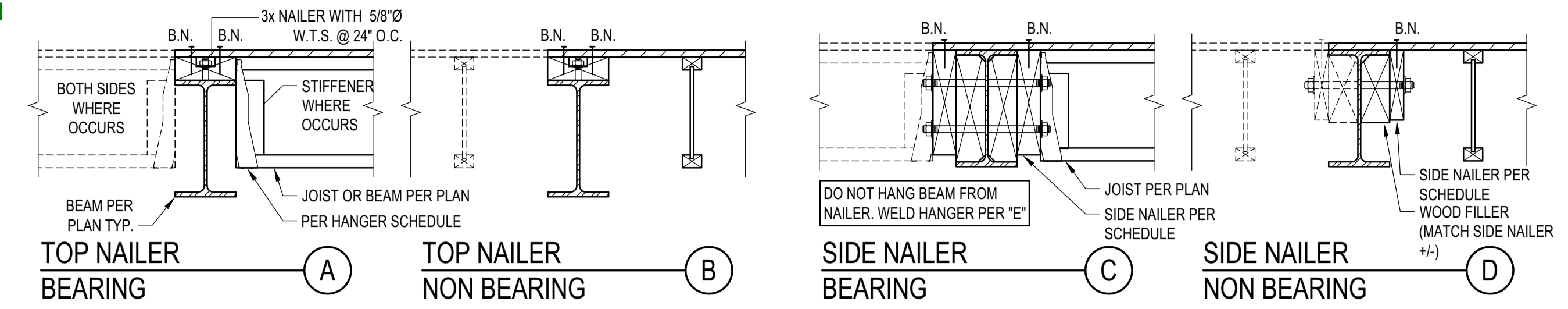
02/24/23 PC SUBMITTAL
 NO DATE ISSUE

PROJECT:
BADGER RESIDENCE
 121 BADGER LANE
 KETCHUM, ID 83340

PROJECT NUMBER
#2201

DRAWING TITLE:
TYPICAL DETAILS - WOOD

DRAWING NUMBER:
S-035



ASSEMBLIES:
 I. NON OCCUPIED ROOFS WITH MAX 1" GRAVEL AND WITHOUT GARDEN ROOF
 II. THIS ASSEMBLY INCLUDES:
 • NON OCCUPIED ROOFS WITH MORE THAN 1" AND UP TO 3" GRAVEL
 • NON OCCUPIED GARDEN ROOF ASSEMBLIES UP TO 6"
 • SINGLE FAMILY FLOORS AND DECKS
 III. ALL CASES NOT COVERED IN I. OR II.

MAX JOIST SPAN	SIDE NAILER - BEARING		
	ASSEMBLY I.	ASSEMBLY II.	ASSEMBLY III.
12'-0"	3x 1 5/8 24	3x 1 3/4 12	3x 2 3/4 16
18'-0"	3x 1 5/8 16	3x 2 3/4 16	3x 3 3/4 16
24'-0"	3x 1 5/8 12	3x 2 3/4 12	3x 2 3/4 8
30'-0"	3x 2 5/8 16	3x 3 3/4 16	3x 3 3/4 8
36'-0"	3x 2 5/8 16	3x 2 3/4 8	3x 3 3/4 8

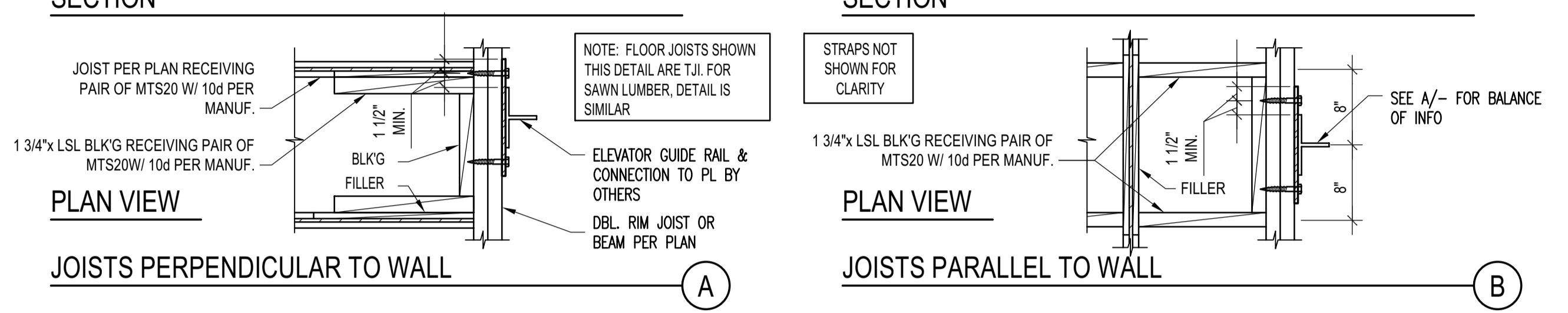
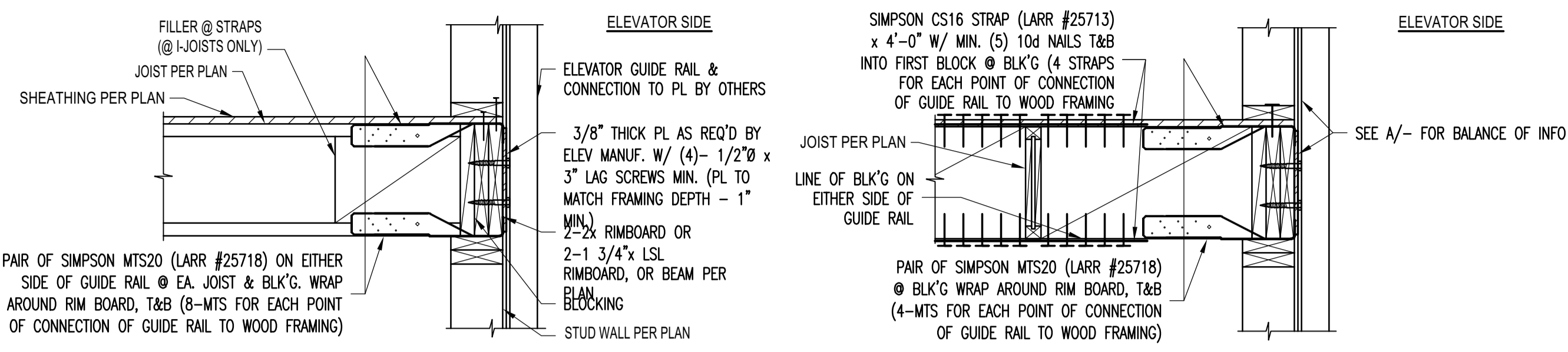
DIAPHRAGM TYPE	SIDE NAILER		
	ASSEMBLY I.	ASSEMBLY II.	ASSEMBLY III.
BLK'D/UNBLKD ⁽¹⁾	2x 1 5/8 24	2x 2 3/4 12	2x 2 3/4 8
HIGH LOAD ⁽²⁾	3x 1 3/4 12	3x 2 3/4 8	3x 2 3/4 8

SCHEDULE LEGEND
 3x 2 3/4 12

ASSEMBLY:
 SIDE NAILER
 ROWS OF FASTENERS
 FASTENER DIAMETER
 FASTENER SPACING

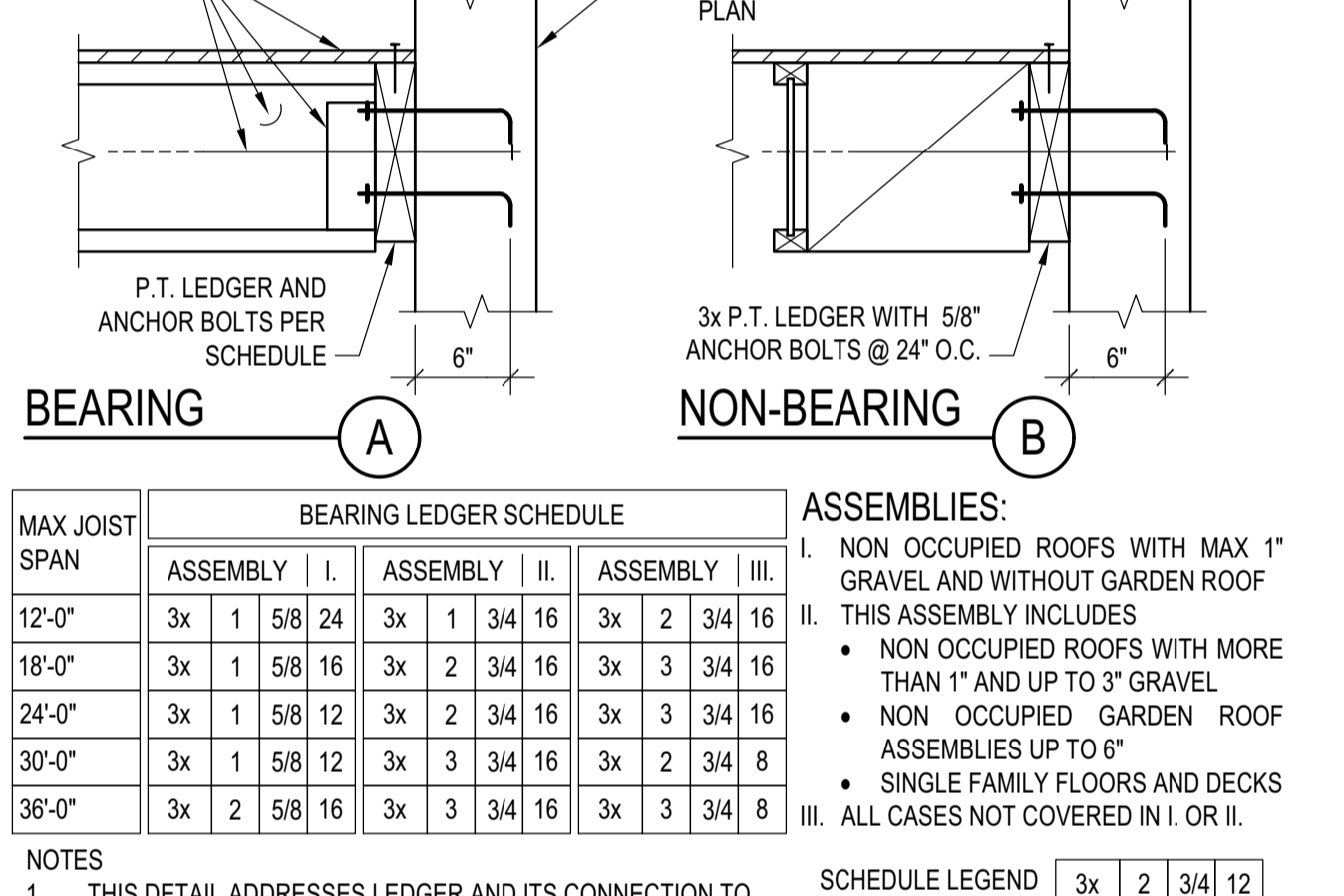
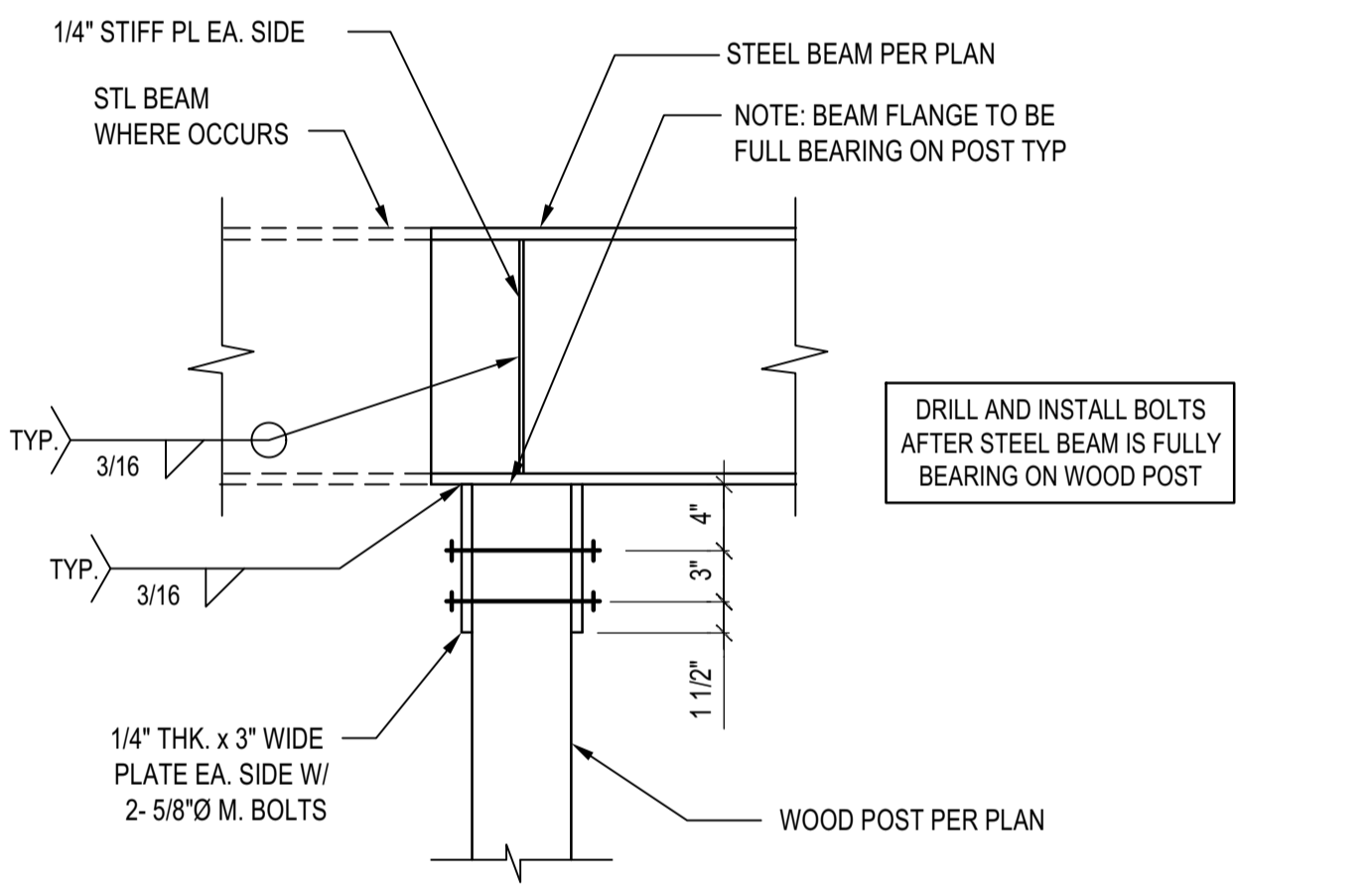
STEEL BEAM IN WOOD FRAMING
 SCALE: N.T.S.

5



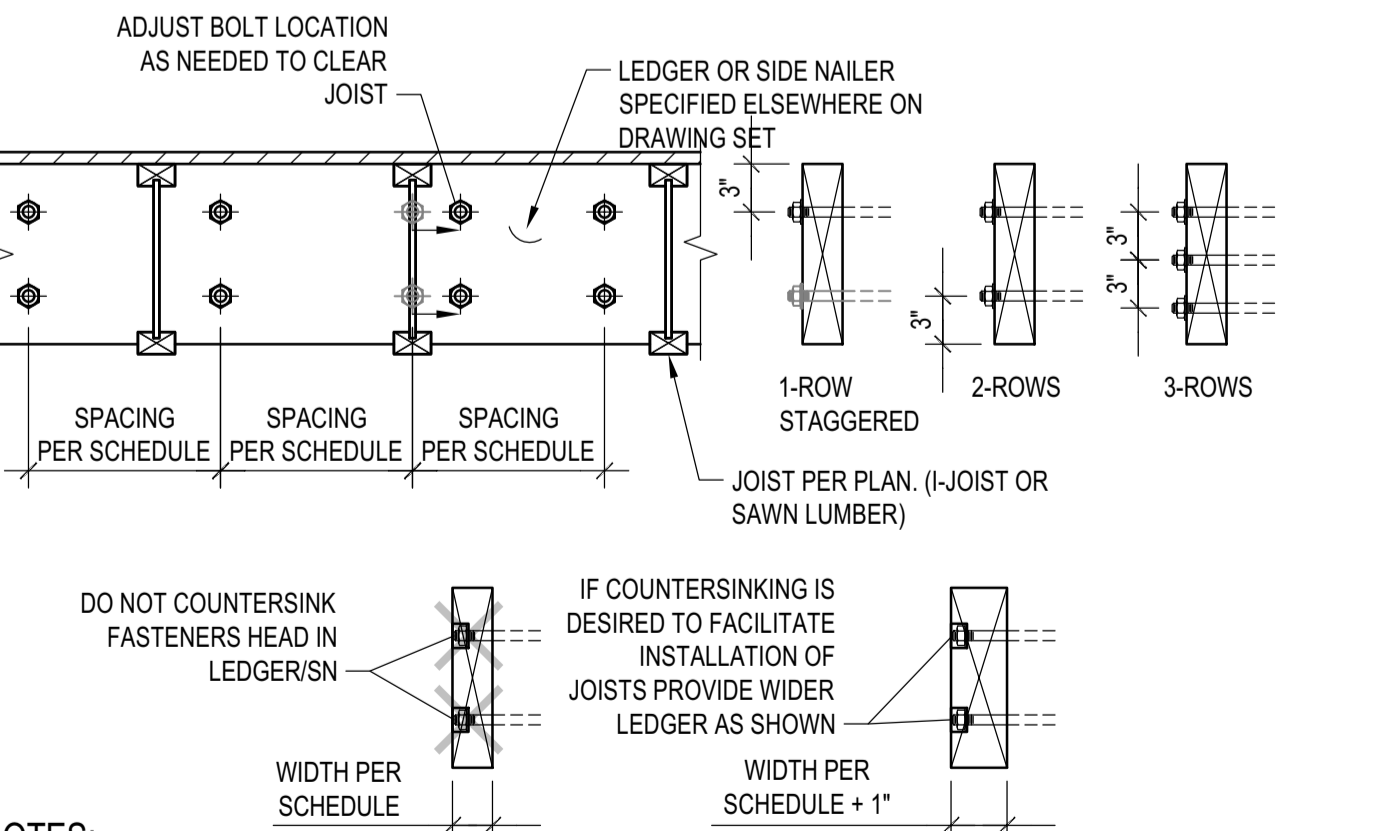
ELEVATOR GUIDE RAIL SUPPORT DETAIL
 SCALE: N.T.S.

1

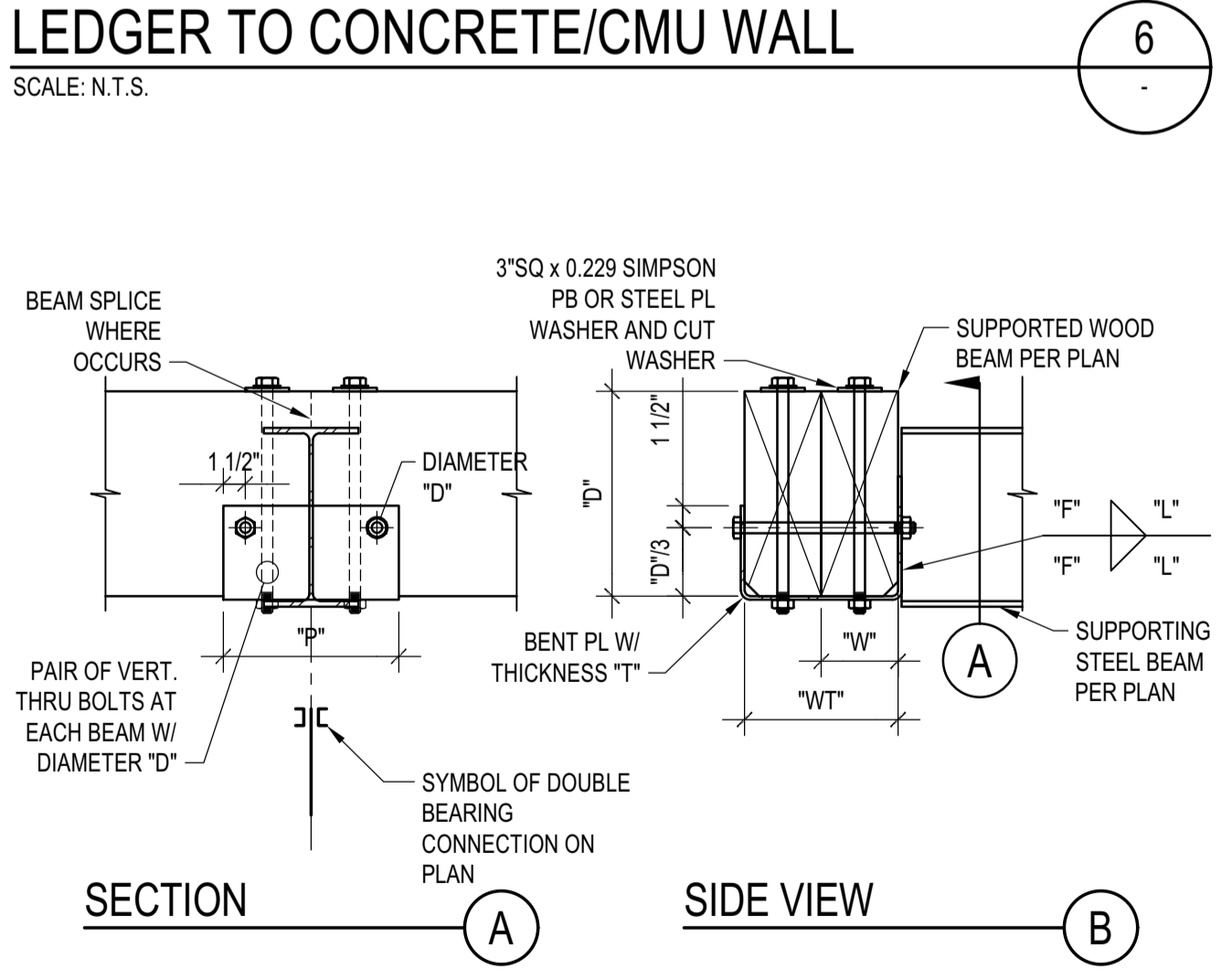


STL BEAM TO ISOLATED WOOD POST CONNECTION
 SCALE: N.T.S.

6



LEDGER/NAILER ANCHOR LAYOUT
 SCALE: N.T.S.

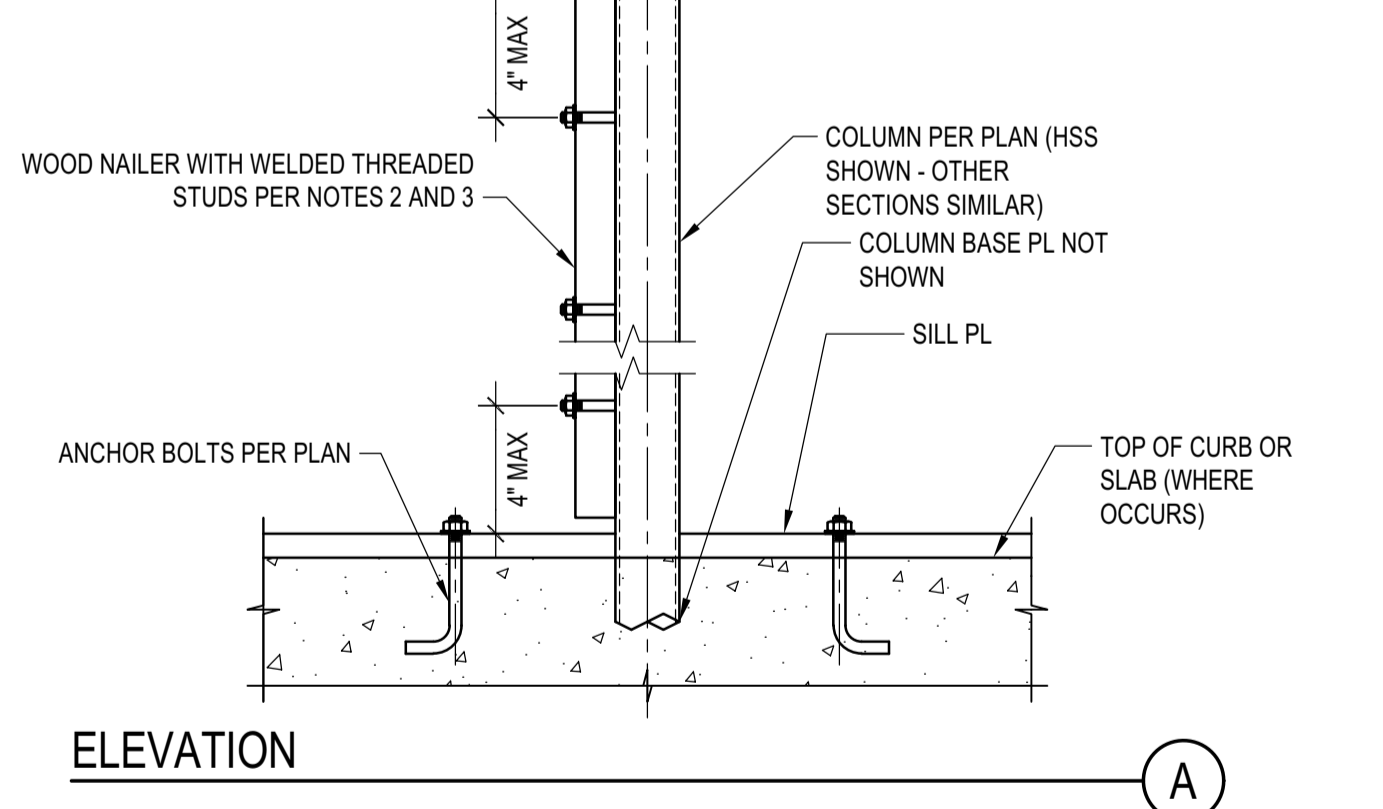
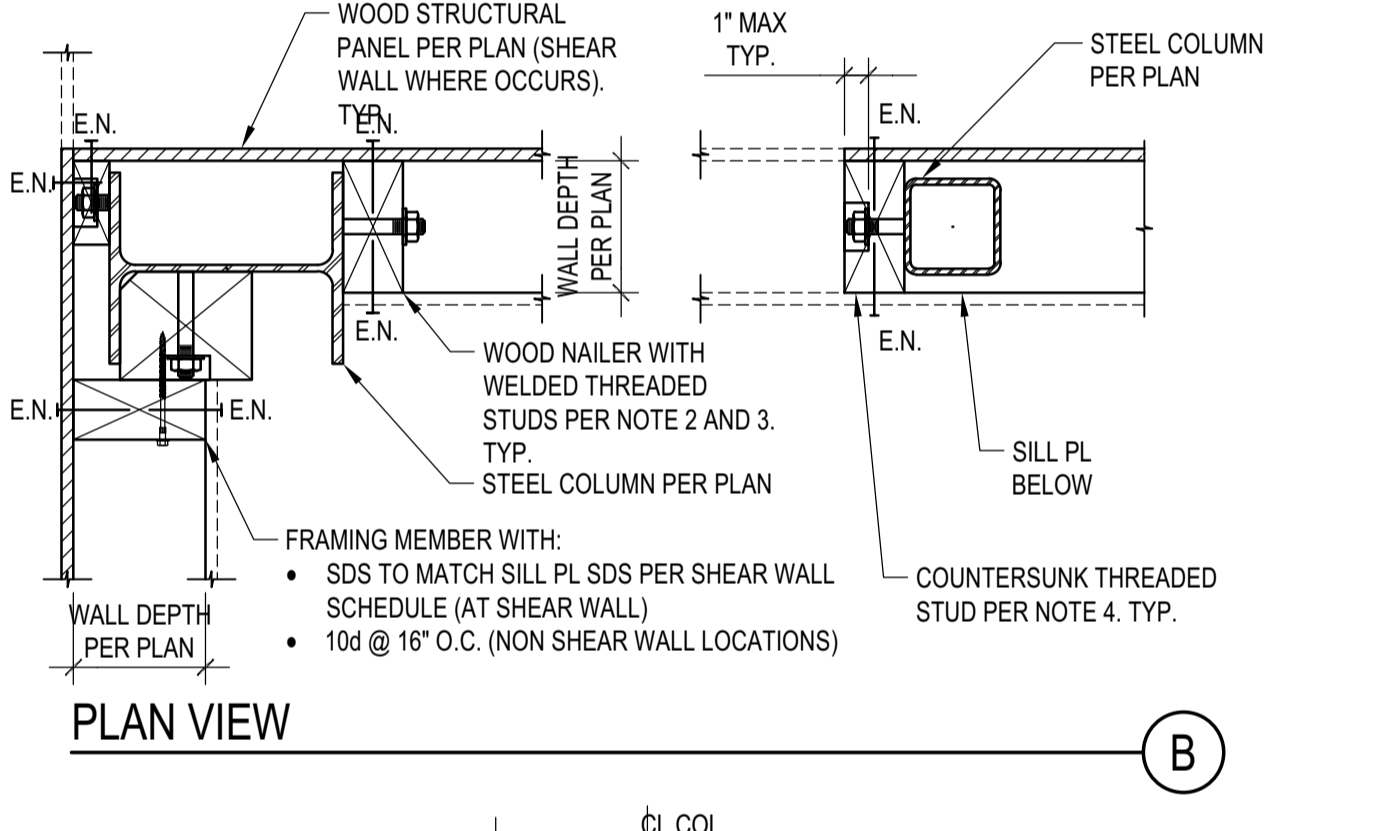


NOTES:
 1. THIS DETAIL APPLIES WHERE SPECIFIED ON PLANS
 2. THE DETAIL APPLIES TO SINGLE OR COMPOSITE BEAMS. WHERE SINGLE BEAMS ARE SPECIFIED, "WT" AND "W" COINCIDE.

SCHEDULE (INCHES)						
WT	T	F	L	P	W	D
WT5	1/4	3/16	5	12	W3	1/2 1/2
7<WT5	3/8	1/4	7	14	3 1/2	1/2 5/8
WT-14	1/2	3/8	9	16	W-5	1/2 3/4

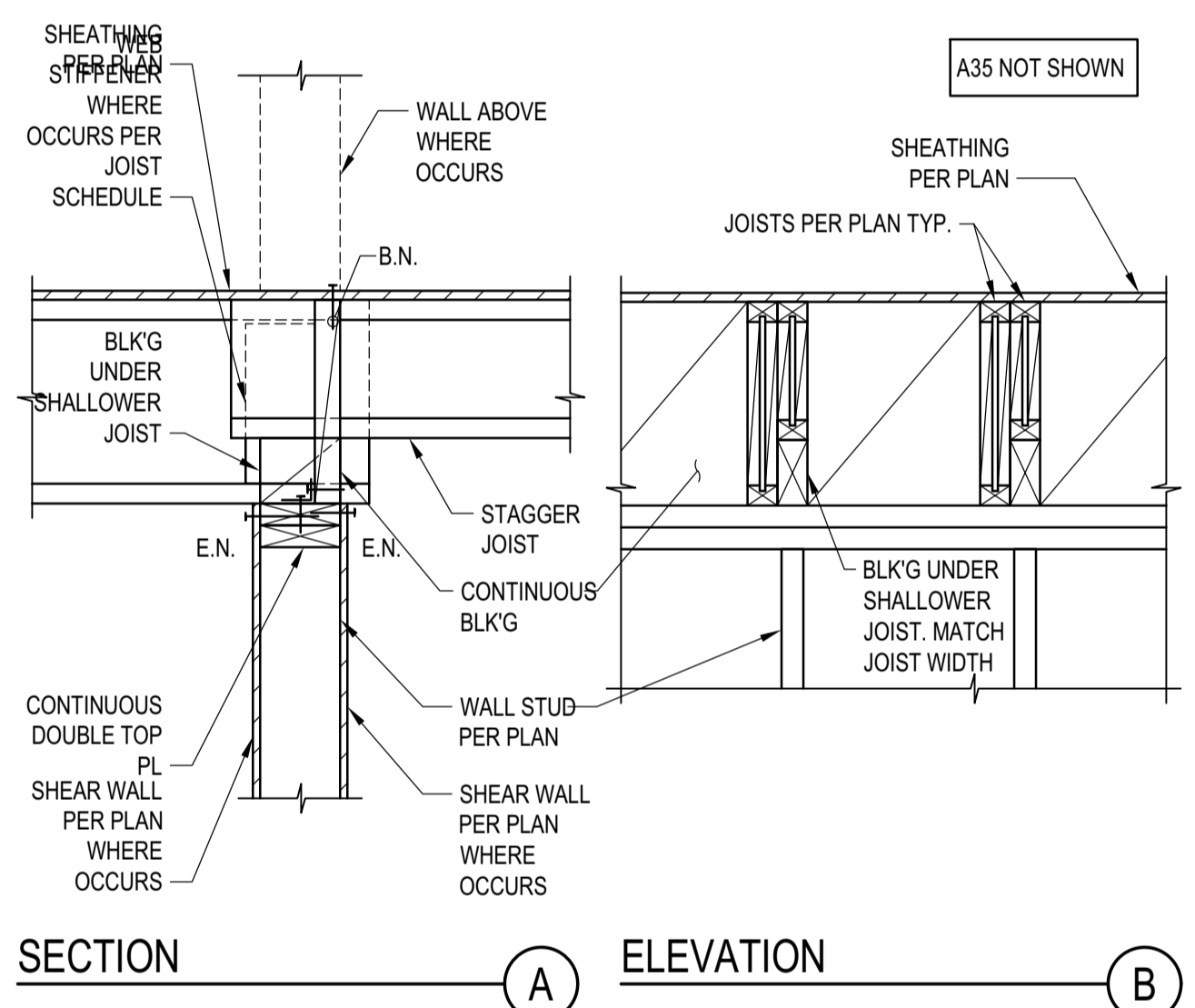
DOUBLE BEARING CONNECTION
 SCALE: N.T.S.

7



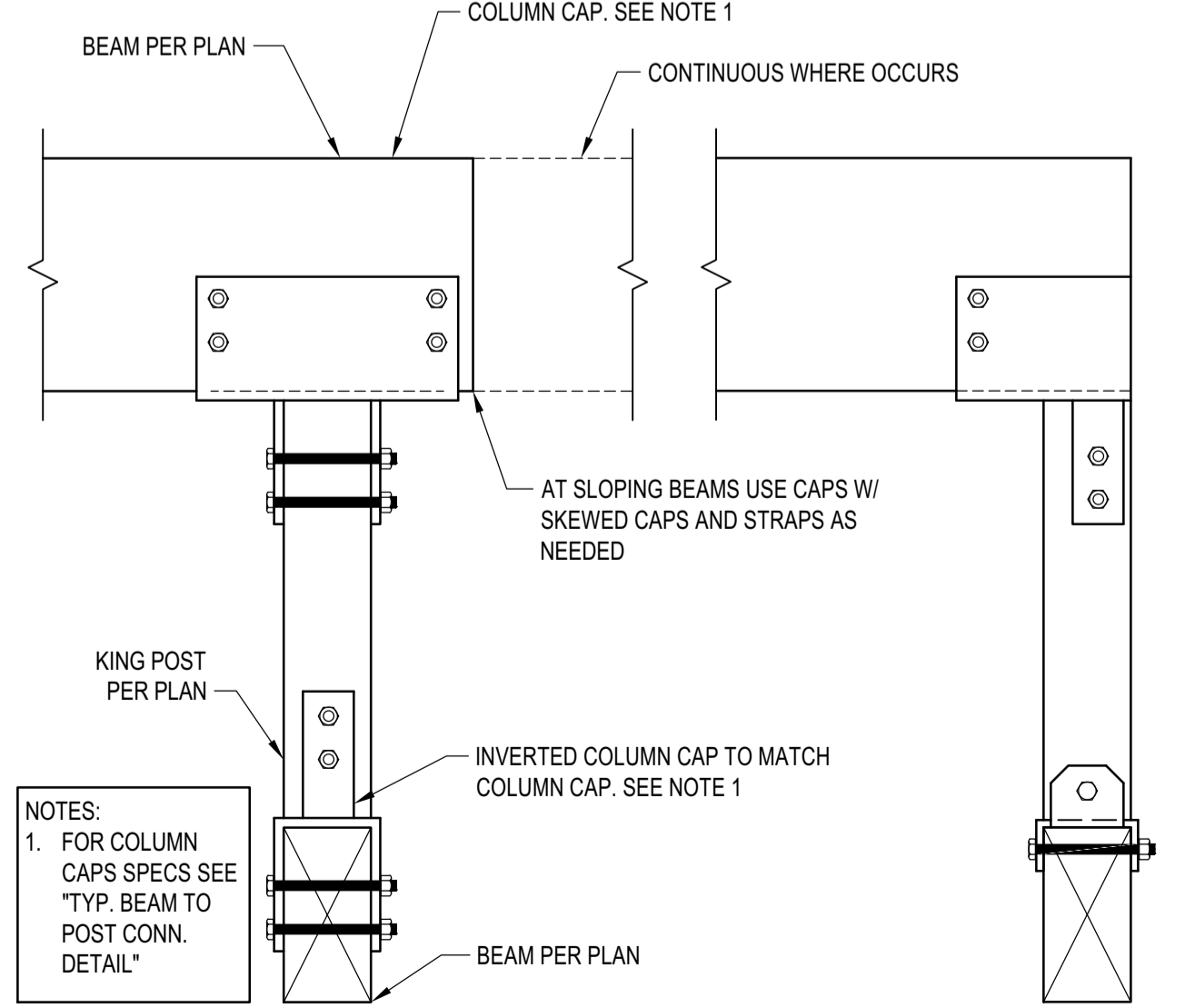
STEEL COLUMN IN STUD WALL
 SCALE: N.T.S.

4



JOIST WITH DIFFERENT DEPTH
 SCALE: N.T.S.

2



TYP. KING POST DETAIL
 SCALE: N.T.S.

3

BADGER RESIDENCE

OWNER:
121 BADGER LANE LLC
 P.O. BOX 14001-174
 KETCHUM, ID 83340

PROJECT ARCHITECT:
ROCKETT DESIGN
 1031 W. MANCHESTER BLVD. UNIT 6
 INGLEWOOD, CA 90301
 TEL: 213.784.0014

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 HAILEY, ID 83333
 TEL: 208.788.1705

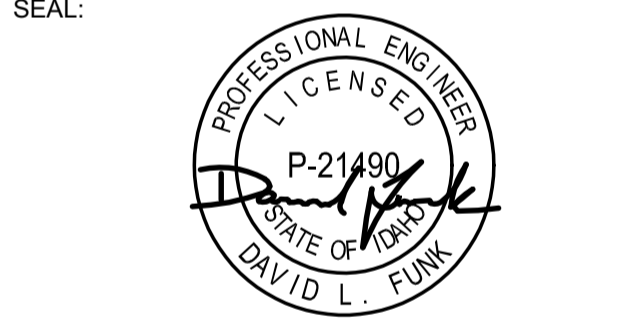
GEOTECHNICAL ENGINEER:
BUTLER ASSOCIATES, INC.
 P.O. BOX 1034
 KETCHUM, ID 83340
 TEL: 208.720.6432

LANDSCAPE ARCHITECT:
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 KETCHUM, ID 83340
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 NO DATE ISSUE

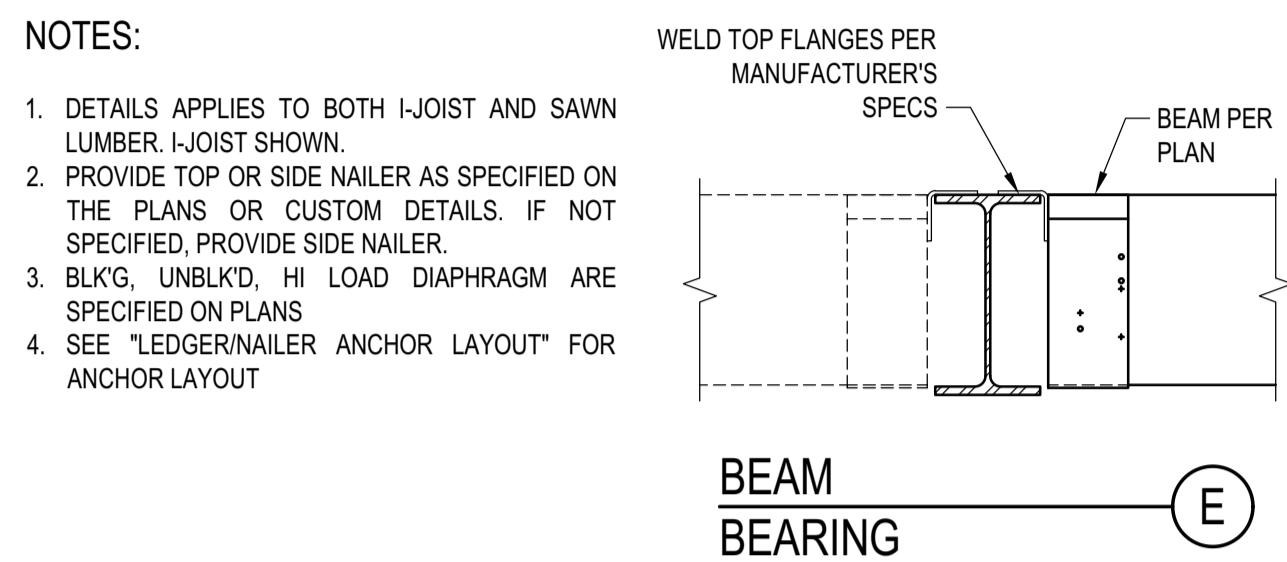
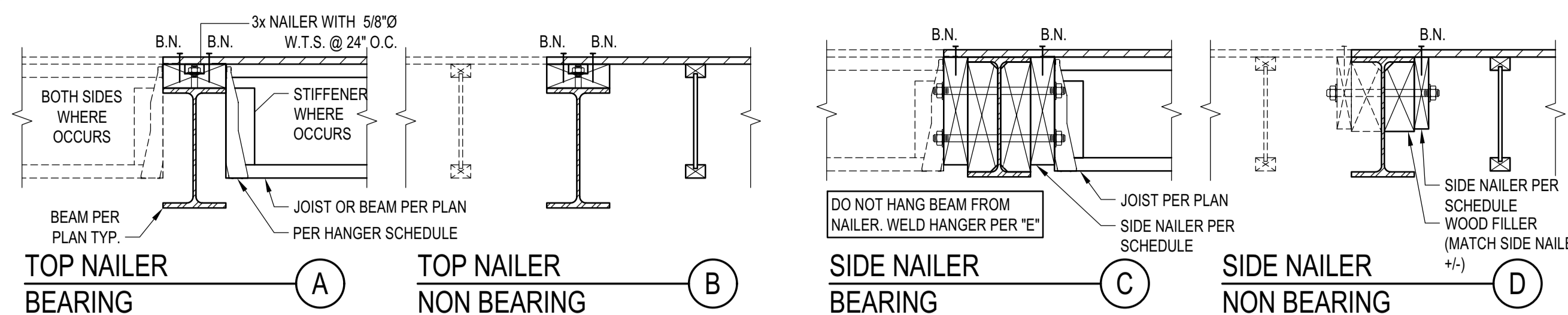
PROJECT:
BADGER RESIDENCE
 121 BADGER LANE
 KETCHUM, ID 83340

PROJECT NUMBER
#2201

DRAWING TITLE:
TYPICAL DETAILS - WOOD

DRAWING NUMBER:
S-036

Approved
 These plans have been found to be in substantial compliance with the applicable building codes. These documents are approved contingent on compliance with the mark-ups and notes applied. This is not approval of any code, ordinance, statute or regulation. Corrections will be required for code violations found during the inspection process.
 BLD2303-00021
 06/26/23



ASSEMBLIES:

- I. NON OCCUPIED ROOFS WITH MAX 1" GRAVEL AND WITHOUT GARDEN ROOF
- II. THIS ASSEMBLY INCLUDES:
 - NON OCCUPIED ROOFS WITH MORE THAN 1" AND UP TO 3" GRAVEL
 - NON OCCUPIED GARDEN ROOF ASSEMBLIES UP TO 6"
 - SINGLE FAMILY FLOORS AND DECKS
- III. ALL CASES NOT COVERED IN I. OR II.

SCHEDULE LEGEND

3x	2	3/4	12
----	---	-----	----

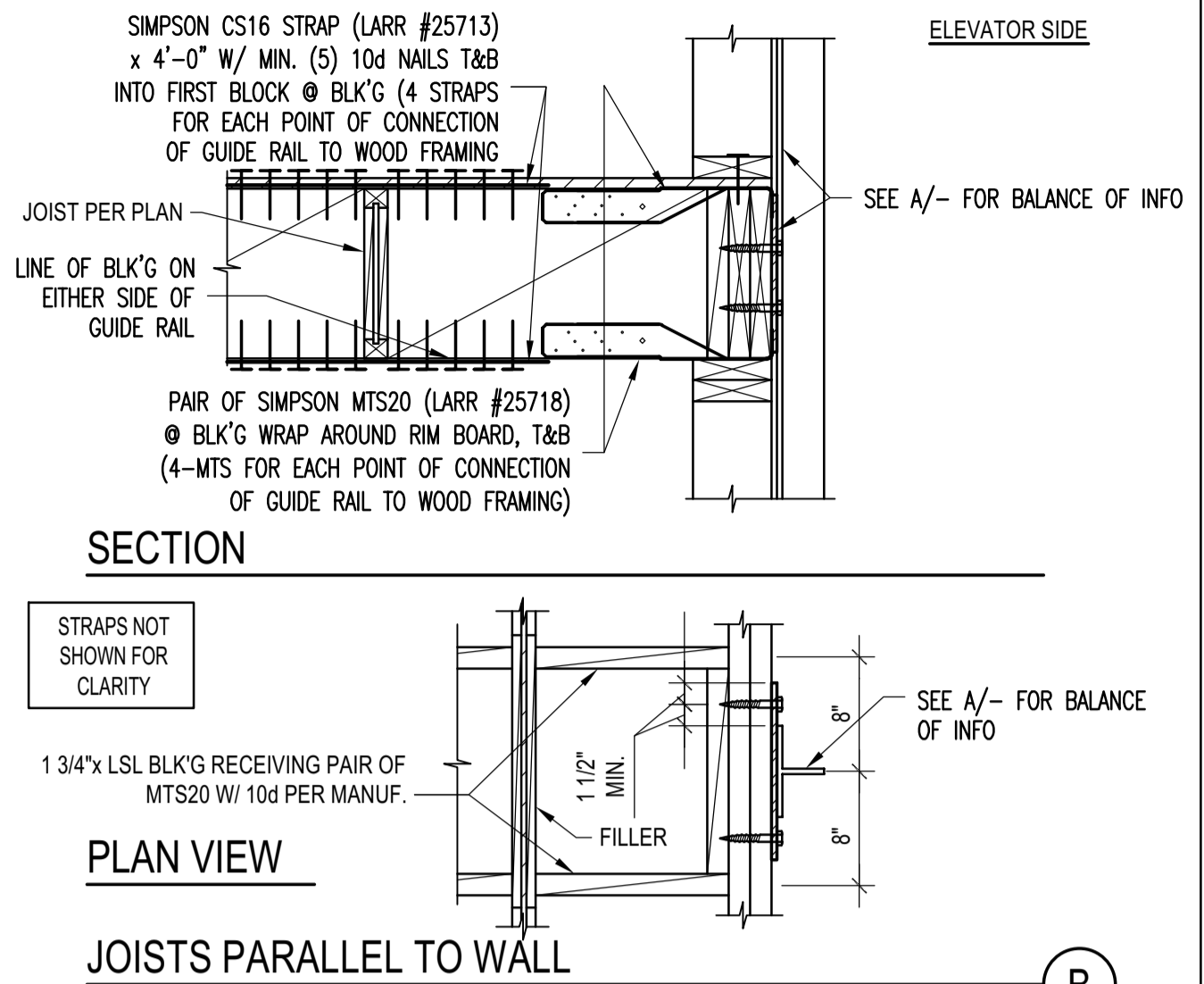
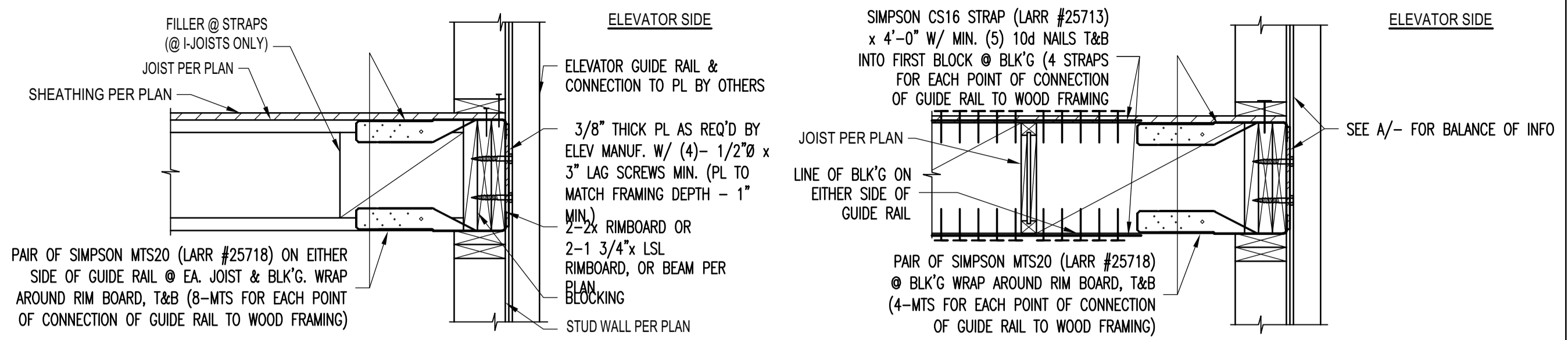
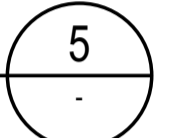
ROWS OF FASTENERS
FASTENER DIAMETER
FASTENER SPACING

MAX JOIST SPAN	SIDE NAILER - BEARING			SIDE NAILER - NOT BEARING		
	ASSEMBLY I	ASSEMBLY II	ASSEMBLY III	ASSEMBLY I	ASSEMBLY II	ASSEMBLY III
12'-0"	3x 1 5/8 24	3x 1 3/4 12	3x 2 3/4 16	2x 1 5/8 24	3x 1 3/4 12	3x 2 3/4 16
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30'-0"	3x 2 5/8 16	3x 3 3/4 16	3x 3 3/4 8	3x 1 5/8 12	3x 3 3/4 12	3x 2 3/4 8
36'-0"	3x 2 5/8 16	3x 2 3/4 8	3x 3 3/4 8	3x 2 5/8 16	3x 3 3/4 12	3x 3 3/4 8

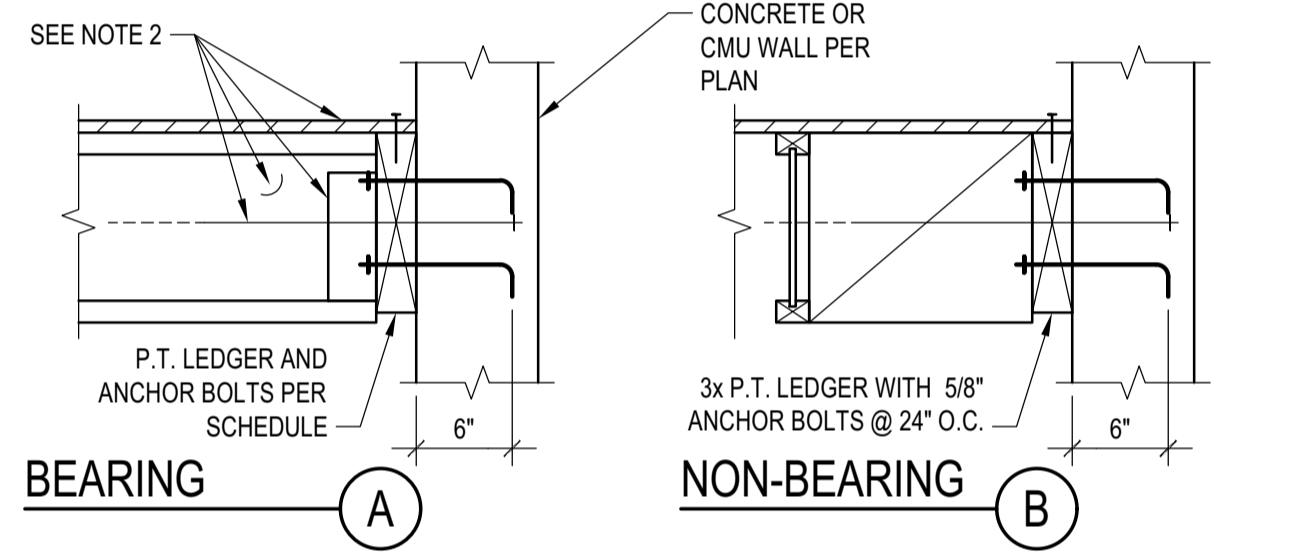
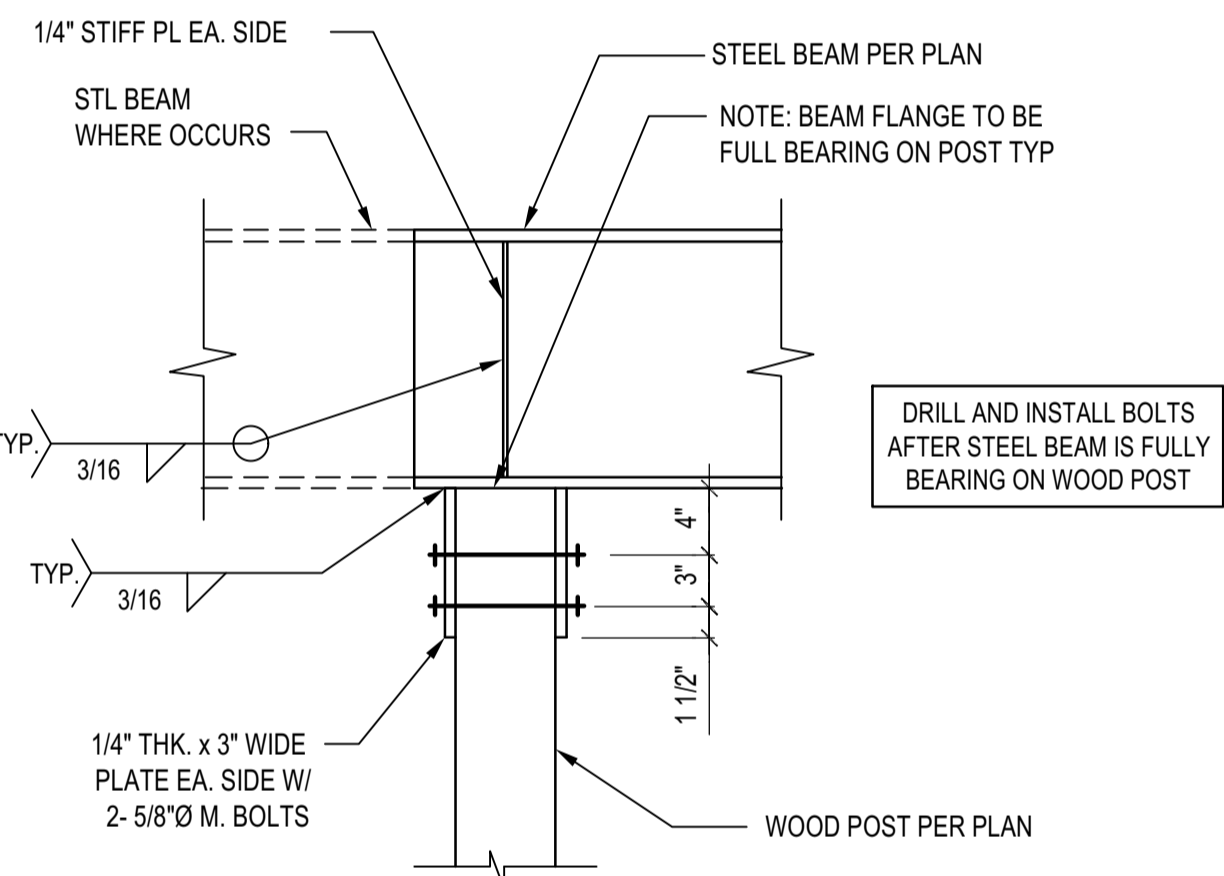
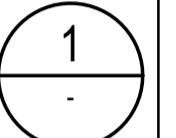
DIAPHRAM TYPE

BLK'G/UNBLK'D ⁽³⁾	SIDE NAILER		DEPTH TO MATCH STEEL BEAM DEPTH, BUT NEEDS NOT EXCEED 8" NOMINAL
	DIAPHRAM TYPE	SIDE NAILER	
HIGH LOAD ⁽³⁾	2x	1 5/8 24	
	3x	1 3/4 12	

STEEL BEAM IN WOOD FRAMING
SCALE: N.T.S.



ELEVATOR GUIDE RAIL SUPPORT DETAIL
SCALE: N.T.S.



ASSEMBLIES:

- I. NON OCCUPIED ROOFS WITH MAX 1" GRAVEL AND WITHOUT GARDEN ROOF
- II. THIS ASSEMBLY INCLUDES:
 - NON OCCUPIED ROOFS WITH MORE THAN 1" AND UP TO 3" GRAVEL
 - NON OCCUPIED GARDEN ROOF ASSEMBLIES UP TO 6"
 - SINGLE FAMILY FLOORS AND DECKS
- III. ALL CASES NOT COVERED IN I. OR II.

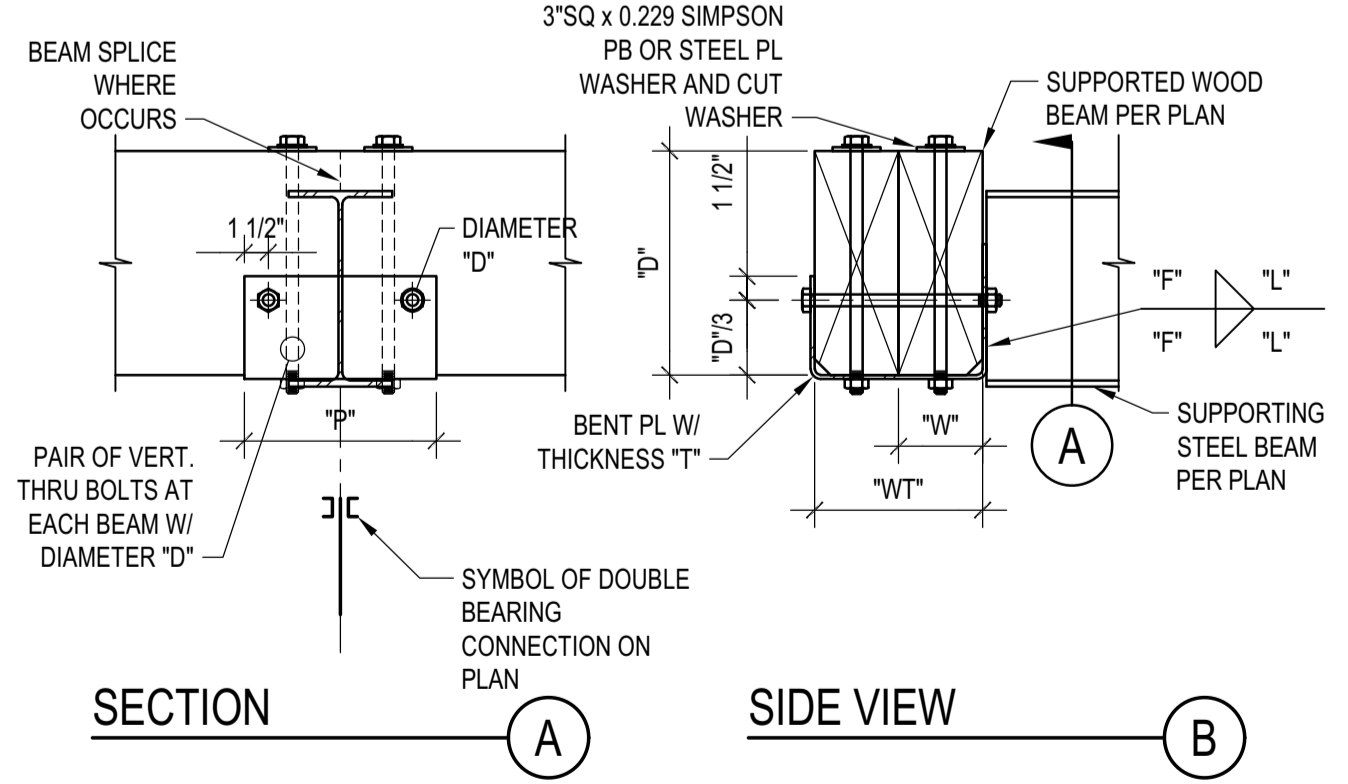
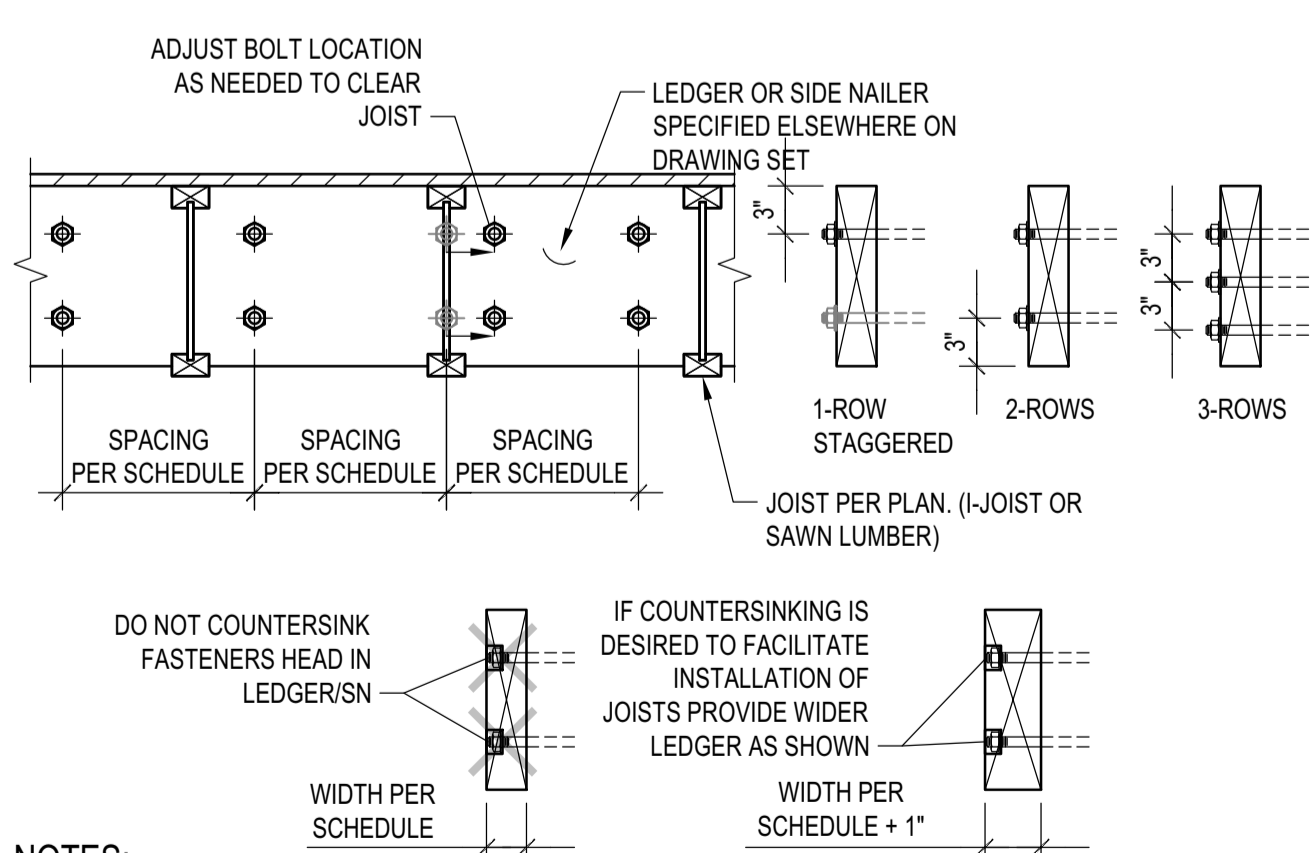
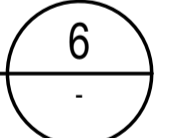
SCHEDULE LEGEND

3x	2	3/4	12
----	---	-----	----

LEDGER
FASTENER DIAMETER
FASTENER SPACING

MAX JOIST SPAN	BEARING LEDGER SCHEDULE		
	ASSEMBLY I	ASSEMBLY II	ASSEMBLY III
12'-0"	3x 1 5/8 24	3x 1 3/4 16	3x 2 3/4 16
18'-0"	3x 1 5/8 16	3x 2 3/4 16	3x 3 3/4 16
24'-0"	3x 1 5/8 12	3x 2 3/4 12	3x 3 3/4 16
30'-0"	3x 1 5/8 12	3x 3 3/4 16	3x 2 3/4 8
36'-0"	3x 2 5/8 16	3x 3 3/4 16	3x 3 3/4 8

STL BEAM TO ISOLATED WOOD POST CONNECTION
SCALE: N.T.S.

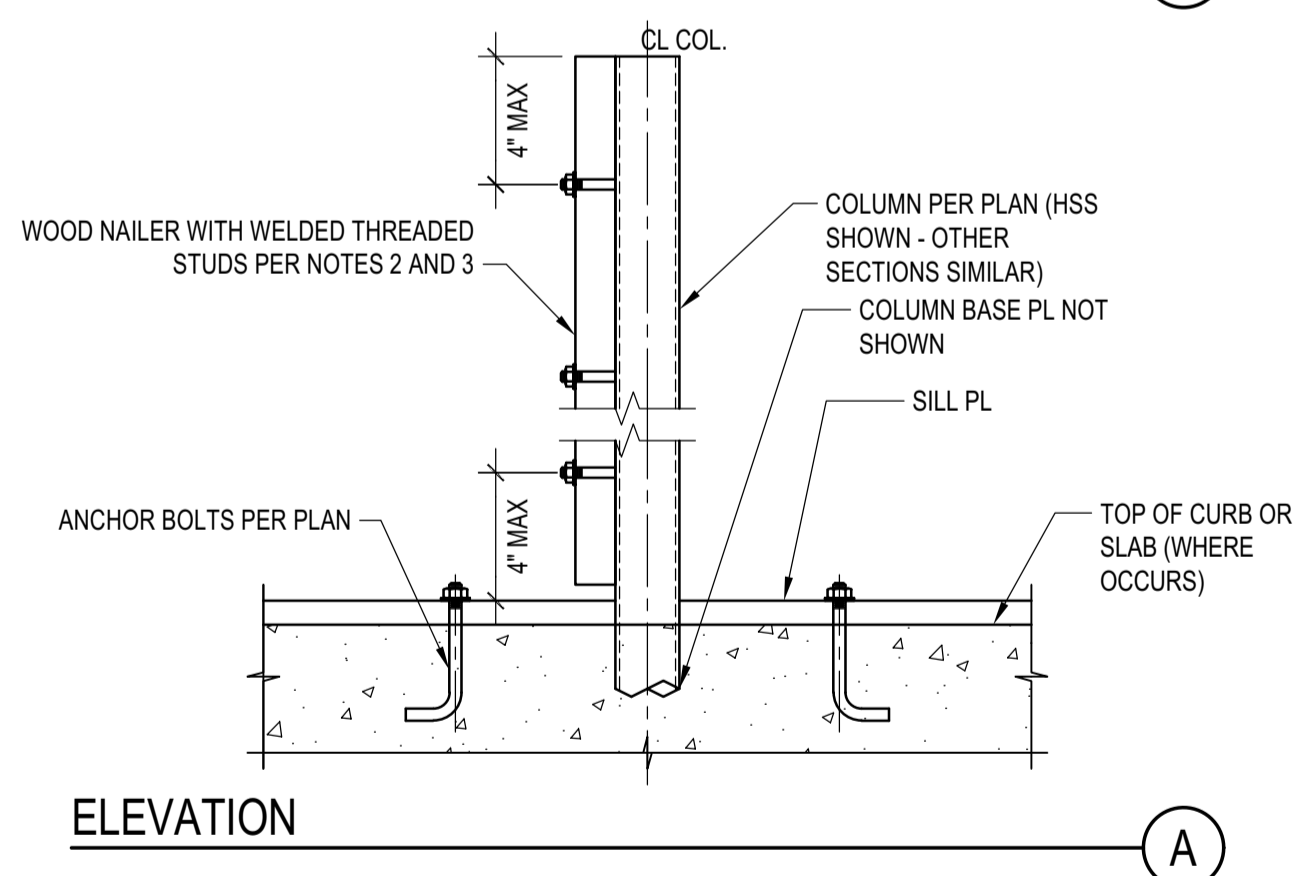
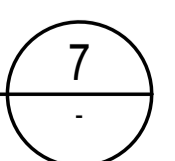


NOTES:

- THIS DETAIL APPLIES WHERE SPECIFIED ON PLANS
- THE DETAIL APPLIES TO SINGLE OR COMPOSITE BEAMS. WHERE SINGLE BEAMS ARE SPECIFIED, "WT" AND "W" COINCIDE.

WT	SCHEDULE (INCHES)					W	D
	T	F	L	P	W		
WT5	1/4	3/16	5	12	WT5	1/2	1/2
7<WT5	3/8	1/4	7	14	3 1/2x5/8	12	5/8
WT>14	1/2	3/8	9	16	W>5	1/2	3/4

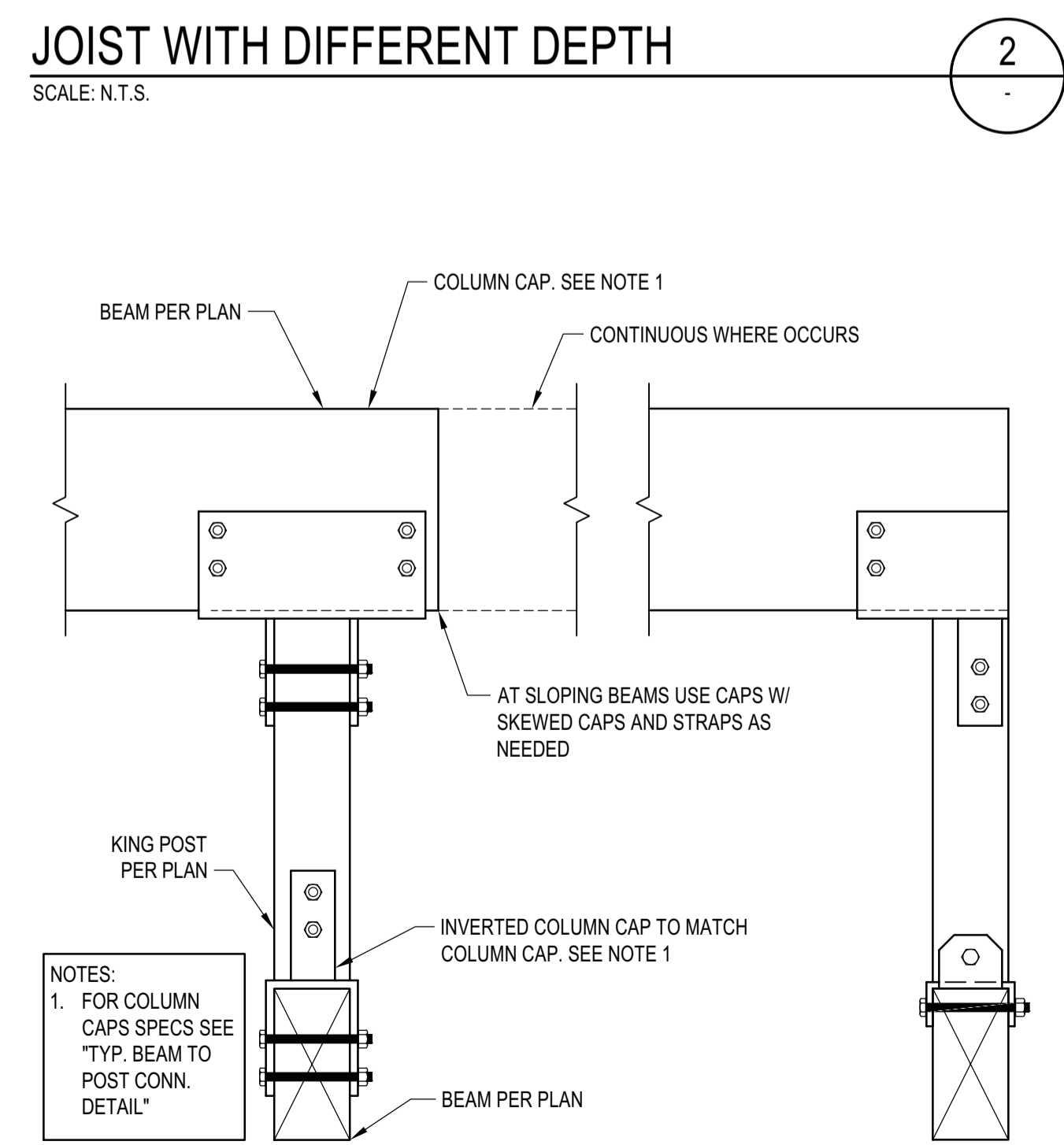
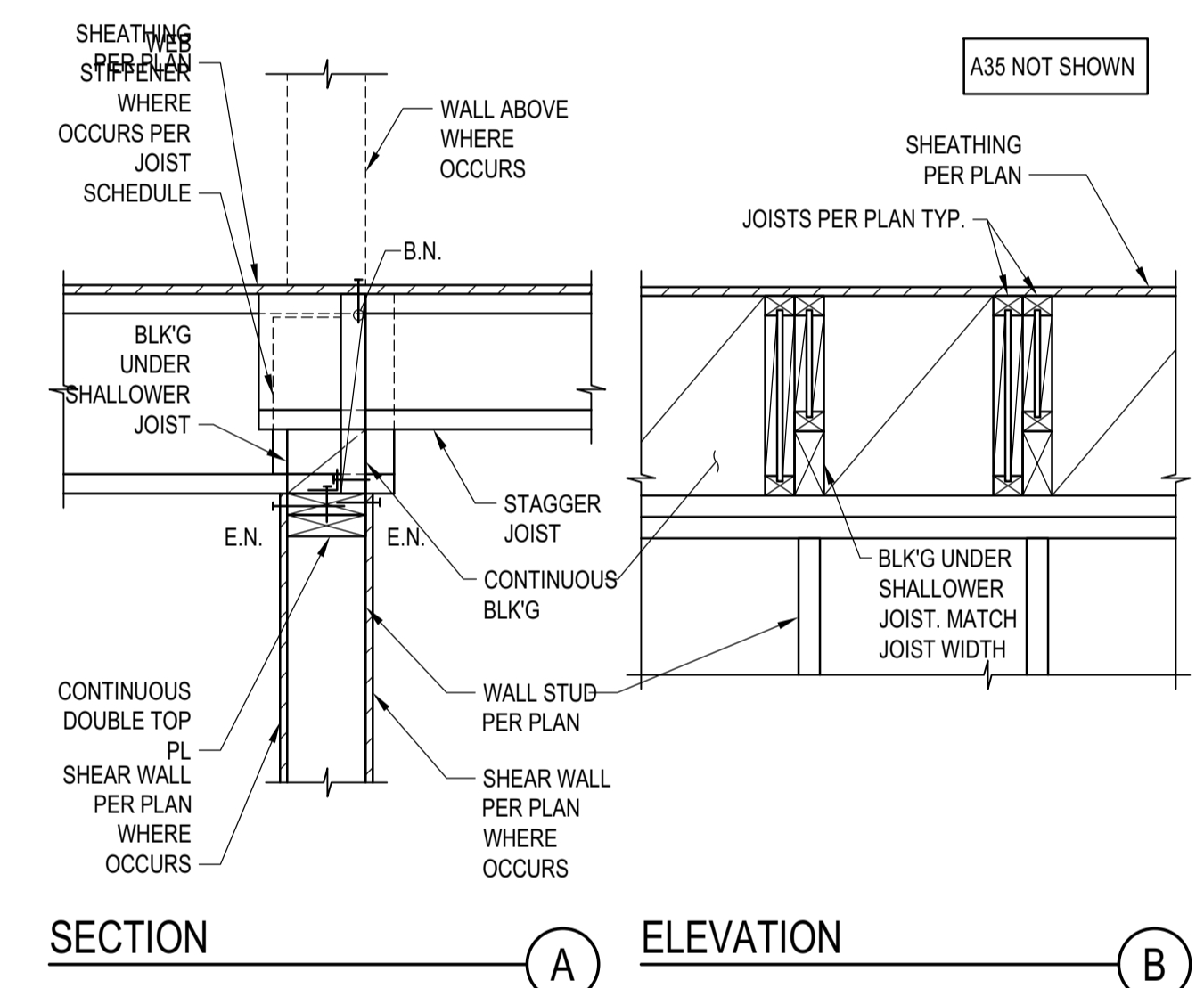
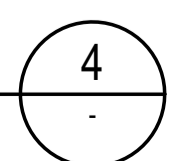
LEDGER/NAILER ANCHOR LAYOUT
SCALE: N.T.S.



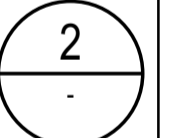
NOTES:

- STEEL COLUMN SECTIONS: WIDE FLANGE AND HSS COLUMN SECTIONS ARE SHOWN. SIMILAR REQUIREMENTS FOR WOOD NailERS SHALL APPLY FOR OTHER TYPES OF STEEL SECTIONS.
- LOCATION OF WOOD NAILERS: PROVIDE WOOD NAILERS AT ALL LOCATIONS WHERE STEEL COLUMN OCCURS WITHIN SHEAR WALLS. FOR LOCATIONS OTHER THAN SHEAR WALLS PROVIDE WOOD NAILERS AS NEEDED FOR PROPER INSTALLATION OF FINISH MATERIALS.
- WOOD NAILERS SIZE AND CONNECTION: WOOD NAILERS SHALL BE CONNECTED WITH 5/8" Ø WELDED THREADED ANCHORS TO THE STEEL SECTIONS. SPACING AND NOMINAL THICKNESS OF WOOD NAILERS SHALL BE:
 - PER SHEAR WALL SCHEDULE WHERE WOOD NAILERS ARE CONNECTED TO A SHEAR WALL STRUCTURAL PANEL
 - 2x MIN WOOD NAILER WITH THREADED ANCHORS @ 24" O.C. WHERE WOOD NAILERS DO NOT OCCUR WITHIN A SHEAR WALL
- COUNTERSINKING OF WELDED THREADED STUD NUT IN WOOD NAILERS SHALL BE PERMITTED AS FOLLOWS:
 - AT NAILERS CONNECTED TO SHEAR WALL STRUCTURAL PANELS COUNTERSINK ONLY IF NAILER IS 3x OR LARGER
 - AT NAILERS NEEDED ONLY FOR INSTALLATION OF FINISH MATERIAL COUNTERSINKING SHALL BE ALLOWED AS NEEDED FOR PROPER INSTALLATION OF FINISH MATERIAL

STEEL COLUMN IN STUD WALL
SCALE: N.T.S.



TYP. KING POST DETAIL
SCALE: N.T.S.



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SURVEYOR & CIVIL ENGINEER:
GALENA ENGINEERING, INC.
 317 NORTH RIVER STREET
 HAILEY, ID 83333
 TEL: 208.788.1705

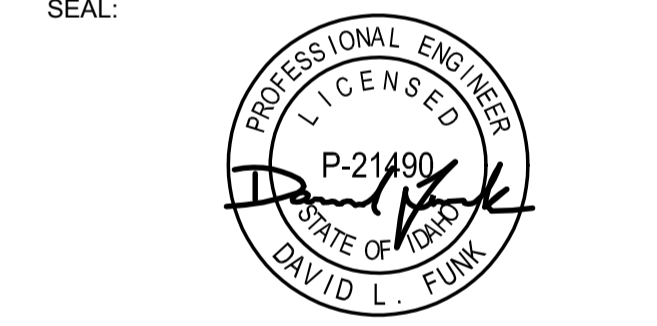
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 LFA Job #22791



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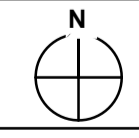
02/24/23		PC SUBMITTAL
NO	DATE	ISSUE

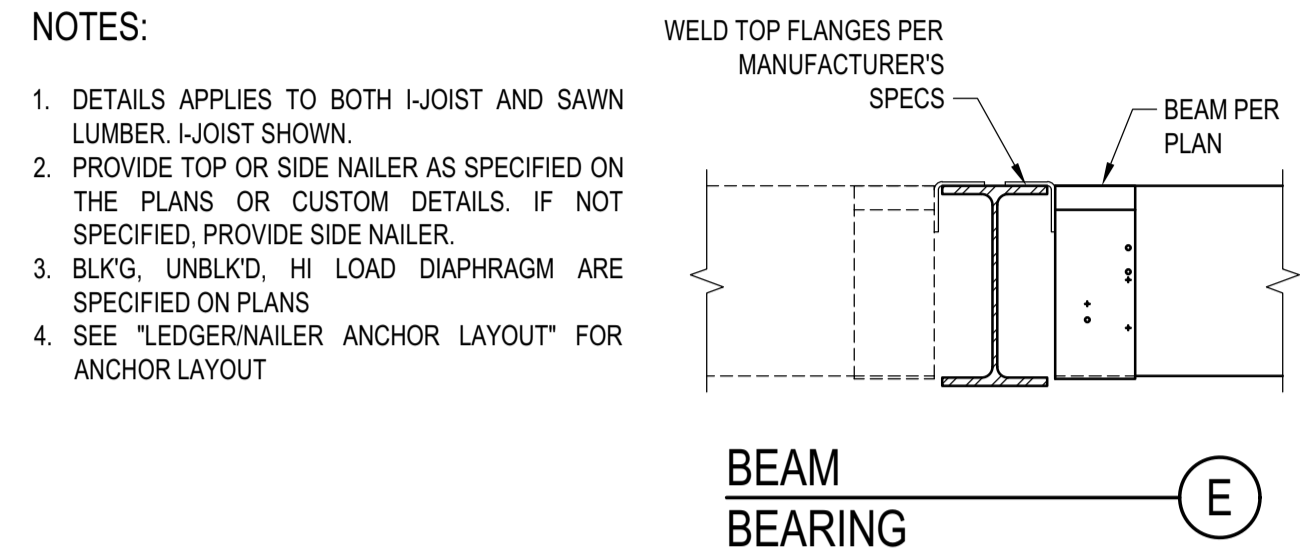
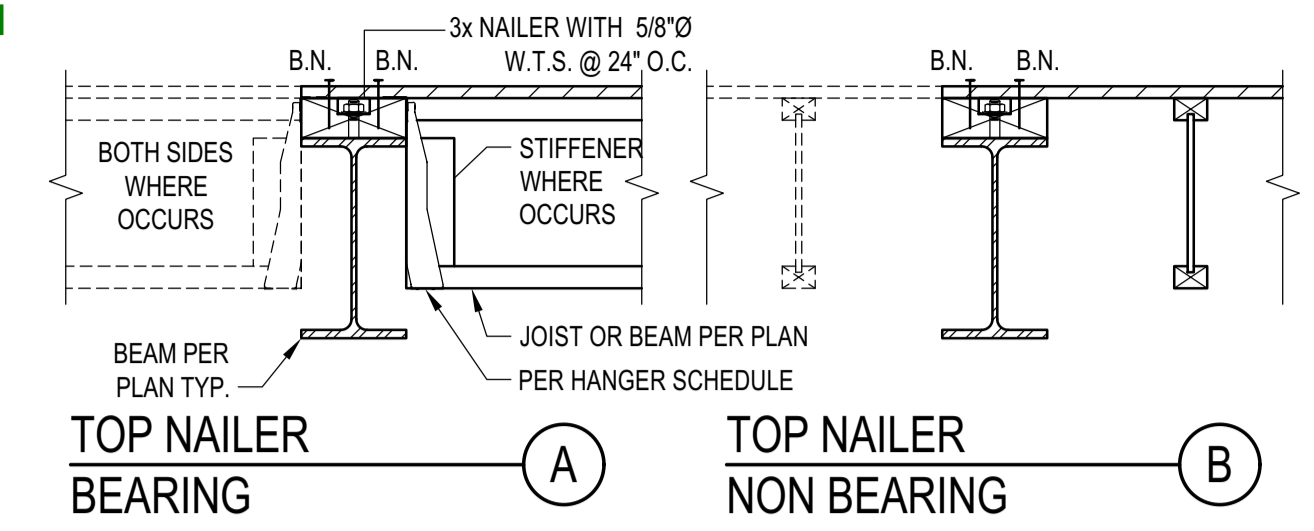
PROJECT:
BADGER RESIDENCE
 121 BADGER LANE
 KETCHUM, ID 83340

PROJECT NUMBER:
#2201

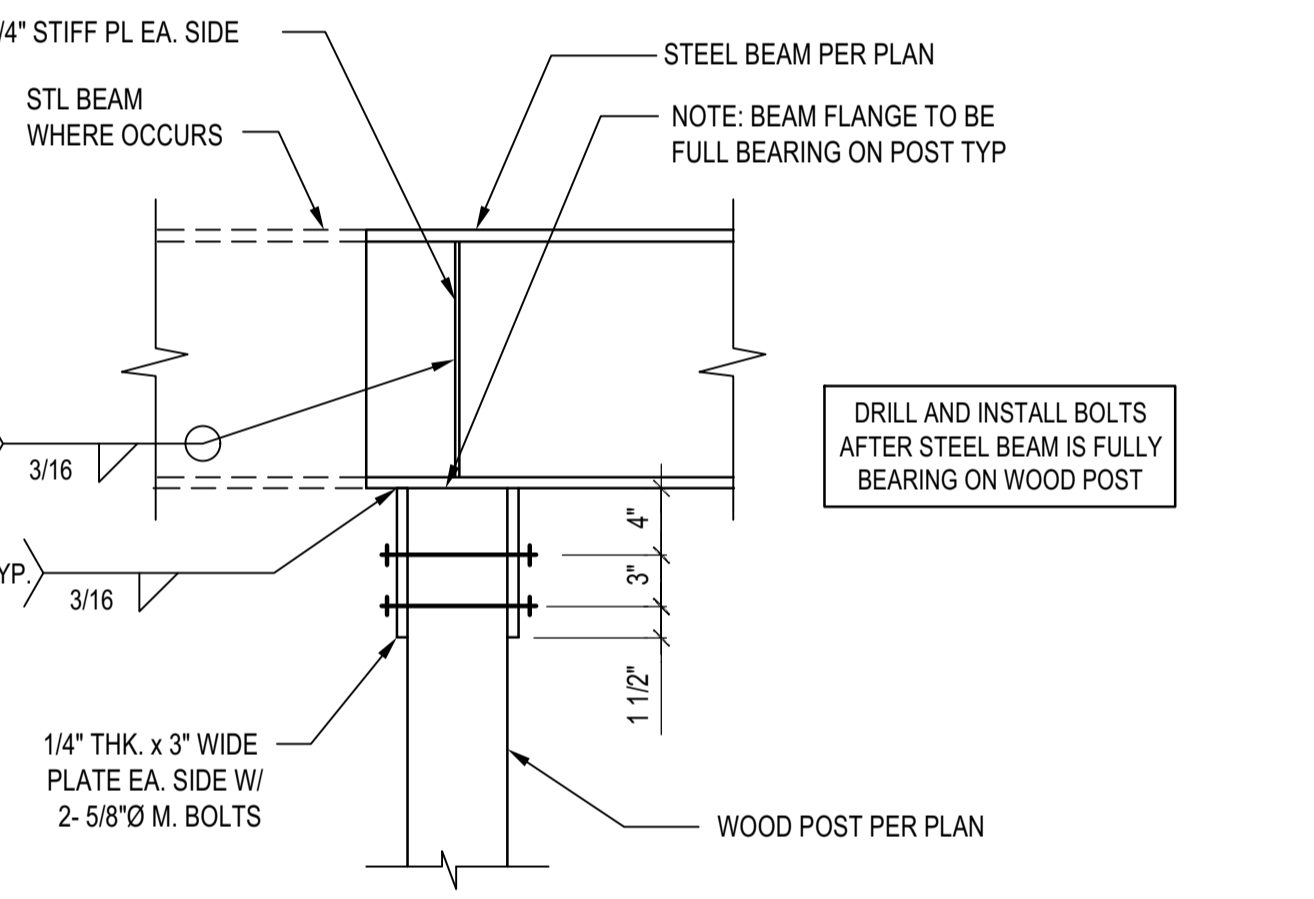
DRAWING TITLE:
TYPICAL DETAILS - WOOD

DRAWING NUMBER:
S-037





STEEL BEAM IN WOOD FRAMING
 SCALE: N.T.S.



ASSEMBLIES:

- NON OCCUPIED ROOFS WITH MAX 1" GRAVEL AND WITHOUT GARDEN ROOF
- THIS ASSEMBLY INCLUDES:
 - NON OCCUPIED ROOFS WITH MORE THAN 1" AND UP TO 3" GRAVEL
 - NON OCCUPIED GARDEN ROOF ASSEMBLIES UP TO 6"
 - SINGLE FAMILY FLOORS AND DECKS
- ALL CASES NOT COVERED IN I. OR II.

SCHEDULE LEGEND

3x	2	3/4	12
----	---	-----	----

BEARING LEDGER SCHEDULE

MAX JOIST SPAN	ASSEMBLY I.	ASSEMBLY II.	ASSEMBLY III.
12'-0"	3x 1 5/8 24	3x 1 3/4 12	3x 2 3/4 16
18'-0"	3x 1 5/8 16	3x 2 3/4 16	3x 3 3/4 16
24'-0"	3x 1 5/8 12	3x 2 3/4 12	3x 2 3/4 8
30'-0"	3x 2 5/8 16	3x 3 3/4 16	3x 3 3/4 8
36'-0"	3x 2 5/8 16	3x 2 3/4 8	3x 3 3/4 8

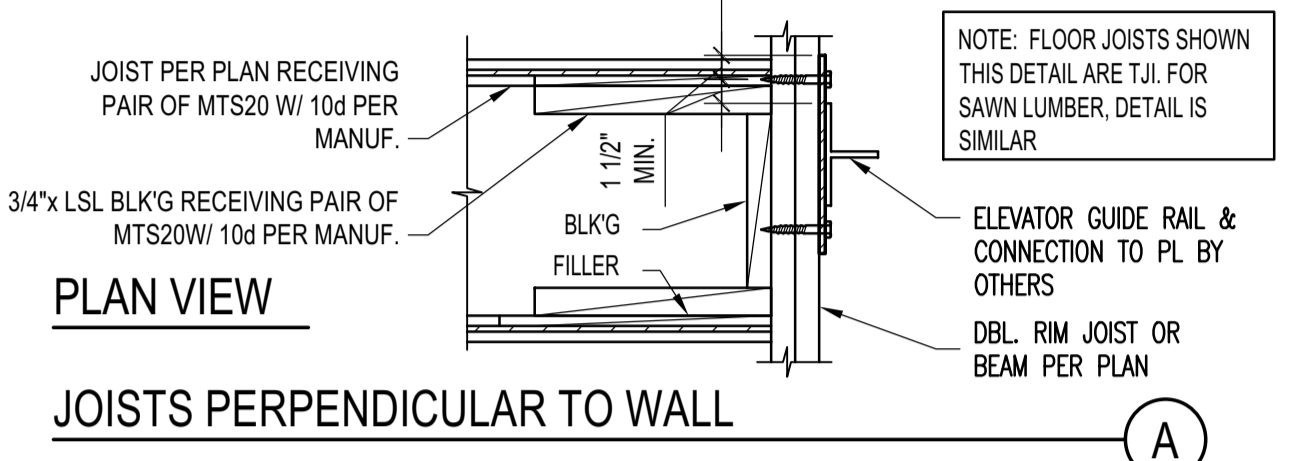
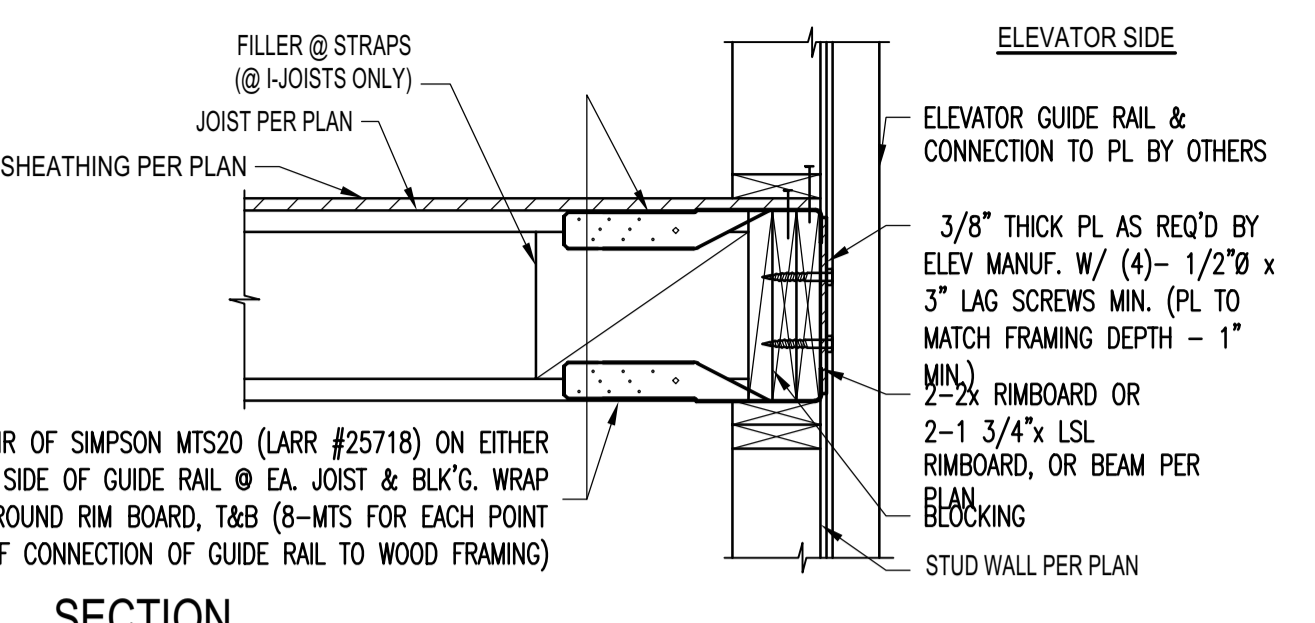
BEARING LEDGER SCHEDULE

MAX JOIST SPAN	ASSEMBLY I.	ASSEMBLY II.	ASSEMBLY III.
12'-0"	3x 1 5/8 24	3x 1 3/4 16	3x 2 3/4 16
18'-0"	3x 1 5/8 16	3x 2 3/4 16	3x 3 3/4 16
24'-0"	3x 1 5/8 12	3x 2 3/4 12	3x 2 3/4 8
30'-0"	3x 2 5/8 16	3x 3 3/4 16	3x 3 3/4 8
36'-0"	3x 2 5/8 16	3x 3 3/4 8	3x 3 3/4 8

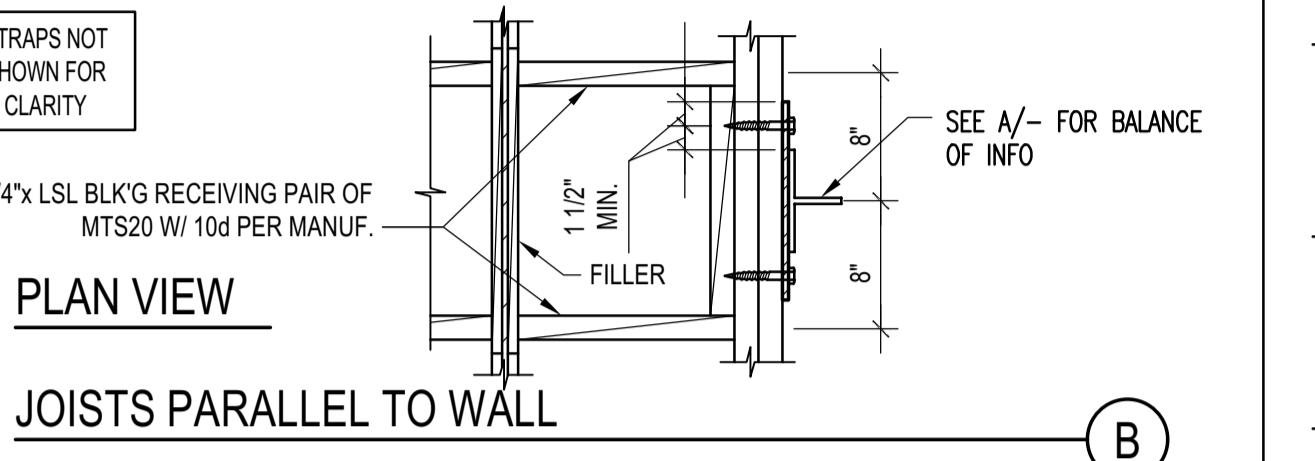
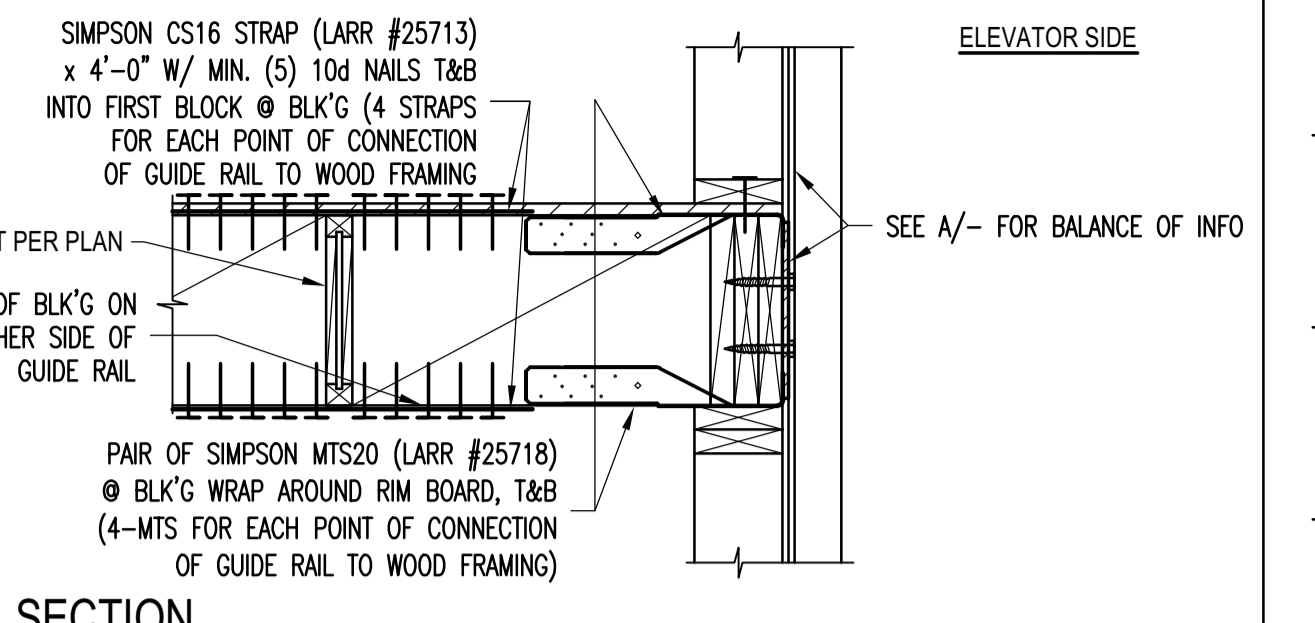
LEDGER TO CONCRETE/CMU WALL

DIAPHRAGM TYPE	SIDE NAILER	DEPTH TO MATCH STEEL BEAM DEPTH, BUT NEEDS NOT EXCEED 8" NOMINAL
BLK'D/UNBLK'D ⁽⁹⁾	2x 1 5/8 24	
HIGH LOAD ⁽⁹⁾	3x 1 3/4 12	

LEDGER TO CONCRETE/CMU WALL
 SCALE: N.T.S.



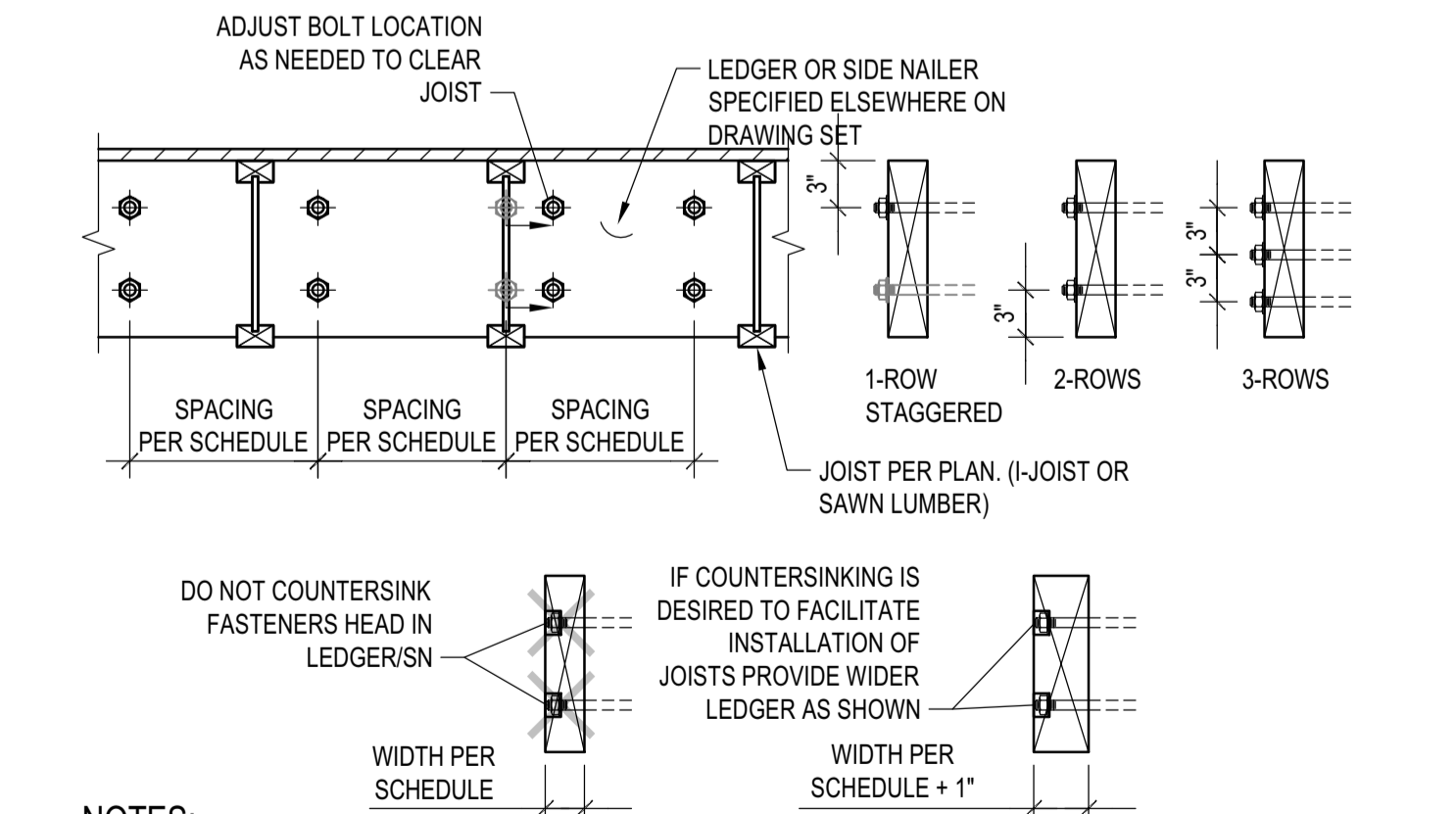
ELEVATOR GUIDE RAIL SUPPORT DETAIL
 SCALE: N.T.S.



JOIST WITH DIFFERENT DEPTH
 SCALE: N.T.S.



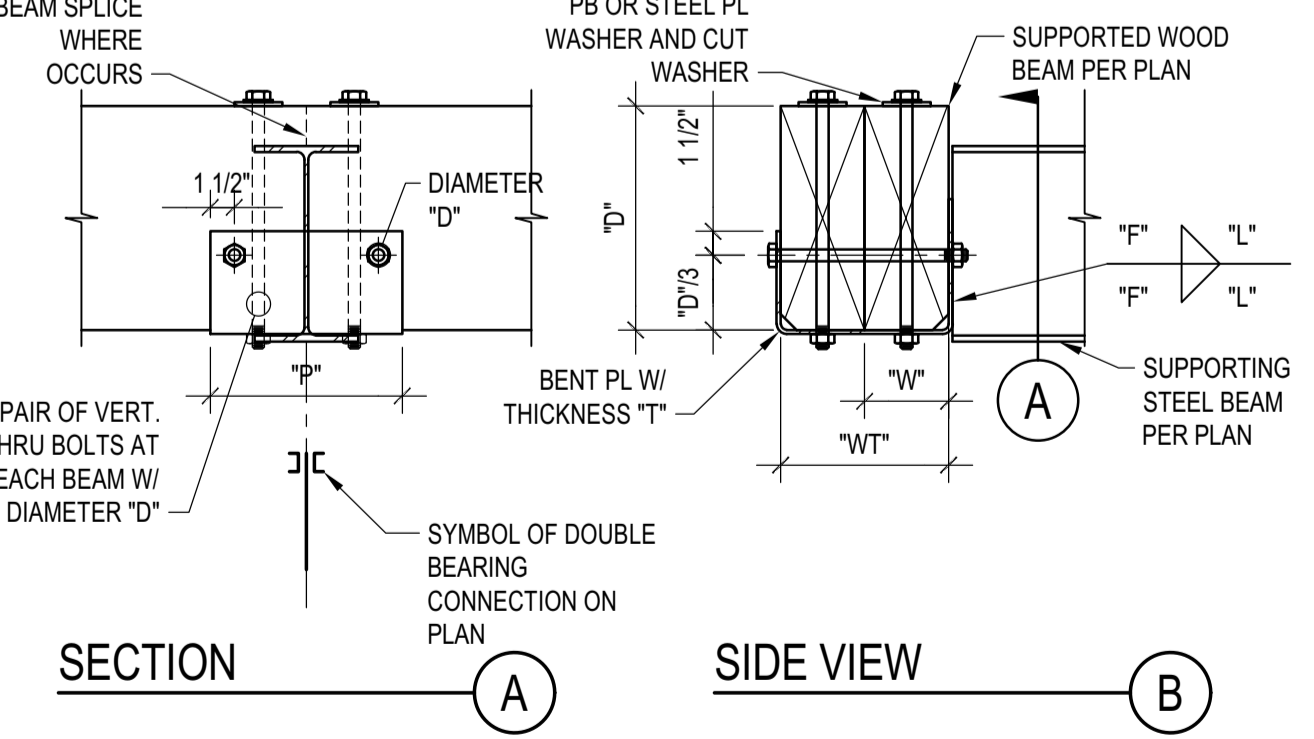
STL BEAM TO ISOLATED WOOD POST CONNECTION
 SCALE: N.T.S.



LEDGER/NAILER ANCHOR LAYOUT
 SCALE: N.T.S.



LEDGER TO CONCRETE/CMU WALL
 SCALE: N.T.S.



DOUBLE BEARING CONNECTION

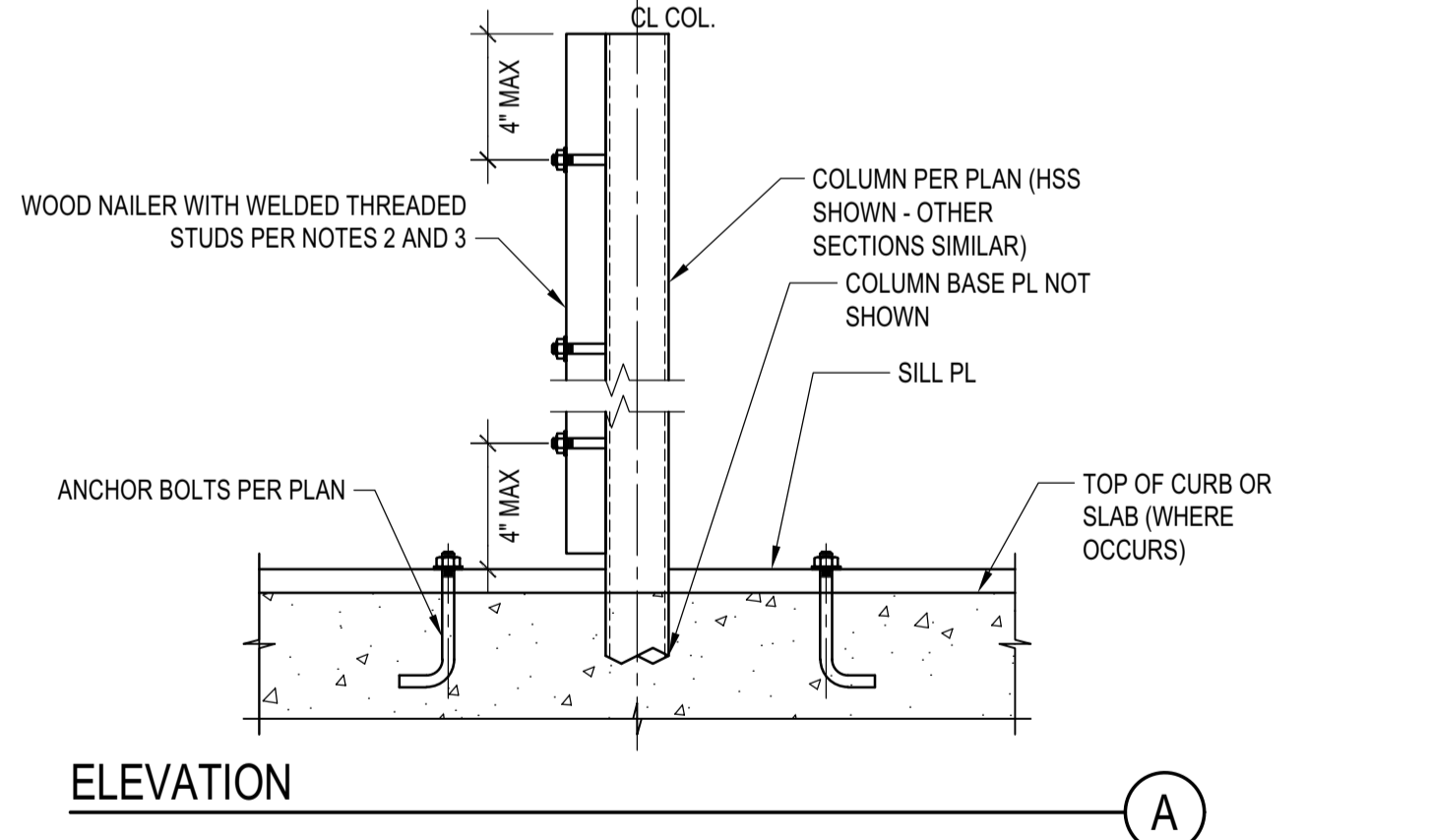
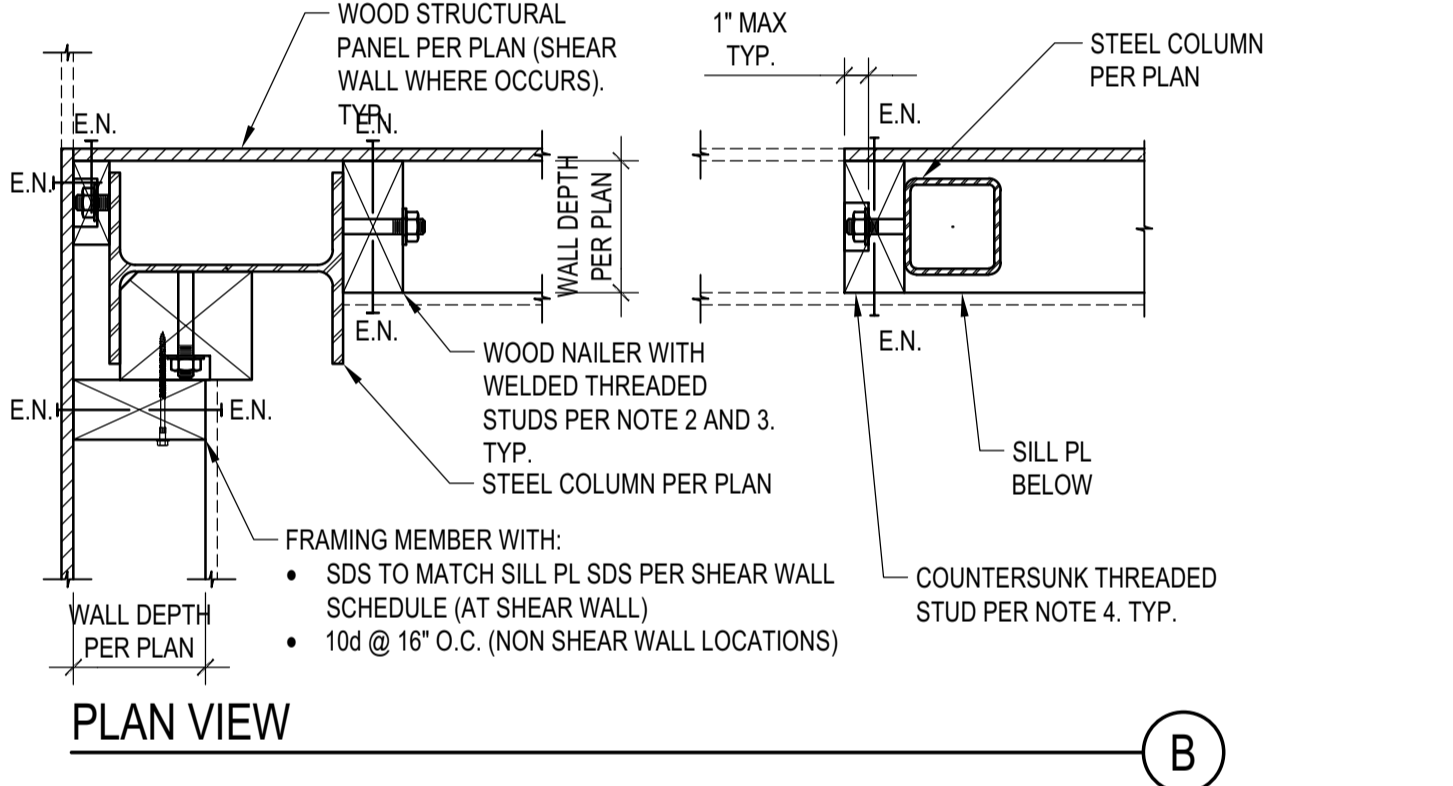
NOTES:

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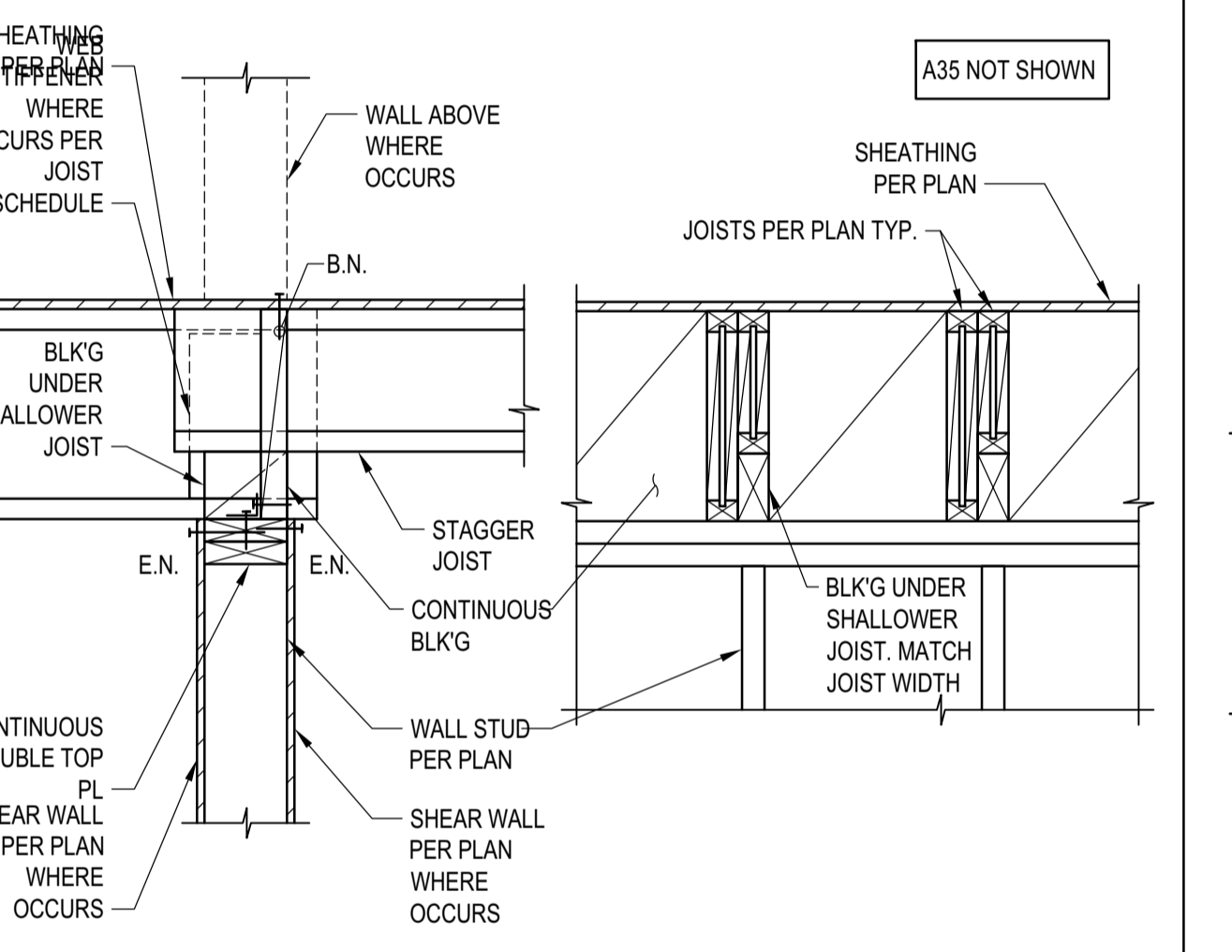
SCHEDULE (INCHES)

WT	T	F	L	P	W	D
WT5	1/4	3/16	5	12	W3	1/2 1/2
7<WT5	3/8	1/4	7	14	3 1/2x5/8	5/8
WT-14	1/2	3/8	9	16	W-5	1/2 3/4

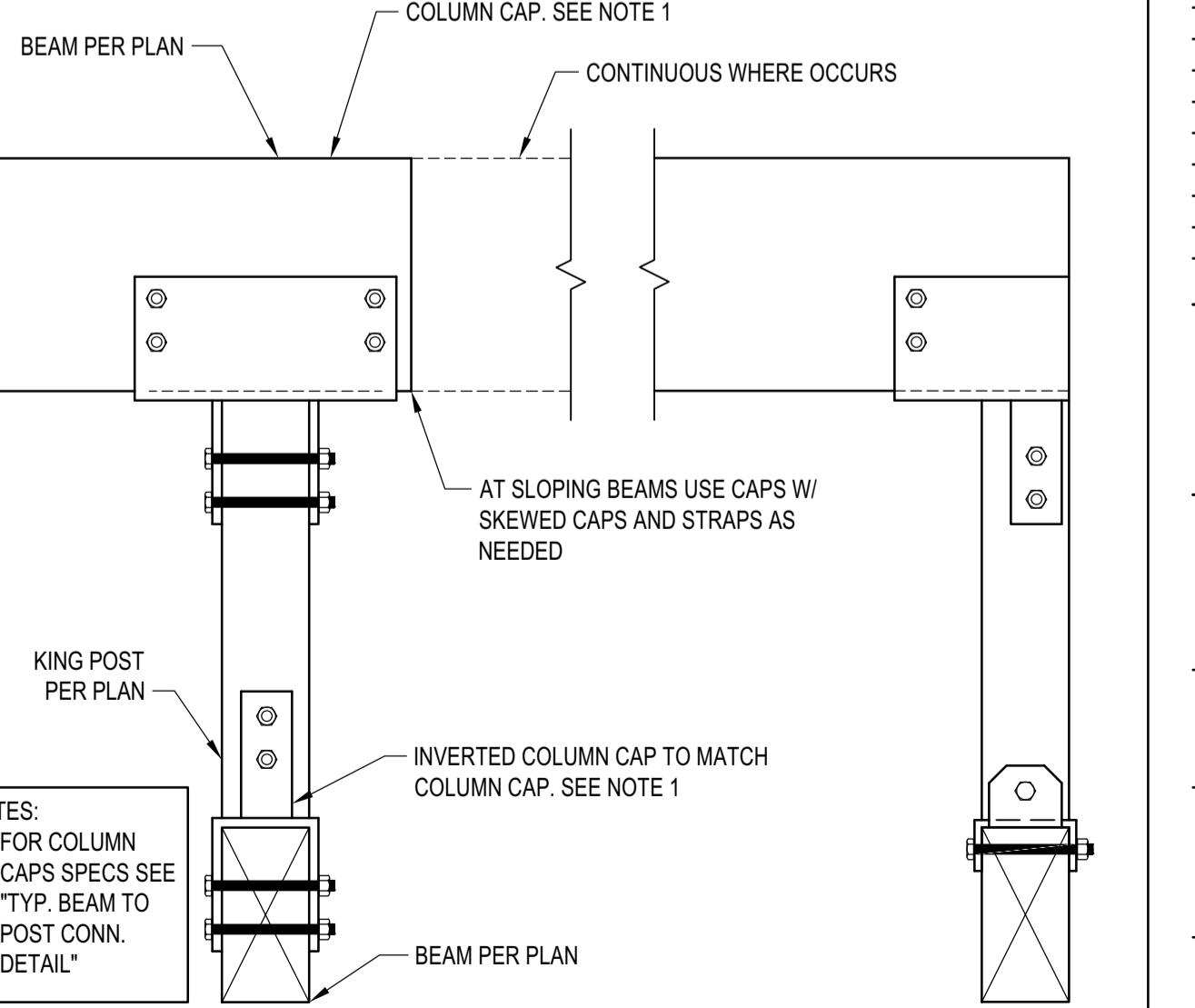
DOUBLE BEARING CONNECTION
 SCALE: N.T.S.



STEEL COLUMN IN STUD WALL
 SCALE: N.T.S.



JOIST WITH DIFFERENT DEPTH
 SCALE: N.T.S.



TYP. KING POST DETAIL
 SCALE: N.T.S.

BADGER RESIDENCE

OWNER:
121 BADGER LANE LLC
 P.O. BOX 14001-174
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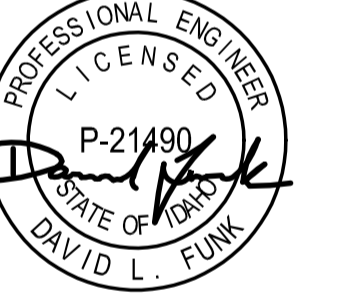
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 NO DATE ISSUE

PROJECT:
BADGER RESIDENCE
 121 BADGER LANE
 KETCHUM, ID 83340

PROJECT NUMBER
#2201

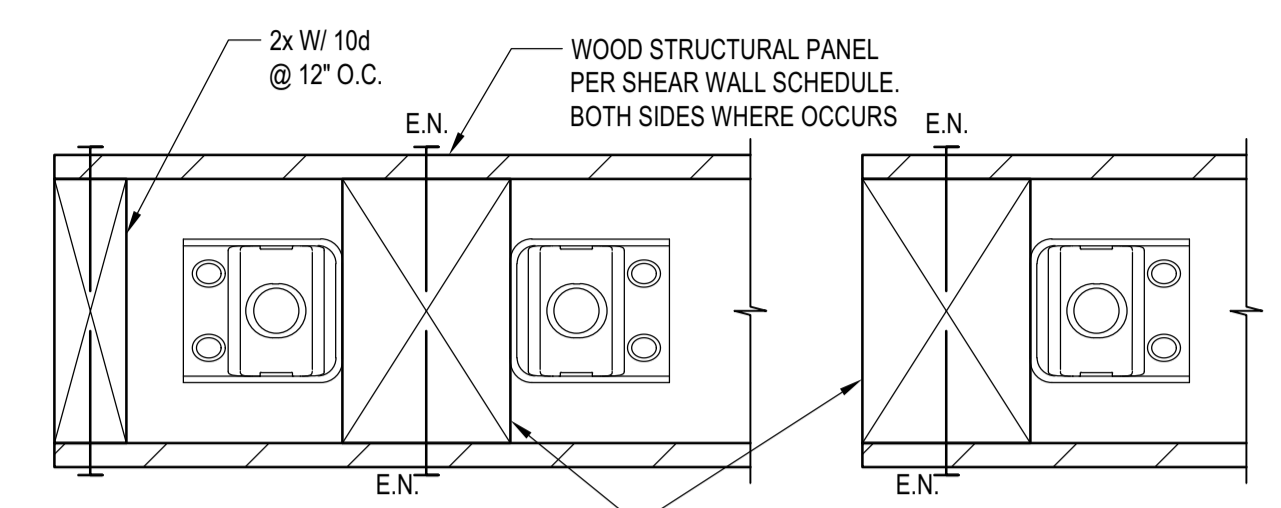
DRAWING TITLE:
TYPICAL DETAILS - WOOD

DRAWING NUMBER:
S-038

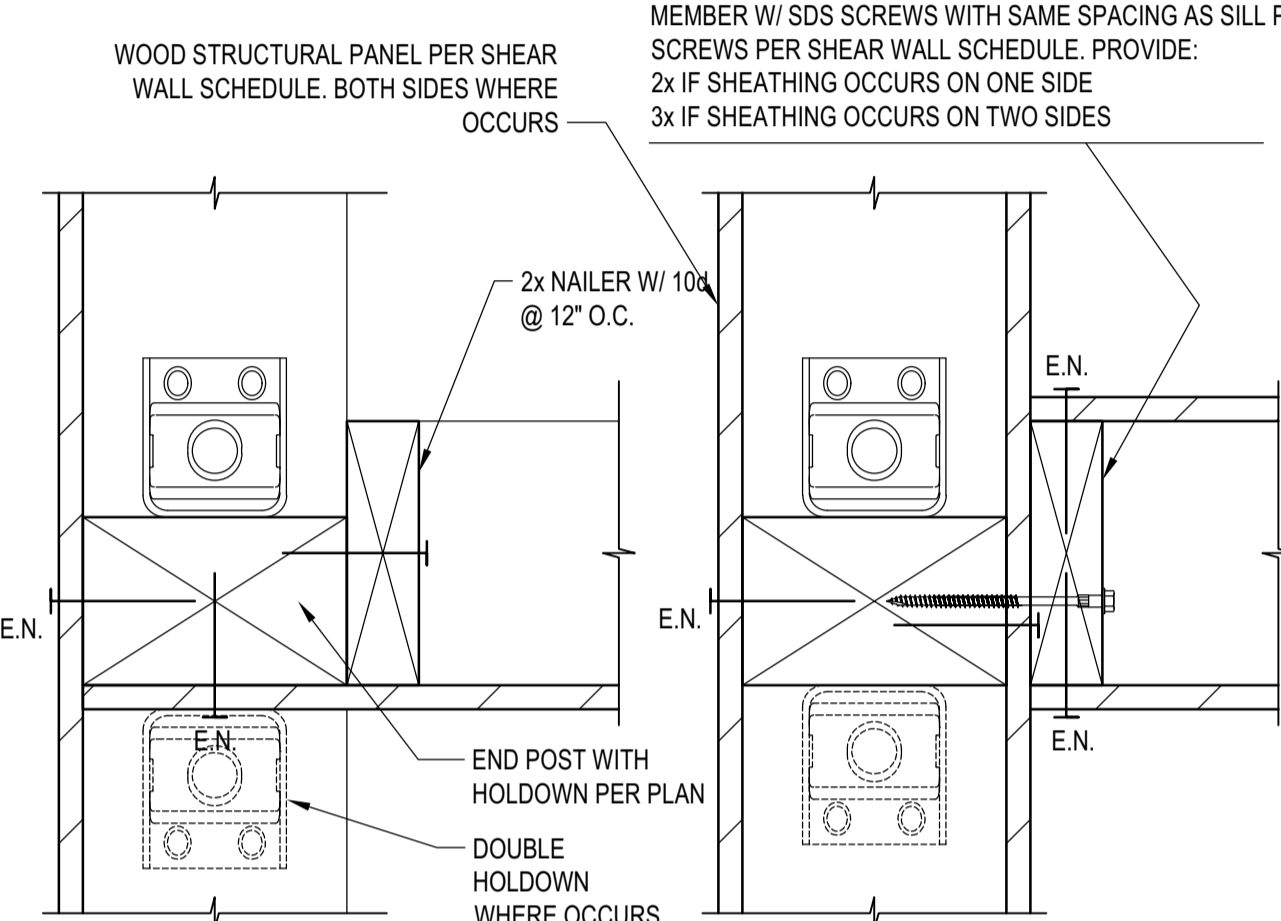
Approved

These plans have been found to be in substantial compliance with the applicable building codes. These documents are approved contingent on compliance with the mark-ups and notes applied. This is not approval of any code, ordinance, statute or regulation. Corrections will be required for code violations found during the inspection process.

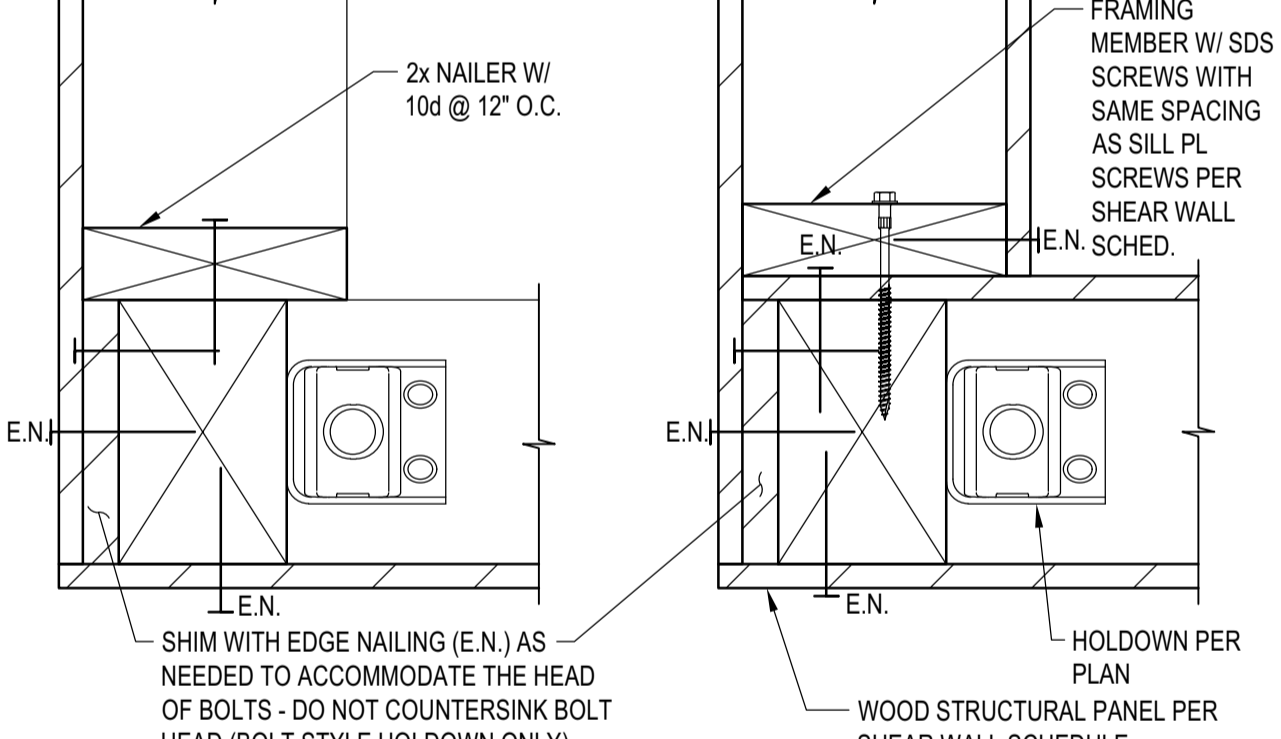
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06/26/23



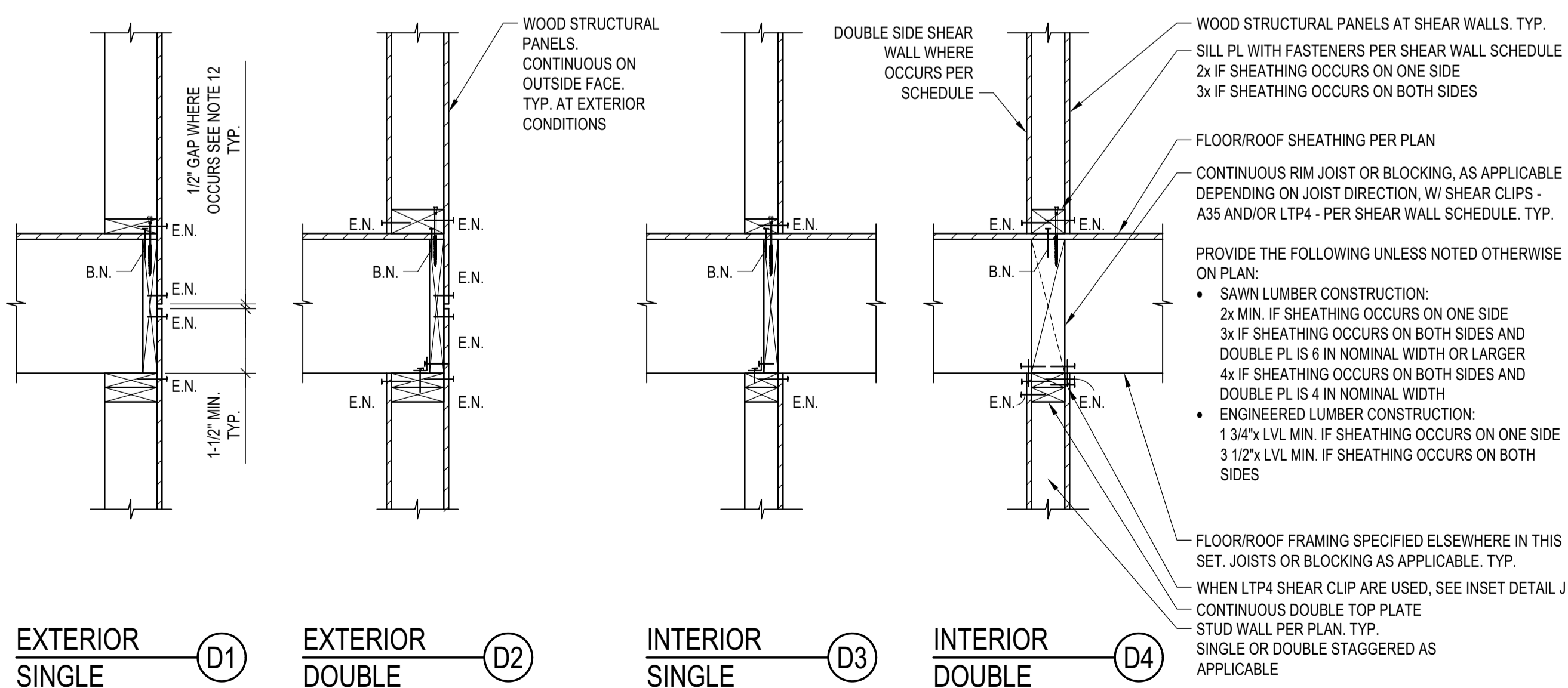
END CONDITION DOUBLE HOLDDOWN (C5) **END CONDITION SINGLE HOLDDOWN** (C6)



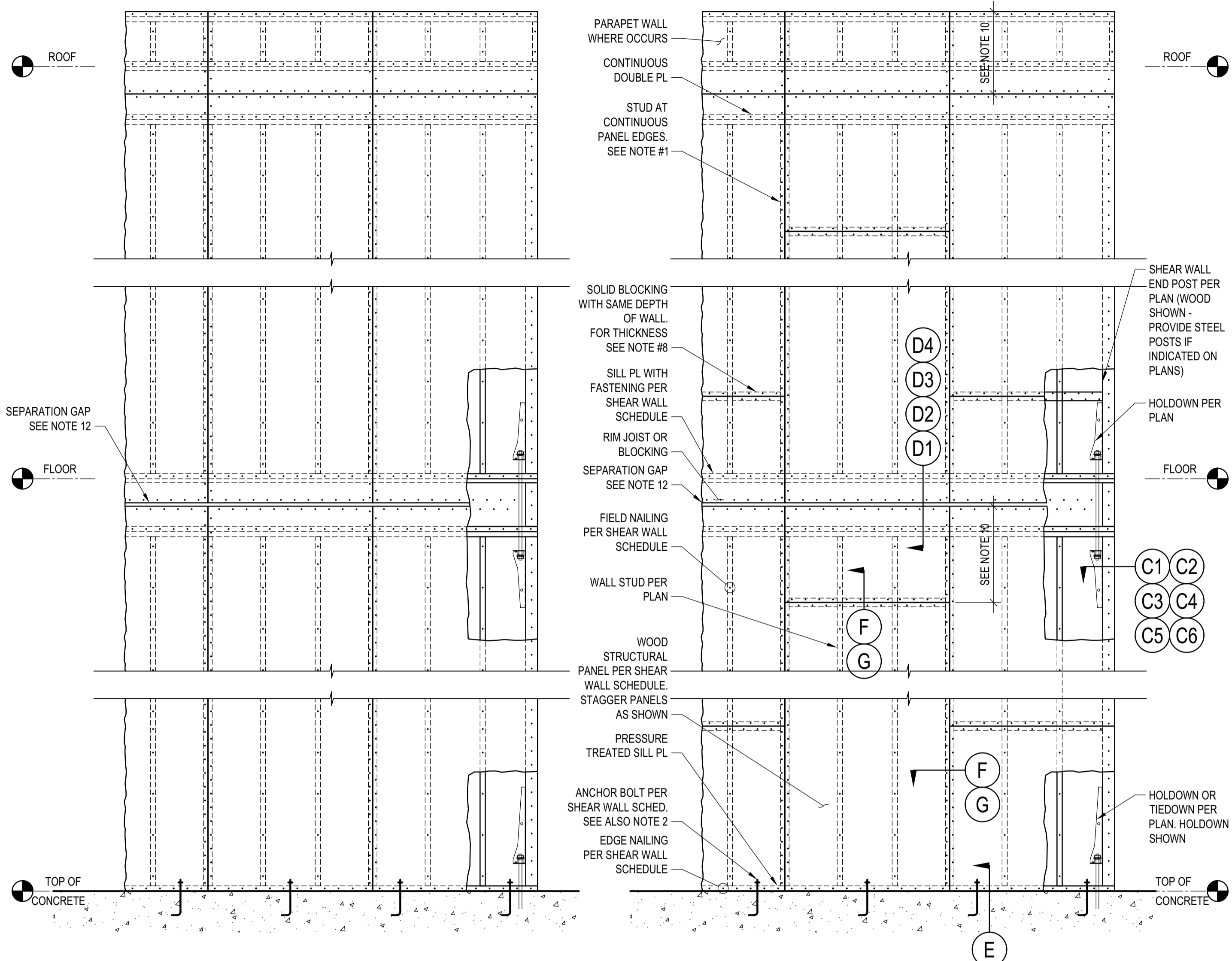
END CONDITION INTERSECTION (C3) **END CONDITION INTERSECTION** (C4)



END CONDITION CORNER (C1) **END CONDITION CORNER** (C2)



EXTERIOR SINGLE (D1) **EXTERIOR DOUBLE** (D2) **INTERIOR SINGLE** (D3) **INTERIOR DOUBLE** (D4)



ALTERNATIVE WOOD STRUCTURAL PANEL TILING (7) **TYPICAL SHEAR WALL ELEVATION** (A2)

SHEAR WALL SCHEDULE NOTES:

- INSTALL PANELS, FASTENERS, AND CLIPS, PER INSET DETAIL "B" SHEAR WALL SCHEDULE".
- FOR ALL WALLS, PROVIDE MINIMUM TWO ANCHOR BOLTS PER PIECE OF SILL PLATE & ONE LOCATED WITHIN 12" AND NOT LESS THAN 7 BOLT DIAMETER OR 4 3/8" OF EACH END OF EACH SILL PLATE.
- FOR SILL PL. ATTACHMENT TO WOOD FRAMED FLOORS, WOOD SCREWS SHALL BE SIMPSON SDS2560 FOR SILL PL. CONNECTED TO WOOD RIM JOIST OR BLOCKING. PROVIDE SDS25412 FOR SILL PLATE CONNECTED TO TOP NAILER AT STEEL BEAMS. ALTERNATIVELY, 16d NAILS CAN BE USED WHERE ALLOWED BY THE SHEAR WALL SCHEDULE PROVIDED THE FLOOR/ROOF SHEATHING THICKNESS IS ≤ 3/4".
- AT (E) FOUNDATION, SILL ANCHORS MAY BE UPF W/ 2- 1/2" Ø TITEN HD SCREW ANCHORS W/ 5" MIN. EMBED AND W/ 5- 1/4" Ø X 3" LONG SDS SCREWS TO SILL PL. SPACING SHALL BE AS SAME AS ANCHOR BOLT SPACING PER SHEAR WALL SCHED. (LARR #25726, ICC ESR-2616 FOR UPF; LARR #25741, ICC ESR-2713 FOR TITEN HD).
- FOR SPECIFICATIONS OF HOLD-DOWNS AT THE END OF THE SHEAR WALL SEE PLANS AND "HOLDOWN TYPICAL DETAILS AND SCHEDULE".
- OSB OR PLYWOOD WOOD STRUCTURAL PANELS MAY BE USED FOR THE SHEAR WALL CONSTRUCTION, EXCEPT THAT OSB SHALL NOT BE PERMITTED IN SHEAR WALL CONSTRUCTION LABELED AS FIRE RETARDANT TREATED BY THE ARCHITECT. FOR FIRE RETARDANT TREATED SHEAR WALLS THE UNIT SHEAR CAPACITY IS REDUCED TO 90% OF THE ALLOWABLE VALUE PER THE CODE REPORTS FOR THE SPECIFIED FIRE TREATMENT PRODUCT. SEE TIMBER GENERAL NOTES FOR ADDITIONAL INFORMATION.
- WOOD STRUCTURAL PANELS MAY BE TILED PER EITHER ELEVATION A2 OR ELEVATION A3. CONTRACTOR SHALL SELECT MORE ECONOMICAL TILING.
- FOR SHEAR WALL WITH SHEAR CAPACITY PER SCHEDULE EXCEEDING 350 #/FT FRAMING MEMBERS AT ADJOINING PANEL EDGES INCLUDING WALL STUDS AND BLOCKING SHALL BE 3" MINIMUM, UNLESS THICKER MEMBERS ARE SPECIFIED ON PLANS. PROVIDE STAGGERED NAILING AT ALL PANEL EDGES.
- WHERE WOOD STRUCTURAL PANELS ARE APPLIED ON BOTH FACES OF WALL STUDS ADJACENT PANEL EDGES SHALL BE OFFSET TO FALL ON DIFFERENT FRAMING MEMBERS PER INSET DETAIL G, AND SILL PLATE SHALL BE A 3x MEMBER PER INSET DETAILS E.
- MIN DIMENSION OF WOOD STRUCTURAL PANELS SHALL BE 2'-0"
- NAILS SHALL BE PLACED NOT LESS THAN 3/8" INCH FROM PANEL EDGES AT 2x MEMBERS (1/2" INCH AT 3x MEMBERS) & 3/8" INCH FROM THE EDGE OF THE CONNECTING MEMBERS. ALL SHEAR WALL NAILING SHALL UTILIZE COMMON NAILS OR GALVANIZED BOX.
- PROVIDE 1/2" SEPARATION GAP BETWEEN WOOD STRUCTURAL PANELS AT FLOOR LEVELS. SEPARATION GAPS MAY BE OMITTED AND WOOD STRUCTURAL PANELS CAN RUN CONTINUOUSLY ACROSS FLOORS FOR BUILDINGS WITH NO MORE THAN TWO STORIES OF WOOD FRAMING.

NOTES (A1)

SHEAR WALL SCHEDULE (2019 CBC - 2015 AF&PA SDPWS - TABLE 4.3A)											
MARK	WOOD STRUCTURAL PANELS (PLYWOOD OR OSB U.N.O. ON THE PLANS) ⁽¹⁾	NUMBER OF SIDES	NAILING		SHEAR CLIPS (A35 OR LTP4)		SILL PL ATTACHMENT U.N.O.		WELDED THREADED STUDS AT WOOD NAILERS, SEE INSET DETAIL "H"	ALLOWABLE SHEAR (PLF)	ALLOWABLE SHEAR AT FIRE TREATED WALLS (P&F)
			EDGE (E.N.)	FIELD (F.N.)	ALL LOCATIONS U.N.O.	INSET DETAIL "D1" AND "D2" EXTERIOR CONDITIONS ONLY	FRAMED FLOOR ⁽²⁾	CONCRETE ⁽³⁾			
			8d @ 6" O.C.	8d @ 12" O.C.	1 @ 16" O.C.	NO CLIPS	SDS @ 16" O.C. OR 16d @ 8" O.C.	5/8" Ø A.B. @ 48" O.C.			
1	15/32" APA RATED SHEATHING (SPAN RATING 32/16)	1	8d @ 6" O.C.	8d @ 12" O.C.	1 @ 16" O.C.	NO CLIPS	SDS @ 16" O.C. OR 16d @ 8" O.C.	5/8" Ø A.B. @ 48" O.C.	5/8" Ø @ 24" O.C.	260	234
2	15/32" APA RATED SHEATHING (SPAN RATING 32/16)	1	8d @ 4" O.C.	8d @ 12" O.C.	1 @ 16" O.C.	NO CLIPS	SDS @ 12" O.C. OR 16d @ 6" O.C.	5/8" Ø A.B. @ 48" O.C.	5/8" Ø @ 24" O.C.	350	342
3	15/32" APA RATED STRUCT-I SHEATHING (SPAN RATING 32/16)	1	10d @ 4" O.C.	10d @ 12" O.C.	1 @ 12" O.C.	NO CLIPS	SDS @ 8" O.C. OR 16d @ 4" O.C.	5/8" Ø A.B. @ 32" O.C.	5/8" Ø @ 24" O.C.	510	459
4	15/32" APA RATED STRUCT-I SHEATHING (SPAN RATING 32/16)	1	10d @ 3" O.C.	10d @ 12" O.C.	1 @ 8" O.C.	NO CLIPS	SDS @ 6" O.C. OR 16d @ 3" O.C.	5/8" Ø A.B. @ 24" O.C.	5/8" Ø @ 24" O.C.	665	599
5	15/32" APA RATED STRUCT-I SHEATHING (SPAN RATING 32/16)	1	10d @ 2" O.C.	10d @ 12" O.C.	1 @ 8" O.C.	NO CLIPS	SDS @ 4" O.C. OR 16d @ 2 1/2" O.C.	5/8" Ø A.B. @ 20" O.C.	5/8" Ø @ 24" O.C.	870	783
6	15/32" APA RATED STRUCT-I SHEATHING (SPAN RATING 32/16)	2	10d @ 3" O.C.	10d @ 12" O.C.	2 @ 8" O.C.	1 @ 8" O.C.	SDS @ 3" O.C.	5/8" Ø A.B. @ 16" O.C.	5/8" Ø @ 16" O.C.	1,330	1,197
7	15/32" APA RATED STRUCT-I SHEATHING (SPAN RATING 32/16)	2	10d @ 2" O.C.	10d @ 12" O.C.	2 @ 8" O.C.	1 @ 8" O.C.	2 ROWS SDS @ 4" O.C.	5/8" Ø A.B. @ 12" O.C.	5/8" Ø @ 12" O.C.	1,740	1,586

TYPICAL SHEAR WALL SCHEDULE (B)

BADGER RESIDENCE

OWNER:
121 BADGER LANE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340

PROJECT ARCHITECT:

ROCKETT DESIGN
1031 W. MANCHESTER BLVD, UNIT 6
INGLEWOOD, CA 90301
TEL: 213.784.0014

SURVEYOR & CIVIL ENGINEER:

GALENA ENGINEERING, INC.
317 NORTH RIVER STREET
HAILEY, ID 83333
TEL: 208.788.1705

GEOTECHNICAL ENGINEER:

BUTLER ASSOCIATES, INC.
P.O. BOX 1034
KETCHUM, ID 83340
TEL: 208.720.6432

LANDSCAPE ARCHITECT:

BVLA
323 LEWIS STREET, SUITE N
KETCHUM, ID 83340
TEL: 208.726.5907

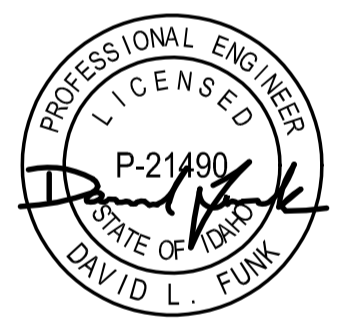
STRUCTURAL ENGINEER:

LFA
319 MAIN STREET
EL SEGUNDO, CA 90245
TEL: 213.239.9700
LFA Job #22791



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NO	DATE	PC SUBMITTAL	ISSUE
02/24/23			

PROJECT:
BADGER RESIDENCE
121 BADGER LANE
KETCHUM, ID 83340

PROJECT NUMBER
#2201

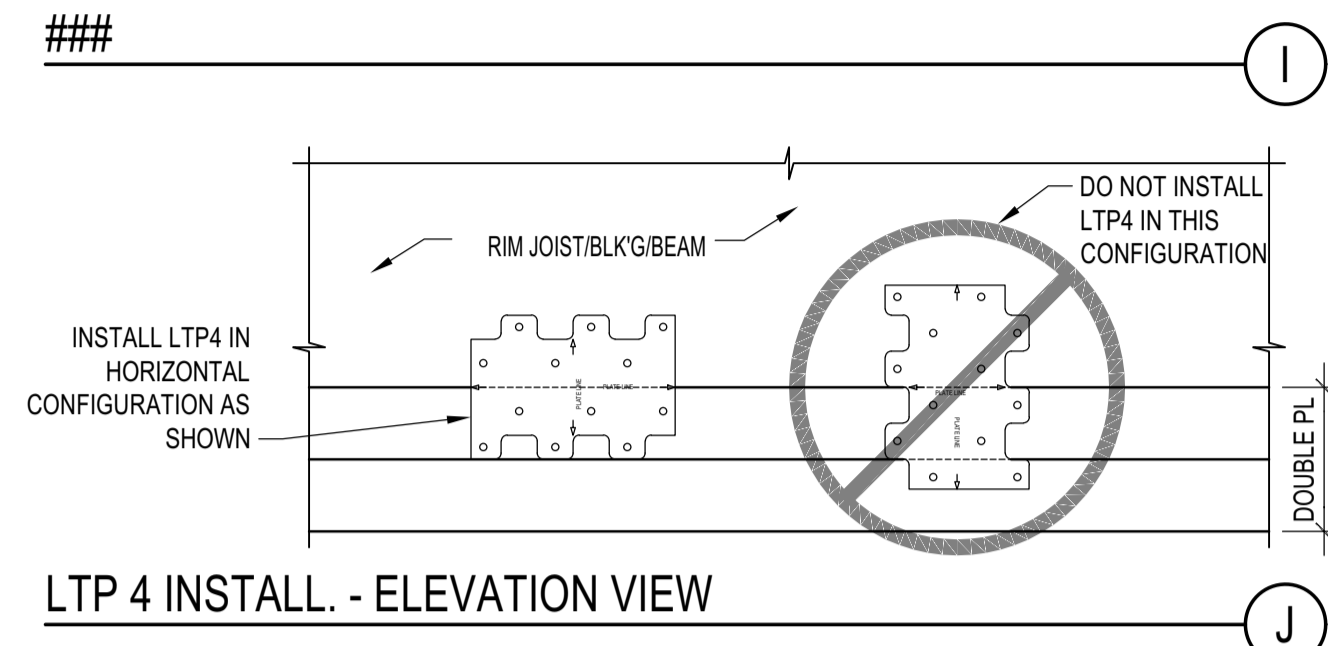
DRAWING TITLE:
TYPICAL DETAILS - WOOD SHEAR WALLS

DRAWING NUMBER:
S-041



These plans have been found to be in substantial compliance of the adopted building codes. These documents are approved contingent on compliance with the mark-ups and notes applied. This is not approval of any violation of any code, ordinance, statute or regulation. Corrections will be required for code violations found during the inspection process.

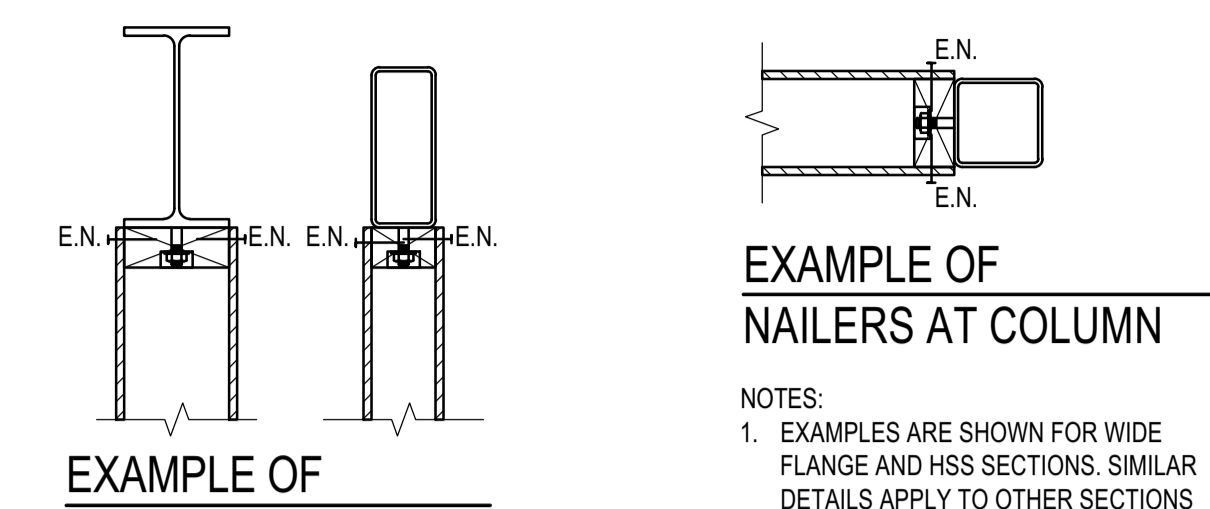
BLD2303-00021
06/26/23



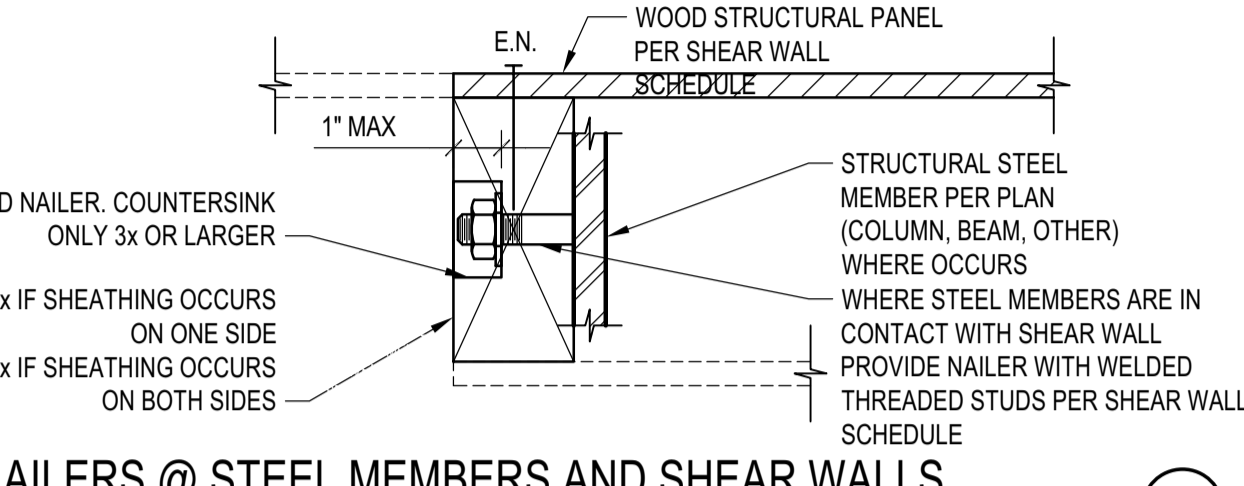
LTP 4 INSTALL. - ELEVATION VIEW

1 SHEAR WALL ELEVATION SCHEDULE AND DETAILS

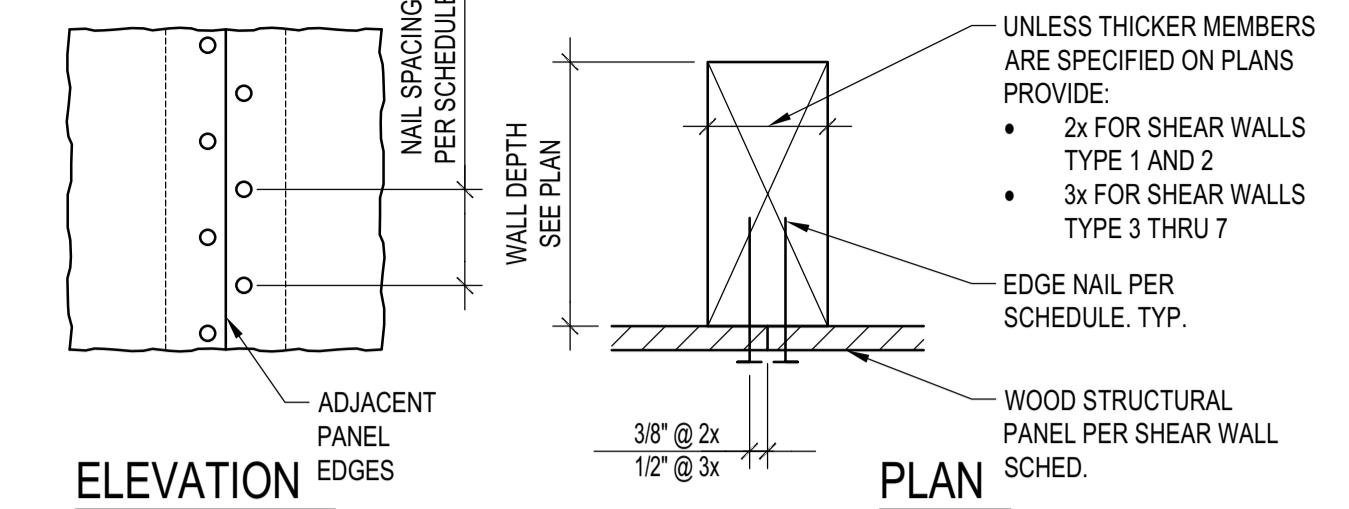
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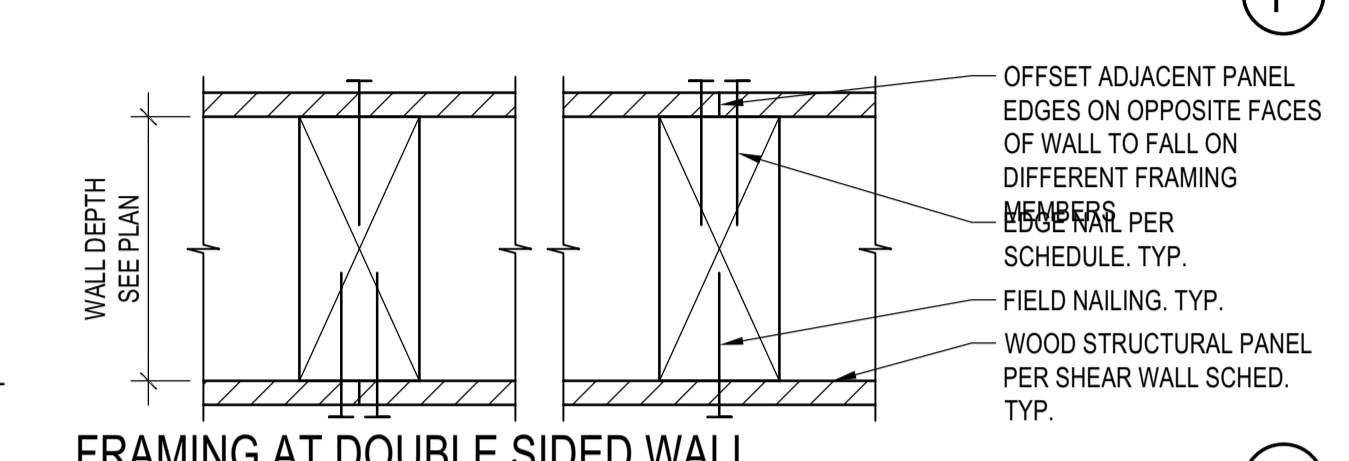
2 EXAMPLE OF NAILERS AT BEAMS



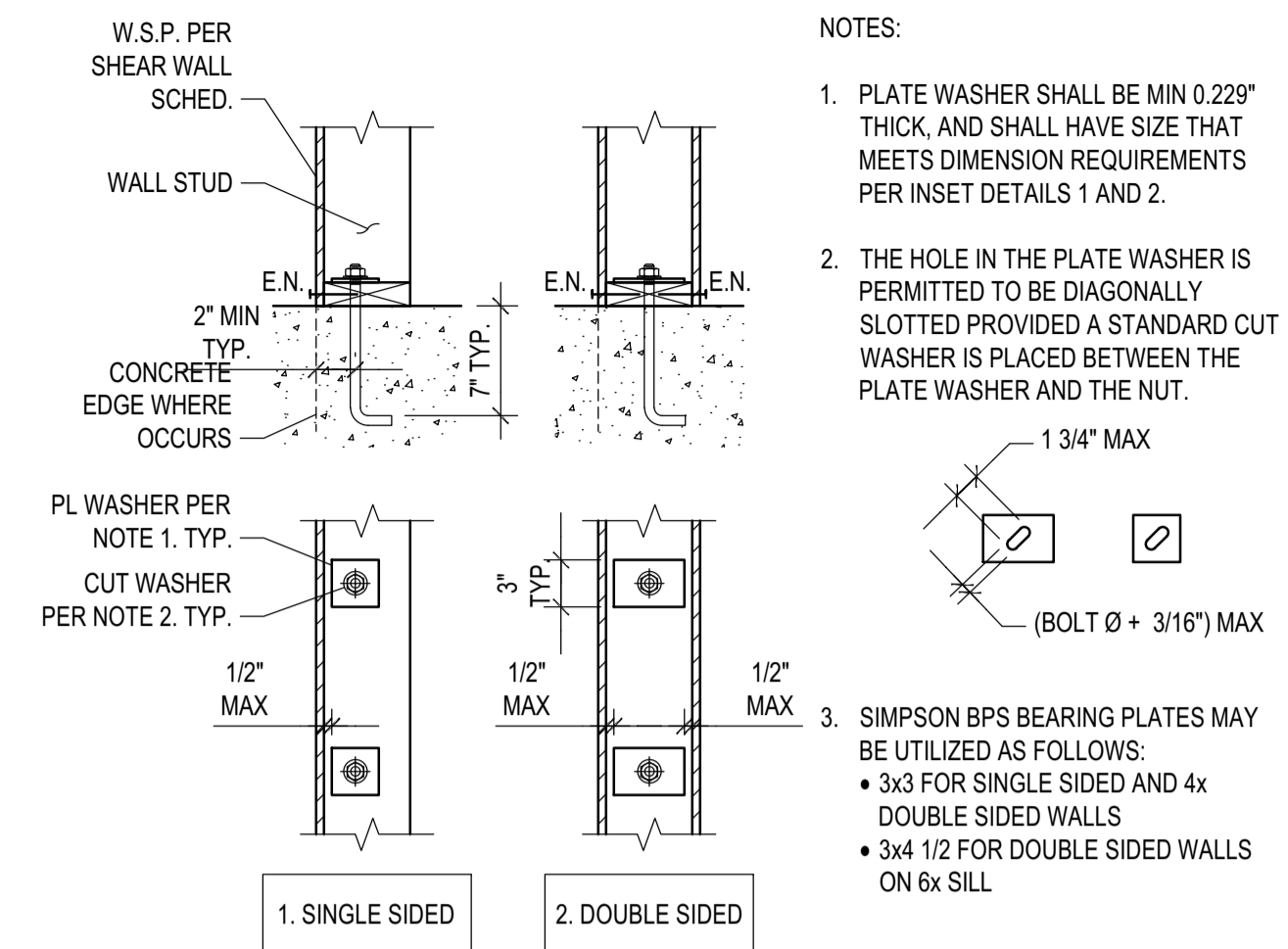
3 NAILERS @ STEEL MEMBERS AND SHEAR WALLS



4 FRAMING AT ADJACENT PANEL EDGES



5 FRAMING AT DOUBLE SIDED WALL



6 SILL PLATE CONNECTION TO CONCRETE

- NOTES:
1. PLATE WASHER SHALL BE MIN 0.229" THICK, AND SHALL HAVE SIZE THAT MEETS DIMENSION REQUIREMENTS PER INSET DETAILS 1 AND 2.
 2. THE HOLE IN THE PLATE WASHER IS PERMITTED TO BE DIAGONALLY SLOTTED PROVIDED A STANDARD CUT WASHER IS PLACED BETWEEN THE PLATE WASHER AND THE NUT.
 3. SIMPSON BPS BEARING PLATES MAY BE UTILIZED AS FOLLOWS:
 - 3x3 FOR SINGLE SIDED AND 4x DOUBLE SIDED WALLS
 - 3x4 1/2 FOR DOUBLE SIDED WALLS ON 8x SILL

BADGER RESIDENCE

OWNER:
121 BADGER LANE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340

PROJECT ARCHITECT:
RO I ROCKETT DESIGN
1031 W. MANCHESTER BLVD, UNIT 6
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SURVEYOR & CIVIL ENGINEER:
GALENA ENGINEERING, INC.
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TEL: 208.788.1705

GEOTECHNICAL ENGINEER:
BUTLER ASSOCIATES, INC.
P.O. BOX 1034
KETCHUM, ID 83340
TEL: 208.720.6432

LANDSCAPE ARCHITECT:
BYLA
323 LEWIS STREET, SUITE N
KETCHUM, ID 83340
TEL: 208.726.5907

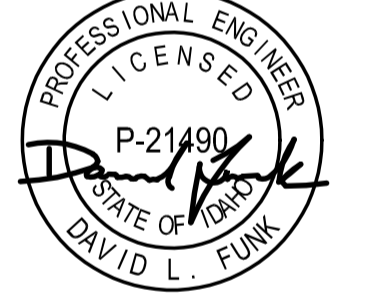
STRUCTURAL ENGINEER:
LFA
319 MAIN STREET
EL SEGUNDO, CA 90245
TEL: 213.239.9700
LFA Job #22791



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SEAL:



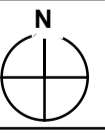
NO	DATE	ISSUE

PROJECT:
BADGER RESIDENCE
121 BADGER LANE
KETCHUM, ID 83340

PROJECT NUMBER:
#2201

DRAWING TITLE:
TYPICAL DETAILS - WOOD SHEAR WALLS

DRAWING NUMBER:
S-042



OWNER:
121 BADGER LANE LLC
 P.O. BOX 14001-174
 KETCHUM, ID 83340

PROJECT ARCHITECT:
RO | ROCKETT DESIGN
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 TEL: 213.784.0014

SURVEYOR & CIVIL ENGINEER:
GALENA ENGINEERING, INC.
 317 NORTH RIVER STREET
 HAYLEY, ID 83333
 TEL: 208.788.1705

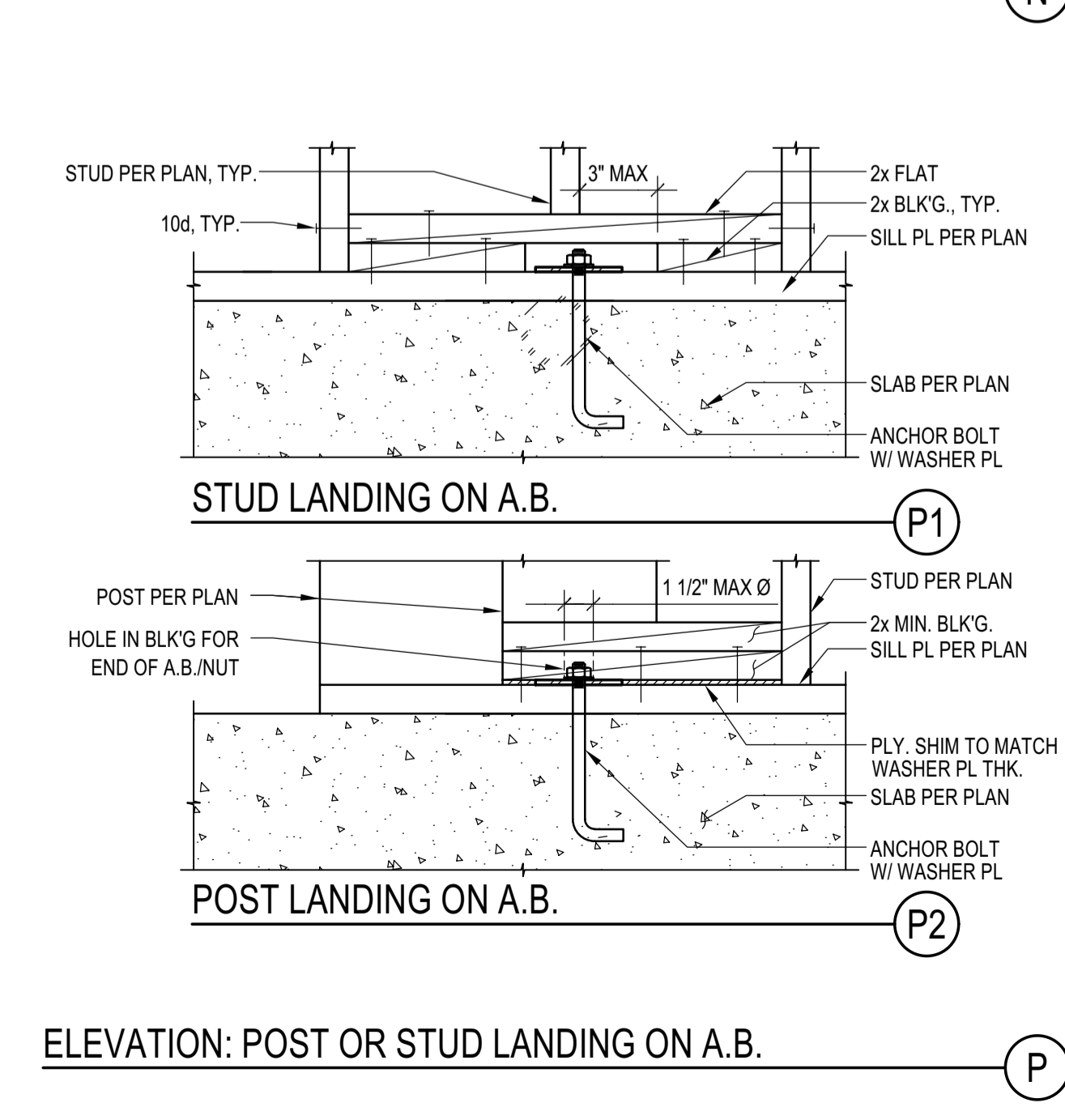
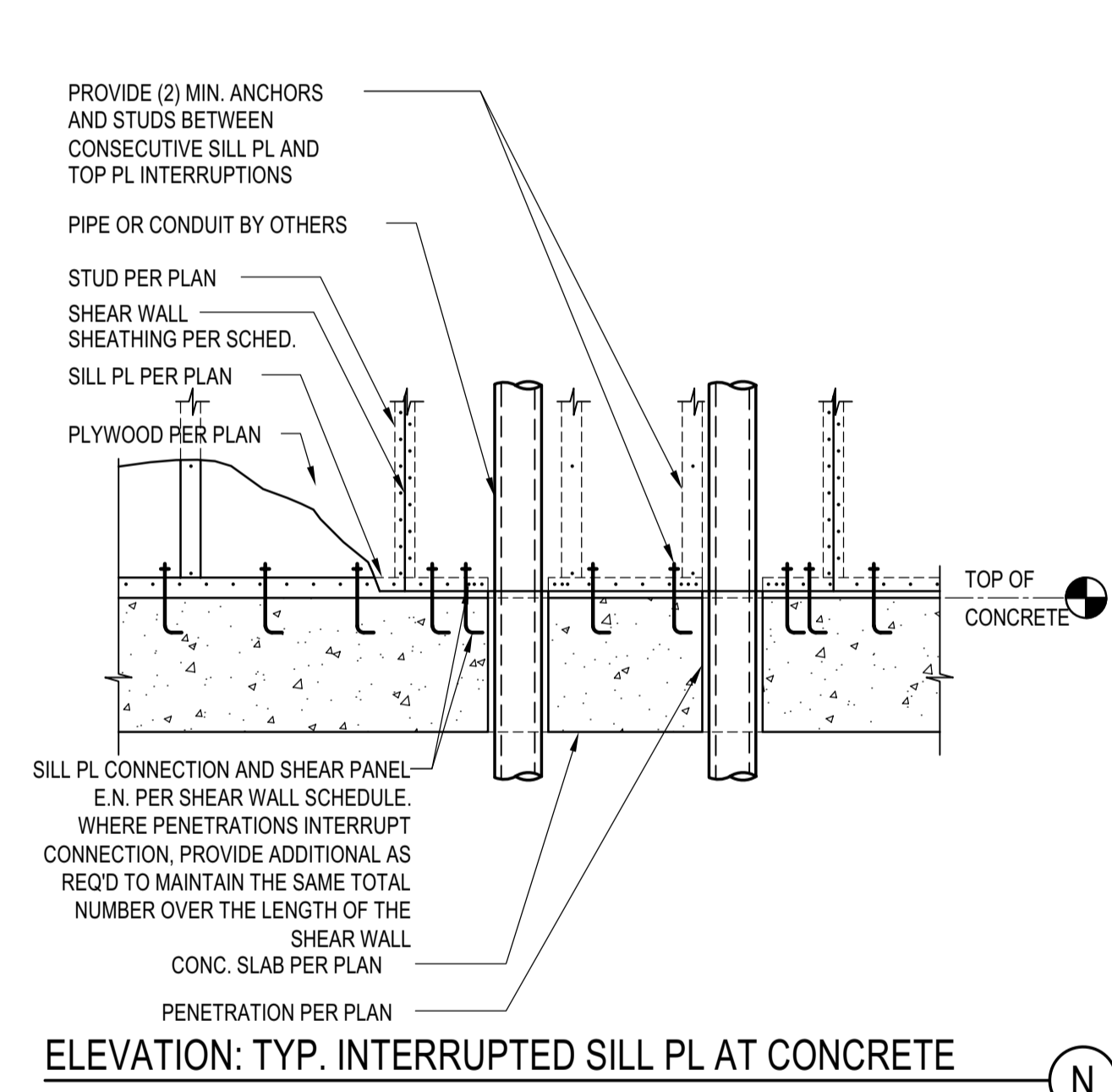
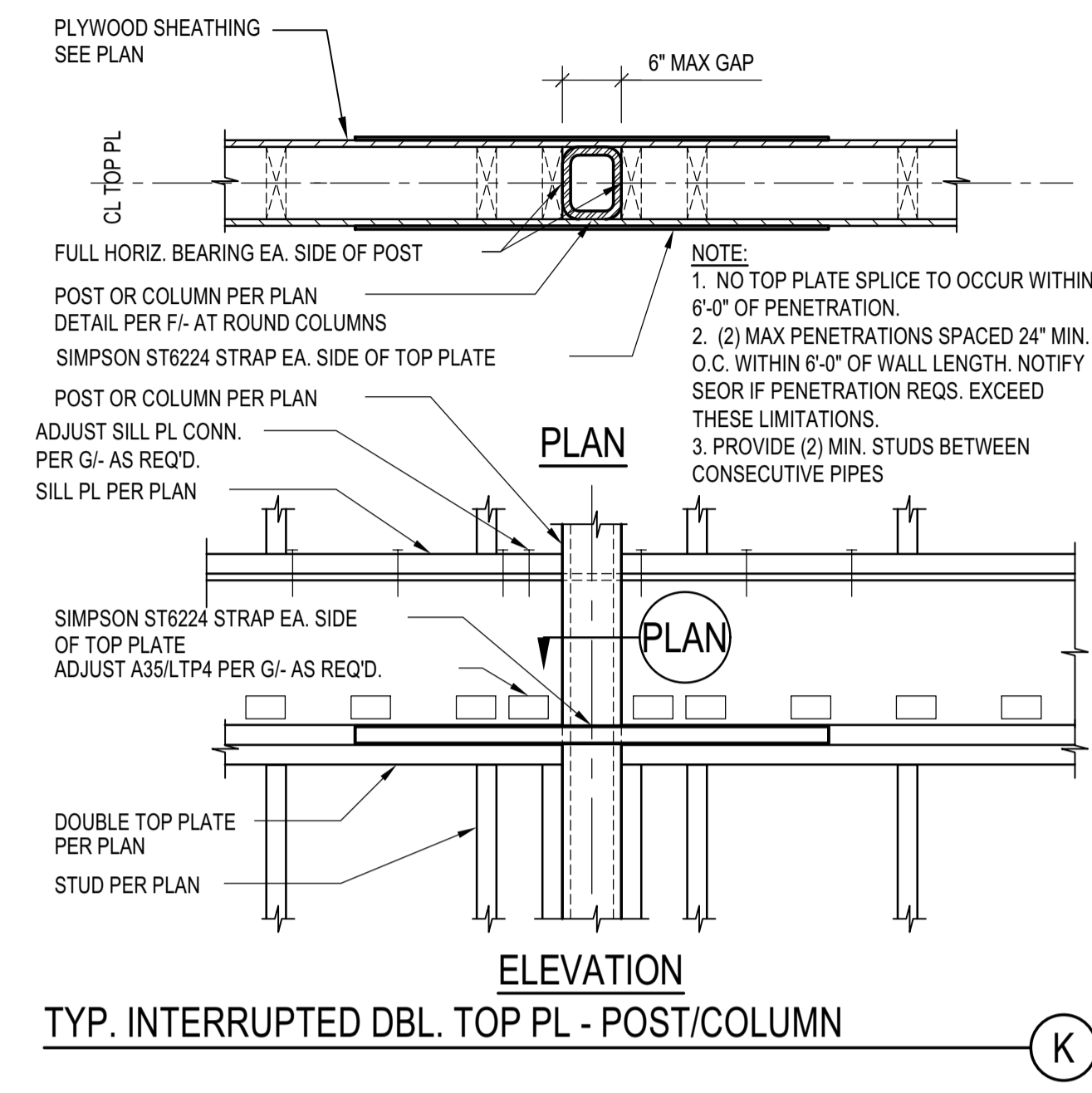
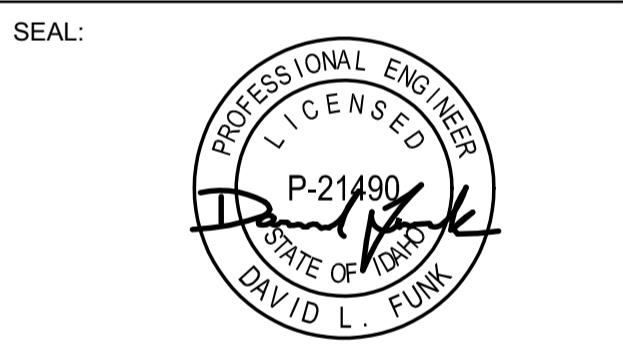
GEOTECHNICAL ENGINEER:
BUTLER ASSOCIATES, INC.
 P.O. BOX 1034
 KETCHUM, ID 83340
 TEL: 208.720.6432

LANDSCAPE ARCHITECT:
BYLA
 323 LEWIS STREET, SUITE N
 KETCHUM, ID 83340
 TEL: 208.726.5907

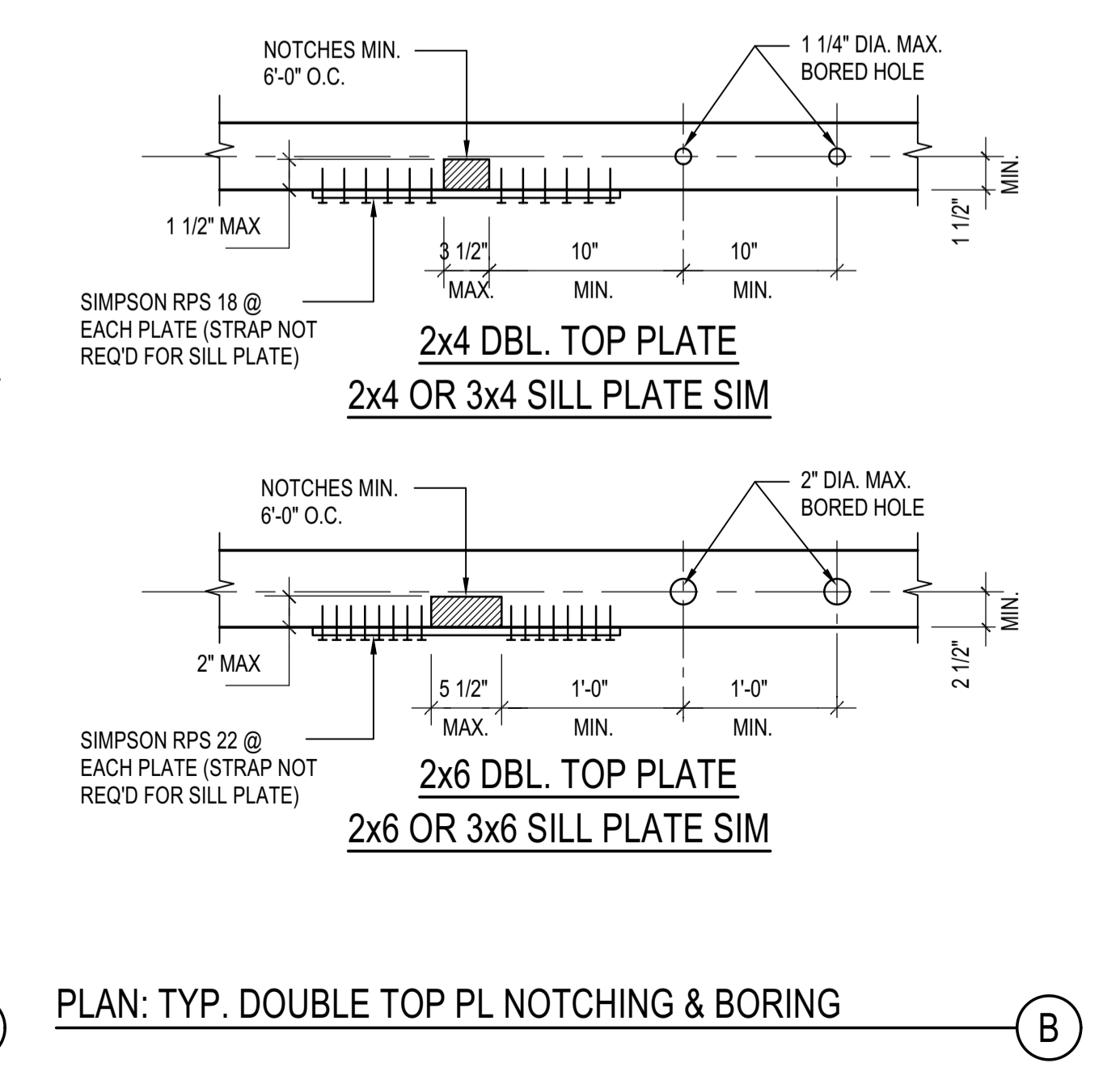
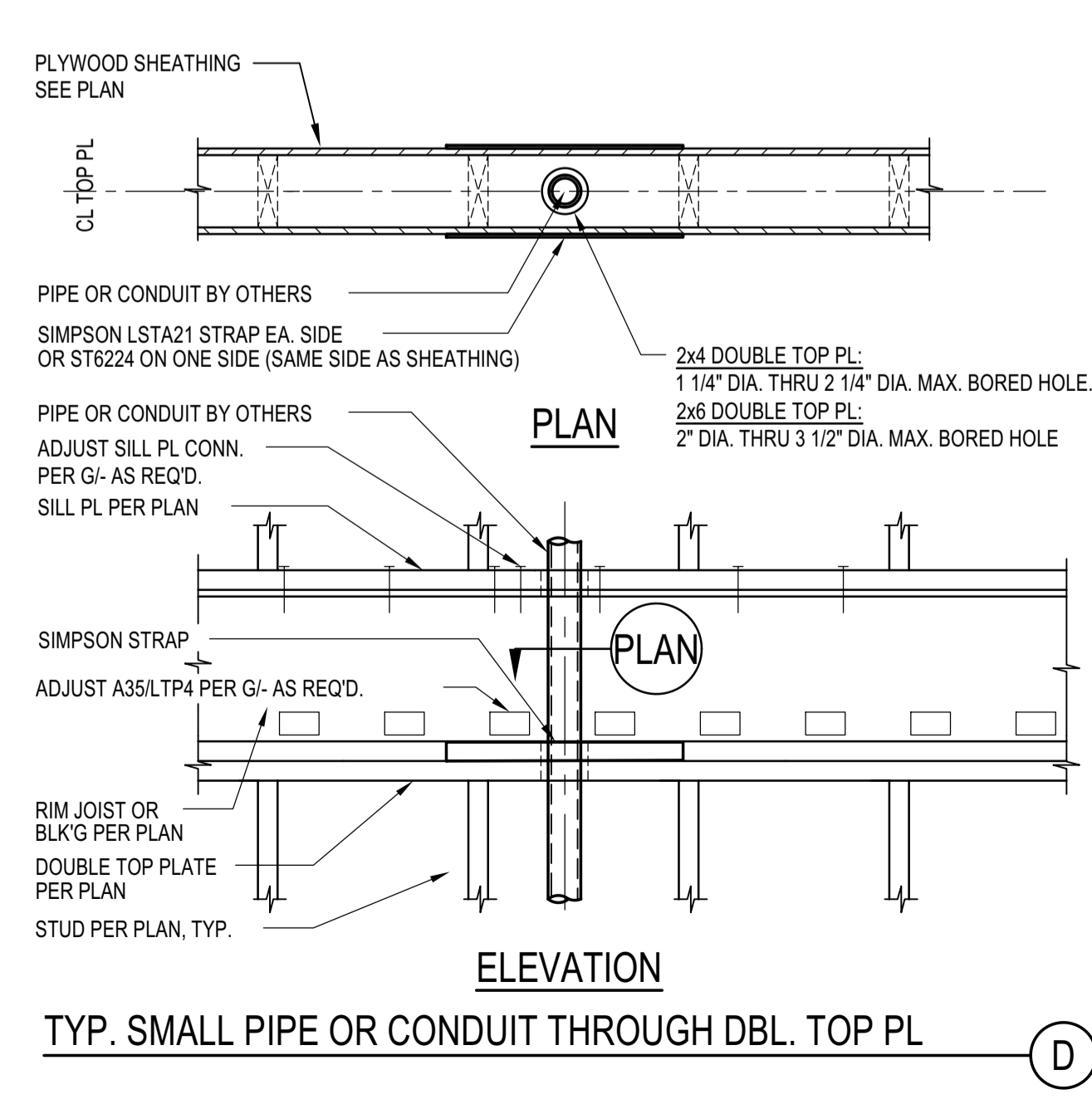
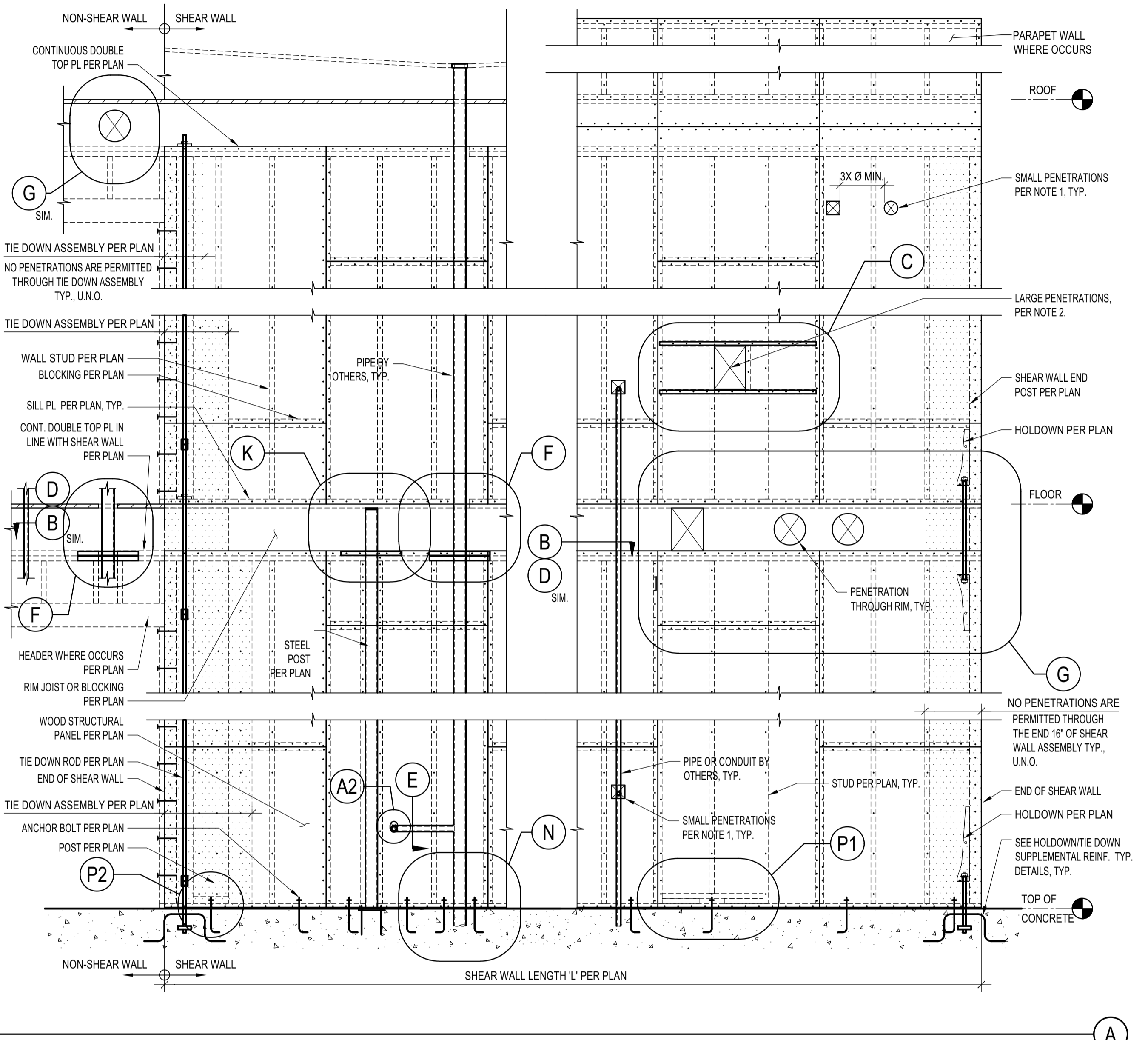
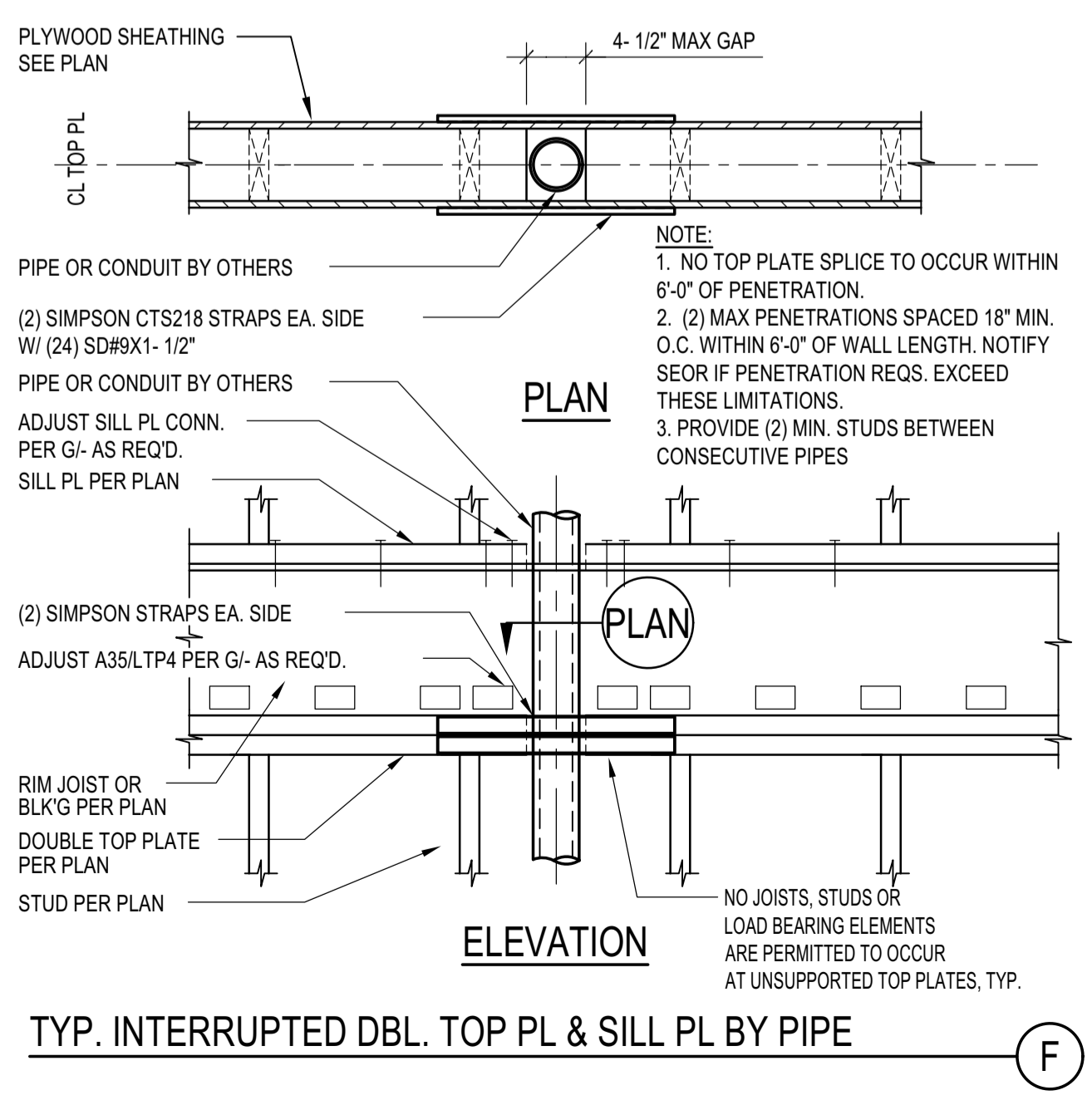
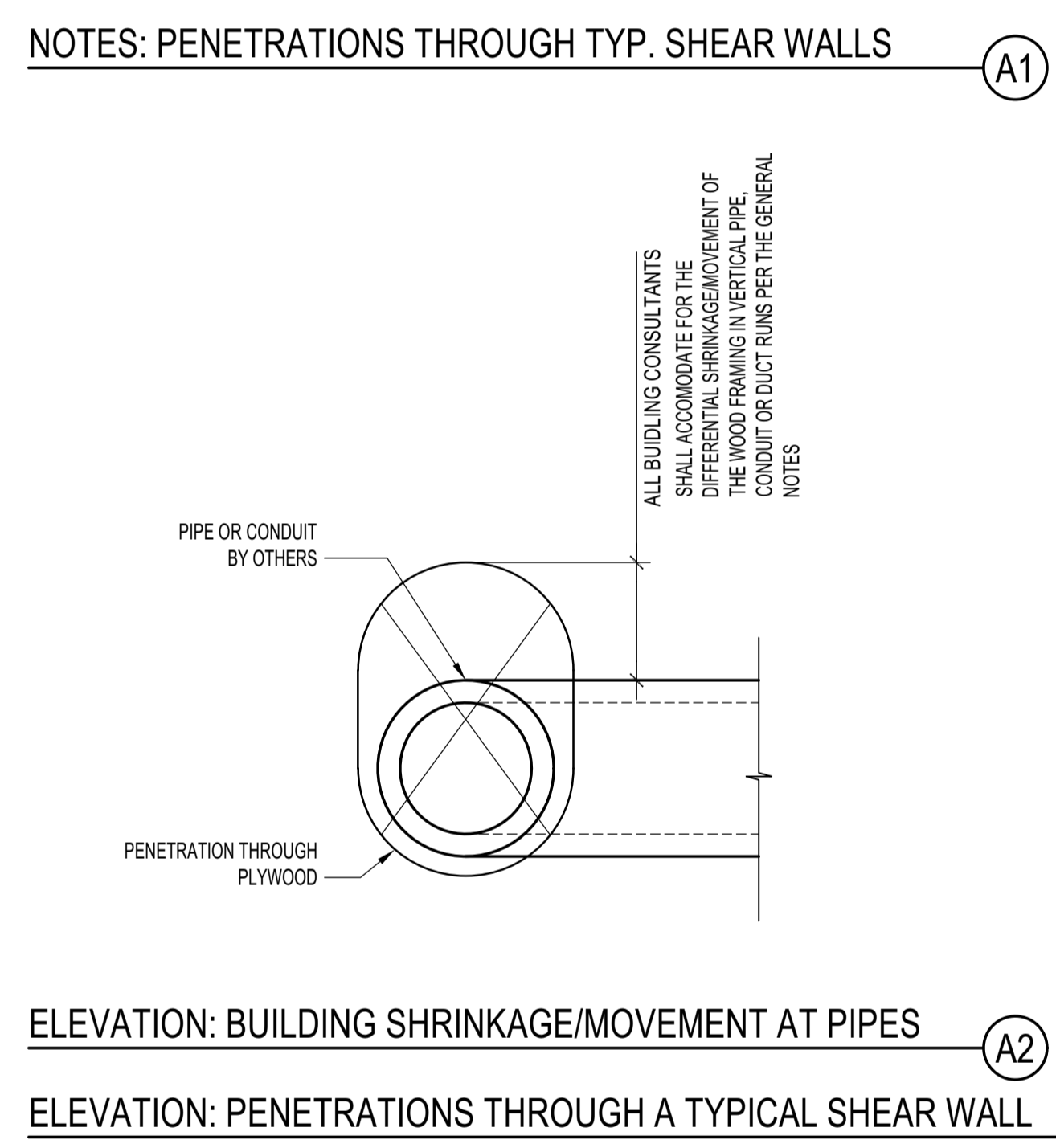
STRUCTURAL ENGINEER:
LFA
 319 MAIN STREET
 EL SEGUNDO, CA 90245
 TEL: 213.239.9700
 LFA Job #22791



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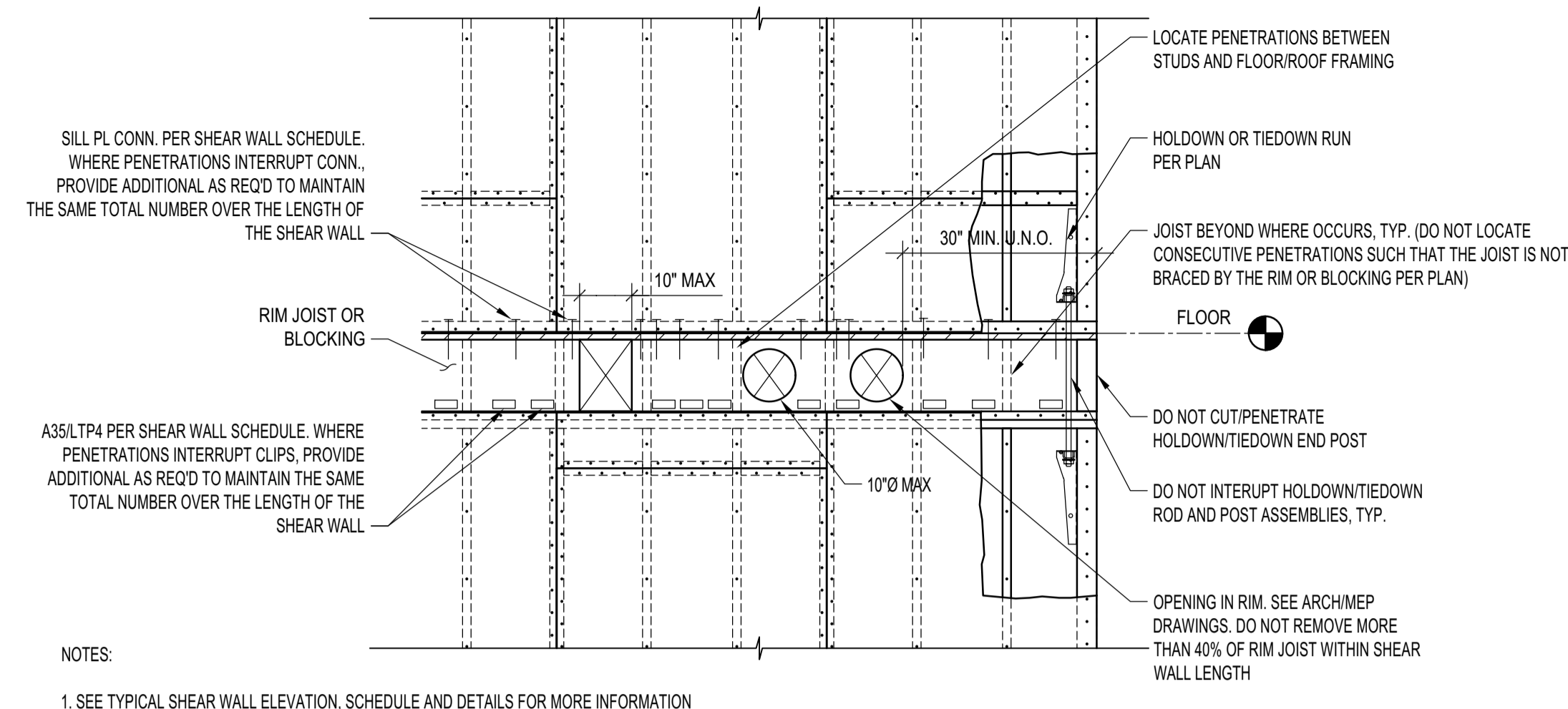
- PENETRATIONS THROUGH SHEAR WALL NOTES:**
- 4 1/2" Ø AND 4 1/2" SQ. MAX PENETRATION SIZE THROUGH SHEAR WALL PANELS ARE PERMITTED PROVIDED:
 - 3X Ø (OR 3X SQ. DIMENSION) MINIMUM CLEAR SPACING BETWEEN PENETRATIONS
 - NO OPENINGS TO OCCUR WITHIN TIE-DOWN POST AREA AT WALL ENDS UNLESS SPECIFICALLY CALLED OUT ON PLAN OR APPROVED BY THE SEOR
 - NO OVER CUTS IN WOOD MEMBERS AND SHEATHING ARE PERMITTED
 - FOR PENETRATIONS LARGER THAN THOSE SPECIFIED IN 1) ABOVE:
 - REROUTE PIPE OR DUCT, ETC. AROUND SHEAR WALLS
 - SEE PLANS FOR LOCATIONS OF APPROVED PENETRATIONS
 - OR NOTIFY THE SEOR AND AOR OF SPECIFIC PROPOSED PENETRATIONS FOR REVIEW
 - THE MAX ACCUMULATED LENGTH OF PENETRATIONS AT ANY GIVEN ELEVATION SHALL NOT EXCEED 10% OF THE WALL LENGTH 'L', TYP. U.N.O.
 - THIS DETAIL APPLIES TO ALL SHEARWALLS AND WALLS IN LINE WITH SHEARWALLS, TYP. U.N.O.
 - INSTALL ALL STRAPS AND HARDWARE PER MANUFACTURER SPECIFICATIONS.



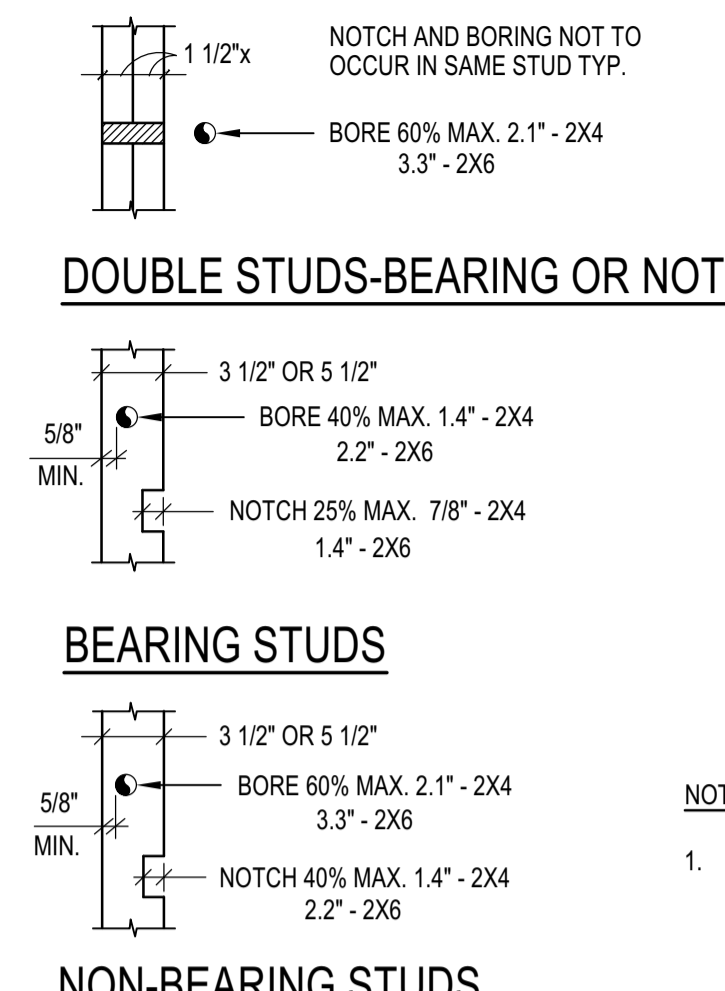
DATE	02/24/23	PC SUBMITTAL
NO		ISSUE
PROJECT:	BADGER RESIDENCE	
	121 BADGER LANE KETCHUM, ID 83340	
PROJECT NUMBER	#2201	
DRAWING TITLE:	TYPICAL DETAILS - WOOD SHEAR WALLS	
DRAWING NUMBER:	S-043	

Approved
 These plans have been found to be in substantial compliance with the adopted building codes. These documents are approved contingent on compliance with the mark-ups and notes applied. This is not approval of any code, ordinance, statute or regulation. Corrections will be required for code violations found during the inspection process.

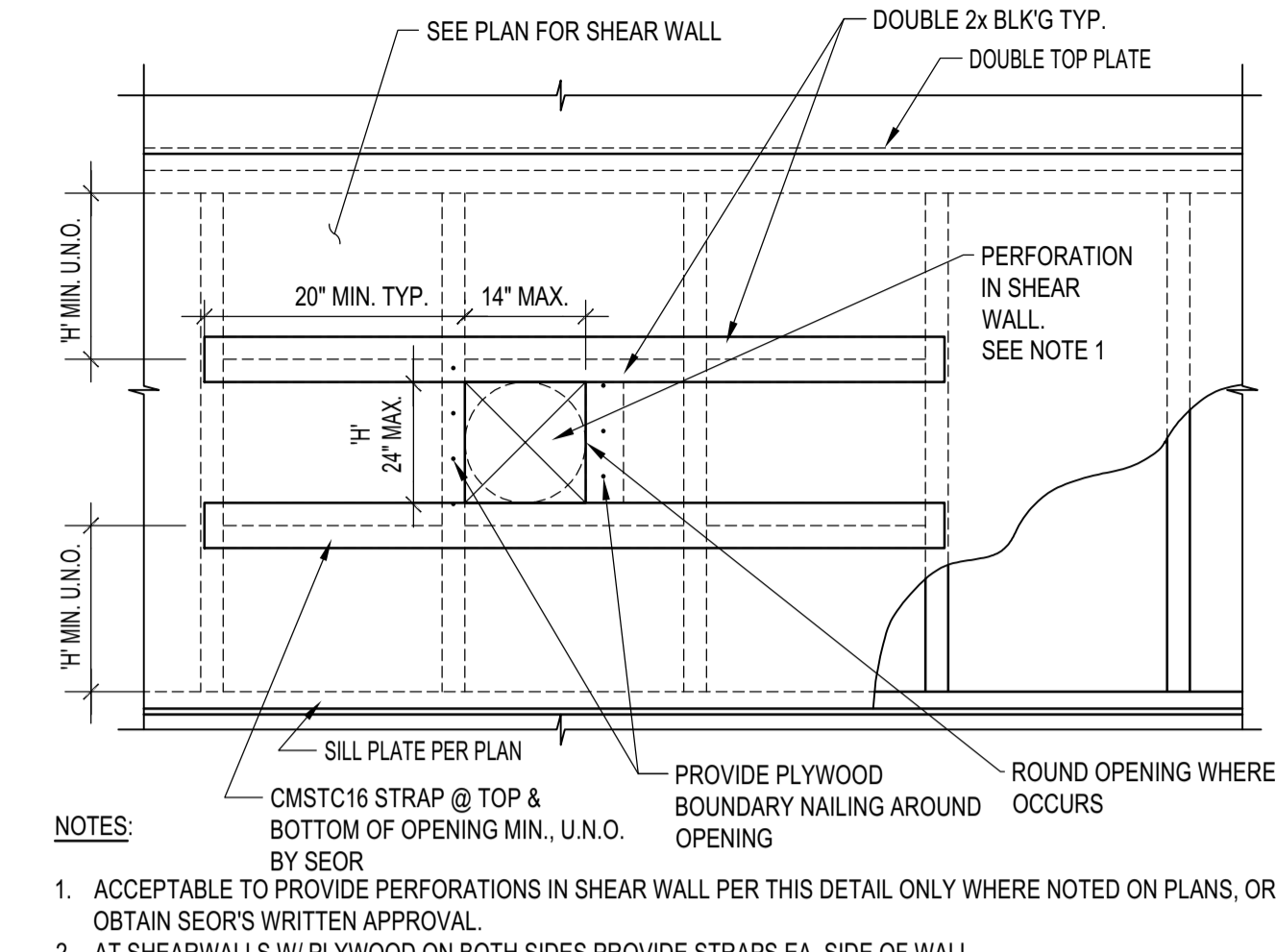
BLD2303-00021
 06/26/23



ELEVATION: TYPICAL PENETRATIONS IN RIM JOIST/BLOCKING



SECTION: TYP. STUD NOTCHING



ELEVATION: LARGE OPENINGS IN SHEAR WALLS

PENETRATIONS AND ASSEMBLY INTERRUPTIONS AT A TYPICAL SHEAR WALL

SCALE: N.T.S.

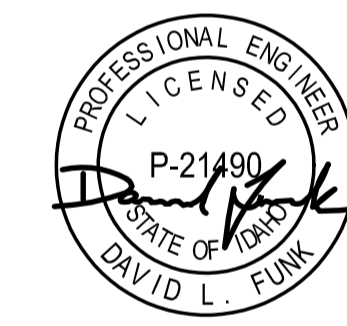
BADGER RESIDENCE

- OWNER:
 121 BADGER LANE LLC
 P.O. BOX 14001-174
 KETCHUM, ID 83340
- PROJECT ARCHITECT:
 RO | ROCKETT DESIGN
 1031 W. MANCHESTER BLVD, UNIT 6
 INGLEWOOD, CA 90301
 TEL: 213.784.0014
- SURVEYOR & CIVIL ENGINEER:
 GALENA ENGINEERING, INC.
 317 NORTH RIVER STREET
 HAILEY, ID 83333
 TEL: 208.788.1705
- GEOTECHNICAL ENGINEER:
 BUTLER ASSOCIATES, INC.
 P.O. BOX 1034
 KETCHUM, ID 83340
 TEL: 208.720.6432
- LANDSCAPE ARCHITECT:
 BYLA
 323 LEWIS STREET, SUITE N
 KETCHUM, ID 83340
 TEL: 208.726.5907
- STRUCTURAL ENGINEER:
 LFA
 319 MAIN STREET
 EL SEGUNDO, CA 90245
 TEL: 213.239.9700
 LFA Job #22791



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NO	DATE	PC SUBMITTAL	ISSUE
02/24/23		PC SUBMITTAL	

PROJECT:
BADGER RESIDENCE
 121 BADGER LANE
 KETCHUM, ID 83340

PROJECT NUMBER
#2201

DRAWING TITLE:
TYPICAL DETAILS - WOOD SHEAR WALLS

DRAWING NUMBER:
S-044

OWNER:
121 BADGER LANE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340

PROJECT ARCHITECT:
RO | ROCKETT DESIGN
1031 W. MANCHESTER BLVD, UNIT 6
INGLEWOOD, CA 90301
TEL: 213.784.0014

SURVEYOR & CIVIL ENGINEER:
GALENA ENGINEERING, INC.
317 NORTH RIVER STREET
HAILEY, ID 83333
TEL: 208.788.1705

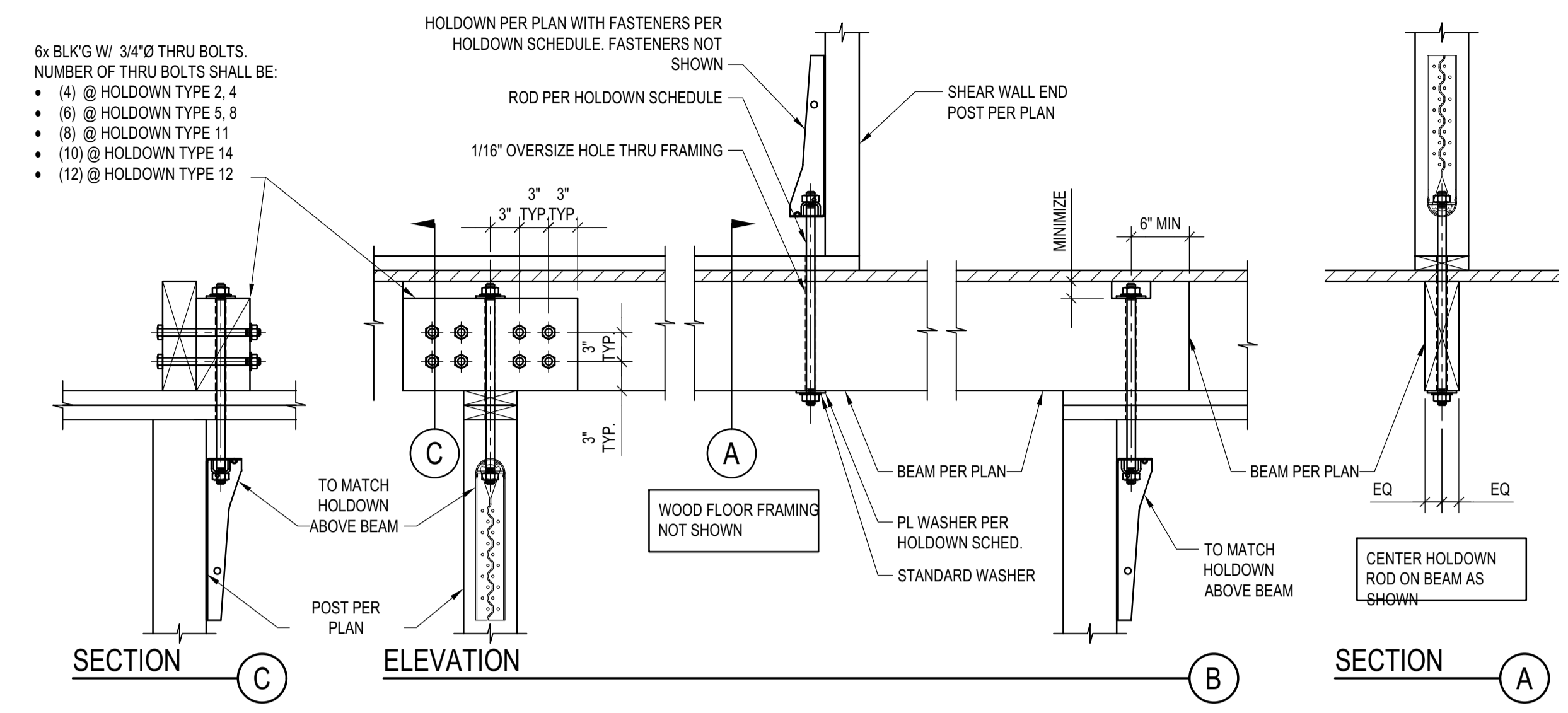
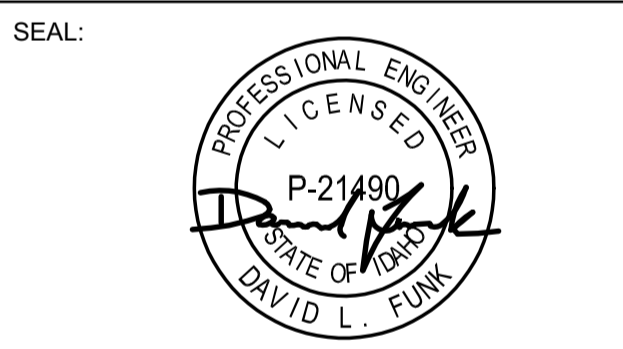
GEOTECHNICAL ENGINEER:
BUTLER ASSOCIATES, INC.
P.O. BOX 1034
KETCHUM, ID 83340
TEL: 208.720.6432

LANDSCAPE ARCHITECT:
BYLA
323 LEWIS STREET, SUITE N
KETCHUM, ID 83340
TEL: 208.726.5907

STRUCTURAL ENGINEER:
LFA
319 MAIN STREET
EL SEGUNDO, CA 90245
TEL: 213.239.9700
LFA Job #22791



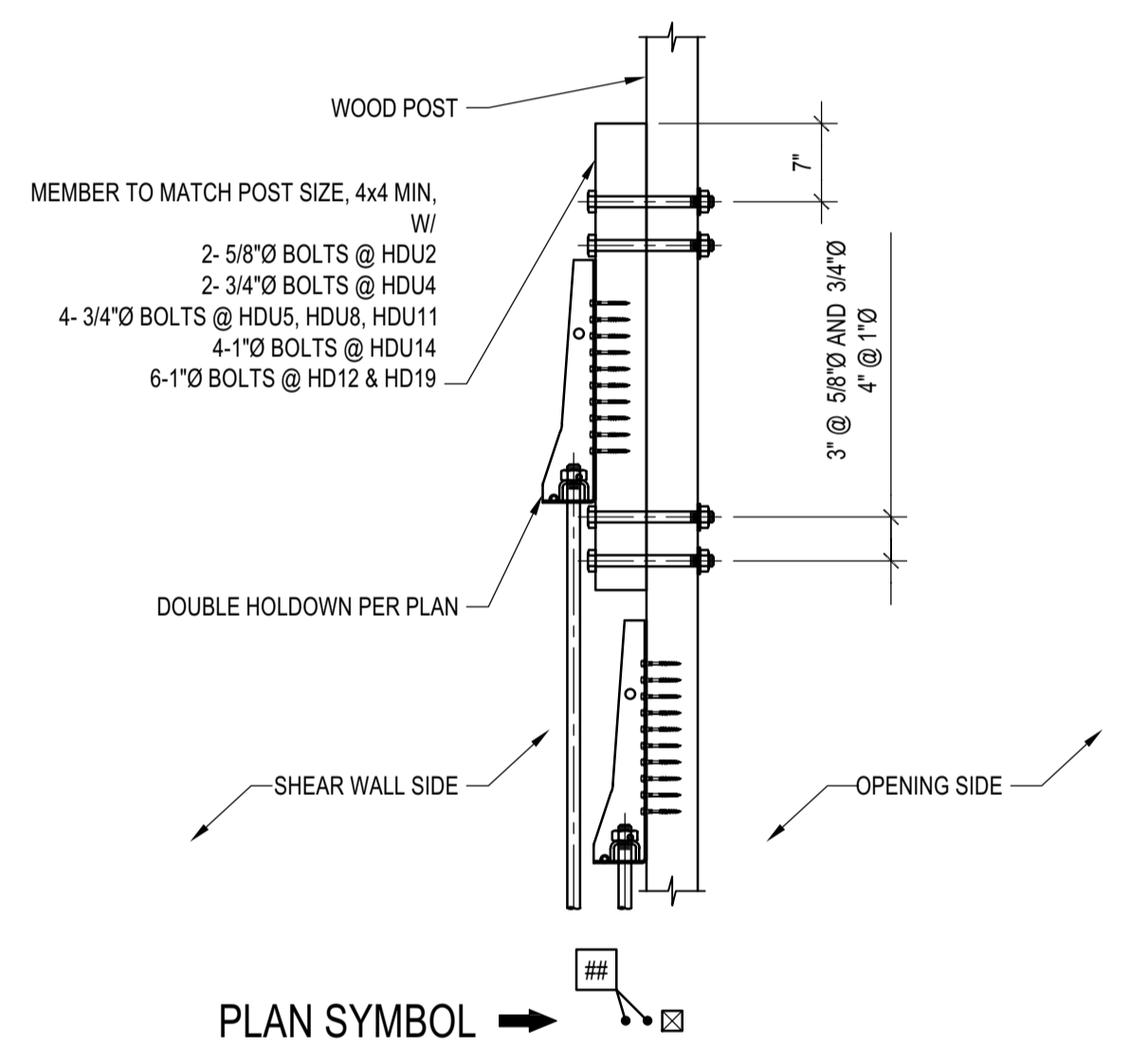
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HOLDOWN LANDING ON WOOD BEAM

SCALE: N.T.S.

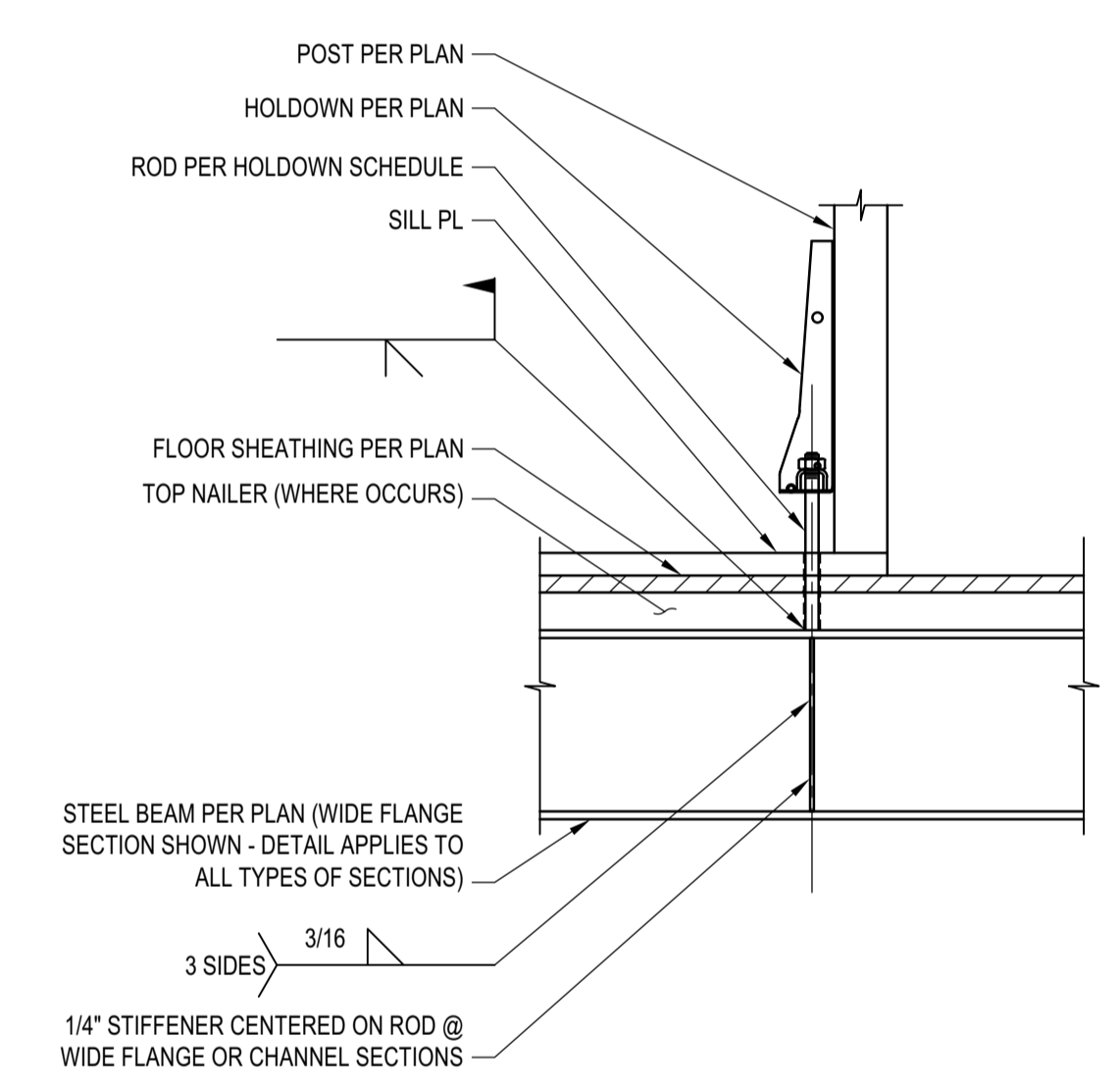
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DOUBLE HOLDDOWN AT WALL END

SCALE: N.T.S.

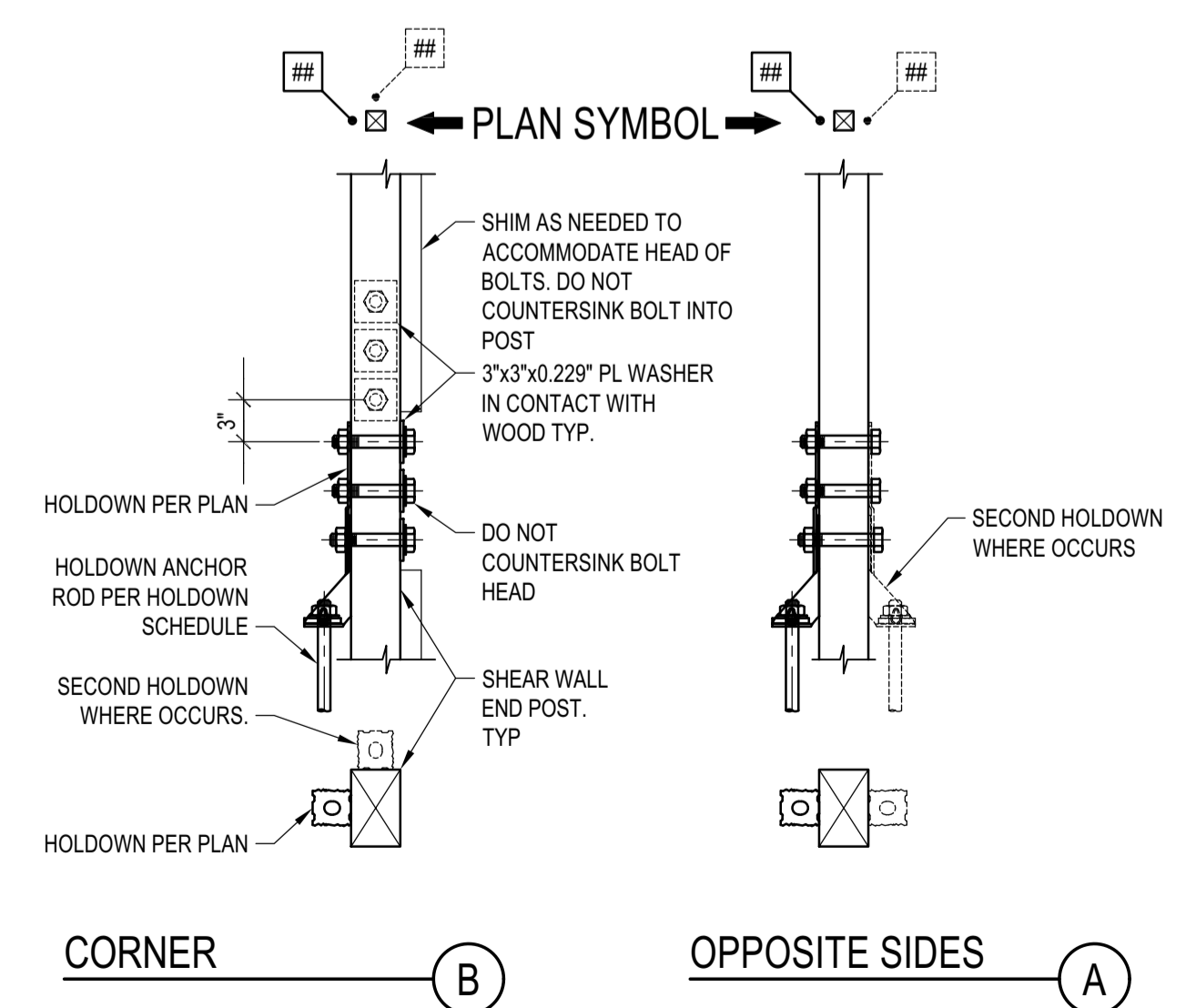
4



HOLDOWN ON STEEL BEAM

SCALE: N.T.S.

2



HOLDOWN WITH BOLTS

SCALE: N.T.S.

3

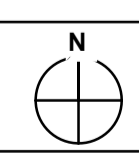
02/24/23 PC SUBMITTAL
NO DATE ISSUE

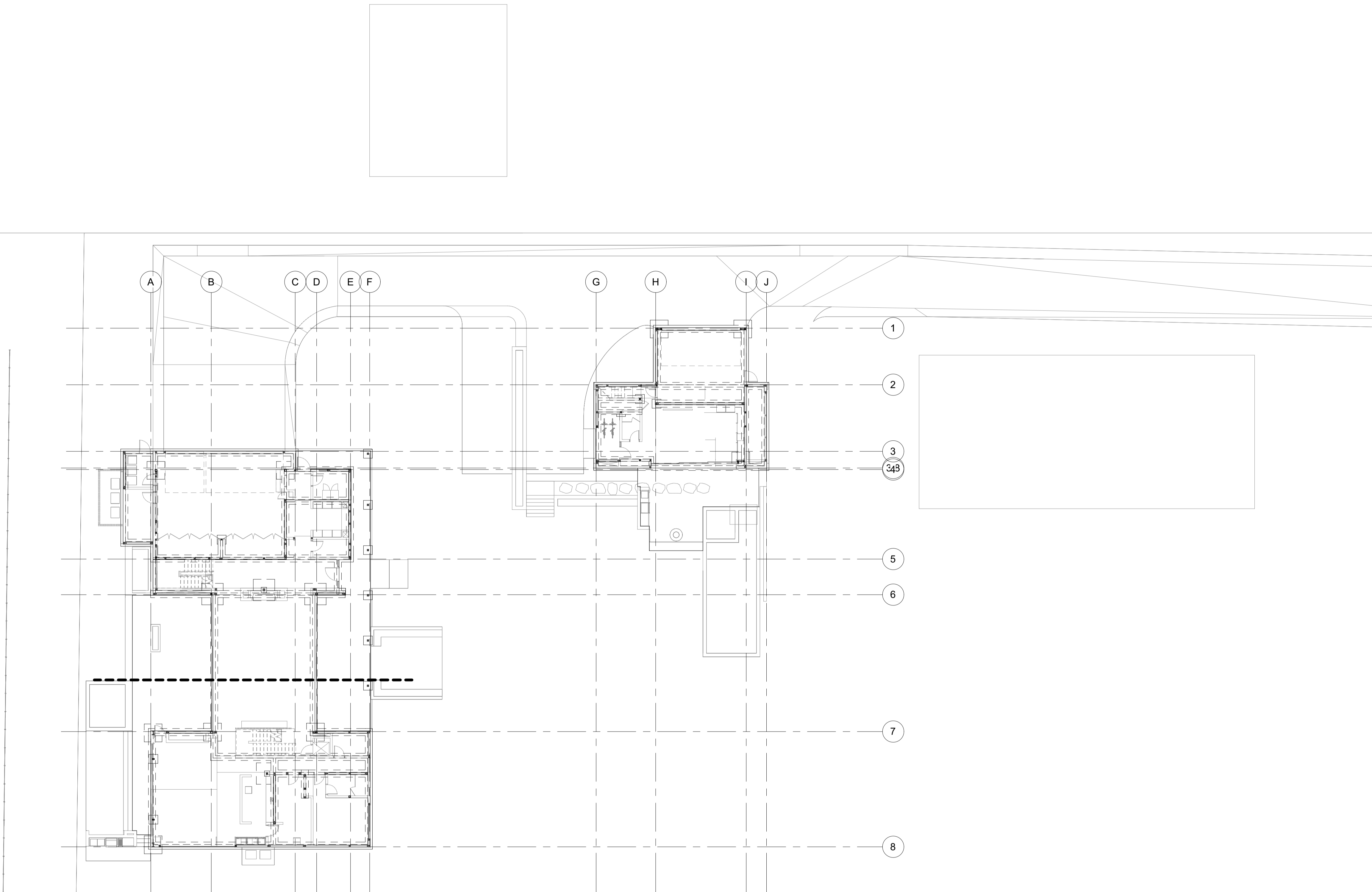
PROJECT:
BADGER RESIDENCE
121 BADGER LANE
KETCHUM, ID 83340

PROJECT NUMBER
#2201

DRAWING TITLE:
TYPICAL DETAILS - HOLDOWNS

DRAWING NUMBER:
S-052





1 OVERALL SITE PLAN
S-100 1/16" = 1'-0"

BADGER RESIDENCE

OWNER:
121 BADGER LANE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340

PROJECT ARCHITECT:
RO | ROCKETT DESIGN
1031 W. MANCHESTER BLVD, UNIT 6
INGLEWOOD, CA 90301
TEL: 213.784.0014

SURVEYOR & CIVIL ENGINEER:
GALENA ENGINEERING, INC.
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HAILEY, ID 83333
TEL: 208.788.1705

GEOTECHNICAL ENGINEER:
BUTLER ASSOCIATES, INC.
P.O. BOX 1034
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TEL: 208.720.6432

LANDSCAPE ARCHITECT:
BYLA
323 LEWIS STREET, SUITE N
KETCHUM, ID 83340
TEL: 208.726.5907

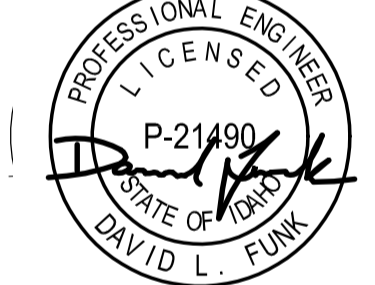
STRUCTURAL ENGINEER:
LFA
319 MAIN STREET
EL SEGUNDO, CA 90245
TEL: 213.239.9700
LFA Job #22791



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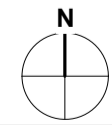
SEAL:



NO	DATE	ISSUE
	02/24/23	PC SUBMITTAL

PROJECT:
BADGER RESIDENCE
121 BADGER LANE
KETCHUM, ID 83340

PROJECT NUMBER
#2201



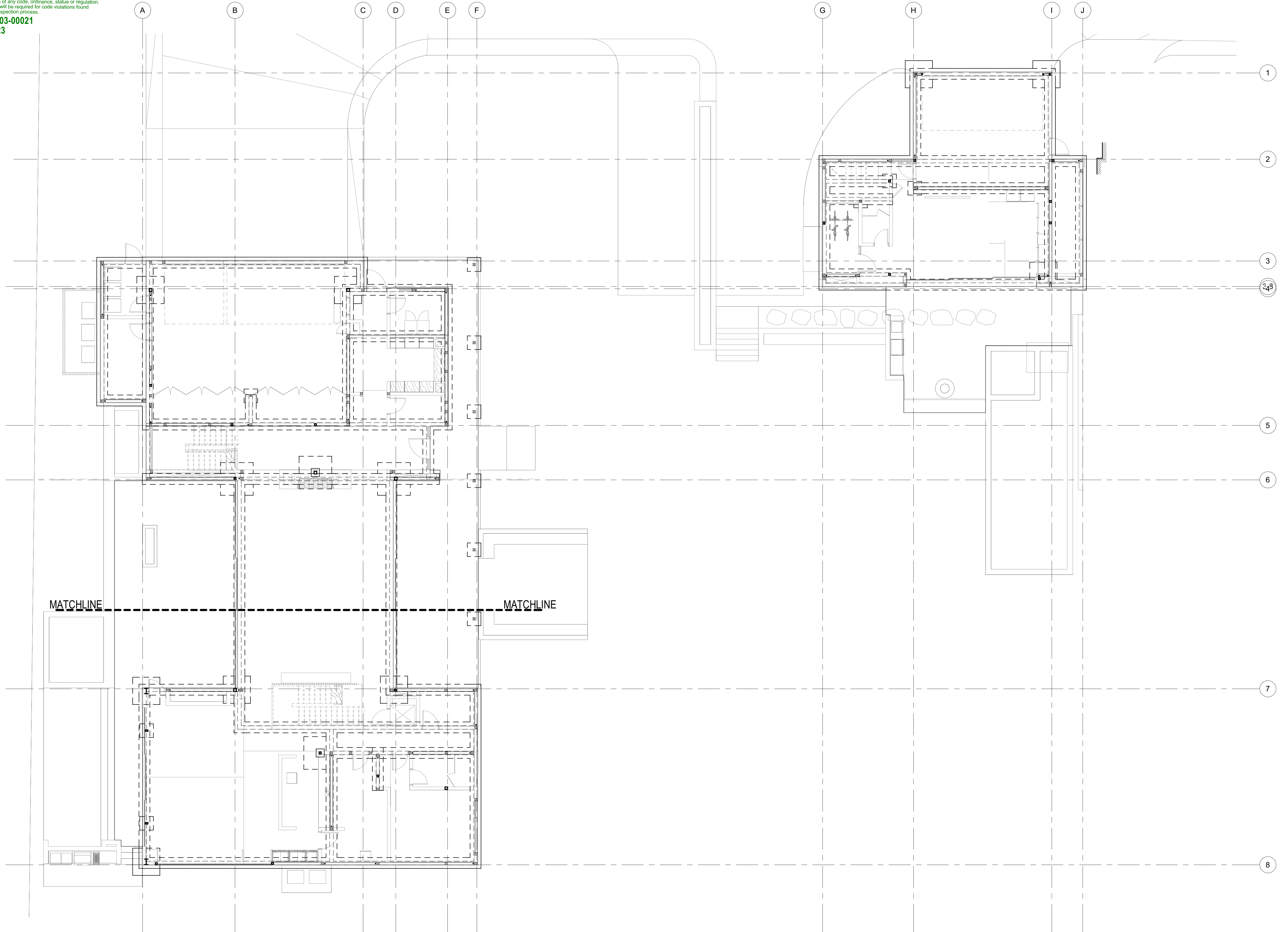
DRAWING TITLE:
OVERALL SITE PLAN

DRAWING NUMBER:

S-100

These plans have been found to be in substantial compliance with the requirements of the applicable codes. If any changes are approved contingent on compliance with the applicable codes, the contractor shall be responsible for obtaining any code, ordinance, statute or regulation. The contractor shall be responsible for obtaining any code, ordinance, statute or regulation. The contractor shall be responsible for obtaining any code, ordinance, statute or regulation. The contractor shall be responsible for obtaining any code, ordinance, statute or regulation.

BLD2303-00021
6/26/23



1 OVERALL FOUNDATION/LEVEL 01 PLAN
S-101 1/8" = 1'-0"

BADGER RESIDENCE

OWNER:
121 BADGER LANE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340

PROJECT ARCHITECT:
RO | ROCKETT DESIGN
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INGLEWOOD, CA 90301
TEL: 213.784.0014

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GEOTECHNICAL ENGINEER:
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TEL: 208.720.6432

LANDSCAPE ARCHITECT:
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KETCHUM, ID 83340
TEL: 208.726.5907

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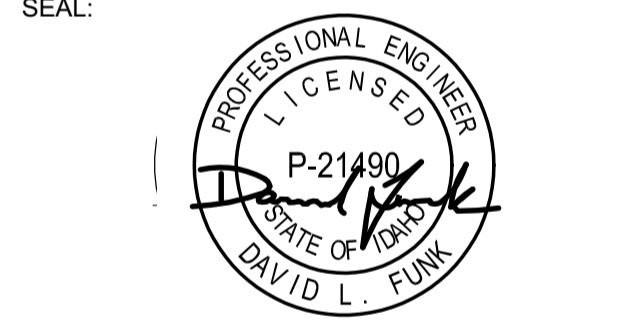


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PROJECT:
BADGER RESIDENCE
121 BADGER LANE
KETCHUM, ID 83340

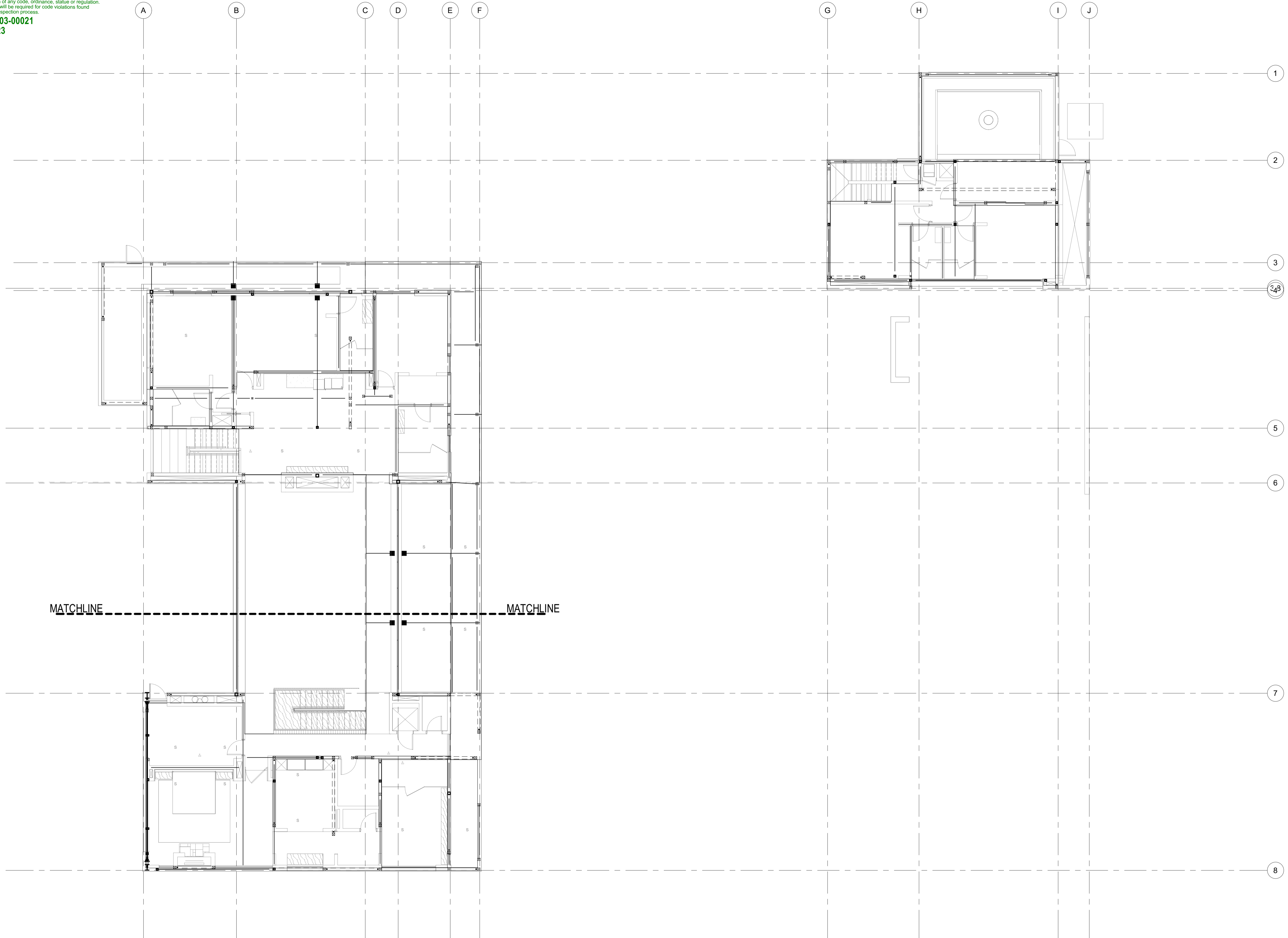
PROJECT NUMBER:
#2201

DRAWING TITLE:
OVERALL FOUNDATION/LEVEL 01 PLAN

DRAWING NUMBER:
S-101



Approved
 These plans have been found to be in substantial compliance with the adopted building codes. These documents are approved contingent on compliance with all applicable codes, ordinances, statutes or regulations. Any violations of any code, ordinance, statute or regulation will be required for code violations found during the inspection process.
 PLD2303-00021
 6/26/23



BADGER RESIDENCE

OWNER:
 121 BADGER LANE LLC
 P.O. BOX 14001-174
 KETCHUM, ID 83340

PROJECT ARCHITECT:
RO | ROCKETT DESIGN
 1031 W. MANCHESTER BLVD, UNIT 6
 INGLESWOOD, CA 90301
 TEL: 213.784.0014

SURVEYOR & CIVIL ENGINEER:
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 TEL: 208.788.1705

GEOTECHNICAL ENGINEER:
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 TEL: 208.720.6432

LANDSCAPE ARCHITECT:
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STRUCTURAL ENGINEER:
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 EL SEGUNDO, CA 90245
 TEL: 213.239.9700
 LFA Job #22791



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SEAL:

NO	DATE	ISSUE

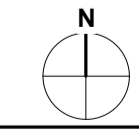
02/24/23 PC SUBMITTAL
 PROJECT:
BADGER RESIDENCE
 121 BADGER LANE
 KETCHUM, ID 83340

PROJECT NUMBER
#2201

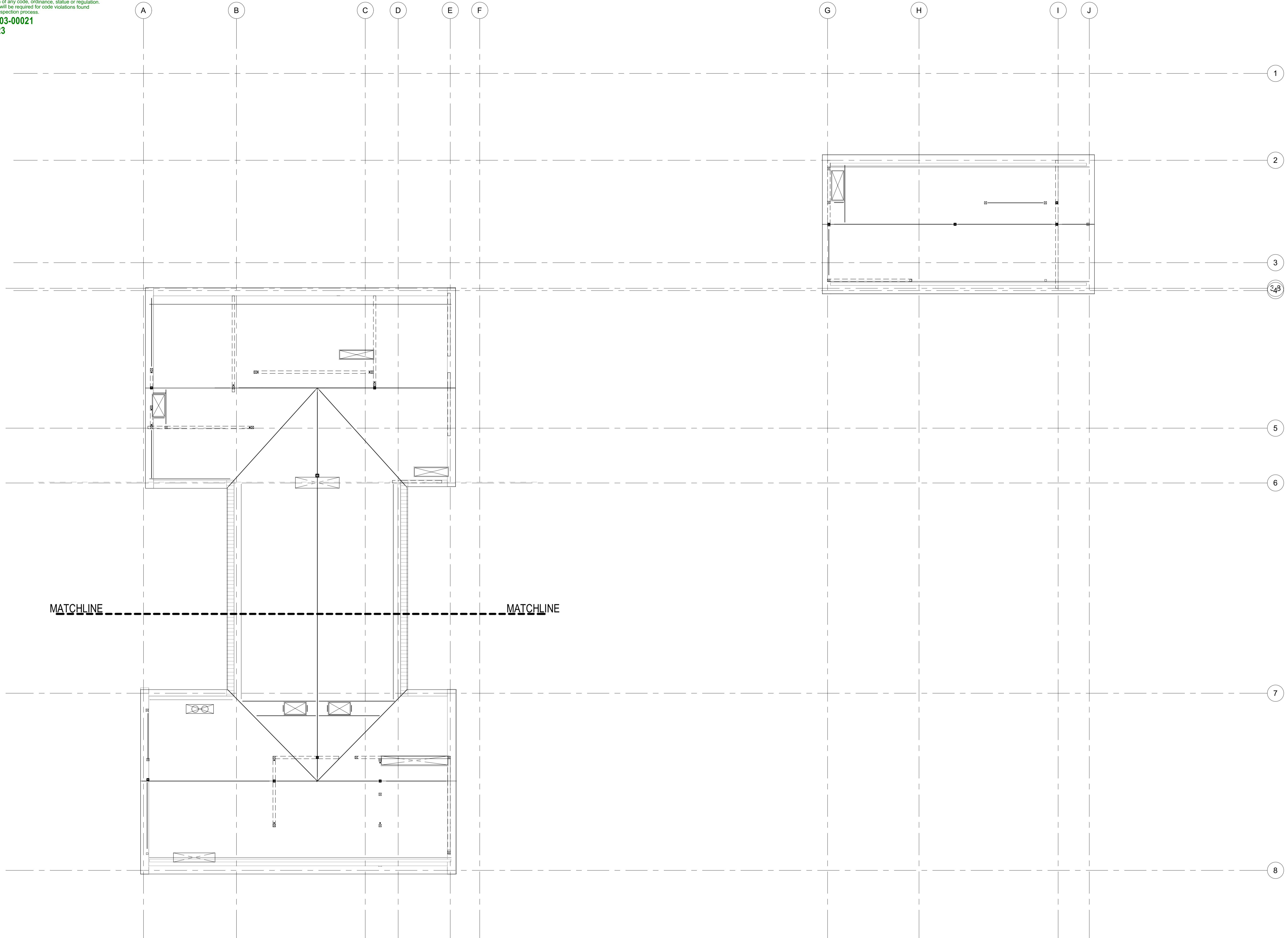
DRAWING TITLE:
OVERALL LEVEL 02 FRAMING PLAN

DRAWING NUMBER:
S-102

1 OVERALL LEVEL 02 FRAMING PLAN
 S-102 1/8" = 1'-0"



Approved
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 BLD2303-00021
 6/26/23
 2/24/23



1 OVERALL ROOF FRAMING PLAN
 S-103 1/8" = 1'-0"

BADGER RESIDENCE

OWNER:
 121 BADGER LANE LLC
 P.O. BOX 14001-174
 KETCHUM, ID 83340

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SEAL:

NO	DATE	ISSUE

02/24/23 PC SUBMITTAL

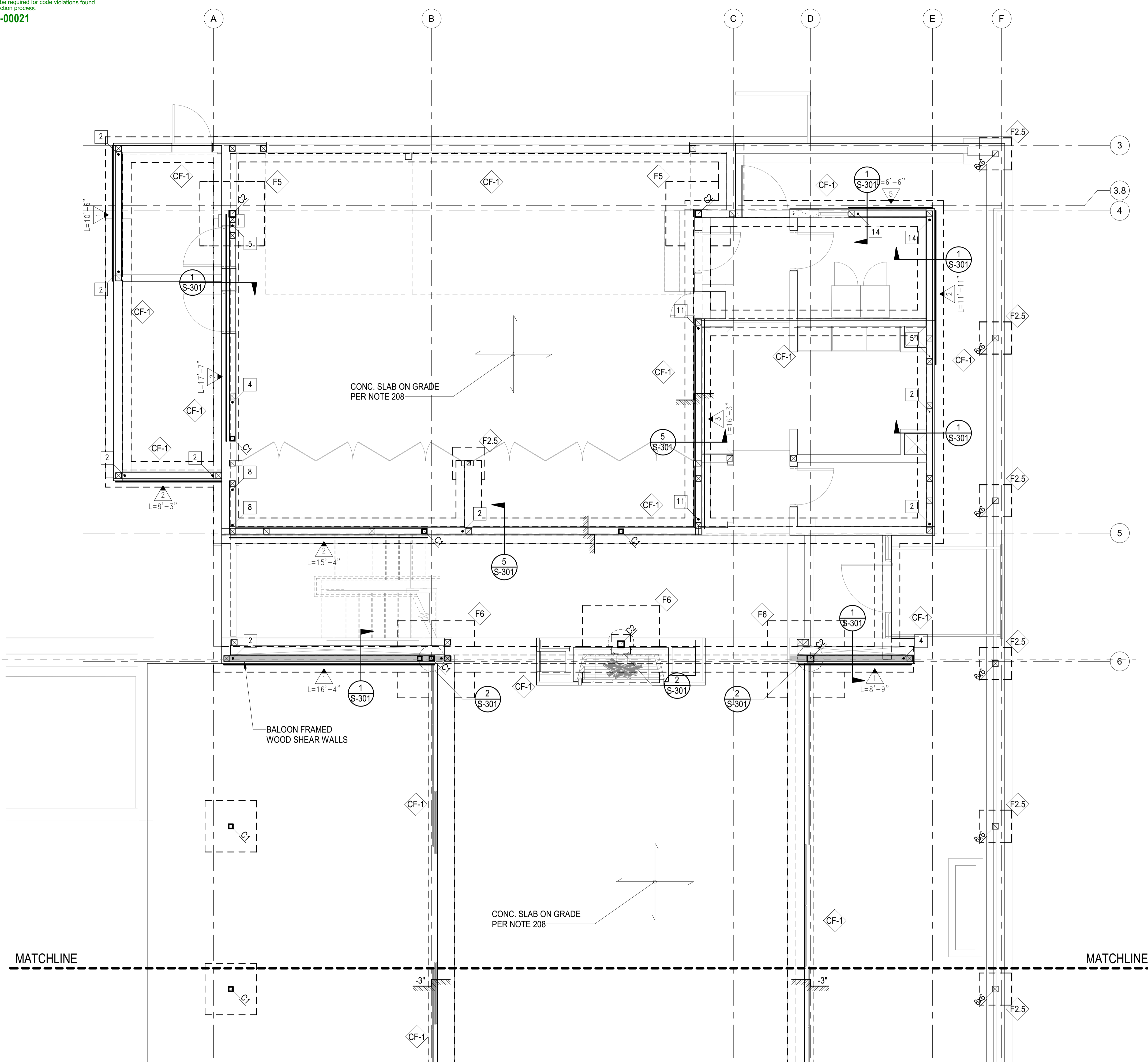
PROJECT:
BADGER RESIDENCE
 121 BADGER LANE
 KETCHUM, ID 83340

PROJECT NUMBER
#2201

DRAWING TITLE:
OVERALL ROOF FRAMING PLAN

DRAWING NUMBER:
S-103

Approved
 These plans have been found to be in substantial compliance with the adopted building codes. These documents are approved contingent on compliance with all applicable codes and regulations. This is not approval of any code, ordinance, statute or regulation. No action will be required for code violations found during the inspection process.
 PLD2303-00021
 6/26/23
 4/20/23



PLAN NOTES - SHEETS AND GENERAL:

101. GENERAL NOTES AND TYPICAL DETAILS SHEETS: SEE S0.01 THRU S0.62 SHEETS. GENERAL NOTES & TYPICAL DETAILS APPLY TO ALL PARTS OF THE WORK EXCEPT WHERE SPECIFICALLY DETAILED OR U.N.O. ON THE FLOOR PLANS AND PLAN NOTES.
102. VERIFY ALL DIMENSIONS, ELEVATIONS, SLAB EDGES, SLAB DEPRESSIONS, SLAB OPENINGS, CURBS, FOOTING, PENETRATIONS, WALL OPENINGS WITH ARCHITECTURAL, MECHANICAL, PLUMBING, ELECTRICAL & CIVIL DRAWINGS.
103. FOR ALL DIMENSIONS & ROOF SLOPES S.A.D.
104. NON-BEARING WALLS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. FOR NON-BEARING WALL LOCATIONS S.A.D.

PLAN NOTES - FOUNDATION:

201. ALL GRADING & FOUNDATION WORK MUST BE OBSERVED AND APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF STEEL REINFORCEMENT AND POURING CONCRETE.
202. RECOMMENDED MATERIAL IS NATIVE SOIL BELOW THE FROST LINE.
203. IF FOR LIMITS AND EXTENT OF OVER EXCAVATION SEE CIVIL DRAWINGS.
204. U.N.O. TOP OF CONC. FOOTING ELEVATION SHALL BE 32" BELOW THE LOWEST GRADE. FOR TOP OF SLAB ELEVATION SEE ARCHL DRAWINGS.
205. ALL HOLDOWN HARDWARE IS TO BE SECURED IN PLACE PRIOR TO FOUNDATION INSPECTION. HOLDOWNS SHALL BE RE-TIGHTENED JUST PRIOR TO COVERING THE WALL FRAMING PLATE WASHERS ARE REQUIRED FOR ALL HOLDOWNS.
206. FOR SLAB ON GRADE SUB-GRADE PREPARATION SEE SOILS REPORT.
207. FOR VAPOR BARRIER AT INTERIOR SPACES S.A.D. SPECIFICATIONS/DRAWINGS.
208. CONCRETE SLAB ON GRADE: 5" THICK, REINFORCED WITH #5 BARS AT 16" O.C. EACH WAY.
209. THE BUILDING HAS BEEN DESIGNED TO BE ANCHORED INTO THE BEARING MATERIAL PER THE DESIGN REQUIREMENTS OF ASCE 24-14.
210. THE ONLY STRUCTURAL MATERIAL OCCURRING BELOW THE B.F.E. IS REINFORCED CONCRETE, WHICH IS WITHIN THE ACCEPTABLE MATERIALS LIST FOR FLOORS AND WALLS IN TABLE 2 OF THE FEMA TECHNICAL BULLETIN.

SYMBOLS - FOUNDATION

- INDICATES CHANGE IN FLOOR ELEVATION
- INDICATES CONCRETE WALL
- INDICATES CONCRETE WALL BELOW
- INDICATES CONCRETE FOOTING
- INDICATES STEPPED FOOTING PER 18/S1.01
- INDICATES CONCRETE GRADE BEAM PER SCHEDULE THIS SHEET
- INDICATES CONCRETE FOOTING PER SCHEDULE THIS SHEET
- INDICATES CONCRETE COLUMN PER SCHEDULE ###
- INDICATES CONCRETE GRADE BEAM PER SCHEDULE THIS SHEET
- INDICATES WOOD WALLS W/ 6x6 STUDS @ 16" OC MIN

FOOTING SCHEDULE	
MARK	SIZE AND REINFORCEMENT
CF1	2'-0" WIDE x 12" THICK W/ CONCRETE FOOTING W/ 2-#5 T&B
F2.5	2'-6" SQUARE x 18" THICK W/ 4-#5 T&B EACH WAY
F5	5'-0" SQUARE x 18" THICK W/ 6-#5 T&B EACH WAY
F6	6'-0" SQUARE x 18" THICK W/ 6-#6 T&B EACH WAY

COLUMN SCHEDULE		
MARK	COLUMN TYPE AND SHAPE	NOTES
C1	HSS4x4x3/8	-
C2	HSS6x6x1/2	-

BADGER RESIDENCE

OWNER:
121 BADGER LANE LLC
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 KETCHUM, ID 83340

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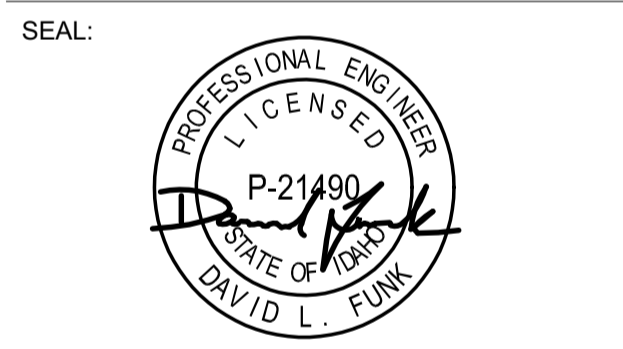
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LANDSCAPE ARCHITECT:
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 LFA Job #22791



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 NO DATE ISSUE

PROJECT:
BADGER RESIDENCE
 121 BADGER LANE
 KETCHUM, ID 83340

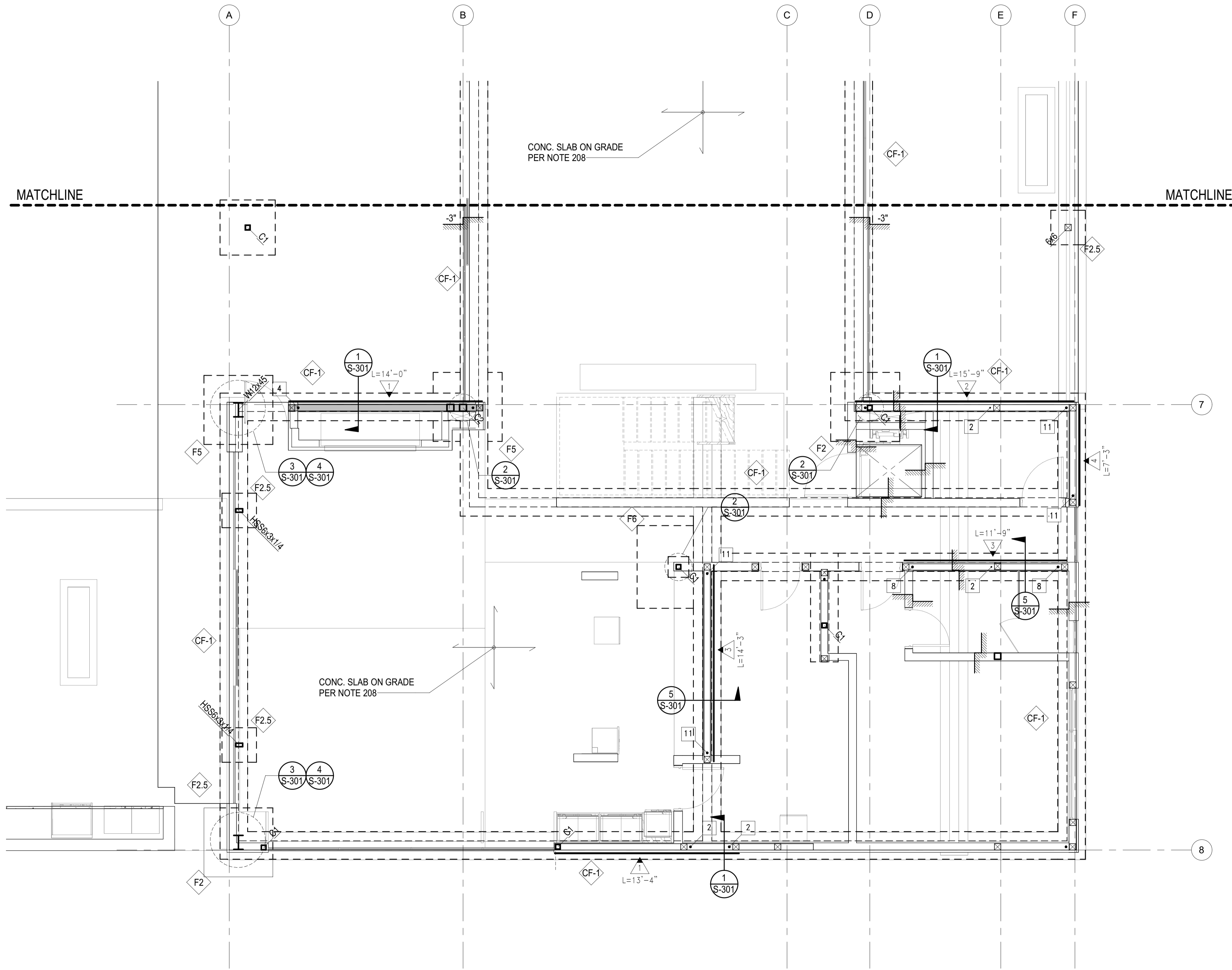
PROJECT NUMBER
#2201

DRAWING TITLE:
**FOUNDATION/LEVEL 01
 PLAN - MAIN HOUSE**

DRAWING NUMBER:
S-111A

NOT FOR CONSTRUCTION
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1 FOUNDATION/LEVEL 01 PLAN - MAIN HOUSE
 S-111A 1/4" = 1'-0"



PLAN NOTES - SHEETS AND GENERAL:

- 101. GENERAL NOTES AND TYPICAL DETAILS SHEETS: SEE S0.01 THRU S0.62 SHEETS. GENERAL NOTES & TYPICAL DETAILS APPLY TO ALL PARTS OF THE WORK EXCEPT WHERE SPECIFICALLY DETAILED OR U.N.O. ON THE FLOOR PLANS AND PLAN NOTES.
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PLAN NOTES - FOUNDATION:

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- 207. FOR VAPOR BARRIER AT INTERIOR SPACES S.A.D. SPECIFICATIONS/DRAWINGS.
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SYMBOLS - FOUNDATION

- INDICATES CHANGE IN FLOOR ELEVATION
- INDICATES CONCRETE WALL
- INDICATES CONCRETE WALL BELOW
- INDICATES CONCRETE FOOTING
- INDICATES STEPPED FOOTING PER 18/S1.01
- INDICATES CONCRETE GRADE BEAM PER SCHEDULE THIS SHEET
- INDICATES CONCRETE FOOTING PER SCHEDULE THIS SHEET
- INDICATES CONCRETE COLUMN PER SCHEDULE ###
- INDICATES CONCRETE GRADE BEAM PER SCHEDULE THIS SHEET
- INDICATES WOOD WALLS W/ 6x6 STUDS @ 16" OC MIN

FOOTING SCHEDULE	
MARK	SIZE AND REINFORCEMENT
CF-1	2'-0" WIDE x 12" THICK W/ CONCRETE FOOTING W/ 2-#5 T&B
F2.5	2'-6" SQUARE x 18" THICK W/ 4-#5 T&B EACH WAY
F5	5'-0" SQUARE x 18" THICK W/ 6-#5 T&B EACH WAY
F6	6'-0" SQUARE x 18" THICK W/ 6-#6 T&B EACH WAY

COLUMN SCHEDULE		
MARK	COLUMN TYPE AND SHAPE	NOTES
C1	HSS4x4x3/8	-
C2	HSS6x6x1/2	-

BADGER RESIDENCE

OWNER:
121 BADGER LANE LLC
 P.O. BOX 14001-174
 KETCHUM, ID 83340

PROJECT ARCHITECT:
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SURVEYOR & CIVIL ENGINEER:
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 317 NORTH RIVER STREET
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 TEL: 208.788.1705

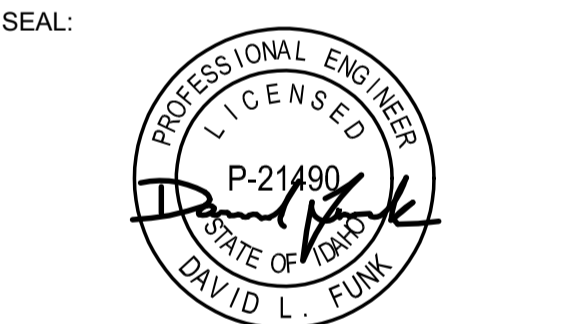
GEOTECHNICAL ENGINEER:
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 TEL: 208.720.6432

LANDSCAPE ARCHITECT:
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 TEL: 208.726.5907

STRUCTURAL ENGINEER:
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 EL SEGUNDO, CA 90245
 TEL: 213.239.9700
 LFA Job #22791



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 NO DATE ISSUE

PROJECT:
BADGER RESIDENCE
 121 BADGER LANE
 KETCHUM, ID 83340

PROJECT NUMBER
#2201

DRAWING TITLE:
**FOUNDATION/LEVEL 01
 PLAN - MAIN HOUSE**

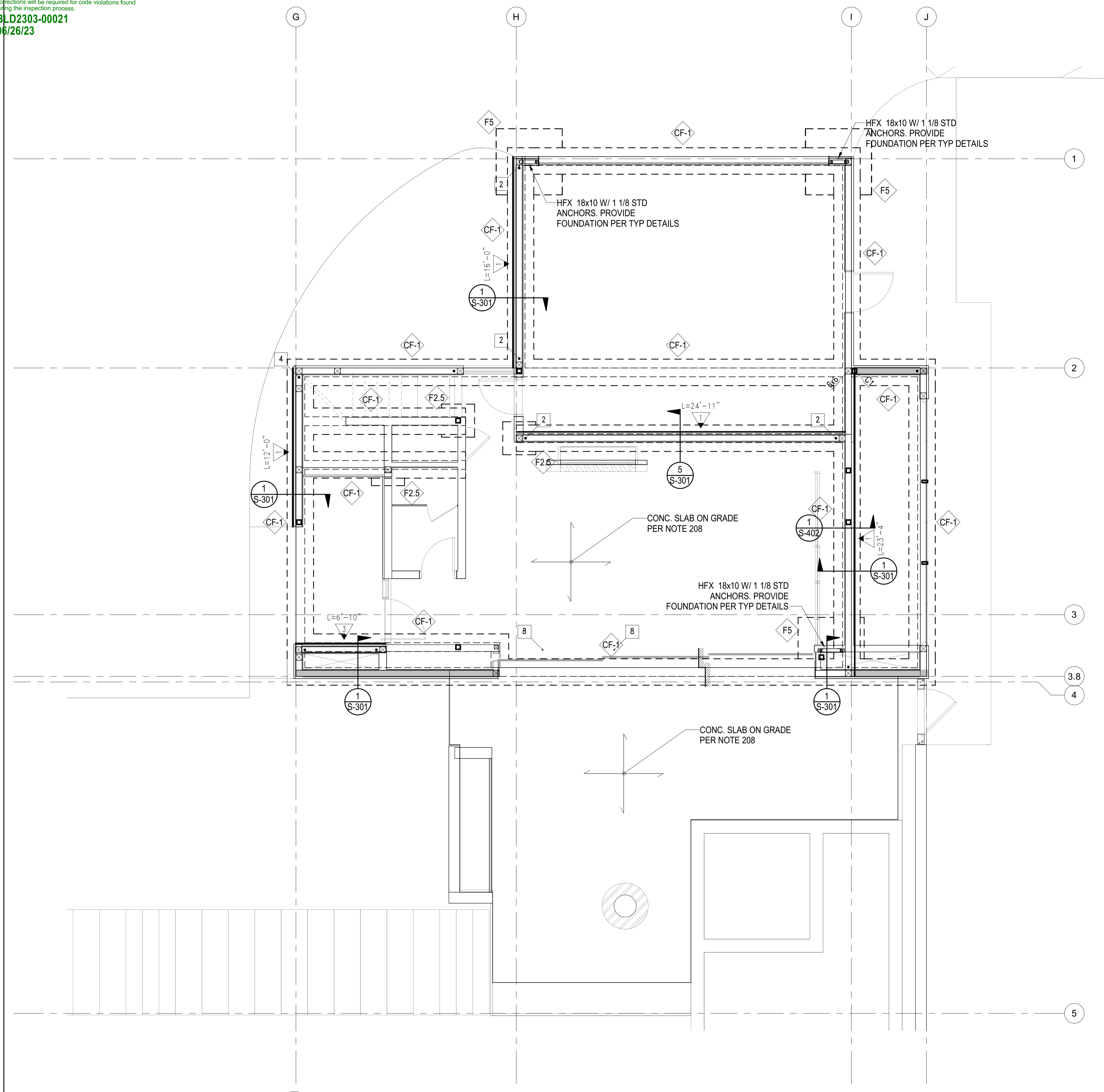
DRAWING NUMBER:
S-111B

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1 FOUNDATION/LEVEL 01 PLAN - MAIN HOUSE
 S-111B 1/4" = 1'-0"

Approved
 These plans have been found to be in substantial compliance with the adopted building codes. These comments are approved contingent on compliance with all mark-ups and notes applied. This is not approval of violation of any code, ordinance, statute or regulation. No action will be required for code violations found during the inspection process.
 P.D2303-00021
 6/26/23
 4/20/23



1 FOUNDATION/LEVEL 01 PLAN - ADU
 S-111C 1/4" = 1'-0"

PLAN NOTES - SHEETS AND GENERAL:

101. GENERAL NOTES AND TYPICAL DETAILS SHEETS: SEE S0.01 THRU S0.62 SHEETS. GENERAL NOTES & TYPICAL DETAILS APPLY TO ALL PARTS OF THE WORK EXCEPT WHERE SPECIFICALLY DETAILED OR U.N.O. ON THE FLOOR PLANS AND PLAN NOTES.
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PLAN NOTES - FOUNDATION:

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SYMBOLS - FOUNDATION

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- INDICATES CONCRETE GRADE BEAM PER SCHEDULE THIS SHEET
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FOOTING SCHEDULE	
MARK	SIZE AND REINFORCEMENT
CF1	2'-0" WIDE x 12" THICK W/ CONCRETE FOOTING W/ 2-#5 T&B
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F6	6'-0" SQUARE x 18" THICK W/ 6-#6 T&B EACH WAY

COLUMN SCHEDULE		
MARK	COLUMN TYPE AND SHAPE	NOTES
C1	HSS4x4x3/8	-
C2	HSS6x6x1/2	-

BADGER RESIDENCE

OWNER:
121 BADGER LANE LLC
 P.O. BOX 14001-174
 KETCHUM, ID 83340

PROJECT ARCHITECT:
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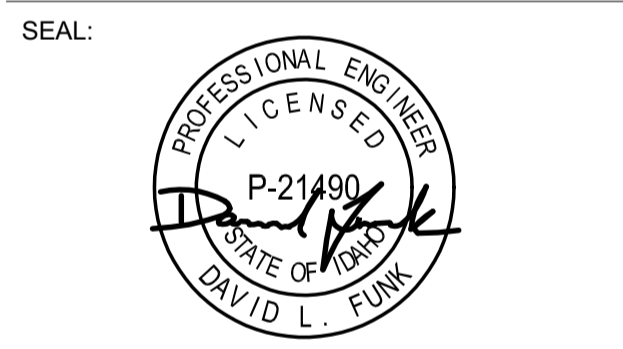
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02/24/23 PC SUBMITTAL
 NO DATE ISSUE

PROJECT:
BADGER RESIDENCE
 121 BADGER LANE
 KETCHUM, ID 83340

PROJECT NUMBER
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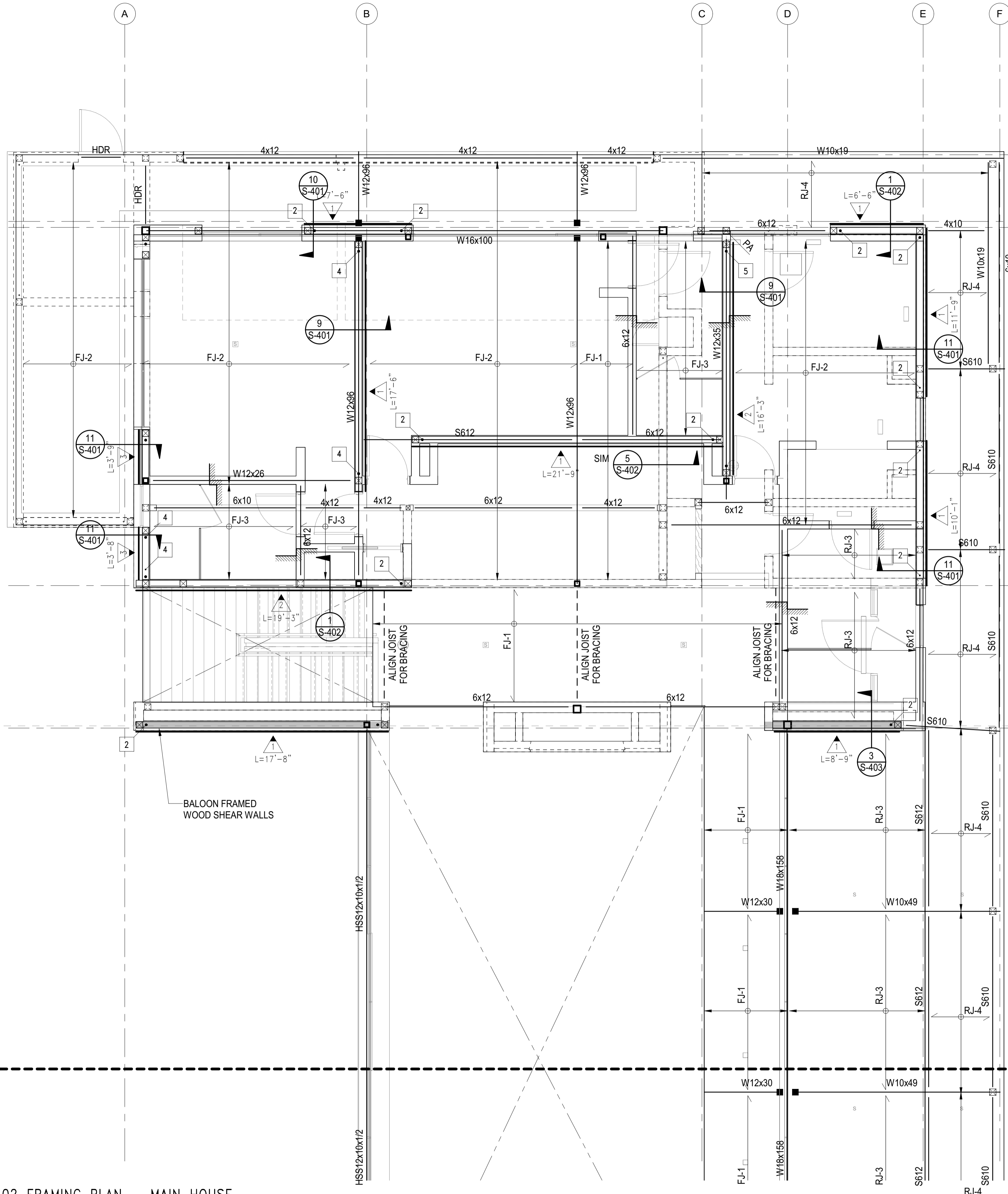
DRAWING TITLE:
**FOUNDATION/LEVEL 01
 PLAN - ADU**

DRAWING NUMBER:
S-111C

NOT FOR CONSTRUCTION

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Approved
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 PLD2303-00021
 6/26/23



- DRAG DRAG BEAM WITH BOUNDARY NAILING. FOR CONSTRUCTION OF DRAG BEAMS AND DRAG STRAP SEE "DRAGS & CONN. TO SHEAR WALLS" TYPICAL DETAIL
- DRAG STRAP & BLOCKING WITH BOUNDARY NAILING.
- INDICATES OPENING IN DIAPHRAGM/SLAB
- INDICATES EXTERIOR DECKS.
- INDICATES CHANGE IN FLOOR ELEVATION
- INDICATES WOOD POST ABOVE
- INDICATES WOOD POST ABOVE
- INDICATES STEEL COLUMN
- HDR INDICATES LOAD BEARING HEADER PER "TYP. STUD WALL FRAMING ELEVATION"
- INDICATES STEEL COLUMN PER SCHEDULE ON THIS SHEET C1 TYPICAL UNLESS NOTED OTHERWISE
- UPWARD CAMBER IN BEAM (INCHES)
- INDICATES WOOD WALLS W/ 6x6 STUDS @ 16" OC MIN

COLUMN SCHEDULE		
MARK	COLUMN TYPE AND SHAPE	NOTES
C1	HSS4x4x3/8	-
C2	HSS6x6x1/2	-

JOIST SCHEDULE		
MARK	JOIST TYPE AND SPACING	NOTES
RJ-1	4x12 @ 16" OC	-
RJ-2	4x12 @ 24" OC	-
RJ-3	2-2x12 @ 12" OC	-
RJ-4	2x10 @ 16" OC	-
RJ-5	2x12 @ 16" OC	-
FJ-1	2x12 @ 16" OC	-
FJ-2	2-2x12 @ 16" OC	-
FJ-3	2x10 @ 16" OC	-

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PLAN NOTES - WOOD FRAMING:

321. FLOOR AND DECK SHEATHING: WOOD STRUCTURAL PANEL, 1 1/8" CD APA RATED STRUCT I PLYWOOD SHEATHING SHEATHING, EXPOSURE 1, SPAN RATING 48 O.C. GLUE WOOD STRUCTURAL PANELS TO JOISTS AND BLKG 48 O.C. GLUE WOOD STRUCTURAL PANELS TO JOISTS AND BLKG NAILING SCHEDULE.
302. ROOF SHEATHING CONSTRUCTION AT SLOPED AND PITCHED ROOFS: WOOD STRUCTURAL PANEL, 3/4" CD APA RATED PLYWOOD SHEATHING, EXPOSURE 1, SPAN RATING 48/24. NAILING PER NAILING SCHEDULE.
303. FLOOR SHEATHING CONSTRUCTION: NON-STRUCTURAL LIGHT WEIGHT CONCRETE (115 PCF MAX), THICKNESS S.A.D., 1 1/2" MAX, OVER WOOD STRUCTURAL PANEL, 1 1/8" CD APA RATED STRUCT I PLYWOOD SHEATHING, EXPOSURE 1, SPAN RATING 48 O.C. GLUE WOOD STRUCTURAL PANELS TO JOISTS AND BLKG. NAILING PER NAILING SCHEDULE.

PLAN NOTES - FRAMING:

301. PROVIDE WALL SHEATHING AT ALL EXTERIOR WALLS OTHER THAN SHEAR WALLS AS FOLLOWS: WOOD STRUCTURAL PANEL, 15/32" CD APA RATED PLYWOOD OR OSB SHEATHING, EXPOSURE 1, SPAN RATING 32/16, NAILED WITH 8d COMMONS SPACED AT 6" O.C. ALONG ALL PANEL EDGES (E.N.) AND 12" O.C. ALONG INTERMEDIATE SUPPORTS (FIELD) (F.N.)
302. HOLD DOWNS/TIE-DOWNS SHALL BE RE-TIGHTENED JUST PRIOR TO COVERING THE WALL FRAMING.
303. PROVIDE DOUBLE JOISTS BENEATH ALL PARALLEL WALLS. PROVIDE SOLID BLOCK BENEATH ALL WALLS PERPENDICULAR TO JOISTS. SEE "FRAMING AT NON BEARING WALLS" PER TYPICAL DETAILS SHEETS.
- FLOOR AND DECK SHEATHING: WOOD STRUCTURAL PANEL, 1 1/8" CD APA RATED STRUCT I PLYWOOD SHEATHING, EXPOSURE 1, SPAN RATING 48 O.C. GLUE WOOD STRUCTURAL PANELS TO JOISTS AND BLKG. NAILING PER NAILING SCHEDULE.
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SYMBOLS - WOOD FRAMING

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 - MIN. SIZE PER POST SCHEDULE WHERE PRESENT
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 - SIZE INDICATED IN "HOLDOWN SCHEDULE" (FOR POSTS AT ENDS OF SHEAR WALLS ONLY)
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- INDICATES HOLDDOWN TYPE PER TYPICAL DETAILS SHEETS S1.37 & S1.38.
- INDICATES EXTENT OF WOOD JOIST
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 SIZE: #x## SAWN LUMBER - S### SCL (SEE SCHED.)
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 *11.25" & *9.25" WHEN USED WITH SAWN LUMBER
- FIRST DIGIT: NOMINAL MEMBER WIDTH
 2 = 1 1/2" 4 = 3 1/2" 6 = 5 1/4" 7 = 7"
- PREFIX "S" INDICATES SCL MEMBER

MATCHLINE

MATCHLINE

1 LEVEL 02 FRAMING PLAN - MAIN HOUSE
 S-112A 1/4" = 1'-0"

BADGER RESIDENCE

OWNER:
121 BADGER LANE LLC
 P.O. BOX 14001-174
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 LFA Job #22791



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 PROFESSIONAL ENGINEER
 LICENSED
 P-21480
 STATE OF IDAHO
 DAVID L. FUNK

02/24/23 PC SUBMITTAL
 NO DATE ISSUE

PROJECT:
BADGER RESIDENCE
 121 BADGER LANE
 KETCHUM, ID 83340

PROJECT NUMBER
#2201

DRAWING TITLE:
LEVEL 02 FRAMING PLAN - MAIN HOUSE

DRAWING NUMBER:
S-112A

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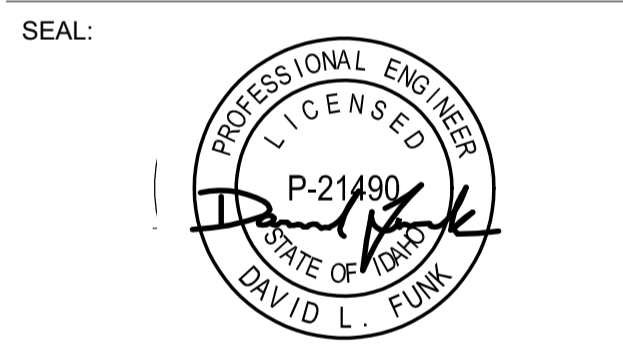
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DRAWING TITLE:
LEVEL 02 FRAMING PLAN - MAIN HOUSE

DRAWING NUMBER:
S-112B

PLAN NOTES - SHEETS AND GENERAL:

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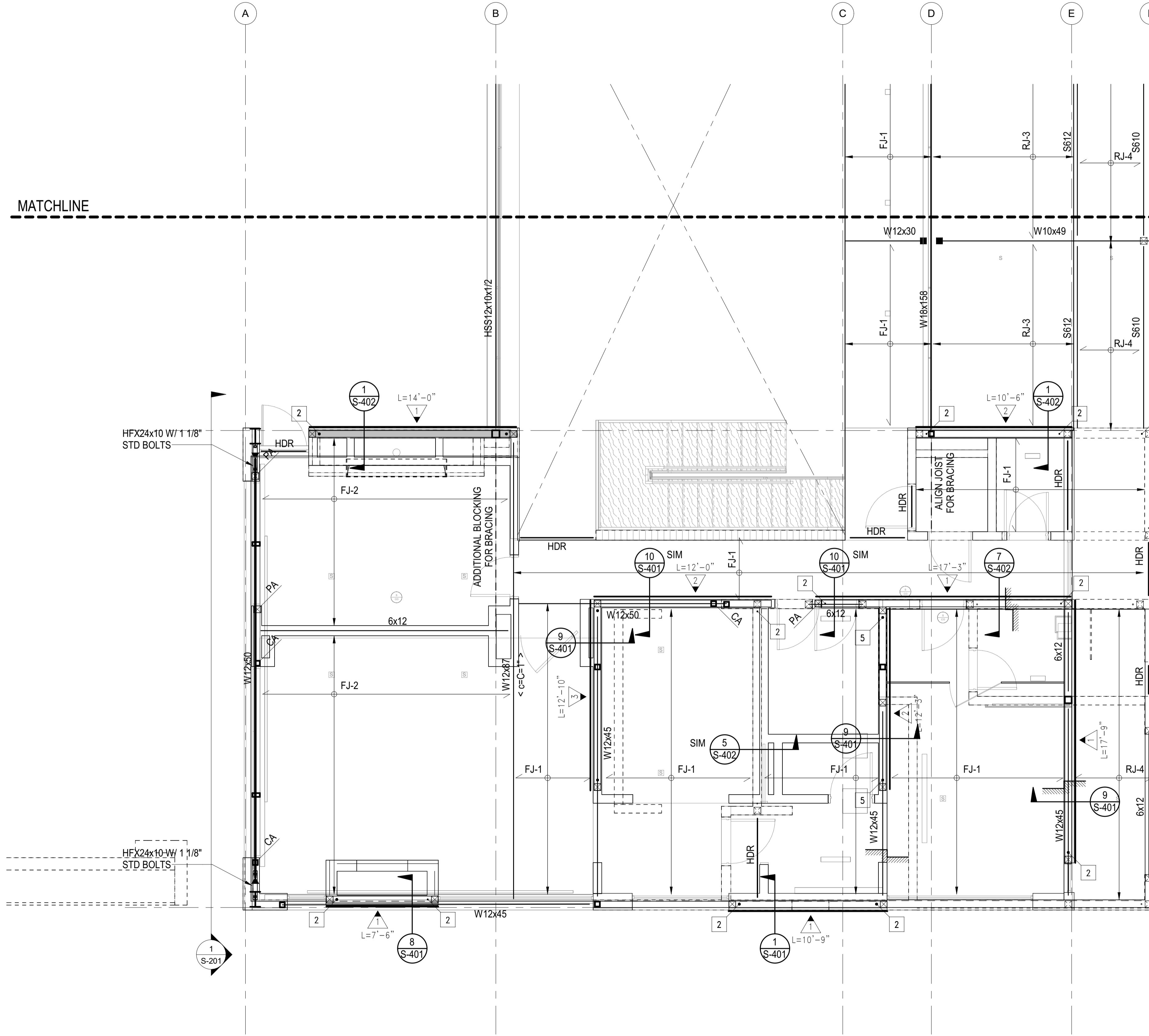
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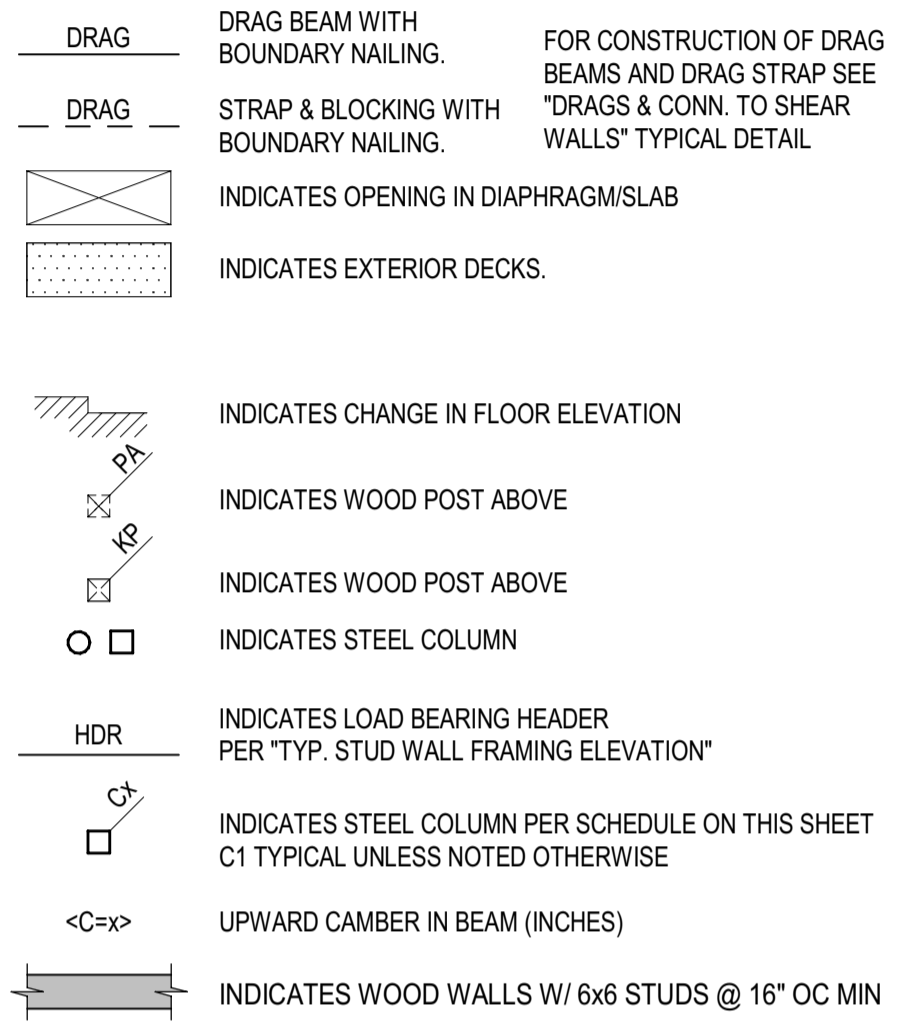
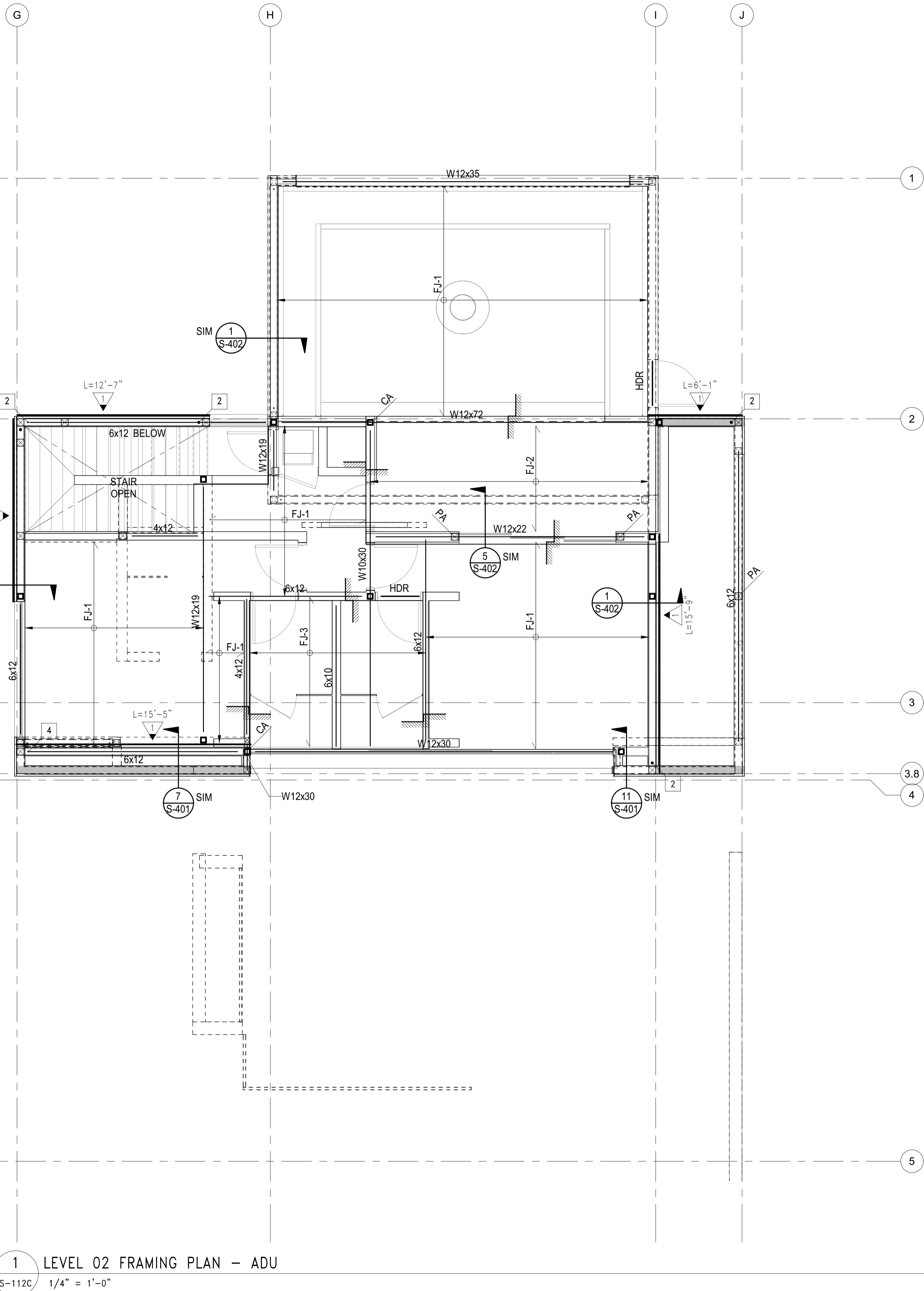
- DRAG DRAG BEAM WITH BOUNDARY NAILING. FOR CONSTRUCTION OF DRAG BEAMS AND DRAG STRAP SEE "DRAGS & CONN. TO SHEAR WALLS" TYPICAL DETAIL
- STRAP & BLOCKING WITH BOUNDARY NAILING.
- INDICATES OPENING IN DIAPHRAGM/SLAB
- INDICATES EXTERIOR DECKS.
- INDICATES CHANGE IN FLOOR ELEVATION
- INDICATES WOOD POST ABOVE
- INDICATES WOOD POST ABOVE
- INDICATES STEEL COLUMN
- INDICATES LOAD BEARING HEADER PER "TYP. STUD WALL FRAMING ELEVATION"
- INDICATES STEEL COLUMN PER SCHEDULE ON THIS SHEET C1 TYPICAL UNLESS NOTED OTHERWISE
- UPWARD CAMBER IN BEAM (INCHES)
- INDICATES WOOD WALLS W/ 6x6 STUDS @ 16" OC MIN

COLUMN SCHEDULE		
MARK	COLUMN TYPE AND SHAPE	NOTES
C1	HSS4x4x3/8	-
C2	HSS6x6x1/2	-

JOIST SCHEDULE		
MARK	JOIST TYPE AND SPACING	NOTES
RJ-1	4x12 @ 16" OC	-
RJ-2	4x12 @ 24" OC	-
RJ-3	2-2x12 @ 12" OC	-
RJ-4	2x10 @ 16" OC	-
RJ-5	2x12 @ 16" OC	-
FJ-1	2x12 @ 16" OC	-
FJ-2	2-2x12 @ 16" OC	-
FJ-3	2x10 @ 16" OC	-



1 LEVEL 02 FRAMING PLAN - MAIN HOUSE
 S-112B 1/4" = 1'-0"



MARK	COLUMN TYPE AND SHAPE	NOTES
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PREFIX "S" INDICATES SCL MEMBER

1 LEVEL 02 FRAMING PLAN - ADU
 S-112C 1/4" = 1'-0"

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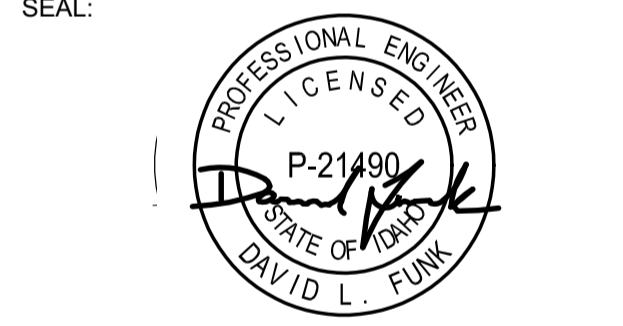
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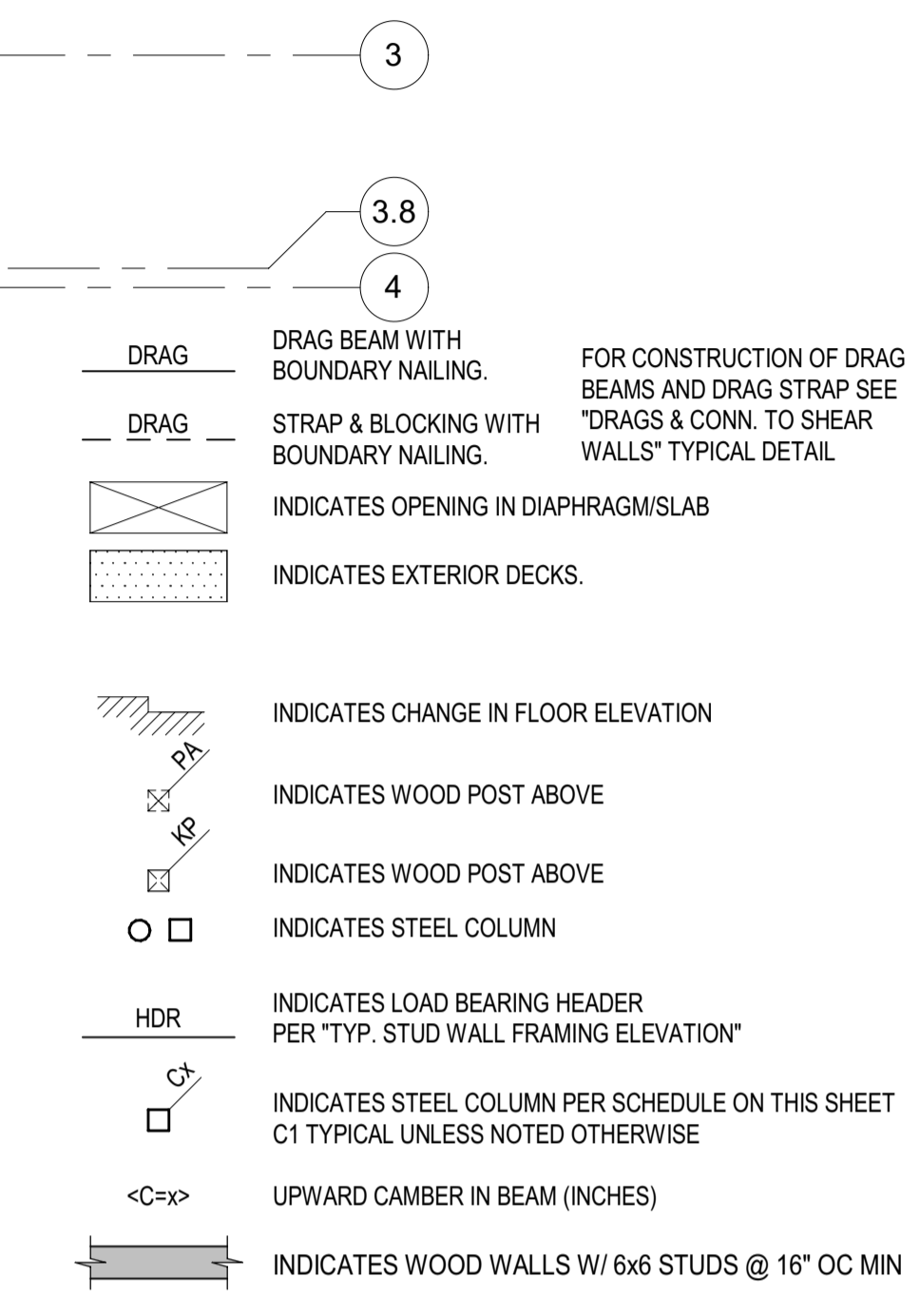
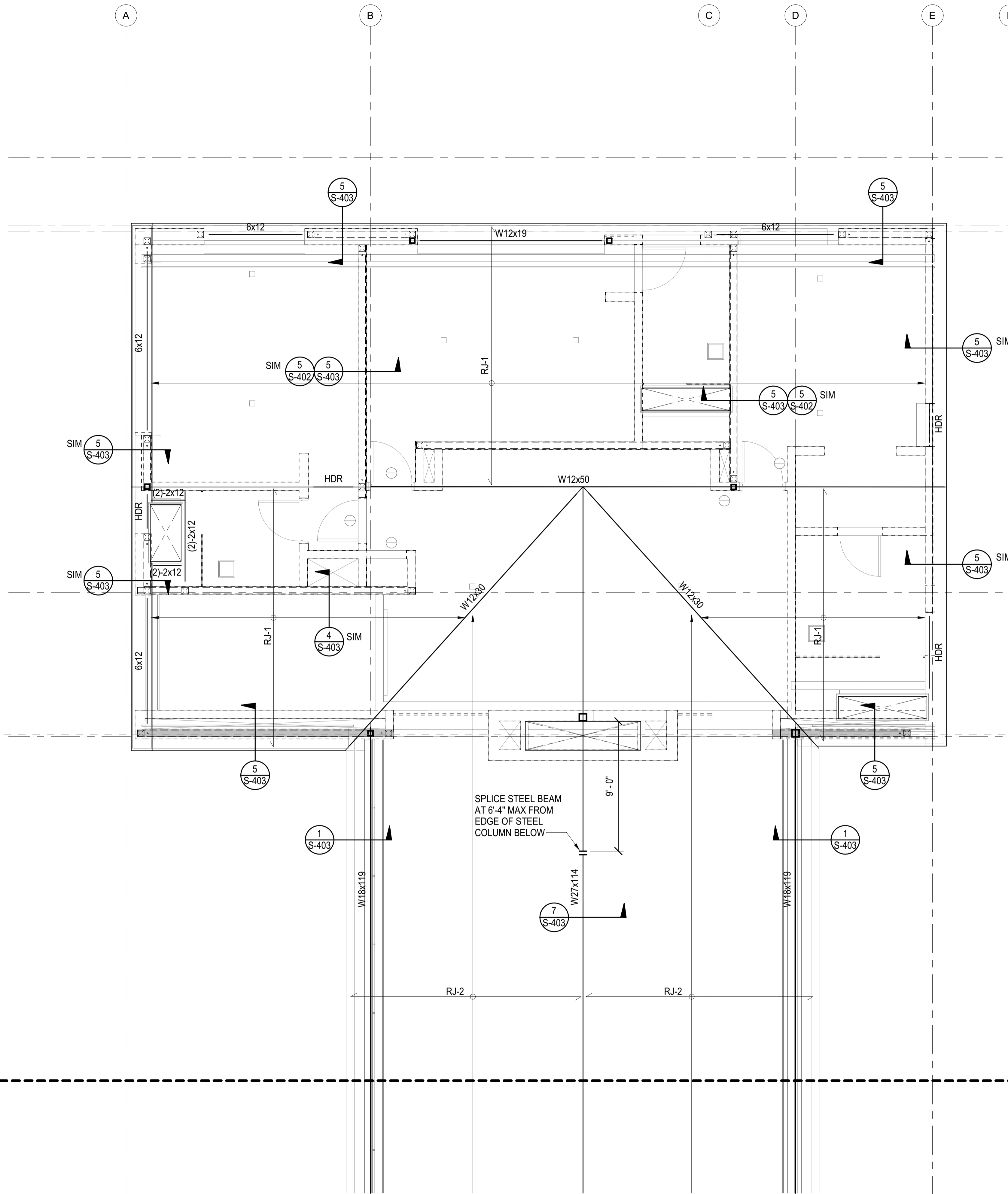
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FJ-3	2x10 @ 16" OC	-

PLAN NOTES - SHEETS AND GENERAL:

- GENERAL NOTES AND TYPICAL DETAILS SHEETS: SEE S0.01 THRU S0.62 SHEETS. GENERAL NOTES & TYPICAL DETAILS APPLY TO ALL PARTS OF THE WORK EXCEPT WHERE SPECIFICALLY DETAILED OR U.N.O. ON THE FLOOR PLANS AND PLAN NOTES.
- VERIFY ALL DIMENSIONS, ELEVATIONS, SLAB EDGES, SLAB DEPRESSIONS, SLAB OPENINGS, CURBS, FOOTING, PENETRATIONS, WALL OPENINGS WITH ARCHITECTURAL, MECHANICAL, PLUMBING, ELECTRICAL & CIVIL DRAWINGS.
- FOR ALL DIMENSIONS & ROOF SLOPES S.A.D.
- NON-BEARING WALLS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. FOR NON-BEARING WALL LOCATIONS S.A.D.

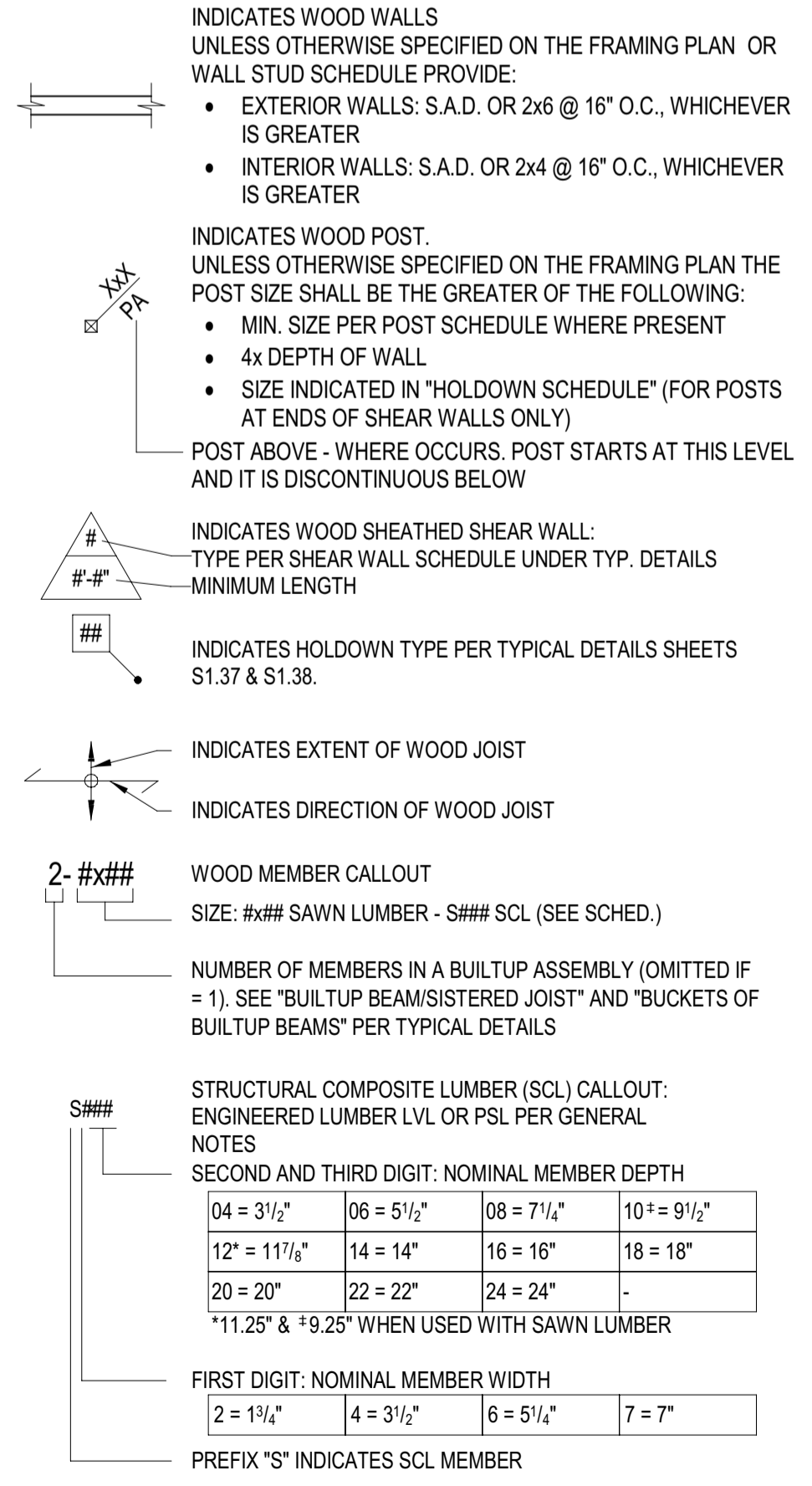
PLAN NOTES - WOOD FRAMING:

- FLOOR AND DECK SHEATHING: WOOD STRUCTURAL PANEL, 1 1/8" CD APA RATED STRUCT I PLYWOOD SHEATHING SHEATHING, EXPOSURE 1, SPAN RATING 48 O.C. GLUE WOOD STRUCTURAL PANELS TO JOISTS AND BLKG NAILING SCHEDULE.
- ROOF SHEATHING CONSTRUCTION AT SLOPED AND PITCHED ROOFS: WOOD STRUCTURAL PANEL, 3/4" CD APA RATED PLYWOOD SHEATHING, EXPOSURE 1, SPAN RATING 48/24. NAILING PER NAILING SCHEDULE.
- FLOOR SHEATHING CONSTRUCTION: NON-STRUCTURAL LIGHT WEIGHT CONCRETE (115 PCF MAX), THICKNESS S.A.D., 1 1/2" MAX, OVER WOOD STRUCTURAL PANEL, 1 1/8" CD APA RATED STRUCT I PLYWOOD SHEATHING, EXPOSURE 1, SPAN RATING 48 O.C. GLUE WOOD STRUCTURAL PANELS TO JOISTS AND BLKG. NAILING PER NAILING SCHEDULE.

PLAN NOTES - FRAMING:

- PROVIDE WALL SHEATHING AT ALL EXTERIOR WALLS OTHER THAN SHEAR WALLS AS FOLLOWS: WOOD STRUCTURAL PANEL, 15/32" CD APA RATED PLYWOOD OR OSB SHEATHING, EXPOSURE 1, SPAN RATING 32/16, NAILED WITH 8d COMMONS SPACED AT 6" O.C. ALONG ALL PANEL EDGES (E.N.) AND 12" O.C. ALONG INTERMEDIATE SUPPORTS (FIELD) (F.N.)
- HOLD DOWNS/TIE-DOWNS SHALL BE RE-TIGHTENED JUST PRIOR TO COVERING THE WALL FRAMING.
- PROVIDE DOUBLE JOISTS BENEATH ALL PARALLEL WALLS. PROVIDE SOLID BLOCK BENEATH ALL WALLS PERPENDICULAR TO JOISTS. SEE "FRAMING AT NON BEARING WALLS" PER TYPICAL DETAILS SHEETS.
- FLOOR AND DECK SHEATHING: WOOD STRUCTURAL PANEL, 1 1/8" CD APA RATED STRUCT I PLYWOOD SHEATHING, EXPOSURE 1, SPAN RATING 48 O.C. GLUE WOOD STRUCTURAL PANELS TO JOISTS AND BLKG. NAILING PER NAILING SCHEDULE.
- ROOF SHEATHING CONSTRUCTION AT SLOPED AND PITCHED ROOFS: WOOD STRUCTURAL PANEL, 3/4" CD APA RATED PLYWOOD SHEATHING, EXPOSURE 1, SPAN RATING 48/24. NAILING PER NAILING SCHEDULE.
- FLOOR SHEATHING CONSTRUCTION: NON-STRUCTURAL LIGHT WEIGHT CONCRETE (110 PCF MAX), THICKNESS S.A.D., 1 1/2" MAX, OVER WOOD STRUCTURAL PANEL, 1 1/8" CD APA RATED STRUCT I PLYWOOD SHEATHING, EXPOSURE 1, SPAN RATING 48 O.C. GLUE WOOD STRUCTURAL PANELS TO JOISTS AND BLKG. NAILING PER NAILING SCHEDULE.

SYMBOLS - WOOD FRAMING



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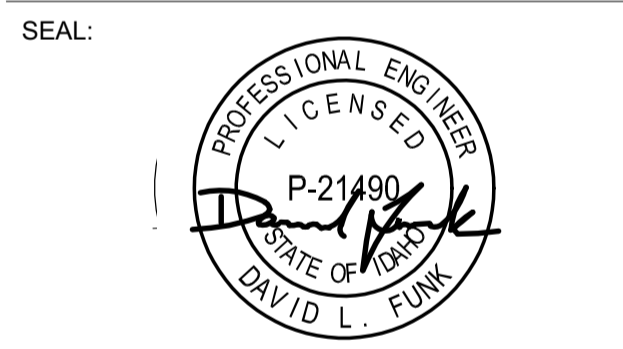
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STRUCTURAL ENGINEER:
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 LFA Job #22791



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NO	DATE	PC SUBMITTAL	ISSUE
	02/24/23		

PROJECT:
BADGER RESIDENCE
 121 BADGER LANE
 KETCHUM, ID 83340

PROJECT NUMBER
#2201

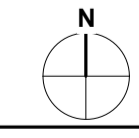
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ROOF FRAMING PLAN - MAIN HOUSE

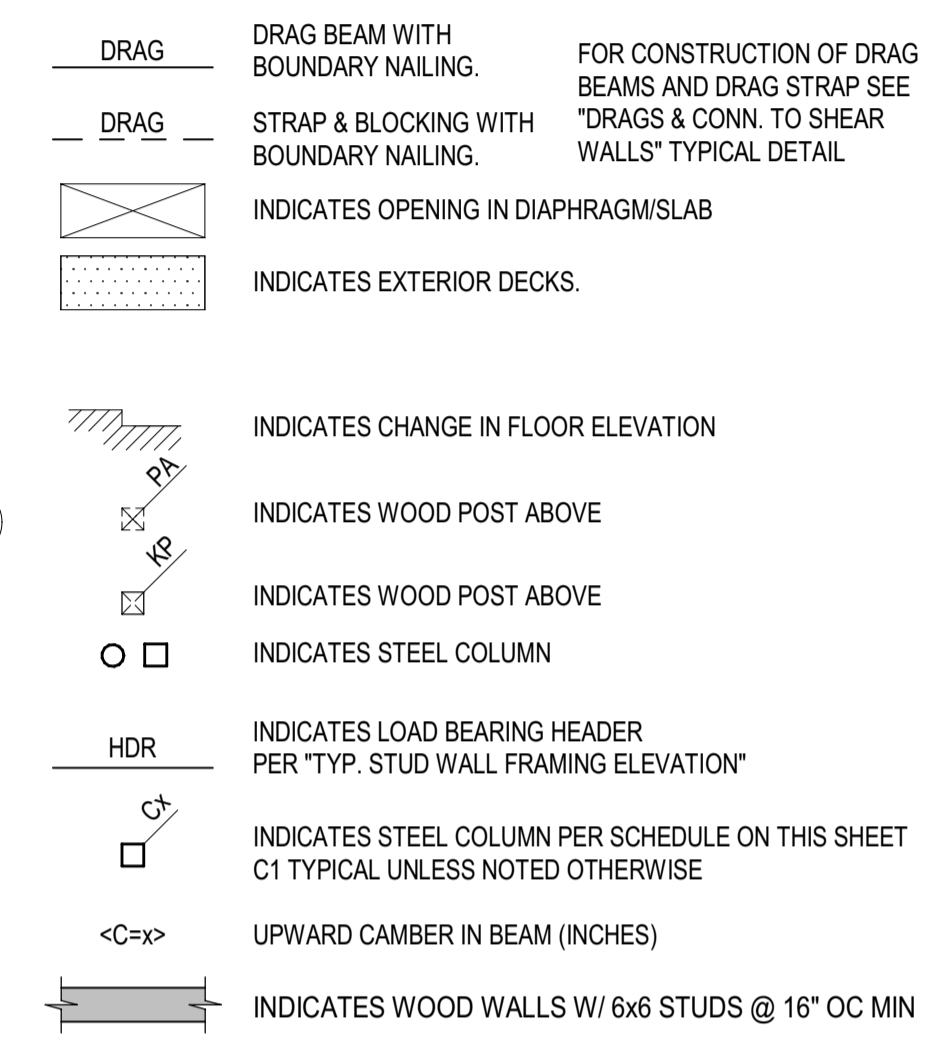
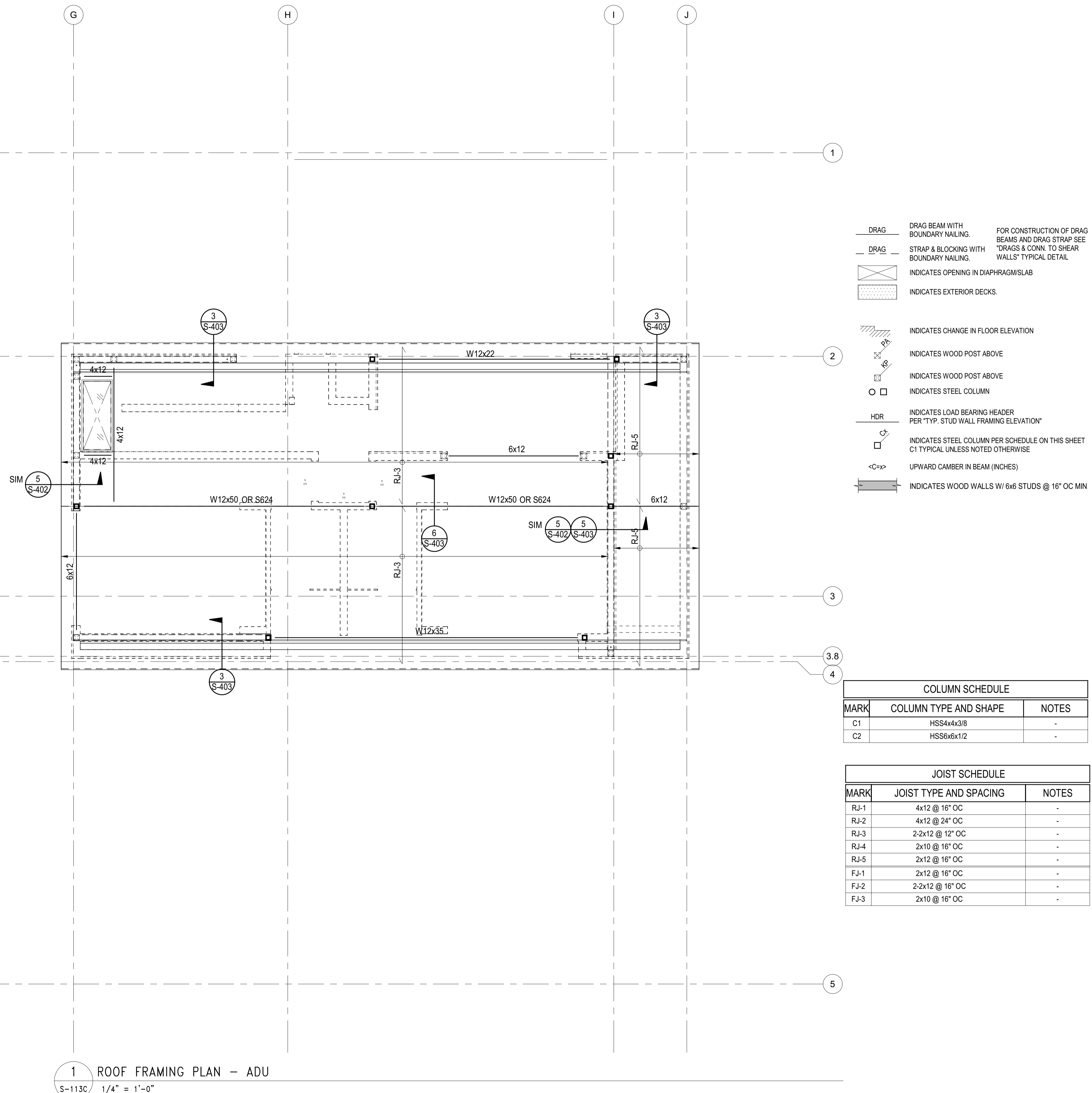
DRAWING NUMBER:
S-113A

MATCHLINE

MATCHLINE

1 ROOF FRAMING PLAN - MAIN HOUSE
 S-113A 1/4" = 1'-0"





COLUMN SCHEDULE		
MARK	COLUMN TYPE AND SHAPE	NOTES
C1	HSS4x4x3/8	-
C2	HSS6x6x1/2	-

JOIST SCHEDULE		
MARK	JOIST TYPE AND SPACING	NOTES
RJ-1	4x12 @ 16" OC	-
RJ-2	4x12 @ 24" OC	-
RJ-3	2-2x12 @ 12" OC	-
RJ-4	2x10 @ 16" OC	-
RJ-5	2x12 @ 16" OC	-
FJ-1	2x12 @ 16" OC	-
FJ-2	2-2x12 @ 16" OC	-
FJ-3	2x10 @ 16" OC	-

PLAN NOTES - SHEETS AND GENERAL:

101. GENERAL NOTES AND TYPICAL DETAILS SHEETS: SEE S0.01 THRU S0.62 SHEETS. GENERAL NOTES & TYPICAL DETAILS APPLY TO ALL PARTS OF THE WORK EXCEPT WHERE SPECIFICALLY DETAILED OR U.N.O. ON THE FLOOR PLANS AND PLAN NOTES.
102. VERIFY ALL DIMENSIONS, ELEVATIONS, SLAB EDGES, SLAB DEPRESSIONS, SLAB OPENINGS, CURBS, FOOTING, PENETRATIONS, WALL OPENINGS WITH ARCHITECTURAL, MECHANICAL, PLUMBING, ELECTRICAL & CIVIL DRAWINGS.
103. FOR ALL DIMENSIONS & ROOF SLOPES S.A.D.
104. NON-BEARING WALLS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. FOR NON-BEARING WALL LOCATIONS S.A.D.

PLAN NOTES - WOOD FRAMING:

321. FLOOR AND DECK SHEATHING: WOOD STRUCTURAL PANEL, 1 1/8" CD APA RATED STRUCT I PLYWOOD SHEATHING SHEATHING, EXPOSURE 1, SPAN RATING 48 O.C. GLUE WOOD STRUCTURAL PANELS TO JOISTS AND BLKG 48 O.C. GLUE WOODS STRUCTURAL PANELS TO JOISTS AND BLKG NAILING SCHEDULE.
302. ROOF SHEATHING CONSTRUCTION AT SLOPED AND PITCHED ROOFS: WOOD STRUCTURAL PANEL, 3/4" CD APA RATED PLYWOOD SHEATHING, EXPOSURE 1, SPAN RATING 48/24. NAILING PER NAILING SCHEDULE.
303. FLOOR SHEATHING CONSTRUCTION: NON-STRUCTURAL LIGHT WEIGHT CONCRETE (115 PCF MAX), THICKNESS S.A.D., 1 1/2" MAX, OVER WOOD STRUCTURAL PANEL, 1 1/8" CD APA RATED STRUCT I PLYWOOD SHEATHING, EXPOSURE 1, SPAN RATING 48 O.C. GLUE WOOD STRUCTURAL PANELS TO JOISTS AND BLKG. NAILING PER NAILING SCHEDULE.

PLAN NOTES - FRAMING:

301. PROVIDE WALL SHEATHING AT ALL EXTERIOR WALLS OTHER THAN SHEAR WALLS AS FOLLOWS: WOOD STRUCTURAL PANEL, 15/32" CD APA RATED PLYWOOD OR OSB SHEATHING, EXPOSURE 1, SPAN RATING 32/16, NAILED WITH 8d COMMONS SPACED AT 6" O.C. ALONG ALL PANEL EDGES (E.N.) AND 12" O.C. ALONG INTERMEDIATE SUPPORTS (FIELD) (F.N.)
 302. HOLD DOWNS/TIE-DOWNS SHALL BE RE-TIGHTENED JUST PRIOR TO COVERING THE WALL FRAMING.
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- FLOOR AND DECK SHEATHING: WOOD STRUCTURAL PANEL, 1 1/8" CD APA RATED STRUCT I PLYWOOD SHEATHING, EXPOSURE 1, SPAN RATING 48 O.C. GLUE WOOD STRUCTURAL PANELS TO JOISTS AND BLKG. NAILING PER NAILING SCHEDULE.
323. ROOF SHEATHING CONSTRUCTION AT SLOPED AND PITCHED ROOFS: WOOD STRUCTURAL PANEL, 3/4" CD APA RATED PLYWOOD SHEATHING, EXPOSURE 1, SPAN RATING 48/24. NAILING PER NAILING SCHEDULE.
 325. FLOOR SHEATHING CONSTRUCTION: NON-STRUCTURAL LIGHT WEIGHT CONCRETE (110 PCF MAX), THICKNESS S.A.D., 1 1/2" MAX, OVER WOOD STRUCTURAL PANEL, 1 1/8" CD APA RATED STRUCT I PLYWOOD SHEATHING, EXPOSURE 1, SPAN RATING 48 O.C. GLUE WOOD STRUCTURAL PANELS TO JOISTS AND BLKG. NAILING PER NAILING SCHEDULE.

SYMBOLS - WOOD FRAMING

- INDICATES WOOD WALLS UNLESS OTHERWISE SPECIFIED ON THE FRAMING PLAN OR WALL STUD SCHEDULE PROVIDE:
- EXTERIOR WALLS: S.A.D. OR 2x6 @ 16" O.C., WHICHEVER IS GREATER
 - INTERIOR WALLS: S.A.D. OR 2x4 @ 16" O.C., WHICHEVER IS GREATER
- INDICATES WOOD POST. UNLESS OTHERWISE SPECIFIED ON THE FRAMING PLAN THE POST SIZE SHALL BE THE GREATER OF THE FOLLOWING:
- MIN. SIZE PER POST SCHEDULE WHERE PRESENT
 - 4x DEPTH OF WALL
 - SIZE INDICATED IN "HOLDOWN SCHEDULE" (FOR POSTS AT ENDS OF SHEAR WALLS ONLY)
- POST ABOVE - WHERE OCCURS. POST STARTS AT THIS LEVEL AND IT IS DISCONTINUOUS BELOW
- INDICATES WOOD SHEATHED SHEAR WALL: TYPE PER SHEAR WALL SCHEDULE UNDER TYP. DETAILS MINIMUM LENGTH
- INDICATES HOLDDOWN TYPE PER TYPICAL DETAILS SHEETS S1.37 & S1.38.
- INDICATES EXTENT OF WOOD JOIST
- INDICATES DIRECTION OF WOOD JOIST
- WOOD MEMBER CALLOUT SIZE: #x#x SAWN LUMBER - S### SCL (SEE SCHED.)
- NUMBER OF MEMBERS IN A BUILTUP ASSEMBLY (OMITTED IF = 1). SEE "BUILTUP BEAM/SISTERED JOIST" AND "BUCKETS OF BUILTUP BEAMS" PER TYPICAL DETAILS
- STRUCTURAL COMPOSITE LUMBER (SCL) CALLOUT: ENGINEERED LUMBER LVL OR PSL PER GENERAL NOTES SECOND AND THIRD DIGIT: NOMINAL MEMBER DEPTH
- | | | | |
|---------------|-------------|-------------|-------------|
| 04 = 3 1/2" | 06 = 5 1/2" | 08 = 7 1/4" | 10 = 9 1/2" |
| 12" = 11 1/8" | 14 = 14" | 16 = 16" | 18 = 18" |
| 20 = 20" | 22 = 22" | 24 = 24" | - |
- *11.25" & *9.25" WHEN USED WITH SAWN LUMBER
- FIRST DIGIT: NOMINAL MEMBER WIDTH
- | | | | |
|------------|------------|------------|--------|
| 2 = 1 1/4" | 4 = 3 1/2" | 6 = 5 1/4" | 7 = 7" |
|------------|------------|------------|--------|
- PREFIX "S" INDICATES SCL MEMBER

1 ROOF FRAMING PLAN - ADU
 1/4" = 1'-0"
 S-113C

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GEOTECHNICAL ENGINEER:
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 TEL: 208.720.6432

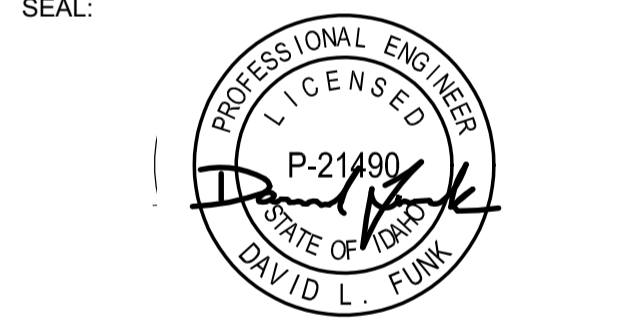
LANDSCAPE ARCHITECT:
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 LFA Job #22791



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NO	DATE
	ISSUE

PROJECT:
BADGER RESIDENCE
 121 BADGER LANE
 KETCHUM, ID 83340

PROJECT NUMBER
#2201

DRAWING TITLE:
ROOF FRAMING PLAN - ADU

DRAWING NUMBER:
S-113C

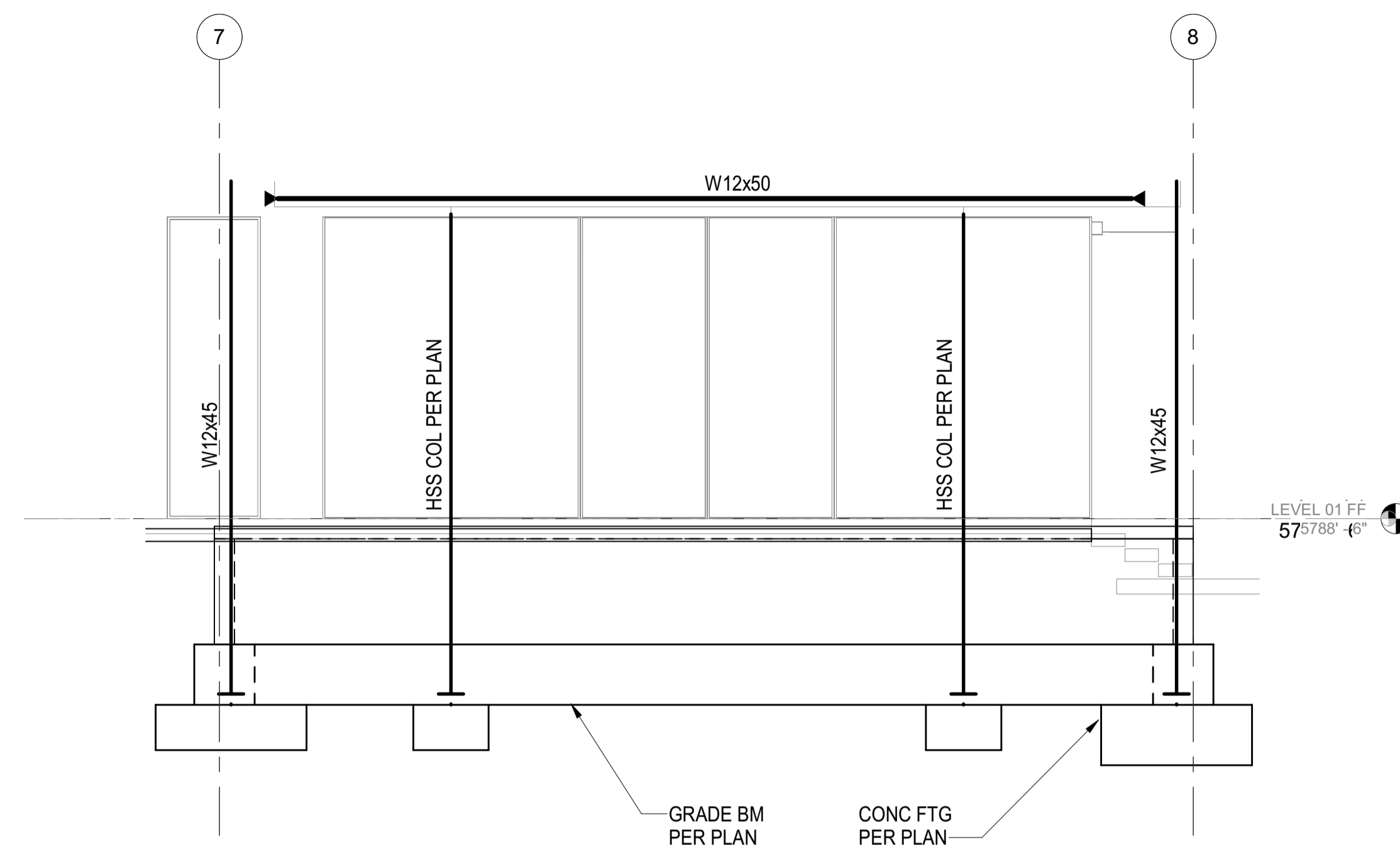
Approved

These plans have been found to be in substantial compliance with the adopted building codes. These documents are approved contingent on compliance with all mark-ups and notes applied. This is not approval of violation of any code, ordinance, statute or regulation. No actions will be required for code violations found during the inspection process.

PLD2303-00021

6/26/23

2/24



1 ELEVATION @ GRIDLINE A
S-201 1/4" = 1'-0"

BADGER RESIDENCE

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LANDSCAPE ARCHITECT:

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STRUCTURAL ENGINEER:

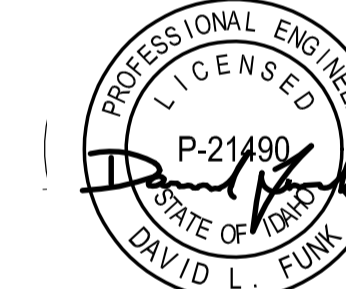
LFA
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SEAL:



NO	DATE	PC SUBMITTAL ISSUE
	02/24/23	

PROJECT:

BADGER RESIDENCE
121 BADGER LANE
KETCHUM, ID 83340

PROJECT NUMBER

#2201

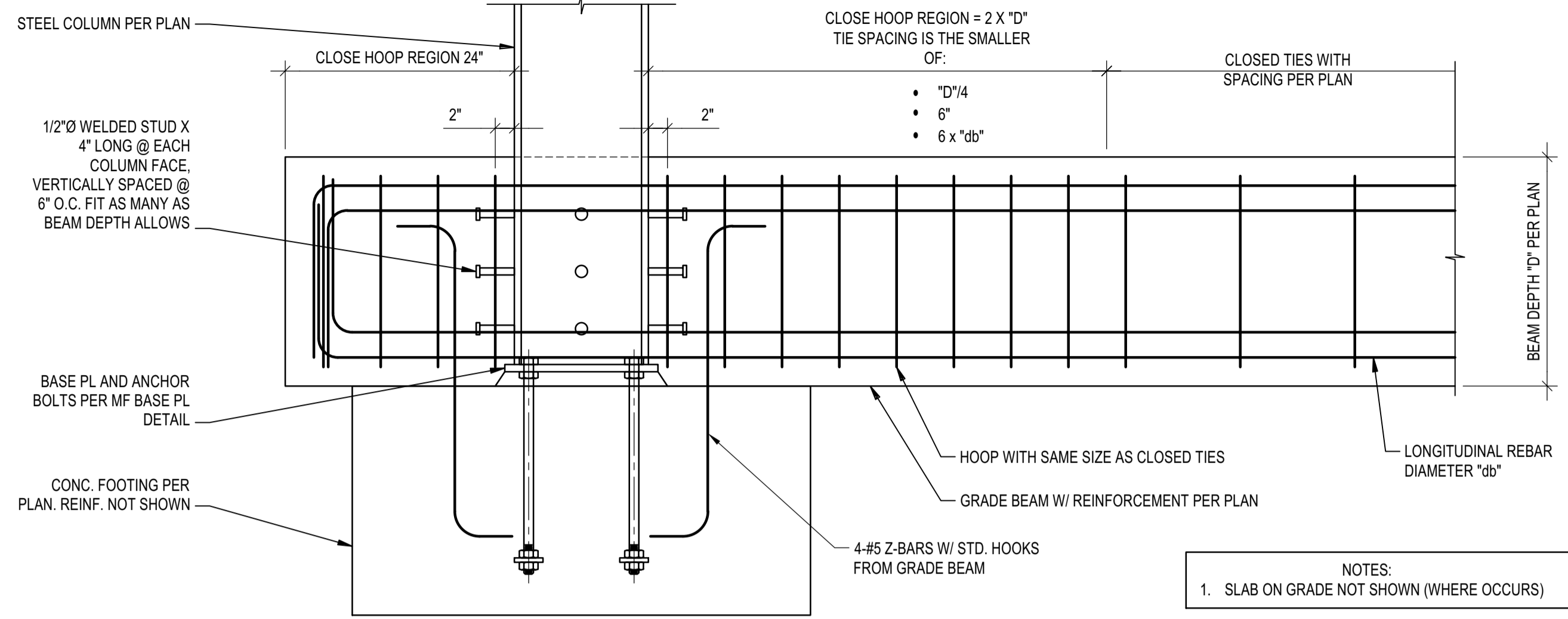


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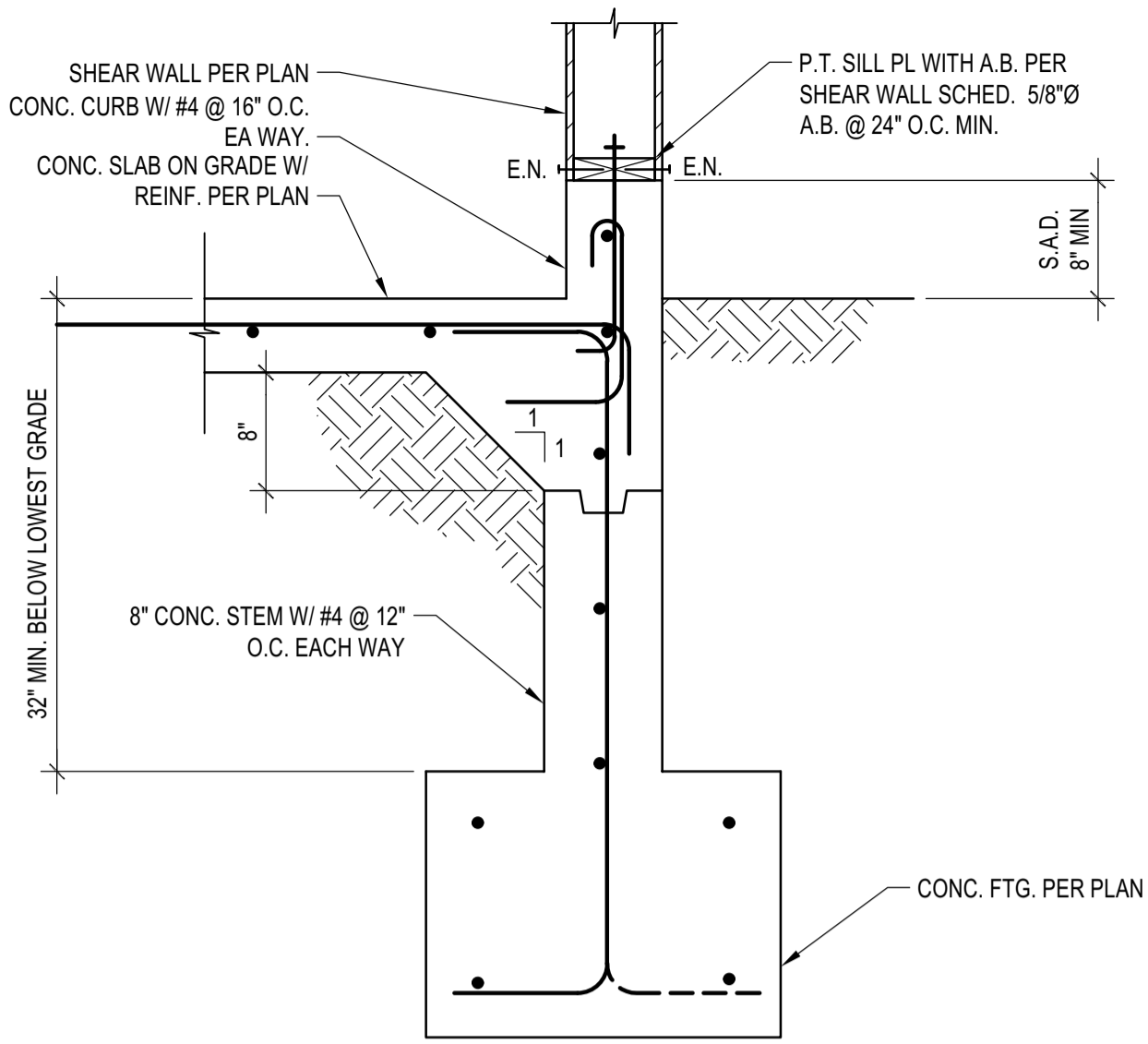
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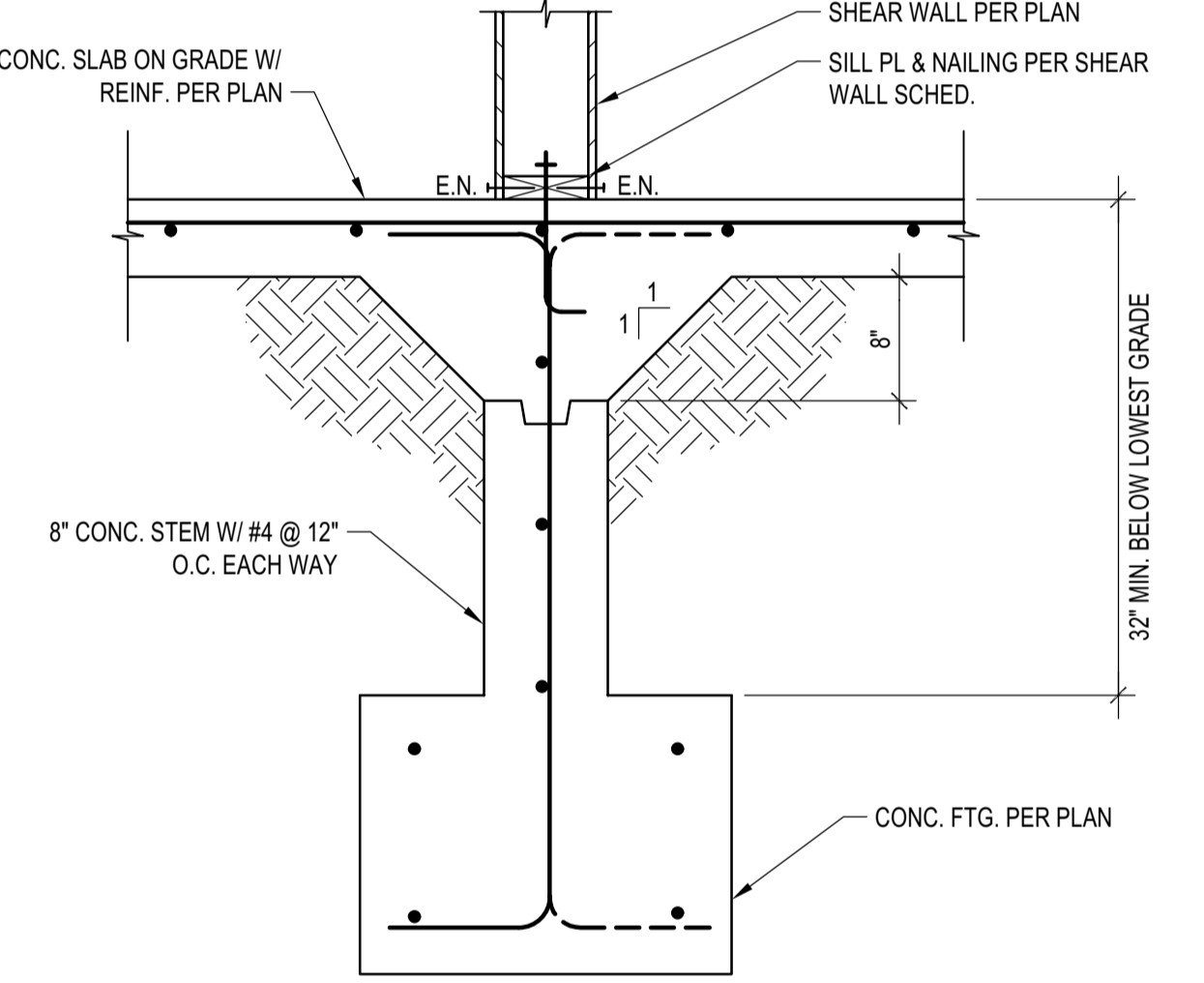
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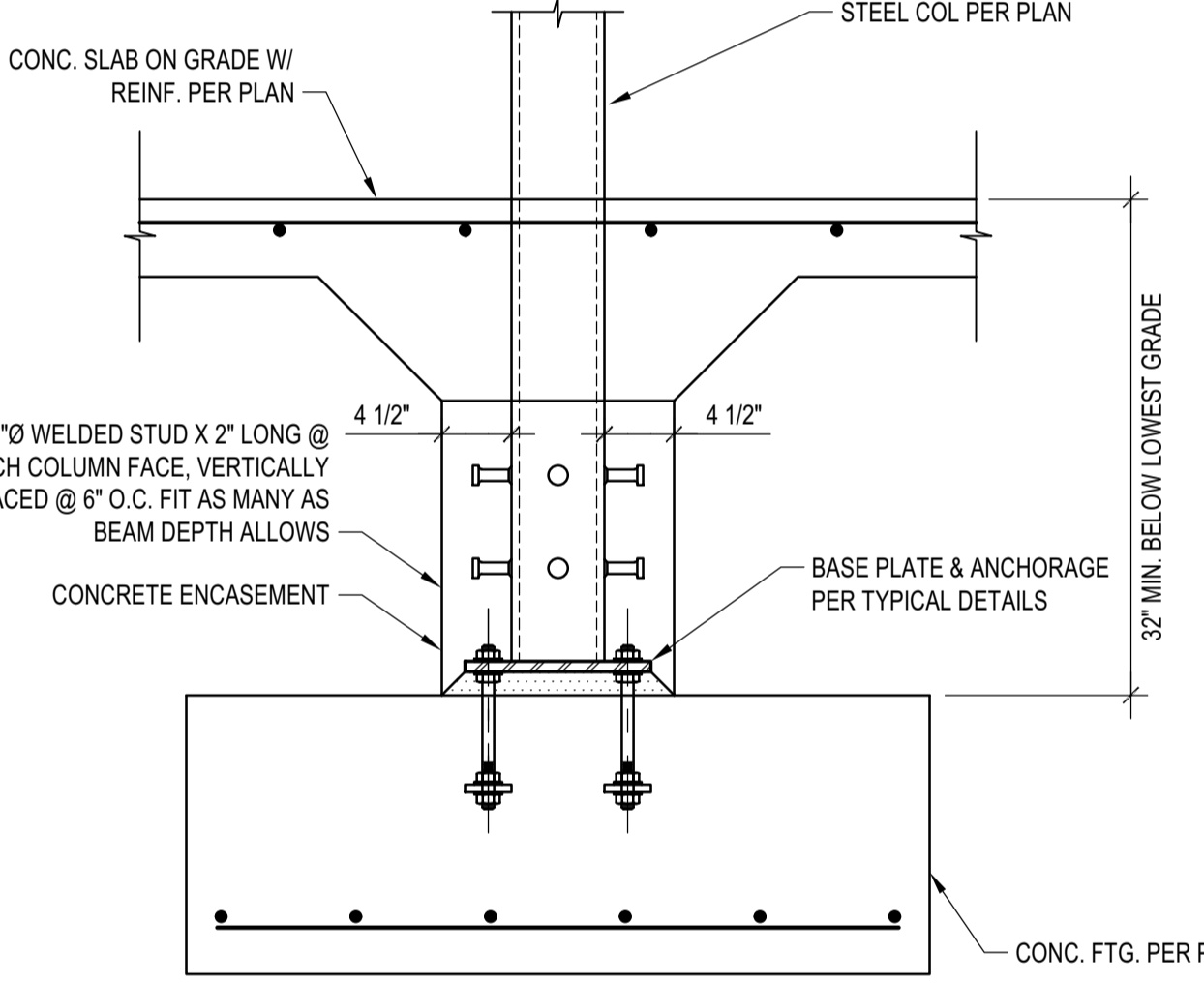
MOMENT FRAME COLUMN TO GRADE BEAM CONNECTION
 SCALE: N.T.S. 4



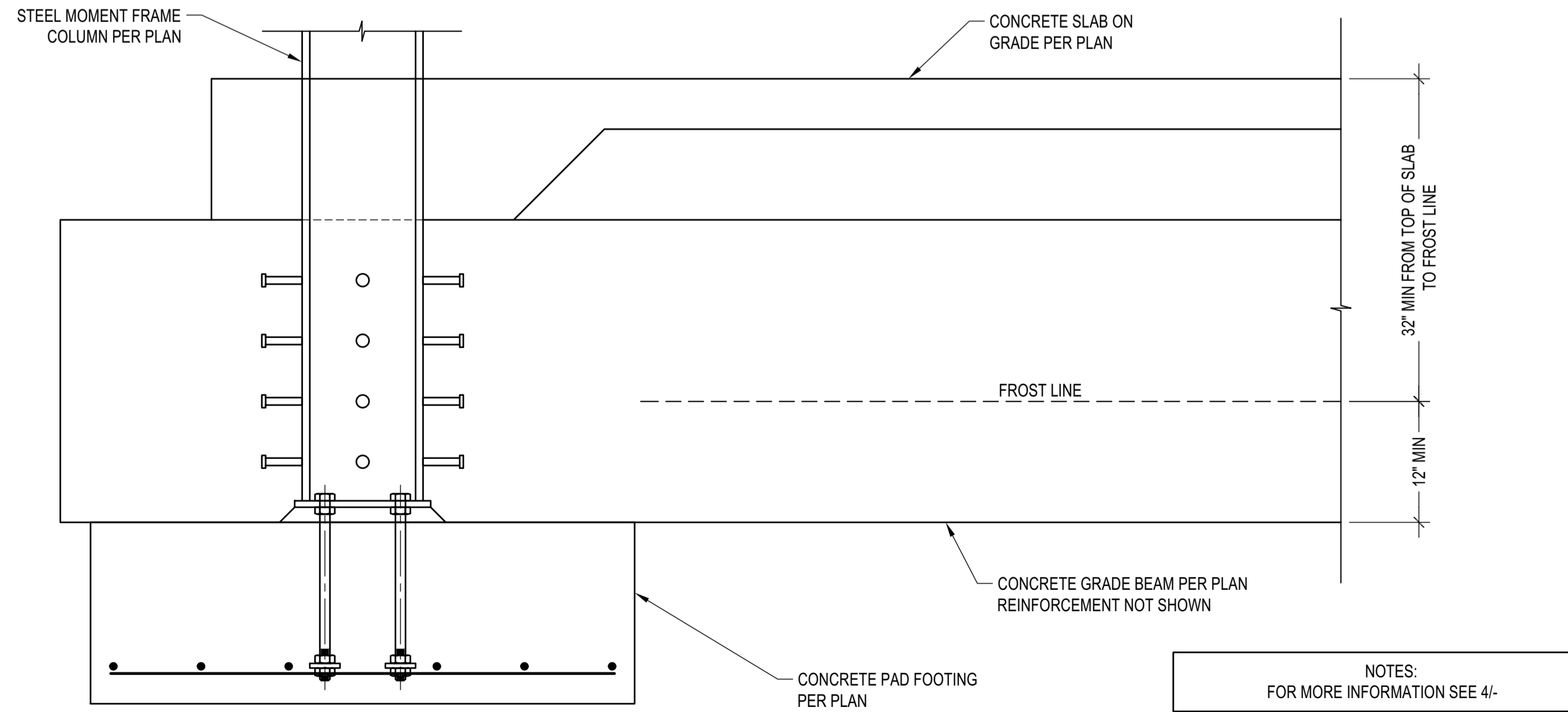
EXT. FTG. FOUNDED IN COMP. FILL
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INT. FTG. FOUNDED IN COMP. FILL
 SCALE: N.T.S. 5



ISOLATED STL COLUMN FTG
 SCALE: N.T.S. 2



MOMENT FRAME COLUMN TO GRADE BEAM CONNECTION
 SCALE: N.T.S. 3

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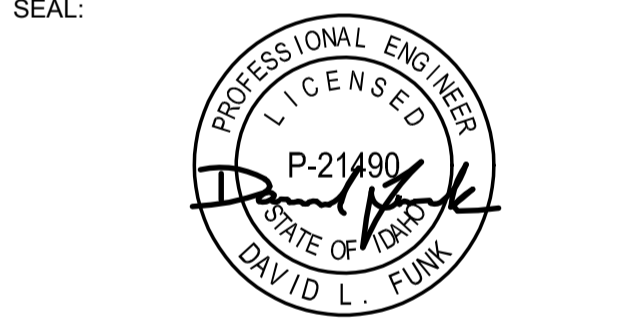
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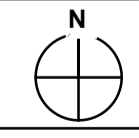
NO	DATE	PC SUBMITTAL	ISSUE
	02/24/23		

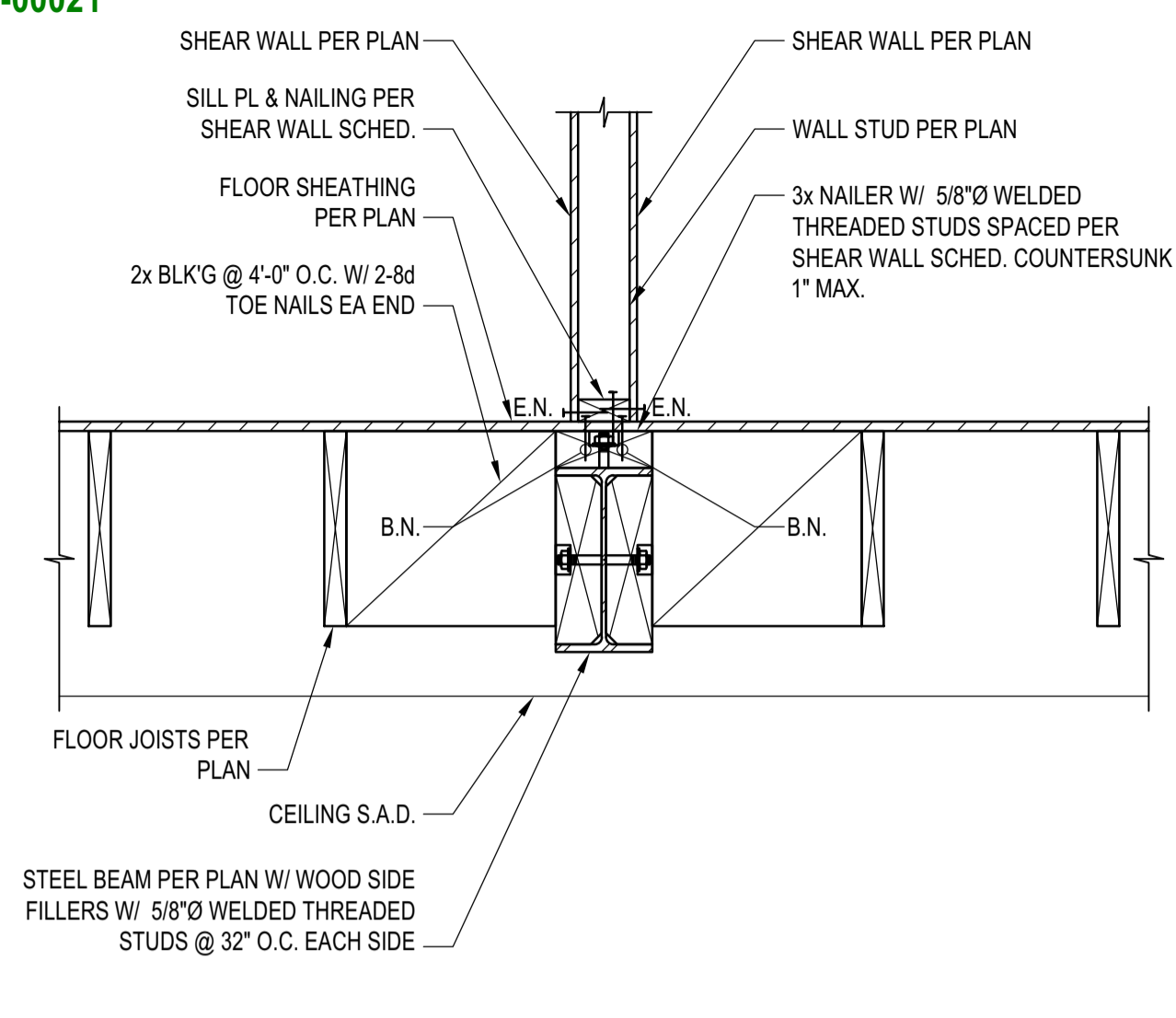
PROJECT:
BADGER RESIDENCE
 121 BADGER LANE
 KETCHUM, ID 83340

PROJECT NUMBER
#2201

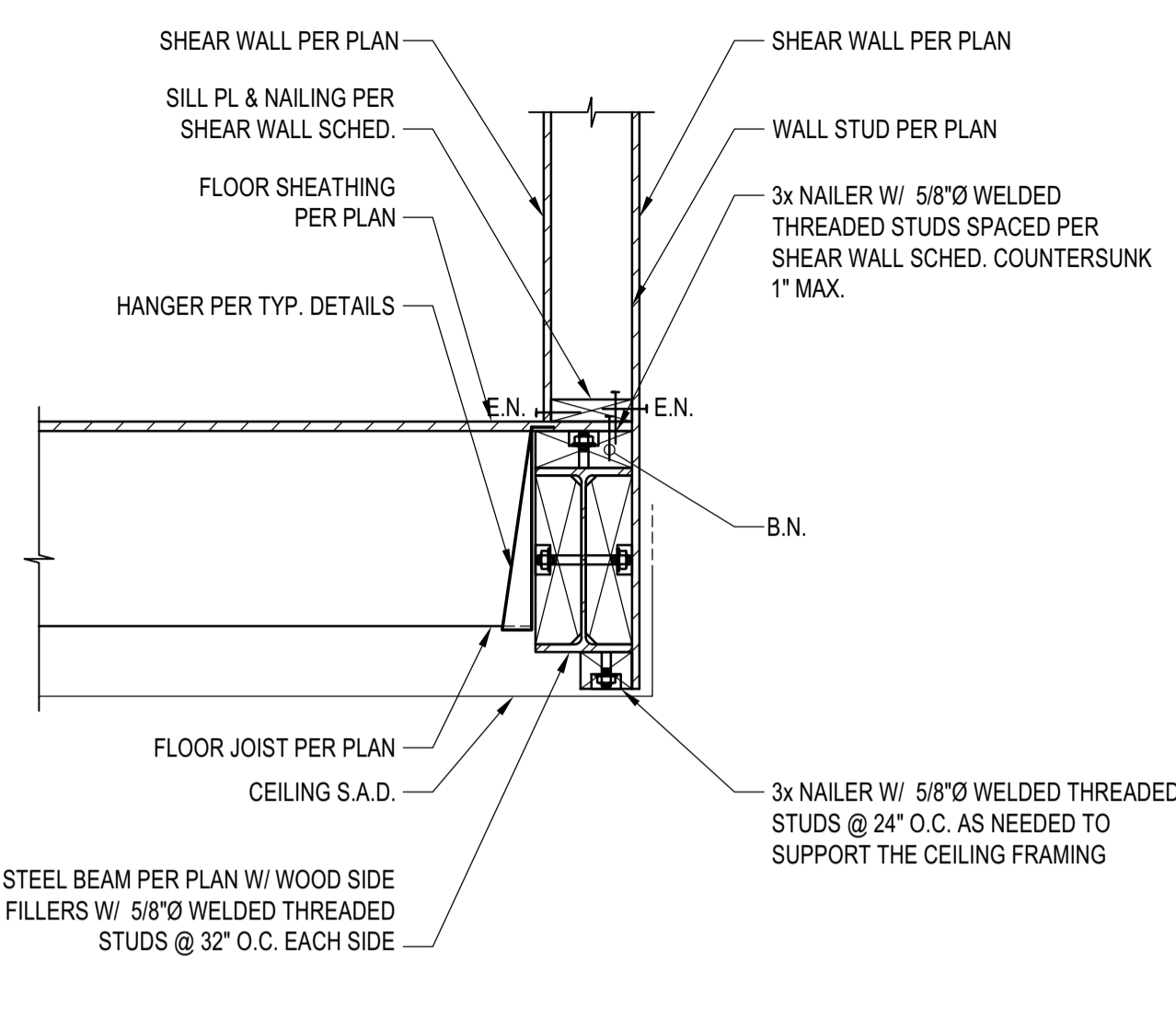
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CONCRETE SECTIONS AND DETAILS

DRAWING NUMBER:
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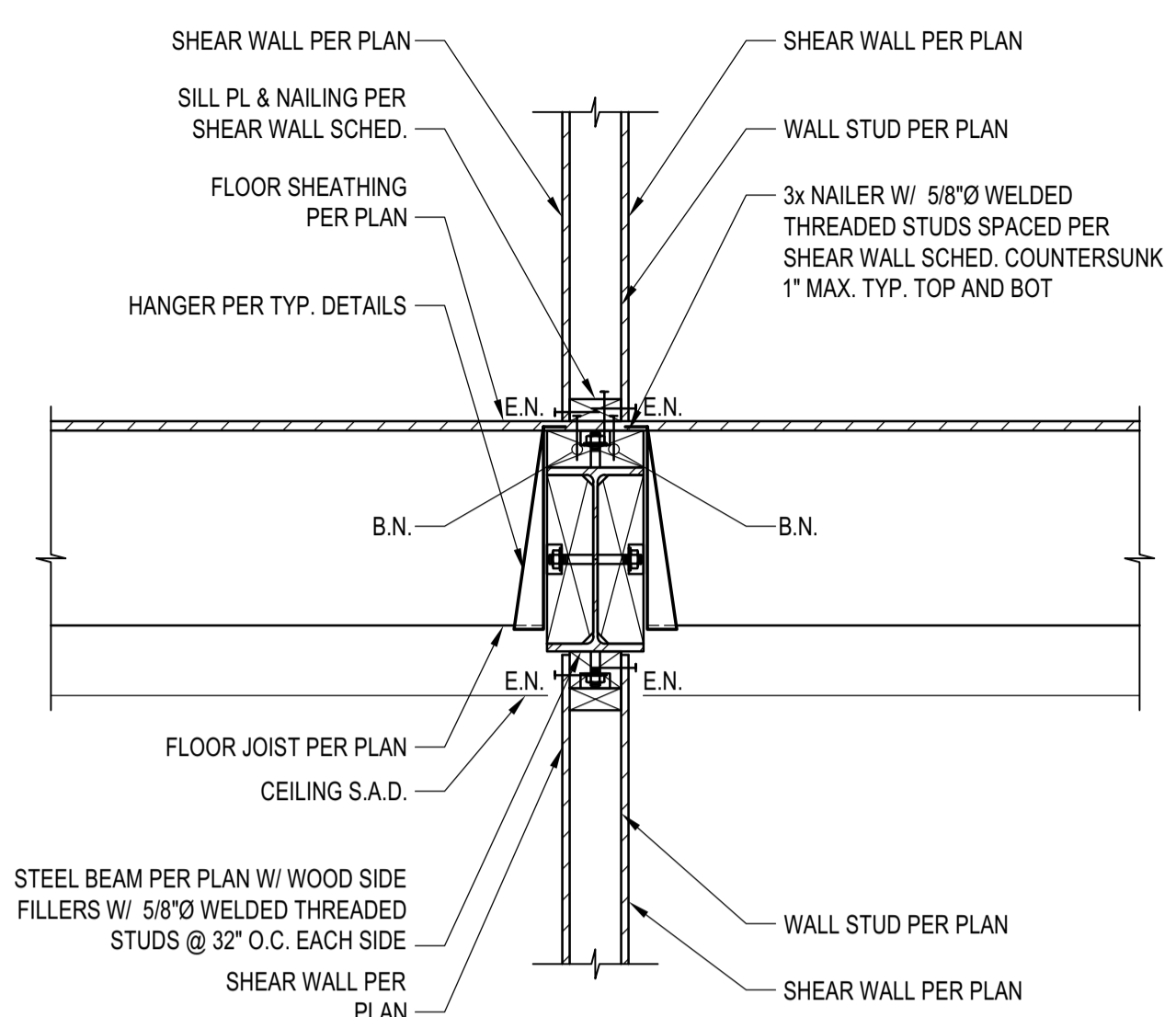




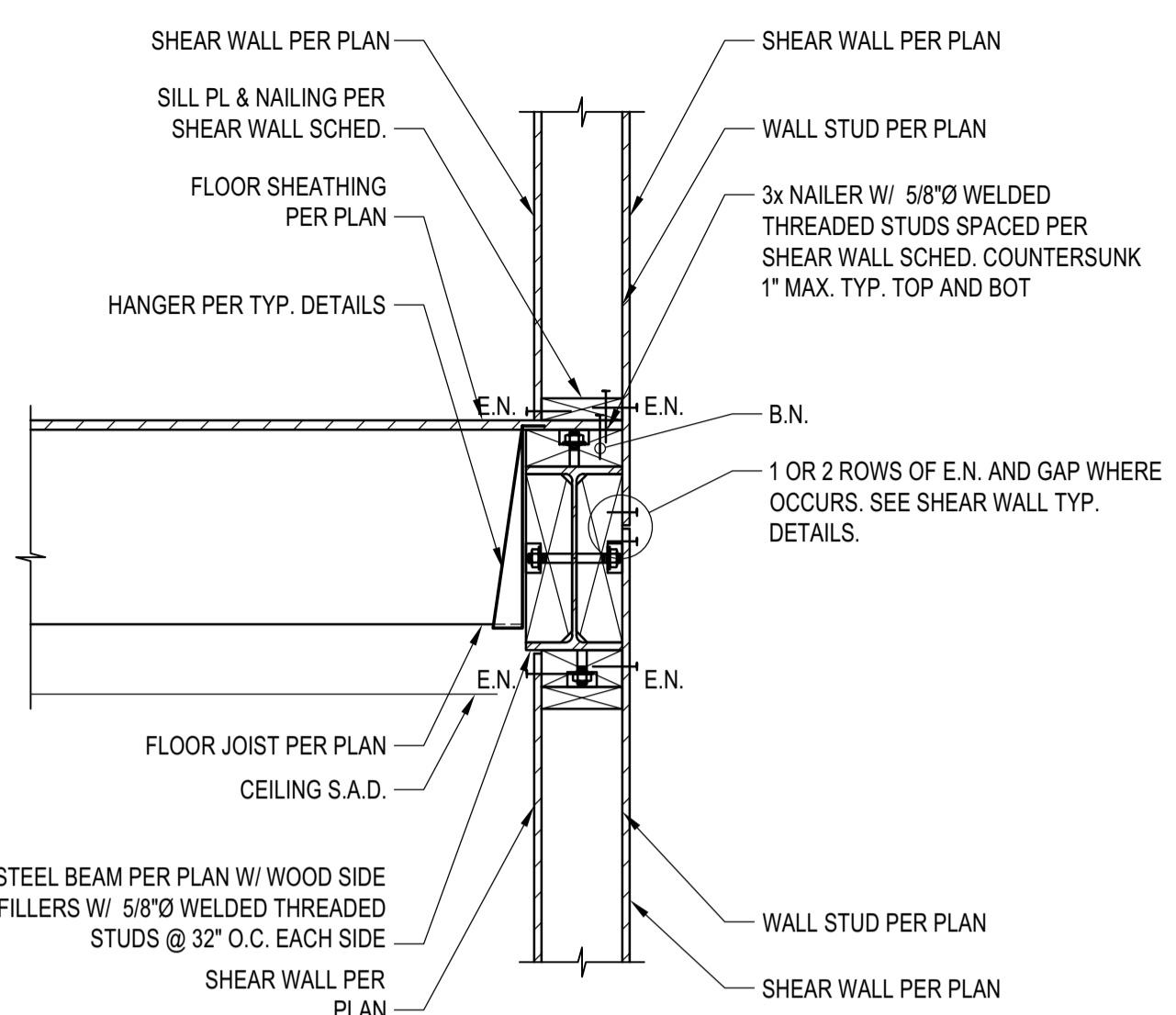
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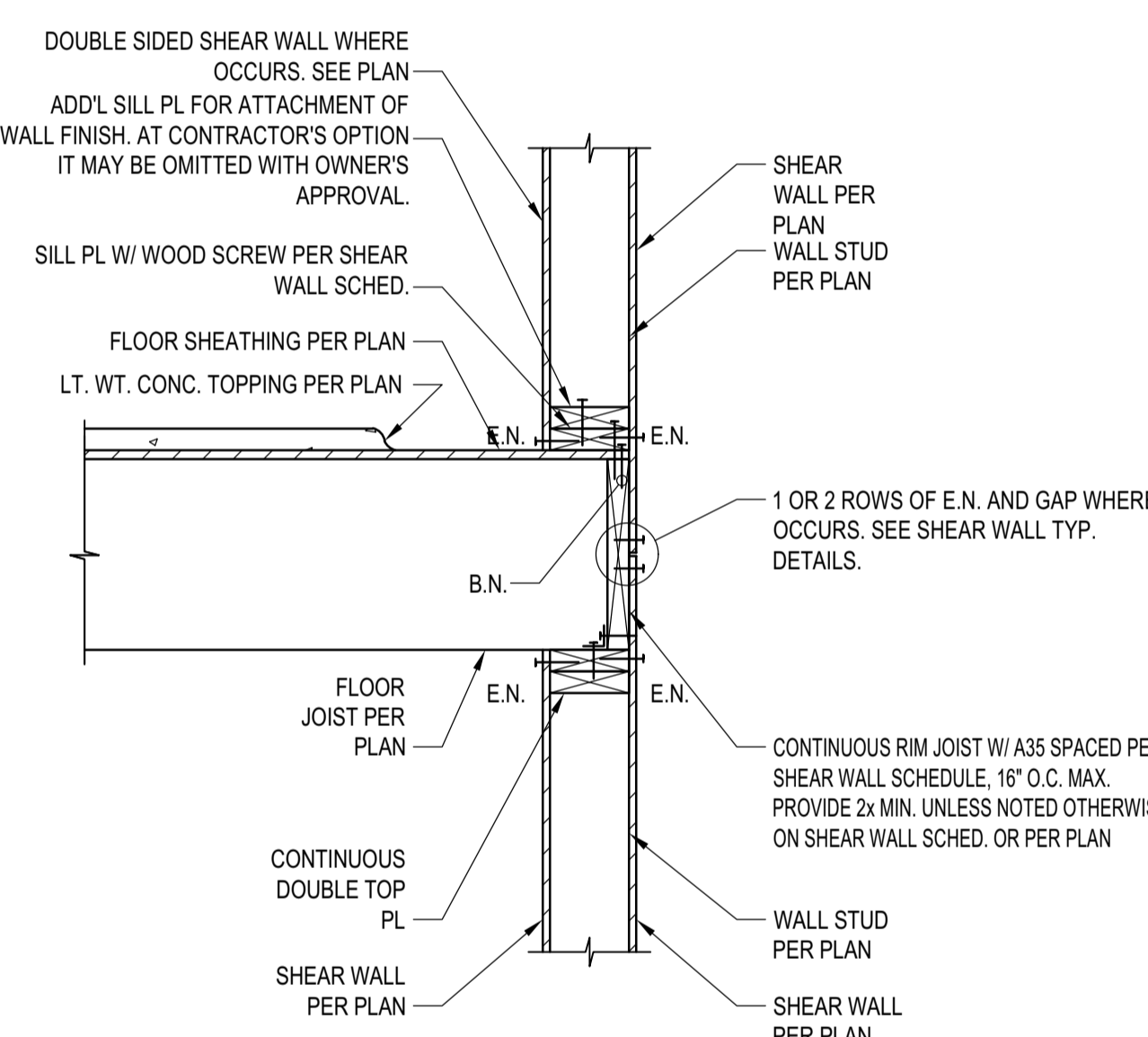
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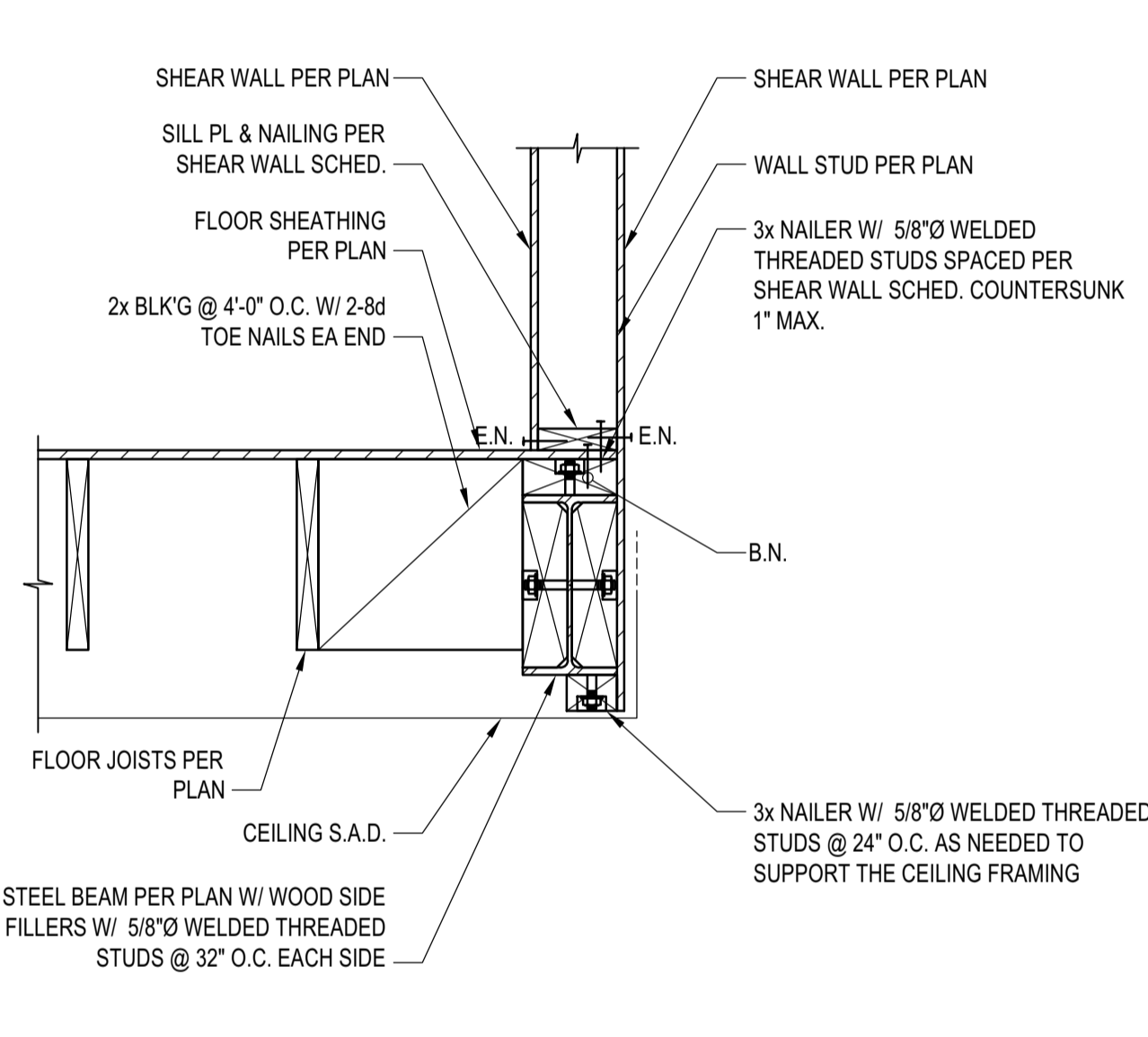
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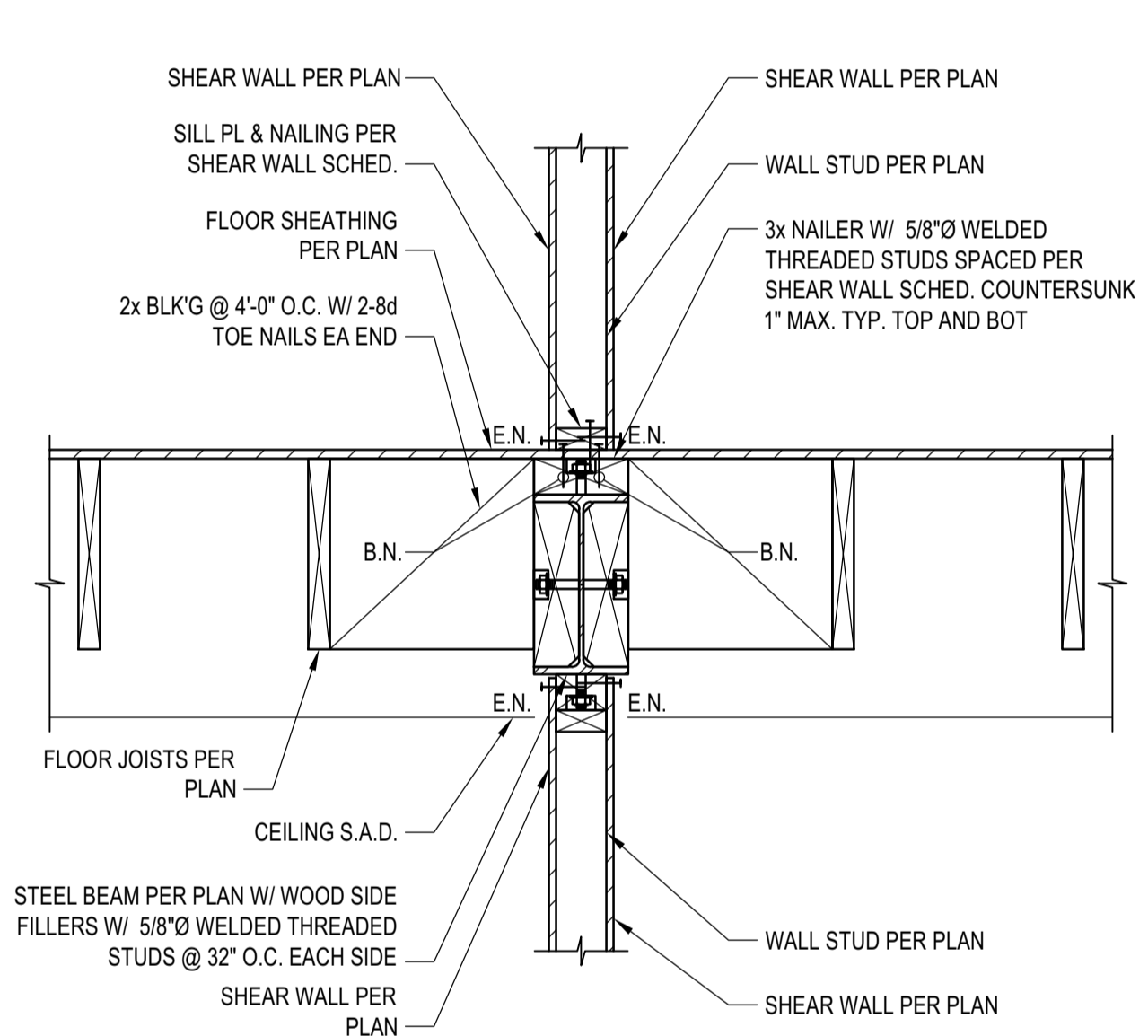
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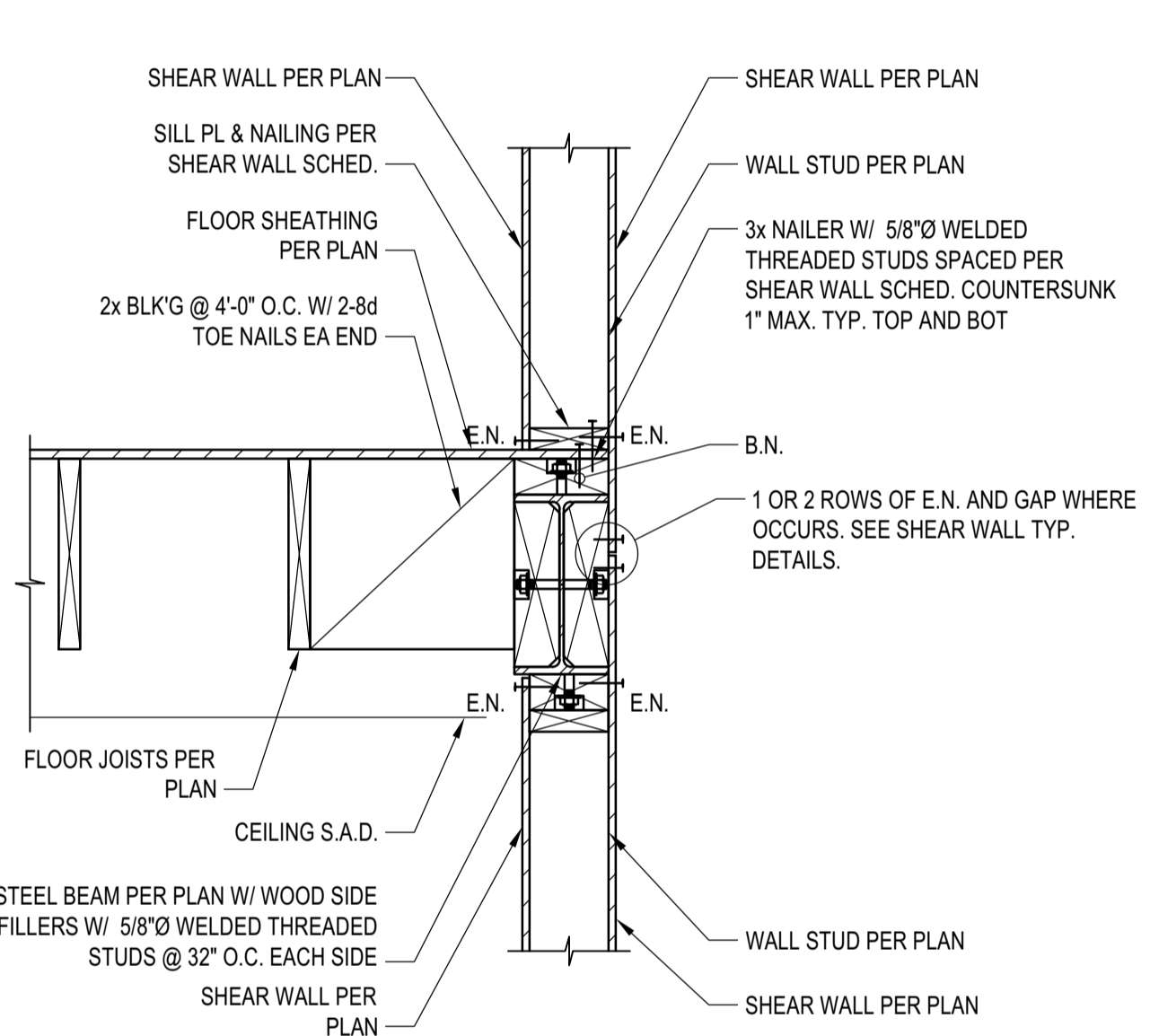
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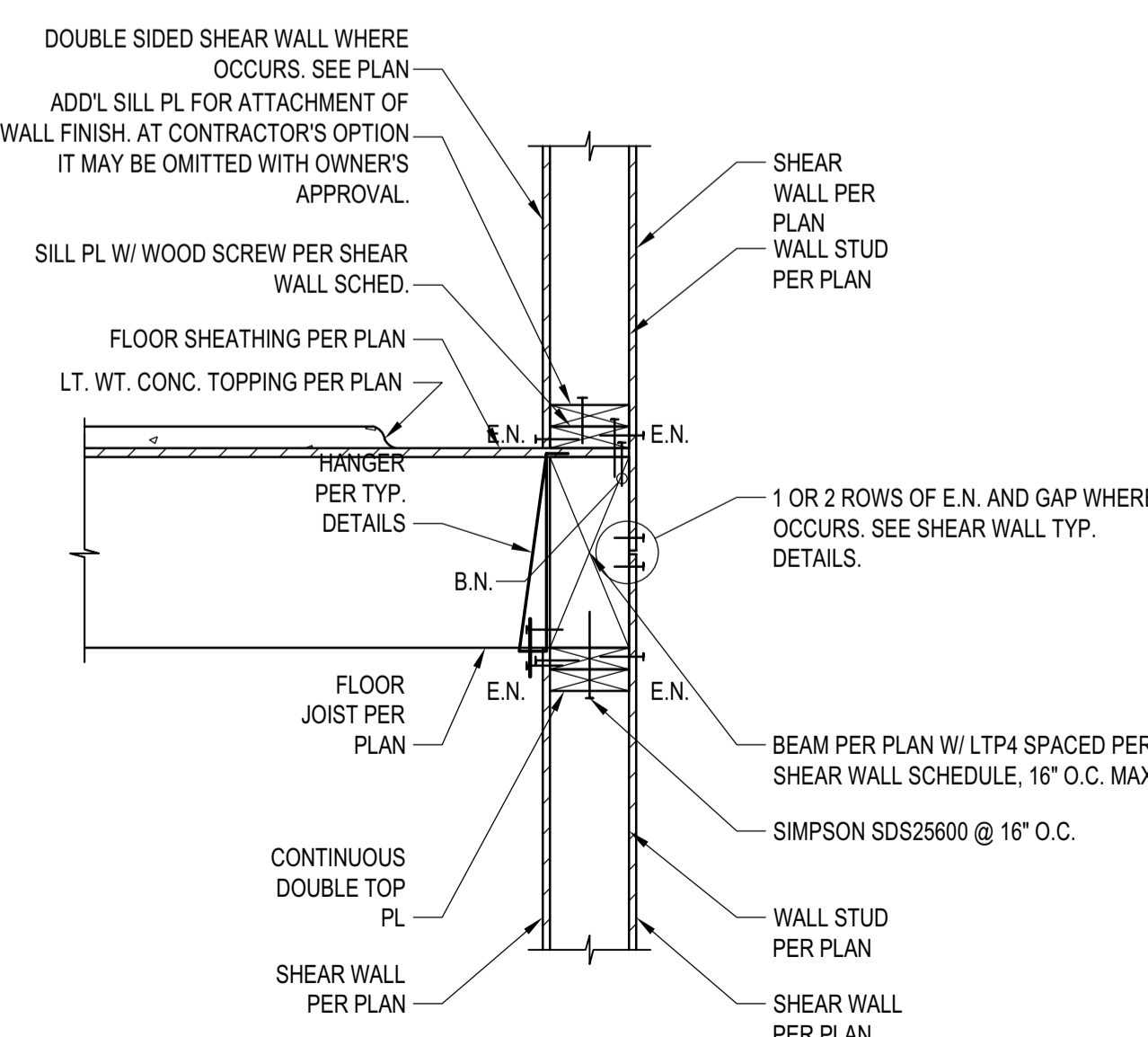
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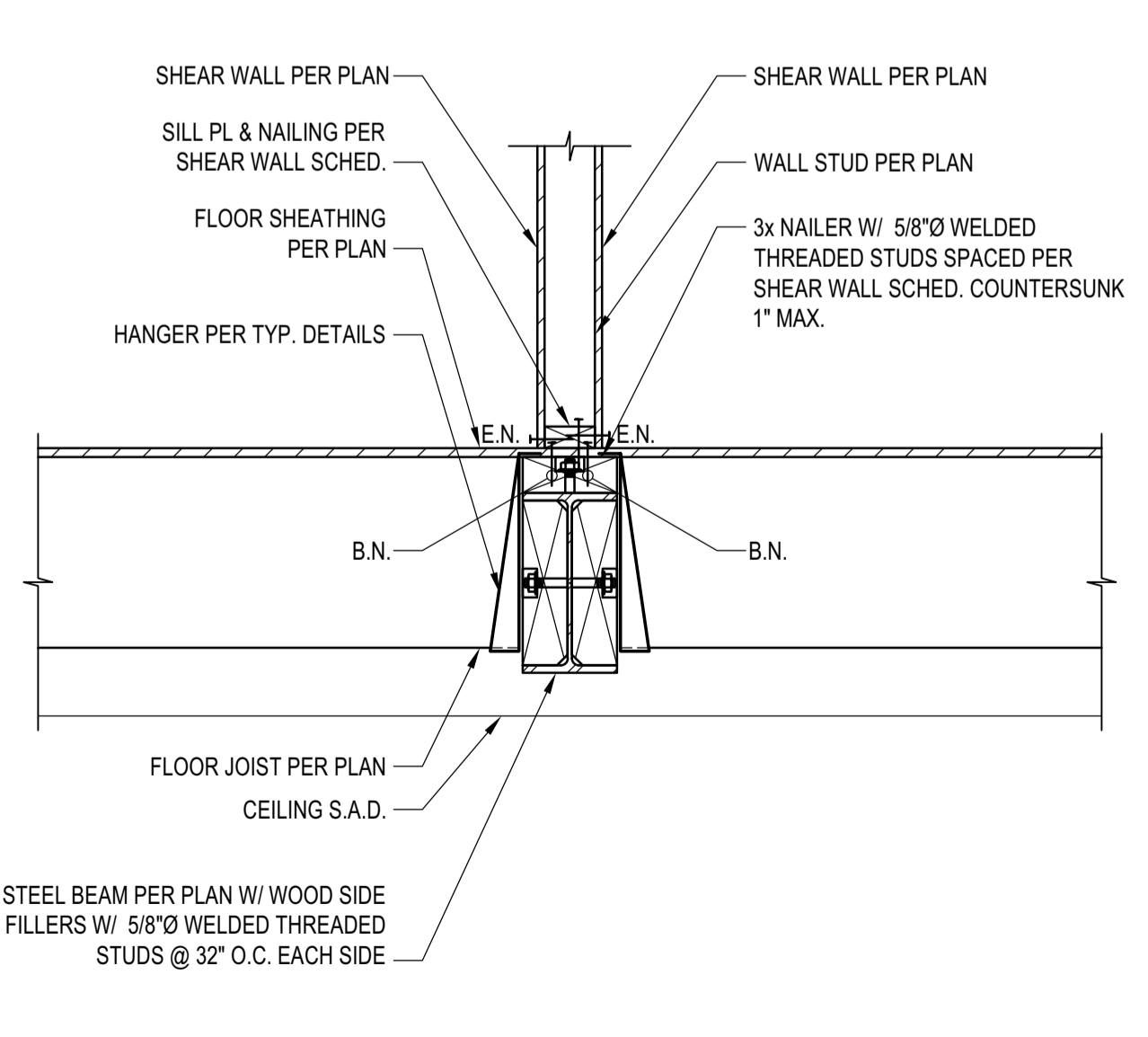
DETAIL 5
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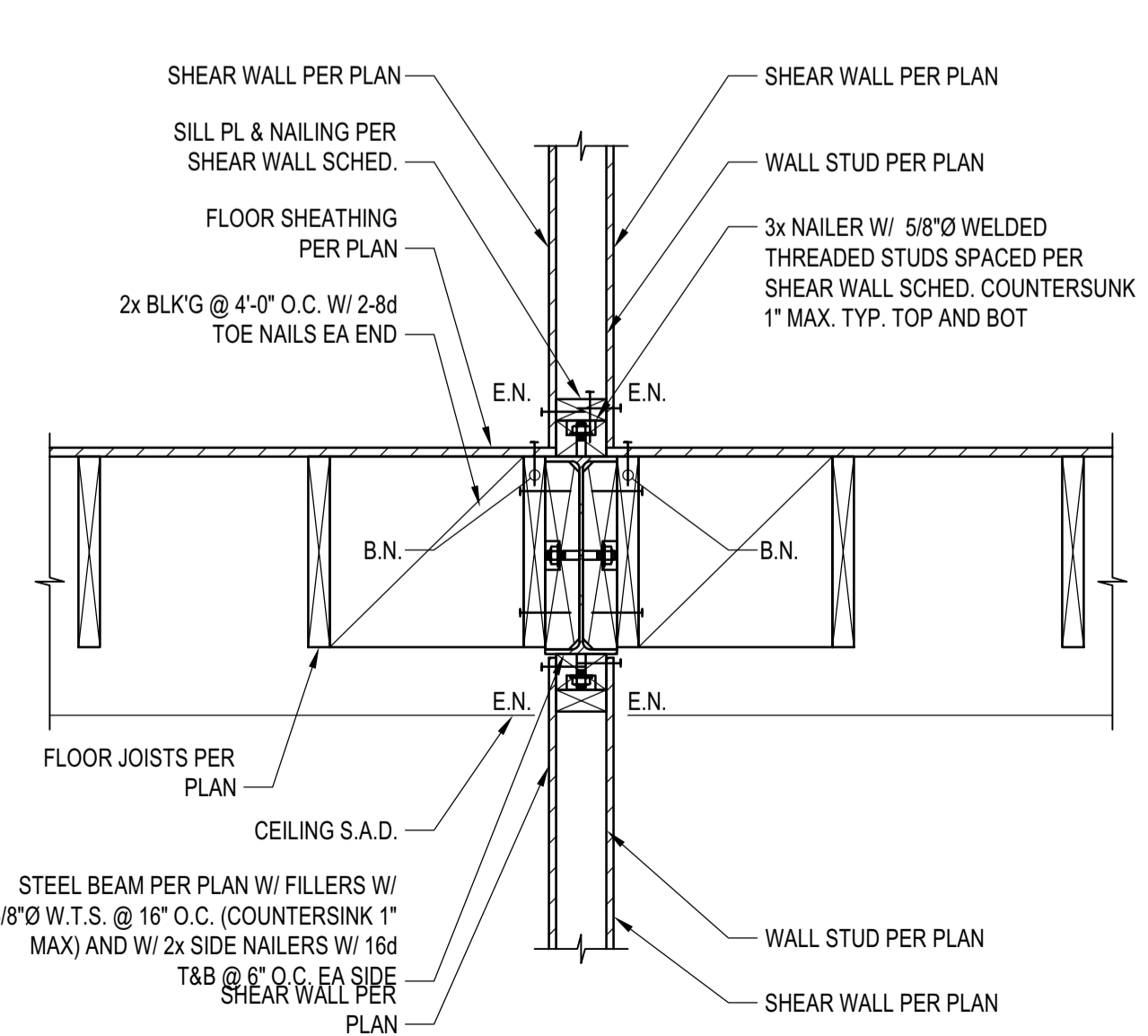
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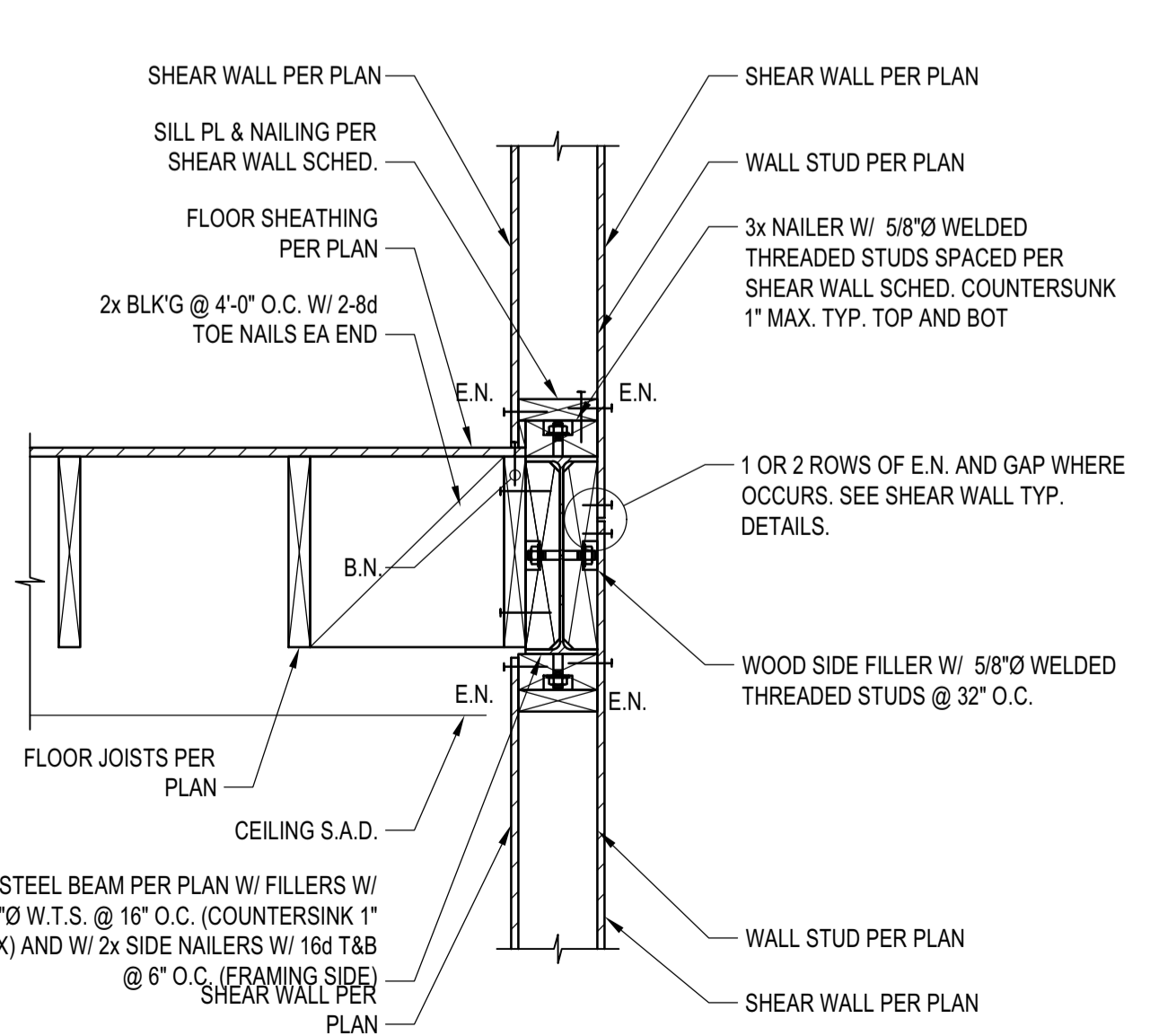
DETAIL 12
 SCALE: N.T.S.



DETAIL 9
 SCALE: N.T.S.



DETAIL 6
 SCALE: N.T.S.



DETAIL 3
 SCALE: N.T.S.

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 KETCHUM, ID 83340
 TEL: 208.720.6432

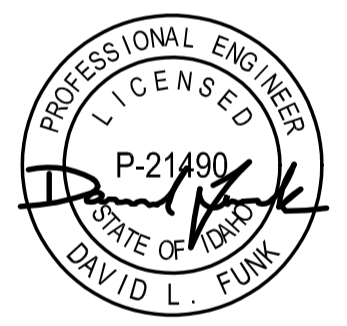
LANDSCAPE ARCHITECT:
BYLA
 323 LEWIS STREET, SUITE N
 KETCHUM, ID 83340
 TEL: 208.726.5907

STRUCTURAL ENGINEER:
LFA
 319 MAIN STREET
 EL SEGUNDO, CA 90245
 TEL: 213.239.9700
 LFA Job #22791



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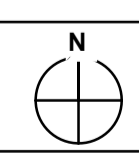
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02/24/23			

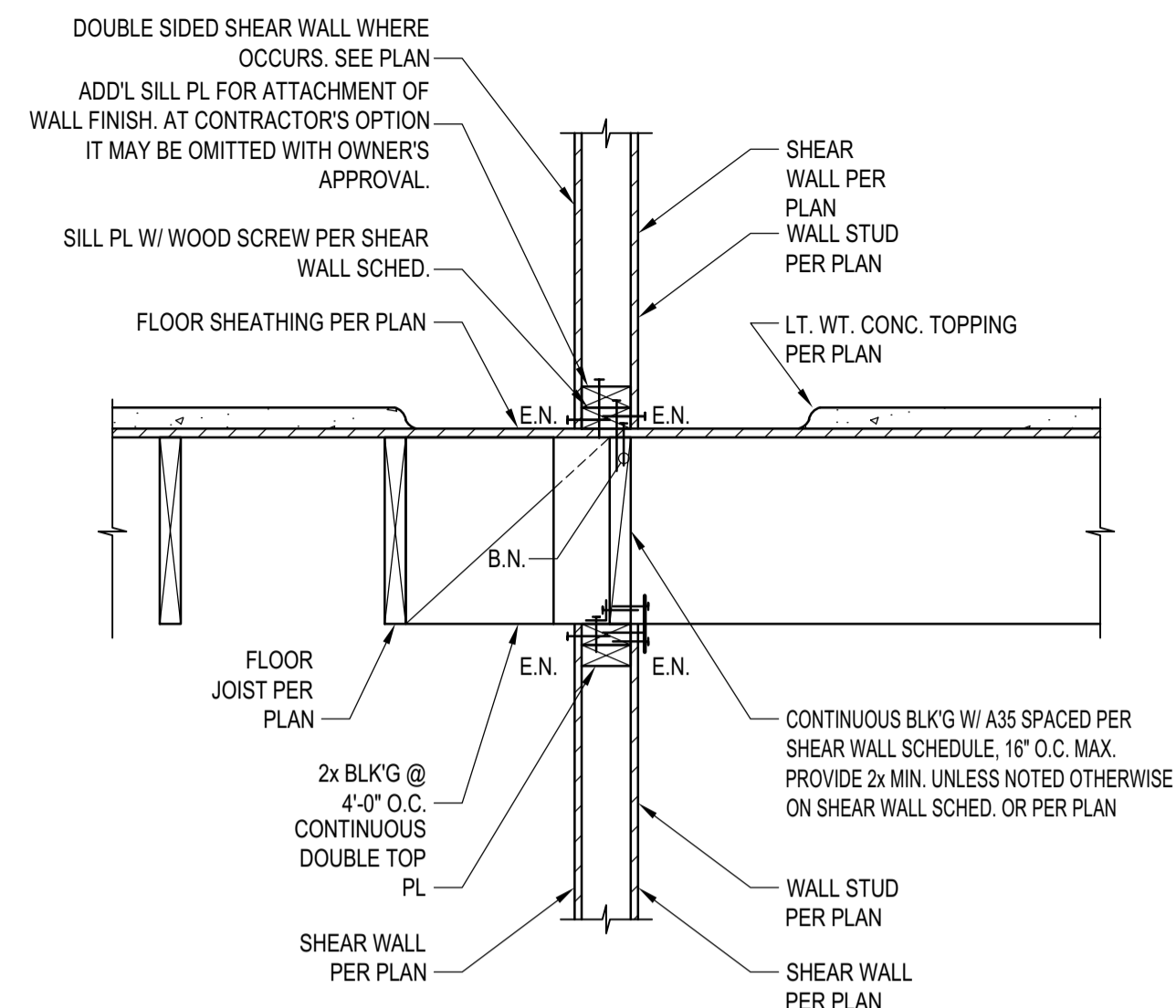
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BADGER RESIDENCE
 121 BADGER LANE
 KETCHUM, ID 83340

PROJECT NUMBER
#2201

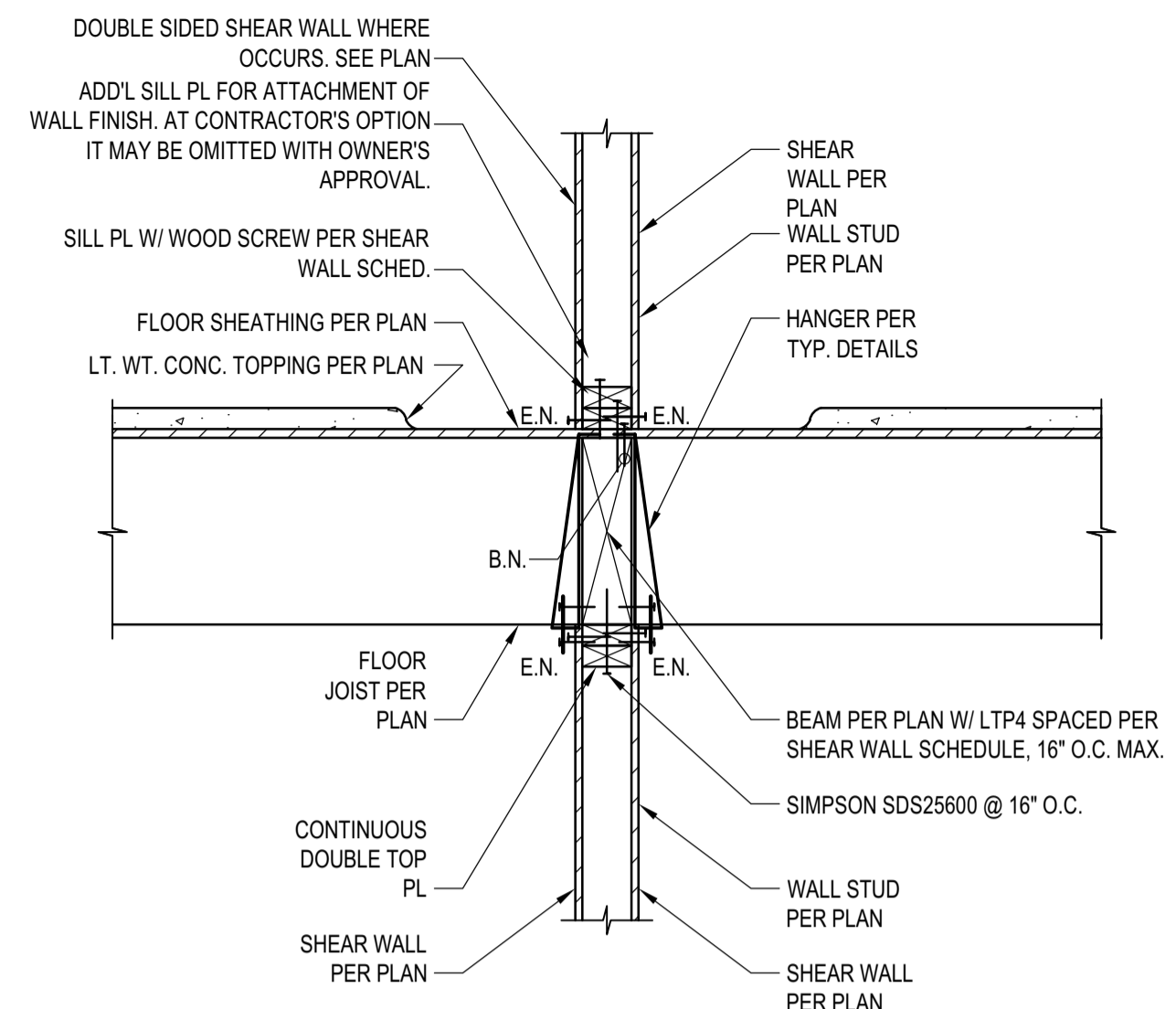
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WOOD SECTIONS AND DETAILS

DRAWING NUMBER:
S-401

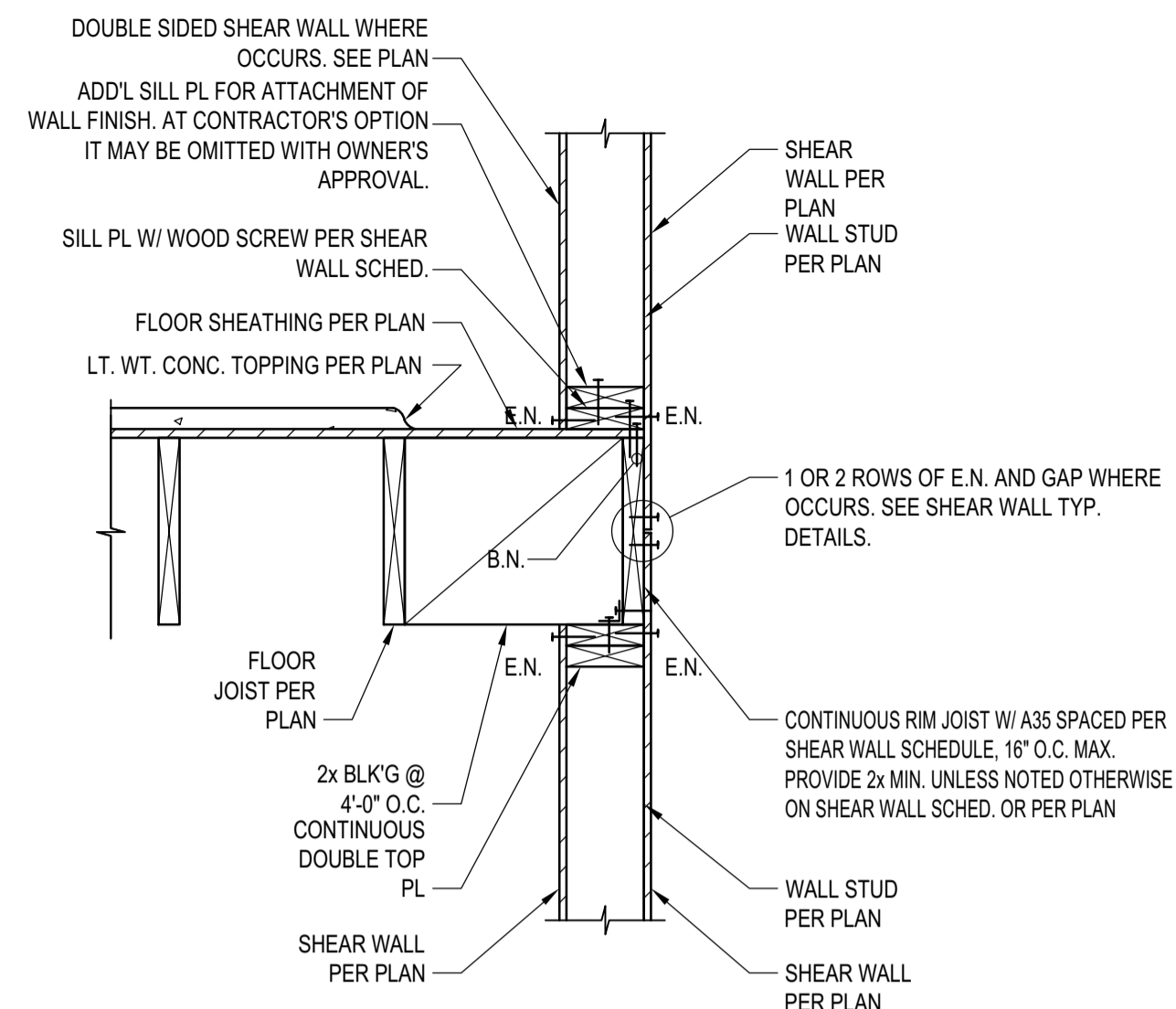




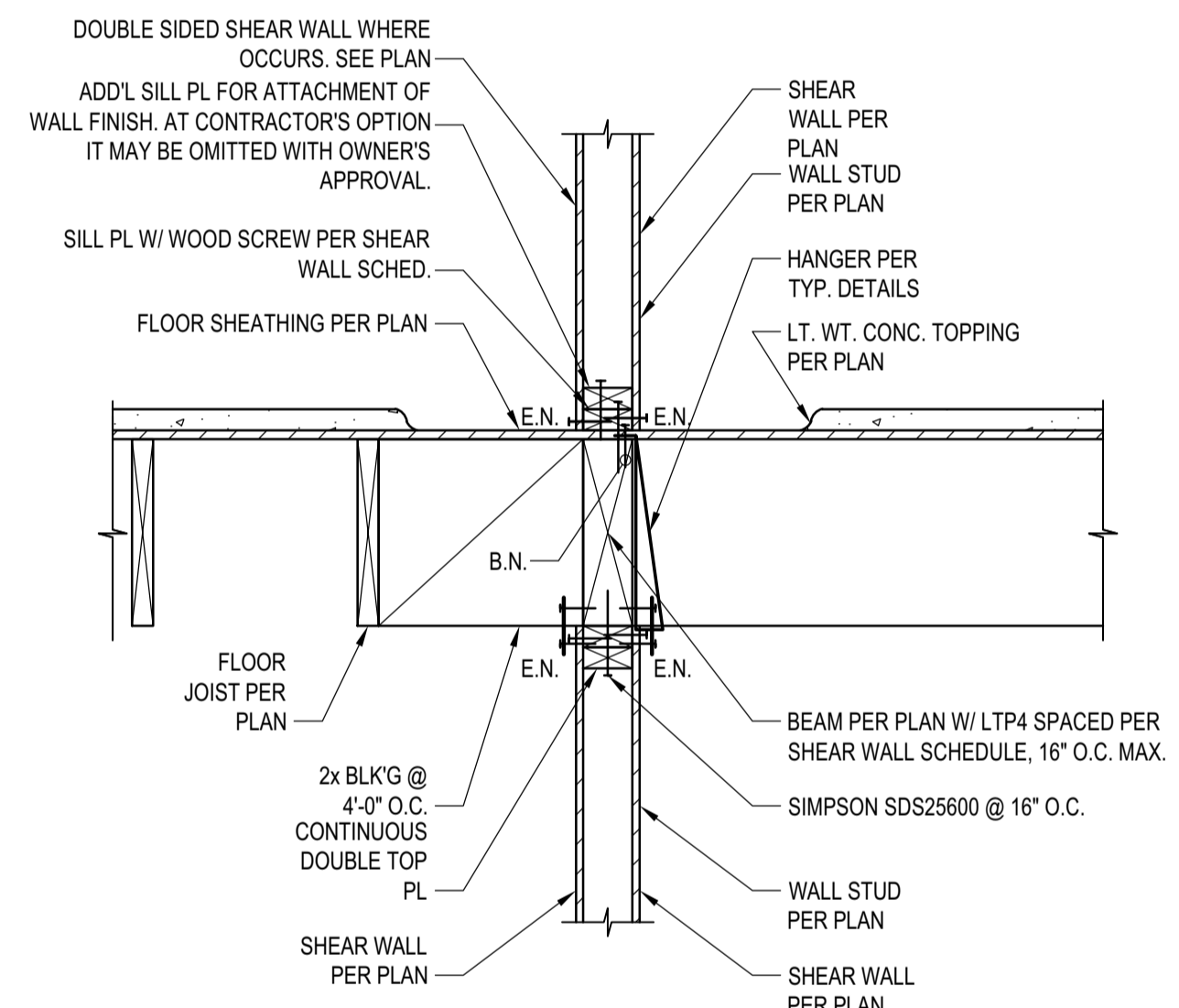
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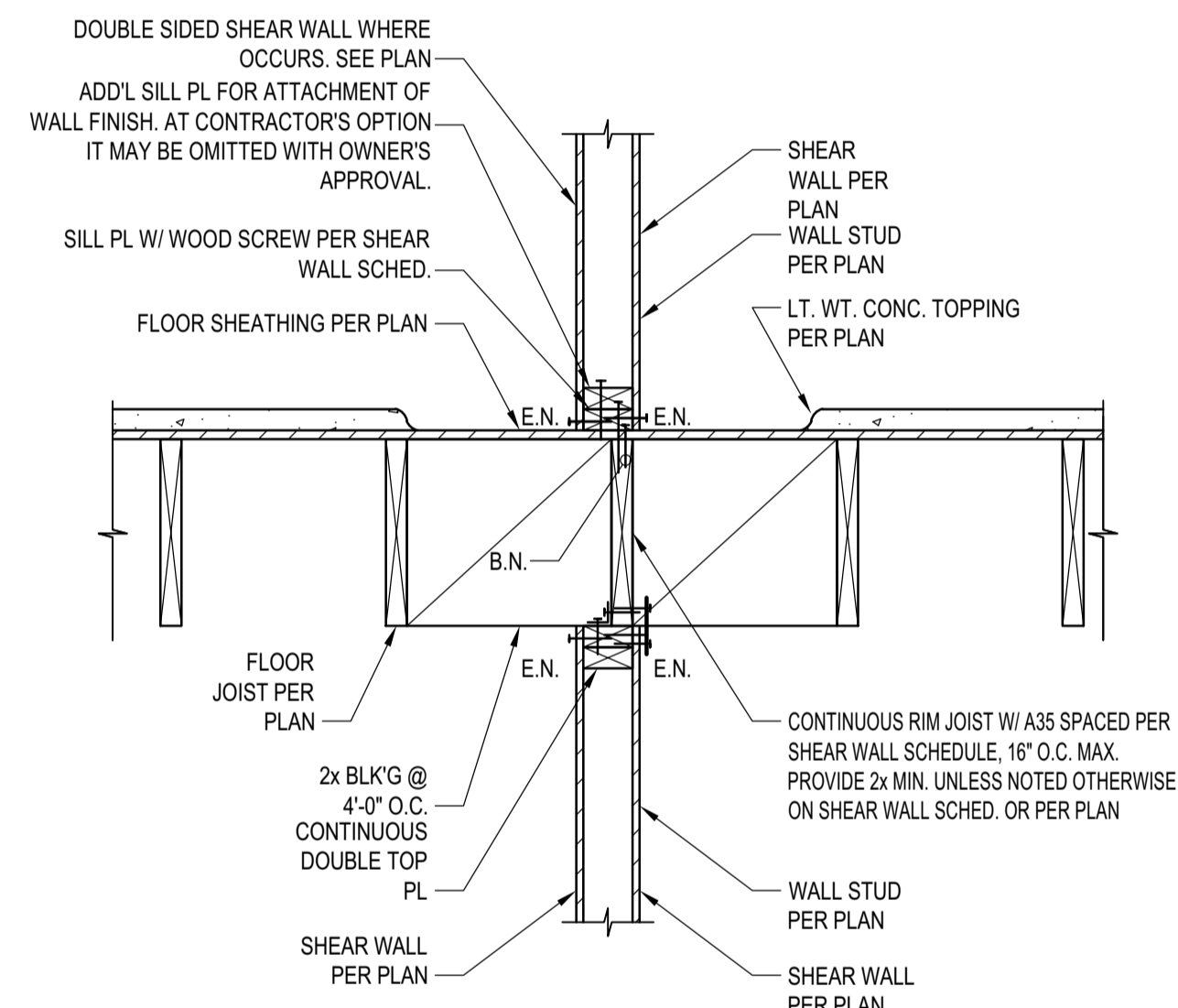
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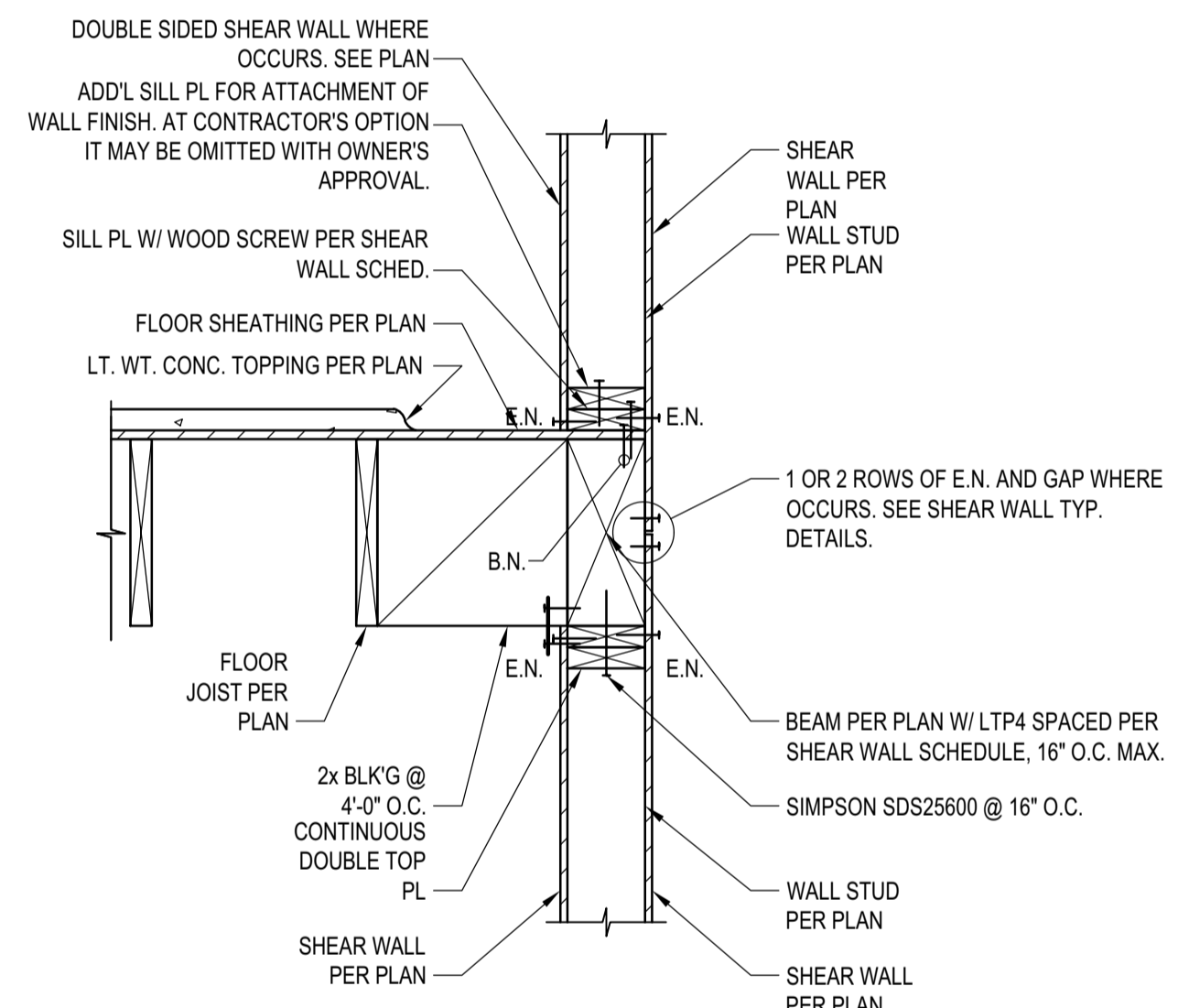
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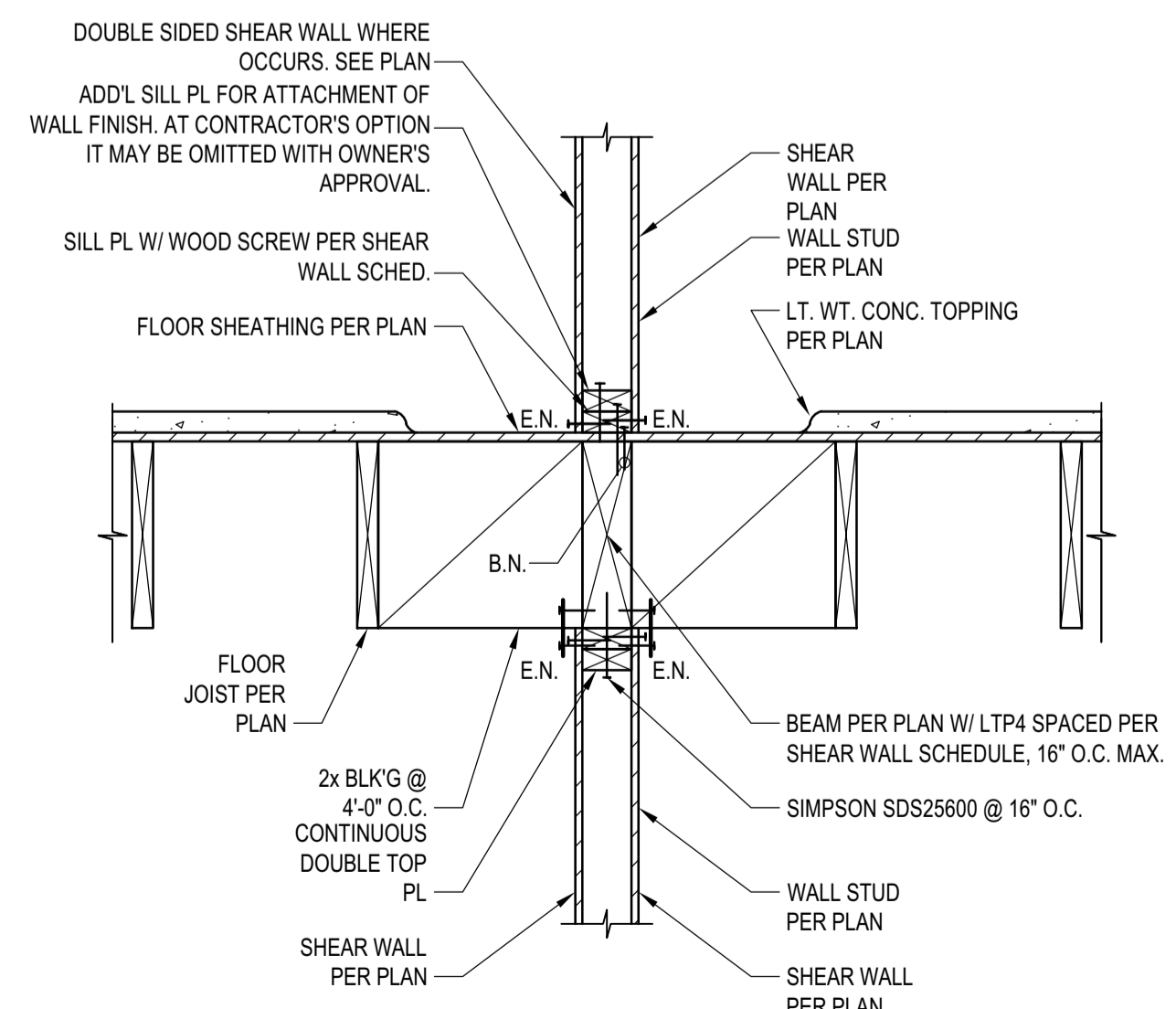
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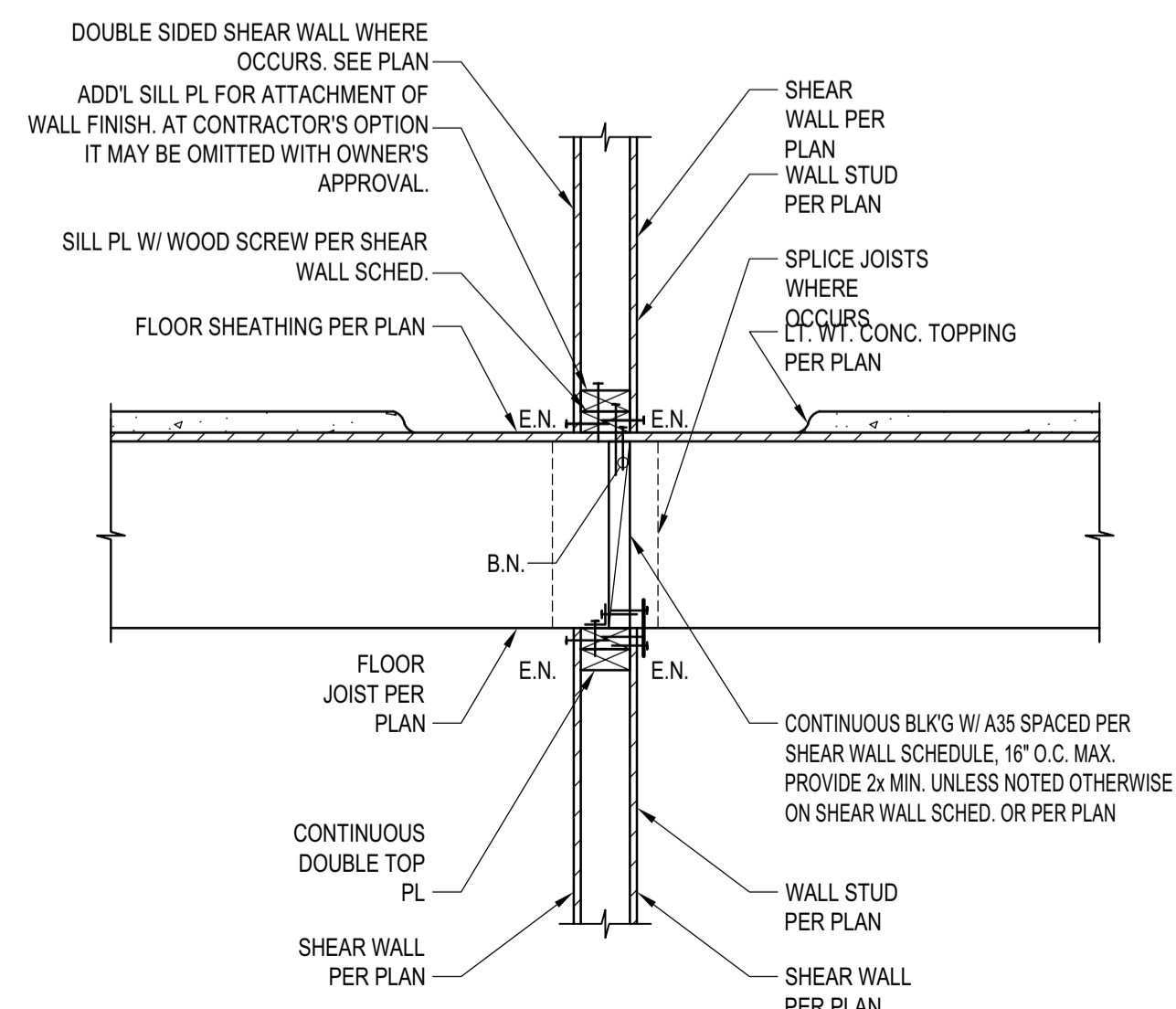
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DETAIL
SCALE: N.T.S. 2



DETAIL
SCALE: N.T.S. 6



DETAIL
SCALE: N.T.S. 3

BADGER RESIDENCE

OWNER:
121 BADGER LANE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340

PROJECT ARCHITECT:
RJ ROCKETT DESIGN
1031 W. MANCHESTER BLVD, UNIT 6
INGLEWOOD, CA 90301
TEL: 213.784.0014

SURVEYOR & CIVIL ENGINEER:
GALENA ENGINEERING, INC.
317 NORTH RIVER STREET
HAILEY, ID 83333
TEL: 208.788.1705

GEOTECHNICAL ENGINEER:
BUTLER ASSOCIATES, INC.
P.O. BOX 1034
KETCHUM, ID 83340
TEL: 208.720.6432

LANDSCAPE ARCHITECT:
BYLA
323 LEWIS STREET, SUITE N
KETCHUM, ID 83340
TEL.: 208.726.5907

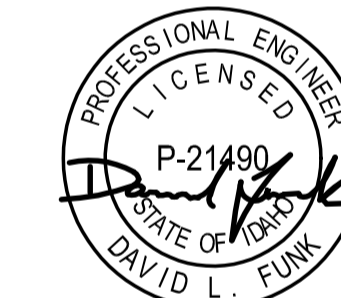
STRUCTURAL ENGINEER:
LFA
319 MAIN STREET
EL SEGUNDO, CA 90245
TEL: 213.239.9700
LFA Job #22791



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SEAL:



REVISIONS	

NO	DATE	PC SUBMITTAL ISSUE

PROJECT:
BADGER RESIDENCE
121 BADGER LANE
KETCHUM, ID 83340

PROJECT NUMBER #2201

DRAWING TITLE:
WOOD SECTIONS AND DETAILS

DRAWING NUMBER:
S-402



BLD2303-00021
 06/26/23
 11/29/2023 8:12:13

BADGER RESIDENCE

OWNER:
121 BADGER LANE LLC
 P.O. BOX 14001-174
 KETCHUM, ID 83340

PROJECT ARCHITECT:
RO | ROCKETT DESIGN
 1031 W. MANCHESTER BLVD, UNIT 6
 INGLEWOOD, CA 90301
 TEL: 213.784.0014

SURVEYOR & CIVIL ENGINEER:
GALENA ENGINEERING, INC.
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 TEL: 208.788.1705

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 P.O. BOX 1034
 KETCHUM, ID 83340
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SEAL:

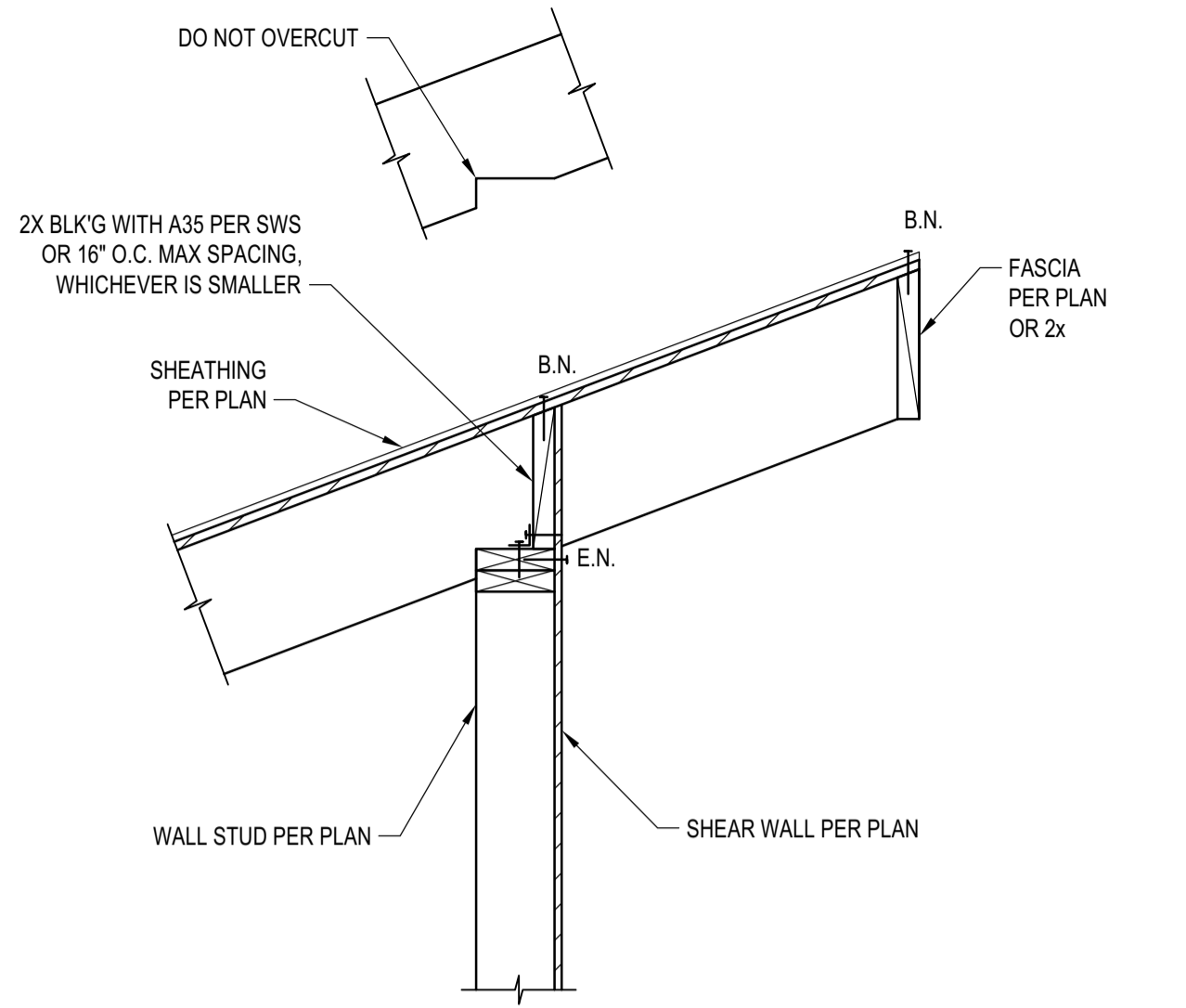
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	02/24/23	PC SUBMITTAL	

PROJECT:
BADGER RESIDENCE
 121 BADGER LANE
 KETCHUM, ID 83340

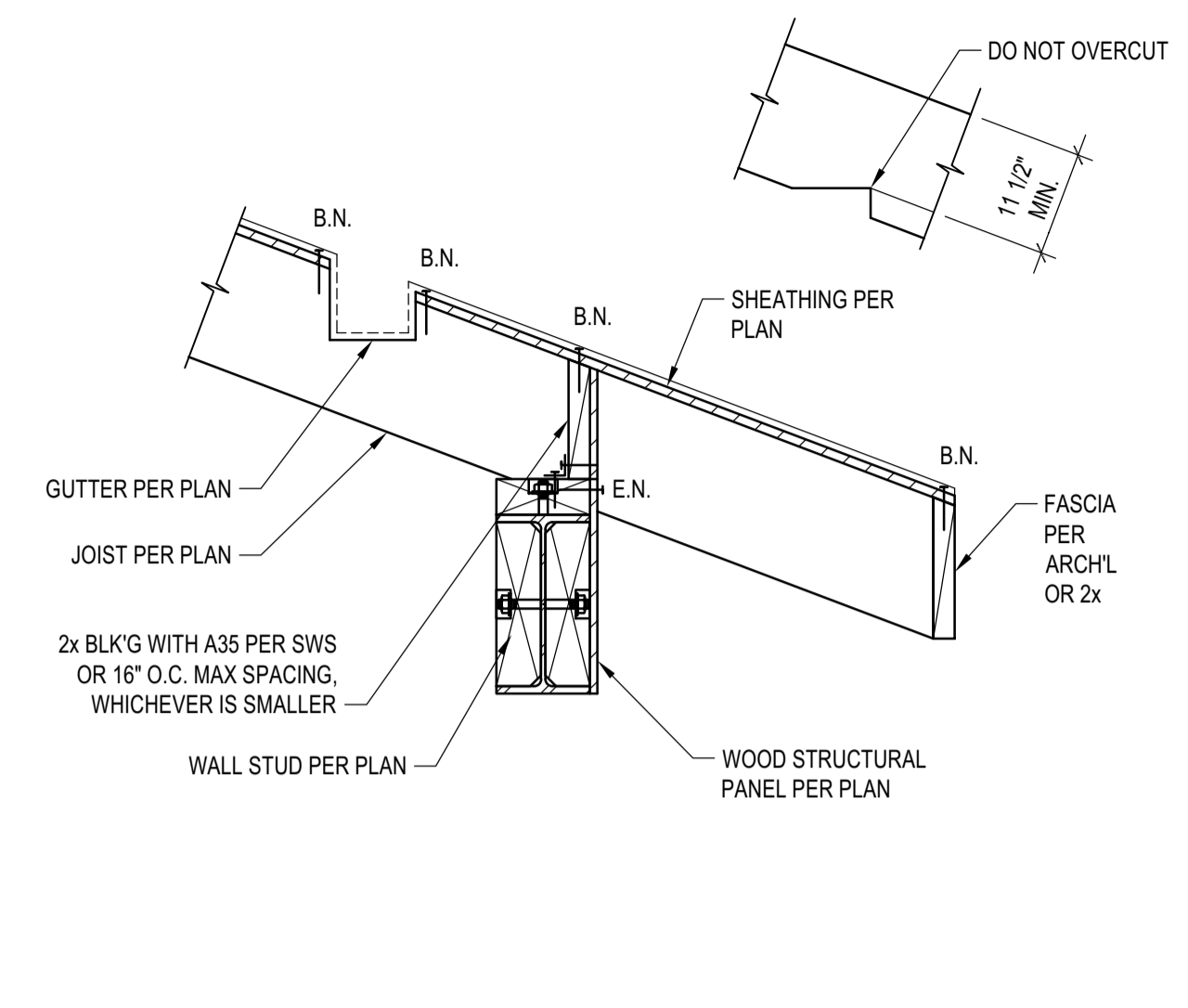
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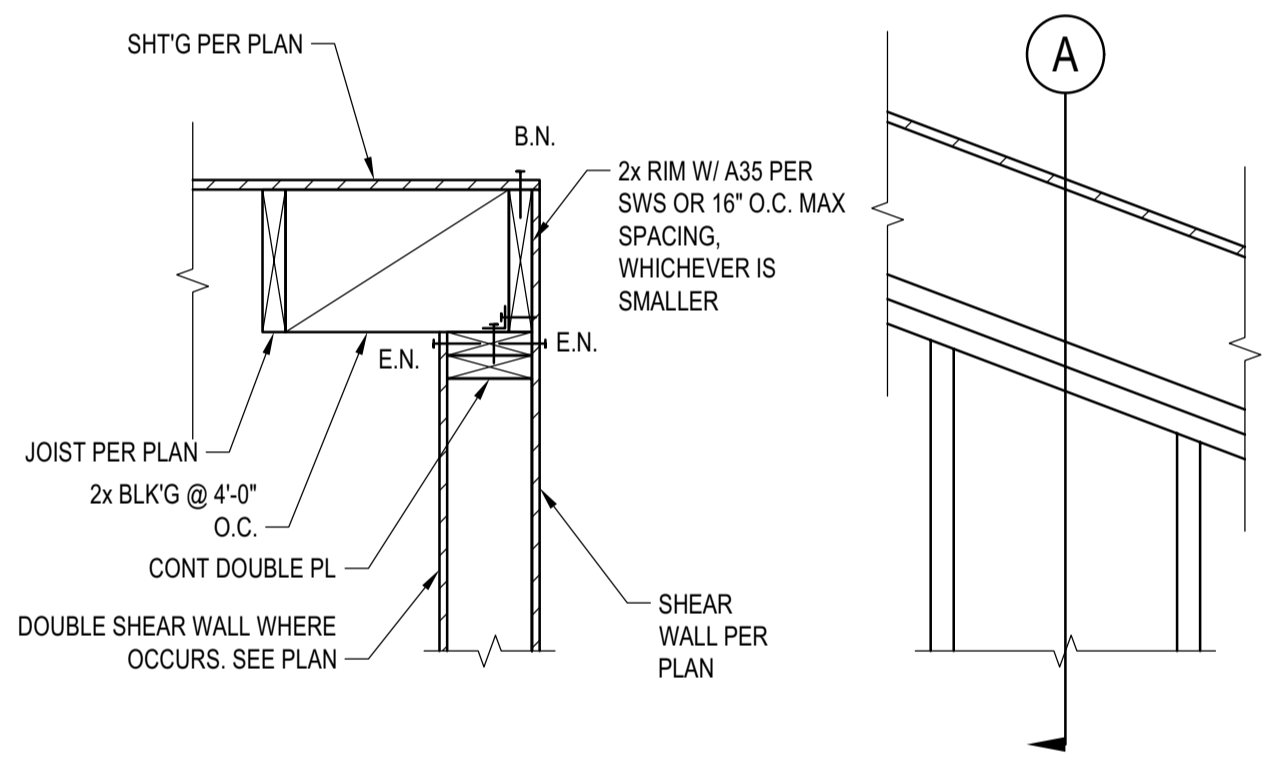
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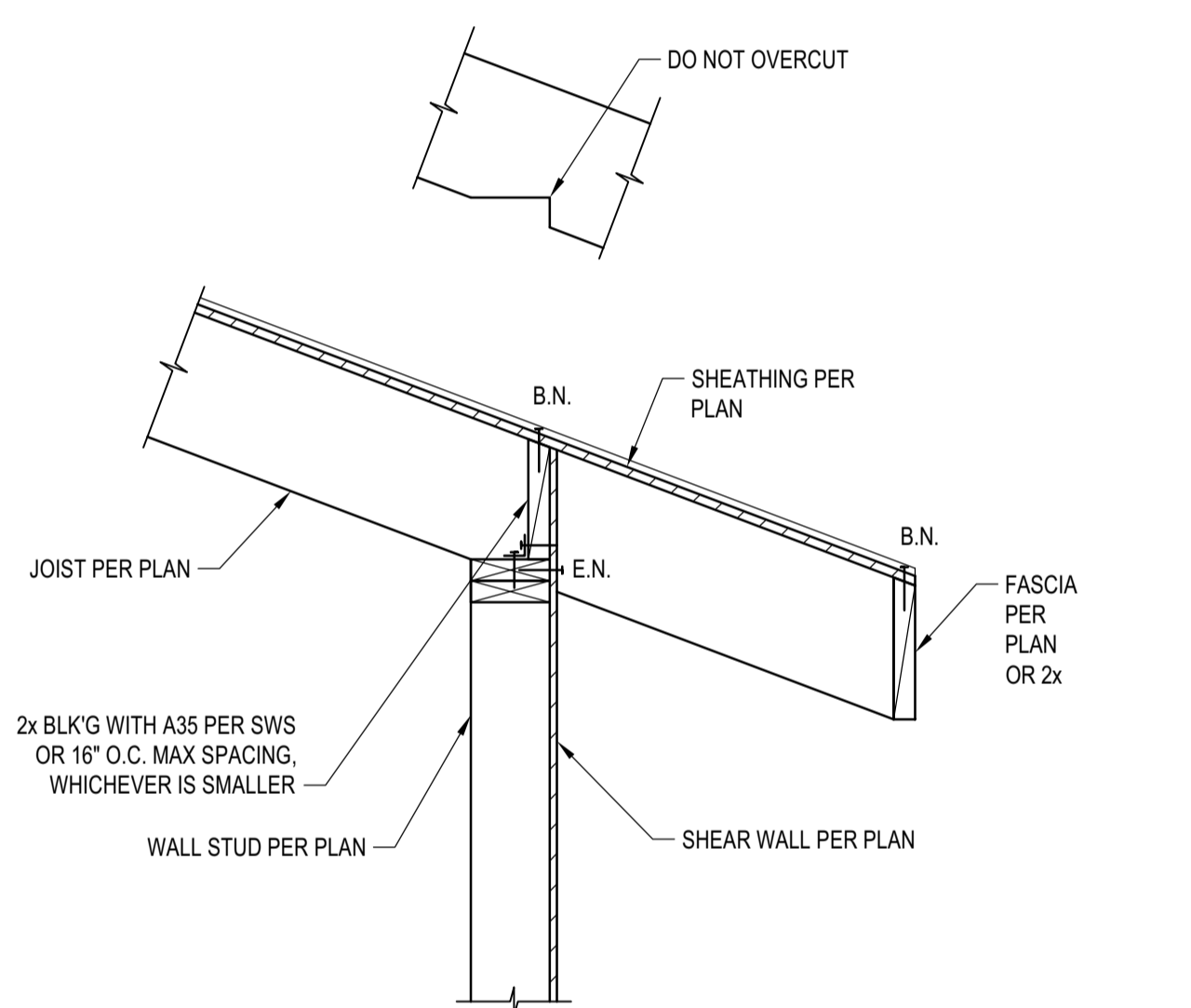
DETAIL 4
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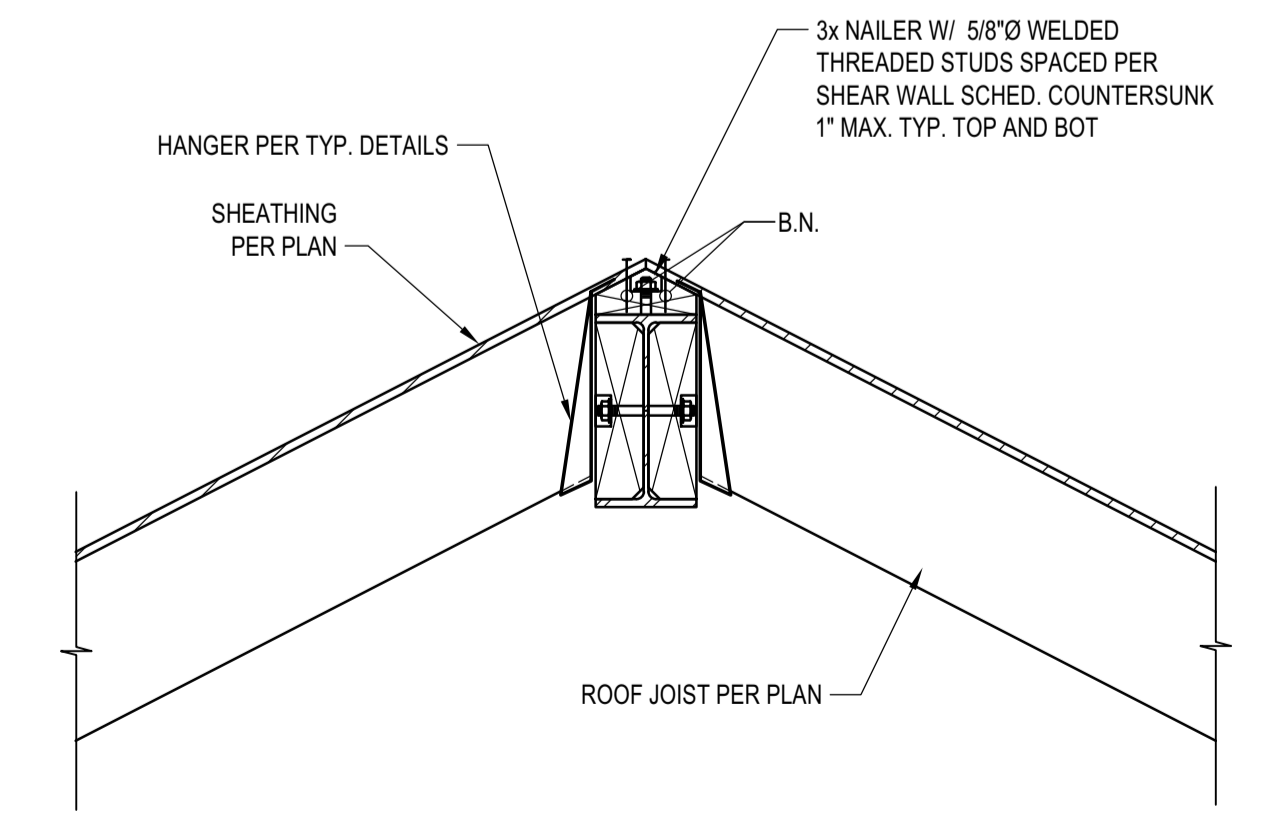
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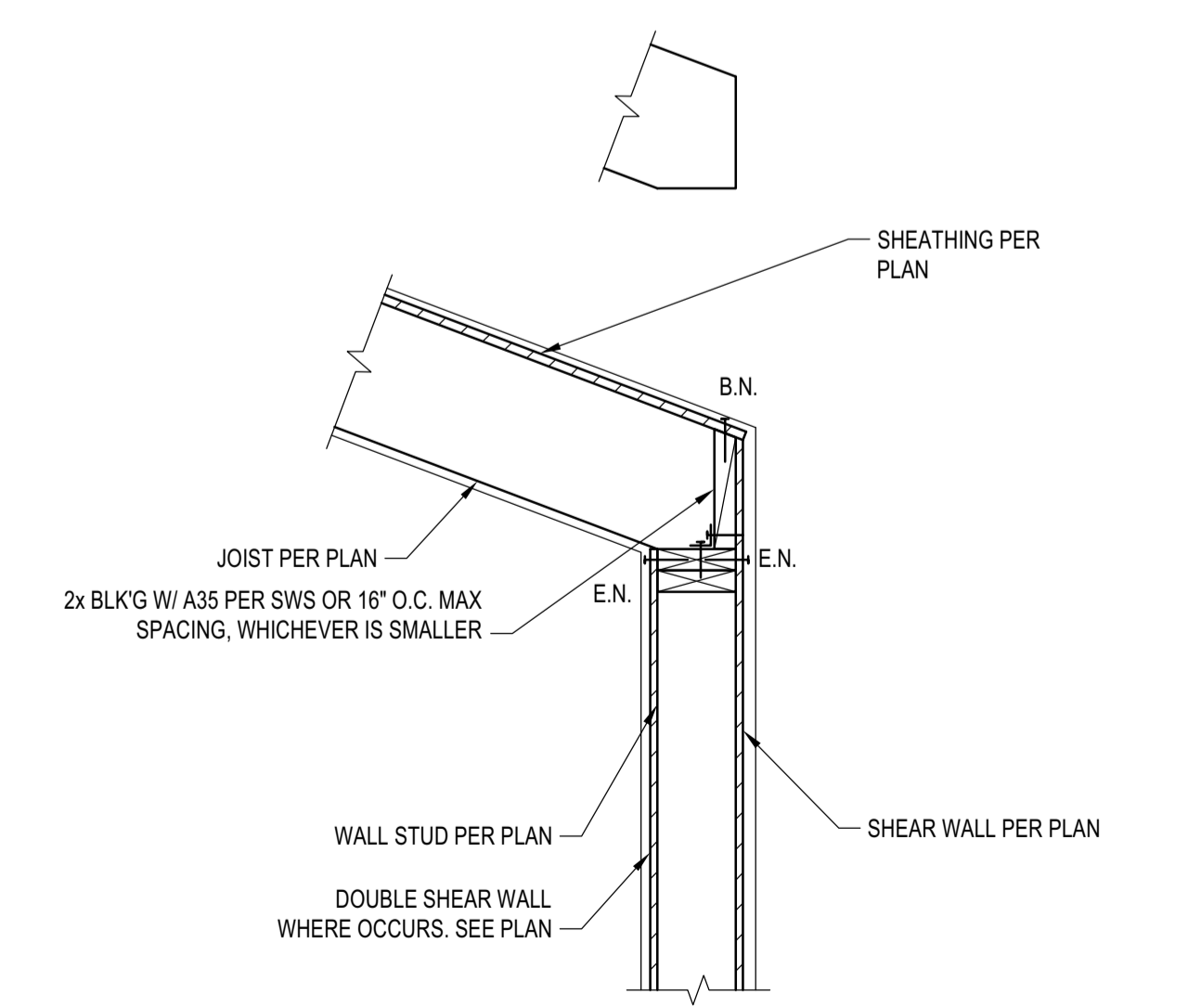
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DETAIL 2
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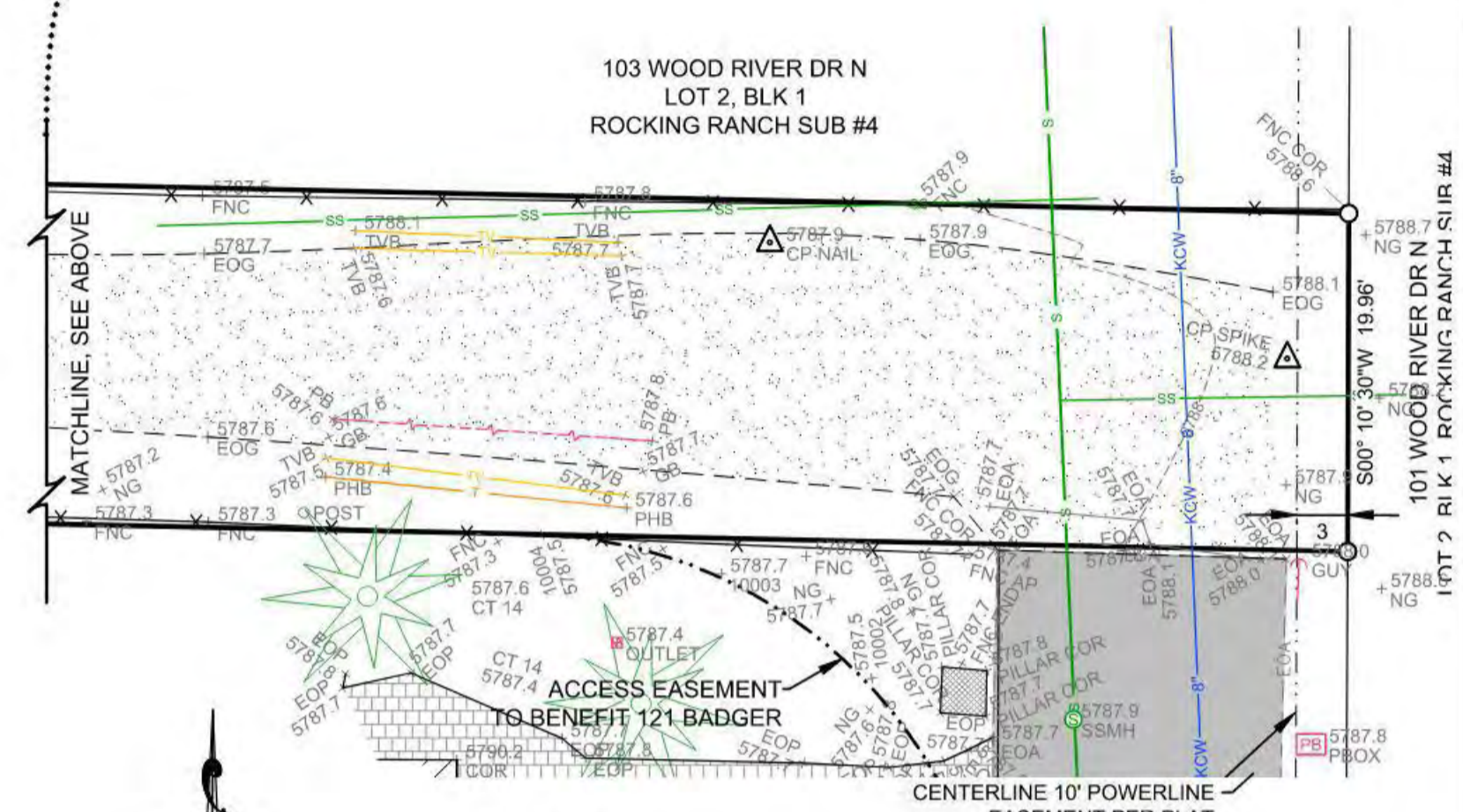
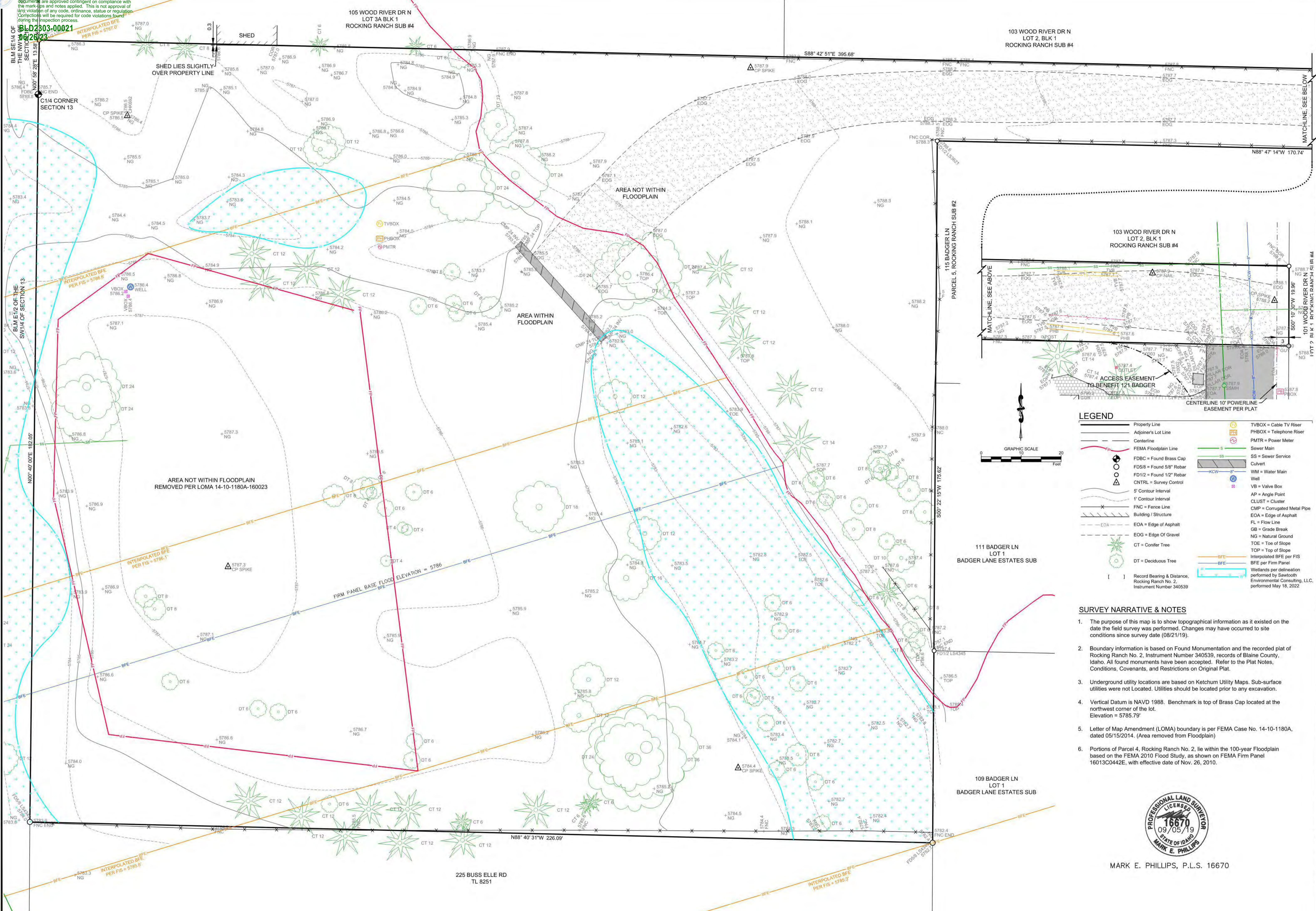


DETAIL 6
 SCALE: N.T.S.



DETAIL 3
 SCALE: N.T.S.

Approved
 These plans have been found to be in substantial compliance with the applicable codes and regulations. The plans are approved contingent on compliance with the mark-ups and notes applied. This is not approval of any code, ordinance, statute or regulation. Corrections will be required for code violations found during the inspection process.



LEGEND

Property Line	TVBOX = Cable TV Riser
Adj. Property Lot Line	PHTMR = Telephone Riser
Centerline	PMTR = Power Meter
FEMA Floodplain Line	SS = Sewer Main
FDBC = Found Brass Cap	SS = Sewer Service
FD5/8 = Found 5/8" Rebar	WM = Water Main
FD1/2 = Found 1/2" Rebar	Well
CNTRL = Survey Control	VB = Valve Box
5' Contour Interval	AP = Angle Point
1' Contour Interval	CLUST = Cluster
FNC = Fence Line	CMP = Corrugated Metal Pipe
Building / Structure	EOA = Edge of Asphalt
EOA = Edge of Asphalt	FL = Flow Line
EOG = Edge of Gravel	GB = Grade Break
CT = Conifer Tree	NG = Natural Ground
DT = Deciduous Tree	TOE = Toe of Slope
	TOP = Top of Slope
	Interpolated BFE per FIS
	BFE per Firm Panel
	Wetlands per delineation performed by Sawtooth Environmental Consulting, LLC, performed May 18, 2022

SURVEY NARRATIVE & NOTES

- The purpose of this map is to show topographic information as it existed on the date the field survey was performed. Changes may have occurred to site conditions since survey date (08/21/19).
- Boundary information is based on Found Monumentation and the recorded plat of Rocking Ranch No. 2, Instrument Number 340539, records of Blaine County, Idaho. All found monuments have been accepted. Refer to the Plat Notes, Conditions, Covenants, and Restrictions on Original Plat.
- Underground utility locations are based on Ketchum Utility Maps. Sub-surface utilities were not Located. Utilities should be located prior to any excavation.
- Vertical Datum is NAVD 1988. Benchmark is top of Brass Cap located at the northwest corner of the lot. Elevation = 5785.79'
- Letter of Map Amendment (LOMA) boundary is per FEMA Case No. 14-10-1180A, dated 05/15/2014. (Area removed from Floodplain)
- Portions of Parcel 4, Rocking Ranch No. 2, lie within the 100-year Floodplain based on the FEMA 2010 Flood Study, as shown on FEMA Firm Panel 16013C042E, with effective date of Nov. 26, 2010.



MARK E. PHILLIPS, P.L.S. 16670

A TOPOGRAPHIC MAP SHOWING
PARCEL 4, ROCKING RANCH SUB #2
 LOCATED WITHIN SECTION 13, T.4 N., R.17 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
 PREPARED FOR GEORGINA & CHARLES TRAIN

DESIGNED BY	GALENA
DRAWN BY	SNE
CHECKED BY	

REUSE OF DRAWINGS
 This drawing shall not be used on any project or extension of this project except by agreement in writing with Galena Engineering, Inc.

GALENA ENGINEERING, INC.
 Civil Engineers & Land Surveyors
 317 N. River Street
 Hailey, Idaho 83433
 (208) 788-1705
 (208) 788-4612 fax
 email galena@galena-engineering.com

NO.	DATE	BY	REVISIONS

TOPO