City of Ketchum
Planning & Building

STAFF REPORT
KETCHUM PLANNING AND ZONING COMMISSION
MEETING OF DECEMBER 9, 2025

PROJECT:	Warm Springs Townhomes
FILE NUMBER:	P24-063
APPLICATION:	Design Review
PROPERTY OWNER:	108-110 Ritchie LLC (Presidio Vista Properties)
ARCHITECT:	Ro Rockett Design, LLC – Zac Rockett (architect)
LOCATION:	108 Ritchie Dr (Warm Springs Village Subdivision 2nd Revision Lot 3A Blk 4)
ZONING:	Tourist 3000 - (T-3000)
OVERLAY:	None
REVIEWER:	Morgan Landers, AICP – Director of Planning and Building
NOTICE:	A public meeting notice for the project was mailed to all property owners within 300 feet of the project site and all political subdivisions on August 20, 2025. The notice was published in the Idaho Mountain Express on August 20, 2025. A notice was posted on the project site on September 2, 2025, and the city's website on August 19, 2025. A public hearing was held on September 9, 2025 and October 14, 2025. At the October 14th meeting, the application was continued to a date certain of November 25, 2025 and further continued to a date certain of December 9, 2025.

EXECUTIVE SUMMARY

The applicant has submitted a Design Review application for the development of 12-, three- and four-bedroom, townhouse units at 108 Ritchie Dr (the "subject property"). The subject property is zoned Tourist 3000 (T-3000) and is vacant (See Figure 1). The development proposes to utilize the city's density bonus program for increased FAR and is therefore subject to the minimum residential density requirements of the Ketchum Municipal Code. The townhouse units range in size from approximately 2,200 to 3,800 gross square feet. The units within the development are proposed to be accessed by a private road entering from Ritchie Dr. Each townhouse has dedicated garage parking within each unit. The full project plans are included as Attachment A.

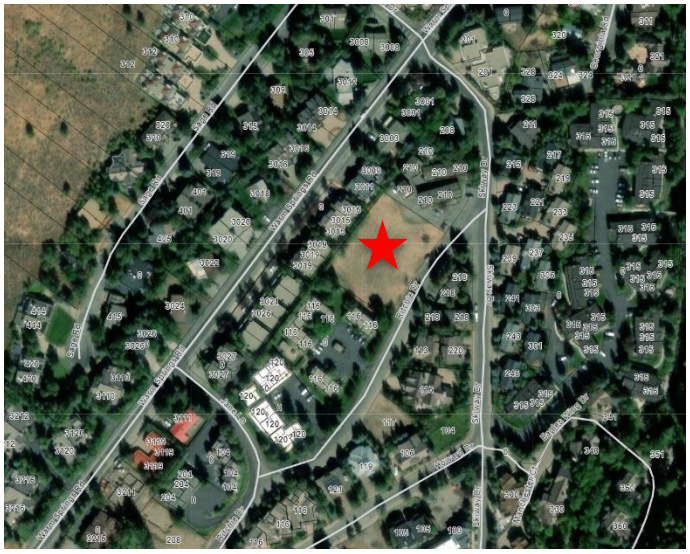

Figure 1: Subject Property

At the October 14, 2025 hearing, staff provided an overview of the proposed development and requested the Commission discuss key design elements related to the bulk and flatness of the buildings and materials of deck railings. Following staff presentation, applicant presentation, questions from the Commission and public comment, the Commission conducted deliberations and provided feedback to the applicant that the bulk and mass of the two larger buildings (Buildings 1 and 3) was not adequately mitigated through architectural treatments and requested the applicant evaluate the breaking the buildings up into two structures or evaluating other ways to continue addressing the issues with bulk and mass of the buildings.

The applicant has since further revised the project to address the comments by the Commission by breaking Buildings 1 and 3 into two separate structures. The initial proposal included for buildings, two with four units each and two with two units each. The current proposal includes a total of six buildings, each with two units. The proposed change results in the following:

Figure 2: Project Rendering

- Reduction of the total gross floor area of the buildings
- Reduction in the unit size of the units in Buildings 1 and 3
- Increase of the square footage of the open site area
- No change in building height
- No change in setbacks

The revised design drawings are included as Attachment A to this report. Attachment B includes the civil, landscape, exterior lighting and snowmelt design plans. Items in Attachment B have not been updated to reflect the revised site layout with six separate buildings but a condition of approval has been recommended to address updating of these documents. Staff have reviewed the revised project against the zoning requirements and the design review standards and believe the project to meet all applicable requirements. Staff believe that by breaking the two largest buildings into two structures, the applicant has responded to the Commissions concerns. Staff recommends the Commission approve the design review application and direct staff to return with findings of fact.

ANALYSIS

At the previous Commission hearing on October 14, 2025, staff understood the Commission's main concern was the project's compliance with design review standard 17.96.060.F.5 "Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness". As noted above, the Commission requested the applicant further evaluate was to reduce the appearance of bulk and flatness of the project, specifically buildings 1 and 3. One suggestion made by the Commission was to evaluate breaking Buildings 1 and 3 into two structures. The applicant has complied with the Commission's request and separated Buildings 1 and 3 into two structures each with just over 10 feet of separation between the buildings. Figure 4 is a rendering of the previous proposal for Building 1 and Figure 5 is a rendering of the current proposal.

Figure 4: Previous Proposal – Building 1

Figure 5: Current Proposal - Building 1

Staff believe that separation of the building adds a dimension to the project by providing a view corridor between buildings to the rest of the development and adequately breaks the façade. The building code requires a minimum five-foot separation between structures. Staff is very supportive of the proposed 10+ foot separation of structures as it allows for a clear and distinct separation, shadow casting on adjacent structures, and a clear break in the roof lines. As shown in the additional renderings in the project plans, the building separation also creates the appearance that the buildings are staggered when viewed from certain angles as shown in Figures 6 and 7 below.

Figure 6: Street View - Building 1

Figure 7: Street View - Building 1

As noted above, the landscape plan has not been updated to reflect the proposed design as the development team felt it prudent to receive feedback from the Commission prior to updating the civil and landscape plans. The square footage of open site area of the development will increase with this proposal, however, special care must be taken to thoughtfully landscape the areas between the buildings. The areas between the buildings will get sun exposure at certain times of the day and during certain times of the year. However, plant species selection will need to include drought tolerant and very hardy species to endure longer periods of shade. Staff believe that the areas between the buildings provide an opportunity for placement of mechanical equipment rather than concentrating mechanical equipment to the perimeter of the property. Staff recommends the following conditions of approval to address how the space in between the buildings should be treated:

- The landscape plan shall be revised to reflect the updated building layout and landscape treatments proposed for the space between the structures. Additional shrubs and trees shall be provided at the ends of each of the spaces to maximize sun exposure. Ground cover may include the use of limited rock or wood mulch but shall include grasses at each end of the spaces to smoothly transition to the rest of the landscaped areas.
- The applicant shall evaluate opportunities to locate ground mounted mechanical systems between buildings where feasible to minimize the placement of mechanical systems on the perimeter of the property.

These conditions will ensure the project complies with design review standards 17.96.060.D.2 and 17.96.060.I related to utilities and landscaping.

None of the proposed changes impact the development's compliance with zoning and dimensional standards.

STAFF RECOMMENDATION

The Commission has the following options:

- Continue the application to a date certain or uncertain with a request for revisions or more information.
- Approve the application

- Approve the application with conditions
- Deny the application

Staff recommend the Commission review the revised Design Review application and **approve** the application with the conditions outlined below. The Commission may delete, revise, or add to the conditions of approval based on the discussion.

1. The term of Design Review approval shall be twelve (12) months from the date that the Findings of Fact, Conclusions of Law, and Decision are adopted by the Planning and Zoning Commission or upon appeal, the date the approval is granted by the Council. Extensions may be granted per KMC 17.96.090.B.
2. This Design Review approval is based on the plans dated December 9, 2025 included as Exhibit A, and the information presented and approved at the September 9, 2025, October 14, 2025, and December 9, 2025 Planning and Zoning Commission meetings. The building permit plans must conform to the approved Design Review plans unless otherwise approved in writing by the Planning and Zoning Commission or Administrator. Any building or site discrepancies which do not conform to the approved plans will be subject to removal.
3. As a voluntary contribution, in exchange for an increase in FAR pursuant to KMC 17.124.040, a total community housing contribution of 4,081 square feet is required. A FAR Exceedance Agreement between the applicant and the City to memorialize how the community housing contribution will be met shall be reviewed and approved by City Council, signed, and recorded prior to issuance of a building permit for the project.
4. For driveways less than 18 feet in length, "No Parking" signs shall be installed on or adjacent to every driveway prior to certificate of occupancy for each building.
5. At the time of building permit, the applicant shall submit revised exterior lighting and snowmelt design plans that reflect the revised site layout with six separate buildings for review and approval by the Planning Department.
6. At time of building permit, the applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for all right-of-way improvements, including sidewalks, alley asphalt, streetlights, utilities, and drainage facilities, for final review and approval by the City Engineer, Streets Department, Utilities Department, and Planning Department. Revised civil plans shall reflect the updated building layout of six separate buildings.
7. Revised landscape plans that reflect the revised site layout with six separate buildings shall be provided for review and approval by the Planning Department prior to building permit issuance.
8. The landscape plan shall be revised to reflect the updated building layout and landscape treatments proposed for the space between the structures. Additional shrubs and trees shall be provided at the ends of each of the spaces to maximize sun exposure. Ground cover may include the use of limited rock or wood mulch but shall include grasses at each end of the spaces to smoothly transition to the rest of the landscaped areas.
9. The applicant shall evaluate opportunities to locate ground-mounted mechanical systems between buildings where it is feasible to minimize the placement of mechanical systems on the perimeter of the property.
10. Pursuant to KMC 17.125.060, the development shall provide a minimum of 6 bicycle racks, each serving two bicycles. The location and design shall be submitted, reviewed, and approved by the Planning Department prior to issuance of the first building permit.

11. The development shall utilize internal transformer locations for the development first. Street facing transformers shall only be utilized if no other alternative is feasible. All transformers shall be adequately screened from public view. Final transformer locations and screening proposals shall be reviewed and approved by the Planning Department prior to installation.
12. The grass-crete areas shown in Exhibit A shall remain clear of snow at all times. In the event snow storage cannot be accommodated by designated snow storage areas, snow shall be hauled off site to always ensure unobstructed access for fire and emergency vehicles.
13. Prior to building permit submittal, the applicant shall investigate the existence of fiber optic conduit. If none is found, the civil plans shall be revised to reflect the addition of fiber optic conduit along the subject property.
14. A preliminary plat application shall be submitted prior to building permit issuance. If the development is to be constructed in multiple phases, the preliminary plat application must include a request for a phased development agreement per KMC 16.04.110.
15. All exterior light fixtures shall be at a maximum color temperature of 2700 Kelvins.
16. All boulder retaining walls shall be set back a minimum of one foot unless authorization from adjacent property owners is provided at the time of building permit application.
17. In addition to the requirements set forth in this Design Review approval, this project shall comply with all applicable local, state, and federal laws.

Attachments:

A. Revised Architectural Plans
B. Civil, Landscape, Exterior Lighting, and Snowmelt Plans – Not Revised

City of Ketchum

ATTACHMENT A:
Revised Architectural Plans

WARM SPRINGS TOWNHOMES

DESIGN REVIEW APPLICATION / DECEMBER 9, 2025

DESCRIPTION
3-4 STORY MULTI-FAMILY RESIDENCE WITH 12 UNITS (4 BUILDINGS) WITH 23 INTERIOR, PRIVATE GARAGE PARKING SPACES. SCOPE OF WORK INCLUDES NEW CONSTRUCTION OF FOUNDATION, ERECTION OF STRUCTURE, CIVIL, LANDSCAPING, HARDSCAPING AND FINISHES.

PROJECT ADDRESS
108 / 110 RITCHIE DRIVE KETCHUM, ID 83340

APPLICABLE CODES
ALL CONSTRUCTION SHALL COMPLY WITH:
2018 INTERNATIONAL BUILDING CODE*
2018 INTERNATIONAL RESIDENTIAL CODE*
2018 INTERNATIONAL FIRE CODE WITH LOCAL AMENDMENTS*
2018 INTERNATIONAL ENERGY CONSERVATION CODE*
2018 INTERNATIONAL SWIMMING POOL AND SPA CODE
2018 INTERNATIONAL EXISTING BUILDING CODE
2018 INTERNATIONAL PROPERTY MAINTENANCE CODE
TITLE 15 KETCHUM MUNICIPAL CODE
APPENDIX M OF THE IBC AS AMENDED BY THE CITY OF KETCHUM
ALL APPLICABLE COUNTY ORDINANCES

*AS AMENDED BY THE IDAHO BUILDING CODE BOARD AND INCLUDING NOTED APPENDICES.

CONTRACTOR SHALL KEEP A COPY OF THE ABOVE CODE SECTIONS ON THE JOB SITE AT ALL TIMES.

JURISDICTIONAL AGENCY SHALL BE THE KETCHUM BUILDING DEPARTMENT.

PROJECT DATA

LOT AREA:	35,799 SF
ZONING DESIGNATION:	T-3000 (TOURIST ZONE)
OCCUPANCY:	MULTI-FAMILY (PRIVATE CONDOS)
CONSTRUCTION TYPE:	TYPE V
CLIMATE ZONE:	6

1 NTS **PROJECT DESCRIPTION**

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DRAWINGS, CALCULATIONS, GOVERNMENTAL AGENCY APPROVALS AND FEES TO COMPLETE THIS WORK. CONTRACTORS/SUBCONTRACTORS SHALL SUBMIT MECHANICAL, ELECTRICAL, COMMUNICATIONS AND PLUMBING DRAWINGS TO RO ROCKETT DESIGN FOR PREVIEW OF DEVICE TYPES, LOCATIONS AND QUANTITIES, HVAC ZONING/THERMOSTAT LOCATIONS, ETC. PRIOR TO SUBMITTING FOR PERMIT AND CONSTRUCTION.

2. THESE DOCUMENTS ARE INTENDED TO INCLUDE ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES REQUIRED TO COMPLETE ALL WORK DESCRIBED HEREIN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BRING TO THE ATTENTION OF THE ARCHITECT ANY CONDITIONS WHICH WILL NOT PERMIT CONSTRUCTION ACCORDING TO THE INTENTIONS OF THESE DOCUMENTS. IT IS THE RESPONSIBILITY OF THE ARCHITECT TO PROVIDE DETAILS AND/OR DIRECTIONS REGARDING DESIGN INTENT WHERE IT IS ALTERED BY EXISTING CONDITIONS OR WHERE NEGLECTED IN THE DOCUMENTS.

3. ANY MATERIALS PROPOSED FOR SUBSTITUTION OF THOSE SPECIFIED, OR CALLED OUT BY TRADE NAME, IN THESE DOCUMENTS SHALL BE PRESENTED TO THE ARCHITECT FOR REVIEW. THE CONTRACTOR SHALL SUBMIT SAMPLES WHEN REQUIRED BY THE ARCHITECT, AND ALL SUCH SAMPLES SHALL BE REVIEWED BY THE ARCHITECT BEFORE THE WORK IS PERFORMED. WORK MUST CONFORM TO THE REVIEWED SAMPLES. ANY WORK WHICH DOES NOT CONFORM SHALL BE REMOVED AND REPLACE WITH WORK WHICH CONFORMS AT THE CONTRACTOR'S EXPENSE. SUBCONTRACTORS SHALL SUBMIT REQUESTS AND SAMPLES FOR REVIEW THROUGH THE GENERAL CONTRACTOR WHEN WORK IS LET THROUGH HIM OR HER. REQUIRED VERIFICATIONS AND SUBMITTALS TO BE MADE IN ADEQUATE TIME AS NOT TO DELAY WORK IN PROGRESS.

4. SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR HIS OR HER REVIEW WHERE CALLED FOR ANYWHERE IN THESE DOCUMENTS. REVIEW SHALL BE MADE BY THE ARCHITECT BEFORE WORK IS BEGUN, AND WORK SHALL CONFORM TO THE REVIEWED SHOP DRAWINGS, SUBJECT TO REPLACEMENT AS REQUIRED IN PARAGRAPH "E" ABOVE.

5. DO NOT SCALE DRAWINGS. CONTRACTOR SHALL VERIFY ALL DIMENSIONAL DISCREPANCIES WITH THE ARCHITECT.

6. CONTRACTOR SHALL VERIFY AND COORDINATE ALL OPENINGS THROUGH FLOORS, CEILINGS, AND WALLS WITH ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS.

7. CONTRACTOR WILL ASSUME RESPONSIBILITY OF ITEMS REQUIRING COORDINATION AND RESOLUTION DURING THE BIDDING PROCESS.

8. BUILDING TO BE FULLY SPRINKLERED PER NFPA 13D. CONTRACTOR TO PROVIDE FIRE SPRINKLER SYSTEM DESIGN AND SHOP DRAWINGS TO COMFORM TO THESE STANDARDS.

3 NTS **PROJECT NOTES**

3 NTS **PROJECT LOCATION**

WARM SPRINGS TOWNHOMES KETCHUM, ID

OWNER:
108-110 RITCHIE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340
TEL: 603.801.0419

BUILDING ARCHITECT:
RO | ROCKETT DESIGN
1031 W. MANCHESTER BLVD. UNIT 6
INGLEWOOD, CA 90301
TEL: 213.784.0014

STRUCTURAL ENGINEER:
ZFA STRUCTURAL ENGINEERS
601 MONTGOMERY STREET SUITE 1450
SAN FRANCISCO, CA 94111
TEL: 415.243.4091

MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:
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4704 HARLAN STREET SUITE 620
DENVER, CO 80212
TEL: 720.779.3556

CIVIL ENGINEER:
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100 BELL DRIVE SUITE C
KETCHUM, ID 83340
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KETCHUM, ID 83340
TEL: 208.725.0988

ISSUE	DESCRIPTION	DATE
1	DESIGN REVIEW APP	25.09.09
2	DESIGN REVIEW APP REV	25.10.14
3	DESIGN REVIEW APP REV	25.12.09

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PROJECT:
WARM SPRINGS TOWNHOMES KETCHUM, ID
108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:
COVER SHEET

SEAL:

PROJECT NUMBER
2305

DRAWING NUMBER:
G-000

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AREA - GROSS

BLDG UNIT	AREA
1A (GARAGE)	498 SF
1A (LEVEL 01)	801 SF
1A (LEVEL 02)	1248 SF
1A (LEVEL 03)	1115 SF
	3662 SF
1B (GARAGE)	498 SF
1B (LEVEL 01)	801 SF
1B (LEVEL 02)	1248 SF
1B (LEVEL 03)	1115 SF
	3662 SF
2A (GARAGE)	498 SF
2A (LEVEL 01)	783 SF
2A (LEVEL 02)	1231 SF
2A (LEVEL 03)	1115 SF
	3626 SF
2B (GARAGE)	436 SF
2B (LEVEL 01)	571 SF
2B (LEVEL 02)	999 SF
2B (LEVEL 03)	886 SF
	2892 SF
3A (GARAGE)	572 SF
3A (LEVEL 01)	779 SF
3A (LEVEL 02)	1295 SF
3A (LEVEL 03)	1184 SF
	3830 SF
3B (GARAGE)	572 SF
3B (LEVEL 01)	779 SF
3B (LEVEL 02)	1295 SF
3B (LEVEL 03)	1184 SF
	3830 SF
4A (GARAGE)	422 SF
4A (LEVEL 01)	761 SF
4A (LEVEL 02)	1112 SF
4A (LEVEL 03)	888 SF
	3183 SF
4B (GARAGE)	422 SF
4B (LEVEL 01)	703 SF
4B (LEVEL 02)	1054 SF
4B (LEVEL 03)	830 SF
	3008 SF
5A (GARAGE)	390 SF
5A (LEVEL 01)	660 SF
5A (LEVEL 02)	929 SF
5A (LEVEL 03)	769 SF
	2748 SF
5B (GARAGE)	296 SF
5B (LEVEL 01)	535 SF
5B (LEVEL 02)	780 SF
5B (LEVEL 03)	609 SF
	2220 SF
6A (GARAGE)	475 SF
6A (LEVEL 01)	703 SF
6A (LEVEL 02)	1111 SF
6A (LEVEL 03)	859 SF
	3148 SF
6B (GARAGE)	475 SF
6B (LEVEL 01)	703 SF
6B (LEVEL 02)	1112 SF
6B (LEVEL 03)	859 SF
	3149 SF
TOTAL	38957 SF

WARM SPRINGS TOWNHOMES KETCHUM, ID

OWNER:

108-110 RITCHIE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340
TEL: 603.801.0419

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KETCHUM, ID 83340
TEL: 208.726.9512

LANDSCAPE ARCHITECT:

EGGERS ASSOCIATES
560 NORTH 2ND AVENUE
KETCHUM, ID 83340
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PROJECT:

WARM SPRINGS TOWNHOMES KETCHUM, ID

108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:

SITE PLAN - BUILDING AREAS

SEAL:

PROJECT NUMBER

2305

DRAWING NUMBER:

A-000

1 | 1/8" = 1'-0" | **SITE PLAN - BUILDING INFORMATION AREAS**

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ZONING

T-3000 ZONING DISTRICT

FAR OF 1.6 MAX, WITH INCLUSIONARY HOUSING INCENTIVE

SETBACKS

FRONT: 15'-0"

SIDE: THE GREATER OF 1' FOR EVERY 3' OF BLDG HT, OR 5'

REAR: THE GREATER OF 1' FOR EVERY 3' OF BLDG HT, OR 5'

THE PROPOSED DEVELOPMENT HAS A 15' SETBACK ALONG RITCHIE DRIVE, AND 11'-8" SIDE AND REAR AS REQUIRED BY 35'-0" BLDG HEIGHTS.

HEIGHT LIMIT

FOR ROOF PITCHES 5:12 AND UNDER = 35'-0"

CODE REQUIREMENT: PARKING

17.125.040 - OFF STREET PARKING AND LOADING CALCULATIONS
A. COMPUTATIONAL RULES. THE FOLLOWING RULES APPLY WHEN COMPUTING OFF STREET PARKING AND LOADING REQ.
3. AREA MEASUREMENTS.
-UNLESS OTHERWISE SPECIFICALLY NOTED, RESIDENTIAL PARKING REQUIREMENTS FOR ALL SQUARE FOOTAGE BASED PARKING AND LOADING STANDARDS SHALL BE COMPUTED ON THE INTERIOR SQUARE FOOTAGE OF EACH RESIDENTIAL UNIT, MEASURED BETWEEN THE INTERIOR WALLS OF THE UNIT.

B. OFF STREET PARKING MATRIX.
2. RESIDENTIAL MULTIP-FAMILY DWELLING WITHIN THE COMMUNITY CORE (CC) DISTRICT AND THE TOURIST (T), TOURIST 3000 (T-3000), AND TOURIST 4000 (T-4000)
-UNITS 751 SF TO 2,000 SF - 1 PARKING SPACE
-UNITS 2,001 SF AND ABOVE - 2 PARKING SPACES

THE PROPOSED DEVELOPMENT INCLUDES 23 TOTAL INTERIOR PARKING SPACES.

-UNIT 1A NET SF = 4,061 SF (2 PARKING SPACES)
-UNIT 1B NET SF = 4,061 SF (2 PARKING SPACES)
-UNIT 2A NET SF = 3,998 SF (2 PARKING SPACES)
-UNIT 2B NET SF = 3,136 SF (2 PARKING SPACES)
-UNIT 3A NET SF = 4,237 SF (2 PARKING SPACES)
-UNIT 3B NET SF = 4,237 SF (2 PARKING SPACES)
-UNIT 4A NET SF = 2,514 SF (2 PARKING SPACES)
-UNIT 4B NET SF = 2,247 SF (2 PARKING SPACES)
-UNIT 5A NET SF = 2,160 SF (2 PARKING SPACES)
-UNIT 5B NET SF = 1,743 SF (1 PARKING SPACE)
-UNIT 6A NET SF = 2,412 SF (2 PARKING SPACES)
-UNIT 6B NET SF = 2,412 SF (2 PARKING SPACES)

CODE REQUIREMENT: SIDEWALKS

12.04.030 DESIGN CRITERIA. M. SIDEWALKS, CURB AND GUTTER.
6. SIDEWALKS SHALL BE FIVE FEET WIDE, EXCEPT SPECIFICALLY AS FOLLOWS, IN ORDER TO ACCOMMODATE HEAVY PEDESTRIAN CIRCULATION: SUN VALLEY ROAD AND MAIN STREET WITHIN THE COMMUNITY CORE ZONING DISTRICT (CC), AS DEFINED IN TITLE 17 OF THIS CODE, SHALL BE EIGHT FEET IN WIDTH; AND SKYWAY DRIVE, LLOYD DRIVE, GATES ROAD, RITCHIE DRIVE AND HOWARD DRIVE SHALL BE DEVEN FEET IN WIDTH, UNLESS OTHERWISE REQUIRED OR APPROVED BY THE CITY COUNCIL.

THE PROPOSED DEVELOPMENT INCLUDES A 7'-0" WIDE SIDEWALK ALONG THE LOT LINE THAT IS ADJACENT TO RITCHE DRIVE WITHIN THE R.O.W.

WARM SPRINGS TOWNHOMES KETCHUM, ID

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108-110 RITCHIE LLC
P.O. BOX 14001-174
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WARM SPRINGS TOWNHOMES KETCHUM, ID

108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:

SITE PLAN - BUILDING CODES

SEAL:

PROJECT NUMBER

2305

DRAWING NUMBER:

A-001

1 | 1/8" = 1'-0" | **SITE PLAN - BUILDING INFORMATION**

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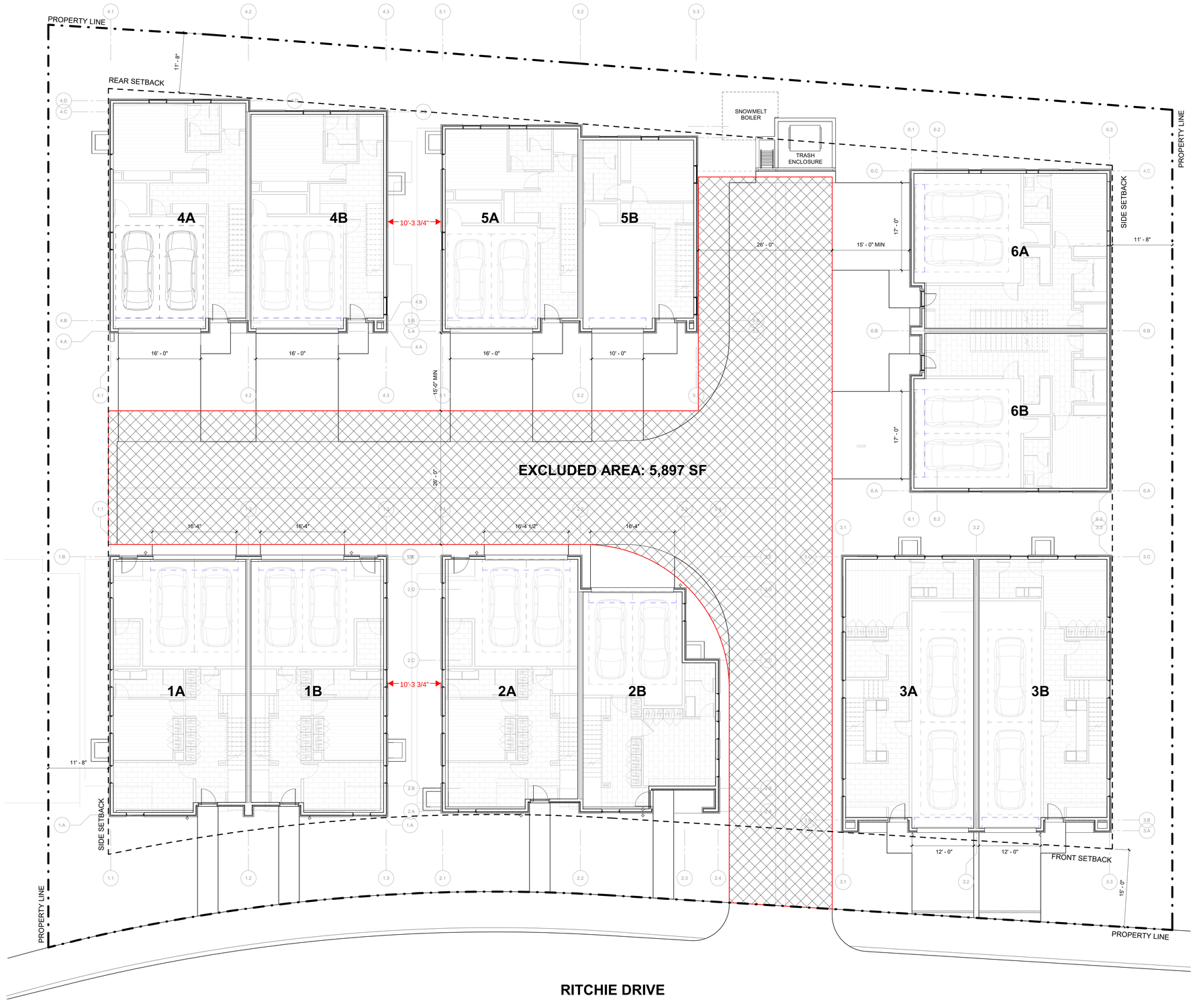

CODE REQUIREMENT: FAR

17.124.040 - FLOOR AREA RATIOS AND COMMUNITY HOUSING
A. GENERAL REQUIREMENTS. ALL NEW BUILDINGS AND ALTERNATIONS TO EXISTING BUILDINGS IN THE GR-H, T, T-3000, T-4000, AND CC ZONING DISTRICTS, UNLESS OTHERWISE SPECIFIED IN THIS TITLE, SHALL BE SUBJECT TO THE MAXIMUM FLOOR AREA RATIO (FAR) DESCRIBED BELOW.

T-3000 (TOURIST ZONE)
PERMITTED GROSS FAR: 0.5
INCLUSIONARY HOUSING INCENTIVE: 1.6

17.08.020 - TERMS DEFINED
FLOOR AREA RATIO OR FAR: THE PRODUCT OF THE FLOOR AREA DIVIDED BY THE LOT AREA (EXAMPLE: 2,750 SF FLOOR AREA / 5,500 SF LOT AREA = 0.5 FAR)

LOT AREA: THE AREA WITHIN THE BOUNDRIES OF A LOT, EXCLUSIVE OF ANY OF THE AREA CONTAINED WITHIN A PUBLIC OR PRIVATE STREET, ALLEY, FIRE LANE OR PRIVATE DRIVEWAY EASEMENT.

THE PROPOSED DEVELOPMENT HAS A LOT AREA OF 35,799 SF, A PRIVATE STREET AND FIRE LANE EXCLUSIONARY AREA OF 5,897 SF AND A TOTAL GROSS BUILDING AREA OF 41,003 SF.

TOTAL LOT AREA: 35,799 SF

TOTAL EXCLUDED AREA: 5,897 SF

REVISED LOT AREA: 29,902 SF

ALLOWABLE AREA (0.5): 14,951 SF

ALLOWABLE AREA (1.6): 47,843.20 SF

PROPOSED FLOOR AREA: 38,957.00 SF (FAR: 1.37 - *COMPLIANT*)

CODE REQUIREMENT: DENSITY

17.124.180 - MINIMUM RESIDENTIAL DENSITIES AND COMMERCIAL REQUIREMENTS
A. GENERAL REQUIREMENTS. NEW DEVELOPMENT PROJECTS OR EXPANSIONS OF EXISTING BUILDINGS THAT EXCEED A TOTAL FLOOR AREA RATIO OF 0.5 FAR IN THE T, T-3000, T-4000, AND GR-H ZONING DISTRICTS MUST PROVIDE A MINIMUM NUMBER OF RESIDENTIAL UNITS AS FOLLOWS:

T-3000 (TOURIST ZONE)
4 UNITS / 10,000 SF OF LOT AREA

THE PROPOSED DEVELOPMENT IS REQUIRED TO HAVE A MINIMUM OF 12 UNITS.

TOTAL LOT AREA: 35,799 SF

TOTAL EXCLUDED AREA: 5,897 SF

REVISED LOT AREA: 29,902 SF

29,902 SF / 10,000 SF = 2.9902

2.9902 X 4 UNITS = 12 UNITS (11.96)

WARM SPRINGS TOWNHOMES KETCHUM, ID

OWNER:

108-110 RITCHIE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340
TEL: 603.801.0419

BUILDING ARCHITECT:

RO | ROCKETT DESIGN
1031 W. MANCHESTER BLVD. UNIT 6
INGLEWOOD, CA 90301
TEL: 213.784.0014

STRUCTURAL ENGINEER:

ZFA STRUCTURAL ENGINEERS
601 MONTGOMERY STREET SUITE 1450
SAN FRANCISCO, CA 94111
TEL: 415.243.4091

MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:

PROFICIENT ENGINEERING
4704 HARLAN STREET SUITE 620
DENVER, CO 80212
TEL: 720.779.3556

CIVIL ENGINEER:

GALENA BENCHMARK ASSOCIATES
100 BELL DRIVE SUITE C
KETCHUM, ID 83340
TEL: 208.726.9512

LANDSCAPE ARCHITECT:

EGGERS ASSOCIATES
560 NORTH 2ND AVENUE
KETCHUM, ID 83340
TEL: 208.725.0988

ISSUE	DESCRIPTION	DATE
1	DESIGN REVIEW APP	25.09.09
2	DESIGN REVIEW APP REV	25.10.14

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PROJECT:
WARM SPRINGS TOWNHOMES KETCHUM, ID
108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:
SITE PLAN - BUILDING FAR & DENSITY

SEAL:

PROJECT NUMBER
2305

DRAWING NUMBER:
A-002

1 | 1/8" = 1'-0" | **SITE PLAN - BUILDING INFORMATION B**

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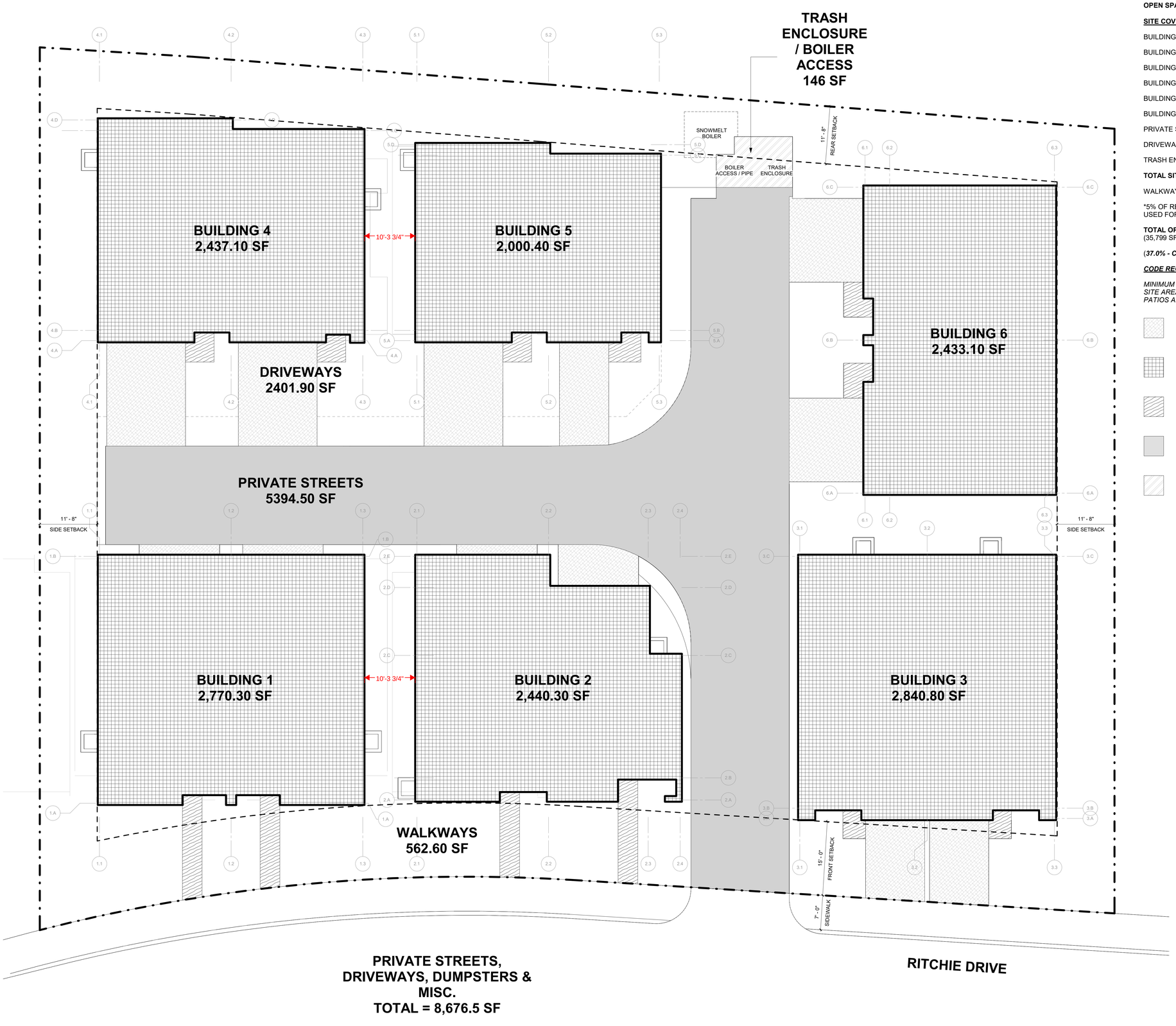

LOT AREA:	**35,799.00 SF**
OPEN SPACE REQ (35% LOT AREA):	**12,529.65 SF**
SITE COVERAGE AREAS:	
BUILDING 1:	2,770.30 SF
BUILDING 2:	2,440.30 SF
BUILDING 3:	2,840.80 SF
BUILDING 4:	2,437.10 SF
BUILDING 5:	2,000.40 SF
BUILDING 6:	2,433.10 SF
PRIVATE STREETS:	5,394.50 SF
DRIVEWAYS:	2,401.90 SF
TRASH ENCLOSURE / BOILER ACCESS:	146.0 SF
TOTAL SITE COVERAGE:	**22,864.40 SF**
WALKWAY AREA:	562.60 SF*

*5% OF REQ OPEN SPACE (12,529.65 SF)
USED FOR WALKWAYS ALLOWABLE = 626.48 SF

TOTAL OPEN SPACE AREA: **12,934.60 SF**
(35,799 SF LOT AREA - 22,864.40 SF SITE COVERAGE)

(***37.0% - COMPLIANT***, *404.95 SF SURPLUS*)

CODE REQUIREMENT: OPEN SPACE

MINIMUM OPEN SPACE: 35% (A MAXIMUM OF 5% OPEN SITE AREA MAY BE USED FOR PRIVATE DECKS OR PATIOS AND WALKWAYS SUBJECT TO DESIGN REVIEW).

DRIVEWAYS

BUILDINGS

WALKWAYS

PRIVATE STREETS

TRASH ENCLOSURE

WARM SPRINGS TOWNHOMES KETCHUM, ID

OWNER:

108-110 RITCHIE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340
TEL: 603.801.0419

BUILDING ARCHITECT:

RO | ROCKETT DESIGN
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INGLEWOOD, CA 90301
TEL: 213.784.0014

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ISSUE	DESCRIPTION	DATE
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3	DESIGN REVIEW APP REV	25.12.09

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PROJECT:
WARM SPRINGS TOWNHOMES KETCHUM, ID
108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:
SITE PLAN - OPEN SPACE

SEAL:

PROJECT NUMBER
2305

DRAWING NUMBER:
A-003

1 | 1/8" = 1'-0" | **SITE - LEVEL 1 - OPEN SPACE**

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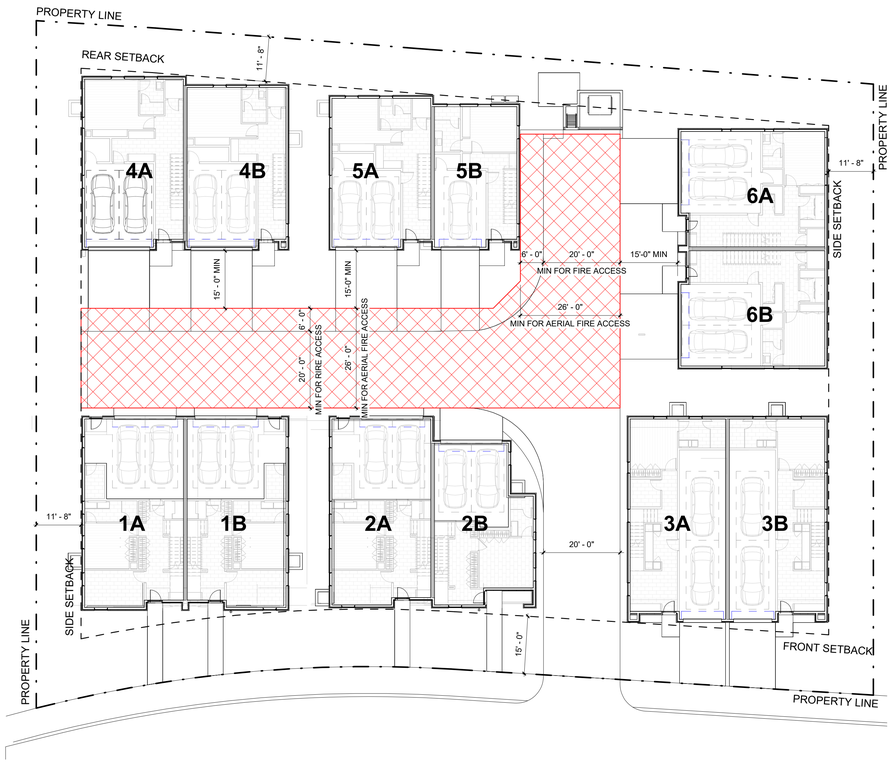

CODE REQUIREMENT: FIRE ACCESS

APPENDIX D OF 2018 IFC, SECTION D105 - AERIAL FIRE APPARATUS ACCESS ROADS
D105.1 - WHERE THE VERTICAL DISTANCE BETWEEN THE GRADE PLANE AND THE HIGHEST ROOF SURFACE EXCEEDS 30 FEET, APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED. FOR PURPOSES OF THIS SECTION, THE HIGHEST ROOF SURFACE SHALL BE DETERMINED BY MEASUREMENT TO THE EAVE OF A PITCHED ROOF, THE INTERSECTION OF THE ROOF TO EXTERIOR WALL, OR THE TOP OF PARAPET WALLS, WHICHEVER IS GREATER.

D105.2 - AERIAL FIRE APPARATUS ACCESS ROADS SHALL HAVE A MINIMUM UNOBSTRUCTED WIDTH OF 26 FEET, EXCLUSIVE OF SHOULDERS, IN THE IMMEDIATE VICINITY OF THE BUILDING OR PORTION THEREOF.

D105.3 - ONE OR MORE OF THE REQUIRED ACCESS ROUTES MEETING THIS CONDITION SHALL BE LOCATED NOT LESS THAN 15 FEET AND NOT GREATER THAN 30 FEET FROM THE BUILDING AND SHALL BE POSITIONED PARALLEL TO ONE ENTIRE SIDE OF THE BUILDING. THE SIDE OF THE BUILDING ON WHICH THE AERIAL FIRE APPARATUS ACCESS ROAD IS POSITIONED SHALL BE APPROVED BY THE FIRE CODE OFFICIAL.

THE PROPOSED DEVELOPMENT HAS A 20 FOOT WIDE PRIVATE ROAD THAT WOULD PROVIDE ACCESS TO THE INTERIOR OF THE SITE AND A DESIGNATED 20 FOOT WIDE PORTION OF THE ROAD FOR AERIAL FIRE ACCESS TO BUILDING 3 AND 4. ADDITIONALLY, BUILDING 3 AND 4 ARE SETBACK 15 FEET FROM THE EDGE OF THE FIRE ACCESS ROAD.

1 | 1/16" = 1'-0" | **SITE PLAN - FIRE ACCESS REQUIREMENTS**

CODE REQUIREMENT: SNOWMELT

SNOWMELT

SNOW STORAGE

GRASS-CRETE PAVERS

H. SNOW STORAGE
1 - SNOW STORAGE AREAS SHALL NOT BE LESS THAN THIRTY PERCENT (30%) OF THE IMPROVED PARKING AND PEDESTRIAN CIRCULATION AREAS.
2 - SNOW STORAGE AREAS SHALL BE PROVIDED ON SITE.
3 - A DESIGNATED SNOW STORAGE AREA SHALL NOT HAVE ANY DIMENSION LESS THAN FIVE FEET (5') AND SHALL BE A MINIMUM OF TWENTY FIVE SQUARE FEET (25 SF)
4 - IN LIEU OF PROVIDING SNOW STORAGE AREAS, SNOWMELT AND HAULING OF SNOW MAY BE ALLOWED.

THE PROPOSED DEVELOPMENT WILL PROVIDE SITE SNOWMELT FOR ALL DRIVEWAYS, PATHWAYS, AND PRIVATE ROADS. SNOWMELT BOILER EQUIPMENT WILL BE SUBGRADE, LOCATED AT THE END OF THE PRIVATE ROAD AND SCREENED FROM VIEW OF NEIGHBORS. SEE MEP FOR DETAILED SNOWMELT PLANS.

THERE IS 638 SF OF GRASS-CRETE SCHEDULED FOR FIRE ACCESS THAT WILL NOT HAVE SNOWMELT. THESE AREAS WILL BE SHOVELED AND AN ADDITIONAL 966 SF OF SNOW STORAGE HAS BEEN DESIGNATED ON SITE.

2 | 1/16" = 1'-0" | **SITE PLAN - SNOWMELT**

WARM SPRINGS TOWNHOMES KETCHUM, ID

OWNER:

108-110 RITCHIE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340
TEL: 603.801.0419

BUILDING ARCHITECT:

RO | ROCKETT DESIGN
1031 W. MANCHESTER BLVD. UNIT 6
INGLEWOOD, CA 90301
TEL: 213.784.0014

STRUCTURAL ENGINEER:

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601 MONTGOMERY STREET SUITE 1450
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TEL: 415.243.4091

MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:

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CIVIL ENGINEER:

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100 BELL DRIVE SUITE C
KETCHUM, ID 83340
TEL: 208.726.9512

LANDSCAPE ARCHITECT:

EGGERS ASSOCIATES
560 NORTH 2ND AVENUE
KETCHUM, ID 83340
TEL: 208.725.0988

ISSUE	DESCRIPTION	DATE
1	DESIGN REVIEW APP	25.09.09
2	DESIGN REVIEW APP REV	25.10.14
3	DESIGN REVIEW APP REV	25.12.09

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PROJECT:
WARM SPRINGS TOWNHOMES KETCHUM, ID
108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:
SITE PLAN - FIRE ACCESS & SNOWMELT

SEAL:

PROJECT NUMBER
2305

DRAWING NUMBER:
A-004

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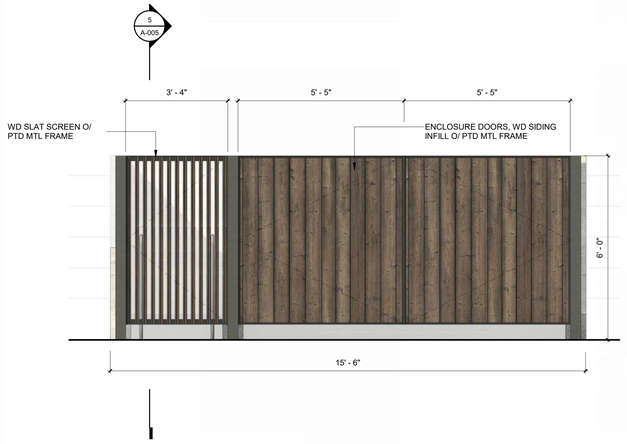
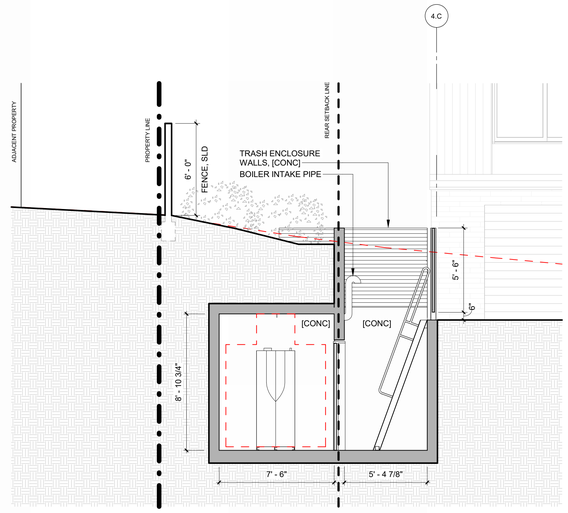
MEDIUM BROWN WOOD SIDING TO MATCH BUILDING SIDING MATERIAL

DARK PAINTED METAL STRUCTURE



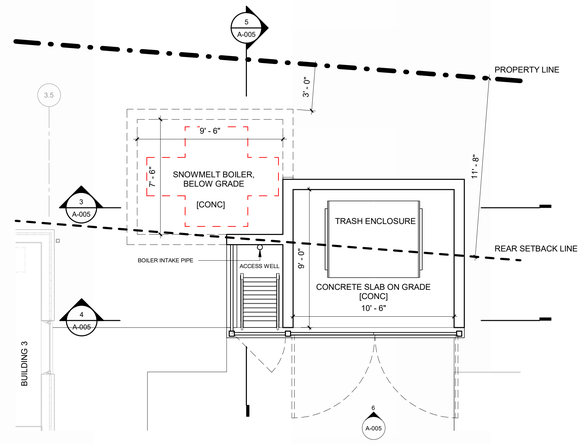
6 | 1/2" = 1'-0" | **DUMPSTER ENCLOSURE / ELEVATION - EAST**



5 | 1/4" = 1'-0" | **DUMPSTER ENCLOSURE / SECTION - EW**

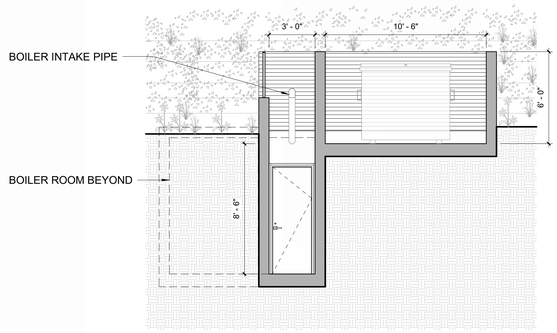
NOTE

SCREENED TRASH ENCLOSURE WITH SNOWMELT BOILER ROOM. BOILER LOCATED FULLY SUBGRADE AND NOT VISIBLE. TRASH ENCLOSURE SLAB AND ACCESS WELL SCHEDULED TO BE SNOWMELTED TO ALLOW CLEAR ACCESS IN WINTER.

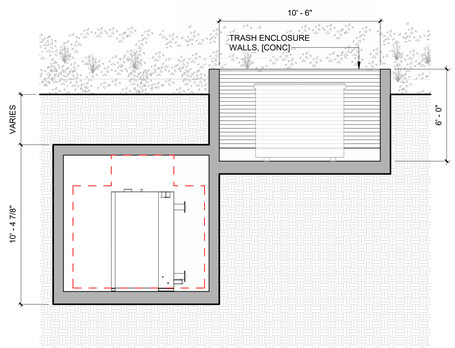


2 | 1/4" = 1'-0" | **DUMPSTER ENCLOSURE - ENLARGED FLOOR PLAN**

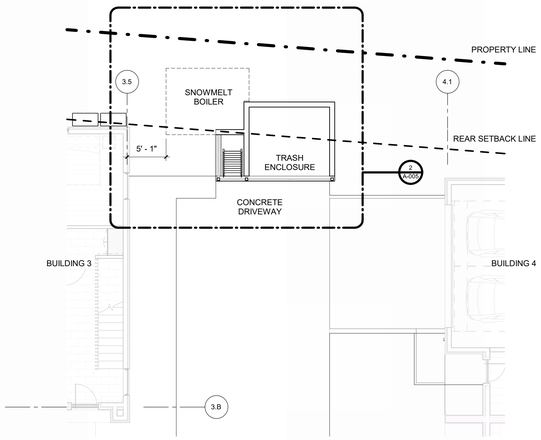
RENDERING OF DUMPSTER ENCLOSURE - FRONT



4 | 1/4" = 1'-0" | **DUMPSTER ENCLOSURE / SECTION - NS A**



3 | 1/4" = 1'-0" | **DUMPSTER ENCLOSURE / SECTION - NS B**



1 | 1/8" = 1'-0" | **DUMPSTER ENCLOSURE - FLOOR PLAN**

WARM SPRINGS TOWNHOMES KETCHUM, ID

OWNER:

108-110 RITCHIE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340
TEL: 603.801.0419

BUILDING ARCHITECT:

RO | ROCKETT DESIGN
1031 W. MANCHESTER BLVD. UNIT 6
INGLEWOOD, CA 90301
TEL: 213.784.0014

STRUCTURAL ENGINEER:

ZFA STRUCTURAL ENGINEERS
601 MONTGOMERY STREET SUITE 1450
SAN FRANCISCO, CA 94111
TEL: 415.243.4091

MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:

PROFICIENT ENGINEERING
4704 HARLAN STREET SUITE 620
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TEL: 720.779.3556

CIVIL ENGINEER:

GALENA BENCHMARK ASSOCIATES
100 BELL DRIVE SUITE C
KETCHUM, ID 83340
TEL: 208.726.9512

LANDSCAPE ARCHITECT:

EGGERS ASSOCIATES
560 NORTH 2ND AVENUE
KETCHUM, ID 83340
TEL: 208.725.0988

ISSUE	DESCRIPTION	DATE
1	DESIGN REVIEW APP	25.09.09
2	DESIGN REVIEW APP REV	25.10.14

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PROJECT:

WARM SPRINGS TOWNHOMES KETCHUM, ID

108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:

SNOWMELT VAULT & DUMPSTER DETAILS

SEAL:

PROJECT NUMBER

2305

DRAWING NUMBER:

A-005

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CLEAR CREEK DISPOSAL

PO Box 130 • Ketchum, ID 83340 • Phone 208.726.9600 • www.ccdisposal.com

June 14, 2024

Planning & Zoning
City of Ketchum
P O Box 2315
Ketchum, ID 83340

Via email:

Re: 108 Richie Drive

To whom It May Concern,

Please consider this letter as a will serve for the above address. Attached to this email are plans for a 12-unit townhome project to be built. When built according to the plans the enclosure is ample for a dumpster to service the project.

Conditions that will need to be maintained:

- Snow and Ice removal to and inside of the enclosure
- Access to the enclosure and the turn around area for egress
- Gates maintained in working order

Multiple pickup days may be necessary to accommodate the amount of waste generated depending on type(s) of occupancy.

Respectfully,

Mike Goitiandia
Clear Creek Disposal

.108 Richie Drive

CLEAR CREEK DISPOSAL

1 | NTS | CLEAR CREEK DISPOSAL WILL SERVE LETTER

INTERMOUNTAIN® GAS COMPANY

451 Alan Dr. Jerome Idaho 83338 • (208) 737-6300 FAX (208)737-6342
www.intgas.com

Presidio Vista Properties
Hank Moore
Senior Development Manager
603-801-0419
hank@presidiovistaproperties.com

May 13, 2024

RE: 108 & 110 Richie Dr., Ketchum Idaho 83340. Lots 3 & 4 Warm Springs Village Subdivision. County of Blaine.

This letter is to serve as verification of the availability of natural gas currently to the above referenced project in Ketchum, Idaho.

The total estimated cost of extending our natural gas infrastructure and satisfying current tariffs to serve the above entity is the responsibility of the contractor/ owner of said project and must be paid in advance of construction.

Extensions of our natural gas mains and services will be provided and installed in accordance with our current tariffs, guidelines, policies and provisions on file with the Idaho Public Utilities Commission.

If you need further information regarding this project, please call me at 208-737-6314.

Sincerely,

Lance D. McBride

Lance D. McBride
Energy Services Representative Sr.
lance.mcbride@intgas.com
208-737-6314

1 | NTS | INTERMOUNTAIN GAS COMPANY WILL SERVE LETTER

Hank Moore

From: Bennett, Cheryl <CBennett2@idahopower.com>
Sent: Friday, May 17, 2024 10:27 AM
To: Hank Moore
Cc: Erik de Bruijn
Subject: Will Serve Email

Hank and Erik,

You can provide this email to the city of Ketchum for your application:

I have reviewed the proposed project by Presidio Vista Properties for 12 luxury townhomes on Ritchie Drive.

As this is in the preliminary stages, I have not finalized my design on the project. The proposed transformer locations may work, but I'll have to review when I get into my design phase. I have indicated where they may also be placed depending on the voltage drop, once I get into it. Additionally, we need 10' of clearance to the front of the transformers for safe electrical operation. They can be landscaped on side and rear, no matter where they are placed. We do have primary power on Ritchie Drive, but again, until I start my design, I will not know if I need another device to pick it up (sector) and/or have to cross Ritchie Drive to get to it.

Once the customer makes formal application for design the company will provide electrical service to the project subject to obtaining of any required easements, rights of way, and in compliance with the statues of the State of Idaho and the tariffs of the company on file with the Idaho Public Utilities Commission (PUC), in particular, the General Rules and Regulations, covering new service attachments and distribution line installations or alterations. The tariff is subject to change from time to time upon approval by the Idaho PUC.

Below is the initial review I have made. Please let me know if you have additional questions or comments.

1 | NTS | IDAHO POWER WILL SERVE LETTER

WARM SPRINGS TOWNHOMES KETCHUM, ID

OWNER:

108-110 RITCHIE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340
TEL: 603.801.0419

BUILDING ARCHITECT:

RO | ROCKETT DESIGN
1031 W. MANCHESTER BLVD. UNIT 6
INGLEWOOD, CA 90301
TEL: 213.784.0014

STRUCTURAL ENGINEER:

ZFA STRUCTURAL ENGINEERS
601 MONTGOMERY STREET SUITE 1450
SAN FRANCISCO, CA 94111
TEL: 415.243.4091

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TEL: 208.726.9512

LANDSCAPE ARCHITECT:

EGGERS ASSOCIATES
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KETCHUM, ID 83340
TEL: 208.725.0988

ISSUE	DESCRIPTION	DATE
1	DESIGN REVIEW APPLICATION	25.09.09

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PROJECT:
WARM SPRINGS TOWNHOMES KETCHUM, ID
108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:
WILL SERVE LETTERS

SEAL:

PROJECT NUMBER
2305

DRAWING NUMBER:
A-006

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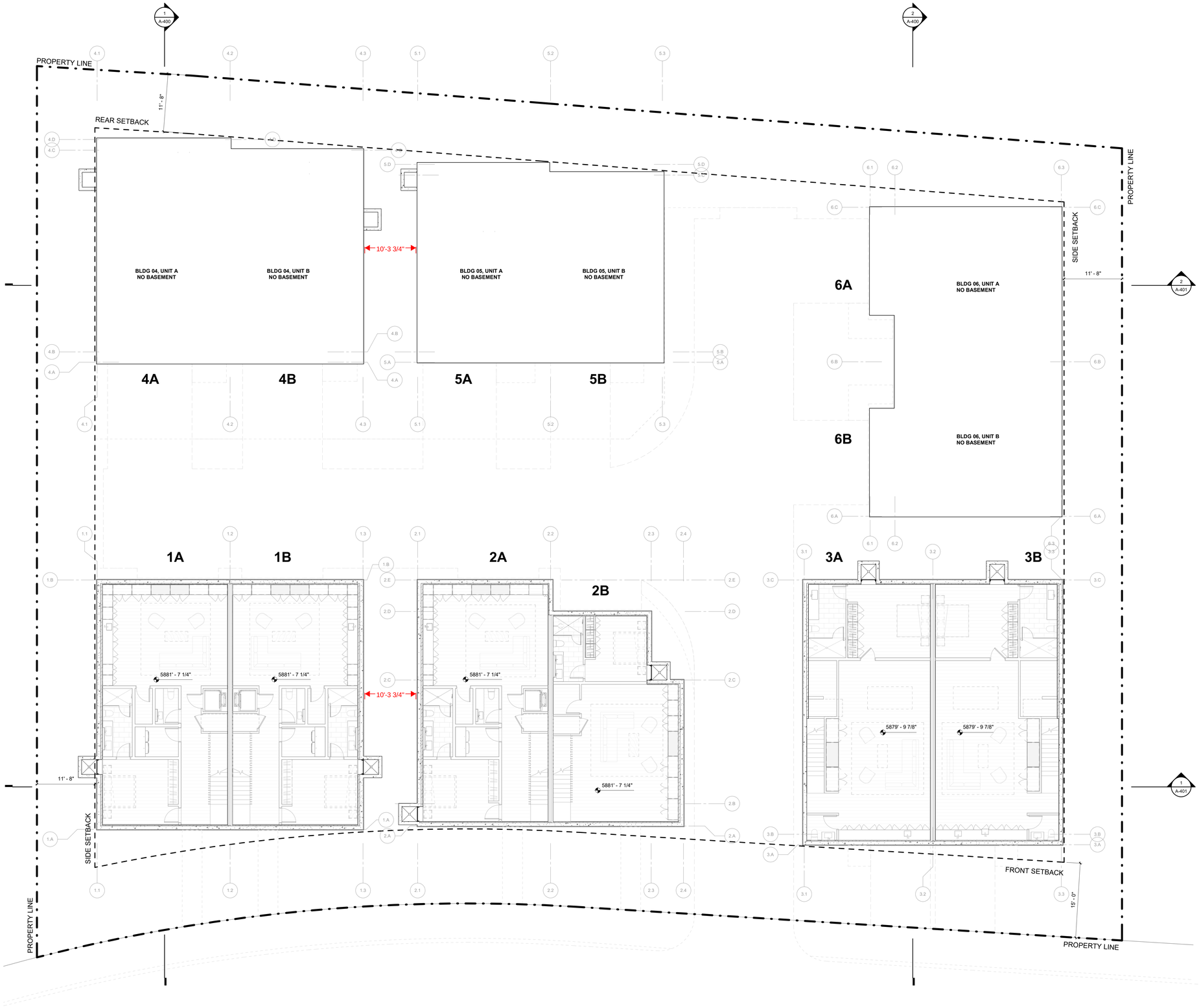

WARM SPRINGS TOWNHOMES KETCHUM, ID

OWNER:

108-110 RITCHIE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340
TEL: 603.801.0419

BUILDING ARCHITECT:

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PROJECT:

WARM SPRINGS TOWNHOMES KETCHUM, ID

108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:

LEVEL 00 OVERALL FLOOR PLAN

SEAL:

PROJECT NUMBER

2305

DRAWING NUMBER:

A-100

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1	1/8" = 1'-0"	**OVERALL PLAN - LEVEL 0**

NOTES:
1. "NO PARKING" SIGNS SHALL BE POSTED FOR ANY DRIVEWAY THAT DOES NOT MEET THE DIMENSIONAL STANDARDS FOR PARKING (9' W x 18' L)

WARM SPRINGS TOWNHOMES KETCHUM, ID

OWNER:

108-110 RITCHIE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340
TEL: 603.801.0419

BUILDING ARCHITECT:

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STRUCTURAL ENGINEER:

ZFA STRUCTURAL ENGINEERS
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MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:

PROFICIENT ENGINEERING
4704 HARLAN STREET SUITE 620
DENVER, CO 80212
TEL: 720.779.3556

CIVIL ENGINEER:

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TEL: 208.726.9512

LANDSCAPE ARCHITECT:

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TEL: 208.725.0988

ISSUE	DESCRIPTION	DATE
1	DESIGN REVIEW APP	25.09.09
2	DESIGN REVIEW APP REV	25.10.14
3	DESIGN REVIEW APP REV	25.12.09

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PROJECT:

WARM SPRINGS TOWNHOMES KETCHUM, ID

108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:

LEVEL 01 OVERALL FLOOR PLAN

SEAL:

PROJECT NUMBER

2305

DRAWING NUMBER:

A-101

1 | 1/8" = 1'-0" | **OVERALL PLAN - LEVEL 01**

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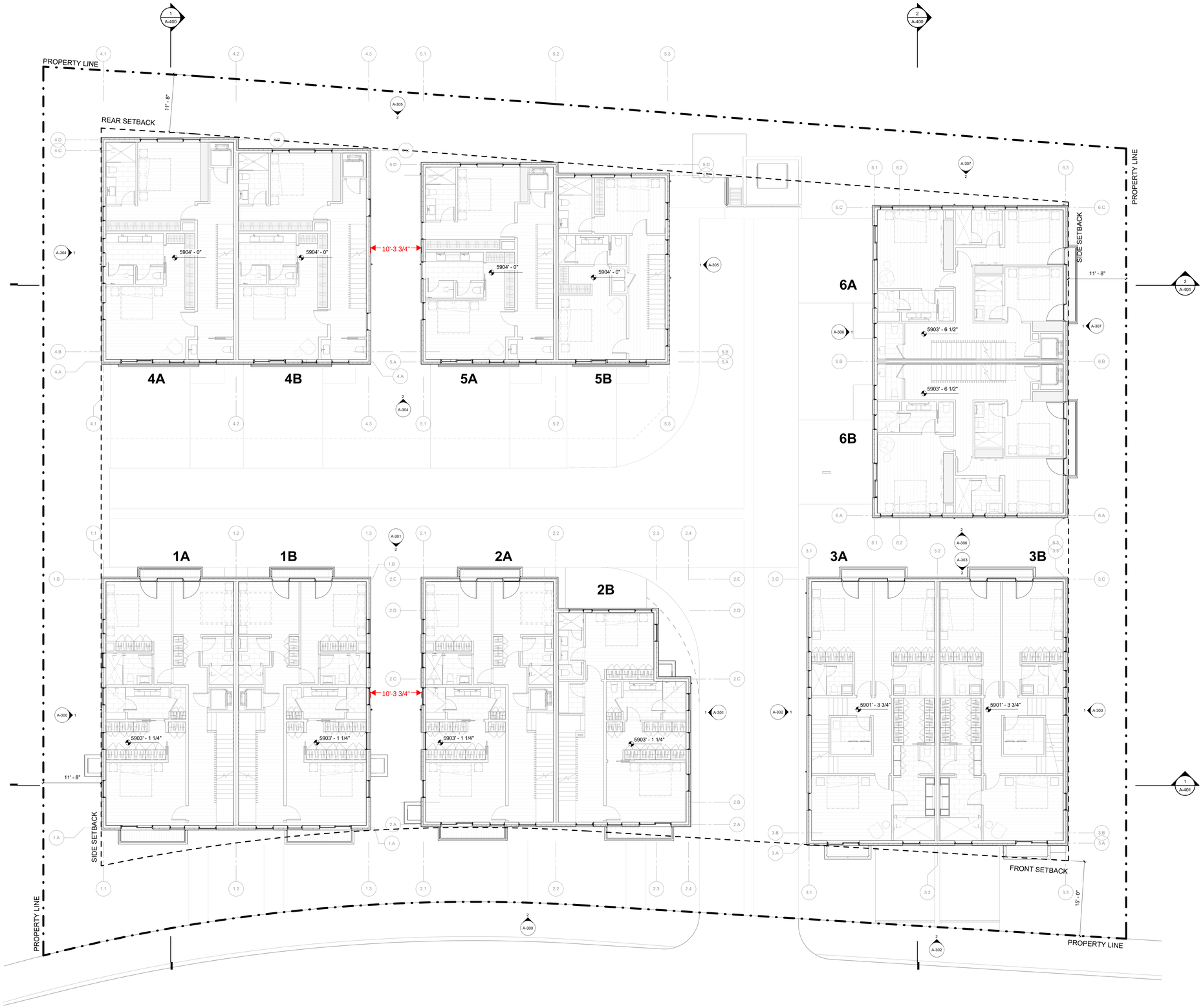

WARM SPRINGS TOWNHOMES KETCHUM, ID

OWNER:

108-110 RITCHIE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340
TEL: 603.801.0419

BUILDING ARCHITECT:

RO | ROCKETT DESIGN
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INGLEWOOD, CA 90301
TEL: 213.784.0014

STRUCTURAL ENGINEER:

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PROJECT:

WARM SPRINGS TOWNHOMES KETCHUM, ID

108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:

LEVEL 02 OVERALL FLOOR PLAN

SEAL:

PROJECT NUMBER

2305

DRAWING NUMBER:

A-102

1 | 1/8" = 1'-0" | **OVERALL PLAN - LEVEL 02**

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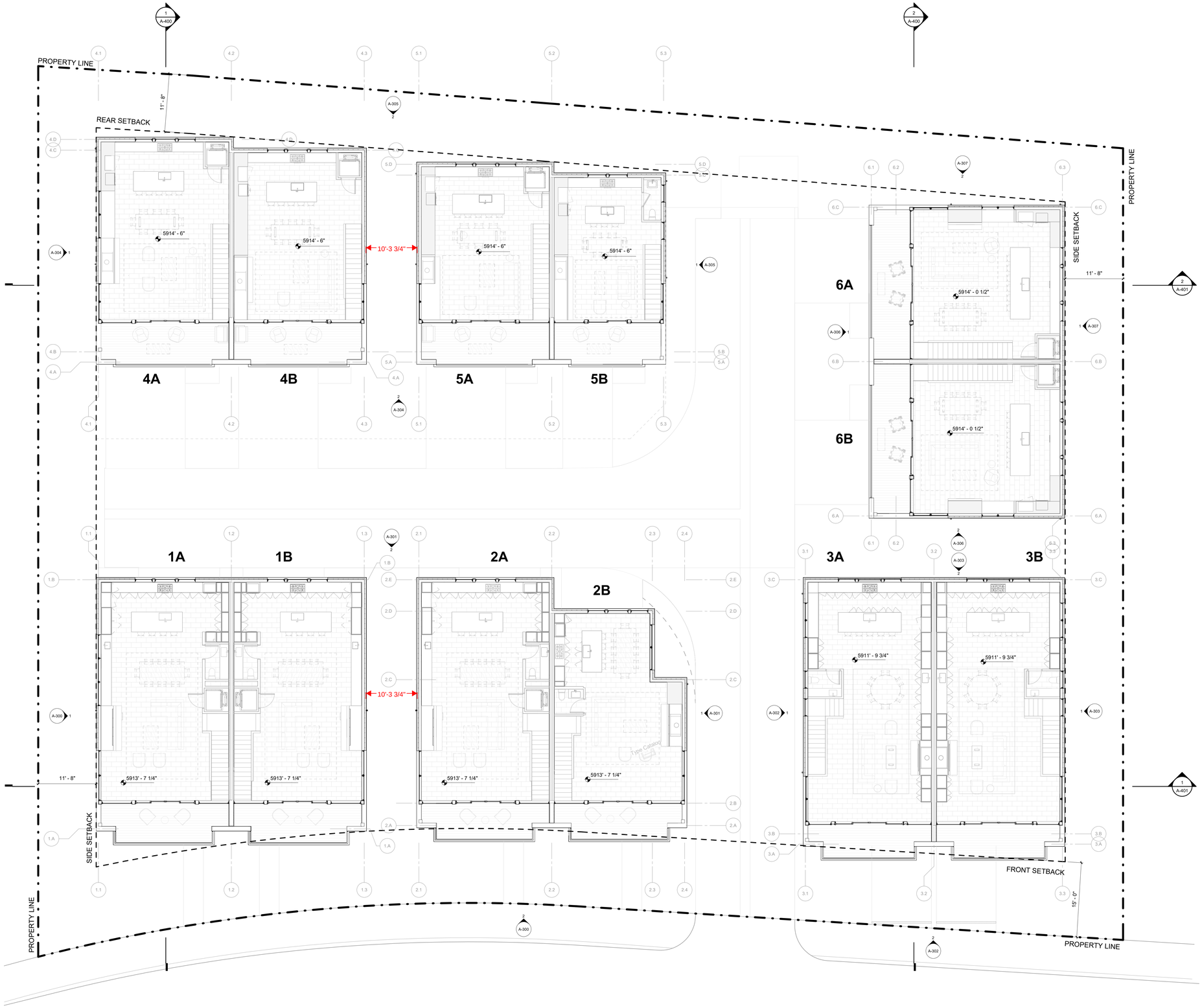

WARM SPRINGS TOWNHOMES KETCHUM, ID

OWNER:

108-110 RITCHIE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340
TEL: 603.801.0419

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PROJECT:

WARM SPRINGS TOWNHOMES KETCHUM, ID

108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:

LEVEL 03 OVERALL FLOOR PLAN

SEAL:

PROJECT NUMBER

2305

DRAWING NUMBER:

A-103

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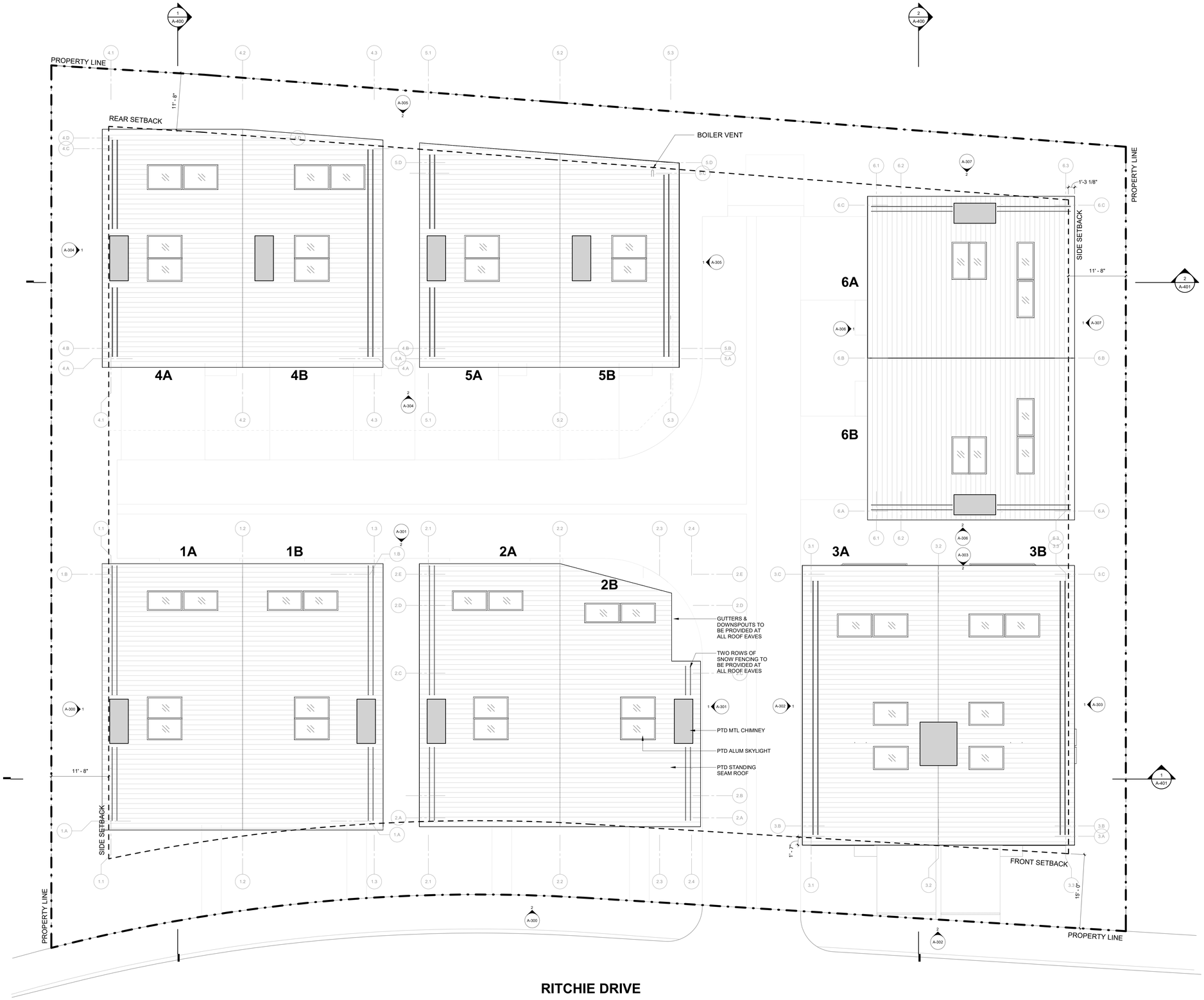
1 | 1/8" = 1'-0" | **OVERALL PLAN - LEVEL 03**



WARM SPRINGS TOWNHOMES KETCHUM, ID

OWNER:

108-110 RITCHIE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340
TEL: 603.801.0419

BUILDING ARCHITECT:

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PROJECT:

WARM SPRINGS TOWNHOMES KETCHUM, ID

108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:

OVERALL ROOF PLAN

SEAL:

PROJECT NUMBER

2305

DRAWING NUMBER:

A-104

1 | 1/8" = 1'-0" | **OVERALL PLAN - ROOF**

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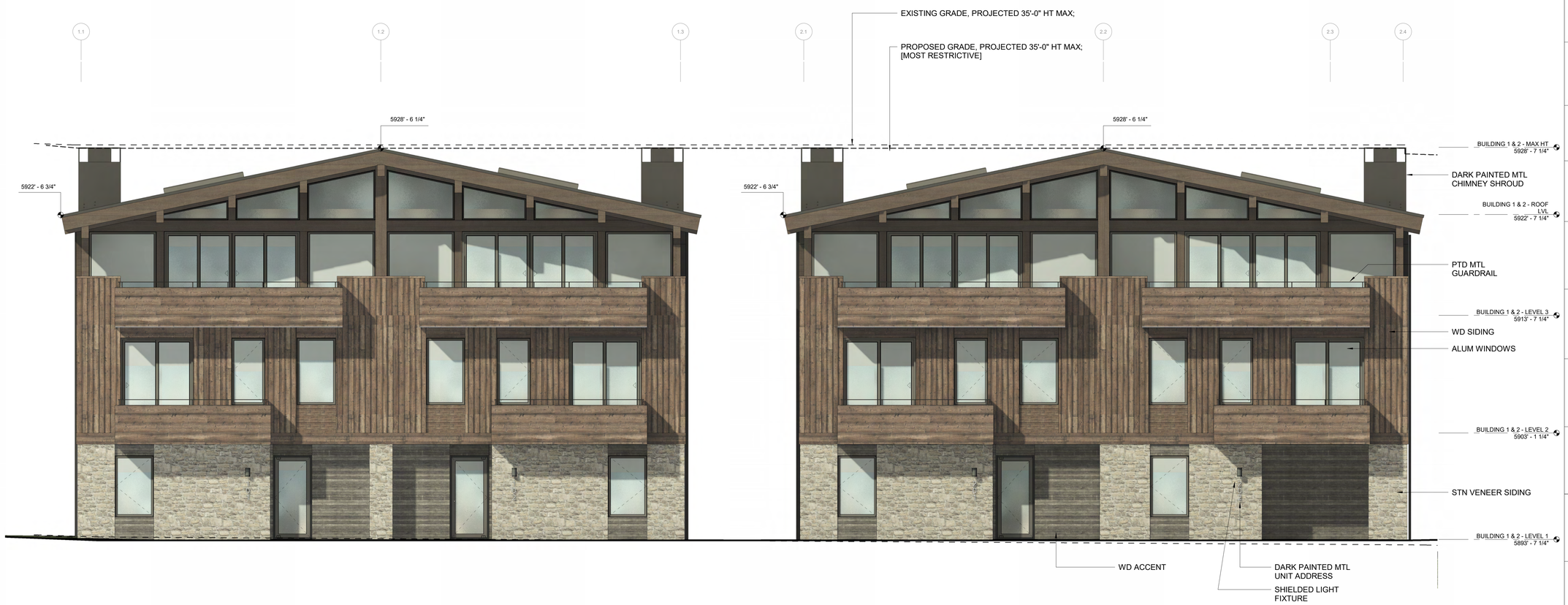

2 | 1/4" = 1'-0" | **BUILDING 1 & 2 / ELEVATION - EAST**

1 | 1/4" = 1'-0" | **BUILDING 1 / ELEVATION - SOUTH**

WARM SPRINGS TOWNHOMES KETCHUM, ID

OWNER:

108-110 RITCHIE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340
TEL: 603.801.0419

BUILDING ARCHITECT:

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PROJECT:

WARM SPRINGS TOWNHOMES KETCHUM, ID

108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:

BUILDING ELEVATIONS - BUILDING 1 & 2

SEAL:

PROJECT NUMBER

2305

DRAWING NUMBER:

A-300

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2 | 1/4" = 1'-0" | **BUILDING 1 & 2 / ELEVATION - WEST**

1 | 1/4" = 1'-0" | **BUILDING 2 / ELEVATION - NORTH**

WARM SPRINGS TOWNHOMES KETCHUM, ID

OWNER:

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KETCHUM, ID 83340
TEL: 603.801.0419

BUILDING ARCHITECT:

RO | ROCKETT DESIGN
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PROJECT:

WARM SPRINGS TOWNHOMES KETCHUM, ID

108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:

BUILDING ELEVATIONS - BUILDING 1 & 2

SEAL:

PROJECT NUMBER

2305

DRAWING NUMBER:

A-301

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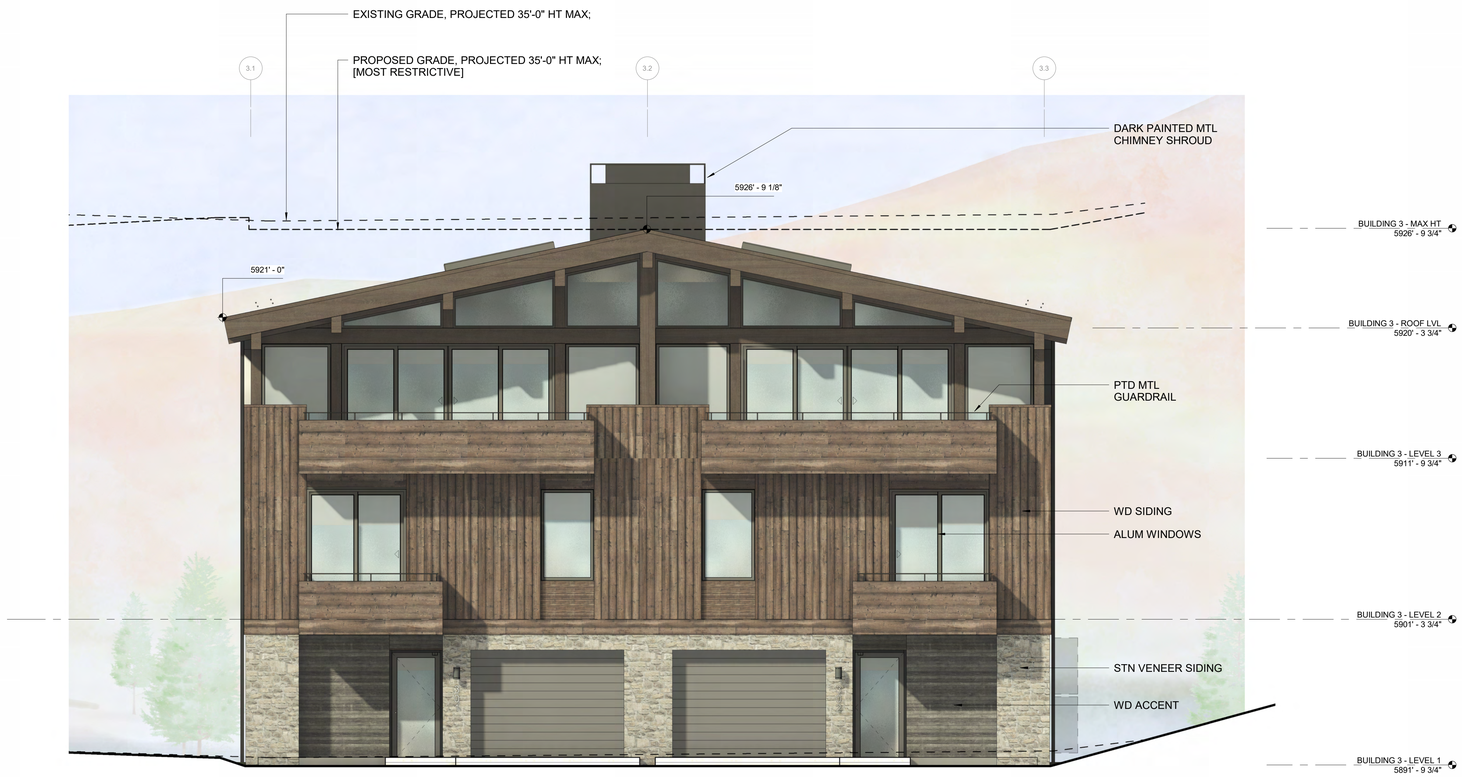
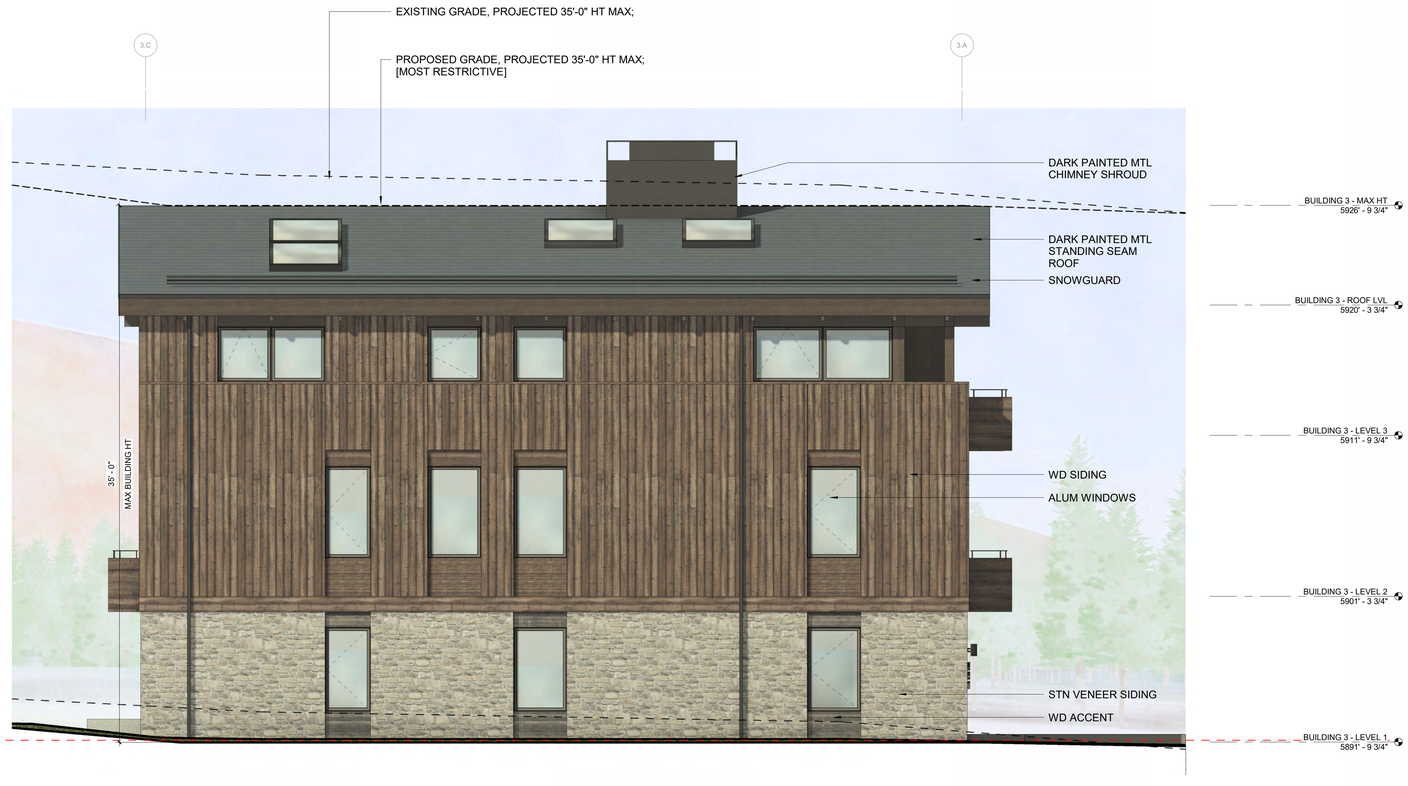


2 | 1/4" = 1'-0" | **BUILDING 3 / ELEVATION - EAST**



1 | 1/4" = 1'-0" | **BUILDING 3 / ELEVATION - SOUTH**

WARM SPRINGS TOWNHOMES KETCHUM, ID

OWNER:

108-110 RITCHIE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340
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LANDSCAPE ARCHITECT:

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TEL: 208.725.0988

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PROJECT:

WARM SPRINGS TOWNHOMES KETCHUM, ID

108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:

BUILDING ELEVATIONS - BUILDING 3

SEAL:

PROJECT NUMBER

2305

DRAWING NUMBER:

A-302

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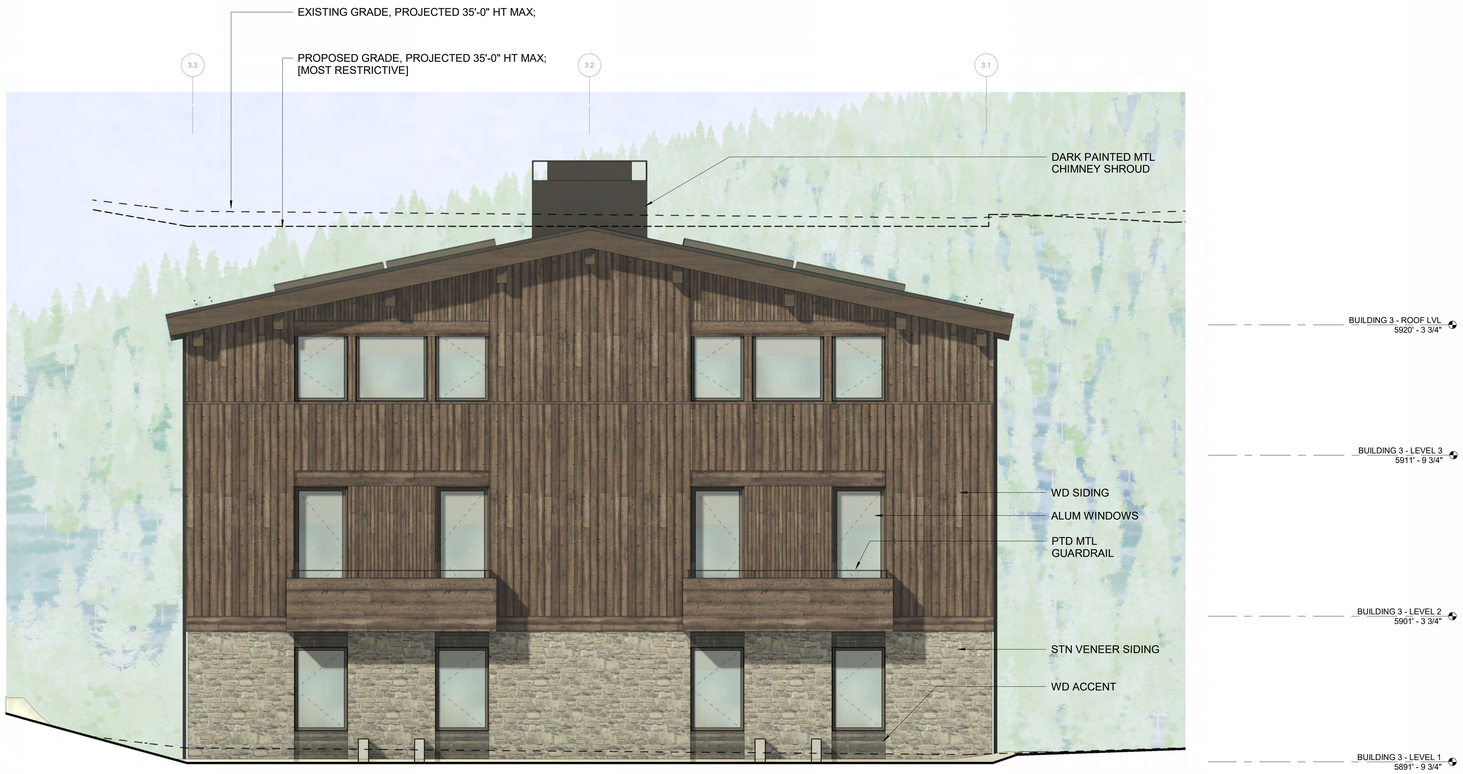
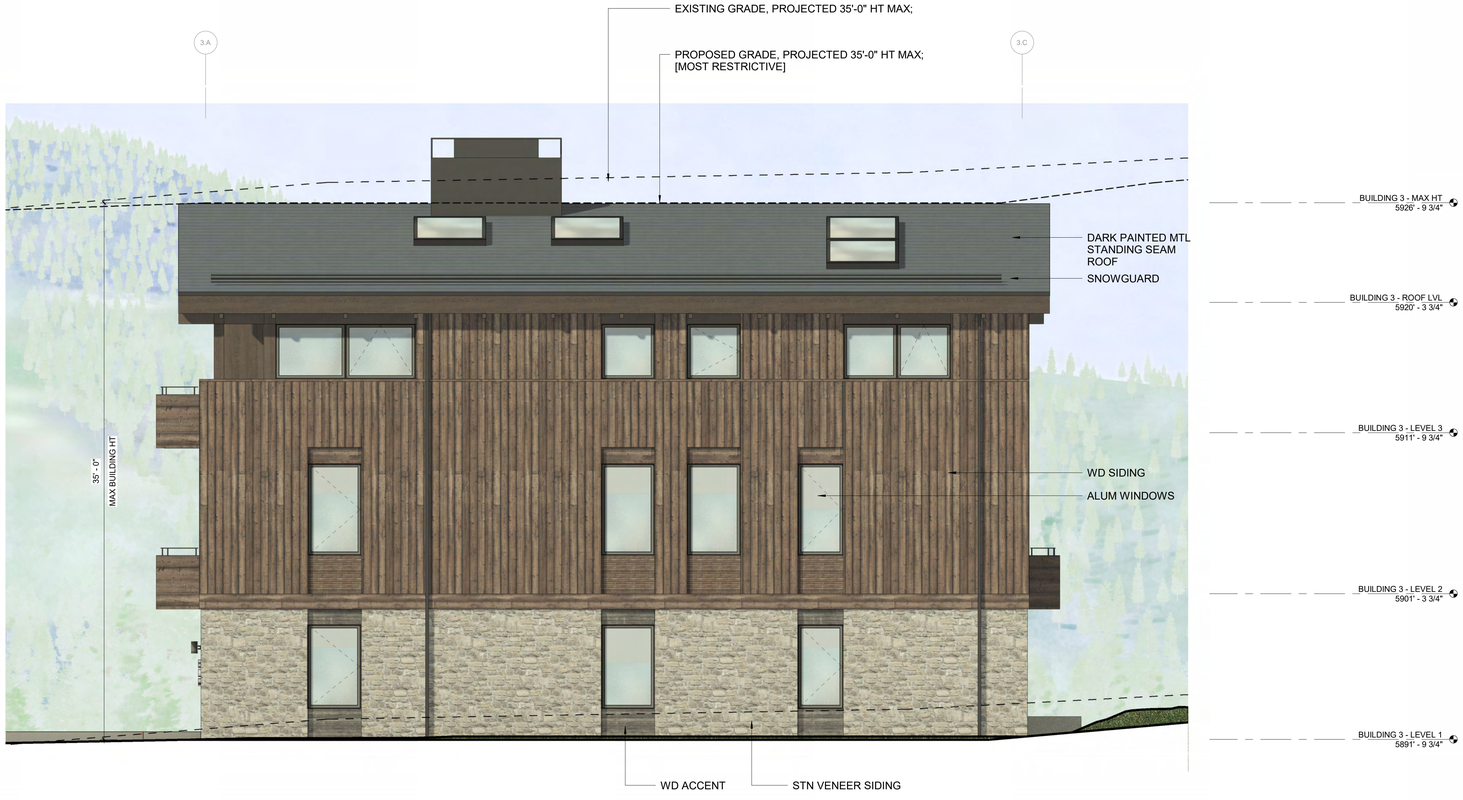


2 | 1/4" = 1'-0" | **BUILDING 3 / ELEVATION - WEST**



1 | 1/4" = 1'-0" | **BUILDING 3 / ELEVATION - NORTH**

WARM SPRINGS TOWNHOMES KETCHUM, ID

OWNER:

108-110 RITCHIE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340
TEL: 603.801.0419

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PROJECT:

WARM SPRINGS TOWNHOMES KETCHUM, ID

108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:

BUILDING ELEVATIONS - BUILDING 3

SEAL:

PROJECT NUMBER

2305

DRAWING NUMBER:

A-303

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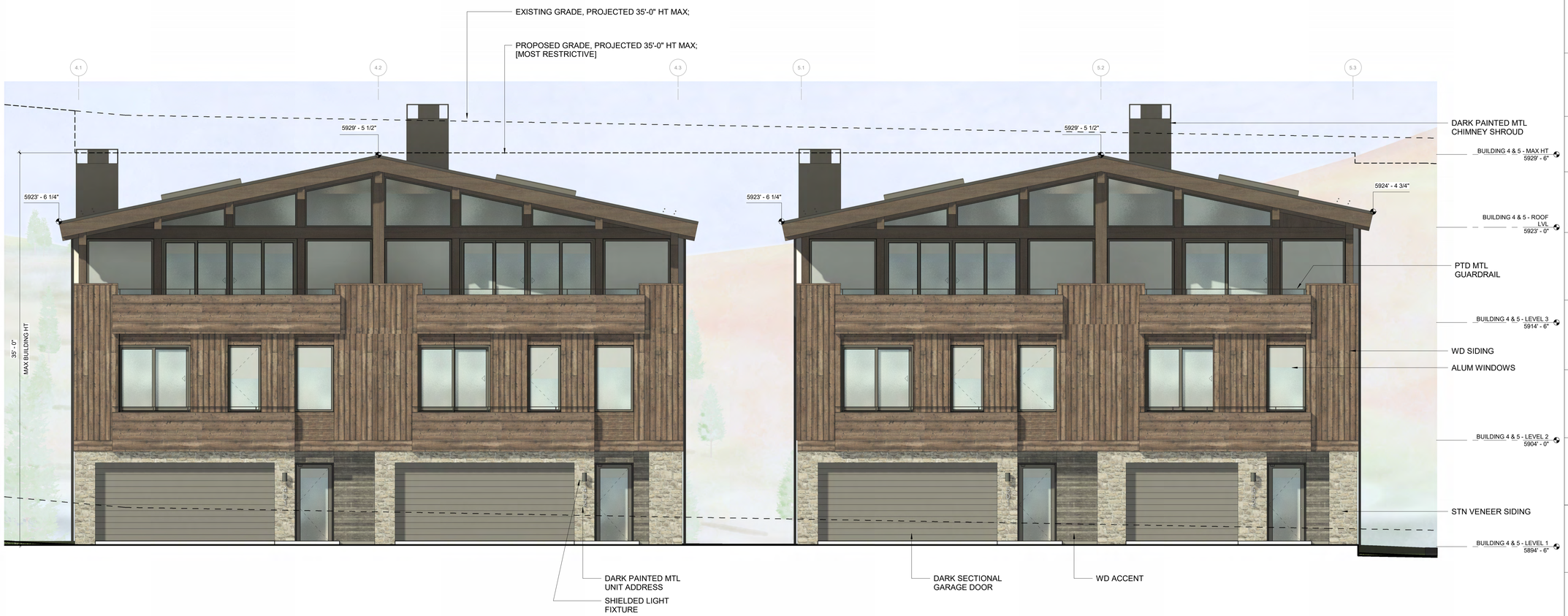
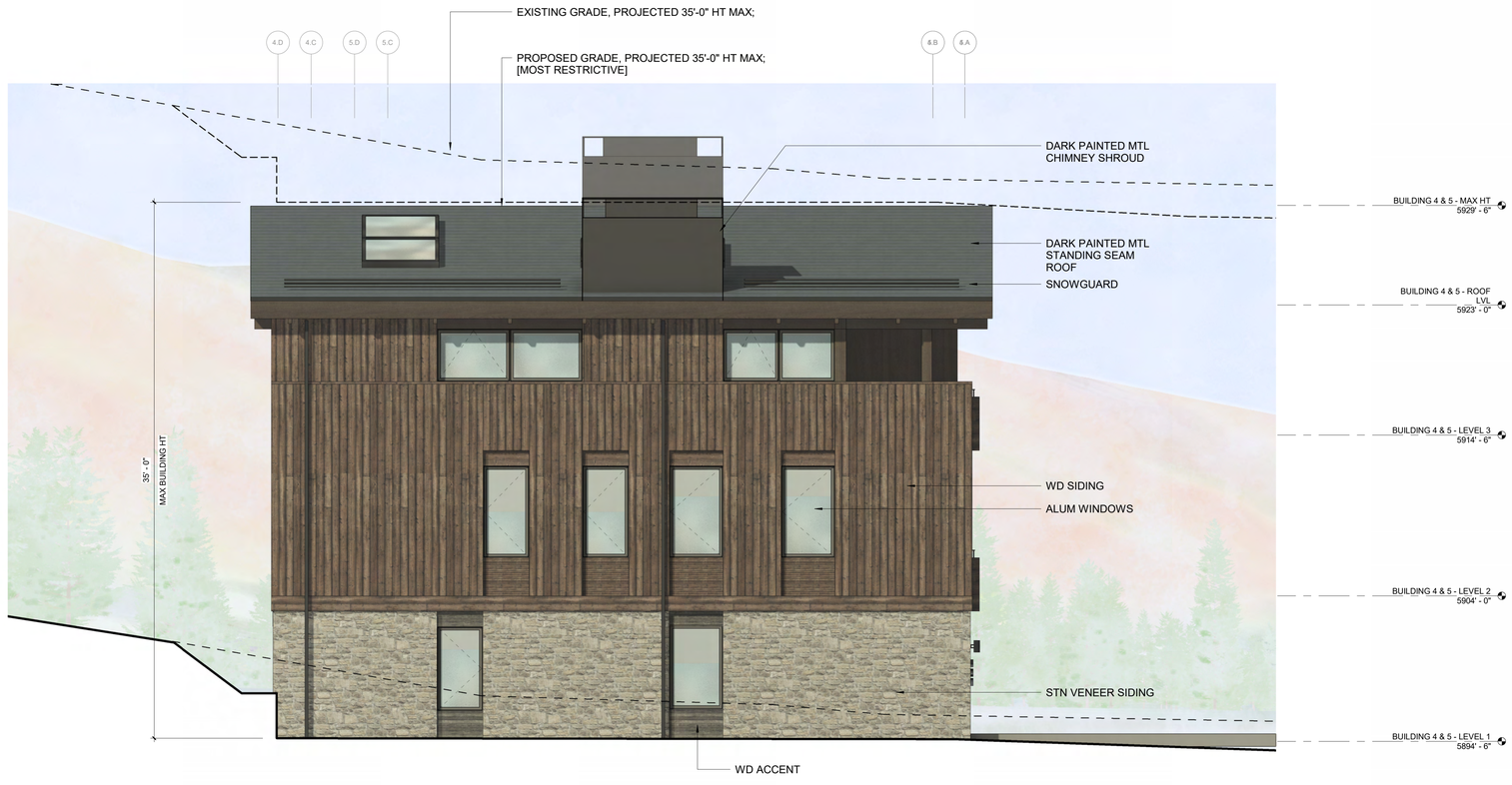


2 | 1/4" = 1'-0" | **BUILDING 4 & 5 / ELEVATION - EAST**



1 | 1/4" = 1'-0" | **BUILDING 4 / ELEVATION - SOUTH**

WARM SPRINGS TOWNHOMES KETCHUM, ID

OWNER:

108-110 RITCHIE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340
TEL: 603.801.0419

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PROJECT:

WARM SPRINGS TOWNHOMES KETCHUM, ID

108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:

BUILDING ELEVATIONS - BUILDING 4 & 5

SEAL:

PROJECT NUMBER

2305

DRAWING NUMBER:

A-304

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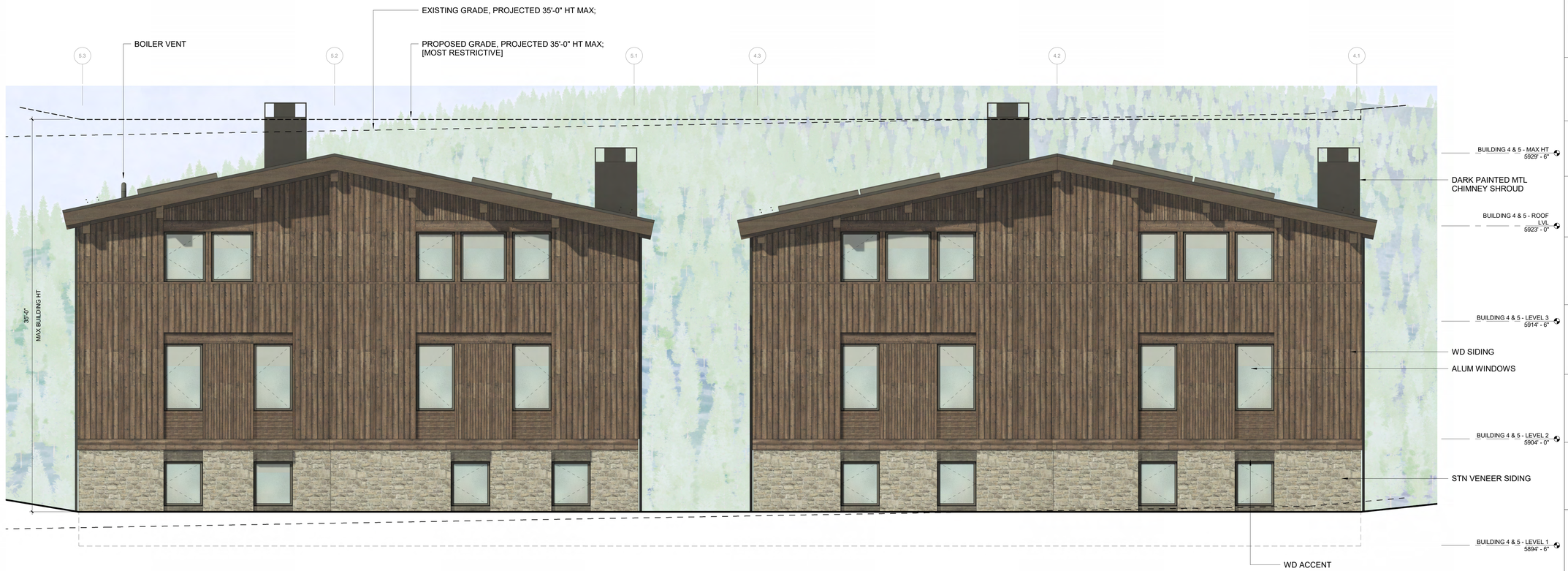

2 | 1/4" = 1'-0" | **BUILDING 4 & 5 / ELEVATION - WEST**

1 | 1/4" = 1'-0" | **BUILDING 5 / ELEVATION - NORTH**

WARM SPRINGS TOWNHOMES KETCHUM, ID

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PROJECT:

WARM SPRINGS TOWNHOMES KETCHUM, ID

108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:

BUILDING ELEVATIONS - BUILDING 4 & 5

SEAL:

PROJECT NUMBER

2305

DRAWING NUMBER:

A-305

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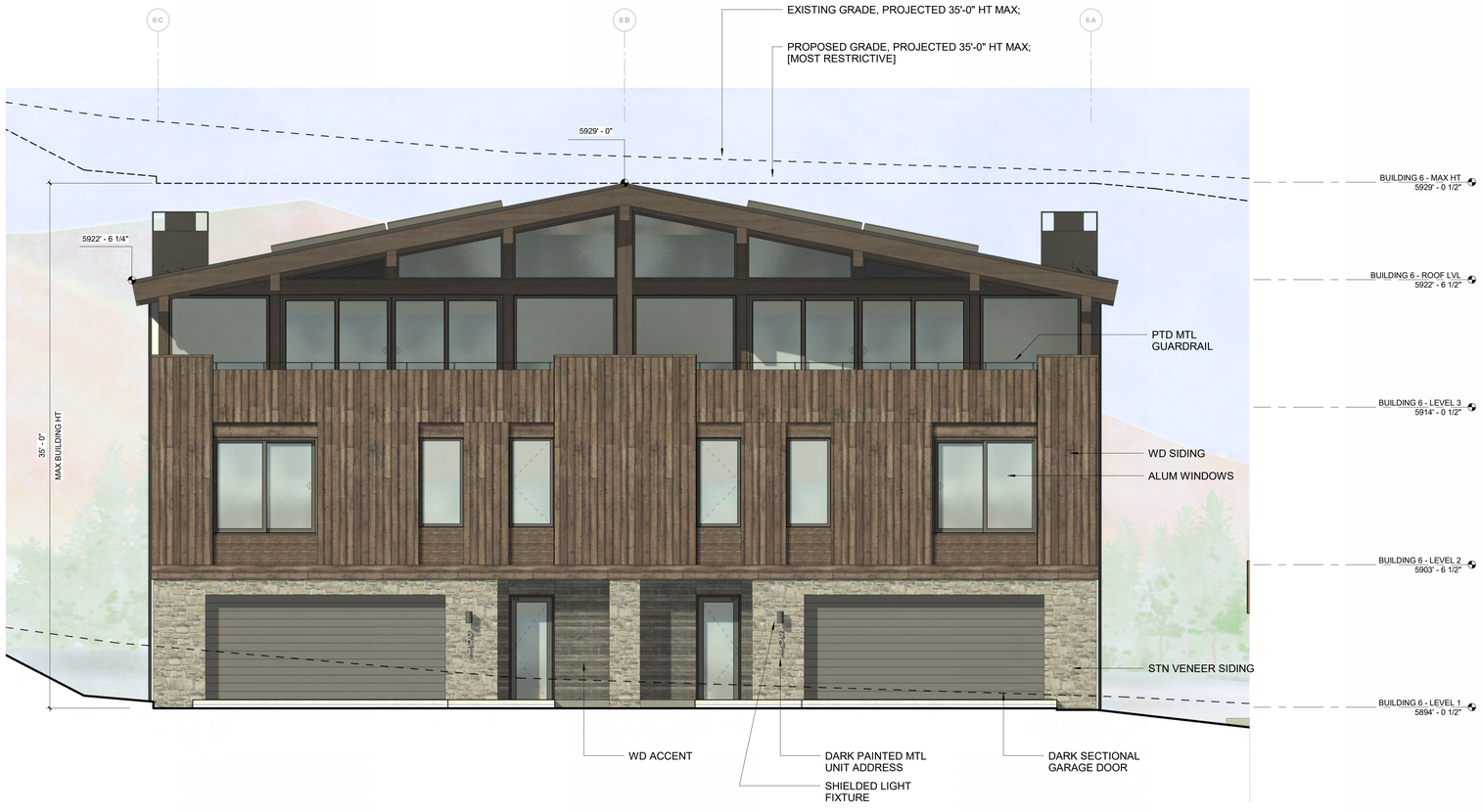
2 | 1/4" = 1'-0" | **BUILDING 6 / ELEVATION - EAST**



1 | 1/4" = 1'-0" | **BUILDING 6 / ELEVATION - SOUTH**

WARM SPRINGS TOWNHOMES KETCHUM, ID

OWNER:

108-110 RITCHIE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340
TEL: 603.801.0419

BUILDING ARCHITECT:

RO | ROCKETT DESIGN
1031 W. MANCHESTER BLVD. UNIT 6
INGLEWOOD, CA 90301
TEL: 213.784.0014

STRUCTURAL ENGINEER:

ZFA STRUCTURAL ENGINEERS
601 MONTGOMERY STREET SUITE 1450
SAN FRANCISCO, CA 94111
TEL: 415.243.4091

MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:

PROFICIENT ENGINEERING
4704 HARLAN STREET SUITE 620
DENVER, CO 80212
TEL: 720.779.3556

CIVIL ENGINEER:

GALENA BENCHMARK ASSOCIATES
100 BELL DRIVE SUITE C
KETCHUM, ID 83340
TEL: 208.726.9512

LANDSCAPE ARCHITECT:

EGGERS ASSOCIATES
560 NORTH 2ND AVENUE
KETCHUM, ID 83340
TEL: 208.725.0988

ISSUE	DESCRIPTION	DATE
1	DESIGN REVIEW APP	25.09.09
2	DESIGN REVIEW APP REV	25.10.14
3	DESIGN REVIEW APP REV	25.12.09

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PROJECT:

WARM SPRINGS TOWNHOMES KETCHUM, ID

108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:

BUILDING ELEVATIONS - BUILDING 6

SEAL:

PROJECT NUMBER

2305

DRAWING NUMBER:

A-306

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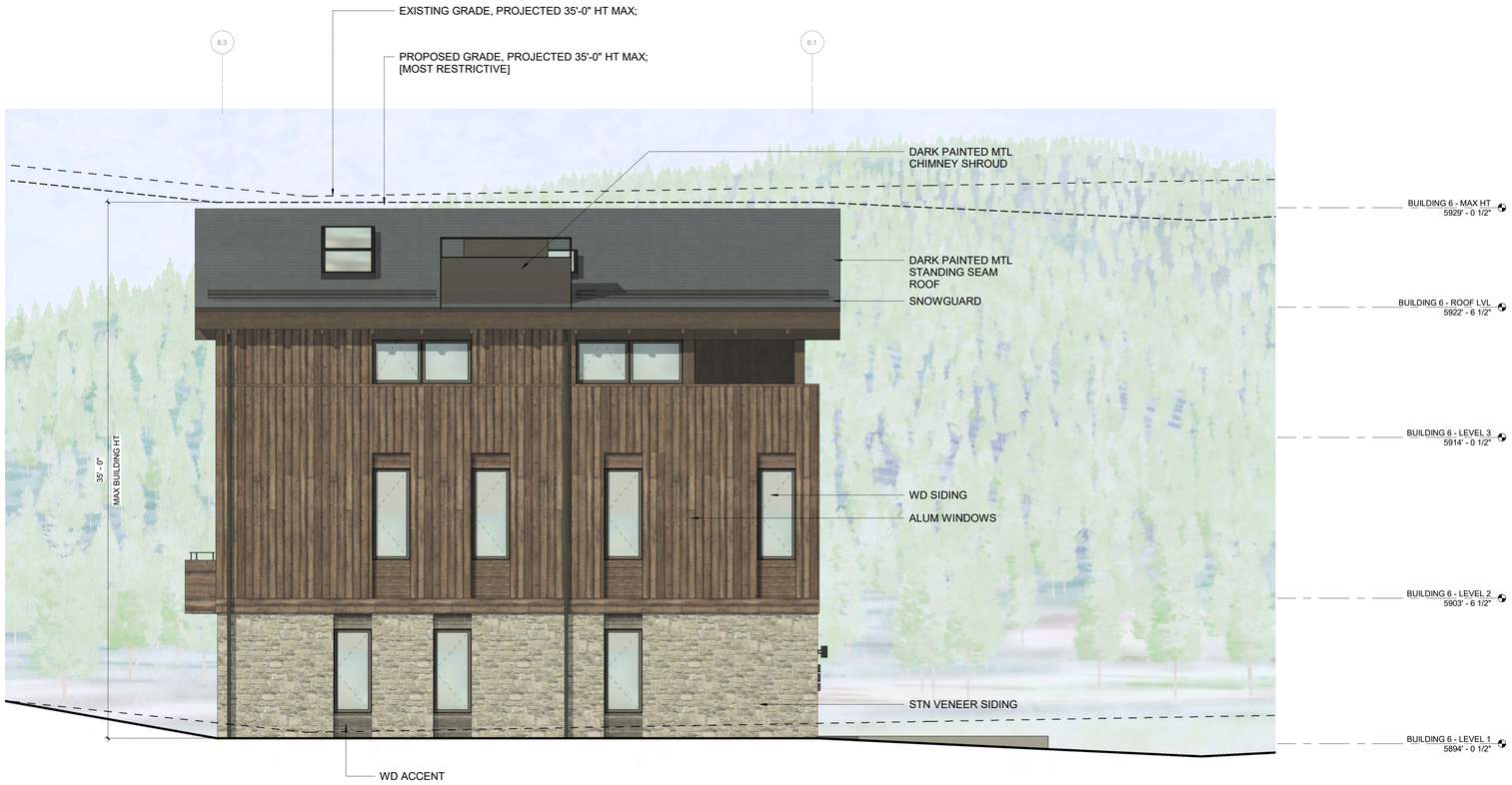
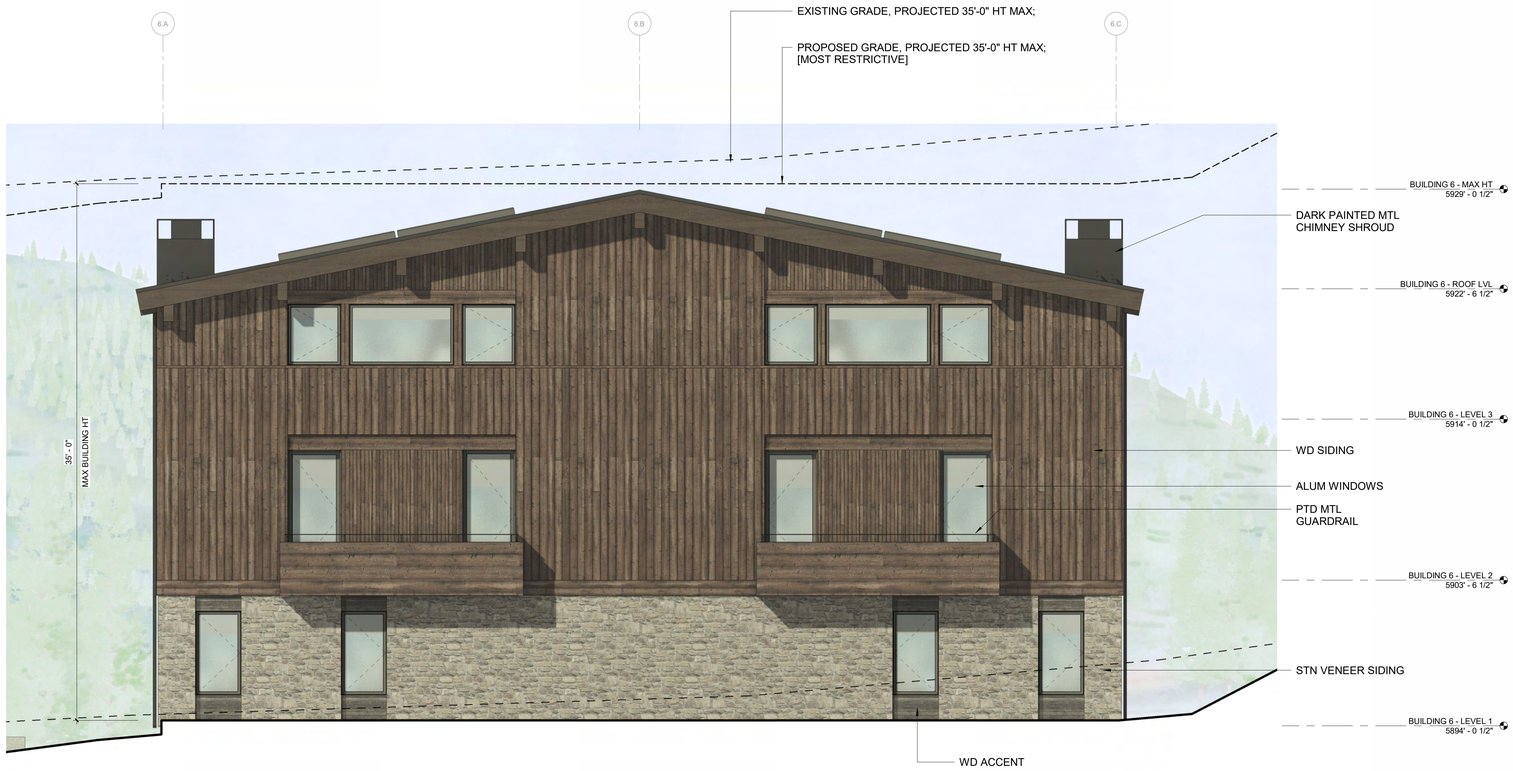


2 | 1/4" = 1'-0" | **BUILDING 6 / ELEVATION - WEST**



1 | 1/4" = 1'-0" | **BUILDING 6 / ELEVATION - NORTH**

WARM SPRINGS TOWNHOMES KETCHUM, ID

OWNER:

108-110 RITCHIE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340
TEL: 603.801.0419

BUILDING ARCHITECT:

RO | ROCKETT DESIGN
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INGLEWOOD, CA 90301
TEL: 213.784.0014

STRUCTURAL ENGINEER:

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KETCHUM, ID 83340
TEL: 208.726.9512

LANDSCAPE ARCHITECT:

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PROJECT:

WARM SPRINGS TOWNHOMES KETCHUM, ID

108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:

BUILDING ELEVATIONS - BUILDING 6

SEAL:

PROJECT NUMBER

2305

DRAWING NUMBER:

A-307

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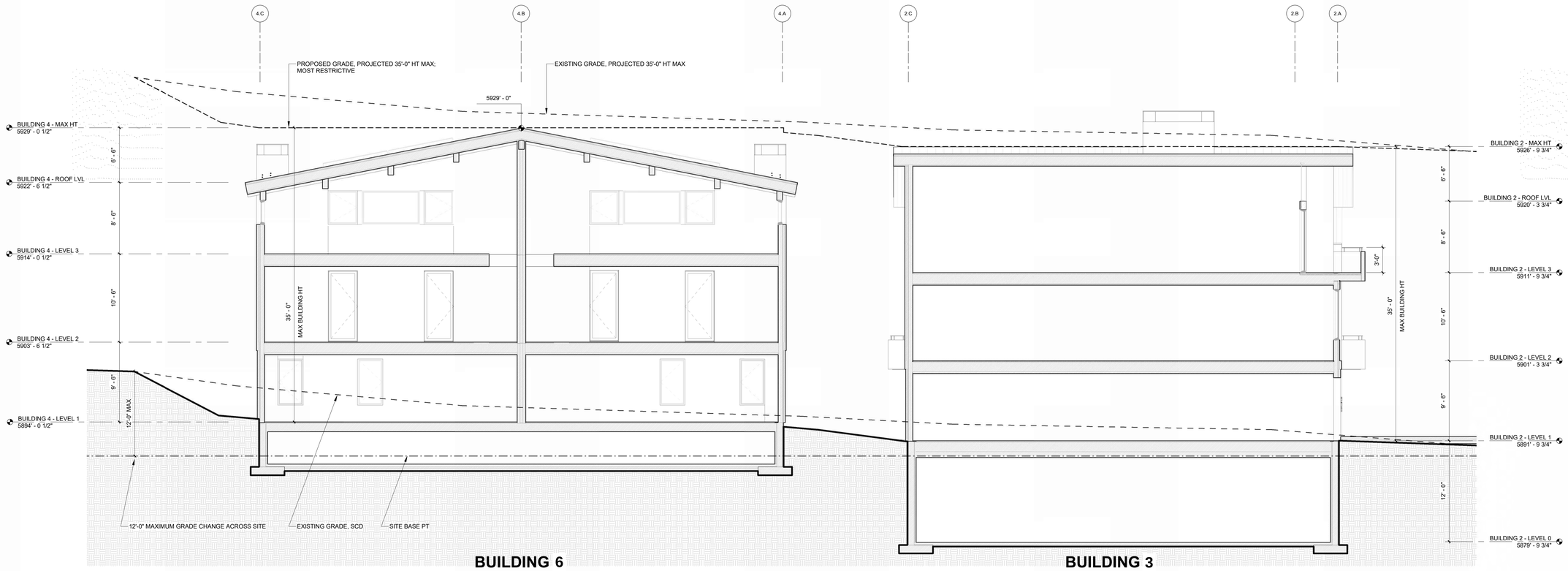
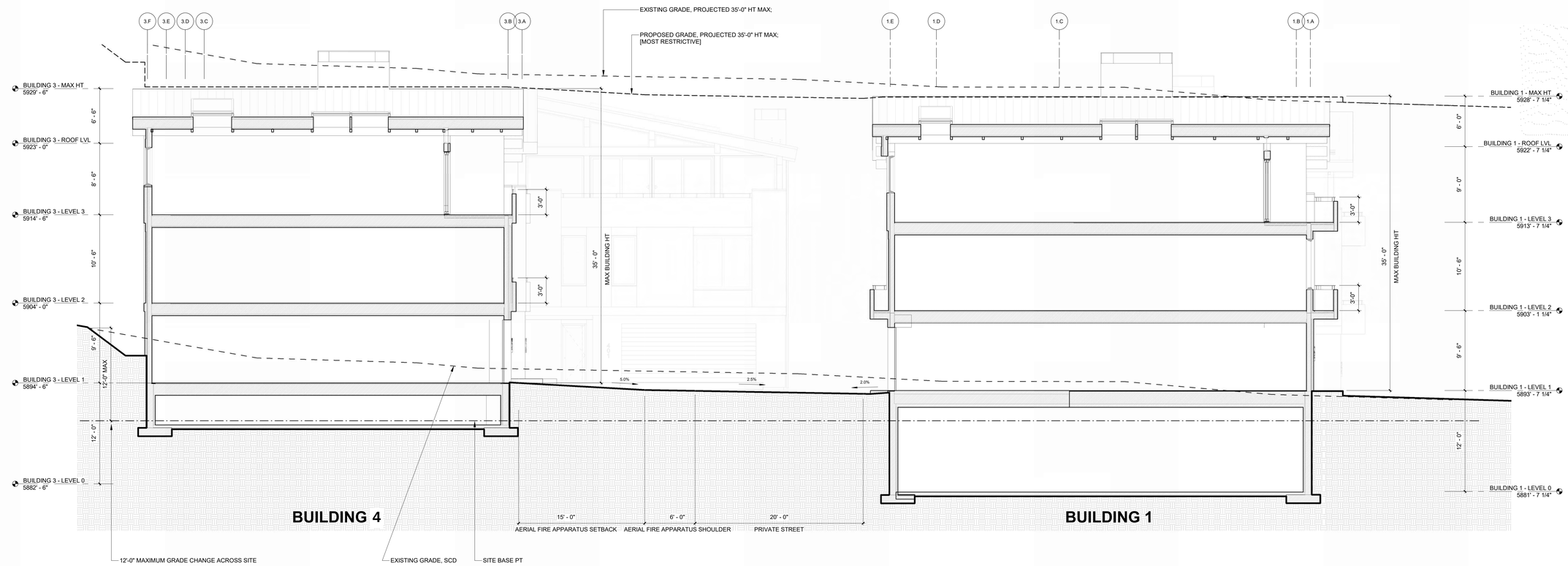


2 | 3/16" = 1'-0" | **BUILDING SECTION - EW B**



1 | 3/16" = 1'-0" | **BUILDING SECTION - EW A**

WARM SPRINGS TOWNHOMES KETCHUM, ID

OWNER:

108-110 RITCHIE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340
TEL: 603.801.0419

BUILDING ARCHITECT:

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INGLEWOOD, CA 90301
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KETCHUM, ID 83340
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LANDSCAPE ARCHITECT:

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PROJECT:

WARM SPRINGS TOWNHOMES KETCHUM, ID

108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:

BUILDING SECTIONS

SEAL:

PROJECT NUMBER

2305

DRAWING NUMBER:

A-400

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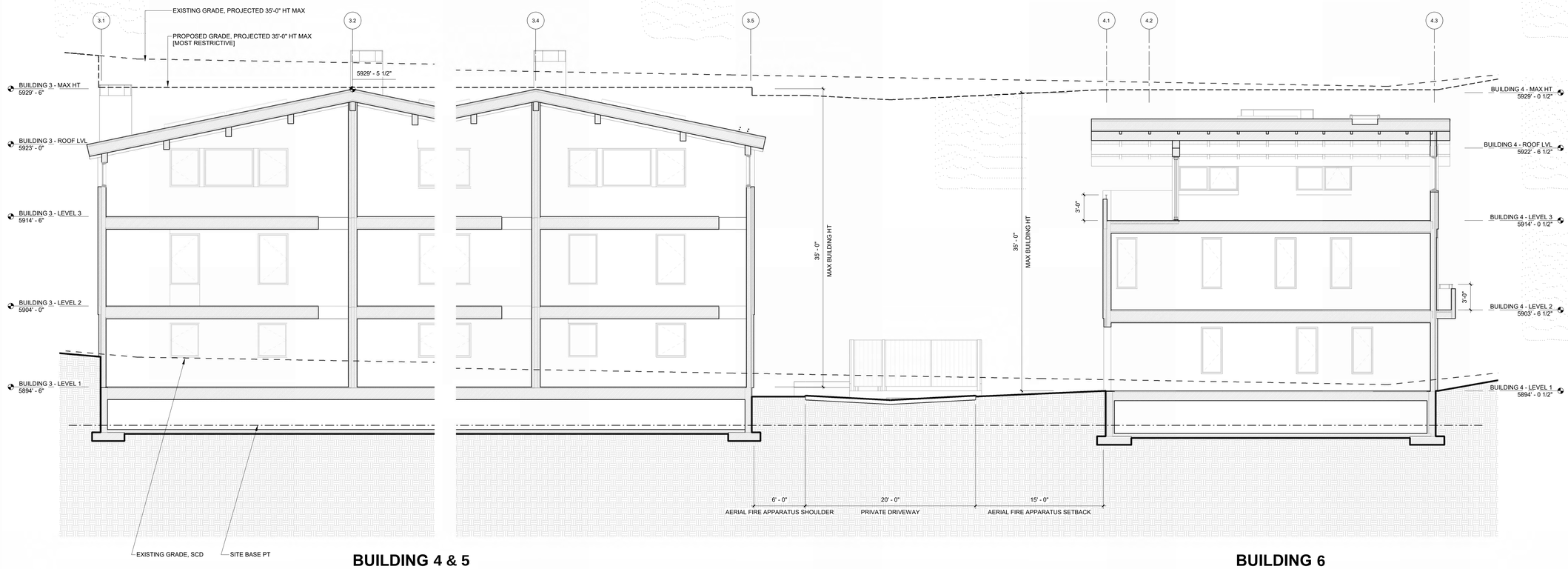
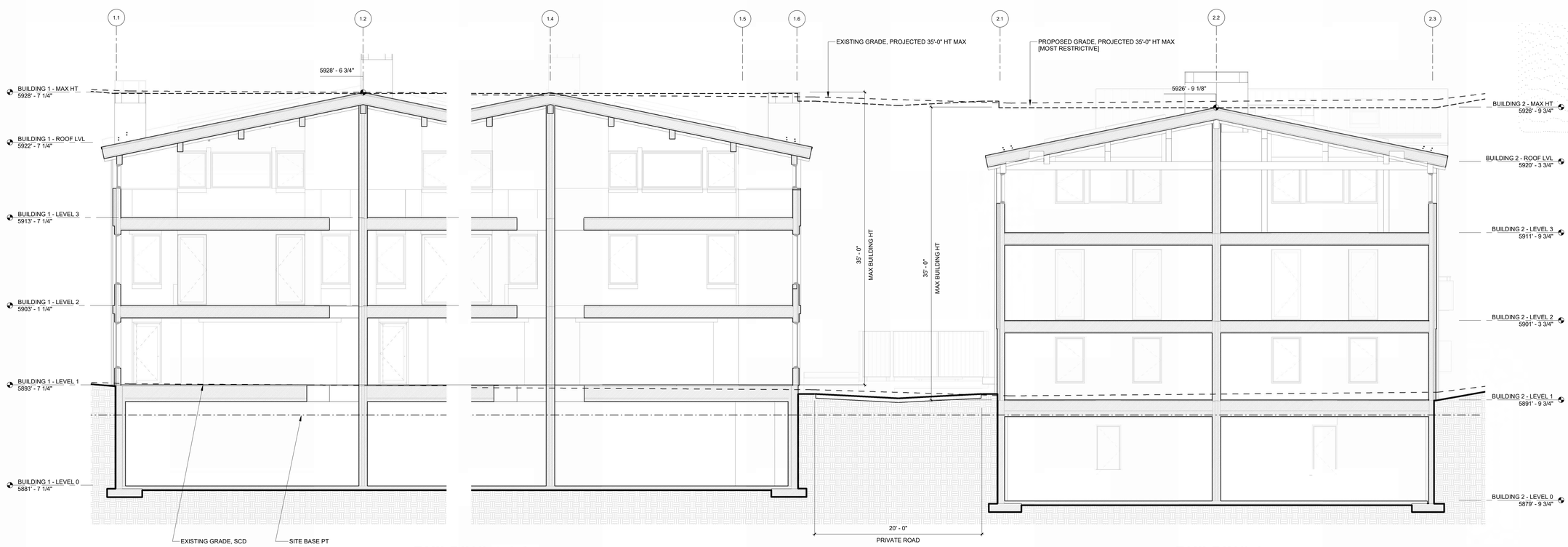


BUILDING 4 & 5

BUILDING 6

2 | 3/16" = 1'-0" | **BUILDING SECTION - NS B**



BUILDING 1 & 2

BUILDING 3

1 | 3/16" = 1'-0" | **BUILDING SECTION - NS A**

WARM SPRINGS TOWNHOMES KETCHUM, ID

OWNER:

108-110 RITCHIE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340
TEL: 603.801.0419

BUILDING ARCHITECT:

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LANDSCAPE ARCHITECT:

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PROJECT:

WARM SPRINGS TOWNHOMES KETCHUM, ID

108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:

BUILDING SECTIONS

SEAL:

PROJECT NUMBER

2305

DRAWING NUMBER:

A-401

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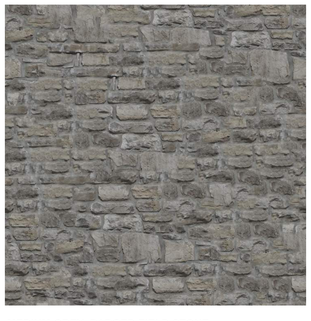
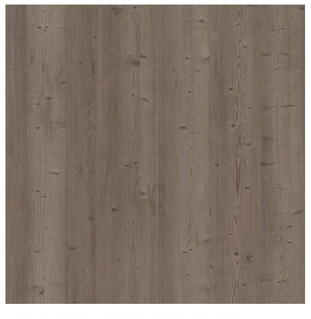


MEDIUM GREY, PARGED FIELD STONE

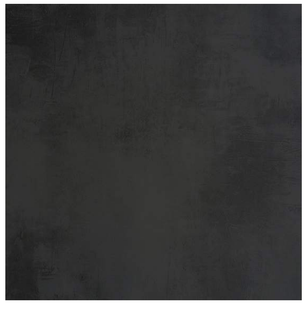
MEDIUM BROWN, RUSTIC TONGUE AND GROOVE WOOD SIDING W/ FACE NAILING



MEDIUM BROWN, RUSTIC WD BEAMS, FASCIA & ACCENTS

DARK, RUSTIC WD TONGUE AND GROOVE ACCENTS

DARK STANDING SEAM ROOF



DARK METAL TRIM & WINDOW FRAMES

WARM SPRINGS TOWNHOMES KETCHUM, ID

OWNER:

108-110 RITCHIE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340
TEL: 603.801.0419

BUILDING ARCHITECT:

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INGLEWOOD, CA 90301
TEL: 213.784.0014

STRUCTURAL ENGINEER:

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SAN FRANCISCO, CA 94111
TEL: 415.243.4091

MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:

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4704 HARLAN STREET SUITE 620
DENVER, CO 80212
TEL: 720.779.3556

CIVIL ENGINEER:

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100 BELL DRIVE SUITE C
KETCHUM, ID 83340
TEL: 208.726.9512

LANDSCAPE ARCHITECT:

EGGERS ASSOCIATES
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KETCHUM, ID 83340
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PROJECT:

WARM SPRINGS TOWNHOMES KETCHUM, ID

108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:

MATERIALS

SEAL:

PROJECT NUMBER

2305

DRAWING NUMBER:

A-500

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2 | 12" = 1'-0" | **SITE ELEVATION - EAST**

1 | 12" = 1'-0" | **SITE ELEVATION - SOUTH**

WARM SPRINGS TOWNHOMES KETCHUM, ID

OWNER:

108-110 RITCHIE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340
TEL: 603.801.0419

BUILDING ARCHITECT:

RO | ROCKETT DESIGN
1031 W. MANCHESTER BLVD. UNIT 6
INGLEWOOD, CA 90301
TEL: 213.784.0014

STRUCTURAL ENGINEER:

ZFA STRUCTURAL ENGINEERS
601 MONTGOMERY STREET SUITE 1450
SAN FRANCISCO, CA 94111
TEL: 415.243.4091

MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:

PROFICIENT ENGINEERING
4704 HARLAN STREET SUITE 620
DENVER, CO 80212
TEL: 720.779.3556

CIVIL ENGINEER:

GALENA BENCHMARK ASSOCIATES
100 BELL DRIVE SUITE C
KETCHUM, ID 83340
TEL: 208.726.9512

LANDSCAPE ARCHITECT:

EGGERS ASSOCIATES
560 NORTH 2ND AVENUE
KETCHUM, ID 83340
TEL: 208.725.0988

ISSUE	DESCRIPTION	DATE
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PROJECT:

WARM SPRINGS TOWNHOMES KETCHUM, ID

108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:

RENDERED ELEVATIONS

SEAL:

PROJECT NUMBER

2305

DRAWING NUMBER:

G-120

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2 | 12" = 1'-0" | **SITE ELEVATION - WEST**

1 | 12" = 1'-0" | **SITE ELEVATION - NORTH**

WARM SPRINGS TOWNHOMES KETCHUM, ID

OWNER:

108-110 RITCHIE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340
TEL: 603.801.0419

BUILDING ARCHITECT:

RO | ROCKETT DESIGN
1031 W. MANCHESTER BLVD. UNIT 6
INGLEWOOD, CA 90301
TEL: 213.784.0014

STRUCTURAL ENGINEER:

ZFA STRUCTURAL ENGINEERS
601 MONTGOMERY STREET SUITE 1450
SAN FRANCISCO, CA 94111
TEL: 415.243.4091

MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:

PROFICIENT ENGINEERING
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DENVER, CO 80212
TEL: 720.779.3556

CIVIL ENGINEER:

GALENA BENCHMARK ASSOCIATES
100 BELL DRIVE SUITE C
KETCHUM, ID 83340
TEL: 208.726.9512

LANDSCAPE ARCHITECT:

EGGERS ASSOCIATES
560 NORTH 2ND AVENUE
KETCHUM, ID 83340
TEL: 208.725.0988

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PROJECT:

WARM SPRINGS TOWNHOMES KETCHUM, ID

108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:

RENDERED ELEVATIONS

SEAL:

PROJECT NUMBER

2305

DRAWING NUMBER:

G-121

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VIEW FROM NW RITCHIE DRIVE

VIEW FROM ACROSS RITCHIE DRIVE

WARM SPRINGS TOWNHOMES KETCHUM, ID

OWNER:

108-110 RITCHIE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340
TEL: 603.801.0419

BUILDING ARCHITECT:

RO | ROCKETT DESIGN
1031 W. MANCHESTER BLVD. UNIT 6
INGLEWOOD, CA 90301
TEL: 213.784.0014

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ZFA STRUCTURAL ENGINEERS
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SAN FRANCISCO, CA 94111
TEL: 415.243.4091

MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:

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4704 HARLAN STREET SUITE 620
DENVER, CO 80212
TEL: 720.779.3556

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100 BELL DRIVE SUITE C
KETCHUM, ID 83340
TEL: 208.726.9512

LANDSCAPE ARCHITECT:

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PROJECT:

WARM SPRINGS TOWNHOMES KETCHUM, ID

108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:

RENDERINGS

SEAL:

PROJECT NUMBER

2305

DRAWING NUMBER:

G-130

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VIEW FROM SE RITCHIE DRIVE

AERIAL VIEW

WARM SPRINGS TOWNHOMES KETCHUM, ID

OWNER:

108-110 RITCHIE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340
TEL: 603.801.0419

BUILDING ARCHITECT:

RO | ROCKETT DESIGN
1031 W. MANCHESTER BLVD. UNIT 6
INGLEWOOD, CA 90301
TEL: 213.784.0014

STRUCTURAL ENGINEER:

ZFA STRUCTURAL ENGINEERS
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TEL: 415.243.4091

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DENVER, CO 80212
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PROJECT:

WARM SPRINGS TOWNHOMES KETCHUM, ID

108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:

RENDERINGS

SEAL:

PROJECT NUMBER

2305

DRAWING NUMBER:

G-131

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SIDEYARD VIEW OF BLDG 4 & BLDG 5 - FRONT

SIDEYARD VIEW OF BLDG 1 & BLDG 2 - REAR

WARM SPRINGS TOWNHOMES KETCHUM, ID

OWNER:

108-110 RITCHIE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340
TEL: 603.801.0419

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RO | ROCKETT DESIGN
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INGLEWOOD, CA 90301
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PROJECT:

WARM SPRINGS TOWNHOMES KETCHUM, ID

108 & 110 RITCHIE DR.
KETCHUM, IDAHO

DRAWING TITLE:

RENDERINGS

SEAL:

PROJECT NUMBER

2305

DRAWING NUMBER:

G-132

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City of Ketchum

ATTACHMENT B:

Civil, Landscape, Exterior Lighting, and Snowmelt Plans – Not Revised

GRAPHIC SCALE
0 10 20
Scale in Feet

LEGEND

- BLOCK BOUNDARY
- ADJOINER'S LOT LINE
- EASEMENT
- ROAD CENTERLINE
- 5' CONTOUR INTERVAL (EXISTING)
- 1' CONTOUR INTERVAL (EXISTING)
- FENCE LINE
- RETAINING WALL
- ASPHALT
- STORM DRAIN PROPOSED
- SAWCUT LINE
- 5' CONTOUR INTERVAL
- 1' CONTOUR INTERVAL

SITE IMPROVEMENT KEY NOTES

- S01 CONSTRUCT HEATED ASPHALT ROADWAY. SEE DETAIL TBD.
- S02 CONSTRUCT ASPHALT ROADWAY / ASPHALT REPAIR. SEE DETAIL TBD.
- S03 CONSTRUCT CONCRETE SIDEWALK, CURB AND GUTTER.
  - a. 6" ROLLED C&G
  - b. CURB TRANSITION
  - c. ZERO REVEAL CURB AND GUTTER
- S04 CONSTRUCT 24" WIDE HEATED CONCRETE VALLEY GUTTER
- S06 INSTALL HEATED SITE PAVERS. SEE LANDSCAPE PLAN FOR DETAILS.
- S07 INSTALL SITE GRASS PAVE. SEE LANDSCAPE PLAN FOR DETAILS.
- S08 CONSTRUCT DRYWELL. SEE DETAIL TBD. PROVIDE MIN. 12-24" SOIL COVER FOR PLANTINGS. REFER TO LANDSCAPE PLANS FOR SOIL COVER REQUIREMENTS.
- S09 CONSTRUCT 30" CATCH BASIN. SEE DETAIL TBD.
- S10 INSTALL TRENCH DRAIN.
- S11 SEE LANDSCAPE SHEETS FOR SITE GRADING AND BOULDER PLACEMENT.

GRADING & DRAINAGE PLAN
WARM SPRINGS VILLAGE SUB. 2ND ADD. REV. BLOCK 4, LOT 3A

LOCATED WITHIN SECTION 14, T.4 N., R.17 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR: PRESIDIO VISTA PROPERTIES

PROJECT INFORMATION
G:\BMA\Warm springs village\2nd addition\2nd Addition, REVISED\Block 4\23263 Lot 3A 108-110 Ritchie Dr\dwg\Construction\23263 CIVIL.dwg 10/03/25 9:31:29 AM

PROFESSIONAL ENGINEER REGISTERED 13788 10/3/25 STATE OF IDAHO JEFFREY LAMOUREUX

DESIGNED BY:	SLS
DRAWN BY:	SLS/PSF
CHECKED BY:	JL
SURVEY DATE:	06/12/22

GALENA–BENCHMARK ENGINEERING
Civil Engineers & Land Surveyors
100 Bell Drive
P.O. Box 733
Ketchum, Idaho 83340
(208) 726-9497
www.benchmark-associates.com

SURVEYING ENGINEERING PLANNING
GALENA ELEVATION 9230 ABOVE SEA FEET
BENCHMARK

PURPOSE: PRELIMINARY FOR DESIGN REVIEW 10/14/2025

NO	DATE	BY	REVISIONS

C1.00

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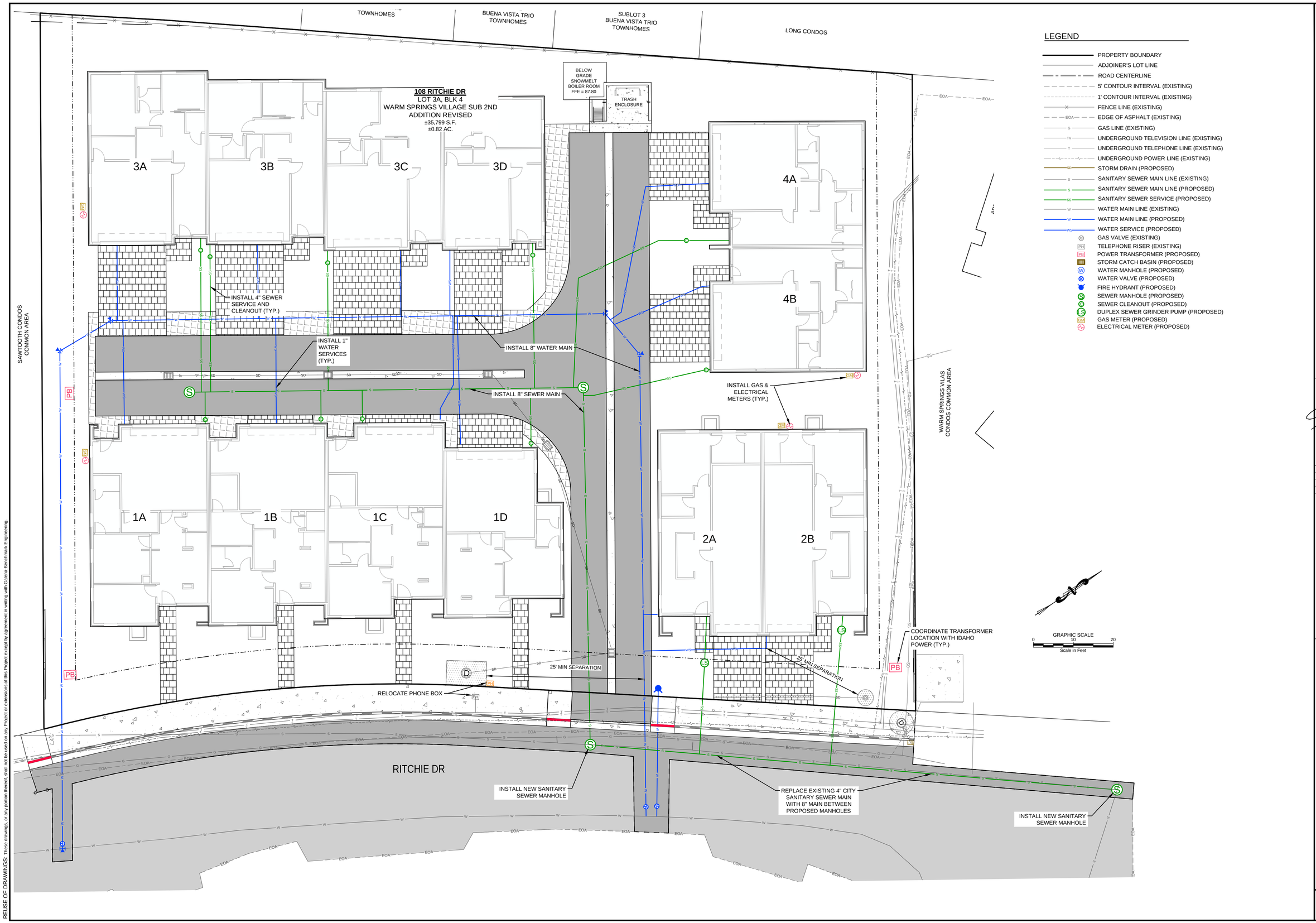

LEGEND

- PROPERTY BOUNDARY
- ADJOINER'S LOT LINE
- ROAD CENTERLINE
- 5' CONTOUR INTERVAL (EXISTING)
- 1' CONTOUR INTERVAL (EXISTING)
- FENCE LINE (EXISTING)
- EDGE OF ASPHALT (EXISTING)
- GAS LINE (EXISTING)
- UNDERGROUND TELEVISION LINE (EXISTING)
- UNDERGROUND TELEPHONE LINE (EXISTING)
- UNDERGROUND POWER LINE (EXISTING)
- STORM DRAIN (PROPOSED)
- SANITARY SEWER MAIN LINE (EXISTING)
- SANITARY SEWER MAIN LINE (PROPOSED)
- SANITARY SEWER SERVICE (PROPOSED)
- WATER MAIN LINE (EXISTING)
- WATER MAIN LINE (PROPOSED)
- WATER SERVICE (PROPOSED)
- GAS VALVE (EXISTING)
- TELEPHONE RISER (EXISTING)
- POWER TRANSFORMER (PROPOSED)
- STORM CATCH BASIN (PROPOSED)
- WATER MANHOLE (PROPOSED)
- WATER VALVE (PROPOSED)
- FIRE HYDRANT (PROPOSED)
- SEWER MANHOLE (PROPOSED)
- SEWER CLEANOUT (PROPOSED)
- DUPLEX SEWER GRINDER PUMP (PROPOSED)
- GAS METER (PROPOSED)
- ELECTRICAL METER (PROPOSED)

UTILITY PLAN
WARM SPRINGS VILLAGE SUB, 2ND ADD. REV. BLOCK 4, LOT 3A

LOCATED WITHIN SECTION 14, T.4 N., R.17 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR: PRESIDIO VISTA PROPERTIES

PROJECT INFORMATION
G:\BMA\Warm springs village\2nd addition\2nd Addition, REVISED\Block 4\3263 Lot 3A 108-110 Ritchie Dr\dwg\Construction\3263 CIVIL.dwg 10/03/25 9:31:29 AM

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PURPOSE: PRELIMINARY FOR DESIGN REVIEW 10/14/2025

NO	DATE	BY	REVISIONS

C2.00

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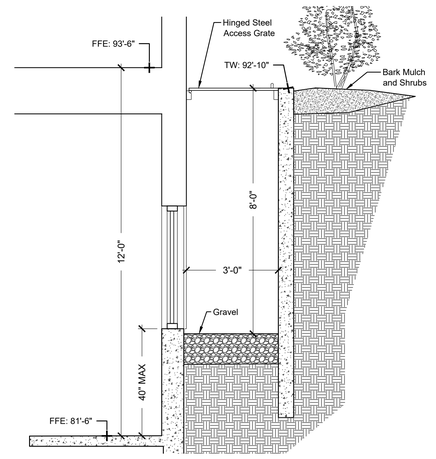
Grading Abbreviations

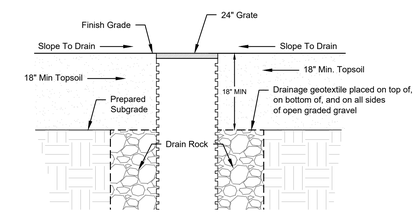
EL	SPOT ELEVATION
FFE	FINISHED FLOOR ELEVATION
HP	HIGH POINT
HPS	HIGH POINT OF SWALE
TS	TOP OF STAIR
BS	BOTTOM OF STAIR
TW	TOP OF WALL
BW	BOTTOM OF WALL
DI	DRAIN INLET ELEVATION
DW	DRYWELL RIM ELEVATION
TC	TOP OF CURB
BC	BOTTOM OF CURB
FG	FINISHED GRADE

Plan Legend

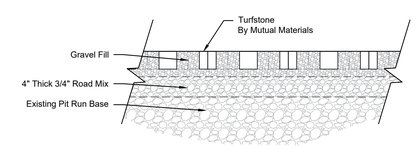
- Property Line
- 5787 Existing Contour
- 95 Proposed Contour
- New Fence
- Boulder Retaining
- Grass Pave
- Pavers
- Concrete
- Gravel
- Lawn Grass
- Natural Grass
- Perennials and Groundcover
- Drywell
- Catch Basin
- Drainage Swale



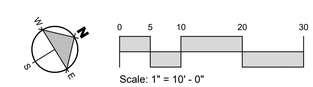
1 Section: Typical Window Well — Scale: 1/2" = 1'-0"



2 Section: Drywell Landscape Integration — Scale: 1/2" = 1'-0"



Detail: Turfstone (Grassblock) — Scale: Not to Scale



Scale: 1" = 10' - 0"

/DESIGN REVIEW RESUBMITTAL - 10/03/25

Warm Springs

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Ketchum, ID 83340

108 & 110 Ritchie Drive
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Ketchum, Idaho

Job No: 23.31

Scale: 1"=10'-0"

Issue/Revisions:	Date:
Concept Update	07/10/24
Design Review	11/06/24
DR Resubmission	03/14/25
DR Resubmission	06/23/25
DR Resubmission	07/17/25
DR Resubmission	08/06/25
DR Resubmission	10/03/25

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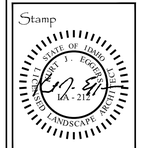


Sheet Title: Grading Plan

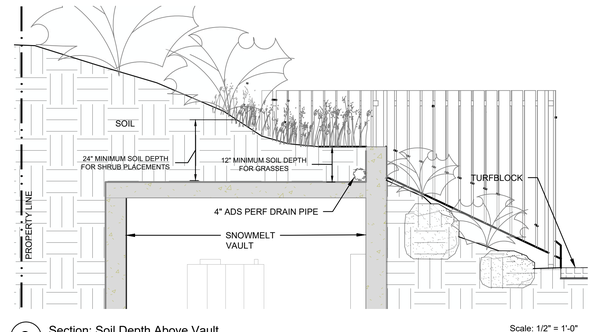
Sheet No: L2.0

Plan Legend

- Property Line
- Existing Contour (5787)
- Proposed Contour (95)
- New Fence
- Drainage Swale
- Boulder Retaining
- Drywell
- Catch Basin
- Grass Pave
- Pavers
- Concrete
- Bark Mulch
- Low Height Native Grasses
- Natural Grass
- Perennials and Groundcover

Plant Legend

Qty.	Species	Scientific Name	Install Size	Mature Size	Drought Tolerance Water Needs
12	**Conifer Trees**				
2	Colorado Spruce	*Picea pungens*	8'	25'-30'	*medium*
5	Subalpine Fir	*Abies lasiocarpa*	8'	20'-25'	*medium*
5	'Tannenbaum' Mugo Pine	*Pinus mugo (Tannenbaum)*	8'	10'-12'	*low*
15	**Deciduous Trees**	**2-1/2-3" Cal.**			
7	Prairifire Crabapple	*Malus x 'Prairifire'*	2-1/2" Cal.	10'-15'	*low*
8	Sargent's Crabapple	*Malus sargentii*	2-1/2" Cal.	10'-15'	*low*
126	**Deciduous Shrubs**				
36	Flame Amur Maple	*Acer ginnala 'Flame*	5 Gal	6'-8'	*medium*
30	Serviceberry	*Amelanchier alnifolia*	5 Gal	4'-6'	*medium*
30	Snowberry	*Symphoricarpos alba*	5 Gal	4'-6'	*medium*
30	Red-twig Dogwood	*Cornus sericea*	5 Gal	4'-6'	*medium*
50	Birchleaf Spirea	*Spiraea betulifolia 'Tor'*	1 Gal	3'	*medium*
50	Goldfinger Potentilla	*Potentilla fruticosa 'Goldfinger'*	1 Gal	3'	*medium*
31	**Evergreen Shrubs**				
31	Dwarf Mugo Pine	*Pinus mugo var. pumilio*	5 Gal	4'-6'	*low*
600 sq.ft.	Various	**Perennial Flowers**	**Flats@8"O.C.**		
2,900 sq.ft.		**Grasses** Lawn Mix	**Hydroseed**		
3,000 sq.ft.		**Natural Grasses** Smooth Broome	**Hydroseed**		



2 Section: Soil Depth Above Vault — Scale: 1/2" = 1'-0"

Scale: 1" = 10' - 0"

DESIGN REVIEW RESUBMITTAL - 10/03/25

Warm Springs

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Ketchum, Idaho

Job No: 23.31

Scale: 1"=10'-0"

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DR Resubmission	08/04/25
DR Resubmission	10/03/25

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STATE OF IDAHO — ROBERT J. EGGERS — LA-212 — REGISTERED LANDSCAPE ARCHITECT

Sheet Title: Landscape Plan

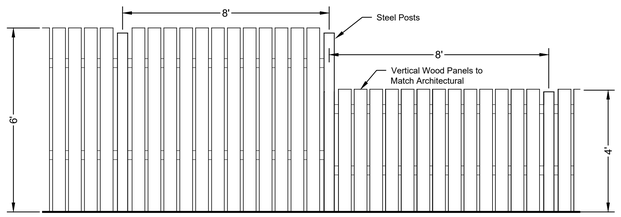
Sheet No: L3.0

Plan Legend

- Property Line
- 5787 — Existing Contour
- 95 — Proposed Contour
- Grass Pave
- Pavers
- Concrete

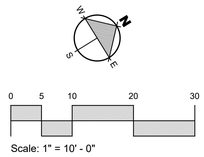
Fence Legend

- 6 Foot High Fence
- 4 Foot High Fence



Elevation: 6 and 4 Foot Fencing — Scale: 1/2" = 1'-0"

6' High Fence Concept Image



Scale: 1" = 10' - 0"

DESIGN REVIEW RESUBMITTAL - 10/03/25

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Lots 3 & 4
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Ketchum, Idaho

Job No: 23.31

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Issue/Revisions:	Date:
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DR Resubmission	10/03/25

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STATE OF IDAHO
ROBERT J. EGGERS
LA - 212
LICENSED LANDSCAPE ARCHITECT

Sheet Title: Fencing Plan

Sheet No: L3.2

Flowering Crab Trees (8 Feet Installation Height)

Fir Tree (6 - 8 Feet Installation Height)

Spruce Tree (6 - 8 Feet Installation Height)

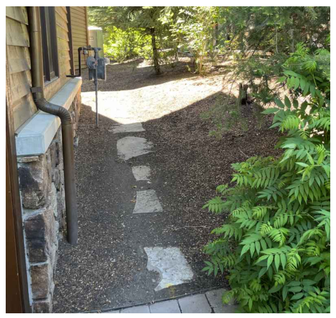
Mugo Pine Tree (6 - 8 Feet Installation Height)

Streetside Example: Low Natural Grass (Scottish Links)

PLANT MATERIALS

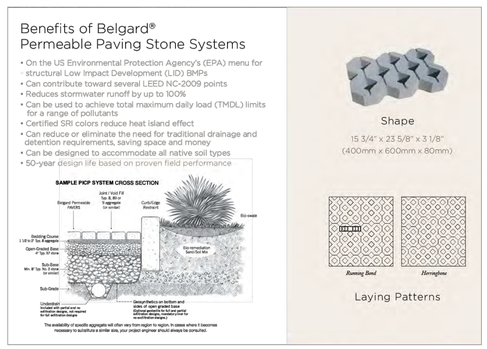
STREET PLANTING EXAMPLES

Transformer Screening



Bark Mulch and Path

Landscape Boulders With Plantings



Driveable Permeable Pavers / Filled with Decorative Gravel

HARDSCAPE MATERIALS

DESIGN REVIEW RESUBMITTAL - 10/03/25

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Scale:

Issue/Revisions:	Date:
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DR Resubmission	07/17/25
DR Resubmission	08/04/25
DR Resubmission	10/03/25

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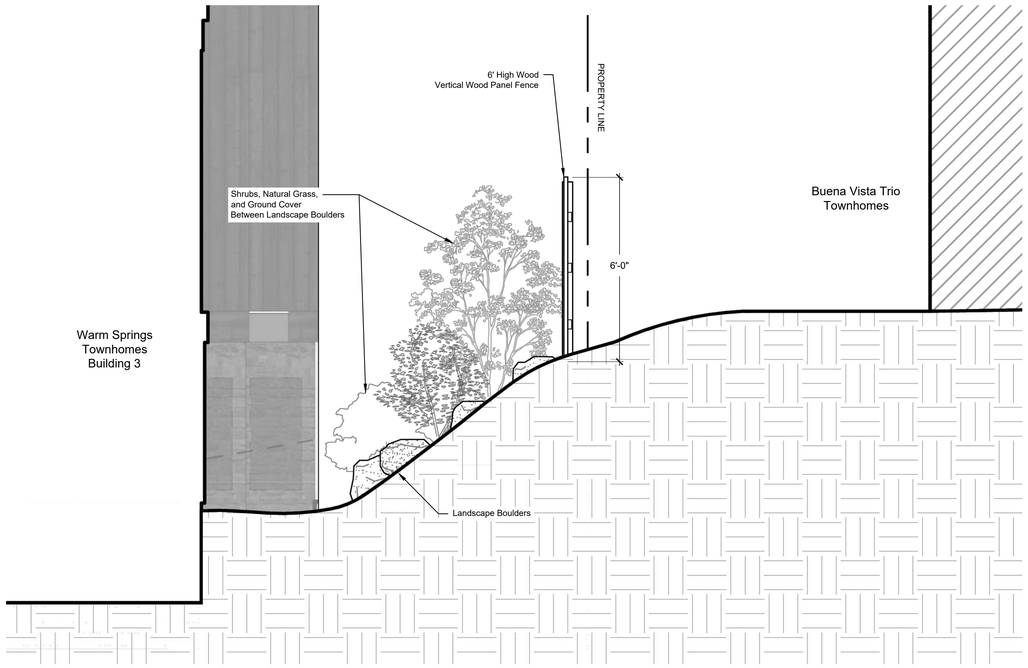
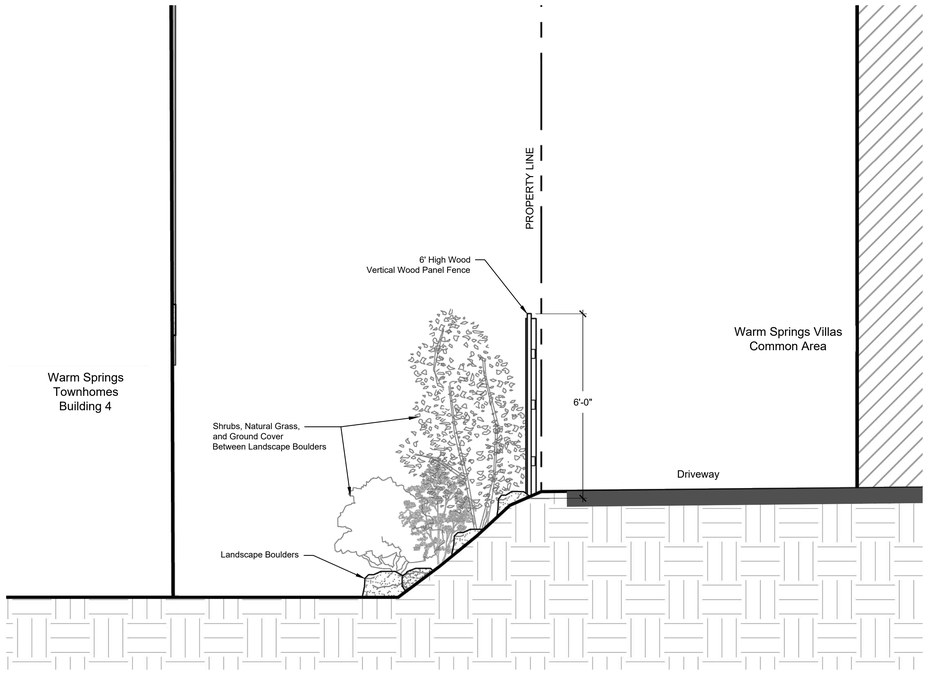
STATE OF IDAHO
REGISTERED LANDSCAPE ARCHITECT
LA - 212

Sheet Title: Plant Materials

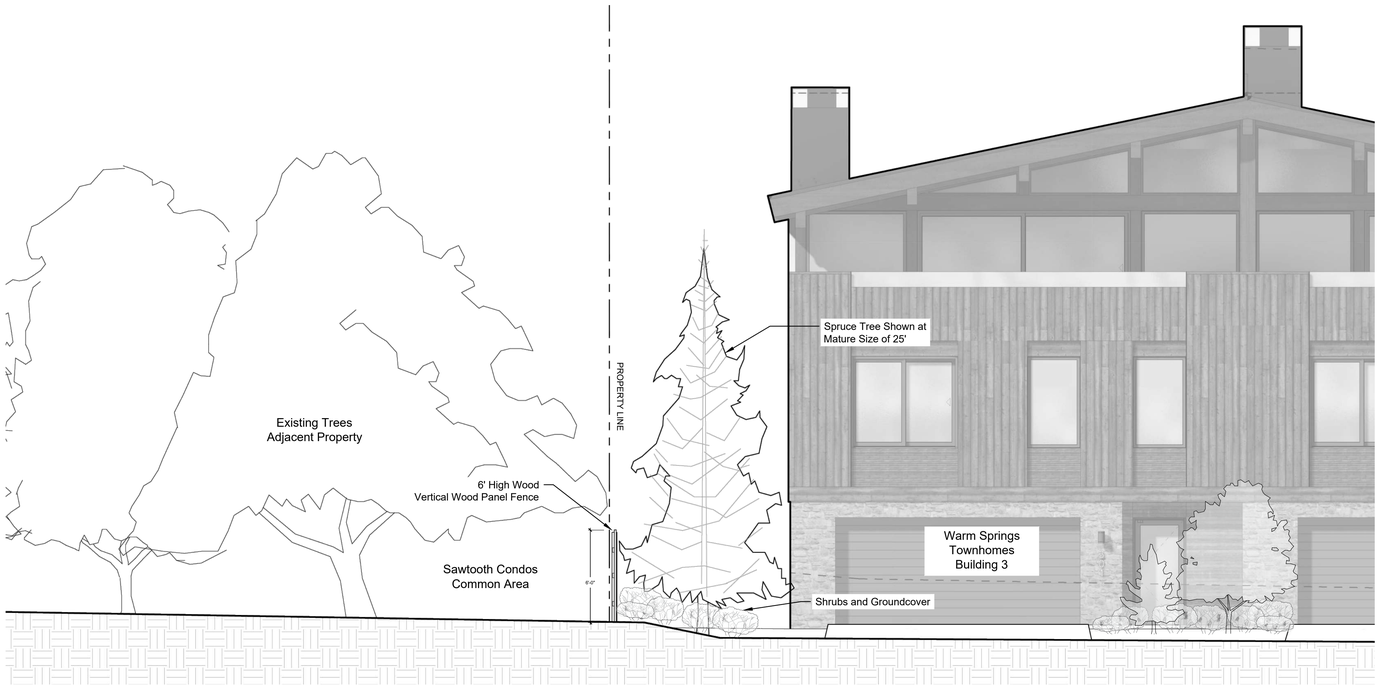
Sheet No: L4.0



1 Section: Building 3 Scale: 1/2" = 1'-0"



2 Section: Adjacent Driveway & Building 4 Scale: 1/2" = 1'-0"



3 Elevation: Adjacent Common Area & Building 3 Scale: 1/4" = 1'-0"

DESIGN REVIEW RESUBMITTAL - 10/03/25

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STATE OF IDAHO
ROBERT J. EGGERS
LA - 212
LICENSED LANDSCAPE ARCHITECT

Sheet Title:
Site Sections

Sheet No:
L5.0

ABBREVIATIONS

CD	CONDENSATE DRAIN	MV	MIXING VALVE
CONT	CONTINUATION	O/H	OVERHEAD
CW	COLD WATER	G	NATURAL GAS
DN	DOWN	PD	PUMPED DISCHARGE
ET	EXPANSION TANK	PRV	PRESSURE REDUCING VALVE
EWC	ELECTRIC WATER COOLER	RP	RECIRCULATION PUMP
ex.	EXISTING	S, SAN	SANITARY
FCO	FLOOR CLEANOUT	SH	SHOWER
FD	FLOOR DRAIN	SK	SINK
FHB	FREEZEPROOF HOSE BIBB	TP	TRAP PRIMER
FS	FLOOR SINK	TYP	TYPICAL
FRH	FREEZEPROOF ROOF HYDRANT	UR	URINAL
FWH	FREEZEPROOF WALL HYDRANT	V	VENT
GCO	GRADE CLEANOUT	VTR	VENT THROUGH ROOF
GI	GREASE INTERCEPTOR	WC	WATER CLOSET
HB	HOSE BIBB	W.C.	WATER COLUMN
HD	HUB DRAIN	WCO	WALL CLEANOUT
HWS	HOT WATER SUPPLY	WHA	WATER HAMMER ARRESTER
HWR	HOT WATER RETURN	WMB	WASHING MACHINE BOX

LEGEND

	COLD WATER PIPE
	HOT WATER PIPE
	HOT WATER RETURN PIPE
S	SANITARY PIPE
	VENT PIPE
G	NATURAL GAS PIPE
GW	GREASE WASTE PIPE
	PIPE UP / PIPE DOWN
	PIPE TEE FROM TOP / TEE FROM BOTTOM
	PIPE CAP / PIPE CONTINUATION
	DIRECTIONAL FLOW ARROW
	BALL VALVE / CHECK VALVE
	MIXING VALVE / PRESSURE REDUCING VALVE
	FLOOR DRAIN / FLOOR SINK
	WATER HAMMER ARRESTOR
	GAS COCK / GAS SOLENOID VALVE
	P-TRAP
	HUB DRAIN
	FLOOR CLEANOUT / GRADE CLEANOUT
	VENT THROUGH ROOF
	PIPE CLEANOUT / WALL CLEANOUT

LEGEND

SYMBOLS	DESCRIPTION
	DUCT UP
	DUCT UP
	DUCT DOWN
UNIT #	EQUIPMENT TYPE EQUIPMENT NUMBER. WHERE A LETTER IS USED, THERE ARE MULTIPLE INSTANCES.

SPECIFICATIONS

IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE LOCAL GAS UTILITY PROVIDER TO CONFIRM THE AVAILABILITY OF THE INDICATED DESIGN DELIVERY PRESSURE PRIOR TO COMMENCING WORK.

ALL GAS PIPING SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE INTERNATIONAL FUEL GAS CODE AND NFPA 54.

ABOVE GRADE GAS PIPING SHALL BE SCHEDULE 40 BLACK STEEL (ASTM A53/A53M). FITTINGS SHALL BE ASME B16.3 MALLEABLE IRON OR ASTM A234/A234M WROUGHT STEEL WELDING TYPE. JOINTS SHALL BE THREADED OR WELDED TO ASME B31.1.

BELOW GRADE GAS PIPING SHALL BE FLEXIBLE POLYETHYLENE TUBING AND SHALL COMPLY WITH ASTM D2513 AND CSA B137.4, AND SHALL BE INSTALLED IN ACCORDANCE WITH IFGC SECTION 402.11.2. PROVIDE MANUFACTURED RISER ASSEMBLY TO TRANSITION FROM TUBING TO ABOVEGROUND METALLIC PIPING.

SHUTOFF VALVES SHALL BE PROVIDED AND LOCATED IN PLACES SO AS TO PROVIDE ACCESS FOR OPERATION AND SHALL BE INSTALLED SO AS TO BE PROTECTED FROM DAMAGE.

ALL GAS FIRED APPLIANCES ARE PROVIDED WITH A GAS PRESSURE OF 7"W.C. AT FINAL EQUIPMENT CONNECTION. IF 7"W.C. EXCEEDS EQUIPMENT'S SPECIFIC INLET PRESSURE REQUIREMENT, CONTRACTOR SHALL PROVIDE APPROPRIATE PRESSURE REGULATING VALVE.

GAS PIPING ON ROOF SURFACES SHALL BE ELEVATED NO LESS THAN 3/4" INCHES ABOVE ROOF SURFACE AND SHALL BE CLAMPED TO RUBBER CHANNEL SUPPORTS (MIFAB C10 SERIES OR EQUAL). PROVIDE SUPPORT AT EVERY ELBOW. THE MAXIMUM SPACING OF SUPPORTS SHALL BE: 1/2" PIPE: 5'-0", 3/4" TO 1 1/4" PIPING: 6'-0", 1 1/2" AND LARGER: 12'-0". VERTICAL PIPING SHALL BE SUPPORTED AT BASE, TOP AND AT 10' INTERVALS (MINIMUM).

ALL EXTERIOR GAS PIPING ON ROOF SHALL BE PRIMED AND PAINTED O.S.H.A. YELLOW. GAS PIPING RUNNING ON EXTERIOR WALLS SHALL BE PRIMED AND PAINTED TO MATCH BUILDING WALL.

EXPOSED GAS PIPING SHALL BE IDENTIFIED BY A YELLOW LABEL MARKED 'GAS' IN BLACK LETTERS. ALL PIPING GREATER THAN 7"W.C. SERVICE PRESSURE SHALL BE IDENTIFIED BY A YELLOW LABEL WITH BLACK LETTERS INDICATING THE PIPING SYSTEM PRESSURE. THE SYSTEM SHALL BE MARKED AT THE BEGINNING, ALL ENDS AND AT INTERVALS NOT EXCEEDING 5 FEET ALONG ITS EXPOSED LENGTH.

BALL VALVES: THREE PIECE BODY, FULL PORT, CHROME PLATED BALL, BLOWOUT PROOF STEM, TFE SEATS, UL LISTED FOR FLAMMABLE LIQUIDS, 600 PSI WOG, THREADED ENDS.

PRESSURE REGULATOR VALVE: SINGLE STAGE AND SUITABLE FOR NATURAL GAS, STEEL JACKET AND CORROSION RESISTANT COMPONENTS, THREADED FOR REGULATORS NPS 2 AND SMALLER. PROVIDE SHUTOFF VALVE IMMEDIATELY AHEAD OF REGULATOR, AND INSTALL TEST PORTS ON EITHER SIDE REGULATOR, WITH UPSTREAM TEST PORT DOWNSTREAM OF SHUTOFF VALVE. REGULATORS SHALL BE INSTALLED PER IFGC SECTION 410. FOR 2PSI INLET, PROVIDE MAXITROL 325-L SERIES. PROVIDE VENT PROTECTOR FOR EXTERIOR APPLICATIONS. FOR INTERIOR APPLICATIONS, VENT SHALL BE PIPED TO THE EXTERIOR WITH TURNDOWN AND SCREEN PROTECTOR (REGULATOR EQUIPPED WITH FACTORY PROVIDED VENT LIMITER IS ACCEPTABLE WHERE APPROVED BY THE LOCAL JURISDICTION).

SHUTOFF VALVES SHALL BE PROVIDED IN ACCORDANCE WITH IFGC 409. INSTALL MANUAL GAS SHUTOFF VALVE FOR EACH GAS APPLIANCE AHEAD OF CORRUGATED STAINLESS STEEL TUBING OR COPPER CONNECTOR. SHUTOFF SHALL BE WITHIN 6' OF APPLIANCE.

INSTALL UNIONS IN PIPES NPS 2 AND SMALLER, ADJACENT TO EACH VALVE, AT FINAL CONNECTION TO EACH PIECE OF EQUIPMENT.

ALL GAS PIPING INSTALLED BENEATH THE BUILDING SLAB SHALL BE ENCASED IN WROUGHT IRON CONDUIT. PIPING SHALL BE PROTECTED AND INSTALLED ACCORDING TO THE INTERNATIONAL FUEL GAS CODE SECTION 404.14.

TANK TYPE WATER HEATERS
WATER HEATERS SHALL BE U.L. LISTED AND SHALL MEET OR EXCEED THE STANDBY LOSS REQUIREMENTS OF U.S. DEPT. OF ENERGY AND CURRENT EDITION OF ASHRAE/IESNA 90.1.

WATER HEATERS SHALL HAVE 150PSI WORKING PRESSURE AND BE EQUIPPED WITH EXTRUDED HIGH DENSITY ANODE ROD AND HIGH TEMPERATURE CUTOFF SWITCH. WATER HEATERS SHALL BE THERMOSTATICALLY CONTROLLED AND SET TO 120° UNLESS OTHERWISE NOTED. WATER HEATERS SHALL BE INSTALLED ON SUSPENDED PLATFORM, STEEL STAND OR CONCRETE PAD, AS INDICATED ON DRAWINGS.

WATER HEATERS SHALL HAVE A MINIMUM 3 YEAR LIMITED WARRANTY.

WATER HEATERS SHALL BE INSTALLED LEVEL AND PLUMB. FIELD COORDINATE EXACT WATER HEATER LOCATION. MAINTAIN MANUFACTURER'S RECOMMENDED CLEARANCES, AND INSTALL SUCH THAT CONTROLS AND DEVICES ARE ACCESSIBLE FOR SERVICING.

INSTALL SHUTOFF VALVES IN COLD WATER INLET AND HOT WATER OUTLET. INSTALL THERMOMETER ON HOT WATER OUTLET. WATER HEATER SHALL HAVE ASME RATED COMBINATION TEMPERATURE AND PRESSURE RELIEF VALVE IN TOP PORTION OF TANK (FACTORY OR FIELD INSTALLED). PIPE RELIEF VALVE OUTLET TO FLOOR DRAIN, MOP SINK, INDIRECT WASTE RECEPTOR OR TO EXTERIOR. MAINTAIN CONTINUOUS DOWNWARD PITCH TOWARD DISCHARGE LOCATION, AND PROVIDE AIR GAP AT DISCHARGE LOCATION. WHERE WATER HEATER DRAIN PAN IS INDICATED ON PLANS, ROUTE DRAIN TO SAME LOCATION AS RELIEF VALVE AND DISCHARGE WITH AIR GAP.

HANGERS AND SUPPORTS
HANGERS SHALL BE COMPLETE WITH RODS AND SUPPORTS PROPORTIONED TO THE SIZE OF PIPE TO BE SUPPORTED, IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

SIZE HANGERS FOR INSULATED PIPING TO BEAR ON OUTSIDE OF INSULATION. PROVIDE INSULATION PROTECTORS AT HANGERS BEARING ON THE OUTSIDE OF INSULATION. PROVIDE A RIGID INSERT OR RIGID INSULATION AT EACH INSULATION PROTECTOR.

WHERE SEVERAL PIPES 3/4" AND SMALLER RUN PARALLEL AND IN THE SAME PLANE, THEY MAY BE SUPPORTED ON GANG OR MULTIPLE HANGERS. LARGER PIPING SHALL BE INDEPENDENTLY HUNG, RUN PARALLEL AND BE EQUALLY SPACED.

PIPING SHALL BE SUPPORTED IN ACCORDANCE WITH IPC SECTION 308, AND SPACING OF HANGERS SHALL NOT EXCEED THE LIMITS SET FORTH IN TABLE 308.5. PIPES SHALL BE SUPPORTED WITHIN 1'-0" OF EACH ELBOW.

VERTICAL PIPE SUBJECT TO MOVEMENT SHALL BE SUPPORTED FROM THE WALL BY MEANS OF A PIPE CLAMP.

SUPPORT DOMESTIC WATER PIPING IN SPACES BEHIND PLUMBING FIXTURES BY BRACKETS AND U-BOLTS SECURED TO WASTE AND VENT STACKS. SIZE U-BOLTS TO BEAR ON THE PIPING.

AFTER HANGER RODS ARE INSTALLED IN FINISHED CONCRETE CEILING, FILL THE REMAINING OPENING WITH CEMENT SO THAT NO HOLE SHOWS AT THE CEILING.

WHERE COPPER PIPING IS USED, NONFERROUS METAL SUPPORT(S) OR PROPER ISOLATION BETWEEN DISSIMILAR MATERIALS SHALL BE PROVIDED.

PIPE HANGERS AND SUPPORTS SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH RECOMMENDATIONS SET FORTH IN MANUFACTURER'S STANDARDIZATION SOCIETY STANDARD PRACTICES NO. SP-69 AND SP-58.

SLEEVES
SLEEVES SHALL BE PROVIDED WHERE PIPES PASS THROUGH WALLS, FLOORS AND ROOFS.
PROVIDE STANDARD WEIGHT STEEL SLEEVES IN CONCRETE AND MASONRY CONSTRUCTION, PROVIDE 26GA GALVANIZED SHEET METAL SLEEVES IN INTERIOR DRYWALL CONSTRUCTION. SLEEVES SHALL BE THE FULL THICKNESS OF WALLS AND SHALL ALLOW FOR THE FULL THICKNESS OF PIPE INSULATION, WHERE APPLICABLE.

SLEEVES MAY BE OMITTED WHEN OPENINGS ARE CORE DRILLED FOR CONCEALED VERTICAL AND HORIZONTAL PIPING. SLEEVES ARE NOT REQUIRED AT INDIVIDUAL PLUMBING FIXTURES OR IN CONCRETE FLOOR SLABS ON GRADE, UNLESS OTHERWISE NOTED.

SLEEVES FOR ALL PIPING PENETRATING FIRE RATED WALLS AND FLOORS SHALL BE PROVIDED WITH 3M PIPE BARRIER NO. CP-25 FIRE PROOFING CAULKING, OR EQUAL, IN ANNULAR SPACE BETWEEN SLEEVE AND PIPING. CONTRACTOR SHALL VERIFY THE RATING OF THE WALL AND CONFIRM THE PENETRATION PROTECTION PROVIDED MEETS THAT RATING.

PENETRATIONS THROUGH OUTSIDE WALLS SHALL BE WATERTIGHT. CAULK BETWEEN PLUMBING PIPE AND SLEEVE. PACK WITH FIBERGLASS AND CAULK, 1" DEEP AT EACH FACE WITH NON-HARDENING SEALANT BETWEEN PIPE AND SLEEVE.

WASTE AND VENT PIPING SYSTEMS AND ACCESSORIES
SANITARY PIPING SHALL BE PVC SCHEDULE 40 SOLID WALL PIPE AND DWV FITTING SYSTEM.

PIPE AND FITTINGS SHALL BE MANUFACTURED FROM PVC COMPOUND WITH A CELL CLASS OF 12454 PER ASTM D-1784 AND CONFORM WITH NATIONAL SANITATION FOUNDATION (NSF) STANDARD 14. PIPE SHALL BE IRON PIPE SIZE (IPS) CONFORMING TO ASTM D-1785 AND ASTM D-2665. INJECTION MOLDED FITTINGS SHALL CONFORM TO ASTM D-2665. FABRICATED FITTINGS SHALL CONFORM TO ASTM F-1866. SOLVENT CEMENTS SHALL CONFORM TO ASTM D-2564. PRIMER SHALL CONFORM TO ASTM F-656. BURIED PIPE SHALL CONFORM TO ASTM D-2321.

WASTE AND VENT PIPING SHALL BE TESTED IN ACCORDANCE WITH THE GOVERNING CODES. AT A MINIMUM, WASTE PIPING SHALL BE TESTED WITH AT LEAST 10 FOOT OF WATER HEAD PRESSURE APPLIED.

ALL VENTS THROUGH ROOF SHALL BE LOCATED AT LEAST 10'-0" AWAY FROM ANY AIR INTAKE, EVAPORATIVE COOLER, OR ANY OTHER DEVICE THAT WOULD DRAW AIR FROM THE VENT. FLASH AROUND ALL PIPES PENETRATING THROUGH ROOF WITH STANDARD MANUFACTURED FLASHINGS. FLASHING SHALL BE SHEET METAL WITH RUBBER GASKETS AND SHALL EXTEND INTO ROOFING AND UP PIPE DISTANCES IN ACCORDANCE WITH THE LOCAL CODE.

NO DOUBLE COMBINATION FITTINGS MAY BE UTILIZED IN THE HORIZONTAL.

WHERE TWO HORIZONTAL PIPES (BACK-TO-BACK WATER CLOSETS OR TWO SANITARY BRANCHES) COMBINE IN THE VERTICAL, A DOUBLE COMBINATION WYE EIGHTH BEND FITTING SHALL BE INSTALLED. DOUBLE SANITARY TEE OR SANITARY CROSS IS NOT ACCEPTABLE.

WHERE DRAWINGS REQUIRE CONNECTION TO EXISTING SANITARY SEWER PIPING IN BUILDING, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD DETERMINE EXACT LOCATION, DEPTH AND DIRECTION OF FLOW PRIOR TO COMMENCING WORK. CONTRACTOR SHALL ALERT ARCHITECT/ENGINEER IF THERE IS A POTENTIAL ISSUE MAINTAINING PROPER SLOPE IN CONNECTING TO EXISTING, OR IF THERE IS A MORE DIRECT CONNECTION POSSIBLE. CONTRACTOR SHALL CONFIRM THAT ANY EXISTING PIPING TO BE REUSED IS CLEAN, FREE OF DEFECTS, ADEQUATELY SLOPED (1/4"/FT MINIMUM) AND THAT THERE ARE NO DIPS THAT COULD HOLD WATER. PROVIDE CAMERA SCOPING TO DOCUMENT THIS INFORMATION. CONTRACTOR SHALL ALERT ARCHITECT/ENGINEER OF ANY DEFICIENCIES.

DOMESTIC WATER SYSTEMS AND ACCESSORIES
WATER PIPING ABOVE SLAB: TYPE 'L' HARD DRAWN COPPER TUBING, ASTM B88, WROUGHT SOLDER JOINTS, ANSI B16.22.

WATER PIPING BELOW SLAB: TYPE 'K' SOFT DRAWN COPPER TUBING, WITH NO JOINTS BELOW SLAB, ASTM B88.

ALL DOMESTIC HOT WATER PIPING SHALL HAVE A MINIMUM PRESSURE RATING OF 100PSI AT 180°F.

DOMESTIC WATER PIPING SHALL BE TESTED IN ACCORDANCE WITH ALL GOVERNING CODES. PIPING SHALL BE PURGED OF DELETERIOUS MATTER AND DISINFECTED PRIOR TO UTILIZATION. PIPING TO BE FLUSHED AND STERILIZED IN ACCORDANCE WITH IPC 610.1 AND ALL APPLICABLE LOCAL AND STATE HEALTH DEPARTMENT STANDARDS.

BALL VALVES SHALL BE TWO-PIECE BRONZE BODY, LARGE PORT WITH SOLID, SMOOTH BORE CHROME PLATED BRASS BALL. SEATS SHALL BE REINFORCED TFE WITH TEFLON PACKING RING AND THREADED ADJUSTABLE PACKING NUT. PROVIDE STEM EXTENSION AS NEEDED TO PROVIDE HANDLE ON OUTSIDE OF PIPE INSULATION. VALVES SHALL BE APOLLO 70 OR EQUAL.

BACKFLOW PREVENTERS SHALL BE INSTALLED IN ACCESSIBLE LOCATIONS FOR EASE OF TESTING AND SERVICING. FOR BACKFLOW PREVENTERS WITH VENT CONNECTIONS, ROUTE VENT LINE TO NEAREST DRAIN AND DISCHARGE WITH AIR GAP. BACKFLOW PREVENTERS SHALL BE TESTED IN ACCORDANCE WITH IPC 312.10.2. CONTRACTOR SHALL PROVIDE CERTIFICATIONS THAT STATE DEVICES HAVE BEEN TESTED AND APPROVED.

THERMOMETERS SHALL BE 9" ADJUSTABLE ANGLE, 30°-180°F RANGE (TRERICE BX9 OR EQUAL). PRESSURE GAUGES SHALL BE 4 1/2" DIAL SIZE, 0-160PSI (TRERICE 600CB OR EQUAL).

CONTRACTOR SHALL FIELD VERIFY INCOMING DOMESTIC WATER PRESSURE TO CONFIRM ADEQUATE PRESSURE TO SERVE THE DOMESTIC WATER SYSTEM. CONTRACTOR SHALL ALERT ENGINEER TO A POTENTIAL LOW PRESSURE CONDITION. WHERE PRESSURE EXCEEDS 80PSI, PROVIDE PRESSURE REGULATING VALVE (WATTS LF223) AND UPSTREAM STRAINER (WATTS LSF777).

CONTRACTOR SHALL FIELD COORDINATE LOCATION OF ACCESSIBLE ISOLATION VALVES ON DOMESTIC HOT & COLD WATER SUPPLIES TO FIXTURES OR GROUPS OF FIXTURES SUCH THAT THEY MAY BE SHUT OFF FOR SERVICING. SERVICE AND HOSE BIBB VALVES SHALL BE IDENTIFIED. ALL OTHER VALVES INSTALLED IN LOCATIONS THAT ARE NOT ADJACENT TO THE FIXTURE(S) SHALL BE IDENTIFIED, INDICATING THE FIXTURE(S) SERVED.

INSULATION
INSULATE ALL DOMESTIC HOT WATER AND HOT WATER RECIRCULATION PIPING IN ACCORDANCE WITH IECC TABLE C403.2.10. PIPE UP TO 1 1/4": 1" THICK INSULATION. PIPE 1 1/2" OR LARGER: 1 1/2" THICK INSULATION

INSULATE ALL HORIZONTAL COLD WATER PIPING LOCATED ABOVE CEILING, VERTICAL PIPING LOCATED IN AN EXTERIOR WALL, EXPOSED PIPING (I.E. MECH ROOMS). PIPE UP TO 1" 1/2" THICK. PIPING 1 1/2" AND OVER: 1" THICK INSULATION. ALL WATER AND DRAINAGE PIPING INSTALLED IN EXTERIOR WALLS SHALL BE WRAPPED IN 1" THICK PIPE INSULATION AND BE LOCATED ON THE INTERIOR SIDE OF THE BUILDING INSULATION. IF INSTALLED IN EXTERIOR BLOCK WALLS, INTERSTITIAL SPACES SHALL BE FILLED WITH FOAM INSULATION.

ALL JOINTS SHALL BE SEALED WITH MATCHING VAPOR BARRIER TAPE.

INSULATION SHALL HAVE A K-FACTOR (AVERAGE THERMAL CONDUCTIVITY) NOT TO EXCEED 0.27 BTU-IN/HR x SQFT x °F.

PROTECTION OF PIPING
PIPING PASSING UNDER FOOTINGS OR THROUGH FOUNDATION WALLS SHALL BE PROVIDED WITH A SLEEVE TWICE THE DIAMETER OF THE PIPE. OPEN ENDS OF SLEEVES SHALL BE SEALED. PIPING PASSING THROUGH CONCRETE OR CINDER WALLS AND FLOORS OR OTHER CORROSIVE MATERIAL SHALL BE PROTECTED IN ACCORDANCE WITH IPC 305.1. ALL PIPING INSTALLED THROUGH HOLES OR NOTCHES IN STUDS, JOISTS, RAFTERS OR SIMILAR MEMBERS SHALL BE PROTECTED BY STEEL SHIELD PLATES IN ACCORDANCE WITH IPC 305.6. VERTICAL STACKS IN WOOD CONSTRUCTION SHALL BE PROTECTED FROM BUILDING SETTLING WITH COMPRESSION/EXPANSION FITTINGS AND PIPE CLAMPS INSTALLED PER MANUFACTURER'S RECOMMENDATIONS (FERNCO XJ SERIES OR EQUAL).

SPECIFICATIONS

APPLICABLE CODES:

INTERNATIONAL FIRE CODE (IFC), 2018 EDITION
2020 IFC CO AMENDMENTS
INTERNATIONAL PLUMBING CODE (IPC), 2018 EDITION
2020 IPC CO AMENDMENTS
INTERNATIONAL MECHANICAL CODE (IMC), 2018 EDITION
2020 IMC CO AMENDMENTS
INTERNATIONAL FUEL GAS CODE (IFGC), 2018 EDITION
2020 IFGC CO AMENDMENTS
INTERNATIONAL ENERGY CONSERVATION CODE (IECC), 2018 EDITION
2020 SUPPLEMENTS AND AMENDMENTS

GENERAL NOTES:

REFER TO ARCHITECTURAL REFLECTED CEILING PLANS FOR EXACT LOCATION OF ALL CEILING MOUNTED EQUIPMENT.

ALL DUCT DIMENSIONS INDICATED IN THESE DOCUMENTS ARE INSIDE-CLEAR DIMENSIONS.

PORTIONS OF DUCTWORK OR PIPING VISIBLE THROUGH GRILLES AND REGISTERS IN FINISHED AREAS SHALL BE PAINTED FLAT BLACK. PAINT BLACK BEHIND ALL GRILLES.

ALL WIRING IN THE CEILING PLENUM SHALL BE PLENUM RATED CABLE.

MOUNTING FRAME OF CEILING MOUNTED AIR DISTRIBUTION DEVICES SHALL BE COMPATIBLE WITH CEILING TYPE. REFER TO ARCHITECTURAL DRAWINGS FOR CEILING TYPE.

ALL FIRE SEPARATIONS MUST BE PROTECTED WHEN APPLICABLE.

PROVIDE NEW FILTERS (MERV 7 OR BETTER PER OWNER) FOR ALL APPLICABLE HVAC EQUIPMENT AT THE END OF CONSTRUCTION.

ALL MATERIAL IN PLENUM MUST MEET FIRE AND SMOKE SPREAD AS REQUIRED BY NFPA 90A.

ALL ROOF PENETRATIONS TO BE 12" APART AND AT LEAST 12" AWAY FROM CURBS, WALLS, AND DRAIN SUMPS TO PROVIDE ROOFING CONTRACTOR WITH SUFFICIENT ACCESS FOR FLASHING EACH ROOF PENETRATION.

SUBSTITUTIONS MUST BE APPROVED IN WRITING BY ARCHITECT PRIOR TO BID SUBMISSION.

CONTRACTOR SHALL REVIEW ALL CONTRACT DOCUMENTS AND SHALL BE FAMILIAR WITH THE SCOPE AND REQUIREMENTS OF THIS PROJECT. ANY DISCREPANCIES OR LACK OF CLARITY IN THE DOCUMENTS SHALL BE IDENTIFIED TO THE ARCHITECT OR ENGINEER PRIOR TO THE SUBMISSION OF PRICING BIDS. WITH A SUBMITTED BID, CONTRACTOR IS ACCEPTING THESE DOCUMENTS AS SUFFICIENT DEFINITION OF THE SCOPE OF WORK, AND ANY ADDITIONAL COSTS BASED ON UNCLARITY OF CONTRACT DOCUMENTS WILL NOT BE CONSIDERED.

THE CONTRACTOR SHALL REFERENCE THE FULL SET OF CONSTRUCTION DOCUMENTS DURING PRICING AND CONSTRUCTION FOR COORDINATION BETWEEN DISCIPLINES RELATIVE TO THE MECHANICAL SCOPE.

EXISTING CONDITIONS:

CONTRACTOR SHALL VISIT THE SITE AND UNDERSTAND JOB CONDITIONS BEFORE SUBMITTING A PROPOSAL. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY LOCATIONS AND SIZES OF ALL EXISTING UTILITY SERVICES PRIOR TO SUBMITTING HIS PROPOSAL. NO CONSIDERATION WILL BE GIVEN TO CLAIMS FOR EXTRA COST ARISING FROM CONTRACTOR'S FAILURE TO BE FULLY COGNIZANT OF JOB OR SITE CONDITIONS EXISTING AT TIME OF ACCEPTANCE OF BID.

ACTIVE SERVICES: WHEN ENCOUNTERED IN WORK, PROTECT, BRACE, SUPPORT EXISTING ACTIVE SEWERS, GAS AND OTHER SERVICES REQUIRED FOR PROPER EXECUTION OF WORK. IF EXISTING ACTIVE SERVICES ARE ENCOUNTERED THAT REQUIRE RELOCATION, RELOCATE AS APPROVED. DO NOT PREVENT OR DISTURB OPERATION OF ACTIVE SERVICES THAT ARE TO REMAIN.

INACTIVE SERVICES: WHEN ENCOUNTERED IN WORK, REMOVE, CAP OR PLUG INACTIVE SERVICES, AS INDICATED.

INTERRUPTION OF SERVICES: WHERE WORK MAKES TEMPORARY SHUT-DOWNS OF SERVICES UNAVOIDABLE, SHUT DOWN AT NIGHT, OR AT SUCH TIMES AS APPROVED BY OWNER, WHICH WILL CAUSE LEAST INTERFERENCE WITH ESTABLISHED OPERATING ROUTINE. ARRANGE WORK TO ASSURE THAT SERVICES WILL BE SHUT DOWN ONLY DURING TIME ACTUALLY REQUIRED TO MAKE NECESSARY CONNECTION TO EXISTING WORK.

WHERE EXISTING WALLS, CEILINGS, FLOORS, ETC., ARE CUT OR OTHERWISE DAMAGED DURING CONSTRUCTION, REPAIR ALL SURFACES TO THEIR ORIGINAL CONDITION.

SHOP DRAWINGS:

SUBMIT SHOP DRAWINGS FOR REVIEW. PDF FILES PREFERRED. SHOP DRAWINGS SHALL BE BOUND INTO VOLUMES (FILES), WITH EACH VOLUME (FILE) CONTAINING ONE COPY OF ALL SHOP DRAWINGS. ALL SHOP DRAWINGS SHALL BE SUBMITTED SIMULTANEOUSLY; NO SHOP DRAWINGS WILL BE CHECKED UNTIL ALL HAVE BEEN SUBMITTED.

SUBMITTALS SHALL BE SUPPORTED BY DESCRIPTIVE MATERIAL, SUCH AS CATALOG CUTS, DIAGRAMS, PERFORMANCE CURVES AND CHARTS PUBLISHED BY THE MANUFACTURER, TO SHOW CONFORMANCE TO SPECIFICATION AND DRAWING REQUIREMENTS; MODEL NUMBERS ALONE WILL NOT BE ACCEPTABLE. ALL LITERATURE SHALL CLEARLY INDICATE THE SPECIFIED MODEL NUMBER, DIMENSIONS, ARRANGEMENT, RATING AND CHARACTERISTICS OF THE PROPOSED EQUIPMENT. CAPACITIES AND RATINGS SHALL BE BASED ON CONDITIONS INDICATED OR SPECIFIED HEREIN. ANY DEVIATIONS FROM SPECIFIED EQUIPMENT (PARTICULARLY THOSE WHICH REQUIRE COORDINATION WITH OTHER TRADES) SHALL BE CLEARLY NOTED IN A CONCISE LIST ON A SEPARATE SHEET.

TEST AND BALANCE:

TEST AND BALANCE (TAB) CONTRACTOR SHALL HOLD A CURRENT NATIONAL BALANCING COUNCIL (NBC) CERTIFICATION AND POSSESS ACCURATE AND CALIBRATED INSTRUMENTS. TAB WORK AND REPORTS SHALL BE PER NBC PRACTICAL STANDARDS, PROCEDURES AND FORMS. ACCEPTIBLE ALTERNATIVE TAB FIRM CERTIFICATIONS/PROCEDURES: NEBB, AABC, OR TABB.

PRIOR TO COMMENCEMENT OF THE TAB WORK, THE MECHANICAL SYSTEMS ARE TO BE STARTED AND FULLY FUNCTIONING. A CHECKLIST PRIOR TAB WORK IS TO BE SENT TO THE INSTALLING CONTRACTOR AND RETURNED ATTESTING TO THE READINESS OF THE SYSTEMS FOR BALANCING.

PREFERRED TAB FIRM: P-TAB.COM

GUARANTEE:

GUARANTEE THAT EACH PIECE OF APPARATUS SHALL BE OF THE CUSTOMARY STANDARD AND QUALITY FURNISHED BY THE DESIGNED MANUFACTURER FOR THAT CATALOG NUMBER.

GUARANTEE THAT THE AIR SYSTEMS SHALL OPERATE WITHOUT AERODYNAMIC NOISE GENERATED FROM THE FAULTY INSTALLATION OF DUCT WORK OR ANY COMPONENT OF THE AIR DISTRIBUTION SYSTEM.

GUARANTEE THAT ALL SYSTEMS AND COMPONENTS SHALL BE PROVIDED WITH A ONE YEAR WARRANTY FROM THE TIME OF DATE OF SUBSTANTIAL COMPLETION. THE WARRANTY SHALL COVER ALL MATERIALS AND WORKMANSHIP. DURING THIS WARRANTY PERIOD, ALL DEFECTS IN MATERIALS AND WORKMANSHIP SHALL BE CORRECTED BY REPAIR OR REPLACEMENT WITHOUT INCURRING ADDITIONS TO THE CONTRACT.

SNOW MELT BOILER WATER PIPING:

CONDENSER WATER PIPING SHALL BE SCHEDULE 40 STEEL PIPE, GROOVED, MECHANICAL JOINT COUPLING AND FITTINGS; AND GROOVED MECHANICAL JOINTS.

SNOW MELT BOILER WATER PIPING INSULATION:

CONDENSER WATER PIPING SHALL BE INSULATED WITH 1-1/2" CELLULAR GLASS WITH ALL SERVICE JACKET (ASJ) OR 1-1/2" MINERAL FIBER PREFORMED PIPE, TYPE I, WITH ASJ.

PROFICIENT ENGINEERING
4704 N. Harlan St Suite 620
Denver, Colorado 80212
720.779.3556
PROJECT # 324050

WARM SPRINGS TOWNHOMES
KETCHUM, IDAHO

OWNER:
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KETCHUM, ID 83340
TEL: 603.801.0419

BUILDING ARCHITECT:
RO | ROCKETT DESIGN
1031 W. MANCHESTER BLVD. UNIT 6
INGLEWOOD, CA 90301
TEL: 213.784.0014

STRUCTURAL ENGINEER:
ZFA STRUCTURAL ENGINEERS
601 MONTGOMERY STREET SUITE 1450
SAN FRANCISCO, CA 94111
TEL: 415.243.4091

MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:
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CIVIL ENGINEER:
GALENA BENCHMARK ASSOCIATES
100 BELL DRIVE SUITE C
KETCHUM, ID 83340
TEL: 208.726.9512

LANDSCAPE ARCHITECT:
EGGERS ASSOCIATES
580 NORTH 2ND AVENUE
KETCHUM, ID 83340
TEL: 208.725.0988

GEOTECHNICAL ENGINEER:

LIGHTING DESIGNER:

AUDIO / VISUAL / CONTROLS:

GENERAL CONTRACTOR:

ISSUE	DESCRIPTION	DATE
	DESIGN REVIEW SUBMISSION	7/10/2024
1	DESIGN REVIEW RESUBMISSION	11/5/2024
2	DESIGN REVIEW RESUBMISSION	3/14/2025
3	DESIGN REVIEW RESUBMISSION	6/25/2025

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PROJECT:
WARM SPRINGS TOWNHOMES

108 RITCHIE DRIVE
KETCHUM, ID 83340

DRAWING TITLE:
GENERAL

SEAL:
PROFESSIONAL ENGINEER LICENSED 7628 STATE OF IDAHO JOHN PAUL KENNEY

PROJECT NUMBER
2000.01

DRAWING NUMBER:
M0.1

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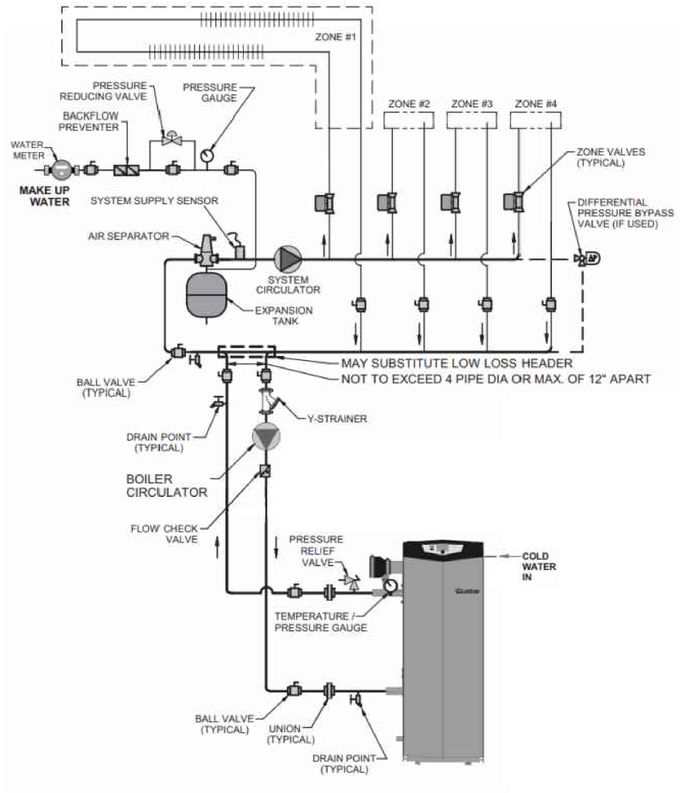
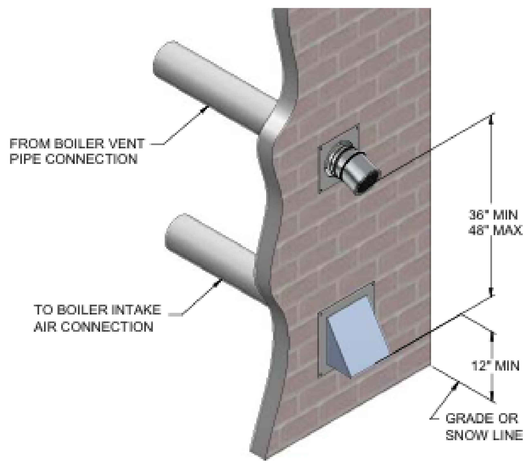


BOILER INSTALLATION DETAIL

NO SCALE



BOILER SIDEWALL TERMINATION DETAIL

NO SCALE

HOT WATER BOILER

MARK	SERVES	BASIS OF DESIGN	WATER			HEATER		DECIBEL (dB)	TURN DOWN	THERMAL EFFICIENCY (%)	OPERATING WEIGHT (LBS)	REMARKS									
			GPM	EWT (°F)	LWT (°F)	INPUT (MBH)	OUTPUT (MBH)					1	2	3	4	5	6	7	8	9	10
B-1	BUILDING B RAMP	FB1751	145.0	40	121	1,751.0	1,684.0	66	25:1	96.2	250	X	X	X	X	X	X	X	X	X	

NOTES:

A. SELECTIONS ARE BASED ON LOCHINVAR. EQUAL PRODUCTS BY AERCO, PATTERSON KELLEY, HYDROTHERM.
B. SEE ELECTRICAL DRAWINGS FOR ELECTRICAL POWER INFORMATION.
C. THERMAL EFFICIENCY IS BASED ON AHRI EFFICIENCY 80°F TO 180°F.

REMARKS:

1. SINGLE POINT POWER CONNECTION.
2. DISCONNECT SWITCH PROVIDED BY THE ELECTRICAL SUBCONTRACTOR.
3. FACTORY PROVIDED MULTI-BOILER CONTROL SYSTEM.
4. OUTDOOR AIR RESET.
5. BAS INTERFACE (BACNET).
6. DIRECT VENT SEALED COMBUSTION CONFIGURATION.
7. CONCENTRIC VENT KIT.
8. HIGH & LOW GAS PRESSURE SWITCHES WITH MANUAL RESET.
9. 50%-50% PROPYLENE GLYCOL AND WATER SOLUTION. PROVIDE ADVANTAGE CONTROLS 55 GALLON E-GLYCOL FEEDER. INSTALL PER MANUFACTURER'S INSTRUCTIONS. PROVIDE WITH BAS INTERFACE (BACNET).

PUMP SCHEDULE

MARK	SERVICE / DUTY	TYPE	GPM	HEAD (FT)	IMPELLER DIAMETER (IN)	MAX NPSHR (FSI)	MOTOR (HP)	PUMP SPEED (RPM)	PUMP EFF (%)	OPERATING WEIGHT (LBS)	BASIS OF DESIGN MODEL	REMARKS							
												1	2	3	4	5	6	7	8
P-1A	B-4: PRIMARY LOOP	ECM HIGH-EFFICIENCY	145	11.000	10"	4.35	2.1	4760	36	52	TACO VR25M5F	X	X	X	X	X	X	X	X
P-1B	B-4: SECONDARY LOOP	ECM HIGH-EFFICIENCY	145	13.900	10"	4.4	5	4400	63	72	TACO SKV3009D	X	X	X	X	X	X	X	X

NOTES (APPLY TO ALL):

A. SEE ELECTRICAL DRAWINGS FOR ELECTRICAL POWER INFORMATION.
B. BASIS OF DESIGN: TACO AND GRUNDFOS.
ACCEPTABLE ALTERNATES: BELL & GOSSETT, ARMSTRONG, AURORA.

REMARKS:

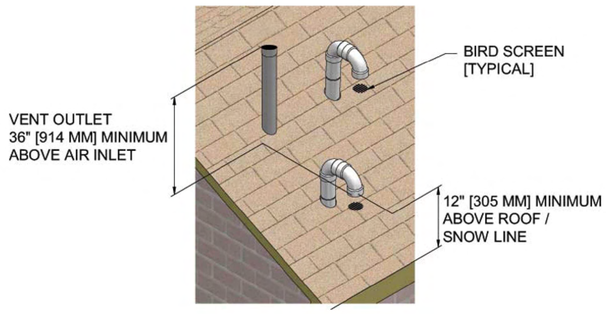
1. FLEXIBLE COUPLING.
2. DISCONNECT SWITCH BY THE ELECTRICAL SUBCONTRACTOR.
3. SUCTION DIFFUSER WITH INTEGRAL STRAINER.
4. INVERTER DUTY MOTOR WITH VFD. VFD PROVIDED BY THE ELECTRICAL SUBCONTRACTOR.
5. DDC CONTROL, INTERLOCK WITH BAS.
6. FIELD INSTALLED DIFFERENTIAL PRESSURE SENSOR AT MOST CRICITAL POINT.
7. PUMP & INERTIA BASE MOUNTED ON CONCRETE HOUSEKEEPING PAD PROVIDED BY OTHERS.
8. PUMP IS PROVIDED WITH BOILER AND IS SHOWN FOR REFERENCE ONLY.

MANIFOLD SCHEDULE

MARK	BOILER	CIRCUITS	GPM	REQUIRED TEMP (°F)	SUPPLIED TEMP (°F)	MANIFOLD TYPE (FT)	MANIFOLD HEAD LOSS (FT)	CIRCUIT HEAD LOSS (FT)	S/R HEAD LOSS (FT)	TOTAL HEAD LOSS (FT)
MANIFOLD 1	B-1	6	14.17	115	121	[illegible]	5.2	10.2	0	15
MANIFOLD 2	B-1	5	10.98	116	121	[illegible]	3.9	10.1	0	14
MANIFOLD 3	B-1	12	31.36	115	121	[illegible]	13.9	13.6	0	28
MANIFOLD 4	B-1	4	10.48	116	121	[illegible]	5.1	13.0	0	18
MANIFOLD 5	B-1	11	26.83	117	121	[illegible]	10.7	14.2	0	25
MANIFOLD 6	B-1	7	17.80	116	121	[illegible]	6.7	14.1	0	21
MANIFOLD 7	B-1	1	1.90	112	121	[illegible]	2.7	7.5	0	10
MANIFOLD 8	B-1	2	3.01	123	121	[illegible]	1.9	3.9	0	6
MANIFOLD 9	B-1	8	18.81	115	121	[illegible]	6.0	13.0	0	19
MANIFOLD 10	B-1	4	6.59	117	121	[illegible]	2.0	4.3	0	6
MANIFOLD 11	B-1	2	2.56	117	121	[illegible]	2.7	9.5	0	12

NOTES (APPLY TO ALL):

A. REFER TO SNOW MELT SYSTEM LOOP DRAWINGS FOR MORE INFORMATION.



BOILER VERTICAL TERMINATION DETAIL

NO SCALE

PROFICIENT ENGINEERING
4704 N. Harlan St Suite 620
Denver, Colorado 80212
720.779.3556
PROJECT # 324050

WARM SPRINGS TOWNHOMES KETCHUM, IDAHO

OWNER:
108-110 RITCHIE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340
TEL: 603.801.0419

BUILDING ARCHITECT:
RO | ROCKETT DESIGN
1031 W. MANCHESTER BLVD. UNIT 6
INGLEWOOD, CA 90301
TEL: 213.784.0014

STRUCTURAL ENGINEER:
ZFA STRUCTURAL ENGINEERS
601 MONTGOMERY STREET SUITE 1450
SAN FRANCISCO, CA 94111
TEL: 415.243.4091

MECHANICAL, ELECTRICAL, PLUMBING ENGINEER:
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4704 HARLAN STREET SUITE 620
DENVER, CO 80212
TEL: 720.779.3556

CIVIL ENGINEER:
GALENA BENCHMARK ASSOCIATES
100 BELL DRIVE SUITE C
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TEL: 208.726.9512

LANDSCAPE ARCHITECT:
EGGERS ASSOCIATES
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TEL: 208.725.0988

GEOTECHNICAL ENGINEER:

LIGHTING DESIGNER:

AUDIO / VISUAL / CONTROLS:

GENERAL CONTRACTOR:

ISSUE	DESCRIPTION	DATE
	DESIGN REVIEW SUBMISSION	7/10/2024
1	DESIGN REVIEW RESUBMISSION	11/5/2024
2	DESIGN REVIEW RESUBMISSION	3/14/2025
3	DESIGN REVIEW RESUBMISSION	6/25/2025

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PROJECT:
WARM SPRINGS TOWNHOMES

108 RITCHIE DRIVE
KETCHUM, ID 83340

DRAWING TITLE:
SCHEDULES & DETAILS

SEAL:
PROFESSIONAL ENGINEER (LICENSED) 17628 STATE OF IDAHO JOHN PAUL KENNEY

PROJECT NUMBER
2000.01

DRAWING NUMBER:
M0.2

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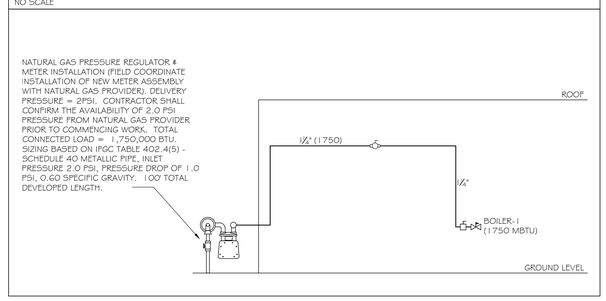
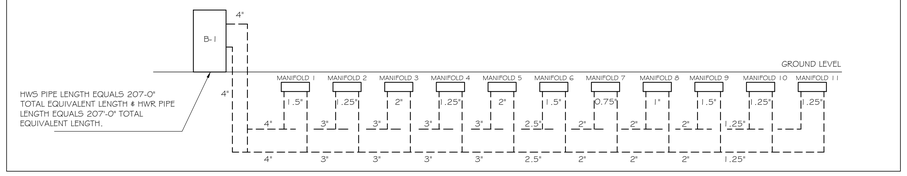
NATURAL GAS RISER DIAGRAM

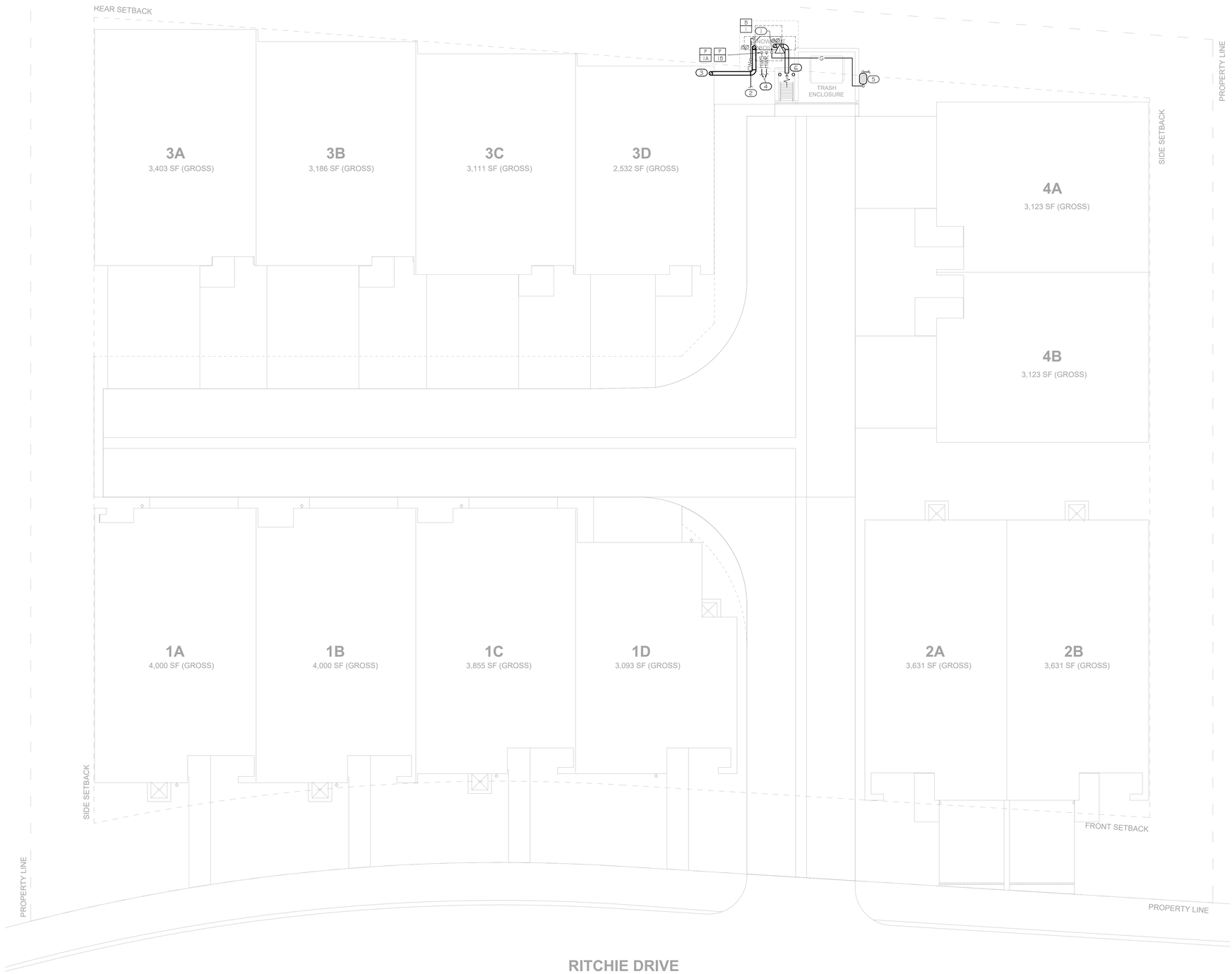
NO SCALE



MANIFOLD PIPING DIAGRAM FOR BOILER 4

NO SCALE





1 FLOOR PLANS - LEVEL 1

1/8" = 1'-0"

PROFICIENT ENGINEERING
4704 N. Harlan St Suite 620
Denver, Colorado 80212
720.779.3556
PROJECT # 324050

GENERAL NOTES

A. REFER TO SNOW MELT SYSTEM LOOP DRAWINGS FOR MORE INFORMATION ON SNOW MELT PIPING AND MANIFOLDS.

B. REFER TO MANIFOLD PIPING DIAGRAM FOR BOILER 1 ON THIS SHEET FOR MORE INFORMATION ON BOILER SYSTEM PIPE SIZES.

KEYNOTES

1. NATURAL GAS DN TO BOILER WITH SHUTOFF VALVE, DIRT LEG & UNION. FIELD COORDINATE FINAL CONNECTION.
2. 1" DOMESTIC WATER SERVICE BIG, SEE CIVIL DWG FOR CONT
3. BOILER FLUE VENT TO ROOF TERMINATION PER MANUFACTURER'S INSTALLATION INSTRUCTIONS. REFER TO MANUFACTURER'S REQUIRED CLEARANCES LISTED ON THIS SHEET.
4. ROUTE 4" HWS TO MANIFOLDS AND CONTINUE 4" HWR FROM MANIFOLDS BACK TO BOILER. REFER TO SNOW MELT SYSTEM LOOP DRAWING ON SHEET M3.0 FOR MANIFOLD LOCATIONS AND MANIFOLD PIPING DIAGRAM.
5. NATURAL GAS DN TO NEW METER/PRV INSTALLATION, COORDINATE WITH UTILITY PROVIDER. SEE NATURAL GAS RISER DIAGRAM FOR ADDITIONAL INFORMATION AND SIZING CRITERIA.
6. BOILER COMBUSTION PIPE TO EXTERIOR WALL ABOVE DOOR TERMINATION PER MANUFACTURER'S INSTALLATION INSTRUCTIONS. REFER TO MANUFACTURER'S REQUIRED CLEARANCES LISTED ON THIS SHEET.

BOILER VENT CLEARANCES:

- THE TOTAL LENGTH OF PIPING FOR VENT OR AIR MUST NOT EXCEED THE LIMITS GIVEN IN THE GENERAL VENTING SECTION ON PAGE 17 OF THE MANUAL.
- THE VENT MUST TERMINATE AT LEAST 3 FEET ABOVE THE HIGHEST PLACE IN WHICH THE VENT PENETRATES THE ROOF AND AT LEAST 2 FEET ABOVE ANY PART OF A BUILDING WITHIN 10 HORIZONTAL FEET.
- THE AIR PIPING MUST TERMINATE IN A DOWN-TURNED 180° RETURN PIPE NO FURTHER THAN 2 FEET (.6 M) FROM THE CENTER OF THE VENT PIPE. THIS PLACEMENT AVOIDS RECIRCULATION OF FLUE PRODUCTS INTO THE COMBUSTION AIR STREAM.
- THE VENT PIPING MUST TERMINATE IN AN UP-TURNED COUPLING AS SHOWN IN FIG. 3-1. THE TOP OF THE COUPLING OR THE RAIN CAP MUST BE AT LEAST 36" (914 MM) ABOVE THE AIR INTAKE. THE AIR INLET PIPE AND VENT PIPE CAN BE LOCATED IN ANY DESIRED POSITION ON THE ROOF, BUT MUST ALWAYS BE NO FURTHER THAN 2 FEET (.6 M) APART AND WITH THE VENT TERMINATION AT LEAST 36" (914 MM) ABOVE THE AIR INTAKE.
- LOCATE TERMINATIONS SO THEY ARE NOT LIKELY TO BE DAMAGED BY FOREIGN OBJECTS, SUCH AS STONES OR BALLS, OR SUBJECT TO BUILDUP OF LEAVES OR SEDIMENT.
- DO NOT EXTEND EXPOSED VENT PIPE OUTSIDE OF BUILDING MORE THAN SHOWN IN THE MANUAL OR DETAIL ON M0.2. CONDENSATE COULD FREEZE AND BLOCK VENT PIPE.

WARM SPRINGS TOWNHOMES KETCHUM, IDAHO

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GEOTECHNICAL ENGINEER:

LIGHTING DESIGNER:

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GENERAL CONTRACTOR:

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3	DESIGN REVIEW RESUBMISSION	6/25/2025

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PROJECT:
WARM SPRINGS TOWNHOMES

108 RITCHIE DRIVE
KETCHUM, ID 83340

DRAWING TITLE:
SNOW MELT DESIGN

SEAL:
PROFESSIONAL ENGINEER
LICENSED
17628
STATE OF IDAHO
JOHN PAUL KENNEY

PROJECT NUMBER
2000.01

DRAWING NUMBER:
M1.0

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Denver, Colorado 80212
720.779.3556
PROJECT # 324050

SHAMROCK SALES

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PROJECT: Warm Springs Snowmelt REV10 Quote#092925DPMEQ

CUSTOMER:

PROJECT NO.: 092925DPMEQ

SCALE: 3/16"=1'

DRAWING NAME: Snow Melt

DRAWN BY: Dylan Meyer

Created Using LoopCAD 2025 25.0.0396 (9/29/2025)

DATE: 9/29/2025

REVISIONS

No	Desc	Date

PAGE NO. 1

N

WARM SPRINGS TOWNHOMES KETCHUM, IDAHO

OWNER:
108-110 RITCHIE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340
TEL: 603.801.0419

BUILDING ARCHITECT:
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TEL: 213.784.0014

STRUCTURAL ENGINEER:
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TEL: 415.243.4091

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LANDSCAPE ARCHITECT:
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KETCHUM, ID 83340
TEL: 208.725.0988

GEOTECHNICAL ENGINEER:

LIGHTING DESIGNER:

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GENERAL CONTRACTOR:

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3	DESIGN REVIEW RESUBMISSION	6/25/2025

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PROJECT:
WARM SPRINGS TOWNHOMES

108 RITCHIE DRIVE
KETCHUM, ID 83340

DRAWING TITLE:
SNOW MELT SYSTEM LOOP

SEAL:
PROFESSIONAL ENGINEER LICENSED 17628 STATE OF IDAHO JOHN PAUL KENNEY

PROJECT NUMBER
2000.01

DRAWING NUMBER:
M3.0

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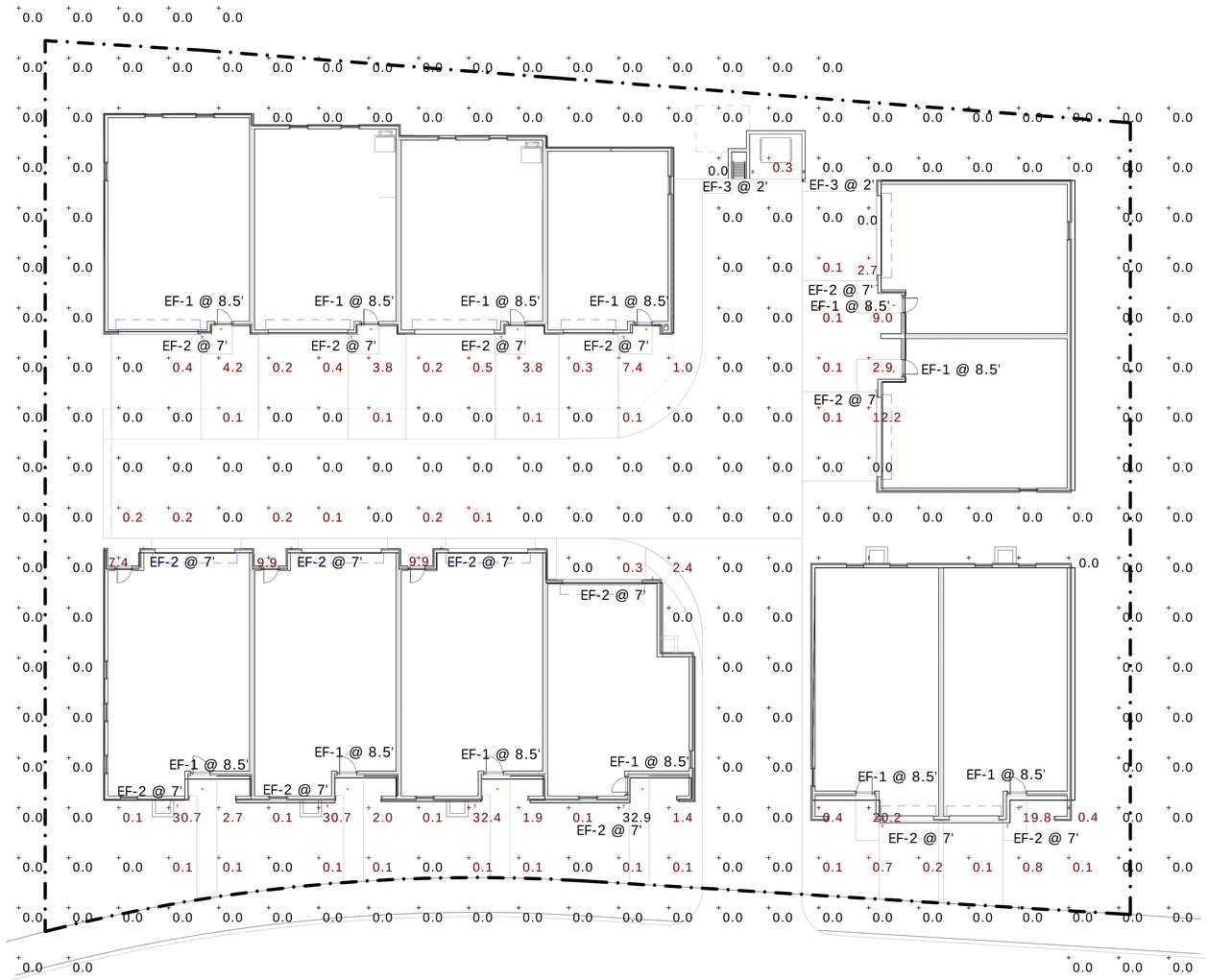
Schedule

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Filename	Light Loss Factor	Total Lamp Lumens	Wattage	Plot
	EF-1	12	WAC LIGHTING	R3CRDL-BK(N927)	Recessed-mounted Luminaires	R3CRDT-WT(N927).IES	1	842	13.5	Max: 1463cd
	EF-2	16	WAC LIGHTING	DS-WS0622-F927A-WT	Surface-mounted Luminaires	DS-WS0622-F927A-WT.IES	1	2034	21.8545	Max: 2567cd
	EF-3	2	WAC Lighting	WL-LED100-27-BK	LED Step light	WL-LED100-C-BK.IES	1	31	4	Max: 43cd

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	0.9 fc	32.9 fc	0.0 fc	N/A	N/A



1 FLOOR PLANS - LEVEL 1
3/32" = 1'-0"

TOWN STAMP

PROFICIENT ENGINEERING
4704 N. Harlan St Suite 620
Denver, Colorado 80212
720.779.3556
PROJECT # 324050

PROFESSIONAL ENGINEER LICENSED 17628 STATE OF IDAHO JOHNPAUL KENNEY

DISCIPLINE STAMP

WARM SPRINGS TOWNHOMES
108 RITCHIE DRIVE
KETCHUM, ID 83340

REVISION

No.	Description	Date
1	Design Review Resubmission	11/5/2024
2	Design Review Resubmission	3/14/2025
3	Design Review Resubmission	6/25/2025

PROJECT NUMBER 324050
ISSUE DATE 7/10/2024

ISSUE

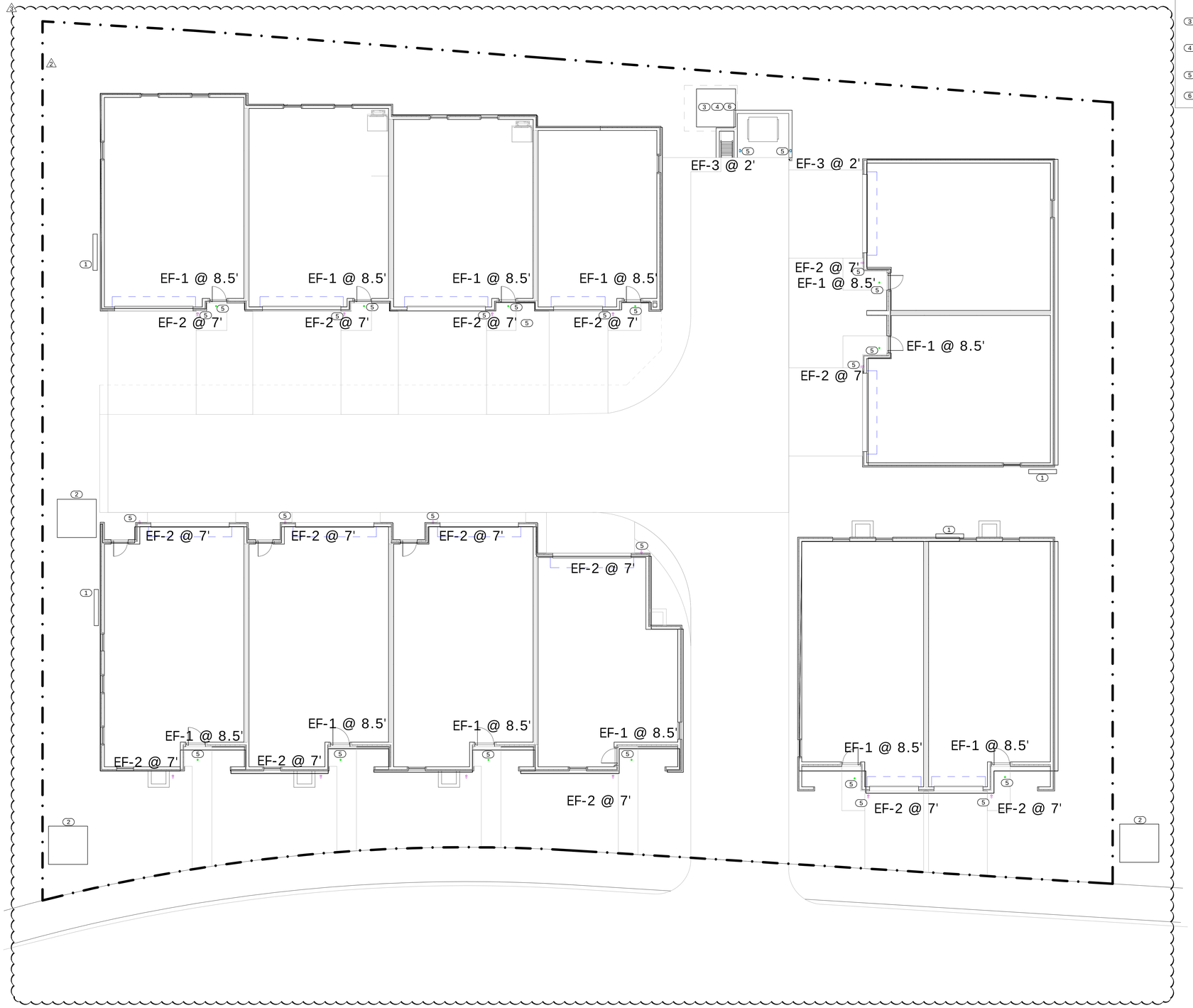
DESIGN REVIEW APPLICATION

SHEET TITLE

SITE PHOTOMETRIC

SHEET NO.

E0.10



1 FLOOR PLANS - LEVEL 1
1/8" = 1'-0"

GENERAL NOTES

ALL SITE AND EXTERIOR BUILDING LIGHTING FIXTURES SHALL CONFORM TO DARK SKY REQUIREMENTS AS NECESSARY TO MEET LOCAL JURISDICTIONAL CODES.

KEYNOTES

1. PROPOSED LOCATION FOR MAIN SERVICE DISCONNECT AND UNIT METERING STACK. REFERENCE ARCHITECTURAL PLANS FOR EXACT LOCATION.
2. PROPOSED UTILITY TRANSFORMER LOCATION. COORDINATE UTILITY TRANSFORMER LOCATION WITH UTILITY PROVIDER AND BUILDING SERVICE DISCONNECT LOCATION PRIOR TO ROUGH-IN.
3. PROVIDE 208, 1PH, 3W, 20A BRANCH CIRCUIT AND 30A/2P/NEMA 3R DISCONNECT FOR PRIMARY LOOP PUMP POWER. CIRCUIT FROM NEAREST HOUSE PANEL. COORDINATE CONNECTION LOCATION WITH PUMP VENDOR PRIOR TO ROUGH-IN.
4. PROVIDE 208, 1PH, 3W, 20A BRANCH CIRCUIT AND 30A/2P/NEMA 3R DISCONNECT FOR SECONDARY LOOP PUMP POWER. CIRCUIT FROM NEAREST HOUSE PANEL. COORDINATE CONNECTION LOCATION WITH PUMP VENDOR PRIOR TO ROUGH-IN.
5. PROVIDE 120V, 20A BRANCH CIRCUIT VIA PHOTOCELL FOR LUMINARIE CONTROL TO EXTERIOR LUMINAIRE. CIRCUIT FROM TENANT PANEL.
6. PROVIDE 120V, 20A BRANCH CIRCUIT FOR BOILER POWER. CIRCUIT FROM NEAREST HOUSE PANEL.

TOWN STAMP

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Denver, Colorado 80212
720.779.3556
PROJECT # 324050

PROFESSIONAL ENGINEER LICENSED 7628 STATE OF IDAHO JOHN PAUL KENNEY

DISCIPLINE STAMP

WARM SPRINGS TOWNHOMES

108 RITCHIE DRIVE
KETCHUM, ID 83340

REVISION

No.	Description	Date
1	Design Review Resubmission	11/5/2024
2	Design Review Resubmission	3/14/2025
3	Design Review Resubmission	6/25/2025

PROJECT NUMBER	324050
ISSUE DATE	7/10/2024

ISSUE

DESIGN REVIEW APPLICATION

SHEET TITLE

SITE PLAN

SHEET NO.

E0.11

OCULARC 3.5
Adjustable Downlight - R3CRDT, R3CRDL

WAC LIGHTING
Responsible Lighting®

Fixture Type: EF-1

Catalog Number: R3CRDL-BK-N927

Project:

Location:

PRODUCT DESCRIPTION

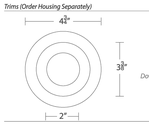
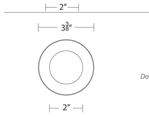
Ocularc 3.5 offers performance features in a simple but versatile package for residential and commercial applications alike. One housing can be used for downlight, adjustable, pinhole, wall wash trims.

FEATURES

- 3 beam angle options included: Narrow flood beam film pre-installed, interchangable flood beam film supplied, remove film for spot beam.
- IC-Rated, Airtight, New Construction
- Adjustable LED light engine included with housing: Vertical Adjustment 0-30°, Horizontal Adjustment 365°
- Shallow housing under 4" depth
- 5 year warranty

SPECIFICATIONS

Construction: Die-cast aluminum trim and heat sink
Dimming: 100% - 1% TRIAC, ELV
100% - 5%, 0-10V
Input Power: 13.5W, 120V-277V 50/60Hz
Light Source: High output COB LED rated life of 50,000 hours.
Mounting: Retention clips firmly hold trim to housing. Cutout 4¼"
Finish: Powder coated white, enamel-coated haze.
Ceiling thickness: ½" - 1"
Standards: UL & cUL, Met location listed. Energy Star® 2.0
Title 24 JA8-2016 Compliant
Operating Temperature: -4°F to 104°F (-20°C to 40°C)

Trims (Order Housing Separately)	Model	Beam		Color Temp	Lumens	CBCP	Finish
	R3CRDT *Round Trim Downlight & Adjustable*	Spot 16°	927	2700K	855	4989	HZWT *Haze/White*
			930	3000K	920	5364	WT *White*
			935	3500K	935	5472	BK *Black*
			940	4000K	980	5740	
		Narrow Flood 36°	927	2700K	840	1463	
			930	3000K	905	1574	
			935	3500K	920	1605	
			940	4000K	965	1683	
		Flood 51°	927	2700K	805	839	
			930	3000K	865	902	
			935	3500K	885	920	
			940	4000K	925	965	
	R3CRDL *Round Trimless Downlight & Adjustable*	Spot 16°	927	2700K	855	4989	HZ *Haze*
			930	3000K	920	5364	WT *White*
			935	3500K	935	5472	BK *Black*
			940	4000K	980	5740	
		Narrow Flood 36°	927	2700K	840	1463	
			930	3000K	905	1574	
			935	3500K	920	1605	
			940	4000K	965	1683	
		Flood 51°	927	2700K	805	839	
			930	3000K	865	902	
			935	3500K	885	920	
			940	4000K	925	965	

R3CRD__-_____

Example: **R3CRDT-WT**

waclighting.com
Phone (800) 526.2588
Fax (800) 526.2585

Headquarters/Eastern Distribution Center
44 Harbor Park Drive
Port Washington, NY 11050

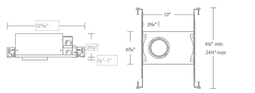
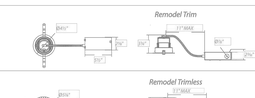
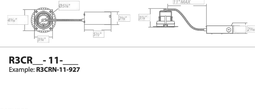
Central Distribution Center
1600 Distribution Ct
Lithia Springs, GA 30122

Western Distribution Center
1750 Archibald Avenue
Ontario, CA 91760

WAC Lighting retains the right to modify the design of our products at any time as part of the company's continuous improvement program. FEB. 2021

OCULARC 3.5
Adjustable Downlight - R3CRDT, R3CRDL

WAC LIGHTING
Responsible Lighting®

Housing (Required) - Order separately from trims	Model	Power	Color Temp
	**R3CRN-11** *IC-Rated Airtight*	13.5W	**927** 2700K **930** 3000K **935** 3500K **940** 4000K
	**R3CRR-11** *Non IC Airtight*	13.5W	**927** 2700K **930** 3000K **935** 3500K **940** 4000K
	**R3CRRL-11** *Non IC Airtight*	13.5W	

R3CR__ - 11-___

Example: **R3CRN-11-927**

FEATURES

- Adjustable LED light engine included with housing: Vertical Adjustment 0-30°, Horizontal Adjustment 365°
- Trim or trimless with die-cast spackle frame included.
- Accepts one optional honeycomb louver or optical lens.

GLARE CONTROL ACCESSORIES sold separately

LENS-16	**HCL**	Honeycomb Louver

LENS ACCESSORIES sold separately

LENS-16	**AMB**	Amber
	RED	Red
	FR	Frosted
	SPR	Spread
	BEL	Beam Elongating

waclighting.com
Phone (800) 526.2588
Fax (800) 526.2585

Headquarters/Eastern Distribution Center
44 Harbor Park Drive
Port Washington, NY 11050

Central Distribution Center
1600 Distribution Ct
Lithia Springs, GA 30122

Western Distribution Center
1750 Archibald Avenue
Ontario, CA 91760

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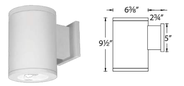
TUBE ARCHITECTURAL DS-WS06
LED Wall Mounts

WAC LIGHTING



Fixture Type: EF-2

Catalog Number: DS-WS0622-F927A-WT

Project:

Location:

PRODUCT DESCRIPTION

The latest energy efficient LED technology in an appealing cylindrical profile delivers accent and wall wash lighting. Comes in various light distribution and beam angle options.

FEATURES

- High performance exterior rated LED wall mount light
- Fixture can install upside down to alter light distribution
- Solid aluminum construction
- 5 year warranty

SPECIFICATIONS

Input: Universal voltage 120V - 277VAC, 50/60Hz
Dimming: Electronic low voltage (ELV) ; 100% - 5%
0-10V: 100% - 1%
Light Source: High output 3 Step Mac Adam Ellipse COB
Rated life of 60,000 hours at L70
Finish: Electrostatically powder coated, white, black, bronze and graphite
Standards: IP65 rated, ETL & cETL wet location listed,
Energy Star® 2.2 rated Title 24 JA8-2016 Compliant
Operating Temp: -13°F to 122°F (-25°C to 50°C)

ORDERING NUMBER

Diameter	Watt	Beam	Beam Angle	Color Temp	CRI	Reference Output [1] Lumen	CBCP	Efficacy (lm/w)	Light Distribution	Finish
DS-WS06 **DS-WS0622**	6" 6" 35W 22W	**S** *Straight up or down*	16°	**927S**	90	2820	18842	81		**BK** *Black*
				27S	85	3385	23608	97		**WT** *White*
				930S	90	2925	19543	84		**BZ** *Bronze*
				30S	85	3535	23632	101		**GH** *Graphite*
				935	90	3030	24255	104		
				40S	85	3665	24490	105		
		N *Straight up or down*	28°	**927S**	90	2800	7992	80		
				27S	85	3360	9589	96		
				930S	90	2900	8290	83		
				30S	85	3510	10024	100		
				35S	90	3600	10288	103		
				40S	85	3635	10388	104		
		F *Straight up or down*	38°	**927S**	90	2825	5451	81		
				27S	85	3390	6540	97		
				930S	90	2930	5654	84		
				30S	85	3545	6836	101		
				35S	90	3640	7017	104		
				40S	85	3675	7085	105		
		F *Away from the wall*	N/A	**927A**	90	2860	N/A	82		
				27A	85	3435		98		
				930A	90	2970		85		
				30A	85	3590		103		
				35A	90	3685		105		
				40A	85	3720		106		
		F *Towards the wall*	N/A	**927B**	90	2860	N/A	82		
				27B	85	3435		98		
				930B	90	2970		85		
				30B	85	3590		103		
				35B	90	3685		105		
				40B	85	3720		106		

DS-WS06-_____-____

[1]Reference output shows 35W output. Multiply by 0.7 to determine output for 22W combinations.

Example: **DS-WS06-F930A-WT**

waclighting.com
Phone (800) 526.2588
Fax (800) 526.2585

Headquarters/Eastern Distribution Center
44 Harbor Park Drive
Port Washington, NY 11050

Central Distribution Center
1600 Distribution Ct
Lithia Springs, GA 30122

Western Distribution Center
1750 Archibald Avenue
Ontario, CA 91760

WAC Lighting retains the right to modify the design of our products at any time as part of the company's continuous improvement program. SEPT 2019

Model: WL-LED100
LEDme® Step Light

WAC LIGHTING
Responsible Lighting®

Fixture Type: EF-3

Catalog Number: WL-LED100-27-BK

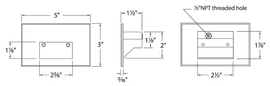
Project:

Location:

PRODUCT DESCRIPTION

Horizontal rectangle LEDme® Step Light. Designed for safety and style on stairways, patios, decks, balcony areas, walkways and building perimeters.

Features an architectural design. Energy efficient for long-lasting indoor and outdoor lighting solutions. Creates an attractive, romantic impression at night.



FEATURES

- Solid diecast brass, corrosion resistant aluminum alloy, or cast stainless steel construction
- Direct wiring, no driver needed
- Low profile, flush to wall aesthetics with no visible hardware
- 54,000 hour rated life
- Balanced lighting, free of shadows with minimum glare
- IP66 rated, Protected against high-pressure water jets
- Up to 200 fixtures can be connected in parallel
- 5 year WAC Lighting product warranty

SPECIFICATIONS

Construction: Die-cast aluminum or 316 marine grade cast stainless steel
Power: Direct wiring, no remote driver needed. Input voltage: 120V or 277VAC 50/60Hz
Light Source: 2700K or 3000K CCT Samsung HV-AC High Power LED, CRI: 90
Optional color lenses. Total power consumption of 3.5W
Mounting: Fits into 2" × 4" J-Box with minimum inside dimensions of 3"L x 2"W x 2"H
Includes bracket for J-Box mount.
Dimming: Dim to 10% with electronic low voltage (ELV) dimmer
Approved dimmers: Lutron Nova-T NTELV-300 & NTELV-600, Lutron Vieti VTELV-600, Lutron Diva DVELV-300P, Lutron Skylark SELV-300P, Lutron Maestro MAELV-600
Standards: IP66, UL & cUL Listed for wet locations,
Title 24 JA8-2016 Compliant.

ORDER NUMBER

120V Model #	Light Color		Finish			277V Model #	Light Color		Finish		
WL-LED100 120V	**27**	*Warm*	*2700K*	**BK**	*Black on Aluminum*	**WL-LED100F** 277V	**C**	*White*	*3000K*	**BK**	*Black on Aluminum*
	C	*White*	*3000K*	**BN***	*Brushed Nickel on Aluminum*		**AM**	*Amber*	*610nm*	**BN***	*Brushed Nickel on Aluminum*
	AM	*Amber*	*610nm*	**BZ**	*Bronze on Aluminum*		**RD**	*Red*	*640nm*	**BZ**	*Bronze on Aluminum*
	RD	*Red*	*640nm*	**GH**	*Graphite on Aluminum*		**BL**	*Blue*	*450nm*	**GH**	*Graphite on Aluminum*
	BL	*Blue*	*450nm*	**SS**	*Stainless Steel*					**SS**	*Stainless Steel*
				WT	*White on Aluminum*					**WT**	*White on Aluminum*
WL-LED100 120V	**27**	*Warm*	*2700K*								
	C	*White*	*3000K*	**BBR**	*Bronze on brass*						
	AM	*Amber*	*610nm*								

**Brushed Nickel Finish is for interior use only*

[ ] – [ ] – [ ]

Example: **WL-LED100F-BL-SS**

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TOWN STAMP

PROFICIENT ENGINEERING
4704 N. Harlan St Suite 620
Denver, Colorado 80212
720.779.3556
PROJECT # 324050

PROFESSIONAL ENGINEER LICENSED
7628
STATE OF IDAHO
JOHN PAUL KENNEY

DISCIPLINE STAMP

WARM SPRINGS TOWNHOMES
108 RITCHIE DRIVE
KETCHUM, ID 83340

REVISION

No.	Description	Date
1	Design Review Resubmission	11/5/2024
2	Design Review Resubmission	3/14/2025
3	Design Review Resubmission	6/25/2025

PROJECT NUMBER	324050
ISSUE DATE	7/10/2024

ISSUE

DESIGN REVIEW APPLICATION

SHEET TITLE

SCHEDULES

SHEET NO.

E0.12