

Dawn Hofheimer

From: Sarah Seppa <seppas@slhs.org>
Sent: Wednesday, July 30, 2025 6:09 PM
To: Participate
Subject: Letter for public comment for August 4th City Council meeting
Attachments: Comp plan and housing support.docx

Follow Up Flag: Follow up
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Thank you for considering this letter.



**Sarah Seppa MS, RD,
CDCES**

(she, her, hers)

Director of Community

Engagement

Manager ~ Center for

Community Health

St. Luke's Wood River

☎ 208-727-8734

✉ seppas@slhs.org

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Dear Ketchum City Council,

Thank you for continuing to listen to voices in support of Community Housing. While I'm unable to attend today's meeting, I hope you'll keep this message in mind as you hear from those who are able to be there in the room today, at 4pm on a weekday. The reality is that most residents cannot be present. They're caring for children, navigating traffic, or clocking in for their second job. These are the individuals who strongly support Community Housing, even if they aren't physically there to say it.

As I've shared previously, I was part of the Citizens Advisory Council, which met multiple times to provide feedback on the new Comprehensive Plan. Participants represented a wide range of ages, backgrounds, and professions, all with deep ties to Ketchum. City staff did a remarkable job gathering input through forums and walking tours, and their efforts shaped a plan that clearly reflects what residents want for the future—including more Community Housing.

I recognize that the voices of opposition can feel loud in the moment, especially in a crowded meeting room. But beyond those walls, a broader community stands behind you. Approving a Comprehensive Plan that prioritizes affordable housing for locals is not only courageous—it's the right thing to do.

Thank you for moving forward with this carefully crafted plan and for supporting higher-density zoning in appropriate areas to achieve one essential goal: housing for the workers who make Ketchum thrive. This is what the majority of your constituents want—and need.

With appreciation, **Sarah Seppa**

Dawn Hofheimer

From: KBAC Board <info@ketchumbusiness.org>
Sent: Thursday, July 31, 2025 11:59 AM
To: Participate; Daniel Hansen; Cyndy King
Subject: Public Comment For Aug. 4th Council Meeting
Attachments: KBAC Public Comment on Comp Plan 7-31-25.pdf

Follow Up Flag: Follow up
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Hello!

Attached please find public comment from Ketchum Business Advisory Coalition for Aug. 4th City Council meeting.

Thank you!
Bronwyn

--

Thank you!
Ketchum Business Advisory Coalition
(KBAC)
www.ketchumbusiness.org
info@ketchumbusiness.org

Public Comment from the Ketchum Business Advisory Coalition
on the Comprehensive Plan
July 31st, 2025

The Ketchum Business Advisory Coalition (KBAC), representing 150 business, community and non-profit members, would like to thank the City of Ketchum Staff for their hard work, outreach, presentations and conversations regarding the new draft Comprehensive Plan. KBAC would also like to thank the Planning & Zoning Commission and City Council for conducting public hearings to gather opinion and feedback, as multiple stakeholders work together to create this document that will guide our community for the next decade.

KBAC's members have, in near unanimous numbers, weighed-in asking the City Council to pause and slow down the approval process of the comp plan, in order to get this important document right. Public outreach and community conversations are on-going, and those conversations and the public feedback they generate need to be processed and incorporated before the comp plan can be approved. While much valuable work has been done on the Comp Plan to this point, KBAC Members continue to have several concerns that have not been addressed publicly:

1. KBAC members recognize the current comp plan does not provide any real, tangible solutions for Workforce Housing. Increased density in and of itself is not a solution to the need for more Workforce Housing in our community. Extensive building and development have been ongoing in Ketchum for many years, yet the lack of Workforce Housing is a greater problem now than it has ever been.
2. How do the proposed changes in density align with the community vision and core values as outlined in the comp plan?
3. The current draft of the comp plan does not adequately address the need for consistent parking access for residents, visitors, businesses or their customers. And while there is a separate parking management plan in the works, concurrent with the comp plan, there is no outline in the comp plan that meets the needs surrounding parking and development. Both the comp plan and parking management plan need to be reviewed and understood by the public. And there must be an opportunity for the public to provide feedback on the parking plan, alongside the comp plan, to ensure that it meets the public's needs.
4. Another 'Walk & Talk' is scheduled to take place today, July 31st, and yet a City Council meeting, with the possibility of a vote to approve the comp plan, is

scheduled a mere 1 working-day later, August 4th. How can the valuable feedback that will be gathered from the 'Walk & Talk' be processed and analyzed sufficiently to be incorporated into the comp plan in time for Council to review the information and data prior to the hearing on the 4th?

Residents of Ketchum have consistently expressed strong opposition to the proposed Comprehensive Plan. The City Council's decision to upzone on the Future Land Use Map (FLUM) has been justified using the claim that such an upzone will increase affordable, community and/or workforce housing options. This assertion lacks any supporting evidence—no data has been provided, nor has any city leader offered a clear, fact-based explanation of how upzoning will achieve this goal. The upzoning is arbitrary, threatens the integrity of residential neighborhoods, and fails to create affordable, community and/or workforce housing as promised.

Despite persistent public engagement—through repeated meetings and submitted comments—the voices of residents have been ignored. The City Council is moving forward without addressing these legitimate concerns. This course of action demonstrates a clear disregard for public input and a failure to represent the community's best interests.

There is an opportunity for all stakeholders to have their needs met in the creation of the Comprehensive Plan. This plan must reflect the values and goals of our community. As many KBAC members have been repeatedly telling us, let's "Pause To Get It Right!"

Thank You,

The KBAC Board of Directors

Dawn Hofheimer

From: Ned Burns <ned@sunvalleyrealtors.org>
Sent: Thursday, July 31, 2025 11:10 AM
To: Neil Bradshaw; Amanda Breen; Courtney Hamilton; Spencer Cordovano; Tripp Hutchinson; Participate
Subject: In-lieu fee reconsideration
Attachments: In-lieu comments.pdf

Follow Up Flag: Follow up
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Mayor and Council,

Please find the attached document regarding reconsideration of the in-lieu fee increase adopted at the 7/21 meeting.

Best,

--

Ned Burns
Government Affairs Director
Sun Valley Board of Realtors
2083091183

Mayor and Council,

During the July 21, 2025 meeting, Council voted to increase the in-lieu contribution price to \$762/sq ft for developing above 1.0 and up to 2.25 FAR. As previously disputed by my predecessor Bob Crosby, we continue to take issue with the \$/sf price of the contribution as presented by staff for two reasons, first, we firmly believe the modeling is incorrect, and secondly, the administrative fee is unacceptably high without a nexus to the administration of the in-lieu fee itself.

The in-lieu contribution was never contemplated from its genesis to make every potential buyer be able to afford the median priced home, nor for a developer to provide that delta in financial contribution, but for BCHA to be able to find, purchase, and house people in reasonable, good quality units of available housing size that was stipulated in the model. It is our assertion that it is incorrect to include 3 bedroom units in the model, as your analysis is built on a 2 person household. It is most appropriate to use the studio and 1 bedroom model if BCHA is operating at maximum efficiency in finding housing for a 2 person household, and it also is appropriate to only include up to the 2 bedroom threshold if the model includes a parent/child based assumption. Our adjusted analysis may still be too high since it includes new construction units that we included in our sold data provided (as asked by the City). It does not make fiduciary sense for BCHA to contemplate buying a new construction market rate unit, but instead find units that are at least 10 years old. We know that BCHA doesn't look to purchase new construction units because they are more expensive and provide less capital for them to go out and purchase further units. Using that data, your model, and our sold data that we provided for this calculation, we have calculated the following: the median sold price for studio and one bedroom units in Ketchum is \$425,000 with a median price per square foot of \$805. This lowers the affordability gap to \$213,549 and \$546/sf. The median sold price for studios, 1 and 2 bedrooms is \$762,500. This lowers the affordability gap to \$550,959 and \$614/sf from the city calculated gap of \$878,949 and \$663/sf based on the median purchase price of \$1,090,000 that includes studio, 1, 2, and 3 bedroom units.

We also take issue with the 15% administrative fee because the fee is taken as a flat percentage of the contribution, which has increased at the same rate every time the council has voted to increase the in-lieu fee. There is no more work involved in administering the contribution today than at its inception, in fact, with practice and streamlined processes, one could argue it should take less time today. Originally when the total contribution was \$300/sf the actual in lieu contribution was \$261/sf with \$39/sf of administration, when the contribution went to \$450 the actual in lieu contribution was \$391, with \$59/sf of administration fee, when it rose again to \$600 the actual in lieu contribution was \$522/sf with \$78/sf of administration fee, and now the actual in lieu contribution fee has risen to \$663/sf with an administration fee of \$99/sf. This is a nearly 3 fold increase in administrative cost to the person contributing the in lieu fee.

We can certainly acknowledge that staff time has become more expensive with wages and general inflation, but this still does not equate to the increases innate to the flat % fee structure. To put this in real numbers, if someone builds a 5501sf building on a standard CC lot in Ketchum, they would pay \$663 of in lieu contribution and \$99 of administration, but if that same person built up to 2.25 FAR, they would pay \$775,047 of in lieu contribution and \$115,731 of administration. There is no change to the staff time required in calculating the fee whether it's for a de minimis overage, or all the way to maximum allowable exceedance, nor from when the fee was \$300/sf or \$450/sf or \$600/sf up to today's price of \$762/sf. It is time that council recalculate what the actual staff time involved in administration of the in lieu fee is. Of course the administrative fee is only to be used for the calculation of the fee, and not administering the housing department in general. As you know, a fee in Idaho must be commensurate with staff time involved to process it.

The Sun Valley Board of Realtors respectfully asks that due to the immense increase of the in-lieu contribution and administration fees that Council bring this back publicly for reconsideration and take a more holistic review of this program. The costs and potential impacts involved are too high to lump it in with the dozens of other minor ministerial fee increases. We will continue to work with staff and Council to get the most accurate data set possible to adhere to the original intention of the in lieu fee program. Please let me know if you have further questions or would like to dive into this further.

Sincerely,

Ned Burns
Government Affairs Director
Sun Valley Board of Realtors

Dawn Hofheimer

From: Ned Burns <ned@sunvalleyrealtors.org>
Sent: Thursday, July 31, 2025 11:14 AM
To: Neil Bradshaw; Amanda Breen; Courtney Hamilton; Spencer Cordovano; Tripp Hutchinson; Participate; Morgan Landers
Subject: Comp Plan comments
Attachments: 8_4 written comment.pdf

Follow Up Flag: Follow up
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Mayor and Council,

Please find the attached written public comments on the Comp Plan in advance of the 8/4 Council meeting.

Best

--

Ned Burns
Government Affairs Director
Sun Valley Board of Realtors
2083091183

Mayor and Council,

As I stated previously on the record, the Sun Valley Board of Realtors wants to ensure that the Comp Plan update is as good and thorough as possible, as it will be a guiding document for the City for the next decade. Throughout the process, we have submitted written and oral comment at nearly every point of the way, and as this may be one of the final times we have to comment there are a few points that we want to continue to drive home to make the plan the best it can be.

First, recent developments with the FAA and Friedman Memorial Airport necessitate acknowledging possible significant changes to air service serving our Valley. The FAA inexplicably continues to press for relocation, whether or not it is feasible or desirable. The Airport is in the midst of an Infrastructure Optimization Study to evaluate potential incremental improvements that might alleviate the need for relocation, while concurrently evaluating the feasibility (or likely lack thereof) of meeting full standards at our existing airport. A full standard airport, capable of handling 737's and 757's, with range capability of serving anywhere in the country, would overwhelm every assumption underlying the Comp Plan, and it is our belief that it is very appropriate to acknowledge the possibility of a new airport and having an action item in the plan to monitor and weigh in as needed.

Second, we continue to press for inclusion in the plan of Sun Valley Company permissible development- no mention is made of the approximately 1000 units of permissible density at River Run and Greyhawk, nor the approximately 2009 units of permissible density in Sun Valley, which collectively could change many assumptions built into the Comp Plan.

Third, at multiple points throughout the Plan, transportation is discussed, yet there is no mention of the myriad of elements that a comprehensive mobility program would encompass, including downtown circulation, microtransit serving close in neighborhoods, car share, bike share, ride share, robotaxi, structured parking, mechanized parking systems, sidewalk connectivity and maintenance. We believe that in order for the Plan to succeed an update to the Master Transportation Plan should go hand in glove with the Comp Plan and not as an afterthought.

Fourth, we want to reiterate our opposition to including minimum and maximum house sizes in neighborhoods throughout the town in an unproven attempt to stimulate affordable housing through artificially low maximums and "incentives", this likely will be seen to be in conflict with the State's prohibition of inclusionary zoning, leading to potential expensive legal challenges and legislative action, as mentioned at multiple points throughout the Plan process.

Fifth, we continue to oppose the downzoning of the Retail Core- by reducing FAR and height that will drive up rents, drive out local businesses, and negate the creation of workforce housing, rather than first addressing design standards, guidelines and review criteria to reduce

perception of visual bulk of downtown buildings. Those top floor penthouse units typically subsidize the remainder of the building, keeping rents low, and allowing for the creation of workforce units within the building. We also oppose the proposed prohibition of lot consolidation in the Retail Core, as this would eliminate any possibility of underground parking further exacerbating Ketchum's parking woes. A potential solution would be to allow consolidation and utilize design guidelines to prevent unacceptable massing of buildings.

Finally ending on a congenial note, the Comp Plan acknowledges that the people are as important as the built environment, but yet does not address how we might soften the edges of the occasional (or not so occasional) newcomer bringing big city attitudes with them that manifest in rudeness, disrespect, lack of engagement, self importance. If we plan on niceness to everyone, whether they are locals, first time tourists, repeat tourists, second home owners, or anywhere in between, we can generally expect to receive niceness in return.

As always, we thank you for your consideration into these matters, and appreciate your diligence to coming up with the best possible plan for the next decade of Ketchum!

Ned Burns
Government Affairs Director
Sun Valley Board of Realtors.

From: Neil Bradshaw <NBradshaw@ketchumidaho.org>
Sent: Friday, August 1, 2025 8:37 AM
To: Participate <participate@ketchumidaho.org>
Cc: Sarah Lurie <sarahlurie@fastmail.com>; Matthew A. Johnson <mjohnson@whitepeterson.com>; Jade Riley <jriley@ketchumidaho.org>; Participate <participate@ketchumidaho.org>
Subject: Re: Public comment Hutchinson Palantir theft

Thanks for this clarification Daniel

Yes, looks like it was all included in the public record

Thanks

Sarah - is there anything else that you think is missing?

Cheers

Neil

NEIL BRADSHAW | CITY OF KETCHUM

Mayor

P.O. Box 2315 | 191 5th Street,W | Ketchum, ID 83340

o: 208.727.5087 | m: 208.721.2162

nbradshaw@ketchumidaho.org | www.ketchumidaho.org

On Aug 1, 2025, at 8:13 AM, Participate <participate@ketchumidaho.org> wrote:

Sarah,

All of your email correspondences regarding this matter, except for your reply on July 22, took place before the July 21 City Council meeting. They were included on that meeting's agenda accordingly. (See the agenda here: <https://www.ketchumidaho.org/citycouncil/page/city-council-53>). Was your reply on July 22 addressed to participate@ketchumidaho.org. I don't show any record that it was

received at this email address, thus that wouldn't have been published as a public comment by yesterday agenda publish date.

We will add the entire email thread, including your July 22 reply, in the next batch of public comments to upload for the August 4 meeting.

Best,

DANIEL HANSEN | CITY OF KETCHUM

Director of Community Engagement

P.O. Box 2315 | 191 Fifth St. W. | Ketchum, ID 83340

o: 208.725.8787 | f: 208.726.7812

dhansen@ketchumidaho.org | www.ketchumidaho.org

From: Neil Bradshaw <NBradshaw@ketchumidaho.org>
Sent: Friday, August 1, 2025 7:25 AM
To: Sarah Lurie <sarahlurie@fastmail.com>
Cc: Matthew A. Johnson <mjohnson@whitepeterson.com>; Jade Riley <jriley@ketchumidaho.org>; Participate <participate@ketchumidaho.org>
Subject: Re: Public comment Hutchinson Palantir theft

Yes - it was clear

We will include the whole thread

Thanks

NEIL BRADSHAW | CITY OF KETCHUM

Mayor

P.O. Box 2315 | 191 5th Street,W | Ketchum, ID 83340

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nbradshaw@ketchumidaho.org | www.ketchumidaho.org

On Jul 31, 2025, at 10:05 PM, Sarah Lurie <sarahlurie@fastmail.com> wrote:

Mayor Bradshaw-

Yes- that is clear from the original email and subsequent responses.

Who dropped the ball on the inclusion in August 4 public comments?

On Thu, Jul 31, 2025, at 9:07 PM, Neil Bradshaw wrote:

Did you send them to “participate”?

We include all public comments sent there

Happy to include whatever you send

Cheers

Neil

NEIL BRADSHAW | CITY OF KETCHUM

Mayor

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On Jul 31, 2025, at 10:28 AM, Sarah Lurie <sarahlurie@fastmail.com> wrote:

Dear Mayor Bradshaw,

Our public comments regarding this matter have not been included in the August 4th meeting agenda packet- why not?

On Tue, Jul 22, 2025, at 1:08 PM, Sarah Lurie wrote:

Dear Mayor Bradshaw,

Your refusal to take appropriate and swift action is disappointing.

Idaho law provides a statutory basis for governmental entities, including city councils, to discipline their members or personnel for ethical violations. [Idaho Code § 74-406](#) explicitly allows governmental entities to discipline their members, which supports the filing of an ethics complaint against Councilman Hutchinson, charged with criminal petty theft. Additionally, case law such as [State v. Johnson, 173 Idaho 551](#) and [Gooding County v. Wybenga, 137 Idaho 201](#) provides context on ethical considerations and conflicts of interest involving public officials, which may be helpful for you in understanding the broader legal framework for addressing ethical violations.

[Idaho Code § 74-406](#) states that governmental entities, including city councils, have the power to discipline their members or personnel for ethical violations. This statute explicitly provides that such disciplinary actions are not precluded by other penalties or criminal prosecutions, making it a strong basis for you and council to file an ethics complaint against Councilman Hutchinson.

In [State v. Johnson, 173 Idaho 551](#), the Idaho Supreme Court discussed the relevance of theft-related conduct to a person's character for truthfulness under Idaho Rule of Evidence 608. The court held that acts of theft involving deception, dishonesty, or fraud are probative of a person's character for truthfulness. This case provides a rationale for considering theft-related conduct as relevant to ethical evaluations of public officials.

[Gooding County v. Wybenga, 137 Idaho 201](#) addressed conflicts of interest and ethical considerations under Idaho's Ethics in Government Act and other statutes. The case highlights the importance of avoiding conflicts of interest and ensuring ethical conduct by public officials.

We do hope you will reconsider your stance and do the right thing as outlined in our original letter.

On Mon, Jul 21, 2025, at 8:01 AM, Neil Bradshaw wrote:

Thanks Sarah

I will consult with our attorney about your perspective.

Again, I take ethics violations very seriously but feel that everyone is entitled to a fair trial in court before judgement is made and actions are taken.

Thanks again

Neil

NEIL BRADSHAW | CITY OF KETCHUM

Mayor

P.O. Box 2315 | 191 5th Street,W | Ketchum, ID 83340

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On Jul 21, 2025, at 6:55 AM, Sarah Lurie <sarahlurie@fastmail.com> wrote:

Dear Mayor Bradshaw,

Thank you for your continued engagement on this matter and for acknowledging our concerns.

We respectfully disagree with delaying an ethics complaint until the criminal court rules, as the Ethics in Government **Act explicitly** states that violations of its provisions do not preclude separate criminal prosecution.

Ethics proceedings can and should proceed independently to promptly safeguard public trust.

These are administrative processes with a lower burden of proof, allowing for swift action based on the councilman's admitted conduct without awaiting the criminal case outcome. Furthermore, to uphold the Act's mandate for impartiality, Councilman Hutchinson should recuse himself from council votes, as his reported actions create an appearance of impropriety and potential conflict in matters involving public resources.

We urge immediate steps outlined in our original letter, to file the ethics complaint and enforce recusal.

On Sun, Jul 20, 2025, at 11:44 PM, Neil Bradshaw wrote:

Dear Sarah, Darcy, Mary, Jill and Scott,

Thank you for your email voicing your concerns and recommendations.

I want to assure you that I take ethics violations very seriously, and should the courts determine that violations occurred then I will discuss with council on the appropriate course of action.

At this point Councilman Hutchinson has plead “not guilty” to the charges. I personally do not like pre-judge the allegations and would feel it would only be proper to take action **following the due process of the law and the determination of the courts and/or judge.**

I hope you understand why I take this position. I personally think we have seen too many people judged by public opinion prior to having their time in court and have not been afforded due process. I see this happening across the political spectrum and I **disagree with that approach.**

Again, I take the conduct of myself and council very seriously and will address this matter after due legal process.

Neil

NEIL BRADSHAW | CITY OF KETCHUM

Mayor

P.O. Box 2315 | 191 5th Street, W | Ketchum, ID 83340

o: 208.727.5087 | m: 208.721.2162

nbradshaw@ketchumidaho.org | www.ketchumidaho.org

On Jul 20, 2025, at 8:21 PM, Sarah Lurie <sarahlurie@fastmail.com> wrote:

July 19, 2025

Dear Mayor Bradshaw and Members of the Ketchum City Council,

We are writing as a concerned citizens of Blaine County to address the egregious ethical breach by Councilman Tripp Hutchinson and the council's alarming failure to respond with the accountability demanded by Idaho law and the public trust.

The incident involving Councilman Hutchinson's theft and vandalism at Friedman Memorial Airport, combined with your silence and refusal of a swift filing of an ethics complaint, has brought public trust in Ketchum's governance to an all-time low. We urge you to take immediate action to address this matter, uphold the Idaho Ethics in Government Act of 2015, and restore confidence in the city's leadership.

According to a probable cause affidavit, on June 26, 2025, Councilman Hutchinson was captured on surveillance cameras at Friedman Memorial Airport, a joint county and city-owned facility, opening a display case, stealing three Palantir advertisement posters, and damaging them in the process. He admitted to airport officials that he acted out of personal disagreement with the posters' "Palantir" message, resulting in \$1,646.44 in damages to the city, including replacement costs, lost advertising time, and labor.

Despite the severity of this act, Hutchinson was charged only with petit theft, a misdemeanor under Idaho Code, despite the total damages qualifying for felony grand theft and malicious injury to property.

Even more troubling, Hutchinson has continued to attend and vote at council meetings without recusing himself, and the council has neither discussed the incident nor initiated an ethics complaint, dismissing it as a "personal legal matter."

This response is unacceptable and makes the council complicit in condoning criminal behavior. Idaho Code § 74-402, the policy and purpose of the Ethics in Government Act, declares that public office is a public trust and mandates that officials uphold integrity, impartiality, and the public interest. Hutchinson's actions violate every objective of this statute:

- **Integrity of Government (Subsection 1):** His reported theft at a joint county and city-owned facility undermines Ketchum's governmental integrity, eroding public confidence in our elected officials.
- **Impartiality and Honesty (Subsection 2):** Acting on personal ideological objections to the posters shows a lack of impartiality, and his failure to recuse himself from council votes compounds this breach.
- **Transparency of Conflicts (Subsection 3):** Hutchinson has not disclosed his conflict of interest, and the council's silence conceals this issue from the public.
- **Preventing Abuse of Office (Subsection 4):** Using his access to county/city property for personal vendettas constitutes an abuse of his position.
- **Avoiding Special Interests (Subsection 5):** His actions prioritize his personal beliefs over public interest, effectively imposing his own agenda.

- **Public Interest (Subsection 6):** The \$1,646.44 in damages and disruption to airport operations harm Ketchum's taxpayers, directly contradicting the public interest.

Your inaction in filing an ethics complaint under Idaho Code § 74-404, which allows for investigations into such breaches, is a dereliction of duty. By dismissing Hutchinson's actions as a "personal legal matter," you are effectively condoning criminal behavior by an elected official.

This sends a dangerous message that council members can break the law without professional consequences, further eroding the public's trust.

Hutchinson's continued voting in council meetings, without recusal, raises serious concerns about his impartiality on matters involving city resources. Your inaction makes the entire council complicit in this ethical failure.

Public trust in the Ketchum City Council is at an all-time low. Residents are disillusioned by the perception that Ketchum public officials and city staff shields officials from accountability, as evidenced by the lenient criminal charge and your silence.

Mayor Bradshaw, you have a unique opportunity to lead with integrity and demand accountability before your term ends. Failure to act risks cementing a legacy of complacency in holding officials accountable.

We urge the council to take immediate action:

- **Initiate a formal complaint against Hutchinson under Idaho Code § 74-404, citing violations of Idaho Code contained herein.**
- **Require Hutchinson to recuse himself from council votes until the ethics and criminal matters are resolved, ensuring impartiality.**
- **Address the incident in an open council meeting, fulfilling § 74-402's call for transparency and allowing residents to voice concerns.**
- **Explore options such as censure or supporting a recall process under Idaho Code, reflecting the severity of the breach.**

The citizens of Ketchum deserve a council that upholds the law and prioritizes public trust over political allegiance. Your inaction not only fails Hutchinson's victims—the taxpayers who bear the cost of his actions—but also sets a precedent that undermines Blaine County municipal governance. We implore the council to act swiftly to restore integrity and demonstrate that no public official is above the law.

Sincerely,

Concerned citizens of Blaine County:

Sarah Lurie

Darcy Creech

Mary Murray

Jill Williams

Scott Marelli

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Sarah Lurie

JD Candidate '26

[Vermont Law School](#)

MLS Environmental Law

Sandra Day O'Connor College of Law | Arizona State
University

Dawn Hofheimer

From: James Hungelmann <jim.hungelmann@gmail.com>
Sent: Friday, August 1, 2025 4:40 AM
To: Neil Bradshaw; Tripp Hutchinson; Amanda Breen; Courtney Hamilton; Spencer Cordovano; Participate
Subject: general public comment Aug 4 2025 - Departure of Accused Council Member Hutchinson

Follow Up Flag: Follow up
Flag Status: Completed

City Council Meeting — August 4, 2025

General Public Comment

Subject: Call for the Immediate Resignation of Accused Council Member Hutchinson

Dear Mayor and Councilors,

Please accept these comments and act accordingly.

No Politics – Just Crime

A sitting city council member, Mr. Hutchinson, has openly admitted to stealing legally displayed artwork from a public airport terminal—property valued at over \$1,500. He was caught on video. He has expressed no remorse. And he has given no indication that he intends to resign. His justification? That the artist should not have been allowed to display the work due to political disagreement.

Some have attempted to frame this as a First Amendment issue—a “crime against free expression.” While the act does implicate matters of censorship and ideological suppression, that framing risks obscuring the core truth: this was theft, plain and simple. There is no need to dignify it with constitutional complexity.

This was not protest. This was not activism. It was a public official stealing property because he disagreed with its message. What is even more troubling is that he refuses to step down. His continued presence in public office is a direct assault on the rule of law, on ethical governance, and on the public’s right to trust its elected representatives.

A council member who justifies criminal behavior forfeits the legitimacy of that position. Remaining in office sends a dangerous message: that political motives excuse lawbreaking, and that public power comes without accountability—especially for the privileged and connected.

Let us be clear: There is no moral high ground in stealing. There is no virtue in silencing others by force. And there is no excuse—ever—for a public official to place themselves above the law.

This is not a gray area. This is not a political disagreement. It is a crime—documented on surveillance footage, confirmed by the council member’s own statements, and executed with the clear intent to permanently deprive.

Why This Matters

If a council member feels entitled to steal artwork simply because he disapproves of someone’s views, what other powers might he feel justified in abusing? Embezzlement? Perjury? Retaliation?

The City of Ketchum cannot afford to be represented by someone who has openly committed theft and remains unrepentant. The reasons for this are clear:

- **Breach of Public Trust**
Councilmembers are expected to uphold the law and act in the public interest. An admitted thief undermines that trust and weakens the credibility of the entire institution.
- **Violation of the Rule of Law**
Justifying theft due to ideological disagreement is a form of vigilantism. We do not excuse arson, assault, or fraud because the perpetrator claims noble motives. Theft is no different.
- **Lack of Moral Integrity**
Leadership requires a moral compass. A person who rationalizes criminal behavior and shows no remorse lacks the ethical foundation necessary for public office.
- **Risk of Future Misconduct**
A willingness to commit a serious crime for political reasons raises real concerns about the abuse of office—through coercion, retaliation, or misuse of public resources. Even the appearance of such conduct erodes civic confidence. Already, Mr. Hutchinson's recent votes are being viewed with suspicion. That distrust will only deepen.
- **Damage to Civic Unity and Reputation**
Allowing an admitted thief to remain in office polarizes the community and tarnishes the city's reputation. It discourages civic engagement and fosters cynicism about democratic governance.

Leniency Must Be Earned—Not Assumed

The people of Ketchum are not seeking vengeance. We believe in second chances—for those who show humility, remorse, and a sincere desire to make things right.

But that is not the case here. Council member Hutchinson admitted to theft. He was caught on camera. He made no effort to return the property until confronted days later. He has accepted no responsibility and continues to rationalize his actions.

He has already benefited from extraordinary leniency—charges reduced from felony to misdemeanor, limited prosecution, and no plea bargaining required. To go even further would not be an act of compassion. It would be a betrayal of the public's trust. The message would be: if you're powerful, connected, or claim ideological virtue, the law does not apply.

We cannot allow that. Equal justice under law must remain the foundation of our civic institutions.

This Is a Moral Matter—Not a Political One

The continued service of a council member who has committed theft contaminates every council meeting, every vote, and every decision. His presence compromises the legitimacy of the very body he was elected to serve.

There is no moral high ground in stealing. There is no virtue in silencing dissent by force. There is no excuse—ever—for a public official to place themselves above the law.

This is not about personal bitterness or revenge. It is about restoring what should never have been lost: public trust, lawful governance, and accountability in office.

Accordingly, I ask Mr. Hutchison to depart voluntarily, out of personal responsibility and respect for the office.

Should he decline, I ask Mr. Mayor and Councilors Breen, Hamilton, and Cordovano to take all steps necessary to ensure that Accused Council Member Hutchinson's service comes to a swift and appropriate end.

Respectfully,

Dawn Hofheimer

From: Mark Maykranz <mmaykranz@hotmail.com>
Sent: Friday, August 1, 2025 6:45 AM
To: Participate
Subject: Comp plan

Follow Up Flag: Follow up
Flag Status: Completed

No to any upzoning anywhere! No to buildings taller than 3 stories anywhere! Stop trashing Ketchum with your “rocket science.” Give serious consideration to resigning- you are making decisions above your pay grade. Let our community heal from all the mayor and council induced friction. Visit Telluride to witness successful land planning and preservation with a strong economy. Let the next council (after November) finish the FLUM and comp plan. You guys are out of touch.

Sent from my iPhone

Dawn Hofheimer

From: Kevin Livingston <klivingston@yahoo.com>
Sent: Friday, August 1, 2025 9:05 AM
To: Participate
Subject: August 4th meeting

Follow Up Flag: Follow up
Flag Status: Flagged

Is it possible to turn the page from the past several years and hear the residents and taxpayers on August 4th? I expect the turnout to be very large with the majority opposing the proposed Comprehensive Plan and Future Land Use Map.

During the July 22nd "Walk and Talk" hosted by city employees, residents were not heard. Instead, it was just the city that wanted to get across the room their agenda.

My initial experience with the Council not listening, was during the initial proposed PEG project. There was overwhelming opposition. However, it became clear with the discovery of emails months before PEG closed the deal on the lot, that the Mayor and council would begin an era of throwing out building codes, driving their own agenda and disregarding voters and taxpayers.

Enough damage has been done. A majority of the residents have spent too much time and money defending what we want, only to lose on almost every initiative. I think it's time to give the taxpayers and residents what they deserve and not give away our city of Ketchum at the expense of people who pay for this city.

I would not underestimate the ultimate will of the people.

Kevin Livingston 415-596-4336

Dawn Hofheimer

From: karen brown <karenbrown3475@gmail.com>
Sent: Friday, August 1, 2025 9:06 AM
To: Participate
Subject: Ketchum Zoning

Follow Up Flag: Follow up
Flag Status: Completed

Dear City Council,

I have enjoyed life in Ketchum for over 30 years. I have never seen a City Council with less regard for its citizens than the current Bradshaw regime.

I live in Warm Springs and love my neighborhood. Increasing the density zoning around the ski lodge will help ruin the community we have. Short term rentals do not build a community, they tear it apart.

We all know that these new condos will NOT go to workforce housing. They will become second homes for people who live out of state.

PLEASE FOR ONCE, LISTEN TO THE PEOPLE OF KETCHUM AND DO WHAT THEY ASK! DO NOT INCREASE DENSITY AROUND THE SKI LODGES IN KETCHUM.

Karen Brown
Warm Springs

Dawn Hofheimer

From: Annie Nelson <nemson@gmail.com>
Sent: Friday, August 1, 2025 9:25 AM
To: Amanda Breen; Courtney Hamilton; Neil Bradshaw; Participate; Spencer Cordovano; Tripp Hutchinson
Subject: Please don't increase density in Warm Springs + West Ketchum

Follow Up Flag: Follow up
Flag Status: Completed

Mayor and Council Members,

This is a sincere plea to not vote to ruin Warm Springs and West Ketchum by encouraging increased density in those neighborhoods. The people who live there overwhelmingly disapprove of this. Please don't continue to gut this town. Please, please, please listen to your constituents.

Dawn Hofheimer

From: Kathryn Hulbert <kathrynhulbert123@gmail.com>
Sent: Friday, August 1, 2025 12:23 PM
To: Participate
Subject: No on upzoning

Follow Up Flag: Follow up
Flag Status: Completed

We vote, we are full-time residents of Ketchum. We've gone to meetings, we've tried to voice our opinions but feel like we have not been heard.

We're traveling right now but want to express, once again, our opposition to the upzoning in the new comprehensive plan and our disgust with the current council and the staff.

Dawn Hofheimer

From: Mark Maykranz <mmaykranz@hotmail.com>
Sent: Friday, August 1, 2025 1:51 PM
To: Participate
Subject: Council pay raise

No to any council or mayor pay raises. Free is too much to pay for the poor decisions made by this destructive group. For the life of me, I cannot figure out who they think they represent. The friction they cause is remarkable. All of them should return their salary and step down to let the community heal. Please step down.
Sent from my iPhone

Dawn Hofheimer

From: Heidi Schernthanner <heidischernthanner@gmail.com>
Sent: Friday, August 1, 2025 2:52 PM
To: Participate
Subject: Comments / Comprehensive Plan

City of Ketchum Superstars!

I want to begin with a thank you to all! The time, wisdom and leg work that has gone into the Comprehensive Plan is remarkable. I am grateful to have had the opportunity to step back and have conversations and learn more about what could be for the City and the Community. One aspect that has been helpful are the neighborhood talks, and perhaps more people are aware of the process that takes us toward the beginning of zoning changes. Thank you again for your expertise and patience.

After attending Thursday's chat, I want to be clear with where I stand. This note is 'in response to the list of requests from WS Residents that was available on Thursday. I disagree with the requests. Here are 3 of mine.

1 – I suggest a green space change in the Warm Springs Area. I would like to see the green space dropped down to the three subdivided lots on Hillside drive. This will help provide a continued wild buffer on the westside of Wanderers Way / Heidelberg Hill.

2 – The idea of rural character was expressed as a value. I would also agree that looking at rural / open space is needed and needs to be included as mixed density opportunities.

Overall, I am okay with the Med & High Density designations if this is necessary. I am not happy about them but I do understand the value of them IF this is used as a possibility to create community / deed restricted housing opportunities. Otherwise, these designations are only assets to any developer with deep pockets. Of which of late, few show happy results. I call for more mixed density opportunities. With a positive result of density looking at the small bungalow designs of some of the Cutter's projects.

3 – Then there is the height issue as an easy target to dislike. Again, this could be an opportunity to over build for max floor space and needs to be tightened up with design review elements of existing neighborhoods. A zoning aspect and the need to keep moving forward is my recommendation. There are plenty of 3 story buildings that set fair examples that fit into neighborhood designs, not just the box.

In closing, I will continue to voice the need for mixed density versus a one size fits all. One size fits all is not a universally accepted good. Over the years, changes with the Comprehensive Plan have not received support from all who could be impacted by it. Knowing there is flexibility in this plan allows for the exploration of mixed density, this act would assist rural character of each area of impact.

Lastly, I agree with comments that state the need to address the Code is a priority. Standing in West Ketchum last week gives clear demonstrations as to how the Code has been pushed to the maximum. And NO one wants this to happen again in the future. If moving forward to the Code necessitates passing the Comp Plan or at least parts of the Comp Plan, it's time to move forward.

Thank you for your time & diligence!

May we all bring future to the community,
Sincerely,

Heidi Schernthanner

Ketchum / Sun Valley, Idaho
208.720.4312

Dawn Hofheimer

From: Carol Klick <carolklick@gmail.com>
Sent: Friday, August 1, 2025 3:18 PM
To: Participate; nbardshaw@ketchumidaho.org; scordovano@ketchuidaho.org; Courtney Hamilton; Tripp Hutchinson; Amanda Breen
Subject: Tripp and Comprehensive Plan

Dear Mayor and Councilors,

As a taxpayer, not a voter in the City of Ketchum, I am commenting on the current issues being considered.

First consideration: Tripp should gracefully step down from his seat on the council. It really is the right thing for him to do for the City of Ketchum.

Second,: The comprehensive plan should be shelved until after the elections. It is not important to finalize it at this time. I am against the up zoning, the parking plans and the way it is being forced through with so many voters and taxpayers opposed to it.

Third,: The Budget should be reduced, not increased. Raises for the mayor and city council should not happen. If what they are being paid is not adequate, then they should find another job. It is not a career choice, but a community service with benefits.

Sincerely,
Carol Klick

Dawn Hofheimer

From: Pat Higgins <pathiggins@cox.net>
Sent: Saturday, August 2, 2025 7:39 AM
To: Participate
Subject: Public comment

Dear mayor and city council ,

I had family visit from out of state for days this past week , both family members needed to go to emergency at St Luke's on Thursday and Friday. I was with them the entire time. We are very lucky to have this hospital here, however with proposed growth by the comp Plan , it is substandard. They have 10 ER rooms, 2 are saved for trauma so actually only 8 rooms can be used. The waiting rooms are very busy and small. The hospital is doing the best it can . We have been spoiled for many years having it all to ourselves.

This is just one example on infrastructure. We do not have enough infrastructure to accommodate what the Plan is proposing. It will need to be enlarged to accommodate more patients .

Pat Higgins
Sent from my iPad


Dawn Hofheimer


From: Juanita Young <belespritskin@gmail.com>
Sent: Saturday, August 2, 2025 4:17 PM
To: Neil Bradshaw; Amanda Breen; Courtney Hamilton; Spencer Cordovano; trippchutchinson@gmail.com; Participate
Subject: Preserving the heart of West Ketchum and Warm Springs


Community Statement: Preserving the Heart of West Ketchum & Warm Springs

Dear City Planners and Members of the Ketchum Council, and Mayor:

I am writing as concerned resident of West Ketchum, but equally concerned about Warm Springs—two neighborhoods that reflect the true character and charm of our city. The proposed increases in residential density in these areas, as outlined in the Comprehensive Plan update, threaten the peaceful, low-impact essence of our community and would irreversibly alter the fabric of what makes Ketchum special.

 **Preserving Neighborhood Identity** These neighborhoods aren't just plots of land—they are cherished communities. Families have planted roots here for generations, and the scale and atmosphere have remained thoughtfully residential. Increasing density could lead to traffic congestion, parking shortages, strain on infrastructure, and a loss of scenic openness. Once changed, these qualities are difficult to recover.

 **Environmental Sensitivity** Warm Springs and West Ketchum are surrounded by natural beauty, and any increase in development must be weighed against its environmental footprint. Increased density means more impervious surfaces, fewer trees, and greater pressure on fragile ecosystems. Let's protect what nature has graciously given us.

 **Community Consensus Matters** We urge you to prioritize meaningful public dialogue and reflect the voices of residents—who overwhelmingly oppose this shift. Planning should be rooted in listening and collaboration, not in rapid urbanization. Growth can be welcomed, but only when it respects the pace and scale our community values.

I ask for thoughtful reconsideration of any zoning changes that encourage increased density in West Ketchum and Warm Springs. Instead, let's explore balanced development strategies elsewhere that align with both our city's future needs and its cherished past.

Sincerely, A Concerned Resident of West Ketchum.

Dawn Hofheimer

From: KBAC Board <info@ketchumbusiness.org>
Sent: Saturday, August 2, 2025 8:14 PM
To: Participate; Cyndy King; Daniel Hansen
Subject: Public Comment for Aug. 4th Council Meeting
Attachments: KBAC Public Comment on Trail Creek Bridge August 4th, 2025.pdf

Hello!

Attached please find public comment on Trail Creek Bridge for the August 4th Council meeting.

Thank you!
Bronwyn

--

Thank you!
Ketchum Business Advisory Coalition
(KBAC)
www.ketchumbusiness.org
info@ketchumbusiness.org

Ketchum Business Advisory Coalition Public Comment
on Trail Creek Bridge
August 2, 2025

The Ketchum Business Advisory Coalition (KBAC) supports the striping of Highway 75 for four lanes of traffic across Trail Creek Bridge (from Serenade Lane to River Street) immediately upon completion of the ITD construction south of town.

On July 20th, KBAC conducted a poll of our 150 business members, community members, and non-profit members, asking if they supported the creation of four lanes vs two lanes for Trail Creek Bridge. 92% of respondents said they support striping for four lanes.

Our members are very clear in their overwhelming support of four lanes. This is the only way to meet the traffic-flow needs, both now and in the future.

Thank you,
KBAC Board of Directors

Dawn Hofheimer

From: denisedecoster@aol.com
Sent: Saturday, August 2, 2025 8:46 PM
To: Participate
Subject: High Density Housing

Hi City Hall, I think you should put the brakes on any new high-density housing in Ketchum. The Hotel that was approved and now partially built at the entrance of Ketchum is reason enough. That monstrosity sets the wrong tone for everything that Ketchum use to stand for - scenic vistas, casual vibe and modesty. Please no more mistakes. Revisit high density housing. Thank you, Denise DeCoster

Dawn Hofheimer

From: Edith Iler-Wiedemann <edithilerwiedemann@gmail.com>
Sent: Sunday, August 3, 2025 9:38 AM
To: Participate
Cc: Amanda Breen; Spencer Cordovano; Courtney Hamilton; Tripp Hutchinson
Subject: Recommendations on Comp Plan Revisions for the Warm Springs Neighborhood
Attachments: WS Neighborhood Recommendations.pdf

FYI

This document was shared during the 7.31.25 walk with Jade & Abby.

Recommendations on Comp Plan Revisions For The Warm Springs Neighborhood

The Warm Springs residents request the City Council make the following revisions to the proposed 2025 Comprehensive Plan for the Warm Springs area.

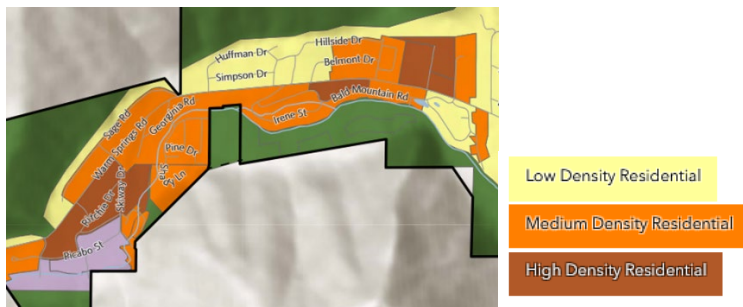
- **Maintain the existing low density land use designation that is in the 2014 Comprehensive Plan.** Do not change the land use designation to medium density residential as currently proposed.
- **Maintain the primary uses for the low-density land use designation as currently identified in the 2014 Comprehensive Plan.** Those primary uses consist of single family and duplex residences and accessory units. Do not change the primary uses in the neighborhood to townhomes and smaller multi-family residential with secondary uses as duplexes, small single-family homes, accessory units as well as other supporting and complementary uses as currently proposed.
- **Eliminate any reference to height limits in the 2025 Comprehensive Plan.** The 2014 Comprehensive Plan does not identify height limits for the residential land use designations. If height limits continue to be included, we recommend the low-density land use designation allows 35-foot height limit for pitched roof structures, otherwise, allow two stories for new development. Do not change building height to allow up to three stories as currently proposed.

Reasons for Neighborhood Recommendations



Existing 2014 Ketchum Comprehensive Plan Density in Warm Springs

The neighborhood consists of low density residential, smaller single-family homes and duplexes



2025 Proposed Comprehensive Plan Warm Springs Density

Majority of Warm Springs is proposed to become medium density and high density with primary uses as multi-family apartments and condominium buildings.

- The 2025 Comp Plan will lead to significant changes to the scale and character of the neighborhood from single family and duplex units to multi-family apartments and condominiums. Building heights will increase from 2 stories to 3 stories.
- The 2025 Comp Plan promotes the same neighborhood transformation that occurred in West Ketchum to occur in the Warm Springs neighborhoods. By increasing density and encouraging three story town homes and apartment development, market forces will target older more affordable single family and duplex units for demolition in order to build high end multi-family townhomes and condominium projects.
- There is no ability to regulate short term rentals in Idaho. Neighborhoods of predominantly full-time residents and local workers (renters and homeowners) will change to short-term rentals and vacant owner-occupied units.
- The existing development standards are working to preserve the integrity, diversity, and affordability of the neighborhood. It is not broken, there is no need to “fix” it.
- The design of existing streets cannot handle the increased traffic and street parking. Currently there is no parking required for housing units less than 750 square feet or for community housing units. There is no ability to accommodate on-street parking for multi-family residents without impacting emergency access and winter snow removal.
- The Ketchum Comprehensive Plan is the long-term vision for the community based on the consensus of community. The proposed Plan for the Warm Springs neighborhood does not reflect the vision or consensus of the Warm Springs community.

Dawn Hofheimer

From: Dana Maxey <madameflore@yahoo.co.uk>
Sent: Sunday, August 3, 2025 2:55 PM
To: Participate
Subject: Comprehensive plan

Dear City Council,

Although I appreciate your commitment to addressing the need for low-cost and worker housing, I urge you to take a closer look at the existing infrastructure already in place — because it isn't working.

I personally know several recipients of so-called affordable housing who are now burdened by overwhelming HOA or association dues, creating such financial stress that they are being forced out of the very homes meant to help them. Clearly, what's been created in the past needs to be reviewed and corrected where it no longer serves the workers it's intended to support.

I've read numerous articles and op-eds in our local paper highlighting the serious and ongoing financial struggles of our local workforce. The "affordable" housing built in Hailey recently advertised one-bedroom units for \$1,800 and two-bedrooms for \$2,200 — hardly low-cost by any reasonable standard.

Please reconsider any plans for high-density, high-rise developments — the kind that are often disguised as community benefit while developers carve out their pound of flesh. Time and again, we've seen developers promise affordability, only to find creative ways to recoup their margins, leaving the community holding the bag.

The proposed dense growth in the Warm Springs area raises significant concern. We've already endured years of disruptive road construction that harmed many local businesses. Let's not repeat the same mistakes. This is *your* town too — plan carefully, with foresight and integrity.

To close, I want to sincerely thank you for your time and dedication in serving this community. I know it can't be easy.

With appreciation for your efforts,

Dana Maxey

Dawn Hofheimer

From: Courtney Hamilton
Sent: Monday, August 4, 2025 11:47 AM
To: Participate; AllCouncil
Subject: Fw: In Support of the Comprehensive Plan

COURTNEY HAMILTON | CITY OF KETCHUM

City Council Member

P.O. Box 2315 | 191 5th Street West | Ketchum, ID 83340

mobile: 208.481.1211

chamilton@ketchumidaho.org | www.ketchumidaho.org

From: Annie DeAngelo <aedeangelo@gmail.com>
Sent: Monday, August 4, 2025 11:29:07 AM
To: Courtney Hamilton <CHamilton@ketchumidaho.org>
Subject: In Support of the Comprehensive Plan

Dear City of Ketchum,

I'm writing in support of the Comprehensive Plan. I want to start off by thanking you, the City, for being proactive and writing the Comprehensive Plan. Ketchum is a special place and it's worth thinking ahead to make sure that it grows in a way that preserves its special character. What makes Ketchum such an incredible place to live is the people that live here and what I appreciate about the plan is that it maintains Ketchum's building character while encouraging new builds that will house people instead of empty space. We want neighborhoods filled with people that love living here, instead of empty mansions that are occupied for two weeks per year.

Thanks for all that you do,
Annie DeAngelo

Dawn Hofheimer

From: mary stoecklein <marstoecklein@hotmail.com>
Sent: Sunday, August 3, 2025 4:16 PM
To: Participate
Subject: Safety Concern Regarding Detour Route on 2nd Avenue

Dear Council,

I'd like to express my concern about the current detour route directing automobile traffic onto 2nd Avenue, which has bike lane signage painted directly on the road. This setup feels like an accident waiting to happen.

I believe it would be much safer and more effective to redirect cyclist detour traffic to 3rd Avenue, which sees far less usage and would create fewer conflicts between cars and bicycles.

Just the other day, I was driving behind a cyclist on 2nd Avenue who was not wearing a helmet and appeared unaware of her surroundings—she had headphones on and was riding in the middle of the road, slowing traffic considerably. Situations like this highlight the danger of mixing cyclists and detoured vehicles on such a busy street.

Thank you for your time and consideration.

Sincerely,

Mary Stoecklein

Dawn Hofheimer

From: Pat Higgins <pathiggins@cox.net>
Sent: Sunday, August 3, 2025 9:40 PM
To: Participate
Subject: Reclassification affordable units in a consent agenda

To: Ketchum City Council
Re: Reclassifying Affordable Units in a Consent Agenda

Mayor and City Council,

I am writing this letter in opposition to a consent agenda vote on reclassifying Affordable Units, as this will adversely impact many of our neighbors and needs to have a longterm sustainable solution. This solution must include full input from affordable unit owners and the community at large. There are legal liabilities involved that need further study to prevent needless and expensive litigation.

BCHA proposed solutions do nothing to prevent this from happening to other affordable housing owners in the future, so now is the time to act to find a lasting and sustainable solution to this problem.

It is not reasonable to decide this in a Consent Agenda without full community discussion of these changes and allowing participants to be involved in crafting lasting solutions.

I respectfully request that you set aside voting regarding changing the category of this unit until you have given greater consideration to these issues.

Sincerely,

Pat Higgins

Sent from my iPad

Dawn Hofheimer

From: GC Millar <calmshen@tgrmoon.com>
Sent: Sunday, August 3, 2025 9:43 PM
To: Participate
Subject: Reclassification of Deed Restricted Units

To: Ketchum City Council
Re: Reclassifying Affordable Units in a Consent Agenda

Mayor and City Council,

I am in the deed restricted unit that you are hastily pushing to reclassify. This decision to change my unit's Category to local is not something I agreed to when I committed to purchase this unit to live in, and I didn't buy with the intention of being recategorised.

It is not reasonable to decide this in a Consent Agenda given that I was not included in the full discussion of these changes or allowed to participate in crafting solutions that will work for BCHA and myself.

It is important that there be a pause on this vote. I am in opposition to a consent agenda vote on reclassifying Affordable Units, as this will adversely impact many of our neighbors and needs to have a better longterm sustainable solution. This solution must include full input from affordable unit owners and the community at large. There are legal liabilities involved that need further study to prevent needless and expensive litigation.

BCHA proposed solutions do nothing to prevent this from happening to other affordable housing owners in the future, so now is the time to act to find a lasting and sustainable solution to this problem.

It is not reasonable to decide this in a Consent Agenda without full community discussion of these changes and allowing participants to be involved in crafting lasting solutions.

I respectfully request that you set aside voting regarding changing the category of this unit until you have given greater consideration to these issues.

Sincerely,

G. Cal Millar
Evergreen Residences
Ketchum, ID
83349

Dawn Hofheimer

From: Kerrin McCall <kerrinmac@gmail.com>
Sent: Monday, August 4, 2025 11:38 AM
To: Participate
Subject: Warm Springs Comp plan
Attachments: WS Neighborhood Recommendations.pdf

Attention: Mayor Bradshaw and Ketchum city Council,

I am writing to support **Warm Springs residents request** to the City Council to make the following revisions to the proposed 2025 Comprehensive Plan for the Warm Springs area. I join our Warm Springs neighborhood in maintaining the the current density regulations for Warm springs

Sincerely,
Kerrin McCall
105 Sunnyside Blvd
208 726 5859

Recommendations on Comp Plan Revisions For The Warm Springs Neighborhood

The Warm Springs residents request the City Council make the following revisions to the proposed 2025 Comprehensive Plan for the Warm Springs area.

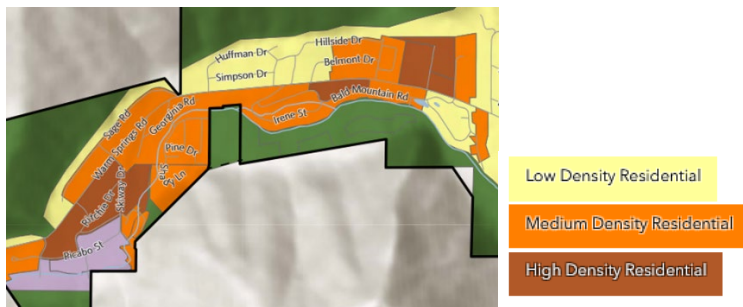
- **Maintain the existing low density land use designation that is in the 2014 Comprehensive Plan.** Do not change the land use designation to medium density residential as currently proposed.
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Reasons for Neighborhood Recommendations



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Dawn Hofheimer

From: Gina P <ginapoole10@gmail.com>
Sent: Monday, August 4, 2025 11:20 AM
To: Participate
Cc: Amanda Breen; Courtney Hamilton; Tripp Hutchinson; Spencer Cordovano; Neil Morrow; Brenda Moczygemba; Tim Carter; Matthew McGraw; Susan Passovoy; Neil Bradshaw
Subject: Re: Comp Plan - River Run Annexation
Attachments: River Run .pdf; Untitled attachment 00064.htm; Screen Shot 2025-05-13 at 12.42.59 PM.png; Untitled attachment 00067.htm; RR_Annex_Sawtooth_Environmental.pdf; Untitled attachment 00070.htm; Rezone_Annexation_Application(4).pdf; Untitled attachment 00073.htm

Dear Mr. Mayor and City Council Members and P&Z Commissioners,

I am resubmitting this email as the attachments were not included on the Agenda for last month's City Council meeting. The land use designation for this property should be corrected on the FLUM as LDR not Mixed-Use Activity Center as intended in the annexation of the River Run area owned by Sun Valley Company.

Please see below:

Thank you for your time and consideration.

Gina Poole
Ketchum

On Jul 7, 2025, at 11:19 AM, Gina P <ginapoole10@gmail.com> wrote:

Dear Mr. Mayor and City Council Members,

Please include this in today's public comments.

I am resubmitting this as I have not received an explanation from the City regarding the reason why the 17 acres south of River Run Lodge is designated as Mixed Use Activity Center vs. how it was annexed into the City of Ketchum as Residential. As you'll see below, it would be beneficial to our community if the City of Ketchum could work with Sun Valley Company to insure that future residential area is not developed but conserved as a nature reserve. It seems that this should be corrected on the FLUM.

Thank you.

Best,

Gina

Gina Poole
Ketchum

Dear Mr. Mayor, City of Ketchum Council Members, Planning & Zoning Commissioners and Staff,

I'd like to bring to your attention a discrepancy in the proposed Future Land Use Map. Pursuant to Sun Valley Company's River Run Annexation in 2009, 14.3 acres of land south of River Run Lodge was designated as the Big Wood River Ecological Park, and two Residential Areas consisting of Area C (9.2 acres) and Area D (7.8 acres.) Many Ketchum residents at the time advocated for including the Residential Areas into the Ecological Park, as advised by the environmental review. Please see attached document.

The proposed FLUM shows this area as Mixed Use Activity Center. The residential areas are located on Trail Creek with the western part of the land at the confluence of the Big Wood River. Please see attached map.

In light of the recent controversial approval of the construction of two spec homes in the flood plain on Wood River Drive, one at 10,000 sq. ft. and the other at approximately 9,000 sq. ft, it's important to ensure this vital riverine ecology is protected from future over development. It would be wonderful if the City of Ketchum and Sun Valley Company worked together to create a 31 acre Nature Preserve as recommended in the environmental review to be *"conjunctively managed under a conservation easement, with limited or no development to ensure:*

Conservation Protections on Sensitive Natural Tract of Land
Protection of High Quality Wildlife Habitat
Protection of Wildlife Corridors and Habitat Connectivity
Natural Dynamic Riverine, Wetland and Floodplain function.

Thank you.

Best,

Gina Poole
Ketchum

RIVER RUN NEIGHBORHOOD

City of Ketchum, Idaho



Planned Unit Development Hotel Core Illustrative Drawing

In 2002, Design Workshop was retained by Sun Valley Company to conduct a planning effort that analyzed the resort's key assets and ideal development alternatives within regulatory and economic frameworks, while paying close attention to the quality of the overall resort experience. The purpose of the master plan is to guide and facilitate the entitlement process for three parcels, totaling over 2500 acres, in the cities of Sun Valley and Ketchum, Idaho.

River Run Neighborhood is 140 acres and is the base of the Sun Valley ski area. Sun Valley Company purchased the property in 1977 and has left it largely undeveloped. The concept plan Design Workshop created capitalizes on the opportunities presented by the property. The plan includes attributes to dramatically improve the visitor/skier experience, provide a full-service hotel at the base of the mountain, preserve sensitive wetlands and habitat, provide public access to the Big Wood River and Trail Creek, as well as create a vibrant new neighborhood and gateway to the City of Ketchum.

The River Run property was not within the jurisdiction of the City of Ketchum. Design Workshop worked with the City to annex and rezone the property into the city limits and is now continuing with entitlements.

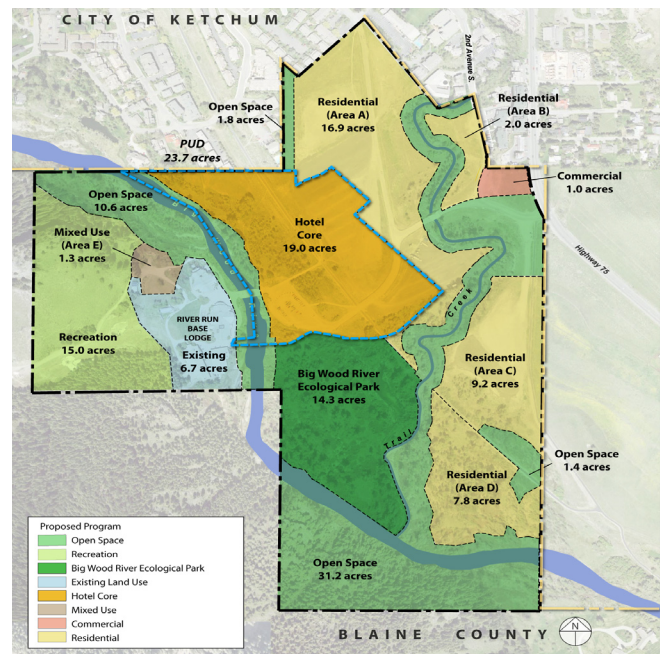
Client:

Sun Valley Company

Services Provided:

Master Planning

Annexation and Rezoning



River Run Neighborhood Development Plan



Existing River Run Lodge at base of Bald Mountain

P.O. Box 2707
Ketchum, Idaho 83340
Phone (208) 727-9748
Fax (208) 727-9758
trentstumph@cox-internet.com

**SAWTOOTH
ENVIRONMENTAL
CONSULTING, LLC**

Memo

To: City of Ketchum – Planning and Zoning Department
From: Trent Stumph – Sawtooth Environmental Consulting, LLC
Date: November 22, 2009
Re: River Run Neighborhood Annexation - Preliminary Environmental Plan Review

Recommended project conditions for Sun Valley Company - River Run Neighborhood Annexation and Development Plan to promote the preservation and conservation of significant environmental resources and associated wildlife habitats.

Proposed recommendations were generated after review of available documents specific to the project, proposed development applications, and existing environmental resources. Documents reviewed included:

- ***Environmental Report River Run Development***, Will Miller Consulting, LLC, Sun Valley, Idaho and McMillen, LLC, Boise Idaho. August 2009.
- ***River Run Property Vegetation Study Report***, Poulsen/McMillen, LLC, Boise Idaho. July 24, 2009.
- ***River Run Property Wildlife Report***, McMillen, LLC, Boise Idaho. July 24, 2009.

The following is a preliminary list of recommendations pertinent to natural resource conservation and preservation of the high valued environmental resources on the property:

- Limit all development applications and associated construction activities to areas impacted by past land use applications (Sections 1, 2, 3, 4 and 5; Attached Map Exhibit).
- Preserve all the high quality plant communities as identified in the ***River Run Property Vegetation Study Report, Section 4 Conclusions and Recommendations***. Establish land use management plan to protect and preserve old growth and mature cottonwoods along the Big Wood River, Trail Creek, associated riparian corridors, Section 6 and Section 7

(Attached Map Exhibit), to protect high quality habitats and associated functions. All mature trees and associated plant communities within these zones should be preserved, including downed trees which provide nutrients to stream systems, wildlife food, and habitat; aids erosion control; supports stream channel stability.

- Extend Ecological Park to include both, Sections 6 and 7 (Attached Map Exhibit) to preserve high quality habitats (As noted: ***River Run Property Vegetation Study Report, Section 4 Conclusions and Recommendations, and River Run Property Wildlife Report, figure 7).*** All areas within Sections 6 and 7 should be protected and preserved for perpetuity (conjunctively managed under a conservation easement and/or recorded under a plat note), with limited or no development to ensure:
 - Conservation Protections on Sensitive Natural Tracts of Land
 - Protection of High Quality Wildlife Habitat
 - Protection of Wildlife Corridors and Habitat Connectivity
 - Natural Dynamic Riverine, Wetland and Floodplain function
- Limit natural resource improvement projects ("The River Run Development will enhance natural resource values through improvement projects to its stream and riparian areas while maintaining and improving recreational access to public land..."), and mitigation applications to areas that have been altered by past land use alterations, will be altered by proposed development applications (PUD/Hotel Core area) and/or are in fact degraded to a point that justifies active stream restoration, enhancement and mitigation applications.
- Increase riparian setbacks along Trail Creek and the Big Wood River (where applicable) to a minimum of 100 ft to mitigate for the proposed massing along the Big Wood River and encroachment into the twenty five-foot (25') riparian setback as proposed for PUD Parcels C1 and C2.
- Define development constraints within Section 6 (Ecological Park). Restrict development applications within the Section 6 in order to protect environmental resources, preserve sensitive habitats and to minimize wildlife and human interactions. Reduce permanent and temporary impacts associated with the Ecologic Park by developing a primitive trail system, confine access to established trails, and construct learning centers adjacent to PUD development applications away from the core sensitive habitats.

Undisturbed portions of the floodplain bottomlands within the River Run Property support highly valued natural habitats, ecological assets that include high quality wetlands, pristine riparian areas, and functioning floodplain resources. Valued

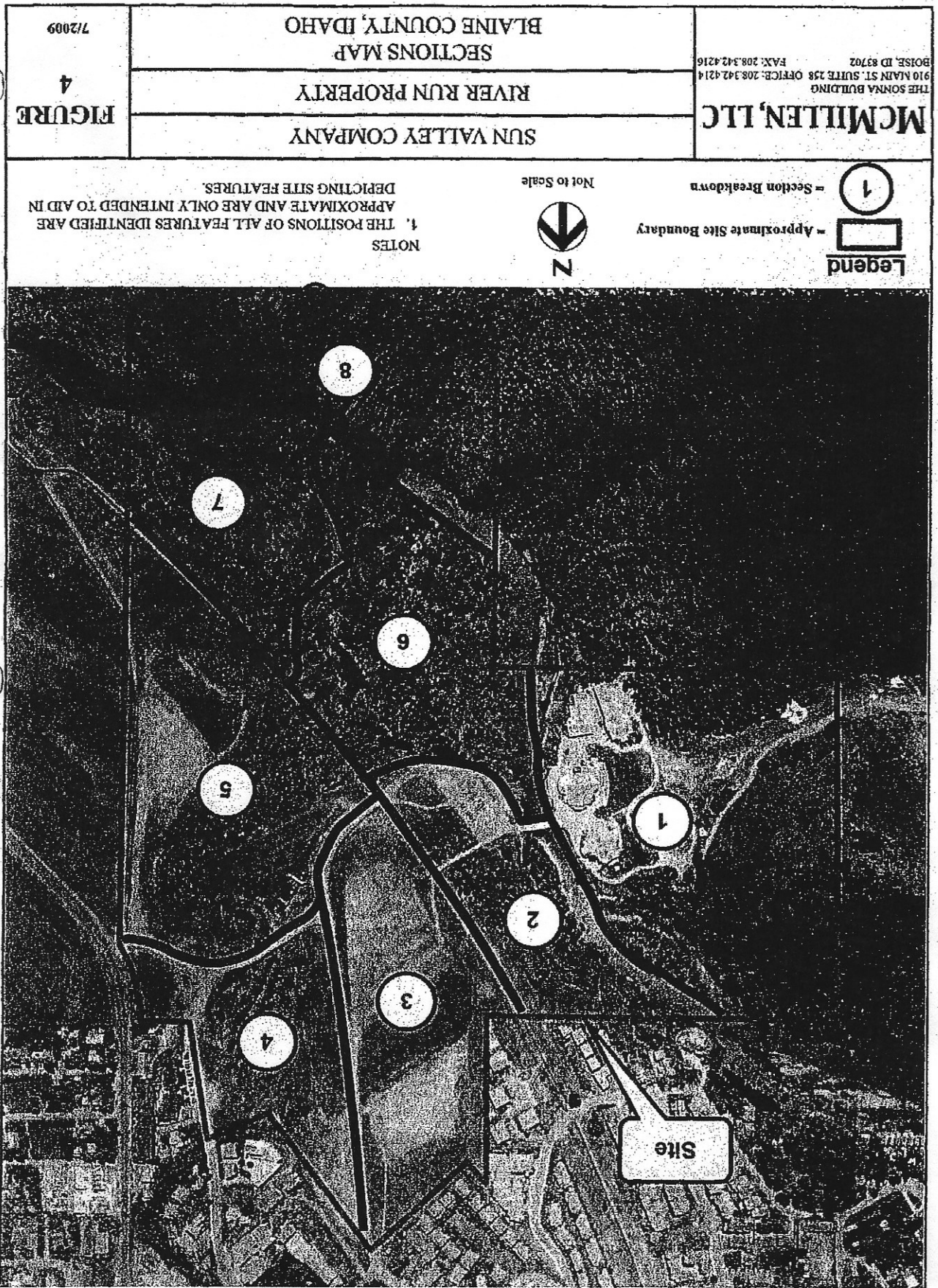
natural resources and wildlife habitats that, are hard to find within the City of Ketchum.

The River Run Development Project provides the Sun Valley Company, as well as the City of Ketchum with an opportunity to do the right thing and develop a world-class resort that is sensitive to the needs of the community and the significant natural resources associated with the parcel.

I urge the City of Ketchum to carefully analyze the environmental aspects of the project and continue to work closely with the Sun Valley Company and project planners to ensure undisturbed environmental resources on the property are preserved and protected to the greatest extent.

Trent Stumph
Sawtooth Environmental Consulting, LLC

MAP EXHIBIT - River Run Property Map Sections
 River Run Property Vegetation Study Report, Poulsen/McMillen, LLC, July 24, 2009.



McMILLLEN, LLC
 THE SONNA BUILDING
 910 MAIN ST. SUITE 238 OFFICE: 208.342.4214
 FAX: 208.342.4216
 BOISE, ID 83702

SUN VALLEY COMPANY
 RIVER RUN PROPERTY
 SECTIONS MAP
 BLAINE COUNTY, IDAHO

FIGURE 4
 7/2009

River Run Annexation and Zoning Designation Application

August 2009



River Run Annexation and Zoning Designation Application

Prepared for: Sun Valley Company
1 Sun Valley Road
Sun Valley, ID 83353

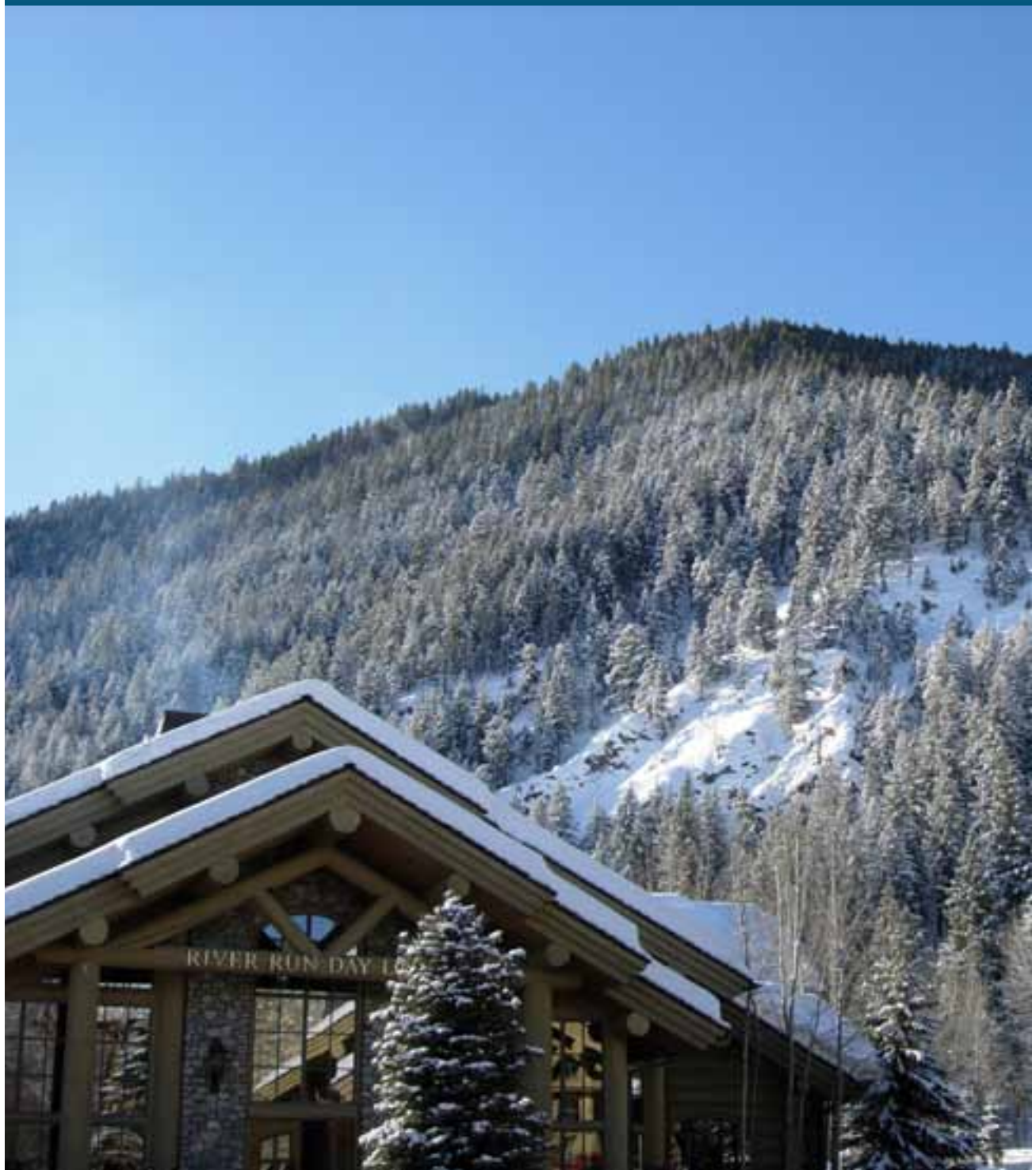
Prepared by: Design Workshop, Inc.
1390 Lawrence Street
Suite 200
Denver, CO 80204

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Application





Community and Economic Development Department

480 East Avenue North

Box 2315, Ketchum, Idaho 83340

Telephone: (208) 726-7801 Fax: (208) 726-7812

**HOTEL APPLICATION CERTIFICATION OF COMPLETENESS:
TOURIST ZONES**

Note: A Pre-application Meeting with Staff is required prior to submittal. Please call to schedule the meeting in advance.

Project Name: River Run Neighborhood

Lead Developer: Sun Valley Company

Hotelier: N/A

Hotelier Agreement in place: N/A

Date of Required Pre-application Meeting with Staff: 10/20/08

(Notes Attached)

Reviewed by _____

Date _____ Time _____

1. Definition of Hotel. Describe how the project does or does not comply with the City's Definition of Hotel below:

"Hotel" means a building designed and used for overnight occupancy by the general public on a short term basis for a fee. Hotels shall include adequate on-site food and beverage service with kitchen facilities, common reservation and cleaning services, meeting room space combined utilities, on-site management and reception services, access to all sleeping rooms through an inside lobby supervised by a person in charge no less than eighteen (18) hours per day, and where appropriate, adequate on-site recreational facilities. Unless otherwise approved by the City council, occupancy periods of a Hotel, or unit thereof, by any one person or entity with an ownership interest in the Hotel, or unit thereof, shall not exceed 30 consecutive days or exceed 90 days within any calendar year, regardless of the form of ownership. Occupancy periods for persons or entities with no ownership interest (e.g. vacationers) shall be limited only by the 90-days per calendar year requirement. A hotel room which includes cooking facilities shall not be considered a dwelling for the purposes of density, area and bulk regulations of this Title and other land use regulations. A hotel building may contain other residential uses, so long as the total gross square footage of those uses does not exceed twenty (20) percent of the net floor area of the sleeping rooms and/or sleeping units, unless otherwise approved by the City Council.

When designed, the hotel will comply with the City's definition of hotel.

2. PUD Submittal. A full PUD Application is required of hotels in the T zones. Please attach complete PUD Application.

Requested PUD Waivers, including maximum Height, Building FAR and other Wavier Requests:

The sections below are the waivers the applicant is seeking with this PUD application. Please see PUD section for details regarding the waiver requested for each of these sections.

- Right-of-Way. 12.04.030.A
- Street Widths: 12.04.030.B
- Maximum Height: 17.52.010.I.[1 and 2]
- Sidewalks, Curbs and Gutters: 17.124.090
- Design Review Requirement: Hotel Application

3. Subarea Analysis. A subarea analysis shall be prepared and attached to this application, including:

X Comprehensive Plan designation for the subarea

X Impacts of the proposed hotel on the character and scale of the surrounding neighborhood

X Impacts on proposed height and mass relative to the City's Design Review Standards and the PUD Standards

X Appropriateness of the subarea for a hotel which exceeds the bulk requirements of the City Zoning Code

4. Inclusionary Housing.

Calculation of 20% community housing requirement for FAR over 1.0:

The applicant will provide land to the City of Ketchum to fulfill the community and employee housing requirement.

Income Categories Proposed: N/A at this time.

X If an Alternate Community Housing Proposal I is planned, Workforce Housing Plan is Attached (includes alternate locations and or amount of community housing)

5. Design Review.

Design Review is required. Please attach Pre-Application Design Review Submittal Materials. Complete Design Review will be conducted after PUD review and decision.

N/A. Design Review for the Hotel is not appropriate at this time. Applicant is requesting annexation, zone designation for the property and PUD for the Hotel Core. At the time the Hotel is designed, a Design Review application and process will be completed.

File No.: _____

CITY OF KETCHUM CONDITIONAL USE PERMIT APPLICATION

Name of Applicant: Sun Valley Company

Name of Owner of Record: Sun Valley Company

Mailing Address: P.O. Box 10, Sun Valley, ID 83353

Telephone Number (home): _____

Telephone Number (business): 208.622.2041

Street Address of Property Requiring a CUP: N/A

Legal Description of Property Requiring a CUP: N/A

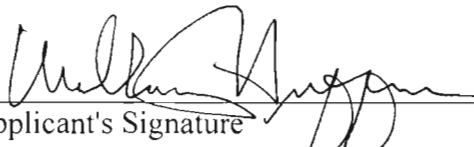
Description of Proposed Conditional Use: Hotel (150-200 rooms), spa, meeting facility, restaurant(s), guest services

Description of Proposed and Existing Exterior Lighting: N/A

Zoning District: T Tourist/PUD Requested

Overlay District: Flood _____ Avalanche _____ Pedestrian _____ Mountain _____

The Applicant agrees in the event of a dispute concerning the interpretation or enforcement of the Conditional Use Permit Application in which the City of Ketchum is the prevailing party to pay reasonable attorney fees, including attorney fees on appeal, and expenses of the City of Ketchum. **I hereby acknowledge** I have filled in this application accurately and provided the required information to the best of my knowledge.


Applicant's Signature

8.11.09
Applicant's Signature

8.11.09
Date

----- Administrative Use Only -----

Date Application

Received: _____

Date Commission/Council Public

Hearing: _____

Date Legal Notice

Published: _____

Date Notice Posted on

Premises: _____

Conditional Use Permit Fee: _____

Date Paid: _____

Mailing Fee: _____

Date Paid: _____

Date Applicant

Notified: _____

Comments from

Agencies: _____

Administrative Comments:-

Additional Notice Determination: _____

Date: _____

Actions/Findings

Taken: _____

Permit

Recorded: _____

Project Team



Sun Valley Company

P.O. Box 10
1 Sun Valley Road
Sun Valley, ID 83353
208.622.2041

East West Partners

P.O. Drawer 2770
126 Riverfront Lane, 5th floor
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Denver, CO 80204
303.623.5186

Benchmark Associates

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100 Bell Drive
Ketchum, ID 83340
208.276.9512

Hornberger + Worstell

170 Maiden Lane
San Francisco, CA 94108
415.391.1080

LSC Transportation Consultants

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Tahoe City, CA 96145
530.583.4053

McMillen, LLC

910 West Main Street, Suite 258
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208.342.4216

Will Miller Consulting, LLC

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Sun Valley, ID 83353
208.788.0099

RRC Associates

4940 Pearl East Circle, Suite 103
Boulder, CO 80301
303.449.6558

GeoEngineers

523 East 2nd Avenue
Spokane, WA 99202
509.363.3125

Arthur Mears, P.E., Inc.

555 County Road 16
Gunnison, CO 81230
970.641.3236

Introduction



Project Overview

The River Run site consists of approximately 140 acres and is generally located south of Cottonwood Street, west of Highway 75, northwest of the Reinheimer Ranch and is the base of the Sun Valley ski area. Sun Valley Company purchased the property in 1977 and has left it largely undeveloped. A large portion of the site consists of an unpaved skier parking lot. Improvements to the area include the day lodge and skier services buildings, maintenance buildings and improved lift access, which were approved and built in the 1990s. A new gondola is currently being constructed to further improve access to the ski mountain and provide winter and summer access to the Roundhouse Restaurant on Bald Mountain. The site is also used for recreational activities along the Wood River Trail. Additionally, the Sun Valley Company has allowed the City of Ketchum to temporarily use a portion of the property east of Trail Creek for snow storage.

Sun Valley Company engaged Design Workshop to develop a concept plan for the development of the property. An initial plan was presented to the Planning and Zoning Commission, the City of Ketchum City Council and the public in 2004. More recently, a public workshop with City Council and the Planning and Zoning Commission was held on November 12, 2008. The response was positive and the comments reviewed and, where feasible, incorporated into the concept plan presented with this application.

The concept plan capitalizes on the opportunities presented by this property. The plan includes attributes to dramatically improve the visitor/skier experience, provide a full-service hotel at the base of the mountain, preserve sensitive wetlands and habitat, provide public access to the Big Wood River and Trail Creek, as well as create a vibrant new neighborhood and gateway to the City of Ketchum. The elements discussed with City staff, City officials and the public in November 2008 as being important considerations for the River Run plan including bike and pedestrian paths connected to the regional trails, improvement to the intersection of Serenade Lane and Highway 75, and sensitivity to the attributes of the land and riparian areas have been incorporated into the concept plan.

In December 2008, Sun Valley Company began discussions with East West Partners to investigate the possibility of a partnership to develop this parcel. East West Partners is currently acting in an advisory capacity. They are a highly successful family of related but independent companies devoted to building, selling, managing and supporting high-quality real estate in the communities in which they operate. They have developed and manage high-end hotels and communities in mountain resorts including the Westin Riverfront Resort and Park Hyatt in Beaver Creek, Colorado and Old Greenwood and Northstar in Lake Tahoe, California. East West Partners is committed to creating great neighborhoods that add value to the communities in which they operate. Both Sun Valley Company and East West Partners are known for quality, enhanced visitor experiences and attention to detail and together have decades of experience to plan and develop a quality visitor experience and outstanding neighborhood at River Run.

Community Benefits

The River Run Neighborhood will provide many community and public benefits to the City of Ketchum. Some of these benefits include the following:

- River Run development will greatly improve the skier experience (arrival, parking, drop-off) and create a pedestrian environment.
- Increase City's tax base through incremental LOT from lodging, retail, restaurant and lift ticket sales as well as through property tax from new commercial and residential property within the River Run Neighborhood.
- A destination that complements downtown Ketchum. The visitors and residents in the River Run Neighborhood will provide incremental business to Ketchum's retail outlets and restaurants.
- A high-end hotel and amenities to offer a new level of visitor experience in Ketchum with immediate access to the ski mountain, a high-end spa and summer activities.
- A vibrant neighborhood community that ties into and complements the existing Ketchum land use pattern.
- Additional community recreational facilities including a nature trail along the Big Wood River and Trail Creek and through the neighborhood.
- Protection of streams and wetlands by respecting and exceeding City of Ketchum standard setbacks.
- Additional community gathering space in the Hotel Core plaza.
- Additional community and employee housing opportunities through the donation of a parcel of land to be described in the Development Agreement.
- Preserving and protecting a terminal location and preservation of a pathway for a potential future gondola through the City of Ketchum to the Sun Valley Resort to the north.
- Restoration and protection of approximately 15 acres of wetlands and habitat bordering the Big Wood River in perpetuity through the creation of the Wood River Ecological Park (Eco-Park). The Eco-Park will serve as an outdoor education center for valley schools and provide recreation opportunities for both local residents and visitors. The park will be developed with a focus on the hydrological cycle and associated plant and animal ecosystems.
- A significant arrival statement opportunity for the City for visitors arriving from the south as part of the proposed improvements to the intersection of Highway 75 and Serenade Lane.
- Parking relief for downtown Ketchum through the shared use parking for River Run and the City and potential gondola connection and/or shuttle service from River Run into town.
- Improved public access to the rivers through the incorporation of access points along the Big Wood River.
- Improved gas line to benefit natural gas service in the north valley.

Compliance with Ketchum Comprehensive Plan

The conceptual plan for the River Run Neighborhood and details of the plan outlined in this Annexation and Zoning Designation Application meet the goals set forth in the Ketchum Comprehensive Plan dated March 1, 2001 as follows:

- “Goal 1: Commercial development in River Run should complement the Community Core, but always remain a smaller subordinate commercial hub”
 - » The proposed development includes approximately 35,000 square feet of retail in the resort core. The uses for this retail will be focused on providing goods and services for River Run guests and people accessing the ski mountain. The commercial at River Run will be complementary to the Ketchum Commercial Core.
- “Goal 2: Play a proactive role in planning for the development of the River Run property, including annexation”
 - » The development team has been meeting with City staff and stakeholders since the River Run master plan was first presented to the public in 2004 to ensure that development plans mesh with City goals.
- “Goal 3: Housing for resort employees should be included in the development of River Run”
 - » The proposed project includes a parcel of land dedicated to the City to meet all community and employee housing requirements allowing the City of Ketchum the ability to build the units as needed rather than waiting for the phasing of the project to dictate the schedule for providing these housing units.
- “Goal 4: Uses and activities at River Run and Warm Springs Base Areas should be balanced so that each Base Area is viable, and minimizes adverse impacts of traffic on the surrounding neighborhood”
 - » The proposed development would certainly activate River Run, but not to the exclusion of Warm Springs. There are currently no specific plans for the redevelopment of the Warm Springs base area.
 - » A traffic study was conducted forecasting impacts from the proposed development and informing the road circulation integrated in the concept plan. It concluded that with mitigation the adjacent neighborhood is not adversely impacted.
- “Policy 4.6.2: Ensure that there is a strong connection between River Run and downtown Ketchum”
 - » The proposed plan continues the grid block pattern of downtown Ketchum into River Run to help connect the property and the City together.
 - » The proposed plan incorporates a bus transit station and skier drop off area.
 - » The proposed plan preserves the ability to construct a Ketchum/Sun Valley Gondola terminating at the River Run plaza.
- “Policy 4.6.4: Sun Valley Company and the City of Ketchum should work together to find other sites suitable for snow storage well in advance of the redevelopment of the current snow storage site”
 - » The proposal is that the City would continue to be able to utilize the River Run site for snow storage until development phasing of River Run dictates that the snow storage be relocated. The City will be given advance notice (two (2) winter seasons) for relocation.

- “Policy 4.6.5 (bullet one): Annexation of River Run should be required prior to any new development, including the Day Lodge and Skier Services building”
 - » Sun Valley Company is proposing annexation for all of its property at River Run into the City of Ketchum, including the land west of the Big Wood River which includes the existing Day Lodge and Skier Services buildings.
- “Policy 4.6.5 (bullet two): River Run should be effectively linked to the existing Wood River Trails System via feed trails that follow Trail Creek and other routes throughout the development”
 - » The existing Wood River Trail through the site will remain but be rerouted to the west and will partially run along the Big Wood River. An alternative bike route will also be provided through the Hotel Core. The River Run Neighborhood will also feature a nature trail around the site. This trail will follow Trail Creek from the Eco-park up to the northeast corner of the site and will then loop back down to the southwest to connect to the Wood River Trail.
- “Policy 4.6.5 (bullet three): River Run should also be linked with the Warm Springs Base Area via a pedestrian and bicycle trail on the west side of the Big Wood River, if feasible”
 - » The proposed plan does not include such a trail at this time, but the development team is not opposed to the concept should it be determined to be feasible and there is a source of funds for construction.
- “Policy 4.6.5 (bullet four): River Run should include a dedicated neighborhood park that is adjacent to, or effectively linked to the Wood River Trails. This park could be used as a buffer between future development and the residential neighborhoods in West Ketchum.”
 - » The proposed plan includes the dedication of an approximately 15-acre natural park (Eco-Park) with a trail system that ties into the Wood River bike path.
 - » In addition, the plan includes a number of green spaces/bioswales, including a green space buffer between River Run and the adjacent neighborhood.
- “Policy 4.6.5 (bullet five): In addition to Highway 75, Second Avenue and Third Avenue should both be used as connections between River Run and Downtown Ketchum. Design and traffic control for these streets should be determined as part of this overall Master Plan.”
 - » The proposed plan maintains Second and Third Avenues as connections to downtown.
 - » Traffic control recommendations are included in the River Run Transportation Study.
 - » The interchange at Highway 75 and Serenade Lane will be improved as a signalized intersection or roundabout.
- “Policy 4.6.5 (bullet six): The specific plan should explore alternatives to using private vehicles for getting people between River Run and Sun Valley, from River Run to downtown, and from down valley. Alternatives should include sidewalks along Second and Third Avenues, shuttle service, and possibly a tramway. Adequate parking in conjunction with these alternatives should be provided.”
 - » The proposed plan accommodates a possible future gondola line and end terminal.
 - » The proposed plan includes a transit facility for shuttle buses.

- » The proposed plan includes structured parking facilities located adjacent to both the gondola terminal site and the transit facility.
- » Sidewalks along Second and Third Avenues are accommodated in the road right-of-way (ROW).
- » Additionally, trails will be incorporated in the bioswale areas, as appropriate.
- “Policy 4.6.5 (bullet seven): Storm and melt water runoff should be handled on-site without adverse impacts on surface ground water quality.”
 - » The proposed plan includes a series of bioswales that utilize soil and vegetation to naturally filter runoff before it reaches Trail Creek or the Big Wood River.
- “Policy 4.6.5 (bullet eight): Riparian corridors should be protected and maintained for their natural flood retention, runoff filtration, habitat functions and aesthetics. Existing vegetation should be maintained. Riparian setbacks should be increased to protect the valuable habitat and aesthetic characteristics of the river confluence. These actions will minimize the need for stream bank stabilization and provide a natural framework for future development.”
 - » The average stream setback in the proposed plan is 50 feet, which is twice the City’s standard of 25 foot setback.
 - » A minimum of 25 feet is maintained in all locations within the plan.
 - » A conservation management plan will be established prior to development commencing.
 - » The Wood River Ecological Park will be protected and managed for its habitat value and environmental education opportunities.
- “Policy 4.6.5 (bullet nine): The specific plan should show how the City’s utilities will be expanded into River Run and how that expansion will be financed. It should also address other public facilities and service needs.”
 - » A proposed utility master plan has been prepared for water, wastewater, electric and gas.
 - » Infrastructure financing strategy will be proposed in the River Run Development Agreement.
- “Policy 4.6.5 (bullet ten): The specific plan should show how the additional employee housing needed to serve the proposed development will be provided.”
 - » The proposal includes deeding land to the City for employee and community housing.
- “Policy 4.6.5 (bullet eleven): The specific plan should include development of joint use agreements for parking areas for summer events such as concerts, Wagon Days and other special events.”
 - » It is the desire of the applicant to have a shared-used agreement for public parking in the parking structures at River Run.
- “Policy 4.6.5 (bullet twelve): Should include undergrounding of all utilities associated with the operation of the resort.”
 - » The proposed utility plan includes provisions for all existing, relocated and new utility lines to be underground.

Sustainable Development

The River Run Neighborhood has been designed with sustainability and respect for the environment as the foundation. Dr. Warren Flint, sustainability expert, considers sustainable design practices to be techniques that balance economic, environmental and social considerations. In his words, “Sustainability means working to improve human quality of life without damaging or undermining society or the environment, now or in the future. In this way, economic desires become accountable to an ecological imperative to protect the biosphere, and a social equity imperative to create equal access to resources and maximize human well being.” In this context, everything in the community falls under consideration – from the decisions about how to treat storm water to the programming of the hotel and the protection of the ecological park.

The intent of the River Run Neighborhood is to provide an economically-viable development while protecting the natural environment and conserving natural resources. The following narrative describes some of the strategies that will be used to achieve a smart, sustainable community.

Community Sustainability

The sustainability of a community is judged on not only by the sensitivity to the land and environment, but to the well being of its citizens. To this end, the plan for the River Run Neighborhood provides opportunities to develop a healthy community including connections with the natural environment through the ecological park and a nature trail; recreational activities including skiing, hiking and biking; connections within the neighborhood and the community by clustering homes and connection with the greater community of Ketchum, Hailey, Elkhorn and Sun Valley by ensuring that the bike trail continues to link with the regional trail and providing shuttle service to and from the neighborhood.

Environmental Sustainability

Sustainable development depends on recognizing the value of natural systems and employing sound development practices to protect them. It is important to design neighborhoods to fit the purpose to the conditions of the land in ways that support future generations and maintain value long-term. The concept plan for the River Run Neighborhood is designed to respect, retain and take advantage of the value of the natural systems within the area. The hotel has been carefully sited to provide convenient access to Bald Mountain and the Big Wood River, maximizing the recreational value while minimizing the impact on the natural environment.

The surrounding neighborhood has also been carefully sited based on the attributes of the land. Significant wetlands have been preserved from development. A generous riparian setback of an average 50 feet (as opposed to City of Ketchum standard of 25 feet) has been preserved throughout the River Run Neighborhood. Blocks within the community have been sited to allow for vegetated swales or natural drainage corridors within the site. Additionally, water quality will be maintained by capturing stormwater onsite and by not allowing stormwater to directly enter the rivers. A natural buffer is also created along the northern-most western boundary between existing development and the planned multi-family homes within the River Run Neighborhood.

Finally, the Big Wood River Ecological Park preserve at the southern end of the River Run Neighborhood has been created to preserve significant wetlands in the areas and provide an interpretive learning experience for visitors and residents with elevated trails to minimize the impact on the natural environment.

Water

Communities need safe, clean drinking water and adequate supplies to accommodate their residential and nonresidential needs. The City of Ketchum has indicated that adequate sources of water are available to serve the project. In addition, the River Run team is compiling a list of conservation Best Management Practices (BMPs) for implementation at the River Run site.

Irrigation Water

A responsible outdoor irrigation program is built on a strong foundation, starting with soil preparation and a landscape design intended to conserve water.

Topsoil Preparation

High-quality soil increases plants ability to absorb and hold water effectively, thereby reducing irrigation needs. Well-prepared soil also facilitates deep root growth, which aids infiltration of water.

Water-Wise Landscapes

Encourage the use of landscape materials that are drought-resistant turf, plants, and shrubs to reduce outdoor water use and should reduce irrigation demand. Once established, native landscapes require little irrigation or fertilization. They also attract native wildlife and can help to improve water quality and lower runoff.

Stormwater

The soils in the Wood River Valley, described in the preliminary geotechnical report, allow for the infiltration of stormwater. Infiltration is a preferred Best Management Practice (BMP) for sustainable stormwater management. Infiltration minimizes erosion from stormwater and captures pollutants, solids and sediments, keeping them from entering the surrounding waterways. In addition, the stormwater system for River Run will integrate the use of bioswales to convey excessive stormwater. These bioswales will provide additional green space in the neighborhood.

Building Design

To the extent feasible, principles of the U.S. Green Building Council's Leadership in Energy and Environmental Design (LEED) program will be incorporated in the design and construction of the buildings in the River Run Neighborhood. Whether or not the project or individual buildings within the project seek LEED Certification will be at the discretion of the applicant.

Transportation

Transportation sustainability is accomplished by limiting the demand on the roadway system. The concept plan de-emphasizes auto transportation and conceals garages. The roads within the River Run Neighborhood have been designed to allow for the Mountain Rides bus service to operate within the neighborhood providing service to Ketchum and the surrounding community. Additionally, accommodations for a bus drop off close to the ski lifts have been included in the conceptual plan. While the Ketchum/Sun Valley Gondola is not part of this application, accommodations have been made for a landing site at the hotel for the gondola, should it happen in the future.

The pedestrian focus of the River Run Neighborhood will minimize the need for automobile use by residents and guests via trail systems, welcoming streetscapes and a focus of density around the Hotel Core.

Economic

A Fiscal Impact Analysis for the River Run Neighborhood has been conducted and is attached as Exhibit 9. In addition to the fiscal impact of the neighborhood, development at River Run enhances the City financially by:

- Addition of high quality lodging and residential units to enhance the City of Ketchum's position in the increasingly competitive mountain resort vacation marketplace.
- Provide incremental visitors to support the City's existing retail/business base.
- City revenues associated with this project exceed the City's costs.

Context and Property Boundary



Property Context

The neighboring properties of the proposed River Run neighborhood consist of residential and commercial uses within the City of Ketchum city limits to the north, the Idaho Park Foundation, Inc., (Reinheimer Ranch) to the east, a private residence to the southeast, and United States Forest Service land to the south and west as shown in *Figure 1- Property Context*.

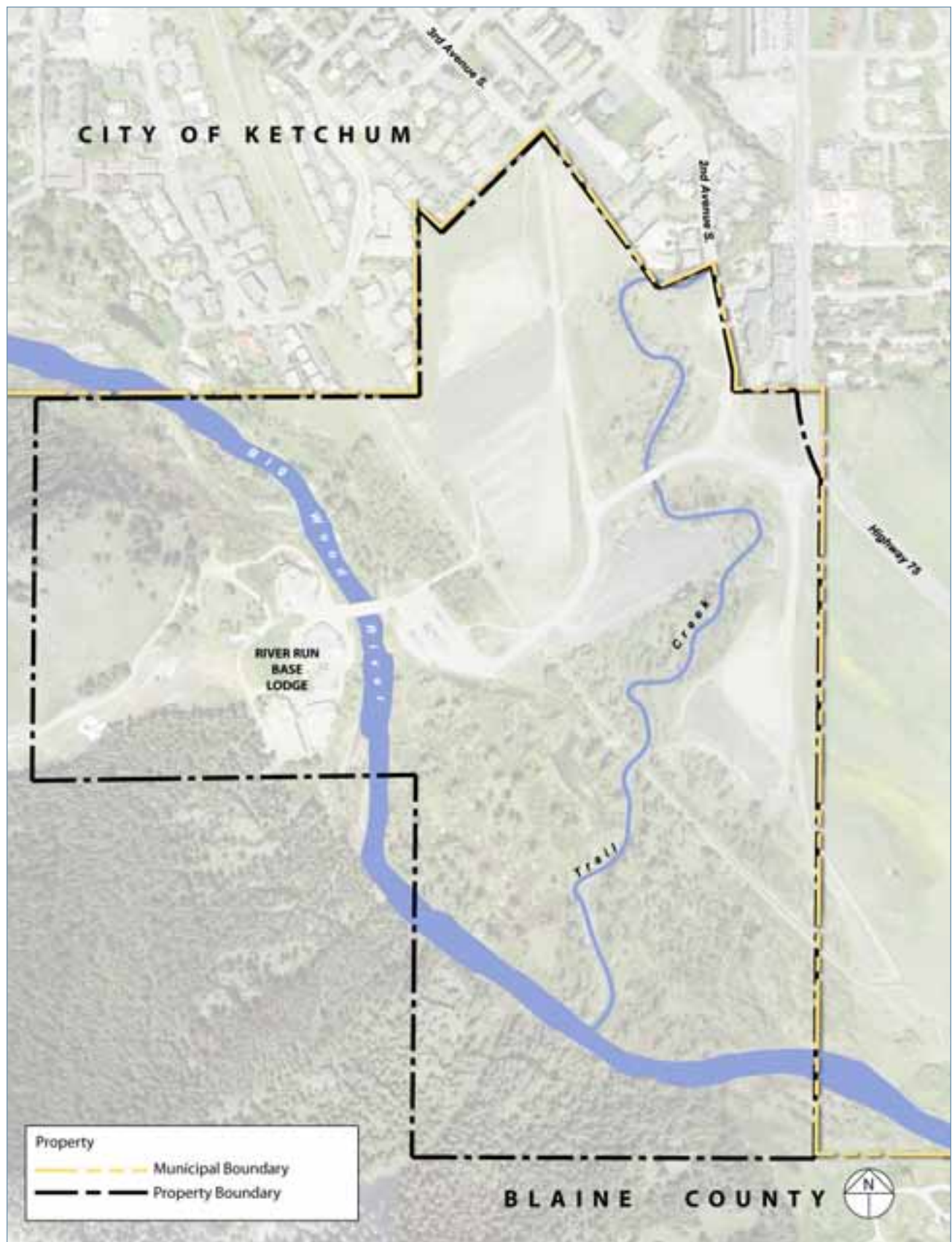
Figure 1 - Property Context



Property Boundary

The property boundary as indicated on *Figure 2 – Property Boundary* represents the entire property owned by Sun Valley Company and is part of this Annexation Application. The exterior boundary lines including dimensions are also shown on **Sheet 2.0 – Site Survey** in the full size drawing package.

Figure 2 - Property Boundary



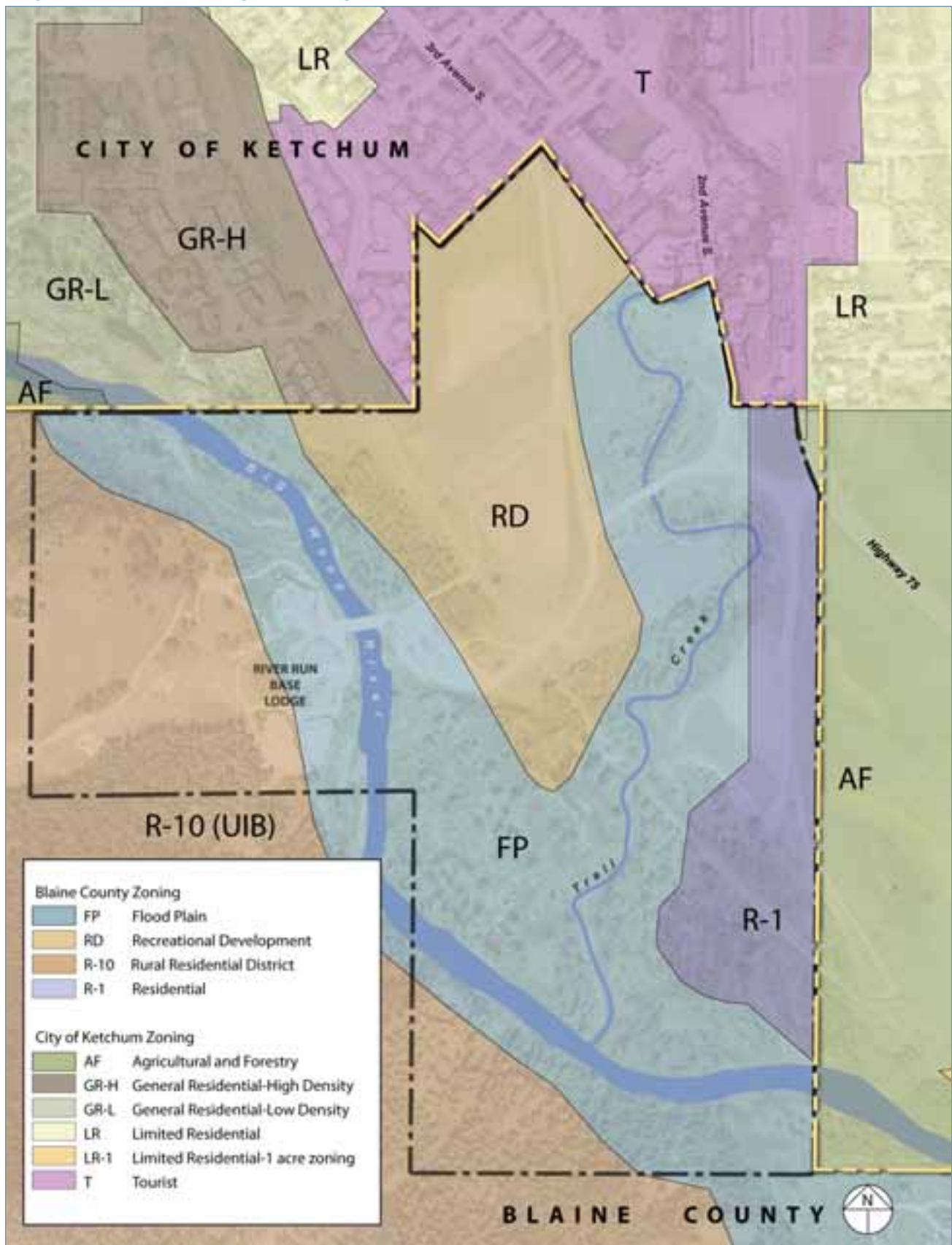
Existing Conditions



Zoning

The River Run property's current zoning in Blaine County consists of Recreation Development at the northern tip of the property, R-1 Rural Residential District (one unit per acre) on the northeastern boundary, R-10 Rural Residential District (one unit per 10 acres) at the western boundary and Floodplain along the Big Wood River and Trail Creek. The zoning within the River Run project and the neighboring properties is shown on *Figure 3 – Existing Zoning*.

Figure 3 - Existing Zoning

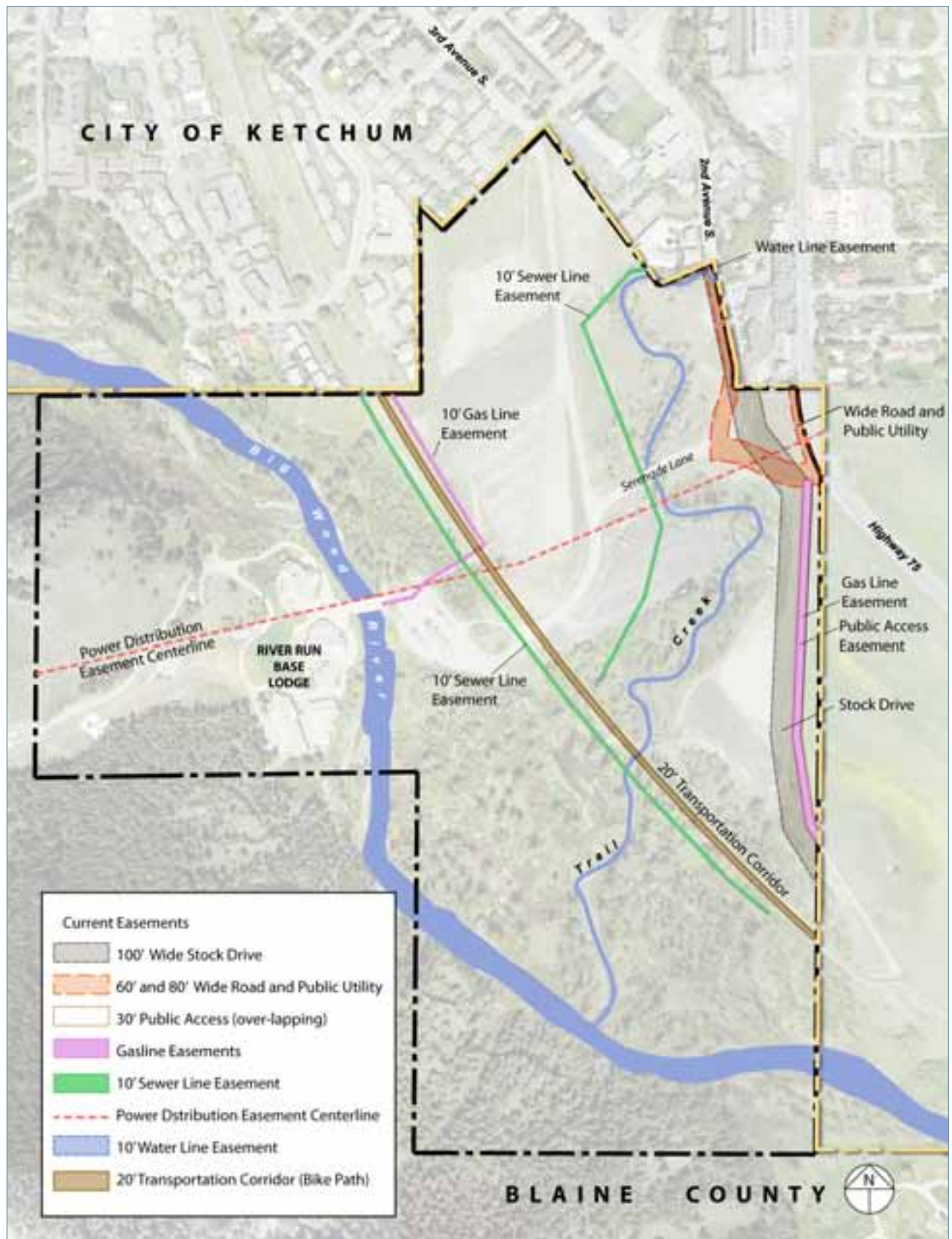


Easements

Figure 4 – Existing Easements illustrates the existing easements on the River Run site. The scaled locations of the easements are also included on **Sheet 2.0 – Site Survey**. These include:

- 20 foot wide non-motorized transportation corridor for the Wood River Trail through the property
- Road right-of-way (ROW) and public utility easement for Serenade Lane and access from Second Avenue to Serenade Lane
- 27 foot wide highway improvement easement along State Highway 75 in the northeastern portion of the property
- 100 foot wide stock drive easement along the eastern boundary of the property
- 30 foot wide public pathway easement for trail access along the eastern boundary
- Water line, sewer line, gas line and power distribution easements.

Figure 4 - Existing Easements



Buildings, Water Bodies, Courses

The existing buildings on the River Run site are comprised of the improvements to the ski mountain base completed by the Sun Valley Company in 1995, including the River Run ski lodge, skier services building and maintenance facilities. Additionally, the gondola currently being built along with the lower lift terminals that provide access to the ski mountain are located on the west side of the Big Wood River and are shown on the figures throughout this application and referenced as “River Run Lodge.” These facilities are also shown at scale on **Sheet 2.0 – Site Survey**.

The water bodies and courses on the site include the Big Wood River and Trail Creek also shown on the figures in this application and on **Sheet 3.0 – Existing Conditions**.

Public Land Use

The River Run property is private property owned by the Sun Valley Company. Public use has been allowed on the site for the ski area and related activities. Public uses have been granted as follows:

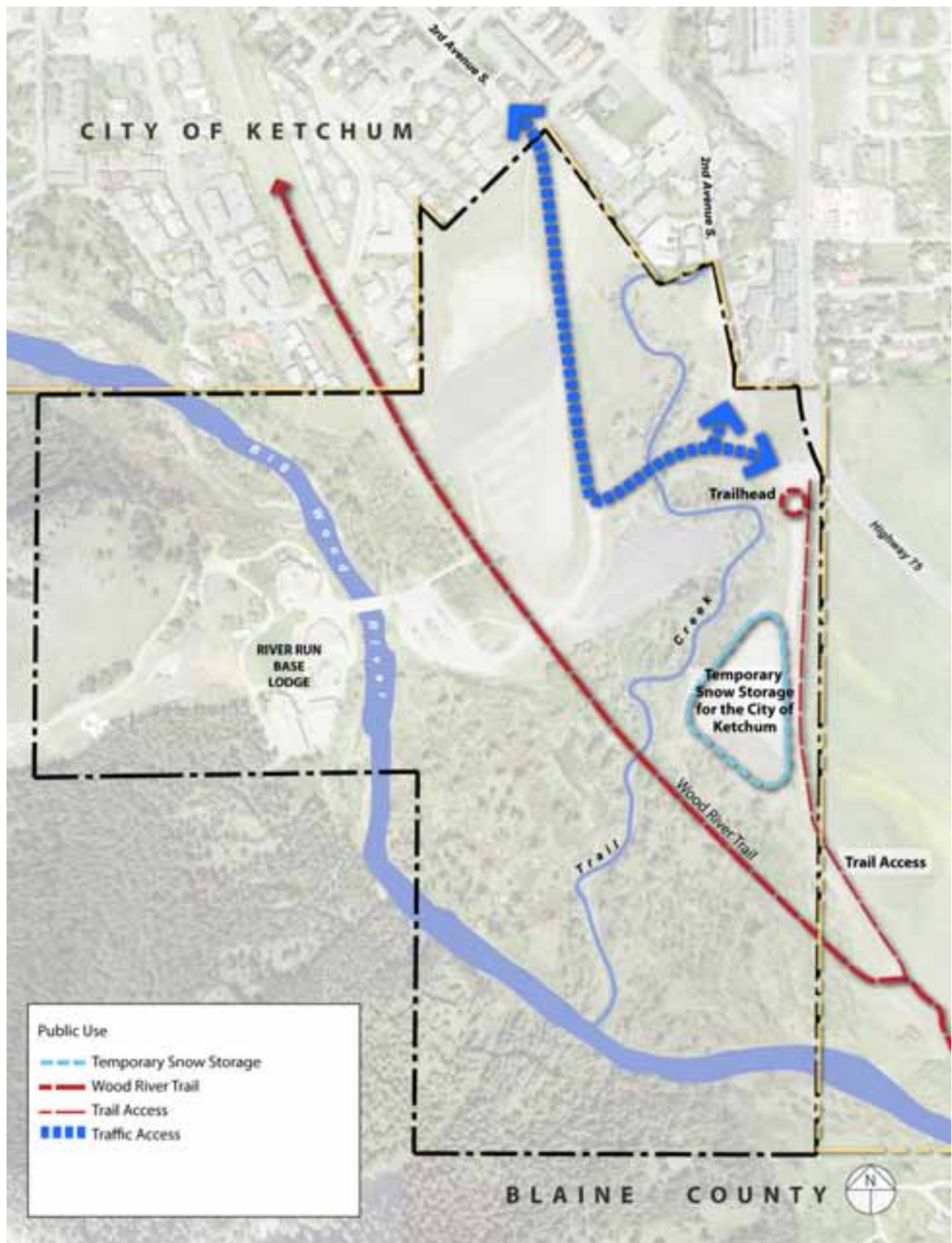
Bike Path

Bike paths on the River Run property include the Wood River Trail (Rails to Trails bike path) which runs through the River Run property along the former railroad easement. In order to implement the conceptual plan included with this application, the applicant is willing to pay the costs associated with moving the Wood River Trail to accommodate the neighborhood plan. There is also a 30 foot wide public pathway easement on the eastern edge of the property as shown on *Figure 5 – Existing Public Use* as well as **Sheet 2.0 – Site Survey**.

Snow Storage

The Sun Valley Company has allowed the City of Ketchum to temporarily use a portion of the property east of Trail Creek for snow storage. This snow storage area encompasses approximately four acres.

Figure 5 - Existing Public Use



Streets, Rights-of-Way

There are two street easements on the River Run property, Serenade Lane at the northeast entrance to the property and Second Avenue to access Serenade Lane. The easements for these streets are included on *Figure 4 – Existing Easements* and **Sheet 2.0 Site Survey**. There are also two non-dedicated streets on the property, Serenade Lane and Third Avenue, both leading to the parking area on the east side of the Big Wood River. No public easements exist for these streets.

Utilities

Utilities located on the site are outlined below. The location of these utilities is shown on *Figure 6 – Existing Utilities* as well as **Sheet 3.0 – Existing Conditions**. All of the existing utilities will be incorporated into the development plan or will be relocated with the consultation of the appropriate utility provider.

Water

There is a 12” water main that extends from the northern portion of the property along the non-motorized trail (Wood River Trail) easement to the junction with the pathway from the upper parking lot. From this location the water line extends west along the upper lot pathway to a fire hydrant at the lower parking lot. This 12” water main crosses the Big Wood River to provide service for the River Run Day Lodge and skier service and maintenance buildings on the west side of the river. There is also a water line that runs along Second Avenue, across Serenade Lane to Highway 75.

Wastewater

There are currently two major sewer mains that traverse the River Run property. There is an 18” main that enters the northwestern portion of the property and follows the current bike path alignment. There is another 18” main that enters the northeastern part of the property and generally follows Trail Creek to the bridge crossing at Serenade Lane. From the crossing, this main travels southwesterly to a location where it meets the main described above that is just north of the bike path bridge that crosses Trail Creek. These two mains join at this location and become a 24” main that follows the current bike path. The sewer mains described above carry the majority of wastewater flow from the City of Ketchum and from the portions of the City of Sun Valley that lie north of Dollar Mountain.

There is a sewer service extension from the existing River Run Day Lodge complex along the upper parking lot pathway to a location where it meets the 18” main described above.

Natural Gas

There is a natural gas main that runs along the eastern boundary, across Serenade Lane and continuing north along Second Avenue. A gas line extends off of this main at the north side of Serenade Lane, across Second Avenue, across Trail Creek to the junction with the recreation district trail. It then follows the Wood River Trail to the northern boundary of the property. Another gas line extends from this portion of the gas line beginning near the junction of the Wood River Trail and the pathway from the upper lot and continuing along the upper lot pathway to the lodge area across the Big Wood River.

Power and CATV

There is an overhead power line (OHP) and cable television (CATV) from Highway 75 across Serenade Lane, over Trail Creek, across the upper lot, across the Wood River Trail to a transformer located east of the bridge over the Big Wood River. These services cross the Big Wood River to serve the day lodge and the skier service and maintenance buildings on the west side of the river.

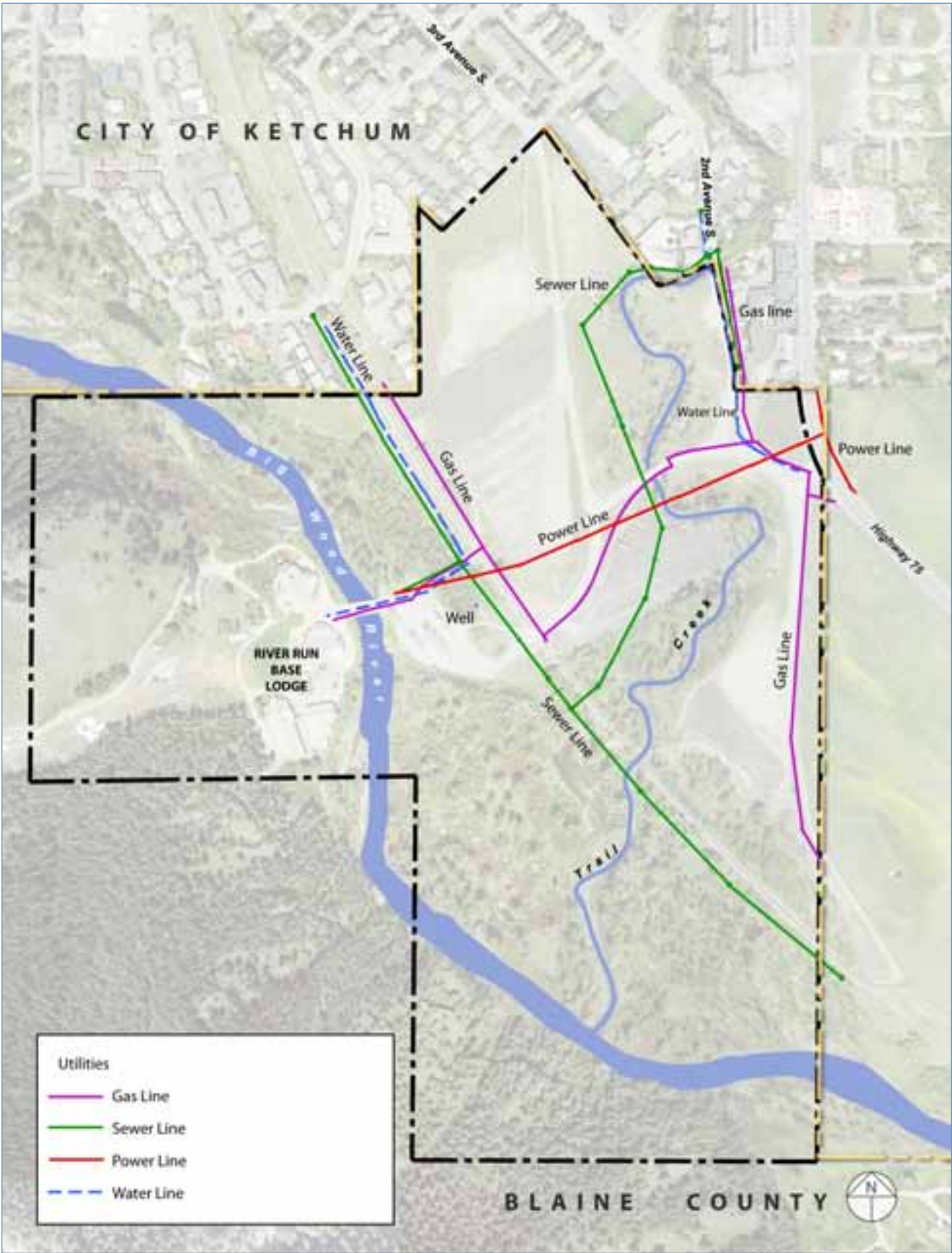
There is an underground power line that extends from the OHP east of the Serenade Lane / Third Avenue junction through a portion of the southeastern lot.

Telephone / Fiber Optic

There is a telephone line that runs along Third Avenue from the northern part of the property. This line leaves Third Avenue and goes through the upper parking lot, across the Wood River Trail, through the lower lot to the area east of the bridge over the Big Wood River. There is also a line that runs east of the lower lot and across the pathway from the upper lot. Additionally, there is a telephone line that runs along Second Avenue, across Serenade Lane to Highway 75.

There is a fiber optic line that enters the property from Highway 75 at Serenade Lane. This fiber optic line leaves Serenade Lane at Second Avenue and continues north along Second Avenue.

Figure 6 - Existing Utilities



Site Conditions

Survey Information

The site survey for the River Run Property is shown on **Sheet 2.0 – Site Survey**. The survey depicts the property boundaries.

Existing Conditions

The property's existing conditions are shown on **Sheet 3.0-Existing Conditions**. This drawing shows the location of existing buildings, waterways, roadways, utilities and easements.

Geotechnical Conditions

GeoEngineers was contracted in March 2009 to prepare a preliminary geotechnical evaluation of the River Run project site. The evaluation consisted of the following:

- Reviewing results of a federal, state and local environmental database for listings of sites with known or suspected environmental conditions on or near the subject property within an approximate one-half mile radius from the site,
- Reviewing historical aerial photographs to identify past development history on and adjacent to portions of the site relative to the possible use of a landfill,
- Drilling, logging and sampling eight borings at selected locations,
- Installing piezometers in borings to provide a means of measuring depth to groundwater,
- Laboratory testing to assess pertinent engineering and physical characteristics of the soil encountered relative to the proposed construction, and
- A preliminary evaluation of the suitability of the site for the proposed development, including a brief assessment of the possible geotechnical design and construction issues based on the results of our site exploration program and our current knowledge of subsurface soil and groundwater conditions in the site vicinity.

GeoEngineers indicated in their preliminary evaluation that, “Based on results of our preliminary geotechnical evaluation, it is our opinion that the subject site generally is suitable for development as currently envisioned. We found no evidence of a landfill, either in our search of databases or during our subsurface exploration program. However, we emphasize that the limited number of exploratory borings we completed were widely spaced and additional exploration is warranted during design.”

The Preliminary Geotechnical Evaluation is included in this application packet as Exhibit 8.

Floodway and Floodplain

The Big Wood River and Trail Creek both run through the River Run property. **Sheet 5.0 - Floodway/ Floodplain / Wetlands** shows the associated floodway and floodplain for each waterway. Sheet 5.0 depicts these flood areas as determined by FEMA and represented on the published FEMA FIRM Maps (March 1997). In reviewing the floodplain information on the FEMA maps, it became clear that this data is no longer valid.

In early 2009, Sun Valley Company retained McMillen, LLC to conduct a full hydraulic and flood study of the River Run Property to include the Big Wood River and Trail Creek. This site specific study was conducted with more complete information than what was used to produce the FEMA FIRM maps. McMillen, LLC used more detailed topography, additional stream cross sections, current field investigations and a Hydrologic Engineering Center River Analysis System (HEC-RAS) hydraulic model to develop floodway and floodplain limits for the River Run property.

The results of this site specific study are also depicted on **Sheet 5.0 - Floodway / Floodplain / Wetlands**. McMillen, LLC, on behalf of the Sun Valley Company, has submitted a Letter of Map Amendment (LOMA) dated July 24, 2009 to FEMA. The LOMA application is the process used for FEMA to adopt the site specific study performed by McMillen, LLC.

Avalanche Hazard

Arthur I. Mears, P.E., Inc. was contracted in November 2008 to conduct an avalanche hazard and mapping analysis. The analysis consisted of a site visit in February 2009 to observe the effects of avalanches on the forest at the base of the slope and in avalanche tracks, study of detailed topographic maps of the avalanche terrain and the application of a computer simulation avalanche-dynamics model to predict avalanche runout distance and boundaries of hazard zones.

The objectives of the site visit and analyses were:

- Delineation of the maximum extent of design-magnitude (100-year) avalanches at the proposed development using updated avalanche simulations and detail topography and
- Subdivision and mapping avalanches into red (high hazard) and blue (moderate hazard).

According to City of Ketchum, Blaine County and the City of Sun Valley, avalanche hazard zones are defined as:

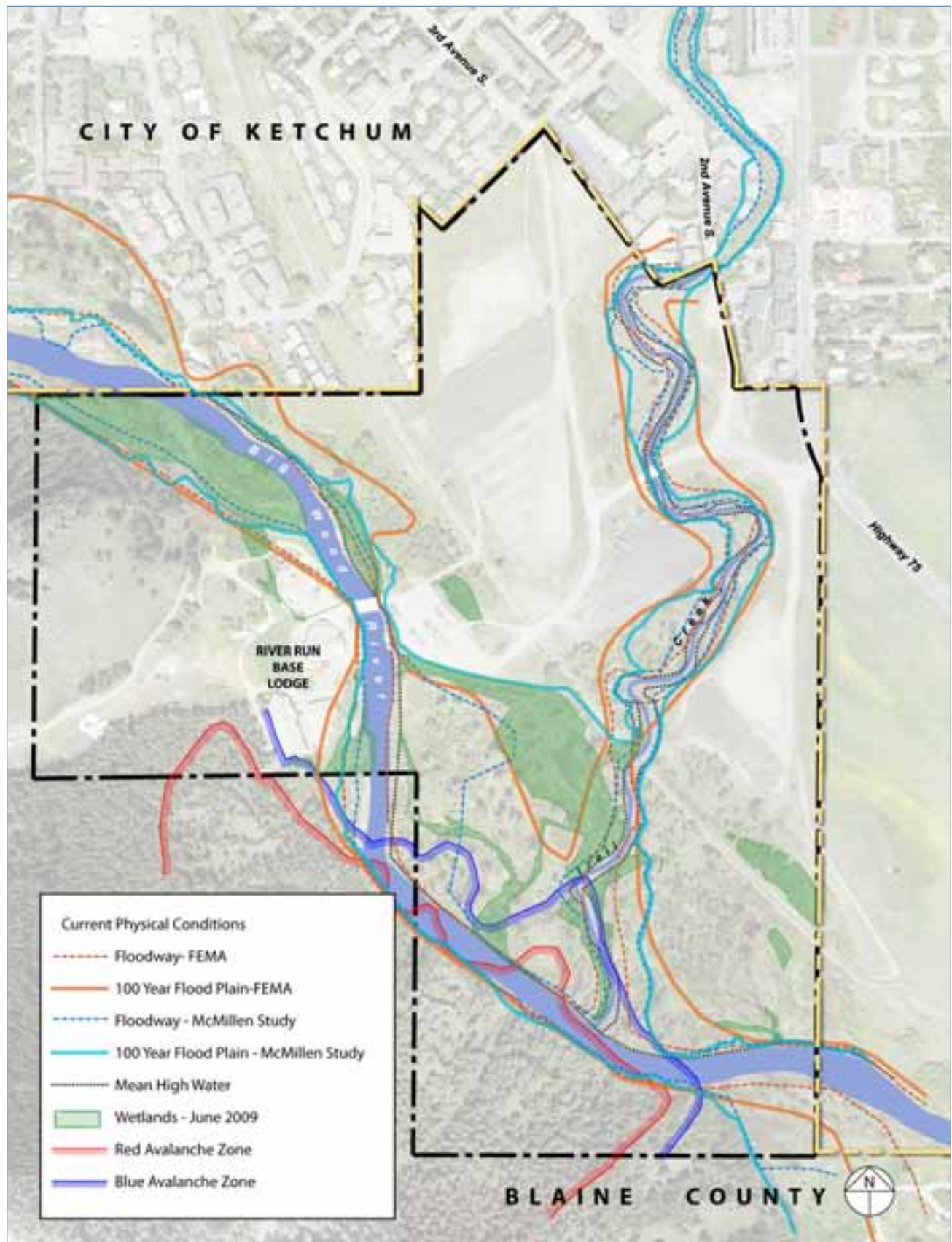
- Red Zone: Affected by avalanches with return period of 30 years or less and/or by a design avalanche that produces an impact pressure of 600 pounds per square foot or more on a flat surface normal to the flow
- Blue Zone: Affected by avalanches with return periods of 30-100 years and by avalanches producing pressures of less than 600 pounds per square foot

The avalanche hazard red and blue zones are included on *Figure 7 – Existing Site Conditions* and at scale on **Sheet 3 - Existing Conditions**. Arthur Mear's full report is included with this application packet as Exhibit 7.

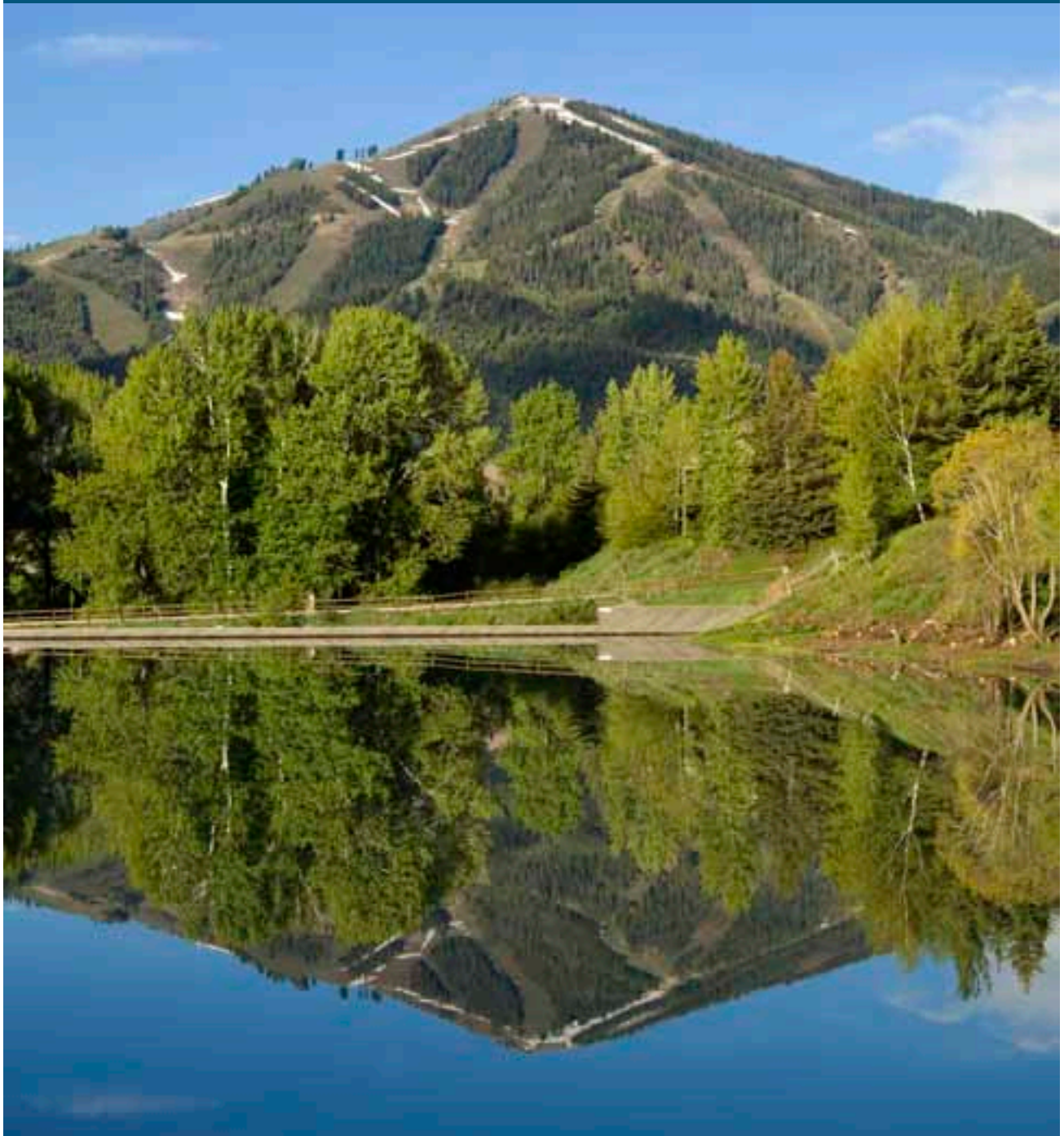
Environmental Information

An environmental study was conducted by Will Miller Consulting, LLC and McMillen, LLC in July 2009. A summary of the environmental report can be found in the Impact Statement of this application. The complete report is also included as Exhibit 6.

Figure 7 - Existing Site Conditions



Annexation and Zoning Designation Information



Annexation

The River Run property is currently not within the jurisdiction of the City of Ketchum. However, an agreement between Blaine County and the City of Ketchum dictates that when development of the parcel known as River Run is developed, it must be annexed into the City of Ketchum. Therefore, pursuant to Ketchum's Comprehensive Plan and in the City's Area of Impact Ordinance (16.12), the request is hereby made to the City of Ketchum to annex the property known as River Run. The area of annexation is shown in *Figure 8 - Annexation Map*.

Figure 8 - Annexation Map



Proposed Zoning Designation

Following annexation into the City of Ketchum, the primary zoning designation being sought for the River Run Neighborhood is T Tourist District. River Run is indicated in Title 17.52.010 T Tourist District as one of the several distinct areas appropriate for the T Tourist District designation. This designation is proper for the River Run Neighborhood in that it allows uses inherent to a community that integrates recreational amenities that draws tourists such as those offered at Bald Mountain.

The concept plan for the River Run Neighborhood has been created to ensure compatibility with the surrounding uses. Residential has been placed in the northern portion of the River Run property and continues the grid of the City of Ketchum into the neighborhood, transitioning into the resort/tourist area within the Hotel Core. The hotel has been sited to offer year-round access to Bald Mountain as well as the Big Wood River, the nature trail along the river and the bike trail through the Hotel Core, enhancing the visitor's experience to the area.

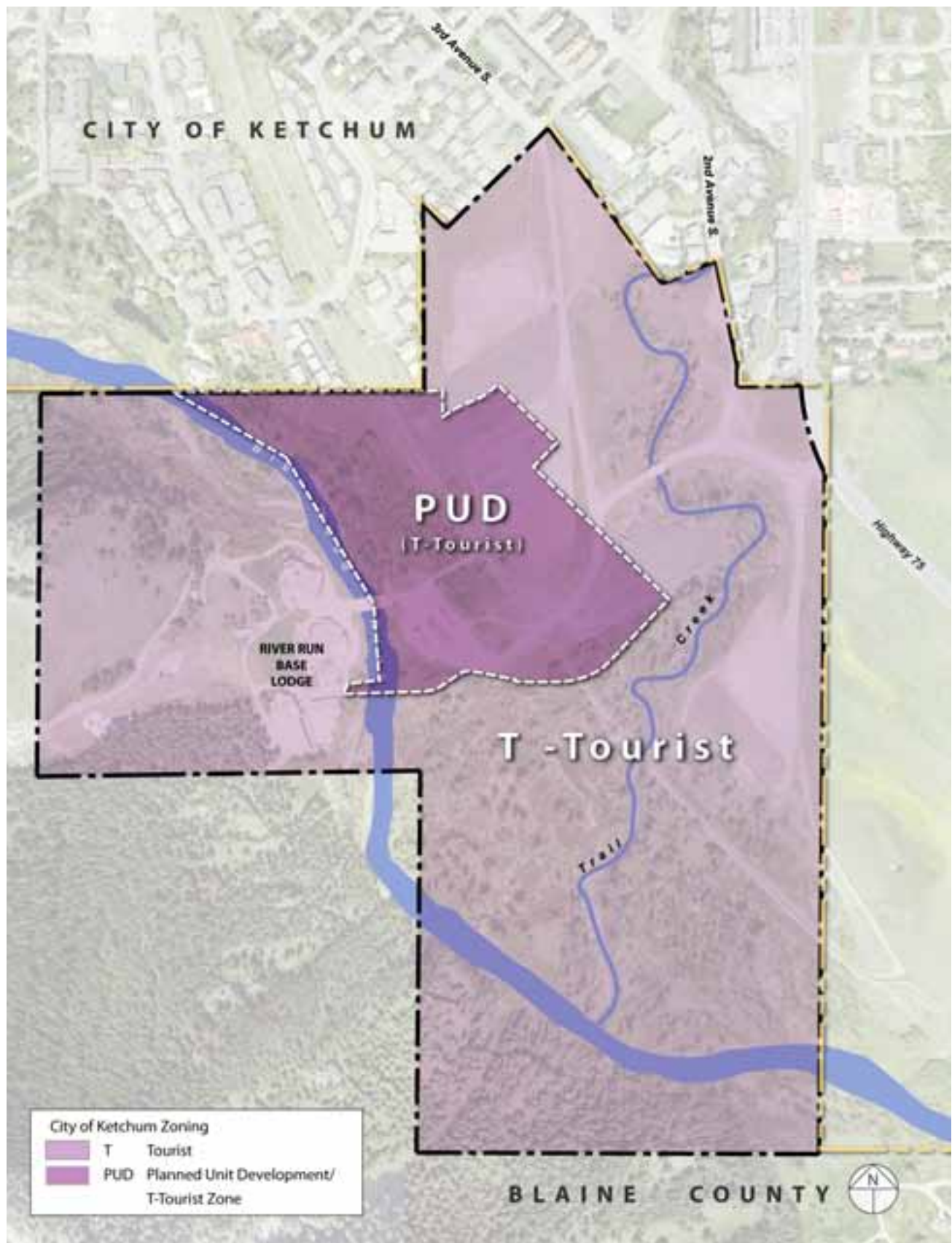
T Tourist District zoning allows off-street parking and recreation as conditional uses. These uses are critical to the success of the River Run Neighborhood. **The applicant requests that the T Tourist District zone be changed by the City to include off street parking and recreation as allowed uses through the revision of the City Code, Chapter 17.52 Tourist District (T).** As an alternative to changing the T Tourist District zoning code, the applicant requests that off street parking and recreational use be approved as allowed uses via the Annexation Agreement.

In order to achieve the walkability necessary for a successful tourist-resort destination, off-street parking must be accommodated in parking garages. Additionally, recreational activities are inherent to tourist destinations and the attraction of River Run is the ski area and rivers. The existing Wood River Trail that runs through the property provides access to the regional bike trail that links the communities within the Wood River Valley and the recreational amenities including the Wood River Ecological Park, proposed as part of the conceptual plan for the River Run Neighborhood, require recreation use be allowed.

PUD

The PUD area shown on *Figure 9 – Proposed Zoning Designation* includes the Hotel Core of the neighborhood. While this area is proposed for the T-Tourist zoning designation, several waivers are requested in order to create a vibrant mixed-use core area. These waivers are outlined in detail in the PUD Application section of this application.

Figure 9 - Proposed Zoning Designation



Conceptual Site Plan



Conceptual Site Plan

Proposed Land Use

The River Run Neighborhood will be an extension of Ketchum and a vibrant portal to Bald Mountain. At the base of the mountain, along the Big Wood River, will be a high quality hotel (150 – 200 rooms), spa and meeting space. Restaurants and retail will be sized to fit the needs to the visitors, guests and residents (approximately 35,000 square feet). This commercial will complement downtown Ketchum. Access to the mountain is provided through an activated plaza that connects to the existing bridge over the Big Wood River. Condominiums are integrated into this resort core to provide a variety of accommodations. Day skier parking will be located next to the hotel as part of the Hotel Core. Over time, when parking structures are constructed, residential units will be located on the top level of the parking structure. From Third Avenue, the appearance of the building will be of a residential scale.

Located between the existing city limit and the PUD boundary will be a neighborhood with a variety of multi-family units. The grid of the city extends into this neighborhood and housing may occur at 10 to 20 units per acre. Bioswales, as part of the stormwater management system, will provide a greenway in the middle of some of the blocks. In the southeast portion of the property, a sensitively located low-impact neighborhood of cabins and townhomes will be created.

The River Run Neighborhood will be connected to the City of Ketchum in many ways. The connection via Third Avenue will continue to provide primary connectivity into the area and will continue through the River Run Neighborhood connecting the residential as well as the Hotel Core with the City of Ketchum. Second Avenue will continue to provide access to Serenade Lane and the Highway 75 entrance to River Run is proposed to be improved through the addition of a roundabout or signalized intersection.

Additionally, bus pick up and drop off will be located near the plaza in the Hotel Core, connecting to existing bus routes throughout the valley. The existing bike path will be rerouted through the neighborhood and will continue to connect to the valley-wide system. A new nature trail is proposed to run along the big Wood River and Trail Creek to provide scenic access near the rivers. The proposed plan has been designed to accommodate a future potential gondola linking River Run to Ketchum and Sun Valley to the north should the gondola be found to be feasible.

Recreation is a multi-season activity in the River Run Neighborhood. In addition to skiing, snowboarding, hiking and mountain biking on Bald Mountain, recreation activities include fishing, biking, Nordic skiing, snowshoeing and nature walks.

Residential

The residential components of the plan fall into three general areas:

- **Resort Core Residential.** These condominium buildings frame the plaza and sit atop the parking garages, all within the PUD boundary. In addition, townhomes are contemplated to wrap around the sides of the parking garages. The building scale in this area is complementary to the hotel and conducive to creating a vibrant, village-like environment.
- **Neighborhood Residential.** These condominium and townhome buildings surround the core PUD zone to the north and east. These buildings will be subject to the Town's standard T-Tourist Zoning designation and will therefore provide a transition from the denser Core/PUD area to the existing T-Tourist Ketchum neighborhoods to the north of the site. In addition, it is likely that the parcels abutting Trail Creek will be townhome buildings providing a general stepping down of massing as one approaches Trail Creek from the Hotel Core. Density on these parcels will vary significantly depending up the building type (condominium vs. townhome), but all densities will be within T-Tourist zone standards.
- **Southern Zone Residential.** This low density neighborhood lies on the southeast side of Trail Creek. The northern portion of this neighborhood (generally the current snow storage site) will consist of townhome and duplex buildings, complying with T-Tourist zoning standards. The southern portion of this neighborhood (generally south of the existing Wood River bike path) will consist of low-impact single family cabins.

Hotel

The centerpiece of the River Run project is a full-service destination hotel comprised of 150 to 200 rooms. It is contemplated that the hotel will be constructed to accommodate a minimum "4-star" building program, although the actual level of service is yet to be determined. Building amenities are likely to include a spa and fitness facility, destination restaurant, meeting space, grand lobby and outdoor pool and hot tubs. The hotel building is also likely to contain a number of for-sale penthouse residences. The hotel site is restricted by the Big Wood River to the west, preservation of a future gondola line to the east and the skier plaza/portal to the south. Given these site constraints, and the need to accommodate the intense demands of up to a 5-Star building program, the proposed height of the hotel building is up to 110 feet for limited areas of the ridgeline, with possible iconic architectural elements exceeding 110 feet. The height will generally be focused in the center of the building with a sloping roof that brings the building massing down to a pedestrian scale at the plaza edge. The proposed height and massing is appropriate given the dramatic grade drop from Highway 75 down to the hotel site approximately 50 feet and the general desire for the hotel to have a presence from the Highway.

Retail

Surrounding the plaza will be approximately 35,000 square feet of retail space, located in the ground floor of the hotel building and condominium buildings across the plaza. A portion of this space will likely be occupied by the hotel's destination restaurant and sundries market. The remainder is contemplated to be occupied by retailers that focus on servicing skiers and recreationalists in non-winter months passing through the plaza, and River Run resort guests and owners.

Commercial (Highway 75)

A parcel of land northwest of the Highway 75 / Serenade Lane intersection has been designated as commercial land use. Potential commercial uses of this area will be determined based on the intersection modifications and market-supportable use at the time of development.

Parking

For the first several phases, skier parking would remain on surface parking lots just to the east of the Hotel Core. Guest and owner parking for the hotel and condominium buildings would be contained within underground garages beneath these buildings. Employee parking may be accommodated on the surface lots.

Future phases of the project will include the conversion of the surface lots into structured garage parking. Given the relatively high water table in this area, these garages cannot be pushed entirely underground. However, as described above, the goal is to "hide" the above grade portions of the garages as much as possible by wrapping them and covering them with residential buildings. This has been accomplished successfully in other projects such as East West Partners' Villa Montane in Beaver Creek. The exact number of spaces incorporated into these garages will be determined by the Sun Valley Company based on parking demand calculations prior to construction. This calculation may also be influenced by a shared-use agreement with the City of Ketchum to be determined in the future.

Community/Employee Housing Parcel

A parcel of land within the River Run Neighborhood will be donated to the City for the purpose of community and employee housing. This land conveyance will satisfy all community and employee housing requirements for the River Run development and will provide the City multiple options and maximum flexibility to build community housing sooner than would otherwise happen as a result of phased development of the River Run property over a long-term build out. The density and unit types of the housing constructed on this parcel will be determined by the City, although the developer will retain reasonable design approval rights.

Figure 10 - Conceptual Site Plan

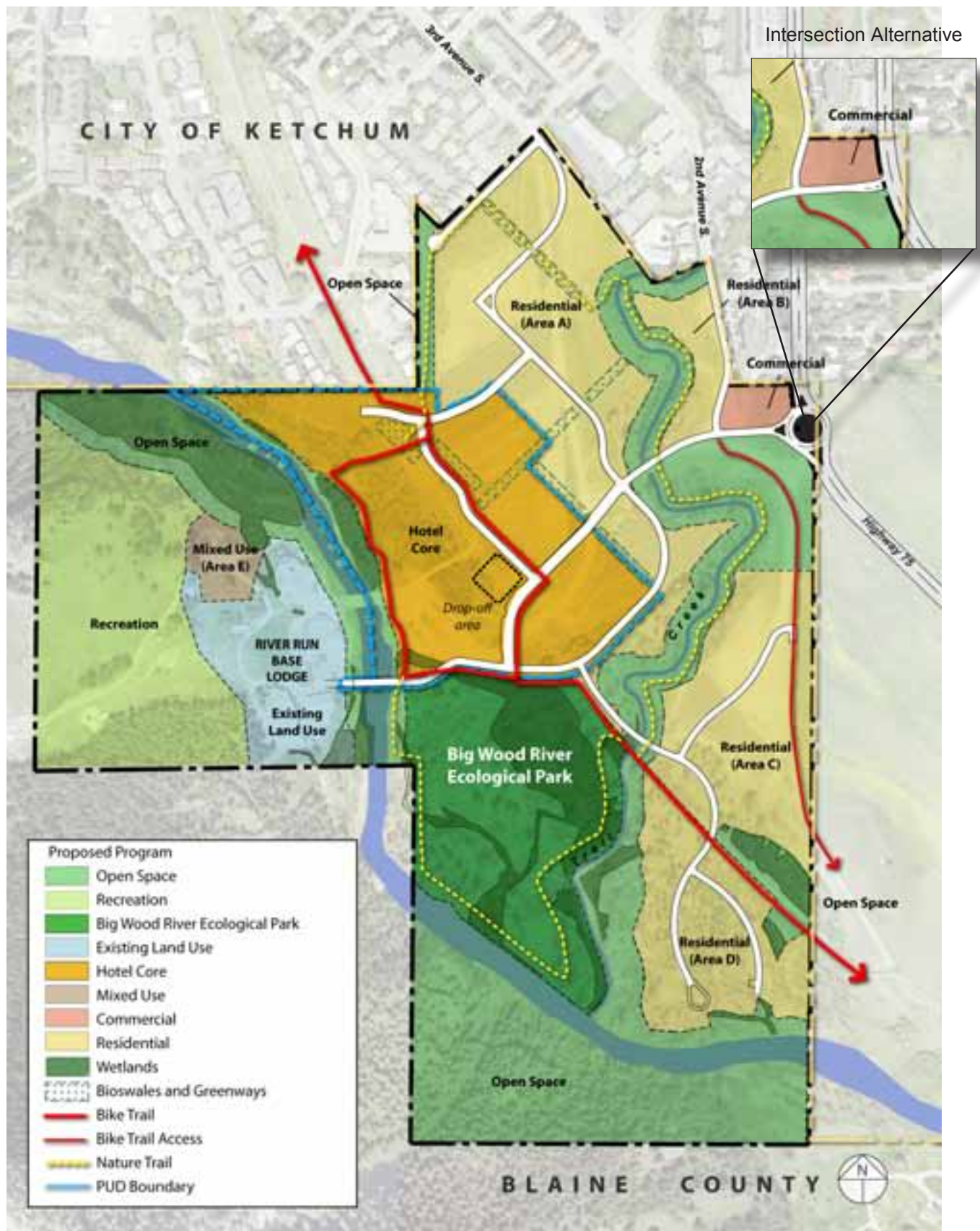


Figure 11 - Land Use Diagram

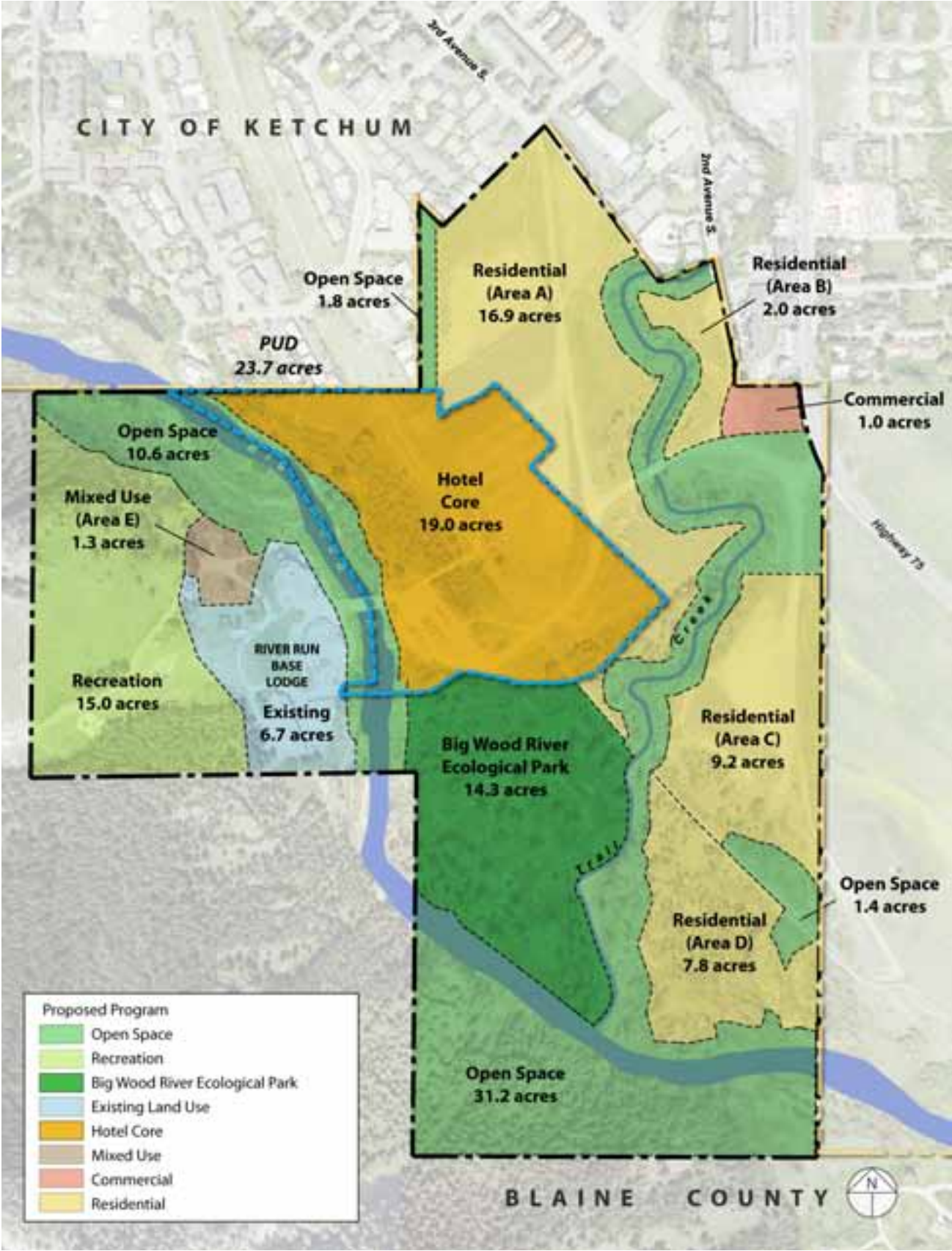
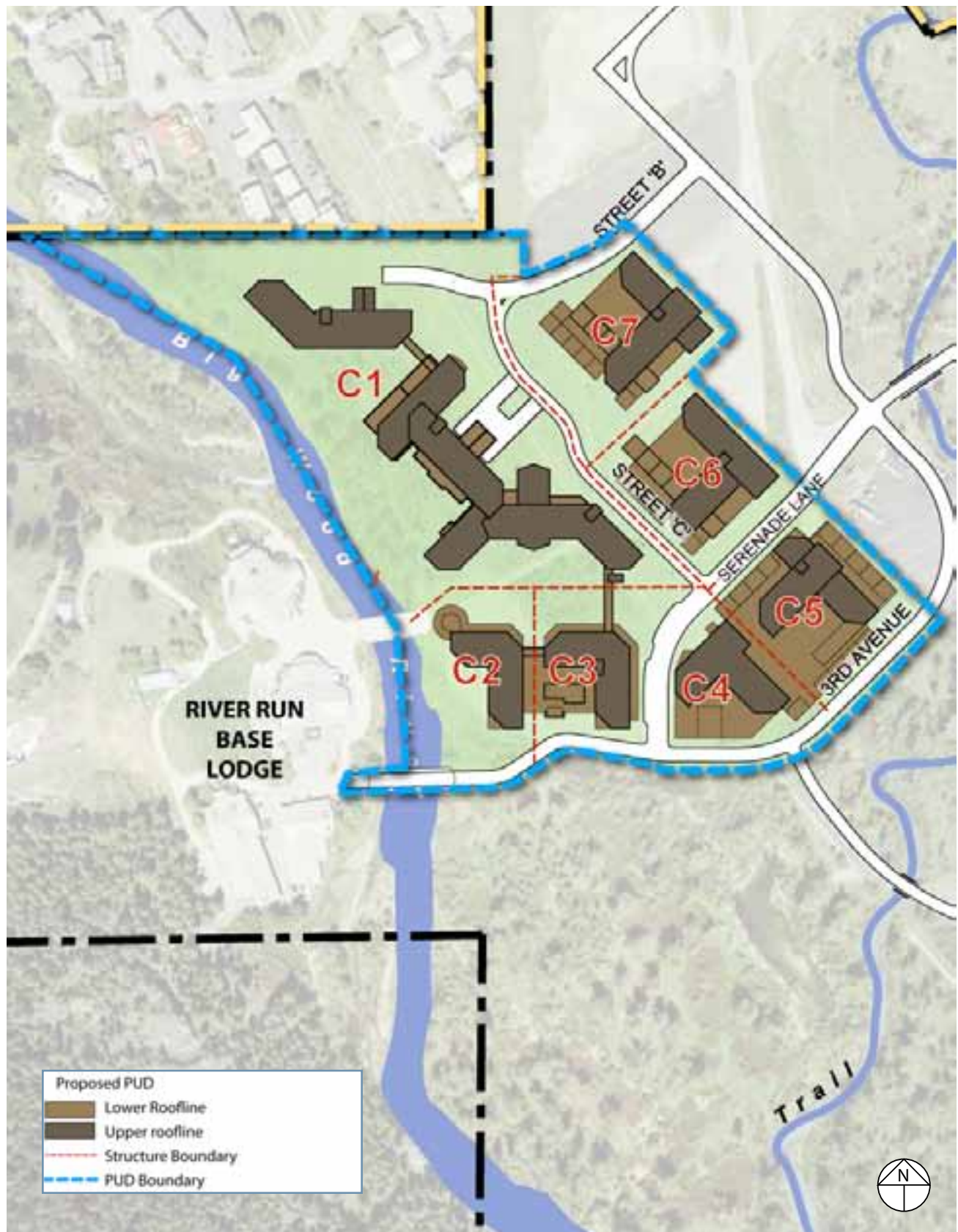


Figure 12 - PUD Concept Plan



Impact Statement

Fire Protection

At buildout, the full time and visitor population of the River Run Neighborhood is estimated to increase fire protection staffing by 2.5 FTE. (See Fiscal Impact Report, August 3, 2009, Attachments 2 of 10).

Water

The River Run property is identified in Ketchum's Comprehensive Plan and in the City's Area of Impact Ordinance (16.12) to be annexed by the City. The City's Utility Department and master planning efforts have, therefore, considered the development of the River Run Neighborhood. Discussions with City staff indicated that the current water supply has the capacity to serve this development. Like any other development in the City, the impact of the additional water supply required for this development will be mitigated through the water service impact fees in effect at the time of development.

Sewer

The River Run property is identified in Ketchum's Comprehensive Plan and in the City's Area of Impact Ordinance (16.12) to be annexed by the City. The City's Utility Department and master planning efforts have, therefore, considered the development of the River Run Neighborhood. Discussions with city staff indicated that there is sufficient transmission and treatment capacity to serve this development. Like any other development in the City, the impact of the additional wastewater treatment required for this development will be mitigated through the sewer service impact fees in effect at the time of development.

Utilities

Other utilities (Electric, Telephone, CATV & Natural Gas) will be provided by the respective private providers. These providers all have a policy that new development will pay for itself. All utilities will be installed underground. The impacts on these utilities by this development are mitigated by the project paying for the facility.

Public Easements

Sheet 2.0 - Site Survey shows the existing easements on the property. All public easements required by the Ketchum Subdivision Ordinance (Title 16) will be included in the development. These include, but are not limited to, public utility easements and scenic easements. All of the existing easements on the property required to provide public services and public access will be maintained in their current location or relocated in consultation with the City and/or the easement holder. Easements that are no longer needed will be extinguished.

Public Easements of Note: The Blaine County Recreation District maintains two separate non-motorized transportation corridors through the property. The Wood River Trail Easement will be relocated through a portion of the property to ensure that all current uses will be accommodated. Portions of the easements for Second Avenue and Serenade Lane will be re-routed to accommodate new road patterns and the entrance to Highway 75.

An easement for an Intermountain Gas main runs along the eastern portion of the property. This easement will remain in place. In addition, Sun Valley Company will provide an additional easement to Intermountain Gas for a new regulator station to the east of Second Avenue. This regulator station is a necessary component to Intermountain Gas' efforts to correct a natural gas delivery deficiency in the north valley and will benefit current and future residents of the City of Ketchum.

Avalanche Hazard

In March of 2009, Art Mears, PE conducted an avalanche hazard study of the River Run property. The full report is included as Exhibit 7. The red and blue avalanche lines from this report are shown on **Sheet 3.0 - Existing Conditions**. No development is proposed within the avalanche zones.

Drainage

The stormwater and snowmelt from the development of the River Run Neighborhood will be collected and infiltrated on site. Impacts on the adjacent waterways or neighborhoods will be mitigated as appropriate.

Grading of Slopes

Portions of the property will be re-graded to accommodate new roads and commercial and residential development. However, the steep portions (greater than twenty five percent) of the property located west and south of the Big Wood River will be left in their current condition. No adverse impacts from the grading of site are anticipated.

Police

At buildout, the full time and visitor population of River Run is estimated to increase police staffing by three FTE. (See Fiscal Impact Report, August 3, 2009, Attachment 2 of 10 in Exhibit 9).

Adjacent Properties & Neighborhoods

The impact on the adjacent properties and neighborhoods is anticipated to be minimal. Development on the northern portion of the properties has been designed using a medium density grid to continue the City of Ketchum's grid into the River Run Neighborhood. Density gradually increases to the high density Hotel Core area, which is designed to provide the vibrancy needed for an active resort environment.

The base elevation of the Hotel Core site is approximately 50 feet below the elevation of Highway 75, lessening the visual impact of taller buildings in this area. The residential planned on the southeastern portion of the property is designed to be low impact dwellings to not only provide a modest visual change from the Idaho Parks Foundation's land to the east, but also lessen the impact on the land in the area. The property south of the Big Wood River is anticipated to be preserved as open space, keeping in character with the BLM land to the south and west.

Schools

It is anticipated that a portion of the River Run Neighborhood will include year-round permanent residents. Of the current population of 3,400 people living within the city limits of Ketchum, 6.8 percent are enrolled in elementary school. Assuming that 15 percent of the 520 units in the River Run Neighborhood are occupied by full-time residents and an average household size of 2.2 persons, 12 elementary school children could be living in the River Run Neighborhood at buildout.

Fiscal Impact

A Fiscal Impact Analysis was conducted by RRC Associates in July 2009. A complete copy of the report is included with this application as Exhibit 9. The purpose of the analysis was to study the fiscal impacts of the proposed River Run development on the City of Ketchum. The analysis included two scenarios to determine the impact on the City. The two scenarios are as follows:

- Property Tax Scenario 1: Project area is not in Urban Renewal Agency revenue allocation
- Property Tax Scenario 2: Project area is in Urban Renewal Agency revenue allocation

The conclusion of RRC's report is, "...under both scenarios, the River Run development has a significant net benefit to the Ketchum general fund. The net present value (NPV) of net benefits to the General Fund across the 2010 – 2024 period totals approximately \$6.7 million to \$10.2 million depending on the scenario evaluated, excluding any public capital improvements that might be associated with development of the site and not already incorporated into normal departmental budgets. Moreover, following buildout (commencing in 2024), net benefits are projected to total approximately \$486,000 to \$1,201,000 annually on an undiscounted basis, varying by scenario. These net benefits can also be understood as funds in excess of what is required to meet City departmental operational expenses for the project, and thus are funds available for capital improvements or other purposes."

The report continues to indicate the following:

"In addition to River Run's net benefits to the Ketchum General Fund, substantial revenues are projected to accrue to the Ketchum Urban Renewal Agency (URA) in the event that the project area is included into the Agency's revenue allocation area. Should that be the case, the project would generate an NPV of \$20.3 million for the URA over the 2010 – 2024 period, and an undiscounted \$4.1 million per year thereafter (until expiration of the URA).

The significant net fiscal benefits of the River Run project to the City of Ketchum are primarily due to the following factors:

- Strong revenue generating capacity, due to anticipated high property values, a significant visitor / second homeowner orientation (resulting in high per capita spending and associated LOT collections), and the inclusion of Sun Valley ski area lift ticket sales operations and other taxable visitor sales in the annexation area.
- A moderate cost profile, again due to the visitor / second home orientation of the development (with associated higher vacancy rates and reduced demand for / impact on certain public services)."

Public Facilities

The Ketchum Fire Department indicated that this development would not generate the need for any new facilities such as a substation. No other City of Ketchum public facilities has been determined to be impacted as a result of this project.

Recreation Activity

The River Run Neighborhood will increase recreation activity opportunity for the residents of Ketchum and the surrounding area. The development will require the rerouting of the Wood River Trail bike path. The land under the bike path is owned by Sun Valley Company and per the terms of the easement, they have the ability to relocate the trail.

Roads, Traffic, Public Transportation

A transportation study was conducted by LSC Transportation Consultants in March 2009. This study looked at the traffic conditions under both "no project" (without the River Run development) and "plus project" (with the addition of the River Run Neighborhood) during the AM and PM peak periods. Eleven intersections in Ketchum and within the River Run Neighborhood were analyzed; the outcomes for which are included in the transportation study. There are three intersections, outlined below, that require mitigation in order to have them function at an acceptable level of service. The impact on Mountain Rides Transit Service was also analyzed and included in the recap below. A full copy of the River Run Transportation Study is included as Exhibit 5.

- SH 75/Serenade Lane – this intersection currently exceeds the LOS D standard during summer PM, winter School PM and winter PM peak hours. The addition of the River Run Neighborhood would worsen this condition. Mitigation recommendations include the addition of an acceleration lane for eastbound to southbound right turns, the addition of a traffic signal at this intersection or constructing a roundabout at this intersection with the roundabout being the preferred recommendation.
- SH 75/Second Street (downtown) – this intersection operates at LOS E with or without the proposed River Run Neighborhood. The addition of an exclusive left-turn lane to the eastbound approach along with a through/right-turn lane would bring the level of service to an acceptable D rating. Due to the fact that this would result in the loss of on-street parking, this may not be a desirable solution. LSC's re-evaluation of this intersection indicates that diversion of only six (6) eastbound left-turning drivers from Second Street to Third Street yields adequate LOS at SR75/Second Street, which may be achievable assuming that drivers will opt for one of the signalized intersections at First Street or Third Street to avoid excessive delays during peak hours.

- Third Avenue (north)/Serenade Lane – this intersection will operate at LOS F with the addition of the River Run Neighborhood. LSC recommends adding separate turn lanes for left and right turns on the southbound approach to improve the intersection to an acceptable LOS D. In addition, the proposed road network plan reduces traffic volume at this intersection by allowing skier parking access to the north of this intersection.
- Mountain Rides Transit Service – the River Run Neighborhood will create an increase in ridership, a large preponderance of which will be in the “off-peak” direction (i.e., eastbound in the morning and westbound in the afternoon and evening). Since the existing peak winter passenger loads on the routes serving River Run are westbound in the morning and eastbound in the afternoon, the River Run Neighborhood is not expected to have a significant impact on the capacity of the transit program.

Environmental Impact (Vegetation, Wildlife, Wildlife Habitat, Ground & Surface Water)

The Environmental Report, prepared by Will Miller Consulting, LLC and McMillen, LLC is included as Exhibit 6 and details the environmental impact in vegetation, wildlife, habitat and water resources. Summary of these impacts is as follows:

Vegetation

A vegetation analysis of the River Run Property was completed in 2009 to determine the extent of plant communities on the property, the relative value of each plant community to wildlife, the presence of special-status plant species and the extent of noxious weeds. Ten vegetation communities were identified, ranging from low value of disturbed (21 percent of the site) to higher value plant community of Wetland Emergent (0.83 percent of the site). Impact to higher value plant communities has been minimized in the development concept plan. Specific impacts are defined in the Environment Report. Correspondence with federal and state regulatory agencies along with field surveys indicate that there are no known populations of, or suitable habitat, for special-status plants on the site.

Wildlife

Biologists performed wildlife surveys on the River Run property during the summer of 2009 to document the occurrence of wildlife and to identify habitat associations and areas of high quality wildlife habitat. Observed evidence of mammals includes the American beaver, black bear, elk and mule deer. These were primarily seen in the area of the proposed eco-park. A wide variety of bird species were observed. Other species observed included mice, northern pocket gopher, western terrestrial garter snake and trout. With the exception of the Wood River Sculpin, it is unlikely that threatened, endangered or other species of special concern occupy locations on the property due to lack of habitat, and the current recreational use and development activity in the area. The Environmental Report defines specific impacts.

Water Resources

The River Run property contains both streams and wetlands that are considered jurisdictional waters. The property contains a total of 12.1 acres of wetlands. The impact of the development is estimated to impact less than 0.5 acres of jurisdictional wetlands. Trail Creek provides moderate to high quality habitat for aquatic species due to the presence of large woody debris, fish resting structures and active floodplain. The Big Wood River provides low to moderate quality habitat for aquatic species due to the lack of woody debris, fish resting structures and floodplain. Impact on Trail Creek and the Big Wood River will be minimized by providing a riparian setback from ordinary high water mark of 25 feet, with the setback averaging over 50 feet throughout the property.

Flood Hazard

At the request of Sun Valley Company, McMillen, LLC has completed a Flood Study (February 2009) on the portions of Trail Creek and the Big Wood River that flow through the River Run Property. The flood study modeled the existing site conditions to identify a more specific floodplain and floodway lines than are depicted in the existing FEMA flood insurance rate map. As proposed, the development within the PUD area does not encroach on the existing floodplain or floodway lines except in the area of the proposed Big Wood River bridge, minimal areas along the bridge access road and potentially a small portion of the southwest corner of the proposed hotel structure. Appropriate flood modeling will be completed for each of these encroachments. Alterations to the design will be made if the flood regulations cannot be met. Once final modeling is completed, the applicable letter of map amendment application will be submitted to FEMA for final approval.

Snow Removal Areas and Services

As stated in the City of Ketchum Comprehensive Plan (3/1/01), relocating the snow storage area is a high priority. The development of the River Run Neighborhood will necessitate the relocation of the City's snow storage. Adequate notice (estimated to be two winter seasons) will be provided in advance of development occurring on that site.

Noise, Air and Water Pollution

Noise, air and water impacts will be adequately addressed through conservation and mitigation measures identified for the project.

Areas of Historical Significance

Within the Area of Potential Effect, there are three linear features: the Oregon Short Line/Union Pacific railroad grade and the Galena Toll Road have previously been determined to be "Eligible" to the National Historic Register (NHR) and the Ketchum-Stanley Stock Driveway that has been previously surveyed, but has not yet been determined Eligible or Not Eligible to the NHR. A more complete description is included in the Preliminary Environmental Report, Exhibit 6.

Public Land Use

The conceptual plan for the River Run Neighborhood provides opportunities for recreational public land use by continuing those currently available including the bike trail and adding and improving access to the natural environment within the project.

Open Space

Approximately 75 acres will be preserved as open space. This area includes the riparian setbacks along the Big Wood River, Trail Creek and the significant wetlands within the property, the Big Wood River Ecological Center, the wooded area south of the Big Wood River on the southern portion of the property and the Bald Mountain ski base.

Trail System

The Wood River Trail bike trail will likely remain in the current location on the southern end of the River Run Neighborhood. At the approximate location of the Third Avenue/Serenade Lane intersection, the bike trail will be rerouted to run along the Big Wood River with an alternative route through the neighborhood streets and will rejoin the existing Wood River Trail at the northern property line. The Grant of Easement for the bike trail indicates that “Should at its sole discretion Grantor desire to relocate the twenty (20) foot corridor for any reason, Grantee agrees to allow said corridor to be moved and any improvements thereon will be relocated by the Grantee at Grantee’s sole cost and expense.” Additionally, a nature walk around the River Run Neighborhood is anticipated.

Wetlands

A new wetlands study and delineation conducted by McMillen, LLC in May 2009 was used to determine the development program for the River Run Neighborhood. Care has been taken to preserve and protect the significant wetlands within the property. Approximately 15 acres, including significant wetlands will be protected in perpetuity through the dedication of the land designated as the proposed Wood River Ecological Park.

River Access Points

Access to the river will be enhanced through the incorporation of river access points along the Big Wood River and Trail Creek. Fishing and other activities will be available for public use.

Figure 13 - Proposed Public Use



Transportation / Public Transportation

River Run will serve as an important multi-modal transportation hub in the north valley. River Run is currently well served by Mountain Rides in the winter. It is anticipated that as River Run becomes more populated and provides for year-round activities that ridership demand will provide an opportunity to increase Mountain Ride service in non-winter months. In addition, the potential Ketchum/Sun Valley Gondola could provide additional public transportation, providing an easy link from the area to restaurants, stores and activities in Ketchum. (See LSC Transportation Study, Exhibit 4, for details.)

Parking

Skier Parking – River Run currently provides day skier parking for the Sun Valley Ski Area. More than half of the skiers access the mountain from River Run (vs. Warm Springs). Over time, the day skier parking will be put into structured parking garages. The number of spaces needed will be determined at each phase of construction.

Hotel – Parking for the hotel will occur primarily under the building, one level below grade.

Residential – Parking for residential units in the PUD will be provided on site, primarily below the building. Parking for residential units in the non-PUD parcels will be determined at the time of building design.

Shared Use Parking

Per the City's Comprehensive Plan, Policy 4.6.5, the concept plan includes the opportunity for joint use agreements for the parking garages in the Hotel Core. Parking may be used for events including concerts, Wagon Days or other special events. The parking supply at River Run can significantly benefit downtown City of Ketchum. It may be to the benefit of all parties to financially share the cost of providing some of this parking.

Phasing

The project will be phased in a manner and at a rate that will largely be determined by market conditions. However, it is anticipated the first phase may contain the primary infrastructure and road work, including the realignments of Serenade Lane and Third Avenue and the creation of the new road accessing the Hotel Core and the service bridge.

The first phase will likely not include construction of structured skier parking. This parking will be accommodated with reconfigured surface lots located adjacent to the hotel and plaza. The structured parking will be built as part of subsequent phases, dependent upon market demand for residential units, as needed to offset the extraordinary cost of these garages.

Proposed Densities

The proposed densities for the River Run Neighborhood allow for medium density in the northern section of the property, providing a continuation of the density pattern within the City of Ketchum. Proposed densities increase to the south toward and within the Hotel Core, providing an environment of activity necessary for a successful core area within the neighborhood. Densities decrease as development moves toward the southern portion of the property, responding to the natural environment of the area and reducing the building footprints on the land. The proposed densities for the River Run Neighborhood are outlined below:

Hotel Core

150 – 200 room hotel

Approximately 35,000 sq. ft. retail/commercial

200 – 300 residential Units

Neighborhood Parcels (Areas A and B)

200 – 300 residential units

Low Density Residential (Areas C and D)

20 – 50 residential units

Floor Area Ratio (FAR)

The floor area ratio (FAR) for the River Run Neighborhood is estimated to be approximately 0.40. This number is calculated for the entire site and all development within the Hotel Core, as well as Areas A, B, C and D. The gross square feet for this property is 1,300,165 and the developable land is calculated at 3,242,719. The developable land includes all land within the property boundaries and excludes land within the 25 foot setback, slopes over 25 percent and wetlands outside the 25 foot setback that is not being filled for development. The tables below illustrate these calculations:

| | Square Feet | |
|---|-------------|------------------|
| Total Property | | 6,019,638 |
| Area within 25' setback from highwater mark | 978,218.5 | |
| Area with slopes over 25% | 1,532,928.2 | |
| Wetlands outside 25' setback (not being filled) | 265,772.0 | |
| Total Square Feet Excluded | | 2,776,918 |
| Total Developable Square Feet | | 3,242,719 |

FAR Calculation

| | | | |
|----------------------|-----------|---|------|
| Gross Square Footage | 1,300,165 | = | 0.40 |
| Developable Land | 3,242,719 | | |

Employee/Community Housing

A parcel of land within the River Run Neighborhood will be donated to the City for the purpose of employee and community housing. This provides the city multiple options and maximum flexibility to build community housing sooner than would otherwise happen as a result of phased development of the River Run property.

Streets, Rights-of-Way

The 60' Second Avenue roadway and public utility easement will remain in its current location and alignment. Both Serenade Lane and Third Avenue will be realigned as shown on **Sheet 12.0 New and Relocated Easements**. These realignments will provide access to the proposed River Run Neighborhood and maintain the River Run Base Area's connection to Ketchum's downtown area.

The River Run Neighborhood right-of-way will accommodate vehicular circulation in the form of destination access and internal circulation, while providing accommodations for pedestrians, bicycles and transit service to the area. The general intent of the roadway, right-of-way and streetscape is to accomplish the following:

- Establish a pedestrian-friendly street that anchors the Hotel Core area and links the new development with existing City of Ketchum.
- Provide pedestrian-friendly and a convenient walking route.
- Create an attractive access point to the Sun Valley ski area, Big Wood River and other amenities

The internal street network proposed for the site includes a series of two-lane roadways that have various right-of-way widths dependent on adjacent land use. The proposed dimensions and amenities for the 60 foot right-of-way streets are outlined below. The specific design and engineering of the streets will be provided at the preliminary plat. It is anticipated that snow storage will be accommodated within the street rights-of-way.

- Hotel Core and Residential Area (Serenade Lane and Second Avenue) – This two-lane street type serves mixed uses and will convey local and destination traffic. Wide sidewalks will be provided on both sides of the street. A third travel lane will run down the middle of the road to serve turning. The majority of skier traffic coming from the south will use Serenade Lane to access parking and future garages. There is no on-street parking. Stormwater and drainage will be handled by conventional storm drains that are adjacent to the roadway.

River Run will feature different right-of-way dimensions and amenities based on adjacent land use and traffic volume. A waiver from the required 60 foot right-of-way is requested for the following rights-of-way for the River Run Neighborhood:

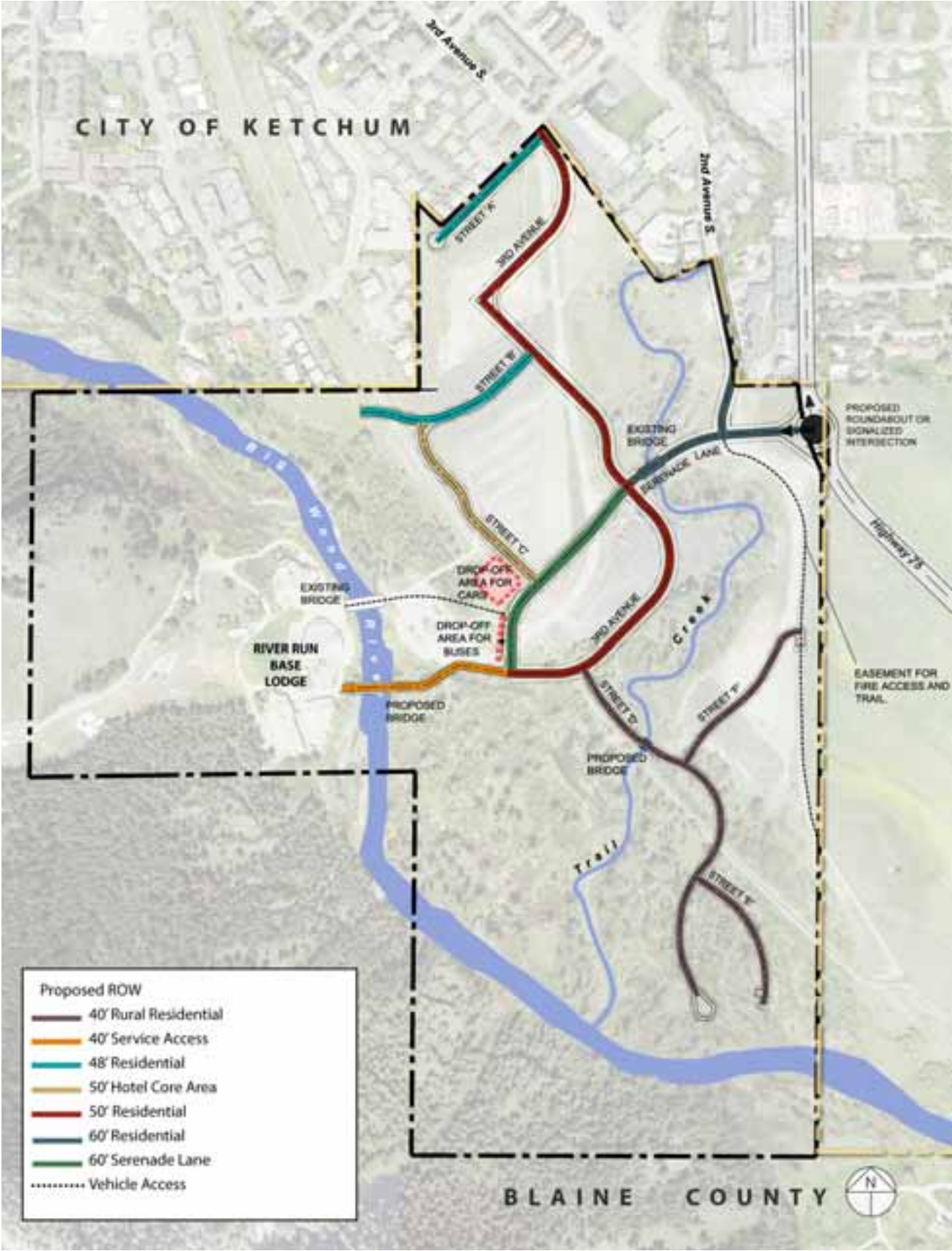
- 50 Foot Hotel Core Area (Street C) – This two-lane street type serves mixed uses and will convey moderate volumes of local and destination traffic. Sidewalks will be provided on both sides of the street. Bike lanes may be provided on both sides of the travel lanes. There is no on-street parking. Stormwater, drainage and snow storage will be handled by conventional storm drains that are adjacent to the roadway.
- 48 Foot Residential (Street A&B) – This two-lane street type serves residential uses and will convey low volumes of local traffic. Sidewalks will be provided on one of the street. A single parallel parking lane (8 feet wide) is provided on one side. Stormwater, drainage and snow storage is provided for in parallel swales that are adjacent to the roadway.

- 40 Foot Rural Residential (Street D,E&F) – This two-lane street type serves residential uses and will convey low volumes of local traffic. No sidewalks will be provided within the ROW, however residents will have access to trails. There is no on-street parking. Stormwater, drainage and snow storage is provided for in parallel swales that are adjacent to the roadway.
- 40 Foot Core Access – This two-lane street type provides service access to core buildings and the base area on the west bank of the Big Wood River. Sidewalks will be provided on one side of the street. There is no on-street parking. Stormwater and drainage will be handled by conventional storm drains that are adjacent to the roadway.
- Residential (Third Avenue) – This two-lane street type serves mixed uses and will convey both local and destination traffic. Sidewalks will most likely be provided on one side of the street. Third Avenue will serve as a major connector to the City of Ketchum. Stormwater, drainage and snow storage is provided for in parallel swales that are adjacent to the roadway.

All streets within the River Run Neighborhood will be public. The right-of-ways, including sidewalks and any improvements therein, will be dedicated to the City of Ketchum.

For the purposes of this application, the roadways are illustrative in nature and do not represent final alignments, widths or cross sections.

Figure 14 - Proposed Roads



Utilities

The proposed utilities to support the River Run Neighborhood concept plan are outlined below. The proposed location of these utilities is shown on **Sheet 11.0 – Utilities**.

Water

The water plan is shown on **Sheet 11.0 – Utilities**.

There are three existing water mains on the River Run Property. There is a 12” main that enters the property from the north along the current bike path location. This main currently serves the existing day lodge and skier services buildings on the property. This main will be relocated to the Street C and Serenade Lane rights-of-way and continue to serve the existing buildings as well as the new hotel area.

There is an existing 8” water main located in the existing Second Avenue and an existing 12” water main located near Highway 75 and Serenade Lane. At this time, it is intended to leave these two mains in their current location. A new 12” water main will connect to the existing 12” main and continue in a new easement along the eastern property boundary to Street F.

In addition, a connection into an existing 8” water main on Third Avenue that is just north of the property and continue this main along the rerouted Third Avenue to serve the new River Run Neighborhood will be created.

Other than what is described above, the new water mains will be placed in the road rights-of-way. All water mains will be installed the City of Ketchum’s Utility Department Standards and will be metered.

Wastewater

The two existing 18” mains will generally be relocated into the proposed road rights-of-way as shown on **Sheet 11.0 - Utilities**. The proposed road alignments and conceptual residential development plan outside of the core hotel area will allow the 24” main to remain in its current location.

All new and relocated sewer mains will be installed to the City of Ketchum’s Utilities Department standards.

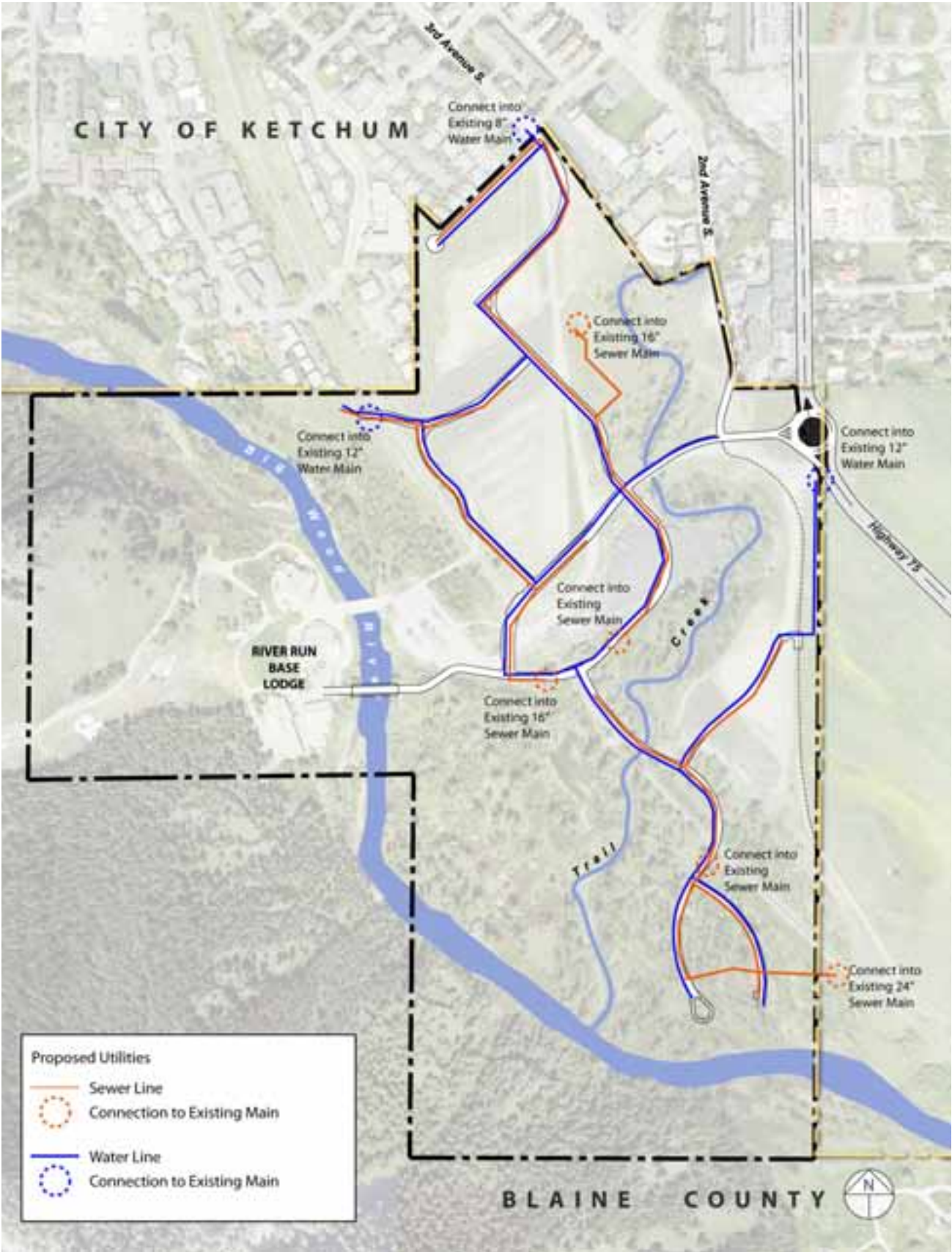
Power , CATV, Telephone and Natural Gas

Power, CATV, Telephone and Natural Gas (dry utilities) will be installed in a joint trench wherever possible to serve the River Run Neighborhood. The joint trench will be located within the road rights-of-ways as shown on **Sheet 11.0 - Utilities**. New easements will be created in areas where the right-of-way is insufficient or not practical and in other areas where necessary. Easements that are no longer needed will be extinguished in places where the dry utilities are relocated.

Currently, the property owner is working with Intermountain Gas to provide easements for expanded gas services into the Ketchum area. These expanded gas service lines and regulator stations are needed to continue to provide service to the north valley region. Specifically, the easement along the eastern property boundary will be expanded to accommodate additional gas lines. A new regulator station will also be placed on the River Run property. An easement is currently being negotiated between the property owner and Intermountain Gas in the area east of Second Avenue and north of Serenade Lane. This pending easement is shown on **Sheet 12.0 - New and Relocated Easements**.

More detailed plans for the installation of other utilities will be developed when the demand for these services can be more accurately forecast.

Figure 15 - Proposed Utilities

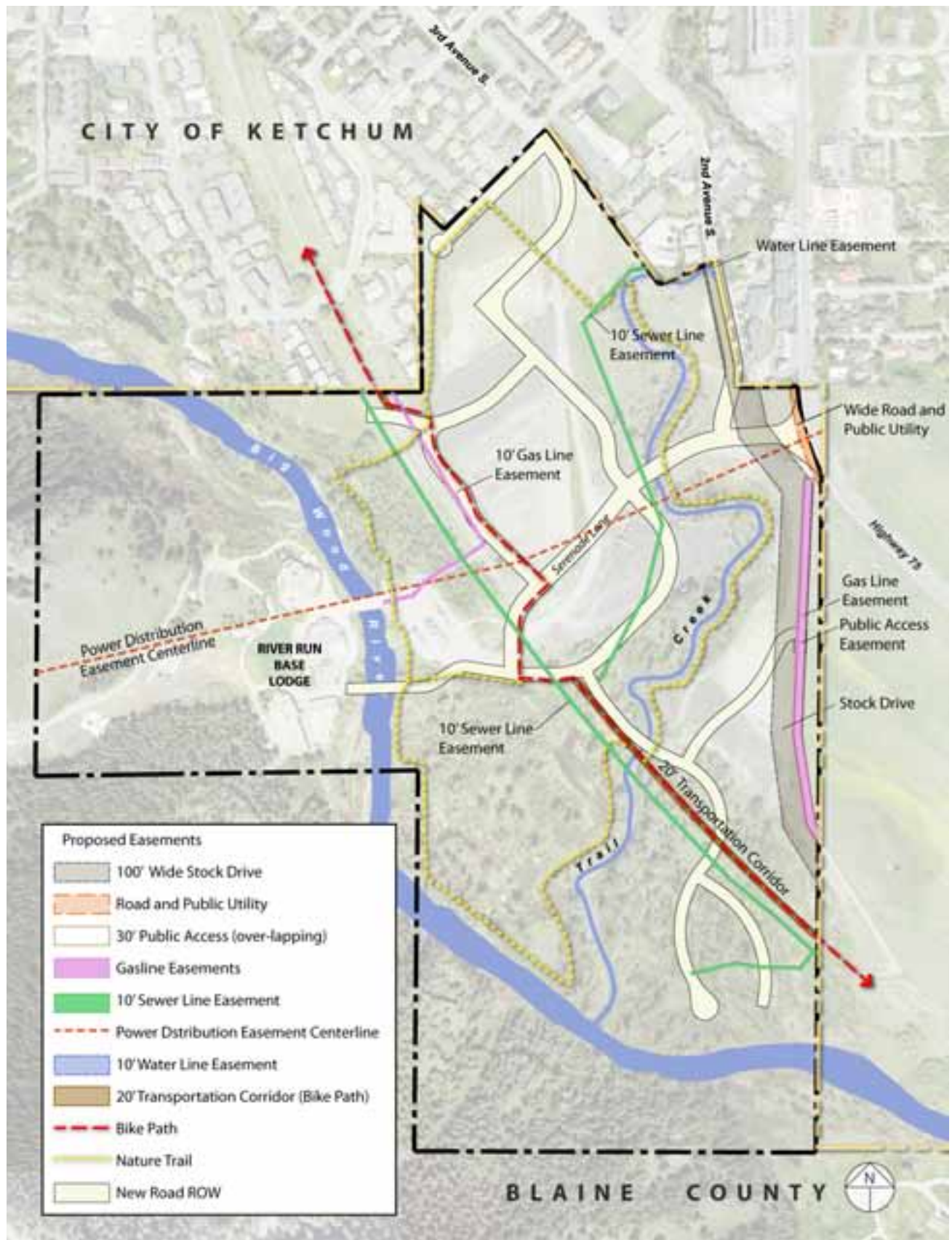


Easements

The following existing easements are shown on **Sheet 2.0 - Site Survey** and will require at least partial relocations. The relocated easements are shown on **Sheet 12.0 - New and Relocated Easements**.

- 20 foot-wide Non-motorized Transportation Corridor (Inst. Nos. 357100 & 291692).
This easement is commonly known as the “bike path”. Traveling from the south, the bike path will maintain its current alignment until it meets the proposed Third Avenue. From here the bike path will be located within the road rights-of-way on Third Avenue, Serenade Lane and Street C as shown on **Sheet 12.0 - New and Relocated Easements** until it will meet back up with its current alignment and continue north.
- 30 foot-wide Public Pathway Easement - (Inst. Nos. 302557 & 225522)
This easement is spur off of the main bike path follows the eastern boundary of the property. The future development of a residential neighborhood in this area will require some minor rerouting of this easement.
- 100 foot-wide Stock Drive - (Inst. No. 84300)
This stock drive easement will need to be relocated to accommodate the residential neighborhood planned for the eastern portion of the property. The property owner will contact the adjoining neighbors to discuss the possibility of relocating this easement off-site.
- 10 foot-wide Sewer Easements - (Inst. Nos. 130038 & 130087)
Portions of these two sewer line easements will be relocated to road rights-of-way as shown on **Sheet 12.0 - New and Relocated Easements**. These relocated easements will provide the City with better and easier access to these mains and manholes given they will be in roadways. Currently these easements are not easily accessible.
- 10 foot-wide Wide Gas Line Easement - (Inst. No. 358239)
This is the gas line that enters the property from the north along the current bike path alignment and serves the existing development west of the Big Wood River. This easement will be relocated within the Street C and Serenade Lane.

Figure 16 - New and Relocated Easements



Planned Unit Development Application



Planned Unit Development (PUD)

A PUD Application for the Hotel Core in the River Run Neighborhood is included with this Annexation and Zoning Designation Application. The focal point of the proposed development plan at River Run is comprised of a hotel, pedestrian plaza, retail space, parking garages and multi-family buildings and is referred to as the Hotel Core. These uses are focused within a 19-acre area, which is located along the northeastern edge of the Big Wood River as close to existing River Run Day Lodge, Skier Services buildings and the ski mountain as possible so as to create a vibrant, active center for the River Run Neighborhood. This combination of desired land uses in a relatively concentrated area necessitates that the Hotel Core to be granted site-specific zoning via the City of Ketchum's Planned Unit Development Ordinance.

This PUD will allow for controlled density to occur where it belongs within the River Run project – in the Hotel Core, next to the ski mountain, on the lowest portion of the property, with limited adjacency to existing neighborhoods.

Waivers Requested

Street Right-of-Way: 12.04.030.A:

Right Of Way: All street rights of way shall be at least sixty feet (60') unless otherwise approved by the city council. Additional widths may be specified by the city. Greater widths will be required for cul-de-sacs. All rights of way intended for public street maintenance shall be dedicated to the public as provided for in the Idaho Code. All alleys shall have a minimum right of way width of twenty feet (20'). All private streets shall have a minimum right of way equal to the width of the street improvements, including, but not limited to, curb and gutter, utilities and snow storage, or as otherwise approved by the city council. Gates are prohibited on private roads and parking access/entranceways, private driveways accessing more than one single-family dwelling unit and one accessory dwelling unit, and public rights of way unless approved by the city council.

- Waiver Requested: Street Right-of-Ways are requested to range from 40 feet to 50 feet in certain locations, as follows:
 - » Third Avenue – 50 feet
 - » Hotel Core Road – 50 feet
 - » Core Access Road – 40 feet

Specific sections for these ROWs will be determined at the time the roads are designed and engineered.

Street Widths: 12.04.030.B:

1. Local streets and roads directly serving dwelling units and with no through or collector traffic intended on them shall have a minimum paved width of twenty six feet (26').

2. Minor streets and roads serving to collect traffic within residential and other areas for distribution outside the area shall have a minimum paved width of twenty six feet (26').

3. Collector streets and roads intended to connect major districts within or adjacent to the city shall have a minimum paved width of forty one feet (41').

4. Arterial streets and roads intended for fast heavy traffic volume shall have a minimum paved width of forty four feet (44') with a minimum right of way of eighty feet (80').

5. The unobstructed, all weather surface of a private street shall not be less than twenty feet (20') nor wider than thirty feet (30') unless otherwise approved by the city council.

- Waiver Requested: Street Widths are requested as follows:
 - » Minor Streets – 22 feet paved for Rural Residential streets
 - » Collector Streets – 34 feet paved or final width to be determined at preliminary plat

Maximum Height: 17.52.010.I.1

Hotels: Hotels which meet the definition of “hotel” in chapter 17.08 of this title may exceed the maximum floor area and height or minimum open site area requirements of this chapter subject to the following review process:

- *A planned unit development shall be prepared for the proposal and approved by the city which specifically outlines the waivers to bulk regulations requested.*
- *A subarea analysis shall be prepared which addresses the comprehensive plan designation for the subarea, impacts of the proposed hotel on the character and scale of the surrounding neighborhood, impacts on proposed height and mass relative to the city’s design review standards and the PUD standards, and the appropriateness of the subarea for a hotel which exceeds the bulk requirements of this section.*
 - » Waiver Requested: A waiver to accommodate a maximum height of 110 feet as shown on *Figure 17 – Tent Diagram and Tent Coverage* is requested. The hotel site is restricted by the Big Wood River to the west, preservation of a future gondola line to the east and the skier plaza/portal to the south. Given these site constraints, and the need to accommodate the intense demands of up to a 5-Star building program, the proposed height of the hotel building is up to 110 feet for limited areas of the ridgeline, with possible iconic architectural elements exceeding 110 feet. The height will generally be focused in the center of the building with a sloping roof that brings the building massing down to a pedestrian scale at the plaza edge. The proposed height and massing is appropriate given the dramatic grade drop from Highway 75 down to the hotel site of approximately 50 feet and the general desire for the hotel to have a presence from the Highway.

Maximum Height: 17.52.010.1.2

(Other C Buildings): I. Maximum Height Of Buildings:

- *For buildings with a roof pitch under five to twelve (5:12) or for mansard roof buildings, the maximum building height shall be thirty five feet (35').*
- *For buildings with a roof pitch greater than five to twelve (5:12), the maximum height to the mean point of the ridge or ridges measured from eaves line to the ridge top shall be thirty five feet (35'). Roof ridges above the mean point may extend up to a height of forty four feet (44').*

» Waiver Requested: A waiver to accommodate a maximum height of 90 feet on the parking garages (C Buildings) as shown on *Figure 17 – Tent Diagram and Tent Coverage* is requested. The parking garage buildings within the Hotel Core are fairly limited in the available subterranean depth by the relatively high water table on the site. This, combined with the fact that these parking garages will incorporate residential wrapping around and located above to conceal the parking structures and necessitates a height waiver.

Off Street Parking

Sidewalk, Curbs and Gutters: 17.124.090:

In the CC, T, T-3000, T-4000, LI-1, LI-2 and LI-3 zoning districts, sidewalks, curbs and gutters shall be required as an accessory use when there is new construction or when an existing building is altered or changed and such modifications require a building permit and the cost of construction exceeds twenty thousand dollars (\$20,000.00), in accordance with standards as established by the city as to type, location and grade.

- Waiver Requested: Curbs and gutters are often found to be impractical and expensive to maintain in mountain environments. For the roads, the concept plan proposes the use of edge of road drain, natural ditch-like features and other innovative alternatives used in mountain resort communities.

Design Review Requirement:

Design Review is required. Please attach Pre-Application Design Review Submittal Materials. Complete Design Review will be conducted after PUD review and decision

- Waiver Requested: Design of the buildings and the associated Design Review will occur at a future date. Design Review is not part of this Annexation and Zoning Designation application. The first phase building(s) are not designed.

Lot Coverage

Lot coverage calculation is not applicable at this time, as proposed buildings and parking areas have not been designed. Floor area broken down by uses is not known at this time.

Development Schedule

Hotel Core

- 150 – 200 room hotel
- Approximately 35,000 sq. ft. of retail/commercial
- 200 – 300 residential units

Neighborhood Parcels (Areas A & B)

- 200 – 300 residential units (excluding community housing)

Lower Density Residential (Areas C & D)

- 20-50 residential units

A phasing plan is not determined at this time.

Tent Diagram

Figure 17 - Tent Diagram and Tent Coverage illustrates the scale and mass of the PUD Area (Hotel Core) in the River Run Neighborhood. The information below details the Tent Diagram:

Height Measurement Technique

The heights labeled on the tent diagram were measured using the following technique: A sloped ground plane was created anchored by the four corners of each parcel at the proposed future grade level. These ground planes thus represent an average slope for each parcel, but do not account for any topographical variations that may occur within the parcel (i.e., mounds, ditches, etc.). The sloped ground planes served as the base/foundation from which the tent masses were erected. The top planes (ceilings) of all tent masses were kept parallel to the slope ground plane, thus keeping the height from the sloped ground plane to the ceiling of each tent consistent throughout each tent mass. So if you were to walk on the sloped ground plane underneath a 60 foot tent mass the ceiling of that tent would always be 60 feet above the sloped ground plane no matter where within the tent mass you walked.

Elements Exceeding Height Planes

Chimneys, spires, clock towers, elevator and mechanical penthouses, rooftop appurtenances and other iconic architectural elements shall be allowed to exceed the maximum tent diagram heights, subject to design review approval.

Flexibility in Positioning of Massing within Parcels

The locations of the various allowable heights within each parcel shown on this tent diagram reflect only one possibility of how the building massing might be configured. The exact location of the building structures of varying heights within each parcel may differ from the areas depicted on this tent diagram. So long as the future proposed building designs for each parcel comply with the height restrictions by percentage of site area depicted on the tent diagram, then the general massing for each parcel shall be approved during the design review process.

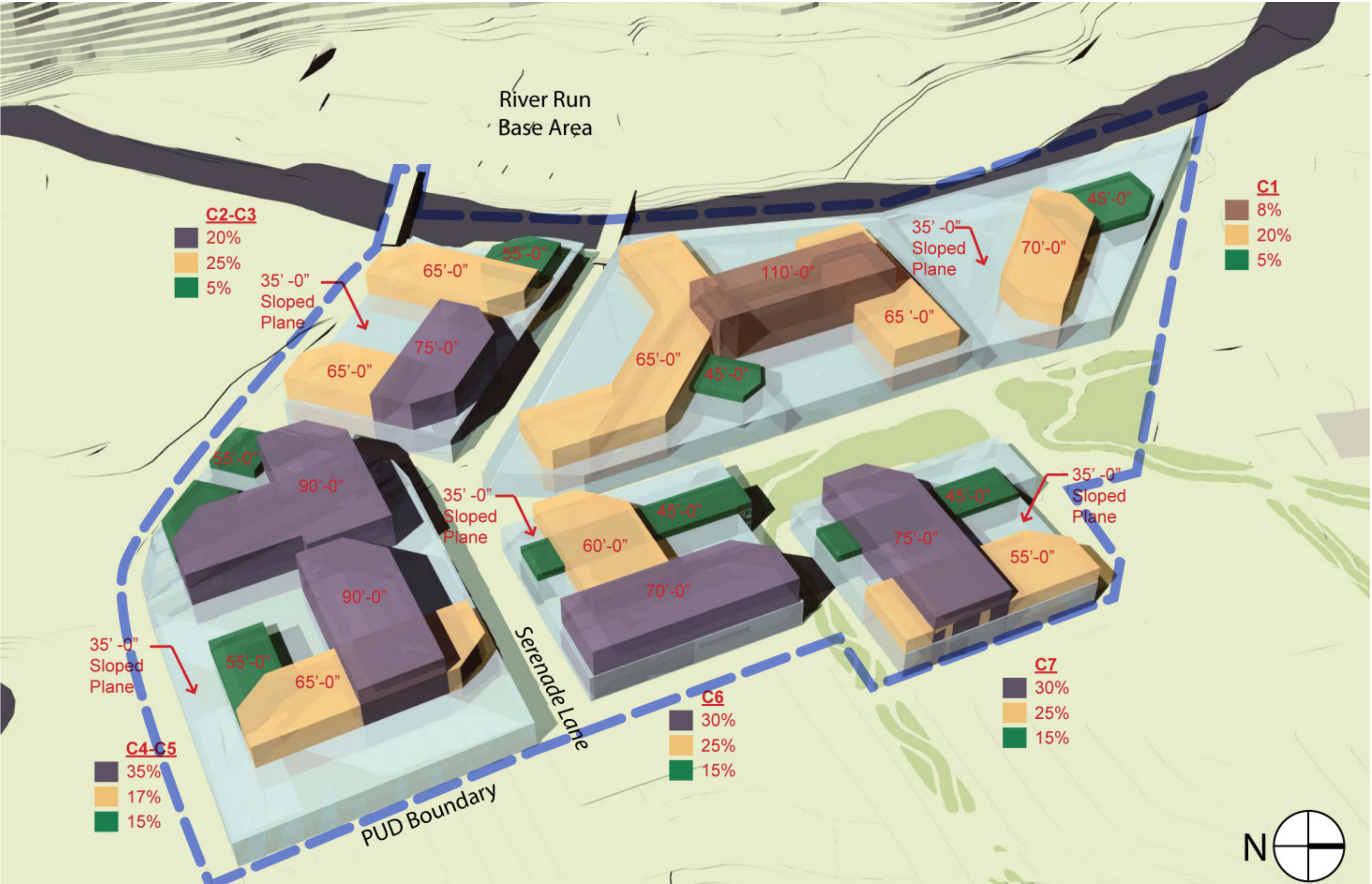
Large Block Plat

The large block plat required per 16.08.070.C is included as **Sheet 15.0 - Large Block Plat**. Two blocks have been identified in this plat: Block 1, which represents the Hotel Core/PUD Area and Block 2, which represents the remainder of the property. The large block plat includes information known at the time of this application. Subsequent discussion and decisions can be noted on this plat as the application moves through the review process. Several items required on the Large Block Plat per City Code are more suited to a design review of the project and will be provided at that time.

Key for Tent Diagram and Tent Coverage



Figure 17 - Tent Diagram and Tent Coverage



Sub Area Plan T-Tourist

Comprehensive Plan designation for the subarea

Residential Occupancy. The conceptual plan for the River Run Neighborhood has been developed to ensure compatibility with its surroundings as the focus. Environmental sustainability through the protection of wetlands, siting uses to take advantage of the recreational amenities and ensuring the River Run Neighborhood is a “good neighbor” to the City of Ketchum have been emphasized. In order to ensure the latter, an analysis of the River Run Neighborhood’s compliance with the Comprehensive Plan for the City of Ketchum has been conducted. Specific information regarding this compliance is located in this Annexation and Zoning Designation application.

Impacts of the proposed hotel on the character and scale of the surrounding neighborhood

The character of the area surrounding the River Run Neighborhood is primarily defined by majestic Bald Mountain, which rises steeply from the edge of the Big Wood River. The hotel character and scale responds to these surroundings with a design that incorporates a solid base and gently sloping rooflines.

The portion of the hotel complex on the north end of the PUD parcel, responds to the existing adjacent neighborhood by setting the foundation of the building back from the property line. The portion of the building closest to the neighborhood will be the lowest in height of all of the buildings in the PUD at approximately 45 feet, with the portion farthest away from the property line at approximately 70 feet.

Impacts on proposed height and mass relative to the City’s Design Review Standards and the PUD Standards

The mass and scale of the buildings, when designed, will meet PUD and Design Review criteria. For example, the buildings will:

- Provide for and protect light, air, solar access and orientation, views and vistas by properly locating building sites and building layout.
- The structures will be compatible with the townscape and surrounding neighborhoods (of which there are few) with respect to height, bulk, setbacks and relationship to street.
- In creating the 3D Tent for the PUD in this application, consideration was given to significant view corridors.

Appropriateness of the subarea for a hotel which exceeds the bulk requirements of the City Zoning Code

This subarea is perfectly suited for a relatively large-scale hotel. The backdrop of the PUD parcel is Bald Mountain, which dwarfs everything in front of it. The site drops approximately 50 feet in elevation from Highway 75 to the Big Wood River. The change in grade in essence creates a hole in which the hotel sits. In addition, the Hotel Core is a considerable distance from Highway, which serves to further diminish the visibility of the hotel from major public viewpoints.

Annexation Agreement

Waivers Requested

Street Right-of-Way: 12.04.030.A:

Right Of Way: All street rights of way shall be at least sixty feet (60') unless otherwise approved by the city council. Additional widths may be specified by the city. Greater widths will be required for cul-de-sacs. All rights of way intended for public street maintenance shall be dedicated to the public as provided for in the Idaho Code. All alleys shall have a minimum right of way width of twenty feet (20'). All private streets shall have a minimum right of way equal to the width of the street improvements, including, but not limited to, curb and gutter, utilities and snow storage, or as otherwise approved by the city council. Gates are prohibited on private roads and parking access/entranceways, private driveways accessing more than one single-family dwelling unit and one accessory dwelling unit, and public rights of way unless approved by the city council.

- Waiver Requested
 - » Residential/Hotel Core – 50 feet
 - » Neighborhood Residential – 48 feet
 - » Rural Residential – 40 feet

Street Widths: 12.04.030.B:

1. Local streets and roads directly serving dwelling units and with no through or collector traffic intended on them shall have a minimum paved width of twenty six feet (26').

2. Minor streets and roads serving to collect traffic within residential and other areas for distribution outside the area shall have a minimum paved width of twenty six feet (26').

3. Collector streets and roads intended to connect major districts within or adjacent to the city shall have a minimum paved width of forty one feet (41').

4. Arterial streets and roads intended for fast heavy traffic volume shall have a minimum paved width of forty four feet (44') with a minimum right of way of eighty feet (80').

5. The unobstructed, all weather surface of a private street shall not be less than twenty feet (20') nor wider than thirty feet (30') unless otherwise approved by the city council.

- Waiver Requested: Street Widths are requested as follows:
 - » Minor Streets – 22 feet paved for Rural Residential streets
 - » Collector Streets – 34 feet paved or final width to be determined at preliminary plat

Off Street Parking Space 17.124.060

1. For one-family dwellings and for each dwelling unit in a duplex, one and one-half (1 1/2) parking spaces. For a townhouse and multiple-family dwelling, one parking space per every one thousand five hundred (1,500) net square feet of residential space, except as may otherwise be required in the CC district. For residential projects of four (4) units or more, one guest space for every four (4) units shall be provided in addition to the above requirement. Required parking spaces for all residential development, except as may otherwise be required in the CC district, shall be on the same premises as the dwelling/unit(s).

2. For tourist homes, hotels, motels, lodges, rooming houses and similar places offering sleeping accommodations: 0.75 spaces per room.

- Waiver Requested:
 - » 1. Residential - 1.2 space per unit
 - » 2. Hotel - 1.0 space per key. Requirements for spa and meeting space parking will be accommodated in this ratio, supplemented by shared parking use of day skier parking spaces

Sidewalk, Curbs and Gutters: 17.124.090:

In the CC, T, T-3000, T-4000, LI-1, LI-2 and LI-3 zoning districts, sidewalks, curbs and gutters shall be required as an accessory use when there is new construction or when an existing building is altered or changed and such modifications require a building permit and the cost of construction exceeds twenty thousand dollars (\$20,000.00), in accordance with standards as established by the city as to type, location and grade.

- Waiver Requested: Curbs and gutters are often found to be impractical and expensive to maintain in mountain environments. For the roads, the concept plan proposes the use of edge of road drain, natural ditch-like features and other innovative alternatives used in mountain resort communities.

Dawn Hofheimer

From: Judy Sweeney <juliasweeney@msn.com>
Sent: Sunday, August 3, 2025 10:18 PM
To: Participate
Subject: Wanderers Way Density

Hello. I'm Judy Sweeney, owner of 106 and 108 Wanderers Way and the 3 vacant lots. When we developed that land with Jack Corrock, back in the 70's, it was designed as low income housing and was used as such for many years. There weren't many buildings of any kind in our neighborhood back then. As people began developing the area the dynamics changed and it soon became a neighborhood of family's and full time residents. Though I am a come and go person I am well established in the community. As my family grew, Wanderers Way got crowded so I bought a home on Irene St, another area you have targeted for density. This entire community has become residential, a community of full time families. It is no place for increased density and transient employees. My family hopes to build homes on our lots, not duplexes and certainly not triplexes. Our Wanderers Way units are 3 bedroom, 2 bath units. There are no dining rooms or family rooms. No dens, offices or TV rooms. They are small.

They were designed with families in mind. Families That's what our community has become. Please don't change the dynamics by introducing more density. You've already heard the problems density will bring. I agree with all of the arguments brought forward at other meetings. Please follow the CCandRs that have already been established.

Thank you, Judy Sweeney

Sent from my iPhone

Dawn Hofheimer

From: Riley Mott <rileymoon@mac.com>
Sent: Monday, August 4, 2025 7:13 AM
To: Participate
Subject: Community FIRST

Mayor and City Council,

I am writing this letter in opposition to a consent agenda vote on reclassifying Affordable Units, as this will adversely impact many of our neighbors and needs to have a longterm sustainable solution. This solution must include full input from affordable unit owners and the community at large. There are legal liabilities involved that need further study to prevent needless and expensive litigation.

BCHA proposed solutions do nothing to prevent this from happening to other affordable housing owners in the future, so now is the time to act to find a lasting and sustainable solution to this problem.

It is not reasonable to decide this in a Consent Agenda without full community discussion of these changes and allowing participants to be involved in crafting lasting solutions.

I respectfully request that you set aside voting regarding changing the category of this unit until you have given greater consideration to these issues.

Sincerely,

Riley Mott

Sent from my iPhone

Dawn Hofheimer

From: Luanne Mandeville <luanne@luannemandeville.com>
Sent: Monday, August 4, 2025 11:19 AM
To: Participate
Subject: Mid Warm Springs land use and mapping

Attn: Planning Commission and City Council

According to the Draft Comprehensive Plan Version 2 Ketchum Planning and Zoning Commission Recommendation:

"10a. Revise the Medium Density Residential Land Use Category use descriptions (page #98) to read: a. "Primary Uses: small single-family homes, duplexes, townhomes, and smaller multi-family residential"

17. Revise the Future Land Use Map to reflect the following:d. Change the area outlined below to Medium Density Residential."

This area is the Sunshine Subdivision which consists of eight single family developed residential parcels dating back to the 1970s. This area is not conducive to high density. Please make this medium density with single family homes as a primary use. High density would have other primary uses which would render us non-conforming. That is not right. That is not acceptable.

Please be sure these recommendations become part of the final document and not "swept under the rug."

Thank you.

Luanne Mandeville
200 Four Seasons Way/Mid Warm Springs
Luanne@LuanneMandeville.com
208-720-4484

Dawn Hofheimer

From: susiemichael <susiemichael@cox.net>
Sent: Monday, August 4, 2025 11:10 AM
To: Participate
Subject: The Plan

Dear Council, Mayor, P & Z, staff,

The Comp Plan does not align with the vision of towns people of Ketchum. After three walk & talks in Warm Springs the City Hall representatives:

- hear but don't listen, it was difficult for them to reiterate accurately what they heard
- say no density change- a lie because, they give larger figures for number of units and people in the same physical space — that is density increase. you give us vaporware.
- continue to push their myopic, straight line agenda despite being told in plain language NO!
- made a definitive point to distance themselves from any accountability from how The Plan is written, their part in the process, that they do not make the decisions, that we are not having conversations or debates, but only gathering feedback.
- could not deliver studies they say they are basing there POV on. we received a link to a recording of a meeting in April but not the actual study on water which is what we asked for. manipulative behavior.
- shot down suggestions- 'we tried that, it didn't work'. maybe wrong people in charge to sway the mindset of certain residents.

Fact is, if the current code allows for the building we have recently seen manifest then the current code is not aligned with the vision residents of Ketchum hold for their home town. The redevelopment which is key to The Plan is what is killing Ketchum, because it is all about more growth, more, more bigger and more. To rebuild in form and with aesthetics of Ketchum character, including smaller size can also be redevelopment. Every building needn't have multi use. Keep it simple. Until recently most people were of like mind, had pride in their town, respect for the natural environment and all socioeconomic groups mingled pleasantly on a daily basis. A high quality of life was normal life naturally and easily. The 'us and them' line was far less demonstrative and gratitude prevailed for the 'extras' we had the opportunity to enjoy. Town functioned. That is our give and take. Not a destructive model.

The FLUM needs to be that of 2014. NO increased density anywhere. Work within the framework that will not continue to degrade our quality of life. We are not, as Morgan stated, 'Fundamentally opposed to change.' We are fundamentally opposed to dysfunction, constant construction, decimation of riparian, floodplain, wetlands, parking spaces, open space, mature trees, more people making a buck with their greed but not having a vested interest in the soul of town and complete loss of character and feel of Ketchum. Already there are too many people for sustainable and regenerative functionality.

We need conversation, con meaning with and versare meaning to turn. The Plan lacks a turning together to find visionary resolve to our challenges. Many people at the walk & talks had good ideas, invalidated City Hall POV logically and through lived observation and knowing, which seem to have little credence along side out of town consultants who really don't understand Ketchum, yet their POV prevails.

If there is any doubt as to why we do not trust our local government, are saddened and angry with the skewed interpretations City Hall has concluded please read and reread the letter submitted by Maya Burrell until you understand. It spells out much of what many us are in common agreement.

Everything is changing in big ways now all over the world. We can not rush in thinking we know what the future holds. We never do. Cycles and rhythms are the natural law. A slowed down more aligned path will save us from BIG mistakes we can never remedy. You can change code without adopting this Plan as it is. Time to start cooperating and collaborating as if we are all in this together. It takes a village. Where is our village? They are trying to do what's best all around; selling homes to friends at below market rate, renting to long time locals as always below market rate, not selling their home but choosing to rent to locals, to avoid their place being torn down and a much larger more dense building complex replacing it, helping and caring for each other, supporting local business, and expressing how we DO NOT like the path *YOU* are on sweeping us up with *YOU*.

The visionary process comes from grounded, calm awareness that opens us to allowing and receiving. We are programmed to receive. We can write The Plan together. Let's!

Ketchum Strong,
Susie Michael
Ketchum

Dawn Hofheimer

From: Michael Sinnott <mesinnott@gmail.com>
Sent: Monday, August 4, 2025 11:00 AM
To: Participate; Courtney Hamilton
Subject: Trail Creek bridge project

Hello

I am unable to attend tonight's meeting, but I wanted to voice my concerns regarding the Trail Creek Bridge project as highway 75 enters Ketchum from the south.

It is my understanding that the main decision is between turning the bridge into a 4 lane bridge, or keeping it at 2 lanes while adding a bike path. I think the overwhelmingly better decision for our valley is to make this a 4 lane bridge.

I live mid valley and have experienced a rollercoaster of traffic drama over the last few years. We have seen problems near buttercup, Ohio gulch, East fork, and now with the road construction. The common denominator is a narrowing of the road from 2 lanes to 1. Every time, it causes a massive backlog as cars must slowdown and carefully merge. In the case of Ohio Gulch, we saw the traffic problem solved in 48 hours once the single lane problem was identified and fixed.

I think it's fair to say the whole valley is tired of traffic problems. We are gritting our teeth and baring these long projects because we see light at the end of the tunnel. Some people have given up and quit jobs or left the valley. One of the goals of the road construction (it seems at least) has been to make 4 lanes for the length of the valley. If we clip that possibility right at the mouth of town, then what has been the point? It is shooting ourselves in the foot. It is a horrible, cruel, and disrespectful idea to everyone who has endured this traffic nightmare.

Don't get me wrong, I see the upside to a bike path. I have friends in the gem streets and have enjoyed the small existing walking path as we stroll to town. Like many others, I have begun biking more and more to come to Ketchum, and a bike lane on that bridge sounds convenient. But it is not worth the cost of destroying the flow of traffic.

We have other options.

- 1) add a separate pedestrian bridge
- 2) add a pedestrian route up S Leadville
- 3) make highway 75 from 2nd Ave to 4 Ave one way, with a corresponding one way headed south on second Ave
- 4) build a catapult to propel pedestrians over the water. This one is clearly silly, but the point is ANY idea is better than cutting that bridge down to one lane and backing up traffic for decades to come.

Thank you

Michael Sinnott

Dawn Hofheimer

From: Pierce Scranton <piercescranton@gmail.com>
Sent: Monday, August 4, 2025 7:32 AM
To: Participate
Subject: Consequences of adopting the new plan

1. Increased traffic on a two lane road. This will then lead to the necessity for stoplights at multiple intersections.
2. Increased runoff of road, exhaust and yard pollutants into Warm Springs Creek.
3. A wave of developers buying out larger lots to scrape the single home and cram in more residences.
4. Increased noise pollution from project after project with construction equipment, backhoes, cranes, construction crews, car doors slamming, hammering, etc.
5. An increase in street parking.
6. The loss of a sense of neighborhood
7. Wildlife effects: the elk that winter and calve in the Heidelberg/Adams gulch area will not tolerate the increased intrusion into their habitat. Nir the mule deer and Antelope tee see each year. The pollution WILL runoff into the creek and into the Big Wood
8. There are better-suited areas for higher density housing available right now.

Dawn Hofheimer

From: Tom Monge <tom@mongeinvestments.com>
Sent: Monday, August 4, 2025 10:45 AM
To: Participate
Subject: City Comprehensive Zoning Plan

We would like go on record to state our **DISAPPROVAL** of the current proposed City of Ketchum Comprehensive ZONING PLAN...

It has been very clear at all of your meetings, that the majority of the people in the City of Ketchum want NO PART of this proposed Comprehensive Plan and You all should VOTE NO on this proposed plan.

Respectfully ... Thomas R. and Cynthia P. Monge

Thomas R. Monge
Monge Family Trust
Monge Investments
P.O. Box 307
700 Sun Valley Road
Sun Valley, ID. 83353
Mobile – 208-720-0490
Office – 208-622-4100
Email: tom@mongeinvestments.com

Dawn Hofheimer

From: Monica Ray <monicaannetteray@gmail.com>
Sent: Monday, August 4, 2025 7:41 AM
To: Participate
Subject: Reclassifying Affordable Units in a Consent Agenda

Dear Mayor and City Council,

I am writing this letter in opposition to a consent agenda vote today on reclassifying Affordable Units. This vote will adversely impact many of our neighbors and does not provide a longterm sustainable solution to a situation created by BCHA. Instead, the solution must include full input from affordable unit owners and the community at large. BCHA proposed solutions do nothing to prevent this from happening to other affordable housing owners in the future. It is not reasonable to decide this in a Consent Agenda without full community discussion of these changes and allowing participants to be involved in crafting lasting solutions.

I respectfully request that you set aside voting regarding changing the category of this unit until you have given greater consideration to these issues.

Respectfully.

Monica Ray

Dawn Hofheimer

From: Anne Corrock <annecorrock@gmail.com>
Sent: Monday, August 4, 2025 10:32 AM
To: Neil Bradshaw; Amanda Breen; Spencer Cordovano; Courtney Hamilton; Tripp Hutchinson
Cc: Participate
Subject: 8/4 agenda item 11 - Comprehensive Plan Public Hearing
Attachments: CC letter 842025.pdf

August 4, 2025

Councilmembers,

The proposed 2025 comprehensive plan includes a Future Land Use Map (FLUM) which is the first step to the loss of the charm, authenticity and affordability of our established neighborhoods in Warm Springs and West Ketchum.

The FLUM is touted as the opportunity to create more density (residential units) with little or no effect on the character, infrastructure and safety of the existing neighborhoods.

My neighbors and I respectfully disagree.

The facts are:

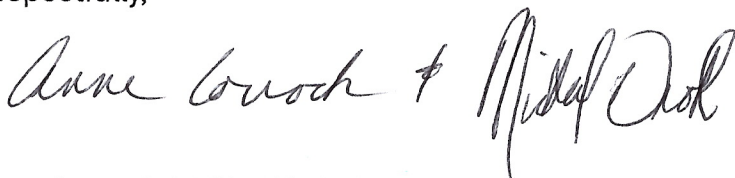
- The current land use designation is Low Density Residential (LDR) with the primary use being single family and duplex homes.
- The proposed 2025 land use designation is Medium Density Residential (MDR) with the primary use to be multi-family residential with an increased density of up to 113% and High Density Residential (HDR) with an increased density of up to 152%!
- Increased density is an impact on our infrastructure (roads, water, sewer etc.) and safety when emergency services are needed on the single access road of Warm Springs. And it is a taking of what most who chose Ketchum as their home or place to visit value most, our small-town rural charm, authenticity and quality of life.

Increasing development rights encourages development. Vacant land and redevelopment of older, small single family and duplex homes (what developers and planners see as underutilized land) with new, expensive multi-unit development will be the result of this MDR and HDR land designation. While the intent is to create new deed restricted housing, when the question of “how” is poised, the answer is “That will be determined when new zoning and building codes are written”. In other words, there is no guarantee of adding full-time residents to our neighborhoods.

Our neighborhoods are all about having full-time and working people live here. That is what we are. Many of the people living in these older, authentic, rustic neighborhoods are longtime residents. These homes rarely change ownership, but when they do, they are often sold and fixed up by young families and others who have outgrown the condo life. The price point is a stretch, but within reach. Without these older small residences, the next step is moving south. When these homes are gone Ketchum will have a huge gap in available housing options. The city should be working to retain them, not destroy them.

That is why we are strongly opposed to the 2025 Comprehensive Plan FLUM and request that the existing 2014 Comprehensive Plan FLUM is maintained.

Respectfully,

Handwritten signatures of Anne Corrock and Mike Wrobel in black ink.

Anne Corrock & Mike Wrobel