



**City of Ketchum  
Planning & Building**

IN RE: )  
 )  
Bigwood 3 Garages ) KETCHUM PLANNING & ZONING COMMISSION  
Design Review ) FINDINGS OF FACT, CONCLUSIONS OF LAW, AND  
Date: May 23, 2023 ) DECISION  
 )  
File Number: 21-036 )

**PROJECT:** Bigwood 3 Garages  
**APPLICATION TYPE:** Design Review  
**FILE NUMBER:** P21-036  
**ASSOCIATED APPLICATIONS:** Lot Line Shift (P21-036A)  
**REPRESENTATIVE:** Chad Blincoe, Blincoe Architecture (Architect)  
**OWNER:** Big Wood Condo #3 Owners  
**LOCATION:** 127 Saddle Road (Bigwood Condos #3 Common Area)  
**ZONING:** Tourist (T)  
**OVERLAY:** None

**RECORD OF PROCEEDINGS**

The City of Ketchum received the application for Design Review on March 18, 2021. On May 3, 2021, the Planning Department provided comments and requested revisions to the plan set. The applicant submitted revised plans on November 11, 2022. The Final Design Review application was deemed complete on April 27, 2023, after two reviews for completeness. Following receipt of the application, staff routed the application materials to all city departments for review. City Department comments were provided to the applicant on January 27, 2023. The applicant submitted a revised plan set on March 21, 2023, and a final plan set on April 27, 2023. A letter of completeness was sent to the applicant April 27, 2023. All department comments have been resolved or addressed through conditions of approval recommended below.

A public hearing notice for the project was mailed to all owners of property within 300 feet of the project site and all political subdivisions on May 2, 2023. The public hearing notice was published in the Idaho Mountain Express on May 2, 2023. A notice was published on the project site and on the city website on May 16, 2023. Story poles were documented on the project site as of May 16, 2023.

The Planning and Zoning Commission considered the Bigwood 3 Garages Design Review application (File No. 21-036) during their regular meeting on May 23, 2023. After considering Staff’s analysis, the applicant’s presentation, and public comment, the Planning & Zoning Commission approved the Design Review application (File No. P21-036).

**FINDINGS OF FACT**

The Planning & Zoning Commission, having reviewed the entire project record, provided notice, and conducted the required public hearing, does hereby make, and set forth these Findings of Fact, Conclusions of Law, and Decision as follows:

**BACKGROUND**

The applicant is proposing to construct three new garage and carport structures to add a total of 14 covered parking spaces (the “project”), located in the Bigwood Condos #3 Common Area (127 Saddle Road). The structure entitled “Garage 1” on the project plans is 1,238 square feet, “Garage 2” is 2,672 square feet, and “Garage 3” is 2,112 square feet in size. There are 51 parking spaces existing onsite and only one parking space will be lost with the new parking structures and parking configuration. The subject property is zoned Tourist (T) and the common area on the lot is currently utilized as a paved parking lot.

**FINDINGS REGARDING COMPLIANCE WITH ZONING CODE AND DIMENSIONAL STANDARDS**

Ketchum Municipal Code Standards and Staff Comments				
Yes	No	N/A	KMC §	Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	<b>Minimum Lot Area and Lot Width</b>
			Staff Comments	<p><b>Required:</b> Minimum lot area of 8,000 square feet, minimum lot width average of 80 feet</p> <p><b>Existing:</b>            Lot Area – 114,450 square feet per topographic survey submitted with project plans            Lot Width – approximately 458 feet along the front property line on Saddle Road and approximately 508 feet along the side property line on Spur Lane</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	<b>Lot Coverage</b>
			Staff Comments	<p><b>Permitted Gross FAR: 0.5</b></p> <p><b>Proposed:</b>            Total Lot Area – 114,450 square feet            Existing Floor Area Ratio – .27 (30,870 square feet)            Proposed Floor Area Ratio – .32 (36,887 square feet)</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	<b>Minimum Building Setbacks</b>

			<b>Staff Comments</b>	<p><b>Permitted:</b>  Front (Saddle Road/north): 15 feet  Side (Spur Lane/east and west): The greater of 1' for every 3' in building height, or 5'. At least 10' for one-family dwellings <sup>1</sup>  Rear (south): The greater of 1' for every 3' in building height, or 10'. At least 15' for one-family dwellings <sup>1,2</sup></p> <p>Building height: Garage 1 is 19' in height (required setback is 6.33), Garage 2 is 18' in height (required setback is 6), and Garage 3 is 18'-6" in height (required setback is 6.2).</p> <p><b>Proposed:</b>  Front (Saddle Road/north): 16'-8"  Side (Spur Lane/east): 10'  Side (west): 24'-9" (no change)  Rear (south): 37'-1" (no change)</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.12.030</b>	<b>Building Height</b>
			<b>Staff Comments</b>	<p><b>Permitted:</b> 35 feet  Height of building: The greatest vertical distance measured at any point from the roof to natural, existing, or finished grade, whichever is lowest. The maximum vertical distance from the lowest exposed finished floor to the highest point of the roof (regardless of vertical alignment) shall be no more than five feet greater than the maximum height permitted in the zoning district (see illustration B on file in the office of the City Clerk). No facade shall be greater than the maximum height permitted in the zoning district. (See definition of "facade" in this section and illustration B on file in the office of the City Clerk.) Facades which step up or down hillsides shall be set back from the lower facade a minimum of 50 percent of the height of the lower facade; except, that roof overhangs may extend up to three feet into this area (see illustration B on file in the office of the City Clerk). This building height provision shall apply to parapets, Boston roofs and any other portion of a building roof, but shall not apply to flagpoles, lightning rods, weather vanes, antennas or chimneys.</p> <p><b>Proposed:</b>  The total building height for the garage/carport structures from existing grade to the top of the roof are as follows:  - Garage 1 = 19'  - Garage 2 = 18'  - Garage 3 = 18'-6"</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.125.03.H</b>	<b>Curb Cut</b>
			<b>Staff Comments</b>	<p><b>Permitted:</b>  A maximum of thirty five percent (35%) of the linear footage of any street frontage may be devoted to access off street parking.</p> <p><b>Proposed:</b> The street frontage for the Bigwood 3 Condominiums is Saddle Road but the development can also be accessed from Spur Lane. Both the Saddle Road curb cut (32') and the Spur Lane curb cut (25') are existing and no changes are proposed.</p>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.125.040</b>	<b>Parking Spaces</b>
			<b>Staff Comments</b>	<p><b>Required:</b> Multi-family dwelling units within the Tourist (T) Zone District: Units up to Units 750 square feet or less require 0 parking spaces Units 751 square feet to 2,000 square feet require 1 parking space Units 2,001 square feet and above require 2 parking spaces</p> <p>Parking for the project is existing, with 51 spaces onsite. There are 27 units on the subject property, all of which are less than 2,000 square feet in size, therefore 27 parking spaces are required.</p> <p><b>Proposed:</b> The project is proposing a total of 50 parking spaces, of which 30 parking spaces are marked and uncovered spaces (including 3 ADA spaces with access aisles), 14 carport parking spaces, and 6 garage parking spaces.</p>

**FINDINGS REGARDING COMPLIANCE WITH DESIGN REVIEW STANDARDS**

Improvements and Standards (KMC §17.96.060)				
Yes	No	N/A	KMC §	Standards and Findings
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.96.060.A1 Streets</b>	<b>The applicant shall be responsible for all costs associated with providing a connection from an existing city street to their development.</b>
			<i>Commission Findings</i>	The project has existing connections from city streets to the condominium development. The project is proposing to remove the two existing access points and add a new access point from the internal drive to the Building D parking lot. The applicant is responsible for all costs associated with the proposed change in access to Building D from the internal drive.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.96.060.A2 Streets</b>	<b>All street designs shall be approved by the City Engineer.</b>
			<i>Commission Findings</i>	No new streets are proposed for the project.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.B1 Sidewalks</b>	<b>All projects under 17.96.010(A) that qualify as a “Substantial Improvement” shall install sidewalks as required by the Public Works Department.</b>
			<i>Commission Findings</i>	KMC 17.124.140 outlines the zone districts where sidewalks are required when substantial improvements are made, which include the CC, all tourist zone districts, and all light industrial districts. The subject property is within the T Zone District; however, this project does not qualify as a substantial improvement therefore sidewalks are not required to be installed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.96.060.B2 Sidewalks</b>	<b>Sidewalk width shall conform to the City’s right-of-way standards, however the City Engineer may reduce or increase the sidewalk width and design standard requirements at their discretion.</b>
			<i>Commission Findings</i>	This standard is not applicable as sidewalks are not required for the project.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.96.060.B3 Sidewalks</b>	<b>Sidewalks may be waived if one of the following criteria is met:</b>



				<p>a. The project comprises an addition of less than 250 square feet of conditioned space.</p> <p>b. The City Engineer finds that sidewalks are not necessary because of existing geographic limitations, pedestrian traffic on the street does not warrant a sidewalk, or if a sidewalk would not be beneficial to the general welfare and safety of the public.</p>
			<i>Commission Findings</i>	This standard is not applicable as sidewalks are not required for the project.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.96.060.B4 Sidewalks</b>	<b>The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.</b>
			<i>Commission Findings</i>	This standard is not applicable as sidewalks are not required for the project.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.96.060.B5 Sidewalks</b>	<b>New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.</b>
			<i>Commission Findings</i>	This standard is not applicable as sidewalks are not required for the project.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.96.060.B6 Sidewalks</b>	<b>The City may approve and accept voluntary cash contributions in-lieu of the above described improvements, which contributions must be segregated by the City and not used for any purpose other than the provision of these improvements. The contribution amount shall be one hundred ten percent (110%) of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the City Engineer. Any approved in-lieu contribution shall be paid before the City issues a certificate of occupancy.</b>
			<i>Commission Findings</i>	This standard is not applicable as sidewalks are not required for the project.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.C1 Drainage</b>	<b>All storm water shall be retained on site.</b>
			<i>Commission Findings</i>	Stormwater management was reviewed for the entire site during department review. The preliminary grading plan shows all stormwater being retained on site. The City Engineer will review the final grading and drainage plan at the time of building permit review.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.C2 Drainage</b>	<b>Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.</b>
			<i>Commission Findings</i>	Drainage improvements have been designed for the full length of the property along Saddle Road and Spur Lane as shown in the project plans.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.C3 Drainage</b>	<b>The City Engineer may require additional drainage improvements as necessary, depending on the unique characteristics of a site.</b>
			<i>Commission Findings</i>	During department review, the Streets Department identified potential drainage improvements to manage the runoff to the rear of the proposed structures. These improvements will be finalized during the building permit review process to ensure drainage of the surrounding area is properly managed.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.C4 Drainage</b>	<b>Drainage facilities shall be constructed per City standards.</b>

			<i>Commission Findings</i>	The proposed drainage improvements are designed to meet city standards. Final design will be reviewed and approved by the City Engineer prior to issuance of a building permit.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.96.060.D1 Utilities</b>	<b>All utilities necessary for the development shall be improved and installed at the sole expense of the applicant.</b>
			<i>Commission Findings</i>	All utilities for the development are existing and no changes are proposed. Any utilities that would be installed would be at the sole expense of the applicant.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.96.060.D2 Utilities</b>	<b>Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view.</b>
			<i>Commission Findings</i>	All utilities for the development are existing and no changes are proposed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.96.060.D3 Utilities</b>	<b>When extension of utilities is necessary all developers will be required to pay for and install two (2") inch SDR11 fiber optical conduit. The placement and construction of the fiber optical conduit shall be done in accordance with city of Ketchum standards and at the discretion of the City Engineer.</b>
			<i>Commission Findings</i>	Extension of utilities is not required for the project; therefore, this standard does not apply.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.E1 Compatibility of Design</b>	<b>The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures.</b>
			<i>Commission Findings</i>	The project proposes three garage/carport structures with asphalt shingle shed roofs, charcoal gray metal fascia, and a mix of light gray board and batt and brown decorative block siding. The project design and materials were intentionally chosen to match the existing condominiums on the subject property.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.96.060.E2 Compatibility of Design</b>	<b>Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.</b>
			<i>Commission Findings</i>	The subject property does not include significant landmarks; therefore, this standard does not apply.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.96.060.E3 Compatibility of Design</b>	<b>Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to.</b>
			<i>Commission Findings</i>	The proposed project does not include an addition to an existing building; therefore, this standard does not apply.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.F1 Architectural</b>	<b>Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined.</b>
			<i>Commission Findings</i>	The condominiums have existing pathways from the buildings to the parking lot via walkways. As discussed above, sidewalks are not required.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.F2 Architectural</b>	<b>The building character shall be clearly defined by use of architectural features.</b>
			<i>Commission Findings</i>	The proposed garage/carport structures were intentionally designed to match the architectural style of the existing condominiums onsite.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.F3 Architectural</b>	<b>There shall be continuity of materials, colors and signing within the project.</b>
			<i>Commission Findings</i>	The project proposes a consistent use of materials including light gray board and batt siding, brown decorative block siding, and charcoal gray metal fascias.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.F4 Architectural</b>	<b>Accessory structures, fences, walls and landscape features within the project shall match or complement the principal building.</b>
			<i>Commission Findings</i>	The project proposes a dry-stack rock retaining wall to the rear of the garage/carport structures. The rock material will complement the brown and gray earth tones of the existing primary buildings onsite.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.F5 Architectural</b>	<b>Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.</b>
			<i>Commission Findings</i>	Each new garage/carport structure is different in size and incorporates differing ratios of garages and carports. The structures utilize shed roofs with varying heights and a skirt roof element over the garage doors to reduce the perceived bulk and mass of the structure.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.F6 Architectural</b>	<b>Building(s) shall orient towards their primary street frontage.</b>
			<i>Commission Findings</i>	The condominiums are existing and are accessed from the developments' frontage off Saddle Road via an internal drive.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.F7 Architectural</b>	<b>Garbage storage areas and satellite receivers shall be screened from public view and located off alleys.</b>
			<i>Commission Findings</i>	Garbage will be stored within the existing garage enclosure onsite, and no satellite receivers are anticipated.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.F8 Architectural</b>	<b>Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties.</b>
			<i>Commission Findings</i>	The project plans do not indicate snow retention devices on the roofs of the garage/carport structures. Therefore, staff recommended condition of approval #5 to ensure snow retention devices are installed on each new structure.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.G1 Circulation Design</b>	<b>Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.</b>
			<i>Commission Findings</i>	The development has existing access to Saddle Road and Spur Lane. As both Saddle Road and Spur Lane are considered local streets, all pedestrian, equestrian and bicycle movements are contained within the street. There are no easements or pathways in the area requiring connectivity to the project.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.96.060.G2 Circulation Design</b>	<b>Awnings extending over public sidewalks shall extend five (5') feet or more across the public sidewalk but shall not extend within two (2') feet of parking or travel lanes within the right of way.</b>
			<i>Commission Findings</i>	The project does not propose any building feature encroachments into the right-of-way.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.G3 Circulation Design</b>	<b>Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage.</b>
			<i>Commission Findings</i>	Sidewalks are not required for this project. The site improvements have been reviewed by the City Engineer. Final review of all improvements will be completed prior to issuance of a building permit for this project.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.G4</b>	<b>Curb cuts and driveway entrances shall be no closer than twenty (20') feet to the nearest intersection of two or more streets, as measured along the property line</b>

			<b>Circulation Design</b>	adjacent to the right of way. Due to site conditions or current/projected traffic levels or speed, the City Engineer may increase the minimum distance requirements.
			<i>Commission Findings</i>	The development has existing curb cuts on Saddle Road and Spur Lane and no changes are proposed.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.G5 Circulation Design</b>	<b>Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project.</b>
			<i>Commission Findings</i>	Access for emergency vehicles, snowplows, and delivery vehicles is from Saddle Road and Spur Lane. Building D of the complex has two access points existing; both are proposed to be removed and one new access is to be added from the internal drive. In conversations with the applicant and the Fire Department, the new access to Building D from the internal drive is compliant with Fire Code emergency vehicle access requirements by providing a 26-foot-wide and 150-foot-long access road, which is demonstrated on Sheet L1 of the project plans.  Garbage trucks do not service the Bigwood 3 Condominiums. In a letter from the Board of Directors, it was confirmed that the Bigwood 3 Homeowners Association disposes of its own trash and that they will continue to do so. Further, the letter stated that the new parking layout and parking structures will have no impact on the association's handling of trash.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.H1 Snow Storage</b>	<b>Snow storage areas shall not be less than thirty percent (30%) of the improved parking and pedestrian circulation areas.</b>
			<i>Commission Findings</i>	There is a total of 836 linear feet of improved parking and pedestrian areas, requiring 2,280 square feet of snow storage. The project proposes a total of 12,700 square feet of snow storage onsite.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.H2 Snow Storage</b>	<b>Snow storage areas shall be provided on-site.</b>
			<i>Commission Findings</i>	As shown in the project plans, all snow storage is provided on-site.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.H3 Snow Storage</b>	<b>A designated snow storage area shall not have any dimension less than five (5') feet and shall be a minimum of twenty-five (25) square feet.</b>
			<i>Commission Findings</i>	As shown in the project plans, the snow storage areas onsite meet these dimensional requirements.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.96.060.H4 Snow Storage</b>	<b>In lieu of providing snow storage areas, snow melt and hauling of snow may be allowed.</b>
			<i>Commission Findings</i>	Snow storage is being provided, therefore no snowmelt or hauling of snow will be required.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.I1 Landscaping</b>	<b>Landscaping is required for all projects.</b>
			<i>Commission Findings</i>	Landscaping exists onsite; however, the project plans include a landscape plan for the new landscaping to be added to the site.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.I2 Landscaping</b>	<b>Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape.</b>
			<i>Commission Findings</i>	Proposed plant materials are drought tolerant and are consistent with landscaping of surrounding properties within the neighborhood.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.I3 Landscaping</b>	<b>All trees, shrubs, grasses and perennials shall be drought tolerant. Native species are recommended but not required.</b>
			<i>Commission Findings</i>	All proposed plant materials are drought tolerant.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060.I4 Landscaping</b>	<b>Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged.</b>
			<i>Commission Findings</i>	The garage/carport structures for Building D and Building E are buffered by the hillside and existing landscaping along Saddle Road. The garage/carport structure for Building F will be buffered by new landscaping which includes lilac bushes along the rear of the structure on Spur Lane.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.96.060.J1 Public Amenities</b>	<b>Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All public amenities shall receive approval from the Public Works Department prior to design review approval from the Commission.</b>
			<i>Commission Findings</i>	This standard is not applicable as sidewalks are not required.

### CONCLUSIONS OF LAW

1. The City of Ketchum is a municipal corporation established in accordance with Article XII of the Constitution of the State of Idaho and Title 50 Idaho Code and is required and has exercised its authority pursuant to the Local Land Use Planning Act codified at Chapter 65 of Title 67 Idaho Code and pursuant to Chapters 3, 9 and 13 of Title 50 Idaho Code to enact the ordinances and regulations, which ordinances are codified in the Ketchum Municipal Code ("KMC") and are identified in the Findings of Fact and which are herein restated as Conclusions of Law by this reference and which City Ordinances govern the applicant's Design Review application for the development and use of the project site.
2. The Commission has authority to hear the applicant's Design Review Application pursuant to Chapter 17.96 of Ketchum Municipal Code Title 17.
3. The City of Ketchum Planning Department provided notice for the review of this application in accordance with Ketchum Municipal Code §17.96.080.
4. The Design Review application is governed under Ketchum Municipal Code Chapters 17.96, 17.124, 17.08, 17.12, 17.18, and 17.128.

5. The Bigwood 3 Garages Design Review application meets all applicable standards specified in Title 17 of Ketchum Municipal Code.

### DECISION

**THEREFORE**, the Commission **approves** this Design Review Application File No. P21-036 this Tuesday, May 23, 2023, subject to the following conditions of approval.

### CONDITIONS OF APPROVAL

1. This Design Review approval is based on the architectural plan set dated April 26, 2023, included as Exhibit A to these findings. Building Permit Plans must conform to the approved Design Review plans unless otherwise approved in writing by the Commission or the Planning and Zoning Administrator. Any building or site discrepancies which do not conform to the approved plans will be subject to removal.
2. Final civil drawings prepared by an engineer registered in the State of Idaho which include specifications for right-of-way, utilities, and drainage improvements shall be submitted for review and approval by the City Engineer, Streets, and Utilities departments prior to issuance of a building permit for the project.
3. The term of Design Review approval shall be twelve (12) months from the date that the Findings of Fact, Conclusions of Law, and Decision are adopted by the Commission or upon appeal, the date the approval is granted by the Council subject to changes in zoning regulations.
4. In addition to the requirements set forth in this Design Review approval, this project shall comply with all applicable local, state, and federal laws.
5. The applicant shall install snow retention devices on the roof of each garage/carport structure.

Findings of Fact **adopted** this 23<sup>rd</sup> day of May 2023.

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Neil Morrow, Chair  
City of Ketchum  
Planning and Zoning Commission



City of Ketchum

# Exhibit A: Design Review Plan Set



# BIGWOOD III GARAGES

MARCH 21st, 2023  
BIGWOOD CONDOMINIUM 3  
127 SADDLE RD, KETCHUM ID 83340

<p style="text-align: center;"><b>PROJECT TEAM</b></p> <p><b>ARCHITECT:</b> <b>Blincoe Architecture</b> POST OFFICE BOX 4424 KETCHUM, IDAHO 83340 (208) 720-1925</p> <p><b>STRUCTURAL ENGINEER:</b> <b>Konrad &amp; Stohler Structural Engineering</b> 614 S. MAIN BELLEVUE, IDAHO 83713 (208) 928-7810</p> <p><b>LANDSCAPE ARCHITECT:</b> <b>Eggers Associates, P.A.</b> P.O. BOX 953 KETCHUM, ID 83340 (208) 725-0988</p> <p><b>CIVIL/SURVEYOR:</b> <b>Alpine Enterprises Inc.</b> 250 RIVER ST. E KETCHUM, ID 83340 (208) 727-1988</p>	<p style="text-align: center;"><b>GENERAL NOTES:</b></p> <p>NOTE: 1. CONTRACTOR TO VERIFY ALL CONDITIONS AND DIMENSIONS AT SITE. ALL INCONSISTENCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH WORK. 2. ANY ERRORS OR OMISSIONS FOUND IN THESE DRAWINGS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY. 3. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. 4. ALL DIMENSIONS ARE TO FACE OF STUD OR TO FACE OF FRAMING UNLESS OTHERWISE NOTED. 5. ALL CONSTRUCTION MUST MEET OR EXCEED ALL LOCAL AND NATIONAL GOVERNING CODES AND ORDINANCES. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR SECURING AN AUTHORIZED BUILDING PERMIT AND NOTIFYING THE CITY OF KETCHUM DEPARTMENT, STATE ELECTRICAL, MECHANICAL, AND PLUMBING INSPECTORS FOR APPROPRIATE SITE INSPECTIONS. 6. THE CONTRACTOR IS TO COORDINATE WORK TO MINIMIZE CONFLICTS WITH EXISTING LANDSCAPING TO PREVENT DAMAGE. 7. THE CONTRACTOR IS TO COORDINATE DISPOSAL OF EXISTING WASTE, APPLICATION MATERIAL, AND TRASH. ALL MATERIAL MUST BE DISPOSED OF IN A SAFE AND PROFESSIONAL MANNER. 8. THE UNDERTAKING OF PERIODIC SITE VISITS BY THE ARCHITECT SHALL NOT BE CONSIDERED AS SUPERVISION OF ACTUAL CONSTRUCTION, NOR MAKE HIM RESPONSIBLE FOR PROVIDING A SAFE PLACE FOR THE PERFORMANCE OF WORK BY THE CONTRACTOR, SUBCONTRACTORS, SUPPLIERS, OR THEIR EMPLOYEES. 9. THE ARCHITECT HAS NOT BEEN COMPENSATED OR RETAINED TO PROVIDE DETAILING FOR WATERPROOFING AND ENVELOPE PENETRATIONS. 10. ANY DEFERRED ITEMS ARE THE RESPONSIBILITY OF THE OWNER &amp; GENERAL CONTRACTOR TO PROVIDE SPECIFICATIONS &amp; DOCUMENTATION NEEDED FOR CONSTRUCTION. THE DOCUMENTS PROVIDED ARE BASED ON LIMITED ARCHITECTURAL SERVICE.</p>	<p style="text-align: center;"><b>CODE COMPLIANCE:</b></p> <p>1. MECHANICAL SYSTEMS AND VENTING TO REFLECT COMPLIANCE W/ THE 2018 INTERNATIONAL BUILDING CODE, 2018 INTERNATIONAL ENERGY CONSERVATION CODE, AND 2018 INTERNATIONAL MECHANICAL CODE. 2. PLUMBING VENTING TO REFLECT COMPLIANCE W/ 2018 INTERNATIONAL BUILDING CODE AND 2018 INTERNATIONAL ENERGY CONSERVATION CODE. 3. ALL ELECTRICAL SHALL CONFORM TO 2018 INTERNATIONAL BUILDING CODE, 2018 INTERNATIONAL ENERGY CONSERVATION CODE, AND 2017 NFPA 70</p> <p>ROOFING: * ALL ROOFING SHALL COMPLY WITH CHAPTER 15 OF THE 2018 INTERNATIONAL BUILDING CODE.</p> <p>BUILDING ENVELOPE: * SHALL COMPLY WITH SECTION 402 OF THE 2018 INTERNATIONAL ENERGY CONSERVATION CODE.</p> <p>LIGHTING EQUIPMENT: * SHALL COMPLY WITH SECTION 404.1 OF THE 2018 INTERNATIONAL ENERGY CONSERVATION CODE.</p> <p>ATTIC ACCESS: * SHALL COMPLY WITH SECTION 402.2.3 OF THE 2018 INTERNATIONAL ENERGY CONSERVATION CODE.</p> <p>GLASS AND GLAZING: * SHALL COMPLY WITH CHAPTER 24 OF THE 2018 INTERNATIONAL BUILDING CODE.</p>	<p style="text-align: center;"><b>SHEET INDEX</b></p> <p>CS COVER SHEET</p> <p>C1 PRELIMINARY PLAT</p> <p>EC EXISTING SITE CONDITIONS</p> <p>L1 SITE PLAN</p> <p>L2 GRADING PLAN</p> <p>L3 LANDSCAPE PLAN</p> <p>A-0 CONSTRUCTION MANAGEMENT PLAN</p> <p>A-1 GARAGE 1 - FLOOR PLAN/SECTIONS/EXTERIOR PERSPECTIVE</p> <p>A-2 GARAGE 1 - EXTERIOR ELEVATIONS</p> <p>A-3 GARAGE 2 - FLOOR PLAN/EXTERIOR PERSPECTIVE</p> <p>A-4 GARAGE 2 - EXTERIOR ELEVATIONS</p> <p>A-5 GARAGE 2 - EXTERIOR ELEVATIONS/SECTIONS</p> <p>A-6 GARAGE 3 - FLOOR PLAN/EXTERIOR PERSPECTIVE</p> <p>A-7 GARAGE 3 - EXTERIOR ELEVATIONS</p> <p>A-8 GARAGE 3 - EXTERIOR ELEVATIONS/SECTIONS</p> <p>A-9 MATERIAL BOARD</p>																																													
<p style="text-align: center;"><b>ARCHITECTURAL SYMBOLS</b></p> <p>INTERIOR ELEVATION CALL OUT: </p> <p>SECTION REFERENCE: </p> <p>DETAIL REFERENCE: </p> <p>INTERIOR ELEVATION KEY: </p> <p>ELEVATION CALL OUT: </p> <p>NORTH ARROW: </p> <p>ROOM NUMBER: </p> <p>DOOR REFERENCE: </p> <p>WINDOW REFERENCE: </p> <p>REVISION REFERENCE: </p>	<p style="text-align: center;"><b>BUILDING DATA</b></p> <p>OCCUPANCY : U</p> <p>CONSTRUCTION TYPE : II-B UNPROTECTED WOOD FRAME</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>SQUARE FOOTAGE</th> <th>GARAGE 1</th> <th>SPACES</th> <th>AREA</th> </tr> </thead> <tbody> <tr> <td>CARPET</td> <td>2</td> <td></td> <td>611 #</td> </tr> <tr> <td>ENCLOSED GARAGE</td> <td>2</td> <td></td> <td>627 #</td> </tr> <tr> <td colspan="4"> </td> </tr> <tr> <th>SQUARE FOOTAGE</th> <th>GARAGE 2</th> <th>SPACES</th> <th>AREA</th> </tr> <tr> <td>CARPET</td> <td>6</td> <td></td> <td>1,760 #</td> </tr> <tr> <td>ENCLOSED GARAGE</td> <td>3</td> <td></td> <td>912 #</td> </tr> <tr> <td colspan="4"> </td> </tr> <tr> <th>SQUARE FOOTAGE</th> <th>GARAGE 3</th> <th>SPACES</th> <th>AREA</th> </tr> <tr> <td>CARPET</td> <td>6</td> <td></td> <td>1,792 #</td> </tr> <tr> <td>ENCLOSED GARAGE</td> <td>1</td> <td></td> <td>320 #</td> </tr> </tbody> </table> <p>EXISTING FAR : (E) GROSS FA 30,870 SQ FT / LOT AREA 114,450 SQ FT = .27 FAR</p> <p>PROPOSED FAR : (N) GROSS FA 36,887 SQ FT / LOT AREA 114,450 SQ FT = .32 FAR</p> <p>LOT COVERAGE : 21.5% (EXISTING), 27% (NEW)</p> <p>OPEN SPACE AREA : 78.5% (EXISTING), 73% (NEW)</p> <p>PROPERTY AREA : +/- 2.63 ACRE (+/- 114,450 SQ FT)</p> <p>BUILDING CODE : 2018 INTERNATIONAL BUILDING CODE AS ADOPTED BY THE CITY OF KETCHUM</p> <p>PROPERTY AREA : +/- 2.63 ACRE (+/- 114,450 SQ FT)</p> <p>BUILDING CODE : 2018 INTERNATIONAL FIRE CODE AS ADOPTED BY THE CITY OF KETCHUM</p> <p>PROPERTY AREA : +/- 2.63 ACRE (+/- 114,450 SQ FT)</p> <p>BUILDING CODE : 2018 INTERNATIONAL ENERGY CONSERVATION CODE AS ADOPTED BY THE CITY OF KETCHUM</p> <p>ZONING : T</p> <p>PHYSICAL ADDRESS : 127 SADDLE ROAD</p> <p>LEGAL DESCRIPTION : BIGWOOD #3 COMMON AREA</p> <p>PARCEL NUMBER : RPK07150000000</p> <p>CITY OF KETCHUM BUILDING DEPARTMENT.</p> <p>CITY OF KETCHUM FIRE DEPARTMENT</p>	SQUARE FOOTAGE	GARAGE 1	SPACES	AREA	CARPET	2		611 #	ENCLOSED GARAGE	2		627 #					SQUARE FOOTAGE	GARAGE 2	SPACES	AREA	CARPET	6		1,760 #	ENCLOSED GARAGE	3		912 #					SQUARE FOOTAGE	GARAGE 3	SPACES	AREA	CARPET	6		1,792 #	ENCLOSED GARAGE	1		320 #	<p style="text-align: center;"><b>ENERGY REPORT</b></p>	<p style="text-align: center;"><b>VICINITY MAP</b></p> <p style="text-align: center;"><b>SITE</b></p>	<p style="text-align: center;"><b>NEIGHBORHOOD MAP</b></p> <p style="text-align: center;"><b>PROJECT LOCATION</b></p>
SQUARE FOOTAGE	GARAGE 1	SPACES	AREA																																													
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<p style="text-align: center;"><b>DESIGN REVIEW SET - UPDATED</b></p> <p style="text-align: center;"><b>NOT FOR CONSTRUCTION</b></p>		<p style="text-align: center;"><b>BIGWOOD III GARAGES</b></p> <p style="text-align: center;">BIGWOOD CONDOMINIUM III</p> <p style="text-align: center;">127 SADDLE RD, KETCHUM ID 83340</p>																																														

www.BlincoeArchitecture.com

**Blincoe Architecture**

UPSI/REGEC  
P.O. Box 4424  
Ketchum, Idaho 83340  
Tel: 208-720-1925  
Email: info@blincoearchitecture.com

BA

LICENSED ARCHITECT  
AR 984802

CHAD E. BLINCOE  
STATE OF IDAHO

**DESIGN REVIEW SET - UPDATED**

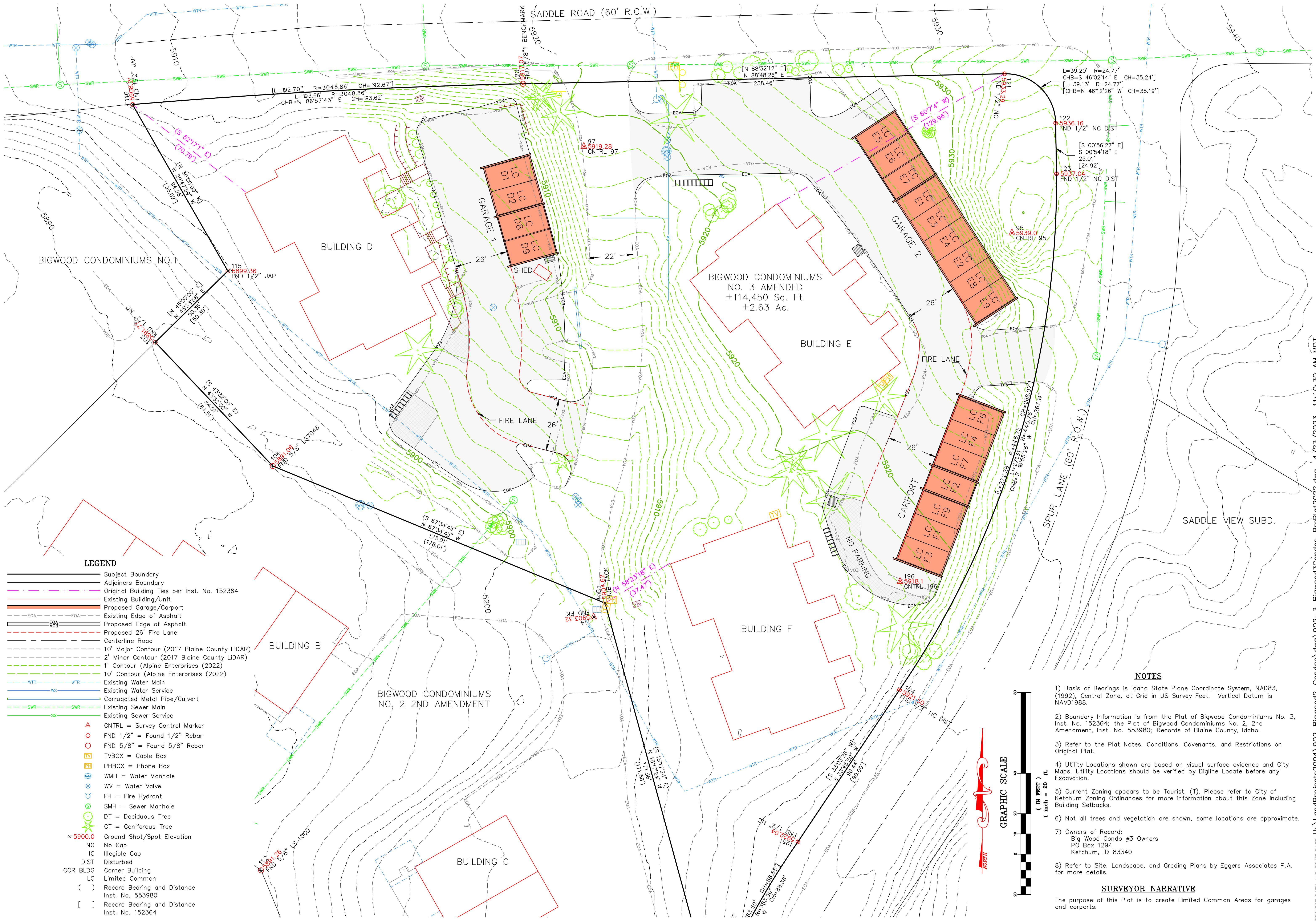
**NOT FOR CONSTRUCTION**

JOB #:	01121
PLOT DATE:	3/21/23
DESIGN REVIEW:	11/8/22
PERMIT:	
CONSTRUCTION:	
REVISIONS:	
△	
△	
△	
△	
△	
△	

**CS**

OWNERSHIP OF DOCUMENTS: This Drawing and specifications are instruments of service and are the property of the Architect, Blincoe Architecture and is not to be used, in whole or in part, for any other project without written authorization.



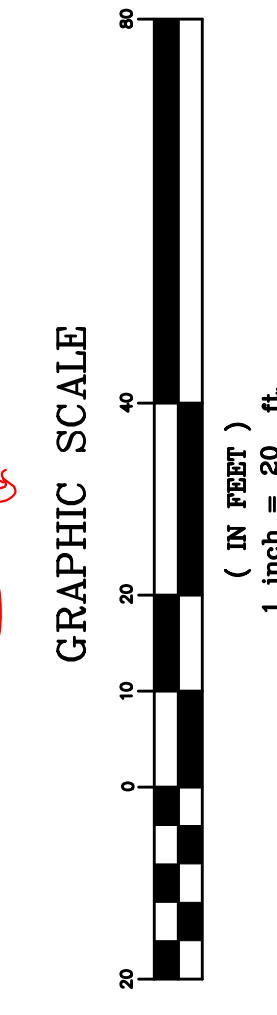


**LEGEND**

- Subject Boundary
- Adjainers Boundary
- Original Building Ties per Inst. No. 152364
- Existing Building/Unit
- Proposed Garage/Carport
- Existing Edge of Asphalt
- Proposed Edge of Asphalt
- Proposed 26' Fire Lane
- Centerline Road
- 10' Major Contour (2017 Blaine County LIDAR)
- 2' Minor Contour (2017 Blaine County LIDAR)
- 1' Contour (Alpine Enterprises (2022))
- 10' Contour (Alpine Enterprises (2022))
- Existing Water Main
- Existing Water Service
- Corrugated Metal Pipe/Culvert
- Existing Sewer Main
- Existing Sewer Service
- ▲ CNTRL = Survey Control Marker
- FND 1/2" = Found 1/2" Rebar
- FND 5/8" = Found 5/8" Rebar
- TV TVBOX = Cable Box
- PH PHBOX = Phone Box
- WMH WMH = Water Manhole
- WV WV = Water Valve
- FH FH = Fire Hydrant
- SMH SMH = Sewer Manhole
- DT DT = Deciduous Tree
- CT CT = Coniferous Tree
- x 5900.0 Ground Shot/Spot Elevation
- NC No Cap
- IC Illegible Cap
- DIST Disturbed
- COR BLDG Corner Building
- LC Limited Common
- ( ) Record Bearing and Distance  
Inst. No. 553980
- [ ] Record Bearing and Distance  
Inst. No. 152364

**NOTES**

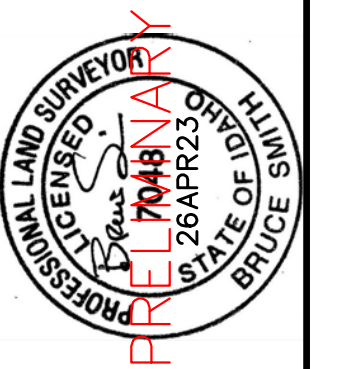
- 1) Basis of Bearings is Idaho State Plane Coordinate System, NAD83, (1992), Central Zone, at Grid in US Survey Feet. Vertical Datum is NAVD1988.
- 2) Boundary Information is from the Plat of Bigwood Condominiums No. 3, Inst. No. 152364; the Plat of Bigwood Condominiums No. 2, 2nd Amendment, Inst. No. 553980; Records of Blaine County, Idaho.
- 3) Refer to the Plat Notes, Conditions, Covenants, and Restrictions on Original Plat.
- 4) Utility Locations shown are based on visual surface evidence and City Maps. Utility Locations should be verified by Digline Locate before any Excavation.
- 5) Current Zoning appears to be Tourist, (T). Please refer to City of Ketchum Zoning Ordinances for more information about this Zone including Building Setbacks.
- 6) Not all trees and vegetation are shown, some locations are approximate.
- 7) Owners of Record:  
Big Wood Condo #3 Owners  
PO Box 1294  
Ketchum, ID 83340
- 8) Refer to Site, Landscape, and Grading Plans by Eggers Associates P.A. for more details.



**SURVEYOR NARRATIVE**

The purpose of this Plat is to create Limited Common Areas for garages and carports.

PROJECT PATH AND PRINT DATE: U:\LandProjects\2004\902\_Bigwood2\_Condos\_PrePlat2022.dwg 4/23/2023 11:10:30 AM MDT



REVISIONS	NO	DATE	BY
UPDATED PROPOSED EOA & FIRE LANE	1	02MAR23	BRB
REVISED	2	26APR23	AHN

A PRELIMINARY PLAT SHOWING  
**BIGWOOD CONDOMINIUMS NO. 3 AMENDED**  
 WITHIN S.7, T.4N., R.18E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO  
 PREPARED FOR BIG WOOD CONDO OWNERS NO. 3

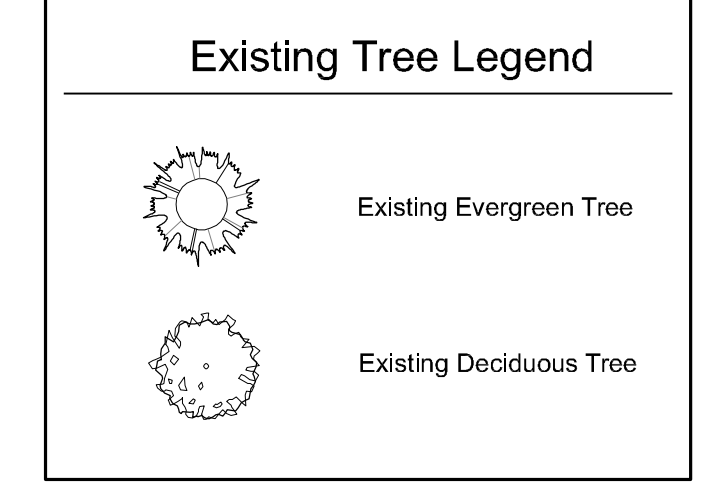
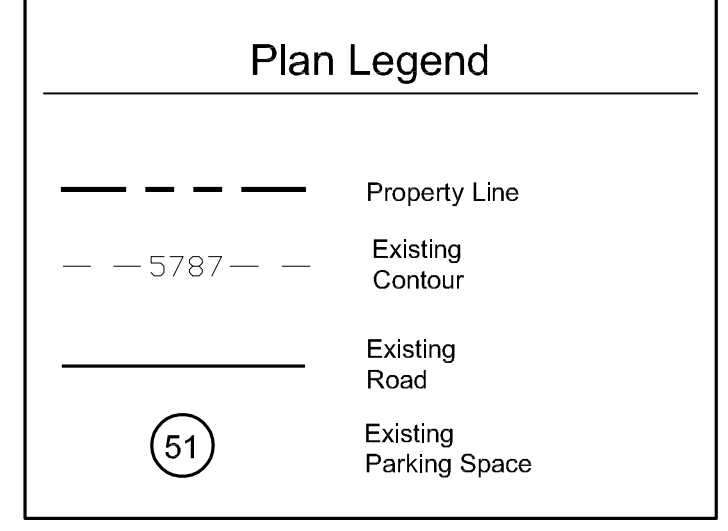
Alpine Enterprises Inc.  
 Surveying, Mapping, Civil Engineering,  
 and Natural Hazards Consulting  
 660 Bell Dr., Unit 1  
 P.O. Box 2037, Ketchum, ID 83340 USA  
 (208) 722-1988  
 email: alpine@alpineenterprisesinc.com





**General Notes**

1. Base map information taken from survey by Patterson & Puchner Engineers dated 11/20/73, Benchmark Associates 07/07/16, Alpine Enterprises 03/03/23 and from on-site information. Architectural information provided by Blincoe Architecture dated 01/25/21. Contractor shall verify conditions in the field prior to construction.
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3. All existing utilities are underground. All new utilities shall be underground.
4. Site serviced by City of Ketchum.



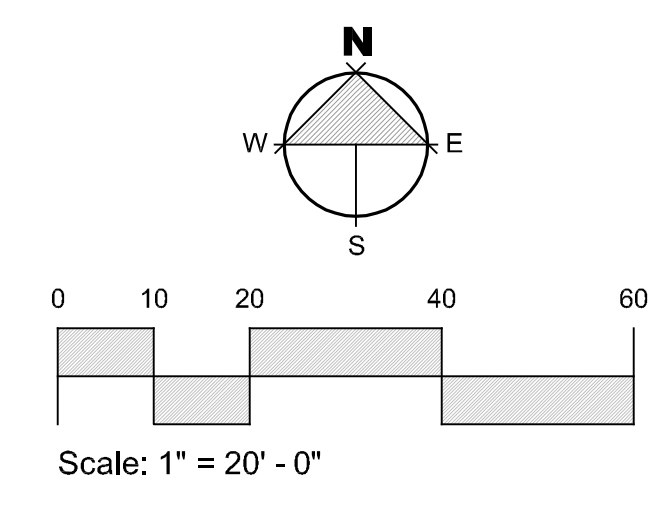
**Existing Parking**

(51) = Existing Parking Space

Total Number Of Existing Spaces = 51

**Proposed Parking**

Garages: (G1)	6
Carpools: (CP1)	14
Open: (1)	30
<b>Total Parking:</b>	<b>50</b>



**Bigwood Condos #3**

EGGERS ASSOCIATES, P.A.  
landscape architecture

T: (208) 725-0988  
F: (208) 725-0972

P.O. Box 955  
Ketchum, ID 83340

127 Saddle Road  
Bigwood Condos #3  
Ketchum, Idaho

Job No: 20.41

Scale: 1" = 20' - 0"

Issue/Revisions: Date:

Design Review	03/15/21
RVSD	05/20/21
RVSD	11/08/22
RVSD	02/14/23
RVSD	04/24/23

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Sheet Title:  
**Existing Conditions**

Sheet No:  
**EC**



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Plan Legend

- Property Line
- Minimum Setback
- Existing Edge Of Pavement
- Road
- Fire Lane
- No Parking Zone
- Drystack Retaining Wall

Building Coverage

Existing Buildings:	24,687 Sq. Ft
Proposed Buildings:	5,760 Sq. Ft
Total Lot Coverage:	30,447 Sq. Ft
Lot Area:	114,528 Sq. Ft
Percent Coverage:	27%

Snow Storage

Parking Area Linear Feet:	836 Ft.
	/ 55
	X 150
Required Snow Storage:	2,280 Sq. Ft
Proposed Snow Storage:	16,500 Sq. Ft

Bike Racks

One Rack For Two Bikes  
Per Four Parking Spaces

Total Proposed Parking:	50
Total Required Bike Racks:	13
Total Proposed Bike Racks:	15 For 30 Bikes

Parking Requirements

Minimum Size:	9' x 18'
ADA Size:	9' x 18' - With 60" Access Aisle
Unit Size:	Required Parking
< 750 Sq. Ft	0
750-2,000 Sq. Ft	1
> 2,001 Sq. Ft	2

Units

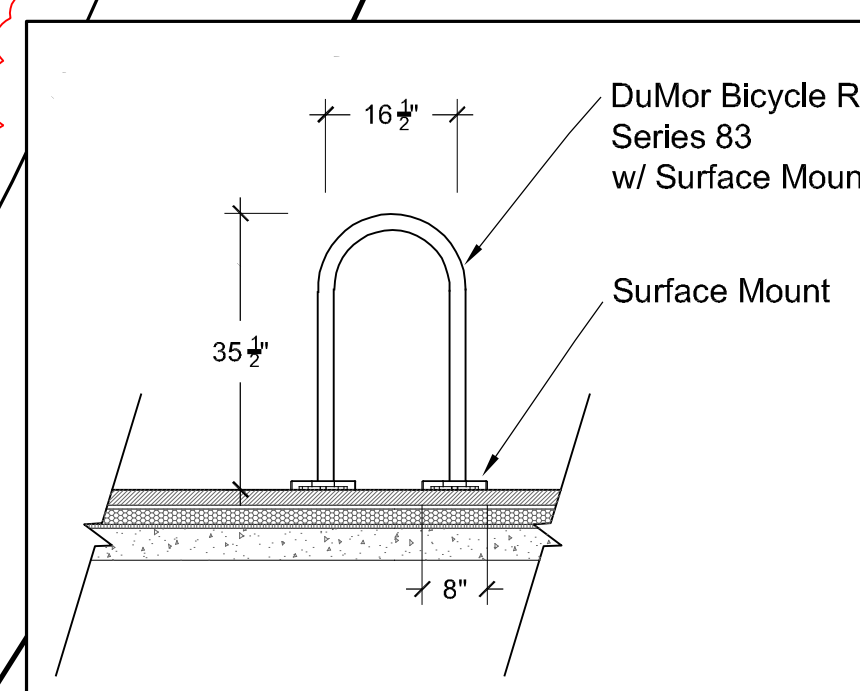
Unit #	Sq. Ft	Required Parking
1	855	1
2	1,312	1
3	1,312	1
4	1,057	1
5	1,211	1
6	1,312	1
7	1,057	1
8	855	1
9	1,312	1
<b>Total Units</b>		<b>Total Required Parking</b>
27		27

NOTE:

All Parking To Be Minimum 9' x 18'

Proposed Parking

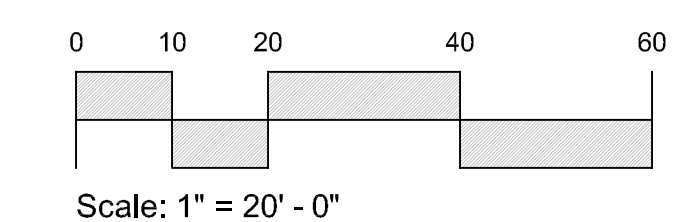
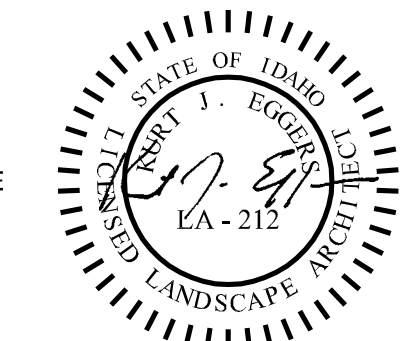
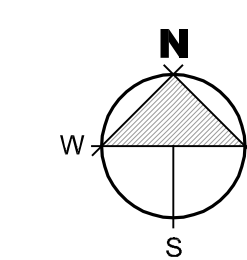
Garages: (G1)	6
Carports: (CP1)	14
Open: (1)	30
<b>Total Parking:</b>	<b>50</b>



Bike Rack Detail



Screening Fence

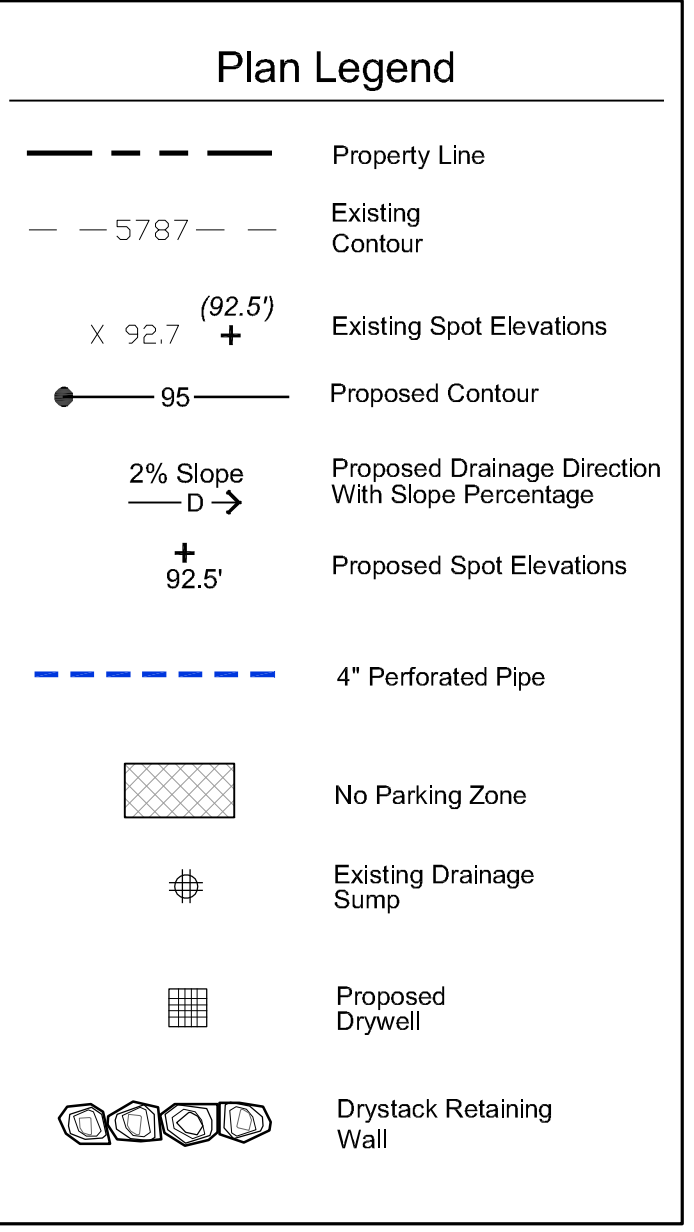




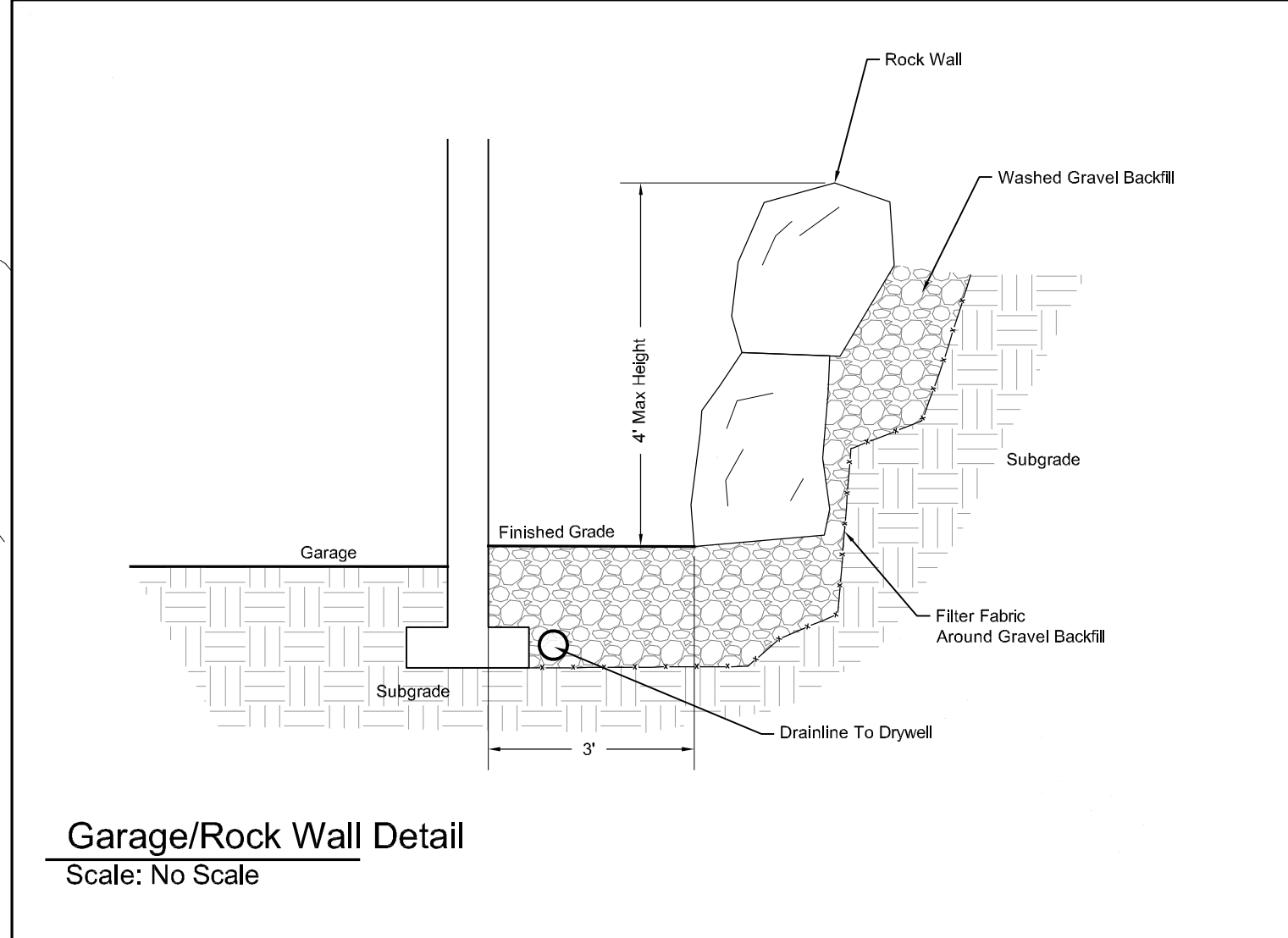
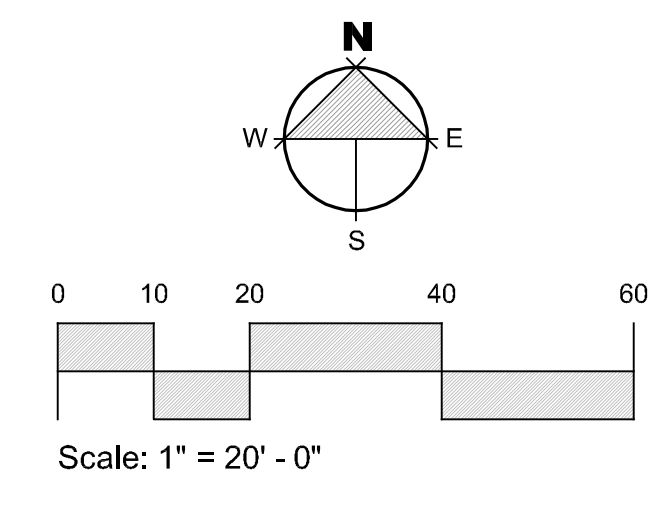
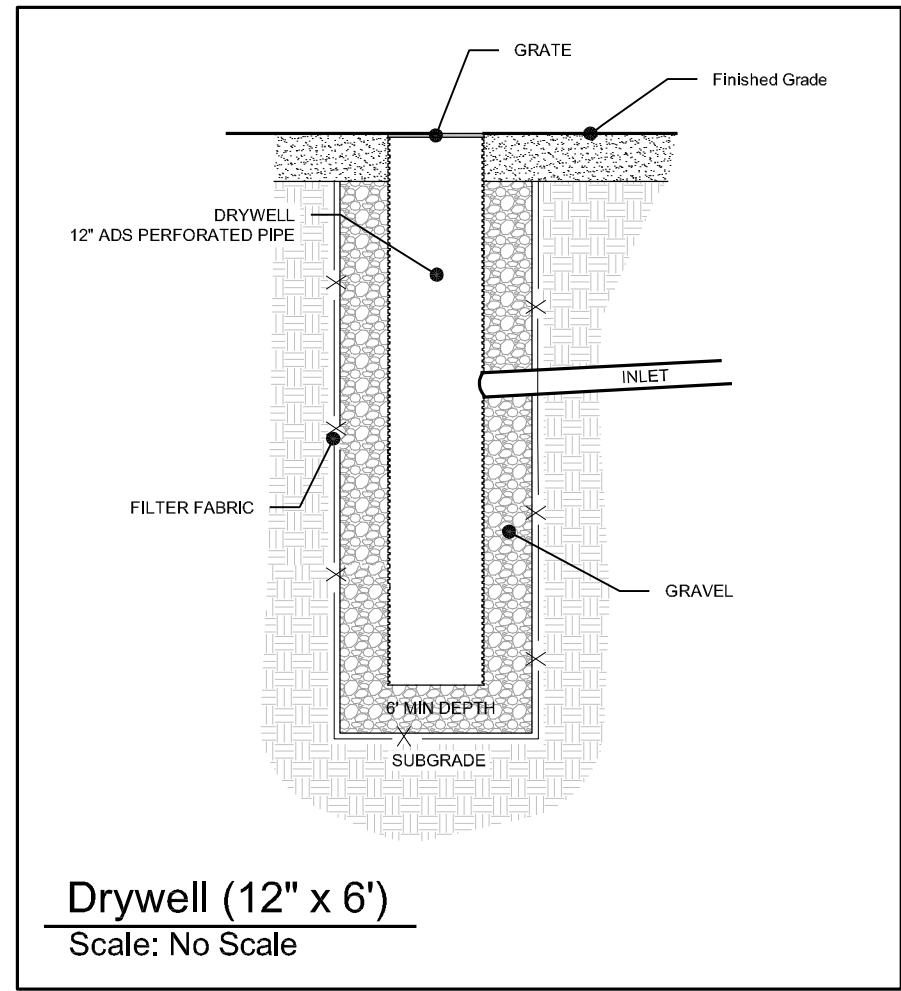


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**NOTE:**  
Existing Drainage Patterns  
And Infrastructure To  
Remain Undisturbed



**Bigwood Condos #3**

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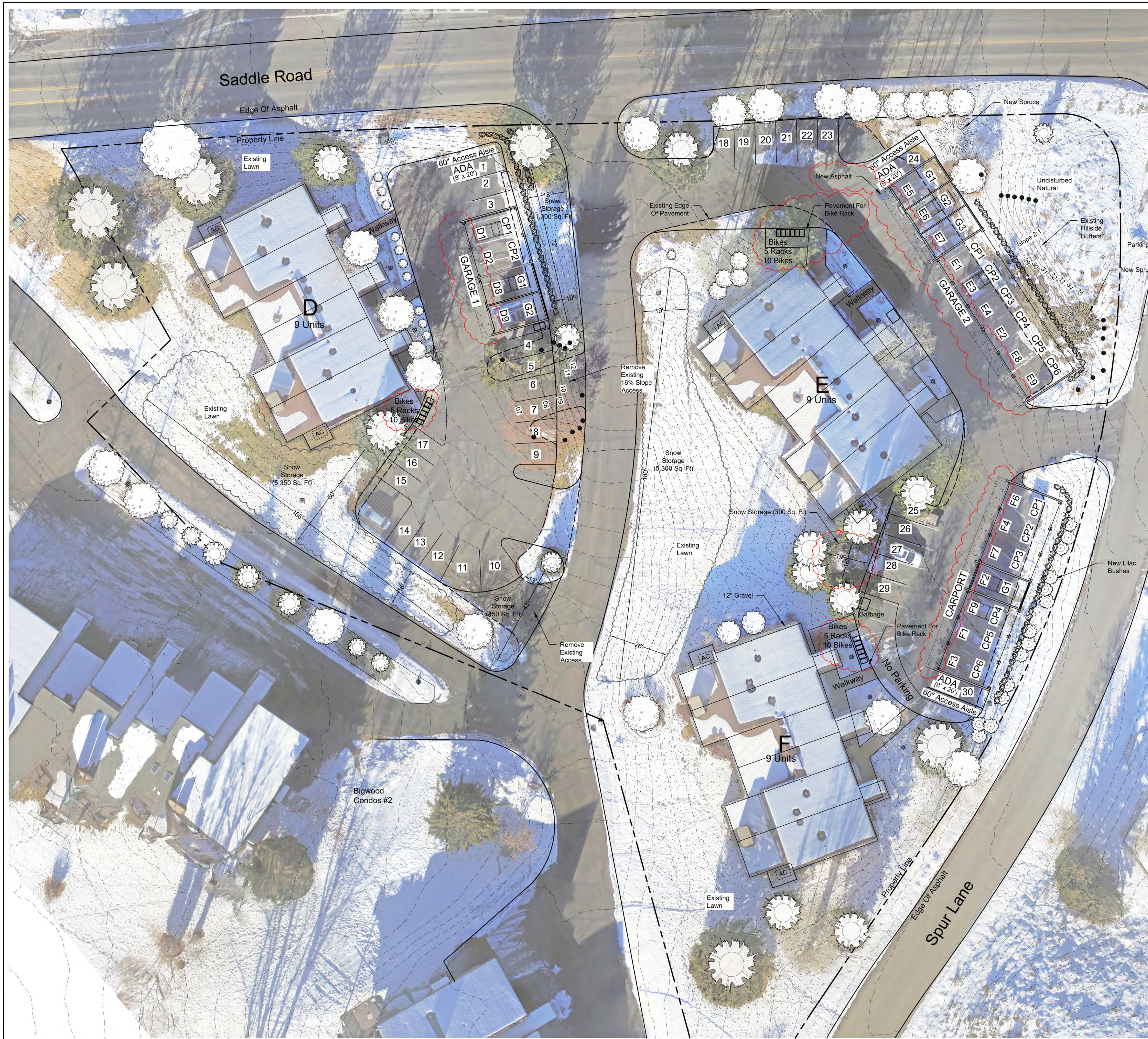
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Sheet Title:  
**Grading Plan**

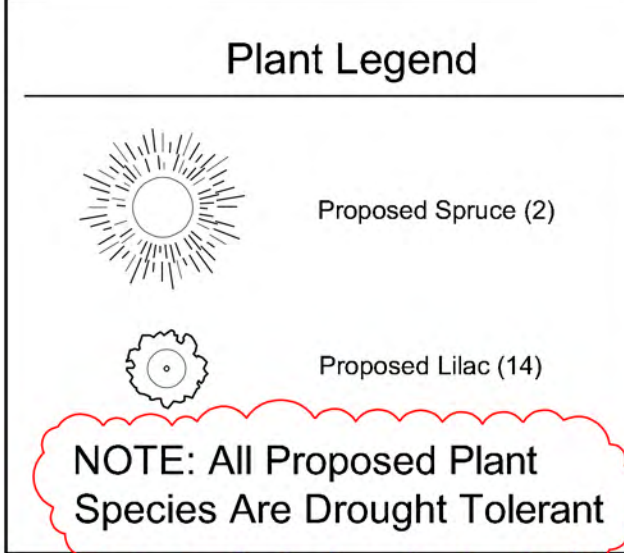
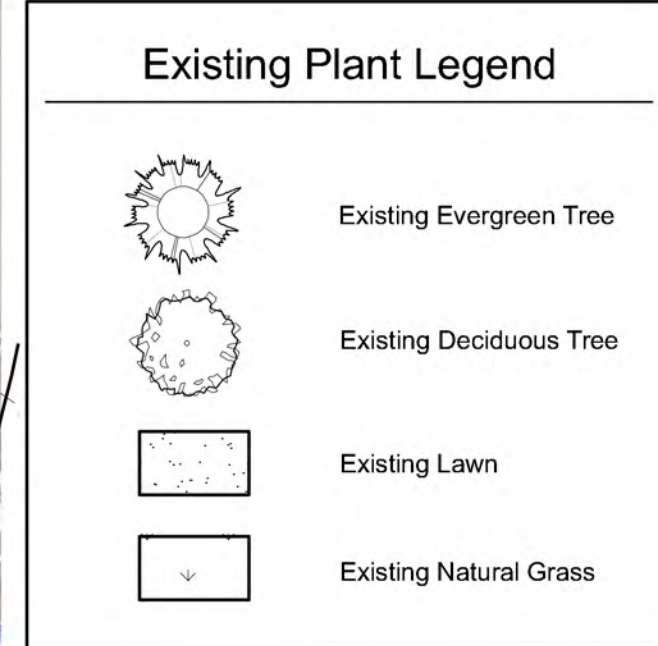
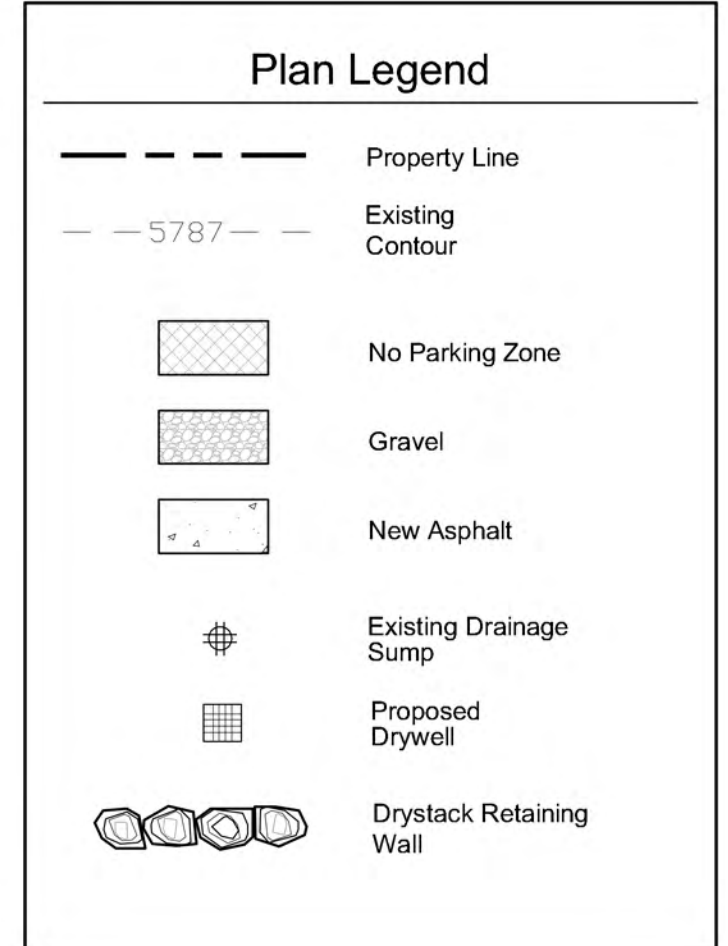
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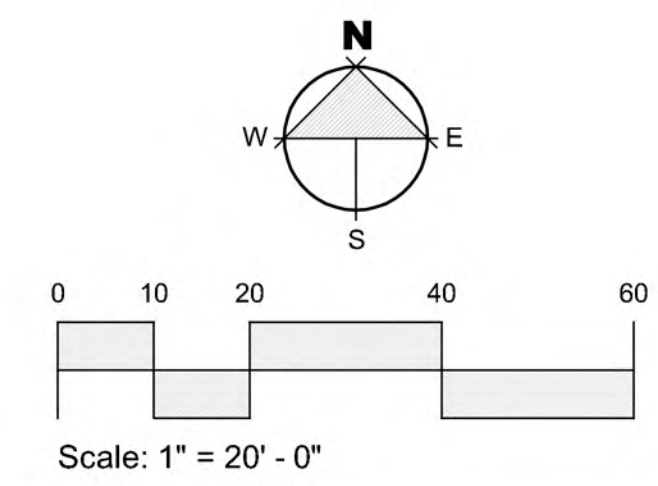


**Snow Storage**

Parking Area Linear Feet:	836 Ft.
	/ 55 = 15.2
	X 150
Required Snow Storage:	2,280 Sq. Ft.
Proposed Snow Storage:	12,700 Sq. Ft.

**Landscape Notes:**

- 1) The Area 12" Horizontal From The Base Of A Wall Shall Be Finished In A Way To Prevent Any Vegetation Growing, And For Vegetative Debris To Be Easily Removed.
- 2) Any Trees With Crowns Closer Than 30 Feet To Any Structure Shall Be Limbed Up A Minimum Of 6' From Ground Level.
- 3) Any Tree Crowns Shall Be Pruned To Have A Minimum 10' Horizontal Clearance From Any Structure.



**Bigwood Condos #3**

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landscape architecture

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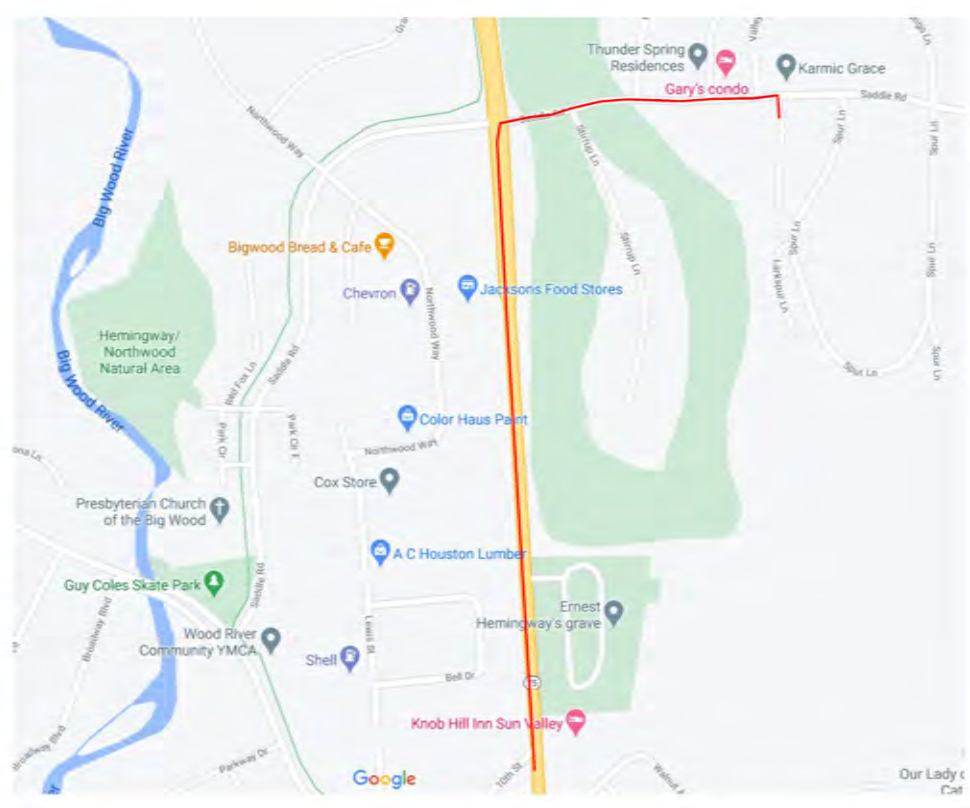
Sheet Title:  
**Landscape Plan**

Sheet No:  
**L3**





Bike Racks	
One Rack For Two Bikes Per Four Parking Spaces	
Total Proposed Parking:	50
Total Required Bike Racks:	13
Total Proposed Bike Racks:	15 For 30 Bikes



**TRUCK ROUTE**  
N7S

**CONSTRUCTION MANAGEMENT**

SCALE: 3/32" = 1'-0"

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JOB #:	01120
PLOT DATE:	3/21/23
DESIGN REVIEW:	11/4/22
PERMIT:	
CONSTRUCTION:	
REVISIONS:	
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**A0**

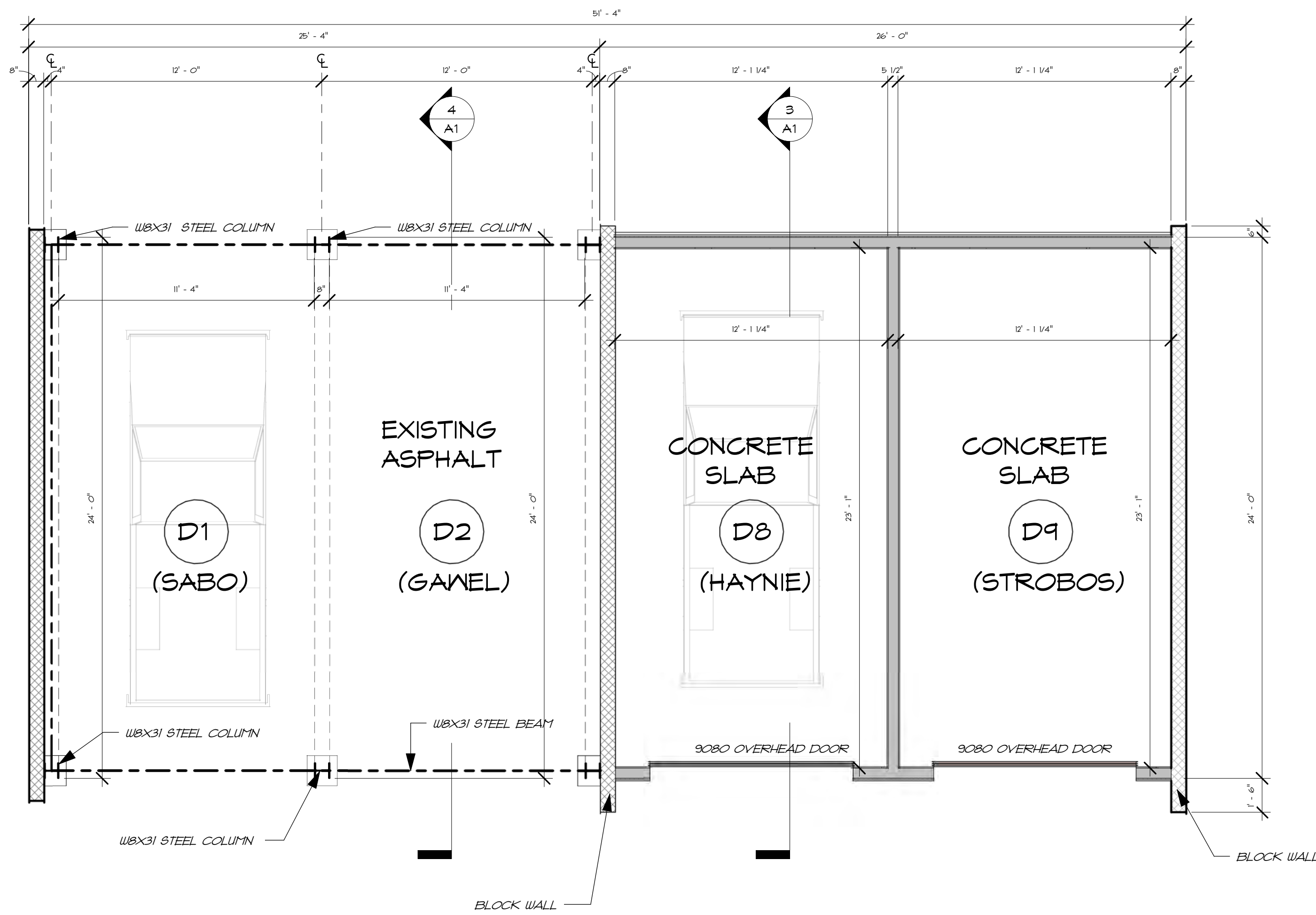
**BIGWOOD III GARAGES**  
BIGWOOD CONDOMINIUM III  
127 SADDLE RD, KETCHUM ID 83340



www.BlincoeArchitecture.com  
**Blincoe Architecture**  
URS/REG: 251 Northwood Way Suite E  
Ketchum, Idaho 83340  
Tel: 208/726-1325  
Email: info@blincoearchitecture.com

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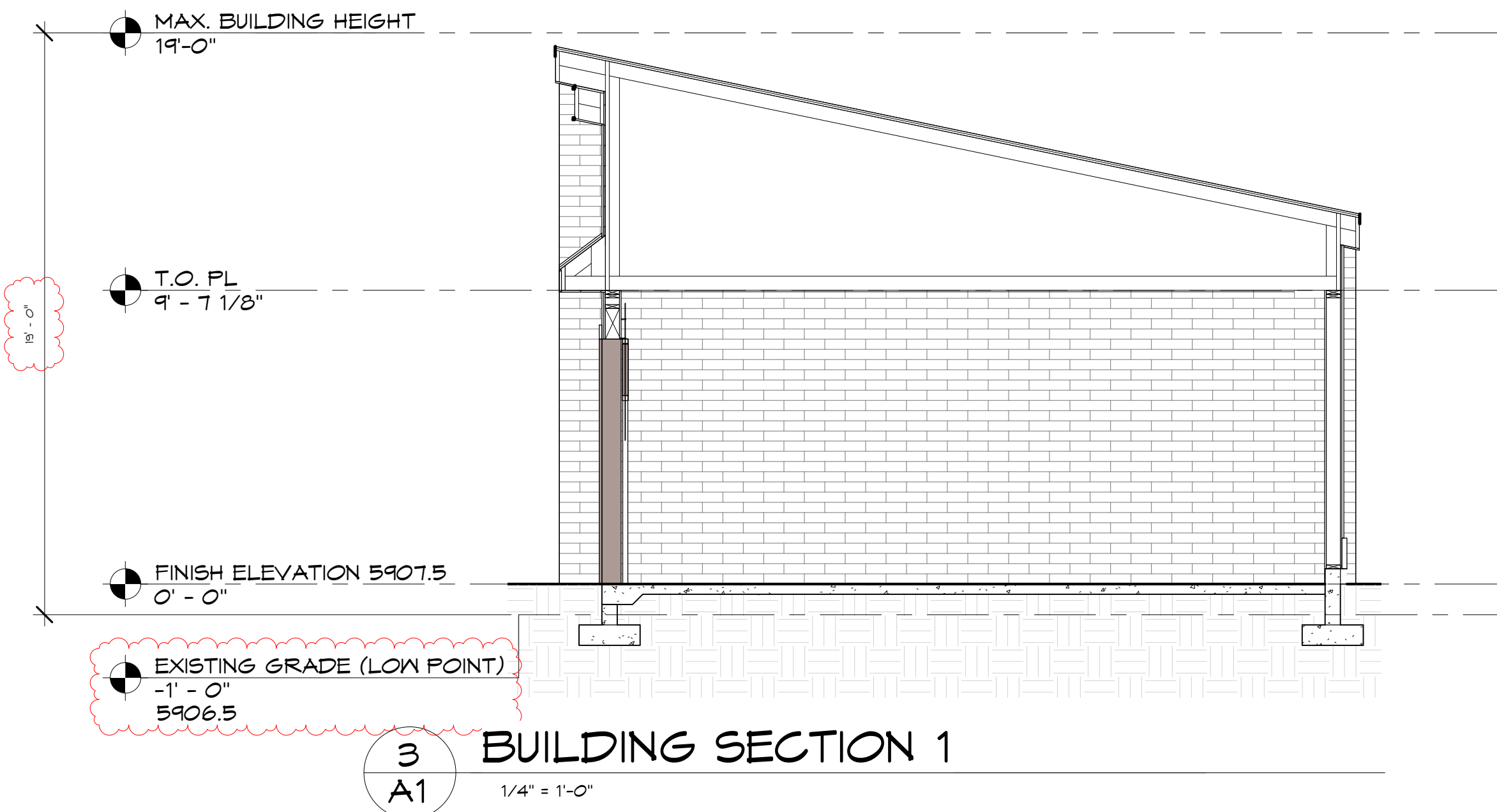


1 FLOOR PLAN  
A1 1/4" = 1'-0"

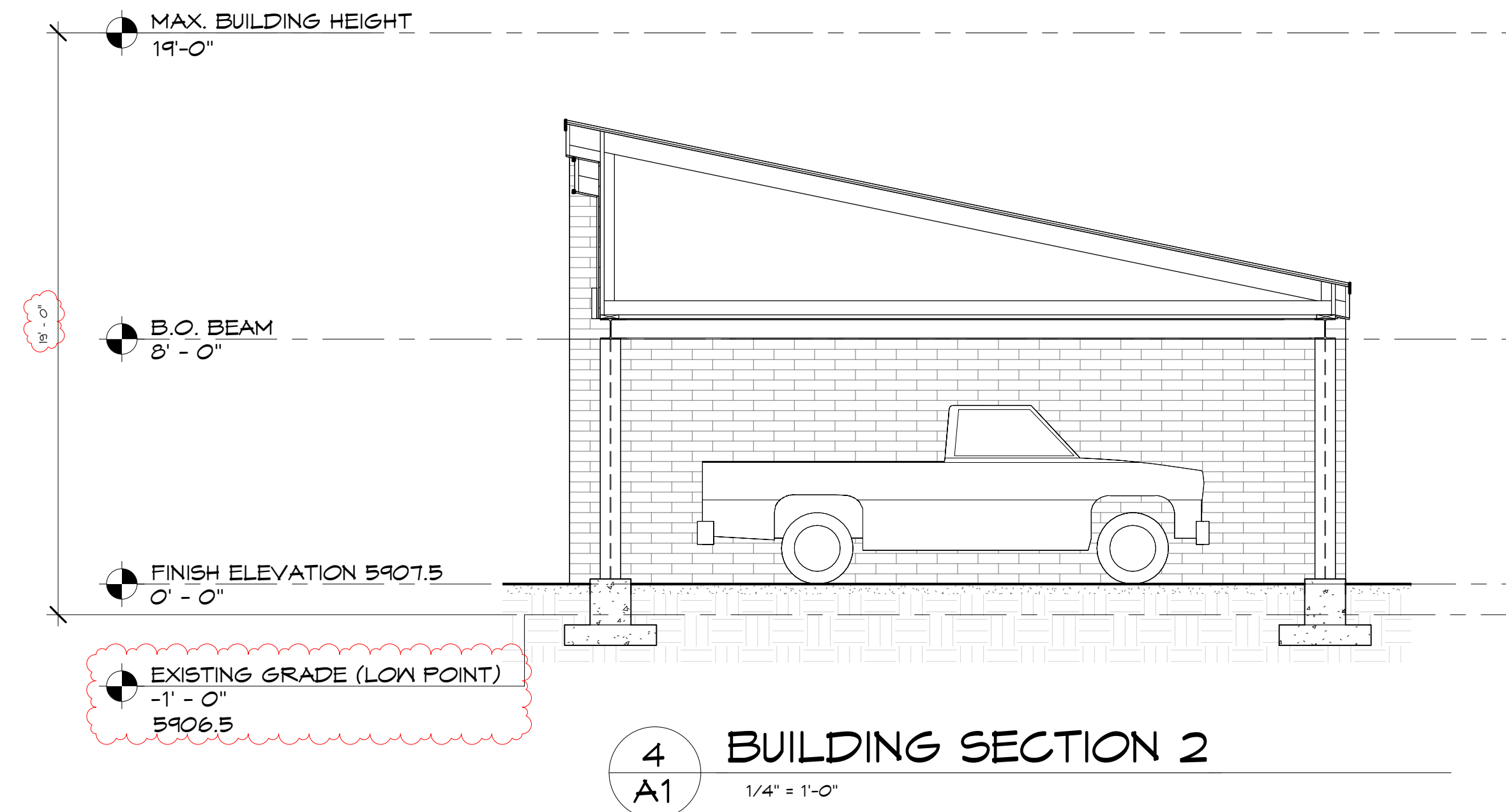


2 EXTERIOR PERSPECTIVE  
A1

NOTE:  
ALL EXTERIOR LIGHTING TO BE CEILING MOUNTED



3 BUILDING SECTION 1  
A1 1/4" = 1'-0"



4 BUILDING SECTION 2  
A1 1/4" = 1'-0"

SQUARE FOOTAGE TABULATION:

CARPENT	611 SQ. FT.
ENCLOSED GARAGE	627 SQ. FT.
<b>TOTAL:</b>	<b>1,238 SQ. FT.</b>

# GARAGE 1

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LICENSED ARCHITECT  
AR 984802  
CHAD E. BLINCOE  
STATE OF IDAHO

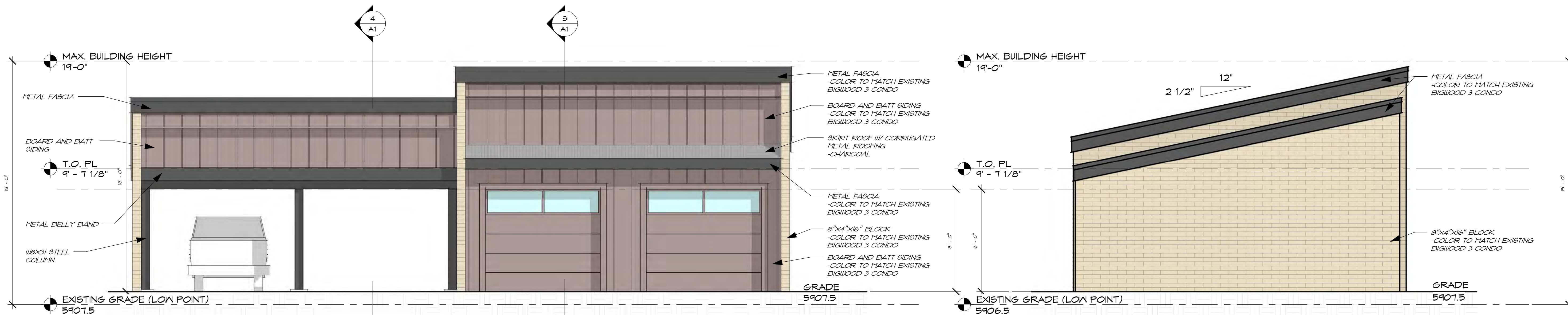
**BIGWOOD III GARAGES**  
SADDLE ROAD  
KETCHUM, ID 83340

JOB #: 011.20  
PLOT DATE: 11/8/22  
DESIGN REVIEW: 11/8/22  
PERMIT:  
CONSTRUCTION:  
SUBMISSIONS/REVISIONS:  
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DESIGN REVIEW SET UPDATED 11/3/21  
DESIGN REVIEW SET UPDATED 11/8/22  
DESIGN REVIEW SET UPDATED 3/21/23

A1

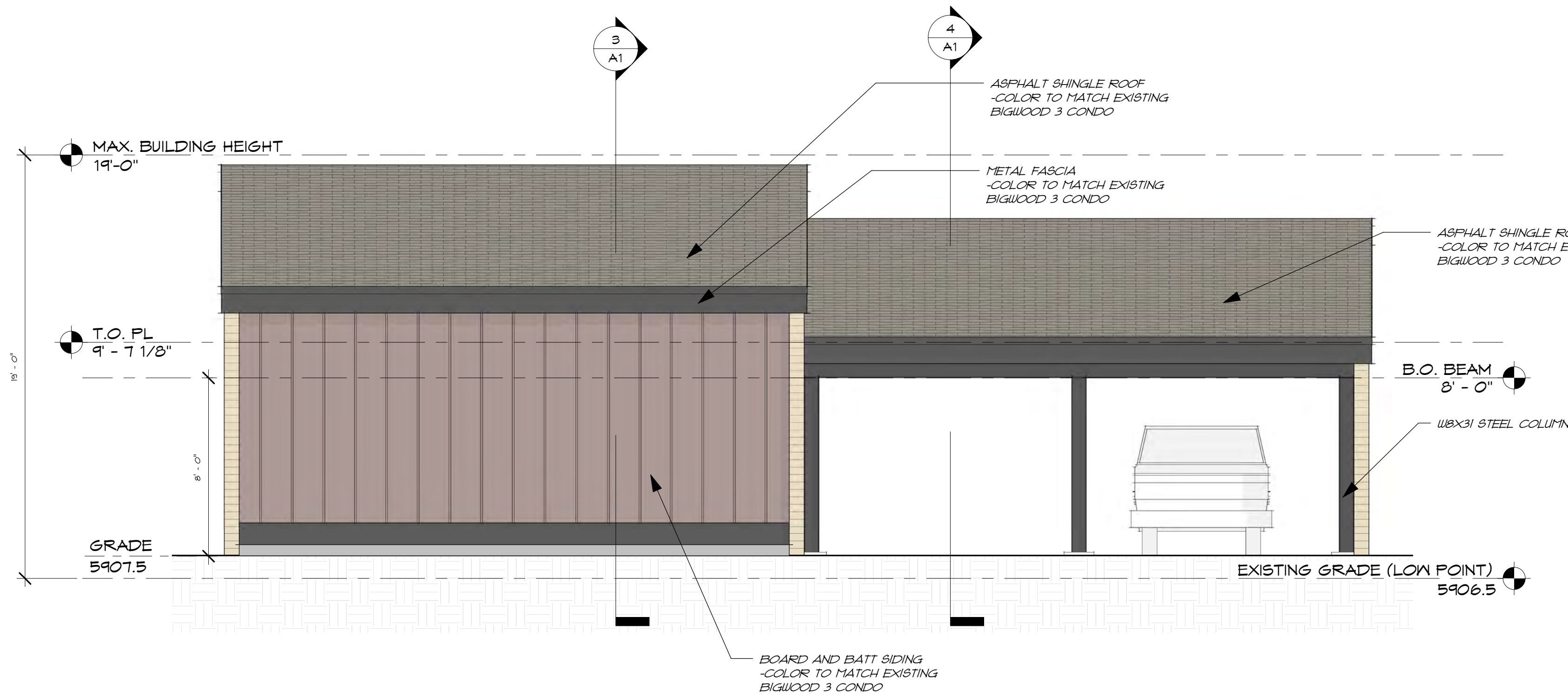
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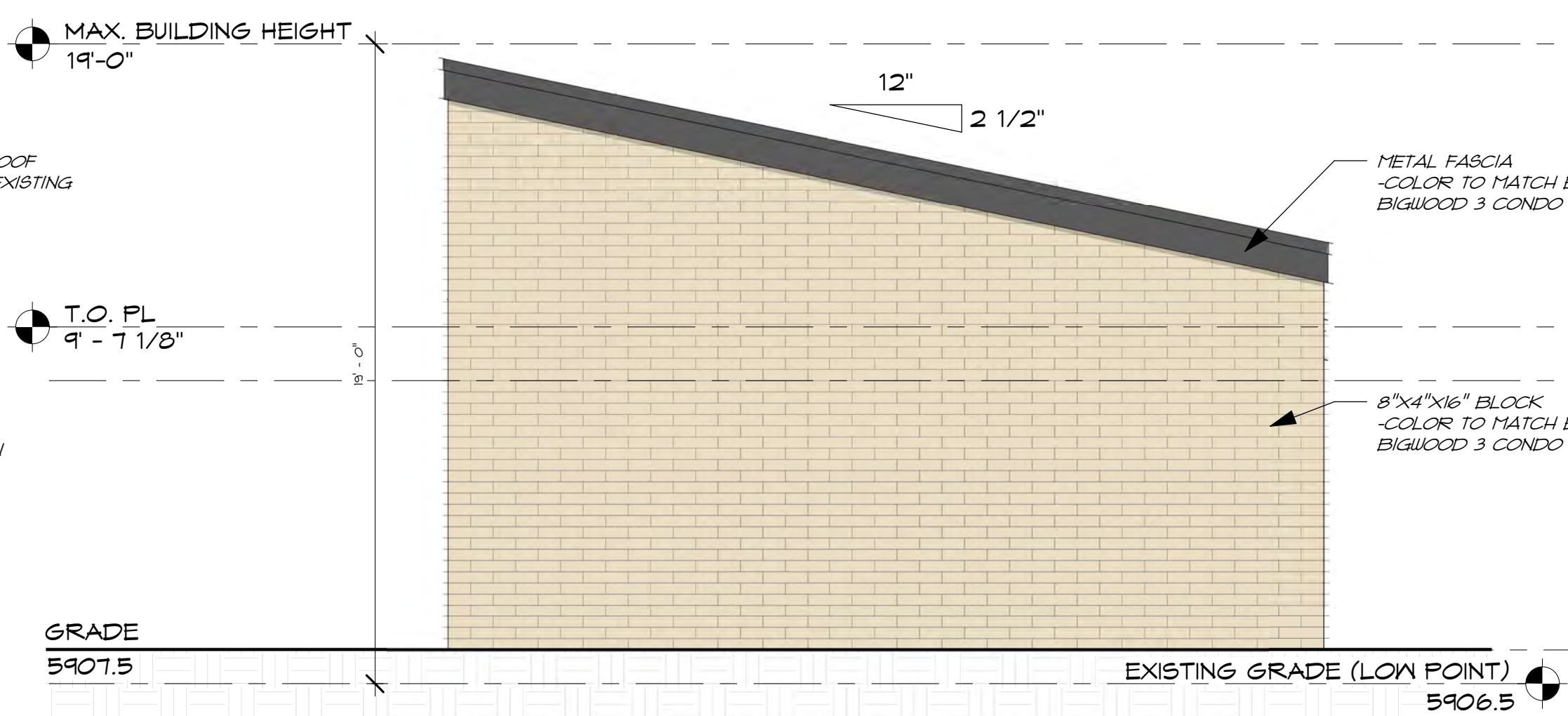


1 FRONT ELEVATION  
A2 1/4" = 1'-0"

2 LEFT SIDE ELEVATION  
A2 1/4" = 1'-0"



3 REAR ELEVATION  
A2 1/4" = 1'-0"

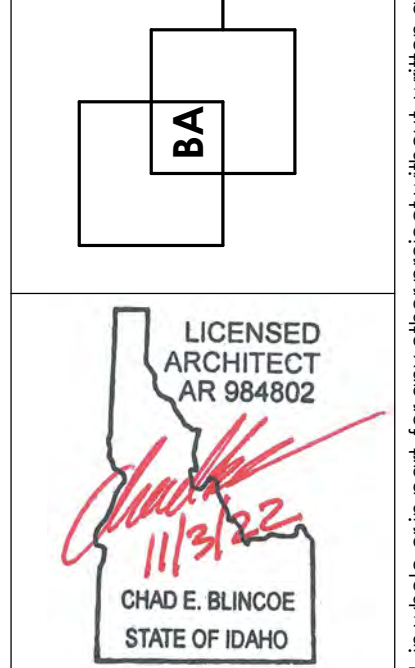


4 RIGHT SIDE ELEVATION  
A2 1/4" = 1'-0"

# GARAGE 1

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**BIGWOOD III GARAGES**  
SADDLE ROAD  
KETCHUM, ID 83340

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	DESIGN REVIEW SET UPDATED 11/3/21
	DESIGN REVIEW SET UPDATED 11/8/22
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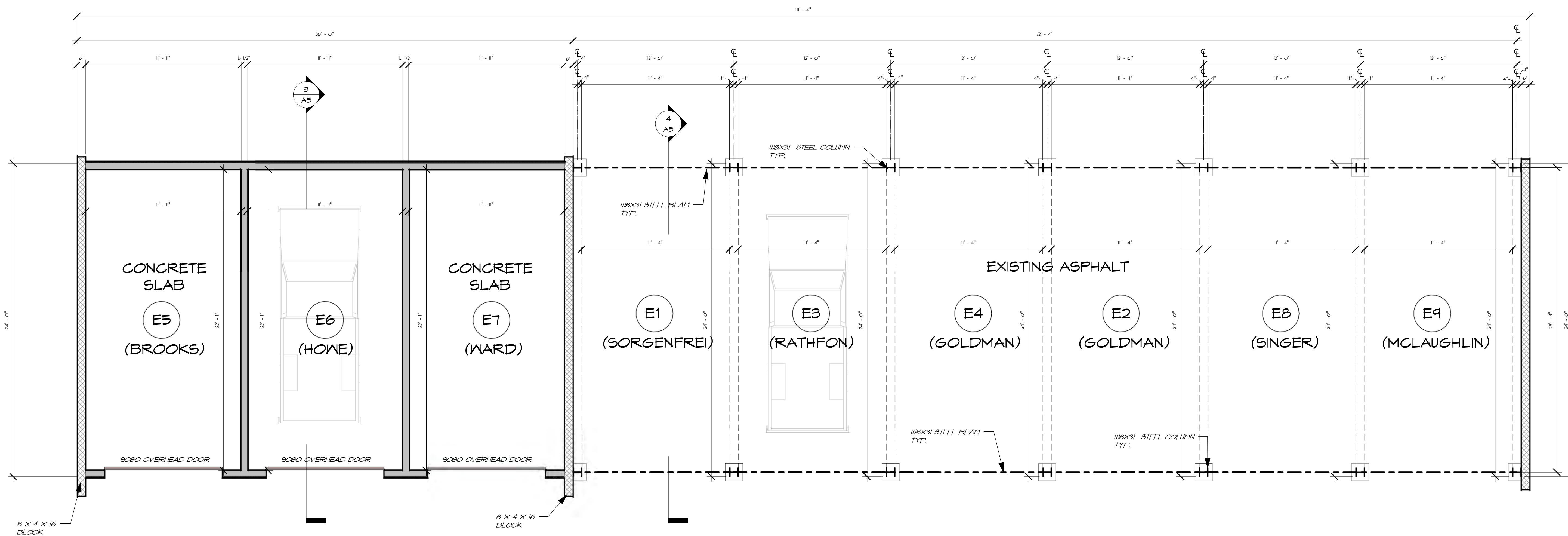
A2

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1 EXTERIOR PERSPECTIVE  
A3



2 FLOOR PLAN  
A3 1/4" = 1'-0"

**SQUARE FOOTAGE TABULATION:**

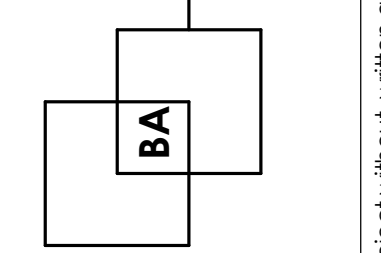
CARPORT	1,760 SQ. FT.
ENCLOSED GARAGE	912 SQ. FT.
<b>TOTAL:</b>	<b>2,672 SQ. FT.</b>

NOTE:  
ALL EXTERIOR LIGHTING TO BE CEILING MOUNTED

**GARAGE 2**

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AR 984802  
CHAD E. BLINCOE  
STATE OF IDAHO

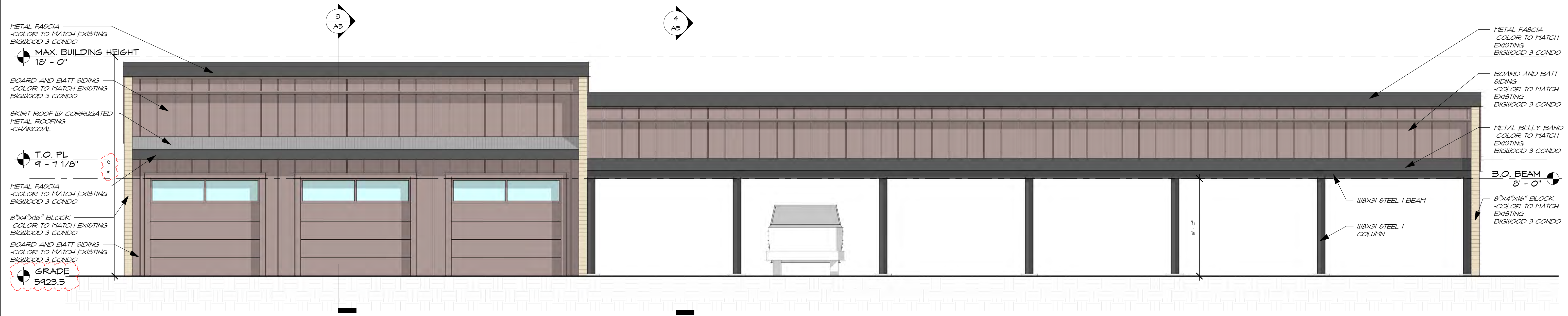
**BIGWOOD III GARAGES**  
SADDLE ROAD  
KETCHUM, ID 83340

JOB #:	011.20
PLOT DATE:	3/21/23
DESIGN REVIEW:	11/8/22
PERMIT:	
CONSTRUCTION:	
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**A3**

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1 FRONT ELEVATION  
1/4" = 1'-0"



3 REAR ELEVATION  
1/4" = 1'-0"

# GARAGE 2

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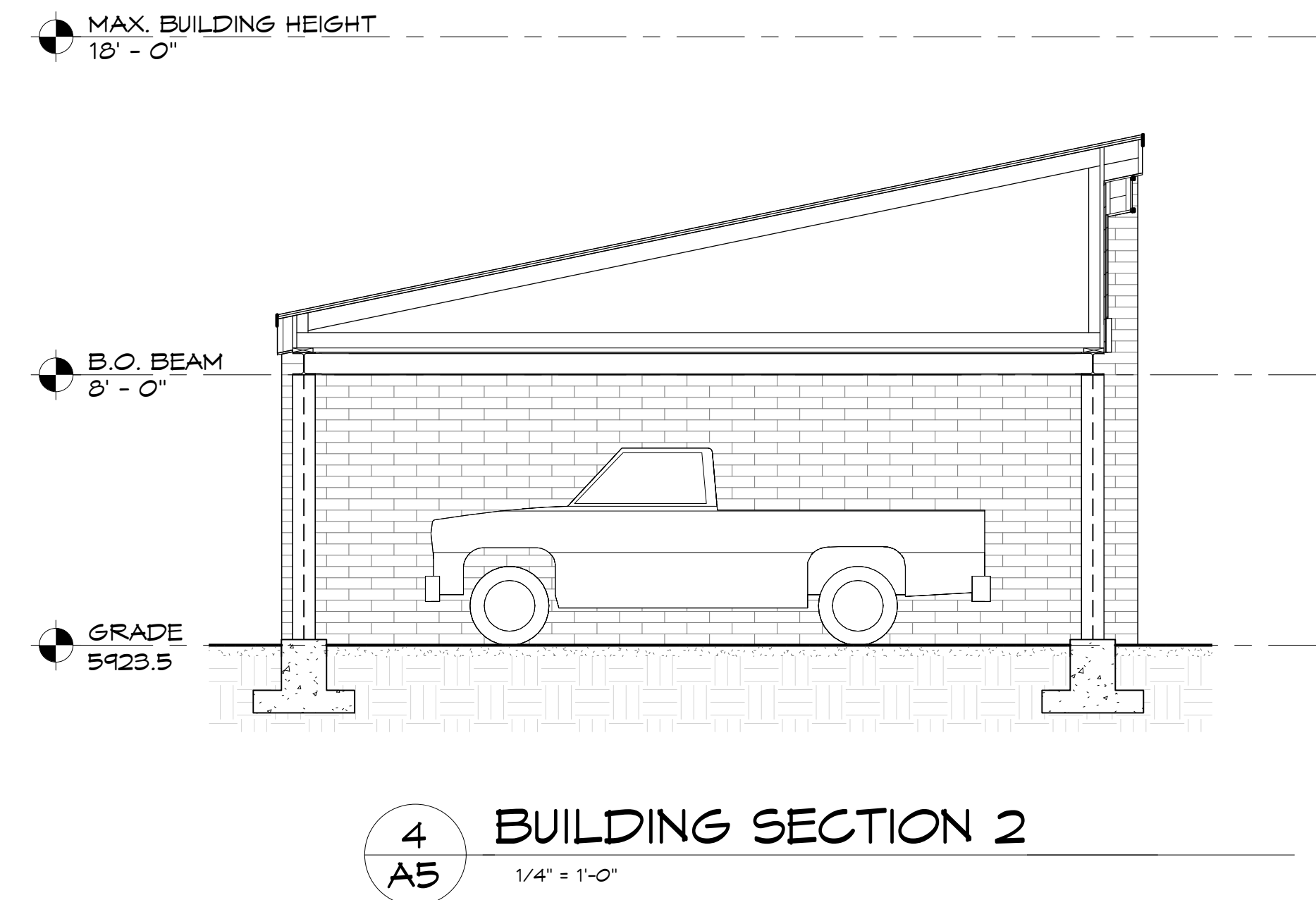
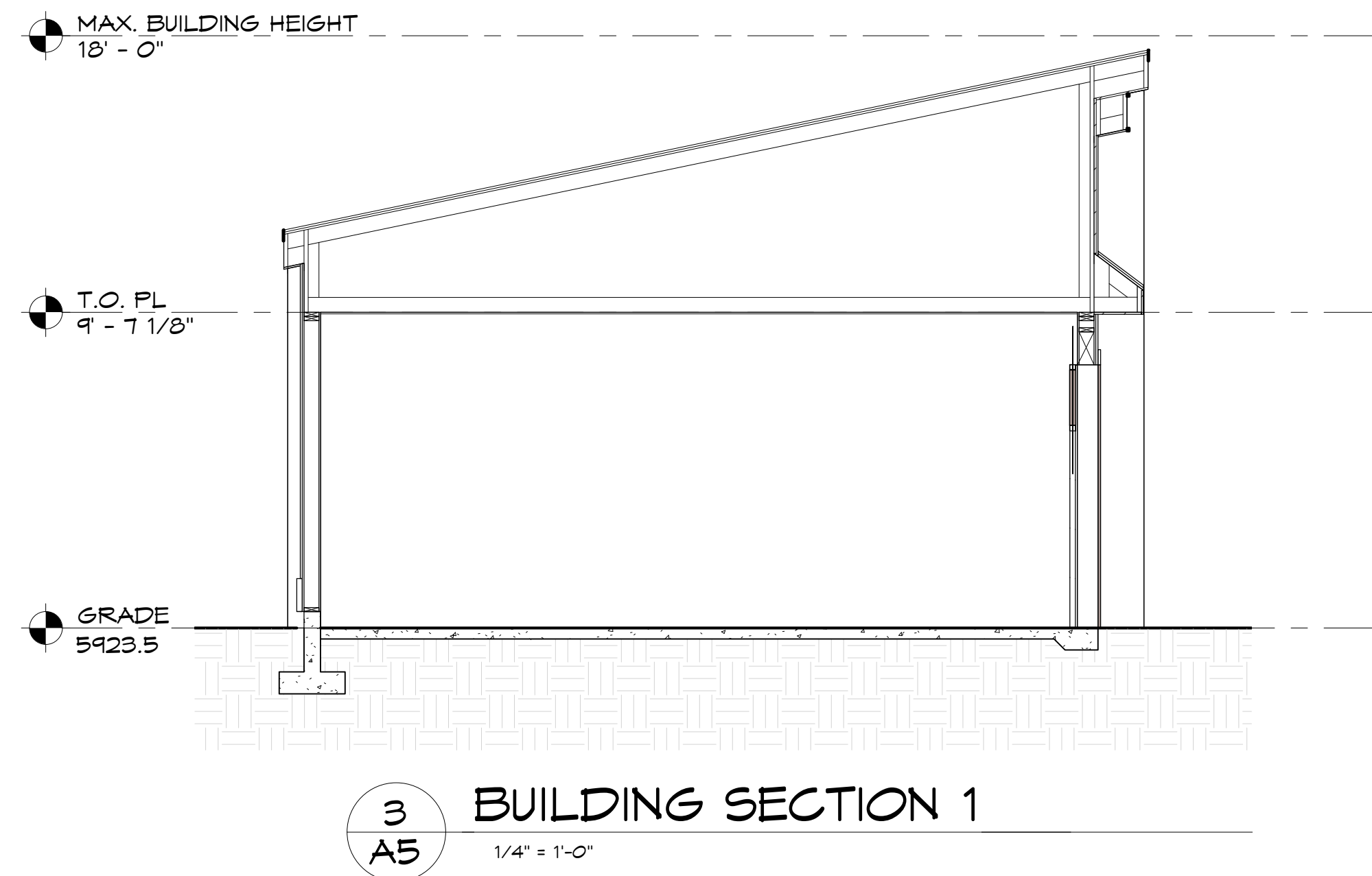
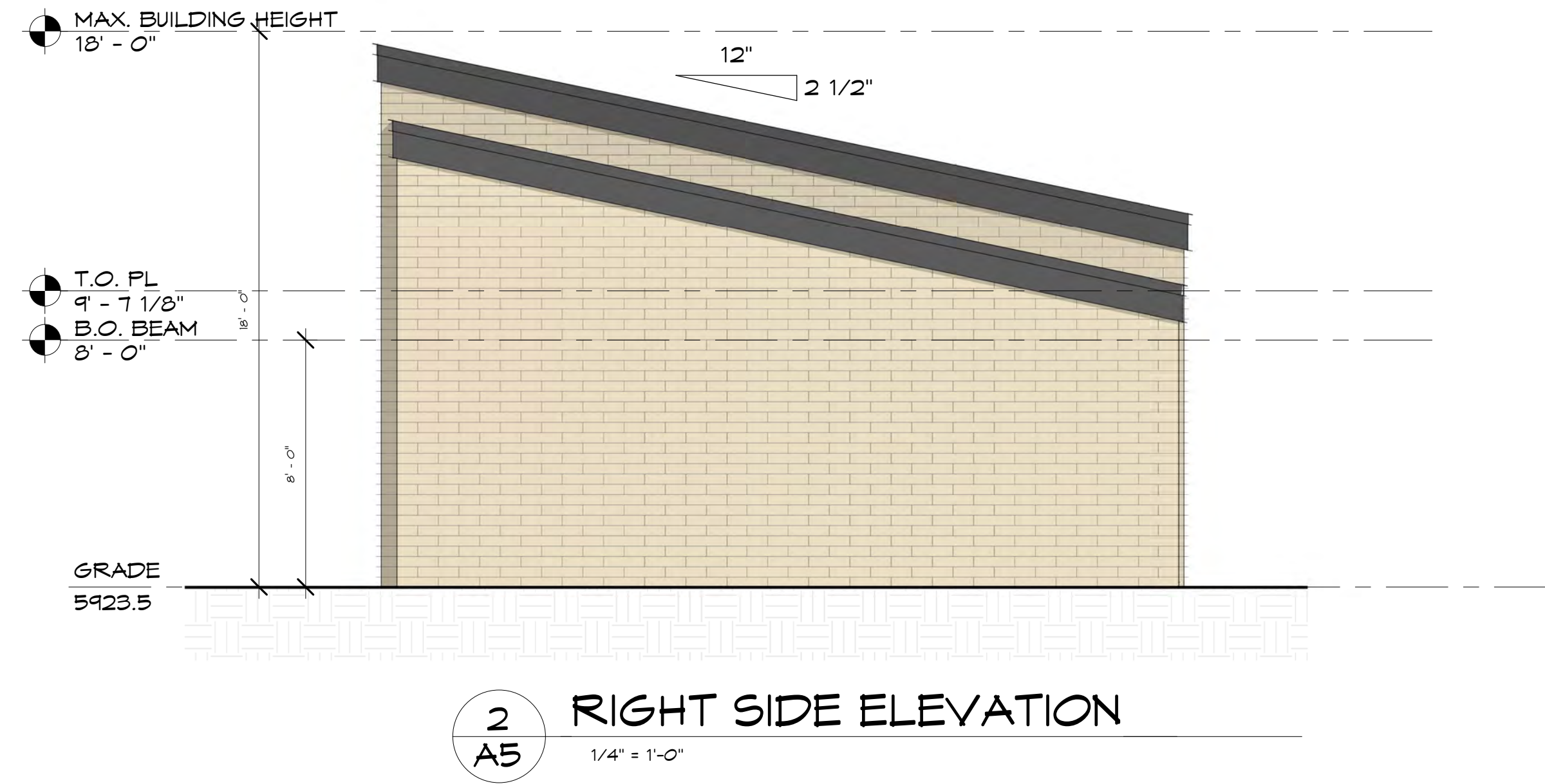
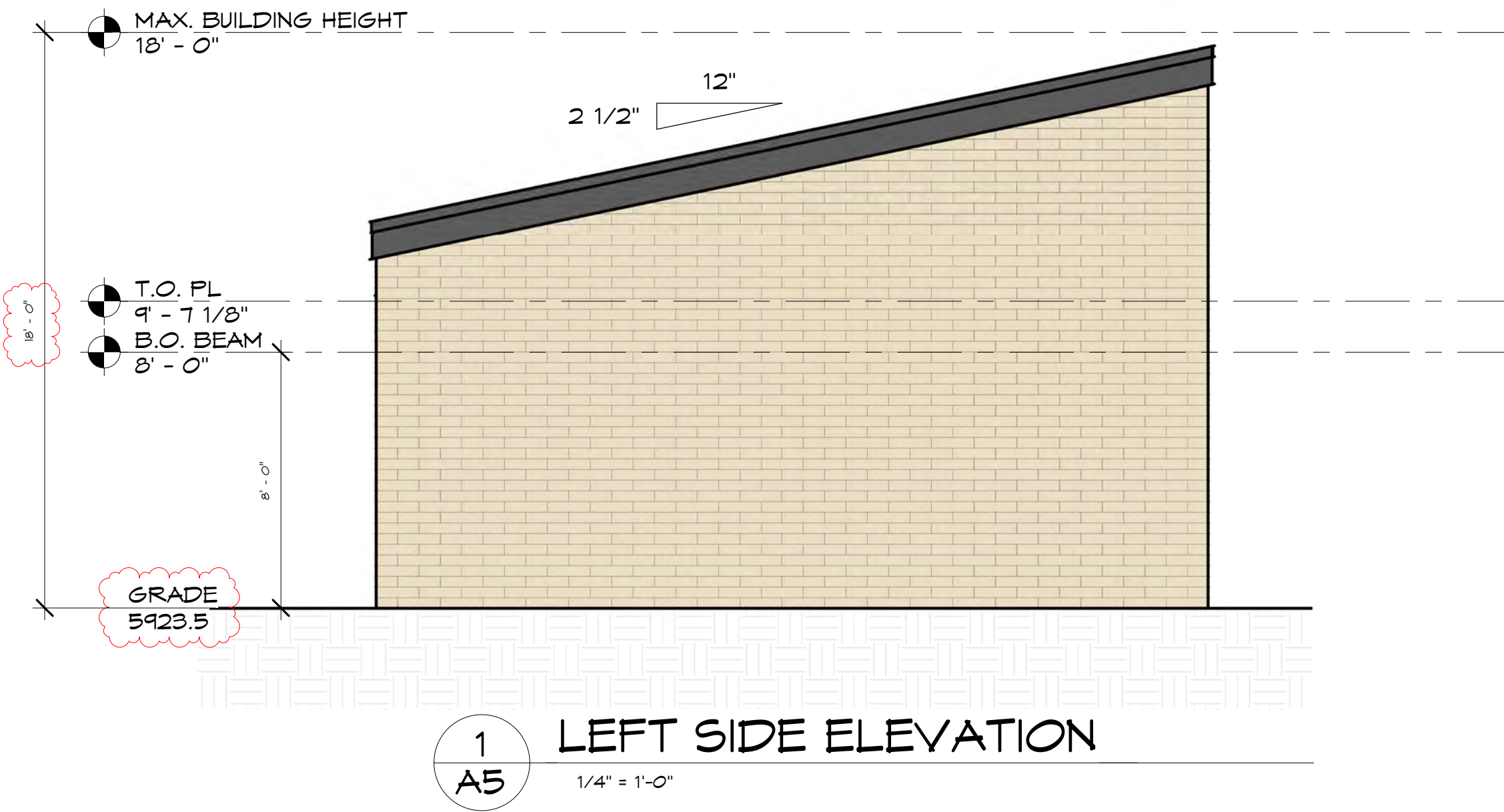
**BIGWOOD III GARAGES**  
 SADDLE ROAD  
 KETCHUM, ID 83340

JOB #:	011.20
PLOT DATE:	3/21/23
DESIGN REVIEW:	11/8/22
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A4

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# GARAGE 2

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A5

**BIGWOOD III GARAGES**  
SADDLE ROAD  
KETCHUM, ID 83340

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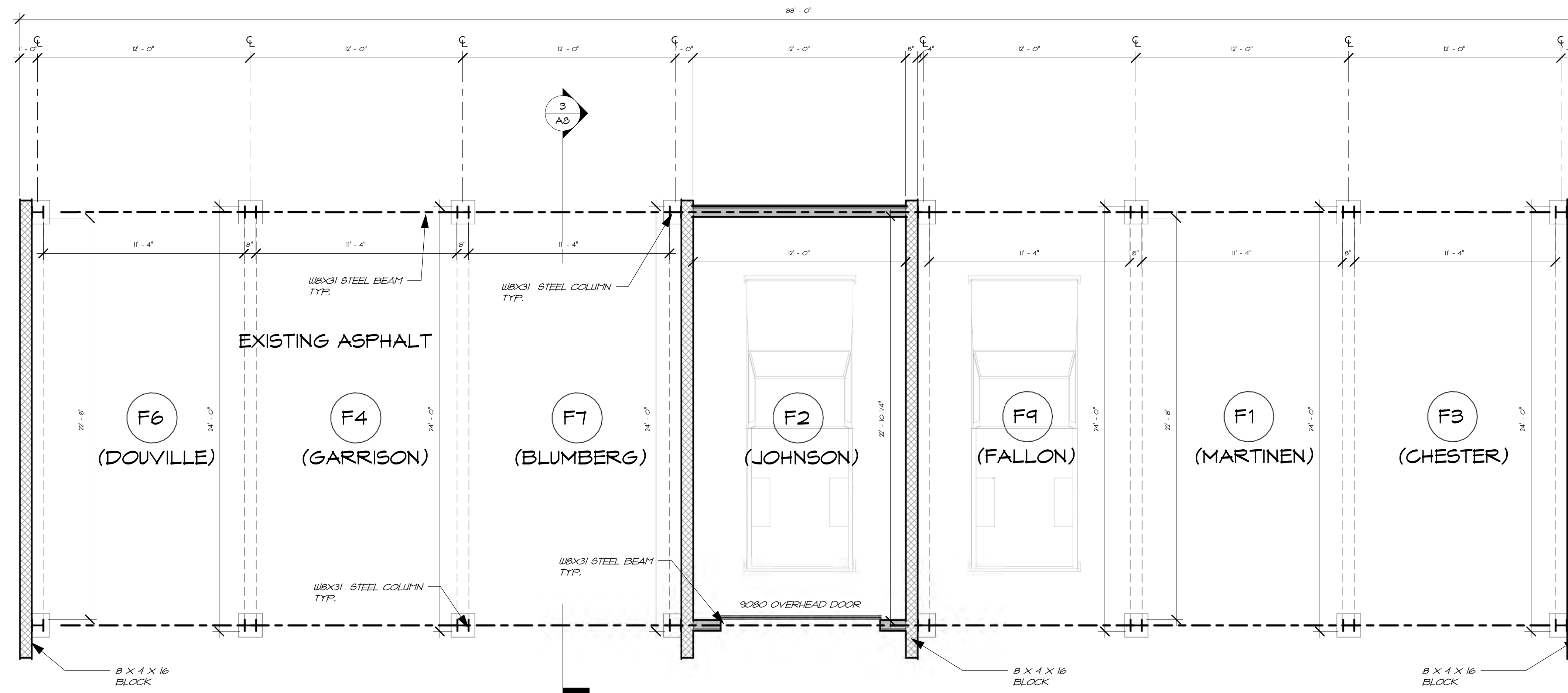
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1 EXTERIOR PERSPECTIVE  
A6



**SQUARE FOOTAGE TABULATION:**

CARPORT	1,792 SQ. FT.
ENCLOSED GARAGE	320 SQ. FT.
<b>TOTAL:</b>	<b>2,112 SQ. FT.</b>

2 FLOOR PLAN  
A6 1/4" = 1'-0"

**CARPORT**

NOTE:  
ALL EXTERIOR LIGHTING TO BE CEILING MOUNTED

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DESIGN REVIEW SET	UPDATED 3/21/23

A6





1  
A7 FRONT ELEVATION  
1/4" = 1'-0"

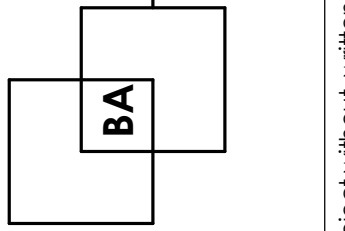


3  
A7 REAR ELEVATION  
1/4" = 1'-0"

# CARPORT

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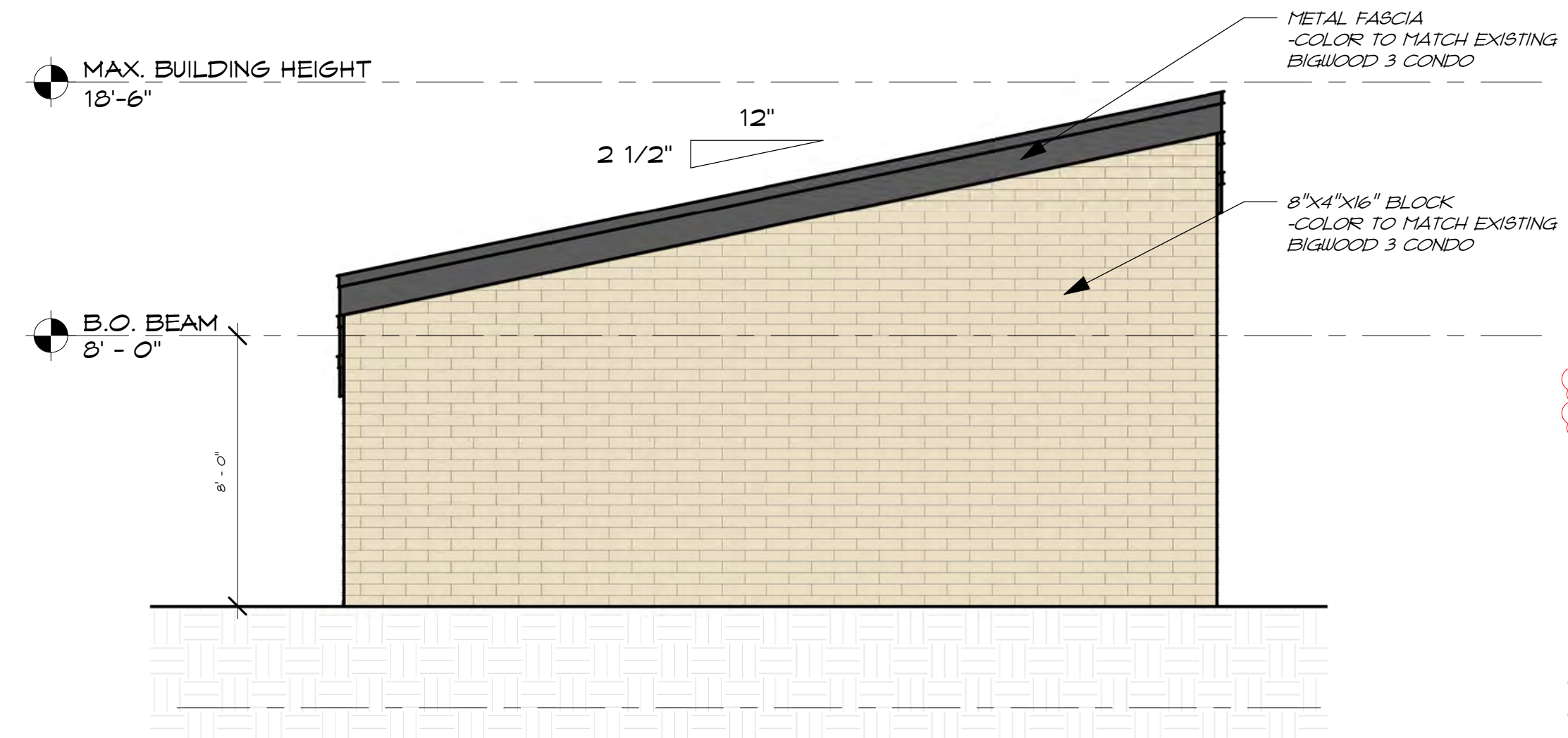
**BIGWOOD III GARAGES**  
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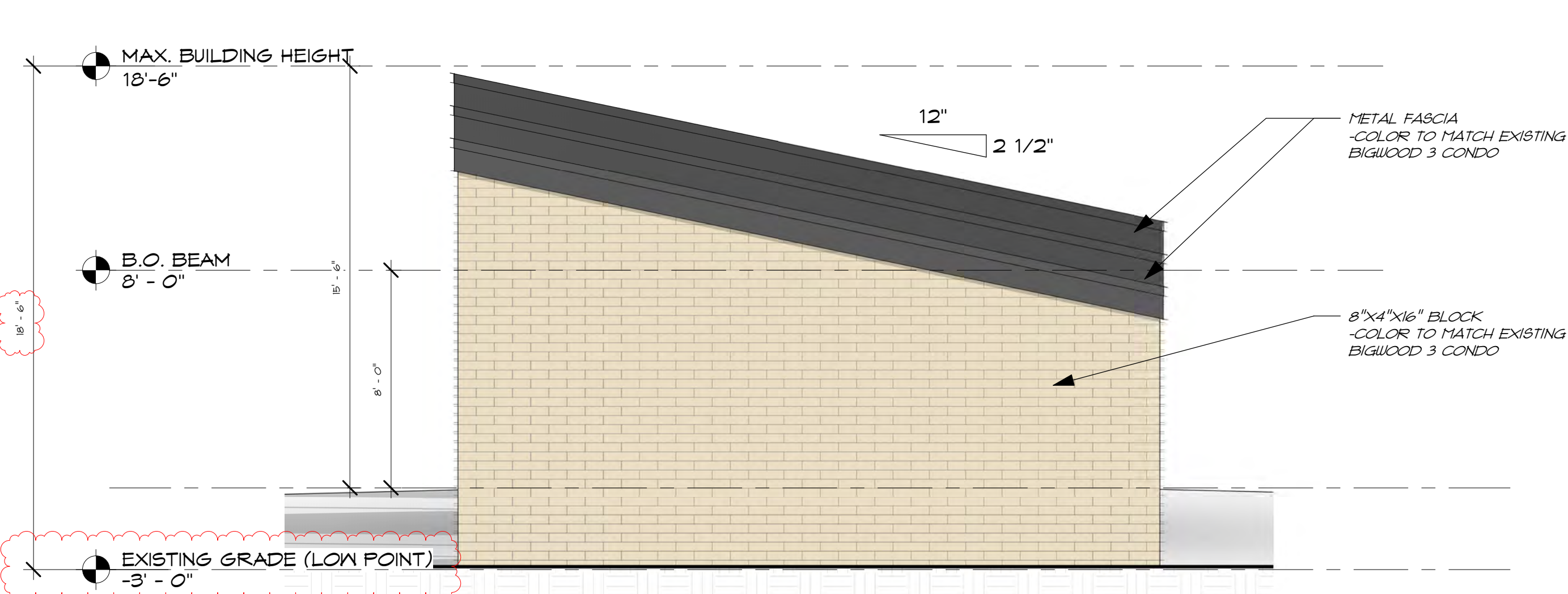
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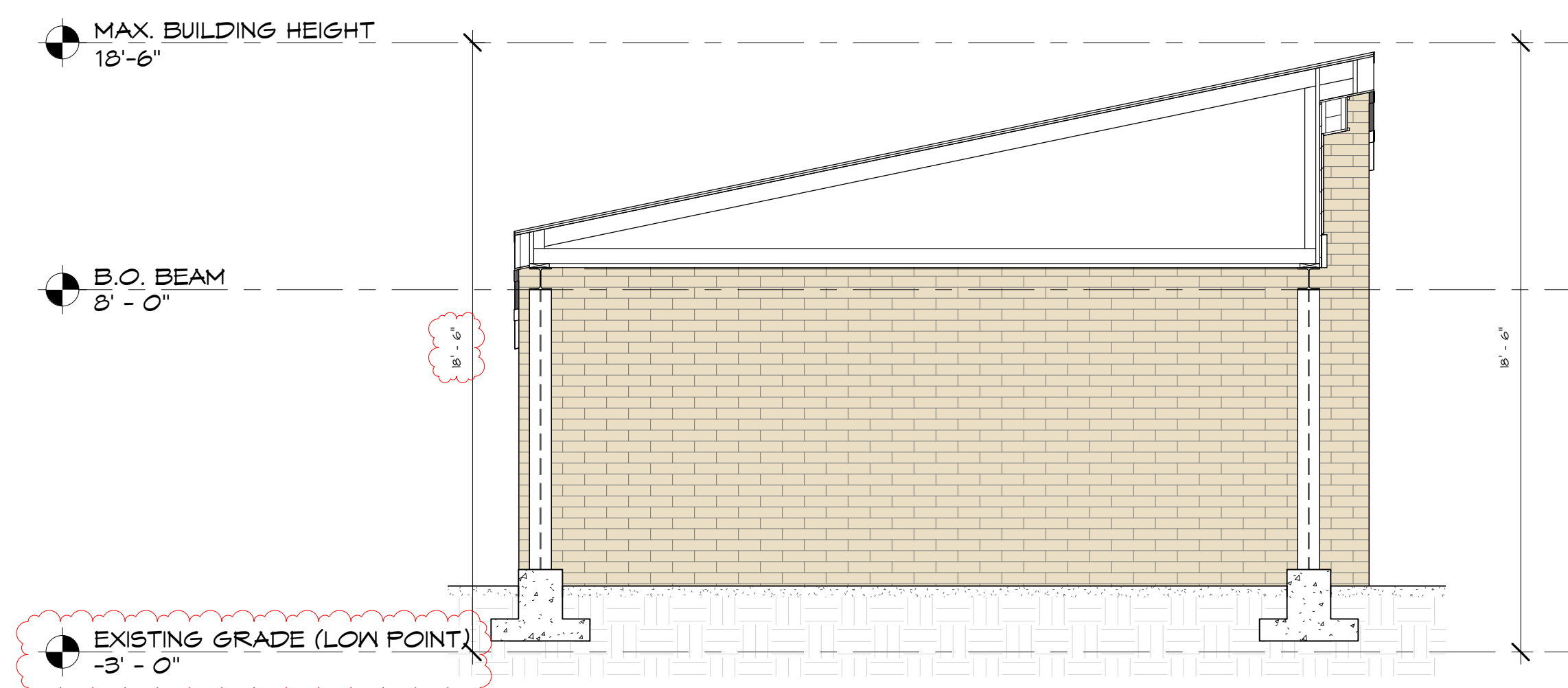




1 LEFT SIDE ELEVATION  
A8 1/4" = 1'-0"



2 RIGHT SIDE ELEVATION  
A8 1/4" = 1'-0"



3 BUILDING SECTION  
A8 1/4" = 1'-0"

# CARPORT

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TYPICAL FASCIA



BOARD AND BATT SIDING



8 X 4 X 16 DECORATIVE BLOCK

NOTE:  
MATERIALS TO MATCH EXISTING BIGWOOD 3 CONDOS



ASPHALT SHINGLE ROOF



CHARCOAL GRAY METAL  
METAL ROOF, STEEL COLUMNS AND BEAMS

Interactive spec sheet with links to larger images and spec sheets of accessories

**LD6R**  
6" Round Deep Regressed LED Open Plenum 18W

Project: \_\_\_\_\_  
Location: \_\_\_\_\_  
Model #: \_\_\_\_\_ Qty: \_\_\_\_\_  
Notes: \_\_\_\_\_

Type IC, Air-Tight, Wet & Open Plenum

**DESCRIPTION**  
6" Round Deep Regressed LED - Elegant Design Without Glare  
Commercial Grade Quality Built To Last

**FEATURES & BENEFITS**  
18W up to 1700 lm with CRI 90+  
5 single CCT, Dim to Warm & SCCT user selectable  
Type IC, Air-Tight & Wet - No Housing Required  
3 1/2" Deep - Install Where Ceiling Space is Limited  
Armored Cable & Metal Connectors - Open Plenum Rated  
Driver Inside Connection Box with Romex Quick Connectors and Knock Outs - Fast Installation & No Junction Box Needed

**DIMENSIONS** ID 6 1/8" OD 6 3/4" Cut Out 6 1/4"  
Ceiling Clearance Required: 3"

120V TRIAC Dimmable Driver Included Optional 120V-347V  
0-10V Dimmable Order Separately model # LLL-ID20507K

SPECIFICATION	
Applications	Recessed Ceiling Mount
Energy Used	18W
Color Temperature (K)	2700   3000   3500   4000   5000   DTW   SCCT
Light Output (lm)	1500   1550   1600   1650   1700   1150
Beam Angle	38°
CRI	90+
Default Driver Input	120V AC
Optional Driver Input	120V-347V AC
Junction Box Wire Capacity	Max 5 No 12 AWG or 8 No 14 AWG
Power Factor	0.98
Approved Location	Insulated Ceilings, Open Plenum, Wet
IP Rating	IP 54
Air Tight	Yes
Ambient Temperature	-40°F (-40°C) to +104°F (+40°C)
Projected Life	70% Light Output at 50,000 Hours
Certification	cULus, Energy Star (except DTW & SCCT), T24
Warranty	10 Year Residential / 5 Year Commercial

**AVAILABLE TRIMS**

White Reflector	Silver Reflector	Black Reflector	Black Reflector	Silver Reflector
White Trim	White Trim	Black Trim	Black Trim	Black Trim
WR-WT	SR-WT	BR-WT	BR-BT	SR-BT

**ACCESSORIES** Sold Separately

- Armored Low Voltage Extension JDR model# MECLD
- 26" Long Flat Rough-In Plate - model # R1P6
- 13" Flat Rough-In Plate - model # MPE-2
- Flanged Plate with Hanger Bars - model # FRP6
- Goof Ring OD 7 5/8" White # GR6 Black # GR6-BK

**COMPLIANCE**

UL LISTED E47890

Lotus LED Lights USA  
250 H Street # 301, Blaine VA 98230 tel 360-200-5200  
Hainesport NJ, Naples FL, Dallas TX, Vancouver WA

www.LotusLEDlights.com

Lotus LED Lights CANADA  
702 Chester Rd, Delta BC V3M 6J1 tel 604-538-3090  
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CEILING MOUNTED RECESSED LIGHT

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A9

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