

SITE VICINITY

LOT 6 BLOCK 13, 760 N. WASHINGTON AVENUE, KETCHUM, IDAHO



PROPERTY LOCATION

SITE VICINITY ZONING

LOT 6 BLOCK 13, 760 N. WASHINGTON AVENUE, KETCHUM, IDAHO



PROPERTY LOCATION

PROJECT DIRECTORY PROJECT DATA

CLIENT & OWNER-BUILDER SV VENTURES, LLC PO BOX 5023 (mailing) KETCHUM, ID 83340	LEGAL OWNER SV VENTURES, LLC	OWNER'S ADDRESS 760 N. WASHINGTON AVENUE KETCHUM, ID 83340 RPK00000130060 LOT #6, BLOCK #13
CONTACT ARCHITECT FOR ALL CLIENT COMMUNICATIONS	CODE 2018 IBC	ZONING CC2: COMMUNITY CORE (2)
ARCHITECT HOLLIS PARTNERS ARCHITECTS, AIA PO 1769 (POST) SUN VALLEY, ID 83353 220 RIVER STREET (COURIER) KETCHUM, ID 83340 P: 208.721.1760 / 208.721.0633 E: daniel@hp-architects.com or JJ@hp-architects.com	SETBACKS FRONT YARD 5' AVERAGE (N. Washington)	SIDE YARD 0' INTERIOR (0-3' PROPOSED)
CONTRACTOR KEARNS MCGINNIS & VANDENBERG BUILDERS 500 NORTH WASHINGTON SUITE 101 (COURIER) KETCHUM, ID 83340 P: 208.726.4843 E: erin@kmbvbuilders.com	REAR YARD 3' (ALLEY)	HT LIMITATION 42' (PROPOSED 37'-6 1/4")
STRUCTURAL ENGINEER MURAR ENGINEERING & DESIGN 668 NORTH 9th STREET (COURIER) BOISE, ID 83702 P: 208.343.4125 E: kmurar@murarengineering.com	USE OCCUPANCY RESIDENTIAL: GROUP R-2 BUSINESS: GROUP B	CONST. TYPE V-B (SPRINKLERED)
GEOTECHNICAL ENGINEER BUTLER ASSOCIATES, INC BOX 1034, KETCHUM, ID 83340 P: 208.720.6432 E: svgeotech@gmail.com	CODE COMPLIANCE: IBC 2018 IRC 2018 IECC 2018 CMEC 2018 IPMC 2018 IFC 2018	

MECHANICAL, ELECTRICAL & PLUMBING ENGINEER
MUSGROVE ENGINEERING
234 WHISPERWOOD WAY (COURIER)
BOISE, ID 83709
P: 208.384.0585
E: toddN@muscgrovepa.com

CIVIL / SURVEYORS
GALENA ENGINEERING, INC
317 N. RIVER STREET,
HAILEY, ID 83333
P: 208.788.1705
E: sflynn@galena-engineering.com

CODE COMPLIANCE
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P.O. BOX 233
WHITEFISH, MT 59937
P: 406.250.1016
E: dsal@cyberport.net

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P: 208.928.6366
E: Sarah@lathaminteriors.com

ACOUSTICS
MULLINS ACOUSTICS
10400 OVERLAND ROAD #211
BOISE, ID 83709
P: 208.514.6264
E: Ear@lammullinsacoustics.com

DRAWING INDEX

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PROVIDE REQUIRED UNDER FLOOR VENTING/
RADON MITIGATION AS REQUIRED.

PROVIDE REQUIRED UNDER FLOOR VENTING
MOLD MITIGATION AS REQUIRED.

PROVIDE UNDER FLOOR (CRAWL SPACE)
VENTILATION OF 1 CFM PER 150 SF OF FLOOR
AREA

FLOOR LIVE LOAD:	100 PSF, 40 PSF RESIDENTIAL
ROOF LIVE LOAD:	100 PSF (SNOW LOAD)
SEISMIC ZONE:	D
WIND LOADS:	115 MPH 3 SECOND GUST (ULT) CATEGORY II IMPORTANCE FACTOR = I

AREA CALCULATIONS

SITE AREA	5,501 SF
PROPOSED 1st FLR AREA (GROSS)	3,367 SF
PROPOSED 2nd FLR AREA	4,137 SF
PROPOSED 3rd FLR AREA	3,815 SF
PROPOSED DECK / PATIO AREA	892 SF
1st FLR COMMERCIAL AREA	1,526 SF
NET RESIDENTIAL AREA	7,508 SF
TOTAL GROSS BUILDING AREA	11,319 SF

GENERAL NOTES

- THE WORK INCLUDED UNDER THIS CONTRACT CONSISTS OF ALL LABOR, MATERIALS, TRANSPORTATION, TOOLS & EQUIPMENT NECESSARY FOR THE CONSTRUCTION OF THE PROJECT LEAVING ALL WORK READY FOR USE.
- THESE DRAWINGS, TOGETHER WITH THE SPECIFICATION, AIA GENERAL CONDITIONS DOCUMENT A-201, 1988 EDITION, REPRESENT THE CONTRACT DOCUMENTS.
- THE PLANS INDICATE THE GENERAL EXTENT OF NEW CONSTRUCTION NECESSARY FOR THE WORK, BUT ARE NOT INTENDED TO BE ALL-INCLUSIVE. ALL NEW WORK NECESSARY TO ALLOW FOR A FINISHED JOB IN ACCORDANCE WITH THE INTENTION OF THE DRAWINGS IS INCLUDED REGARDLESS OF WHETHER SHOWN ON THE DRAWINGS OR MENTIONED IN THE NOTES.
- ANY ERRORS, OMISSIONS, OR CONFLICTS FOUND IN THE VARIOUS PARTS OF THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE CLIENT FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
- THE GENERAL CONTRACTOR SHALL MAINTAIN A CURRENT & COMPLETE SET OF CONSTRUCTION DOCUMENTS ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION FOR USE BY ALL TRADES & SHALL PROVIDE ALL SUBCONTRACTORS WITH CURRENT CONSTRUCTION DOCUMENTS AS REQUIRED.
- THE GENERAL CONTRACTOR SHALL VERIFY & ASSUME RESPONSIBILITY FOR ALL DIMENSIONS & SITE CONDITIONS. THE GENERAL CONTRACTOR SHALL INSPECT THE EXISTING PREMISES & TAKE NOTE OF EXISTING CONDITIONS PRIOR TO SUBMITTING PRICES. NO CLAIM SHALL BE ALLOWED FOR DIFFICULTIES ENCOUNTERED WHICH COULD HAVE BEEN REASONABLY INFERRED FROM SUCH EXAMINATION.
- WRITTEN DIMENSIONS TAKE PRECEDENCE. **DO NOT SCALE DRAWINGS.**
- ALL DIMENSIONS WHEN SHOWN IN PLAN ARE TO FACE OF EXTERIOR WALL SHEATHING, FACE OF CMU, OR FACE OF INTERIOR STUD, U.N.O.
- ALL DIMENSIONS ARE TO TOP OF FINISHED FLOOR IN SECTION OR ELEVATION, U.N.O.
- THE GENERAL CONTRACTOR SHALL REVIEW ALL BUILDING DIMENSIONS FOR ACCURACY PRIOR TO LAYING OUT ANY PORTION OF BUILDING ON SITE, & SHALL NOTIFY THE ARCHITECT WELL IN ADVANCE OF ANY DISCREPANCIES OR ERRORS.
- THE GENERAL CONTRACTOR SHALL COORDINATE ALL WORK WITH EXISTING CONDITIONS, INCLUDING BUT NOT LIMITED TO IRRIGATION SYSTEMS, ELECTRICAL CONDUIT, WATER LINES, SEWER & STORMWATER LINES, GAS LINES, ETC.
- THE GENERAL CONTRACTOR SHALL PROTECT ALL EXISTING SITE CONDITIONS TO REMAIN, INCLUDING TREES & SHRUBS, PAVING, FENCES, WALLS, ETC.
- DETAILS SHOWN ARE TYPICAL. SIMILAR DETAILS APPLY IN SIMILAR CONDITIONS.
- VERIFY ALL ARCHITECTURAL DETAILS WITH THE STRUCTURAL DRAWINGS PRIOR TO THE ORDERING OF, OR INSTALLATION OF ANY ITEM OF WORK.
- INSTALL ALL EQUIPMENT & MATERIALS PER MANUFACTURER'S RECOMMENDATIONS.
- VERIFY CLEARANCES FOR FLUES, VENTS, CHASES, SOFFITS, FIXTURES, ETC. PRIOR TO ANY CONSTRUCTION, ORDERING OF, OR INSTALLATION OF ANY ITEM OF WORK.
- SEALANT, CAULKING & FLASHING, ETC. LOCATIONS SHOWN ON DRAWINGS ARE NOT INTENDED TO BE INCLUSIVE. FOLLOW MANUFACTURER'S INSTALLATION RECOMMENDATIONS & STANDARD INDUSTRY & BUILDING PRACTICES.
- THE GENERAL CONTRACTOR SHALL REMOVE ALL RUBBISH, DEBRIS, & WASTE MATERIALS ON A REGULAR BASIS OF ALL SUBCONTRACTORS & TRADES, & SHALL EXERCISE STRICT CONTROL OVER JOB CLEANING TO PREVENT ANY DIRT, DEBRIS, OR DUST FROM AFFECTING, IN ANY WAY, FINISHED AREAS INSIDE OR OUTSIDE THE JOB SITE.
- THE GENERAL CONTRACTOR SHALL PROVIDE SOLID BLOCKING AS REQUIRED FOR THE INSTALLATION OF ALL EQUIPMENT, CASEWORK, CABINETS, WOOD TRIM, ACCESSORIES, HANDRAILS, ETC.
- FOR ALL FINISHES AT FLOORS, WALLS, & CEILINGS, REFER TO INTERIORS.
- DRIVEWAY ORIENTATION, HARDCAPE, & LANDSCAPE ARE DESIGN/BUILD UNDER THE DIRECT SUPERVISION OF THE GENERAL CONTRACTOR INCLUDED UNDER THIS CONTRACT. FOLLOW LANDSCAPE & ARCHITECTURAL DRAWINGS WHERE APPROPRIATE FOR DESIGN INTENT.
- THE GENERAL CONTRACTOR SHALL ADHERE TO ALL APPLICABLE BUILDING CODES, AS WELL AS CITY, COUNTY, & STATE BUILDING REGULATIONS. ALSO ADHERE TO D.S.H.A GUIDELINES.

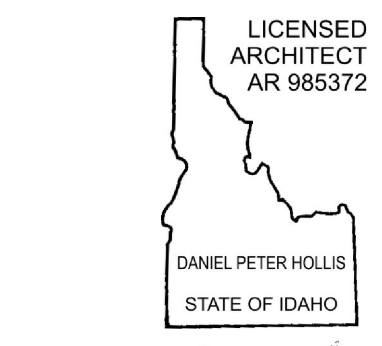
SYMBOLS LEGEND

	GRID NO.		WALL TYPE
	DOOR NO.		FIN. CLNG MAT.
	WINDOW NO.		FIN. FLR MAT.
	INTERCONNECTED, HARDWIRED, BATT. BACKUP SMOKE ALARM / DETECTOR		CEILING MOUNTED EXHAUST FAN
	ELEV. KEY		ROOM NO. / ENLARGED PLAN & INT. ELEVATION SHEET NO.
	ELEV. KEY		ELEVATION MARKER
	SECT. KEY		
	INT. ELEV. KEY		



PO BOX 1769 [post]
SUN VALLEY, ID 83353
220 River St. E [courier]
KETCHUM, ID 83343

V.208.721.7160



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MECHANICAL SPECIFICATIONS
ELECTRICAL SPECIFICATIONS
PLUMBING SPECIFICATIONS

DRAWINGS BY DESIGN / BUILD CONTRACTOR
REPORT & DETAILS (EARL MULLINS)

LOOKBOOK / SPECIFICATIONS (FORTHCOMING)

GEOTECH SOILS REPORT
ENERGY COMPLIANCE
NGBS PLAN

REVISION DATE

FINAL DR#2	10/11/21
FINAL DR	08/17/21
PRE-APP#3	07/23/21
DR ADD.	06/09/21
100% DD	05/07/21
D.REVIEW	03/23/21
SCHEMATIC	03/16/21
ISSUE/DATE	DPH_JJR
DRAWN BY	DPH_JJR
CHECKED BY	DPH_JJR
DATE	02/15/21
JOB NO.	1076

760
N. Washington
Ave

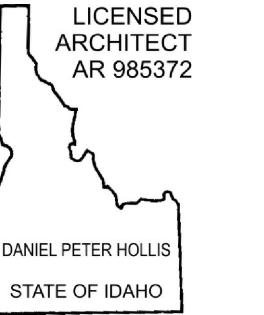
760 N. WASHINGTON AVE,
KETCHUM, IDAHO

PROJECT DATA
GENERAL NOTES

A CATEGORY
0.0 SEQUENCE



1 BUILDING MASSING MODEL
A0.1



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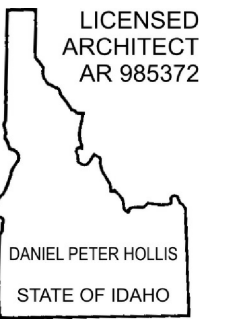
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100% DD 05/07/21	
D.REVIEW 03/23/21	
SCHMATIC 03/16/21	
DRAWN BY DPH,JJR	
CHECKED BY DPH,JJR	
DATE 02/15/21	
JOB NO. 1076	

**760
N. Washington
Ave**

760 N. WASHINGTON AVE,
KETCHUM, IDAHO

**BUILDING
MASSING MODEL**

A 0.1
CATEGORY SEQUENCE



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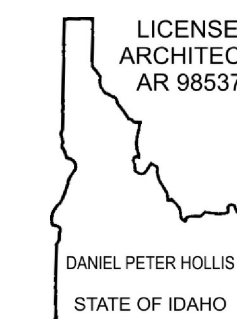
**760
 N. Washington
 Ave**

760 N. WASHINGTON AVE,
 KETCHUM, IDAHO

**BUILDING
 MASSING MODEL**

A 0.2
CATEGORY SEQUENCE

1 BUILDING MASSING MODEL
 A0.2



Daniel Hollis

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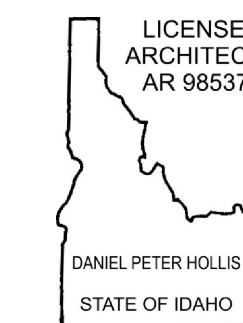
760
N. Washington
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760 N. WASHINGTON AVE,
 KETCHUM, IDAHO

BUILDING
MASSING MODEL

A **0.3**
CATEGORY SEQUENCE

1 BUILDING MASSING MODEL WITH SURROUNDING CONTEXT
 A0.3



Daniel Peter Hollis

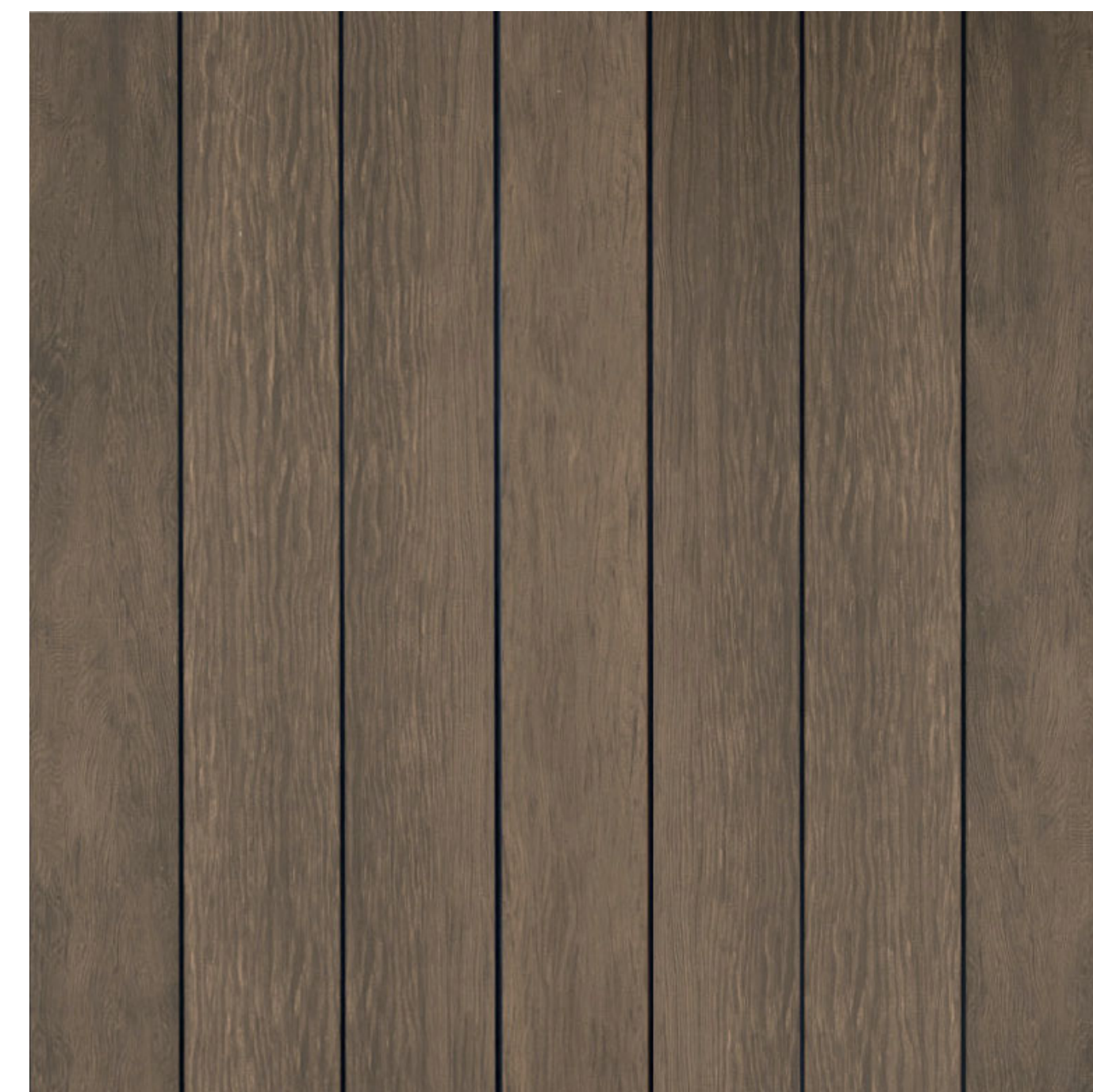
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FINISHED GREY METAL ROOF



BOARD FORMED FINISH CONCRETE



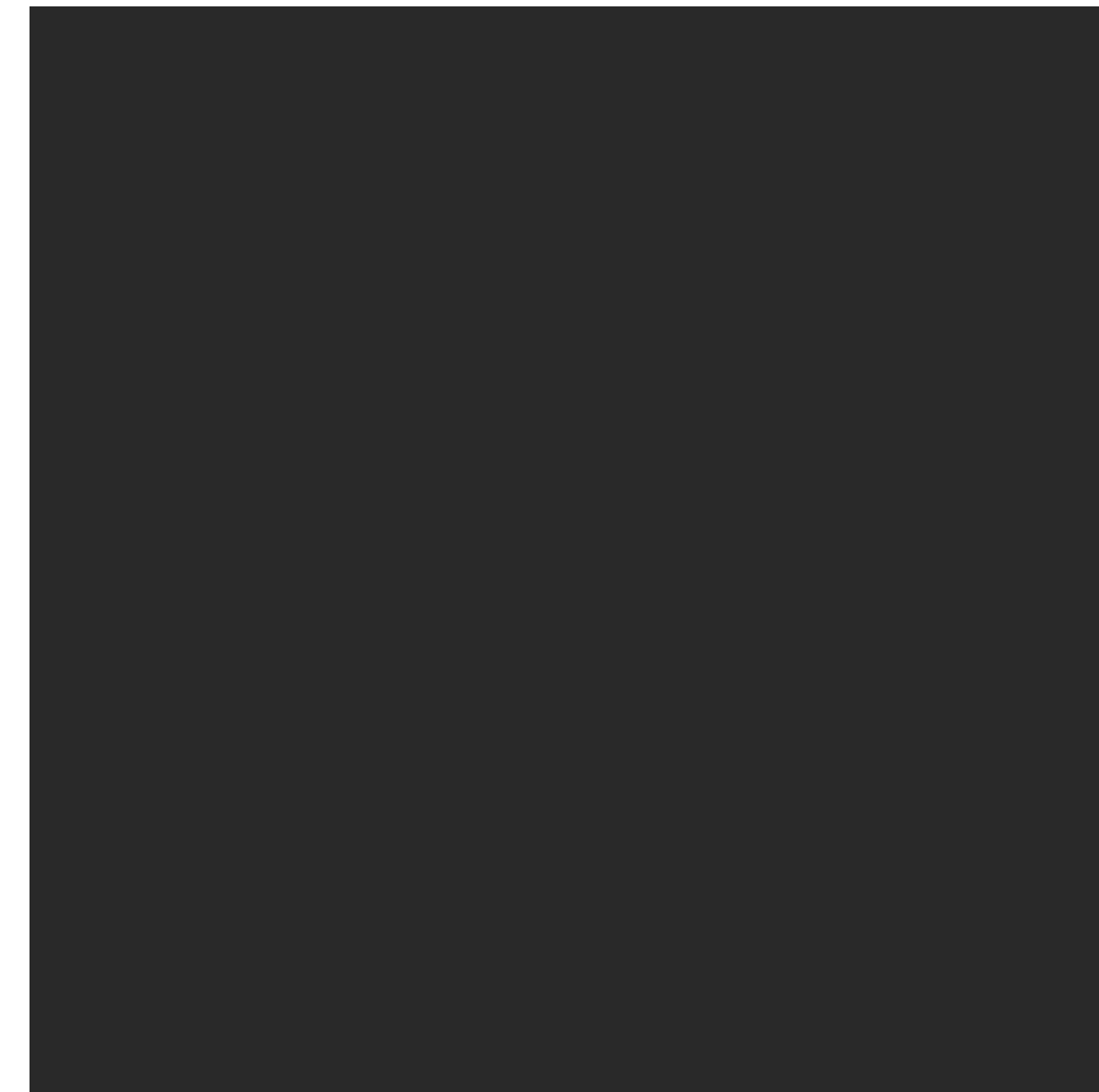
SIPARILA WOOD SIDING



BRONZE/BLACK COLORED DOORS AND WINDOWS



WESTERN RIB GREY CORRUGATED METAL



GRAPHITE BLACK STONEWOOD SIDING

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760
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Ave

760 N. WASHINGTON AVE,
 KETCHUM, IDAHO

**EXT. MATERIALS &
 COLORS SAMPLE**

A **0.6**
CATEGORY SEQUENCE

791 WARM SPRINGS RD

LOT 2, BLK 13

731 WARM SPRINGS RD

271 E 7TH ST

ALLEY (BLOCK 13)
(20' RW)

200 E 8TH ST

760 N WASHINGTON AVE
LOT 6, BLK 13
±5,501 S.F.
±0.13 AC.

LOT 7, BLK 13

700 N WASHINGTON AVE

GRAVEL PARKING AREA

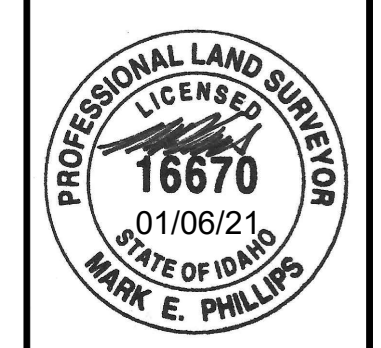
LEGEND

- Property Line
- Adjoiner's Lot Line
- Centerline
- FDAC = Found Aluminum Cap
- FD5/8 = Found 5/8" Rebar
- FD1/2 = Found 1/2" Rebar
- CNTRL = Survey Control
- 5' Contour Interval
- DL = Dripline of Vegetation
- Curb & Gutter
- FNC = Fence Line
- Building
- Asphalt
- Concrete Sidewalk
- Gravel Drive
- Wood Deck/ADA Access
- EOG = Edge Of Gravel
- GM = Gas Main
- Overhead Power Line
- Power Pole
- Sewer Main
- SS = Sewer Service
- DWELL = Dry Well
- KCW = Ketchum City Water Line (8")
- KSW = Ketchum Spring Line (4")
- WS = Water Service
- FH = Fire Hydrant
- FFH = Frost Free Hydrant
- WV = Water Valve
- AP = Angle Point
- BEG = Beginning
- BOW = Back of Walk
- CC = Curb Cut
- COR = Corner
- EOA = Edge of Asphalt
- IC = Illegible Cap
- INT = Intersection
- LIP = Lip of Gutter
- NG = No Cap
- Natural Ground
- RP = Reference Point
- TA = Top of Asphalt
- TBC = Top Back of Curb

NOTES

- The purpose of this map is to show topographical information as it existed on the date the field survey was performed. Changes may have occurred to site conditions since survey date (12/28/2020).
- Boundary information is based on Found Centerline Monumentation and block breakdown. Please refer to the Official Map of the Village of Ketchum, Instr#302967, records of Blaine County, Idaho. Found lot corner monuments, with no accompanying recorded survey, vary slightly from the proportioned boundary shown hereon.
- Underground utility locations are based on above ground appurtenances / utilities visible at the time of the survey, and underground utility locates performed for previous work, and City maps. Utilities should be located prior to any excavation.
- Galena Engineering Inc. has not received a Title Policy from the client and has not been requested to obtain one. Relevant information that may be contained within a Title Policy may therefore not appear on this map and may affect items shown hereon. It is the responsibility of the client to determine the significance of the Title Policy information and determine whether it should be included. If the client desires for the information to be included they must furnish said information to Galena Engineering, Inc. and request it be added to this map.
- Benchmark is top of 1/2" rebar marking the southwest corner of lot, elevation = 5814.38. Point elevations shown are truncated (i.e. 19.2 is 5819.2). Vertical Datum is NAVD 1988.

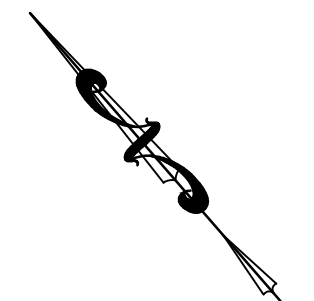
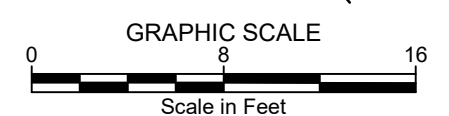
A TOPOGRAPHIC MAP SHOWING
LOT 6, BLOCK 13, CITY OF KETCHUM
760 N WASHINGTON AVENUE
 LOCATED WITHIN SECTION 13, T.4 N., R.17 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
 PREPARED FOR GALENA PEAK PARTNERS / HOLLIS RUMPFELT ARCHITECTS



DESIGNED BY
 CT
 DRAWN BY
 SMF
 CHECKED BY

GALENA
ENGINEERING, INC.
 Civil Engineers & Land Surveyors
 317 N. River Street
 Hailey, Idaho 83433
 (208) 768-1705
 email: galena@galena-engineering.com

PURPOSE:	NO.	DATE	BY	REVISIONS
TOPO				

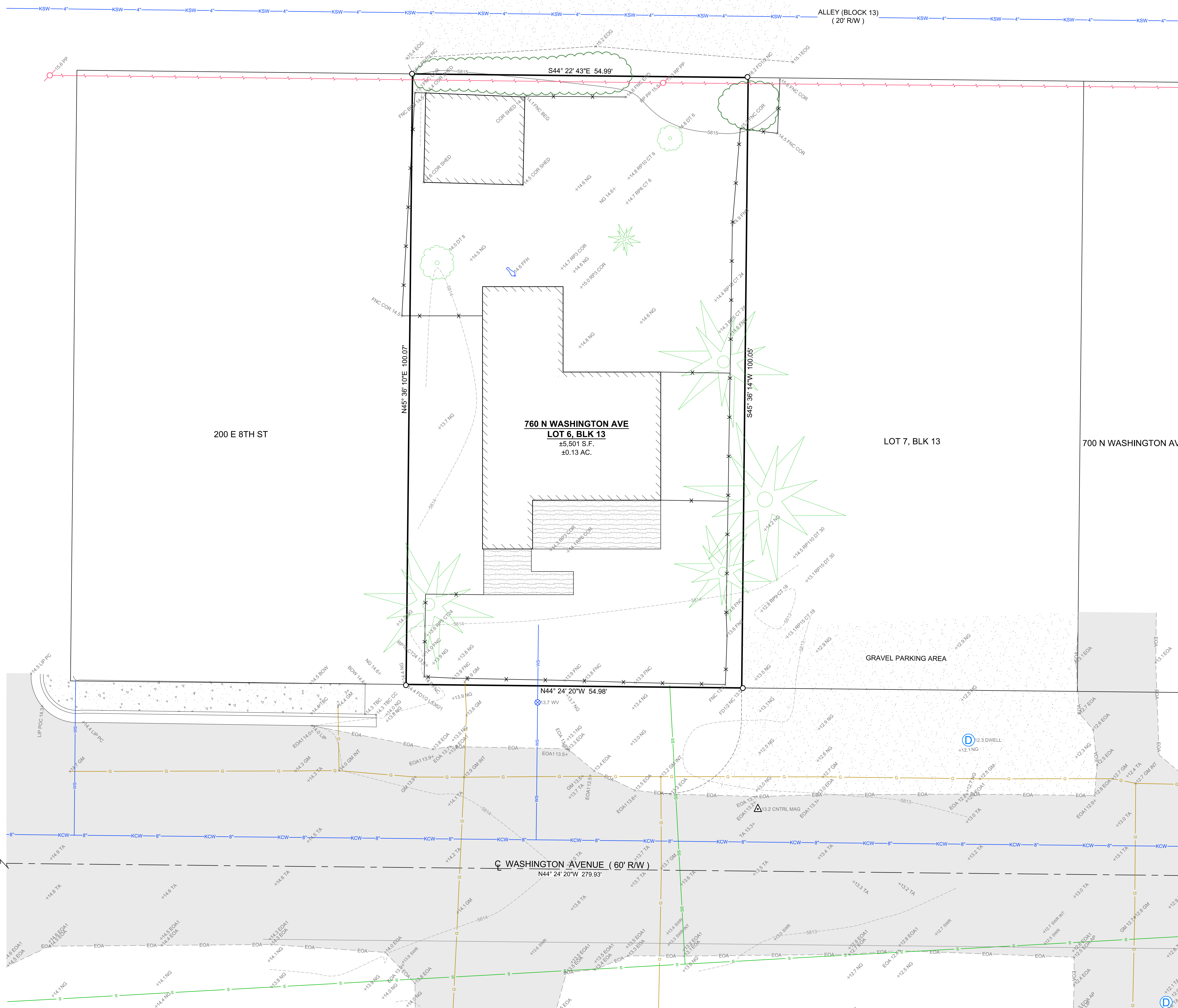


REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any project or extension of this Project except by agreement in writing with Galena Engineering, Inc.

8 EIGHTH STREET (60' RW)

SEVENTH STREET (60' RW)

WASHINGTON AVENUE (60' RW)



760 N WASHINGTON AVENUE KETCHUM, IDAHO OCTOBER 2021

CONSTRUCTION NOTES

1. ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE "IDAHO REGULATIONS FOR PUBLIC DRINKING WATER SYSTEMS," THE CURRENT EDITION OF THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISPCW), AND CITY OF KETCHUM STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ISPCW ON SITE DURING CONSTRUCTION.
2. THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES PRIOR TO COMMENCING AND DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL CALL DIGLINE (1-800-342-1585) TO LOCATE ALL EXISTING UNDERGROUND UTILITIES.
3. THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION, INCLUDING BUT NOT LIMITED TO, EPA'S NPDES CONSTRUCTION GENERAL PERMIT.
4. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION.
5. CONSTRUCTION OF WATER MAINS AND ALL OTHER RELATED APPURTENANCES SHALL BE IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPCW), IDAPA 58.01.08, IDAHO RULES FOR PUBLIC DRINKING WATER SYSTEMS AND THE CITY OF KETCHUM UTILITIES DEPARTMENT STANDARDS.
6. CONTRACTOR SHALL PRESSURE TEST, DISINFECT, AND CONDUCT BIOLOGICAL TESTING IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPCW), AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS, AND THE PRESSURE TESTING, DISINFECTION, AND MICROBIOLOGICAL TESTING PROCEDURES.
7. ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL BE ANSINSF STD. 61 COMPLIANT.
8. ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL COMPLY WITH THE LOW LEAD ACT REQUIRING ALL MATERIALS TO HAVE A LEAD CONTENT EQUAL TO OR LESS THAN 0.25%.
9. THE CONTRACTOR SHALL USE ANSINSF STANDARD 60 CHEMICALS AND COMPOUNDS DURING INSTALLATION & DISINFECTION OF POTABLE WATER MAIN.
10. CONTRACTOR SHALL COORDINATE LOCATIONS OF DRY UTILITY FACILITIES (POWER, CABLE, PHONE, TV) NOT SHOWN ON THE DRAWING WITH IDAHO POWER.
11. ALL CLEARING & GRUBBING SHALL CONFORM TO ISPCW SECTION 201.
12. ALL EXCAVATION & EMBANKMENT SHALL CONFORM TO ISPCW SECTION 202. EXCAVATED SUBGRADE SHALL BE COMPACTED AND ALL UNSUITABLE SECTIONS REMOVED AND REPLACED WITH STRUCTURAL FILL AS DETERMINED BY THE ENGINEER. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
13. ALL 2" MINUS GRAVEL SHALL CONFORM TO ISPCW 802, TYPE II (ITD STANDARD 703.04, 2"). SHALL BE PLACED IN CONFORMANCE WITH ISPCW SECTION 801 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99.
14. ALL 3/4" MINUS CRUSHED GRAVEL SHALL CONFORM TO ISPCW 802, TYPE I (ITD STANDARD 703.04, 3/4" B). SHALL BE PLACED IN CONFORMANCE WITH ISPCW SECTION 802 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
15. ALL ASPHALTIC CONCRETE PAVEMENT WORK SHALL CONFORM TO ISPCW SECTION(S) 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (13MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPCW SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPCW SECTION 805.
16. ALL EDGES OF EXISTING ASPHALT PAVING SHALL BE SAW CUT 24" TO PROVIDE A CLEAN PAVEMENT EDGE FOR MATCHING. NO WHEEL CUTTING SHALL BE ALLOWED.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL PER THE CURRENT EDITION OF THE US DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
18. ALL CONCRETE FORM WORK SHALL CONFORM TO ISPCW SECTION 701 AND 703. ALL CONCRETE SHALL BE 3,000 PSI MINIMUM, 28 DAY, AS DEFINED IN ISPCW SECTION 703, TABLE 1.
19. ALL TRENCHING SHALL CONFORM TO ISPCW STANDARD DRAWING SD-301. TRENCHES SHALL BE BACKFILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
20. TOPOGRAPHIC, SITE, AND BOUNDARY SURVEYS SHOWN HEREON WERE CONDUCTED BY GALENA ENGINEERING.
21. PER IDAHO CODE § 55-1613, THE CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS; ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS THAT ARE LOST OR DISTURBED BY CONSTRUCTION SHALL BE REESTABLISHED AND RE-MONUMENTED, AT THE EXPENSE OF THE AGENCY OR PERSON CAUSING THEIR LOSS OR DISTURBANCE AT THEIR ORIGINAL LOCATION OR BY SETTING OF A WITNESS CORNER OR REFERENCE POINT OR A REPLACEMENT BENCHMARK OR CONTROL POINT, BY OR UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR.
22. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIRING A MATERIALS TESTING COMPANY DURING CONSTRUCTION TO VERIFY ALL COMPACTION AND MATERIAL PLAN AND SPECIFICATION REQUIREMENTS ARE MET. QUALITY CONTROL DOCUMENTATION OF TESTING FOR WORK IN RIGHT-OF-WAY MEETING CITY OF KETCHUM CODE SECTION 12.04.040 (CONCRETE, AGGREGATE BASE COMPACTION, ASPHALT COMPACTION) WILL BE NECESSARY FOR CERTIFICATE OF OCCUPANCY.

LEGEND

EXISTING ITEMS	PROPOSED ITEMS
Property Line	CONCRETE SIDEWALK
Adjoiner's Lot Line	CONCRETE 6" VERTICAL CURB
Centerline	PAVERS
FDAC = Found Aluminum Cap	SIGN
FD5/8 = Found 5/8" Rebar	STORM DRAIN
FD1/2 = Found 1/2" Rebar	DRYWELL WITH GRATED LID
CNTRL = Survey Control	SAWCUT LINE
5' Contour Interval	FLOW LINE
1' Contour Interval	ROAD PAINT (WHITE OR YELLOW)
DL = Dripline of Vegetation	GRADE
Curb & Gutter	GRADE BREAK
FNC = Fence Line	STREET LIGHT
Building	DRYWELL
Asphalt	GRAVEL
Concrete Sidewalk	
Gravel Drive	
Wood Deck/ADA Access	
EOG = Edge Of Gravel	
CT = Conifer Tree	
DT = Deciduous Tree	
GM = Gas Main	
Overhead Power Line	
Power Pole	
Sewer Main	
SS = Sewer Service	
DWELL = Dry Well	
KCW = 8"	Ketchum City Water Line (8")
KSW = 4"	Ketchum Spring Line (4")
WS = Water Service	
FH = Fire Hydrant	
FFH = Frost Free Hydrant	
WV = Water Valve	
AP = Angle Point	
BEG = Beginning	
BOW = Back of Walk	
CC = Curb Cut	
COR = Corner	
EOA = Edge of Asphalt	
IC = Illegible Cap	
INT = Intersection	
LIP = Lip of Gutter	
NC = No Cap	
NG = Natural Ground	
RP = Reference Point	
TA = Top of Asphalt	
TBC = Top Back of Curb	

SHEET INDEX

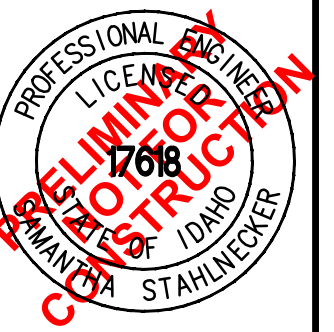
SHEET#	DESCRIPTION
C0.1	COVER SHEET
C1.0	LAYOUT, GRADING, AND DRAINAGE PLAN
C2.0	DETAILS

COVER SHEET

760 N WASHINGTON AVENUE

LOCATED WITHIN SECTION 13, T.4 N., R.17 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR GALENA PEAK PARTNERS/HOLLIS RUMPFELTES ARCHITECTS

PROJECT INFORMATION
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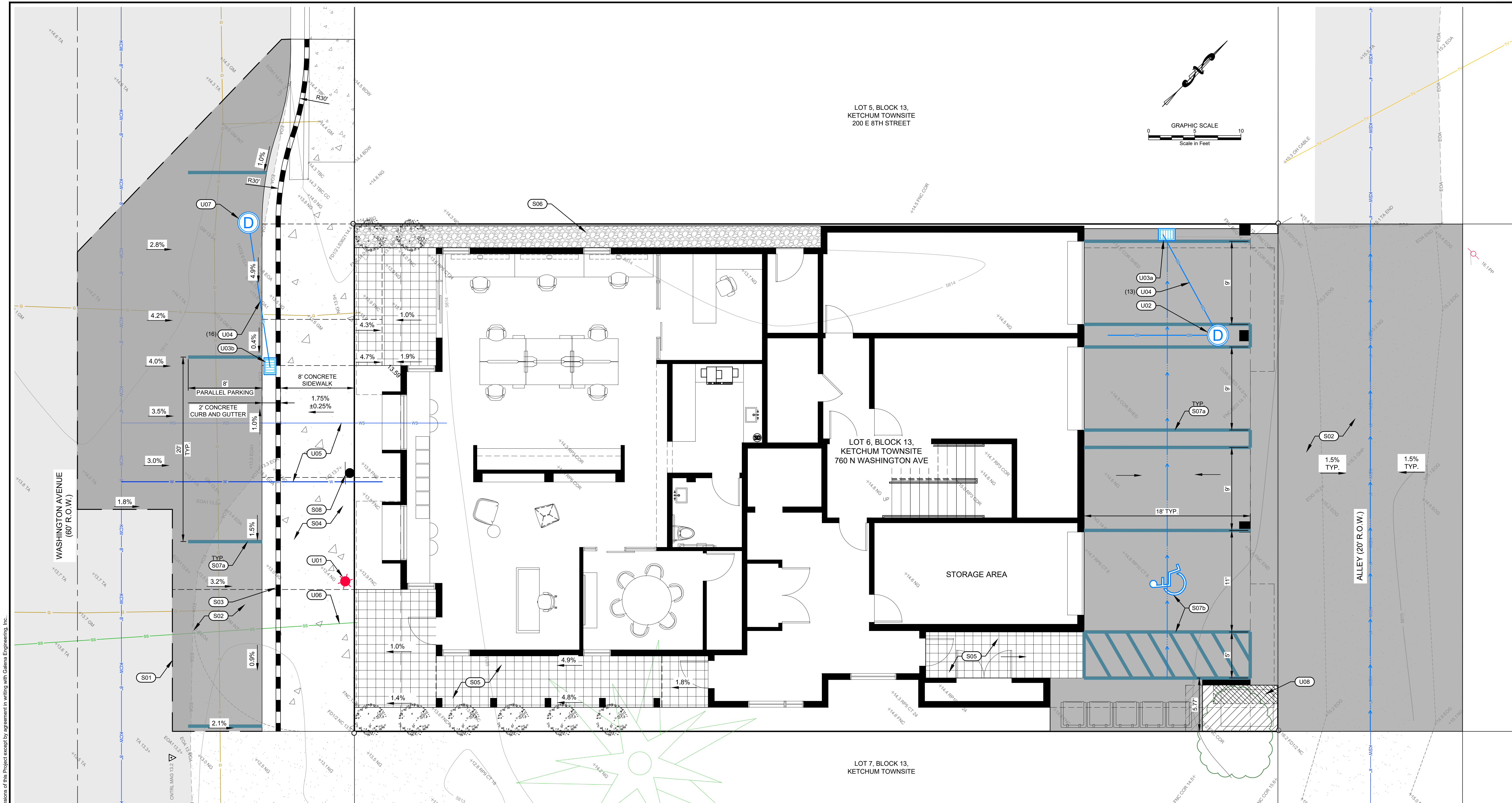
SKS
DESIGNED BY
SKS
DRAWN BY
SMF
CHECKED BY

GALENA
ENGINEERING, INC.
Civil Engineers & Land Surveyors
317 N. River Street
Halley, Idaho 83333
(208) 768-1705
email: galena@galena-engineering.com

PURPOSE: FINAL DESIGN REVIEW- AUGUST 17, 2021

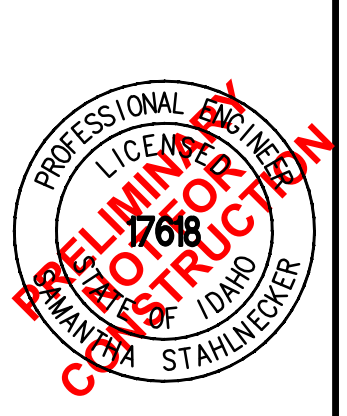
NO.	DATE	BY	REVISIONS
1	10/12/2021	SKS	RESPONSE TO 10/8/21 CITY COMMENTS

C0.1



LAYOUT, GRADING, AND DRAINAGE PLAN
760 N WASHINGTON AVENUE
 LOT 5, BLOCK 13, KETCHUM TOWNSITE
 200 E 8TH STREET

LOCATED WITHIN SECTION 13, T.4 N., R.17 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
 PREPARED FOR GALENA PEAK PARTNERS / HOLLIS RUMPELT ARCHITECTS



SKS DESIGNED BY
 SKS DRAWN BY
 SMF CHECKED BY

GALENA ENGINEERING, INC.
 Civil Engineers & Land Surveyors
 317 N. River Street
 Halley, Idaho 83333
 (208) 768-1705
 email: galena@galena-engineering.com

GENERAL NOTE
 SEE SHEET C0.1 FOR CONSTRUCTION NOTES AND LEGEND.

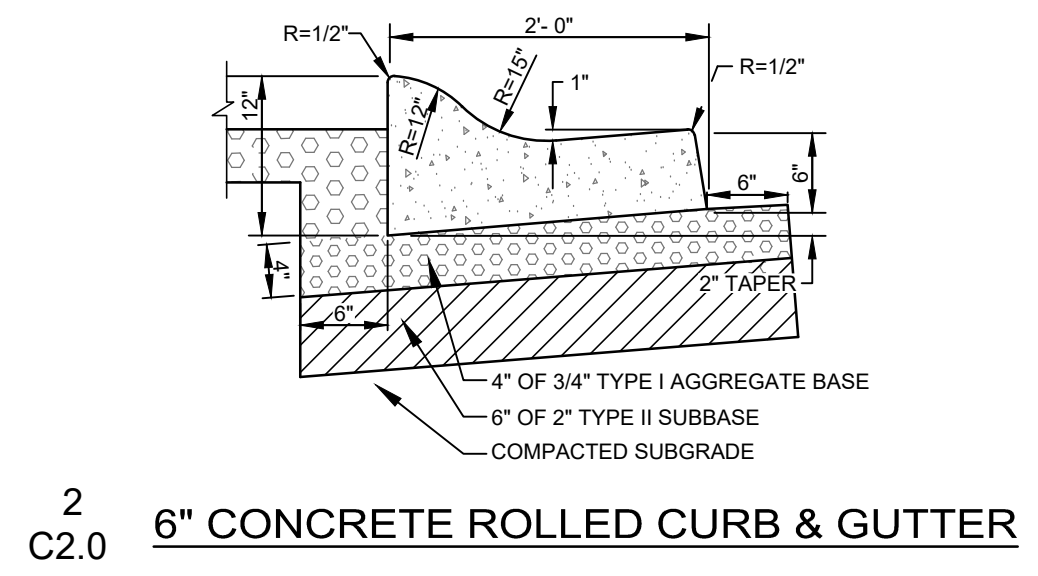
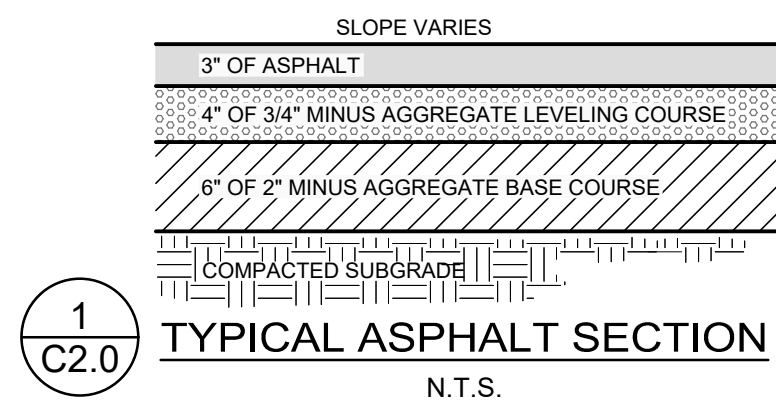
- CONSTRUCTION KEYNOTES**
- SITE IMPROVEMENTS**
- (S01) SAWCUT EXISTING ASPHALT TO PROVIDE FOR A CLEAN VERTICAL EDGE.
 - (S02) CONSTRUCT/ REPAIR ASPHALT. SEE DETAIL 1, SHEET C2.0.
 - (S03) CONSTRUCT 6" CONCRETE ROLLED CURB AND GUTTER PER DETAIL 2, SHEET C2.0.
 - (S04) CONSTRUCT HEATED CONCRETE SIDEWALK PER DETAIL 3, SHEET C2.0
 - (S05) INSTALL PAVERS PER ARCHITECT.
 - (S06) INSTALL GRAVEL SURFACE PER DETAIL 4, SHEET C2.0
- SIGNING AND PAVEMENT MARKING IMPROVEMENTS** (PIPE LENGTH, LF)
- (S07) INSTALL PAVEMENT MARKINGS PER CITY OF KETCHUM STANDARDS
 - a. 4" WIDE YELLOW PARKING STRIPE
 - b. 4" WIDE ADA STRIPING AND SYMBOL
 - (S08) INSTALL REGULATORY SIGN, COORDINATE TYPE AND FINAL LOCATION WITH CITY OF KETCHUM. CITY WILL PROVIDE SIGN BASES. SEE DETAIL 5, SHEET C2.0 FOR SIGN BASE DETAIL.
- UTILITY IMPROVEMENTS**
- (U01) INSTALL STREET LIGHT PER CITY OF KETCHUM STANDARDS. APPROXIMATE LOCATION SHOWN.
 - (U02) INSTALL DRYWELL PER DETAIL 7, SHEET C2.0. CONNECT ROOF DRAINS PER ARCH. RIM ELEV = XX (SOLID GRATE) I.E. (IN, 12" NW) = XX I.E. (IN, 4" W) = XX
 - (U03) INSTALL CATCH BASIN PER DETAIL 6, SHEET C2.0.
 - a. RIM ELEV = XX I.E. (OUT) = XX
 - b. RIM ELEV = XX I.E. (OUT) = XX
 - (U04) INSTALL 12"Ø D3034 PVC PIPE @ S=2.0% MIN. 3.0' MINIMUM COVER.
 - (U05) CUT, CAP, AND REMOVE EXISTING SERVICE AT WATER MAIN. INSTALL NEW WATER SERVICE. NEW SERVICE SIZE TO BE DETERMINED BY PLUMBING ENGINEER.
 - (U06) RETAIN, PROTECT, UTILIZE EXISTING 4"Ø SEWER SERVICE.
 - (U07) INSTALL DRYWELL PER DETAIL 9, SHEET C2.0. RIM ELEV = XX (SOLID GRATE) I.E. (IN) = XX
 - (U08) ALL EXISTING COMMUNICATIONS INFRASTRUCTURE SHALL BE RELOCATED UNDERGROUND.

PURPOSE: FINAL DESIGN REVIEW- AUGUST 17, 2021

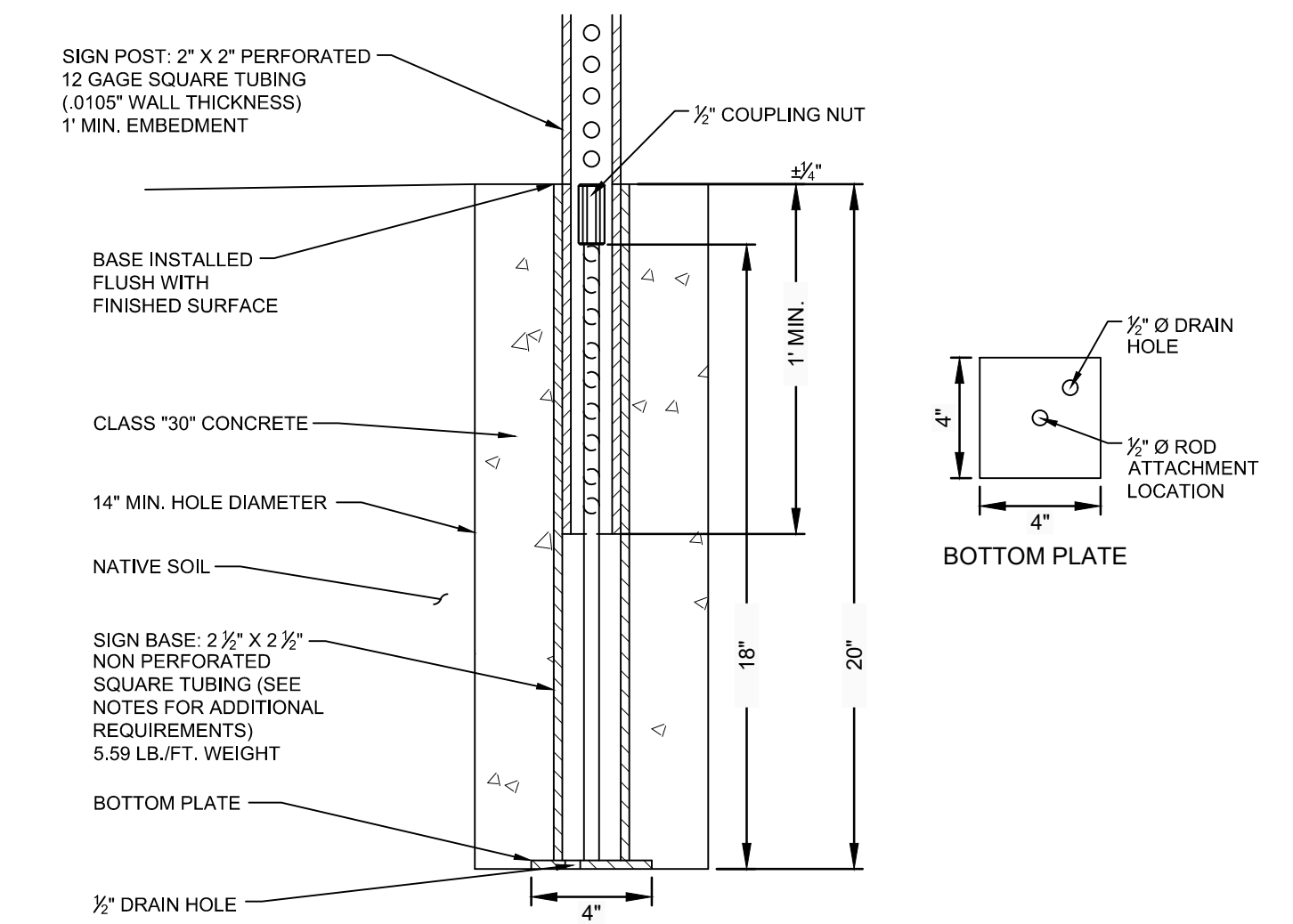
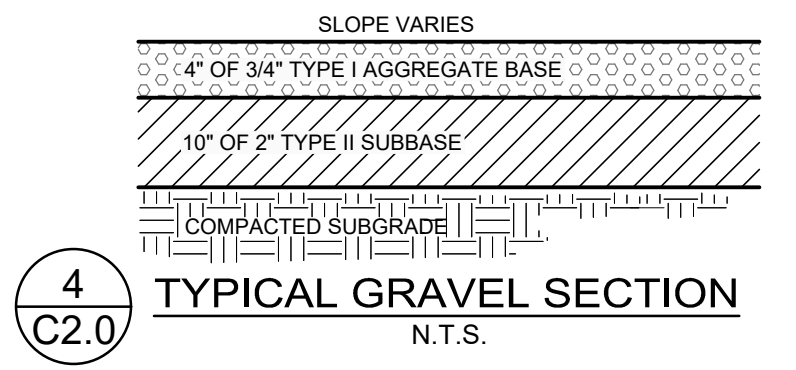
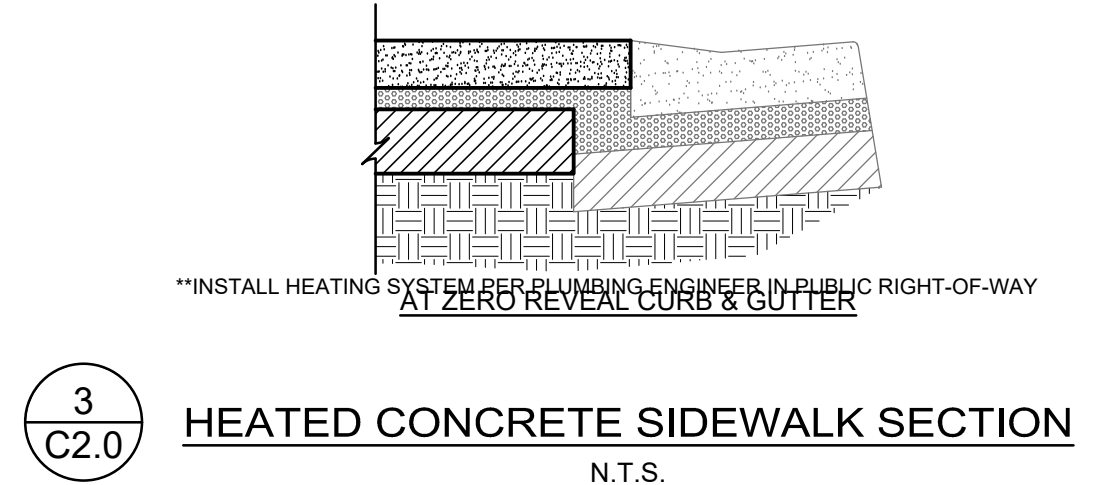
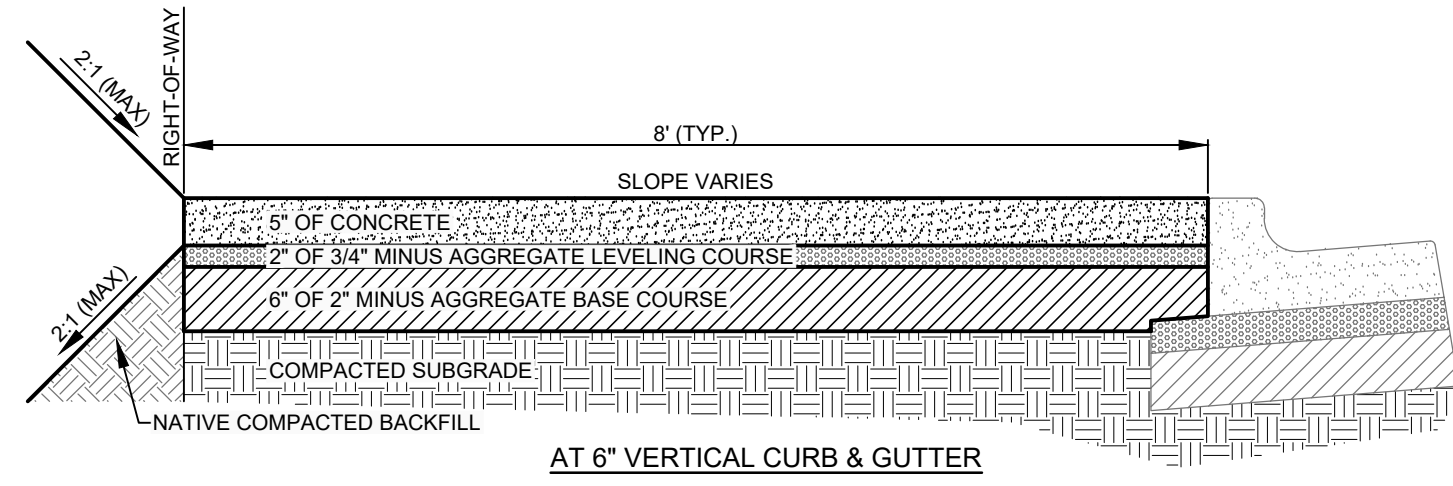
NO.	DATE	BY	REVISIONS
1	10/12/2021	SKS	RESPONSE TO 10/8/21 CITY COMMENTS

C1.0

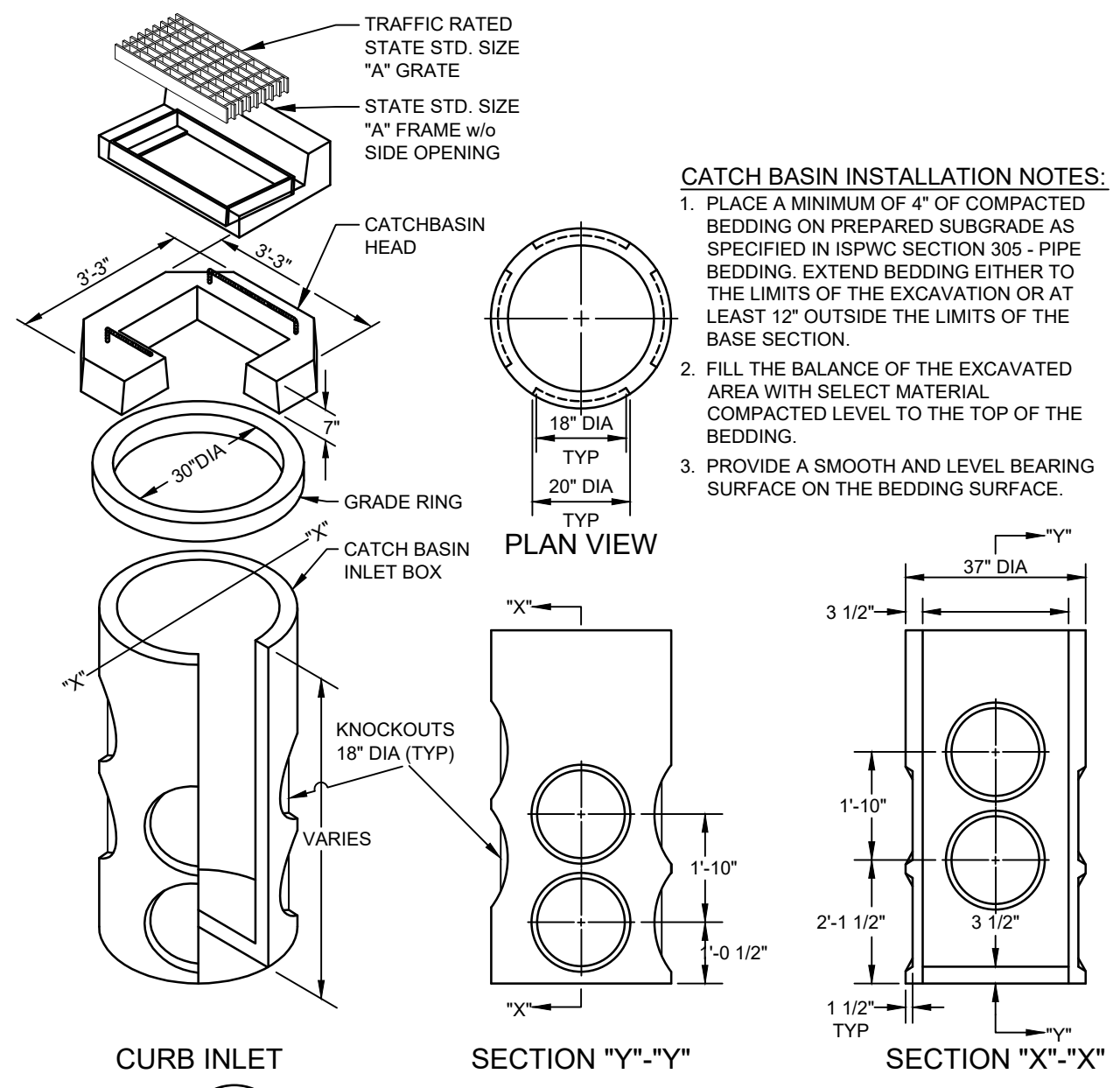
REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any project or extension of this Project except by agreement in writing with Galena Engineering, Inc.



- NOTES:**
- 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADI.
 - CONTINUOUS PLACEMENT PREFERRED. SCORE INTERVALS TO MATCH SIDEWALK WITH 10-FOOT MAXIMUM SPACING.
 - MATERIALS SHALL CONFORM WITH CURRENT ISPCW STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.

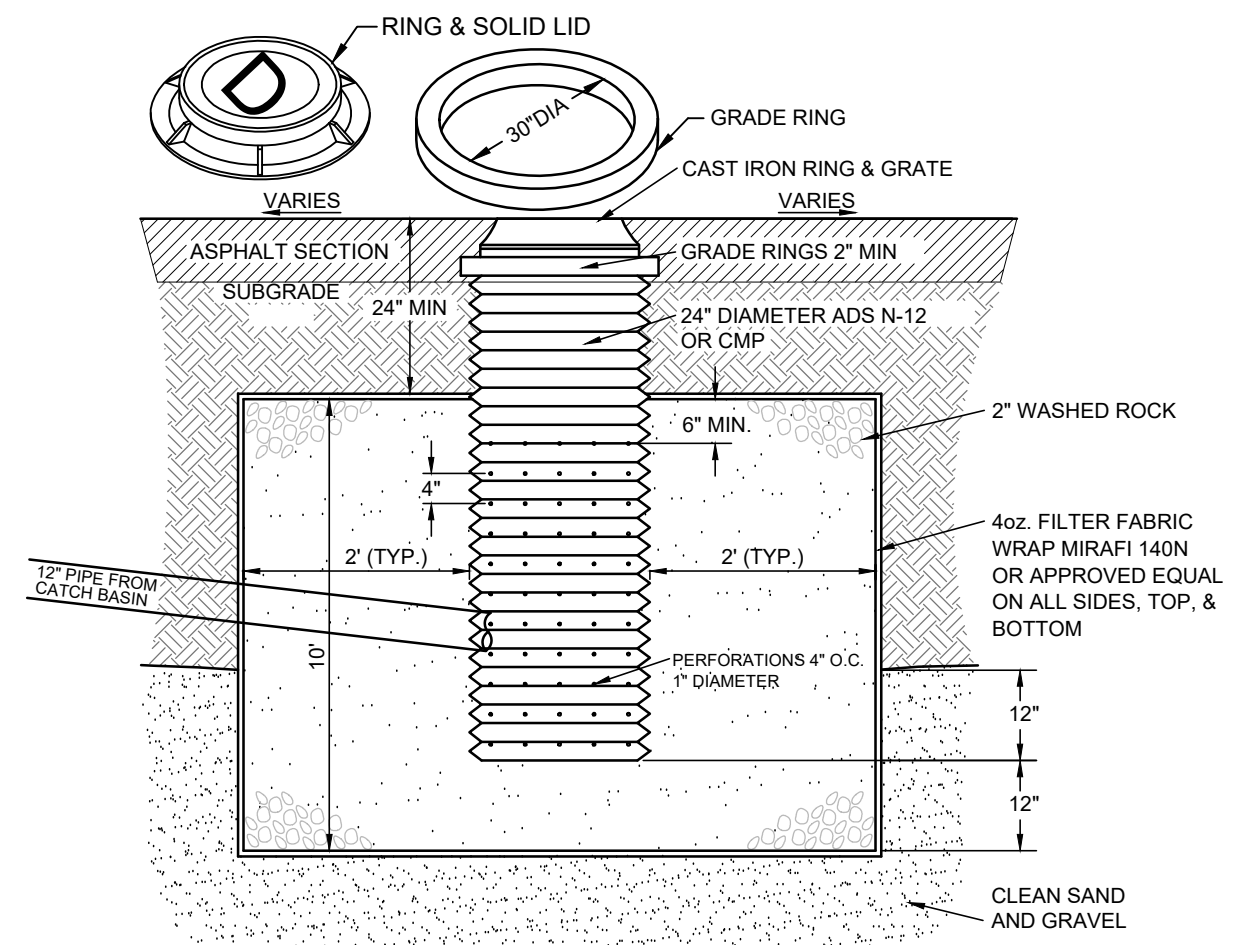


- NOTES:**
- BASES SHALL BE INSTALLED TO BE FLUSH WITH SURFACE.
 - ALL INSTALLATIONS SHALL HAVE 14\"/>
- SIGN BASE MATERIAL & DIMENSION REQUIREMENTS**
- 2 1/2\"/>
- INTERNAL ROD MATERIAL & DIMENSION REQUIREMENTS**
- 1/2\"/>
- BOTTOM PLATE MATERIAL & DIMENSION REQUIREMENTS**
- 4\"/>

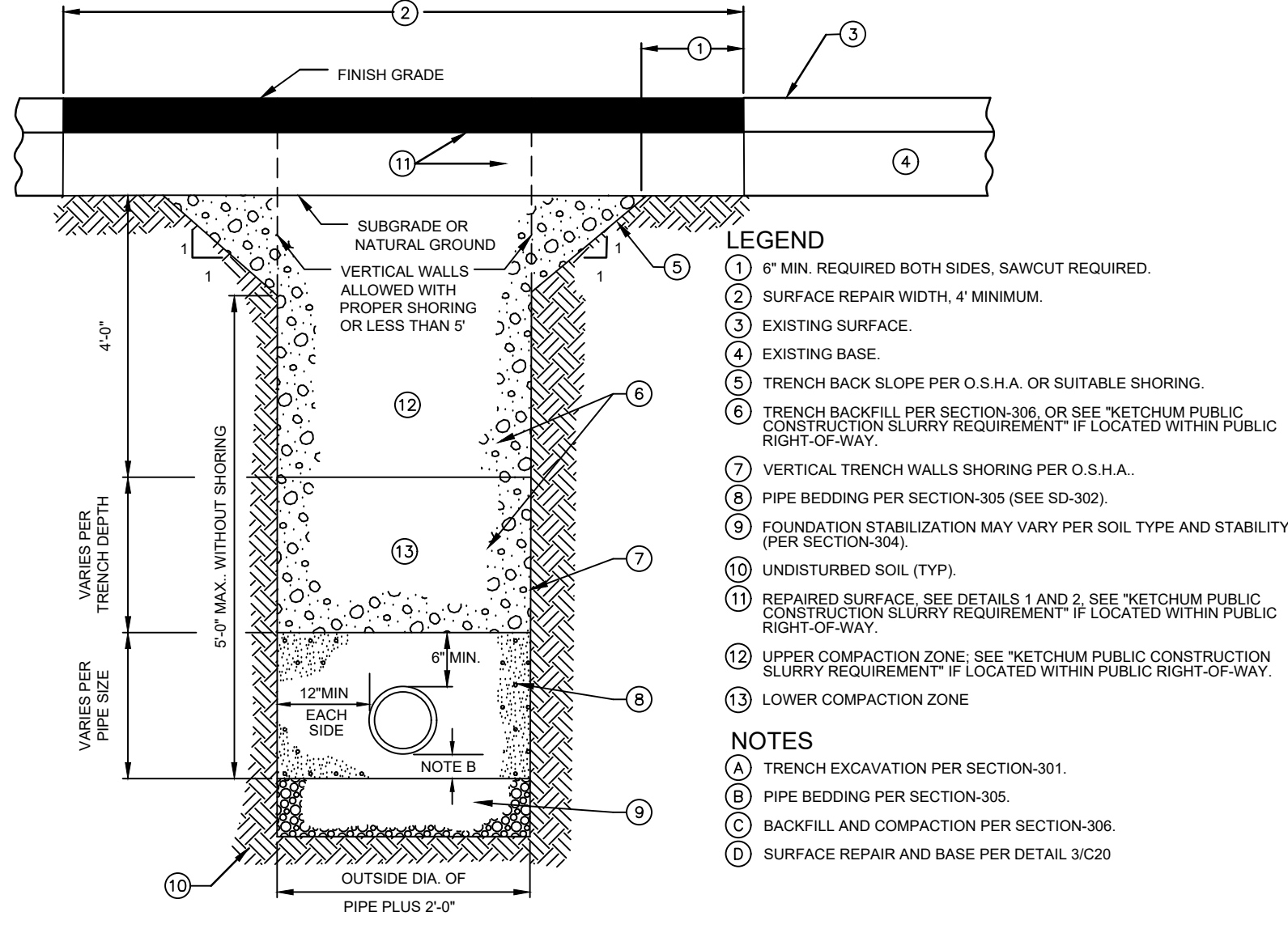


CATCH BASIN INSTALLATION NOTES:

- PLACE A MINIMUM OF 4\"/>
- FILL THE BALANCE OF THE EXCAVATED AREA WITH SELECT MATERIAL COMPACTED LEVEL TO THE TOP OF THE BEDDING.
- PROVIDE A SMOOTH AND LEVEL BEARING SURFACE ON THE BEDDING SURFACE.



NOTE: THE BED SHALL BE EXCAVATED A MINIMUM OF 24\"/>



- LEGEND**
- 6\"/>
 - SURFACE REPAIR WIDTH, 4\"/>
 - EXISTING SURFACE.
 - EXISTING BASE.
 - TRENCH BACK SLOPE PER O.S.H.A. OR SUITABLE SHORING.
 - TRENCH BACKFILL PER SECTION-305 OR SEE \"KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT\" IF LOCATED WITHIN PUBLIC RIGHT-OF-WAY.
 - VERTICAL TRENCH WALLS SHORING PER O.S.H.A.
 - PIPE BEDDING PER SECTION-305 (SEE SD-302).
 - FOUNDATION STABILIZATION MAY VARY PER SOIL TYPE AND STABILITY (PER SECTION-304).
 - REPAIRED SURFACE. SEE DETAILS 1 AND 2. SEE \"KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT\" IF LOCATED WITHIN PUBLIC RIGHT-OF-WAY.
 - UPPER COMPACTION ZONE. SEE \"KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT\" IF LOCATED WITHIN PUBLIC RIGHT-OF-WAY.
 - LOWER COMPACTION ZONE.
- NOTES**
- TRENCH EXCAVATION PER SECTION-301.
 - PIPE BEDDING PER SECTION-305.
 - BACKFILL AND COMPACTION PER SECTION-306.
 - SURFACE REPAIR AND BASE PER DETAIL 3C20

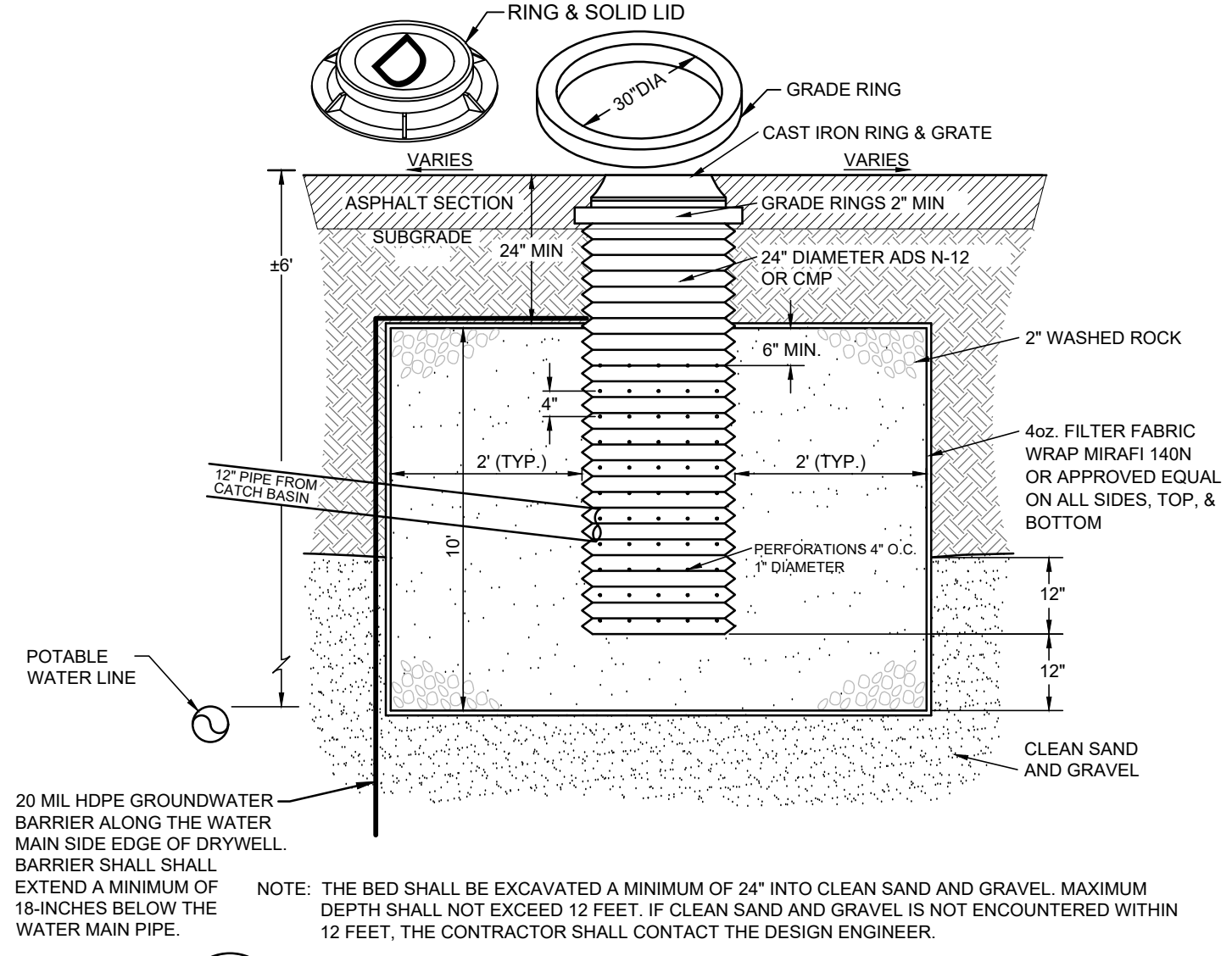
KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT

IN AREAS WHERE IT IS NECESSARY TO CUT THE ASPHALT PAVEMENT AND DIG A TRENCH FOR BURIAL OF CONDUIT CABLE OR OTHER CITY UTILITY, THE TRENCH SHALL BE BACKFILLED WITH A LEAN CONCRETE MIX TO THE BOTTOM OF FINISH SURFACE MATERIAL WITH THE FOLLOWING PROPORTIONS OF MATERIALS:

COARSE AGGREGATE (3/4\"/>	2,600 LBS
SAND	800 LBS
PORTLAND CEMENT	84 LBS
WATER	11 GAL. (MAX.)

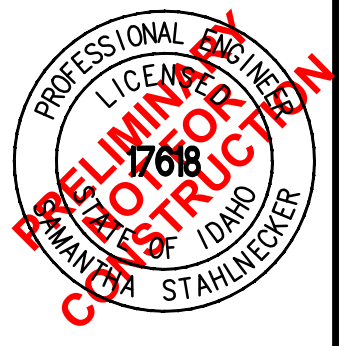
WATER CONTENT IS MAXIMUM AND MAY BE REDUCING DOWNWARD. CARES SHALL BE TAKEN TO ASSURE THAT EXCESS WATER IS NOT PRESENT IN THE MIXING DRUM PRIOR TO CHARGING THE MIXER WITH MATERIALS. THOROUGH MIXING WILL BE REQUIRED PRIOR TO DISCHARGE.

NO COMPACTION, VIBRATION OR FINISHING IS REQUIRED. THE LEAN CONCRETE MIX SHALL BE STRUCK OFF AT OR BELOW THE ELEVATION OF THE PLANTMIX SURFACING WITH A SQUARE-NOSE SHOVEL OR SIMILAR HAND TOOL. THE BACKFILL MIX SHALL BE ALLOWED TO SET FOR A MINIMUM OF 2 HOURS BEFORE THE PERMANENT PLANTMIX SURFACING IS PLACED TO COMPLETE THE TRENCH REPAIR. TEMPORARY PLACEMENT OF ASPHALT COLD MIX SURFACING MAY BE NECESSARY TO ACCOMMODATE TRAFFIC WITHIN THE FIRST 2 HOURS OF BACKFILL PLACEMENT PRIOR TO COMPLETING THE PERMANENT REPAIR.



NOTE: THE BED SHALL BE EXCAVATED A MINIMUM OF 24\"/>

LAYOUT, GRADING, AND DRAINAGE PLAN
760 N WASHINGTON AVENUE
 LOCATED WITHIN SECTION 13, T.4 N., R.17 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
 PREPARED FOR GALENA PEAK PARTNERS / HOLLIS RUMPFELT ARCHITECTS



GALENA ENGINEERING, INC.
 Civil Engineers & Land Surveyors
 317 N. River Street
 Hailey, Idaho 83433
 (208) 768-1705
 email: galena@galena-engineering.com

PURPOSE: FINAL DESIGN REVIEW- AUGUST 17, 2021

NO.	DATE	BY	REVISIONS
1	10/12/2021	SKS	RESPONSE TO 10/8/21 CITY COMMENTS

General Notes

1. Base map information taken from survey by Galena Engineering and from on-site information. Architectural information provided by Hollis Partners Architects dated 05/26/21. Contractor shall verify conditions in the field prior to construction.
2. Landscape architect is not responsible for any deviation from these plans, unless such changes are authorized by the landscape architect in writing.
3. All existing utilities are underground. All new utilities shall be underground.
4. Site serviced by City of Ketchum.

Plan Legend

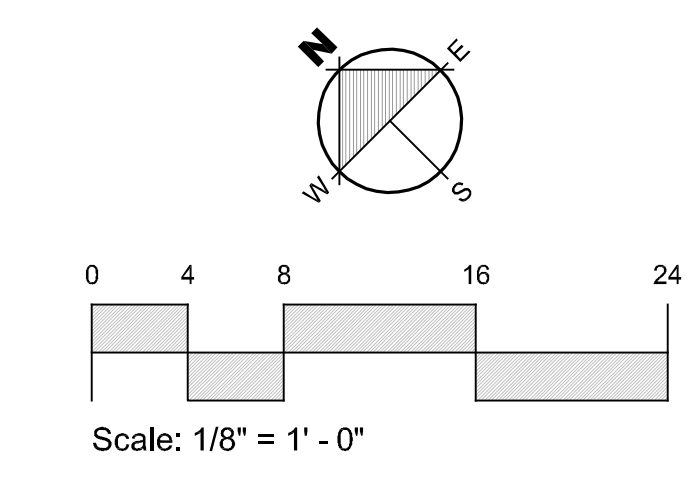
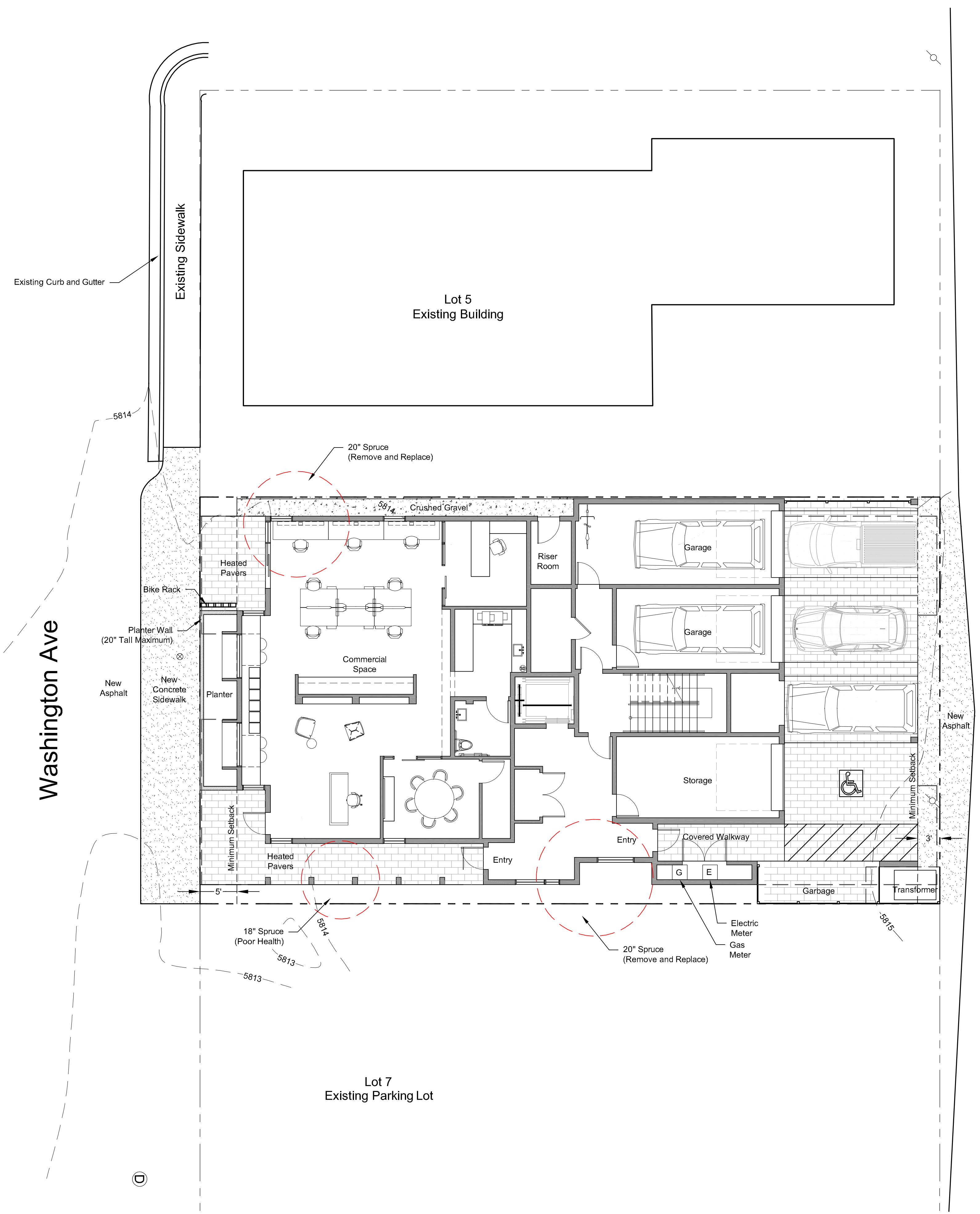
---	Property Line
- - - -	Minimum Setback
PB G	Utilities
⊙	Sewer Manhole
⊗	Water Meter
[Brick Pattern]	Pavers
[Dotted Pattern]	Asphalt
[Cross-hatch Pattern]	Crushed Gravel

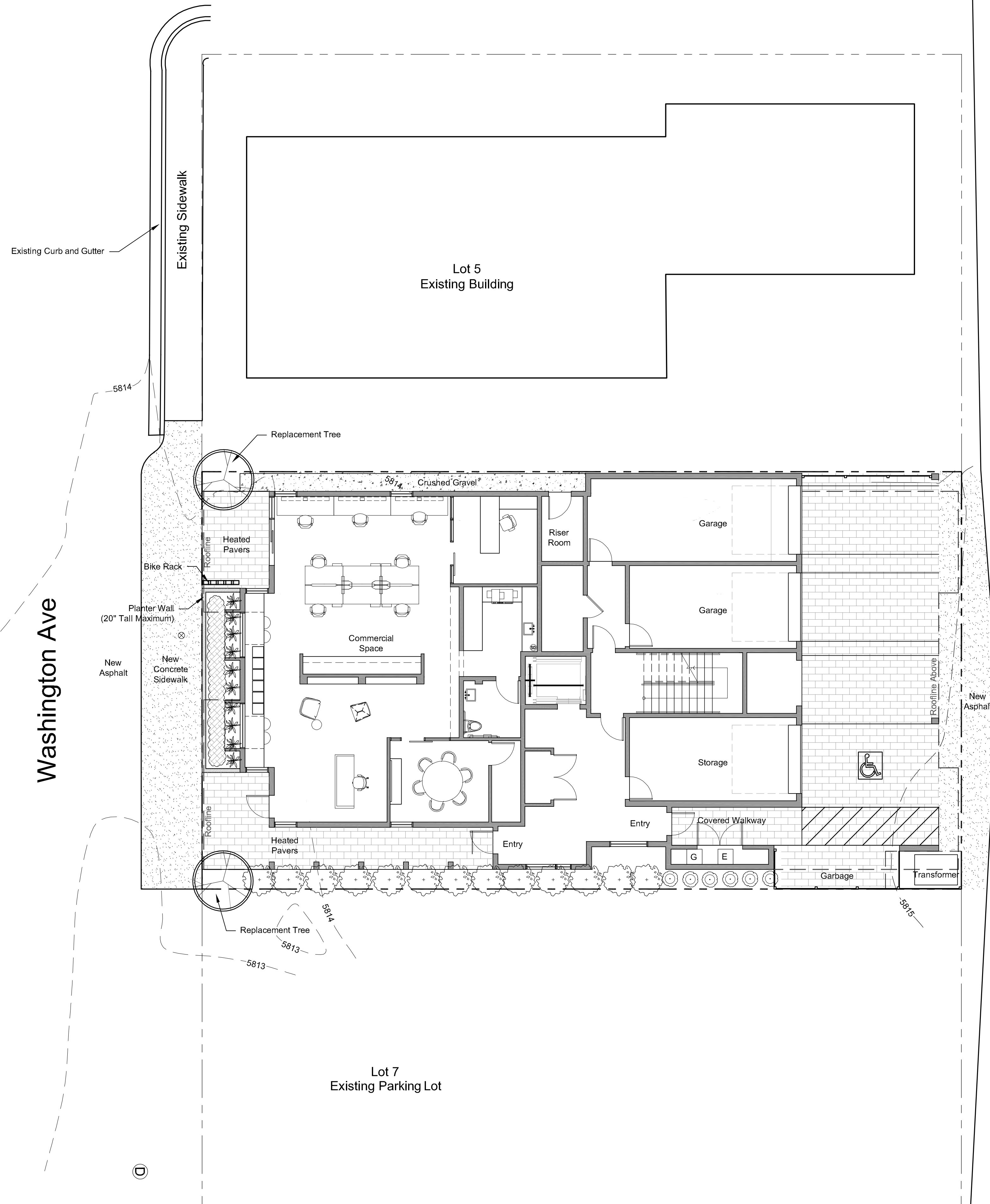
Existing Tree Legend

(Red Circle)	Existing Tree To Be Removed
--------------	-----------------------------

Notes

All Walkways On Private Property Will Have Radiant Heating Under The Paver System





General Notes

1. Base map information taken from survey by Galena Engineering and from on-site information. Architectural information provided by Hollis Partners Architects dated 05/26/21. Contractor shall verify conditions in the field prior to construction.
2. Landscape architect is not responsible for any deviation from these plans, unless such changes are authorized by the landscape architect in writing.
3. All existing utilities are underground. All new utilities shall be underground.
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Landscape Plan Notes

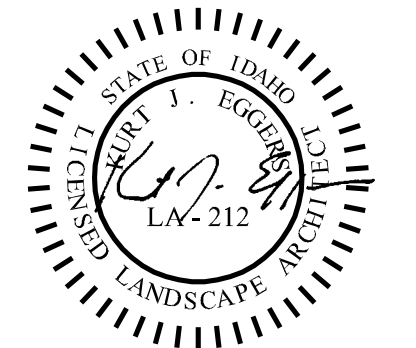
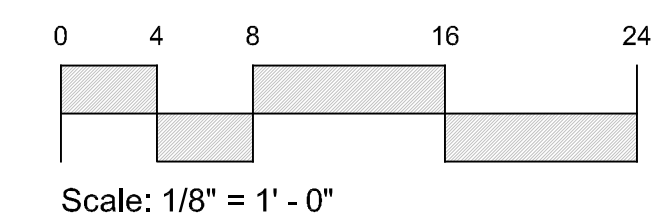
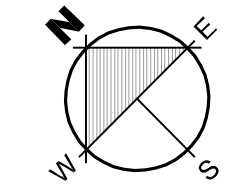
1. All Disturbed areas shall be revegetated and irrigated with an automatic underground sprinkler system.
2. All planting beds to have 3" cover of bark or compost mulch.
3. Trees shown at approximately 2/3 mature diameter.
4. All utilities are underground and shall be located prior to any work.

Plan Legend

- Property Line
- Existing Contour
- Utilities
- Pavers
- Asphalt
- Crushed Gravel

Plant Legend

Sym.	Qty.	Species	Size
	2	Street Trees Autumn Blaze Maple	3" Cal.
	4	Medium Trees Swedish Aspen	2-1/2" Cal.
	25	Deciduous Shrubs Common Purple Lilac	5 Gal.
	10	Ornamental Grasses Blue Oat	1 Gal.
	15	Perennial Flowers Various	1 Gal.



760
Washington
Ave

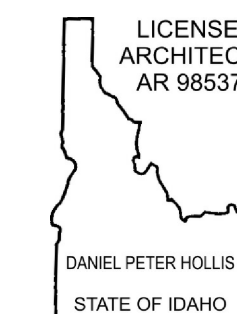
EGGERS ASSOCIATES, P.A.
Landscape Architecture
T: (208) 725-0988
F: (208) 725-0972
P.O. Box 953
Ketchum, ID 83740

760 Washington Ave
Lot 6 Block 33
Ketchum, Idaho

Job No:	21.18
Scale:	1/8" = 1' - 0"
Issue/Revisions:	Date:
Pre-App	06/08/21
Design Review	07/25/21
Revised	08/17/21
	10/11/21

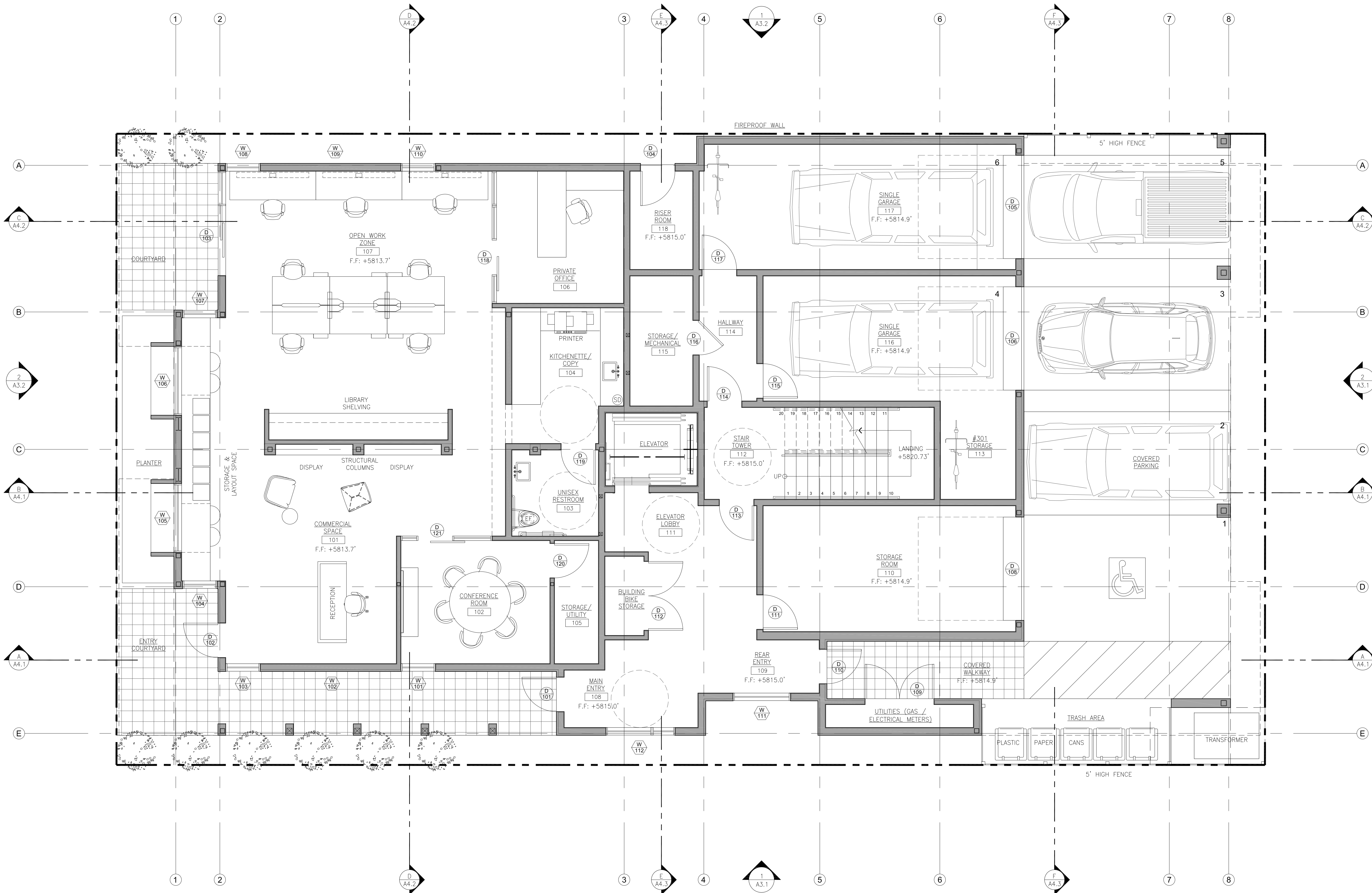
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**Landscape
Plan**

Sheet No:
L2

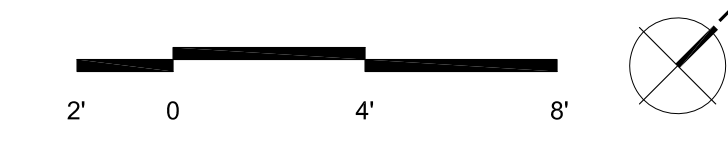


THIS WORK WAS PREPARED BY ME OR UNDER MY SUPERVISION AND CONSTRUCTION OF THIS PROJECT WILL BE UNDER MY OBSERVATION

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1 FIRST FLOOR PLAN
 A2.1 SCALE: 1/4" = 1'-0"



REVISION DATE

FINAL DR#2	10/11/21
FINAL DR	08/17/21
PRE-APP#3	07/23/21
DR ADD.	06/09/21
100% DD	05/07/21
D.REVIEW	03/23/21
ISSUE/DATE	SCHEMATIC 03/16/21
DRAWN BY	DPH,JJR
CHECKED BY	DPH,JJR
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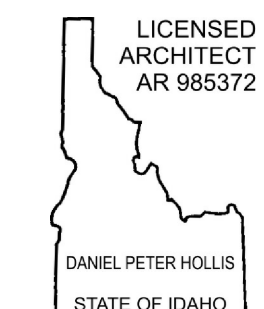
760
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760 N. WASHINGTON AVE,
 KETCHUM, IDAHO

ARCHITECTURAL
FLOOR PLANS

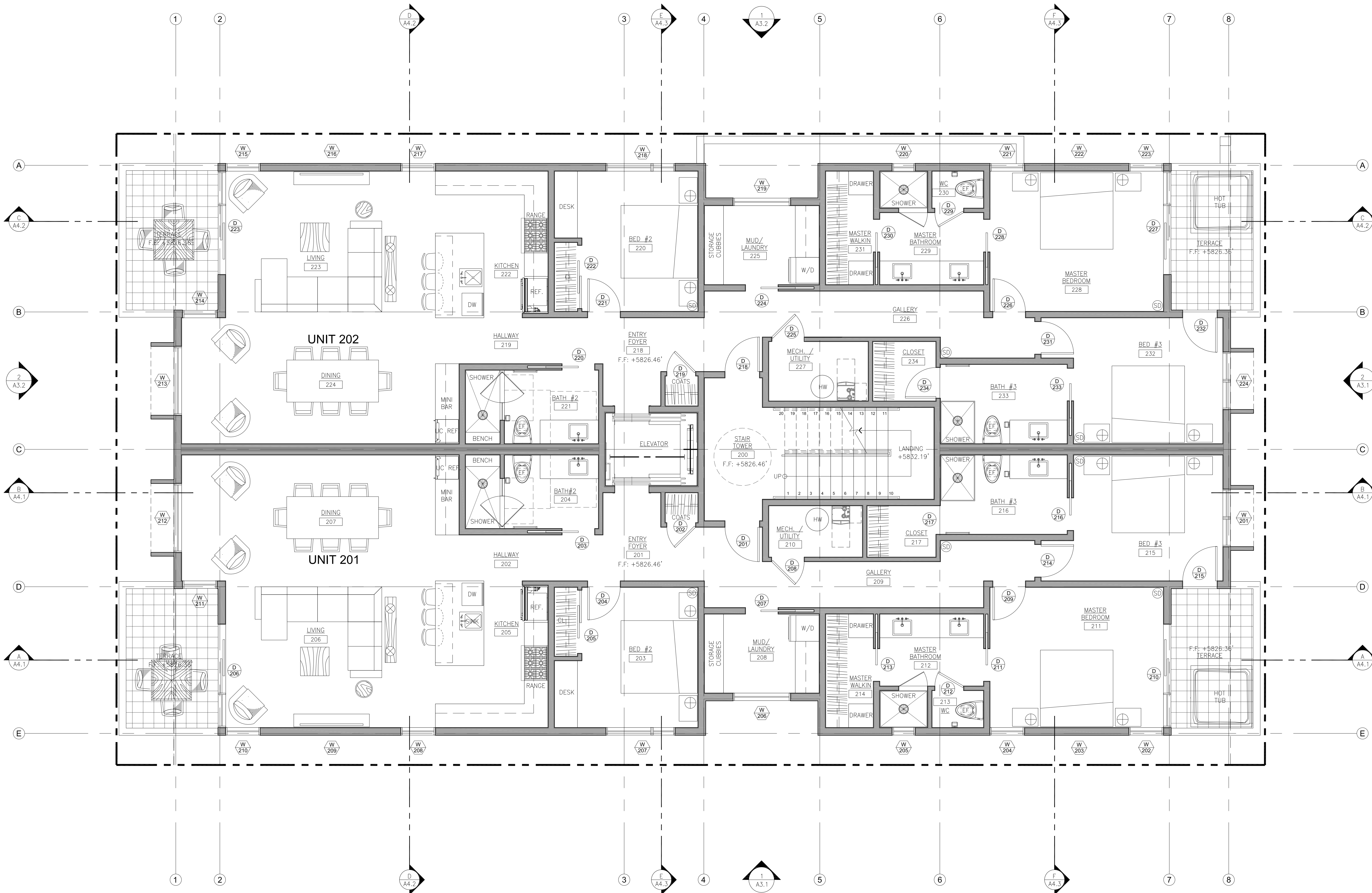
A 2.1
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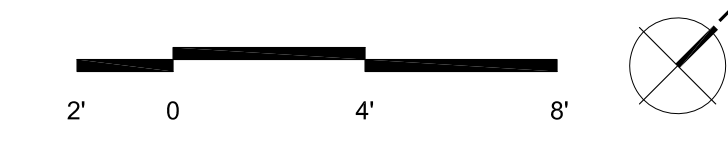


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1 SECOND FLOOR PLAN
 A2.2 SCALE: 1/4" = 1'-0"



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	SCHEMATIC 03/16/21
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	DATE 02/15/21
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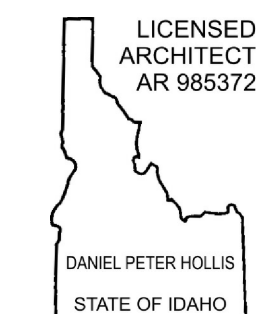
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A **2.2**
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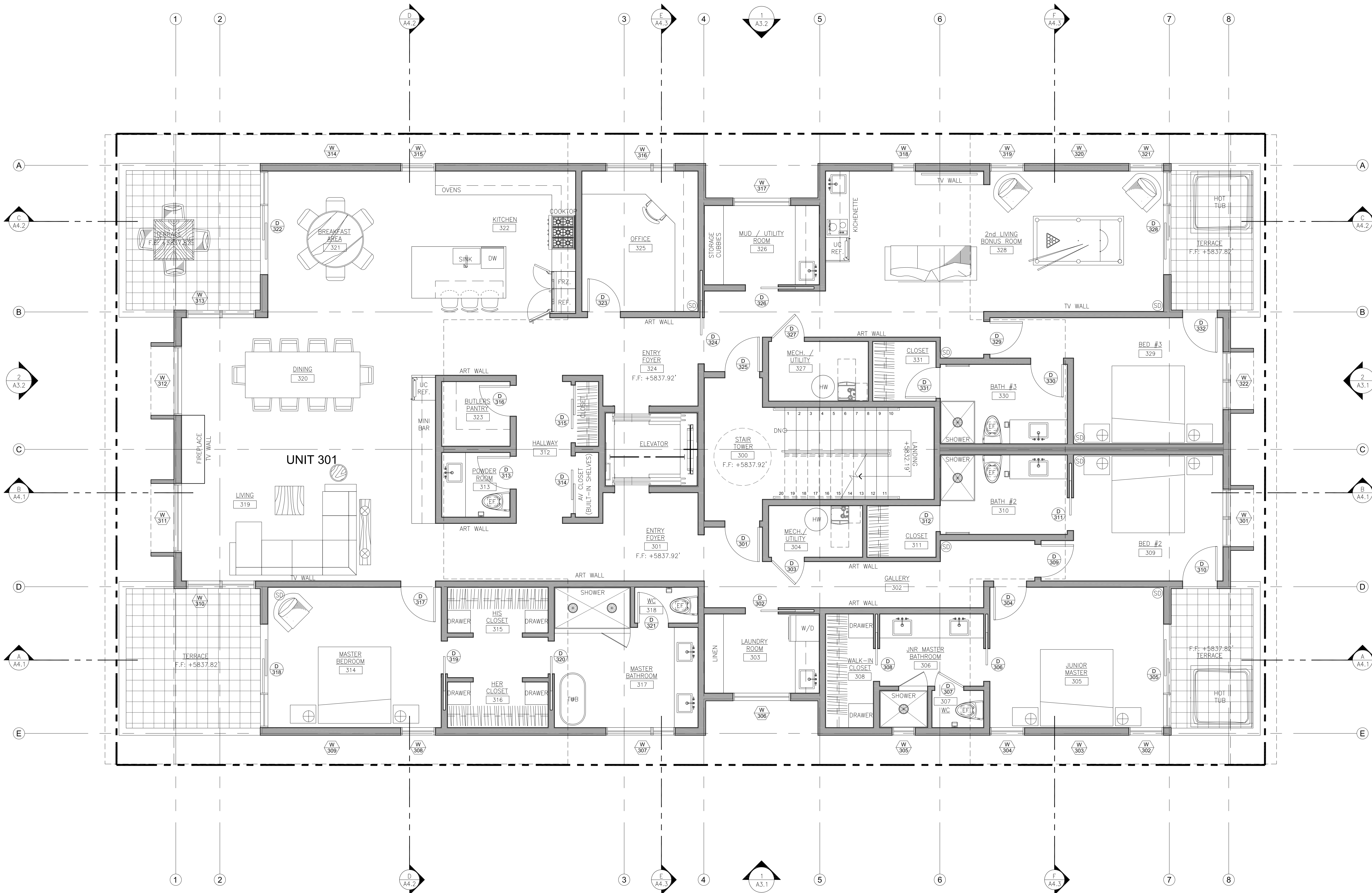
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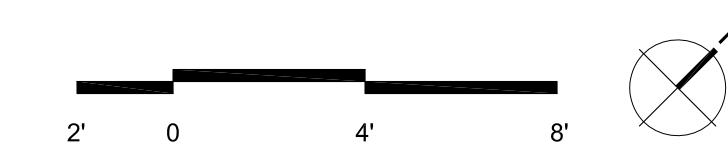
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**ARCHITECTURAL
 FLOOR PLANS**

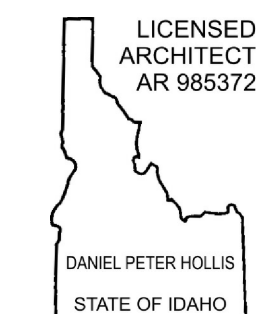
A 2.3
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1 THIRD FLOOR PLAN
 A2.3 SCALE: 1/4" = 1'-0"

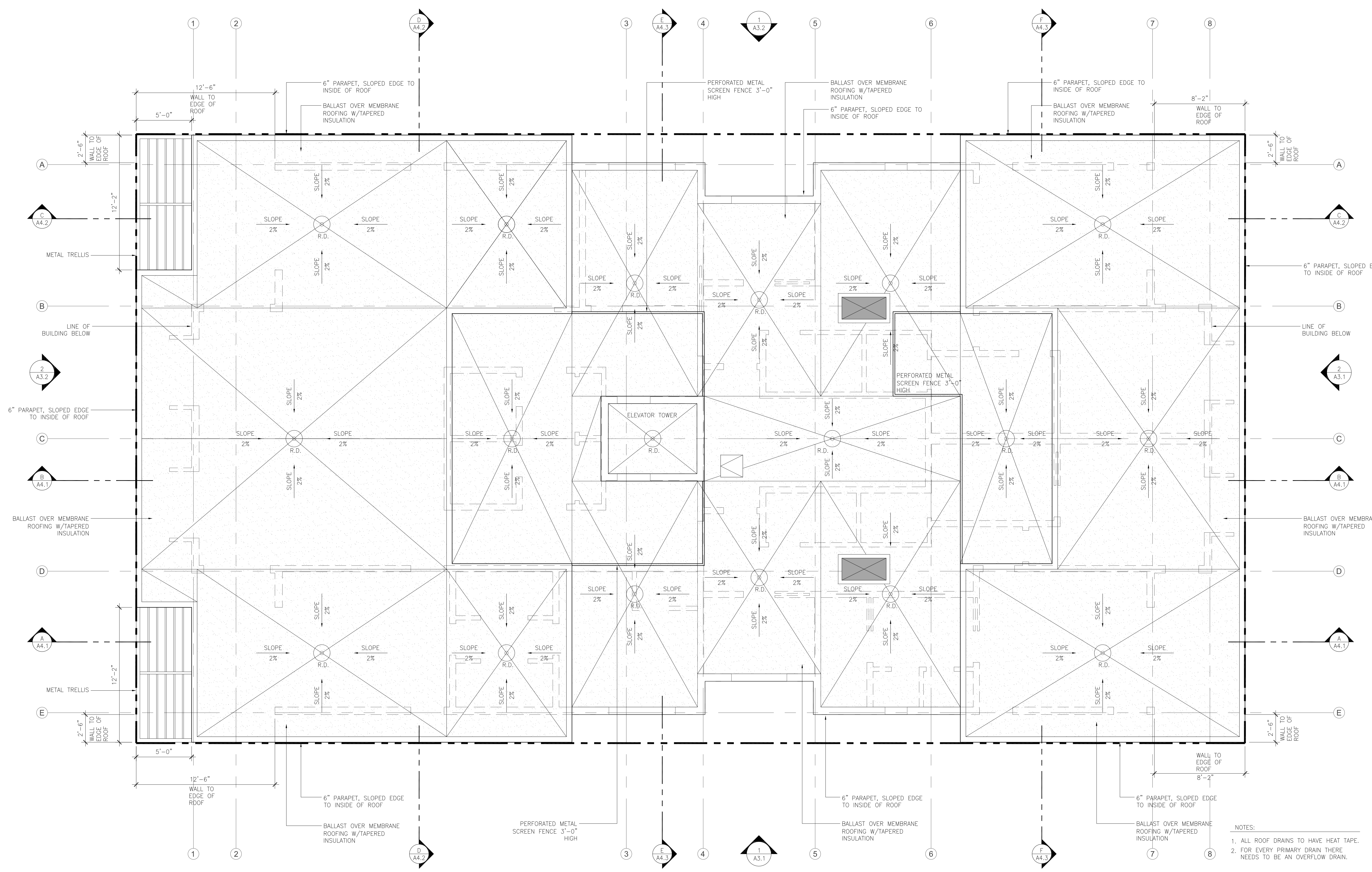


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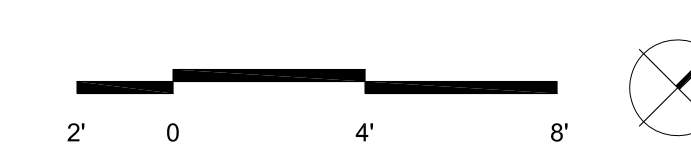
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1 ROOF PLAN
A2.7 SCALE: 1/4" = 1'-0"

- NOTES:
1. ALL ROOF DRAINS TO HAVE HEAT TAPE.
 2. FOR EVERY PRIMARY DRAIN THERE NEEDS TO BE AN OVERFLOW DRAIN.



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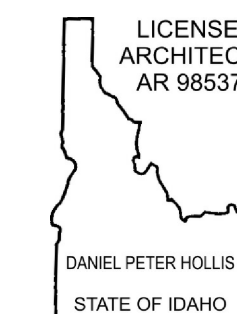
760 N. Washington Ave

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ARCHITECTURAL ROOF PLAN

A 2.7
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2 EXTERIOR BUILDING ELEVATION-EAST
 A3.1 SCALE: 3/16" = 1'-0"



1 EXTERIOR BUILDING ELEVATION-SOUTH
 A3.1 SCALE: 3/16" = 1'-0"

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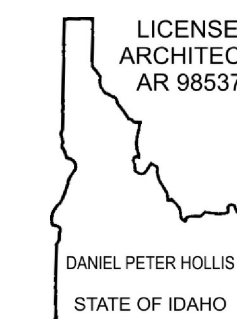
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ARCHITECTURAL
 EXT. ELEVATIONS

A **3.1**
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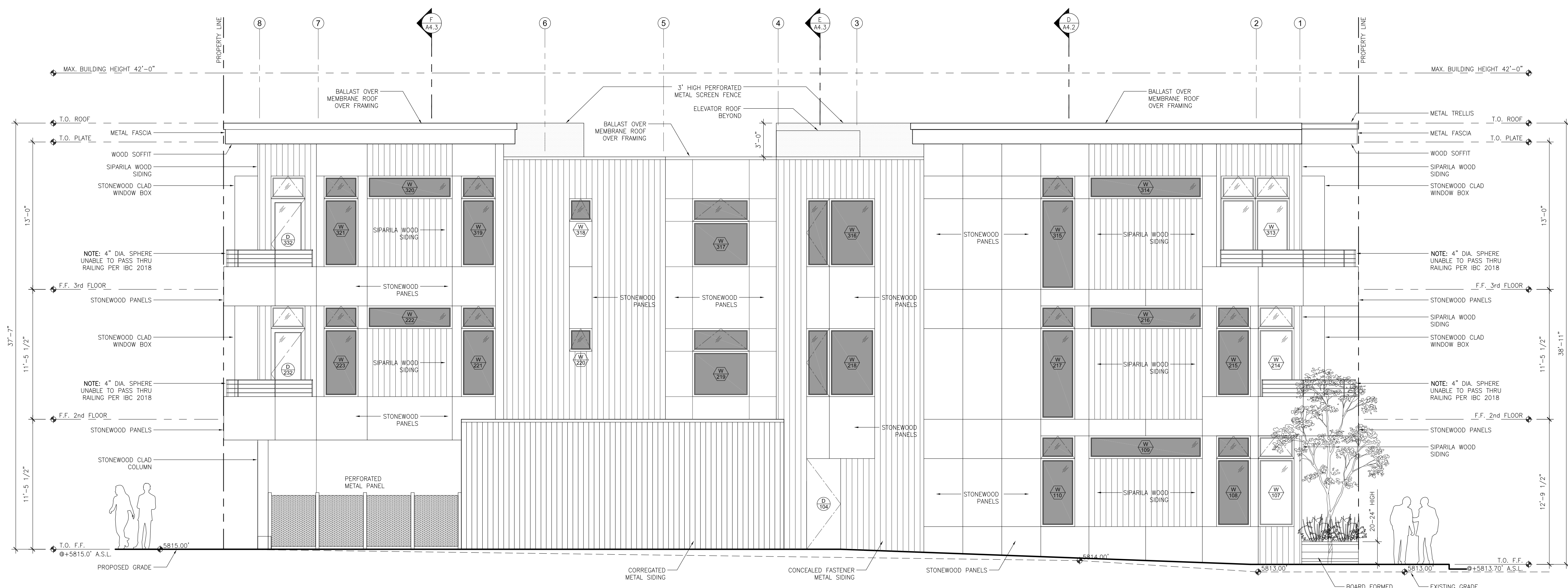
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2 EXTERIOR BUILDING ELEVATION-WEST
 A3.2 SCALE: 3/16" = 1'-0"



1 EXTERIOR BUILDING ELEVATION-NORTH
 A3.2 SCALE: 3/16" = 1'-0"

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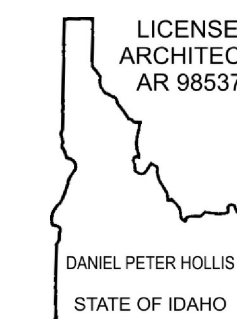
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ARCHITECTURAL
 EXT. ELEVATIONS

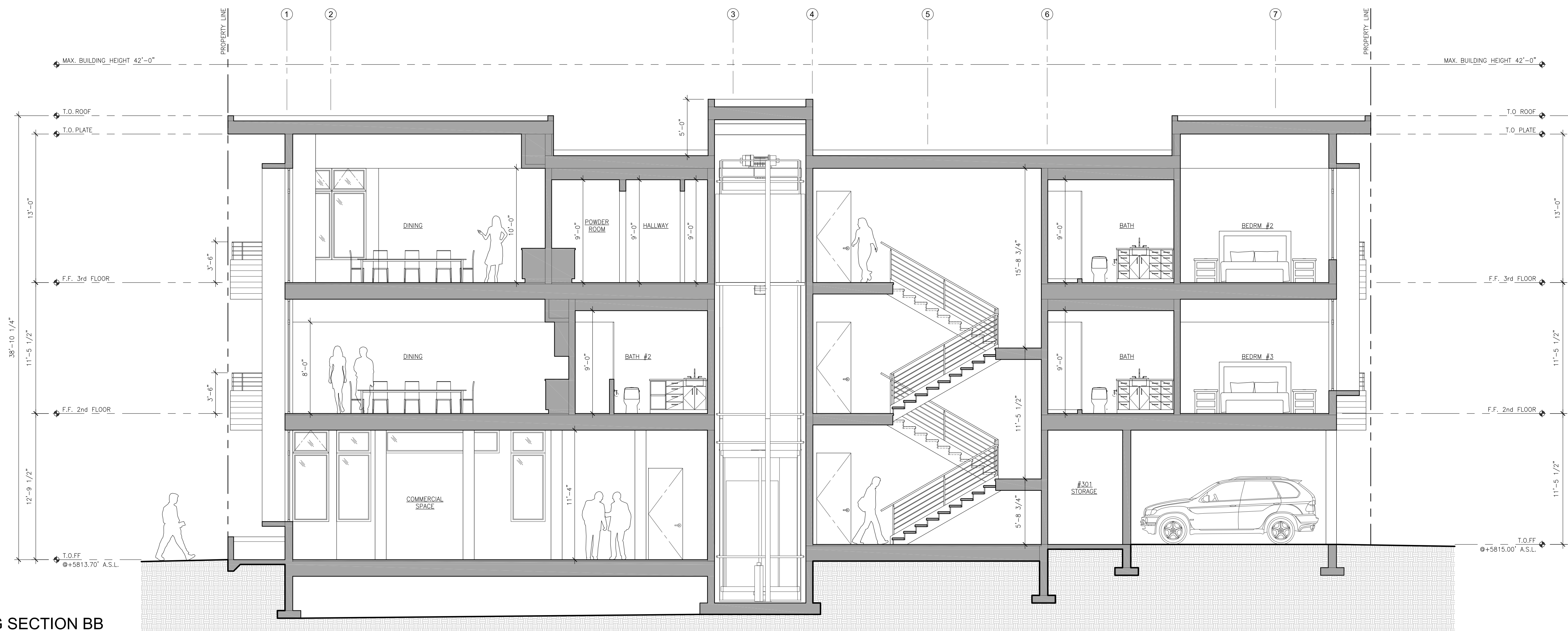
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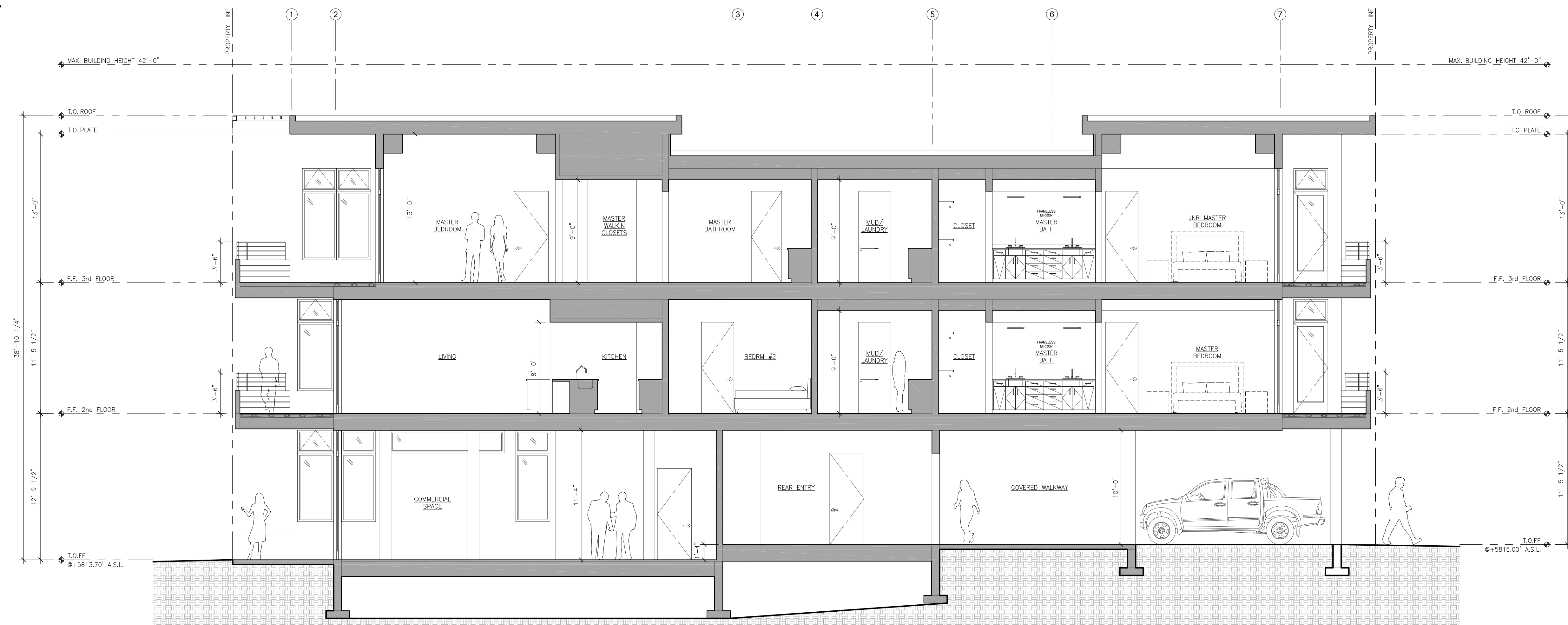
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2 BUILDING SECTION BB
 A4.1 SCALE: 3/16" = 1'-0"



1 BUILDING SECTION AA
 A4.1 SCALE: 3/16" = 1'-0"

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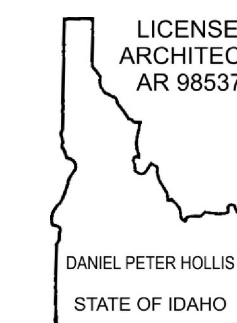
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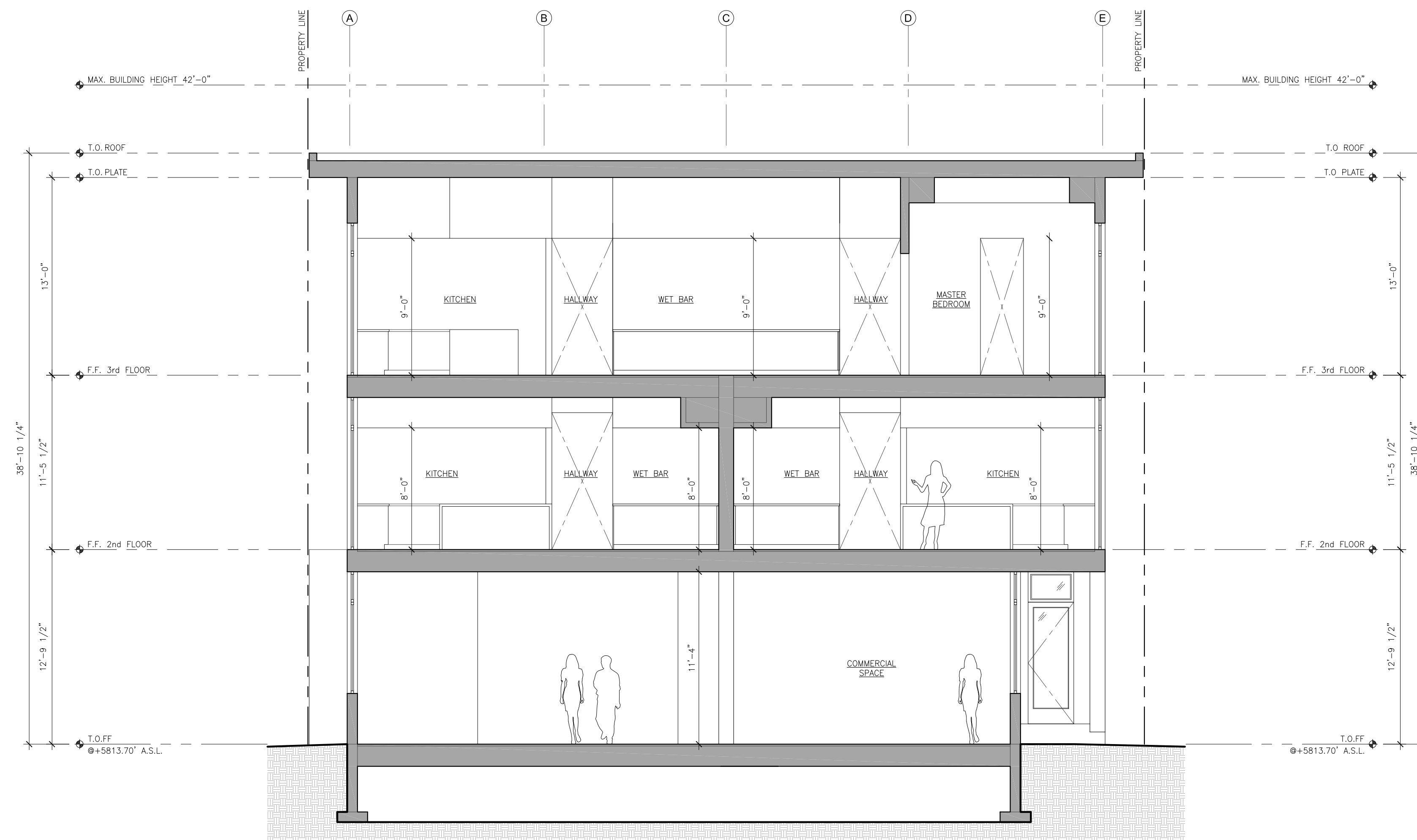
ARCHITECTURAL
 BUILDING SECTIONS

A 4.1
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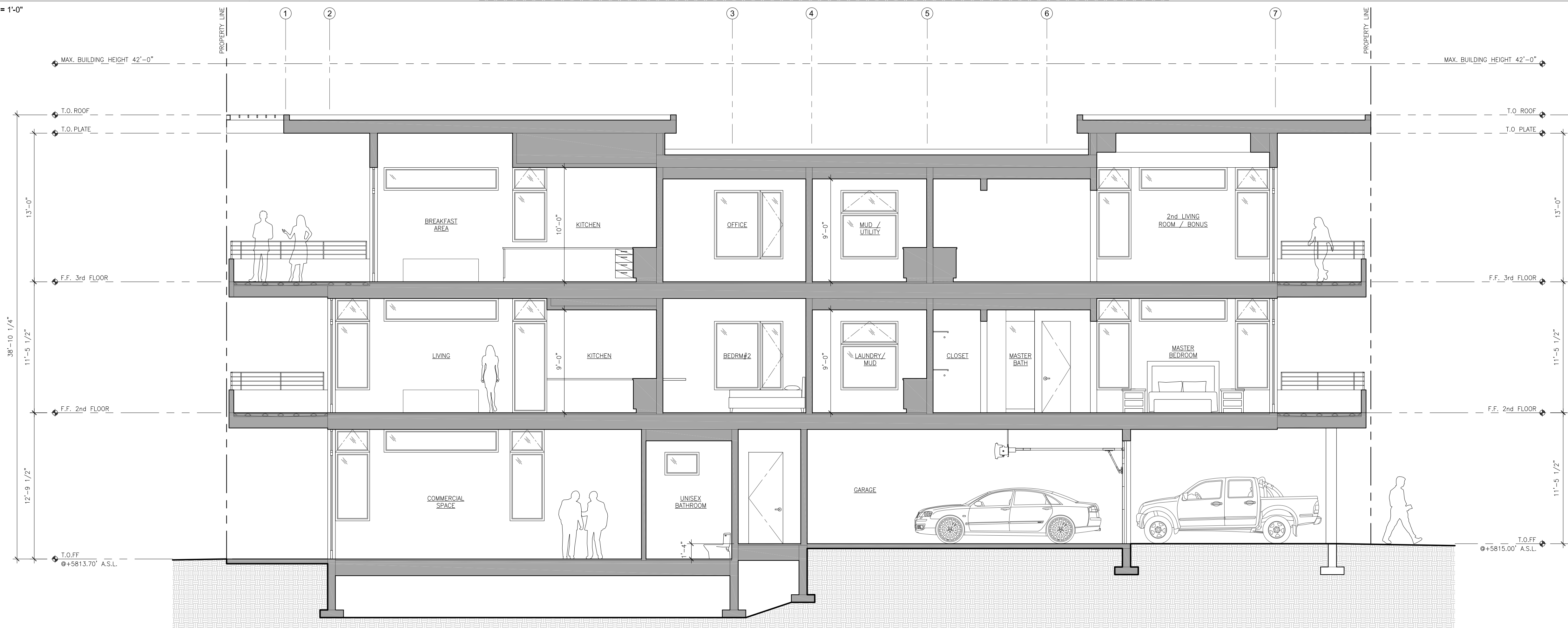




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2 BUILDING SECTION DD
 A4.2 SCALE: 3/16" = 1'-0"



1 BUILDING SECTION CC
 A4.2 SCALE: 3/16" = 1'-0"

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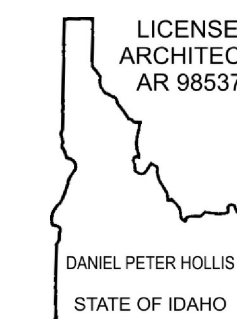
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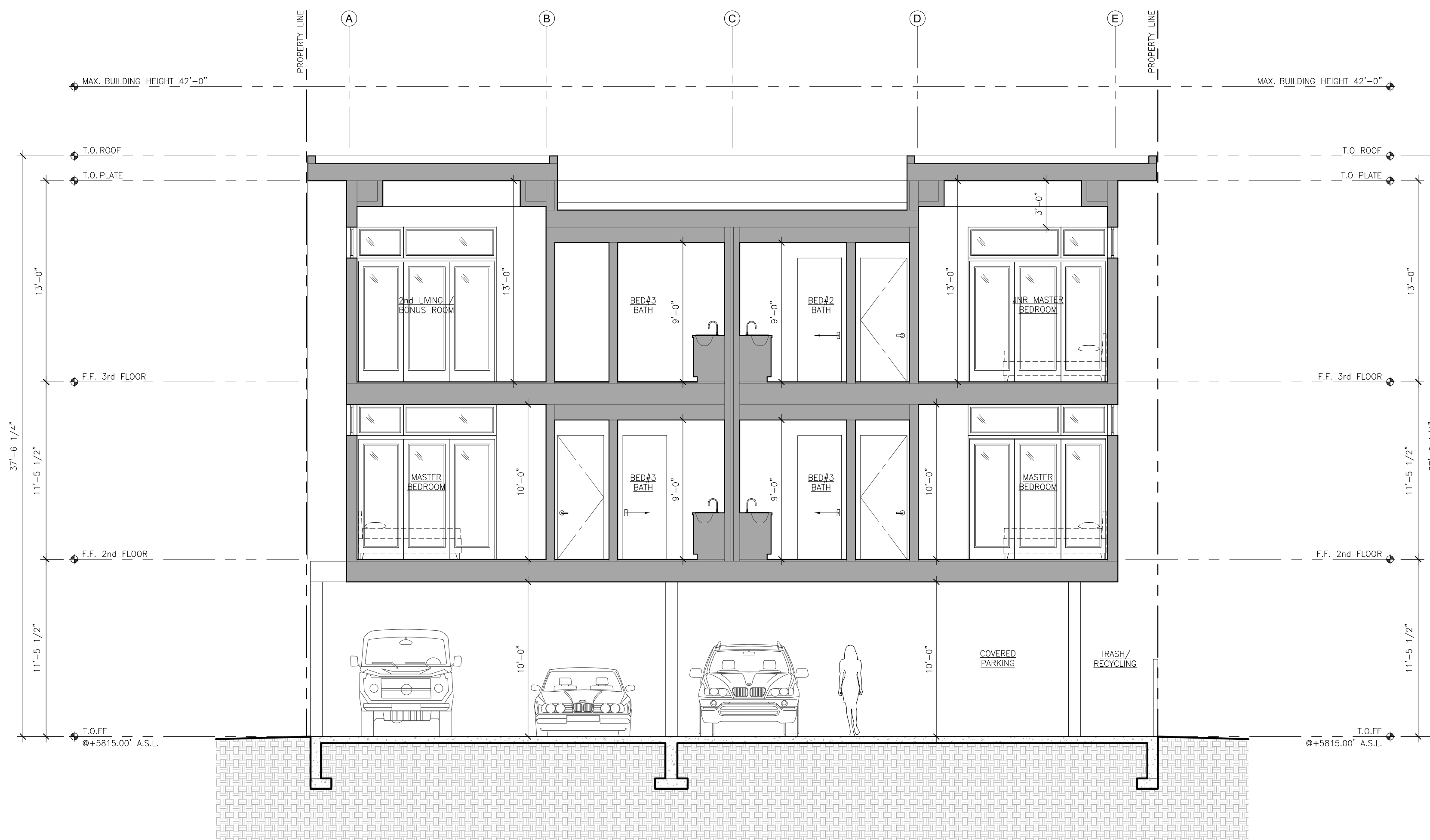
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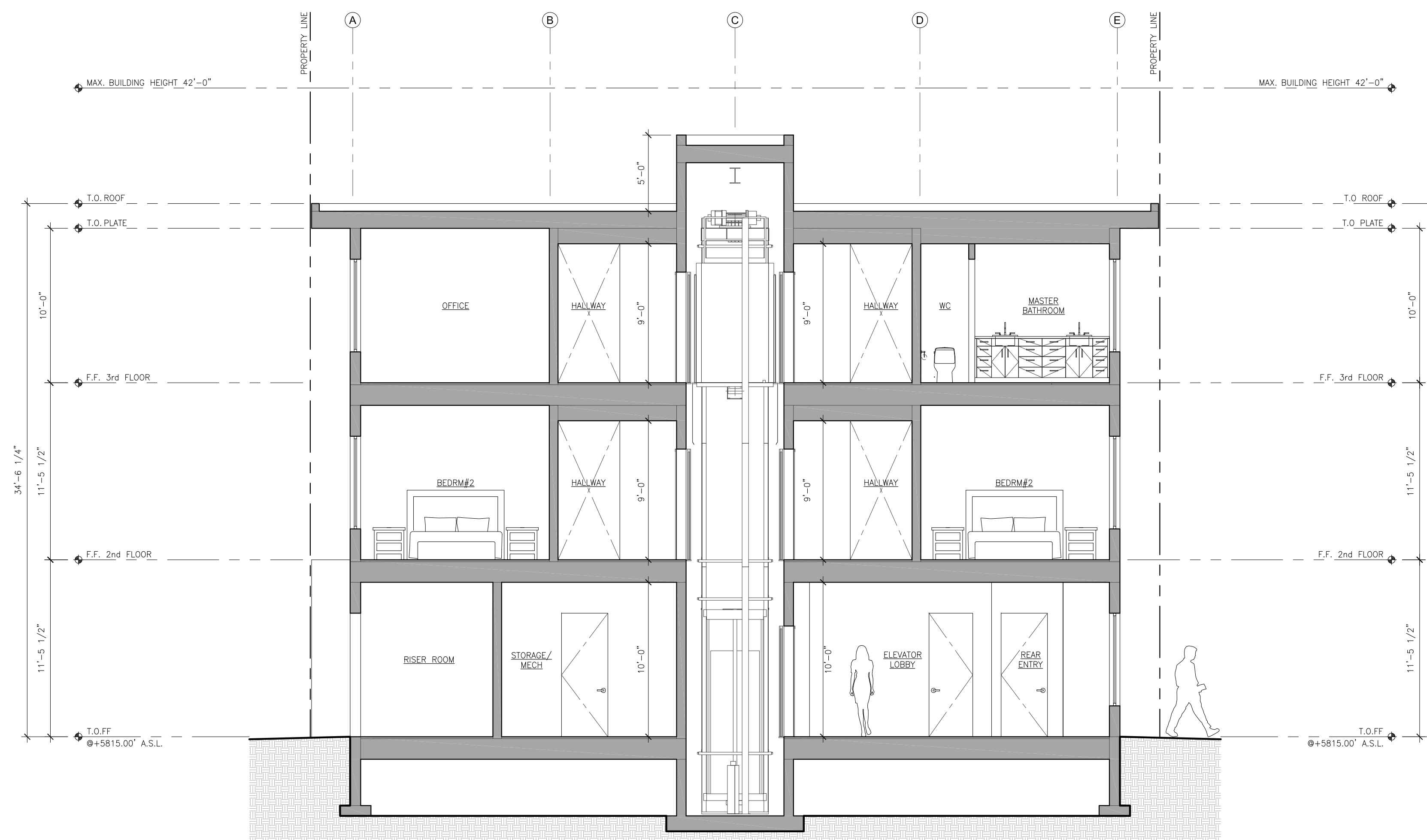




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2 BUILDING SECTION FF
 A4.3 SCALE: 3/16" = 1'-0"



1 BUILDING SECTION EE
 A4.3 SCALE: 3/16" = 1'-0"

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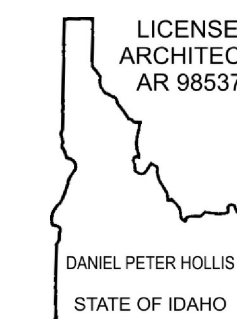
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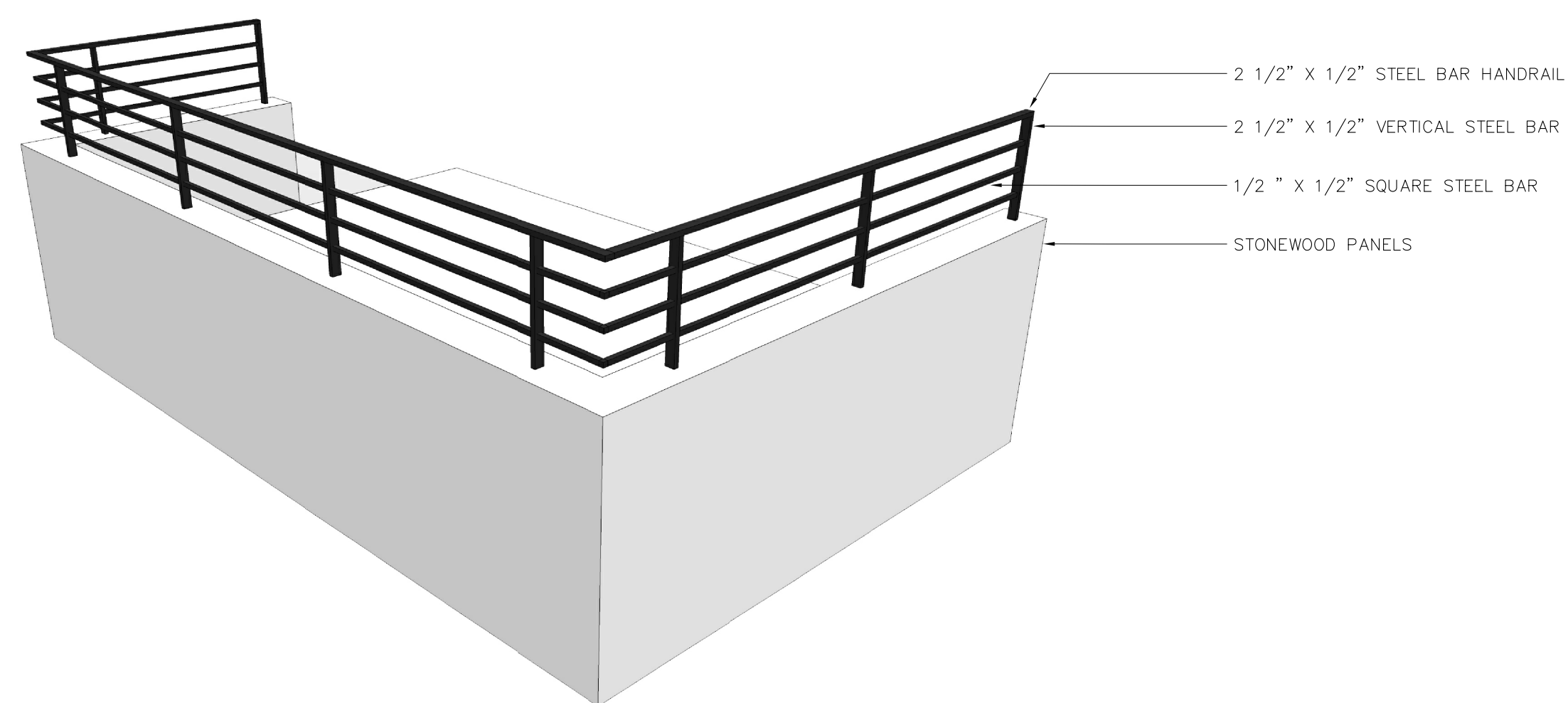
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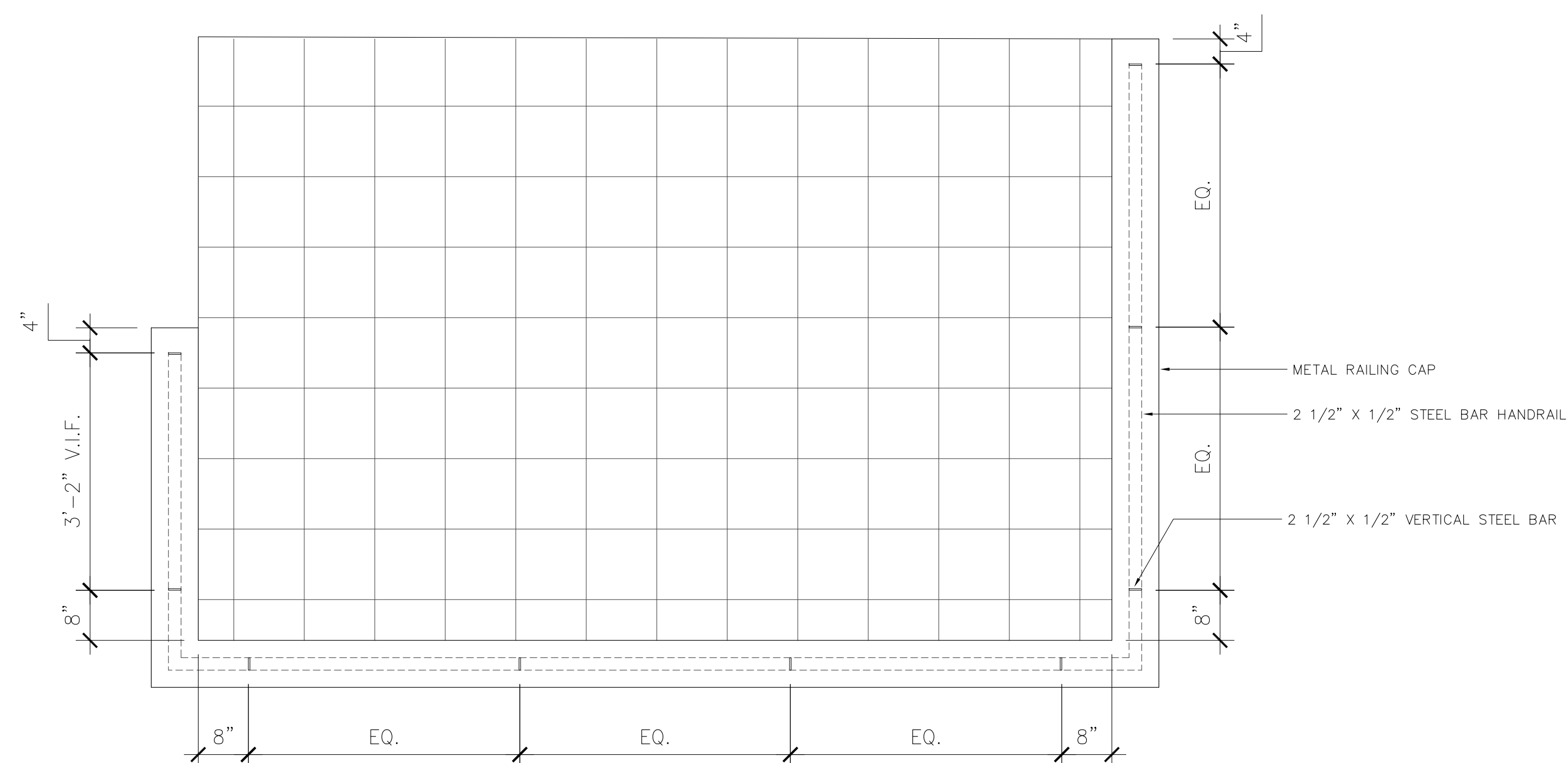


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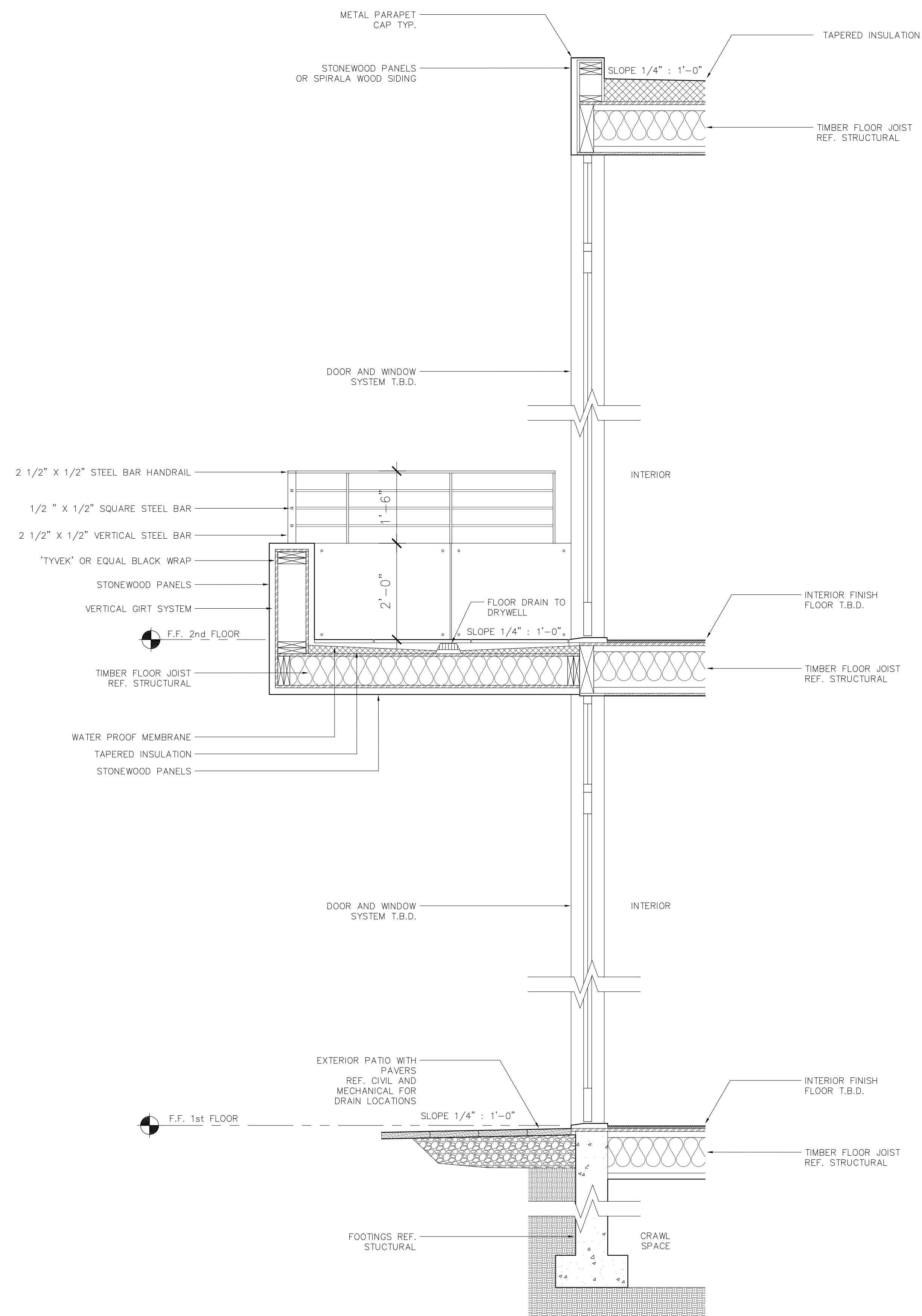


- 2 1/2" X 1/2" STEEL BAR HANDRAIL
- 2 1/2" X 1/2" VERTICAL STEEL BAR
- 1/2" X 1/2" SQUARE STEEL BAR
- STONEWOOD PANELS

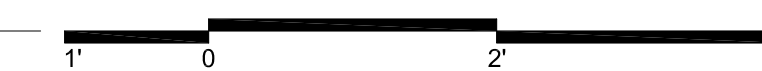
3 BALCONY AND RAILING AXO
 A5.1 N.T.S.



2 BALCONY PLAN (TYPICAL)
 A5.1 SCALE: 3/4" = 1'-0"



1 WALL SECTIONS
 A5.1 SCALE: 3/4" = 1'-0"



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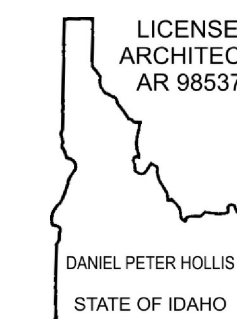
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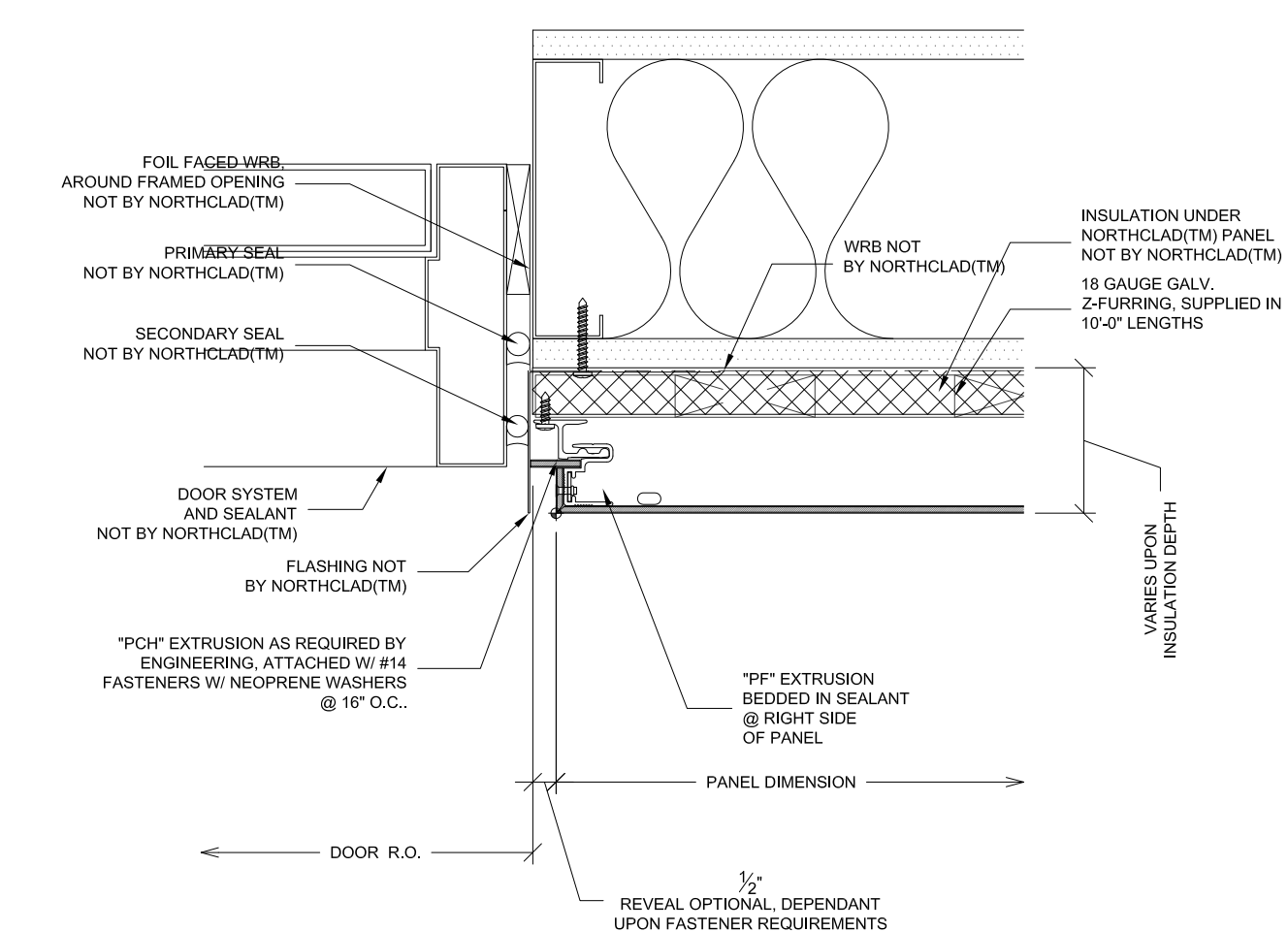
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WALL SECTIONS & DETAILS

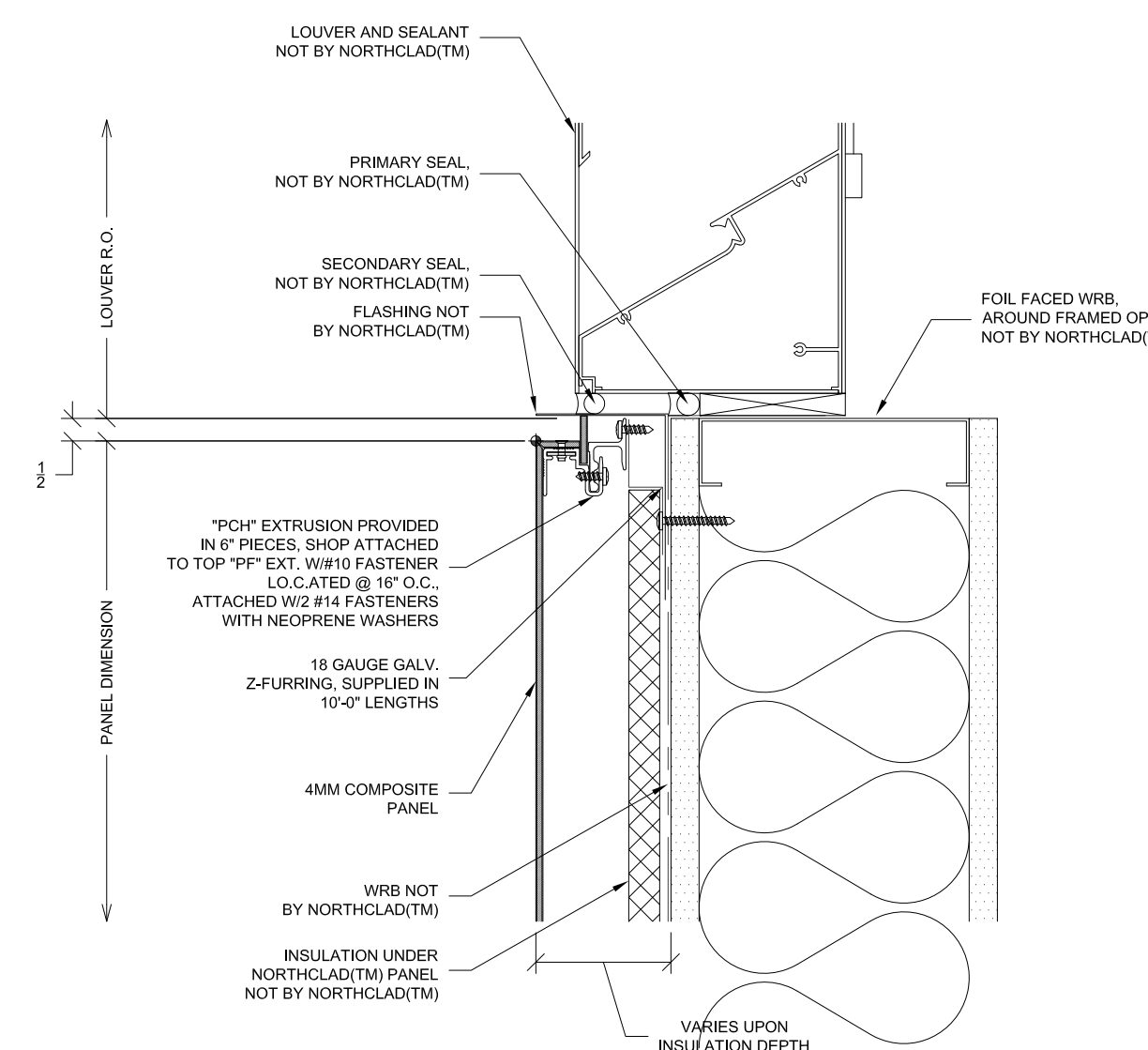
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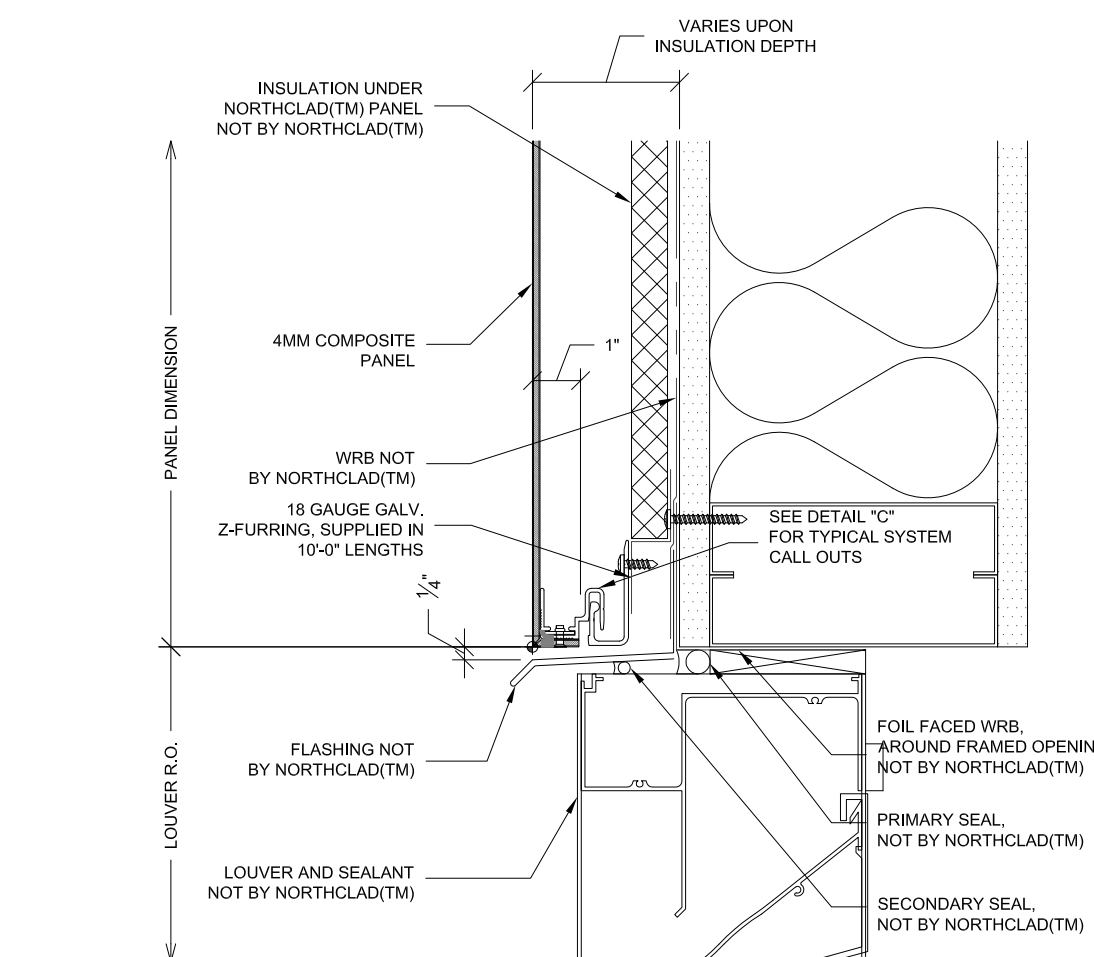
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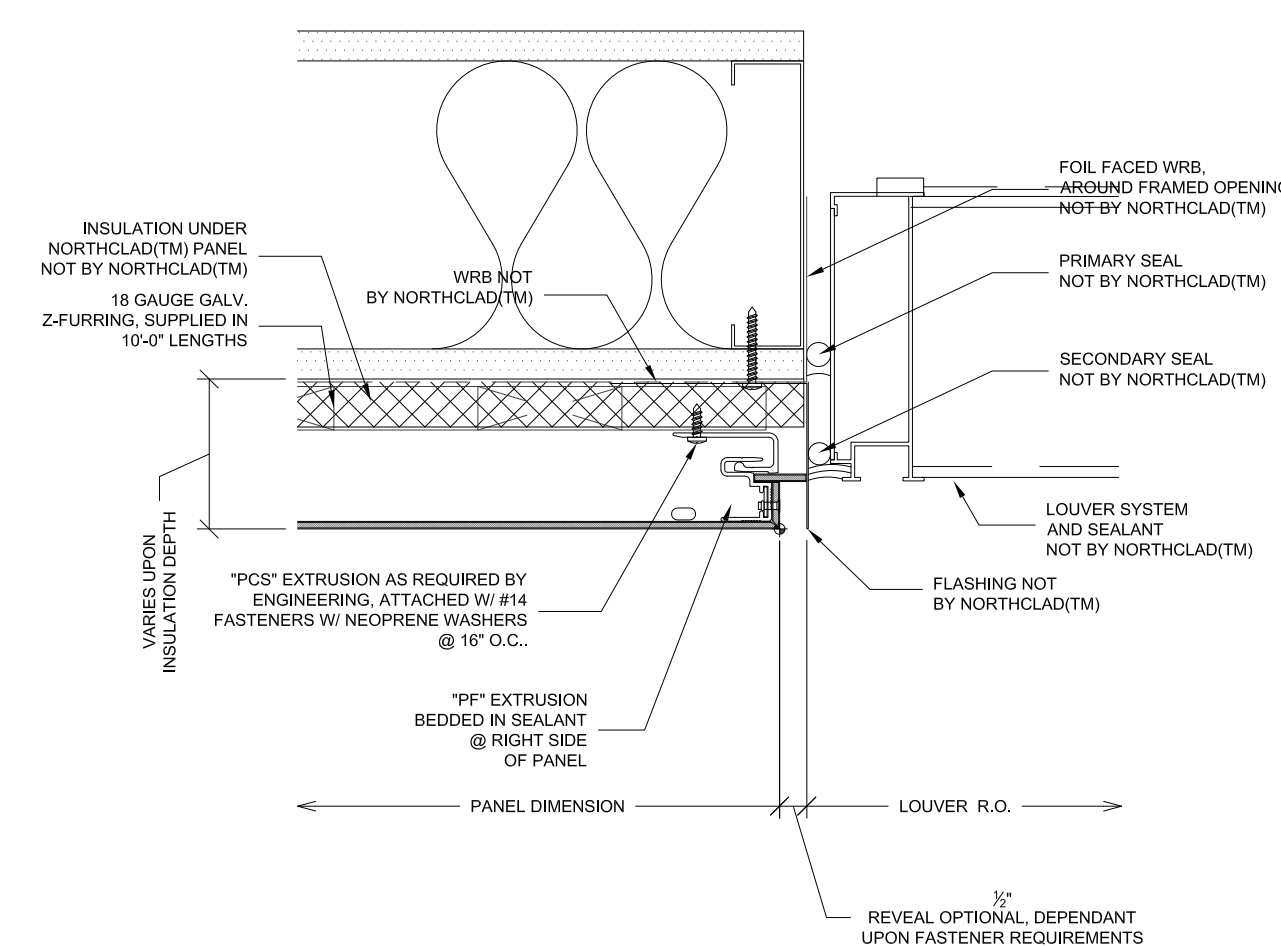
M WALL DETAILS - DOOR JAMB RH
 A5.3 SCALE: 3" = 1'-0"



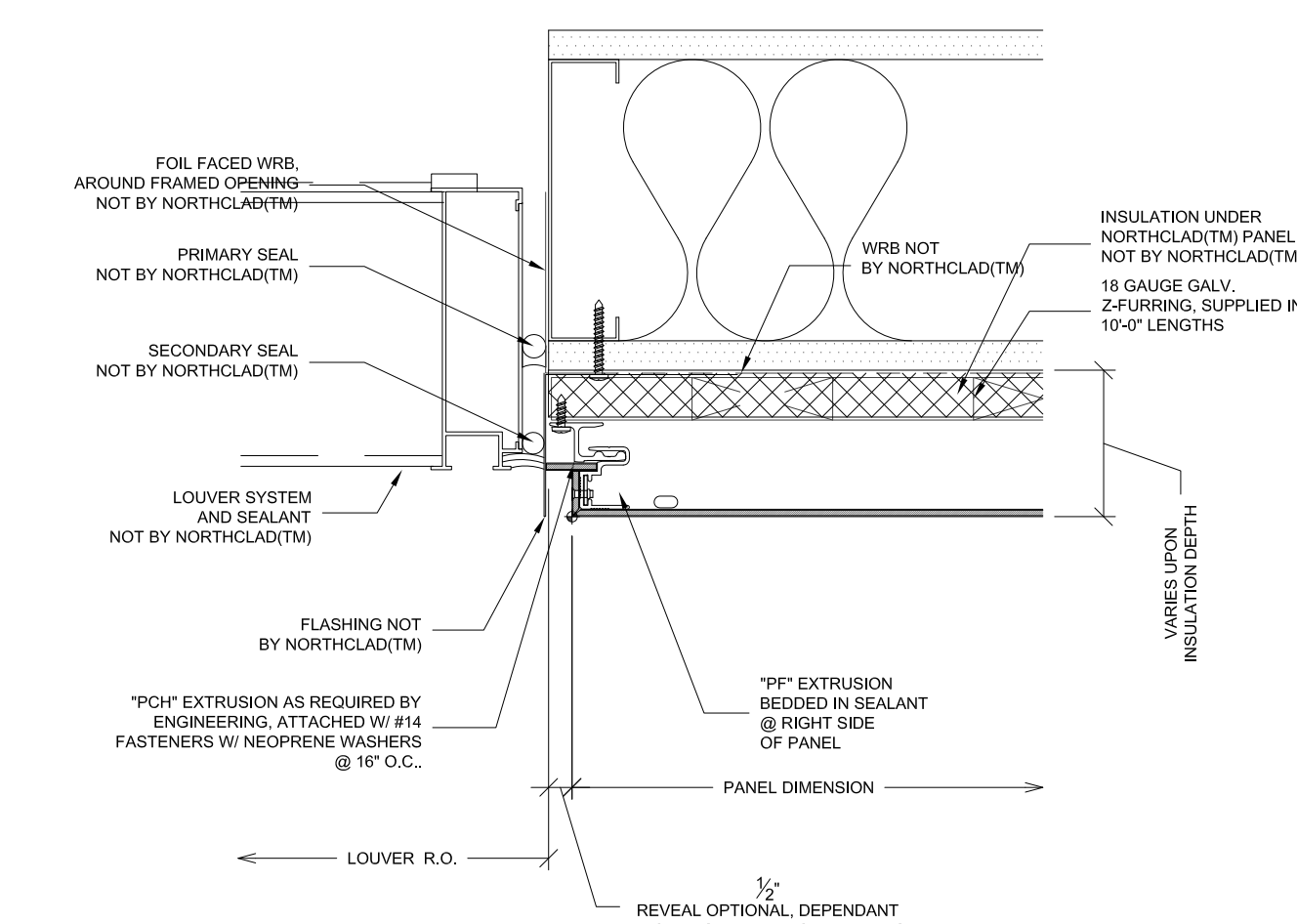
N WALL DETAILS - LOUVER SILL
 A5.3 SCALE: 3" = 1'-0"



O WALL DETAILS - LOUVER HEADER
 A5.3 SCALE: 3" = 1'-0"



P WALL DETAILS - LOUVER JAMB LH
 A5.3 SCALE: 3" = 1'-0"



Q WALL DETAILS - LOUVER JAMB RH
 A5.3 SCALE: 3" = 1'-0"

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WALL
SECTIONS
& DETAILS

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DATE 03/31/21
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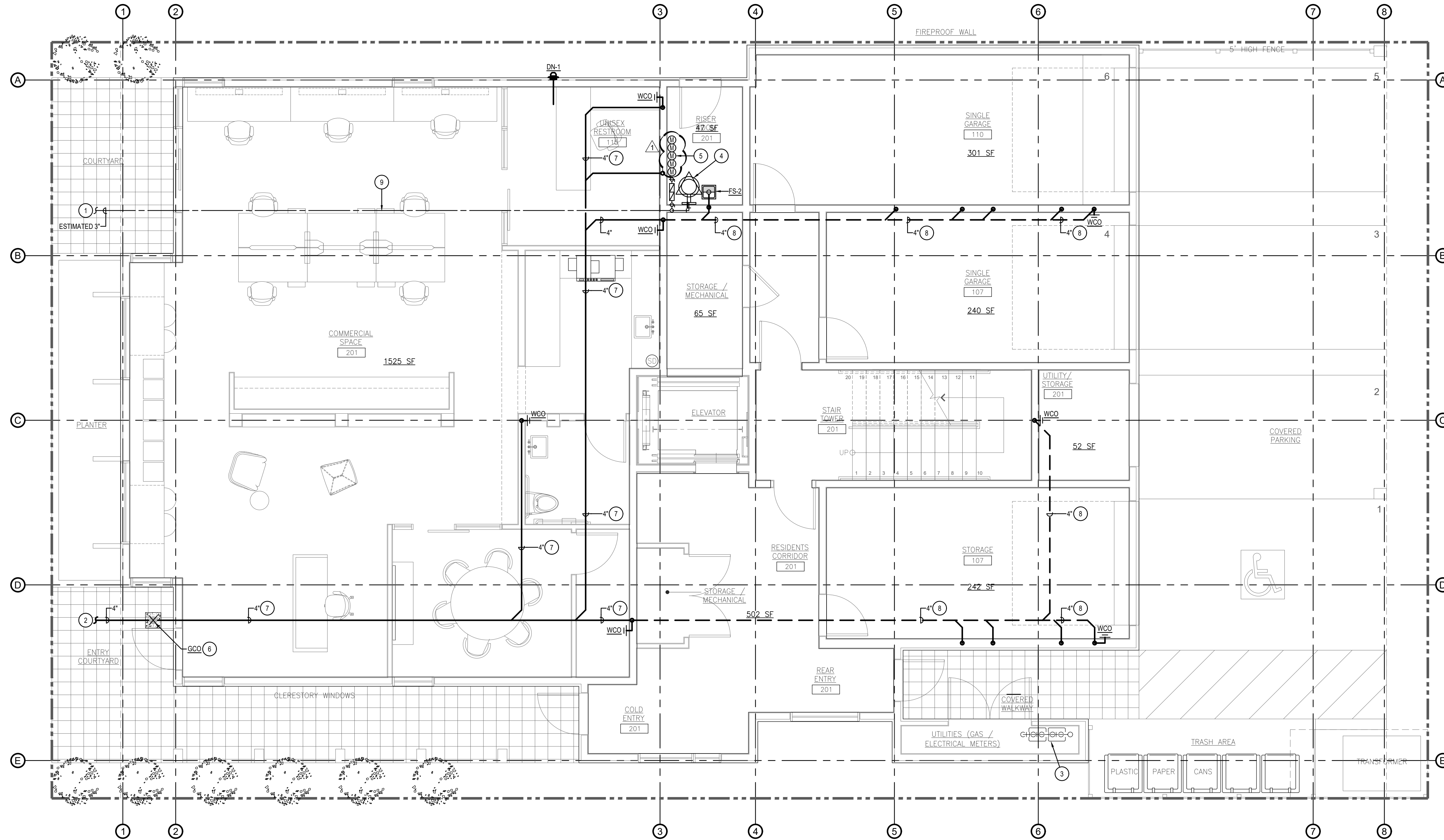
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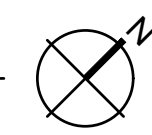
MECHANICAL
UTILITY PLAN

P 0.0

CATEGORY SEQUENCE



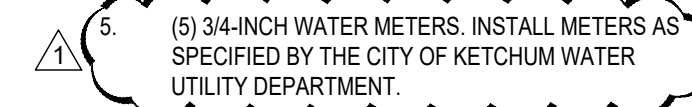
1 MECHANICAL UTILITY PLAN
P0.0 SCALE: 1/4" = 1'-0"



KEYED NOTES:

SYMBOL USED FOR NOTE CALLOUT.

- FIRE/WATER LINE FROM STREET TO BUILDING. SEE CIVIL SITE PLAN FOR CONTINUATION. THIS LINE REPLACES AN EXISTING 1-INCH DOMESTIC WATER LINE TO THE PROPERTY. THIS NEW LINE WILL SERVE BOTH DOMESTIC WATER AND THE FIRE SPRINKLER SYSTEM. LINE WILL BE SIZED BY THE FIRE SPRINKLER CONTRACTOR AND IS ESTIMATED TO BE A 3-INCH LINE SIZE.
- 4-INCH WASTE LINE OUT TO EXISTING SANITARY SEWER LINE STUBBED INTO THE PROPERTY. SEE CIVIL SITE PLAN FOR CONTINUATION.
- GAS METER BANK BY INTERMOUNTAIN GAS COMPANY.
- LOCATION OF BUILDINGS FIRE SPRINKLER RISER.
- (5) 3/4-INCH WATER METERS. INSTALL METERS AS SPECIFIED BY THE CITY OF KETCHUM WATER UTILITY DEPARTMENT.
- THE WASTE LINE INVERT ELEVATION AT THIS LOCATION IS 49-INCHES BELOW FINISH FLOOR (BFF). THIS INVERT ELEVATION IS BASED ON A STARTING POINT OF 2-FEET BFF WITH A LINE SLOPE OF 1/4" PER FOOT. THE PLUMBING CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND COORDINATE WITH THE SITE UTILITY CONTRACTOR PRIOR TO INSTALLATION OF ANY PIPING. CONTRACTOR SHALL CONTACT MUSGROVE ENGINEERING IF ANY CONFLICTS OR DISCREPANCIES ARE FOUND IN THE FIELD CONCERNING THIS SPECIFIED INVERT ELEVATION.
- WASTE LINE ROUTED IN THE CRAWL SPACE. SLOPE LINE AT 1/4-INCH PER FOOT.
- WASTE LINE SHOWN DASHED IS ROUTED BELOW CONCRETE SLAB. SLOPE LINE AT 1/4-INCH PER FOOT.
- WATER LINE ROUTED HIGH IN THE CRAWL SPACE.



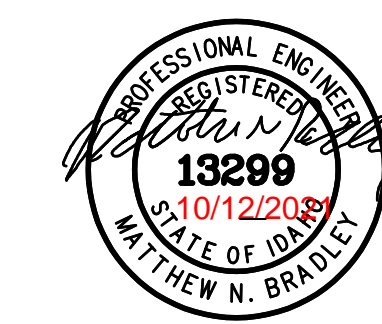


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234 S. Whisperwood Way
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208.533.2662
www.musgrovepa.com
Project No. 21087



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SUN VALLEY, ID 83353
220 River St. E [courier]
KETCHUM, ID 83343

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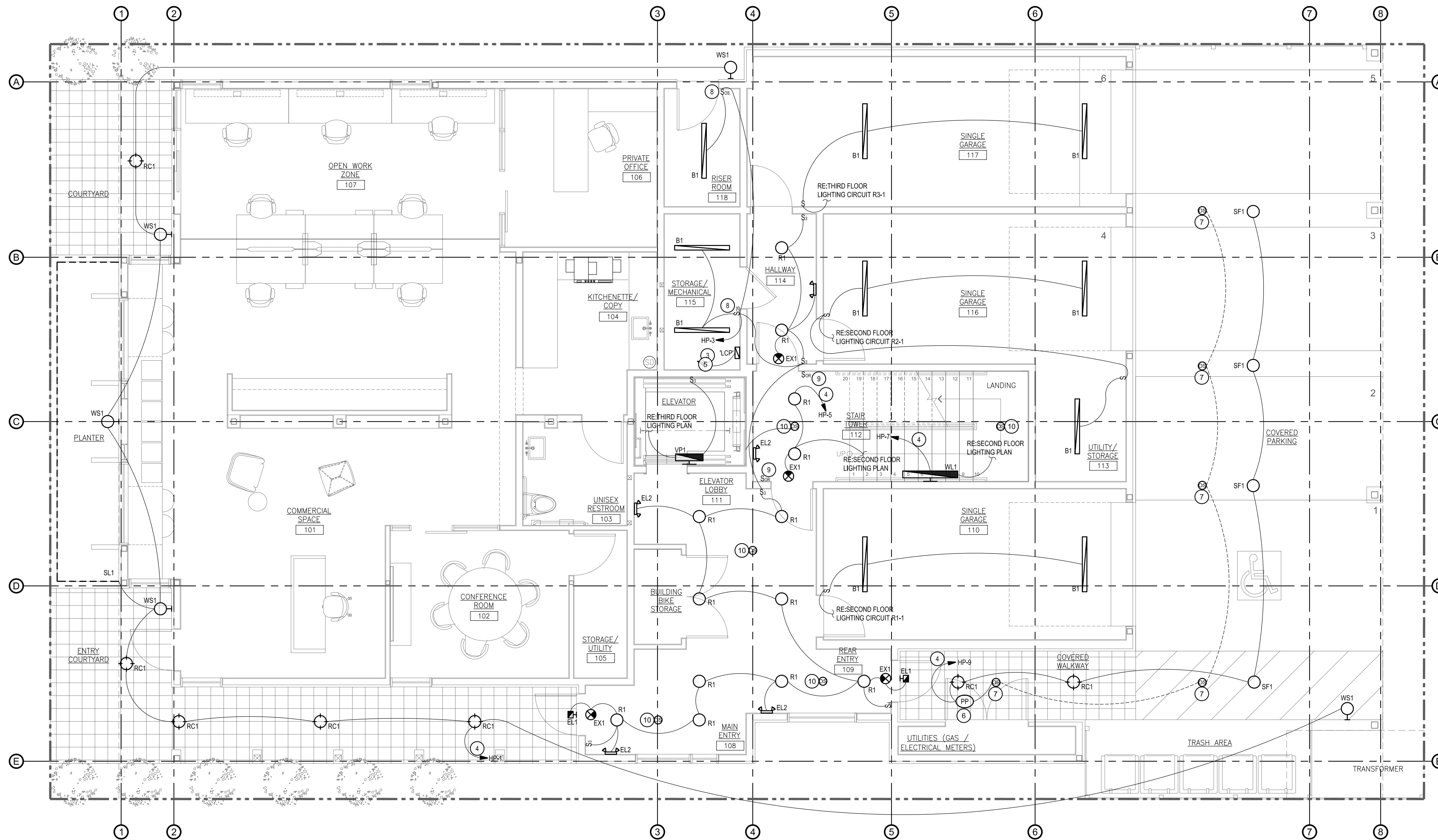
GENERAL LIGHTING NOTES:

A. REFER TO ARCHITECTS LIGHTING PLAN FOR DIMENSIONAL LIGHTING LAYOUT.

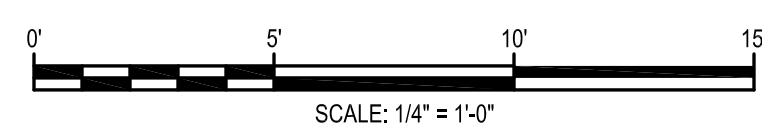
KEYED NOTES:

SYMBOL USED FOR NOTE CALLOUT.

1. PROVIDE A J-BOX THAT IS RATED FOR A CEILING FAN. COORDINATE WITH OWNER PRIOR TO ROUGH-IN.
2. PROVIDE SWITCH FOR CEILING FAN. PROVIDE CONDUCTORS TO FAN JUNCTION BOX AS REQUIRED. COORDINATE WITH OWNER PRIOR TO ROUGH-IN.
3. LIGHTING CONTROL PANEL. RE: LIGHTING CONTROL ZONE SCHEDULE.
4. ROUTE CIRCUIT THROUGH LIGHTING CONTROL PANEL. RE: LIGHTING CONTROL ZONE SCHEDULE DWG E6.0.
5. MOUNT FIXTURE AND ASSOCIATED SWITCH ABOVE THE LOWEST LEVEL OF ENTRY INTO THE ELEVATOR FIT.
6. INSTALL POWER PACK COMPATIBLE WITH OCCUPANCY SENSOR.
7. INSTALL SMALL MOTION, SINGLE TECHNOLOGY, LOW VOLTAGE, LOW TEMP. HIGH HUMIDITY OCCUPANCY SENSOR. INTERCONNECT WITH LOW VOLTAGE CABLE. SEE MANUFACTURERS INSTALLATION MANUAL.
8. INSTALL SINGLE TECHNOLOGY OCCUPANCY SENSOR.
9. CONNECT OVERRIDE SWITCH TO LIGHTING CONTROL PANEL PER MANUFACTURERS RECOMMENDATIONS.
10. CONNECT OCCUPANCY SENSOR TO LIGHTING CONTROL PANEL PER MANUFACTURERS RECOMMENDATIONS.



1 FIRST FLOOR LIGHTING PLAN
E2.0 SCALE: 1/4" = 1'-0"



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REVISION DATE REV #1 07/19/21

FINAL DESIGN REVIEW 08/17/21
PRE-AP 07/19/21
ISSUE/DATE SCHEMATIC 03/16/21
DRAWN BY DBH
CHECKED BY MNB
DATE 03/31/21
JOB NO. 1076

760
N. Washington
Ave

760 N. WASHINGTON AVE,
KETCHUM, IDAHO

FIRST FLOOR
LIGHTING PLAN

E 2.0
CATEGORY SEQUENCE

