



City of Ketchum
Planning & Building

STAFF REPORT
KETCHUM PLANNING AND ZONING COMMISSION
REGULAR MEETING OF DECEMBER 9, 2019

PROJECT: 771 E 5th Street (Bierbaum) Accessory Building

APPLICATION TYPE: Mountain Overlay Design Review

FILE NUMBER: P19-123

PROPERTY OWNER: Benjamin & Annabelle Bierbaum

REPRESENTATIVE: Haavik Consulting, LLC & TND Architects

REQUEST: Mountain Overlay Design Review for a new accessory building

LOCATION: 771 E 5th Street (Kinderhorn Subdivision: Block 1: Lot 4A)

ZONING: Limited Residential (LR) & Agricultural and Forestry (AF) Zoning Districts

OVERLAY: Mountain Overlay

NOTICE: A public hearing notice was mailed to property owners adjacent to the development site on November 27th, 2019.

REVIEWER: Abby Rivin, Associate Planner

BACKGROUND

The subject Mountain Overlay (MO) Design Review is for the development of a new 2,127 sq ft accessory building located at 771 E 5th Street (Kinderhorn Subdivision: Block 1: Lot 4A). The proposed two-story accessory building will be utilized as an art studio by the property owners. The subject 49,150 sq ft site is surrounded to the north by the Kinderhorn Subdivision, to the east by Val D'Sol Condominiums located in the City of Sun Valley, and to the west by the Sunalta Place and Sunnyside Condominiums.

Lot 4A of Kinderhorn Subdivision consists of former Parcel BB, which is zoned Agricultural and Forestry (AF), and former Lot 4 within the Limited Residential (LR) Zoning District. In 2017, former Parcel BB and Lot 4 were combined in accordance with the Readjustment of Lot Lines Procedure as outlined in the Subdivision Regulations (Title 16) of Ketchum Municipal Code (KMC) to form amended Lot 4A recorded as Instrument No. 645775. While the parcels were combined, the associated zoning designations remained the same with former Lot 4 within the LR Zone and former Parcel BB within the AF Zone.

ANALYSIS

Plat Note #6 of the amended Kinderhorn Subdivision: Block 1: Lot 4A subdivision states that, "a portion of Lot 4A is located in the Mountain Overlay (MO) District. City of Ketchum Design Review is required for any future development within Lot 4A, pursuant to applicable codes. No development within Lot 4A shall be located in 25% or greater slopes." With the subject MO Design Review application, the applicant has requested a new

accessory building located within the buildable portion of former Parcel BB to the south of the 25% slope area within the AF Zone. Below the adjacent hillside, the development site is not within a highly visible location and contains no rock outcroppings, ridges, or knolls. Former Parcel BB is relatively flat with approximately 10 ft of elevation change from the lowest point to the highest point. North of the development site, former Lot 4 contains areas of 25% slope as well as a significant rock outcropping. Irregularly shaped Lot 4A is encumbered by three easements—a 15 ft landscape easement adjacent to Tax Lot 3155, a triangular landscape easement (Instrument No. 499751) adjacent to Val D'Sol Subdivision, and a private driveway and public utility easement extending from 5th Street through the property.

Plat Note #4 of the Kinderhorn Subdivision: Block 1: Lot 4A subdivision states:

The area shown on the plat as “Former Kinderhorn Subdivision Parcel BB” shall have no dwelling unit density except that an accessory dwelling unit and other accessory buildings and uses shall be allowed and located thereon, pursuant to applicable code; and is intended for the specified access, utility and landscape easements.

Former Lot 4 within the LR Zone is developed with an existing single-family residence, which was constructed in 2003. Existing development on former Lot BB includes a retaining wall system that was constructed in the summer of 2019 (Fence Permit File No. P19-056). Accessory buildings and uses are permitted within the AF Zone (KMC §17.124.020 & KMC §17.12.020).

Pursuant to Ketchum Municipal Code (KMC) §17.104.050.A, the construction or placement of structures within the MO District is subject to all applicable Design Review improvements and standards (KMC §17.96.060) as well as subject to the Mountain Overlay Design Review requirements set forth in KMC §17.104.070. The purpose of the MO Zoning District is to encourage land uses harmonious with existing natural resources, to protect natural land features and wildlife habitat, prohibit detrimental alteration and minimize impacts to the existing topography, preserve hillsides and ridges, and minimize the visual impact of building sites by siting building footprints away from higher elevations.

The project fulfills the intent of the Mountain Overlay Zoning District to minimize the visual impact of building sites and to preserve hills and ridgelines by siting the accessory building at the lowest elevation of Lot 4A at the base of the hillside. The total building coverage for the proposed accessory building 3.44%. With the addition of the accessory building, total building coverage on Lot 4A will be 7.41% (3,644 sq ft building coverage/49,150 sq ft lot area), which is 13,539 sq ft less than the 35% maximum allowable building coverage permitted in the LR Zone and 1,251 sq ft less than the 10% maximum allowable building coverage permitted in the AF Zone. The maximum height of the proposed accessory building is 29', which is 6' less than the maximum height (35') permitted in the LR and AF Zones.

COMPREHENSIVE PLAN ANALYSIS

The lots located in Kinderhorn Subdivision are designated within the Open Space, Parks & Recreation Future Land Use Categories as many of the properties are sited on the hillside and contain slopes greater than 25%. The proposed development site (Former Parcel BB of Amended Lot 4A) at the lowest portion of Kinderhorn Subdivision is relatively flat. The proposed accessory building located at 771 E 5th Street is consistent with the uses, goals, and policies listed below as specified within the 2014 Comprehensive Plan.

Table 1: Comprehensive Plan Analysis

SUPPORTING SECTION	SUMMARY OF COMPLIANCE WITH THE 2014 COMPREHENSIVE PLAN
Community Design and Neighborhoods	
Goal CD-2 Protect and enhance views of the surrounding mountains and natural features.	Policy CD-2.2 - Mountain Overlay Zone Continue to protect hillsides within the City and the Area of City Impact from further development. Enforce and encourage strengthening of the Mountain Overlay standards of the City and County, by using a variety of techniques; such as clustering at lower elevations, creating conservation easements, or purchasing private property on hillsides.
Policy CD-2.4 Development Designed for Natural Feature Preservation	Protect and incorporate natural features into newly developing areas. Conserve the natural patterns of streams, ridgelines, topography, riparian areas, and wildlife habitat areas.

Table 2: City Department Comments

City Department Comments
<p><i>Note: City Department comments are preliminary and based on the project concept as proposed with the subject Design Review application. All City Departments shall review and approve the project through the Building Permit application process. All comments pertaining to the Design Review drawings are subject to change. All right-of-way improvements shall be reviewed and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project. All City Department requirements and associated specifications for the required improvements must be verified, reviewed, and approved prior to issuance of a Building Permit for the project.</i></p>
<p>Fire Department:</p> <ul style="list-style-type: none"> • It is the General Contractor's responsibility to understand and adhere to all Fire Protection Ordinance #1125 requirements in addition to any and all other City of Ketchum requirements in effect at the time of Building Permit issuance. Failure to comply with all local ordinances and codes may result in project work stoppage as well as criminal penalties. • The above project shall meet all 2012 International Fire Code requirements in addition to specific City Building and Fire Ordinances. • IF a monitored fire detection system exists or is installed, it shall meet NFPA 72 and be monitored by an approved alarm monitoring station. An approved key box shall be installed, with the appropriate keys, for emergency fire department access in a location approved by the fire department. • Approved address numbers shall be placed in such a position to be plainly visible and legible from the road fronting the property. Numbers and letters shall be a minimum of four (4) inches tall, contrast with their background and be positioned a minimum of forty-eight (48) inches above final grade. • Vehicle parking and material storage during construction shall not restrict or obstruct public streets or access to any building. A minimum twenty-foot travel lane for emergency vehicle access shall be maintained clear and unobstructed at all times. All required Fire Lanes, including within 15 feet of fire hydrants, shall be maintained clear and unobstructed at all times. • An approved access roadway per 2012 International Fire Code Appendix D (www.ketchumfire.org) shall be installed prior to any combustible construction on the site. The road shall be a minimum of twenty (20) feet in width and capable of supporting an imposed load of at least 75,000 pounds. The road must be an all-weather driving surface maintained free, clear, and unobstructed at all times. Grades shall not exceed 7%. Gates, if installed, are required to be siren activated for emergency vehicle access. • Fire extinguishers shall be installed and maintained per 2012 IFC Section 906 both during construction and upon occupancy of the building. • Spark arresters are required on all solid fuel burning appliance chimneys to reduce potential fires from

burning embers.

- Final inspections of all Fire Department permit required installations by the Fire Chief or an appointee are required and shall be scheduled at least 48 hours in advance. A Final Inspection Checklist can be found at www.ketchumfire.org.
- Fire Department requirements and associated specifications for the required improvements must be verified, reviewed, and approved prior to issuance of a Building Permit for the project.

City Engineer & Streets Department:

- Pursuant to KMC §17.96.060.C.1, all storm water drainage shall be retained on site.
- All construction for the project must comply with the standards set forth in Ketchum Municipal Code, Chapter 15.06 Construction Activity Standards. The applicant shall submit a Construction Activity Plan addressing all applicable activities including excavation, material storage and deliveries, screening, and site clean-up (KMC §15.06.030) to be reviewed and approved prior to issuance of a Building Permit for the project. Pursuant to KMC §15.06.030.A.2, the applicant shall provide notice of the project, construction schedule, and general contractor's contact information to all neighbors with properties adjacent to the project site.
- The design shall meet all applicable sections of Chapter 12 of Ketchum Municipal Code including design criteria for private driveways (KMC §12.04.030.L).
- The public right-of-way adjacent to the subject property shall be improved to the City's right-of-way standards for local-residential street right-of-ways.
- The applicant shall submit a Street and Alley Digging, Excavation, and Trenching ("DIG") Permit application with an associated traffic control plan for any proposed construction work within the City right-of-way to be reviewed and approved by the Streets Department. The use of City right-of-way for construction including the closure of adjacent streets or sidewalks requires a Temporary Use of Right-of-Way Permit ("TURP").
- City Engineer & Streets Department requirements and associated specifications for the required improvements must be verified, reviewed, and approved prior to issuance of a Building Permit for the project.

Utilities:

- The applicant will be responsible for installing extending the existing connections to the municipal water and sewer system.
- Requirements and specifications for the water and sewer connections will be verified, reviewed, and approved by the Utilities Department prior to issuance of a Building Permit for the project.

Building:

- The building must meet the 2012 International Building Code and Title 15 Buildings and Construction of Ketchum Municipal Code.
- Building Department requirements and associated specifications for the required improvements must be verified, reviewed, and approved prior to issuance of a Building Permit for the project.

Planning and Zoning:

Comments are denoted throughout Tables 3, 4, and 5.

Table 3: Zoning and Dimensional Standards Analysis

Compliance with Zoning and Dimensional Standards				
Compliant			Standards and Staff Comments	
Yes	No	N/A	Ketchum Municipal Code Standard	City Standards and Staff Comments
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.12.030	Minimum Lot Area
			Staff Comment	Required: LR Zone: 9,000 sq ft AF Zone: 10 acres

				<p>Existing: Former Lot 4 (LR Zone): 20,000 sq ft Former Parcel BB (AF Zone): 29,195 sq ft Subject Lot 4A is nonconforming to the minimum 10 acre lot area required in the AF Zone, but conforms to the minimum 9,000 sq ft required in the LR Zone.</p> <p>Pursuant to KMC §17.128.010, where an individual lot was held in separate ownership from adjoining properties or was platted in a recorded subdivision approved by the city council prior to April 21, 1966, or was in such a condition at the time the lot was subsequently annexed to the city, or was of legal area and dimensions when held in separate ownership from adjoining properties or when platted in a recorded subdivision, such a lot may be occupied according to the permitted uses provided for the district in which the lot is located, provided the proposed uses, building construction and all other regulations in regard to setbacks, supplemental yard regulations and parking areas are strictly adhered to and complied with.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030 Staff Comment	<p>Building Coverage</p> <p>Permitted: 10% LR Zone: 35% AF Zone: 10%</p> <p>Existing: Single-Family Residence on Former Lot 4 (LR Zone): 10% (1,949 sq ft building coverage/20,000 sq ft lot area)</p> <p>Proposed: Accessory Building on Former Parcel BB (AF Zone): 6% (1,695 sq ft building coverage/29,195 sq ft lot area)</p> <p>Total Single-Family Residence (LR Zone) & Accessory Building (AF Zone): 8% (3,644 sq ft building coverage/49,195 sq ft lot area)</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030 Staff Comment	<p>Minimum Building Setbacks</p> <p>Minimum Required Setbacks (AF Zone): Front: 25' Side: 25' Rear: 25'</p> <p>Proposed Accessory Building: Side (W): 25'-2" Side (S): 27'-6"</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030 Staff Comment	<p>Building Height</p> <p>Maximum Permitted (AF Zone): 35' Proposed Accessory Building : 29' from existing grade (Sheet A300)</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.125. 030.H Staff Comment	<p>Curb Cut</p> <p>Permitted: A total of 35% of the linear footage of any street frontage can be devoted to access off street parking.</p> <p>Existing: The proposed accessory building will be accessed from a paver landing area that connects to the existing private driveway and public utility easement</p>

				(Sheet L100).
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.125.020.A.2 & 17.125.040	Parking Spaces
			Staff Comment	<p>Off-street parking standards of this chapter apply to any new development and to any new established uses.</p> <p>Required: One-Family Dwelling Units in all applicable zoning districts require 2 parking spaces per dwelling unit. KMC §17.125.050 specifies parking spaces required for primary uses, but not for accessory uses. The proposed studio does not generate additional parking demand.</p> <p>Proposed: The proposed studio is accessory to the primary use of the existing single-family residence. No additional parking spaces are required or proposed.</p>

Table 4: Mountain Overlay Design Review Standards Analysis

Mountain Overlay Design Review Standards				
EVALUATION STANDARDS: Ketchum Municipal Code § 17.107.070.A				
Compliant			Standards and Staff Comments	
Yes	No	N/A	Reference	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070.A.1	<p>There is no building on ridges or knolls which would have a material visual impact on a significant skyline visible from a public vantage point entering the City or within the City. Material, as the term is used herein, shall be construed in light of the magnitude of the negative impact on the objectives of this Ordinance.</p>
			Staff Comments	<p><i>No ridges or knolls are present on former Parcel BB— the 25% slope area is located to the north within former Lot 4 and the ridge line lies beyond the extent of the rear property line. Below the adjacent hillside, former Parcel BB is relatively flat with approximately 10 ft of elevation change from the lowest point to the highest point.</i></p> <p><i>While the property is located adjacent to the Sun Valley Road (Horsemen's Center) gateway corridor, the accessory building will not be visible from any public vantage point entering or within the City. Existing development including the Val D' Sol condominiums within the City of Sun Valley as well as the Sunnyside and Sunalta Place condominiums on Spruce Street will sufficiently screen the accessory building from the Sun Valley Road gateway corridor.</i></p> <p><i>Former Parcel BB is located at the southernmost and flattest portion of Kinderhorn Subdivision. Compared to the existing single-family residences to the north on the adjacent hillside, the accessory building has significantly less visual impact. In addition to the adjacent development, the existing and proposed landscaping as indicated on Sheet L102 will provide sufficient screening.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070.A.2	<p>Building, excavating, filling and vegetation disturbance on hillsides which would have a material visual impact visible from a public vantage point entering the City or within the City is minimized. Material, as the term is used herein, shall be construed in light of the magnitude of the negative impact on the objectives of this Ordinance.</p>
			Staff Comments	<p><i>Building, excavation, filling, and vegetation disturbance will not have a material visual impact visible from a public vantage point entering into or within the City due to the siting of the building footprint at the lowest elevation of Lot 4A and the flattest portion of Kinderhorn Subdivision.</i></p>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070.A.3	Driveway standards as well as other applicable standards contained in Street Standards Chapter 12.04 are met.
			Staff Comments	<i>No changes are proposed to the existing driveway access. Subject Lot 4A adjoins the east end of 5th Street. From the terminus of the 5th Street ROW, a private driveway and public utility easement bisects Lot 4A.</i> <i>See Table 2 for comment from the Streets and Fire departments. Fire and Streets department requirements and associated specifications for the required improvements must be verified, reviewed, and approved prior to issuance of a Building Permit for the project.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070.A.4	All development shall have access for fire and other emergency vehicles to within one hundred fifty feet (150') of the furthest exterior wall of any building.
			Staff Comments	<i>Sufficient access is provided for fire and emergency apparatus to reach within 150 ft of the furthest exterior wall of the building. Fire Department requirements and associated specifications for the required improvements must be verified, reviewed, and approved prior to issuance of a Building Permit for the project.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070.A.5	Significant rock outcroppings are not disturbed.
			Staff Comments	<i>No significant rock outcroppings have been identified on former Parcel BB. The rock outcropping indicated on the Kinderhorn Subdivision: Block 1: Lot 4A plat is located at the northernmost portion of the lot and will remain undisturbed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070.A.6	International Building Code (IBC) and International Fire Code (IFC) and Ketchum Fire Department requirements shall be met.
			Staff Comments	<i>The project must comply with the 2012 International Building Code, the 2012 International Fire Code and Ketchum Fire Department requirements, as well as Title 15 of Ketchum Municipal Code. All IBC, IFC, Building Department, and Fire Department requirements shall be verified and met prior to issuance of a Building Permit for the project.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070.A.7	Public water and sewer service comply with the requirements of the City.
			Staff Comments	<i>See Table 2 for comment from the Utilities Department. Requirements and specification for the water and sewer connections will be verified, reviewed, and approved by the Utilities Department prior to issuance of a Building Permit for the project.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070.A.8	Drainage is controlled and maintained to not adversely affect other properties.
			Staff Comments	<i>As indicated on Sheet L101, the applicant has proposed a combination drywells and catch basins to control drainage on site. Pursuant to KMC §17.96.060.C.1, all storm water drainage shall be retained on site. The applicant shall submit specifications and details for the drywells and catch basins with the Building Permit application for review and approval by the City Engineer and Streets Department. All drainage plans and specifications shall be reviewed and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070.A.9	Cuts and fills allowed for roadways shall be minimized; lengths of driveways allowed shall be minimized; all cuts and fills shall be concealed with landscaping, revegetation and/or natural stone materials. Revegetation on hillsides with a clear zone of thirty feet (30') around all structures is recommended. Said clear zone shall include low combustible irrigated vegetation with appropriate species, on file with the Ketchum

				planning department. Revegetation outside of this clear zone should be harmonious with the surrounding hillsides.
			Staff Comments	<i>No new roadway is proposed with the project and the driveway access is existing. Former Parcel BB is located at the southernmost portion of Lot 4A at the base of the adjacent hillside. Fill will be utilized to adjust the grade adjacent to the accessory building, which will be reseeded with native grasses following construction. The applicant has provided a grading plan on Sheet L101 and a landscape plan on Sheet L102 of the Mountain Overlay Design Review submittal included as Attachment B to the Staff Report.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070. A.10	There are no other sites on the parcel more suitable for the proposed development in order to carry out the purposes of this Ordinance.
			Staff Comments	<i>The proposed accessory building is sited within the buildable portion of former Parcel BB to the south of the 25% slope area. Below the adjacent hillside, former Parcel BB is relatively flat with approximately 10 ft of elevation change from the lowest point to the highest point. The applicant has chosen the most suitable portion of Lot 4A to develop the proposed accessory building.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.104.070. A.11	Access traversing 25% or greater slopes does not have significant impact on drainage, snow and earth slide potential and erosion as it relates to the subject property and to adjacent properties.
			Staff Comments	<i>The existing driveway access remains unchanged with this proposal and does not traverse 25% or greater slopes.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070. A.12	Utilities shall be underground.
			Staff Comments	<i>All on-site utilities shall be located underground. Existing underground municipal water and sewer connections as well as gas and power will be extended to connect to the new accessory building.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070. A.13	Limits of disturbance shall be established on the plans and protected by fencing on the site for the duration of construction.
			Staff Comments	<i>The limits of disturbance must be established on the construction activity plan submitted with the Building Permit application to be reviewed and approved by the Planning & Building Department prior to issuance of a Building Permit for the project.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.104.070. A.14	Excavations, fills and vegetation disturbance on hillsides not associated with the building construction shall be minimized.
			Staff Comments	<i>N/A as former Parcel BB is located at the lowest elevation of Lot 4A at the base of the adjacent hillside.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070. A.15	Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.
			Staff Comments	<i>Pursuant to KMC §17.104.030.B, all properties within Kinderhorn Subdivision are designated as a significant landmark within the City of Ketchum. Staff has not identified any significant landmarks within former Parcel BB. The significant rock outcropping within Lot 4A at the northernmost portion of Lot 4A will remain undisturbed with this project.</i>

Table 5: Design Review Standards Analysis

Design Review Requirements IMPROVEMENTS AND STANDARDS: 17.96.060				
Yes	No	N/A	Ketchum Municipal Code Standard	City Standards and <i>Staff Comments</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(A)(1) Streets	The applicant shall be responsible for all costs associated with providing a connection from an existing city street to their development.
			<i>Staff Comments</i>	N/A as the driveway access is existing.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(A)(2) Streets	All street designs shall be approved by the City Engineer.
			<i>Staff Comments</i>	N/A as no changes to the 5 th Street ROW contiguous to the property are proposed and the driveway access is existing.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(B)(1)	All projects under 17.96.010(A) that qualify as a “Substantial Improvement” shall install sidewalks as required by the Public Works Department.
			<i>Staff Comments</i>	N/A as sidewalks are not required or existing in the subject low density residential area.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060 (B)(2)c	Sidewalk width shall conform to the City’s right-of-way standards, however the City Engineer may reduce or increase the sidewalk width and design standard requirements at their discretion.
			<i>Staff Comments</i>	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060 (B)(3)	Sidewalks may be waived if one of the following criteria is met: <ul style="list-style-type: none"> a. The project comprises an addition of less than 250 square feet of conditioned space. b. The City Engineer finds that sidewalks are not necessary because of existing geographic limitations, pedestrian traffic on the street does not warrant a sidewalk, or if a sidewalk would not be beneficial to the general welfare and safety of the public.
			<i>Staff Comments</i>	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060 (B)(4)	The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.
			<i>Staff Comments</i>	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060 (B)(5)	New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.
			<i>Staff Comments</i>	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060 (B)(6)	The City may approve and accept voluntary cash contributions in-lieu of the above described improvements, which contributions must be segregated by the City and not used for any purpose other than the provision of these improvements. The contribution amount shall be one hundred ten percent (110%) of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the City Engineer. Any approved in-lieu contribution shall be paid before the City issues a certificate of occupancy.
			<i>Staff Comments</i>	N/A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(1)	All storm water shall be retained on site.
			<i>Staff Comments</i>	All storm water shall be retained on site. Drainage is proposed to be maintained and controlled through a system of catch basins and drywells. The final drainage plan shall be submitted with the Building Permit to be verified, reviewed, and approved by the City Engineer and the Streets Department prior to issuance of a Building Permit for the project.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(2)	Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.
			<i>Staff Comments</i>	The drainage improvements shall span the length of the property line contiguous with the 5 th Street ROW. The final drainage plan shall be submitted with the Building Permit to be verified, reviewed, and approved by the City Engineer and the Streets Department

				prior to issuance of a Building Permit for the project. See above analysis for KMC §17.96.060(C)(1).
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(3)	The City Engineer may require additional drainage improvements as necessary, depending on the unique characteristics of a site.
			<i>Staff Comments</i>	<i>The final drainage plan shall be submitted with the Building Permit to be verified, reviewed, and approved by the City Engineer and the Streets Department prior to issuance of a Building Permit for the project.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(4)	Drainage facilities shall be constructed per City standards.
			<i>Staff Comments</i>	<i>Drainage facilities shall be constructed per City standards. All drainage improvements shall be verified, reviewed, and approved by the City Engineer prior to issuance of a Building Permit for the project.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(D)(1)	All utilities necessary for the development shall be improved and installed at the sole expense of the applicant.
			<i>Staff Comments</i>	<i>The applicant is aware that any service connections to utilities are the sole responsibility of the applicant.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(D)(2)	Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view.
			<i>Staff Comments</i>	<i>All on-site utilities shall be located underground. Existing municipal water and sewer connections as well as gas and power shall be extended to connect to the new accessory building.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(D)(3)	When extension of utilities is necessary all developers will be required to pay for and install two (2") inch SDR11 fiber optical conduit. The placement and construction of the fiber optical conduit shall be done in accordance with city of Ketchum standards and at the discretion of the City Engineer.
			<i>Staff Comments</i>	<i>N/A</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(E)(1)	The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures.
			<i>Staff Comments</i>	<i>As indicated on Sheet A-900 of the Design Review submittal, exterior materials include a stucco painted to match the existing residence, black metal fascia and chimney cap, cedar soffit painted black, and aluminum clad windows and doors. Adjacent residential development includes similar exterior materials including stucco, metal, and wood. Staff finds that the project's proposed materials and colors complement the existing single-family residence and the surrounding neighborhood.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(E)(2)	Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.
			<i>Staff Comments</i>	<i>The significant rock outcropping is located at the northernmost portion of Lot 4A and will remain undisturbed with this project.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(E)(3)	Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to.
			<i>Staff Comments</i>	<i>N/A. The accessory building is detached from the adjacent single-family residence.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(1)	Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined.
			<i>Staff Comments</i>	<i>N/A. No sidewalks are located within Kinderhorn Subdivision. The entryway of the accessory building is clearly defined. Doors from the accessory building open to a paver landing, walkway, and patio.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(2)	The building character shall be clearly defined by use of architectural features.
			<i>Staff Comments</i>	<i>Building elevations are indicated on Sheets A200, A201, and A900 of the MO Design Review submittal and are included as Attachment B to the Staff Report. The façade design includes significant fenestration. The window and door openings as well as the balcony at the north elevation provide variation and relief from the portions of flat stucco façade.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(3)	There shall be continuity of materials, colors and signing within the project.
			<i>Staff Comments</i>	<i>As noted on Sheet A900 of the MO Design Review submittal included as Attachment B to the Staff Report, the stucco will be painted to match the existing single-family residence</i>

				on former Lot 4.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(4)	Accessory structures, fences, walls and landscape features within the project shall match or complement the principal building.
			<i>Staff Comments</i>	<i>As noted on Sheet A900, the stucco will be painted to match the existing single-family residence. The proposed design includes privacy fences that match the metal finishes of the accessory building including the black metal fascia, chimney cap, and balcony railing. The landscape plan indicated on Sheet L102 will enhance the design of the development and will serve to augment screening.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(5)	Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.
			<i>Staff Comments</i>	<i>The proposed design utilizes fenestration through multiple window and door openings to provide relief to the flat stucco of the front, side, and rear façades. The balcony railing serves as a horizontal element to provide relief to the vertical stucco wall at the north elevation. The contrast between the painted stucco and the black metal finishes enhances visual interest.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(F)(6)	Building(s) shall orient towards their primary street frontage.
			<i>Staff Comments</i>	<i>N/A as subject Lot 4A is contiguous to the terminus of the E 5th Street ROW. The building orients towards the existing private driveway access and utility easement, which is contiguous to the terminus of the E 5th Street ROW.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(F)(7)	Garbage storage areas and satellite receivers shall be screened from public view and located off alleys.
			<i>Staff Comments</i>	<i>N/A. No satellite receivers are proposed. This is a residential project that will not have an exterior commercial garbage receptacle that requires screening.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(8)	Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties.
			<i>Staff Comments</i>	<i>The applicant has proposed the installation of gutters and downspouts in order to enhance weather protection.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(G)(1)	Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.
			<i>Staff Comments</i>	<i>The subject property is an infill site located within a residential neighborhood. The site is not contiguous to an existing pedestrian, equestrian, or bicycle access although there is a multi-use path adjacent to Sun Valley Road. No new pedestrian, equestrian, or bicycle accesses are anticipated or proposed for the subject property.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(G)(2)	Awnings extending over public sidewalks shall extend five (5') feet or more across the public sidewalk but shall not extend within two (2') feet of parking or travel lanes within the right of way.
			<i>Staff Comments</i>	<i>N/A.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(3)	Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage.
			<i>Staff Comments</i>	<i>The development site is located in a low-traffic residential neighborhood adjacent to the Community Core and traffic is anticipated to flow safely within the project and onto adjacent streets.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(G)(4)	Curb cuts and driveway entrances shall be no closer than twenty (20') feet to the nearest intersection of two or more streets, as measured along the property line adjacent to the right of way. Due to site conditions or current/projected traffic levels or speed, the City Engineer may increase the minimum distance requirements.
			<i>Staff Comments</i>	<i>The driveway access remains unchanged with this proposal.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(5)	Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project.
			<i>Staff Comments</i>	<i>Unobstructed access to the site is provided from the E 5th Street and the contiguous private driveway and public utility easement.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(H)(1)	Snow storage areas shall not be less than thirty percent (30%) of the improved parking and pedestrian circulation areas.

			<i>Staff Comments</i>	<i>As indicated on Sheet L102, the applicant has proposed two snow storage areas—407 sq ft and 498 sq ft—that encroach within the private driveway and utility easement. As conditioned, the proposed snow storage areas are subject to approval by all easement beneficiaries and shall not restrict driveway access to a width narrower than 20 ft. If the driveway easement becomes too narrow for emergency vehicle access or impairs lines-of-sight, then the snow storage must be accommodated elsewhere on subject Lot 4A or hauled off-site. City of Ketchum Ordinance No. 1146 prohibits the storage of snow or ice from private properties within public rights-of-way.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(H)(2)	Snow storage areas shall be provided on-site.
			<i>Staff Comments</i>	<i>The applicant has proposed two snow storage areas that encroach within the private driveway and utility easement that bisects subject Lot 4A. As conditioned, the proposed snow storage areas are subject to approval by all easement beneficiaries and shall not restrict driveway access to a width narrower than 20 ft. If the driveway easement becomes too narrow for emergency vehicle access or impairs lines-of-sight, then the snow storage must be accommodated elsewhere on subject Lot 4A or hauled off-site. City of Ketchum Ordinance No. 1146 prohibits the storage of snow or ice from private properties within public rights-of-way.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(H)(3)	A designated snow storage area shall not have any dimension less than five (5') feet and shall be a minimum of twenty five (25) square feet.
			<i>Staff Comments</i>	<i>The proposed dimensions of the snow storage areas meet these minimum standards.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(H)(4)	In lieu of providing snow storage areas, snow melt and hauling of snow may be allowed.
			<i>Staff Comments</i>	<i>The applicant has proposed two snow storage areas that encroach within the private driveway and utility easement that bisects subject Lot 4A. As conditioned, the proposed snow storage areas are subject to approval by all easement beneficiaries and shall not restrict driveway access to a width narrower than 20 ft. If the driveway easement becomes too narrow for emergency vehicle access or impairs lines-of-sight, then the snow storage must be accommodated elsewhere on subject Lot 4A or hauled off-site. City of Ketchum Ordinance No. 1146 prohibits the storage of snow or ice from private properties within public rights-of-way.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(1)	Landscaping is required for all projects.
			<i>Staff Comments</i>	<i>The landscape plan is indicated on Sheet L102 of the MO Design Review submittal and included as Attachment B to the Staff Report.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(2)	Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape.
			<i>Staff Comments</i>	<i>The applicant has proposed retaining groupings of existing trees within Lot 4A and installing two new Colorado Spruce trees. The landscape plan includes a perimeter of shrubs and grasses that will enhance the newly installed retaining wall system. Techny Arborvitae is the common name of the proposed shrub and Foerester's Feather Reed Grass is the common name of the proposed grass. The yard adjacent to the paver patio will be reseeded with a native mix of grasses.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(3)	All trees, shrubs, grasses and perennials shall be drought tolerant. Native species are recommended but not required.
			<i>Staff Comments</i>	<i>All trees, shrubs, grasses, and perennial shall be drought tolerant.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(4)	Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged.
			<i>Staff Comments</i>	<i>The landscaping proposed will serve to screen the accessory buildings from the adjacent residential developments and enhance the appearance of the design of the new development by providing visual relief.</i>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(J)(1)	Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All public amenities shall receive approval from the Public Works Department prior to design review approval from the Commission.
			<i>Staff Comments</i>	<i>N/A. Sidewalks are not required for the project.</i>

STAFF RECOMMENDATION:

Staff recommends the Planning & Zoning Commission consider the analysis contained in the Staff Report, the applicant's presentation, and any public comment received, deliberate, and move to approve the Mountain Overlay Design Review application for the proposed accessory building located at 771 E 5th Street subject to the recommended conditions of approval.

RECOMMENDED CONDITIONS OF APPROVAL

1. All City Department conditions as described in Table 2, 3, 4, and 5 shall be met. All City Departments shall verify comments, review, and approve the project prior to issuance of a Building Permit for the project. All comments pertaining to the Mountain Overlay Design Review application are subject to change.
2. The proposed snow storage areas as indicated on Sheet L102 of the MO Design Review submittal drawings are subject to approval by all beneficiaries of the private driveway and public utility easement and shall not restrict driveway access to a width narrower than 20 ft. If the driveway easement becomes too narrow for emergency vehicle access or impairs lines-of-sight, then the snow storage must be accommodated elsewhere on subject Lot 4A or hauled off-site.
3. The limits of disturbance must be established on the construction activity plan submitted with the Building Permit application to be reviewed and approved by the Planning & Building Department prior to issuance of a Building Permit for the project. Construction fencing at the limits of disturbance shall be installed on the site prior to any excavation or earthwork and remain in place throughout the duration of construction.
4. Final civil drawings including the drainage/grading plan for the proposed development shall be submitted to the Planning & Building Department for review and approval by the City Engineer and Streets Department prior to issuance of a Building Permit for the project.
5. This Mountain Overlay Design Review approval is based on the plans and information presented and approved at the meeting on the dates noted herein. Building Permit plans must conform to the approved Design Review plans unless otherwise approved in writing by the Planning and Zoning Commission or Administrator. Any building or site discrepancies which do not conform to the approved plans will be subject to removal.
6. All construction for the project must comply with the standards set forth in Ketchum Municipal Code, Chapter 15.06 Construction Activity Standards.
7. All governing ordinances, requirements, and regulations of the Fire Department (2012 International Fire Code and local Fire Protection Ordinance No.1125), Building Department (2012 International Building Code, the 2012 International Residential Code, and Title 15 of Ketchum Municipal Code), Utilities Department, Street Department (Title 12 of Ketchum Municipal Code), and the City Engineer shall be met prior to issuance of Certificate of Occupancy.
8. The applicant shall submit a Street and Alley Digging, Excavation, and Trenching ("DIG") Permit application with an associated traffic control plan for any construction work within the City right-of-way to be reviewed and approved by the Streets Department. The use of City right-of-way for construction including the closure of adjacent streets or sidewalks requires a Temporary Use of Right-of-Way Permit ("TURP").

9. Design Review approval shall expire one (1) year from the date the Findings of Fact, Conclusions of Law, and Decision are adopted by the Planning & Zoning Commission, unless an extension is requested and granted consistent with KMC §17.96.090.
10. All Design Review elements shall be completed prior to final inspection and issuance of a Certificate of Occupancy for the accessory building.
11. All exterior lighting shall be in compliance with Ketchum Municipal Code, Chapter 17.132, Dark Skies, and approved prior the issuance of a Certificate of Occupancy for the project.
12. In addition to the requirements set forth in this Design Review approval, this project shall comply with all applicable local, state, and federal laws.

ATTACHMENTS:

- A. Mountain Overlay Design Review Application
- B. Mountain Overlay Design Review Submittal Drawings & Applicant Response to Evaluation Standards
- C. Kinderhorn Subdivision: Block 1: Lot 4A Plat

Attachment A:
Mountain Overlay
Design Review
Application



City of Ketchum
Planning & Building

OFFICIAL USE ONLY	
File Number:	P19-123
Date Received:	11-1-19
By:	MP
Fee Paid:	1400.00
Approved Date:	
Denied Date:	
By:	

Mountain Overlay Design Review Application

OWNER INFORMATION			
Project Name: Bierbaum Accessory Bldg.			
Owner Name: Benjamin and Annabelle Bierbaum			
Mailing Address: PO Box 34 Ketchum ID 83340			
Phone: Benjamin (617) 470-5541		Annabelle (617) 739-2914	
Email: bbier34@gmail.com		annabel1530@gmail.com	
PROJECT INFORMATION			
Architect/Representative: TND Architects PLLC		Haavik Consulting LLC	
Phone: (208) 725-2255		(208) 720-0886	
Mailing Address: 9 East Elm Hailey ID 83333		PO Box 1707 Hailey ID 83333	
Email: tom@TNDARCH.COM		lshaavik@gmail.com	
Engineer of Record: Konrad & Stohler Eng Dave Konrad			
Engineer Email: kse@kseengr.net			
Legal Land Description: Lot 4A Kinderhorn Subd. RP K0476000004A			
Project Address: 771 E. 5th St.			
Lot Area: 49,195 sf			
Zoning District: LR + AE			
Anticipated Use: private art studio			
Number of Residential Units: 1 existing			
TYPE OF CONSTRUCTION			
<input checked="" type="checkbox"/> New	<input type="checkbox"/> Remodel	<input type="checkbox"/> Addition	<input type="checkbox"/> Other, please explain:
TOTAL FLOOR AREA			
Proposed Accessory Bldg		Existing Residence per Assessor	
Basement:	0		0
1st Floor:	1633		1949
2nd Floor:	494		1134
3rd Floor:	0		1251
Decks:	62		0
Mezzanine:	0		0
Total:	2127		4334
Building Coverage: SF 3644 % 7.41		Curb Cut: 0 SF — % ✓	
PROPOSED SETBACKS			
Front: West Side: 25' 2" South Side: 27' 6"		Rear:	
ADDITIONAL INFORMATION			
Building Height: 29'		Parking Spaces Provided: 2 existing	
Will Fill or Excavation Be Required? Yes No			
If Yes, Amount in Cubic Yards Fill: 627		Excavation:	
Will Existing Trees or Vegetation Be Removed? Yes No			

Applicant agrees in the event of a dispute concerning the interpretation or enforcement of the Mountain Overlay Design Review Application, in which the City of Ketchum is the prevailing party, to pay reasonable attorney fees, including attorney fees on appeal, and expenses of the City of Ketchum. I, the undersigned, certify that all information submitted with and upon this application form is true and accurate to the best of my knowledge and belief.


Signature of Owner/Representative: Justin Stachnik Haavik Consulting LLC Date: 11-1-19

Dr. Benjamin Bierbaum and Annabelle Bierbaum
PO Box 54
Ketchum, ID 83333

October 22, 2019

City of Ketchum Department of Planning and Building:

As owners of Lot 4A of Kinderhorn Subdivision, we consent to Haavik Consulting, LLC, and/or Ramsay Solutions, Inc, acting as our authorized agents regarding the application for Mountain Overlay Design Review before the City of Ketchum, Idaho.

, date 10.23.19
Annabelle Bierbaum

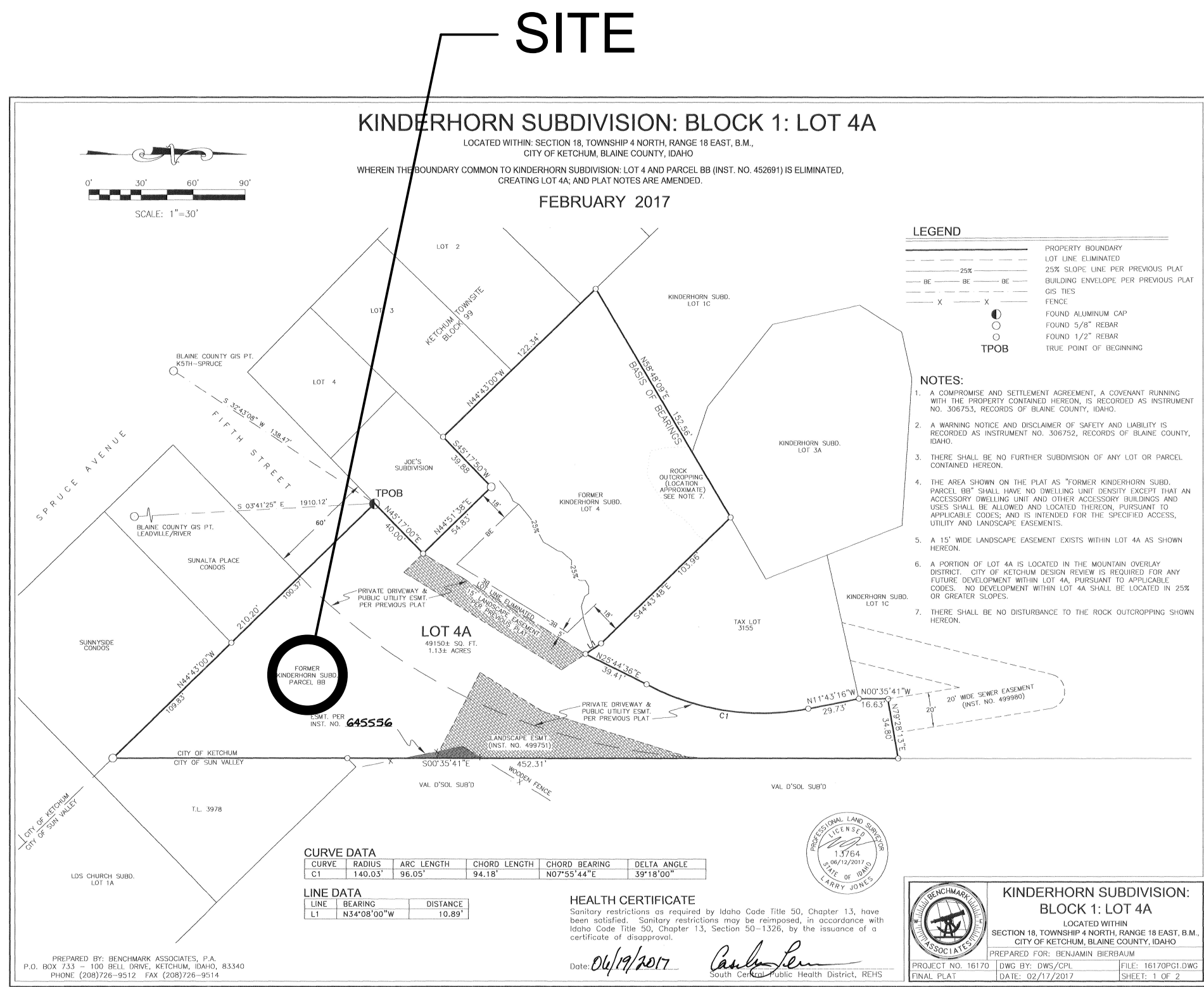
, date 10-23-19
Dr. Benjamin Bierbaum

Attachment B:
Mountain Overlay
Design Review
Submittal Drawings
&
Applicant Response
to
Evaluation Standards

VICINITY MAP



NEIGHBORHOOD PLAT MAP



PROJECT TEAM INFORMATION

OWNER	CONTRACTOR
BEN AND ANNABELLE BIERBAUM PO BOX 54 KETCHUM, IDAHO 83340	RAMSAY SOLUTIONS CARTER RAMSAY 1007 WARM SPRINGS ROAD SUITE G KETCHUM, IDAHO 83340 208.928.7877 CARTER@RAMSAYSOLUTIONS.NET
ARCHITECT	STRUCTURAL ENGINEER
TND ARCHITECTS PLLC THOMAS DABNEY 9 EAST ELM STREET HAILEY, IDAHO 83333 208.725.2255 TOM@TNDARCH.COM	KONRAD & STOHLER STRUCTURAL ENGINEERING DAVE KONRAD 614 SOUTH MAIN STREET BELLEVUE, IDAHO 83313 208.928.7810
CIVIL ENGINEER	PLANNING CONSULTANT
BENCHMARK & ASSOCIATES DON SEWELL 100 BELL DRIVE KETCHUM, IDAHO 83340 208.726.9512 DON@BMA5B.COM	HAAVIK CONSULTING, LLC LINDA HAAVIK PO BOX 1707 HAILEY, IDAHO 83333 208.720.0886 LSHAAVIK@GMAIL.COM
ENERGY USE CONSULTANT	
JOHN REUTER GREENWORKS JOHN REUTER 126 SOUTH MAIN ST., SUITE B9 HAILEY, IDAHO 83333 208.721.2922	

EXTERIOR VIEW



PROJECT NOTES

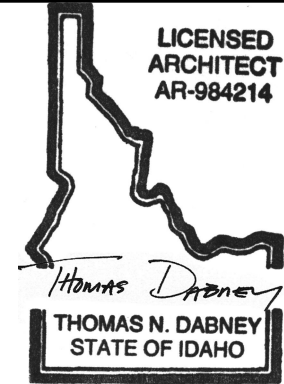
1. ADDRESS MARKER W/6 INCH (MIN.) ADDRESS NUMBERS TO BE LOCATED ON GARAGE, CLEARLY VISIBLE FROM THE STREET
2. WATER SERVICE - KETCHUM CITY SERVICES.
3. SEWER SERVICE - KETCHUM CITY SERVICES.
4. ALL UTILITIES (POWER, GAS, CABLE ETC...) TO BE UNDERGROUND.
5. ALL EXTERIOR LIGHTING & ALL EXTERIOR LIGHT FIXTURES WILL MEET THE CITY OF KETCHUM'S DARK SKY ORDINANCE.
6. GARBAGE & RECYCLING WILL BE KEPT IN CANS & BINS, STORED INSIDE GARAGE OF PRIMARY RESIDENCE.

BUILDING DATA

PROJECT NAME:	BIERBAUM STUDIO
STREET ADDRESS:	771 5 TH STREET EAST, KETCHUM, IDAHO
LEGAL DESCRIPTION:	LOT 4A, KINDERHORN SUBDIVISION
PARCEL NUMBER:	RPK0476000004A
KETCHUM CITY ZONING:	AF (PROPOSED STUDIO PORTION OF LOT) LR (EXISTING RESIDENCE PORTION OF LOT)
IBC BUILDING CODE:	2012 IBC, IRC, IECC
IBC OCCUPANCY CLASS.:	MISC. GROUP U?
IBC CONSTRUCTION TYPE:	V-B
SITE:	± 1.13 ac. / ± 49,150 sq.ft. (PER PLAT)
BUILDING FOOTPRINT:	1,695 sq.ft. (PROPOSED NEW STUDIO) 1,949 sq.ft. (approx. existing residence footprint - from assessor) 3,644 sq.ft. (approx. total building footprint)
LOT COVERAGE:	3.97% (approx. existing total lot coverage) 7.41% (approx. proposed total lot coverage)
BUILDING SQ.FT. DATA:	FIRST FLOOR: 1,633 sq.ft. SECOND FLOOR: 494 sq.ft. SECOND FLOOR DECK: 62 sq.ft. TOTAL ENCLOSED: 2,127 sq.ft. TOTAL FOOTPRINT: 1,695 sq.ft.
BUILDING SETBACKS:	SIDE YARD (WEST): 25'-2" SIDE YARD (SOUTH): 27'-6"
BUILDING HEIGHT:	± 29'-0"

DRAWING INDEX - DESIGN REVIEW

G	TITLE PAGE; NO SCALE
C100	CIVIL SITE SURVEY - EXISTING/ORIGINAL; SCALE: 1"=10'-0"
L100	ARCHITECTURAL SITE PLAN; SCALE: 1"=10'-0"
L101	GRADING PLAN; SCALE: 1"=10'-0"
L102	LANDSCAPE PLAN; SCALE: 1"=10'-0"
A100	FIRST FLOOR PLAN; SCALE: 1/4"=1'-0"
A101	SECOND FLOOR PLAN; SCALE: 1/4"=1'-0"
A200	EXTERIOR ELEVATIONS; SCALE: 1/4"=1'-0"
A201	EXTERIOR ELEVATIONS; SCALE: 1/4"=1'-0"
A300	BUILDING SECTIONS A, B; SCALE: 1/4"=1'-0"
A301	BUILDING SECTIONS C, D; SCALE: 1/4"=1'-0"
A302	BUILDING SECTIONS E, F, G; SCALE: 1/4"=1'-0"
A900	EXTERIOR PERSPECTIVES; SCALE: N/A



TND ARCHITECTS PLLC
THOMAS N. DABNEY
ARCHITECT
208.725.2255
TOM@TNDARCH.COM

BIERBAUM ART STUDIO
771 5TH ST. EAST, KETCHUM, IDAHO
LOT 4A, KINDERHORN SUBDIVISION
TITLE PAGE

REVISIONS
07/19/2018 DESIGN DEVELOPMENT
11/01/2019 DESIGN REVIEW SUBMITTAL

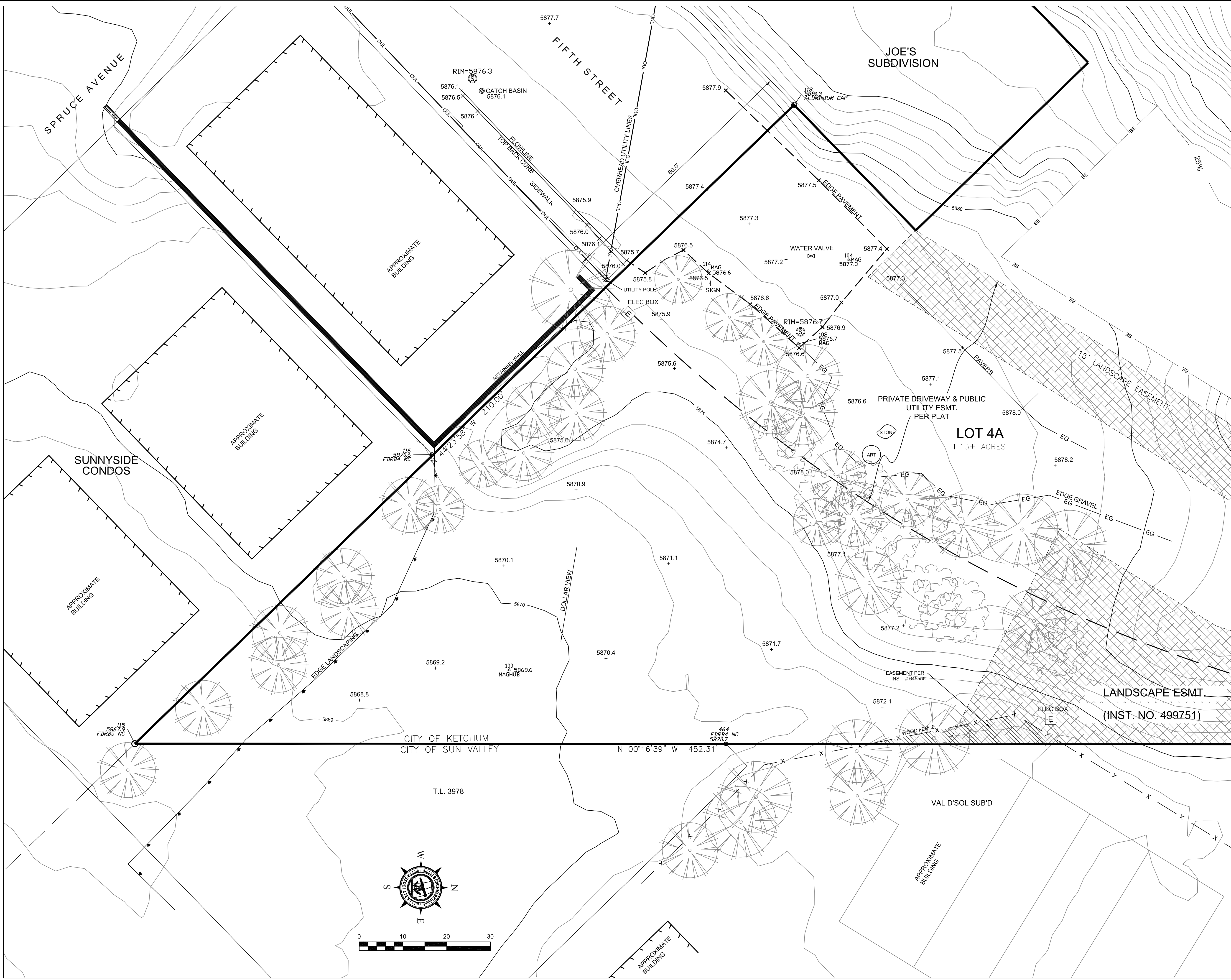
PRINT DATE

11/1/19

DRAWING SCALE

NO SCALE

T



NOTES

- GENERAL RESTRICTIONS & TITLE INFORMATION:
1. THE PURPOSE OF THIS MAP IS TO SHOW TOPOGRAPHICAL/SITE INFORMATION AS IT EXISTED ON THE DATE THE FIELD SURVEY WAS PERFORMED. CHANGES MAY HAVE OCCURRED TO SITE CONDITIONS SINCE SURVEY DATE.
 2. THIS MAP WAS PREPARED FOR THE EXPRESS USE OF THE CLIENT AND IS NOT TRANSFERABLE TO OTHERS WITHOUT WRITTEN CONSENT
 3. PROPERTY BOUNDARY AND EASEMENTS SHOWN HEREON ARE PER PLAT AND STEWART TITLE GUARANTY COMPANY. COMMITMENT DATED AS OF SEPTEMBER 27, 2018 AT 8:00 A.M., ISSUED UNDER GUARANTEE NO. 2222-00071592, FILE NO. 1619900.
 4. ELECTRONIC DATA: BENCHMARK ASSOCIATES ACCEPTS NO RESPONSIBILITY OR LIABILITY FOR THE REUSE, DISTRIBUTION OR ACCURACY OF DATA CONTAINED ON ELECTRONIC COPIES OF THIS DRAWING. THE STAMPED HARD COPY OF THIS DRAWING IS THE FINAL PRODUCT.
 5. THIS DRAWING IS VOID AFTER 2 YEARS AND NO FURTHER COPIES OR DIGITAL FILES WILL BE TRANSMITTED.

- EASEMENTS, ENCUMBRANCES AND RESTRICTIONS:
6. BUILDING AREA: BUILDING ENVELOPE IF SHOWN, IS PER PLAT. SETBACK AND FOOTPRINT REQUIREMENTS PER CURRENT CITY/COUNTY ORDINANCES MAY VARY FROM PLAT. IT IS RECOMMENDED THAT SAID ORDINANCES BE REVIEWED PRIOR TO DESIGN.
 7. GENERAL RESTRICTIONS : EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS MAP, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY APPLICABLE TO THE SUBJECT OF REAL ESTATE: EASEMENTS, OTHER THAN THOSE SHOWN OR LISTED HEREON, BUILDING SETBACK LINES, RESTRICTIVE COVENANTS, SUBDIVISION RESTRICTIONS, ZONING, WETLANDS OR ANY OTHER LAND-USE REGULATIONS.
 8. WETLANDS AND RIPARIAN: CERTAIN AREAS WITHIN THIS MAP MAY CONTAIN RIPARIAN, RIVERINE OR WETLANDS CONDITIONS. SAID AREAS AND THE LOCATION OF ORDINARY HIGH WATER (OHW), IF SHOWN HEREON, ARE SUBJECT TO INTERPRETATION. IT IS RECOMMENDED THAT THE LANDOWNER OR CLIENT RETAIN THE SERVICES OF AN ENVIRONMENTAL SPECIALIST IN ORDER TO ASCERTAIN IF SAID CONDITIONS EXIST, AND TO FURTHER IDENTIFY SAID AREAS IF THEY DO EXIST. PERMITS MAY BE REQUIRED FROM LOCAL, STATE OR FEDERAL AGENCIES PRIOR TO CONSTRUCTION, EXCAVATION OR FILL ACTIVITIES.
 9. STORM WATER PLAN: IF SOIL DISTURBANCE, CLEARING, GRADING AND/OR EXCAVATION OF ONE (1) ACRE OR MORE IS TO TAKE PLACE A FEDERAL GENERAL CONSTRUCTION PERMIT, INCLUDING A STORM WATER POLLUTION PREVENTION PLAN (SWPPP), MUST BE PREPARED AND SUBMITTED TO AND APPROVED BY THE U.S. ENVIRONMENTAL PROTECTION AGENCY PRIOR TO ANY SITE DISTURBANCE.

- SURVEY AND SITE FEATURES:
10. BASIS OF BEARINGS IS IDAHO STATE PLANE COORDINATE SYSTEM, NAD83, CENTRAL ZONE AS DERIVED BY GPS OBSERVATIONS. BOUNDARY LINES AND CERTAIN EASEMENTS SHOWN HEREON ARE PER PLAT. REFER TO PLAT & CC&RS FOR CONDITIONS AND/OR RESTRICTIONS REGARDING THIS PROPERTY. ALL DISTANCES SHOWN ARE GROUND DISTANCES IN U.S. SURVEY FEET.
 11. ELEVATIONS BASED ON NAVD 88 (GEOID03) DATUM.
 12. UTILITIES AND DRAIN PIPES IF SHOWN HEREON ARE PER SURFACE EVIDENCE ONLY. OTHER UNDERGROUND UTILITIES MAY EXIST. LOCATION OF UNDERGROUND UTILITIES AND SERVICES SHOULD BE CONFIRMED PRIOR TO EXCAVATION OR DESIGN.
 13. BUILDING WALLS IF SHOWN HEREON ARE OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
 14. SPRINKLER HEADS AND IRRIGATION LINES ARE NOT SHOWN HEREON.
 15. TREE LOCATIONS AND DRIP LINES IF SHOWN HEREON ARE APPROXIMATE.
 16. ORTHOPHOTOGRAPHY: PHOTO RECTIFIED AT GROUND LEVEL ONLY. IMAGES OF OBJECTS ABOVE GROUND LEVEL (TREES, BUILDINGS, POWER POLES, ETC.), MAY BE DISPLACED. DATE OF PHOTOGRAPHY: JUNE 2017.
 17. CONTOUR INTERVAL: 1'- CONTOURS IN AREAS OF DENSE VEGETATION MAY DEVIATE FROM TRUE ELEVATION BY ONE HALF THE HEIGHT OF THE VEGETATION. DATE OF LIDAR FLIGHT FOR CONTOURS: 2016.
 18. MAP SCALE: DUE TO ELECTRONIC MAP DELIVERY AND ALTERNATE PRINTING METHODS, PLEASE USE BAR SCALE TO DETERMINE ACTUAL PRINTED SCALE.
 19. FEATURES OBSCURED BY DEBRIS, SNOW OR VEHICLES AT THE TIME OF SURVEY, DO NOT APPEAR ON THIS MAP.

PREPARED BY :
BENCHMARK ASSOCIATES, P.A.
P.O. BOX 733 - 100 BELL DRIVE, KETCHUM, IDAHO, 83340
PHONE (208)726-9512 FAX (208)726-9514
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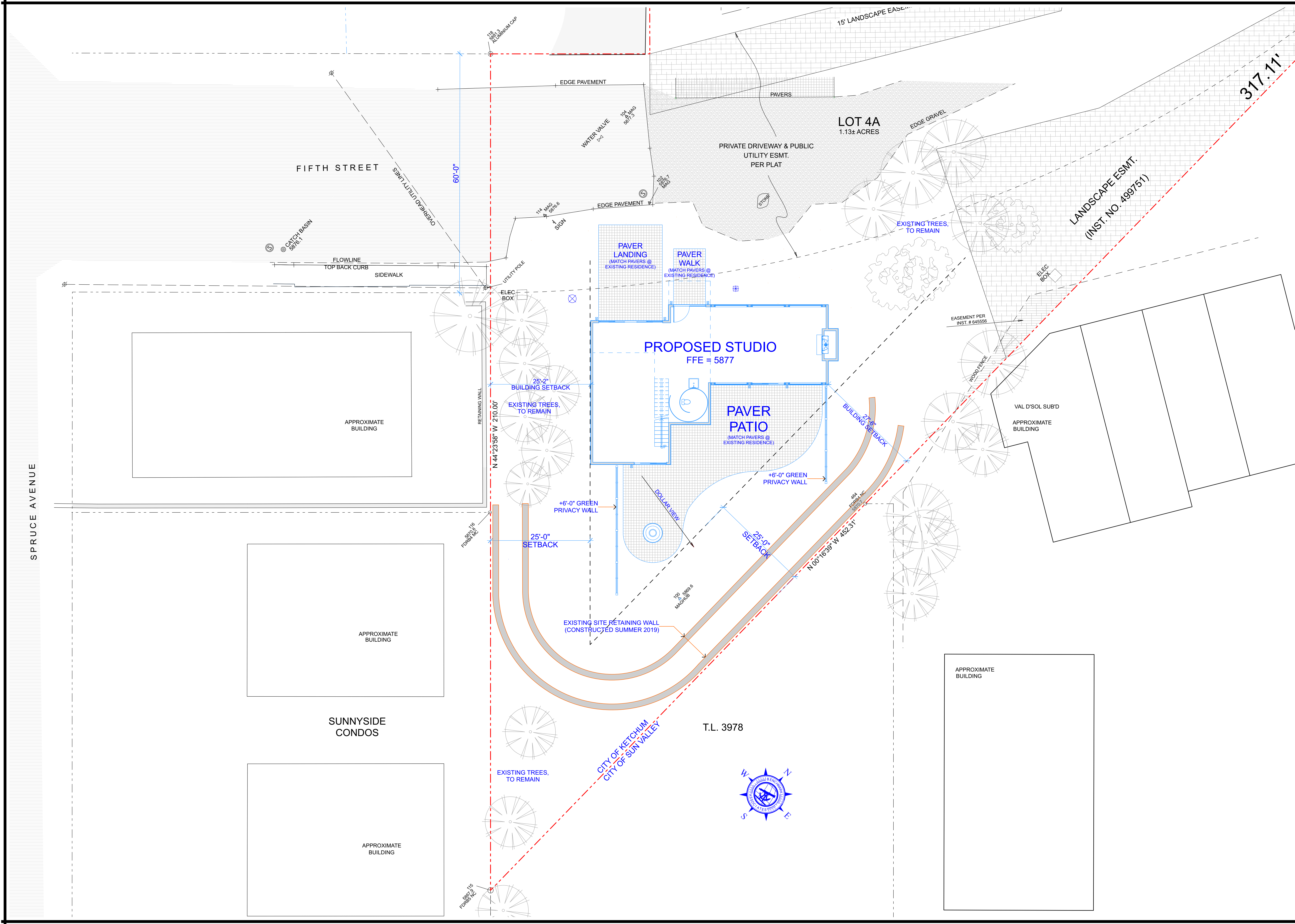


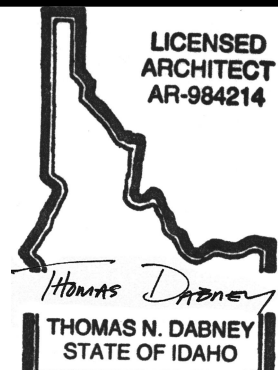
KINDERHORN
LOT 4A

LOCATED WITHIN
SECTION 18, TOWNSHIP 4 NORTH, RANGE 18 EAST, B.M.,
CITY OF KETCHUM, BLAINE COUNTY, IDAHO

PREPARED FOR : EDDY SVIDGAL

PROJECT NO. 18173	DWG BY: DWS	CRD: 18173 CRD	18173 TOPO.DWG
A TOPOGRAPHIC MAP	DATE OF SURVEY: 9/12/2018		SHEET: 1 OF 1





LICENSED ARCHITECT
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BIERBAUM ART STUDIO

771 5TH ST. EAST, KETCHUM, IDAHO

LOT 4A, KINDERHORN SUBDIVISION

ARCHITECTURAL SITE PLAN

REVISIONS	
07/19/2018	DESIGN DEVELOPMENT
11/01/2019	DESIGN REVIEW SUBMITTAL

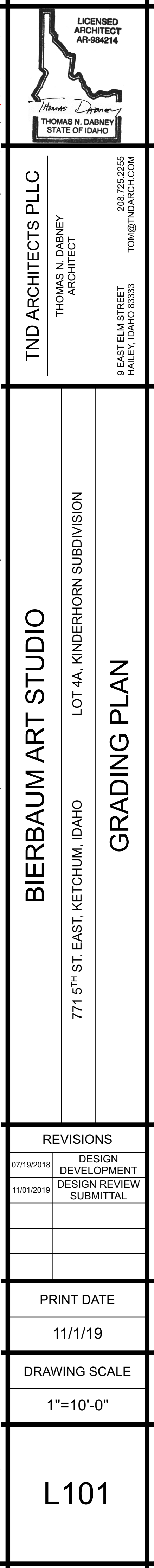
PRINT DATE

11/1/19

DRAWING SCALE

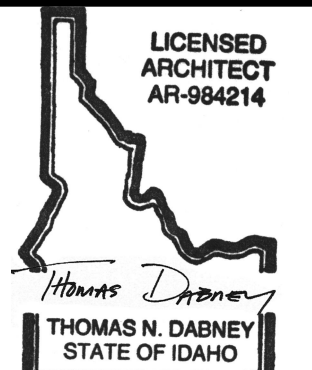
1"=10'-0"

L100



L101





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LOT 4A, KINDERHORN SUBDIVISION

LANDSCAPE PLAN

REVISIONS

07/19/2018	DESIGN DEVELOPMENT
11/01/2019	DESIGN REVIEW SUBMITTAL

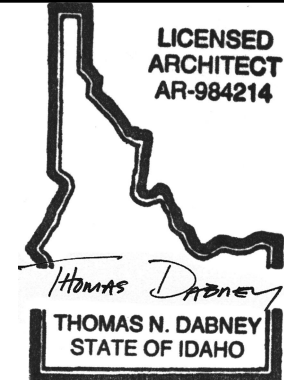
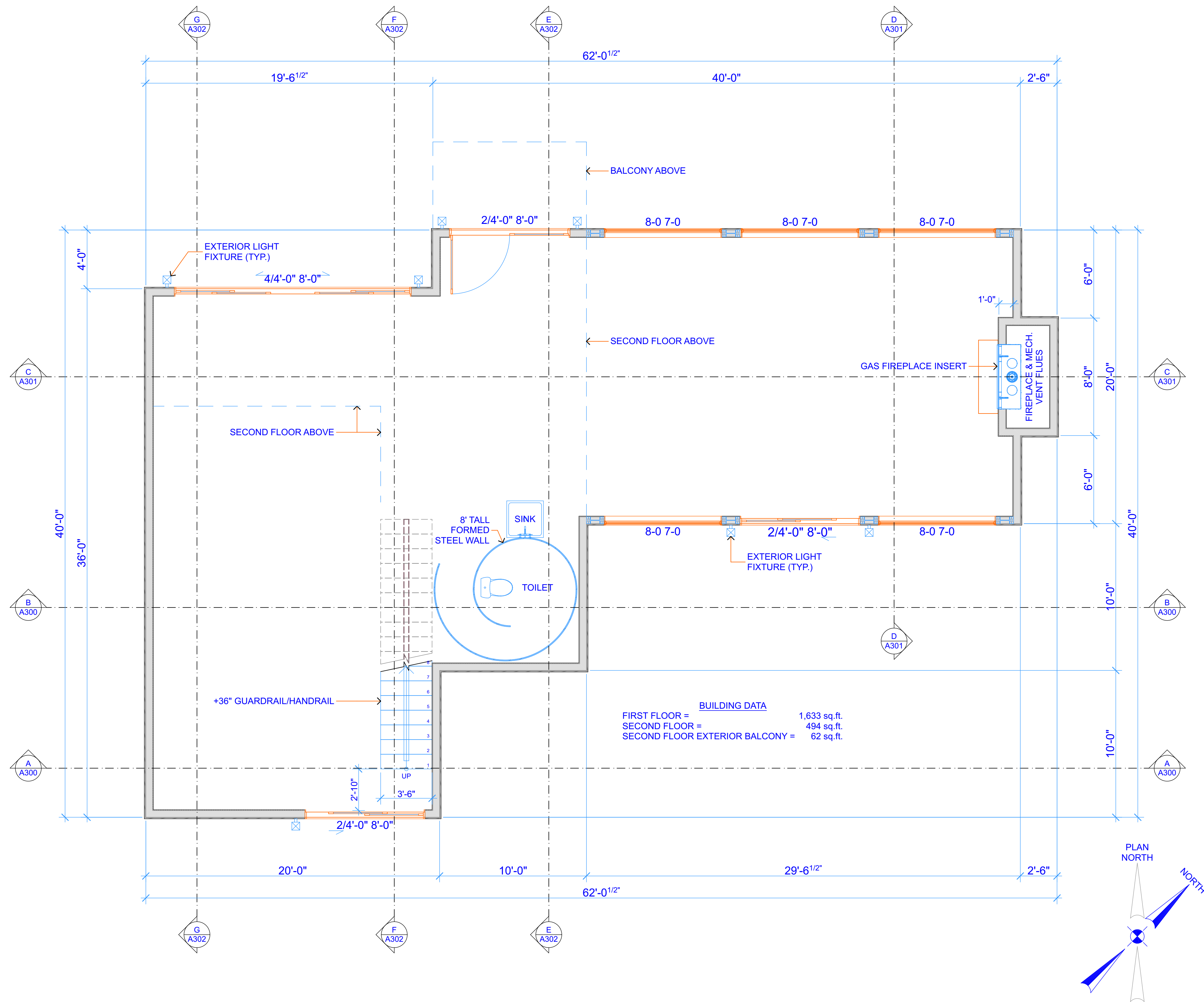
PRINT DATE

11/1/19

DRAWING SCALE

1"=10'-0"

L102



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LOT 4A, KINDERHORN SUBDIVISION
FIRST FLOOR PLAN

REVISIONS	
07/19/2018	DESIGN DEVELOPMENT
11/01/2019	DESIGN REVIEW SUBMITTAL

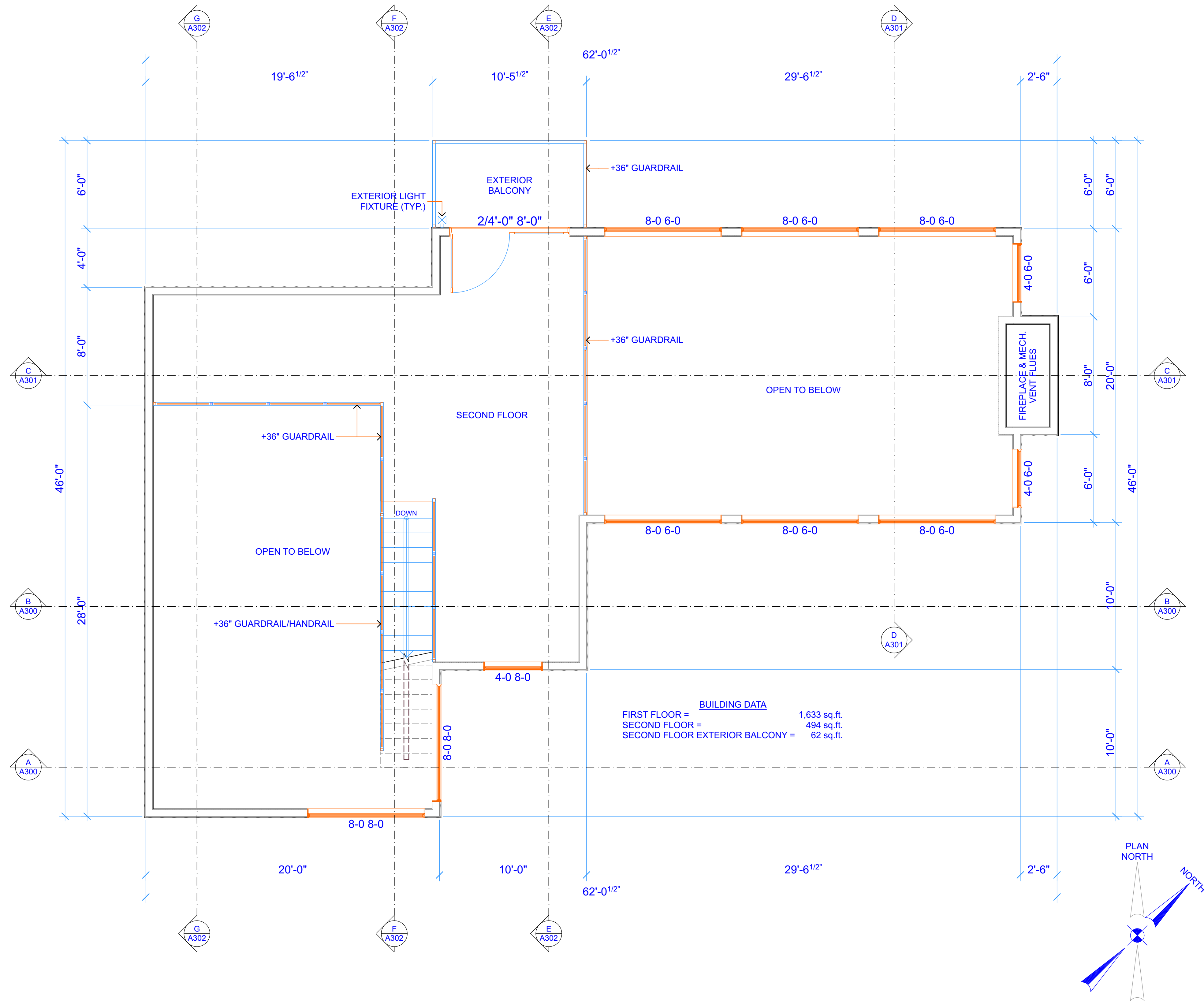
PRINT DATE

11/1/19

DRAWING SCALE

1/4"=1'-0"

A100



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LOT 4A, KINDERHORN SUBDIVISION

SECOND FLOOR PLAN

REVISIONS

07/19/2018

DESIGN DEVELOPMENT

11/01/2019

DESIGN REVIEW SUBMITTAL

PRINT DATE

11/1/19

DRAWING SCALE

1/4"=1'-0"

A101



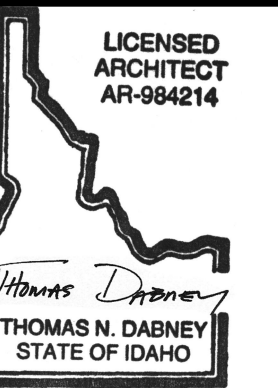
N ELEVATION

1/4" = 1'-0"



S ELEVATION

1/4" = 1'-0"



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LOT 4A, KINDERHORN SUBDIVISION

EXTERIOR ELEVATIONS

REVISIONS	
07/19/2018	DESIGN DEVELOPMENT
11/01/2019	DESIGN REVIEW SUBMITTAL

PRINT DATE

11/1/19

DRAWING SCALE

1/4"=1'-0"

A200



W ELEVATION

1/4" = 1'-0"



E ELEVATION

1/4" = 1'-0"

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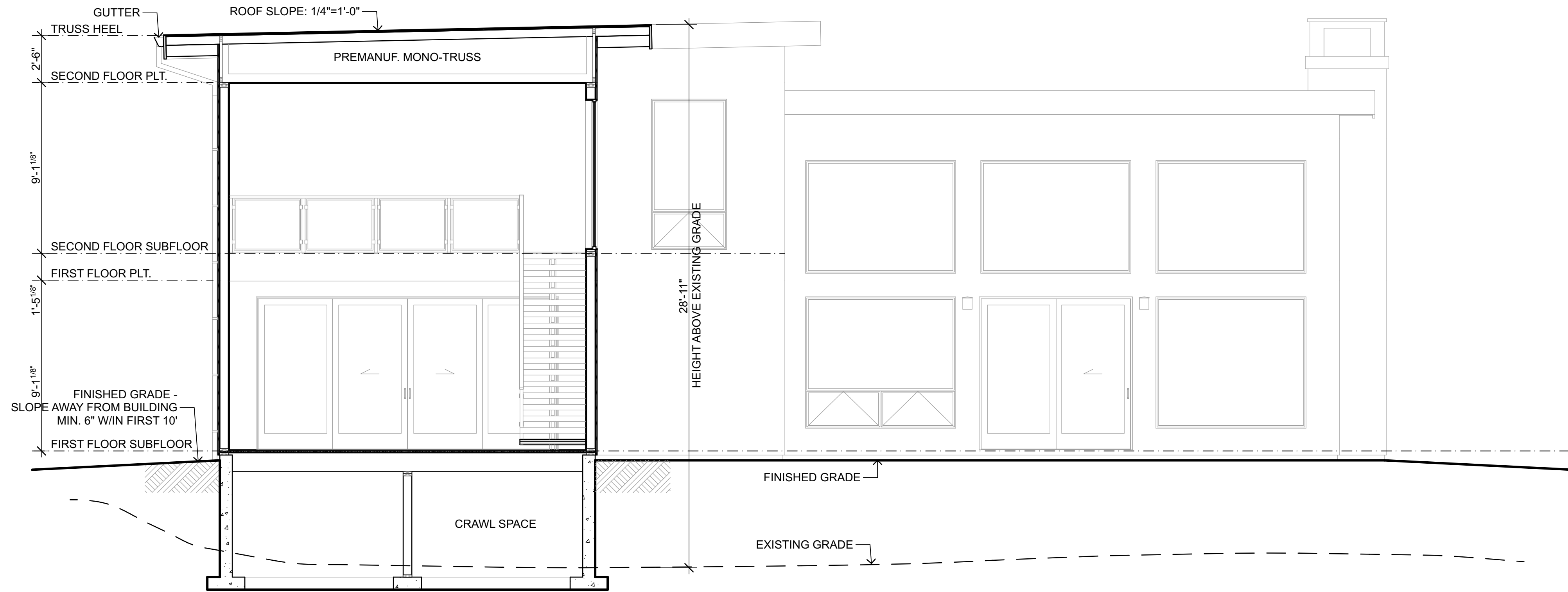
LOT 4A, KINDERHORN SUBDIVISION

EXTERIOR ELEVATIONS

REVISIONS		
07/19/2018	DESIGN DEVELOPMENT	
11/01/2019	DESIGN REVIEW SUBMITTAL	

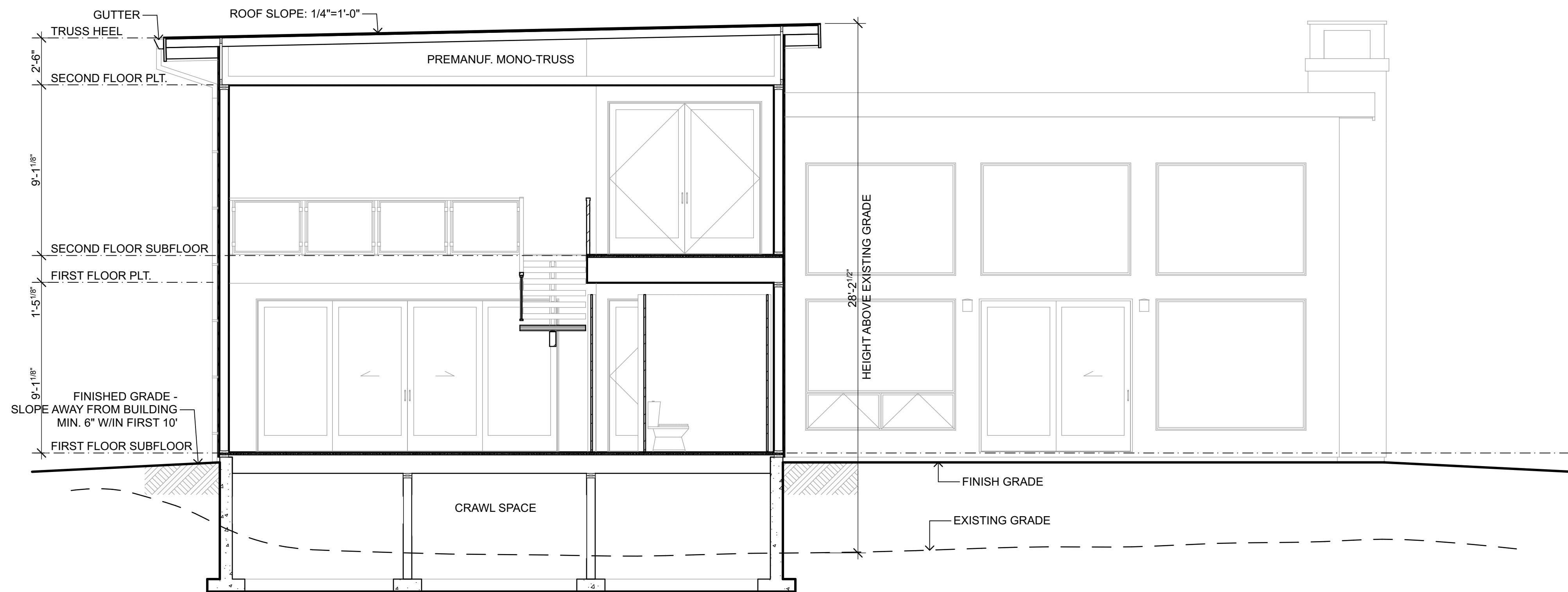
PRINT DATE
11/1/19
DRAWING SCALE
1/4"=1'-0"

A201



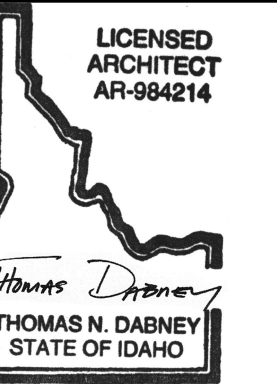
A SECTION

1/4" = 1'-0"



B SECTION

1/4" = 1'-0"



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LOT 4A, KINDERHORN SUBDIVISION

BUILDING SECTIONS

REVISIONS

07/19/2018	DESIGN DEVELOPMENT
11/01/2019	DESIGN REVIEW SUBMITTAL

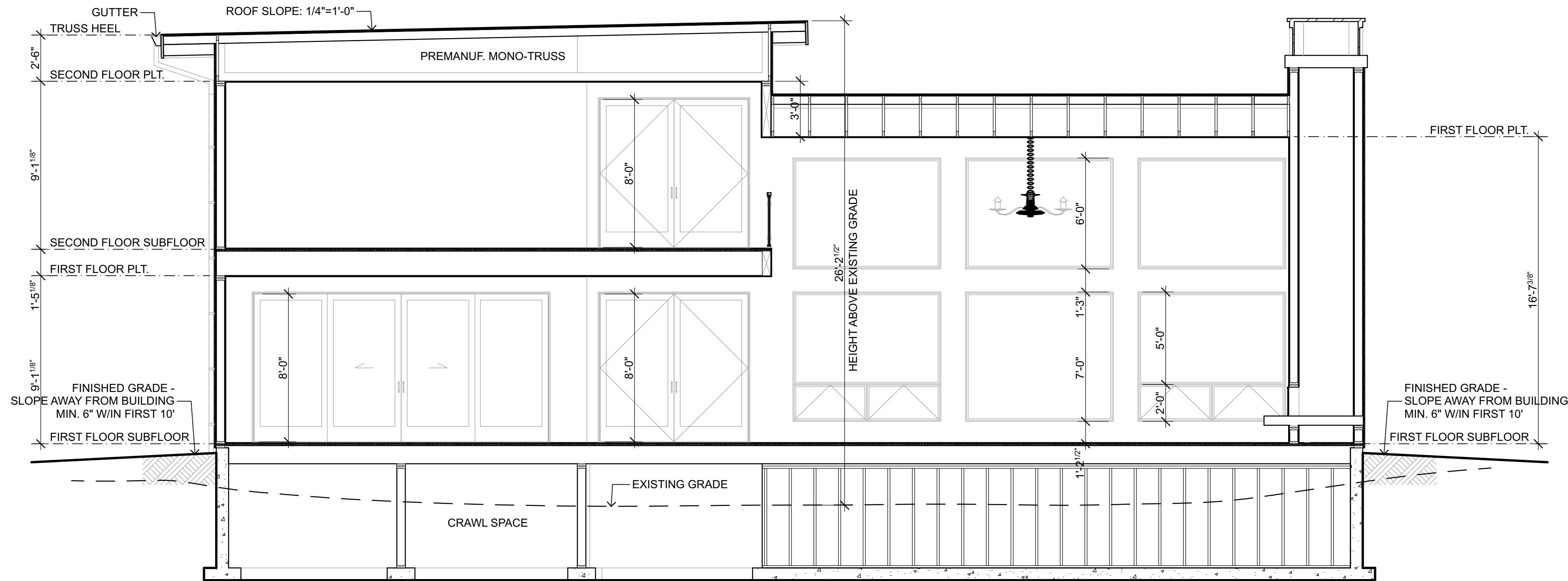
PRINT DATE

11/1/19

DRAWING SCALE

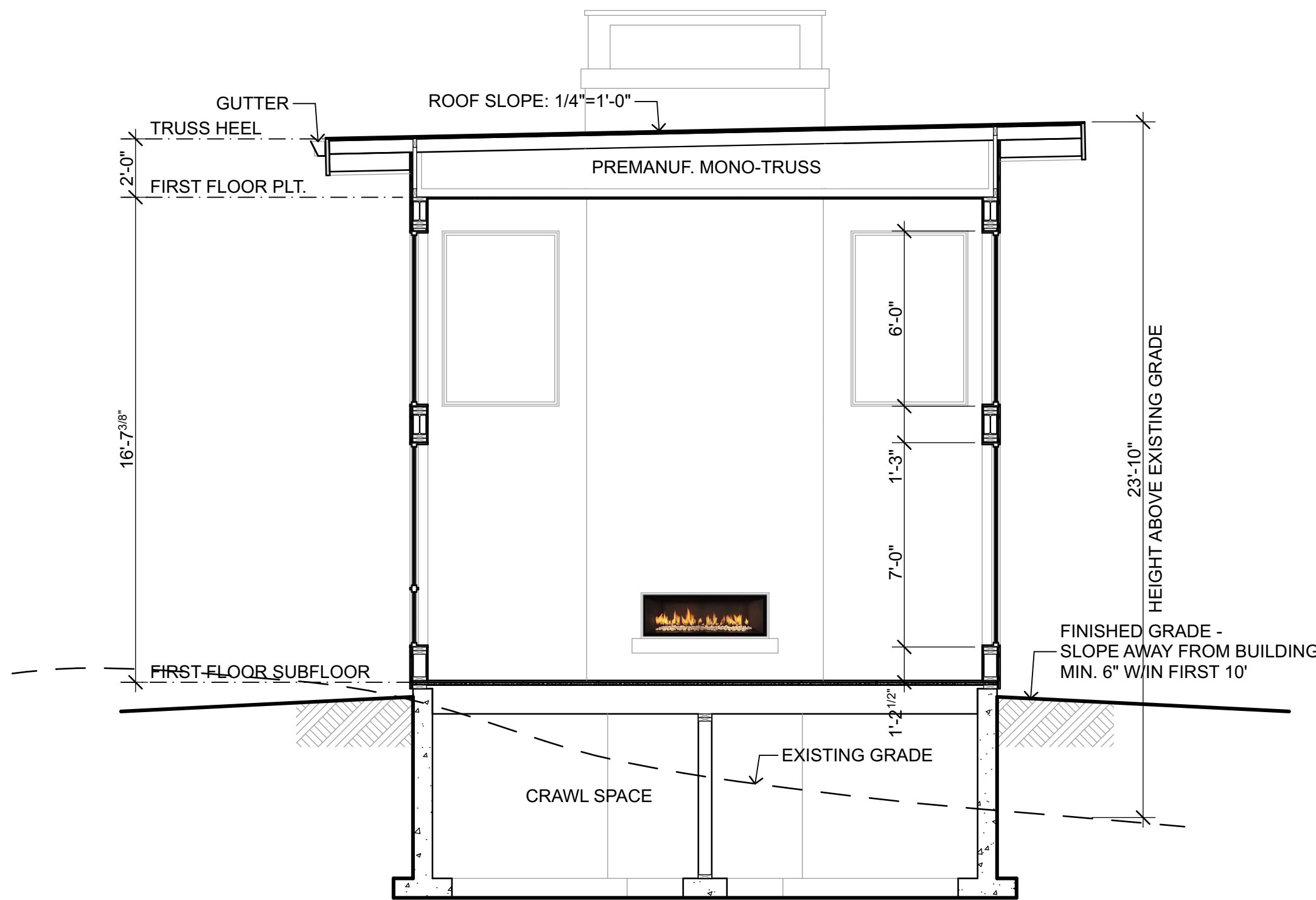
1/4"=1'-0"

A300



C SECTION

1/4" = 1'-0"



D SECTION

1/4" = 1'-0"

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LOT 4A, KINDERHORN SUBDIVISION

BUILDING SECTIONS

REVISIONS	
07/19/2018	DESIGN DEVELOPMENT
11/01/2019	DESIGN REVIEW SUBMITTAL

PRINT DATE
11/1/19
DRAWING SCALE
1/4"=1'-0"



BUILDING SECTIONS

BUILDING SECTIONS

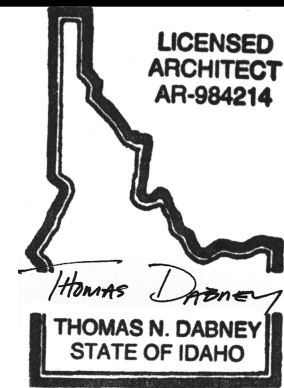
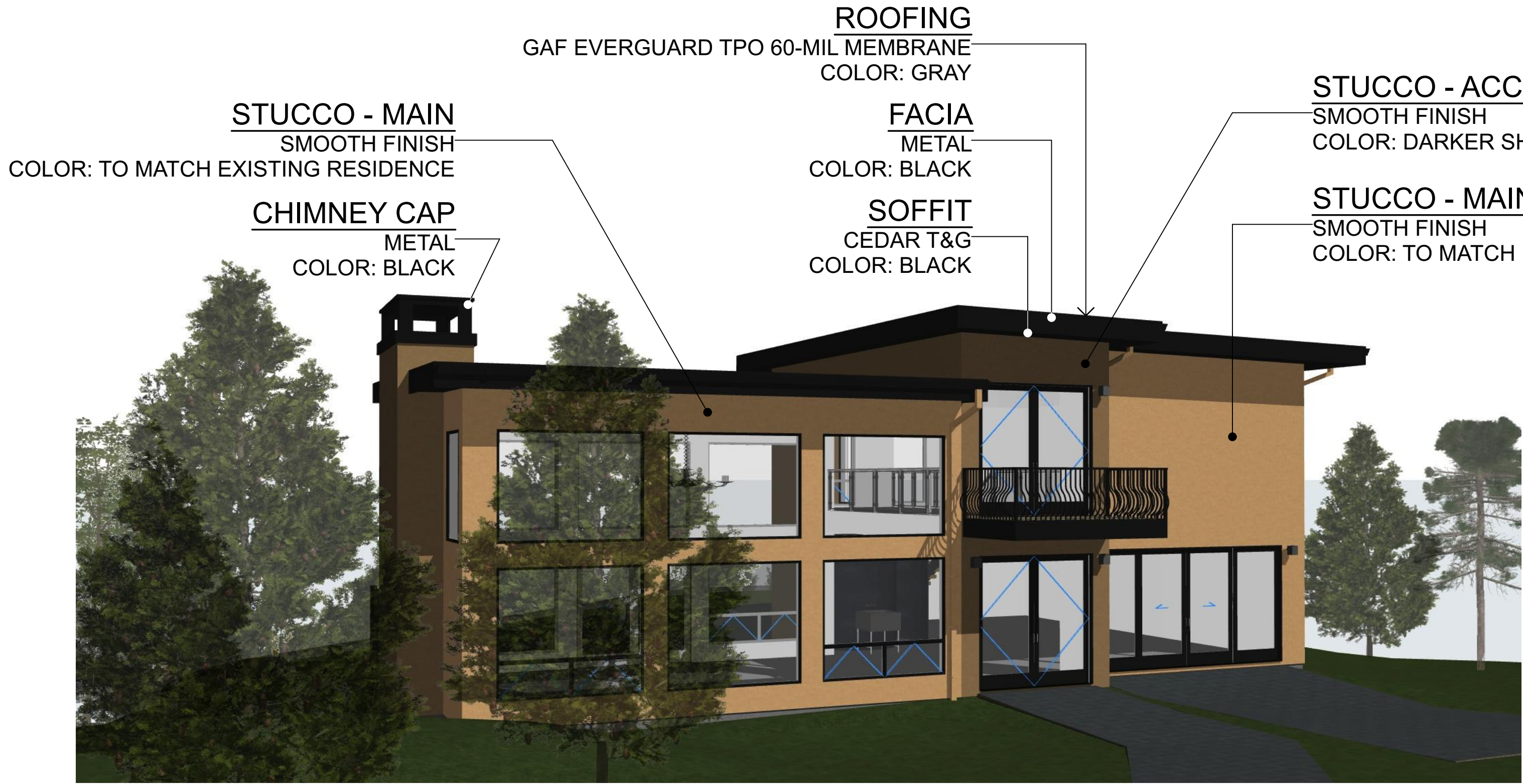
REVISIONS	
07/19/2018	DESIGN DEVELOPMENT
11/01/2019	DESIGN REVIEW SUBMITTAL
PRINT DATE	
11/1/19	
DRAWING SCALE	
1/4"=1'-0"	

A302


$$\frac{1}{4}'' = 1'-0''$$

$$\frac{1}{4}'' = 1'-0''$$

$$1/4" = 1'-0"$$



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LOT 4A, KINDERHORN SUBDIVISION
EXTERIOR PERSPECTIVES

REVISIONS	
07/19/2018	DESIGN DEVELOPMENT
11/01/2019	DESIGN REVIEW SUBMITTAL

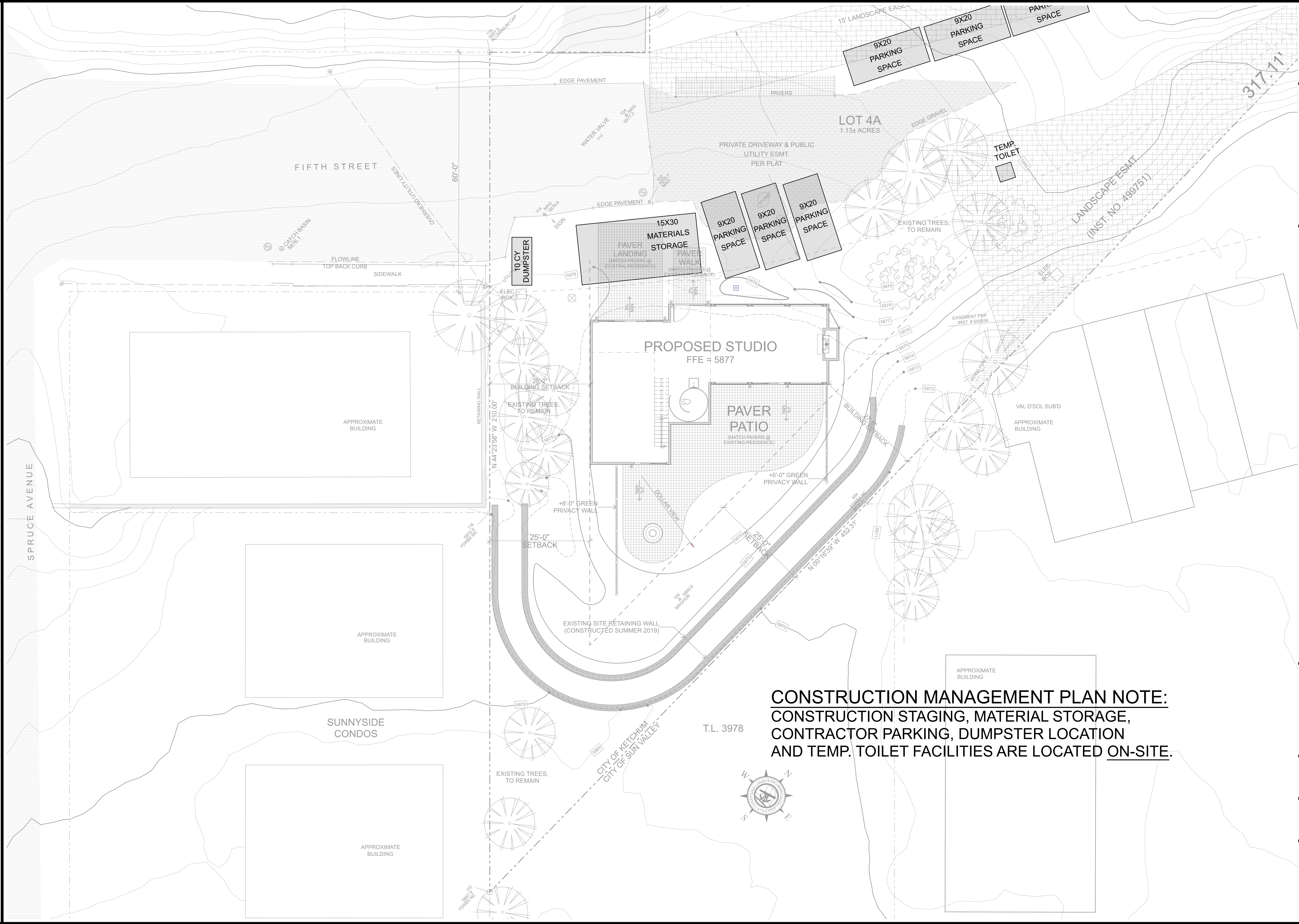
PRINT DATE

11/1/19

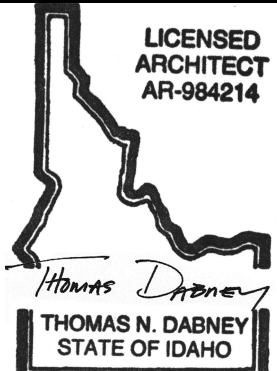
DRAWING SCALE

NO SCALE

A900



CONSTRUCTION MANAGEMENT PLAN NOTE:
CONSTRUCTION STAGING, MATERIAL STORAGE,
CONTRACTOR PARKING, DUMPSTER LOCATION
AND TEMP. TOILET FACILITIES ARE LOCATED ON-SITE.



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CONSTRUCTION MANAGEMENT PLAN

REVISIONS	
07/19/2018	DESIGN DEVELOPMENT
11/01/2019	DESIGN REVIEW SUBMITTAL

PRINT DATE

11/1/19

DRAWING SCALE

1"=10'-0"

L103

Tube Indoor/Outdoor LED Wall Sconce

By WAC Lighting

\$199.95 SALE

✓ **IN STOCK** Ships within 1 business day.

★★★★★ 5.0 (5) [Write a review](#)



FREE SHIPPING on orders over \$75.

12 MONTHS PROMOTIONAL FINANCING AVAILABLE* on orders of \$999 or more with your Lumens credit card. [See Details](#)

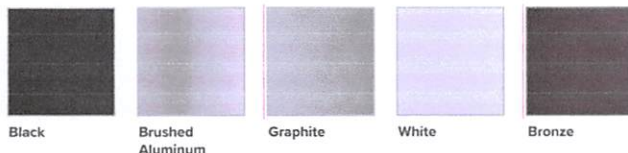
SAVE 10% TODAY: Use coupon code **WAC** at checkout and SAVE 10% on all WAC Lighting during the Design Event. Ends October 28.

EXCLUSIVE GIFT WITH PURCHASE: Use code **DESIGN** at checkout to get a FREE GIFT with qualifying \$400 purchase. One per customer, while supplies last. Limited time only. [SEE DETAILS](#)



Shown in Black finish

Finish:



Black Brushed Aluminum Graphite White Bronze

[ADD TO PROJECT](#)

Details

Powerful and compact, the WAC Lighting Tube Indoor/Outdoor LED Wall Sconce does one thing, and does it expertly--providing strong energy efficient LED downlight. Cleanly finished with no visible hardware, this tidy aluminum cylinder presents a very low profile, allowing for placement versatility. Available in different finishes, the Tube also features a replaceable LED module.

WAC Lighting, founded in 1984, has developed a strong reputation for high quality decorative and task lighting. Based in Garden City, New York, WAC Lighting is a leading manufacturer of low voltage, line voltage and LED lighting, including track systems, transformers, lamps, cabinet lighting and recessed downlights.

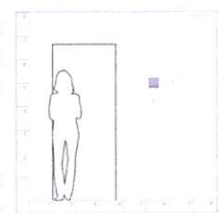
The Tube Indoor/Outdoor LED Wall Sconce is available with the following:

Details:

- Cylindrical shade with Etched bottom glass diffuser
- Dimmable with electronic low voltage (ELV) dimmer (not included)
- Material: Aluminum
- Shade Material: Etched glass
- Dark Sky compliant
- UL Listed Wet
- Warranty: 5 Year
- Made In China

Options:

- **Finish:** Black, Brushed Aluminum, Graphite, White, Bronze



SEE SCALE DRAWING



Lighting:

- 15 Watt (1235 Lumens) 120 Volt Integrated LED: CRI: 85 Color Temp: 3000K Lifespan: 70000 hours

Compare Brightness:



VIEW CHART

Dimensions:

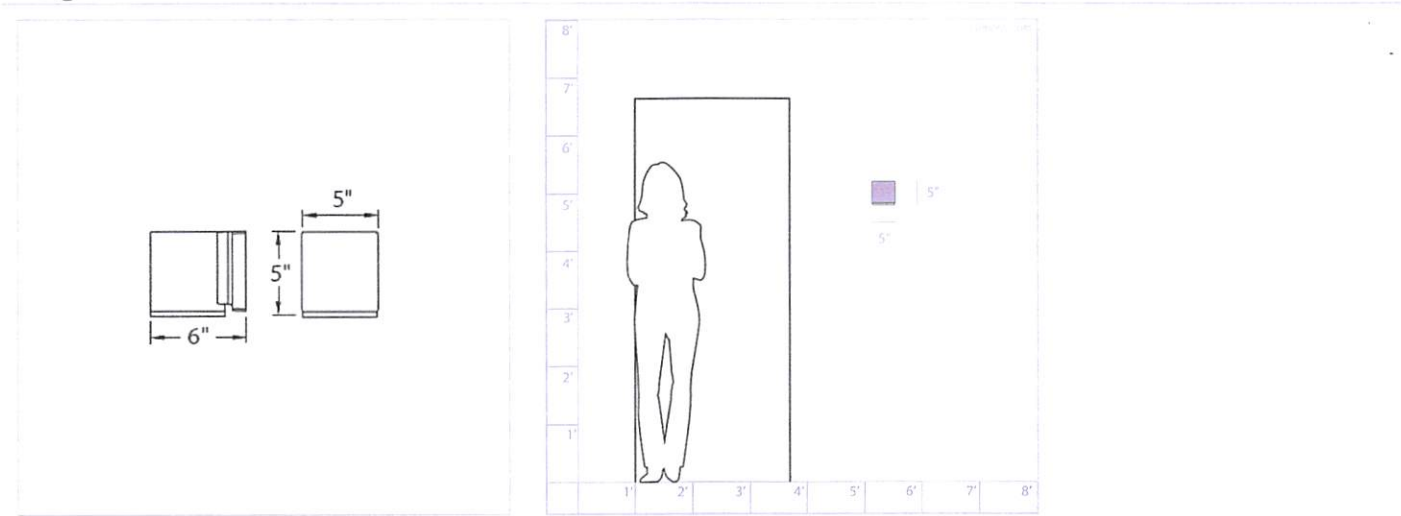
- **Fixture:** Width 4.5", Height 6.5", Depth 5.88"

Manufacturer IDs: [view](#)

California Residents: Prop 65 regulations

Need help with some of our terminology? Check out **Lumens' Lighting & Design Glossary**.

Diagram



Reviews

Check out what other customers think...

WRITE A REVIEW

Rating Snapshot

Select a row below to filter reviews.

5 ★	<div></div>	5
4 ★	<div></div>	0
3 ★	<div></div>	0
2 ★	<div></div>	0
1 ★	<div></div>	0

Average Customer Ratings

Overall

★★★★★

 5.0



**BIERBAUM ACCESSORY BUILDING
MOUNTAIN OVERLAY DESIGN REVIEW: RESPONSES TO CRITERIA**

17.104.070: MOUNTAIN OVERLAY DESIGN REVIEW:
--

1. There shall be no building on ridges or knolls which would have a material visual impact on a significant skyline visible from a public vantage point entering the City or within the City. "Material", as the term is used herein, shall be construed in light of the magnitude of the negative impact on the objectives of this section;
The proposed accessory building is not visible from any public vantage point entering the City or within the City.
2. Building, excavating, filling and vegetation disturbance on hillsides which would have a material visual impact visible from a public vantage point entering the City or within the City shall be minimized. "Material", as the term is used herein, shall be construed in light of the magnitude of the negative impact on the objectives of this section;
The disturbances necessary to construct the proposed accessory building do not occur on a hillside, nor are they visible from a public vantage point entering the City or within the City. This part of the subject lot contains no rock outcroppings, ridges, or knolls and is relatively flat land with approximately 8 feet of elevation change from the lowest point to the highest point (2017 2' contour layer, Ketchum GIS, according to Ketchum City staff). As a result, this part of the subject lot does not warrant inclusion in the Mountain Overlay District.
3. Driveway standards as well as other applicable standards contained in [title 12, chapter 12.04](#) of this Code shall be met;
The existing driveway accessing the existing residence and proposed accessory building will not be changed. The subject lot is contiguous with the east end of platted Fifth Street. Refer to the plat of the lot. The proposed accessory building requires no change to the driveway access.
4. All development shall have access for fire and other emergency vehicles to within one hundred fifty feet (150') of the furthest exterior wall of any building;
Access for fire and emergency vehicles remains unchanged from existing and meets requirements of the Fire Department.
5. Significant rock outcroppings shall not be disturbed;
The site contains no rock outcroppings.
6. International Building Code (IBC) and International Fire Code (IFC) and Ketchum Fire Department requirements shall be met;
Upon application for building permit, Codes shall be met.
7. Public water and sewer service shall comply with the requirements of the City;
Upon application for building permit, water and sewer service requirements shall be met.
8. Drainage shall be controlled and maintained to not adversely affect other properties;
Drainage will be handled on site.

9. Cuts and fills allowed for roadways shall be minimized; lengths of driveways allowed shall be minimized; all cuts and fills shall be concealed with landscaping, revegetation and/or natural stone materials. Revegetation on hillsides with a clear zone of thirty feet (30') around all structures is recommended. Said clear zone shall include low combustible irrigated vegetation with appropriate species, on file with the Ketchum Planning Department. Revegetation outside of this clear zone should be harmonious with the surrounding hillsides;
There will be no change to the existing driveway that did not require cuts or fills when constructed. From the Mountain Overlay standpoint, no 25% or greater hillside exists on this part of Lot 4A and as a result no hillside cut or hillside revegetation is required. From the ordinary construction standpoint, fill is necessary once the foundation is in to bring grade up to top of wall. A landscape plan is submitted.
10. Are there other sites on the parcel more suitable for the proposed development in order to carry out the purposes of this section;
The purpose of the section is to regulate development on hillsides. No other site on the subject lot is more suitable or available for the proposed accessory building.
11. Access traversing twenty five percent (25%) or greater slopes does not have significant impact on drainage, snow and earthslide potential and erosion as it relates to the subject property and to adjacent properties;
There is no 25% slope on the subject part of the property and no access traversing 25% slopes.
12. Utilities shall be underground;
Existing underground gas, power, water, and sewer are being extended to serve the proposed accessory building.
13. Limits of disturbance shall be established on the plans and protected by fencing on the site for the duration of construction;
Limit of disturbance was fenced during installation of the wall system for which a Fence Permit was issued by the City.
14. 14. Excavations, fills and vegetation disturbance on hillsides not associated with the building construction shall be minimized; and
The site contains no hillside or slopes of 25% or greater.
15. Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.
There are no significant or other landmarks on the site of the proposed accessory building.
16. Encroachments of below grade structures into required setbacks are subject to subsection [17.128.020K](#) of this title and shall not conflict with any applicable easements, existing underground structures, sensitive ecological areas, soil stability, drainage, other sections of this Code or other regulating codes such as adopted International Code Council Codes, or other site features concerning health, safety, and welfare.
There will be no encroachment below grade into required setbacks.

17.96.060: IMPROVEMENTS AND STANDARDS:
--

Improvements and standards for all projects listed in subsection [17.96.010A](#) of this chapter:

Subsection 17.96.010A does not require design review for the proposed accessory building. In fact, Subsection 17.96.101B.1. specifically exempts "One-family dwellings, accessory structures, and accessory dwelling units."

Because the MOD Chapter requires the regulations contained in Chapter 17.96 Design Review do apply, please find responses to the Design Review standards below.

A. Streets:

1. The applicant shall be responsible for all costs associated with providing a connection from an existing city street to their development.

Connection to existing city street exists, no changes are proposed.

2. All street designs shall be approved by the city engineer.

Not applicable.

B. Sidewalks:

1. All projects under subsection [17.96.010A](#) of this chapter that qualify as a "substantial improvement" shall install sidewalks as required by the public works department.

Not applicable.

2. Sidewalk width shall conform to the city's right of way standards, however the city engineer may reduce or increase the sidewalk width and design standard requirements at their discretion.

Not applicable.

3. Sidewalks may be waived if one of the following criteria is met:

a. The project comprises an addition of less than two hundred fifty (250) square feet of conditioned space.

b. The city engineer finds that sidewalks are not necessary because of existing geographic limitations, pedestrian traffic on the street does not warrant a sidewalk, or if a sidewalk would not be beneficial to the general welfare and safety of the public.

Not applicable.

4. The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.

Not applicable.

5. New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.

Not applicable.

6. The city may approve and accept voluntary cash contributions in lieu of the above described improvements, which contributions must be segregated by the city and not used for any purpose other than the provision of these improvements. The contribution amount shall be one hundred ten percent (110%) of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the city engineer. Any approved in lieu contribution shall be paid before the city issues a certificate of occupancy.

Not applicable.

C. Drainage:

1. All stormwater shall be retained on site.

See site plan.

2. Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.

Not applicable.

3. The city engineer may require additional drainage improvements as necessary, depending on the unique characteristics of a site.

See site plan.

4. Drainage facilities shall be constructed per city standards.

Not applicable.

D. Utilities:

1. All utilities necessary for the development shall be improved and installed at the sole expense of the applicant.

Agreed.

2. Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view.

Existing underground gas, power, water, and sewer are being extended to serve the proposed accessory building.

3. When extension of utilities is necessary all developers will be required to pay for and install two inch (2") SDR11 fiber optical conduit. The placement and construction of the fiber optical conduit shall be done in accordance with city of Ketchum standards and at the discretion of the city engineer.

Not applicable.

E. Compatibility Of Design:

1. The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures.

The materials and colors shall complement the existing residence on the site.

2. Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.

Not applicable. There are no landmarks on the site.

3. Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to.

Not applicable.

F. Architectural:

1. Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined.

Not applicable. This is a private, accessory structure on an existing lot.

2. The building character shall be clearly defined by use of architectural features.

Please see materials associated with the architecture.

3. There shall be continuity of materials, colors and signing within the project.

Materials and colors are compatible with the existing residence.

4. Accessory structures, fences, walls and landscape features within the project shall match or complement the principal building.

The proposal is an accessory building and will complement the existing residence on the lot.

5. Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.

Please see materials associated with the architecture.

6. Building(s) shall orient toward their primary street frontage.

The proposed building and existing residence access from the east end of the platted townsite Fifth Street.

7. Garbage storage areas and satellite receivers shall be screened from public view and located off alleys.

There is no alley associated with the subject lot. Garbage storage remains as it exists for the existing residence.

8. Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties.

The proposed accessory building is not near locations that pedestrians gather and circulate and is setback a minimum of 25 feet from the property lines.

G. Circulation Design:

1. Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.

Not applicable.

2. Awnings extending over public sidewalks shall extend five feet (5') or more across the public sidewalk but shall not extend within two feet (2') of parking or travel lanes within the right of way.

Not applicable.

3. Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage.

Traffic flow is private and existing.

4. Curb cuts and driveway entrances shall be no closer than twenty feet (20') to the nearest intersection of two (2) or more streets, as measured along the property line adjacent to the right of way. Due to site conditions or current/projected traffic levels or speed, the city engineer may increase the minimum distance requirements.

Not applicable.

5. Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project.

Unobstructed access exists for all such vehicles.

H. Snow Storage:

1. Snow storage areas shall not be less than thirty percent (30%) of the improved parking and pedestrian circulation areas.

Vehicular access to the proposed accessory building utilizes the same access as exists for the residence. The only snow removal associated with the accessory building will be done manually or otherwise by a snow removal contractor with snow storage available on the site.

2. Snow storage areas shall be provided on site.

Snow storage requirement is minimal. See site plan.

3. A designated snow storage area shall not have any dimension less than five feet (5') and shall be a minimum of twenty five (25) square feet.

Not applicable.

4. In lieu of providing snow storage areas, snowmelt and hauling of snow may be allowed.

Not applicable.

I. Landscaping:

1. Landscaping is required for all projects.

Please see landscape plan.

2. Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape.

Please see landscape plan.

3. All trees, shrubs, grasses and perennials shall be drought tolerant. Native species are recommended but not required.

Please see landscape plan.

4. Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged.

Please see landscape plan. There are no public courtyards.

J. Public Amenities:

1. Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All public amenities shall receive approval from the Public Works Department prior to design review approval from the commission.

Not applicable.

K. Underground Encroachments:

1. Encroachments of below grade structures into required setbacks are subject to subsection [17.128.020](#)K of this title and shall not conflict with any applicable easements, existing underground structures, sensitive ecological areas, soil stability, drainage, other sections of this Code or other regulating codes such as adopted International Code Council Codes, or other site features concerning health, safety, and welfare.

Not applicable.

2. No below grade structure shall be permitted to encroach into the riparian setback. (Ord. 1186, 2018: Ord. 1148, 2016)

Not applicable.

17.124.170: MINIMUM STANDARDS FOR ONE-FAMILY DWELLINGS:

The following minimum standards apply to one-family dwellings in all zoning districts:

The proposal is an accessory building, not a one-family dwelling.

A. Drainage:

1. All stormwater shall be retained on site.

See response for identical criterion in 17.96.060 C. Drainage1.

2. Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.

See response for identical criteria in 17.96.060 C. Drainage2.

3. The City Engineer may require additional drainage improvements as necessary, depending on the unique characteristics of a site.

See response for identical criteria in 17.96.060 C. Drainage3.

4. Drainage facilities shall be constructed per City standards.

See response for identical criteria in 17.96.060 C. Drainage4.

B. Utilities:

1. All utilities necessary for the development shall be improved and installed at the sole expense of the applicant.

See response for identical criteria in 17.96.060 D. Utilities 1.

2. Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view.

See response for identical criteria in 17.96.060 D. Utilities 2.

C. Snow Storage:

1. Snow storage areas shall not be less than thirty percent (30%) of the improved parking and pedestrian circulation areas.

See response for identical criteria in 17.060 H. Snow Storage 1.

2. Snow storage areas shall be provided on site.

See response for identical criteria in 17.060 H. Snow Storage 2.

3. A designated snow storage area shall not have any dimension less than five feet (5') and shall be a minimum of twenty five (25) square feet.

See response for identical criteria in 17.060 H. Snow Storage 3.

4. In lieu of providing snow storage areas, snowmelt and hauling of snow may be allowed.

See response for identical criteria in 17.060 H. Snow Storage 4.

D. Landscaping:

1. Landscaping is required for all projects.

See response for identical criteria in 17.060 I. Landscaping 1.

2. Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape.

See response for identical criteria in 17.060 I. Landscaping 2.

3. All trees, shrubs, grasses and perennials shall be drought tolerant. Native species are recommended but not required. (Ord. 1190, 2018)

See response for identical criteria in 17.060 I. Landscaping 3.

ADDENDUM TO MOUNTAIN OVERLAY DESIGN REVIEW APPLICATION FORM:

BUILDING COVERAGE, LOT 4A KINDERHORN SUBDIVISION

LR portion of Lot 4A = 20,000 sf

AF portion of Lot 4A = 29,195 sf

Total = 49,195 sf

Existing Residence on LR portion of Lot 4A:

Building Footprint 1,949 sf ÷ 20,000 sf = 9.7% lot coverage

Proposed Accessory Building on AF portion of Lot 4A:

Building Footprint 1,695 sf ÷ 29,195 sf AF = 5.8% lot coverage

Existing Residence and Proposed Accessory Building on All of Lot 4A:

Total Building Footprint 3,644 sf ÷ 49,195 sf = 7.4% overall lot coverage

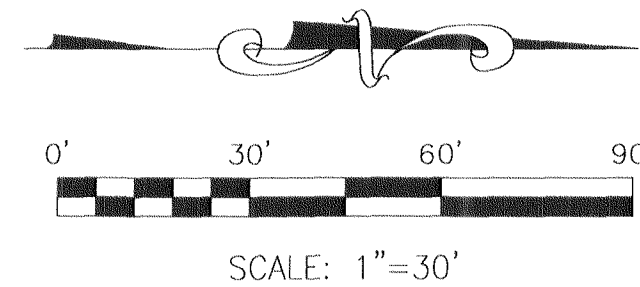
Attachment C:
Kinderhorn Subdivision:
Block 1: Lot 4A
Plat

KINDERHORN SUBDIVISION: BLOCK 1: LOT 4A

LOCATED WITHIN: SECTION 18, TOWNSHIP 4 NORTH, RANGE 18 EAST, B.M.,
CITY OF KETCHUM, BLAINE COUNTY, IDAHO

WHEREIN THE BOUNDARY COMMON TO KINDERHORN SUBDIVISION: LOT 4 AND PARCEL BB (INST. NO. 452691) IS ELIMINATED,
CREATING LOT 4A; AND PLAT NOTES ARE AMENDED.

FEBRUARY 2017

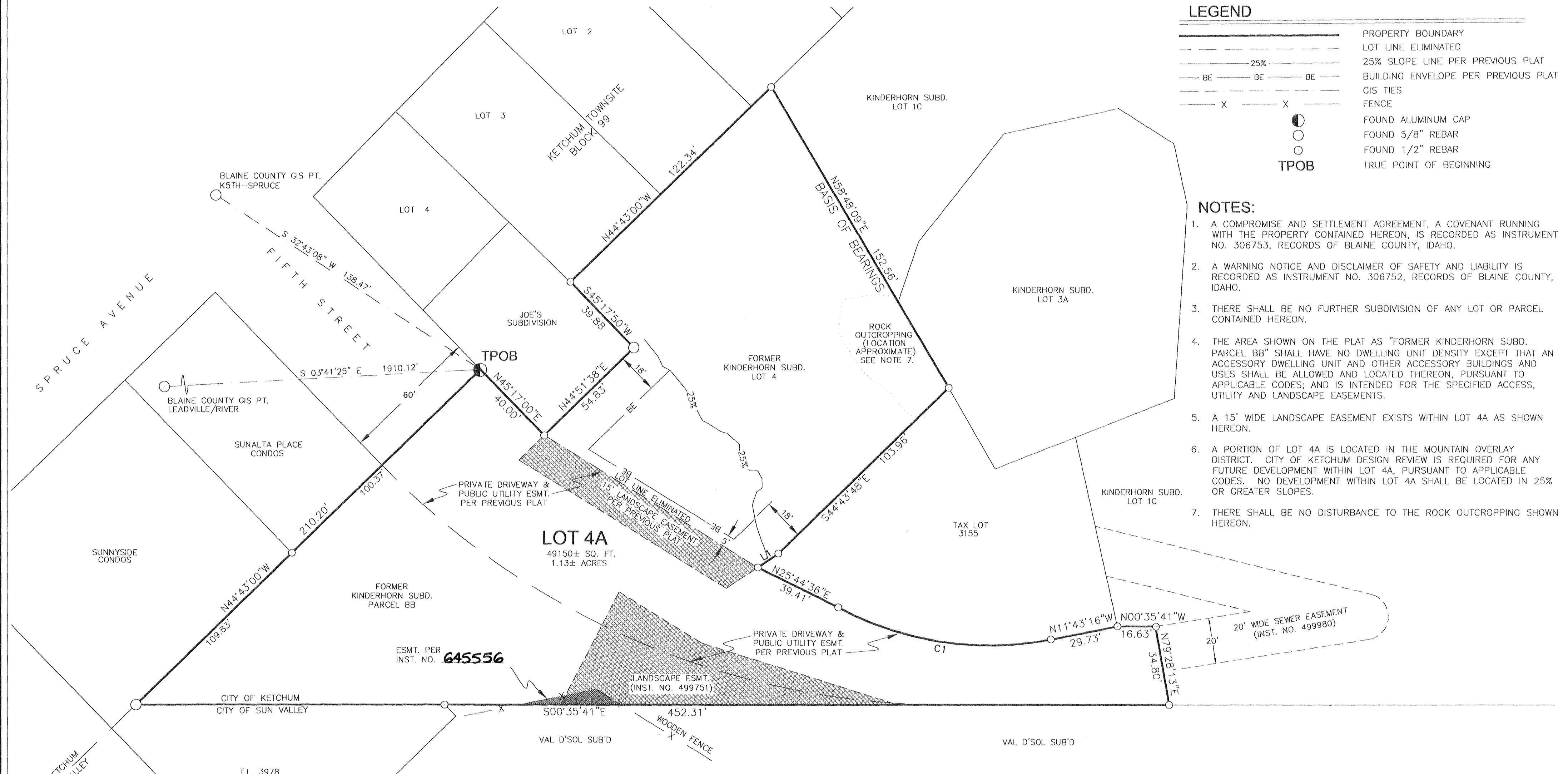


LEGEND

	PROPERTY BOUNDARY
	LOT LINE ELIMINATED
	25% SLOPE LINE PER PREVIOUS PLAT
	BUILDING ENVELOPE PER PREVIOUS PLAT
	GIS TIES
	FENCE
	FOUND ALUMINUM CAP
	FOUND 5/8" REBAR
	FOUND 1/2" REBAR
	TRUE POINT OF BEGINNING

NOTES:

1. A COMPROMISE AND SETTLEMENT AGREEMENT, A COVENANT RUNNING WITH THE PROPERTY CONTAINED HEREON, IS RECORDED AS INSTRUMENT NO. 306753, RECORDS OF BLAINE COUNTY, IDAHO.
2. A WARNING NOTICE AND DISCLAIMER OF SAFETY AND LIABILITY IS RECORDED AS INSTRUMENT NO. 306752, RECORDS OF BLAINE COUNTY, IDAHO.
3. THERE SHALL BE NO FURTHER SUBDIVISION OF ANY LOT OR PARCEL CONTAINED HEREON.
4. THE AREA SHOWN ON THE PLAT AS "FORMER KINDERHORN SUBD. PARCEL BB" SHALL HAVE NO DWELLING UNIT DENSITY EXCEPT THAT AN ACCESSORY DWELLING UNIT AND OTHER ACCESSORY BUILDINGS AND USES SHALL BE ALLOWED AND LOCATED THEREON, PURSUANT TO APPLICABLE CODES; AND IS INTENDED FOR THE SPECIFIED ACCESS, UTILITY AND LANDSCAPE EASEMENTS.
5. A 15' WIDE LANDSCAPE EASEMENT EXISTS WITHIN LOT 4A AS SHOWN HEREON.
6. A PORTION OF LOT 4A IS LOCATED IN THE MOUNTAIN OVERLAY DISTRICT. CITY OF KETCHUM DESIGN REVIEW IS REQUIRED FOR ANY FUTURE DEVELOPMENT WITHIN LOT 4A, PURSUANT TO APPLICABLE CODES. NO DEVELOPMENT WITHIN LOT 4A SHALL BE LOCATED IN 25% OR GREATER SLOPES.
7. THERE SHALL BE NO DISTURBANCE TO THE ROCK OUTCROPPING SHOWN HEREON.



CURVE DATA

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	140.03'	96.05'	94.18'	N07°55'44"E	39°18'00"

LINE DATA

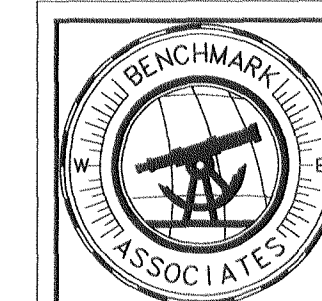
LINE	BEARING	DISTANCE
L1	N34°08'00"W	10.89'

HEALTH CERTIFICATE

Sanitary restrictions as required by Idaho Code Title 50, Chapter 13, have been satisfied. Sanitary restrictions may be reimposed, in accordance with Idaho Code Title 50, Chapter 13, Section 50-1326, by the issuance of a certificate of disapproval.

Date: 06/19/2017

Carolyn Pen
South Central Public Health District, REHS



KINDERHORN SUBDIVISION: BLOCK 1: LOT 4A

LOCATED WITHIN
SECTION 18, TOWNSHIP 4 NORTH, RANGE 18 EAST, B.M.,
CITY OF KETCHUM, BLAINE COUNTY, IDAHO

PREPARED FOR: BENJAMIN BIERBAUM

PROJECT NO. 16170	DWG BY: DWS/CPL	FILE: 16170PG1.DWG
FINAL PLAT	DATE: 02/17/2017	SHEET: 1 OF 2

KINDERHORN SUBDIVISION: BLOCK 1: LOT 4A

OWNER'S CERTIFICATE

This is to certify that THE ANNE H. BROWN 1996 Trust u/i/d July 17, 1996, as amended, Annabelle H. Bierbaum (formerly known as Anne H. Brown) as Trustee, is the owner in fee simple of the Real Property described as follows:

A parcel of land located within Section 18, Township 4 North, Range 18 East, Boise Meridian, City of Ketchum, Blaine County, Idaho, more particularly described as follows:

Lot 4 of KINDERHORN SUBDIVISION LOT 1B, LOT 3A, LOT 4 AND PARCEL "BB", according to the official plat thereof, recorded as Instrument No. 425691, records of Blaine County, Idaho.

Pursuant to Idaho Code 50-1334, the undersigned, as owner, does hereby state that the lots on this plat are eligible to receive water service from the Ketchum Utility Department, and that said department has agreed in writing to serve the lots shown on this plat.

It is the intention of the undersigned to and they do hereby include said land in this plat.

IN WITNESS WHEREOF, I have hereunto set my hand.

THE ANNE H. BROWN 1996 TRUST

THE ANNE H. BROWN 1996 Trust, u/i/d July 17, 1996, as amended

BY: ANNABELLE H. BIERBAUM

ANNABELLE H. BIERBAUM (formerly known as Anne H. Brown), Trustee

Signed this 7 day of AUGUST, 2017.

ACKNOWLEDGEMENT

STATE OF IDAHO

COUNTY OF BLAINE

On AUGUST 7TH, 2017 before me, CINDA P. LEWIS, NOTARY PUBLIC,
Date Name and Title of Officer (e.g., "Jane Doe", Notary Public")

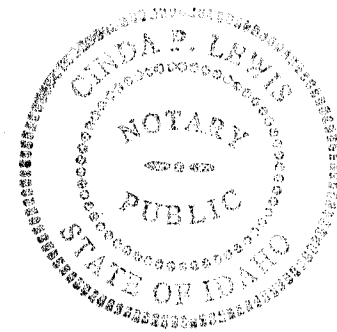
personally appeared ANNABELLE H. BIERBAUM
Name(s) of Signer(s)

☐ personally known to me - OR -

☒ proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

WITNESS my hand and official seal.

Cinda P. Lewis
Signature of Notary Public



OWNER'S CERTIFICATE

This is to certify that BENJAMIN E. BIERBAUM, a married man as his sole and separate property is the owner in fee simple of the Real Property described as follows:

A parcel of land located within Section 18, Township 4 North, Range 18 East, Boise Meridian, City of Ketchum, Blaine County, Idaho, more particularly described as follows:

Parcel "BB" of KINDERHORN SUBDIVISION LOT 1B, LOT 3A, LOT 4 AND PARCEL "BB", according to the official plat thereof, recorded as Instrument No. 425691, records of Blaine County, Idaho.

Pursuant to Idaho Code 50-1334, the undersigned, as owner, does hereby state that the lots on this plat are eligible to receive water service from the Ketchum Utility Department, and that said department has agreed in writing to serve the lots shown on this plat.

It is the intention of the undersigned to and they do hereby include said land in this plat.

IN WITNESS WHEREOF, I have hereunto set my hand.

B. E. Bierbaum

BENJAMIN E. BIERBAUM

Signed this 7TH day of August, 2017.

ACKNOWLEDGEMENT

STATE OF IDAHO

COUNTY OF BLAINE

On AUGUST 7TH, 2017 before me, CINDA P. LEWIS, NOTARY PUBLIC,
Date Name and Title of Officer (e.g., "Jane Doe", Notary Public")

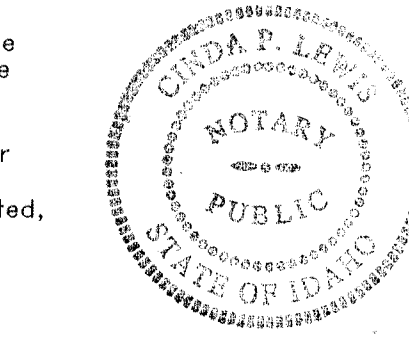
personally appeared BENJAMIN E. BIERBAUM
Name(s) of Signer(s)

☐ personally known to me - OR -

☒ proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

WITNESS my hand and official seal.

Cinda P. Lewis
Signature of Notary Public

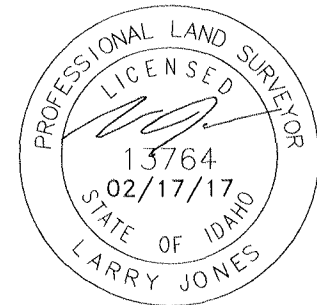


Instrument # 645775
HAILEY, BLAINE, IDAHO
8-16-2017 03:08:41 PM No. of Pages: 2
Recorded for: BENCHMARK ASSOCIATES
JOLYNN DRAGE Fee: 11.00
Ex-Officio Recorder Deputy
Index to: PLATS

SURVEYOR'S CERTIFICATE

I, LARRY JONES, a duly Registered Professional Land Surveyor in the State of Idaho, do hereby certify that this is a true and accurate map of the land surveyed under my direct supervision, and that is in accordance with the State of Idaho Code relating to plats and surveys.

LARRY JONES, P.L.S. #13764



COUNTY SURVEYOR'S APPROVAL

This is to certify that I, SAM YOUNG, County Surveyor for Blaine County, Idaho, have checked the foregoing plat and computations for making the same and have determined that they comply with the laws of the State of Idaho relating thereto.

SAM YOUNG, County Surveyor

2/20/17
DATE

CITY ENGINEER'S APPROVAL

I, Shen Naland, City Engineer for Ketchum, Idaho do hereby approve the foregoing plat.

By: Shen Naland

3/15/17
DATE

CITY OF KETCHUM APPROVAL

I, Robin Crotty, City Clerk in and for the City of Ketchum, do hereby certify that the foregoing plat was duly accepted and approved according to the Ketchum Subdivision Ordinance.

By: Robin Crotty

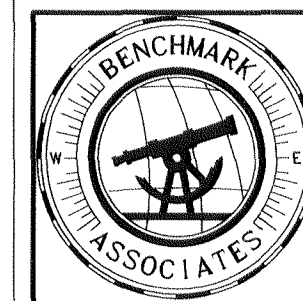


3/16/17
DATE

COUNTY TREASURER'S CERTIFICATE

On this 16th day of August, 2017, the foregoing plat was approved and accepted by the Blaine County Treasurer, Blaine County, Idaho.

By: Hail & Peterson



KINDERHORN SUBDIVISION:
BLOCK 1: LOT 4A

LOCATED WITHIN
SECTION 18, TOWNSHIP 4 NORTH, RANGE 18 EAST, B.M.,
CITY OF KETCHUM, BLAINE COUNTY, IDAHO

PREPARED FOR: BEN BIERBAUM

PROJECT NO. 16170	PLOT BY: CPL	FILE: 16170CRT.DWG
FINAL PLAT	DATE: 02/17/2017	SHEET: 2 OF 2