

# WHITE PETERSON

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November 26, 2024

To: Mayor and City Council  
City of Ketchum  
*Delivered via meeting packet for 12/2/2024*

From: Matthew Johnson, City Attorney

Re: Administrative Appeal Process (2024) – 121 Badger Lane

### **Background:**

This is an administrative appeal to the City Council of a P&Z Commission Decision affirming a Determination by the Planning Director on a Floodplain Development Permit. The appeal was filed by nearby property owners Nicholas and Stephanie Osborne, represented by Gary Slette of Robertson & Slette. Applicant 121 Badger Lane, LLC, has responded to the appeal, was represented by Danielle Strollo of Givens Pursley at the P&Z Commission hearing, and is now represented by Ed Lawson of Lawson Laski Clark.

This matter generally concerns the floodplain development permit review process, in particular staff interpretations and application of permit criteria. The details of these issues are presented in the memoranda presented by the parties.

This same Property, and similar Permit and determination, were administratively appealed to the Commission in December of 2023. The Commission sent the matter back to the parties and the Planning Department at that time with direction for further review of information related to the permit. The Applicant then submitted a new, revised application. This administrative appeal is a result of that new review by the Planning Department resulting in a new Director determination, and a new administrative appeal.

### **Procedural Status:**

This is an administrative appeal of decisions or determinations of the P&Z Commission, as is provided for in Ketchum Municipal Code §17.144.020.

This matter was scheduled by the City Attorney, along with approving deadlines for submission of memorandum, by agreement of the parties involved and approval of the Commission. All three memoranda – (1) Appeal by Appellant, (2) Response by Applicant/Respondent, (3) Reply

by Appellant - have been timely submitted and are provided for the Council's review.

From a process perspective, the Council can focus its review primarily on those memoranda and their arguments. The Council is reviewing these arguments and addressing interpretation questions in a quasi-judicial role. The remainder of any accompanying documents are the Record, which may include application documents, minutes, staff reports, etc., and are available primarily as resources or for purposes of reference within arguments to evaluate the factual background.

This is an administrative appeal hearing. Oral arguments will be presented by the attorneys for the involved parties. The presenting parties and supporting staff will be available for questions. This is not a public hearing and there is no public comment as part of the process. Comments or input to Councilmembers outside the appeal hearing are discouraged, and if any is received should be disclosed by that Councilmember as an ex parte communication at the start of the hearing.

During the hearing, the Council, at its discretion, is welcome to ask questions of staff or the parties as may be helpful to deliberation. It is encouraged to handle most questions for a party during their portion of the hearing.

The order of presentation will be Appellant, Applicant/Respondent, Director/staff if desired, and then an Appellant rebuttal if desired. Any further presentation or answers to questions will be at the discretion of the Council.

### **Standard of Review:**

Since the Council does not hear administrative appeals frequently, a common question when they do arise is as to the applicable standard of review. Standard of review is a legal term guiding the discretion (or not) of the review and decision with respect to use of the Record and in particular in whether or not to consider new additional information.

In this situation, it is important for the Commission to understand the standard of review as defined in KMC §17.144.020(C):

*Authority of council. Upon hearing the appeal, the council shall consider only matters which were previously considered by the Commission as evidenced by the record, the order, requirement, decision or determination of the Commission and the notice of appeal, together with oral presentation and written legal arguments by the appellant, the applicant, if different than the appellant, and the Commission and/or staff representing the Commission. The council shall not consider any new facts or evidence at this point. The council may affirm, reverse or modify, in whole or in part, the order, requirement, decision or determination of the Commission. Furthermore, the council may remand the application to the Commission for further consideration with regard to specific criteria stated by the council.*

While arguments, per the memoranda of the parties, are considered, there should not be new factual information considered or weighed that was not part of the Record below.

### **Decision Options:**

As indicated in the last sentences of KMC §17.144.020(C), upon review and deliberation, the

Council may decide from the following on the underlying decisions: affirm, reverse, modify in whole or in part, and/or remand the application back to the Commission and/or Director with direction.

Per KMC §17.144.020(D), the Council must issue a written decision within 30 days of this hearing. Typically, the Council will indicate a decision, or at least direction, for legal counsel to prepare a draft written decision for final approval and decision at a future meeting within that 30-day time period.

I will be present for the hearing and available to assist in the proceedings, including recommending motions language based on the Council's direction as is helpful.



City of Ketchum

# **ATTACHMENT 1:**

# **Application for Appeal**



City of Ketchum  
Planning & Building

OFFICIAL USE ONLY	
File Number:	P23-014C
Date Received:	9/12/24
By:	GB
Fee Paid:	\$5000
Approved Date:	
Denied Date:	
By:	

### Notice of Appeal

Submit completed application and documentation to [planningandbuilding@ketchumidaho.org](mailto:planningandbuilding@ketchumidaho.org) Or hand deliver to Ketchum City Hall, 191 5<sup>th</sup> St. W. Ketchum, ID If you have questions, please contact the Planning and Building Department at (208) 726-7801. To view the Development Standards, visit the City website at: [www.ketchumidaho.org](http://www.ketchumidaho.org) and click on Municipal Code. You will be contacted and invoiced once your application package is complete.

**Note:** The Appellant shall submit an amount to cover the cost of giving notice, as applicable in the Fee Schedule, and provide a transcript within two (2) days after the Planning and Building Department provides the Appellant with an estimate for the expense of the same. In the event the fee is not paid as required, the appeal shall not be considered filed.

OFFICIAL USE ONLY	
Date Appeal Received: 9/11/24	Date Notice Published:
Appeal Fee: \$5000	Transcript Fee:
Date Paid: 9/12/24	Date Paid:
Date Appellant Notified of Estimated Transcript Costs and Notice:	Mailing Fee:
Date of Appeal Hearing:	Date Paid:
Action(s) Taken/Findings:	
APPELLANT	
Name of Appellant: NICHOLAS & STEPHANIE OSBORNE	Phone Number: 650 228 9705
Address: 105 WOOD RIVER DRIVE NORTH, KETCHUM	Fax Number or Email: NOSBORNE@MAY.COM
REPRESENTATIVE	
Name of Representative: GARY SLUATE	Phone Number: 208 933-0700
Address: 134 TUESDAY EAST, TWIN FALLS, ID	Fax Number or Email: G.SLUATE@KETCHUMIDAHOLA.COM
APPLICATION	
Application Being Appealed: 121 BADGER LANE	
Explain How You Are an Affected Party: NEIGHBORING PROPERTY OWNER	
Date of Decision or Date Findings of Fact Were Adopted:	
SUBMITTAL INFORMATION	
This Appeal is Based on The Following Factors (set forth all basis for appeal including the particulars regarding any claimed error or abuse of discretion): SEE ATTACHED	

If you have attached additional pages, please indicate the number of pages attached 3

Signature of Appellant or Representative  Date 9/11/24

- Planning and Building Findings and Decision inaccurately state that “Historically the subject property has had a road/driveway at the northern boundary with a culvert underneath”. Historically the driveway has turned south before entering the floodplain so that floodwaters accumulate in wetlands on the subject property rather than backing up into neighboring properties.
- Numerous findings of facts and provisions of the City of Ketchum Zoning Regulations (17.88.010 A 1-3, 17.88.020 H/J, 17.88.030 C/E, 17.88.040 B 1-2/4, 17.88.050 E 1/5/21, 17.88.050 I 2 f/h) address risks resulting from floodplain development, the importance of maintaining natural conditions of the floodplain and require “(Wetlands) Where development is proposed that impacts any wetland the first priority shall be to move the development from the wetland area” (17.88.050 E 21) and “the availability of alternative locations for the proposed use which are not subject to flooding or erosion damage” (17.88.050 I 2 f). Despite these regulations the Planning and Building Department did not evaluate alternatives for the proposed development, including the driveway which extends into the floodplain and along the property line.
- During the planning phase, it was determined that the proposed driveway in the floodplain needed to be raised to provide required clearance for emergency vehicles during flood conditions. This change exacerbated the already flawed plan. Despite this significant change, the Planning and Building Department has only sought to remediate the resulting flawed plan and not requested or evaluated alternative locations for the driveway, including relocating the driveway to its original location as suggested by Planning & Zoning Commission Chairman during the December 12, 2023 meeting or other alternatives proposed by the Osbornes to the owner of the 121 Badger Lane.
- Planning and Building Findings and Decision accurately state “As a result of the raised driveway, if no culverts were placed underneath, the adjacent property to the north would be adversely impacted with increased floodwaters”. The raised driveway creates a barrier across its entire span and fills existing wetlands that currently collect floodwaters in both the eastern and western portions of the floodplain adjacent to the Osborne’s property.
- The proposed driveway increases the elevation above existing grade of up to 3 feet, and elevations in the western portion of the driveway closest to the Osborne’s property by 1 ¼ to 2 feet and above the BFE stated in the Planning and Building Findings of 5786.5 which will not allow sheet flooding as required by 17.88.050 E 5. Proposed culverts only address a channel and filled wetland area in the eastern part of the floodplain while the western part of the floodplain, which is closer to the Big Wood River, experiences even greater flows during flooding. Planning and Building Department have not fully evaluated inadequate and poorly planned drainage in the western part of the floodplain.
- Proposed culverts are inadequate to ensure proper drainage. A condition of approval is that the culverts are required to be maintained and kept clear to ensure sufficient carrying capacity. The Planning and Building Findings and Decision do not consider that in flood conditions it may be impossible for the culverts to be maintained and kept clear due to the potential volumes of

flood water and debris. Because the culvert inlets are almost directly on the shared property line, any back-up of the culverts create hazards for the Osborne's property. The proposed residence is being developed for sale. The Planning and Building Findings and Decision do not address how these conditions will be enforced on future owners.

- Planning and Building Findings and Decision does not address commentary from neighbors and evidence that the LOMA on the site had been improperly issued as a result of fill which had been placed on the site rather than the natural conditions of the site as the LOMA requires. Pit tests on the site included as part of the application revealed only one area of the site that had fill material, in the LOMA.
- The Planning and Building Findings and Decision does not address the fact that the existing floodplain map for the site is out of date and changes in the draft FEMA floodplain map would return the LOMA on the site to floodplain (Draft April 17, 2024) and expand the Floodway adjacent to the site and neighboring properties. Zoning Regulation 17.88.050 G. 1. a. allows the City to consider "whether there have been significant amendments to the City's...draft or interim floodplain maps...which will apply to the subject approval". The subject property is not only in the floodplain but also partially in the Historic Channel Migration Zone. The Planning and Zoning Findings and Decision are based on analysis which does not reflect known conditions.
- The Planning and Zoning Findings and Decision does not address a historic fishing cabin owned by the Osbornes and identified by the Historical Committee that sits on the northern property line of the site, within feet of the elevated driveway where flooding is most likely to occur. The historic cabin remains on its original foundation of river rock. As a result the cabin is not only at risk of flooding but also of moving and collapsing in flood conditions.
- Staff has inappropriately applied, and the Planning and Zoning Commission failed to address, KMC Section 17.88.050 E 21 which states "Where development is proposed that impacts any wetland the first priority shall be to move the development from the wetland area. Mitigations strategies shall be proposed at that time of the application that replace the impacted wetland area with an equal amount and quality of new wetland area or riparian habitat."
- The Applicant's representatives and Staff made statements during the Planning and Zoning Commission hearing on August 13, 2024, in response to questions from Planning and Zoning Commission members which were either inaccurate and/or incomplete and misleading, and which are reasonably believed to have affected the decision of members of the Planning and Zoning Commission.
- The conditions of approval for the Applicant's plan provide that the City Staff will monitor, in perpetuity, the maintenance and performance of culverts which are on private property and directly adjacent to the Osbornes' property line. The viability of this condition is, at best, unproven and shifts the burden of responsibility for adverse outcomes and liability from the Applicant to the City, leaving the Osbornes with no recourse but to resort to litigation against the City in the event of adverse outcomes.

- Staff and the Commission's review, and statements by the Applicant's representatives demonstrated a lack of clear understanding of the specific conditions of the site and the proposed driveway. For the first time during the hearing, Staff informed everyone in attendance that it had visited and viewed the site prior to rendering the Staff's decision. During the Planning and Zoning Commission hearing on August 13, the Appellants' attorney expressly requested the Commission members to also visit the site in order to view and gather the same evidence as Staff did. However, the City Attorney expressly advised the Commissioners not to visit the site which conflicts with the Osbornes' right to due process. The Commission was required to review and consider the same evidence as Staff did when it was considering an appeal of the Staff's decision. Failure to do so violated the Appellants' right to due process.
- The Staff and the Planning and Zoning Commission have failed to address other issues related to the site, including evidence and statements by members of the community that the LOMA for the site was improperly obtained.





City of Ketchum

## **ATTACHMENT 2:**

# **Scheduling Order**

# WHITE PETERSON

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\* Also admitted in OR

October 21, 2024

To: City Council, City of Ketchum

From: Matthew Johnson, City Attorney

Re: 121 Badger Lane Administrative Appeal – Scheduling Order/Notice

Recommended Motion: I move to approve the Scheduling Order and Notice as presented, and authorize the Chair to sign.

### Background:

This is a procedural step for the City to continue to process an administrative appeal filed with respect to an appeal decision of the Planning and Zoning Commission on a determination of the Planning Director with respect to a floodplain permit.

Under Ketchum Municipal Code §17.144.020, the Council orders and notices a hearing date for the administrative appeal and also accepts certain procedural steps, which are specified in the attached Order.

The city attorney met with the attorneys for the parties (Appellant and Applicant) via phone and/or email, and have attempted to formulate a schedule addressing the parties concerns. Concerns were raised by the Appellant with respect to the schedule in relation to preparation of the transcript of the P&Z appeal proceedings. However, upon further review and the anticipated schedule for delivery of such transcript, as well as the fact that a recording of the P&Z proceedings was already fully available for review by any party, the schedule in the attached Order provides sufficient and reasonable time for briefing and avoid this matter potentially being delayed until the next calendar year.

This is an administrative appeal hearing where the Commission will sit in a quasi-judicial role. There will be arguments by the parties and explanation by staff of the staff determination, but there is no public hearing and public comments will not be taken. Council will have full discretion to ask questions of the parties, staff, and/or city attorney as we needed.

As the briefs are submitted, the Council will be provided access to copies of the briefs, as well as the record including transcripts as applicable.

Questions or concerns on the substance of the administrative appeal should be reserved for the actual appeal hearing.



City of Ketchum  
City Hall

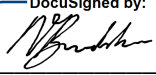
**SCHEDULING ORDER AND NOTICE OF APPEAL HEARING  
BEFORE CITY COUNCIL  
Administrative Appeal: P23-014 – 121 Badger Lane**

An administrative appeal was filed by Appellant, with respect to the above-referenced application(s), Director's Determination, and Planning Zoning Commission Decision on Appeal. The administrative appeal was filed pursuant to Ketchum Municipal Code 17.144.020.


The City Council hereby finds and orders that:

1. The Planning and Zoning Director has certified and reported that the procedural requirements have been met. KMC 17.144.020(A).
2. A record of the proceedings, if any, has been prepared and will be accepted by the Council as part of this process. KMC 17.144.020(A).
3. The City Attorney has held scheduling discussions with the parties, attempting to coordinate and allow for input by the parties on the schedule set forth in this Order.
4. Hearing Date: This matter is set for hearing before the Council at its regular meeting and location on December 2, 2024. KMC 17.144.020(B).
5. Briefing Schedule: Appellant is to submit any brief or memorandum in support of the appeal by 5:00 p.m. on **November 8, 2024**. An Applicant response brief or memorandum, if desired, is to be submitted by 5:00 p.m. on **November 18, 2024**. A reply brief, if desired by Appellant, is to be submitted by 5:00 p.m. on **November 25, 2024**. All briefs/memos are to be sent to the parties to the administrative appeal, Planning Director, and the City Attorney. Electronic delivery of documents will be sufficient.
6. Council Review Authority: Upon hearing the appeal, the council shall consider only matters which were previously considered by the Commission as evidenced by the record, the order, requirement, decision or determination of the Commission and the notice of appeal, together with oral presentation and written legal arguments by the appellant, the applicant, if different than the appellant, and the Commission and/or staff representing the Commission. The council shall not consider any new facts or evidence at this point. The council may affirm, reverse or modify, in whole or in part, the order, requirement, decision or determination of the Commission. Furthermore, the council may remand the application to the Commission for further consideration with regard to specific criteria stated by the council. KMC 17.144.020(C).
7. Decision: A written decision will be entered within 30 days of conclusion of the appeal hearing. All parties, the Commission, and any affected party of record have a right to request and/or will be provided a copy of the decision. KMC 17.144.020(D).

Date of Order: October 21, 2024.

DocuSigned by:  
  
032B2B10E596435...  
Neil Bradshaw, Mayor

ATTEST

Signed by:  
  
7FAF9B9BC7D8434...  
Trent Donat, City Clerk

Signed by:  




City of Ketchum

## **ATTACHMENT 3:**

**Appellant Brief – 11/8/2024**

# Robertson & Slette, p.l.l.c.

ATTORNEYS AT LAW

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GARY D. SLETTE

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GARY D. SLETTE  
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November 8, 2024

Mayor and City Council  
City of Ketchum  
P.O. Box 2315  
191 5<sup>th</sup> St. West  
Ketchum, ID 83340

**RE: Nicholas and Stephanie Osborne (“Appellants”) appeal of Floodplain Development Permit for 121 Badger Lane, Ketchum, Idaho (“Permit”) issued to 121 Badger Lane, LLC (“Applicant”)**

Dear Mayor and Council Members,

Our law firm represents Nicholas and Stephanie Osborne (the “Osbornes”) regarding their appeal of the floodplain development permit (“Permit”) issued for 121 Badger Lane. The Permit was originally issued by the City staff pursuant to formal Findings of Fact, Conclusions of Law and Decision on June 16, 2023. That decision was appealed to the Planning & Zoning Commission (“Commission”) by the Osbornes, and an appeal hearing was held on December 12, 2023, at which time the Commission remanded the matter to staff. The City staff issued a new decision approving the Permit by issuance of a subsequent set of Findings of Fact, Conclusions of Law and Decision on May 14, 2024. The new Decision was appealed by the Osbornes to the Commission which conducted an appeal hearing on August 13, 2024. A transcript of that hearing has been lodged with the City. The City attorney explained at the outset of that hearing that the Commission was, for all practical purposes, considering a new application because of the newly revised plans for the property. After much questioning by Commission members, together with a lengthy deliberation, the Commission voted 3-2 in a split decision to affirm the granting of the Permit. The Osbornes timely appealed the Commission's decision on the new application.

After reviewing the record and transcript in this matter, and hearing the oral arguments on appeal, the Osbornes respectfully request that the City Council reverse the decision of the Commission and staff, and deny the Permit for the reasons set forth in this Appellants' brief.

The Osbornes' chief concern has always been the placement of an elevated driveway immediately adjacent to the shared boundary line between their property and that of the applicant. Portions of the driveway are above the base flood elevation and will serve to function as a berm to potentially impound flood flows. Having personally observed their property during the flood event of 2017 (which was not a 100-year flood event by any means), they are acutely aware of the flood potential that already exists on their property. The creation of a berm along their boundary line will only have the non-salutary effect of exacerbating that potential. The applicant's proposal to install three culverts as a means of alleviating the flooding potential created by its proposed driveway does little to ameliorate the Osbornes' concerns. The openings of the inverted culverts are located within inches of the common boundary line. Although the staff Decision at paragraph 15 mandates, "Maintenance of culverts to ensure they function properly during flooding conditions is required", there is absolutely no enforcement provision that would compel the applicant, its successor, or the City to fulfill that condition. If the culverts become blocked with debris, the likelihood that anyone could even get to them during a flood event is remote. Staff acknowledged at page 3 of its Findings as follows, "As a result of the raised driveway, if no culverts were placed underneath, the adjacent property to the north would be adversely impacted with increased floodwaters."

To the Osbornes, it is also clear that staff and the Commission have ignored the clear and unambiguous language of the Ketchum Municipal Code regarding wetlands. The Code requires that "Where development is proposed that impacts **any** wetland, the **first priority** shall be to move the development from the wetland area...". If there is absolutely no alternative, then the default provision of the Code is to balance the cut and fill in a wetland area. However, as observed by members of the Commission, the applicant's design of the various structures, including the driveway, rather than the site characteristics themselves, caused the need for intrusion into the wetlands. Parenthetically, the staff's Findings signed by Mr. Crutcher inaccurately state that, "Historically, the subject property has had a road/driveway at the northern boundary with a culvert underneath." The Council members can observe for themselves where that existing driveway

which served the property was located by reviewing the applicant's own submission materials. Staff's statement is also contradicted in the transcript at page 61 where the fire department is blamed for "pushing the driveway up to the north". Succinctly stated, there are alternatives for the driveway that (a) do not function to create a berm to impede flood flows on the Osbornes' property; and (b) do not require intrusion into jurisdictional wetlands.

The Osbornes respect the applicant's private property rights so long as their own property does not bear the creation of a potential burden as a result of the development on the applicant's property. The Code is clear that those who occupy areas of flood hazard must assume the responsibility of their actions, a common theme echoed by Chairman Morrow and Commissioner Carter at the P&Z hearing. The Osbornes ask the City Council to reverse the decision of staff and the Commission in order to allow a design alternative for the driveway that doesn't create the flood-restrictive berm, and which doesn't create the need to intrude into wetlands. The exhibits attached hereto were provided to the Commission for their consideration during the appeal of this matter, and are being provided to the Council as well.

- 1. The City of Ketchum is committed to enforcing provisions related to flood prone areas by its Comprehensive Plan and the Ketchum Municipal Code ("KMC"). The KMC specifically recognizes that floodplain development has increased flood hazards and changes the ability of the floodplain to function as originally assumed. Notwithstanding this, the City has approved a Floodplain Development Permit for 121 Badger Lane that unnecessarily changes the characteristics of the floodplain and creates a hazard for the Osbornes' property.**

"The City will seek to protect the riparian vegetation, natural habitat, water quality and flood attenuation capacity, while providing appropriate public access to the river systems in Ketchum. The City will regulate and enforce provisions related to any alterations to the riparian, flood prone, and general water course areas."

Ketchum 2014 Comprehensive Plan  
Policy NR-1.2  
River System Quality

"Encroachments (i.e., houses, fill, etc.) on floodplains reduce the flood carrying capacity of the river and its floodplain and increase flood heights, thus increasing flood hazards on land beyond the encroachment. With every new development since the FEMA one percent annual chance boundary was determined, the ability of the floodplain to function as originally assumed changes."



**The plan unnecessarily fills wetlands and an active floodplain to accommodate a 9,000 square foot house, a 1,500 square foot guest house, a swimming pool and a driveway along the shared property line which creates a barrier to the natural flow of floodwater from the Osborne property. As such the plan fails to comply with Section 17.88.050 E 1. of the KMC.**

**“The criteria for floodplain development applications and riparian alteration permits shall be as follows: 1. The proposal preserves or restores the natural characteristics of the river, floodplain and riparian zone** including riparian vegetation and wildlife habitat.”

**Floodplain Damage Prevention**  
KMC Section 17.88.050 E

- A significant portion of the 121 Badger Lane and the undeveloped portion of the Osborne property is located in the floodplain. Because of its location directly downstream from the confluence of the Big Wood River and Warm Springs Creek, significant erosion has already occurred. As such, the site is prone to flooding and has experienced significant flooding in the past. Previous efforts to control flooding on 121 Badger Lane have included riprap along the site’s western boundary.
- Rather than using the existing driveway, the plan contemplates a new elevated driveway that runs almost the entire length of the northern property line with a significant portion unnecessarily located in the floodplain. The driveway plan includes (a) filling existing wetlands and channels that collect floodwaters; and (b) creating a barrier to floodwaters which naturally flow from the Osborne property onto 121 Badger Lane along the shared property line.
- Because of known flood conditions on the site, it was determined during the planning phase that the KMC required the proposed driveway location in the floodplain to be elevated even higher to provide the required clearance for emergency vehicles during flood conditions. As a consequence, that further elevation of the driveway increased the height of the barrier created by the new driveway and exacerbated an already flawed plan.
- The result is a plan which was proposed and approved in conflict with multiple provisions of the KMC.

**2. The proposed plan and approval process did not adequately evaluate alternative locations for the driveway, and as a result, it failed to comply with Section 17.88.050 (E)(21) of the Ketchum Code of Ordinances.**

- Section 17.88.050 (E)(21) states “**(Wetlands) Where development is proposed that impacts any wetland the first priority shall be to move the development from the wetland area.** Mitigation strategies shall be proposed at time of application that replace the impacted wetland area with an equal amount and quality of new wetland area or riparian habitat improvement.”
- Despite this very clear and unambiguous statutory requirement, and the availability of alternative locations for the driveway, including the existing driveway, the Planning and Building Department staff did not adequately evaluate such alternatives. When asked about that issue, Mr. Crutcher suggested that it was a question for the applicant, and Ms. Landers indicated that was never requested by staff. Tr., p. 76, l. 2-12. The Osbornes contend that was either an error or an abuse of discretion by staff.
- In response to questions from the Planning & Zoning Commission members regarding alternatives, staff told the Commission that it had considered alternatives, and that the driveway location was necessary given the conditions on the property. That is simply incorrect, especially when you consider that a driveway to the property served the former residence. The record created by the staff is entirely devoid of any such alternatives, one of which was to utilize the location of the existing driveway.
- At best, staff may have evaluated alternatives which accommodated the planned 9,000 square foot main house, a 1,500 square foot guest house, two garages and a swimming pool in their planned locations. No consideration was given to moving or reducing the size of the proposed structures to allow a driveway that did not fill the existing wetlands. The Osbornes contend that was either an error or an abuse of discretion by staff.
- The council is urged to keep in mind that the first priority articulated in the KMC is to move a proposed development from a wetland area. The term “first priority” has the usual and ordinary meaning of “first concern”, or “most important consideration”. A priority is the concern, interest or desire that comes before all others. Rather than letting the site dictate the location and size of the structures and the driveway, the applicant

elected to have the elements of the improvements assume greater importance which meant an unnecessary intrusion into the wetlands on the site. The secondary mitigation strategy of the KMC regarding the balancing of cut and fill only comes into play if the “first priority” requirement of avoidance of wetlands cannot be accommodated. The following colloquy between Commission members and staff is compelling, and it is clear that the Commission was troubled by the failure to consider the existing driveway as access to the property.

5 **COMMISSIONER PASSOVOY:** So my question to  
6 the staff is, did you discuss -- did you consider  
7 alternative locations of the driveway --

8 **MR. CRUTCHER:** Yes, that --

9 **COMMISSIONER PASSOVOY:** -- and discuss those  
10 with the applicant? And would you tell us about that.

11 **MR. CRUTCHER:** Staff looked at the proposal  
12 and the residence being located within the letter of map  
13 amendments. Which took the property outside of the  
14 floodplain seemed to be the most appropriate location  
15 for the residence. And then with the requirement of a  
16 hammerhead turnaround by the fire department pushing the  
17 driveway up to the north, that seemed to be the best  
18 approach for getting access to the letter of map  
19 amendment area.

20 **COMMISSIONER PASSOVOY:** So the location of  
21 the house or the development dictated the location of  
22 the driveway?

23 **MR. CRUTCHER:** That's correct.

24 **MS. LANDERS:** And just to clarify, the  
25 location of the house wasn't necessarily the choosing of  
1 the owner. It was a LOMA that had already been  
2 approved. So, you know, that was a condition that was  
3 kind of existing in place. And I think when Adam and I  
4 reviewed that, the effort was to keep the majority of  
5 the development outside of the floodplain. Because if  
6 we were to move the location of the home, you'd be  
7 putting it outside of the floodplain and into the  
8 floodplain. And so there was a discussion around

9 alternatives. It isn't necessarily documented in kind  
10 of multiple scenarios as part of the development  
11 application, but those discussions did occur.

12 **COMMISSIONER PASSOVOY:** Okay. Thank you.

13 **COMMISSIONER CARTER:** Was there a  
14 consideration of leaving the driveway where the existing  
15 driveway is? Or how was the location of the existing  
16 driveway considered?

17 **MR. CRUTCHER:** Well, the fire department  
18 required a hammerhead turnaround access that was not  
19 present with the current driveway configuration due to  
20 fire department code. And so that configuration is the  
21 result of the fire department requirements.

**Transcript of Administrative Appeal of 121 Badger Lane, August 13, 2024**  
**Page 61, Lines 5-25, Page 62 Lines 1-21**

11 **MR. CARTER:** Staff, can you bring up page --  
12 the last page in the staff report, 221?  
13 (Next Slide)

14 **MR. CARTER:** Is it correct that this shows  
15 existing conditions out there, more or less?

16 **MR. CRUTCHER:** Yeah.

17 **MR. CARTER:** And is it correct that that's  
18 showing a sort of existing driveway location?

19 **MR. CRUTCHER:** Yes.

20 **MR. CARTER:** Is there an existing -- there's  
21 an existing driveway on the site?

22 **MR. CRUTCHER:** Gravel. So the asphalt has  
23 been pulled out, but the topography is similar to where  
24 the driveway used to be when it was still functioning.

25 **COMMISSIONER PASSOVOY:** At the gray line?

1 **MR. CRUTCHER:** Correct.

2 **COMMISSIONER CARTER:** Was there an attempt  
3 made by the design team to design a driveway that worked

4 on the existing configuration and a hammerhead that was  
5 in a different portion of the lot that perhaps didn't  
6 impact the wetland as much?

7 **MR. CRUTCHER:** I believe that would be a  
8 question for the Applicant.

9 **MS. LANDERS:** Tim, it wasn't something that  
10 was requested by staff. It was just during kind of  
11 discussions of different alternatives and what was being  
12 proposed.

**Transcript of Administrative Appeal of 121 Badger Lane, August 13, 2024  
Page 75, Lines 11-25, Page 76 Lines 1-12**

**COMMISSIONER PASSOVOY:** And I actually, if  
13 you take that -- I mean, it may require some redesign of  
14 the house, which was my question. Is if the design of  
15 house -- the design and placement of the house is  
16 dictating where the driveway goes. And maybe that  
17 approach should have been, or we should ask the  
18 Applicant to -- I mean, I know this has been a long and  
19 expensive process. But since this was raised as a  
20 problem early on, I would -- I would have liked to have  
21 seen them say, well, maybe the way we've designed and  
22 located the house should be reevaluated so that we don't  
23 have this problem of the driveway and the hammerhead  
24 right along the northern property line. It's sort of  
25 the once again, you know, what forces the decision?  
1 Which part of the design forces the decision?

**Transcript of Administrative Appeal of 121 Badger Lane, August 13, 2024  
Page 79, Lines 13-25, Page 80 Line 1**

- Numerous alternatives for the location of the driveway, including the existing driveway, were apparently not considered by the City staff or the applicant. Some of these alternatives would not even require a change in the scope of the project, the location of the house or the potential location of a hammerhead. Certain of these alternatives were actually discussed by the Osbornes and the applicant following the initial appeal which resulted in the remand, but were dismissed out of hand due to the time and expense of a redesign. That time and expense could certainly have been avoided if consideration of alternatives that entirely avoided wetlands had been an initial concern of both the City and the applicant.

**3. In approving this and other projects, City staff has inappropriately applied and relied on the second sentence of Section 17.88.050(E)(21) without consideration of the City’s priority mandate expressly stated in that section.**

- In its Decision and Findings dated May 14, 2024, with respect to 17.88.050(E)(21), staff stated:

“Project site contains wetlands as delineated by Trent Stumph with Sawtooth Environmental. The proposed development will impact, permanently fill 1,277 square feet of wetlands with proposed wetland mitigation creating approximately 1,278 square feet of wetlands.”

- This statement interprets the second sentence of Section 17.88.050(E)(21) which provides, “Mitigation strategies shall be proposed at time of application that replace the impacted wetland area with an equal amount and quality of new wetland area or riparian habitat improvement.” That secondary provision, however, would only come into play if wetlands cannot be avoided at all. The very clear requirement of that section of the KMC states, “Where development is proposed that impacts any wetland the first priority shall be to move the development from the wetland area.” This then was the City’s opportunity to enforce its own Code provision. Rather than jumping to the secondary provision for cut and fill in order to accommodate the proposed new development on the site, the staff and the Commission committed error by not applying the clear language of the Code regarding wetland avoidance where possible. If “first priority” means the “most important consideration”, it is facially apparent that the KMC provision in that regard was ignored.
- During the appeal hearing, the Applicant’s legal representative incorrectly advised the Commission that the second sentence of Section 17.88.050(E)(21) was the only requirement in the Code for wetland approval.

**21 MS. STROLLO:** Wetlands, so there is one wetland  
**22** requirement in code criteria for approval and we meet  
**23** it. The driveway fills some wetland area and that fill  
**24** is mitigated entirely by creating wetland elsewhere to  
**25** preserve the natural function of the river.

**4. Proposed culverts are inadequate to ensure proper drainage. The placement of culverts conflicts with the purpose of the City’s Floodplain Zoning Regulations codified in Section 17.88.020.**

- KMC Section 17.88.020 states: **It is the purpose of this chapter to promote the public health, safety, and general welfare, and to minimize public and private losses due to flood conditions in specific areas by provisions designed:**

...

**H. To ensure that those who occupy the areas of special flood hazard assume the responsibility for their actions.**

- The plan proposes to eliminate the existing driveway and culvert located in the center of the property and to place the new elevated driveway and multiple culverts in the floodplain adjacent to the shared property line which creates new and unnecessary hazards for the Osborne property.
- Culverts are highly susceptible to blockage as a result of both wildlife and debris. Because the culvert inlets are almost directly on the shared property line, and adjacent to a historic 1930’s fishing cabin owned by the Osbornes, any back-up of the three culverts would unnecessarily create hazards for the Osborne property which are not insurable.
- One of staff’s conditions of approval is that the culverts are required to be maintained and kept clear to ensure sufficient carrying capacity. See Condition No. 15 of Decision dated May 14, 2024. Because the project is apparently a residence being developed for sale, it is impossible to ensure future compliance with this condition by anyone. Furthermore, the Planning and Building Findings, Conclusions and Decision do not consider that in flood conditions, it may be all but impossible for the culverts to be maintained and kept clear due to the potential volumes of flood water and debris. The assumptions of the Planning and Building department based on the unknown potential for debris were not factual. As stated by Ms. Landers, “So from staff’s perspective, we aren’t concerned about clogging of the culverts.” Tr., p. 73, l. 14-15. While staff may not be concerned, the Osbornes, having observed the flooding events of 2017, are most assuredly concerned about that potential.

4 **MS. LANDERS:** I think the last comments that I will make  
5 is that debris is always a concern in flooding. That's  
6 a comment that's been made. Large debris that -- that  
7 blocks culverts on a large scale, like the ones provided  
8 in the Appellant packet happen within the floodway when  
9 you have large downed trees, you know, things like that.  
10 These -- this area -- and Adam you can correct me if I'm  
11 wrong -- sees a lot of kind of sheet flooding of water  
12 come through. It isn't necessarily in a debris flow  
13 area.  
14 So from staff's perspective, we aren't  
15 concerned about clogging of the culverts.

- The Planning and Building Department Staff members have proposed that its team will monitor, in perpetuity, the maintenance and performance of culverts which are on private property. Adam Crutcher expressly stated that, "... we do go around during flooding years and check, myself, the fire department, streets and water and wastewater, to check and make sure that those [culverts] aren't getting blocked or impacted in any way by debris. So those are things that we do regularly throughout the city in different areas." Tr., p. 74, l. 21-25 and p. 75, l. 1. Not only will these municipal inspections not ensure compliance with Condition No. 15, it will have the effect of transferring responsibility for the risk to the City in conflict with KMC Section 17.88.020. It makes the City a party to any claim for damages that might result. Commissioners Carter and Morrow were particularly concerned about the duty that the City had assumed in this regard, and knew that it created a future liability for the City.

4 **COMMISSIONER MORROW:** You know, what if the person who buys the  
5 house says screw you, litigate, you know? We don't care  
6 what you do. We don't care what the city says. We're  
7 not going to do anything. Let them sue us. I need more  
8 -- you know, to put it right on their property line? If  
9 it were halfway down and there was some leeway, but  
10 there's no leeway here. If it backs up in a 100-year  
11 flood, it's on their property right-of-way. There's no  
12 -- and getting a guy to come out in a 100-year flood  
13 when it's underwater, to come and clean these culverts,  
14 you know, it's litigation for them. It's litigation  
15 against the city. It -- we're setting ourselves up for  
16 someone who buys the house and they go, I've got a ton  
17 of money. Screw you, I'll do whatever I want. And if



18 it means not cleaning the culverts, then I won't clean  
19 the culverts and you can sue me. And three years later  
20 when it gets done, you know, their house is ruined, or  
21 their historic cabin has floated away.

Tr., p. 66, l. 4-21.

- All of this ignores the simple fact that the best way “to ensure that those who occupy the areas of special flood hazard assume responsibility for their actions” is to locate proposed culverts away from neighboring properties as is the case with the existing driveway and the existing culvert on the property. In their brief on appeal to the Commission, the Osbornes referred the City to the Blaine County Multi-Jurisdiction All Hazard Mitigation Plan updated in October of 2018. Notably, the City of Ketchum, along with the cities of Bellevue, Carey, Hailey and Sun Valley, are all “Participating Jurisdictions” in that Plan. At page 13 of the Plan, “culverts” are grouped with “roads, bridges, [and] cattle guards as “limiting conditions” with a “high” priority to identify and list. If culverts are limiting conditions to the passage of floodwaters, it makes no sense to install three more of them when alternatives are available, e.g., utilizing the location of the existing driveway on the property.
5. **The City is proposing to approve a flawed driveway and drainage plan which adds 1,277 square feet of fill to wetlands and blocks two existing drainage channels. Drainage for one of the channels is based on the flawed culvert proposal discussed above, while the second channel has only a single 12-inch drywell. As a result, the plan fails to comply with KMC Sections 17.88.050(E)(1) and (5). The Commissioners were clearly unfamiliar with the actual specifics of the site, and relied on apparent erroneous information provided by the Applicant’s engineer.**
- Section 17.88.050(E) states: “The criteria for floodplain development applications and riparian alteration permits shall be as follows: 1. The proposal preserves or restores the natural characteristics of the river, floodplain and riparian zone including riparian vegetation and wildlife habitat.” **and** “5. Landscaping and driveway plans to accommodate the function of the floodplain allow for sheet flooding. Surface drainage is controlled and shall not adversely impact adjacent properties including driveways drained away from paved roadways.”

- There are two existing channels in the floodplain that traverse the property line, one of which is located on the eastern side of the floodplain (the “east channel”) and the second of which is located on the western side of the floodplain (the “west channel”). These two channels with elevations between 5785 and 5786 above mean sea level (“MSL”) allow floodwater to flow from the Osborne property into the wetlands at an elevation of 5784 on the 121 Badger Lane property where some of the water collects and is absorbed.
- These two channels are separated by a rise with an elevation of approximately 5787. As a result, floodwater cannot travel between the two channels at the BFE of 5786.5. Excavation that would allow water to flow between the two channels would fundamentally change the natural characteristics of the floodplain and create erosion issues.
- The proposed driveway fills these channels and wetlands on 121 Badger Lane, and increases the elevation in the floodplain above existing grade by up to 3 feet. The proposed elevations of the western portion of the finished driveway will be between 5786.55 and 5787.25, versus the existing elevations of between 5784 and 5786 and above the BFE of 5786.5 which will block the west channel and not allow sheet flooding to occur. However, when asked by Commissioner Carter if the driveway was **below** the base flood elevation (“BFE”), the applicant’s engineer responded, “Yes.” Tr., p. 51, l. 11-13.
- By filling wetlands and the floodplain to accommodate the elevated driveway, the plan fails to preserve or restore the natural characteristics of the floodplain and creates a barrier to floodwaters that flow from the Osborne property onto 121 Badger Lane, and the applicant’s plan fails to comply with KMC Sections 17.88.050(E)(1) and (5).
- Recognizing this issue, City staff stated in the Planning and Building Findings and Decision:

“As a result of the raised driveway, if no culverts were placed underneath, the adjacent property to the north would be adversely impacted with increased floodwaters”. Decision at p. 3.

- Three culverts have been proposed to address floodwaters in the east channel. The west channel is not served by the culverts, is closer to the river and experiences even greater flows during flooding as observed by the Osbornes in 2017. This channel will be blocked by the elevated driveway which exceeds the BFE. The proposed plan includes only a single dry well to drain the west channel.
- The Planning & Zoning Commission's ability to understand these specific issues was challenged by maps and plans whose elevations were difficult to read and compare, and by never having visited the site (a) as was done by the staff in making its quasi-judicial decision; and (b) as urged by the Osbornes at the appeal hearing after learning of staff's site visit to collect evidence. As a result, they relied on erroneous statements made by the applicant's engineer.
- During the P&Z meeting, seeking further clarification on the proposed driveway elevation versus the existing natural elevations **Commissioner Passovoy, who would be the deciding vote to approve the plan in a 3-2 split decision, asked the applicant's engineer:**

1 **COMMISSIONER PASSOVOY:** Once again, this is  
2 a very, very layperson question: Along the property  
3 line, we understand there were -- without the driveway  
4 there are undulations. And so the assertion of -- your  
5 assertion or explanation is is that the driveway does  
6 not create a berm. But do I understand that basically  
7 the driveway flattens out those undulations?

8 **MR. POWELL:** There will -- yeah, sorry.

9 **COMMISSIONER PASSOVOY:** Okay. And is the --  
10 and that the highest point of any undulation is no lower  
11 than the driveway elevation? Am I -- am I confusing  
12 you?

13 **MR. POWELL:** So say that again. The highest  
14 elevation of those undulations --

15 **COMMISSIONER PASSOVOY:** Okay, so the  
16 undulations are like this (indicating) --

17 **MR. POWELL:** Uh-huh.

18 **COMMISSIONER PASSOVOY:** -- up and down and  
19 up and down. Where the driveway essentially flattens  
20 that series of undulations, it makes it a straight line.

21 **MR. POWELL:** Right.

22 **COMMISSIONER PASSOVOY:** Is it fair to say  
23 that the highest point of any undulation is no -- is not  
24 lower than the driveway? So the driveway, the highest  
25 point of the driveway is no higher than the highest  
1 level of this series of undulations.

2 **MR. POWELL:** Yes.

3 **COMMISSIONER PASSOVOY:** Okay.

4 **MR. POWELL:** That is correct.

5 **COMMISSIONER PASSOVOY:** Okay.

6 **MR. POWELL:** In most cases those highs --

7 **COMMISSIONER PASSOVOY:** Would be -- would be  
8 lower. But I just -- just -- it flattens it out so in a  
9 sense it is a berm. But the berm is no higher than the  
10 highest undulation that exists out there. Okay.

11 **COMMISSIONER CARTER:** To follow up on that,  
12 did you say that the driveway is below BFE?

13 **MR. POWELL:** Yes.

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Page 50, Lines 1-25, Page 51 Lines 1-13**

- However, that affirmative statement was followed up and contradicted by Mr. Powell when he stated, “And so there are—but the majority of the driveway within the floodplain is lower than the BFE.” Tr., p. 51, l. 24-25 and p. 52, l. 1. In other words, there are portions of the proposed driveway that would be above the BFE.
- As stated above, the western portion of the driveway rises to an elevation of as much as 5787.25 above MSL, which in contrast to Mr. Powell’s statement, is higher than both the surrounding elevations and is higher than the BFE of 5786.5.
- Stated otherwise, some portions of the elevated driveway are higher than the BFE and existing natural elevations. This highlights the stated concern of the Osbornes from the very beginning. The driveway will act as a berm and will create a significant risk to the

Osborne property, including their historic 1930's fishing cabin that sits adjacent to the common property line.

**6. The Planning and Building Department, and the floodwater analysis prepared by the Applicant, failed to address the fact that the existing floodplain map for the site is out of date, and changes in the draft FEMA floodplain map would expand the floodway adjacent to the site and neighboring properties.**

- KMC Section 17.88.050(G)(1)(a) allows the City to consider “whether there have been significant amendments to the City’s...draft or interim floodplain maps...which will apply to the subject approval”.

The City of Ketchum’s Planning & Building website states:

**Changes to Floodplain Mapping:**

The Federal Emergency Management Association (FEMA) is undergoing an update to the Wood River Valley’s Flood Insurance Rate Maps (FIRMs) as part of their RISK Map program. This process may change the type of floodplain your property is located in and may change the way you choose to insure your home or property. FEMA has issued draft maps that are available upon request.

<https://www.ketchumidaho.org/planning-building/page/flood-natural-disaster-information>

- Because the site is not only in the floodplain, but also partially in the Historic Channel Migration Zone for the Big Wood River, the issues are significant and real. The draft floodplain maps clearly identify significant changes in the conditions in and around the site.
- During the Planning & Zoning Commission hearing, City Staff made the following statement with respect to the proposed floodplain map.

**16 MS. LANDERS:** Mr. Chairman, may I just add a  
**17** point of --

**18 CHAIR MORROW:** Sure.

**19 MS. LANDERS:** -- clarification? So about  
**20** the draft FEMA maps, the only reason that there's a  
**21** change on this property is because in the new draft  
**22** maps, FEMA hasn't carried over the data of previously

23 approved LOMAs into the data set. So the change of the  
24 map is not a result of the change of flooding condition  
25 on the property. It's just simply that the data -- all  
1 of the data hasn't been incorporated; that's why they're  
2 still draft.

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Page 69, Lines 1-25, Page 70 Lines 1-2**

2 **COMMISSIONER PASSOVOY:** Morgan, you answered  
3 my question about whether or not you guys have looked at  
4 this draft and whether you think there's anything  
5 significant that would -- that would have affected your  
6 decision were it actually finalized. And what I'm  
7 hearing is, no, there isn't.

8 **MS. LANDERS:** Yeah, and I can let Adam speak  
9 to that. But Adam and Harmony both track the draft FEMA  
10 process very, very closely.

11 **COMMISSIONER PASSOVOY:** Uh-huh.

12 **MS. LANDERS:** We've looked at every single  
13 floodplain development permit and we've compared our  
14 existing BFEs with the draft BFEs. And usually in  
15 instances where there's any change in the BFE, then we  
16 usually go with the most conservative. You know, but we  
17 do track that process very quickly and we -- you know,  
18 we take it very seriously.

**Transcript of Administrative Appeal of 121 Badger Lane, August 13, 2024  
Page 71, Lines 2-18**

- While this may be true with respect to the LOMA, these statements ignore the changes for the rest of the property, including (a) where the wetlands and natural floodplain conditions will be filled (b) where the barrier driveway will be created; and, (c) the proposed culverts will be placed.
- As a result, it is believed that the analysis of the floodwater impacts on the site, and the Planning and Zoning approval, are based on an analysis which does not reflect known conditions. Mr. Osborne requested the data supporting the statements made by Ms. Landers during the hearing, however none has been provided as of this writing.

- 7. The Planning and Building Findings, Conclusion and Decision, and the Planning & Zoning Commission's approval of the same never addressed commentary from neighbors and evidence that the LOMA on the site had been improperly issued as a result of fill which had been placed on the site rather than the natural conditions of the site as the LOMA requires. Pit tests on the site included as part of the application revealed only one area of the site that had fill, i.e., the site of the LOMA.**
  
  - 8. Staff and the Commission's review, and statements by the Applicant's representatives, demonstrated a lack of a clear understanding of the specific conditions of the site and the impacts of the proposed driveway.**
- During the initial appeal hearing in December, staff informed everyone in attendance that it had conducted a site visit to view the site prior to rendering the staff's initial decision. During the Planning and Zoning Commission hearing on August 13, the Osbornes' attorney expressly requested an opportunity for the Commission members to also visit the site in order to view and gather the same evidence as staff did in order to render its formal decision. However, the City Attorney expressly advised the Commissioners not to visit the site which conflicts with the Osbornes' right to due process. Although new evidence was not to be considered, the Commission was certainly required to review, consider and evaluate the same evidence as staff did when it was considering an appeal of the staff's decision. Failure to do so violated the Appellants' right to due process. In *Comer v. County of Twin Falls*, 130, Idaho 433, 942 P2.d 557 (1997), the Idaho Supreme Court determined that an appellant's due process rights were implicated in a situation where a site visit was conducted without notice and without giving the parties or their representatives the opportunity to be present. The Board of Commissioners in that case viewed the property in question while the Commission members did not. The converse is true in this case where staff, acting in a quasi-judicial capacity, acknowledged that it had conducted a site visit, but the Commission was instructed not to do so despite the request of the Osbornes' attorney. The due process issue was expressly raised in that regard. See Tr., p. 58, l. 22-25 and p. 59, l. 1-6. The City's attorney cautioned against a site visit and stated, "But particularly in this case on an administrative appeal, that would be brand new information." Tr., p. 58, l. 19-21. That, however, was incorrect in light of staff's acknowledgment of having visited the site prior to making the formal Decision. The City Attorney also reminded the Commission that they were to look "at the record

that was before the staff below”. Tr., p. 28, l. 18-19. He even raised the issue about the accuracy of the site visit by the staff. Tr., p. 58, l. 4-5. In *Comer*, the Idaho Supreme Court stated:

C. The Twin Falls County Board Of Commissioners Violated The Appellants' Due Process Rights When They Viewed The Property In Question Without Notice And Without Giving The Parties Or Their Representatives The Opportunity To Be Present.

Between August 14 and August 21, the Board viewed the property in question. However, they provided no written notice of the viewing, and provided none of the parties with the opportunity to be present. The Appellants argue that this was a violation of their procedural due process rights, because the Board was taking new evidence without notice and without the opportunity for them to be present. The Respondents argue that viewing the property was not new evidence, because the Commission had viewed a videotape of the property, and the viewing was simply a "live" version of the videotape.

In reviewing a Commission decision, the Board must confine itself to the Commission's record. See *Chambers*, 125 Idaho at 118, 867 P.2d at 992. In this case, it is arguable that the Board did not confine itself to the Commission's record, since the Board viewed the property, while the Commission did not. However, even if the Commission had viewed the property, the procedural due process rights of the Appellants would still have been violated in this particular situation.

The property viewing in this case is analogous to a viewing in a trial. We have held that a judge or jury may not view premises without notice to the parties. *Highbarger v. Thornock*, 94 Idaho 829, 831, 498 P.2d 1302, 1304 (1972). In that case, we noted the reasons for requiring notice of the viewing:

First, notice to the parties provides them with an opportunity to contest the propriety of such a viewing under the particular circumstances .... More importantly, notice to the parties provides them with an opportunity to be present at the time of the inspection, which in turn will insure that the court does not mistakenly view the wrong object or premises.

*Id.* The Highbarger Court noted that the appellants in that case had no way of knowing if the judge viewed the proper area, or took note of the relevant features of the premises in question. *Id.* at 831-32, 498 P.2d at 1304-05.

Similarly, in this situation, the record indicates that one of the protestants to the application (not a party to this appeal) actually



suggested that the Board go look at the property. However, this does not constitute the proper notice, and the fact remains that the parties were not given the opportunity to be present. Because none of the parties was present during the viewing, and because no record was made of the viewing, the parties have no way of knowing if the correct parcels of property were examined by members of the Board. Therefore, we hold that before a local zoning body; whether it be the Commission or the Board, views a parcel of property in question, it must provide notice and the opportunity to be present to the parties.

In *Chambers v. Kootenai County Board of Commissioners*, 125 Idaho 115, 867 P.2d 989, (1994), the Court had an opportunity to define the difference between legislative action and quasi-judicial action which implicates due process.

In *Cooper v. Board of County Comm'rs of Ada County*, 101 Idaho 407, 411, 614 P.2d 947, 951 (1980), we held that a decision by a zoning board applying general rules or specific policies to specific individuals, interests or situations, are quasi-judicial in nature and subject to due process constraints. The commissioners entered an order granting Quad Park a conditional use permit for the use of high powered lighting. This action by the commissioners was the application of specific policies, the circumvention of a county ordinance through the granting of a conditional use permit, to a specific interest. This can be distinguished from the annexation of land by a county that was held to be a legislative action, rather than a quasi-judicial decision. *Burt v. City of Idaho Falls*, 105 Idaho 65, 665 P.2d 1075 (1983). Therefore, due process safeguards must be followed.

In this case, it was staff who made the actual Findings of Fact, Conclusions of Law, and rendered a formal Decision regarding the issuance of Permit. As such, staff was clearly acting in a quasi-judicial capacity bringing due process to the forefront. For a thorough analysis of the law on quasi-judicial decision-making and due process implications, the letter from Edward Lawson sent to the City attorney on May 29 provides an accurate legal analysis of those issues.

### **CONCLUSION**

In light of the foregoing facts and argument, the Osbornes request the Council reverse the decision of staff and the Commission granting the Permit. The Osbornes have expressly identified issues which they contend constitute error or an abuse of discretion when the Permit was granted. The applicant has the ability to modify the application now in order to (a) eliminate the driveway berm on the north boundary of its property; and (b) eliminate any interference

with the wetlands on the property consistent with the KMC priority statutory mandate of avoidance whenever possible. We are dealing with a situation where the improvements to the property are only in the planning stage rather than being engaged in a post-construction dispute. There is no need to create a problem by construction of the berm, portions of which are higher than the BFE and which would hamper the discharge of floodwater. Culverts, which are recognized to be a potential impediment to the passage of floodwater, can be moved from the property line. The wetlands can remain in their current condition given the priority status accorded to them in the KMC. The words of Commission Chairman Morrow at the hearing perhaps articulate this result more than anyone. He said:

**5 COMMISSIONER MORROW:** But my concern  
**6** really isn't -- it's that the design -- and I was -- you  
**7** know, because it's been three years, we were told we  
**8** can't be asked to redesign the site. That's, you know,  
**9** not true.  
**10** So my concern is less of that and more that  
**11** we're creating something that in the future is going to  
**12** be a really big problem that we could avoid. And so I'm  
**13** not sure how that happens. But it makes me really  
**14** uncomfortable that our models say this and our models  
**15** say that.  
**16** I've been down there during the floods in  
**17** 2017. I walk my dog down in that area all the time and  
**18** it's -- half of those houses shouldn't have been built  
**19** on Wood River or on Williams. You know, they're in the  
**20** frickin' floodplain or in where the river brings its  
**21** water back down.  
**22** So my concern is we don't make it worse.

Tr., p. 68, l. 5-22

It seems fairly obvious that the existing driveway is an alternative that can be considered which would avoid the creation of potential problems for the Osbornes, the City and the ultimate purchaser of the applicant's property. According to staff, that alternative wasn't anything that was requested by staff. The following colloquy demonstrates that fact.

**2 COMMISSIONER CARTER:** Was there an attempt  
**3** made by the design team to design a driveway that worked  
**4** on the existing configuration and a hammerhead that was  
**5** in a different portion of the lot that perhaps didn't  
**6** impact the wetland as much?

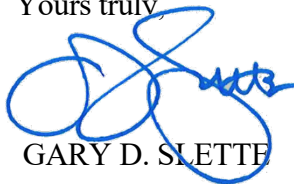
7 **MR. CRUTCHER:** I believe that would be a  
8 question for the Applicant.

9 **MS. LANDERS:** Tim, it wasn't something that  
10 was requested by staff. It was just during kind of  
11 discussions of different alternatives and what was being  
12 proposed.

Tr., p. 76, l. 2-12

Because the staff should have considered that rather obvious alternative, the Council should take this opportunity to rectify the errors and avoid the potential for future problems. Given the City's admitted role in inspecting culverts on private property in order to make certain they are functioning during flooding events, it only makes sense to reduce their number and minimize the potential for flooding. The Decision granting the Permit should be reversed with the applicant afforded an opportunity to prepare and submit a revised plan.

Yours truly,



GARY D. SLETTE

cc: Nick and Stephanie Osborne  
Morgan Landers: [mlanders@ketchumidaho.org](mailto:mlanders@ketchumidaho.org)  
Adam Crutcher: [acrutcher@ketchumidaho.org](mailto:acrutcher@ketchumidaho.org)  
Ed Lawson: [eal@lawsonlaski.com](mailto:eal@lawsonlaski.com)  
Matthew A. Johnson: [mjohnson@whitepeterson.com](mailto:mjohnson@whitepeterson.com)



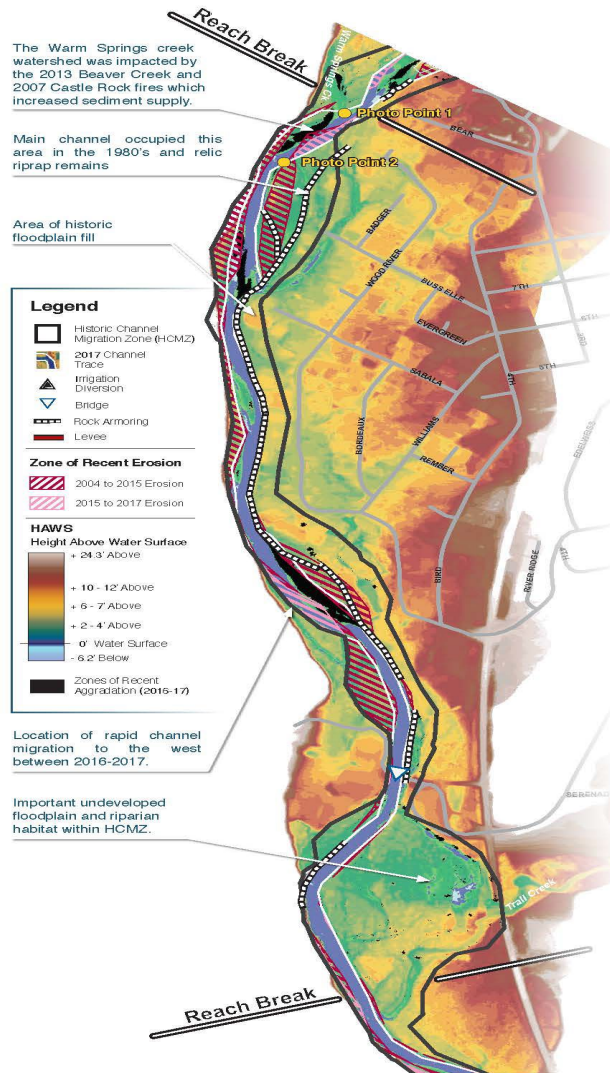
**Source: Plans for 121 Badger Lane provided by City Staff on 5/14/24**

## **Big Wood River Atlas 2020 – Blaine County Idaho Website**

The Stakeholder group consisted of representatives from the following organizations:

- Unites States Forest Service
- Bureau of Land Management
- Idaho Dept. of Fish & Game
- Idaho Dept. of Water Resources
- Cities of Bellevue, Hailey and Ketchum
- Trout Unlimited
- The Nature Conservancy
- Wood River Land Trust
- Idaho Conservation League
- Flood Control District #9
- Hiawatha Canal Company
- Galena Engineering
- Various members of the public Blaine County were represented by the following individuals:
- Former County Commissioners Larry Schoen, Len Harlig and Alan Reynolds
- Commissioner Jacob Greenberg
- Commissioner Angenie McCleary
- Commissioner Dick Fosbury
- County Engineer Jeff Loomis
- County Floodplain Manager Kristine Hilt
- Former County Engineer Jim Koonce

# REACH 6



## REACH MAP - HAWS

Height Above Water Surface (HAWS), Erosion Hazards, HCMZ

Height Above Water Surface mapping of the Big Wood River uses a technique to show elevation difference of the floodplain topography relative to the river water surface. The map shows relic features in the floodplain created by the river, such as abandoned channels, meander bends, and oxbows. This illustrates how the river has actively meandered across the width of the geomorphic floodplain.

## Reach Characteristics



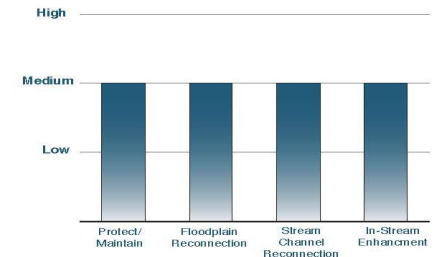
Reach 6 - Photo Point 1  
Warm Springs Creek confluence



Reach 6 - Photo Point 2 - Looking downstream

Reach Characteristics	Reach Average	Big Wood River Average
Sinuosity	1.04	1.15
Gradient (ft/ft)	0.0062	0.0064
HCMZ Width (ft)	403	513
Bankloss 2015-2017 (acre/river mile)	1.4	4.9
Bankloss 2004-2015 (acre/river mile)	8.5	6.8
Bank Stabilization (%)	38%	24%

The Warm Springs Creek reach is the first reach that transitions to a lower energy system (less steep river gradient). Lower energy rivers tend to have more channel migration and a higher sinuosity, but this reach had the third least sinuous channel with very little channel migration between 2015-2017 (3.5x less than average). This observation may be explained by the near continuous bank armoring on the east riverbank.



### Reach Project Potential

Opportunities in Reach 6 include efforts to promote removal or modification of rock armoring where feasible. In-stream sediment management through placement of flood fencing or engineered log jams could assist in sediment retention. The area around the Trail Creek confluence may offer opportunities for stream channel or floodplain process reconnection.

## East Channel 105 Wood River Drive North



## East Channel 121 Badger Lane





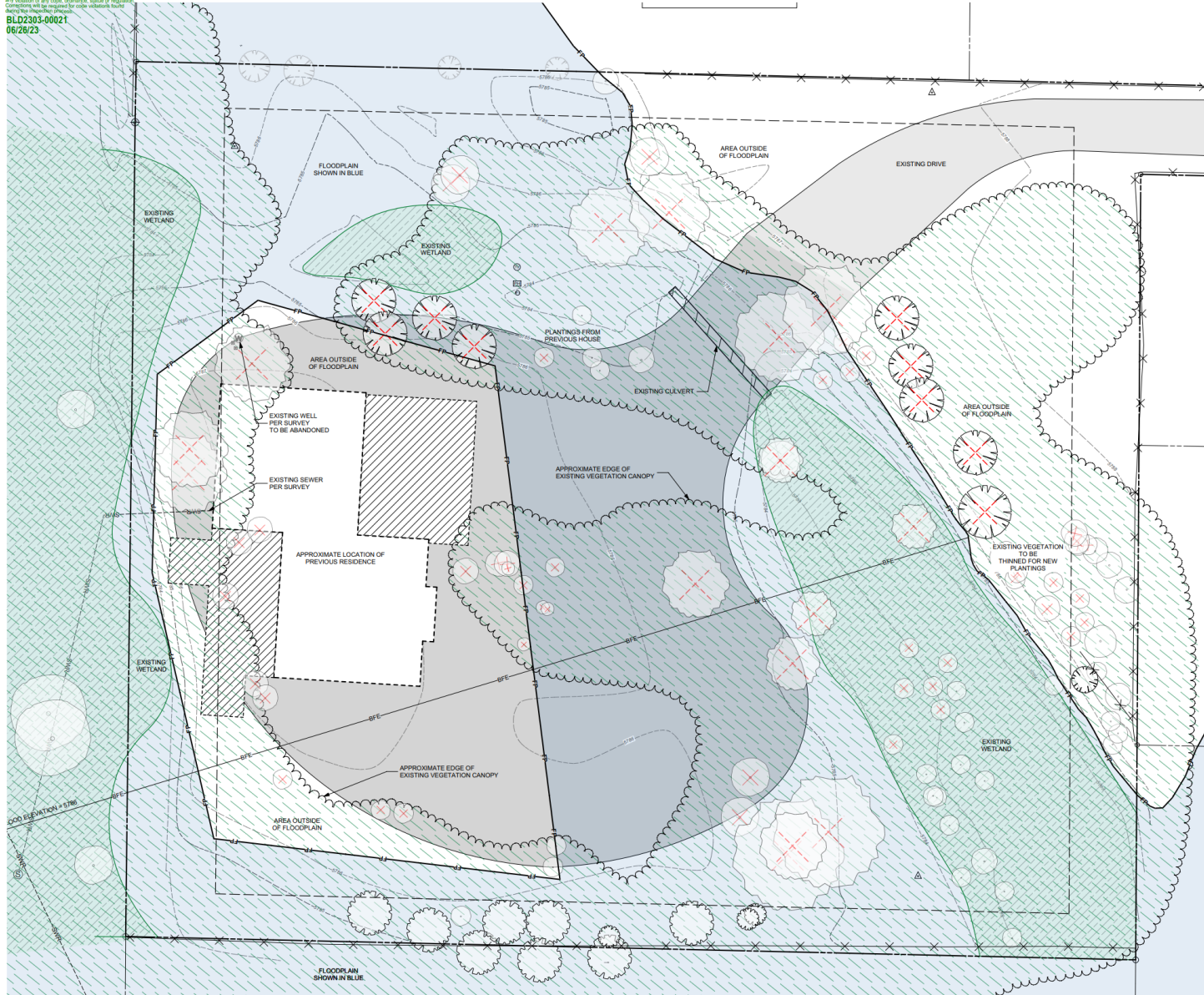
## West Channel 105 Wood River Drive North



## West Channel 121 Badger Lane



These plans have been found to be in substantial compliance of the adopted building codes. These documents are approved conditionally, in compliance with the rules, use and terms stipulated. There is no approval of any violation of any codes, ordinances, statute or regulation. Compliance will be required for code violation number BLD2303-00021 06/28/23



**SHEET LEGEND**

SYMBOL	DESCRIPTION
---	Property Line
----	Floodplain
.....	Existing Contours
-----	Disturbed
-----	Existing Tree Canopy
-----	Existing Wetlands
-----	Existing Fence
△	Survey Point
⊗	Existing Tree To Be Removed

**EXISTING TREES OVER 2" CALIPER**

SYMBOL	DESCRIPTION
○	Aspen
○	Cottonwood
○	Spruce
○	Fir

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www.byla.us

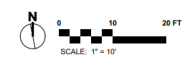
© copyright 2022  
BYLA Landscape Architects

**LANDSCAPE PLAN**  
**BADGER LANE**  
121 BADGER LANE KETCHUM, ID 83340

FILENAME: BADGER LANE\_2023\_SHEET.vwx  
PROJECT MANAGER: XX  
DRAWN BY: XX  
ISSUE DATE: 2/17/2023  
PLOT DATE: 2/23/23 12:06:15 PM

**EXISTING CONDITIONS & DEMO PLAN**

SHEET NO.  
**L1.1**



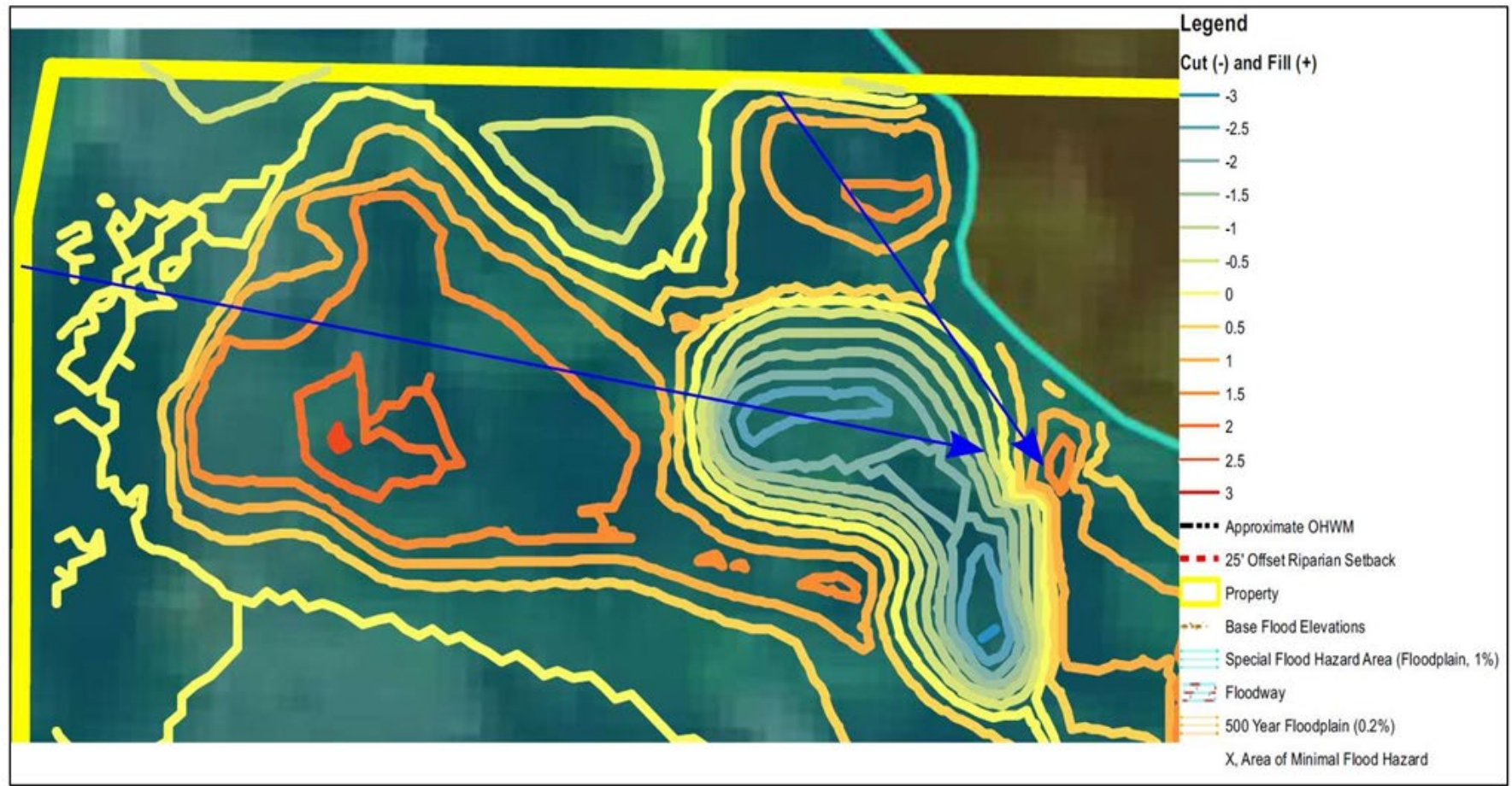


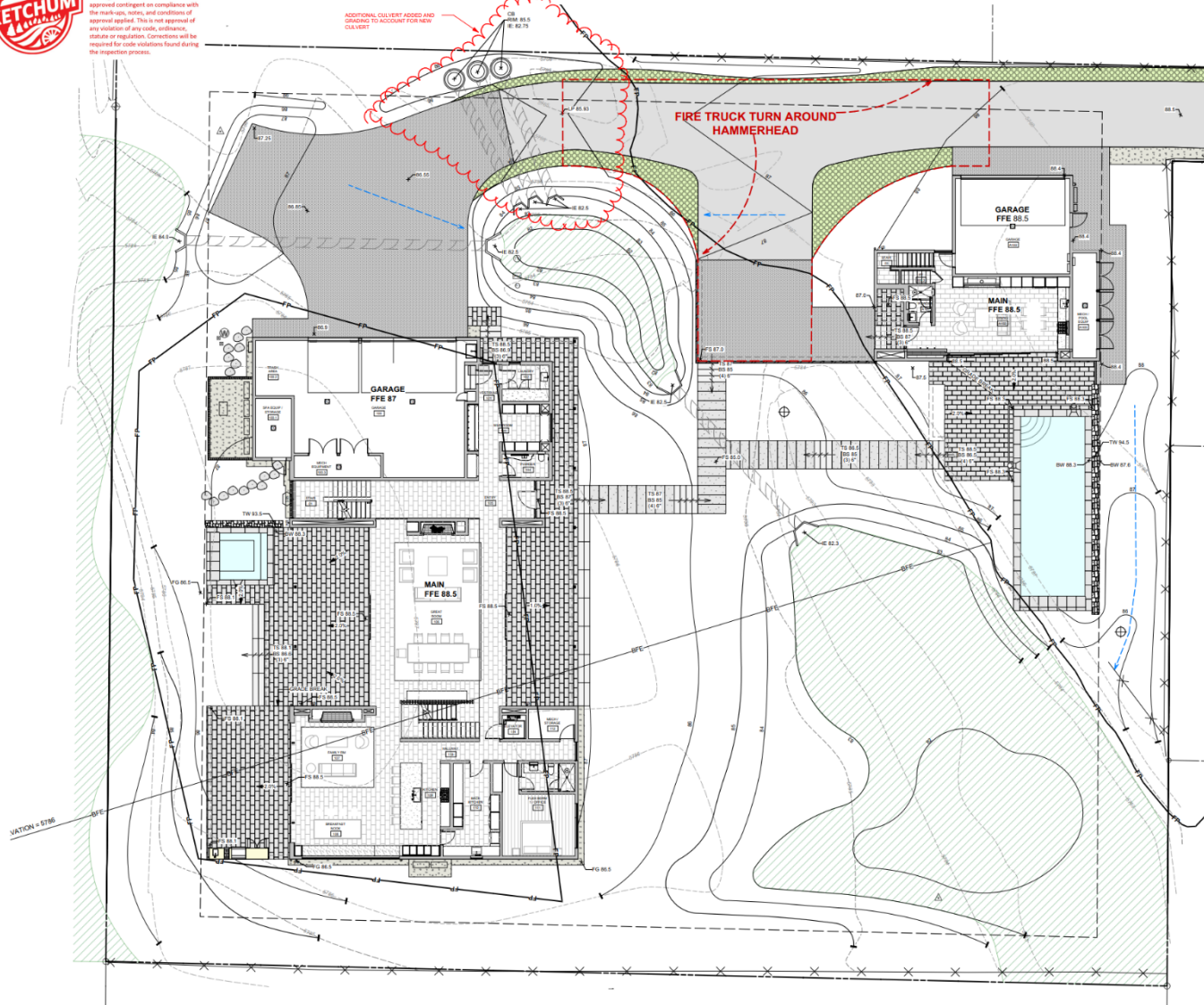
Figure 3. Proposed grading cut and fill quantities showing up to 3 feet of fill to be placed blocking natural drainage patterns (highlighted with blue arrows). Source: Brockway Engineering, PLLC.



**APPROVED**  
 These plans have been found to be in substantial compliance of the adopted building codes. These documents are approved contingent on compliance with the mark-ups, notes, and conditions of approval applied. This is not approval of any violation of any code, ordinance, statute or regulation. Corrections will be required for code violations found during the inspection process.

ADDITIONAL CULVERT ADDED AND GRADING TO ACCOUNT FOR NEW CULVERT

**FIRE TRUCK TURN AROUND HAMMERHEAD**



SYMBOL	DESCRIPTION
	Catch Basin
	Drywell
	% Pitch
	Drainage Direction
	Finished Floor Elevation
	Spot Elevation
	Finished Grade
	Finished Surface
	Top of Step
	Bottom of Step
	Top of Wall
	Bottom of Wall
	Top of Metal
	Low Point
	High Point
	Invert Elevation

**BYLA**  
 LANDSCAPE ARCHITECTS  
 333 Lewis - Ketchum, ID  
 (208) 733-8200  
 www.byla.com

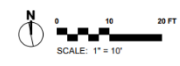
DATE: 10/4/2024  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]  
 © copyright 2024  
 BYLA Landscape Architects

**LANDSCAPE PLAN**  
**BADGER LANE**  
 121 BADGER LANE KETCHUM, ID 83340

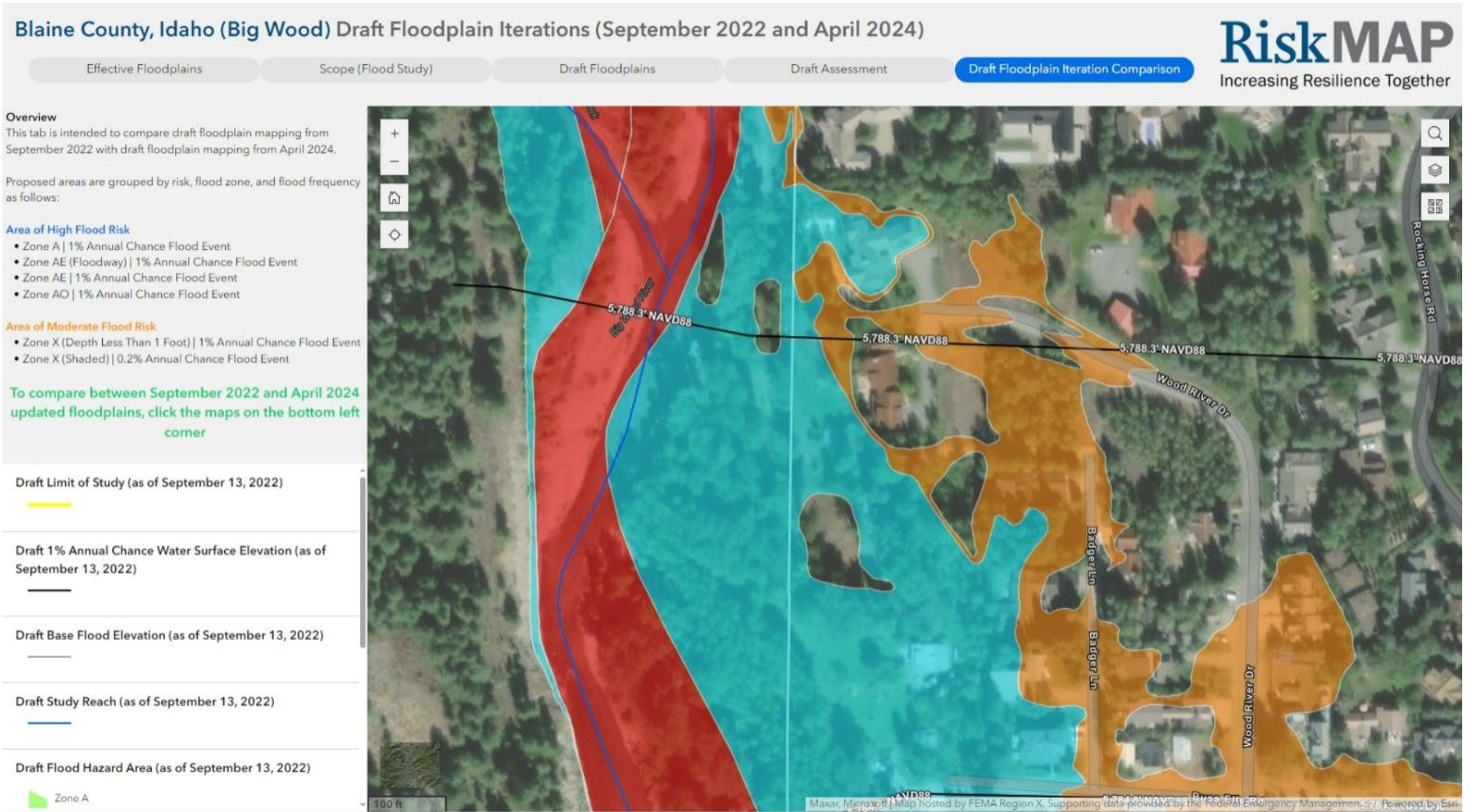
FILENAME: BADGER LANE\_vim  
 PROJECT MANAGER: CG  
 DRAWN BY: LH  
 ISSUE DATE: 4/29/2024  
 PLOT DATE: 4/29/24 10:16:41 AM

**GRADING PLAN**

SHEET NO.  
**L2.0**



: <https://experience.arcgis.com/experience/4ed5417c1e6b4874851b44e9be1426f0/page/Draft-Floodplains/>



: <https://experience.arcgis.com/experience/4ed5417c1e6b4874851b44e9be1426f0/page/Draft-Floodplains/>

## Blaine County, Idaho (Big Wood) Draft Floodplain Iterations (September 2022 and April 2024)

**RiskMAP**  
Increasing Resilience Together

Effective Floodplains

Scope (Flood Study)

Draft Floodplains

Draft Assessment

**Draft Floodplain Iteration Comparison**

### Overview

This tab is intended to compare draft floodplain mapping from September 2022 with draft floodplain mapping from April 2024.

Proposed areas are grouped by risk, flood zone, and flood frequency as follows:

#### Area of High Flood Risk

- Zone A | 1% Annual Chance Flood Event
- Zone AE (Floodway) | 1% Annual Chance Flood Event
- Zone AE | 1% Annual Chance Flood Event
- Zone AO | 1% Annual Chance Flood Event

#### Area of Moderate Flood Risk

- Zone X (Depth Less Than 1 Foot) | 1% Annual Chance Flood Event
- Zone X (Shaded) | 0.2% Annual Chance Flood Event

To compare between September 2022 and April 2024 updated floodplains, click the maps on the bottom left corner

Draft Limit of Study (as of April 17, 2024)



Draft 1% Annual Chance Water Surface Elevation (as of April 17, 2024)

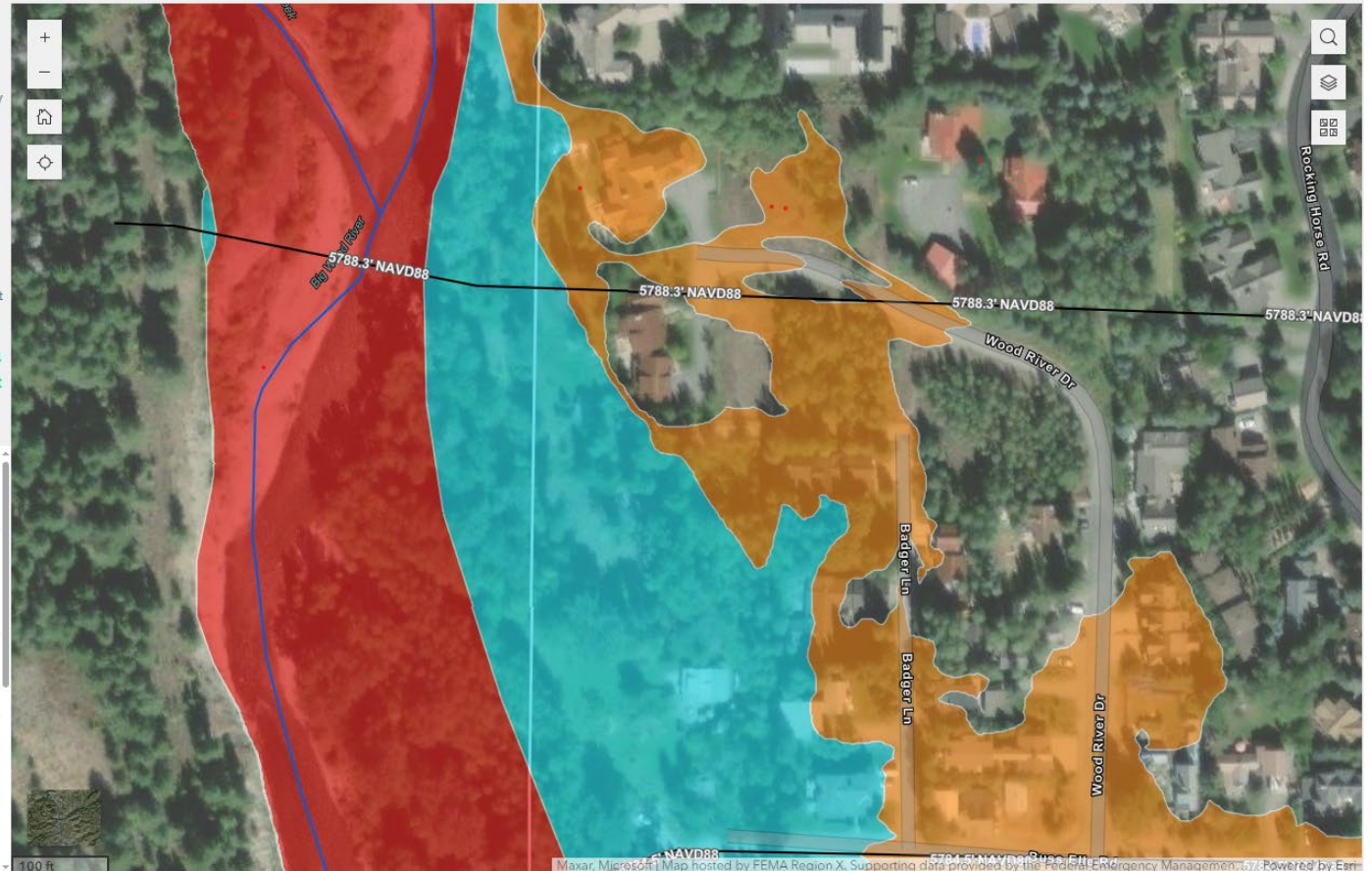


Draft Study Reach (as of April 17, 2024)



Draft Flood Hazard Area (as of April 17, 2024)

- Zone A
- Zone AE
- Zone AE (Floodway)



Source: Archaeological and Historic Survey Report, 2005 Ketchum Reconnaissance Survey, Blaine County Idaho, Prepared for Planning and Zoning Department, City of Ketchum, August 2005

Also located on Lot 3 is a 1930's vintage summer home cabin from the Fosterville era (Figure 14). The one story cabin has a stone foundation and exterior walls are clad with half-round horizontal logs chinked with mud and patterned with vertical split log siding. The front-gable roof has extending eaves and is covered with wood shingles. Several hand made wooden bird houses adorn the outside walls on all sides. An earth covered root cellar with a trap door is located adjacent to the two cabins on Lot 4 was noted as were several rock lined walkways, a stone wall, and an abandoned and overgrown irrigation ditch. The property is considered eligible to the NRHP under Criterion A for its association with the initial settlement period of Ketchum. Under Criterion C, the property is eligible because it retains its original rural historical setting, has integrity, and represents a unique example of Ketchum nineteenth and early twentieth century architecture.



Figure 14. A summer cabin from the Fosterville Era in West Ketchum, view northwest.  
Digital Image WK 16 # 16.





Exhibit C

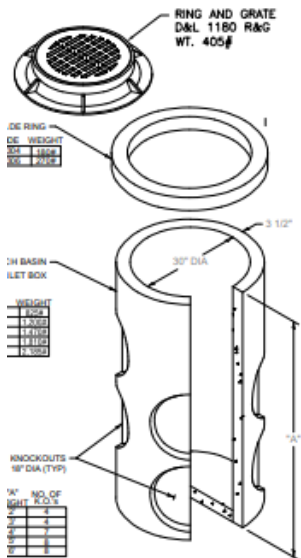
roved

These plans have been found to be in substantial compliance of the adopted building codes. These documents are approved contingent on compliance with the markups and notes applied. This is not approval of

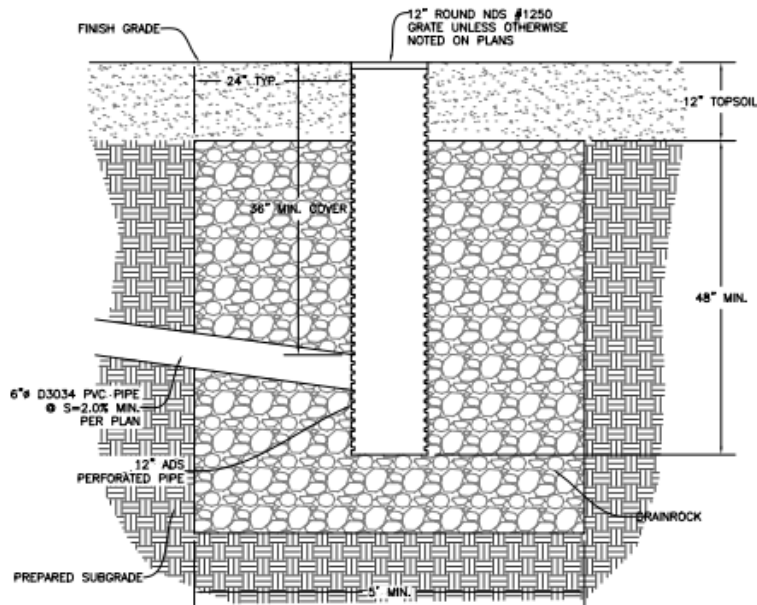


**TEST PIT SITE PLAN PHOTO 1**  
Proposed Badger Lane Residence  
Parcel 4, Rocking Ranch Subdivision No. 2  
121 Badger Lane  
Ketchum, Idaho  
Image captured on June 24, 2022

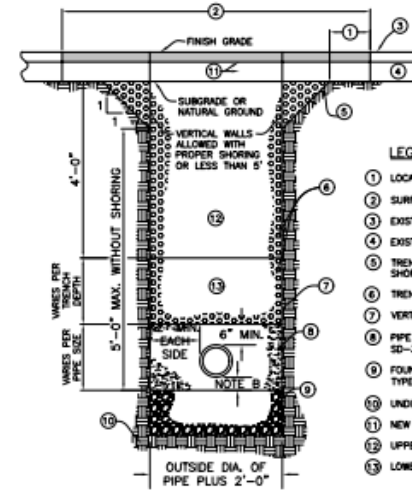
1 SD-403 THRUST BLOCK DETAIL  
C2 NOT TO SCALE



4 30" CATCH BASIN (TYP.)  
C1 NOT TO SCALE



5 LANDSCAPE DRYWELL  
C1 NOT TO SCALE



LEGEND

- 1 LOCAL CUT BACK, ONLY IF REQUIRED
- 2 SURFACE REPAIR WIDTH, 4' MINIMUM
- 3 EXISTING SURFACE
- 4 EXISTING BASE
- 5 TRENCH BACK SLOPE PER O.S.H.A. OR SUIT SHORING
- 6 TRENCH BACKFILL PER ISPMV SECTION-306
- 7 VERTICAL TRENCH WALLS SHORING PER O.S.I
- 8 PIPE BEDDING PER ISPMV SECTION-305 (SEE SD-302)
- 9 FOUNDATION STABILIZATION MAY VARY PER SD TYPE AND STABILITY (PER SECTION-304)
- 10 UNDISTURBED SOIL (TYP.)
- 11 NEW PAVEMENT AND BASE
- 12 UPPER COMPACTION ZONE
- 13 LOWER COMPACTION ZONE

NOTES

- A TRENCH EXCAVATION PER ISPMV SECTION-301.
- B PIPE BEDDING PER ISPMV SECTION-305.
- C BACKFILL AND COMPACTION PER ISPMV SECTION-306.
- D SURFACE REPAIR AND BASE PER ISPMV SECTION-307. SEE SD-303.

6 TYPICAL TRENCH  
C1 SCALE: NONE



City of Ketchum

## **ATTACHMENT 4:**

# **Response Brief – 11/18/2024**

November 18, 2024

Honorable Mayor and Councilpersons  
Post Office Box 2315  
191 5<sup>th</sup> Street West  
Ketchum, Idaho 83340  
[participate@ketchumidaho.org](mailto:participate@ketchumidaho.org)

Re: Appeal of Floodplain Development Permit for 121 Badger Lane,  
Ketchum, Idaho

Dear Mayor and Councilpersons:

My firm and I represent 121 Badger, LLC (“Owner”) the owner of 121 Badger Lane, Ketchum, Idaho (“Property”) and the holder of the Floodplain Development Permit (“Permit”) issued June 16, 2023 for the residential development of the Property (“Project”) on whose behalf we hereby respond to the arguments raised by Gary Slette, counsel for Nicholas and Stephanie Osborne (“Appellants”), in support of their appeal of the decision by the Planning and Zoning Commission (“Commission”) affirming the decision by the Planning and Zoning Administrator (“Administrator”) to grant the Permit.

For the reasons explained below the appeal lacks merit and should be denied for procedural and substantive reasons. Initially it must be observed the appeal is untimely and should be dismissed for that reason alone. Further, the appeal is not supported by competent scientific evidence but is instead premised on self-serving conclusory statements of opinion cherry picked out of context from the record. All of the science based facts prove there is no risk flood water flows will be impeded by the proposed driveway.

## **I. NATURE OF THE CASE.**

This is an appeal from the Commission’s approval of the Administrator’s decision to issue the Permit for the Project. Appellants attempt to keep their appeal alive by arguing that the approved driveway which is lower than the base flood elevation will nevertheless act as a berm impeding the flow of floodwaters and all three of the required culverts will fail because the condition of approval that they not become clogged is unenforceable.

However, as set forth below, none of Appellant’s arguments have merit. Rather, they are simply an attempt to continue to hinder and delay the Project, which has the

potential of causing Owner to lose a substantial sum of money and deprive the public of jobs and property taxes. Petitioner's arguments are not based on any genuine impairment of a substantial right from the Project but rather a "not-in-my-backyard" approach to land use entitlements. Therefore, for the reasons set forth herein, the Council must affirm the Commission's and Administrator's decisions.

## II. COURSE OF THE PROCEEDINGS AND FACTUAL BACKGROUND.

As set forth above, this matter has been before the Administrator and Commission on numerous occasions, each has made findings of fact, conclusions of law and order on at least two separate occasions, has accumulated a Record of over 222 pages, has listened to oral testimony and reviewed written testimony from both Owner's representatives as well as Appellants. There is no doubt that the decisions have each been rendered after exhaustively reviewing the application and should now be affirmed.

The Administrator first approved and issued the Permit nearly a year and a half ago on June 16, 2023. Upon approval, Appellants lodged their first appeal of the Administrator's approval to the Commission in July 2023. After significant delay, the Commission held the first appeal hearing in December 2023. **At that time, the Commission found that the Owner properly submitted the required information, and the Administrator committed no error in approving the Permit.**<sup>1</sup> However, the Commission decided to remand the Permit for the Administrator to perform supplemental analysis due to the "level of technical detail involved in floodplain development."<sup>2</sup> Specifically, the Commission asked the Administrator and Owner to provide further work and analysis "in relation to Ketchum Municipal Code § 17.88.050 (5) and (6)."<sup>3</sup> As a result, the Administrator asked Owner to submit another application with additional engineering relating to criteria 5 and 6, which Owner submitted in early February 2024.

Upon reception of the additional material from Owner, the Administrator followed the same procedures established by the Ketchum Municipal Code ("KMC"), including providing notice and soliciting public comment. After gathering public comment, the Administrator and its staff requested additional information from Owner in order to specifically address issues raised by the public. Following a thorough review, including additional analysis provided by a third-party engineer hired by the City, the Administrator once again approved the Permit on May 14, 2024.<sup>4</sup>

---

<sup>1</sup> See Findings of Fact, Conclusions of Law, and Decision adopted by the Commission on January 9, 2024 (*emphasis added*).

<sup>2</sup> See *Id.*

<sup>3</sup> Criteria 5 and 6 relate to whether the plans accommodate the function of the floodplain by allowing sheet flooding, whether the application will adversely impact adjacent property, and whether floodwater carrying capacity is reduced by the application.

<sup>4</sup> See May 14, 2024 Administrative Floodplain Development Permit Findings and Decision

Subsequent to this second approval by the Administrator, Appellants again appealed the decision of the Administrator to the Commission. Because of their new appeal, the Commission held another appeal hearing on August 13, 2024. After the hearing, the Commission once again found that the Administrator committed no error and did not abuse its discretion when it approved Owner's Permit, this time Commission affirmed the Decision of the Administrator.<sup>5</sup> Notably, the Commission highlighted that the Permit was before the Commission "on substantially the same issues on December 12, 2023."<sup>6</sup> In fact, the Commission acknowledged that Owner and the Administrator had provided significant supplemental material containing technical information and analysis pursuant to the Commission's request.<sup>7</sup> Thus, the Commission concluded that the Permit was thoroughly reviewed and in compliance with KMC.<sup>8</sup>

Despite this, Appellants have now appealed the Commission's decision to the Council. Appellants filed an appeal brief ("Appellants' Brief") on November 8, 2024. Now, Owner responds as set forth herein.

### III. STANDARD OF REVIEW

Pursuant to Title 17 of City of Ketchum Zoning Code, the authority of the Council in this hearing on appeal is to consider the record, the order, requirement, decision or determination of the Planning Commission and the notice of appeal, as well as the oral and written legal arguments of the Appellant and the Planning Commission and/or staff representing the Planning Commission. The Council may then affirm, reverse or modify, in whole or in part, the decision or determination of the Planning Commission.<sup>9</sup> Furthermore, the Council may remand the application to the Planning Commission for further consideration with regard to specific criteria stated by the Council.<sup>10</sup>

In considering this appeal, it should be noted that the enabling legislation for the Commission, and Ketchum's Zoning Ordinance itself, is the Local Land Use Planning Act, I.C. § 67-6501 et seq. ("LLUPA"). The first listed purpose of the LLUPA is to "protect property rights while making accommodation for other necessary types of development. . . ."<sup>11</sup> Among the statutory duties of the Planning Commission is to insure that "land use policies, restrictions, conditions and fees do not violate private property rights, adversely impact property values, or create unnecessary technical limitations on the use of property . . . ."<sup>12</sup>

---

<sup>5</sup> See Findings of Fact, Conclusions of Law, and Decision adopted by the Commission on August 13, 2024 (the "August 2024 Decision").

<sup>6</sup> See *Id.*

<sup>7</sup> See *Id.*

<sup>8</sup> See *Id.*

<sup>9</sup> See KMC § 17.144.020.

<sup>10</sup> See *Id.*

<sup>11</sup> I.C. § 67-6502(a).

<sup>12</sup> I.C. § 67-6508(a).

## IV. ARGUMENT

### A. The Appeal Was Untimely and Must Be Dismissed.

As previously addressed in Owner's November 28, 2023 Response Brief, Appellants' notice of appeal was not timely, and this appeal must be dismissed on that basis alone. KMC outlines the process and deadlines for all appeals, including requirements for when written notice of an appeal must be filed in order to be timely. Indeed, KMC clearly states:

Time for filing appeals. All appeals permitted or authorized by this title shall be taken and made in the manner and within the time limits as follows: The written notice of appeal shall be filed **before 5:00 p.m. of the fifteenth calendar day after the order, requirement, decision or determination of the administrator has been made** or after findings of fact have been approved by the Commission, whichever is applicable. **The failure to physically file a notice of appeal with the administrator of the City within the time limits prescribed by this section shall be jurisdictional and shall cause automatic dismissal of such appeal.**<sup>13</sup>

Therefore, any notice of appeal that is not filed within 15 days of a decision or determination by the Administrator must be automatically dismissed. As shown in the record of appeal, as well as Appellants' own brief, the Administrator first approved the Permit on June 16, 2023.<sup>14</sup> Pursuant to KMC, the deadline to file an appeal of the Administrator's decision was undoubtedly July 3, 2023.<sup>15</sup> However, Appellants filed their notice of appeal with the City on July 11, 2023<sup>16</sup>, clearly outside the deadline established by KMC.<sup>17</sup> Because Appellants' notice of appeal was filed after the 15-day deadline City Code mandates that the appeal be dismissed automatically.

Despite this, City Attorney Matthew Johnson previously responded in an email dated August 23, 2023: "The City evaluates floodplain development permits concurrently with building permits. While comments and review may be happening separately for each, such that one may seem resolved prior to another, the practice is that they are finally/formally approved at the same time."<sup>18</sup> However, this explanation contradicts the plain language of the KMC and ignores the facts at hand. Specifically, the decision to grant the floodplain permit was made on June 16, 2023 and accepted by

---

<sup>13</sup> KMC § 17.144.030 (**emphasis added**).

<sup>14</sup> Appellants' Brief, pg. 1.

<sup>15</sup> Note that 15 days after June 16 is July 1. July 1 was a Saturday, and Ketchum City Code requires that the deadline for appeal be extended to the following business day, bringing the deadline to July 3.

<sup>16</sup> See Appellants' Notice of Appeal dated July 11, 2023.

<sup>17</sup> A fact Appellants conveniently failed to acknowledge in their briefing.

<sup>18</sup> See Email from Matthew A. Johnson to Franklin G. Lee and Gary Slette, dated Wednesday, August 23, 2023 at 4:46pm.



Owner on June 20, 2023 only then was the date changed to June 26, 2023 by interlineation. Importantly the new date was never accepted by Owner. Indeed, Mr. Johnson acknowledged that floodplain development permits and building permits are **separate** applications. Even more, Appellants are solely challenging the approval of the Floodplain Development Permit. As a result, the Council must follow the plain language of KMC and dismiss this appeal as it was not timely filed and there is no jurisdiction for its consideration.

**B. The Decisions of the Commission and Administrator to Grant the Permit are Based on Substantial Scientific Evidence.**

Appellants continuously assert that the proposed driveway will act as a berm and impede the flow of flood water. Appellant's Brief, pgs. 2, 3, 15. They claim this is due to parts of the driveway being higher than the base flood elevation. In support of their contention Appellants cherry pick parts of the record taken out of context but offer no scientific evidence to support their claims. What is not true is that the driveway is a berm or levy as characterized by Appellants. Portions of the driveway near the residence will be above the base flood elevation to satisfy code requirements, however, near the property line only a small portion of the driveway is slightly above the base flood elevation. This small area has no material adverse effect on Appellants. Of utmost importance, the modeling used by Owner's expert reveals there is no rise in water level at the property line or on the Appellants' property due to the driveway. Moreover, the driveway design has a safety factor of 50% as the modeling assumes half the carrying capacity of the four culverts designed into the Project would be blocked during the 100 year flood event. Consequently, the driveway near the property line will not impede flood water flows. This conclusion is based on accepted scientific evidence evaluated and reported on by Owner's hydrologist using the same hydrologic modeling employed by FEMA with which the City's own expert agreed. Notably, Appellants' expert has not disputed the method or conclusion or suggested any flaws in the process.

For a comprehensive response to the specific erroneous claims of Appellants see the memorandum from Eric Powell of Brockway Engineering attached hereto as Exhibit A and incorporated herein by reference. These include the following:

1. The rise in water level is 0.00 feet at the property line.
2. KMC requires that no-more than 1-ft of flood depth can be had over access roads. The driveway was raised slightly to ensure that lowest elevation of the driveway was greater than 5785.5-ft.
3. KMC recognizes that culverts may be required under driveways.
4. Culverts are standard engineering devices recommended to move water, including floodwater, by the City of Ketchum.

### **C. Alternatives to Location of the Driveway Were Considered.**

Appellants claim that the driveway location was selected without consideration of alternatives resulting in loss of wetlands on the Property. Appellants base their assertion on the lack of written evidence of any such consideration. However, at page 6 of their brief, Appellants admit that Morgan Landers testified that alternative locations were in fact considered. Ms. Landers testified truthfully as Owner's representatives participated in the process. Moreover, written evidence of such considerations is not required and it is not therefore fair or reasonable to infer that such consideration didn't take place. Finally, the lack of written evidence can be explained by the language used in KMC 17.88.050(E)(21). That section doesn't prohibit development impacting wetlands. Rather, it describes not disturbing wetlands as a planning priority. Notably, the section contemplates situations where disturbance of wetlands will be warranted and the planning priority not implemented. The section requires mitigation of wetland impacts with an equal amount and quality of new wetlands. The strategies addressing impacted wetlands must be included in the original application. Mitigation is only required if there are impacted wetlands. The consideration of alternative driveway locations must therefore occur informally before an application is made. In any case, the Permit was granted on the condition that the mitigation of impacted wetlands be completed eliminating any possible adverse consequence on the wetlands due to the Project. As a practical matter, the Council should not ignore Morgan Landers' uncontradicted testimony or the fact the impact on wetlands will be fully mitigated and affirm the decision to grant the Permit.

### **D. Condition 15 Requiring the Culverts be Kept Clear is Enforceable.**

The Permit was approved subject to the condition that three culverts beneath the driveway be kept clear to insure the flow of flood water. Contrary to Appellants' assertions otherwise, condition 15 requiring that the culverts at issue are to be maintained and kept clear is enforceable. Indeed, Appellants' claim "there is absolutely no enforcement provision that would compel the applicant, its successor, or the City to fulfill that condition."<sup>19</sup> Appellants previously presented this same argument to the Commission as well. However, Appellants' claim is baseless and without merit.<sup>20</sup> In fact, the Commission explicitly found that "the Planning Department provided appropriate clarifying information on enforcement mechanisms to address Appellants' argument about blockages and enforcement."<sup>21</sup>

The Commission, Planning and Building staff, and City Attorney discussed the enforcement of condition 15 at length at the August 13, 2024 appeal hearing.

---

<sup>19</sup> See Appellants' Brief, pg. 2.

<sup>20</sup> If taken as true, this would mean that the City has no means to enforce any condition imposed on a project, whether it be for a building permit, sub plat, or otherwise.

<sup>21</sup> August 2024 Decision, pg. 4.

Specifically, the City Attorney informed the Commissioners that:

There is enforcement and, and sort of this question has been thrown out of, you know, what do we do if the neighboring property owner had a concern? They would have the ability to call the city, that triggers, the city has that authority to inspect, notice up the property owner, you're required to maintain this under your floodplain development permit, and that property owner has to comply with that. And there is further enforcement mechanisms under the code and flood regulations. . . . In an emergency situation the city has more leeway to go in and abate a nuisance or, or, or clear a floodway.<sup>22</sup>

Furthermore, Planning and Building Director Morgan Landers told the Commissioners that "the condition [condition 15] is written in a really strong way that gives us a lot of opportunity to enter the property when there's areas of concern. Its not just planning staff, its any member of our inspection team."<sup>23</sup> To that end, City Staff testified that they conduct periodic spot-checks of culverts to ensure compliance with conditions of approval.

The condition may be enforced pursuant to the provisions of KMC 17.88.120B which clearly provides a full panoply of administrative and judicial remedies for a violation. Among the remedies are damages and injunctive relief. The condition creates a duty, the breach of which gives rise to liability for damages and therefore serves a deterrent function. Additionally, a violation of a condition of approval is deemed a criminal misdemeanor for which a violator may be fined or imprisoned for 6 months. No more compelling deterrent to breaching the condition exists.

Contrary to Appellants' assertion, the City is not liable for tort damages resulting from its governance of the floodplain. The Idaho Tort Claim Act limits government immunity for civil wrongs by a municipality to discretionary acts. *Chandler Supply Co. v Boise*, 104 Idaho 480 (1983). The Supreme Court has said: "It is not a tort for the government to govern." *Dalehite v. U.S.*, 346 U.S. 15, 57, 73 S.Ct. 956, 979 (1953) (Jackson, J., Dissenting). Negligent spot checks for compliance with FAA regulations are not actionable because they involve a clearly discretionary function. *US v S.A. Empressa (Varig Airline)*, 467 US 797 (1984). By analogy, spot checks for compliance with conditions related to culverts would be a discretionary function within an exception to the Tort Claims Act.

Because condition 15 is enforceable, it imposes a duty that Owner must abide by. Specifically, Owner must maintain the culverts so that they function properly during flooding conditions. Importantly, condition 15 does not impose the same duty on the City. Thus, a failure by Owner to maintain the culverts would constitute a breach of this

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<sup>22</sup> See Transcript of August 13, 2024 hearing at 3:18:16-3:18:45.

<sup>23</sup> *Id.* at 3:30:37-3:30:50.

duty. Even more, the duty to maintain serves as an inherent deterrent because any breach gives rise to liability for damages. Although purely hypothetical, should a breach of the duty to maintain occur, the City or other affected party has remedies available to them as provided by the KMC or Idaho law. Idaho courts have long provided judicial remedies such as damages or equitable remedies for those that suffer a loss due to a breach of duty, such as Owner's duty to maintain the culverts. Clearly Appellants' claim is nothing more than a red herring argument that is not, and cannot, be supported by fact.

**E. Appellants Were Not Denied Due process as a Result of Staff's Site Visit.**

Throughout the duration of the appellate process, Appellants repeatedly requested that the Commission pause the process in order to take part in an on-site visit to the property. Indeed, the Commission was faced with the very same argument and plea from Appellants' attorney, Mr. Slette, at both previous appeal hearings. It is clear that Mr. Slette's argument has been proffered each time solely to delay. In fact, the argument cannot be supported by applicable law.

Generally, procedural due process requires a process that will not arbitrarily deprive an individual of his rights in violation of the state or federal constitutions. *Cowan v. Bd. of Comm'rs of Fremont County*, 143 Idaho 501, 510, 148 P.3d 1247, 1256 (2006). Specifically, the Idaho Supreme Court has held that, in planning and zoning decisions, due process requires: (a) notice of the proceedings; (b) a transcribable verbatim record of the proceedings; (c) specific, written findings of fact; and (d) an opportunity to present and rebut evidence. *Id.* This process is not to be applied rigidly. "Rather, it is a flexible concept calling for such procedural protections as are warranted by the particular situation." *Id.* (quoting *Aberdeen-Springfield Canal Co. v. Peiper*, 133 Idaho 82, 90, 982 P.2d 917, 926 (1999)).

LLUPA directs governing boards to adopt procedures for the conduct of public hearings. I.C. § 67-6534. At a minimum, such hearing procedures shall provide an opportunity for all affected persons to present and rebut evidence. *Id.* In addition, Idaho Code § 67-6504(c) requires maintenance of a record of all meetings, hearings, resolutions, findings, permits and actions. Courts reviewing zoning agency decisions are to consider the proceedings as a whole and to evaluate the adequacy of procedures and the resultant decision in light of practical considerations with an emphasis on fundamental fairness and the essentials of reasoned decision-making. I.C. § 67-6535(c). Only those whose challenge to a decision demonstrates actual harm or violation of fundamental rights, not the mere possibility thereof, shall be entitled to a remedy or reversal of a decision.

*Neighbors for a Healthy Gold Fork v. Valley County*, 145 Idaho 121, 127, 176 P.3d 126, 132 (2007).

In this case, Appellants claims that their due process rights were violated because they did not receive adequate notice of the Staff's site visit. Appellant's Brief, pgs. 18-20. While the Staff did not provide notice of its site visit to anyone, the omission is not meaningful in terms of the outcome of the process. Likely, the Administrator conducted the site visit for its own internal purpose to understand the application and determine the appropriate scope of notice required. It is further likely the Administrator would have granted the Permit even if Appellants had participated in the site visit. What is important is that Appellants did receive notice of and did participate extensively in proceedings before the Administrator and Commission. The Commission conducted separate public hearings on the applications on December 12, 2023 and August 13, 2024. Appellants participated in each public hearing. In addition, Appellants objected to the Administrator's Findings resulting in the Commission remanding the matter to the Administrator for further consideration. Accordingly, Appellants had an opportunity to be heard at a meaningful time and in a meaningful manner regarding Owner's applications.

Furthermore, and as the City Attorney previously advised the Commission, an appellate hearing such as this before the Council is not the proper time to introduce new facts or evidence. In fact, the Commission and Council are explicitly prohibited from considering new facts and evidence, it may only consider the existing record, Decisions, and legal arguments by the parties. Unsurprisingly, KMC supports this position:

Upon hearing the appeal, the Commission shall consider the record, the order, requirement, decision or determination of the administrator and the notice of appeal, together with oral presentation and written legal arguments by the appellant and the administrator. **The Commission shall not consider any new facts or evidence at this point.**<sup>24</sup>

Now that this appeal is before the Council, it faces the same limitations. The KMC establishes that:

Upon hearing the appeal, the council shall consider only matters which were previously considered by the Commission as evidenced by the record, the order, requirement, decision or determination of the Commission and the notice of appeal, together with oral presentation and written legal arguments by the appellant, the applicant, if different than the appellant, and the Commission and/or staff representing the Commission. The council shall not consider any new facts or evidence at this point.<sup>25</sup>

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<sup>24</sup> See KMC § 17.144.010(C) (*emphasis added*).

<sup>25</sup> See KMC § 17.144.020(C).

The language is nearly identical, and the message is the same, the Council is prohibited from considering new facts and evidence. The Council is simply tasked with determining whether the Commission made any error or abused its discretion, just as the Commission was in determining the same as to the Administrator.

Appellants' Brief attempts to compare this case to *Comer v. County of Twin Falls*. However, Appellants' argument is misleading. In fact, the case directly contradicts Appellants' argument. There, the Court first recognized that both the Planning and Zoning Commission and Board of Directors are prohibited from considering new facts and evidence as they are limited to the record before them. 130 Idaho 433, 439. As a result, the Court determined that due process rights were violated when a local zoning body, whether the Board of Commissioner or Planning and Zoning Commission, viewed the property in question (at the request of one of the parties) without notifying the parties. *Id.* The Court reasoned that a site visit is considered new facts and evidence. *Id.* Here, the *Comer* case reaffirms that the Commission, and now the Council, is limited to the facts in the record when determining if there was an error or abuse of discretion. Asking each to make a site visit constitutes the consideration of new facts and evidence, contrary to Idaho law. Instead, each was limited to the record before them based on the materials provided by the parties and the Administrator. Clearly, the *Comer* case cannot and does not support Appellants' position that their due process rights were violated.

Therefore, Idaho Code § 67-5279 requires affirmation of the Commission's decision unless the Appellants can demonstrate their substantial rights are affected. Such is not the case in this instance. Although Appellants complain about the lack of due process, as set forth above, the due process complaints lack merit and cannot be a basis for prejudice to a substantial right because Appellants received a "reasonably fair decision-making process" free from procedural defects that might reasonably have affected the final outcome. *Hawkins v. Bonneville County Bd. of Com'rs*, 151 Idaho 228, 254 P.3d 1224 (2011). This leaves Appellants with their concern relating to the driveway impeding the flow of flood water.

Notably, Appellants do not claim their property will not be subjected to sheet flooding in a high run off year. Appellants assert they will suffer damages from an indeterminate incremental quantity of flood water on their land resulting from the driveway elevation or blocked culverts. Appellants do not even attempt to quantify the added amount of flood water. Instead, Appellants rely solely on the conclusory statement of "further elevation of the driveway increased the height of the barrier created by the new driveway and exacerbated an already flawed plan," without explanation how they are affected. Appellant's Brief, pg. 4. But, to establish an impairment of a substantial right, more is required. *Krempasky v. Nez Perce County Planning & Zoning*, 150 Idaho 231, 245 P.3d 983 (2010) (conclusory statements of prejudice due to noise, traffic and large building were insufficient to establish a substantial right). For instance, in *Hawkins*, the Supreme Court noted that the Appellant

must show, not merely allege, real or potential prejudice to his or her substantial rights and observed that no universal rules have been articulated to govern when substantial rights are violated. 151 Idaho 28. Importantly, in that case, the Court looked to the law relating to property rights, nuisance and trespass for a determination of whether a substantial right was at stake. Neither applies to the facts of this case.

See also, *McVicars v. Christensen*, 156 Idaho 58, 320 P.3d 948 (2014), wherein the Court observed:

Generally, 'every man may regulate, improve, and control his own property, may make such erections as his own judgment, taste, or interest may suggest, and be master of his own without dictation or interference by his neighbors, so long as the use to which he devotes his property is not in violation of the rights of others, however much damage they may sustain therefrom.' *White v. Bernhart*, 41 Idaho 665, 669-70, 241 P. 367, 368 (1925). A landowner does not have the right under nuisance law to prohibit upon adjoining land the erection of structures that he or she considers not to be aesthetically pleasing. *Id.* (holding that the fact that a building 'is unsightly or out of harmony in construction with adjacent buildings, and therefore not pleasing to the eye, would not make it offensive to the senses.').

Appellants have no substantial right which they can claim will be prejudiced. Therefore, while there may be sympathy for Appellants' plight, Appellants are not entitled to challenge the City's actions and infringe on Owner's rights to develop its property for the purely subjective concern regarding the impediment to the flow of an indeterminate amount of flood water.

## V. CONCLUSION

Based upon the foregoing, Owner requests the Council affirm the decisions of the Administrator and Commission reasoning that they are consistent with the applicable standards, supported by substantial evidence and Appellants although afforded due process have failed to prove any violation of law or other error or show prejudice to a substantial right sufficient to warrant denial of the Permit.

LAWSON LASKI CLARK, PLLC



Edward A. Lawson

Cc: client  
M. Johnson  
M. Landers  
G. Slette

**Response to Osborne's Appeal**

121 Badger Lane, LLC

Brockway Engineering, PLLC

GEP, PE – November 14, 2024

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The purpose of this document is to discuss several items that were raised in the Osborne Appeal, dated November 8, 2024. In this appeal, there are many statements and discussion points regarding the location of the driveway and perceived idea that the driveway will act as a berm to prevent floodwaters from flowing. All of these statements are opinion statements, by either the attorney or the neighboring landowner, and have no technical support. Brockway Engineering represents the applicant and we have evaluated the proposed driveway using standard engineering approaches including developing and using models and independent calculations. The result of the proposed driveway is a 0.00-ft rise at the property line. Furthermore, the proposed project has been reviewed by the City's third party engineer, Harmony Design and Engineering, who agreed with the technical evaluation of impact of the proposed driveway.

*Page 2 (second paragraph): "Portions of the driveway are above the base flood elevation and will serve to function as a berm to potentially impound flood flows."*

Repeatedly, the Osborne's have stated that their concern was the elevated driveway next to the property line, which corresponds to what the Osborne's call the east channel. It is true that the driveway will increase above the BFE as it meets the proposed residence (which must be above the BFE by code). But this portion of the driveway will not act as a berm. We have shown hydraulically that the proposed culverts will convey water and the proposed driveway will not act like a berm, and it is impossible for flood flows to impound.

*Page 2 (second paragraph): "... the flood event of 2017 (which was not a 100-year flood event by any means)"*

This statement is an opinion statement by Mr. Slette. No official determination of the flood event in 2017 was ever determined within the Ketchum City limits. The USGS gage at Hailey has a RI flood event in 2017 that was slightly less than a 100 year event. The USGS gage near Ketchum indicated that the 2017 event was an extreme event, the largest on record with a flow of 3,360 cfs, and that equated to a greater than 200 year event, based on the data prior to 2017.

*Page 4 (first bullet point): "... significant erosion has already occurred."*

There are two things wrong with this sentence. First, in science, significant is a term that is associated with a statistical evaluation, which has not been done. Second, we are not proposing bank protection from erosion, nor fixing floodplain erosion. This is not relevant to the floodplain development permit.

*Page 4 (second bullet point): "(b) creating a barrier to floodwaters which naturally flow from the Osborne property onto 121 Badger Lane along the shared property line."*

Hydraulic models show that there is no barrier to floodwater from the proposed project. Culverts can convey flows from the Osborne property to 121 Badger Lane.



EXHIBIT A TO OWNER'S RESPONSE TO OSBORNE'S APPEAL

*Page 4 (third bullet point): "It was determined during the planning phase that the KMC required the proposed driveway location in the floodplain to be elevated even higher to provide the required clearance for emergency vehicles during flood conditions. As a consequence, that further elevation of the driveway increased the height of the barrier created by the new driveway and exacerbated an already flawed plan."*

Ketchum Municipal Code requires that no-more than 1-ft of flood depth can be had over access roads. The driveway was raised slightly to ensure that lowest elevation of the driveway was greater than 5785.5-ft. The natural grade at the east edge of the floodplain is 5786-ft. So the natural grade of the ground is already providing hydraulic control of floodwaters, not the proposed driveway.

*Page 10 (number 4): "Proposed culverts are inadequate to ensure proper drainage. The placement of culverts conflicts with the purpose of the City's Floodplain Zoning Regulations codified in Section 17.88.020."*

This statement that culverts conflict with the City's floodplain zoning regulations are completely misinterpreted. In fact, in Section 17.88.050(E)(5) of the same code, it says, "Landscaping and driveway plans to accommodate the function of the floodplain allow for sheet flooding. Surface drainage is controlled and shall not adversely impact adjacent properties including driveways drained away from paved roadways. Culvert(s) under driveways may be required. Landscaping berms shall be designed to not dam or otherwise obstruct floodwaters or divert same onto roads or other public pathways." Culverts are standard engineering devices that are used routinely through Ketchum to convey runoff and flood flows. If the appellant is suggesting that all culverts be removed in the City of Ketchum, than there will substantial impacts without having flood or runoff conveyance devices. That is not the precedence that the City Council wishes to make.

*Page 10 (number 4, third bullet): "Culverts are highly susceptible to blockage as a result of both wildlife and debris. Because the culvert inlets are almost directly on the shared property line, and adjacent to a historic 1930's fishing cabin owned by the Osbornes, any back-up of the three culverts would unnecessarily create hazards for the Osborne property which are not insurable."*

Historic aerial photos suggest that this old shed was placed at its current location in recent history. And that the shed was added on to between 2013 and 2016. The current location of the shed is above the BFE, and the proposed driveway has a 0.00-ft rise (with 50% clogging). Therefore, I conclude that the she will still be outside of the floodplain based on elevation with the project.

*Page 12 (statement 5): "The Commissioners were clearly unfamiliar with the actual specifics of the site, and relied on apparent erroneous information provided by the Applicants engineer."*

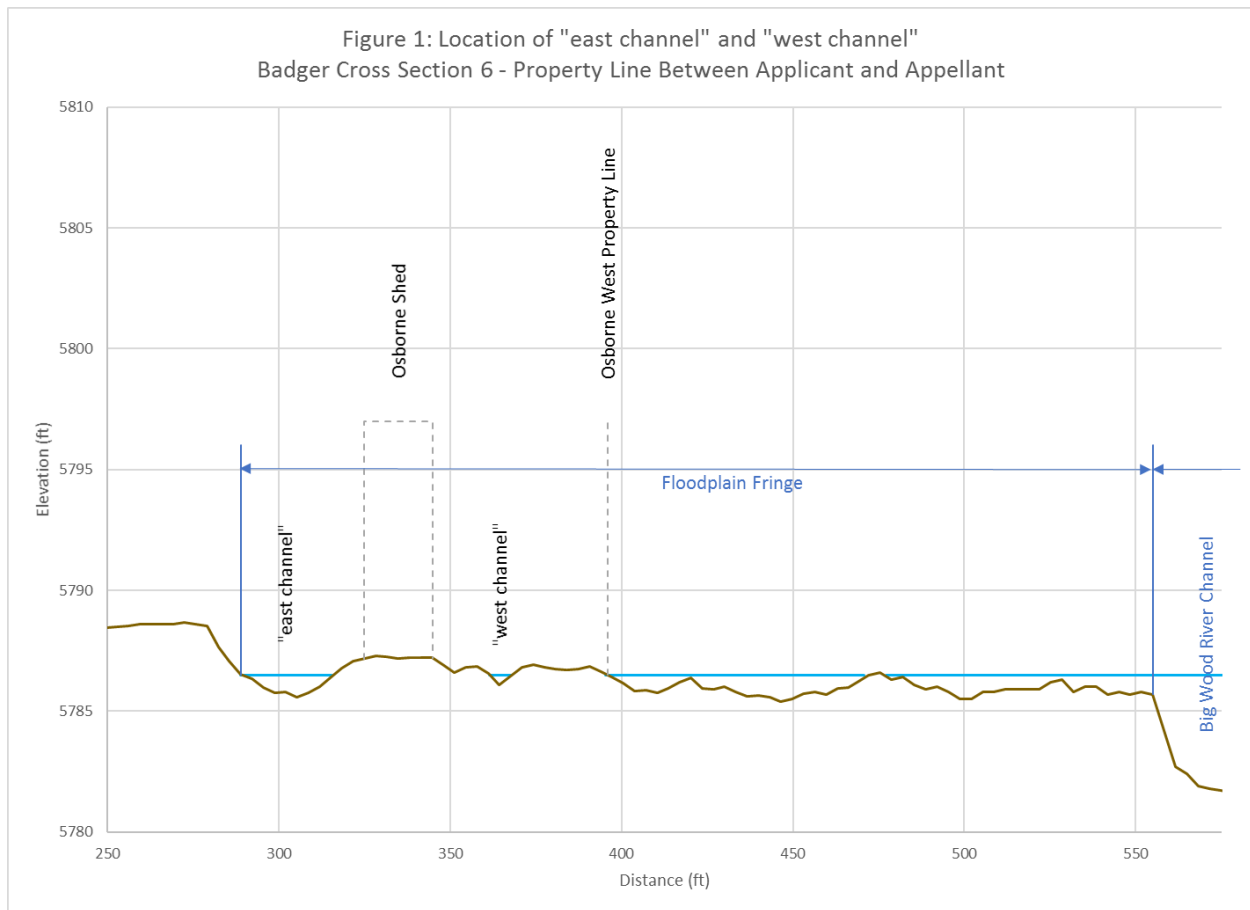
I'm trying really hard not to be offended by this statement. The first part of statement 5 on page 12 discusses items 1 and 5 in Section E of the city's municipal code for criteria for evaluation of applications (KMC 17.88.050). Item 1 includes criteria to "preserve the inherent natural characteristics of the river, floodplain, and riparian zone, including riparian vegetation and wildlife habitat." I appreciate the direction in this item of the code, as it refers to the essential characteristic of the floodplain, not that the floodplain cannot be altered, but that the floodplain can still act as a floodplain. And item 5 discusses the need to allow sheet flooding, which can still occur with the proposed driveway. The appeal conveniently does not include the statement at the end of item 5, "Culvert(s) under driveways may be required."

## EXHIBIT A TO OWNER'S RESPONSE TO OSBORNE'S APPEAL

*Page 13 (first bullet): "There are two existing channels in the floodplain that traverse the property line, one of which is located at the eastern side of the floodplain (the "east channel") and the second of which is located on the western side of the floodplain (the "west channel"). These two channels with elevations between 5785 and 5786 above mean sea level ("MSL") allow floodwater to flow from the Osborne property into the wetlands at an elevation of 5784 on the 121 property where some water collects and is absorbed."*

Floodplain topography undulates with high and low spots. Calling portions of the floodplain channels, is not appropriate, because a channel is the primarily flow path of the river. There may be low spots that can collect and convey floodwater. There are also natural high spots on the "east channel" on 121 Badger that already act as hydraulic grade control. Furthermore, there are three culverts proposed to provide the Osbornes assurance that floodwaters below the BFE elevation will be conveyed under the driveway.

The "west channel" area was only brought up as an area of concern during the last P&Z hearing. Figure 1 shows the presumed "west channel" elevations at the property line. It is possible that the Osborne are considering the area outside of their property the "west channel", but this area is outside of their ownership. The size of the "west channel" is substantially smaller and cannot hold much flood flows.



There is a proposed culvert connecting the west floodplain to the east floodplain on 121 Badger property that is located under the proposed driveway, near the house. This culvert is different than the

EXHIBIT A TO OWNER'S RESPONSE TO OSBORNE'S APPEAL

three culverts near the "east channel". This is similar to the way the floodplain has functioned in the past.

*Page 13 (second bullet): "These two channels are separated by a rise with an elevation of approximately 5787. As a result, floodwater cannot travel between the two channels at the BFE of 5786.5. Excavation that would allow water to flow between the two channels would fundamentally change the natural characteristics of the floodplain and create erosion issues."*

Movement of floodwater is primarily north to south, following the gradient of the Big Wood River. During flood events, floodwater can move laterally, and given the undulating topography of floodplains, it is typical to have high spots and low spots. Connecting floodplain areas would be more in-line with item 1 of the floodplain evaluation to allow the floodplain to function and would not be a "fundamental" change to the floodplain.

Erosion is a concern for high velocity flood flow on unvegetated ground. Flood flows will be low velocity flows on vegetated ground and is not a concern.

*Page 13 (third bullet): "The proposed elevations of the western portion of the finished driveway will be between 5786.55 and 5787.25, versus the existing elevation of between 5784 and 5786 and above the BFE of 5786.5 which will block the west channel and not allow sheet flooding to occur. However, when asked by Commissioner Carter if the driveway was **below** the base flood elevation ("BFE"), the applicant's engineer responded, "Yes."*

I agree with the statement above. I did say that the driveway would be below the BFE during the P&Z hearing. Given the elevation of the ground surface at the western portion of the Osborne property, the minimal flow on the western portion of the Osborne property, I presumed that the concern was what the appellant has referred to as the "east channel" area. I based my answer on that area of concern.

There is no question that the driveway elevation at the start of Badger Lane (outside of the floodplain) and the driveway as it approaches the house will be higher than the BFE. Based on the questions that were being asked by the P&Z commissioners, I concluded that they were referring to the "east channel" area.

*Page 14 (first bullet): "Three culverts have been proposed to address floodwaters in the east channel. The west channel is not served by the culverts, is closer to the river and experiences even greater flows during flooding as observed by the Osbornes in 2017. This channel will be blocked by the elevated driveway which exceeds the BFE. The proposed plan includes only a single dry well to drain the west channel."*

This statement is incorrect. There is a proposed culvert under the driveway near the house. Furthermore, the dominate flow path is along the gradient of the Big Wood River, flowing from north to south. The floodwater flow will continue to be dominated by a north to south flow direction. There is evidence that there is some flow that may occur from west to east, but may also flow from east to west.

*Page 14 (second bullet): "As a result, they relied on erroneous statements made by the applicant's engineer."*

EXHIBIT A TO OWNER'S RESPONSE TO OSBORNE'S APPEAL

To restate, the comments made in the P&Z hearing were made in response to focus on the "east channel" area. The City of Ketchum's third party review of the floodplain plan did not have concerns about the west channel connection with the proposed culvert.

*Page 16 (number 6): "The Planning and Building Department, and the floodwater analysis prepared by the Applicant, failed to address the fact that the existing floodplain map for the site is out of date, and changes in the draft FEMA floodplain map would expand the floodway adjacent to the site and the neighboring properties."*

From the beginning of this application, the applicant and the city have been aware of the draft floodplain maps. The city elected to use the effective maps, because the draft maps were not official.

*Page 21 (first paragraph): "Culverts, which are recognized to be a potential impediment to the passage of floodwater, can be moved from the property line."*

Culverts are standard engineering devices recommended to move water, including floodwater, by the City of Ketchum.



City of Ketchum

## **ATTACHMENT 5:**

**Appellant Response Brief –  
11/25/2024**

# Robertson & Slette, p.l.l.c.

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**Monday, November 25, 2024**

Mayor and City Council  
City of Ketchum  
P.O. Box 2315  
Ketchum, ID 83340

**RE: Nicholas and Stephanie Osborne (“Appellants”) appeal of Floodplain Development Permit for 121 Badger Lane, Ketchum, Idaho (“Permit”) issued to 121 Badger Lane, LLC (“Applicant”)**

Dear Mayor and Council Members,

Our law firm represents Nicholas and Stephanie Osborne, the Appellants in this case. The following constitutes their Reply Brief, and these points are intended to be responsive to individual sections of the Respondent’s Brief in Opposition to Appeal.

## **I. NATURE OF THE CASE**

The Osbornes contend that the Applicant’s response contains two important factual misstatements, i.e., (i) “the driveway which is lower than the base flood elevation” and (ii) “Petitioner’s arguments are not based on any genuine impairment of a substantial right from the Project but rather a “not-in-my-backyard” approach to land use entitlements”.

The first issue reflects what the Osbornes assert is a continued misstatement of a very important fact upon which the Planning & Zoning Commission was asked to make a decision. In Exhibit “A” attached to the Applicant’s response, the Applicant’s engineer appears to contradict the statement above by stating, “It is true that the driveway will increase above the BFE as it meets the proposed residence (which must be above the BFE by code).” During the Planning & Zoning Commission hearing on August 13, he responded affirmatively to Commissioner Carter’s inquiry about the driveway being lower than the BFE, but then later stated, “And so there are--but the majority of the driveway within the floodplain is lower than the BFE.” The Commission members were clearly concerned with the entire length of the driveway between the two properties. Any presumption that the Osbornes’ concern was only with the “east channel” would be incorrect. Using the Applicant’s own site plans which show the elevations of the driveway and the BFE, the Osbornes will show the City Council members the area near their property where the driveway is higher in elevation than the BFE.

The second statement is contradictory to statements made by the Appellants in the Planning & Zoning Commission on December 12, 2023, which was not attended by the Applicant's current legal representative. The Osbornes respect the right of the Applicant to develop its property in a way which avoids creating potential hazards for the Osbornes and which meets the requirements of the Ketchum Municipal Code ("KMC"). The Osbornes do object to the plan which: (a) unnecessarily places culverts directly adjacent to the property line; (b) unnecessarily fills important wetlands; and (c) adds an elevated driveway that blocks channels which flow from the Osbornes' property onto 121 Badger Lane. A thorough review of the transcript discloses that some of the Commission members appeared to believe that the design of the house, rather than consideration of the physical characteristics of the site, drove the location of the elevated driveway. The Osbornes agree, and have suggested that the location of the original driveway outside of the wetland area should have been considered as a viable alternative given the "first priority" verbiage of the KMC. That was certainly an inquiry aired by Commissioners Carter and Morrow, but Mr. Crutcher stated that it wasn't something requested by staff.

## II.

### COURSE OF THE PROCEEDINGS AND FACTUAL BACKGROUND

In light of the Applicant's argument below, there are three documents in the record worthy of the Council's review that are attached hereto as Exhibits "A", "B" and "C". Exhibit "A" is an email from Adam Crutcher expressly advising the Osbornes that the final decision date for purposes of filing an appeal was June 26, 2023. Exhibit "B" is an email from City Attorney Matthew Johnson advising legal counsel for both the Applicant and the Osbornes that, "So, from a process perspective, the Floodplain Development Permit in this matter would have been finally/formally approved on the same date as the Building Permit." Exhibit "C" is the approved permit referenced in Johnson's email which is date stamped "06/26/23". The Osbornes' appeal was thereafter filed in accordance with the time limits established in the KMC. With regard to the second appeal by the Osbornes, Johnson explained to the Commission at the August hearing that the applicant's submission was essentially a new application, and that staff had made a new determination based upon new information. The Applicant's counsel expressly acknowledged that this was a new application.

15. **MS STROLLO:** City staff then treated this as a new
16. application, as your counsel said, with additional
17. notice to neighbors and opportunity to submit comment.
18. **So the Applicant submitted the new application with**
19. **additional engineering models in February of 2024.**

Emphasis Added.

### Transcript of Administrative Appeal of 121 Badger Lane, August 13, 2024, Page 32, Lines 15-19

It is noteworthy that the Commission members struggled with the issues advanced in the second appeal, its decision came down to a 3-2 vote to uphold the administrative decision.

### III. STANDARD OF REVIEW

Counsel for the Applicant has fairly stated the content of the KMC and LLUPA regarding the appeal standards and the need to protect private property rights. The Osbornes firmly believe that their private property rights are on an equal footing with those of their neighbor. The Osbornes have identified issues which they contend constituted either errors or an abuse of discretion which would justify a reversal of the Decision.

### IV. ARGUMENT IN RESPONSE TO APPLICANT'S BULLET POINTS

#### A. The Appeal was Untimely and Must Be Dismissed.

The Applicant cannot now advance this argument regarding the first appeal after having waived the issue when it chose not to pursue its own appeal of that issue to the Commission. The Applicant's former legal counsel at Givens, Pursley received the information from City Attorney Matthew Johnson which is attached hereto as Exhibit "B". The Applicant was aware of the City's stated interpretation of its own ordinance regarding the date of final approval, however, the Applicant and its attorney chose to sit back and not pursue an appeal. Mr. Crutcher expressly advised the Osbornes of the final permit approval date and the City attorney confirmed the propriety of his interpretation to both parties. As noted above, counsel for the Applicant expressly stated, "So the Applicant submitted the **new application** with additional engineering models in February 2024." If the Applicant wanted to preserve its right in that regard, it necessarily had to pay the \$5000 filing fee and lodge an appeal of its own. However, this is not the Applicant's appeal, Rather, it is the Osbornes' appeal of what the City's attorney has indicated is a "new application" based on new information.

#### B. The Decisions of the Commission and Administrator

The Applicant's response states, "Portions of the driveway near the residence will be above base flood elevation to satisfy code requirements, however, near the property line only a small portion of the driveway is above base flood elevation." (Para 1, line 6). This significantly understates the amount of driveway that is above the base flood elevation." In fact, a notable portion of the driveway is located in the floodplain and is above the base flood elevation and above the natural elevations. As identified in the Applicant's Grading and Drainage Plan, a significant portion of the northern perimeter of the driveway ranges from 5786.75 to 5787.25 feet, which exceeds both the base flood elevation of 5786.5 and the natural elevations of 5784 to 5786 feet. Commissioner Morrow expressed his concern about the West channel and recited that the City's rules "can't affect neighboring properties". Tr., p. 67, l. 2-7. Is the question one of degree? How much is too much?

#### C. Alternatives to Location of the Driveway Were Considered

The Osbornes refer to Section 2 of the Appellant's Brief. They also note that Section 17.88.050 f. (1) requires the Administrator to "Permanently maintain all records that pertain to the administration of this Title and make these records available for public inspection." There is no evidence in the record that would support the consideration of alternatives other



than Ms. Landers statement that "...there was a discussion around alternatives". (Tr., p. 62, l. 8-9), but they weren't documented. Commissioner Carter expressed his concern about whether an alternative proposal that was more appropriate was even considered. (Tr., p. 78, l. 22-24.) Mr. Crutcher appeared to place the blame for the current driveway location on the fire department. (Tr., p. 62, l. 17-21.) Instead of staff enforcing the KMC requiring the avoidance of wetlands, and the placement of the driveway at its existing location, Mr. Crutcher deferred and said that was a question for the Applicant. (Tr., p. 76, l. 2-8). The Osbornes neither mean nor intend any disrespect or offense to the city staff or the Applicant's representatives, but they certainly want to substantiate their claims of error in order to justify a reversal of the Decision. Just as the Applicant's counsel wanted the Commission to follow the words in the ordinances (Tr., p. 33, l. 12-16), the Osbornes are of a similar mindset.

**D. Condition 15 Requiring the Culverts to be Kept Clear is Enforceable**

While the Applicants have suggested that a new owner of the Applicant's property must abide by Condition No. 15 (Applicant's Response at ¶ 5 on p. 7), it is apparent that there is nothing recorded in the property records of Blaine County that would put that new owner on notice of an obligation to perform culvert maintenance. According to the transcript, the City has undertaken the role of culvert inspection during flooding events. Chairman Morrow, himself an attorney, immediately recognized the potential liability for the City when it came to the proposed new culverts. (Tr., p. 66, l. 1-21). Commissioner Passovoy specifically acknowledged the risk of the west channel being backed up (Tr., p. 72, l. 5-6) and then asked, "But is there in real life an enforcement mechanism?" (Tr., p. 72 l. 7-8). The Osbornes believe the answer is, "No." The issue could be entirely eliminated by not placing the culverts directly on the property line. Given the proposed location of the culverts on the common property line, the Osbornes' property will likely have flooded by the time any issue is identified and corrected. Couple that with the fact that the Osbornes do not occupy their residence on a full-time basis, they will likely be unaware of a flooding event until it is too late.

**E. Appellants Were Not Denied Due Process**

On appeal, the Commission was required to consider all the evidence that the city staff considered in rendering its Findings of Fact, Conclusions of Law and Decision. Understandably, the staff found it necessary to view the Applicant's property before rendering the Decision. There was nothing wrong in doing that. All the Osbornes are suggesting is that a view of the site could have been undertaken in order to gain the same familiarity as the staff. Given the content of the transcript which is replete with a certain degree of confusion about the east channel, the west channel, the BFE elevations and the driveway elevations, a site visit could have provided more than useful evidence. Notwithstanding, the Council can still find error in the Decision based upon (a) the failure to enforce the priority language in the wetland ordinance; (b) the failure to consider the alternative of using the existing driveway; (c) the placement of three culverts directly on the property line; and (d) the height of the driveway exceeding the BFE at the location of the west channel.

**F. Exhibit “A” to Owner’s Response to Osborne’s Appeal**

*Page 1 (second paragraph)* – The Osborne’s concern with the east channel is the proposal to place culverts directly adjacent to the property line, the risk of failure of those culverts, and the flood risk that they create for the Osbornes’ property. The Osbornes also note that alternatives exist which would (a) allow a new driveway to follow the path of the existing driveway; and (b) place the culverts where existing culverts are located. That would allow the Applicant to “assume responsibility for their actions” as described in the KMC.

The description of the area of the driveway above the BFE and existing elevations fails to create a clear picture of the driveway and the barrier it creates. As indicated on the Applicant’s Grading and Drainage Plan, a significant portion of the northern perimeter of the driveway ranges from 5786.75 to 5787.25 feet, a height which exceeds both the BFE of 5786.5, and the natural elevations of 5784 to 5786 thereby creating a barrier to the west channel.

*Page 1 (third paragraph)* – Whether or not the flood even in 2017 was or was not a 100-year event, the issue is the same. Portions of the proposed driveway that are above the BFE will create a barrier to the unimpeded passage of floodwaters.

*Page 1 (fourth paragraph)* – The basis for the statements made by the Appellant is the information found in the Big Wood River Atlas 2020, of which the City of Ketchum and Galena Engineering were represented stakeholders. The Atlas documents Big Wood River Erosion, Rock Armoring and the Historic Channel Migration Zone, all of which speaks to the history and risks of flooding from the Big Wood River in this location.

*Page 2 (second paragraph)* – The Osbornes are not objecting to the use of culverts, but are objecting to (a) the proposal to place those culverts directly adjacent to the property line; (b) the risk of failure of those culverts; (c) the flood risk that it creates for the Osbornes’ property; and (d) the failure to consider alternative locations for the driveway and the culverts.

*Page 2 (third paragraph)* – Brockway Engineering has provided the Applicant and Appellant with three historical aerial images of the Appellant’s property which are intended to show that “the old shed [sic] was placed at its current location in recent history.” The Brockway images are inaccurate and use different property boundary lines in each image. As a result, the fishing cabin, Wood River Drive, Buss Elle Drive and all the other homes in the neighborhood are shown in changing various locations relative to their property lines. The cabin has not been moved by the Osbornes, nor was it ever moved by the previous owners who owned both the Osborne property and 121 Badger Lane for decades. Brockway Engineering has also inaccurately identified another cabin that was permitted and moved as the “old shed”. (For the record, the “old shed” is identified in Ketchum’s Archaeological and Historic Survey Report as “a 1930’s vintage summer home cabin from the Fosterville Era”).

*Page 2 (fourth paragraph)* – No offense is intended. The Osbornes and their attorney have every respect for Brockway Engineering and Mr. Powell. The quoted line refers to the Commissioners who posed specific questions to both the Appellant and the Applicant’s engineer which are included in the transcript. Those questions reflected the Commissioners’ lack of familiarity with the specific elevations and contours of the land. As a result, they were

reliant on the accuracy of the statement about the site made by Mr. Powell on behalf of the Applicant. As Mr. Powell stated in Paragraph 3 at page 4 of Exhibit “A”, “I did say the driveway would be below the BFE during the P&Z hearing .... I presumed that the concern was what the appellant has referred to as the “east channel” area”. As stated previously, the Osbornes are legitimately concerned about the entire length of the driveway in the floodplain, including the area of the west channel. The remarks from the Commission members made it equally apparent that they were interested in the elevations at both the east channel and the west channel. See, e.g., the inquiry of Commissioner Passovoy at Tr., p. 56, l. 18-19, and the response to her inquiry on the following page. See also, Commissioner Passovoy’s stated concern about the risk of the west channel being backed up. (Tr., p. 72, l. 3-8).

*Page 3 (second paragraph)* - Exhibit “A” inaccurately states that “the “west channel” was only brought up as an area of concern during the last P&Z hearing.” The Osbornes submitted a letter to the P&Z Commission on October 4, 2023, which stated “There are two clear channels in the southwest portion of 105 Wood River Drive North which drain directly onto 121 Badger Lane”. The letter went on to describe the role that both channels and the wetlands have in handling floodwater flows between the Osborne’s property and 121 Badger Lane.

*Page 3 (chart and third paragraph)* – Figure 1 shows the channels on the shared property line. Below the property line, the channel widens and deepens considerably to elevation 5684, and then feeds into wetlands which will be filled and covered by the elevated driveway, but which currently serve as an important outlet for floodwaters. Figure 1 also shows “the Osborne shed” as located on the elevated ridge which separates the two channels and is above BFE. This ridge prevents water from flowing from the west channel to the proposed culverts in the east channel. If either channel is blocked, both the Osbornes’ property, including the fishing cabin, will be at risk.

*Page 4 (third paragraph)* – Much attention has been devoted by the Applicant to the east channel simply because the issues at the location are so obvious. In doing so the Applicant has not addressed the west channel. While the P&Z Commissioners did not limit their questions solely to the east channel, it appears from Mr. Powell’s comments that he limited his response to the east channel, but has acknowledged that portions of the driveway will be higher than the BFE.

*Page 4 (fourth paragraph)* – Exhibit “A” refers to a proposed culvert near the house and then states, “Furthermore, the dominate (sic--dominant) flow path is along the gradient of the Big Wood River, flowing from north to south.” The proposed culvert that Exhibit “A” refers to is oriented from east to west, and consequently will do little to collect water flowing north to south. That proposed culvert is also south of the portion of the driveway that is elevated above BFE and blocks the west channel so that water in the west channel cannot reach it. Only a single dry well purports to address flood water flowing in the west channel.

*Page 5 (second paragraph)* – The Planning & Zoning Commission specifically asked about the changes in the draft floodplain map. As outlined in the Osbornes’ opening brief, the Commission was told by City staff that, “The change of the map is not a result of the change of flooding condition on the property. It’s just simply that the data – all of the data hasn’t been incorporated; that’s why they’re still draft.” In fact, the draft flood plain maps show expansive changes. The Osbornes’ requests to City staff for the data that supports their statement have received no response.

## CONCLUSION

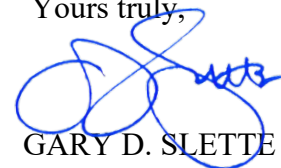
In conclusion, it is facially apparent that alternative locations for the driveway are available, and which do not require filling in the floodplain and wetlands along the property line, blocking existing drainage channels and placing culverts directly adjacent to the property line. That would also have the salutary effect of not creating the need for city staff to make culvert inspections during flood events, which would entirely eliminate the potential for municipal liability predicated on Condition No. 15 of the staff's decision. Such a redesign would place the flood risk associated with the development on the Applicant which would be consistent with the "Purpose" section of the City Code. Not unlike Mr. Lawson, the undersigned has appeared in front of the Ketchum P&Z Commission and the City Council on land use matters for more than forty years. There has never been a time when the City was reluctant to require an applicant to redesign a site. Even Commissioner Morrow acknowledged that a site redesign was permissible. (Tr., p. 68, l. 3-9). Both he and Commissioner Carter supported such a redesign. (Tr., p. 79, l. 1-11). Commissioner Passovoy echoed a similar sentiment (Tr., p. 79, l. 16-25), but lamented "the long and expensive process", and ultimately cast her tie-breaking vote to uphold the staff's decision because she didn't believe it was an error or abuse of discretion. The Osbornes respectfully disagree, and request that the Ketchum City Council reverse the Decision. It has been a long and expensive process for them, but one which they firmly believe was required to protect their property. The applicant's former counsel implored the Commission as follows:

12. **MS. STROLLO:** And now it's important to follow code
13. to ensure the Applicant's rights are protected along
14. with the neighbor's rights. This process protects both
15. and you can rest assured that with this application that
16. due diligence has been done.

**Tr., p. 33, l. 12-16.**

By applying the requirements of the code, the Osbornes contend that a reversal of the Decision is warranted.

Yours truly,

  
GARY D. SLETTE

cc: Nick and Stephanie Osborne

Morgan Landers: [mlanders@ketchumidaho.org](mailto:mlanders@ketchumidaho.org)

Adam Crutcher: [acrutcher@ketchumidaho.org](mailto:acrutcher@ketchumidaho.org)

Ed Lawson: [eal@lawsonlaski.com](mailto:eal@lawsonlaski.com)

Matthew A. Johnson: [mjohnson@whitepeterson.com](mailto:mjohnson@whitepeterson.com)

**From:** Adam Crutcher <ACrutcher@ketchumidaho.org>  
**Sent:** Tuesday, July 11, 2023 12:39 PM  
**To:** Osborne, Nicholas  
**Cc:** Stephanie Osborne; Nicholas Osborne  
**Subject:** RE: 121 Badger Lane - Appeal to the Ketchum Planning and Zoning Commission  
**Attachments:** appeal\_application.pdf

Hi Nick,

Thank you for sending that over. I've attached the appeal application so you can fill that out and send it over to [planningandzoning@ketchumidaho.org](mailto:planningandzoning@ketchumidaho.org) then we can start to process the appeal application. This application will need to be submitted today for the appeal request to be valid. Our planning technician will then invoice for the application fee and get the ball rolling.

The application that is being appealed is P23-014 and the date of decision or date findings of fact were adopted is June 26, 2023. What you can do for the sections titled "Explain How You Are and Affected Party & This Appeal is Based on The Following Factors" by referencing the narrative which you attached.

Thanks

**ADAM CRUTCHER | CITY OF KETCHUM**

PLANNING AND BUILDING | ASSOCIATE PLANNER  
P.O. Box 2315 | 191 W 5<sup>th</sup> St | Ketchum, ID 83340  
o: 208.806.7008 |

[acrutcher@ketchumidaho.org](mailto:acrutcher@ketchumidaho.org) | [www.ketchumidaho.org](http://www.ketchumidaho.org)

**\*\*Please sign up for the NEW Planning and Building quarterly newsletter. Click [HERE](#) and select "Planning and Development"**

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**From:** Osborne, Nicholas <Nicholas.Osborne@psc.com>  
**Sent:** Tuesday, July 11, 2023 11:44 AM  
**To:** Adam Crutcher <ACrutcher@ketchumidaho.org>  
**Cc:** Stephanie Osborne <stephanieosborne6@gmail.com>; Nicholas Osborne <NOsborne@msn.com>  
**Subject:** 121 Badger Lane - Appeal to the Ketchum Planning and Zoning Commission

Adam,

Attached a letter of Appeal to the Ketchum Planning and Zoning Commission with respect to 121 Badger Lane. Will you please forward this to the members of the Commission and others as necessary. Please let us know if there are any questions or follow-up required.

Best,

Nick Osborne

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**From:** Matthew A. Johnson <[mjohnson@WHITEPETERSON.com](mailto:mjohnson@WHITEPETERSON.com)>  
**Sent:** Wednesday, August 23, 2023 4:46 PM  
**To:** Franklin G Lee <[FrankLee@givenspursley.com](mailto:FrankLee@givenspursley.com)>; Gary Slette <[gslette@rsidaholaw.com](mailto:gslette@rsidaholaw.com)>  
**Subject:** 121 Badger - dismissal request (informal)

Franklin and Gary –

Treating this informally initially, as I've only had an opportunity to do a somewhat rushed review of the correspondence, but think some clarification may be useful between the attorneys involved.

The City evaluates floodplain development permits concurrently with building permits. While comments and review may be happening separately for each, such that one may seem resolved prior to another, the practice is that they are finally and formally approved at the same time. So, from a process perspective, the Floodplain Development Permit in this matter would have been finally/formally approved on the same date as the Building Permit. This would be considered the final administrative determination date for purposes of calculating administrative appeal deadlines. I believe this is the reason for the document, that it looks like Gary provided, with the Approved stamp dated 6/26/23.

My quick read inclination is this means we do not have a timeliness/automatic dismissal issue, but please advise me if you still feel otherwise.

Matt

Matthew A. Johnson  
WHITE PETERSON GIGRAY & NICHOLS, P.A.  
Canyon Park at the Idaho Center  
5700 E. Franklin Rd., Ste. #200  
Nampa, ID 83687-7901  
208.466.9272 (tel)  
208.466.4405 (fax)  
[mjohnson@whitepeterson.com](mailto:mjohnson@whitepeterson.com)

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**EXHIBIT  
B**



Approved  
 These plans have been found to be in substantial compliance of the adopted building codes. These documents are approved contingent on compliance with the mark-ups and notes applied. This is not approval of any violation of any code, ordinance, statute or regulation. Corrections will be required for code violations found during the inspection process.

City of Ketchum  
 Planning & Building

KLD2303-00021  
 06/26/23

OFFICIAL USE ONLY
File Number:
Date Received:
By:
Fee Paid:
Approved Date:
Denied Date:
By:

## Floodplain Development Permit and Riparian Alteration Application

NOTE: This permit is required for all properties containing 100 year floodplain area and Riparian Setbacks

PROPERTY OWNER INFORMATION			
Property Owner Name(s):	121 BADGER LANE LLC		
Property Owner's Mailing Address:	P.O. BOX 14001-174 KETCHUM, ID 83340		
Phone:			
Email:			
PROJECT INFORMATION			
Project Name:	BADGER RESIDENCE		
Project Representative's Name (main point of contact for project):	FRAZIER CAVNESS		
Project Representative's Phone:	720.339.6798		
Project Representative's Mailing Address:	P.O. BOX 14001-174 KETCHUM, ID 83340		
Project Representative's Email:	frazier@presidiolistaproperties.com		
Architect's name, phone number, e-mail:	RO ROCKETT DESIGN   JASON RO   213.784.0014   jro@rorockettdesign.com		
Landscape Architect's name, phone number, e-mail:	BYLA   BEN YOUNG   208.720.0215   ben@byla.us		
Environmental consultant's name, phone number, e-mail:	SAWTOOTH   TRENT STUMPH   208.727.9748   trent@sawtoothenvironmental.com		
Engineer's name, phone number, e-mail:	BROCKWAY ENGINEERING   CHUCK BROCKWAY   208-736-8543   charles.g.brockway@brockwayeng.com		
Project Address:	121 BADGER LANE KETCHUM, ID 83340		
Legal Description of parcel:	PARCEL 4, ROCKING RANCH SUB #2 (LOCATED WITHIN SECTION 13, T.4 N., R.17 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO)		
Lot Size:	1.09 ACRES (PER SURVEY)		
Zoning District:	LR		
Overlay Zones – indicate all that apply:	<input checked="" type="checkbox"/> Floodplain <input type="checkbox"/> Floodway <input type="checkbox"/> Riparian Zone <input type="checkbox"/> Avalanche <input type="checkbox"/> Mountain		
Brief description of project scope:	NEW SINGLE FAMILY DWELLING: MAIN RESIDENCE + ADU W/ IN-GROUND POOL (ADU STRUCTURE OUTSIDE OF FLOODPLAIN)		
Value of Project:	\$ 400,000		
TYPE OF PROJECT – indicate all that apply:			
<input type="checkbox"/> New Building in Floodplain	<input type="checkbox"/> Building Addition in Floodplain	<input type="checkbox"/> Streambank Stabilization / Stream Alteration	<input type="checkbox"/> Other. Please describe:
<input type="checkbox"/> Riparian Alteration	<input checked="" type="checkbox"/> Floodplain Development		
PROPOSED SETBACKS – if project is a new building or an addition to an existing building			
Front: 15	Side: 15	Side: 15	Rear: 20
ADDITIONAL INFORMATION			
Will fill or excavation be required in floodplain, floodway or riparian zone?	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	
If Yes, Amount in Cubic Yards:	Fill: 258 CY	Excavation: 274 CY	
Will Existing Trees or Vegetation be Removed?	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	
Will new trees or vegetation be planted?	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>	

Applicant agrees in the event of a dispute concerning the interpretation or enforcement of the Floodplain Management Overlay Application, in which the City of Ketchum is the prevailing party, to pay reasonable attorney fees, including attorney fees on appeal, and expenses of the City of Ketchum. I, the undersigned, certify that all information submitted with and upon this application form is true and accurate to the best of my knowledge and belief.

Signature of Owner/Representative

2/27/2023  
 Date





City of Ketchum

## **ATTACHMENT 6:**

# **Planning and Zoning Commission Transcripts**



**In The Matter Of:**

*Re: 2024 Administrative Appeal of Osborns and 121 Badge*

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*Audio Transcription*

*August 13, 2024*

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*M&M Court Reporting LLC*

*1-800-879-1700*

*Coeur d Alene ID 83814*

*info@mmcourt.com*

Original File Audio081324.txt

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 4  
 5 ADMINISTRATIVE APPEAL (P23-014B)  
 6 121 BADGER LANE, LLC  
 7 Taken at: 191 5th Street West  
 8 Ketchum, Idaho  
 9 Tuesday, August 13, 2024, 4:30 p.m.  
 10 Before: The Planning & Zoning Commission  
 11  
 12  
 13 HEARING TRANSCRIPT  
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 15  
 16  
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 19  
 20  
 21 Reported by David E. Hix, ASCR, for M&M Court Reporting,  
 22 Inc., 816 East Sherman Avenue, Suite 107, Coeur d'Alene,  
 23 Idaho 83814, (800) 879-1700, Freelance/Official Court  
 24 Reporter and Notary Public for the State of Idaho.  
 25

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1 A P P E A R A N C E S  
 2 THE PLANNING & ZONING COMMISSION:  
 3 Neil Morrow - Chairman  
 4 Susan Passovoy - Commissioner  
 5 Brenda Moczygemba - Commissioner  
 6 Tim Carter - Commissioner  
 7 Matthew McGraw - Commissioner  
 8 ALSO PRESENT:  
 9 Morgan Landers - Director Planning & Building  
 10 Abby Rivin - Senior Planner  
 11 Adam Crutcher - Associate Planner  
 12 Paige Nied - Associate Planner  
 13 Genoa Beiser - Zoning Technician  
 14 Heather Nicolai - Assistant to the PB Director  
 15 Matthew Johnson - City Attorney  
 16  
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 19 Matthew Johnson.....4  
 20 Gary Slette.....7  
 21 Nick Osborne.....14  
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 23 Danielle Strollo.....31  
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1 Tuesday, August 13, 2024  
 2 (4:30 p.m.)  
 3 CHAIR MORROW: This is the Planning and  
 4 Zoning Commission meeting for Tuesday, August 13, 2024.  
 5 It's 4:30. I will call the meeting to order and do the  
 6 roll call: Matthew?  
 7 COMMISSIONER MCGRAW: Here.  
 8 CHAIR MORROW: Brenda?  
 9 COMMISSIONER MOCZYGEMBA: Here.  
 10 CHAIR MORROW: Susan?  
 11 COMMISSIONER PASSOVOY: Here.  
 12 CHAIR MORROW: Tim?  
 13 COMMISSIONER CARTER: I'm here.  
 14 CHAIR MORROW: And I'm here. So all  
 15 Commissioners are here. We have a Consent Agenda. If  
 16 no one has any changes, corrections, typos, I will take  
 17 a motion for the whole Consent Agenda.  
 18 COMMISSIONER PASSOVOY: The button is gone.  
 19 Oh, there it is. I move we approve the Consent Agenda.  
 20 COMMISSIONER MOCZYGEMBA: I'll second.  
 21 CHAIR MORROW: All in favor?  
 22 THE COMMISSIONERS: Aye (In unison).  
 23 CHAIR MORROW: All right. We can move on to  
 24 the public hearing part of the meeting.  
 25 (121 BADGER LANE, LLC, 6:30 p.m.)

Page 4

1 CHAIR MORROW: All right. We are back in  
 2 session. Is it already over? Oh, my God. This is a  
 3 recommendation and review and to make a Determination of  
 4 Administrative Appeal, P23-014B, for the Floodplain  
 5 Development Permit issued at 121 Badger Lane. Adam?  
 6 MR. JOHNSON: So --  
 7 CHAIR MORROW: Oh, I guess we're going to go  
 8 to Matthew.  
 9 MR. JOHNSON: Yeah, yeah, Commissioners,  
 10 Matthew Johnson, city attorney. This is -- for most of  
 11 you, you've been through this process once with this  
 12 application, but, Matthew, particularly for you. This  
 13 is an administrative appeal action. There's certain  
 14 decisions under city code that planning -- planning  
 15 staff and really the planning director are authorized to  
 16 actually make a decision. However, in those cases, any  
 17 time there's an administrative determination, there is  
 18 an administrative appeal process whereby that decision  
 19 can be appealed up to the next level, which in this case  
 20 is from the planning director to the Planning and Zoning  
 21 Commission. Likewise, your decision could be appealed  
 22 up to the City Council.  
 23 This particular project with 121 Badger Lane  
 24 contemplates a Floodplain Development Permit. This  
 25 matter has come before this board previously under the

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1 same process. There was a determination of the planning  
 2 director that was administratively appealed up to this  
 3 board. The Commission didn't actually find an error,  
 4 but the result of that one was essentially what I would  
 5 call a remand back to staff for further consideration of  
 6 the information even though no finding of error.  
 7       What happened there was essentially it --  
 8 for practical purposes it essentially became kind of a  
 9 new application. Additional information was received.  
 10 The Planning Department came to a new determination on  
 11 the Floodplain Development Permit Application. That new  
 12 determination has now been appealed up to you. So  
 13 that's what's before you tonight on the administrative  
 14 appeal.  
 15       The -- both parties in this case, the appeal  
 16 has been filed by an affected party, a neighboring  
 17 property owner. It's not by the Applicant. The  
 18 Floodplain Development Permit decision at the planning  
 19 staff level was for approval for the Applicant. So in  
 20 this case, you have an appeal from a neighboring  
 21 property owner; that's the Osbornes, who are represented  
 22 by Gary Slette as their attorney. He will be here  
 23 tonight -- or is here tonight. Sorry Gary. And then  
 24 you have the Applicant essentially serving as a  
 25 Respondent, and they are represented by Danielle

Page 6

1 Stollo; Givens, Pursley, who is here as well.  
 2       We -- through my office, the city attorney,  
 3 we essentially worked up a schedule with the Scheduling  
 4 Order that was approved by the Commission that provided  
 5 opportunity for each of the parties to do essentially  
 6 briefing like you would see in a typical case. You're  
 7 sitting in a quasi-judicial role. Those briefs have  
 8 been provided to you, the first one from the Osbornes as  
 9 the Applicant, then a reply from the Applicant, and then  
 10 a final response from the -- from the Appellant.  
 11       The way we do this, you hold a hearing.  
 12 It's closer to like a court hearing. You are sitting in  
 13 kind of a quasi-judicial capacity, so put your fancy  
 14 black wigs and black robes on. And we'll hear first  
 15 from the Appellant, represented by Gary Slette; and then  
 16 turn it over to Danielle Stollo, a final reply.  
 17       You absolutely have discretion though to ask  
 18 questions, if you think appropriate. It's good to ask  
 19 them at the time. I don't believe staff is going to  
 20 provide any kind of formal response on this one. But,  
 21 obviously, staff is here and available to answer  
 22 questions you may have.  
 23       Ultimately, we -- we ask you to come to  
 24 direction on a decision. Options may be, you know,  
 25 affirm the determination as it was at the planning

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1 director level; reverse it for some reason; or remand  
 2 with some kind of comments. And I'm happy to help put  
 3 that together.  
 4       Ultimately, I'll ask you for direction that  
 5 enables me to actually draft a document, the draft  
 6 findings and conclusions of law and decision, which will  
 7 come back to you within 30 days for your final approval.  
 8 And you'll, of course, have the chance to amend that,  
 9 adjust it as you want. Any questions on process for me?  
 10       THE COMMISSIONS. (No response).  
 11       **MR. JOHNSON:** All right. I'll turn it back  
 12 over to the Chair, and it would be to call Mr. Slette.  
 13       **CHAIR MORROW:** Just make sure that mic is on  
 14 when you step up there, Gary.  
 15       **MR. SLETTE:** Good evening, Members of the  
 16 Commission. My name is Gary Slette. It's nice to be  
 17 back in front of you again with regard to this appeal.  
 18 I'll introduce my clients, Stephanie and Nick Osborne.  
 19 They are the neighbors of the Applicant's property. And  
 20 I'm sure you probably recall them from the last  
 21 go-round. I intend to make some brief -- I promise --  
 22 opening comments, and then Mr. Osborne wishes to  
 23 conclude with some additional comments from his  
 24 perspective.  
 25       Having been involved in land use activities

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1 in all of Blaine County for the last 40 years, I can  
 2 just tell you I applaud you for your patience and  
 3 handling of matters like the last application. It's not  
 4 easy, I know, for you sitting up there trying to respond  
 5 to everybody's concerns that are raised. But I think  
 6 you did an admirable job.  
 7       As your city attorney observed, this is the  
 8 second appeal of this application. In many respects,  
 9 this appeal is similar to the first. As I stated at the  
 10 initial appeal, my clients are -- certainly recognize  
 11 private property rights and the ability of a landowner  
 12 to make use of his or her property. The manner in which  
 13 it is done is regarded by my clients as being of utmost  
 14 concern, if there's a potential for the development of a  
 15 neighboring property to impact their property. And if  
 16 you observed from the filing of our initial opening  
 17 brief and our reply brief, much of the concerns focus on  
 18 the bermed driveway that is proposed to be located  
 19 immediately adjacent to the Osbornes' property on the  
 20 Applicant's property.  
 21       As you know, the driveway was proposed at  
 22 that location. And then from the fire department  
 23 perspective, it came back that it had to be raised even  
 24 a greater amount, I think by a foot, which prompted  
 25 much, much greater concerns for this property simply

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1 because of its location at the confluence of Warm  
 2 Springs Creek and the Big Wood River.  
 3 The Osbornes personally observed the  
 4 flooding events of 2017, which, if I recall correctly,  
 5 was not the base flood 100-year elevation but  
 6 significantly less than that, and still they were able  
 7 to observe flooding that occurred on the western end of  
 8 their property and the enhanced driveway location. They  
 9 believe, based on their analysis, is clearly -- and the  
 10 analysis of their own engineering firm -- is clearly  
 11 going to have an impact.  
 12 Well, what's the mechanism that has been  
 13 proposed to ameliorate or potentially alleviate that  
 14 concern? And as you saw in the previous appeal, it's  
 15 the placement of multiple culverts in some channels that  
 16 run from the Osborne's property into the neighboring  
 17 property. And we've certainly raised the issue on  
 18 appeal that the staff has failed to consider viable  
 19 alternatives to the placement of these multiple  
 20 culverts, which I'll explain later why we have  
 21 significant concerns about the use of culverts in this  
 22 location.  
 23 I think the Applicant's attorney stated it  
 24 best on the second page of the response brief when she  
 25 said that the "Appellants are concerned about the

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1 application of Ketchum Municipal Code 17.88.050(E)(21),"  
 2 which states: "Where development is proposed that  
 3 impacts any wetland, the first priority shall be to move  
 4 the development from the wetland area and consideration  
 5 of the availability of alternative locations for the  
 6 proposed use which are not subject to flooding or  
 7 erosion damage."  
 8 We know that the driveway, as it's currently  
 9 situated, lies further south than this proposed berm  
 10 driveway. So is there an alternative? By all means  
 11 there is an alternative. The alternative exists today  
 12 by virtue of how the driveway is currently located on  
 13 that property. We think that due consideration should  
 14 have been afforded to that location as a viable and  
 15 reasonable alternative to this bermed driveway.  
 16 And we also see that the rationale for the  
 17 location of this driveway is that there is a one-to-one  
 18 cut and fill. Meaning that fill is being proposed on  
 19 that northern boundary of the Applicant's property,  
 20 while cut areas are being proposed in the interior of  
 21 the property.  
 22 Now, both Mr. Osborne and I have looked at  
 23 the Ketchum Municiple Code. And maybe I'm just missing  
 24 it -- or we're missing it -- but I don't see whereby the  
 25 provision of a one-to-one cut and fill that obviates the

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1 application of the code for consideration of  
 2 alternatives. So perhaps someone can point me to that  
 3 location in the code that justifies this one-to-one  
 4 offset. Because moving the fill further north to create  
 5 the berm is what is causing the real issue for the  
 6 Osbornes, having observed flood flows on their property.  
 7 Now, Ms. Strollo has stated in her brief  
 8 that the flood flows will pass through the culverts.  
 9 And certainly in an ideal situation, that is how  
 10 culverts are meant to work. I recall at the last appeal  
 11 hearing Spencer Cordavano(ph) was just kind of itching  
 12 in his chair -- now occupied by you -- saying that I've  
 13 lived here for so long and I've seen what happens with  
 14 culverts.  
 15 And to that point, I prepared -- or I  
 16 attached some photographs showing what happens when  
 17 culverts do get plugged and the impacts they create.  
 18 And certainly in the Big Wood River Valley, when you're  
 19 on a river, adjacent to a river such as these properties  
 20 are, where this debris load is carried that indeed is  
 21 massive, or can be massive in nature, we just think that  
 22 it's inappropriate to use culverts as a solution.  
 23 Particularly in this case one of the  
 24 conditions that the staff has placed on this approval by  
 25 the staff is that the city has the right to go onto the

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1 property to inspect it to make certain that the culverts  
 2 are maintained. But it begs the question to say we have  
 3 the right to go on the property and we can see if it's  
 4 being maintained. But if there's no one there to  
 5 maintain it, my question and the Osborne's question is,  
 6 who -- who do we call to maintain it? Is the city going  
 7 to come out with a backhoe when floodwaters are circling  
 8 around a plugged culvert to remove the debris that's  
 9 causing the obstruction that creates the rise in the  
 10 flood elevation? Is the landowner who owns the property  
 11 but was not party to this hearing process going to get  
 12 out there with a shovel and start cleaning the culverts?  
 13 Who do we call to ensure that the maintenance activities  
 14 are going to be undertaken?  
 15 It was coincidental that our paralegal found  
 16 a document that I referenced in my reply brief. It  
 17 looks like this (indicating). It's called the "Blaine  
 18 County Multi-Jurisdiction All Hazard Mitigation Plan."  
 19 And it's a document that's signed onto by the cities of  
 20 Bellevue, Carey, Hailey, Ketchum, and Sun Valley, as  
 21 well as Blaine County. And one of the highest priority  
 22 items for review -- or project review -- enumerated in  
 23 this particular plan is to develop a listing of roads,  
 24 bridges, culverts, and other limiting conditions for  
 25 flood flows. And so the idea that the word "culverts"

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1 immediately proceeds other limiting conditions, to me,  
 2 is a tacit acknowledgment that culverts can and will  
 3 serve as a limiting condition to the passage of flood  
 4 flows.  
 5       So, I conclude in my reply brief that the  
 6 Ketchum Municipal Code allows the city to consider  
 7 amendments to draft or interim floodplain maps. And  
 8 that I believe would apply to the instant case to this  
 9 subject property. I believe there are draft floodplain  
 10 maps dated as of April 2024 which identify floodplain  
 11 changes for this proposed building site. And we would  
 12 encourage the P&Z to consider those proposed changes  
 13 when evaluating this application.  
 14       I was touched by Susan's statement during  
 15 the previous hearing when she stated, "Common sense and  
 16 what we observe personally should be watchwords when we  
 17 make decisions as a Planning Commission." And to that  
 18 note, that's why I suggested -- or maybe it dovetails  
 19 with the suggestion in my reply brief -- that an on-site  
 20 review of this property by the Commission, I believe,  
 21 would be an appropriate time-out.  
 22       It doesn't take much to notice up a review  
 23 on site so that the Members of the Commission can see  
 24 for themselves the channels that are on the west end of  
 25 the Applicant's property where these culverts are

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1 proposed to be located. And you can see for yourself  
 2 and you can observe personally, as Susan stated, "What  
 3 the lay of the land looks like" and envision a rise of  
 4 more than a foot, up to two feet, of a berm being placed  
 5 at this location.  
 6       So, with that in mind, I would ask the  
 7 Commission to consider an on-site review to get the lay  
 8 of the land. And also to that point, I would ask this  
 9 Commission to either table it for such an on-site  
 10 meeting, or based on what we've provided to you and what  
 11 you're about to hear from Mr. Osborne, a reversal and  
 12 remand of the staff decision.  
 13       And with that in mind, if it's okay, I'd ask  
 14 Mr. Osborne to make his statements. And then if you  
 15 have questions for either of us, either before the  
 16 Applicant's presentation or after, we'd be happy to  
 17 stand for those.  
 18       **CHAIR MORROW:** Thank you, Mr. Slette.  
 19 Thank you.  
 20       **MR. OSBORNE:** Hi, I'm Nick Osborne, owner of  
 21 105 Wood River Drive North, which is immediately to the  
 22 north of 121 Badger Lane. Thank you for your time  
 23 today. I appreciate it.  
 24       We are here today because we continue to  
 25 have very significant concerns about the development

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1 plan for 121 Badger Lane, and the review process and the  
 2 risk that it creates for our property. We've shared  
 3 our concerns with the Planning and Building Department  
 4 staff and with the developer of the property. But  
 5 logical alternatives have not been considered and  
 6 changes have been insufficient to address the issues.  
 7 As a result, this appeal is the only path that we have.  
 8       Today, I'd like to address three things:  
 9 One, our objectives in the appeal. Two, I'd like to  
 10 share with you some information about the site. It's  
 11 very hard to kind of wrap your mind around what it is  
 12 we're talking about unless you have some more -- and I  
 13 agree with Gary, it would be great if you guys wanted to  
 14 visit. You could see it for yourself. But we've tried  
 15 to present some exhibits that will help you understand  
 16 what's going on. And then I'd like to address very  
 17 briefly -- I think Gary has covered the reasons for our  
 18 appeal -- objectives. As we've stated before, we're not  
 19 trying to prevent development of the site. We have  
 20 neighbors on both sides, including the prior owner of  
 21 121 Badger Lane, who had development plans for the site  
 22 and that we had no issues with.  
 23       We believe the proposed plan increases the  
 24 flood risk on our property. It is a very problematic  
 25 site that is prone to flooding from a variety of causes.

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1 While we cannot eliminate those risks, we believe there  
 2 are simple ways to greatly reduce them.  
 3       The plans could be changed to eliminate the  
 4 elevated driveway on the property line and to avoid  
 5 existing filling -- to avoid filling existing flood  
 6 channels and wetlands. There's already -- already a  
 7 driveway on the site that could be used, as the P&Z  
 8 Commissioners suggested in our October 13th meeting.  
 9       Or, the driveway could be shifted so that  
 10 the flood issues that the development causes are borne  
 11 on the site consistent with the Ketchum code of  
 12 ordinances whose Statement of Purpose, Section  
 13 17.88.020(H), states: "To ensure that those who occupy  
 14 the areas of special flood hazard assume responsibility  
 15 for their actions."  
 16       Our objective is to find an alternative  
 17 which either eliminates the risk to our property and  
 18 requires the owner to assume the risk on -- or requires  
 19 the owner to assume the risk on their property.  
 20 However, the review process did not pursue such  
 21 alternatives and such alternatives were rejected by the  
 22 developer of the property because of the additional time  
 23 and cost the changes would require.  
 24       So, just to give you an overview of the  
 25 site, just as we mentioned the last time we were here,

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1 we know the site very well. We considered buying it  
 2 prior to purchasing our own property. At the time there  
 3 was a residence on stilts, and there was no LOMA for the  
 4 site. We've owned the neighboring property for  
 5 approximately 15 years and have witnessed the 2017  
 6 flooding on the site as well as others. We understand  
 7 what is not known to us may not -- we understand that  
 8 what is known to us may not be fully understood by  
 9 others.

10 What this pictures does -- sorry, it's hard  
 11 to see -- and I wish I had a pointer here. But you can  
 12 see the location of the 121 Badger Lane development  
 13 site. We're directly to the north. That area is the  
 14 junction of Warm Springs and the Big Wood River right up  
 15 here (indicating). South of the site -- or west of the  
 16 river, adjacent to the site, is the bottom of  
 17 Frenchman's Gulch on Bald Mountain. It is a steep,  
 18 rocky bank with little room for the river to move in  
 19 that direction and experiences occasional snow dams.

20 Would you flip to the next one.  
 21 (Next Exhibit)

22 **MR. OSBORNE:** The next comes from the Big  
 23 Wood River Atlas. I don't know if you guys have seen  
 24 it. It's something that I was familiar with. It's an  
 25 impressive document that was prepared in 2020 with

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1 multiple local parties contributing, including the City  
 2 of Ketchum to its review. It identifies a number of  
 3 very important characters of the Big Wood River. Reach  
 4 6, which is shown here (indicating) is the portion of  
 5 the Big Wood River that flows adjacent to both  
 6 properties.

7 It's quite hard to make out, but if you can  
 8 see photo point number 2 -- I wish I had a pointer --  
 9 that's basically where the property is. Badger Lane  
 10 runs south to north, and Wood River Drive loops around  
 11 to the west. And our property is at the end of it.

12 There's a number of interesting things on  
 13 this chart: The black line is the historic channel  
 14 migration zone, which abuts both properties. So this  
 15 isn't just a floodplain issue. This is -- you know, it,  
 16 in fact, abuts the channel, the historic channel of the  
 17 river.

18 Riprap, which you see in kind of the black  
 19 and white dotted lines, during the 1980s, the river  
 20 actually ran adjacent to the properties and riprap was  
 21 installed to prevent flooding. Again, this is not just  
 22 floodplain.

23 In the crosshatched red and pink sections,  
 24 you'll see the erosion that is occurring in that area of  
 25 the river. That was accelerated in 2017. The river is

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1 naturally moving back toward the east. Even Warm  
 2 Springs flows directly from the west to the east against  
 3 the east bank and creates substantial erosion.

4 The final thing, which is really quite hard  
 5 to see in this presentation, is the green line which  
 6 identifies not one but two channels that run on our  
 7 property, from our property to 121 Badger Lane. And  
 8 we're going to give you a greater sense of that. Those  
 9 are the channels that fill with water during flood and  
 10 flow into wetlands on 121 Badger Lane.

11 Yeah, so this will give you a sense of the  
 12 channel. So this is what we call the "east channel."  
 13 This is in our backyard. And between that you'll see,  
 14 you know, a hump to the south. You can just make out  
 15 the corner of a historic cabin -- historic fishing  
 16 cabin, which is preserved on the property.

17 If you flip down, you'll see a second  
 18 channel. Again, this is on our side of the property.  
 19 This is on the west side of our property. So there's an  
 20 east channel and there's a west channel.

21 If you flip down, you'll see --

22 **UNIDENTIFIED AUDIENCE:** This is our --  
 23 **MR. OSBORNE:** Oh, I'm sorry. Yeah, so this  
 24 is the east channel. Could you go back up so I get this  
 25 right? Yeah, so this is the east channel on our

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1 property. Now go down. It flows into a channel on the  
 2 neighboring property, which then flows into wetlands  
 3 where the water is collected. This is the west channel  
 4 on our property (indicating) which, again, flows to the  
 5 adjoining channel on the neighboring property, which is  
 6 this (indicating). Those two channels are separated by  
 7 a large mound so water doesn't -- generally, except in  
 8 very extreme circumstances -- travel between those two  
 9 things -- between those two channels.

10 If you flip to the next page, you can see  
 11 the existing conditions of the property. This is from  
 12 the Applicant's plan. There's a few things to note  
 13 here: Everything in blue is in the floodplain. Here,  
 14 you can -- it's very hard to make out, but I'm going to  
 15 walk behind you, if that's okay.

16 **UNIDENTIFIED AUDIENCE:** (Inaudible).  
 17 **MR. OSBORNE:** Oh, sorry, thanks, yeah, thank  
 18 you. So the eastern channel flows here (indicating).  
 19 The western channel flows here (indicating). It's  
 20 separated by this elevated section here (indicating).  
 21 Our cabin -- the historic fishing cabin -- is right  
 22 there (indicating). You'll also see the existing  
 23 driveway that we've talked about in the past, which  
 24 turns to the south before it enters the floodplain  
 25 currently, which avoids a lot of the backup issues that

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1 we're concerned about.  
 2 The plan, however -- if you could go to the  
 3 next one, please.  
 4 (Next Exhibit)  
 5 **MR. OSBORNE:** Thanks, Steph. The plan,  
 6 however, moves the driveway to the perimeter of the  
 7 property, the north perimeter of the property directly  
 8 adjacent to our property line.  
 9 This is a cut and fill chart. We've got a  
 10 close-up to make it slightly easier to understand.  
 11 This shows the northern portion in the floodplain and  
 12 with the yellow and orange and red lines indicate is the  
 13 amount of fill that will be placed into -- placed into  
 14 those areas to accommodate the driveway. It's one to  
 15 three feet of fill will be added.  
 16 So if you -- if you think back to the  
 17 photos we were just looking at, those channels, once  
 18 they get to the neighbor's property, are going to be  
 19 filled. There will no longer be any place for the water  
 20 to go from our side.  
 21 If we could go to the next one.  
 22 (Next Exhibit)  
 23 **MR. OSBORNE:** This is the plan development.  
 24 After the initial plan -- plans were prepared, it's  
 25 important to note it was determined that the driveway

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1 needed to be raised further to provide adequate  
 2 clearance for emergency vehicles. Consider what that  
 3 means, it means that the expected flood conditions would  
 4 result in greater than one foot of water flowing over  
 5 the driveway. Raising the driveway creates a barrier to  
 6 that flow. There is simply no way that you can raise  
 7 the driveway without limiting the flow of floodwater  
 8 from our property to theirs.  
 9 The northern edge of the driveway and the  
 10 eastern channel will increase the elevation by more than  
 11 a foot. The western channel will run into the driveway  
 12 with an elevation of more than 5,787 feet, an increase  
 13 of over two feet versus the current elevation, and above  
 14 the BFE.  
 15 Underneath the driveway, existing wetlands  
 16 and channels where water currently collects will be  
 17 filled with two to three feet of fill. The plan  
 18 contemplates adding culverts in the eastern channel  
 19 directly against our property line. If those are  
 20 blocked or back up, there is no place for the water to  
 21 collect on our property. And once again, I'll just walk  
 22 over and point that out to you (indicating). So to  
 23 accommodate the eastern channel, we've added culverts.  
 24 Those culverts --  
 25 **UNIDENTIFIED AUDIENCE:** (Inaudible).

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1 **MR. OSBORNE:** Okay. If you look at the top  
 2 and you see the three circles -- can you see that? --  
 3 those are the culverts, okay, that go under the  
 4 driveway. And those address the eastern channel that we  
 5 just saw the pictures of. But nothing addresses the  
 6 western channel. Other than a single 12-inch dry well,  
 7 there is no drainage provided for in the western  
 8 channel, which because it is closer to the river  
 9 experiences even greater flows during the floods.  
 10 Because of the raised section of land between the  
 11 channels, water doesn't flow from the western channel to  
 12 the eastern channel, so there is no place for that water  
 13 to go.  
 14 The reasons for our appeal -- we've provided  
 15 a complete statement. I know you guys had a lot on your  
 16 agenda. I don't know if you've had a chance to review  
 17 that. Gary did a good job summarizing that, so I won't  
 18 try to do that for you again. But I do want to hit on a  
 19 few points.  
 20 The review process did not evaluate  
 21 alternatives for the proposed driveway which would avoid  
 22 filling wetlands. Numerous findings of fact and  
 23 provisions of the City of Ketchum's zoning regulations  
 24 address risks resulting from floodplain development, the  
 25 importance of maintaining natural conditions of

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1 floodplain, and require wetlands where development is  
 2 proposed that impact any wetland, the first priority  
 3 shall be to move the development from the wetland area.  
 4 That was not done.  
 5 Rather than considering alternatives, the  
 6 finding and decision -- the findings and decision relies  
 7 on the fact that there will be an offsetting amount of  
 8 wetlands created on the site. This is not a  
 9 determinative fact in the code. There is language  
 10 about it, but it's simply an obligation on the Applicant  
 11 to submit. But it does not override any other provision.  
 12 The review process did not appropriately  
 13 evaluate the inadequate and poorly planned drainage for  
 14 the western channel. All that is provided is a 12-inch  
 15 dry well versus three 24-inch culverts in the eastern  
 16 channel.  
 17 In any event, the proposed culverts are  
 18 inadequate to ensure proper drainage. Culverts are a  
 19 poor solution because they get blocked sometimes inside  
 20 the culvert where the blockage can not be seen. The  
 21 condition of the approval is that the culverts are  
 22 required to be maintained and kept clear to ensure  
 23 sufficient carrying capacity and subject to inspection  
 24 by city staff.  
 25 The findings and decisions do not consider

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1 that in flood conditions it may be impossible for the  
 2 culverts to be maintained and kept clear due to the  
 3 potential volumes of floodwater and debris. Because the  
 4 culvert inlets are almost directly on the shared  
 5 property line, any backup of the culverts creates  
 6 hazards for our property.  
 7 The proposed residence is being developed  
 8 for sale. The planning and building findings do not  
 9 address how these conditions will be enforced on future  
 10 owners who may or may not be full-time residents. And  
 11 these culverts will do nothing to address floodwaters in  
 12 the western channel.  
 13 Floodplain maps, would you mind just  
 14 shifting to those?  
 15 (Next Exhibit).  
 16 **MR. OSBORNE:** These maps show the prior FEMA  
 17 floodplain map and the current draft dated April 20,  
 18 '24. The differences are significant and create a  
 19 meaningful flood risk. What you'll see in this -- this  
 20 is basically the same site that we saw before. In the  
 21 center, there is a building envelope, admits the  
 22 floodplain. If you look to the most recent draft, that  
 23 goes away indicating the expectation for increases in  
 24 water levels during floods in this neighborhood.  
 25 The findings and decision did not address

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1 the fact that the floodplain map -- the site is out of  
 2 date and changes in the draft FEMA floodplain map would  
 3 increase water levels across the site, return the  
 4 building envelope to -- on the site to floodplain and  
 5 expand the floodway adjacent to the site and neighboring  
 6 properties.  
 7 Zoning Regulation 17.88.050(G)(1)(a) allows  
 8 the city to consider whether there have been any  
 9 significant amendments to the city's draft or interim  
 10 flood maps which will apply to subject approval. The  
 11 subject property is not only in the floodplain but  
 12 adjacent to the historic channel of the river.  
 13 Finally, the cabins, part of the reason  
 14 we're concerned is that we -- when we purchased the lot,  
 15 it used to be a fishing camp down there and there was a  
 16 historic fishing cabin that was identified by a review  
 17 that was done of historic places by the town and the  
 18 historic committee. This is within -- as I showed you  
 19 before, this is directly on the property line, within  
 20 feet of the elevated driveway where the flooding is most  
 21 likely to occur. The historic cabin remains on its  
 22 original foundation of river rock. As a result, the  
 23 cabin is not only at risk of flooding but also moving  
 24 and collapsing in flood condition.  
 25 If you'd flip to the next one.

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1 (Next Exhibit)  
 2 **MR. OSBORNE:** And despite what the  
 3 Applicant's counsel has said, this cabin sits where it  
 4 always has. This was a picture taken today. This thing  
 5 has never moved. This is where it's always been.  
 6 Finally, our request, we think there is a  
 7 solution to all of this: Send the application back to  
 8 the staff and ask staff to recommend alternatives that  
 9 will move the driveway from the wetlands, eliminate the  
 10 barrier created by the driveway on the property line,  
 11 address the proposed FEMA maps, and require the  
 12 Applicant to assume responsibility for the potential  
 13 flood hazards.  
 14 Let's be clear, this is a development  
 15 project. The Applicant will not be the occupant of the  
 16 home. The city cannot be expected to assume  
 17 responsibility from the Applicant to monitor culverts  
 18 and flooding hazards on private property, particularly  
 19 when there is a significant flood in town.  
 20 There are simple solutions that we've  
 21 talked about already, and one of which was identified at  
 22 the last meeting, which we have proposed to the  
 23 Applicant. The Applicant has chosen not to consider  
 24 those at this point. But the alternative is a flood  
 25 plan that will eventually cost both us and the city time

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1 and money of their own.  
 2 Thank you very much for your time. We  
 3 appreciate you hearing our appeal.  
 4 **CHAIR MORROW:** Thank you. Go straight to  
 5 the --  
 6 **MR. JOHNSON:** So, Mr. Chairman, just --  
 7 while Danielle is coming up, I realize I skipped over  
 8 something in my -- my report really quick, and it's  
 9 important and I want to bring it up before both parties  
 10 will get a chance to --  
 11 As you're reviewing this, you have what's  
 12 called a "standard of review." That's the legal  
 13 standard by which you review something. On an  
 14 administrative appeal -- you've got the section in the  
 15 staff report from me, but I just want to note that this  
 16 is not supposed to be a time for any entry of new  
 17 information. You're not supposed to bring that in.  
 18 You're really just looking at the record that was before  
 19 staff below. And I'm not saying that because I have  
 20 some concern about it immediately, but that may come up  
 21 in rebuttal from either side.  
 22 And so I just wanted you to understand why  
 23 that may be important and how that standard of review  
 24 comes into play. And as you get to your deliberations,  
 25 if we need to talk more about it -- I know we spent



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1 quite a bit time on it at the last go around. So --  
 2 **COMMISSIONER PASSOVOY:** Matt, so if I have  
 3 some questions, I should wait until we get to the  
 4 deliberation part?  
 5 **MR. JOHNSON:** You -- it's up to you when you  
 6 can ask questions. If you feel like it's best to get  
 7 them answered now because it's something immediate, you  
 8 definitely can. But if you want to save them up for the  
 9 end, you can. The biggest part is if there's any sort  
 10 of questions that lead that information from one side, I  
 11 do advise that the Appellant always gets sort of a last  
 12 opportunity, since they're the appealing body, to at  
 13 least rebut something if they would.  
 14 **COMMISSIONER PASSOVOY:** This is strictly the  
 15 standard of review. I had this question before -- last  
 16 time -- and I still have the question. Because what's  
 17 stated in the standard of review isn't really a standard  
 18 of review. We both understand that. But the language  
 19 that is used is whether there was an abuse of  
 20 discretion. And I think there's -- that's not in the  
 21 standard. It's what's being claimed by one party to the  
 22 other party, that the -- there was an abuse -- whether  
 23 or not there was an abuse of discretion on the part of  
 24 the staff. And there was one other word -- and I left  
 25 my notebook, unfortunately, at home, so I don't remember

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1 the other thing. I can't remember, but -- so we'll just  
 2 stick with abuse of discretion. So, really, our  
 3 standard of review is determining whether or not we  
 4 think there was an abuse of discretion or --  
 5 **MR. JOHNSON:** Yeah, I think --  
 6 **COMMISSIONER PASSOVOY:** -- fill in the other  
 7 blank.  
 8 **MR. JOHNSON:** -- I think error is generally  
 9 what you're looking for, that there was clearly some --  
 10 some flaw --  
 11 **COMMISSIONER PASSOVOY:** Right.  
 12 **MR. JOHNSON:** -- abuse of discretion and  
 13 error.  
 14 **COMMISSIONER PASSOVOY:** Or a subject matter,  
 15 substantive flaw in --  
 16 **MR. JOHNSON:** Yeah, or --  
 17 **COMMISSIONER PASSOVOY:** -- the decision.  
 18 **MR. JOHNSON:** Yeah, so that could be a  
 19 procedural issue or a clear technical error. That's  
 20 kind of what the debate is. And, of course, both  
 21 parties can argue that.  
 22 **COMMISSIONER PASSOVOY:** Yes, and I  
 23 understand that they have and they will. I just wanted  
 24 to make sure that I understood, you know, is it the  
 25 preponderance of the evidence or is it, you know --

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1 **MR. JOHNSON:** I think the best I can offer  
 2 is, what it's not is -- it's not a de novo review. It's  
 3 not a from scratch --  
 4 **MS. PASSOVOY:** Understood.  
 5 **MR. JOHNSON:** -- everything is new. You get  
 6 to hear everything. It really is an argument: Was  
 7 there some flaw in the determination of the body below  
 8 that warrants, you know, remand or modification or not?  
 9 **COMMISSIONER PASSOVOY:** Okay. Thank you  
 10 very much.  
 11 **MS. STROLLO:** Hello. As usual, this  
 12 microphone is too high. Okay -- or I'm too short, but  
 13 that problem sailed a long time ago. Hello, Members of  
 14 the Commission. My name is Danielle Strollo, and my  
 15 address, for the record, is 601 West Bannick Street in  
 16 Boise. And I'm here, once again, representing the  
 17 Applicant for development at 121 Badger Lane in Ketchum.  
 18 This Floodplain Development Application was prepared by  
 19 Brockway Engineering, who is based in Twin Falls. Erick  
 20 Powell, the lead engineer on this project, is available  
 21 to answer specific technical questions, as is the design  
 22 and developer team. Next slide please.  
 23 (Next Slide)  
 24 **MS. STROLLO:** All right. So here's the time  
 25 line on this application. It's been three years since

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1 we started working on this application. And as you  
 2 know, this is the second time the Osbornes have appealed  
 3 your planning administrator's approval of this  
 4 application, an approval based on the application's  
 5 review by both city staff and the city's third-party  
 6 engineers, Harmony Design and Engineering. Next slide  
 7 please.  
 8 (Next Slide)  
 9 **MS. STROLLO:** So after the prior appeal  
 10 hearing last December, this Commission found no error  
 11 but asked city staff to evaluate further information  
 12 with regard to Appeal Criteria 5 and 6, which have to do  
 13 with allowing for the function of the floodplain, sheet  
 14 flooding and floodwater carrying capacity.  
 15 City staff then treated this as a new  
 16 application, as your counsel said, with additional  
 17 notice to neighbors and opportunity to submit comment.  
 18 So the Applicant submitted the new application with  
 19 additional engineering models in February of 2024.  
 20 Since then, city staff have come back to the Applicant  
 21 numerous times asking us to address comments that were  
 22 submitted by neighbors, including the Osbornes. We did  
 23 address those comments. In fact, the Applicant has gone  
 24 above and beyond to address staff requests for more  
 25 information and clarification, and provided more than

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1 code requires. After all of this additional  
 2 documentation and study, staff, in consultation with the  
 3 city's third-party engineer, approved the application a  
 4 second time. Next slide please.  
 5 (Next slide)  
 6 **MS. STROLLO:** I want to reiterate again here  
 7 that the Commission's role is to find that staff  
 8 committed an error or abuse of discretion in approving  
 9 this application. We understand there was interest in  
 10 ensuring no impact to neighboring property. But we have  
 11 addressed those concerns and in even greater detail for  
 12 this application. And now it's important to follow code  
 13 to ensure the Applicant's rights are protected along  
 14 with the neighbor's rights. This process protects both  
 15 and you can rest assured that with this application that  
 16 due diligence has been done.  
 17 Now, with all of this additional information  
 18 the question here is did staff error or do something  
 19 wrong in approving this application? And the answer  
 20 is, no. Next slide please.  
 21 (Next Slide)  
 22 **MS. STROLLO:** So these are the same general  
 23 arguments as the prior appeal, and we have addressed the  
 24 Appellant's concerns. The application meets the code's  
 25 requirements, again. That was determined by staff and

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1 the city's third-party engineer. There was no error or  
 2 abuse of discretion. City staff was quite thorough,  
 3 again. And I'd encourage you to ask city staff about  
 4 the multiple times they asked the Applicant to respond  
 5 to comments. Again, this demonstrates the thoroughness  
 6 of the review. Next slide please.  
 7 (Next Slide)  
 8 **MS. STROLLO:** Ultimately, the basics are  
 9 this: The application here is for a single family home  
 10 and a driveway to serve that single family home. The  
 11 home is built out of the flood flows. The driveway  
 12 appropriately serves that home and meets code  
 13 requirements for emergency access. All of the  
 14 engineering evidence reviewed by the city demonstrates  
 15 definitively and conclusively that there will be no  
 16 impact of the driveway on the neighboring property.  
 17 The site's design uses established  
 18 engineering practices and culverts to ensure proper  
 19 drainage. The extensive modeling that staff and the  
 20 city's engineers have reviewed, multiple times at this  
 21 point over the past two years, show there is no change  
 22 in floodwaters to the neighbor's property as a result of  
 23 this development. Next slide.  
 24 (Next Slide)  
 25 **MS. STROLLO:** Since the prior appeal, the

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1 Applicant did further modeling with a wider scope of the  
 2 river's dynamics, as well as taking a more precise view  
 3 of what's happening to neighboring properties here. We  
 4 did a HEC-RAS and High-8 analysis, as well as a  
 5 split-flow analysis with more details zeroing in on  
 6 specific concerns. We moved grid lines to align with  
 7 the property line, and that analysis still showed no  
 8 rise in waters to the neighbor's property. The site  
 9 added another culvert to allow for passage of  
 10 floodwaters. Even at a conservative 50-percent clog  
 11 factor, these address floodwaters and prevent any rise  
 12 in waters to neighboring property. Next slide please.  
 13 (Next Slide)  
 14 **MS. STROLLO:** So I want to address a couple  
 15 of specific points that the Appellants made today:  
 16 First, culvert maintenance, it is a condition of  
 17 approval that the culverts be maintained. City  
 18 enforcement here just -- acts just like any other  
 19 enforcement. The conditions of approval are absolutely  
 20 enforceable against the next property owner.  
 21 Wetlands, so there is one wetland  
 22 requirement in code criteria for approval and we meet  
 23 it. The driveway fills some wetland area and that fill  
 24 is mitigated entirely by creating wetland elsewhere to  
 25 preserve the natural function of the river. The

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1 terminology confusion indicates the overarching message  
 2 here; that this is a technical application with  
 3 technical requirements examined by technical experts,  
 4 which has now been done twice.  
 5 The fishing cabin, whether or not it's in  
 6 its original location -- which satellite photos dispute  
 7 -- the fishing shed's age changes nothing about this  
 8 application. It's not entitled to special protection,  
 9 particularly special protection by the Applicant. If  
 10 the Appellant wishes to preserve the fishing shed and  
 11 thinks that it's vulnerable to flooding, they should  
 12 move it to another location on their property. We have  
 13 repeatedly shown that this development poses no risk to  
 14 their property.  
 15 The new draft map, so we designed to the  
 16 best available information for this application. We  
 17 can't rely on drafts because they change, and we can't  
 18 be asked to redesign the site because it's been delayed  
 19 three years.  
 20 Finally, we're glad that the City of Ketchum  
 21 participates in the hazard mitigation plan, since then  
 22 it's eligible for Federal Hazard Funds in the event of  
 23 an emergency. But aligned with this hazard mitigation  
 24 plan, your code ensures the development's impacts are  
 25 minimized and mitigated. We meet that code requirement

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1 by demonstrating exactly that with best engineering  
 2 practices.  
 3       Okay, with that, I will pass it off -- yeah,  
 4 so I will conclude by saying there's nothing new in this  
 5 appeal, other than different words being used to convey  
 6 the same points. There's been a tremendous amount of  
 7 engineering by best-in-class engineers with familiarity  
 8 of this area and this river, and that engineering shows  
 9 no impact to the Osborne property.  
 10       All of the necessary criteria have been  
 11 reviewed and addressed by the city now twice.  
 12 Ketchum's technical experts have reviewed and approved  
 13 all the detailed analysis over two years of application  
 14 review. Again, this application satisfies Ketchum's  
 15 city code, protects public safety and the public  
 16 interest. This application does protect neighboring  
 17 property from impacts of development.  
 18       With that, I'll turn it over to Brockway  
 19 Engineering's Erick Powell to provide additional  
 20 engineering basics about this application.  
 21       **MR. POWELL:** Good evening, Commissioners.  
 22 My name is Erick Powell. I'm grateful to be here today  
 23 and discuss my favorite topic, which is water. Just a  
 24 little bit about me: I'm a senior engineer at Brockway  
 25 Engineering. I've been practicing for about 18 years.

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1 I hold a bachelor's and master's degree in civil and  
 2 environmental engineering and a Ph.D. in ag engineering,  
 3 with a specialty in stream channel design. I'm licensed  
 4 as a professional engineer in Idaho, Nevada, Utah, and  
 5 Oregon.  
 6       We work -- Brockway Engineering has worked  
 7 extensively in the Wood River Valley for many, many  
 8 years. Chuck Senior was born in Ketchum, the same year  
 9 that his Sun Valley company was incorporated. And so we  
 10 have a long history in the valley, and we've done a lot  
 11 of work even for the City of Ketchum specifically. So  
 12 the next slide.  
 13       (Next Slide)  
 14       **MR. POWELL:** I appreciate city -- the city  
 15 attorney giving you some specific instructions on being  
 16 a judge, and that's hard when we're talking about very  
 17 technical information. And so I'm happy to address or  
 18 answer questions that you might have. But I wanted to  
 19 start by just talking a little bit about what the flood  
 20 maps are, and what the designation of a floodplain  
 21 versus a floodway is, and what those terms actually mean.  
 22       And so this is a scale of 1 to 500 feet.  
 23 We do show the Big Wood River and Warms Springs and that  
 24 confluence. The blue area is identified as the 100-  
 25 year floodplain, or in a statistical term it's the

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1 probability of this area flooding 1 percent each year;  
 2 that's what that means. The fringe area on the -- in  
 3 orange is the 500-year floodplain, or the .2 percent  
 4 chance of flood. And then the red hatched area in the  
 5 middle is what is referred to as the floodplain. Now --  
 6 or sorry, the floodway. That was an error on my part.  
 7       So the floodway is important just because  
 8 that's the area that is the flood carrying capacity  
 9 identified by FEMA. And so any encroachment into the  
 10 floodway requires no rise, and engineers are required to  
 11 do no-rise analysis for encroachment in the floodway to  
 12 ensure that flood carrying capacity.  
 13       The floodplain, FEMA does not prohibit  
 14 construction or development. As evidenced within the  
 15 city, and within Blaine County itself, there's lots of  
 16 development that has occurred in the floodplain. And so  
 17 this isn't new development in the floodplain. Or  
 18 floodplain development is not a new concept. It is one  
 19 that has existed for a while.  
 20       Flood maps are developed through a modeling  
 21 process. And the most common model that's used is  
 22 referred to as HEC-RAS, which is -- has been and  
 23 primarily still is used as what we call a "one-  
 24 dimensional analysis." And so we have cross sections  
 25 that exist and we interpellate between those cross

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1 sections. And given the flood flow and flood -- other  
 2 parameters on the floodplain of roughness specters,  
 3 elevations of floodplains are established. And they  
 4 refer to those as "base-flood elevations." And so any  
 5 modeling work that is done always requires us to start  
 6 with those effective floodplain models, and so we use  
 7 those effective models. We have to match those models  
 8 with the current effective maps, and then we can start  
 9 to evaluate what will happen if we propose to modify the  
 10 floodplain or the floodway in any way. So the next  
 11 slide --  
 12       (Next Slide)  
 13       **MR. POWELL:** -- looks at a little bit more  
 14 close detail. So we actually here are showing FEMA  
 15 Cross Section EF down at the bottom; EG is up at the  
 16 top. Originally at the start of this process, we added  
 17 11 new cross sections through the property. We've  
 18 actually iterated several times with feedback from  
 19 Harmony and Viota both. And so we've tried to answer  
 20 those questions that have been addressed.  
 21       I would like to just highlight that Badger  
 22 Cross Section 6 does exist right on the northern  
 23 property line. We're going to talk about that in just a  
 24 minute. But we worked in an effort to be conservative.  
 25 We'll address that in a bit. Right above that is Badger

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1 Cross Section 7. And so the next slide --  
 2 (Next Slide)  
 3 **MR. POWELL:** -- shows that cross section just  
 4 for illustrative purposes.  
 5 So the way cross sections are viewed is  
 6 pretend like you're in a canoe in the river, and what's  
 7 on the right is what would be on the right bank of the  
 8 river. So if you're -- the right hand -- sorry, what  
 9 hand am I looking at? My left-hand side is then the  
 10 east side of the river, so you're looking downstream.  
 11 That's going to be on -- your left-hand side that's  
 12 east. And so we're actually seeing that that's the  
 13 Osborne property. And so I appreciate the photos from  
 14 the Osbornes. They were showing what Mr. Osborne was  
 15 saying was the east channel we can see at the very far  
 16 left-hand side.  
 17 **COMMISSIONER PASSOVOY:** The left-hand side  
 18 as we are looking at this?  
 19 **MR. POWELL:** This one right here (indicating).  
 20 **COMMISSIONER PASSOVOY:** The left-hand side  
 21 of the picture?  
 22 **MR. POWELL:** Yes, yeah.  
 23 **COMMISSIONER PASSOVOY:** And that's east?  
 24 **MR. POWELL:** That's east, yep, yeah. So  
 25 another thing I really wanted to just point out here is

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1 that floodplains are very variable. There's lots of  
 2 undulations. They're not smooth. We don't have this  
 3 classic trapezoid with a flat floodplains, but we have a  
 4 lot of undulations that are occurring. And there's a  
 5 lot of ability in a floodplain, especially with  
 6 excavation that can be done, without getting any permits  
 7 within a floodplain. And so we take these cross  
 8 sections and we can hydraulically evaluate the change in  
 9 flood elevations as we move downstream or upstream.  
 10 So with the remand that happened previously,  
 11 the questions kept asking were specific to what was the  
 12 impact of that -- what Mr. Osborne was calling the "east  
 13 channel?" So if we go to the next slide --  
 14 (Next Slide)  
 15 **MR. POWELL:** -- so we went and looked at  
 16 specifically rather than the entire floodplain, we were  
 17 just looking at that flood -- excuse me -- the  
 18 floodplain fringe on that eastern boundary next to the  
 19 floodplain where that east channel, as Mr. Osborne has  
 20 called it, exists, so extending that channel through the  
 21 Osborne property and also onto the proposed 121 Badger  
 22 property.  
 23 So we have existing condition models that we  
 24 ran, and then looked at what those flood -- or what the  
 25 conditions would look like postdevelopment, or

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1 postconstruction, on that same property looking at that  
 2 east property line.  
 3 **COMMISSIONER PASSOVOY:** Excuse me one  
 4 second.  
 5 **MR. POWELL:** Yeah.  
 6 **COMMISSIONER PASSOVOY:** I'm sorry, because  
 7 this is definitely not my wheelhouse. So is the blue  
 8 line what is being called the east channel?  
 9 **MR. POWELL:** No, the blue line -- that's a  
 10 great question. The blue line is actually the effective  
 11 floodplain delineation. That's the --  
 12 **COMMISSIONER PASSOVOY:** The boundary, that's  
 13 the boundary?  
 14 **MR. POWELL:** That's the floodplain map.  
 15 **COMMISSIONER PASSOVOY:** Water would come  
 16 from the river as far as that blue line, theoretically?  
 17 **MR. POWELL:** Theoretically, yep.  
 18 **COMMISSIONER PASSOVOY:** And the house --  
 19 this is -- of all of the material in both packages,  
 20 there was not, for me, a clear picture of where the  
 21 Osborne property is, vis-a-vi, 121 Badger Lane. So is  
 22 the -- are the two -- are the brown buildings the roofs  
 23 of the Osborne property?  
 24 **MR. POWELL:** Yes.  
 25 **COMMISSIONER PASSOVOY:** Okay.

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1 **MR. POWELL:** This is the Osborne property  
 2 (indicating).  
 3 **COMMISSIONER PASSOVOY:** Okay.  
 4 **MR. POWELL:** Badger 7.  
 5 **COMMISSIONER PASSOVOY:** Okay.  
 6 **MR. POWELL:** Badger 7 label.  
 7 **COMMISSIONER PASSOVOY:** Thank you.  
 8 **MR. POWELL:** And the Osbornes' house is --  
 9 has been and is outside of the floodplain delineation.  
 10 **COMMISSIONER PASSOVOY:** Okay.  
 11 **MR. POWELL:** So, we have to have bordering  
 12 cross sections to evaluate obstructions like a bridge or  
 13 a fill. And so we do have Badger Cross Section 6 and  
 14 Badger Cross Section 5 that straddle the proposed  
 15 driveway through this east floodplain fringe area, and  
 16 so we evaluated that specifically. With the additional  
 17 clogging factor that was recommended by Harmony, we had  
 18 to add another culvert, a third culvert, to ensure that  
 19 there was no rise at that Badger Cross Section 6:  
 20 (Next Slide)  
 21 **MR. POWELL:** So the next slide just shows a  
 22 table of all of those cross sections. If you hit the  
 23 next button, it will just highlight Badger 6, that cross  
 24 section. The current condition model and the proposed  
 25 project model, the difference at that property line, is

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1 0.0 feet.  
 2 So how can that be, right? If we -- as has  
 3 been allude to, that we're damming up this east channel,  
 4 and so that's a question that I found intriguing. I  
 5 wanted to investigate and find out why that really was  
 6 the case. And it really comes down to the variability  
 7 of the floodplain itself. That currently, there are  
 8 high spots in this supposed east channel that are at the  
 9 same elevation as the proposed driveway. And so to be  
 10 conservative, we actually used the low spots of the  
 11 topography as our cross section for that Badger Cross  
 12 Section 6.  
 13 But if we go to the next slide --  
 14 (Next Slide)  
 15 **MR. POWELL:** -- so this is the topography of  
 16 the existing system. This is part of the survey that  
 17 was originally -- that you've seen before. We're going  
 18 to highlight with the next click --  
 19 (Next Slide)  
 20 **MR. POWELL:** -- this area right at the  
 21 north. So if we zoom in on that, by clicking again --  
 22 (Next Slide)  
 23 **MR. POWELL:** -- I just want to point out  
 24 that the -- that the elevations here range substantially.  
 25 And so we have --

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1 **COMMISSIONER PASSOVOY:** Because of these  
 2 undulations you referred to?  
 3 **MR. POWELL:** Yeah, so we have elevations of  
 4 57.87 here (indicating). We have 5786.1 here. This --  
 5 is -- there ends up being this hole that exits in the  
 6 area of this proposed driveway. And during flood  
 7 conditions, that hole would fill with water. But  
 8 there's no way for that water to be conveyed because  
 9 there's high ground all the way around it because it's a  
 10 hole, okay. So if we go to the next slide --  
 11 (Next Slide)  
 12 **MR. POWELL:** -- this actually shows the  
 13 proposed driveway and that same hole location. And if  
 14 you look at the elevation through the driveway through  
 15 that hole, it's -- it says 86. Now, they've truncated  
 16 the 5786 just for sake of ease of description. But  
 17 what's really happening is that the driveway is being --  
 18 the elevation of the driveway is adjacent to native  
 19 ground elevations, but there's a hole that's being filled.  
 20 And so we're not necessarily putting this  
 21 big dam, or levy, or some sort of obstruction across the  
 22 entire floodplain. We're actually just matching the  
 23 existing elevations that are there. So the BFE in this  
 24 area is greater than 5786. So flood flow will still  
 25 continue to function over the driveway. The culverts

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1 will function and be able to convey water at lower than  
 2 BFE elevations. But during base flood elevations,  
 3 during that 100-year flood event, the driveway will act  
 4 just like the existing ground elevations that are there.  
 5 And so, again, it's a really important thing  
 6 to note that we're not necessarily damming off or  
 7 cutting off access to anything. This is -- you know,  
 8 the hydraulic control of ground that's there is going to  
 9 be very similar to this driveway. Yeah, please.  
 10 **COMMISSIONER MOCZYGEMBA:** Quick question.  
 11 Is -- obviously, but please clue me in -- how has it  
 12 evaluated the angle of the culverts in relation to that  
 13 existing east channel?  
 14 **MR. POWELL:** So the culverts were placed  
 15 where there was sufficient space and the lowest  
 16 elevation that existed. And so it does connect that  
 17 together.  
 18 **COMMISSIONER MOCZYGEMBA:** Okay.  
 19 **MR. POWELL:** So just in summary, the next  
 20 slide --  
 21 (Next Slide)  
 22 **MR. POWELL:** -- just talks about that we  
 23 have had the extensive engineering that has been done on  
 24 this property. Me personally, this is the most that's  
 25 ever been required for a residential development that

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1 the city has asked for. We have developed model after  
 2 model trying to answer the questions that are raised.  
 3 I want to make it very clear that no levy is  
 4 being proposed for the driveway; that there are low  
 5 spots there are being filled, and they are -- in some  
 6 cases they are deep. But we're not necessarily blocking  
 7 off this continuous east channel that exists in 121.  
 8 So the elevations of the proposed driveway  
 9 are similar to nearby ground elevations. We did  
 10 increase the number of culverts. Culverts are standard  
 11 engineering practices. The City of Ketchum does  
 12 recommend culverts, and so that's not something that's  
 13 outside of normal applications. We -- we did add  
 14 another culvert just to comply with Harmony's  
 15 recommendation to evaluate at 50-percent clogging.  
 16 The floodplain will continue to function.  
 17 This is not going to somehow eliminate on entire stretch  
 18 of floodplain. The floodplain will continue to  
 19 function. And that modeling shows no rise at the  
 20 neighbor's property. And that that has been reviewed  
 21 substantially by city staff and third-party engineer  
 22 Harmony.  
 23 With that, any other questions that you  
 24 have?  
 25 **THE COMMISSIONERS:** (Indicating).

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1 **MR. POWELL:** Yeah.

2 **COMMISSIONER MOCZYGEMBA:** I have a follow-up

3 question to my other question. If there were room on

4 the property for those culverts to be at a different

5 angle, would that increase their efficiency? Even

6 though there's a model that shows no rise, would

7 straightening those things out more in parallel to the

8 east stream, or whatever we want to call it, would that

9 help?

10 **MR. POWELL:** So it would really just reduce

11 the length of the culverts.

12 **COMMISSIONER MOCZYGEMBA:** Okay.

13 **MR. POWELL:** The culverts would still --

14 **COMMISSIONER MOCZYGEMBA:** Okay.

15 (Two speakers at the same time.)

16 **MR. POWELL:** -- function. They still would

17 be efficient.

18 **COMMISSIONER MOCZYGEMBA:** Okay.

19 **MR. POWELL:** It would just reduce the length

20 and it would not reduce them substantially. It would

21 be, you know --

22 **COMMISSIONER MOCZYGEMBA:** Right.

23 **MR. POWELL:** -- a few feet.

24 **COMMISSIONER MOCZYGEMBA:** Right. Okay.

25 Thank you.

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1 **COMMISSIONER PASSOVOY:** Once again, this is

2 a very, very layperson question: Along the property

3 line, we understand there were -- without the driveway

4 there are undulations. And so the assertion of -- your

5 assertion or explanation is is that the driveway does

6 not create a berm. But do I understand that basically

7 the driveway flattens out those undulations?

8 **MR. POWELL:** There will -- yeah, sorry.

9 **COMMISSIONER PASSOVOY:** Okay. And is the --

10 and that the highest point of any undulation is no lower

11 than the driveway elevation? Am I -- am I confusing

12 you?

13 **MR. POWELL:** So say that again. The highest

14 elevation of those undulations --

15 **COMMISSIONER PASSOVOY:** Okay, so the

16 undulations are like this (indicating) --

17 **MR. POWELL:** Uh-huh.

18 **COMMISSIONER PASSOVOY:** -- up and down and

19 up and down. Where the driveway essentially flattens

20 that series of undulations, it makes it a straight line.

21 **MR. POWELL:** Right.

22 **COMMISSIONER PASSOVOY:** Is it fair to say

23 that the highest point of any undulation is no -- is not

24 lower than the driveway? So the driveway, the highest

25 point of the driveway is no higher than the highest

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1 level of this series of undulations.

2 **MR. POWELL:** Yes.

3 **COMMISSIONER PASSOVOY:** Okay.

4 **MR. POWELL:** That is correct.

5 **COMMISSIONER PASSOVOY:** Okay.

6 **MR. POWELL:** In most cases those highs --

7 **COMMISSIONER PASSOVOY:** Would be -- would be

8 lower. But I just -- just -- it flattens it out so in a

9 sense it is a berm. But the berm is no higher than the

10 highest undulation that exists out there. Okay.

11 **COMMISSIONER CARTER:** To follow up on that,

12 did you say that the driveway is below BFE?

13 **MR. POWELL:** Yes.

14 **COMMISSIONER CARTER:** By how much?

15 **MR. POWELL:** So if we go back to that -- the

16 base flood elevation in this -- this stretch is 5786.5

17 or .7, somewhere in that range. So it's over 86 point

18 something. And so there are areas that are outside of

19 the floodplain. So the floodplain is actually -- the

20 hammerhead turnaround is outside the floodplain, the

21 mapped area. And so as you move around towards the

22 residence, the residence has to be built two feet higher

23 than the BFE. And so there is -- that driveway will

24 increase as you approach the residence. And so there

25 are -- but the majority of the driveway within the

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1 floodplain is lower than the BFE.

2 **MR. McGRAW:** The 86 number, point something,

3 was that the BFE or was that the driveway elevation?

4 **MR. POWELL:** That is the BFE elevation.

5 **MR. McGRAW:** It would be at the property

6 line?

7 **MR. POWELL:** Yes.

8 **CHAIR MORROW:** We're good? Nothing else?

9 **THE COMMISSIONERS:** (No response.)

10 **CHAIR MORROW:** Okay. Thank you.

11 **MR. POWELL:** Thank you.

12 **MR. JOHNSON:** So, Chairman and

13 Commissioners, there will be a rebuttal from the

14 Appellant, but this might be a good time if you have --

15 if you already know you have questions, if you want to

16 ask them now so that the Appellant can deal with them in

17 rebuttal at one time rather than end up going back and

18 forth, if they're sort of pressing questions. Or, if

19 you just want to go straight to the a Appellant

20 rebuttal?

21 **CHAIR MORROW:** I'm good for -- I'm going to

22 assume --

23 **COMMISSIONER PASSOVOY:** (Inaudible)

24 questions --

25 **CHAIR MORROW:** Yeah, I have comments but

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1 mostly in deliberation, so --

2 **MR. SLETTE:** Thank you. Gary Slette, again,

3 for the Osbornes. I think what you heard was a great

4 engineering analysis of the east channel as referenced

5 by Mr. Osborne during his comments. But I believe it

6 was the elevation raise of the west channel that was of

7 profound concern for him and his wife with regard to the

8 impact on their property.

9 As we sit here looking at a piece of paper,

10 it really bears out what my suggestion was earlier: Is

11 this an opportunity where the Commission avails itself

12 of the chance to actually look at the property

13 physically on site so you understand how much that raise

14 is going to occur near the hammerhead and the west

15 channel. So I'm going to make that suggestion again to

16 the Commission. Certainly in my experience in other

17 jurisdictions, on-site reviews are not out of the

18 ordinary, and I'd urge you to do that.

19 I would agree with Ms. Strollo that it is

20 important for the Commission to follow the code. And

21 that's why we have referred in our memorandum to Section

22 **17.88.050(E)(21):** "Where development is proposed that

23 impacts any wetland, the first priority shall be to move

24 the development from the wetland area." And I guess

25 that's where standard of review issues arise, whether

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1 you call it an error or an abuse of discretion or what

2 have you. But I ask -- and not rhetorically -- where is

3 consideration given to moving the development from the

4 wetland area with regard to the driveway? And I ask

5 again, where does this one-to-one ratio come into play?

6 Because it just seems like, okay, what we're going to

7 do, we'll fill up and create the berm area next to the

8 Osbornes' property, and we'll dig a hole somewhere else

9 and we'll call that a one-for-one exchange. But it's

10 the location of where that's done that matters most, not

11 the mere fact that a cubic yard here equals a cubic yard

12 there.

13 I would also agree with Ms. Strollo that the

14 home is to be located out of the flood area, as Zack

15 (sic) just indicated to you. That's certainly a code

16 requirement. Our concern is that the driveway is not.

17 It's great that the culverts are planned for a 50-

18 percent clog factor. But what happens when it's a 100-

19 percent clog factor?

20 And I guess that kind of begs the question,

21 like Ghost Busters: Who are you going to call? Who are

22 the Osbornes going to call? Are they going to call

23 their neighbor and say, you know what the city said:

24 You have to maintain it. And if they don't have their

25 phone number, do they call the Planning and Zoning

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1 office, or the Building Department, or the mayor, or

2 Neil? Who is going to be the response team that gets

3 out there and takes care of matters? Because I just

4 don't see it happening.

5 So under the authority of the Commission,

6 under 17.144.010(C), you can affirm, reverse, or modify

7 in whole or in part, the decision or determination of

8 the administrator, and that's what we are asking you to

9 do tonight.

10 But if you feel that some helpful

11 information can be gleaned from a site review, I urge

12 you to do that. And judging by the scope of the

13 questions that I heard around this table, it certainly

14 appears to me that it would be helpful to know, okay,

15 here is the east channel; here is the west channel; here

16 is the BFE; here is the height of the proposed driveway.

17 Then and only then will I think you can really -- well,

18 I went out there and saw it. That's when I understood

19 it.

20 So that's my pitch, and I'm happy to stand

21 for questions.

22 **CHAIR MORROW:** Thank you, Mr. Slette.

23 **COMMISSIONER PASSOVOY:** I have a question

24 for you, Mr. Slette. On the last picture that was

25 shown, that shows the driveway with the hammerhead and

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1 the location of the three culverts, what portion of that

2 section of the driveway is -- are you -- is your client

3 claiming blocks the west channel? Because I don't see

4 that little -- I don't see that on this. How would you

5 locate the west channel? It's -- it's page 160 -- page

6 160 of the 221 pages in our packet.

7 **MR. SLETTE:** If I could, I would like Mr.

8 Osborne to respond to that technical --

9 **COMMISSIONER PASSOVOY:** Either one, I just --

10 **MR. SLETTE:** Like you, it's beyond my pay

11 grade.

12 **COMMISSIONER PASSOVOY:** I need to -- to be

13 able to picture this.

14 **MR. SLETTE:** Sure. Here is a pen if you

15 need that.

16 (Two speakers at the same time.)

17 **COMMISSIONER PASSOVOY:** Yeah, where -- okay.

18 We've dealt with the issue of the east channel. Where

19 is the west channel on here?

20 (Mr. Osborne off mic.)

21 **UNIDENTIFIED AUDIENCE:** Use the microphone.

22 **MR. OSBORNE:** Okay. So what you can see is

23 you can see what is referred to as the shed, which is,

24 in fact, the fishing cabin that we showed you the photos

25 of. And I'll walk over and do this on that side if it's

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1 necessary. So the east channel flows here (indicating).  
 2 The west channel flows here (indicating). And here, the  
 3 driveway elevation is 8725 and 87 feet, versus existing  
 4 condition, this kind of triangular line there is 85. So  
 5 I'm not entirely sure where the statement that says "at  
 6 no point is the driveway higher than the grade," I don't  
 7 know where that comes from because this is 85, and this  
 8 86, and the driveway is 87 and quarter and 87 at that  
 9 point where the west channel --  
 10 **COMMISSIONER PASSOVOY:** You said 85 on here?  
 11 **UNIDENTIFIED AUDIENCE:** (Inaudible, off  
 12 mic).  
 13 **MR. OSBORNE:** Yeah, okay. So it doesn't  
 14 show -- yeah, no, that's fine. It doesn't show on this  
 15 rendering. But if you go to the existing conditions,  
 16 you can actually read what these elevation lines are.  
 17 That elevation line is 85. And that elevation line is  
 18 86 (indicating).  
 19 **COMMISSIONER PASSOVOY:** Thank you.  
 20 **MR. OSBORNE:** You're welcome.  
 21 **CHAIR MORROW:** Is there are questions? If  
 22 not we can --  
 23 **MR. JOHNSON:** So --  
 24 **CHAIR MORROW:** Go ahead.  
 25 **MR. JOHNSON:** -- Mr. Chairman, Commissioners , I

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1 just want to know one thing: The Appellant has thrown  
 2 out the idea of a site visit. I just need to caution,  
 3 from the legal side, that's essentially gathering new  
 4 information. If you have a concern about whether the  
 5 site was accurately visited by staff as some sort of  
 6 error, the appropriate thing to do is remand that back  
 7 to staff to take those steps. And that may be a  
 8 question you want to ask staff about. But I just want  
 9 to be clear, this is the hard part. You're not doing  
 10 the technical part here.  
 11 **CHAIRMAN MORROW:** Right.  
 12 **MR. JOHNSON:** It's a review on appeal.  
 13 **COMMISSIONER PASSOVOY:** It helps to  
 14 understand the --  
 15 **CHAIR MORROW:** Well, that's my question.  
 16 **MR. JOHNSON:** I totally get it. But I -- I  
 17 just always -- as city attorney when I hear site visits,  
 18 I have to put that in. And I know -- absolutely  
 19 understand how it can help the Commission. But  
 20 particularly in this case on an administrative appeal,  
 21 that would be brand new information. That's not --  
 22 **MR. SLETTE:** I assume that staff probably  
 23 was on the property and had a chance to inspect it. So  
 24 to me, that would not constitute new evidence if the  
 25 staff had seen what I'm asking the Commission to see.

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1 And to me, the thing about a site visit from a due  
 2 process perspective, what it entails is notice of the --  
 3 of the site visit. So it's easily done. And again, I  
 4 think at the site, if the staff saw it and that helped  
 5 them render their decision, certainly, it's not  
 6 something new for the Commission to consider.  
 7 **CHAIR MORROW:** Thank you. All right.  
 8 Anybody have thoughts about this?  
 9 **COMMISSIONER CARTER:** I'm reading --  
 10 **COMMISSIONER PASSOVOY:** Are we now in the  
 11 deliberation phase?  
 12 **CHAIR MORROW:** I believe we are, yes.  
 13 **COMMISSIONER PASSOVOY:** Okay. I just want  
 14 to make sure.  
 15 **MR. CARTER:** I'm reading that the primary  
 16 issue here is that the Appellant claims that the  
 17 Planning and Building Department did not evaluate  
 18 alternatives for the proposed development. "Despite a  
 19 significant change made to the proposed driveway, the  
 20 Planning and Building Department has only sought to  
 21 remediate the resulting flawed plan and not requested or  
 22 evaluated alternative locations for the driveway."  
 23 That seems to be the issue here, not whether  
 24 or not the plan is a good plan, but whether or not the  
 25 planning department sufficiently evaluated alternative

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1 locations.  
 2 **COMMISSIONER PASSOVOY:** So do we ask the  
 3 Planning Department --  
 4 **COMMISSIONER CARTER:** So how can we -- I  
 5 mean, I think that that seems to be the crux of the  
 6 issue here, or at least the claim.  
 7 **MR. McGRAW:** My question to that would be,  
 8 is it their responsibility, or if the applicant has  
 9 afforded a suitable plan that meets code, meets  
 10 engineering, is it the city's job to --  
 11 **COMMISSIONER CARTER:** Evaluate the  
 12 alternative?  
 13 **MR. McGRAW:** -- evaluate alternatives?  
 14 (Multiple people speaking at the same time.)  
 15 **COMMISSIONER PASSOVOY:** I think that's what  
 16 the code requires.  
 17 **COMMISSIONER CARTER:** Because the code says  
 18 "Where development is proposed that impacts any  
 19 wetlands, the first priority shall be to move the  
 20 development from the wetland area."  
 21 **MR. McGRAW:** Okay.  
 22 **COMMISSIONER CARTER:** "Mitigation strategies  
 23 shall be proposed at the time of application that  
 24 replace the impacted wetland in equal amount and quality  
 25 of new wetland area or riparian habitat improvement."



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1           **COMMISSIONER PASSOVOY:** So can -- Matt, do  
 2 we -- is this -- can we ask the staff if they --  
 3           **MR. JOHNSON:** Yeah, you can ask the staff  
 4 that question.  
 5           **COMMISSIONER PASSOVOY:** So my question to  
 6 the staff is, did you discuss -- did you consider  
 7 alternative locations of the driveway --  
 8           **MR. CRUTCHER:** Yes, that --  
 9           **COMMISSIONER PASSOVOY:** -- and discuss those  
 10 with the applicant? And would you tell us about that.  
 11           **MR. CRUTCHER:** Staff looked at the proposal  
 12 and the residence being located within the letter of map  
 13 amendments. Which took the property outside of the  
 14 floodplain seemed to be the most appropriate location  
 15 for the residence. And then with the requirement of a  
 16 hammerhead turnaround by the fire department pushing the  
 17 driveway up to the north, that seemed to be the best  
 18 approach for getting access to the letter of map  
 19 amendment area.  
 20           **COMMISSIONER PASSOVOY:** So the location of  
 21 the house or the development dictated the location of  
 22 the driveway?  
 23           **MR. CRUTCHER:** That's correct.  
 24           **MS. LANDERS:** And just to clarify, the  
 25 location of the house wasn't necessarily the choosing of

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1 the owner. It was a LOMA that had already been  
 2 approved. So, you know, that was a condition that was  
 3 kind of existing in place. And I think when Adam and I  
 4 reviewed that, the effort was to keep the majority of  
 5 the development outside of the floodplain. Because if  
 6 we were to move the location of the home, you'd be  
 7 putting it outside of the floodplain and into the  
 8 floodplain. And so there was a discussion around  
 9 alternatives. It isn't necessarily documented in kind  
 10 of multiple scenarios as part of the development  
 11 application, but those discussions did occur.  
 12           **COMMISSIONER PASSOVOY:** Okay. Thank you.  
 13           **COMMISSIONER CARTER:** Was there a  
 14 consideration of leaving the driveway where the existing  
 15 driveway is? Or how was the location of the existing  
 16 driveway considered?  
 17           **MR. CRUTCHER:** Well, the fire department  
 18 required a hammerhead turnaround access that was not  
 19 present with the current driveway configuration due to  
 20 fire department code. And so that configuration is the  
 21 result of the fire department requirements.  
 22           **COMMISSIONER PASSOVOY:** Okay. I -- I'm not  
 23 sure how this fits in. So, Matt, I would need your  
 24 guidance on this. But it seems to me that we could have  
 25 as an additional condition a requirement -- what I see

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1 in terms of the monitoring that the -- the imposition on  
 2 the owner for maintenance is of the wetlands. I don't  
 3 see anything in there about the culverts. And it seems  
 4 to be very reasonable to me asking the owner to be  
 5 responsible for maintaining the culverts and keeping  
 6 them clear, and giving the city and the neighboring  
 7 property owner the right if the culverts are not cleared  
 8 and flooding occurs, and is not addressed by the owner,  
 9 that one or both of those parties can go on the  
 10 property, clear out the culverts and collect  
 11 reimbursement from the property owner.  
 12           It's not an uncommon requirement and I'm --  
 13 I'm wondering if is that something that we send it back  
 14 to the Planning Commission -- I mean, the planning staff  
 15 -- to fix? Or is -- can it be required as part of our  
 16 deliberation?  
 17           **MR. JOHNSON:** So I think what you want to do  
 18 is you want to look at Condition 15 on the Floodplain  
 19 Development Permit --  
 20           **COMMISSIONER PASSOVOY:** Right.  
 21           **MR. JOHNSON:** -- which is where this comes  
 22 in --  
 23           **COMMISSIONER PASSOVOY:** Yes.  
 24           **MR. JOHNSON:** -- if you wanted to amend the  
 25 permit to add some clarifying language. I will say

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1 this: That Condition 15 is already requiring the  
 2 property owner to maintain the culverts and the permit  
 3 runs with the property.  
 4           **MS. PASSOVOY:** I missed that. I didn't see  
 5 that on --  
 6           **MR. JOHNSON:** So there is -- there is  
 7 enforcement. And sort of this question has been thrown  
 8 out, you know, what do we do if the neighboring property  
 9 owner had a concern? They would have the ability to  
 10 call the city. That triggers the city has that  
 11 authority to inspect. Notice of the property owner,  
 12 you're required to maintain this under your Floodplain  
 13 Development Permit, and that property owner has to  
 14 comply with that. And there's further enforcement  
 15 mechanisms under code and flood regulations in terms of  
 16 in emergency situations the city has more leeway to go  
 17 in and invade a nuisance or clear a floodway. I'd be  
 18 hesitant, from the legal side, to add any kind of  
 19 neighboring property owner and --  
 20           **COMMISSIONER PASSOVOY:** That's between the  
 21 two parties and I wouldn't --  
 22           **MR. JOHNSON:** Yeah, that one --  
 23           (Two people speaking at the same time.)  
 24           **COMMISSIONER PASSOVOY:** That's for them to  
 25 figure out, yeah, okay.

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1           **MR. JOHNSON:** But the -- Susan, your real  
 2 question about process, I would look at this Condition  
 3 15. If you feel like it's satisfactory, you're good.  
 4 If you feel like it needs some addition, that would be  
 5 in the realm of the Commission's ability to modify.  
 6           **COMMISSIONER PASSOVOY:** So then I need some  
 7 help because I have been through this whole package and  
 8 I must have missed that Condition 15.  
 9           **MR. CRUTCHER:** It's on page 76.  
 10          **COMMISSIONER PASSOVOY:** Thank you. Somebody  
 11 else go ahead if you --  
 12          **MS. LANDERS:** It's attachment D. It's on my  
 13 page 119 of 264.  
 14          **CHAIR MORROW:** Yeah.  
 15 (Multiple speakers at the same time.)  
 16          **COMMISSIONER PASSOVOY:** What came to us --  
 17          **CHAIR MORROW:** Yeah.  
 18          **COMMISSIONER PASSOVOY:** Okay. Can you put  
 19 it up there, Adam? Is it possible? Thank you.  
 20          **MR. CRUTCHER:** It's up on the screen, too,  
 21 Susan.  
 22          **COMMISSIONER PASSOVOY:** Okay. It's easier  
 23 for me to read here actually. Never mind, that's my --  
 24          **CHAIR MORROW:** My problem with this one is  
 25 only -- yeah, that process works. You call the city.

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1 They come and inspect it. But in the middle of a 100-  
 2 year flood when their living room is full of water,  
 3 that's not enough. You know, I just -- these are --  
 4           You know, what if the person who buys the  
 5 house says screw you, litigate, you know? We don't care  
 6 what you do. We don't care what the city says. We're  
 7 not going to do anything. Let them sue us. I need more  
 8 -- you know, to put it right on their property line? If  
 9 it were halfway down and there was some leeway, but  
 10 there's no leeway here. If it backs up in a 100-year  
 11 flood, it's on their property right-of-way. There's no  
 12 -- and getting a guy to come out in a 100-year flood  
 13 when it's underwater, to come and clean these culverts,  
 14 you know, it's litigation for them. It's litigation  
 15 against the city. It -- we're setting ourselves up for  
 16 someone who buys the house and they go, I've got a ton  
 17 of money. Screw you, I'll do whatever I want. And if  
 18 it means not cleaning the culverts, then I won't clean  
 19 the culverts and you can sue me. And three years later  
 20 when it gets done, you know, their house is ruined, or  
 21 their historic cabin has floated away.  
 22           And for me, it's not enough. It's not  
 23 enough to say it doesn't -- you know, Susan said, there  
 24 were ridges and elevations and so there were places --  
 25 yes, the top elevation may be is the top elevation. But

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1 now you've gotten rid of any of that other contour.  
 2           I am concerned about the west channel, which  
 3 doesn't seem to have any outlet compared to the east.  
 4 So it's going to run right into the house or right into  
 5 the --  
 6           The rules say it can't affect neighboring  
 7 properties, and that's what I'm stuck on. Is that --  
 8 here it's a lot of we've got this model. Well, if  
 9 Brockway is willing to insure the property, that their  
 10 model is right -- I guarantee they aren't -- but if  
 11 they're willing to say, yes, if it does what -- you know  
 12 something our model didn't say, then we'll pay for the  
 13 insurance.  
 14           You know, but I think you're just -- you're  
 15 -- you know, we're setting ourselves up for what we know  
 16 is going to happen, which is when these big floods come  
 17 up where it's flooded not just to their house, it's  
 18 flooded onto, you know, Bordeau, and it's flooded well  
 19 up into the neighborhood. You know, having that -- I  
 20 just -- our models say this and our -- you know, our  
 21 stuff says that. They're guesses.  
 22           And if you're waiting for the city to  
 23 enforce it during a 100-year flood, for me it's not  
 24 enough. What happens if it does impact the neighbors  
 25 and not just these neighbors? What happens if it -- you

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1 know, if something -- if the culverts aren't cleaned and  
 2 something happens, who is responsible, you know?  
 3           And I could find error in not using the most  
 4 recent FEMA maps to say this is no longer floodway.  
 5 This is now floodplain. So I get that. But my concern  
 6 really isn't -- it's that the design -- and I was -- you  
 7 know, because it's been three years, we were told we  
 8 can't be asked to redesign the site. That's, you know,  
 9 not true.  
 10          So my concern is less of that and more that  
 11 we're creating something that in the future is going to  
 12 be a really big problem that we could avoid. And so I'm  
 13 not sure how that happens. But it makes me really  
 14 uncomfortable that our models say this and our models  
 15 say that.  
 16          I've been down there during the floods in  
 17 2017. I walk my dog down in that area all the time and  
 18 it's -- half of those houses shouldn't have been built  
 19 on Wood River or on Williams. You know, they're in the  
 20 frickin' floodplain or in where the river brings its  
 21 water back down.  
 22          So my concern is we don't make it worse.  
 23 And that's not for you guys as much as for you guys  
 24 that, you know, this needs -- we really need to make  
 25 sure this is done right. Because if it floods next

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1 year, the year after, it's built as a spec for sale. I  
 2 hate to say it, but there's a lot of rich people who  
 3 would come in and go, you're property flooded. Sue me.  
 4 That's a six-year process or a seven-year  
 5 process to go through litigation. It's expensive. I  
 6 don't want to make a decision that essentially puts that  
 7 down the road as an obvious, you know, it's definitely  
 8 going to happen. So I'm looking for some alternatives  
 9 -- and, you know, we heard Mr. Osborne even tell us what  
 10 those were -- but some logical alternatives to putting  
 11 three huge culverts on their property line and hoping  
 12 that the water doesn't back up if something happens.  
 13 So to me that seems like a, you know, a wish and a  
 14 prayer. But that's just my -- this is -- for all you  
 15 guys, that's just my feeling about this.  
 16 **MS. LANDERS:** Mr. Chairman, may I just add a  
 17 point of --  
 18 **CHAIR MORROW:** Sure.  
 19 **MS. LANDERS:** -- clarification? So about  
 20 the draft FEMA maps, the only reason that there's a  
 21 change on this property is because in the new draft  
 22 maps, FEMA hasn't carried over the data of previously  
 23 approved LOMAs into the data set. So the change of the  
 24 map is not a result of the change of flooding condition  
 25 on the property. It's just simply that the data -- all

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1 of the data hasn't been incorporated; that's why they're  
 2 still draft.  
 3 **CHAIR MORROW:** Yeah. And I'm just using it  
 4 as a, you know, people like go "you can't find an  
 5 error." I've been a lawyer a long time. We can find an  
 6 error anywhere we want. But that's my point, that it's  
 7 not really about that for me. It's more about that  
 8 we're not saying, you know, oh, it's fine. It will be  
 9 fine. And then say it will be fine. And we have no  
 10 mechanism for when it's not fine. And then suddenly  
 11 we've got, I'm suing the city because we made this  
 12 decision. And I'm suing their neighbors because they  
 13 haven't done what they're supposed to, and the city  
 14 doing whatever they can to the neighbors, which may or  
 15 may not be anything for their lack of ability to fulfill  
 16 their responsibilities.  
 17 So it just -- you know, that's my fear here.  
 18 It's not so much that the driveway is a levy, although,  
 19 it kind of, you know, looks like it. It's more that  
 20 what happens when we approve this and then something  
 21 happens and the owners of this new very expensive house  
 22 says, screw you? You know, we're not doing any of this.  
 23 And we don't have a mechanism for that. So  
 24 I want to make sure that the development is right and  
 25 that, you know, we do the best we can to make sure it

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1 works before we approve it. That's just my feeling.  
 2 **COMMISSIONER PASSOVOY:** Morgan, you answered  
 3 my question about whether or not you guys have looked at  
 4 this draft and whether you think there's anything  
 5 significant that would -- that would have affected your  
 6 decision were it actually finalized. And what I'm  
 7 hearing is, no, there isn't.  
 8 **MS. LANDERS:** Yeah, and I can let Adam speak  
 9 to that. But Adam and Harmony both track the draft FEMA  
 10 process very, very closely.  
 11 **COMMISSIONER PASSOVOY:** Uh-huh.  
 12 **MS. LANDERS:** We've looked at every single  
 13 floodplain development permit and we've compared our  
 14 existing BFEs with the draft BFEs. And usually in  
 15 instances where there's any change in the BFE, then we  
 16 usually go with the most conservative. You know, but we  
 17 do track that process very quickly and we -- you know,  
 18 we take it very seriously.  
 19 **COMMISSIONER PASSOVOY:** Okay. Well, then --  
 20 then to follow on what Neil is saying, I -- I understand  
 21 that completely. It's -- I -- I'm trusting that the  
 22 engineering data is the best available. I mean, we have  
 23 to make everyone in development -- or in any other area,  
 24 you know, flying a plane -- you have to just go with you  
 25 best data available. It's never going to be -- be

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1 perfect in some other realm. It is as perfect as it can  
 2 be in our realm. So I'm satisfied with the engineering.  
 3 The question that I have is the one with --  
 4 that Neil has raised. Is that I'm concerned that if it  
 5 is true that there is some risk of the west channel  
 6 being backed up, and if the culverts are not kept clear,  
 7 there is a theoretical enforcement mechanism. But is  
 8 there in real life an enforcement mechanism? And is  
 9 this the best possible engineering solution to the risk  
 10 that has been identified? Or, are the engineers telling  
 11 us that they have determined that notwithstanding the  
 12 difference in elevation between the west channel and the  
 13 hammerhead, that there is no risk of flooding, or  
 14 backwater, backwash, or whatever you want to call it,  
 15 from that hammerhead?  
 16 **MS. LANDERS:** Yeah, and I think, you know,  
 17 there's been a lot of technical information provided to  
 18 you all. I think there was a lot of focus on the  
 19 eastern portion of the property. But the project is  
 20 required to be looked at in totality.  
 21 **COMMISSIONER PASSOVOY:** Uh-huh.  
 22 **MS. LANDERS:** And so when we look at impact  
 23 on adjacent property, it's not a just one single point  
 24 or one single other point. It's in totality for the  
 25 development as a whole. So that does get considered.

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1 I think it is, you know, easy to kind of gravitate to  
 2 specifics as kind of areas of concern. But it does --  
 3 it is looked at kind of in its whole.  
 4 I think the last comments that I will make  
 5 is that debris is always a concern in flooding. That's  
 6 a comment that's been made. Large debris that -- that  
 7 blocks culverts on a large scale, like the ones provided  
 8 in the Appellant packet happen within the floodway when  
 9 you have large downed trees, you know, things like that.  
 10 These -- this area -- and Adam you can correct me if I'm  
 11 wrong -- sees a lot of kind of sheet flooding of water  
 12 come through. It isn't necessarily in a debris flow  
 13 area.  
 14 So from staff's perspective, we aren't  
 15 concerned about clogging of the culverts. We did the  
 16 extra 50 percent assumption on the culvert because the  
 17 Commission remanded back. We would not normally have  
 18 run a model like that, and so we do feel that concern.  
 19 On the enforcement side -- you know, the condition is  
 20 written in a really strong way that gives us a lot of  
 21 opportunity to enter the property when there's areas of  
 22 concern. It's not just planning staff. It's any member  
 23 of our inspection team. So during flooding conditions  
 24 that may be Adam. That may be the water and waste water  
 25 department. And those are in situations where we can

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1 enter the property at any reasonable hour for the  
 2 purpose of inspection or other enforcement action.  
 3 So you know I -- in flooding conditions, we  
 4 get a lot of cooperation from property owners, right,  
 5 because they're trying to protect their property.  
 6 They're trying not to run the risk of downstream  
 7 implications or upstream implications. For the most  
 8 part, it is our most engaged time of the year when it  
 9 comes to property-owner cooperation, so --  
 10 **COMMISSIONER PASSOVOY:** So you would have a  
 11 regular inspection, or irregular inspection -- not  
 12 clearing the culverts during a flood -- but checking to  
 13 make sure that they've been maintained; that there  
 14 hasn't been an accumulation over time of small blockages  
 15 which then could create a large blockage? Adam, I'm  
 16 looking at you. This is your project.  
 17 **MR. CRUTCHER:** Yeah, similar to the projects  
 18 down on Wood River Drive that you all have reviewed  
 19 recently, where those also have a system of culverts,  
 20 anywhere where we have culverts or bridges in the city,  
 21 we do go around during flooding years and check, myself,  
 22 the fire department, streets and water and wastewater,  
 23 to check and make sure that those aren't getting blocked  
 24 or impacted in any way by debris. So those are things  
 25 that we do regularly throughout the city in different

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1 areas.  
 2 **COMMISSIONER PASSOVOY:** And not just during  
 3 flooding. I mean, that's my question, is might you have  
 4 an, okay, well, we have to go check 121 Badger Lane to  
 5 make sure that there haven't been small accumulations  
 6 over time that could be a problem if next year is a  
 7 flood year?  
 8 **MR. CRUTCHER:** We start looking before  
 9 overbank flooding occurs, yes.  
 10 **COMMISSIONER PASSOVOY:** Okay.  
 11 **MR. CARTER:** Staff, can you bring up page --  
 12 the last page in the staff report, 221?  
 13 (Next Slide)  
 14 **MR. CARTER:** Is it correct that this shows  
 15 existing conditions out there, more or less?  
 16 **MR. CRUTCHER:** Yeah.  
 17 **MR. CARTER:** And is it correct that that's  
 18 showing a sort of existing driveway location?  
 19 **MR. CRUTCHER:** Yes.  
 20 **MR. CARTER:** Is there an existing -- there's  
 21 an existing driveway on the site?  
 22 **MR. CRUTCHER:** Gravel. So the asphalt has  
 23 been pulled out, but the topography is similar to where  
 24 the driveway used to be when it was still functioning.  
 25 **COMMISSIONER PASSOVOY:** At the gray line?

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1 **MR. CRUTCHER:** Correct.  
 2 **COMMISSIONER CARTER:** Was there an attempt  
 3 made by the design team to design a driveway that worked  
 4 on the existing configuration and a hammerhead that was  
 5 in a different portion of the lot that perhaps didn't  
 6 impact the wetland as much?  
 7 **MR. CRUTCHER:** I believe that would be a  
 8 question for the Applicant.  
 9 **MS. LANDERS:** Tim, it wasn't something that  
 10 was requested by staff. It was just during kind of  
 11 discussions of different alternatives and what was being  
 12 proposed.  
 13 **COMMISSIONER CARTER:** Okay.  
 14 **COMMISSIONER MOCZYGEMBA:** I think if they're  
 15 just trying to do a hammerhead turnaround outside of the  
 16 floodplain, it would be right about where the ADU and  
 17 the pool are.  
 18 But, let's see, I guess my thoughts, so the  
 19 Appellant, you know, came to us last year with concerns  
 20 based on their localized observations, based on owning  
 21 their property for the time that they have. And I  
 22 certainly appreciate that, and we -- I think we all  
 23 agreed that we heard their concern, which is why we  
 24 remanded the application to make sure that all of the  
 25 i's are dotted and t's are crossed.

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1 And I'm certainly empathetic to their  
 2 concerns because flooding is stressful and warrants a  
 3 lot of hand-ringing when you own a property by the  
 4 river. And while everything can't be predicted in a  
 5 model, you know, we have to -- I think we still have to  
 6 rely on that modeling data. We've been through this  
 7 before with Bruce and his avalanche reports where he's  
 8 taking the best of what there is. But that's not to say  
 9 there's a portion of a hill that may slide that wasn't  
 10 anticipated. And I think the same situation could  
 11 happen here.

12 You know, when we talk about alternatives,  
 13 the best alternative is no developments. But,  
 14 nonetheless, I think in my mind we've -- I appreciate  
 15 the staff and Applicant's time and resource that has  
 16 been sent -- has been spent to reevaluate and, on the  
 17 Applicant's side to provide additional study. And being  
 18 a layperson, I would rather rely on Jennifer Zon (ph)  
 19 from Harmony, Adam's opinion, and the data that was  
 20 provided, in addition to the original data that was  
 21 provided that was deemed sufficient during the first  
 22 staff review.

23 So in my mind, I think we've exhausted the  
 24 analysis that can be done. And you really just cannot  
 25 predict the unknowns, as much as we may try to control

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1 the river and all of that.

2 **COMMISSIONER PASSOVOY:** I'm at the point  
 3 where I can make a decision. Matt, did you have  
 4 anything to add?

5 **MR. McGRAW:** Yeah, I think just to go back  
 6 on some things that Neil has said. This is an  
 7 inherently more hazardous place to build and thus we  
 8 hold it to higher standards. There are so many things  
 9 that could go wrong in a place like this. Regardless of  
 10 whether or not this property is developed, disaster can  
 11 strike next door. For things that, you know, we do not  
 12 model for, that could lead to a larger discussion about,  
 13 you know, what and how we build in places like this.

14 But, you know, the question is, if the  
 15 standards we have for this Applicant today have been  
 16 met? But that's what we can do. I think that other  
 17 conversation is really important to have.

18 **COMMISSIONER PASSOVOY:** Put that on the  
 19 list.

20 **MR. McGRAW:** Yeah, right.

21 **COMMISSIONER CARTER:** I don't doubt that the  
 22 engineering is correct. I think the question before us  
 23 is whether -- whether an alternate proposal -- a more  
 24 appropriate alternate proposal -- was considered. And  
 25 looking at the map that we have above us of the current

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1 conditions on the site, I do wonder whether an alternate  
 2 design that's more appropriate and less impactful to the  
 3 neighbors and meets the spirit, meets the letter of the  
 4 code is possible.

5 **CHAIR MORROW:** That's real easy because I'm  
 6 with Tim. I'd just like to see if a redesigned driveway  
 7 -- because we're not talking about redesigning the  
 8 house. We're just really talking about redesigning  
 9 getting to the house. Let's see if that could be less  
 10 impactful to the neighbors. I think I'd be interested  
 11 in that, too, so that would be a remand for a redesign.

12 **COMMISSIONER PASSOVOY:** And I actually, if  
 13 you take that -- I mean, it may require some redesign of  
 14 the house, which was my question. Is if the design of  
 15 house -- the design and placement of the house is  
 16 dictating where the driveway goes. And maybe that  
 17 approach should have been, or we should ask the  
 18 Applicant to -- I mean, I know this has been a long and  
 19 expensive process. But since this was raised as a  
 20 problem early on, I would -- I would have liked to have  
 21 seen them say, well, maybe the way we've designed and  
 22 located the house should be reevaluated so that we don't  
 23 have this problem of the driveway and the hammerhead  
 24 right along the northern property line. It's sort of  
 25 the once again, you know, what forces the decision?

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1 Which part of the design forces the decision?

2 **CHAIR MORROW:** Yeah, I mean, it is a long  
 3 process. But we really do have to seriously take and  
 4 consider the neighbor's property rights and how our  
 5 decision affects, or could affect, their property. And  
 6 so that's kind of why we're stuck here, I think, which  
 7 is -- you know, I'd like to say obviously there was no  
 8 reason for Adam to look for an alternative so he didn't.  
 9 It fit. It was fine. I think we've come to a point  
 10 that it would be nice to see if there is a less  
 11 impactful alternative.

12 **COMMISSIONER PASSOVOY:** But does that rise  
 13 to the level of a claimed error or abuse of discretion?  
 14 That's what --

15 **CHAIR MORROW:** I guess -- and, again, like I  
 16 said with the error, you know, is it an error not to  
 17 evaluate alternative locations? Maybe it was, maybe it  
 18 wasn't. You know, at this point it appears like it was.  
 19 But, you know, when Adam first looked at it, there was  
 20 no reason for him to go, hey, let's see six other  
 21 driveway locations, you know, or six other house  
 22 placements. So I think that's kind of a hard -- you  
 23 know, are we within our right to do this? Yes, I think  
 24 so.

25 **MR. McGRAW:** I think that for there to be --

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1 the error to be large enough for someone to say that  
 2 this needs further consideration, there has to be some  
 3 evidence, other than colloquialisms, that there are  
 4 damages; that the standards are inadequate or being  
 5 incorrectly applied. You know, hard evidence as has  
 6 been provided by the Applicant to say that they've met,  
 7 you know, the standard, some benchmark to say that it's  
 8 insufficient by, you know, the rules that we decided it  
 9 needs to be judged by. I -- I don't feel like I've  
 10 heard that.  
 11 **COMMISSIONER PASSOVOY:** That's an excellent  
 12 point, Matt. I guess what I -- I would say, I mean, I  
 13 don't see an error or an abuse of discretion. I only  
 14 can say that I wish in the earlier stages as we went  
 15 forward -- it's not up to me to tell somebody how big a  
 16 house to build or anything -- but the Applicant might  
 17 have said -- or the staff might have said to the  
 18 Applicant, you know, this driveway location, as required  
 19 by the -- not the location but the elements of the  
 20 driveway as required by the fire department are going to  
 21 -- might very well cause a problem for the property  
 22 owner. Why don't you go back to your -- just as we sent  
 23 AURA (ph) back -- why don't you go back and maybe see if  
 24 you can redesign this house plan so that the driveway  
 25 can be located elsewhere. They didn't do that. But I

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1 don't think that rises to the level -- or maybe they did  
 2 do that in conversation. But I don't think that what  
 3 was done or not done rises the to the level of an error  
 4 or abuse of discretion.  
 5 **COMMISSIONER MOCZYGEMBA:** Yeah, I think  
 6 Matthew brings up a good point. And I kind of stick  
 7 with my original thought that I would -- I'm leaning  
 8 towards affirming the decision. Again, we can look for  
 9 alternatives for days. The best alternative is to not  
 10 develop the lot. But I think this is a tricky lot.  
 11 It's a flag lot that's hemming in the driveway for --  
 12 well, a lot of feet. And then it has essentially  
 13 low-lying wetland and floodplain at a diagonal to the  
 14 other three corners of the lot.  
 15 So, I don't know, I don't think there was  
 16 any error made. And, again, I appreciate the  
 17 reevaluation and the time and resource that has gone  
 18 into providing that evidence.  
 19 **CHAIR MORROW:** So we're thinking about --  
 20 does everybody kind of know where they are?  
 21 **THE COMMISSIONERS:** (No response).  
 22 **CHAIR MORROW:** Okay. I'll take a motion.  
 23 **COMMISSIONER PASSOVOY:** I move that we  
 24 affirm the decision by the planning staff and find in  
 25 favor of the Applicant, is that what we do? Matt, what

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1 do we say?  
 2 **MR. JOHNSON:** Yeah, as a starting point and  
 3 then I'll kind of walk you through how I'd outline --  
 4 You'll get the findings and decision.  
 5 **CHAIRMAN MORROW:** And then we'll be able to  
 6 -- yeah, it will be written.  
 7 **MR. JOHNSON:** I just need to know where we  
 8 are even.  
 9 **CHAIR MORROW:** Yeah.  
 10 **COMMISSIONER PASSOVOY:** Well, that's -- that  
 11 is my -- I don't know if that's a motion or if that's a  
 12 suggested outcome.  
 13 **MR. JOHNSON:** That was a good motion.  
 14 **CHAIR MORROW:** Yeah, good enough.  
 15 **MR. McGRAW:** Second.  
 16 **CHAIR MORROW:** All in favor?  
 17 **COMMISSIONER PASSOVOY:** Aye.  
 18 **MR. McGRAW:** Aye.  
 19 **COMMISSIONER MOCZYGEMBA:** Aye.  
 20 **CHAIR MORROW:** All opposed?  
 21 **MR. CARTER:** Nay  
 22 **CHAIR MORROW:** Nay. Three to two.  
 23 **MR. JOHNSON:** So, Commissioners, based on  
 24 the discussion, usually with an affirm it's a simpler  
 25 decision to write. But I think I will try to

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1 incorporate some level of discussion about concerns on  
 2 the site, but noting that ultimately it appears where  
 3 the Commission arrived at is based upon the remand,  
 4 additional engineering and modeling was done. That's  
 5 been provided. That evidenced certain things to the  
 6 determination of the planning department to arrive at a  
 7 conclusion. The Commission ultimately found there  
 8 wasn't clear error or abuse of discretion in applying  
 9 that, and so therefore affirmed the decision. Does that  
 10 sound like it mostly captures it?  
 11 **CHAIR MORROW:** Yes.  
 12 **MR. JOHNSON:** Okay. So we'll -- I'll draft  
 13 that up and we'll have that for you for hopefully your  
 14 next meeting.  
 15 **CHAIR MORROW:** Just as an off-topic since  
 16 we're kind of on topic, as we rewrite the code, can we  
 17 change that standard of review?  
 18 **MR. JOHNSON:** Yeah.  
 19 **CHAIR MORROW:** Okay.  
 20 **MR. JOHNSON:** It's in city code so --  
 21 **CHAIR MORROW:** Yeah, it could be a little  
 22 more clear. Do you know what I mean? Because it's more  
 23 one of those where we're just tweaking the language so  
 24 it really tells us what we want it to tell us instead of  
 25 the, hey, make it up on your own.

1           **MR. JOHNSON:** Great idea. It makes my job  
2 easier too.  
3           **CHAIR MORROW:** Yeah, and it would be easier  
4 for us. Because as you wrestle with that in your head,  
5 it's like, boy, if it had two more words in here, I'd  
6 know what I was doing.  
7           **COMMISSIONER PASSOVOY:** Matt, may be you  
8 could help us by suggesting some appropriate language as  
9 we update the code.  
10          **MR. JOHNSON:** Sure, yeah.  
11          **CHAIR MORROW:** Staff do you have anything  
12 else for us?  
13          **STAFF:** No.  
14          **CHAIR MORROW:** That's it. So then I will  
15 call the meeting, and I appreciate everyone's time and  
16 attention. And we will be here. We'll see you again.  
17          **STAFF:** Would you mind doing a motion to  
18 adjourn and a second.  
19          **CHAIR MORROW:** I will do a motion to adjourn.  
20          **COMMISSIONER PASSOVOY:** I second.  
21          **CHAIR MORROW:** All in favor?  
22          **THE COMMISSIONERS:** Aye (unanimous).  
23          **MS. LANDERS:** Thanks everybody.  
24          **THE COMMISSIONERS:** Thank you.  
25          (Thereupon, the hearing adjourned at 8:30 p.m.)

1                                   C E R T I F I C A T E  
2  
3       STATE OF IDAHO       )  
4       County of Bonner    )   :  SS.  
5  
6       I, David E. Hix, ASCR, Freelance Court Reporter and  
7       Notary Public for the State of Idaho do hereby certify:  
8  
9       That I was duly authorized to and did report the  
10      testimony and evidence in this cause;  
11  
12      That the foregoing pages of this A/V hearing  
13      transcript constitute a true and accurate transcription  
14      of my stenotype notes from a recording furnished by  
15      others.  
16  
17      I further certify that I am not an attorney nor  
18      counsel of any of the parties; nor a relative or  
19      employee of any attorney or counsel connected with the  
20      action, nor financially interested in the action.  
21  
22      IN WITNESS WHEREOF, I have hereunto set my hand and  
23      seal on this the 13th day of October, 2024.  
24  
25



David E. Hix, ASCR  
Freelance/Official Court Reporter,  
Notary Public, State of Idaho  
My Commission expires: August 16, 2027

<p><b>A</b></p> <p><b>ability (5)</b> 8:11;42:5;64:9;65:5; 70:15</p> <p><b>able (4)</b> 9:6;47:1;56:13;83:5</p> <p><b>above (4)</b> 22:13;32:24;40:25; 78:25</p> <p><b>absolutely (3)</b> 6:17;35:19;58:18</p> <p><b>abuse (13)</b> 29:19,22,23;30:2,4, 12;33:8;34:2;54:1; 80:13;81:13;82:4;84:8</p> <p><b>abuts (2)</b> 18:14,16</p> <p><b>accelerated (1)</b> 18:25</p> <p><b>access (4)</b> 34:13;47:7;61:18; 62:18</p> <p><b>accommodate (2)</b> 21:14;22:23</p> <p><b>accumulation (1)</b> 74:14</p> <p><b>accumulations (1)</b> 75:5</p> <p><b>accurately (1)</b> 58:5</p> <p><b>acknowledgment (1)</b> 13:2</p> <p><b>across (2)</b> 26:3;46:21</p> <p><b>act (1)</b> 47:3</p> <p><b>action (2)</b> 4:13;74:2</p> <p><b>actions (1)</b> 16:15</p> <p><b>activities (2)</b> 7:25;12:13</p> <p><b>acts (1)</b> 35:18</p> <p><b>actually (18)</b> 4:16;5:3;7:5;18:20; 38:21;40:14,18;41:12; 43:10;45:10;46:12,22; 51:19;53:12;57:16; 65:23;71:6;79:12</p> <p><b>Adam (10)</b> 4:5;62:3;65:19;71:8, 9;73:10,24;74:15;80:8, 19</p> <p><b>Adam's (1)</b> 77:19</p> <p><b>add (6)</b> 44:18;48:13;63:25; 64:18;69:16;78:4</p> <p><b>added (4)</b> 21:15;22:23;35:9;</p>	<p>40:16</p> <p><b>adding (1)</b> 22:18</p> <p><b>addition (2)</b> 65:4;77:20</p> <p><b>Additional (12)</b> 5:9;7:23;16:22; 32:16,19;33:1,17; 37:19;44:16;62:25; 77:17;84:4</p> <p><b>address (17)</b> 15:6,8,16;23:4,24; 25:9,11,25;27:11; 31:15;32:21,23,24; 35:11,14;38:17;40:25</p> <p><b>addressed (5)</b> 33:11,23;37:11; 40:20;63:8</p> <p><b>addresses (1)</b> 23:5</p> <p><b>adequate (1)</b> 22:1</p> <p><b>adjacent (10)</b> 8:19;11:19;17:16; 18:5,20;21:8;26:5,12; 46:18;72:23</p> <p><b>adjoining (1)</b> 20:5</p> <p><b>adjourn (2)</b> 85:18,19</p> <p><b>adjourned (1)</b> 85:25</p> <p><b>adjust (1)</b> 7:9</p> <p><b>Administrative (7)</b> 4:4,13,17,18;5:13; 28:14;58:20</p> <p><b>administratively (1)</b> 5:2</p> <p><b>administrator (1)</b> 55:8</p> <p><b>administrator's (1)</b> 32:3</p> <p><b>admirable (1)</b> 8:6</p> <p><b>admits (1)</b> 25:21</p> <p><b>ADU (1)</b> 76:16</p> <p><b>advise (1)</b> 29:11</p> <p><b>affect (2)</b> 67:6;80:5</p> <p><b>affected (2)</b> 5:16;71:5</p> <p><b>affects (1)</b> 80:5</p> <p><b>affirm (4)</b> 6:25;55:6;82:24; 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**In The Matter Of:**

*Re: 2024 Administrative Appeal of Osborns and 121 Badge*

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*Audio Transcription*

*August 13, 2024*

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CITY OF KETCHUM, IDAHO  
PLANNING AND ZONING COMMISSION PUBLIC HEARING

ADMINISTRATIVE APPEAL (P23-014B)  
121 BADGER LANE, LLC

Taken at: 191 5th Street West  
Ketchum, Idaho  
Tuesday, August 13, 2024, 4:30 p.m.

Before: The Planning & Zoning Commission

HEARING TRANSCRIPT

Reported by David E. Hix, ASCR, for M&M Court Reporting,  
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1 A P P E A R A N C E S

2 THE PLANNING & ZONING COMMISSION:

3 Neil Morrow - Chairman

4 Susan Passovoy - Commissioner

5 Brenda Moczygemba - Commissioner

6 Tim Carter - Commissioner

7 Matthew McGraw - Commissioner

8 ALSO PRESENT:

Morgan Landers - Director Planning & Building

9 Abby Rivin - Senior Planner

Adam Crutcher - Associate Planner

10 Paige Nied - Associate Planner

Genoa Beiser - Zoning Technician

11 Heather Nicolai - Assistant to the PB Director

Matthew Johnson - City Attorney

12

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1 Tuesday, August 13, 2024

2 (4:30 p.m.)

3 CHAIR MORROW: This is the Planning and  
4 Zoning Commission meeting for Tuesday, August 13, 2024.  
5 It's 4:30. I will call the meeting to order and do the  
6 roll call: Matthew?

7 COMMISSIONER MCGRAW: Here.

8 CHAIR MORROW: Brenda?

9 COMMISSIONER MOCZYGEMBA: Here.

10 CHAIR MORROW: Susan?

11 COMMISSIONER PASSOVOY: Here.

12 CHAIR MORROW: Tim?

13 COMMISSIONER CARTER: I'm here.

14 CHAIR MORROW: And I'm here. So all  
15 Commissioners are here. We have a Consent Agenda. If  
16 no one has any changes, corrections, typos, I will take  
17 a motion for the whole Consent Agenda.

18 COMMISSIONER PASSOVOY: The button is gone.  
19 Oh, there it is. I move we approve the Consent Agenda.

20 COMMISSIONER MOCZYGEMBA: I'll second.

21 CHAIR MORROW: All in favor?

22 THE COMMISSIONERS: Aye (In unison).

23 CHAIR MORROW: All right. We can move on to  
24 the public hearing part of the meeting.

25 (121 BADGER LANE, LLC, 6:30 p.m.)

1 CHAIR MORROW: All right. We are back in  
2 session. Is it already over? Oh, my God. This is a  
3 recommendation and review and to make a Determination of  
4 Administrative Appeal, P23-014B, for the Floodplain  
5 Development Permit issued at 121 Badger Lane. Adam?

6 MR. JOHNSON: So --

7 CHAIR MORROW: Oh, I guess we're going to go  
8 to Matthew.

9 MR. JOHNSON: Yeah, yeah, Commissioners,  
10 Matthew Johnson, city attorney. This is -- for most of  
11 you, you've been through this process once with this  
12 application, but, Matthew, particularly for you. This  
13 is an administrative appeal action. There's certain  
14 decisions under city code that planning -- planning  
15 staff and really the planning director are authorized to  
16 actually make a decision. However, in those cases, any  
17 time there's an administrative determination, there is  
18 an administrative appeal process whereby that decision  
19 can be appealed up to the next level, which in this case  
20 is from the planning director to the Planning and Zoning  
21 Commission. Likewise, your decision could be appealed  
22 up to the City Council.

23 This particular project with 121 Badger Lane  
24 contemplates a Floodplain Development Permit. This  
25 matter has come before this board previously under the

1 same process. There was a determination of the planning  
2 director that was administratively appealed up to this  
3 board. The Commission didn't actually find an error,  
4 but the result of that one was essentially what I would  
5 call a remand back to staff for further consideration of  
6 the information even though no finding of error.

7           What happened there was essentially it --  
8 for practical purposes it essentially became kind of a  
9 new application. Additional information was received.  
10 The Planning Department came to a new determination on  
11 the Floodplain Development Permit Application. That new  
12 determination has now been appealed up to you. So  
13 that's what's before you tonight on the administrative  
14 appeal.

15           The -- both parties in this case, the appeal  
16 has been filed by an affected party, a neighboring  
17 property owner. It's not by the Applicant. The  
18 Floodplain Development Permit decision at the planning  
19 staff level was for approval for the Applicant. So in  
20 this case, you have an appeal from a neighboring  
21 property owner; that's the Osbornes, who are represented  
22 by Gary Slette as their attorney. He will be here  
23 tonight -- or is here tonight. Sorry Gary. And then  
24 you have the Applicant essentially serving as a  
25 Respondent, and they are represented by Danielle

1 Strollo; Givens, Pursley, who is here as well.

2           We -- through my office, the city attorney,  
3 we essentially worked up a schedule with the Scheduling  
4 Order that was approved by the Commission that provided  
5 opportunity for each of the parties to do essentially  
6 briefing like you would see in a typical case. You're  
7 sitting in a quasi-judicial role. Those briefs have  
8 been provided to you, the first one from the Osbornes as  
9 the Applicant, then a reply from the Applicant, and then  
10 a final response from the -- from the Appellant.

11           The way we do this, you hold a hearing.  
12 It's closer to like a court hearing. You are sitting in  
13 kind of a quasi-judicial capacity, so put your fancy  
14 black wigs and black robes on. And we'll hear first  
15 from the Appellant, represented by Gary Slette; and then  
16 turn it over to Danielle Strollo, a final reply.

17           You absolutely have discretion though to ask  
18 questions, if you think appropriate. It's good to ask  
19 them at the time. I don't believe staff is going to  
20 provide any kind of formal response on this one. But,  
21 obviously, staff is here and available to answer  
22 questions you may have.

23           Ultimately, we -- we ask you to come to  
24 direction on a decision. Options may be, you know,  
25 affirm the determination as it was at the planning

1 director level; reverse it for some reason; or remand  
2 with some kind of comments. And I'm happy to help put  
3 that together.

4           Ultimately, I'll ask you for direction that  
5 enables me to actually draft a document, the draft  
6 findings and conclusions of law and decision, which will  
7 come back to you within 30 days for your final approval.  
8 And you'll, of course, have the chance to amend that,  
9 adjust it as you want. Any questions on process for me?

10           THE COMMISSIONS. (No response).

11           MR. JOHNSON: All right. I'll turn it back  
12 over to the Chair, and it would be to call Mr. Slette.

13           CHAIR MORROW: Just make sure that mic is on  
14 when you step up there, Gary.

15           MR. SLETTE: Good evening, Members of the  
16 Commission. My name is Gary Slette. It's nice to be  
17 back in front of you again with regard to this appeal.  
18 I'll introduce my clients, Stephanie and Nick Osborne.  
19 They are the neighbors of the Applicant's property. And  
20 I'm sure you probably recall them from the last  
21 go-round. I intend to make some brief -- I promise --  
22 opening comments, and then Mr. Osborne wishes to  
23 conclude with some additional comments from his  
24 perspective.

25           Having been involved in land use activities

1 in all of Blaine County for the last 40 years, I can  
2 just tell you I applaud you for your patience and  
3 handling of matters like the last application. It's not  
4 easy, I know, for you sitting up there trying to respond  
5 to everybody's concerns that are raised. But I think  
6 you did an admirable job.

7           As your city attorney observed, this is the  
8 second appeal of this application. In many respects,  
9 this appeal is similar to the first. As I stated at the  
10 initial appeal, my clients are -- certainly recognize  
11 private property rights and the ability of a landowner  
12 to make use of his or her property. The manner in which  
13 it is done is regarded by my clients as being of utmost  
14 concern, if there's a potential for the development of a  
15 neighboring property to impact their property. And if  
16 you observed from the filing of our initial opening  
17 brief and our reply brief, much of the concerns focus on  
18 the bermed driveway that is proposed to be located  
19 immediately adjacent to the Osbornes' property on the  
20 Applicant's property.

21           As you know, the driveway was proposed at  
22 that location. And then from the fire department  
23 perspective, it came back that it had to be raised even  
24 a greater amount, I think by a foot, which prompted  
25 much, much greater concerns for this property simply

1 because of its location at the confluence of Warm  
2 Springs Creek and the Big Wood River.

3           The Osbornes personally observed the  
4 flooding events of 2017, which, if I recall correctly,  
5 was not the base flood 100-year elevation but  
6 significantly less than that, and still they were able  
7 to observe flooding that occurred on the western end of  
8 their property and the enhanced driveway location. They  
9 believe, based on their analysis, is clearly -- and the  
10 analysis of their own engineering firm -- is clearly  
11 going to have an impact.

12           Well, what's the mechanism that has been  
13 proposed to ameliorate or potentially alleviate that  
14 concern? And as you saw in the previous appeal, it's  
15 the placement of multiple culverts in some channels that  
16 run from the Osborne's property into the neighboring  
17 property. And we've certainly raised the issue on  
18 appeal that the staff has failed to consider viable  
19 alternatives to the placement of these multiple  
20 culverts, which I'll explain later why we have  
21 significant concerns about the use of culverts in this  
22 location.

23           I think the Applicant's attorney stated it  
24 best on the second page of the response brief when she  
25 said that the "Appellants are concerned about the



1 application of Ketchum Municipal Code 17.88.050(E)(21),"  
2 which states: "Where development is proposed that  
3 impacts any wetland, the first priority shall be to move  
4 the development from the wetland area and consideration  
5 of the availability of alternative locations for the  
6 proposed use which are not subject to flooding or  
7 erosion damage."

8 We know that the driveway, as it's currently  
9 situated, lies further south than this proposed berm  
10 driveway. So is there an alternative? By all means  
11 there is an alternative. The alternative exists today  
12 by virtue of how the driveway is currently located on  
13 that property. We think that due consideration should  
14 have been afforded to that location as a viable and  
15 reasonable alternative to this bermed driveway.

16 And we also see that the rationale for the  
17 location of this driveway is that there is a one-to-one  
18 cut and fill. Meaning that fill is being proposed on  
19 that northern boundary of the Applicant's property,  
20 while cut areas are being proposed in the interior of  
21 the property.

22 Now, both Mr. Osborne and I have looked at  
23 the Ketchum Municiple Code. And maybe I'm just missing  
24 it -- or we're missing it -- but I don't see whereby the  
25 provision of a one-to-one cut and fill that obviates the

1 application of the code for consideration of  
2 alternatives. So perhaps someone can point me to that  
3 location in the code that justifies this one-to-one  
4 offset. Because moving the fill further north to create  
5 the berm is what is causing the real issue for the  
6 Osbornes, having observed flood flows on their property.

7           Now, Ms. Stollo has stated in her brief  
8 that the flood flows will pass through the culverts.  
9 And certainly in an ideal situation, that is how  
10 culverts are meant to work. I recall at the last appeal  
11 hearing Spencer Cordavano(ph) was just kind of itching  
12 in his chair -- now occupied by you -- saying that I've  
13 lived here for so long and I've seen what happens with  
14 culverts.

15           And to that point, I prepared -- or I  
16 attached some photographs showing what happens when  
17 culverts do get plugged and the impacts they create.  
18 And certainly in the Big Wood River Valley, when you're  
19 on a river, adjacent to a river such as these properties  
20 are, where this debris load is carried that indeed is  
21 massive, or can be massive in nature, we just think that  
22 it's inappropriate to use culverts as a solution.

23           Particularly in this case one of the  
24 conditions that the staff has placed on this approval by  
25 the staff is that the city has the right to go onto the

1 property to inspect it to make certain that the culverts  
2 are maintained. But it begs the question to say we have  
3 the right to go on the property and we can see if it's  
4 being maintained. But if there's no one there to  
5 maintain it, my question and the Osborne's question is,  
6 who -- who do we call to maintain it? Is the city going  
7 to come out with a backhoe when floodwaters are circling  
8 around a plugged culvert to remove the debris that's  
9 causing the obstruction that creates the rise in the  
10 flood elevation? Is the landowner who owns the property  
11 but was not party to this hearing process going to get  
12 out there with a shovel and start cleaning the culverts?  
13 Who do we call to ensure that the maintenance activities  
14 are going to be undertaken?

15           It was coincidental that our paralegal found  
16 a document that I referenced in my reply brief. It  
17 looks like this (indicating). It's called the "Blaine  
18 County Multi-Jurisdiction All Hazard Mitigation Plan."  
19 And it's a document that's signed onto by the cities of  
20 Bellevue, Carey, Hailey, Ketchum, and Sun Valley, as  
21 well as Blaine County. And one of the highest priority  
22 items for review -- or project review -- enumerated in  
23 this particular plan is to develop a listing of roads,  
24 bridges, culverts, and other limiting conditions for  
25 flood flows. And so the idea that the word "culverts"

1 immediately proceeds other limiting conditions, to me,  
2 is a tacit acknowledgment that culverts can and will  
3 serve as a limiting condition to the passage of flood  
4 flows.

5           So, I conclude in my reply brief that the  
6 Ketchum Municipal Code allows the city to consider  
7 amendments to draft or interim floodplain maps. And  
8 that I believe would apply to the instant case to this  
9 subject property. I believe there are draft floodplain  
10 maps dated as of April 2024 which identify floodplain  
11 changes for this proposed building site. And we would  
12 encourage the P&Z to consider those proposed changes  
13 when evaluating this application.

14           I was touched by Susan's statement during  
15 the previous hearing when she stated, "Common sense and  
16 what we observe personally should be watchwords when we  
17 make decisions as a Planning Commission." And to that  
18 note, that's why I suggested -- or maybe it dovetails  
19 with the suggestion in my reply brief -- that an on-site  
20 review of this property by the Commission, I believe,  
21 would be an appropriate time-out.

22           It doesn't take much to notice up a review  
23 on site so that the Members of the Commission can see  
24 for themselves the channels that are on the west end of  
25 the Applicant's property where these culverts are

1 proposed to be located. And you can see for yourself  
2 and you can observe personally, as Susan stated, "What  
3 the lay of the land looks like" and envision a rise of  
4 more than a foot, up to two feet, of a berm being placed  
5 at this location.

6 So, with that in mind, I would ask the  
7 Commission to consider an on-site review to get the lay  
8 of the land. And also to that point, I would ask this  
9 Commission to either table it for such an on-site  
10 meeting, or based on what we've provided to you and what  
11 you're about to hear from Mr. Osborne, a reversal and  
12 remand of the staff decision.

13 And with that in mind, if it's okay, I'd ask  
14 Mr. Osborne to make his statements. And then if you  
15 have questions for either of us, either before the  
16 Applicant's presentation or after, we'd be happy to  
17 stand for those.

18 CHAIR MORROW: Thank you, Mr. Slette.  
19 Thank you.

20 MR. OSBORNE: Hi, I'm Nick Osborne, owner of  
21 105 Wood River Drive North, which is immediately to the  
22 north of 121 Badger Lane. Thank you for your time  
23 today. I appreciate it.

24 We are here today because we continue to  
25 have very significant concerns about the development

1 plan for 121 Badger Lane, and the review process and the  
2 risk that it creates for our property. We've shared  
3 our concerns with the Planning and Building Department  
4 staff and with the developer of the property. But  
5 logical alternatives have not been considered and  
6 changes have been insufficient to address the issues.  
7 As a result, this appeal is the only path that we have.

8           Today, I'd like to address three things:  
9 One, our objectives in the appeal. Two, I'd like to  
10 share with you some information about the site. It's  
11 very hard to kind of wrap your mind around what it is  
12 we're talking about unless you have some more -- and I  
13 agree with Gary, it would be great if you guys wanted to  
14 visit. You could see it for yourself. But we've tried  
15 to present some exhibits that will help you understand  
16 what's going on. And then I'd like to address very  
17 briefly -- I think Gary has covered the reasons for our  
18 appeal -- objectives. As we've stated before, we're not  
19 trying to prevent development of the site. We have  
20 neighbors on both sides, including the prior owner of  
21 121 Badger Lane, who had development plans for the site  
22 and that we had no issues with.

23           We believe the proposed plan increases the  
24 flood risk on our property. It is a very problematic  
25 site that is prone to flooding from a variety of causes.

1 While we cannot eliminate those risks, we believe there  
2 are simple ways to greatly reduce them.

3           The plans could be changed to eliminate the  
4 elevated driveway on the property line and to avoid  
5 existing filling -- to avoid filling existing flood  
6 channels and wetlands. There's already -- already a  
7 driveway on the site that could be used, as the P&Z  
8 Commissioners suggested in our October 13th meeting.

9           Or, the driveway could be shifted so that  
10 the flood issues that the development causes are borne  
11 on the site consistent with the Ketchum code of  
12 ordinances whose Statement of Purpose, Section  
13 17.88.020(H), states: "To ensure that those who occupy  
14 the areas of special flood hazard assume responsibility  
15 for their actions."

16           Our objective is to find an alternative  
17 which either eliminates the risk to our property and  
18 requires the owner to assume the risk on -- or requires  
19 the owner to assume the risk on their property.  
20 However, the review process did not pursue such  
21 alternatives and such alternatives were rejected by the  
22 developer of the property because of the additional time  
23 and cost the changes would require.

24           So, just to give you an overview of the  
25 site, just as we mentioned the last time we were here,

1 we know the site very well. We considered buying it  
2 prior to purchasing our own property. At the time there  
3 was a residence on stilts, and there was no LOMA for the  
4 site. We've owned the neighboring property for  
5 approximately 15 years and have witnessed the 2017  
6 flooding on the site as well as others. We understand  
7 what is not known to us may not -- we understand that  
8 what is known to us may not be fully understood by  
9 others.

10                   What this pictures does -- sorry, it's hard  
11 to see -- and I wish I had a pointer here. But you can  
12 see the location of the 121 Badger Lane development  
13 site. We're directly to the north. That area is the  
14 junction of Warm Springs and the Big Wood River right up  
15 here (indicating). South of the site -- or west of the  
16 river, adjacent to the site, is the bottom of  
17 Frenchman's Gulch on Bald Mountain. It is a steep,  
18 rocky bank with little room for the river to move in  
19 that direction and experiences occasional snow dams.

20                   Would you flip to the next one.

21   (Next Exhibit)

22                   MR. OSBORNE: The next comes from the Big  
23 Wood River Atlas. I don't know if you guys have seen  
24 it. It's something that I was familiar with. It's an  
25 impressive document that was prepared in 2020 with



1 multiple local parties contributing, including the City  
2 of Ketchum to its review. It identifies a number of  
3 very important characters of the Big Wood River. Reach  
4 6, which is shown here (indicating) is the portion of  
5 the Big Wood River that flows adjacent to both  
6 properties.

7                   It's quite hard to make out, but if you can  
8 see photo point number 2 -- I wish I had a pointer --  
9 that's basically where the property is. Badger Lane  
10 runs south to north, and Wood River Drive loops around  
11 to the west. And our property is at the end of it.

12                   There's a number of interesting things on  
13 this chart: The black line is the historic channel  
14 migration zone, which abuts both properties. So this  
15 isn't just a floodplain issue. This is -- you know, it,  
16 in fact, abuts the channel, the historic channel of the  
17 river.

18                   Riprap, which you see in kind of the black  
19 and white dotted lines, during the 1980s, the river  
20 actually ran adjacent to the properties and riprap was  
21 installed to prevent flooding. Again, this is not just  
22 floodplain.

23                   In the crosshatched red and pink sections,  
24 you'll see the erosion that is occurring in that area of  
25 the river. That was accelerated in 2017. The river is

1 naturally moving back toward the east. Even Warm  
2 Springs flows directly from the west to the east against  
3 the east bank and creates substantial erosion.

4           The final thing, which is really quite hard  
5 to see in this presentation, is the green line which  
6 identifies not one but two channels that run on our  
7 property, from our property to 121 Badger Lane. And  
8 we're going to give you a greater sense of that. Those  
9 are the channels that fill with water during flood and  
10 flow into wetlands on 121 Badger Lane.

11           Yeah, so this will give you a sense of the  
12 channel. So this is what we call the "east channel."  
13 This is in our backyard. And between that you'll see,  
14 you know, a hump to the south. You can just make out  
15 the corner of a historic cabin -- historic fishing  
16 cabin, which is preserved on the property.

17           If you flip down, you'll see a second  
18 channel. Again, this is on our side of the property.  
19 This is on the west side of our property. So there's an  
20 east channel and there's a west channel.

21           If you flip down, you'll see --

22           UNIDENTIFIED AUDIENCE: This is our --

23           MR. OSBORNE: Oh, I'm sorry. Yeah, so this  
24 is the east channel. Could you go back up so I get this  
25 right? Yeah, so this is the east channel on our

1 property. Now go down. It flows into a channel on the  
2 neighboring property, which then flows into wetlands  
3 where the water is collected. This is the west channel  
4 on our property (indicating) which, again, flows to the  
5 adjoining channel on the neighboring property, which is  
6 this (indicating). Those two channels are separated by  
7 a large mound so water doesn't -- generally, except in  
8 very extreme circumstances -- travel between those two  
9 things -- between those two channels.

10 If you flip to the next page, you can see  
11 the existing conditions of the property. This is from  
12 the Applicant's plan. There's a few things to note  
13 here: Everything in blue is in the floodplain. Here,  
14 you can -- it's very hard to make out, but I'm going to  
15 walk behind you, if that's okay.

16 UNIDENTIFIED AUDIENCE: (Inaudible).

17 MR. OSBORNE: Oh, sorry, thanks, yeah, thank  
18 you. So the eastern channel flows here (indicating).  
19 The western channel flows here (indicating). It's  
20 separated by this elevated section here (indicating).  
21 Our cabin -- the historic fishing cabin -- is right  
22 there (indicating). You'll also see the existing  
23 driveway that we've talked about in the past, which  
24 turns to the south before it enters the floodplain  
25 currently, which avoids a lot of the backup issues that

1 we're concerned about.

2 The plan, however -- if you could go to the  
3 next one, please.

4 (Next Exhibit)

5 MR. OSBORNE: Thanks, Steph. The plan,  
6 however, moves the driveway to the perimeter of the  
7 property, the north perimeter of the property directly  
8 adjacent to our property line.

9 This is a cut and fill chart. We've got a  
10 close-up to make it slightly easier to understand.  
11 This shows the northern portion in the floodplain and  
12 with the yellow and orange and red lines indicate is the  
13 amount of fill that will be placed into -- placed into  
14 those areas to accommodate the driveway. It's one to  
15 three feet of fill will be added.

16 So if you -- if you think back to the  
17 photos we were just looking at, those channels, once  
18 they get to the neighbor's property, are going to be  
19 filled. There will no longer be any place for the water  
20 to go from our side.

21 If we could go to the next one.

22 (Next Exhibit)

23 MR. OSBORNE: This is the plan development.  
24 After the initial plan -- plans were prepared, it's  
25 important to note it was determined that the driveway

1 needed to be raised further to provide adequate  
2 clearance for emergency vehicles. Consider what that  
3 means, it means that the expected flood conditions would  
4 result in greater than one foot of water flowing over  
5 the driveway. Raising the driveway creates a barrier to  
6 that flow. There is simply no way that you can raise  
7 the driveway without limiting the flow of floodwater  
8 from our property to theirs.

9           The northern edge of the driveway and the  
10 eastern channel will increase the elevation by more than  
11 a foot. The western channel will run into the driveway  
12 with an elevation of more than 5,787 feet, an increase  
13 of over two feet versus the current elevation, and above  
14 the BFE.

15           Underneath the driveway, existing wetlands  
16 and channels where water currently collects will be  
17 filled with two to three feet of fill. The plan  
18 contemplates adding culverts in the eastern channel  
19 directly against our property line. If those are  
20 blocked or back up, there is no place for the water to  
21 collect on our property. And once again, I'll just walk  
22 over and point that out to you (indicating). So to  
23 accommodate the eastern channel, we've added culverts.  
24 Those culverts --

25           UNIDENTIFIED AUDIENCE: (Inaudible).

1                   MR. OSBORNE: Okay. If you look at the top  
2 and you see the three circles -- can you see that? --  
3 those are the culverts, okay, that go under the  
4 driveway. And those address the eastern channel that we  
5 just saw the pictures of. But nothing addresses the  
6 western channel. Other than a single 12-inch dry well,  
7 there is no drainage provided for in the western  
8 channel, which because it is closer to the river  
9 experiences even greater flows during the floods.  
10 Because of the raised section of land between the  
11 channels, water doesn't flow from the western channel to  
12 the eastern channel, so there is no place for that water  
13 to go.

14                   The reasons for our appeal -- we've provided  
15 a complete statement. I know you guys had a lot on your  
16 agenda. I don't know if you've had a chance to review  
17 that. Gary did a good job summarizing that, so I won't  
18 try to do that for you again. But I do want to hit on a  
19 few points.

20                   The review process did not evaluate  
21 alternatives for the proposed driveway which would avoid  
22 filling wetlands. Numerous findings of fact and  
23 provisions of the City of Ketchum's zoning regulations  
24 address risks resulting from floodplain development, the  
25 importance of maintaining natural conditions of

1 floodplain, and require wetlands where development is  
2 proposed that impact any wetland, the first priority  
3 shall be to move the development from the wetland area.  
4 That was not done.

5           Rather than considering alternatives, the  
6 finding and decision -- the findings and decision relies  
7 on the fact that there will be an offsetting amount of  
8 wetlands created on the site. This is not a  
9 determinative fact in the code. There is language  
10 about it, but it's simply an obligation on the Applicant  
11 to submit. But it does not override any other provision.

12           The review process did not appropriately  
13 evaluate the inadequate and poorly planned drainage for  
14 the western channel. All that is provided is a 12-inch  
15 dry well versus three 24-inch culverts in the eastern  
16 channel.

17           In any event, the proposed culverts are  
18 inadequate to ensure proper drainage. Culverts are a  
19 poor solution because they get blocked sometimes inside  
20 the culvert where the blockage can not be seen. The  
21 condition of the approval is that the culverts are  
22 required to be maintained and kept clear to ensure  
23 sufficient carrying capacity and subject to inspection  
24 by city staff.

25           The findings and decisions do not consider

1 that in flood conditions it may be impossible for the  
2 culverts to be maintained and kept clear due to the  
3 potential volumes of floodwater and debris. Because the  
4 culvert inlets are almost directly on the shared  
5 property line, any backup of the culverts creates  
6 hazards for our property.

7           The proposed residence is being developed  
8 for sale. The planning and building findings do not  
9 address how these conditions will be enforced on future  
10 owners who may or may not be full-time residents. And  
11 these culverts will do nothing to address floodwaters in  
12 the western channel.

13           Floodplain maps, would you mind just  
14 shifting to those?

15                           (Next Exhibit).

16           MR. OSBORNE: These maps show the prior FEMA  
17 floodplain map and the current draft dated April 20,  
18 '24. The differences are significant and create a  
19 meaningful flood risk. What you'll see in this -- this  
20 is basically the same site that we saw before. In the  
21 center, there is a building envelope, admits the  
22 floodplain. If you look to the most recent draft, that  
23 goes away indicating the expectation for increases in  
24 water levels during floods in this neighborhood.

25           The findings and decision did not address



1 the fact that the floodplain map -- the site is out of  
2 date and changes in the draft FEMA floodplain map would  
3 increase water levels across the site, return the  
4 building envelope to -- on the site to floodplain and  
5 expand the floodway adjacent to the site and neighboring  
6 properties.

7           Zoning Regulation 17.88.050(G)(1)(a) allows  
8 the city to consider whether there have been any  
9 significant amendments to the city's draft or interim  
10 flood maps which will apply to subject approval. The  
11 subject property is not only in the floodplain but  
12 adjacent to the historic channel of the river.

13           Finally, the cabins, part of the reason  
14 we're concerned is that we -- when we purchased the lot,  
15 it used to be a fishing camp down there and there was a  
16 historic fishing cabin that was identified by a review  
17 that was done of historic places by the town and the  
18 historic committee. This is within -- as I showed you  
19 before, this is directly on the property line, within  
20 feet of the elevated driveway where the flooding is most  
21 likely to occur. The historic cabin remains on its  
22 original foundation of river rock. As a result, the  
23 cabin is not only at risk of flooding but also moving  
24 and collapsing in flood condition.

25           If you'd flip to the next one.

1 (Next Exhibit)

2 MR. OSBORNE: And despite what the  
3 Applicant's counsel has said, this cabin sits where it  
4 always has. This was a picture taken today. This thing  
5 has never moved. This is where it's always been.

6 Finally, our request, we think there is a  
7 solution to all of this: Send the application back to  
8 the staff and ask staff to recommend alternatives that  
9 will move the driveway from the wetlands, eliminate the  
10 barrier created by the driveway on the property line,  
11 address the proposed FEMA maps, and require the  
12 Applicant to assume responsibility for the potential  
13 flood hazards.

14 Let's be clear, this is a development  
15 project. The Applicant will not be the occupant of the  
16 home. The city cannot be expected to assume  
17 responsibility from the Applicant to monitor culverts  
18 and flooding hazards on private property, particularly  
19 when there is a significant flood in town.

20 There are simple solutions that we've  
21 talked about already, and one of which was identified at  
22 the last meeting, which we have proposed to the  
23 Applicant. The Applicant has chosen not to consider  
24 those at this point. But the alternative is a flood  
25 plan that will eventually cost both us and the city time

1 and money of their own.

2 Thank you very much for your time. We  
3 appreciate you hearing our appeal.

4 CHAIR MORROW: Thank you. Go straight to  
5 the --

6 MR. JOHNSON: So, Mr. Chairman, just --  
7 while Danielle is coming up, I realize I skipped over  
8 something in my -- my report really quick, and it's  
9 important and I want to bring it up before both parties  
10 will get a chance to --

11 As you're reviewing this, you have what's  
12 called a "standard of review." That's the legal  
13 standard by which you review something. On an  
14 administrative appeal -- you've got the section in the  
15 staff report from me, but I just want to note that this  
16 is not supposed to be a time for any entry of new  
17 information. You're not supposed to bring that in.  
18 You're really just looking at the record that was before  
19 staff below. And I'm not saying that because I have  
20 some concern about it immediately, but that may come up  
21 in rebuttal from either side.

22 And so I just wanted you to understand why  
23 that may be important and how that standard of review  
24 comes into play. And as you get to your deliberations,  
25 if we need to talk more about it -- I know we spent

1 quite a bit time on it at the last go around. So --

2 COMMISSIONER PASSOVOY: Matt, so if I have  
3 some questions, I should wait until we get to the  
4 deliberation part?

5 MR. JOHNSON: You -- it's up to you when you  
6 can ask questions. If you feel like it's best to get  
7 them answered now because it's something immediate, you  
8 definitely can. But if you want to save them up for the  
9 end, you can. The biggest part is if there's any sort  
10 of questions that lead that information from one side, I  
11 do advise that the Appellant always gets sort of a last  
12 opportunity, since they're the appealing body, to at  
13 least rebut something if they would.

14 COMMISSIONER PASSOVOY: This is strictly the  
15 standard of review. I had this question before -- last  
16 time -- and I still have the question. Because what's  
17 stated in the standard of review isn't really a standard  
18 of review. We both understand that. But the language  
19 that is used is whether there was an abuse of  
20 discretion. And I think there's -- that's not in the  
21 standard. It's what's being claimed by one party to the  
22 other party, that the -- there was an abuse -- whether  
23 or not there was an abuse of discretion on the part of  
24 the staff. And there was one other word -- and I left  
25 my notebook, unfortunately, at home, so I don't remember

1 the other thing. I can't remember, but -- so we'll just  
2 stick with abuse of discretion. So, really, our  
3 standard of review is determining whether or not we  
4 think there was an abuse of discretion or --

5 MR. JOHNSON: Yeah, I think --

6 COMMISSIONER PASSOVOY: -- fill in the other  
7 blank.

8 MR. JOHNSON: -- I think error is generally  
9 what you're looking for, that there was clearly some --  
10 some flaw --

11 COMMISSIONER PASSOVOY: Right.

12 MR. JOHNSON: -- abuse of discretion and  
13 error.

14 COMMISSIONER PASSOVOY: Or a subject matter,  
15 substantive flaw in --

16 MR. JOHNSON: Yeah, or --

17 COMMISSIONER PASSOVOY: -- the decision.

18 MR. JOHNSON: Yeah, so that could be a  
19 procedural issue or a clear technical error. That's  
20 kind of what the debate is. And, of course, both  
21 parties can argue that.

22 COMMISSIONER PASSOVOY: Yes, and I  
23 understand that they have and they will. I just wanted  
24 to make sure that I understood, you know, is it the  
25 preponderance of the evidence or is it, you know --

1 MR. JOHNSON: I think the best I can offer  
2 is, what it's not is -- it's not a de novo review. It's  
3 not a from scratch --

4 MS. PASSOVOY: Understood.

5 MR. JOHNSON: -- everything is new. You get  
6 to hear everything. It really is an argument: Was  
7 there some flaw in the determination of the body below  
8 that warrants, you know, remand or modification or not?

9 COMMISSIONER PASSOVOY: Okay. Thank you  
10 very much.

11 MS. STROLLO: Hello. As usual, this  
12 microphone is too high. Okay -- or I'm too short, but  
13 that problem sailed a long time ago. Hello, Members of  
14 the Commission. My name is Danielle Strollo, and my  
15 address, for the record, is 601 West Bannick Street in  
16 Boise. And I'm here, once again, representing the  
17 Applicant for development at 121 Badger Lane in Ketchum.  
18 This Floodplain Development Application was prepared by  
19 Brockway Engineering, who is based in Twin Falls. Erick  
20 Powell, the lead engineer on this project, is available  
21 to answer specific technical questions, as is the design  
22 and developer team. Next slide please.

23 (Next Slide)

24 MS. STROLLO: All right. So here's the time  
25 line on this application. It's been three years since

1 we started working on this application. And as you  
2 know, this is the second time the Osbornes have appealed  
3 your planning administrator's approval of this  
4 application, an approval based on the application's  
5 review by both city staff and the city's third-party  
6 engineers, Harmony Design and Engineering. Next slide  
7 please.

8 (Next Slide)

9 MS. STROLLO: So after the prior appeal  
10 hearing last December, this Commission found no error  
11 but asked city staff to evaluate further information  
12 with regard to Appeal Criteria 5 and 6, which have to do  
13 with allowing for the function of the floodplain, sheet  
14 flooding and floodwater carrying capacity.

15 City staff then treated this as a new  
16 application, as your counsel said, with additional  
17 notice to neighbors and opportunity to submit comment.  
18 So the Applicant submitted the new application with  
19 additional engineering models in February of 2024.  
20 Since then, city staff have come back to the Applicant  
21 numerous times asking us to address comments that were  
22 submitted by neighbors, including the Osbornes. We did  
23 address those comments. In fact, the Applicant has gone  
24 above and beyond to address staff requests for more  
25 information and clarification, and provided more than

1 code requires. After all of this additional  
2 documentation and study, staff, in consultation with the  
3 city's third-party engineer, approved the application a  
4 second time. Next slide please.

5 (Next slide)

6 MS. STROLLO: I want to reiterate again here  
7 that the Commission's role is to find that staff  
8 committed an error or abuse of discretion in approving  
9 this application. We understand there was interest in  
10 ensuring no impact to neighboring property. But we have  
11 addressed those concerns and in even greater detail for  
12 this application. And now it's important to follow code  
13 to ensure the Applicant's rights are protected along  
14 with the neighbor's rights. This process protects both  
15 and you can rest assured that with this application that  
16 due diligence has been done.

17 Now, with all of this additional information  
18 the question here is did staff error or do something  
19 wrong in approving this application? And the answer  
20 is, no. Next slide please.

21 (Next Slide)

22 MS. STROLLO: So these are the same general  
23 arguments as the prior appeal, and we have addressed the  
24 Appellant's concerns. The application meets the code's  
25 requirements, again. That was determined by staff and



1 the city's third-party engineer. There was no error or  
2 abuse of discretion. City staff was quite thorough,  
3 again. And I'd encourage you to ask city staff about  
4 the multiple times they asked the Applicant to respond  
5 to comments. Again, this demonstrates the thoroughness  
6 of the review. Next slide please.

7 (Next Slide)

8 MS. STROLLO: Ultimately, the basics are  
9 this: The application here is for a single family home  
10 and a driveway to serve that single family home. The  
11 home is built out of the flood flows. The driveway  
12 appropriately serves that home and meets code  
13 requirements for emergency access. All of the  
14 engineering evidence reviewed by the city demonstrates  
15 definitively and conclusively that there will be no  
16 impact of the driveway on the neighboring property.

17 The site's design uses established  
18 engineering practices and culverts to ensure proper  
19 drainage. The extensive modeling that staff and the  
20 city's engineers have reviewed, multiple times at this  
21 point over the past two years, show there is no change  
22 in floodwaters to the neighbor's property as a result of  
23 this development. Next slide.

24 (Next Slide)

25 MS. STROLLO: Since the prior appeal, the

1 Applicant did further modeling with a wider scope of the  
2 river's dynamics, as well as taking a more precise view  
3 of what's happening to neighboring properties here. We  
4 did a HEC-RAS and High-8 analysis, as well as a  
5 split-flow analysis with more details zeroing in on  
6 specific concerns. We moved grid lines to align with  
7 the property line, and that analysis still showed no  
8 rise in waters to the neighbor's property. The site  
9 added another culvert to allow for passage of  
10 floodwaters. Even at a conservative 50-percent clog  
11 factor, these address floodwaters and prevent any rise  
12 in waters to neighboring property. Next slide please.

13 (Next Slide)

14 MS. STROLLO: So I want to address a couple  
15 of specific points that the Appellants made today:  
16 First, culvert maintenance, it is a condition of  
17 approval that the culverts be maintained. City  
18 enforcement here just -- acts just like any other  
19 enforcement. The conditions of approval are absolutely  
20 enforceable against the next property owner.

21 Wetlands, so there is one wetland  
22 requirement in code criteria for approval and we meet  
23 it. The driveway fills some wetland area and that fill  
24 is mitigated entirely by creating wetland elsewhere to  
25 preserve the natural function of the river. The

1 terminology confusion indicates the overarching message  
2 here; that this is a technical application with  
3 technical requirements examined by technical experts,  
4 which has now been done twice.

5           The fishing cabin, whether or not it's in  
6 its original location -- which satellite photos dispute  
7 -- the fishing shed's age changes nothing about this  
8 application. It's not entitled to special protection,  
9 particularly special protection by the Applicant. If  
10 the Appellant wishes to preserve the fishing shed and  
11 thinks that it's vulnerable to flooding, they should  
12 move it to another location on their property. We have  
13 repeatedly shown that this development poses no risk to  
14 their property.

15           The new draft map, so we designed to the  
16 best available information for this application. We  
17 can't rely on drafts because they change, and we can't  
18 be asked to redesign the site because it's been delayed  
19 three years.

20           Finally, we're glad that the City of Ketchum  
21 participates in the hazard mitigation plan, since then  
22 it's eligible for Federal Hazard Funds in the event of  
23 an emergency. But aligned with this hazard mitigation  
24 plan, your code ensures the development's impacts are  
25 minimized and mitigated. We meet that code requirement

1 by demonstrating exactly that with best engineering  
2 practices.

3           Okay, with that, I will pass it off -- yeah,  
4 so I will conclude by saying there's nothing new in this  
5 appeal, other than different words being used to convey  
6 the same points. There's been a tremendous amount of  
7 engineering by best-in-class engineers with familiarity  
8 of this area and this river, and that engineering shows  
9 no impact to the Osborne property.

10           All of the necessary criteria have been  
11 reviewed and addressed by the city now twice.  
12 Ketchum's technical experts have reviewed and approved  
13 all the detailed analysis over two years of application  
14 review. Again, this application satisfies Ketchum's  
15 city code, protects public safety and the public  
16 interest. This application does protect neighboring  
17 property from impacts of development.

18           With that, I'll turn it over to Brockway  
19 Engineering's Erick Powell to provide additional  
20 engineering basics about this application.

21           MR. POWELL: Good evening, Commissioners.  
22 My name is Erick Powell. I'm grateful to be here today  
23 and discuss my favorite topic, which is water. Just a  
24 little bit about me: I'm a senior engineer at Brockway  
25 Engineering. I've been practicing for about 18 years.

1 I hold a bachelor's and master's degree in civil and  
2 environmental engineering and a Ph.D. in ag engineering,  
3 with a specialty in stream channel design. I'm licensed  
4 as a professional engineer in Idaho, Nevada, Utah, and  
5 Oregon.

6 We work -- Brockway Engineering has worked  
7 extensively in the Wood River Valley for many, many  
8 years. Chuck Senior was born in Ketchum, the same year  
9 that his Sun Valley company was incorporated. And so we  
10 have a long history in the valley, and we've done a lot  
11 of work even for the City of Ketchum specifically. So  
12 the next slide.

13 (Next Slide)

14 MR. POWELL: I appreciate city -- the city  
15 attorney giving you some specific instructions on being  
16 a judge, and that's hard when we're talking about very  
17 technical information. And so I'm happy to address or  
18 answer questions that you might have. But I wanted to  
19 start by just talking a little bit about what the flood  
20 maps are, and what the designation of a floodplain  
21 versus a floodway is, and what those terms actually mean.

22 And so this is a scale of 1 to 500 feet.  
23 We do show the Big Wood River and Warms Springs and that  
24 confluence. The blue area is identified as the 100-  
25 year floodplain, or in a statistical term it's the

1 probability of this area flooding 1 percent each year;  
2 that's what that means. The fringe area on the -- in  
3 orange is the 500-year floodplain, or the .2 percent  
4 chance of flood. And then the red hatched area in the  
5 middle is what is referred to as the floodplain. Now --  
6 or sorry, the floodway. That was an error on my part.

7           So the floodway is important just because  
8 that's the area that is the flood carrying capacity  
9 identified by FEMA. And so any encroachment into the  
10 floodway requires no rise, and engineers are required to  
11 do no-rise analysis for encroachment in the floodway to  
12 ensure that flood carrying capacity.

13           The floodplain, FEMA does not prohibit  
14 construction or development. As evidenced within the  
15 city, and within Blaine County itself, there's lots of  
16 development that has occurred in the floodplain. And so  
17 this isn't new development in the floodplain. Or  
18 floodplain development is not a new concept. It is one  
19 that has existed for a while.

20           Flood maps are developed through a modeling  
21 process. And the most common model that's used is  
22 referred to as HEC-RAS, which is -- has been and  
23 primarily still is used as what we call a "one-  
24 dimensional analysis." And so we have cross sections  
25 that exist and we interpellate between those cross

1 sections. And given the flood flow and flood -- other  
2 parameters on the floodplain of roughness specters,  
3 elevations of floodplains are established. And they  
4 refer to those as "base-flood elevations." And so any  
5 modeling work that is done always requires us to start  
6 with those effective floodplain models, and so we use  
7 those effective models. We have to match those models  
8 with the current effective maps, and then we can start  
9 to evaluate what will happen if we propose to modify the  
10 floodplain or the floodway in any way. So the next  
11 slide --

12 (Next Slide)

13 MR. POWELL: -- looks at a little bit more  
14 close detail. So we actually here are showing FEMA  
15 Cross Section EF down at the bottom; EG is up at the  
16 top. Originally at the start of this process, we added  
17 11 new cross sections through the property. We've  
18 actually iterated several times with feedback from  
19 Harmony and Viota both. And so we've tried to answer  
20 those questions that have been addressed.

21 I would like to just highlight that Badger  
22 Cross Section 6 does exist right on the northern  
23 property line. We're going to talk about that in just a  
24 minute. But we worked in an effort to be conservative.  
25 We'll address that in a bit. Right above that is Badger

1 Cross Section 7. And so the next slide --

2 (Next Slide)

3 MR. POWELL: -- shows that cross section just  
4 for illustrative purposes.

5 So the way cross sections are viewed is  
6 pretend like you're in a canoe in the river, and what's  
7 on the right is what would be on the right bank of the  
8 river. So if you're -- the right hand -- sorry, what  
9 hand am I looking at? My left-hand side is then the  
10 east side of the river, so you're looking downstream.  
11 That's going to be on -- your left-hand side that's  
12 east. And so we're actually seeing that that's the  
13 Osborne property. And so I appreciate the photos from  
14 the Osbornes. They were showing what Mr. Osborne was  
15 saying was the east channel we can see at the very far  
16 left-hand side.

17 COMMISSIONER PASSOVOY: The left-hand side  
18 as we are looking at this?

19 MR. POWELL: This one right here (indicating).

20 COMMISSIONER PASSOVOY: The left-hand side  
21 of the picture?

22 MR. POWELL: Yes, yeah.

23 COMMISSIONER PASSOVOY: And that's east?

24 MR. POWELL: That's east, yep, yeah. So  
25 another thing I really wanted to just point out here is



1 that floodplains are very variable. There's lots of  
2 undulations. They're not smooth. We don't have this  
3 classic trapezoid with a flat floodplains, but we have a  
4 lot of undulations that are occurring. And there's a  
5 lot of ability in a floodplain, especially with  
6 excavation that can be done, without getting any permits  
7 within a floodplain. And so we take these cross  
8 sections and we can hydraulically evaluate the change in  
9 flood elevations as we move downstream or upstream.

10 So with the remand that happened previously,  
11 the questions kept asking were specific to what was the  
12 impact of that -- what Mr. Osborne was calling the "east  
13 channel?" So if we go to the next slide --

14 (Next Slide)

15 MR. POWELL: -- so we went and looked at  
16 specifically rather than the entire floodplain, we were  
17 just looking at that flood -- excuse me -- the  
18 floodplain fringe on that eastern boundary next to the  
19 floodplain where that east channel, as Mr. Osborne has  
20 called it, exists, so extending that channel through the  
21 Osborne property and also onto the proposed 121 Badger  
22 property.

23 So we have existing condition models that we  
24 ran, and then looked at what those flood -- or what the  
25 conditions would look like postdevelopment, or

1 postconstruction, on that same property looking at that  
2 east property line.

3 COMMISSIONER PASSOVOY: Excuse me one  
4 second.

5 MR. POWELL: Yeah.

6 COMMISSIONER PASSOVOY: I'm sorry, because  
7 this is definitely not my wheelhouse. So is the blue  
8 line what is being called the east channel?

9 MR. POWELL: No, the blue line -- that's a  
10 great question. The blue line is actually the effective  
11 floodplain delineation. That's the --

12 COMMISSIONER PASSOVOY: The boundary, that's  
13 the boundary?

14 MR. POWELL: That's the floodplain map.

15 COMMISSIONER PASSOVOY: Water would come  
16 from the river as far as that blue line, theoretically?

17 MR. POWELL: Theoretically, yep.

18 COMMISSIONER PASSOVOY: And the house --  
19 this is -- of all of the material in both packages,  
20 there was not, for me, a clear picture of where the  
21 Osborne property is, vis-a-vi, 121 Badger Lane. So is  
22 the -- are the two -- are the brown buildings the roofs  
23 of the Osborne property?

24 MR. POWELL: Yes.

25 COMMISSIONER PASSOVOY: Okay.

1 MR. POWELL: This is the Osborne property  
2 (indicating).

3 COMMISSIONER PASSOVOY: Okay.

4 MR. POWELL: Badger 7.

5 COMMISSIONER PASSOVOY: Okay.

6 MR. POWELL: Badger 7 label.

7 COMMISSIONER PASSOVOY: Thank you.

8 MR. POWELL: And the Osbornes' house is --  
9 has been and is outside of the floodplain delineation.

10 COMMISSIONER PASSOVOY: Okay.

11 MR. POWELL: So, we have to have bordering  
12 cross sections to evaluate obstructions like a bridge or  
13 a fill. And so we do have Badger Cross Section 6 and  
14 Badger Cross Section 5 that straddle the proposed  
15 driveway through this east floodplain fringe area, and  
16 so we evaluated that specifically. With the additional  
17 clogging factor that was recommended by Harmony, we had  
18 to add another culvert, a third culvert, to ensure that  
19 there was no rise at that Badger Cross Section 6:

20 (Next Slide)

21 MR. POWELL: So the next slide just shows a  
22 table of all of those cross sections. If you hit the  
23 next button, it will just highlight Badger 6, that cross  
24 section. The current condition model and the proposed  
25 project model, the difference at that property line, is

1 0.0 feet.

2                   So how can that be, right? If we -- as has  
3 been allude to, that we're damming up this east channel,  
4 and so that's a question that I found intriguing. I  
5 wanted to investigate and find out why that really was  
6 the case. And it really comes down to the variability  
7 of the floodplain itself. That currently, there are  
8 high spots in this supposed east channel that are at the  
9 same elevation as the proposed driveway. And so to be  
10 conservative, we actually used the low spots of the  
11 topography as our cross section for that Badger Cross  
12 Section 6.

13                   But if we go to the next slide --

14                                   (Next Slide)

15                   MR. POWELL: -- so this is the topography of  
16 the existing system. This is part of the survey that  
17 was originally -- that you've seen before. We're going  
18 to highlight with the next click --

19                                   (Next Slide)

20                   MR. POWELL: -- this area right at the  
21 north. So if we zoom in on that, by clicking again --

22                                   (Next Slide)

23                   MR. POWELL: -- I just want to point out  
24 that the -- that the elevations here range substantially.  
25 And so we have --

1 COMMISSIONER PASSOVOY: Because of these  
2 undulations you referred to?

3 MR. POWELL: Yeah, so we have elevations of  
4 57.87 here (indicating). We have 5786.1 here. This --  
5 is -- there ends up being this hole that exits in the  
6 area of this proposed driveway. And during flood  
7 conditions, that hole would fill with water. But  
8 there's no way for that water to be conveyed because  
9 there's high ground all the way around it because it's a  
10 hole, okay. So if we go to the next slide --

11 (Next Slide)

12 MR. POWELL: -- this actually shows the  
13 proposed driveway and that same hole location. And if  
14 you look at the elevation through the driveway through  
15 that hole, it's -- it says 86. Now, they've truncated  
16 the 5786 just for sake of ease of description. But  
17 what's really happening is that the driveway is being --  
18 the elevation of the driveway is adjacent to native  
19 ground elevations, but there's a hole that's being filled.

20 And so we're not necessarily putting this  
21 big dam, or levy, or some sort of obstruction across the  
22 entire floodplain. We're actually just matching the  
23 existing elevations that are there. So the BFE in this  
24 area is greater than 5786. So flood flow will still  
25 continue to function over the driveway. The culverts

1 will function and be able to convey water at lower than  
2 BFE elevations. But during base flood elevations,  
3 during that 100-year flood event, the driveway will act  
4 just like the existing ground elevations that are there.

5 And so, again, it's a really important thing  
6 to note that we're not necessarily damming off or  
7 cutting off access to anything. This is -- you know,  
8 the hydraulic control of ground that's there is going to  
9 be very similar to this driveway. Yeah, please.

10 COMMISSIONER MOCZYGEMBA: Quick question.  
11 Is -- obviously, but please clue me in -- how has it  
12 evaluated the angle of the culverts in relation to that  
13 existing east channel?

14 MR. POWELL: So the culverts were placed  
15 where there was sufficient space and the lowest  
16 elevation that existed. And so it does connect that  
17 together.

18 COMMISSIONER MOCZYGEMBA: Okay.

19 MR. POWELL: So just in summary, the next  
20 slide --

21 (Next Slide)

22 MR. POWELL: -- just talks about that we  
23 have had the extensive engineering that has been done on  
24 this property. Me personally, this is the most that's  
25 ever been required for a residential development that

1 the city has asked for. We have developed model after  
2 model trying to answer the questions that are raised.

3 I want to make it very clear that no levy is  
4 being proposed for the driveway; that there are low  
5 spots there are being filled, and they are -- in some  
6 cases they are deep. But we're not necessarily blocking  
7 off this continuous east channel that exists in 121.

8 So the elevations of the proposed driveway  
9 are similar to nearby ground elevations. We did  
10 increase the number of culverts. Culverts are standard  
11 engineering practices. The City of Ketchum does  
12 recommend culverts, and so that's not something that's  
13 outside of normal applications. We -- we did add  
14 another culvert just to comply with Harmony's  
15 recommendation to evaluate at 50-percent clogging.

16 The floodplain will continue to function.  
17 This is not going to somehow eliminate on entire stretch  
18 of floodplain. The floodplain will continue to  
19 function. And that modeling shows no rise at the  
20 neighbor's property. And that that has been reviewed  
21 substantially by city staff and third-party engineer  
22 Harmony.

23 With that, any other questions that you  
24 have?

25 THE COMMISSIONERS: (Indicating).

1 MR. POWELL: Yeah.

2 COMMISSIONER MOCZYGEMBA: I have a follow-up  
3 question to my other question. If there were room on  
4 the property for those culverts to be at a different  
5 angle, would that increase their efficiency? Even  
6 though there's a model that shows no rise, would  
7 straightening those things out more in parallel to the  
8 east stream, or whatever we want to call it, would that  
9 help?

10 MR. POWELL: So it would really just reduce  
11 the length of the culverts.

12 COMMISSIONER MOCZYGEMBA: Okay.

13 MR. POWELL: The culverts would still --

14 COMMISSIONER MOCZYGEMBA: Okay.

15 (Two speakers at the same time.)

16 MR. POWELL: -- function. They still would  
17 be efficient.

18 COMMISSIONER MOCZYGEMBA: Okay.

19 MR. POWELL: It would just reduce the length  
20 and it would not reduce them substantially. It would  
21 be, you know --

22 COMMISSIONER MOCZYGEMBA: Right.

23 MR. POWELL: -- a few feet.

24 COMMISSIONER MOCZYGEMBA: Right. Okay.

25 Thank you.



1           COMMISSIONER PASSOVOY: Once again, this is  
2 a very, very layperson question: Along the property  
3 line, we understand there were -- without the driveway  
4 there are undulations. And so the assertion of -- your  
5 assertion or explanation is is that the driveway does  
6 not create a berm. But do I understand that basically  
7 the driveway flattens out those undulations?

8           MR. POWELL: There will -- yeah, sorry.

9           COMMISSIONER PASSOVOY: Okay. And is the --  
10 and that the highest point of any undulation is no lower  
11 than the driveway elevation? Am I -- am I confusing  
12 you?

13          MR. POWELL: So say that again. The highest  
14 elevation of those undulations --

15          COMMISSIONER PASSOVOY: Okay, so the  
16 undulations are like this (indicating) --

17          MR. POWELL: Uh-huh.

18          COMMISSIONER PASSOVOY: -- up and down and  
19 up and down. Where the driveway essentially flattens  
20 that series of undulations, it makes it a straight line.

21          MR. POWELL: Right.

22          COMMISSIONER PASSOVOY: Is it fair to say  
23 that the highest point of any undulation is no -- is not  
24 lower than the driveway? So the driveway, the highest  
25 point of the driveway is no higher than the highest

1 level of this series of undulations.

2 MR. POWELL: Yes.

3 COMMISSIONER PASSOVOY: Okay.

4 MR. POWELL: That is correct.

5 COMMISSIONER PASSOVOY: Okay.

6 MR. POWELL: In most cases those highs --

7 COMMISSIONER PASSOVOY: Would be -- would be  
8 lower. But I just -- just -- it flattens it out so in a  
9 sense it is a berm. But the berm is no higher than the  
10 highest undulation that exists out there. Okay.

11 COMMISSIONER CARTER: To follow up on that,  
12 did you say that the driveway is below BFE?

13 MR. POWELL: Yes.

14 COMMISSIONER CARTER: By how much?

15 MR. POWELL: So if we go back to that -- the  
16 base flood elevation in this -- this stretch is 5786.5  
17 or .7, somewhere in that range. So it's over 86 point  
18 something. And so there are areas that are outside of  
19 the floodplain. So the floodplain is actually -- the  
20 hammerhead turnaround is outside the floodplain, the  
21 mapped area. And so as you move around towards the  
22 residence, the residence has to be built two feet higher  
23 than the BFE. And so there is -- that driveway will  
24 increase as you approach the residence. And so there  
25 are -- but the majority of the driveway within the

1 floodplain is lower than the BFE.

2 MR. MCGRAW: The 86 number, point something,  
3 was that the BFE or was that the driveway elevation?

4 MR. POWELL: That is the BFE elevation.

5 MR. MCGRAW: It would be at the property  
6 line?

7 MR. POWELL: Yes.

8 CHAIR MORROW: We're good? Nothing else?

9 THE COMMISSIONERS: (No response.)

10 CHAIR MORROW: Okay. Thank you.

11 MR. POWELL: Thank you.

12 MR. JOHNSON: So, Chairman and  
13 Commissioners, there will be a rebuttal from the  
14 Appellant, but this might be a good time if you have --  
15 if you already know you have questions, if you want to  
16 ask them now so that the Appellant can deal with them in  
17 rebuttal at one time rather than end up going back and  
18 forth, if they're sort of pressing questions. Or, if  
19 you just want to go straight to the a Appellant  
20 rebuttal?

21 CHAIR MORROW: I'm good for -- I'm going to  
22 assume --

23 COMMISSIONER PASSOVOY: (Inaudible)  
24 questions --

25 CHAIR MORROW: Yeah, I have comments but

1 mostly in deliberation, so --

2 MR. SLETTE: Thank you. Gary Slette, again,  
3 for the Osbornes. I think what you heard was a great  
4 engineering analysis of the east channel as referenced  
5 by Mr. Osborne during his comments. But I believe it  
6 was the elevation raise of the west channel that was of  
7 profound concern for him and his wife with regard to the  
8 impact on their property.

9 As we sit here looking at a piece of paper,  
10 it really bears out what my suggestion was earlier: Is  
11 this an opportunity where the Commission avails itself  
12 of the chance to actually look at the property  
13 physically on site so you understand how much that raise  
14 is going to occur near the hammerhead and the west  
15 channel. So I'm going to make that suggestion again to  
16 the Commission. Certainly in my experience in other  
17 jurisdictions, on-site reviews are not out of the  
18 ordinary, and I'd urge you to do that.

19 I would agree with Ms. Strollo that it is  
20 important for the Commission to follow the code. And  
21 that's why we have referred in our memorandum to Section  
22 17.88.050(E)(21): "Where development is proposed that  
23 impacts any wetland, the first priority shall be to move  
24 the development from the wetland area." And I guess  
25 that's where standard of review issues arise, whether

1 you call it an error or an abuse of discretion or what  
2 have you. But I ask -- and not rhetorically -- where is  
3 consideration given to moving the development from the  
4 wetland area with regard to the driveway? And I ask  
5 again, where does this one-to-one ratio come into play?  
6 Because it just seems like, okay, what we're going to  
7 do, we'll fill up and create the berm area next to the  
8 Osbornes' property, and we'll dig a hole somewhere else  
9 and we'll call that a one-for-one exchange. But it's  
10 the location of where that's done that matters most, not  
11 the mere fact that a cubic yard here equals a cubic yard  
12 there.

13 I would also agree with Ms. Strollo that the  
14 home is to be located out of the flood area, as Zack  
15 (sic) just indicated to you. That's certainly a code  
16 requirement. Our concern is that the driveway is not.  
17 It's great that the culverts are planned for a 50-  
18 percent clog factor. But what happens when it's a 100-  
19 percent clog factor?

20 And I guess that kind of begs the question,  
21 like Ghost Busters: Who are you going to call? Who are  
22 the Osbornes going to call? Are they going to call  
23 their neighbor and say, you know what the city said:  
24 You have to maintain it. And if they don't have their  
25 phone number, do they call the Planning and Zoning

1 office, or the Building Department, or the mayor, or  
2 Neil? Who is going to be the response team that gets  
3 out there and takes care of matters? Because I just  
4 don't see it happening.

5 So under the authority of the Commission,  
6 under 17.144.010(C), you can affirm, reverse, or modify  
7 in whole or in part, the decision or determination of  
8 the administrator, and that's what we are asking you to  
9 do tonight.

10 But if you feel that some helpful  
11 information can be gleaned from a site review, I urge  
12 you to do that. And judging by the scope of the  
13 questions that I heard around this table, it certainly  
14 appears to me that it would be helpful to know, okay,  
15 here is the east channel; here is the west channel; here  
16 is the BFE; here is the height of the proposed driveway.  
17 Then and only then will I think you can really -- well,  
18 I went out there and saw it. That's when I understood  
19 it.

20 So that's my pitch, and I'm happy to stand  
21 for questions.

22 CHAIR MORROW: Thank you, Mr. Slette.

23 COMMISSIONER PASSOVOY: I have a question  
24 for you, Mr. Slette. On the last picture that was  
25 shown, that shows the driveway with the hammerhead and

1 the location of the three culverts, what portion of that  
2 section of the driveway is -- are you -- is your client  
3 claiming blocks the west channel? Because I don't see  
4 that little -- I don't see that on this. How would you  
5 locate the west channel? It's -- it's page 160 -- page  
6 160 of the 221 pages in our packet.

7 MR. SLETTE: If I could, I would like Mr.  
8 Osborne to respond to that technical --

9 COMMISSIONER PASSOVOY: Either one, I just --

10 MR. SLETTE: Like you, it's beyond my pay  
11 grade.

12 COMMISSIONER PASSOVOY: I need to -- to be  
13 able to picture this.

14 MR. SLETTE: Sure. Here is a pen if you  
15 need that.

16 (Two speakers at the same time.)

17 COMMISSIONER PASSOVOY: Yeah, where -- okay.  
18 We've dealt with the issue of the east channel. Where  
19 is the west channel on here?

20 (Mr. Osborne off mic.)

21 UNIDENTIFIED AUDIENCE: Use the microphone.

22 MR. OSBORNE: Okay. So what you can see is  
23 you can see what is referred to as the shed, which is,  
24 in fact, the fishing cabin that we showed you the photos  
25 of. And I'll walk over and do this on that side if it's

1 necessary. So the east channel flows here (indicating).  
2 The west channel flows here (indicating). And here, the  
3 driveway elevation is 8725 and 87 feet, versus existing  
4 condition, this kind of triangular line there is 85. So  
5 I'm not entirely sure where the statement that says "at  
6 no point is the driveway higher than the grade," I don't  
7 know where that comes from because this is 85, and this  
8 86, and the driveway is 87 and quarter and 87 at that  
9 point where the west channel --

10 COMMISSIONER PASSOVOY: You said 85 on here?

11 UNIDENTIFIED AUDIENCE: (Inaudible, off  
12 mic).

13 MR. OSBORNE: Yeah, okay. So it doesn't  
14 show -- yeah, no, that's fine. It doesn't show on this  
15 rendering. But if you go to the existing conditions,  
16 you can actually read what these elevation lines are.  
17 That elevation line is 85. And that elevation line is  
18 86 (indicating).

19 COMMISSIONER PASSOVOY: Thank you.

20 MR. OSBORNE: You're welcome.

21 CHAIR MORROW: Is there are questions? If  
22 not we can --

23 MR. JOHNSON: So --

24 CHAIR MORROW: Go ahead.

25 MR. JOHNSON: -- Mr. Chairman, Commissioners , I



1 just want to know one thing: The Appellant has thrown  
2 out the idea of a site visit. I just need to caution,  
3 from the legal side, that's essentially gathering new  
4 information. If you have a concern about whether the  
5 site was accurately visited by staff as some sort of  
6 error, the appropriate thing to do is remand that back  
7 to staff to take those steps. And that may be a  
8 question you want to ask staff about. But I just want  
9 to be clear, this is the hard part. You're not doing  
10 the technical part here.

11 CHAIRMAN MORROW: Right.

12 MR. JOHNSON: It's a review on appeal.

13 COMMISSIONER PASSOVOY: It helps to  
14 understand the --

15 CHAIR MORROW: Well, that's my question.

16 MR. JOHNSON: I totally get it. But I -- I  
17 just always -- as city attorney when I hear site visits,  
18 I have to put that in. And I know -- absolutely  
19 understand how it can help the Commission. But  
20 particularly in this case on an administrative appeal,  
21 that would be brand new information. That's not --

22 MR. SLETTE: I assume that staff probably  
23 was on the property and had a chance to inspect it. So  
24 to me, that would not constitute new evidence if the  
25 staff had seen what I'm asking the Commission to see.

1 And to me, the thing about a site visit from a due  
2 process perspective, what it entails is notice of the --  
3 of the site visit. So it's easily done. And again, I  
4 think at the site, if the staff saw it and that helped  
5 them render their decision, certainly, it's not  
6 something new for the Commission to consider.

7 CHAIR MORROW: Thank you. All right.  
8 Anybody have thoughts about this?

9 COMMISSIONER CARTER: I'm reading --

10 COMMISSIONER PASSOVOY: Are we now in the  
11 deliberation phase?

12 CHAIR MORROW: I believe we are, yes.

13 COMMISSIONER PASSOVOY: Okay. I just want  
14 to make sure.

15 MR. CARTER: I'm reading that the primary  
16 issue here is that the Appellant claims that the  
17 Planning and Building Department did not evaluate  
18 alternatives for the proposed development. "Despite a  
19 significant change made to the proposed driveway, the  
20 Planning and Building Department has only sought to  
21 remediate the resulting flawed plan and not requested or  
22 evaluated alternative locations for the driveway."

23 That seems to be the issue here, not whether  
24 or not the plan is a good plan, but whether or not the  
25 planning department sufficiently evaluated alternative

1 locations.

2 COMMISSIONER PASSOVOY: So do we ask the  
3 Planning Department --

4 COMMISSIONER CARTER: So how can we -- I  
5 mean, I think that that seems to be the crux of the  
6 issue here, or at least the claim.

7 MR. MCGRAW: My question to that would be,  
8 is it their responsibility, or if the applicant has  
9 afforded a suitable plan that meets code, meets  
10 engineering, is it the city's job to --

11 COMMISSIONER CARTER: Evaluate the  
12 alternative?

13 MR. MCGRAW: -- evaluate alternatives?

14 (Multiple people speaking at the same time.)

15 COMMISSIONER PASSOVOY: I think that's what  
16 the code requires.

17 COMMISSIONER CARTER: Because the code says  
18 "Where development is proposed that impacts any  
19 wetlands, the first priority shall be to move the  
20 development from the wetland area."

21 MR. MCGRAW: Okay.

22 COMMISSIONER CARTER: "Mitigation strategies  
23 shall be proposed at the time of application that  
24 replace the impacted wetland in equal amount and quality  
25 of new wetland area or riparian habitat improvement."

1 COMMISSIONER PASSOVOY: So can -- Matt, do  
2 we -- is this -- can we ask the staff if they --

3 MR. JOHNSON: Yeah, you can ask the staff  
4 that question.

5 COMMISSIONER PASSOVOY: So my question to  
6 the staff is, did you discuss -- did you consider  
7 alternative locations of the driveway --

8 MR. CRUTCHER: Yes, that --

9 COMMISSIONER PASSOVOY: -- and discuss those  
10 with the applicant? And would you tell us about that.

11 MR. CRUTCHER: Staff looked at the proposal  
12 and the residence being located within the letter of map  
13 amendments. Which took the property outside of the  
14 floodplain seemed to be the most appropriate location  
15 for the residence. And then with the requirement of a  
16 hammerhead turnaround by the fire department pushing the  
17 driveway up to the north, that seemed to be the best  
18 approach for getting access to the letter of map  
19 amendment area.

20 COMMISSIONER PASSOVOY: So the location of  
21 the house or the development dictated the location of  
22 the driveway?

23 MR. CRUTCHER: That's correct.

24 MS. LANDERS: And just to clarify, the  
25 location of the house wasn't necessarily the choosing of

1 the owner. It was a LOMA that had already been  
2 approved. So, you know, that was a condition that was  
3 kind of existing in place. And I think when Adam and I  
4 reviewed that, the effort was to keep the majority of  
5 the development outside of the floodplain. Because if  
6 we were to move the location of the home, you'd be  
7 putting it outside of the floodplain and into the  
8 floodplain. And so there was a discussion around  
9 alternatives. It isn't necessarily documented in kind  
10 of multiple scenarios as part of the development  
11 application, but those discussions did occur.

12 COMMISSIONER PASSOVOY: Okay. Thank you.

13 COMMISSIONER CARTER: Was there a  
14 consideration of leaving the driveway where the existing  
15 driveway is? Or how was the location of the existing  
16 driveway considered?

17 MR. CRUTCHER: Well, the fire department  
18 required a hammerhead turnaround access that was not  
19 present with the current driveway configuration due to  
20 fire department code. And so that configuration is the  
21 result of the fire department requirements.

22 COMMISSIONER PASSOVOY: Okay. I -- I'm not  
23 sure how this fits in. So, Matt, I would need your  
24 guidance on this. But it seems to me that we could have  
25 as an additional condition a requirement -- what I see

1 in terms of the monitoring that the -- the imposition on  
2 the owner for maintenance is of the wetlands. I don't  
3 see anything in there about the culverts. And it seems  
4 to be very reasonable to me asking the owner to be  
5 responsible for maintaining the culverts and keeping  
6 them clear, and giving the city and the neighboring  
7 property owner the right if the culverts are not cleared  
8 and flooding occurs, and is not addressed by the owner,  
9 that one or both of those parties can go on the  
10 property, clear out the culverts and collect  
11 reimbursement from the property owner.

12                   It's not an uncommon requirement and I'm --  
13 I'm wondering if is that something that we send it back  
14 to the Planning Commission -- I mean, the planning staff  
15 -- to fix? Or is -- can it be required as part of our  
16 deliberation?

17                   MR. JOHNSON: So I think what you want to do  
18 is you want to look at Condition 15 on the Floodplain  
19 Development Permit --

20                   COMMISSIONER PASSOVOY: Right.

21                   MR. JOHNSON: -- which is where this comes  
22 in --

23                   COMMISSIONER PASSOVOY: Yes.

24                   MR. JOHNSON: -- if you wanted to amend the  
25 permit to add some clarifying language. I will say

1 this: That Condition 15 is already requiring the  
2 property owner to maintain the culverts and the permit  
3 runs with the property.

4 MS. PASSOVOY: I missed that. I didn't see  
5 that on --

6 MR. JOHNSON: So there is -- there is  
7 enforcement. And sort of this question has been thrown  
8 out, you know, what do we do if the neighboring property  
9 owner had a concern? They would have the ability to  
10 call the city. That triggers the city has that  
11 authority to inspect. Notice of the property owner,  
12 you're required to maintain this under your Floodplain  
13 Development Permit, and that property owner has to  
14 comply with that. And there's further enforcement  
15 mechanisms under code and flood regulations in terms of  
16 in emergency situations the city has more leeway to go  
17 in and invade a nuisance or clear a floodway. I'd be  
18 hesitant, from the legal side, to add any kind of  
19 neighboring property owner and --

20 COMMISSIONER PASSOVOY: That's between the  
21 two parties and I wouldn't --

22 MR. JOHNSON: Yeah, that one --

23 (Two people speaking at the same time.)

24 COMMISSIONER PASSOVOY: That's for them to  
25 figure out, yeah, okay.

1 MR. JOHNSON: But the -- Susan, your real  
2 question about process, I would look at this Condition  
3 15. If you feel like it's satisfactory, you're good.  
4 If you feel like it needs some addition, that would be  
5 in the realm of the Commission's ability to modify.

6 COMMISSIONER PASSOVOY: So then I need some  
7 help because I have been through this whole package and  
8 I must have missed that Condition 15.

9 MR. CRUTCHER: It's on page 76.

10 COMMISSIONER PASSOVOY: Thank you. Somebody  
11 else go ahead if you --

12 MS. LANDERS: It's attachment D. It's on my  
13 page 119 of 264.

14 CHAIR MORROW: Yeah.

15 (Multiple speakers at the same time.)

16 COMMISSIONER PASSOVOY: What came to us --

17 CHAIR MORROW: Yeah.

18 COMMISSIONER PASSOVOY: Okay. Can you put  
19 it up there, Adam? Is it possible? Thank you.

20 MR. CRUTCHER: It's up on the screen, too,  
21 Susan.

22 COMMISSIONER PASSOVOY: Okay. It's easier  
23 for me to read here actually. Never mind, that's my --

24 CHAIR MORROW: My problem with this one is  
25 only -- yeah, that process works. You call the city.



1 They come and inspect it. But in the middle of a 100-  
2 year flood when their living room is full of water,  
3 that's not enough. You know, I just -- these are --

4           You know, what if the person who buys the  
5 house says screw you, litigate, you know? We don't care  
6 what you do. We don't care what the city says. We're  
7 not going to do anything. Let them sue us. I need more  
8 -- you know, to put it right on their property line? If  
9 it were halfway down and there was some leeway, but  
10 there's no leeway here. If it backs up in a 100-year  
11 flood, it's on their property right-of-way. There's no  
12 -- and getting a guy to come out in a 100-year flood  
13 when it's underwater, to come and clean these culverts,  
14 you know, it's litigation for them. It's litigation  
15 against the city. It -- we're setting ourselves up for  
16 someone who buys the house and they go, I've got a ton  
17 of money. Screw you, I'll do whatever I want. And if  
18 it means not cleaning the culverts, then I won't clean  
19 the culverts and you can sue me. And three years later  
20 when it gets done, you know, their house is ruined, or  
21 their historic cabin has floated away.

22           And for me, it's not enough. It's not  
23 enough to say it doesn't -- you know, Susan said, there  
24 were ridges and elevations and so there were places --  
25 yes, the top elevation may be is the top elevation. But

1 now you've gotten rid of any of that other contour.

2 I am concerned about the west channel, which  
3 doesn't seem to have any outlet compared to the east.  
4 So it's going to run right into the house or right into  
5 the --

6 The rules say it can't affect neighboring  
7 properties, and that's what I'm stuck on. Is that --  
8 here it's a lot of we've got this model. Well, if  
9 Brockway is willing to insure the property, that their  
10 model is right -- I guarantee they aren't -- but if  
11 they're willing to say, yes, if it does what -- you know  
12 something our model didn't say, then we'll pay for the  
13 insurance.

14 You know, but I think you're just -- you're  
15 -- you know, we're setting ourselves up for what we know  
16 is going to happen, which is when these big floods come  
17 up where it's flooded not just to their house, it's  
18 flooded onto, you know, Bordeau, and it's flooded well  
19 up into the neighborhood. You know, having that -- I  
20 just -- our models say this and our -- you know, our  
21 stuff says that. They're guesses.

22 And if you're waiting for the city to  
23 enforce it during a 100-year flood, for me it's not  
24 enough. What happens if it does impact the neighbors  
25 and not just these neighbors? What happens if it -- you

1 know, if something -- if the culverts aren't cleaned and  
2 something happens, who is responsible, you know?

3           And I could find error in not using the most  
4 recent FEMA maps to say this is no longer floodway.  
5 This is now floodplain. So I get that. But my concern  
6 really isn't -- it's that the design -- and I was -- you  
7 know, because it's been three years, we were told we  
8 can't be asked to redesign the site. That's, you know,  
9 not true.

10           So my concern is less of that and more that  
11 we're creating something that in the future is going to  
12 be a really big problem that we could avoid. And so I'm  
13 not sure how that happens. But it makes me really  
14 uncomfortable that our models say this and our models  
15 say that.

16           I've been down there during the floods in  
17 2017. I walk my dog down in that area all the time and  
18 it's -- half of those houses shouldn't have been built  
19 on Wood River or on Williams. You know, they're in the  
20 frickin' floodplain or in where the river brings its  
21 water back down.

22           So my concern is we don't make it worse.  
23 And that's not for you guys as much as for you guys  
24 that, you know, this needs -- we really need to make  
25 sure this is done right. Because if it floods next

1 year, the year after, it's built as a spec for sale. I  
2 hate to say it, but there's a lot of rich people who  
3 would come in and go, you're property flooded. Sue me.

4 That's a six-year process or a seven-year  
5 process to go through litigation. It's expensive. I  
6 don't want to make a decision that essentially puts that  
7 down the road as an obvious, you know, it's definitely  
8 going to happen. So I'm looking for some alternatives  
9 -- and, you know, we heard Mr. Osborne even tell us what  
10 those were -- but some logical alternatives to putting  
11 three huge culverts on their property line and hoping  
12 that the water doesn't back up if something happens.  
13 So to me that seems like a, you know, a wish and a  
14 prayer. But that's just my -- this is -- for all you  
15 guys, that's just my feeling about this.

16 MS. LANDERS: Mr. Chairman, may I just add a  
17 point of --

18 CHAIR MORROW: Sure.

19 MS. LANDERS: -- clarification? So about  
20 the draft FEMA maps, the only reason that there's a  
21 change on this property is because in the new draft  
22 maps, FEMA hasn't carried over the data of previously  
23 approved LOMAs into the data set. So the change of the  
24 map is not a result of the change of flooding condition  
25 on the property. It's just simply that the data -- all

1 of the data hasn't been incorporated; that's why they're  
2 still draft.

3 CHAIR MORROW: Yeah. And I'm just using it  
4 as a, you know, people like go "you can't find an  
5 error." I've been a lawyer a long time. We can find an  
6 error anywhere we want. But that's my point, that it's  
7 not really about that for me. It's more about that  
8 we're not saying, you know, oh, it's fine. It will be  
9 fine. And then say it will be fine. And we have no  
10 mechanism for when it's not fine. And then suddenly  
11 we've got, I'm suing the city because we made this  
12 decision. And I'm suing their neighbors because they  
13 haven't done what they're supposed to, and the city  
14 doing whatever they can to the neighbors, which may or  
15 may not be anything for their lack of ability to fulfill  
16 their responsibilities.

17 So it just -- you know, that's my fear here.  
18 It's not so much that the driveway is a levy, although,  
19 it kind of, you know, looks like it. It's more that  
20 what happens when we approve this and then something  
21 happens and the owners of this new very expensive house  
22 says, screw you? You know, we're not doing any of this.

23 And we don't have a mechanism for that. So  
24 I want to make sure that the development is right and  
25 that, you know, we do the best we can to make sure it

1 works before we approve it. That's just my feeling.

2 COMMISSIONER PASSOVOY: Morgan, you answered  
3 my question about whether or not you guys have looked at  
4 this draft and whether you think there's anything  
5 significant that would -- that would have affected your  
6 decision were it actually finalized. And what I'm  
7 hearing is, no, there isn't.

8 MS. LANDERS: Yeah, and I can let Adam speak  
9 to that. But Adam and Harmony both track the draft FEMA  
10 process very, very closely.

11 COMMISSIONER PASSOVOY: Uh-huh.

12 MS. LANDERS: We've looked at every single  
13 floodplain development permit and we've compared our  
14 existing BFEs with the draft BFEs. And usually in  
15 instances where there's any change in the BFE, then we  
16 usually go with the most conservative. You know, but we  
17 do track that process very quickly and we -- you know,  
18 we take it very seriously.

19 COMMISSIONER PASSOVOY: Okay. Well, then --  
20 then to follow on what Neil is saying, I -- I understand  
21 that completely. It's -- I -- I'm trusting that the  
22 engineering data is the best available. I mean, we have  
23 to make everyone in development -- or in any other area,  
24 you know, flying a plane -- you have to just go with you  
25 best data available. It's never going to be -- be

1 perfect in some other realm. It is as perfect as it can  
2 be in our realm. So I'm satisfied with the engineering.

3           The question that I have is the one with --  
4 that Neil has raised. Is that I'm concerned that if it  
5 is true that there is some risk of the west channel  
6 being backed up, and if the culverts are not kept clear,  
7 there is a theoretical enforcement mechanism. But is  
8 there in real life an enforcement mechanism? And is  
9 this the best possible engineering solution to the risk  
10 that has been identified? Or, are the engineers telling  
11 us that they have determined that notwithstanding the  
12 difference in elevation between the west channel and the  
13 hammerhead, that there is no risk of flooding, or  
14 backwater, backwash, or whatever you want to call it,  
15 from that hammerhead?

16           MS. LANDERS: Yeah, and I think, you know,  
17 there's been a lot of technical information provided to  
18 you all. I think there was a lot of focus on the  
19 eastern portion of the property. But the project is  
20 required to be looked at in totality.

21           COMMISSIONER PASSOVOY: Uh-huh.

22           MS. LANDERS: And so when we look at impact  
23 on adjacent property, it's not a just one single point  
24 or one single other point. It's in totality for the  
25 development as a whole. So that does get considered.

1 I think it is, you know, easy to kind of gravitate to  
2 specifics as kind of areas of concern. But it does --  
3 it is looked at kind of in its whole.

4 I think the last comments that I will make  
5 is that debris is always a concern in flooding. That's  
6 a comment that's been made. Large debris that -- that  
7 blocks culverts on a large scale, like the ones provided  
8 in the Appellant packet happen within the floodway when  
9 you have large downed trees, you know, things like that.  
10 These -- this area -- and Adam you can correct me if I'm  
11 wrong -- sees a lot of kind of sheet flooding of water  
12 come through. It isn't necessarily in a debris flow  
13 area.

14 So from staff's perspective, we aren't  
15 concerned about clogging of the culverts. We did the  
16 extra 50 percent assumption on the culvert because the  
17 Commission remanded back. We would not normally have  
18 run a model like that, and so we do feel that concern.  
19 On the enforcement side -- you know, the condition is  
20 written in a really strong way that gives us a lot of  
21 opportunity to enter the property when there's areas of  
22 concern. It's not just planning staff. It's any member  
23 of our inspection team. So during flooding conditions  
24 that may be Adam. That may be the water and waste water  
25 department. And those are in situations where we can



1 enter the property at any reasonable hour for the  
2 purpose of inspection or other enforcement action.

3           So you know I -- in flooding conditions, we  
4 get a lot of cooperation from property owners, right,  
5 because they're trying to protect their property.  
6 They're trying not to run the risk of downstream  
7 implications or upstream implications. For the most  
8 part, it is our most engaged time of the year when it  
9 comes to property-owner cooperation, so --

10           COMMISSIONER PASSOVOY: So you would have a  
11 regular inspection, or irregular inspection -- not  
12 clearing the culverts during a flood -- but checking to  
13 make sure that they've been maintained; that there  
14 hasn't been an accumulation over time of small blockages  
15 which then could create a large blockage? Adam, I'm  
16 looking at you. This is your project.

17           MR. CRUTCHER: Yeah, similar to the projects  
18 down on Wood River Drive that you all have reviewed  
19 recently, where those also have a system of culverts,  
20 anywhere where we have culverts or bridges in the city,  
21 we do go around during flooding years and check, myself,  
22 the fire department, streets and water and wastewater,  
23 to check and make sure that those aren't getting blocked  
24 or impacted in any way by debris. So those are things  
25 that we do regularly throughout the city in different

1 areas.

2 COMMISSIONER PASSOVOY: And not just during  
3 flooding. I mean, that's my question, is might you have  
4 an, okay, well, we have to go check 121 Badger Lane to  
5 make sure that there haven't been small accumulations  
6 over time that could be a problem if next year is a  
7 flood year?

8 MR. CRUTCHER: We start looking before  
9 overbank flooding occurs, yes.

10 COMMISSIONER PASSOVOY: Okay.

11 MR. CARTER: Staff, can you bring up page --  
12 the last page in the staff report, 221?

13 (Next Slide)

14 MR. CARTER: Is it correct that this shows  
15 existing conditions out there, more or less?

16 MR. CRUTCHER: Yeah.

17 MR. CARTER: And is it correct that that's  
18 showing a sort of existing driveway location?

19 MR. CRUTCHER: Yes.

20 MR. CARTER: Is there an existing -- there's  
21 an existing driveway on the site?

22 MR. CRUTCHER: Gravel. So the asphalt has  
23 been pulled out, but the topography is similar to where  
24 the driveway used to be when it was still functioning.

25 COMMISSIONER PASSOVOY: At the gray line?

1 MR. CRUTCHER: Correct.

2 COMMISSIONER CARTER: Was there an attempt  
3 made by the design team to design a driveway that worked  
4 on the existing configuration and a hammerhead that was  
5 in a different portion of the lot that perhaps didn't  
6 impact the wetland as much?

7 MR. CRUTCHER: I believe that would be a  
8 question for the Applicant.

9 MS. LANDERS: Tim, it wasn't something that  
10 was requested by staff. It was just during kind of  
11 discussions of different alternatives and what was being  
12 proposed.

13 COMMISSIONER CARTER: Okay.

14 COMMISSIONER MOCZYGEMBA: I think if they're  
15 just trying to do a hammerhead turnaround outside of the  
16 floodplain, it would be right about where the ADU and  
17 the pool are.

18 But, let's see, I guess my thoughts, so the  
19 Appellant, you know, came to us last year with concerns  
20 based on their localized observations, based on owning  
21 their property for the time that they have. And I  
22 certainly appreciate that, and we -- I think we all  
23 agreed that we heard their concern, which is why we  
24 remanded the application to make sure that all of the  
25 i's are dotted and t's are crossed.

1                   And I'm certainly empathetic to their  
2 concerns because flooding is stressful and warrants a  
3 lot of hand-ringing when you own a property by the  
4 river. And while everything can't be predicted in a  
5 model, you know, we have to -- I think we still have to  
6 rely on that modeling data. We've been through this  
7 before with Bruce and his avalanche reports where he's  
8 taking the best of what there is. But that's not to say  
9 there's a portion of a hill that may slide that wasn't  
10 anticipated. And I think the same situation could  
11 happen here.

12                   You know, when we talk about alternatives,  
13 the best alternative is no developments. But,  
14 nonetheless, I think in my mind we've -- I appreciate  
15 the staff and Applicant's time and resource that has  
16 been sent -- has been spent to reevaluate and, on the  
17 Applicant's side to provide additional study. And being  
18 a layperson, I would rather rely on Jennifer Zon (ph)  
19 from Harmony, Adam's opinion, and the data that was  
20 provided, in addition to the original data that was  
21 provided that was deemed sufficient during the first  
22 staff review.

23                   So in my mind, I think we've exhausted the  
24 analysis that can be done. And you really just cannot  
25 predict the unknowns, as much as we may try to control

1 the river and all of that.

2 COMMISSIONER PASSOVOY: I'm at the point  
3 where I can make a decision. Matt, did you have  
4 anything to add?

5 MR. MCGRAW: Yeah, I think just to go back  
6 on some things that Neil has said. This is an  
7 inherently more hazardous place to build and thus we  
8 hold it to higher standards. There are so many things  
9 that could go wrong in a place like this. Regardless of  
10 whether or not this property is developed, disaster can  
11 strike next door. For things that, you know, we do not  
12 model for, that could lead to a larger discussion about,  
13 you know, what and how we build in places like this.

14 But, you know, the question is, if the  
15 standards we have for this Applicant today have been  
16 met? But that's what we can do. I think that other  
17 conversation is really important to have.

18 COMMISSIONER PASSOVOY: Put that on the  
19 list.

20 MR. MCGRAW: Yeah, right.

21 COMMISSIONER CARTER: I don't doubt that the  
22 engineering is correct. I think the question before us  
23 is whether -- whether an alternate proposal -- a more  
24 appropriate alternate proposal -- was considered. And  
25 looking at the map that we have above us of the current

1 conditions on the site, I do wonder whether an alternate  
2 design that's more appropriate and less impactful to the  
3 neighbors and meets the spirit, meets the letter of the  
4 code is possible.

5 CHAIR MORROW: That's real easy because I'm  
6 with Tim. I'd just like to see if a redesigned driveway  
7 -- because we're not talking about redesigning the  
8 house. We're just really talking about redesigning  
9 getting to the house. Let's see if that could be less  
10 impactful to the neighbors. I think I'd be interested  
11 in that, too, so that would be a remand for a redesign.

12 COMMISSIONER PASSOVOY: And I actually, if  
13 you take that -- I mean, it may require some redesign of  
14 the house, which was my question. Is if the design of  
15 house -- the design and placement of the house is  
16 dictating where the driveway goes. And maybe that  
17 approach should have been, or we should ask the  
18 Applicant to -- I mean, I know this has been a long and  
19 expensive process. But since this was raised as a  
20 problem early on, I would -- I would have liked to have  
21 seen them say, well, maybe the way we've designed and  
22 located the house should be reevaluated so that we don't  
23 have this problem of the driveway and the hammerhead  
24 right along the northern property line. It's sort of  
25 the once again, you know, what forces the decision?

1 Which part of the design forces the decision?

2 CHAIR MORROW: Yeah, I mean, it is a long  
3 process. But we really do have to seriously take and  
4 consider the neighbor's property rights and how our  
5 decision affects, or could affect, their property. And  
6 so that's kind of why we're stuck here, I think, which  
7 is -- you know, I'd like to say obviously there was no  
8 reason for Adam to look for an alternative so he didn't.  
9 It fit. It was fine. I think we've come to a point  
10 that it would be nice to see if there is a less  
11 impactful alternative.

12 COMMISSIONER PASSOVOY: But does that rise  
13 to the level of a claimed error or abuse of discretion?  
14 That's what --

15 CHAIR MORROW: I guess -- and, again, like I  
16 said with the error, you know, is it an error not to  
17 evaluate alternative locations? Maybe it was, maybe it  
18 wasn't. You know, at this point it appears like it was.  
19 But, you know, when Adam first looked at it, there was  
20 no reason for him to go, hey, let's see six other  
21 driveway locations, you know, or six other house  
22 placements. So I think that's kind of a hard -- you  
23 know, are we within our right to do this? Yes, I think  
24 so.

25 MR. MCGRAW: I think that for there to be --

1 the error to be large enough for someone to say that  
2 this needs further consideration, there has to be some  
3 evidence, other than colloquialisms, that there are  
4 damages; that the standards are inadequate or being  
5 incorrectly applied. You know, hard evidence as has  
6 been provided by the Applicant to say that they've met,  
7 you know, the standard, some benchmark to say that it's  
8 insufficient by, you know, the rules that we decided it  
9 needs to be judged by. I -- I don't feel like I've  
10 heard that.

11 COMMISSIONER PASSOVOY: That's an excellent  
12 point, Matt. I guess what I -- I would say, I mean, I  
13 don't see an error or an abuse of discretion. I only  
14 can say that I wish in the earlier stages as we went  
15 forward -- it's not up to me to tell somebody how big a  
16 house to build or anything -- but the Applicant might  
17 have said -- or the staff might have said to the  
18 Applicant, you know, this driveway location, as required  
19 by the -- not the location but the elements of the  
20 driveway as required by the fire department are going to  
21 -- might very well cause a problem for the property  
22 owner. Why don't you go back to your -- just as we sent  
23 AURA (ph) back -- why don't you go back and maybe see if  
24 you can redesign this house plan so that the driveway  
25 can be located elsewhere. They didn't do that. But I



1 don't think that rises to the level -- or maybe they did  
2 do that in conversation. But I don't think that what  
3 was done or not done rises the to the level of an error  
4 or abuse of discretion.

5 COMMISSIONER MOCZYGEMBA: Yeah, I think  
6 Matthew brings up a good point. And I kind of stick  
7 with my original thought that I would -- I'm leaning  
8 towards affirming the decision. Again, we can look for  
9 alternatives for days. The best alternative is to not  
10 develop the lot. But I think this is a tricky lot.  
11 It's a flag lot that's hemming in the driveway for --  
12 well, a lot of feet. And then it has essentially  
13 low-lying wetland and floodplain at a diagonal to the  
14 other three corners of the lot.

15 So, I don't know, I don't think there was  
16 any error made. And, again, I appreciate the  
17 reevaluation and the time and resource that has gone  
18 into providing that evidence.

19 CHAIR MORROW: So we're thinking about --  
20 does everybody kind of know where they are?

21 THE COMMISSIONERS: (No response).

22 CHAIR MORROW: Okay. I'll take a motion.

23 COMMISSIONER PASSOVOY: I move that we  
24 affirm the decision by the planning staff and find in  
25 favor of the Applicant, is that what we do? Matt, what

1 do we say?

2 MR. JOHNSON: Yeah, as a starting point and  
3 then I'll kind of walk you through how I'd outline --  
4 You'll get the findings and decision.

5 CHAIRMAN MORROW: And then we'll be able to  
6 -- yeah, it will be written.

7 MR. JOHNSON: I just need to know where we  
8 are even.

9 CHAIR MORROW: Yeah.

10 COMMISSIONER PASSOVOY: Well, that's -- that  
11 is my -- I don't know if that's a motion or if that's a  
12 suggested outcome.

13 MR. JOHNSON: That was a good motion.

14 CHAIR MORROW: Yeah, good enough.

15 MR. McGRAW: Second.

16 CHAIR MORROW: All in favor?

17 COMMISSIONER PASSOVOY: Aye.

18 MR. McGRAW: Aye.

19 COMMISSIONER MOCZYGEMBA: Aye.

20 CHAIR MORROW: All opposed?

21 MR. CARTER: Nay

22 CHAIR MORROW: Nay. Three to two.

23 MR. JOHNSON: So, Commissioners, based on  
24 the discussion, usually with an affirm it's a simpler  
25 decision to write. But I think I will try to

1 incorporate some level of discussion about concerns on  
2 the site, but noting that ultimately it appears where  
3 the Commission arrived at is based upon the remand,  
4 additional engineering and modeling was done. That's  
5 been provided. That evidenced certain things to the  
6 determination of the planning department to arrive at a  
7 conclusion. The Commission ultimately found there  
8 wasn't clear error or abuse of discretion in applying  
9 that, and so therefore affirmed the decision. Does that  
10 sound like it mostly captures it?

11 CHAIR MORROW: Yes.

12 MR. JOHNSON: Okay. So we'll -- I'll draft  
13 that up and we'll have that for you for hopefully your  
14 next meeting.

15 CHAIR MORROW: Just as an off-topic since  
16 we're kind of on topic, as we rewrite the code, can we  
17 change that standard of review?

18 MR. JOHNSON: Yeah.

19 CHAIR MORROW: Okay.

20 MR. JOHNSON: It's in city code so --

21 CHAIR MORROW: Yeah, it could be a little  
22 more clear. Do you know what I mean? Because it's more  
23 one of those where we're just tweaking the language so  
24 it really tells us what we want it to tell us instead of  
25 the, hey, make it up on your own.

1 MR. JOHNSON: Great idea. It makes my job  
2 easier too.

3 CHAIR MORROW: Yeah, and it would be easier  
4 for us. Because as you wrestle with that in your head,  
5 it's like, boy, if it had two more words in here, I'd  
6 know what I was doing.

7 COMMISSIONER PASSOVOY: Matt, may be you  
8 could help us by suggesting some appropriate language as  
9 we update the code.

10 MR. JOHNSON: Sure, yeah.

11 CHAIR MORROW: Staff do you have anything  
12 else for us?

13 STAFF: No.

14 CHAIR MORROW: That's it. So then I will  
15 call the meeting, and I appreciate everyone's time and  
16 attention. And we will be here. We'll see you again.

17 STAFF: Would you mind doing a motion to  
18 adjourn and a second.

19 CHAIR MORROW: I will do a motion to adjourn.

20 COMMISSIONER PASSOVOY: I second.

21 CHAIR MORROW: All in favor?

22 THE COMMISSIONERS: Aye (unanimous).

23 MS. LANDERS: Thanks everybody.

24 THE COMMISSIONERS: Thank you.

25 (Thereupon, the hearing adjourned at 8:30 p.m.)

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C E R T I F I C A T E

STATE OF IDAHO )  
: SS.  
County of Bonner )

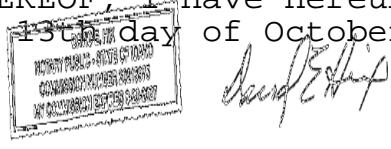
I, David E. Hix, ASCR, Freelance Court Reporter and Notary Public for the State of Idaho do hereby certify:

That I was duly authorized to and did report the testimony and evidence in this cause;

That the foregoing pages of this A/V hearing transcript constitute a true and accurate transcription of my stenotype notes from a recording furnished by others.

I further certify that I am not an attorney nor counsel of any of the parties; nor a relative or employee of any attorney or counsel connected with the action, nor financially interested in the action.

IN WITNESS WHEREOF, I have hereunto set my hand and seal on this the 13th day of October, 2024.



David E. Hix, ASCR  
Freelance/Official Court Reporter,  
Notary Public, State of Idaho  
My Commission expires: August 16, 2027

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## **In The Matter Of:**

*Re: 2024 Administrative Appeal of Osborns and 121 Badge*

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August 13, 2024*

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City of Ketchum

## **ATTACHMENT 7:**

# **Floodplain Development Permit Findings of Fact, Conclusions of Law, and Decision**



City of Ketchum  
Planning & Building

**CITY OF KETCHUM  
ZONING CODE TITLE 17  
ADMINISTRATIVE FLOODPLAIN DEVELOPMENT PERMIT  
FINDINGS AND DECISION**

**PROJECT:** Badger Residence  
**FILE NUMBER:** P23-014  
**OWNER:** 121 Badger Lane LLC  
**REPRESENTATIVE:** Erik de Bruijn  
**REQUEST:** Request to construct a new single-family residence on subject property  
**LOCATION:** 121 Badger Ln (ROCKING RANCH SUB #2 PARCEL 4 47,480SF)  
**ZONING:** Limited Residential (LR)  
**OVERLAYS:** Floodplain Management Overlay  
**REVIEWERS:** Adam Crutcher – Associate Planner  
**NOTICING:** Notice sent to 300-ft adjoiners 2/7/2024

**BACKGROUND FACTS**

1. The City of Ketchum is a municipal corporation organized under Article XII of the Idaho Constitution and the laws of the State of Idaho, Title 50, Idaho Code. Under Chapter 65, Title 67 of the Idaho Code, the City is required to pass certain ordinances regarding land use, including a zoning ordinance.
2. Pursuant to Zoning Code Title 17, Section 17.88.050(D)1, the administrator shall have the authority to consider and approve, approve with conditions, or deny applications for floodplain development permits and for waterways design review.
3. The scope of work consists of the construction of a new single-family residence. The proposed residence is located partially within the Special Flood Hazard Area (SFHA). The contains wetlands which are proposed to be modified and relocated.
4. The project site contains floodplain.
5. The original application was approved on June 26, 2023, and subsequently appealed (P23-014A) to the Planning & Zoning Commission. The Commission held the appeal hearing on December 12, 2023 and remanded the application back to staff for further analysis to ensure that no adverse impact to the adjacent property to the north would occur as a result of the proposed development. The written decision of this remanding was finalized and signed on January 9, 2024.

**FINDINGS OF CONFORMANCE WITH FLOODPLAIN DEVELOPMENT REQUIREMENTS**

<b>Floodplain Development Permit Requirements</b>
<b>1. EVALUATION STANDARDS: 17.88.050(E)</b>

Compliant			Standards and Staff Comments	
Yes	No	N/A	Guideline	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.88.050(E)1</b>	<p>The proposal preserves or restores the inherent natural characteristics of the river, floodplain, and riparian zone, including riparian vegetation and wildlife habitat. Development does not alter river channel unless all stream alteration criteria for evaluation are also met.</p> <p><i>Staff Comments</i> The proposal preserves the inherent natural characteristics of the floodplain by allowing floodwaters to flow in its historic path (north to south). Historically, the subject property has had a road/driveway at the northern boundary with a culvert underneath. This has led to most floodwaters to overtop the driveway with some flowing through the culvert. The proposal adds additional culverts to allow for increased amount of floodwaters to flow underneath the proposed driveway with less overtopping. A majority of proposed residence and ADU are located outside of floodplain due to LOMA for property. Plantings on the property are native with those in delineated wetlands being appropriate species.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.88.050(E)2</b>	<p>No temporary construction activities, encroachment or other disturbance into the 25-foot riparian zone, including encroachment of below grade structures, shall be permitted, with the exception of approved stream stabilization work and restoration work associated with a riparian zone that is degraded.</p> <p><i>Staff Comments</i> The subject property does not contain the 25-foot riparian zone.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.88.050(E)3</b>	<p>No permanent development shall occur within the 25-foot riparian zone, with the exception of approved stream stabilization work and restoration work associated with permit issued under this title, or exceptions as described below: a. Access to a property where no other primary access is available; b. Emergency access required by the fire department; c. A single defined pathways or staircases for the purpose of providing access to the river channel and in order to mitigate multiple undefined social paths; d. Development by the City of Ketchum.</p> <p><i>Staff Comments</i> The subject property does not contain the 25-foot riparian zone.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.88.050(E)4</b>	<p>New or replacement planting and vegetation in the riparian zone shall include plantings that are low growing and have dense root systems for the purpose of stabilizing stream banks and repairing damage previously done to riparian vegetation. Examples of such plantings most commonly include: red osier dogwood, common</p>



Compliant			Standards and Staff Comments	
Yes	No	N/A	Guideline	City Standards and Staff Comments
				chokecherry, serviceberry, elderberry, river birch, skunk bush sumac, Beb's willow, Drummond's willow, little wild rose, gooseberry, and honeysuckle. However, in rare instances the distance from the top-of-bank to the mean high water mark is significant and the native vegetation appropriate for the riparian zone are low growing, drought resistant grasses and shrubs. Replacement planting and vegetation shall be appropriate for the specific site conditions. Proposal does not include vegetation within the 25-foot riparian zone that is degraded, not natural, or which does not promote bank stability.
			<b>Staff Comments</b>	<i>The subject property does not contain the 25-foot riparian zone. Still the project does contain wetlands and proposes species associated with riparian habitat.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.88.050(E)5</b>	<b>Landscaping and driveway plans to accommodate the function of the floodplain allow for sheet flooding. Surface drainage is controlled and shall not adversely impact adjacent properties including driveways drained away from paved roadways. Culvert(s) under driveways may be required. Landscaping berms shall be designed to not dam or otherwise obstruct floodwaters or divert same onto roads or other public pathways.</b>
			<b>Staff Comments</b>	<i>Driveway is slightly raised to ensure no more than 1-ft of flooding occurs (emergency vehicle requirement). As a result of the raised driveway, if no culverts were placed underneath, the adjacent property to the north would be adversely impacted with increased floodwaters. To resolve this issue, three culverts (24" HDPE) have been proposed underneath the driveway to allow for floodwaters to pass under the driveway in order to not have an adverse impact on the adjacent property owner. A HEC-RAS model was run for the site was run and showed three culverts would result in no increased floodwater at cross section Badger 6 (along northern property line). The installation of the three culverts would result in most floodwater running underneath the driveway. An HY-8 model was also run to evaluate the proposed culverts that are in series under the driveway. The HEC-RAS model was found to have the more conservative results and was therefore used to determine the necessary culverts needed. A separate weir flow analysis was conducted to determine the capacity of the culvert inlets under clogged conditions and found that the culverts had adequate capacity to carry floodwaters with 50% of the grate being clogged. As mentioned in condition of approval #15, culverts are required to be maintained and kept clear to ensure sufficient carrying capacity. No landscape berms are proposed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.88.050(E)6</b>	<b>Flood water carrying capacity is not diminished by the proposal.</b>
			<b>Staff Comments</b>	<i>The proposed development has more excavation (274 cubic yards) than fill (258 cubic yards) resulting in a net 16 cubic yards of cut on the subject property. All cut and fill considered for floodwater carrying capacity is below the Base Flood Elevation (BFE). As mentioned previously, HEC-RAS model for the site shows no increase</i>

Compliant			Standards and Staff Comments	
Yes	No	N/A	Guideline	City Standards and Staff Comments
				<i>in floodwaters on adjacent properties to the north &amp; south. The driveway is slightly raised to ensure no more than 1-ft of flooding occurs (emergency vehicle requirement). As a result of the raised driveway, if no culverts were placed underneath, the adjacent property to the north would be adversely impacted with increased floodwaters. To resolve this issue, three culverts (24" HDPE) have been proposed underneath the driveway to allow for floodwaters to pass under the driveway in order to not have an adverse impact on the adjacent property owner.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.88.050(E)7</b>	<b>Impacts of the development on aquatic life, recreation, or water quality upstream, downstream or across the stream are not adverse.</b>
			<b>Staff Comments</b>	<i>The subject property is not adjacent to the Big Wood River. The wetland plantings will be beneficial to water quality and aquatic life. No work is proposed within the floodway or stream. No downstream impacts or across stream impacts will be associated with the approved landscape plan (L3.0).</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.88.050(E)8</b>	<b>Building setback in excess of the minimum required along waterways is encouraged. An additional ten-foot building setback beyond the required 25-foot riparian zone is encouraged to provide for yards, decks and patios outside the 25-foot riparian zone.</b>
			<b>Staff Comments</b>	<i>N/A. The subject property does not contain the 25-foot riparian zone.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.88.050(E)9</b>	<b>The top of the lowest floor of a building located in, or partially within, the SFHA shall be at or above the flood protection elevation (FPE). A building is considered to be partially within the SFHA if any portion of the building or appendage of the building, such as footings, attached decks, posts for upper story decks, are located within the SFHA. See section 17.88.060, figures 1 and 2 of this chapter to reference construction details. See chapter 17.08 of this title for definition of "lowest floor."</b> <b>a. In the SFHA where base flood elevations (BFEs) have been determined, the FPE shall be 24 inches above the BFE for the subject property; 24 inches or two feet is the required freeboard in Ketchum City Limits.</b> <b>b. In the SFHA where no BFE has been established, the FPE shall be at least two feet above the highest adjacent grade.</b>
			<b>Staff Comments</b>	<i>The top of the lowest floor (finished floor) will be elevated 24" above the Base Flood Elevation of 5786.5. As the proposed elevation is located within the AE zone the top of the lowest floor is required to be 24" above the BFE.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.88.050(E)10</b>	<b>The backfill used around the foundation in the SFHA floodplain shall provide a reasonable transition to existing grade but shall not be used to fill the parcel to any greater extent.</b> <b>a. Compensatory storage shall be required for any fill placed within the floodplain.</b> <b>b. A CLOMR-F shall be obtained prior to placement of any additional fill in the floodplain.</b>

Compliant			Standards and Staff Comments	
Yes	No	N/A	Guideline	City Standards and Staff Comments
			<b>Staff Comments</b>	<i>An estimated 258 cubic yards of fill will be placed within the SFHA. The excavation on the site is proposed to be 274 cubic yards, resulting in 16 cubic yards of excess excavation. Fill and excavation on the site transitions to existing grade within the property boundaries.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.88.050(E)1 1</b>	<b>All new buildings located partially or wholly within the SFHA shall be constructed on foundations that are designed by a licensed professional engineer.</b>
			<b>Staff Comments</b>	<i>Both buildings will be constructed with concrete slab on grade foundations designed by David Funk who is a licensed professional engineer within Idaho.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.88.050(E)1 2</b>	<b>Driveways shall comply with City of Ketchum street standards; access for emergency vehicles has been adequately provided for by limiting flood depths in all roadways to one foot or less during the one percent annual chance event.</b>
			<b>Staff Comments</b>	<i>Driveway complies with City of Ketchum street standards. The Fire &amp; Streets Departments have both approved the proposed driveway design. Driveway has been elevated so no greater than 1 foot of floodwater may over top during the one percent annual chance flood.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.88.050(E)1 3</b>	<b>Landscaping or revegetation shall conceal cuts and fills required for driveways and other elements of the development.</b>
			<b>Staff Comments</b>	<i>Landscaping is proposed on all areas of the property including driveways and other elements of the development. The landscaping will conceal any cuts and fill which are required.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.88.050(E)1 4</b>	<b>(Stream Alteration) The proposal is shown to be a permanent solution and creates a stable situation.</b>
			<b>Staff Comments</b>	<i>N/A - Stream Alteration is not proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.88.050(E)1 5</b>	<b>(Stream alteration.) No increase to the one percent annual chance flood elevation at any location in the community, based on hydrologic and hydraulic analysis performed in accordance with standard engineering practice and has been certified and submitted with supporting calculations and a No Rise Certificate, by a registered Idaho engineer.</b>
			<b>Staff Comments</b>	<i>N/A - Stream Alteration is not proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.88.050(E)1 6</b>	<b>(Stream alteration.) The project has demonstrated no adverse impact or has demonstrated all impacts will be mitigated.</b>
			<b>Staff Comments</b>	<i>N/A - Stream Alteration is not proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.88.050(E)1 7</b>	<b>(Stream alteration.) The recreational use of the stream including access along any and all public pedestrian/fisher's easements and the aesthetic beauty shall not be obstructed or interfered with by the proposed work.</b>
			<b>Staff Comments</b>	<i>N/A - Stream Alteration is not proposed.</i>

Compliant			Standards and Staff Comments	
Yes	No	N/A	Guideline	City Standards and <i>Staff Comments</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.88.050(E)18	(Stream alteration) Fish habitat is maintained or improved as a result of the work proposed.
			<i>Staff Comments</i>	<i>N/A - Stream Alteration is not proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.88.050(E)19	(Stream alteration.) The proposed work shall not be in conflict with the local public interest, including, but not limited to, property values, fish and wildlife habitat, aquatic life, recreation and access to public lands and waters, aesthetic beauty of the stream and water quality.
			<i>Staff Comments</i>	<i>N/A - Stream Alteration is not proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.88.050(E)20	(Stream alteration.) The work proposed is for the protection of the public health, safety and/or welfare such as public schools, sewage treatment plant, water and sewer distribution lines and bridges providing particularly limited or sole access to areas of habitation.
			<i>Staff Comments</i>	<i>N/A - Stream Alteration is not proposed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.050(E)21	(Wetlands) Where development is proposed that impacts any wetland the first priority shall be to move development from the wetland area. Mitigation strategies shall be proposed at time of application that replace the impacted wetland area with an equal amount and quality of new wetland area or riparian habitat improvement.
			<i>Staff Comments</i>	<i>Project site contains wetlands as delineated by Trent Stumph with Sawtooth Environmental. The proposed development will impact, permanently fill approximately 1,277 square feet of wetlands with proposed wetland mitigation creating approximately 1,278 square feet of wetlands. Wetlands include species such as Bebbs Willows, Red-osier Dogwood, and Quaking Aspen.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.060.A.1	A. General Standards: In all areas of special flood hazard, the following standards are required: 1. Anchoring: a. All new construction and substantial improvements shall be anchored to prevent flotation, collapse, or lateral movement of the structure resulting from hydrodynamic and hydrostatic loads, including the effects of buoyancy. b. All manufactured homes must likewise be anchored to prevent flotation, collapse or lateral movement, and shall be installed using methods and practices that minimize flood damage. Anchoring methods may include, but are not limited to, use of over the top or frame ties to ground anchors (reference the Federal Emergency Management Agency's "Manufactured Home Installation in Flood Hazard Areas" guidebook for additional techniques).
			<i>Staff Comments</i>	<i>The proposed development is a single-family home that will be constructed on site and attached to a foundation designed by a professional engineer. Sheet S-111A indicates foundation has been designed to meet standards of this section. The new construction will be anchored to prevent flotation, collapse, or lateral movements.</i>

Compliant			Standards and Staff Comments	
Yes	No	N/A	Guideline	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.060.A.2	<p><b>2. Construction Materials And Methods:</b></p> <p>a. All structural and nonstructural building materials utilized at or below the base flood elevation must be flood resistant. Flood damage resistant materials must be used for all building elements subject to exposure to floodwaters, including floor joists, insulation, and ductwork. If flood damage resistant materials are not used for building elements, those elements must be elevated above the base flood elevation. This requirement applies regardless of the expected or historical flood duration.</p> <p>b. All new construction and substantial improvements shall be constructed using methods and practices that minimize flood damage.</p> <p>c. Electrical, heating, ventilation, plumbing and air conditioning equipment and other service facilities shall be designed and/or otherwise elevated or located so as to prevent water from entering or accumulating within the components during conditions of flooding.</p>
			<b>Staff Comments</b>	<p>A. Proposed materials below the BFE include reinforced concrete &amp; galvanized steel. Both materials are acceptable per FEMA Technical Bulletin 2.</p> <p>B. This project consists of new construction. All floodplain development regulations required by Ketchum Municipal Code will be met.</p> <p>C. The mechanical room and all mechanical equipment are to be located above the BFE and outside of the SFHA. No HVAC or electrical panels will be located below the BFE. Any plumbing and electrical leading from mains to the residence will be watertight and located underground.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.88.060.A.3	<p><b>3. Utilities:</b></p> <p>a. All new and replacement water supply systems shall be designed to minimize or eliminate infiltration of floodwaters into the system;</p> <p>b. New and replacement sanitary sewage systems shall be designed to minimize or eliminate infiltration of floodwaters into the systems and discharge from the systems into floodwaters; and</p> <p>c. On site waste disposal systems shall be located to avoid impairment to them or contamination from them during flooding.</p>
			<b>Staff Comments</b>	Water and sewer services into the residence will be located underground and built to required plumbing codes
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.88.060.B.1	<p><b>1. All construction in AO zones shall be designed and constructed with drainage paths around structures to guide water away from structures</b></p>
			<b>Staff Comments</b>	Proposed residence is within the AE zone, not the AO.

Compliant			Standards and Staff Comments	
Yes	No	N/A	Guideline	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.88.060.B.2. a</b>	<p><b>2. Residential Construction:</b>  <b>a. New construction and substantial improvement of any residential structure in any A1-30, AE and AH zone shall have the top of the lowest floor, including basement, elevated a minimum of twenty four inches (24") above the base flood elevation.</b></p> <p><b>Staff Comments</b>  <i>The top of the lowest floor (finished floor) will be elevated 24" above the Base Flood Elevation of 5786.5'. As the proposed elevation is located within the AE zone the top of the lowest floor is required to be 24" above the BFE. Sheets A-400, A-401, &amp; A-402 show lowest floor elevated above BFE by 24".</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.88.060.B.2. b</b>	<p><b>b. New construction and substantial improvement of any residential structure in any AO zone shall have the lowest floor, including basement, elevated to or above the highest adjacent grade at least as high as the FIRM's depth number plus twenty four inches (24").</b></p> <p><b>Staff Comments</b>  <i>N/A. Proposed residence is within the AE zone, not the AO</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.88.060.B.2. c.</b>	<p><b>c. Fully enclosed areas below the lowest floor that are subject to flooding are prohibited, or shall be designed to automatically equalize hydrostatic flood forces on exterior walls by allowing for the entry and exit of floodwaters. Designs for meeting this requirement must either be certified by a registered professional engineer or architect or must meet or exceed the following minimum criteria (see figures 1, "Preferred Crawl Space Construction", and 2, "Below Grade Crawl Space Construction", of this section):</b></p> <p><b>Staff Comments</b>  <i>The residence will have one fully enclosed area not raised to the flood protection elevation: the garage. The garage has been designed to include to automatically equalize hydrostatic flood forces on exterior walls through the installation of flood openings (Smart Vents have been specified for this project). The appropriate number of vents to cover the square footage the enclosed area are proposed –6 openings for the garage.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.88.060.B.2. c.(1)</b>	<p><b>(1) A minimum of two (2) openings having a total net area of not less than one square inch for every square foot of enclosed area subject to flooding shall be provided. Openings shall be placed on at least two (2) walls to permit entry and exit of floodwaters.</b></p> <p><b>Staff Comments</b>  <i>Flood openings are placed on at least two walls. Engineered Smart Vents are proposed. One Smart Vent is sized for 200 square feet of floor area. The garage is 1170 sq ft and 6 Smart Vents are proposed. See sheet A-110.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.88.060.B.2. c.(2)</b>	<p><b>(2) The bottom of each flood vent opening shall be no higher than one foot (1') above the lowest adjacent exterior grade.</b></p> <p><b>Staff Comments</b>  <i>Spec sheets for proposed flood vents indicate this requirement will be met. Bottom of proposed flood vents will be a maximum of one foot (1') above finished grade.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.88.060.B.2. c.(3)</b>	<p><b>(3) Engineered flood vents are required.</b></p>

Compliant			Standards and Staff Comments	
Yes	No	N/A	Guideline	City Standards and Staff Comments
			<b>Staff Comments</b>	<i>Proposed vents are Engineered Smart Vents</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.88.060.B2. c.(4)</b>	<b>(4) Portions of the building below the base flood elevation shall be constructed with material resistant to flood damage.</b>
			<b>Staff Comments</b>	<i>This standard has been met. See 17.88.060.A.2</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.88.060.B2. c.(5)</b>	<b>(5) The interior grade of a below grade crawl space (see figure 2, "Below Grade Crawl Space Construction", of this section) below the base flood elevation shall not be more than two feet (2') below the lowest adjacent exterior grade.</b>
			<b>Staff Comments</b>	<i>N/A. No crawlspace proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.88.060.B2. c.(5)</b>	<b>6) The height of a below grade crawl space, measured from the interior grade of the crawl space to the top of the crawl space foundation wall, shall not exceed four feet (4') at any point.</b>
			<b>Staff Comments</b>	<i>N/A. No crawlspace proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.88.060.B2. c.(5)</b>	<b>(7) A below grade crawl space shall have an adequate drainage system that removes floodwaters from the interior area of the crawl space within a reasonable time after a flood event.</b>
			<b>Staff Comments</b>	<i>N/A. No crawlspace proposed.</i>
			<b>17.88.060.B2. c.(6)</b>	<b>(8) The velocity of floodwaters at the site should not exceed five feet per second for any crawlspace</b>
			<b>Staff Comments</b>	<i>N/A. No crawlspace proposed.</i>

#### CONCLUSIONS OF LAW

1. The City of Ketchum is a municipal corporation organized under Article XII of the Idaho Constitution and the laws of the State of Idaho, Title 50, Idaho Code;
2. Under Chapter 65, Title 67, of the Idaho Code the City has passed a zoning ordinance, Title 17;
3. The City of Ketchum Planning Department provided adequate notice of opportunity to comment on this application pursuant to Chapter 17.88.050 D of the zoning ordinance, Title 17;
4. The project **does** meet the standards of approval under Chapter 17.88 of Zoning Code Title 17.

#### DECISION

**THEREFORE**, the Administrative Floodplain Development Permit for the proposed project, Badger Residence, is approved on this date, May 14, 2024, with the following conditions.

### Conditions of Approval

1. This approval is subject to the scope of work described in the documents shown in Attachment A.
2. Any modification to approved plans as referenced in this approval shall be subject to a written amendment to this permit approval. If construction or improvements differ from the approved plans, such work may be subject to removal at the applicants expense.
3. Follow up site visits to ensure compliance with the approved Landscaping Plan, L5.0 dated 4/29/2024, are required for the three (3) years following the initial site visit that occurs in conjunction with issuance of the Certificate of Occupancy.
  - A. If, upon an annual inspection, 80% or fewer of the plants indicated on Landscape Plan L5.0 dated 4/29/2024 have not survived, the property owner shall re-install new plantings.
4. Floodplain Development Permit approval shall expire one (1) year from the date of signing of approved Findings of Fact per the terms of KMC, Section 17.88.050.G, Terms of Approval, if construction has not commenced. Once a building permit has been issued, the approval shall be valid for the duration of the building permit.
5. No use of restricted use chemicals or soil sterilants will be allowed within one hundred feet (100') of the mean high-water mark on any property within the city limits at any time (KMC 17.88.040.C.3);
6. All applications of herbicides and/or pesticides within one hundred feet (100') of the mean high water mark, but not within twenty five feet (25') of the mean high water mark, must be done by a licensed applicator and applied at the minimum application rates (KMC 17.88.040.C.4);
7. Application times for herbicides and/or pesticides will be limited to two (2) times a year; once in the spring and once in the fall unless otherwise approved by the City Arborist (KMC 17.88.040.C.5);
8. It shall be unlawful to dump, deposit or otherwise cause any trash, landscape debris or other material to be placed in any stream, channel, ditch, pond or basin that regularly or periodically carries or stores water.
9. A building under-construction Elevation Certificate (FEMA FORM 86-0-33) shall be submitted within seven calendar days upon completion of the foundation and lowest floor.
10. A final, as built finished construction Elevation Certificate (FEMA Form 86-0-33) with supporting documentation such as an as-built survey of the project produced by a surveyor or engineer licensed in Idaho demonstrating that the project was constructed in accordance with the approved plans, shall be submitted prior to issuance of Certificate of Occupancy. Deficiencies detected by such documentation shall be corrected by the permit holder immediately and prior to certificate of occupancy issuance. In some instances, another certification may be required to certify corrected as-built construction. Failure to submit the certification or failure to make required corrections shall be cause to withhold the issuance of a certificate of occupancy.
11. The finished construction elevation certificate certifier shall provide at least two photographs showing the front and rear of the building taken within 90 days from the date of certification. The photographs must be taken with views confirming the building description and elevation locations identified on the approved plans. To the extent possible, these photographs should show the entire building including foundation. If the building has split-level or multi-level areas, provide at least two additional photographs showing side views of the building. In addition, when applicable, provide a photograph of the foundation showing a representative example of the flood openings or vents if applicable. All photographs must be in color and measure at least three inches by three inches. Digital photographs are acceptable.
12. An inspection to verify flood vent placement shall be scheduled within seven calendar days upon completion of first floor framing.
13. The Administrator may conduct site inspections of work in progress. The Administrator may make as many inspections of the work as may be necessary to ensure that the work is being done according to the terms of this permit, approved plans and KMC 17.88. In exercising this power, the Administrator



has a right, upon presentation of proper credentials, to enter the property at any reasonable hour for the purposes of inspection or other enforcement action.

14. Upon notification of imminent flood danger from the City of Ketchum, all construction activity and materials within the designated SFHA shall be removed to a location outside of said zone.
15. Maintenance of culverts to ensure they function properly during flooding conditions is required. Per KMC 17.88.050.D.3.b.(2), the administrator and each member of his or her inspections department shall a right, upon presentation of proper credentials, to enter on any premises within the territorial jurisdiction of the department at any reasonable hour for the purposes of inspection or other enforcement action to verify that the culverts are maintained appropriately.

**Decision:** Approved, subject to conditions above.

DATED this

14<sup>th</sup> day of May 2024



Adam Crutcher  
Associate Planner

**ATTACHMENTS:**

- A. Project Plans

**Permit Holder's Acknowledgement:**

I have read the terms and conditions of this permit approval and agree to follow all the conditions of approval. I understand if construction does not comply with the conditions of approval, the project may be issued a stop work order until any deficiencies are corrected.

Print Name: Erik de Buijn

Sign 

Date: 05/14/2024



City of Ketchum

## **ATTACHMENT 8:**

# **Approved Building Permit Plan Set**



Approved  
 These plans have been found to be in substantial compliance with the adopted building codes. These documents are approved contingent on compliance with the mark-ups and notes applied. This is not approval of any code, ordinance, statute or regulation. Corrections will be required for code violations found during the inspection process.

BLD2303-00021  
 06/26/23

4/26/23

# 121 BADGER LANE

## BUILDING PERMIT SUBMITTAL



### BADGER RESIDENCE

OWNER:  
**121 BADGER LANE LLC**  
 P.O. BOX 14001-174  
 KETCHUM, ID 83340

PROJECT ARCHITECT:  
**RO | ROCKETT DESIGN**  
 1031 W. MANCHESTER BLVD, UNIT 6  
 INGLEWOOD, CA 90301  
 TEL: 213.784.0014

SURVEYOR:  
**GALENA ENGINEERING, INC.**  
 317 NORTH RIVER STREET  
 HAILEY, ID 83333  
 TEL: 208.788.1705

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**SAWTOOTH ENVIRONMENTAL CONSULTING**  
 P.O. BOX 2707 / 540 NORTH FIRST AVE  
 KETCHUM, ID 83340  
 TEL: 208.727.9748

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**BROCKWAY ENGINEERING, INC.**  
 2018 WASHINGTON ST NORTH, SUITE 4  
 TWIN FALLS, ID 83301  
 TEL: 208.736-8543

GEOTECHNICAL ENGINEER:  
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LANDSCAPE ARCHITECT:  
**BYLA**  
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 TEL: 208.726.9512

STRUCTURAL ENGINEER:  
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 EL SEGUNDO, CA 90245  
 TEL: 213.239.9700

MEP ENGINEER:  
**CES ENGINEERING SERVICES, LLC**  
 1001 W OAK BUILDING B SUITE 107  
 BOZEMAN, MT 59715  
 TEL: 406.272.0352

LIGHTING DESIGN CONSULTANT:  
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 TEL: 310.552.2191

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SEAL:  
  
 JASON RO  
 STATE OF IDAHO

1	05.02.23	PERMIT REVIEW- REV 1
0	02.28.23	BUILDING PERMIT SUBMITTAL
NO	DATE	ISSUE

PROJECT:  
**BADGER RESIDENCE**  
 121 BADGER LANE  
 KETCHUM, ID 83340

PROJECT NUMBER  
**#2201**

DRAWING TITLE:  
**COVER SHEET**

DRAWING NUMBER:  
**G-000**

**NOT FOR CONSTRUCTION**  
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PROJECT DESCRIPTION	PROJECT DATA	ACCESSORY DWELLING UNIT - NET LIVABLE AREA	VICINITY MAP
SINGLE FAMILY RESIDENCE: MAIN HOUSE DWELLING WITH IN-GROUND SPA; ACCESSORY DWELLING UNIT WITH IN-GROUND POOL AND SPA.  SCOPE OF WORK INCLUDES: NEW CONSTRUCTION OF FOUNDATION, STRUCTURAL, CIVIL, LANDSCAPING, AND HARDSCAPING.	PARCEL #: RPK05130000040 PARCEL AREA: 1.09 ACRES PER SURVEY (47,480 SF) ZONING DISTRICT: LR- LIMITED RESIDENTIAL DISTRICT FLOODPLAIN OVERLAY DISTRICT: YES AVALANCHE OVERLAY DISTRICT: NO MOUNTAIN BOUNDARY: NO  OCCUPANCY: R-3 - SINGLE FAMILY DWELLING CONSTRUCTION TYPE: TYPE V ZONING HEIGHT LIMIT: 35' IFC HEIGHT LIMIT: 30' (SEE SHEET G-011) STORIES: 2 SETBACKS: 15' FRONT, 20' REAR, GREATER OF 1' FOR EVERY 2' OF BUILDING HEIGHT OF 10' SIDE  PARKING: 2 REQ'D PER DWELLING UNIT AUTOMATIC SPRINKLER SYSTEM REQ'D: YES ; NFPA 13D  MAX BUILDING COVERAGE (LR ZONE): 35% PROPOSED BUILDING COVERAGE: 21% (SEE SHEET G-010)	(SEE SHEET G-012 FOR AREA CALCULATION FOR ADU- NET LIVABLE SF)  <u>PROPOSED NET LIVABLE FLOOR AREA- ADU</u>  ADU- LEVEL 01 = 621 SF ADU- LEVEL 02 = 572 SF TOTAL = 1,193 SF  ADU- GARAGE = 495 SF	
<b>PROJECT ADDRESS</b>  121 BADGER LANE KETCHUM, ID 83340	<b>LEGAL DESCRIPTION</b>  PARCEL 4, ROCKING RANCH SUB #2 (LOCATED WITHIN SECTION 13, T.4 N., R.17 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO)	<b>APPLICABLE CODES:</b>  ALL CONSTRUCTION SHALL COMPLY WITH:  2018 INTERNATIONAL BUILDING CODE* 2018 INTERNATIONAL RESIDENTIAL CODE* 2018 INTERNATIONAL FIRE CODE WITH LOCAL AMENDMENTS* 2018 INTERNATIONAL ENERGY CONSERVATION CODE 2018 INTERNATIONAL SWIMMING POOL AND SPA CODE 2018 INTERNATIONAL EXISTING BUILDING CODE 2018 INTERNATIONAL PROPERTY MAINTENANCE CODE  *AS AMENDED BY THE IDAHO BUILDING CODE BOARD AND INCLUDING NOTED APPENDICES.  NATIONAL GREEN BUILDING STANDARD [SILVER CERTIFICATION] TITLE 15 KETCHUM MUNICIPAL CODE APPENDIX M OF THE IBC AS AMENDED BY THE CITY OF KETCHUM  ALL APPLICABLE COUNTY ORDINANCES CONTRACTOR SHALL KEEP A COPY OF THE ABOVE CODE SECTIONS ON THE JOB SITE AT ALL TIMES.  JURISDICTIONAL AGENCY SHALL BE THE KETCHUM BUILDING DEPARTMENT.	
	<b>PROPOSED DEVELOPMENT</b>  <u>PROPOSED GROSS FLOOR AREA</u>  MAIN HOUSE- LEVEL 01 = 5,450 SF MAIN HOUSE- LEVEL 02 = 3,900 SF TOTAL = 9,350 SF  ADU- LEVEL 01 = 1,411 SF ADU- LEVEL 02 = 945 SF TOTAL = 2,356 SF   <u>PROPOSED UNCONDITIONED FLOOR AREA</u>  MAIN HOUSE- GARAGE = 1,105 SF MAIN HOUSE- MECH = 508 SF  ADU- GARAGE = 530 SF ADU- MECH = 292 SF  <u>PROPOSED CONDITIONED FLOOR AREA</u>  MAIN HOUSE- CONDITIONED = 7,737 SF  ADU - NET LIVABLE (PER CoK) = 1,193 SF *SEE SHEET G-012 ADU - CONDITIONED = 1,534 SF   <u>PROPOSED COVERED PORCH / PATIO:</u>  MAIN HOUSE FRONT DECK = 907 SF ADU LEVEL 02 BALCONY = 142 SF  <u>PROPOSED UNCOVERED PORCH / PATIO:</u>  MAIN HOUSE REAR DECK = 1,388 SF ADU POOL DECK = 658 SF ADU LEVEL 02 ROOF DECK = 240 SF	<b>NOTES</b>  THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DRAWINGS, CALCULATIONS, GOVERNMENTAL AGENCY APPROVALS AND FEES TO COMPLETE THIS WORK. CONTRACTORS/SUBCONTRACTORS SHALL SUBMIT MECHANICAL, ELECTRICAL, COMMUNICATIONS AND PLUMBING DRAWINGS TO RO ROCKETT DESIGN FOR PREVIEW OF DEVICE TYPES, LOCATIONS AND QUANTITIES, HVAC ZONING/THERMOSTAT LOCATIONS, ETC. PRIOR TO SUBMITTING FOR PERMIT AND CONSTRUCTION.	









Approved  
 These plans have been found to be in substantial compliance with the relevant building codes. These documents are independent on compliance with all applicable codes. This is not approval of any code ordinance, statute or regulation. All Glass shall be sized to meet or exceed ALL GLASS SHALL BE SIZED TO MEET OR EXCEED ALL APPLICABLE REQUIREMENTS. GLASS INSTALLATION, SHALL BE WATER WHITE GLASS AND TEMPEPRD WHERE REQUIRED BY CODE

**TEMPORARY MEASURES:**

- GC SHALL MAINTAIN A COMPUTER & INTERNET CONNECTION TO RECEIVE SKETCHES & TRANSMISSIONS ON SITE DURING CONSTRUCTION. GC SHALL ALSO PROVIDE THE DESIGNER WITH A TELEPHONE NUMBER FOR THE JOB SITE WHETHER WIRED OR MOBILE.
- GC TO PROVIDE A FIRE EXTINGUISHER AND FIRST AID KIT ON SITE DURING CONSTRUCTION.
- GC SHALL PROVIDE A NEST WEBCAM OR APPROVED EQUIVALENT FOR REMOTE VIEWING OF SITE FROM TWO LOCATIONS. OWNER SHALL INSTALL & PAY COST OF INTERNET BANDWITH TO SUPPORT CONTINUOUS CAMERA FEED.

**Q. DEPARTMENT NOTES:**

- GC TO REFER TO APPLICABLE FIRE CODE NOTES RELEVANT TO NEW CONSTRUCTION OF SINGLE FAMILY RESIDENCE.
- PROJECT CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE STANDARDS OF THE MOST CURRENT BUILDING AND MUNICIPAL CODES AS ADOPTED BY GOVERNING JURISDICTIONS OF THE PROJECT LOCATION AT TIME OF INITIAL FILING.
- A SET OF PLANS MUST REMAIN ON THE JOB SITE AT ALL TIMES. APPOINTMENTS FOR INSPECTIONS, IF REQUIRED, SHOULD BE MADE AT LEAST TWO DAYS IN ADVANCE OF THE REQUIRED INSPECTION.
- A 2A10BC FIRE EXTINGUISHER IS RECOMMENDED FOR HOUSEHOLD USE.
- IF APPLICABLE, APPROVED ADDRESS NUMBERS SHALL BE ATTACHED TO BUILDING PER HOA GUIDELINES.
- STRUCTURES UNDER CONSTRUCTION, ALTERATION, OR DEMOLITION SHALL BE PROVIDED WITH NOT LESS THAN ONE 2A10BC FIRE EXTINGUISHER AS FOLLOWS: 1) ON ALL FLOORS WHERE COMBUSTIBLE MATERIALS HAVE ACCUMULATED 2) IN EVERY STORAGE AND CONSTRUCTION SHED 3) WHERE SPECIAL HAZARDS EXIST INCLUDING BUT NOT LIMITED TO THE STORAGE AND USE OF COMBUSTIBLE AND FLAMMABLE LIQUIDS.
- PROVIDE FIRE HYDRANT FOR THE PROPERTY AS REQ'D PER NLTFD REQUIREMENTS AND IFC Table C102.1 (IFC Appendix C).
- ALL BUILDINGS EQUIPED WITH AN AUTOMATIC FIRE SPRINKLER SYSTEM SHALL HAVE A MONITORED FIRE ALARM PER (IFC 903.4 ) PLANS AND INSTALLATION OF 13R FIRE SPRINKLER AND MONITORED FIRE ALARM SYSTEM UNDER SEPARATE PERMIT PER RESOLUTION 16-1.

**R. LANDSCAPE & LANDSCAPE IRRIGATION:**

- ALL LANDSCAPE IRRIGATION BACKFLOW DEVICES MUST MEET CURRENT JURISDICTION'S REQUIREMENTS FOR PROPER INSTALLATION.

**S. FIRE PROTECTION**

- (IFC 907.2.10): INTERCONNECTED SMOKE ALARMS SHALL BE INSTALLED INSIDE ALL BEDROOMS, ON THE CEILING OR WALL OUTSIDE OF EACH BEDROOM AND IN EVERY STORY IN THE DWELLING UNIT INCLUDING BASEMENTS BUT NOT CRAWL SPACES, UNINHABITED ATTICS AND GARAGES.
- CARBON MONOXIDE ALARMS SHALL BE INSTALLED IMMEDIATELY OUTSIDE OF ALL BEDROOMS AND IN THE IMMEDIATE VICINITY OF BEDROOMS IN DWELLING UNITS WITHIN WHICH FUEL FIRED APPLANCES ARE INSTALLED, AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES.
- CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING, SHALL BE EQUIPPED WITH A BATTERY BACKUP AND INTERCONNECTED
- CUT SHEETS OF ALL DEVICES SHALL BE SUBMITTED TO ARCHITECT PRIOR TO PURCHASE AND INSTALLATION
- FIRE SUPPRESSION SHALL BE PROVIDED IN NEW DWELLING UNIT, ATTACHED GARAGE AND ANY CRAWL SPACES IF APPLICABLE. THE AUTOMATIC RESIDENTIAL SPRINKLER SYSTEM WILL COMPLY WITH NFPA 13R, MONITORED BY AN APPROVED FIRE ALARM SYSTEM IN ACCORDANCE WITH NFPA 72, AND PER REQ'S OF AUTHORITY HAVING JURISDICTION.

**T. COUNTY RIGHT-OF-WAY**

- AN EXCAVATION AND ENCROACHMENT PERMIT IS REQUIRED PRIOR TO ANY IMPROVEMENTS N THE COUNTY RIGHT-OF-WAY, PERMIT MUST BE OBTAIN BY COUNTY APPROVED CONTRACTOR.
- A REVOCABLE OCCUPANCY PERMIT MUST BE OBTAINED SHALL THE BEAR BOX LOCATION BE WITHIN 12' OF EDGE OF PAVEMENT.

**BADGER RESIDENCE**

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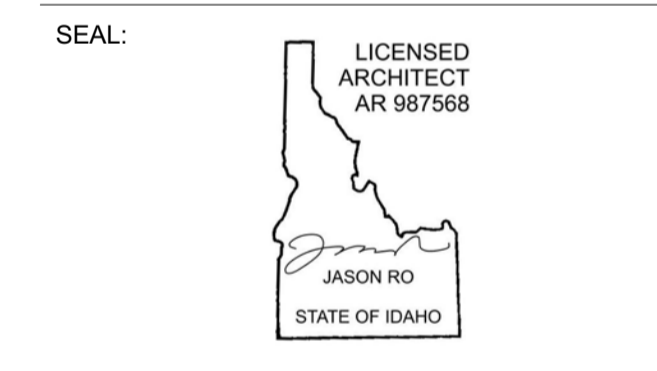
**STRUCTURAL ENGINEER:**  
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 TEL: 213.239.9700

**MEP ENGINEER:**  
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 TEL: 406.272.0352

**LIGHTING DESIGN CONSULTANT:**  
 KGM ARCHITECTURAL LIGHTING  
 270 CORAL CIRCLE  
 EL SEGUNDO, CA 90245  
 TEL: 310.552.2191

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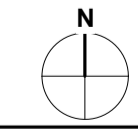
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NO	DATE	BUILDING PERMIT ISSUE

**PROJECT:**  
**BADGER RESIDENCE**  
 121 BADGER LANE  
 KETCHUM, ID 83340

PROJECT NUMBER  
**#2201**



DRAWING TITLE:  
**GENERAL NOTES**

DRAWING NUMBER:  
**G-004**









Approved  
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BLD2303-00021  
 06/26/23

2/2/25

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Summary of Results of the Design Phase

No Mandatory items missing on the "Overview (Design)" page. Location: 121 Badger Lane - ADU, Ketchum, Idaho 83340

Category	Points Required			Points Obtained	Mandatory Practices	No Items
	Required	Silver	Gold			
Chapter 6: Lot Design, Preparation, and Development	10	10	10	10	✓	✓
Chapter 6: Resource Efficiency	43	35	30	35	✓	✓
Chapter 6: Energy Efficiency	15	15	15	15	✓	✓
Chapter 6: Water Efficiency	23	19	15	19	✓	✓
Chapter 6: Indoor Environmental Quality	12	12	12	12	✓	✓
Chapter 20: Operation, Maintenance, and Building Owner Education	8	8	8	8	✓	✓
Additional Points Required Due to LEED v4.0 (2013)	0	0	0	0		
<b>Total points required</b>	<b>108</b>	<b>105</b>	<b>105</b>	<b>105</b>		
Additional Points Awarded	243	166	96	166		
<b>Overall Level Achieved for Design</b>	<b>Silver</b>					

\*REFER TO DOCUMENT SUBMITTAL FOR COMPLETE WORKBOOK SPREADSHEET

2 SCALE: NA NGBS SUMMARY - ADU

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Summary of Results of the Design Phase

No Mandatory items missing on the "Overview (Design)" page. Location: 121 Badger Lane, Ketchum, Idaho 83340

Category	Points Required			Points Obtained	Mandatory Practices	No Items
	Required	Silver	Gold			
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Chapter 6: Resource Efficiency	43	35	30	35	✓	✓
Chapter 6: Energy Efficiency	15	15	15	15	✓	✓
Chapter 6: Water Efficiency	23	19	15	19	✓	✓
Chapter 6: Indoor Environmental Quality	12	12	12	12	✓	✓
Chapter 20: Operation, Maintenance, and Building Owner Education	8	8	8	8	✓	✓
Additional Points Required Due to LEED v4.0 (2013)	0	0	0	0		
<b>Total points required</b>	<b>108</b>	<b>105</b>	<b>105</b>	<b>105</b>		
Additional Points Awarded	243	166	96	166		
<b>Overall Level Achieved for Design</b>	<b>Silver</b>					

\*REFER TO DOCUMENT SUBMITTAL FOR COMPLETE WORKBOOK SPREADSHEET

1 SCALE: NA NGBS SUMMARY - MAIN HOUSE

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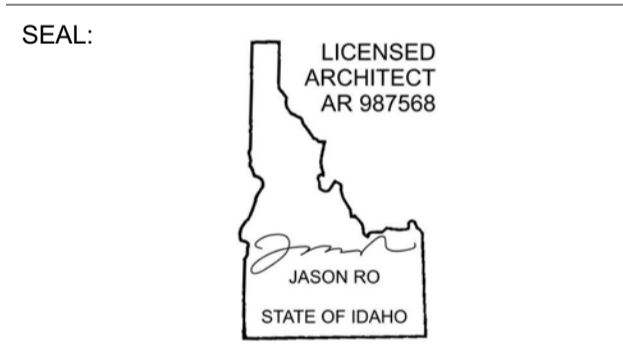
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0 02.28.23 BUILDING PERMIT  
 NO DATE ISSUE

PROJECT:  
**BADGER RESIDENCE**  
 121 BADGER LANE  
 KETCHUM, ID 83340

PROJECT NUMBER  
**#2201**

DRAWING TITLE:  
**NATIONAL GREEN BUILDING STANDARDS CERTIFICATION**

DRAWING NUMBER:  
**G-008**

**BADGER RESIDENCE**

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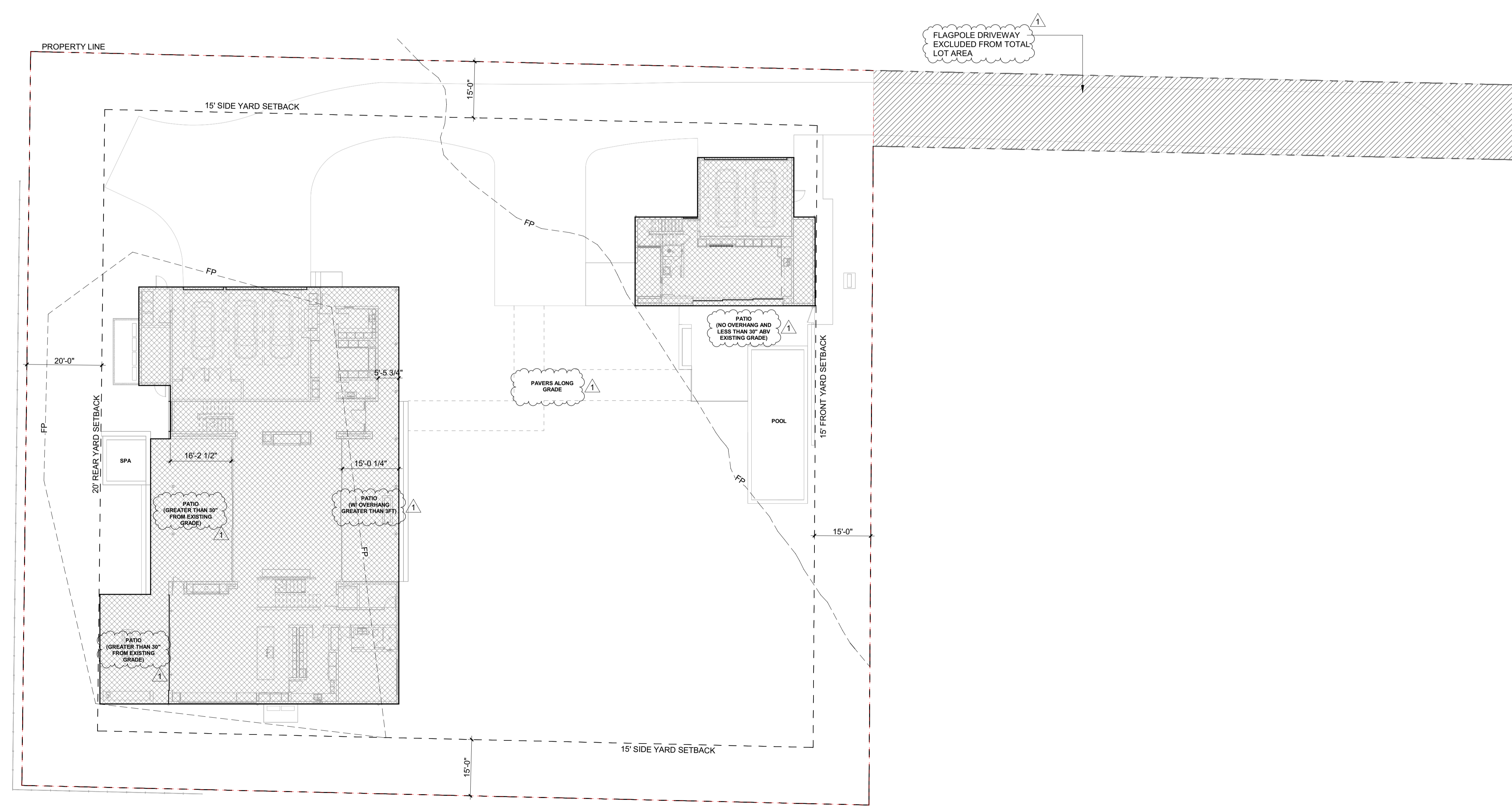
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AREA OF BUILDING, PATIOS WITH OVERHANGS GREATER THAN 3 FT AND PATIOS ABOVE 30" FROM EXISTING GRADE AT ANY POINT

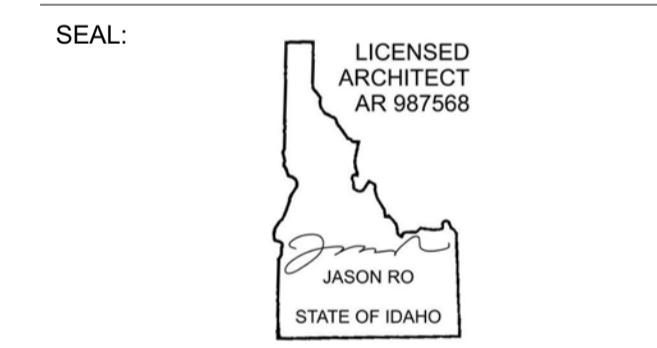
**17.08.020 TERMS DEFINED**  
 BUILDING COVERAGE: THE TOTAL SQUARE FOOTAGE OF THE BUILDING FOUNDATION AND ALL HORIZONTAL PROJECTIONS WHICH CONSTITUTE A "BUILDING" AS DEFINED IN THIS SECTION, BUT NOT INCLUDING ROOF OVERHANGS THAT ARE THREE FEET OR LESS OR UNCOVERED DECKS LESS THAN 30 INCHES ABOVE GRADE. GARAGES AND GUEST HOMES SHALL BE INCLUDED IN BUILDING COVERAGE. THE LOT AREA USED TO DETERMINE BUILDING COVERAGE SHALL BE THAT AREA LANDWARD SIDE OF THE MEAN HIGH WATER MARK ON THE BIG WOOD RIVER, TRAIL CREEK AND WARM SPRINGS CREEK.

**TOTAL LOT AREA (EXCLUDING FLAGPOLE DRIVEWAY) = 44,138 SF**  
**TOTAL BUILDING COVERAGE (%) = (9,309 SF / 44,138 SF) X 100 = (21%)**  
**MAX BUILDING COVERAGE FOR LR DISTRICT = 35%**



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1	05.02.23	PERMIT REVIEW- REV 1
0	02.28.23	BUILDING PERMIT SUBMITTAL
NO	DATE	ISSUE

PROJECT:  
**BADGER RESIDENCE**  
 121 BADGER LANE  
 KETCHUM, ID 83340

PROJECT NUMBER  
**#2201**

DRAWING TITLE:  
**LOT COVERAGE**

DRAWING NUMBER:  
**G-010**

**BADGER RESIDENCE**

**OWNER:**  
 121 BADGER LANE LLC  
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**HYDROLOGY / WATER ENGINEERING:**  
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 2018 WASHINGTON ST NORTH, SUITE 4  
 TWIN FALLS, ID 83301  
 TEL: 208.736-8543

**GEOTECHNICAL ENGINEER:**  
 BUTLER ASSOCIATES, INC.  
 P.O. BOX 1034  
 KETCHUM, ID 83340  
 TEL: 208.720.6432

**LANDSCAPE ARCHITECT:**  
 BYLA  
 323 LEWIS STREET, SUITE N  
 KETCHUM, ID 83340  
 TEL: 208.726.5907

**CIVIL ENGINEER:**  
 BENCHMARK ASSOCIATES, P.A.  
 P.O. BOX 733 - 100 BELL DRIVE  
 KETCHUM, IDAHO 83340  
 TEL: 208.726.9512

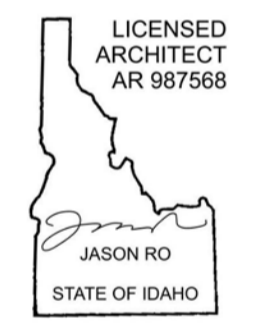
**STRUCTURAL ENGINEER:**  
 LFA  
 319 MAIN STREET  
 EL SEGUNDO, CA 90245  
 TEL: 213.239.9700

**MEP ENGINEER:**  
 CES ENGINEERING SERVICES, LLC  
 1001 W OAK BUILDING B SUITE 107  
 BOZEMAN, MT 59715  
 TEL: 406.272.0352

**LIGHTING DESIGN CONSULTANT:**  
 KGM ARCHITECTURAL LIGHTING  
 270 CORAL CIRCLE  
 EL SEGUNDO, CA 90245  
 TEL: 310.552.2191

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**SEAL:**  


1	05.02.23	PERMIT REVIEW- REV 1
0	02.28.23	BUILDING PERMIT SUBMITTAL
NO	DATE	ISSUE

**PROJECT:**  
**BADGER RESIDENCE**  
 121 BADGER LANE  
 KETCHUM, ID 83340

**PROJECT NUMBER:**  
**#2201**

**DRAWING TITLE:**  
**HEIGHT DIAGRAM**

**DRAWING NUMBER:**  
**G-011**

01M 3/32" = 1'-0" MAIN HOUSE ELEVATION

01A 3/32" = 1'-0" ADU ELEVATION

**INTERNATIONAL FIRE CODE (IFC) 2018 - CHAPTER 2 DEFINITIONS:**

**GRADE PLANE.** A REFERENCE PLANE REPRESENTING THE AVERAGE OF FINISHED GROUND LEVEL ADJOINING THE BUILDING AT EXTERIOR WALLS. WHERE THE FINISHED GROUND LEVEL SLOPES AWAY FROM THE EXTERIOR WALLS, THE REFERENCE PLANE SHALL BE ESTABLISHED BY THE LOWEST POINT WITHIN THE AREA BETWEEN THE LOT LINE, OR WHERE THE OT LINE IS MORE THAN 6' FROM THE BUILDING, BETWEEN THE BUILDING AND A POINT 6 FEET FROM THE BUILDING.

**MAIN HOUSE - GRADE PLANE ELEVATION:**

5786.2 + 5786 + 5786.5 + 5785.7 + 5787.5 + 5788.5 + 5788.5 + 5787.5 + 5786.2 + 5785.3 + 5788.5 + 5788.5 + 5788.5 + 5788.5 + 5788.5 + 5787

16

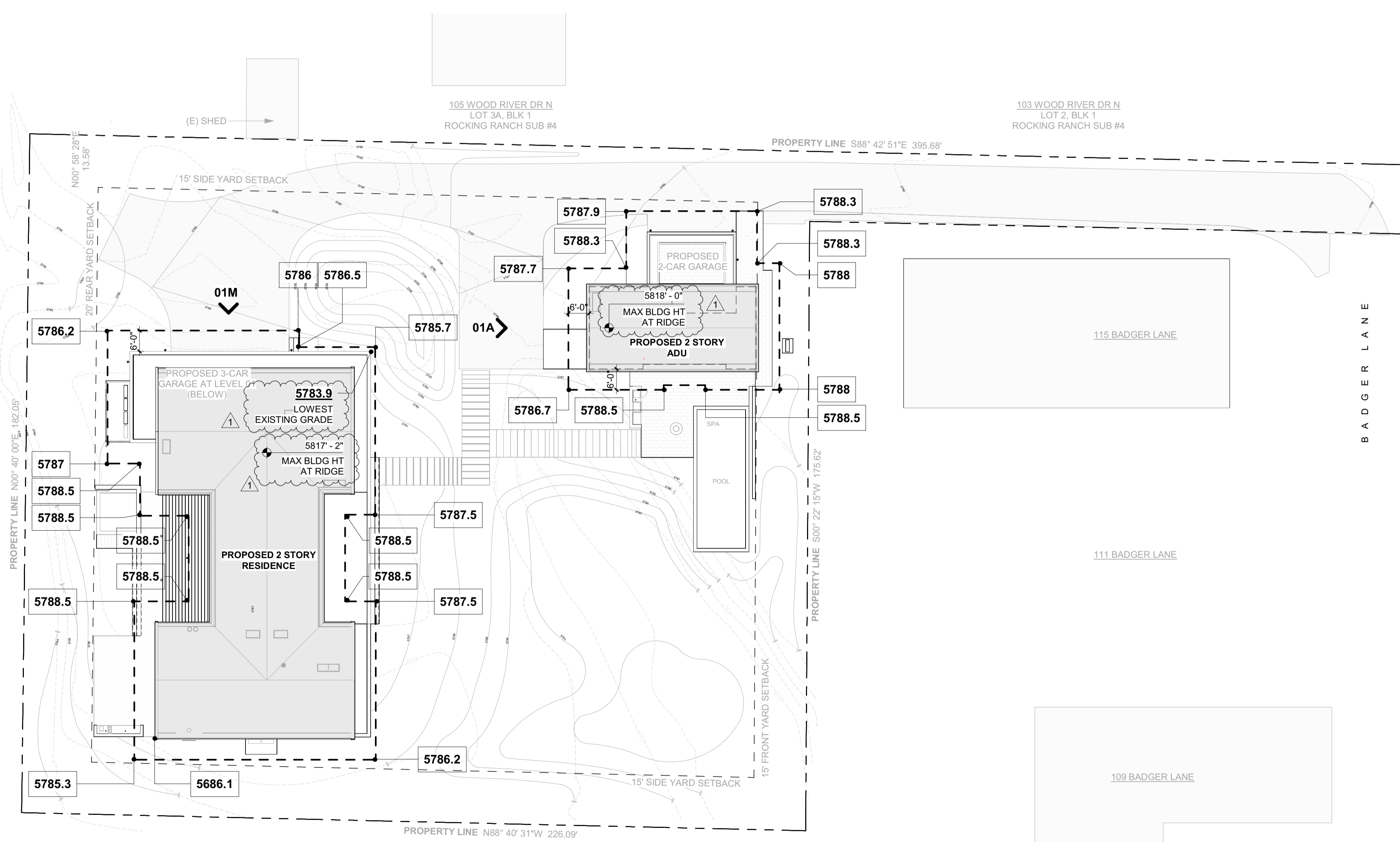
= 5787.3

**ADU - GRADE PLANE ELEVATION:**

5787.9 + 5788.3 + 5788.3 + 5788 + 5788 + 5788.5 + 5788.5 + 5786.7 + 5787.7 + 5788.3

10

= 5788.0



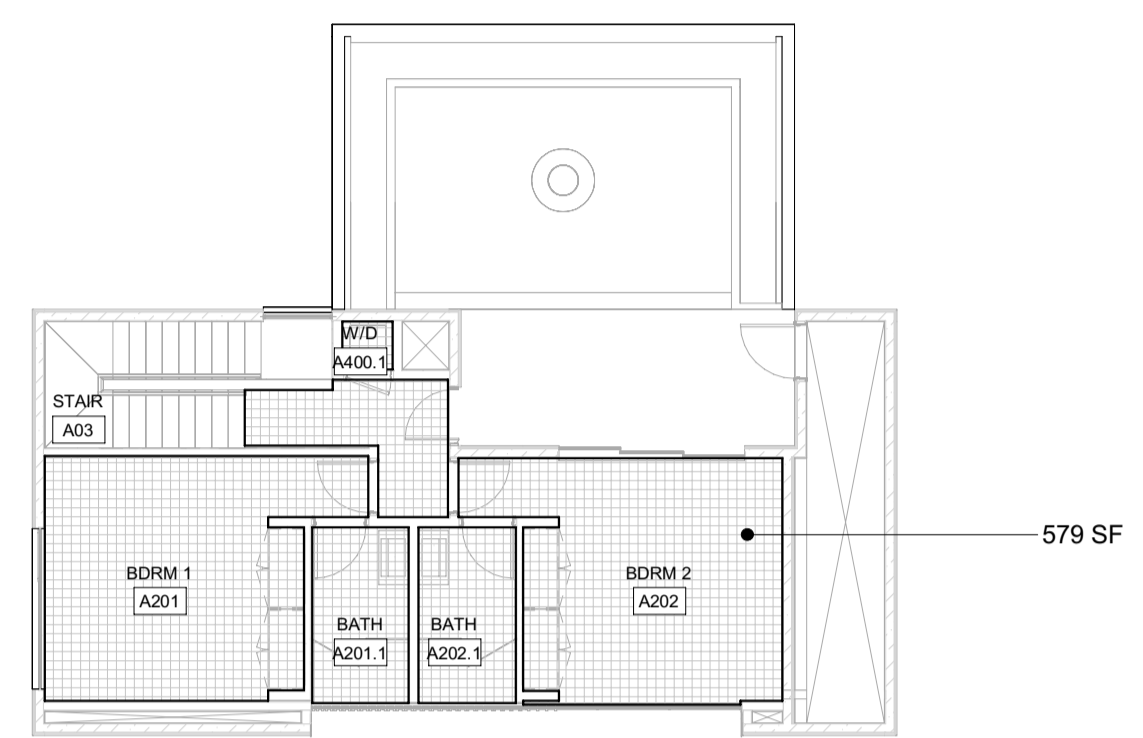
1 1" = 20'-0" SITE PLAN - HEIGHT DIAGRAM



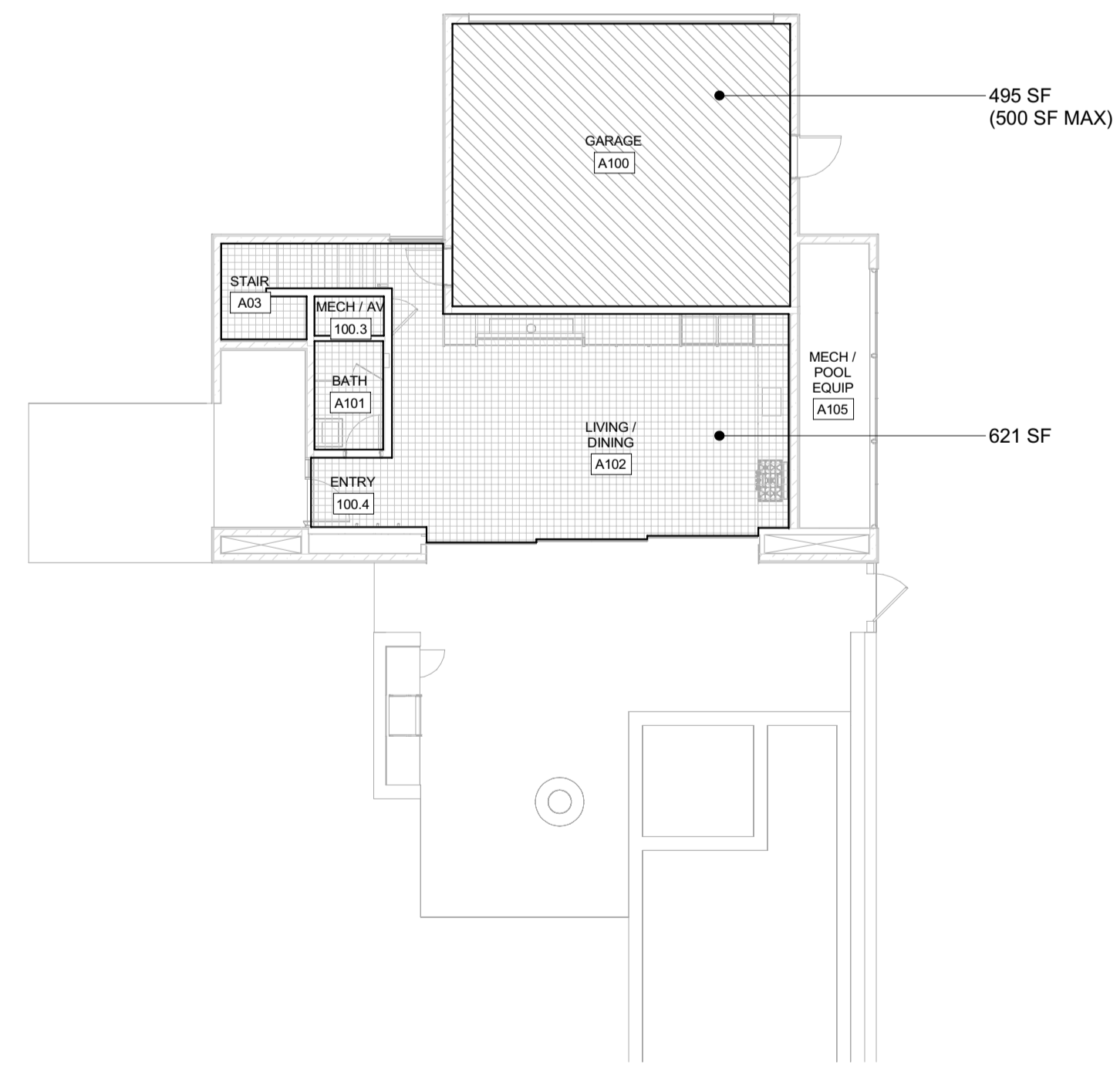
These plans have been found to be in substantial compliance with the adopted building codes. These documents are approved contingent on compliance with the mark-ups and notes applied. This is not approval of any code, ordinance, statute or regulation. Corrections will be required for code violations found during the inspection process.

BLD2303-00021  
06/26/23

2/26/23



2 3/32" = 1'-0" ADU - LEVEL 02 - NET LIVABLE AREA



1 3/32" = 1'-0" ADU - LEVEL 01 - NET LIVABLE AREA

ADU - NET LIVABLE AREA	
LEVEL	AREA
ADU - LEVEL 01	621 SF
ADU - LEVEL 02	579 SF
<b>TOTAL</b>	<b>1,200 SF</b>

*"NET LIVABLE AREA (AS CONFIRMED BY CITY OF KETCHUM PLANNING DEPT) IS MEASURED FROM INSIDE FACE OF EXTERIOR WALLS EXCLUDING GARAGE, MECHANICAL ROOMS / SHAFTS, THICKNESS OF INTERIOR WALLS, STAIRS AND DOUBLE HEIGHT SPACES COUNTED ONLY ONCE*

**17.124.070 ACCESSORY DWELLING UNITS**  
 B. UNIT SIZE RESTRICTIONS. ACCESSORY DWELLING UNITS MUST CONTAIN A MINIMUM OF 300 SQUARE FEET OF NET LIVABLE SPACE, BUT CANNOT EXCEED 1,200 SQUARE FEET OF NET LIVABLE SPACE.  
 C. MAXIMUM BUILDING COVERAGE. THE MAXIMUM BUILDING COVERAGE OF AN ACCESSORY DWELLING UNIT, TOGETHER WITH THE PRIMARY DWELLING UNIT, SHALL BE THE COVERAGE REQUIREMENTS OF THE UNDERLYING ZONING DISTRICT SPECIFIED IN SECTION 17.12.030, "DIMENSIONAL STANDARDS, DISTRICTS MATRIX, OF THIS TITLE. IF THE MAXIMUM BUILDING COVERAGE REQUIREMENT CAUSES SIGNIFICANT RESTRICTIONS TO THE CONSTRUCTION OF AN ACCESSORY DWELLING UNIT, AN INCREASE OF NO GREATER THAN FIVE PERCENT MAY BE GRANTED.  
 E. STORAGE. DESIGNATED STORAGE SHALL BE PROVIDED FOR ALL ACCESSORY DWELLING UNITS.

**BADGER RESIDENCE**

OWNER:  
**121 BADGER LANE LLC**  
 P.O. BOX 14001-174  
 KETCHUM, ID 83340

PROJECT ARCHITECT:  
**RO | ROCKETT DESIGN**  
 1031 W. MANCHESTER BLVD, UNIT 6  
 INGLEWOOD, CA 90301  
 TEL: 213.784.0014

SURVEYOR:  
**GALENA ENGINEERING, INC.**  
 317 NORTH RIVER STREET  
 HAILEY, ID 83333  
 TEL: 208.788.1705

ENVIRONMENTAL CONSULTANT:  
**SAWTOOTH ENVIRONMENTAL CONSULTING**  
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 TEL: 208.727.9748

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LANDSCAPE ARCHITECT:  
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**BENCHMARK ASSOCIATES, P.A.**  
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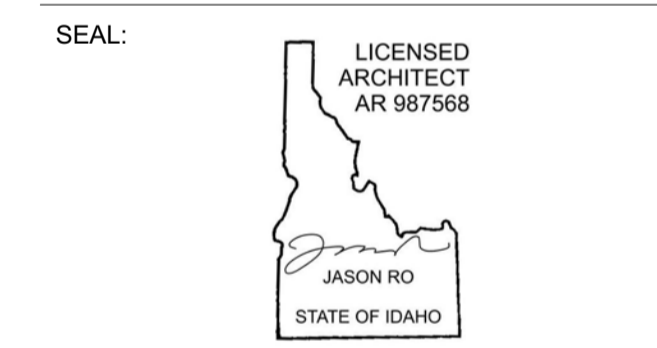
STRUCTURAL ENGINEER:  
**LFA**  
 319 MAIN STREET  
 EL SEGUNDO, CA 90245  
 TEL: 213.239.9700

MEP ENGINEER:  
**CES ENGINEERING SERVICES, LLC**  
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 270 CORAL CIRCLE  
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0	02.28.23	BUILDING PERMIT
NO	DATE	ISSUE

PROJECT:  
**BADGER RESIDENCE**  
 121 BADGER LANE  
 KETCHUM, ID 83340

PROJECT NUMBER  
**#2201**

DRAWING TITLE:  
**AREA CALCULATIONS- ADU NET LIVABLE**

DRAWING NUMBER:  
**G-012**



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**BLD2303-00021**  
06/26/23

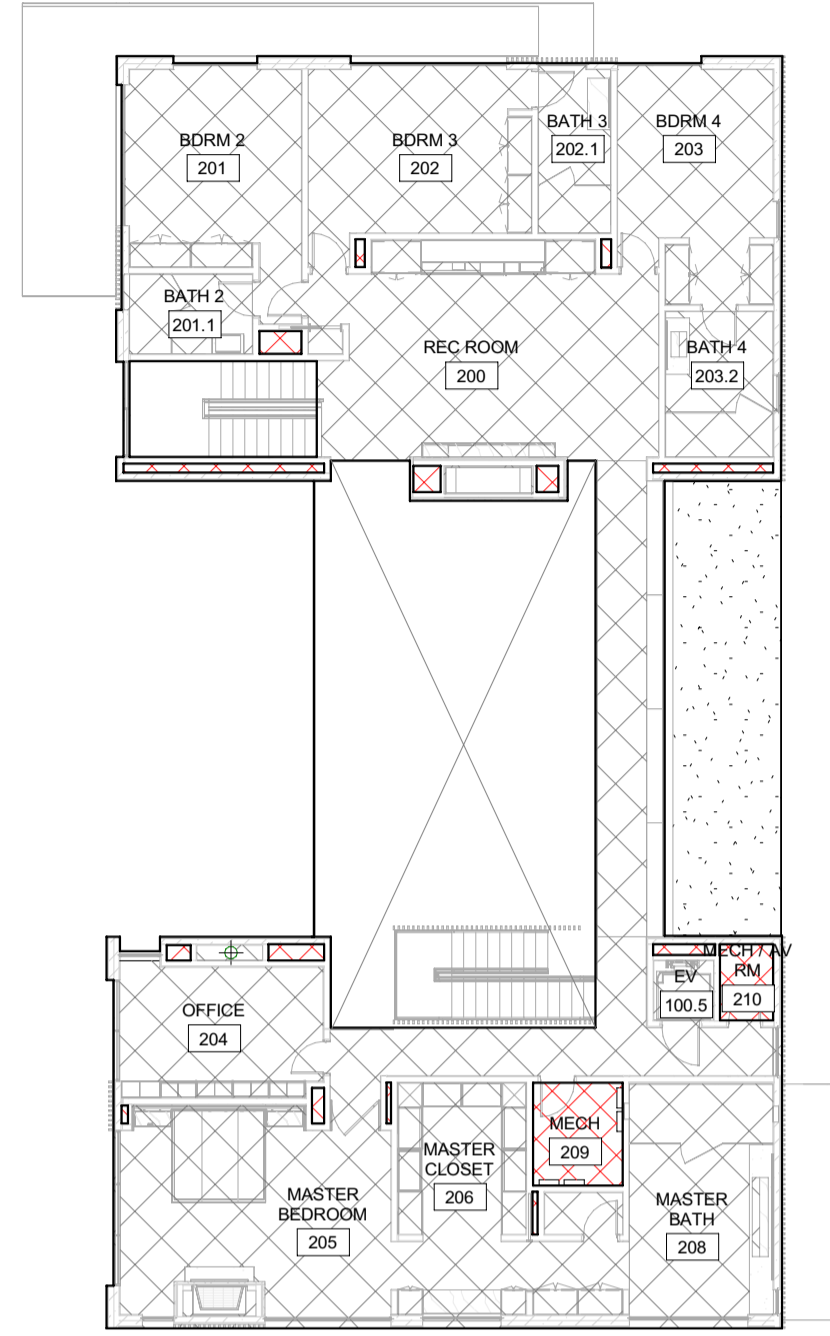
FLOOR AREA - CONDITIONED MH	
NAME	AREA
MH LEVEL 01 - CONDITIONED	4023 SF
MH LEVEL 02 - CONDITIONED	3532 SF
	7555 SF

FLOOR AREA - MECH	
NAME	AREA
MECH	473 SF

FLOOR AREA - GARAGE	
NAME	AREA
GARAGE	1142 SF

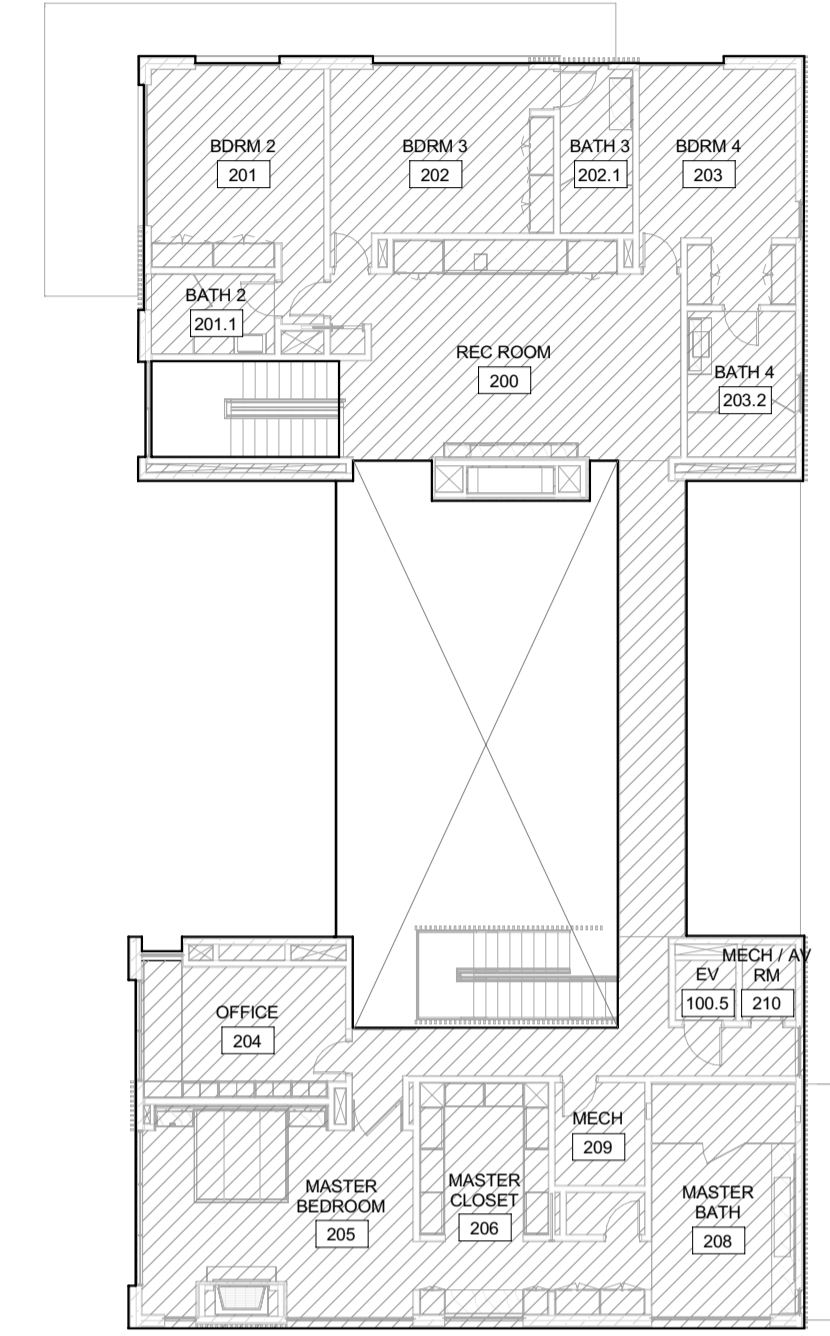
FLOOR AREA GROSS 9170 SF  
- FLOOR AREA GARAGE 1142 SF  
- FLOOR AREA MECH 473 SF

FLOOR AREA CONDITIONED 7555 SF



FLOOR AREA - GROSS	
NAME	AREA
LEVEL 01 - GROSS	5486 SF
LEVEL 02 - GROSS	3683 SF
	9170 SF

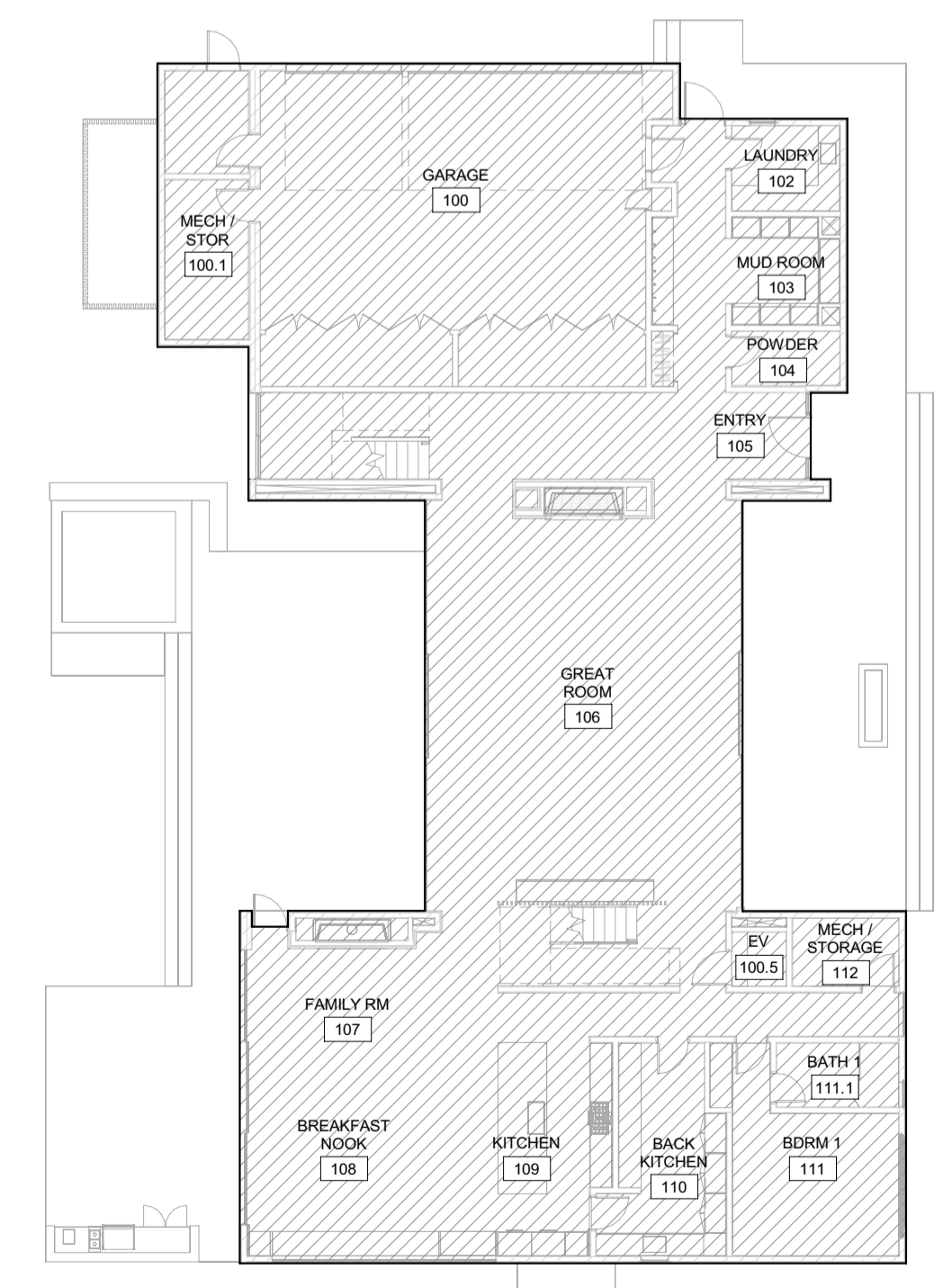
FLOOR AREA GROSS EXCLUDES DOUBLE HEIGHT SPACES AND STAIRS AT TOP LEVEL



2 1/16" = 1'-0" MAIN HOUSE - LEVEL 02 / GROSS AREA

FLOOR AREA - GROSS	
NAME	AREA
LEVEL 01 - GROSS	5486 SF
LEVEL 02 - GROSS	3683 SF
	9170 SF

FLOOR AREA GROSS EXCLUDES DOUBLE HEIGHT SPACES AND STAIRS AT TOP LEVEL



1 1/16" = 1'-0" MAIN HOUSE - LEVEL 01 / GROSS AREA

4 1/16" = 1'-0" MAIN HOUSE - LEVEL 02 / CONDITIONED

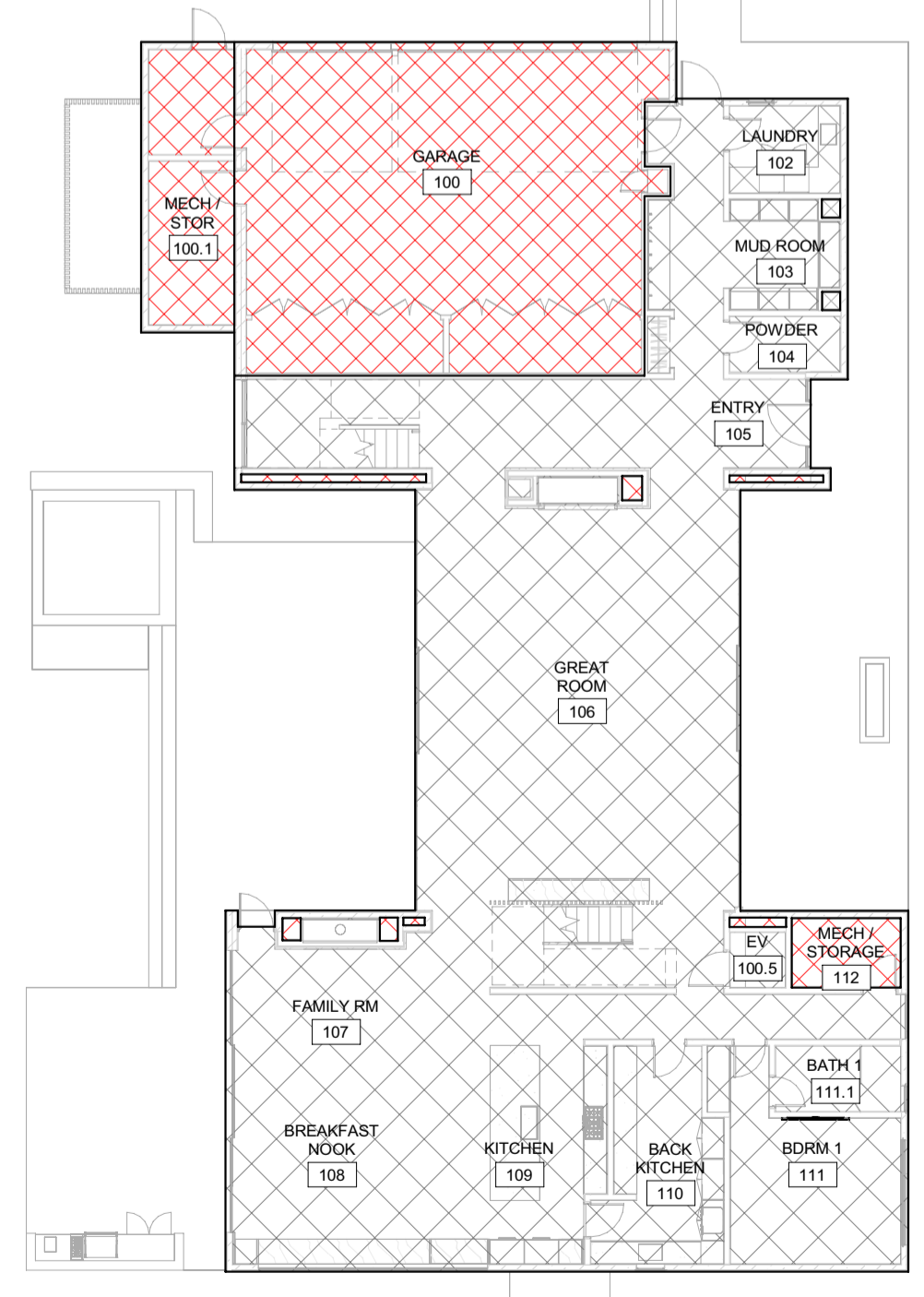
FLOOR AREA - CONDITIONED MH	
NAME	AREA
MH LEVEL 01 - CONDITIONED	4023 SF
MH LEVEL 02 - CONDITIONED	3532 SF
	7555 SF

FLOOR AREA GROSS 9170 SF  
- FLOOR AREA GARAGE 1142 SF  
- FLOOR AREA MECH 473 SF

FLOOR AREA CONDITIONED 7555 SF

FLOOR AREA - MECH	
NAME	AREA
MECH	473 SF

FLOOR AREA - GARAGE	
NAME	AREA
GARAGE	1142 SF



3 1/16" = 1'-0" MAIN HOUSE - LEVEL 01 / CONDITIONED

**BADGER RESIDENCE**

OWNER:  
**121 BADGER LANE LLC**  
P.O. BOX 14001-174  
KETCHUM, ID 83340

PROJECT ARCHITECT:  
**RO | ROCKETT DESIGN**  
1031 W. MANCHESTER BLVD, UNIT 6  
INGLEWOOD, CA 90301  
TEL: 213.784.0014

SURVEYOR:  
**GALENA ENGINEERING, INC.**  
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HAILEY, ID 83333  
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ENVIRONMENTAL CONSULTANT:  
**SAWTOOTH ENVIRONMENTAL CONSULTING**  
P.O. BOX 2707 / 540 NORTH FIRST AVE  
KETCHUM, ID 83340  
TEL: 208.727.9748

HYDROLOGY / WATER ENGINEERING:  
**BROCKWAY ENGINEERING, INC.**  
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TWIN FALLS, ID 83301  
TEL: 208.736-8543

GEOTECHNICAL ENGINEER:  
**BUTLER ASSOCIATES, INC.**  
P.O. BOX 1034  
KETCHUM, ID 83340  
TEL: 208.720.6432

LANDSCAPE ARCHITECT:  
**BYLA**  
323 LEWIS STREET, SUITE N  
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TEL: 208.726.5907

CIVIL ENGINEER:  
**BENCHMARK ASSOCIATES, P.A.**  
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STRUCTURAL ENGINEER:  
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TEL: 213.239.9700

MEP ENGINEER:  
**CES ENGINEERING SERVICES, LLC**  
1001 W OAK BUILDING B SUITE 107  
BOZEMAN, MT 59715  
TEL: 406.272.0352

LIGHTING DESIGN CONSULTANT:  
**KGM ARCHITECTURAL LIGHTING**  
270 CORAL CIRCLE  
EL SEGUNDO, CA 90245  
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SEAL:  
LICENSIED ARCHITECT AR 987568  
JASON RO  
STATE OF IDAHO

0	02.28.23	BUILDING PERMIT
NO	DATE	ISSUE

PROJECT:  
**BADGER RESIDENCE**  
121 BADGER LANE  
KETCHUM, ID 83340

PROJECT NUMBER  
**#2201**

DRAWING TITLE:  
**AREA CALCULATIONS- MH GROSS / CONDITIONED**

DRAWING NUMBER:  
**G-012.1**

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BLD2303-00021  
06/26/23

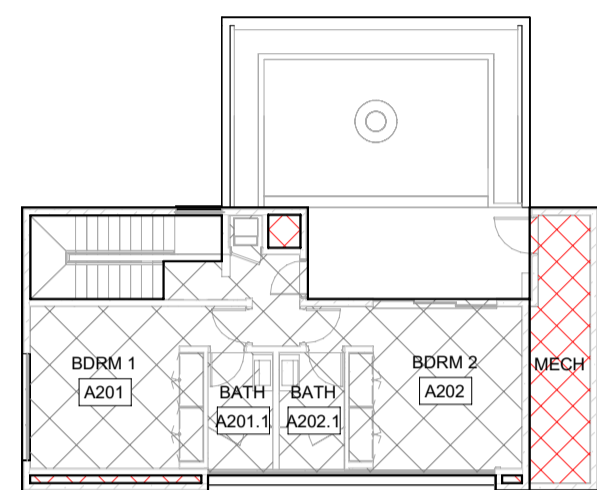
FLOOR AREA - CONDITIONED ADU	
NAME	AREA
ADU LEVEL 01 - CONDITIONED	735 SF
ADU LEVEL 02 - CONDITIONED	716 SF
1451 SF	

FLOOR AREA - MECH	
NAME	AREA
MECH	298 SF

FLOOR AREA - GARAGE	
NAME	AREA
GARAGE	548 SF

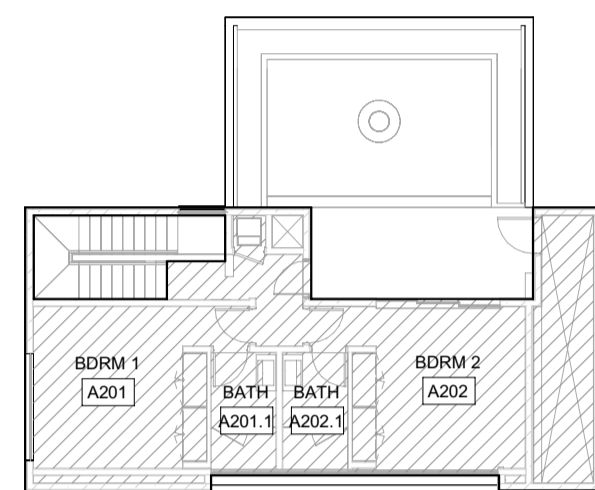
FLOOR AREA GROSS 2297 SF  
 - FLOOR AREA GARAGE 548 SF  
 - FLOOR AREA MECH 298 SF

FLOOR AREA CONDITIONED 1451 SF



FLOOR AREA - GROSS ADU	
NAME	AREA
ADU LEVEL 01 - GROSS	1428 SF
ADU LEVEL 02 - GROSS	869 SF
2297 SF	

FLOOR AREA GROSS EXCLUDES DOUBLE HEIGHT SPACES AND STAIRS AT TOP LEVEL



4 1/16" = 1'-0" ADU - LEVEL 02 / CONDITIONED

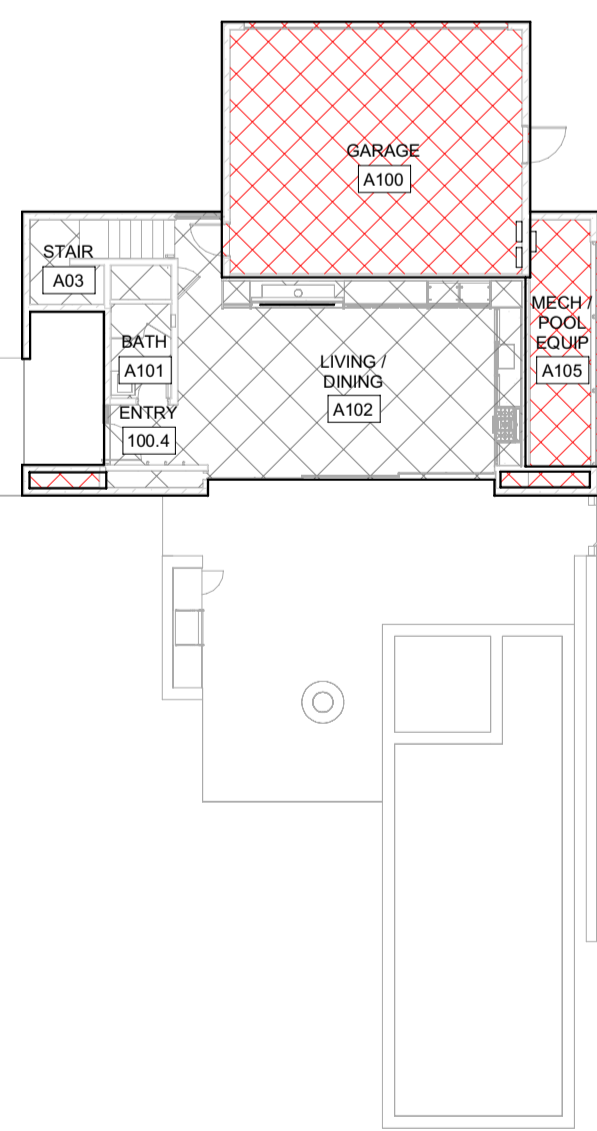
FLOOR AREA - CONDITIONED ADU	
NAME	AREA
ADU LEVEL 01 - CONDITIONED	735 SF
ADU LEVEL 02 - CONDITIONED	716 SF
1451 SF	

FLOOR AREA - MECH	
NAME	AREA
MECH	298 SF

FLOOR AREA - GARAGE	
NAME	AREA
GARAGE	548 SF

FLOOR AREA GROSS 2297 SF  
 - FLOOR AREA GARAGE 548 SF  
 - FLOOR AREA MECH 298 SF

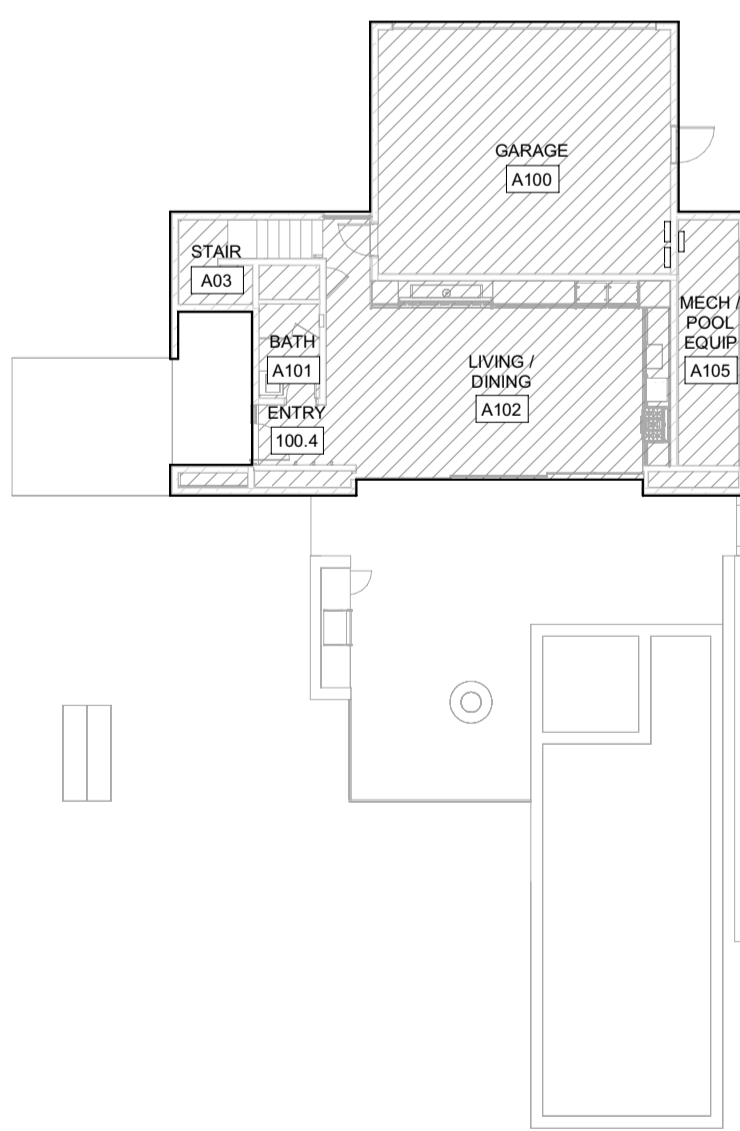
FLOOR AREA CONDITIONED 1451 SF



2 1/16" = 1'-0" ADU - LEVEL 02 / GROSS AREA

FLOOR AREA - GROSS ADU	
NAME	AREA
ADU LEVEL 01 - GROSS	1428 SF
ADU LEVEL 02 - GROSS	869 SF
2297 SF	

FLOOR AREA GROSS EXCLUDES DOUBLE HEIGHT SPACES AND STAIRS AT TOP LEVEL



3 1/16" = 1'-0" ADU - LEVEL 01 / CONDITIONED

1 1/16" = 1'-0" ADU - LEVEL 01 / GROSS AREA

## BADGER RESIDENCE

OWNER:

121 BADGER LANE LLC  
 P.O. BOX 14001-174  
 KETCHUM, ID 83340

PROJECT ARCHITECT:

RO | ROCKETT DESIGN  
 1031 W. MANCHESTER BLVD, UNIT 6  
 INGLESWOOD, CA 90301  
 TEL: 213.784.0014

SURVEYOR:

GALENA ENGINEERING, INC.  
 317 NORTH RIVER STREET  
 HAILEY, ID 83333  
 TEL: 208.788.1705

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 TEL: 208.727.9748

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 TWIN FALLS, ID 83301  
 TEL: 208.736-8543

GEOTECHNICAL ENGINEER:

BUTLER ASSOCIATES, INC.  
 P.O. BOX 1034  
 KETCHUM, ID 83340  
 TEL: 208.720.6432

LANDSCAPE ARCHITECT:

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 323 LEWIS STREET, SUITE N  
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 KETCHUM, IDAHO 83340  
 TEL: 208.726.9512

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 EL SEGUNDO, CA 90245  
 TEL: 213.239.9700

MEP ENGINEER:

CES ENGINEERING SERVICES, LLC  
 1001 W OAK BUILDING B SUITE 107  
 BOZEMAN, MT 59715  
 TEL: 406.272.0352

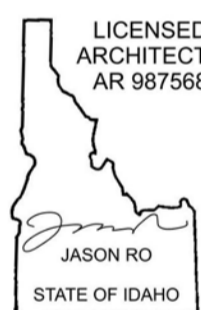
LIGHTING DESIGN CONSULTANT:

KGM ARCHITECTURAL LIGHTING  
 270 CORAL CIRCLE  
 EL SEGUNDO, CA 90245  
 TEL: 310.552.2191

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SEAL:



0	02.28.23	BUILDING PERMIT
NO	DATE	ISSUE

PROJECT:

**BADGER RESIDENCE**  
 121 BADGER LANE  
 KETCHUM, ID 83340

PROJECT NUMBER

**#2201**

DRAWING TITLE:

**AREA CALCULATIONS- ADU GROSS / CONDITIONED**

DRAWING NUMBER:

**G-012.2**



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BLD2303-00021  
06/26/23

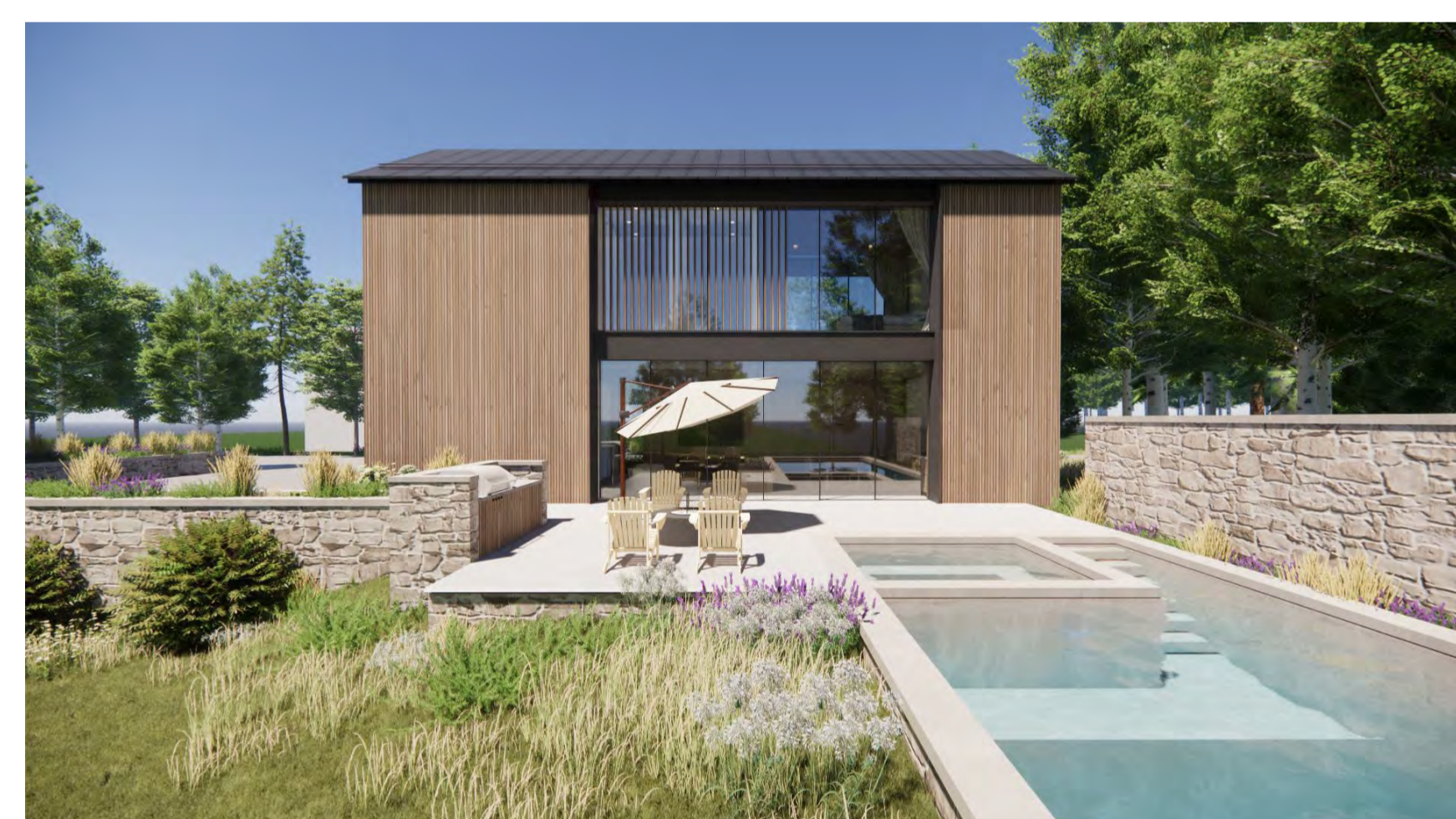
2/2/25



1 MAIN HOUSE | EAST ELEVATION VIEW - FRONT

2 MAIN HOUSE | NORTH-EAST VIEW - DRIVEWAY

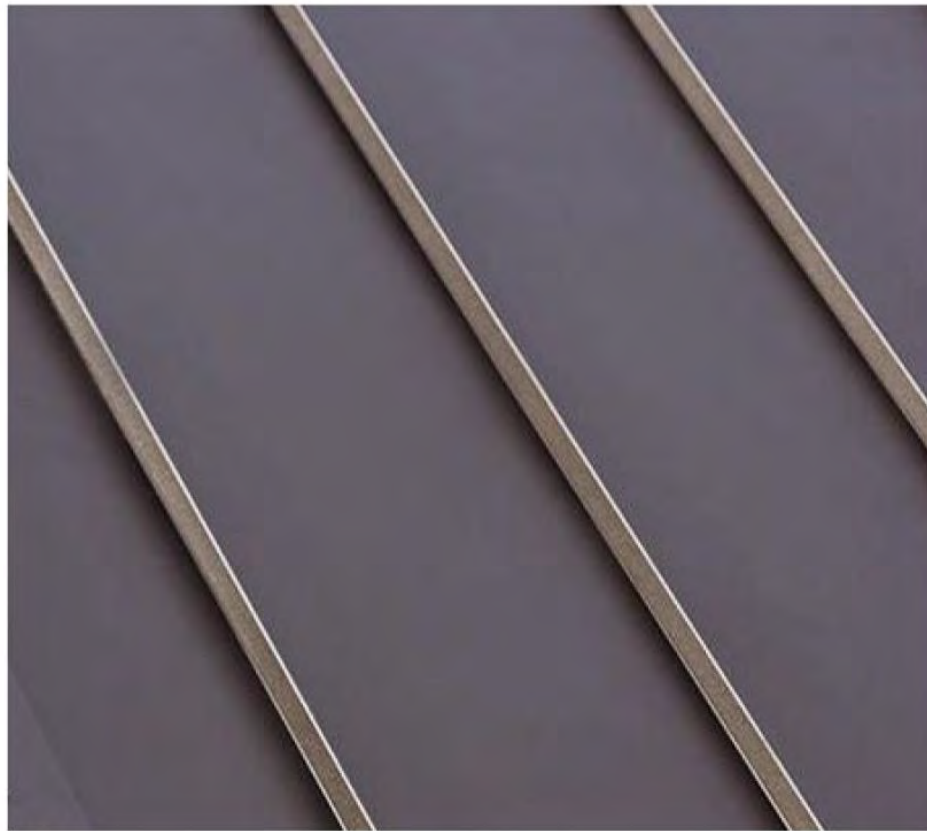
3 MAIN HOUSE | WEST ELEVATION VIEW - REAR



4 ADU | NORTH-EAST VIEW - DRIVEWAY

5 ADU | NORTH-WEST VIEW - GUEST PARKING & ENTRY

6 ADU | SOUTH ELEVATION VIEW - POOL DECK



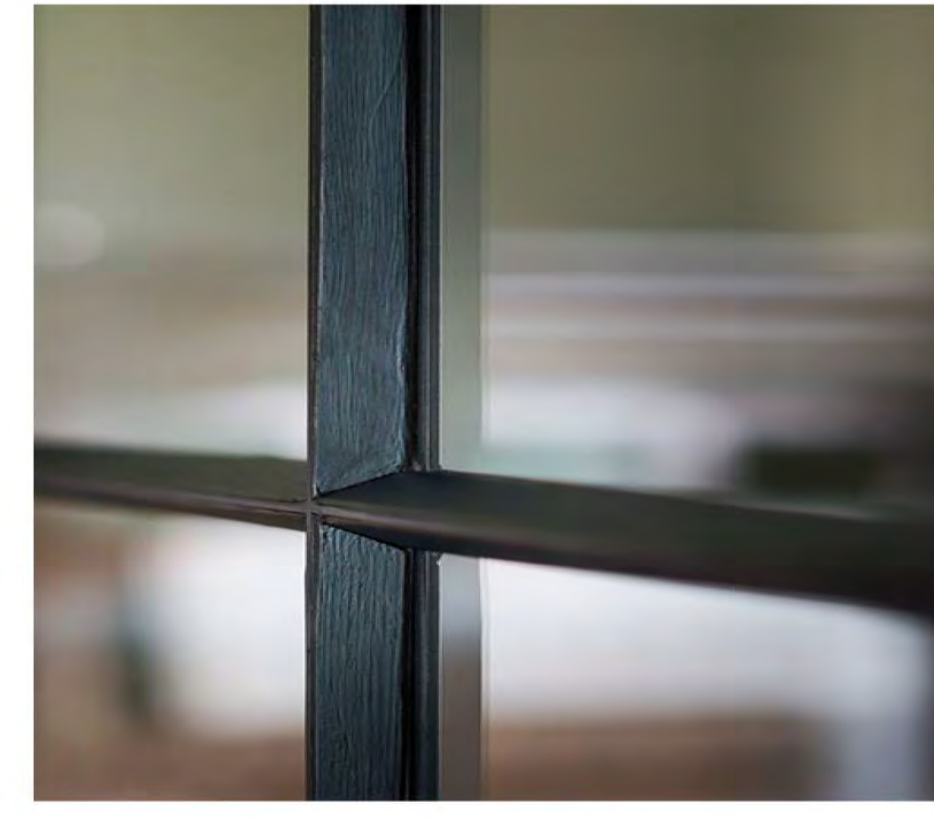
METAL: ROOF + FASCIAS



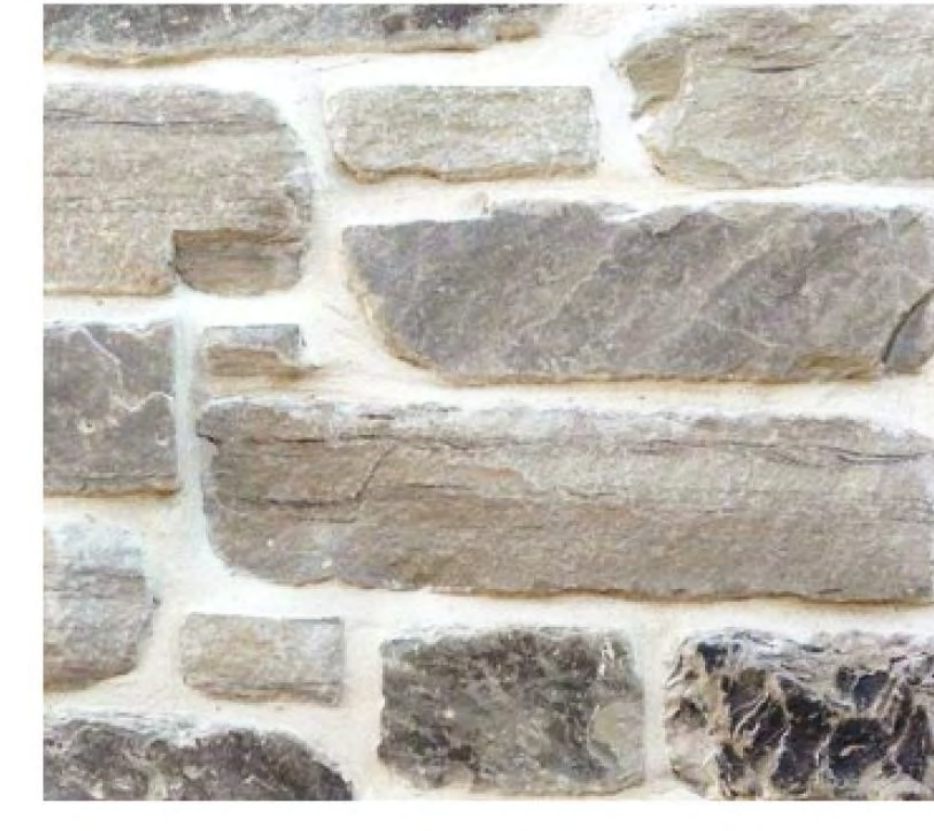
WOOD: RAINSCREEN FACADE / SCREENS



CONCRETE: BASE + STEPS



METAL WINDOWS



STONE: LANDSCAPE WALLS

5 EXTERIOR MATERIALS

**BADGER RESIDENCE**

OWNER:

121 BADGER LANE LLC  
P.O. BOX 14001-174  
KETCHUM, ID 83340

PROJECT ARCHITECT:

RO | ROCKETT DESIGN  
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HYDROLOGY / WATER ENGINEERING:

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319 MAIN STREET  
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TEL: 213.239.9700

MEP ENGINEER:

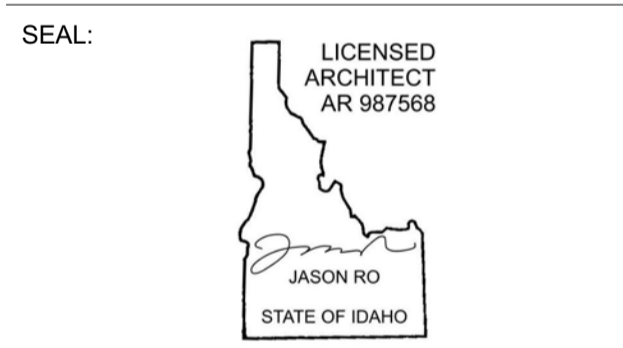
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0	02.28.23	BUILDING PERMIT
NO	DATE	ISSUE

PROJECT:  
**BADGER RESIDENCE**  
121 BADGER LANE  
KETCHUM, ID 83340

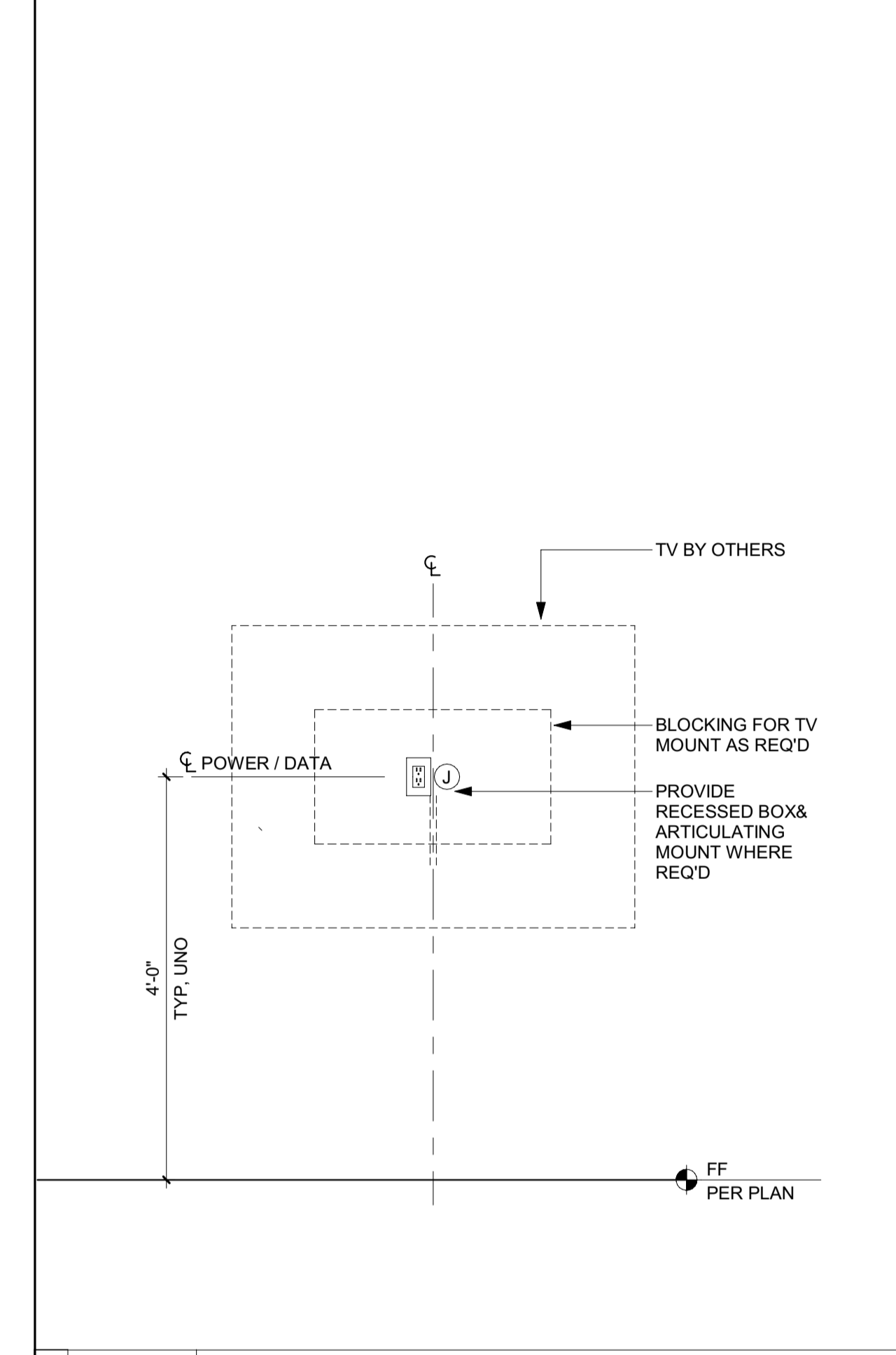
PROJECT NUMBER  
**#2201**

DRAWING TITLE:  
**PERSPECTIVE VIEWS & MATERIALS**

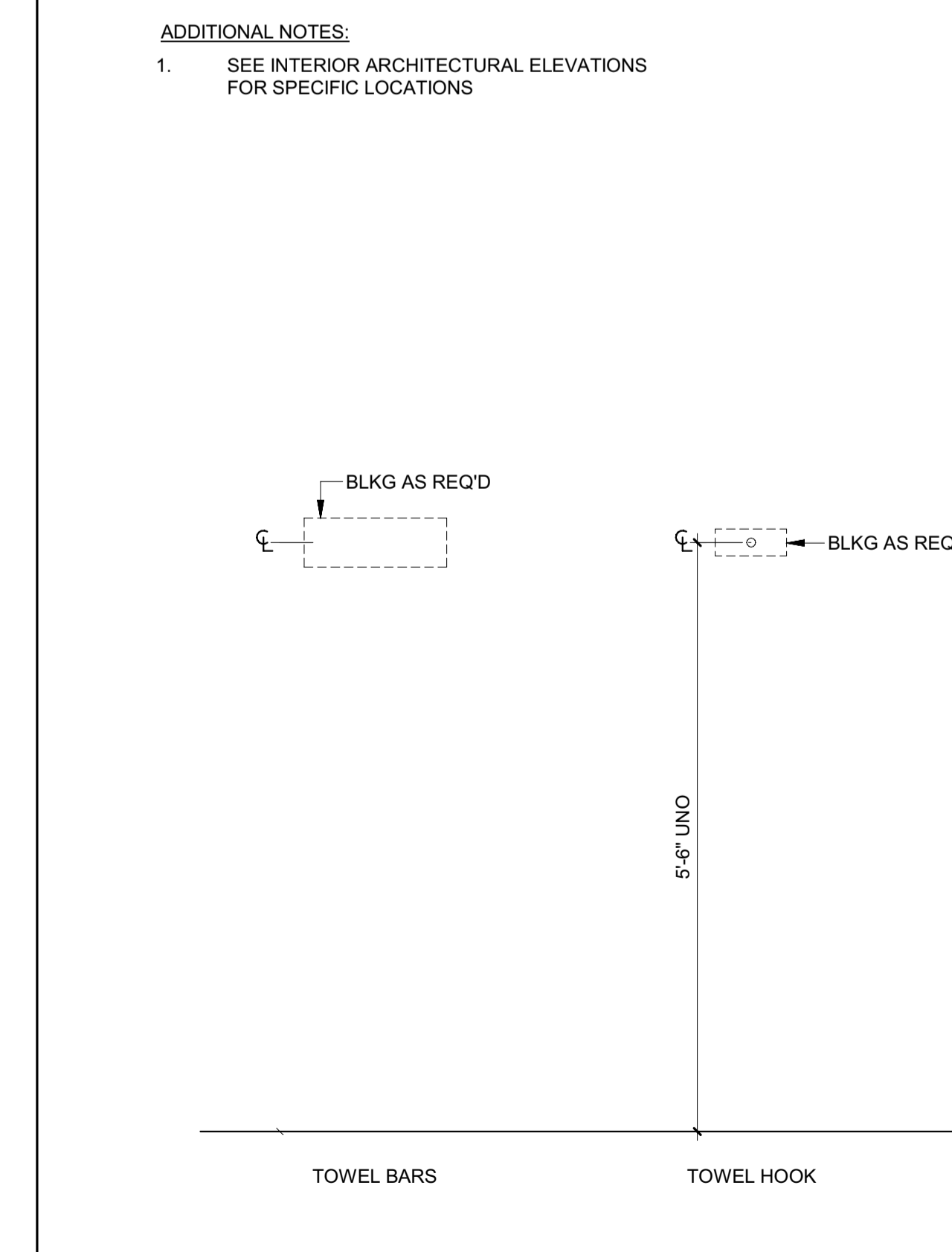
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**G-013**

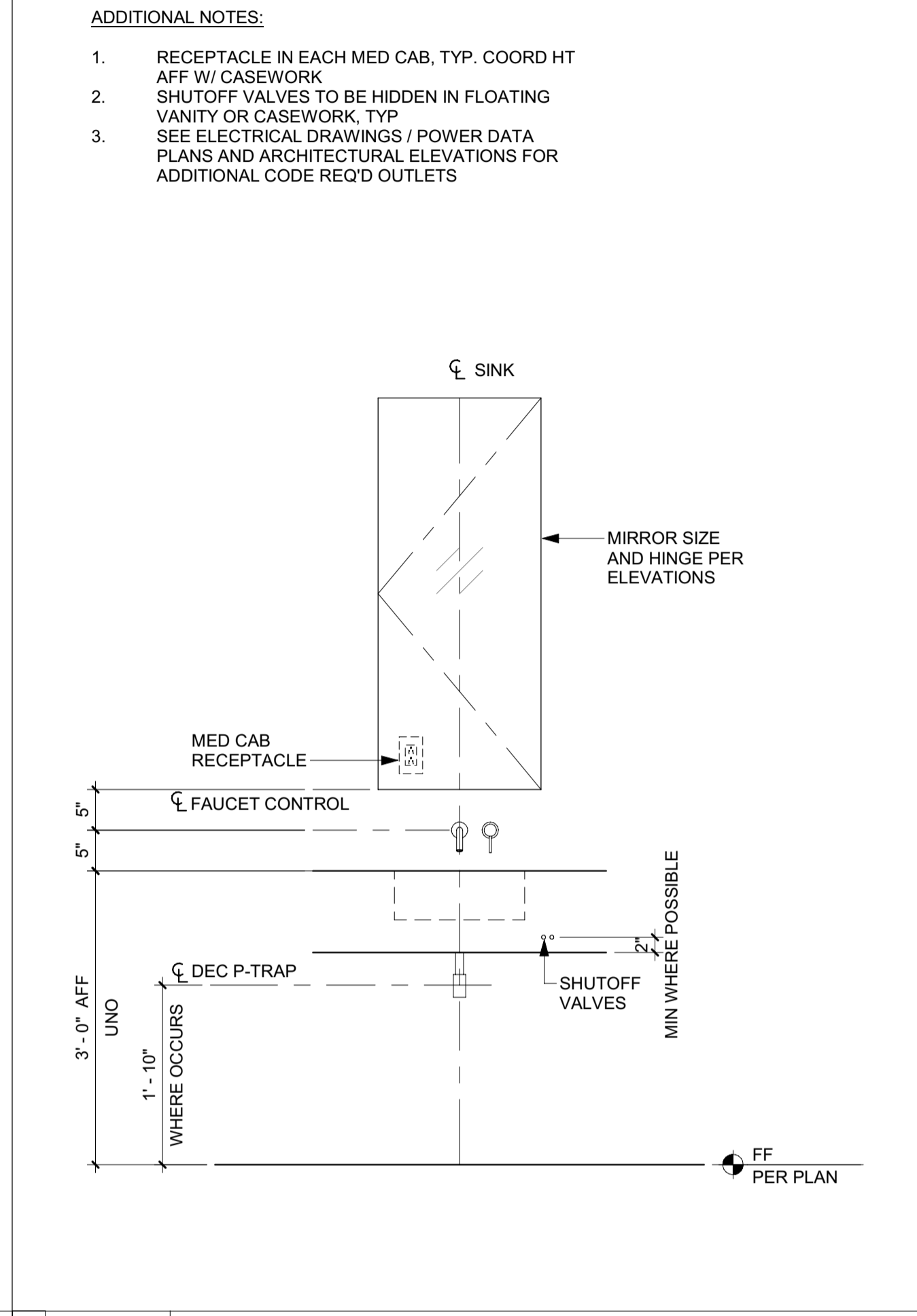




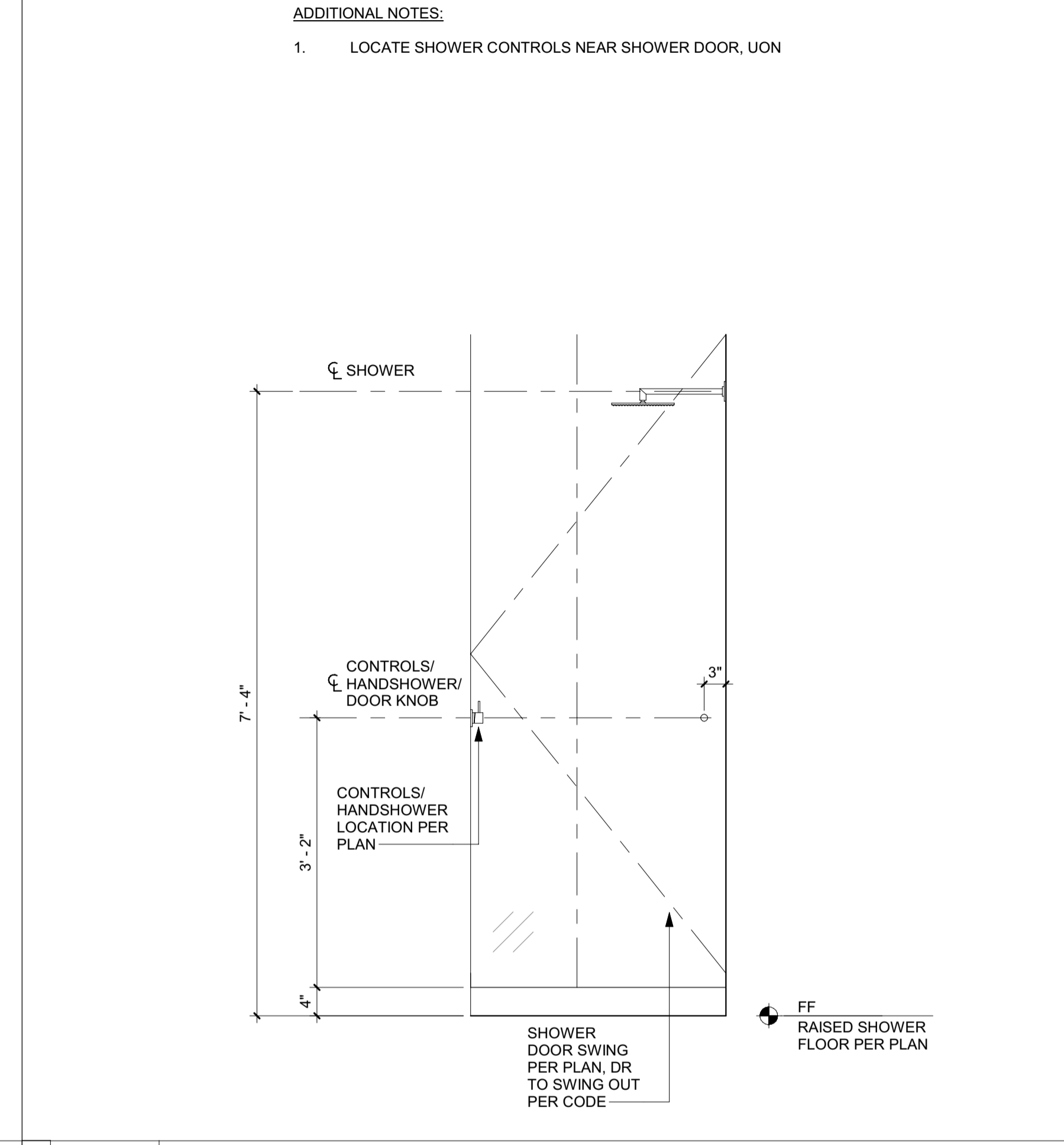
7 3/4" = 1'-0" TYP TV MOUNTING



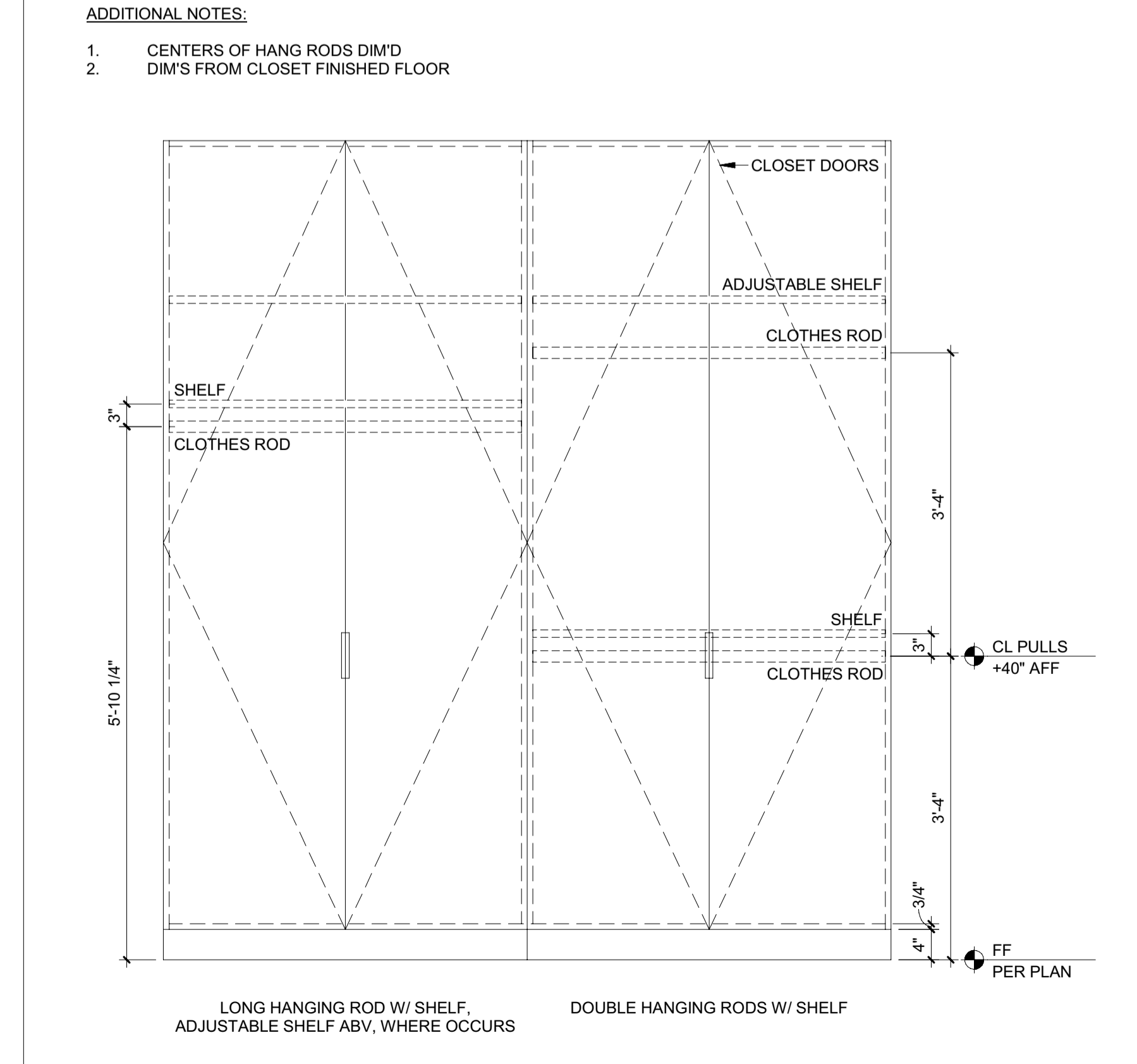
3 3/4" = 1'-0" TYP MOUNTING HEIGHTS



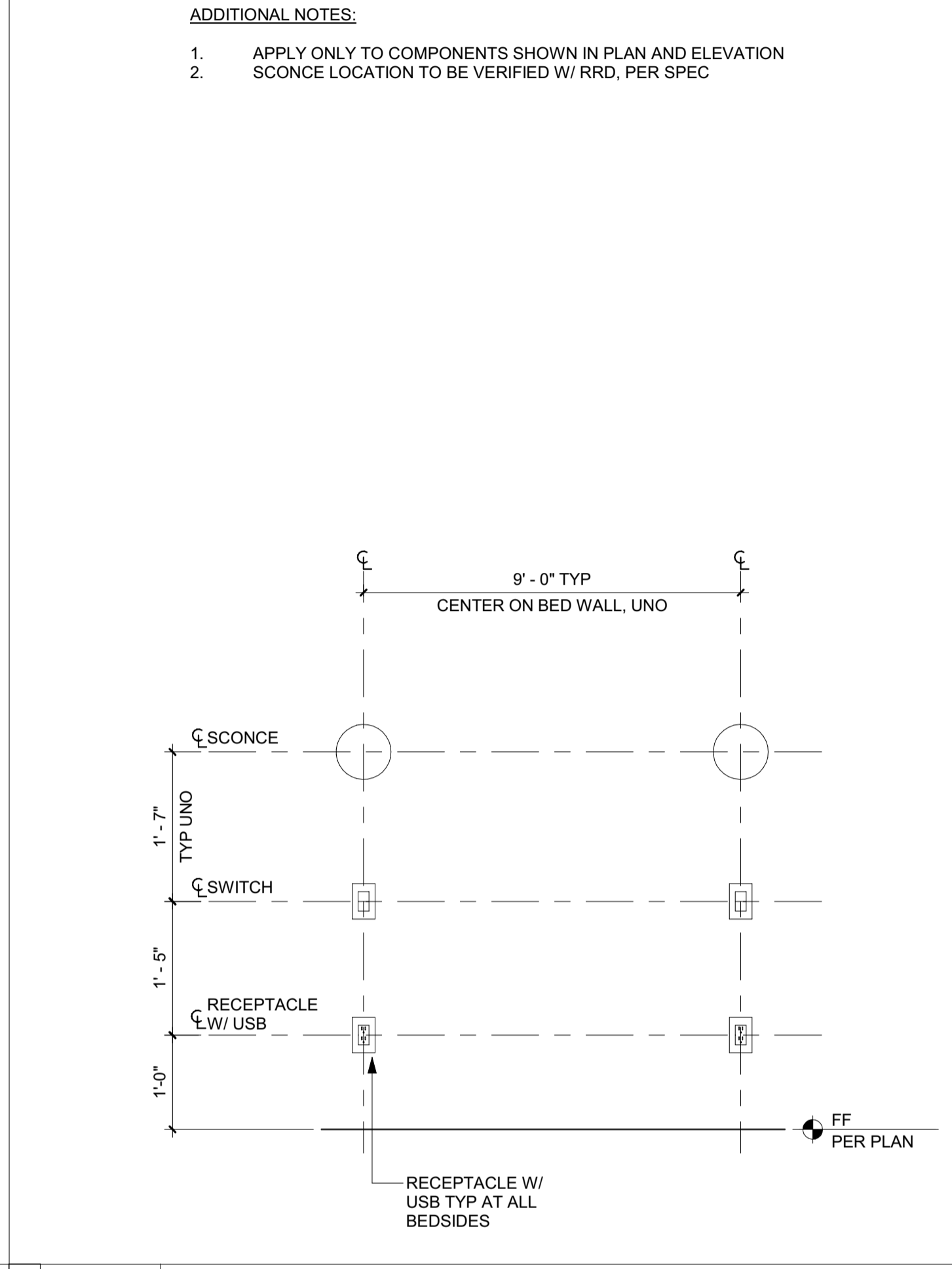
6 3/4" = 1'-0" TYP VANITY / MED CAB



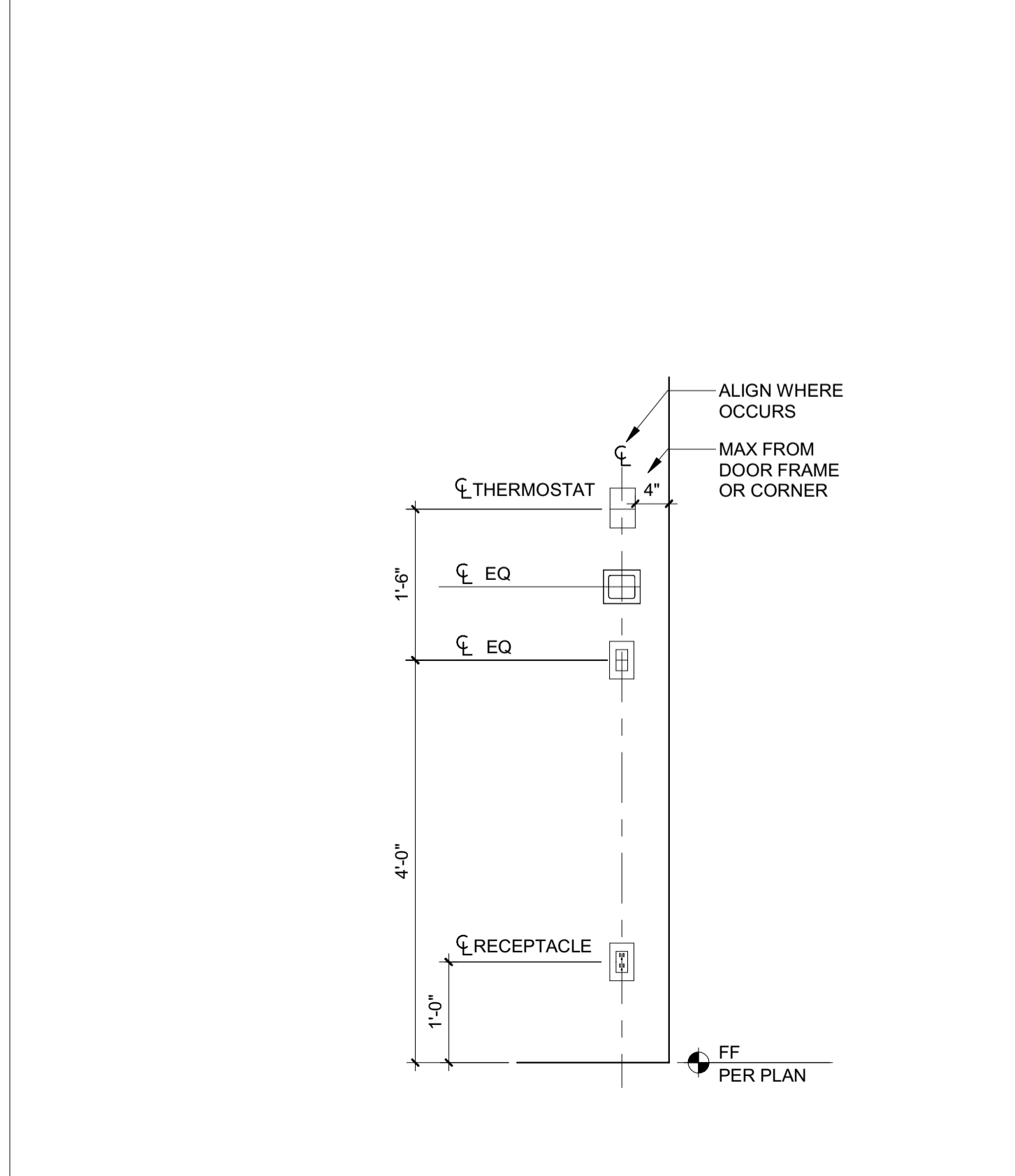
5 3/4" = 1'-0" TYP SHOWER CONTROLS



2 3/4" = 1'-0" TYP CLOSET RODS, SHELVES & PULLS



4 3/4" = 1'-0" TYP BED WALL



1 3/4" = 1'-0" TYP SWITCHES & REC

**BADGER RESIDENCE**

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LANDSCAPE ARCHITECT:  
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 323 LEWIS STREET, SUITE N  
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 P.O. BOX 733 - 100 BELL DRIVE  
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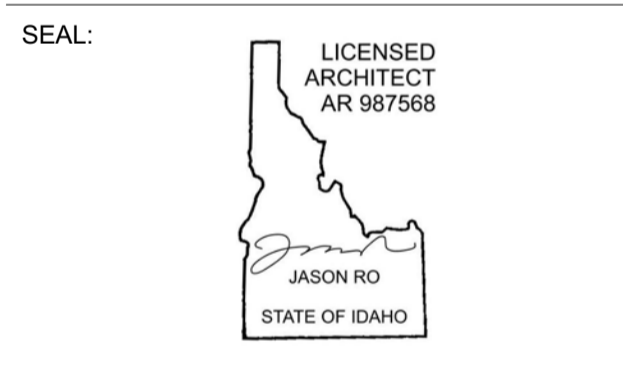
STRUCTURAL ENGINEER:  
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MEP ENGINEER:  
 CES ENGINEERING SERVICES, LLC  
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0	02.28.23	BUILDING PERMIT
NO	DATE	ISSUE

PROJECT:  
**BADGER RESIDENCE**  
 121 BADGER LANE  
 KETCHUM, ID 83340

PROJECT NUMBER  
**#2201**

DRAWING TITLE:  
**TYPICAL MOUNTING HEIGHTS**

DRAWING NUMBER:  
**G-014**



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BLD2303-00021  
06/26/23

4/2024

MATERIAL LEGEND

TAG	DESCRIPTION	LOCATION	MANUFACTURER	MODEL	SIZE/DIM	SPECIES/COLOR	FINISH	COMMENTS
CONC-1	PRECAST CONCRETE	COPING AT SITE AND POOLS WALLS	CUSTOM	CUSTOM	VARIES	COLOR: TBD		
CONC-2	EPOXY CONCRETE	GARAGE, MECHANICAL, AV ROOMS FLOORS	ROCK SOLID FLOORING	CUSTOM	VARIES	COLOR: TBD	ESPARTIC 2-PART POLYUREA FINISH	1/8" SAWCUT JOINTS LOCATION PER ARCH
CONC-3	CAST IN PLACE CONCRETE	DRIVEWAY HARDSCAPE	DAYTON SUPERIOR	CUSTOM	VARIES	GREY / SAND BLAST FINISH	TOP-CAST SURFACE RETARDER	1/8" SAWCUT JOINTS LOCATION PER ARCH
CT-1	CERAMIC TILE	POWDER						
CT-2	CERAMIC TILE	LAUNDRY	SPEC CERAMICS	YOHEN BORDER				
CT-3	CERAMIC TILE	GUEST BATHROOMS				YB1 WHITE		
GL-1	LAMINATED GLASS W/ CLEAR PVB INTERLAYER	GUARDRAILS	PPG OR APPROVED EQ	STARPHIRE	1/2" THICK	CLEAR WHITE WATER	POLISHED	SIZE CRITICAL- FLAT POLISHED EDGES
GL-2	TEMPERED GLASS	FRAMELESS SHOWERS	PPG OR APPROVED EQ	STARPHIRE	3/8" THICK (1/2" DEPENDING ON SIZE)	CLEAR WHITE WATER	POLISHED	SIZE CRITICAL- FLAT POLISHED EDGES
GL-3	MIRROR	BATHROOMS	CUSTOM	CUSTOM	1/4" THICK	-CLEAR WATER WHITE	-	SIZE CRITICAL- FLAT POLISHED EDGES
GL-4	ACID-ETCHED GLASS	MBATH SHOWER CEILING	PPG OR APPROVED EQ	STARPHIRE	3/8" THICK	-ETCH ON CLEAR		
MTL-1	STANDING SEAM METAL ROOF	PITCHED ROOFS	METAL SALES OR APPROVED EQ	DOUBLE LOCK	18"	STANDARD COLOR (TBD)	TBD	CONCEALED FASTENERS
MTL-2	METAL WALL PANEL	EXTERIOR WALLS, FASCIAS, TRIMS	METAL SALES OR APPROVED EQ	FLATLOCK	VARIES	STANDARD COLOR (TBD)	MATTE	FLAT LOCK METAL WALL PANEL SYSTEM, INSTALL VERTICAL W/ MIN REVEAL PER MFR SPECS.
MTL-3	BRAKE METAL / FLASHING	FLASHING, GUTTERS, BASE TRIM	DREXEL OR EQ	-	20 GA, UNO (28 GA MIN AT BASE)	GALVANIZED SHEET METAL (STEEL)	FACTORY FINISH KYNAR, LOW GLOSS MATTE	FLASHING / GUTTERS: COLOR TO MATCH ADJ WIN/DOOR FRAMES OR ADJ MTL ROOFING TYP. / BASE: COLOR TO MATCH STN PAVING
MTL-4	PTD STEEL SHAPES / EXT	EXTERIOR MISC METALS	CUSTOM	CUSTOM		STAINLESS STEEL 316	PRIME & PAINTED, COLOR TBD	-STL SHAPES BARS & PLATES AS REQ'D
MTL-5	PTD STEEL SHAPES / INT	INTERIOR MISC METALS	CUSTOM	CUSTOM		COLD ROLLED STEEL		-STL SHAPES BARS & PLATES AS REQ'D, PROVIDE STAINLESS STEEL 316 WHERE EXTERIOR, TYP
PLAS-1	INTERIOR PLASTER	WALLS, CEILINGS	TEXSTON OR EQ	HYDROLIME-125		CM-6918-REG-SDGNS-031822		
PLAS-2W	WATERPROOF PLASTER	BATHROOM WALLS & CLG	TEXSTON	HYDROLIME-125		CM-6918-REG-SDGNS-031822	SMOOTH TROWEL	
PLAS-3W	EXTERIOR PLASTER (LT)	EXTERIOR CEILINGS	TEXSTON	HYDROLIME-125		CM-6918-REG-SDGNS-031822	SMOOTH TROWEL	
PLAS-4W	EXTERIOR PLASTER (DK)	EXTERIOR CEILINGS	TEXSTON	HYDROLIME-125		COLOR TO MATCH MTL-2	SMOOTH TROWEL	
PNT-1	PAINTED DRYWALL FINISH	WALL, CEILINGS	BENJAMIN MOORE OR APPROVED EQ	AURA		BM OC-17 WHITE DOVE		(F) FLAT / (EG) EGGSHELL / (LS) LOW SHEEN / (SG) SEMI GLOSS / (G) GLOSSY
SS-1	SOLID SURFACE	SHOWER NICHE SILL	DUPONT CORIAN	ILLUMINATION	1/2" THICK	GLACIER ICE		
STN-1	EXTERIOR STONE VENEER	SITE WALLS	SELECT STONE		FULL DEPTH VENEER	MUDDY CREEK VENEER	TUMBLLED	PROVIDE CORNER PIECES (4"X8" MIN); CONTACT: MIKE CAREY
STN-2	STONE FLOORING / PAVING	EXTERIOR / INTERIOR FLOORING	MATERIALS MARKETING	AVALLON	2 1/8" THK (EXT) / 3/4" THK (INT) / 12"X24"	KAHLA GRAY	FLAMED	
STN-3	INTERIOR STONE VENEER	FIREPLACE / FEATURE WALLS	SELECT STONE		THIN VENEER (1" - 1 1/2" THK)	MUDDY CREEK VENEER	TUMBLLED	PROVIDE CORNER PIECES; (4"X8" MIN); CONTACT: MIKE CAREY
STN-4	INTERIOR STONE SLAB	MBATH VANITY	STONELAND	CUSTOM	3/4" THK	TAJ MAHAL		
STN-5	INTERIOR STONE SLAB	MBATH FEATURE WALL	STONELAND	CUSTOM	3/4" THK	PALISSANDRO BLUE LEATHER		
STN-6	INTERIOR STONE SLAB	GUEST BATH VANITY	STONELAND	CUSTOM	3/4" THK	TAJ MAHAL		
STN-7	INTERIOR STONE SLAB	KITCHEN, REC. MUD, ADU KITCHEN COUNTER	STONELAND	CUSTOM	3/4" THK	MAXIMUM EXTRA		
WD-1	EXTERIOR / INTERIOR SIDING T & G	EXTERIOR FACADE / INTERIOR WALLS	DELTA MILLWORKS	LUNAWOOD T&G	3/4" X 5 1/2" (16' LENGTH MAX)	THERMO (THERMALLY MODIFIED WD) / SPRUCE	SMOOTH / PRE-FINISHED/ COLOR: ARROYO	SEAL ALL SIDES: ADD (2) 1/2" REVEALS; CONTACT: LISA MADISON
WD-2	EXTERIOR VERTICAL SLATS	EXTERIOR FACADE	DELTA MILLWORKS	STOCK WD (SLATS)	1 1/2" X 3 1/2"	THERMO (THERMALLY MODIFIED WD) / SPRUCE	SMOOTH / PRE-FINISHED/ COLOR: ARROYO	SEAL ALL SIDES: CONTACT: LISA MADISON
WD-3	EXTERIOR SOFFIT T & G	EXTERIOR SOFFITS	CUSTOM	CUSTOM	2X6	LIGHT STAINED TO MATCH INT WD CLG		BLIND FASTENERS
WD-4	INTERIOR WOOD FLOORING	TYP INTERIOR WD FLOOR	MADERA OR APPROVED EQ	NO.087 ATELIER	8.66 IN WIDE PLANK (5/8" THK)	BELGIAN OAK		
WD-5	INTERIOR WOOD SIDING T&G	TYP INTERIOR WALL PANELING, TREADS	CUSTOM	CUSTOM	WIDTH VARIES (3/4" THK)	CUSTOM STAINED WHITE OAK; PLAIN SAWN	PREMIUM FINISH	
WD-5V	INTERIOR WOOD VENEER	TYP INTERIOR CASEWORK	CUSTOM	CUSTOM	VARIES	CUSTOM STAINED WHITE OAK; PLAIN SAWN	PREMIUM FINISH	
WD-6	INTERIOR WOOD SLATS	GREAT ROOM STAIR	CUSTOM	CUSTOM	2"x8" SOLID WD STOCK	CUSTOM STAINED WHITE OAK	MATTE	CUST TRANSPARENT STAIN, TO MATCH INT WALL SIDING
WD-7	INTERIOR WD CEILING	TYP WD INTERIOR CEILING	CUSTOM	CUSTOM	1X6 T&G - SOLID PLANKS	CUSTOM STAINED WHITE OAK; PLAIN SAWN	MATTE	CUST TRANSPARENT STAIN
WD-8	WOOD ENTRY DOOR	ENTRY DOOR	CUSTOM	CUSTOM	1X6 T&G - SOLID PLANKS	CUSTOM STAINED DARK TO MATCH MTL-2	MATTE	COLOR PER ARCH TO MATCH SAMPLE
WD-9	INTERIOR WD SLAT PROFILE	MASTER BED NICHE WALL	LUNAWOOD	LUNA TRIO 26X92	1" X 3 5/8" X 10' (1" THK)	PINE		CONCEALED FASTENERS

BADGER RESIDENCE

OWNER:  
121 BADGER LANE LLC  
P.O. BOX 14001-174  
KETCHUM, ID 83340

PROJECT ARCHITECT:  
RO | ROCKETT DESIGN  
1031 W. MANCHESTER BLVD, UNIT 6  
INGLEWOOD, CA 90301  
TEL: 213.784.0014

SURVEYOR:  
GALENA ENGINEERING, INC.  
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TEL: 208.788.1705

ENVIRONMENTAL CONSULTANT:  
SAWTOOTH ENVIRONMENTAL CONSULTING  
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HYDROLOGY / WATER ENGINEERING:  
BROCKWAY ENGINEERING, INC.  
2016 WASHINGTON ST NORTH, SUITE 4  
TWIN FALLS, ID 83301  
TEL: 208.736-8543

GEOTECHNICAL ENGINEER:  
BUTLER ASSOCIATES, INC.  
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KETCHUM, ID 83340  
TEL: 208.720.6432

LANDSCAPE ARCHITECT:  
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TEL: 208.726.5907

CIVIL ENGINEER:  
BENCHMARK ASSOCIATES, P.A.  
P.O. BOX 733 - 100 BELL DRIVE  
KETCHUM, IDAHO 83340  
TEL: 208.726.9512

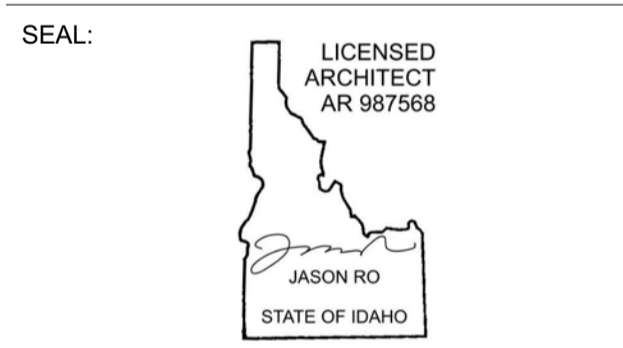
STRUCTURAL ENGINEER:  
LFA  
319 MAIN STREET  
EL SEGUNDO, CA 90245  
TEL: 213.239.9700

MEP ENGINEER:  
CES ENGINEERING SERVICES, LLC  
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1	05.02.23	PERMIT REVIEW- REV 1
0	02.28.23	BUILDING PERMIT SUBMITTAL
NO	DATE	ISSUE

PROJECT:  
**BADGER RESIDENCE**  
121 BADGER LANE  
KETCHUM, ID 83340

PROJECT NUMBER  
**#2201**

DRAWING TITLE:  
**MATERIAL SCHEDULE**

DRAWING NUMBER:  
**G-101**

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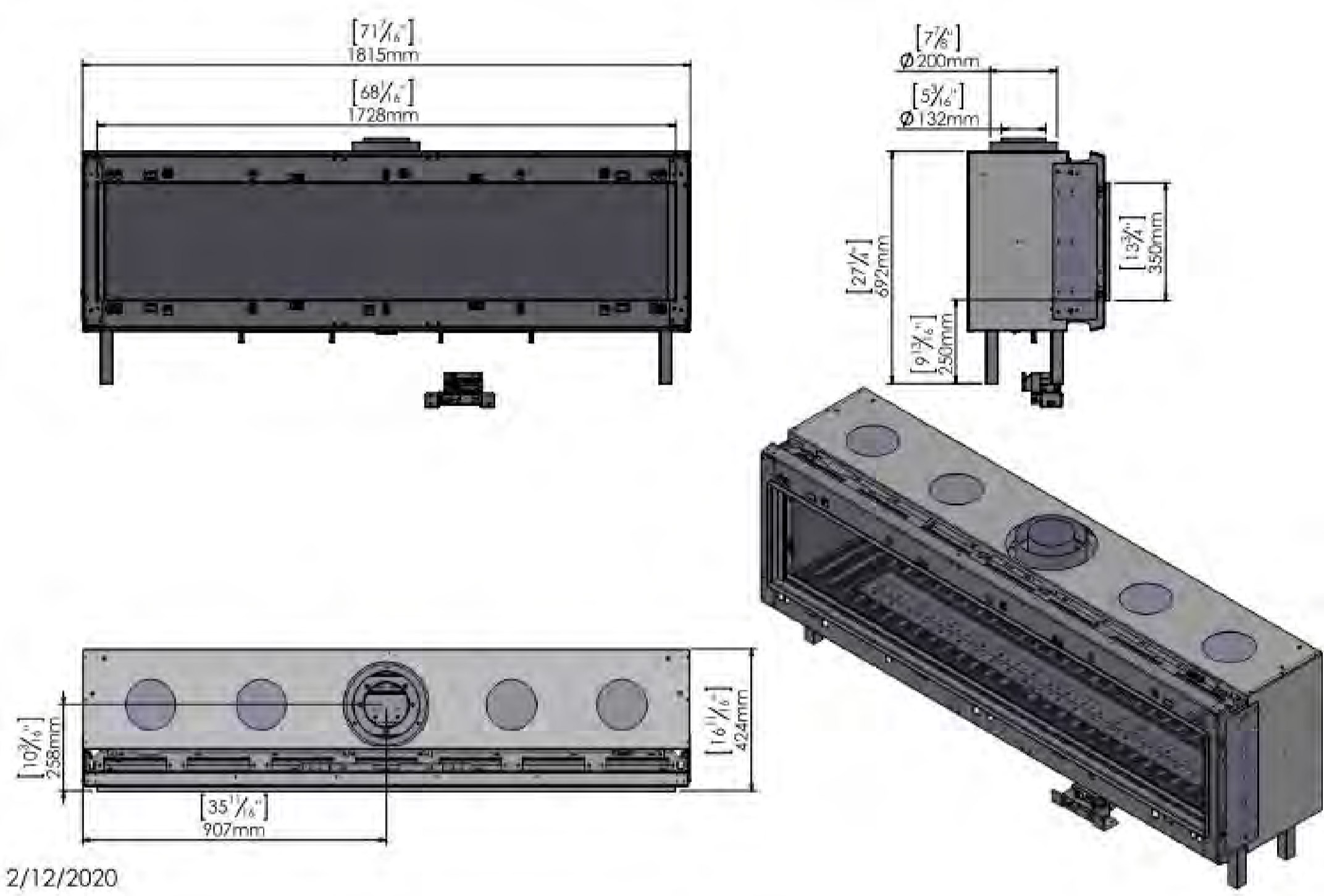
BLD2303-00021  
06/26/23

2/2/20

# ORTAL

YOUR LIFE. YOUR FIRE

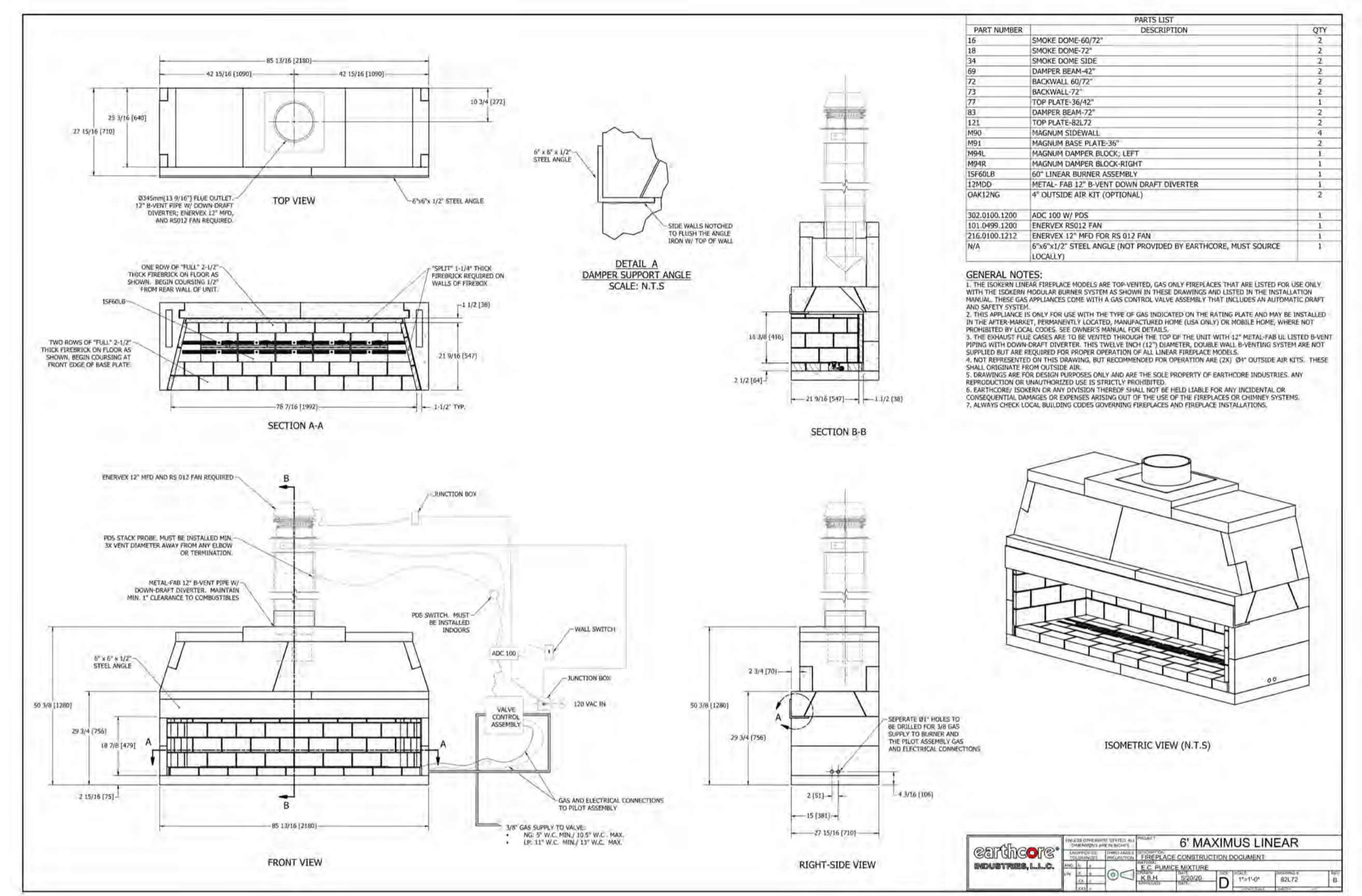
## 170 Front (Screen)



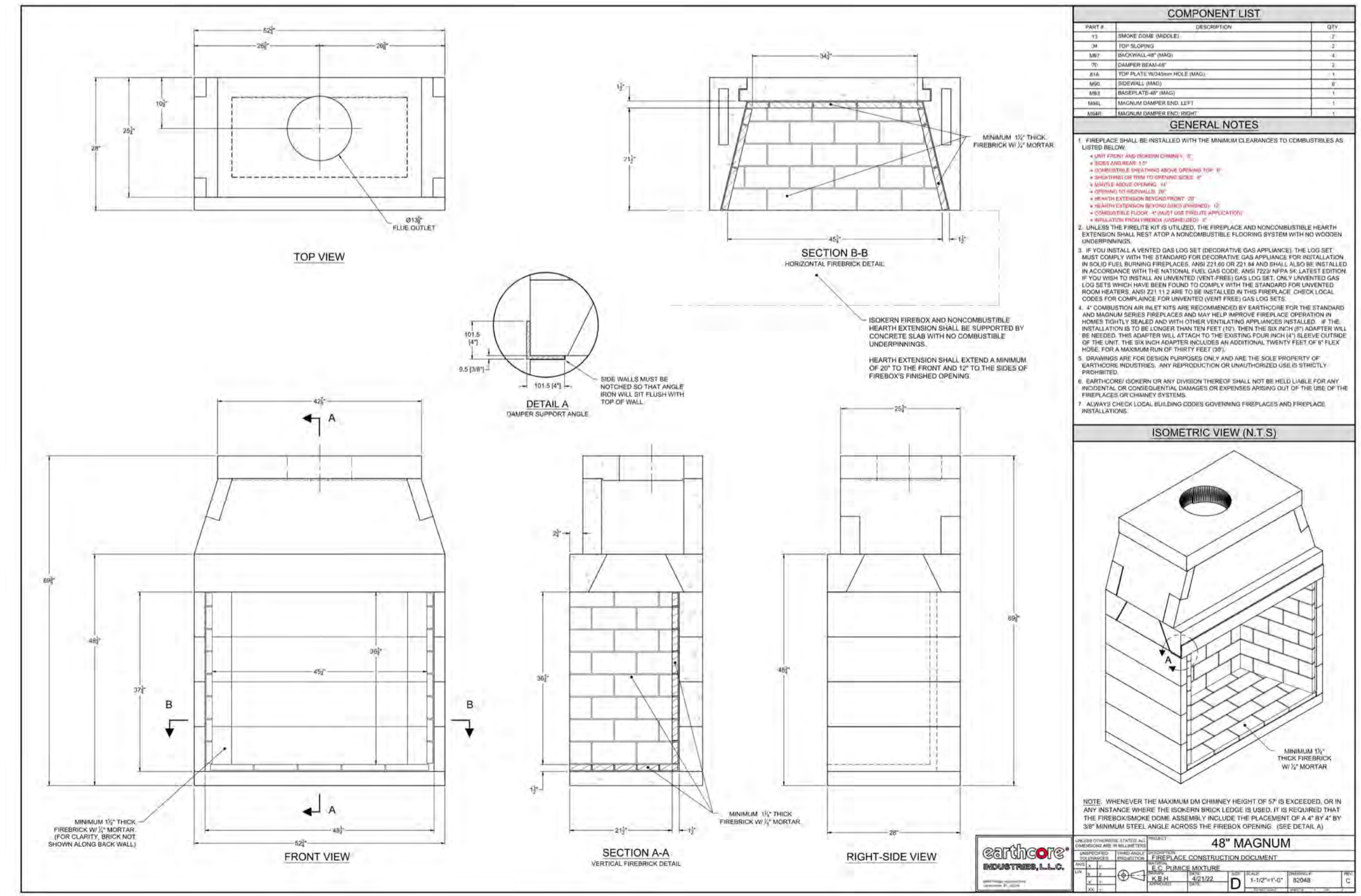
2/12/2020

4 SCALE: NTS [FP-4] ORTAL - 170 FRONT

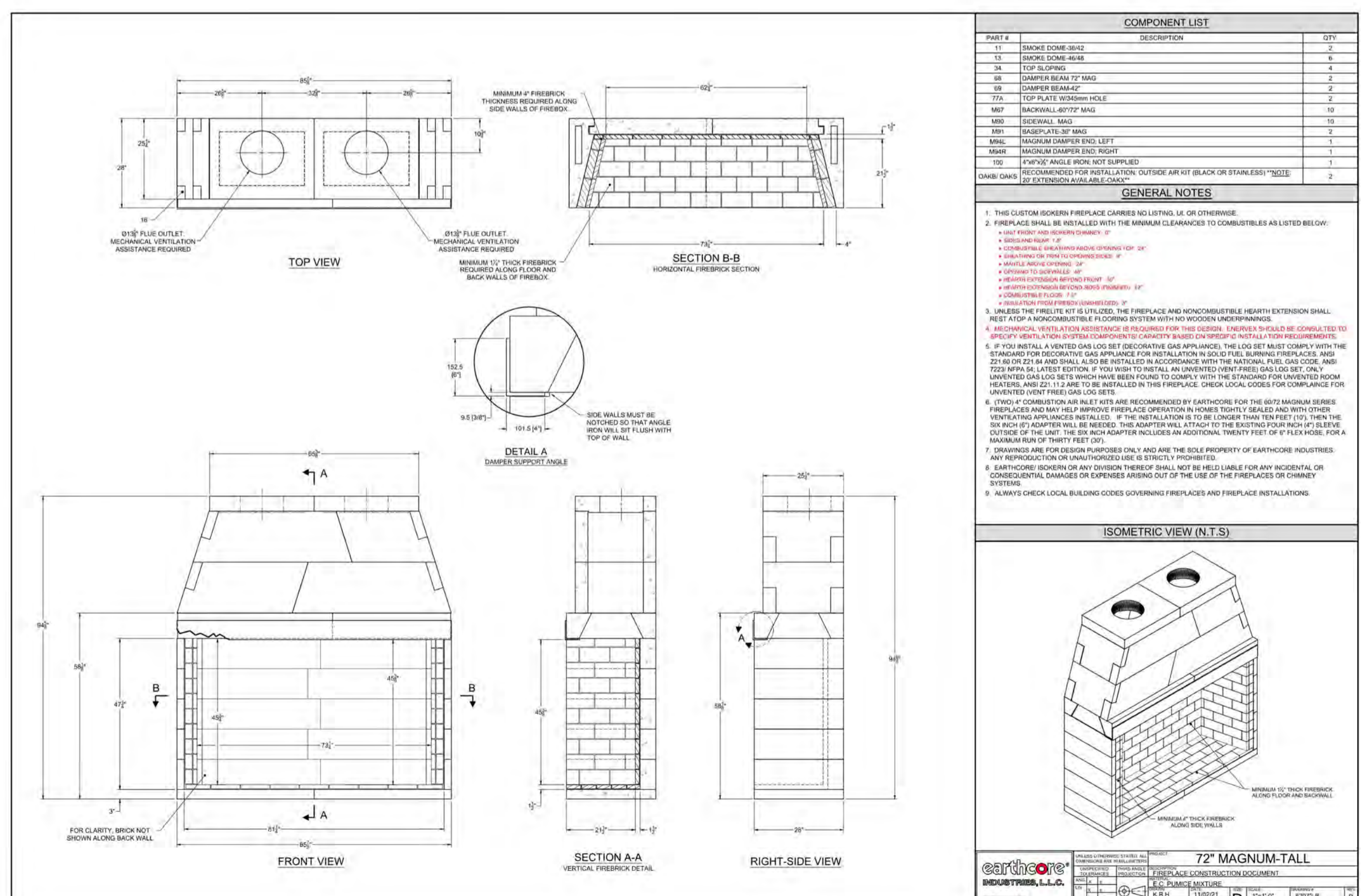
UNIT	INT/EXT	RM #	RM NAME	MANUFACTURER	MODEL	BTU	SCHEDULE FIREPLACES	TYPE/DESCRIPTION
FP-1	INT	106	GREAT ROOM	ISOKERN	MAGNUM T2 TALL			
FP-2	INT	107	FAMILY RM	ISOKERN	MAXIMUS LINEAR 72	92,000		
FP-3	INT	205	MASTER BEDROOM	ISOKERN	MAGNUM 48			
FP-4	INT	A102	LIVING / DINING	ORTAL	170 FRONT	43,715		FLUSH HORIZONTAL POWER VENT
FP-5	EXT		ADU POOL DECK	LUMACAST	CYLINDRA 48	180,000		
FP-6	EXT		ADU UPPER DECK	LUMACAST	CYLINDRA 42	180,000		
FP-7	EXT		MH FRONT DECK	LUMACAST	BLOC 92	200,000		
FP-8	EXT		MH REAR DECK	LUMACAST	BLOC 92	200,000		



2 SCALE: NTS [FP-2] ISOKERN 72" MAXIMUS LINEAR



3 SCALE: NTS [FP-3] ISOKERN MAGNUM 48



1 SCALE: NTS [FP-1] ISOKERN 72" MAGNUM - TALL

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SEAL:  
LICENSED ARCHITECT  
AR 987568  
JASON RO  
STATE OF IDAHO

0 02.28.23 BUILDING PERMIT  
NO DATE ISSUE

PROJECT:  
BADGER RESIDENCE  
121 BADGER LANE  
KETCHUM, ID 83340

PROJECT NUMBER  
#2201  
DRAWING TITLE:  
FIREPLACE SCHEDULE

DRAWING NUMBER:  
G-102

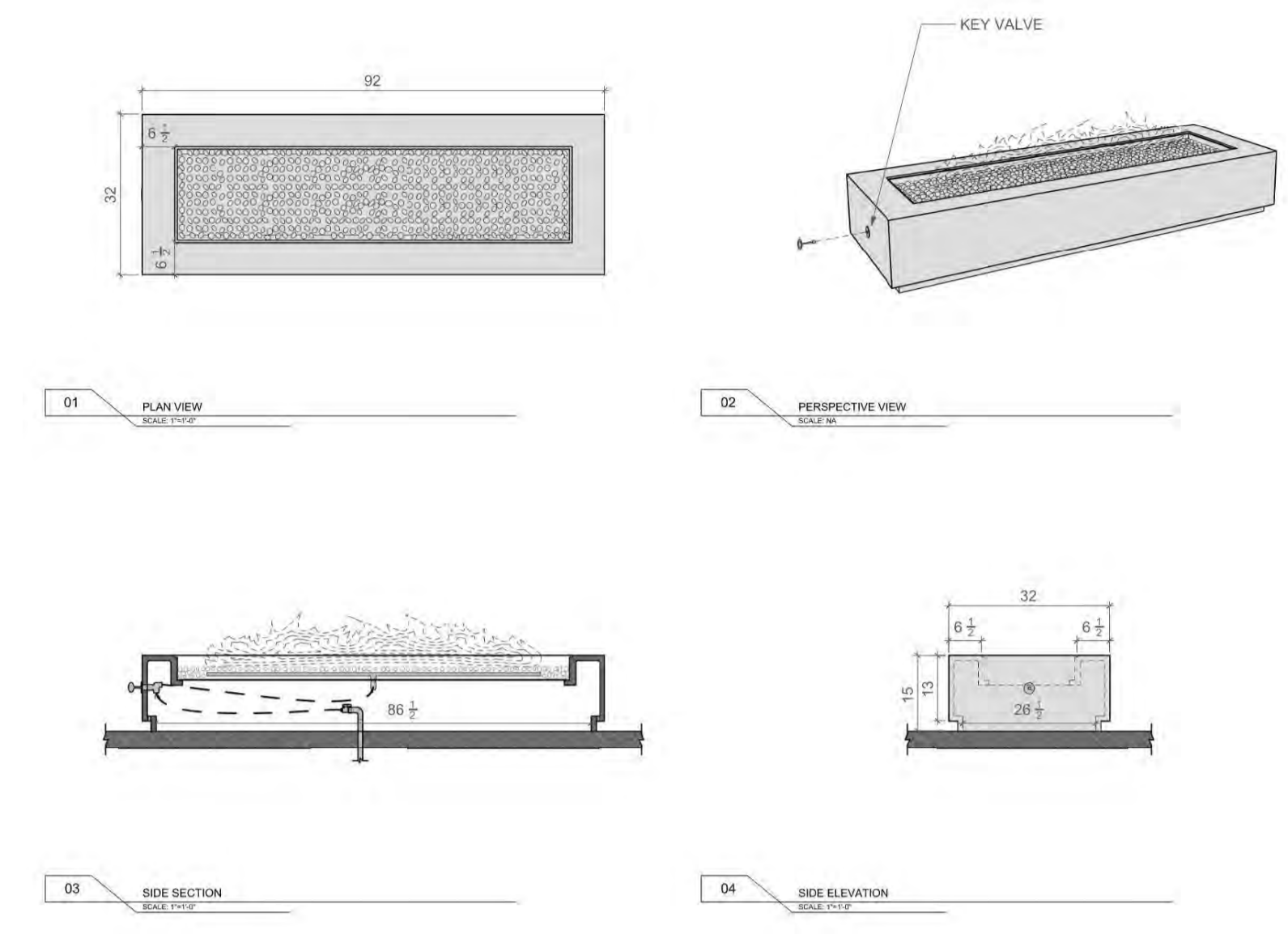
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BLD2303-00021  
06/26/23

2/2/25



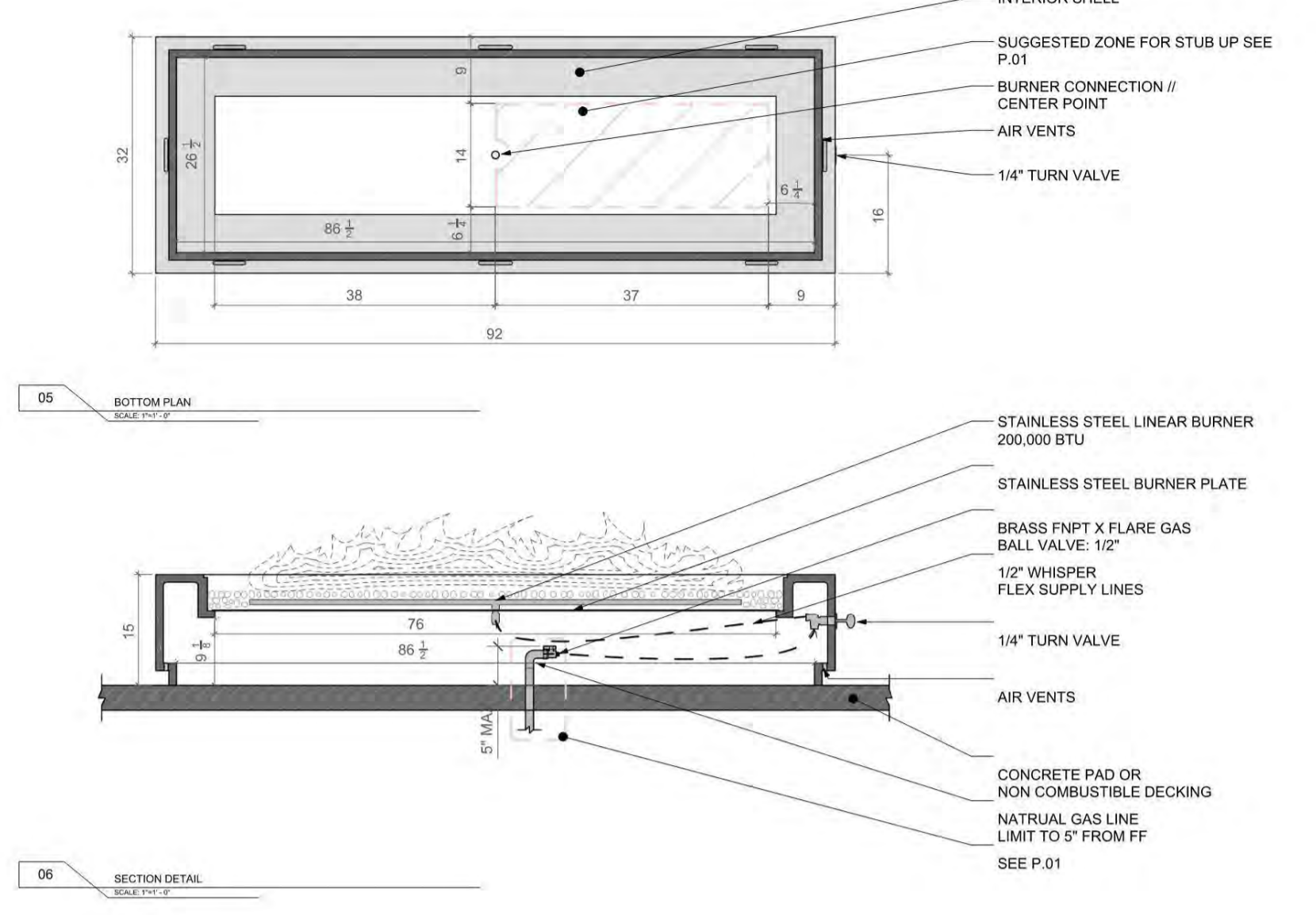
**LUMACAST**  
1711 River Rd.  
San Diego, CA 92111  
www.lumacast.com

**PROJECT INFORMATION**  
PROJECT: FP-7 & FP-8  
DESIGNER: LUMACAST

**DRAWING INFORMATION**  
DRAWING PACKAGE: FP-7 & FP-8  
SHEET CONTENTS: 7/15, 7/16, 7/17, 7/18, 7/19, 7/20, 7/21, 7/22  
COLOR: [ ]  
FINISH: [ ]  
CUTTING: [ ]  
CUSTOM: [ ]  
CALL TOP: [ ]  
CALL COVER: [ ]  
CALLS: [ ]  
LINE SALES: [ ]

DATE: 02/28/23  
AUTHOR: JRO  
DATE: 02/28/23

**A1.0**  
SHEET NO.



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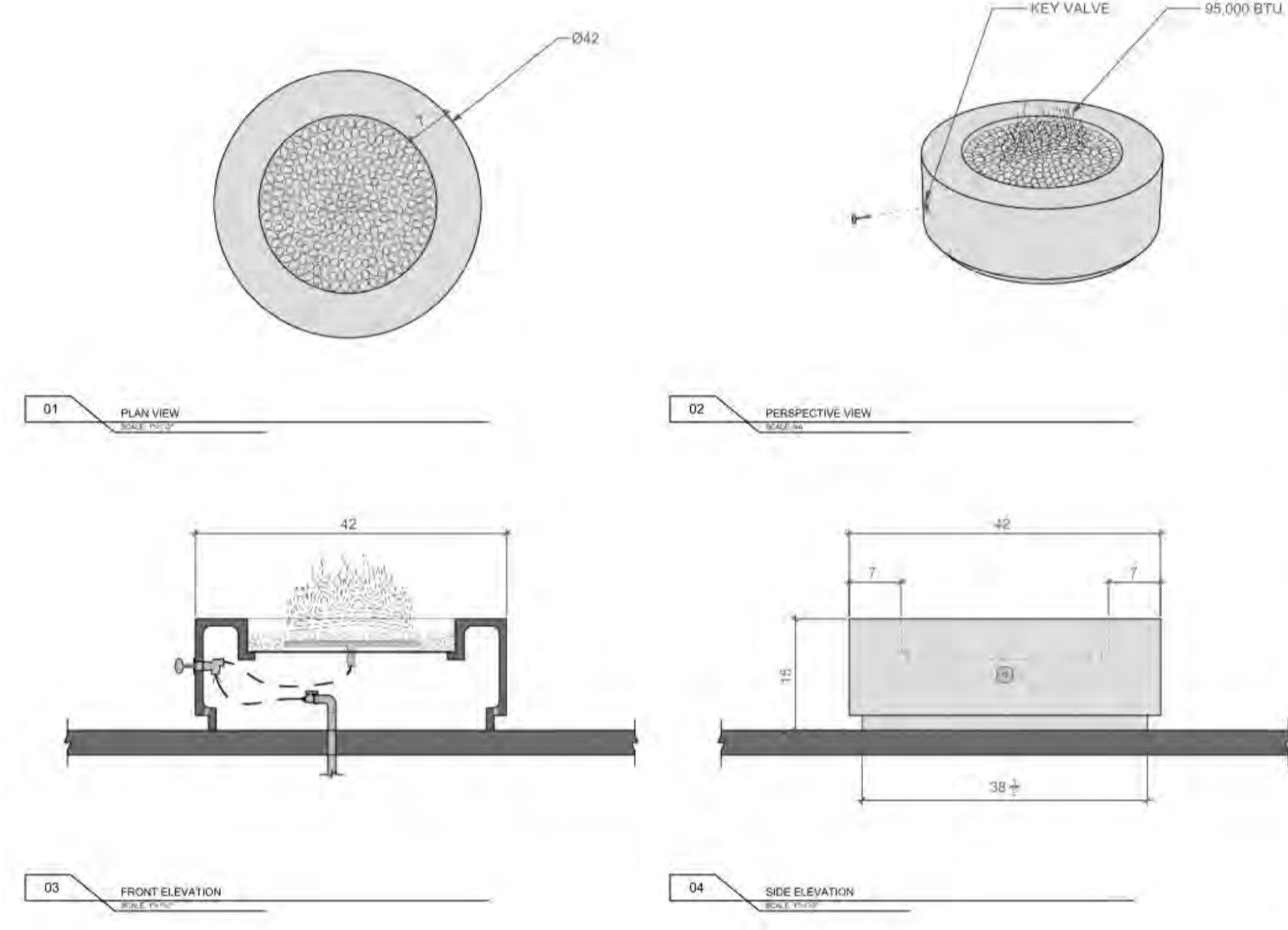
**PROJECT INFORMATION**  
PROJECT: FP-7 & FP-8  
DESIGNER: LUMACAST

**DRAWING INFORMATION**  
DRAWING PACKAGE: FP-7 & FP-8  
SHEET CONTENTS: 7/15, 7/16, 7/17, 7/18, 7/19, 7/20, 7/21, 7/22  
COLOR: [ ]  
FINISH: [ ]  
CUTTING: [ ]  
CUSTOM: [ ]  
CALL TOP: [ ]  
CALL COVER: [ ]  
CALLS: [ ]  
LINE SALES: [ ]

DATE: 02/28/23  
AUTHOR: JRO  
DATE: 02/28/23

**A1.1**  
SHEET NO.

7 SCALE: NTS [FP-7 & FP-8] LUMACAST - BLOC 92



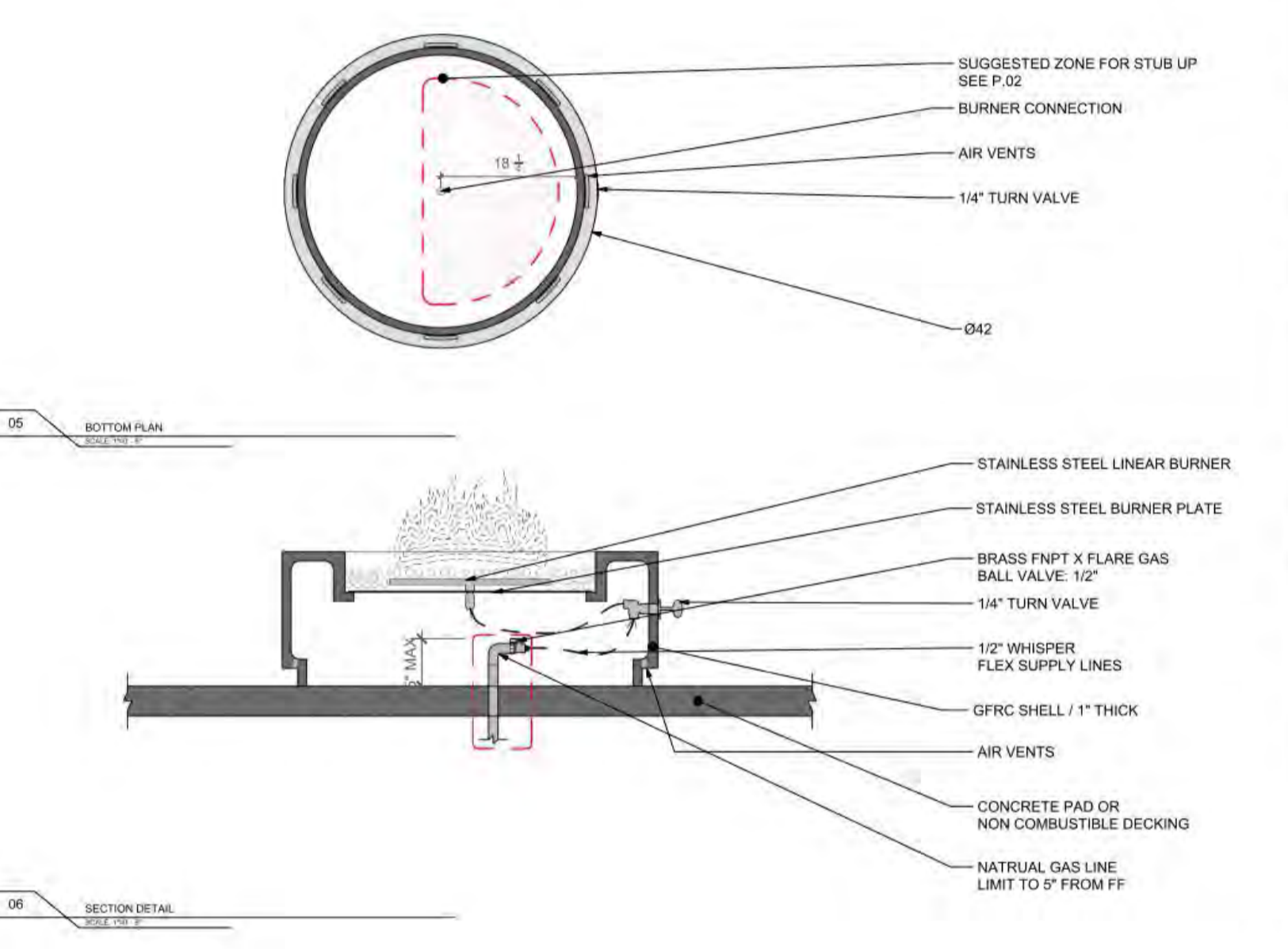
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1711 River Rd.  
San Diego, CA 92111  
www.lumacast.com

**PROJECT INFORMATION**  
PROJECT: FP-6  
DESIGNER: LUMACAST

**DRAWING INFORMATION**  
DRAWING PACKAGE: FP-6  
SHEET CONTENTS: 7/15, 7/16, 7/17, 7/18, 7/19, 7/20, 7/21, 7/22  
COLOR: [ ]  
FINISH: [ ]  
CUTTING: [ ]  
CUSTOM: [ ]  
CALL TOP: [ ]  
CALL COVER: [ ]  
CALLS: [ ]  
LINE SALES: [ ]

DATE: 02/28/23  
AUTHOR: JRO  
DATE: 02/28/23

**A1.0**  
SHEET NO.



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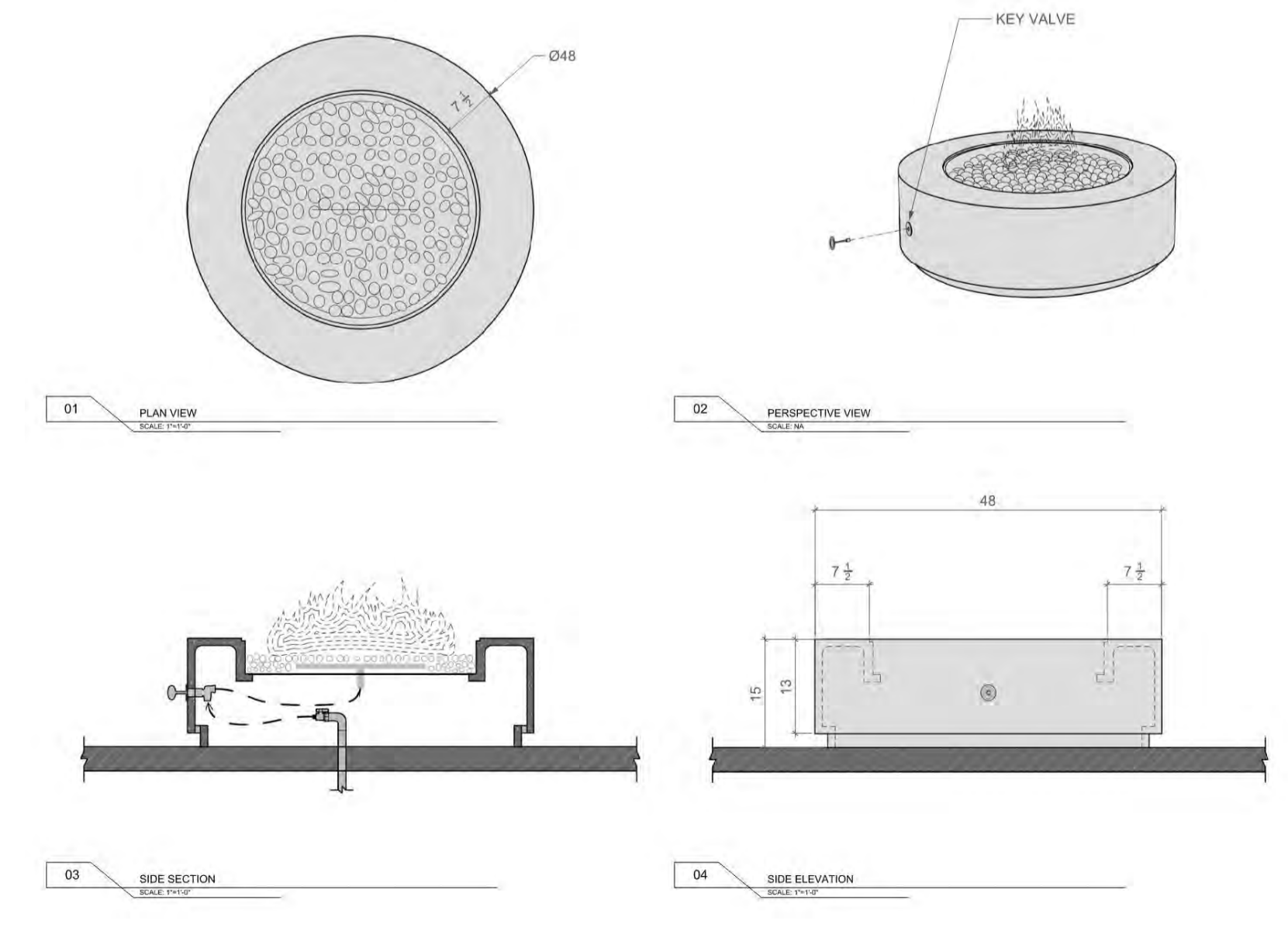
**PROJECT INFORMATION**  
PROJECT: FP-6  
DESIGNER: LUMACAST

**DRAWING INFORMATION**  
DRAWING PACKAGE: FP-6  
SHEET CONTENTS: 7/15, 7/16, 7/17, 7/18, 7/19, 7/20, 7/21, 7/22  
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CALLS: [ ]  
LINE SALES: [ ]

DATE: 02/28/23  
AUTHOR: JRO  
DATE: 02/28/23

**A1.1**  
SHEET NO.

6 SCALE: NTS [FP-6] LUMACAST - CYLINDRA 42



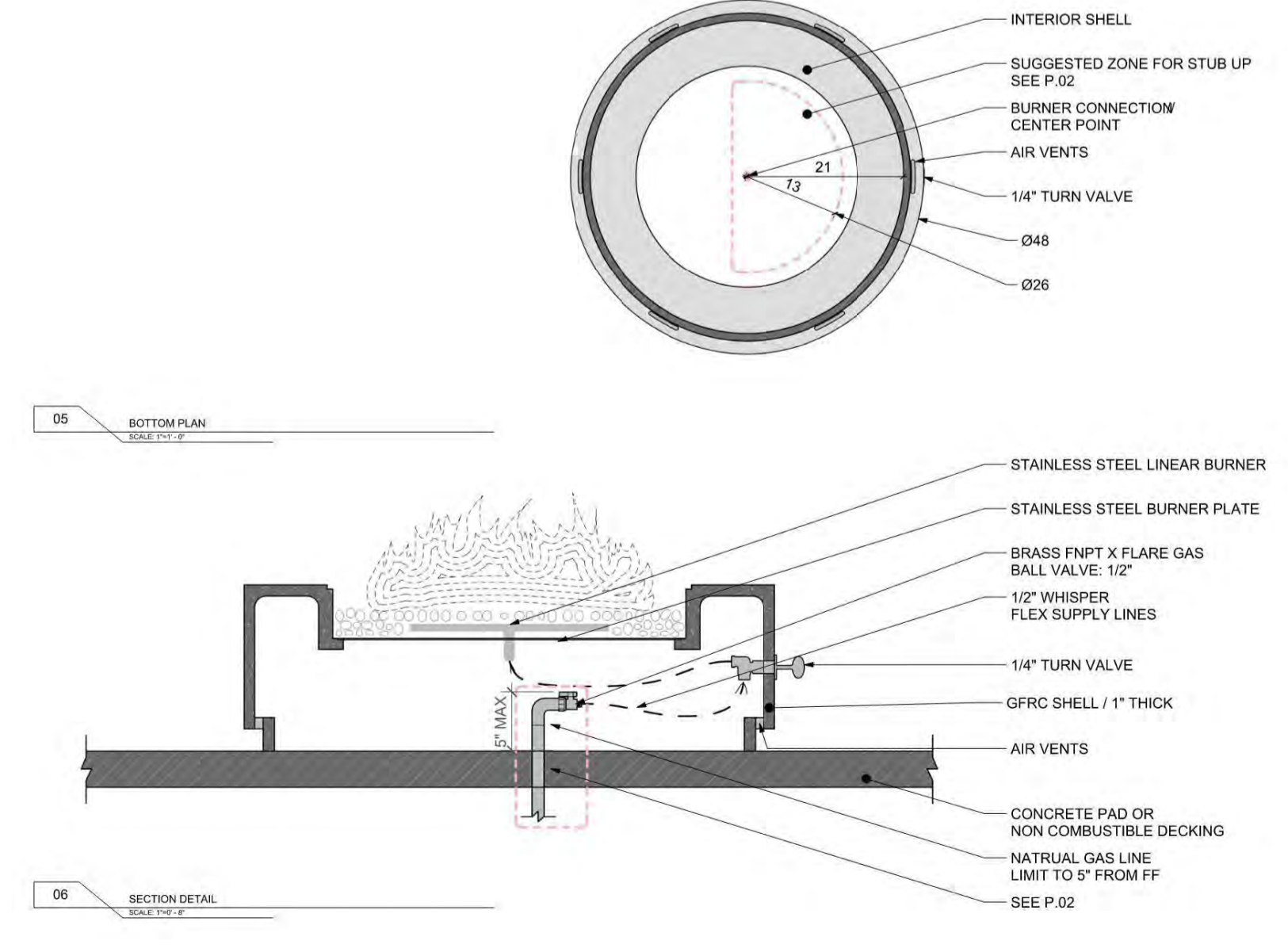
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San Diego, CA 92111  
www.lumacast.com

**PROJECT INFORMATION**  
PROJECT: FP-5  
DESIGNER: LUMACAST

**DRAWING INFORMATION**  
DRAWING PACKAGE: FP-5  
SHEET CONTENTS: 7/15, 7/16, 7/17, 7/18, 7/19, 7/20, 7/21, 7/22  
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CUSTOM: [ ]  
CALL TOP: [ ]  
CALL COVER: [ ]  
CALLS: [ ]  
LINE SALES: [ ]

DATE: 02/28/23  
AUTHOR: JRO  
DATE: 02/28/23

**A1.0**  
SHEET NO.



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**PROJECT INFORMATION**  
PROJECT: FP-5  
DESIGNER: LUMACAST

**DRAWING INFORMATION**  
DRAWING PACKAGE: FP-5  
SHEET CONTENTS: 7/15, 7/16, 7/17, 7/18, 7/19, 7/20, 7/21, 7/22  
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CUSTOM: [ ]  
CALL TOP: [ ]  
CALL COVER: [ ]  
CALLS: [ ]  
LINE SALES: [ ]

DATE: 02/28/23  
AUTHOR: JRO  
DATE: 02/28/23

**A1.1**  
SHEET NO.

5 SCALE: NTS [FP-5] LUMACAST - CYLINDRA 48

**BADGER RESIDENCE**

OWNER:  
**121 BADGER LANE LLC**  
P.O. BOX 14001-174  
KETCHUM, ID 83340

PROJECT ARCHITECT:  
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TEL: 213.784.0014

SURVEYOR:  
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317 NORTH RIVER STREET  
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EL SEGUNDO, CA 90245  
TEL: 213.239.9700

CIVIL ENGINEER:  
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TEL: 208.726.9512

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NO	DATE	BUILDING PERMIT	ISSUE
0	02.28.23		

PROJECT:  
**BADGER RESIDENCE**  
121 BADGER LANE  
KETCHUM, ID 83340

PROJECT NUMBER  
**#2201**

DRAWING TITLE:  
**FIREPLACE SCHEDULE**

DRAWING NUMBER:  
**G-103**

Approved  
 These plans have been found to be in substantial compliance with the adopted building codes. These documents are approved contingent on compliance with the mark-ups and notes applied. This is not approval of any code, ordinance, statute or regulation. Corrections will be required for code violations found during the inspection process.

BLD2303-00021  
 06/26/23

2/2/25

SCHEDULE - APPLIANCE						
TYPE	RM NAME	DESCRIPTION	MANUFACTURER	MODEL	FINISH	COMMENTS
A-01	LAUNDRY	FRONT LOAD WASHER	SAMSUNG	WF45T6000AW	WHITE	ENERGY STAR RATED
A-02	LAUNDRY	FRONT LOAD ELECTRIC DRYER	SAMSUNG	DVE45T6000W	WHITE	ENERGY STAR RATED
A-03	KITCHEN	VARIO 400 SERIES GAS COOKTOP	GAGGENAU	VG 491 211CA	SS	
A-04	KITCHEN	WALL HOOD	GAGGENAU	AW442720/AR400743	SS	400 SERIES PROFESSIONAL WALL HOOD W/ BAFFLE FILTERS, W/ AR 400 SERIES INTERNAL BLOWER
A-05	BACK KITCHEN	DISHWASHER	GAGGENAU	DF480763	FI	400 SERIES, FULLY INTEGRATED TALL TUB, APPLIANCE HEIGHT 34 1/2"; ENERGY STAR RATED
A-05	ADU KITCHEN	DISHWASHER	GAGGENAU	DF480763	FI	400 SERIES, FULLY INTEGRATED TALL TUB, APPLIANCE HEIGHT 34 1/2"; ENERGY STAR RATED
A-05	KITCHEN	DISHWASHER	GAGGENAU	DF480763	FI	400 SERIES, FULLY INTEGRATED TALL TUB, APPLIANCE HEIGHT 34 1/2"; ENERGY STAR RATED
A-05	REC ROOM	DISHWASHER	GAGGENAU	DF480763	FI	400 SERIES, FULLY INTEGRATED TALL TUB, APPLIANCE HEIGHT 34 1/2"; ENERGY STAR RATED
A-06	KITCHEN	REFRIGERATOR	GAGGENAU	RB492705	FI	
A-06	KITCHEN	REFRIGERATOR	GAGGENAU	RB492705	FI	
A-07	KITCHEN	WINE COOLER	GAGGENAU	RB468765	FI	
A-08	BACK KITCHEN	400 SERIES DOUBLE OVEN	GAGGENAU	BX 480 612	SS	
A-09	KITCHEN	24" MICROWAVE BUILT-IN DRAWER	GAGGENAU	MW420620	SS	
A-11	REC ROOM	15" UC ICE MAKER	SUBZERO	UC-15IP	FI	WITH PUMP; ENERGY STAR RATED
A-12	REC ROOM	24" UC REFRIGERATOR PANEL READY	SUBZERO	DEU2450CL	FI	PANEL READY
A-12	ADU DECK	UC WINE STORAGE	SUB ZERO	HP24WS-3	FI	
A-12	MH BACK DECK	UC WINE STORAGE	SUB ZERO	HP24WS-3		
A-12	MH BACK DECK	UC WINE STORAGE	SUB ZERO	HP24WS-3		
A-13	ADU KITCHEN	30" REFRIGERATOR	GAGGENAU	RB472705	FI	BOTTOM MOUNT FREEZER, LED LIGHTING
A-13	ADU KITCHEN	30" REFRIGERATOR	GAGGENAU	RB472705	FI	BOTTOM MOUNT FREEZER, LED LIGHTING
A-14	ADU KITCHEN	36" DOWNDRAFT	GAGGENAU	AL400792	SS	RETRACTABLE, REMOTE BLOWER
A-15/16	ADU W/D CL	24" FRONT LOAD STACKED WASHER/DRYER	SAMSUNG	WW22K6800AW	WHITE	ENERGY STAR RATED
A-18	MH / ADU DECK	42" BARBEQUE	LYNX	L42R-3	SS	
A-18	MH / ADU DECK	42" BARBEQUE	LYNX	L42R-3	SS	
A-19	ADU KITCHEN	30" SINGLE OVEN	GAGGENAU	BO480613	SS	TFT DISPLAY, RIGHT-HINGED
A-20	MH BACK DECK	13" SIDE BURNER	LYNX	LSB2-2 NG		

**BADGER RESIDENCE**

OWNER:  
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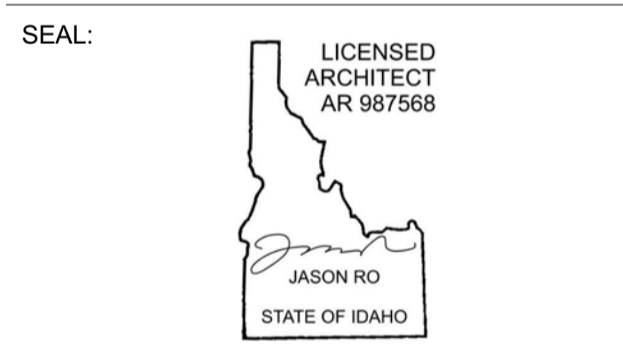
STRUCTURAL ENGINEER:  
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 319 MAIN STREET  
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 TEL: 213.239.9700

MEP ENGINEER:  
**CES ENGINEERING SERVICES, LLC**  
 1001 W OAK BUILDING B SUITE 107  
 BOZEMAN, MT 59715  
 TEL: 406.272.0352

LIGHTING DESIGN CONSULTANT:  
**KGM ARCHITECTURAL LIGHTING**  
 270 CORAL CIRCLE  
 EL SEGUNDO, CA 90245  
 TEL: 310.552.2191

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0	02.28.23	BUILDING PERMIT
NO	DATE	ISSUE

PROJECT:  
**BADGER RESIDENCE**  
 121 BADGER LANE  
 KETCHUM, ID 83340

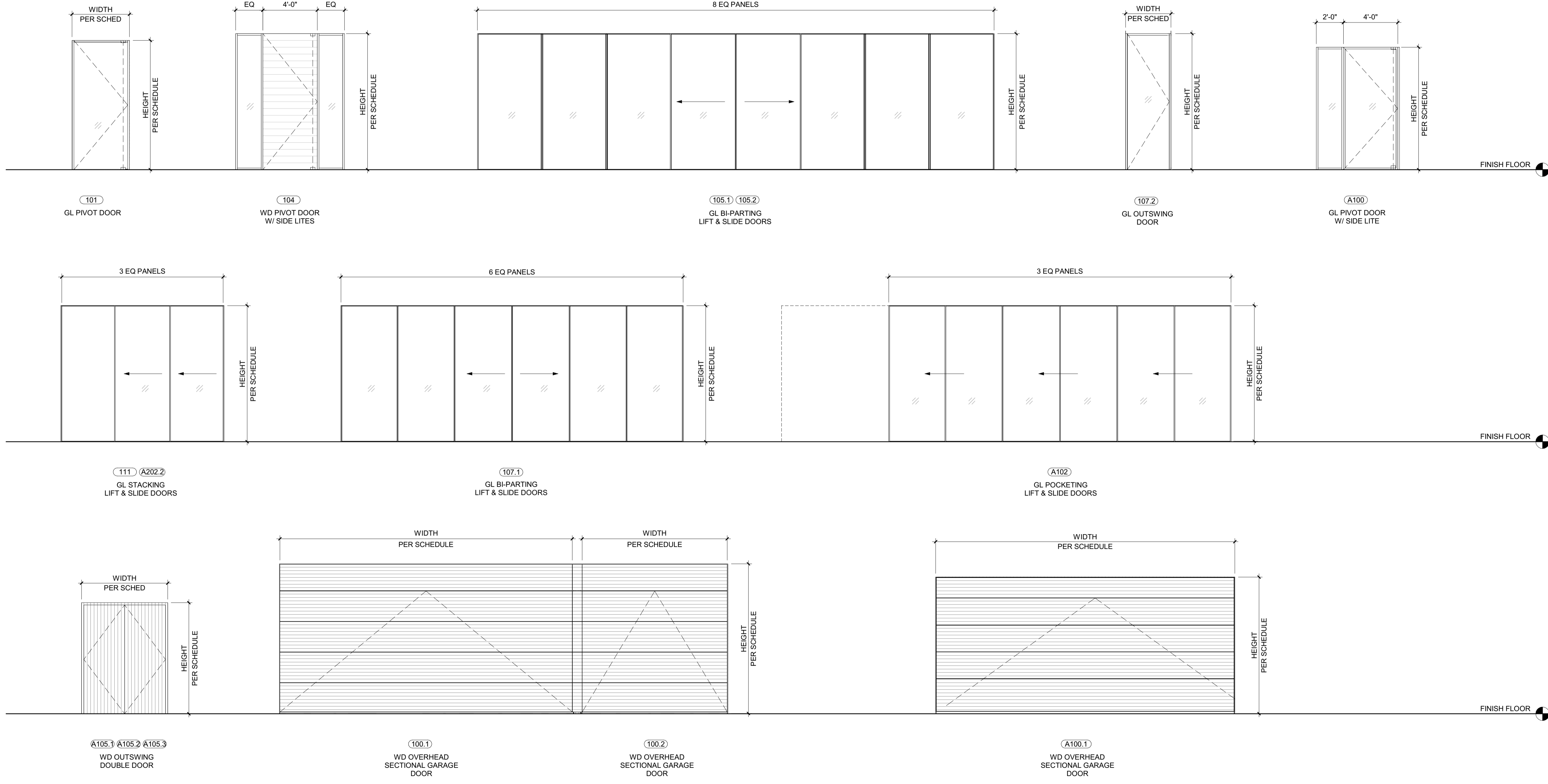
PROJECT NUMBER  
**#2201**

DRAWING TITLE:  
**APPLIANCE SCHEDULE**

DRAWING NUMBER:  
**G-105**

EXTERIOR DOOR SCHEDULE																
TAG	ROOM #	ROOM NAME	EXT / INT	DOOR SIZE		OPERATION	DETAIL			MANUFACTURER	MODEL	MATERIAL	DOOR FINISH	HARDWARE GROUP	FIRE RATING	COMMENTS
				WIDTH	HEIGHT		JAMB	HEAD	SILL							
100.1	100	GARAGE	Exterior	21' - 6"	9' - 0"	SECTIONAL				CUSTOM			WD		INSULATED STEEL OVERHEAD DOOR	
100.2	100	GARAGE	Exterior	10' - 8"	9' - 0"	SECTIONAL				CUSTOM			WD		INSULATED STEEL OVERHEAD DOOR	
100.5	100.2	TRASH RM	Exterior	3' - 0"	10' - 10"	SWING				CUSTOM			WD		FRAMELESS- WOOD BLIND CUT DOOR	
101	101	VESTIBULE	Exterior	3' - 11 1/2"	9' - 4 1/2"	PIVOT				PANORAMAH	AHI 38	ALUM/GL	ANODIZED-6EA		TEMPERED GLASS	
104	105	ENTRY	Exterior	8' - 0"	10' - 0"	PIVOT				PANORAMAH	AHI 38	ALUM/GL	ANODIZED-6EA		TEMPERED GLASS	
106.1	106	GREAT ROOM	Exterior	37' - 8"	10' - 0"	LIFT & SLIDE				PANORAMAH	AHI 38	ALUM/GL	ANODIZED-6EA		TEMPERED GLASS; HIDDEN SILL PROFILE W/ GUTTER	
106.2	106	GREAT ROOM	Exterior	38' - 0"	10' - 0"	LIFT & SLIDE				PANORAMAH	AHI 38	ALUM/GL	ANODIZED-6EA		TEMPERED GLASS; HIDDEN SILL PROFILE W/ GUTTER	
107.2	107	FAMILY RM	Exterior	3' - 1"	9' - 10 1/2"	OUTSWING				PANORAMAH	AHI 38	ALUM/GL	ANODIZED-6EA		TEMPERED GLASS	
A03	A03	STAIR	Exterior	3' - 3"	9' - 0"	OUTSWING				PANORAMAH	AHI 38	ALUM/GL	ANODIZED-6EA		TEMPERED GLASS	
A100	100.4	ENTRY	Exterior	5' - 0"	9' - 6"	PIVOT				PANORAMAH	AHI 38	ALUM/GL	ANODIZED-6EA		TEMPERED GLASS	
A100.2	A100	GARAGE	Exterior	3' - 0"	8' - 0"	OUTSWING				PANORAMAH	AHI 38	ALUM/GL	ANODIZED-6EA		TEMPERED GLASS	
A102	A102	LIVING / DINING	Exterior	23' - 10 3/4"	10' - 0"	LIFT & SLIDE				PANORAMAH	AHI 38	ALUM/GL	ANODIZED-6EA		TEMPERED GLASS; HIDDEN SILL PROFILE W/ GUTTER	
A105.1	A105	MECH / POOL EQUIP	Exterior	6' - 0"	8' - 0"	WD OUTSWING DOUBLE				CUSTOM			WD			
A105.2	A105	MECH / POOL EQUIP	Exterior	6' - 0"	8' - 0"	WD OUTSWING DOUBLE				CUSTOM			WD			
A105.3	A105	MECH / POOL EQUIP	Exterior	6' - 0"	8' - 0"	WD OUTSWING DOUBLE				CUSTOM			WD			
A202.2	A202	BDRM 2	Exterior	10' - 4"	9' - 0"	LIFT & SLIDE				PANORAMAH	AHI 38	ALUM/GL	ANODIZED-6EA		TEMPERED GLASS; HIDDEN SILL PROFILE W/ GUTTER	

NOTE: EXTERIOR ELEVATION VIEW



**BADGER RESIDENCE**

OWNER:  
 121 BADGER LANE LLC  
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 KETCHUM, ID 83340

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 GALENA ENGINEERING, INC.  
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 2018 WASHINGTON ST NORTH, SUITE 4  
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 TEL: 208.720.6432

LANDSCAPE ARCHITECT:  
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 BENCHMARK ASSOCIATES, P.A.  
 P.O. BOX 733 - 100 BELL DRIVE  
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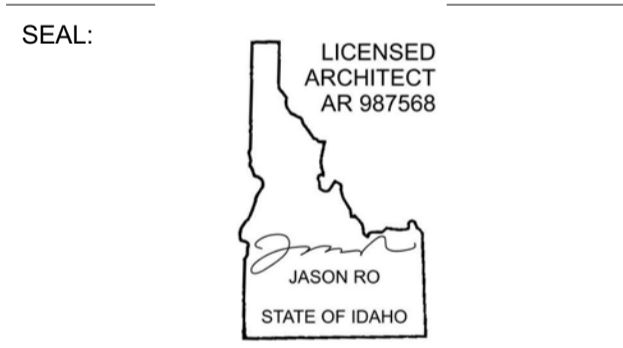
STRUCTURAL ENGINEER:  
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MEP ENGINEER:  
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0	02.28.23	BUILDING PERMIT
NO	DATE	ISSUE

PROJECT:  
**BADGER RESIDENCE**  
 121 BADGER LANE  
 KETCHUM, ID 83340

PROJECT NUMBER  
**#2201**

DRAWING TITLE:  
**EXTERIOR DOOR SCHEDULE**

DRAWING NUMBER:  
**G-106**

**Approved**  
 These plans have been found to be in substantial compliance with the applicable building codes. These documents are approved contingent on compliance with the mark-ups and notes applied. This is not approval of any code, ordinance, statute or regulation. Corrections will be required for code violations found during the inspection process.

BLD2303-0021  
 06/26/23

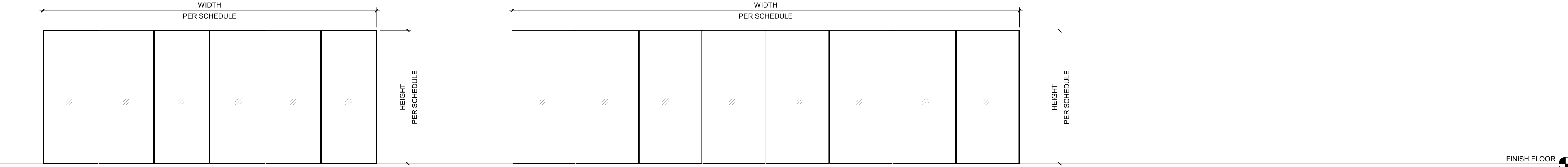
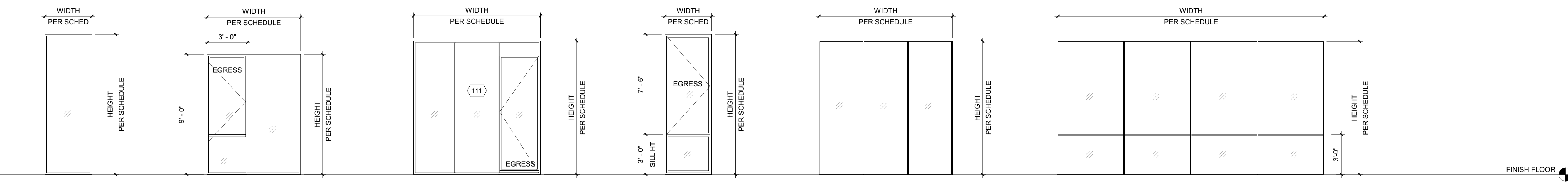
**SCHEDULE - WINDOW**

TAG	ROOM #	ROOM NAME	WINDOW SIZE		OPERATION	DETAIL			MANUFACTURER	MODEL	MATERIAL	MIN U VALUE	COMMENTS
			WIDTH	HEIGHT		JAMB	HEAD	SILL					
102	102	LAUNDRY	2' - 4"	9' - 6 7/16"	FIXED				PANORAMAHI	38 SERIES	ALUM / GL	0.3	TEMPERED GLAZING
105	105	STAIR 01	8' - 0"	VARIABLES SEE ELEV	FIXED				PANORAMAHI	38 SERIES	ALUM / GL	0.3	TEMPERED GLAZING
106.1	106	GREAT ROOM	38' - 0"	7' - 6"	FIXED 8-PANEL				PANORAMAHI	38 SERIES	ALUM / GL	0.3	TEMPERED GLAZING
106.2	106	GREAT ROOM	38' - 0"	9' - 0"	FIXED 8-PANEL				PANORAMAHI	38 SERIES	ALUM / GL	0.3	TEMPERED GLAZING
108	108	BREAKFAST NOOK	20' - 8 1/2"	10' - 0"	FIXED 4-PANEL				PANORAMAHI	38 SERIES	ALUM / GL	0.3	TEMPERED GLAZING
110	110	BACK KITCHEN	2' - 6"	7' - 0"	FIXED				PANORAMAHI	38 SERIES	ALUM / GL	0.3	TEMPERED GLAZING
111	111	BDRM 1	9' - 6"	10' - 0"	FIXED W/ EGRESS				PANORAMAHI	38 SERIES	ALUM / GL	0.3	TEMPERED GLAZING
111.1	111.1	BATH 1	2' - 4"	10' - 0"	FIXED				PANORAMAHI	38 SERIES	ALUM / GL	0.3	TEMPERED GLAZING
111.6	111	BDRM 1	3' - 2"	10' - 0"	FIXED W/ EGRESS				PANORAMAHI	38 SERIES	ALUM / GL	0.3	TEMPERED GLAZING
113	113	HALLWAY	4' - 0"	10' - 0"	FIXED				PANORAMAHI	38 SERIES	ALUM / GL	0.3	TEMPERED GLAZING
201.1	201	BDRM 2	11' - 9"	8' - 9"	FIXED 3-PANEL				PANORAMAHI	38 SERIES	ALUM / GL	0.3	TEMPERED GLAZING
201.2	201	BDRM 2	7' - 0"	9' - 0"	FIXED W/ EGRESS				PANORAMAHI	38 SERIES	ALUM / GL	0.3	EGRESS WINDOW; TEMPERED GLAZING
201.3	201.1	BATH 2	3' - 0"	9' - 0"	FIXED				PANORAMAHI	38 SERIES	ALUM / GL	0.3	TEMPERED GLAZING
202.1	202.1	BATH 3	4' - 0"	9' - 0"	FIXED				PANORAMAHI	38 SERIES	ALUM / GL	0.3	TEMPERED GLAZING
202.2	202	BDRM 3	13' - 0"	9' - 0"	FIXED				PANORAMAHI	38 SERIES	ALUM / GL	0.3	TEMPERED GLAZING
203.1	203	BDRM 4	7' - 0"	9' - 0"	FIXED W/ EGRESS				PANORAMAHI	38 SERIES	ALUM / GL	0.3	EGRESS WINDOW; TEMPERED GLAZING
203.2	203	BDRM 4	3' - 0"	9' - 0"	FIXED				PANORAMAHI	38 SERIES	ALUM / GL	0.3	TEMPERED GLAZING
203.3	203.2	BATH 4	3' - 0"	9' - 0"	FIXED				PANORAMAHI	38 SERIES	ALUM / GL	0.3	TEMPERED GLAZING
204.1	204	OFFICE	3' - 4"	9' - 0"	CASEMENT / FIXED BELOW				PANORAMAHI	38 SERIES	ALUM / GL	0.3	TEMPERED GLAZING
204.2	204	OFFICE	8' - 5 1/2"	VARIABLES SEE ELEV	FIXED				PANORAMAHI	38 SERIES	ALUM / GL	0.3	TEMPERED GLAZING
205.1	205	MASTER BEDROOM	10' - 6 3/32"	9' - 0"	FIXED				PANORAMAHI	38 SERIES	ALUM / GL	0.3	TEMPERED GLAZING
205.2	205	MASTER BEDROOM	2' - 7 1/2"	9' - 0"	CASEMENT / EGRESS				PANORAMAHI	38 SERIES	ALUM / GL	0.3	EGRESS WINDOW; TEMPERED GLAZING
205.3	205	MASTER BEDROOM	12' - 11"	VARIABLES SEE ELEV	FIXED				PANORAMAHI	38 SERIES	ALUM / GL	0.3	TEMPERED GLAZING
206	206.1	HALLWAY	6' - 6 1/2"	9' - 0"	FIXED				PANORAMAHI	38 SERIES	ALUM / GL	0.3	TEMPERED GLAZING
208.1	208	MASTER BATH	9' - 10 1/2"	9' - 0"	FIXED				PANORAMAHI	38 SERIES	ALUM / GL	0.3	TEMPERED GLAZING
208.2	208	MASTER BATH	2' - 0"	9' - 0"	FIXED				PANORAMAHI	38 SERIES	ALUM / GL	0.3	TEMPERED GLAZING
211.1	211	HALLWAY	4' - 0"	9' - 0"	FIXED				PANORAMAHI	38 SERIES	ALUM / GL	0.3	TEMPERED GLAZING
A03.1	A03	STAIR	3' - 10"	9' - 10"	FIXED				PANORAMAHI	38 SERIES	ALUM / GL	0.3	TEMPERED GLAZING
A03.2	A03	STAIR	3' - 10"	9' - 0"	FIXED				PANORAMAHI	38 SERIES	ALUM / GL	0.3	TEMPERED GLAZING
A201	A201	BDRM 1	8' - 11"	9' - 0"	FIXED 3-PANEL				PANORAMAHI	38 SERIES	ALUM / GL	0.3	TEMPERED GLAZING
A202	A202	BDRM 2	23' - 10 3/4"	9' - 0"	FIXED 6-PANEL				PANORAMAHI	38 SERIES	ALUM / GL	0.3	TEMPERED GLAZING

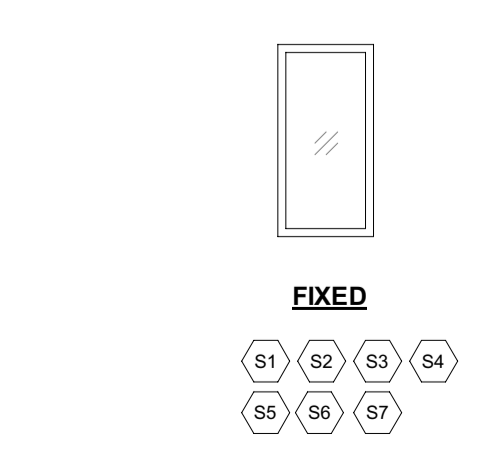
**SCHEDULE - SKYLIGHT**

TAG	ROOM #	ROOM NAME	SKYLIGHT SIZE		OPERATION	DETAIL			MANUFACTURER	MODEL	MATERIAL	MIN U VALUE	COMMENTS
			WIDTH	HEIGHT		JAMB	HEAD	SILL					
S1	200	REC ROOM	3' - 10 1/2"	1' - 10 1/2"	FIXED				VELUX	FCM FIXED 2246	ALUM / GL	0.55	TEMPERED GLAZING
S2	201.1	BATH 2	3' - 10 1/2"	1' - 10 1/2"	FIXED				VELUX	FCM FIXED 2246	ALUM / GL	0.55	TEMPERED GLAZING
S3	203.2	BATH 4	5' - 10 1/2"	1' - 10 1/2"	FIXED				VELUX	FCM FIXED 2270	ALUM / GL	0.55	TEMPERED GLAZING
S4	02	STAIR	3' - 10 1/2"	1' - 10 1/2"	FIXED				VELUX	FCM FIXED 2246	ALUM / GL	0.55	TEMPERED GLAZING
S5	02	STAIR	3' - 10 1/2"	1' - 10 1/2"	FIXED				VELUX	FCM FIXED 2246	ALUM / GL	0.55	TEMPERED GLAZING
S6	208	MASTER BATH	5' - 10 1/2"	1' - 10 1/2"	FIXED				VELUX	FCM FIXED 2270	ALUM / GL	0.55	TEMPERED GLAZING
S7	A201	BDRM 1	5' - 10 1/2"	1' - 10 1/2"	FIXED				VELUX	FCM FIXED 2270	ALUM / GL	0.55	TEMPERED GLAZING

**WINDOW TYPES**  
 NOTE: EXTERIOR ELEVATION VIEW



**SKYLIGHT SCHEDULE**  
 NOTE: ROOF PLAN VIEW



- WINDOW NOTES:**
- ALL DIMENSIONS ARE MEASURED TO OUTSIDE FACE OF FRAME, UNO COORDINATE FINAL DIMENSIONS WITH HEAD/JAMB/SILL DTLS AND WALL SECTIONS. VERIFY ALL DIMENSIONS WITH DESIGNER PRIOR TO ORDERING.
  - ALL CASEMENT WINDOWS SWING OUT.
  - ALL EGRESS WINDOWS TO MEET IRC R310.2.2

- SKYLIGHT NOTES:**
- ALL DIMENSIONS ARE MEASURED TO OUTSIDE FACE OF FRAME, UNO COORDINATE FINAL DIMENSIONS WITH HEAD/JAMB/SILL DTLS AND WALL SECTIONS. VERIFY ALL DIMENSIONS WITH RRD PRIOR TO ORDERING.
  - PROVIDE REMOVABLE BUGSCREENS AT ALL OPERABLE SKYLIGHTS
  - SUBMIT SHOP DRAWINGS OF ALL SKYLIGHTS DIMENSIONS NOT LISTED ON MANUFACTURER'S ICC REPORT FOR BUILDING DEPARTMENT REVIEW
  - PROVIDE LOW-E SOLAR COATING FOR ALL SKYLIGHTS

**BADGER RESIDENCE**

OWNER:  
 121 BADGER LANE LLC  
 P.O. BOX 14001-174  
 KETCHUM, ID 83340

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 RO | ROCKETT DESIGN  
 1031 W. MANCHESTER BLVD, UNIT 6  
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 2016 WASHINGTON ST NORTH, SUITE 4  
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 319 MAIN STREET  
 EL SEGUNDO, CA 90245  
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MEP ENGINEER:  
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 1001 W OAK BUILDING B SUITE 107  
 BOZEMAN, MT 59715  
 TEL: 406.272.0352

LIGHTING DESIGN CONSULTANT:  
 KGM ARCHITECTURAL LIGHTING  
 270 CORAL CIRCLE  
 EL SEGUNDO, CA 90245  
 TEL: 310.552.2191

SEAL:  
 LICENSED ARCHITECT  
 AR 987568  
 JASON RO  
 STATE OF IDAHO

PROJECT NUMBER  
**#2201**

DRAWING TITLE:  
**WINDOW / SKYLIGHT SCHEDULE**

DRAWING NUMBER:  
**G-107**

PROJECT:  
 121 BADGER LANE  
 KETCHUM, ID 83340

0 02.28.23 BUILDING PERMIT  
 NO DATE ISSUE

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BLD2303-00021  
06/26/23

2/2/23

**BADGER RESIDENCE**

OWNER:  
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KETCHUM, ID 83340

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P.O. BOX 733 - 100 BELL DRIVE  
KETCHUM, IDAHO 83340  
TEL: 208.726.9512

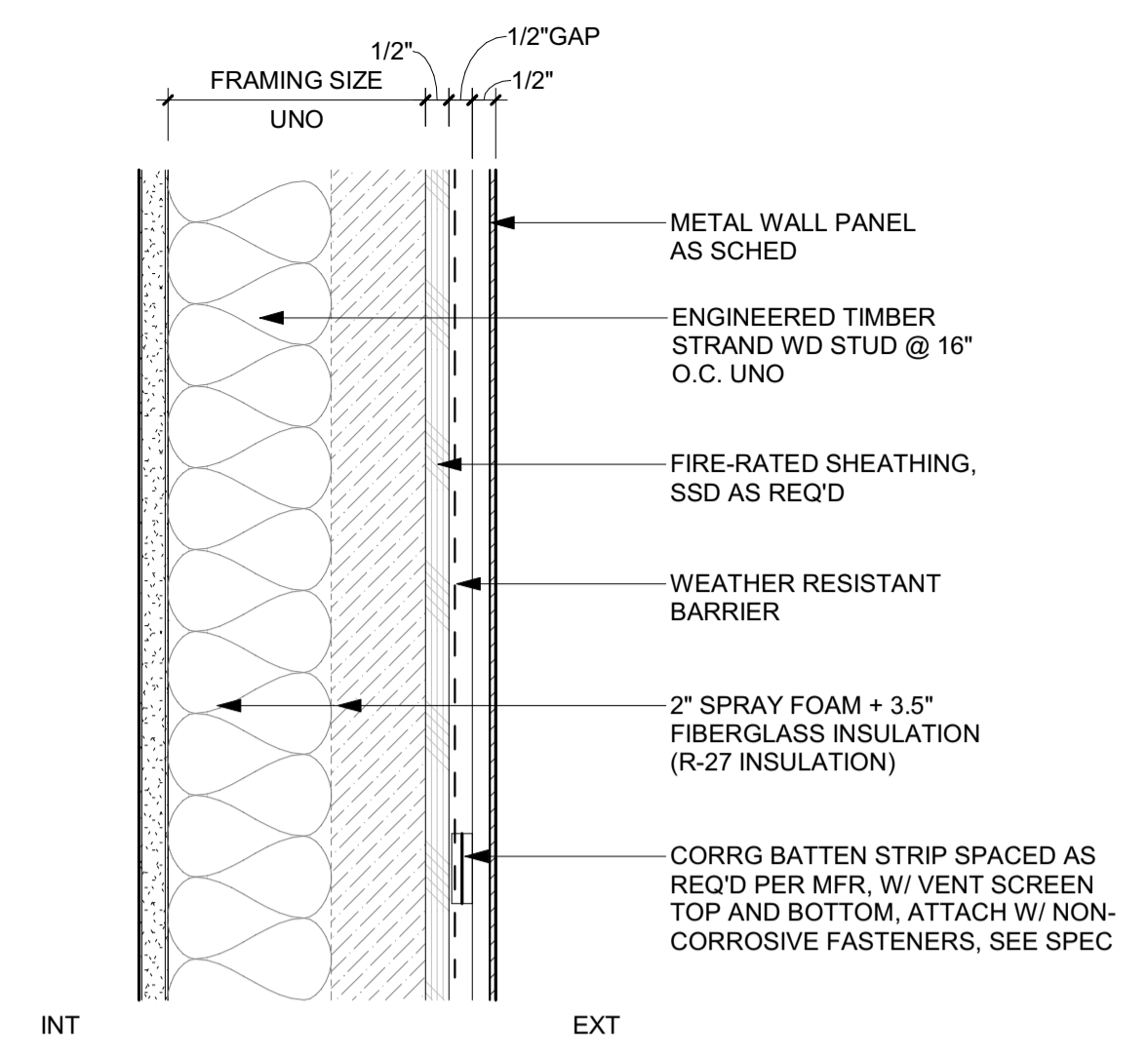
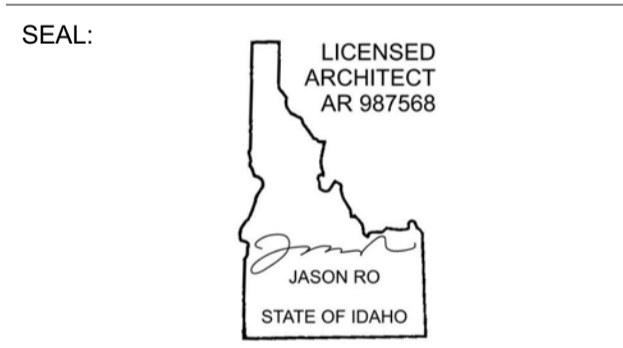
STRUCTURAL ENGINEER:  
**LFA**  
319 MAIN STREET  
EL SEGUNDO, CA 90245  
TEL: 213.239.9700

MEP ENGINEER:  
**CES ENGINEERING SERVICES, LLC**  
1001 W OAK BUILDING B SUITE 107  
BOZEMAN, MT 59715  
TEL: 406.272.0352

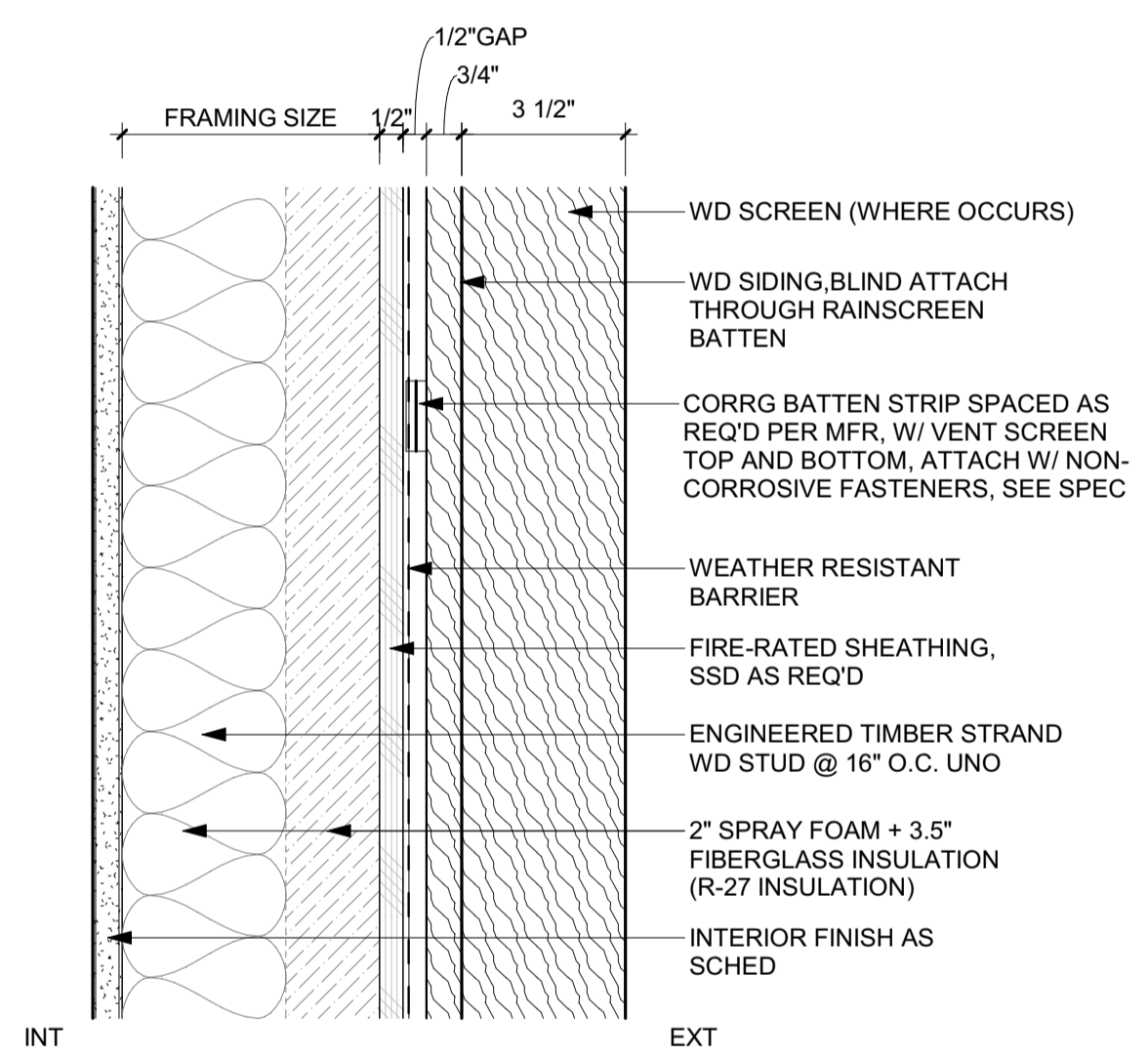
LIGHTING DESIGN CONSULTANT:  
**KGM ARCHITECTURAL LIGHTING**  
270 CORAL CIRCLE  
EL SEGUNDO, CA 90245  
TEL: 310.552.2191

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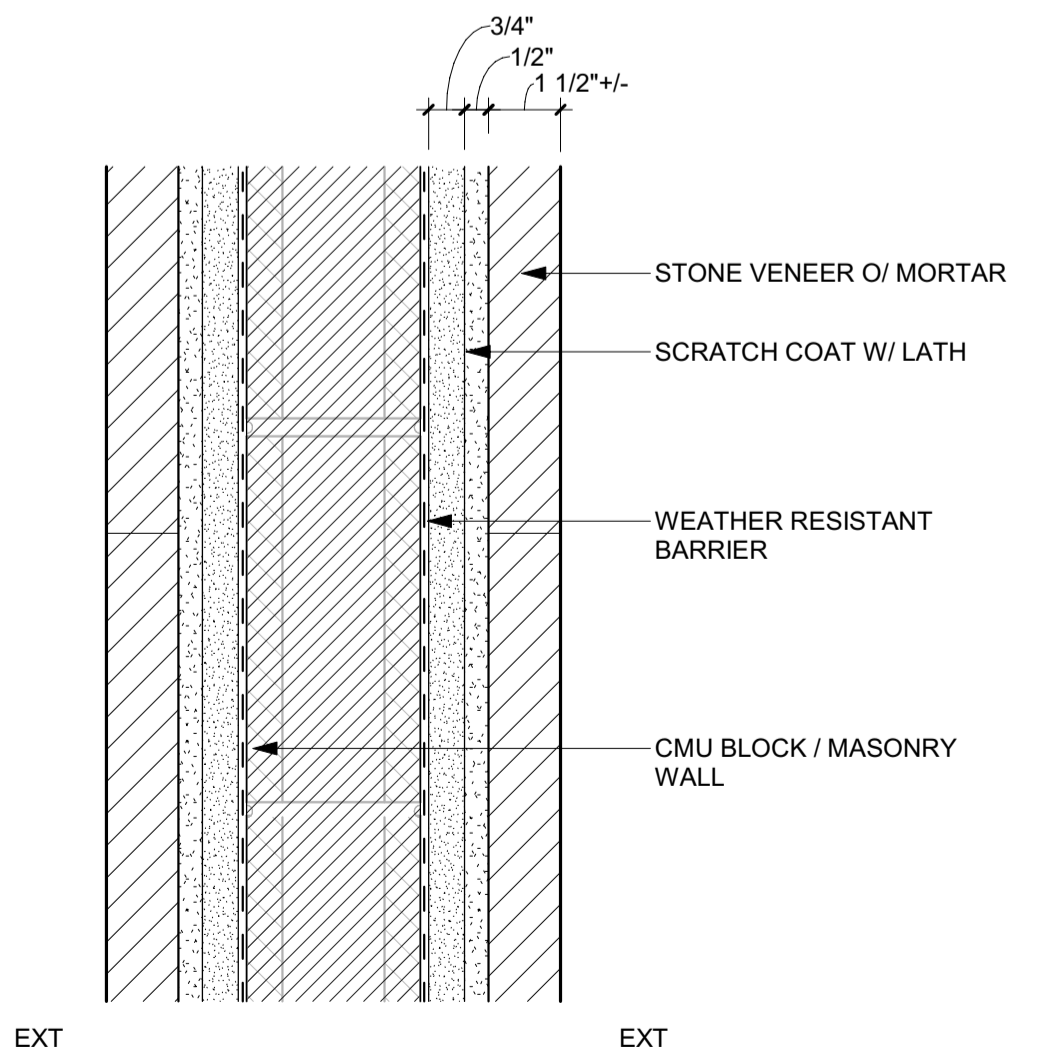
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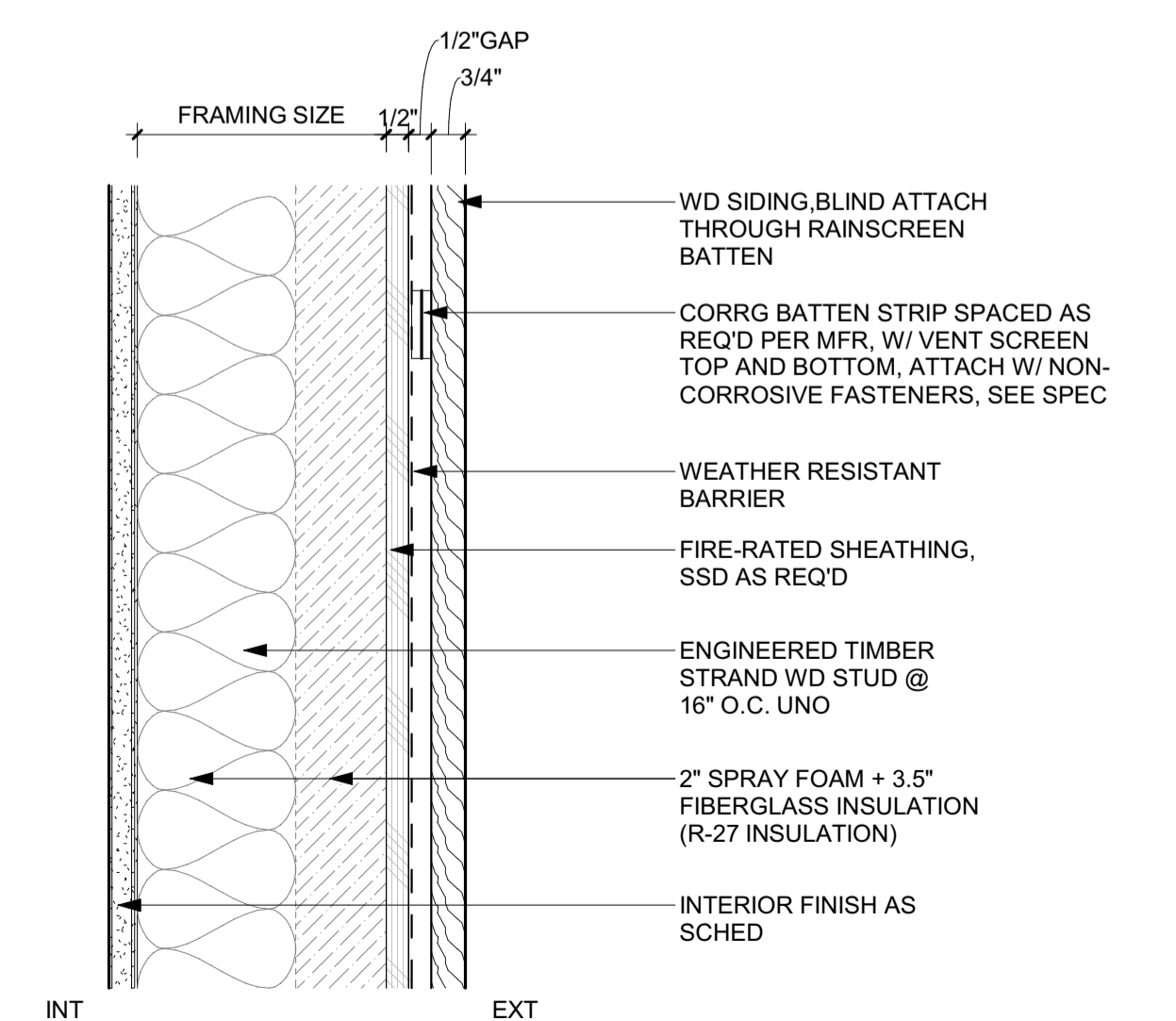
3 3" = 1'-0" WALL TYPE E-3-METAL RAINSCREEN



2 3" = 1'-0" WALL TYPE E-2-EXTERIOR WOOD RAINSCREEN (W/ WD SLATS)



4 3" = 1'-0" WALL TYPE E-4-STONE VENEER / SITE WALLS



1 3" = 1'-0" WALL TYPE E-1-EXTERIOR WOOD RAINSCREEN

0	02.28.23	BUILDING PERMIT
NO	DATE	ISSUE

PROJECT:  
**BADGER RESIDENCE**  
121 BADGER LANE  
KETCHUM, ID 83340

PROJECT NUMBER:  
**#2201**

DRAWING TITLE:  
**EXTERIOR WALL ASSEMBLY TYPES**

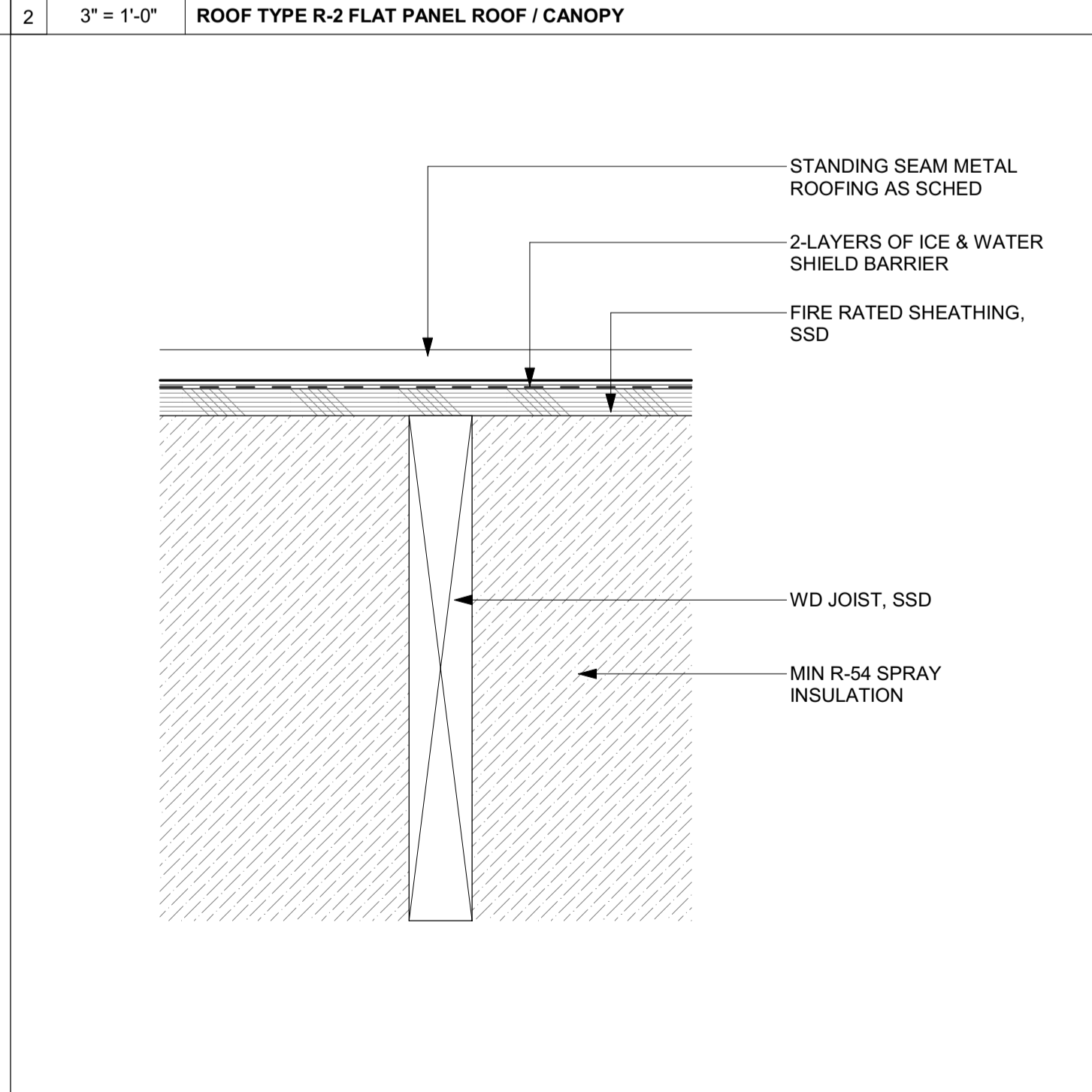
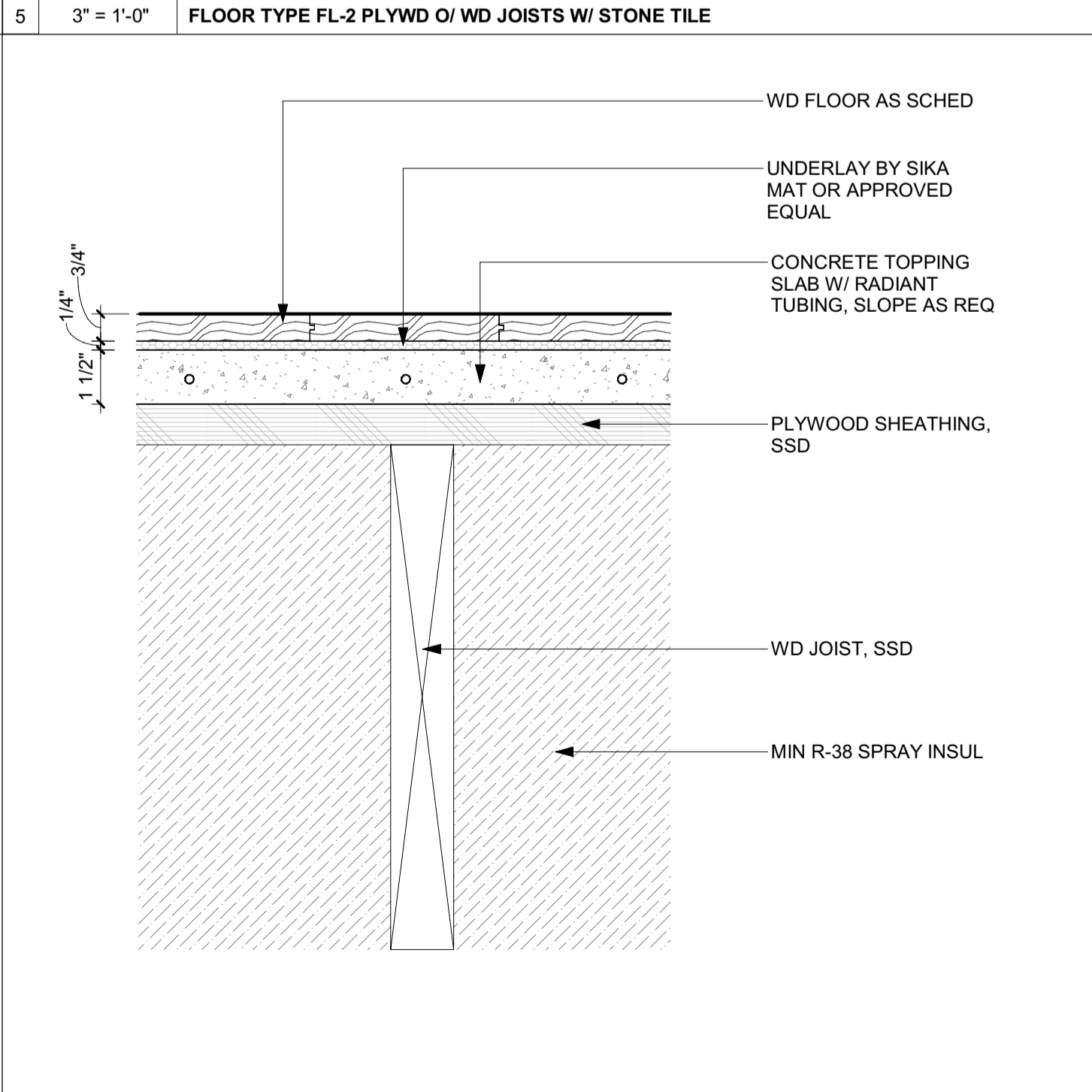
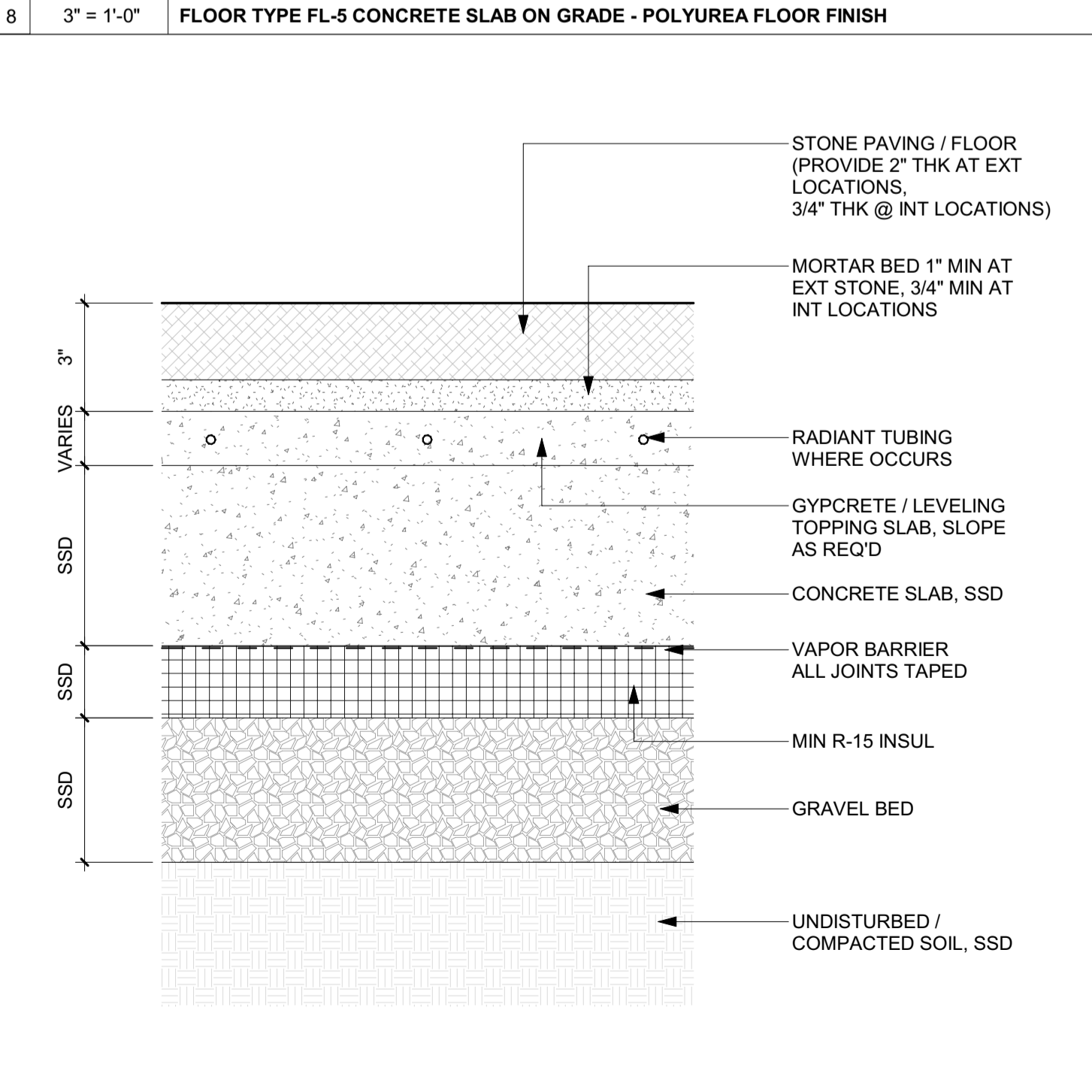
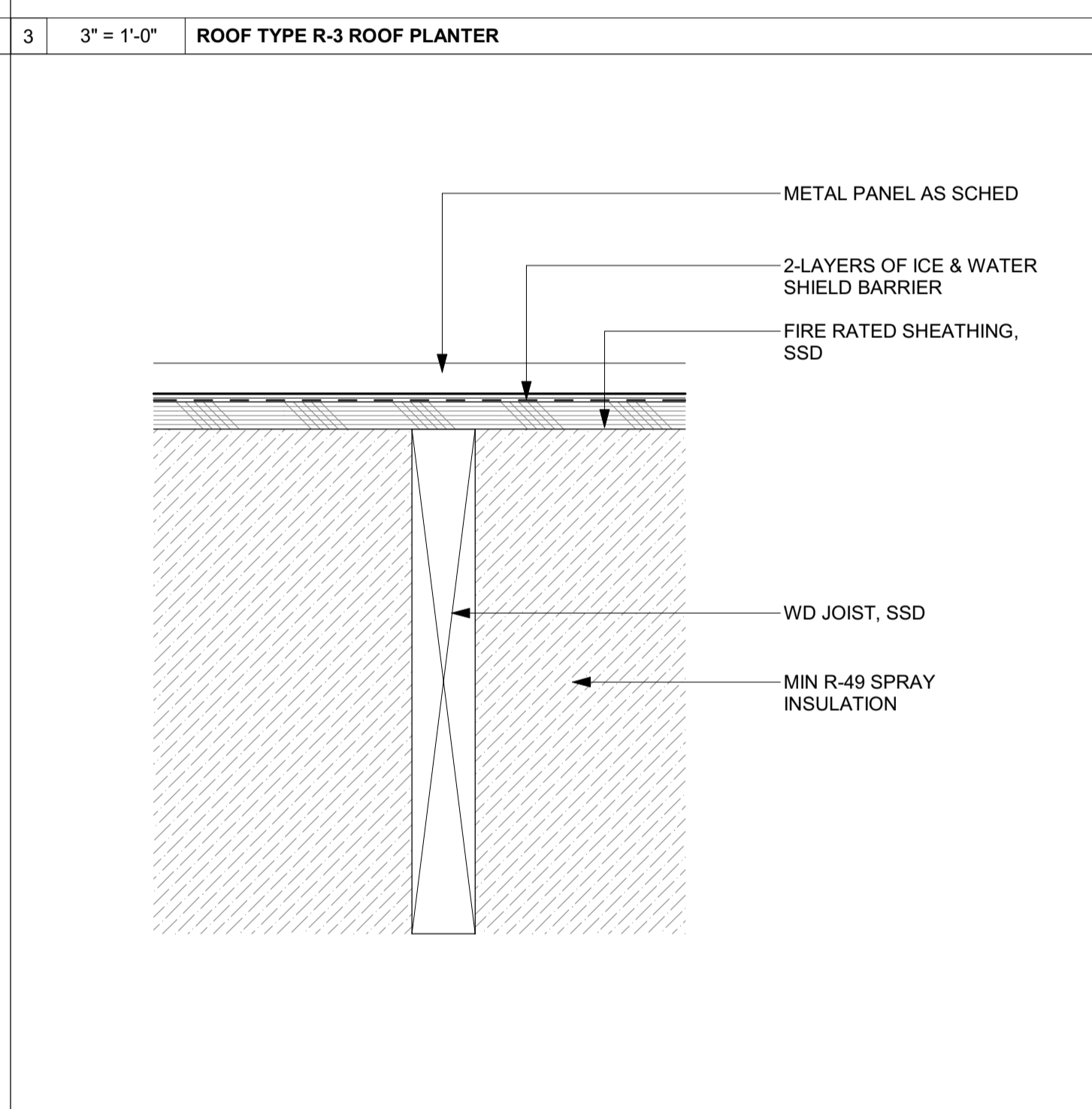
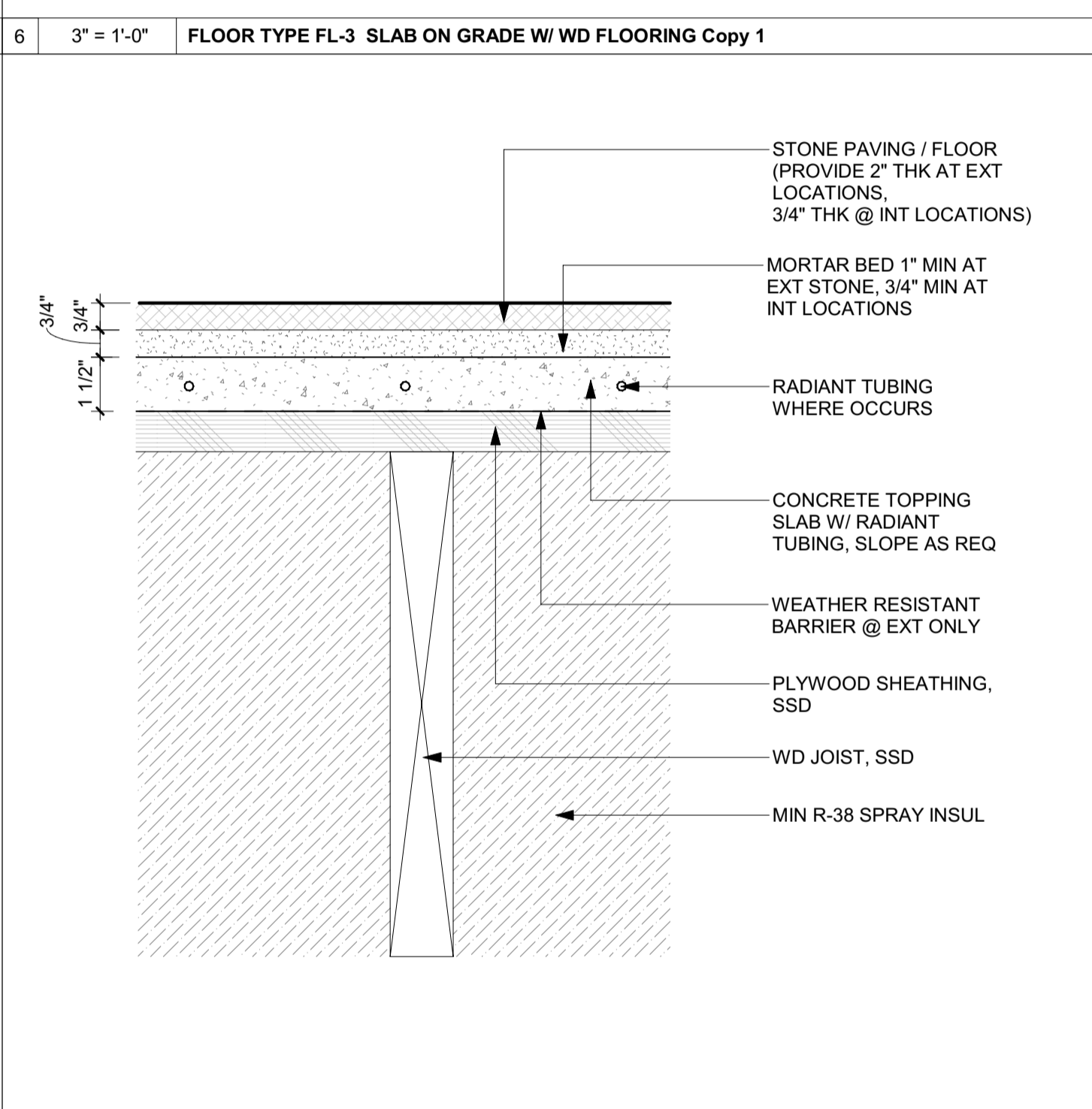
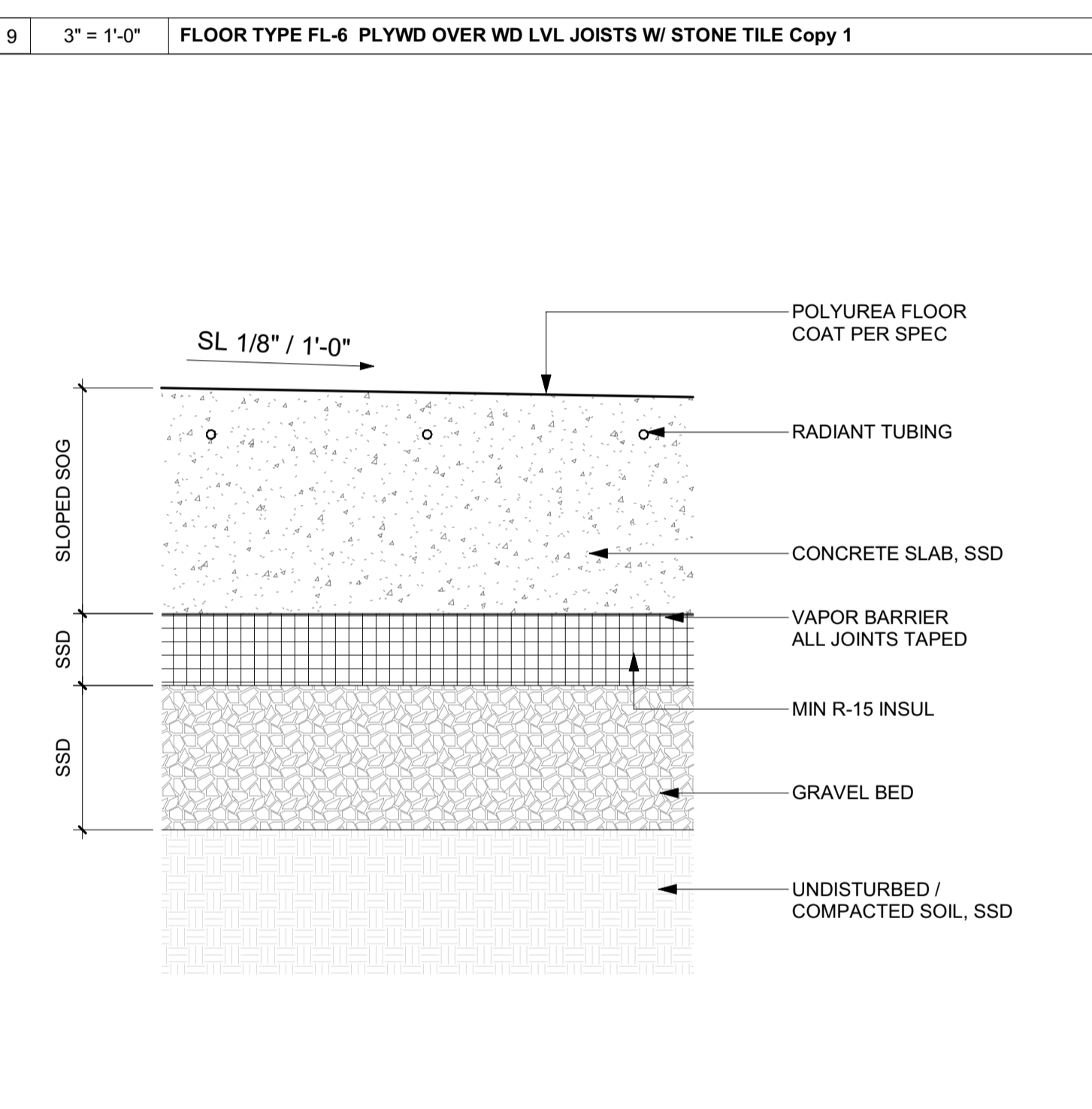
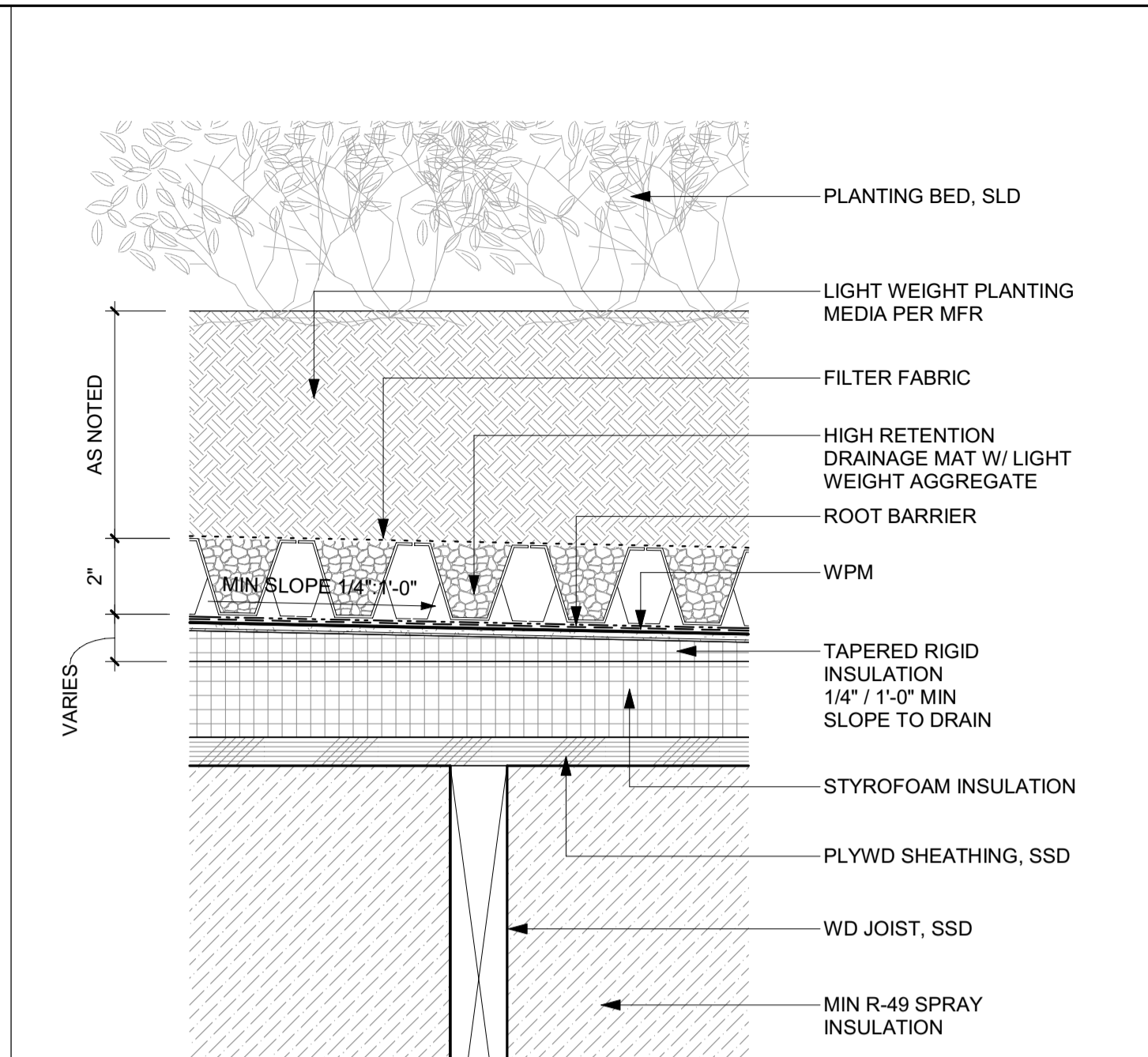
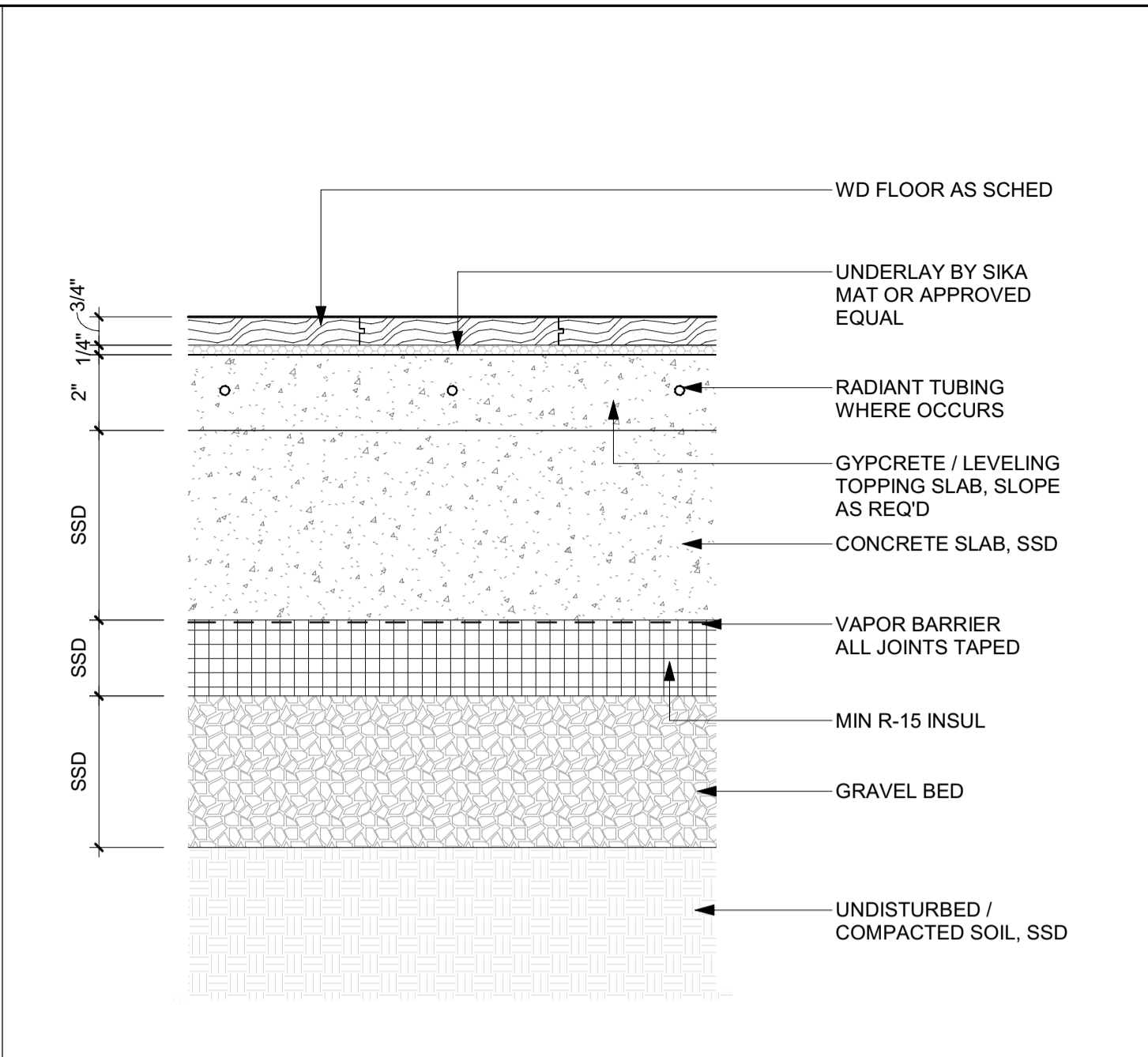
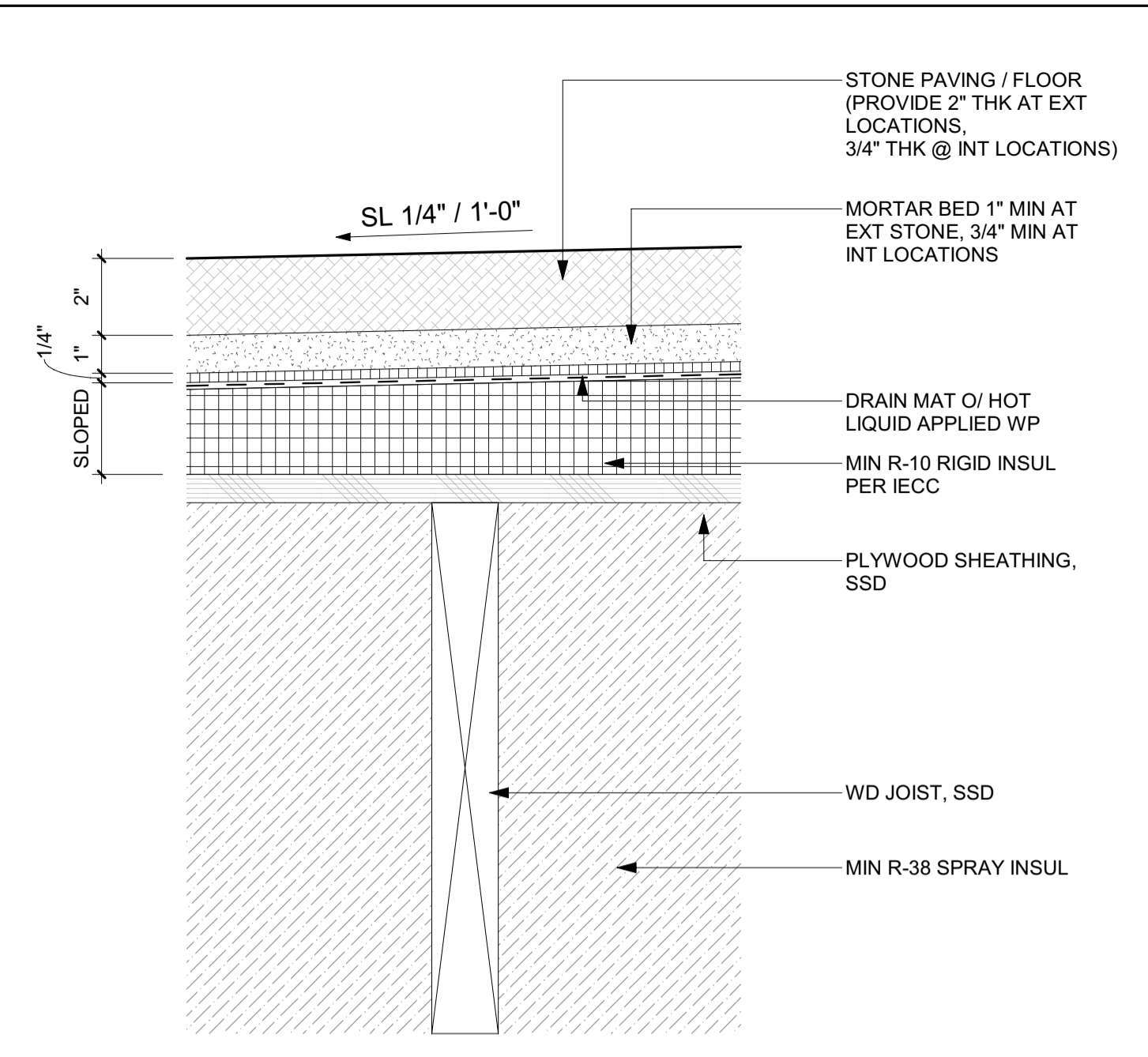
DRAWING NUMBER:  
**G-200**





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**BLD2303-00021**  
06/26/23



7 3" = 1'-0" FLOOR TYPE FL-4 SLAB ON GRADE W/ STONE TILE Copy 1

4 3" = 1'-0" FLOOR TYPE FL-1 PLYWD O/ WD JOISTS W WD FLOOR

1 3" = 1'-0" ROOF TYPE R-1 STANDING SEAM ROOF

**BADGER RESIDENCE**

OWNER:  
**121 BADGER LANE LLC**  
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2018 WASHINGTON ST NORTH, SUITE 4  
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SEAL:  
L  
JASON RO  
STATE OF IDAHO

0	02.28.23	BUILDING PERMIT
NO	DATE	ISSUE

PROJECT:  
**BADGER RESIDENCE**  
121 BADGER LANE  
KETCHUM, ID 83340

PROJECT NUMBER:  
**#2201**

DRAWING TITLE:  
**ROOF AND FLOOR ASSEMBLY TYPES**

DRAWING NUMBER:  
**G-201**

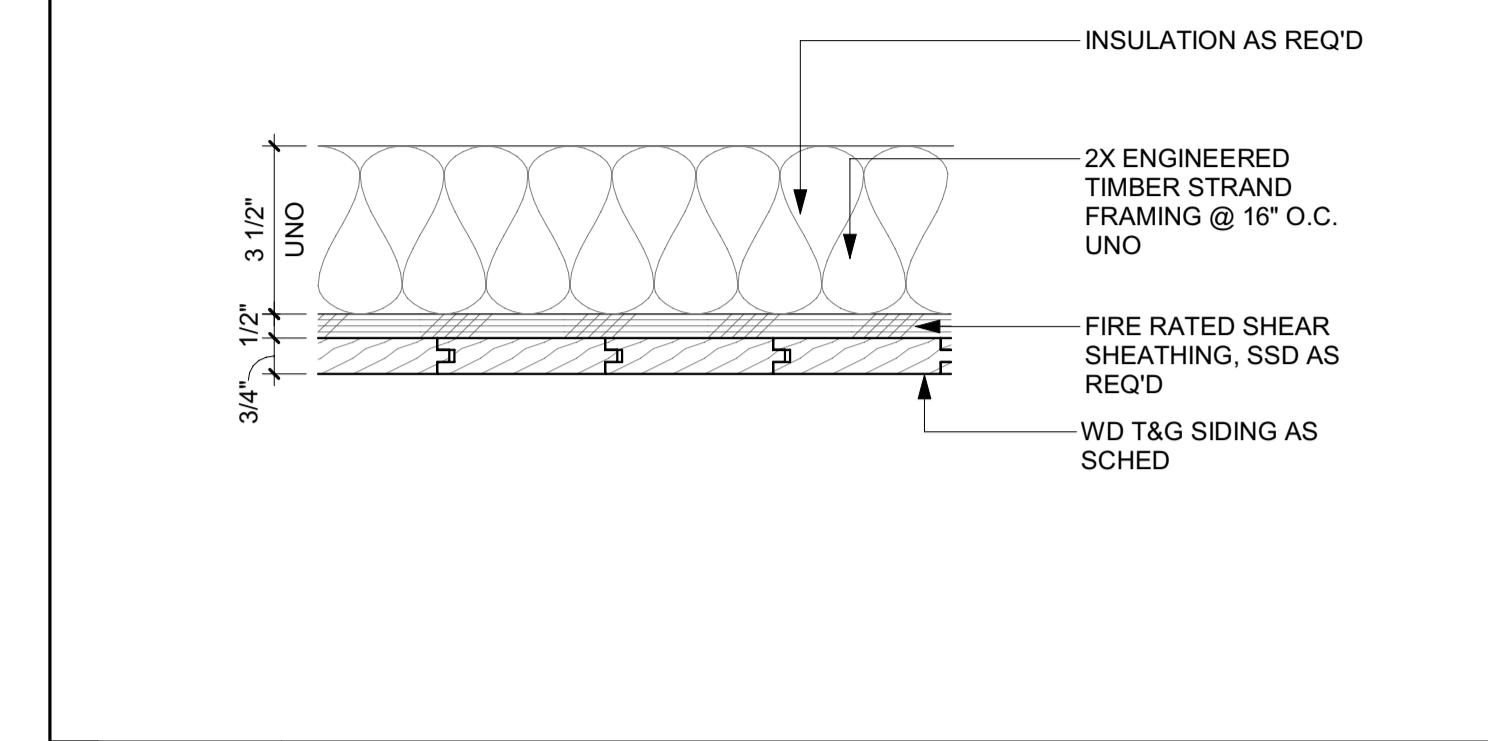


Approved

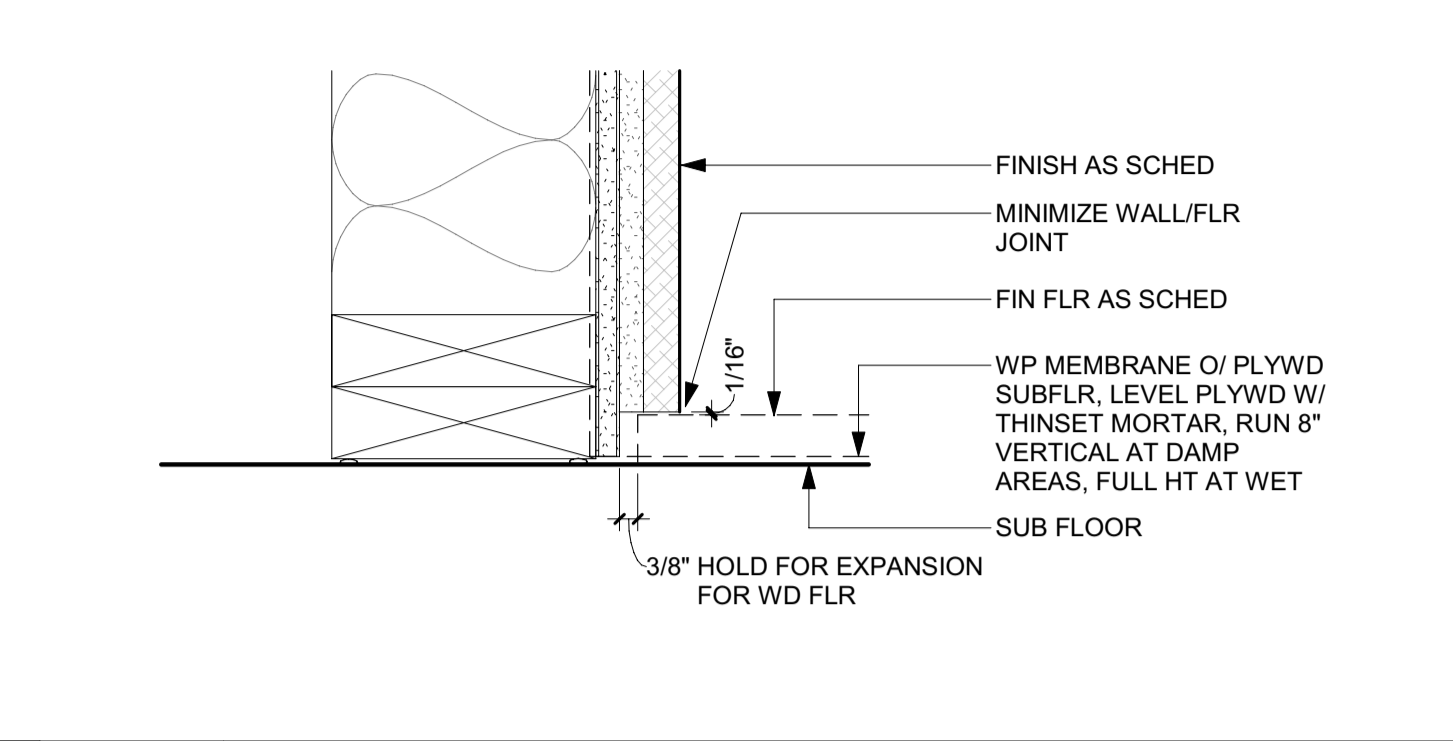
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BLD2303-00021  
06/26/23

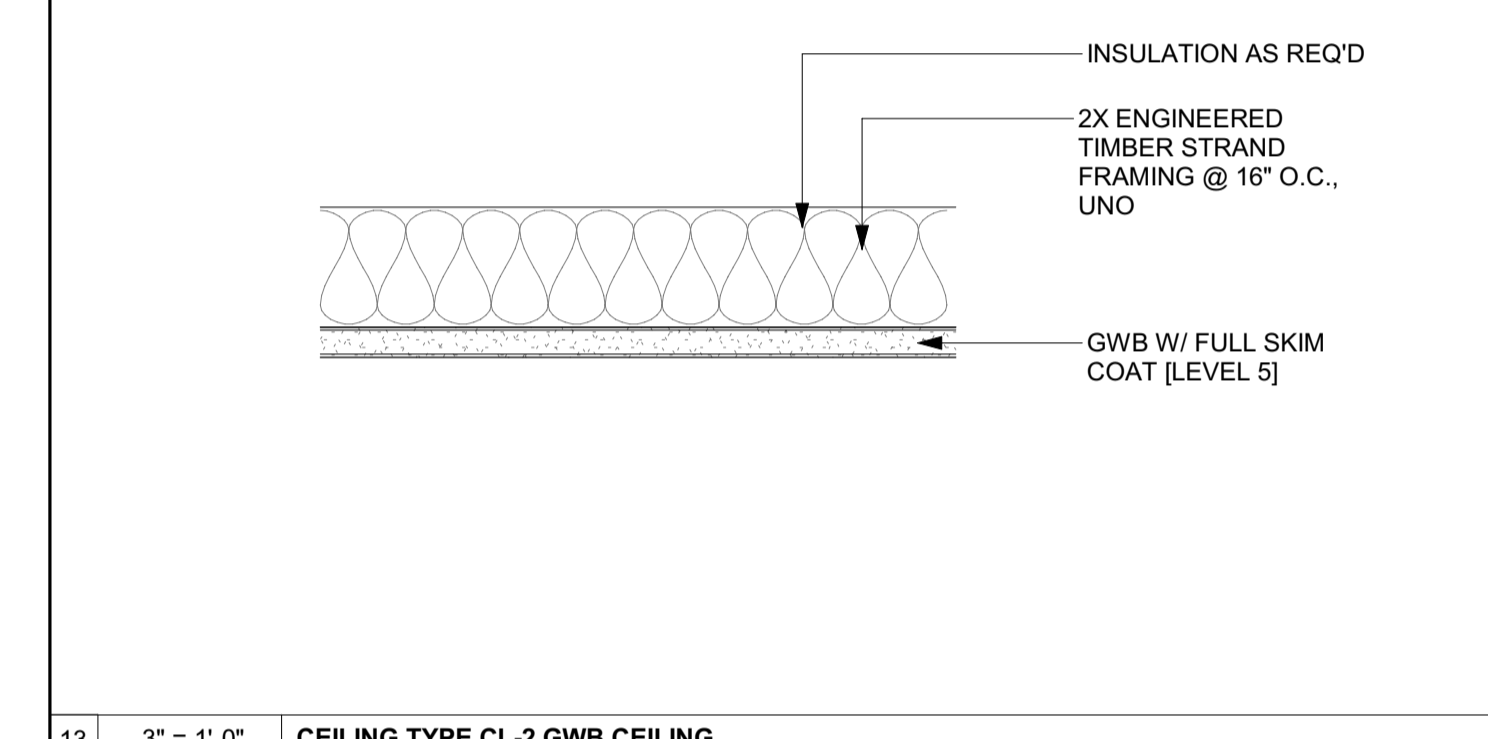
2/2/25



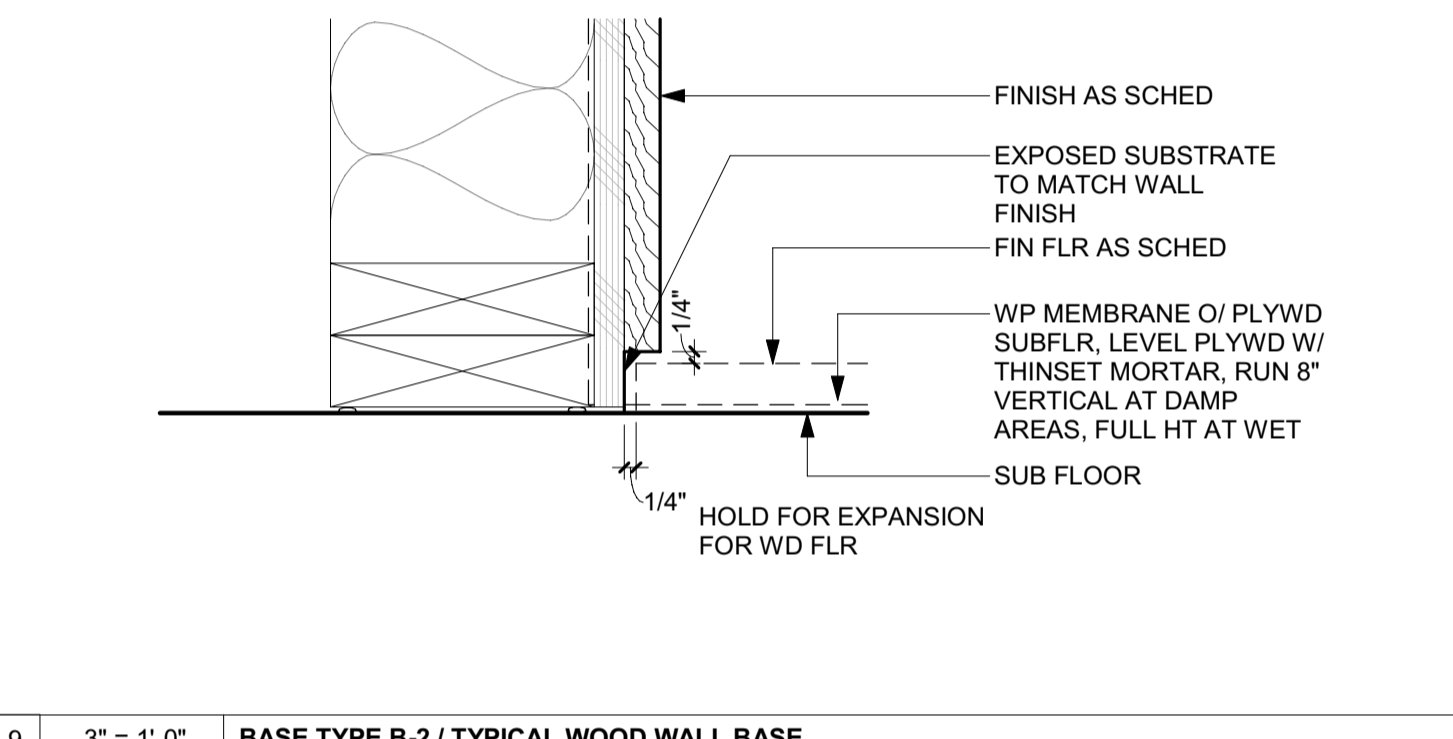
14 3" = 1'-0" CEILING TYPE CL-3 WOOD CEILING



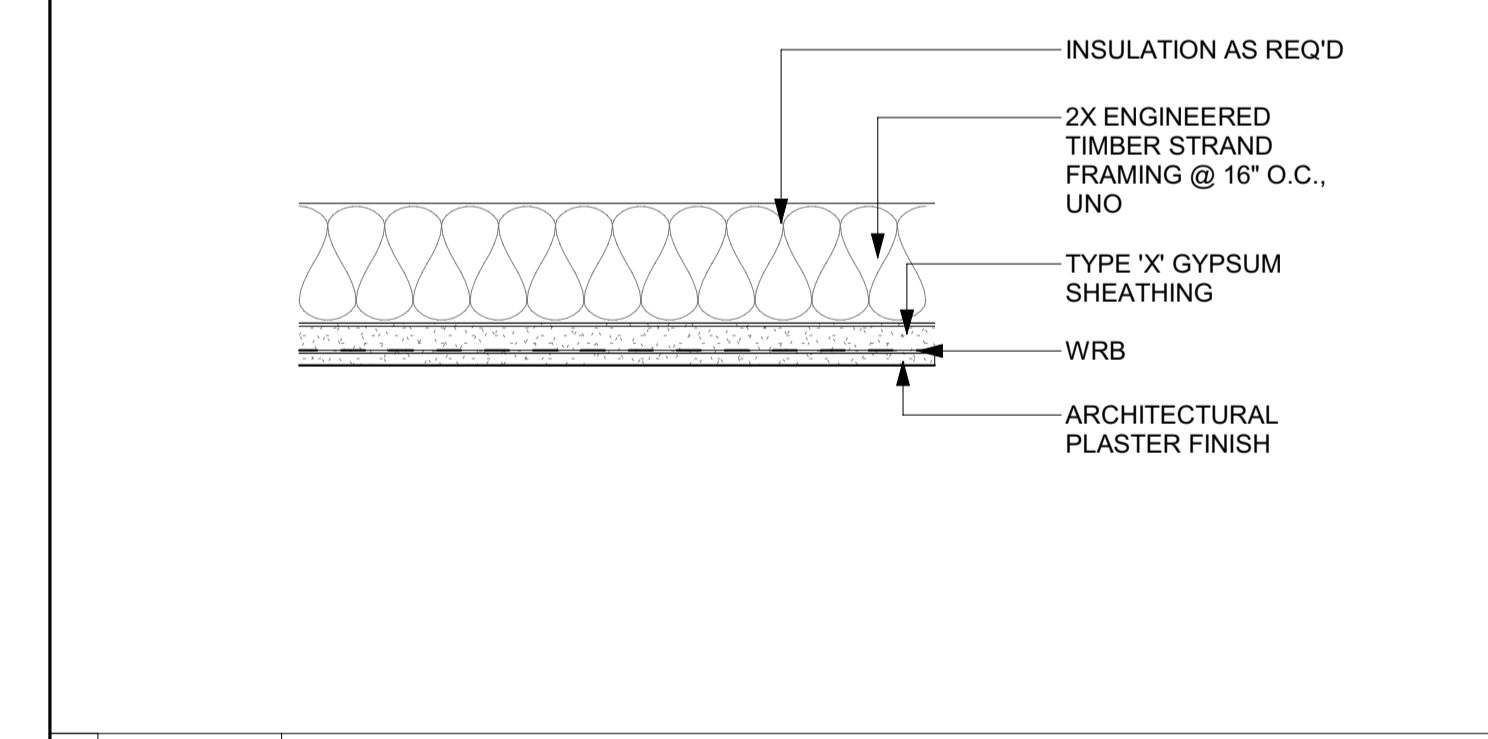
10 3" = 1'-0" BASE TYPE B-3 / TYPICAL STONE WALL BASE



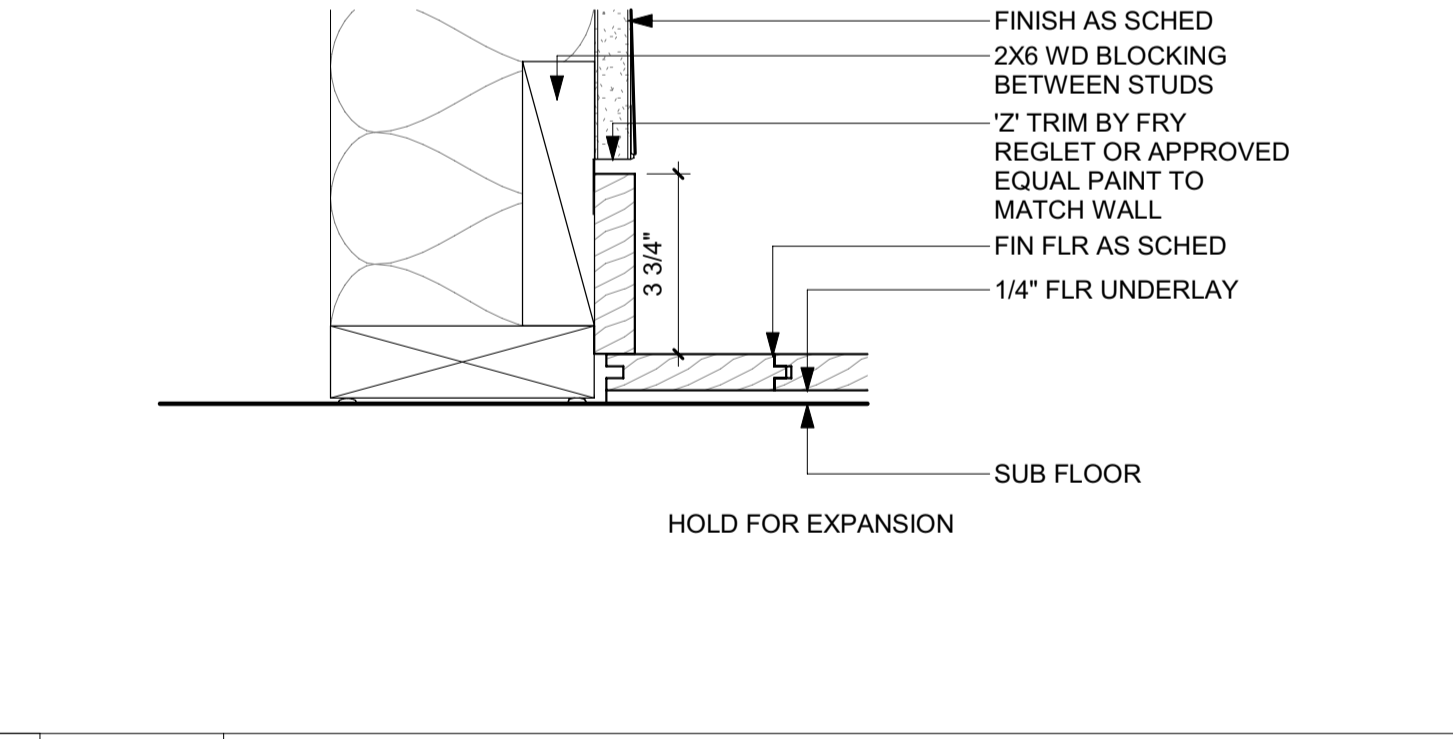
13 3" = 1'-0" CEILING TYPE CL-2 GWB CEILING



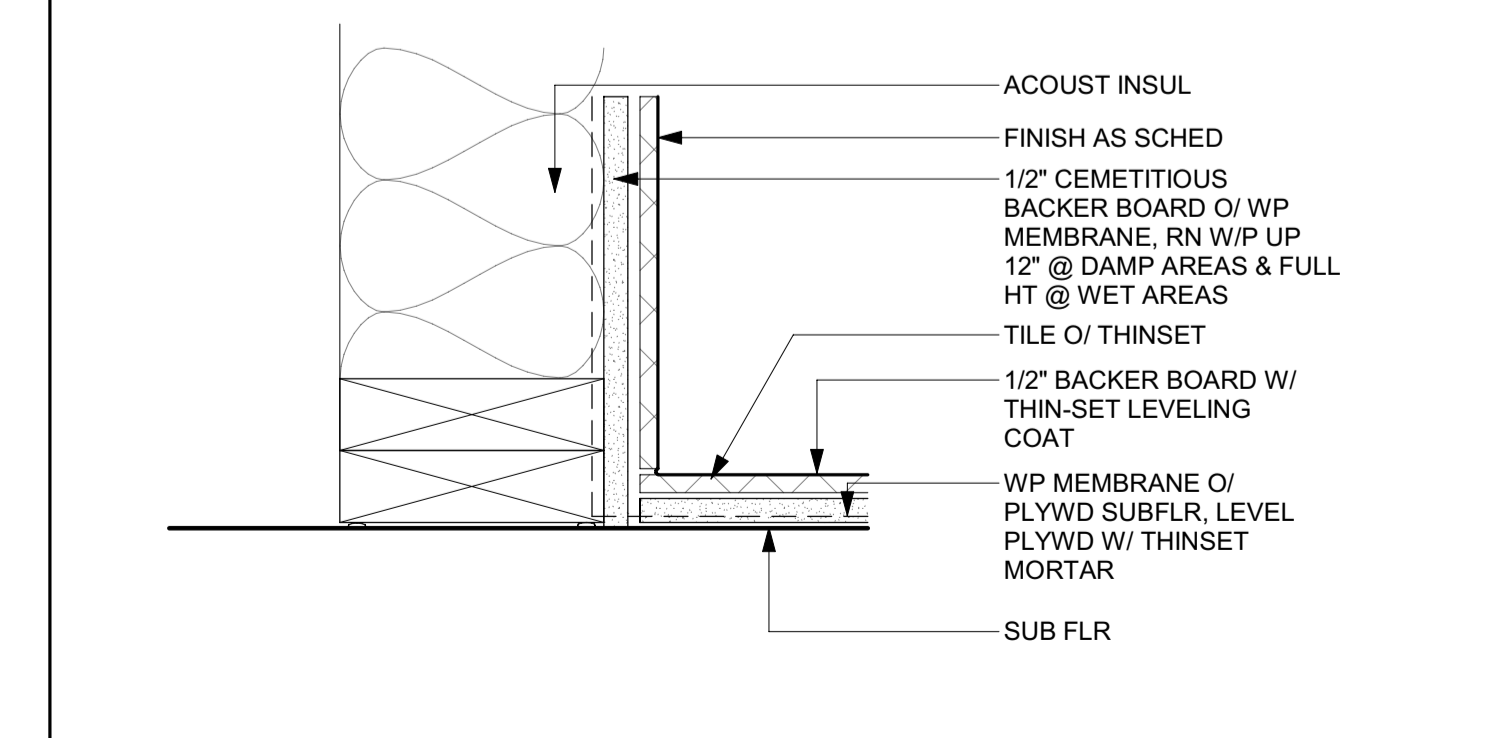
9 3" = 1'-0" BASE TYPE B-2 / TYPICAL WOOD WALL BASE



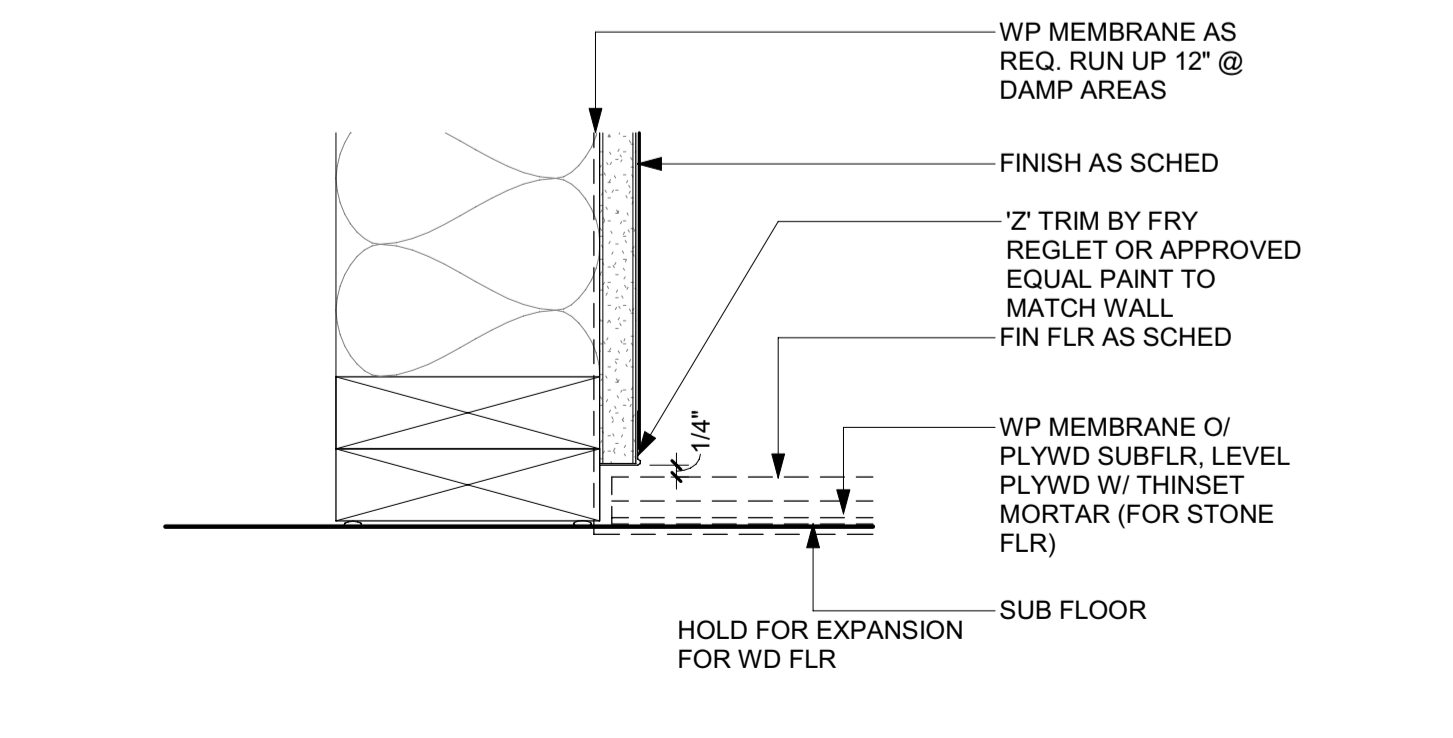
12 3" = 1'-0" CEILING TYPE CL-1 PLASTER CEILING



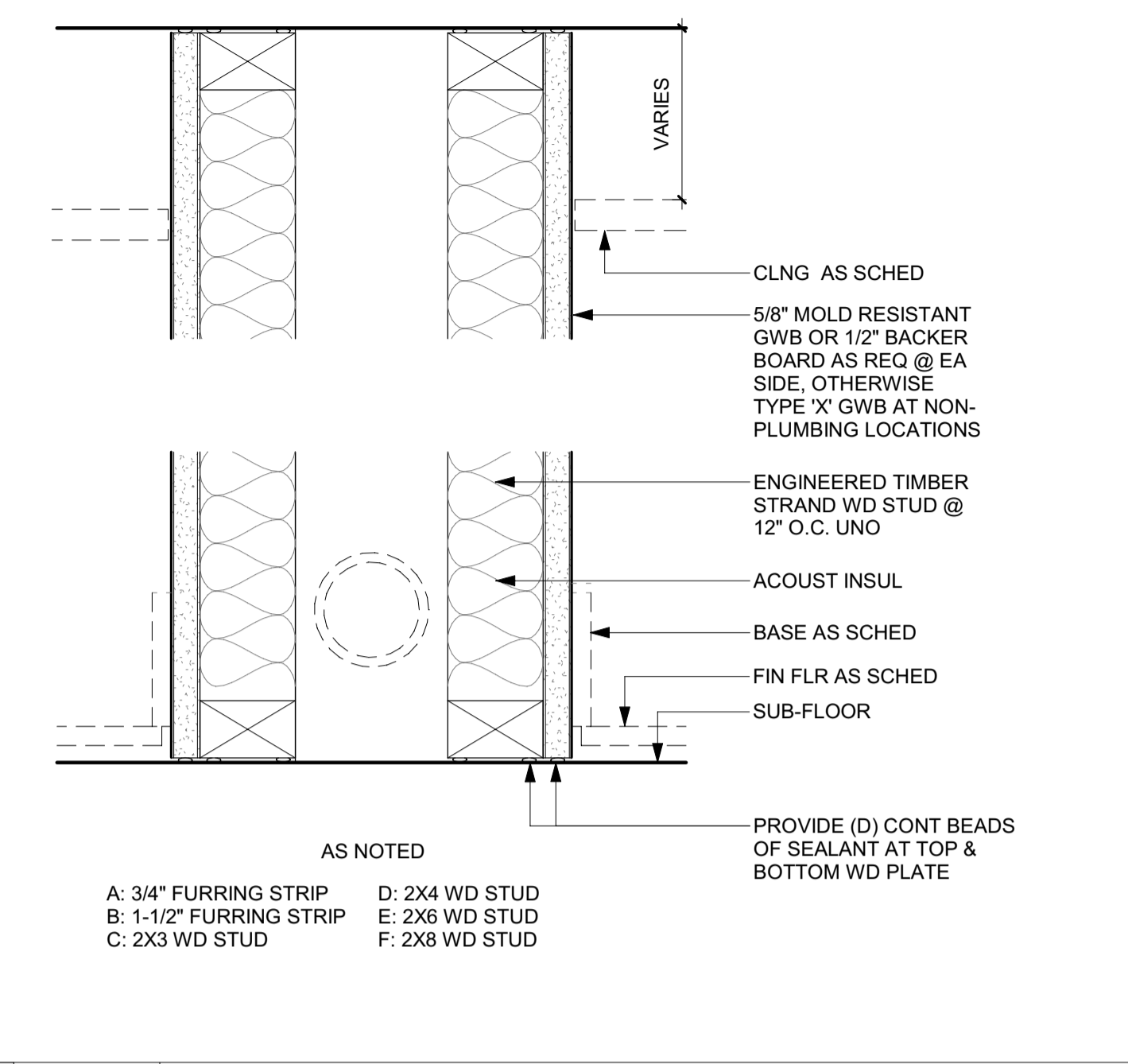
8 3" = 1'-0" BASE TYPE B-2 TYP DTL/REVEAL BASE @ WOOD FLR



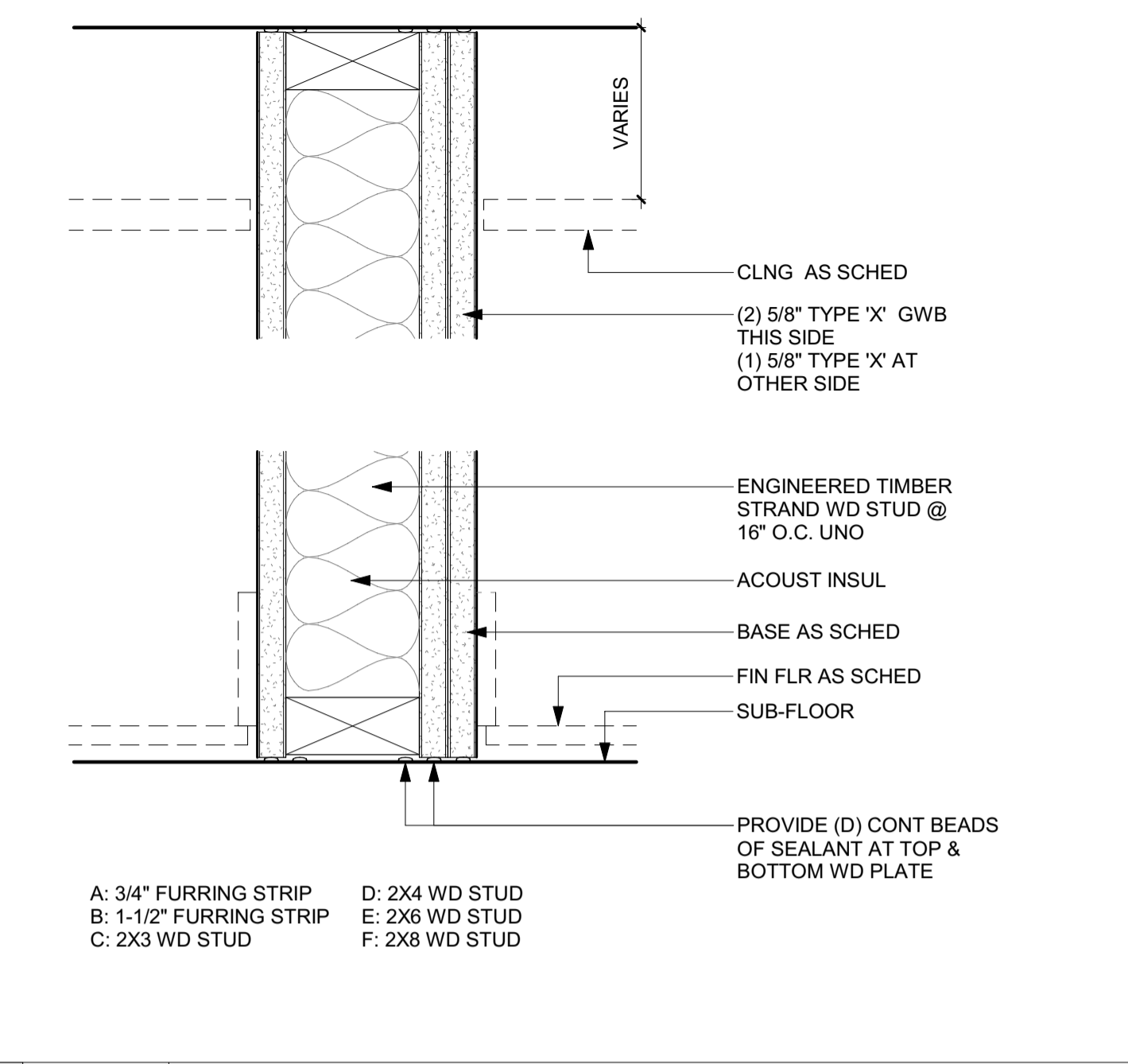
11 3" = 1'-0" BASE TYPE B-4 DTL/STONE BASE



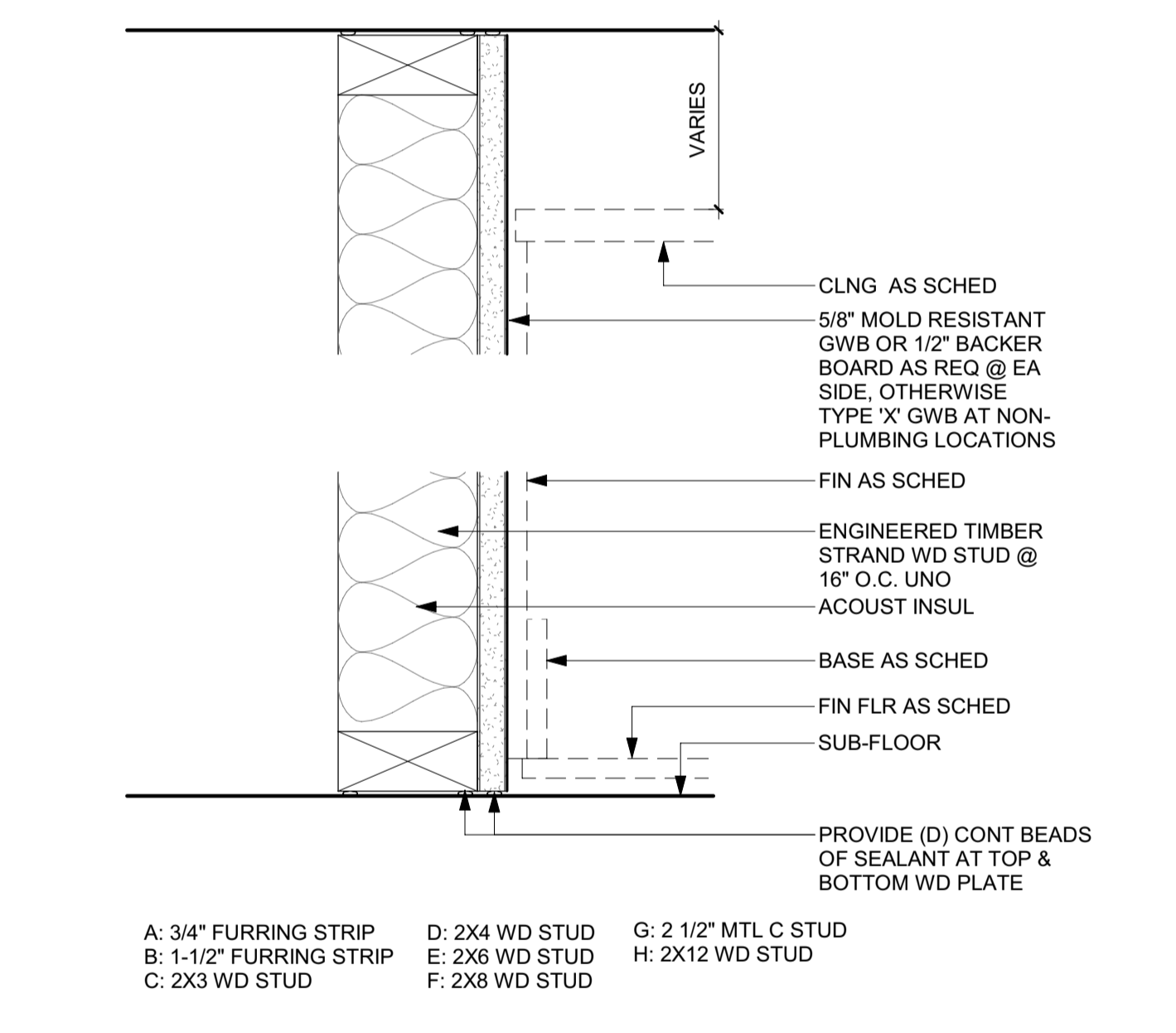
7 3" = 1'-0" BASE TYPE B-1 TYP DTL/REVEAL BASE



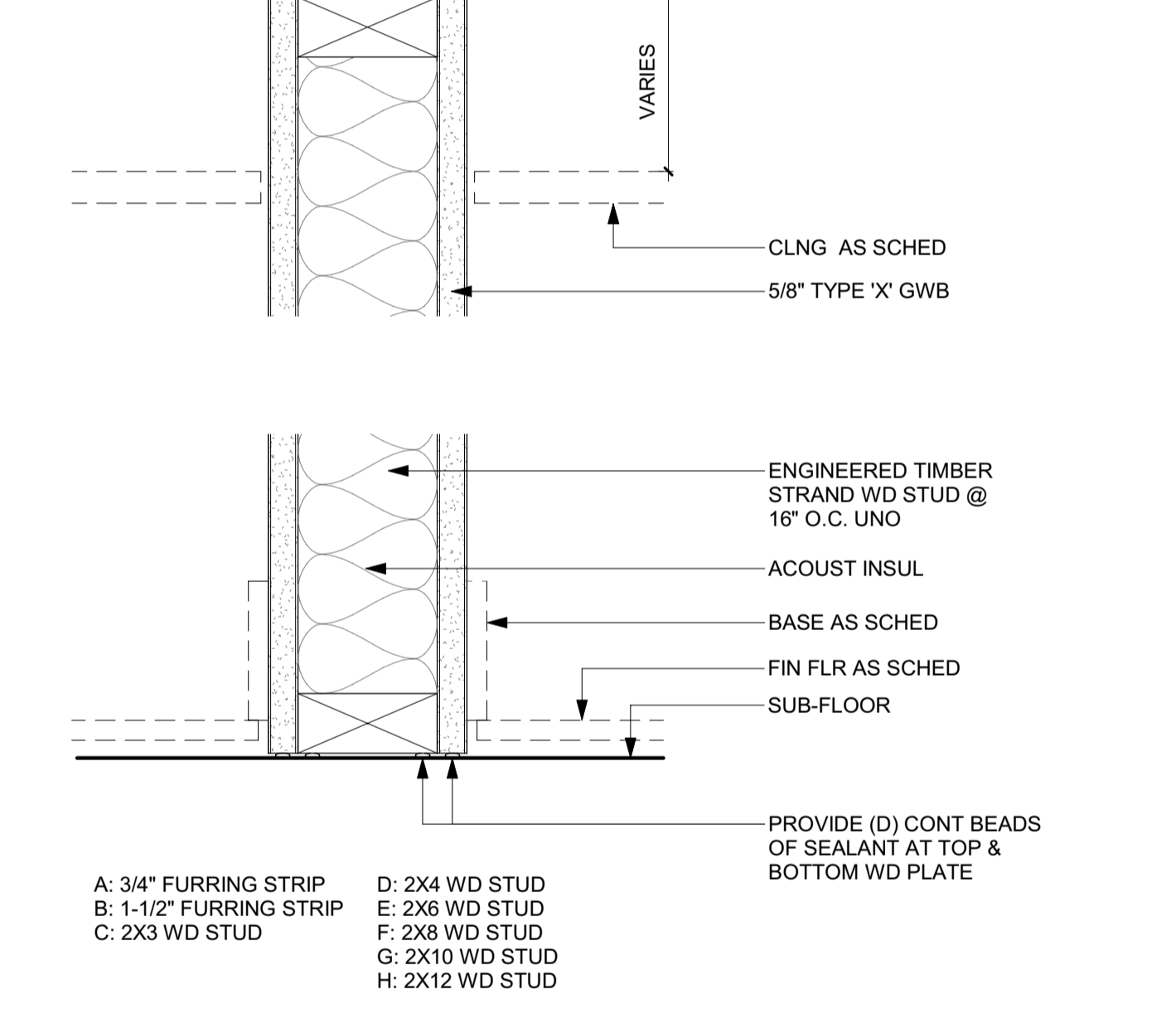
6 3" = 1'-0" WALL TYPE C2-UNRATED CHASE WALL



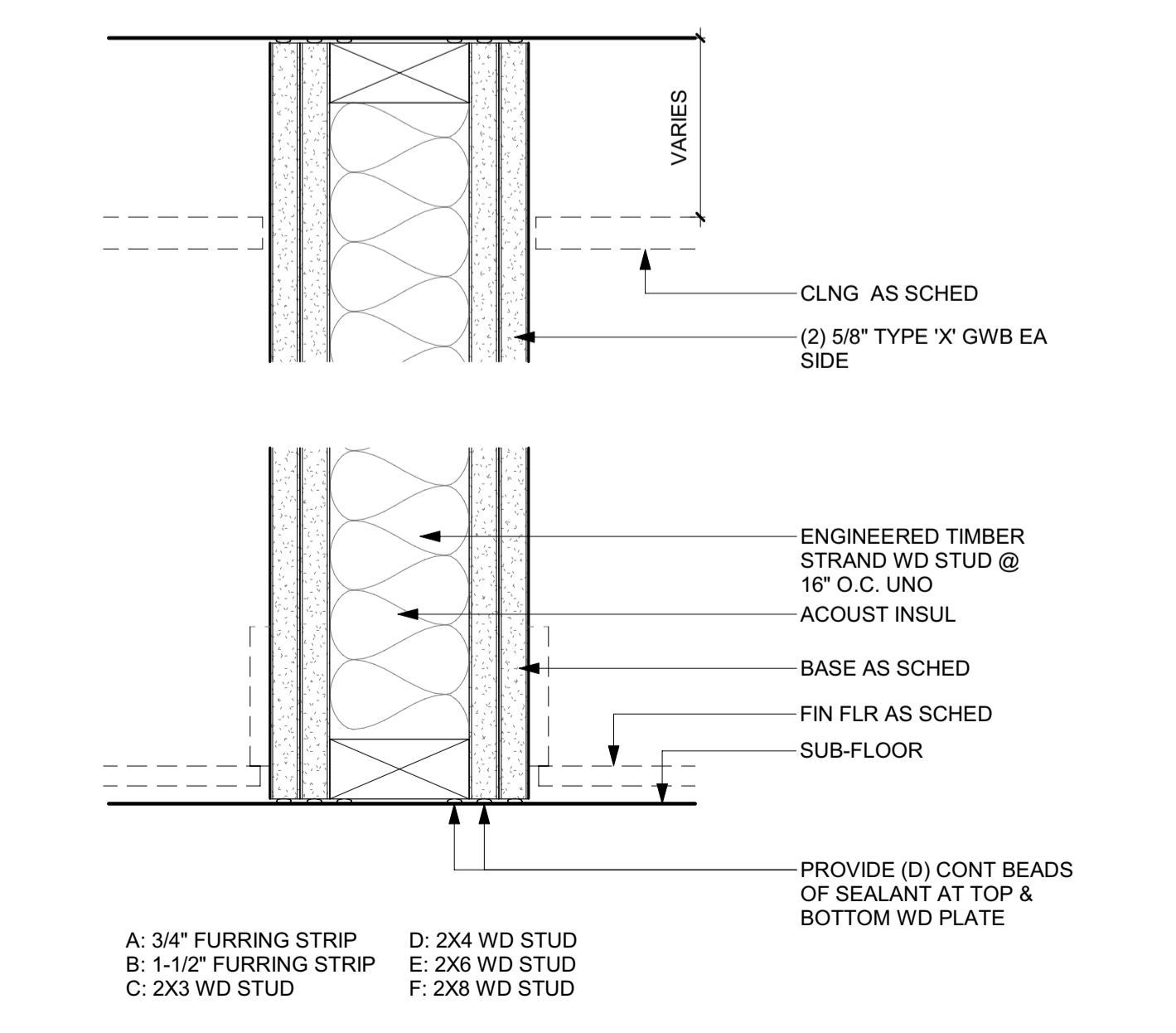
3 3" = 1'-0" WALL TYPE W3-UNRATED FURRED GWB WALL



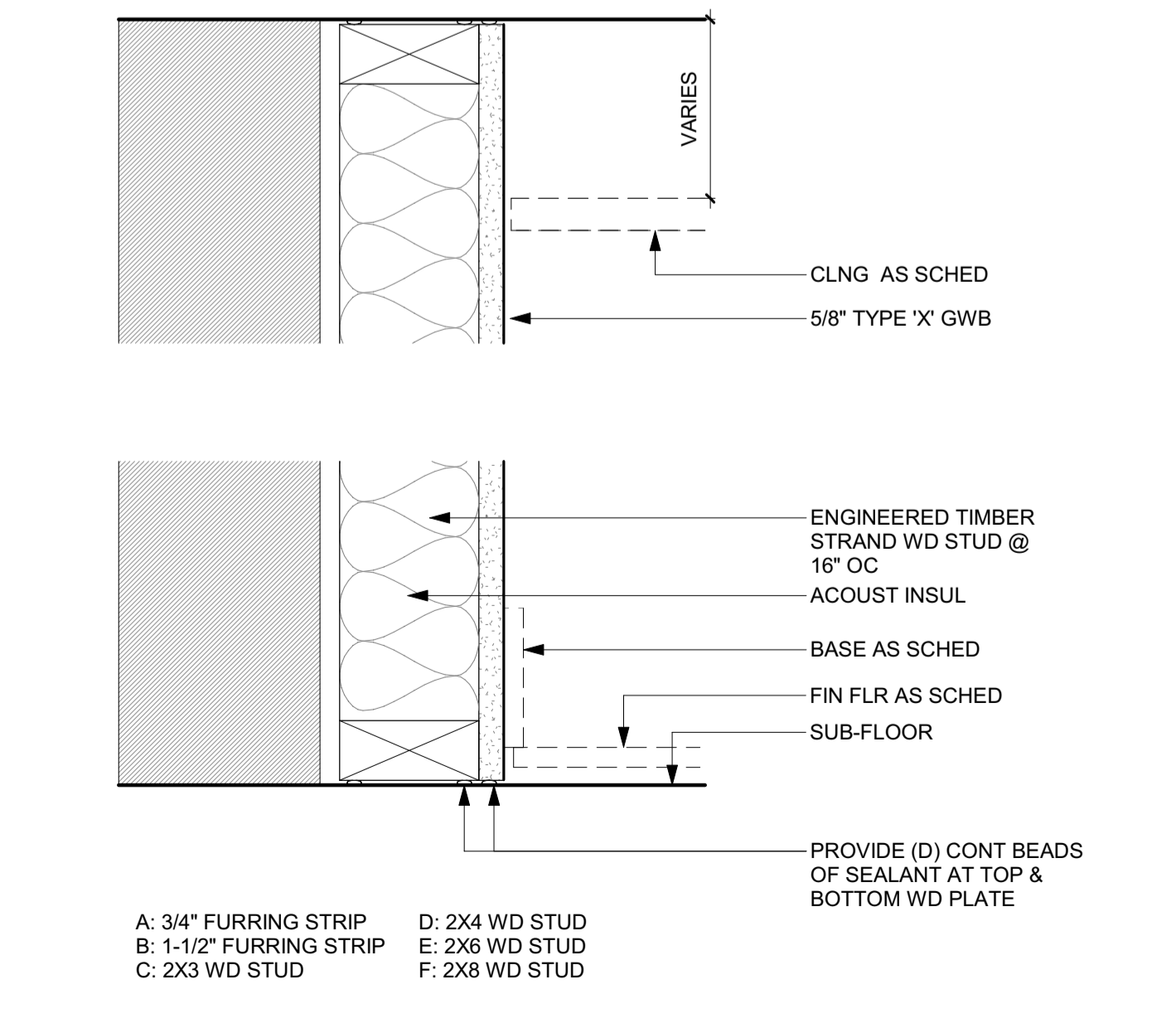
5 3" = 1'-0" WALL TYPE C1-UNRATED CHASE WALL



2 3" = 1'-0" WALL TYPE W2-1 HR RATED GWB WALL / UL 344



4 3" = 1'-0" WALL TYPE W4-UNRATED FURRED GWB WALL



1 3" = 1'-0" WALL TYPE W1-UNRATED FURRED GWB WALL

**BADGER RESIDENCE**

OWNER:  
121 BADGER LANE LLC  
P.O. BOX 14001-174  
KETCHUM, ID 83340

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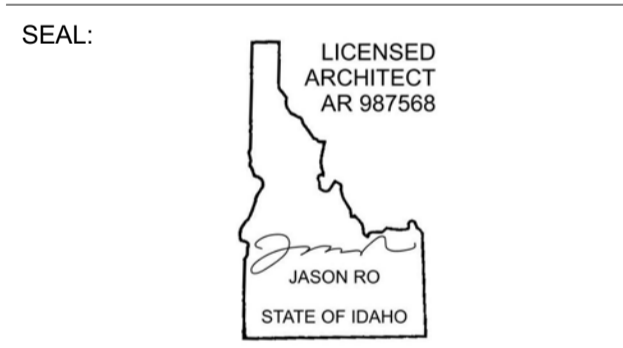
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0	02.28.23	BUILDING PERMIT
NO	DATE	ISSUE

PROJECT:  
**BADGER RESIDENCE**  
121 BADGER LANE  
KETCHUM, ID 83340

PROJECT NUMBER  
**#2201**

DRAWING TITLE:  
**INTERIOR WALL AND CEILING ASSEMBLY TYPES**

DRAWING NUMBER:  
**G-202**



**APPROVED**  
 These plans have been found to be in substantial compliance of the adopted building codes. These documents are approved contingent on compliance with the mark-ups, notes, and conditions of approval applied. This is not approval of any violation of any code, ordinance, statute or regulation. Corrections will be required for code violations found during the inspection process.

**LEGAL DESCRIPTION:**  
 PARCEL 4, ROCKING RANCH SUB #2 (LOCATED WITHIN SECTION 13, T.4 N., R.17 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO)

**ZONING DISTRICT:** LR

**FLOODPLAIN ZONE:** AE

**PROPERTY SIZE:** 1.09 ACRES PER SURVEY (47,480 SF)

**SITE PLAN NOTES:**

- ELEVATION: 100'-0" = 5788'-6"
- SEE LANDSCAPE DRAWINGS FOR (E) AND (N) TREE LOCATIONS
- SEE LANDSCAPE DRAWINGS FOR DRIVEWAY LAYOUT, PROFILE & SITE DRAINAGE INFORMATION
- SEE ROOF PLAN FOR MORE ROOF INFORMATION
- SEE G-010 & G-011 FOR SITE COVERAGE AND HEIGHT CALCULATIONS
- SEE CONSTRUCTION ACTIVITY PLAN FOR ALL STAGING INFORMATION

**BADGER RESIDENCE**

**OWNER:**  
 121 BADGER LANE LLC  
 P.O. BOX 14001-174  
 KETCHUM, ID 83340

**PROJECT ARCHITECT:**  
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**SURVEYOR:**  
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 TWIN FALLS, ID 83301  
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**MEP ENGINEER:**  
 CES ENGINEERING SERVICES, LLC  
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 BOZEMAN, MT 59715  
 TEL: 406.272.0352

**LIGHTING DESIGN CONSULTANT:**  
 KGM ARCHITECTURAL LIGHTING  
 270 CORAL CIRCLE  
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**WATERPROOFING CONSULTANT:**  
 WISS, JANNEY, ELSTNER ASSOCIATES, INC  
 3609 S WADSWORTH BLVD, SUITE 400  
 LAKEWOOD, CO 80235  
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**SEAL:**  
 LICENSED ARCHITECT  
 AR 987568  
 JASON RO  
 STATE OF IDAHO

5	02.12.24	100% CD SET REV
4	02.12.24	PERMIT MODIFICATION
3	08.04.23	100% CD SET
	02.28.23	BUILDING PERMIT SUBMITTAL
NO	DATE	ISSUE

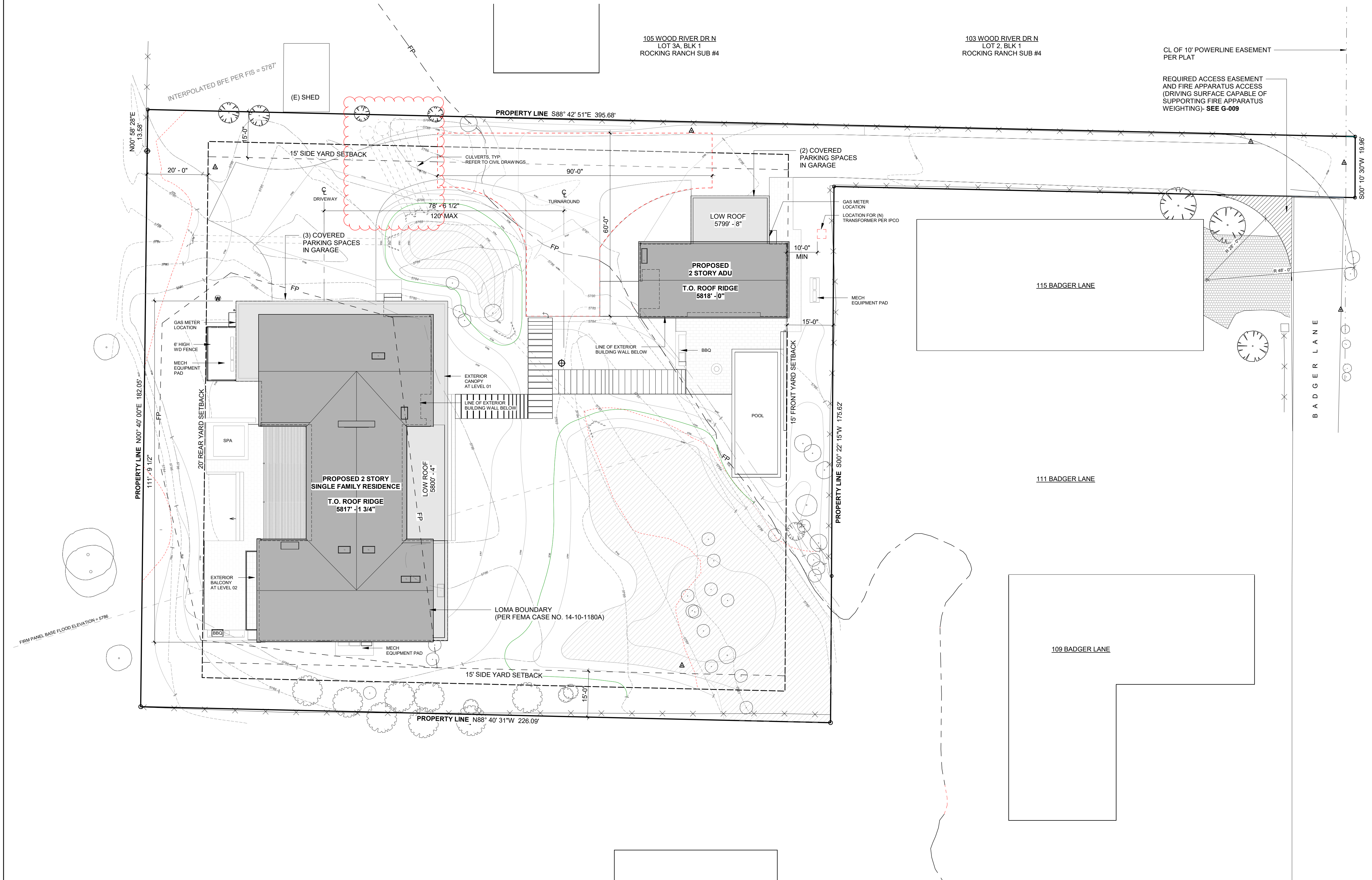
**PROJECT:**  
**BADGER RESIDENCE**  
 121 BADGER LANE  
 KETCHUM, ID 83340

**PROJECT NUMBER**  
**#2201**

**DRAWING TITLE:**  
**SITE PLAN**

**DRAWING NUMBER:**  
**A-100.1**

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**General Notes:**

- All neighbors with properties adjacent to the project shall be provided notice of the project, schedule and the general contractor's contact information in advance of construction.
- Trucks to be cleaned prior to leaving the site through mud removal to maintain clean city streets.
- Dust mitigation to be used by sprinkling the site during excavation when necessary.
- Vehicle parking is expected to be on the project site. "No parking" sign to be placed at the end of Badger Lane to ensure no parking occurs near the fire hydrant.
- Storage of temporary construction materials and tools will be on private property only and not in the right of way.
- Right of way will only be used to get access to the project site. No loading or unloading is expected to take place.
- See "Truck Route" picture demonstrating route to the job site from Main St.
- Site conditions to be cleaned and vegetated in accordance with the Landscape Plan once construction is completed.
- The general contractor is responsible for all subcontractors and will be held responsible for all aspects of the construction activity permit.
- Speed limits for construction vehicles shall be limited to 15 miles per hour within one block of a construction site, unless otherwise determined by the Ketchum Police Department.
- The job site shall be kept in a clean and orderly condition. Trash shall be picked up on the site and surrounding areas on a daily basis, and materials shall be stored in neat, tidy piles.
- Manholes may not be obstructed at any time. In addition, minimum three feet clear shall be maintained on back and sides of fire hydrants, and minimum 15 feet clear shall be maintained on the front, street side of fire hydrants.
- Contractor is responsible for snow removal. Snow will be stored on site outside of the right of way. If unable to store on site, it will be hauled away from the project.
- Mature trees will be protected and fenced at the drip line throughout construction.
- Wetlands to remain undisturbed during construction. Silt fencing to be placed along wetland borders to ensure material and equipment will not enter into wetland areas.
- No contractor parking will be permitted on Badger Lane and Buss Elle Rd.

**Cut and Fill Calculations:**

Cut = 274 cy  
 Fill = 258 cy  
 Difference = 16 cy  
 Excess material is to be stored on site in the stockpile location until completion of construction.

**BADGER RESIDENCE**

OWNER:  
**121 BADGER LANE LLC**  
 P.O. BOX 14001-174  
 KETCHUM, ID 83340

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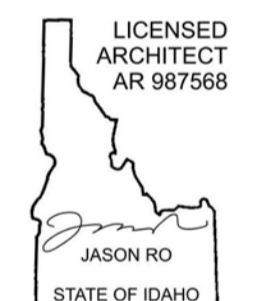
STRUCTURAL ENGINEER:  
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 TEL: 213.239.9700

MEP ENGINEER:  
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SEAL:  


1	05.02.23	PERMIT REVIEW- REV 1
0	02.28.23	BUILDING PERMIT SUBMITTAL
NO	DATE	ISSUE

PROJECT:  
**BADGER RESIDENCE**  
 121 BADGER LANE  
 KETCHUM, ID 83340

PROJECT NUMBER  
**#2201**

DRAWING TITLE:  
**SITE PLAN**

DRAWING NUMBER:  
**A-100.1**



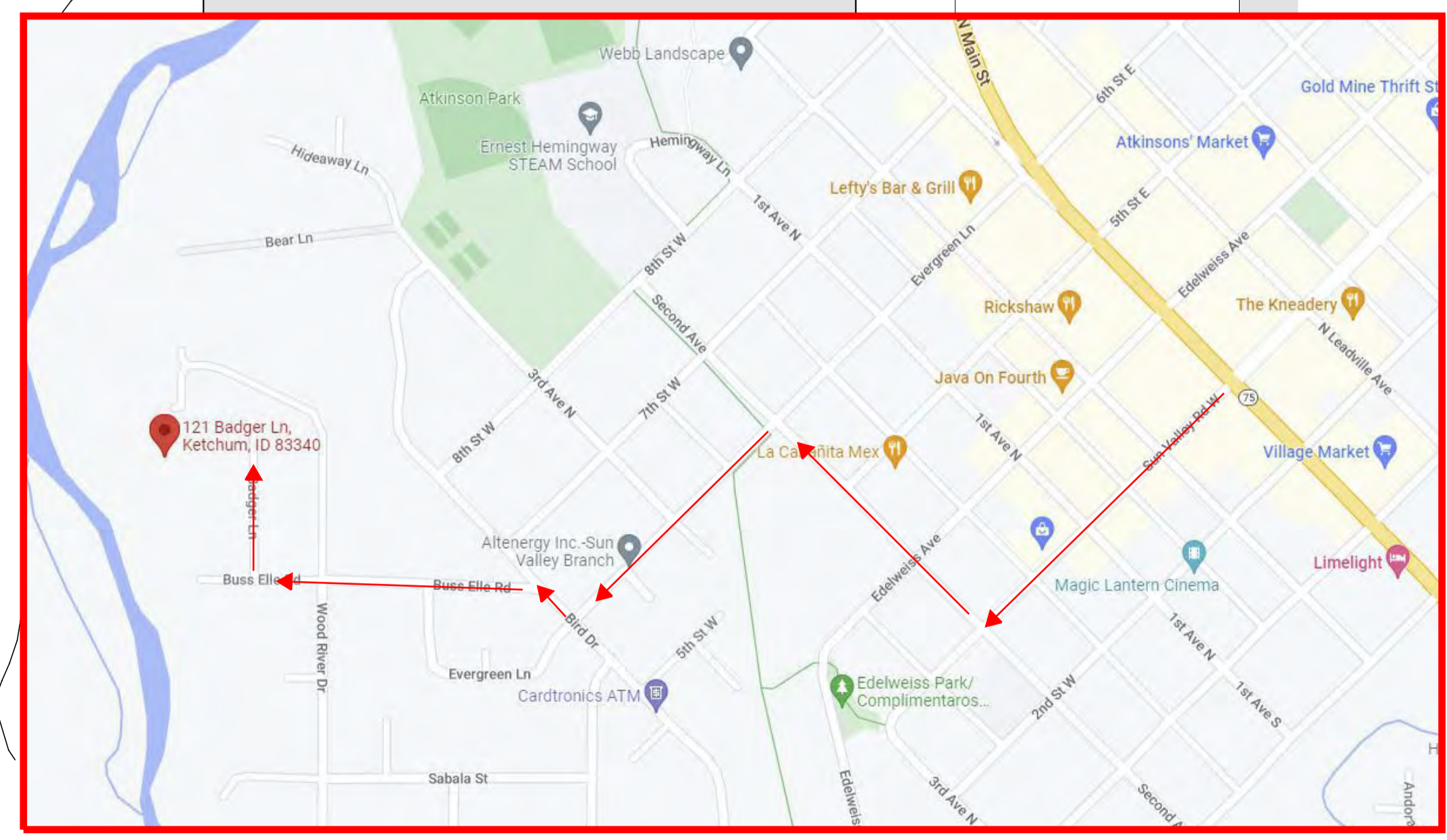
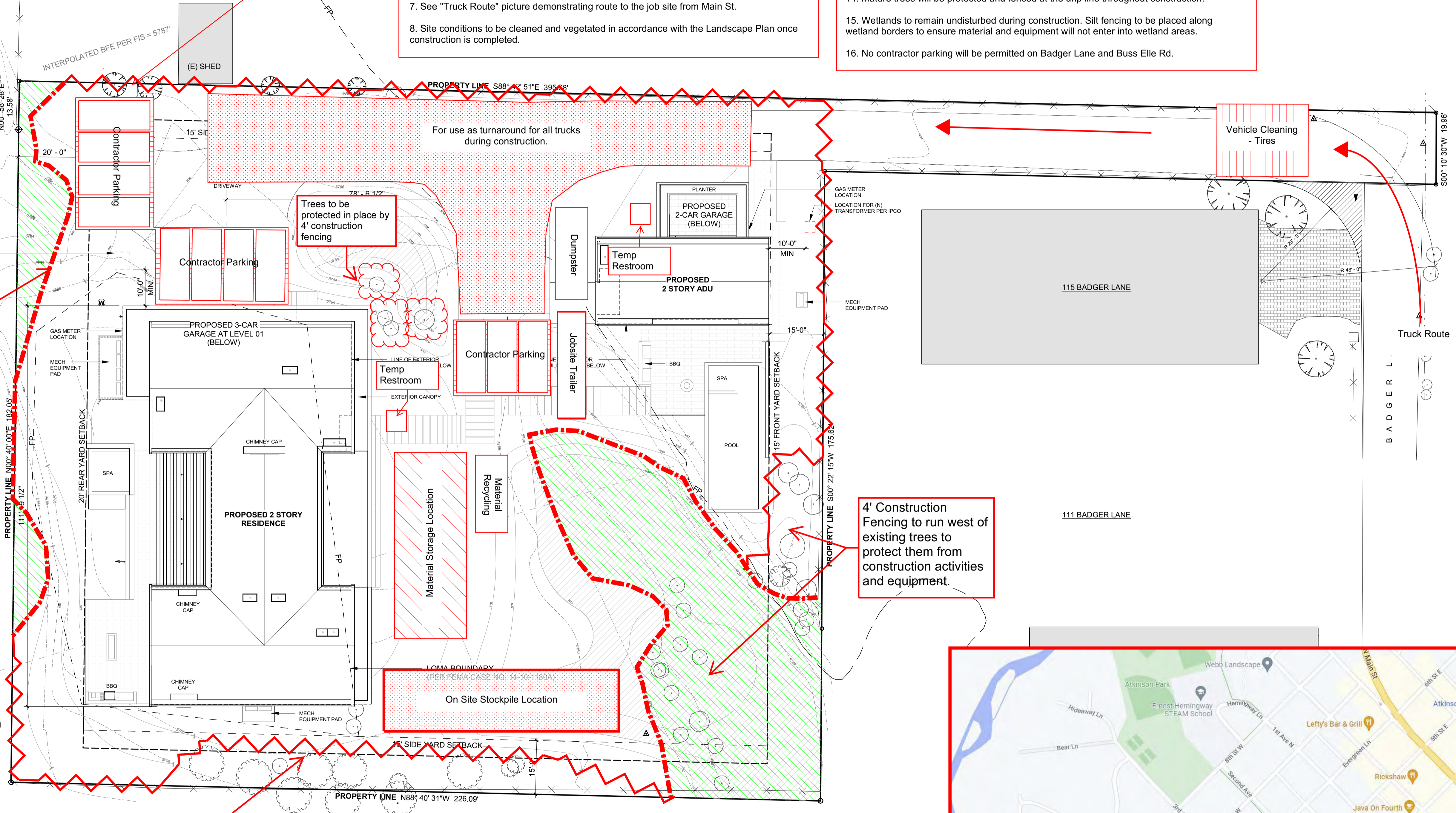
4' Tall Green Temp Construction Fence



3' Tall Black Silt Fencing used around Wetlands to prevent construction materials from entering these areas.

4' Construction Fencing to run north of the patch of existing trees on site to protect them from construction activity.

4' Construction Fencing to run west of existing trees to protect them from construction activities and equipment.



Truck Route

Approved  
 These plans have been found to be in substantial compliance with the applicable building codes. These documents are approved contingent on compliance with the mark-ups and notes applied. This is not approval of any code, ordinance, statute or regulation. Corrections will be required for code violations found during the inspection process.

BLD2303-00021  
 06/26/23



**BADGER RESIDENCE**

OWNER:  
 121 BADGER LANE LLC  
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 TEL: 208.720.6432

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 TEL: 208.726.9512

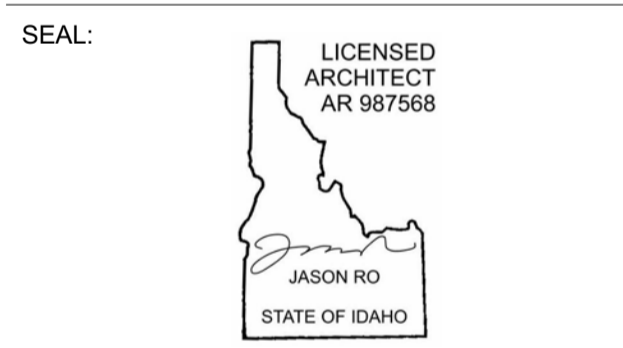
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2	06.06.23	PERMIT REVIEW - REV 2
	02.28.23	BUILDING PERMIT SUBMITTAL
NO	DATE	ISSUE

PROJECT:  
**BADGER RESIDENCE**  
 121 BADGER LANE  
 KETCHUM, ID 83340

PROJECT NUMBER  
**#2201**

DRAWING TITLE:  
**REFERENCE PLAN / LEVEL 01**

DRAWING NUMBER:  
**A-101**

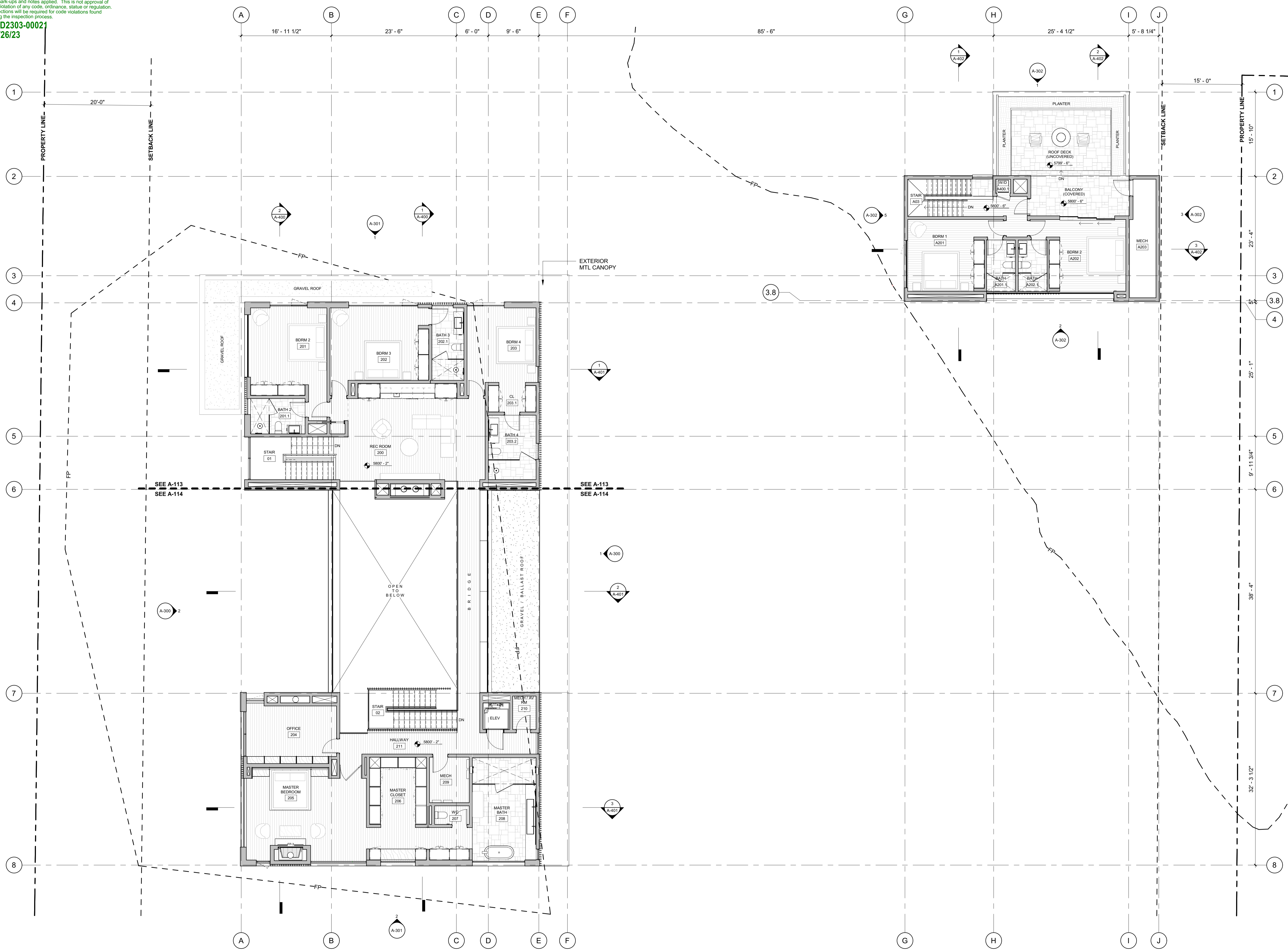
**NOT FOR CONSTRUCTION**

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Approved  
 These plans have been found to be in substantial compliance with the Idaho Building Code. These documents are approved contingent on compliance with the mark-ups and notes applied. This is not approval of any code, ordinance, statute or regulation. Corrections will be required for code violations found during the inspection process.

BLD2303-00021  
 06/26/23

2/2/25



**BADGER RESIDENCE**

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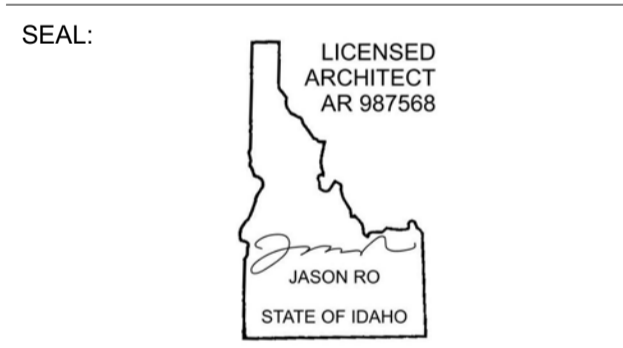
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NO	DATE	BUILDING PERMIT	ISSUE
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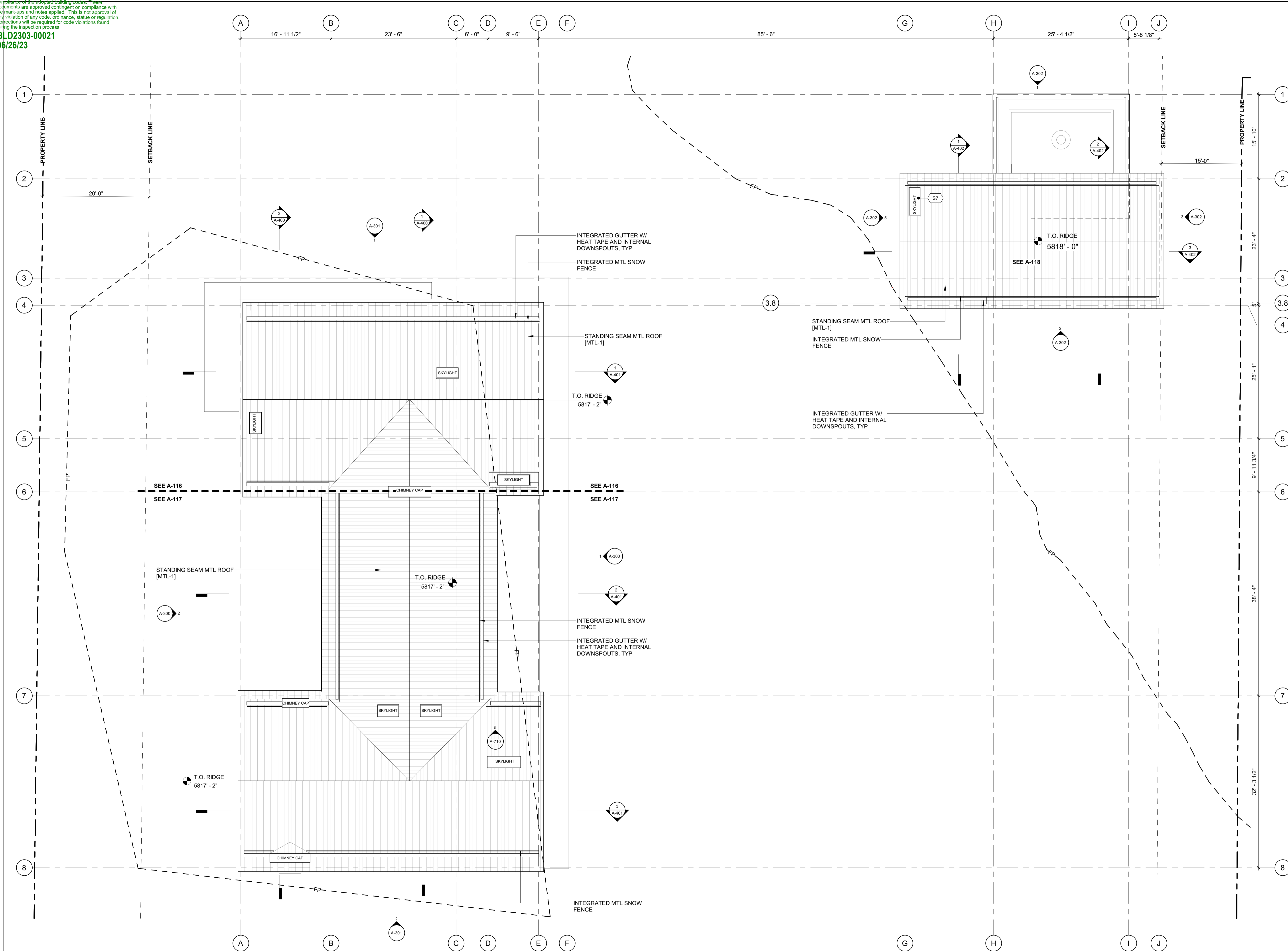
PROJECT:  
**BADGER RESIDENCE**  
 121 BADGER LANE  
 KETCHUM, ID 83340

PROJECT NUMBER  
**#2201**

DRAWING TITLE:  
**REFERENCE PLAN / LEVEL 02**

DRAWING NUMBER:  
**A-102**

Approved  
 These plans have been found to be in substantial compliance with the relevant building codes. These documents are approved contingent on compliance with the mark-ups and notes applied. This is not approval of any code, ordinance, statute or regulation. Corrections will be required for code violations found during the inspection process.  
 BLD2303-00021  
 06/26/23



**BADGER RESIDENCE**

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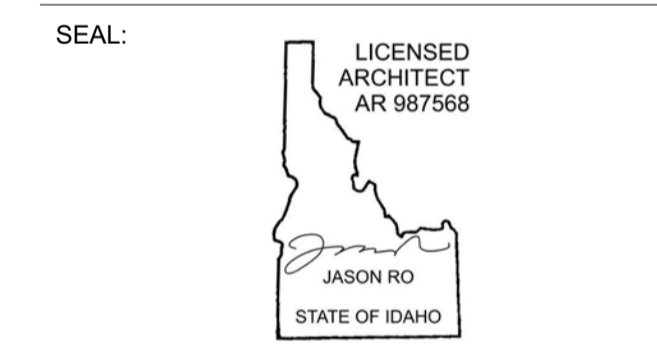
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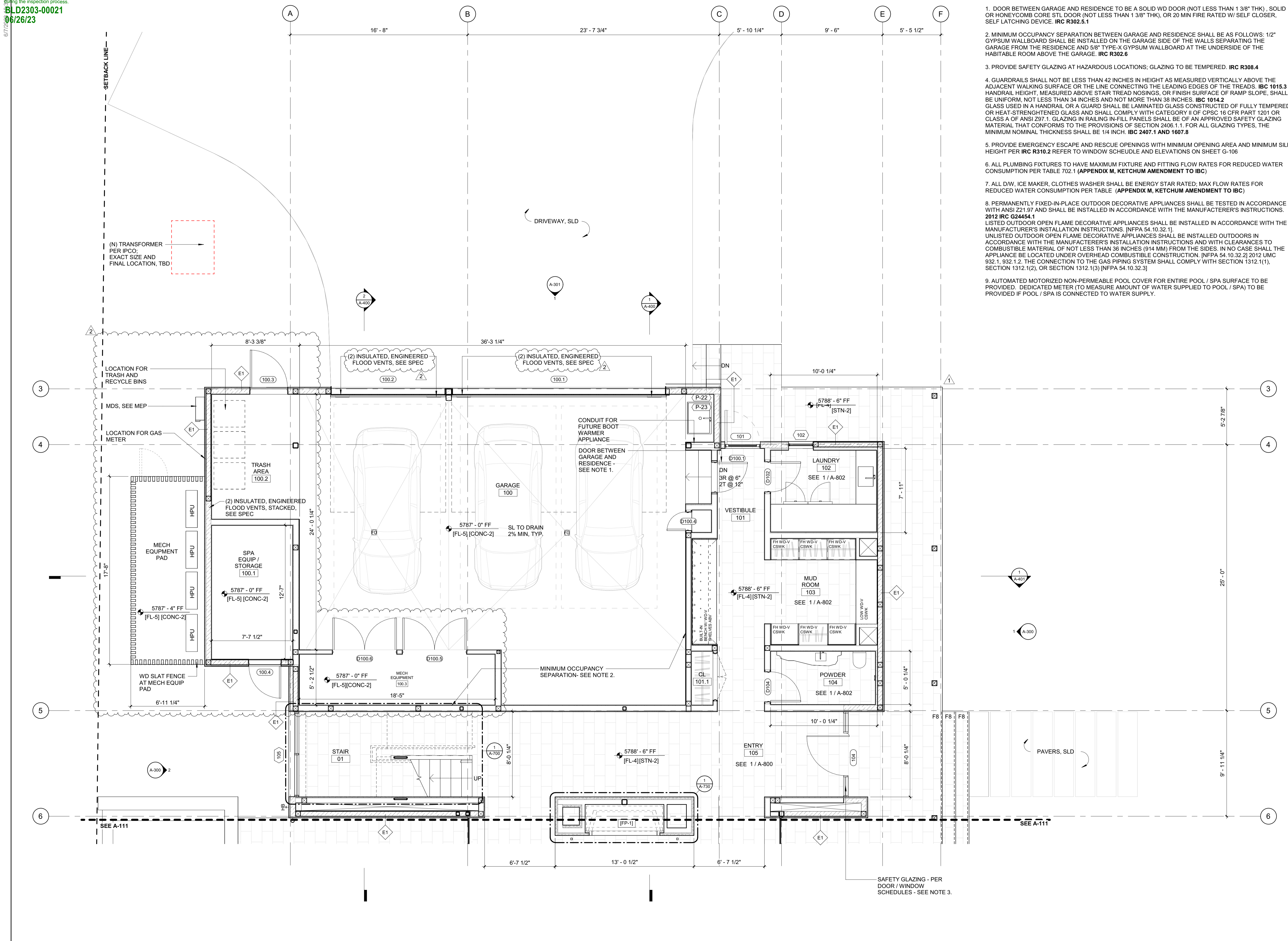
NO	DATE	BUILDING PERMIT	ISSUE
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PROJECT:  
**BADGER RESIDENCE**  
 121 BADGER LANE  
 KETCHUM, ID 83340

PROJECT NUMBER  
**#2201**

DRAWING TITLE:  
**REFERENCE PLAN / ROOF**

DRAWING NUMBER:  
**A-103**



- GENERAL NOTES:**
- DOOR BETWEEN GARAGE AND RESIDENCE TO BE A SOLID WD DOOR (NOT LESS THAN 1 3/8" THK), SOLID OR HONEYCOMB CORE STL DOOR (NOT LESS THAN 1 3/8" THK), OR 20 MIN FIRE RATED W/ SELF CLOSER, SELF LATCHING DEVICE. **IRC R302.5.1**
  - MINIMUM OCCUPANCY SEPARATION BETWEEN GARAGE AND RESIDENCE SHALL BE AS FOLLOWS: 1/2" GYPSUM WALLBOARD SHALL BE INSTALLED ON THE GARAGE SIDE OF THE WALLS SEPARATING THE GARAGE FROM THE RESIDENCE AND 5/8" TYPE-X GYPSUM WALLBOARD AT THE UNDERSIDE OF THE HABITABLE ROOM ABOVE THE GARAGE. **IRC R302.6**
  - PROVIDE SAFETY GLAZING AT HAZARDOUS LOCATIONS; GLAZING TO BE TEMPERED. **IRC R308.4**
  - GUARDRAILS SHALL NOT BE LESS THAN 42 INCHES IN HEIGHT AS MEASURED VERTICALLY ABOVE THE ADJACENT WALKING SURFACE OR THE LINE CONNECTING THE LEADING EDGES OF THE TREADS. **IBC 1015.3** HANDRAIL HEIGHT, MEASURED ABOVE STAIR TREAD NOSINGS, OR FINISH SURFACE OF RAMP SLOPE, SHALL BE UNIFORM, NOT LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES. **IBC 1014.2** GLASS USED IN A HANDRAIL OR A GUARD SHALL BE LAMINATED GLASS CONSTRUCTED OF FULLY TEMPERED OR HEAT-STRENGTHENED GLASS AND SHALL COMPLY WITH CATEGORY II OF CPSC 16 CFR PART 1201 OR CLASS A OF ANSI Z97.1. GLAZING IN RAILING IN-FILL PANELS SHALL BE OF AN APPROVED SAFETY GLAZING MATERIAL THAT CONFORMS TO THE PROVISIONS OF SECTION 2406.1.1. FOR ALL GLAZING TYPES, THE MINIMUM NOMINAL THICKNESS SHALL BE 1/4 INCH. **IBC 2407.1 AND 1607.8**
  - PROVIDE EMERGENCY ESCAPE AND RESCUE OPENINGS WITH MINIMUM OPENING AREA AND MINIMUM SILL HEIGHT PER **IRC R310.2** REFER TO WINDOW SCHEDULE AND ELEVATIONS ON SHEET G-106
  - ALL PLUMBING FIXTURES TO HAVE MAXIMUM FIXTURE AND FITTING FLOW RATES FOR REDUCED WATER CONSUMPTION PER TABLE 702.1 (**APPENDIX M, KETCHUM AMENDMENT TO IBC**)
  - ALL DW, ICE MAKER, CLOTHES WASHER SHALL BE ENERGY STAR RATED; MAX FLOW RATES FOR REDUCED WATER CONSUMPTION PER TABLE (**APPENDIX M, KETCHUM AMENDMENT TO IBC**)
  - PERMANENTLY FIXED-IN-PLACE OUTDOOR DECORATIVE APPLIANCES SHALL BE TESTED IN ACCORDANCE WITH ANSI Z21.97 AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. **2012 IRC G2445.1** LISTED OUTDOOR OPEN FLAME DECORATIVE APPLIANCES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. [NFPA 54.10.32.1]. UNLISTED OUTDOOR OPEN FLAME DECORATIVE APPLIANCES SHALL BE INSTALLED OUTDOORS IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS AND WITH CLEARANCES TO COMBUSTIBLE MATERIAL OF NOT LESS THAN 36 INCHES (914 MM) FROM THE SIDES. IN NO CASE SHALL THE APPLIANCE BE LOCATED UNDER OVERHEAD COMBUSTIBLE CONSTRUCTION. [NFPA 54.10.32.2] 2012 UMC 932.1, 932.1.2, THE CONNECTION TO THE GAS PIPING SYSTEM SHALL COMPLY WITH SECTION 1312.1(1), SECTION 1312.1(2), OR SECTION 1312.1(3) [NFPA 54.10.32.3]
  - AUTOMATED MOTORIZED NON-PERMEABLE POOL COVER FOR ENTIRE POOL / SPA SURFACE TO BE PROVIDED. DEDICATED METER (TO MEASURE AMOUNT OF WATER SUPPLIED TO POOL / SPA) TO BE PROVIDED IF POOL / SPA IS CONNECTED TO WATER SUPPLY.

**BADGER RESIDENCE**

OWNER:  
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 P.O. BOX 14001-174  
 KETCHUM, ID 83340

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LANDSCAPE ARCHITECT:  
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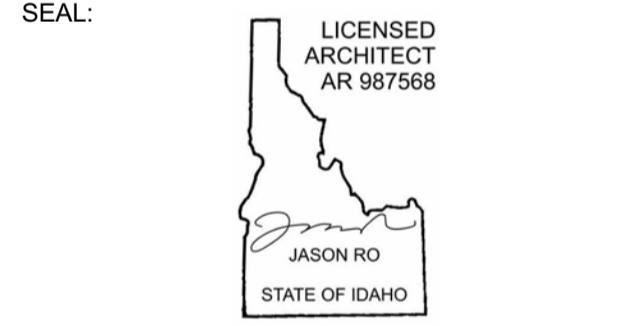
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 TEL: 406.272.0352

LIGHTING DESIGN CONSULTANT:  
**KGM ARCHITECTURAL LIGHTING**  
 270 CORAL CIRCLE  
 EL SEGUNDO, CA 90245  
 TEL: 310.552.2191

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2	06.06.23	PERMIT REVIEW- REV 2
1	05.02.23	PERMIT REVIEW- REV 1
	02.28.23	BUILDING PERMIT SUBMITTAL
NO	DATE	ISSUE

PROJECT:  
**BADGER RESIDENCE**  
 121 BADGER LANE  
 KETCHUM, ID 83340

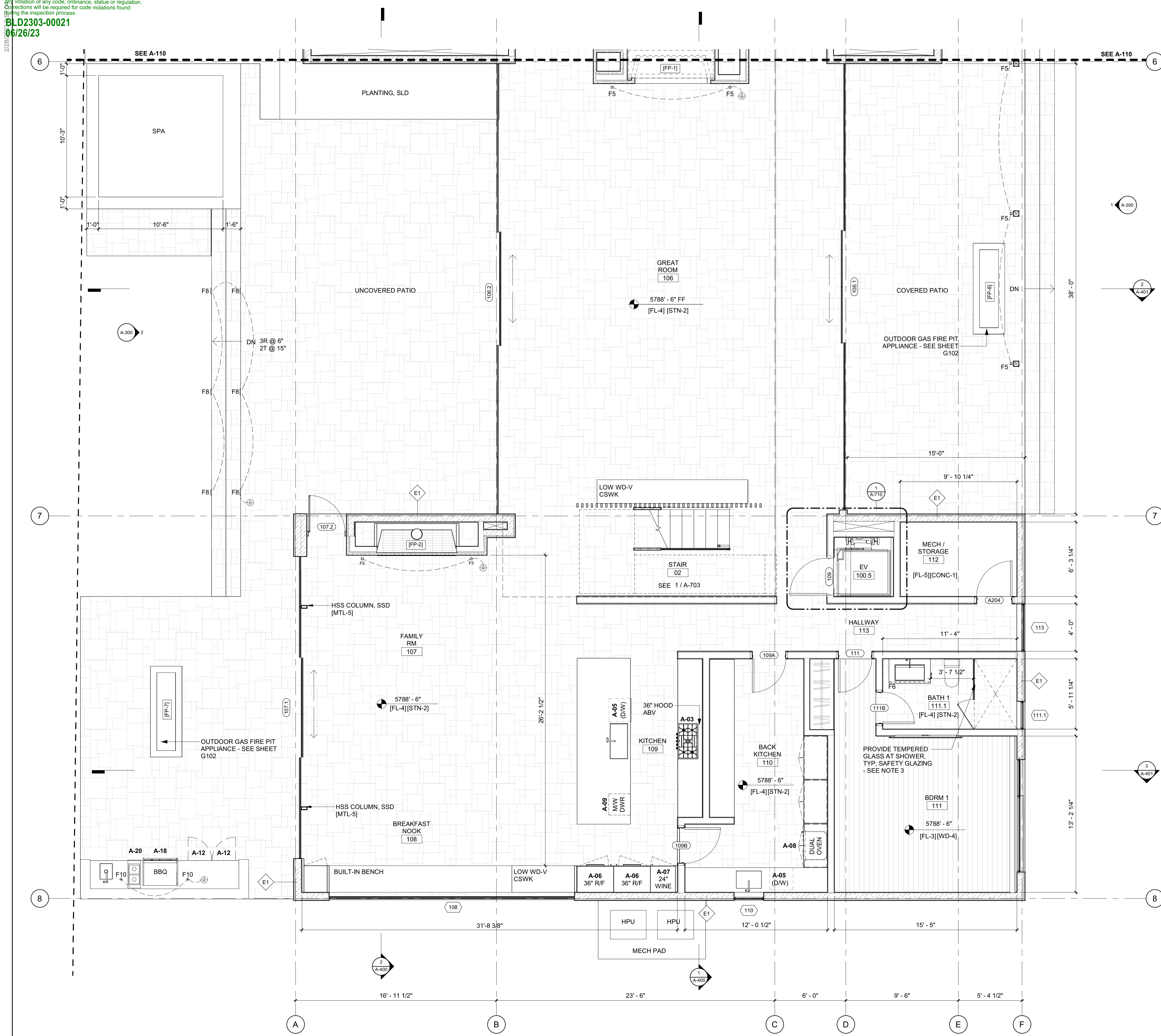
PROJECT NUMBER  
**#2201**

DRAWING TITLE:  
**FLOOR PLAN / LEVEL 01 / NORTH**

DRAWING NUMBER:  
**A-110**

NOT FOR CONSTRUCTION  
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- GENERAL NOTES:**
- DOOR BETWEEN GARAGE AND RESIDENCE TO BE A SOLID WD DOOR (NOT LESS THAN 1 3/8" THK), SOLID OR HONEYCOMB CORE STL DOOR (NOT LESS THAN 1 3/8" THK), OR 20 MIN FIRE RATED W/ SELF CLOSER, SELF LATCHING DEVICE. **IRC R302.5.1**
  - MINIMUM OCCUPANCY SEPARATION BETWEEN GARAGE AND RESIDENCE SHALL BE AS FOLLOWS: 1/2" GYPSUM WALLBOARD SHALL BE INSTALLED ON THE GARAGE SIDE OF THE WALLS SEPARATING THE GARAGE FROM THE RESIDENCE AND 5/8" TYPE-X GYPSUM WALLBOARD AT THE UNDERSIDE OF THE HABITABLE ROOM ABOVE THE GARAGE. **IRC R302.6**
  - PROVIDE SAFETY GLAZING AT HAZARDOUS LOCATIONS; GLAZING TO BE TEMPERED. **IRC R308.4**
  - GUARDRAILS SHALL NOT BE LESS THAN 42 INCHES IN HEIGHT AS MEASURED VERTICALLY ABOVE THE ADJACENT WALKING SURFACE OR THE LINE CONNECTING THE LEADING EDGES OF THE TREADS. **IBC 1015.3**  
 HANDRAIL HEIGHT, MEASURED ABOVE STAIR TREAD NOSINGS, OR FINISH SURFACE OF RAMP SLOPE, SHALL BE UNIFORM, NOT LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES. **IBC 1014.2**  
 GLASS USED IN A HANDRAIL OR A GUARD SHALL BE LAMINATED GLASS CONSTRUCTED OF FULLY TEMPERED OR HEAT-STRENGTHENED GLASS AND SHALL COMPLY WITH CATEGORY II OF CPSC 16 CFR PART 1201 OR CLASS A OF ANSI Z97.1. GLAZING IN RAILING IN-FILL PANELS SHALL BE OF AN APPROVED SAFETY GLAZING MATERIAL THAT CONFORMS TO THE PROVISIONS OF SECTION 2406.1.1. FOR ALL GLAZING TYPES, THE MINIMUM NOMINAL THICKNESS SHALL BE 1/4" INCH. **IBC 2407.1 AND 1607.8**
  - PROVIDE EMERGENCY ESCAPE AND RESCUE OPENINGS WITH MINIMUM OPENING AREA AND MINIMUM SILL HEIGHT PER **IRC R310.2** REFER TO WINDOW SCHEDULE AND ELEVATIONS ON SHEET G-106
  - ALL PLUMBING FIXTURES TO HAVE MAXIMUM FIXTURE AND FITTING FLOW RATES FOR REDUCED WATER CONSUMPTION PER TABLE 702.1 (**APPENDIX M, KETCHUM AMENDMENT TO IBC**)
  - ALL DW, ICE MAKER, CLOTHES WASHER SHALL BE ENERGY STAR RATED; MAX FLOW RATES FOR REDUCED WATER CONSUMPTION PER TABLE (**APPENDIX M, KETCHUM AMENDMENT TO IBC**)
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**BADGER RESIDENCE**

OWNER:  
**121 BADGER LANE LLC**  
 P.O. BOX 14001-174  
 KETCHUM, ID 83340

PROJECT ARCHITECT:  
**RO J ROCKETT DESIGN**  
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 INGLESWOOD, CA 90301  
 TEL: 213.784.0014

SURVEYOR:  
**GALENA ENGINEERING, INC.**  
 317 NORTH RIVER STREET  
 HAILEY, ID 83333  
 TEL: 208.788.1705

ENVIRONMENTAL CONSULTANT:  
**SAWTOOTH ENVIRONMENTAL CONSULTING**  
 P.O. BOX 2707 / 540 NORTH FIRST AVE  
 KETCHUM, ID 83340  
 TEL: 208.727.9748

HYDROLOGY / WATER ENGINEERING:  
**BROCKWAY ENGINEERING, INC.**  
 2018 WASHINGTON ST NORTH, SUITE 4  
 TWIN FALLS, ID 83301  
 TEL: 208.736-8543

GEOTECHNICAL ENGINEER:  
**BUTLER ASSOCIATES, INC.**  
 P.O. BOX 1034  
 KETCHUM, ID 83340  
 TEL: 208.720.6432

LANDSCAPE ARCHITECT:  
**BYLA**  
 323 LEWIS STREET, SUITE N  
 KETCHUM, ID 83340  
 TEL: 208.726.5907

CIVIL ENGINEER:  
**BENCHMARK ASSOCIATES, P.A.**  
 P.O. BOX 733 - 100 BELL DRIVE  
 KETCHUM, IDAHO 83340  
 TEL: 208.726.9512

STRUCTURAL ENGINEER:  
**LFA**  
 319 MAIN STREET  
 EL SEGUNDO, CA 90245  
 TEL: 213.239.9700

MEP ENGINEER:  
**CES ENGINEERING SERVICES, LLC**  
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 BOZEMAN, MT 59715  
 TEL: 406.272.0352

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SEAL:  
 LICENSED ARCHITECT  
 AR 987568  
 JASON RO  
 STATE OF IDAHO

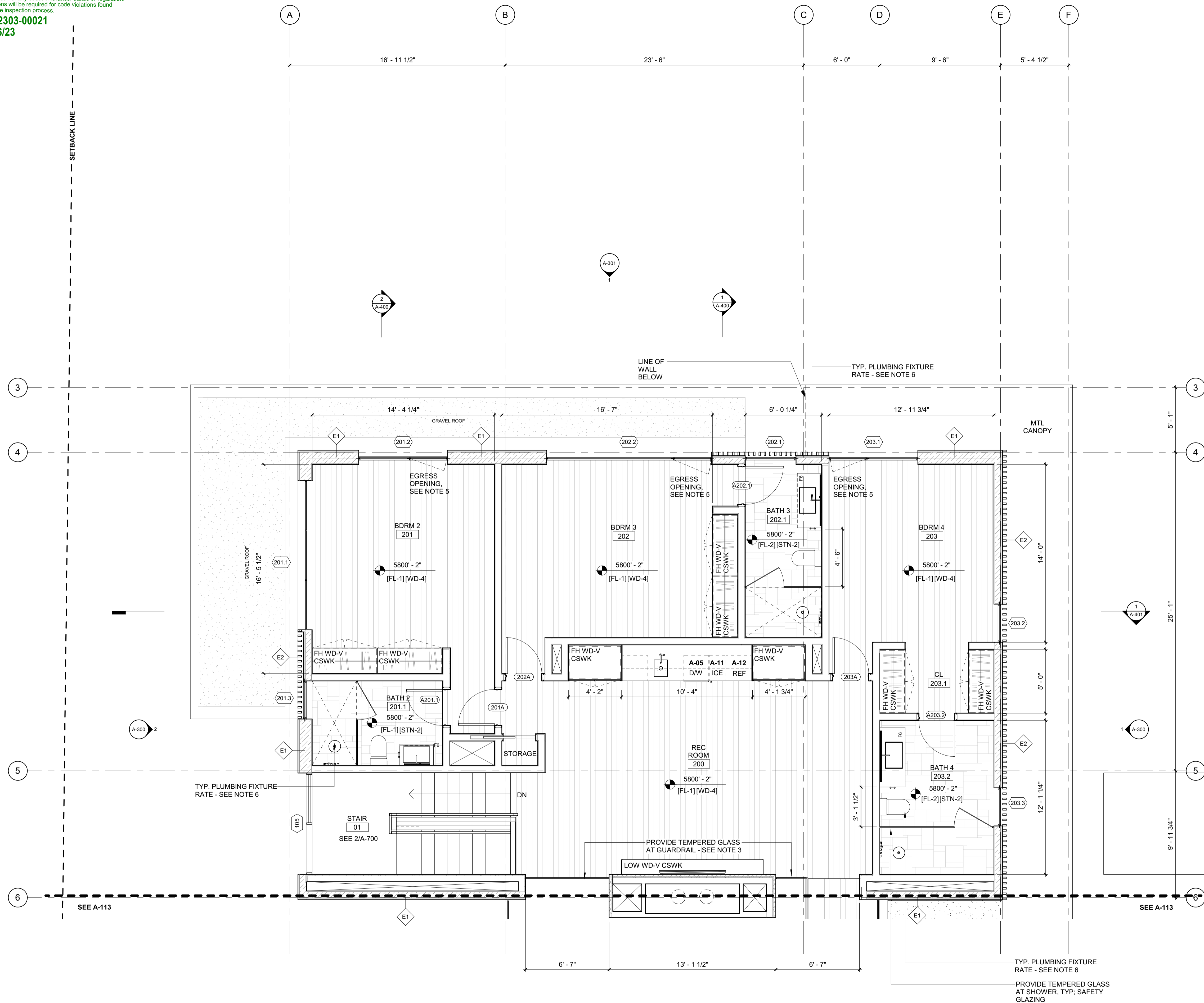
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0	02.28.23	ISSUE

PROJECT:  
**BADGER RESIDENCE**  
 121 BADGER LANE  
 KETCHUM, ID 83340

PROJECT NUMBER  
**#2201**

DRAWING TITLE:  
**FLOOR PLAN / LEVEL 01 / SOUTH**

DRAWING NUMBER:  
**A-111**



**GENERAL NOTES:**

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**BADGER RESIDENCE**

OWNER:  
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 KETCHUM, ID 83340

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**BROCKWAY ENGINEERING, INC.**  
 2018 WASHINGTON ST NORTH, SUITE 4  
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 TEL: 208.736-8543

GEOTECHNICAL ENGINEER:  
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 KETCHUM, ID 83340  
 TEL: 208.720.6432

LANDSCAPE ARCHITECT:  
**BYLA**  
 323 LEWIS STREET, SUITE N  
 KETCHUM, ID 83340  
 TEL: 208.726.5907

CIVIL ENGINEER:  
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 P.O. BOX 733 - 100 BELL DRIVE  
 KETCHUM, IDAHO 83340  
 TEL: 208.726.9512

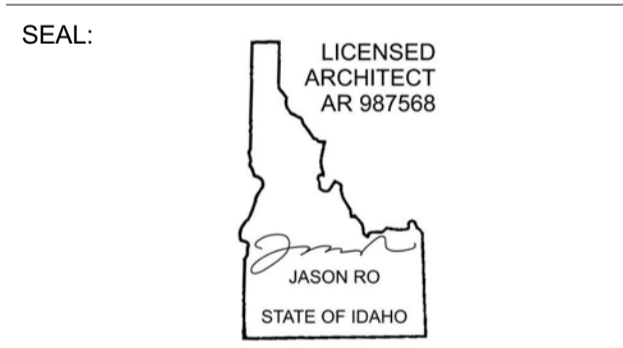
STRUCTURAL ENGINEER:  
**LFA**  
 319 MAIN STREET  
 EL SEGUNDO, CA 90245  
 TEL: 213.239.9700

MEP ENGINEER:  
**CES ENGINEERING SERVICES, LLC**  
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PROJECT:  
**BADGER RESIDENCE**  
 121 BADGER LANE  
 KETCHUM, ID 83340

PROJECT NUMBER  
**#2201**

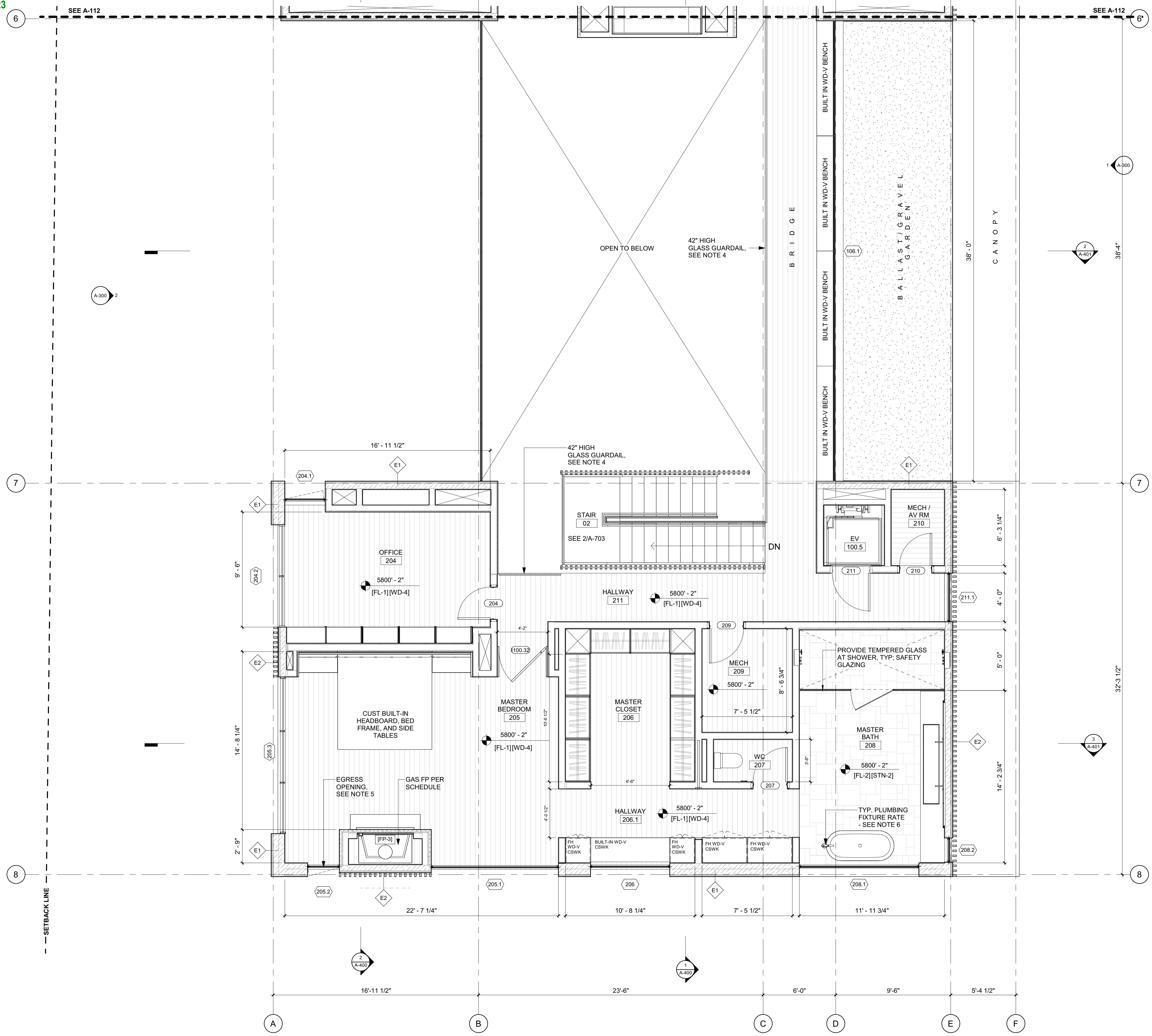
DRAWING TITLE:  
**FLOOR PLAN / LEVEL 02 / NORTH**

DRAWING NUMBER:  
**A-112**

BLD2303-00021

06/26/23

2/2/25



**GENERAL NOTES:**

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 KETCHUM, ID 83340

PROJECT ARCHITECT:  
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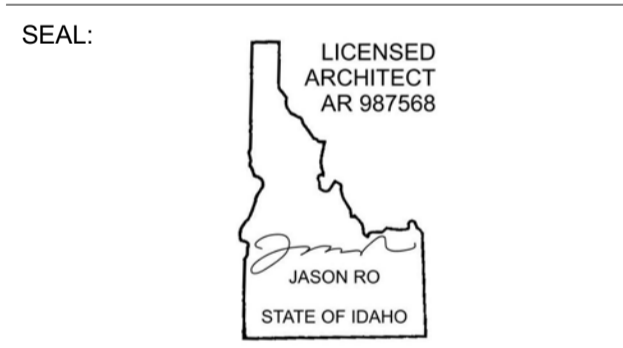
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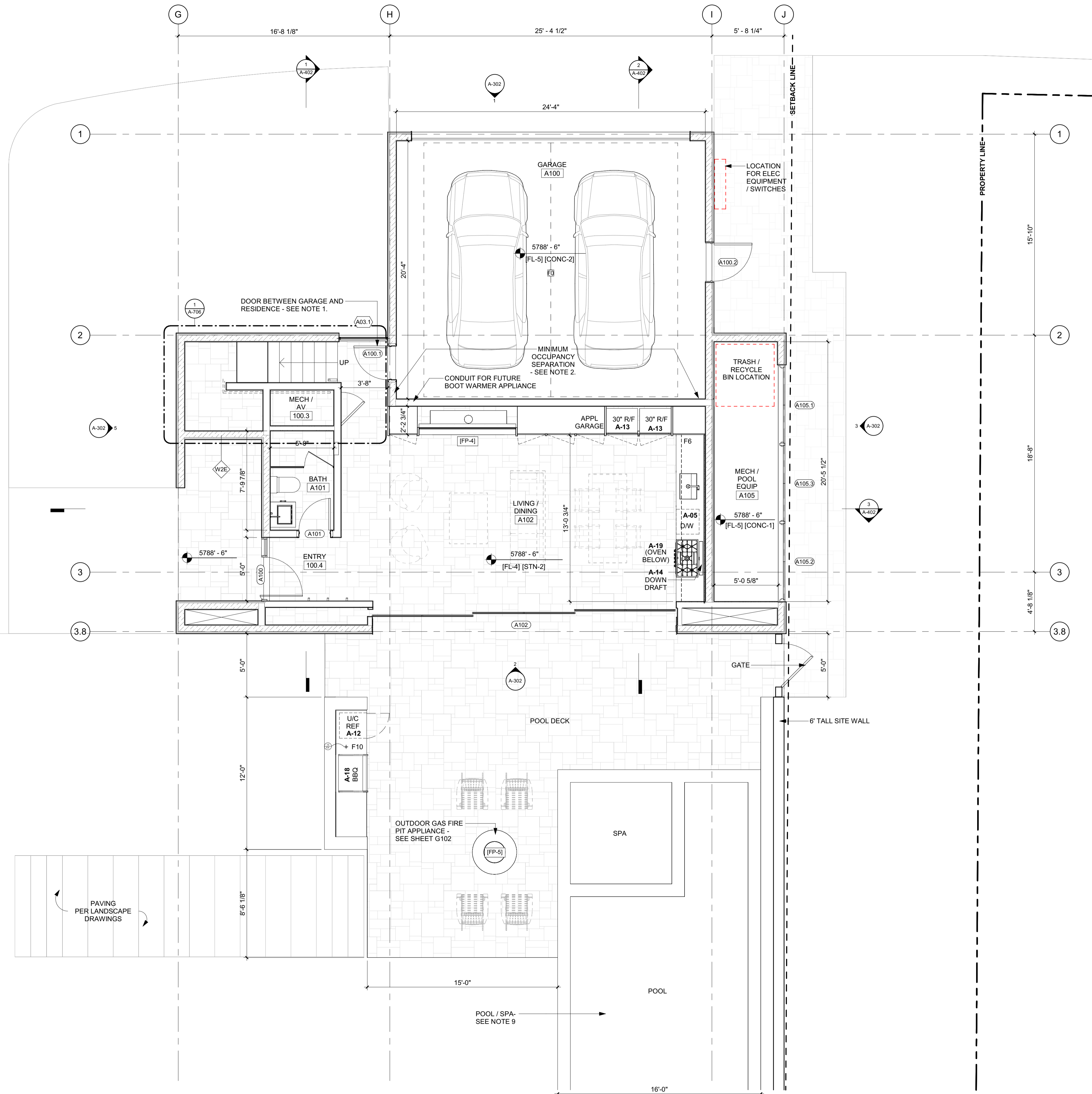
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NO	DATE	ISSUE

PROJECT:  
**BADGER RESIDENCE**  
 121 BADGER LANE  
 KETCHUM, ID 83340

PROJECT NUMBER  
**#2201**

DRAWING TITLE:  
**FLOOR PLAN / LEVEL 02 / SOUTH**

DRAWING NUMBER:  
**A-113**



**GENERAL NOTES:**

- DOOR BETWEEN GARAGE AND RESIDENCE TO BE A SOLID WD DOOR (NOT LESS THAN 1 3/8" THK), SOLID OR HONEYCOMB CORE STL DOOR (NOT LESS THAN 1 3/8" THK), OR 20 MIN FIRE RATED W/ SELF CLOSER, SELF LATCHING DEVICE. **IRC R302.5.1**
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- AUTOMATED MOTORIZED NON-PERMEABLE POOL COVER FOR ENTIRE POOL / SPA SURFACE TO BE PROVIDED. DEDICATED METER (TO MEASURE AMOUNT OF WATER SUPPLIED TO POOL / SPA) TO BE PROVIDED IF POOL / SPA IS CONNECTED TO WATER SUPPLY.

AUTO COURT  
 ALL LANDSCAPE / HARDSCAPE / DRIVEWAY DESIGN AND EXTERIOR LIGHTING PER LANDSCAPE ARCHITECT, SLD

PAVING PER LANDSCAPE DRAWINGS

**BADGER RESIDENCE**

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 121 BADGER LANE LLC  
 P.O. BOX 14001-174  
 KETCHUM, ID 83340

PROJECT ARCHITECT:

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 TEL: 213.784.0014

SURVEYOR:

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 HAILEY, ID 83333  
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 TEL: 208.727.9748

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 TWIN FALLS, ID 83301  
 TEL: 208.736-8543

GEOTECHNICAL ENGINEER:

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 TEL: 310.552.2191

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 LICENSED ARCHITECT  
 AR 987568  
 JASON RO  
 STATE OF IDAHO

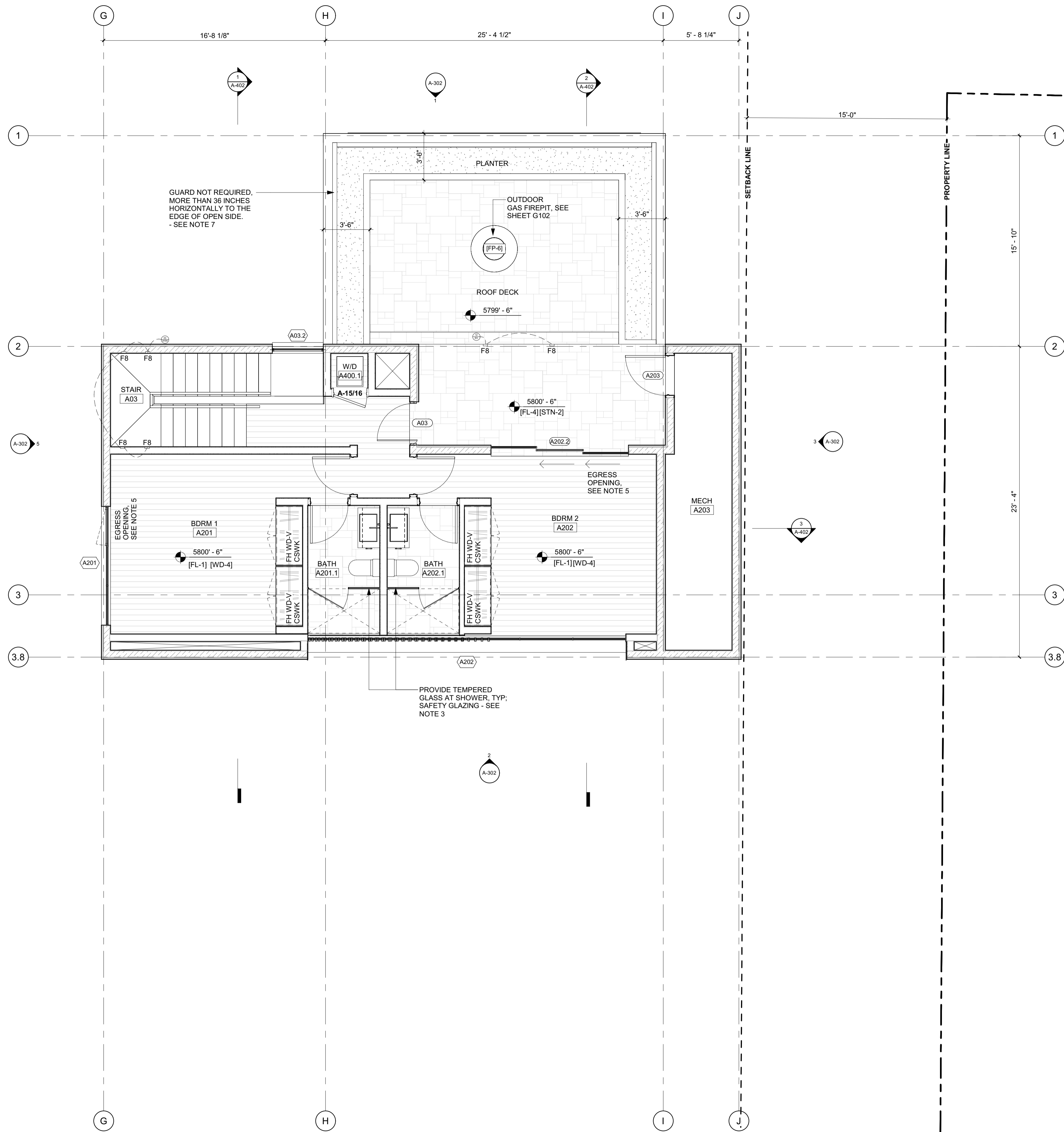
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0	02.28.23	BUILDING PERMIT	

PROJECT:  
**BADGER RESIDENCE**  
 121 BADGER LANE  
 KETCHUM, ID 83340

PROJECT NUMBER:  
**#2201**

DRAWING TITLE:  
**FLOOR PLAN / LEVEL 01 / ADU**

DRAWING NUMBER:  
**A-114**



- GENERAL NOTES:**
- DOOR BETWEEN GARAGE AND RESIDENCE TO BE A SOLID WD DOOR (NOT LESS THAN 1 3/8" THK), SOLID OR HONEYCOMB CORE STL DOOR (NOT LESS THAN 1 3/8" THK), OR 20 MIN FIRE RATED W/ SELF CLOSER, SELF LATCHING DEVICE. **IRC R302.5.1**
  - MINIMUM OCCUPANCY SEPARATION BETWEEN GARAGE AND RESIDENCE SHALL BE AS FOLLOWS: 1/2" GYPSUM WALLBOARD SHALL BE INSTALLED ON THE GARAGE SIDE OF THE WALLS SEPARATING THE GARAGE FROM THE RESIDENCE AND 5/8" TYPE-X GYPSUM WALLBOARD AT THE UNDERSIDE OF THE HABITABLE ROOM ABOVE THE GARAGE. **IRC R302.6**
  - PROVIDE SAFETY GLAZING AT HAZARDOUS LOCATIONS; GLAZING TO BE TEMPERED. **IRC R308.4**
  - GUARDRAILS SHALL NOT BE LESS THAN 42 INCHES IN HEIGHT AS MEASURED VERTICALLY ABOVE THE ADJACENT WALKING SURFACE OR THE LINE CONNECTING THE LEADING EDGES OF THE TREADS. **IBC 1015.3**  
 HANDRAIL HEIGHT, MEASURED ABOVE STAIR TREAD NOSINGS, OR FINISH SURFACE OF RAMP SLOPE, SHALL BE UNIFORM, NOT LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES. **IBC 1014.2**  
 GLASS USED IN A HANDRAIL OR A GUARD SHALL BE LAMINATED GLASS CONSTRUCTED OF FULLY TEMPERED OR HEAT-STRENGTHENED GLASS AND SHALL COMPLY WITH CATEGORY II OF CPSC 16 CFR PART 1201 OR CLASS A OF ANSI Z97.1. GLAZING IN RAILING IN-FILL PANELS SHALL BE OF AN APPROVED SAFETY GLAZING MATERIAL THAT CONFORMS TO THE PROVISIONS OF SECTION 2406.1.1. FOR ALL GLAZING TYPES, THE MINIMUM NOMINAL THICKNESS SHALL BE 1/4 INCH. **IBC 2407.1 AND 1607.8**
  - PROVIDE EMERGENCY ESCAPE AND RESCUE OPENINGS WITH MINIMUM OPENING AREA AND MINIMUM SILL HEIGHT PER **IRC R310.2** REFER TO WINDOW SCHEDULE AND ELEVATIONS ON SHEET G-106
  - ALL PLUMBING FIXTURES TO HAVE MAXIMUM FIXTURE AND FITTING FLOW RATES FOR REDUCED WATER CONSUMPTION PER TABLE 702.1 (**APPENDIX M, KETCHUM AMENDMENT TO IBC**)
  - ALL DW, ICE MAKER, CLOTHES WASHER SHALL BE ENERGY STAR RATED; MAX FLOW RATES FOR REDUCED WATER CONSUMPTION PER TABLE (**APPENDIX M, KETCHUM AMENDMENT TO IBC**)
  - PERMANENTLY FIXED-IN-PLACE OUTDOOR DECORATIVE APPLIANCES SHALL BE TESTED IN ACCORDANCE WITH ANSI Z21.97 AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. **2012 IRC G24454.1**  
 LISTED OUTDOOR OPEN FLAME DECORATIVE APPLIANCES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. [NFPA 54.10.32.1]  
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 P.O. BOX 733 - 100 BELL DRIVE  
 KETCHUM, IDAHO 83340  
 TEL: 208.726.9512

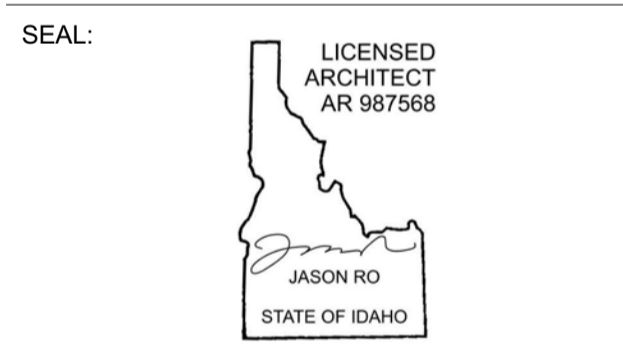
STRUCTURAL ENGINEER:  
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MEP ENGINEER:  
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PROJECT:  
**BADGER RESIDENCE**  
 121 BADGER LANE  
 KETCHUM, ID 83340

PROJECT NUMBER  
**#2201**

DRAWING TITLE:  
**FLOOR PLAN / LEVEL 02 / ADU**

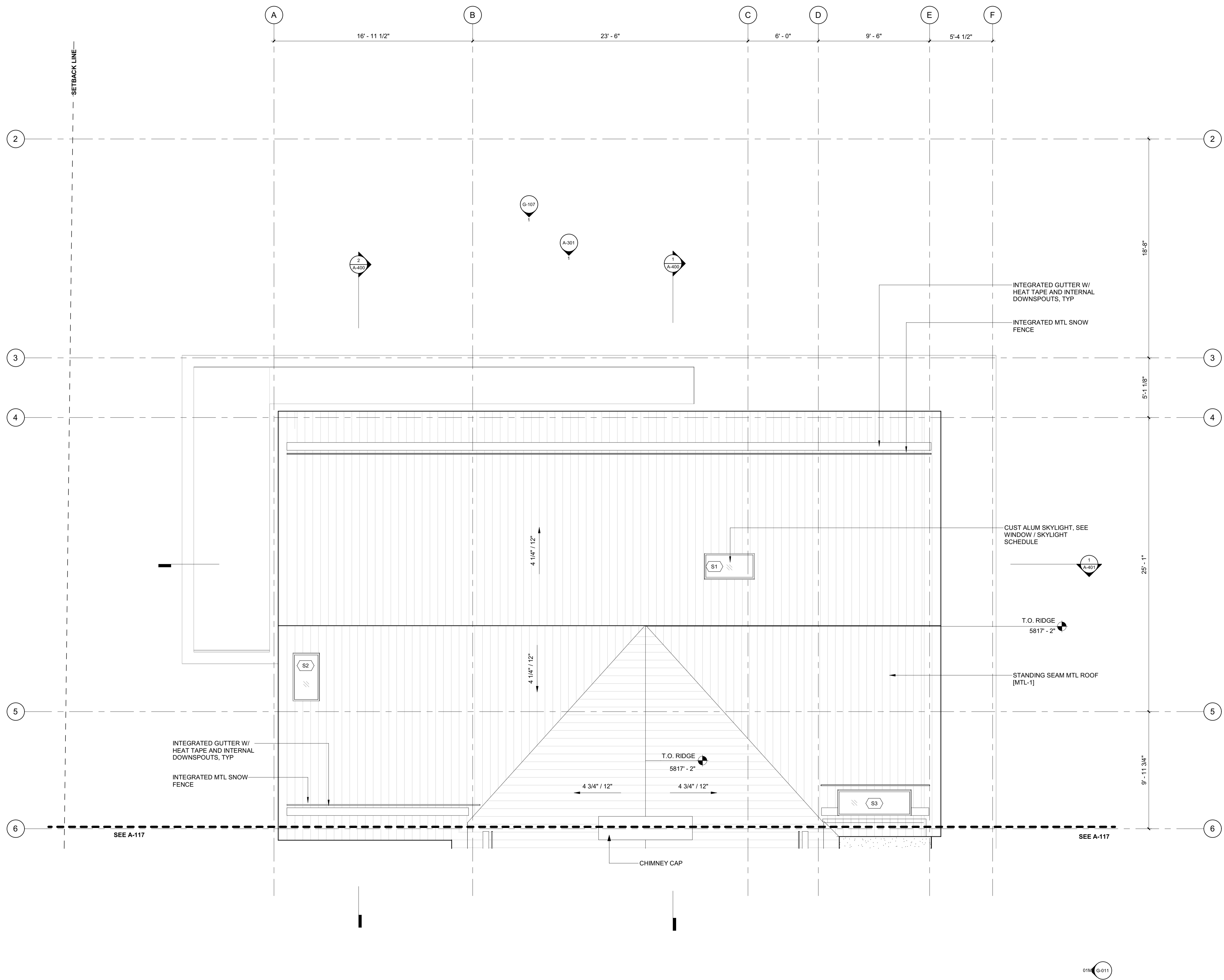
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**A-115**



Approved  
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BLD2303-00021  
 06/26/23

2/25/23

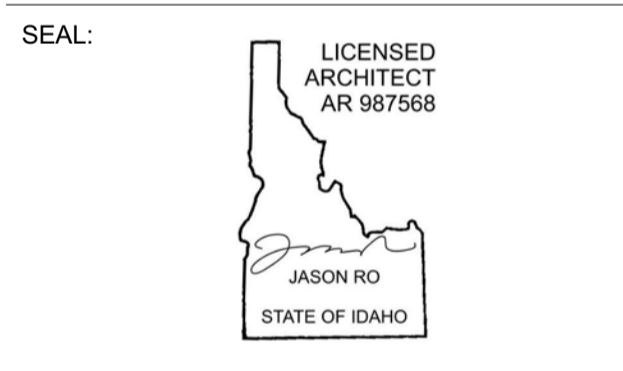


**BADGER RESIDENCE**

- OWNER:  
 121 BADGER LANE LLC  
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- HYDROLOGY / WATER ENGINEERING:  
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- GEOTECHNICAL ENGINEER:  
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- LIGHTING DESIGN CONSULTANT:  
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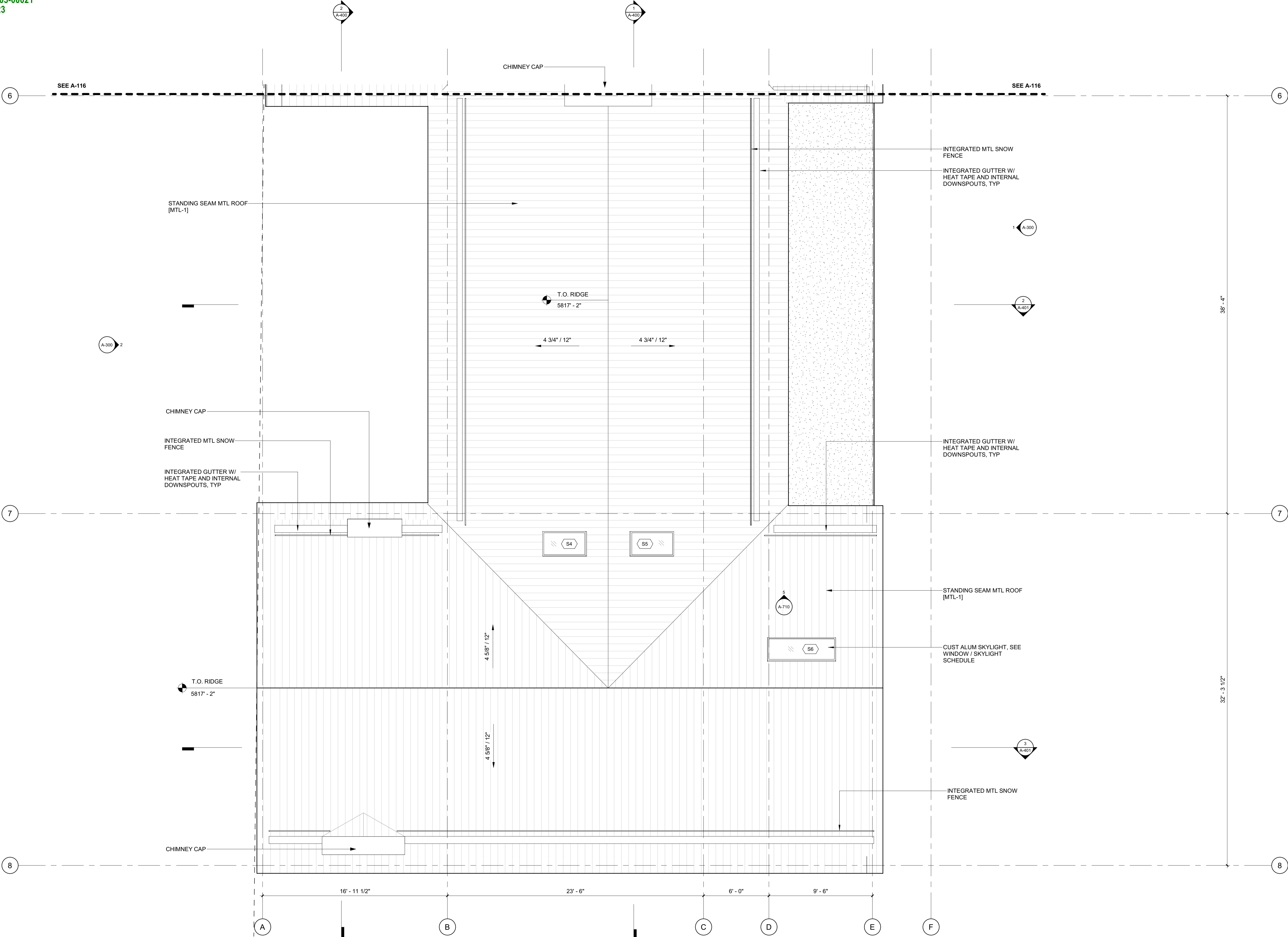
NO	DATE	BUILDING PERMIT ISSUE
0	02.28.23	BUILDING PERMIT
		ISSUE

PROJECT:  
**BADGER RESIDENCE**  
 121 BADGER LANE  
 KETCHUM, ID 83340

PROJECT NUMBER:  
**#2201**

DRAWING TITLE:  
**ROOF PLAN / NORTH**

DRAWING NUMBER:  
**A-116**



**BADGER RESIDENCE**

OWNER:  
**121 BADGER LANE LLC**  
 P.O. BOX 14001-174  
 KETCHUM, ID 83340

PROJECT ARCHITECT:  
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 TEL: 208.726.5907

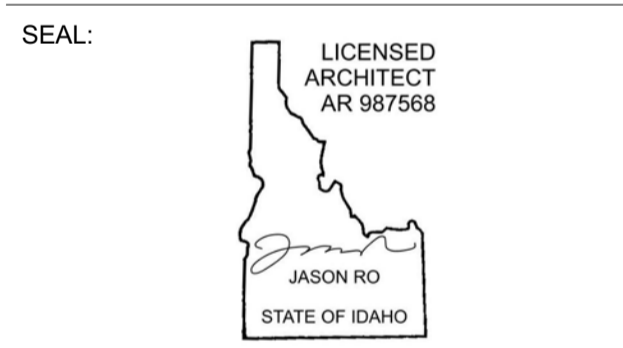
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PROJECT:  
**BADGER RESIDENCE**  
 121 BADGER LANE  
 KETCHUM, ID 83340

PROJECT NUMBER:  
**#2201**

DRAWING TITLE:  
**ROOF PLAN / SOUTH**

DRAWING NUMBER:  
**A-117**



These plans have been found to be in substantial compliance with the applicable building codes. These documents are approved contingent on compliance with the mark-ups and notes applied. This is not approval of any code, ordinance, statute or regulation. Erections will be required for code violations found during the inspection process.

**BLD2303-00021**  
**06/26/23**

**BADGER RESIDENCE**

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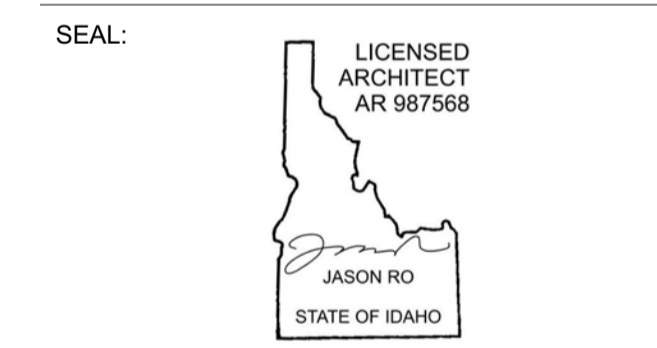
STRUCTURAL ENGINEER:  
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MEP ENGINEER:  
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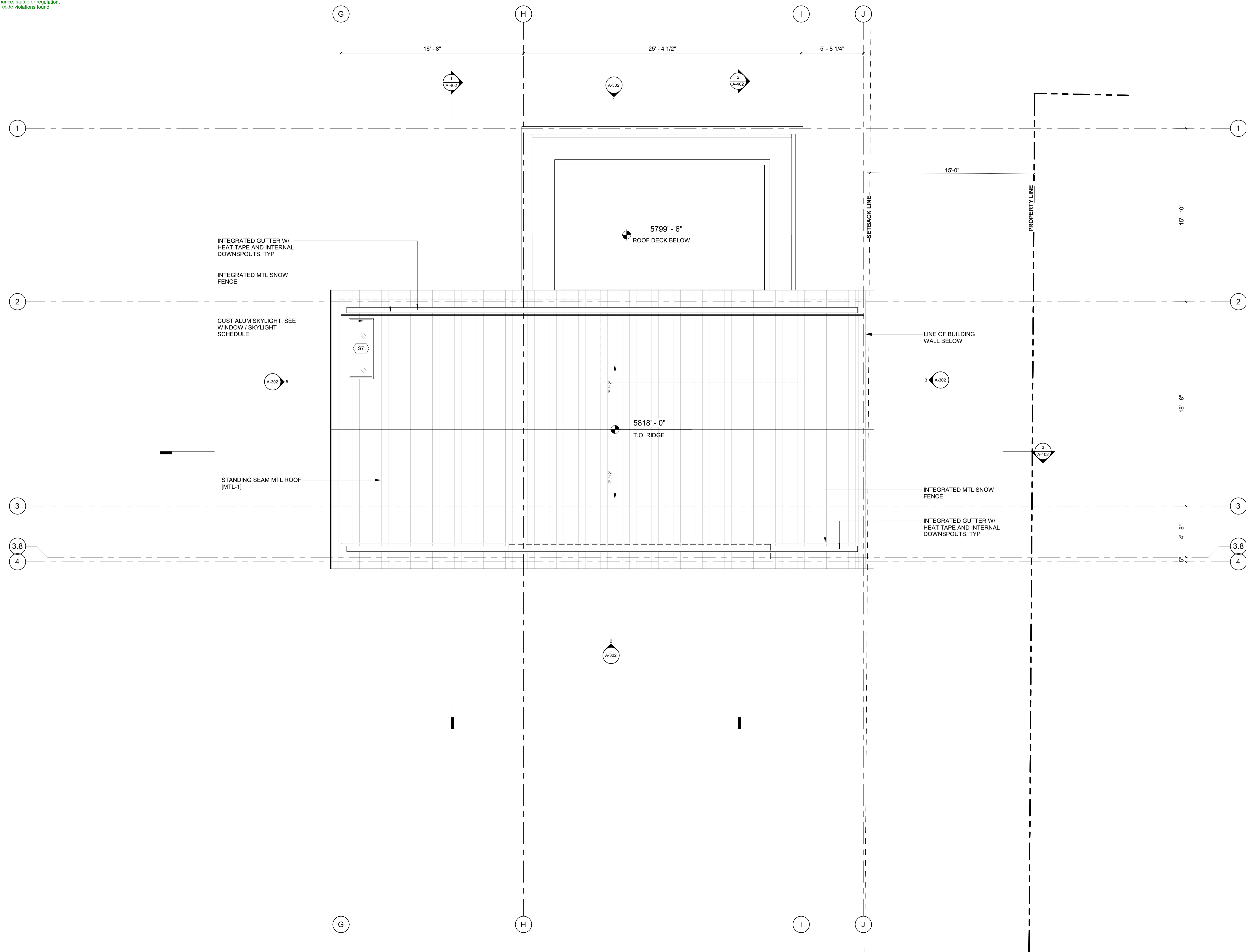
PROJECT:  
**BADGER RESIDENCE**  
 121 BADGER LANE  
 KETCHUM, ID 83340

PROJECT NUMBER  
**#2201**

DRAWING TITLE:  
**ROOF PLAN / ADU**

DRAWING NUMBER:  
**A-118**

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BLD2303-00021  
 06/26/23

2/2/25

**POWER / DATA NOTES:**

1. COORDINATE BATH EXHAUST CONTROLS WITH LIGHTING DESIGNER. INTEGRATE WITH LIGHTING CONTROLS AS REQUIRED BY THE OWNER. POWER BATH EXHAUST THROUGH PANEL LIGHTING.
2. COORDINATE LOCATION OF A/V AND TELEVISION CONNECTIONS WITH A/V CONSULTANT PRIOR TO ROUGH-IN. CONNECT TO LOCAL RECEPTACLE CIRCUIT IF NOT BEING CONNECTED THROUGH THE A/V PANEL.
3. WIRELESS DOCKING STATION ON CORRESPONDING HORIZONTAL SURFACE.
4. PROVIDE OUTLETS LOCATED IN BATHROOM MEDICINE CABINET. COORDINATE LOCATION WITH ARCHITECT PRIOR TO ROUGH-IN. THESE OUTLETS ARE IN ADDITION ABOVE COUNTER OUTLETS THAT ARE REQUIRED BY CODE.

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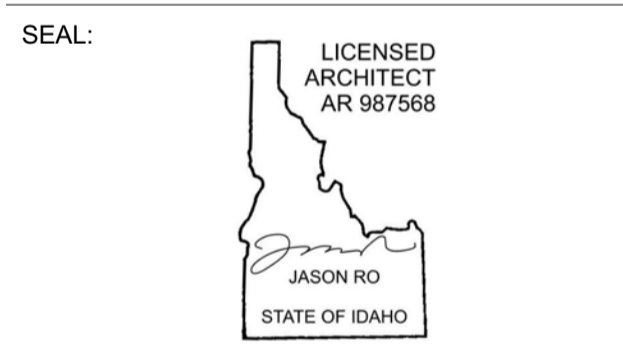
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**PROJECT:**

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 121 BADGER LANE  
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**PROJECT NUMBER**

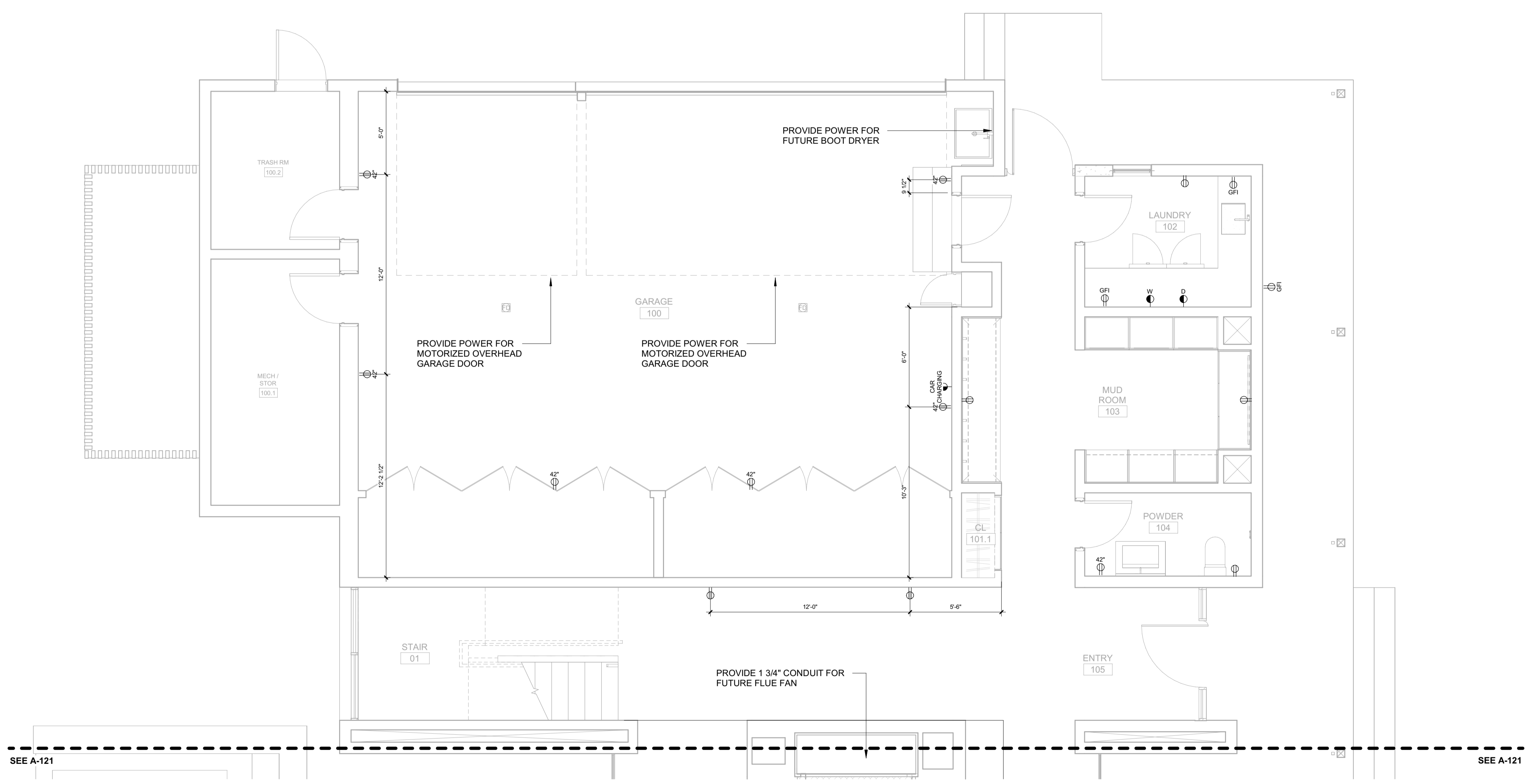
**#2201**

**DRAWING TITLE:**

**POWER + DATA PLAN / LEVEL 01 / NORTH**

**DRAWING NUMBER:**

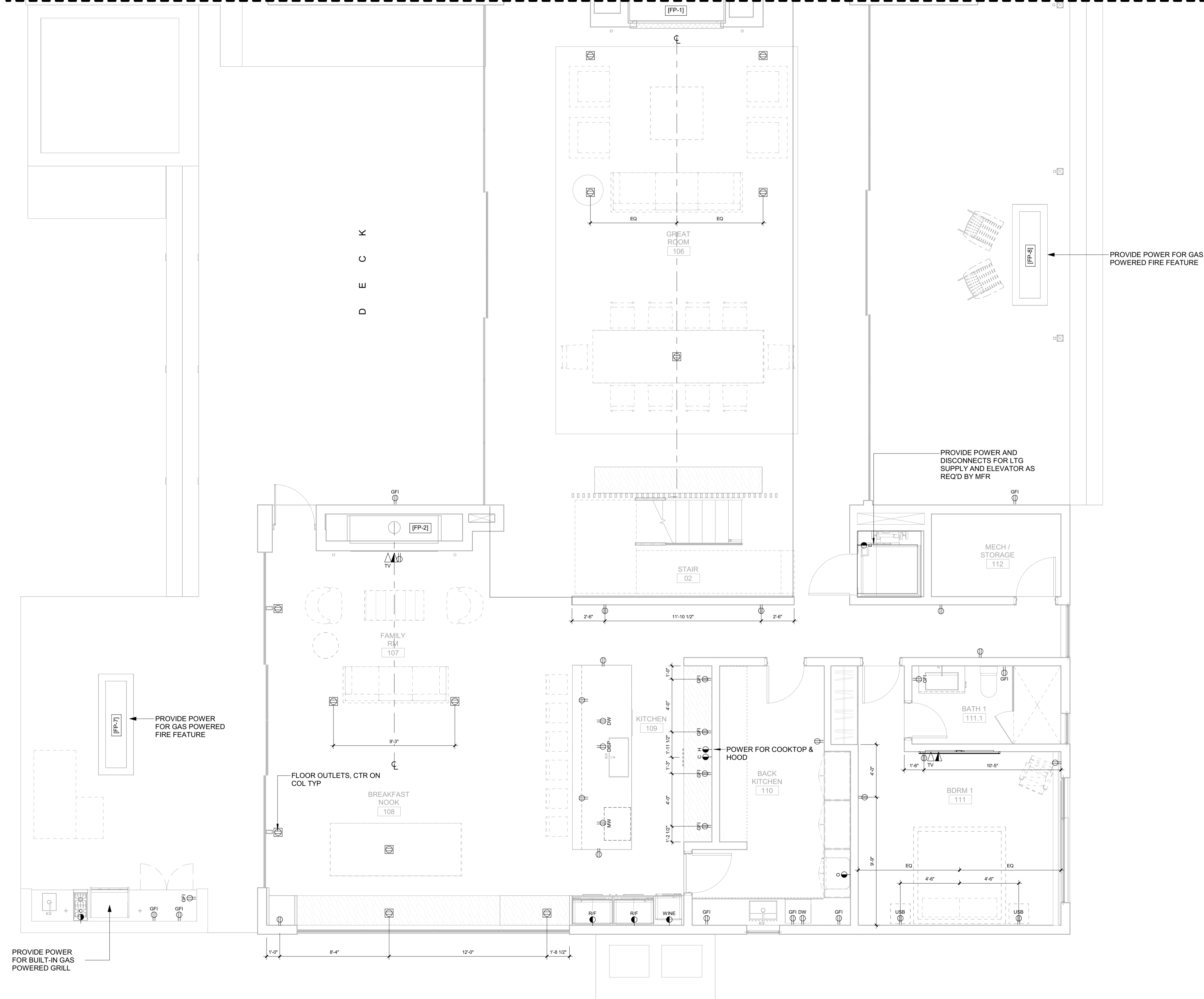
**A-120**



**POWER / DATA NOTES:**

1. COORDINATE BATH EXHAUST CONTROLS WITH LIGHTING DESIGNER. INTEGRATE WITH LIGHTING CONTROLS AS REQUIRED BY THE OWNER. POWER BATH EXHAUST THROUGH PANEL LIGHTING.
2. COORDINATE LOCATION OF AV AND TELEVISION CONNECTIONS WITH AV CONSULTANT PRIOR TO ROUGH-IN. CONNECT TO LOCAL RECEPTACLE CIRCUIT IF NOT BEING CONNECTED THROUGH THE AV PANEL.
3. WIRELESS DOCKING STATION ON CORRESPONDING HORIZONTAL SURFACE.
4. PROVIDE OUTLETS LOCATED IN BATHROOM MEDICINE CABINET. COORDINATE LOCATION WITH ARCHITECT PRIOR TO ROUGH-IN. THESE OUTLETS ARE IN ADDITION ABOVE COUNTER OUTLETS THAT ARE REQUIRED BY CODE.

SEE A-120



**BADGER RESIDENCE**

OWNER:  
**121 BADGER LANE LLC**  
 P.O. BOX 14001-174  
 KETCHUM, ID 83340

PROJECT ARCHITECT:  
**RO | ROCKETT DESIGN**  
 1031 W. MANCHESTER BLVD, UNIT 6  
 INGLEWOOD, CA 90301  
 TEL: 213.784.0014

SURVEYOR:  
**GALENA ENGINEERING, INC.**  
 317 NORTH RIVER STREET  
 HAILEY, ID 83333  
 TEL: 208.788.1705

ENVIRONMENTAL CONSULTANT:  
**SAWTOOTH ENVIRONMENTAL CONSULTING**  
 P.O. BOX 2707 / 540 NORTH FIRST AVE  
 KETCHUM, ID 83340  
 TEL: 208.727.9748

HYDROLOGY / WATER ENGINEERING:  
**BROCKWAY ENGINEERING, INC.**  
 2018 WASHINGTON ST NORTH, SUITE 4  
 TWIN FALLS, ID 83301  
 TEL: 208.736-8543

GEOTECHNICAL ENGINEER:  
**BUTLER ASSOCIATES, INC.**  
 P.O. BOX 1034  
 KETCHUM, ID 83340  
 TEL: 208.720.6432

LANDSCAPE ARCHITECT:  
**BYLA**  
 323 LEWIS STREET, SUITE N  
 KETCHUM, ID 83340  
 TEL: 208.726.5907

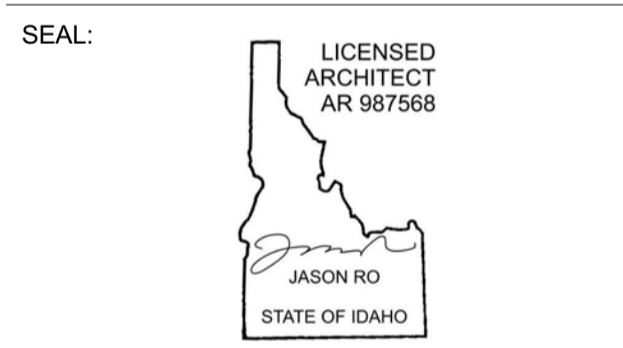
CIVIL ENGINEER:  
**BENCHMARK ASSOCIATES, P.A.**  
 P.O. BOX 733 - 100 BELL DRIVE  
 KETCHUM, IDAHO 83340  
 TEL: 208.726.9512

STRUCTURAL ENGINEER:  
**LFA**  
 319 MAIN STREET  
 EL SEGUNDO, CA 90245  
 TEL: 213.239.9700

MEP ENGINEER:  
**CES ENGINEERING SERVICES, LLC**  
 1001 W OAK BUILDING B SUITE 107  
 BOZEMAN, MT 59715  
 TEL: 406.272.0352

LIGHTING DESIGN CONSULTANT:  
**KGM ARCHITECTURAL LIGHTING**  
 270 CORAL CIRCLE  
 EL SEGUNDO, CA 90245  
 TEL: 310.552.2191

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NO	DATE	BUILDING PERMIT	ISSUE
0	02.28.23	BUILDING PERMIT	

PROJECT:  
**BADGER RESIDENCE**  
 121 BADGER LANE  
 KETCHUM, ID 83340

PROJECT NUMBER:  
**#2201**

DRAWING TITLE:  
**POWER + DATA PLAN / LEVEL 01 / SOUTH**

DRAWING NUMBER:  
**A-121**



These plans have been found to be in substantial compliance with the adopted building codes. These documents are approved contingent on compliance with the mark-ups and notes applied. This is not approval of any code, ordinance, statute or regulation. Corrections will be required for code violations found during the inspection process.

BLD2303-00021  
9/6/26/23

2/26/23

**POWER / DATA NOTES:**

- COORDINATE BATH EXHAUST CONTROLS WITH LIGHTING DESIGNER. INTEGRATE WITH LIGHTING CONTROLS AS REQUIRED BY THE OWNER. POWER BATH EXHAUST THROUGH PANEL LIGHTING.
- COORDINATE LOCATION OF AV AND TELEVISION CONNECTIONS WITH AV CONSULTANT PRIOR TO ROUGH-IN. CONNECT TO LOCAL RECEPTACLE CIRCUIT IF NOT BEING CONNECTED THROUGH THE AV PANEL.
- WIRELESS DOCKING STATION ON CORRESPONDING HORIZONTAL SURFACE.
- PROVIDE OUTLETS LOCATED IN BATHROOM MEDICINE CABINET. COORDINATE LOCATION WITH ARCHITECT PRIOR TO ROUGH-IN. THESE OUTLETS ARE IN ADDITION ABOVE COUNTER OUTLETS THAT ARE REQUIRED BY CODE.

**BADGER RESIDENCE**

**OWNER:**

121 BADGER LANE LLC  
P.O. BOX 14001-174  
KETCHUM, ID 83340

**PROJECT ARCHITECT:**

RO | ROCKETT DESIGN  
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TEL: 213.784.0014

**SURVEYOR:**

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**ENVIRONMENTAL CONSULTANT:**

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KETCHUM, ID 83340  
TEL: 208.727.9748

**HYDROLOGY / WATER ENGINEERING:**

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TEL: 208.736-8543

**GEOTECHNICAL ENGINEER:**

BUTLER ASSOCIATES, INC.  
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TEL: 208.720.6432

**LANDSCAPE ARCHITECT:**

BYLA  
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TEL: 208.726.5907

**CIVIL ENGINEER:**

BENCHMARK ASSOCIATES, P.A.  
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TEL: 208.726.9512

**STRUCTURAL ENGINEER:**

LFA  
319 MAIN STREET  
EL SEGUNDO, CA 90245  
TEL: 213.239.9700

**MEP ENGINEER:**

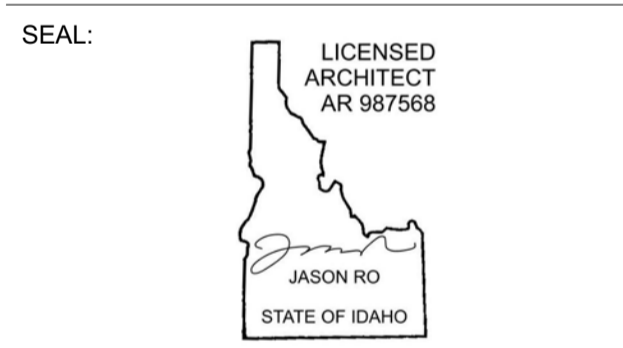
CES ENGINEERING SERVICES, LLC  
1001 W OAK BUILDING B SUITE 107  
BOZEMAN, MT 59715  
TEL: 406.272.0352

**LIGHTING DESIGN CONSULTANT:**

KGM ARCHITECTURAL LIGHTING  
270 CORAL CIRCLE  
EL SEGUNDO, CA 90245  
TEL: 310.552.2191

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NO	DATE	BUILDING PERMIT	ISSUE
0	02.28.23	BUILDING PERMIT	

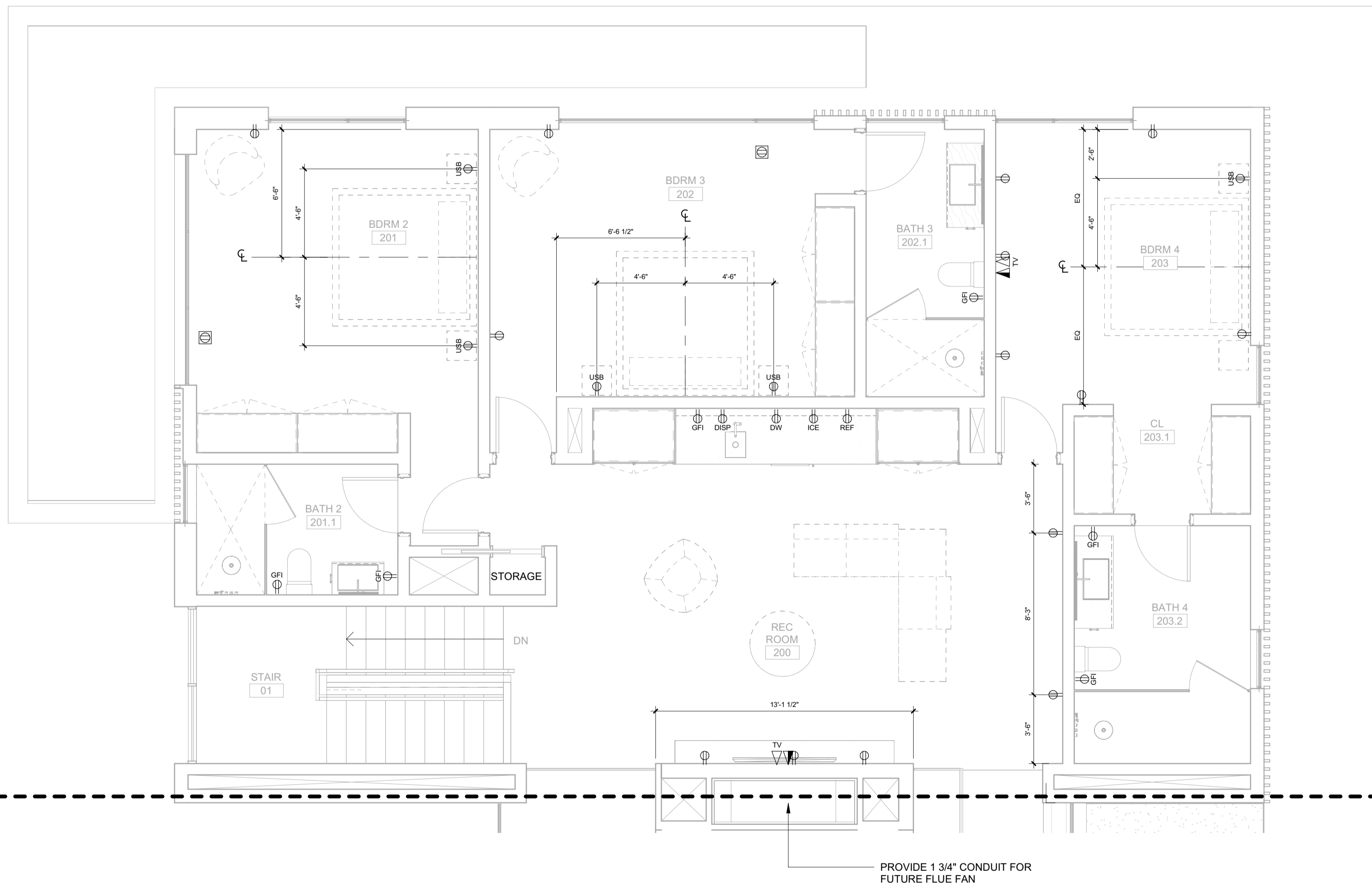
PROJECT:  
**BADGER RESIDENCE**  
121 BADGER LANE  
KETCHUM, ID 83340

PROJECT NUMBER:  
**#2201**

DRAWING TITLE:  
**POWER + DATA PLAN / LEVEL 02 / NORTH**

DRAWING NUMBER:  
**A-122**

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SEE A-123

SEE A-123



Approved  
 These plans have been found to be in substantial compliance with the adopted building codes. These documents are approved contingent on compliance with the mark-ups and notes applied. This is not approval of any code, ordinance, statute or regulation. Corrections will be required for code violations found during the inspection process.

BLD2303-00021  
 06/26/23

2/2/23

**POWER / DATA NOTES:**

1. COORDINATE BATH EXHAUST CONTROLS WITH LIGHTING DESIGNER. INTEGRATE WITH LIGHTING CONTROLS AS REQUIRED BY THE OWNER. POWER BATH EXHAUST THROUGH PANEL LIGHTING.
2. COORDINATE LOCATION OF AV AND TELEVISION CONNECTIONS WITH AV CONSULTANT PRIOR TO ROUGH-IN. CONNECT TO LOCAL RECEPTACLE CIRCUIT IF NOT BEING CONNECTED THROUGH THE AV PANEL.
3. WIRELESS DOCKING STATION ON CORRESPONDING HORIZONTAL SURFACE.
4. PROVIDE OUTLETS LOCATED IN BATHROOM MEDICINE CABINET. COORDINATE LOCATION WITH ARCHITECT PRIOR TO ROUGH-IN. THESE OUTLETS ARE IN ADDITION ABOVE COUNTER OUTLETS THAT ARE REQUIRED BY CODE.

**BADGER RESIDENCE**

OWNER:  
**121 BADGER LANE LLC**  
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 KETCHUM, ID 83340

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 TEL: 208.727.9748

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GEOTECHNICAL ENGINEER:  
**BUTLER ASSOCIATES, INC.**  
 P.O. BOX 1034  
 KETCHUM, ID 83340  
 TEL: 208.720.6432

LANDSCAPE ARCHITECT:  
**BYLA**  
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 TEL: : 208.726.5907

CIVIL ENGINEER:  
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STRUCTURAL ENGINEER:  
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 TEL: 213.239.9700

MEP ENGINEER:  
**CES ENGINEERING SERVICES, LLC**  
 1001 W OAK BUILDING B SUITE 107  
 BOZEMAN, MT 59715  
 TEL: 406.272.0352

LIGHTING DESIGN CONSULTANT:  
**KGM ARCHITECTURAL LIGHTING**  
 270 CORAL CIRCLE  
 EL SEGUNDO, CA 90245  
 TEL: 310.552.2191

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SEAL:  
 LICENSED ARCHITECT  
 AR 987568  
 JASON RO  
 STATE OF IDAHO

0	02.28.23	BUILDING PERMIT
NO	DATE	ISSUE

PROJECT:  
**BADGER RESIDENCE**  
 121 BADGER LANE  
 KETCHUM, ID 83340

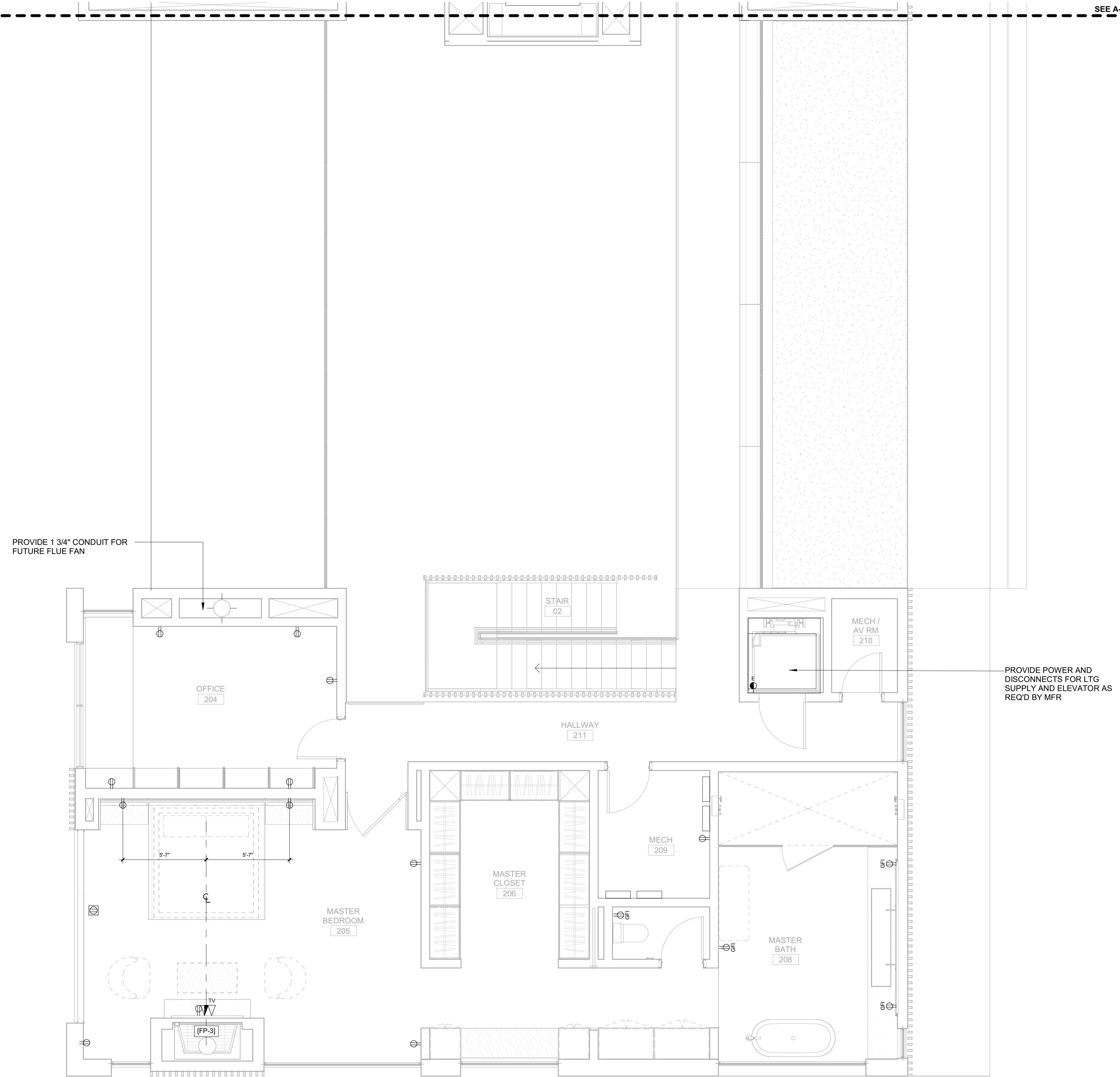
PROJECT NUMBER  
**#2201**

DRAWING TITLE:  
**POWER + DATA PLAN / LEVEL 02 / SOUTH**

DRAWING NUMBER:  
**A-123**

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SEE A-122

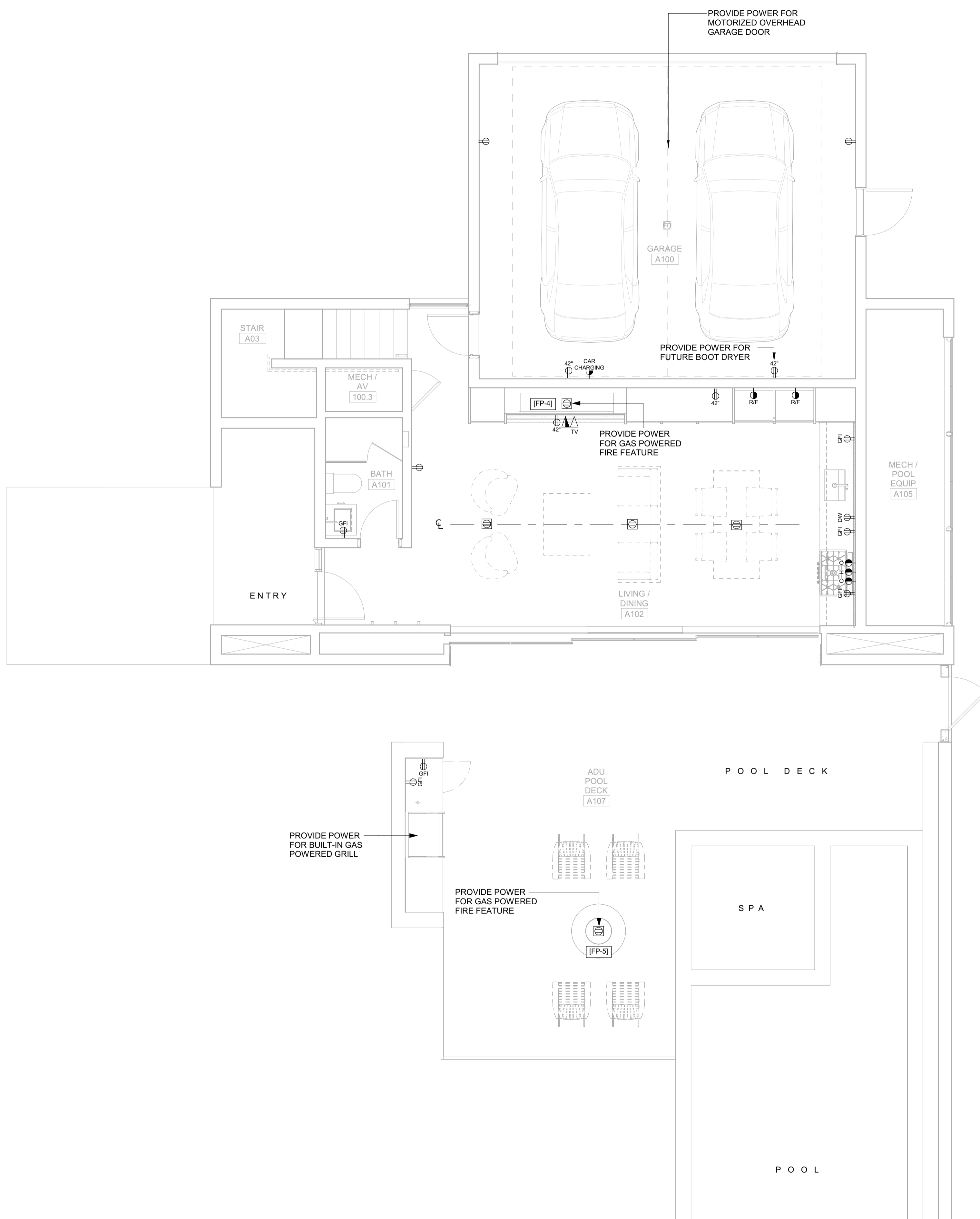




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BLD2303-00021  
06/26/23

2/2/23



**POWER / DATA NOTES:**

1. COORDINATE BATH EXHAUST CONTROLS WITH LIGHTING DESIGNER. INTEGRATE WITH LIGHTING CONTROLS AS REQUIRED BY THE OWNER. POWER BATH EXHAUST THROUGH PANEL LIGHTING.
2. COORDINATE LOCATION OF A/V AND TELEVISION CONNECTIONS WITH A/V CONSULTANT PRIOR TO ROUGH-IN. CONNECT TO LOCAL RECEPTACLE CIRCUIT IF NOT BEING CONNECTED THROUGH THE A/V PANEL.
3. WIRELESS DOCKING STATION ON CORRESPONDING HORIZONTAL SURFACE.
4. PROVIDE OUTLETS LOCATED IN BATHROOM MEDICINE CABINET. COORDINATE LOCATION WITH ARCHITECT PRIOR TO ROUGH-IN. THESE OUTLETS ARE IN ADDITION ABOVE COUNTER OUTLETS THAT ARE REQUIRED BY CODE.

**BADGER RESIDENCE**

OWNER:  
121 BADGER LANE LLC  
P.O. BOX 14001-174  
KETCHUM, ID 83340

PROJECT ARCHITECT:  
RO | ROCKETT DESIGN  
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TEL: 213.784.0014

SURVEYOR:  
GALENA ENGINEERING, INC.  
317 NORTH RIVER STREET  
HAILEY, ID 83333  
TEL: 208.788.1705

ENVIRONMENTAL CONSULTANT:  
SAWTOOTH ENVIRONMENTAL CONSULTING  
P.O. BOX 2707 / 540 NORTH FIRST AVE  
KETCHUM, ID 83340  
TEL: 208.727.9748

HYDROLOGY / WATER ENGINEERING:  
BROCKWAY ENGINEERING, INC.  
2018 WASHINGTON ST NORTH, SUITE 4  
TWIN FALLS, ID 83301  
TEL: 208.736-8543

GEOTECHNICAL ENGINEER:  
BUTLER ASSOCIATES, INC.  
P.O. BOX 1034  
KETCHUM, ID 83340  
TEL: 208.720.6432

LANDSCAPE ARCHITECT:  
BYLA  
323 LEWIS STREET, SUITE N  
KETCHUM, ID 83340  
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CIVIL ENGINEER:  
BENCHMARK ASSOCIATES, P.A.  
P.O. BOX 733 - 100 BELL DRIVE  
KETCHUM, IDAHO 83340  
TEL: 208.726.9512

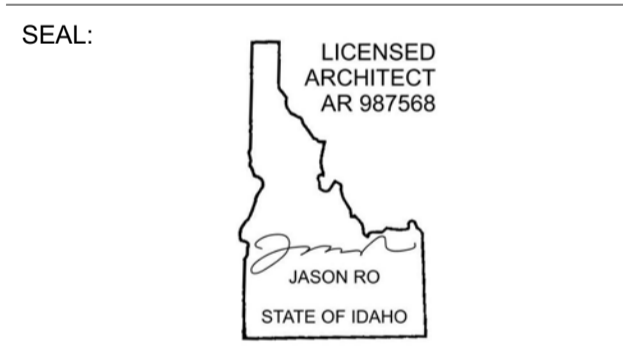
STRUCTURAL ENGINEER:  
LFA  
319 MAIN STREET  
EL SEGUNDO, CA 90245  
TEL: 213.239.9700

MEP ENGINEER:  
CES ENGINEERING SERVICES, LLC  
1001 W OAK BUILDING B SUITE 107  
BOZEMAN, MT 59715  
TEL: 406.272.0352

LIGHTING DESIGN CONSULTANT:  
KGM ARCHITECTURAL LIGHTING  
270 CORAL CIRCLE  
EL SEGUNDO, CA 90245  
TEL: 310.552.2191

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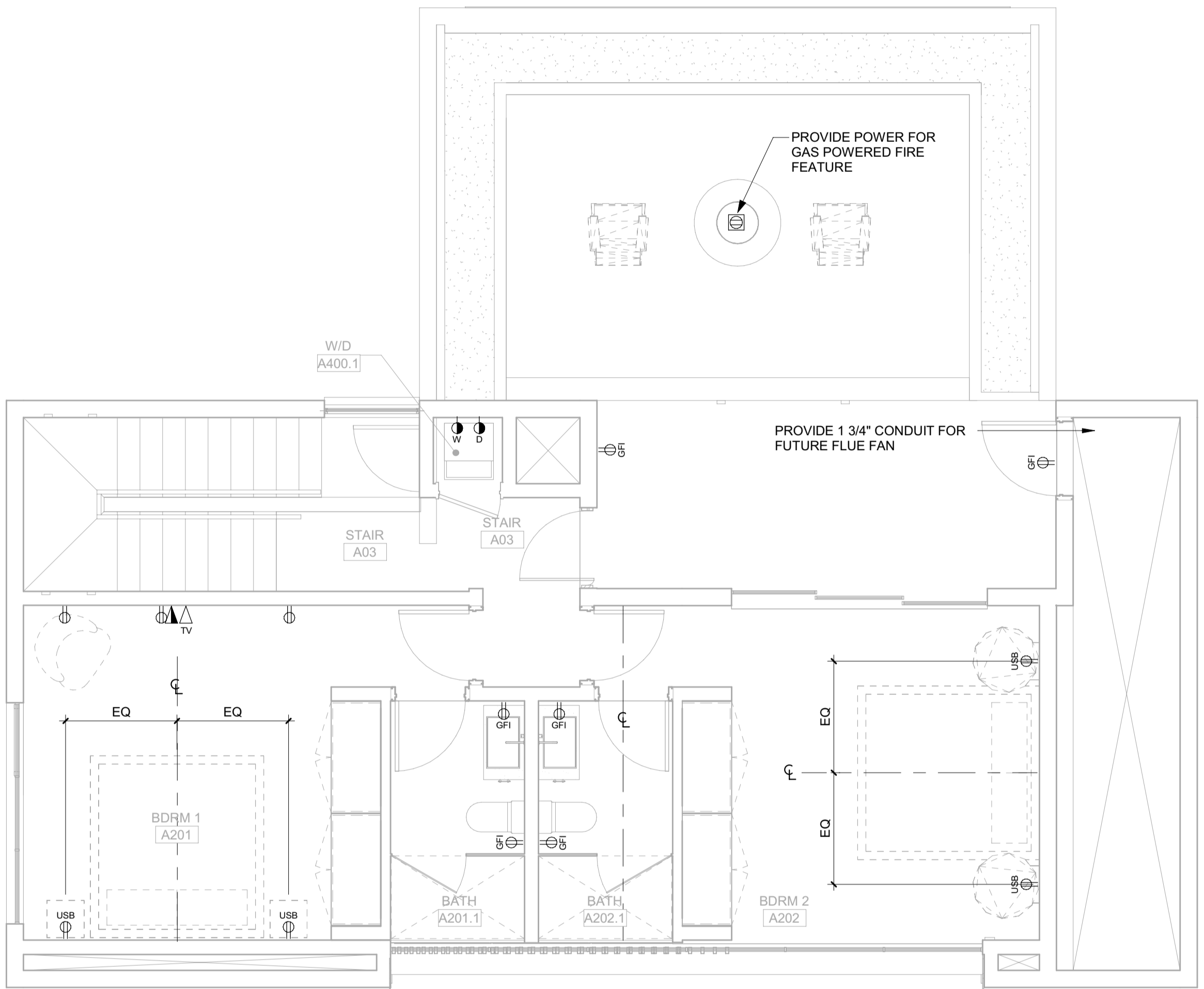
NO	DATE	BUILDING PERMIT ISSUE
0	02.28.23	BUILDING PERMIT ISSUE

PROJECT:  
**BADGER RESIDENCE**  
121 BADGER LANE  
KETCHUM, ID 83340

PROJECT NUMBER:  
**#2201**

DRAWING TITLE:  
**POWER + DATA PLAN / LEVEL 01 / ADU**

DRAWING NUMBER:  
**A-124**



**POWER / DATA NOTES:**

1. COORDINATE BATH EXHAUST CONTROLS WITH LIGHTING DESIGNER. INTEGRATE WITH LIGHTING CONTROLS AS REQUIRED BY THE OWNER. POWER BATH EXHAUST THROUGH PANEL LIGHTING.
2. COORDINATE LOCATION OF AV AND TELEVISION CONNECTIONS WITH AV CONSULTANT PRIOR TO ROUGH-IN. CONNECT TO LOCAL RECEPTACLE CIRCUIT IF NOT BEING CONNECTED THROUGH THE AV PANEL.
3. WIRELESS DOCKING STATION ON CORRESPONDING HORIZONTAL SURFACE.
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**BADGER RESIDENCE**

**OWNER:**  
 121 BADGER LANE LLC  
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 KETCHUM, ID 83340

**PROJECT ARCHITECT:**  
 RO | ROCKETT DESIGN  
 1031 W. MANCHESTER BLVD, UNIT 6  
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 TEL: 213.784.0014

**SURVEYOR:**  
 GALENA ENGINEERING, INC.  
 317 NORTH RIVER STREET  
 HAILEY, ID 83333  
 TEL: 208.788.1705

**ENVIRONMENTAL CONSULTANT:**  
 SAWTOOTH ENVIRONMENTAL CONSULTING  
 P.O. BOX 2707 / 540 NORTH FIRST AVE  
 KETCHUM, ID 83340  
 TEL: 208.727.9748

**HYDROLOGY / WATER ENGINEERING:**  
 BROCKWAY ENGINEERING, INC.  
 2018 WASHINGTON ST NORTH, SUITE 4  
 TWIN FALLS, ID 83301  
 TEL: 208.736-8543

**GEOTECHNICAL ENGINEER:**  
 BUTLER ASSOCIATES, INC.  
 P.O. BOX 1034  
 KETCHUM, ID 83340  
 TEL: 208.720.6432

**LANDSCAPE ARCHITECT:**  
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 323 LEWIS STREET, SUITE N  
 KETCHUM, ID 83340  
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**CIVIL ENGINEER:**  
 BENCHMARK ASSOCIATES, P.A.  
 P.O. BOX 733 - 100 BELL DRIVE  
 KETCHUM, IDAHO 83340  
 TEL: 208.726.9512

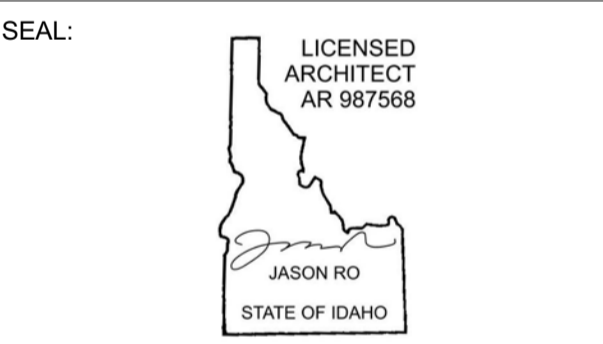
**STRUCTURAL ENGINEER:**  
 LFA  
 319 MAIN STREET  
 EL SEGUNDO, CA 90245  
 TEL: 213.239.9700

**MEP ENGINEER:**  
 CES ENGINEERING SERVICES, LLC  
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 TEL: 406.272.0352

**LIGHTING DESIGN CONSULTANT:**  
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 270 CORAL CIRCLE  
 EL SEGUNDO, CA 90245  
 TEL: 310.552.2191

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NO	DATE	ISSUE

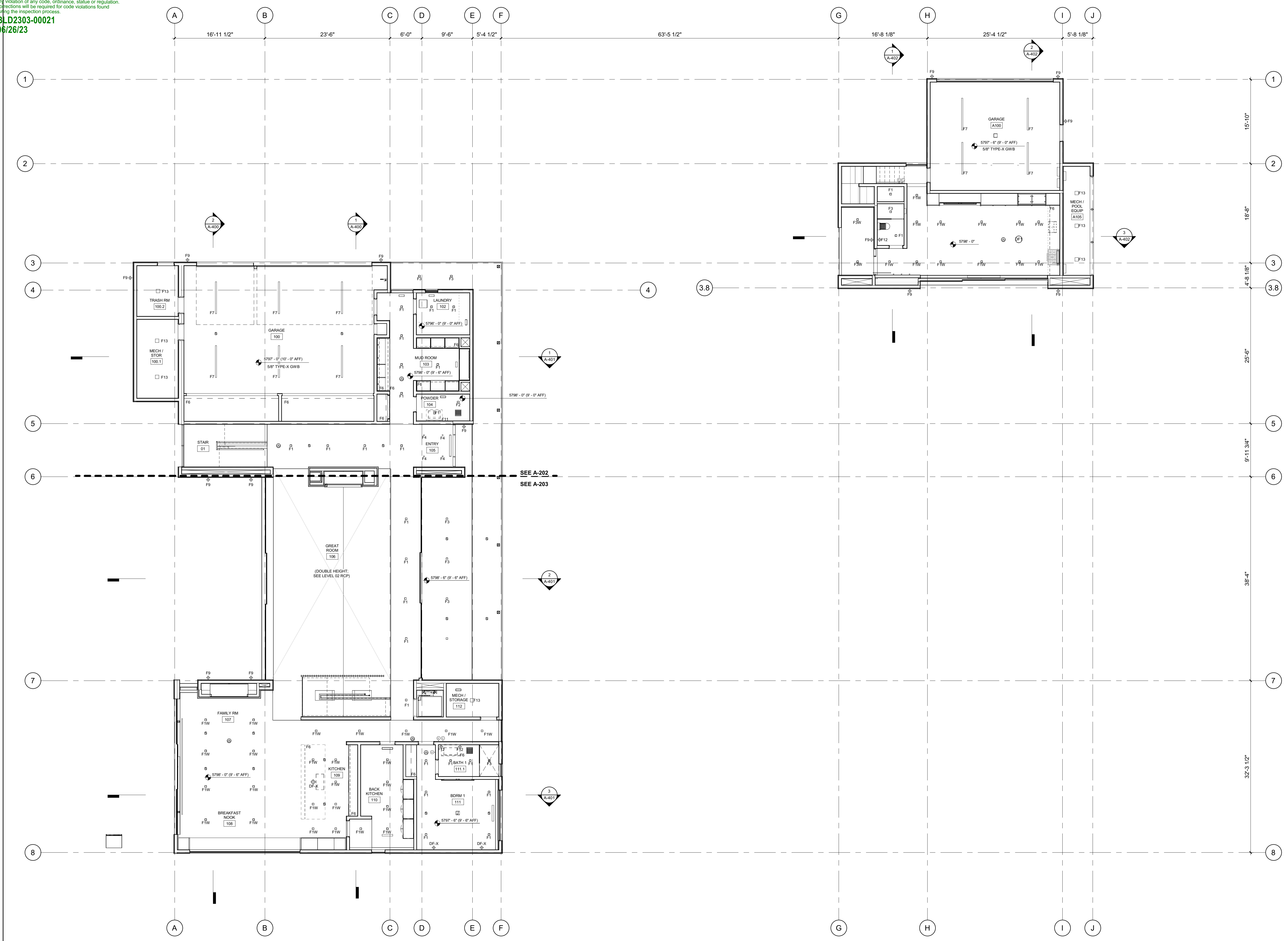
**PROJECT:**  
**BADGER RESIDENCE**  
 121 BADGER LANE  
 KETCHUM, ID 83340

**PROJECT NUMBER:**  
**#2201**

**DRAWING TITLE:**  
**POWER + DATA PLAN / LEVEL 02 / ADU**

**DRAWING NUMBER:**  
**A-125**

Approved  
 These plans have been found to be in substantial compliance with the adopted building codes. These documents are approved contingent on compliance with the mark-ups and notes applied. This is not approval of any code, ordinance, statute or regulation. Corrections will be required for code violations found during the inspection process.  
 BLD2303-00021  
 9/6/26/23



**BADGER RESIDENCE**

OWNER:  
 121 BADGER LANE LLC  
 P.O. BOX 14001-174  
 KETCHUM, ID 83340

PROJECT ARCHITECT:  
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 INGLESWOOD, CA 90301  
 TEL: 213.784.0014

SURVEYOR:  
 GALENA ENGINEERING, INC.  
 317 NORTH RIVER STREET  
 HAILEY, ID 83333  
 TEL: 208.788.1705

ENVIRONMENTAL CONSULTANT:  
 SAWTOOTH ENVIRONMENTAL CONSULTING  
 P.O. BOX 2707 / 540 NORTH FIRST AVE  
 KETCHUM, ID 83340  
 TEL: 208.727.9748

HYDROLOGY / WATER ENGINEERING:  
 BROCKWAY ENGINEERING, INC.  
 2018 WASHINGTON ST NORTH, SUITE 4  
 TWIN FALLS, ID 83301  
 TEL: 208.736-8543

GEOTECHNICAL ENGINEER:  
 BUTLER ASSOCIATES, INC.  
 P.O. BOX 1034  
 KETCHUM, ID 83340  
 TEL: 208.720.6432

LANDSCAPE ARCHITECT:  
 BYLA  
 323 LEWIS STREET, SUITE N  
 KETCHUM, ID 83340  
 TEL: 208.726.5907

CIVIL ENGINEER:  
 BENCHMARK ASSOCIATES, P.A.  
 P.O. BOX 733 - 100 BELL DRIVE  
 KETCHUM, IDAHO 83340  
 TEL: 208.726.9512

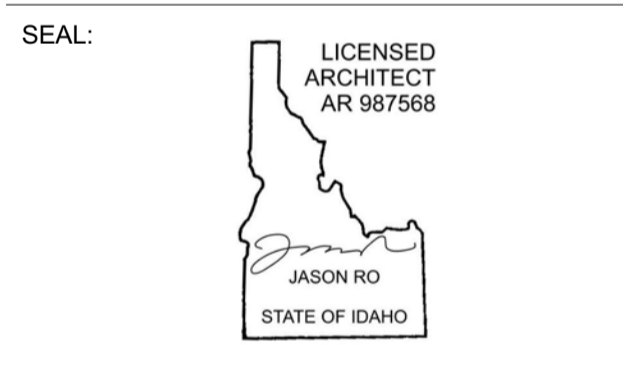
STRUCTURAL ENGINEER:  
 LFA  
 319 MAIN STREET  
 EL SEGUNDO, CA 90245  
 TEL: 213.239.9700

MEP ENGINEER:  
 CES ENGINEERING SERVICES, LLC  
 1001 W OAK BUILDING B SUITE 107  
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 TEL: 406.272.0352

LIGHTING DESIGN CONSULTANT:  
 KGM ARCHITECTURAL LIGHTING  
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NO	DATE	BUILDING PERMIT	ISSUE
0	02.28.23		

PROJECT:  
**BADGER RESIDENCE**  
 121 BADGER LANE  
 KETCHUM, ID 83340

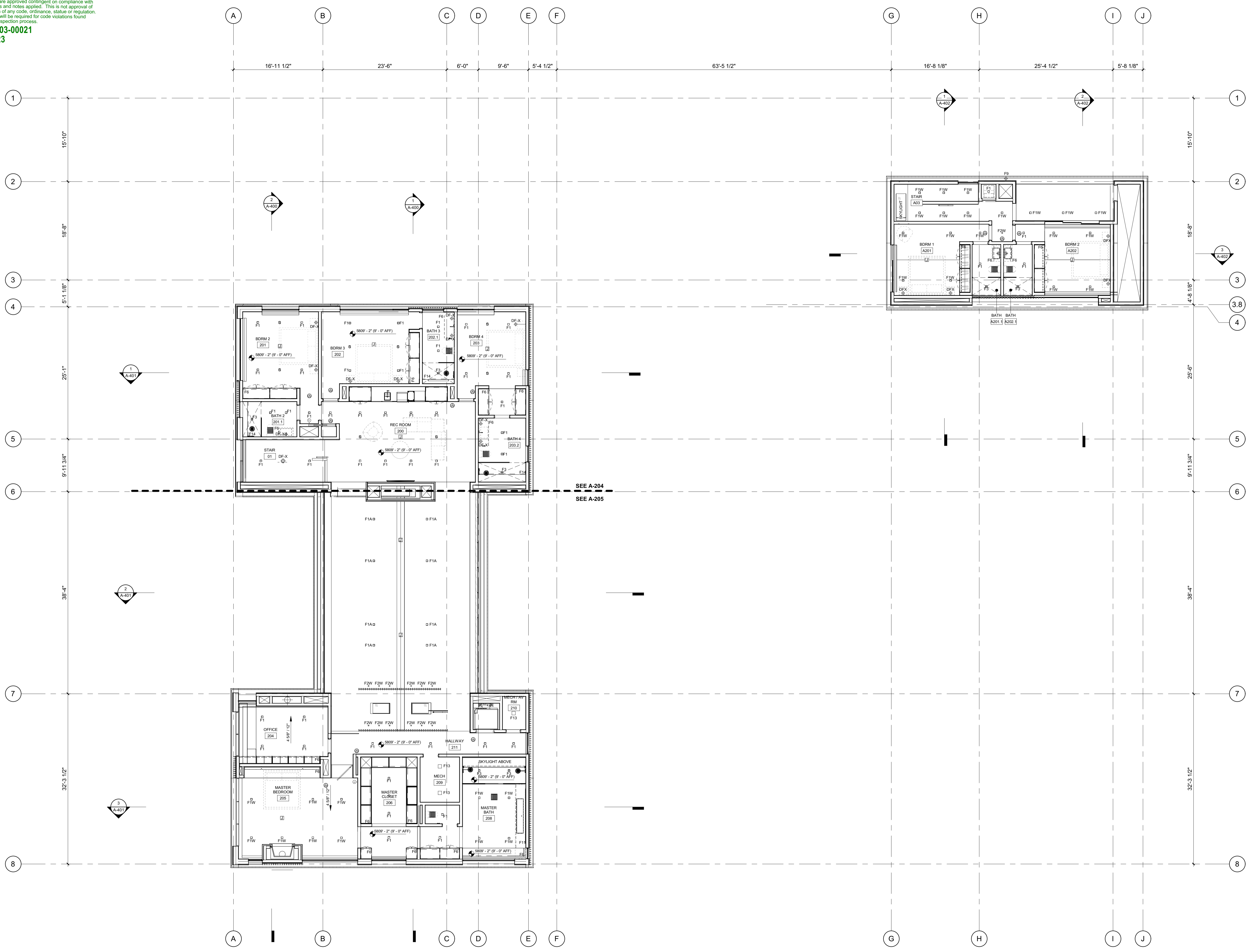
PROJECT NUMBER  
**#2201**

DRAWING TITLE:  
**REFERENCE RCP / LEVEL 01**

DRAWING NUMBER:  
**A-200**

**Approved**  
 These plans have been found to be in substantial compliance with the applicable building codes. These documents are approved contingent on compliance with the mark-ups and notes applied. This is not approval of any code, ordinance, statute or regulation. Corrections will be required for code violations found during the inspection process.  
 BLD2303-00021  
 9/6/26/23

2/26/23



**BADGER RESIDENCE**

OWNER:  
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**SAWTOOTH ENVIRONMENTAL CONSULTING**  
 P.O. BOX 2707 / 540 NORTH FIRST AVE  
 KETCHUM, ID 83340  
 TEL: 208.727.9748

HYDROLOGY / WATER ENGINEERING:  
**BROCKWAY ENGINEERING, INC.**  
 2018 WASHINGTON ST NORTH, SUITE 4  
 TWIN FALLS, ID 83301  
 TEL: 208.736-8543

GEOTECHNICAL ENGINEER:  
**BUTLER ASSOCIATES, INC.**  
 P.O. BOX 1034  
 KETCHUM, ID 83340  
 TEL: 208.720.6432

LANDSCAPE ARCHITECT:  
**BYLA**  
 323 LEWIS STREET, SUITE N  
 KETCHUM, ID 83340  
 TEL: 208.726.5907

CIVIL ENGINEER:  
**BENCHMARK ASSOCIATES, P.A.**  
 P.O. BOX 733 - 100 BELL DRIVE  
 KETCHUM, IDAHO 83340  
 TEL: 208.726.9512

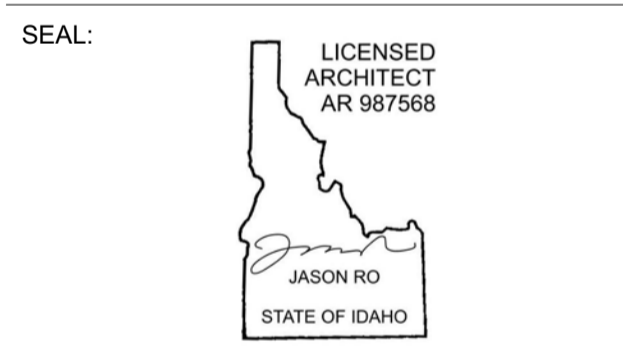
STRUCTURAL ENGINEER:  
**LFA**  
 319 MAIN STREET  
 EL SEGUNDO, CA 90245  
 TEL: 213.239.9700

MEP ENGINEER:  
**CES ENGINEERING SERVICES, LLC**  
 1001 W OAK BUILDING B SUITE 107  
 BOZEMAN, MT 59715  
 TEL: 406.272.0352

LIGHTING DESIGN CONSULTANT:  
**KGM ARCHITECTURAL LIGHTING**  
 270 CORAL CIRCLE  
 EL SEGUNDO, CA 90245  
 TEL: 310.552.2191

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0	02.28.23	BUILDING PERMIT	

PROJECT:  
**BADGER RESIDENCE**  
 121 BADGER LANE  
 KETCHUM, ID 83340

PROJECT NUMBER  
**#2201**

DRAWING TITLE:  
**REFERENCE RCP / LEVEL 02**

DRAWING NUMBER:  
**A-201**



**RCP NOTES:**

1. SEE FLOOR PLANS FOR LIGHTING FIXTURES AT FLOORS OR LOW WALLS
2. PROVIDE SMOKE AND CO2 DETECTORS AS REQ'D BY CODE
3. FIRE SPRINKLER SYSTEM / ALARM UNDER SEPARATE PERMIT, COORDINATE LOCATION OF ALL SPRINKLER HEADS AND ALARM WITH ARCHITECT. SPRINKLER HEADS TO BE FLUSH CONCEALED, MATCH CLG COLOR.
4. COORDINATE ALL LAYOUT CONFLICTS WITH ARCHITECT.
5. COORDINATE MECHANICAL GRILLES WITH ARCHITECT; MUD-IN TYP IN GYP, CUSTOM BUILT-IN GRILLES TYP IN WOOD CEILINGS.
6. DECORATIVE LIGHT FIXTURES SHOWN FOR LOCATION ONLY, COORDINATE WITH OWNER AND ARCHITECT.
7. COORDINATE POCKET SHADE LOCATIONS WITH ARCHITECT AND OWNER.
8. ELECTRICAL SYSTEM TO BE DESIGN-BUILD COORDINATE WITH ARCHITECT.
9. SEE PROJECT MANUAL FOR LIGHT FIXTURE SPECS.
10. BATHROOM EXHAUST FANS SHALL BE TIED INTO LIGHTING CONTROL SYSTEM FOR TIMED SHUT-OFF. ALL BATHROOM FANS SHALL BE FITTED WITH CUSTOM GRILLES PAINTED TO MATCH CEILING.

**BADGER RESIDENCE**

OWNER:  
**121 BADGER LANE LLC**  
 P.O. BOX 14001-174  
 KETCHUM, ID 83340

PROJECT ARCHITECT:  
**RO | ROCKETT DESIGN**  
 1031 W. MANCHESTER BLVD, UNIT 6  
 INGLEWOOD, CA 90301  
 TEL: 213.784.0014

SURVEYOR:  
**GALENA ENGINEERING, INC.**  
 317 NORTH RIVER STREET  
 HAILEY, ID 83333  
 TEL: 208.788.1705

ENVIRONMENTAL CONSULTANT:  
**SAWTOOTH ENVIRONMENTAL CONSULTING**  
 P.O. BOX 2707 / 540 NORTH FIRST AVE  
 KETCHUM, ID 83340  
 TEL: 208.727.9748

HYDROLOGY / WATER ENGINEERING:  
**BROCKWAY ENGINEERING, INC.**  
 2018 WASHINGTON ST NORTH, SUITE 4  
 TWIN FALLS, ID 83301  
 TEL: 208.736-8543

GEOTECHNICAL ENGINEER:  
**BUTLER ASSOCIATES, INC.**  
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 KETCHUM, ID 83340  
 TEL: 208.720.6432

LANDSCAPE ARCHITECT:  
**BYLA**  
 323 LEWIS STREET, SUITE N  
 KETCHUM, ID 83340  
 TEL: 208.726.5907

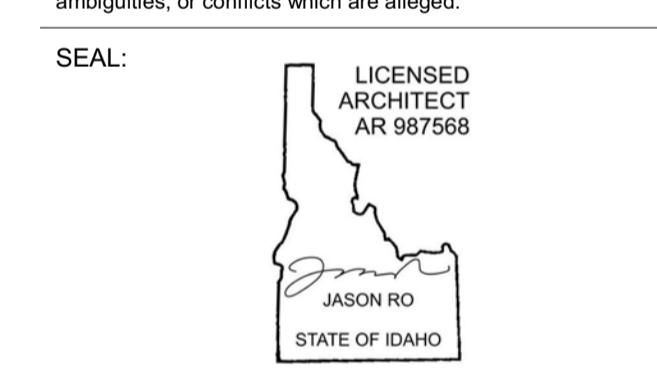
CIVIL ENGINEER:  
**BENCHMARK ASSOCIATES, P.A.**  
 P.O. BOX 733 - 100 BELL DRIVE  
 KETCHUM, IDAHO 83340  
 TEL: 208.726.9512

STRUCTURAL ENGINEER:  
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 319 MAIN STREET  
 EL SEGUNDO, CA 90245  
 TEL: 213.239.9700

MEP ENGINEER:  
**CES ENGINEERING SERVICES, LLC**  
 1001 W OAK BUILDING B SUITE 107  
 BOZEMAN, MT 59715  
 TEL: 406.272.0352

LIGHTING DESIGN CONSULTANT:  
**KGM ARCHITECTURAL LIGHTING**  
 270 CORAL CIRCLE  
 EL SEGUNDO, CA 90245  
 TEL: 310.552.2191

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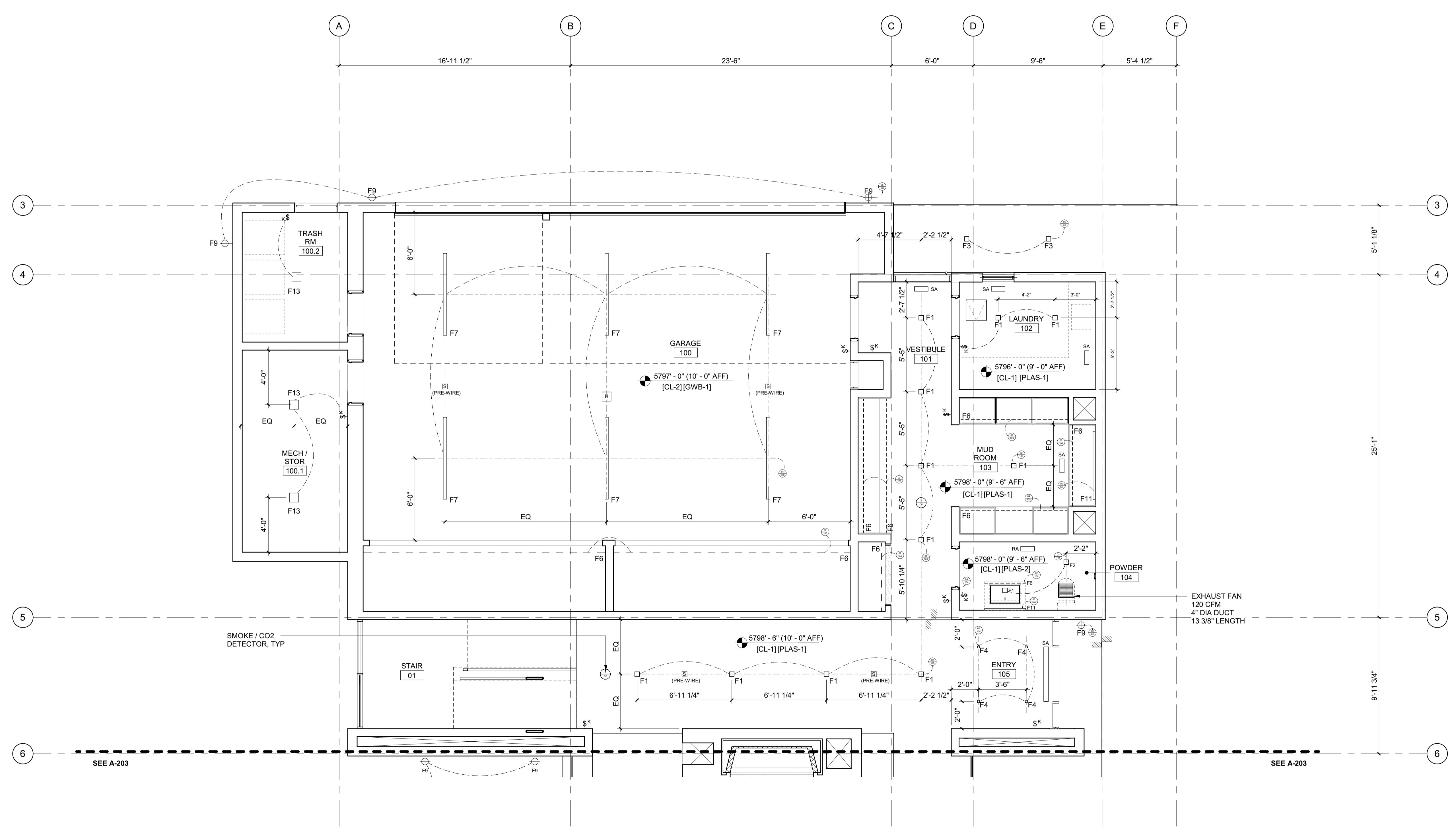
PROJECT:  
**BADGER RESIDENCE**  
 121 BADGER LANE  
 KETCHUM, ID 83340

PROJECT NUMBER:  
**#2201**

DRAWING TITLE:  
**RCP / LEVEL 01 / NORTH**

DRAWING NUMBER:  
**A-202**

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- RCP NOTES:**
- SEE FLOOR PLANS FOR LIGHTING FIXTURES AT FLOORS OR LOW WALLS
  - PROVIDE SMOKE AND CO2 DETECTORS AS REQ'D BY CODE
  - FIRE SPRINKLER SYSTEM / ALARM UNDER SEPARATE PERMIT. COORDINATE LOCATION OF ALL SPRINKLER HEADS AND ALARM WITH ARCHITECT. SPRINKLER HEADS TO BE FLUSH CONCEALED, MATCH CLG COLOR.
  - COORDINATE ALL LAYOUT CONFLICTS WITH ARCHITECT
  - COORDINATE MECHANICAL GRILLES WITH ARCHITECT; MUD-IN TYP IN GYP, CUSTOM BUILT-IN GRILLES TYP IN WOOD CEILINGS.
  - DECORATIVE LIGHT FIXTURES SHOWN FOR LOCATION ONLY. COORDINATE WITH OWNER AND ARCHITECT.
  - COORDINATE POCKET SHADE LOCATIONS WITH ARCHITECT AND OWNER.
  - ELECTRICAL SYSTEM TO BE DESIGN-BUILD COORDINATE WITH ARCHITECT.
  - SEE PROJECT MANUAL FOR LIGHT FIXTURE SPECS.
  - BATHROOM EXHAUST FANS SHALL BE TIED INTO LIGHTING CONTROL SYSTEM FOR TIMED SHUT-OFF.
  - ALL BATHROOM FANS SHALL BE FITTED WITH CUSTOM GRILLES PAINTED TO MATCH CEILING.

**BADGER RESIDENCE**

**OWNER:**  
 121 BADGER LANE LLC  
 P.O. BOX 14001-174  
 KETCHUM, ID 83340

**PROJECT ARCHITECT:**  
 ROJ ROCKETT DESIGN  
 1031 W. MANCHESTER BLVD, UNIT 6  
 INGLEWOOD, CA 90301  
 TEL: 213.784.0014

**SURVEYOR:**  
 GALENA ENGINEERING, INC.  
 317 NORTH RIVER STREET  
 HAILEY, ID 83333  
 TEL: 208.788.1705

**ENVIRONMENTAL CONSULTANT:**  
 SAWTOOTH ENVIRONMENTAL CONSULTING  
 P.O. BOX 2707 / 540 NORTH FIRST AVE  
 KETCHUM, ID 83340  
 TEL: 208.727.9748

**HYDROLOGY / WATER ENGINEERING:**  
 BROCKWAY ENGINEERING, INC.  
 2018 WASHINGTON ST NORTH, SUITE 4  
 TWIN FALLS, ID 83301  
 TEL: 208.736-8543

**GEOTECHNICAL ENGINEER:**  
 BUTLER ASSOCIATES, INC.  
 P.O. BOX 1034  
 KETCHUM, ID 83340  
 TEL: 208.720.6432

**LANDSCAPE ARCHITECT:**  
 BYLA  
 323 LEWIS STREET, SUITE N  
 KETCHUM, ID 83340  
 TEL: 208.726.5907

**CIVIL ENGINEER:**  
 BENCHMARK ASSOCIATES, P.A.  
 P.O. BOX 733 - 100 BELL DRIVE  
 KETCHUM, IDAHO 83340  
 TEL: 208.726.9512

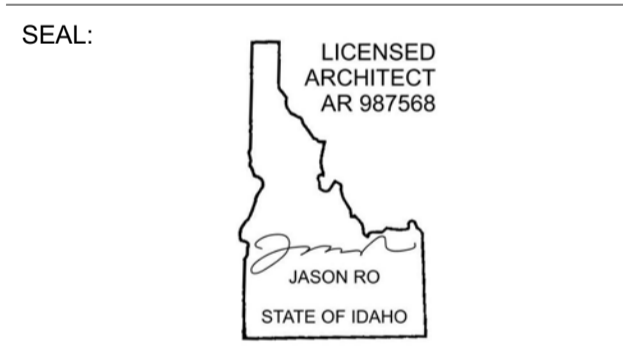
**STRUCTURAL ENGINEER:**  
 LFA  
 319 MAIN STREET  
 EL SEGUNDO, CA 90245  
 TEL: 213.239.9700

**MEP ENGINEER:**  
 CES ENGINEERING SERVICES, LLC  
 1001 W OAK BUILDING B SUITE 107  
 BOZEMAN, MT 59715  
 TEL: 406.272.0352

**LIGHTING DESIGN CONSULTANT:**  
 KGM ARCHITECTURAL LIGHTING  
 270 CORAL CIRCLE  
 EL SEGUNDO, CA 90245  
 TEL: 310.552.2191

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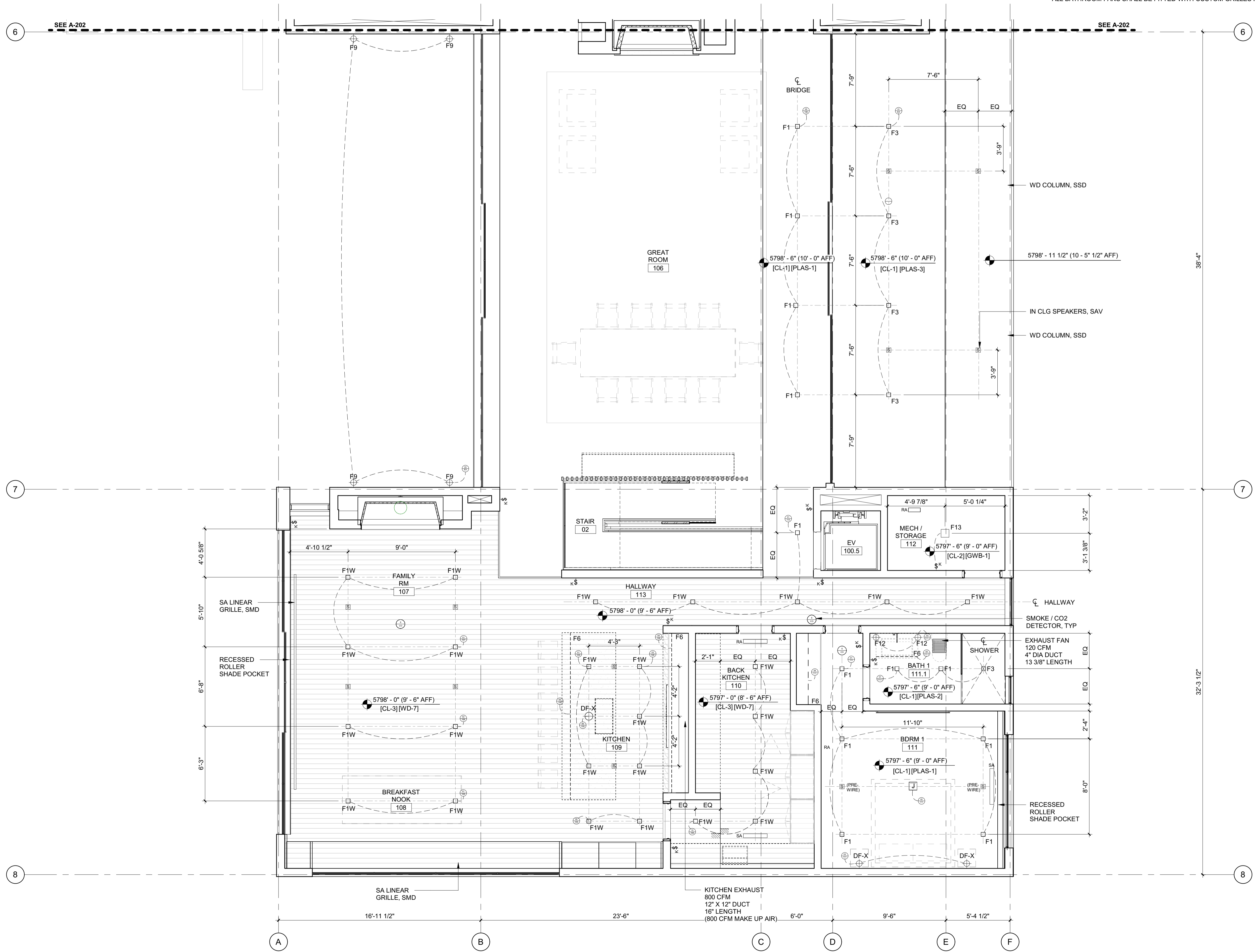
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NO	DATE	ISSUE

**PROJECT:**  
**BADGER RESIDENCE**  
 121 BADGER LANE  
 KETCHUM, ID 83340

**PROJECT NUMBER**  
**#2201**

**DRAWING TITLE:**  
**RCP / LEVEL 01 / SOUTH**

**DRAWING NUMBER:**  
**A-203**



**RCP NOTES:**

1. SEE FLOOR PLANS FOR LIGHTING FIXTURES AT FLOORS OR LOW WALLS
2. PROVIDE SMOKE AND CO2 DETECTORS AS REQUIRED BY CODE
3. FIRE SPRINKLER SYSTEM / ALARM UNDER SEPARATE PERMIT. COORDINATE LOCATION OF ALL SPRINKLER HEADS AND ALARM WITH ARCHITECT. SPRINKLER HEADS TO BE FLUSH CONCEALED, MATCH CLG COLOR.
4. COORDINATE ALL LAYOUT CONFLICTS WITH ARCHITECT.
5. COORDINATE MECHANICAL GRILLES WITH ARCHITECT; MUD-IN TYP IN GYP. CUSTOM BUILT-IN GRILLES TYP IN WOOD CEILINGS.
6. DECORATIVE LIGHT FIXTURES SHOWN FOR LOCATION ONLY. COORDINATE WITH OWNER AND ARCHITECT.
7. COORDINATE POCKET SHADE LOCATIONS WITH ARCHITECT AND OWNER.
8. ELECTRICAL SYSTEM TO BE DESIGN-BUILD COORDINATE WITH ARCHITECT.
9. SEE PROJECT MANUAL FOR LIGHT FIXTURE SPECS.
10. BATHROOM EXHAUST FANS SHALL BE TIED INTO LIGHTING CONTROL SYSTEM FOR TIMED SHUT-OFF. ALL BATHROOM FANS SHALL BE FITTED WITH CUSTOM GRILLES PAINTED TO MATCH CEILING.

**BADGER RESIDENCE**

OWNER:  
**121 BADGER LANE LLC**  
 P.O. BOX 14001-174  
 KETCHUM, ID 83340

PROJECT ARCHITECT:  
**RO | ROCKETT DESIGN**  
 1031 W. MANCHESTER BLVD, UNIT 6  
 INGLESWOOD, CA 90301  
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SURVEYOR:  
**GALENA ENGINEERING, INC.**  
 317 NORTH RIVER STREET  
 HAILEY, ID 83333  
 TEL: 208.788.1705

ENVIRONMENTAL CONSULTANT:  
**SAWTOOTH ENVIRONMENTAL CONSULTING**  
 P.O. BOX 2707 / 540 NORTH FIRST AVE  
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 TEL: 208.727.9748

HYDROLOGY / WATER ENGINEERING:  
**BROCKWAY ENGINEERING, INC.**  
 2018 WASHINGTON ST NORTH, SUITE 4  
 TWIN FALLS, ID 83301  
 TEL: 208.736-8543

GEOTECHNICAL ENGINEER:  
**BUTLER ASSOCIATES, INC.**  
 P.O. BOX 1034  
 KETCHUM, ID 83340  
 TEL: 208.720.6432

LANDSCAPE ARCHITECT:  
**BYLA**  
 323 LEWIS STREET, SUITE N  
 KETCHUM, ID 83340  
 TEL: 208.726.5907

CIVIL ENGINEER:  
**BENCHMARK ASSOCIATES, P.A.**  
 P.O. BOX 733 - 100 BELL DRIVE  
 KETCHUM, IDAHO 83340  
 TEL: 208.726.9512

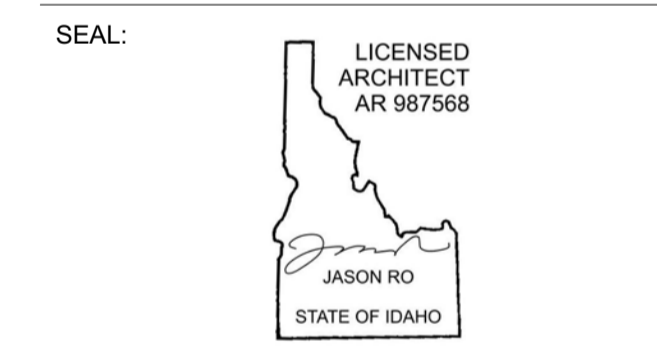
STRUCTURAL ENGINEER:  
**LFA**  
 319 MAIN STREET  
 EL SEGUNDO, CA 90245  
 TEL: 213.239.9700

MEP ENGINEER:  
**CES ENGINEERING SERVICES, LLC**  
 1001 W OAK BUILDING B SUITE 107  
 BOZEMAN, MT 59715  
 TEL: 406.272.0352

LIGHTING DESIGN CONSULTANT:  
**KGM ARCHITECTURAL LIGHTING**  
 270 CORAL CIRCLE  
 EL SEGUNDO, CA 90245  
 TEL: 310.552.2191

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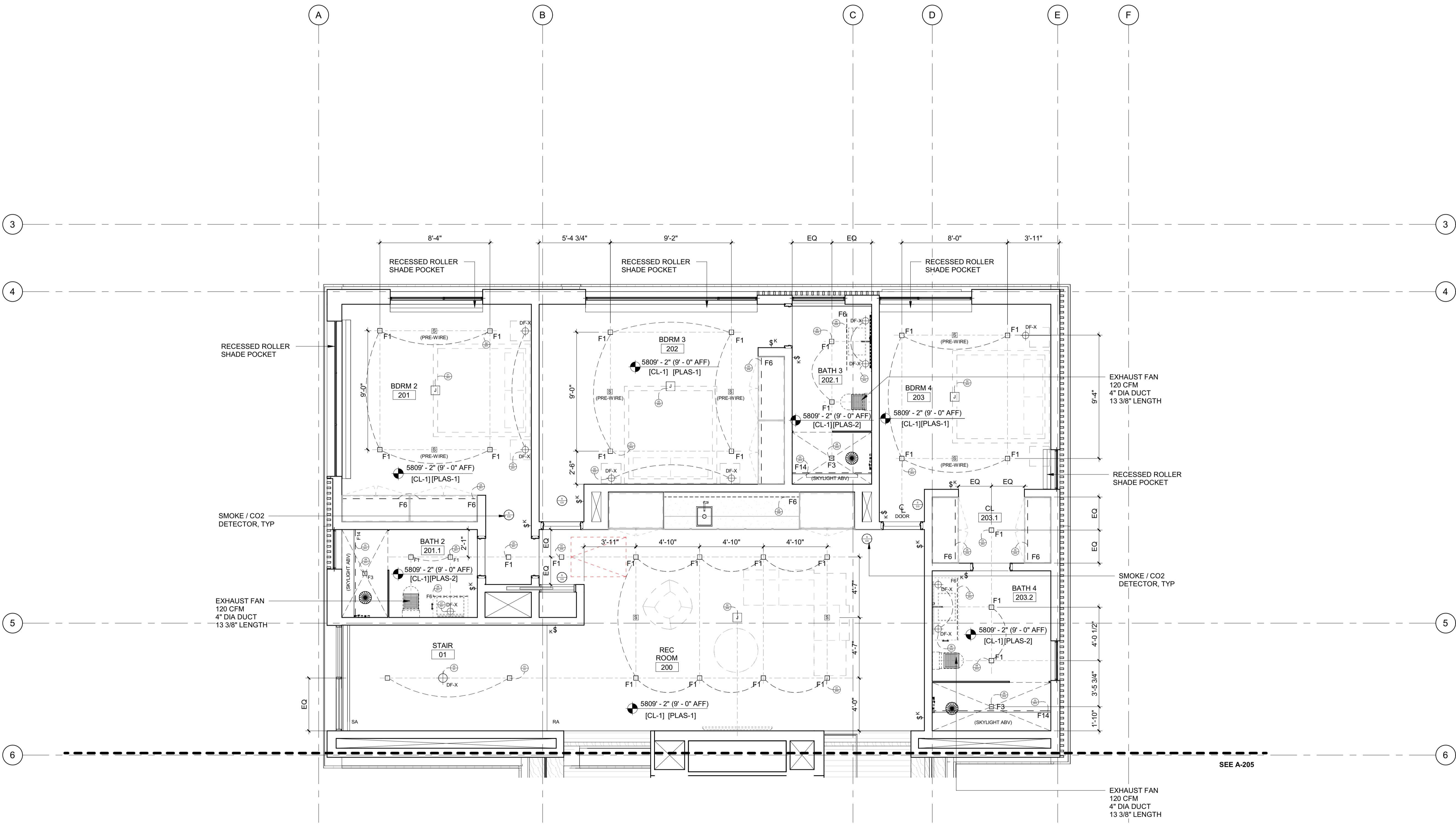
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PROJECT:  
**BADGER RESIDENCE**  
 121 BADGER LANE  
 KETCHUM, ID 83340

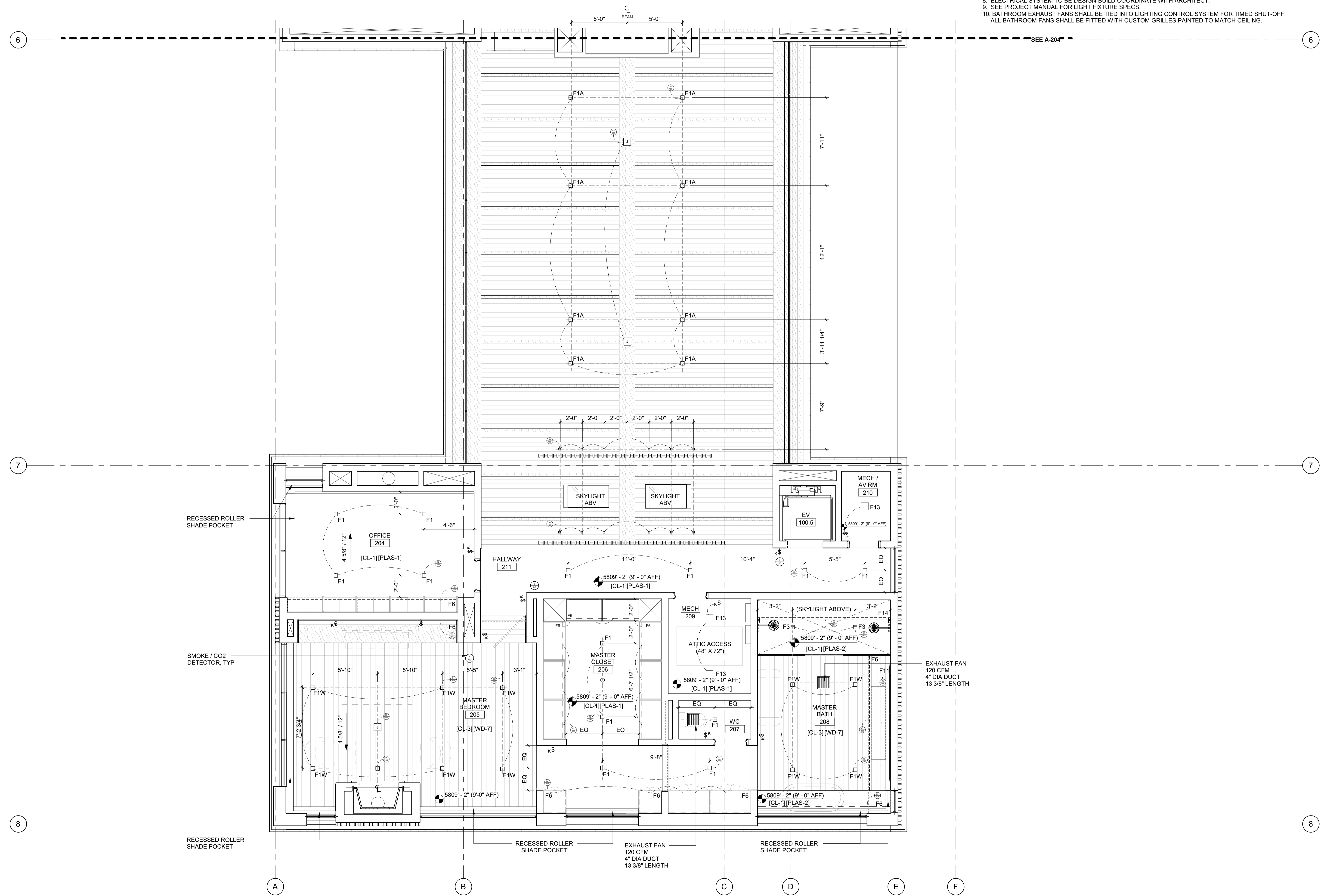
PROJECT NUMBER:  
**#2201**

DRAWING TITLE:  
**RCP / LEVEL 02 / NORTH**

DRAWING NUMBER:  
**A-204**



- RCP NOTES:**
1. SEE FLOOR PLANS FOR LIGHTING FIXTURES AT FLOORS OR LOW WALLS
  2. PROVIDE SMOKE AND CO2 DETECTORS AS REQ'D BY CODE
  3. FIRE SPRINKLER SYSTEM / ALARM UNDER SEPARATE PERMIT. COORDINATE LOCATION OF ALL SPRINKLER HEADS AND ALARM WITH ARCHITECT. SPRINKLER HEADS TO BE FLUSH CONCEALED, MATCH CLG COLOR.
  4. COORDINATE ALL LAYOUT CONFLICTS WITH ARCHITECT.
  5. COORDINATE MECHANICAL GRILLES WITH ARCHITECT, MUD-IN TYP IN GYP, CUSTOM BUILT-IN GRILLES TYP IN WOOD CEILINGS.
  6. DECORATIVE LIGHT FIXTURES SHOWN FOR LOCATION ONLY, COORDINATE WITH OWNER AND ARCHITECT.
  7. COORDINATE POCKET SHADE LOCATIONS WITH ARCHITECT AND OWNER.
  8. ELECTRICAL SYSTEM TO BE DESIGN-BUILD COORDINATE WITH ARCHITECT.
  9. SEE PROJECT MANUAL FOR LIGHT FIXTURE SPECS
  10. BATHROOM EXHAUST FANS SHALL BE TIED INTO LIGHTING CONTROL SYSTEM FOR TIMED SHUT-OFF. ALL BATHROOM FANS SHALL BE FITTED WITH CUSTOM GRILLES PAINTED TO MATCH CEILING.



**BADGER RESIDENCE**

**OWNER:**  
**121 BADGER LANE LLC**  
 P.O. BOX 14001-174  
 KETCHUM, ID 83340

**PROJECT ARCHITECT:**  
**RO | ROCKETT DESIGN**  
 1031 W. MANCHESTER BLVD, UNIT 6  
 INGLEWOOD, CA 90301  
 TEL: 213.784.0014

**SURVEYOR:**  
**GALENA ENGINEERING, INC.**  
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**ENVIRONMENTAL CONSULTANT:**  
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**HYDROLOGY / WATER ENGINEERING:**  
**BROCKWAY ENGINEERING, INC.**  
 2016 WASHINGTON ST NORTH, SUITE 4  
 TWIN FALLS, ID 83301  
 TEL: 208.736-8543

**GEOTECHNICAL ENGINEER:**  
**BUTLER ASSOCIATES, INC.**  
 P.O. BOX 1034  
 KETCHUM, ID 83340  
 TEL: 208.720.6432

**LANDSCAPE ARCHITECT:**  
**BYLA**  
 323 LEWIS STREET, SUITE N  
 KETCHUM, ID 83340  
 TEL: 208.726.5907

**CIVIL ENGINEER:**  
**BENCHMARK ASSOCIATES, P.A.**  
 P.O. BOX 733 - 100 BELL DRIVE  
 KETCHUM, IDAHO 83340  
 TEL: 208.726.9512

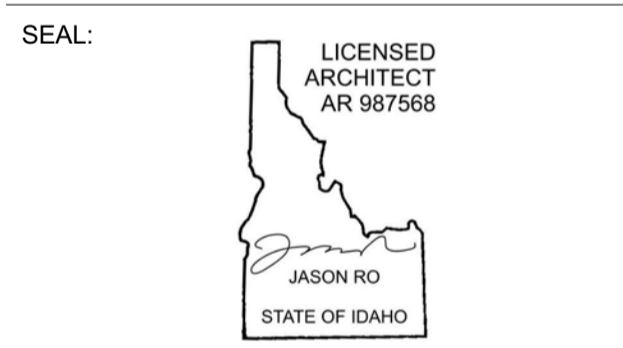
**STRUCTURAL ENGINEER:**  
**LFA**  
 319 MAIN STREET  
 EL SEGUNDO, CA 90245  
 TEL: 213.239.9700

**MEP ENGINEER:**  
**CES ENGINEERING SERVICES, LLC**  
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**LIGHTING DESIGN CONSULTANT:**  
**KGM ARCHITECTURAL LIGHTING**  
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 TEL: 310.552.2191

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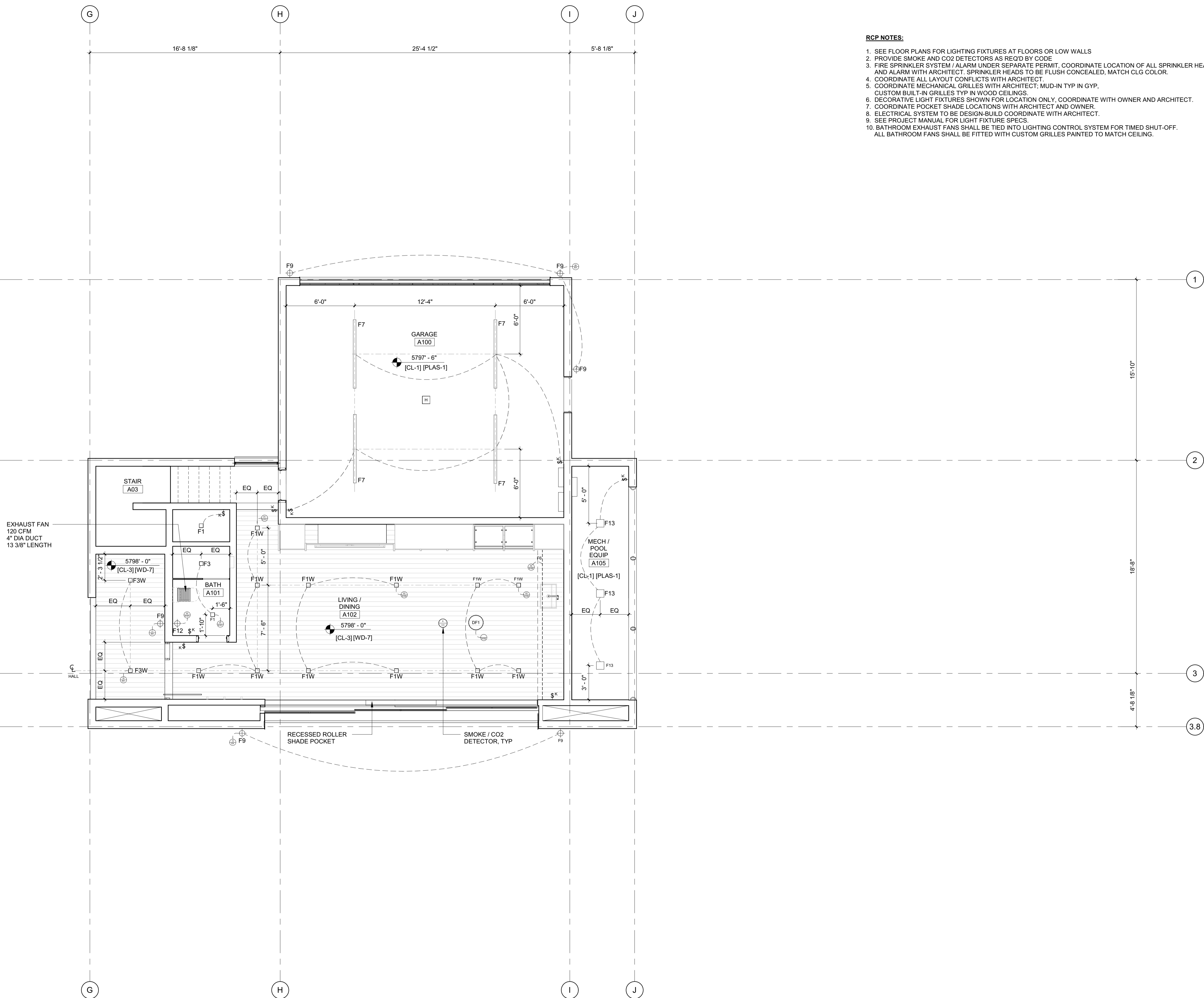
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NO	DATE	ISSUE

**PROJECT:**  
**BADGER RESIDENCE**  
 121 BADGER LANE  
 KETCHUM, ID 83340

**PROJECT NUMBER:**  
**#2201**

**DRAWING TITLE:**  
**RCP / LEVEL 02 / SOUTH**

**DRAWING NUMBER:**  
**A-205**



- RCP NOTES:**
1. SEE FLOOR PLANS FOR LIGHTING FIXTURES AT FLOORS OR LOW WALLS
  2. PROVIDE SMOKE AND CO2 DETECTORS AS REQ'D BY CODE
  3. FIRE SPRINKLER SYSTEM / ALARM UNDER SEPARATE PERMIT, COORDINATE LOCATION OF ALL SPRINKLER HEADS AND ALARM WITH ARCHITECT. SPRINKLER HEADS TO BE FLUSH CONCEALED, MATCH CLG COLOR.
  4. COORDINATE ALL LAYOUT CONFLICTS WITH ARCHITECT.
  5. COORDINATE MECHANICAL GRILLES WITH ARCHITECT; MUD-IN TYP IN GYP, CUSTOM BUILT-IN GRILLES TYP IN WOOD CEILINGS.
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**BADGER RESIDENCE**

OWNER:  
**121 BADGER LANE LLC**  
 P.O. BOX 14001-174  
 KETCHUM, ID 83340

PROJECT ARCHITECT:  
**RO | ROCKETT DESIGN**  
 1031 W. MANCHESTER BLVD, UNIT 6  
 INGLEWOOD, CA 90301  
 TEL: 213.784.0014

SURVEYOR:  
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ENVIRONMENTAL CONSULTANT:  
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HYDROLOGY / WATER ENGINEERING:  
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 TEL: 208.736-8543

GEOTECHNICAL ENGINEER:  
**BUTLER ASSOCIATES, INC.**  
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 TEL: 208.720.6432

LANDSCAPE ARCHITECT:  
**BYLA**  
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 TEL: 208.726.5907

CIVIL ENGINEER:  
**BENCHMARK ASSOCIATES, P.A.**  
 P.O. BOX 733 - 100 BELL DRIVE  
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 TEL: 208.726.9512

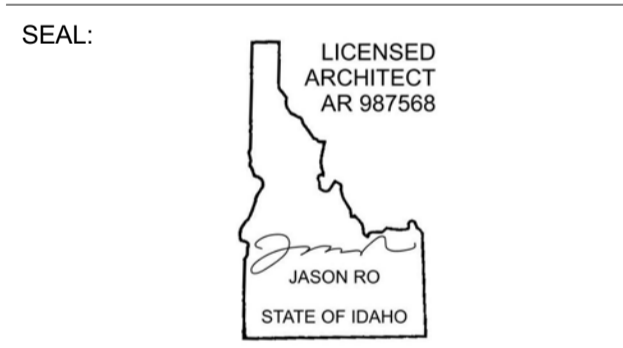
STRUCTURAL ENGINEER:  
**LFA**  
 319 MAIN STREET  
 EL SEGUNDO, CA 90245  
 TEL: 213.239.9700

MEP ENGINEER:  
**CES ENGINEERING SERVICES, LLC**  
 1001 W OAK BUILDING B SUITE 107  
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 TEL: 406.272.0352

LIGHTING DESIGN CONSULTANT:  
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 EL SEGUNDO, CA 90245  
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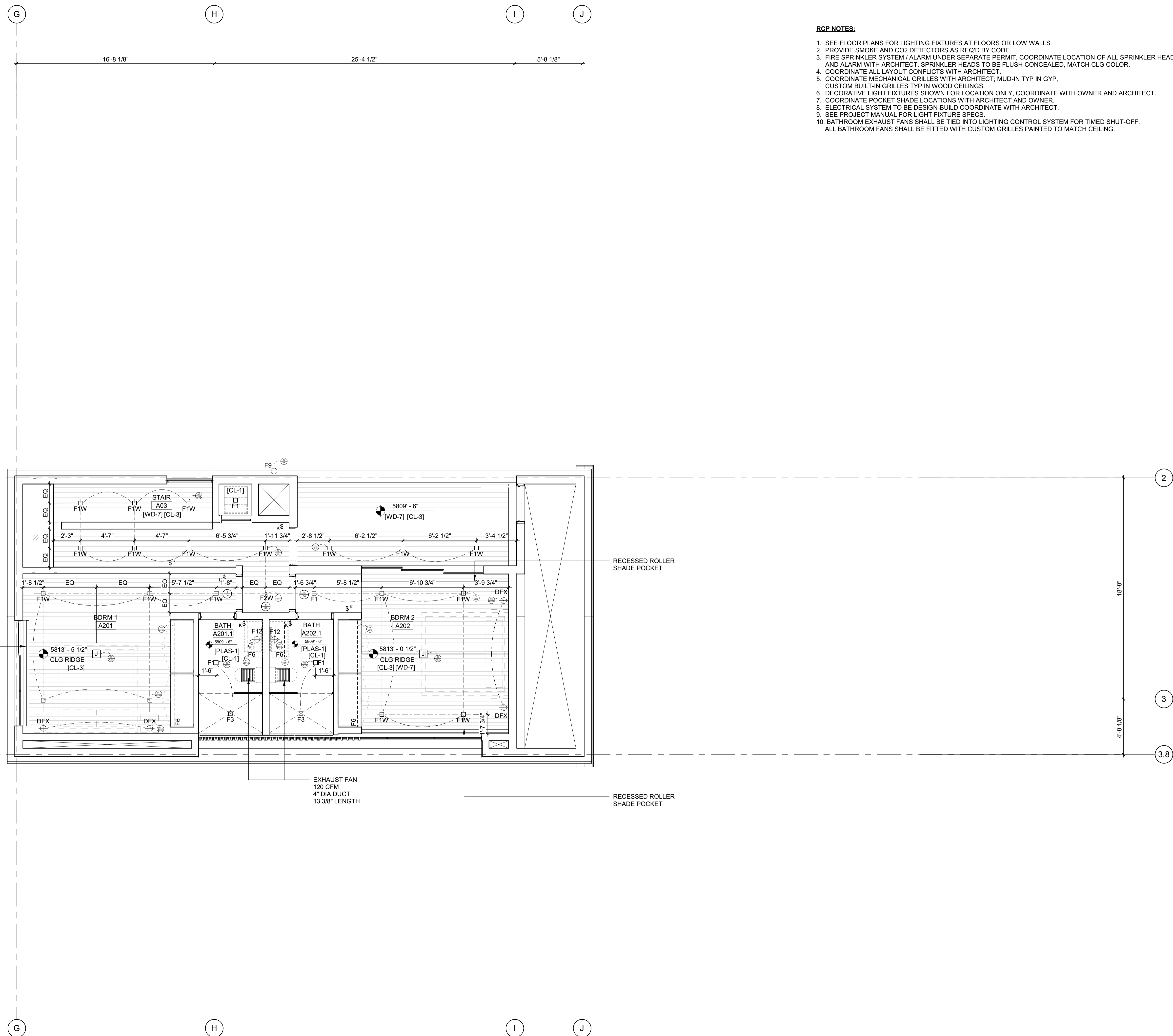
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PROJECT:  
**BADGER RESIDENCE**  
 121 BADGER LANE  
 KETCHUM, ID 83340

PROJECT NUMBER:  
**#2201**

DRAWING TITLE:  
**RCP / LEVEL 01 / ADU**

DRAWING NUMBER:  
**A-206**



- RCP NOTES:**
1. SEE FLOOR PLANS FOR LIGHTING FIXTURES AT FLOORS OR LOW WALLS
  2. PROVIDE SMOKE AND CO2 DETECTORS AS REQ'D BY CODE
  3. FIRE SPRINKLER SYSTEM / ALARM UNDER SEPARATE PERMIT. COORDINATE LOCATION OF ALL SPRINKLER HEADS AND ALARM WITH ARCHITECT. SPRINKLER HEADS TO BE FLUSH CONCEALED, MATCH CLG COLOR.
  4. COORDINATE ALL LAYOUT CONFLICTS WITH ARCHITECT
  5. COORDINATE MECHANICAL GRILLES WITH ARCHITECT; MUD-IN TYP IN GYP, CUSTOM BUILT-IN GRILLES TYP IN WOOD CEILINGS.
  6. DECORATIVE LIGHT FIXTURES SHOWN FOR LOCATION ONLY. COORDINATE WITH OWNER AND ARCHITECT.
  7. COORDINATE POCKET SHADE LOCATIONS WITH ARCHITECT AND OWNER.
  8. ELECTRICAL SYSTEM TO BE DESIGN-BUILD COORDINATE WITH ARCHITECT.
  9. SEE PROJECT MANUAL FOR LIGHT FIXTURE SPECS.
  10. BATHROOM EXHAUST FANS SHALL BE TIED INTO LIGHTING CONTROL SYSTEM FOR TIMED SHUT-OFF. ALL BATHROOM FANS SHALL BE FITTED WITH CUSTOM GRILLES PAINTED TO MATCH CEILING.

**BADGER RESIDENCE**

OWNER:  
**121 BADGER LANE LLC**  
 P.O. BOX 14001-174  
 KETCHUM, ID 83340

PROJECT ARCHITECT:  
**RO | ROCKETT DESIGN**  
 1031 W. MANCHESTER BLVD, UNIT 6  
 INGLEWOOD, CA 90301  
 TEL: 213.784.0014

SURVEYOR:  
**GALENA ENGINEERING, INC.**  
 317 NORTH RIVER STREET  
 HAILEY, ID 83333  
 TEL: 208.788.1705

ENVIRONMENTAL CONSULTANT:  
**SAWTOOTH ENVIRONMENTAL CONSULTING**  
 P.O. BOX 2707 / 540 NORTH FIRST AVE  
 KETCHUM, ID 83340  
 TEL: 208.727.9748

HYDROLOGY / WATER ENGINEERING:  
**BROCKWAY ENGINEERING, INC.**  
 2018 WASHINGTON ST NORTH, SUITE 4  
 TWIN FALLS, ID 83301  
 TEL: 208.736-8543

GEOTECHNICAL ENGINEER:  
**BUTLER ASSOCIATES, INC.**  
 P.O. BOX 1034  
 KETCHUM, ID 83340  
 TEL: 208.720.6432

LANDSCAPE ARCHITECT:  
**BYLA**  
 323 LEWIS STREET, SUITE N  
 KETCHUM, ID 83340  
 TEL: 208.726.5907

CIVIL ENGINEER:  
**BENCHMARK ASSOCIATES, P.A.**  
 P.O. BOX 733 - 100 BELL DRIVE  
 KETCHUM, IDAHO 83340  
 TEL: 208.726.9512

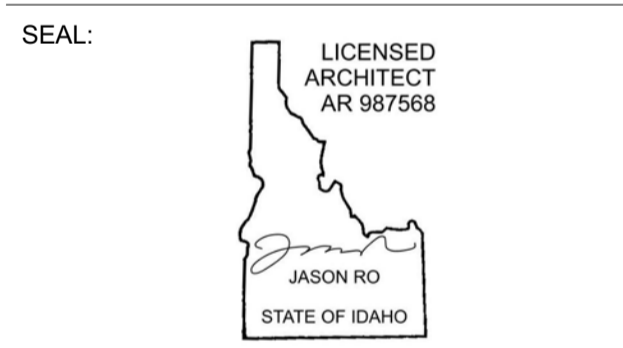
STRUCTURAL ENGINEER:  
**LFA**  
 319 MAIN STREET  
 EL SEGUNDO, CA 90245  
 TEL: 213.239.9700

MEP ENGINEER:  
**CES ENGINEERING SERVICES, LLC**  
 1001 W OAK BUILDING B SUITE 107  
 BOZEMAN, MT 59715  
 TEL: 406.272.0352

LIGHTING DESIGN CONSULTANT:  
**KGM ARCHITECTURAL LIGHTING**  
 270 CORAL CIRCLE  
 EL SEGUNDO, CA 90245  
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NO	DATE	BUILDING PERMIT	ISSUE
0	02.28.23	BUILDING PERMIT	

PROJECT:  
**BADGER RESIDENCE**  
 121 BADGER LANE  
 KETCHUM, ID 83340

PROJECT NUMBER:  
**#2201**

DRAWING TITLE:  
**RCP / LEVEL 02 / ADU**

DRAWING NUMBER:  
**A-207**

**BADGER RESIDENCE**

OWNER:  
**121 BADGER LANE LLC**  
 P.O. BOX 14001-174  
 KETCHUM, ID 83340

PROJECT ARCHITECT:  
**RO | ROCKETT DESIGN**  
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SURVEYOR:  
**GALENA ENGINEERING, INC.**  
 317 NORTH RIVER STREET  
 HAILEY, ID 83333  
 TEL: 208.788.1705

ENVIRONMENTAL CONSULTANT:  
**SAWTOOTH ENVIRONMENTAL CONSULTING**  
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 KETCHUM, ID 83340  
 TEL: 208.727.9748

HYDROLOGY / WATER ENGINEERING:  
**BROCKWAY ENGINEERING, INC.**  
 2018 WASHINGTON ST NORTH, SUITE 4  
 TWIN FALLS, ID 83301  
 TEL: 208.736-8543

GEOTECHNICAL ENGINEER:  
**BUTLER ASSOCIATES, INC.**  
 P.O. BOX 1034  
 KETCHUM, ID 83340  
 TEL: 208.720.6432

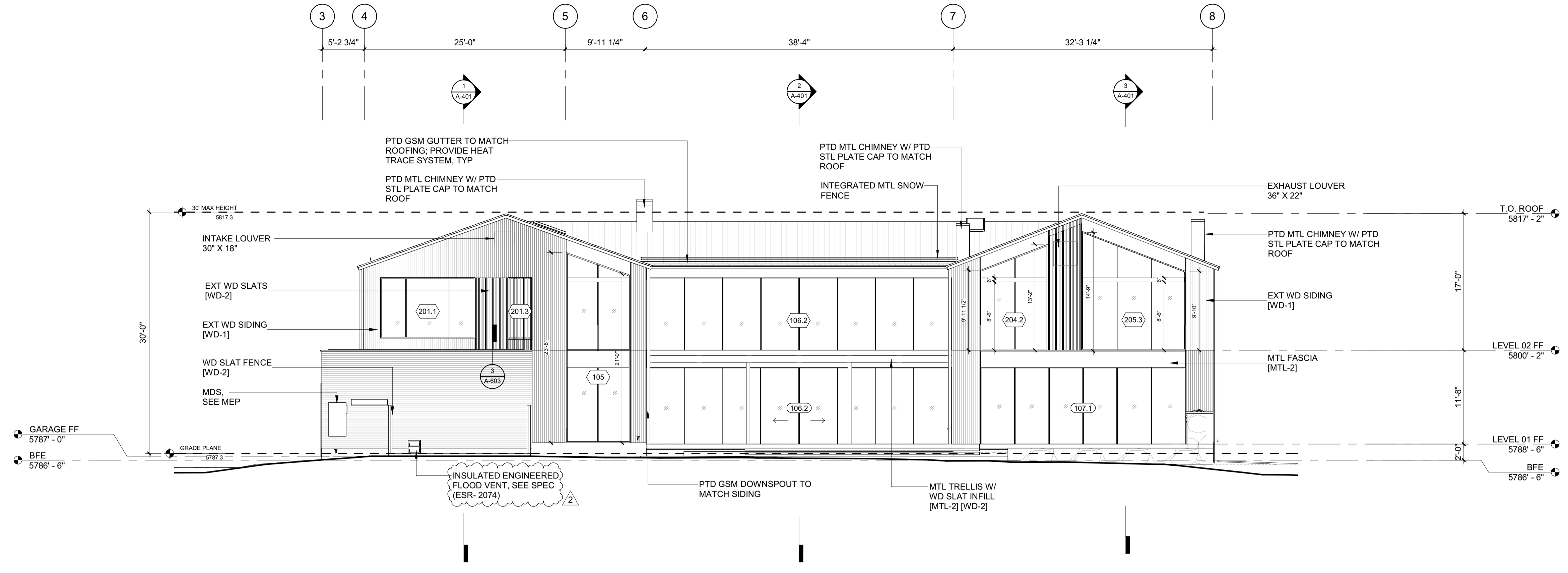
LANDSCAPE ARCHITECT:  
**BYLA**  
 323 LEWIS STREET, SUITE N  
 KETCHUM, ID 83340  
 TEL: 208.726.5907

CIVIL ENGINEER:  
**BENCHMARK ASSOCIATES, P.A.**  
 P.O. BOX 733 - 100 BELL DRIVE  
 KETCHUM, IDAHO 83340  
 TEL: 208.726.9512

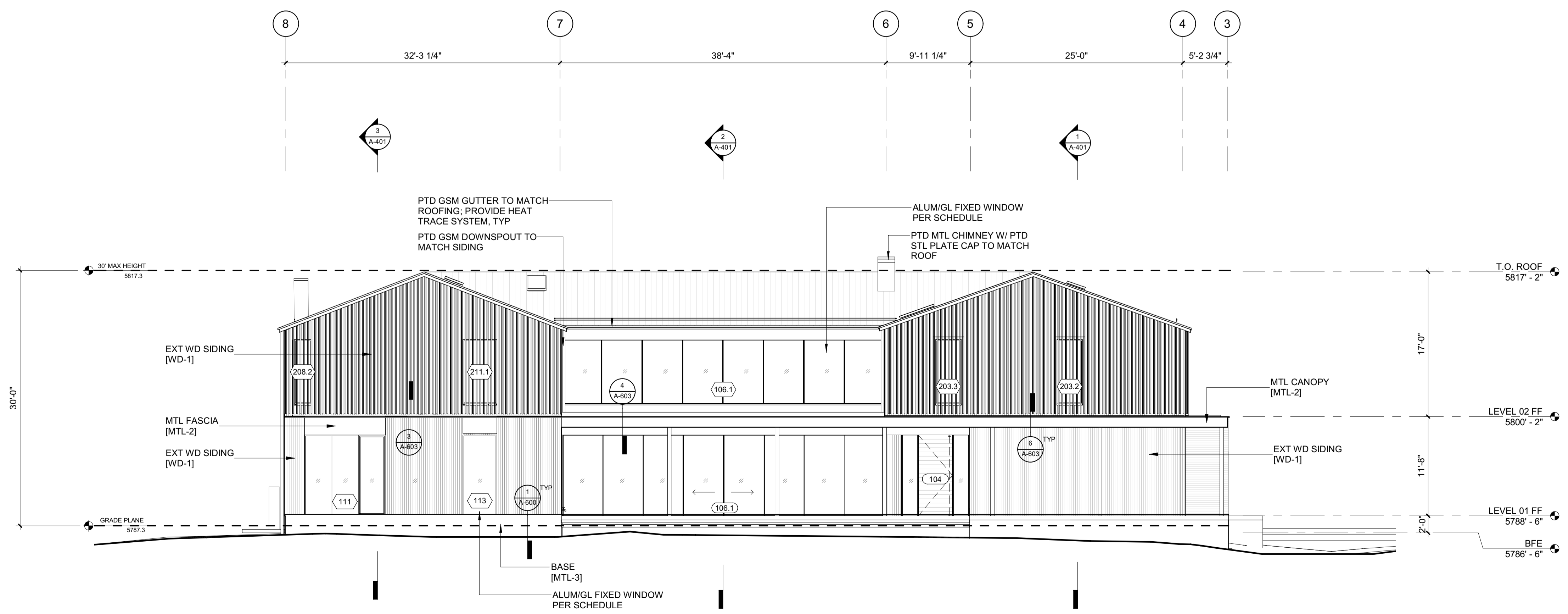
STRUCTURAL ENGINEER:  
**LFA**  
 319 MAIN STREET  
 EL SEGUNDO, CA 90245  
 TEL: 213.239.9700

MEP ENGINEER:  
**CES ENGINEERING SERVICES, LLC**  
 1001 W OAK BUILDING B SUITE 107  
 BOZEMAN, MT 59715  
 TEL: 406.272.0352

LIGHTING DESIGN CONSULTANT:  
**KGM ARCHITECTURAL LIGHTING**  
 270 CORAL CIRCLE  
 EL SEGUNDO, CA 90245  
 TEL: 310.552.2191



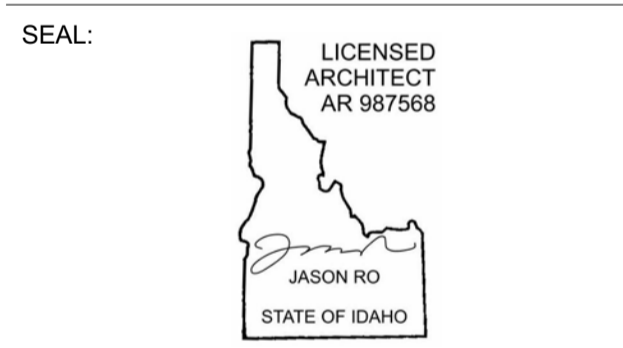
2 1/8" = 1'-0" ELEVATION / WEST



1 1/8" = 1'-0" ELEVATION / EAST

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2	06.06.23	PERMIT REVIEW- REV 2
	02.28.23	BUILDING PERMIT SUBMITTAL
NO	DATE	ISSUE

PROJECT:  
**BADGER RESIDENCE**  
 121 BADGER LANE  
 KETCHUM, ID 83340

PROJECT NUMBER  
**#2201**

DRAWING TITLE:  
**EXTERIOR ELEVATIONS**

DRAWING NUMBER:  
**A-300**

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**BADGER RESIDENCE**

OWNER:  
**121 BADGER LANE LLC**  
 P.O. BOX 14001-174  
 KETCHUM, ID 83340

PROJECT ARCHITECT:  
**RO | ROCKETT DESIGN**  
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SURVEYOR:  
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 317 NORTH RIVER STREET  
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ENVIRONMENTAL CONSULTANT:  
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HYDROLOGY / WATER ENGINEERING:  
**BROCKWAY ENGINEERING, INC.**  
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 TWIN FALLS, ID 83301  
 TEL: 208.736-8543

GEOTECHNICAL ENGINEER:  
**BUTLER ASSOCIATES, INC.**  
 P.O. BOX 1034  
 KETCHUM, ID 83340  
 TEL: 208.720.6432

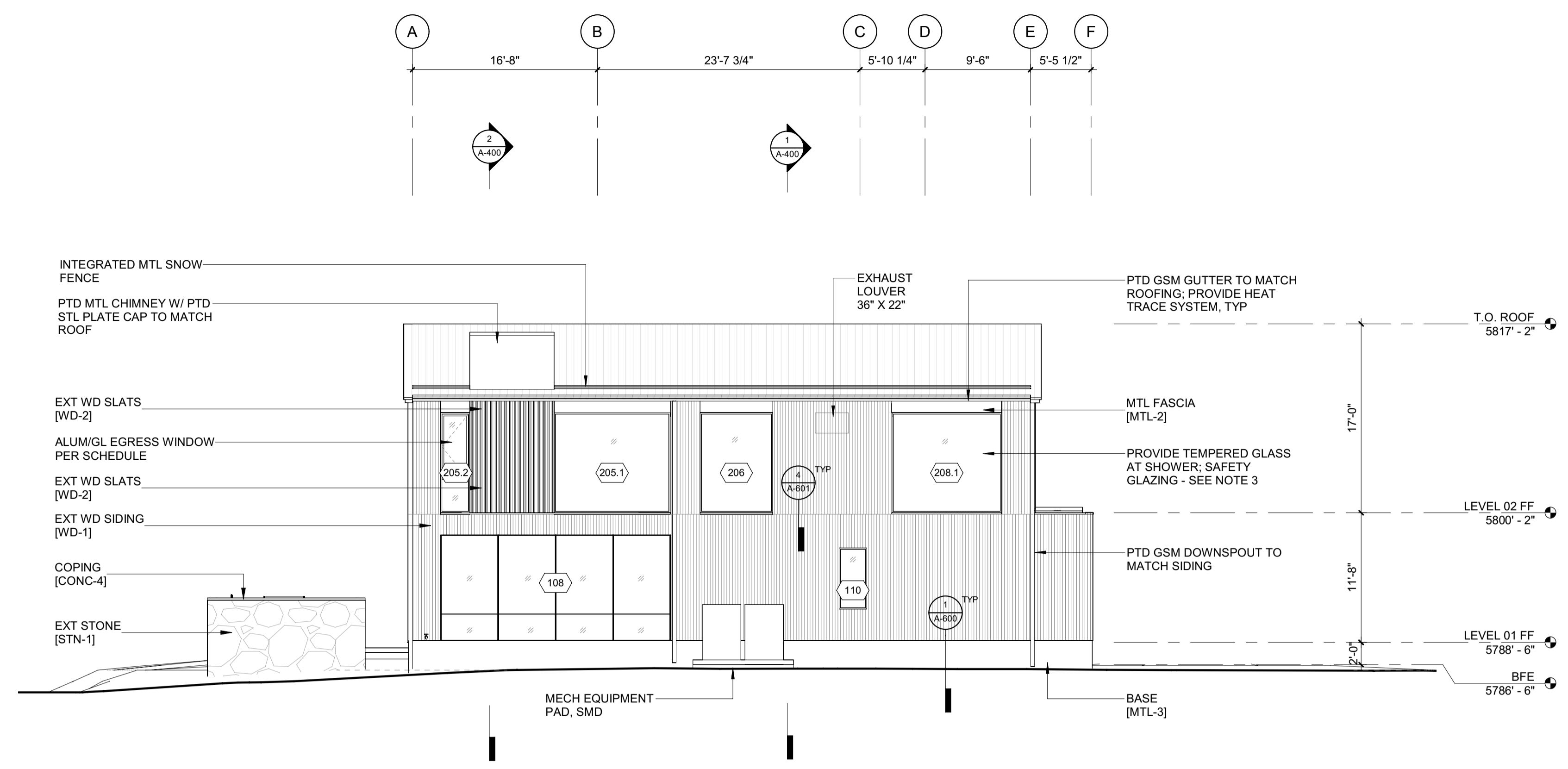
LANDSCAPE ARCHITECT:  
**BYLA**  
 323 LEWIS STREET, SUITE N  
 KETCHUM, ID 83340  
 TEL: 208.726.5907

CIVIL ENGINEER:  
**BENCHMARK ASSOCIATES, P.A.**  
 P.O. BOX 733 - 100 BELL DRIVE  
 KETCHUM, IDAHO 83340  
 TEL: 208.726.9512

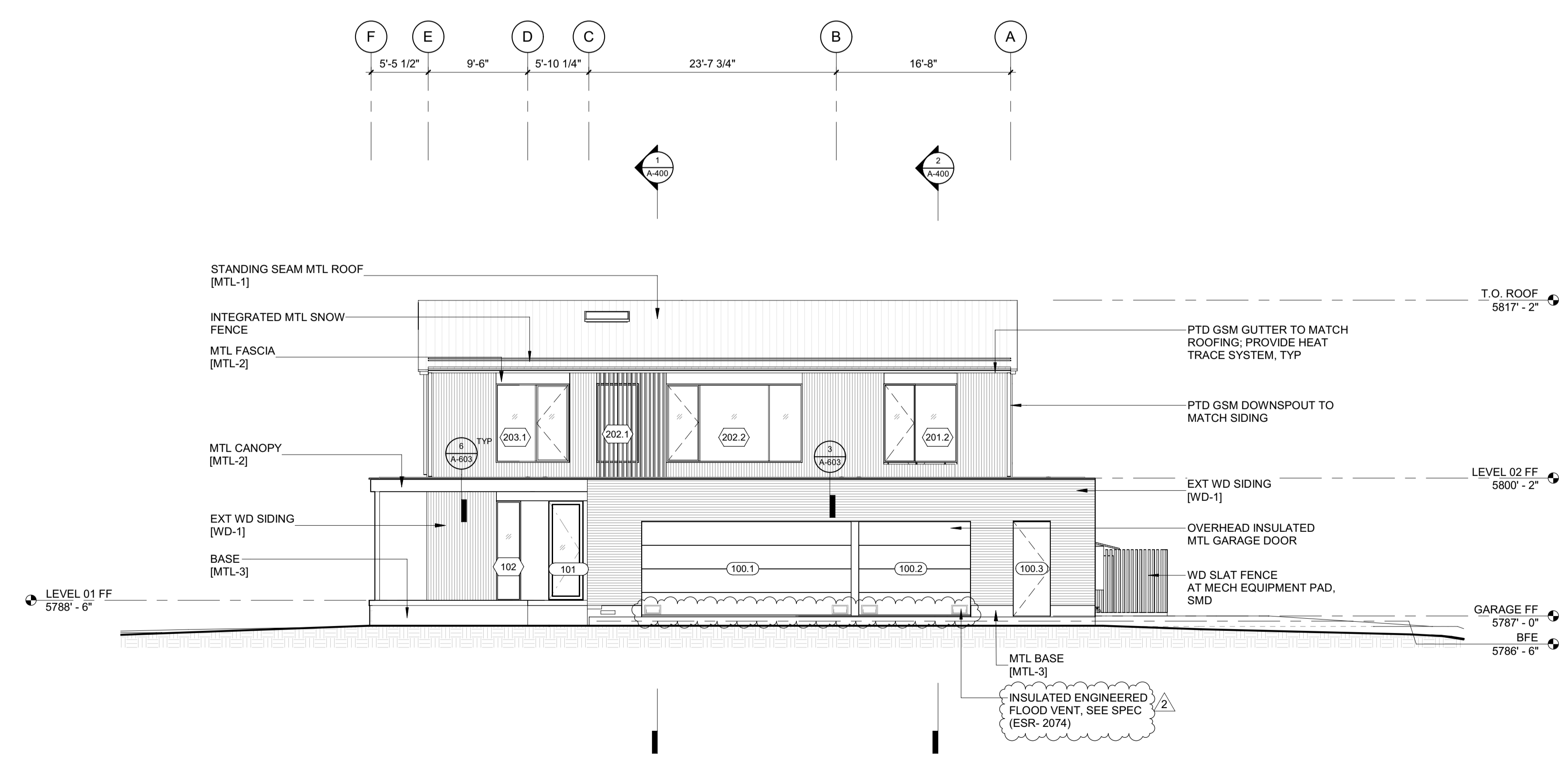
STRUCTURAL ENGINEER:  
**LFA**  
 319 MAIN STREET  
 EL SEGUNDO, CA 90245  
 TEL: 213.239.9700

MEP ENGINEER:  
**CES ENGINEERING SERVICES, LLC**  
 1001 W OAK BUILDING B SUITE 107  
 BOZEMAN, MT 59715  
 TEL: 406.272.0352

LIGHTING DESIGN CONSULTANT:  
**KGM ARCHITECTURAL LIGHTING**  
 270 CORAL CIRCLE  
 EL SEGUNDO, CA 90245  
 TEL: 310.552.2191



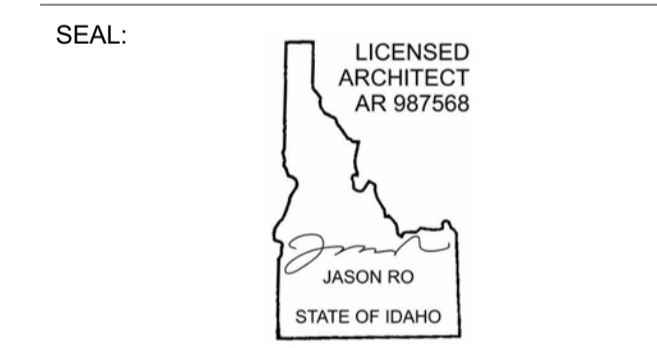
2 1/8" = 1'-0" ELEVATION / SOUTH



1 1/8" = 1'-0" ELEVATION / NORTH

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2	06.06.23	PERMIT REVIEW- REV 2
	02.28.23	BUILDING PERMIT SUBMITTAL
NO	DATE	ISSUE

PROJECT:  
**BADGER RESIDENCE**  
 121 BADGER LANE  
 KETCHUM, ID 83340

PROJECT NUMBER  
**#2201**

DRAWING TITLE:  
**EXTERIOR ELEVATIONS**

DRAWING NUMBER:  
**A-301**

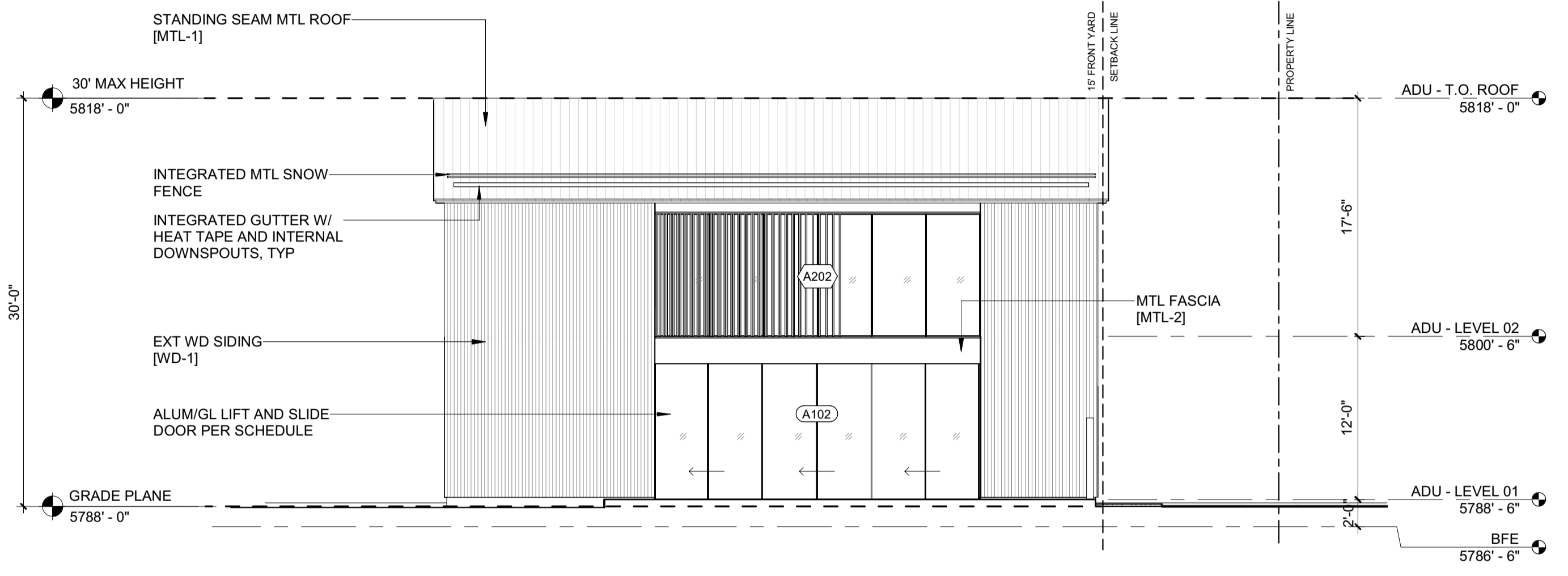
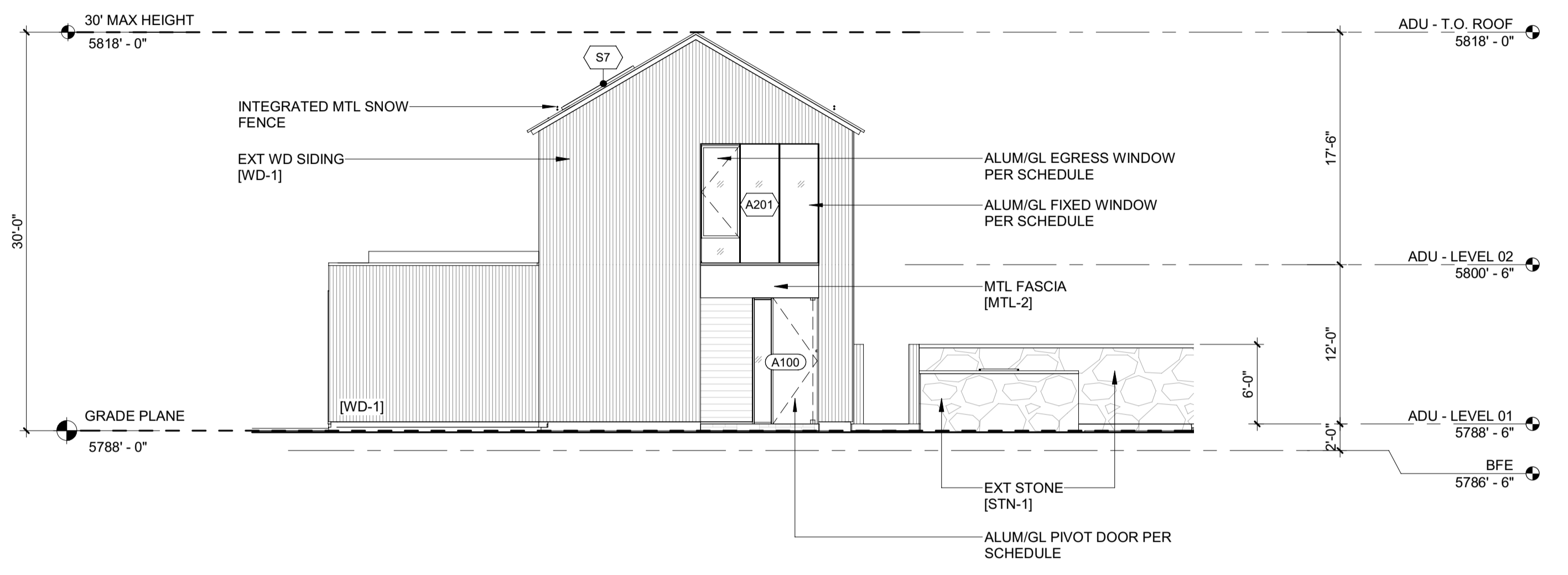
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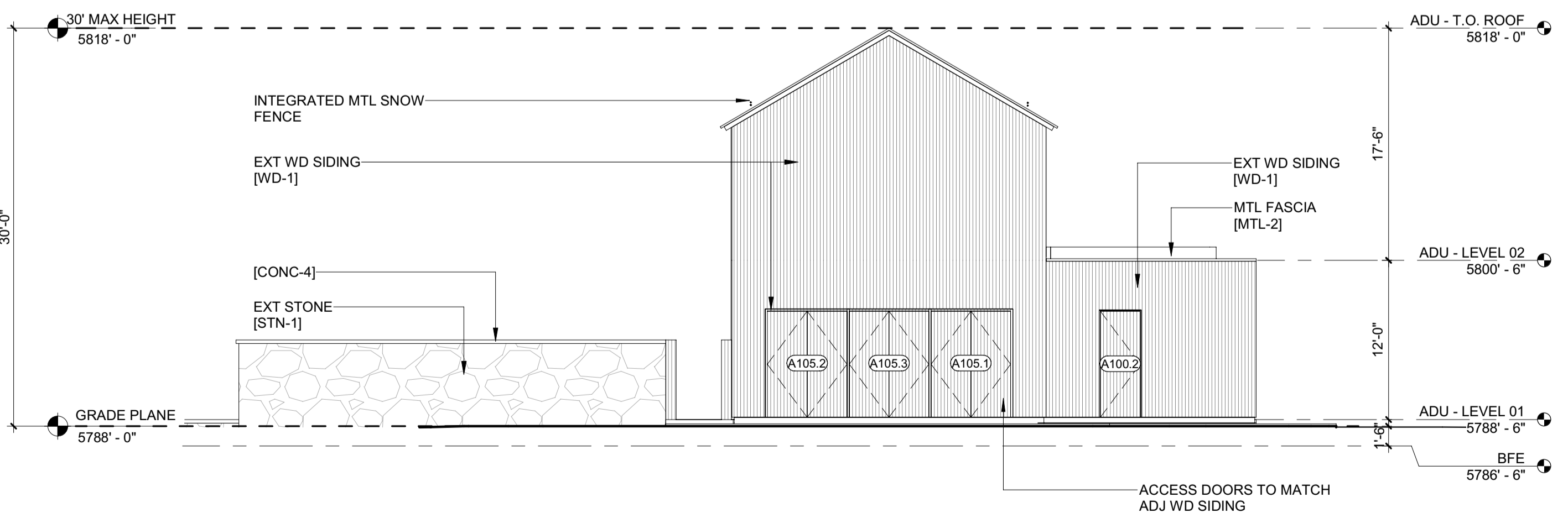
These plans have been found to be in substantial compliance with the adopted building codes. These documents are approved contingent on compliance with the mark-ups and notes applied. This is not approval of any code, ordinance, statute or regulation. Corrections will be required for code violations found during the inspection process.

**BLD2303-00021**  
9/6/26/23

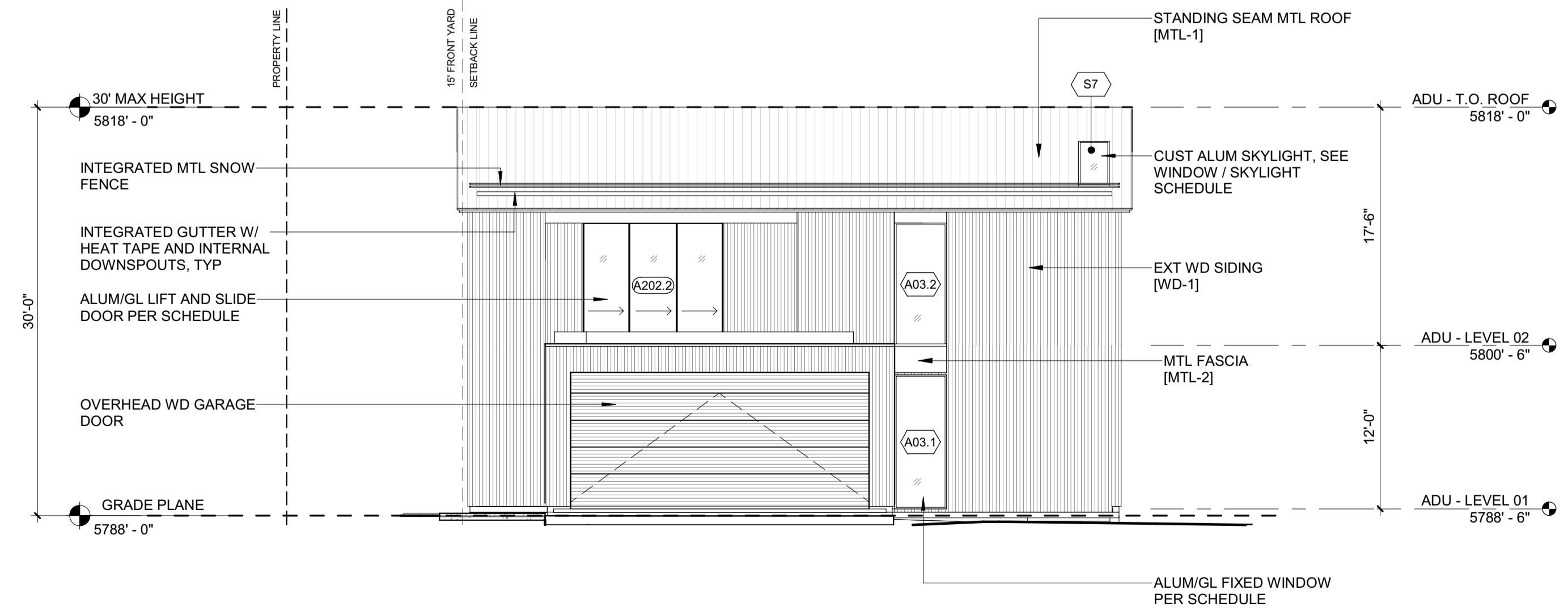


5 1/8" = 1'-0" ADU - ELEVATION / WEST

2 1/8" = 1'-0" ADU - ELEVATION / SOUTH



3 1/8" = 1'-0" ADU - ELEVATION / EAST



1 1/8" = 1'-0" ADU - ELEVATION / NORTH

**BADGER RESIDENCE**

OWNER:  
**121 BADGER LANE LLC**  
P.O. BOX 14001-174  
KETCHUM, ID 83340

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KETCHUM, ID 83340  
TEL: 208.727.9748

HYDROLOGY / WATER ENGINEERING:  
**BROCKWAY ENGINEERING, INC.**  
2018 WASHINGTON ST NORTH, SUITE 4  
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TEL: 208.736-8543

GEOTECHNICAL ENGINEER:  
**BUTLER ASSOCIATES, INC.**  
P.O. BOX 1034  
KETCHUM, ID 83340  
TEL: 208.720.6432

LANDSCAPE ARCHITECT:  
**BYLA**  
323 LEWIS STREET, SUITE N  
KETCHUM, ID 83340  
TEL: 208.726.5907

CIVIL ENGINEER:  
**BENCHMARK ASSOCIATES, P.A.**  
P.O. BOX 733 - 100 BELL DRIVE  
KETCHUM, IDAHO 83340  
TEL: 208.726.9512

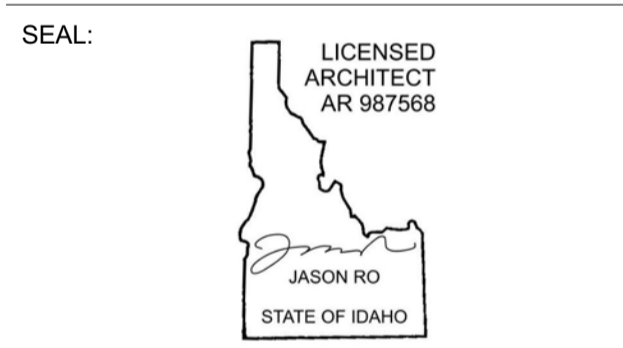
STRUCTURAL ENGINEER:  
**LFA**  
319 MAIN STREET  
EL SEGUNDO, CA 90245  
TEL: 213.239.9700

MEP ENGINEER:  
**CES ENGINEERING SERVICES, LLC**  
1001 W OAK BUILDING B SUITE 107  
BOZEMAN, MT 59715  
TEL: 406.272.0352

LIGHTING DESIGN CONSULTANT:  
**KGM ARCHITECTURAL LIGHTING**  
270 CORAL CIRCLE  
EL SEGUNDO, CA 90245  
TEL: 310.552.2191

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NO	DATE	ISSUE

PROJECT:  
**BADGER RESIDENCE**  
121 BADGER LANE  
KETCHUM, ID 83340

PROJECT NUMBER:  
**#2201**

DRAWING TITLE:  
**EXTERIOR ELEVATIONS / ADU**

DRAWING NUMBER:  
**A-302**



Approved  
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BLD2303-00021  
 9/6/26/23

2/26/23

**BADGER RESIDENCE**

OWNER:  
**121 BADGER LANE LLC**  
 P.O. BOX 14001-174  
 KETCHUM, ID 83340

PROJECT ARCHITECT:  
**RO | ROCKETT DESIGN**  
 1031 W. MANCHESTER BLVD, UNIT 6  
 INGLEWOOD, CA 90301  
 TEL: 213.784.0014

SURVEYOR:  
**GALENA ENGINEERING, INC.**  
 317 NORTH RIVER STREET  
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 TEL: 208.788.1705

ENVIRONMENTAL CONSULTANT:  
**SAWTOOTH ENVIRONMENTAL CONSULTING**  
 P.O. BOX 2707 / 540 NORTH FIRST AVE  
 KETCHUM, ID 83340  
 TEL: 208.727.9748

HYDROLOGY / WATER ENGINEERING:  
**BROCKWAY ENGINEERING, INC.**  
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 TEL: 208.736-8543

GEOTECHNICAL ENGINEER:  
**BUTLER ASSOCIATES, INC.**  
 P.O. BOX 1034  
 KETCHUM, ID 83340  
 TEL: 208.720.6432

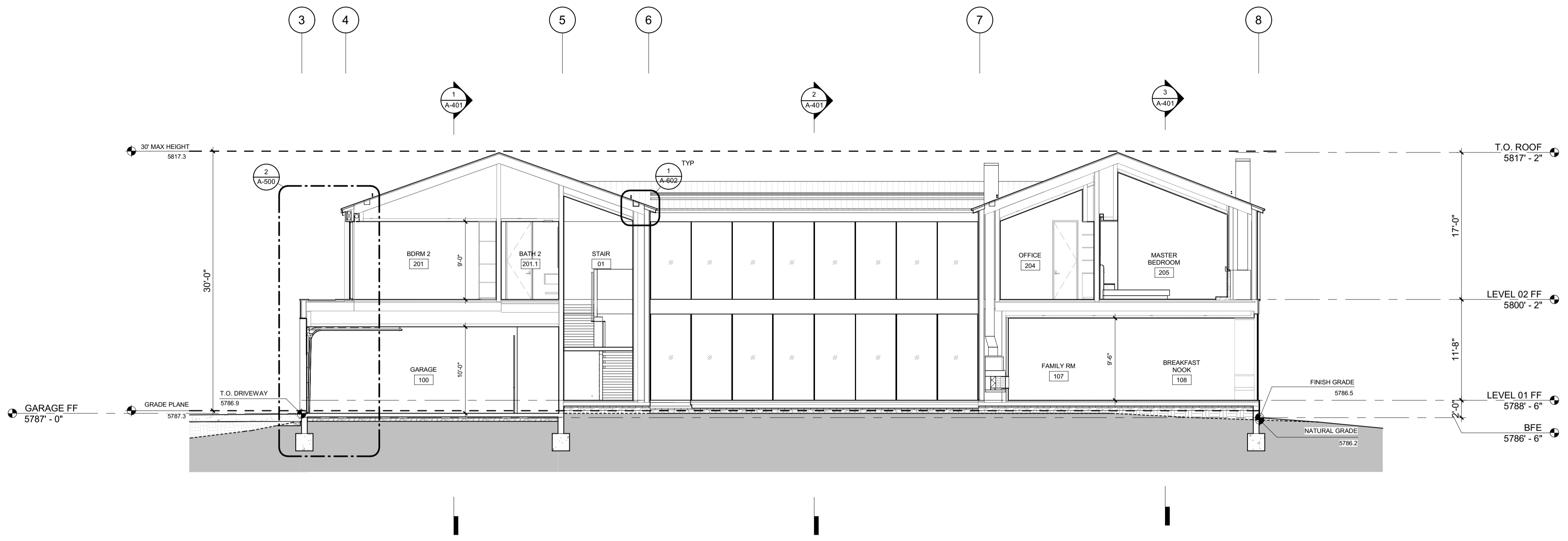
LANDSCAPE ARCHITECT:  
**BYLA**  
 323 LEWIS STREET, SUITE N  
 KETCHUM, ID 83340  
 TEL: 208.726.5907

CIVIL ENGINEER:  
**BENCHMARK ASSOCIATES, P.A.**  
 P.O. BOX 733 - 100 BELL DRIVE  
 KETCHUM, IDAHO 83340  
 TEL: 208.726.9512

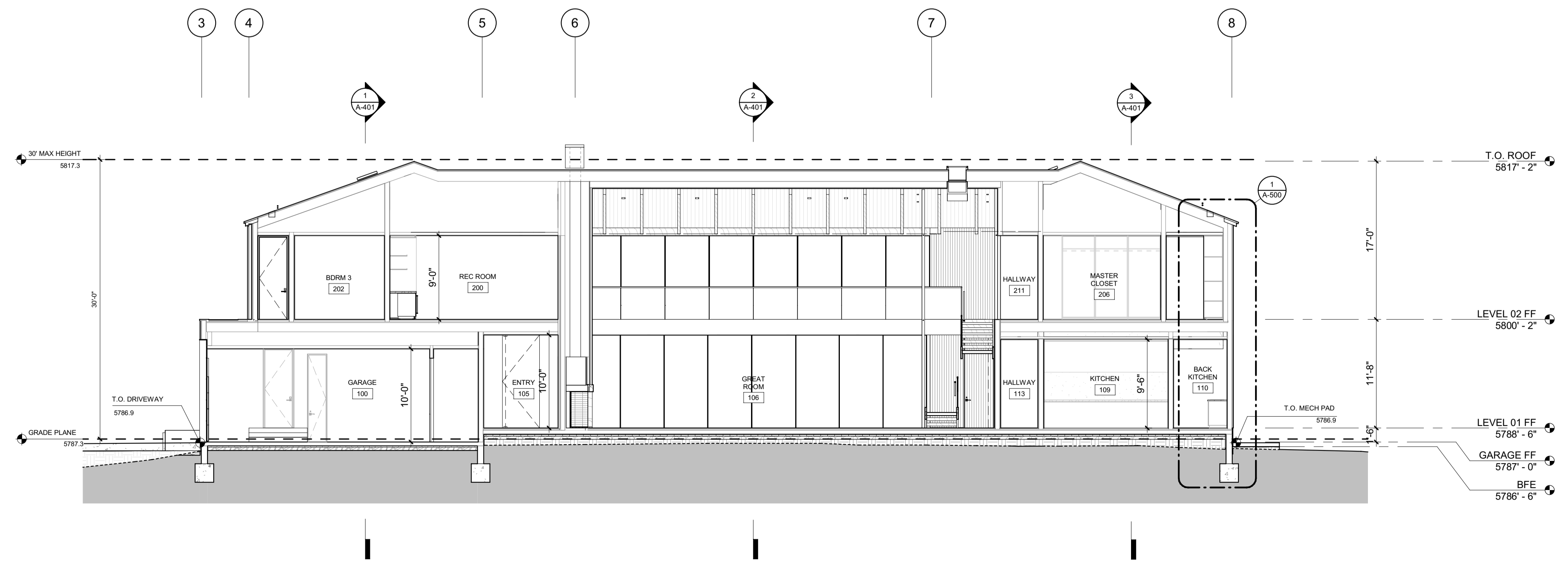
STRUCTURAL ENGINEER:  
**LFA**  
 319 MAIN STREET  
 EL SEGUNDO, CA 90245  
 TEL: 213.239.9700

MEP ENGINEER:  
**CES ENGINEERING SERVICES, LLC**  
 1001 W OAK BUILDING B SUITE 107  
 BOZEMAN, MT 59715  
 TEL: 406.272.0352

LIGHTING DESIGN CONSULTANT:  
**KGM ARCHITECTURAL LIGHTING**  
 270 CORAL CIRCLE  
 EL SEGUNDO, CA 90245  
 TEL: 310.552.2191



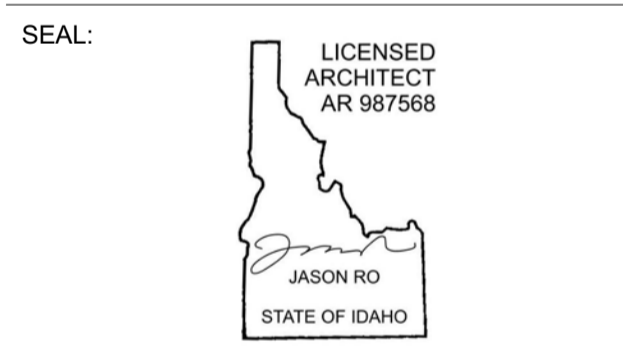
2 1/8" = 1'-0" BUILDING SECTION N-S 2



1 1/8" = 1'-0" BUILDING SECTION N-S 1

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NO	DATE	BUILDING PERMIT	ISSUE
0	02.28.23		

PROJECT:  
**BADGER RESIDENCE**  
 121 BADGER LANE  
 KETCHUM, ID 83340

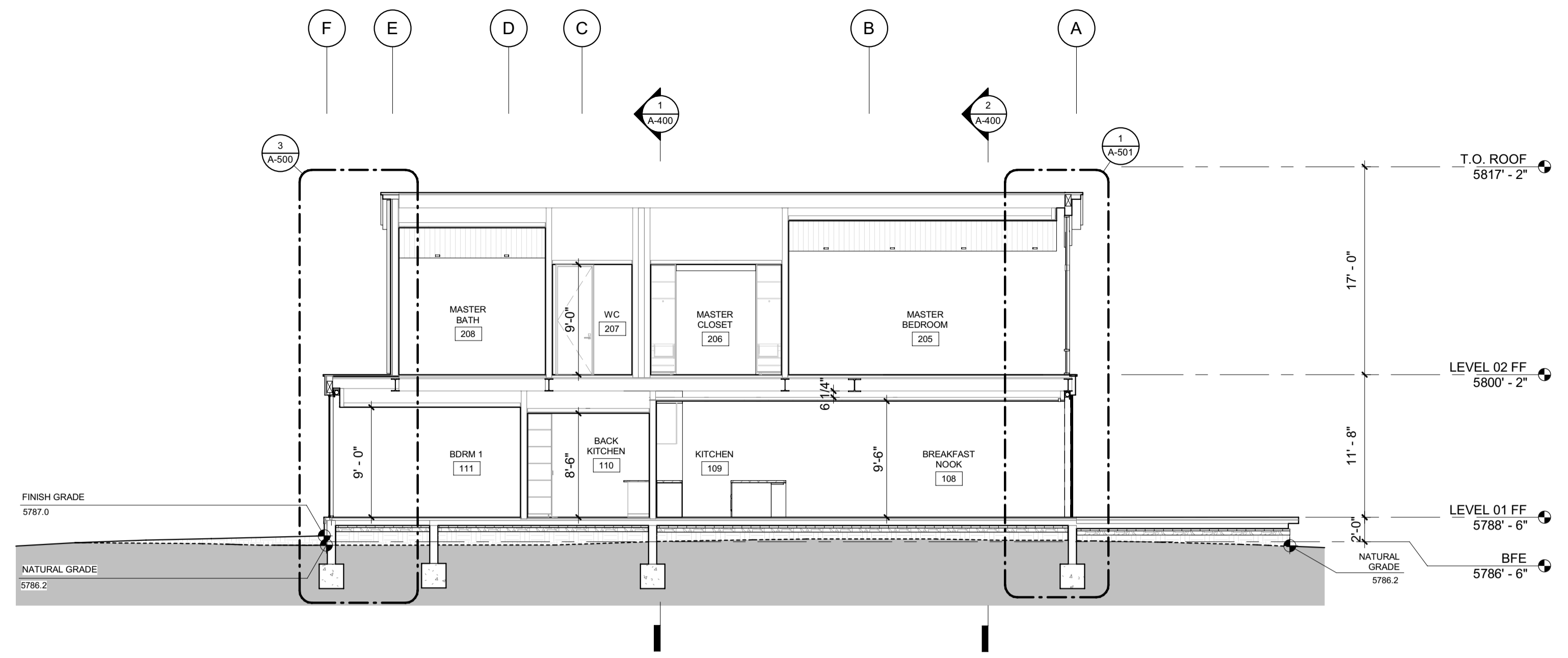
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DRAWING TITLE:  
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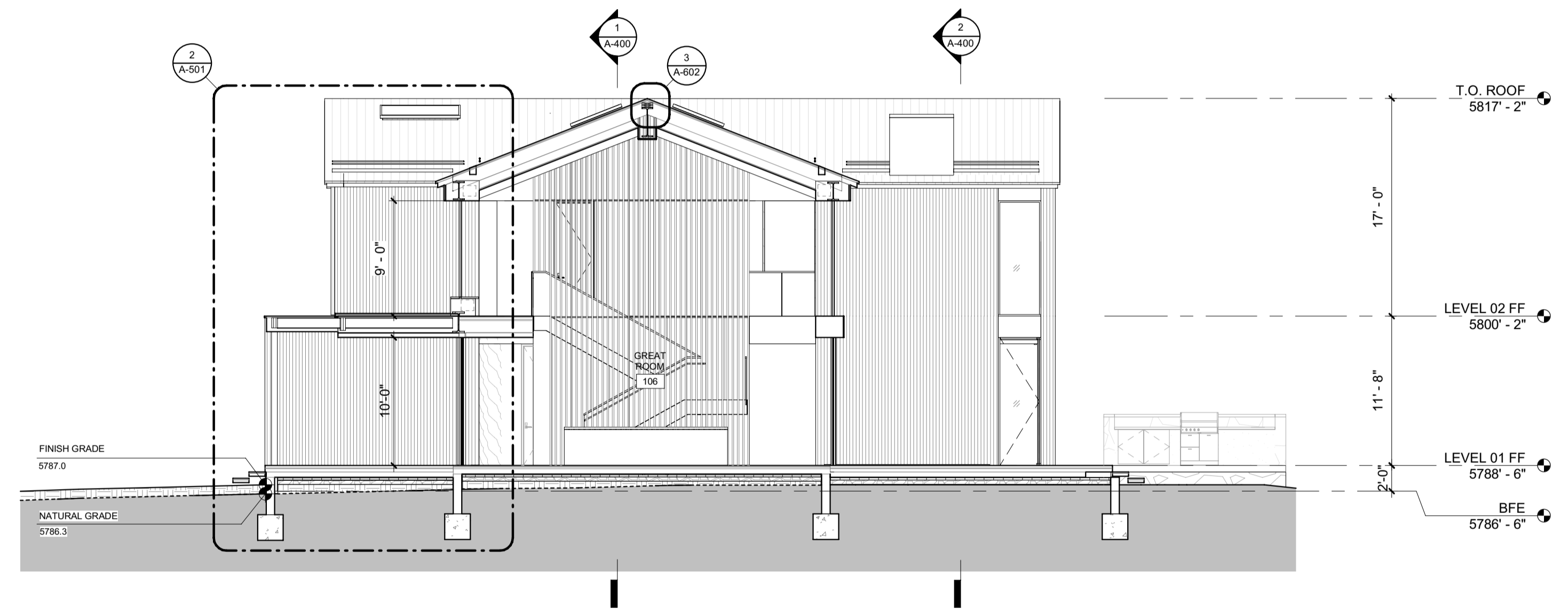
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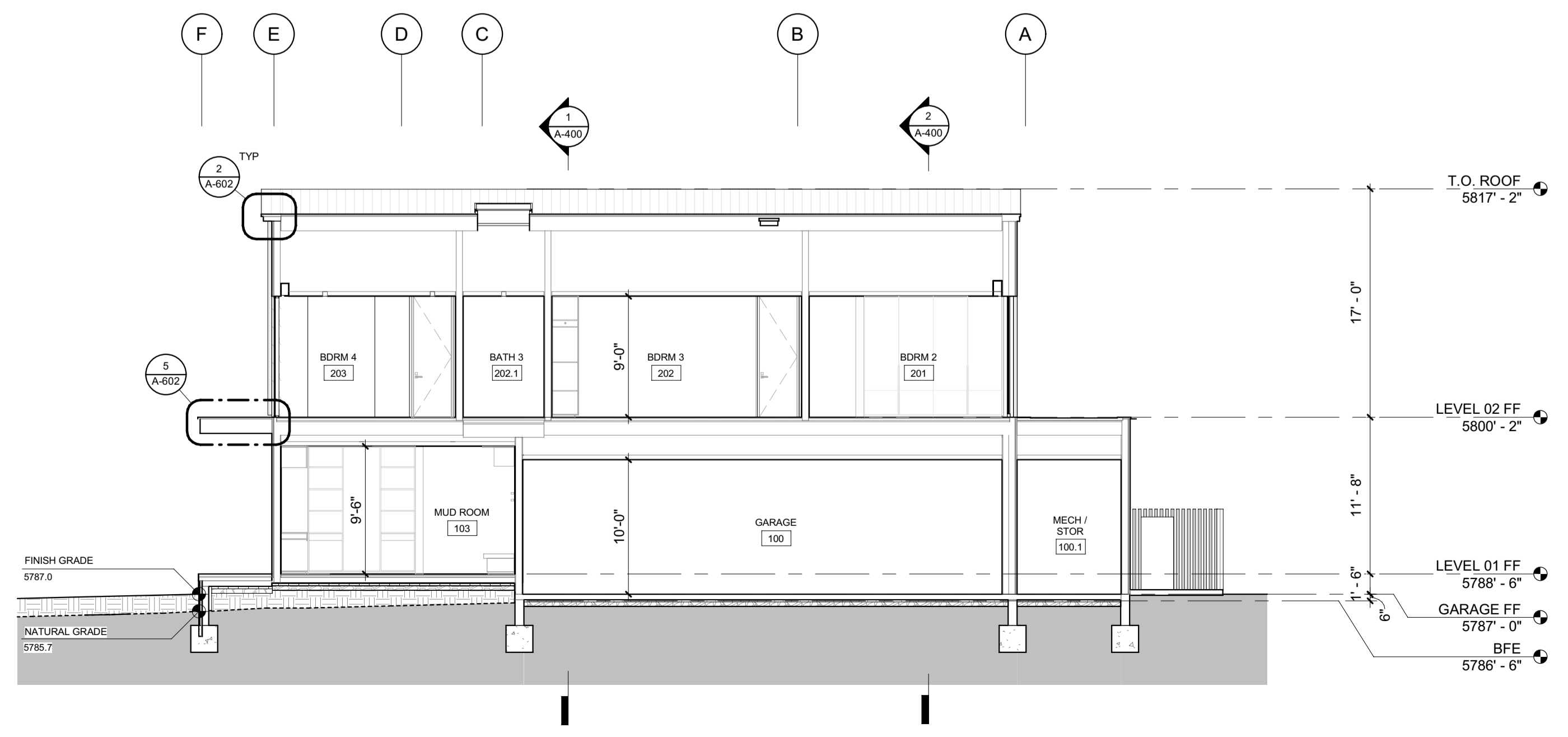
Approved  
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 BLD2303-00021  
 9/6/26/23



3 1/8" = 1'-0" BUILDING SECTION E-W 3



2 1/8" = 1'-0" BUILDING SECTION E-W 2



1 1/8" = 1'-0" BUILDING SECTION E-W 4

**BADGER RESIDENCE**

OWNER:  
 121 BADGER LANE LLC  
 P.O. BOX 14001-174  
 KETCHUM, ID 83340

PROJECT ARCHITECT:  
 RO | ROCKETT DESIGN  
 1031 W. MANCHESTER BLVD, UNIT 6  
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 TEL: 213.784.0014

SURVEYOR:  
 GALENA ENGINEERING, INC.  
 317 NORTH RIVER STREET  
 HAILEY, ID 83333  
 TEL: 208.788.1705

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 P.O. BOX 2707 / 540 NORTH FIRST AVE  
 KETCHUM, ID 83340  
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HYDROLOGY / WATER ENGINEERING:  
 BROCKWAY ENGINEERING, INC.  
 2018 WASHINGTON ST NORTH, SUITE 4  
 TWIN FALLS, ID 83301  
 TEL: 208.736-8543

GEOTECHNICAL ENGINEER:  
 BUTLER ASSOCIATES, INC.  
 P.O. BOX 1034  
 KETCHUM, ID 83340  
 TEL: 208.720.6432

LANDSCAPE ARCHITECT:  
 BYLA  
 323 LEWIS STREET, SUITE N  
 KETCHUM, ID 83340  
 TEL: 208.726.5907

CIVIL ENGINEER:  
 BENCHMARK ASSOCIATES, P.A.  
 P.O. BOX 733 - 100 BELL DRIVE  
 KETCHUM, IDAHO 83340  
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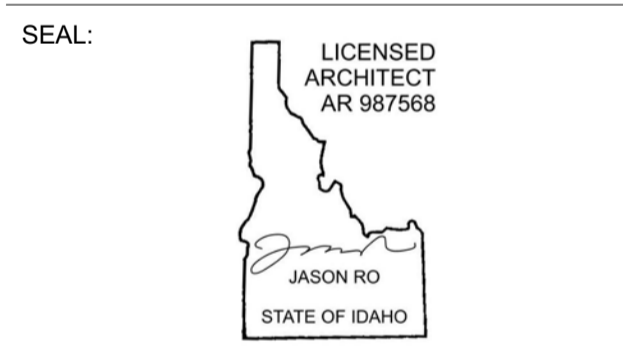
STRUCTURAL ENGINEER:  
 LFA  
 319 MAIN STREET  
 EL SEGUNDO, CA 90245  
 TEL: 213.239.9700

MEP ENGINEER:  
 CES ENGINEERING SERVICES, LLC  
 1001 W OAK BUILDING B SUITE 107  
 BOZEMAN, MT 59715  
 TEL: 406.272.0352

LIGHTING DESIGN CONSULTANT:  
 KGM ARCHITECTURAL LIGHTING  
 270 CORAL CIRCLE  
 EL SEGUNDO, CA 90245  
 TEL: 310.552.2191

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PROJECT:  
**BADGER RESIDENCE**  
 121 BADGER LANE  
 KETCHUM, ID 83340

PROJECT NUMBER  
**#2201**

DRAWING TITLE:  
**BUILDING SECTIONS**

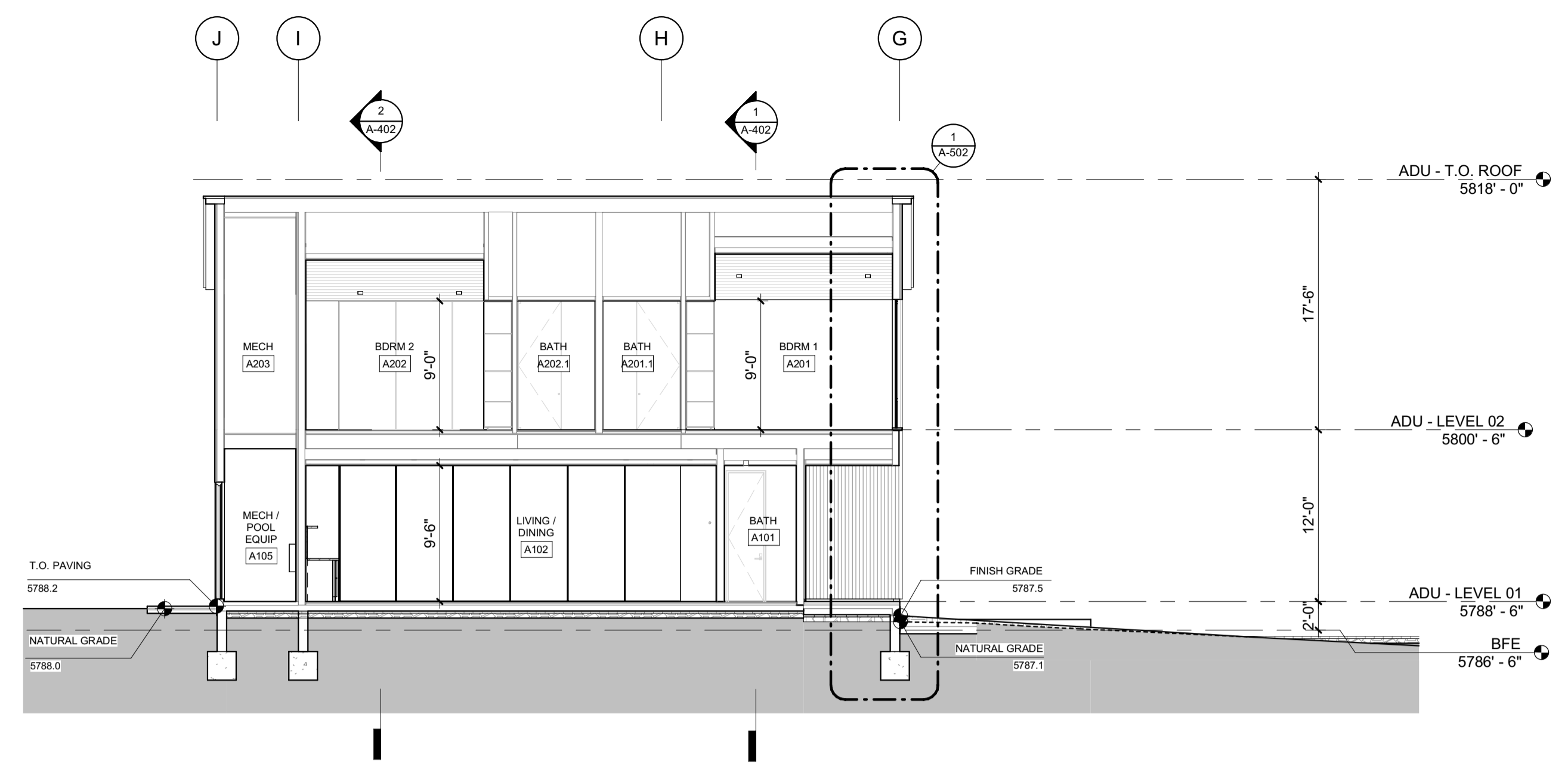
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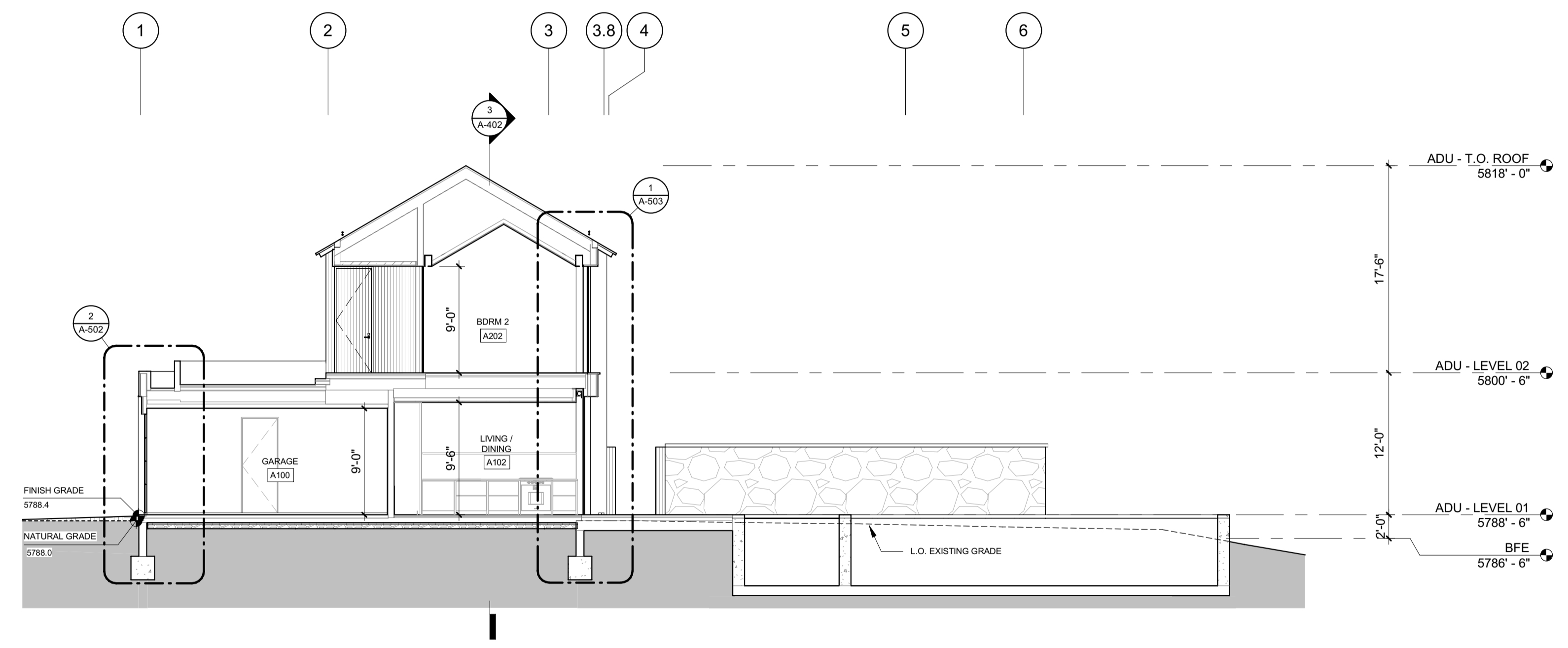
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BLD2303-00021  
9/6/26/23

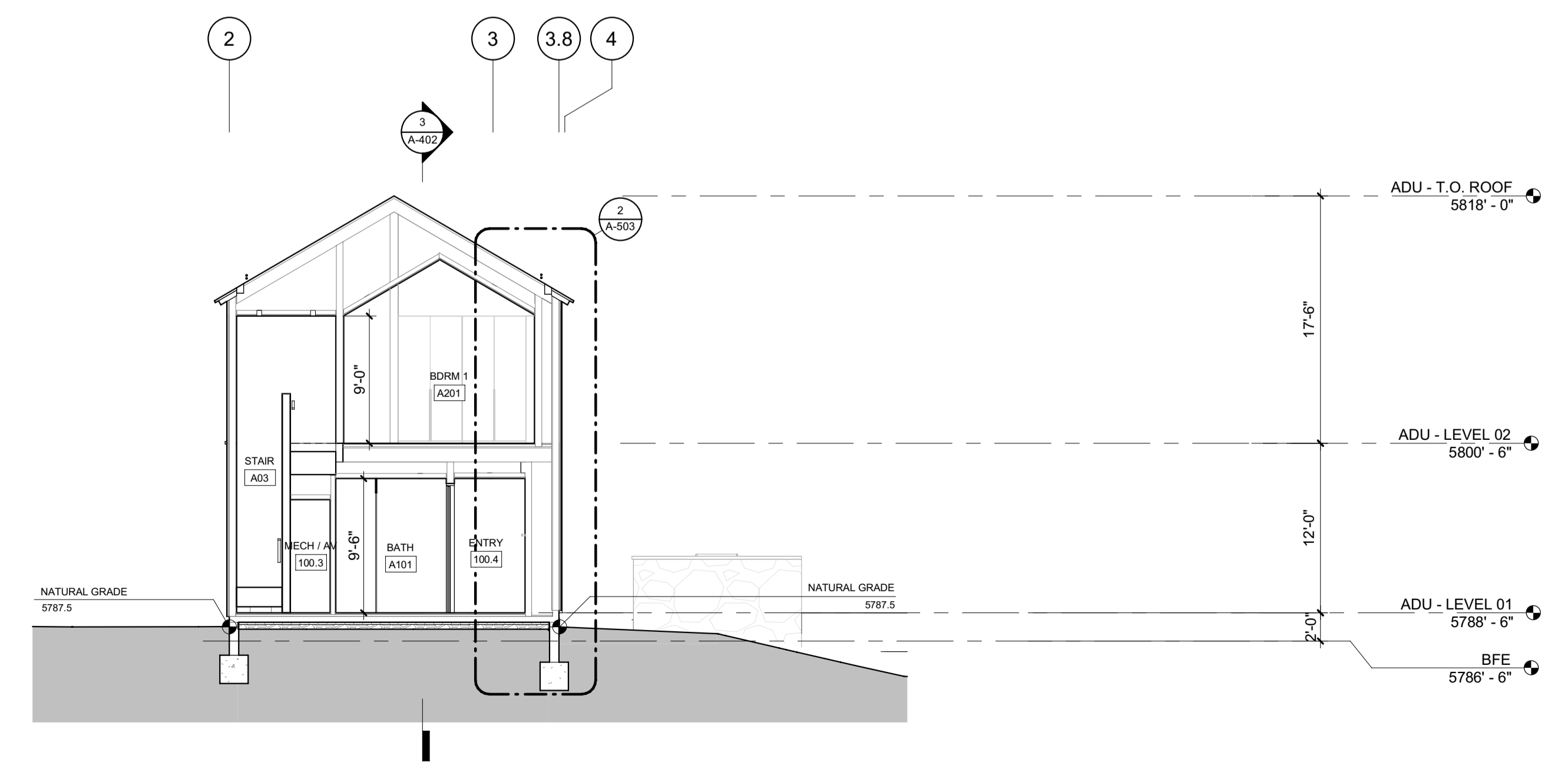
2/26/23



3 1/8" = 1'-0" ADU BUILDING SECTION E-W



2 1/8" = 1'-0" ADU BUILDING SECTION N-S 2



1 1/8" = 1'-0" ADU BUILDING SECTION N-S 1

**BADGER RESIDENCE**

OWNER:  
**121 BADGER LANE LLC**  
P.O. BOX 14001-174  
KETCHUM, ID 83340

PROJECT ARCHITECT:  
**RO | ROCKETT DESIGN**  
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HAILEY, ID 83333  
TEL: 208.788.1705

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**SAWTOOTH ENVIRONMENTAL CONSULTING**  
P.O. BOX 2707 / 540 NORTH FIRST AVE  
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TEL: 208.727.9748

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**BROCKWAY ENGINEERING, INC.**  
2018 WASHINGTON ST NORTH, SUITE 4  
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TEL: 208.736-8543

GEOTECHNICAL ENGINEER:  
**BUTLER ASSOCIATES, INC.**  
P.O. BOX 1034  
KETCHUM, ID 83340  
TEL: 208.720.6432

LANDSCAPE ARCHITECT:  
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323 LEWIS STREET, SUITE N  
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TEL: 208.726.5907

CIVIL ENGINEER:  
**BENCHMARK ASSOCIATES, P.A.**  
P.O. BOX 733 - 100 BELL DRIVE  
KETCHUM, IDAHO 83340  
TEL: 208.726.9512

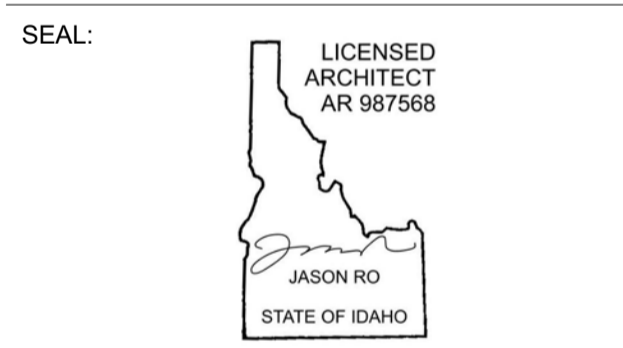
STRUCTURAL ENGINEER:  
**LFA**  
319 MAIN STREET  
EL SEGUNDO, CA 90245  
TEL: 213.239.9700

MEP ENGINEER:  
**CES ENGINEERING SERVICES, LLC**  
1001 W OAK BUILDING B SUITE 107  
BOZEMAN, MT 59715  
TEL: 406.272.0352

LIGHTING DESIGN CONSULTANT:  
**KGM ARCHITECTURAL LIGHTING**  
270 CORAL CIRCLE  
EL SEGUNDO, CA 90245  
TEL: 310.552.2191

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0	02.28.23	BUILDING PERMIT
NO	DATE	ISSUE

PROJECT:  
**BADGER RESIDENCE**  
121 BADGER LANE  
KETCHUM, ID 83340

PROJECT NUMBER:  
**#2201**

DRAWING TITLE:  
**BUILDING SECTIONS / ADU**

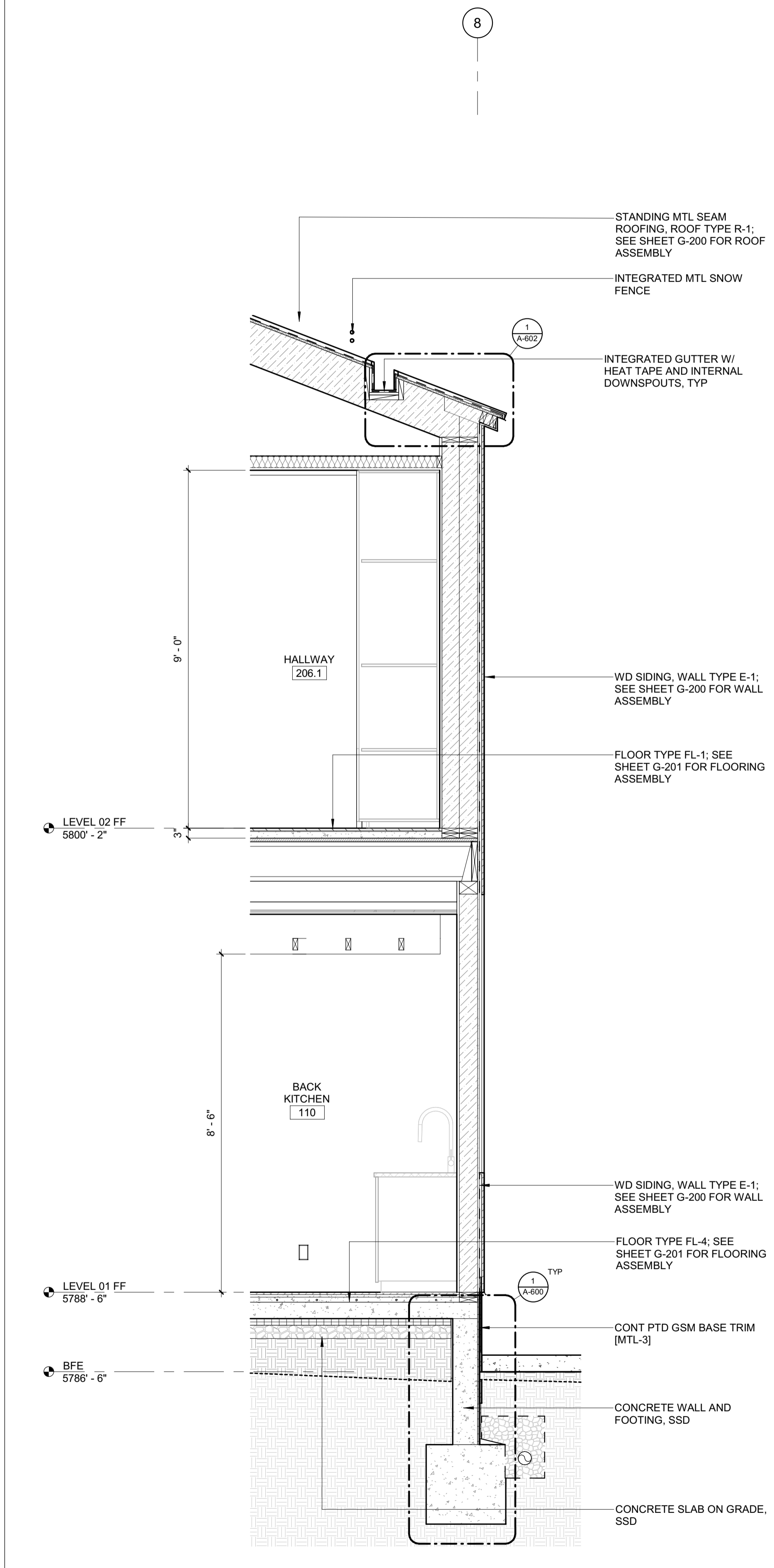
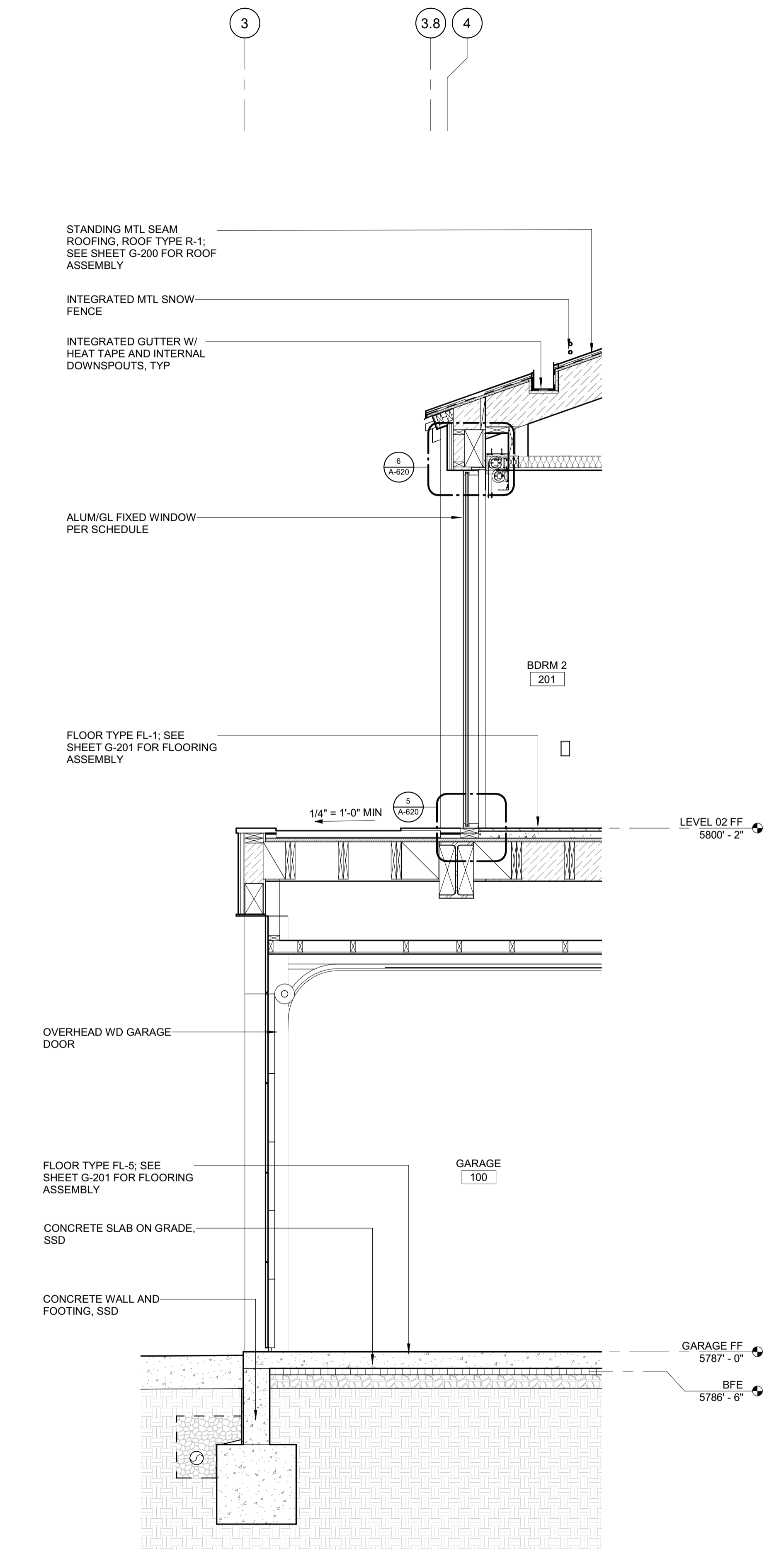
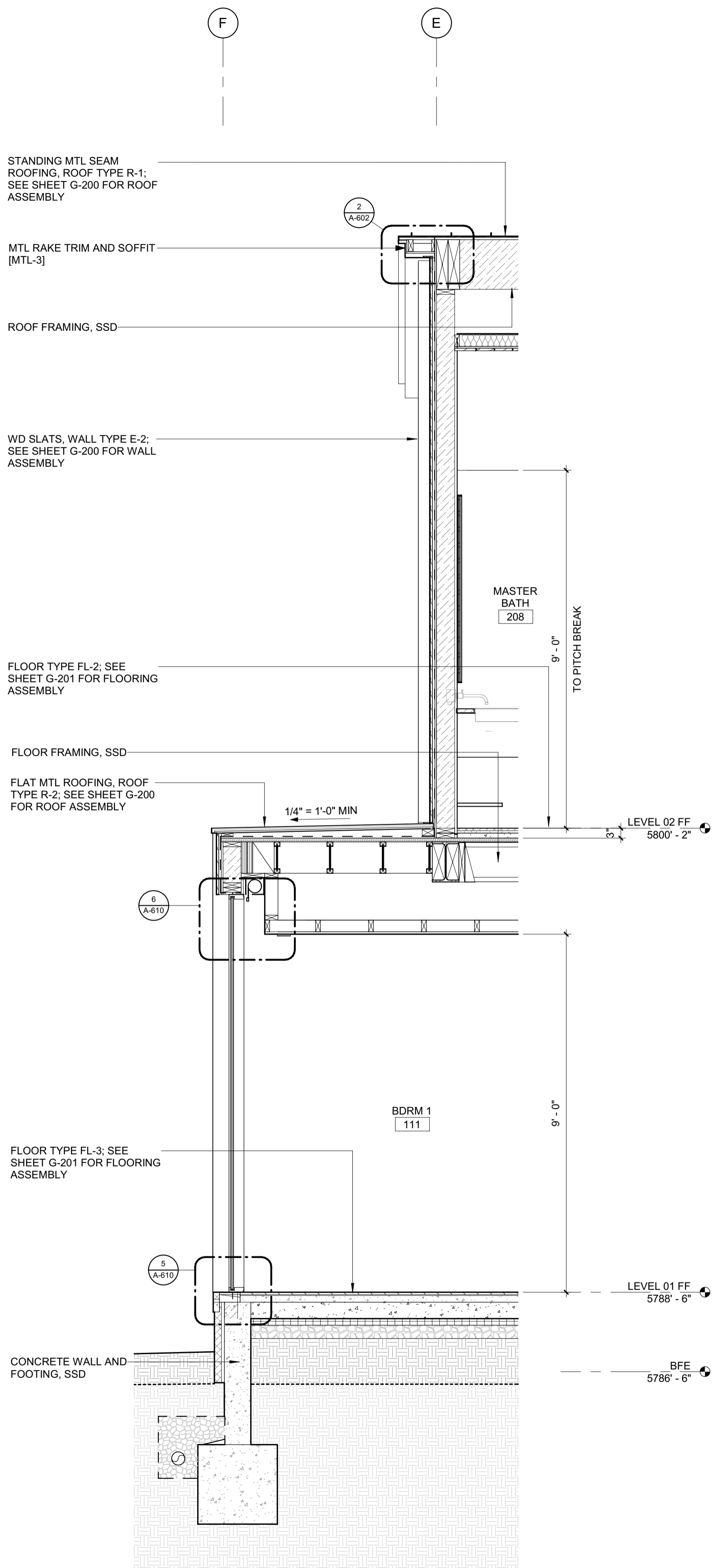
DRAWING NUMBER:  
**A-402**



These plans have been found to be in substantial compliance with the Idaho Building Code. These documents are approved contingent on compliance with the mark-ups and notes applied. This is not approval of any code, ordinance, statute or regulation. Corrections will be required for code violations found during the inspection process.

BLD2303-00021  
9/6/26/23

2/28/23



**BADGER RESIDENCE**

OWNER:  
121 BADGER LANE LLC  
P.O. BOX 14001-174  
KETCHUM, ID 83340

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KETCHUM, ID 83340  
TEL: 208.727.9748

HYDROLOGY / WATER ENGINEERING:  
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TEL: 208.736-8543

GEOTECHNICAL ENGINEER:  
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BENCHMARK ASSOCIATES, P.A.  
P.O. BOX 733 - 100 BELL DRIVE  
KETCHUM, IDAHO 83340  
TEL: 208.726.9512

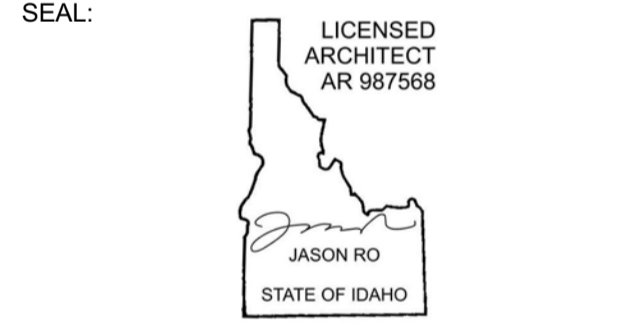
STRUCTURAL ENGINEER:  
LFA  
319 MAIN STREET  
EL SEGUNDO, CA 90245  
TEL: 213.239.9700

MEP ENGINEER:  
CES ENGINEERING SERVICES, LLC  
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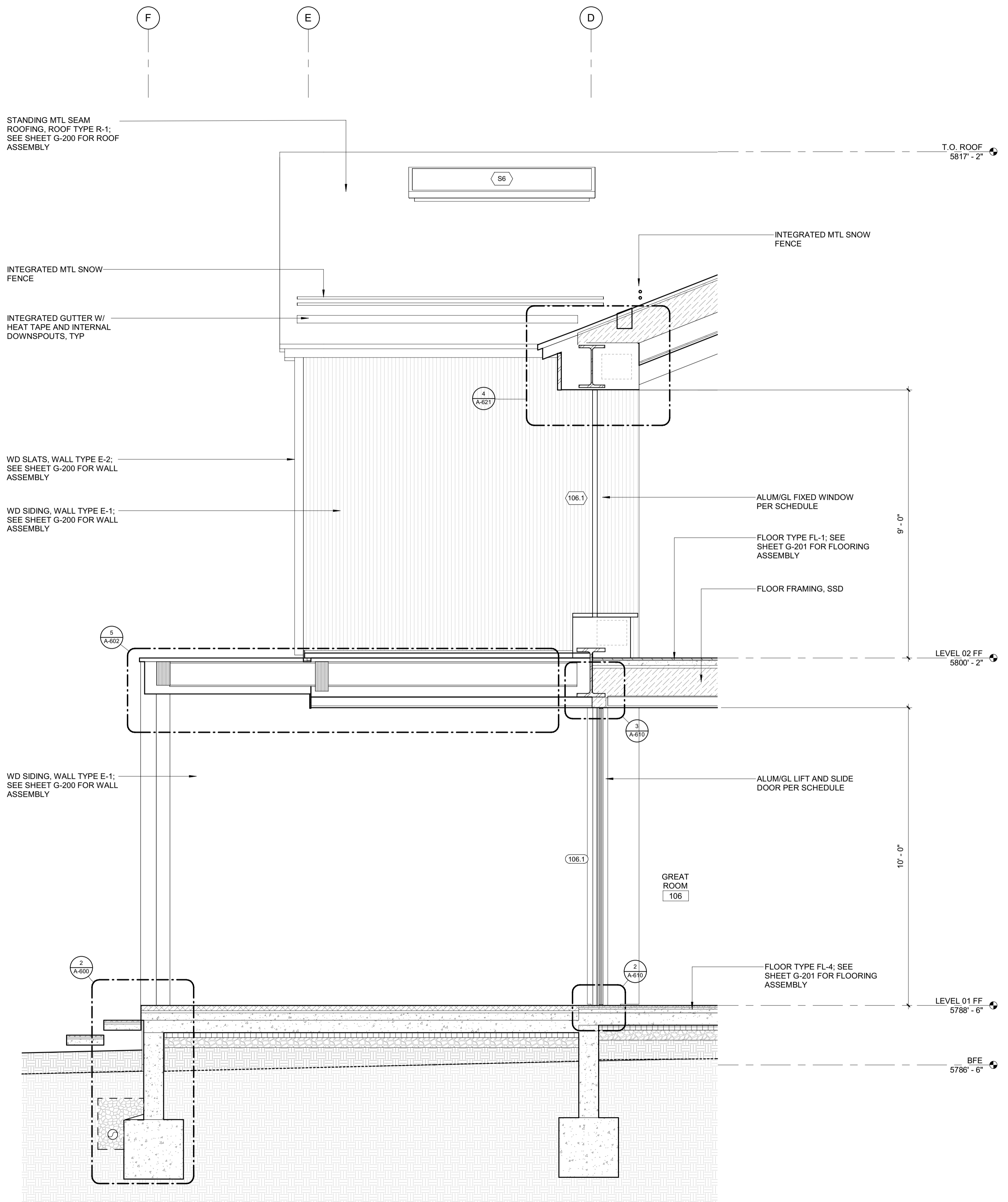
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NO	DATE	ISSUE

PROJECT:  
**BADGER RESIDENCE**  
121 BADGER LANE  
KETCHUM, ID 83340

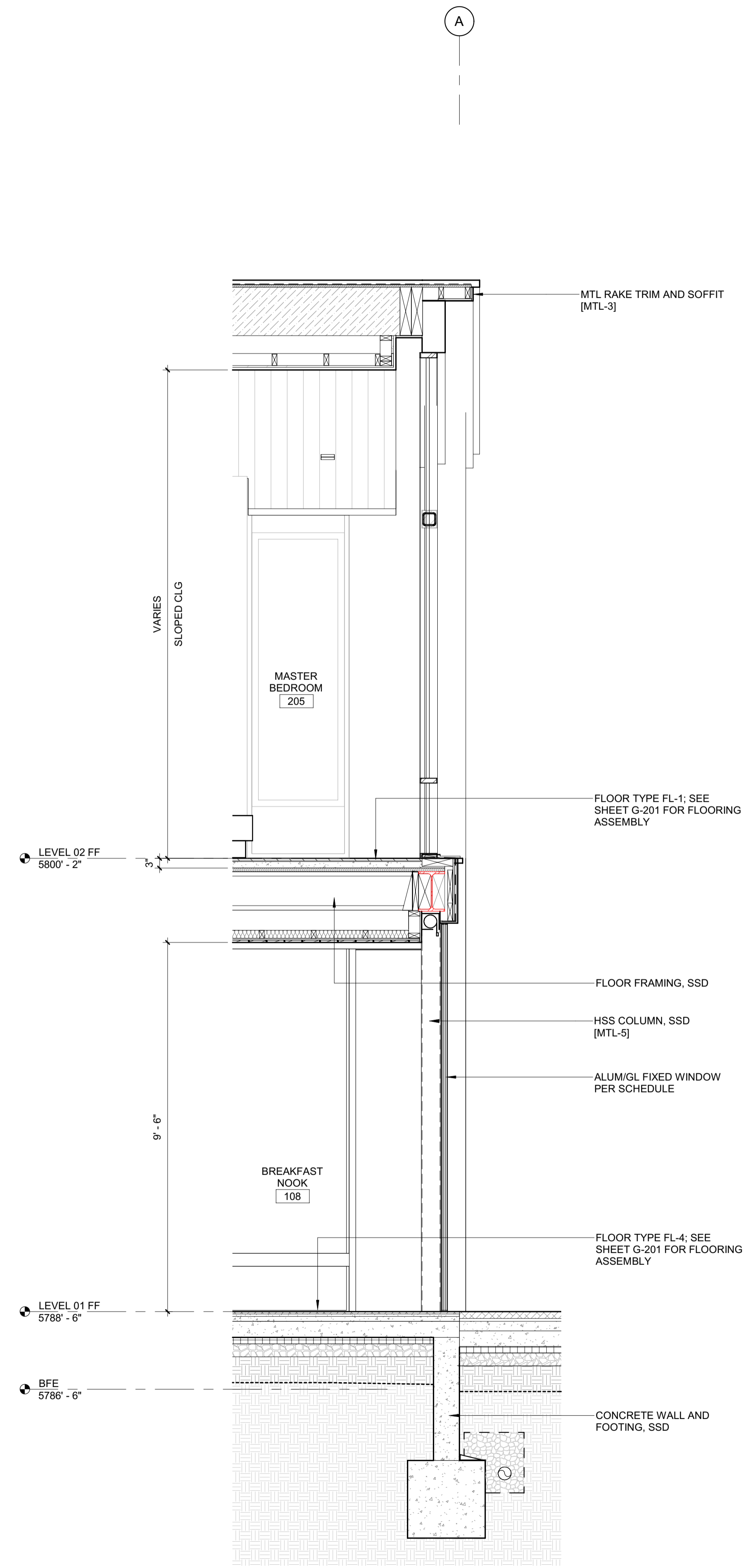
PROJECT NUMBER  
**#2201**

DRAWING TITLE:  
**WALL SECTIONS**

DRAWING NUMBER:  
**A-500**



2 1/2" = 1'-0" WALL SECTION E-W 2



1 1/2" = 1'-0" WALL SECTION @ MH WEST

**BADGER RESIDENCE**

OWNER:  
 121 BADGER LANE LLC  
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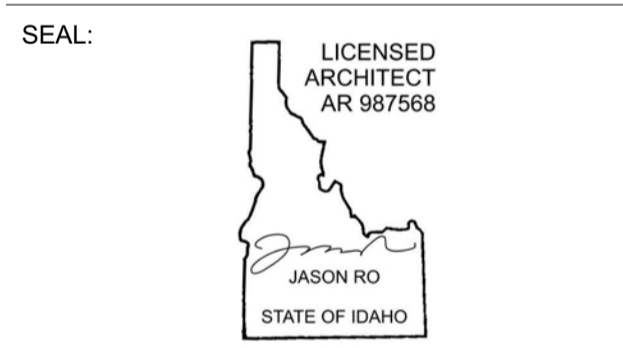
STRUCTURAL ENGINEER:  
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 TEL: 213.239.9700

MEP ENGINEER:  
 CES ENGINEERING SERVICES, LLC  
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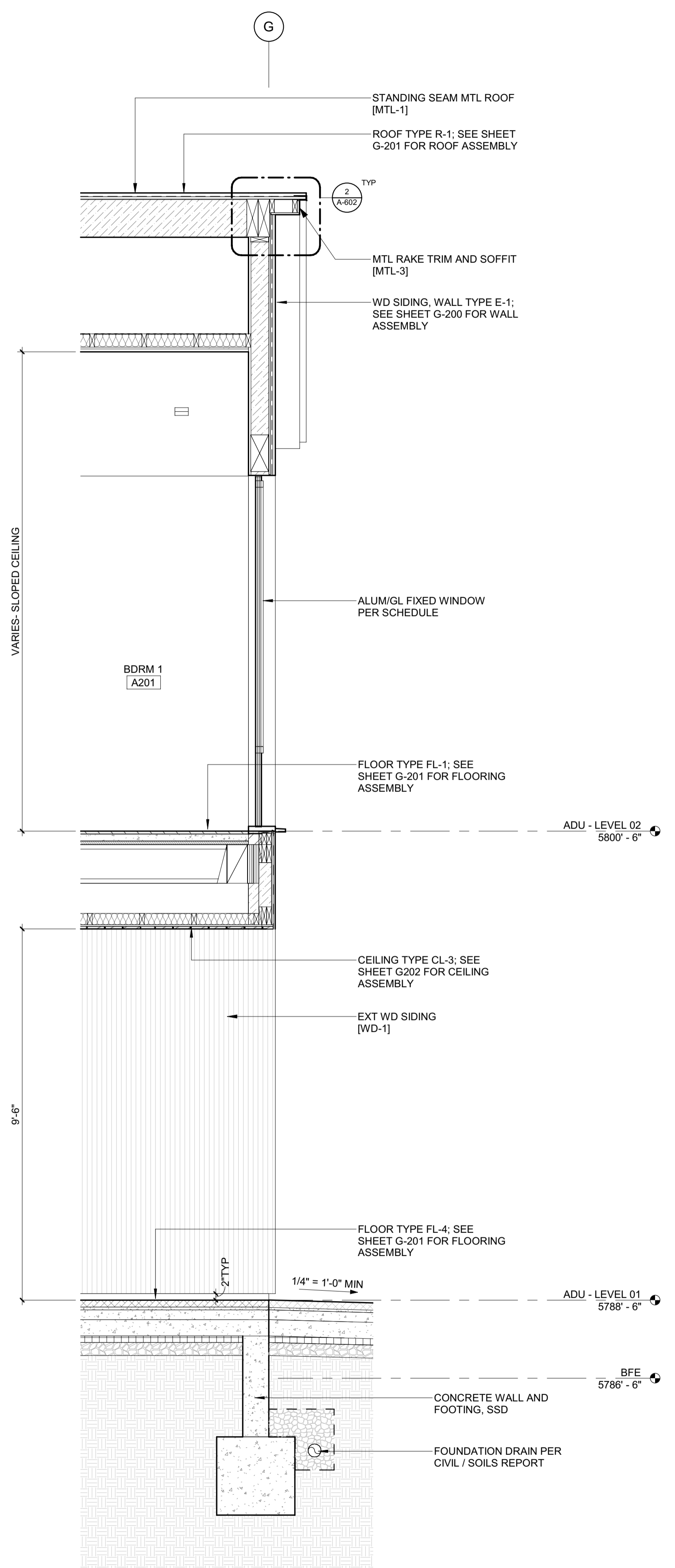
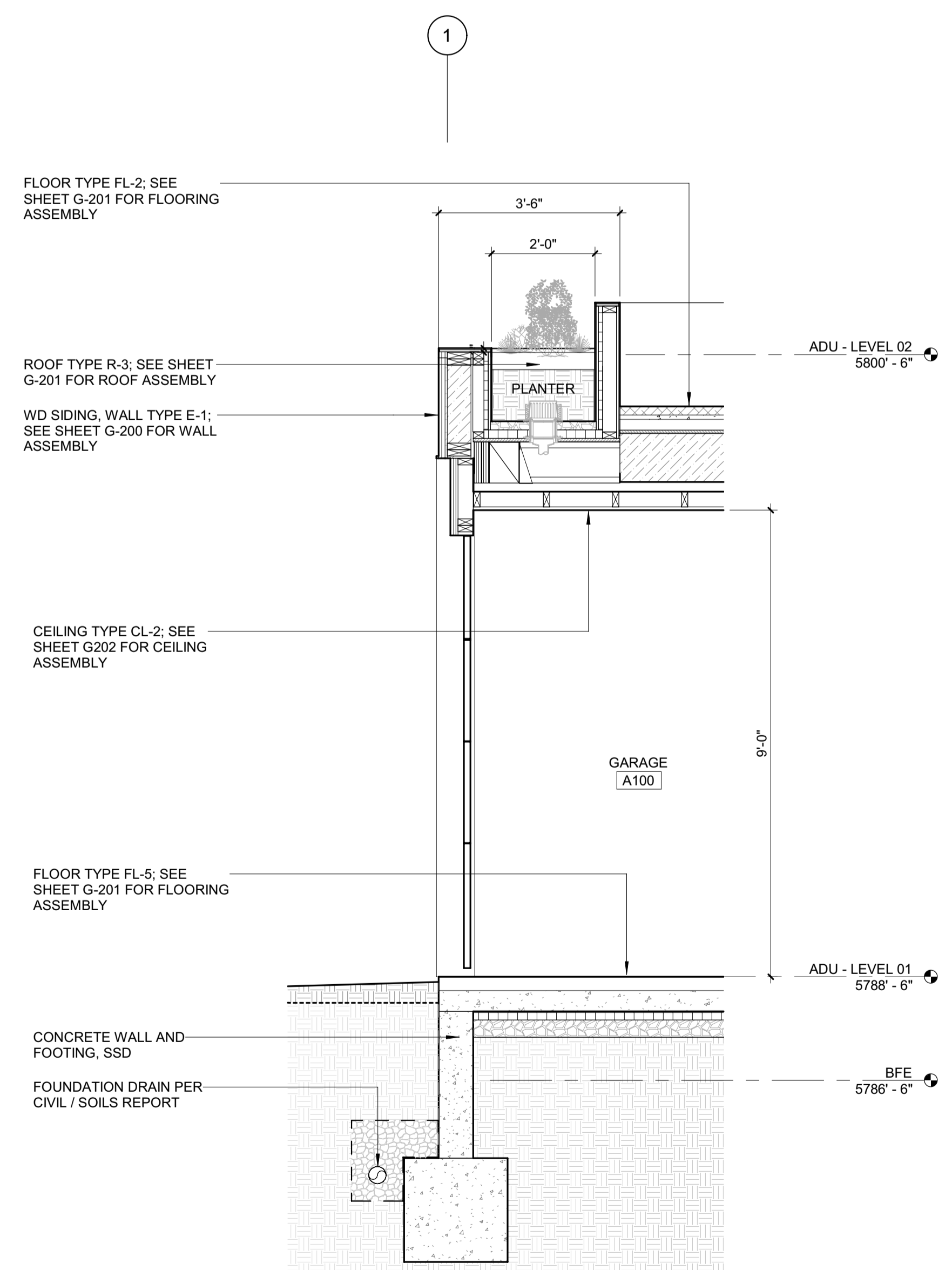
NO	DATE	BUILDING PERMIT	ISSUE
0	02.28.23		

PROJECT:  
**BADGER RESIDENCE**  
 121 BADGER LANE  
 KETCHUM, ID 83340

PROJECT NUMBER  
**#2201**

DRAWING TITLE:  
**WALL SECTIONS**

DRAWING NUMBER:  
**A-501**

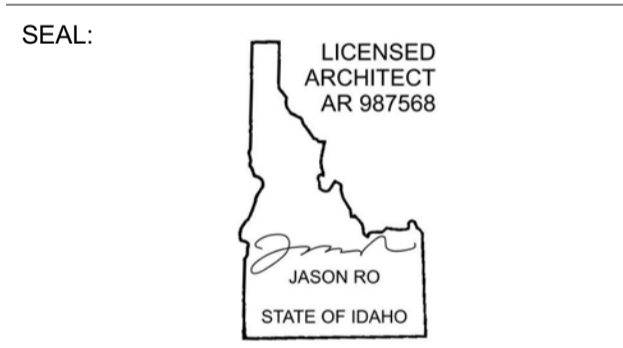


**BADGER RESIDENCE**

- OWNER:  
 121 BADGER LANE LLC  
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 KETCHUM, ID 83340
- PROJECT ARCHITECT:  
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- GEOTECHNICAL ENGINEER:  
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- LANDSCAPE ARCHITECT:  
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- LIGHTING DESIGN CONSULTANT:  
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NO	DATE	BUILDING PERMIT	ISSUE
0	02.28.23	BUILDING PERMIT	

PROJECT:  
**BADGER RESIDENCE**  
 121 BADGER LANE  
 KETCHUM, ID 83340

PROJECT NUMBER  
**#2201**

DRAWING TITLE:  
**WALL SECTIONS / ADU**

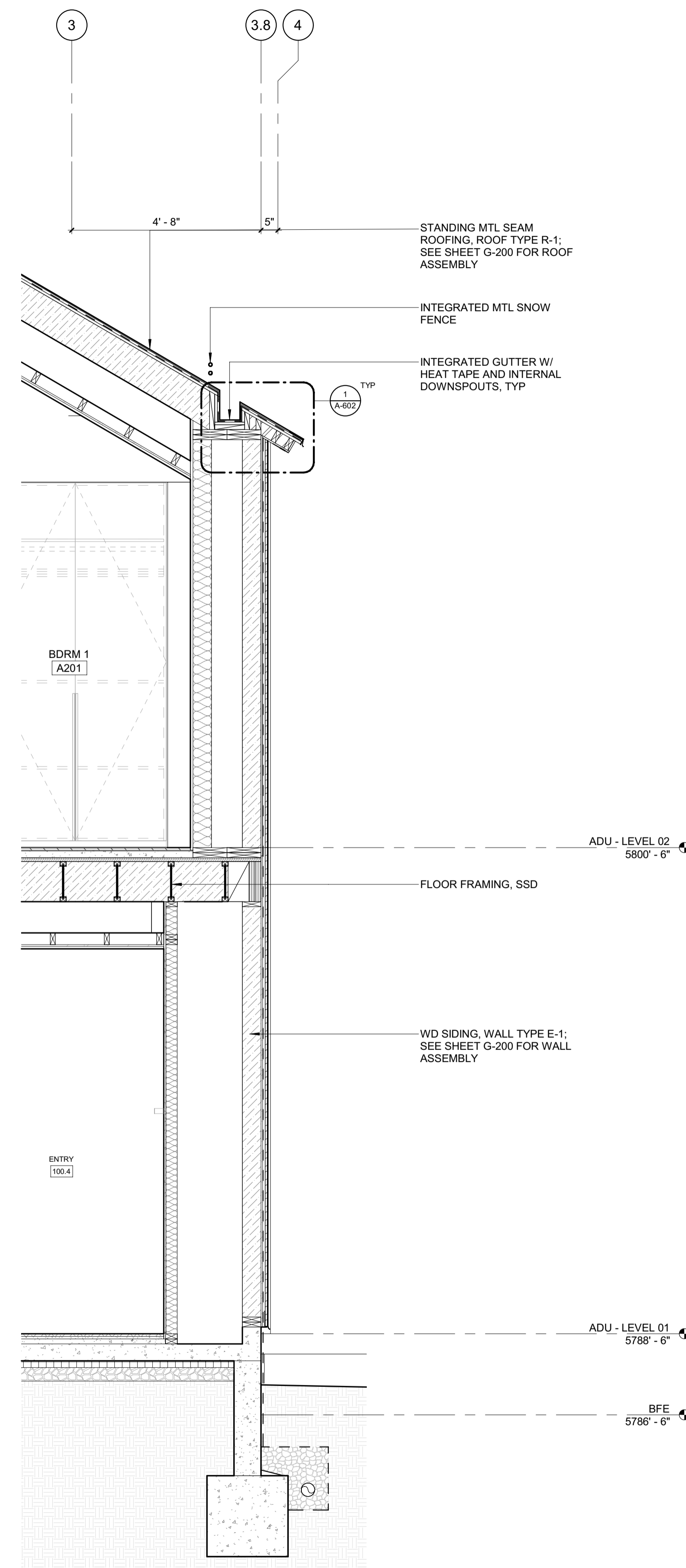
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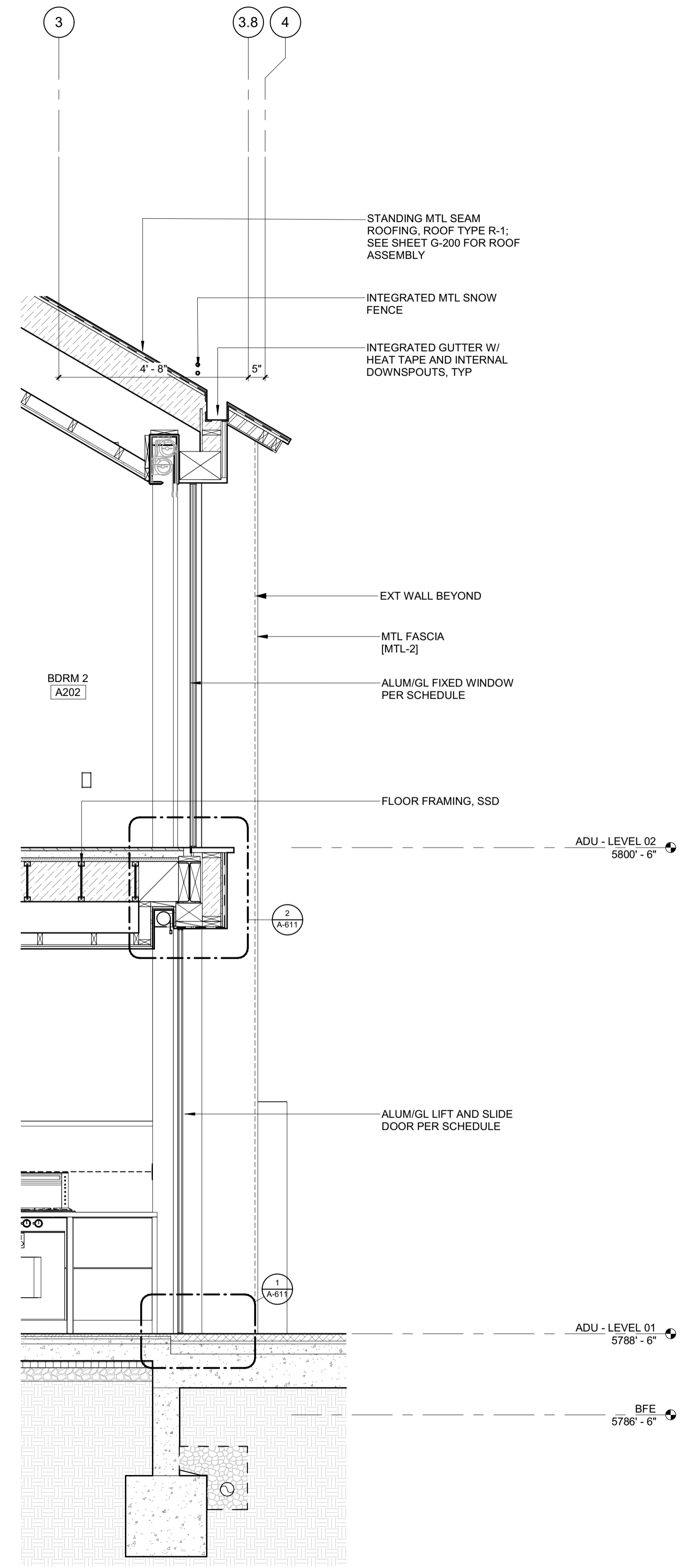
These plans have been found to be in substantial compliance with the adopted building codes. These documents are approved contingent on compliance with the mark-ups and notes applied. This is not approval of any code, ordinance, statute or regulation. Corrections will be required for code violations found during the inspection process.

BLD2303-00021  
06/26/23

2/26/23



2 1/2" = 1'-0" WALL SECTION @ ADU SOUTH 2



1 1/2" = 1'-0" WALL SECTION @ ADU SOUTH 1

**BADGER RESIDENCE**

OWNER:  
121 BADGER LANE LLC  
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KETCHUM, ID 83340  
TEL: 208.720.6432

LANDSCAPE ARCHITECT:  
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CIVIL ENGINEER:  
BENCHMARK ASSOCIATES, P.A.  
P.O. BOX 733 - 100 BELL DRIVE  
KETCHUM, IDAHO 83340  
TEL: 208.726.9512

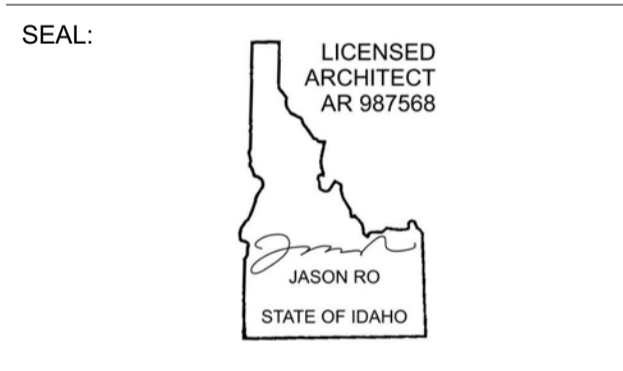
STRUCTURAL ENGINEER:  
LFA  
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EL SEGUNDO, CA 90245  
TEL: 213.239.9700

MEP ENGINEER:  
CES ENGINEERING SERVICES, LLC  
1001 W OAK BUILDING B SUITE 107  
BOZEMAN, MT 59715  
TEL: 406.272.0352

LIGHTING DESIGN CONSULTANT:  
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270 CORAL CIRCLE  
EL SEGUNDO, CA 90245  
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NO	DATE	BUILDING PERMIT	ISSUE
0	02.28.23	BUILDING PERMIT	

PROJECT:  
**BADGER RESIDENCE**  
121 BADGER LANE  
KETCHUM, ID 83340

PROJECT NUMBER:  
**#2201**

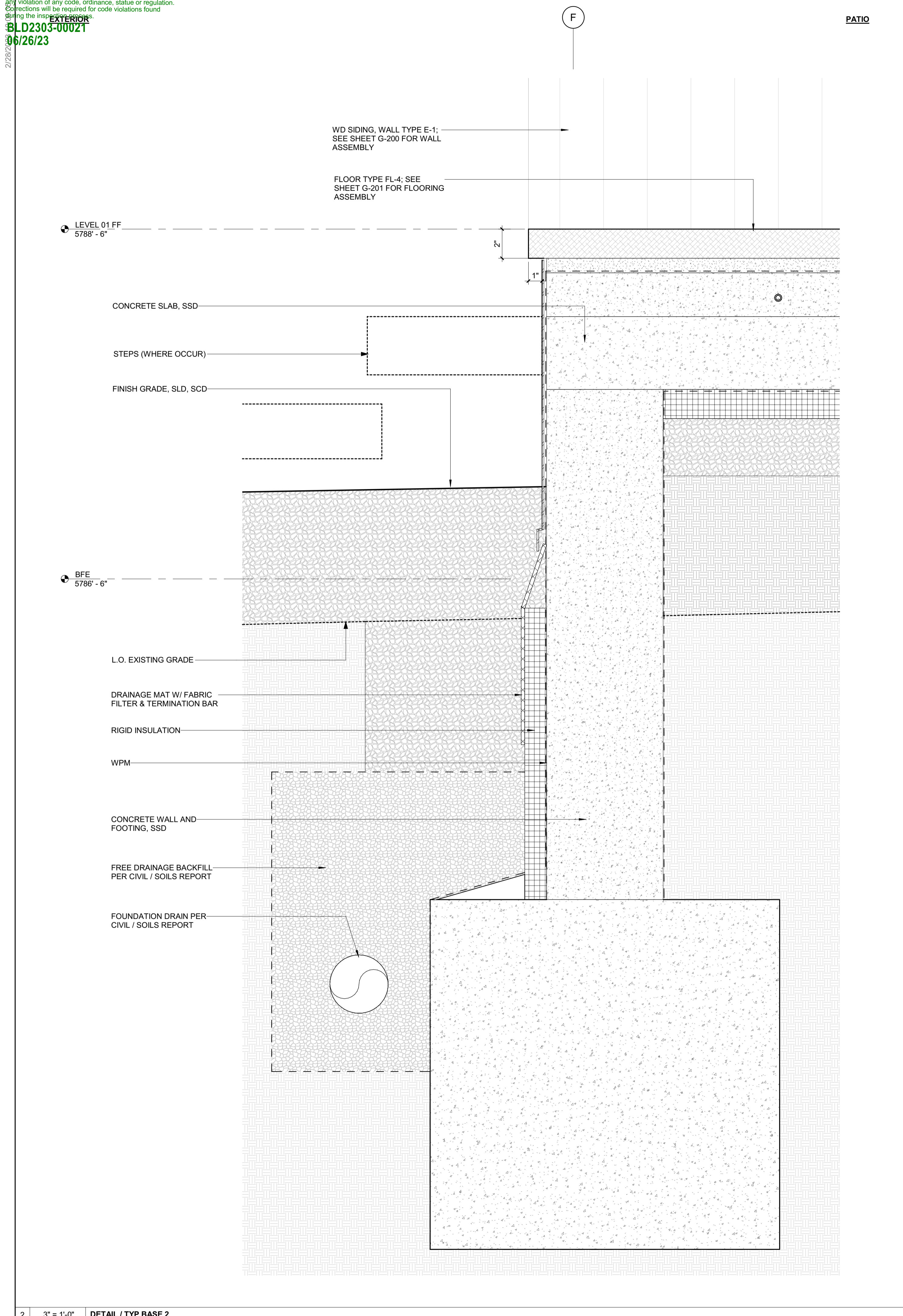
DRAWING TITLE:  
**WALL SECTIONS / ADU**

DRAWING NUMBER:  
**A-503**

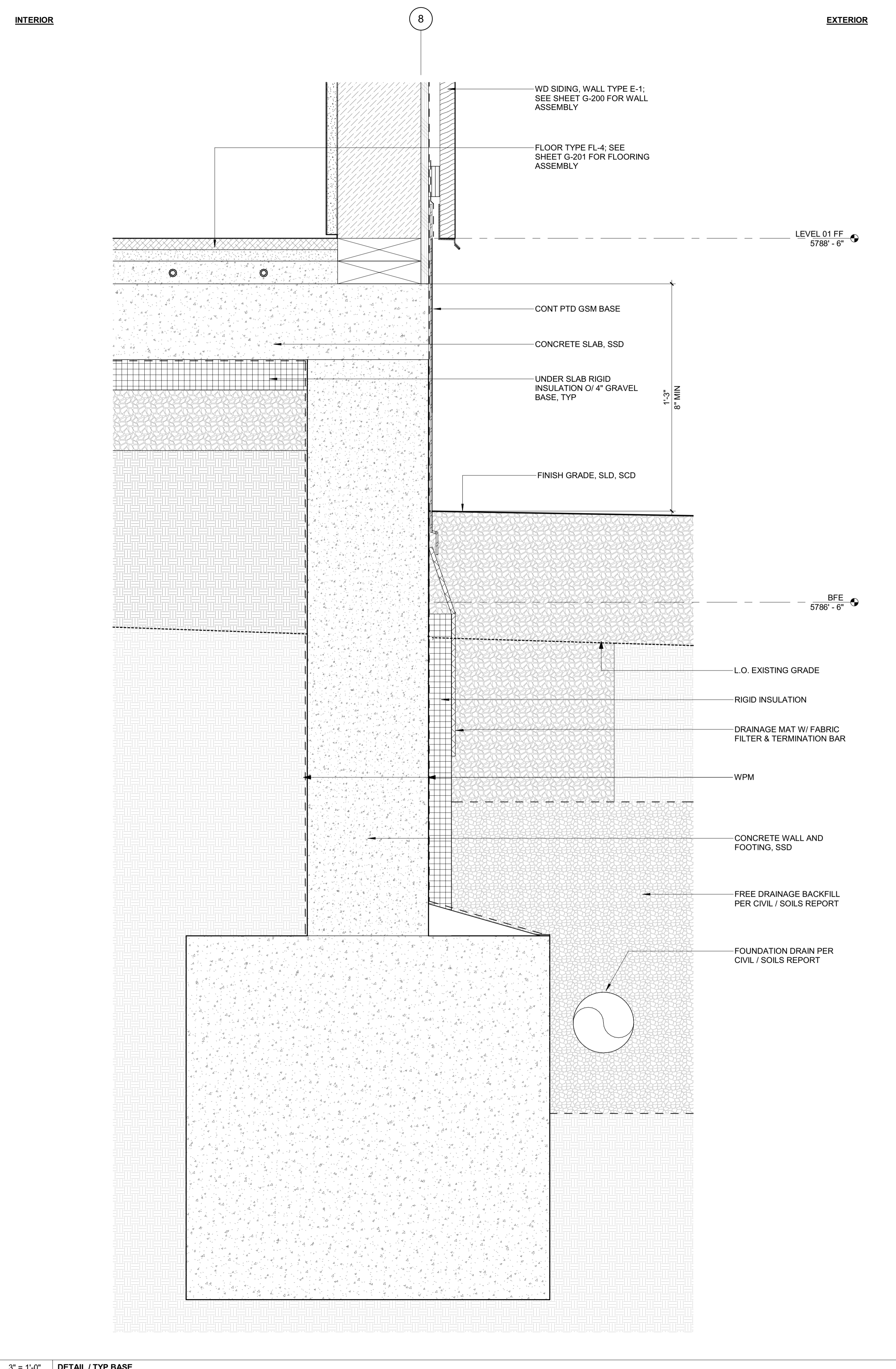
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Approved  
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 EXTERIOR  
 BLD2303-00021  
 9/6/26/23



2 3" = 1'-0" DETAIL / TYP BASE 2



1 3" = 1'-0" DETAIL / TYP BASE

**BADGER RESIDENCE**

OWNER:  
 121 BADGER LANE LLC  
 P.O. BOX 14001-174  
 KETCHUM, ID 83340

PROJECT ARCHITECT:  
 RO | ROCKETT DESIGN  
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LANDSCAPE ARCHITECT:  
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SEAL:  
 LICENSED ARCHITECT  
 AR 987568  
 JASON RO  
 STATE OF IDAHO

0	02.28.23	BUILDING PERMIT
NO	DATE	ISSUE

PROJECT:  
**BADGER RESIDENCE**  
 121 BADGER LANE  
 KETCHUM, ID 83340

PROJECT NUMBER  
**#2201**

DRAWING TITLE:  
**DETAILS / EXTERIOR**

DRAWING NUMBER:  
**A-600**



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BLD2303-00021  
06/26/23

2/28/23

**BADGER RESIDENCE**

OWNER:  
121 BADGER LANE LLC  
P.O. BOX 14001-174  
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HYDROLOGY / WATER ENGINEERING:  
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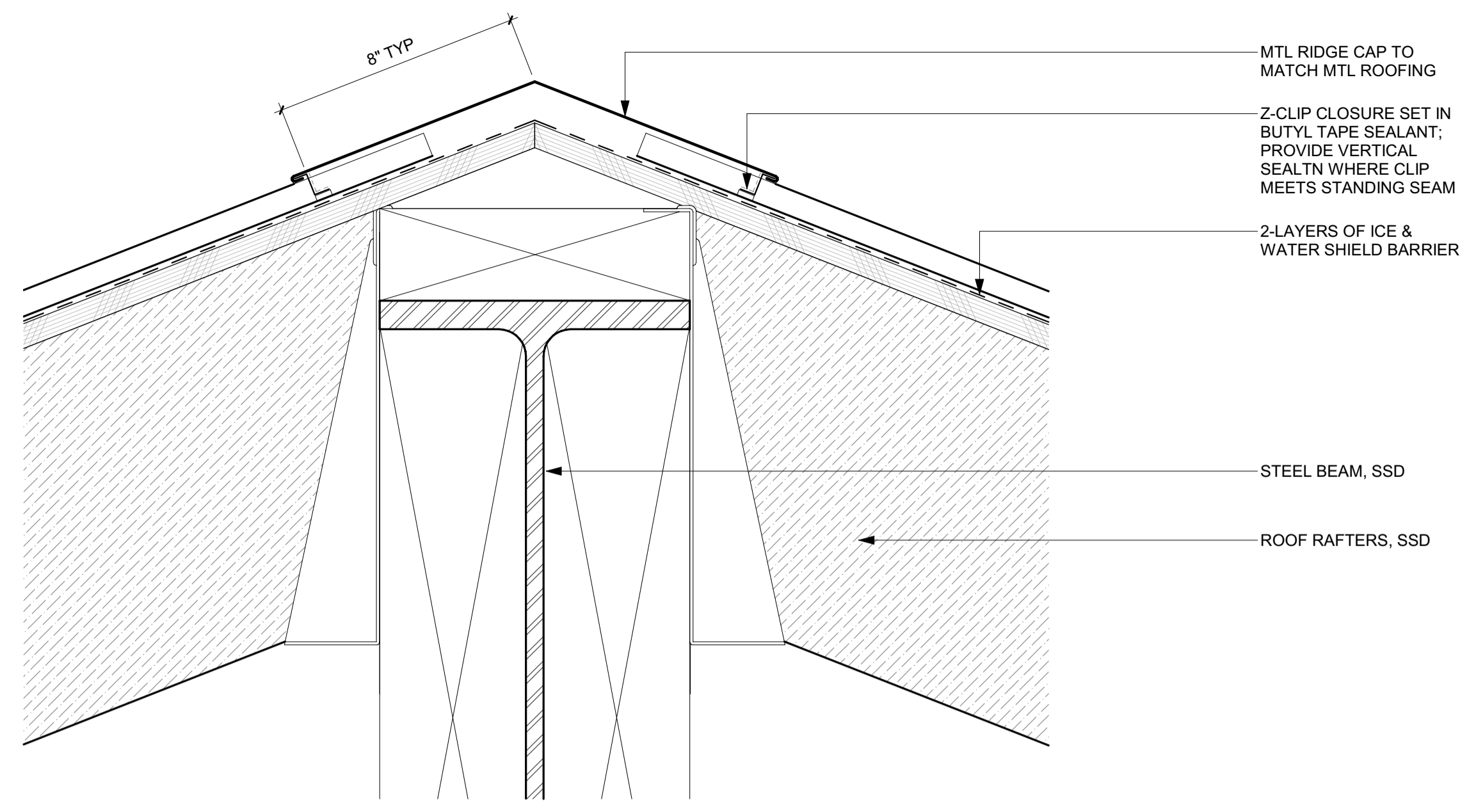
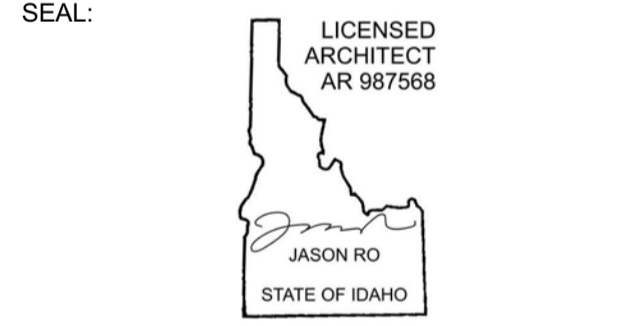
STRUCTURAL ENGINEER:  
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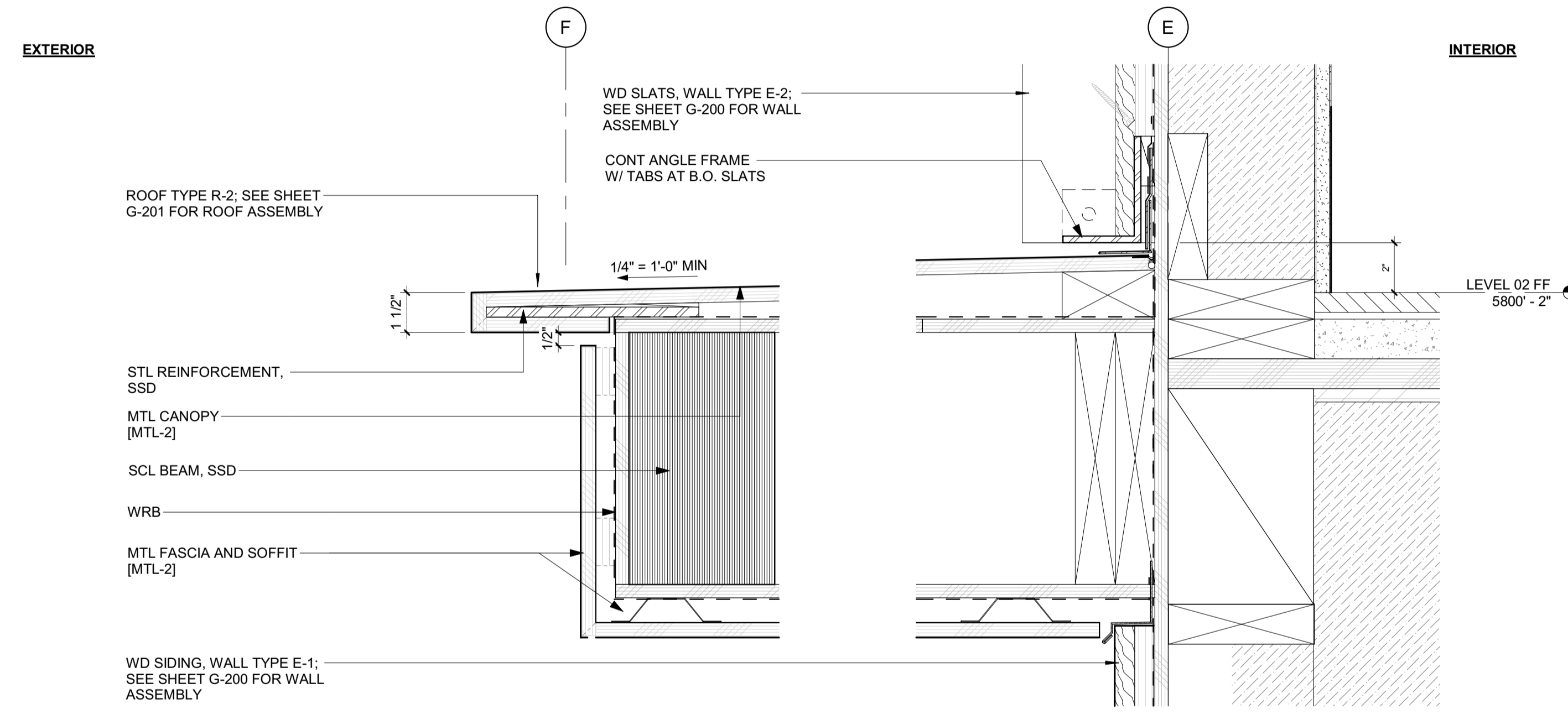
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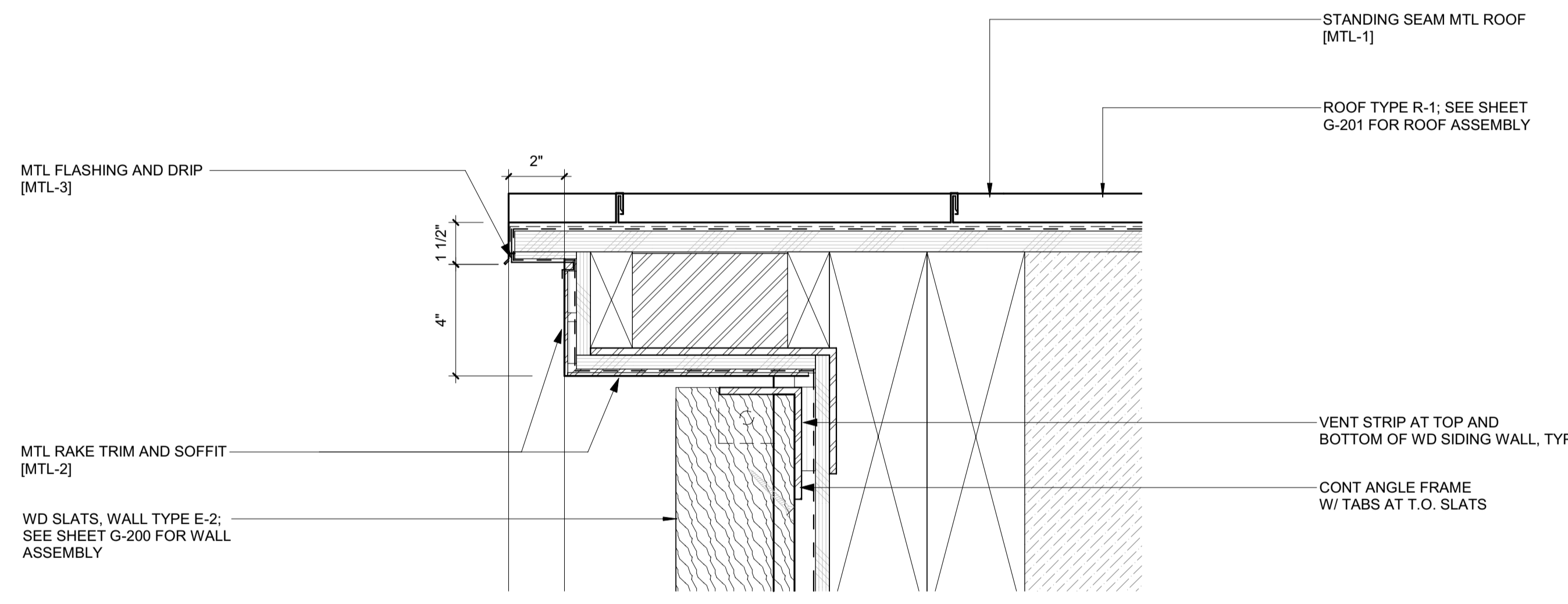
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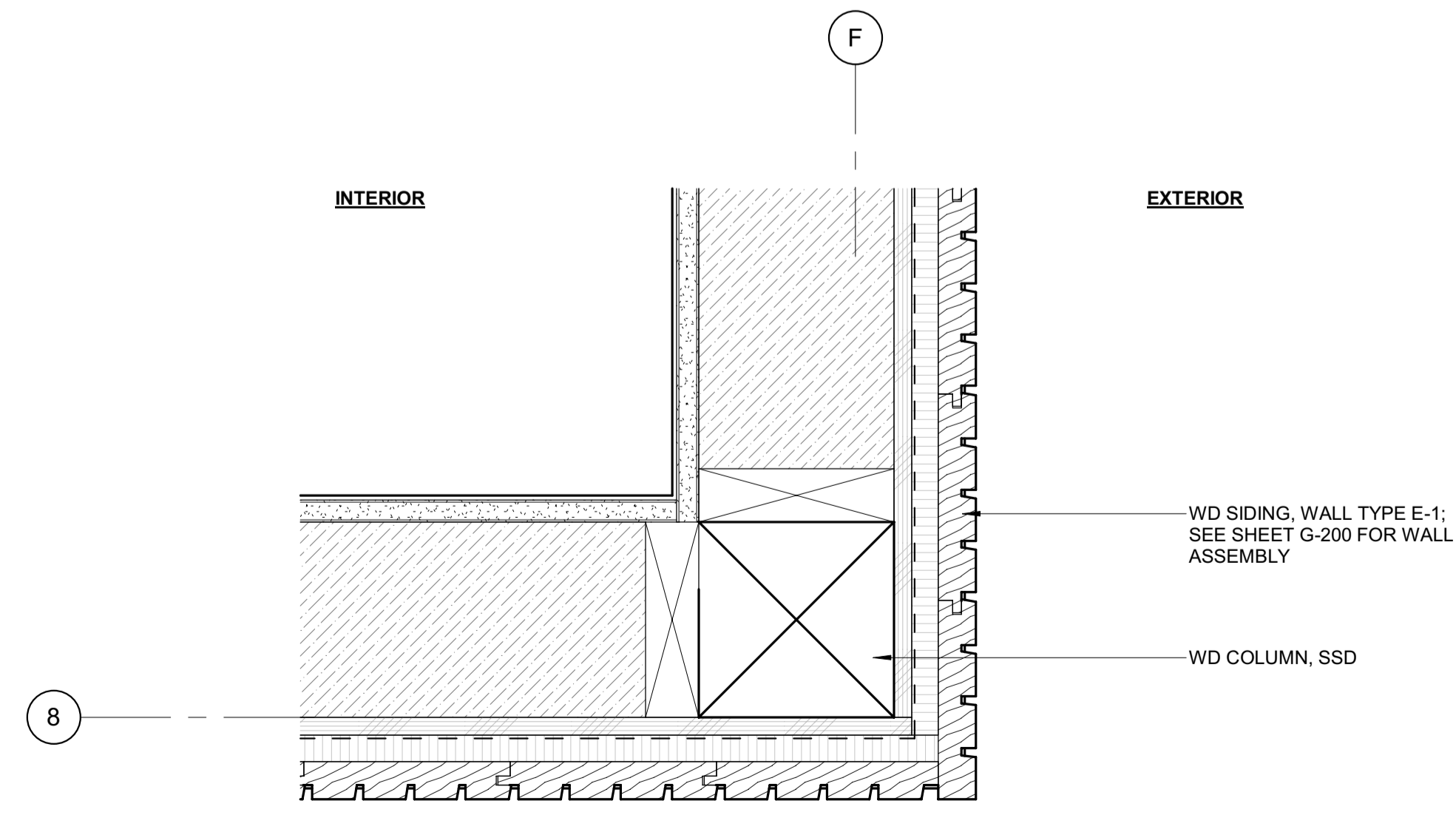
3 3" = 1'-0" DETAIL / TYP ROOF RIDGE



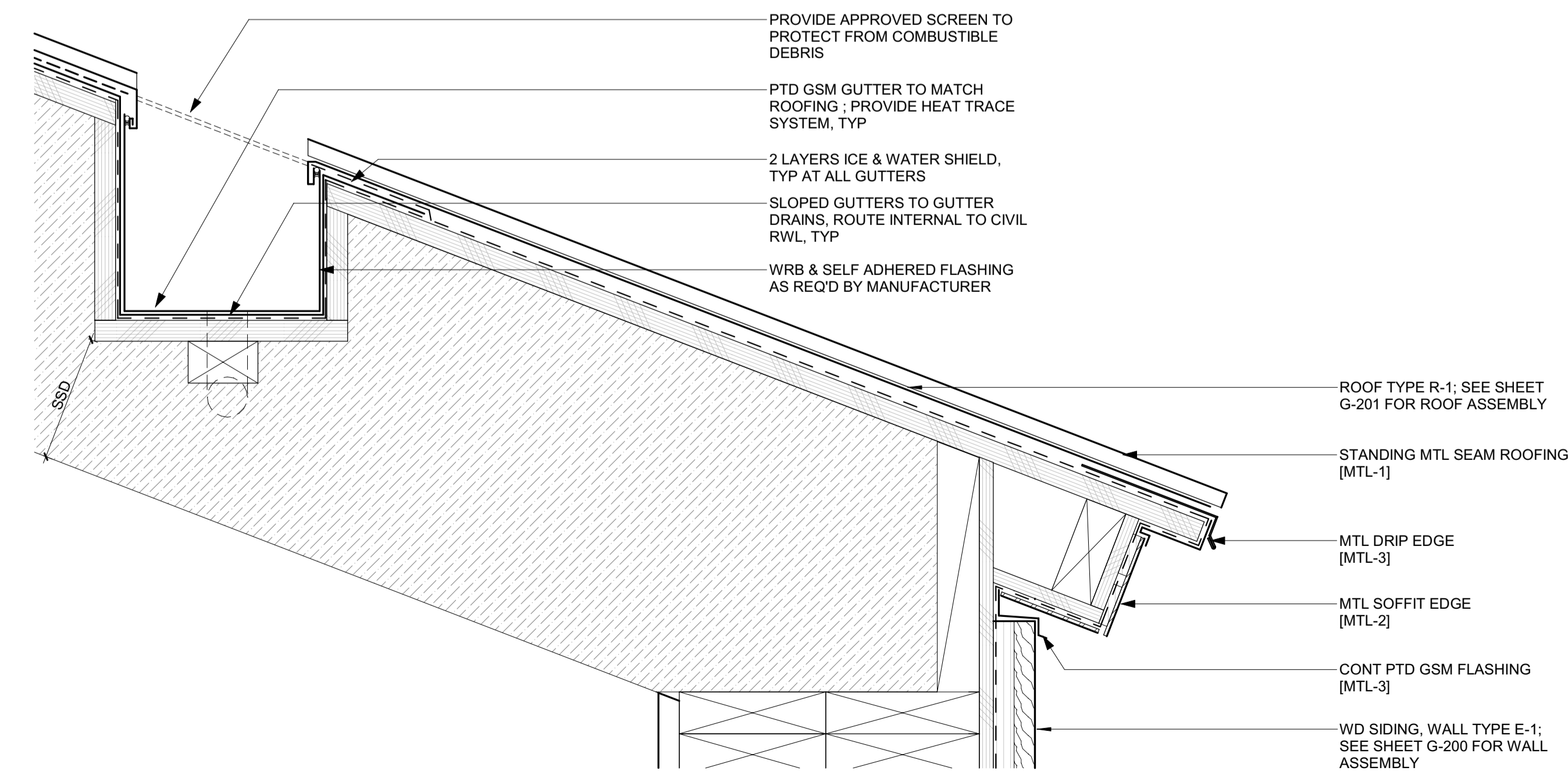
5 3" = 1'-0" DETAIL / CANOPY OVERHANG



2 3" = 1'-0" DETAIL / TYP RAKE END



4 3" = 1'-0" PLAN DETAIL / EXT CORNER TRIM @ WD SIDING



1 3" = 1'-0" DETAIL / TYP EAVE END + GUTTER

0	02.28.23	BUILDING PERMIT
NO	DATE	ISSUE

PROJECT:  
**BADGER RESIDENCE**  
121 BADGER LANE  
KETCHUM, ID 83340

PROJECT NUMBER  
**#2201**

DRAWING TITLE:  
**DETAILS / EXTERIOR**

DRAWING NUMBER:  
**A-602**



Approved  
 These plans have been found to be in substantial compliance with the applicable building codes. These documents are approved contingent on compliance with the mark-ups and notes applied. This is not approval of any code, ordinance, statute or regulation. Corrections will be required for code violations found during the inspection.  
**BLD2303-00021**  
 9/6/26/23

2/28/23

**BADGER RESIDENCE**

OWNER:  
**121 BADGER LANE LLC**  
 P.O. BOX 14001-174  
 KETCHUM, ID 83340

PROJECT ARCHITECT:  
**RO | ROCKETT DESIGN**  
 1031 W. MANCHESTER BLVD, UNIT 6  
 INGLESWOOD, CA 90301  
 TEL: 213.784.0014

SURVEYOR:  
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HYDROLOGY / WATER ENGINEERING:  
**BROCKWAY ENGINEERING, INC.**  
 2018 WASHINGTON ST NORTH, SUITE 4  
 TWIN FALLS, ID 83301  
 TEL: 208.736-8543

GEOTECHNICAL ENGINEER:  
**BUTLER ASSOCIATES, INC.**  
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 TEL: 208.720.6432

LANDSCAPE ARCHITECT:  
**BYLA**  
 323 LEWIS STREET, SUITE N  
 KETCHUM, ID 83340  
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CIVIL ENGINEER:  
**BENCHMARK ASSOCIATES, P.A.**  
 P.O. BOX 733 - 100 BELL DRIVE  
 KETCHUM, IDAHO 83340  
 TEL: 208.726.9512

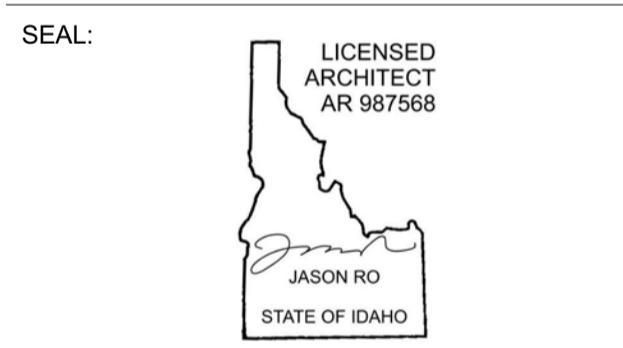
STRUCTURAL ENGINEER:  
**LFA**  
 319 MAIN STREET  
 EL SEGUNDO, CA 90245  
 TEL: 213.239.9700

MEP ENGINEER:  
**CES ENGINEERING SERVICES, LLC**  
 1001 W OAK BUILDING B SUITE 107  
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 TEL: 406.272.0352

LIGHTING DESIGN CONSULTANT:  
**KGM ARCHITECTURAL LIGHTING**  
 270 CORAL CIRCLE  
 EL SEGUNDO, CA 90245  
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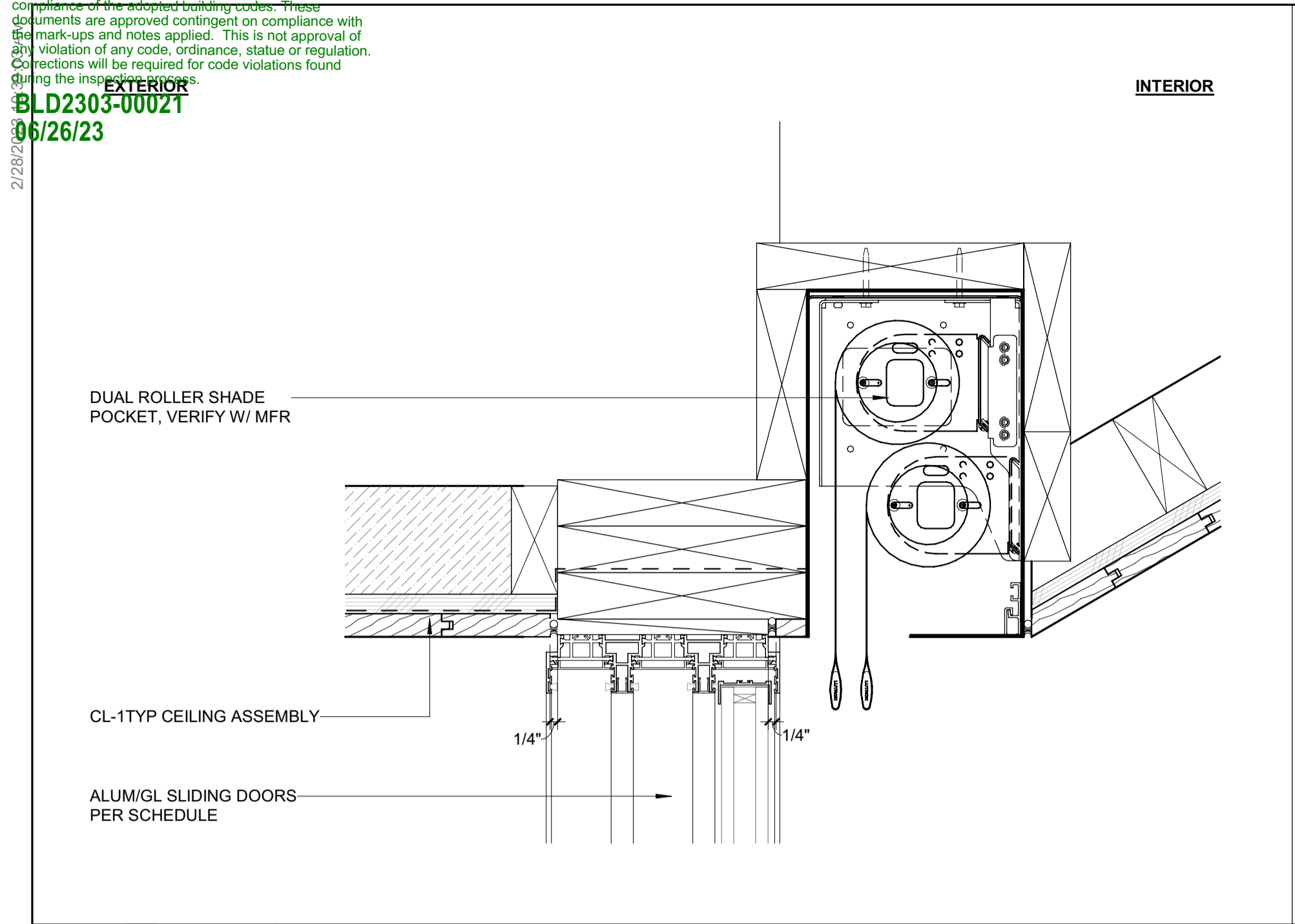
0 02.28.23 BUILDING PERMIT  
 NO DATE ISSUE

PROJECT:  
**BADGER RESIDENCE**  
 121 BADGER LANE  
 KETCHUM, ID 83340

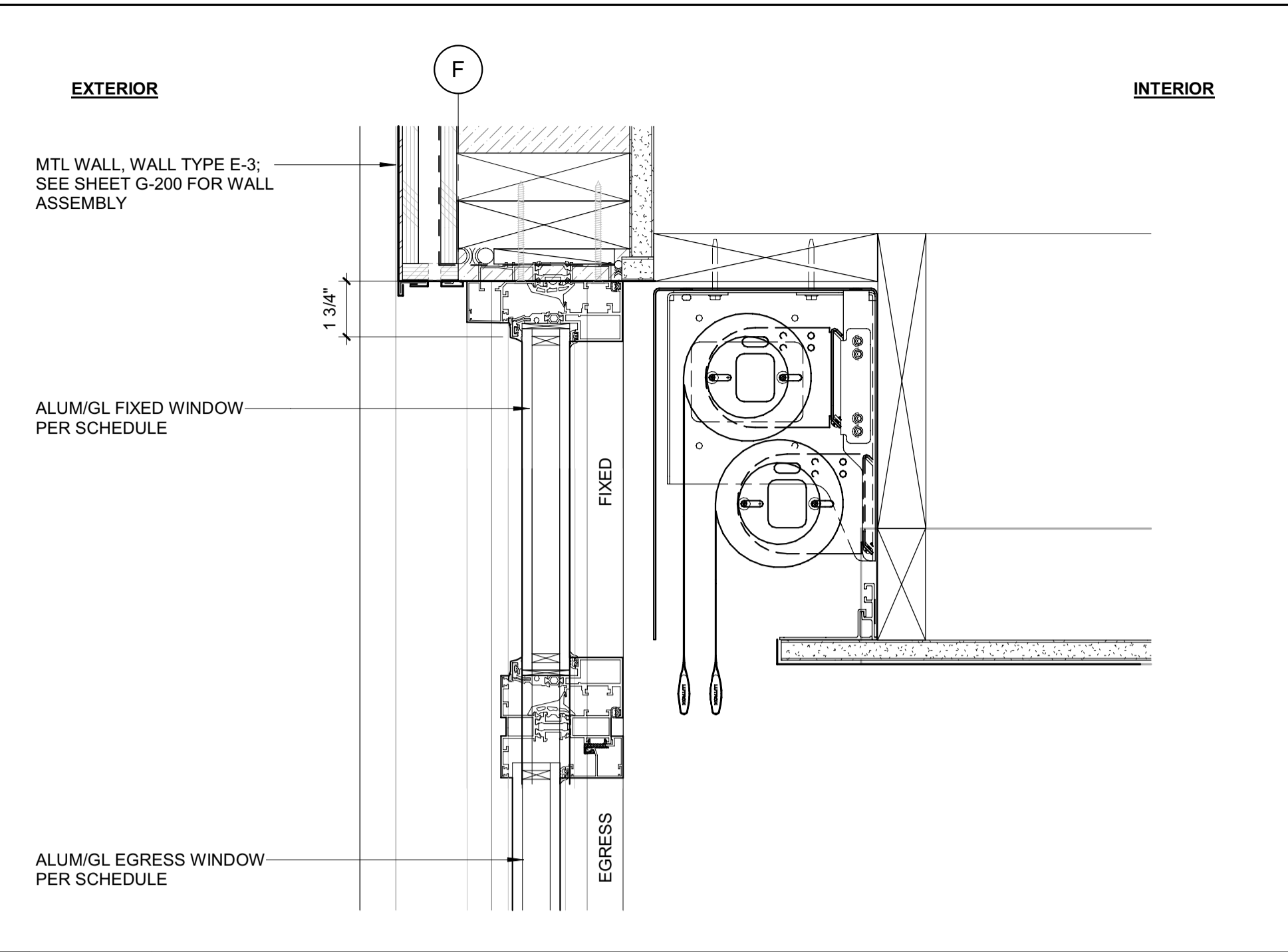
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**#2201**

DRAWING TITLE:  
**EXTERIOR DOOR DETAILS**

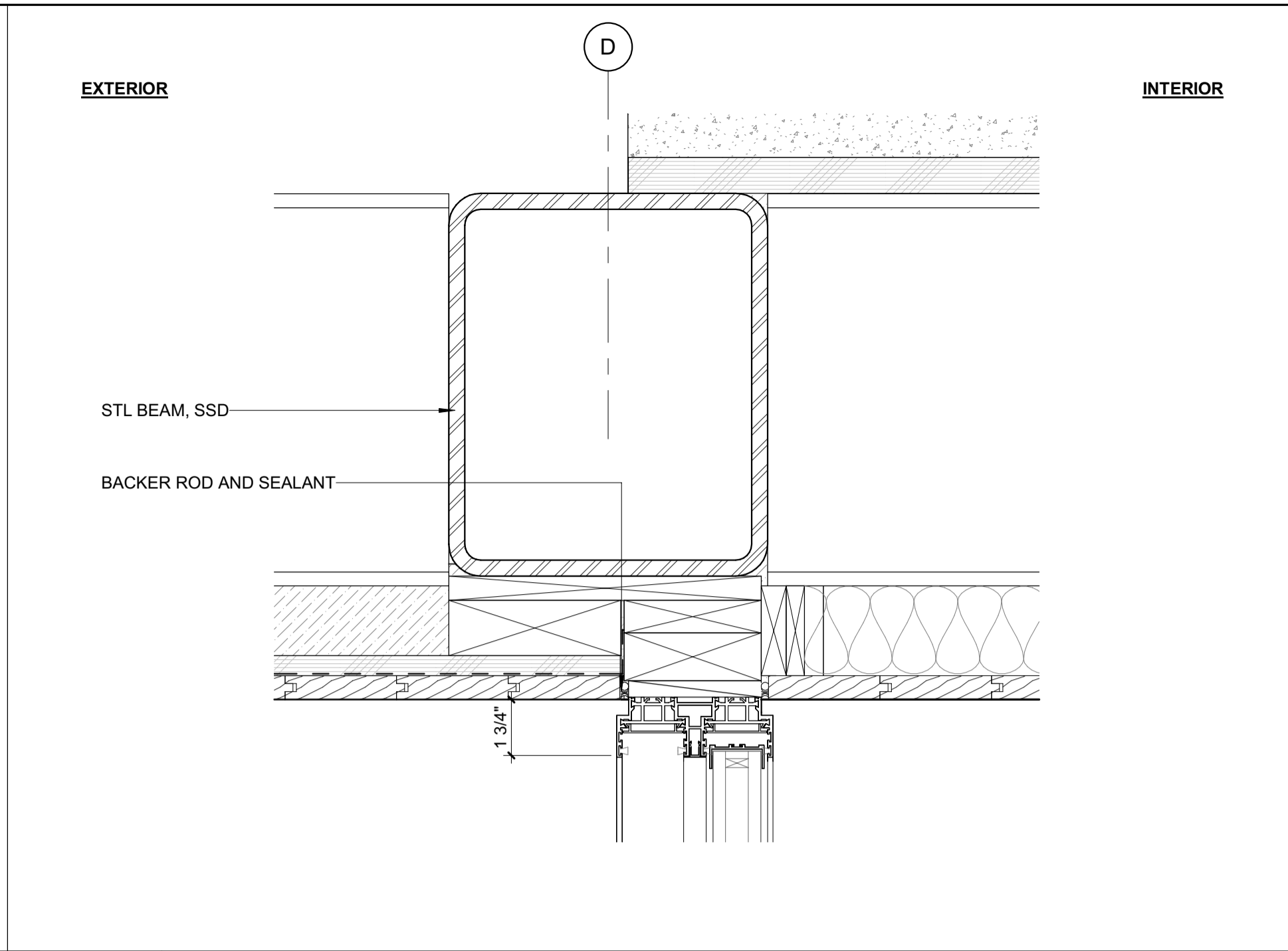
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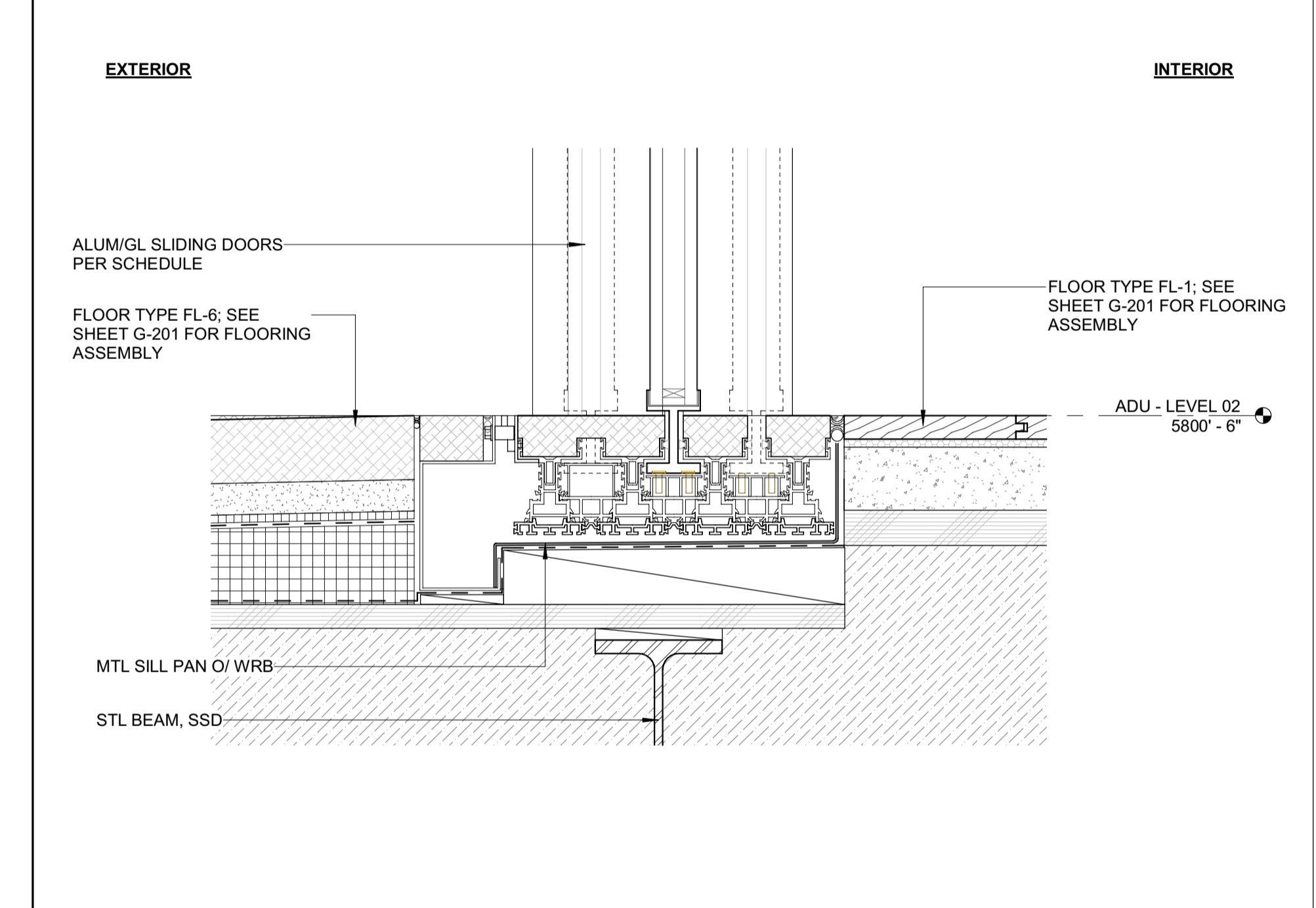
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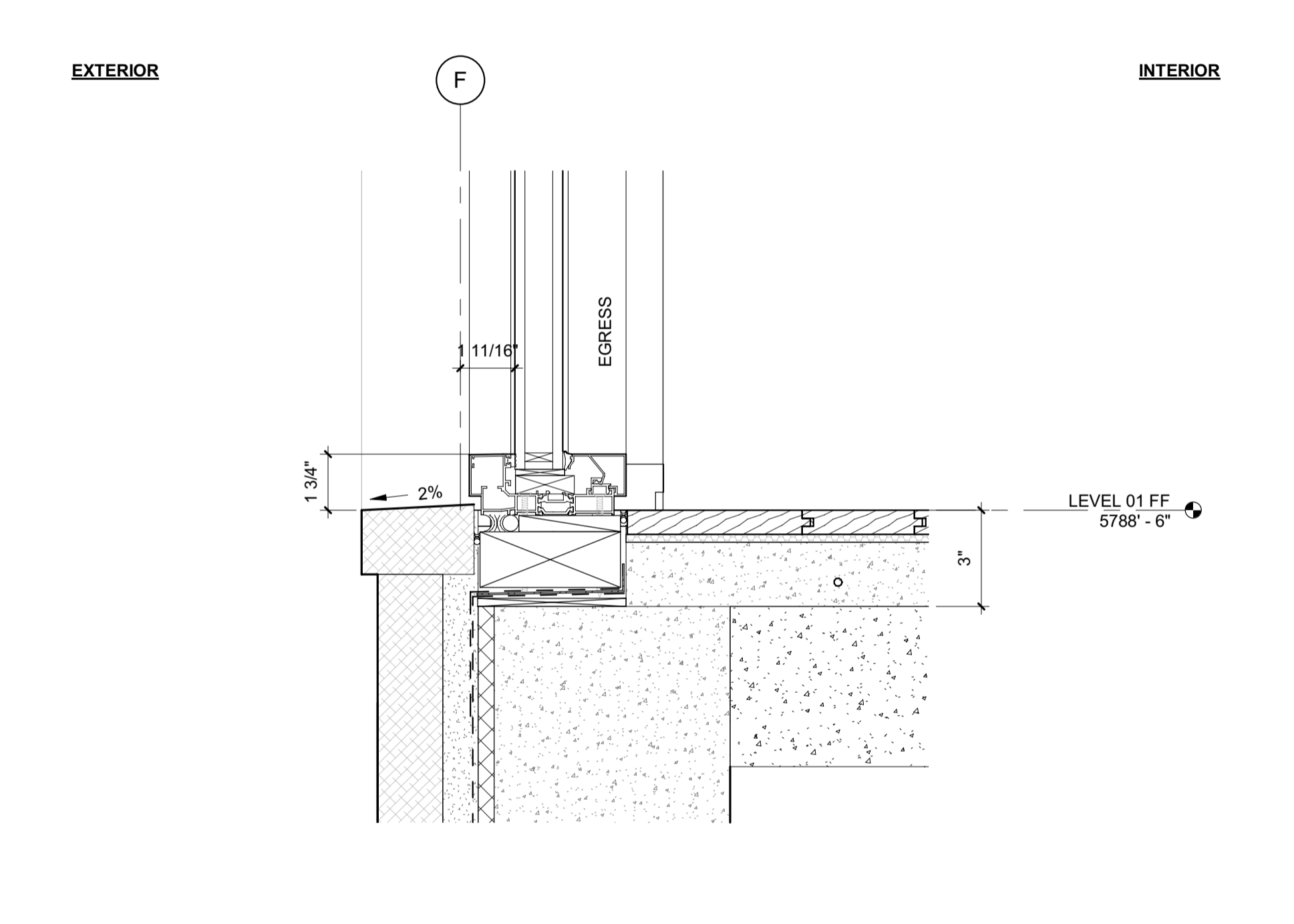
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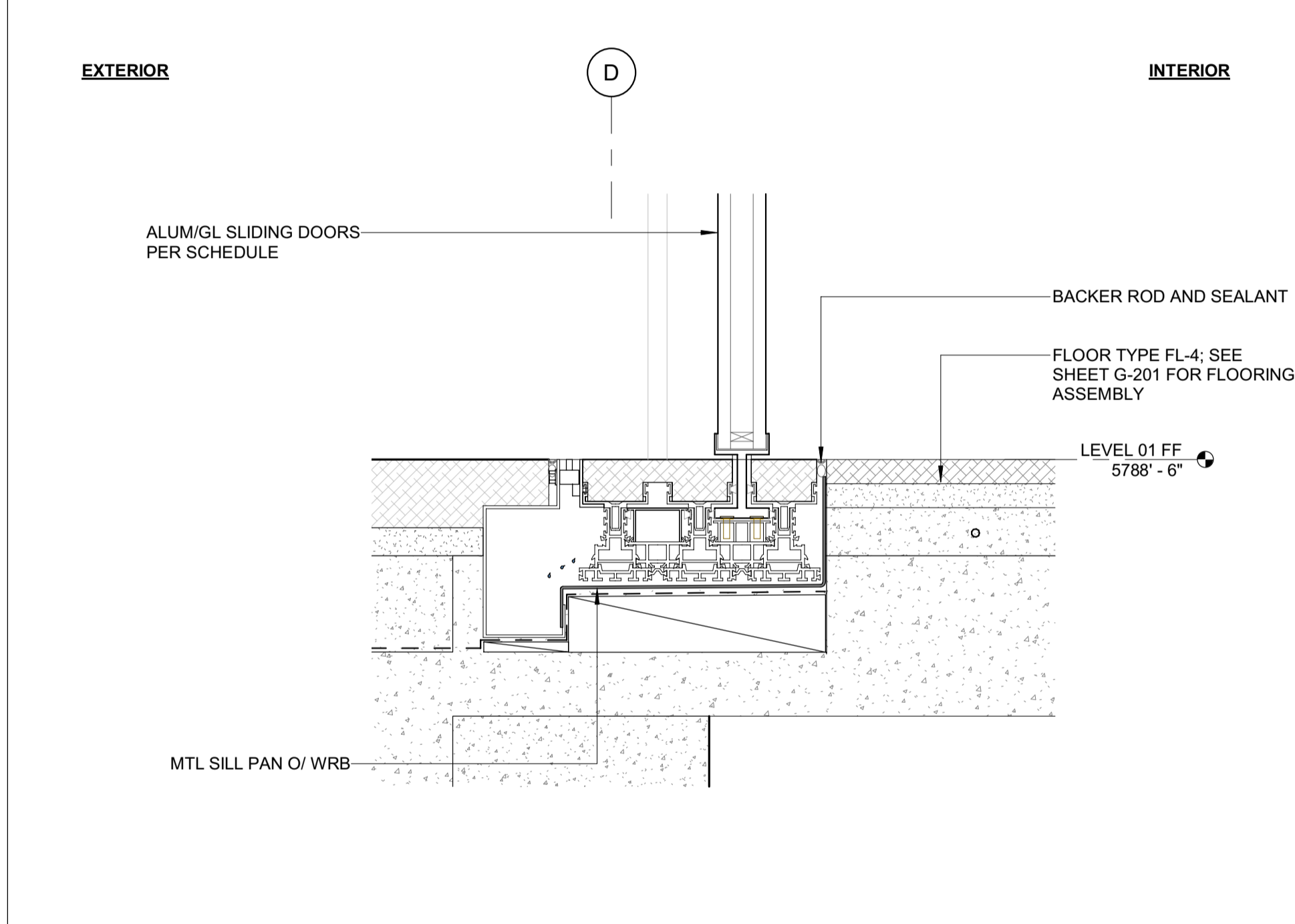
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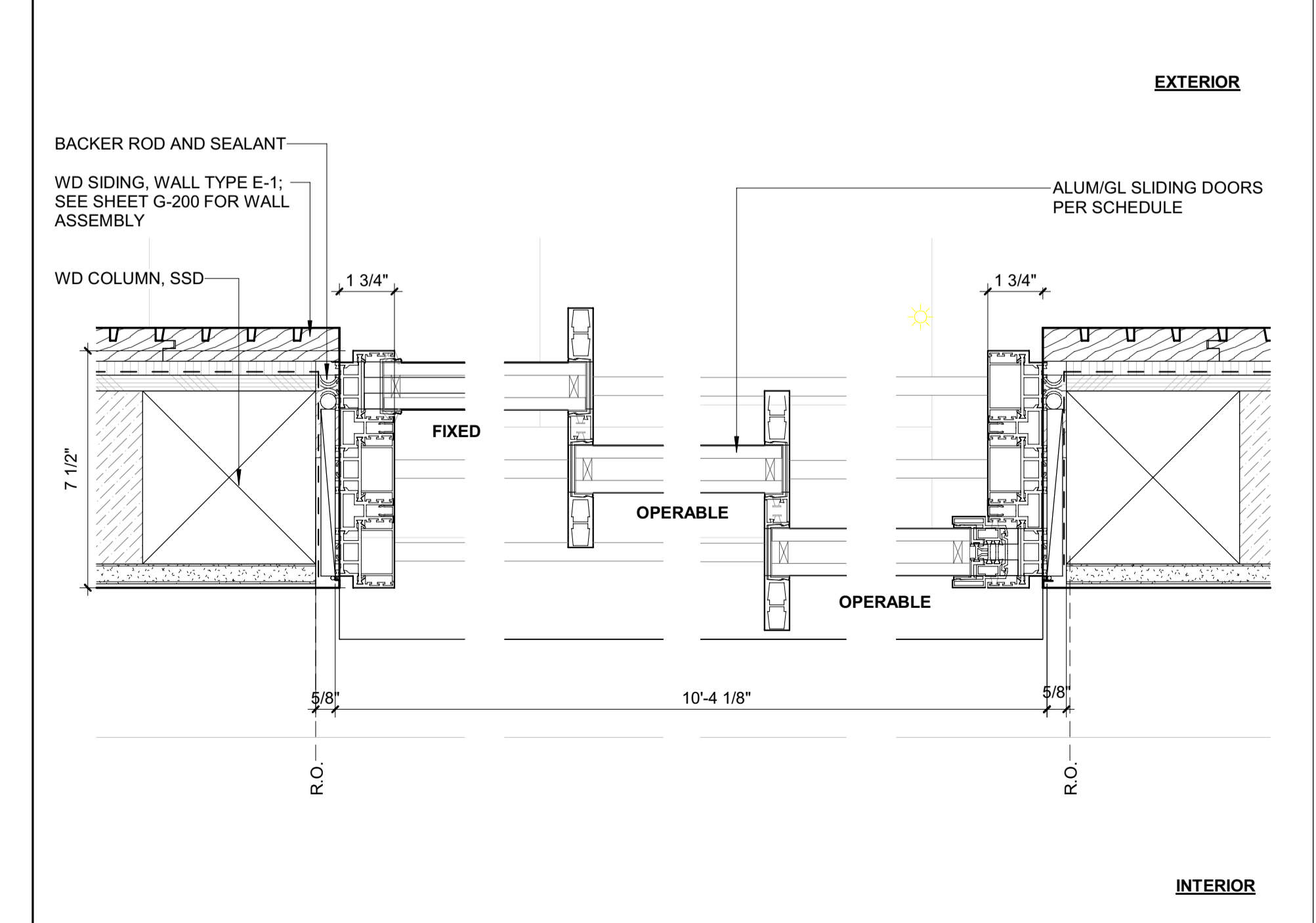
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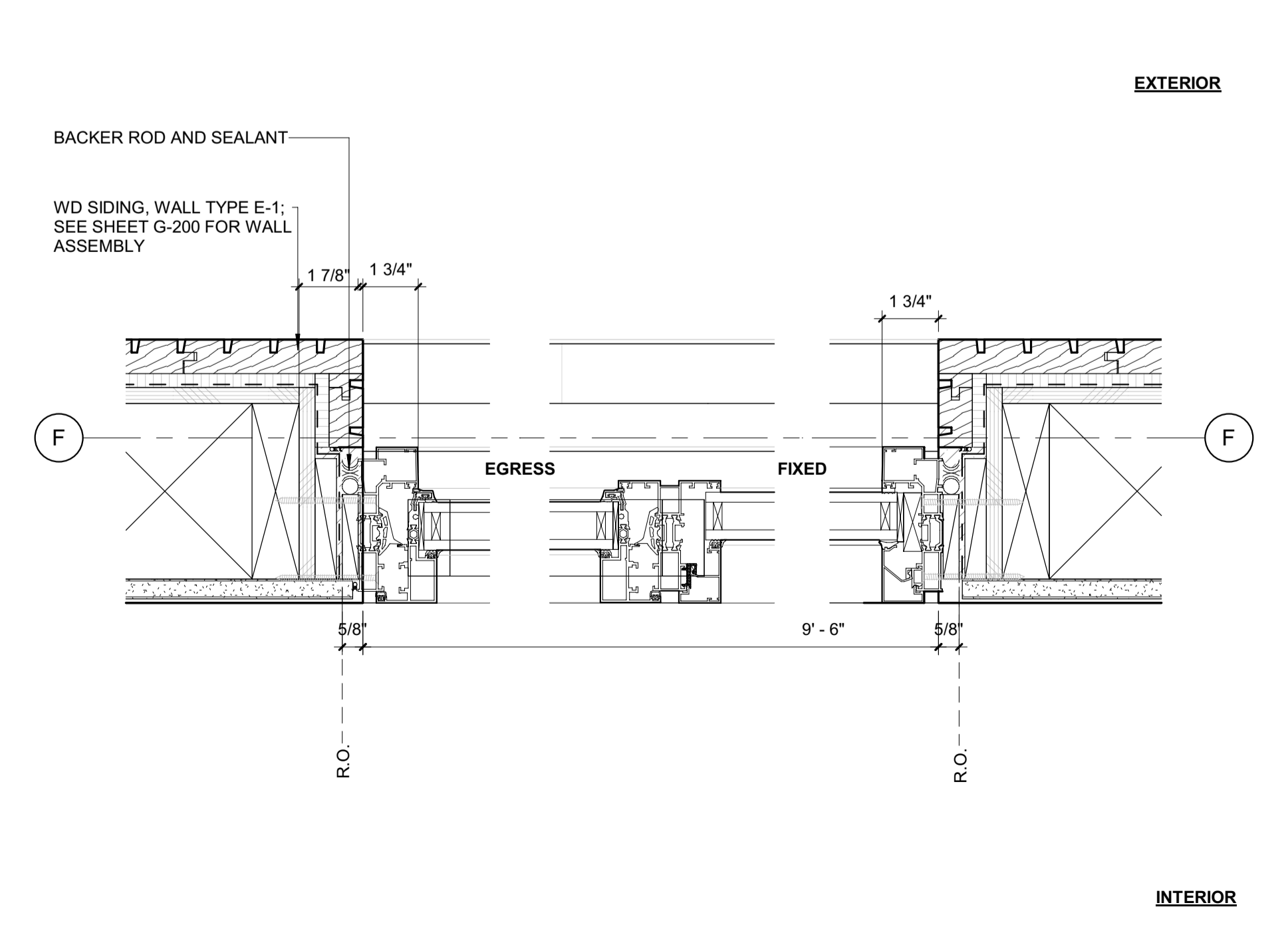
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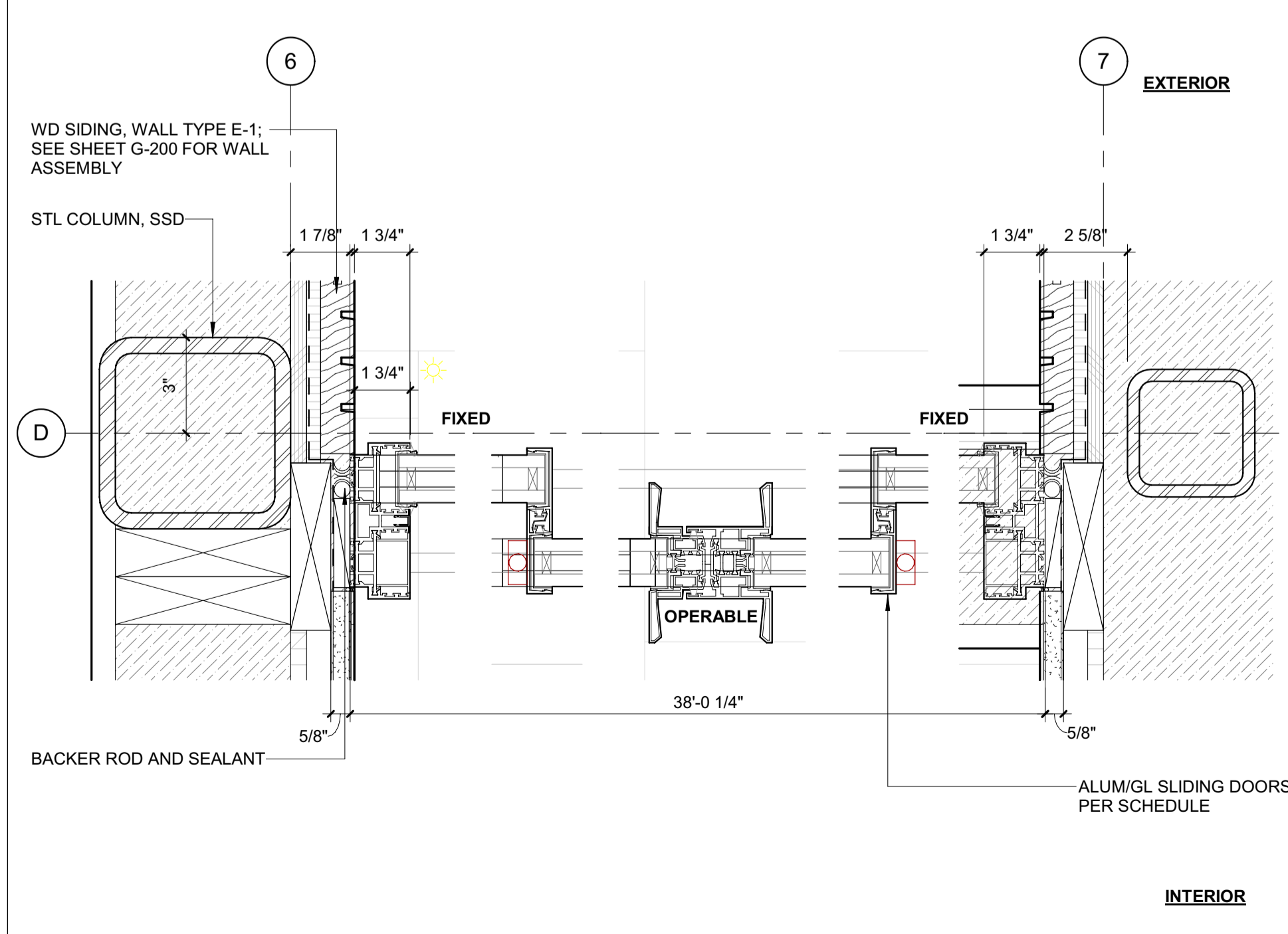
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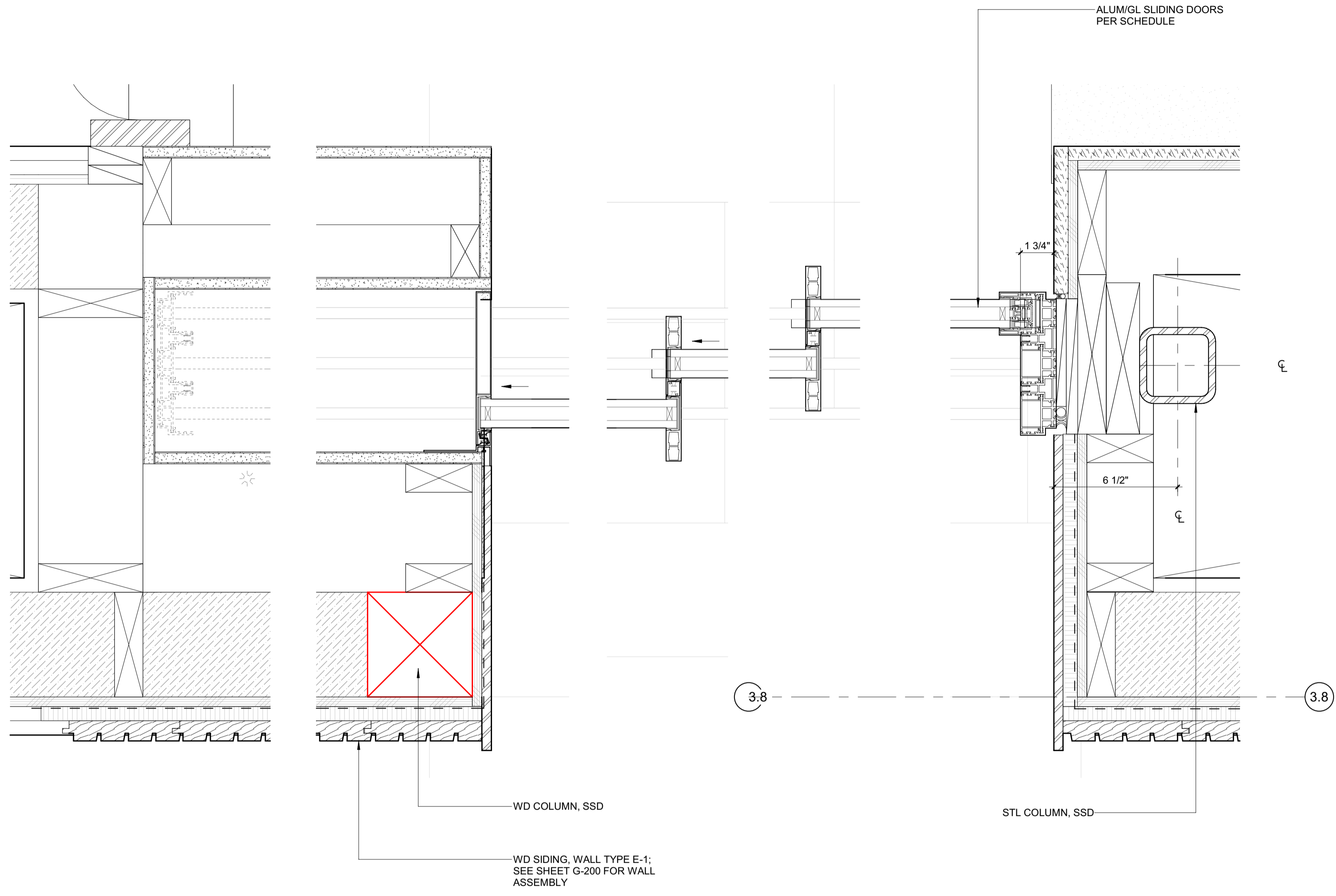
7 3" = 1'-0" DETAIL / JAMB @ ADU ROOF DECK SLIDER



4 3" = 1'-0" DETAIL / JAMB @ BDRM 1 EGRESS

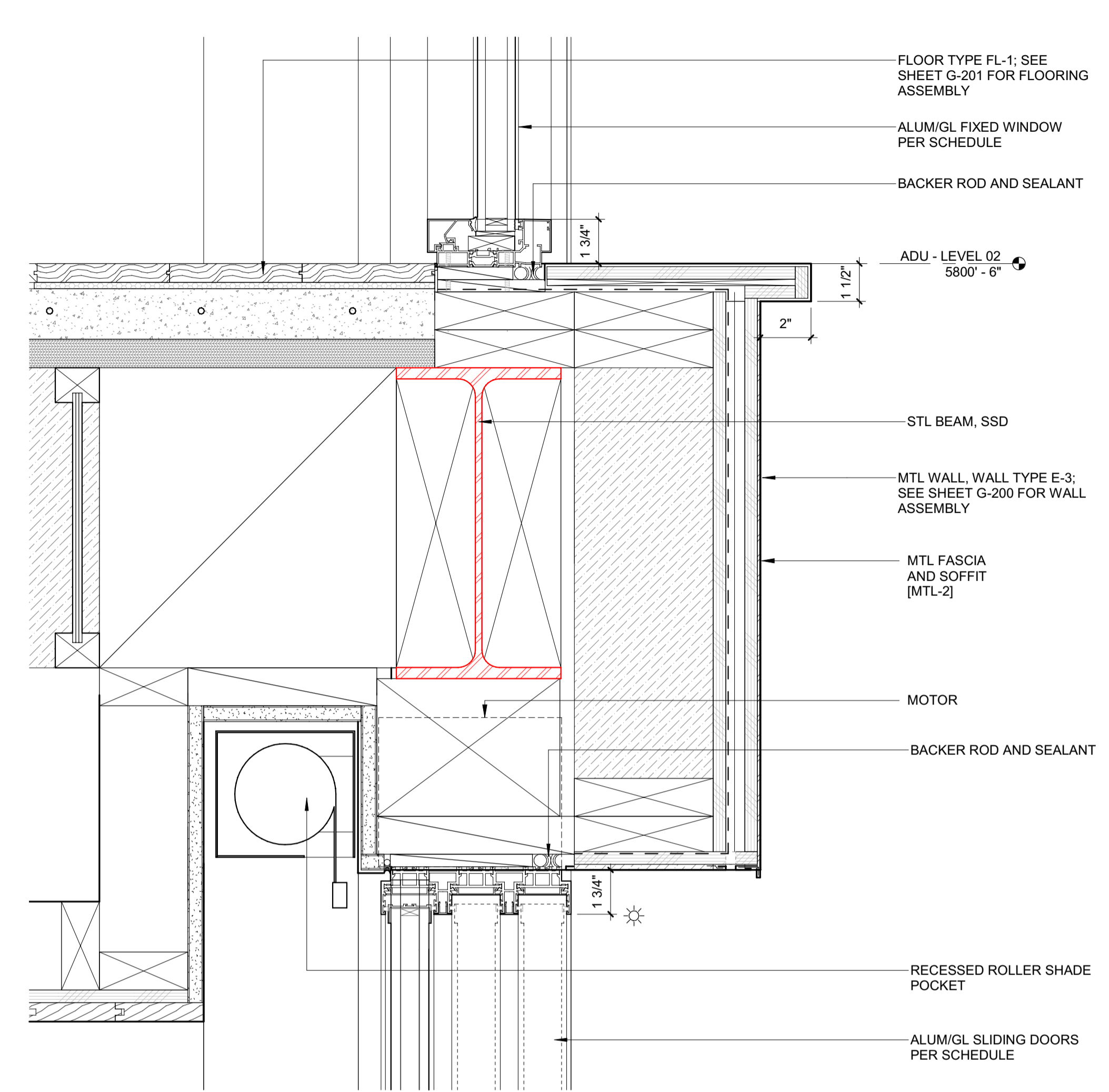


1 3" = 1'-0" DETAIL / JAMB @ GREAT RM SLIDER



INTERIOR

EXTERIOR

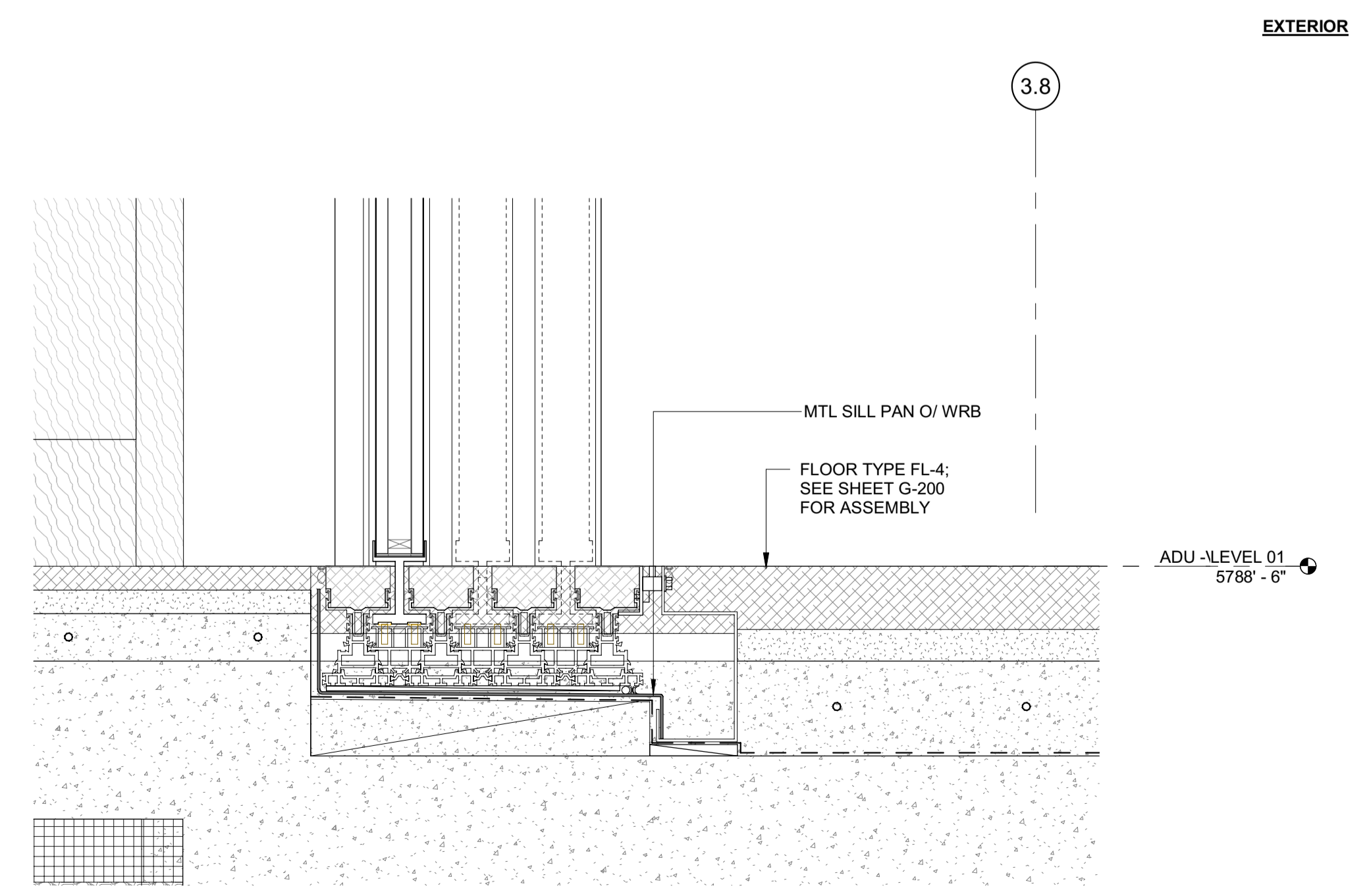


INTERIOR

EXTERIOR

3 3" = 1'-0" DETAIL / JAMB @ ADU SLIDERS / STACKING / DOOR A102

2 3" = 1'-0" DETAIL / HEAD @ ADU SLIDERS / STACKING



INTERIOR

EXTERIOR

1 3" = 1'-0" DETAIL / SILL @ ADU SLIDERS / STACKING

**BADGER RESIDENCE**

OWNER:  
 121 BADGER LANE LLC  
 P.O. BOX 14001-174  
 KETCHUM, ID 83340

PROJECT ARCHITECT:  
 RO | ROCKETT DESIGN  
 1031 W. MANCHESTER BLVD, UNIT 6  
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SURVEYOR:  
 GALENA ENGINEERING, INC.  
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 HAILEY, ID 83333  
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 TEL: 208.727.9748

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 BROCKWAY ENGINEERING, INC.  
 2018 WASHINGTON ST NORTH, SUITE 4  
 TWIN FALLS, ID 83301  
 TEL: 208.736-8543

GEOTECHNICAL ENGINEER:  
 BUTLER ASSOCIATES, INC.  
 P.O. BOX 1034  
 KETCHUM, ID 83340  
 TEL: 208.720.6432

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 KETCHUM, ID 83340  
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CIVIL ENGINEER:  
 BENCHMARK ASSOCIATES, P.A.  
 P.O. BOX 733 - 100 BELL DRIVE  
 KETCHUM, IDAHO 83340  
 TEL: 208.726.9512

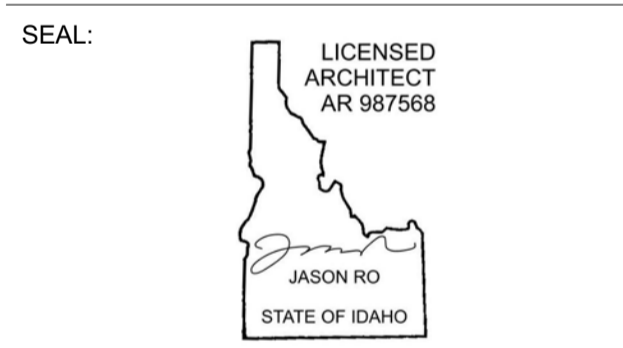
STRUCTURAL ENGINEER:  
 LFA  
 319 MAIN STREET  
 EL SEGUNDO, CA 90245  
 TEL: 213.239.9700

MEP ENGINEER:  
 CES ENGINEERING SERVICES, LLC  
 1001 W OAK BUILDING B SUITE 107  
 BOZEMAN, MT 59715  
 TEL: 406.272.0352

LIGHTING DESIGN CONSULTANT:  
 KGM ARCHITECTURAL LIGHTING  
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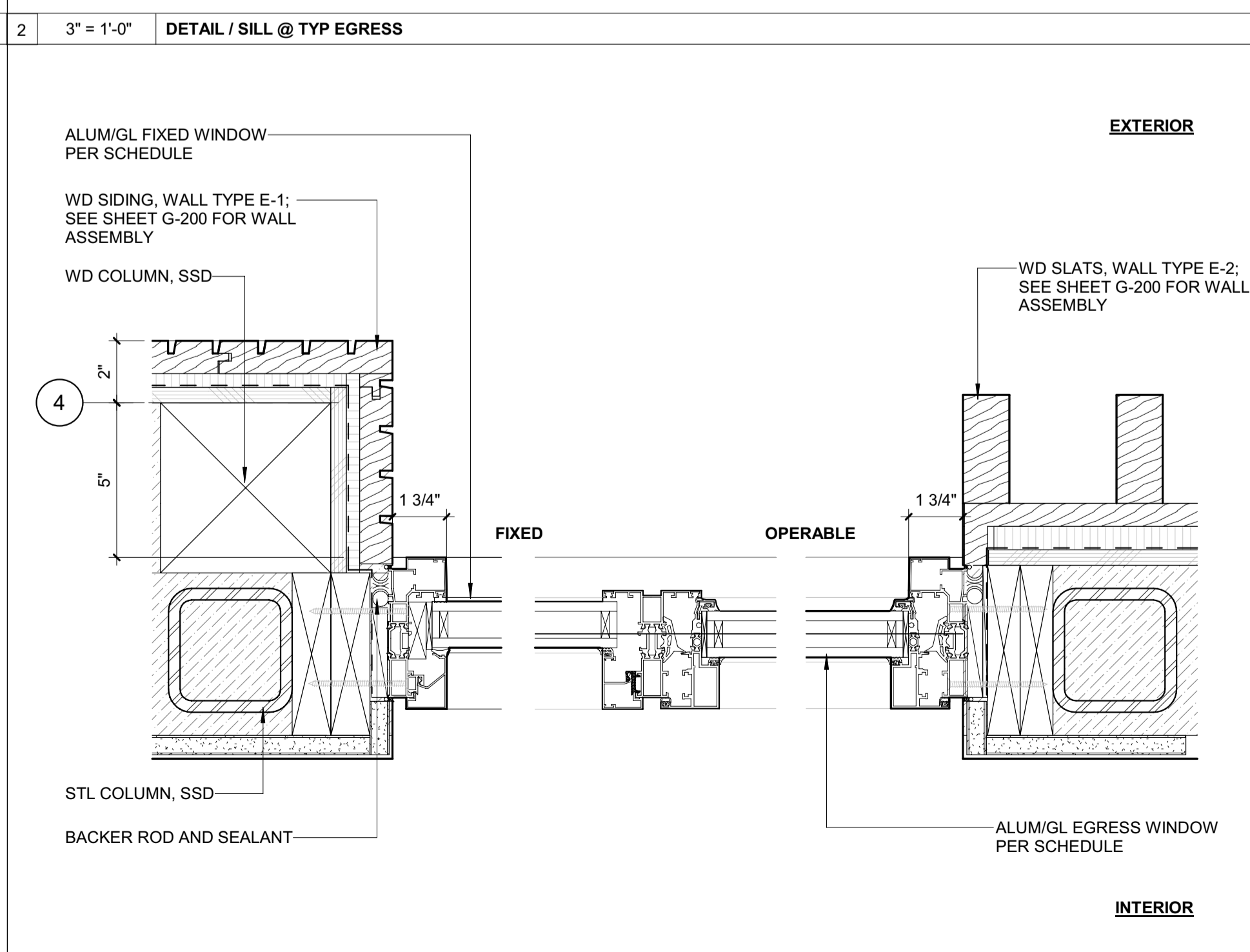
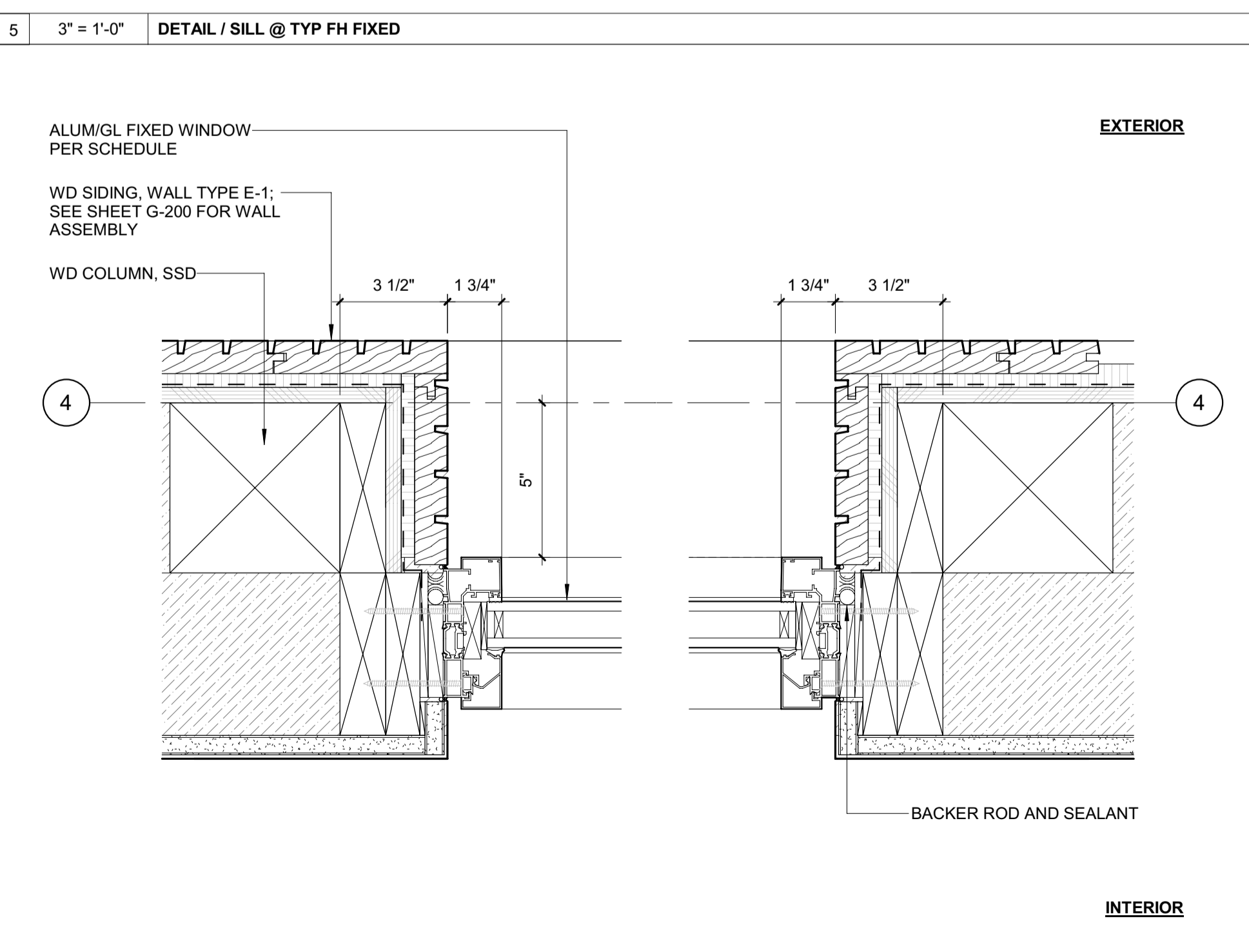
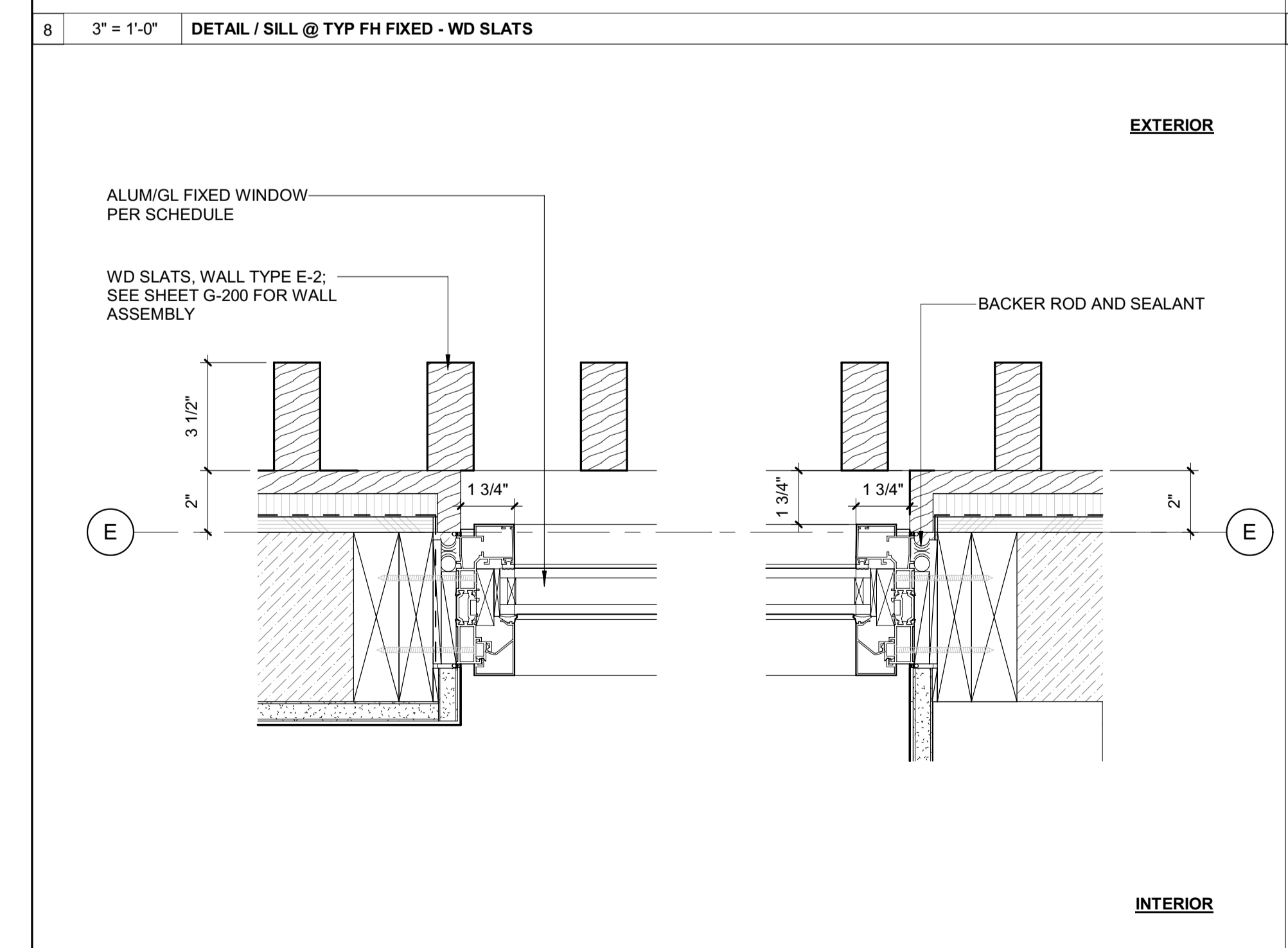
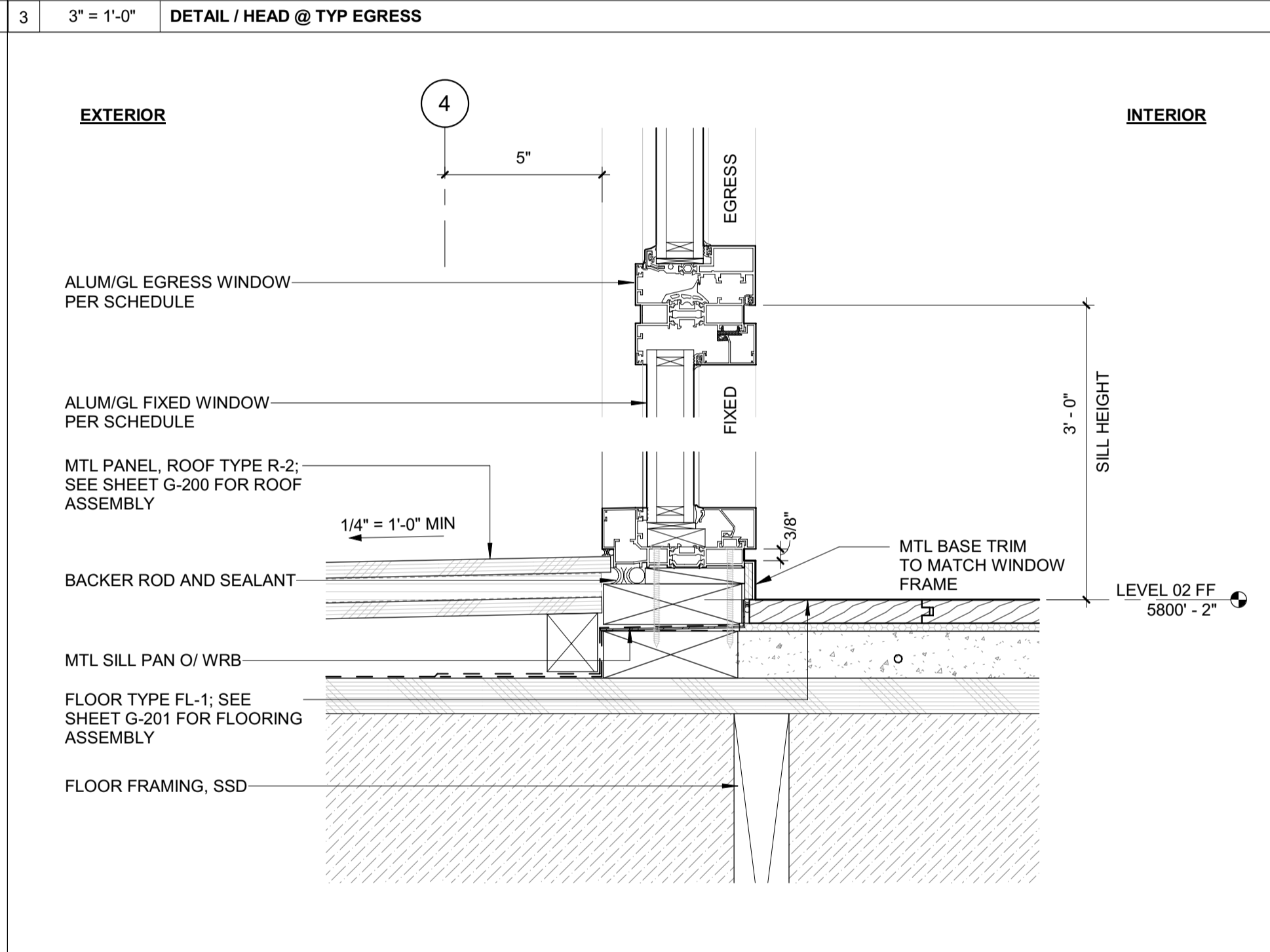
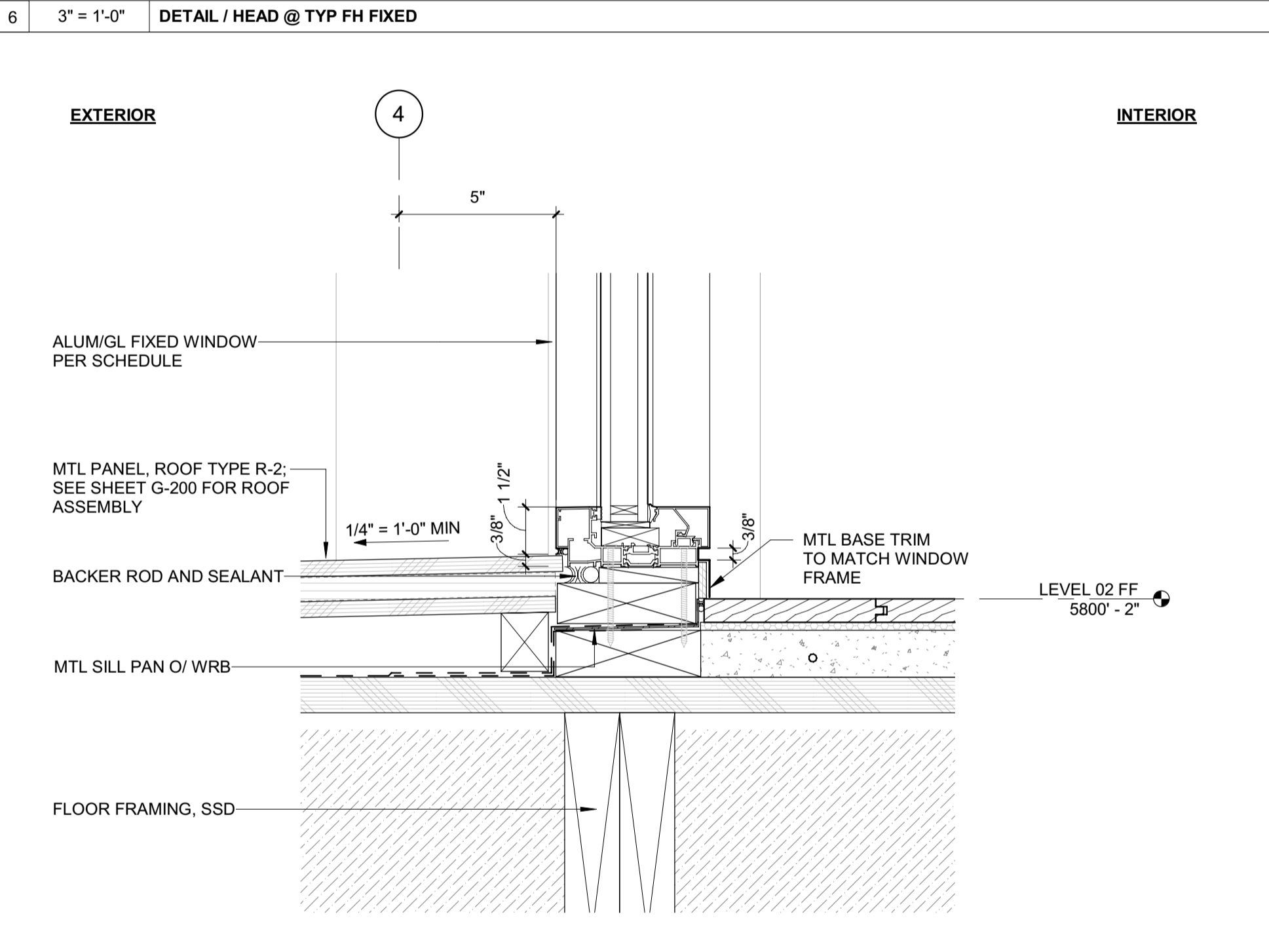
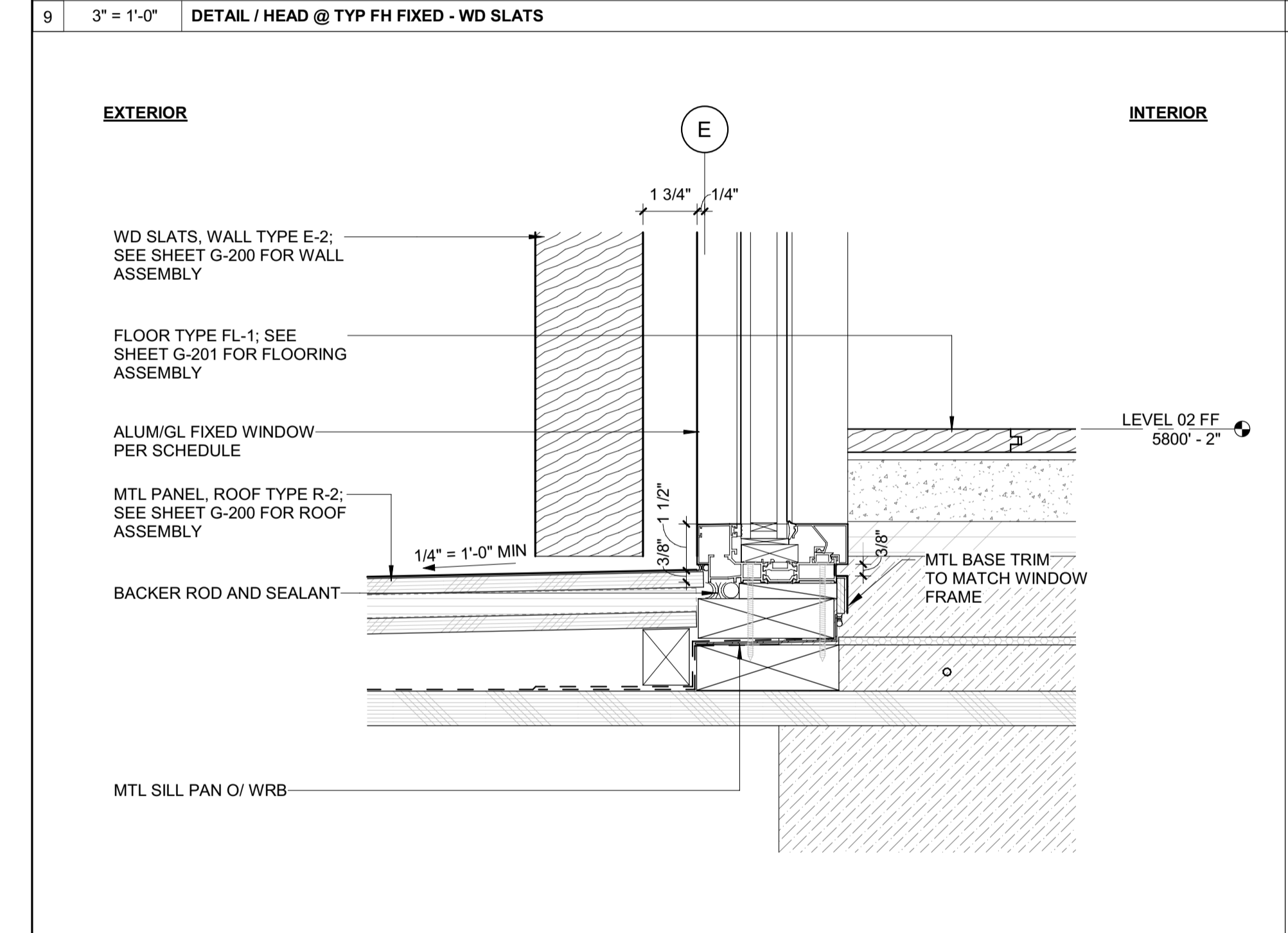
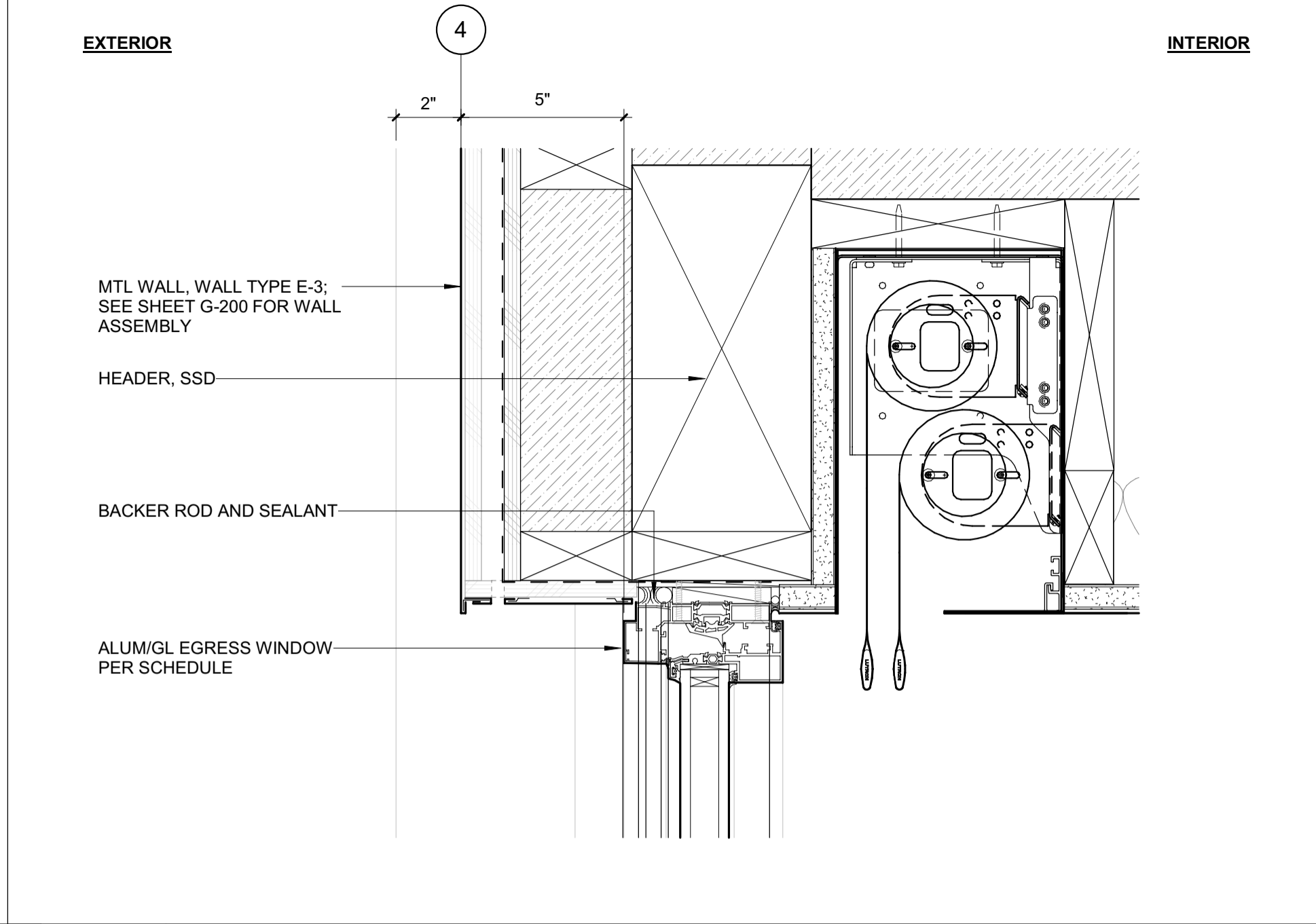
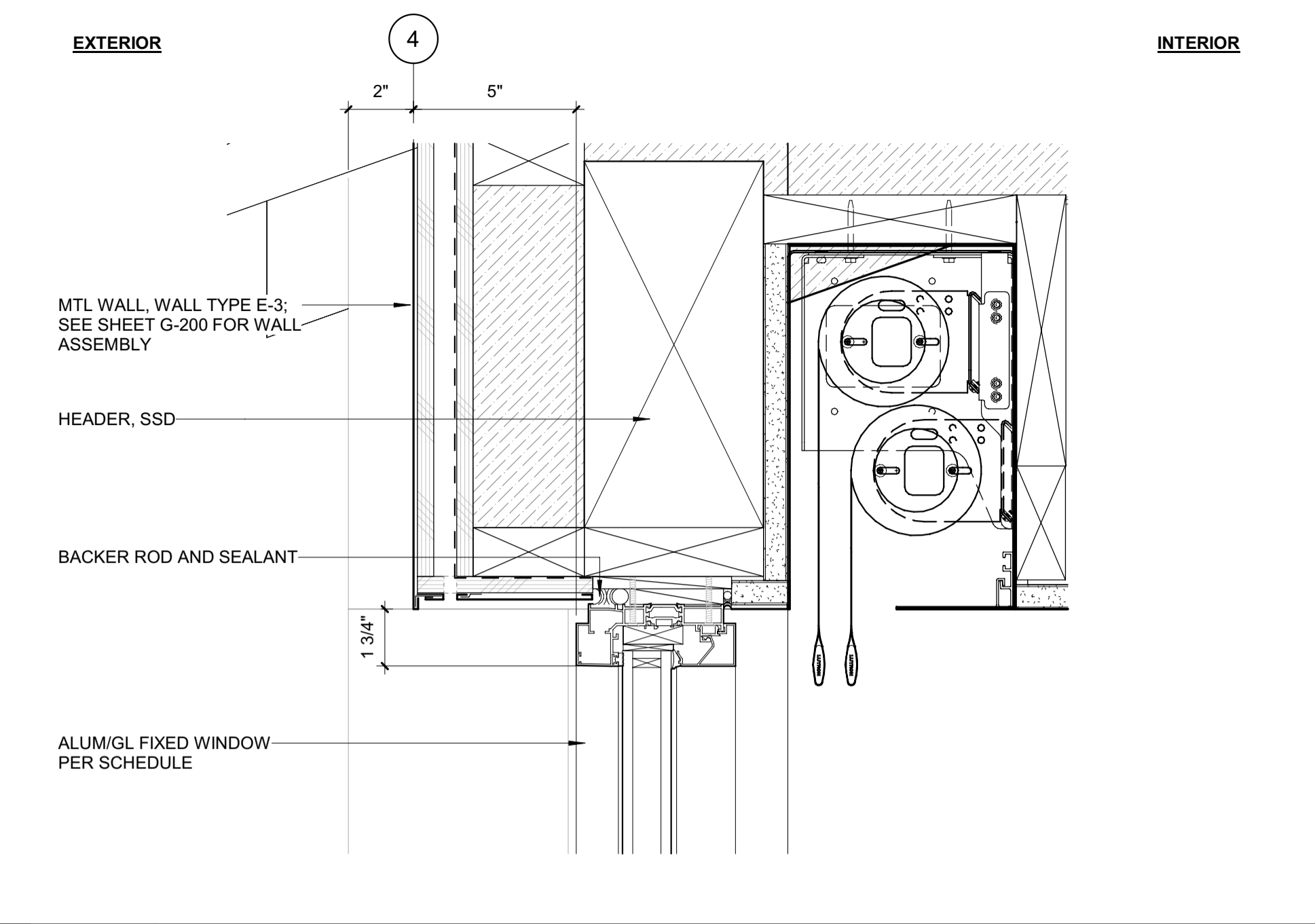
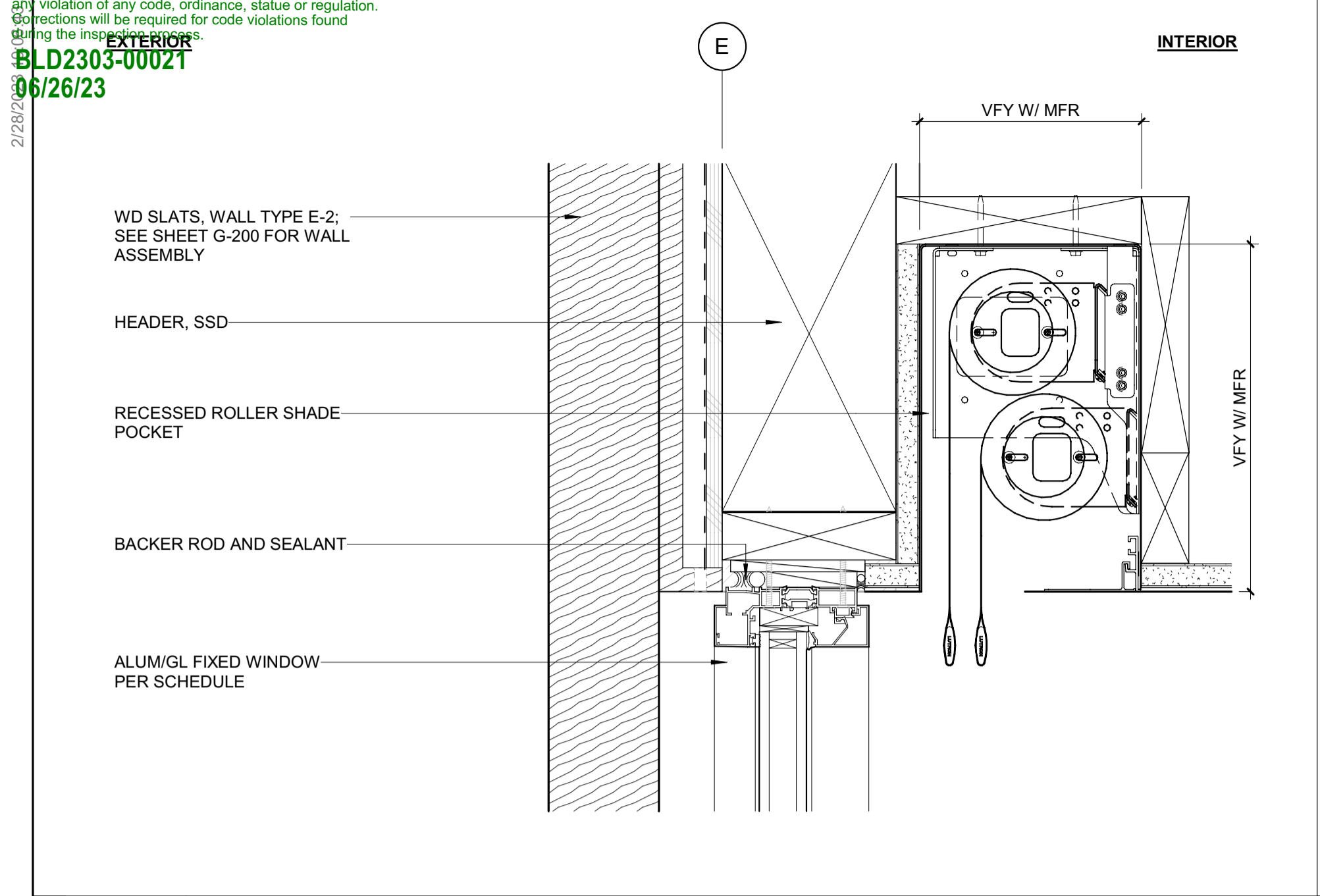
NO	DATE	BUILDING PERMIT	ISSUE
0	02.28.23		

PROJECT:  
**BADGER RESIDENCE**  
 121 BADGER LANE  
 KETCHUM, ID 83340

PROJECT NUMBER  
**#2201**

DRAWING TITLE:  
**EXTERIOR DOOR DETAILS**

DRAWING NUMBER:  
**A-611**



**BADGER RESIDENCE**

OWNER:  
 121 BADGER LANE LLC  
 P.O. BOX 14001-174  
 KETCHUM, ID 83340

PROJECT ARCHITECT:  
 RO | ROCKETT DESIGN  
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SURVEYOR:  
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 HAILEY, ID 83333  
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 KETCHUM, ID 83340  
 TEL: 208.727.9748

HYDROLOGY / WATER ENGINEERING:  
 BROCKWAY ENGINEERING, INC.  
 2018 WASHINGTON ST NORTH, SUITE 4  
 TWIN FALLS, ID 83301  
 TEL: 208.736-8543

GEOTECHNICAL ENGINEER:  
 BUTLER ASSOCIATES, INC.  
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 KETCHUM, ID 83340  
 TEL: 208.720.6432

LANDSCAPE ARCHITECT:  
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 323 LEWIS STREET, SUITE N  
 KETCHUM, ID 83340  
 TEL: 208.726.5907

CIVIL ENGINEER:  
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 KETCHUM, IDAHO 83340  
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 TEL: 213.239.9700

MEP ENGINEER:  
 CES ENGINEERING SERVICES, LLC  
 1001 W OAK BUILDING B SUITE 107  
 BOZEMAN, MT 59715  
 TEL: 406.272.0352

LIGHTING DESIGN CONSULTANT:  
 KGM ARCHITECTURAL LIGHTING  
 270 CORAL CIRCLE  
 EL SEGUNDO, CA 90245  
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SEAL:  
 LICENSUED ARCHITECT  
 AR 987568  
 JASON RO  
 STATE OF IDAHO

0	02.28.23	BUILDING PERMIT
NO	DATE	ISSUE
PROJECT: <b>BADGER RESIDENCE</b> 121 BADGER LANE KETCHUM, ID 83340		
PROJECT NUMBER <b>#2201</b>		
DRAWING TITLE: <b>EXTERIOR WINDOW DETAILS</b>		
DRAWING NUMBER: <b>A-620</b>		



Approved  
 These plans have been found to be in substantial compliance with the applicable building codes. These documents are approved contingent on compliance with the mark-ups and notes applied. This is not approval of any code, ordinance, statute or regulation. Corrections will be required for code violations found during the inspection process.

BLD2303-00021  
 06/26/23

2/26/23

### BADGER RESIDENCE

**OWNER:**  
 121 BADGER LANE LLC  
 P.O. BOX 14001-174  
 KETCHUM, ID 83340

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 TEL: 208.736-8543

**GEOTECHNICAL ENGINEER:**  
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 KETCHUM, ID 83340  
 TEL: 208.720.6432

**LANDSCAPE ARCHITECT:**  
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 BENCHMARK ASSOCIATES, P.A.  
 P.O. BOX 733 - 100 BELL DRIVE  
 KETCHUM, IDAHO 83340  
 TEL: 208.726.9512

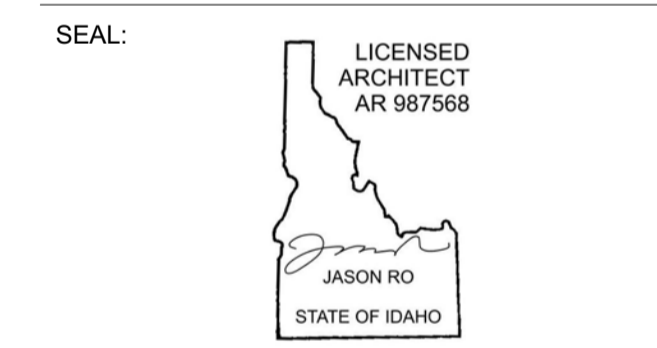
**STRUCTURAL ENGINEER:**  
 LFA  
 319 MAIN STREET  
 EL SEGUNDO, CA 90245  
 TEL: 213.239.9700

**MEP ENGINEER:**  
 CES ENGINEERING SERVICES, LLC  
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 BOZEMAN, MT 59715  
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 KGM ARCHITECTURAL LIGHTING  
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NO	DATE	BUILDING PERMIT	ISSUE
0	02.28.23	BUILDING PERMIT	
			ISSUE

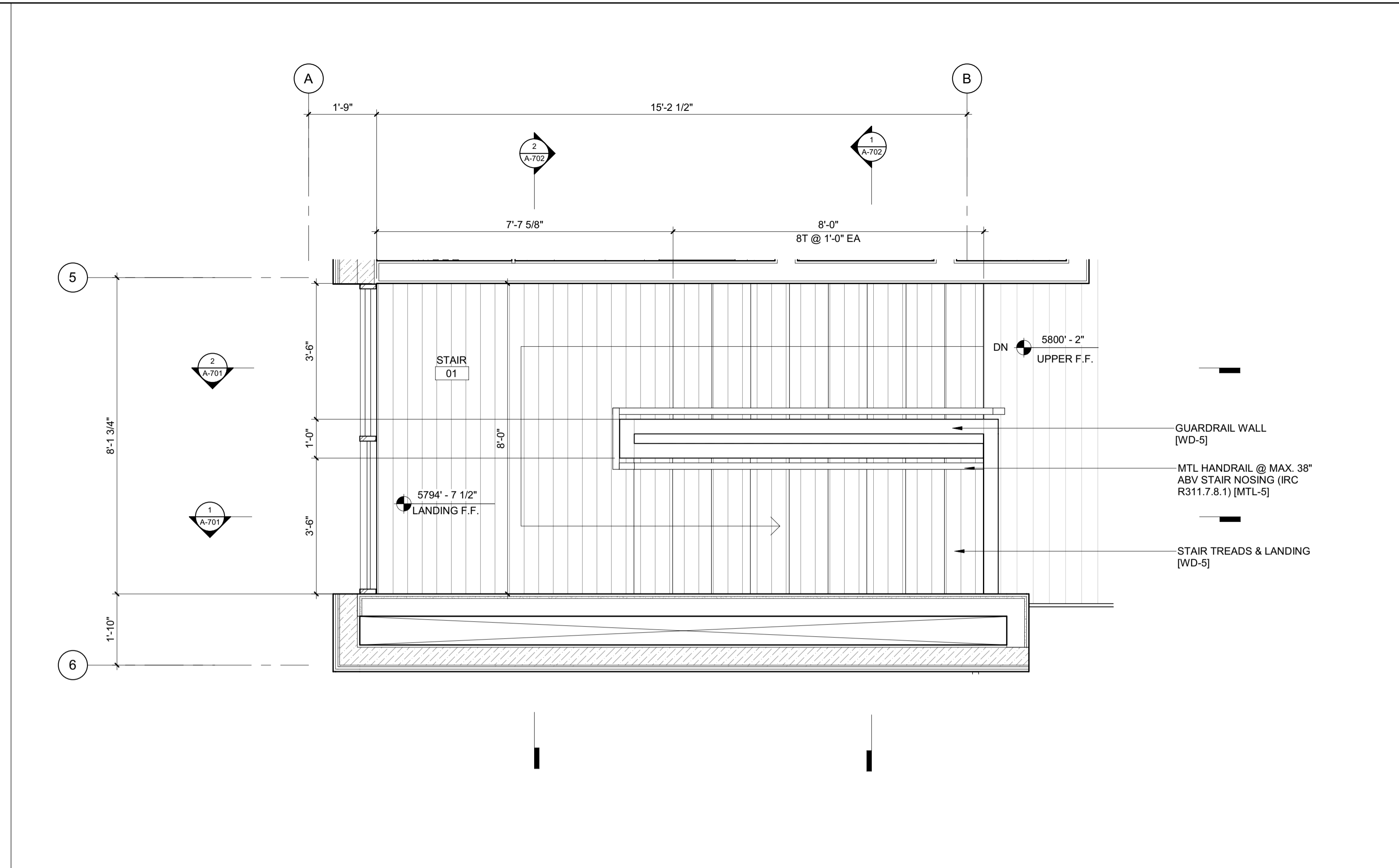
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**BADGER RESIDENCE**  
 121 BADGER LANE  
 KETCHUM, ID 83340

**PROJECT NUMBER**  
**#2201**

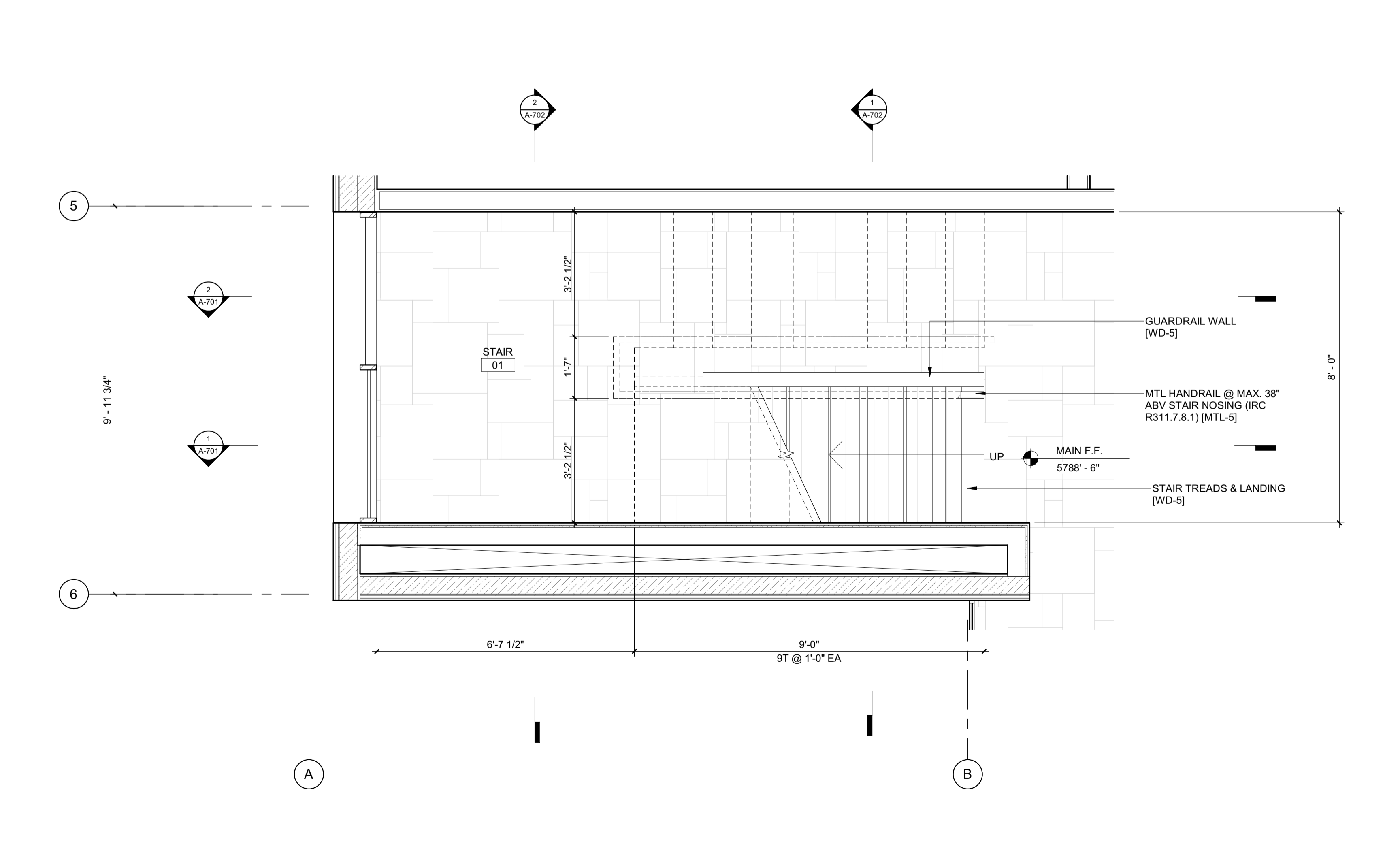
**DRAWING TITLE:**  
**ENLARGED PLANS / STAIR 1**

**DRAWING NUMBER:**  
**A-700**

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2 1/2" = 1'-0" ENLARGED PLAN / STAIR 1 / LEVEL 02



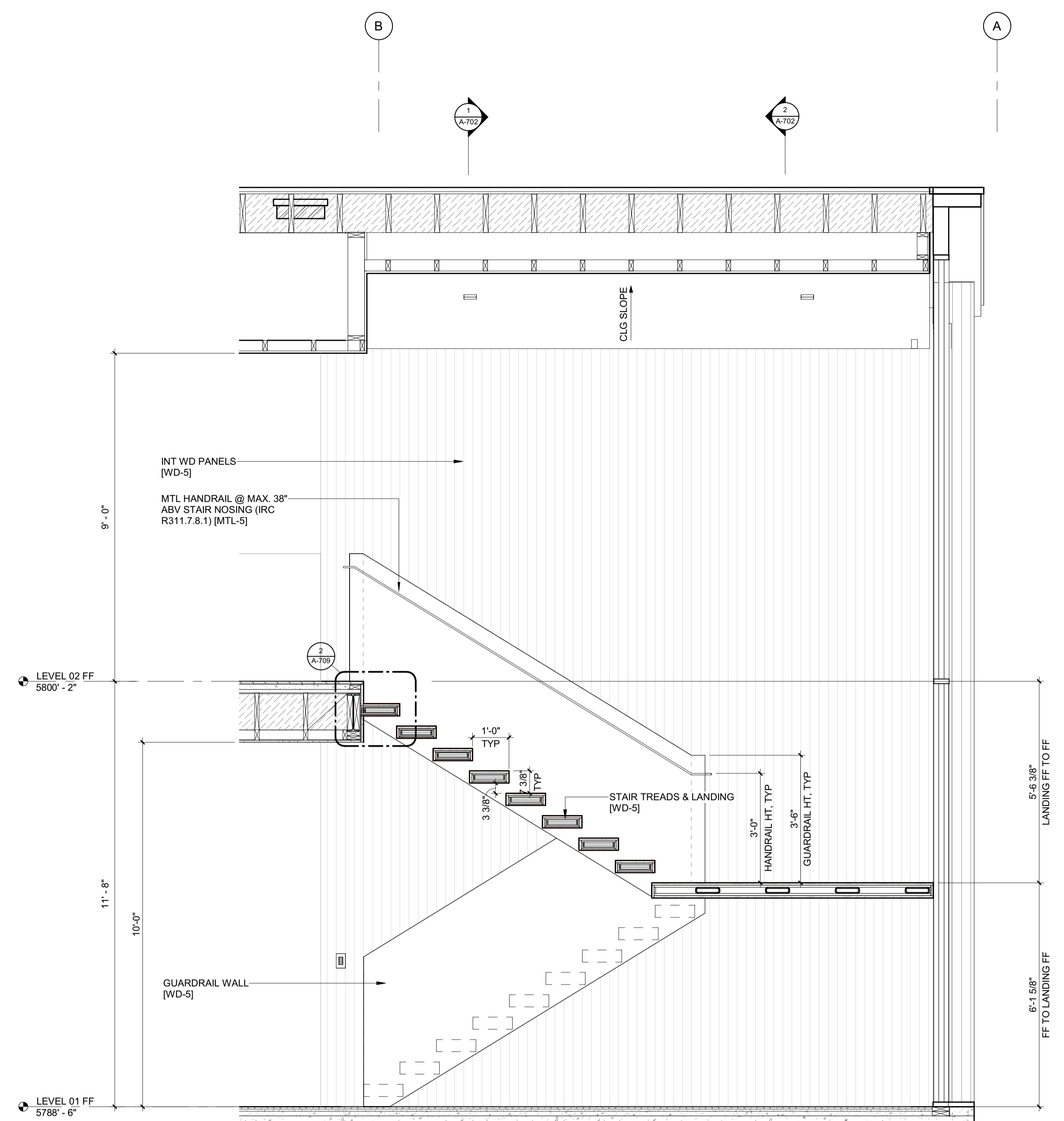
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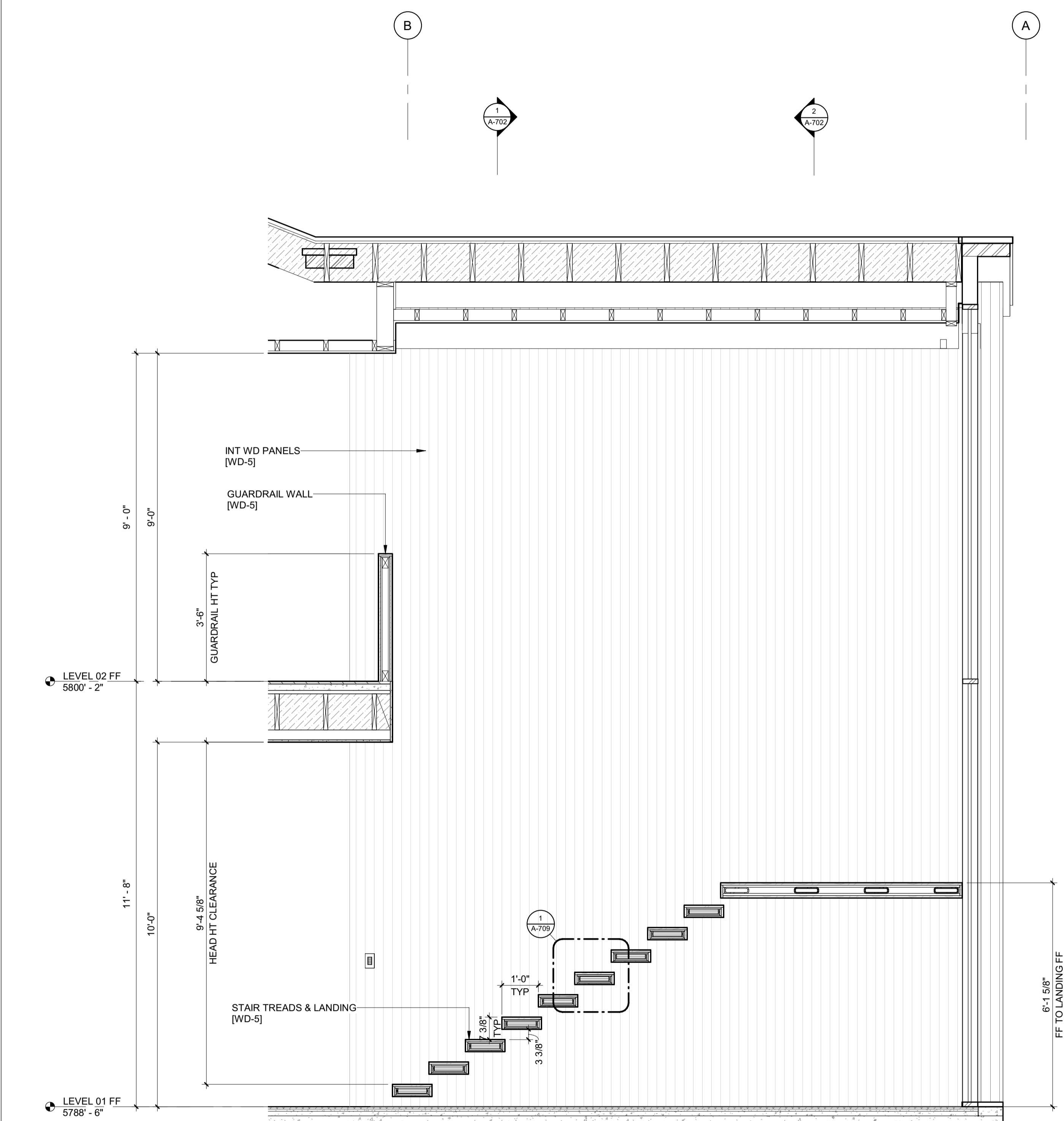
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BLD2303-00021  
9/6/26/23

2/26/23



2 1/2" = 1'-0" STAIR 1 / SECTION 2



1 1/2" = 1'-0" STAIR 1 / SECTION 1

**BADGER RESIDENCE**

OWNER:  
**121 BADGER LANE LLC**  
P.O. BOX 14001-174  
KETCHUM, ID 83340

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**RO | ROCKETT DESIGN**  
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INGLEWOOD, CA 90301  
TEL: 213.784.0014

SURVEYOR:  
**GALENA ENGINEERING, INC.**  
317 NORTH RIVER STREET  
HAILEY, ID 83333  
TEL: 208.788.1705

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TEL: 208.727.9748

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KETCHUM, ID 83340  
TEL: 208.720.6432

LANDSCAPE ARCHITECT:  
**BYLA**  
323 LEWIS STREET, SUITE N  
KETCHUM, ID 83340  
TEL: 208.726.5907

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**BENCHMARK ASSOCIATES, P.A.**  
P.O. BOX 733 - 100 BELL DRIVE  
KETCHUM, IDAHO 83340  
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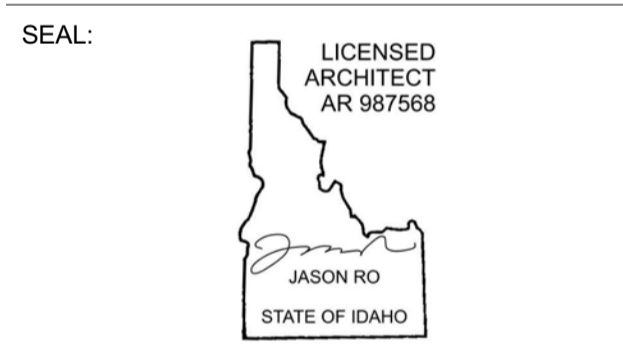
STRUCTURAL ENGINEER:  
**LFA**  
319 MAIN STREET  
EL SEGUNDO, CA 90245  
TEL: 213.239.9700

MEP ENGINEER:  
**CES ENGINEERING SERVICES, LLC**  
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NO	DATE	BUILDING PERMIT	ISSUE
0	02.28.23	BUILDING PERMIT	

PROJECT:  
**BADGER RESIDENCE**  
121 BADGER LANE  
KETCHUM, ID 83340

PROJECT NUMBER:  
**#2201**

DRAWING TITLE:  
**ENLARGED SECTIONS / STAIR 1**

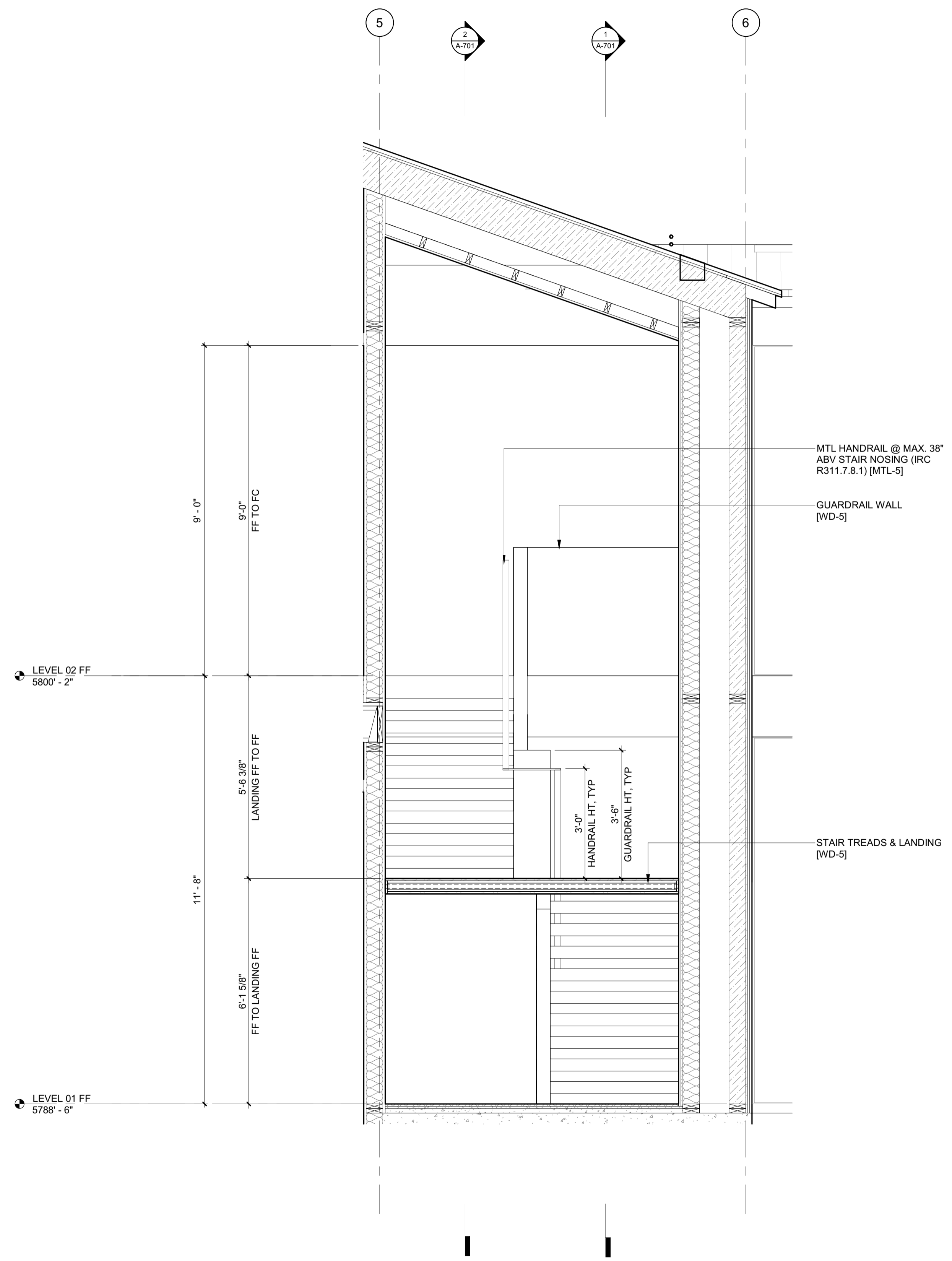
DRAWING NUMBER:  
**A-701**



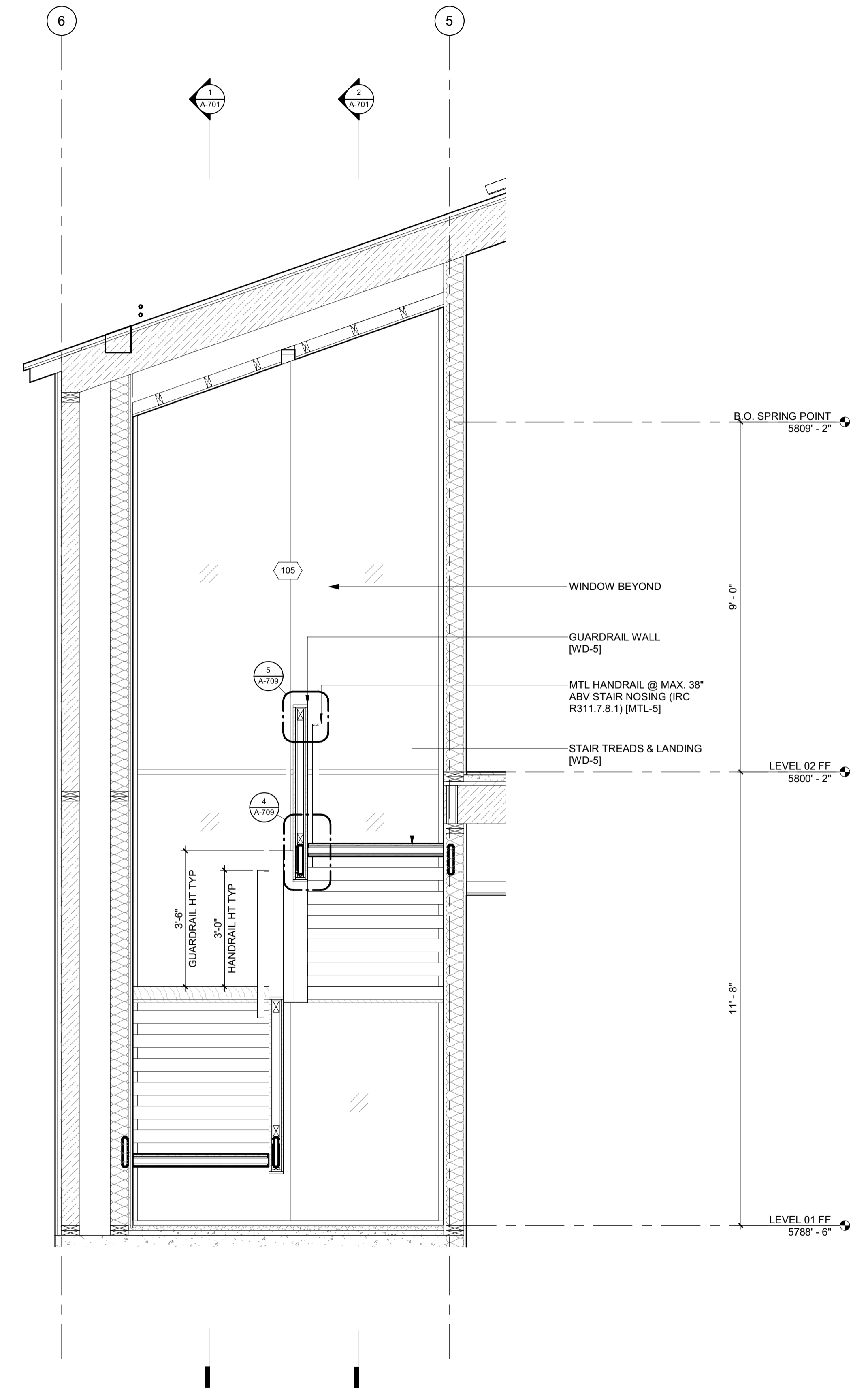
These plans have been found to be in substantial compliance with the adopted building codes. These documents are approved contingent on compliance with the mark-ups and notes applied. This is not approval of any code, ordinance, statute or regulation. Corrections will be required for code violations found during the inspection process.

BLD2303-00021  
9/6/26/23

2/26/23



2 1/2" = 1'-0" STAIR 1 / SECTION 4



1 1/2" = 1'-0" STAIR 1 / SECTION 3

**BADGER RESIDENCE**

OWNER:  
**121 BADGER LANE LLC**  
P.O. BOX 14001-174  
KETCHUM, ID 83340

PROJECT ARCHITECT:  
**RO | ROCKETT DESIGN**  
1031 W. MANCHESTER BLVD, UNIT 6  
INGLEWOOD, CA 90301  
TEL: 213.784.0014

SURVEYOR:  
**GALENA ENGINEERING, INC.**  
317 NORTH RIVER STREET  
HAILEY, ID 83333  
TEL: 208.788.1705

ENVIRONMENTAL CONSULTANT:  
**SAWTOOTH ENVIRONMENTAL CONSULTING**  
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TEL: 208.727.9748

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**BROCKWAY ENGINEERING, INC.**  
2018 WASHINGTON ST NORTH, SUITE 4  
TWIN FALLS, ID 83301  
TEL: 208.736-8543

GEOTECHNICAL ENGINEER:  
**BUTLER ASSOCIATES, INC.**  
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TEL: 208.720.6432

LANDSCAPE ARCHITECT:  
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CIVIL ENGINEER:  
**BENCHMARK ASSOCIATES, P.A.**  
P.O. BOX 733 - 100 BELL DRIVE  
KETCHUM, IDAHO 83340  
TEL: 208.726.9512

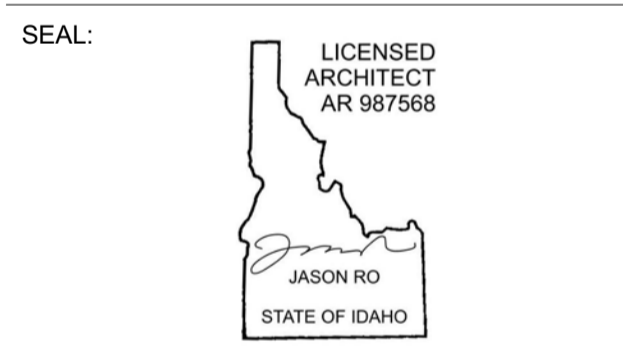
STRUCTURAL ENGINEER:  
**LFA**  
319 MAIN STREET  
EL SEGUNDO, CA 90245  
TEL: 213.239.9700

MEP ENGINEER:  
**CES ENGINEERING SERVICES, LLC**  
1001 W OAK BUILDING B SUITE 107  
BOZEMAN, MT 59715  
TEL: 406.272.0352

LIGHTING DESIGN CONSULTANT:  
**KGM ARCHITECTURAL LIGHTING**  
270 CORAL CIRCLE  
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TEL: 310.552.2191

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0	02.28.23	BUILDING PERMIT
NO	DATE	ISSUE

PROJECT:  
**BADGER RESIDENCE**  
121 BADGER LANE  
KETCHUM, ID 83340

PROJECT NUMBER:  
**#2201**

DRAWING TITLE:  
**ENLARGED SECTIONS / STAIR 1**

DRAWING NUMBER:  
**A-702**





These plans have been found to be in substantial compliance with the adopted building codes. These documents are approved contingent on compliance with the mark-ups and notes applied. This is not approval of any code, ordinance, statute or regulation. Corrections will be required for code violations found during the inspection process.

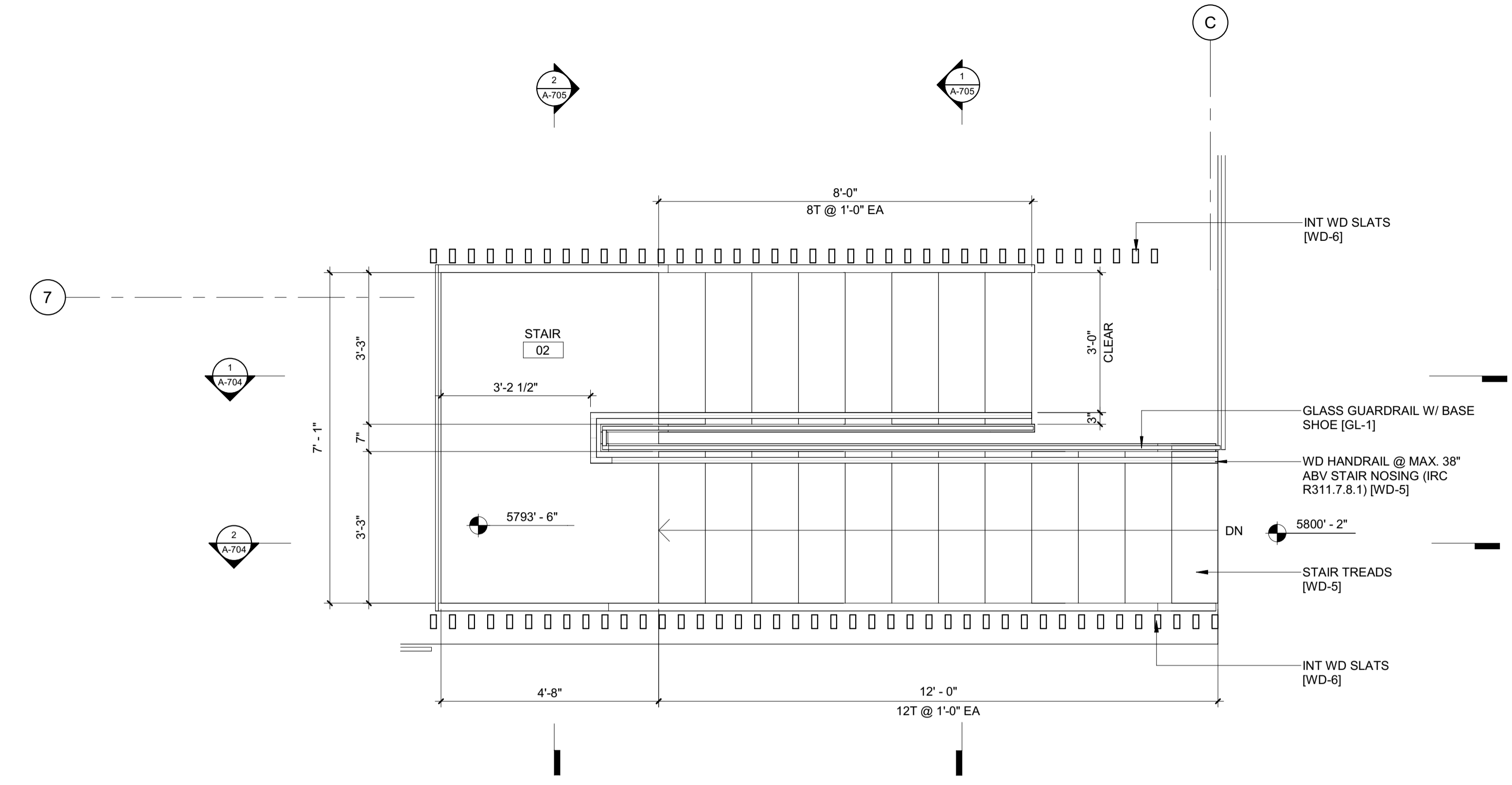
BLD2303-00021  
9/6/26/23

2/26/23

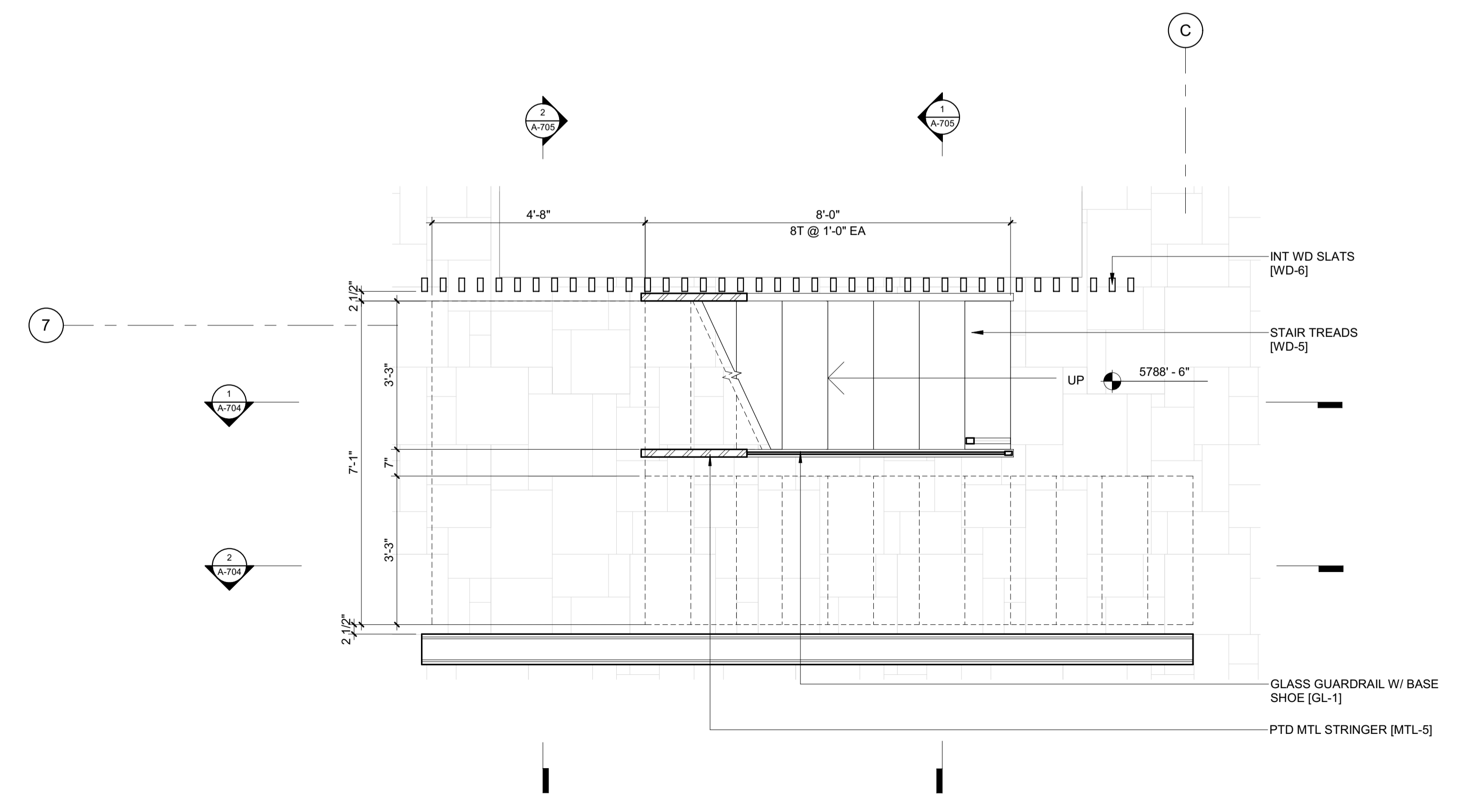
**BADGER RESIDENCE**

- OWNER:  
121 BADGER LANE LLC  
P.O. BOX 14001-174  
KETCHUM, ID 83340
- PROJECT ARCHITECT:  
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- LANDSCAPE ARCHITECT:  
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TEL: 310.552.2191

2 1/2" = 1'-0" ENLARGED PLAN / STAIR 2 / LEVEL 02

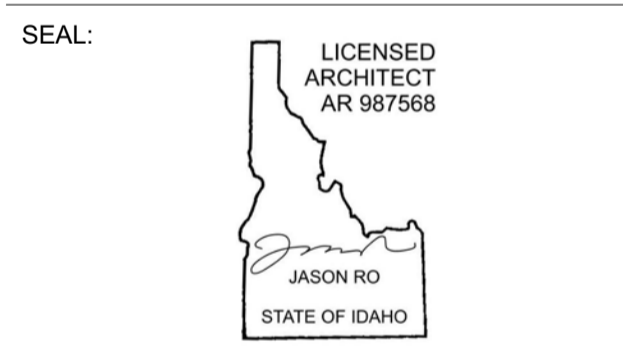


1 1/2" = 1'-0" ENLARGED PLAN / STAIR 2 / LEVEL 01



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NO	DATE	BUILDING PERMIT	ISSUE
0	02.28.23	BUILDING PERMIT	

PROJECT:  
**BADGER RESIDENCE**  
121 BADGER LANE  
KETCHUM, ID 83340

PROJECT NUMBER  
**#2201**

DRAWING TITLE:  
**ENLARGED PLANS / STAIR 2**

DRAWING NUMBER:  
**A-703**

**BADGER RESIDENCE**

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 P.O. BOX 733 - 100 BELL DRIVE  
 KETCHUM, IDAHO 83340  
 TEL: 208.726.9512

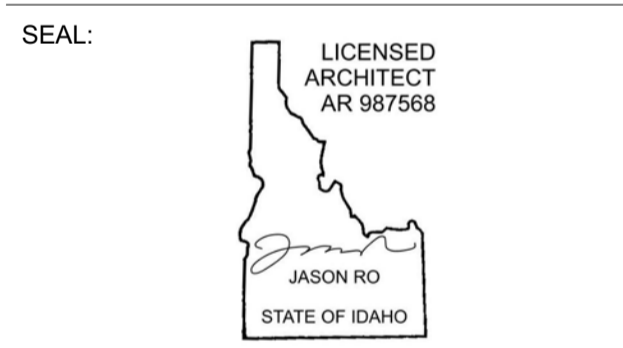
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 TEL: 213.239.9700

MEP ENGINEER:  
**CES ENGINEERING SERVICES, LLC**  
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LIGHTING DESIGN CONSULTANT:  
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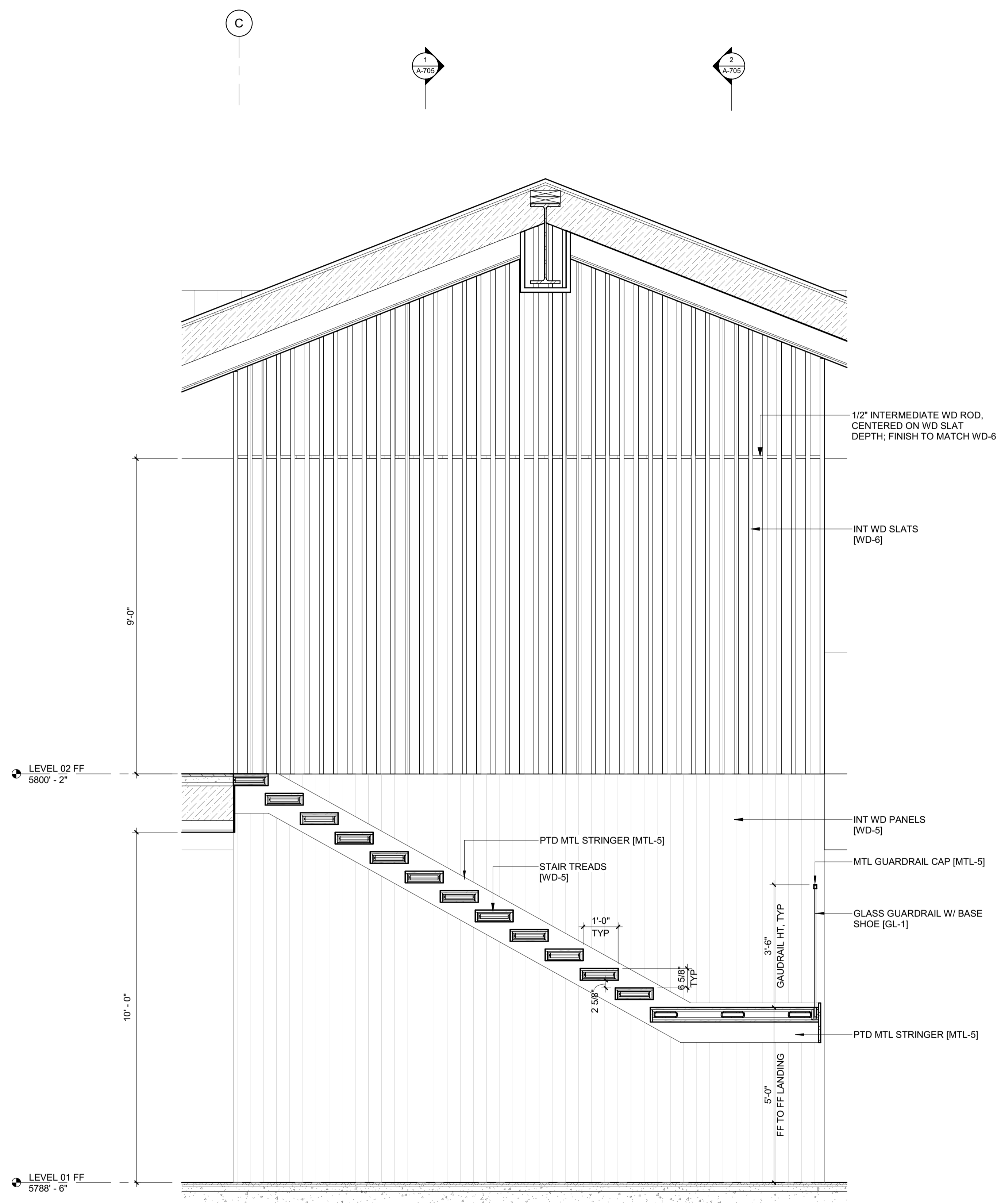
0	02.28.23	BUILDING PERMIT
NO	DATE	ISSUE

PROJECT:  
**BADGER RESIDENCE**  
 121 BADGER LANE  
 KETCHUM, ID 83340

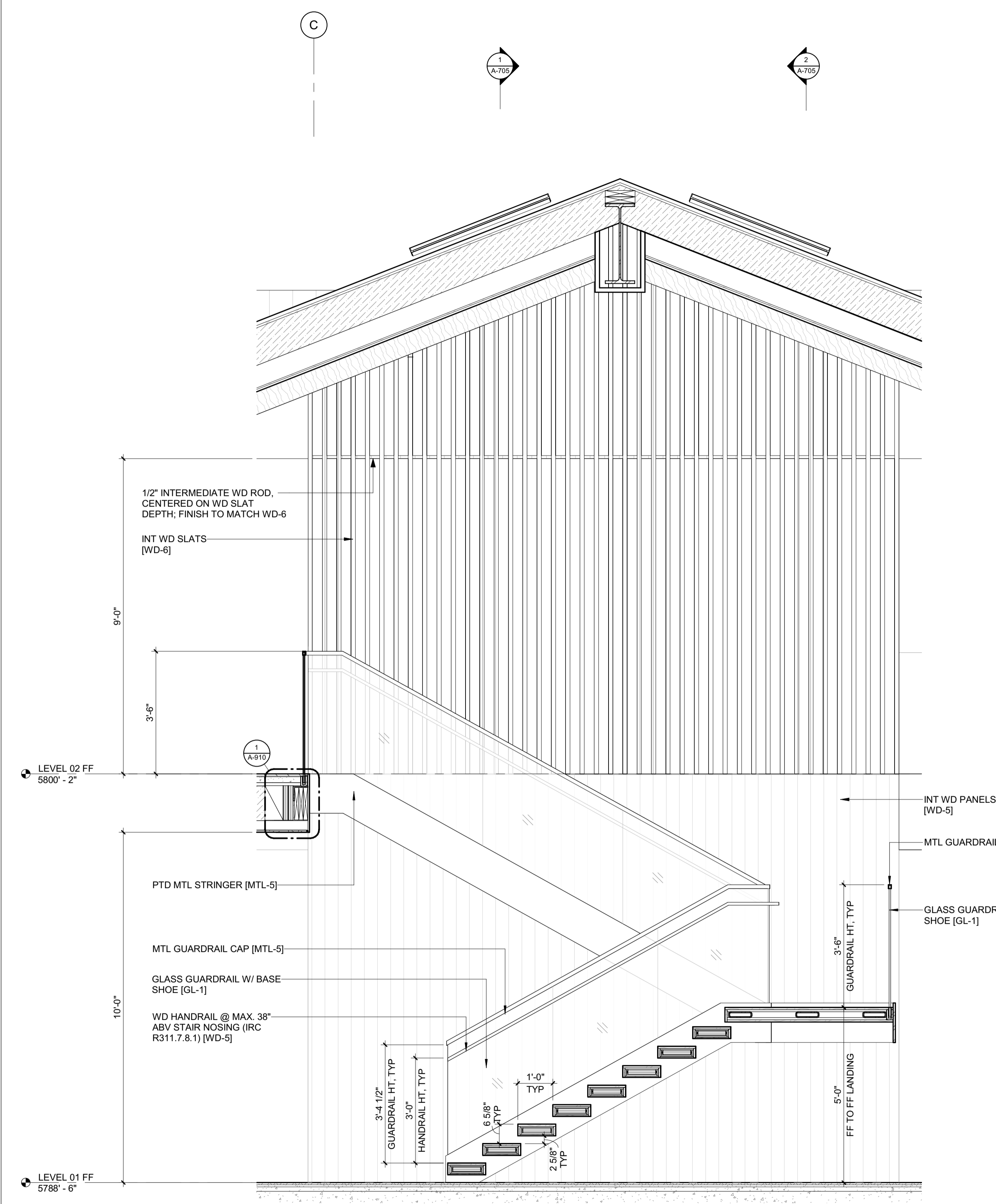
PROJECT NUMBER  
**#2201**

DRAWING TITLE:  
**ENLARGED SECTIONS / STAIR 2**

DRAWING NUMBER:  
**A-704**



2 1/2" = 1'-0" STAIR 2 / SECTION 2



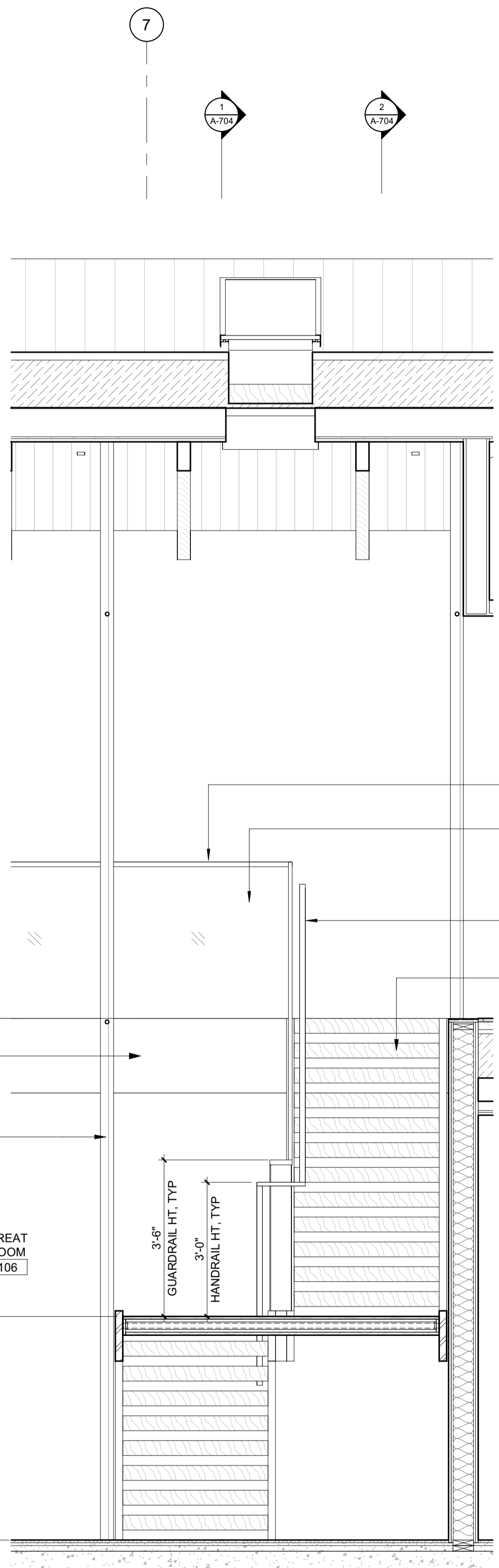
1 1/2" = 1'-0" STAIR 2 / SECTION 1



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BLD2303-00021  
9/6/26/23

2/26/23



MTL GUARDRAIL CAP [MTL-5]  
GLASS GUARDRAIL W/ BASE SHOE [GL-1]  
WD HANDRAIL @ MAX. 38" ABV STAIR NOSING (IRC R311.7.8.1) [WD-5]  
STAIR TREADS [WD-5]

LEVEL 02 FF  
5800' - 2"

6'-5 1/2" LANDING FF TO FF

PTD MTL PANEL FASCIA [MTL-5]  
INT WD SLATS [WD-6]

3'-0" HANDRAIL HT. TYP

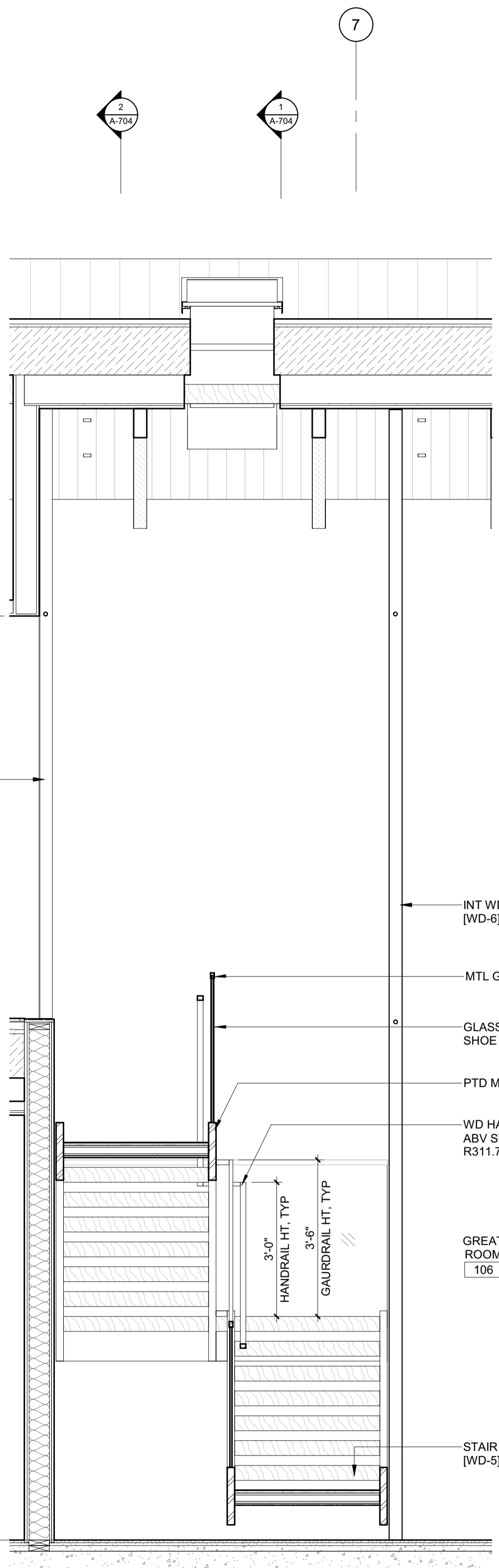
3'-0" HANDRAIL HT. TYP

3'-6" GUARDRAIL HT. TYP

GREAT ROOM 106

5'-0" FF TO LANDING FF

LEVEL 01 FF  
5788' - 6"



LEVEL 02 FF  
5800' - 2"

9'-0" INT WD SLATS [WD-6]

11'-8" INT WD SLATS [WD-6]

MTL GUARDRAIL CAP [MTL-5]  
GLASS GUARDRAIL W/ BASE SHOE [GL-1]  
PTD MTL STRINGER [MTL-5]  
WD HANDRAIL @ MAX. 38" ABV STAIR NOSING (IRC R311.7.8.1) [WD-5]

3'-0" HANDRAIL HT. TYP

3'-6" GAURDRAIL HT. TYP

GREAT ROOM 106

LEVEL 01 FF  
5788' - 6"

INT WD SLATS [WD-6]

MTL GUARDRAIL CAP [MTL-5]  
GLASS GUARDRAIL W/ BASE SHOE [GL-1]  
PTD MTL STRINGER [MTL-5]  
WD HANDRAIL @ MAX. 38" ABV STAIR NOSING (IRC R311.7.8.1) [WD-5]

3'-0" HANDRAIL HT. TYP

3'-6" GAURDRAIL HT. TYP

GREAT ROOM 106

STAIR TREADS [WD-5]

**BADGER RESIDENCE**

OWNER:  
121 BADGER LANE LLC  
P.O. BOX 14001-174  
KETCHUM, ID 83340

PROJECT ARCHITECT:  
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SURVEYOR:  
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TEL: 208.788.1705

ENVIRONMENTAL CONSULTANT:  
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TEL: 208.726.9512

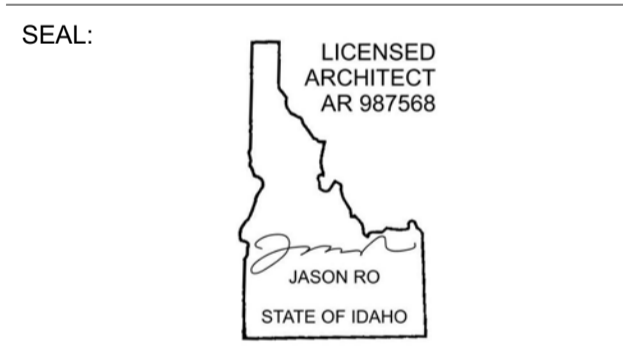
STRUCTURAL ENGINEER:  
LFA  
319 MAIN STREET  
EL SEGUNDO, CA 90245  
TEL: 213.239.9700

MEP ENGINEER:  
CES ENGINEERING SERVICES, LLC  
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TEL: 406.272.0352

LIGHTING DESIGN CONSULTANT:  
KGM ARCHITECTURAL LIGHTING  
270 CORAL CIRCLE  
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0	02.28.23	BUILDING PERMIT
NO	DATE	ISSUE

PROJECT:  
**BADGER RESIDENCE**  
121 BADGER LANE  
KETCHUM, ID 83340

PROJECT NUMBER  
**#2201**

DRAWING TITLE:  
**ENLARGED SECTIONS / STAIR 2**

DRAWING NUMBER:  
**A-705**

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**BADGER RESIDENCE**

OWNER:

121 BADGER LANE LLC  
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PROJECT ARCHITECT:

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 HAILEY, ID 83333  
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 KETCHUM, ID 83340  
 TEL: 208.727.9748

HYDROLOGY / WATER ENGINEERING:

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 TEL: 208.736-8543

GEOTECHNICAL ENGINEER:

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 TEL: 208.720.6432

LANDSCAPE ARCHITECT:

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 KETCHUM, IDAHO 83340  
 TEL: 208.726.9512

STRUCTURAL ENGINEER:

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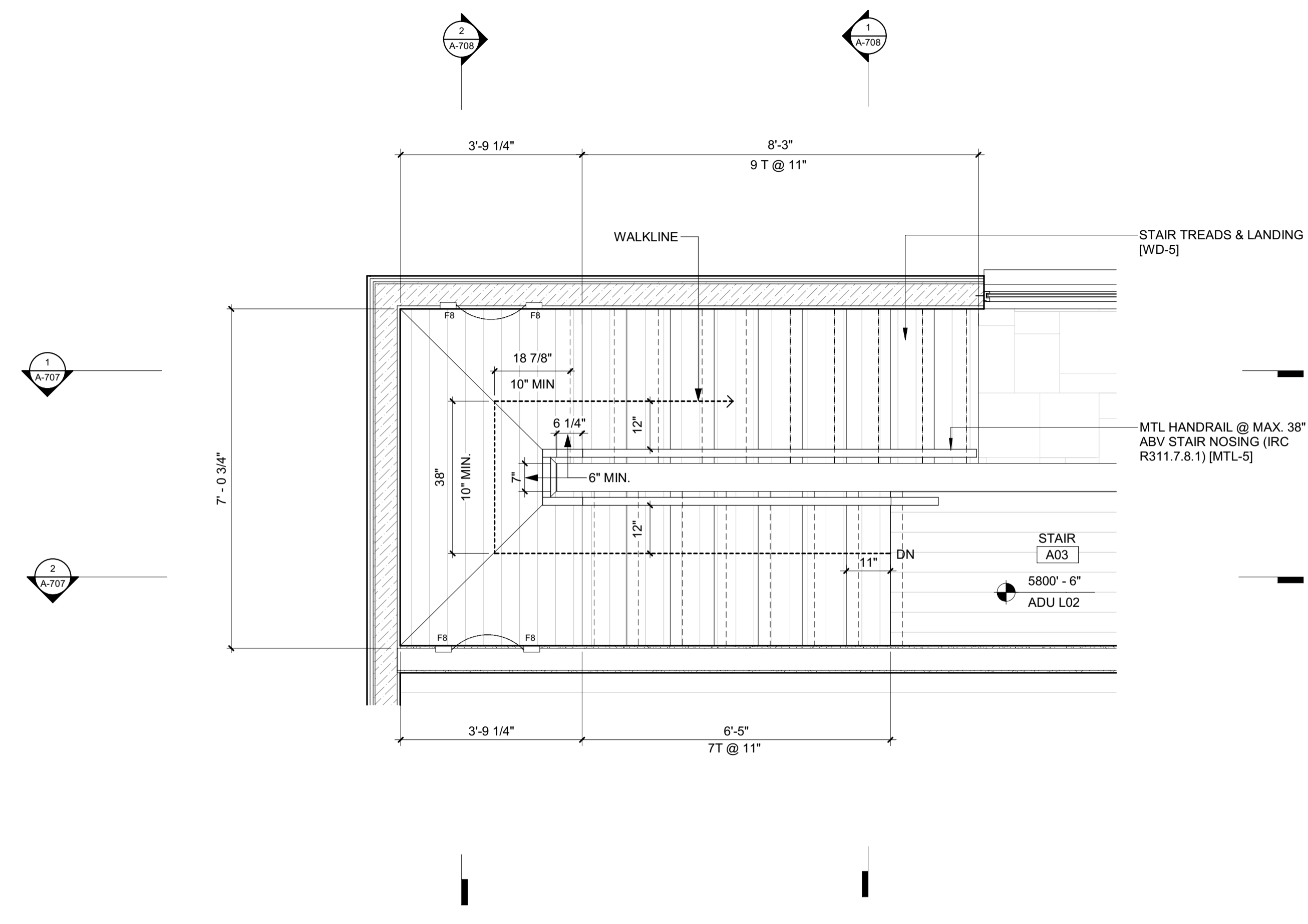
LIGHTING DESIGN CONSULTANT:

KGM ARCHITECTURAL LIGHTING  
 270 CORAL CIRCLE  
 EL SEGUNDO, CA 90245  
 TEL: 310.552.2191

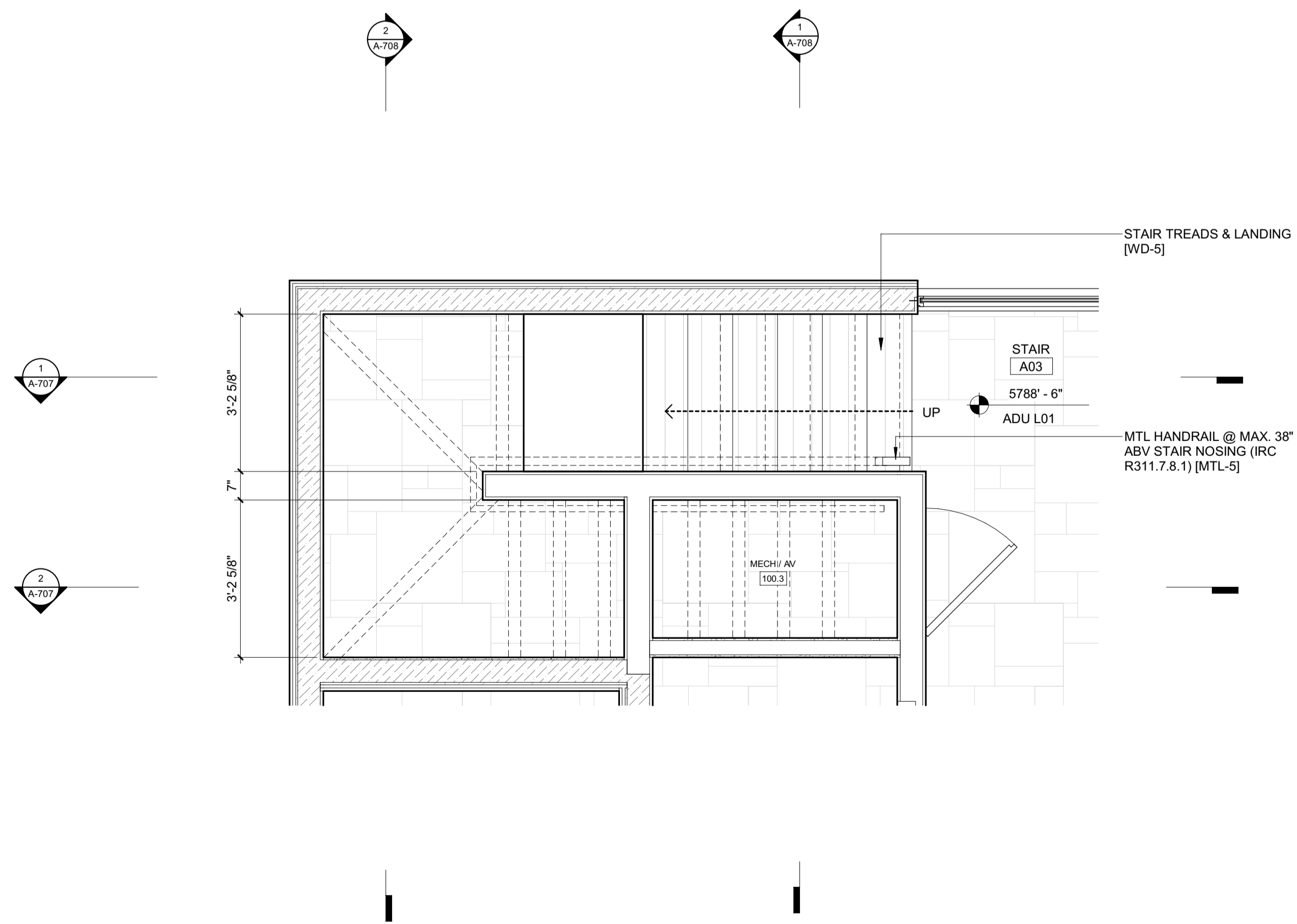
**STAIR NOTES:**

1. THE WALKLINE ACROSS WINDER TREADS AND LANDINGS SHALL BE CONCENTRIC TO THE TURN AND PARALLEL TO THE DIRECTION OF TRAVEL ENTERING AND EXITING THE TURN. THE WALKLINE SHALL BE LOCATED 12 INCHES FROM THE INSIDE OF THE TURN. THE 12-INCH DIMENSION SHALL BE MEASURED FROM THE WIDEST POINT OF THE CLEAR STAIR WIDTH AT THE WALKING SURFACE. WHERE WINDERS ARE ADJACENT WITHIN A FLIGHT, THE POINT OF THE WIDEST CLEAR STAIR WIDTH OF THE ADJACENT WINDERS SHALL BE USED. **R311.7.3**

2. WINDER TREADS SHALL HAVE A TREAD DEPTH OF NOT LESS THAN 10 INCHES MEASURED BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTIONS OF ADJACENT TREADS AT THE INTERSECTIONS WITH WALKLINE. WINDER TREADS SHALL HAVE A TREAD DEPTH OF NOT LESS THAN 6 INCHES AT ANY POINT WITHIN THE CLEAR WIDTH OF THE STAIR. WITHIN ANY FLIGHT OF STAIRS, THE LARGEST WINDER TREAD DEPTH AT THE WALKLINE SHALL NOT EXCEED THE SMALLEST WINDER TREAD BY MORE THAN 3/8 INCH. CONSISTENTLY SHAPED WINDERS AT THE WALKLINE SHALL BE ALLOWED WITHIN THE SAME FLIGHT OF STAIRS AS RECTANGULAR TREADS AND SHALL NOT BE REQUIRED TO BE WITHIN 3/8 INCH OF THE RECTANGULAR TREAD DEPTH. **R311.7.5.2.1**



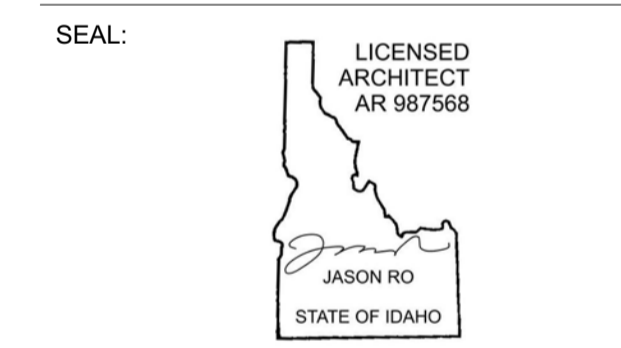
2 | 1/2" = 1'-0" | ENLARGED PLAN / STAIR 3 / ADU LEVEL 02



1 | 1/2" = 1'-0" | ENLARGED PLAN / STAIR 3 / ADU LEVEL 01

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NO	DATE	ISSUE

PROJECT:  
**BADGER RESIDENCE**  
 121 BADGER LANE  
 KETCHUM, ID 83340

PROJECT NUMBER  
**#2201**

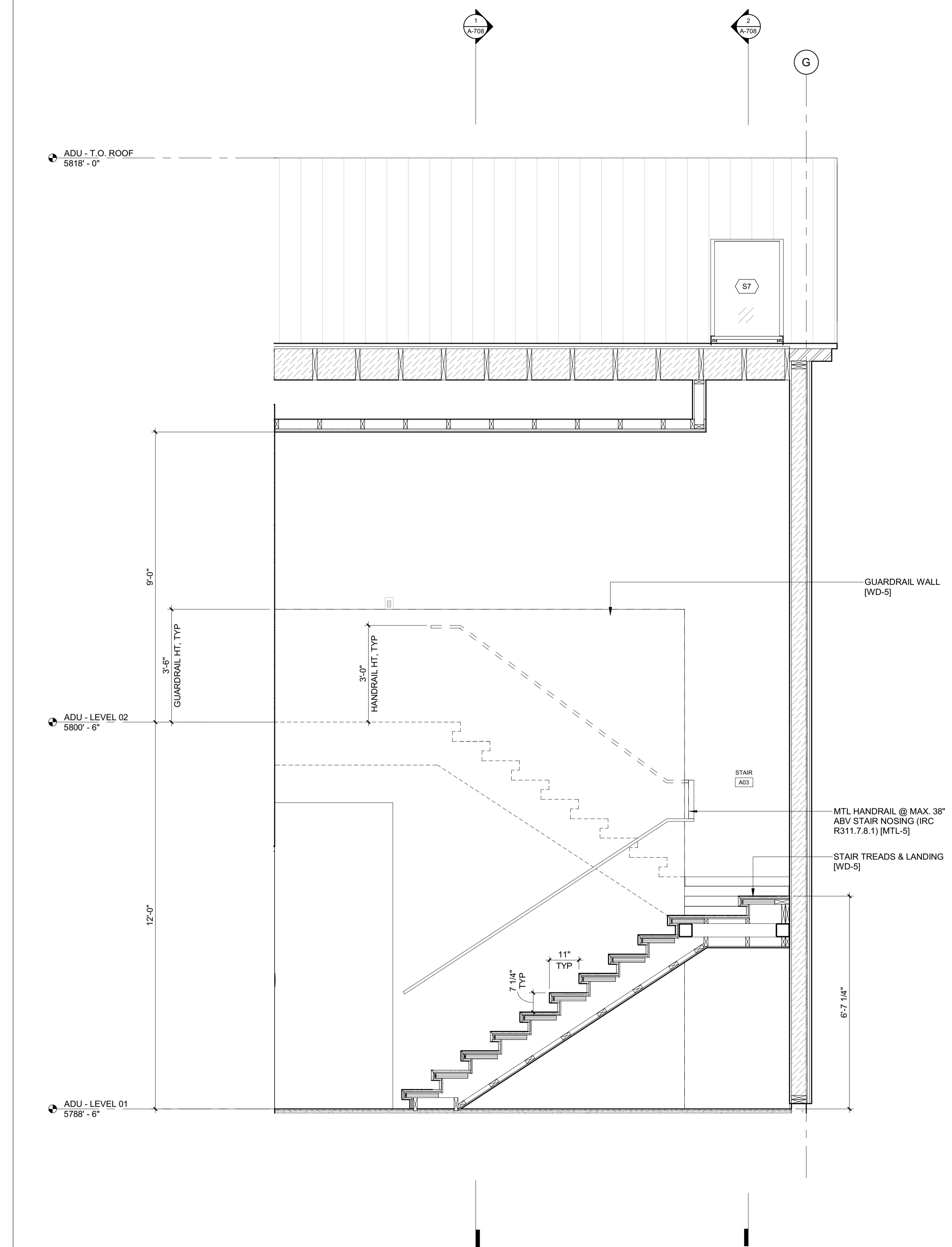
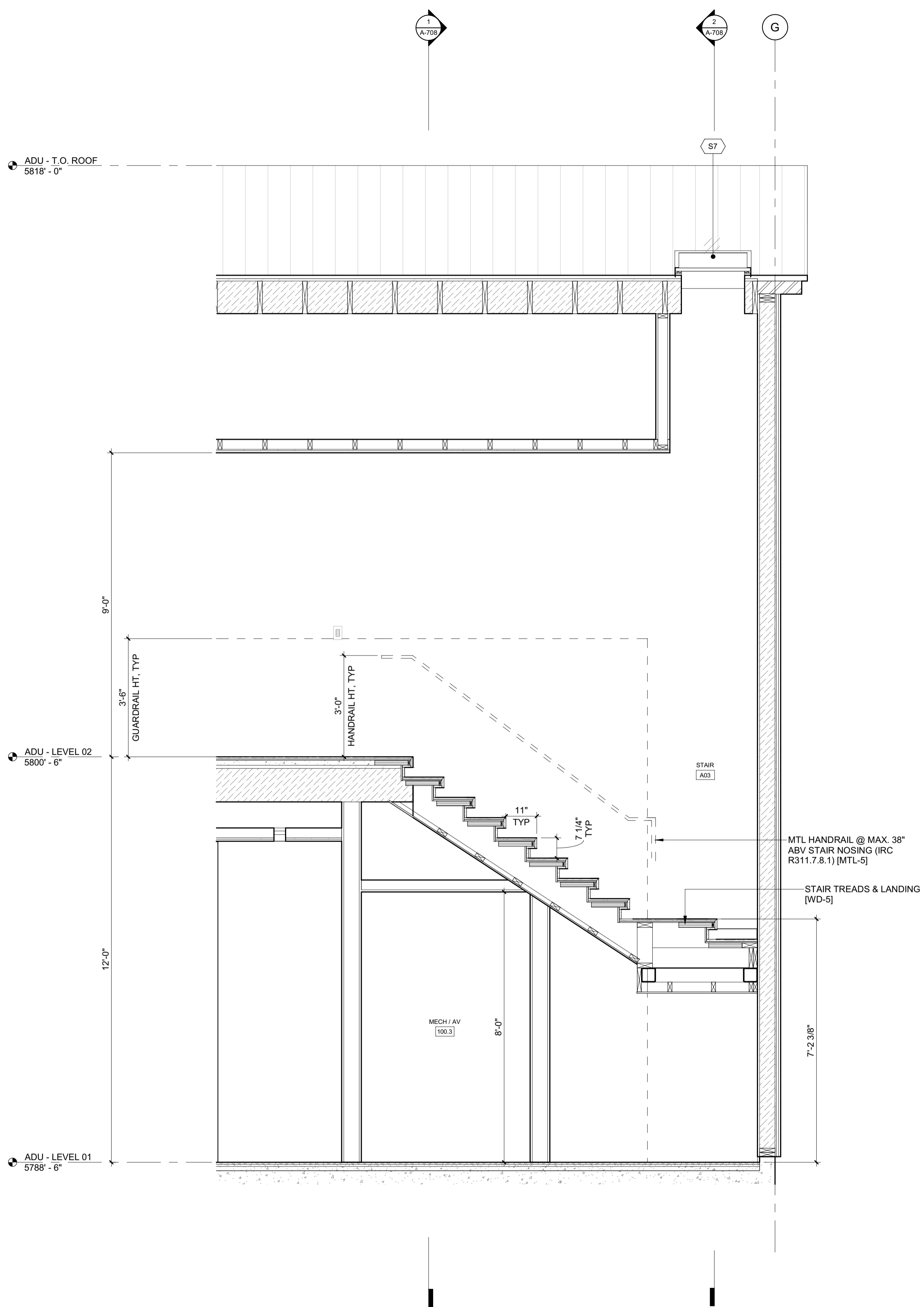
DRAWING TITLE:  
**ENLARGED PLANS / STAIR 3**

DRAWING NUMBER:  
**A-706**

Approved  
 These plans have been found to be in substantial compliance with the adopted building codes. These documents are approved contingent on compliance with the mark-ups and notes applied. This is not approval of any code, ordinance, statute or regulation. Corrections will be required for code violations found during the inspection process.

BLD2303-00021  
 06/26/23

2/2/25



**BADGER RESIDENCE**

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SEAL:  
 LICENSED ARCHITECT  
 AR 987568  
 JASON RO  
 STATE OF IDAHO

NO	DATE	BUILDING PERMIT	ISSUE
0	02.28.23	BUILDING PERMIT	

PROJECT:  
**BADGER RESIDENCE**  
 121 BADGER LANE  
 KETCHUM, ID 83340

PROJECT NUMBER  
**#2201**

DRAWING TITLE:  
**ENLARGED SECTIONS / STAIR 3**

DRAWING NUMBER:  
**A-707**

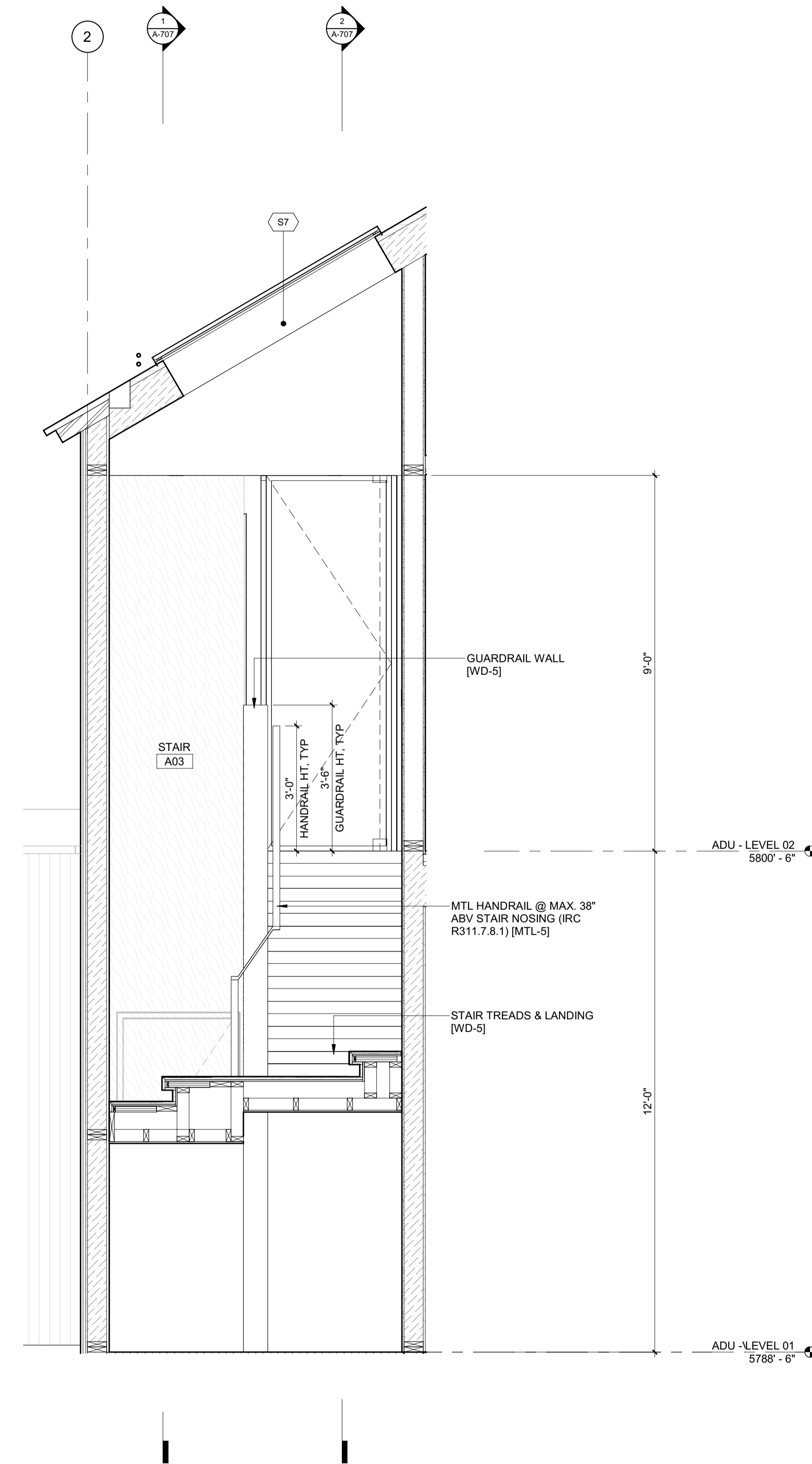
©2023, RO | ROCKETT DESIGN, INC.



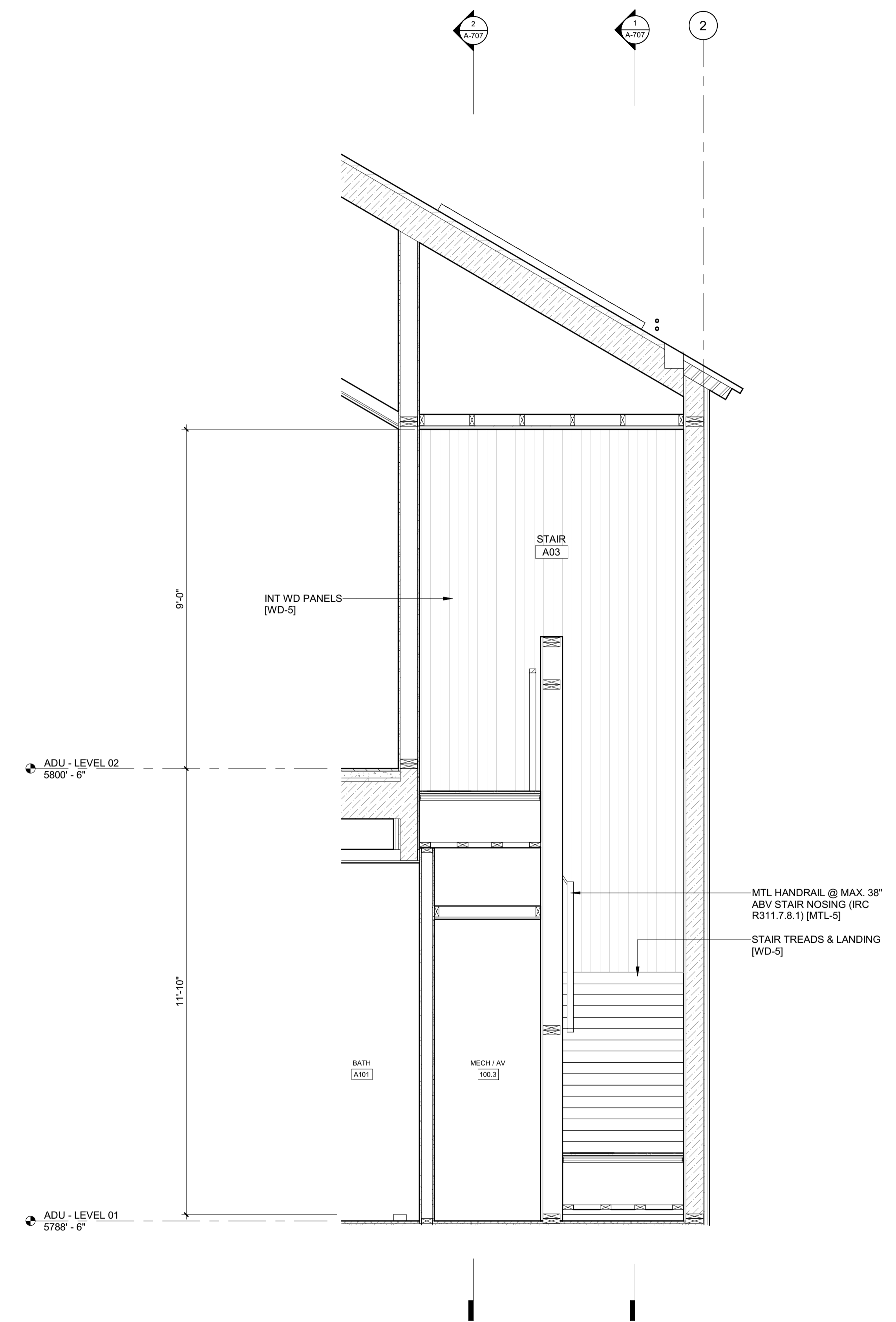
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BLD2303-00021  
06/26/23

2/26/23



2 1/2" = 1'-0" STAIR 3 / SECTION 5



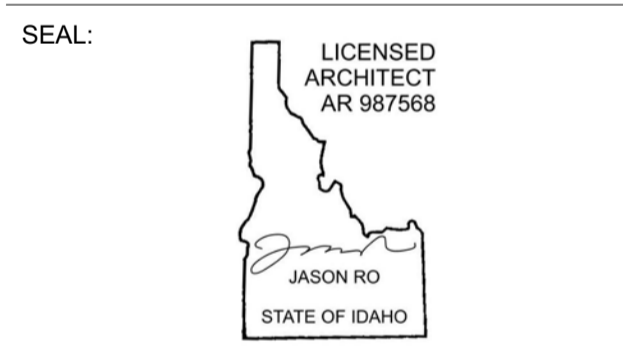
1 1/2" = 1'-0" STAIR 3 / SECTION 3

**BADGER RESIDENCE**

- OWNER:  
121 BADGER LANE LLC  
P.O. BOX 14001-174  
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- SURVEYOR:  
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- GEOTECHNICAL ENGINEER:  
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NO	DATE	BUILDING PERMIT ISSUE
0	02.28.23	

PROJECT:  
**BADGER RESIDENCE**  
121 BADGER LANE  
KETCHUM, ID 83340

PROJECT NUMBER  
**#2201**

DRAWING TITLE:  
**ENLARGED SECTIONS / STAIR 3**

DRAWING NUMBER:  
**A-708**



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2/26/23

### BADGER RESIDENCE

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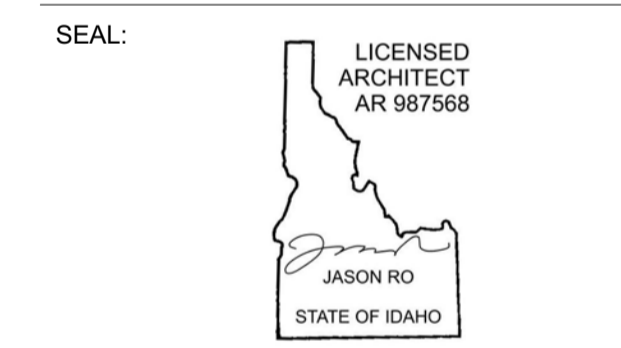
STRUCTURAL ENGINEER:  
**LFA**  
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 EL SEGUNDO, CA 90245  
 TEL: 213.239.9700

MEP ENGINEER:  
**CES ENGINEERING SERVICES, LLC**  
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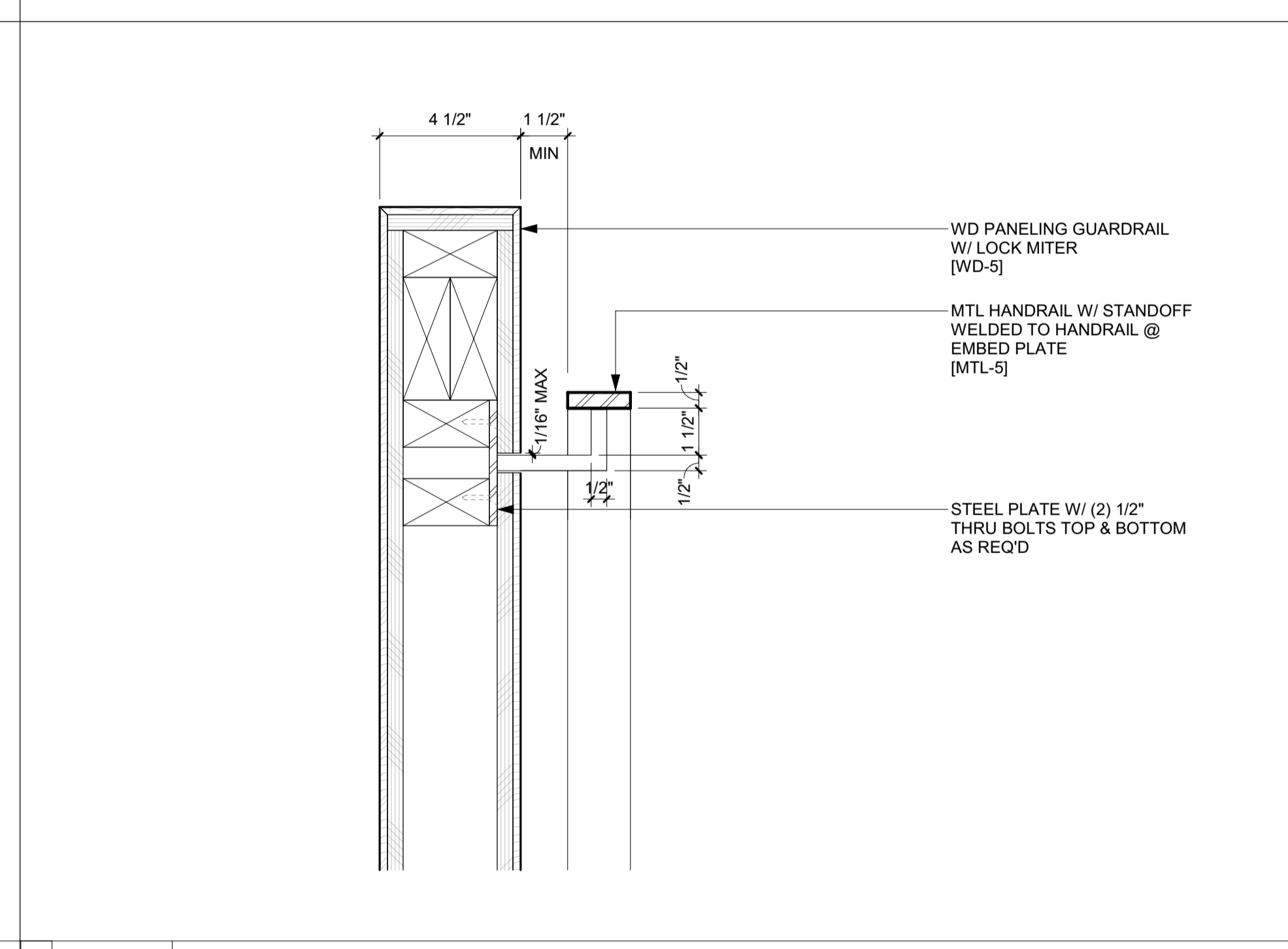
NO	DATE	BUILDING PERMIT	ISSUE
0	02.28.23	BUILDING PERMIT	

PROJECT:  
**BADGER RESIDENCE**  
 121 BADGER LANE  
 KETCHUM, ID 83340

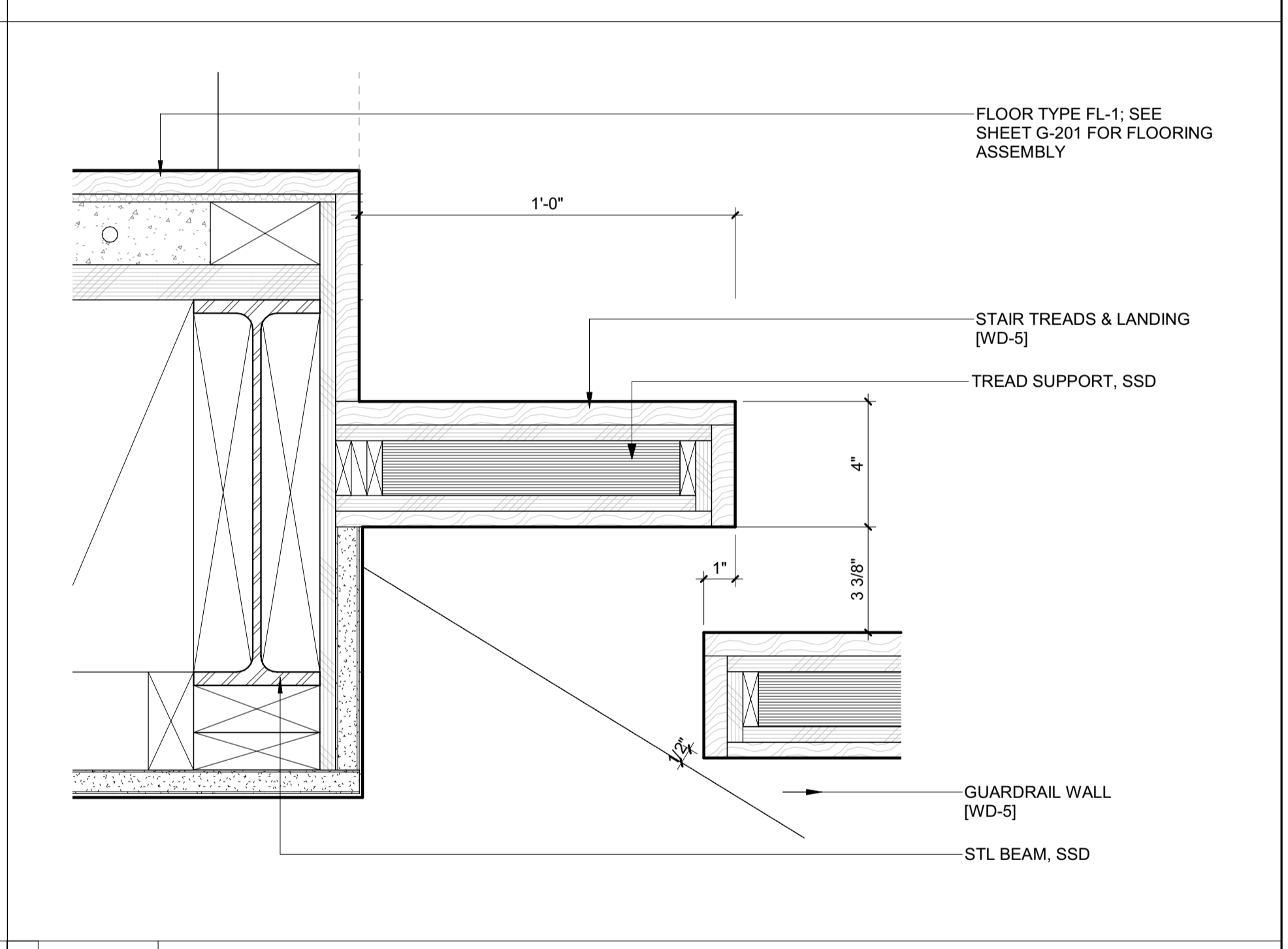
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DRAWING TITLE:  
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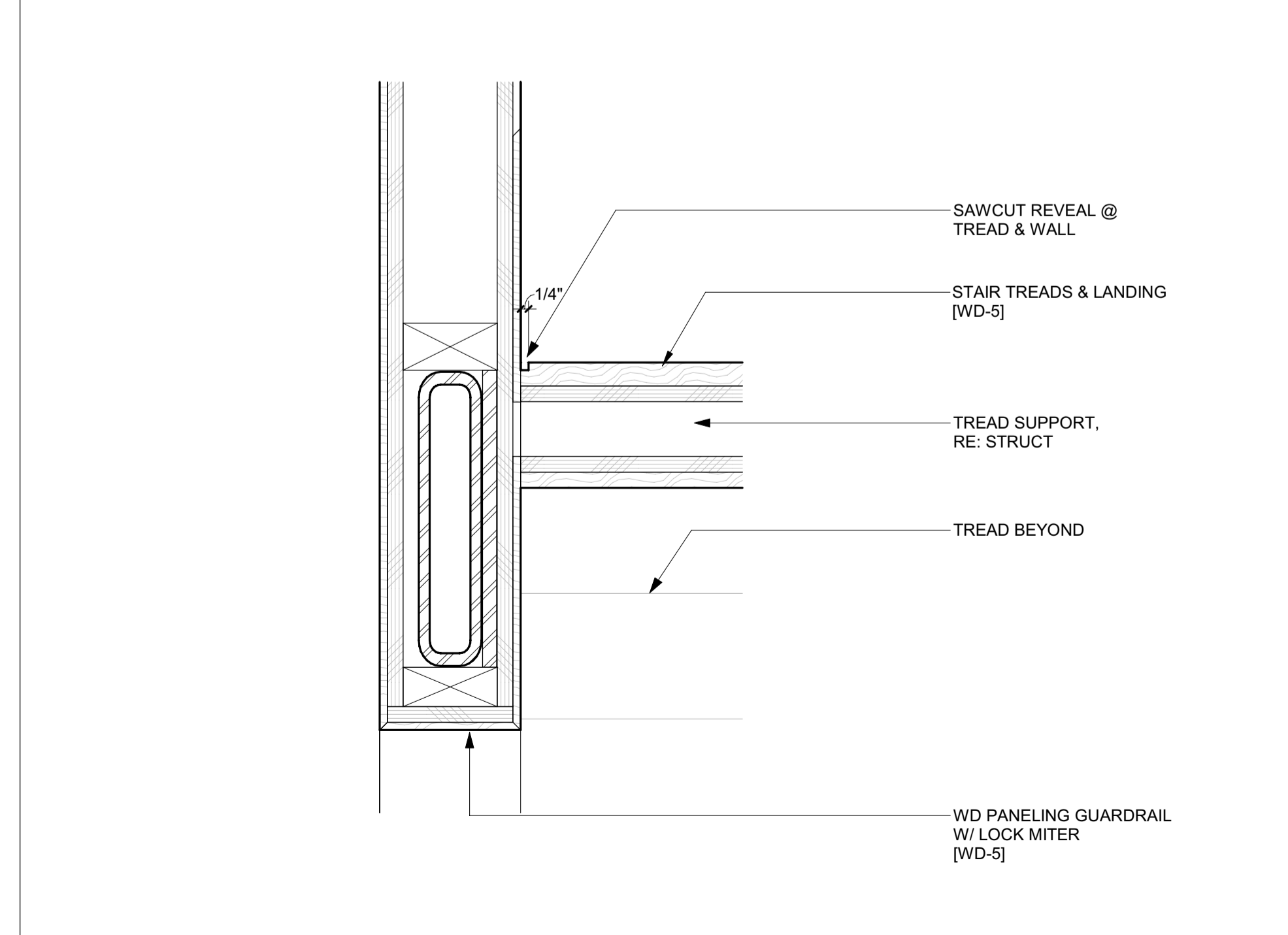
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**A-709**



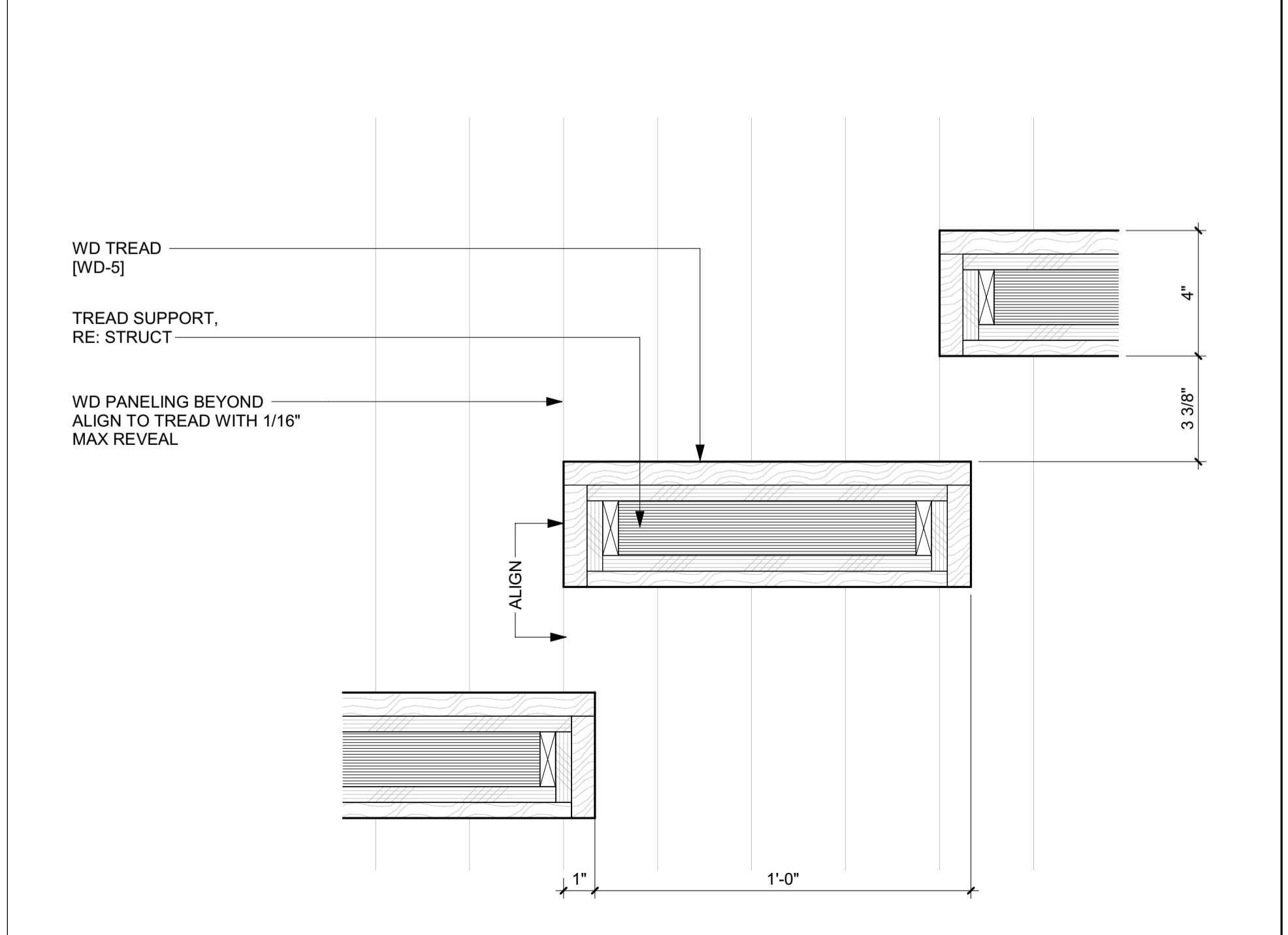
5 3" = 1'-0" DETAIL / STAIR 1 HANDRAIL @ GUARDRAIL WALL



2 3" = 1'-0" DETAIL / STAIR 1 @ FLR LANDING



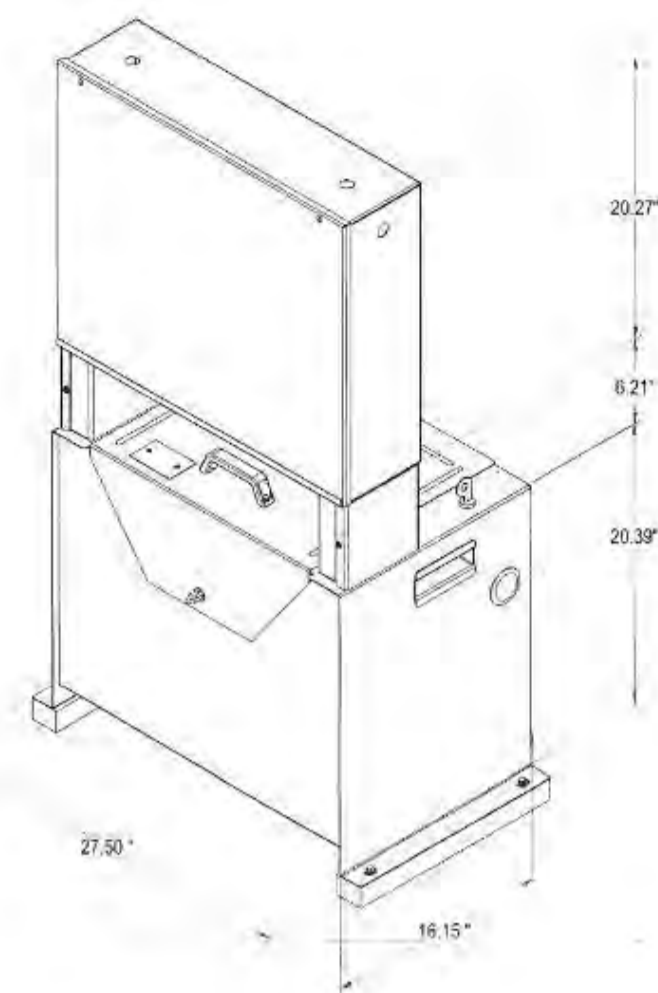
4 3" = 1'-0" DETAIL / STAIR 1 TREAD @ GUARDRAIL WALL



1 3" = 1'-0" DETAIL / TYP STAIR 1 TREAD

**Controller tank specifications**

Controller tank specifications	
Dimensions	Height: 47" (1194 mm) Width: 28" (711 mm) Depth: 17" (432 mm)
Minimum required clearance	39.37" (1000 mm)
Valve and manual lowering handle location	Inside tank
Rupture valve test	T-fitting factory installed
Tank to controller wiring	Quick connect valve and motor wiring
Controller layout	Relay board
Keyed lock to tank	Yes
Machine room required	No (with local jurisdiction approval)
Tank capacity (gal/ltr)	15-16.5 gal/57-63 ltr
Maximum dry weight (lb/kg)	147 lb/55 kg
Maximum filled weight (lb/kg)	312 lb/117 kg
Operating environment	50°F - 120°F / 10°C - 49°C
Operating volume	57 dBA



**Controller tank features**

- Hydraulic hose connection port on both sides of the tank
- Built-in handles on both sides of the tank
- Isolation mounting of pump motor valve assembly minimizes operating issues

Part No. 000783, 25-m05-2015

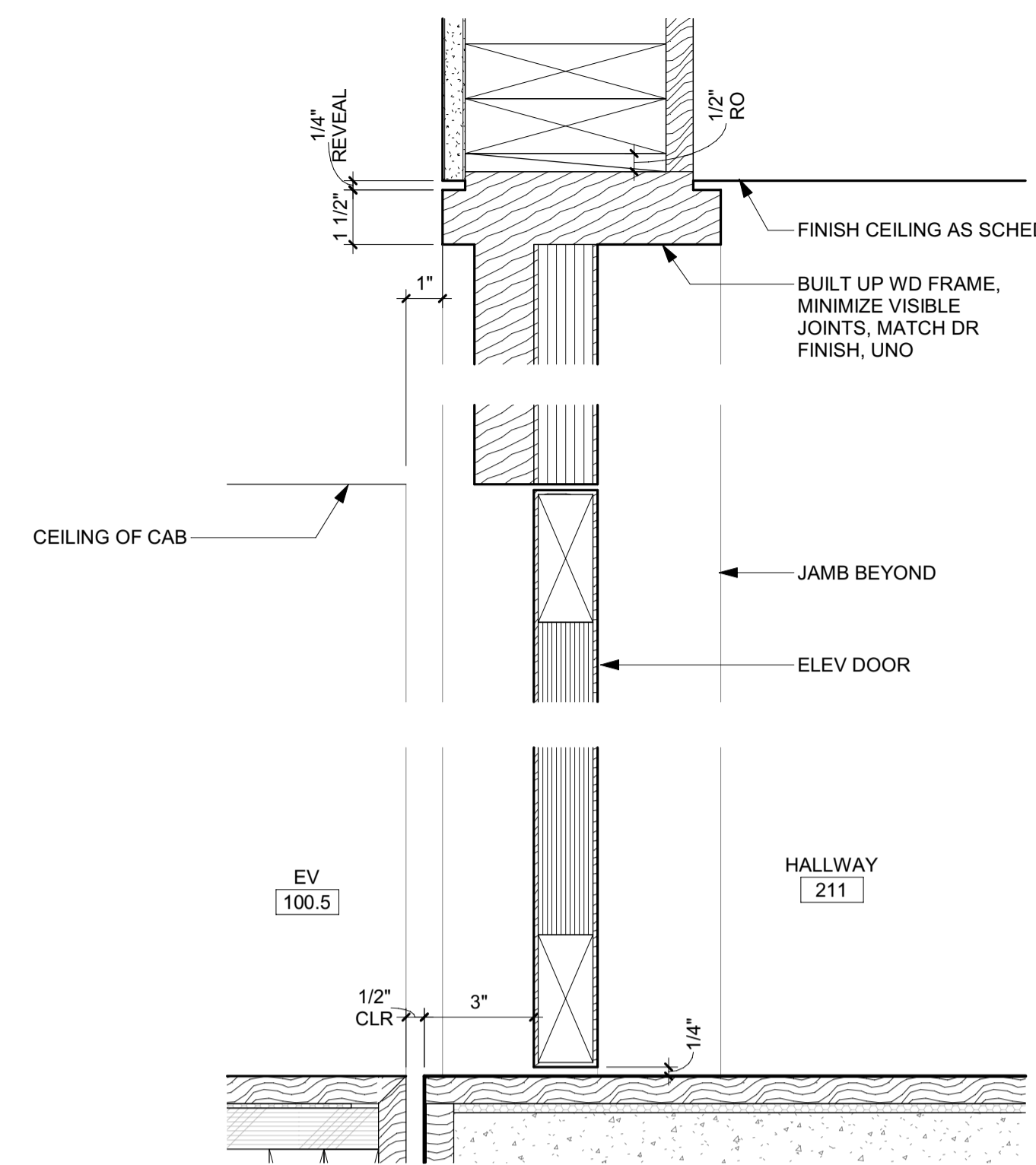
Infinity and Infinity HD Planning Guide

Elevator by:  
**A+ ELEVATORS & LIFTS**  
 888.444.2758  
 apluselifts.com

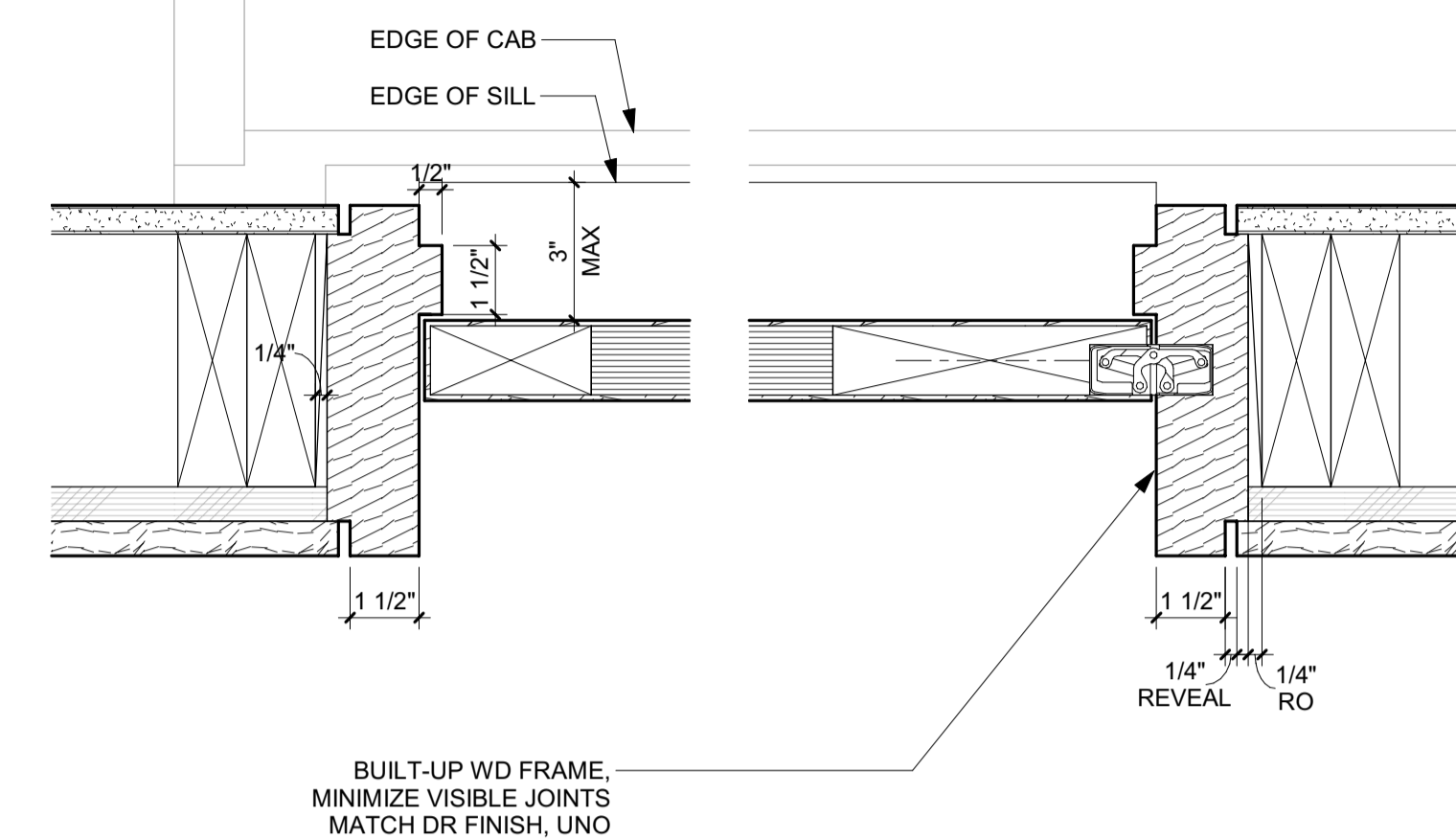
**A+ ELEVATORS & LIFTS**  
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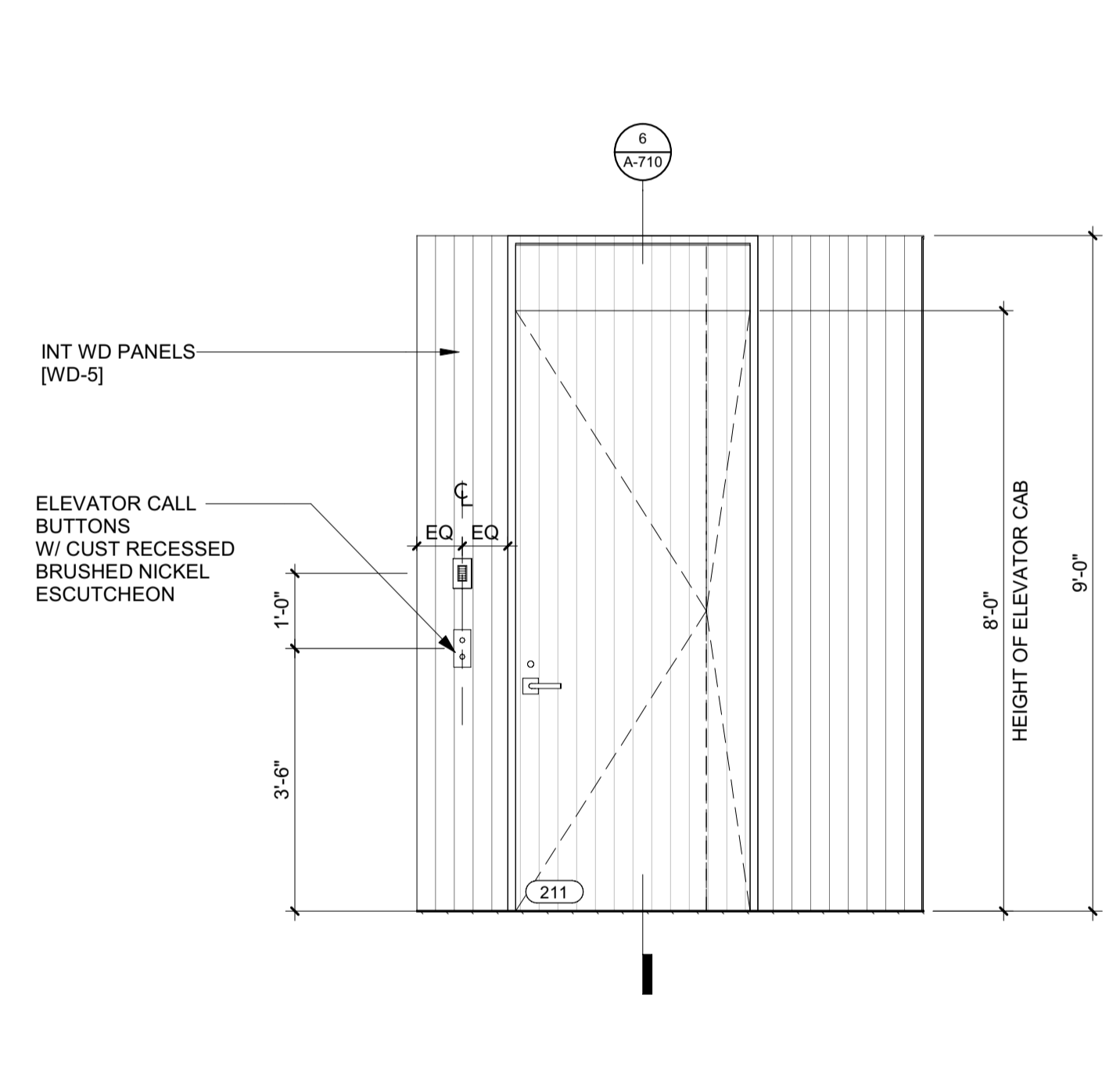
**INLINE LH - 18 SQFT PLATFORM**



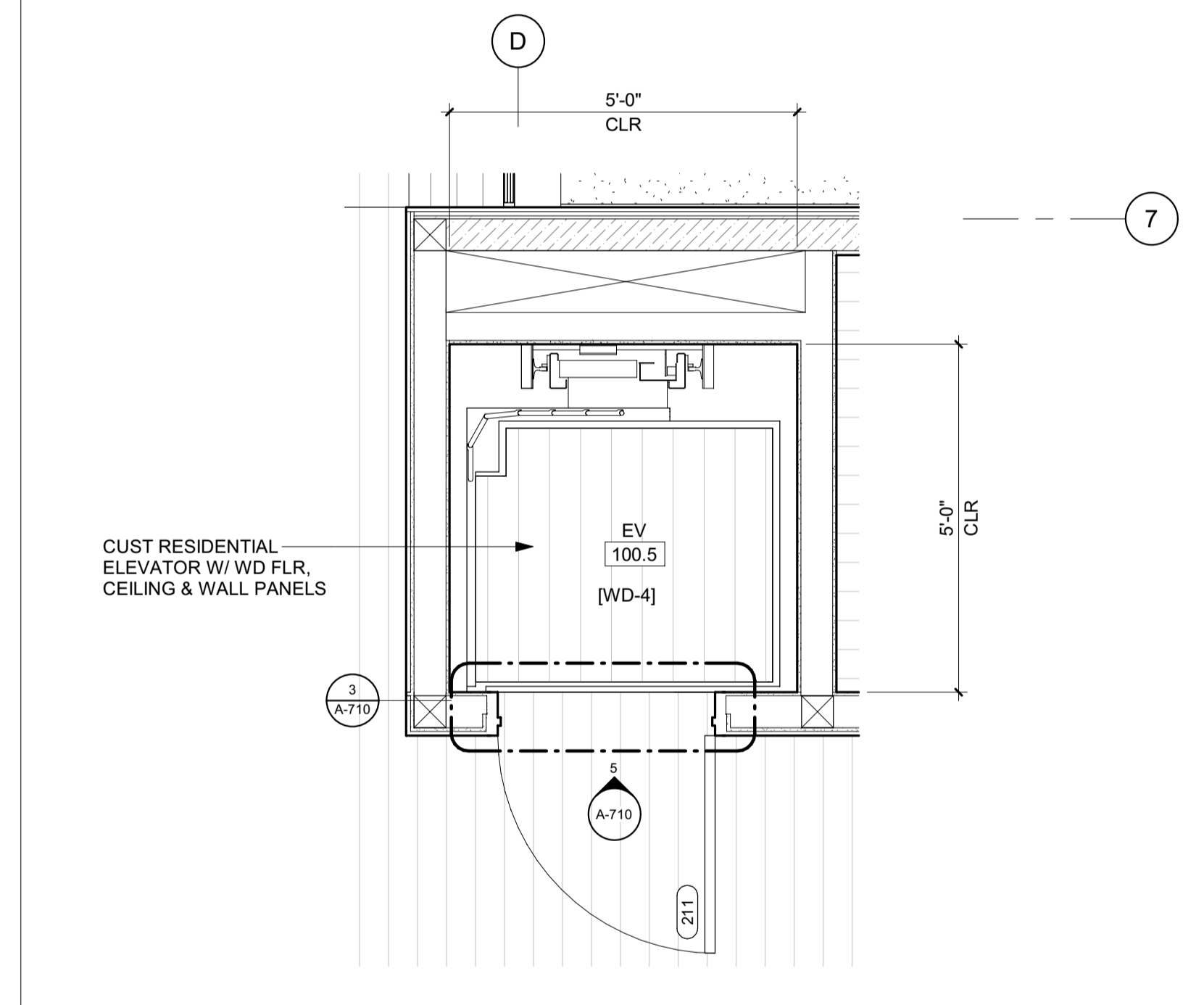
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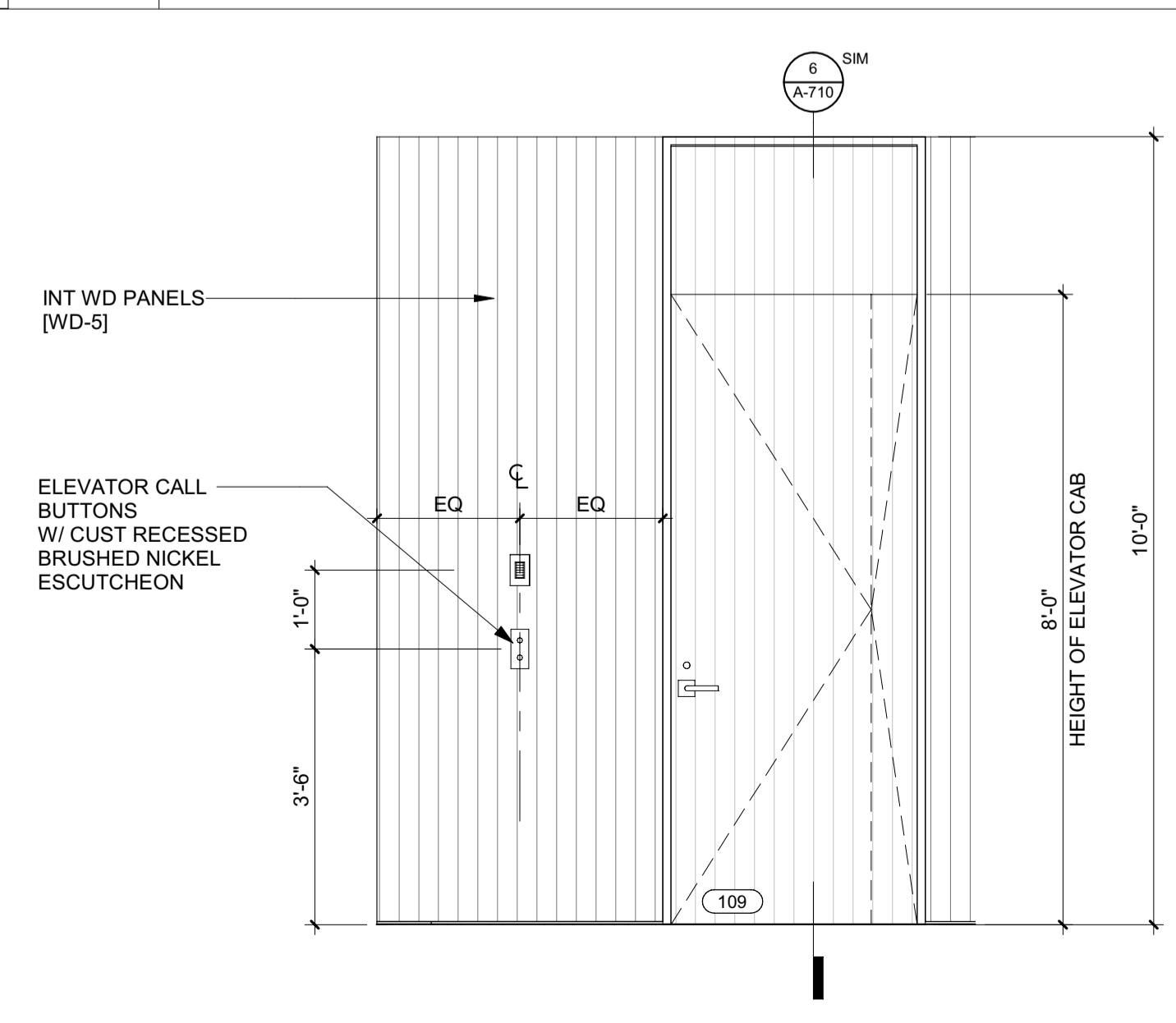
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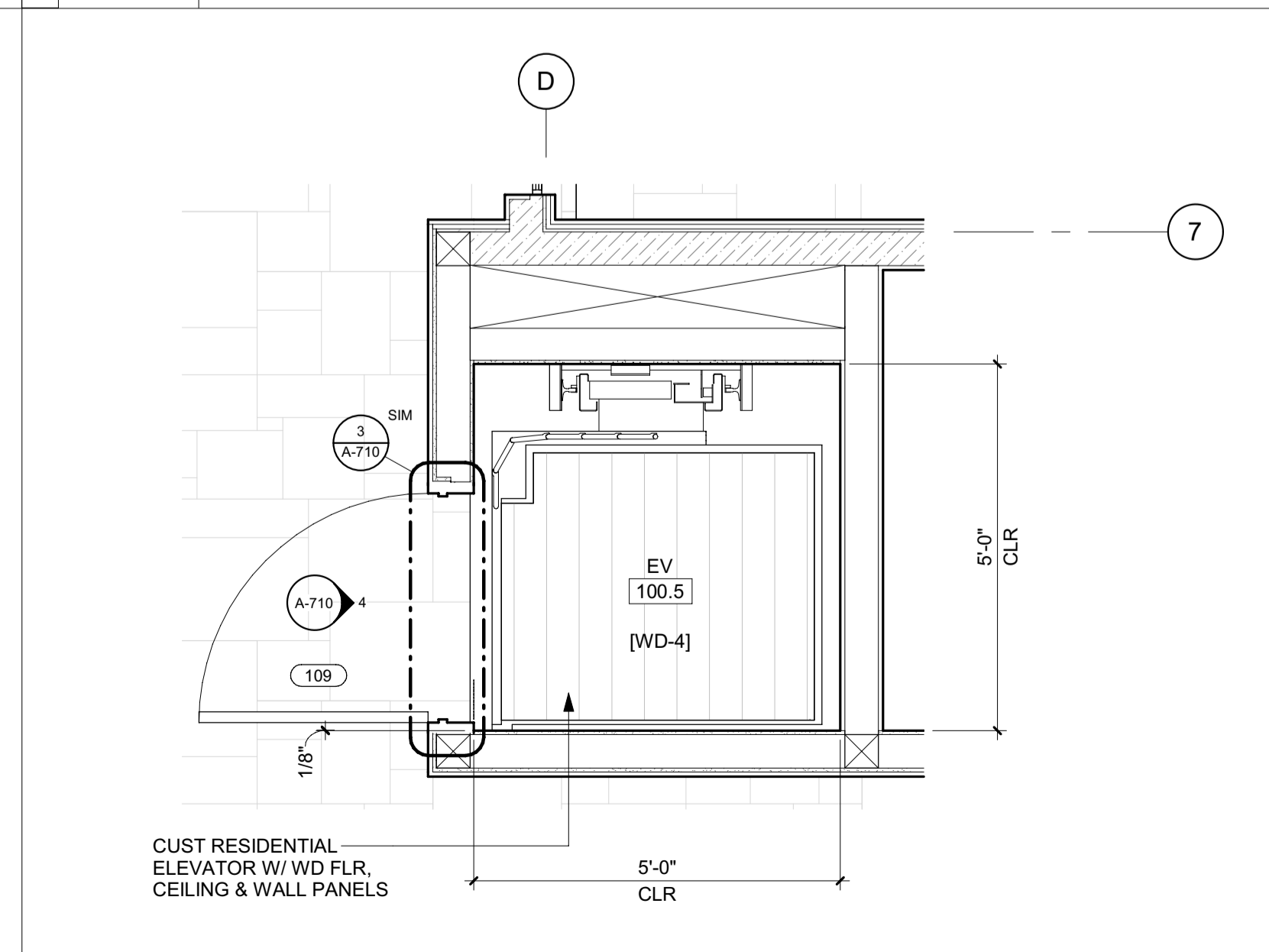
5 1/2" = 1'-0" ELEVATION / LEVEL 02 / ELEVATOR



2 1/2" = 1'-0" PLAN / LEVEL 02 / ELEVATOR



4 1/2" = 1'-0" ELEVATION / LEVEL 01 / ELEVATOR



1 1/2" = 1'-0" PLAN / LEVEL 01 / ELEVATOR

**BADGER RESIDENCE**

OWNER:  
 121 BADGER LANE LLC  
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 KETCHUM, ID 83340

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 RO | ROCKETT DESIGN  
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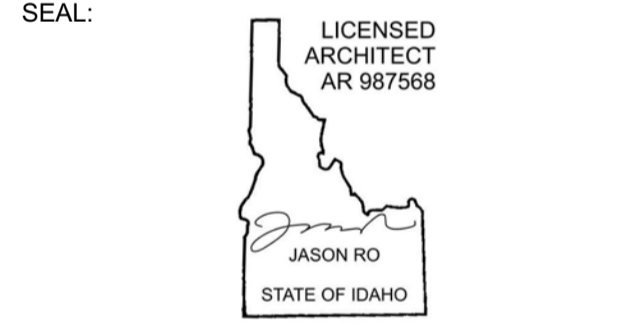
STRUCTURAL ENGINEER:  
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 319 MAIN STREET  
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 TEL: 213.239.9700

MEP ENGINEER:  
 CES ENGINEERING SERVICES, LLC  
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0	02.28.23	BUILDING PERMIT
NO	DATE	ISSUE

PROJECT:  
**BADGER RESIDENCE**  
 121 BADGER LANE  
 KETCHUM, ID 83340

PROJECT NUMBER  
**#2201**

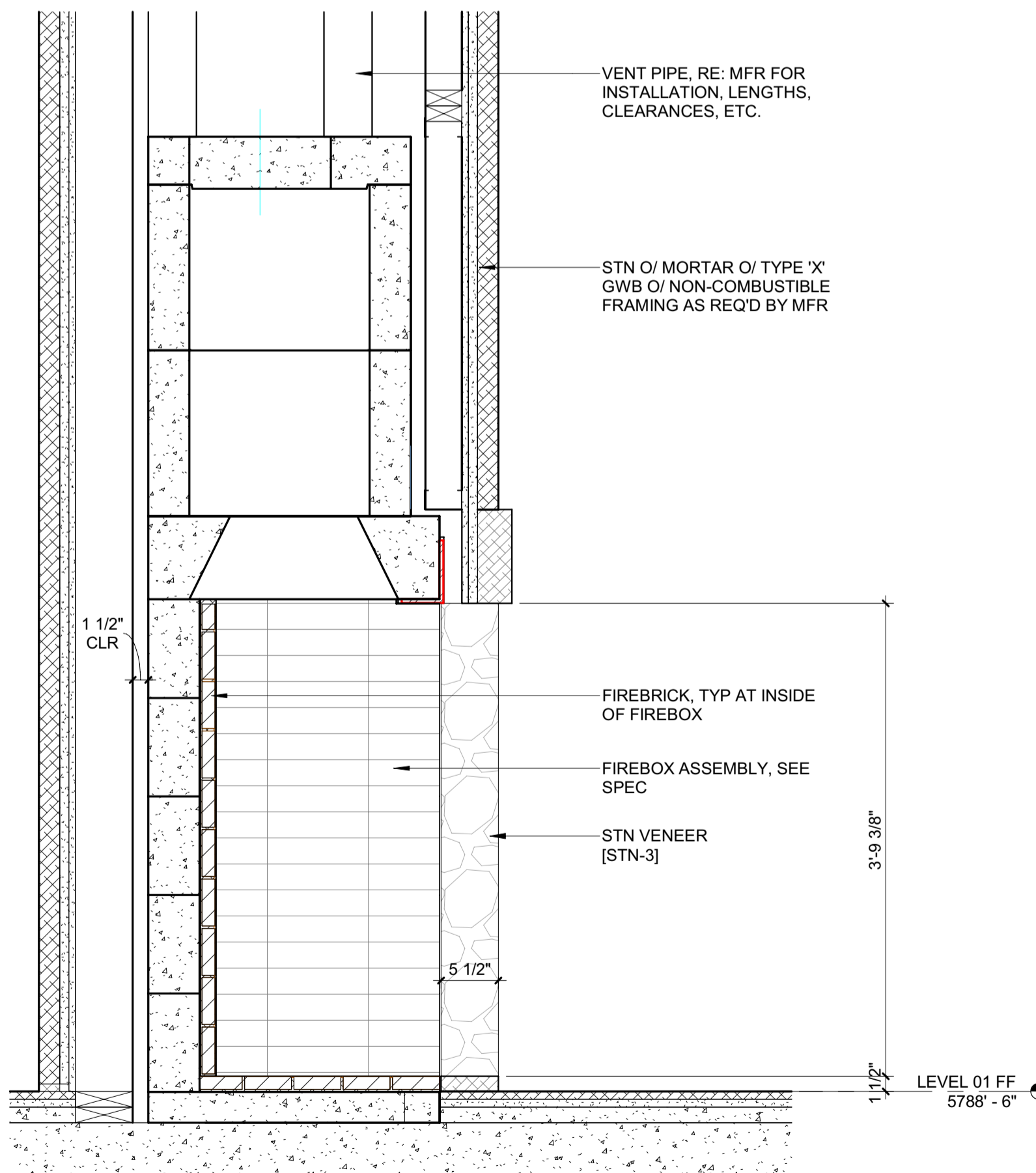
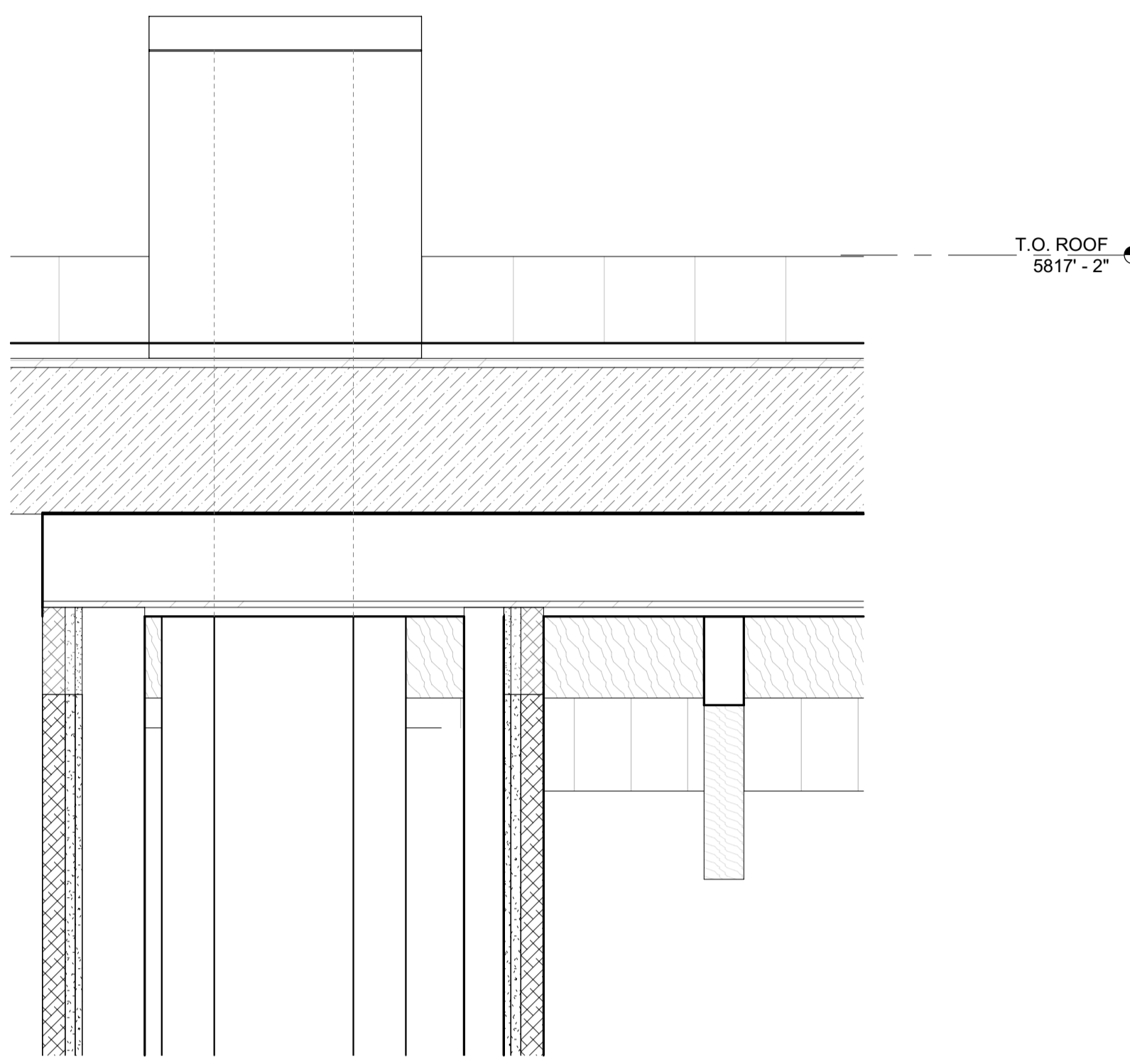
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**ELEVATOR PLANS, ELEVS & DETAILS**

DRAWING NUMBER:  
**A-710**

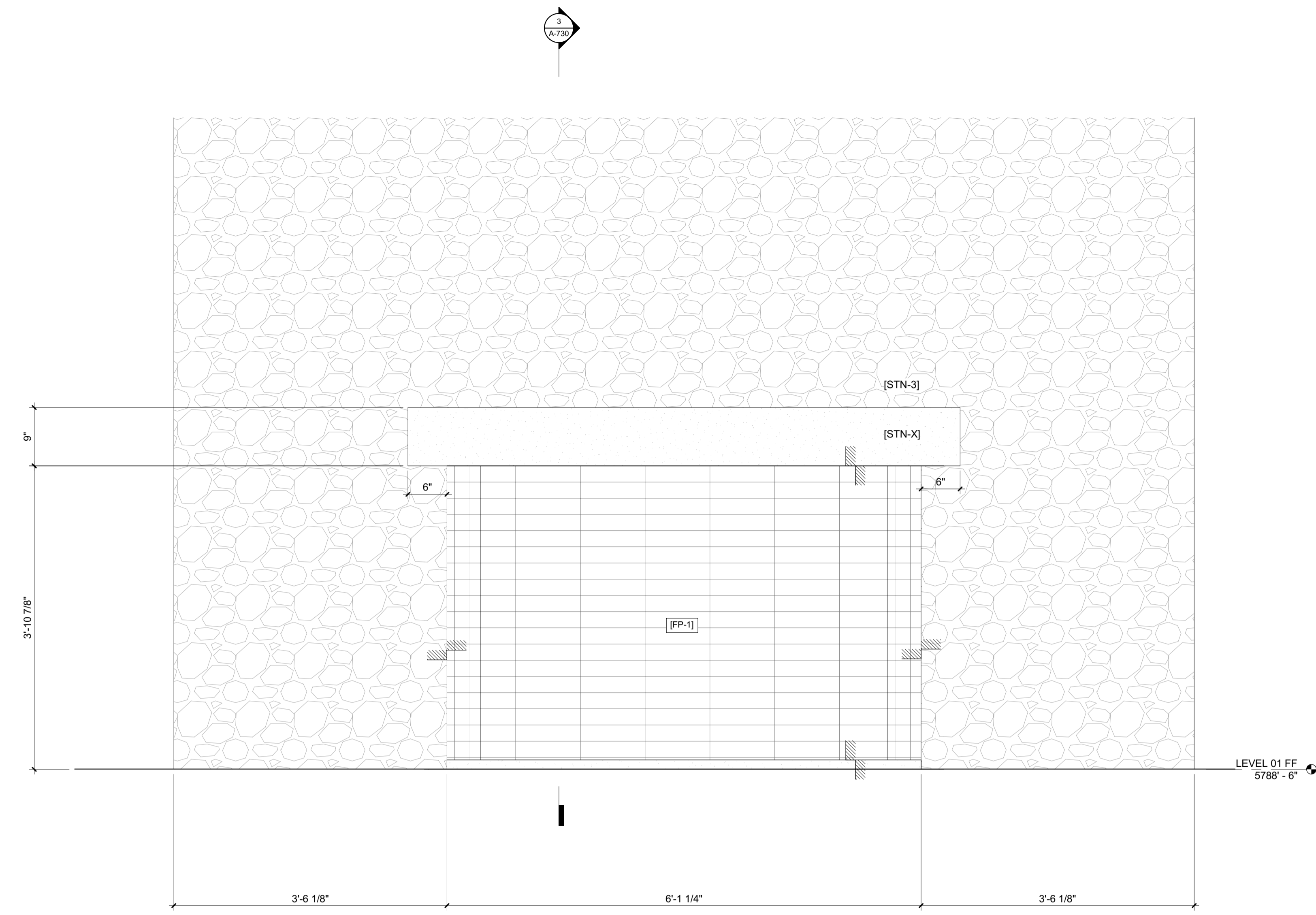




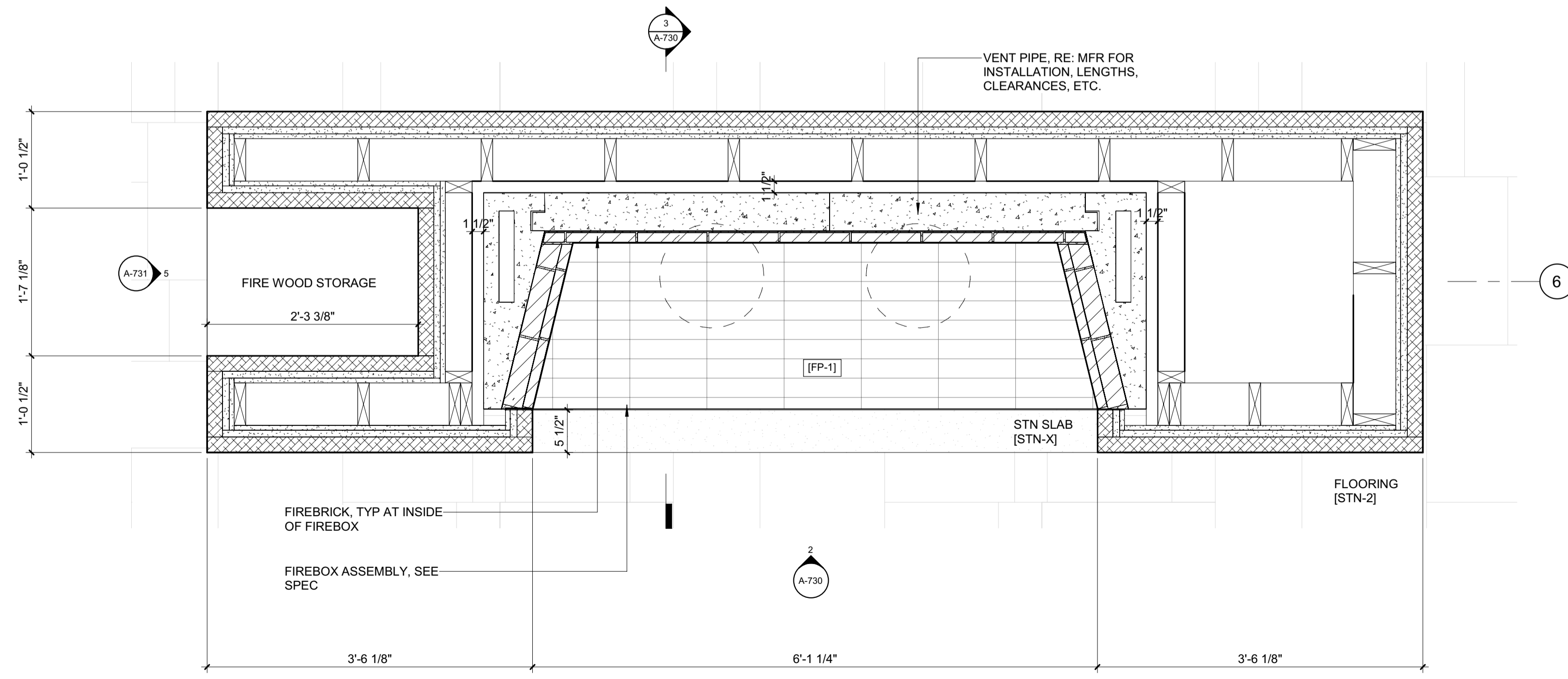
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**BLD2303-00021**  
**9/6/26/23**



3 1" = 1'-0" SECTION / FIREPLACE 1



2 1" = 1'-0" GREAT ROOM FP



1 1" = 1'-0" ENLARGED PLAN / FIREPLACE 1 - GREAT RM

**BADGER RESIDENCE**

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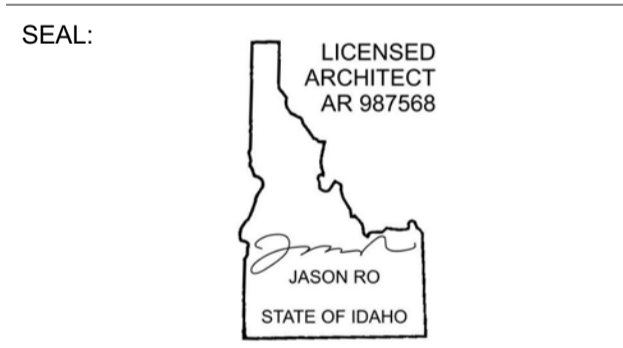
**STRUCTURAL ENGINEER:**  
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 TEL: 213.239.9700

**MEP ENGINEER:**  
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NO	DATE	ISSUE

**PROJECT:**  
**BADGER RESIDENCE**  
 121 BADGER LANE  
 KETCHUM, ID 83340

**PROJECT NUMBER**  
**#2201**

**DRAWING TITLE:**  
**FIREPLACE 1 / PLANS, SECTIONS, DETAILS**

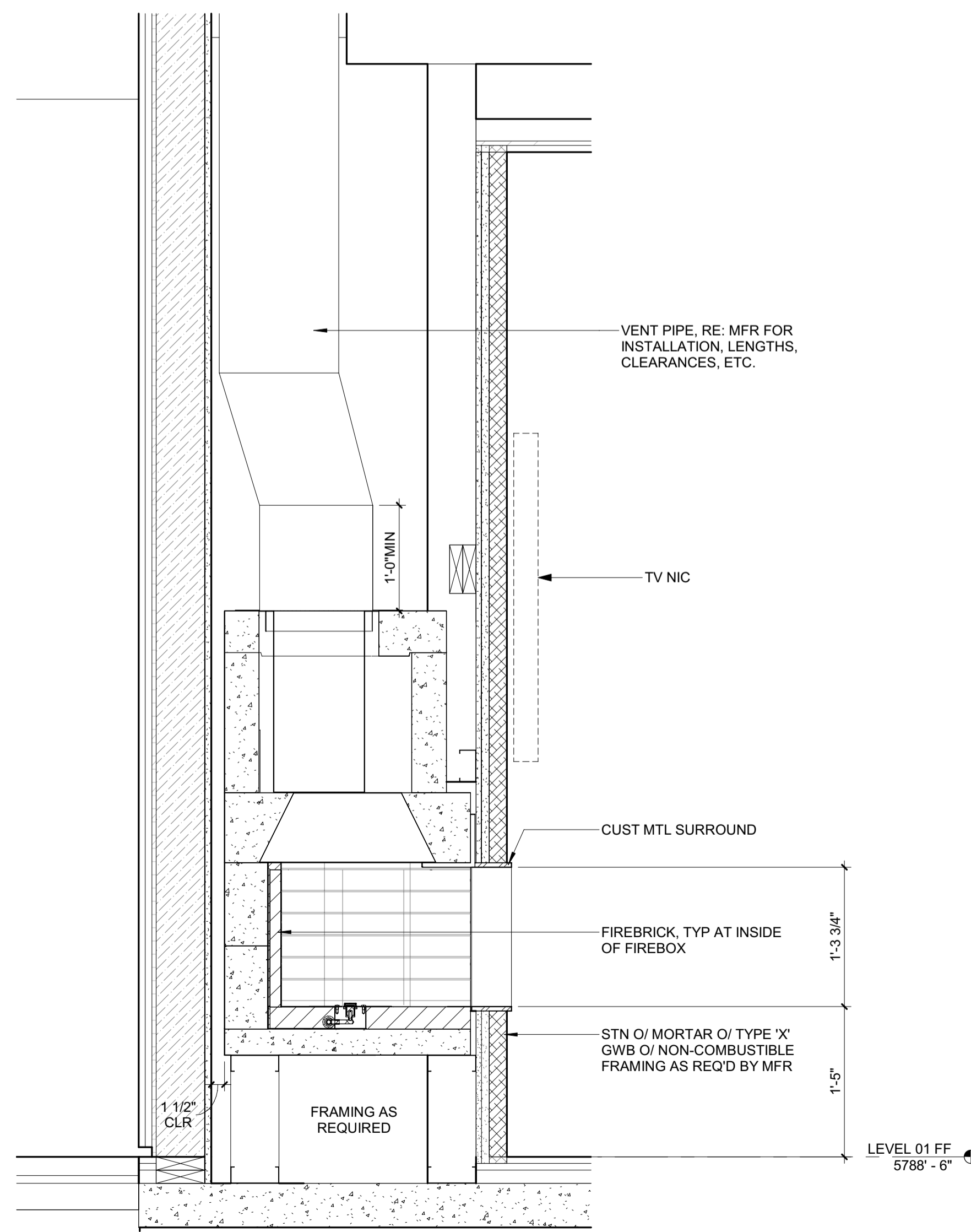
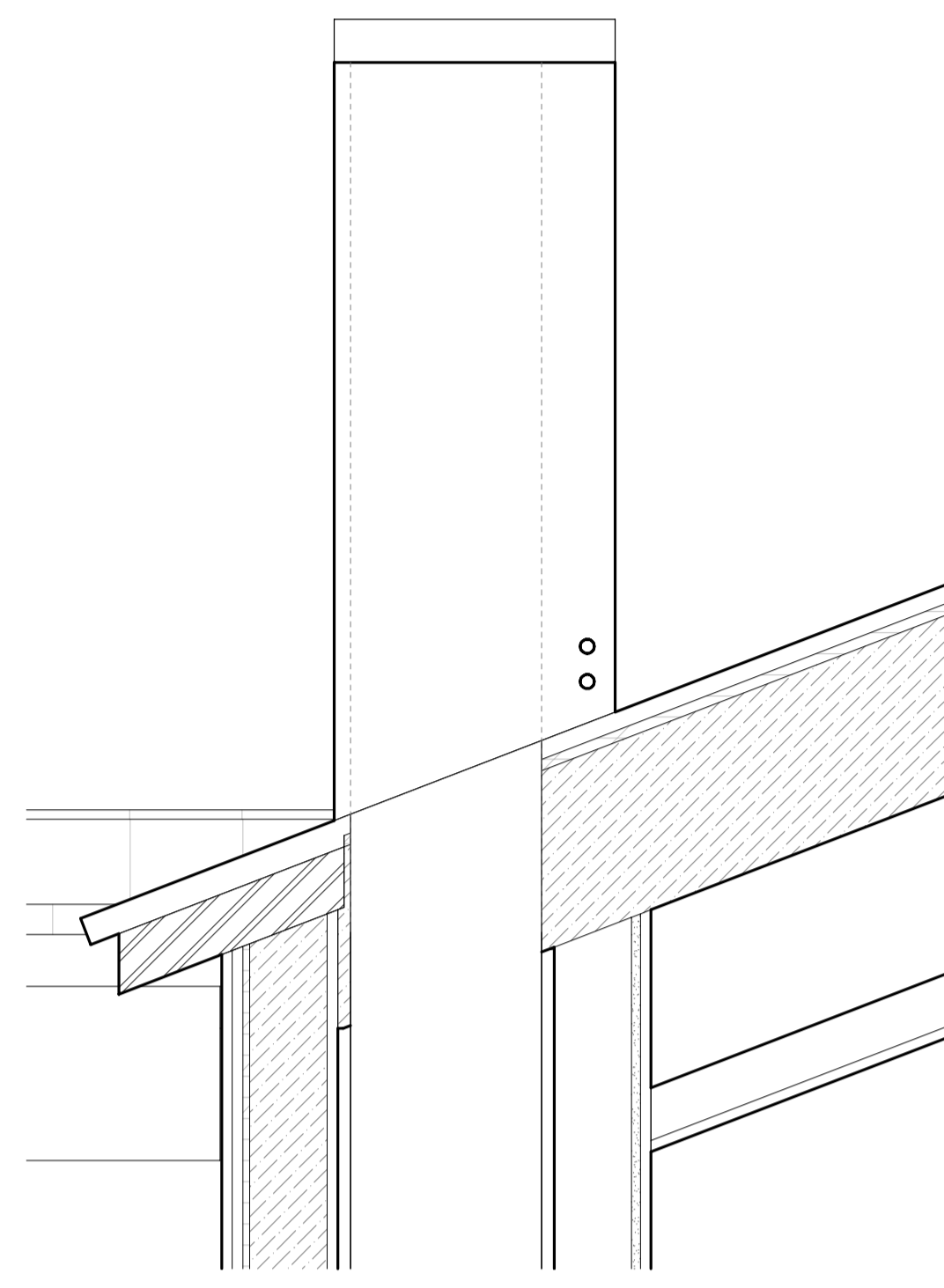
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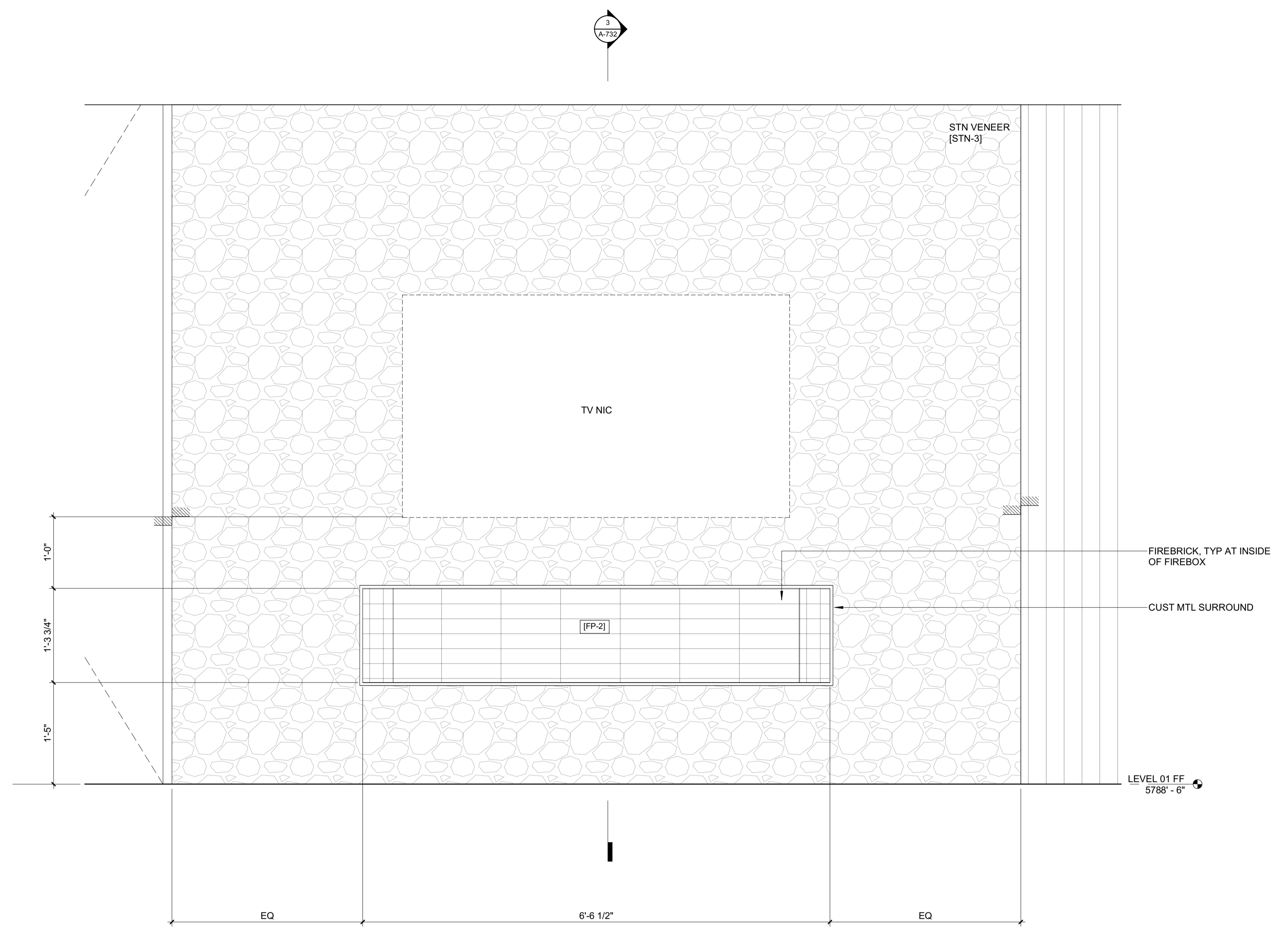
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 9/6/26/23

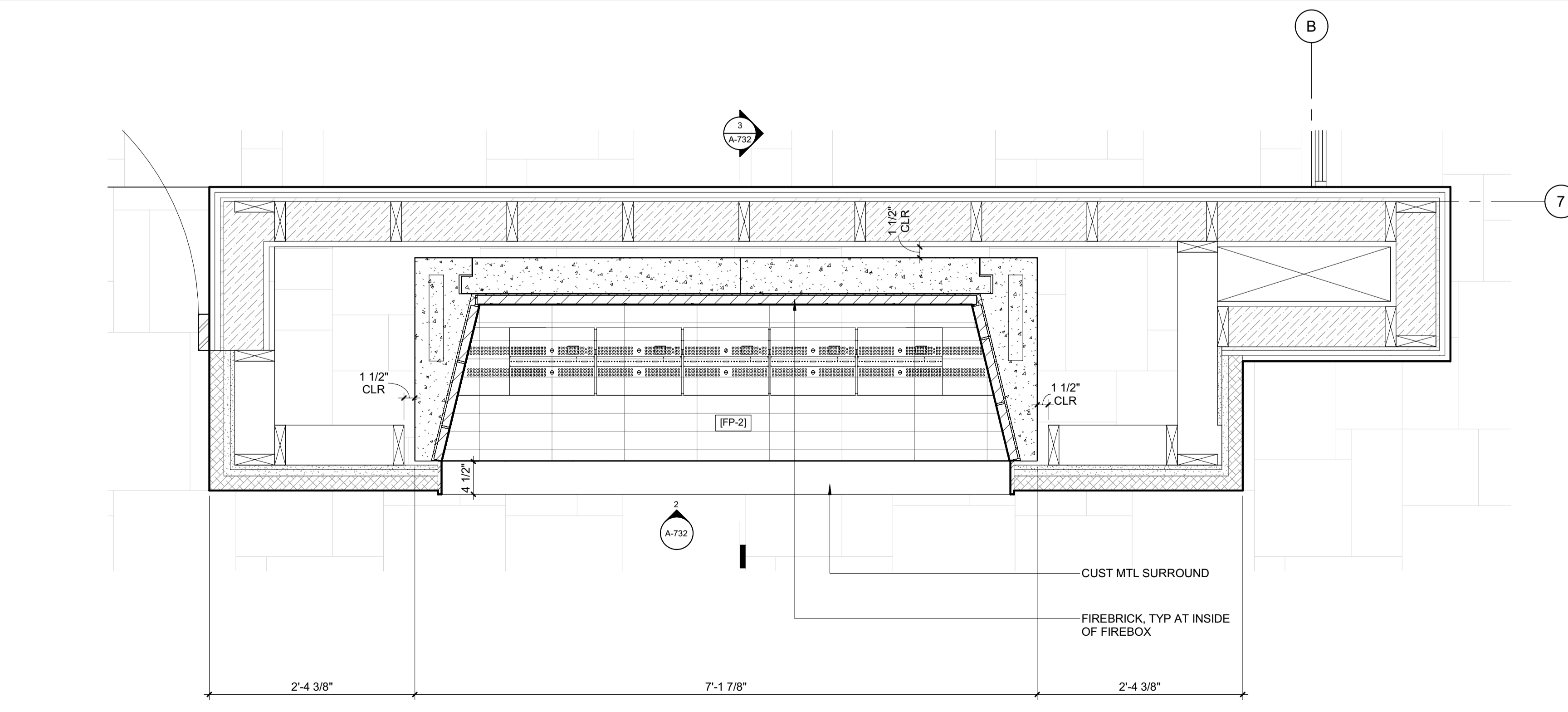
2/26/23



2 1" = 1'-0" FAMILY ROOM



1 1" = 1'-0" ENLARGED PLAN / FIREPLACE 2 - FAMILY ROOM



3 1" = 1'-0" DETAIL / FAMILY RM / FIREPLACE

**BADGER RESIDENCE**

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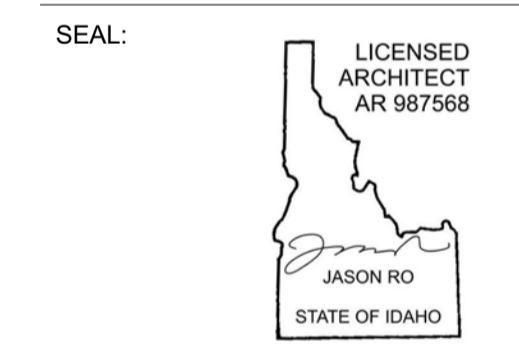
STRUCTURAL ENGINEER:  
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NO	DATE	ISSUE

PROJECT:  
**BADGER RESIDENCE**  
 121 BADGER LANE  
 KETCHUM, ID 83340

PROJECT NUMBER  
**#2201**

DRAWING TITLE:  
**FIREPLACE 2 / PLANS, SECTIONS, DETAILS**

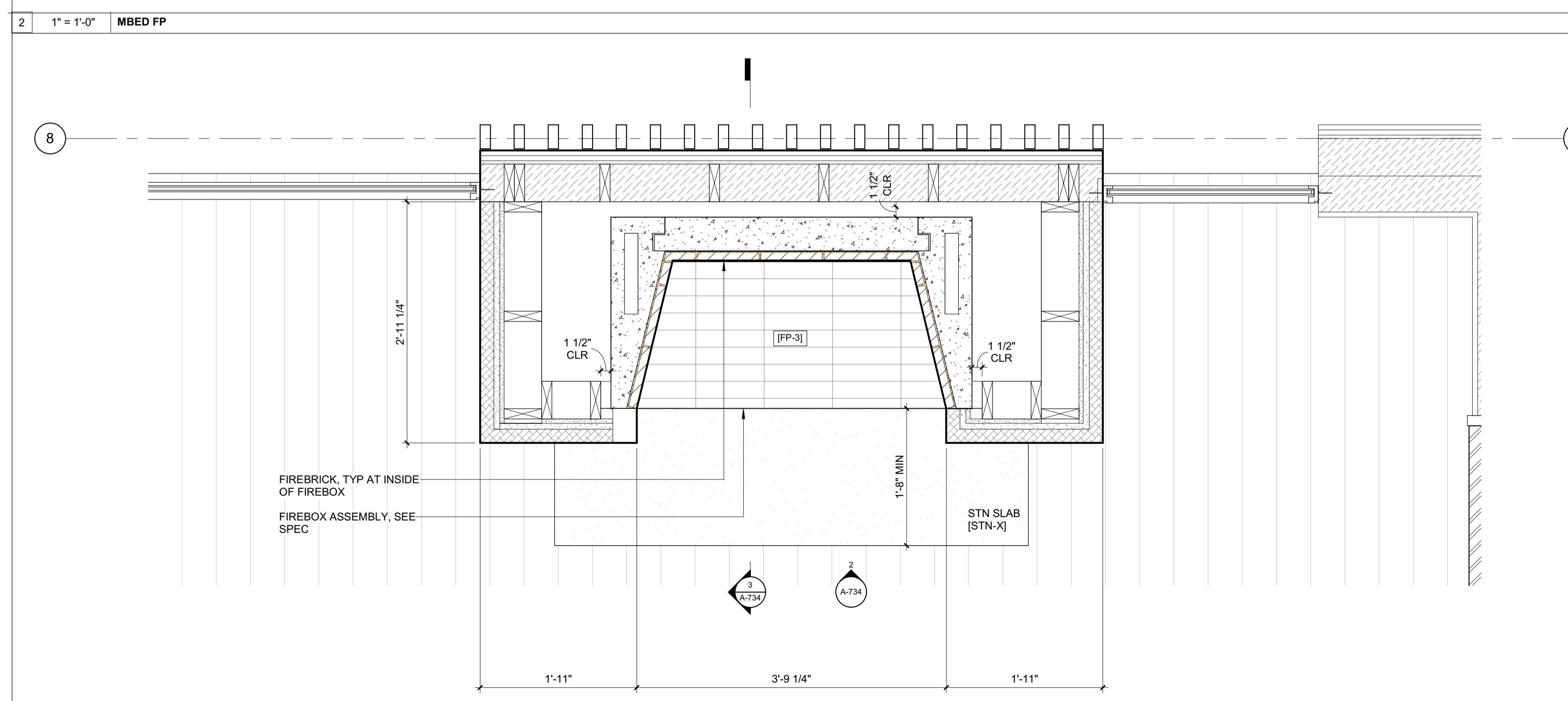
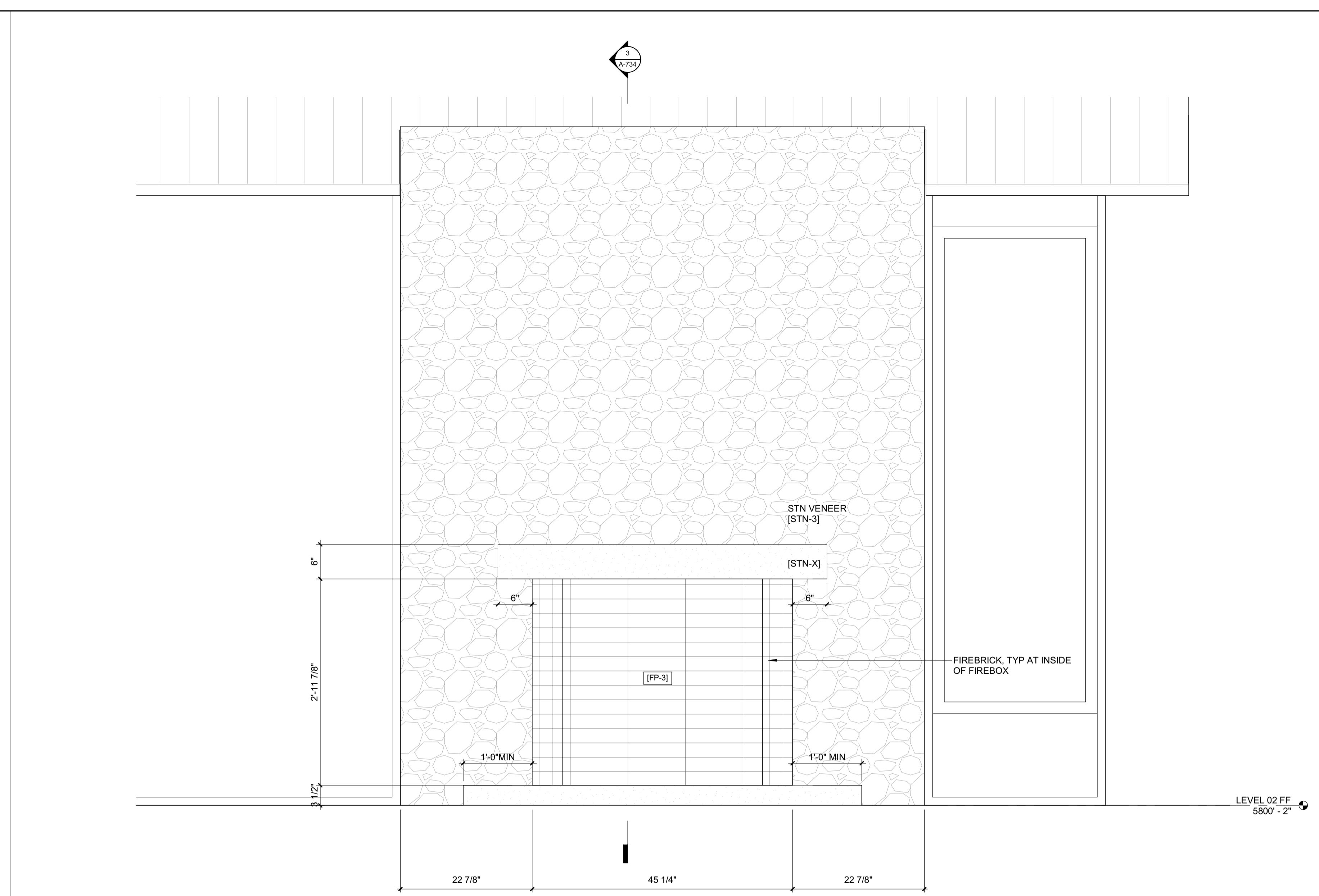
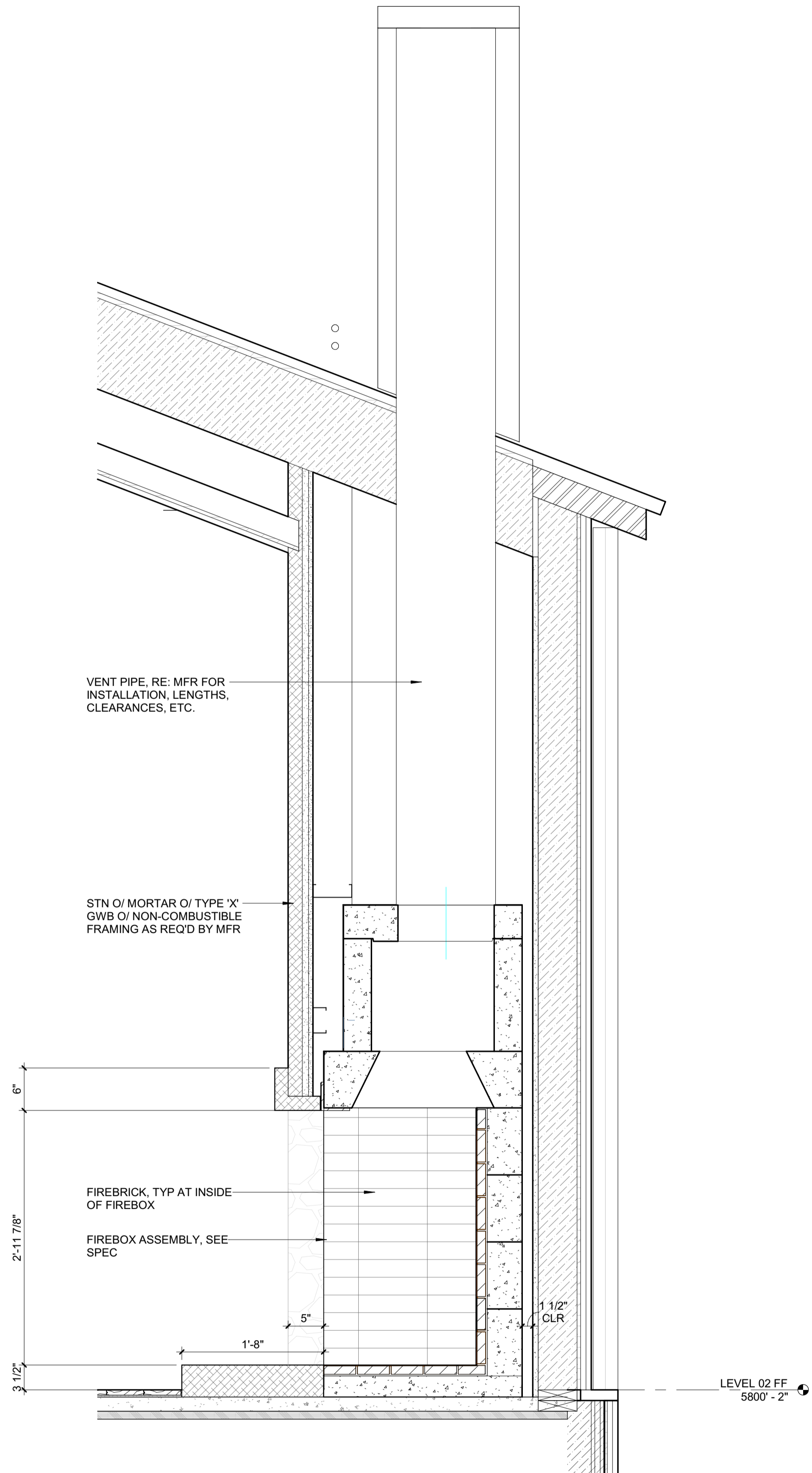
DRAWING NUMBER:  
**A-732**



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**BLD2303-00021**  
**9/6/26/23**

2/20/23



3 1" = 1'-0" DETAIL / M BED / FIREPLACE

1 1" = 1'-0" ENLARGED PLAN / FIREPLACE 3 - MASTER BEDROOM

**BADGER RESIDENCE**

- OWNER:  
**121 BADGER LANE LLC**  
 P.O. BOX 14001-174  
 KETCHUM, ID 83340
- PROJECT ARCHITECT:  
**RO | ROCKETT DESIGN**  
 1031 W. MANCHESTER BLVD, UNIT 6  
 INGLEWOOD, CA 90301  
 TEL: 213.784.0014
- SURVEYOR:  
**GALENA ENGINEERING, INC.**  
 317 NORTH RIVER STREET  
 HAILEY, ID 83333  
 TEL: 208.788.1705
- ENVIRONMENTAL CONSULTANT:  
**SAWTOOTH ENVIRONMENTAL CONSULTING**  
 P.O. BOX 2707 / 540 NORTH FIRST AVE  
 KETCHUM, ID 83340  
 TEL: 208.727.9748
- HYDROLOGY / WATER ENGINEERING:  
**BROCKWAY ENGINEERING, INC.**  
 2018 WASHINGTON ST NORTH, SUITE 4  
 TWIN FALLS, ID 83301  
 TEL: 208.736-8543
- GEOTECHNICAL ENGINEER:  
**BUTLER ASSOCIATES, INC.**  
 P.O. BOX 1034  
 KETCHUM, ID 83340  
 TEL: 208.720.6432
- LANDSCAPE ARCHITECT:  
**BYLA**  
 323 LEWIS STREET, SUITE N  
 KETCHUM, ID 83340  
 TEL: 208.726.5907
- CIVIL ENGINEER:  
**BENCHMARK ASSOCIATES, P.A.**  
 P.O. BOX 733 - 100 BELL DRIVE  
 KETCHUM, IDAHO 83340  
 TEL: 208.726.9512
- STRUCTURAL ENGINEER:  
**LFA**  
 319 MAIN STREET  
 EL SEGUNDO, CA 90245  
 TEL: 213.239.9700
- MEP ENGINEER:  
**GES ENGINEERING SERVICES, LLC**  
 1001 W OAK BUILDING B SUITE 107  
 BOZEMAN, MT 59715  
 TEL: 406.272.0352
- LIGHTING DESIGN CONSULTANT:  
**KGM ARCHITECTURAL LIGHTING**  
 270 CORAL CIRCLE  
 EL SEGUNDO, CA 90245  
 TEL: 310.552.2191

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SEAL:  
  
 JASON RO  
 STATE OF IDAHO

NO	DATE	ISSUE

PROJECT:  
**BADGER RESIDENCE**  
 121 BADGER LANE  
 KETCHUM, ID 83340

PROJECT NUMBER  
**#2201**

DRAWING TITLE:  
**FIREPLACE 3 / PLANS, SECTIONS, DETAILS**

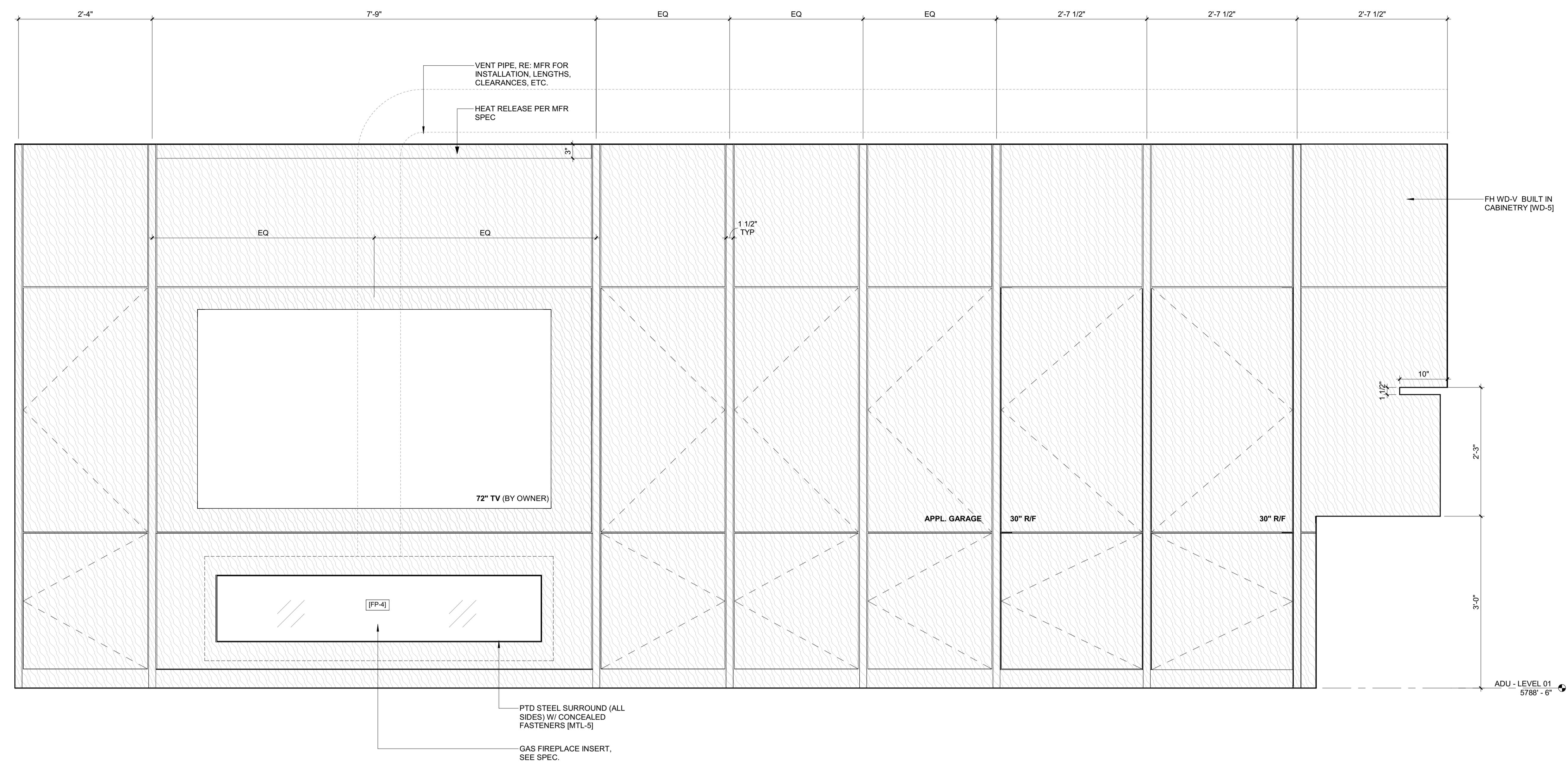
DRAWING NUMBER:  
**A-734**

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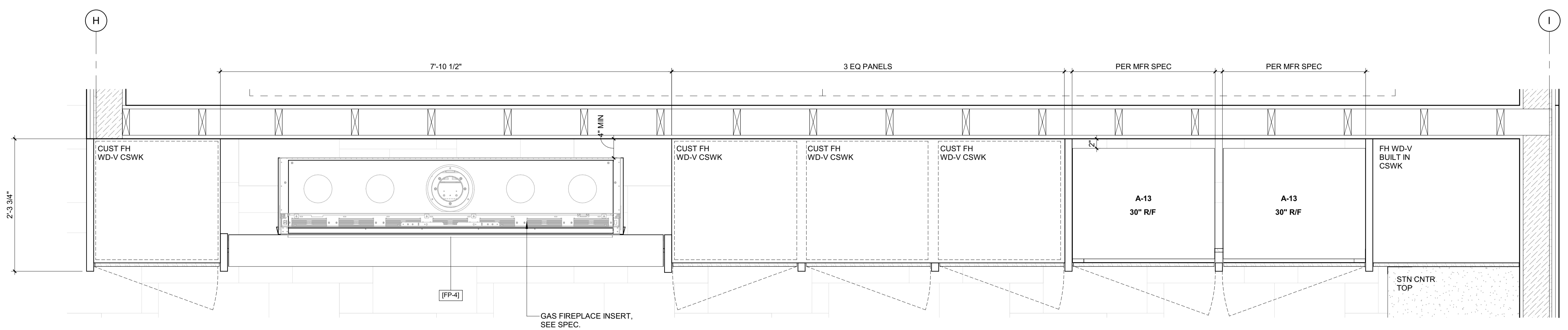


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BLD2303-00021  
06/26/23



2 1" = 1'-0" ELEVATION / ADU / FIREPLACE 4 - ADU



1 1" = 1'-0" ENLARGED PLAN / FIREPLACE 4 - ADU

### BADGER RESIDENCE

OWNER:  
121 BADGER LANE LLC  
P.O. BOX 14001-174  
KETCHUM, ID 83340

PROJECT ARCHITECT:  
RO | ROCKETT DESIGN  
1031 W. MANCHESTER BLVD, UNIT 6  
INGLEWOOD, CA 90301  
TEL: 213.784.0014

SURVEYOR:  
GALENA ENGINEERING, INC.  
317 NORTH RIVER STREET  
HAILEY, ID 83333  
TEL: 208.788.1705

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P.O. BOX 2707 / 540 NORTH FIRST AVE  
KETCHUM, ID 83340  
TEL: 208.727.9748

HYDROLOGY / WATER ENGINEERING:  
BROCKWAY ENGINEERING, INC.  
2016 WASHINGTON ST NORTH, SUITE 4  
TWIN FALLS, ID 83301  
TEL: 208.736-8543

GEOTECHNICAL ENGINEER:  
BUTLER ASSOCIATES, INC.  
P.O. BOX 1034  
KETCHUM, ID 83340  
TEL: 208.720.6432

LANDSCAPE ARCHITECT:  
BYLA  
323 LEWIS STREET, SUITE N  
KETCHUM, ID 83340  
TEL: 208.726.5907

CIVIL ENGINEER:  
BENCHMARK ASSOCIATES, P.A.  
P.O. BOX 733 - 100 BELL DRIVE  
KETCHUM, IDAHO 83340  
TEL: 208.726.9512

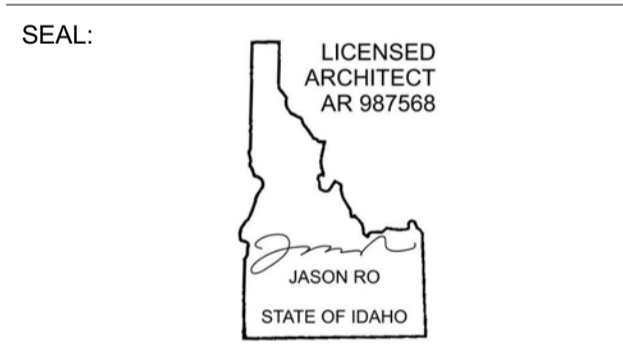
STRUCTURAL ENGINEER:  
LFA  
319 MAIN STREET  
EL SEGUNDO, CA 90245  
TEL: 213.239.9700

MEP ENGINEER:  
CES ENGINEERING SERVICES, LLC  
1001 W OAK BUILDING B SUITE 107  
BOZEMAN, MT 59715  
TEL: 406.272.0352

LIGHTING DESIGN CONSULTANT:  
KGM ARCHITECTURAL LIGHTING  
270 CORAL CIRCLE  
EL SEGUNDO, CA 90245  
TEL: 310.552.2191

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0	02.28.23	BUILDING PERMIT
NO	DATE	ISSUE

PROJECT:  
**BADGER RESIDENCE**  
121 BADGER LANE  
KETCHUM, ID 83340

PROJECT NUMBER  
**#2201**

DRAWING TITLE:  
**FIREPLACE 4 / PLANS, SECTIONS, DETAILS**

DRAWING NUMBER:  
**A-736**



**Approved**  
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**BLD2303-00021**  
**06/26/23**

2/26/23

**BADGER RESIDENCE**

OWNER:

**121 BADGER LANE LLC**  
 P.O. BOX 14001-174  
 KETCHUM, ID 83340

PROJECT ARCHITECT:

**RO | ROCKETT DESIGN**  
 1031 W. MANCHESTER BLVD, UNIT 6  
 INGLEWOOD, CA 90301  
 TEL: 213.784.0014

SURVEYOR:

**GALENA ENGINEERING, INC.**  
 317 NORTH RIVER STREET  
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 TEL: 208.788.1705

ENVIRONMENTAL CONSULTANT:

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 P.O. BOX 2707 / 540 NORTH FIRST AVE  
 KETCHUM, ID 83340  
 TEL: 208.727.9748

HYDROLOGY / WATER ENGINEERING:

**BROCKWAY ENGINEERING, INC.**  
 2018 WASHINGTON ST NORTH, SUITE 4  
 TWIN FALLS, ID 83301  
 TEL: 208.736-8543

GEOTECHNICAL ENGINEER:

**BUTLER ASSOCIATES, INC.**  
 P.O. BOX 1034  
 KETCHUM, ID 83340  
 TEL: 208.720.6432

LANDSCAPE ARCHITECT:

**BYLA**  
 323 LEWIS STREET, SUITE N  
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CIVIL ENGINEER:

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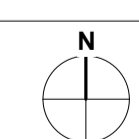
SEAL:



0	02.28.23	BUILDING PERMIT
NO	DATE	ISSUE

PROJECT:  
**BADGER RESIDENCE**  
 121 BADGER LANE  
 KETCHUM, ID 83340

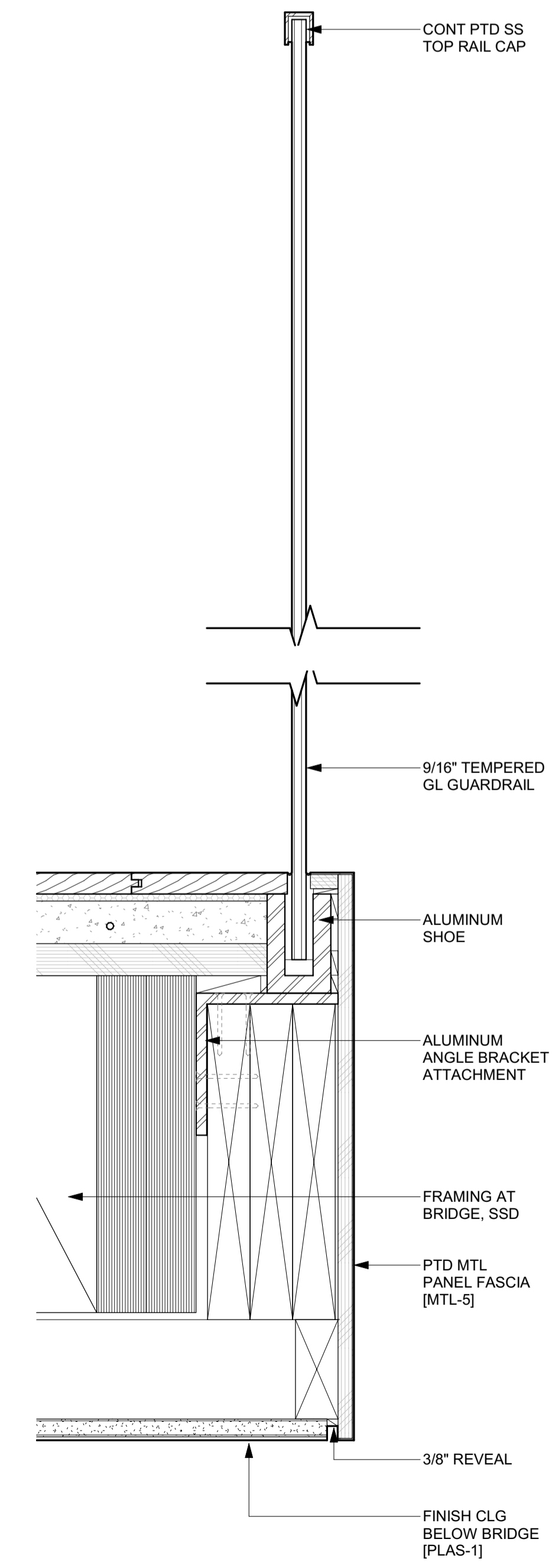
PROJECT NUMBER  
**#2201**



DRAWING TITLE:  
**DETAILS / INTERIOR**

DRAWING NUMBER:  
**A-910**

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1 3" = 1'-0" **DETAIL / TYP INT GUARDRAIL**



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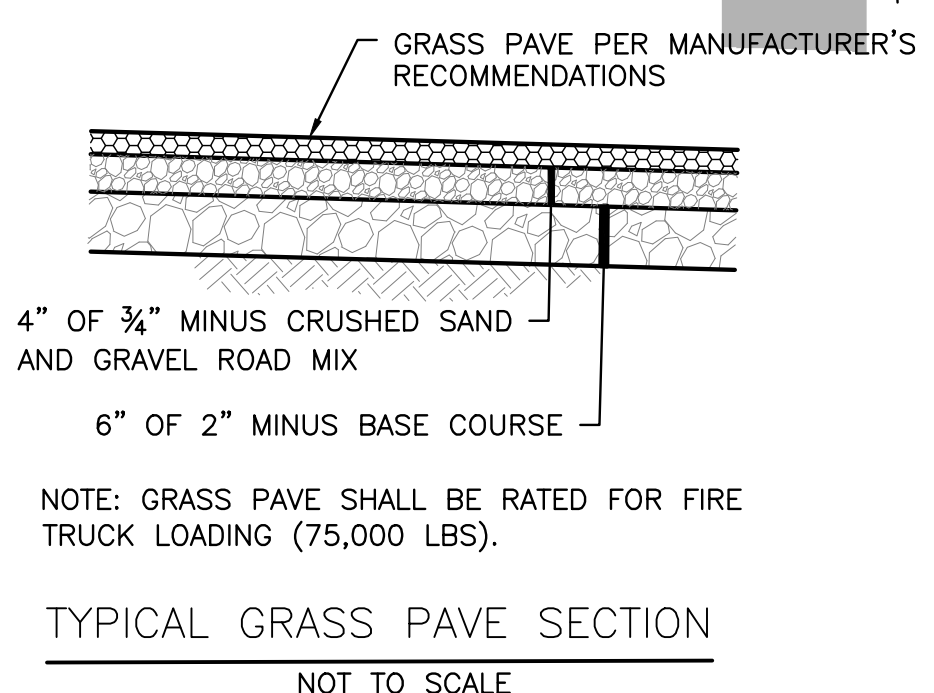
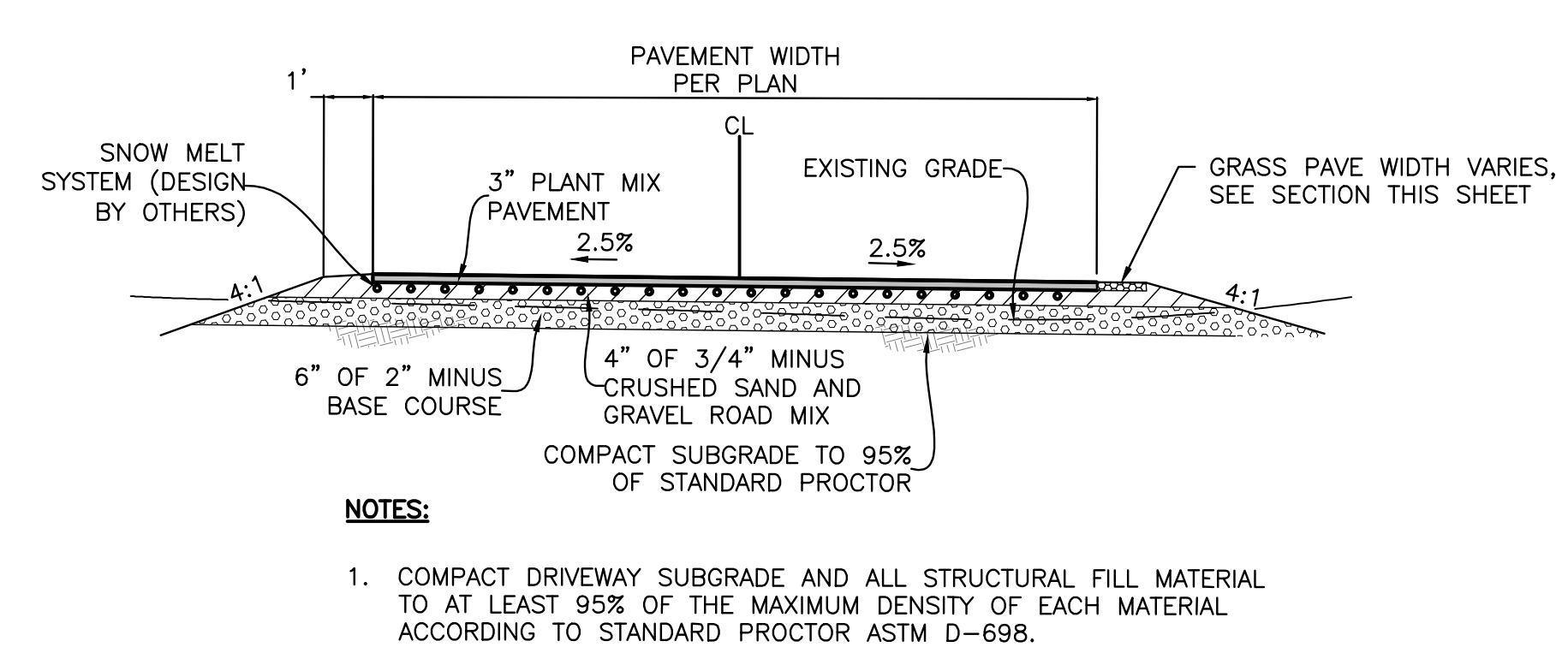
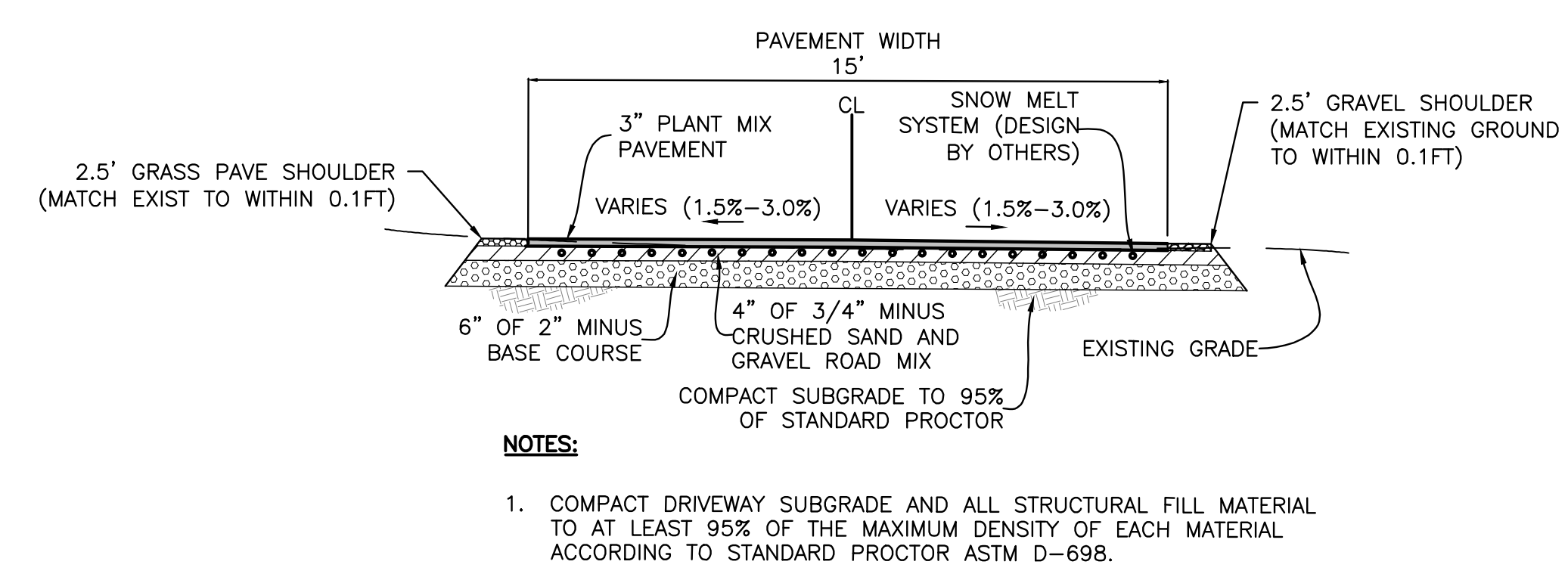
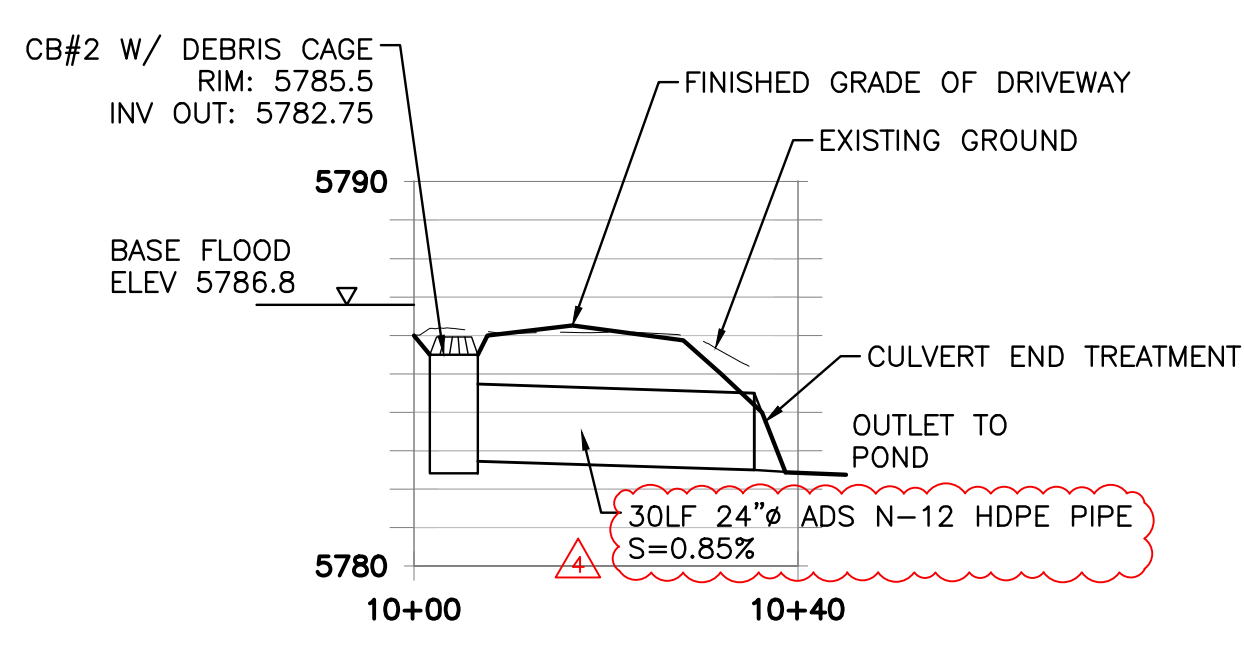
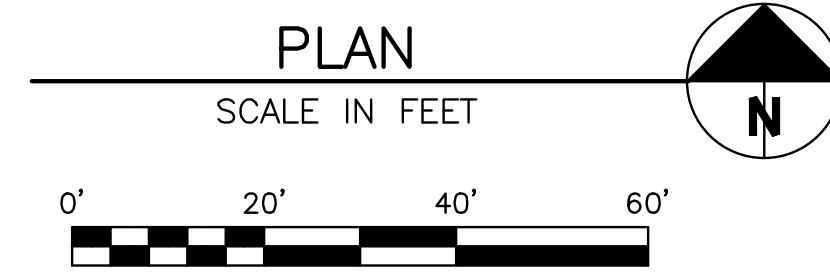
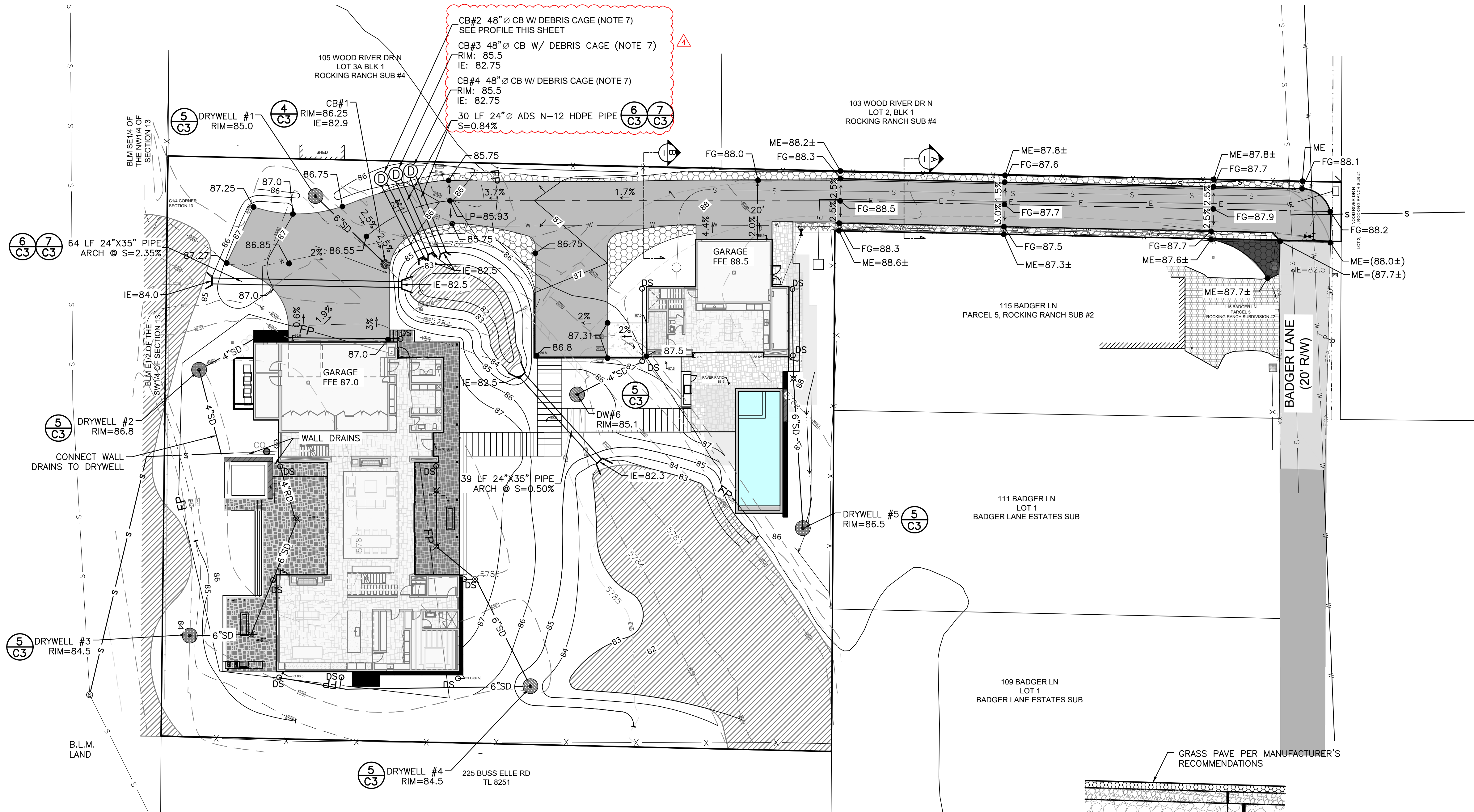
EXISTING UTILITIES ENCOUNTERED DURING CONSTRUCTION.

1585) AT LEAST ACTIVITIES. THE MAGE TO

- CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL DURING THE CONSTRUCTION OF ALL ITEMS HEREON. DUST CONTROL SHALL BE CONTINUOUS DURING CONSTRUCTION, 24 HOURS PER DAY 7 DAYS PER WEEK.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM THE HOUSE.
- STORM DRAINS SHALL HAVE A MINIMUM SLOPE OF 2%. ROOF DRAINS SHALL HAVE MINIMUM SLOPE OF 1%.
- CULVERTS SHALL BE FITTED WITH BEVELED END TREATMENTS.
- 48" DIAMETER CATCH BASINS SHALL BE FITTED WITH ROUND DEBRIS CAGES (CONTECH STORMWRX OR EQUAL).
- ALL WORK WITHIN THE CITY RIGHT OF WAY SHALL CONFORM TO CITY OF KETCHUM STANDARDS.

**LEGEND**

PROPERTY LINE	---
ADJOINING PROPERTY LINE	---
CENTERLINE	---
FENCE	-X-
FLOODPLAIN (FEMA 2010)	FP
EASEMENT	---
SEWER	S
SEWER MANHOLE (MH)	⊙
WATER	W
WATER GATE VALVE	⊕
WATER METER (WM)	⊙
GAS	G
POWER	E
OVERHEAD POWER	OH-P
TELEPHONE	T
CABLE TV LINE	TV
ELEVATION CONTOUR	-5775-
PROPOSED ELEV CONTOUR	59
SAWCUT LINE	---
FLOW LINE	---
ROOF DRAIN	RD
STORM DRAIN PIPE	SD
DOWN SPOUT	DS
CATCH BASIN	⊙
AREA DRAIN	⊙
DRYWELL	⊙
LANDSCAPE DRYWELL	⊙
ASPHALT PAVEMENT	---
ASPHALT WITH SNOWMELT	---
GRAVEL	---
GRASS PAVE	---
FG	---
EG	---



ISSUED FOR CONSTRUCTION

PROFESSIONAL ENGINEER  
 STATE OF IDAHO  
 P. JOHANNESSEN  
 17661  
 4/25/2024

NO.	DESCRIPTION	DATE	BY
1	CITY COMMENTS	5/1/2023	PLJ
2	APPEAL COMMENTS	2/1/2024	PLJ
3	APPEAL COMMENTS	3/13/24	PLJ
4	APPEAL COMMENTS	4/25/24	PLJ

**GALENA-BENCHMARK ENGINEERING**  
 SURVEYING & LAND SURVEYORS  
 100 Bell Drive  
 P.O. Box 733  
 Ketchum, Idaho 83340  
 (208) 726-9512  
 www.benchmark-associates.com

GALENA ENGINEERING PLUMBING  
 ABOVE SEA LEVEL  
 BENCHMARK

**GRADING & DRAINAGE PLAN**

ROCKING RANCH #2 PARCEL 4  
 T4N, R17E, SEC 13, B.M., BLAINE COUNTY, IDAHO

PREPARED FOR: PRESIDIO VISTA PROPERTIES

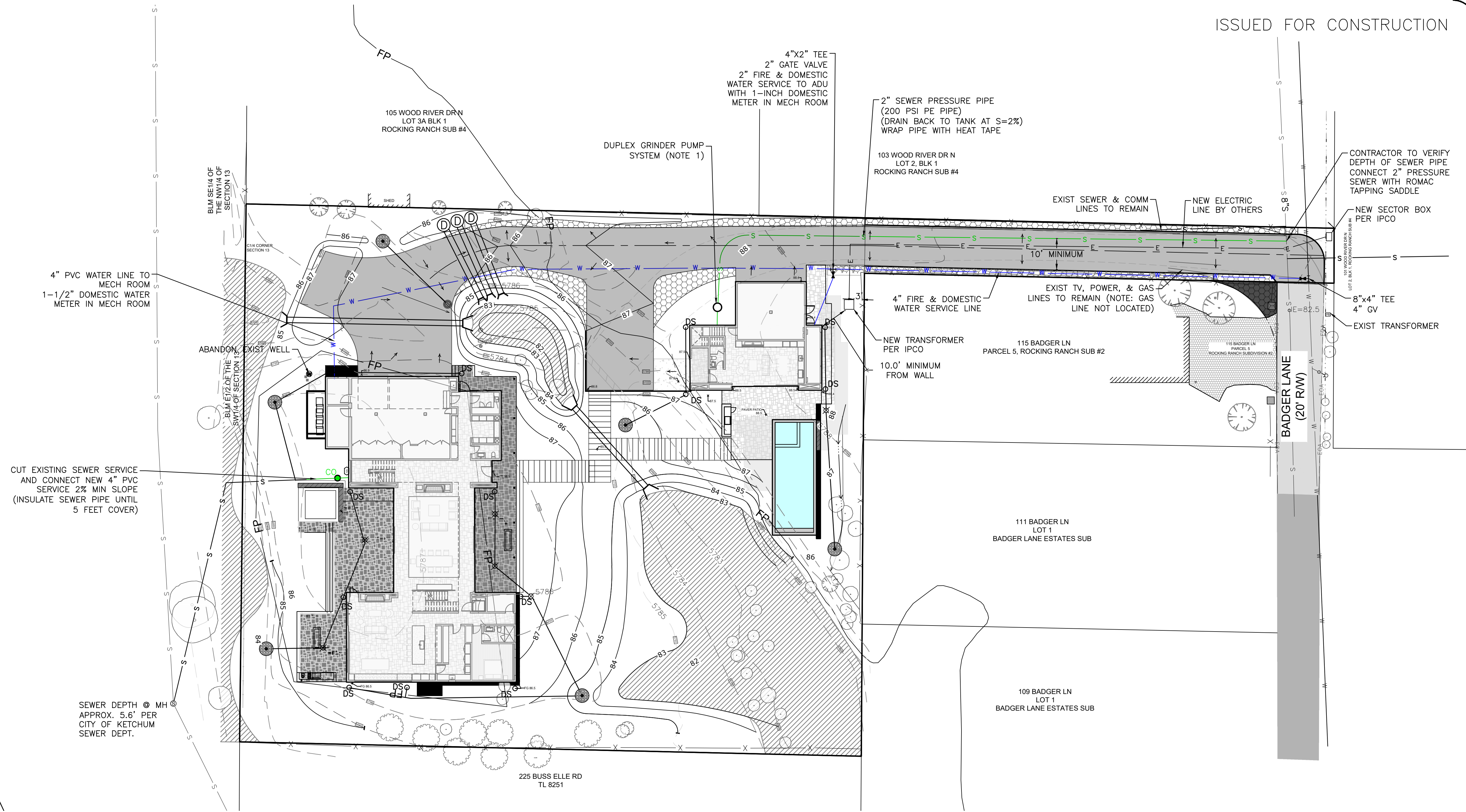
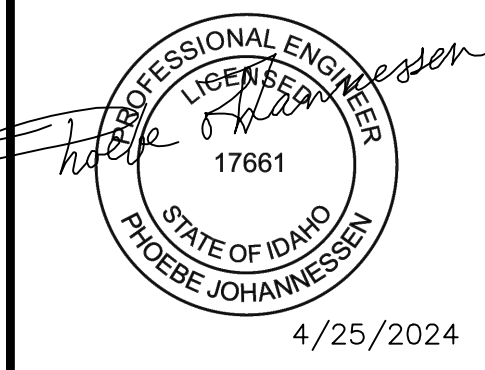
DRAWN BY: PLJ  
 DESIGNED BY: PLJ  
 CHECKED BY: PLJ  
 DATE: 4/25/2024  
 PROJECT NO.: 22185

DRAWING NO. **C-1**



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ISSUED FOR CONSTRUCTION

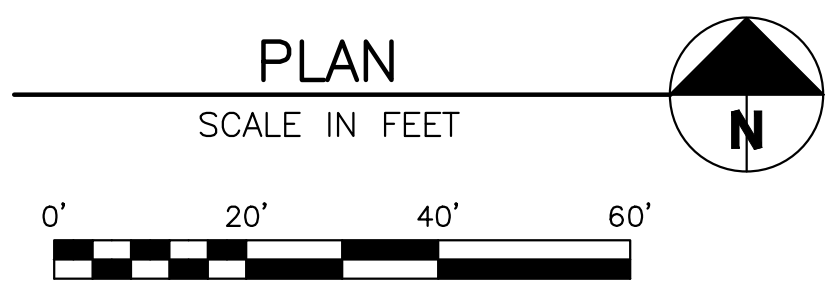


**DOSING NOTES:**

DOSING VOLUME = 132 GAL  
 THE 2" PRESSURE LINE CONTAINS APPROX. 42 GALLONS OF EFFLUENT THAT SHALL DRAIN BACK TO THE PUMP TANK BETWEEN CYCLES.  
 36" DIA. PUMP TANK CAPACITY IS 4.4 GAL/INCH  
 EACH PUMP CYCLE = 90 GAL + 42 GAL = 132 GAL  
 MINIMUM PUMP REQUIREMENT IS 30 GPM WITH A TOTAL DYNAMIC HEAD OF 17 FEET.

**SEWER PUMP SYSTEM CONSTRUCTION NOTES:**

- DUPLEX GRINDER PUMP SYSTEM SHALL CONTAIN TWO 1 HP GRINDER PUMPS. PRESSURE PIPE OUTLET SHALL BE 10' DEEP TO ALLOW PIPE TO DRAIN BACK TO TANK BETWEEN CYCLES. CONTRACTOR TO VERIFY OUTLET DEPTH REQUIRED TO DRAIN PIPE BACK FROM MAIN.
- ALL TANKS, CHAMBERS AND/OR PIPING SHALL BE SEALED AND WATER TIGHT.
- TANK SHALL BE DESIGNED TO RESIST BUOYANCY FORCES. ASSUME MAXIMUM WATER TABLE IS AT GROUND SURFACE.
- DOSING CHAMBER PUMPS SHALL BE PER PUMP CURVE DETAIL OR EQUIVALENT UPON APPROVAL OF ENGINEER.
- PUMPS AND ELECTRICAL EQUIPMENT SHALL CONFORM TO THE IDAHO STATE ELECTRICAL CODE.
- PUMP MUST BE INSTALLED SUCH THAT IT IS SUBMERGED AT ALL TIMES.
- ELECTRICAL CONNECTIONS SHALL BE MADE OUTSIDE OF THE CHAMBER IN A WATER PROOF BOX (CROUSE-HINDS TYPE EAB OR EQUIVALENT).
- WIRES MUST BE INSTALLED IN A SOLID WATER TIGHT CONDUIT.
- PUMPS AND ALARM SYSTEM SHALL BE ON ISOLATED CIRCUITS.
- AN AUDIBLE ALARM SHALL BE INSTALLED WITHIN THE LIVING SPACE OF THE HOUSE TO INDICATE WHEN THE LEVEL OF EFFLUENT IN THE PUMP CHAMBER IS ABOVE THE PUMP ON LEVEL.
- CONTRACTOR SHALL FIELD VERIFY LOCATION OF ALL UTILITIES BEFORE COMMENCING CONSTRUCTION. ANY CONFLICT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.



NO.	REVISIONS DESCRIPTION	DATE	BY

**GALENA-BENCHMARK ENGINEERING**  
 SURVEYING ENGINEERING PLANNING  
 100 E. Main Street, Suite 100  
 P.O. Box 733  
 Ketchum, Idaho 83340  
 (208) 726-9512  
 www.benchmark-kassociates.com

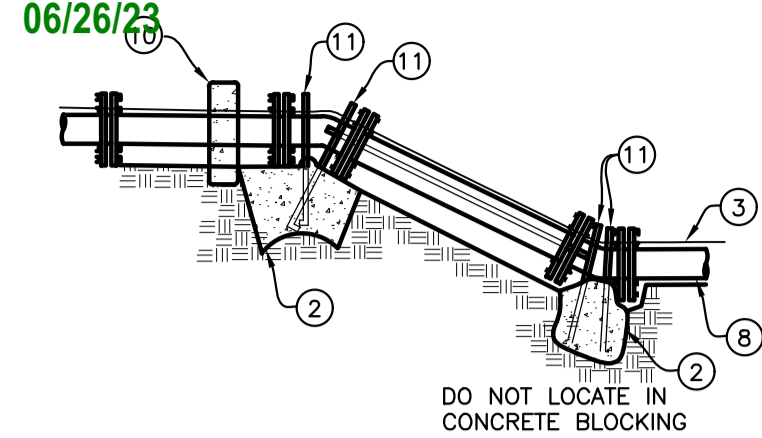
**UTILITY PLAN**  
**ROCKING RANCH #2 PARCEL 4**  
 T4N, R17E, SEC 13, B.M., BLAINE COUNTY, IDAHO  
 PREPARED FOR: PRESIDIO VISTA PROPERTIES

DRAWN BY: PLJ  
 DESIGNED BY: PLJ  
 CHECKED BY: PLJ  
 DATE: 4/25/2024  
 PROJECT NO.: 22185

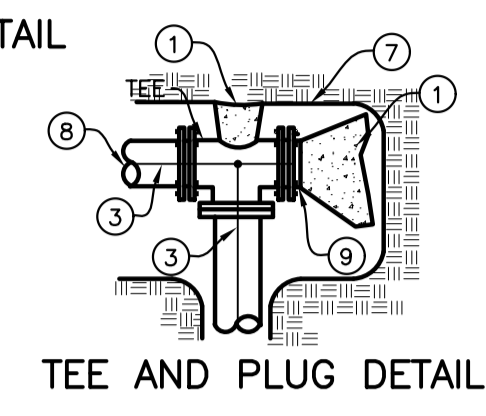
DRAWING NO.

**C-2**

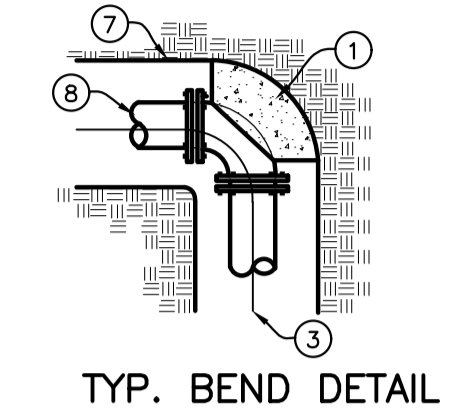
Approved  
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 BLD2303-00021  
 06/26/23



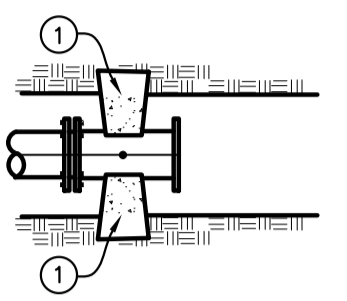
VERTICAL BEND DETAIL



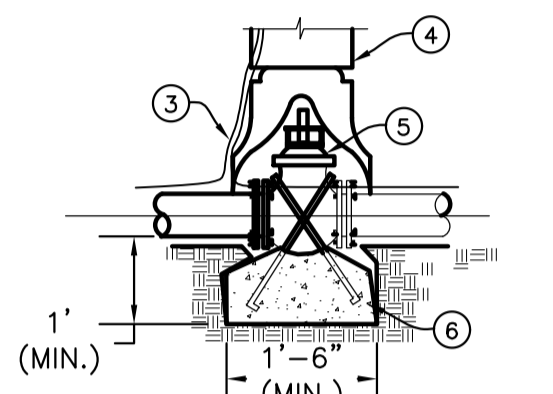
TEE AND PLUG DETAIL



TYP. BEND DETAIL



REDUCER DETAIL



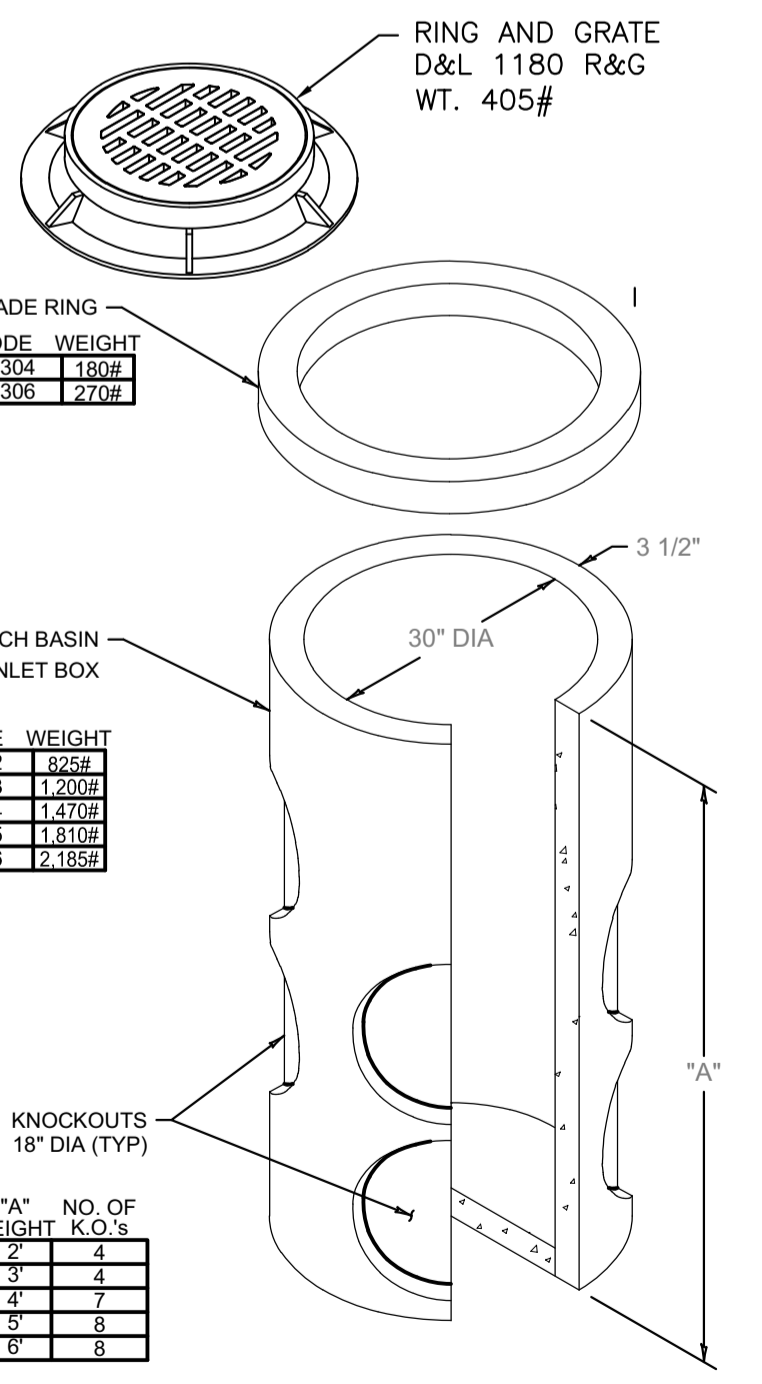
VALVE ANCHOR DETAIL

TABLE 1  
 THRUST AREA FOR HORIZONTAL BENDS\*\*\*  
 SOIL BEARING PRESSURE = 2000 PSF  
 WORKING PRESSURE RATING = 150 PSI  
 SAFETY FACTOR = 1.5  
 MINIMUM SQUARE FEET OF THRUST AREA ONTO UNDISTURBED EARTH\*

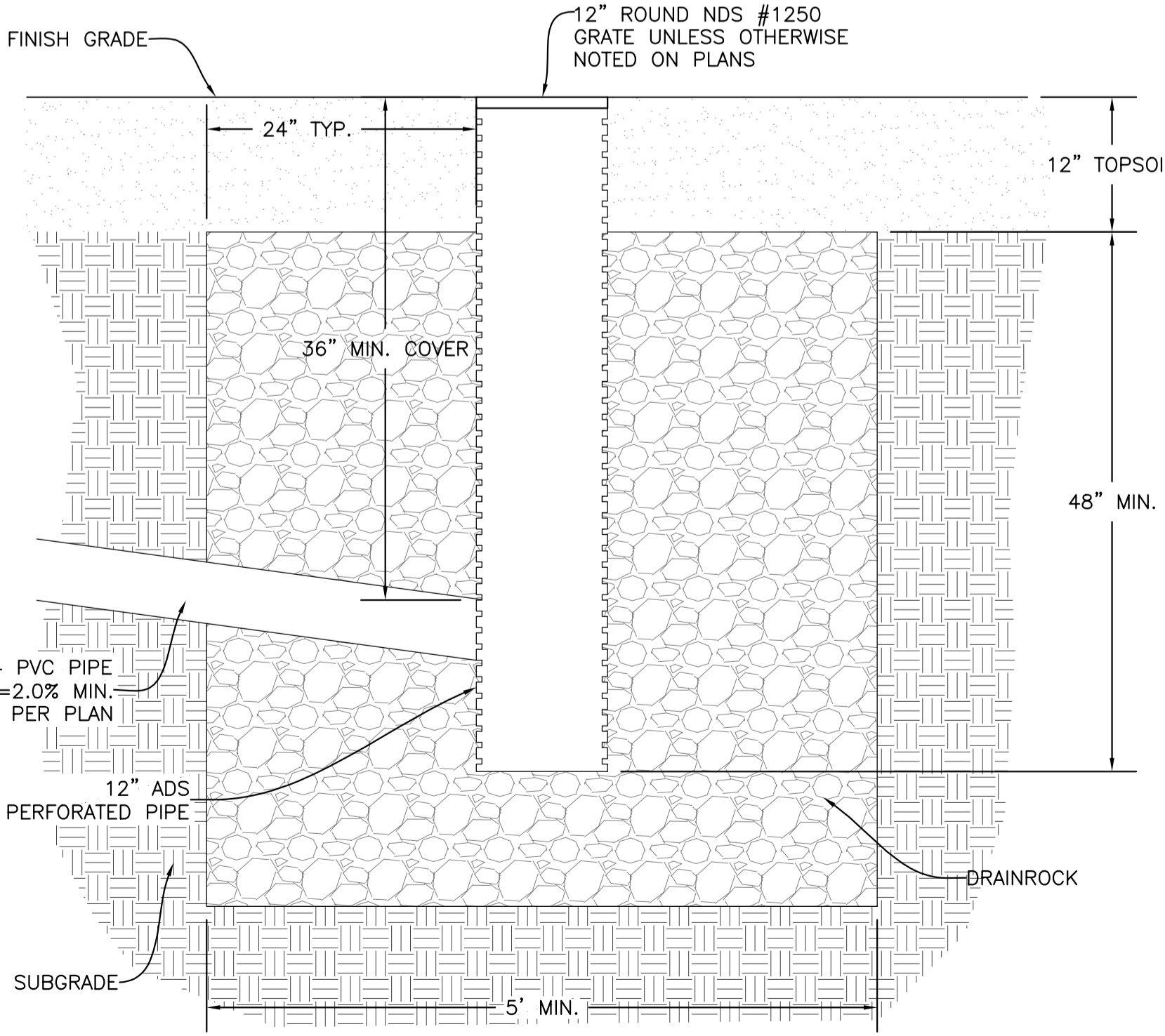
PIPE SIZE	TEE, PLUG OR VALVE	90°**	45°	22 1/2', 11.25'	11.25'
3"	0.8	1.1	0.6	0.3	0.3
4"	1.4	2.0	1.1	0.6	0.6
6"	3.2	4.5	2.4	1.2	1.2
8"	5.7	8.0	4.3	2.2	2.2
10"	8.8	12.5	6.8	3.4	3.4
12"	12.7	18.0	9.7	5.0	5.0
14"	17.3	24.5	13.3	6.8	6.8
16"	22.6	32.0	17.3	8.8	8.8
18"	28.6	40.5	21.9	11.2	11.2

\* MUST BE INCREASED BASED ON DIFFERENT CONDITIONS (HIGHER WORKING PRESSURE OR LOWER SOIL BEARING STRENGTH).  
 \*\* OR TEE ACTING AS A 90° BEND  
 \*\*\* THRUST BLOCK DEPTH TO BE A MINIMUM OF 12" FOR PIPE SIZES 3"-8" AND 18" FOR PIPE SIZES 10"-18" OR THE SQUARE ROOT OF THE REQUIRED BEARING AREA, WHICHEVER IS GREATER.

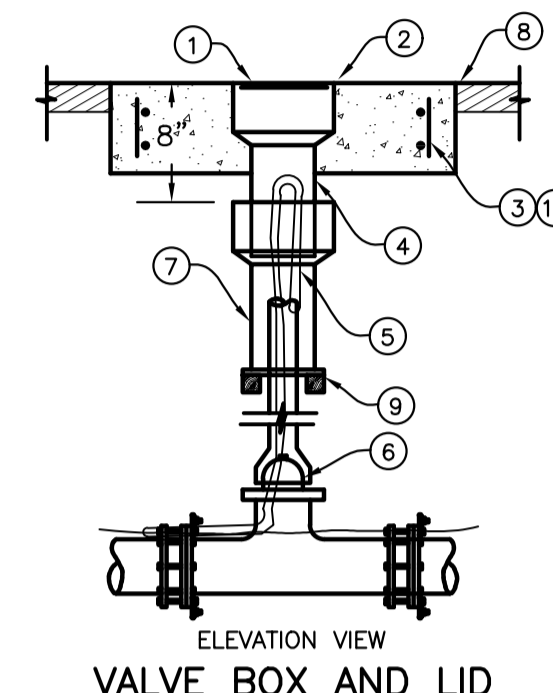
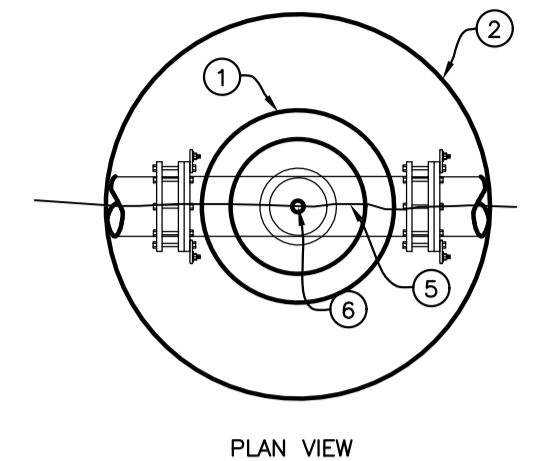
1 SD-403 THRUST BLOCK DETAIL  
 C2 NOT TO SCALE



4 30" CATCH BASIN (TYP.)  
 C1 NOT TO SCALE



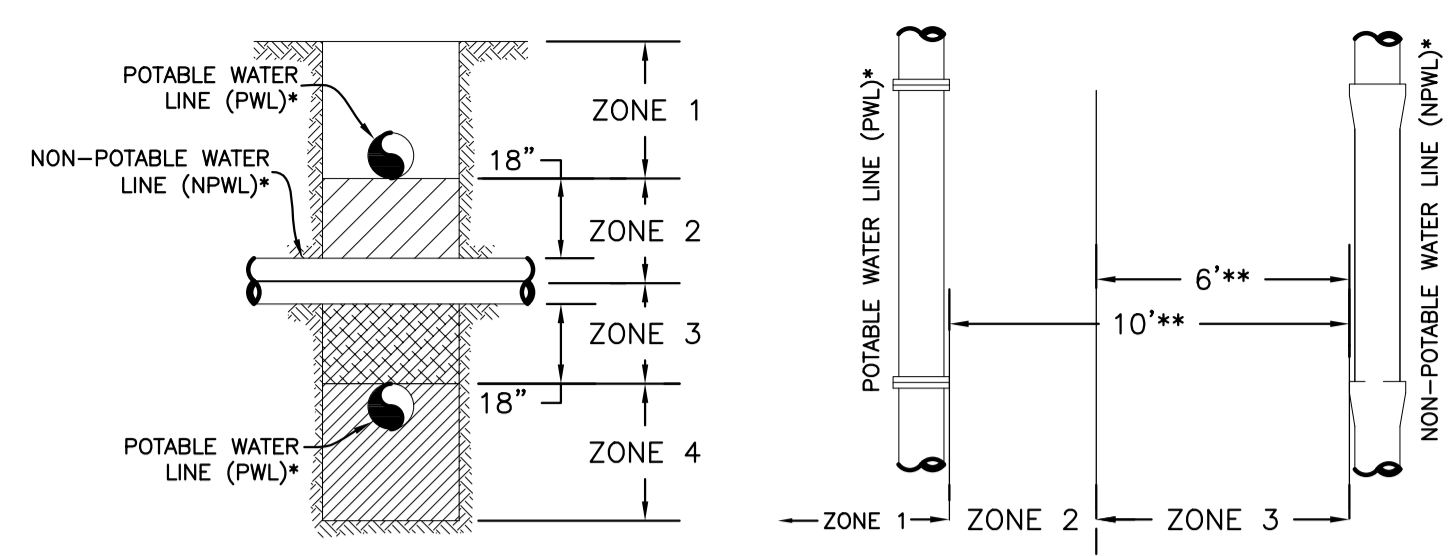
5 LANDSCAPE DRYWELL  
 C1 NOT TO SCALE



VALVE BOX AND LID

2 VALVE BOX AND LID DETAIL  
 C2 NOT TO SCALE

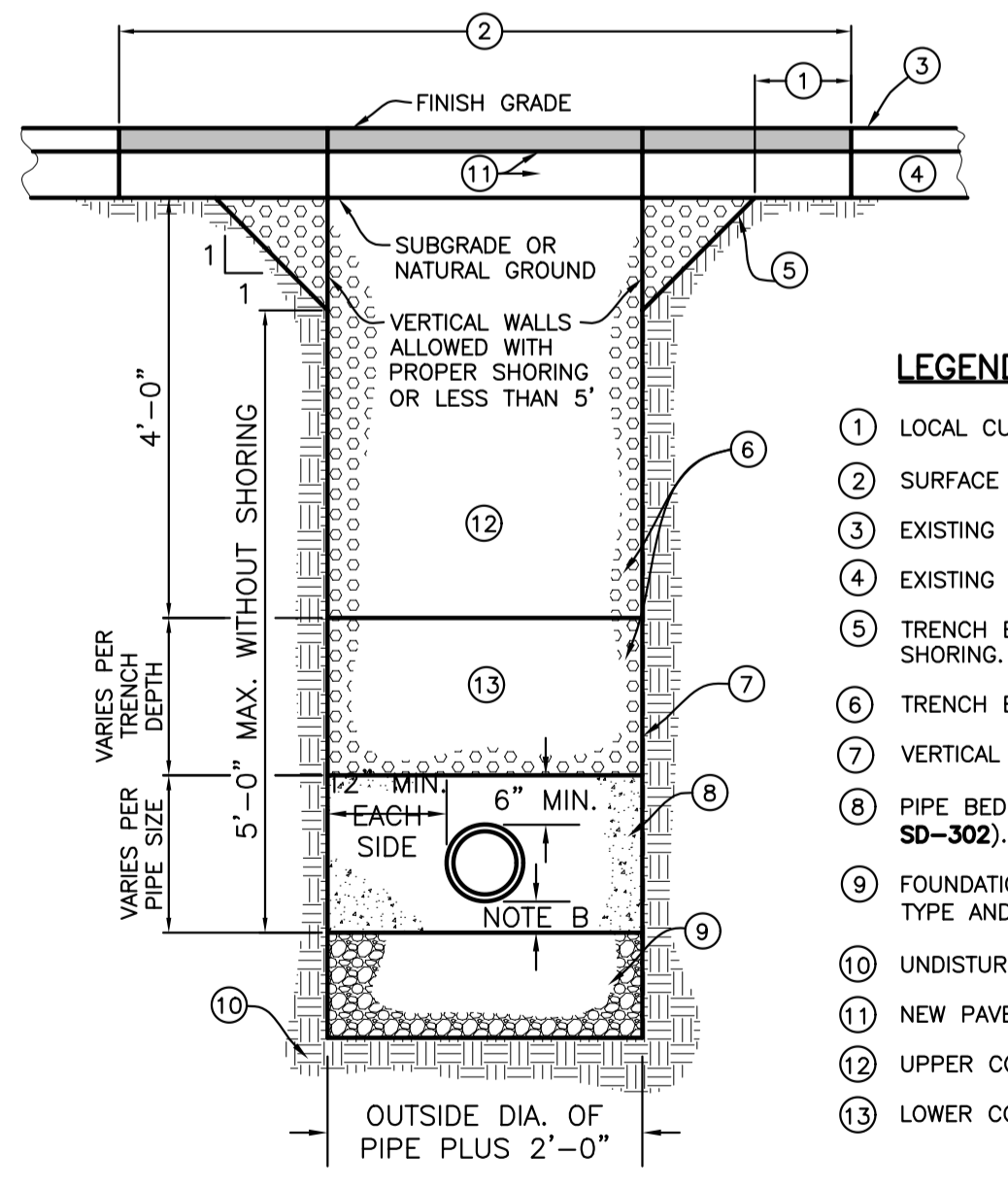
- LEGEND**
- 1 5 1/4" LOCKING LID IF REQUIRED (TYLER NO. 6855).
  - 2 24" x 6" CONCRETE COLLAR.
  - 3 (2) #4 REBAR HOOPS WITH #4 VERTICALS.
  - 4 PACK VOID WITH RUBBER SILICONE.
  - 5 NO. 12 AWG. COPPER WIRE FINDER.
  - 6 VALVE.
  - 7 CAST IRON VALVE RISER.
  - 8 FINISHED GRADE.
  - 9 REDWOOD BLOCKS.
  - 10 FIBRILLATED POLYPROPYLENE FIBER (ADDED PER MANUFACTURER'S RECOMMENDATIONS) MAY BE USED IN LIEU OF #4 REBAR IN CONCRETE COLLARS
- NOTES:**
- (A) ALL PRODUCTS AS INDICATED OR APPROVED SUBSTITUTION.
  - (B) IF AUTHORIZED BY THE ENGINEER, A HEAVY (10 GAGE) STEEL VALVE BOX AND CAP MAY BE USED IN LIEU OF CAST IRON BOX AND LID.



\* THE TERM "LINE" APPLIES TO BOTH MAIN LINES AND SERVICE LINES. FOR SPECIAL CIRCUMSTANCES REGARDING EXISTING POTABLE OR NON-POTABLE SERVICE LINES, REFER TO ADAPA 58.01.08.542.07c AND 58.01.16.430.02.iii, RESPECTIVELY.  
 \*\* DISTANCES ARE HORIZONTAL.  
 \*\*\* JOINT PLACEMENT APPLIES ONLY TO FACILITY BEING CONSTRUCTED: POTABLE WATER, NON-POTABLE WATER, OR BOTH.

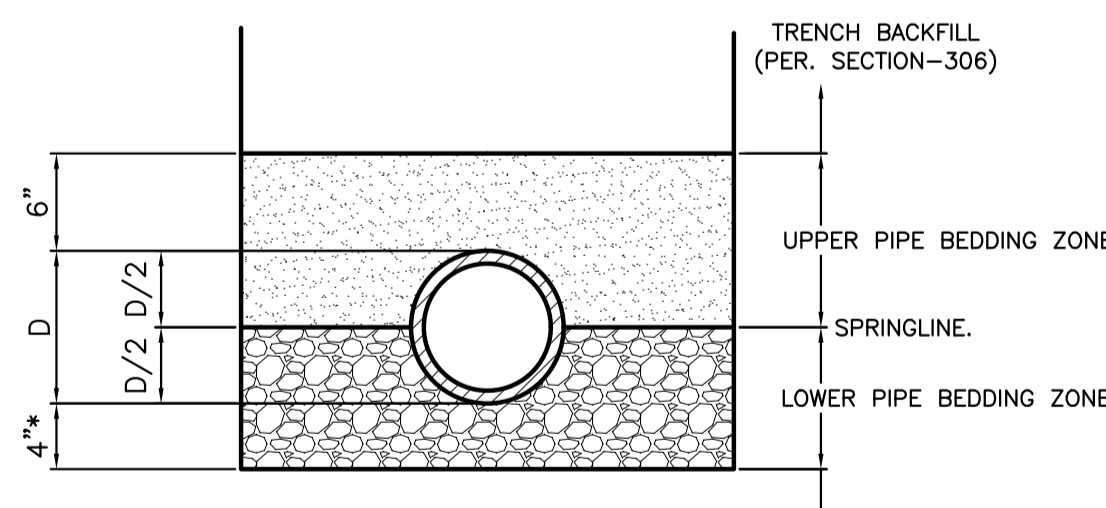
- VERTICAL SEPARATION REQUIREMENTS**
- ZONE 1: A) P.W.L. AND NP.W.L. MUST BE SEPARATED BY AT LEAST 18 INCHES AND B) ONE FULL, UN-CUT LENGTH OF P.W.L. OR NP.W.L. PIPE MUST BE CENTERED ON THE CROSSING SO THAT THE JOINTS ARE AS FAR AS POSSIBLE FROM THE CROSSING.
  - ZONE 2: A) ONE FULL, UN-CUT LENGTH OF P.W.L. OR NP.W.L. PIPE MUST BE CENTERED ON THE CROSSING WITH A SINGLE 20-FOOT SEGMENT SO THAT THE JOINTS ARE AS FAR AS POSSIBLE FROM THE CROSSING.
  - AND EITHER B) NP.W.L. MAIN MUST BE CONSTRUCTED TO WATER MAIN STANDARDS WITH A SINGLE 20-FOOT SEGMENT FOR A HORIZONTAL DISTANCE OF 10 FEET ON BOTH SIDES OF THE CROSSING.
  - OR C) EITHER THE NP.W.L. OR P.W.L. MUST BE ENCASED WITH A POTABLE WATER CLASS SLEEVE FOR A HORIZONTAL DISTANCE OF 10 FEET ON BOTH SIDES OF THE CROSSING.
  - ZONE 3: SAME REQUIREMENTS AS ZONE 2 EXCEPT THE NP.W.L. MUST ALSO BE SUPPORTED ABOVE THE CROSSING TO PREVENT SETTLING.
  - ZONE 4: SAME REQUIREMENTS AS ZONE 1 (ITEM 1A ONLY) EXCEPT THE NP.W.L. MUST ALSO BE SUPPORTED ABOVE THE CROSSING TO PREVENT SETTLING.
- HORIZONTAL SEPARATION REQUIREMENTS**
- ZONE 1: A) IF CONSTRUCTING BOTH P.W.L. AND NP.W.L. PIPELINES MUST BE IN SEPARATE TRENCHES.
  - ZONE 2: A) P.W.L. AND NP.W.L. MUST BE SEPARATED BY AT LEAST 6 FEET AT OUTSIDE WALLS.
  - AND B) BOTTOM OF P.W.L. MUST BE ABOVE TOP OF NP.W.L. AND EITHER C) NP.W.L. CONSTRUCTED TO WATER MAIN STANDARDS.
  - OR D) SITE SPECIFIC REQUIREMENTS APPROVED BY DEQ.
  - ZONE 3: NOT ALLOWED WITHOUT DEQ WAIVER.
- NOTE:** SANITARY SEWER FORCE MAINS MUST HAVE MIN. 10' HORIZONTAL SEPARATION AND 18" VERTICAL SEPARATION. ZONE 2 AND ZONE 3 PLACEMENTS ARE NOT ALLOWED WITHOUT A WAIVER GRANTED BY DEQ.

3 POTABLE AND NON-POTABLE WATER LINE (NPWL) SEPARATION  
 C2 NOT TO SCALE



- LEGEND**
- 1 LOCAL CUT BACK, ONLY IF REQUIRED
  - 2 SURFACE REPAIR WIDTH, 4' MINIMUM.
  - 3 EXISTING SURFACE.
  - 4 EXISTING BASE.
  - 5 TRENCH BACK SLOPE PER O.S.H.A. OR SUITABLE SHORING.
  - 6 TRENCH BACKFILL PER ISPCW SECTION-306.
  - 7 VERTICAL TRENCH WALLS SHORING PER O.S.H.A.
  - 8 PIPE BEDDING PER ISPCW SECTION-305 (SEE SD-302).
  - 9 FOUNDATION STABILIZATION MAY VARY PER SOIL TYPE AND STABILITY (PER SECTION-304)
  - 10 UNDISTURBED SOIL (TYP.)
  - 11 NEW PAVEMENT AND BASE
  - 12 UPPER COMPACTION ZONE.
  - 13 LOWER COMPACTION ZONE.
- NOTES**
- (A) TRENCH EXCAVATION PER ISPCW SECTION-301.
  - (B) PIPE BEDDING PER ISPCW SECTION-305.
  - (C) BACKFILL AND COMPACTION PER ISPCW SECTION-306.
  - (D) SURFACE REPAIR AND BASE PER ISPCW SECTION-307. SEE SD-303.

6 TYPICAL TRENCH  
 C1 SCALE: NONE



\* 6" FOR PIPE 30" DIAMETER OR LARGER FOUNDATION STABILIZATION AS NEEDED (PER ISPCW SECTION-306).

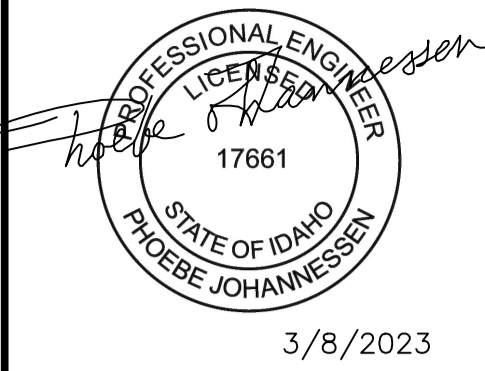
BEDDING SYSTEM	BEDDING MATERIALS
CLASS A-1	LOWER BEDDING ZONE UPPER BEDDING ZONE TYPE I TYPE I

**NOTES**

- (A) REFER TO ISPCW SECTION-305 FOR MATERIAL AND COMPACTION REQUIREMENTS.

7 TYPICAL PIPE BEDDING SECTION  
 C1 NOT TO SCALE

PERMIT SET



3/8/2023

**REVISIONS**

No.	DESCRIPTION	DATE	BY
1			



PREPARED BY:  
 BENCHMARK ASSOCIATES, P.A.  
 P.O. BOX 733 100 BELL DRIVE  
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**DETAILS**

ROCKING RANCH #2 PARCEL 4  
 T4N, R17E, SEC 13, B.M., BLAINE COUNTY, IDAHO  
 PREPARED FOR: PRESIDIO VISTA PROPERTIES

DRAWN BY: PLJ  
 DESIGNED BY: PLJ  
 CHECKED BY:  
 DATE: 2/28/2023  
 PROJECT NO.: 22185

DRAWING NO.

C-3





**Approved**

These plans have been found to be in substantial compliance of the adopted building codes. These documents are approved contingent on compliance with the markups and notes applied. This is not approval of any jurisdictional code, ordinance, statute or regulation. Some items may be required for code violations found during the inspection process.

**ES** ICC EVALUATION SERVICE

**BLD2303-00021**

**06/26/23**

# ICC-ES Evaluation Report

ICC-ES | (800) 423-6587 | (562) 699-0543 | [www.icc-es.org](http://www.icc-es.org)

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**ESR-2074**

Reissued 02/2023

This report is subject to renewal 02/2025.

**DIVISION: 08 00 00—OPENINGS**

**SECTION: 08 95 43—VENTS/FOUNDATION FLOOD VENTS**

**REPORT HOLDER:**

**SMART VENT PRODUCTS, INC.**

**EVALUATION SUBJECT:**

**SMART VENT® AUTOMATIC FOUNDATION FLOOD VENTS: MODELS #1540-520;  
#1540-521; #1540-510; #1540-511; #1540-570; #1540-574; #1540-524; #1540-514  
FLOOD VENT SEALING KIT #1540-526**



*“2014 Recipient of Prestigious Western States Seismic Policy Council (WSSPC) Award in Excellence”*



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*ICC-ES Evaluation Reports are not to be construed as representing aesthetics or any other attributes not specifically addressed, nor are they to be construed as an endorsement of the subject of the report or a recommendation for its use. There is no warranty by ICC Evaluation Service, LLC, express or implied, as to any finding or other matter in this report, or as to any product covered by the report.*



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# Approved

These plans have been found to be in substantial compliance of the adopted building codes. These documents are approved contingent on compliance with the IBC® ups and notes applied. This is not approval of any violation of any code, ordinance, statute or regulation. Corrections will be required for code violations found during the inspection process.



**BLD2303-00021**  
**06/26/23**

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## ICC-ES Evaluation Report ESR-2074

Reissued February 2023

This report is subject to renewal February 2025.

**DIVISION: 08 00 00—OPENINGS**  
**Section: 08 95 43—Vents/Foundation Flood Vents**

### REPORT HOLDER:

**SMART VENT PRODUCTS, INC.**

### EVALUATION SUBJECT:

**SMART VENT® AUTOMATIC FOUNDATION FLOOD VENTS:  
MODELS #1540-520; #1540-521; #1540-510; #1540-511;  
#1540-570; #1540-574; #1540-524; #1540-514  
FLOOD VENT SEALING KIT #1540-526**

### 1.0 EVALUATION SCOPE

#### Compliance with the following codes:

- 2021, 2018, 2015, 2012, 2009 and 2006 *International Building Code*® (IBC)
- 2021, 2018, 2015, 2012, 2009 and 2006 *International Residential Code*® (IRC)
- 2021 and 2018 *International Energy Conservation Code*® (IECC)
- 2013 *Abu Dhabi International Building Code* (ADIBC)<sup>†</sup>

<sup>†</sup>The ADIBC is based on the 2009 IBC. 2009 IBC code sections referenced in this report are the same sections in the ADIBC.

#### Properties evaluated:

- Physical operation
- Water flow

### 2.0 USES

The Smart Vent® units are engineered mechanically operated flood vents (FVs) employed to equalize hydrostatic pressure on walls of enclosures subject to rising or falling flood waters. Certain models also allow natural ventilation.

### 3.0 DESCRIPTION

#### 3.1 General:

When subjected to rising water, the Smart Vent® FVs internal floats are activated, then pivot open to allow flow in either direction to equalize water level and hydrostatic pressure from one side of the foundation to the other. The FV pivoting door is normally held in the closed position by a buoyant release device. When subjected to rising water, the buoyant release device causes the unit to unlatch, allowing

the door to rotate out of the way and allow flow. The water level stabilizes, equalizing the lateral forces. Each unit is fabricated from stainless steel. Smart Vent® Automatic Foundation Flood Vents are available in various models and sizes as described in Table 1. The SmartVENT® Stacking Model #1540-511 and FloodVENT® Stacking Model #1540-521 units each contain two vertically arranged openings per unit.

#### 3.2 Engineered Opening:

The FVs comply with the design principle noted in Section 2.7.2.2 and Section 2.7.3 of ASCE/SEI 24-14 [Section 2.6.2.2 of ASCE/SEI 24-05 (2012, 2009, 2006 IBC and IRC)] for a maximum rate of rise and fall of 5.0 feet per hour (0.423 mm/s). In order to comply with the engineered opening requirement of ASCE/SEI 24, Smart Vent FVs must be installed in accordance with Section 4.0.

#### 3.3 Ventilation:

The SmartVENT® Model #1540-510 and SmartVENT® Overhead Door Model #1540-514 both have screen covers with 1/4-inch-by-1/4-inch (6.35 by 6.35 mm) openings, yielding 51 square inches (32 903 mm<sup>2</sup>) of net free area to supply natural ventilation. The SmartVENT® Stacking Model #1540-511 consists of two Model #1540-510 units in one assembly, and provides 102 square inches (65 806 mm<sup>2</sup>) of net free area to supply natural ventilation. Other FVs described in this report do not offer natural ventilation.

#### 3.4 Flood Vent Sealing Kit:

The Flood Vent Sealing Kit Model #1540-526 is used with SmartVENT® Model #1540-520. It is a Homasote 440 Sound Barrier® (ESR-1374) insert with 21 – 2-inch-by-2-inch (51 mm x 51 mm) squares cut in it. See Figure 4.

### 4.0 DESIGN AND INSTALLATION

#### 4.1 SmartVENT® and FloodVENT®:

SmartVENT® and FloodVENT® are designed to be installed into walls or overhead doors of existing or new construction from the exterior side. Installation of the vents must be in accordance with the manufacturer's instructions, the applicable code and this report. Installation clips allow mounting in masonry and concrete walls of any thickness. In order to comply with the engineered opening design principle noted in Section 2.7.2.2 and 2.7.3 of ASCE/SEI 24-14 [Section 2.6.2.2 of ASCE/SEI 24-05 (2012, 2009, 2006 IBC and IRC)], the Smart Vent® FVs must be installed as follows:

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These plans have been found to be in substantial compliance of the adopted building codes. These drawings are approved for construction with the listed area and notes applied. This is not approval of any violation of any code, ordinance, statute or regulation.

- With a minimum of one FV for every 200 square feet (18.6 m<sup>2</sup>) of enclosed area, except that the SmartVENT® Stacker Model #1540-511 and FloodVENT® Stacking Model #1540-521 must be installed with a minimum of one FV for every 400 square feet (37.2 m<sup>2</sup>) of enclosed area.
- Below the base flood elevation.
- With the bottom of the FV located a maximum of 12 inches (305.4 mm) above the higher of the final grade or floor and finished exterior grade immediately under each opening.

### 4.2 Flood Vent Sealing Kit

The Flood Vent Sealing Kit Model 1540-526 is used in conjunction with FloodVENT® Model #1540-520. When installed and tested in accordance with ASTM E283, the FV and Flood Vent Sealing Kit assembly have an air leakage rate of less than 0.2 cubic feet per minute per lineal foot (18.56 l/min per lineal meter) at a pressure differential of 1 pound per square foot (50 Pa) based on 12.58 lineal feet (3.8 lineal meters) contained by the Flood Vent Sealing Kit.

### 5.0 CONDITIONS OF USE

The Smart Vent® FVs described in this report comply with, or are suitable alternatives to what is specified in, those codes listed in Section 1.0 of this report, subject to the following conditions:

- 5.1 The Smart Vent® FVs must be installed in accordance with this report, the applicable code and the

manufacturer's installation instructions. In the event of a conflict, the instructions in this report govern.

- 5.2 The Smart Vent® FVs must not be used in the place of "breakaway walls" in coastal high hazard areas, but are permitted for use in conjunction with breakaway walls in other areas.

### 6.0 EVIDENCE SUBMITTED

- 6.1 Data in accordance with the ICC-ES Acceptance Criteria for Mechanically Operated Flood Vents (AC364), dated August 2015 (editorially revised February 2021).
- 6.2 Test report on air infiltration in accordance with ASTM E283.

### 7.0 IDENTIFICATION

- 7.1 The Smart VENT® models and the Flood Vent Sealing Kit described in this report must be identified by a label bearing the manufacturer's name (Smartvent Products, Inc.), the model number, and the evaluation report number (ESR-2074).
- 7.2 The report holder's contact information is the following:

**SMART VENT PRODUCTS, INC.**  
**19 MANTUA ROAD**  
**MOUNT ROYAL, NEW JERSEY 08061**  
**(877) 441-8368**  
[www.smartvent.com](http://www.smartvent.com)  
[info@smartvent.com](mailto:info@smartvent.com)

TABLE 1—MODEL SIZES

MODEL NAME	MODEL NUMBER	MODEL SIZE (in.)	COVERAGE (sq. ft.)
FloodVENT®	1540-520	15 <sup>3</sup> / <sub>4</sub> " X 7 <sup>3</sup> / <sub>4</sub> "	200
SmartVENT®	1540-510	15 <sup>3</sup> / <sub>4</sub> " X 7 <sup>3</sup> / <sub>4</sub> "	200
FloodVENT® Overhead Door	1540-524	15 <sup>3</sup> / <sub>4</sub> " X 7 <sup>3</sup> / <sub>4</sub> "	200
SmartVENT® Overhead Door	1540-514	15 <sup>3</sup> / <sub>4</sub> " X 7 <sup>3</sup> / <sub>4</sub> "	200
Wood Wall FloodVENT®	1540-570	14" X 8 <sup>3</sup> / <sub>4</sub> "	200
Wood Wall FloodVENT® Overhead Door	1540-574	14" X 8 <sup>3</sup> / <sub>4</sub> "	200
SmartVENT® Stacker	1540-511	16" X 16"	400
FloodVent® Stacker	1540-521	16" X 16"	400

For SI: 1 inch = 25.4 mm; 1 square foot = m<sup>2</sup>

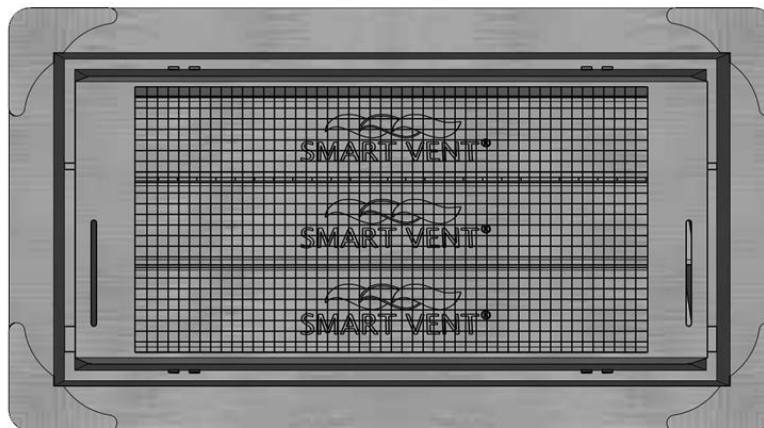


FIGURE 1—SMART VENT: MODEL 1540-510



# Approved

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These plans have been found to be in substantial

compliance of the adopted building codes. These documents are approved contingent on compliance with the mark-ups and notes applied. This is not approval of any violation of any code, ordinance, statute or regulation. Corrections will be required for code violations found during the inspection process.

**BLD2303-00021**

**06/26/23**



FIGURE 2—SMART VENT MODEL 1540-520



FIGURE 3—SMART VENT: SHOWN WITH FLOOD DOOR PIVOTED OPEN

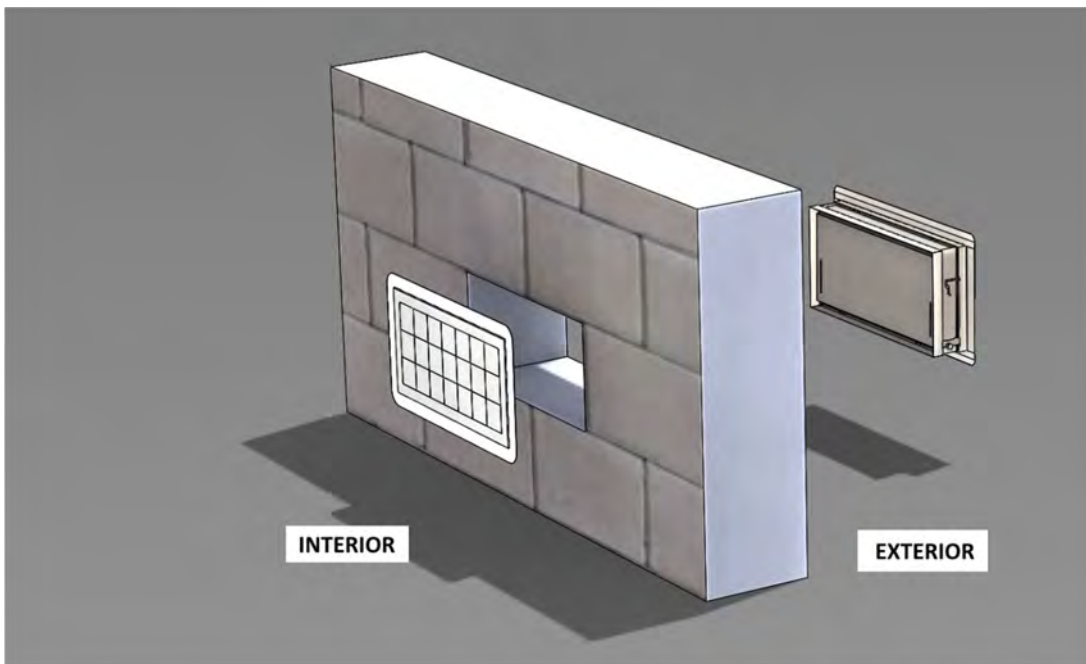


FIGURE 4—FLOOD VENT SEALING KIT



# Approved

These plans have been found to be in substantial compliance of the California Building Code. These evaluations are approved contingent on compliance with applicable code and rules applied. This is not approval of any code, ordinance, statute or regulation. Compliance will be required for code violations found during the inspection process.

**ICC-ES Evaluation Report**  
**BLD2303-00021**  
**06/26/23**

## ESR-2074 CBC and CRC Supplement

Reissued February 2023

This report is subject to renewal February 2025.

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**DIVISION: 08 00 00—OPENINGS**  
**Section: 08 95 43—Vents/Foundation Flood Vents**

### REPORT HOLDER:

**SMART VENT PRODUCTS, INC.**

### EVALUATION SUBJECT:

**SMART VENT® AUTOMATIC FOUNDATION FLOOD VENTS: MODELS #1540-520; #1540-521; #1540-510; #1540-511; #1540-570; #1540-574; #1540-524; #1540-514**  
**FLOOD VENT SEALING KIT #1540-526**

## 1.0 REPORT PURPOSE AND SCOPE

### Purpose:

The purpose of this evaluation report supplement is to indicate that Smart Vent® Automatic Foundation Flood Vents, described in ICC-ES evaluation report ESR-2074, have also been evaluated for compliance with codes noted below.

### Applicable code editions:

- 2019 California Building Code (CBC)

For evaluation of applicable chapters adopted by the California Office of Statewide Health Planning and Development (OSHPD) AKA: California Department of Health Care Access and Information (HCAI) and the Division of State Architect (DSA), see Sections 2.1.1 and 2.1.2 below.

- 2019 California Residential Code (CRC)

## 2.0 CONCLUSIONS

### 2.1 CBC:

The Smart Vent® Automatic Foundation Flood Vents, described in Sections 2.0 through 7.0 of the evaluation report ESR-2074, comply with 2019 CBC Chapter 12, provided the design and installation are in accordance with the 2018 *International Building Code*® (IBC) provisions noted in the evaluation report and the additional requirements of CBC Chapters 12 and 16, as applicable.

#### 2.1.1 OSHPD:

The applicable OSHPD Sections and Chapters of the CBC are beyond the scope of this supplement.

#### 2.1.2 DSA:

The applicable DSA Sections and Chapters of the CBC are beyond the scope of this supplement.

### 2.2 CRC:

The Smart Vent® Automatic Foundation Flood Vents, described in Sections 2.0 through 7.0 of the evaluation report ESR-2074, comply with the 2019 CRC, provided the design and installation are in accordance with the 2018 *International Residential Code*® (IRC) provisions noted in the evaluation report.

This supplement expires concurrently with the evaluation report, reissued February 2023.





# Approved

These plans have been found to be in substantial compliance of the adopted building codes. These approvals are approved contingent on compliance with applicable codes and rules applied. This is not approval of any code, ordinance, statute or regulation. No warranty will be required for code violations found during the inspection process.

**ICC-ES Evaluation Report**  
**BD2303-00021**  
**06/26/23**

## ESR-2074 FBC Supplement

Reissued February 2023

This report is subject to renewal February 2025.

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**DIVISION: 08 00 00—OPENINGS**  
**Section: 08 95 43—Vents/Foundation Flood Vents**

### REPORT HOLDER:

**SMART VENT PRODUCTS, INC.**

### EVALUATION SUBJECT:

**SMART VENT® AUTOMATIC FOUNDATION FLOOD VENTS: MODELS #1540-520; #1540-521; #1540-510; #1540-511; #1540-570; #1540-574; #1540-524; #1540-514**  
**FLOOD VENT SEALING KIT #1540-526**

### 1.0 REPORT PURPOSE AND SCOPE

#### Purpose:

The purpose of this evaluation report supplement is to indicate that Smart Vent® Automatic Foundation Flood Vents, described in ICC-ES evaluation report ESR-2074, have also been evaluated for compliance with the codes noted below.

#### Applicable code editions:

- 2020 Florida Building Code—Building
- 2020 Florida Building Code—Residential

### 2.0 CONCLUSIONS

The Smart Vent® Automatic Foundation Flood Vents, described in Sections 2.0 through 7.0 of the evaluation report ESR-2074, comply with the *Florida Building Code—Building* and the *Florida Building Code—Residential*, provided the design requirements are determined in accordance with the *Florida Building Code—Building* or the *Florida Building Code—Residential*, as applicable. The installation requirements noted in ICC-ES evaluation report ESR-2074 for 2018 *International Building Code*® meet the requirements of the *Florida Building Code—Building* or the *Florida Building Code—Residential*, as applicable.

Use of the Smart Vent® Automatic Foundation Flood Vents has also been found to be in compliance with the High-Velocity Hurricane Zone provisions of the *Florida Building Code—Building* and the *Florida Building Code—Residential*.

For products falling under Florida Rule 61G20-3, verification that the report holder's quality assurance program is audited by a quality assurance entity approved by the Florida Building Commission for the type of inspections being conducted is the responsibility of an approved validation entity (or the code official when the report holder does not possess an approval by the Commission).

This supplement expires concurrently with the evaluation report, reissued February 2023.





**APPROVED**  
 These plans have been found to be in substantial compliance of the adopted building codes. These documents are approved contingent on compliance with the mark-ups, notes, and conditions of approval applied. This is not approval of any violation of any code, ordinance, statute or regulation. Corrections will be required for code violations found during the inspection process.



SHEET LEGEND	
SYMBOL	DESCRIPTION
---	Property Line
---	Floodplain
---	Setbacks / Easements
-SILT-	Silt Fence / L.O.D.
(XXXX)	Existing Contours
(XXXX)	Existing Contours
XXXX	Proposed Contours
XXXX	Proposed Contours
	Existing Vegetation
	Grass Pave
	Surface Material - Driveway Pavers
	Surface Material - Chipseal Asphalt
	Surface Material - Cut Stone
	Surface Material - Gravel
	Surface Material - Stone
	Landscape - Native
	Landscape - Lawn
	Proposed Wetlands

**BYLA**  
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ISSUE: 19 4/29/2024 Updated Culverts  
 REVISIONS:

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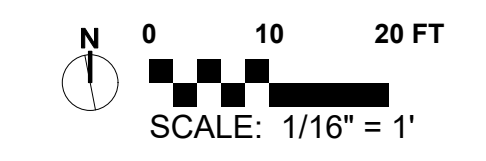
**LANDSCAPE PLAN**  
**BADGER LANE**  
 121 BADGER LANE KETCHUM, ID 83340

FILENAME: BADGER LANE\_vwx  
 PROJECT MANAGER: CG  
 DRAWN BY: LH  
 ISSUE DATE: 4/29/2024  
 PLOT DATE: 4/29/24 10:16:39 AM

**SITE OVERVIEW**

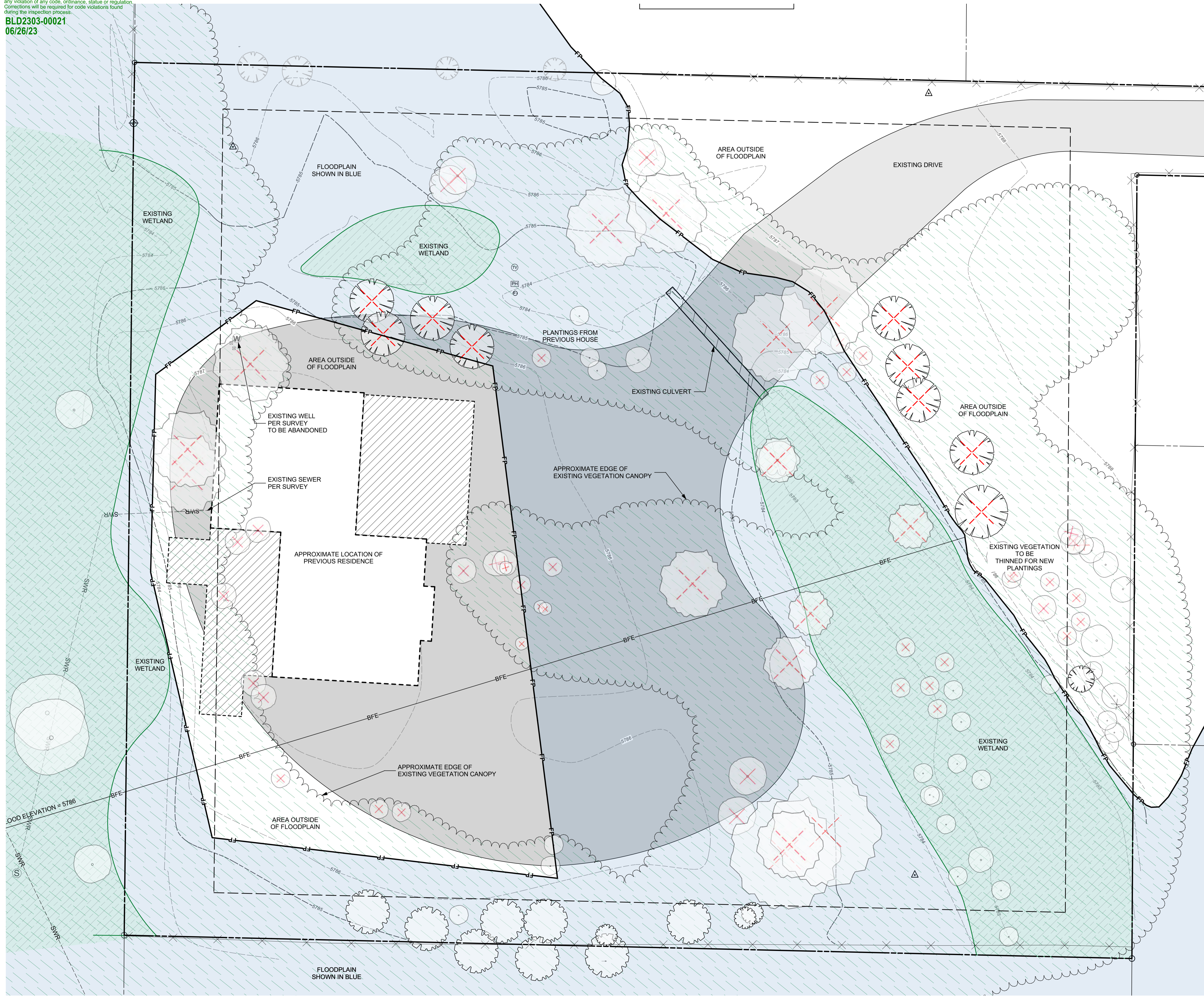
SHEET NO.

**L1.0**





**Approved**  
 These plans have been found to be in substantial compliance of the adopted building codes. These documents are approved contingent on compliance with the mark-ups and notes applied. This is not approval of any code, ordinance, statute or regulation. Corrections will be required for code violations found during the inspection process.  
**BLD2303-00021**  
**06/26/23**



SHEET LEGEND	
SYMBOL	DESCRIPTION
---	Property Line
---	Floodplain
(XXXX)	Existing Contours
█	Disturbed
☁	Existing Tree Canopy
▨	Existing Wetlands
✕	Existing Fence
△	Survey Point
⊗	Existing Tree To Be Removed

EXISTING TREES OVER 2" CALIPER	
SYMBOL	DESCRIPTION
○	Aspen
⊗	Cottonwood
⊗	Spruce
⊗	Fir

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ISSUE: 7 2/17/2023 UPDATED PER DEV. PERMIT  
 REVISIONS:  
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**LANDSCAPE PLAN**  
**BADGER LANE**  
 121 BADGER LANE KETCHUM, ID 83340

FILENAME: BADGER LANE\_2023\_SHIFT.vwx  
 PROJECT MANAGER: XX  
 DRAWN BY: XX  
 ISSUE DATE: 2/17/2023  
 PLOT DATE: 2/23/23 12:06:15 PM

**EXISTING CONDITIONS & DEMO PLAN**

SHEET NO.



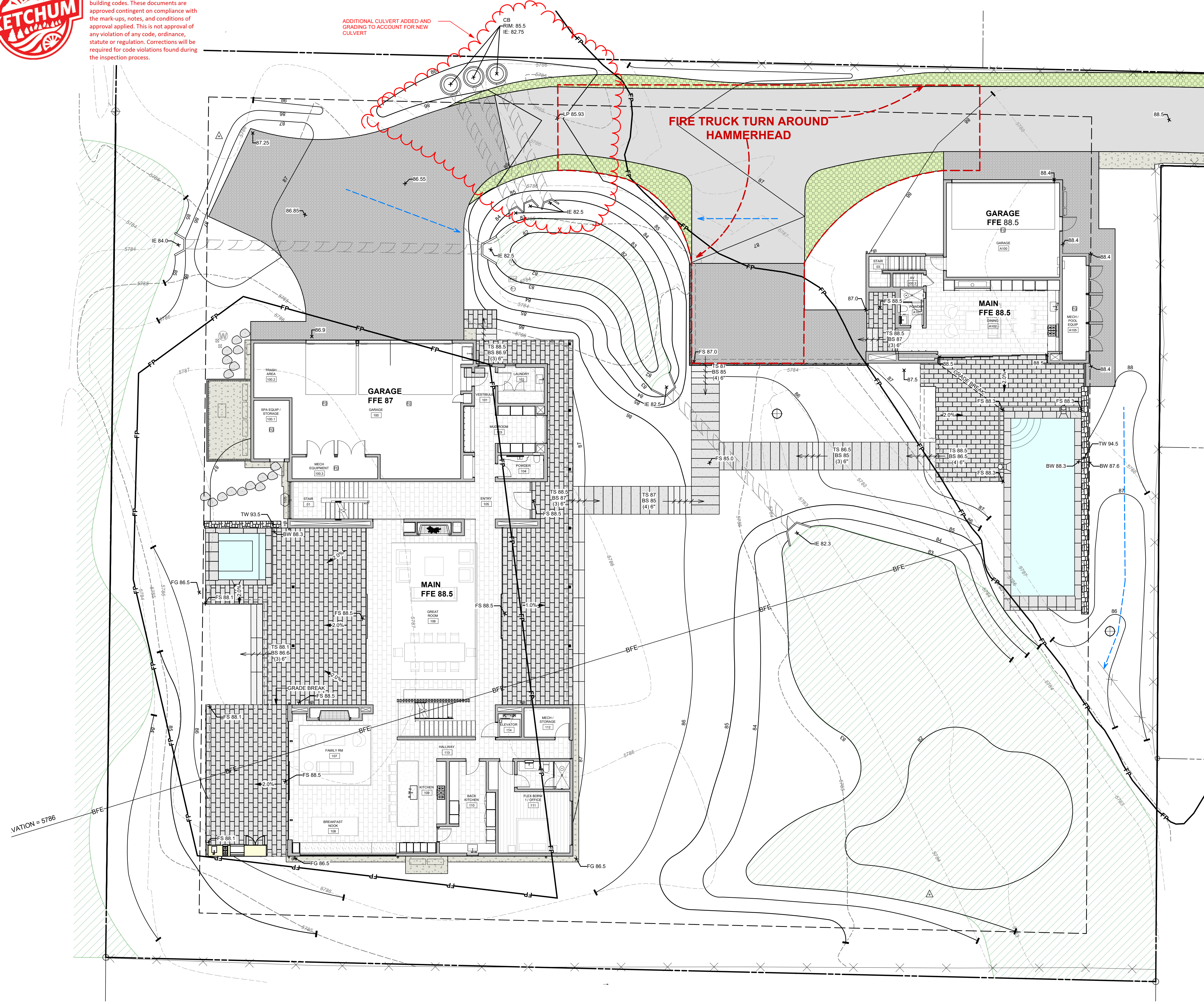
**L1.1**





**APPROVED**  
 These plans have been found to be in substantial compliance of the adopted building codes. These documents are approved contingent on compliance with the mark-ups, notes, and conditions of approval applied. This is not approval of any violation of any code, ordinance, statute or regulation. Corrections will be required for code violations found during the inspection process.

ADDITIONAL CULVERT ADDED AND GRADING TO ACCOUNT FOR NEW CULVERT



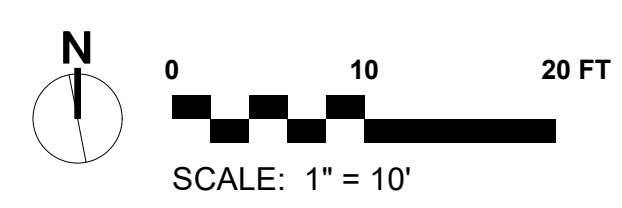
GRADING + DRAINAGE LEGEND	
SYMBOL	DESCRIPTION
	Catch Basin
	Drywell
	% Pitch
	Drainage Direction
<b>FFE</b>	Finished Floor Elevation
<b>+10.50</b>	Spot Elevation
<b>FG</b>	Finished Grade
<b>FS</b>	Finished Surface
<b>TS</b>	Top of Step
<b>BS</b>	Bottom of Step
<b>TW</b>	Top of Wall
<b>BW</b>	Bottom of Wall
<b>TM</b>	Top of Metal
<b>LP</b>	Low Point
<b>HP</b>	High Point
<b>IE</b>	Invert Elevation

**LANDSCAPE PLAN**  
**BADGER LANE**  
 121 BADGER LANE KETCHUM, ID 83340

FILENAME: **BADGER LANE\_wvx**  
 PROJECT MANAGER: **CG**  
 DRAWN BY: **LH**  
 ISSUE DATE: **4/29/2024**  
 PLOT DATE: **4/29/24 10:16:41 AM**

**GRADING PLAN**

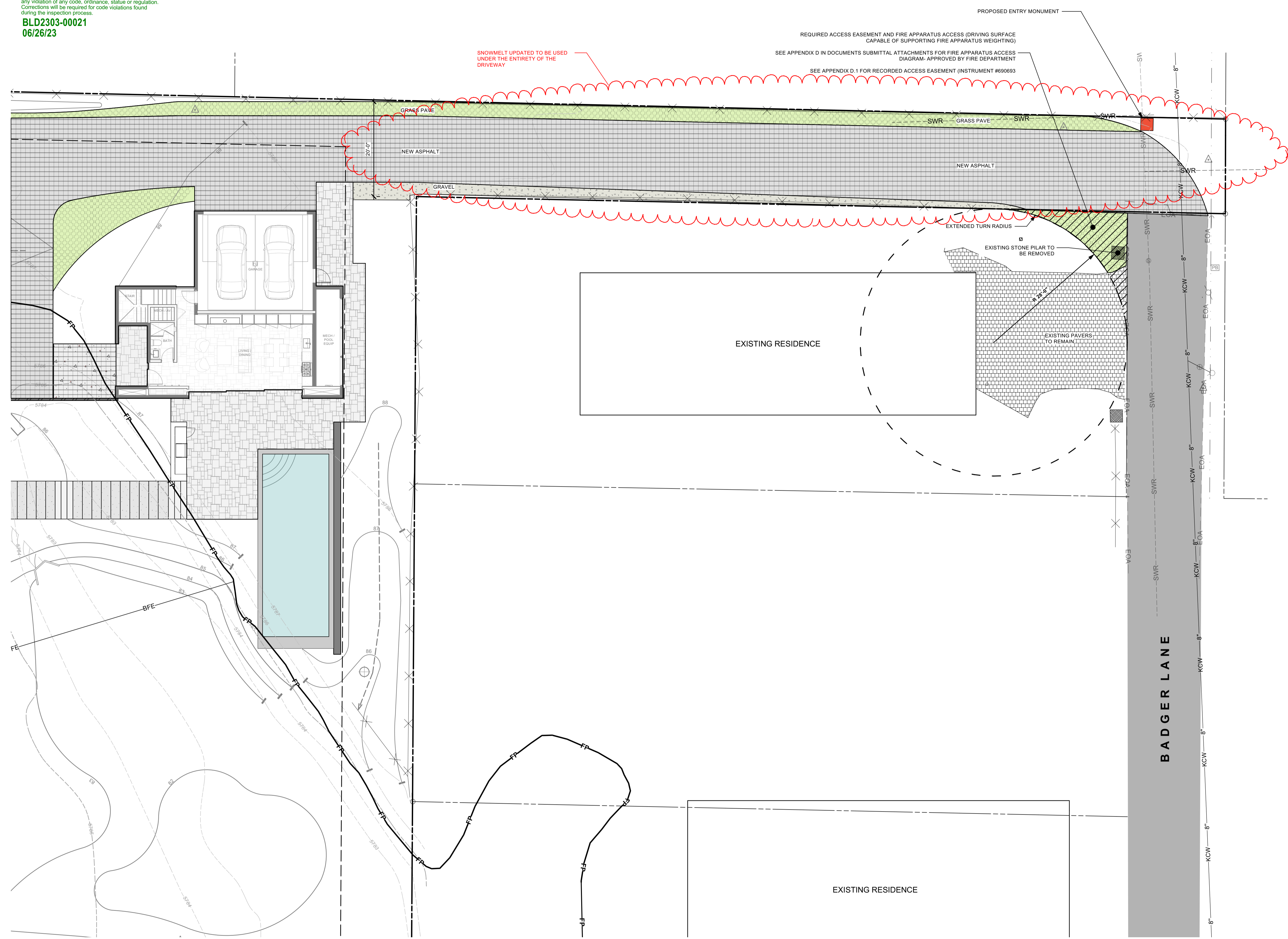
SHEET NO.



**L2.0**



Approved  
 These plans have been found to be in substantial compliance of the adopted building codes. These documents are approved contingent on compliance with the mark-ups and notes applied. This is not approval of any violation of any code, ordinance, statute or regulation. Corrections will be required for code violations found during the inspection process.  
**BLD2303-00021**  
**06/26/23**



SHEET LEGEND	
SYMBOL	DESCRIPTION
---	Property Line
---	Floodplain
---	Setbacks / Easements
(XXXX)	Existing Contours
XXXX	Proposed Contours
---	Existing Fence
(circle with cross)	Existing Vegetation
(triangle)	Survey Point
(green hatched)	Grass Pave
(diagonal lines)	Surface Material - Metal
(dotted)	Surface Material - Gravel
(cross-hatched)	Surface Material - Asphalt
(grid pattern)	Surface Material - Stone
(brick pattern)	Surface Material - Stone Paver
(diagonal lines)	Landscape - Native
(green)	Landscape - Lawn
(green hatched)	Proposed Wetland
(dotted)	Snowmelted Surface

**BYLA**  
 LANDSCAPE ARCHITECTS  
 323 Lewis - Ketchum, ID  
 (208) 726 5907 • (208) 720 0215  
 www.byla.us

ISSUE: 8 5/4/2023 FP DEV/PERMIT REVISIONS  
 REVISIONS:  
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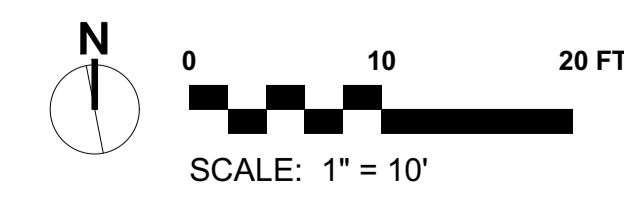
**LANDSCAPE PLAN**  
**BADGER LANE**  
 121 BADGER LANE KETCHUM, ID 83340

FILENAME: BADGER LANE\_FP  
 Dev Permit.vwx  
 PROJECT MANAGER: CG  
 DRAWN BY: LH  
 ISSUE DATE: 5/4/2023  
 PLOT DATE: 5/4/23 10:47:07 AM

**FRONT DRIVE EASEMENT**

SHEET NO.

**L2.1**



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BLD2303-00021  
 06/26/23



### SHEET LEGEND

SYMBOL	DESCRIPTION
---	Property Line
---	Floodplain
---	Setbacks / Easements
(XXXX)	Existing Contours
XXXX	Proposed Contours
✕	Existing Fence
△	Survey Point
○	Existing Vegetation
▨	Proposed Wetland
▨	Grass Pave
▨	Surface Material - Metal
▨	Surface Material - Gravel
▨	Surface Material - Asphalt
▨	Surface Material - Stone
▨	Surface Material - Stone Paver
▨	Landscape - Native
▨	Landscape - Lawn
○	Landscape - Trees

### IRRIGATION SCHEDULE

AREA DESCRIPTION	IRRIGATION TYPE
Trees + Shrubs	Buried Drip Irrigation
Perennial Beds	N/A
Lawn	Overhead Irrigation
Native Re-Veg	Temporary Overhead

**IRRIGATION NOTES:**  
 ALL TREES TO HAVE DRIP IRRIGATION AND ALL OTHER PLANTINGS TO BE IRRIGATED

### PLANT SCHEDULE

TREES				
ABBRV	QTY	SIZE	BOTANICAL NAME	COMMON NAME
AC	24	8" B&B	<i>Abies concolor</i>	White Fir
AL	19	8"-12" B&B	<i>Abies lasiocarpa</i>	Subalpine Fir
PT	51	2"-4" CAL.	<i>Populus tremuloides</i>	Quaking Aspen

SHRUBS				
ABBRV	QTY	SIZE	BOTANICAL NAME	COMMON NAME
AA	8	5 GAL.	<i>Amelanchier alnifolia</i>	Serviceberry
CSI	115	10 gal.	<i>Cornus sericea 'Isanti'</i>	Isanti Red-Osier Dogwood
RA	13	5 GAL.	<i>Ribes alpinum</i>	Alpine Currant
SB	29	6" BB	<i>Salix bebbiana</i>	Bebb Willow

NATIVE GRASSES				
ABBRV	AREA	SIZE	BOTANICAL NAME	COMMON NAME
BC	7038.4 SF		<i>Bromus cernatus</i>	Mountain Brome

Lawn				
ABBRV	AREA	SIZE	BOTANICAL NAME	COMMON NAME
FL	5173.5 SF		<i>Festuca longifolia</i>	Hard Fescue

UPDATED PLANTING SCHEDULE

### LIGHTING LEGEND

SYMBOL	QTY	DESCRIPTION
●	15	Lighting - Path Light
○	7	Lighting - Wall Light

**LIGHTING NOTES:**  
 ALL LIGHTING SHOWN FOR DESIGN INTENT. ALL LIGHTING WILL BE COMPLIANT TO CITY OF KETCHUM DARK SKY LIGHTING ORDINANCES.

### PATH LIGHT

**QUAD LED PATH LIGHT**  
 6091

**WAC**  
 LANDSCAPE LIGHTING

**SPECIFICATIONS**  
**Input:** 9-15VAC (Transformer is required)  
**Power:** 3.0W / 4.5VA  
**Brightness:** Up to 100 lm  
**CRI:** 90  
**Rated Life:** 60,000 hours

### WALL LIGHT

**Model: WL-LED100**  
 LEDme® Step Light

**WAC LIGHTING**  
 Responsible Lighting®

**SPECIFICATIONS**  
**Construction:** Die-cast aluminum or 316 marine grade cast stainless steel  
**Power:** Direct wiring, no remote driver needed. Input voltage: 120V or 277VAC, 50/60Hz  
**Light Source:** 2700K or 3000K CCT Samsung HV AC High Power LED, CR: 90  
 Optional color lenses. Total power consumption of 3.5W  
**Mounting:** Fits into 2" x 4" J-Box with minimum inside dimensions of 3" x 2" x 2"  
 Includes bracket for J-Box mount.  
**Dimming:** Dim to 10% with electronic low voltage (ELV) dimmer  
 Approved dimmers: Lutron Nova TV-900 & TVELV-600, Lutron Wiser VTELV-400, Lutron Diva DVELV-300P, Lutron Skylark SELV-300P, Lutron Maestro MVELV-400  
**Standards:** IP66, UL & cUL, listed for wet locations, Title 24 JAB-2016 Compliant.

**PRODUCT DESCRIPTION**  
 Horizontal rectangular LEDme® Step Light. Designed for safety and style on stairways, patios, decks, balcony area, walkways and building perimeters.  
 Features an architectural design. Energy efficient for long lasting indoor and outdoor lighting solutions. Creates an attractive, romantic impression at night.

**BYLA**  
 LANDSCAPE ARCHITECTS

323 Lewis - Ketchum, ID  
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 www.byla.us

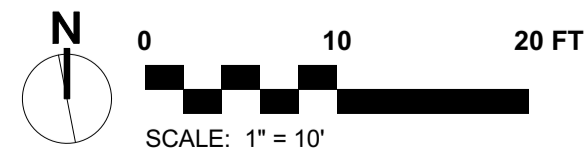
ISSUE: 8 5/4/2023 FP DEV/PERMIT REVISIONS  
 REVISIONS:  
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**LANDSCAPE PLAN**  
**BADGER LANE**  
 121 BADGER LANE KETCHUM, ID 83340

FILENAME: BADGER LANE\_FP  
 Dev Permit\_Lvwk  
 PROJECT MANAGER: CG  
 DRAWN BY: LH  
 ISSUE DATE: 5/4/2023  
 PLOT DATE: 5/4/23 5:21:16 PM

**LANDSCAPE PLAN**

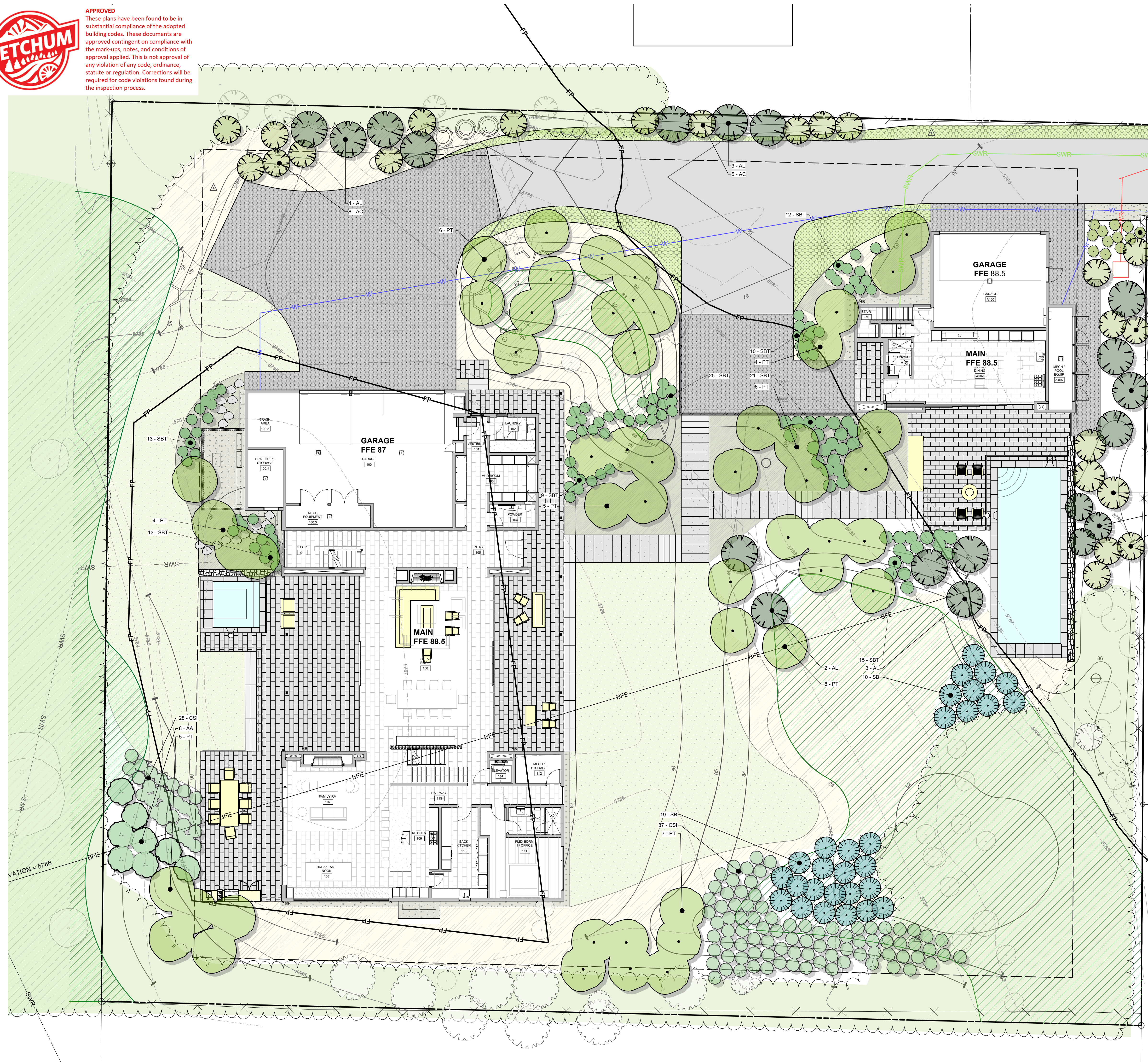
SHEET NO.



**L3.0**



**APPROVED**  
 These plans have been found to be in substantial compliance of the adopted building codes. These documents are approved contingent on compliance with the mark-ups, notes, and conditions of approval applied. This is not approval of any violation of any code, ordinance, statute or regulation. Corrections will be required for code violations found during the inspection process.



PLANT SCHEDULE				
TREES				
ABBRV	QTY.	SIZE	BOTANICAL NAME	COMMON NAME
AC	23	14' - 16' B&B	<i>Abies concolor</i>	White Fir
AL	19	12' - 16' B&B	<i>Abies lasiocarpa</i>	Subalpine Fir
PT	50	2'-4" CAL.	<i>Populus tremuloides</i>	Quaking Aspen
SHRUBS				
ABBRV	QTY.	SIZE	BOTANICAL NAME	COMMON NAME
AA	8	5 Gal.	<i>Amelanchier alnifolia</i>	Serviceberry
CSI	115	5 GAL.	<i>Cornus sericea 'saari'</i>	Saanit Red-Osier Dogwood
RA	25	5 GAL.	<i>Ribes alpinum</i>	Alpine Currant
SB	29	5 Gal.	<i>Salix bebbiana</i>	Bebb's Willow
SBT	118	5 Gal.	<i>Spiraea betulifolia 'Tor'</i>	Tor Birchleaf Spiraea
PERENNIALS				
ABBRV	AREA	SIZE	BOTANICAL NAME	COMMON NAME
P	810	1 gal.	Generic Perennial	TBD
NATIVE GRASSES				
ABBRV	AREA	SIZE	BOTANICAL NAME	COMMON NAME
BC	7038.4 SF		<i>Bromus carinatus</i>	Mountain Brome
Lawn				
ABBRV	AREA	SIZE	BOTANICAL NAME	COMMON NAME
FL	5173.5 SF		<i>Festuca longifolia</i>	Hard Fescue

IRRIGATION SCHEDULE	
AREA DESCRIPTION	IRRIGATION TYPE
Trees + Shrubs	Buried Drip Irrigation
Perennial Beds	N/A
Lawn	Overhead Irrigation
Native Re-Veg	Temporary Overhead

**GENERAL PLANTING NOTES:**

1. THE CONTRACTOR SHALL LOCATE AND VERIFY THE EXISTENCE OF ALL UTILITIES PRIOR TO STARTING WORK
2. CONTRACTOR SHALL CLEAR AND GRUB ALL EXISTING VEGETATION WITHIN NEW PLANTING AREAS, UNLESS OTHERWISE INDICATED, AS REQUIRED FOR THE SITE CONSTRUCTION AND PLANTING OPERATIONS. LIMITS OF CLEARING SHALL BE REVIEWED WITH LANDSCAPE ARCHITECT PRIOR TO COMMENCEMENT OF WORK. STRIP ALL ORGANIC MATTER TO A SUFFICIENT DEPTH TO COMPLETELY REMOVE SUCH MATERIAL.
3. EXISTING PLANT MATERIAL: PROTECT ALL EXISTING PLANT MATERIAL TO REMAIN. CONTRACTOR TO REPAIR ANY DAMAGE INCURRED AS A DIRECT RESULT OF THIS CONTRACT TO THE OWNER'S SATISFACTION AT NO ADDITIONAL COST.
4. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN ON ALL DRAWINGS.
5. ALL MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STANDARD FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
6. NO PLANT SHALL BE PUT INTO THE GROUND BEFORE ROUGH GRADING HAS BEEN FINISHED AND APPROVED BY THE PROJECT ARCHITECT OR EQUAL.
7. WITH CONTAINER GROWN STOCK, THE CONTAINER SHALL BE REMOVED AND THE CONTAINER BALL SHALL BE CUT THROUGH THE SURFACE IN TWO VERTICAL LOCATIONS.
8. THE DAY PRIOR TO PLANTING, THE LOCATION OF ALL TREES AND SHRUBS SHALL BE STAKED BY CONTRACTOR FOR APPROVAL BY PROJECT LANDSCAPE ARCHITECT OR EQUAL.
9. ALL PLANT MATERIAL SHALL BE SELECTED AT NURSERY BY THE PROJECT LANDSCAPE ARCHITECT OR OFFICE STAFF.
10. ALL PLANTS TO BE INSTALLED AS PER DETAILS AND THE CONTRACT SPECIFICATIONS.
11. ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL THEN BE WATERED WEEKLY, IF NECESSARY, DURING THE FIRST GROWING SEASON.
12. MULCH: INSTALL A UNIFORM TWO INCH COVERING OF COMPOST PER SPEC.
13. TOPSOIL: LAWN AREAS TO RECEIVE A FOUR (4) INCH LAYER OF NATIVE/IMPORT TOPSOIL. PERENNIAL BEDS TO RECEIVE A TWELVE (12) INCH LAYER OF AMENDED 60/40 BLEND - CONTRACTOR TO PROVIDE SPEC. PRIOR TO MATERIAL ARRIVING ON SITE.
14. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO INSPECT AND REJECT PLANT MATERIAL AT ANY POINT FROM DELIVERY THROUGH WARRANTY PERIOD. CONTRACTOR TO REPLACE MATERIAL DURING CURRENT PLANTING WINDOW.

**SOIL PREPARATION NOTES:**

1. BED PREPARATION: prepare soils in planting areas by roto-tilling amendment and topsoil to a depth of 8" below finished soil surface in all planted areas. Trees will require over-excavation and backfill with amended soil.
2. DE-COMPACTION: subsiding in planting areas should be performed as required, at a depth of 12-24 inches in such a manner as will fracture compacted soil without adversely displacing surface soil, or disturbing plant life, topsoil and surface residue. Multiple passes at varying angles are required to ensure suitability for growth. When using disc or ripping equipment, it is required that the final passes over the area be made with a roto-tiller to break up any large clumps to make final grading easier. Proper equipment, and method are critical.
3. LANDSCAPE CONSTRUCTION COMPACTION MITIGATION: compaction during construction should be minimized as possible and remediated as required to less than 80% using methods described, prior to plant installation.
4. The landscape contractor shall complete the following. Strip existing topsoil and stockpile on site for later use. Conduct a soil evaluation and provide written lab report to determine the existing soil's: composition, compaction rate, nutrient qualities, organic content, pH levels and water holding capabilities.
5. The ideal particle soil mix for this project is approximately 45% sand, 40% silt, 10% clay and 5% organic material with a pH level near seven. Prior to the installation of the landscape and irrigation system, contractor to prepare soil to ensure a proper environment for plant root development.
6. SOIL AMENDMENT: after initial soil de-compaction procedures are performed, soil amendments should be added. The addition of soil amendments is determined from soil tests conducted prior to work commencing. Soil amendment may include inorganic material such as sand, silt or clay, which help improve soil texture. Organic material such as compost, manure, and peat moss may also be used and help improve soil structure. Other amendments shall be added as specified in required soils report. All amendments should be mixed thoroughly with existing soil and an additional soil test will be taken to ensure proper soil conditions prior to planting.
7. SUPPLEMENTAL TOPSOIL: if necessary, provide new topsoil that is fertile, friable and natural loam surface soil, reasonably free of subsoil, clay, clay clumps, brush weeds, and other litter and free of roots, stumps, stones larger than 2" in any dimension and other extraneous or toxic matter harmful to plant growth. Obtain topsoil from local sources or from areas having similar soil characteristics to that necessary for vigorous growth of specified plantings. Obtain topsoil that occurs in a depth of not less than 6". Do not obtain soil from bogs or marshes.
8. TURF/SOD PREPARATION: prepare soils in seed and sod areas by roto-tilling amendment and topsoil to a depth of 4" below finished soil surface.

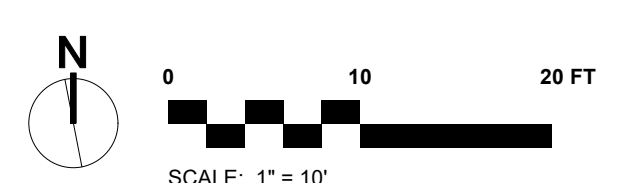
**LANDSCAPE PLAN**  
**BADGER LANE**  
 121 BADGER LANE KETCHUM, ID 83340

FILENAME: **BADGER\_LANE\_vwx**  
 PROJECT MANAGER: **CG**  
 DRAWN BY: **LH**  
 ISSUE DATE: **4/29/2024**  
 PLOT DATE: **4/29/24 10:16:44 AM**

**PLANTING PLAN**

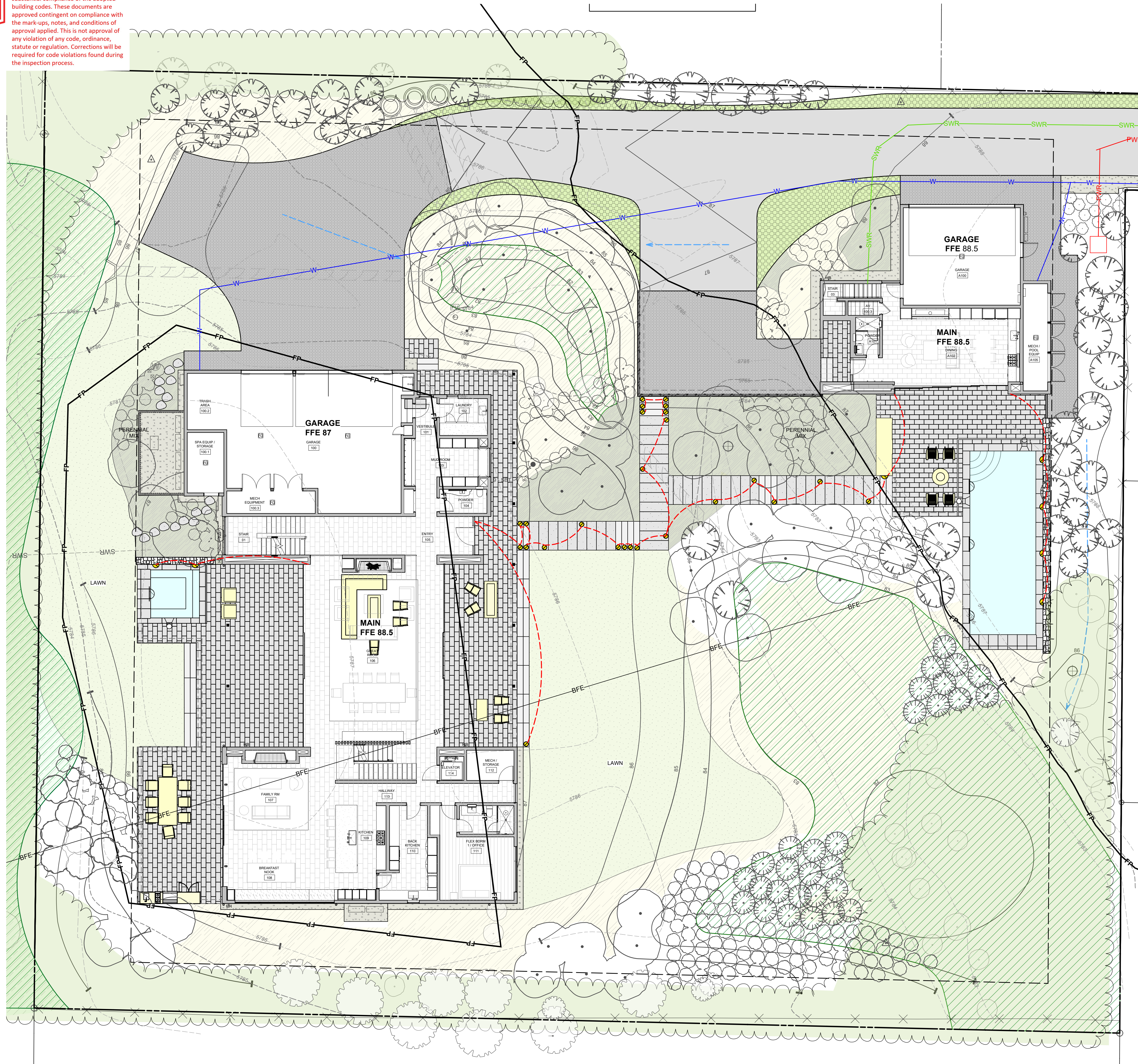
SHEET NO.

**L5.0**





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FIXTURE LEGEND			
SYMBOL	QTY.	TYPE	DESCRIPTION
	15	PATH LIGHT	WAC- 2" INGROUND QUAD-DIRECTIONAL
	7	WALL LIGHT	WAC-WL-LED100
	4	POOL/SPA	PER POOL CONTRACTOR

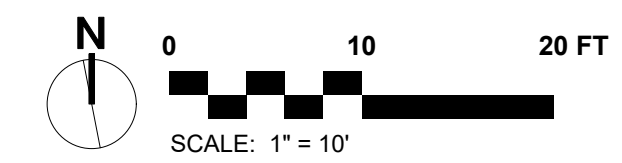
**LIGHTING NOTES:**  
 ALL LIGHTING SHOWN FOR DESIGN INTENT.  
 ALL LIGHTING WILL BE COMPLIANT TO CITY OF KETCHUM DARK SKY LIGHTING ORDINANCES.

**LANDSCAPE PLAN**  
**BADGER LANE**  
 121 BADGER LANE KETCHUM, ID 83340

FILENAME: **BADGER\_LANE\_vwx**  
 PROJECT MANAGER: **CG**  
 DRAWN BY: **LH**  
 ISSUE DATE: **4/29/2024**  
 PLOT DATE: **4/29/24 10:16:46 AM**

**LIGHTING +  
 UTILITY PLAN**

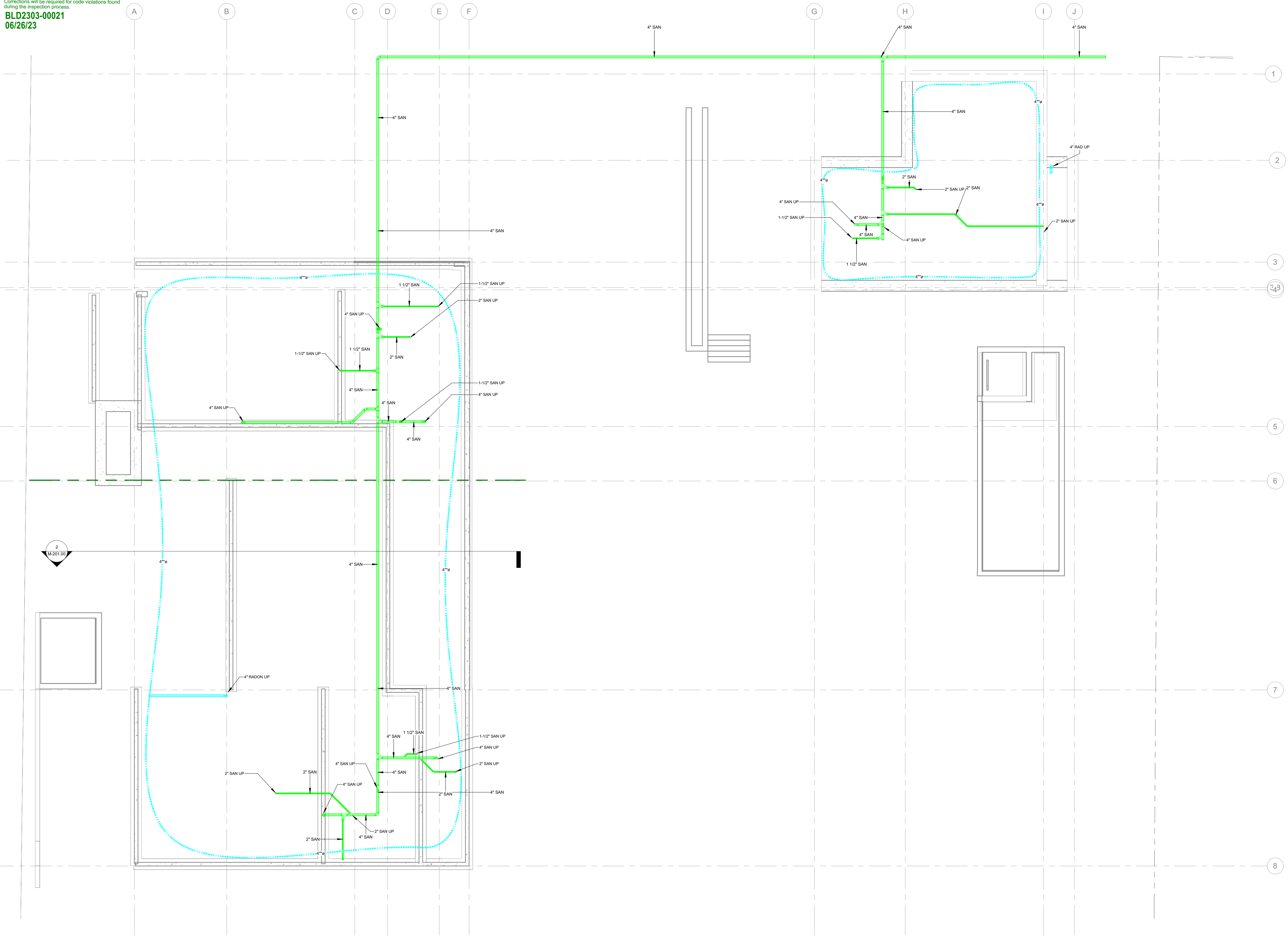
SHEET NO.



**L6.0**



**Approved**  
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**BLD2303-00021**  
**06/26/23**



**CES Engineering Services MT, LLC**  
 1001 W Oak, Building B,  
 Suite 107  
 Bozeman MT 59715  
 406.272.0352  
 www.ceseng.com

2022661

**ISSUANCES**

NO.	DATE	DESCRIPTION
1		
2		
3		
4		
5		
6		

**REVISIONS**

NO.	DATE	DESCRIPTION

**121 BADGER LANE**  
**KETCHUM IDAHO**

**PLUMBING - SUBSLAB**

DATE: 12/15/2022

PROJECT NO: 2022661

DRAWN:

CHECKED:

ISSUED FOR: PERMIT

REVISIONS:

SEAL:

SHEET NO.

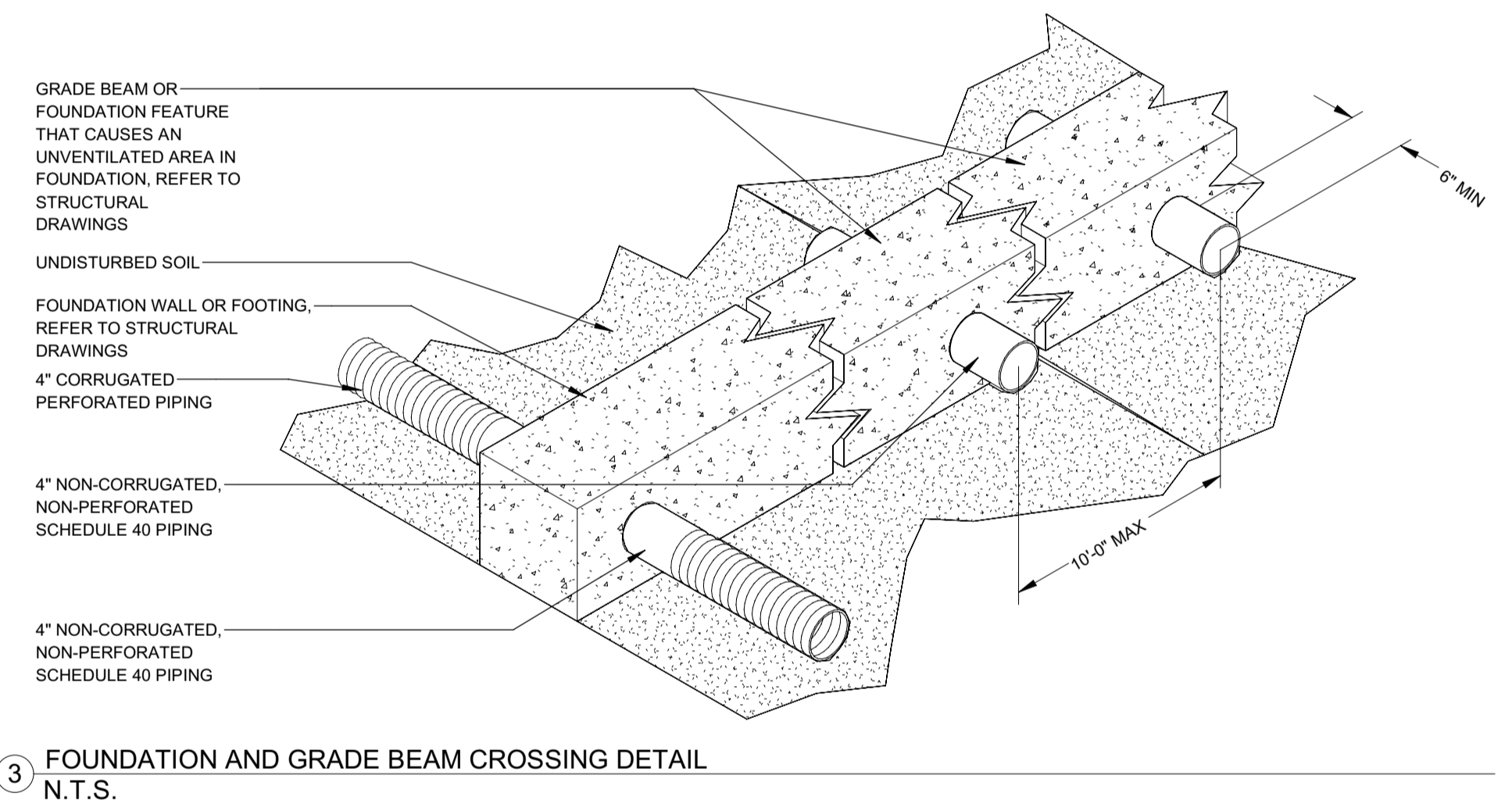
**P-100.00**

2022661

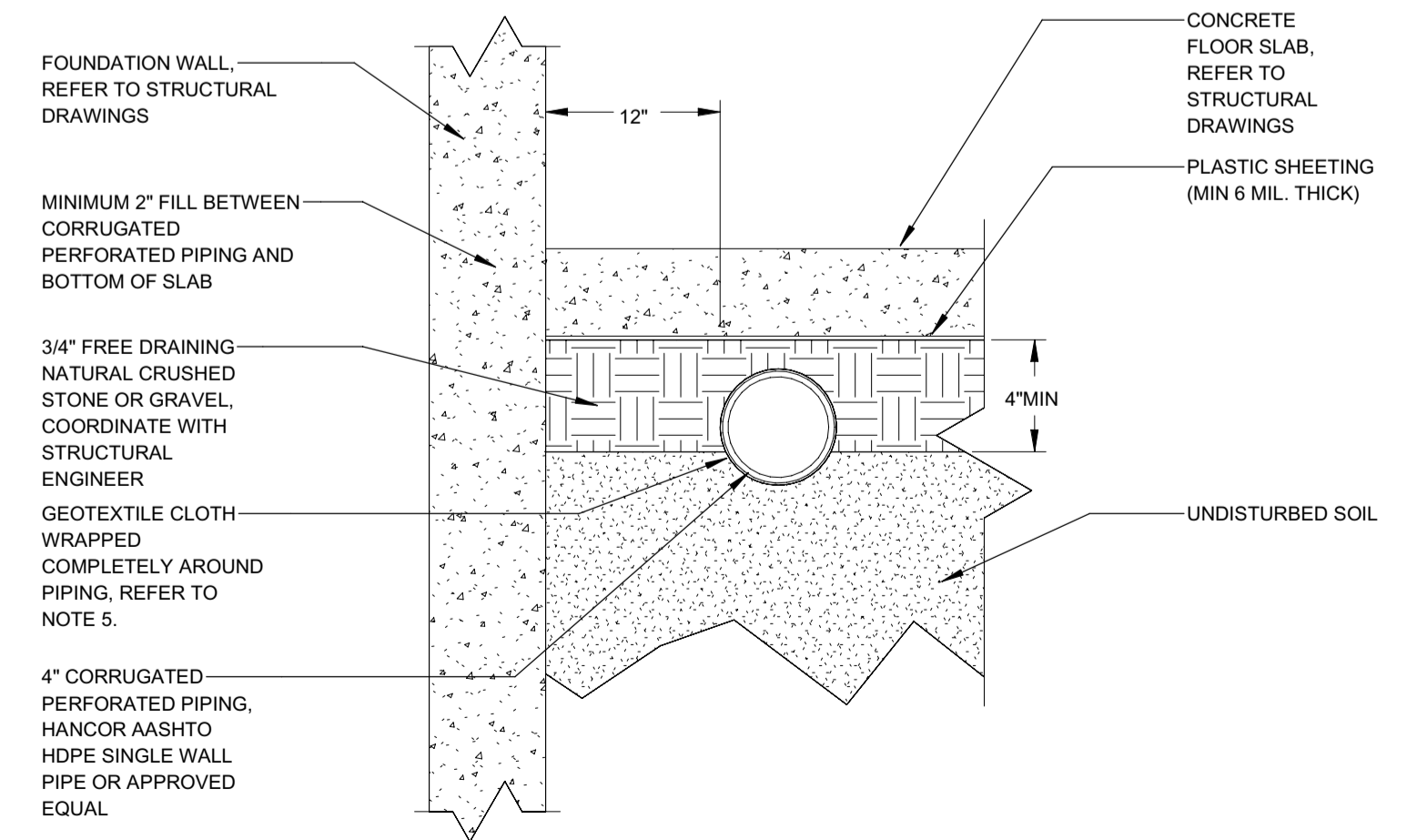
RADON FAN SCHEDULE													
SYMBOL	MANUFACTURER	MODEL	TYPE	LOCATION	SERVING	MAX AIRFLOW	MAX ESP	FAN SPEED	PHASE	VOLTAGE	AMPS	WEIGHT	REMARKS
RF-1	FANTECH	RMEC-4	INLINE	SEE PLANS	RADON RISER	555 CFM	4.4" WC	4084 RPM	1	120 V	2.1 A	7.8 LBS	1.2
RF-2	FANTECH	RMEC-4	INLINE	SEE PLANS	RADON RISER	555 CFM	4.4" WC	4084 RPM	1	120 V	2.1 A	7.8 LBS	1.2

REMARKS:  
 1. INSTALL FAN IN VERTICAL RUN OF PIPE.  
 2. INSTALL FAN NO MORE THAN 10 FT FROM RADON EXHAUST PIPE TERMINATION TO BUILDING EXTERIOR.

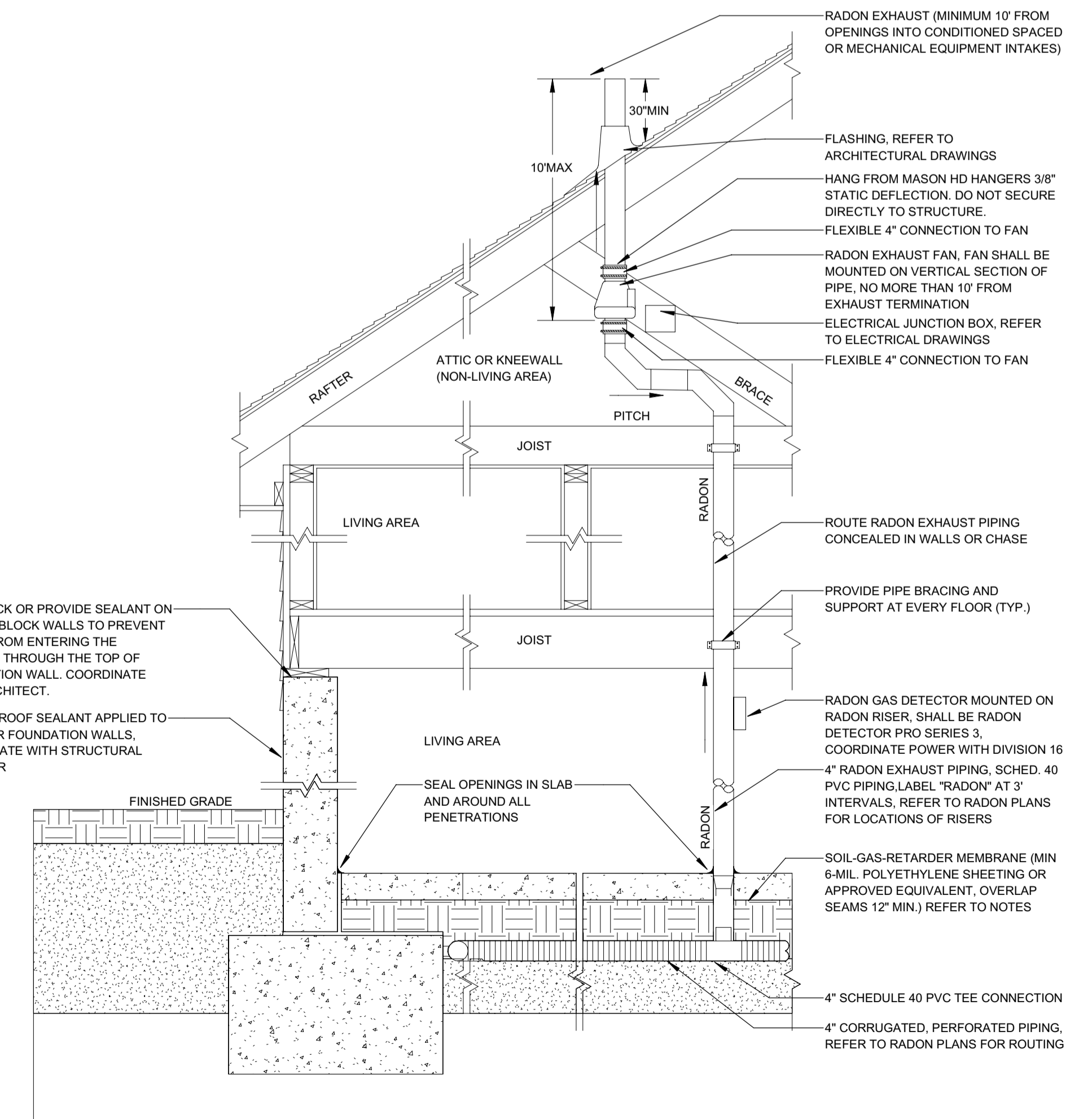
- ### RADON NOTES
- UNDER SLAB RADON PIPING SHALL BE INSTALLED WITH A PITCH UPTOWARDS THE RISER OF 1/16" PER LINEAR FOOT.
  - THROUGH SLAB RADON RISER SHALL BE 4" SCHEDULE 40 PVC.
  - ALL OPENINGS, GAPS, AND JOINTS IN FLOOR SLAB AND WALL ASSEMBLIES IN CONTACT WITH SOIL OR GAPS AROUND PIPES, TOILETS, BATHTUBS, DRAINS OR ANY OTHER SLAB PENETRATION IN THE FLOOR OR WALL ASSEMBLIES SHALL BE AIR-TIGHT SEAL. SEAL LARGE OPENINGS WITH NON-SHRINK MORTAR, GROUTS, OR EXPANDING FOAM AND SMALL GAPS WITH ELASTOMETRIC JOINT SEALANT, AS DEFINED IN ASTM C920-07. COORDINATE SEALANT SPECIFICATIONS WITH STRUCTURAL ENGINEER.
  - ALL UNDER SLAB CORRUGATED PERFORATED PIPING SHALL BE WRAPPED IN A GEOTEXTILE CLOTH TO REDUCE CLOGGING. CLOTH SHALL BE PROPEX GEOTEX OR APPROVED EQUAL.
  - 2" FILL SHALL BE PROVIDED BETWEEN THE TOP OF THE CORRUGATED PERFORATED PIPE AND THE BOTTOM OF THE FLOOR SLAB.
  - ALL SUB-SLAB PIPING, FOUNDATION AND FOOTING PENETRATIONS, AND RADON RISER LOCATIONS SHALL BE COORDINATED WITH THE STRUCTURAL ENGINEER.
  - ALL CONCRETE SLABS THAT COME IN CONTACT WITH THE GROUND SHALL BE LAID OVER A GAS PERMEABLE MATERIAL MADE UP OF A MINIMUM 4" THICK UNIFORM LAYER OF CLEAN AGGREGATE, 3/4" IN DIAMETER.
  - RADON EXHAUST PIPING SHALL BE INSTALLED SO THAT ANY RAINWATER OR CONDENSATION DRAINS DOWNWARD INTO THE GROUND BENEATH THE SLAB OR SOIL-GAS-RETARDER MEMBRANE.
  - ALL POSITIVELY PRESSURED PORTIONS OF THE RADON EXHAUST PIPING AND FAN SHALL BE LOCATED OUTSIDE THE HABITABLE SPACE OF THE BUILDING.
  - AN ALARM SIGNAL SHALL BE SENT TO THE SECURITY SYSTEM IF THERE IS A LOSS OF PRESSURE OF AIR FLOW IN THE RADON EXHAUST PIPE.
  - PROVIDE RADON GAS DETECTORS IN BASEMENT, AND ALL FLOORS WITH LIVABLE SPACE. COORDINATE FINAL LOCATION WITH ARCHITECT.
  - 45° BENDS SHALL BE USED TO CHANGE IN RADON EXHAUST PIPING DIRECTION.
  - SEAL ALL BUILDING CHASES FROM FLOOR TO FLOOR TO REDUCE THE RADON FLOWING INTO THE BUILDING DUE TO 'STACK EFFECT' STANDARD AIR TIGHTNESS METHODS ARE ACCEPTABLE.



3 FOUNDATION AND GRADE BEAM CROSSING DETAIL  
 N.T.S.



2 RADON PIPE TRENCH DETAIL  
 N.T.S.



1 TYPICAL RADON RISER EXHAUST DETAIL  
 N.T.S.

121 BADGER LANE  
 KETCHUM IDAHO

RADON DETAILS

DATE:	12/15/2022
PROJECT NO:	2022661
DRAWN:	Author
CHECKED:	Checker
ISSUED FOR:	PERMIT

SEAL:

SHEET NO.

P-303.00





- MECHANICAL AND ADHESIVE ANCHORS**
- ADHESIVE ANCHORS AND DOWELS INSTALLED INTO CONCRETE:
    - A. "SET-XP" BY SIMPSON STRONG TIE (COLA RR#25744, ESR#2508)
    - B. "HIT-HY 20" BY HILTI, INC. (COLA RR#25964, ESR#3187)
    - C. "HIT-RE 500 1/3" BY HILTI, INC. (COLA RR#26028, ESR#3814)
    - D. "PURE110+" BY DEWALT (COLA RR#26035, ESR#3298)
  - ADHESIVE ANCHORS AND DOWELS INSTALLED INTO GROUT-FILLED MASONRY UNITS:
    - A. "SET-XP" BY SIMPSON STRONG TIE (COLA RR#25965, IAPMO ER#265)
    - B. "AC100-GOLD" BY DEWALT (COLA RR#26049, ESR#3200)
  - ADHESIVE ANCHORS AND DOWELS INSTALLED INTO UNREINFORCED BRICK MASONRY (URM):
    - A. "EPOXY-TIE ET-HP" BY SIMPSON STRONG TIE, IN CITY OF LOS ANGELES ONLY (COLA RR#25120)
    - B. "EPOXY-TIE SET" BY SIMPSON STRONG TIE, NOT IN CITY OF LOS ANGELES (ESR#1772)
    - C. "AC100-GOLD" BY DEWALT (ESR#4105)
  - MECHANICAL ANCHORS INSTALLED INTO CONCRETE:
    - A. "STRONG BOLT 2" BY SIMPSON STRONG-TIE (COLA RR#25891, ESR#3037)
    - B. "KWIK BOLT 3" BY HILTI, INC. NOT IN CITY OF LOS ANGELES (ESR#2302)
    - C. "KWIK BOLT 2" BY HILTI, INC. (COLA RR#25701, ESR#1917)
    - D. "POWER-STUD+SD2" BY DEWALT (COLA RR#26035, ESR#2502)
  - MECHANICAL ANCHORS INSTALLED INTO GROUT-FILLED MASONRY UNITS:
    - A. "STRONG BOLT 2" BY SIMPSON STRONG-TIE (COLA RR#25936, IAPMO#240)
    - B. "POWER-STUD+SD1" BY DEWALT (COLA RR#25864, ESR#2966)
  - ADHESIVE ANCHORS: ASTM A36 THREADED RODS WITH ASTM A 563 GRADE A NUTS AND ANSI B18.22.1 TYPE A WASHERS, UNLESS OTHERWISE NOTED. ANCHORS DESIGNATED AS ASTM A193 GRADE B7 THREADED RODS TO USE ASTM A 563 GRADE DH HEAVY HEX NUTS AND ASTM F 436 WASHERS.
  - ADHESIVE DOWELS: ASTM A615 GRADE 60 REINFORCING STEEL.
  - ALL ANCHORS SHALL BE INSTALLED IN ACCORDANCE WITH ICC-ES REPORT AND COLA REPORT AND MANUFACTURERS RECOMMENDATIONS.
  - UNLESS OTHERWISE NOTED, PROVIDE MINIMUM EMBEDMENT OF ANCHORS PER ICC-ES REPORT, COLA REPORTS & MANUFACTURERS RECOMMENDATIONS.
  - CONFIRM FINAL ANCHOR LOCATIONS PRIOR TO FABRICATING PLATES, MEMBERS, OR OTHER STEEL ASSEMBLIES ATTACHED WITH MECHANICAL OR ADHESIVE ANCHORS. AT CONTRACTOR OPTION, OVERSIZED HOLES AND WELDED PLATE WASHERS CAN BE USED IN LIEU OF STANDARD DIAMETER HOLES. SIZE & WELD
  - PRIOR TO ALL DRILLING OR CORING, THE CONTRACTOR SHALL (1) VERIFY THE EXISTING CONCRETE OR MASONRY THICKNESS TO PREVENT DAMAGE TO THE OPPOSITE FACE OF CONCRETE AND MAINTAIN 1-1/2" CLEAR COVER U.N.O., AND (2) IDENTIFY EXISTING REINFORCING LOCATIONS BY PACHOMETER, PROBING, CHIPPING, ETC. TO AVOID DAMAGE EXISTING REINFORCING.
  - IF REINFORCEMENT IS ENCOUNTERED DURING DRILLING, ABANDON AND SHIFT THE HOLE LOCATION TO AVOID THE REINFORCEMENT. PROVIDE A MINIMUM OF 2 ANCHOR DIAMETERS OR 1 INCH, WHICHEVER IS LARGER, OF SOUND CONCRETE BETWEEN THE DOWEL AND THE ABANDONED HOLE. FILL THE ABANDONED HOLE WITH NON-SHRINK GROUT. IF THE ANCHOR OR DOWEL MAY NOT BE SHIFTED AS NOTED ABOVE, THE ENGINEER WILL DETERMINE A NEW LOCATION.
  - ANCHORS SHALL BE PROOF-TESTED BY OWNER'S TESTING AND INSPECTION AGENCY. TEST 20% OF ALL ANCHORS.
  - TEST ANCHORS NO SOONER THAN 24 HOURS AFTER INSTALLATION.
  - APPLY TEST LOAD BY ANY METHOD THAT WILL EFFECTIVELY MEASURE THE TENSION ON THE ANCHOR SUCH AS DIRECT PULL WITH A HYDRAULIC JACK, TORQUE WRENCH, OR CALIBRATED SPRING-LOADING DEVICES, ETC.
  - ADHESIVE ANCHORS SHALL BE INSTALLED IN CONCRETE OR GROUT HAVING A MINIMUM AGE OF 21 DAYS AT THE TIME OF ANCHOR INSTALLATION.
  - ALLOW FOR CURING TIME PER MANUFACTURER RECOMMENDATIONS PRIOR TO POURING FRESH CONCRETE AGAINST DRILL AND EPOXY ELEMENTS.
  - FOR EXTERIOR AND FOR EXPOSED APPLICATIONS PROVIDE HOT DIP GALVANIZED OR STAINLESS STEEL ANCHORS.

**STRUCTURAL SCOPE - BID**

- 1. THE FRAMING AND OTHER STRUCTURAL ELEMENTS SPECIFIED IN THESE PLANS REPRESENT STRUCTURAL FRAMING OF THE MAIN STRUCTURE.
- 2. AN APPROPRIATE ALLOWANCE SHALL BE PLANNED FOR AND PROVIDED TO ALLOW FOR ADDITIONAL MISCELLANEOUS FRAMING/BLOCKING, NOT PART OF THE MAIN STRUCTURE, AS REQUIRED FOR SUPPORT OF NON STRUCTURAL ELEMENTS SUCH AS, BUT NOT LIMITED TO, SUSPENDED CEILINGS, SOFFITS, COVES, ARCHITECTURAL FURRING AND BLOCKING, MECHANICAL DUCT WORK AND EQUIPMENT, ELECTRICAL FIXTURES & ROUTING, PLUMBING CHASES, SPRINKLERS, AND OTHER RELATED NONSTRUCTURAL ELEMENTS. CONSULT AND COORDINATE WITH ARCHITECTURAL DRAWINGS AND MECHANICAL, ELECTRICAL, & PLUMBING DRAWINGS (OR MEP DESIGN-BUILD CONTRACTOR OR SUBCONTRACTORS) FOR SPECIFIC GUIDANCE IN THIS REGARD.
- 3. FRAMING LAYOUT AND OTHER STRUCTURAL ELEMENTS TO BE COORDINATED WITH AND ALIGNED TO / PROVIDE FOR APPROPRIATE ALIGNMENT WITH NON STRUCTURAL ELEMENTS PER PREVIOUS PARAGRAPH CONSULT AND COORDINATE WITH ARCHITECTURAL DRAWINGS AND MECHANICAL, ELECTRICAL, & PLUMBING DRAWINGS (OR MEP DESIGN-BUILD CONTRACTOR OR SUBCONTRACTORS) FOR SPECIFIC GUIDANCE IN THIS REGARD.
- 4. THESE DRAWINGS ARE NOT MEANT AS A BID SET UNLESS SPECIFICALLY INDICATED IN THE SUBMITTAL ISSUANCE NAME AS "BID SET". PLEASE CONFIRM WITH SEOR PRIOR TO USING THESE DRAWINGS AS A BID SET.
- 5. STRUCTURAL ITEMS THAT ARE TO BE CONTRACTOR DESIGNED AND BUILT ARE PER THE DEFERRED SUBMITTAL LIST ON STRUCTURAL AND/OR ARCHITECTURAL DRAWINGS.
- 6. THE FOLLOWING ITEMS ARE EXAMPLES OF ITEMS THAT ARE NOT INCLUDED IN THE DRAWINGS AND SHALL BE ESTIMATED AND PROVIDED BY THE CONTRACTOR BASED ON OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS:
  - A. MEP ANCHORAGE
  - B. FIRE SPRINKLERS
  - C. ELEVATORS MISC. STEEL
  - D. FACADE ATTACHMENT
  - E. LANDSCAPE ELEMENTS
  - F. MONUMENTS AND ARTWORK
  - G. SIGNAGE
  - H. POOL SHELL AND EQUIPMENT ANCHORAGE
  - I. CABLE SYSTEMS
  - J. MISC. METAL SHOWN IN CONSULTANTS' DRAWINGS OR REQUIRED FOR ATTACHMENTS OF THEIR COMPONENTS.
  - K. GUARD RAIL INFILLS
  - L. GLAZING AND ATTACHMENT
  - M. STOREFRONT OR CURTAIN WALL
  - N. ALL ALUMINUM
  - O. INTERIOR AND DECORATIVE ELEMENT ATTACHMENTS
  - P. PFE BACKING OR ATTACHMENTS.
  - Q. AWNINGS

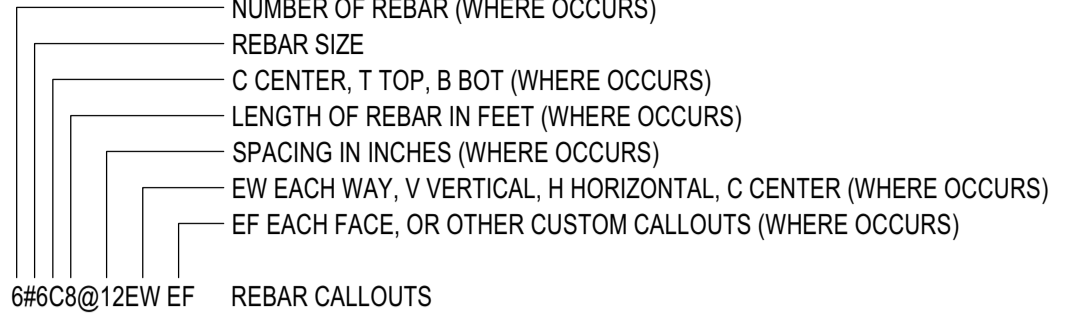
**SHOTCRETE**

- 1. SHOTCRETE MAY BE USED IN LIEU OF POURED-IN-PLACE CONCRETE IN LOCATIONS WHERE ALL OF THE FOLLOWING CONDITIONS ARE MET:
  - A. SHOTCRETE CONSTRUCTION COMPLIES WITH ALL REQUIREMENTS OF THE 2019 CALIFORNIA BUILDING CODE (2020 LOS ANGELES BUILDING CODE FOR PROJECTS WITHIN LOS ANGELES JURISDICTION)
  - B. NON-CONTACT LAP SPLICES ARE PROVIDED
  - C. REINFORCEMENT SIZE AND SPACING AS SHOWN ON THE DRAWINGS COMPLIES WITH ACI/IBC REQUIREMENTS FOR SHOTCRETE
    - D. REBAR SIZE IS LIMITED TO:
      - #5 IN CITY OF LA. GC MAY APPLY FOR CODE MODIFICATION TO OBTAIN PERMIT TO USE LARGER DIAMETERS
      - #8 IN ALL OTHER CASES
    - E. REPRESENTATIVE MOCK UP PANELS ARE SHOT, DISASSEMBLED AND APPROVED FOR STRUCTURAL QUALITY PRIOR TO CONCRETE PLACEMENT ON THE BUILDING
    - F. REPRESENTATIVE PANELS ARE SHOT AND APPROVED FOR ARCHITECTURAL FINISH QUALITY COMPARABLE TO POURED-IN-PLACE CONCRETE PRIOR TO CONCRETE PLACEMENT
    - G. MEETS ALL REQUIREMENTS OUTLINED IN THE SPECIFICATIONS.
- 2. MIX DESIGN AND PLACEMENT OF SHOTCRETE TO BE OF SAME OR HIGHER QUALITY AND STRENGTH AS CONVENTIONALLY FORMED AND PLACED REINFORCED CONCRETE. ALL MATERIALS SHALL MEET REQUIREMENTS OF ASTM C 1436.
- 3. ALL THE REQUIREMENTS OF CALIFORNIA BUILDING CODE SECTION 1913 & 1924 FOR WET MIX SHOTCRETE (SEE BELOW) AND ACI 506R-05 SHALL BE FOLLOWED FOR SHOTCRETE WORK, INCLUDING BUT NOT LIMITED TO PLACEMENT OF REINFORCING STEEL, TEST PANEL REQUIREMENTS AND CORES.
- 4. REINFORCING STEEL SHALL BE SECURELY TIED IN PLACE IN A MANNER THAT PREVENTS MOVEMENT DURING THE WET MIX SHOTCRETE APPLICATION.
- 5. THE HEIGHT OF A LAYER SHALL BE LIMITED TO NOT MORE THAN THREE FEET AND A SUCCEEDING LAYER SHALL NOT BE PLACED IN LESS THAN THREE HOURS. NO SLOUGHING OR SAGGING SHALL BE PERMITTED.
- 6. SLUMP SHALL BE 2" (+ OR - 1/2") AND SHALL BE MEASURED AT THE POINT OF DISCHARGE FROM THE MIXER (EXCEPT THE BUILDING INSPECTOR MAY REQUIRE SLUMP TESTS AT THE DISCHARGE POINT WHERE WATER MAY HAVE BEEN ADDED).
- 7. A CAPABLE NOZZLEMAN'S HELPER WITH AN AIR BLOW PIPE SHALL BE PROVIDED TO ASSIST THE NOZZLEMAN IN KEEPING ALL REBOUND BUILD-UP OUT OF THE WORK. ADDITIONAL WORKERS MAY BE REQUIRED TO TAKE THE REBOUND FROM THE WORK IF THE REBOUND CANNOT BE REMOVED BY THE AIR BLOW PIPE.
- 8. THE CONTRACTOR SHALL AGREE TO PROVIDE A DESIGNATED LIAISON BETWEEN HIS CREW, THE TESTING AGENCY AND THE BUILDING INSPECTOR. ONE DEPUTY SHALL BE ASSIGNED TO EACH NOZZLE.
- 9. SPECIAL PLACEMENT METHODS SHALL BE USED BEHIND STEEL EMBEDDED PLATES, KEYWAYS, ETC. FOR PROPER CONSOLIDATION AND ELIMINATION OF ANY VOIDS OR AIR POCKETS. NO KEYWAYS OR EMBEDMENTS SHALL BE PLACED IN THE FRONT FACE THAT WILL INTERFERE WITH THE STREAM FROM THE NOZZLE.
- 10. A COPY OF THE LOS ANGELES INFORMATION BULLETIN/PUBLIC BUILDING CODE AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE. DOCUMENT NO. PIBC 2014-051.
- 11. STRENGTH TEST PANELS SHALL BE MADE IN ACCORDANCE WITH LABC SECTION 1924.10, ITEM 2. PREPARE AND TEST SPECIMENS IN COMPLIANCE WITH ASTM C 39 AND ASTM C 42. LOCATION OF SAMPLES WILL BE DESIGNATED BY THE ARCHITECT. SIZE SHALL BE 4 IN. IN DIAMETER. SEE SPECIFICATIONS FOR ADDITIONAL TESTING REQUIREMENTS AND PROCEDURES.
- 12. A 4"x4" MOCK-UP PANEL SHALL BE SHOT, CURED, CORED, AND TESTED PRIOR TO COMMENCEMENT OF THE PROJECT. THE MOCK-UP PANEL SHALL BE REPRESENTATIVE OF THE PROJECT AND SIMULATE JOB CONDITIONS AS CLOSELY AS POSSIBLE. THE PANEL THICKNESS AND REINFORCING SHALL REPRODUCE THE THICKEST AND MOST CONGESTED AREA IN THE STRUCTURAL DESIGN. IT SHALL BE SHOT AT THE SAME ANGLE, USING THE SAME NOZZLEMAN AND WITH THE SAME CONCRETE MIX DESIGN THAT WILL BE USED ON THE PROJECT.
- 13. SHOTCRETE REQUIRES CONTINUOUS INSPECTION BY A REGISTERED DEPUTY INSPECTOR. CONTINUOUS INSPECTIONS SHALL BE PROVIDED FOR THE PLACEMENT OF ALL REINFORCING, THE PLACEMENT OF SHOTCRETE, AND THE ASSEMBLY, SHOOTING, TESTING, AND DISASSEMBLY OF TEST PANELS.
- 14. THE SHOTCRETE SUBCONTRACTOR SHALL PRESENT, UPON THE REQUEST OF A DEPARTMENT OF BUILDING AND SAFETY INSPECTOR, A "STATEMENT OF QUALIFICATIONS" SIGNED BY AN OFFICER OF THE SUBCONTRACTOR CORPORATION, BOTH THE SPECIFICATION AND STATEMENT SHALL INCLUDE, BUT NOT NECESSARILY BE LIMITED TO, THE FOLLOWING:
  - A. THE DURATION AND TYPE OF STRUCTURAL SHOTCRETE EXPERIENCE (NOT INCLUDING SWIMMING POOLS) OF THE NOZZLEMAN, THE SUBCONTRACTING COMPANY, THE SUPERINTENDENT, AND HELPER.
  - B. THE SUBCONTRACTOR'S LISTED EXPERIENCE SHALL REFERENCE SPECIFIC PROJECTS APPROVED IN THE CITY OF LOS ANGELES.

**DEFERRED SUBMITTAL**

- 1. THE FOLLOWING ITEMS SHALL BE CONSIDERED AS DEFERRED SUBMITTAL. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ENGINEERED SHOP DRAWINGS FROM THE SPECIALTY SUBCONTRACTOR PREPARED UNDER THE DIRECT SUPERVISION OF A CALIFORNIA LICENSED ENGINEER. THESE SHOP DRAWINGS SHALL BE PROVIDED TO THE ARCHITECT, ENGINEER, AND BUILDING DEPARTMENT OF AUTHORITY OF JURISDICTION FOR REVIEW AND APPROVAL PRIOR TO FABRICATION. THESE ITEMS SHALL INCLUDE:
  - A. STEEL STAIRS
  - B. GRATING NOT SPEC'D ON PLAN
  - C. POOLS AND SPAS
  - D. EXTERIOR BUILDING MAINTENANCE SYSTEMS
  - E. CURTAINWALL OR STOREFRONT SYSTEMS
  - F. LIGHT GAGE METALS
  - G. ROOF EQUIPMENT ANCHORAGE
  - H. GLAZING INCLUDING GLASS GUARDRAILS
  - I. CABLE RAIL SYSTEMS
  - J. TRUSSES
  - K. ELEVATORS
  - L. AWNINGS
  - M. MICROPILES
  - N. TIEDOWNS
  - O. TENDONS IN POST TENSIONED DESIGN. PROVIDE SHOP DRAWINGS OF TENDON LAYOUT AND CALCULATIONS

**REINFORCEMENT**



- 1. ALL REINFORCING BARS SHALL CONFORM TO ASTM A-615, GRADE 60, UNLESS NOTED OTHERWISE ON THE DRAWINGS AND BELOW:
  - A. SPIRALS SHALL BE COLD DRAWN BARS CONFORMING TO ASTM A-82
  - B. FOR SLABS AND FOUNDATIONS A HIGHER GRADE THAN GRADE 60 MAY BE PROVIDED AT CONTRACTOR'S OPTION AND AT NO ADDITIONAL COST TO THE CLIENT, PROVIDED THAT REBAR SIZE AND SPACING SHALL NOT BE ALTERED. IF ALTERATION TO REBAR SIZE AND SPACING IS SOUGHT, THESE MUST BE APPROVED IN WRITING BY SEOR, ENGINEERING AND PERMITTING FEES SHALL BE PAID BY CONTRACTOR WITHOUT ADDITIONAL COST TO THE CLIENT.
  - C. MOMENT FRAME LONGITUDINAL REBAR, COLUMN LONGITUDINAL REBAR, SHEAR WALL VERTICAL REBAR, AND COUPLING BEAM LONGITUDINAL REBAR SHALL BE ASTM A-706, GRADE 60. ASTM A-615, GRADE 60 REINFORCEMENT SHALL BE PERMITTED IN THESE STRUCTURAL ELEMENTS PROVIDED THE FOLLOWING CONDITIONS ARE MET:
    - a. THE ACTUAL YIELD STRENGTH BASED ON MILL TESTS DOES NOT EXCEED THE SPECIFIED YIELD STRENGTH BY MORE THAN 18,000 PSI.
    - b. THE MINIMUM ELONGATION IN 8 INCHES SHALL BE AS FOLLOWS:
      - NO.3 THROUGH NO.6 = 14 PERCENT
      - NO.7 THROUGH NO.11 = 12 PERCENT
      - NO.14 THROUGH NO.18 = 10 PERCENT
  - D. SMOOTH DOWELS IN SLAB ON GRADE: ASTM A36, 36 KSI
- 2. WELDING OF REINFORCEMENT (INCLUDING TACK WELDING) SHALL NOT BE DONE UNLESS SPECIFICALLY SHOWN ON THE DRAWINGS. WHERE SHOWN ON THE DRAWINGS, THE FOLLOWING SHALL APPLY:
  - A. WELDED REBAR SHALL COMPLY WITH ASTM A-706 [F<sub>y</sub>=60 KSI]
  - B. WELDING SHALL CONFORM TO AWS D1.4
  - C. WELDING OF REINFORCING STEEL SHALL BE PERFORMED BY WELDERS CERTIFIED BY THE CITY OF LA. USE E90XX ELECTRODES
- 3. WELDED WIRE FABRIC SHALL BE MADE OF COLD DRAWN WIRE AND SHALL CONFORM TO ASTM A-185 [F<sub>y</sub>=65 KSI]. MINIMUM LAP AT SPLICES OF 12 INCHES. PROVIDE MESH IN FLAT SHEETS ONLY. ROLLED MESH IS NOT ACCEPTABLE. OFFSET END-LAPS IN ADJACENT SHEETS TO PREVENT CONTINUOUS LAPS.
- 4. REINFORCING STEEL SHALL HAVE THE FOLLOWING CONCRETE COVER. SEE ACI FOR TOLERANCES:
  - A. CONCRETE PILES 2 1/2"
  - B. CONCRETE POURED AGAINST EARTH (OTHER THAN PILES) 3"
  - C. CONCRETE NOT FORMED IN CONTACT WITH EARTH 3"
  - D. FORMED CONCRETE IN CONTACT WITH EARTH 2"
  - E. CONCRETE EXPOSED TO WEATHER (#6 AND LARGER) 2"
  - F. CONCRETE EXPOSED TO WEATHER (#5 AND SMALLER) 1-1/2"
  - G. SLABS (INCLUDING SLAB SUPPORTING EARTH), WALLS, AND JOISTS NOT EXPOSED TO WEATHER (#11 AND SMALLER) 1"
  - H. OTHER CONCRETE NOT EXPOSED TO WEATHER 1-1/2"
- 5. #5 AND LARGER REINFORCING BARS SHALL NOT BE SPLICED EXCEPT AS LOCATED AND DETAILED ON THE DRAWINGS. #4 AND SMALLER BARS WITH LENGTHS NOT SHOWN SHALL BE CONTINUOUS. PROVIDE CLASS 'B' SPLICE UNLESS NOTED OTHERWISE. ALL BARS IN MASONRY SHALL BE CONTINUOUS, LAPPING 48 BAR DIAMETERS, 2'-0" MINIMUM. HORIZONTAL WALL SPLICES SHALL BE STAGGERED. VERTICAL BARS SHALL NOT BE SPLICED EXCEPT AT HORIZONTAL SUPPORTS, SUCH AS FLOOR OR ROOF, UNLESS DETAILED OTHERWISE. ALL BARS ENDING AT THE FACE OF A WALL, COLUMN, OR BEAM SHALL EXTEND TO WITHIN 2' OF THE FAR FACE AND HAVE A 90 DEGREE HOOK, UNLESS OTHERWISE SHOWN.
- 6. BARS SHALL BE FIRMLY SUPPORTED AND ACCURATELY PLACED AS REQUIRED BY THE ACI STANDARDS, USING TIE AND SUPPORT BARS IN ADDITION TO REINFORCEMENT SHOWN WHERE NECESSARY FOR FIRM AND ACCURATE PLACING. PROVIDE DOWELS TO MATCH ALL REINFORCEMENT AT POUR JOINTS, UNLESS SHOWN OR NOTED OTHERWISE. ALL DOWELS AND BOLTS SHALL BE ACCURATELY SET IN PLACE BEFORE PLACING CONCRETE. NO WELDING OF REINFORCEMENT (INCLUDING TACK WELDING) SHALL BE DONE UNLESS SHOWN ON THE DRAWINGS OR APPROVED BY THE ENGINEER. ALL SLAB AND BEAM REINFORCEMENT SHALL BE CHAIRED UP.
- 7. IN WALL REINFORCING, CURTAINS CONTAINING VERTICAL AND HORIZONTAL BARS OF THE SAME SIZE, VERTICAL BARS SHALL BE PLACED CLOSEST TO THE WALL SURFACE. IN CURTAINS WHICH VERTICAL AND HORIZONTAL BARS ARE OF DIFFERENT SIZES OR SPACING, THE LAYER WITH THE MOST STEEL SHALL BE PLACED CLOSEST TO THE NEAR SURFACE, UNLESS NOTED OTHERWISE ON PLAN.
- 8. ALL BARS INTERRUPTED BY STRUCTURAL STEEL SHALL EXTEND TO WITHIN 1" OF STRUCTURAL STEEL FLANGE OR WEB AND HAVE A 90 DEGREE HOOK, UNLESS OTHERWISE SHOWN.
- 9. DRAWINGS SHOW TYPICAL REINFORCING CONDITIONS. CONTRACTOR SHALL PREPARE DETAILED PLACEMENT DRAWINGS OF ALL CONDITIONS SHOWING QUANTITY, SPACING, SIZES, CLEARANCES, LAPS, INTERSECTIONS, AND COVERAGE REQUIRED BY THE STRUCTURAL DETAILS, APPLICABLE CODE, AND TRADE STANDARDS. CONTRACTOR SHALL NOTIFY REINFORCING INSPECTOR OF ANY ADJUSTMENTS FROM TYPICAL CONDITIONS WHICH ARE PROPOSED IN PLACEMENT DRAWINGS TO FACILITATE FIELD PLACEMENT OF REINFORCING STEEL AND CONCRETE.
- 10. ALL PRINCIPAL REBAR SHALL TERMINATE WITH A STANDARD HOOK MINIMUM UNLESS SPECIFICALLY DETAILED OTHERWISE. REBAR BENDS SHALL BE MADE COLD. REBAR SHALL NOT BE BENT AFTER ANY PORTION OF THE BAR IS ENCASED IN CONCRETE.
- 11. ALL LAP SPLICES ARE CLASS 'B' LAP SPLICES UNLESS NOTED OTHERWISE.
- 12. MECHANICAL COUPLER SHALL BE BAR-LOCK COUPLER SYSTEM (ICC ESR-2495, LARR #25342) FOR GRADE 60 CONFORMING TO ASTM A615 OR ASTM A706 OR LENTON MECHANICAL COUPLERS (ICC ESR-0129 LARR #24507) FOR GRADE 60, 75 CONFORMING TO ASTM A615 OR APPROVED EQUAL.
- 13. ALL WALL FOOTING REINFORCEMENT SHALL BEND AROUND ALL CORNERS AND EXTEND 36 BAR DIAMETERS OR 18 INCHES WHICHEVER IS LARGER. UNLESS NOTED OTHERWISE.
- 14. ALL SLABS ON GRADE LESS THAN 6" IN THICKNESS SHALL BE REINFORCED WITH #4 REBARS AT 16 INCHES ON CENTERS EACH WAY, UNLESS NOTED OTHERWISE. PROVIDE ONE (1) LAYER OF 6X6W2.9XW2.9 WELDED WIRE FABRIC CONTINUOUS FOR EVERY 3" ARCHITECTURAL CONCRETE FILLS ABOVE THE STRUCTURAL SLAB.
- 15. ALL MECHANICAL, PLUMBING AND ELECTRICAL EQUIPMENT PADS LESS THAN 4" THICK SHALL BE REINFORCED WITH AT LEAST ONE (1) LAYER OF 6X6W2.9XW2.9 WELDED WIRE FABRIC AND HAVE HOOKED DOWELS (#3 AT 12" ON CENTERS) INTO THE STRUCTURAL SLAB. UNLESS NOTED OTHERWISE. FOR PADS GREATER THAN 4 INCHES THICK, USE REINFORCING AS SHOWN IN THE TYPICAL DETAILS.
- 16. ADDITIONAL REINFORCEMENT SHALL BE PROVIDED AROUND ALL SLAB AND WALL OPENINGS INCLUDING DIAGONAL BARS WITHOUT EXCEPTION.
- 17. ALL STRUCTURAL CONCRETE ELEMENTS REQUIRE REINFORCEMENT SINCE NO PLAIN CONCRETE ELEMENTS ARE USED. ALL CONCRETE SLABS SHALL HAVE A MINIMUM REINFORCEMENT PERCENTAGE OF 0.18 EACH WAY CONTINUOUS.
- 18. REINFORCING STEEL SHOP DRAWINGS SHALL INCLUDE SLAB OPENINGS, DEPRESSIONS, SLOPES, CURBS, DRAINS, AND SLAB EDGE LOCATIONS FROM ALL MEP TRADES. GENERAL CONTRACTOR IS RESPONSIBLE TO COORDINATE AND INDICATE ALL SLAB OPENINGS ON PLAN AND SUBMIT TO THE STRUCTURAL ENGINEER PRIOR TO SUBMITTAL OF REINFORCING SHOP DRAWINGS.
- 19. CONTRACTOR SHALL FURNISH MISCELLANEOUS REBAR IN ADDITION TO THE REBAR SPECIFIED ON THE STRUCTURAL DRAWINGS, WHICH SHALL BE INSTALLED AT EOR'S DISCRETION DURING CONSTRUCTION. THE AMOUNT OF ADDITIONAL REBAR SHALL BE 5 TONS OR 2% OF THE REBAR WEIGHT SPECIFIED PER STRUCTURAL DRAWINGS, WHICHEVER IS GREATER.

**CONCRETE**

- 1. CONCRETE IS REINFORCED AND CAST-IN-PLACE UNLESS OTHERWISE NOTED. WHERE REINFORCING IS NOT SPECIFICALLY SHOWN OR WHERE DETAILS ARE NOT GIVEN, PROVIDE REINFORCING SIMILAR TO THAT SHOWN FOR SIMILAR CONDITIONS, SUBJECT TO REVIEW BY THE OWNER'S REPRESENTATIVE.
- 2. ALL PHASES OF WORK PERTAINING TO THE CONCRETE CONSTRUCTION SHALL CONFORM TO THE LATEST EDITION OF ACI 318 "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE", AND THE LATEST EDITION OF ACI 117 "SPECIFICATIONS FOR TOLERANCES FOR CONCRETE CONSTRUCTION AND MATERIALS"
- 3. CONCRETE MIXES SHALL MEET FOLLOWING SPECIFICATIONS:

LOCATION	CONCRETE MIX SPECIFICATIONS						
	WEIGHT	F <sub>c</sub> @ 28 DAYS (PSI)	W/C	SLUMP (IN)	LARGEST Dagg (IN)	ALLOWABLE FLYASH	MAX SHRINK @ 28 DAYS
ALL LOCATIONS UNO	NORMAL	4,000	0.50	4	1	15%	0.045%
####	####	####	####	#	#	#	#

(\*) ELEVATED SLAB SHALL ALSO DEVELOP 5,500 PSI AT 60 DAYS
- 4. NO MORE THAN ONE GRADE OF CONCRETE SHALL BE ON THE JOB SITE AT ANY ONE TIME.
- 5. ALL STRUCTURAL CONCRETE MIXES SHALL BE DESIGNED BY AN APPROVED LABORATORY AND SHALL BE STAMPED AND SIGNED BY A CIVIL ENGINEER LICENSED IN CALIFORNIA.
- 6. CONCRETE MIX PROPORTIONING SHALL MEET STATISTICAL STRENGTH REQUIREMENTS OF ACI 301 AND ACI 214R. MIX DESIGNS SHOWING COMPLIANCE WITH STRENGTH REQUIREMENTS TO BE SUBMITTED TO SEOR FOR REVIEW.
  - 7. CONCRETE STRENGTH TEST REPORTS SHALL BE IN COMPLIANCE WITH ACI 318 AND SHALL BE SUBMITTED TO SEOR
  - 8. CONCRETE MATERIALS AND MIXTURES
    - A. MIXES SHALL BE PREPARED WITH TYPE I/IV PORTLAND CEMENT CONFORMING TO ASTM C150.
    - B. FLY ASH CONFORMING WITH ASTM C618 MAY REPLACE PORTLAND CEMENT CONTENT BY WEIGHT, UNLESS OTHERWISE NOTED ON THE CONCRETE MIX SPECIFICATIONS, REPLACEMENT MAY BE UP TO 15% FOR ELEVATED SLAB OR 25% FOR OTHER CASES. WHERE CONCRETE IS VISUALLY EXPOSED VERIFY WITH THE PROJECT ARCHITECT THE USE OF FLY ASH.
    - C. NORMAL WEIGHT CONCRETE AGGREGATES SHALL CONFORM TO ASTM C33. LIGHT WEIGHT CONCRETE AGGREGATES SHALL CONFORM TO ASTM C330. UNLESS OTHERWISE NOTED ON THE CONCRETE MIX SPECIFICATIONS, AGGREGATE GRADATION SHALL INCLUDE LARGEST AGGREGATE OF 1", EXCEPT THAT A LARGEST SIZE OF 3/8" IS ALLOWED FOR FOUNDATION, COLUMNS, AND WALLS.
    - D. WATER USED IN MIXING CONCRETE SHALL CONFORM WITH ASTM C1602.
    - E. ADMIXTURES, IF USED, SHALL COMPLY WITH ASTM STANDARDS NOTED ON LATEST EDITION OF ACI 318.
    - F. ADDITIVES SPECIFIED BY OTHER CONSULTANT, SUCH AS, BUT NOT LIMITED TO, WATER PROOFING ADDITIVES, PIGMENTS, ETC. SHALL NOT IMPAIR THE EXPECTED STRUCTURAL PERFORMANCE OF THE CONCRETE. SPECIFICATIONS SHALL BE SUBMITTED TO SEOR FOR REVIEW AND APPROVAL
  - 9. THOROUGHLY CLEAN AND ROUGHEN ALL HARDENED CONCRETE AND MASONRY SURFACES TO RECEIVE NEW CONCRETE. INTERFACE SHALL BE ROUGHENED TO A FULL AMPLITUDE OF 1/4" WITH EXPOSED AGGREGATE UNLESS NOTED OTHERWISE.
  - 10. DEFECTIVE CONCRETE (VOIDS, ROCK POCKETS, HONEYCOMBS, CRACKING, ETC.) SHALL BE REMOVED AND REPLACED AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
  - 11. KEY AND DOWEL POUR JOINTS AS SHOWN ON THE PLANS, ANY DEVIATION FROM POUR JOINTS SHOWN ON THE PLANS MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE.
- 12. WHERE ELEMENTS SUCH AS, BUT NOT LIMITED TO, CONDUITS, PIPES, AND DUCTWORK, ARE TO BE PLACED WITHIN OR THRU CONCRETE MEMBERS, DIRECT CONTACT OF SUCH MEMBERS WITH CONCRETE SHALL BE PREVENTED AS REQUIRED BY DESIGNER/SPECIFIER/SUPPLIER/INSTALLER OF SUCH ELEMENTS, AND AS NEEDED TO COMPLY WITH PLUMBING CODE AND/OR TO AVOID DAMAGE OF SUCH ELEMENTS, TYPICAL MEANS TO AVOID DIRECT CONTACT WITH CONCRETE SUCH AS SLEEVES, LAYERS OF COMPRESSIBLE MATERIALS, AIR GAPS, ETC. SHALL BE SPECIFIED BY, OR OBTAINED BY GC FROM, DESIGNER/SPECIFIER/SUPPLIER/INSTALLER OF SUCH ELEMENTS. REBAR DISPLACED BY SUCH ELEMENTS SHALL BE ARRANGED AS CLOSE AS PRACTICALLY POSSIBLE AROUND THE EMBEDDED ELEMENTS AND SHALL NOT BE INTERRUPTED.
- 13. NON-SHRINK CEMENT GROUT SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 7000 PSI. USE "QUIKRETE" (LARR #25451) OR "RAPID SET" (LARR #24654).
- 14. WHEN WATER OVER 3" IN DEPTH IS PRESENT IN THE DRILLED PILE HOLES:
  - A. A CONCRETE MIX WITH A STRENGTH OF 1,000 PSI GREATER THAN THE SPECIFICATIONS LISTED ABOVE WITH A MINIMUM OF 5,000 PSI AND MAX W/C = 0.42 WILL BE USED.
  - B. AN ADMIXTURE THAT REDUCES THE PROBLEM OF SEGREGATION OF PASTE/AGGREGATES AND DILUTION OF PASTE SHALL BE INCLUDED.
- 15. TO MINIMIZE CONCRETE SHRINKAGE CRACKING IN CONCRETE SLABS, THE MAXIMUM SIZE OF CONCRETE POURS FOR SLABS ON GRADE, FORMED SLABS, AND SLABS ON METAL DECK, IS 200 FEET IN ANY DIRECTION. THE RATIO OF THE PLAN LENGTH (LONGER DIRECTION) TO WIDTH (SHORTER DIRECTION) DIMENSIONS SHALL NOT EXCEED 2 TO 1.
- 16. FORM WORK SHALL BE REMOVED IN A MANNER THAT MAINTAINS THE STRENGTH AND STABILITY OF THE STRUCTURE AT ALL TIMES.
- 17. FORM WORK OF ELEVATED NON P.T. SLABS SHALL NOT BE REMOVED BEFORE ALL CONDITIONS BELOW ARE MET:
  - A. THE SPECIFIED COMPRESSIVE STRENGTH IS REACHED
  - B. FORM WORK IS LEFT IN PLACE AT LEAST 28 DAYS AFTER CONCRETE POUR, EXCEPT THAT FORM WORK CAN BE REMOVED 14 DAYS AFTER CONCRETE POUR IF FOLLOWED BY IMMEDIATE RE-SHORING OF THE SLAB ON THE SAME DAY. RE-SHORING SHALL BE MAINTAINED IN PLACE A MIN OF 28 DAYS AFTER CONCRETE POUR.
  - C. NO STRIPPING OF FORMS IS ALLOWED BEFORE CONCRETE HAS CURED SUFFICIENTLY TO PREVENT SPALLING, CHIPPING OR OTHER DAMAGE DUE TO FORM REMOVAL.
- 18. FOAM USED IN OVER-FRAMING & BUILT UP SLAB APPLICATIONS SHALL CONFORM TO ASTM D6817 AND SHALL HAVE THE FOLLOWING PROPERTIES AT A MINIMUM:
  - A. TYPICAL FLOOR AREAS: 7PSI COMPRESSIVE RESISTANCE AT 1% DEFORMATION.
  - B. LOADING DOCKS, SIDEWALKS, AND OTHER HEAVILY LOADED AREAS: 15PSI COMPRESSIVE RESISTANCE AT 1% DEFORMATION.
  - C. INSULATING FOAM AT NON-OCCUPIABLE ROOFS: 15PSI COMPRESSIVE RESISTANCE AT 10% DEFORMATION.
- 19. CONCRETE PLACEMENT METHOD. GENERAL CONTRACTOR SHALL SELECT CONCRETE PLACEMENT METHOD, INCLUDING, BUT NOT LIMITED TO, POURED IN PLACE, SHOTCRETE, ETC. ADEQUATE TO COMPLY WITH ALL CONCRETE SPECIFICATIONS PER CONSTRUCTION DOCUMENTS, SUCH AS, BUT NOT LIMITED TO, CONCRETE MIXES PARAMETERS, ARCHITECTURAL FINISH, EXPOSED CONCRETE, ETC.
- 20. ALL BASEMENT WALLS INSTALLED DIRECTLY AGAINST SHORING OR OTHER BLIND SIDE INSTALLATIONS SHALL HAVE APPROPRIATE WATERPROOFING AND DRAINAGE SYSTEMS INSTALLED THAT ARE COMPATIBLE WITH SHOTCRETE PLACEMENT METHOD AND POURED IN PLACE METHOD REGARDLESS OF CONCRETE PLACEMENT METHOD. WATERPROOFING AND DRAINAGE SYSTEMS SHALL BE AS SPECIFIED BY THE ARCHITECT AND/OR WATERPROOFING CONSULTANT AND SHALL BE INSTALLED PER MANUFACTURERS RECOMMENDATIONS.

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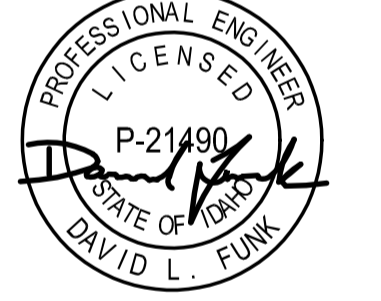
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SEAL:



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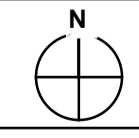
PROJECT:

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PROJECT NUMBER  
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DRAWING TITLE:  
**GENERAL NOTES**

DRAWING NUMBER:  
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IDENTIFICATION

ALL TIMBER ON SITE SHALL BE IDENTIFIED BY THE GRADE MARK OF A GRADING OR INSPECTION BUREAU OR AGENCY RECOGNIZED AS COMPETENT, TO ALLOW FOR VERIFICATION OF COMPLIANCE WITH SPECIFICATIONS AND DRAWINGS BY STRUCTURAL OBSERVERS AND INSPECTORS. INSTALLATION SHALL NOT NOT CONCEAL STAMPS AT TIME OF OBSERVATION/INSPECTION. STRUCTURAL LUMBER GRADE STAMP SHALL COMPLY WITH WITH "STANDARD GRADING RULE NUMBER 17" OF THE WEST COAST LUMBER INSPECTION BUREAU. WOOD STRUCTURAL PANELS SHALL BEAR APA STAMP. STRUCTURAL COMPOSITE LUMBER SHALL BEAR IDENTIFICATION PER MANUFACTURER.

MOISTURE CONTENT.

ALL STRUCTURAL MEMBERS SHALL NOT EXCEED THE MAXIMUM MOISTURE CONTENT (MMC) REQUIREMENTS AS LISTED BELOW PRIOR TO INSTALLATION OF NON-STRUCTURAL ELEMENTS INCLUDING BUT NOT LIMITED TO WEATHER BARRIER, DRYWALL AND FACADE.

- A. 16% FOR SAWN LUMBER JOISTS AND PLATES.
B. 19% FOR ALL OTHER SAWN LUMBER FRAMING MEMBERS

CONTRACTOR TO CONDUCT MOISTURE TESTING, IN THE PRESENCE OF A DEPUTY INSPECTOR, USING MOISTURE METER HAVING A ONE INCH NEEDLE INTO LUMBER AT NINE LOCATIONS (THREE JOISTS, THREE TOP PLATES & THREE SILL PLATES) AT EACH FLOOR. LOCATIONS TO BE REVIEWED AND APPROVED BY S.E.O.R. MOISTURE TO BE MEASURED WITHIN SEVEN DAYS PRIOR TO INSTALLATION OF DRY WALL OR DNS BOARD TO DEMONSTRATE MOISTURE CONTENT IS AT OR BELOW REQUIRED PERCENTAGE.

ANY LUMBER, IF BROUGHT TO THE SITE WITH MOISTURE CONTENT GREATER THE FINAL REQUIRED MMC, IS REQUIRED TO BE DRIED ON SITE BEFORE OR DURING FRAMING AND REMAIN DRY, AND IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO ACHIEVE THE REQUIRED FINAL MMC. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL STRUCTURAL AND NON-STRUCTURAL DAMAGE FROM SHRINKAGE FROM LUMBER RECEIVING FINISHES WITHOUT PASSING THE SPECIFIED MOISTURE TEST. IT IS CONTRACTOR'S RESPONSIBILITY TO INCLUDE THIS MOISTURE TESTING AS PART OF THE CONSTRUCTION SCHEDULE TO ALLOW VARIOUS WEATHER CONDITIONS.

INTEGRITY.

DO NOT CUT, BORE, COUNTERSINK OR NOTCH WOOD MEMBERS EXCEPT WHERE SHOWN IN THE DETAILS.

ALL STRUCTURAL SAWN LUMBER, UNLESS NOTED BELOW OR ON THE PLANS, SHALL BE VISUALLY GRADED DOUGLAS FIR LARCH NO. 1.

- A. ALL 2x "DIMENSION LUMBER" MEMBERS SHALL BE DFL NO. 2
B. ALL 4x "DIMENSION LUMBER" UP TO 4x8 SHALL BE DFL NO. 2
C. ALL 4x10 OR DEEPER "DIMENSION LUMBER" MEMBERS SHALL BE DFL NO.1
D. ALL 6x6 "POST AND TIMBER" MEMBERS SHALL BE DFL NO. 1
E. ALL 6x8 "POST AND TIMBERS" MEMBERS SHALL BE DFL NO. 1
F. ALL 6x10 OR DEEPER "BEAM AND STRINGERS" SHALL BE DFL NO. 1

WOOD STRUCTURAL PANELS SHALL COMPLY WITH U.S. PRODUCT STANDARDS FOR ITS TYPE IN PS 1-09 OR PS 2-10 AND BE CLASSIFIED AS EXPOSURE 1. AS A MINIMUM ALL WOOD STRUCTURAL PANELS SHALL BE APA RATED SHEATHING UNLESS NOTED OTHERWISE ON PLANS AND DETAILS. PANEL CONSTRUCTION FOR ALL WOOD STRUCTURAL PANELS SHALL BE 4 PLY PLYWOOD, EXCEPT THAT OSB IS PERMITTED FOR WALL SHEATHING AT NON FIRE TREATED PANELS. MINIMUM GRADE VENEER FOR PLYWOOD SHALL BE "CD". ALL WOOD STRUCTURAL PANELS SHALL BE BLOCKED AT UNSUPPORTED EDGES. WALL PANELS SHALL BE 15/32 INCH, SPAN RATING 32/16 U.N.O.

ALL LUMBER IN DIRECT CONTACT WITH CONCRETE OR MASONRY, INCLUDING BUT NOT LIMITED TO FOUNDATION SILLS, SHALL BE NATURALLY DURABLE OR PRESERVATIVE-TREATED DOUGLAS FIR, EXCEPT THAT MEMBERS THAT ARE PART OF FIRE TREATED ASSEMBLIES SHALL BE FIRE TREATED.

CONNECTION TO STEEL ELEMENTS - NAILERS.

U.N.O. ON PLANS AND DETAILS, WHERE WOOD MEMBERS ARE TO BE CONNECTED TO STEEL ELEMENTS, OR WHERE WOOD NAILERS CONNECTED TO STEEL MEMBERS ARE NEEDED FOR PROPER INSTALLATION OF FINISH MATERIALS, AS A MINIMUM PROVIDE WOOD NAILERS AS SPECIFIED BELOW WITH 5/8"Ø WELDED THREADED STUDS @ 24" O.C.

- A. WOOD NAILERS NEEDED ONLY FOR INSTALLATION OF FINISH MATERIAL: 2X WOOD NAILERS, COUNTERSINKING OF THREADED STUDS BOLT IS ACCEPTABLE IF NEEDED FOR FLUSH INSTALLATION OF FINISH MATERIAL.
B. WOOD NAILERS NEEDED TO SUPPORT OTHER WOOD ELEMENTS: 2X WOOD NAILERS OR 3X WOOD NAILERS WITH OR WITHOUT COUNTERSINKING OF THREADED STUDS BOLT RESPECTIVELY.

FASTENERS.

FASTENERS INCLUDE BUT ARE NOT LIMITED TO NAILS, WOOD SCREWS, LAG SCREWS, BOLTS, WELDED THREADED STUDS, THREADED RODS, ANCHOR BOLTS, ANCHOR RODS, NUTS, AND WASHERS.

NAILS:

- A. ALL NAILS SHALL BE COMMON WIRE NAILS IN ACCORDANCE WITH THE LATEST EDITION OF THE "NATION DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" (NDS)
B. NAILING TO BE IN ACCORDANCE WITH CBC 2019 NAILING SCHEDULE UNLESS NOTED OTHERWISE.
C. THE MINIMUM PENETRATION OF NAILS SHALL BE 10 TIMES THE NAIL SHANK DIAMETER OR 1 1/2", WHICHEVER IS GREATER. PENETRATION IS MEASURED INTO THE PIECE RECEIVING THE NAIL POINT.
D. BORED HOLES SHALL BE PERMITTED FOR ALL NAILS TO HELP PREVENT WOOD FROM SPLITTING. BORE HOLES SHALL BE MANDATORY FOR 20d NAILS OR LARGER. WHEN UTILIZED, BORED HOLES SHALL HAVE DIAMETER NOT EXCEEDING 75% OF NAIL DIAMETER.
E. EDGE DISTANCES, END DISTANCES, AND FASTENER SPACING SHALL BE SUFFICIENT TO PREVENT SPLITTING OF THE WOOD. BORED HOLES MAY BE UTILIZED TO HELP PREVENT WOOD FROM SPLITTING.

WOOD SCREWS:

- A. WOOD SCREWS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF "NATION DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" (NDS).
B. THE MINIMUM PENETRATION OF WOOD SCREWS SHALL BE 10 TIMES THE SCREW DIAMETER OR 1 1/2", WHICHEVER IS GREATER. PENETRATION IS MEASURED INTO THE PIECE RECEIVING THE NAIL POINT.
C. LEAD HOLES SHALL BE ABOUT 7/8 THE DIAMETER OF THE SCREW.
D. WOOD SCREWS SHALL BE TURNED, NOT DRIVEN, INTO LEAD HOLES. SOAP OR OTHER LUBRICANTS SHALL BE PERMITTED AS NEEDED TO FACILITATE THE INSERTION AND PREVENT DAMAGE OF THE WOOD SCREW.
E. EDGE DISTANCES, END DISTANCES, AND FASTENER SPACING SHALL BE SUFFICIENT TO PREVENT SPLITTING OF THE WOOD.

LAG SCREWS

- A. LAG SCREWS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF "NATION DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" (NDS).
B. PROVIDE LEAD HOLE 40% TO 70% OF THREADED SHANK DIAMETER AND FULL DIAMETER FOR SMOOTH SHANK PORTION.
C. LAG SCREWS SHALL BE TURNED, NOT DRIVEN, INTO PRE DRILLED LEAD HOLES. SOAP OR OTHER LUBRICANTS SHALL BE PERMITTED AS NEEDED TO FACILITATE THE INSERTION AND PREVENT DAMAGE OF THE WOOD SCREW.

ALL BOLTS AND ANCHOR BOLTS IN WOOD SHALL BE A-307 STANDARD BOLTS. HOLES SHALL NOT BE MORE THAN 1/16" LARGER THAN THE BOLT DIAMETER. A STANDARD CUT WASHER (NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION - APPENDIX TABLE L6), OR METAL PLATE OR METAL STRAP OF EQUAL OR GREATER DIMENSIONS AND THICKNESS SHALL BE PROVIDED BETWEEN THE WOOD AND THE NUT.

PRE MANUFACTURED CONNECTORS:

- A. ALL PRE MANUFACTURED FRAMING HARDWARE AND CONNECTORS SHALL BE PER SIMPSON STRONG-TIE UNLESS NOTED OTHERWISE.
B. INSTALL PER MANUFACTURER'S RECOMMENDATIONS AND ICC REQUIREMENTS, INCLUDING ALL FASTENERS REQUIRED BY MANUFACTURER.
C. FRAMING CLIPS TO COMPLY WITH (APMO ER 0112 2606, L.A. RR 25814). STRAPS TO COMPLY WITH (ICC-ESR 2105, L.A. RR 25713).
D. CORROSION PROTECTION COATING SHALL BE:
- G90 FOR INTERIOR AND DRY APPLICATIONS
- Z-MAX OR HOT DIP GALVANIZED, AS AVAILABLE FOR A GIVEN PIECE OF HARDWARE, FOR EXTERIOR APPLICATIONS.

CORROSION PROTECTION OF FASTENERS AND CONNECTORS

- A. FASTENERS AND CONNECTORS EXPOSED TO EXTERIOR ENVIRONMENT SHALL BE HOT DIP GALVANIZED OR STAINLESS STEEL.
B. FASTENERS IN CONTACT WITH PRESERVATIVE OR FIRE RETARDANT TREATED LUMBER SHALL BE HOT DIP GALVANIZED OR STAINLESS STEEL, EXCEPT THAT PLAIN CARBON STEEL FASTENERS IN SBXDOT AND ZINC BORATE PRESERVATIVE-TREATED WOOD IN AN INTERIOR, DRY ENVIRONMENT SHALL BE PERMITTED.

NARROW STEEL SHEAR PANELS SHALL BE INSTALLED PER THE MANUFACTURERS RECOMMENDATIONS AND CONFORM TO THE FOLLOWING: HARDY FRAMES (HF): LARR#25759 SIMPSON STRONG WALLS (SSW): LARR#25625

GLUE BETWEEN WOOD STRUCTURAL PANELS AND WOOD FRAMING MEMBERS SHALL BE APPLIED TO REDUCE SQUEAKINESS OF FLOOR IN OCCUPIED SPACES. GLUE SHALL CONFORM TO APA PERFORMANCE SPECIFICATION AFG-01 OR ASTM D3498. INSTALL AS DIRECTED PER APA FORM NO. Q300P.

FIRE RATED ASSEMBLIES. WOOD AND COMPONENTS IN EXTERIOR WALLS LABELED AS FIRE RATED BY THE ARCHITECT SHALL BEAR A FIRE-RETARDANT-TREATED STAMP INDICATION BY MEANS SATISFACTORY TO LOCAL AUTHORITIES. THE FOLLOWING FIRE RETARDANTS SHALL BE USED:

- A. FOR PLYWOOD & LUMBER: PYRO-GUARD FIRE RETARDANT (ICC ESR-1791, UL ER7002-01, LARR 25150). EQUIVALENT SUBSTITUTE MAY BE USED ONLY IF PRODUCT IS APPROVED BY THE S.E.O.R.

STRUCTURAL STEEL WELDING

ALL WELDING SHALL BE IN STRICT CONFORMANCE WITH THE LATEST EDITION OF AWS D1.1 AND THE 2019 CALIFORNIA BUILDING CODE.

ALL WELDS WITHIN MEMBERS DESIGNATED AS PART OF THE LATERAL FORCE RESISTING SYSTEM SHALL CONFORM TO THE DETAILING, MATERIALS, WORKMANSHIP, TESTING AND INSPECTION REQUIREMENTS PER AWS D1.8.

ALL WELDING ELECTRODES (FILLER METAL) SHALL BE E7XXX (70 KSI), U.N.O., AND SHALL BE LOW HYDROGEN TYPES. FOR WELDING OF REBAR SEE "REINFORCEMENT" SECTION. FIELD WELDING OF FULL AND PARTIAL PENETRATION WELDS OF THE STEEL MOMENT FRAME CONNECTIONS BETWEEN MOMENT FRAME BEAMS AND MOMENT FRAME COLUMNS SHALL BE BY SHIELDED METAL ARC PROCESS USING LOW HYDROGEN ELECTRODES

ALL WELDS SHALL HAVE A FILLER METAL WITH CHARRY V-NOTCH TOUGHNESS OF 20 FT/LBS AVERAGE AT -20 DEGREES FAHRENHEIT AND 40 FT/LBS @ 70 DEGREES FAHRENHEIT. PROVIDE MANUFACTURER'S CERTIFICATION.

LENGTHS OF WELDS ARE EFFECTIVE LENGTHS AS SPECIFIED IN THE APPLICABLE CODE. WHERE LENGTH OF WELD IS NOT SHOWN IT SHALL BE FULL LENGTH OF JOINT. ALL BUTT WELDS SHALL BE FULL PENETRATION, UNLESS NOTED OTHERWISE.

CONTRACTOR SHALL PROVIDE FIELD WELDING AS REQUIRED FOR CONSTRUCTION. WHERE FIELD WELDING IS NOTED, THE DESIGNATION IS GIVEN AS A SUGGESTED CONSTRUCTION PROCEDURE ONLY.

ALL SHOP WELDS SHALL BE PERFORMED BY A LOS ANGELES CITY LICENSED FABRICATOR.

ALL WELDERS SHALL BE QUALIFIED FOR THE WORK THEY WILL BE DOING & SHALL HAVE CURRENT CERTIFICATIONS BY AWS & THE CITY OF LOS ANGELES.

FACES OF FILLET WELDS EXPOSED TO VIEW SHALL HAVE AS-WELDED SURFACES THAT ARE REASONABLY SMOOTH AND UNIFORM. NO FINISHING OR GRINDING SHALL BE REQUIRED, EXCEPT WHERE CLEARANCES OR FIT OF OTHER ITEMS MAY SO NECESSITATE.

ALL PARTIAL AND FULL PENETRATION WELDS WHICH ARE EXPOSED TO VIEW SHALL BE GROUND SMOOTH AND FLUSH WITH FINISH SURFACE OF STEEL. HOLES SHALL BE FILLED WITH WELD METAL OR BODY SOLDER AND SMOOTHED BY GRINDING OR FILING.

CLEAN GROOVE PREPARATION THERMAL CUTS BY GRINDING.

WELDS SHALL BE TERMINATED AT THE END OF A JOINT IN A MANNER THAT WILL ENSURE SOUND WELDS. WHENEVER NECESSARY THIS SHALL BE DONE BY USE OF EXTENSION BARS AND RUN OFF TABS.

ALL WELDED JOINTS SHALL BE PRE-QUALIFIED PER THE LATEST EDITION OF AWS D1.1. NON PRE-QUALIFIED WELDED JOINTS SHALL BE QUALIFIED BY TEST & PROCEDURE QUALIFICATION TEST RECORD INCLUDED PER THE LATEST EDITION OF AWS D1.1.

THE CONTRACTOR SHALL SUBMIT ALL WELDING PROCEDURE SPECIFICATIONS (WPS) TO BE USED ON THE PROJECT PER THE LATEST EDITION OF AWS D1.1. THE WPS SHALL INCLUDE ALL MANUFACTURER'S DATA SHEETS FOR ALL WELDING MATERIALS TO BE USED. THE DATA SHEETS SHALL DESCRIBE THE PRODUCTS, LIMITATIONS OF USE, RECOMMENDED WELDING PARAMETERS, AND STORAGE AND EXPOSURE REQUIREMENTS.

ELECTRODES SHALL BE RECEIVED AND STORED IN THE ORIGINAL, UNDAMAGED MANUFACTURER PACKAGING, UNTIL READY FOR USE. WHEN WELDING IS TO BE SUSPENDED FOR MORE THAN 8 HOURS, ELECTRODES SHALL BE REMOVED FROM THE MACHINES AND STORED IN AN ELECTRODE WIRE OVEN MAINTAINED AT A TEMPERATURE BETWEEN 250 DEGREES AND 550 DEGREES OR AS RECOMMENDED BY THE MANUFACTURER. ELECTRODES NOT CONSUMED WITHIN 24 HOURS OF ACCUMULATED EXPOSURE OUTSIDE CLOSED OR HEATED STORAGE SHALL NOT BE USED.

ALL BOTTOM FLANGE BACKING BARS SHALL BE REMOVED. FOLLOWING REMOVAL OF BACKING, THE ROOT PASS SHALL BE BACKGOUNGED TO SOUND WELD METAL AND BACKWELDED UNTIL FLUSH OR WITH SLIGHT REINFORCEMENT. THE SURFACE SHALL BE GROUND SMOOTH TO A SURFACE ROUGHNESS NOT TO EXCEED 500 MICRORINCHES.

ADDITIONAL STRUCTURAL STEEL WELDING NOTES AT MOMENT FRAME CONNECTIONS

THE FOLLOWING PROVISIONS APPLY TO ALL WELDING AT BEAM-COLUMN MOMENT FRAME CONNECTIONS:

- A. MINIMUM INITIAL PREHEAT TO BE 226 DEGREES F MEASURED +/- 3 INCHES FROM THE WELD JOINT. FOR JUMBO SECTIONS, MINIMUM PREHEAT TO BE 350 DEGREES F. MAXIMUM INTERPASS TEMPERATURE 600 DEGREES F SHALL BE MONITORED ON COLUMN FLANGE. MAINTAIN PREHEAT TEMPERATURE WHEN WELDING IS INTERRUPTED.
B. EACH FLANGE OF A MOMENT FRAME BEAM TO COLUMN CONNECTION SHALL BE WELDED IN ONE CONTINUOUS PROCESS WITHOUT COOLING BELOW THE PRE-HEAT TEMPERATURE.
C. USE STRINGER PASSES ONLY, NO WEAVING. LAY PASSES IN HORIZONTAL LAYERS. EACH PASS SHALL BE THOROUGHLY DESLAGGED AND CLEANED BY WIRE BRUSHING.
D. PEEN EACH PASS, EXCEPT FIRST AND LAST, IMMEDIATELY AFTER DESLAGGING AND CLEAN USING A POWER SLAGGING GUN WITH A BLUNT TOOL. KEEP GUN AT RIGHT ANGLES TO WELD AND MAKE 4-5 PASSES THE LENGTH OF THE WELD WITH NO NICKS, CUTS OR DEEP INDENTATIONS BEING EVIDENT.
E. BOTH BEAM FLANGES SHOULD BE WELDED PRIOR TO ANY SUPPLEMENTAL WELDING TO THE SHEAR TAB. WELD RUN OFF TABS SHALL BE REMOVED AND GROUND FLUSH TO THE BEAM FLANGE WITH MINIMAL DISTURBANCE.
F. RUN OFF TABS USED AT BEAM FLANGE CONNECTION SHALL BE REMOVED AND THE ENDS OF THE WELDS SHALL BE MADE SMOOTH & FLUSH WITH THE EDGE OF ABUTTING PARTS PER 3.12.3 OF AWS D1.1-96. NO WELD DAMS ARE ALLOWED.

AFTER FULL PENETRATION WELDING, THE BOTTOM BACKING BAR IS TO BE REMOVED, THE WELD ROOT TAB SHALL BE INSPECTED AND TESTED FOR IMPERFECTIONS, WHICH IF FOUND, ARE TO BE REMOVED BY BACKGOUGING TO SOUND MATERIAL & CLEANED BY GRINDING IF BACKGOUNGED BY AIR ARC. THE BACKGOUNGED AREA IS TO BE WELDED. A FILLET WELD SHALL BE APPLIED TO REINFORCE THE JOINT. THE SIZE OF THE REINFORCING FILLET WELD SHALL BE EQUAL TO 1/4 THE PLATE THICKNESS, BUT NOT LESS THAN 5/16", NOR MORE THAN 3/8" PER NOTE J OF FIGURE 2.4 OF AWS D1.1-96.

THE FOLLOWING PROVISIONS APPLY TO WELDING BEAM-COLUMN MOMENT FRAME BOTTOM FLANGE CONNECTIONS:

- A. THE ROOT PASS SHALL BEGIN IN THE CENTER OF THE JOINT, IN THE AREA OF THE WELD ACCESS HOLE, REACHING PAST THE BEAM WEB THROUGH THE COPE HOLE WHEN NEAR END OF WELDING. AFTER THE ARC IS INITIATED, TRAVEL SHALL PROGRESS TOWARD THE EDGE OF BEAM BOTH FLANGES, AND THE WELD SHALL BE TERMINATED ON THE WELD RUN OFF TAB.
B. THE HALF LENGTH ROOT PASS SHALL BE THOROUGHLY CLEANED.

THE START OF THE WELD IN THE WELD ACCESS HOLE AREA SHALL BE VISUALLY INSPECTED TO ENSURE FUSION, SOUNDNESS, FREE FROM SLAG INCLUSIONS AND EXCESSIVE POROSITY. THE RESULTING BEAD PROFILE SHALL BE SUITABLE FOR OBTAINING GOOD FUSION BY THE SUBSEQUENT PASS TO BE INITIATED ON THE OPPOSITE SIDE OF THE BEAM WEB. IF THE PROFILE IS NOT CONDUCIVE TO GOOD FUSION, THE START OF THE FIRST ROOT PASS SHALL BE GROUND, GOUGED, CHIPPED, OR OTHERWISE PREPARED TO ENSURE ADEQUATE FUSION.

THE SECOND HALF OF THE WELD JOINT SHALL HAVE THE ROOT PASS APPLIED BEFORE ANY OTHER WELD PASSES ARE PERFORMED. THE ARC SHALL BE INITIATED IN THE AREA OF THE START OF THE FIRST ROOT PASS, AND TRAVEL SHALL PROGRESS TO THE END OF THE JOINT, TERMINATING ON THE WELD TAB.

EACH WELD LAYER SHALL BE COMPLETED ON BOTH SIDES OF THE JOINT BEFORE A NEW LAYER IS DEPOSITED.

STRUCTURAL STEEL

FABRICATION AND ERECTION OF STRUCTURAL STEEL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF AISC SPECIFICATIONS FOR STRUCTURAL STEEL BUILDINGS, AND THE LATEST EDITION OF AISC SEISMIC PROVISIONS FOR STRUCTURAL STEEL BUILDINGS. WHERE THE STRUCTURAL STEEL IS EXPOSED, FABRICATION AND ERECTION SHALL ALSO BE IN ACCORDANCE WITH AISC CODE OF STANDARD PRACTICE FOR ARCHITECTURALLY EXPOSED STRUCTURAL STEEL.

STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING ASTM DESIGNATION:

- a. ALL WIDE FLANGE SHAPES A992, GRADE 50
b. STEEL ANGLES A36
c. ALL PLATES A36
WHERE GRADE 50 IS SPECIFIED PROVIDE
d. HSS (RECTANGULAR AND SQUARE) A500, GRADE C
e. HSS (ROUND) A500, GRADE B
f. PIPE A53, GRADE B
g. CHANNELS (C AND MC SECTIONS) A36
h. ALL OTHER STRUCTURAL SECTIONS A572, GRADE 50

ALL STEEL SHALL BE PROVIDED BY A CITY OF LOS ANGELES LICENSED FABRICATOR.

WHEN FABRICATING BEAMS PLACE NATURAL CAMBER UP.

ALL FLANGE STIFFENER PLATES SHALL BE ORIENTED SO THAT ROLLING DIRECTION OF PLATE IS PARALLEL WITH DIRECTION OF PRINCIPAL STRESS.

SPLICE MEMBERS ONLY WHERE INDICATED.

MECHANICAL FASTENING AND THREADED PARTS

BOLTS AND THREADED PARTS SHALL CONFORM TO THE FOLLOWING ASTM DESIGNATION:

- a. HIGH STRENGTH BOLTS F3125, GR A325X
b. HEADED AND HOOKED ANCHOR RODS U.N.O. F1554, GR36
c. ALL THREADED RODS U.N.O. F1554, GR36
d. TIE RODS F1554, GR36
e. ANCHORS AT NON-MOMENT FRAME COLUMN BASE P.L. F1554, GR36
f. ANCHORS AT MOMENT FRAME COLUMN BASE P.L. F1554, GR105
g. NUTS FOR BOLTS AND MACHINE BOLTS A563
h. HARDENED WASHERS F436
i. UNHARDENED WASHERS F844
j. PLAIN WASHERS ANSI B18.22.1
k. BEVELED WASHERS ANSI B18.23.1

HIGH STRENGTH BOLTS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF "AISC SPECIFICATIONS FOR STRUCTURAL JOINTS USING HIGH STRENGTH BOLTS" BY RCSC. HIGH STRENGTH BOLTS SHALL BE BEARING TYPE WITH THREADS EXCLUDED FROM THE FROM THE SHEAR PLANES (I.E. A325-X).

ALL JOINTS U.N.O. SHALL BE BE SNUG-TIGHTENED JOINTS. JOINTS AT ALL LFRS ELEMENTS SHALL BE PRE-TENSIONED W/ CLASS A FAYING SURFACE.

ALL BOLTED CONNECTIONS SHALL HAVE A MINIMUM OF TWO 3/4"Ø BOLTS.

ALL HOLES SHALL BE STANDARD DIAMETER.

PROVIDE BEVELED WASHERS ON ALL CONNECTIONS WHERE SLOPE SURFACE EXCEEDS 1:20. WELDING OF FASTENERS OR THREADED PARTS SHALL BE ALLOWED ONLY WHERE SPECIFICALLY SHOWN ON THE STRUCTURAL DRAWINGS. IN SUCH INSTANCES, WELDABLE FASTENERS OR THREADED PARTS SHALL BE PROVIDED AND SHALL CONFORM TO SUPPLEMENTARY REQUIREMENT S1 WHENEVER SUCH REQUIREMENT IS AVAILABLE FOR A GIVEN ASTM FASTENER SPECIFICATION. FOR WELDING OF REBAR SEE "REINFORCEMENT" SECTION

AFTER FABRICATION, ALL STEEL SHALL BE CLEANED FREE OF RUST, LOOSE MILL SCALE AND OIL.

PROVIDE FILLS AT SPLICES OF PARTS HAVING MORE THAN 1/8" DIFFERENCE IN THICKNESS.

HEADED ANCHOR STUDS AND THREADED STUDS SHALL BE NELSON GRANULAR FLUX-FILLED, AND SHALL BE MADE FROM COLD FINISHED LOW CARBON STEEL, CONFORMING TO A-108, GRADES 1015 - 1020 WITH A MINIMUM TENSILE STRENGTH OF 60,000 PSI. (COLA RR 2729). STUD WELDING INSPECTION AND TESTING SHALL CONFORM TO AWS D1.1.

DEFORMED BAR ANCHOR STUDS SHALL BE NELSON DZL GRANULAR FLUX-FILLED REBAR STUDS OR APPROVED EQUAL, AND SHALL BE MADE OF LOW CARBON COLD ROLLED STEEL WITH A MINIMUM TENSILE STRENGTH OF 80,000 PSI. STUD WELDING INSPECTION AND TESTING SHALL CONFORM TO AWS D1.1.

HOT DIP GALVANIZING IN ACCORDANCE WITH ASTM A123 AND ASTM A153 STRUCTURAL STEEL AND FASTENERS THAT ARE PERMANENTLY EXPOSED TO THE WEATHER. REPAIR GALVANIZING AFTER WELDING IN ACCORDANCE WITH ASTM A780.

THE FULL DESIGN AND LOAD CARRYING CAPACITY OF THE STEELWORK SHALL NOT BE IMPAIRED DUE TO FABRICATION, SHIPMENT, OR ERECTION PROCEDURES, THROUGHOUT THE COMPLETE PROCESS. THE STABILITY OF ALL INDIVIDUAL MEMBERS AND ASSEMBLIES SHALL BE MAINTAINED.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF ALL ERECTION PROCEDURES AND SEQUENCES WITH RELATION TO TEMPERATURE DIFFERENTIALS AND WELD SHRINKAGE.

ALL ADDITIONAL STEEL REQUIRED FOR ERECTION PURPOSES SHALL BE PROVIDED AT NO ADDITIONAL COST AND SHALL BE REMOVED UNLESS APPROVED BY THE OWNER'S REPRESENTATIVE IN WRITING.

BADGER RESIDENCE

OWNER:

121 BADGER LANE LLC
P.O. BOX 14001-174
KETCHUM, ID 83340

PROJECT ARCHITECT:

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LANDSCAPE ARCHITECT:

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STRUCTURAL ENGINEER:

LFA
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EL SEGUNDO, CA 90245
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SEAL:



Table with 2 columns: DATE, ISSUE. Row 1: 02/24/23, PC SUBMITTAL. Row 2: NO, DATE, ISSUE

PROJECT:

BADGER RESIDENCE
121 BADGER LANE
KETCHUM, ID 83340

PROJECT NUMBER

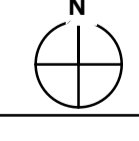
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DRAWING TITLE:

GENERAL NOTES

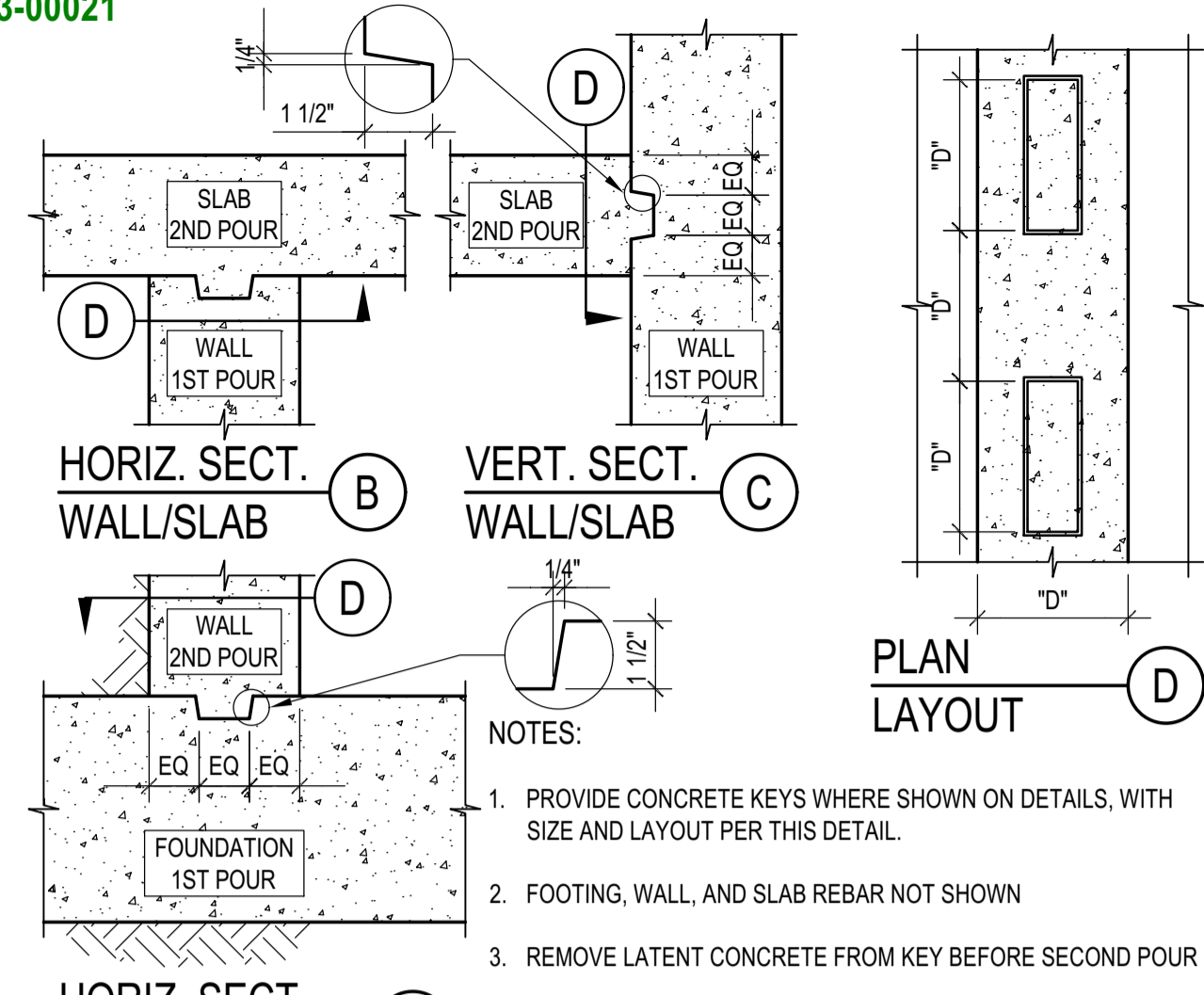
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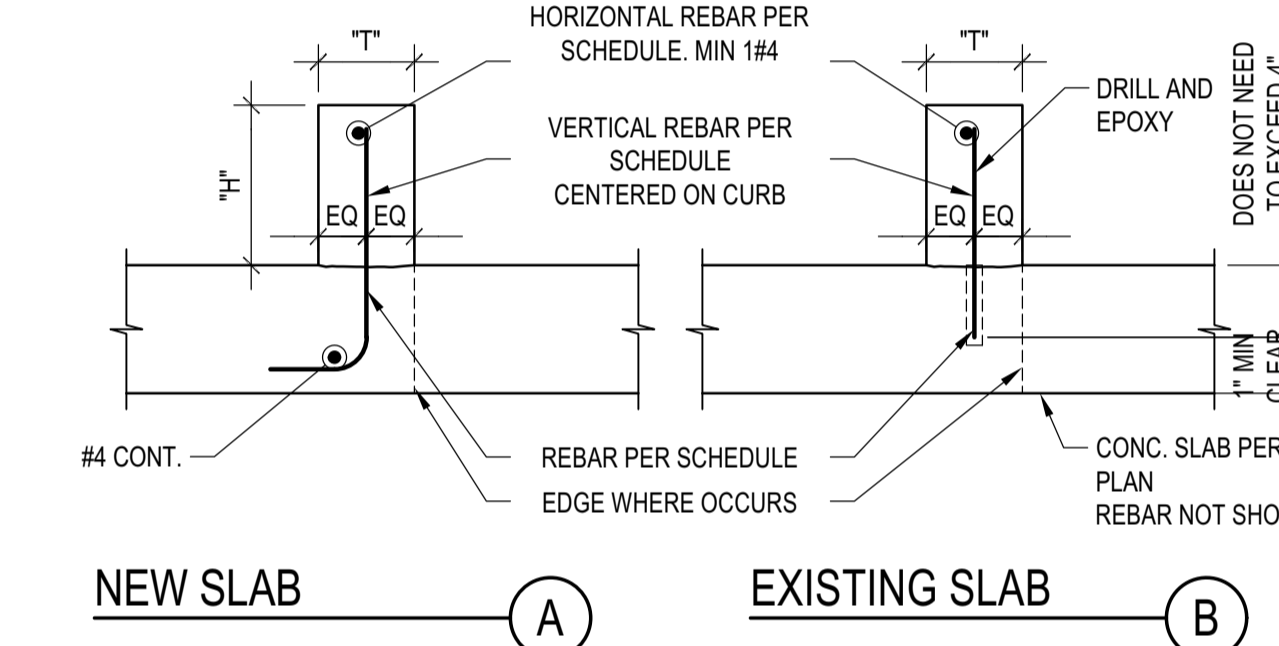


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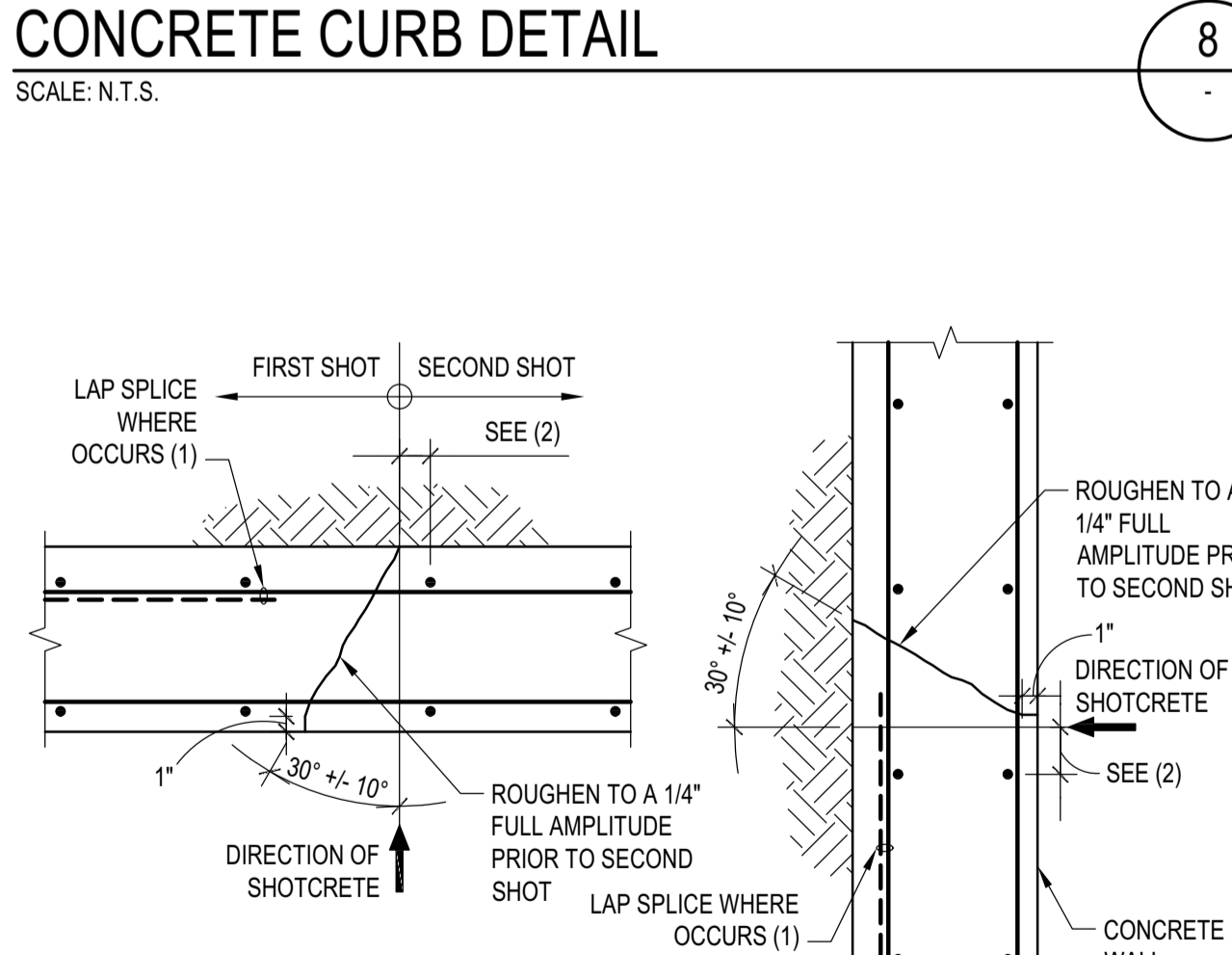
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06/26/23



KEY IN CONCRETE  
SCALE: N.T.S. 7

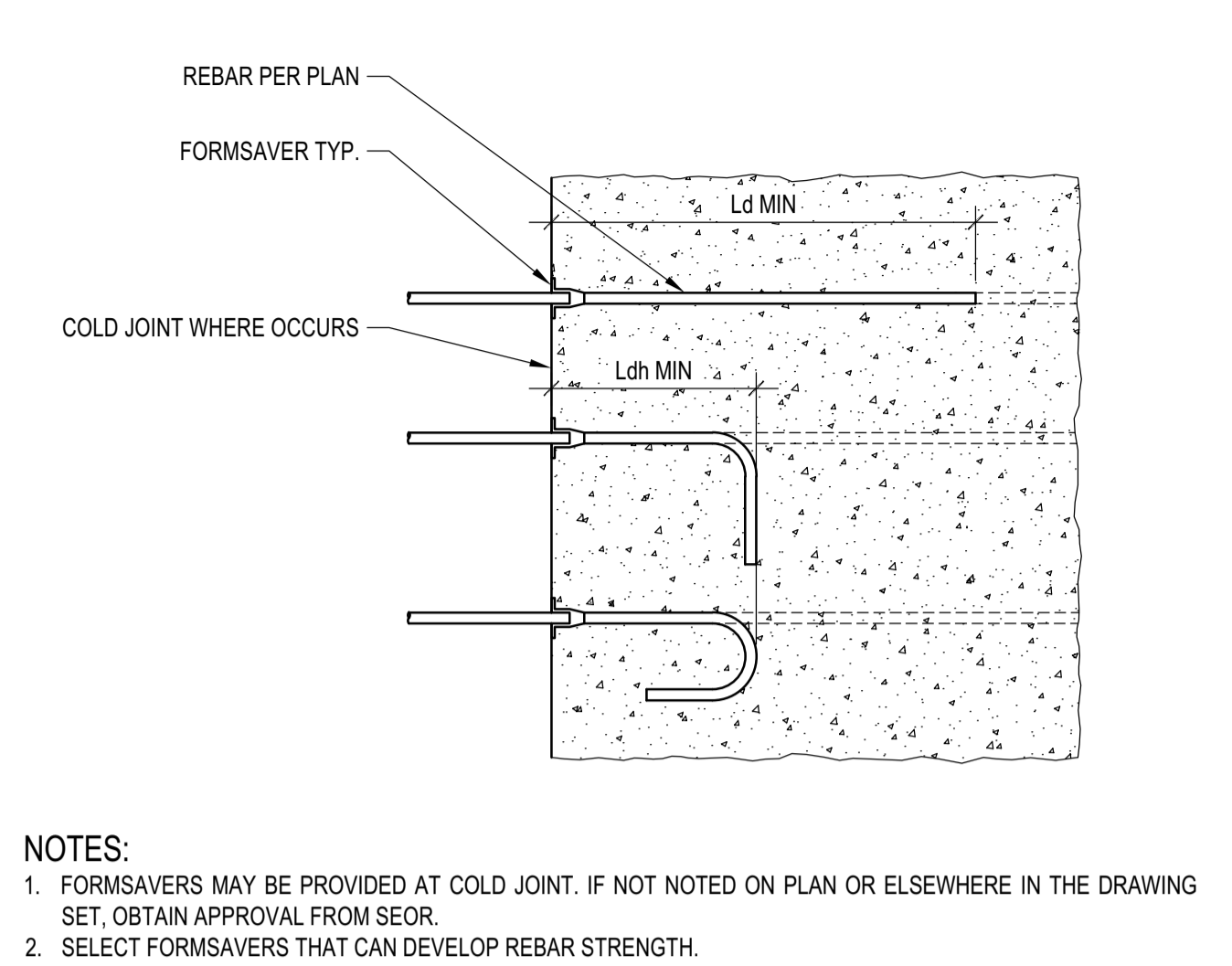


CONCRETE CURB DETAIL  
SCALE: N.T.S. 8

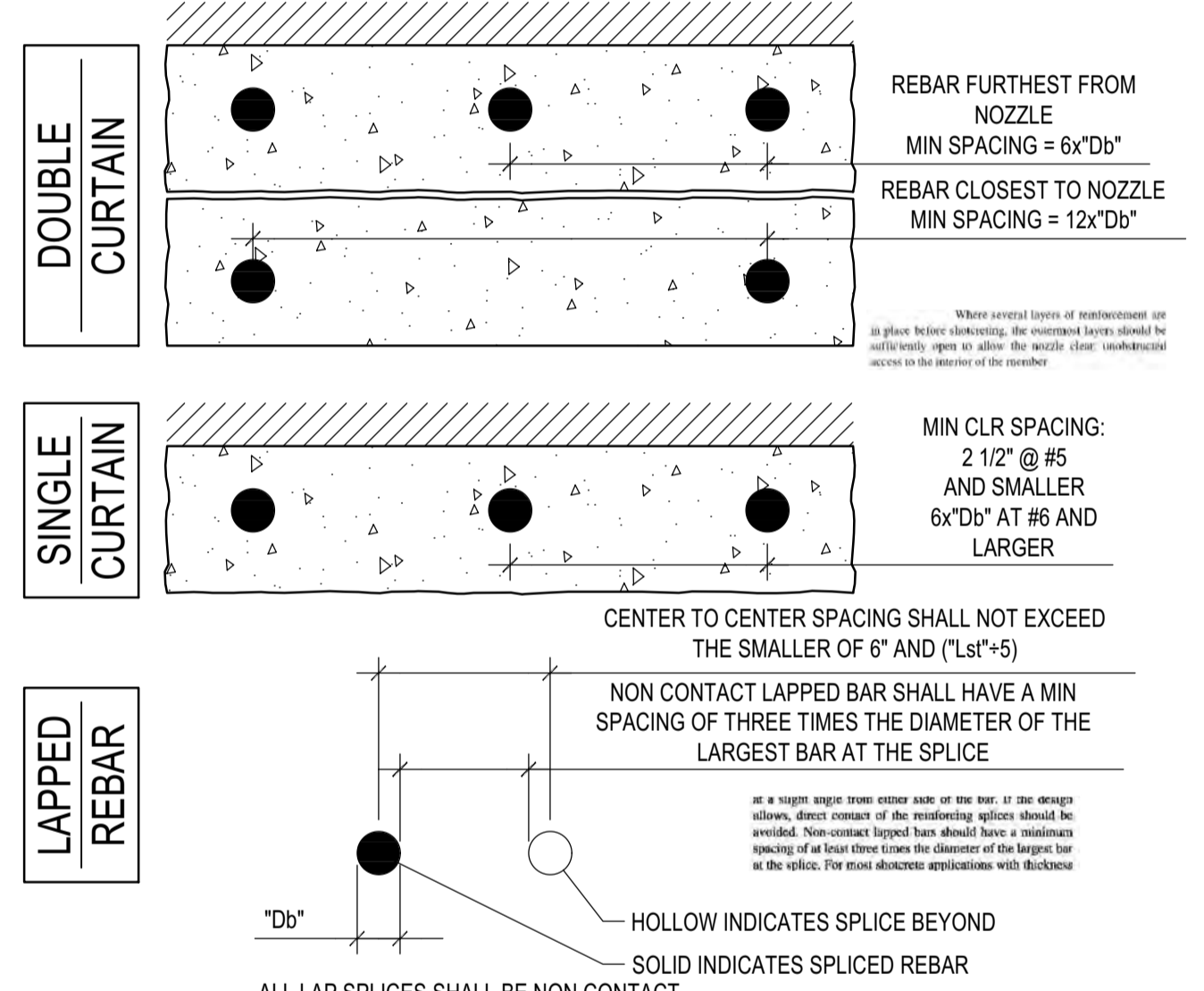


SHOTCRETE WALL - CONSTRUCTION JOINT  
SCALE: N.T.S. 9

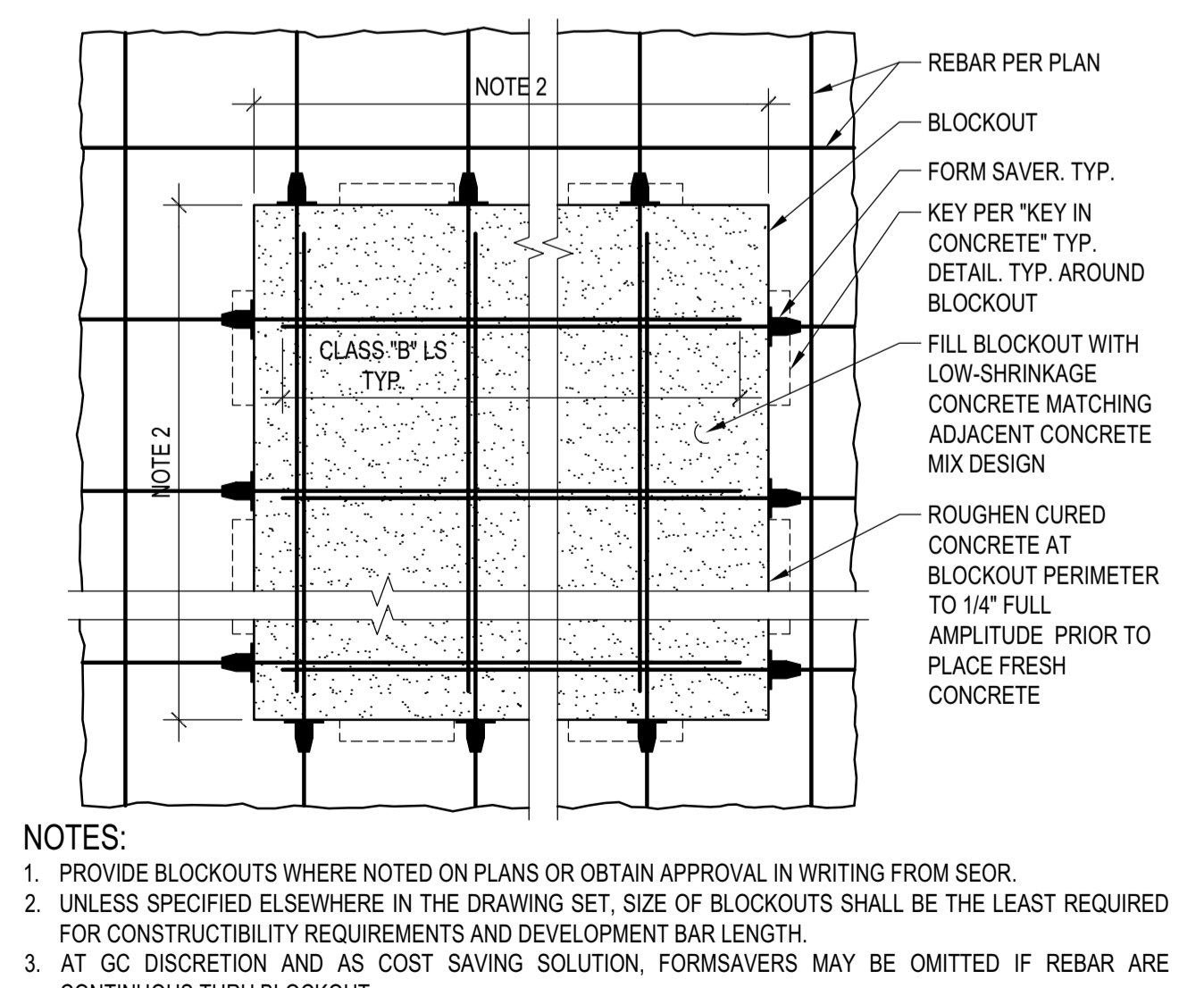
MIN BAR SPACING IN SHOTCRETE  
SCALE: N.T.S. 5



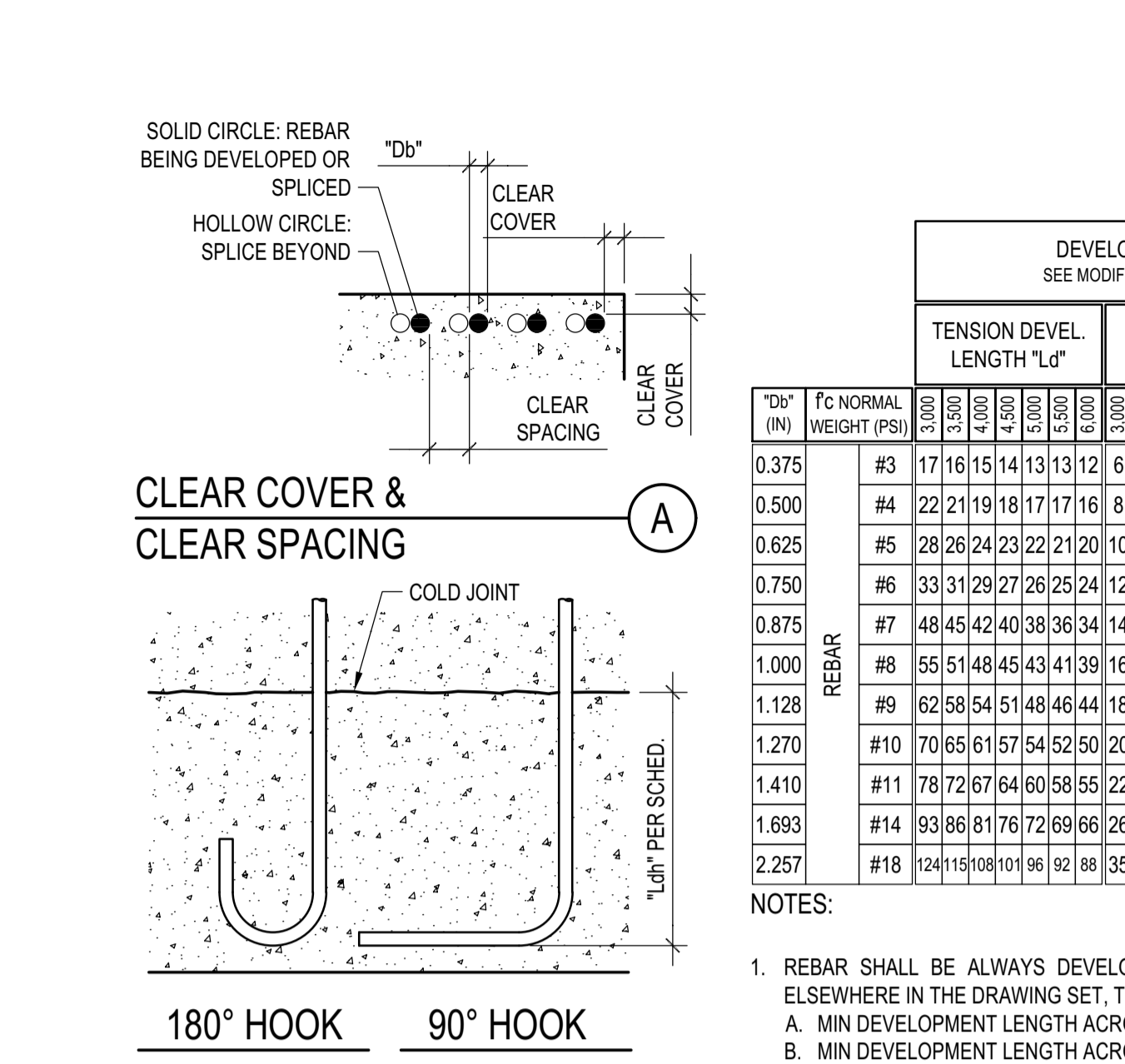
FORMSAVER  
SCALE: N.T.S. 4



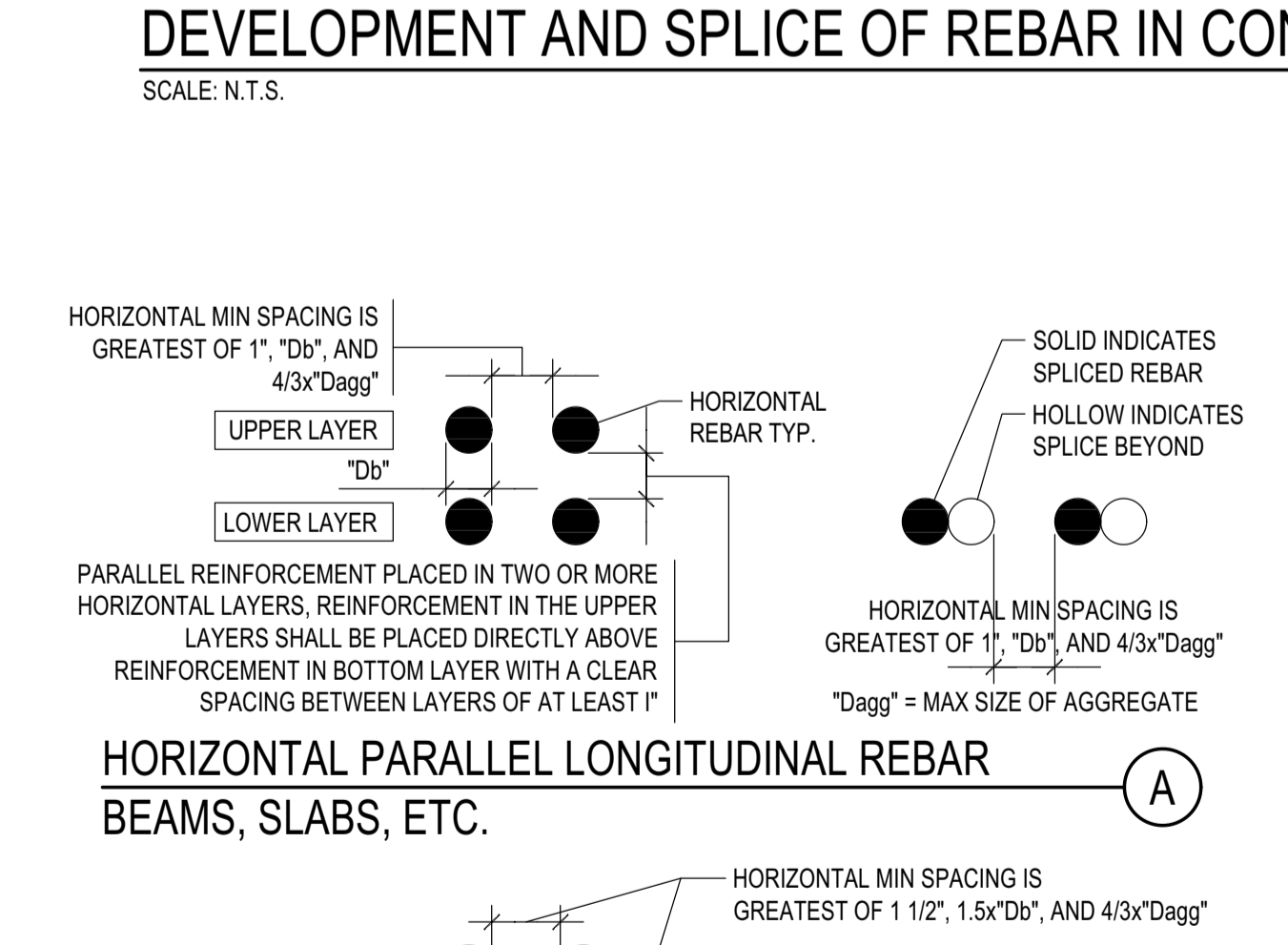
MIN BAR SPACING IN SHOTCRETE  
SCALE: N.T.S. 5



GENERIC BLOCKOUT  
SCALE: N.T.S. 6



DEVELOPMENT AND SPLICE OF REBAR IN CONCRETE  
SCALE: N.T.S. 1



MIN BAR SPACING IN CIP CONC.  
SCALE: N.T.S. 3

STANDARD HOOKS  
SCALE: N.T.S. 2

DEVELOPMENT OF LONGITUDINAL GR60 REBAR (IN)  
SCALE: N.T.S. 1

STANDARD HOOKS  
SCALE: N.T.S. 2

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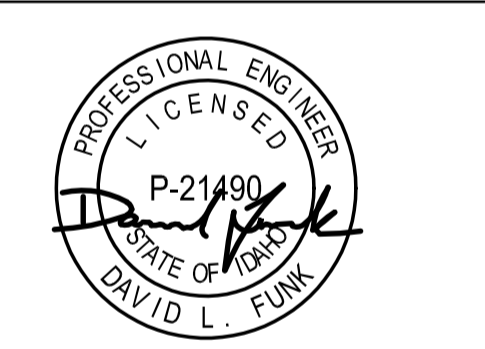
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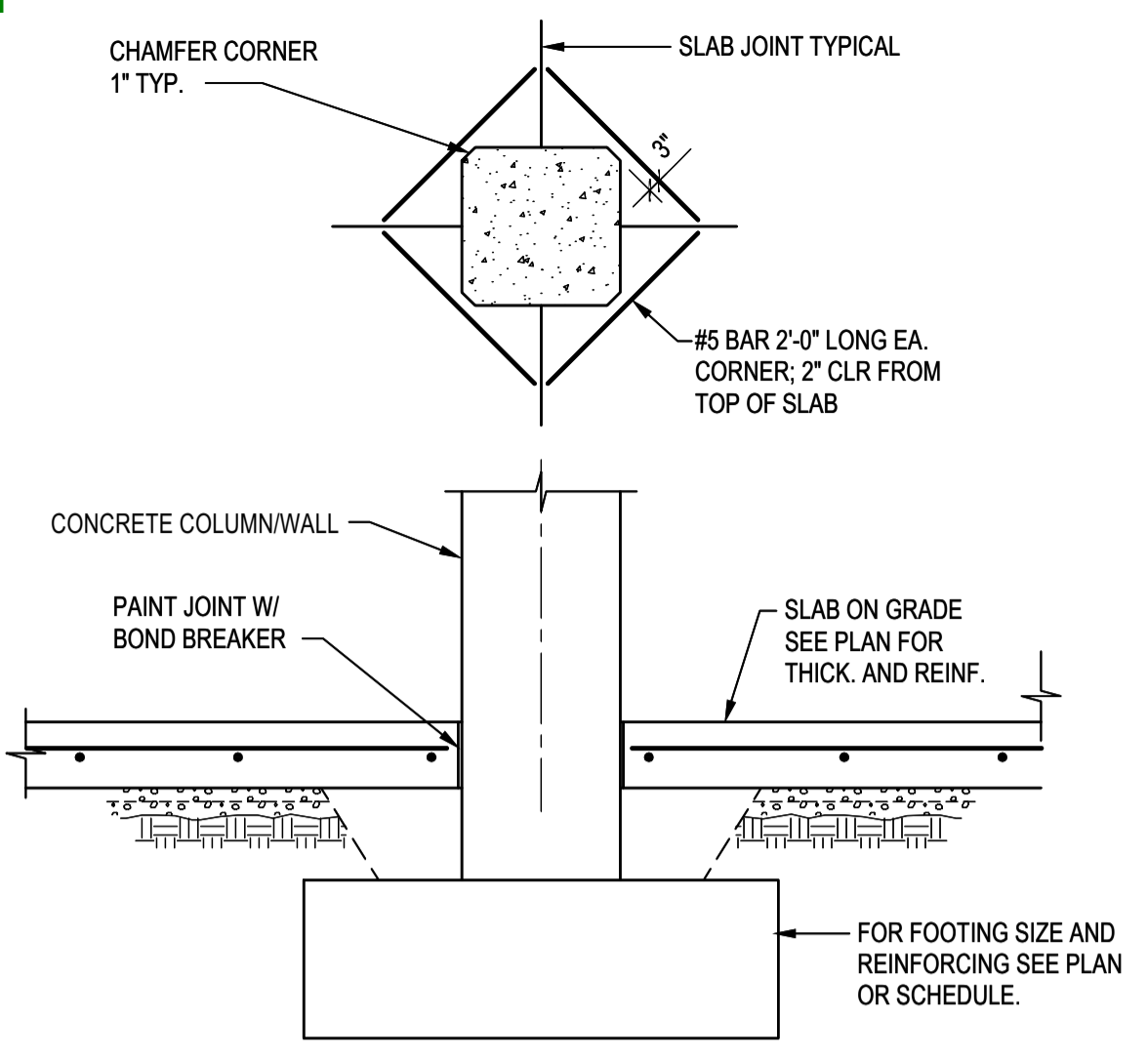
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ISSUE

PROJECT:  
BADGER RESIDENCE  
121 BADGER LANE  
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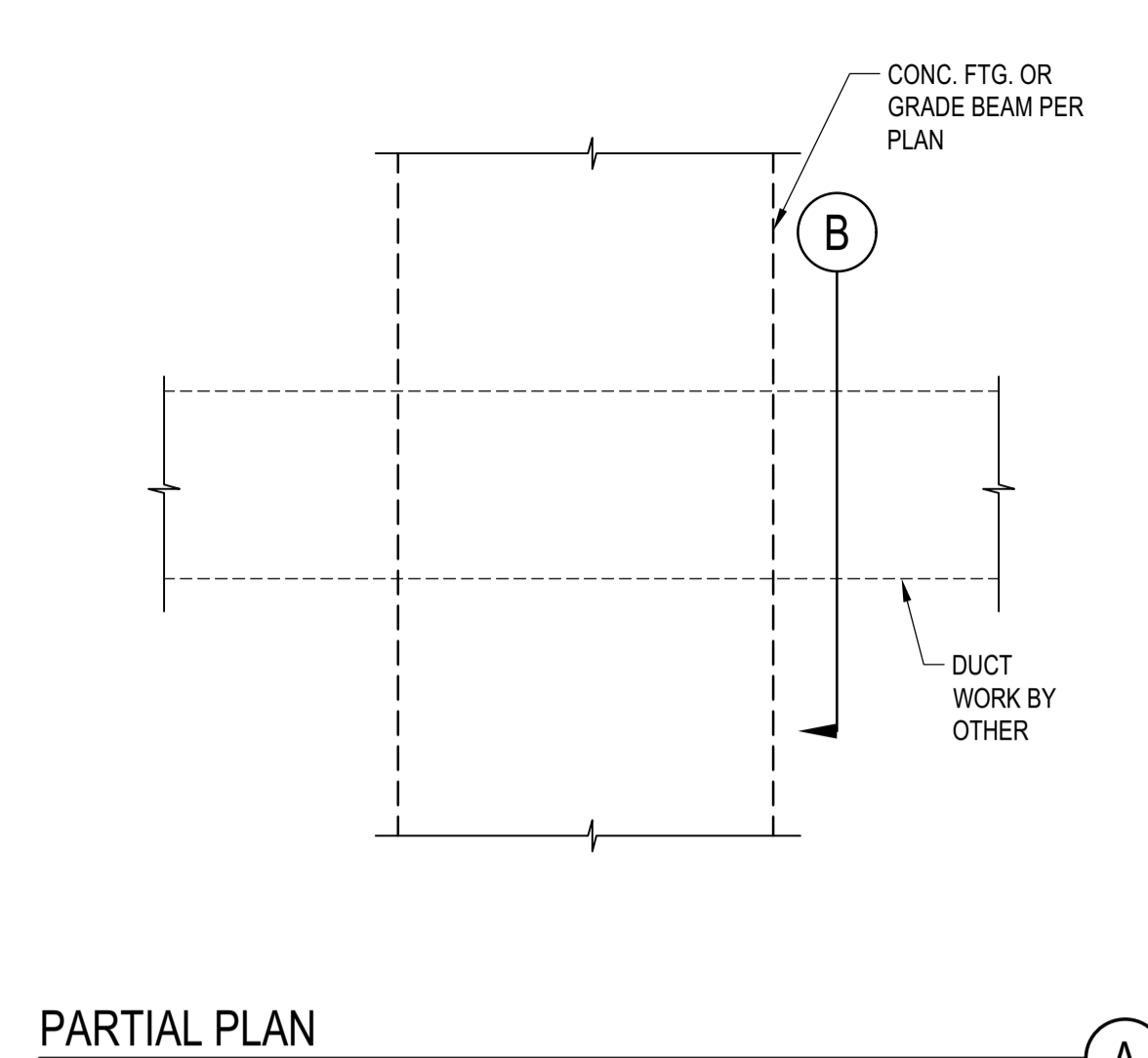
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DRAWING TITLE:  
TYPICAL DETAILS -  
CONCRETE

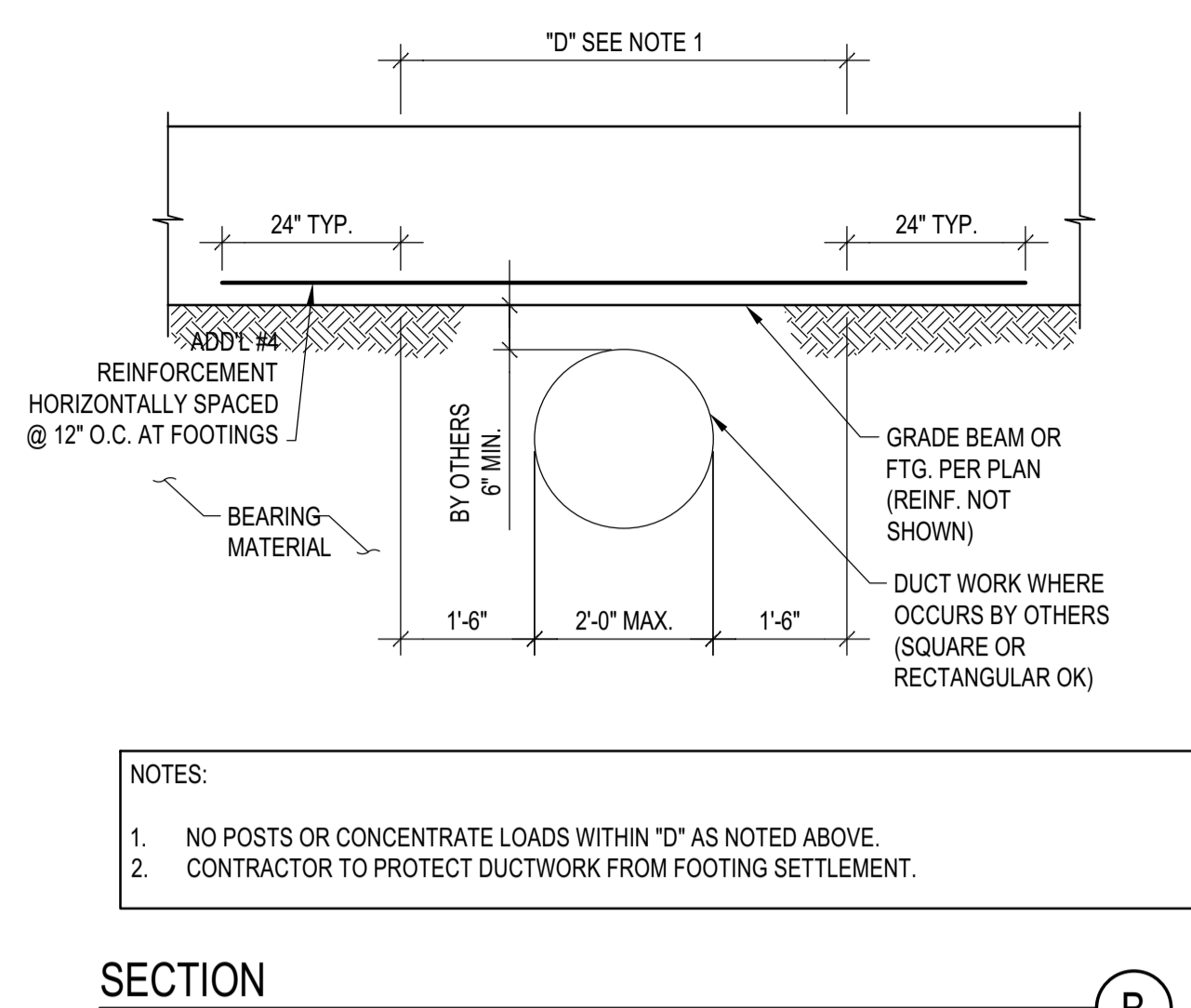
DRAWING NUMBER:  
S-011



**S.O.G. @ CONCRETE COLUMN**  
 SCALE: N.T.S.

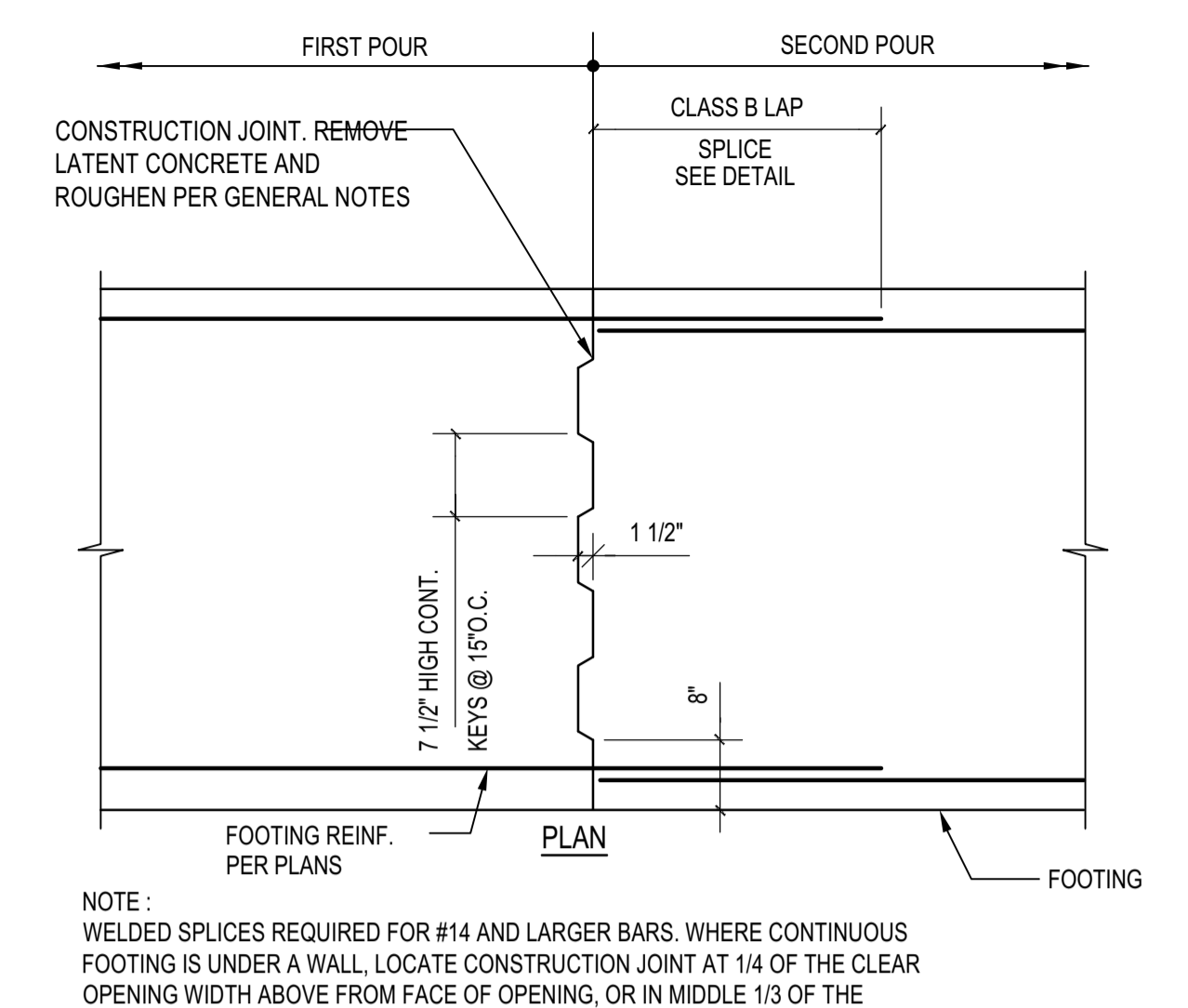


**TYP. DUCT BELOW FOOTING OR GRADE BEAM**  
 SCALE: N.T.S.



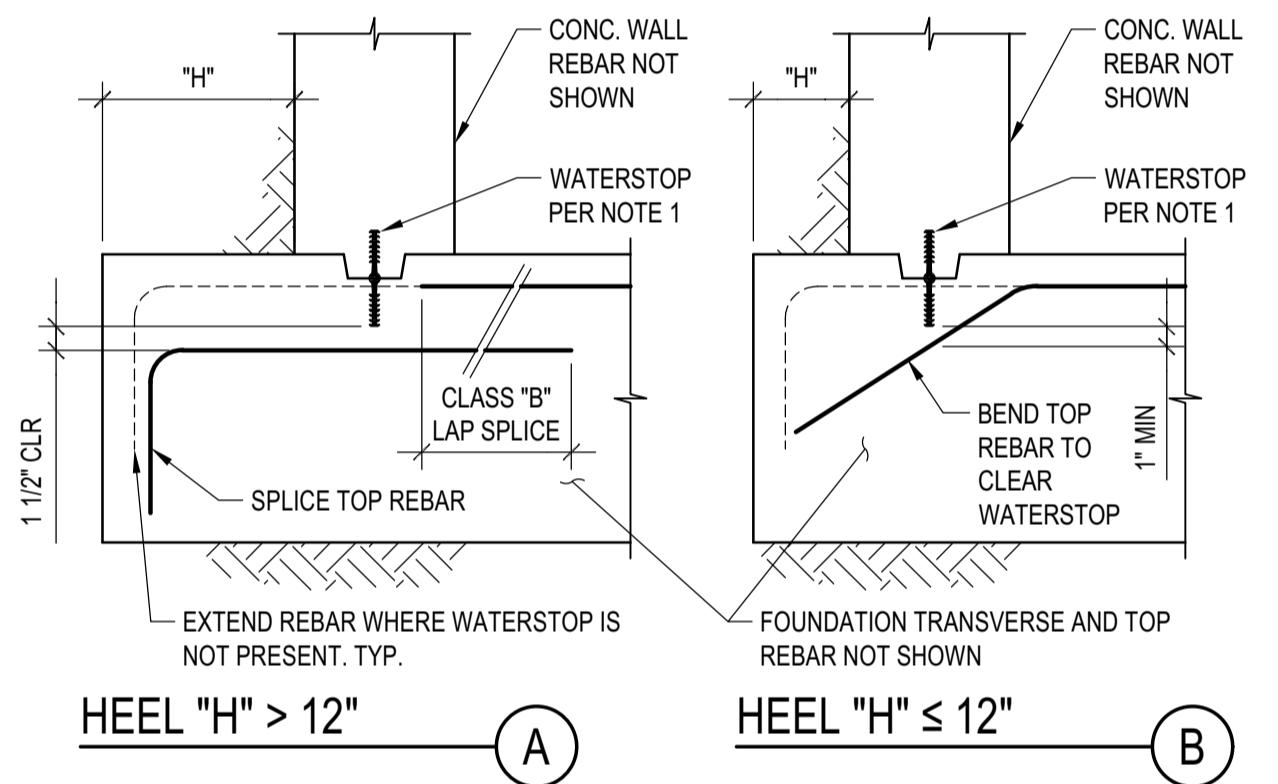
- NOTES:  
 1. NO POSTS OR CONCENTRATE LOADS WITHIN "D" AS NOTED ABOVE.  
 2. CONTRACTOR TO PROTECT DUCTWORK FROM FOOTING SETTLEMENT.

**SECTION**  
 SCALE: N.T.S.



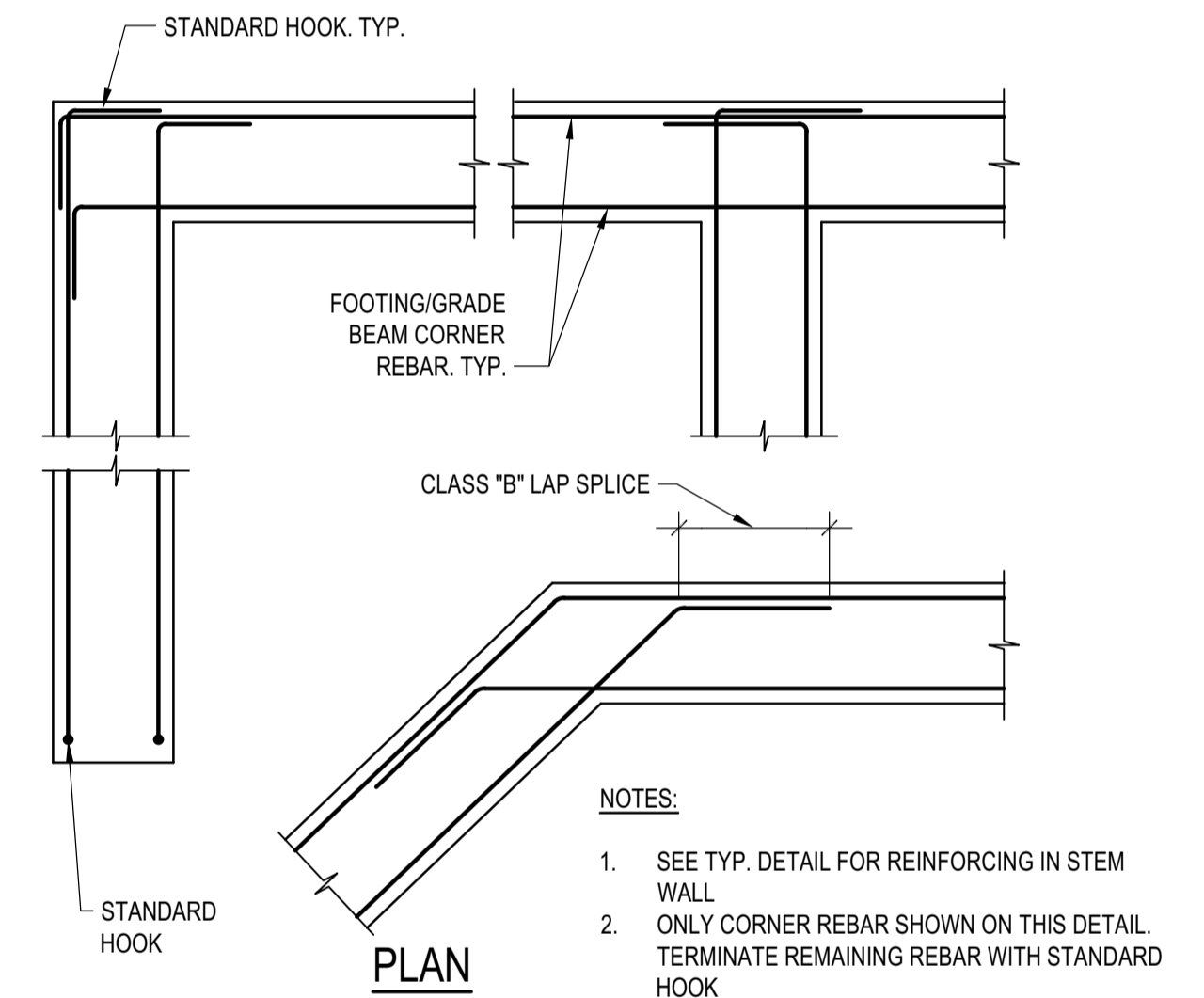
- NOTE:  
 WELDED SPLICES REQUIRED FOR #14 AND LARGER BARS, WHERE CONTINUOUS FOOTING IS UNDER A WALL, LOCATE CONSTRUCTION JOINT AT 1/4 OF THE CLEAR OPENING WIDTH ABOVE FROM FACE OF OPENING, OR IN MIDDLE 1/3 OF THE DISTANCE BETWEEN COLUMNS.

**CONT. FTG. CONSTRUCTION JOINT**  
 SCALE: N.T.S.



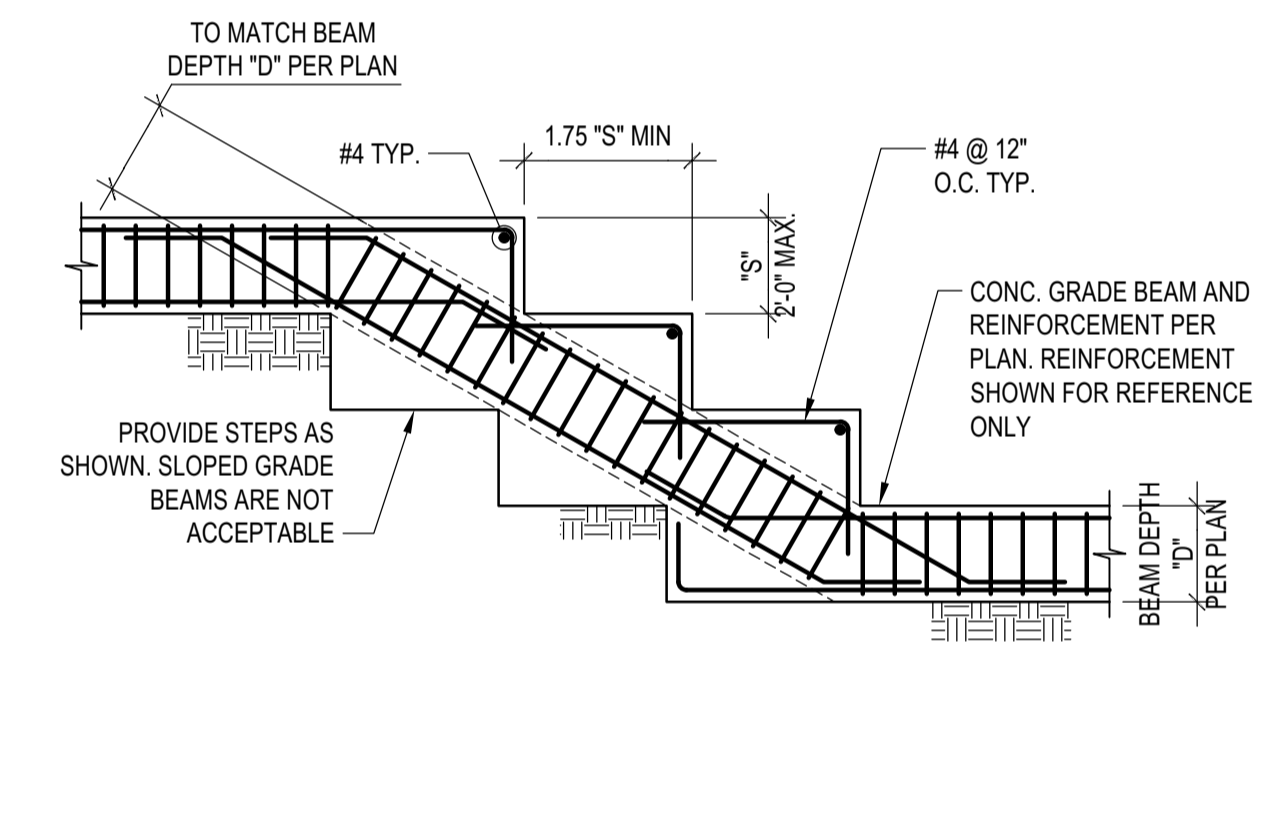
- NOTES:  
 1. WATERSTOPS ARE SPECIFIED BY ARCHITECT, WATERPROOFING CONSULTANT, CONTRACTOR, ECT. WATERSTOPS DO NOT FALL WITHIN LFA SCOPE.  
 2. WHERE WATERSTOPS ARE SPECIFIED, G.C. SHALL COORDINATE REBAR CONFIGURATION WITH WATERSTOPS AS SHOWN ON THIS DETAIL.  
 3. OBTAIN APPROVAL OF E.O.R. FOR OTHER REBAR/WATERSTOPS CONFIGURATIONS

**REBAR DETAIL AT WATERSTOP**  
 SCALE: N.T.S.

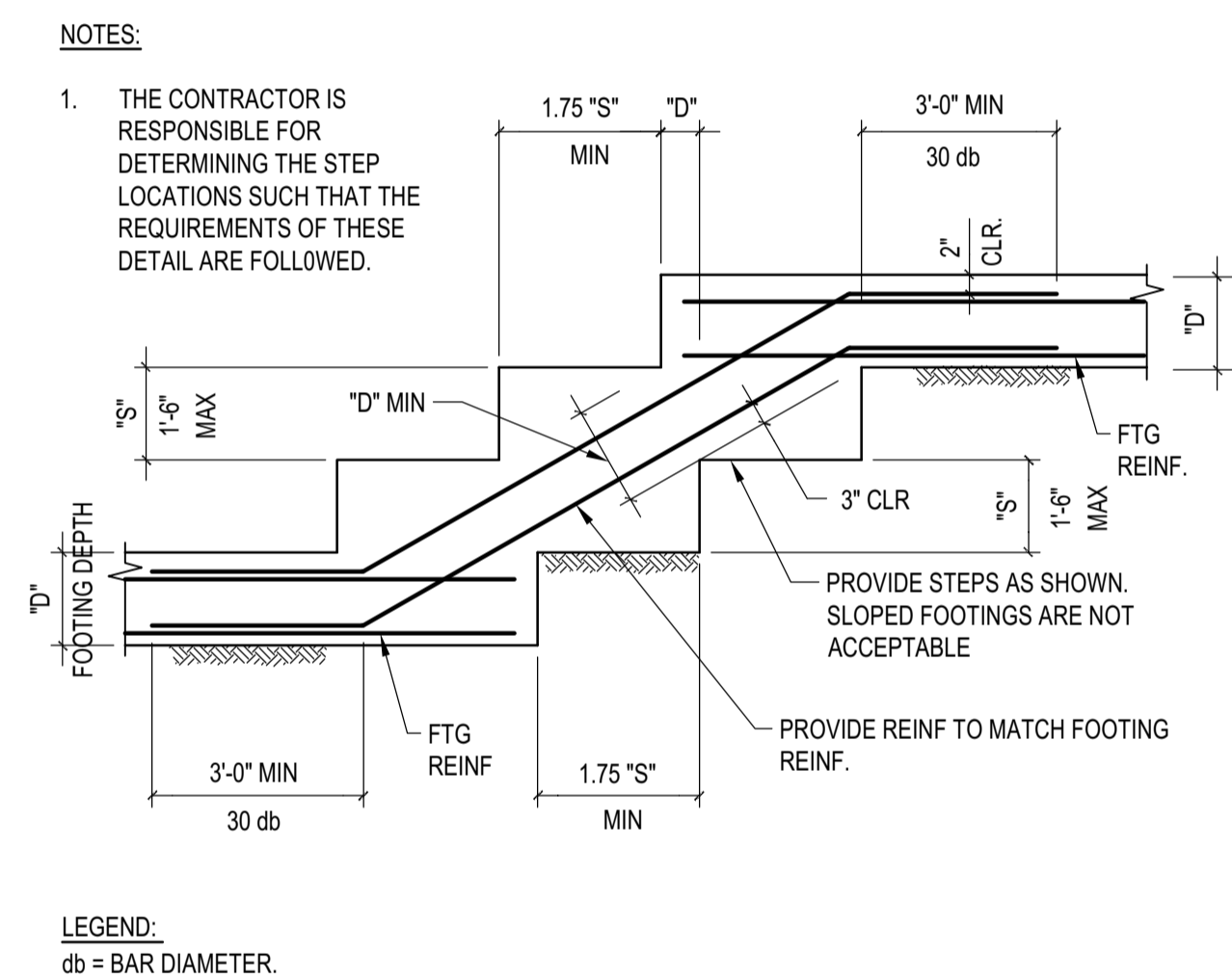


- NOTES:  
 1. SEE TYP. DETAIL FOR REINFORCING IN STEM WALL  
 2. ONLY CORNER REBAR SHOWN ON THIS DETAIL. TERMINATE REMAINING REBAR WITH STANDARD HOOK

**FOOTING AND GRADE BEAM REINFORCEMENT @ CORNERS**  
 SCALE: N.T.S.



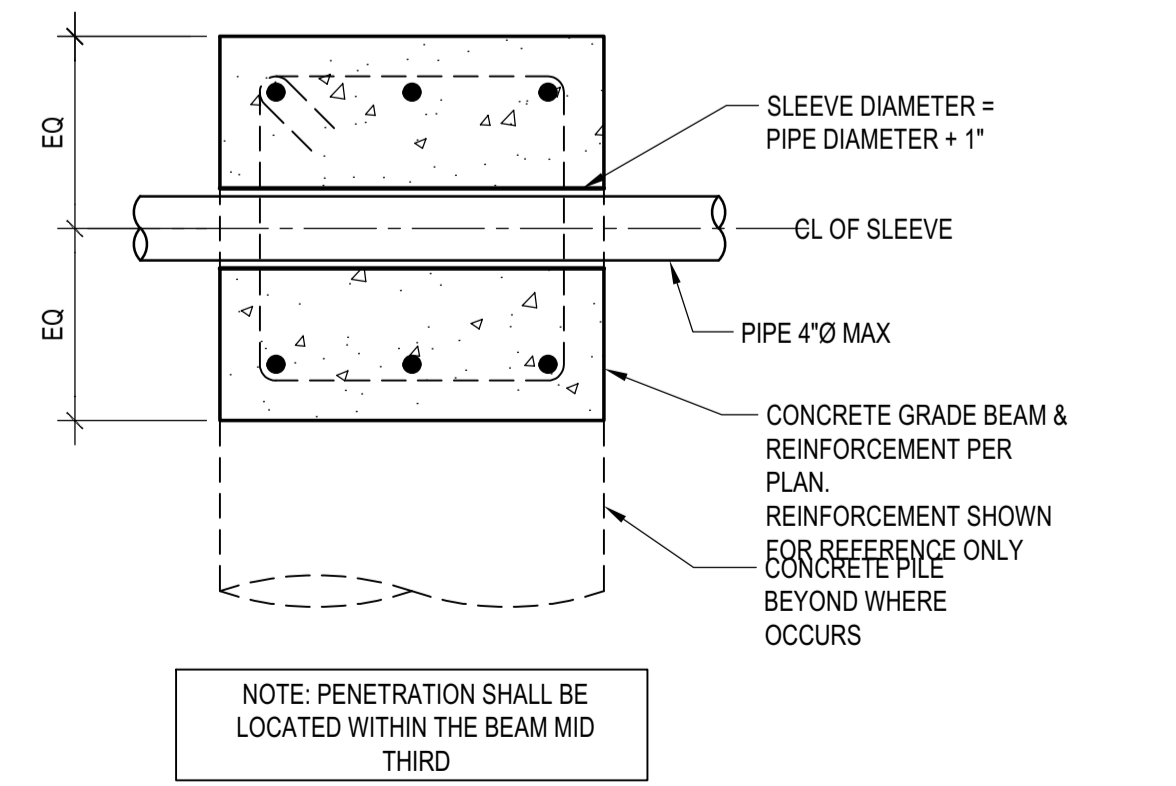
**STEPPED GRADE BEAM DETAIL**  
 SCALE: N.T.S.



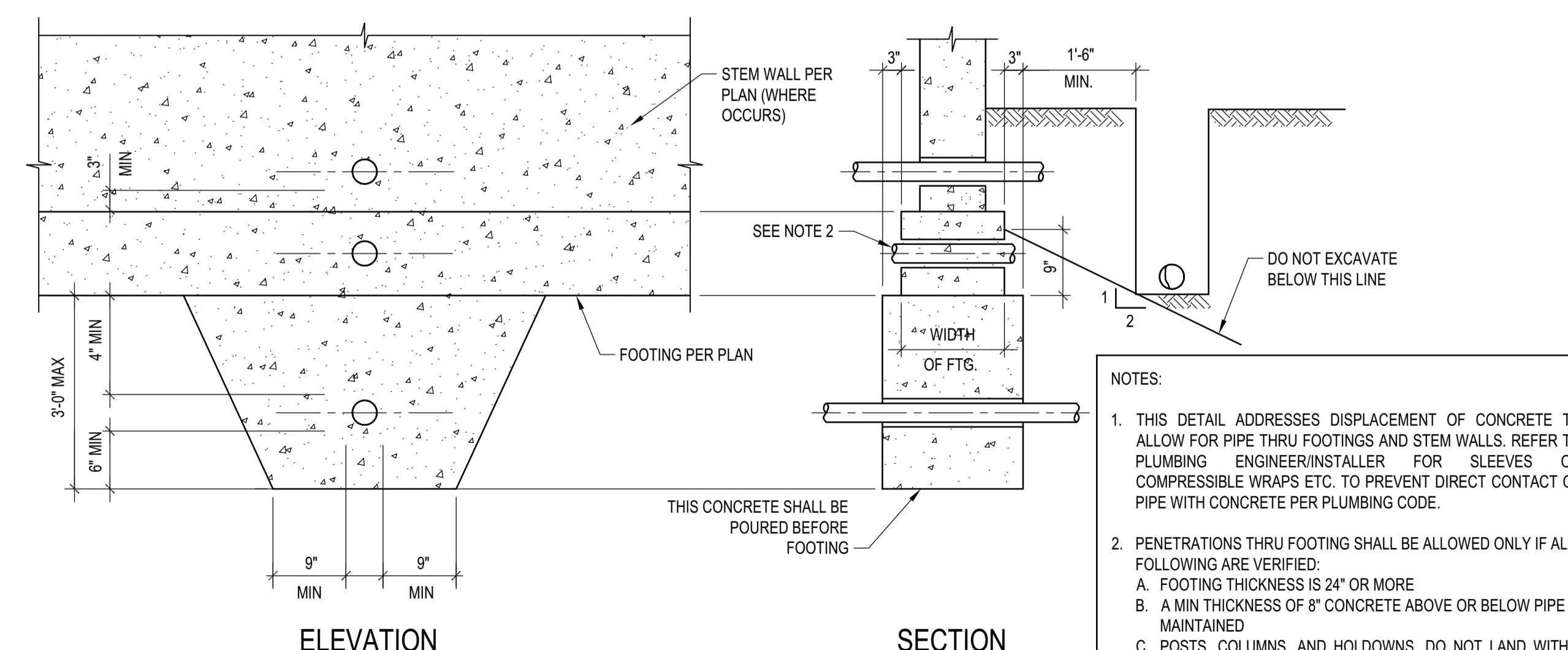
- NOTES:  
 1. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE STEP LOCATIONS SUCH THAT THE REQUIREMENTS OF THESE DETAIL ARE FOLLOWED.  
 PROVIDE STEPS AS SHOWN. SLOPED FOOTINGS ARE NOT ACCEPTABLE.  
 PROVIDE REINF. TO MATCH FOOTING REINF.

LEGEND:  
 db = BAR DIAMETER.

**TYP. STEPPED FOOTING DETAIL**  
 SCALE: N.T.S.



**TYP. PIPE THRU GRADE BEAM**  
 SCALE: N.T.S.



- NOTES:  
 1. THIS DETAIL ADDRESSES DISPLACEMENT OF CONCRETE TO ALLOW FOR PIPE THRU FOOTINGS AND STEM WALLS. REFER TO PLUMBING ENGINEER/INSTALLER FOR SLEEVES OR COMPRESSIBLE WRAPS ETC. TO PREVENT DIRECT CONTACT OF PIPE WITH CONCRETE PER PLUMBING CODE.  
 2. PENETRATIONS THRU FOOTING SHALL BE ALLOWED ONLY IF ALL FOLLOWING ARE VERIFIED:  
 A. FOOTING THICKNESS IS 24" OR MORE  
 B. A MIN THICKNESS OF 6" CONCRETE ABOVE OR BELOW PIPE IS MAINTAINED  
 C. POSTS, COLUMNS, AND HOLDDOWNS, DO NOT LAND WITHIN 24" ON EITHER SIDE OF PENETRATION  
 D. REBAR ARE NOT DISPLACED

**TYP. PIPE THRU FOUNDATION DETAIL**  
 SCALE: N.T.S.

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 317 NORTH RIVER STREET  
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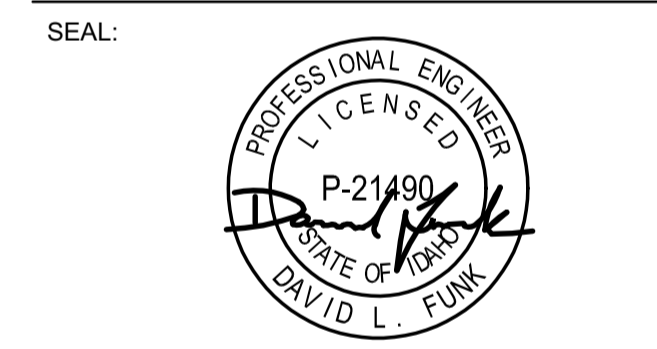
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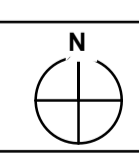
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 NO DATE ISSUE

PROJECT:  
**BADGER RESIDENCE**  
 121 BADGER LANE  
 KETCHUM, ID 83340

PROJECT NUMBER  
**#2201**

DRAWING TITLE:  
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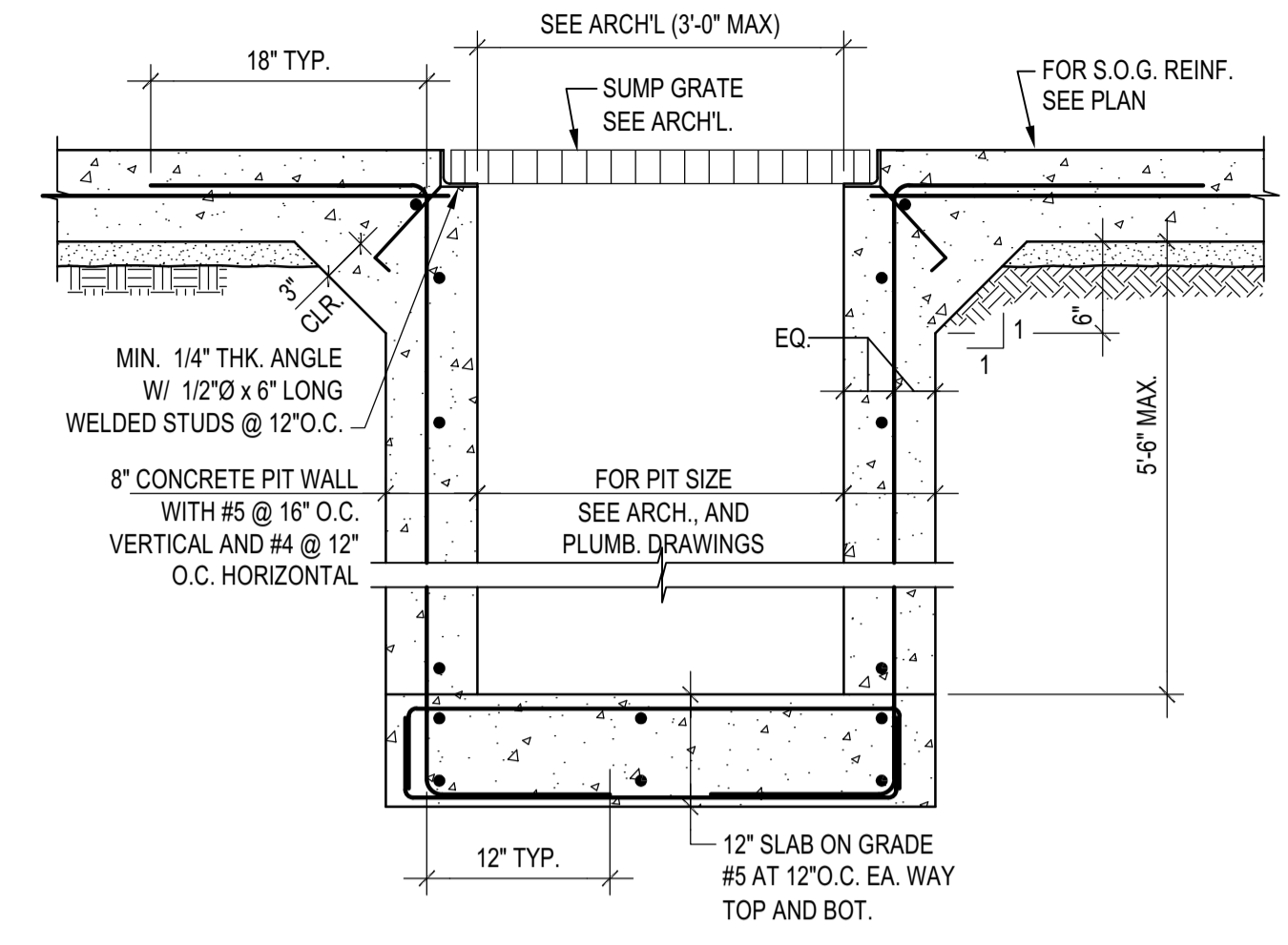
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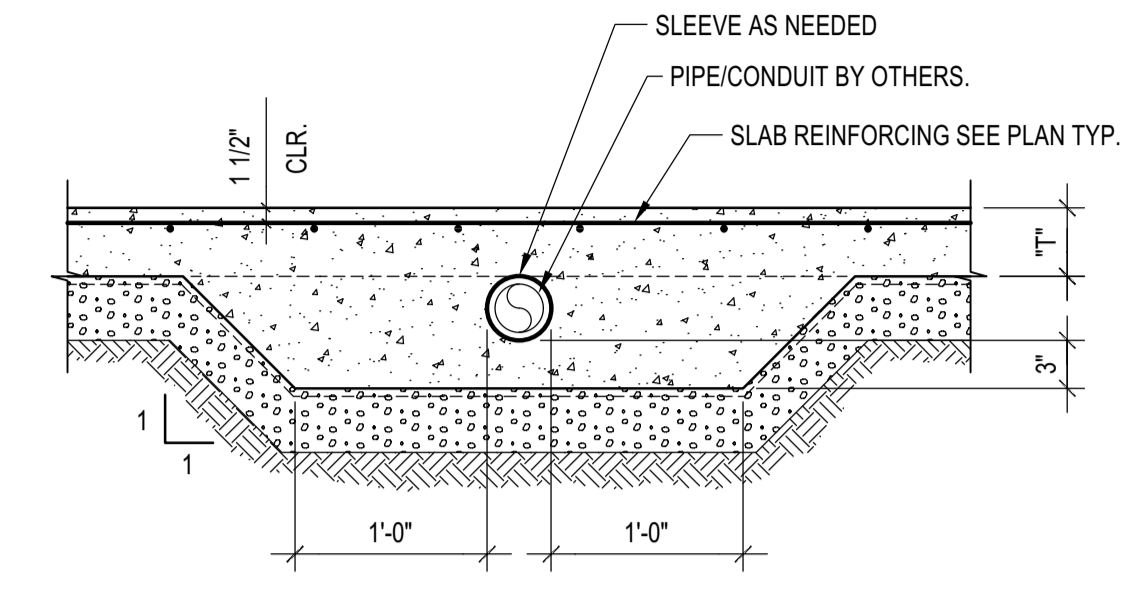


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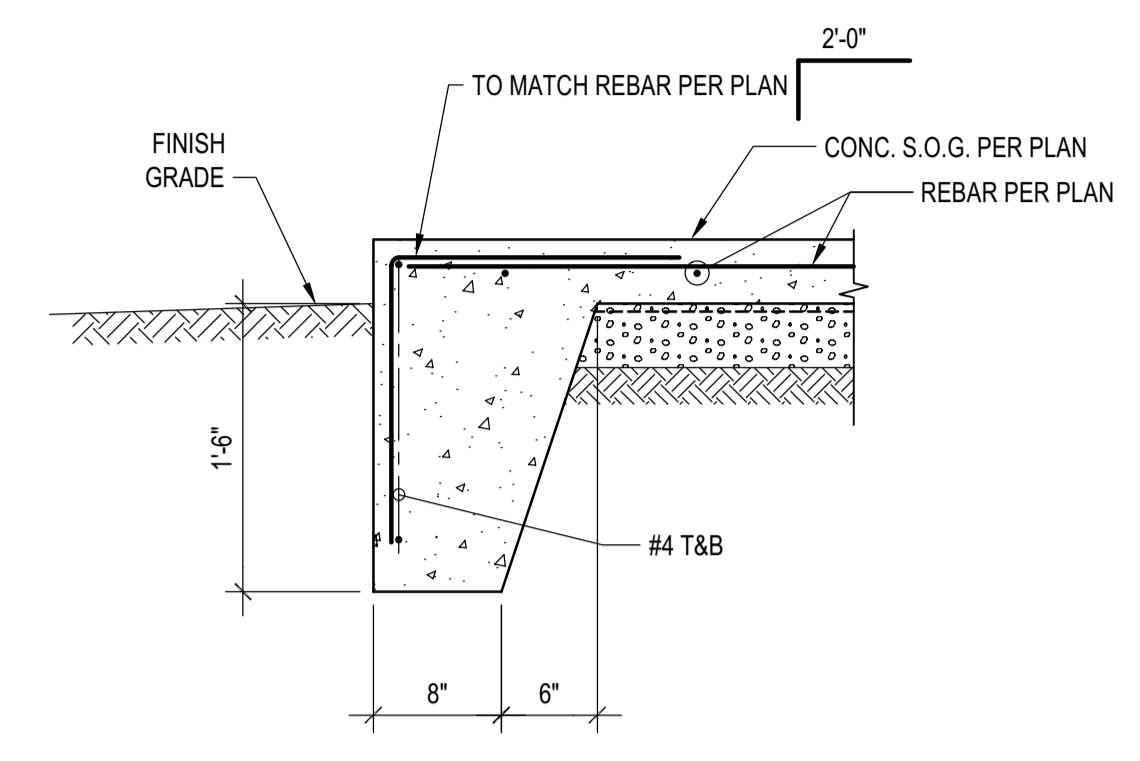
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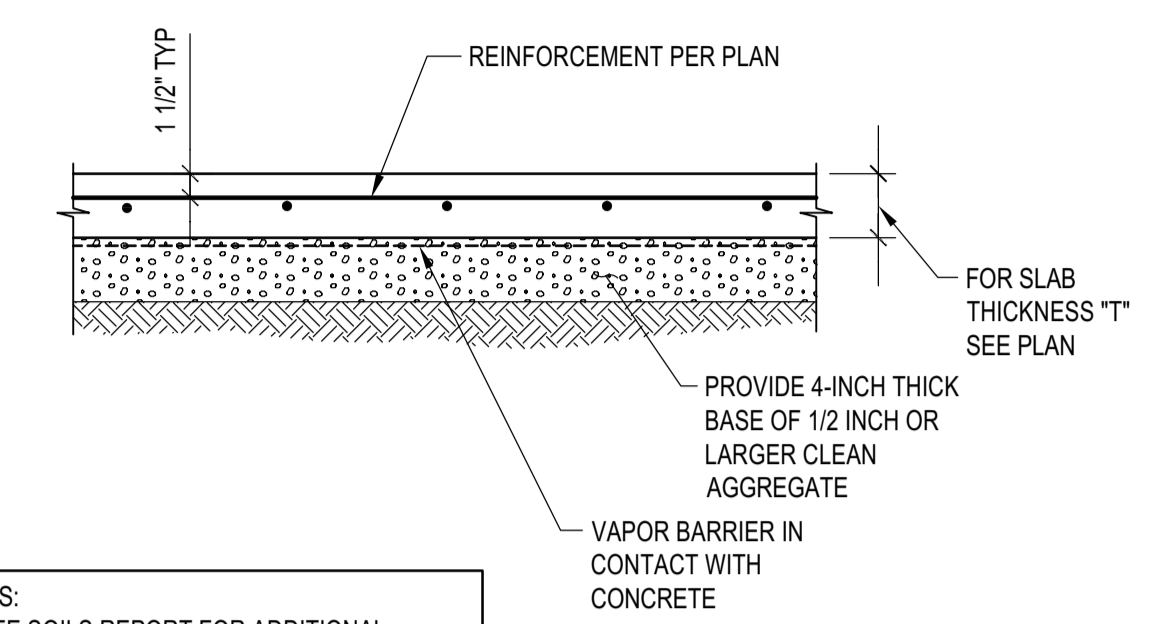
**TYP. SUMP PUMP PIT**  
SCALE: N.T.S. 8



**TYP. PIPE THRU SLAB ON GRADE**  
SCALE: N.T.S. 5

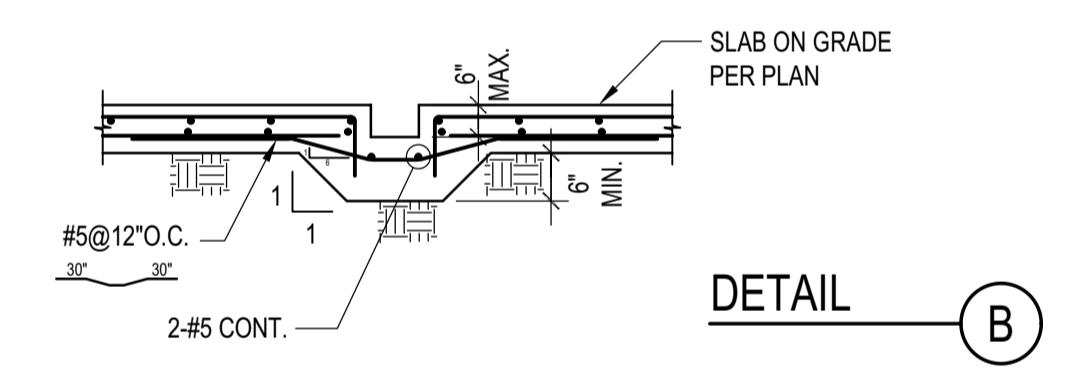
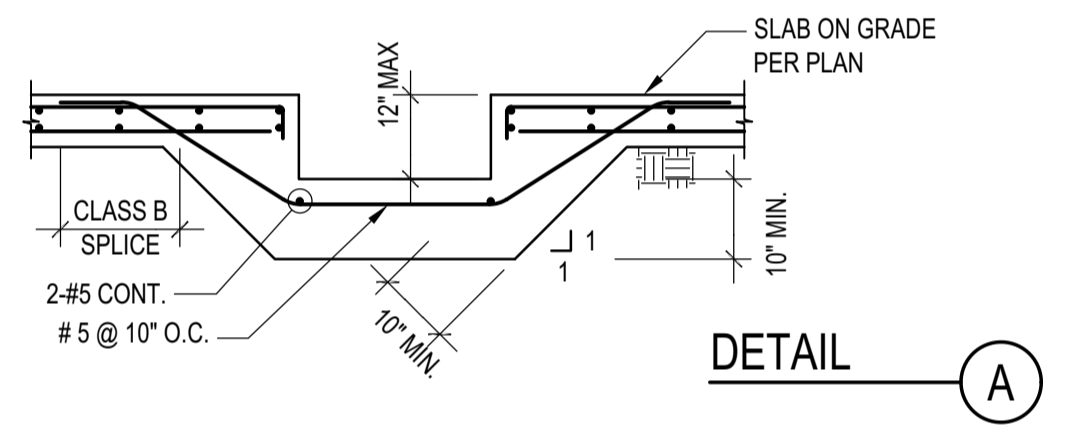


**SLAB ON GRADE EDGE DETAIL**  
SCALE: N.T.S. 3

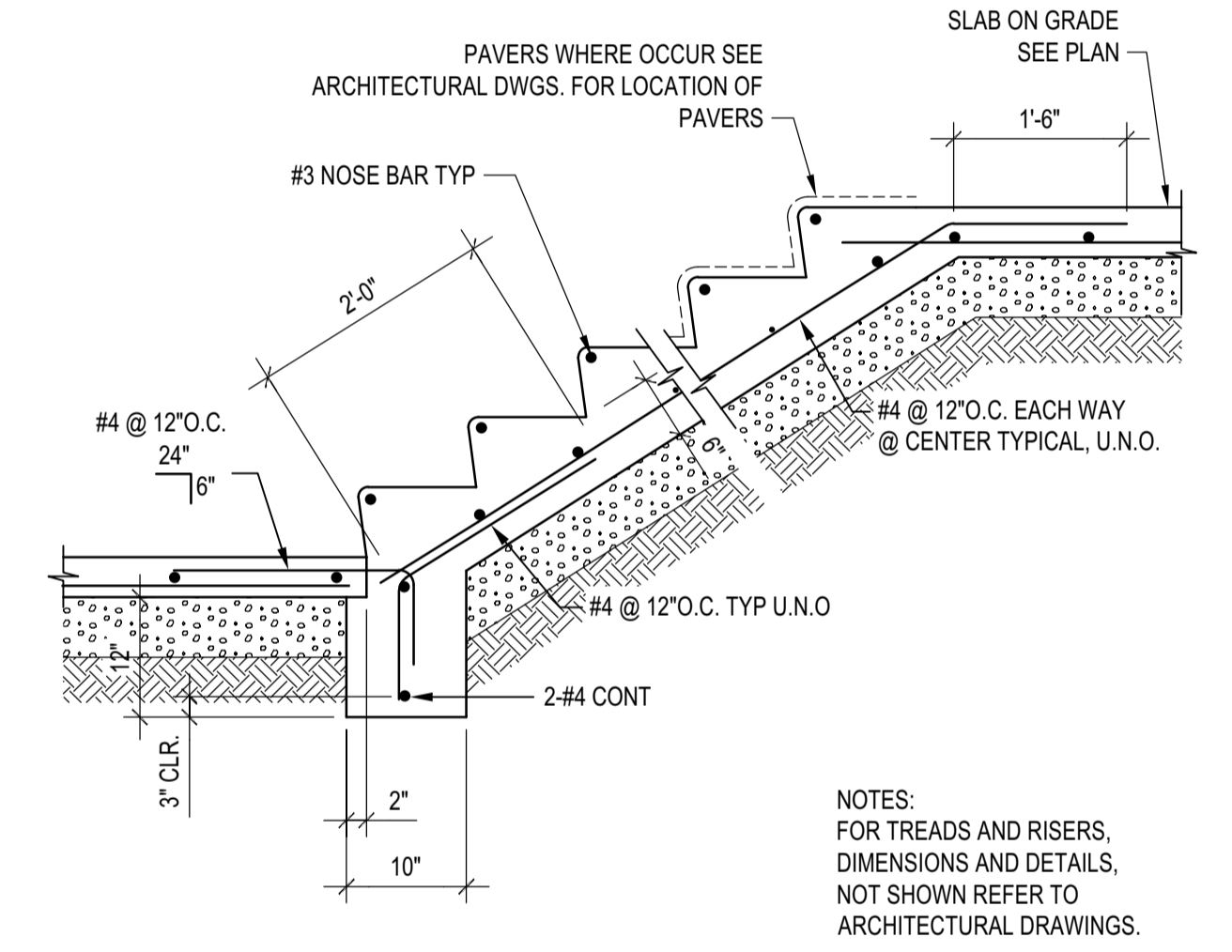


NOTES:  
1. SEE SOILS REPORT FOR ADDITIONAL SUBGRADE PREPARATION REQUIREMENTS  
2. VAPOR BARRIERS SPECS NOT PER LFA

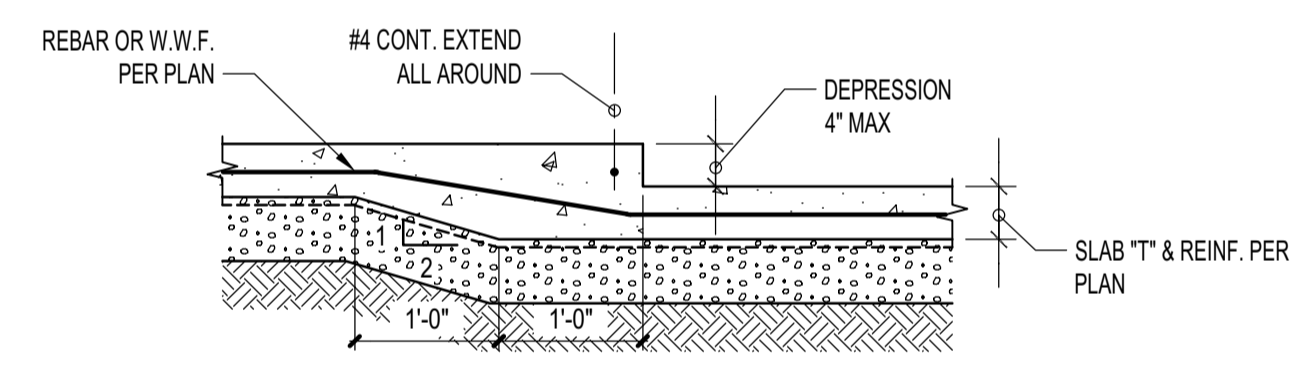
**TYPICAL SLAB ON GRADE**  
SCALE: N.T.S. 1



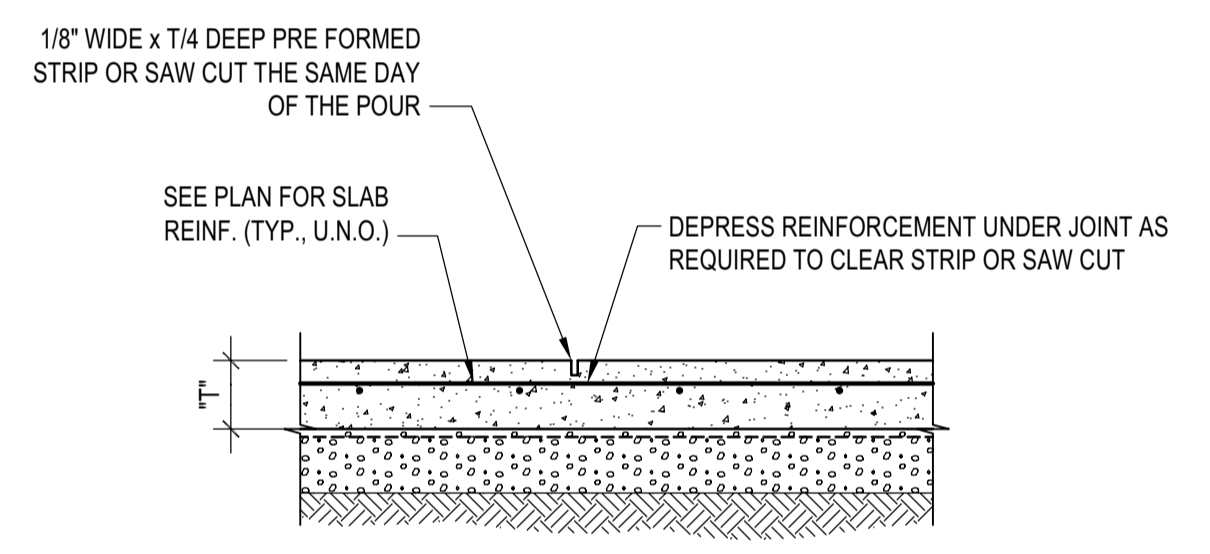
**TRENCH DRAIN DETAIL**  
SCALE: N.T.S. 9



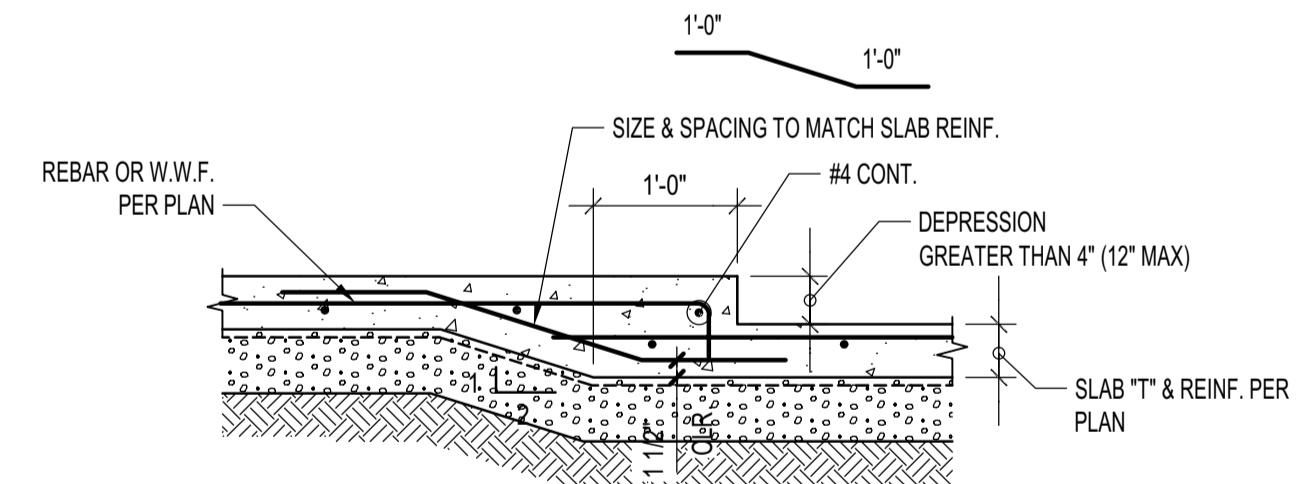
**STAIR ON GRADE DETAIL**  
SCALE: N.T.S. 6



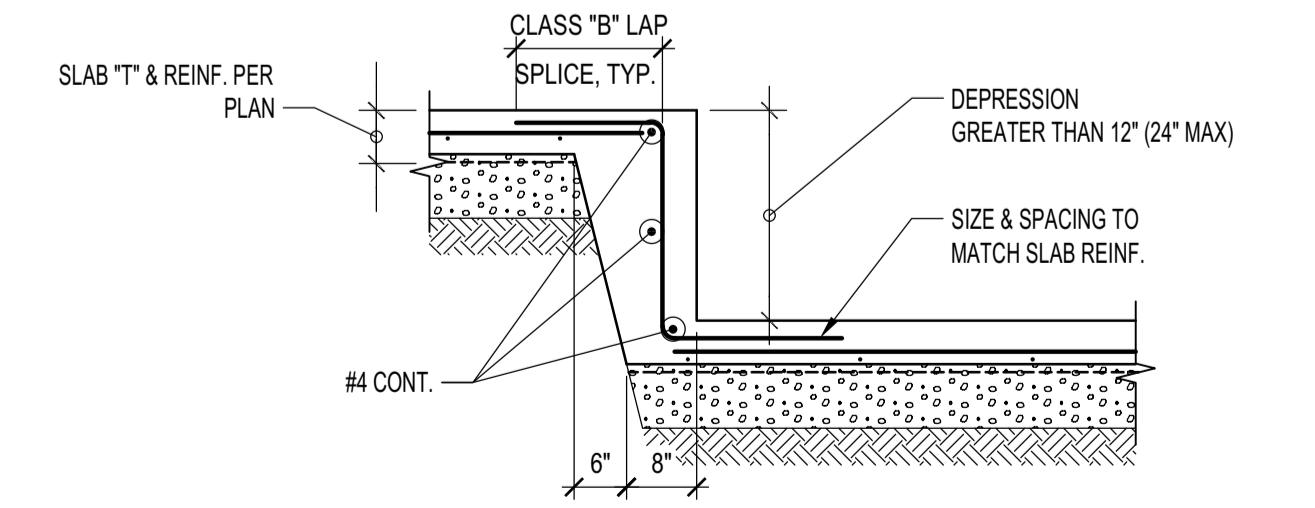
**DEPRESSION <=4"** A



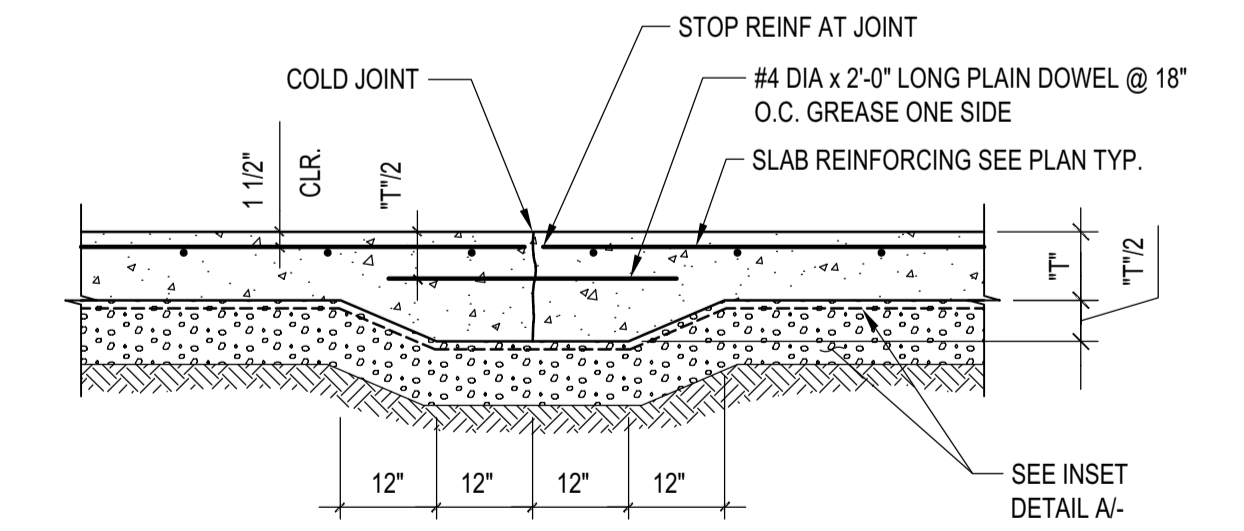
**CONTROL JOINT (WHERE CONTINUOUS POUR IS USED)** A



**DEPRESSION >4" & <=12"** B



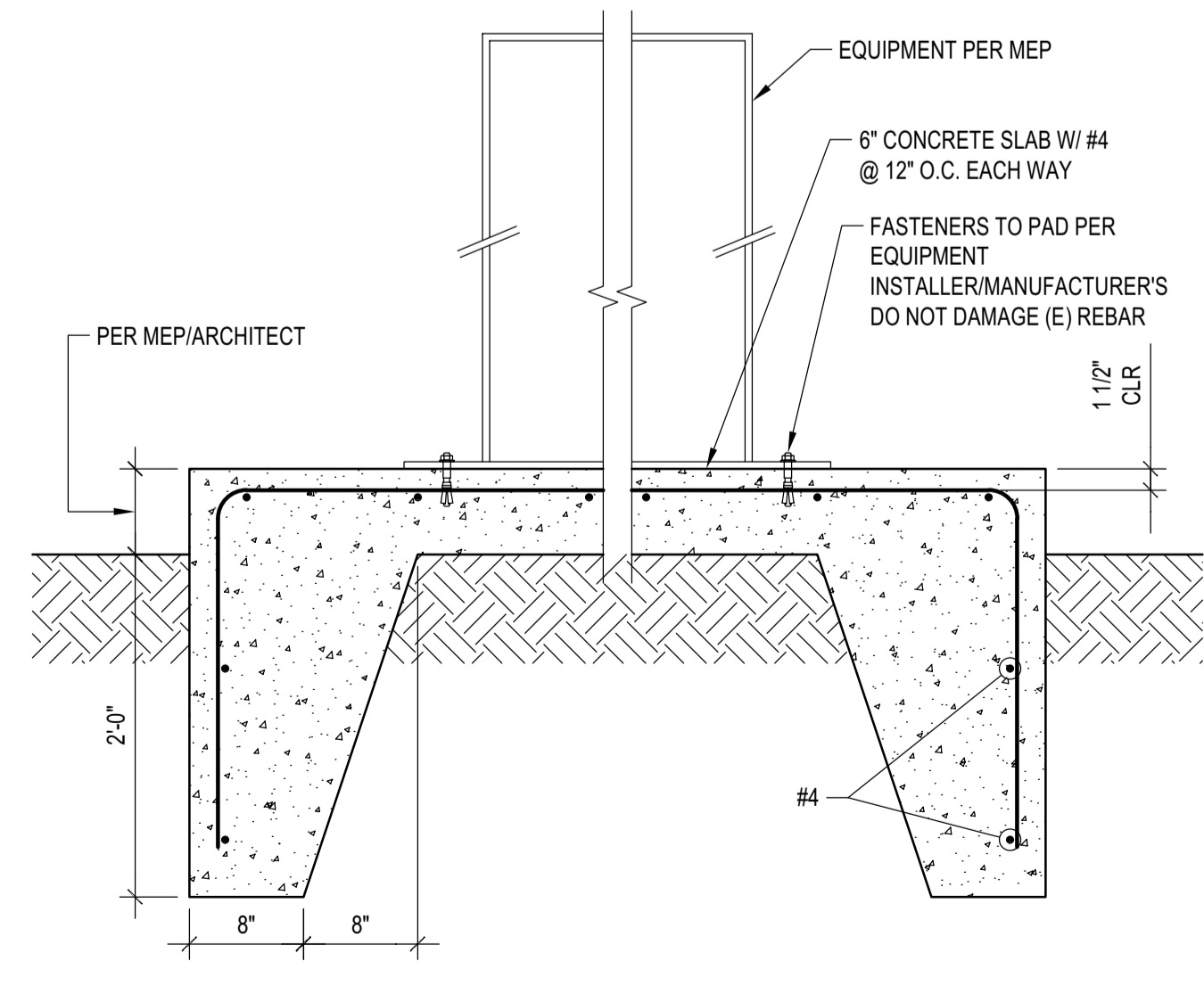
**DEPRESSION >12" & <=24"** C



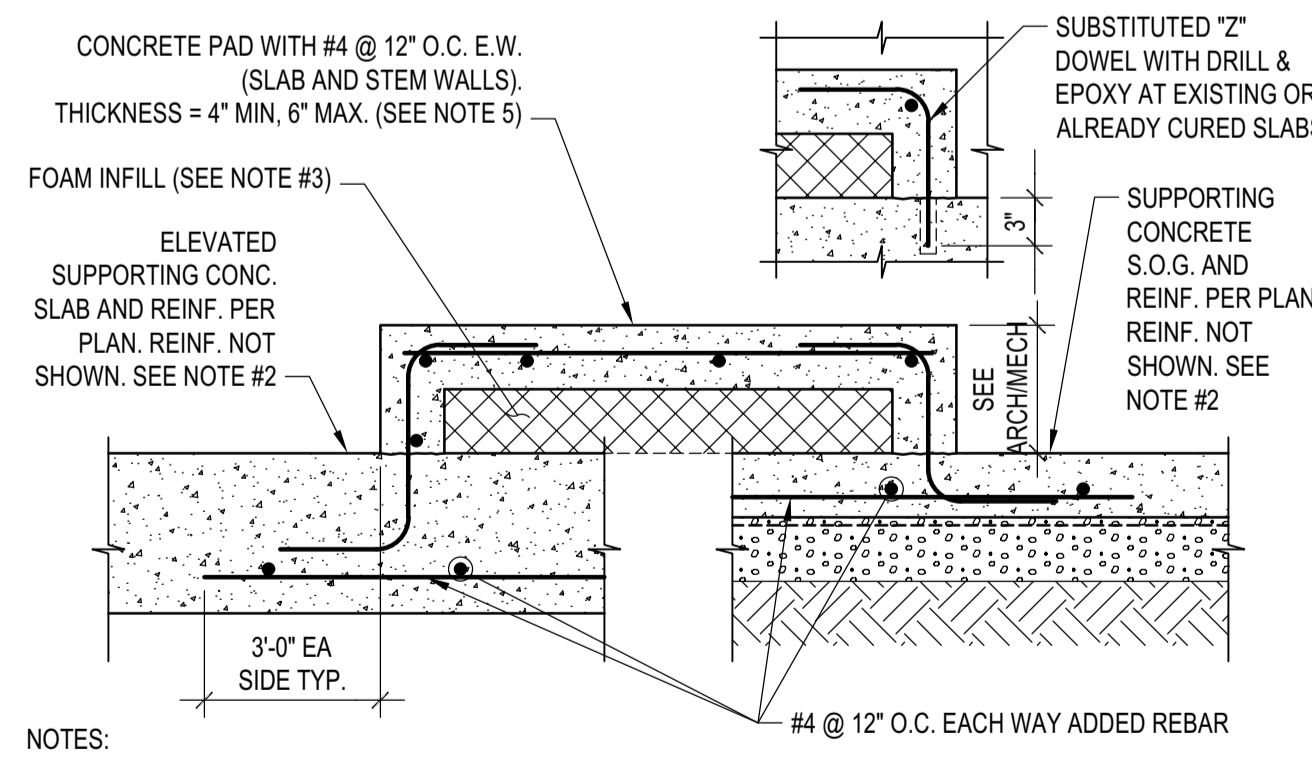
**TYPICAL CONSTRUCTION JOINT** B

NOTES:  
1. CONTROL JOINTS TO BE LOCATED AT COLUMN CENTER LINES AND AT 20'-0" O.C. MAX. AND EVERY 400 SQUARE FEET.  
2. IF SAW-CUT CONTROL JOINT TO BE USED, SAW-CUT WITHIN 24 HOURS OF POUR.  
3. SEE PLAN FOR "T".

**JOINTS AT SLAB ON GRADE**  
SCALE: N.T.S. 3



**EQUIPMENT CONC. PAD ON GRADE**  
SCALE: N.T.S. 10



NOTES:  
1. THIS DETAIL ADDRESSES THE CONSTRUCTION OF CONCRETE MECHANICAL AND HOUSEKEEPING PAD.  
2. SUPPORTING SLAB:  
• SLAB ON GRADE: THIS DETAIL CAN BE UTILIZED AT ALL LOCATIONS  
• ELEVATED SLAB: THIS DETAIL CAN BE UTILIZED ONLY WHERE EXPRESSLY INDICATED ON THE STRUCTURAL FLOOR PLANS. IF NOT SHOWN, OBTAIN S.E.O.R. APPROVAL PRIOR TO ERECTION  
3. AT CONTRACTOR'S DISCRETION, FOAM CAN BE SUBSTITUTED WITH CONCRETE IF THE SUPPORTING SLAB IS ON GRADE. THIS SUBSTITUTION IS NOT ALLOWED FOR ELEVATED SUPPORTING SLAB.  
4. CONCRETE PAD CONFIGURATION, ANCHOR BOLT SIZE, PROJECTION AND LOCATION SHALL CONFORM TO EQUIPMENT MANUFACTURER'S REQUIREMENTS.  
5. THICKEN PAD AS REQUIRED FOR HOLD-DOWN ANCHOR EMBEDMENT.

**MECH. PAD FOR LIGHT EQUIPMENT**  
SCALE: N.T.S. 7

**SLAB ON GRADE DEPRESSION**  
SCALE: N.T.S. 4

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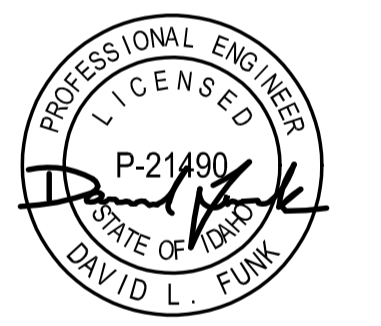
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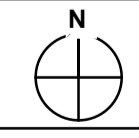
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NO DATE ISSUE

PROJECT:  
**BADGER RESIDENCE**  
121 BADGER LANE  
KETCHUM, ID 83340

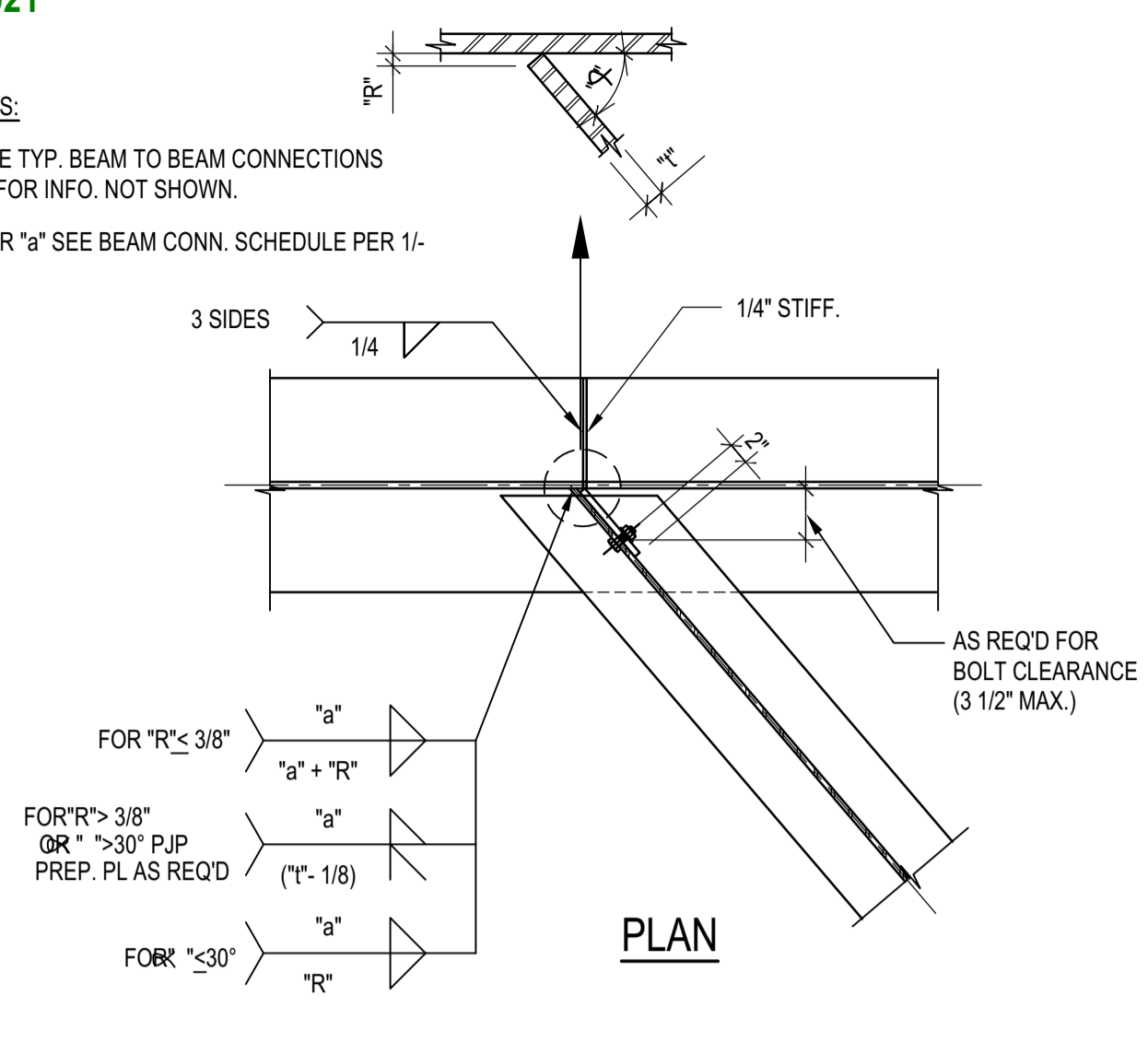
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**#2201**

DRAWING TITLE:  
**TYPICAL DETAILS - CONCRETE**

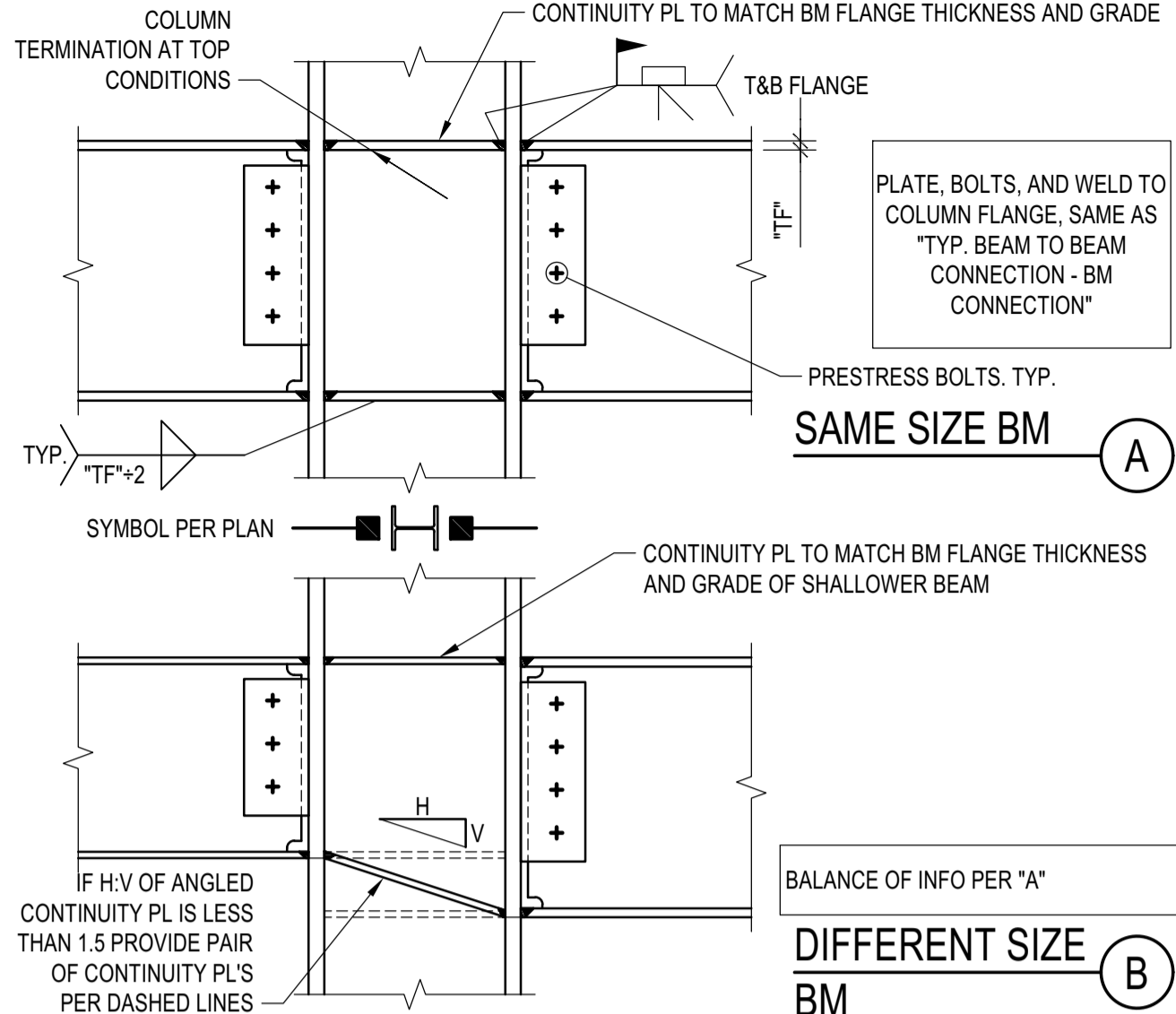
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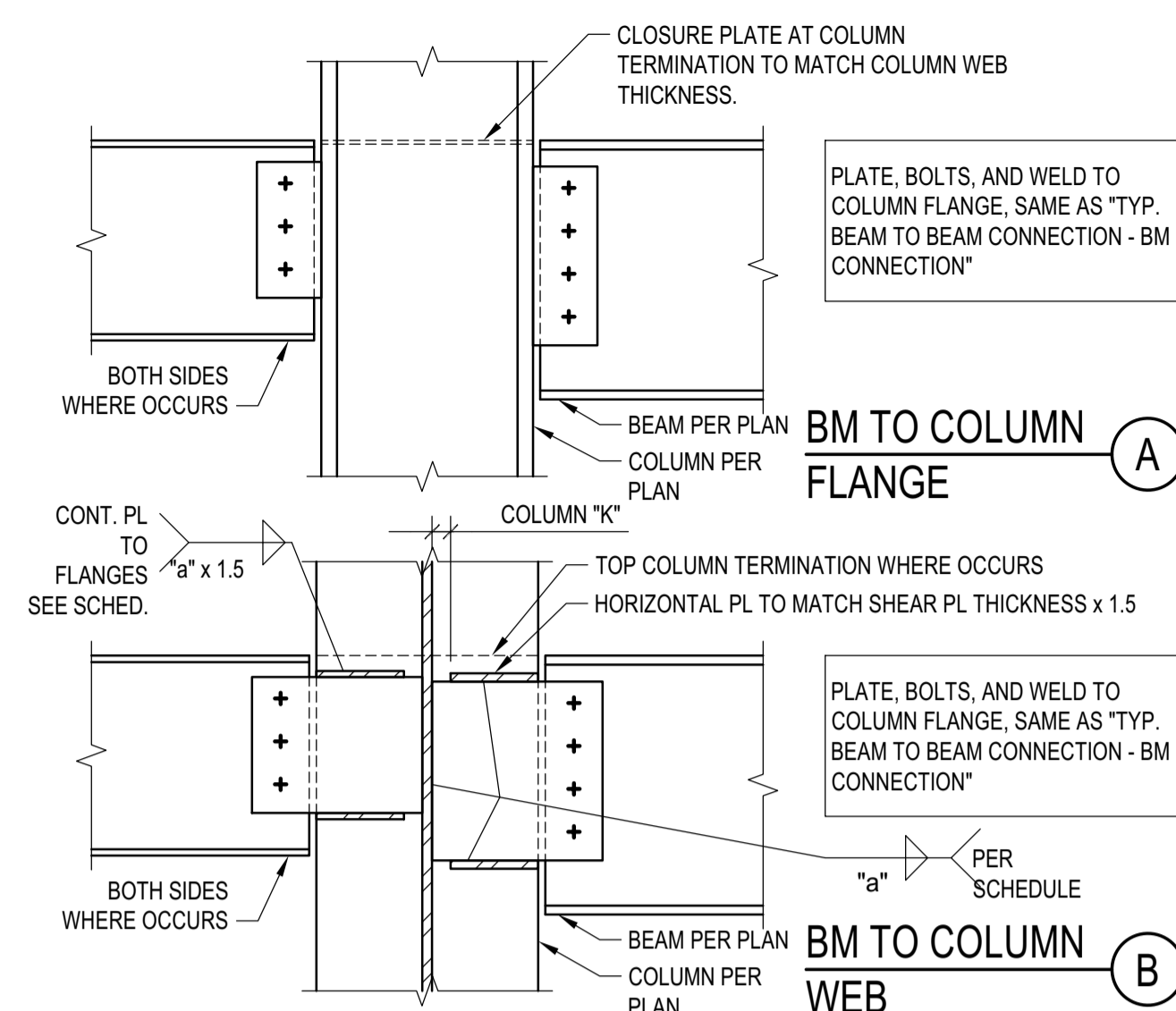
- NOTES:
- SEE TYP. BEAM TO BEAM CONNECTIONS FOR INFO. NOT SHOWN.
  - FOR "a" SEE BEAM CONN. SCHEDULE PER 1-



**SKEWED BEAM TO BEAM CONN.**  
 SCALE: N.T.S.



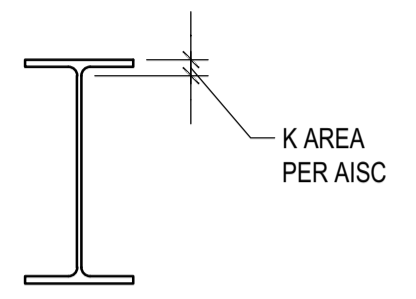
**BM TO CLN FLANGE RIGID CONN.**  
 SCALE: N.T.S.



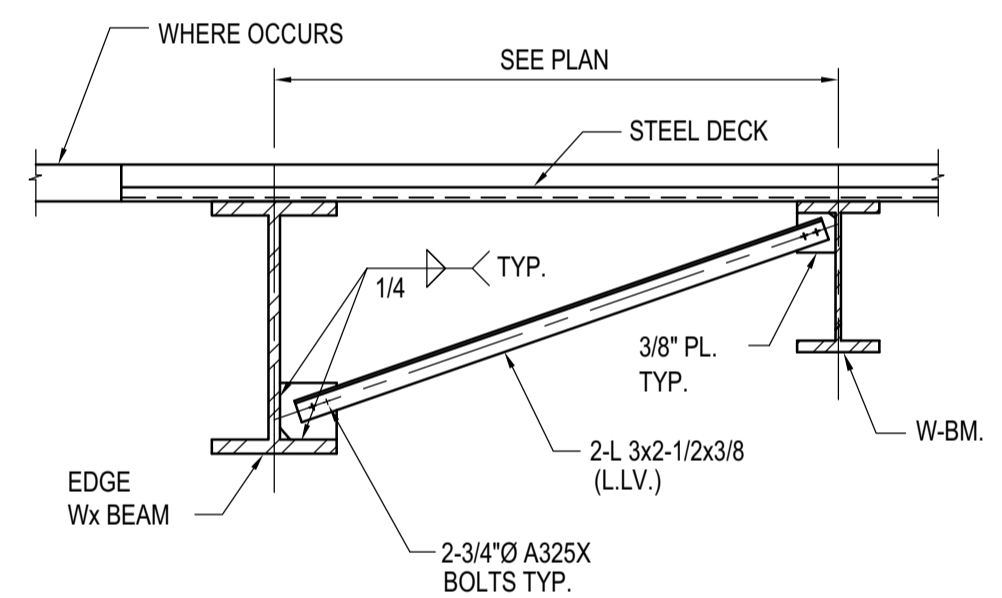
**TYP. BEAM TO WF COLUMN**  
 SCALE: N.T.S.

- NOTES:
- BEAM PREP AND WELDED JOINT TO COMPLY WITH PRE-QUALIFIED AWS AND AISC DETAILING REQUIREMENTS.
  - FIELD WELD CONNECTION PLATES WHERE (N) MEMBERS CONNECT TO (E) MEMBERS.
  - AT W6 BEAMS PROVIDE 1 7/8" SPACING BETWEEN BOLTS.
  - ALL HOLES SHALL BE STANDARD HOLES.
  - OBTAIN APPROVAL FROM PROJECT ARCHITECT FOR ADDED ERECTION PLATES AND BOLTS AT ARCHITECTURALLY EXPOSED STRUCTURAL STEEL.

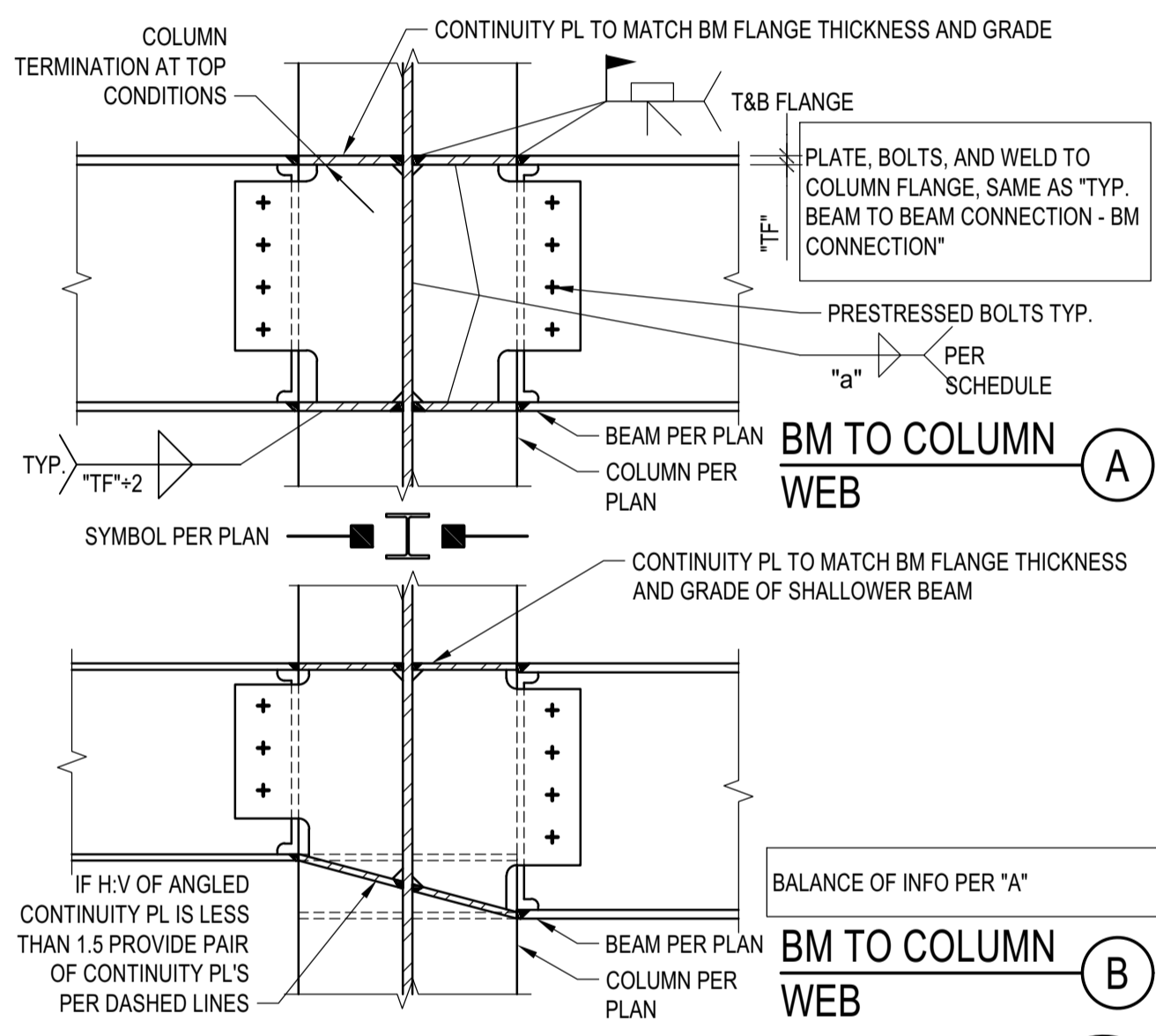
BEAM/ GIRDER	CONNECTION BOLT - A325X			
	NO. OF BOLTS	SIZE OF BOLTS	PLATE THICK.	WELD SIZE
W6	2 (1)	5/8"Ø	3/8"	5/16"
W8, W10	2	7/8"Ø	3/8"	5/16"
W12, W14	3	7/8"Ø	3/8"	3/8"
W16, W18	4	7/8"Ø	1/2"	3/8"
W21	5	7/8"Ø	1/2"	3/8"
W24	6	7/8"Ø	1/2"	3/8"
W27	7	7/8"Ø	1/2"	3/8"
W30	8	7/8"Ø	5/8"	3/8"
W33	9	7/8"Ø	5/8"	3/8"
W36	10	7/8"Ø	5/8"	3/8"



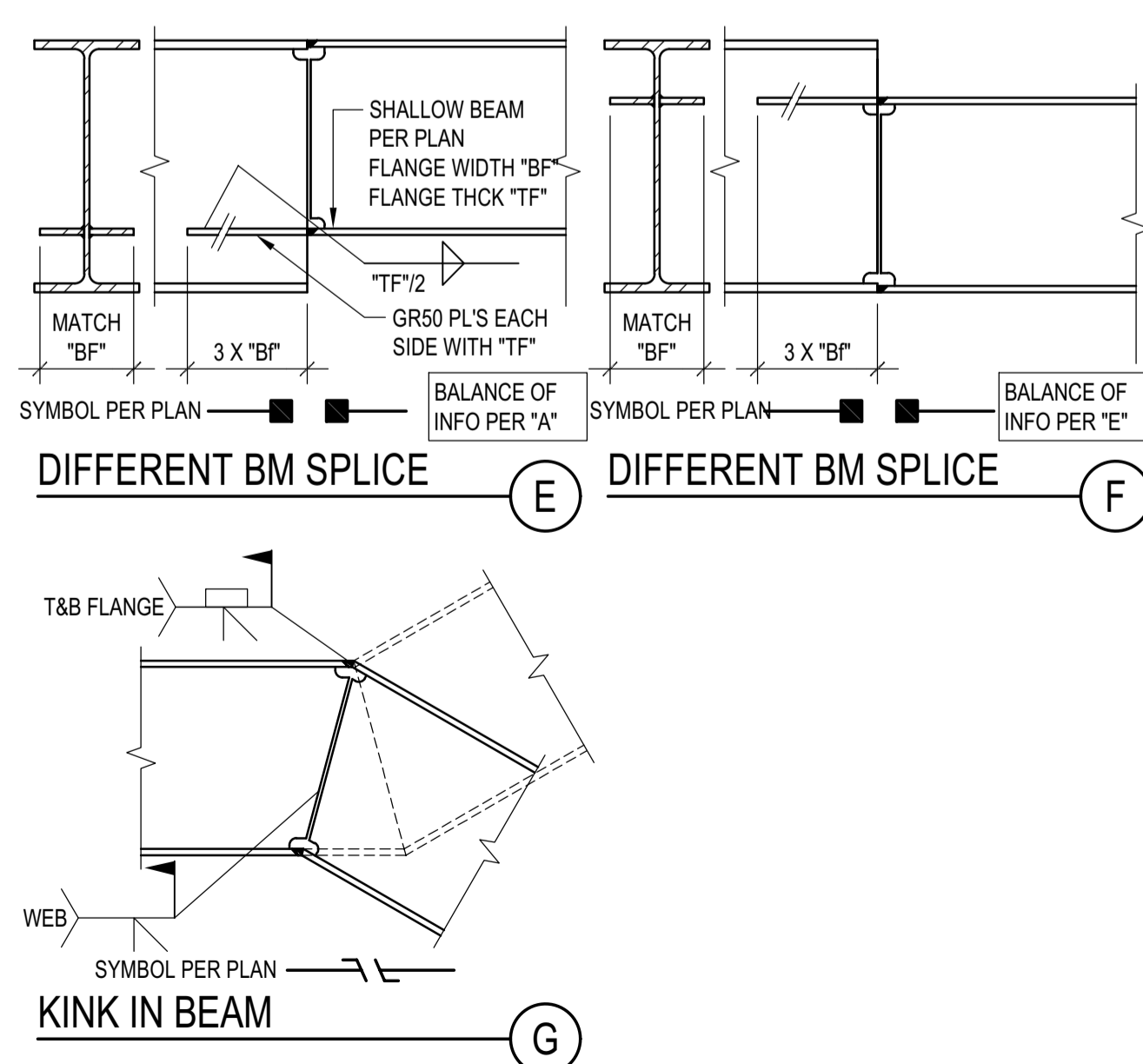
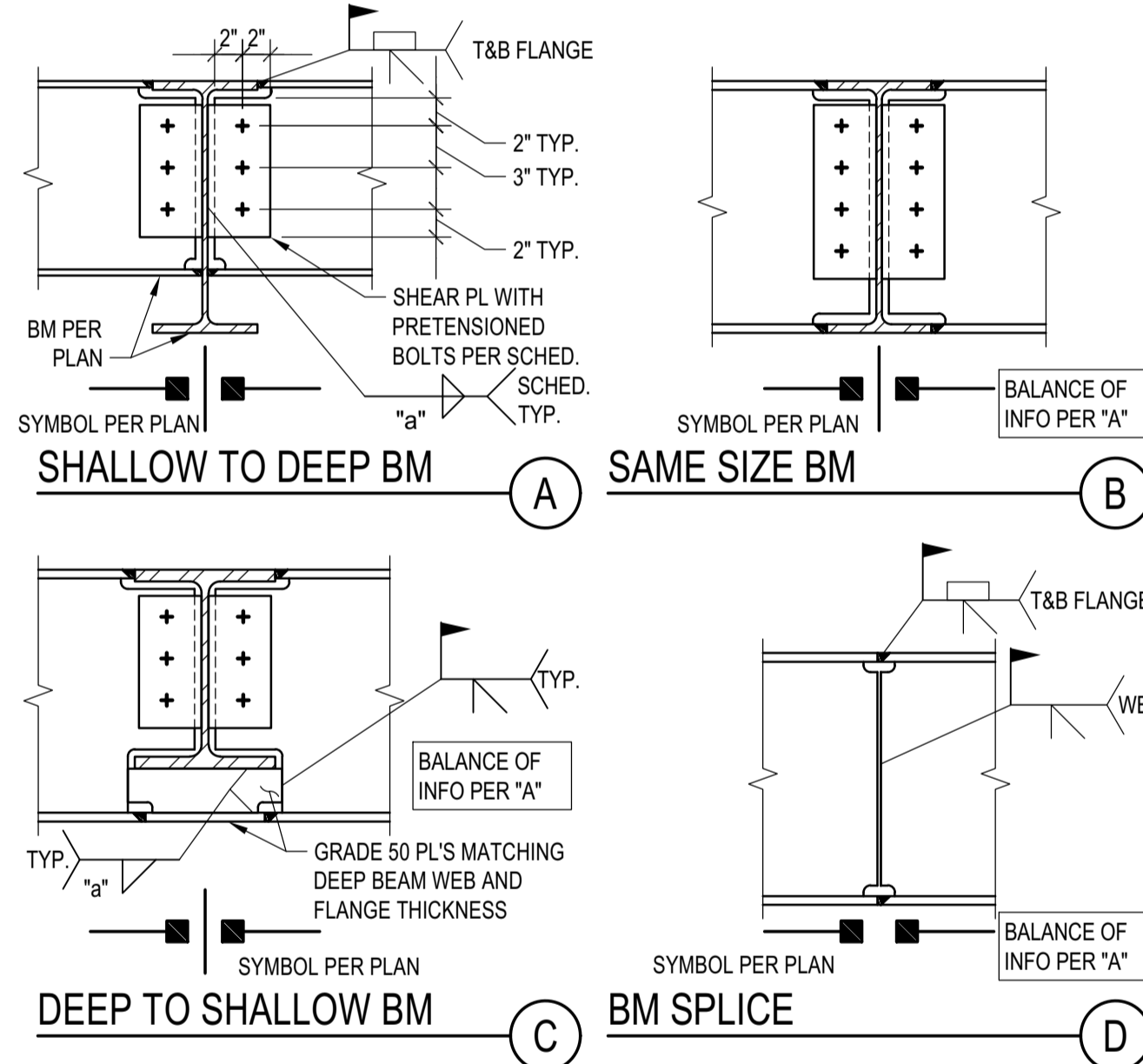
**BEAM CONNECTION SCHEDULE**  
 SCALE: N.T.S.



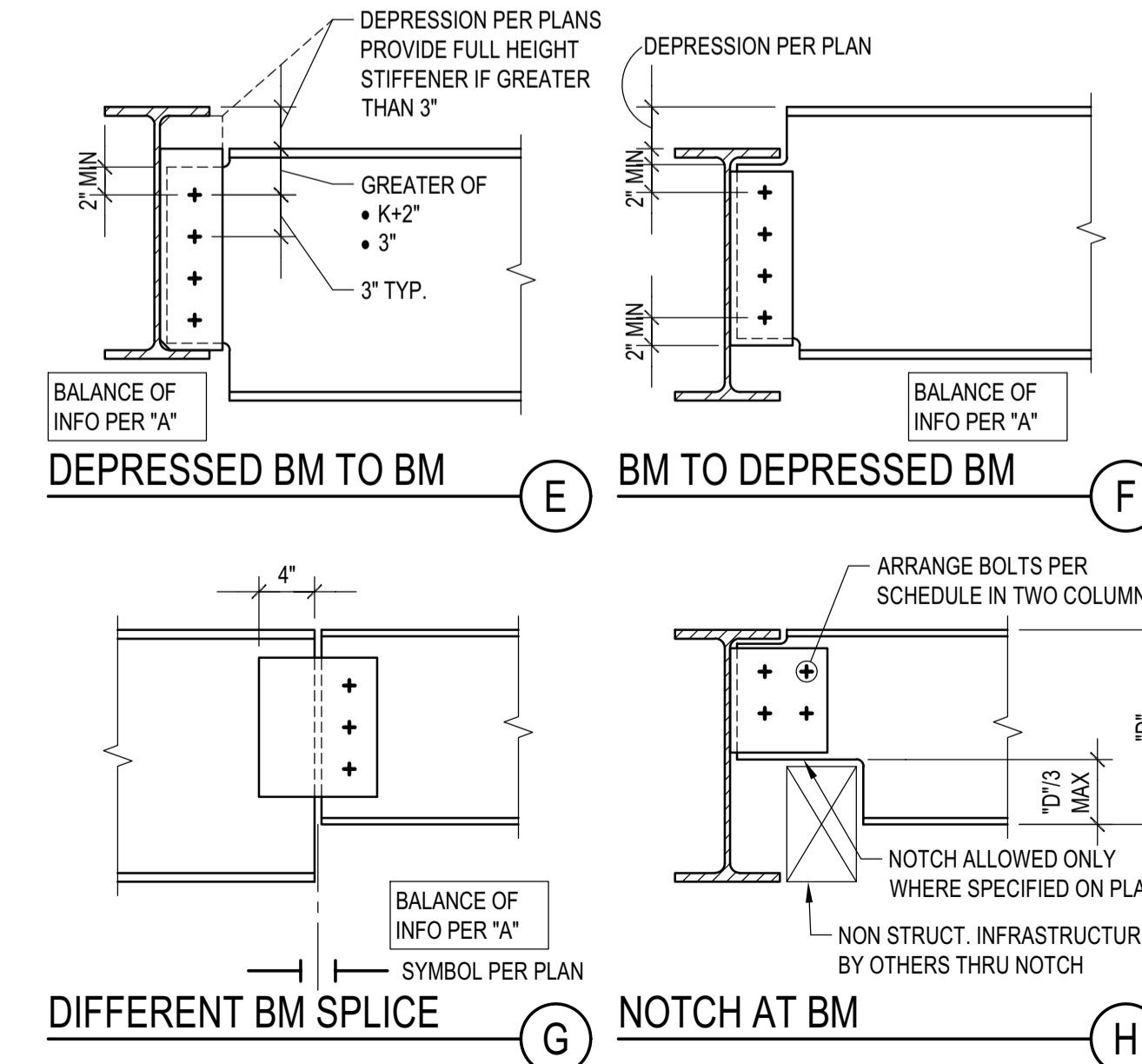
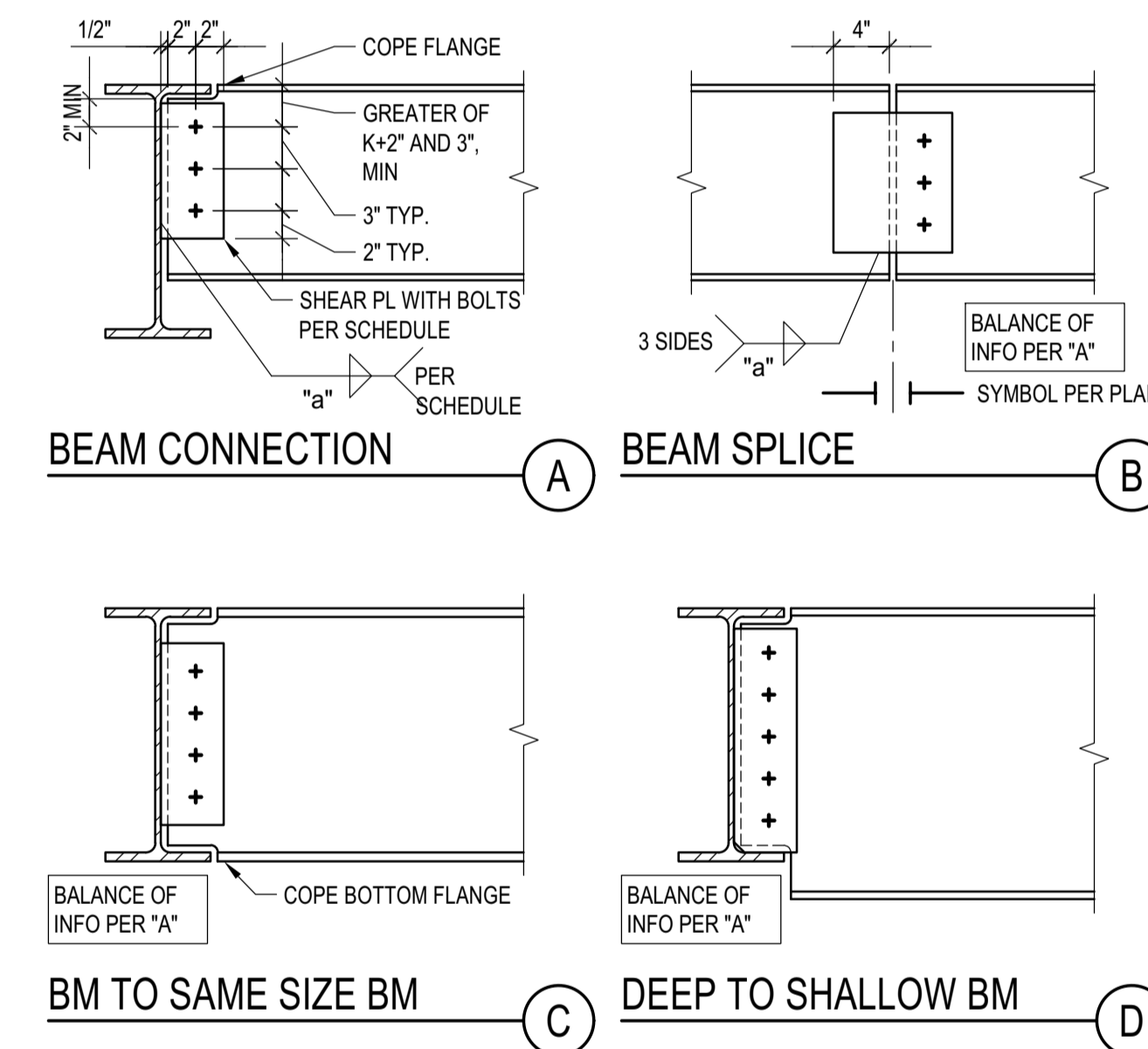
**TYPICAL BEAM BOTTOM FLANGE BRACE DETAIL**  
 SCALE: N.T.S.



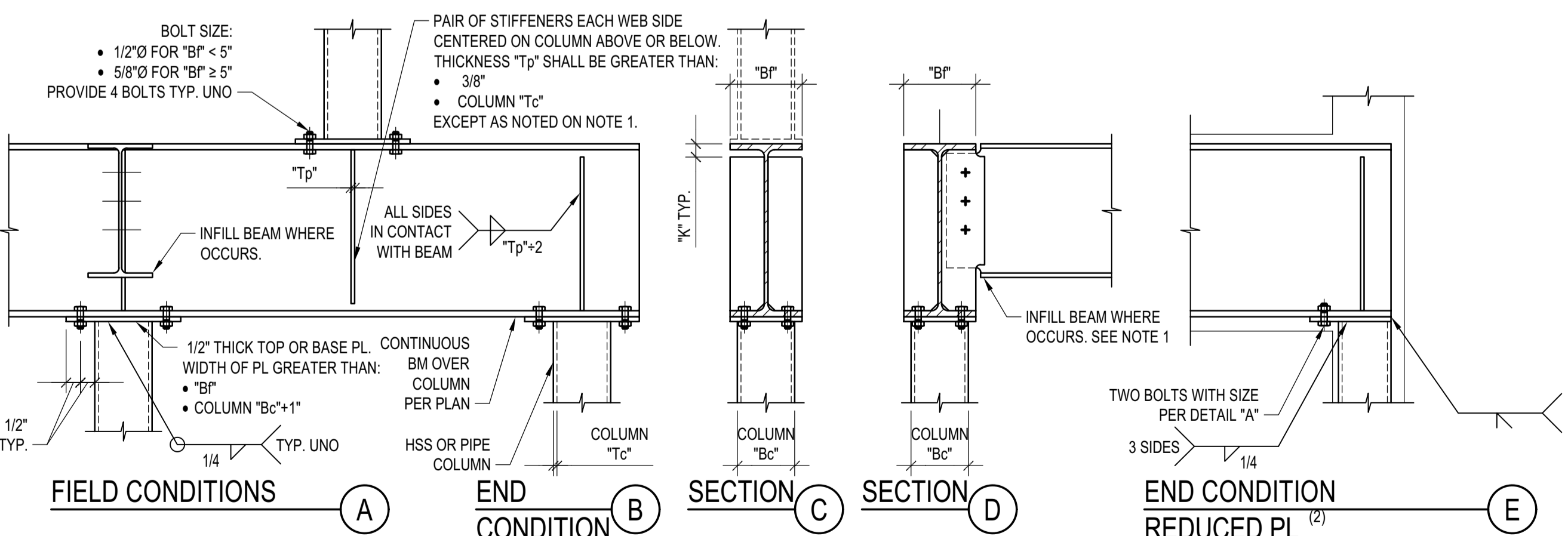
**BM TO CLN WEB RIGID CONN.**  
 SCALE: N.T.S.



**BEAM TO BEAM RIGID CONNECTION**  
 SCALE: N.T.S.



**TYP. BEAM TO BEAM CONNECTION**  
 SCALE: N.T.S.



- NOTES:
- WHERE: INFILL BEAM OCCURS PROVIDE PAIR OF FULL DEPTH STIFFENERS AS SHOWN ON DETAIL "D". SEE BEAM TO BEAM CONNECTIONS. PROVIDE LARGER PL THICKNESS AND WELDS WHERE REQUIRED BY OTHER DETAILS.
  - PROVIDE REDUCED PLATE AS NEEDED TO PREVENT BASE OR TOP PLATE EXTENDS OUT OF SHEATHING WHERE END COLUMN OCCURS WITHIN A LIGHT FRAME WOOD OR COLD FRAMED WALL.

**HSS AND PIPE COLUMN TO WF BEAM CONNECTIONS**  
 SCALE: N.T.S.

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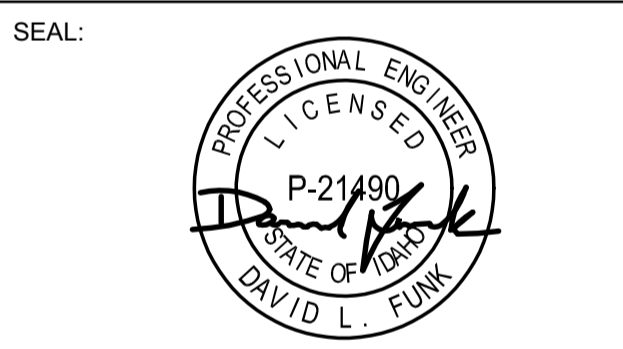
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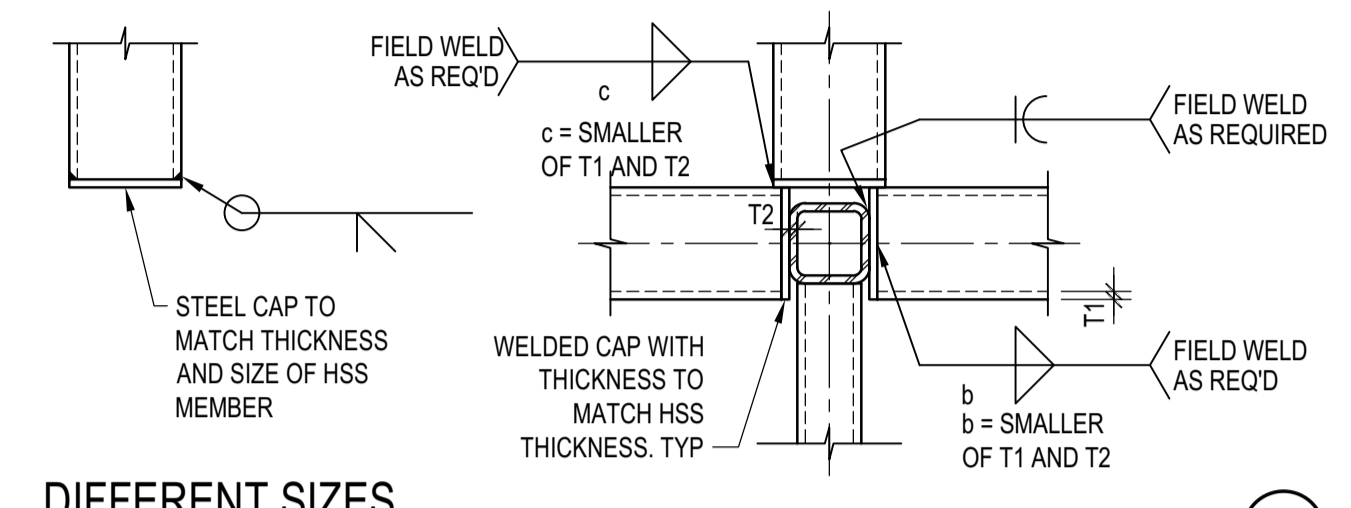
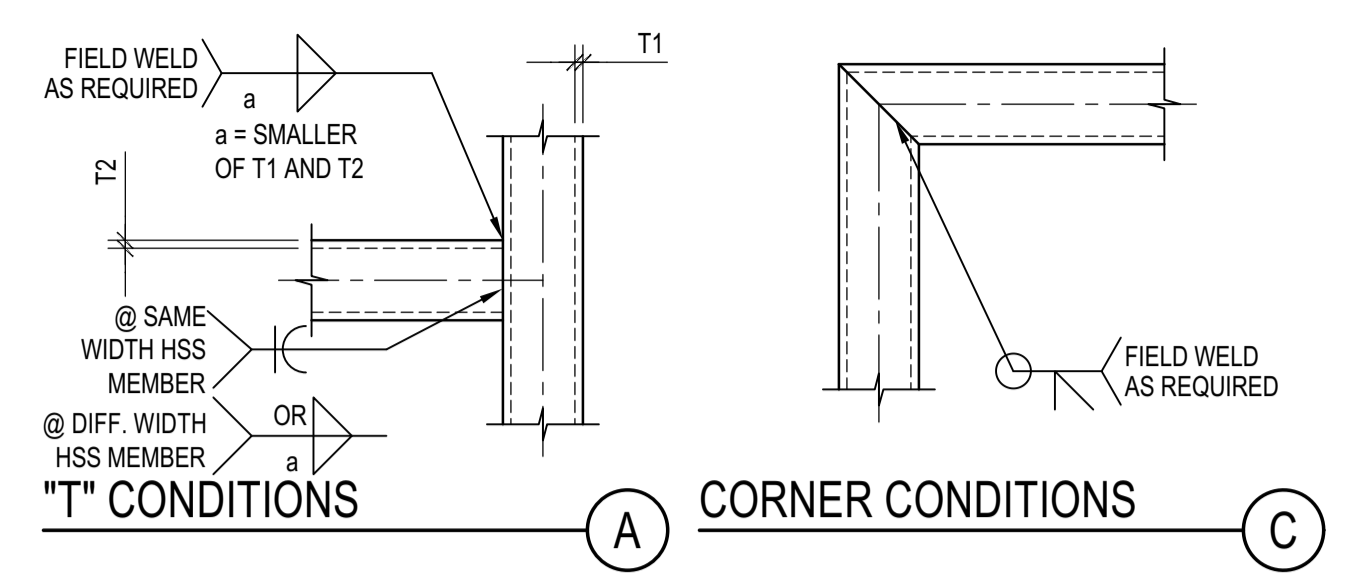
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 NO DATE ISSUE

PROJECT:  
**BADGER RESIDENCE**  
 121 BADGER LANE  
 KETCHUM, ID 83340

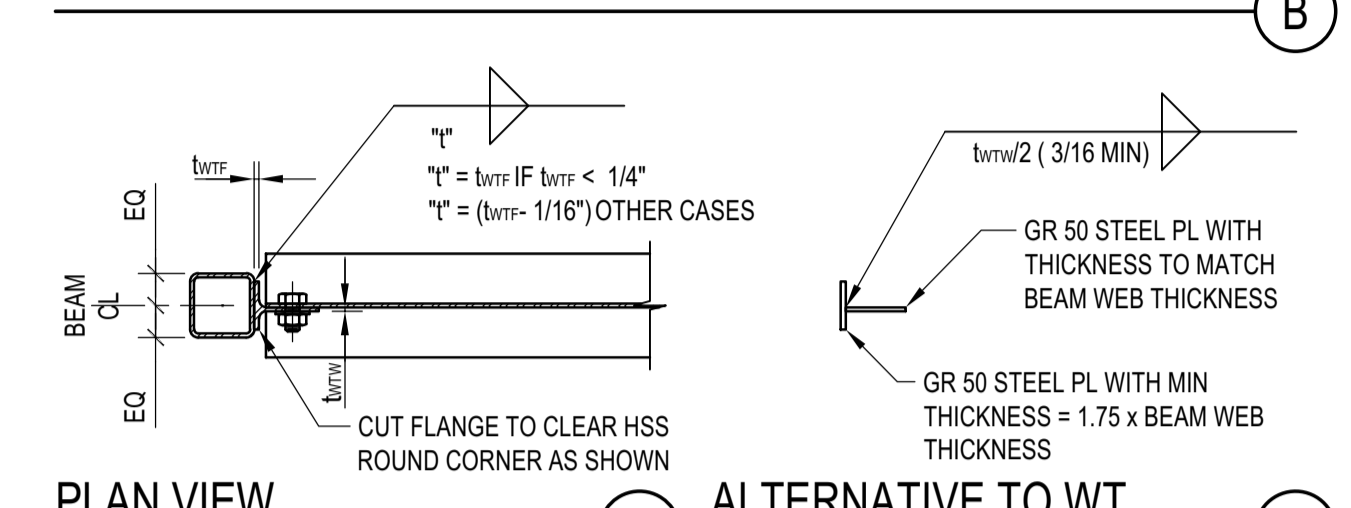
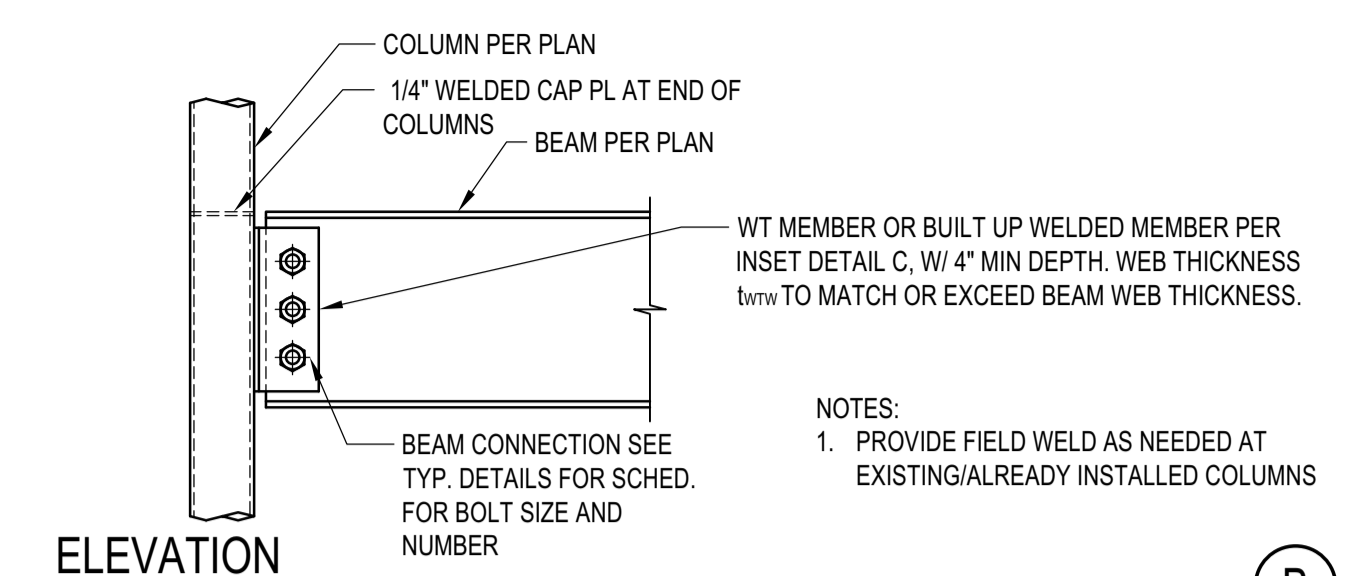
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**#2201**

DRAWING TITLE:  
**TYPICAL DETAILS - STEEL**

DRAWING NUMBER:  
**S-021**



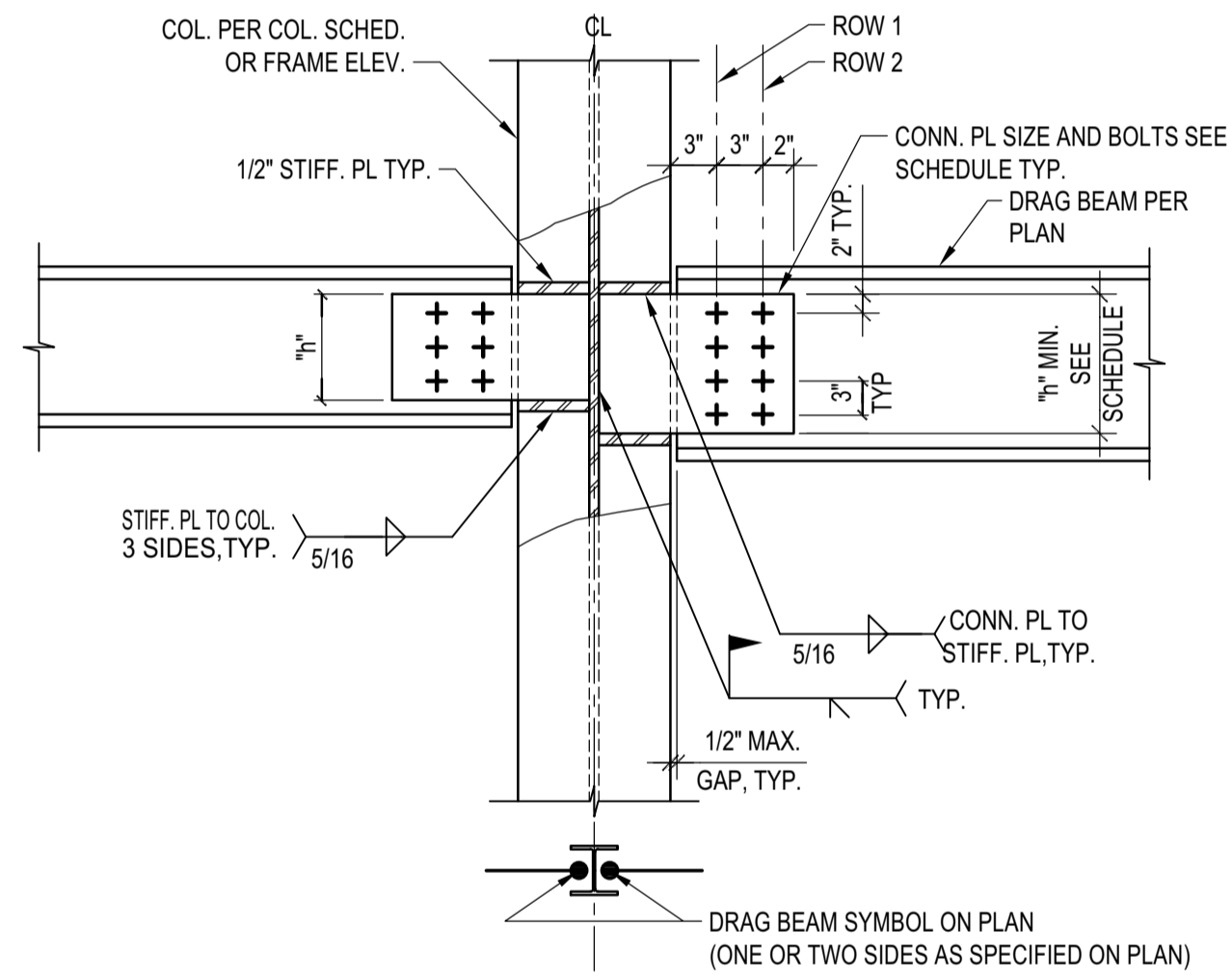
HSS MEMBERS CONNECTION  
 SCALE: N.T.S.



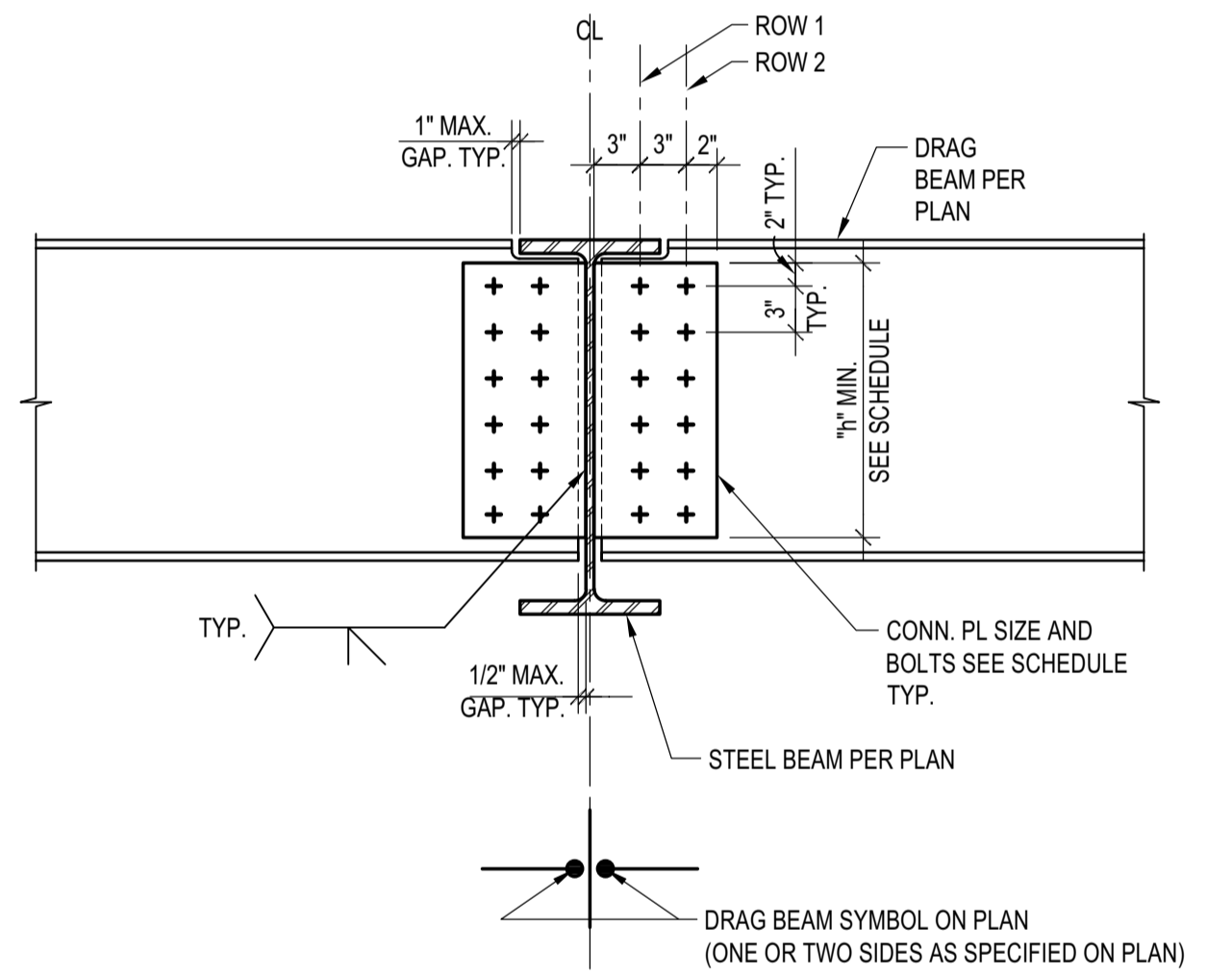
TYP. BEAM TO HSS-TS COLUMN  
 SCALE: N.T.S.

DRAG BEAM CONNECTION SCHEDULE				
BEAM SIZE	NUMBER OF 1"Ø A490-SC BOLTS		CONNECTION PLATE	
	ROW 1	ROW 2	PLATE THICKNESS "t"	PLATE HEIGHT "h"
W12x	2	2	5/8"	9"
W14x	3	2	5/8"	11"
W16	4	2	5/8"	13"
W18x	4	4	3/4"	13"
W21x	5	4	3/4"	16"
W24x65	6	4	3/4"	19"
W24x62	6	4	3/4"	19"
W24x68	6	4	1 1/4"	19"
W24x76	6	4	1 1/4"	19"
W24x84	6	6	1 1/2"	19"
W24x94	6	6	1 5/8"	19"
W27x	7	5	1 5/8"	22"

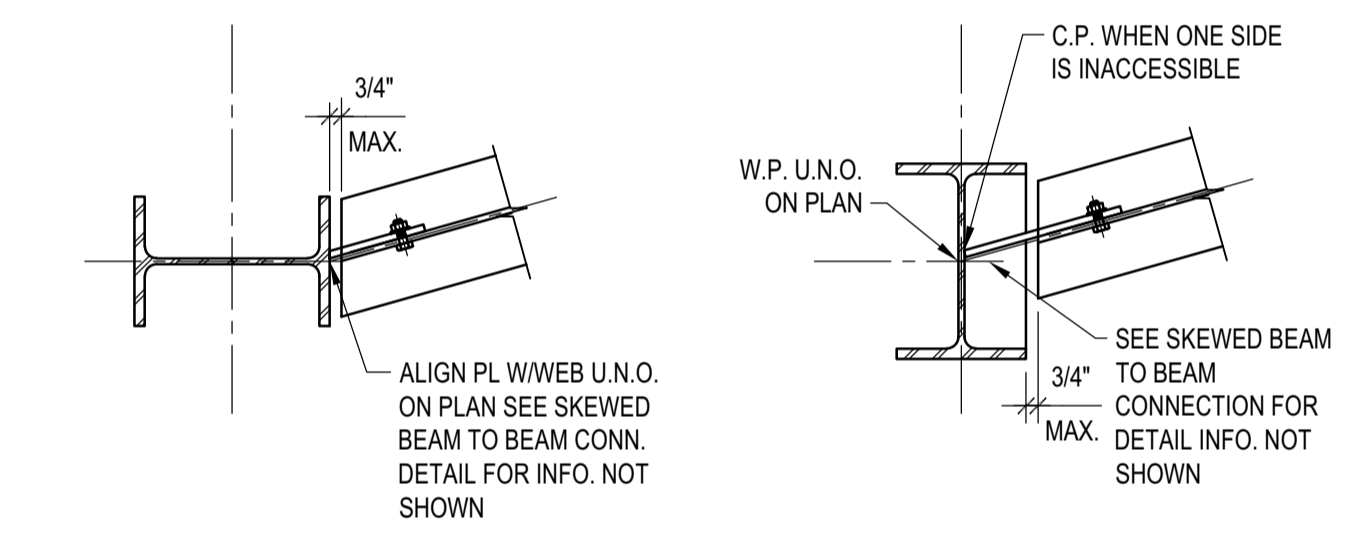
DRAG BEAM CONNECTION SCHEDULE  
 SCALE: N.T.S.



DRAG BEAM TO COL. WEB CONN.  
 SCALE: N.T.S.



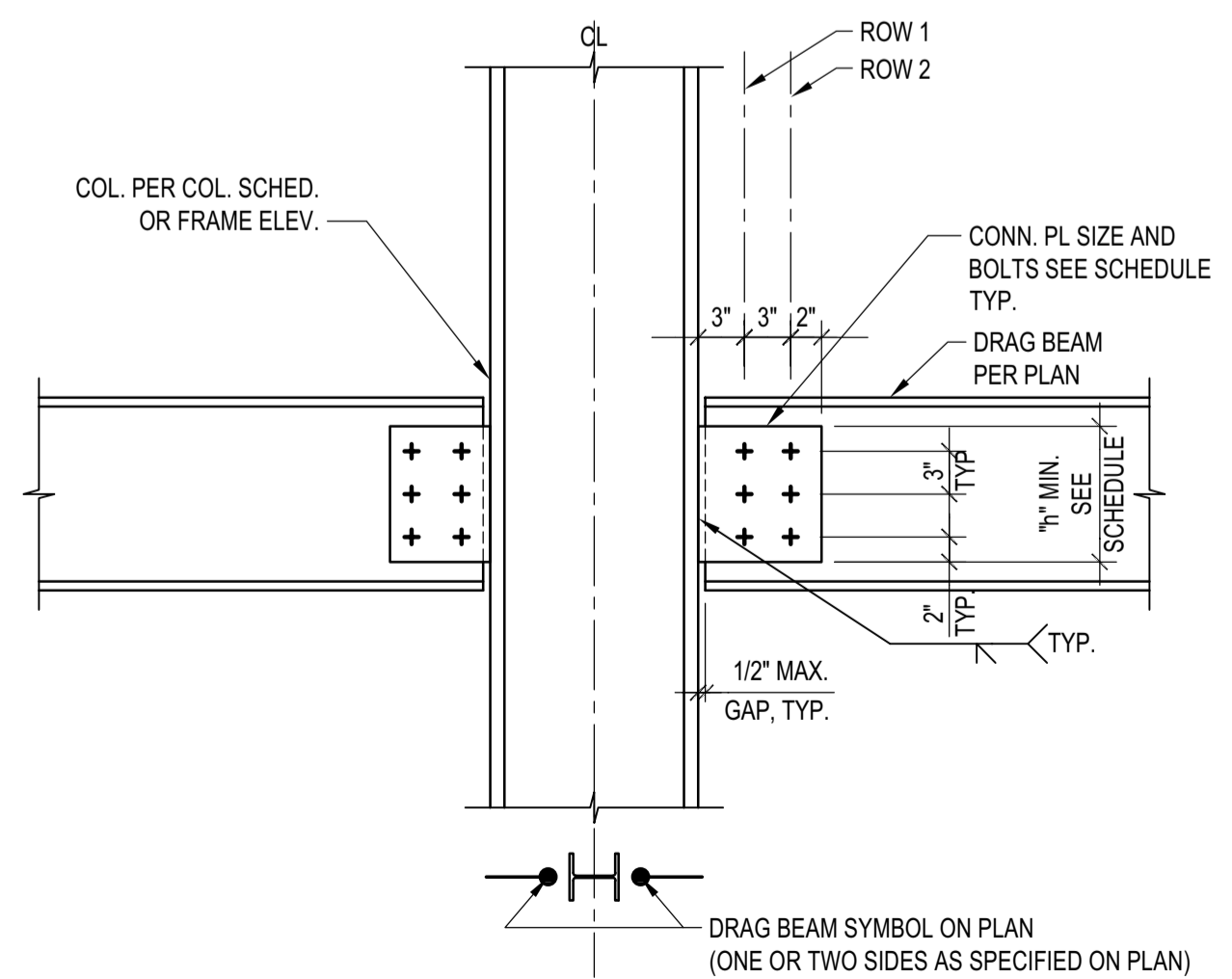
DRAG BEAM TO BEAM CONNECTION  
 SCALE: N.T.S.



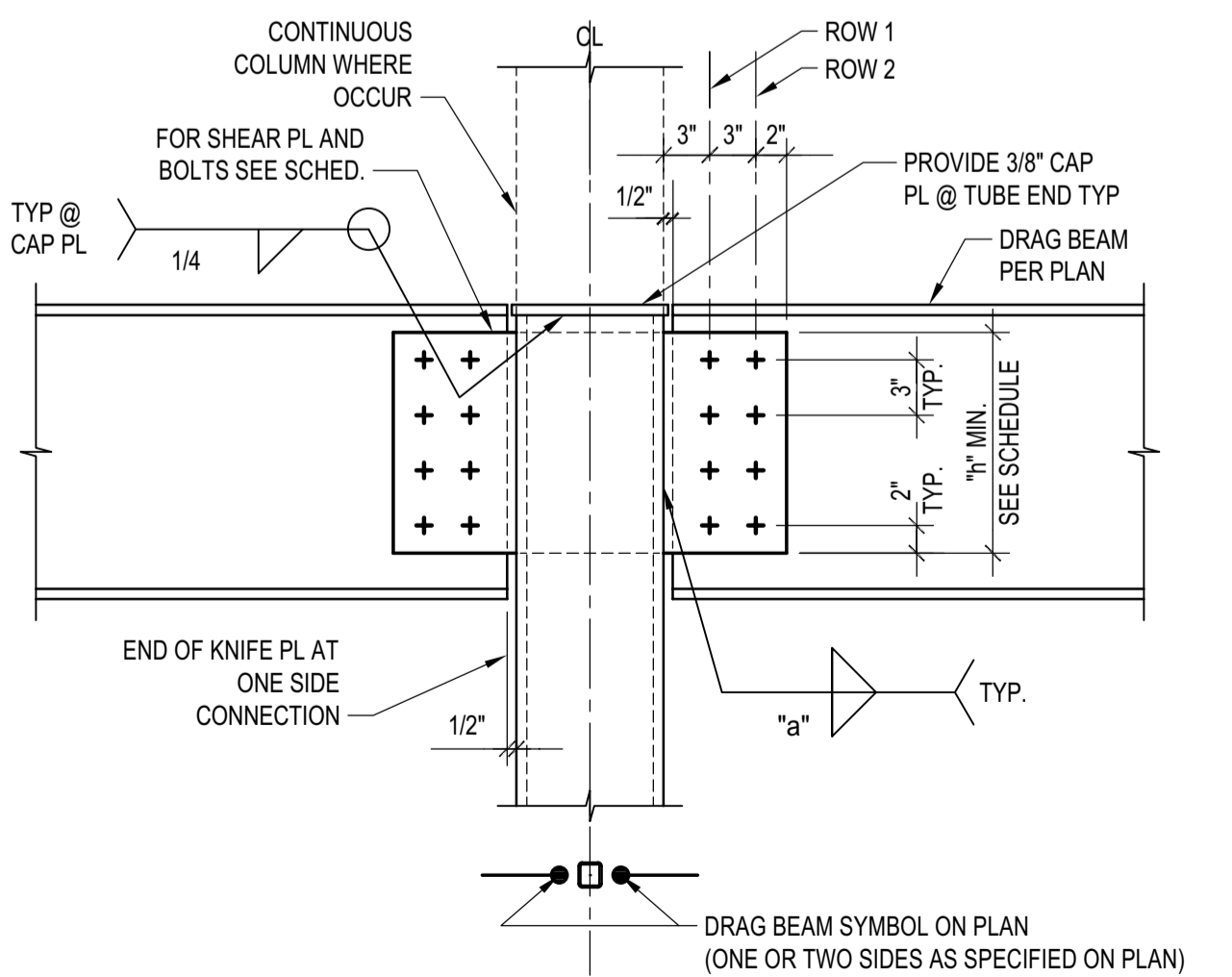
SKewed BEAM TO COLUMN CONN.  
 SCALE: N.T.S.

- NOTES:  
 1. ALL FILLET WELD SIZES SHOWN ARE MINIMUM WELD SIZE. WHERE WELD SIZE SHOWN ARE SMALLER THAN AWS MINIMUM WELD SIZE, AWS MINIMUM WELD SIZE SHALL BE USED.  
 2. ALL CONN. PL. SHALL BE A572, GRADE 50  
 3. FIELD WELD CONNECTION PLATES WHERE (N) MEMBERS CONNECT TO (E) MEMBERS.  
 4. USE STD. HOLES @ STEEL BEAM & SHEAR PL. TYP.

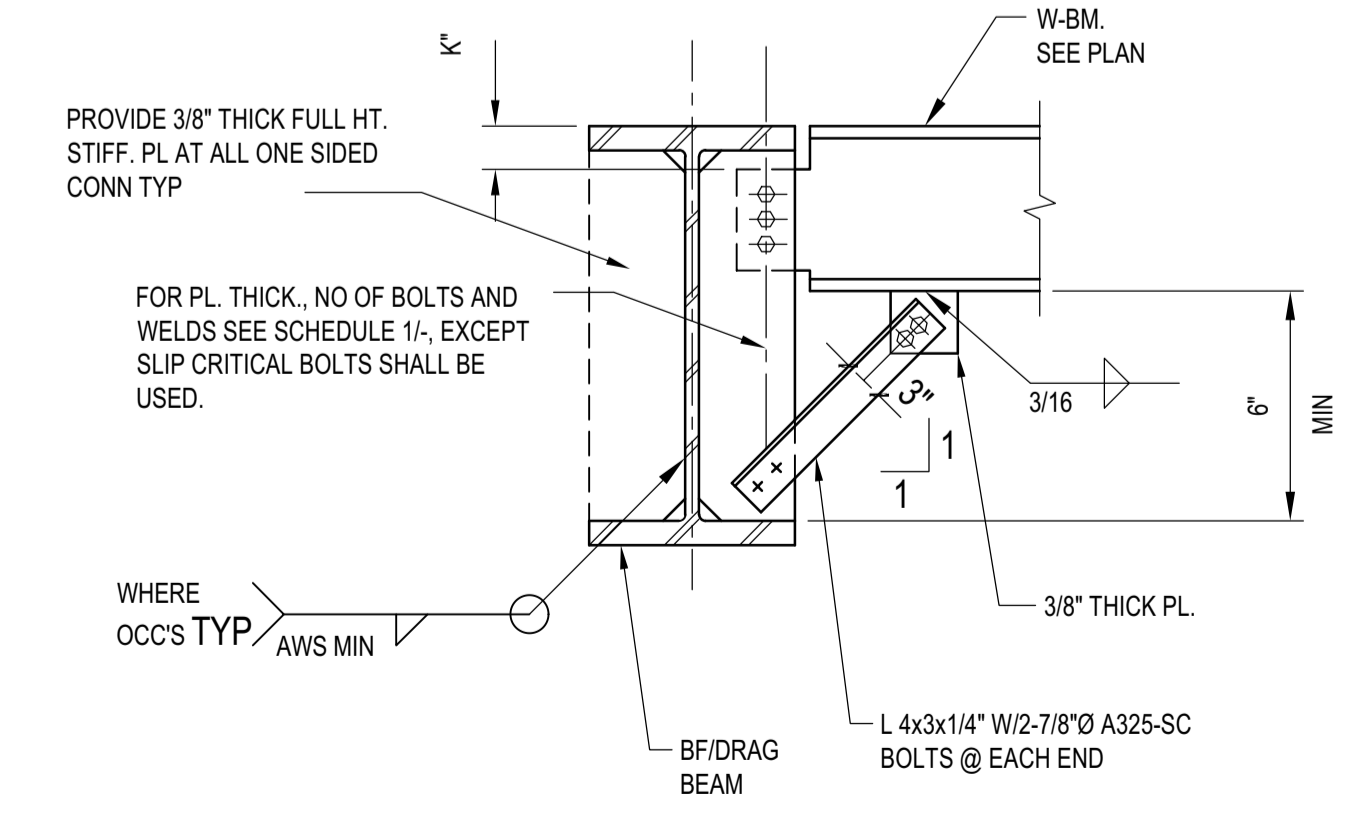
DRAG BEAM CONNECTION NOTES  
 SCALE: N.T.S.



DRAG BEAM TO COL. FLANGE CONN.  
 SCALE: N.T.S.



DRAG BEAM TO TS COLUMN  
 SCALE: N.T.S.



BEAM TO BRACED BEAM CONN.  
 SCALE: N.T.S.

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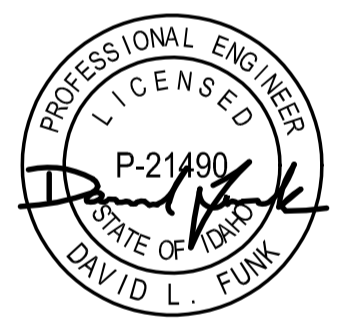
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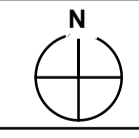
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PROJECT:  
 BADGER RESIDENCE  
 121 BADGER LANE  
 KETCHUM, ID 83340

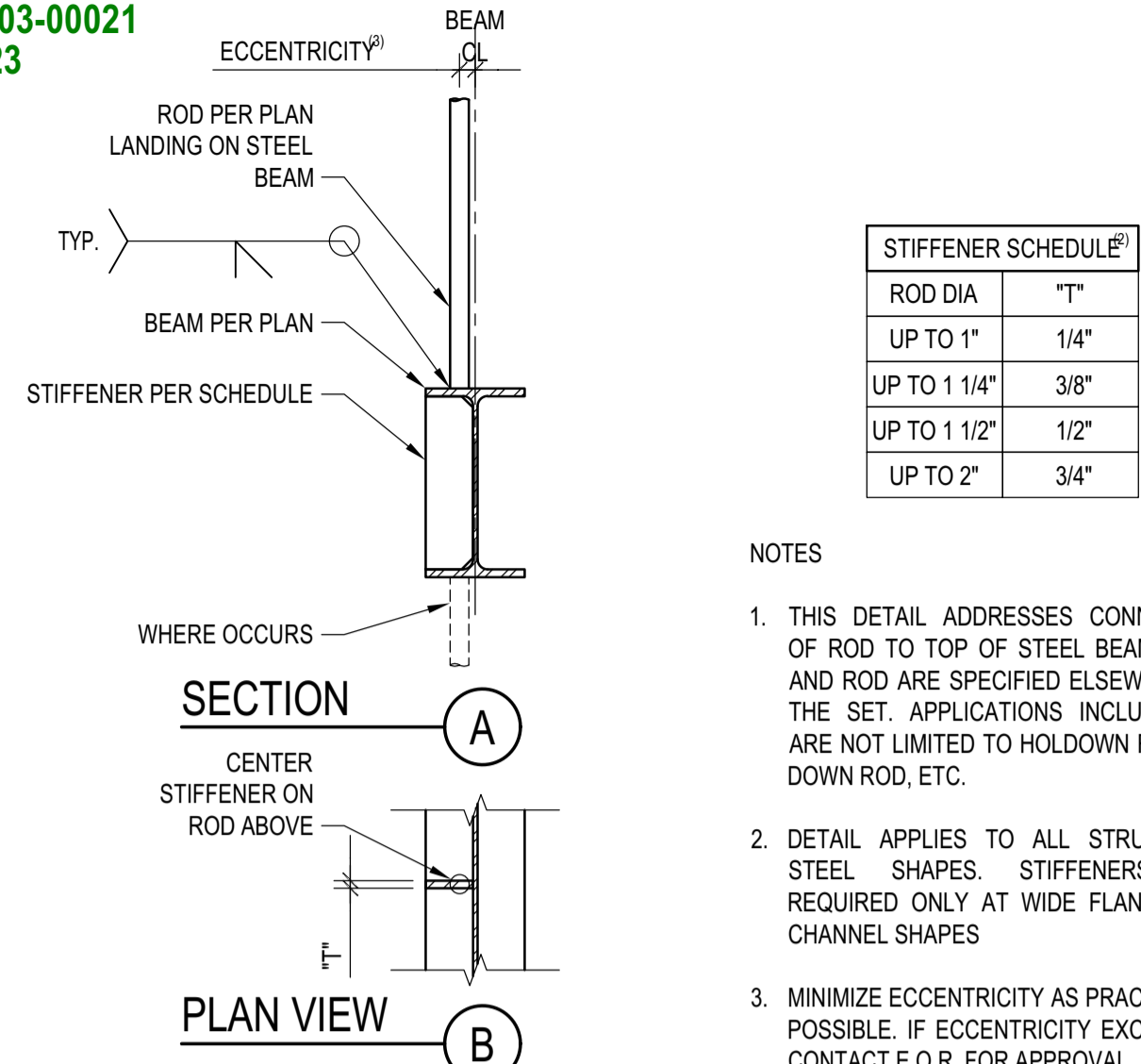
PROJECT NUMBER  
 #2201

DRAWING TITLE:  
 TYPICAL DETAILS - STEEL

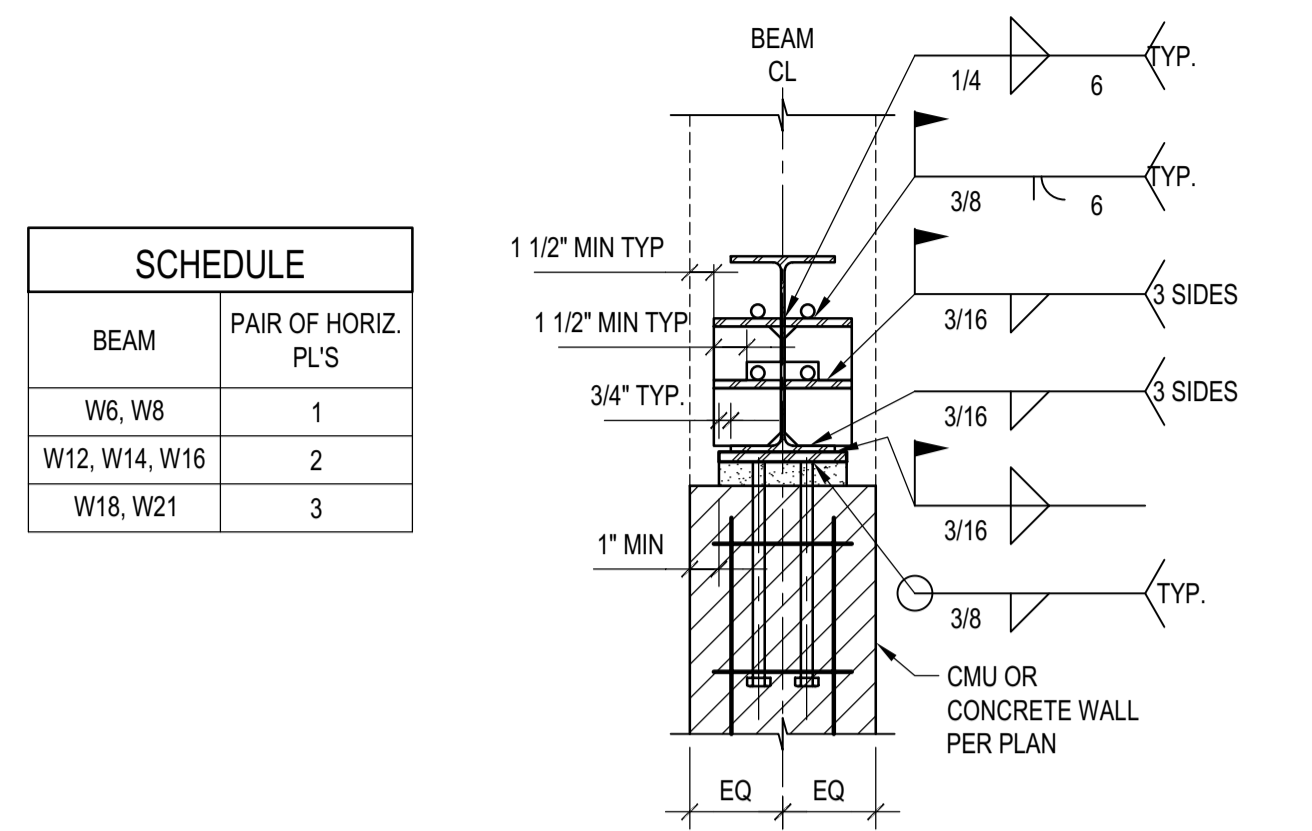
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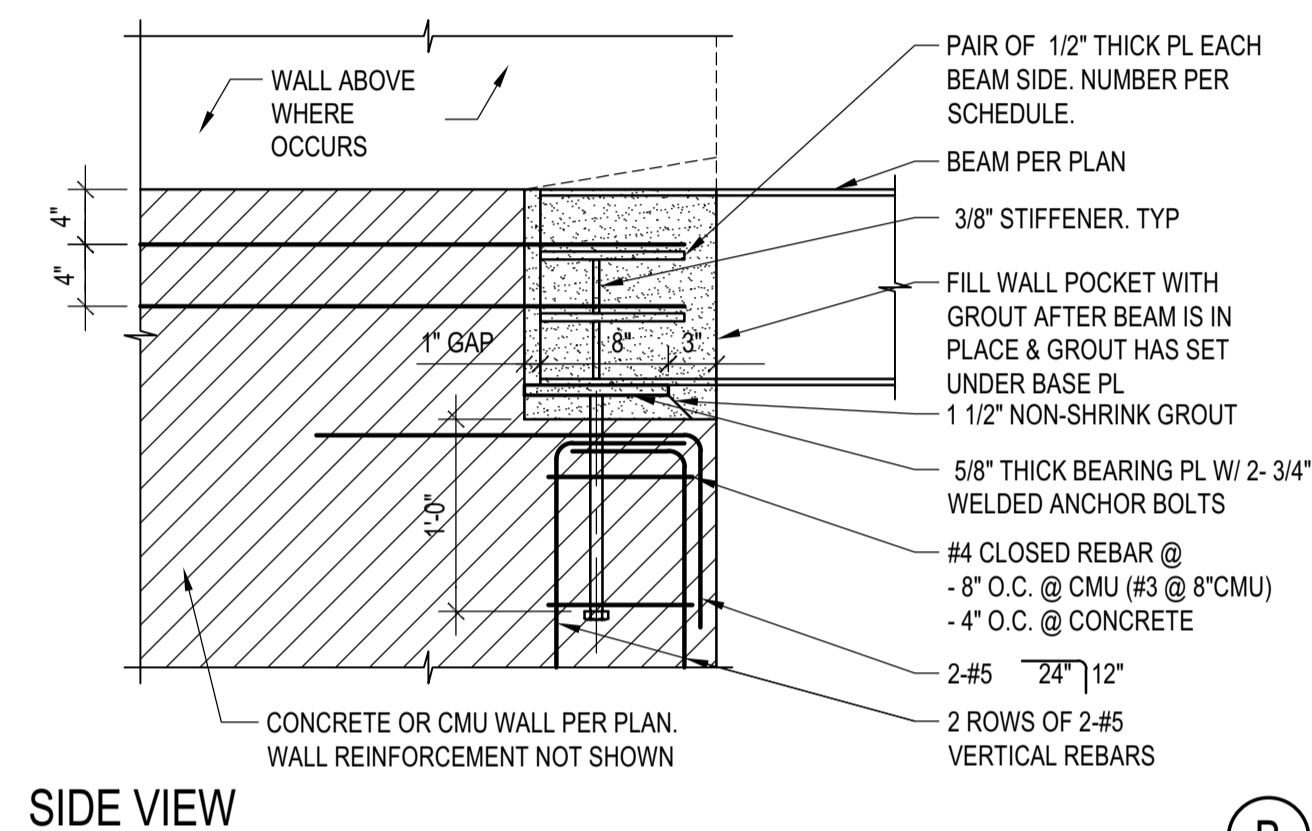
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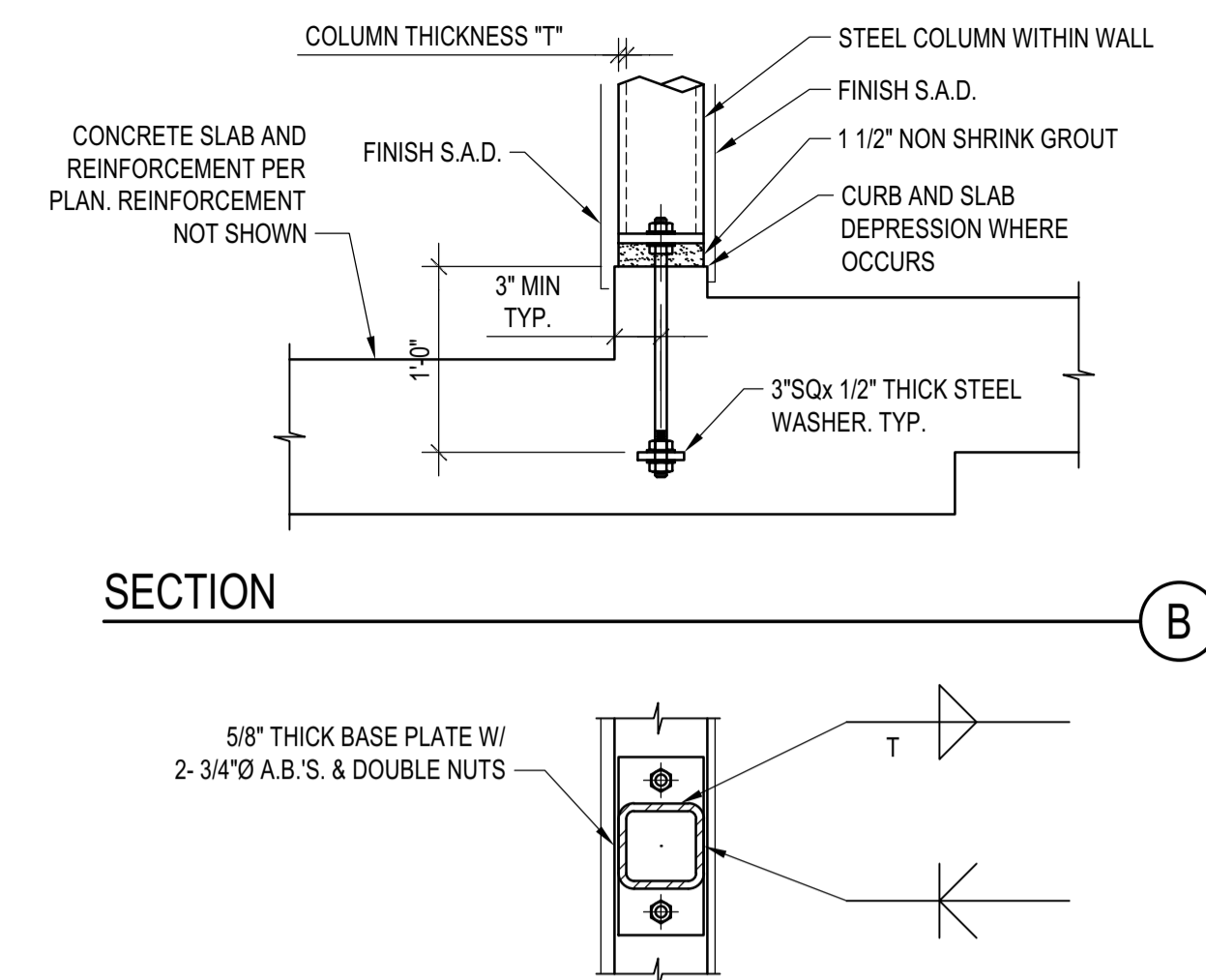
**ROD CONNECTED TO STEEL BEAM**  
 SCALE: N.T.S.



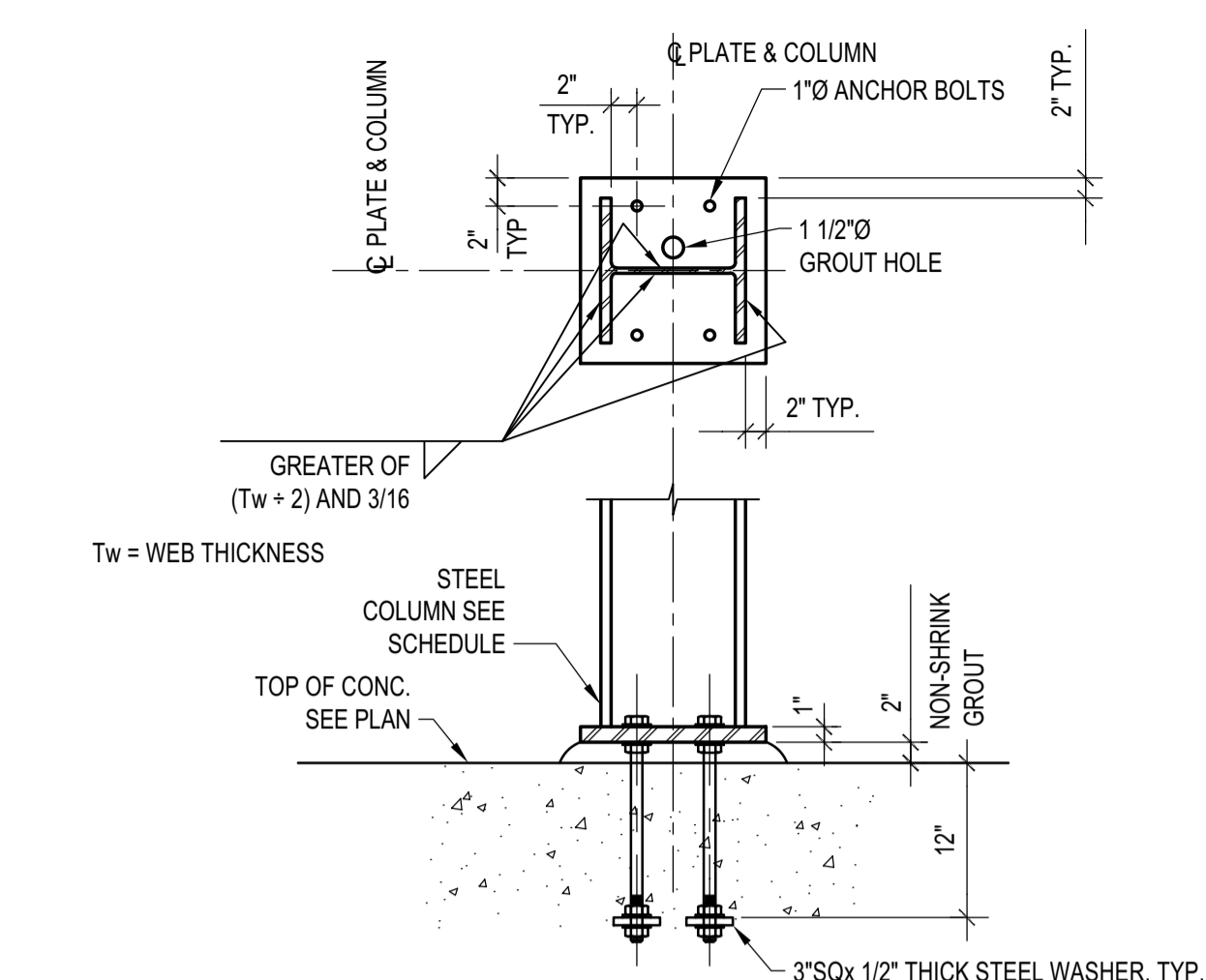
**SCHEDULE FRONT VIEW**



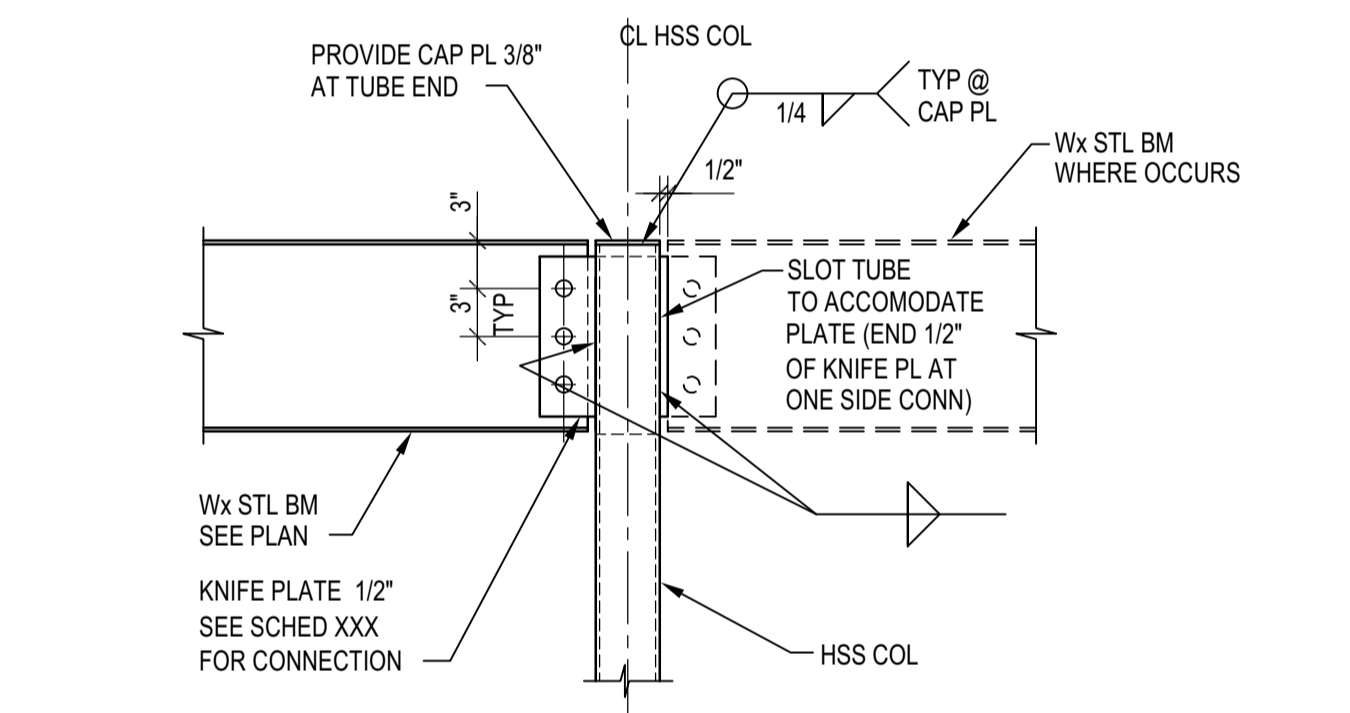
**STEEL BEAM PARALLEL TO CONC. OR CMU WALL CONNECTION**  
 SCALE: N.T.S.



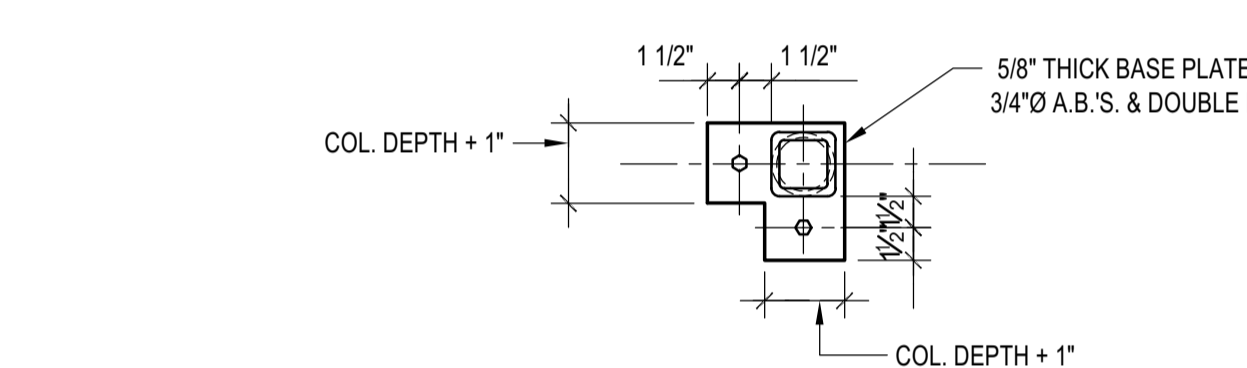
**B. PL ON PODIUM SLAB CURB**  
 SCALE: N.T.S.



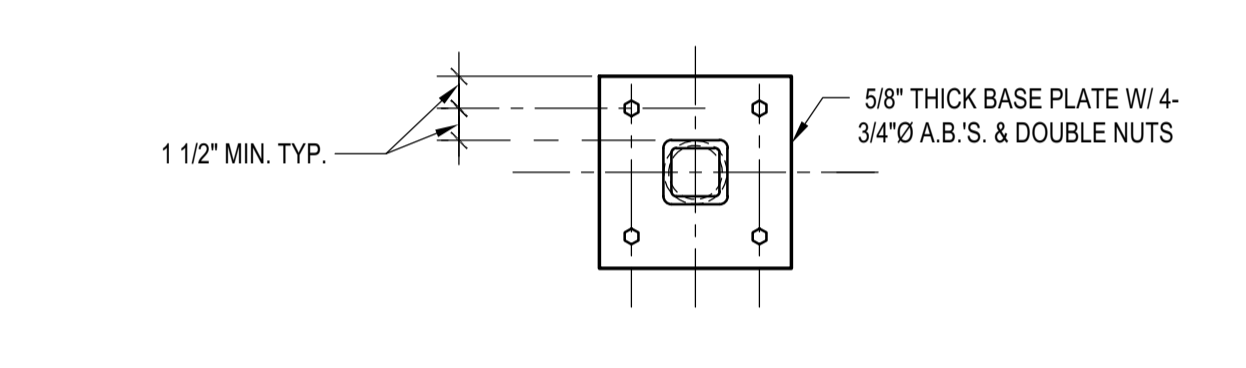
**TYP. Wx BASE PLATE DETAIL**  
 SCALE: N.T.S.



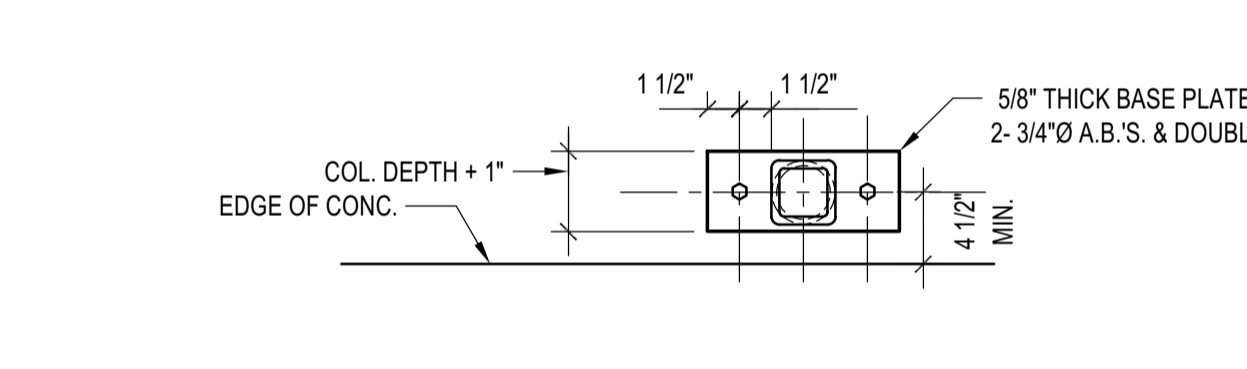
**Wx BM TO HSS COLUMN CONNECTION DETAIL AT ROOF**  
 SCALE: N.T.S.



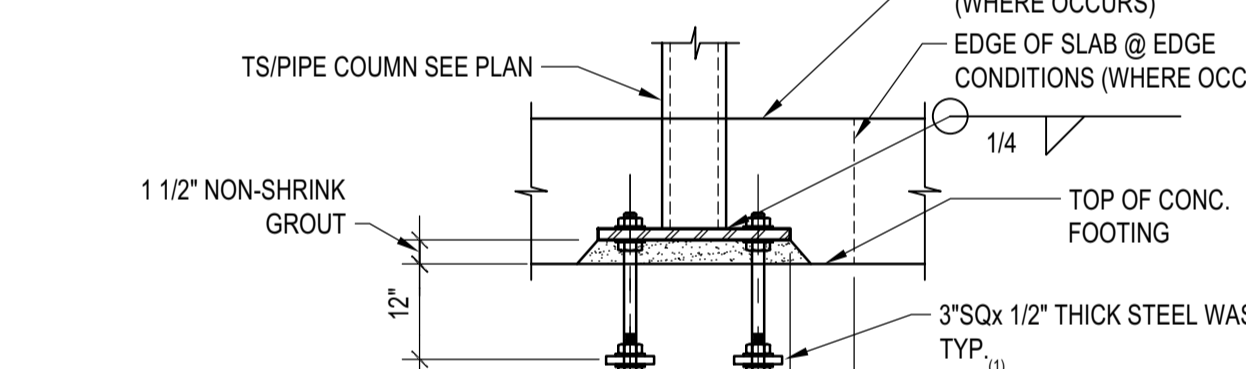
**PLAN AT CORNER WALL CONDITIONS**



**PLAN AT INTERIOR WALL CONDITIONS**



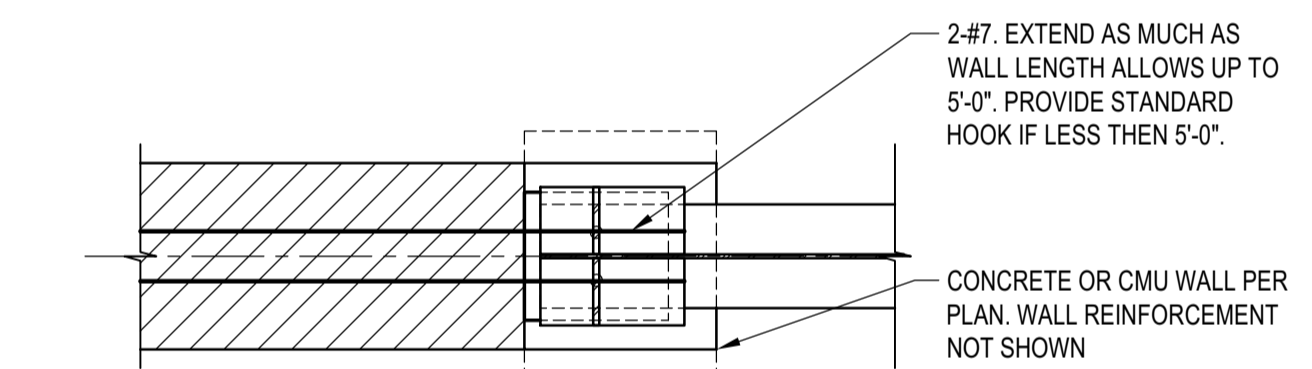
**PLAN AT EXTERIOR WALL CONDITIONS**



**ELEVATION**

NOTES:  
 1. AT EDGE CONDITIONS, A MIN 4" CONCRETE COVER ALL AROUND THE BASE PLATE SHALL BE PROVIDED

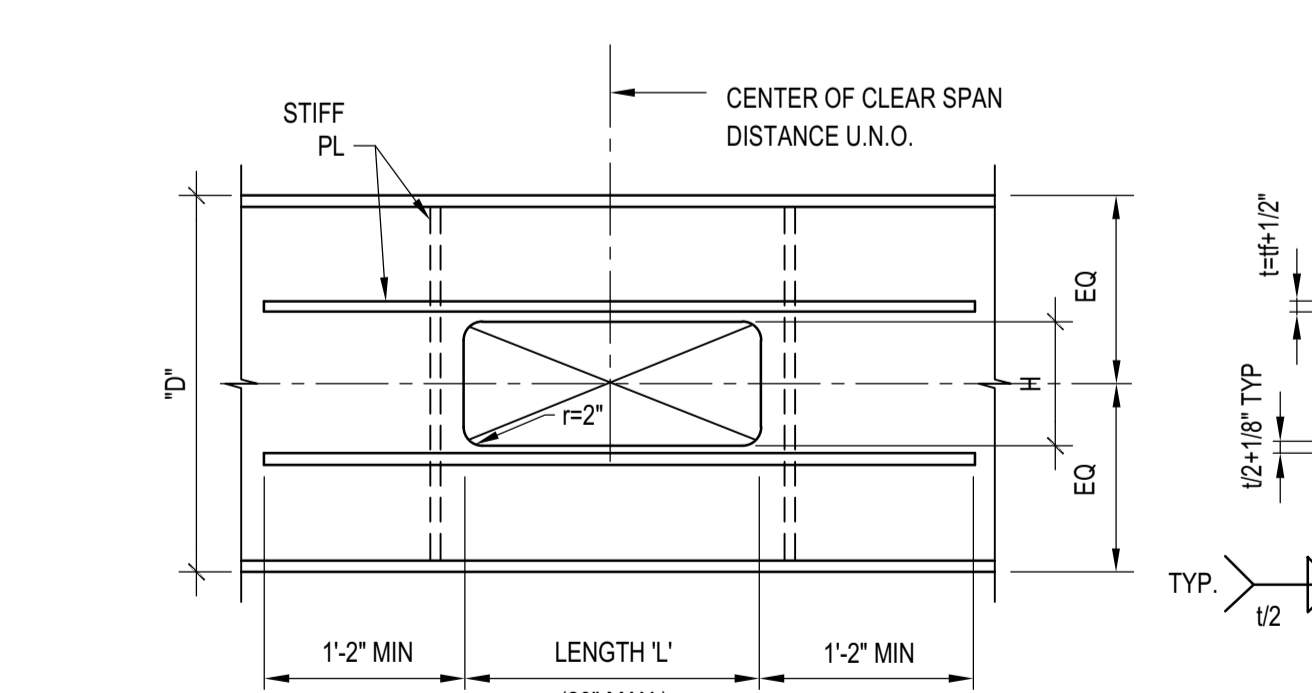
**ISOLATED HSS-PIPE COL. BASE PL**  
 SCALE: N.T.S.



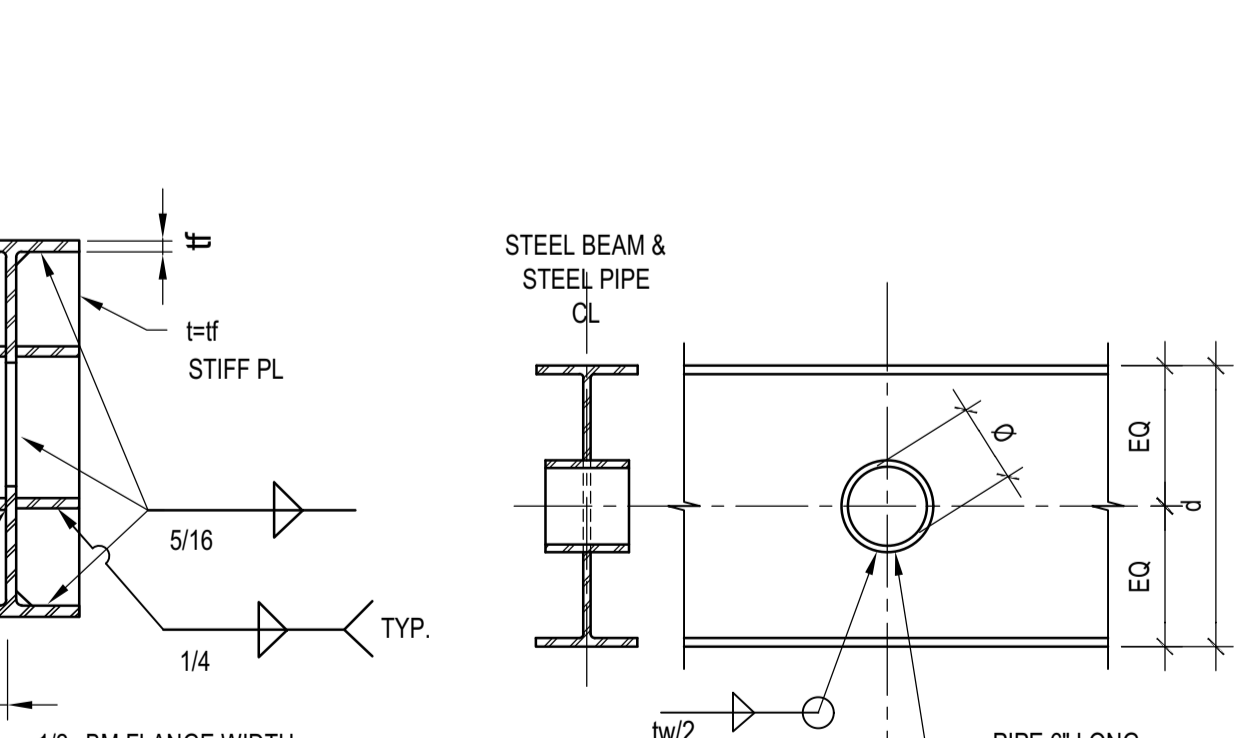
**PLAN VIEW**

**NOTES:**  
 1. AT EDGE CONDITIONS, A MIN 4" CONCRETE COVER ALL AROUND THE BASE PLATE SHALL BE PROVIDED

**STEEL BEAM PARALLEL TO CONC. OR CMU WALL CONNECTION**  
 SCALE: N.T.S.



**RECTANGULAR OPENING**

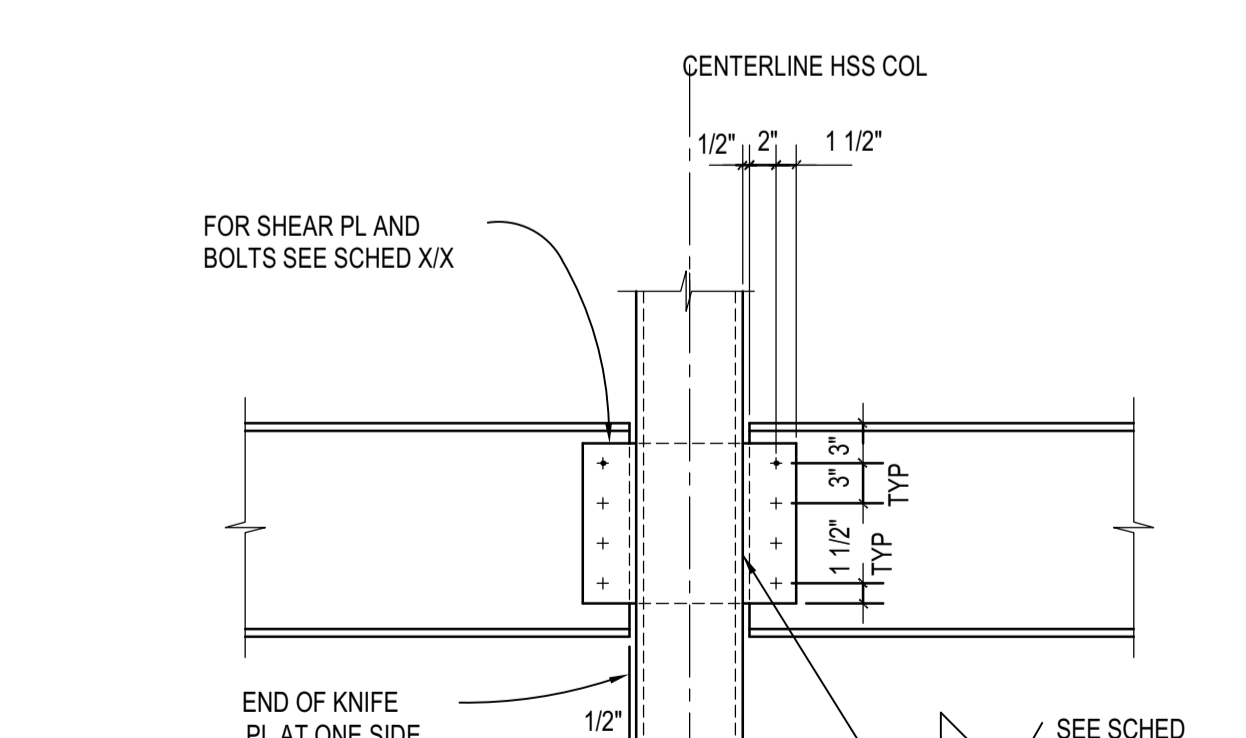


**CIRCULAR OPENING**

NOTE: MAX "h" = D/2 OR 10" WHICHEVER IS SMALLER

NOTE:  $\phi < 6"$  OR  $d/3$  WHICHEVER IS SMALLER

**OPENING IN STEEL BEAM**  
 SCALE: N.T.S.



**Wx BEAM TO HSS COL. CONN. DETAIL**  
 SCALE: N.T.S.

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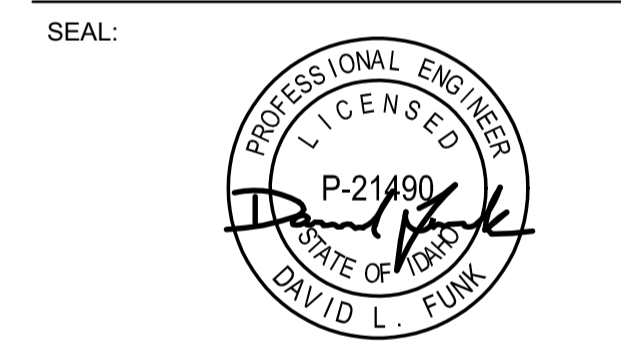
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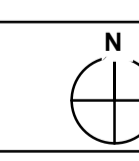
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PROJECT:  
**BADGER RESIDENCE**  
 121 BADGER LANE  
 KETCHUM, ID 83340

PROJECT NUMBER  
**#2201**

DRAWING TITLE:  
**TYPICAL DETAILS - STEEL**

DRAWING NUMBER:  
**S-023**





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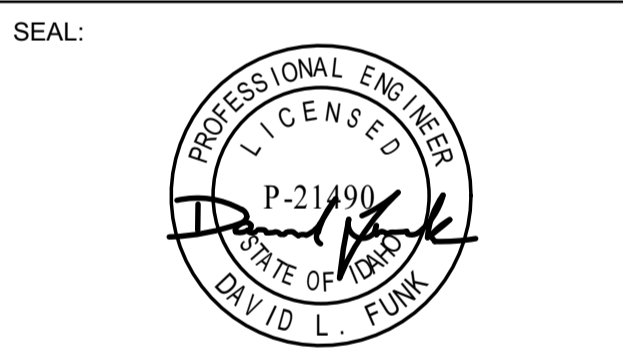
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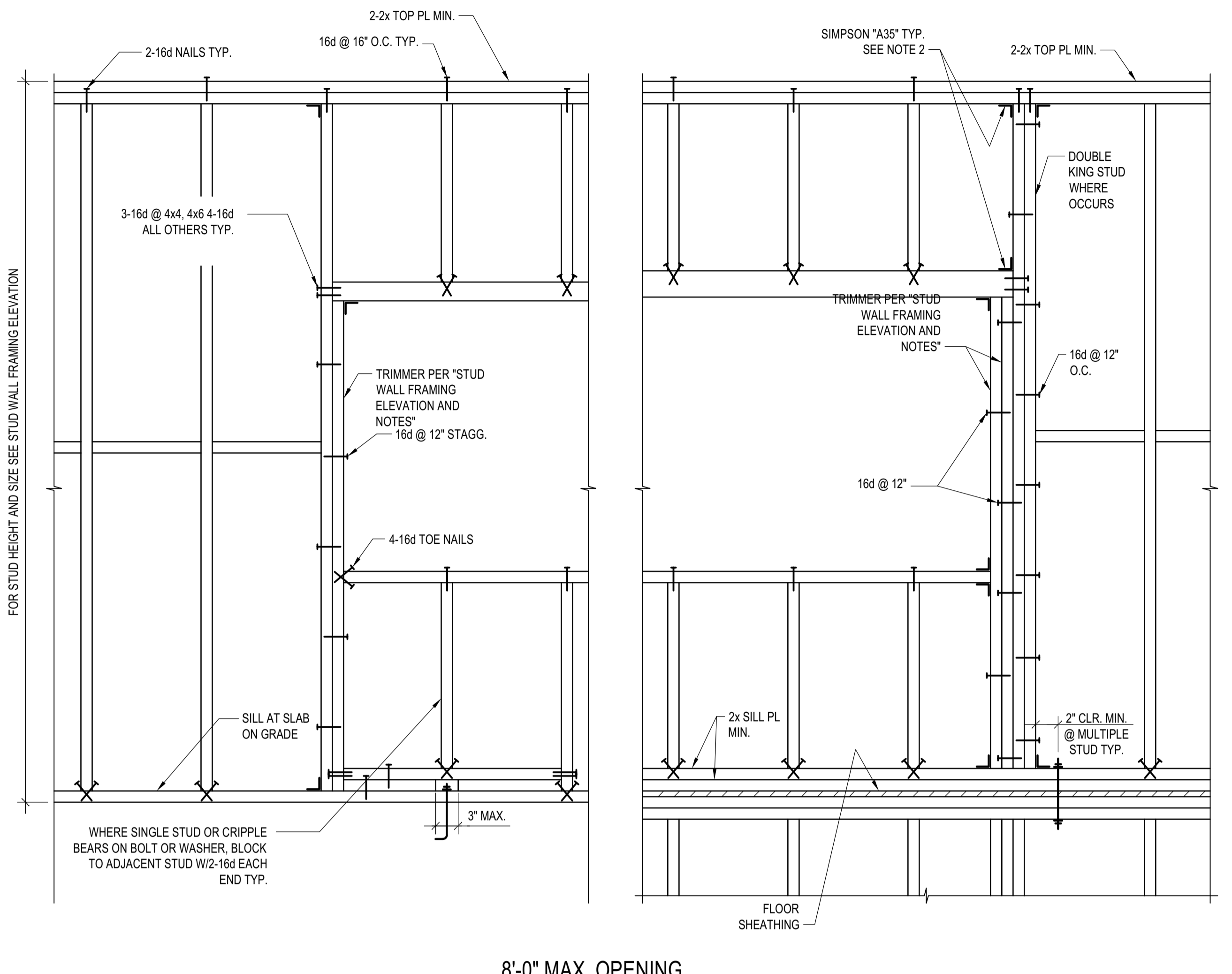
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PROJECT:  
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 KETCHUM, ID 83340

PROJECT NUMBER  
**#2201**

DRAWING TITLE:  
**TYPICAL DETAILS - STEEL**

DRAWING NUMBER:  
**S-031**



**TYP. TRIMMER & KING STUDS SCHEDULE AT BEARING HEADERS**

OPENING WIDTH	U.N.O.	
	INTERIOR	EXTERIOR
<= 6'-0"	(1)-TRIMMER (1)-KING STUD	(1)-TRIMMER (1)-KING STUD
> 6'-0"	-	(2)-TRIMMER (2)-KING STUD

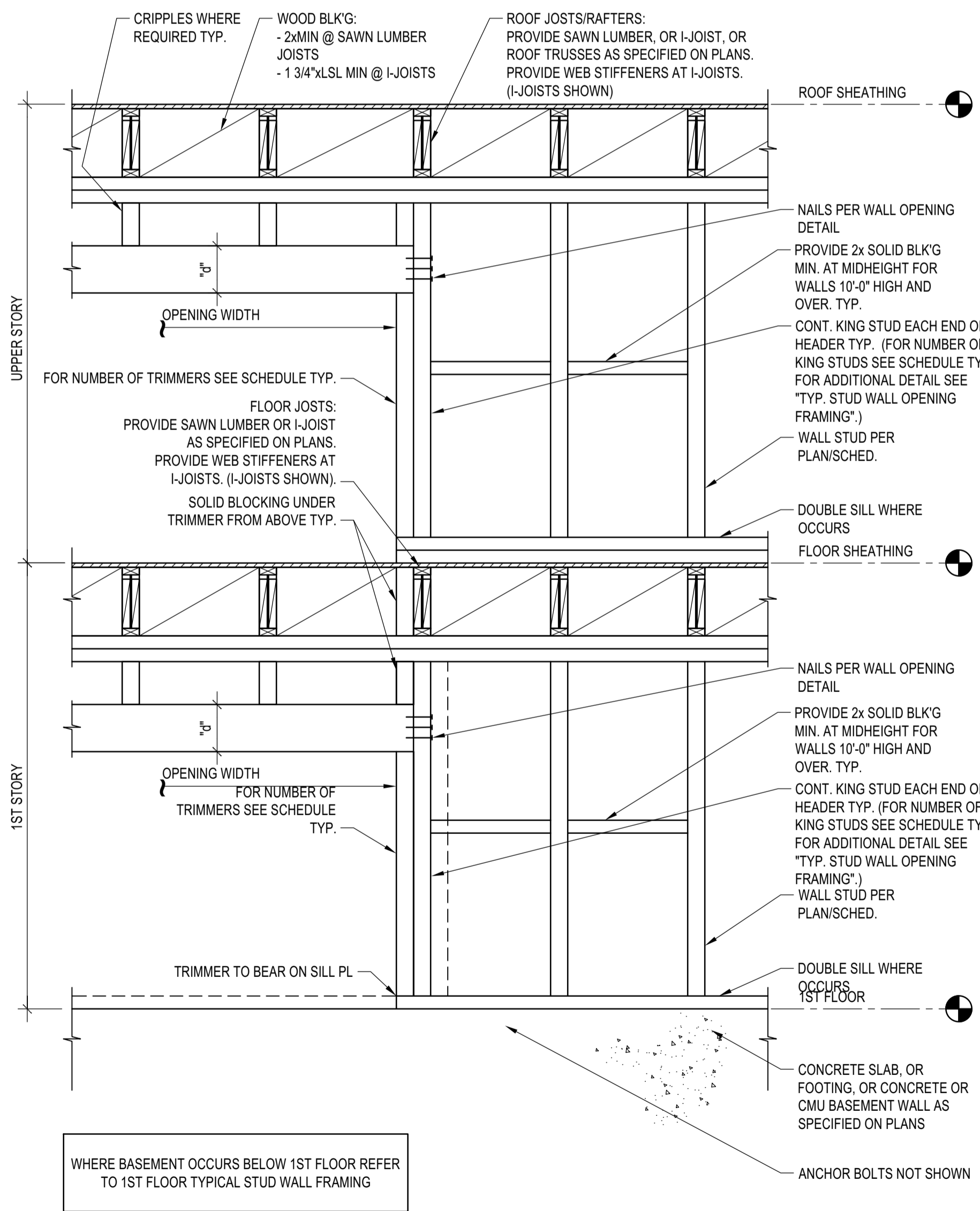
**TYP. MINIMUM NON-BEARING HEADER SCHEDULE U.N.O.**

WIDTH OF OPENING	U.N.O.		
	EXTERIOR	INTERIOR (4x WALL)	INTERIOR (6x WALL)
4'-0"	6x6	4x4(2)-2x4	6x6
6'-0"	6x6	4x4(2)-2x4	6x6
8'-0"	6x6	4x6(2)-2x6	6x6

\* FOR ALL INTERIOR HEADERS SUPPORTING ROOF + 3 LEVELS OR MORE, ADD ONE ADDITIONAL KING STUD TO THE SCHEDULE ABOVE.

**TYP. MINIMUM BEARING HEADER SCHEDULE U.N.O.**

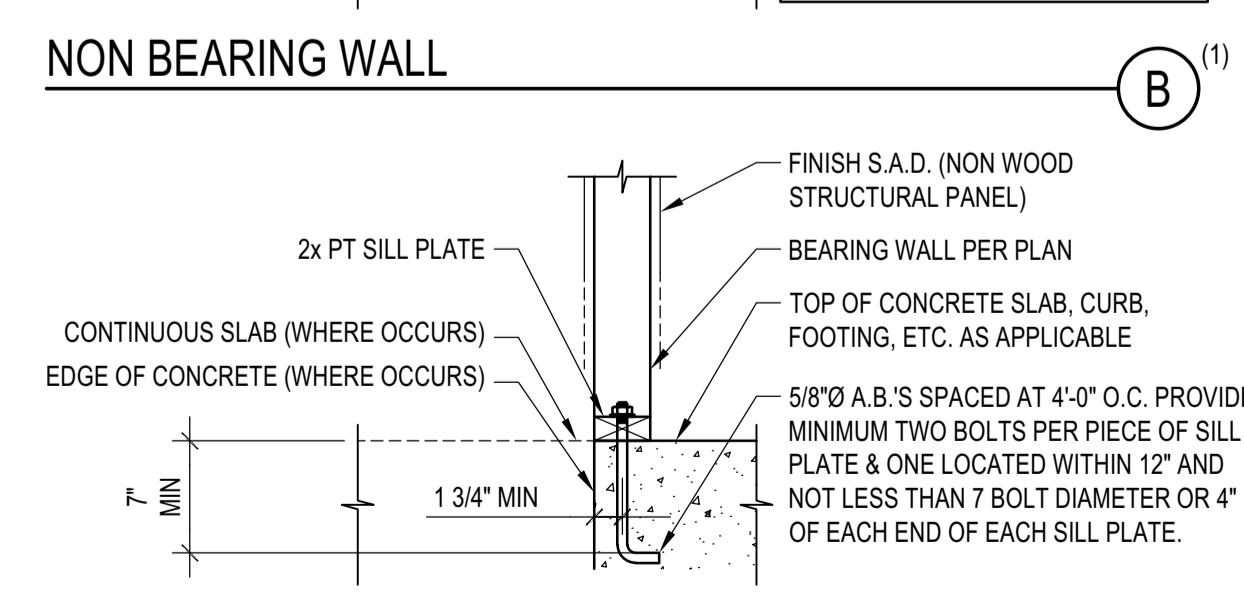
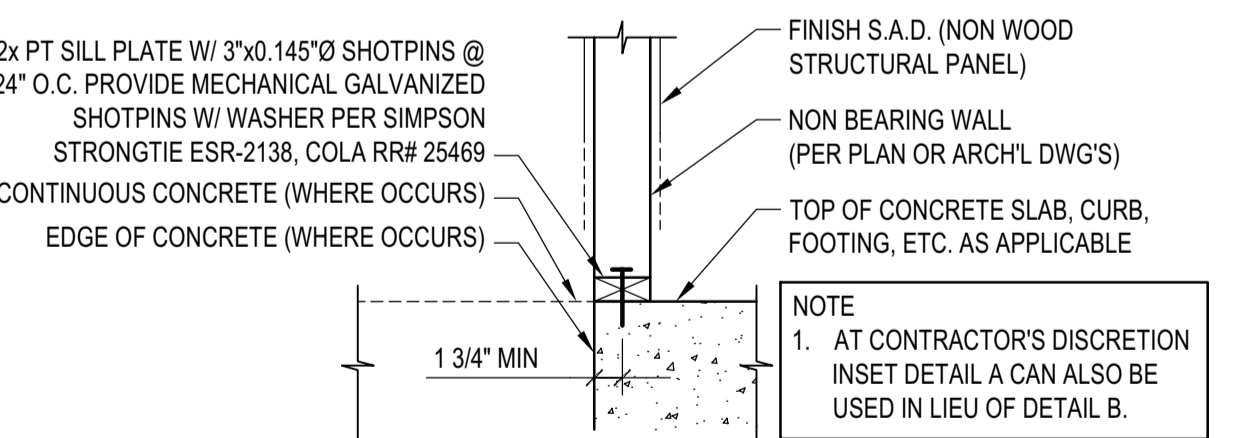
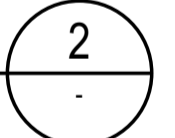
WIDTH OF OPENING	U.N.O.								
	EXTERIOR			INTERIOR - 4x WALL			INTERIOR - 6x WALL		
	ROOF	FLOOR	PUBLIC AREA	ROOF	FLOOR	PUBLIC AREA	ROOF	FLOOR	PUBLIC AREA
4'-0"	6x6	6x6	6x8	4x6(2)-2x6	4x8(2)-2x8	4x10(2)-2x12	6x6	6x8	6x10
6'-0"	6x6	6x8	6x10	4x8(2)-2x8	4x10(2)-2x12	4x12	6x8	6x10	6x12
8'-0"	6x8	6x10	6x12	-	-	-	-	-	-



- NOTES:
- SEE PLANS FOR SPECIAL FRAMING REQUIREMENTS. PLATFORM FRAMING SHALL BE PROVIDED UNLESS BALLOON FRAMING IS EXPLICITLY CALLED OUT ON THE PLANS
  - HEADER SIZES SHOWN IN SCHEDULES ABOVE ARE MINIMUM HEADER SIZES. SEE PLANS FOR WHERE LARGER HEADER SIZES ARE REQUIRED.
  - STUD HEIGHT LIMITATIONS:  
 2x4 AT 16" O.C. NOT TO EXCEED 9 FEET.  
 3x4 AT 16" O.C. NOT TO EXCEED 10 1/2 FEET.
  - IF CALLED OUT STUD SIZES AT ANY GIVEN FLOOR LEVEL EXCEED THESE LIMITATIONS, CONTACT STRUCTURAL ENGINEER FOR CLARIFICATION.
  - TRIMMERS TO BE SAME SIZE AS STUDS AS GIVEN FLOOR LEVEL UNLESS NOTED OTHERWISE. SEE PLANS FOR POSTS WHERE REQUIRED INSTEAD OF TRIMMERS.
  - NAIL TRIMMERS TOGETHER W/ 16d NAILS AT 12" O.C. STAGGERED EACH FACE.
  - SEE PLANS FOR SHEAR WALL FRAMING REQUIREMENTS.
  - FOR ACTUAL WALL WIDTH, SEE ARCHITECTURAL DRAWINGS.
  - ALIGN ROOF & FLOOR FRAMING WITH STUDS AS SHOWN.
  - PROVIDE (1)-TRIMMER AND (1)-KING STUD @ NON-LOAD BEARING HEADERS.

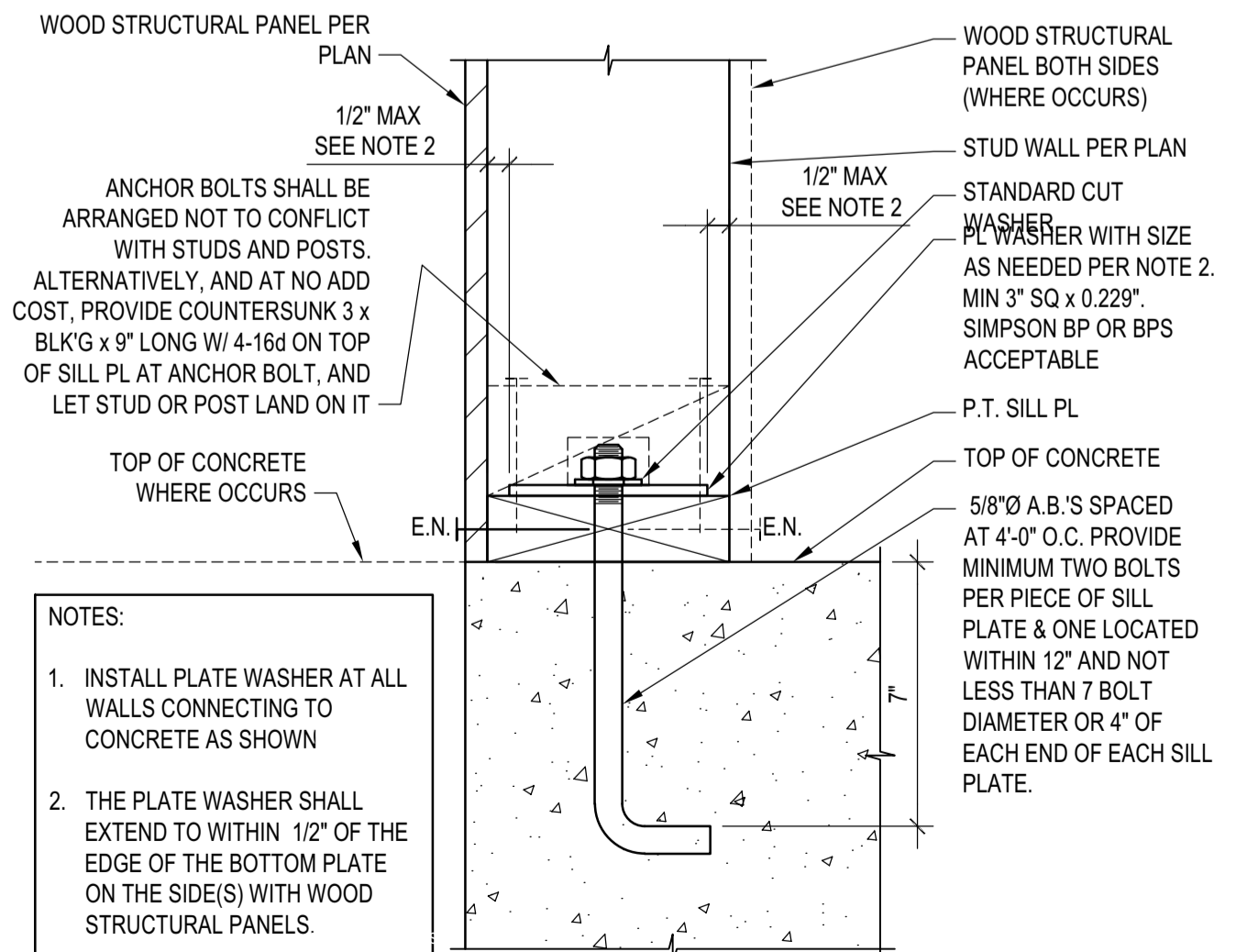
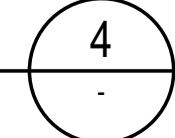
**TYP. STUD WALL OPENING FRAMING**

SCALE: N.T.S.



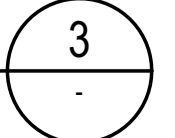
**BASE DETAIL @ NON SHEAT'D WALL**

SCALE: N.T.S.



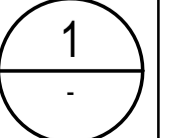
**BASE DETAIL @ SHEATHED WALL OTHER THAN SHEAR WALLS**

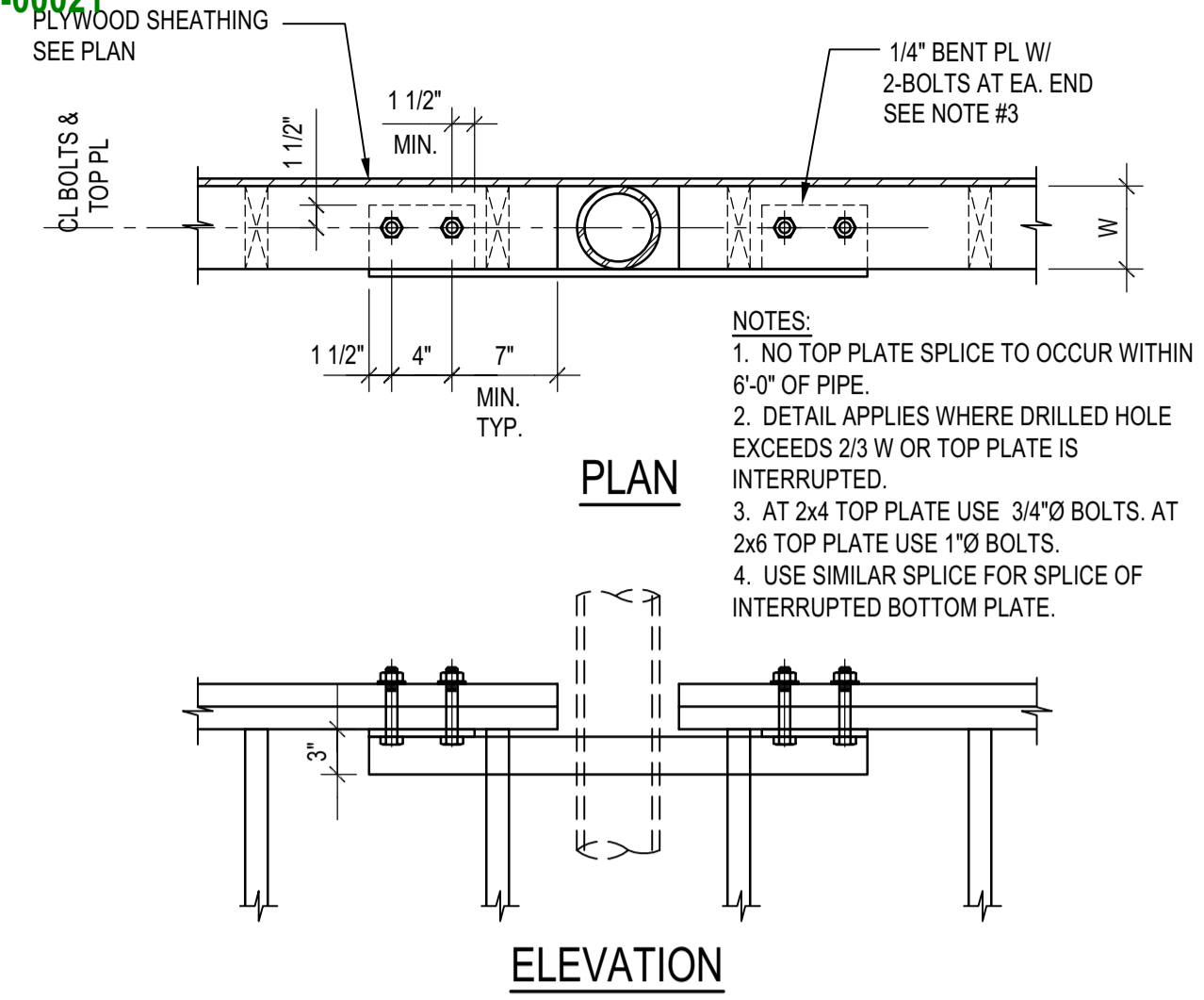
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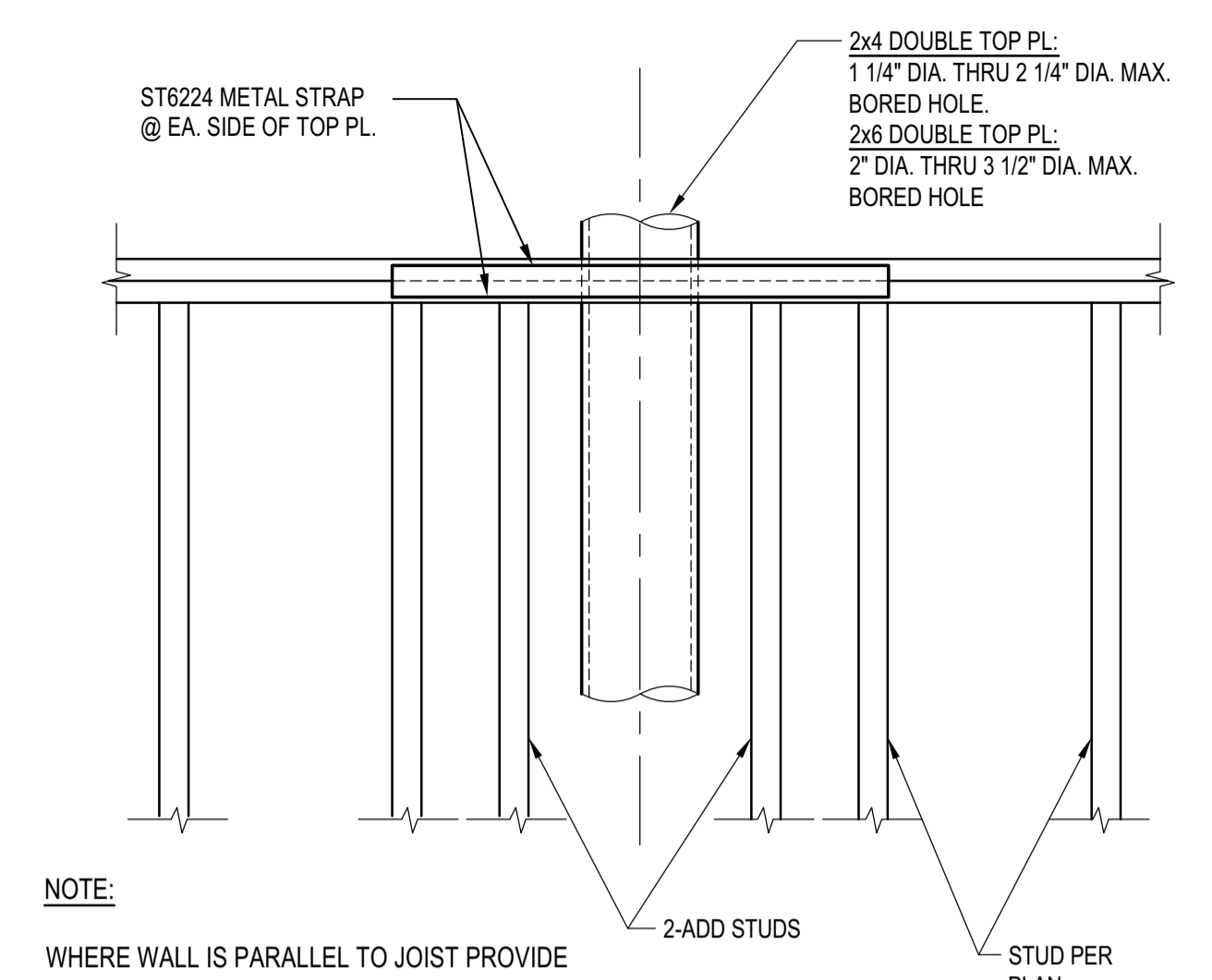
**STUD WALL PLATFORM FRAMING ELEVATION**

SCALE: N.T.S.





**TYP. INTERRUPTED TOP/BOTT. PLATE SPLICE**  
 SCALE: N.T.S.

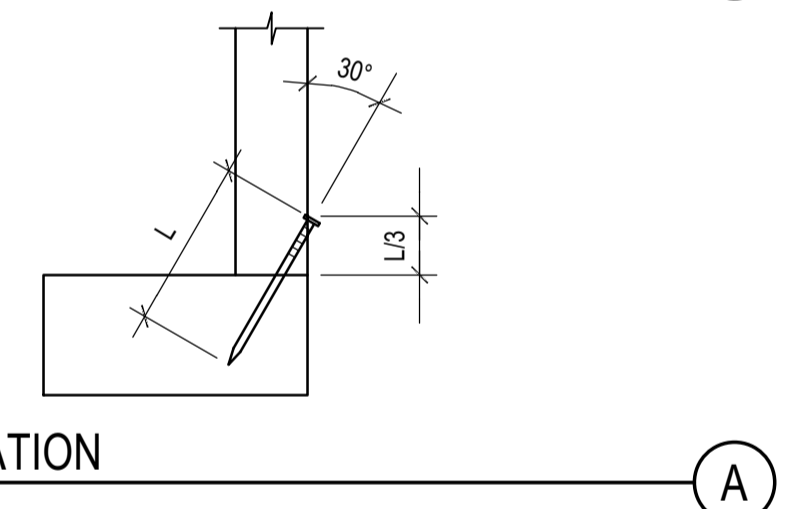


**SHEAR WALL WITH PIPE DETAIL**  
 SCALE: N.T.S.

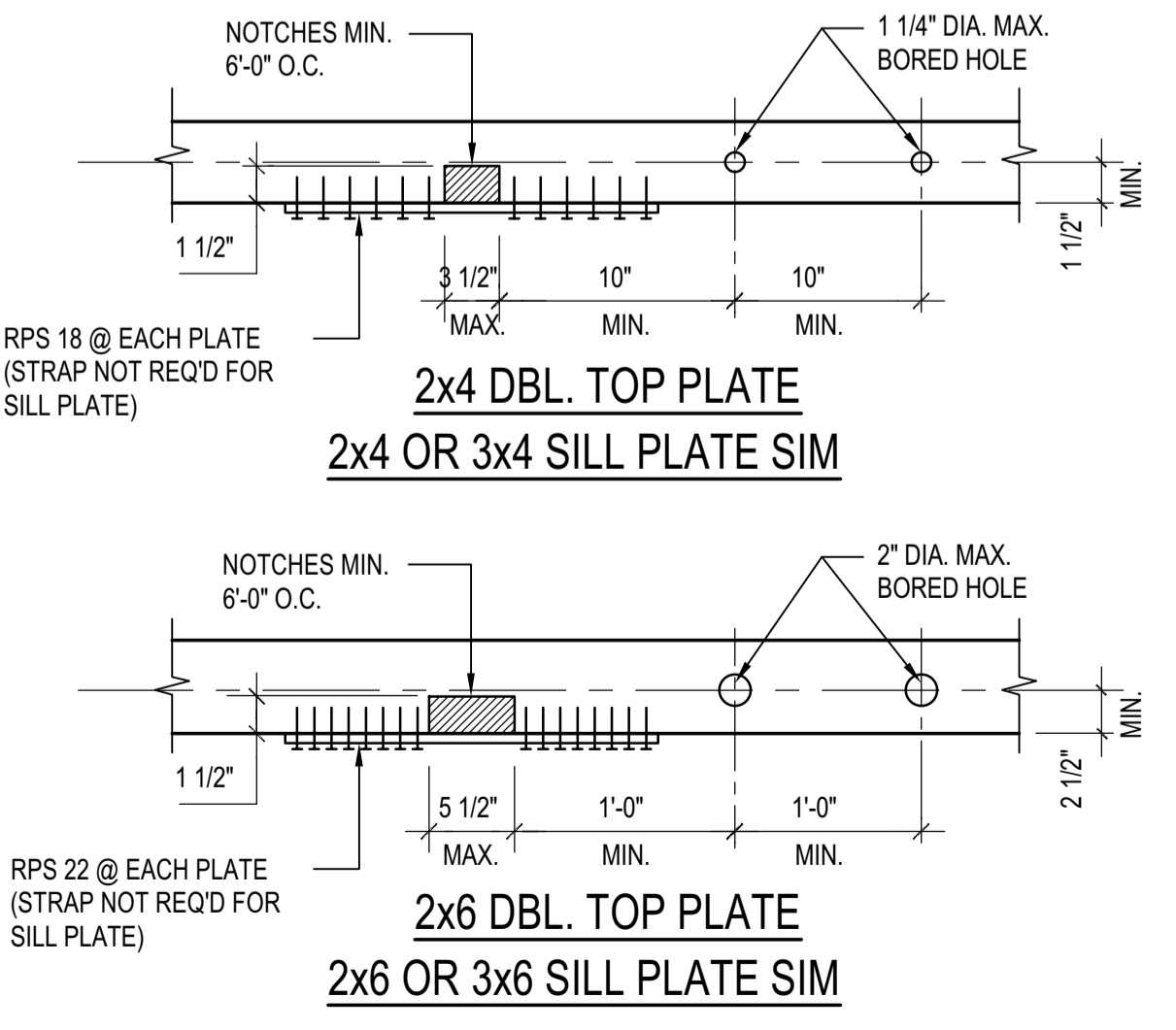
NAILING SCHEDULE (1)	
CONNECTION	NAILING
POST TO PIER PAD, TOE NAIL	3-16d or 4-8d
GIRDER TO POST, TOE NAIL	3-16d or 4-8d
JOIST TO SILL OR GIRDER, TOE NAIL	3-8d
BRIDGING TO JOIST, TOE NAIL EACH END	2-8d
JOIST TO BLOCKING, END NAIL	16d T&B OF EACH JOIST
RIM JOIST TO JOISTS, END NAIL	16d T&B OF EACH JOIST
RIM JOIST TO SILL, TOE NAIL	16d @ 16" O.C.
FLOOR JOIST LAP @ BEARING, FACE NAIL	2-16d
SOLE PLATE TO JOIST OR BLOCKING, FACE NAIL	16d @ 16" O.C.
TOP PLATE TO STUD, END NAIL	2-16d
STUD TO SOLE PLATE	2-16d END NAIL, OR 4-8d TOE NAIL
DOUBLED STUDS, FACE NAIL	16d @ 24" O.C.
DOUBLE TOP PLATES, FACE NAIL	8-16d
DOUBLE TOP PLATES, LAP SPLICE	16d @ 16" O.C.
TOP PLATES, LAPS AND INTERSECTIONS, FACE NAIL	2-16d
BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE, TOENAIL	3-8d
RIM JOIST TO TOP PLATE, TOENAIL	8d @ 16" O.C.
CONTINUOUS HEADER, TWO PIECES	16d @ 16" O.C. ALONG EACH EDGE
CEILING JOIST TO PLATE, TOE NAIL	3-8d
CONTINUOUS HEADER TO STUD, TOE NAIL	4-8d
CEILING JOISTS, LAP OVER PARTITIONS, FACE NAIL	3-16d
CEILING JOIST TO PARALLEL RAFTER, FACE NAIL	3-16d
RAFTER TO RIDGE	3-8d
RAFTER TIES, 2" LUMBER, FACE NAIL	3-16d
RAFTER TIES, 1" LUMBER, FACE NAIL	5-8d
RAFTER TO PLATE, TOE NAIL	3-8d
1"X4" MIN. BRACE TO EACH STUD AND PLATE, FACE NAIL	2-8d
BUILT-UP CORNER STUDS	16d @ 24" O.C.

NOTES:  
 1. ALTERNATIVELY, PROVIDE NAILING PER "FASTENING SCHEDULE" PER LATEST EDITION OF CALIFORNIA BUILDING CODE

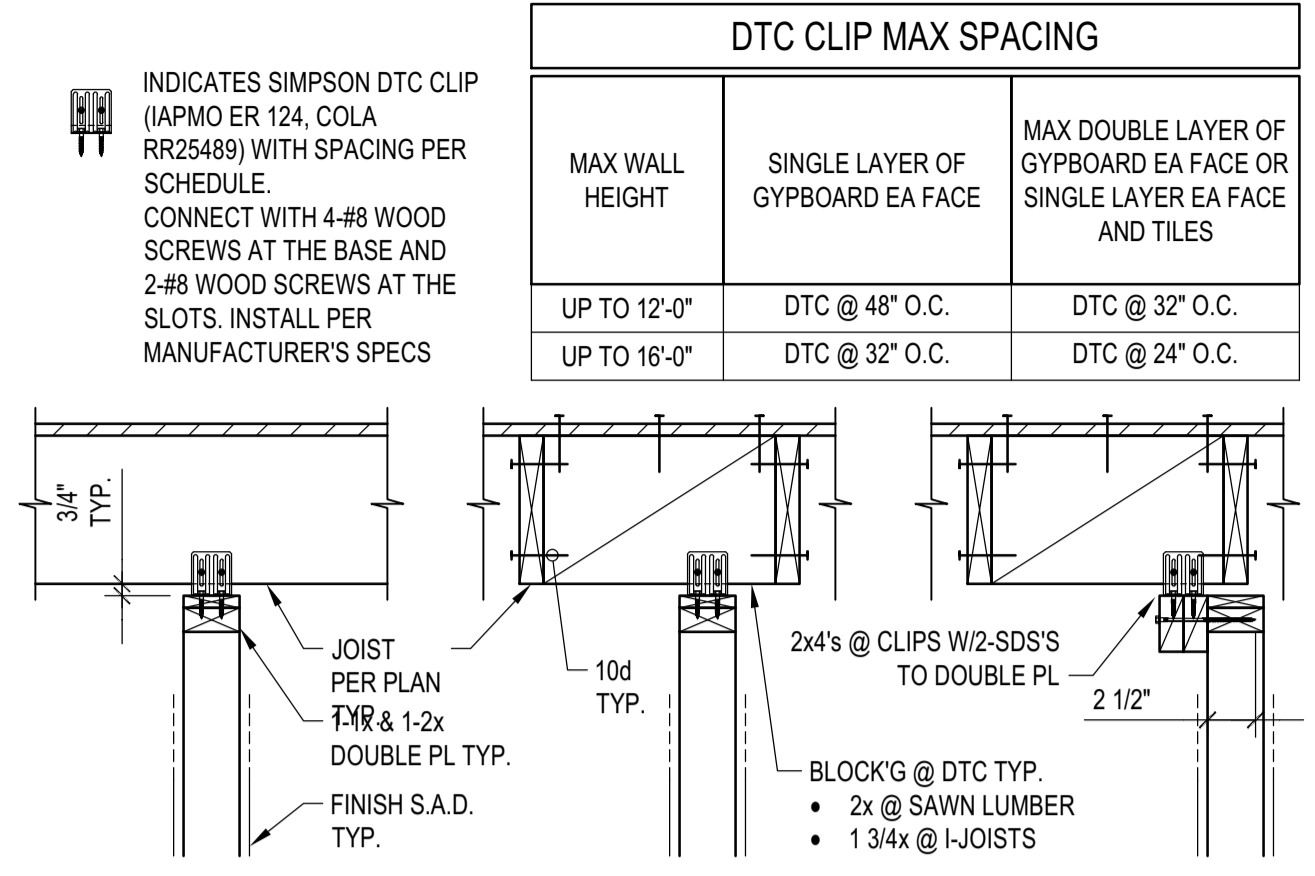
**SCHEDULE**



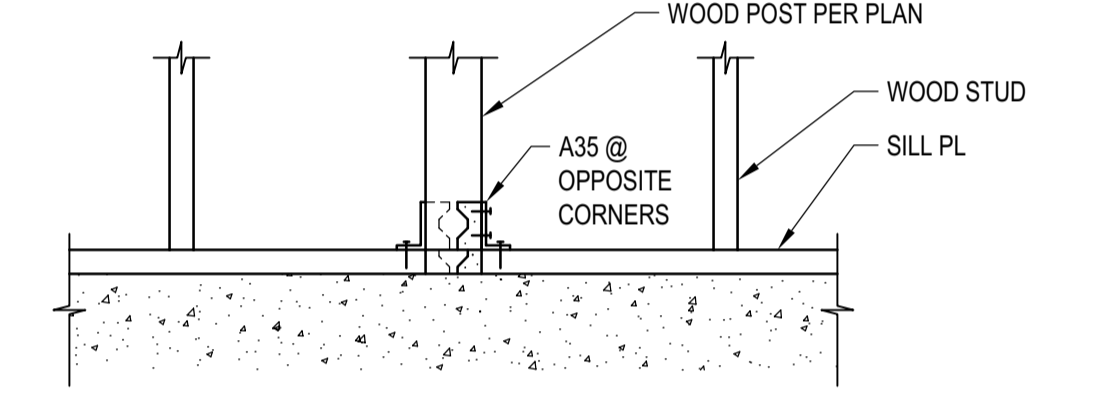
**TOE NAIL INSTALLATION**  
 SCALE: N.T.S.



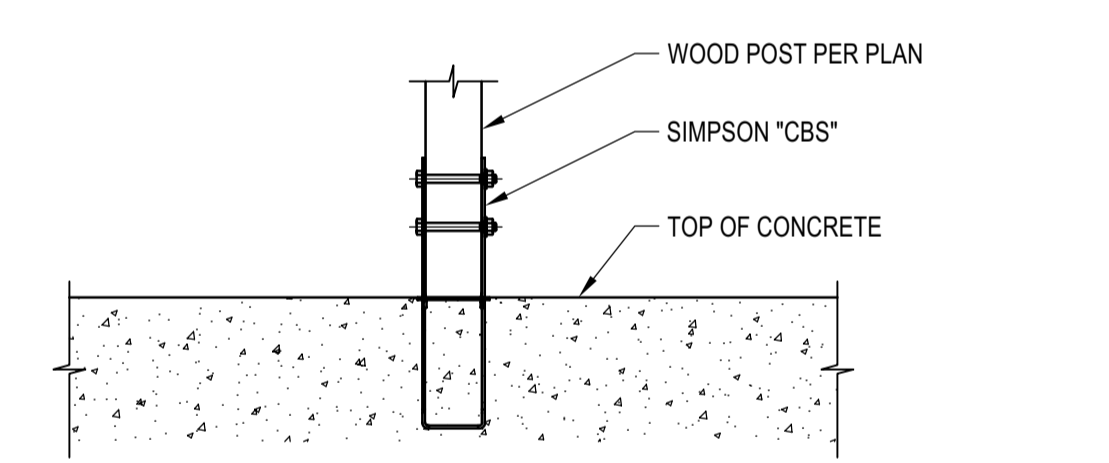
**PLATE NOTCHING & BORING**  
 SCALE: N.T.S.



**TOP CONN. NON BEARING WALL**  
 SCALE: N.T.S.

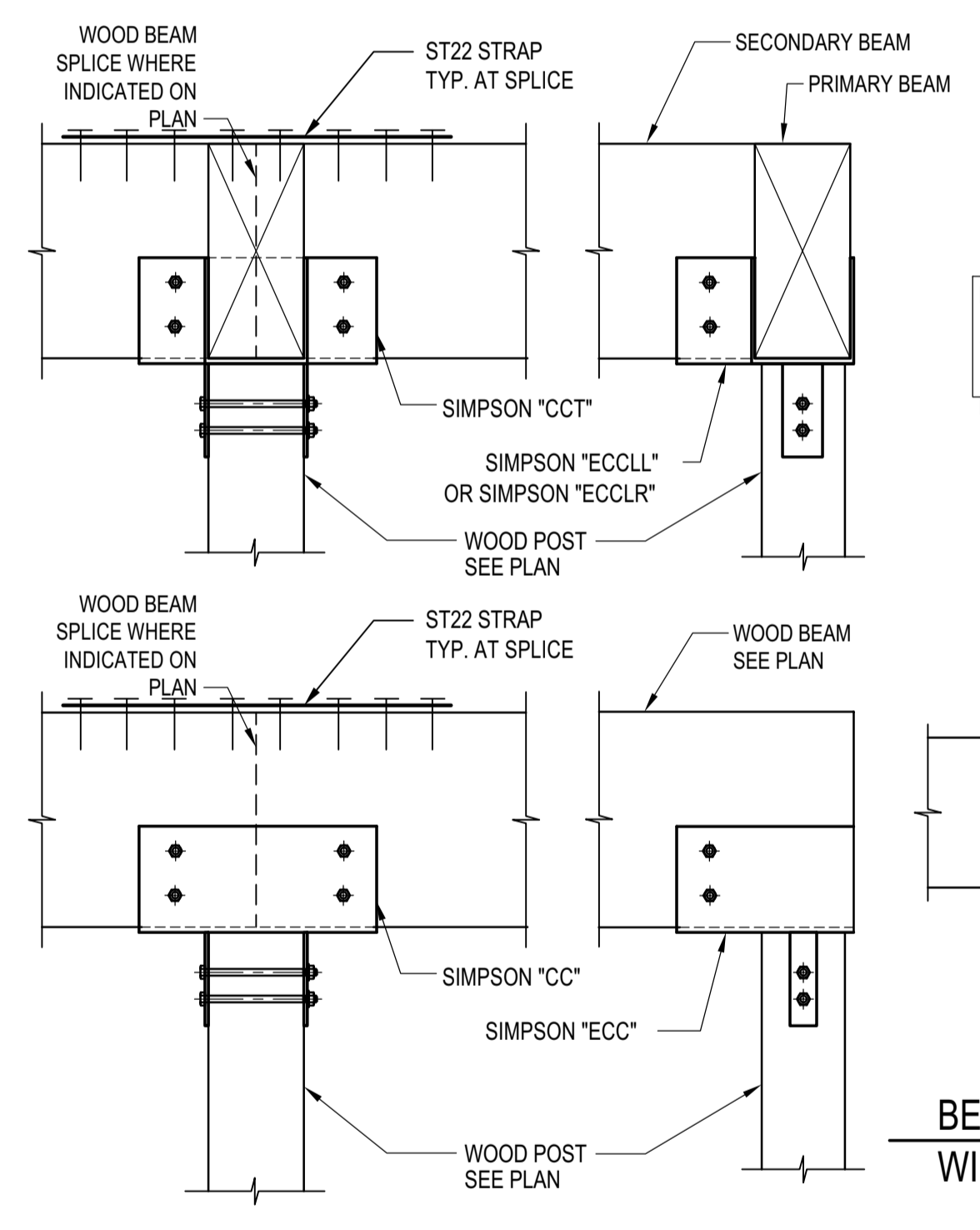


**WITHIN A WALL**

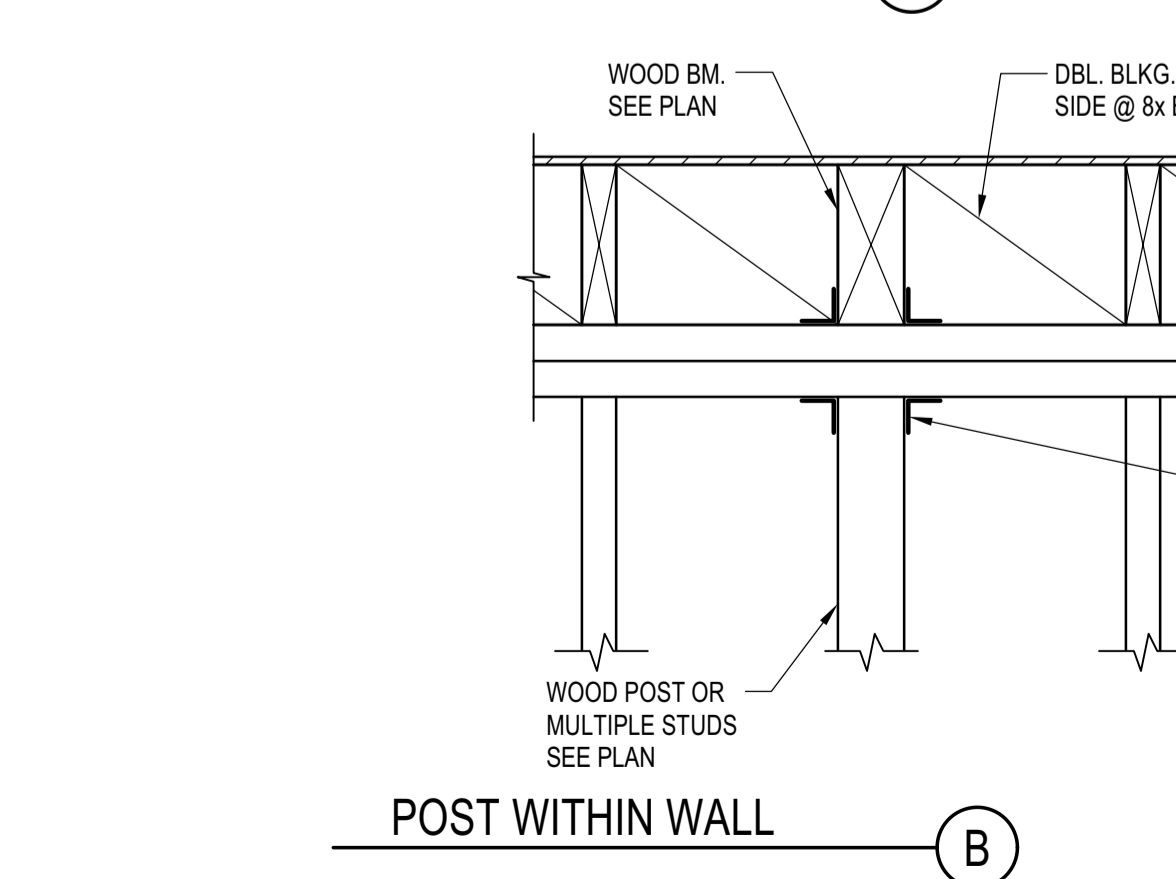


**ISOLATED POST**

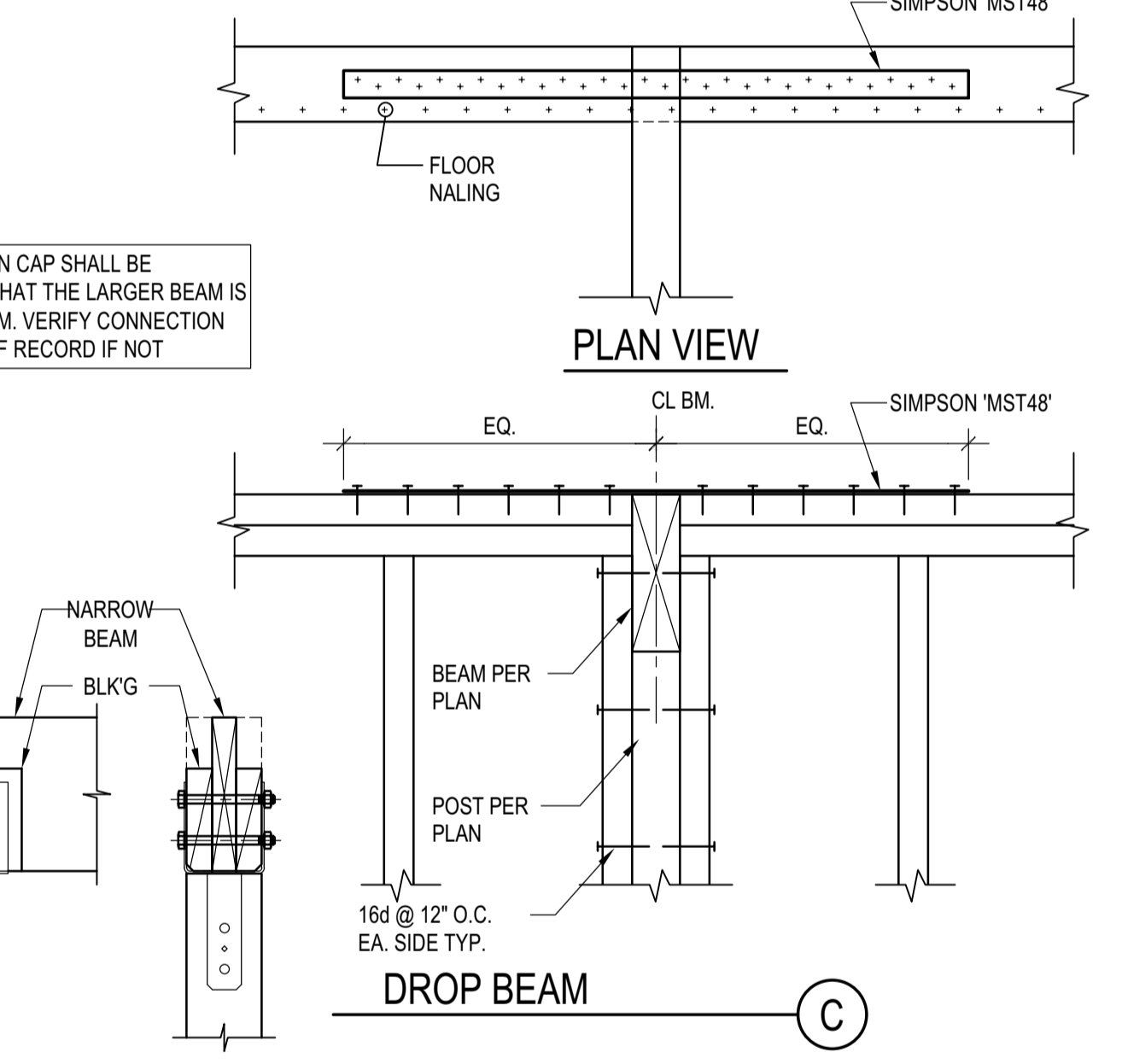
**TYP. POST BASE**  
 SCALE: N.T.S.



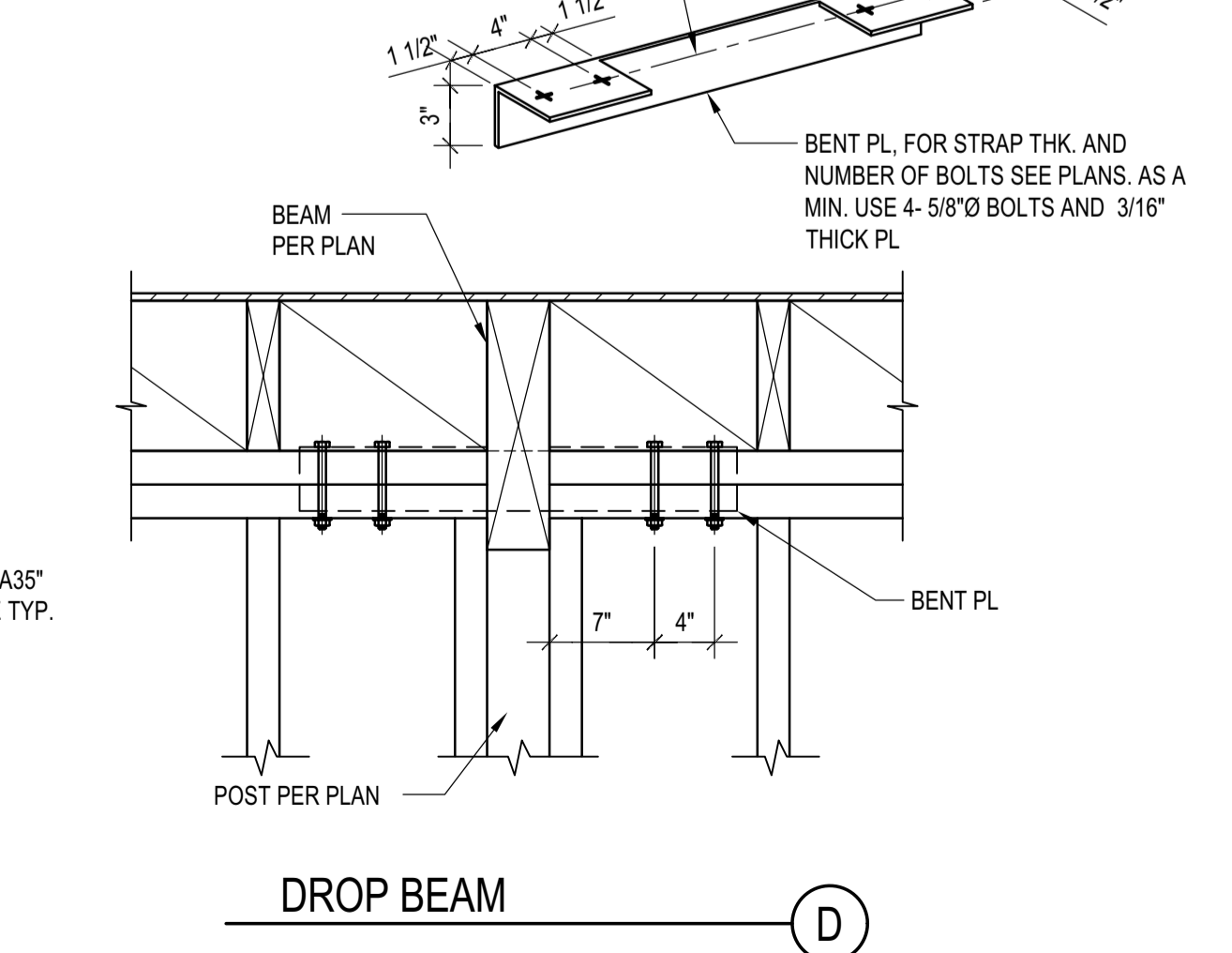
**ISOLATED POST**



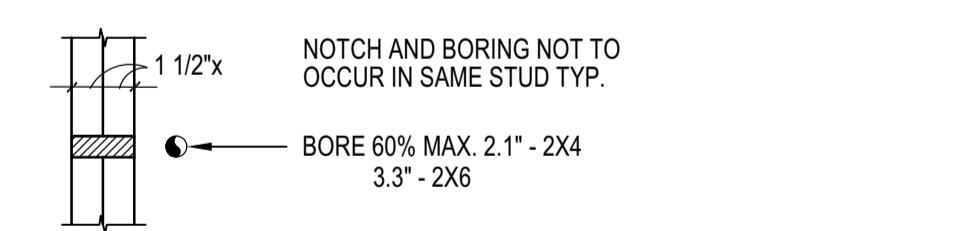
**TYP. BEAM TO POST CONN. DETAIL**  
 SCALE: N.T.S.



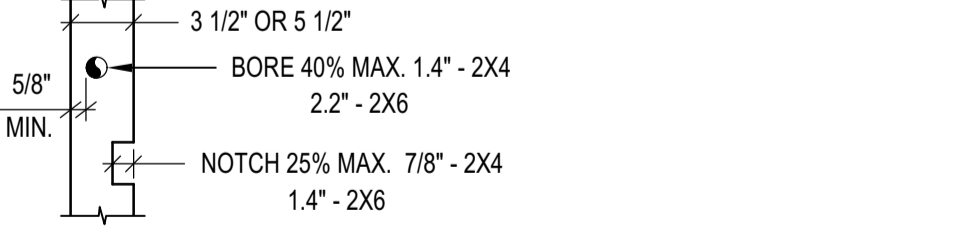
**DROP BEAM**



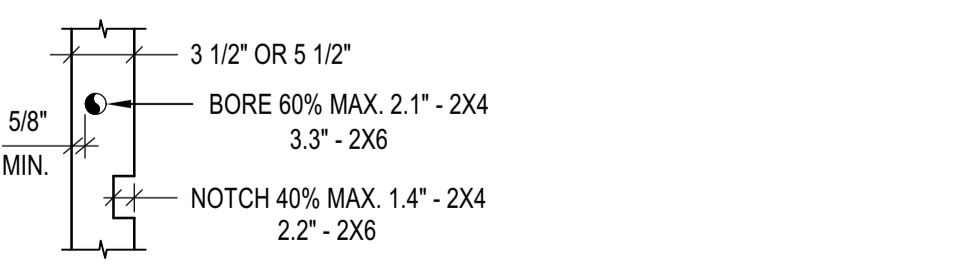
**DROP BEAM**



**DOUBLE STUDS-BEARING OR NOT**



**BEARING STUDS**



**NON-BEARING STUDS**

**TYP. STUD NOTCHING**  
 SCALE: N.T.S.

**BADGER RESIDENCE**

OWNER:  
**121 BADGER LANE LLC**  
 P.O. BOX 14001-174  
 KETCHUM, ID 83340

PROJECT ARCHITECT:  
**RO J ROCKETT DESIGN**  
 1031 W. MANCHESTER BLVD, UNIT 6  
 INGLEWOOD, CA 90301  
 TEL: 213.784.0014

SURVEYOR & CIVIL ENGINEER:  
**GALENA ENGINEERING, INC.**  
 317 NORTH RIVER STREET  
 HAYLEY, ID 83333  
 TEL: 208.788.1705

GEOTECHNICAL ENGINEER:  
**BUTLER ASSOCIATES, INC.**  
 P.O. BOX 1034  
 KETCHUM, ID 83340  
 TEL: 208.720.6432

LANDSCAPE ARCHITECT:  
**BYLA**  
 323 LEWIS STREET, SUITE N  
 KETCHUM, ID 83340  
 TEL: 208.726.5907

STRUCTURAL ENGINEER:  
**LFA**  
 319 MAIN STREET  
 EL SEGUNDO, CA 90245  
 TEL: 213.239.9700  
 LFA Job #22791

Professional Engineer Seal: P-21480, State of Idaho, David L. Funk

PROJECT:  
**BADGER RESIDENCE**  
 121 BADGER LANE  
 KETCHUM, ID 83340



02/24/23 DATE  
 PC SUBMITTAL ISSUE

PROJECT NUMBER:  
**#2201**

DRAWING TITLE:  
**TYPICAL DETAILS - WOOD**

DRAWING NUMBER:  
**S-032**

PROJECT ARCHITECT:  
**RO J ROCKETT DESIGN**  
 1031 W. MANCHESTER BLVD, UNIT 6  
 INGLEWOOD, CA 90301  
 TEL: 213.784.0014

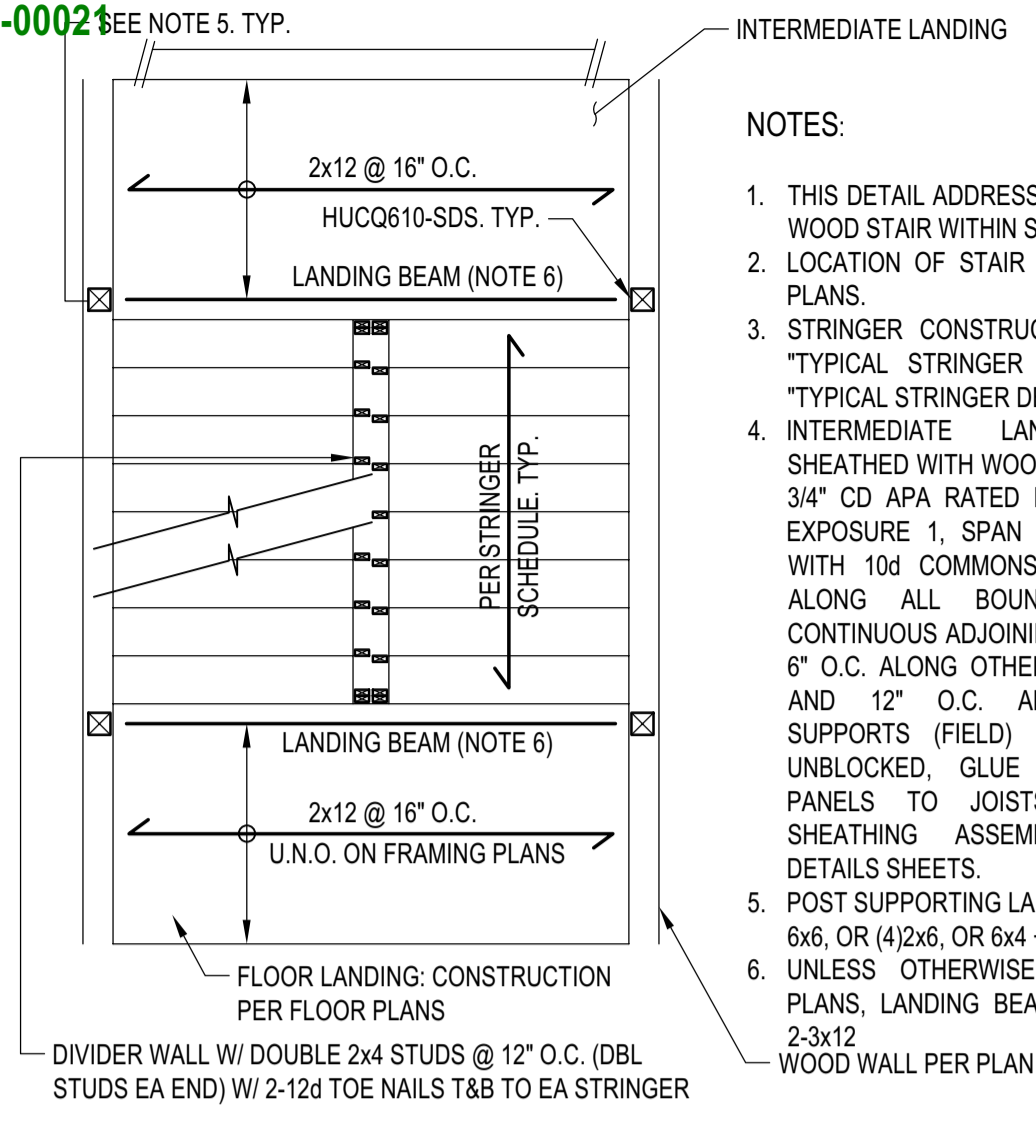
SURVEYOR & CIVIL ENGINEER:  
**GALENA ENGINEERING, INC.**  
 317 NORTH RIVER STREET  
 HAYLEY, ID 83333  
 TEL: 208.788.1705

GEOTECHNICAL ENGINEER:  
**BUTLER ASSOCIATES, INC.**  
 P.O. BOX 1034  
 KETCHUM, ID 83340  
 TEL: 208.720.6432

LANDSCAPE ARCHITECT:  
**BYLA**  
 323 LEWIS STREET, SUITE N  
 KETCHUM, ID 83340  
 TEL: 208.726.5907

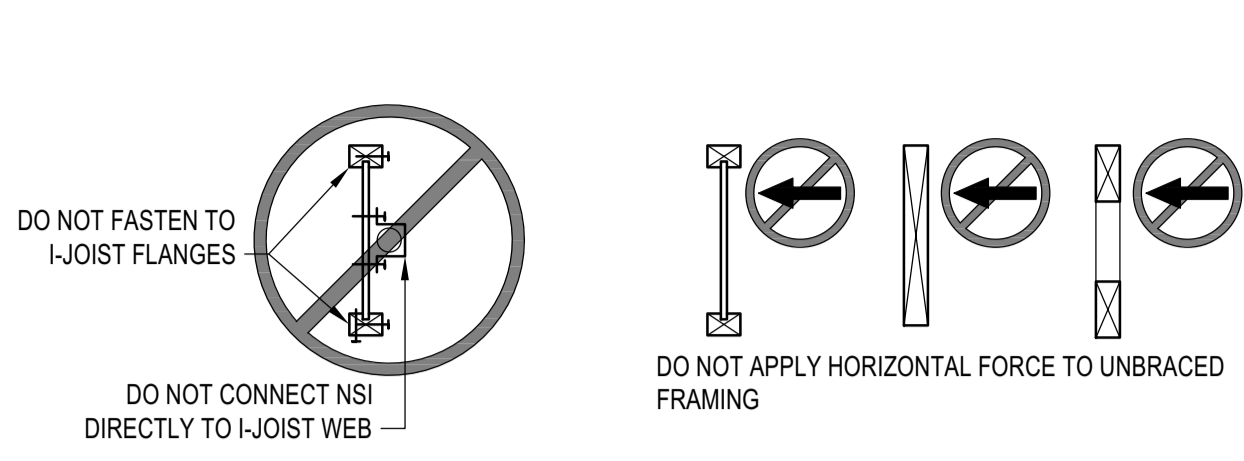
STRUCTURAL ENGINEER:  
**LFA**  
 319 MAIN STREET  
 EL SEGUNDO, CA 90245  
 TEL: 213.239.9700  
 LFA Job #22791

BLD2303-0002  
 06/26/23



- NOTES:
1. THIS DETAIL ADDRESSES CONSTRUCTION OF WOOD STAIR WITHIN SHAFT UP TO 5 STORY.
  2. LOCATION OF STAIR IS SHOWN ON FLOOR PLANS.
  3. STRINGER CONSTRUCTION SHALL BE PER "TYPICAL STRINGER CONSTRUCTION" AND "TYPICAL STRINGER DETAIL".
  4. INTERMEDIATE LANDING SHALL BE SHEATHED WITH WOOD STRUCTURAL PANEL, 3/4" CD APA RATED PLYWOOD SHEATHING, EXPOSURE 1, SPAN RATING 4824, NAILED WITH 10d COMMONS SPACED AT 6" O.C. ALONG ALL BOUNDARIES (B.N.) AND CONTINUOUS ADJOINING PANEL EDGES, AND 6" O.C. ALONG OTHER PANEL EDGES (E.N.) AND 12" O.C. ALONG INTERMEDIATE SUPPORTS (FIELD) (F.N.). PANEL EDGES UNBLOCKED. GLUE WOOD STRUCTURAL PANELS TO JOISTS. SEE "TYPICAL SHEATHING ASSEMBLY" PER TYPICAL DETAILS SHEETS.
  5. POST SUPPORTING LANDING BEAM TO BE MIN 6x6, OR (4)2x6, OR 6x4 + 2x6
  6. UNLESS OTHERWISE NOTED ON FLOOR PLANS, LANDING BEAM SHALL BE 6x10 OR 2-3x12 WOOD WALL PER PLAN

**TWO FLIGHT WOOD STAIR**  
 SCALE: N.T.S.



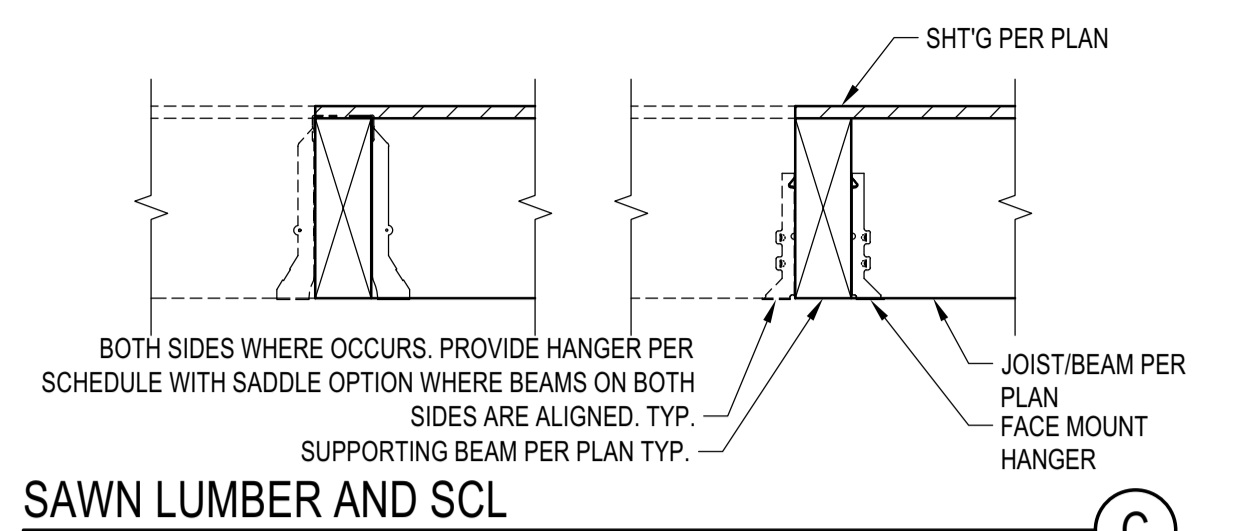
- NOTES:
1. THIS DETAIL ADDRESSES CONNECTION OF NON STRUCTURAL INFRASTRUCTURES "NSI" TO WOOD FRAMING. NSI INCLUDE, BUT ARE NOT LIMITED TO, SPRINKLERS, LIGHTING, MEP, FF&E, ETC.
  2. CONNECTION OF NSI TO FRAMING SHALL BE DESIGNED AND SPECIFIED BY NSI SUPPLIER. CONNECTION SHALL INCLUDE FASTENERS TO FRAMING AND ADDITIONAL FRAMING MEMBERS, SUCH AS WEB STIFFENERS, WEB FILLERS, BRACING, AND BLOCKING
  3. CONNECTION OF NSI SHALL COMPLY WITH LIMITATIONS SET FORTH PER THIS DETAIL AND SHALL NOT IMPAIR OR DAMAGE FRAMING. IN ADDITION, IF NSI IS CONNECTED TO ENGINEERED OR PREFABRICATED ELEMENTS (SUCH AS I-JOISTS, OPEN WEB TRUSSES, ETC.), NSI SUPPLIER SHALL COORDINATE CONNECTION DETAILS DIRECTLY WITH FRAMING MANUFACTURER'S SPECIFICATIONS AND FABRICATOR, AS APPLICABLE
  5. SUBMIT DETAILS/SHOP DRAWINGS TO SEOR FOR REVIEW OF STRUCTURAL IMPACT ON BUILDING STRUCTURE

**NON-STRUCT. ELEMENTS TO FRM'G**  
 SCALE: N.T.S.

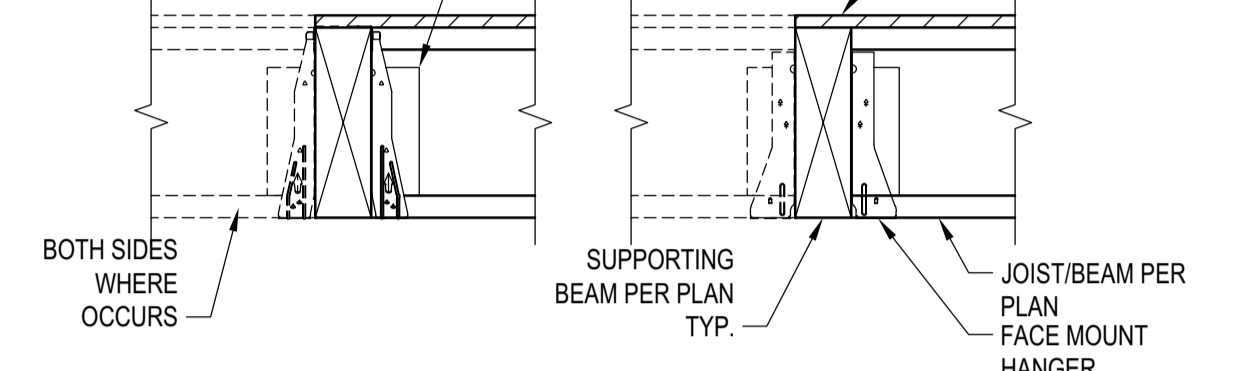
HANGER SCHEDULE - MANUFACTURER: SIMPSON STRONGTIE			
TOP MOUNT HANGER (SEE NOTE 1)		FACE MOUNT HANGER (SEE NOTE 1)	
JOIST/BEAM SIZE	HANGER TYPE	JOIST/BEAM SIZE	HANGER TYPE
ALL SAWN LUMBER U.N.O.	SIMPSON HUTP ESR-2593 COLARR2593	ALL SAWN LUMBER U.N.O.	SIMPSON HU ESR-2549 COLARR2549
2x6 THRU 2x16	SIMPSON LB ESR-2593 COLARR2593	2x6 THRU 2x10	SIMPSON LUS ESR-2549 COLARR2549
2-2x6 THRU 2-2x14	SIMPSON HUSTF ESR-2593 COLARR2593	2-2x6 THRU 2-2x10	SIMPSON LUS ESR-2549 COLARR2549
4x6 THRU 4x14	SIMPSON HUSTF ESR-2593 COLARR2593	4x6 THRU 4x16	SIMPSON HUS ESR-2592 COLARR2592
ALL I-JOIST U.N.O.	SIMPSON MIT ESR-2615 COLARR2615	ALL I-JOIST U.N.O.	SIMPSON MIU ESR-2592 COLARR2592
SINGLE I-JOIST TO WOOD BEAM 9 1/4 THRU 16 DEEP	SIMPSON ITS ESR-2615 COLARR2615	SINGLE I-JOIST TO WOOD BEAM 9 1/4 THRU 16 DEEP	SIMPSON IUS ESR-2592 COLARR2592
ALL PSL/LV/LSL BEAMS U.N.O.	SIMPSON HGTV ESR-2615 COLARR2615	ALL PSL/LV/LSL BEAMS U.N.O.	SIMPSON HGU ESR-2592 COLARR2592
3 1/2" AND 5 1/4" PSL/LV/LSL UP TO 11 7/8" DEEP			SIMPSON MGV ESR-2592 COLARR2592
ALL GLULAM BEAMS U.N.O.	SIMPSON EG ESR-2615 COLARR2615	ALL GLULAM BEAMS U.N.O.	SIMPSON HHGU ESR-2592 COLARR2592

- NOTES:
1. HANGERS SHALL BE USED TO SUPPORT BEAM OR JOISTS FROM A SUPPORTING BEAM.
  2. TOP OR FACE MOUNT HANGERS SHALL BE SELECTED AT CONTRACTOR'S DISCRETION BASED ON MORE ECONOMICAL CHOICE.
  3. HANGERS SHALL BE INSTALLED PER MANUFACTURER'S REQUIREMENTS, SUCH AS BUT NOT LIMITED TO MIN THICKNESS FOR FASTENER EMBEDMENT, MIN EDGE DISTANCE, MIN SIZE OF HEADERS, ETC.
  4. PROVIDE SKEWED, SLOPED HANGERS AS REQ'D
  5. PROVIDE OFFSET OR CONCEALED FLANGE HANGERS AT EDGE CONDITIONS AS NEEDED

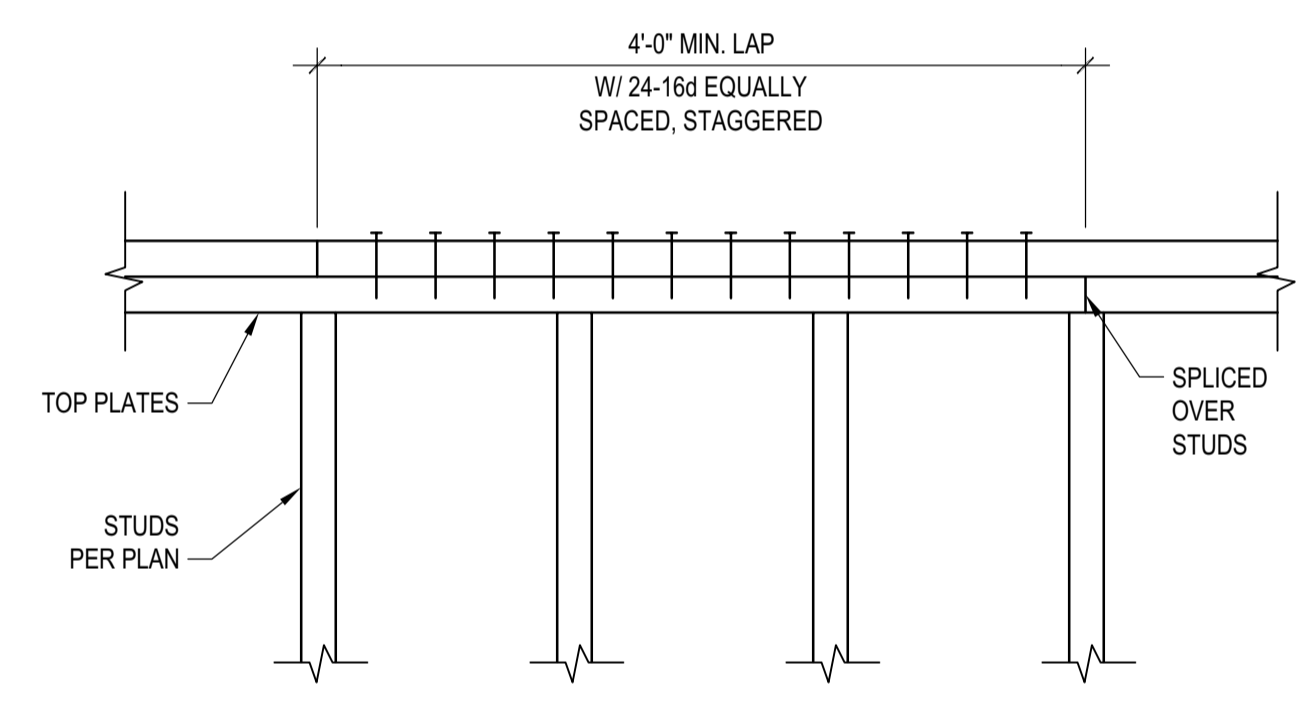
**HANGER SCHEDULE AND NOTES**  
 SCALE: N.T.S.



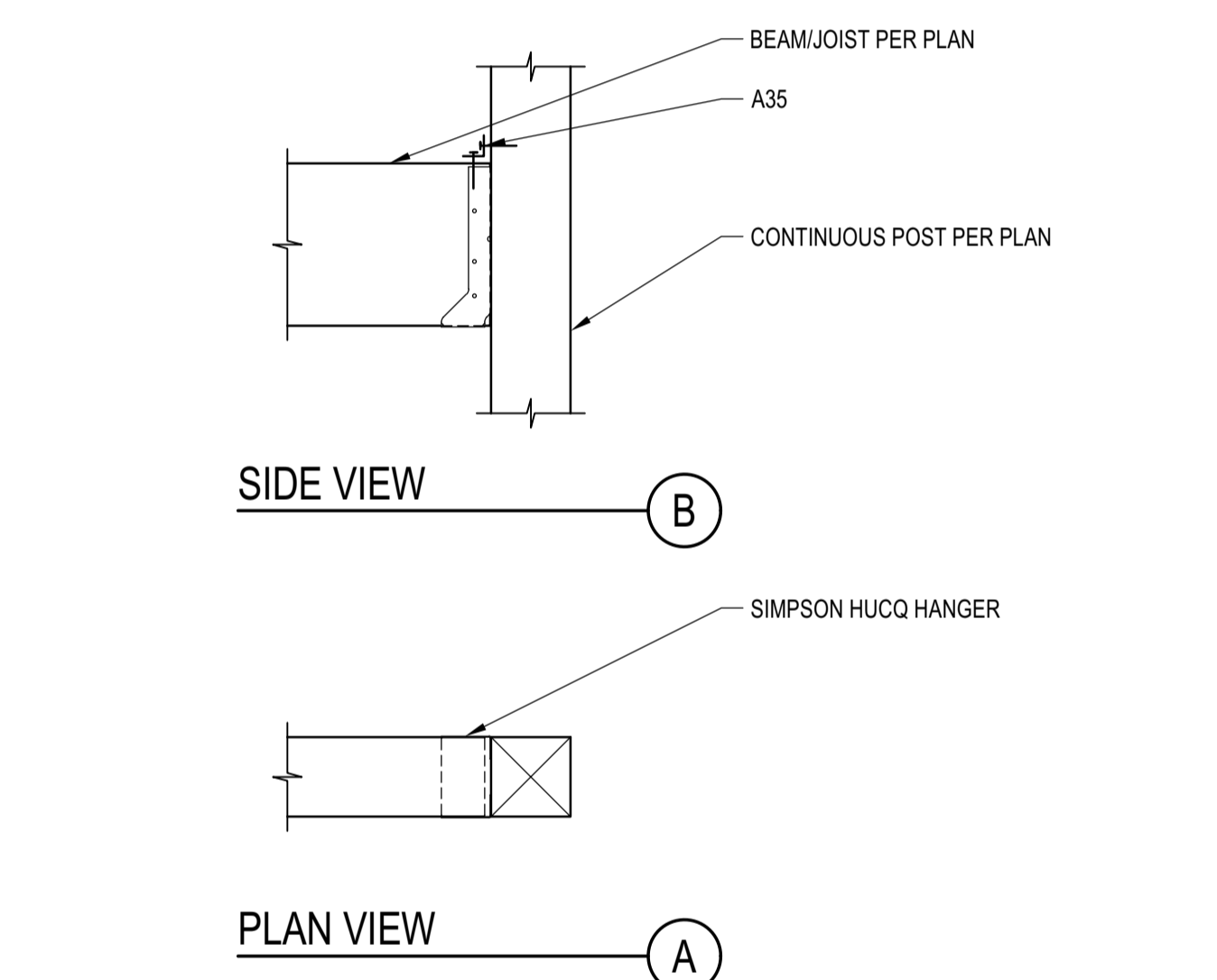
**SAWN LUMBER AND SCL**  
 SCALE: N.T.S.



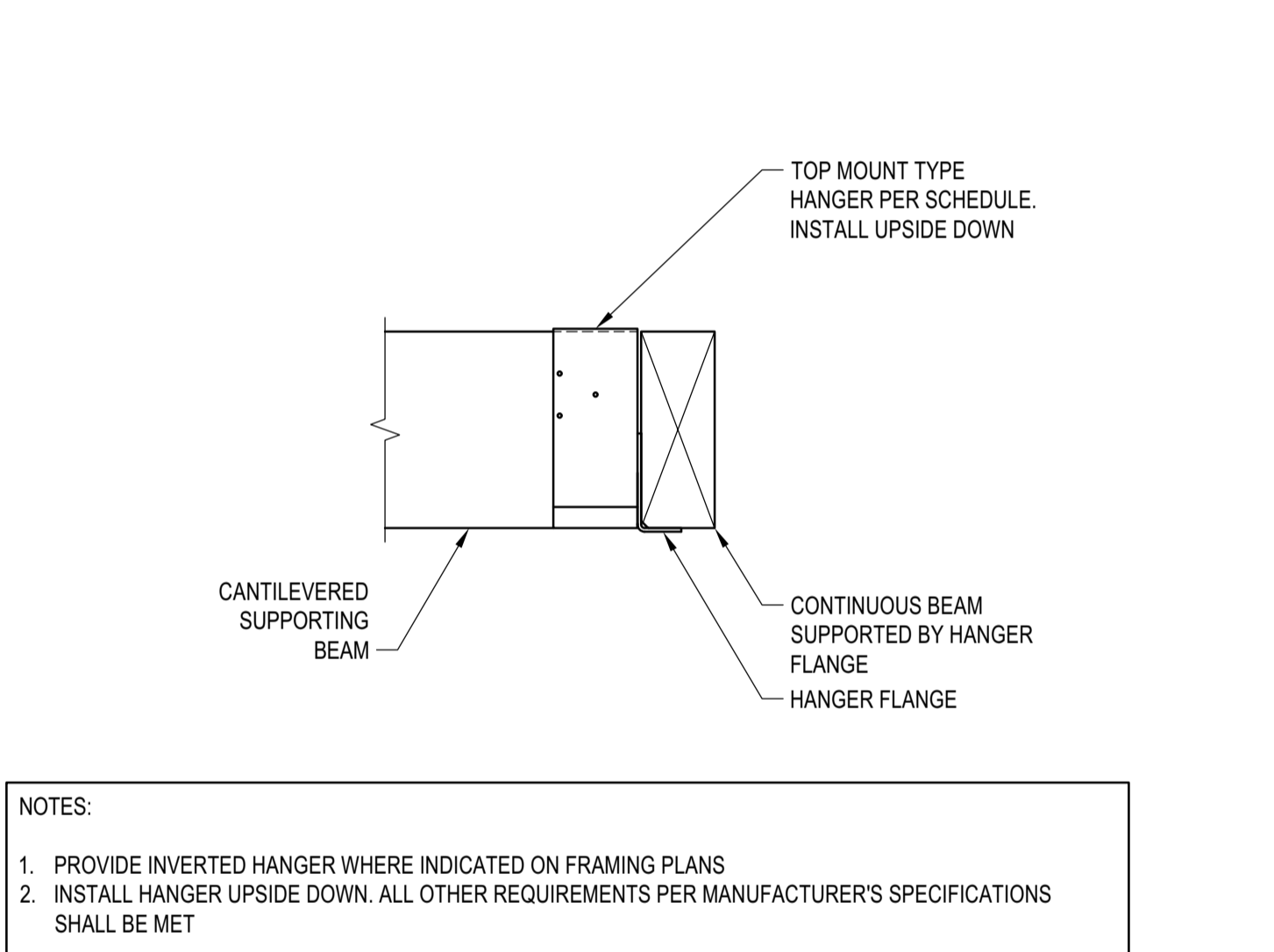
**I-JOIST CONSTRUCTION**  
 SCALE: N.T.S.



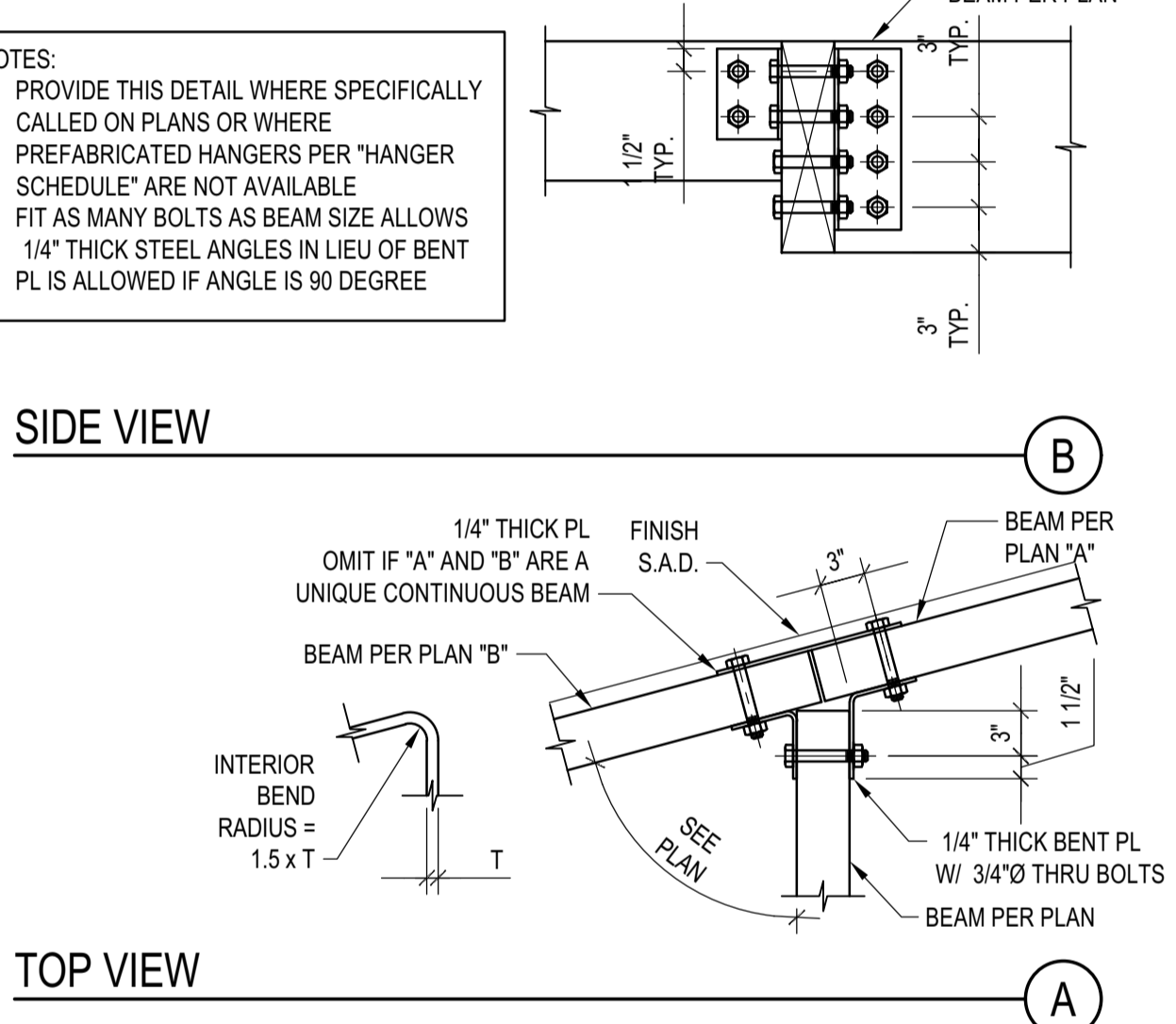
**TYP. TOP PLATES SPLICE DETAIL**  
 SCALE: N.T.S.



**BM TO POST FACE MOUNT CONN.**  
 SCALE: N.T.S.



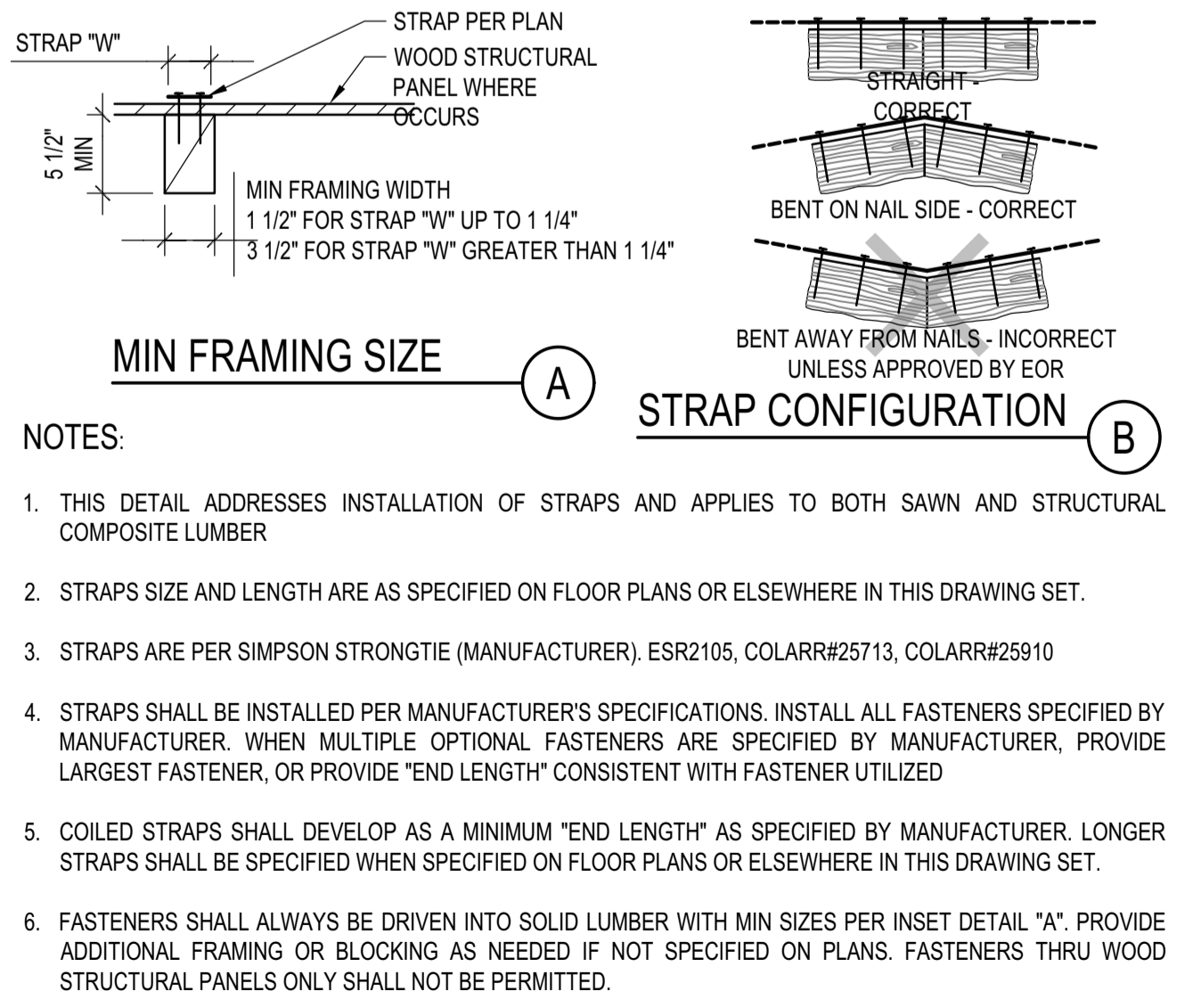
**INVERTED HANGER**  
 SCALE: N.T.S.



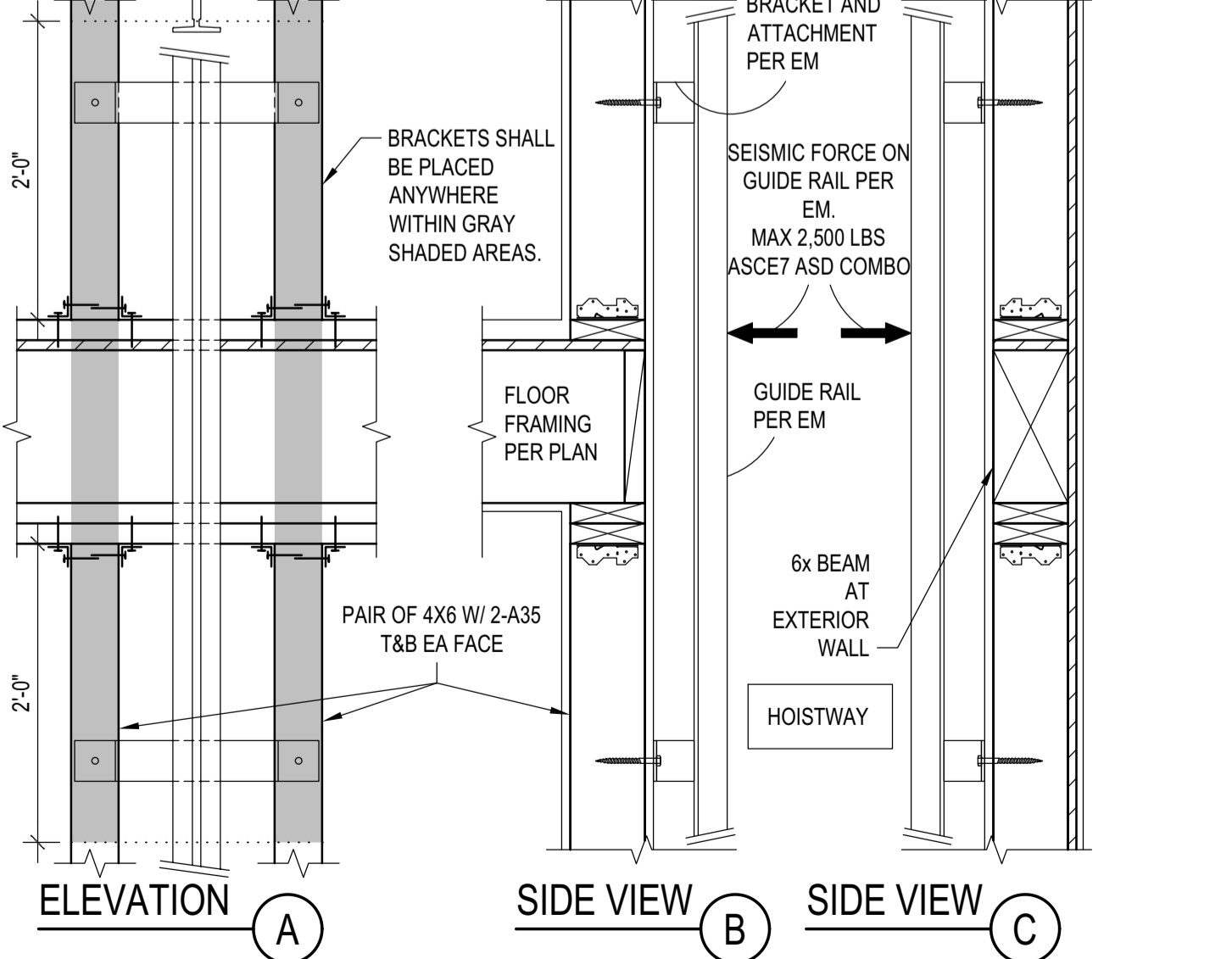
**CUSTOM WD BEAM "T" CONNECTION**  
 SCALE: N.T.S.

TJI JOIST SERIES	STIFFENER	"a"	"b"	NAILS	w	t
TJI 110	PS1 OR PS2 SHEATHING FACE GRAIN VERTICAL	1/8" MIN 2 3/4" MAX	1" MAX	3-8d	2 5/16" MIN	5/8" MIN
TJI 210	PS1 OR PS2 SHEATHING FACE GRAIN VERTICAL	1/8" MIN 2 3/4" MAX	1" MAX	3-8d	2 5/16" MIN	23/32" MIN
TJI 230/TJI 360	PS1 OR PS2 SHEATHING FACE GRAIN VERTICAL	1/8" MIN 2 3/4" MAX	1" MAX	3-8d	2 5/16" MIN	7/8" MIN
TJI 560	2x4 CONSTRUCTION GRADE OR BETTER	1/8" MIN 2 3/4" MAX	1 1/2" MAX	3-16d	3 1/2" MIN	1 1/2" MIN

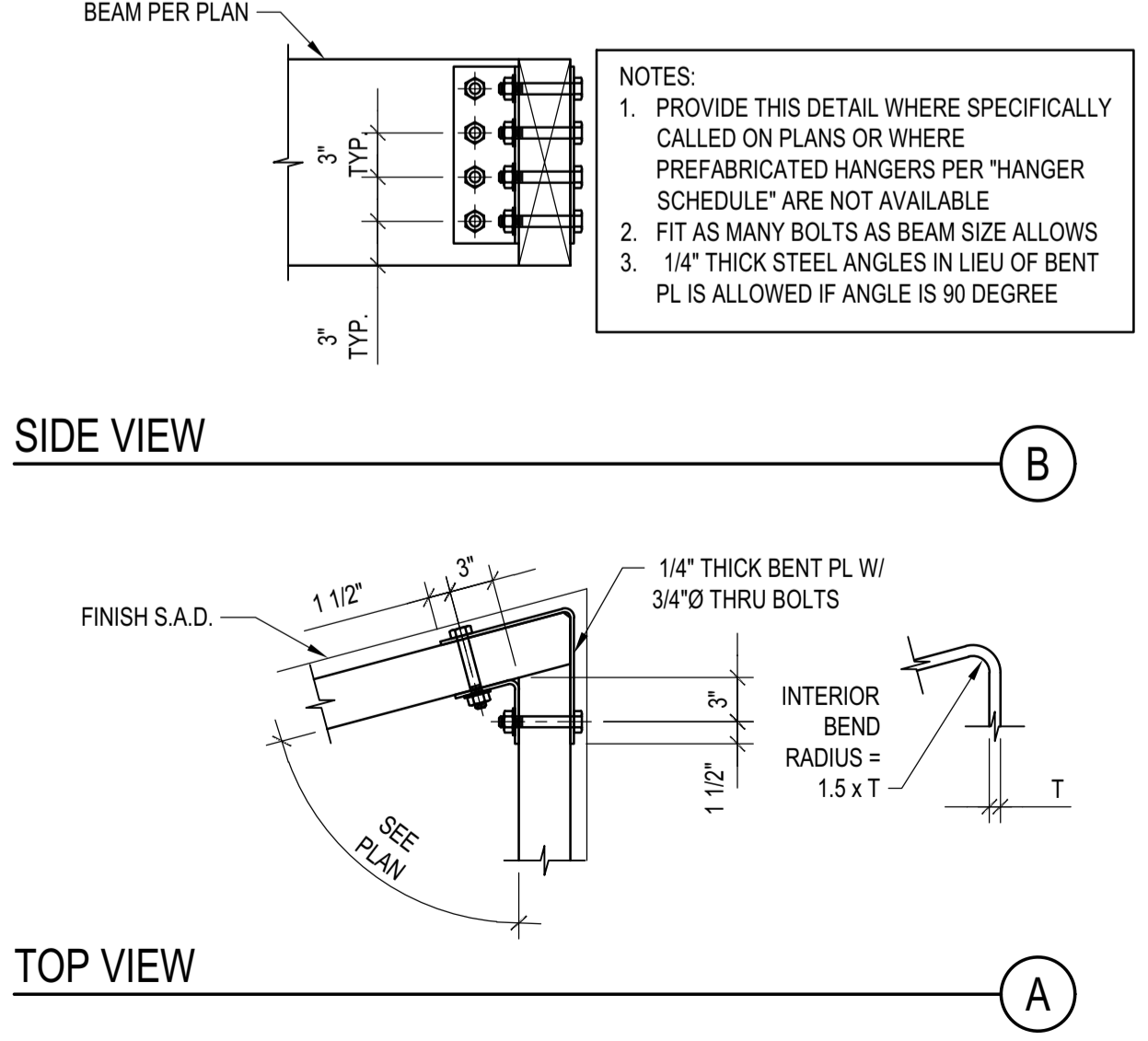
**I-JOIST STIFFENER**  
 SCALE: N.T.S.



**STRAP INSTALLATION**  
 SCALE: N.T.S.



**ELEVATOR VERTICAL SUPPORT**  
 SCALE: N.T.S.



**CUSTOM WD BEAM "L" CONNECTION**  
 SCALE: N.T.S.

**BADGER RESIDENCE**

OWNER:  
**121 BADGER LANE LLC**  
 P.O. BOX 14001-174  
 KETCHUM, ID 83340

PROJECT ARCHITECT:  
**RO J ROCKETT DESIGN**  
 1031 W. MANCHESTER BLVD, UNIT 6  
 INGLEWOOD, CA 90301  
 TEL: 213.784.0014

SURVEYOR & CIVIL ENGINEER:  
**GALENA ENGINEERING, INC.**  
 317 NORTH RIVER STREET  
 HAILEY, ID 83333  
 TEL: 208.788.1705

GEOTECHNICAL ENGINEER:  
**BUTLER ASSOCIATES, INC.**  
 P.O. BOX 1034  
 KETCHUM, ID 83340  
 TEL: 208.720.6432

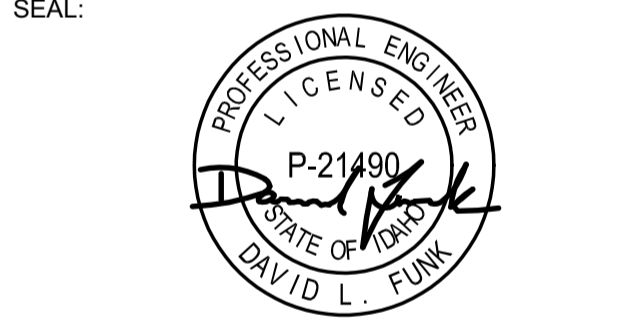
LANDSCAPE ARCHITECT:  
**BYLA**  
 323 LEWIS STREET, SUITE N  
 KETCHUM, ID 83340  
 TEL: 208.726.5907

STRUCTURAL ENGINEER:  
**LFA**  
 319 MAIN STREET  
 EL SEGUNDO, CA 90245  
 TEL: 213.239.9700  
 LFA Job #22791



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02/24/23 PC SUBMITTAL  
 NO DATE ISSUE

PROJECT:  
**BADGER RESIDENCE**  
 121 BADGER LANE  
 KETCHUM, ID 83340

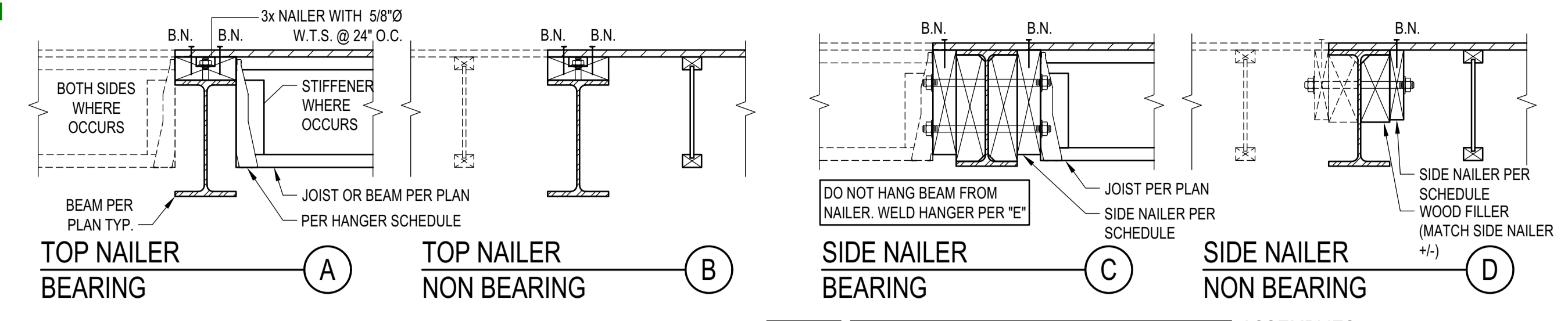
PROJECT NUMBER  
**#2201**  
 DRAWING TITLE:  
**TYPICAL DETAILS - WOOD**

DRAWING NUMBER:  
**S-033**



These plans have been found to be in substantial compliance with the adopted building codes. These documents are approved contingent on compliance with the mark-ups and notes applied. This is not approval of any code, ordinance, statute or regulation. Corrections will be required for code violations found during the inspection process.

BLD2303-00021  
06/26/23



NOTES:

1. DETAILS APPLIES TO BOTH I-JOIST AND SAW LUMBER. I-JOIST SHOWN.
2. PROVIDE TOP OR SIDE NAILER AS SPECIFIED ON THE PLANS OR CUSTOM DETAILS. IF NOT SPECIFIED, PROVIDE SIDE NAILER.
3. BLK'G, UNBLKD. HI LOAD DIAPHRAGM ARE SPECIFIED ON PLANS.
4. SEE "LEDGER/NAILER ANCHOR LAYOUT" FOR ANCHOR LAYOUT.

I. NON OCCUPIED ROOFS WITH MAX 1" GRAVEL AND WITHOUT GARDEN ROOF
II. THIS ASSEMBLY INCLUDES:
• NON OCCUPIED ROOFS WITH MORE THAN 1" AND UP TO 3" GRAVEL
• NON OCCUPIED GARDEN ROOF ASSEMBLIES UP TO 6"
• SINGLE FAMILY FLOORS AND DECKS
III. ALL CASES NOT COVERED IN I. OR II.

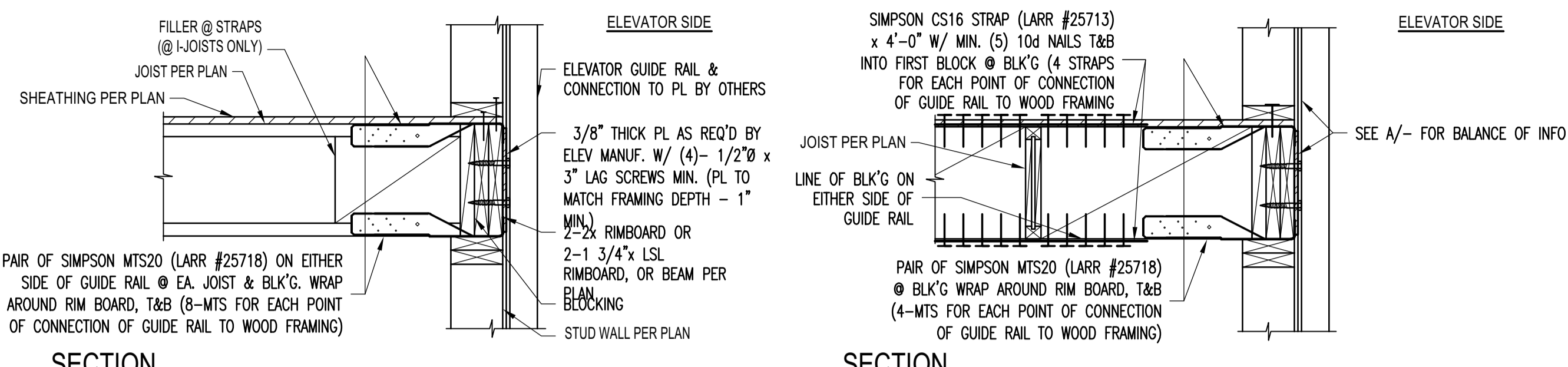
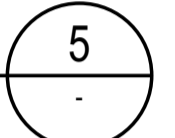
3x	2	3/4	12
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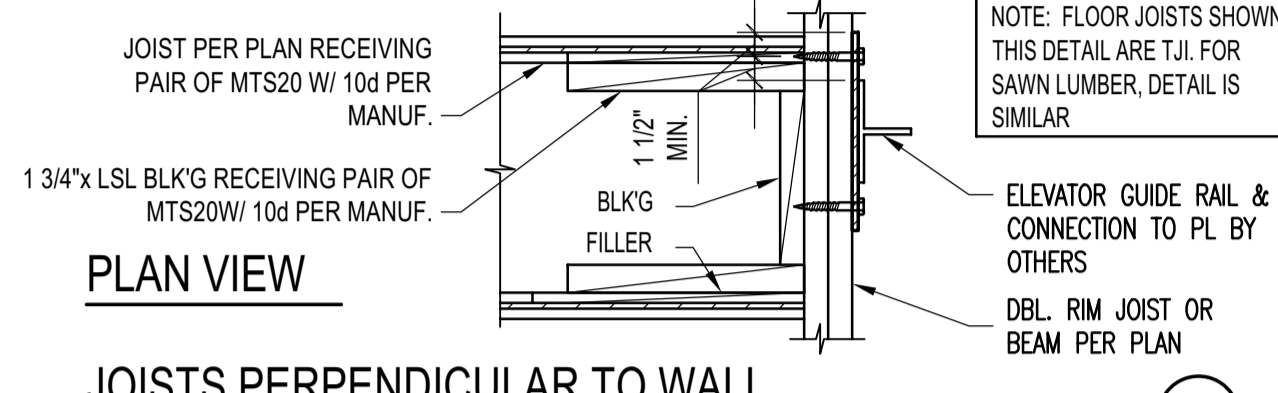
BLK'D/UNBLK'D	ASSEMBLY I.	ASSEMBLY II.	ASSEMBLY III.
HIGH LOAD	3x 1 5/8 24	3x 1 3/4 12	3x 2 3/4 16

STEEL BEAM IN WOOD FRAMING

SCALE: N.T.S.



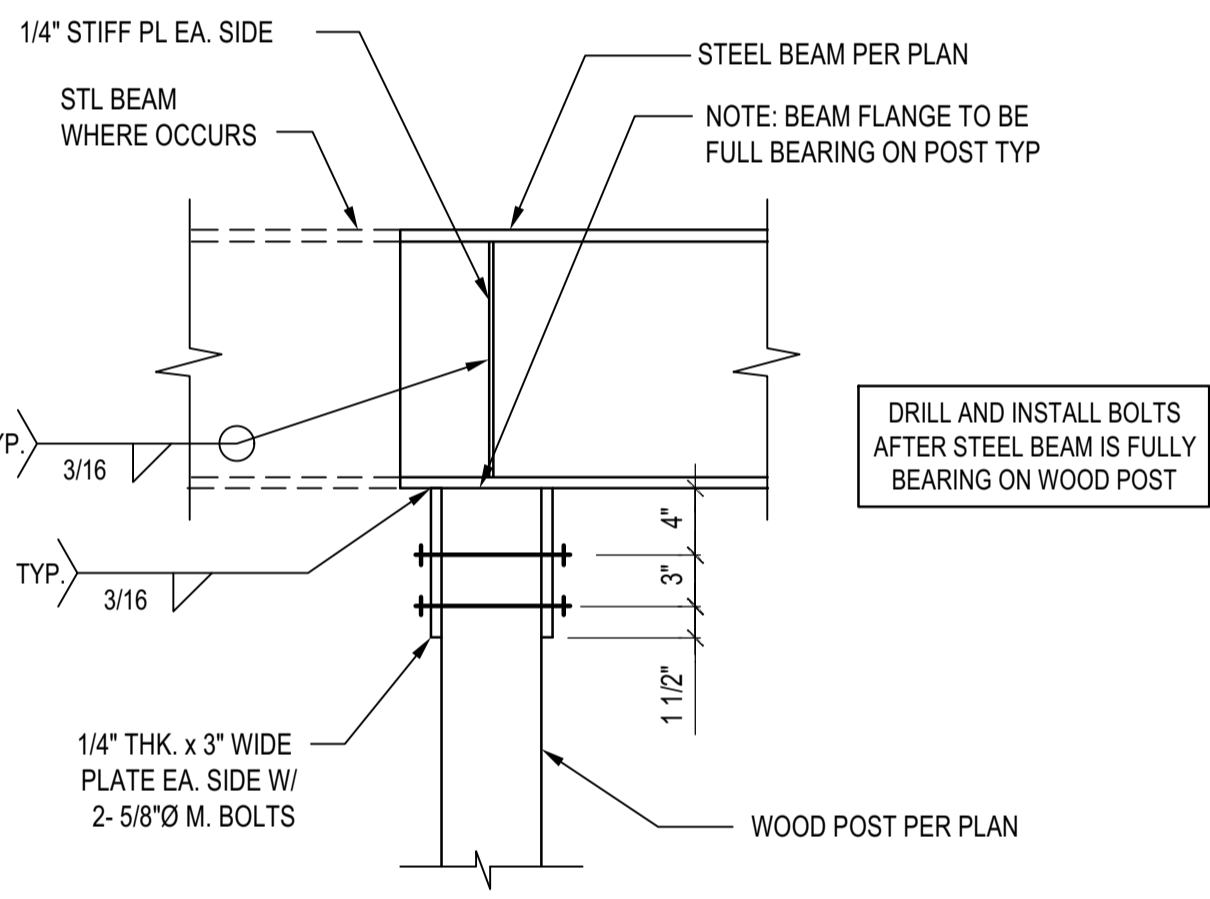
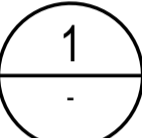
SECTION



JOISTS PERPENDICULAR TO WALL

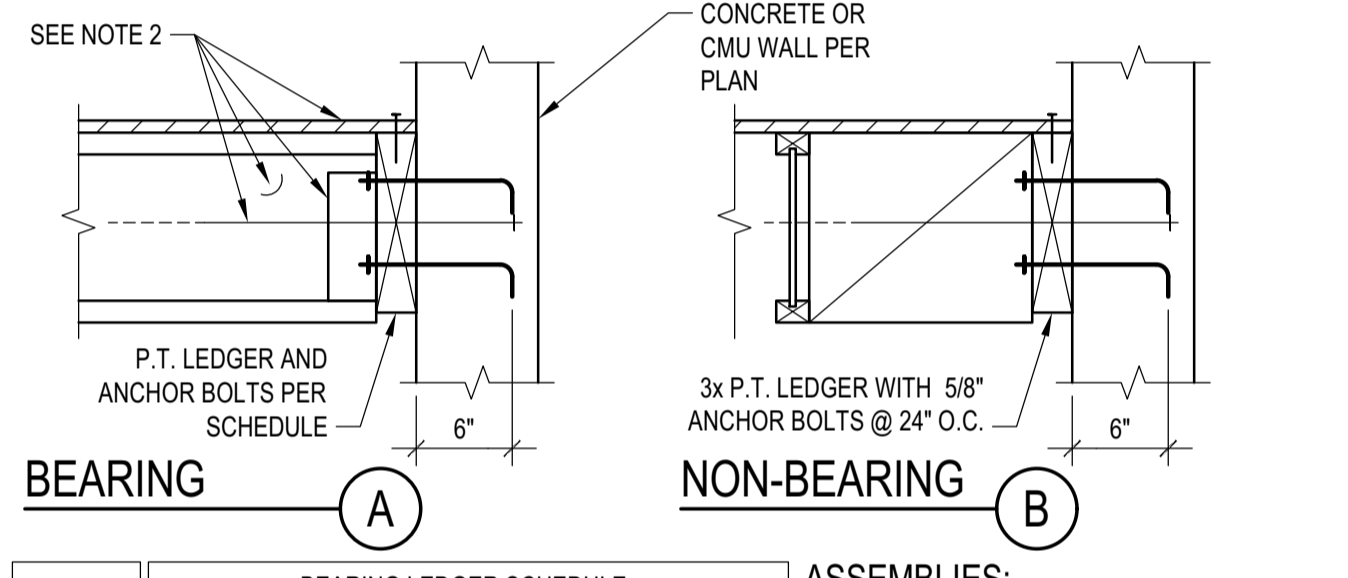
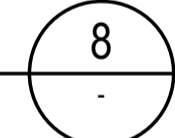
ELEVATOR GUIDE RAIL SUPPORT DETAIL

SCALE: N.T.S.



STL BEAM TO ISOLATED WOOD POST CONNECTION

SCALE: N.T.S.



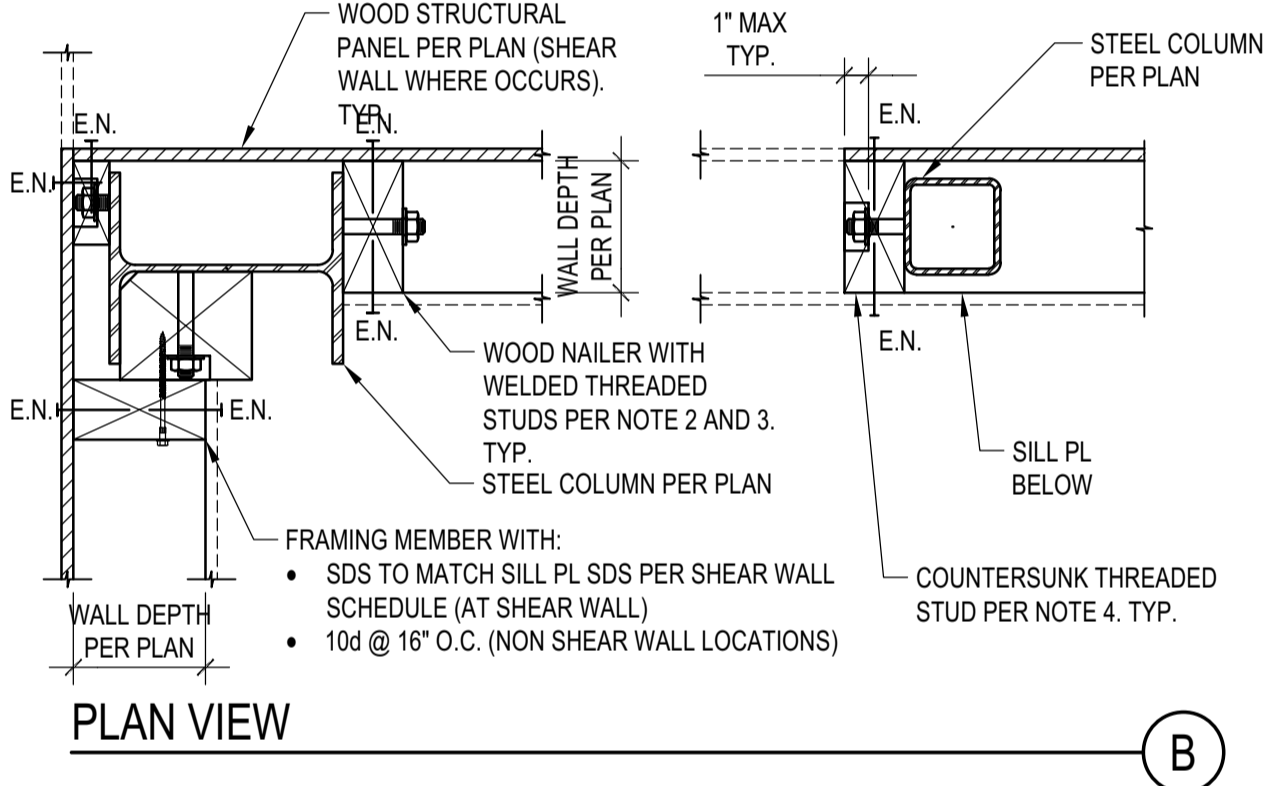
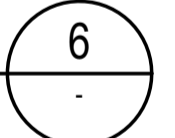
BEARING

NON-BEARING

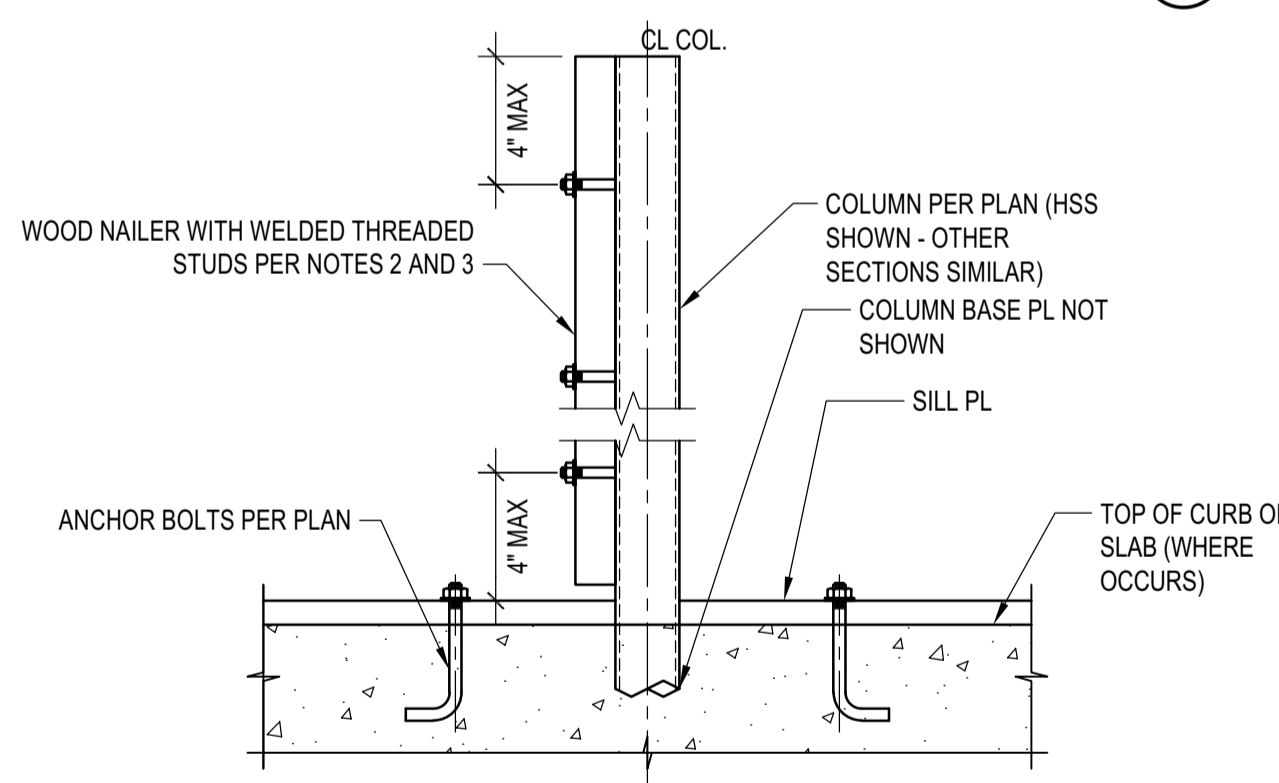
MAX JOIST SPAN	ASSEMBLY I.	ASSEMBLY II.	ASSEMBLY III.
12'-0"	3x 1 5/8 24	3x 1 3/4 16	3x 2 3/4 16
18'-0"	3x 1 5/8 16	3x 2 3/4 16	3x 3 3/4 16
24'-0"	3x 1 5/8 12	3x 3 3/4 16	3x 3 3/4 8
30'-0"	3x 1 5/8 12	3x 3 3/4 16	3x 2 3/4 8
36'-0"	3x 2 5/8 16	3x 3 3/4 16	3x 3 3/4 8

LEDGER TO CONCRETE/CMU WALL

SCALE: N.T.S.



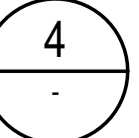
PLAN VIEW



ELEVATION

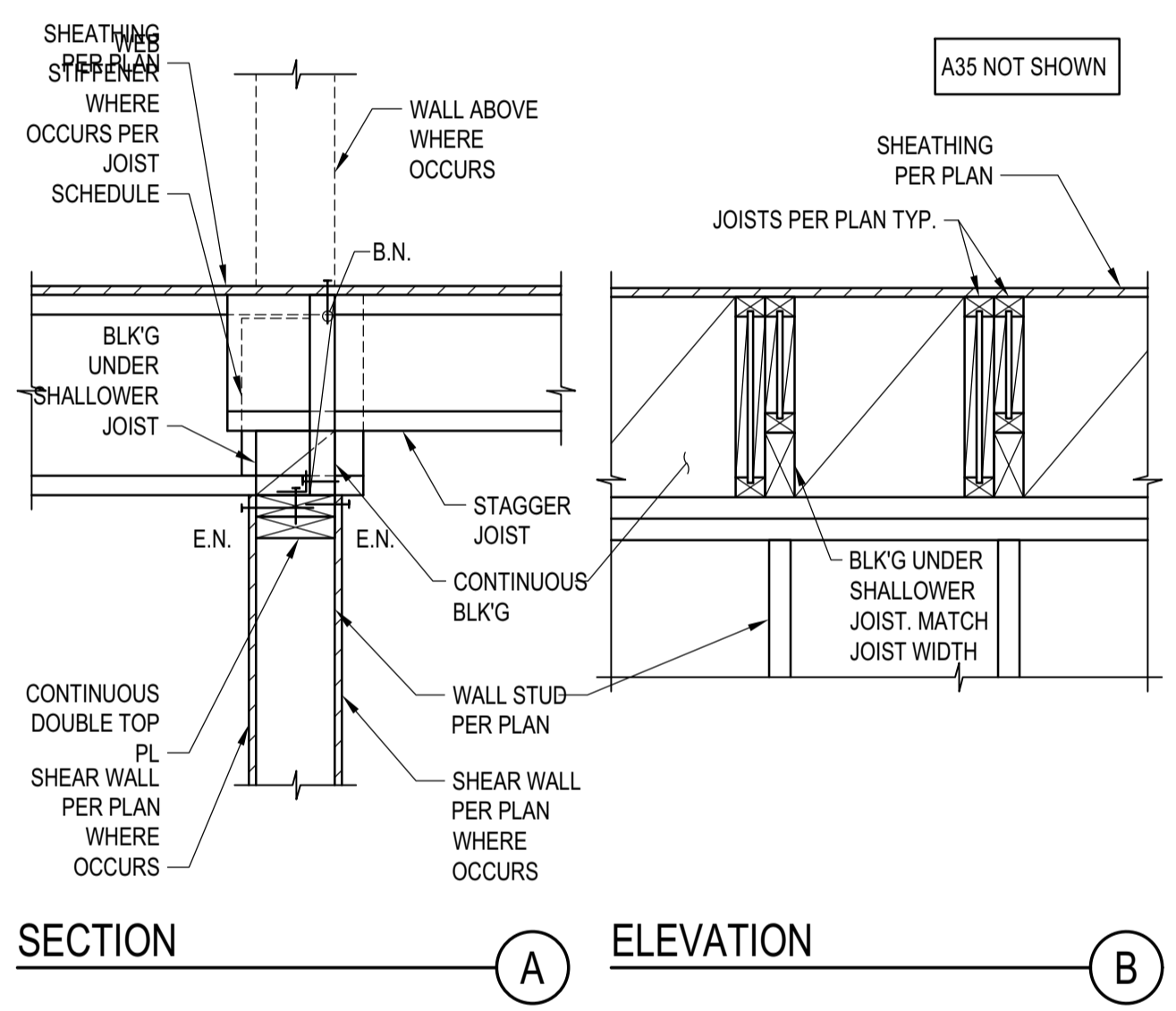
NOTES:

1. STEEL COLUMN SECTIONS: WIDE FLANGE AND HSS COLUMN SECTIONS ARE SHOWN. SIMILAR REQUIREMENTS FOR WOOD NAILERS SHALL APPLY FOR OTHER TYPES OF STEEL SECTIONS.
2. LOCATION OF WOOD NAILERS: PROVIDE WOOD NAILERS AT ALL LOCATIONS WHERE STEEL COLUMN OCCURS WITHIN SHEAR WALLS. FOR LOCATIONS OTHER THAN SHEAR WALLS PROVIDE WOOD NAILERS AS NEEDED FOR PROPER INSTALLATION OF FINISH MATERIALS.
3. WOOD NAILERS SIZE AND CONNECTION: WOOD NAILERS SHALL BE CONNECTED WITH 5/8" WELDED THREADED ANCHORS TO THE STEEL SECTIONS. SPACING AND NOMINAL THICKNESS OF WOOD NAILERS SHALL BE:
  - A. PER SHEAR WALL SCHEDULE WHERE WOOD NAILERS ARE CONNECTED TO A SHEAR WALL STRUCTURAL PANEL.
  - B. 2x MIN WOOD NAILER WITH THREADED ANCHORS @ 24" O.C. WHERE WOOD NAILERS DO NOT OCCUR WITHIN A SHEAR WALL.
4. COUNTERSINKING OF WELDED THREADED STUD NUT IN WOOD NAILERS SHALL BE PERMITTED AS FOLLOWS:
  - A. AT NAILERS CONNECTED TO SHEAR WALL STRUCTURAL PANELS COUNTERSINK ONLY IF NAILER IS 3x OR LARGER.
  - B. AT NAILERS NEEDED ONLY FOR INSTALLATION OF FINISH MATERIAL COUNTERSINKING SHALL BE ALLOWED AS NEEDED FOR PROPER INSTALLATION OF FINISH MATERIAL.



STEEL COLUMN IN STUD WALL

SCALE: N.T.S.

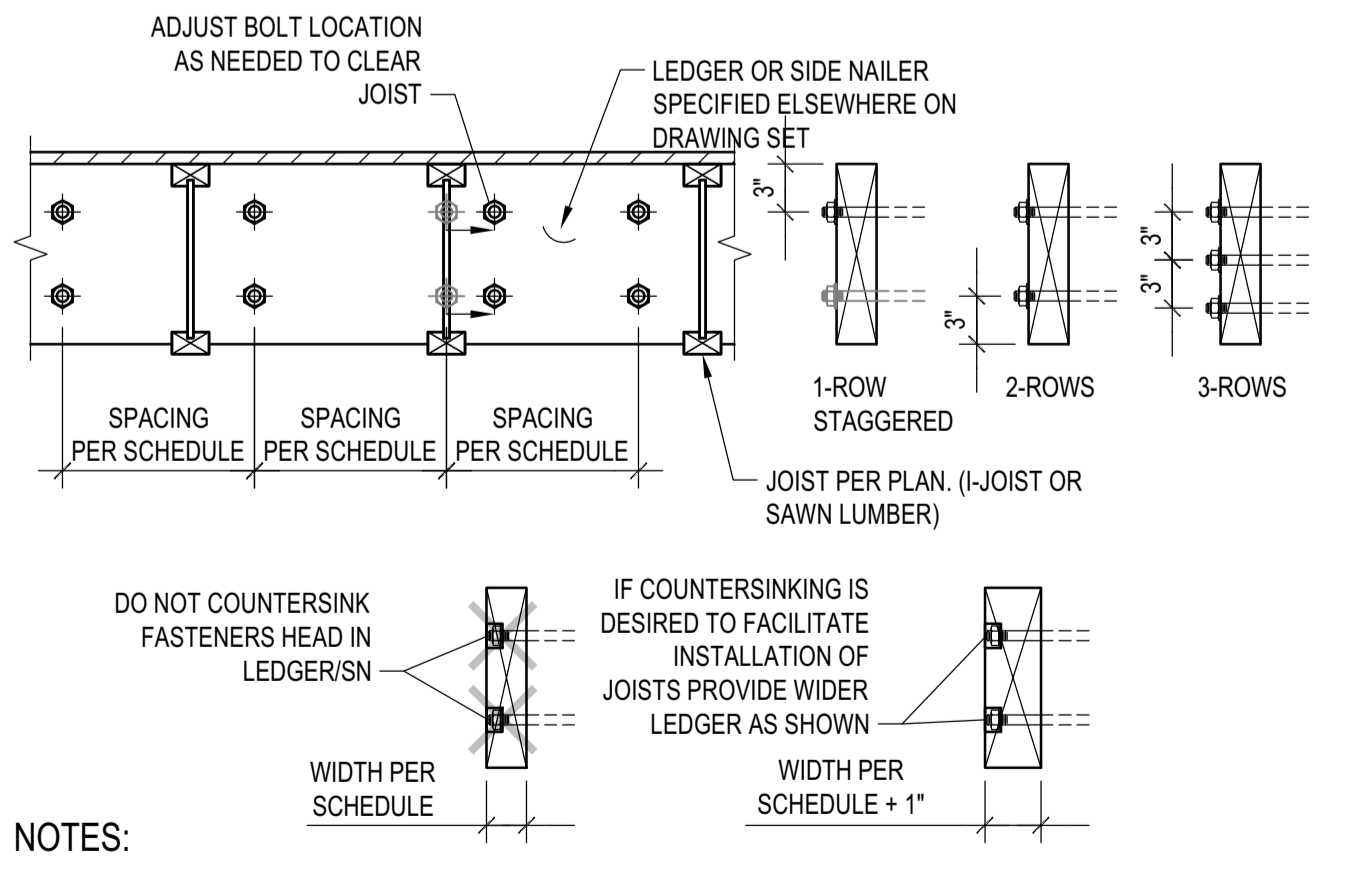
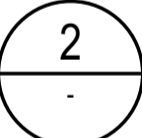


SECTION

ELEVATION

JOIST WITH DIFFERENT DEPTH

SCALE: N.T.S.

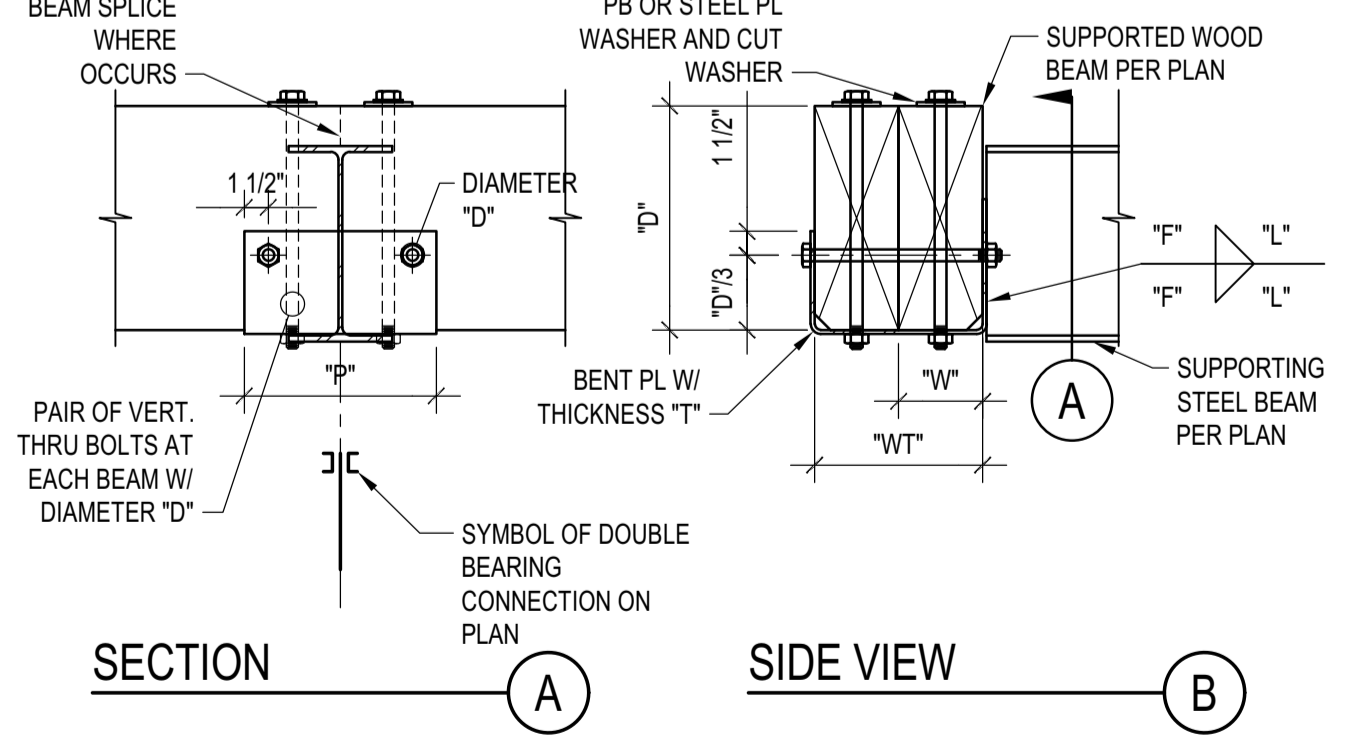
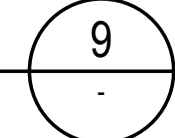


NOTES:

1. THIS DETAIL ADDRESSES LAYOUT OF ANCHOR BOLTS AND WELDED THREADED STUDS IN LEDGER AND SIDE NAILERS RESPECTIVELY. SIZE AND SPACING OF A.B. AND W.T.S. ARE PER SCHEDULES.
2. COORDINATE JOISTS LOCATION WITH FASTENER NUT. DO NOT COUNTERSINK LEDGER/SIDE NAILER. ALTERNATIVELY, PROVIDE 1" WIDER LEDGER/SIDE NAILER THAT WHAT SPECIFIED ON SCHEDULE AND PROVIDE COUNTERSUNK HOLES.
3. LEDGER DEPTH SHALL BE GREATER THAN JOIST DEPTH AND DEPTH NEEDED TO INSTALL FASTENERS.

LEDGER/NAILER ANCHOR LAYOUT

SCALE: N.T.S.



SECTION

SIDE VIEW

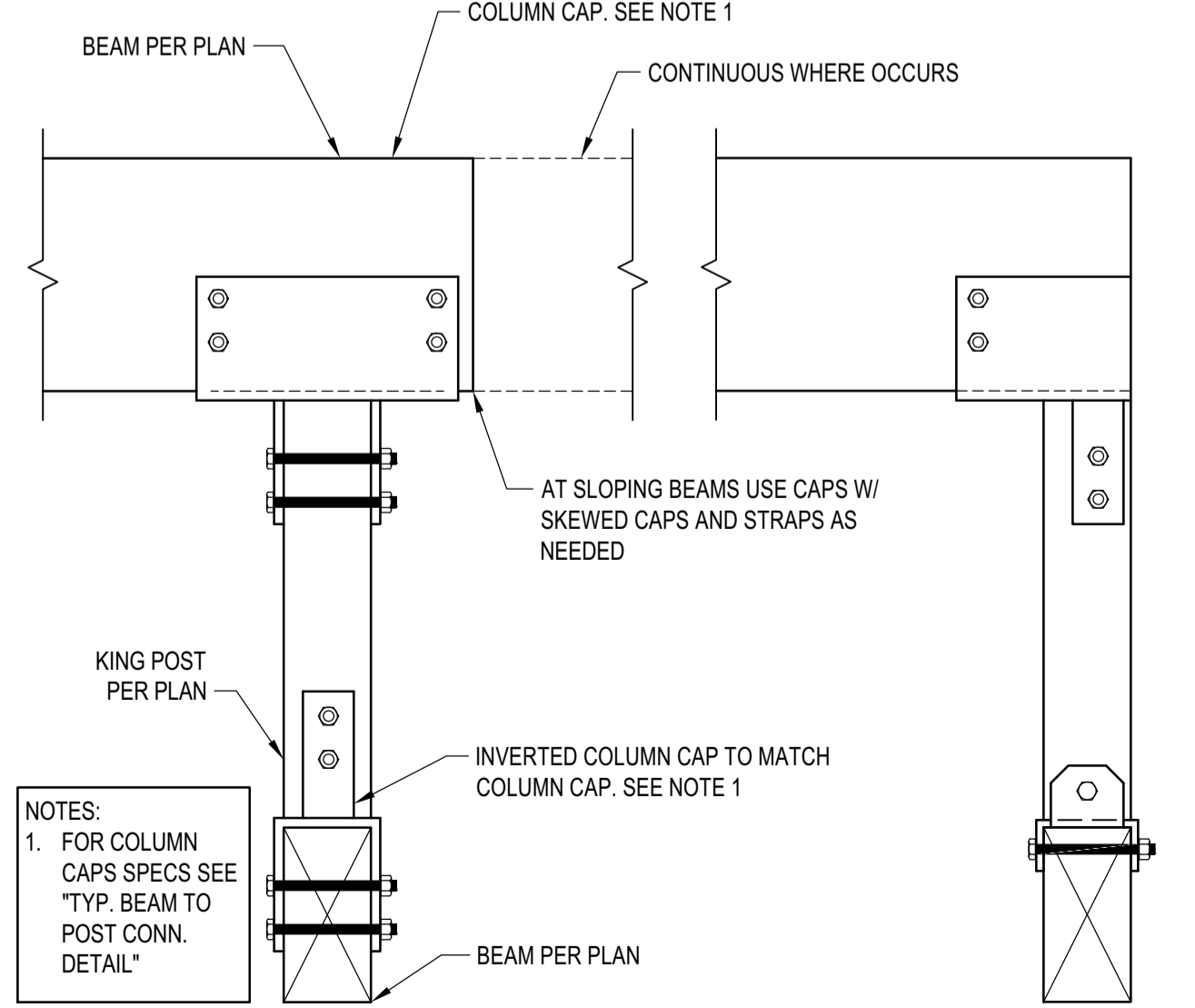
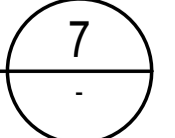
NOTES:

1. THIS DETAIL APPLIES WHERE SPECIFIED ON PLANS
2. THE DETAIL APPLIES TO SINGLE OR COMPOSITE BEAMS. WHERE SINGLE BEAMS ARE SPECIFIED, "WT" AND "W" COINCIDE.

WT	T	F	L	P	W	D
WT5	1/4	3/16	5	12	W3	1/2 1/2
7<WT5	3/8	1/4	7	14	3 1/2x3 1/2	5/8
WT>14	1/2	3/8	9	16	W>5	1/2 3/4

DOUBLE BEARING CONNECTION

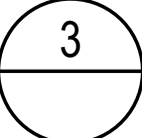
SCALE: N.T.S.



NOTES:  
1. FOR COLUMN CAPS SEE TYP. BEAM TO POST CONN. DETAIL"

TYP. KING POST DETAIL

SCALE: N.T.S.



BADGER RESIDENCE

OWNER:  
**121 BADGER LANE LLC**  
P.O. BOX 14001-174  
KETCHUM, ID 83340

PROJECT ARCHITECT:  
**ROCKETT DESIGN**  
1031 W. MANCHESTER BLVD, UNIT 6  
INGLEWOOD, CA 90301  
TEL: 213.784.0014

SURVEYOR & CIVIL ENGINEER:  
**GALENA ENGINEERING, INC.**  
317 NORTH RIVER STREET  
HAILEY, ID 83333  
TEL: 208.788.1705

GEOTECHNICAL ENGINEER:  
**BUTLER ASSOCIATES, INC.**  
P.O. BOX 1034  
KETCHUM, ID 83340  
TEL: 208.720.6432

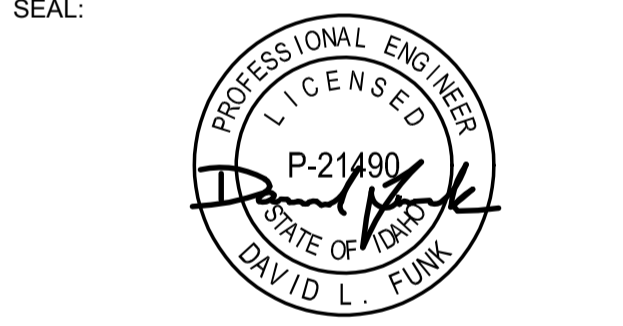
LANDSCAPE ARCHITECT:  
**BYLA**  
323 LEWIS STREET, SUITE N  
KETCHUM, ID 83340  
TEL: 208.726.5907

STRUCTURAL ENGINEER:  
**LFA**  
319 MAIN STREET  
EL SEGUNDO, CA 90245  
TEL: 213.239.9700  
LFA Job #22791



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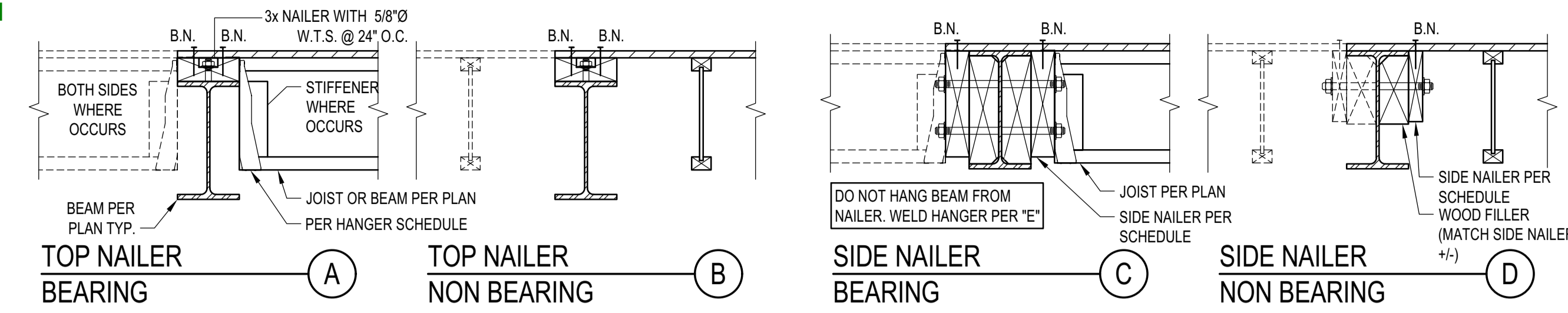
02/24/23 PC SUBMITTAL  
NO DATE ISSUE

PROJECT:  
**BADGER RESIDENCE**  
121 BADGER LANE  
KETCHUM, ID 83340

PROJECT NUMBER  
**#2201**

DRAWING TITLE:  
**TYPICAL DETAILS - WOOD**

DRAWING NUMBER:  
**S-034**



**NOTES:**

- DETAILS APPLIES TO BOTH I-JOIST AND SAWN LUMBER. I-JOIST SHOWN.
- PROVIDE TOP OR SIDE NAILER AS SPECIFIED ON THE PLANS OR CUSTOM DETAILS. IF NOT SPECIFIED, PROVIDE SIDE NAILER.
- BLK'G, UNBLKD. HI LOAD DIAPHRAGM ARE SPECIFIED ON PLANS
- SEE "LEDGER/NAILER ANCHOR LAYOUT" FOR ANCHOR LAYOUT

MAX JOIST SPAN	SIDE NAILER - BEARING		
	ASSEMBLY I.	ASSEMBLY II.	ASSEMBLY III.
12'-0"	3x 1 5/8 24	3x 1 3/4 12	3x 2 3/4 16
18'-0"	3x 1 5/8 16	3x 2 3/4 16	3x 3 3/4 16
24'-0"	3x 1 5/8 12	3x 2 3/4 12	3x 2 3/4 8
30'-0"	3x 2 5/8 16	3x 3 3/4 16	3x 3 3/4 8
36'-0"	3x 2 5/8 16	3x 2 3/4 8	3x 3 3/4 8

DIAPHRAGM TYPE	SIDE NAILER	
	BLK'D/UNBLK'D <sup>(1)</sup>	DEPTH TO MATCH STEEL BEAM DEPTH, BUT NEEDS NOT EXCEED 8" NOMINAL
HIGH LOAD <sup>(2)</sup>	3x 1 5/8 24	3x 1 3/4 12

**ASSEMBLIES:**

- NON OCCUPIED ROOFS WITH MAX 1" GRAVEL AND WITHOUT GARDEN ROOF
- THIS ASSEMBLY INCLUDES:
  - NON OCCUPIED ROOFS WITH MORE THAN 1" AND UP TO 3" GRAVEL
  - NON OCCUPIED GARDEN ROOF ASSEMBLIES UP TO 6"
  - SINGLE FAMILY FLOORS AND DECKS
- ALL CASES NOT COVERED IN I. OR II.

**SCHEDULE LEGEND**

3x	2	3/4	12
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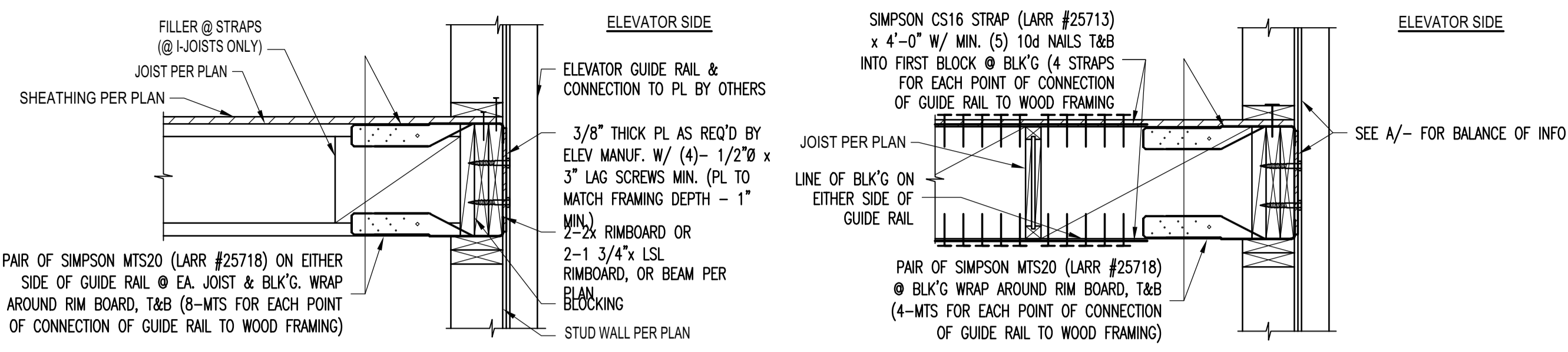
**FASTENER SPACING**

SIDE NAILER  
 ROWS OF FASTENERS  
 FASTENER DIAMETER  
 FASTENER SPACING

**STEEL BEAM IN WOOD FRAMING**

SCALE: N.T.S.

5



**SECTION**

**PLAN VIEW**

**JOISTS PERPENDICULAR TO WALL**

**JOISTS PARALLEL TO WALL**

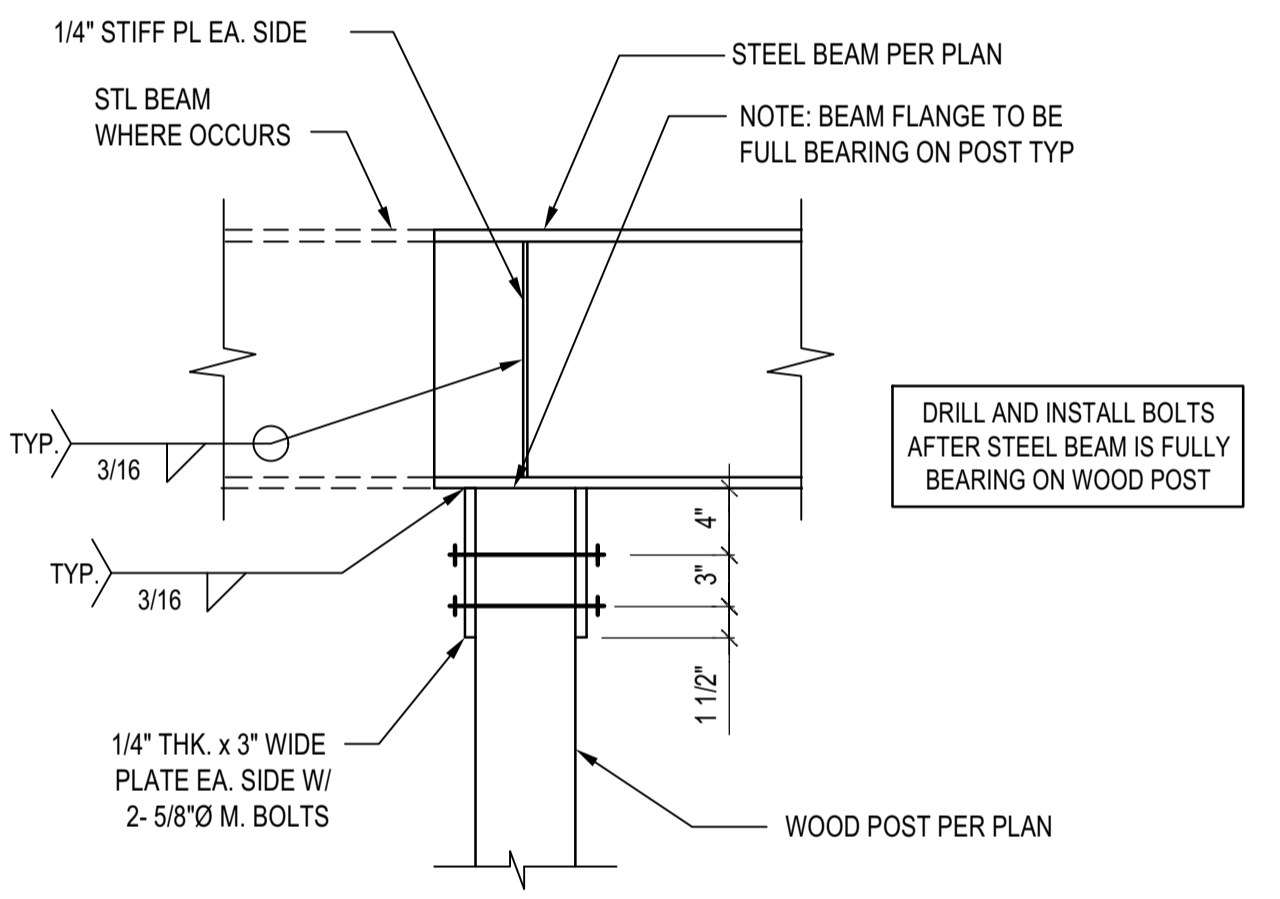
**NOTES:**

- DETAILS APPLIES TO BOTH I-JOIST AND SAWN LUMBER. I-JOIST SHOWN.
- PROVIDE TOP OR SIDE NAILER AS SPECIFIED ON THE PLANS OR CUSTOM DETAILS. IF NOT SPECIFIED, PROVIDE SIDE NAILER.
- BLK'G, UNBLKD. HI LOAD DIAPHRAGM ARE SPECIFIED ON PLANS
- SEE "LEDGER/NAILER ANCHOR LAYOUT" FOR ANCHOR LAYOUT

**ELEVATOR GUIDE RAIL SUPPORT DETAIL**

SCALE: N.T.S.

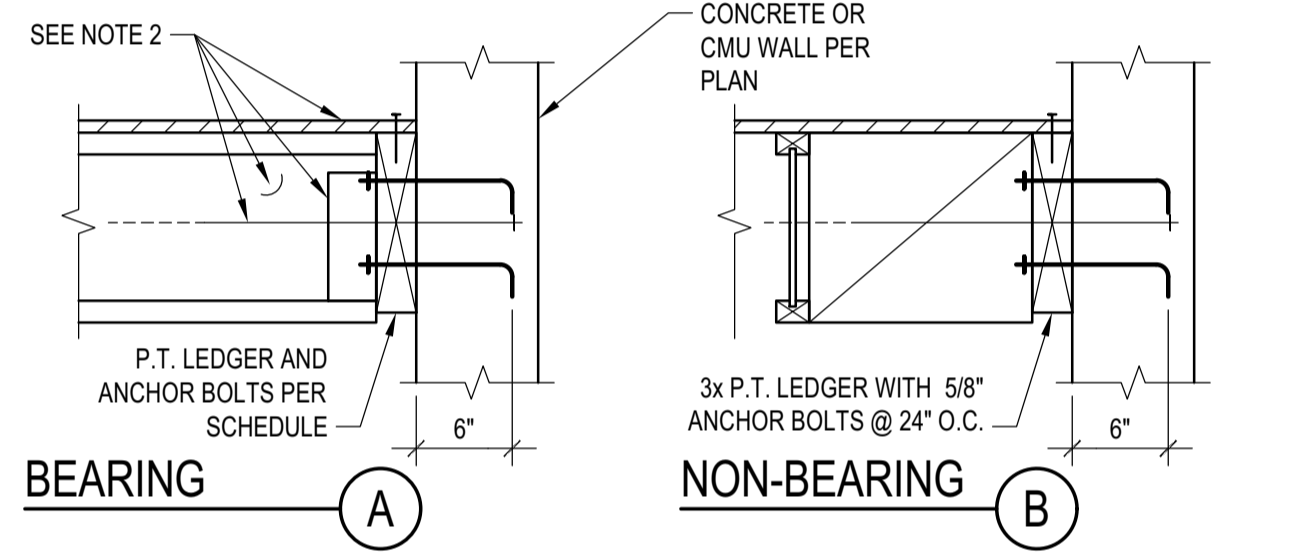
1



**STL BEAM TO ISOLATED WOOD POST CONNECTION**

SCALE: N.T.S.

8



MAX JOIST SPAN	BEARING LEDGER SCHEDULE		
	ASSEMBLY I.	ASSEMBLY II.	ASSEMBLY III.
12'-0"	3x 1 5/8 24	3x 1 3/4 16	3x 2 3/4 16
18'-0"	3x 1 5/8 16	3x 2 3/4 16	3x 3 3/4 16
24'-0"	3x 1 5/8 12	3x 2 3/4 12	3x 2 3/4 8
30'-0"	3x 2 5/8 16	3x 3 3/4 16	3x 3 3/4 8
36'-0"	3x 2 5/8 16	3x 3 3/4 8	3x 3 3/4 8

**ASSEMBLIES:**

- NON OCCUPIED ROOFS WITH MAX 1" GRAVEL AND WITHOUT GARDEN ROOF
- THIS ASSEMBLY INCLUDES:
  - NON OCCUPIED ROOFS WITH MORE THAN 1" AND UP TO 3" GRAVEL
  - NON OCCUPIED GARDEN ROOF ASSEMBLIES UP TO 6"
  - SINGLE FAMILY FLOORS AND DECKS
- ALL CASES NOT COVERED IN I. OR II.

**SCHEDULE LEGEND**

3x	2	3/4	12
----	---	-----	----

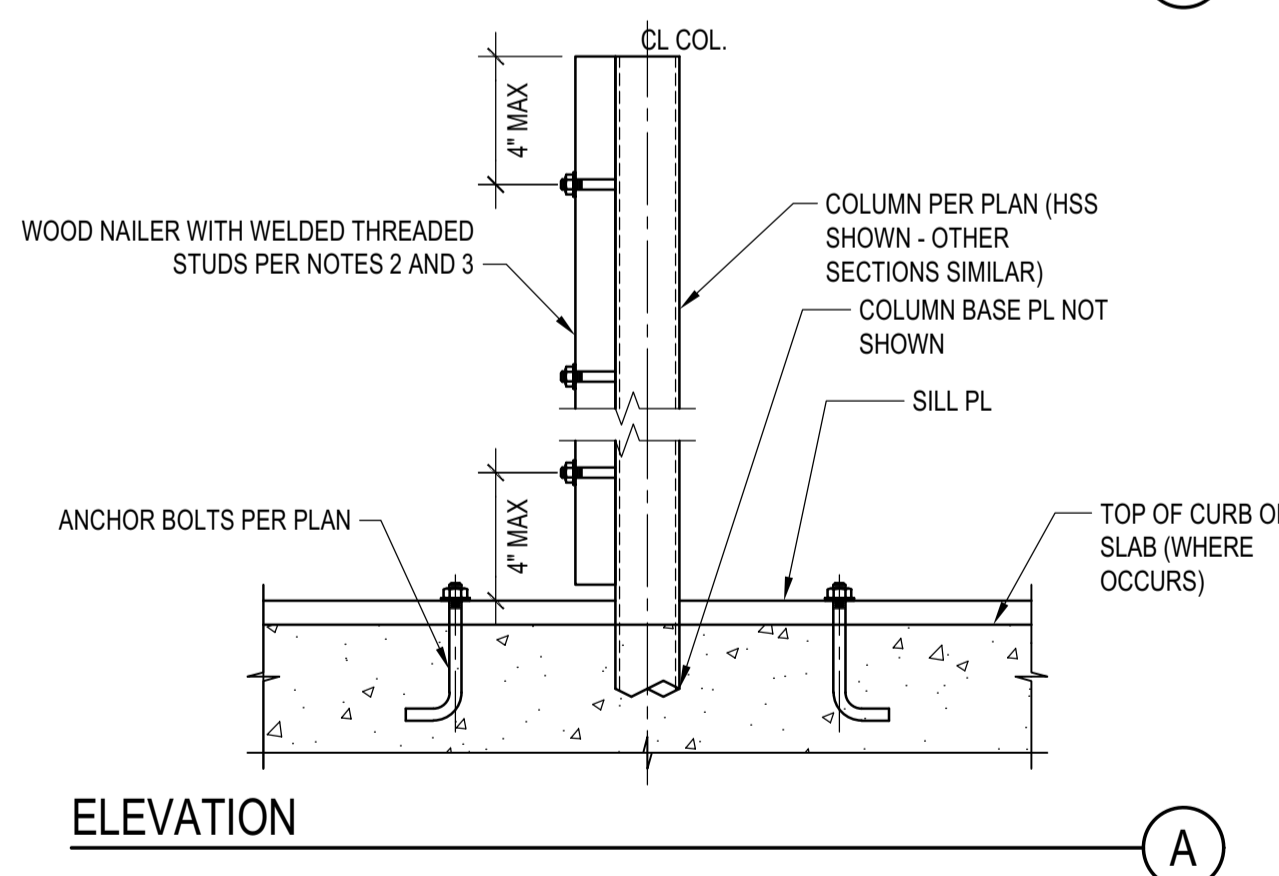
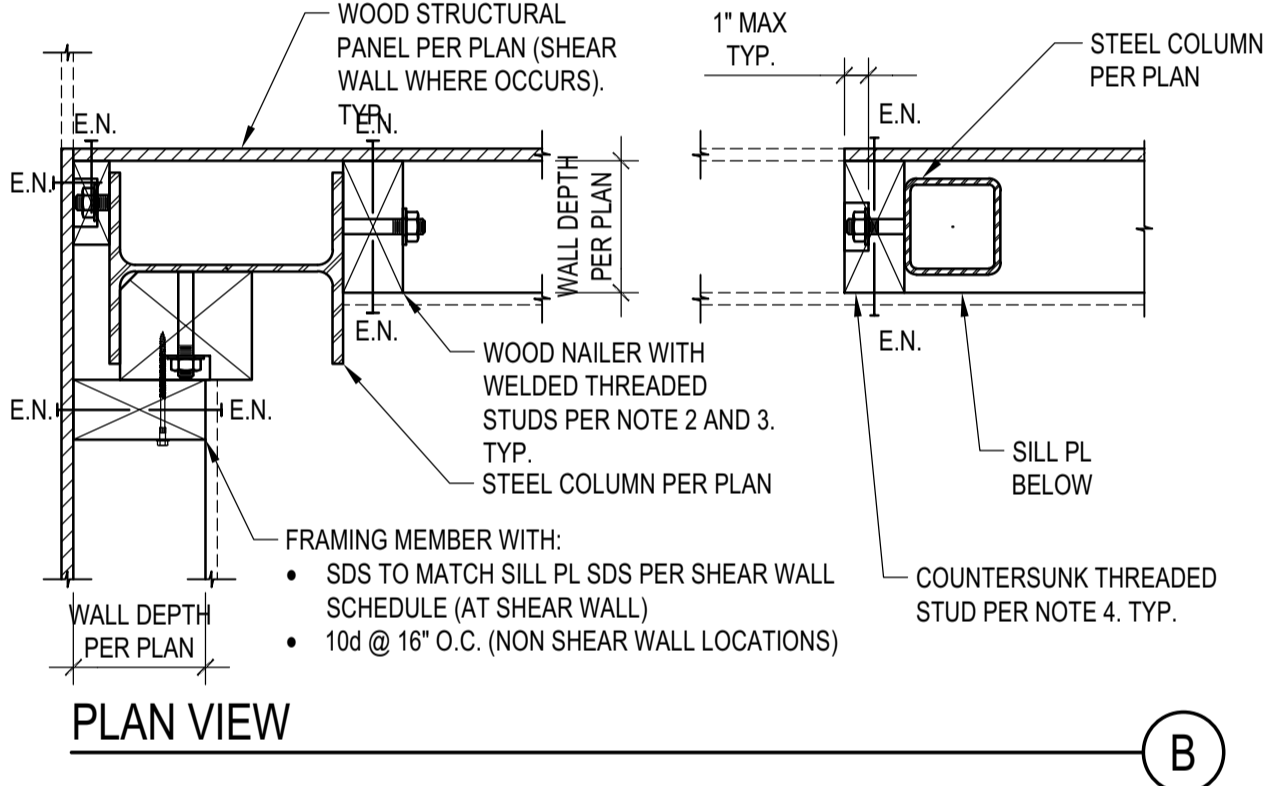
**FASTENER SPACING**

LEDGER  
 FASTENER DIAMETER  
 FASTENER SPACING

**LEDGER TO CONCRETE/CMU WALL**

SCALE: N.T.S.

6



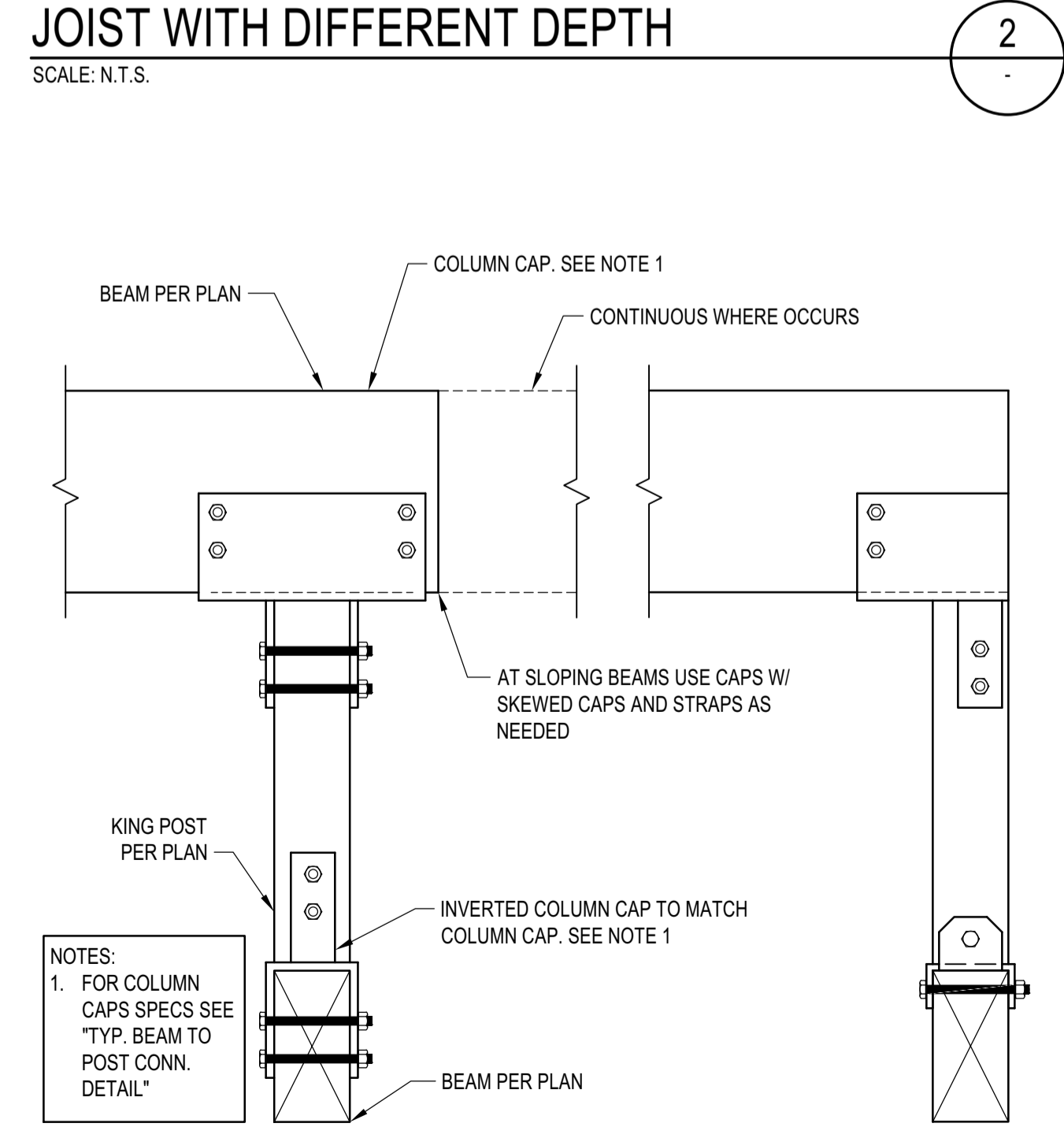
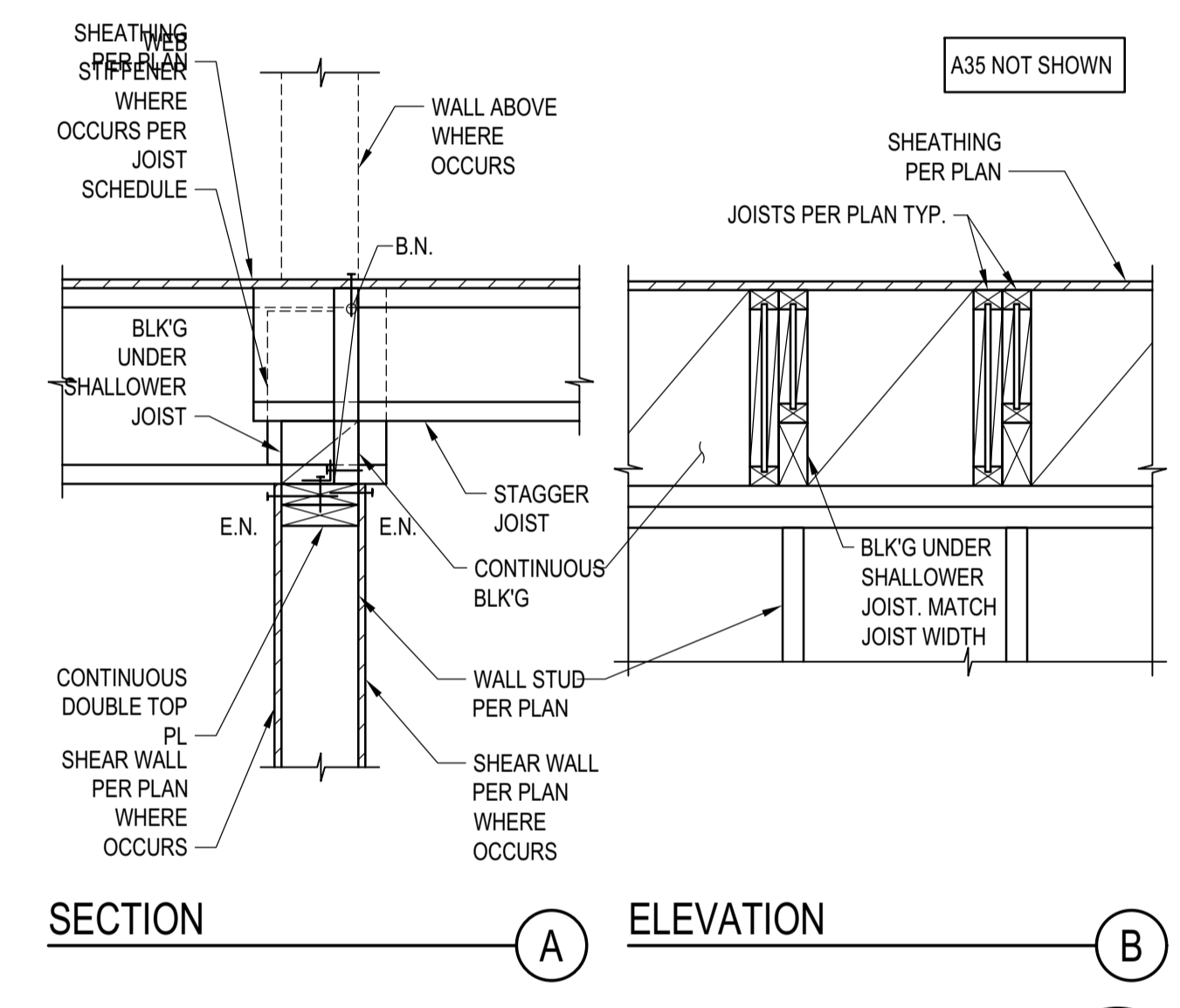
**NOTES:**

- STEEL COLUMN SECTIONS: WIDE FLANGE AND HSS COLUMN SECTIONS ARE SHOWN. SIMILAR REQUIREMENTS FOR WOOD NAILERS SHALL APPLY FOR OTHER TYPES OF STEEL SECTIONS.
- LOCATION OF WOOD NAILERS: PROVIDE WOOD NAILERS AT ALL LOCATIONS WHERE STEEL COLUMN OCCURS WITHIN SHEAR WALLS. FOR LOCATIONS OTHER THAN SHEAR WALLS PROVIDE WOOD NAILERS AS NEEDED FOR PROPER INSTALLATION OF FINISH MATERIALS.
- WOOD NAILERS SIZE AND CONNECTION: WOOD NAILERS SHALL BE CONNECTED WITH 5/8" WELDED THREADED ANCHORS TO THE STEEL SECTIONS. SPACING AND NOMINAL THICKNESS OF WOOD NAILERS SHALL BE:
  - A. PER SHEAR WALL SCHEDULE WHERE WOOD NAILERS ARE CONNECTED TO A SHEAR WALL STRUCTURAL PANEL
  - B. 2x MIN WOOD NAILER WITH THREADED ANCHORS @ 24" O.C. WHERE WOOD NAILERS DO NOT OCCUR WITHIN A SHEAR WALL
- COUNTERSINKING OF WELDED THREADED STUD NUT IN WOOD NAILERS SHALL BE PERMITTED AS FOLLOWS:
  - A. AT NAILERS CONNECTED TO SHEAR WALL STRUCTURAL PANELS COUNTERSINK ONLY IF NAILER IS 3x OR LARGER
  - B. AT NAILERS NEEDED ONLY FOR INSTALLATION OF FINISH MATERIAL COUNTERSINKING SHALL BE ALLOWED AS NEEDED FOR PROPER INSTALLATION OF FINISH MATERIAL

**STEEL COLUMN IN STUD WALL**

SCALE: N.T.S.

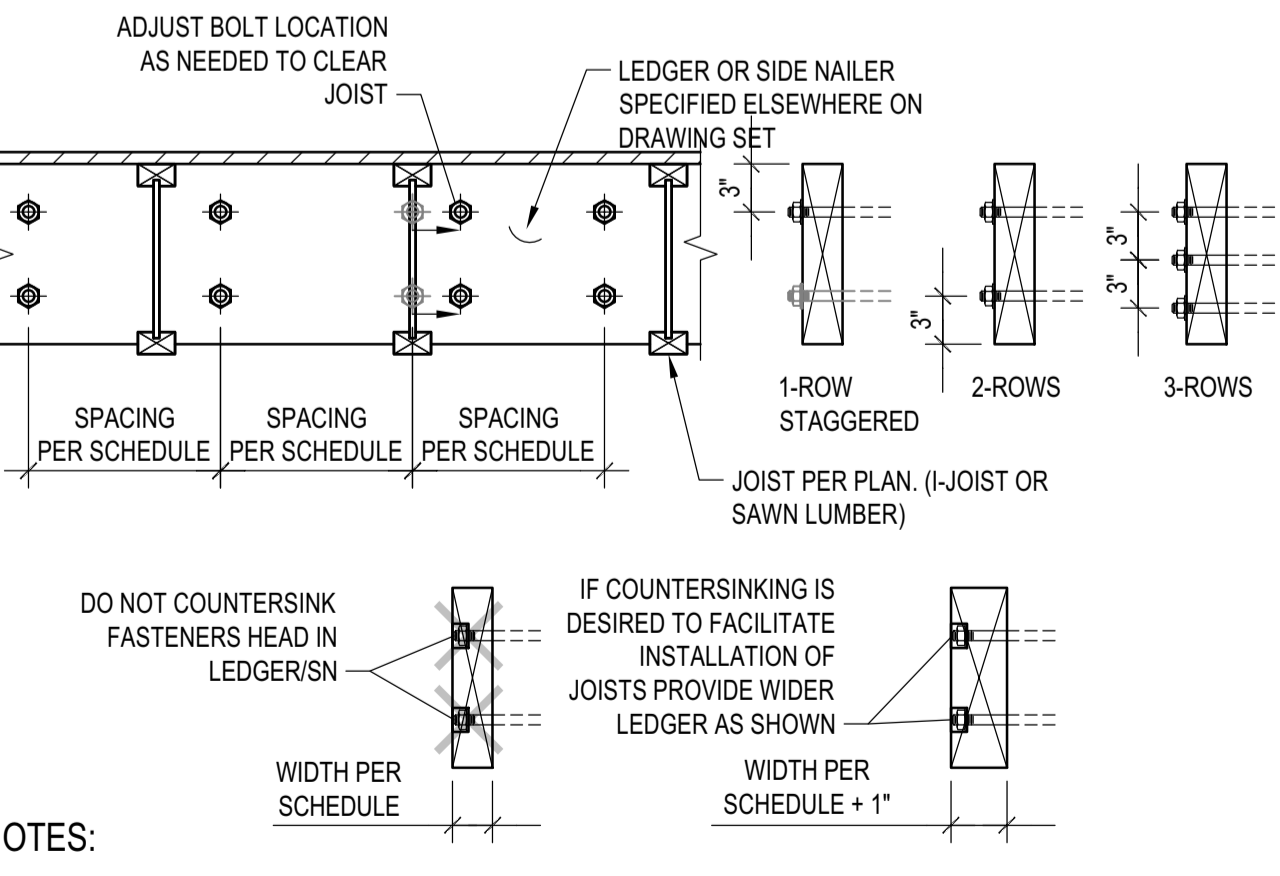
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**TYP. KING POST DETAIL**

SCALE: N.T.S.

3



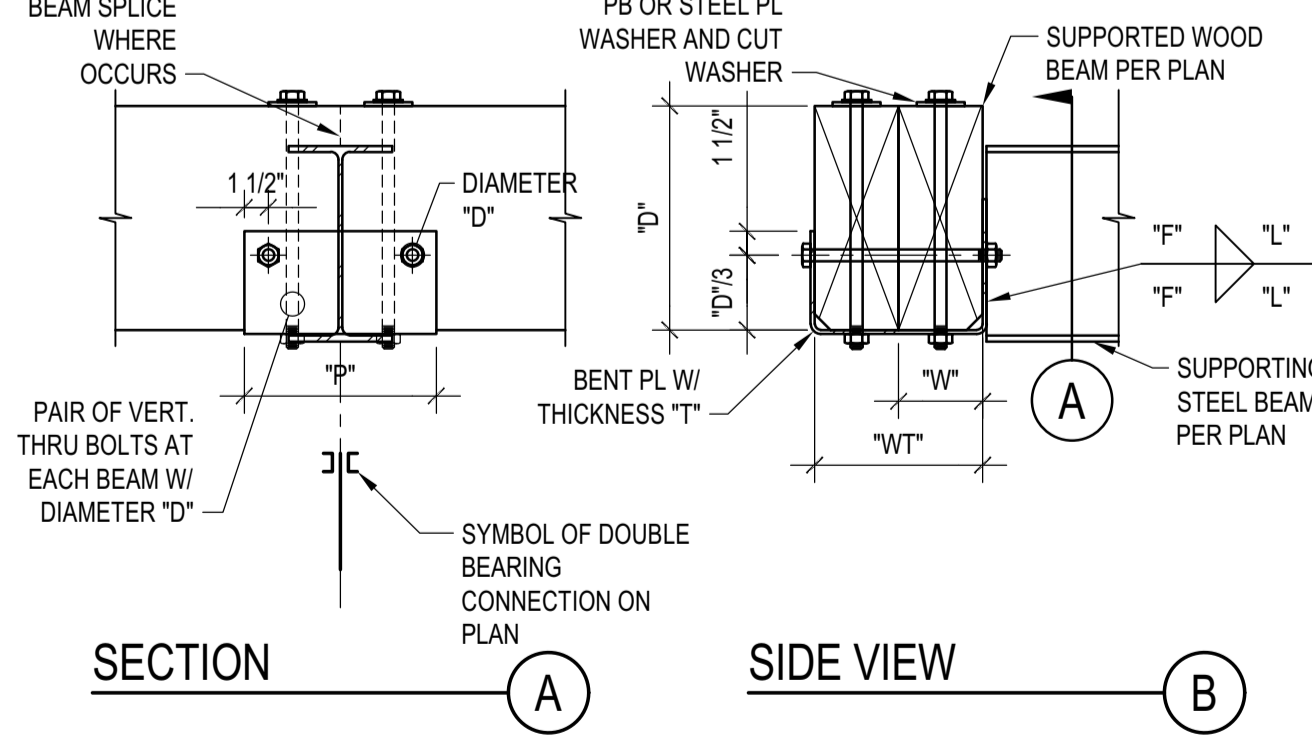
**NOTES:**

- THIS DETAIL ADDRESSES LAYOUT OF ANCHOR BOLTS AND WELDED THREADED STUDS IN LEDGER AND SIDE NAILERS RESPECTIVELY. SIZE AND SPACING OF A.B. AND W.T.S. ARE PER SCHEDULES.
- COORDINATE JOISTS LOCATION WITH FASTENER NUT. DO NOT COUNTERSINK LEDGER/SIDE NAILER. ALTERNATIVELY, PROVIDE 1" WIDER LEDGER/SIDE NAILER THAT WHAT SPECIFIED ON SCHEDULE AND PROVIDE COUNTERSUNK HOLES.
- LEDGER DEPTH SHALL BE GREATER THAN JOIST DEPTH AND DEPTH NEEDED TO INSTALL FASTENERS.

**LEDGER/NAILER ANCHOR LAYOUT**

SCALE: N.T.S.

9



**NOTES:**

- THIS DETAIL APPLIES WHERE SPECIFIED ON PLANS
- THE DETAIL APPLIES TO SINGLE OR COMPOSITE BEAMS. WHERE SINGLE BEAMS ARE SPECIFIED, "WT" AND "W" COINCIDE.

SCHEDULE (INCHES)						
WT	T	F	L	P	W	D
WT5	1/4	3/16	5	12	W3	1/2 1/2
7<WT5	3/8	1/4	7	14	3 1/2	5/8
WT-14	1/2	3/8	9	16	W-5	1/2 3/4

**DOUBLE BEARING CONNECTION**

SCALE: N.T.S.

7

**BADGER RESIDENCE**

**OWNER:**  
 121 BADGER LANE LLC  
 P.O. BOX 14001-174  
 KETCHUM, ID 83340

**PROJECT ARCHITECT:**  
 ROCKETT DESIGN  
 1031 W. MANCHESTER BLVD, UNIT 6  
 INGLEWOOD, CA 90301  
 TEL: 213.784.0014

**SURVEYOR & CIVIL ENGINEER:**  
 GALENA ENGINEERING, INC.  
 317 NORTH RIVER STREET  
 HAILEY, ID 83333  
 TEL: 208.788.1705

**GEOTECHNICAL ENGINEER:**  
 BUTLER ASSOCIATES, INC.  
 P.O. BOX 1034  
 KETCHUM, ID 83340  
 TEL: 208.720.6432

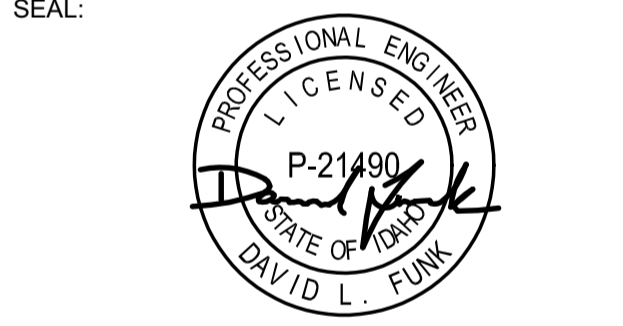
**LANDSCAPE ARCHITECT:**  
 B/LA  
 323 LEWIS STREET, SUITE N  
 KETCHUM, ID 83340  
 TEL: 208.726.5907

**STRUCTURAL ENGINEER:**  
 LFA  
 319 MAIN STREET  
 EL SEGUNDO, CA 90245  
 TEL: 213.239.9700  
 LFA Job #22791



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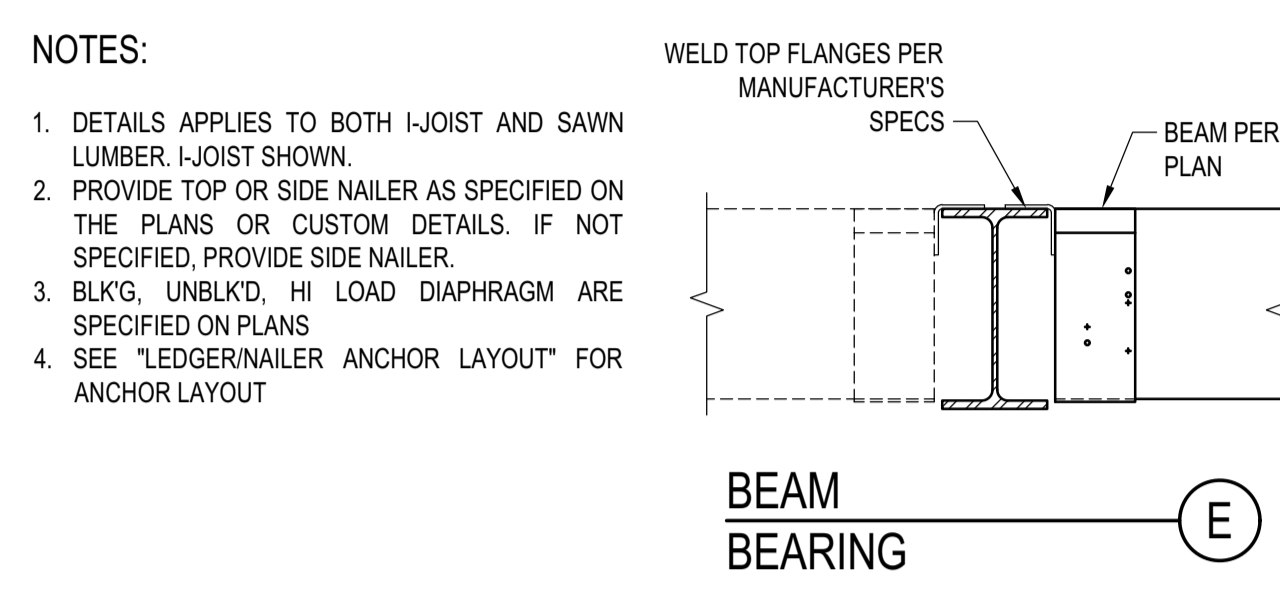
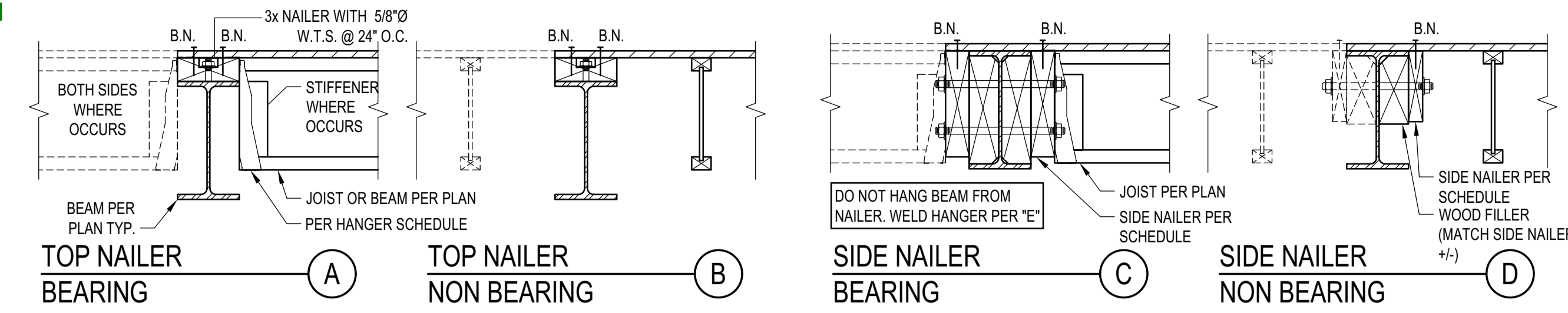
02/24/23 PC SUBMITTAL  
 NO DATE ISSUE

**PROJECT:**  
 BADGER RESIDENCE  
 121 BADGER LANE  
 KETCHUM, ID 83340

**PROJECT NUMBER**  
 #2201

**DRAWING TITLE:**  
 TYPICAL DETAILS - WOOD

**DRAWING NUMBER:**  
 S-035



**ASSEMBLIES:**  
 I. NON OCCUPIED ROOFS WITH MAX 1" GRAVEL AND WITHOUT GARDEN ROOF  
 II. THIS ASSEMBLY INCLUDES:  
 • NON OCCUPIED ROOFS WITH MORE THAN 1" AND UP TO 3" GRAVEL  
 • NON OCCUPIED GARDEN ROOF ASSEMBLIES UP TO 6"  
 • SINGLE FAMILY FLOORS AND DECKS  
 III. ALL CASES NOT COVERED IN I. OR II.

MAX JOIST SPAN	SIDE NAILER - BEARING			SIDE NAILER - NOT BEARING		
	ASSEMBLY I.	ASSEMBLY II.	ASSEMBLY III.	ASSEMBLY I.	ASSEMBLY II.	ASSEMBLY III.
12'-0"	3x 1 5/8 24	3x 1 3/4 12	3x 2 3/4 16	2x 1 5/8 24	3x 1 3/4 12	3x 3 3/4 8
18'-0"	3x 1 5/8 16	3x 2 3/4 16	3x 3 3/4 16	3x 1 5/8 12	3x 3 3/4 16	3x 3 3/4 8
24'-0"	3x 1 5/8 12	3x 2 3/4 12	3x 2 3/4 8	3x 1 5/8 12	3x 3 3/4 16	3x 2 3/4 8
30'-0"	3x 2 5/8 16	3x 3 3/4 16	3x 3 3/4 8	3x 2 5/8 16	3x 3 3/4 16	3x 3 3/4 8
36'-0"	3x 2 5/8 16	3x 2 3/4 8	3x 3 3/4 8	3x 2 5/8 16	3x 3 3/4 16	3x 3 3/4 8

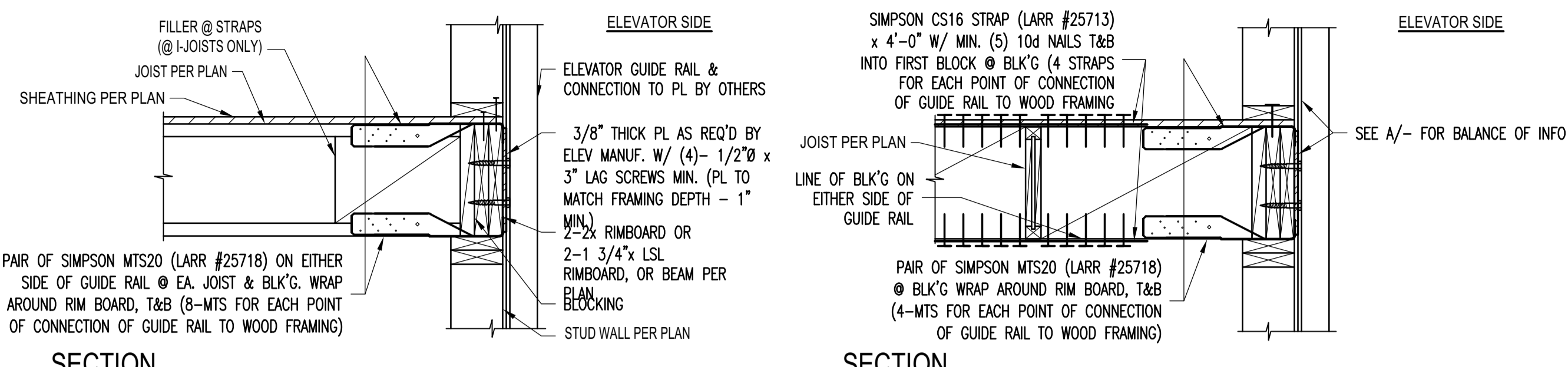
**SCHEDULE LEGEND**  
 3x 2 3/4 12

**DIAPHRAGM TYPE**  
 BLK'D/UNBLK'D<sup>(3)</sup> 2x 1 5/8 24 DEPTH TO MATCH STEEL BEAM DEPTH, BUT NEEDS NOT EXCEED 8" NOMINAL  
 HIGH LOAD<sup>(3)</sup> 3x 1 3/4 12

**STEEL BEAM IN WOOD FRAMING**

SCALE: N.T.S.

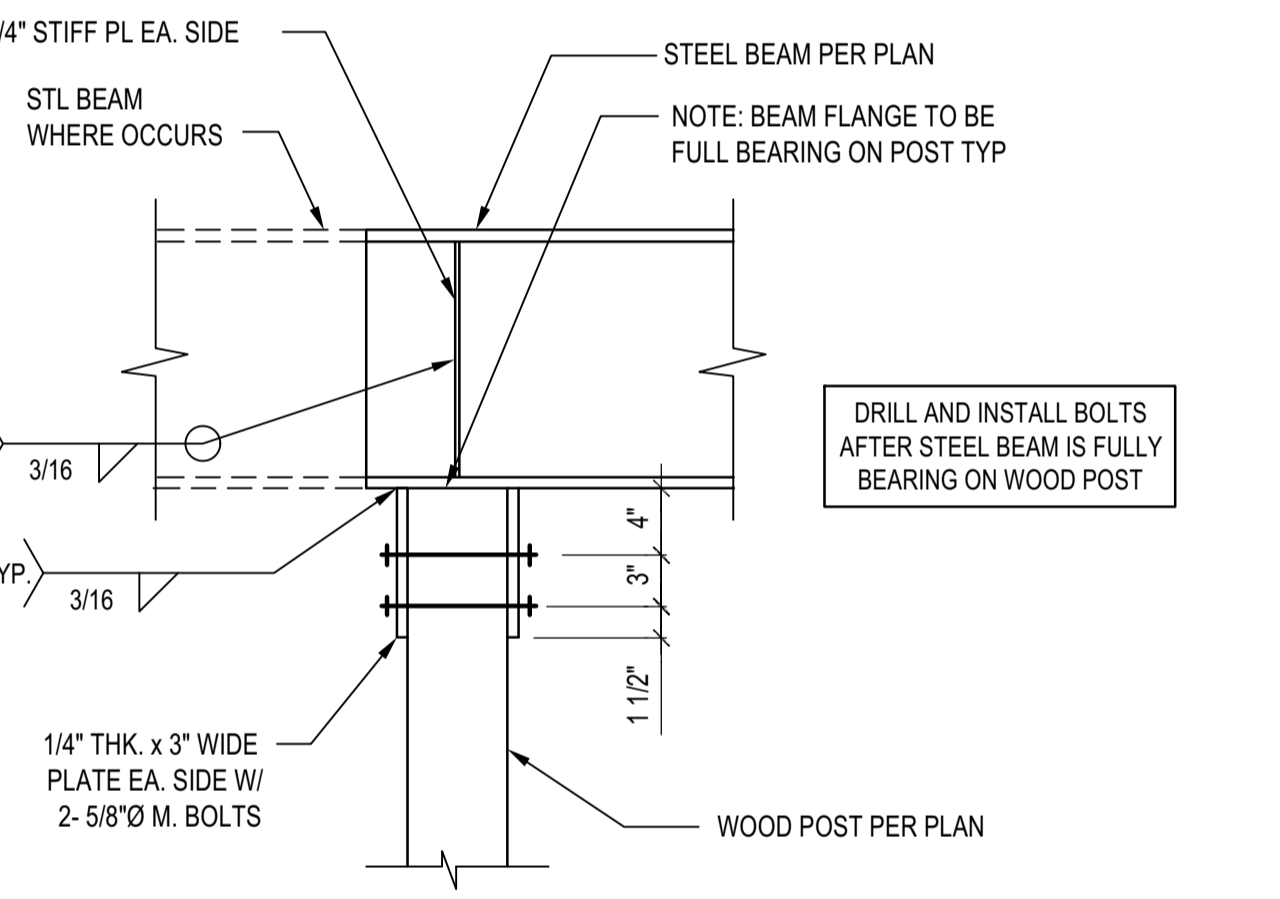
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**ELEVATOR GUIDE RAIL SUPPORT DETAIL**

SCALE: N.T.S.

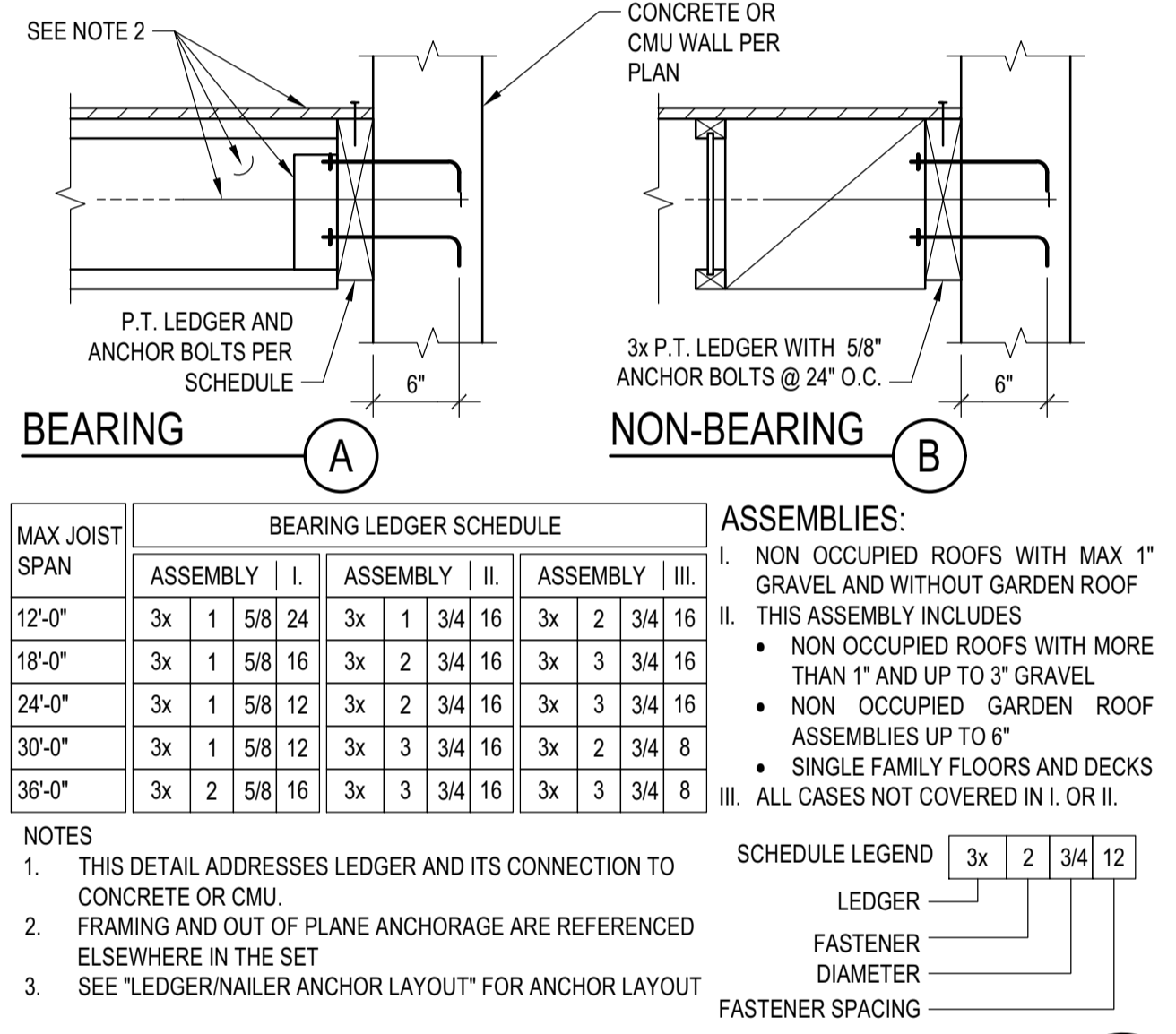
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**STL BEAM TO ISOLATED WOOD POST CONNECTION**

SCALE: N.T.S.

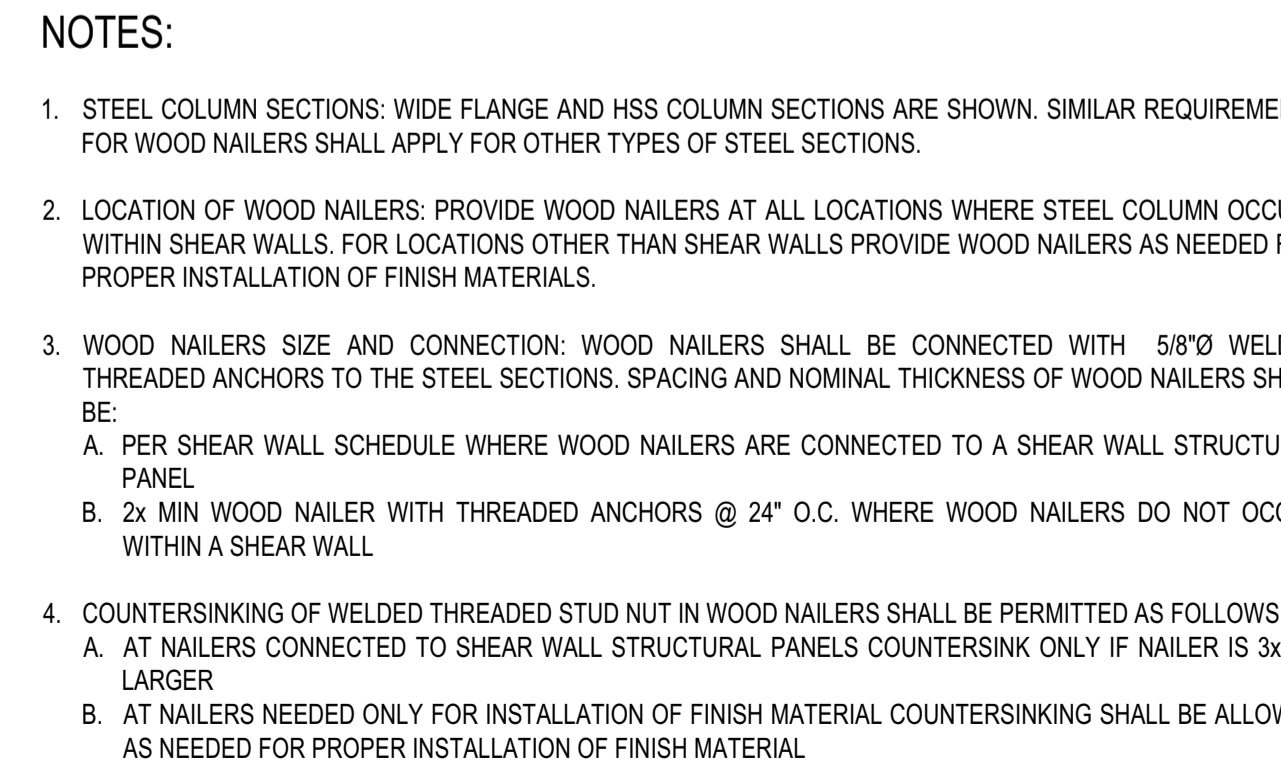
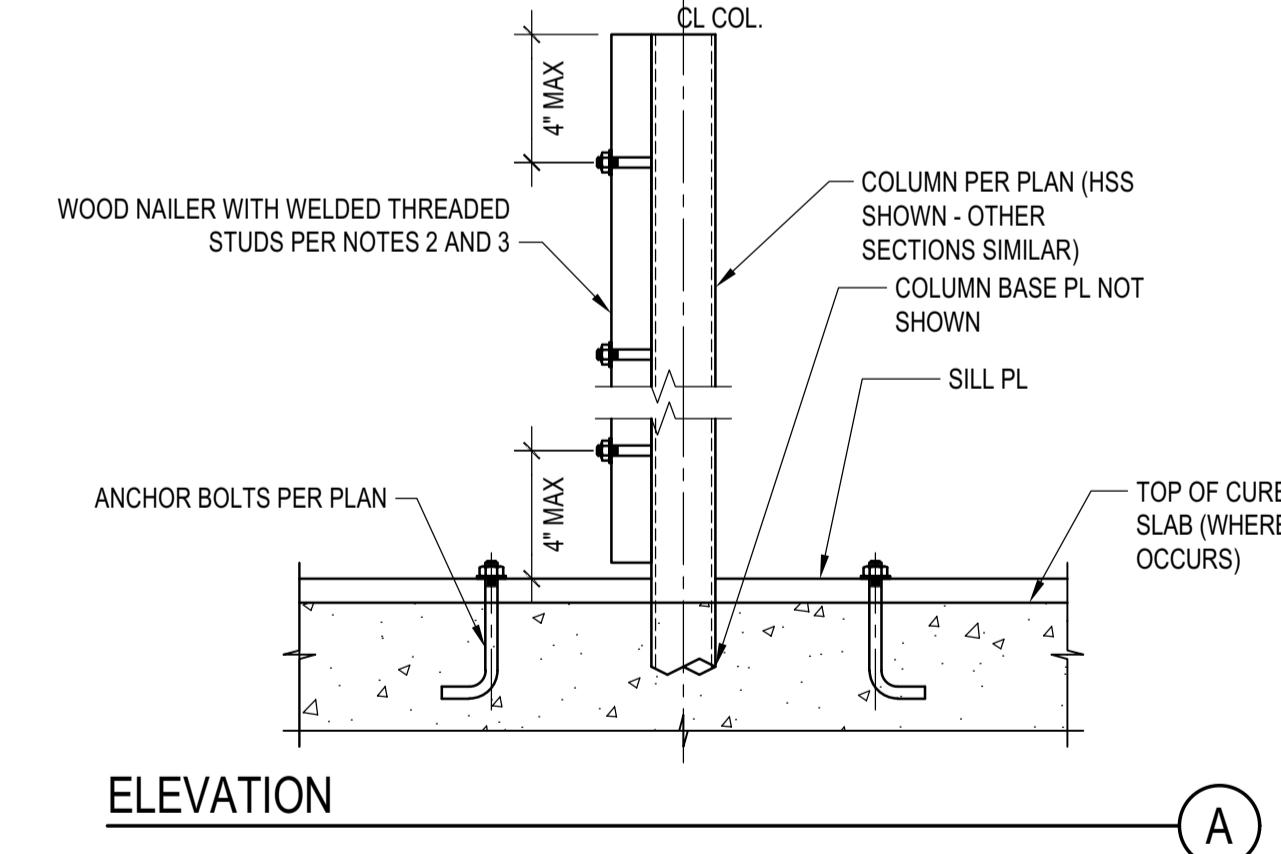
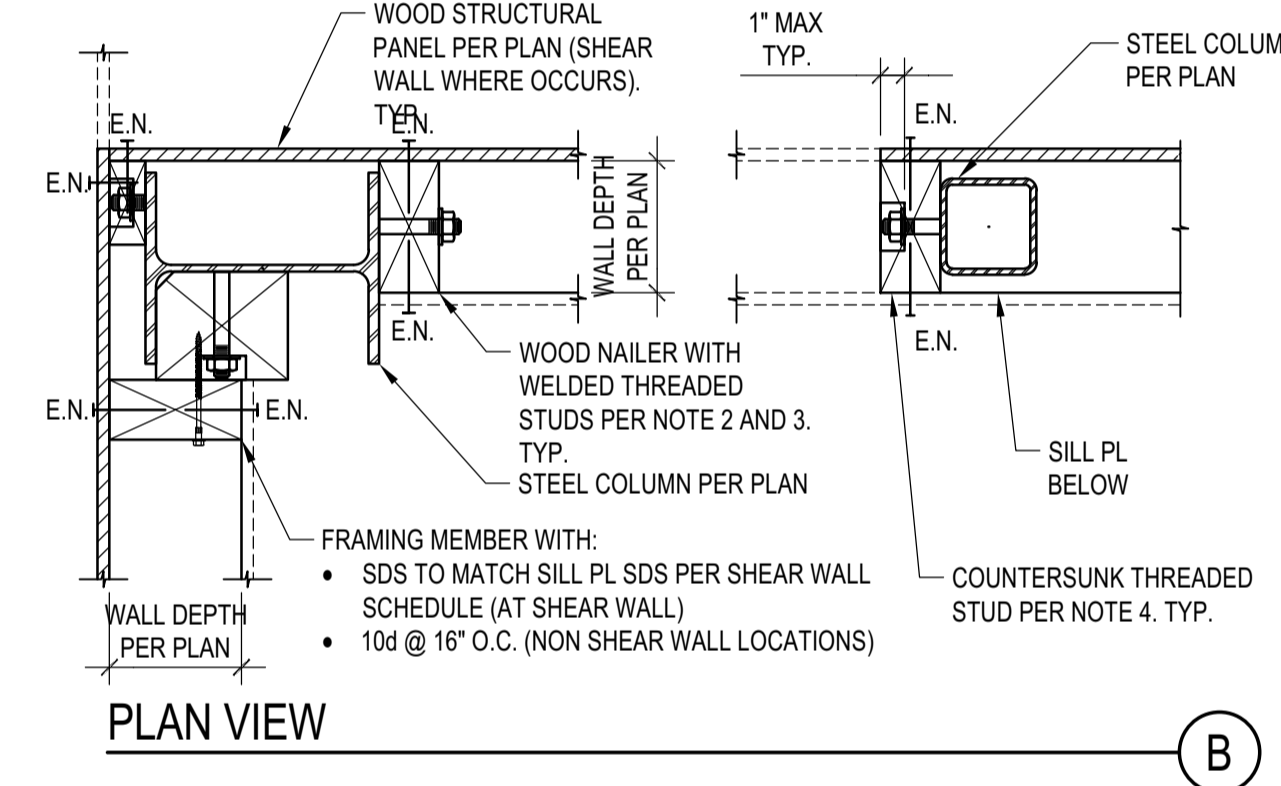
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**LEDGER TO CONCRETE/CMU WALL**

SCALE: N.T.S.

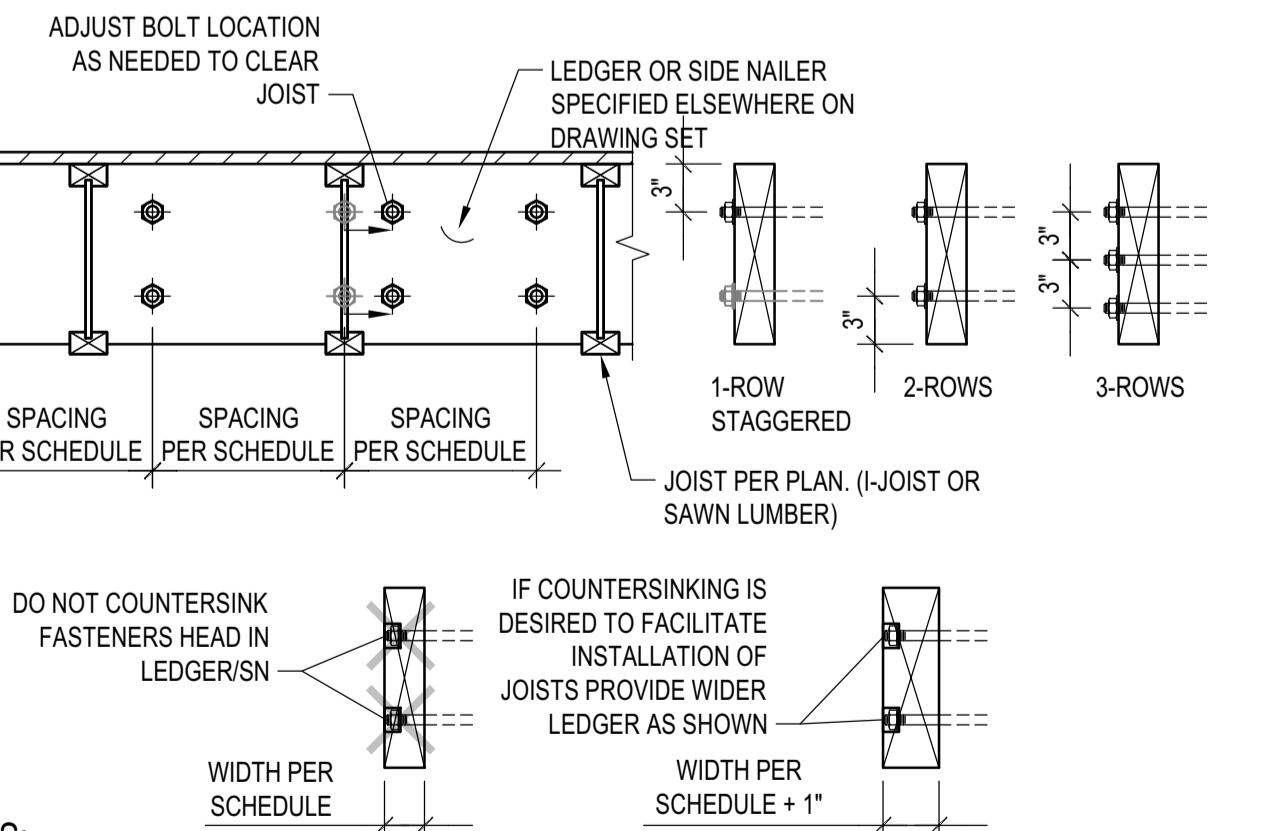
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**STEEL COLUMN IN STUD WALL**

SCALE: N.T.S.

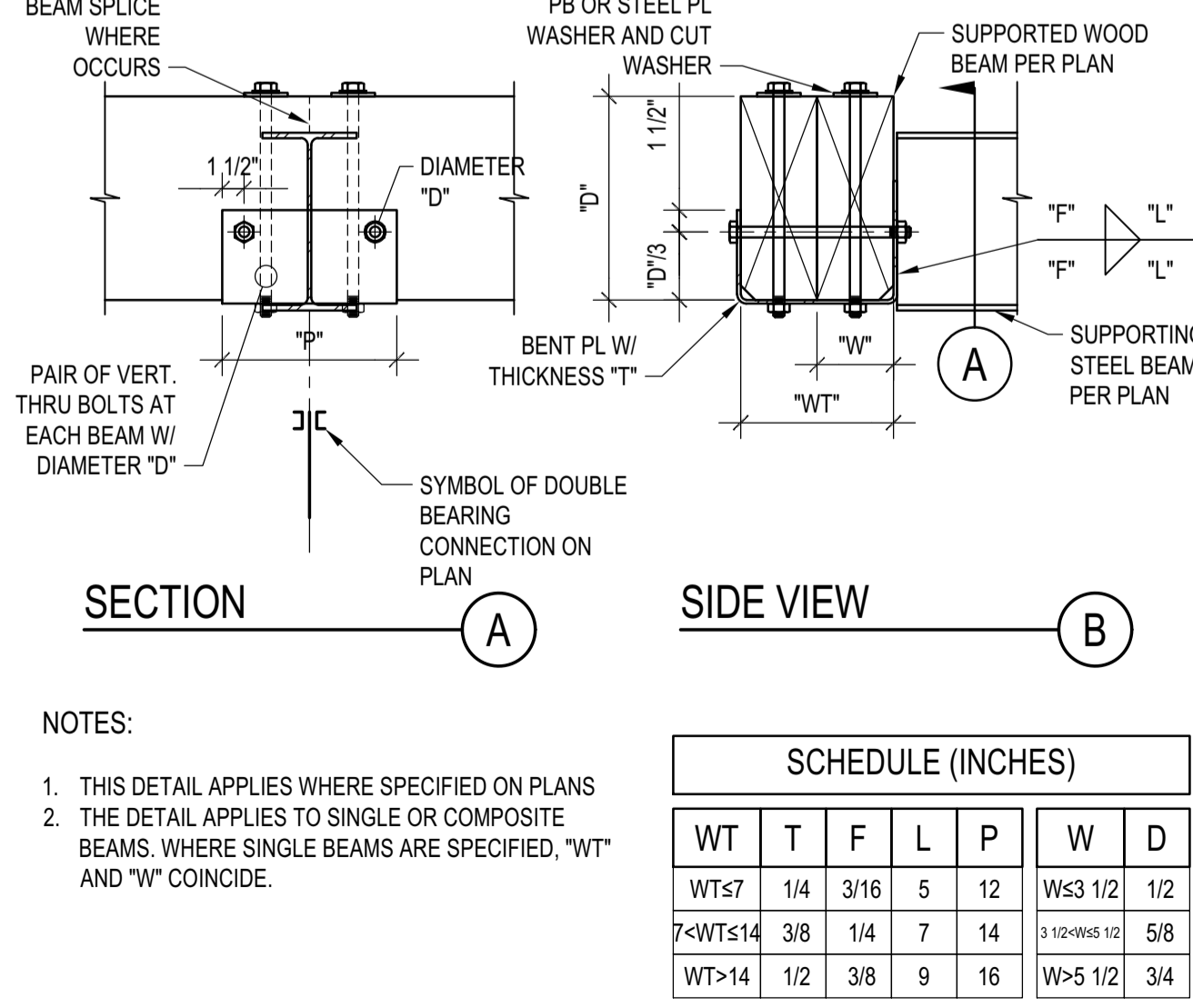
4



**LEDGER/NAILER ANCHOR LAYOUT**

SCALE: N.T.S.

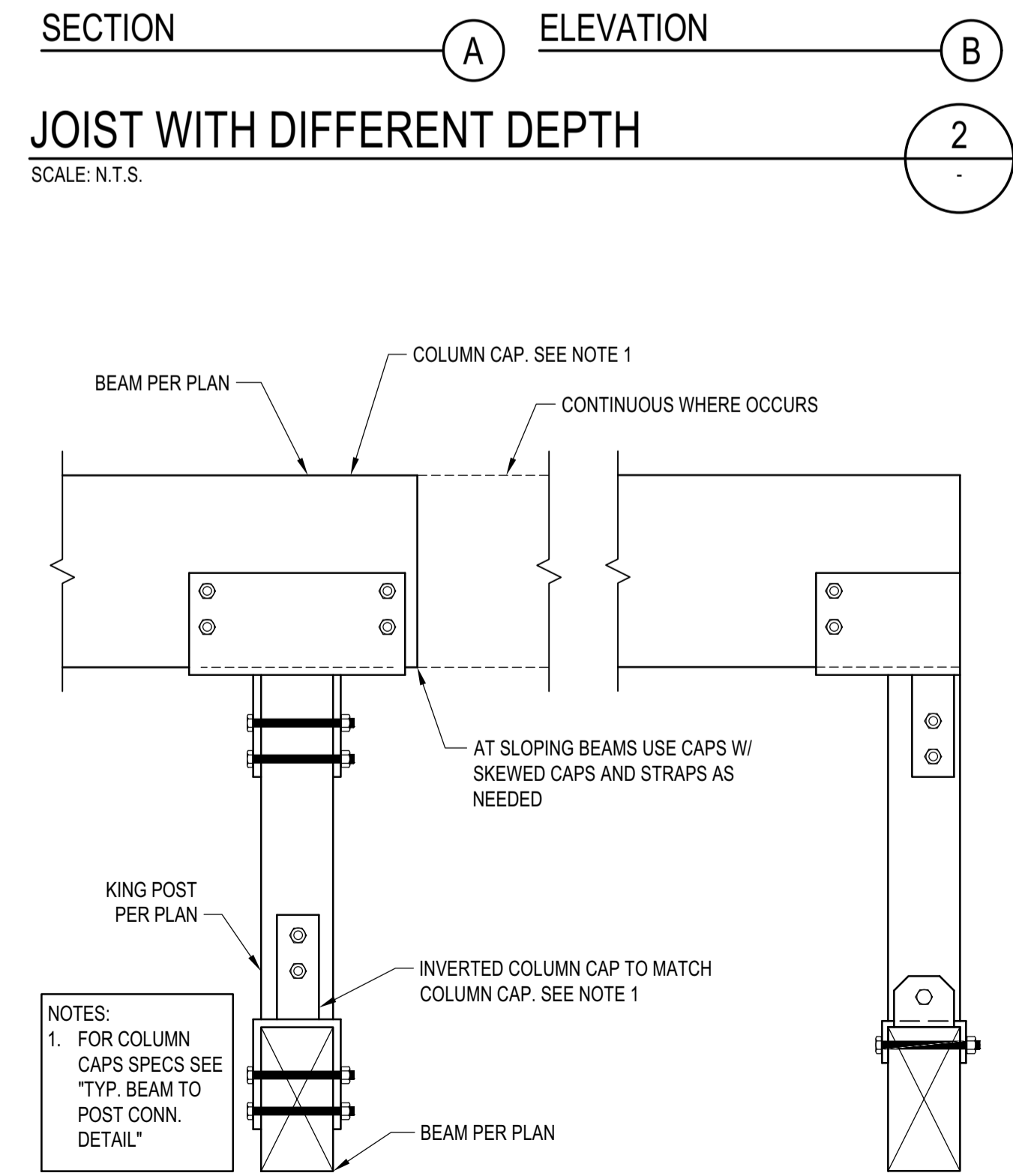
9



**DOUBLE BEARING CONNECTION**

SCALE: N.T.S.

7



**STEEL COLUMN IN STUD WALL**

SCALE: N.T.S.

3

**BADGER RESIDENCE**

OWNER:  
**121 BADGER LANE LLC**  
 P.O. BOX 14001-174  
 KETCHUM, ID 83340

PROJECT ARCHITECT:  
**ROCKETT DESIGN**  
 1031 W. MANCHESTER BLVD, UNIT 6  
 INGLEWOOD, CA 90301  
 TEL: 213.784.0014

SURVEYOR & CIVIL ENGINEER:  
**GALENA ENGINEERING, INC.**  
 317 NORTH RIVER STREET  
 HAILEY, ID 83333  
 TEL: 208.788.1705

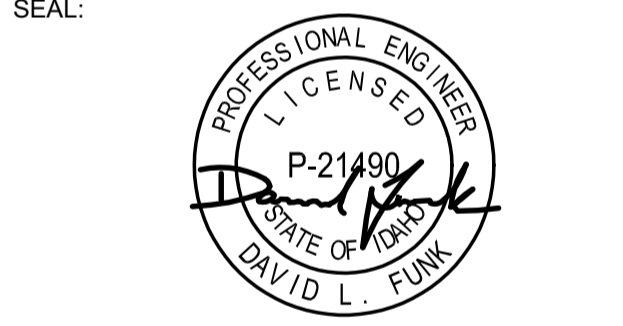
GEOTECHNICAL ENGINEER:  
**BUTLER ASSOCIATES, INC.**  
 P.O. BOX 1034  
 KETCHUM, ID 83340  
 TEL: 208.720.6432

LANDSCAPE ARCHITECT:  
**BYLA**  
 323 LEWIS STREET, SUITE N  
 KETCHUM, ID 83340  
 TEL: 208.726.5907

STRUCTURAL ENGINEER:  
**LFA**  
 319 MAIN STREET  
 EL SEGUNDO, CA 90245  
 TEL: 213.239.9700  
 LFA Job #22791



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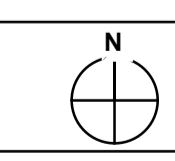
NO	DATE	PC SUBMITTAL	ISSUE
02/24/23			

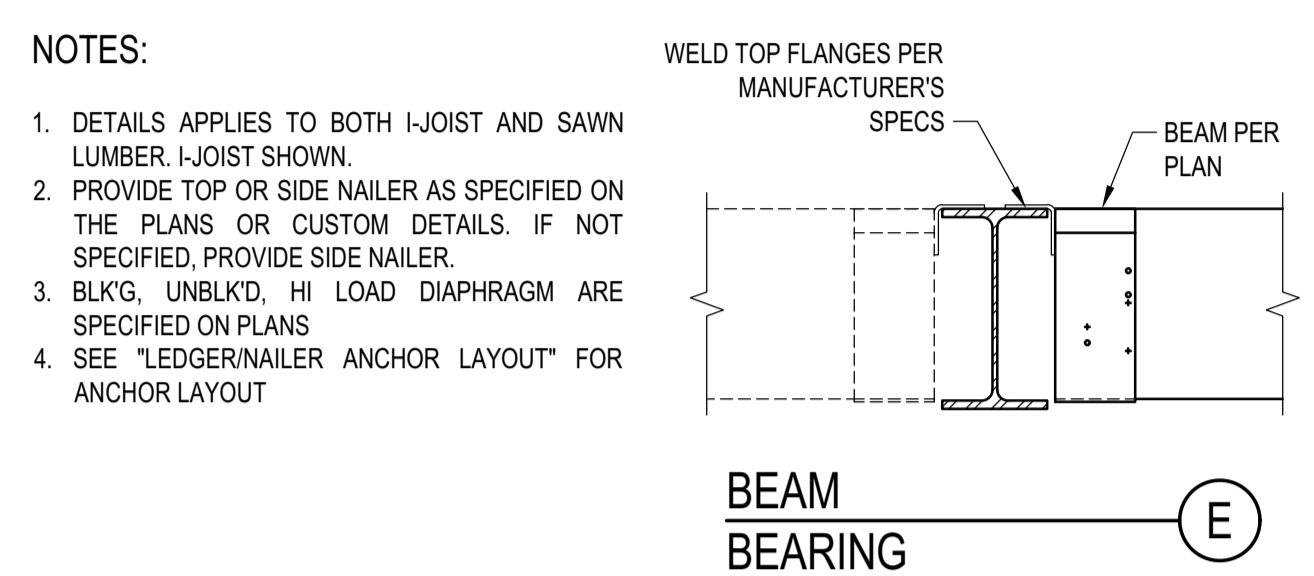
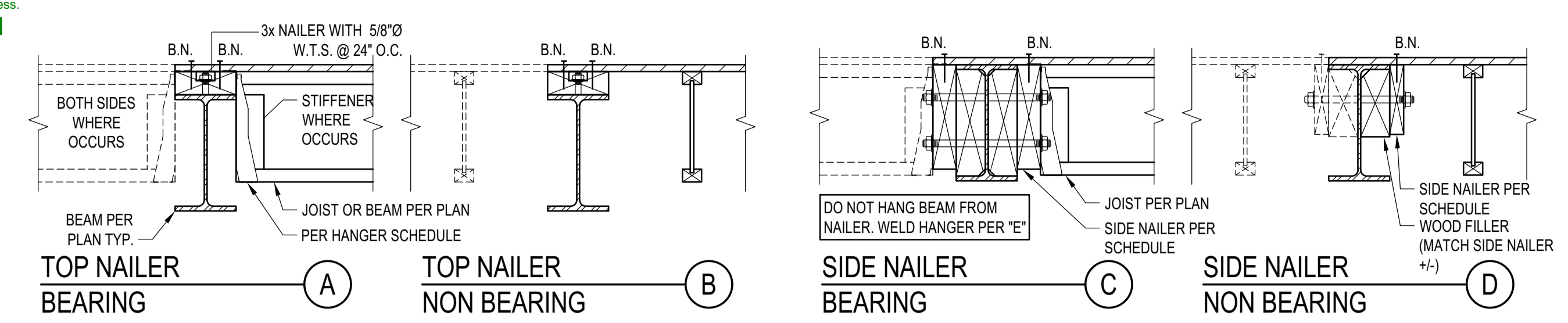
PROJECT:  
**BADGER RESIDENCE**  
 121 BADGER LANE  
 KETCHUM, ID 83340

PROJECT NUMBER:  
**#2201**

DRAWING TITLE:  
**TYPICAL DETAILS - WOOD**

DRAWING NUMBER:  
**S-036**



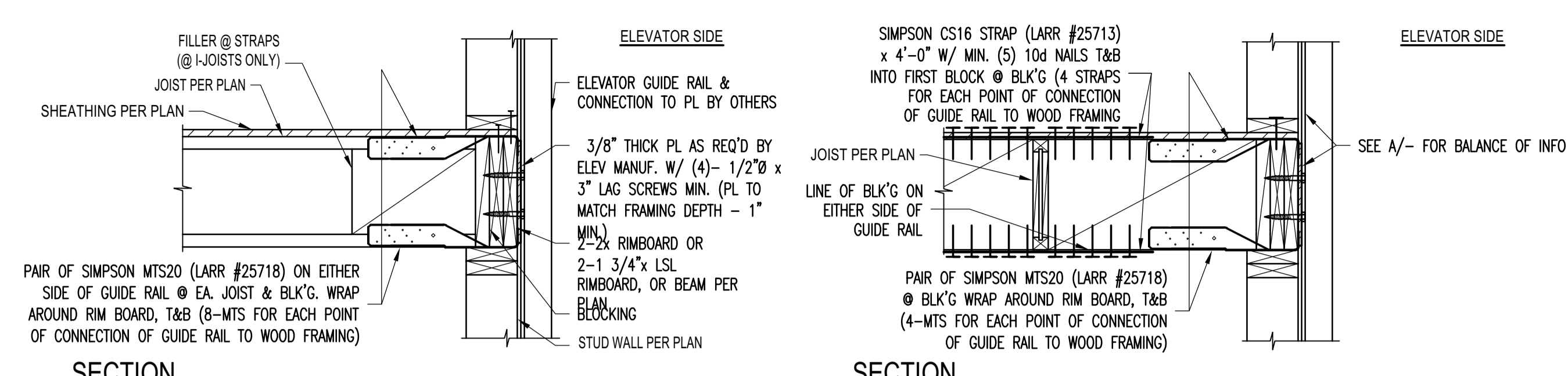


MAX JOIST SPAN	SIDE NAILER - BEARING			ASSEMBLIES:
	ASSEMBLY I.	ASSEMBLY II.	ASSEMBLY III.	
12'-0"	3x 1 5/8 24	3x 1 3/4 12	3x 2 3/4 16	I. NON OCCUPIED ROOFS WITH MAX 1" GRAVEL AND WITHOUT GARDEN ROOF II. THIS ASSEMBLY INCLUDES: • NON OCCUPIED ROOFS WITH MORE THAN 1" AND UP TO 3" GRAVEL • NON OCCUPIED GARDEN ROOF ASSEMBLIES UP TO 6" • SINGLE FAMILY FLOORS AND DECKS III. ALL CASES NOT COVERED IN I. OR II.
18'-0"	3x 1 5/8 16	3x 2 3/4 16	3x 3 3/4 16	
24'-0"	3x 1 5/8 12	3x 2 3/4 12	3x 2 3/4 8	
30'-0"	3x 2 5/8 16	3x 3 3/4 16	3x 3 3/4 8	
36'-0"	3x 2 5/8 16	3x 2 3/4 8	3x 3 3/4 8	
36'-0"	3x 2 5/8 16	3x 2 3/4 8	3x 3 3/4 8	

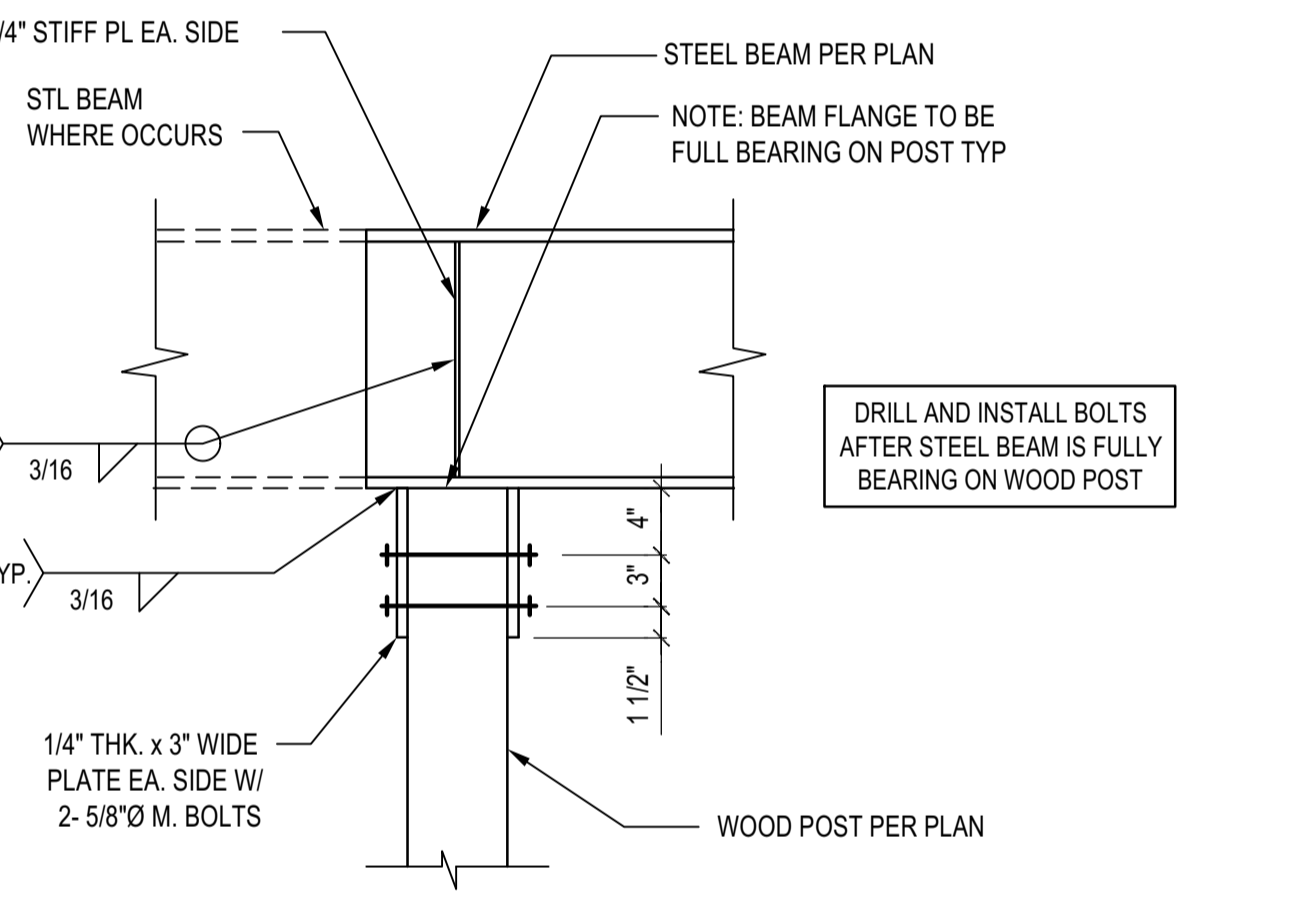
  

DIAPHRAGM TYPE	SIDE NAILER			SCHEDULE LEGEND
	ASSEMBLY I.	ASSEMBLY II.	ASSEMBLY III.	
BLK'D/UNBLK'D <sup>(1)</sup>	2x 1 5/8 24	2x 1 3/4 12	2x 2 3/4 16	3x 2 3/4 12 SIDE NAILER ROWS OF FASTENERS FASTENER DIAMETER FASTENER SPACING
HIGH LOAD <sup>(2)</sup>	3x 1 3/4 12	3x 2 3/4 16	3x 3 3/4 8	

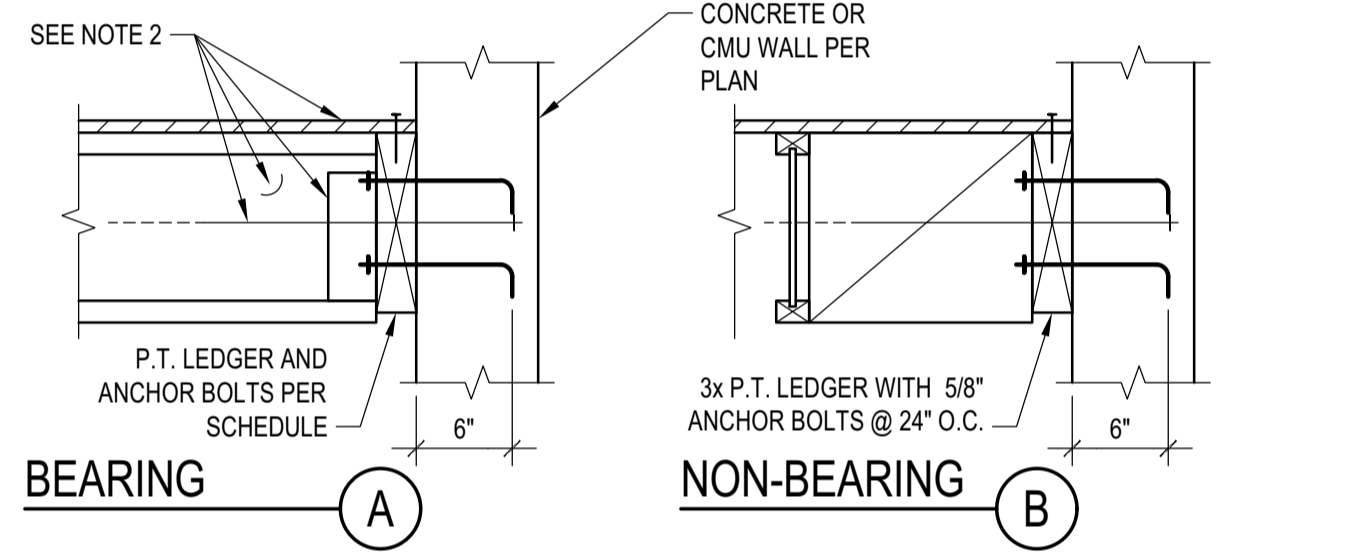
**STEEL BEAM IN WOOD FRAMING**  
 SCALE: N.T.S.



**ELEVATOR GUIDE RAIL SUPPORT DETAIL**  
 SCALE: N.T.S.



**STL BEAM TO ISOLATED WOOD POST CONNECTION**  
 SCALE: N.T.S.

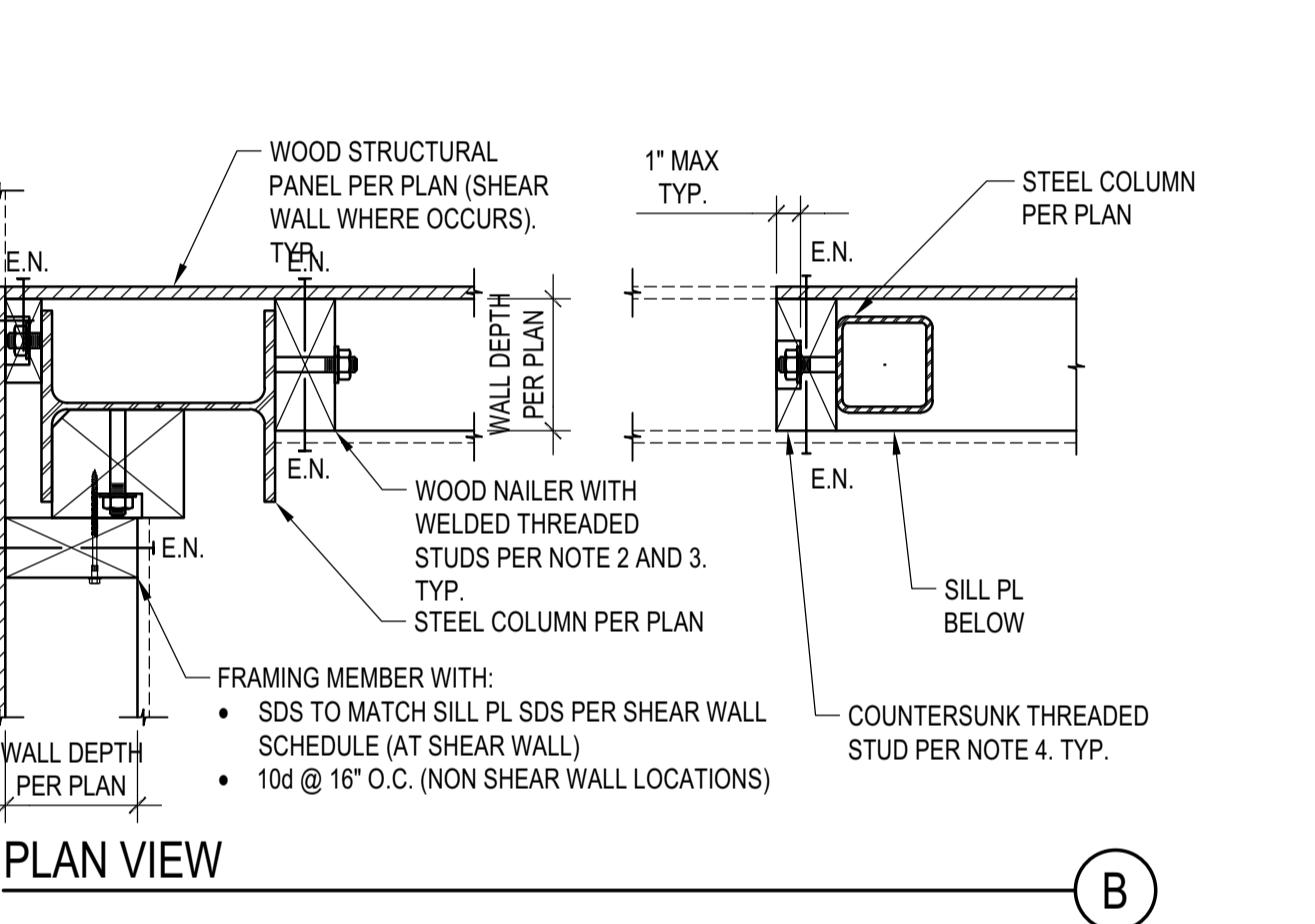


MAX JOIST SPAN	BEARING LEDGER SCHEDULE			ASSEMBLIES:
	ASSEMBLY I.	ASSEMBLY II.	ASSEMBLY III.	
12'-0"	3x 1 5/8 24	3x 1 3/4 16	3x 2 3/4 16	I. NON OCCUPIED ROOFS WITH MAX 1" GRAVEL AND WITHOUT GARDEN ROOF II. THIS ASSEMBLY INCLUDES: • NON OCCUPIED ROOFS WITH MORE THAN 1" AND UP TO 3" GRAVEL • NON OCCUPIED GARDEN ROOF ASSEMBLIES UP TO 6" • SINGLE FAMILY FLOORS AND DECKS III. ALL CASES NOT COVERED IN I. OR II.
18'-0"	3x 1 5/8 16	3x 2 3/4 16	3x 3 3/4 16	
24'-0"	3x 1 5/8 12	3x 2 3/4 12	3x 3 3/4 16	
30'-0"	3x 1 5/8 12	3x 3 3/4 16	3x 2 3/4 8	
36'-0"	3x 2 5/8 16	3x 3 3/4 16	3x 3 3/4 8	
36'-0"	3x 2 5/8 16	3x 3 3/4 16	3x 3 3/4 8	

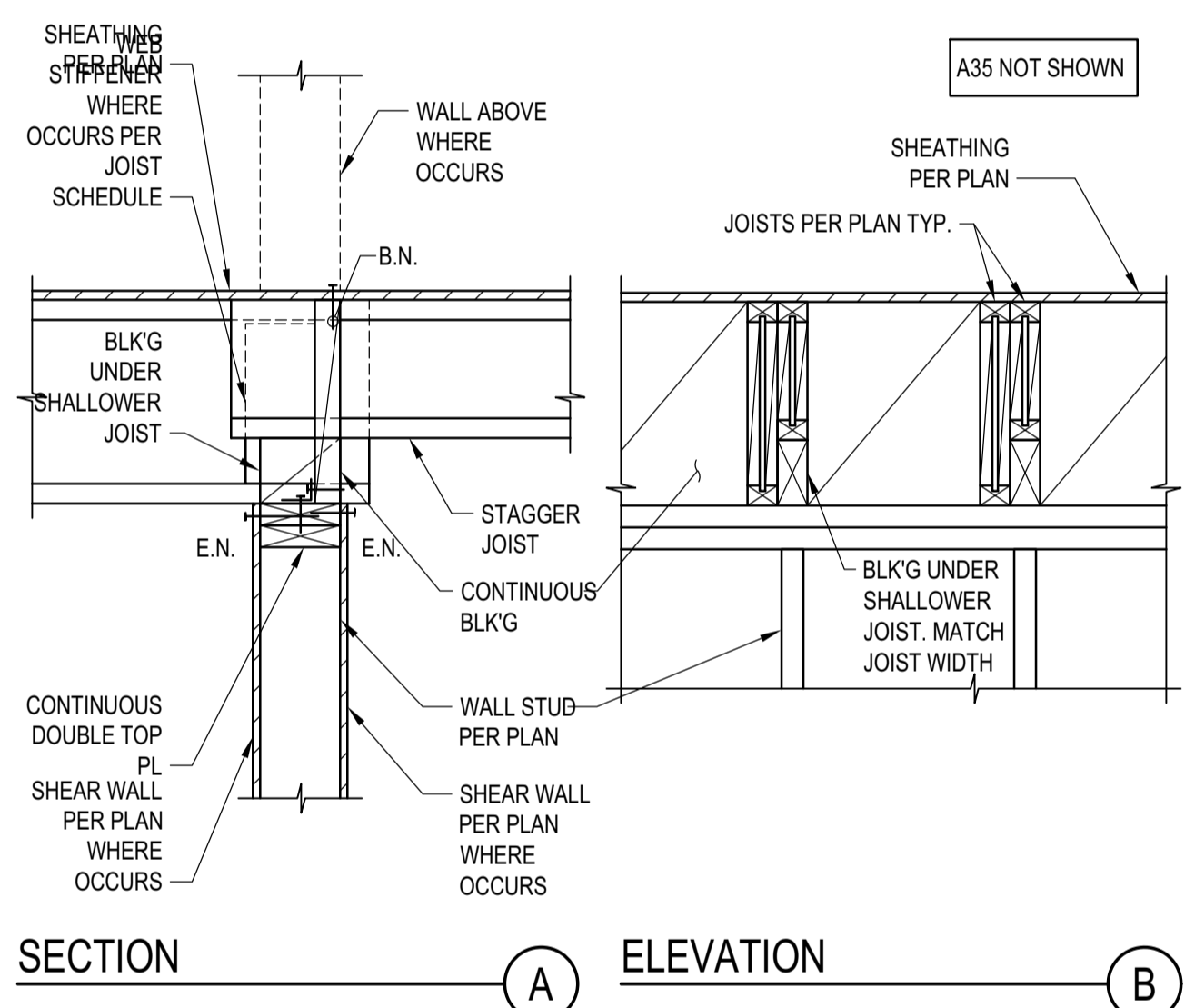
  

DIAPHRAGM TYPE	LEDGER			SCHEDULE LEGEND
	ASSEMBLY I.	ASSEMBLY II.	ASSEMBLY III.	
BLK'D/UNBLK'D <sup>(1)</sup>	2x 1 5/8 24	2x 1 3/4 12	2x 2 3/4 16	3x 2 3/4 12 LEDGER FASTENER DIAMETER FASTENER SPACING
HIGH LOAD <sup>(2)</sup>	3x 1 3/4 12	3x 2 3/4 16	3x 3 3/4 8	

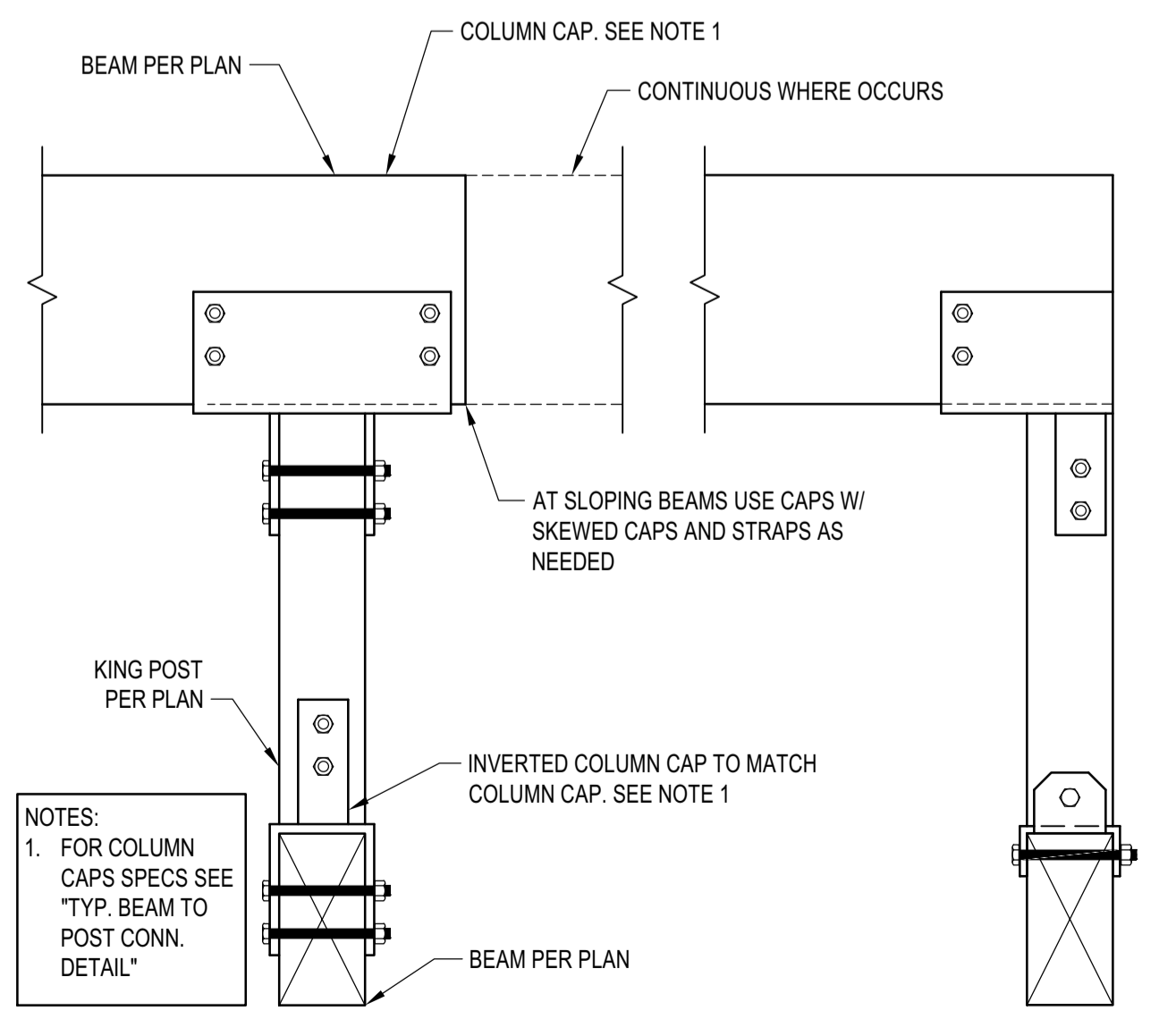
**LEDGER TO CONCRETE/CMU WALL**  
 SCALE: N.T.S.



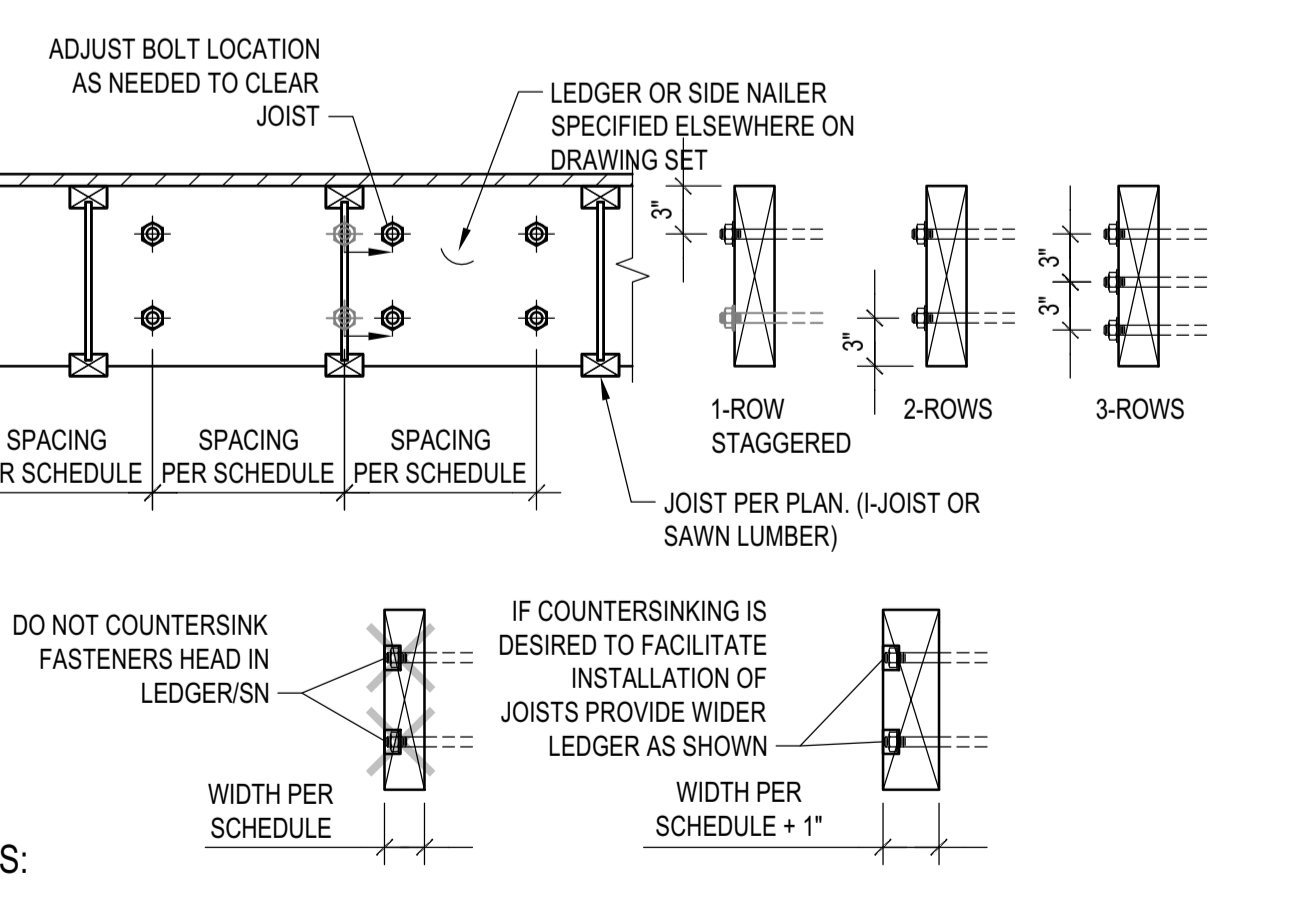
**STEEL COLUMN IN STUD WALL**  
 SCALE: N.T.S.



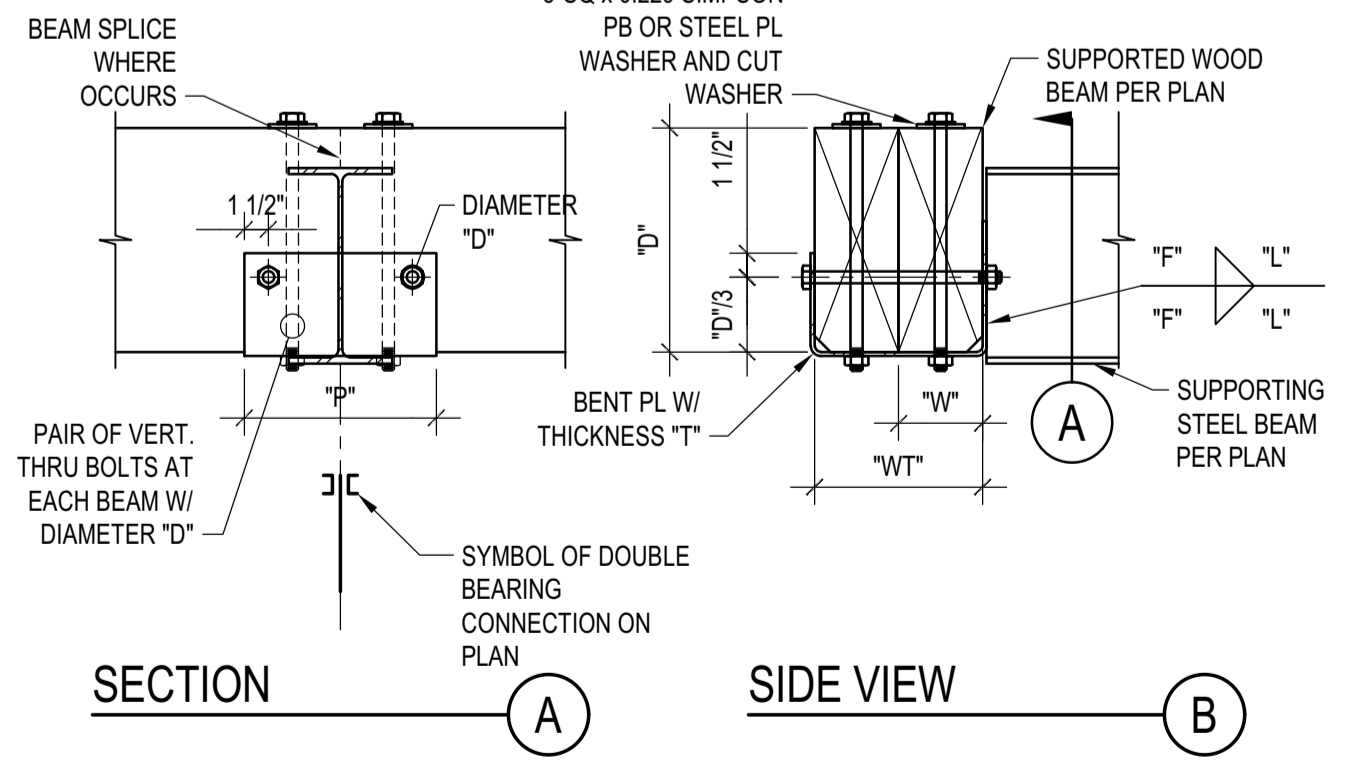
**JOIST WITH DIFFERENT DEPTH**  
 SCALE: N.T.S.



**TYP. KING POST DETAIL**  
 SCALE: N.T.S.



**LEDGER/NAILER ANCHOR LAYOUT**  
 SCALE: N.T.S.



NOTES:

- THIS DETAIL APPLIES WHERE SPECIFIED ON PLANS
- THE DETAIL APPLIES TO SINGLE OR COMPOSITE BEAMS. WHERE SINGLE BEAMS ARE SPECIFIED, "WT" AND "W" COINCIDE.

SCHEDULE (INCHES)						
WT	T	F	L	P	W	D
WT5	1/4	3/16	5	12	W3	1/2 1/2
7<WT5	3/8	1/4	7	14	3 1/2x3/8	5/8
WT-14	1/2	3/8	9	16	W-5	1/2 3/4

**DOUBLE BEARING CONNECTION**  
 SCALE: N.T.S.

**BADGER RESIDENCE**

OWNER:  
**121 BADGER LANE LLC**  
 P.O. BOX 14001-174  
 KETCHUM, ID 83340

PROJECT ARCHITECT:  
**ROCKETT DESIGN**  
 1031 W. MANCHESTER BLVD. UNIT 6  
 INGLEWOOD, CA 90301  
 TEL: 213.784.0014

SURVEYOR & CIVIL ENGINEER:  
**GALENA ENGINEERING, INC.**  
 317 NORTH RIVER STREET  
 HAILEY, ID 83333  
 TEL: 208.788.1705

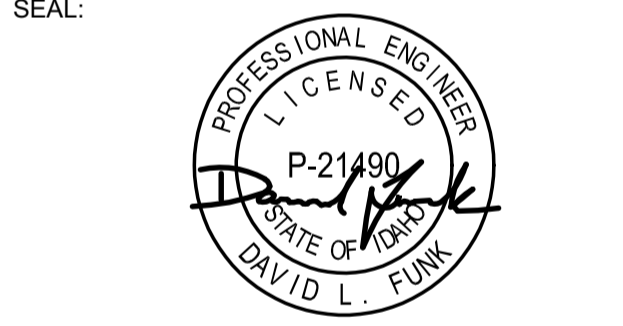
GEOTECHNICAL ENGINEER:  
**BUTLER ASSOCIATES, INC.**  
 P.O. BOX 1034  
 KETCHUM, ID 83340  
 TEL: 208.720.6432

LANDSCAPE ARCHITECT:  
**BYLA**  
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 KETCHUM, ID 83340  
 TEL: 208.726.5907

STRUCTURAL ENGINEER:  
**LFA**  
 319 MAIN STREET  
 EL SEGUNDO, CA 90245  
 TEL: 213.239.9700  
 LFA Job #22791



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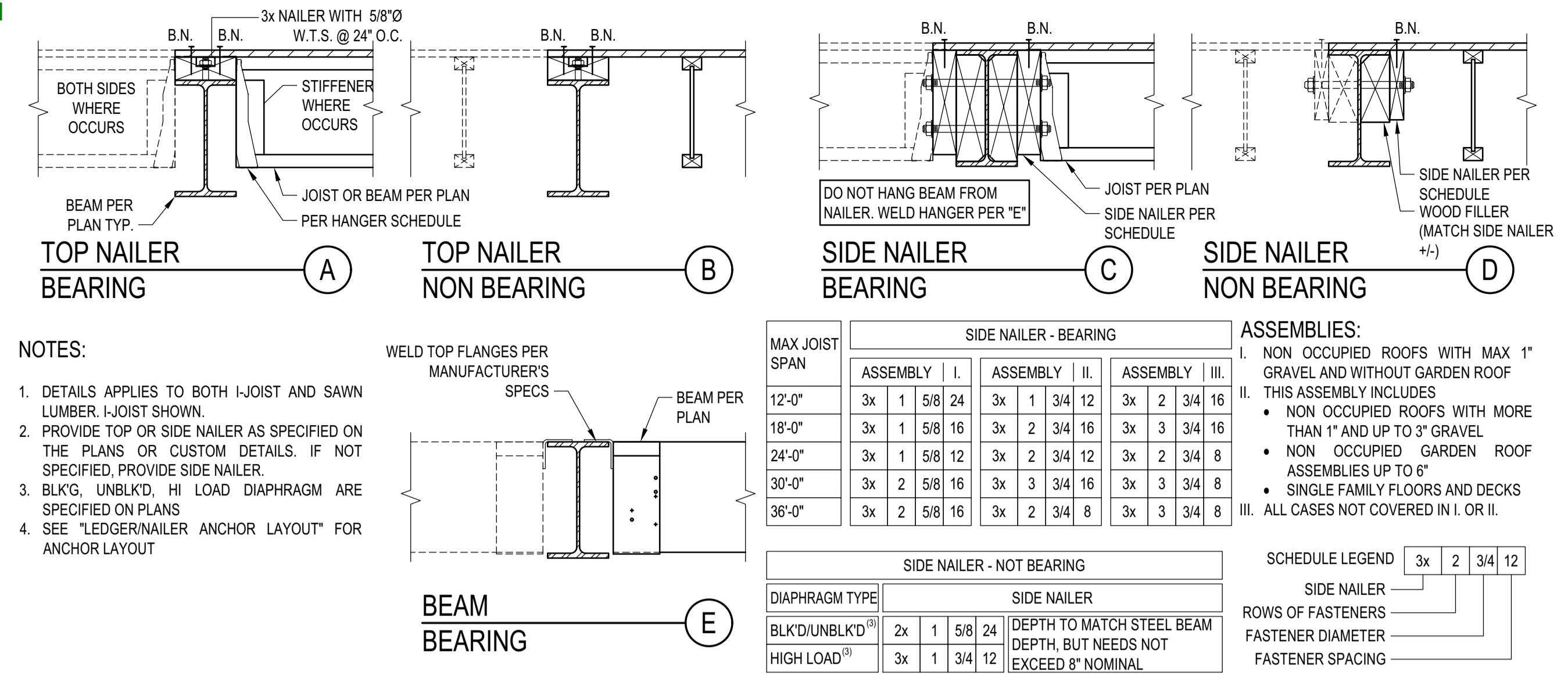
02/24/23 PC SUBMITTAL  
 NO DATE ISSUE

PROJECT:  
**BADGER RESIDENCE**  
 121 BADGER LANE  
 KETCHUM, ID 83340

PROJECT NUMBER  
**#2201**

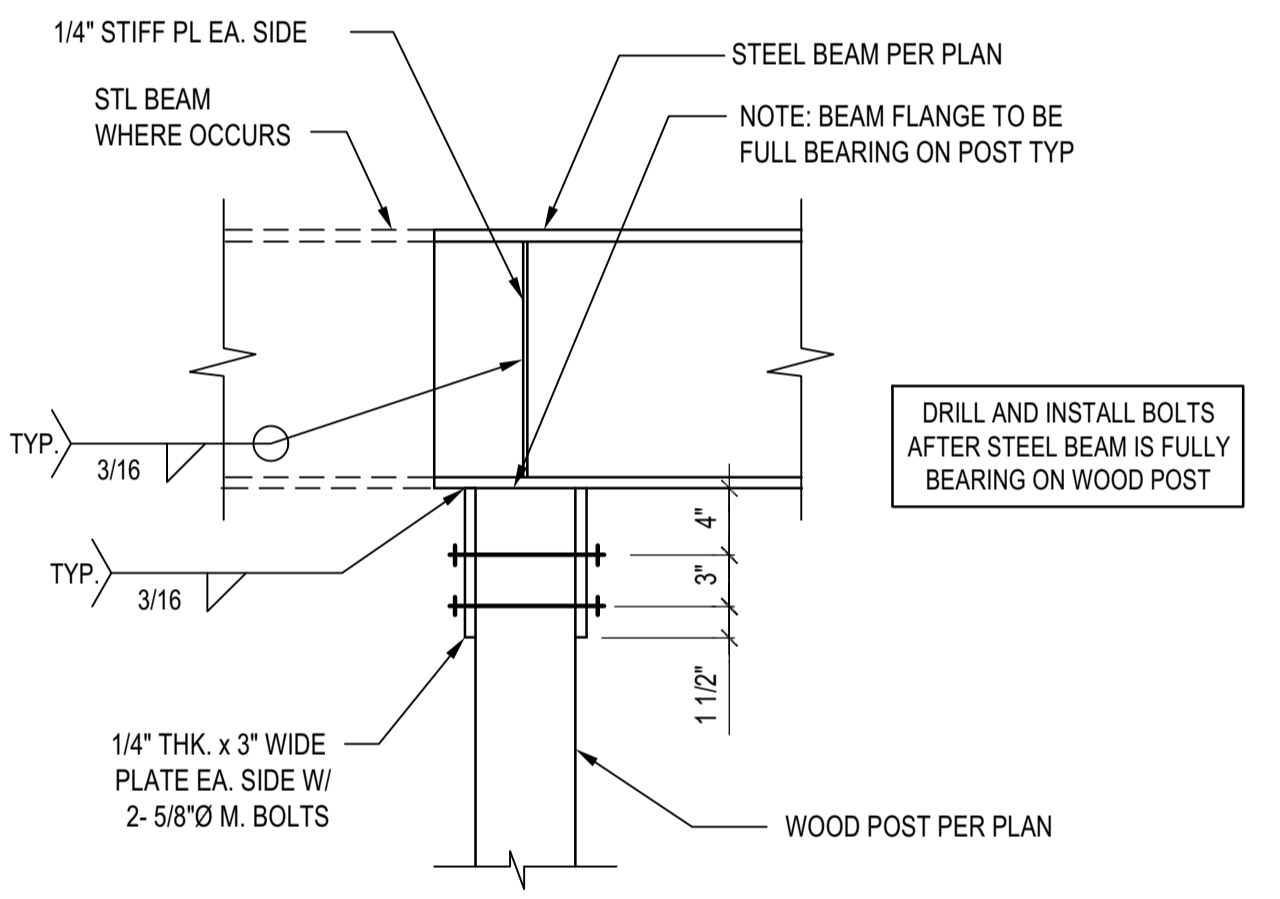
DRAWING TITLE:  
**TYPICAL DETAILS - WOOD**

DRAWING NUMBER:  
**S-037**



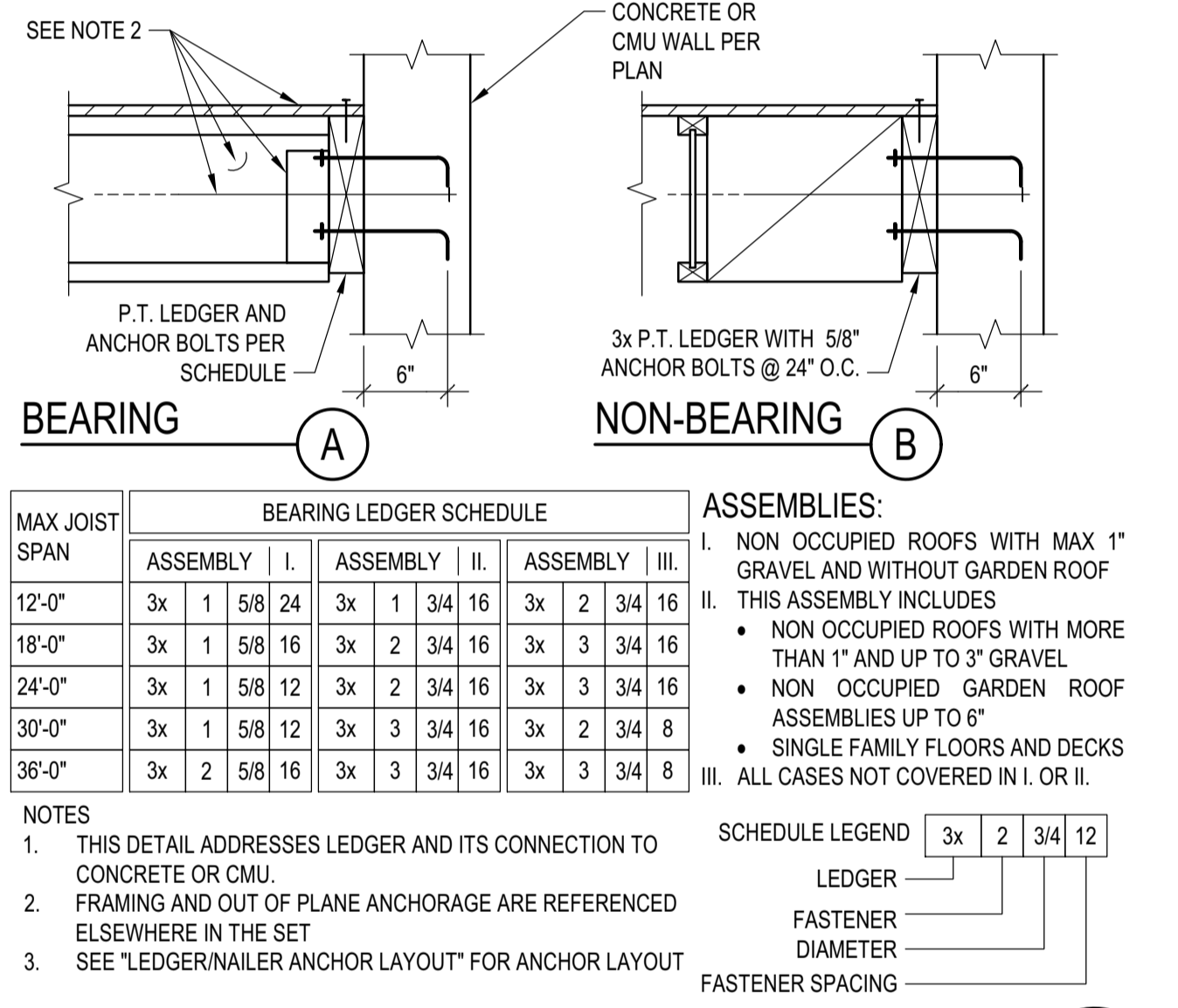
**STEEL BEAM IN WOOD FRAMING**  
 SCALE: N.T.S.

**5**



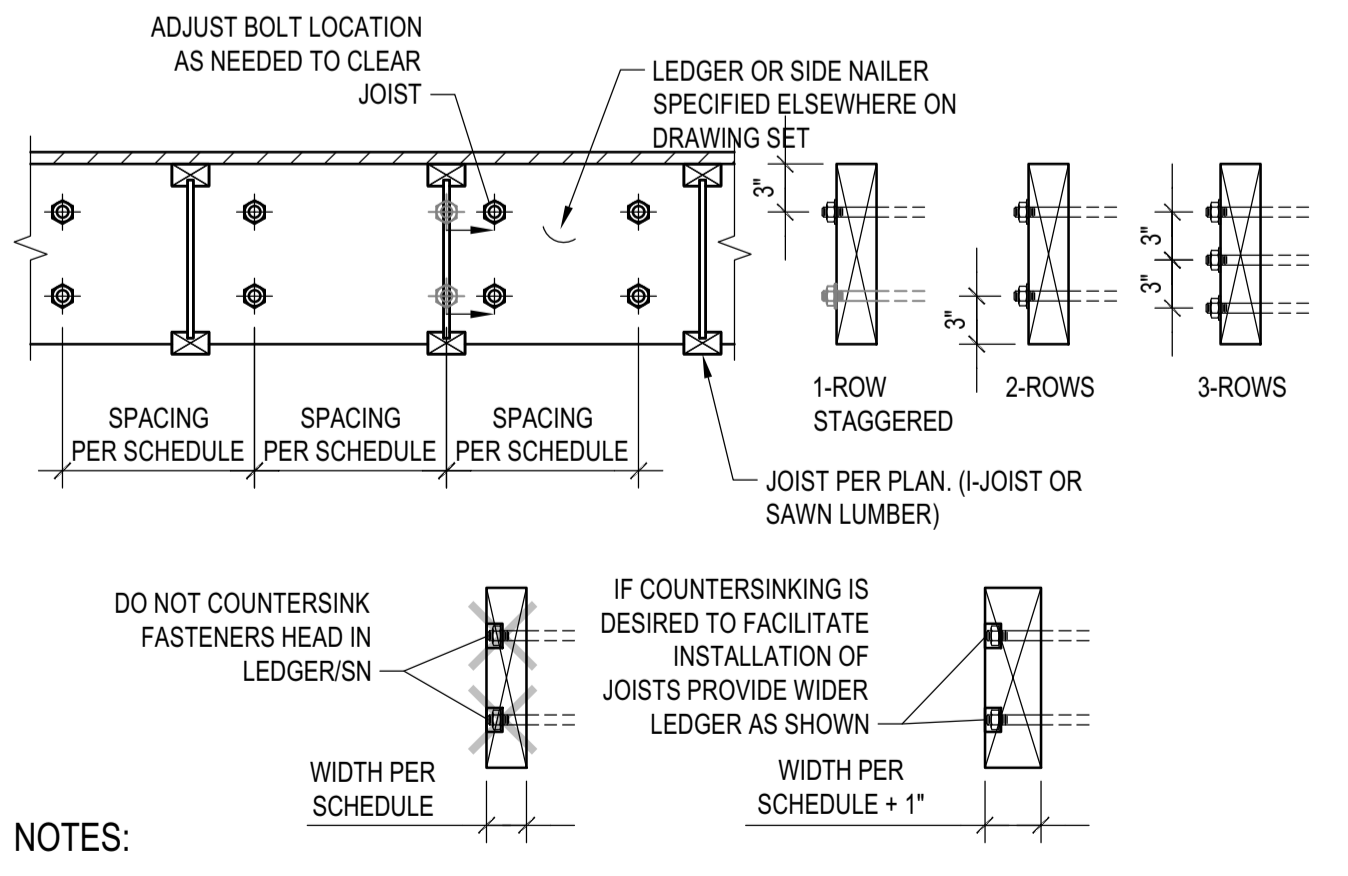
**STL BEAM TO ISOLATED WOOD POST CONNECTION**  
 SCALE: N.T.S.

**8**



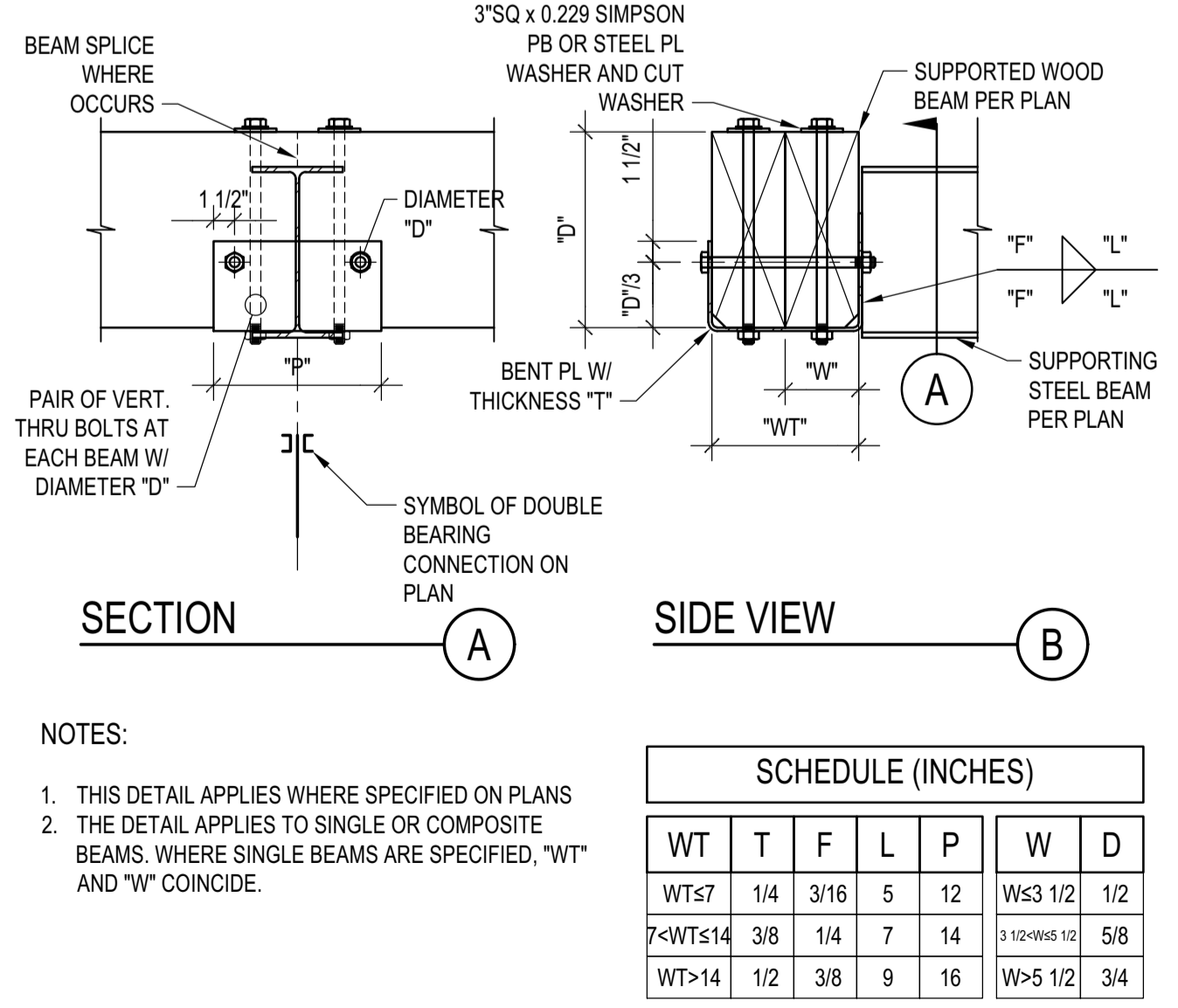
**LEDGER TO CONCRETE/CMU WALL**  
 SCALE: N.T.S.

**6**



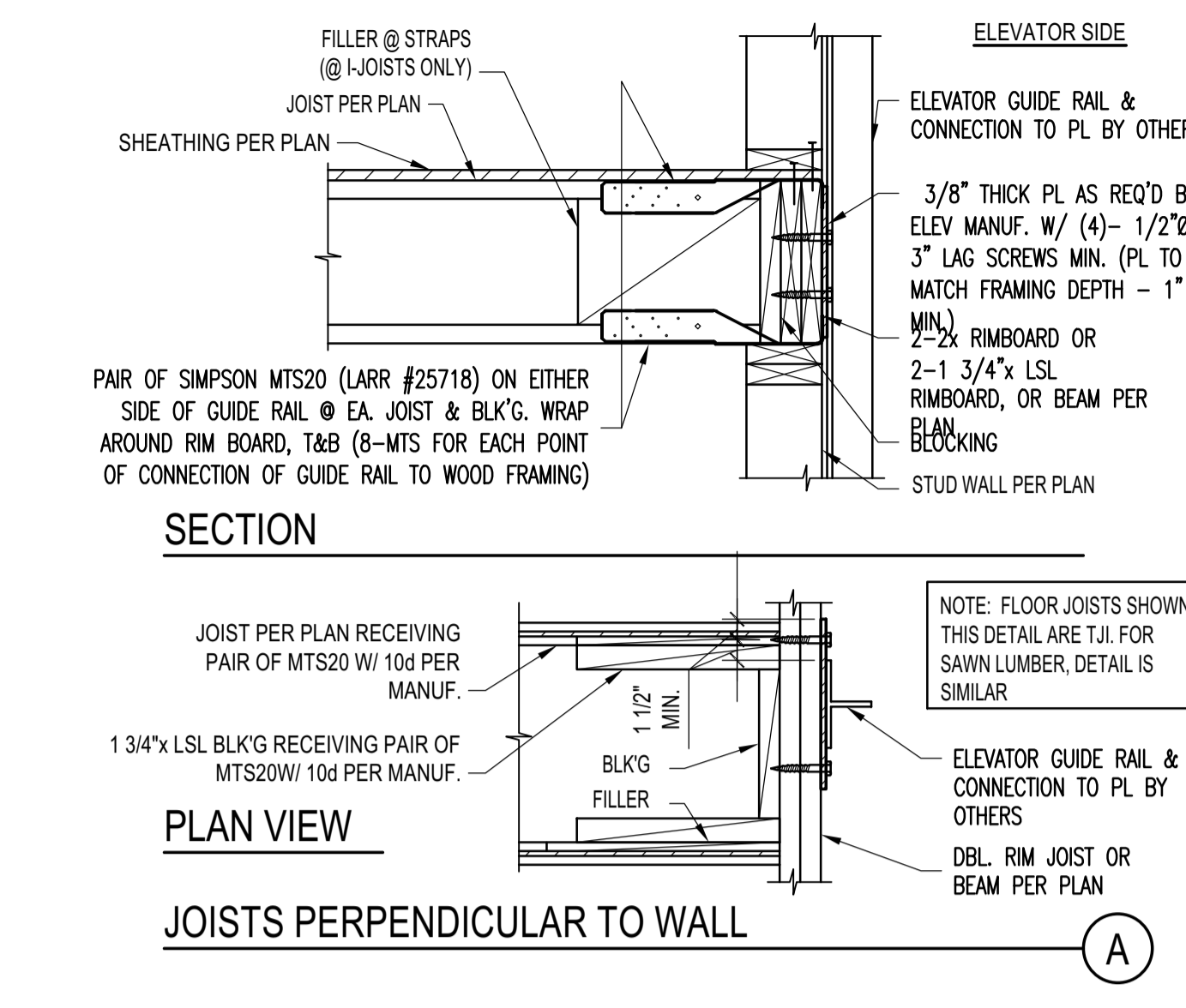
**LEDGER/NAILER ANCHOR LAYOUT**  
 SCALE: N.T.S.

**9**



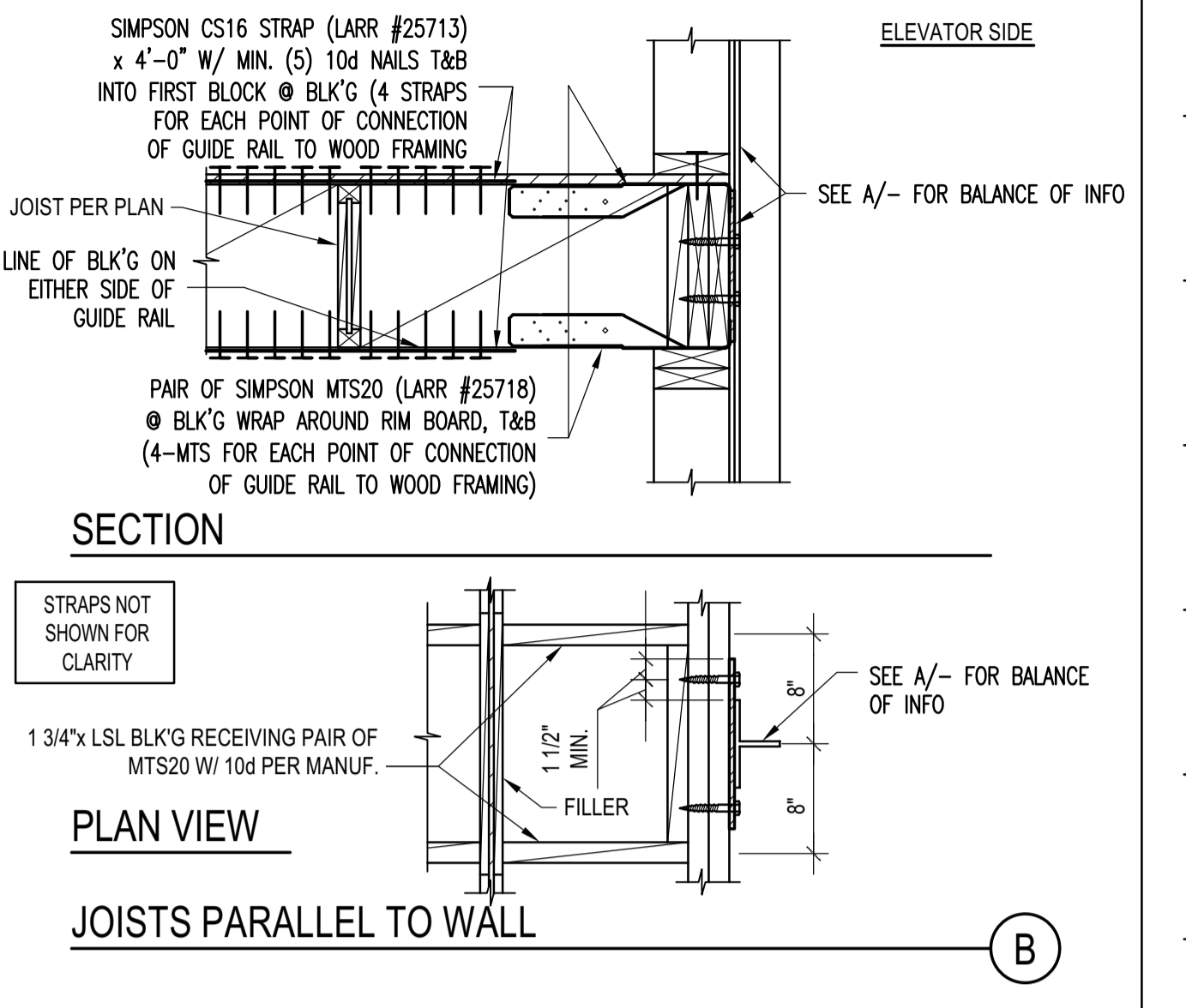
**DOUBLE BEARING CONNECTION**  
 SCALE: N.T.S.

**7**



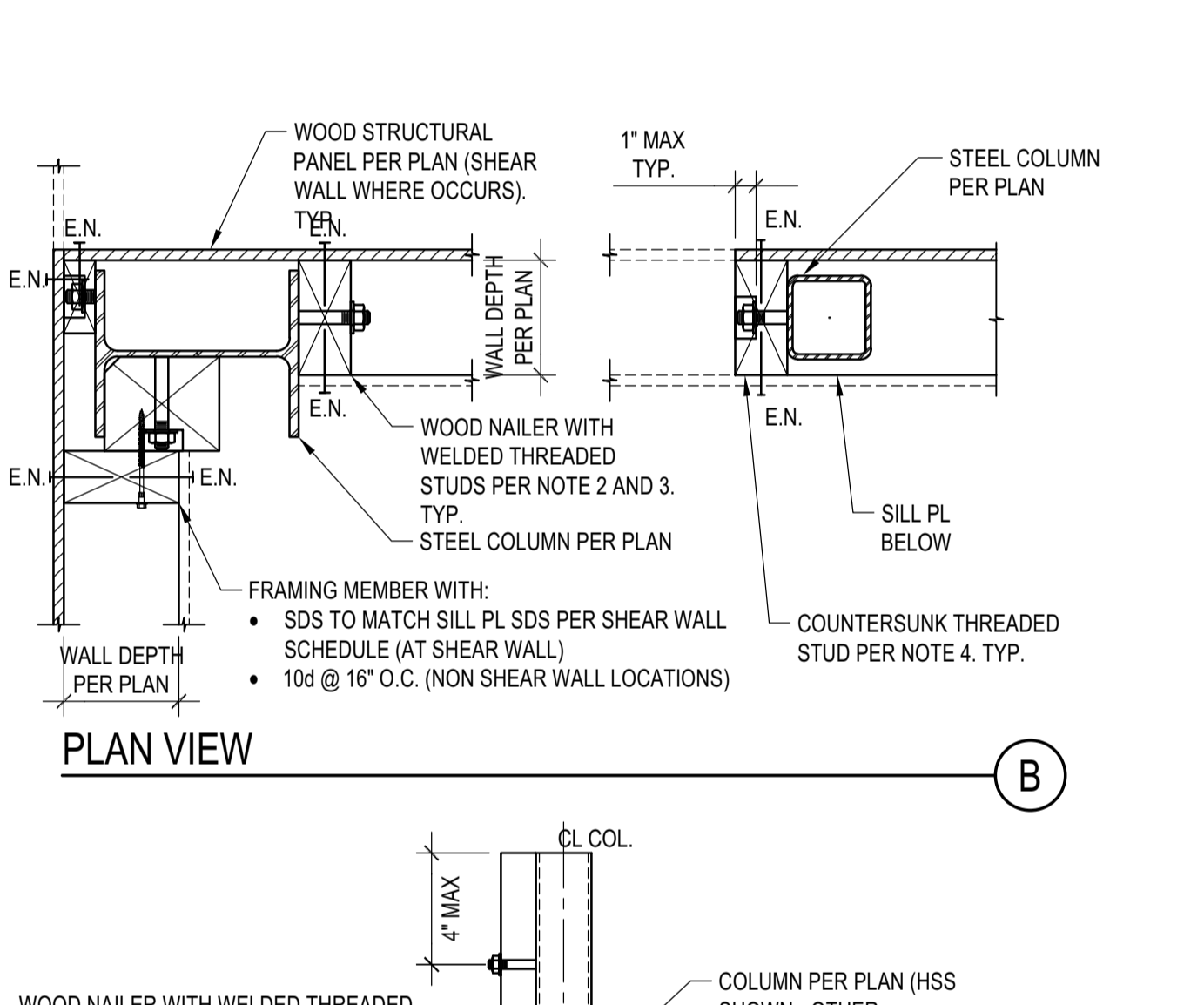
**ELEVATOR GUIDE RAIL SUPPORT DETAIL**  
 SCALE: N.T.S.

**4**



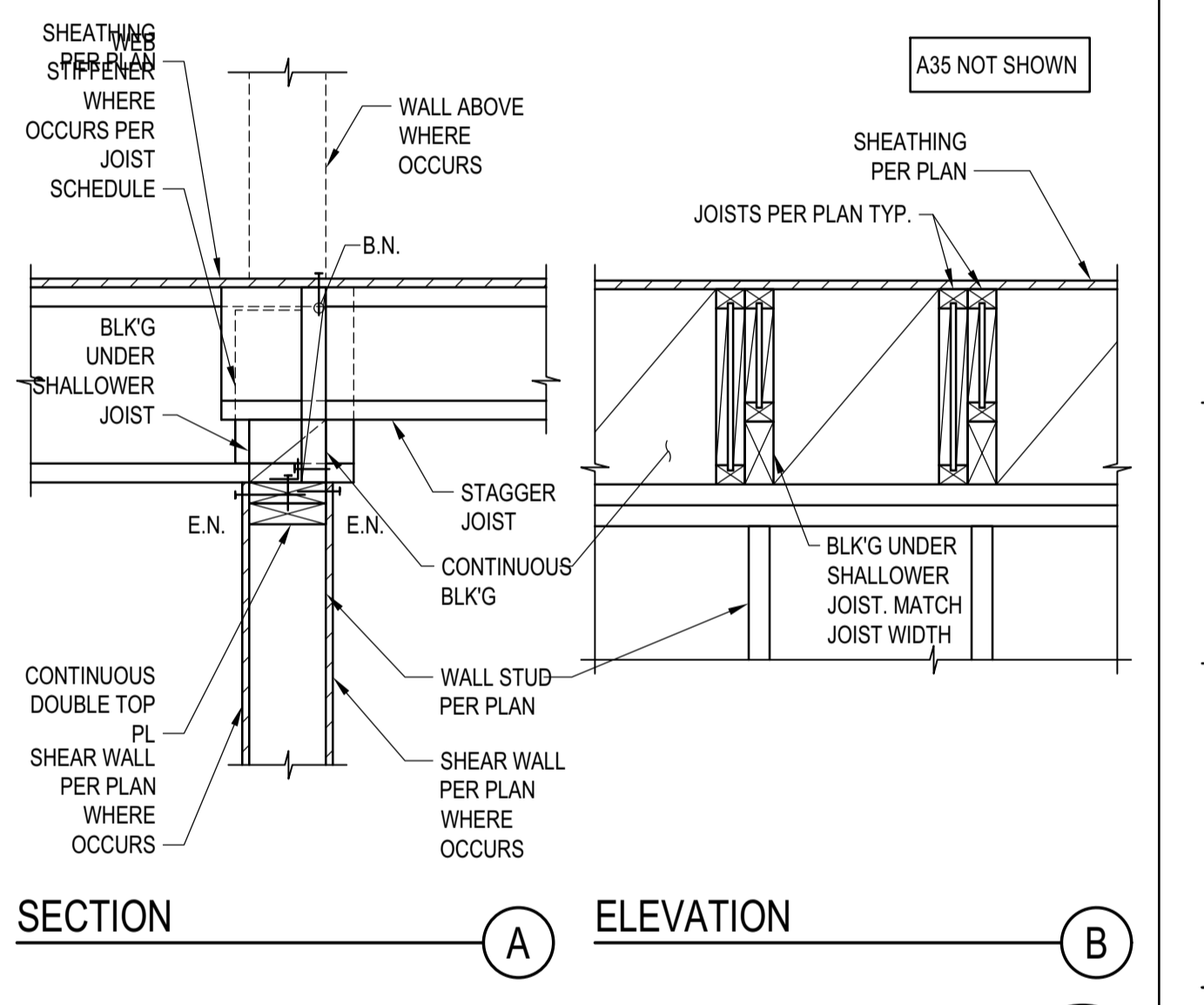
**JOIST WITH DIFFERENT DEPTH**  
 SCALE: N.T.S.

**2**



**STEEL COLUMN IN STUD WALL**  
 SCALE: N.T.S.

**4**



**TYP. KING POST DETAIL**  
 SCALE: N.T.S.

**3**

**BADGER RESIDENCE**

OWNER:  
**121 BADGER LANE LLC**  
 P.O. BOX 14001-174  
 KETCHUM, ID 83340

PROJECT ARCHITECT:  
**ROCKETT DESIGN**  
 1031 W. MANCHESTER BLVD, UNIT 6  
 INGLEWOOD, CA 90301  
 TEL: 213.784.0014

SURVEYOR & CIVIL ENGINEER:  
**GALENA ENGINEERING, INC.**  
 317 NORTH RIVER STREET  
 HAILEY, ID 83333  
 TEL: 208.788.1705

GEOTECHNICAL ENGINEER:  
**BUTLER ASSOCIATES, INC.**  
 P.O. BOX 1034  
 KETCHUM, ID 83340  
 TEL: 208.720.6432

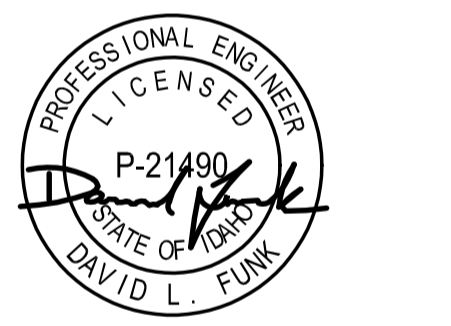
LANDSCAPE ARCHITECT:  
**BYLA**  
 323 LEWIS STREET, SUITE N  
 KETCHUM, ID 83340  
 TEL: 208.726.5907

STRUCTURAL ENGINEER:  
**LFA**  
 319 MAIN STREET  
 EL SEGUNDO, CA 90245  
 TEL: 213.239.8700  
 LFA Job #22791



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 NO DATE ISSUE

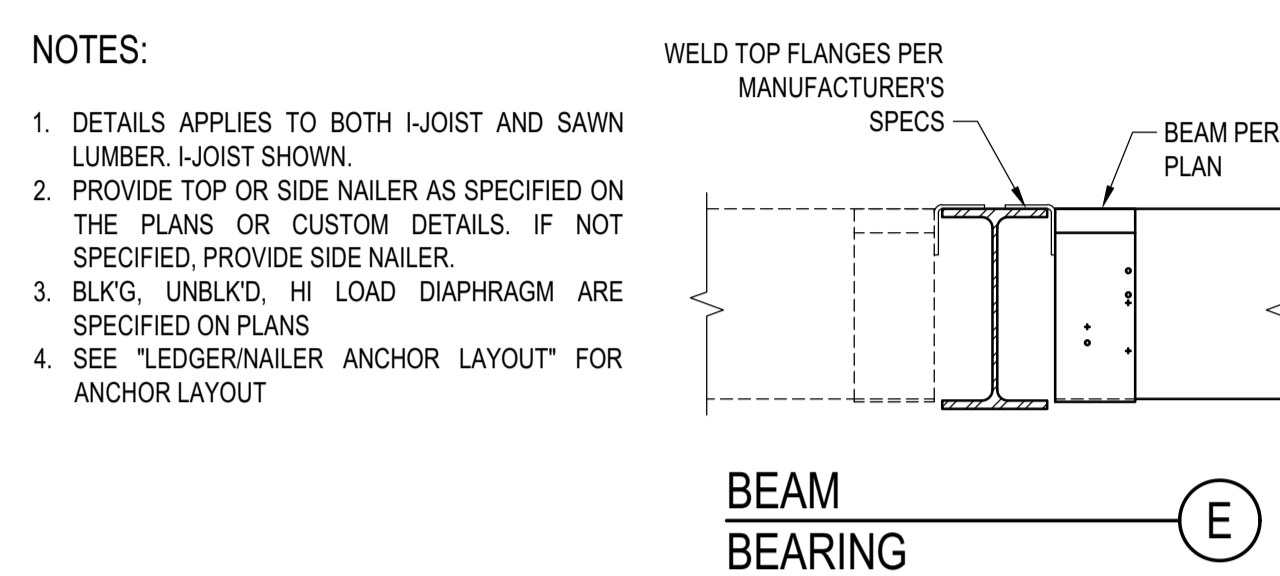
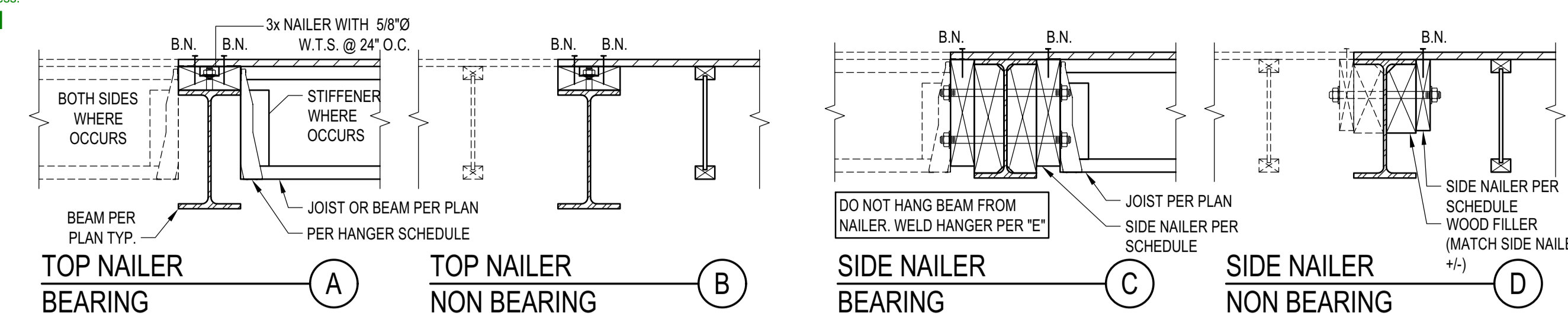
PROJECT:  
**BADGER RESIDENCE**  
 121 BADGER LANE  
 KETCHUM, ID 83340

PROJECT NUMBER  
**#2201**

DRAWING TITLE:  
**TYPICAL DETAILS - WOOD**

DRAWING NUMBER:  
**S-038**





**ASSEMBLIES:**

- NON OCCUPIED ROOFS WITH MAX 1" GRAVEL AND WITHOUT GARDEN ROOF
- THIS ASSEMBLY INCLUDES:
  - NON OCCUPIED ROOFS WITH MORE THAN 1" AND UP TO 3" GRAVEL
  - NON OCCUPIED GARDEN ROOF ASSEMBLIES UP TO 6"
  - SINGLE FAMILY FLOORS AND DECKS
- ALL CASES NOT COVERED IN I. OR II.

**SCHEDULE LEGEND**

3x	2	3/4	12
----	---	-----	----

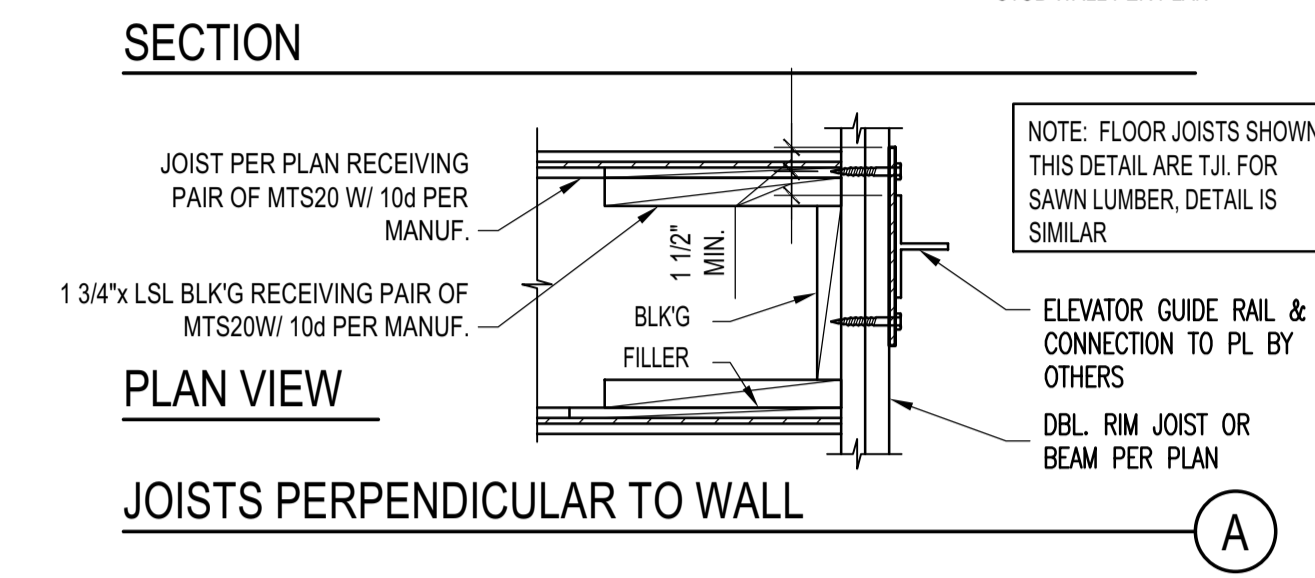
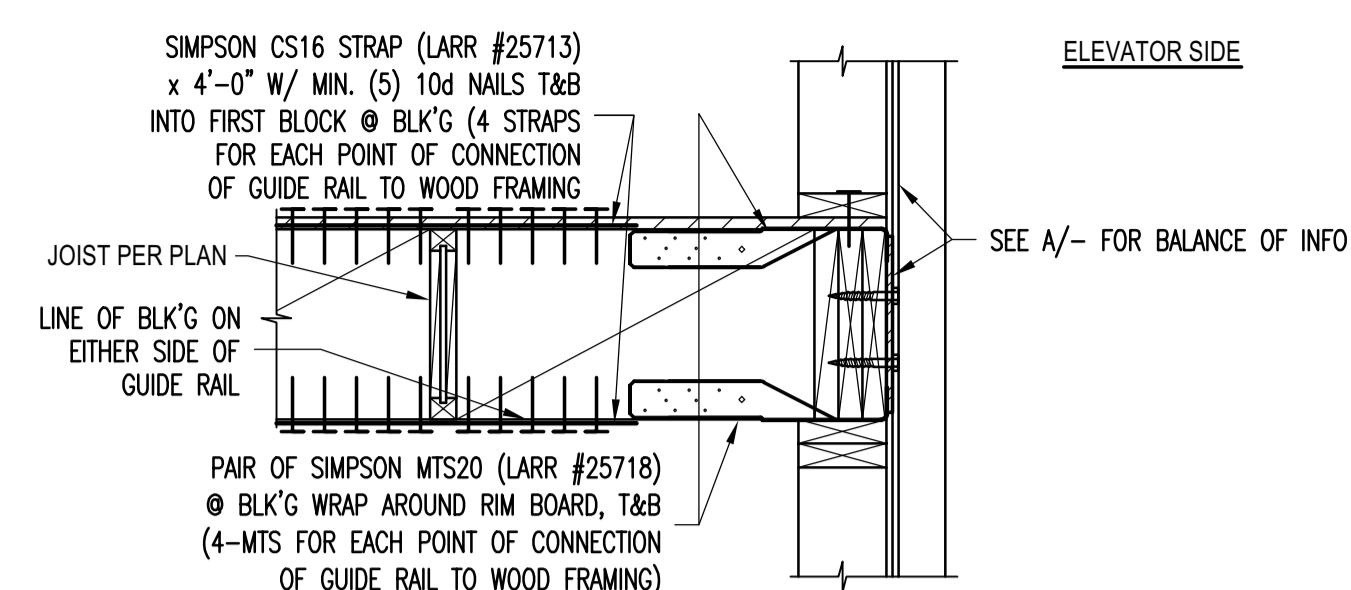
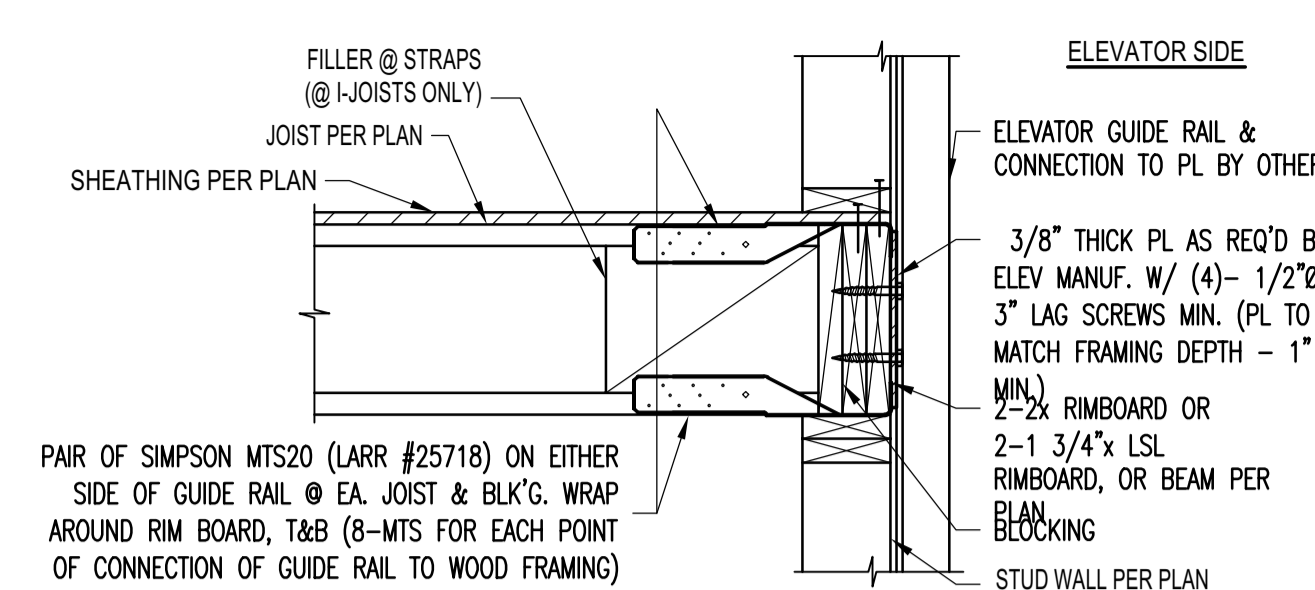
**ASSEMBLY SCHEDULES:**

MAX JOIST SPAN	SIDE NAILER - BEARING		
	ASSEMBLY I.	ASSEMBLY II.	ASSEMBLY III.
12'-0"	3x 1 5/8 24	3x 1 3/4 12	3x 2 3/4 16
18'-0"	3x 1 5/8 16	3x 2 3/4 16	3x 3 3/4 16
24'-0"	3x 1 5/8 12	3x 2 3/4 12	3x 2 3/4 8
30'-0"	3x 2 5/8 16	3x 3 3/4 16	3x 3 3/4 8
36'-0"	3x 2 5/8 16	3x 2 3/4 8	3x 3 3/4 8

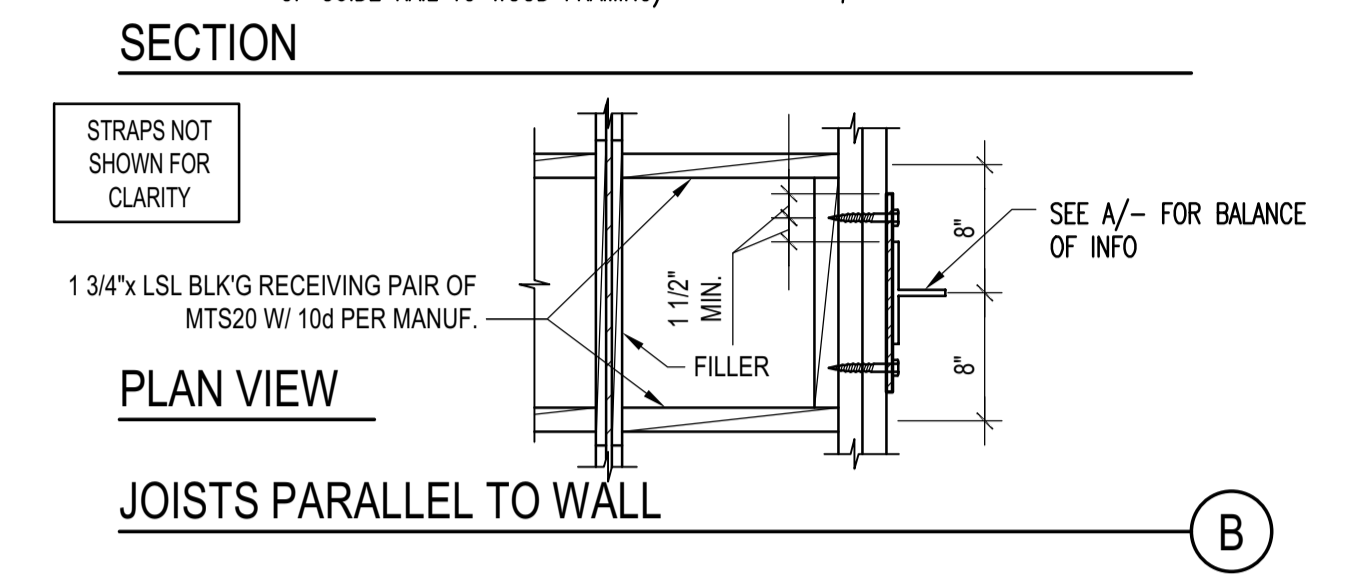
**SIDE NAILER - NOT BEARING**

DIAPHRAGM TYPE	SIDE NAILER		
	ASSEMBLY I.	ASSEMBLY II.	ASSEMBLY III.
BLK'D/UNBLK'D <sup>(1)</sup>	2x 1 5/8 24	2x 1 3/4 12	2x 2 3/4 16
HIGH LOAD <sup>(2)</sup>	3x 1 3/4 12	3x 2 3/4 16	3x 3 3/4 16

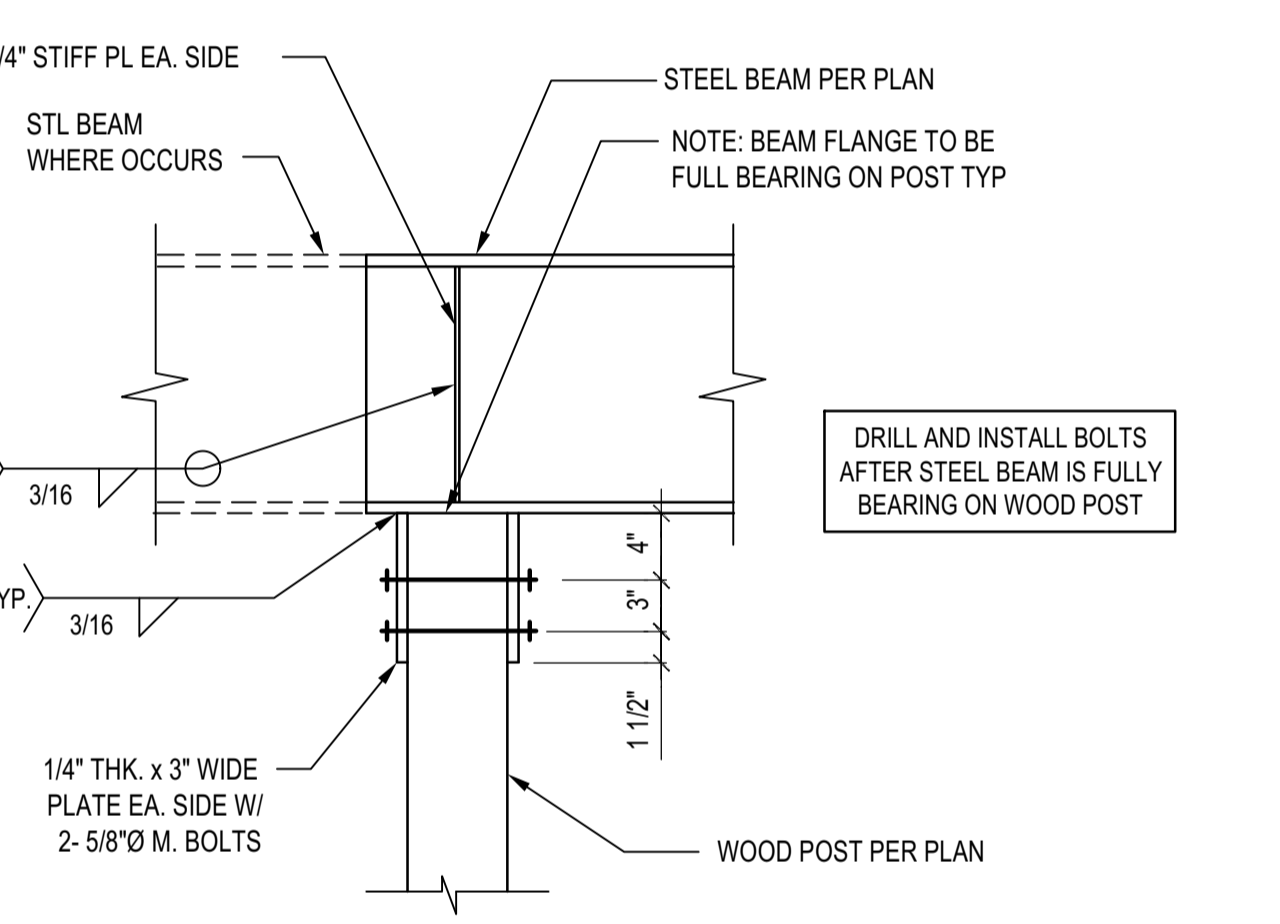
**STEEL BEAM IN WOOD FRAMING**  
 SCALE: N.T.S.



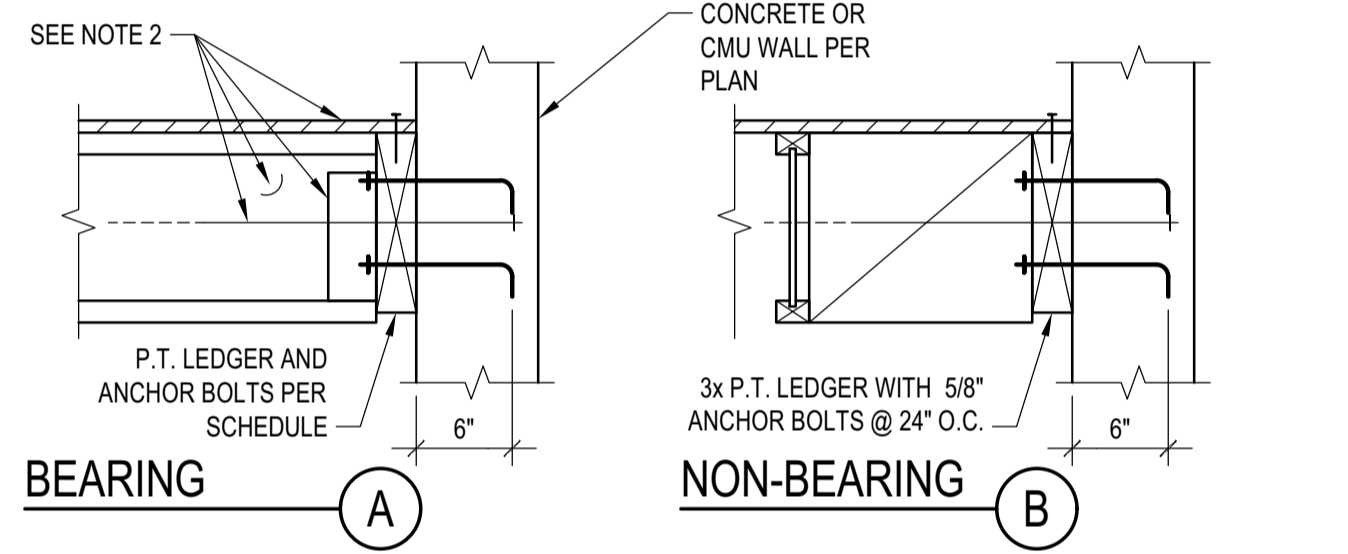
**ELEVATOR GUIDE RAIL SUPPORT DETAIL**  
 SCALE: N.T.S.



**ELEVATOR GUIDE RAIL SUPPORT DETAIL**  
 SCALE: N.T.S.



**STL BEAM TO ISOLATED WOOD POST CONNECTION**  
 SCALE: N.T.S.



**ASSEMBLIES:**

- NON OCCUPIED ROOFS WITH MAX 1" GRAVEL AND WITHOUT GARDEN ROOF
- THIS ASSEMBLY INCLUDES:
  - NON OCCUPIED ROOFS WITH MORE THAN 1" AND UP TO 3" GRAVEL
  - NON OCCUPIED GARDEN ROOF ASSEMBLIES UP TO 6"
  - SINGLE FAMILY FLOORS AND DECKS
- ALL CASES NOT COVERED IN I. OR II.

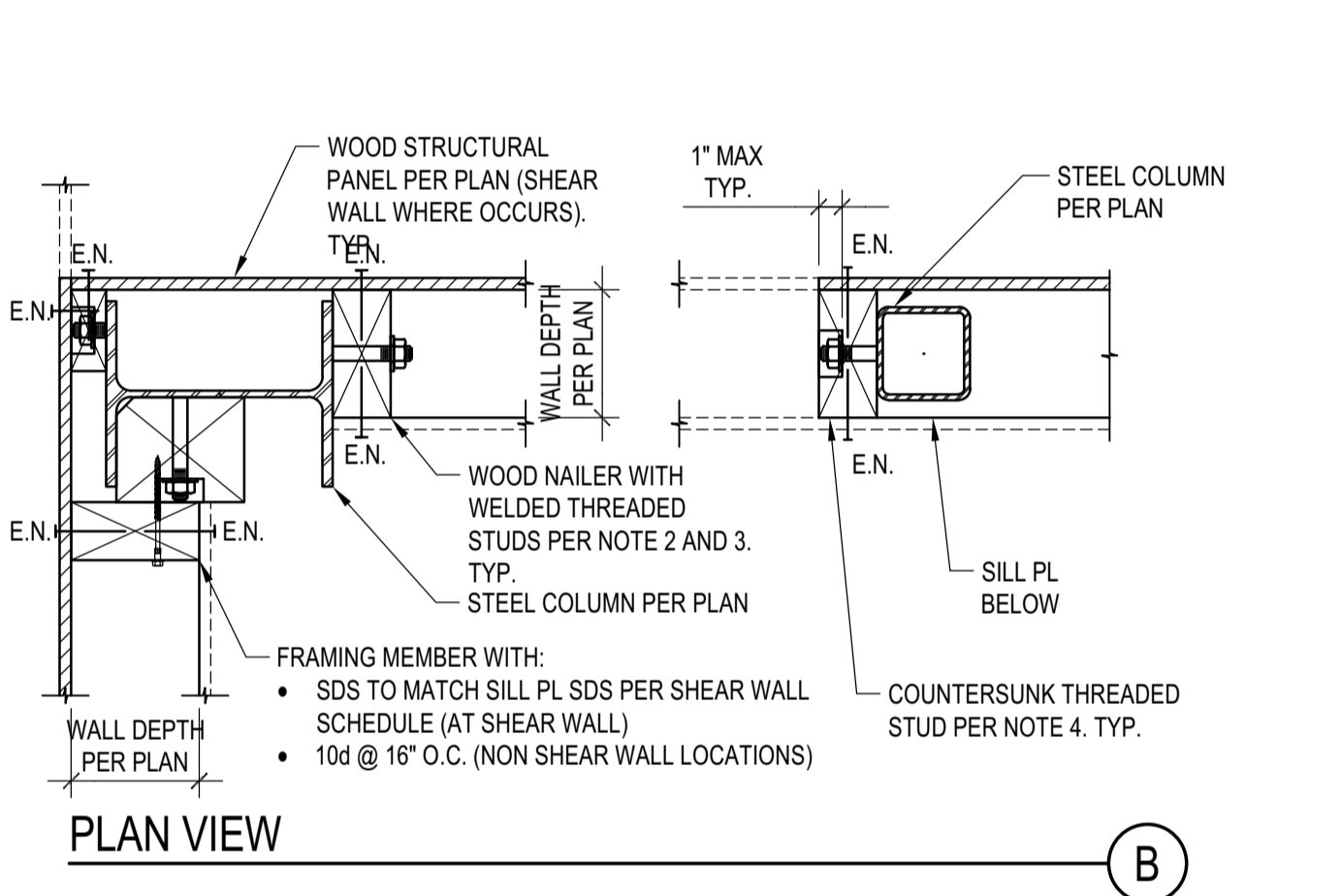
**SCHEDULE LEGEND**

3x	2	3/4	12
----	---	-----	----

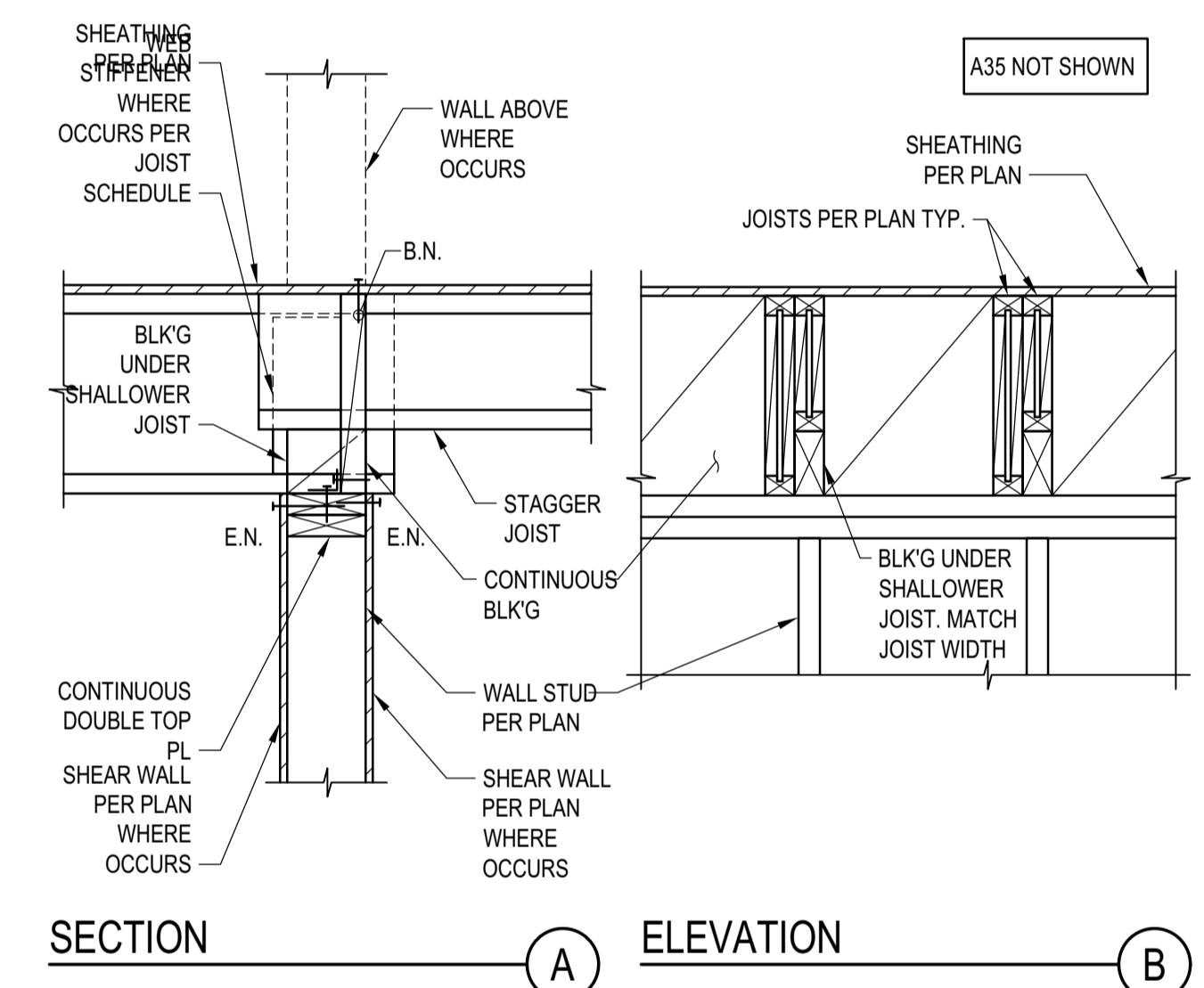
**BEARING LEDGER SCHEDULE**

MAX JOIST SPAN	BEARING LEDGER SCHEDULE		
	ASSEMBLY I.	ASSEMBLY II.	ASSEMBLY III.
12'-0"	3x 1 5/8 24	3x 1 3/4 16	3x 2 3/4 16
18'-0"	3x 1 5/8 16	3x 2 3/4 16	3x 3 3/4 16
24'-0"	3x 1 5/8 12	3x 2 3/4 12	3x 2 3/4 8
30'-0"	3x 2 5/8 16	3x 3 3/4 16	3x 3 3/4 8
36'-0"	3x 2 5/8 16	3x 3 3/4 8	3x 3 3/4 8

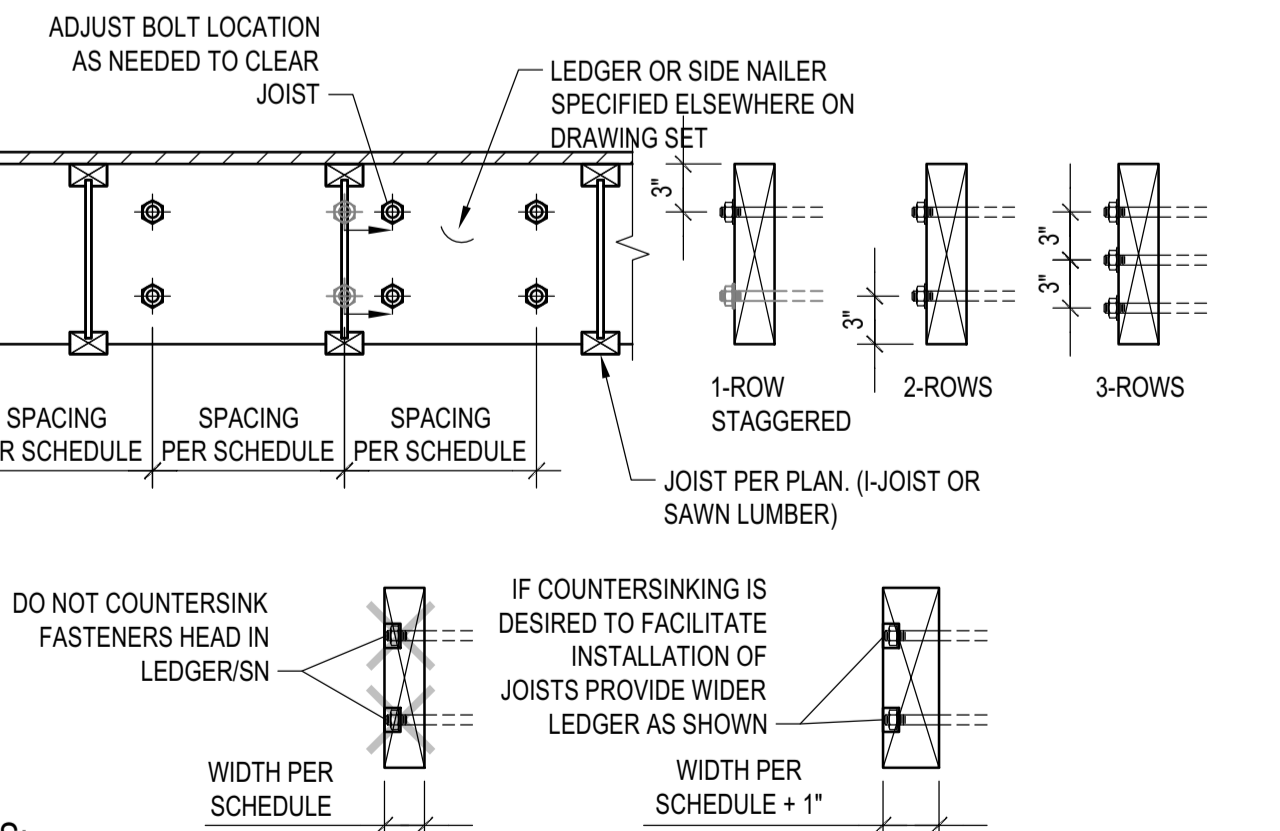
**LEDGER TO CONCRETE/CMU WALL**  
 SCALE: N.T.S.



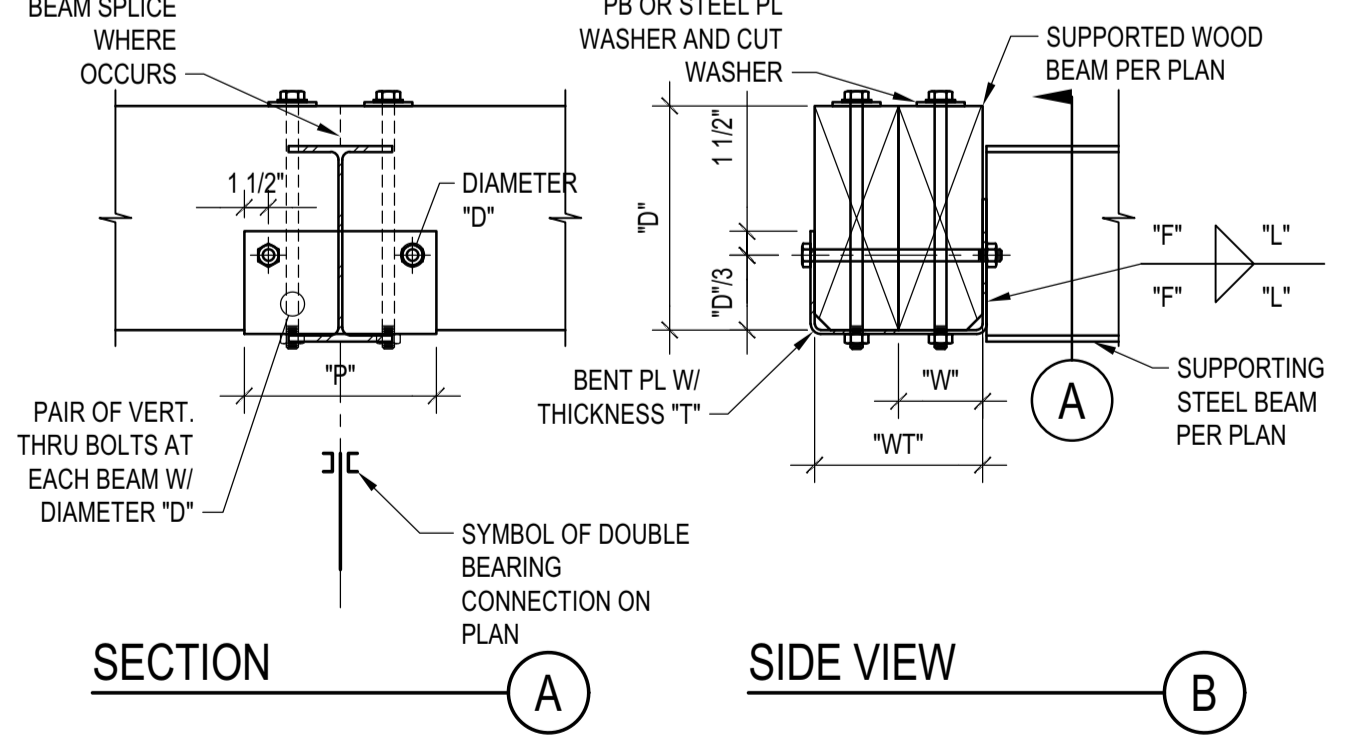
**DOUBLE BEARING CONNECTION**  
 SCALE: N.T.S.



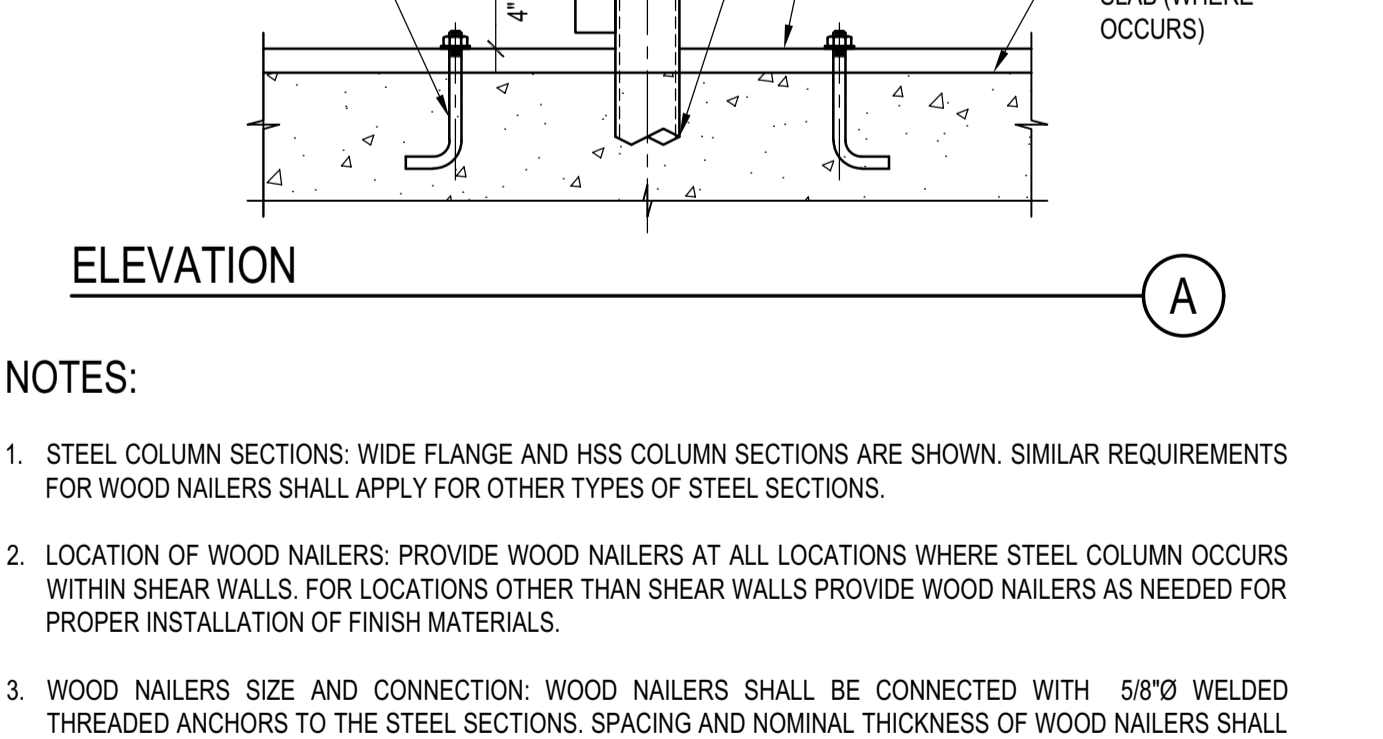
**JOIST WITH DIFFERENT DEPTH**  
 SCALE: N.T.S.



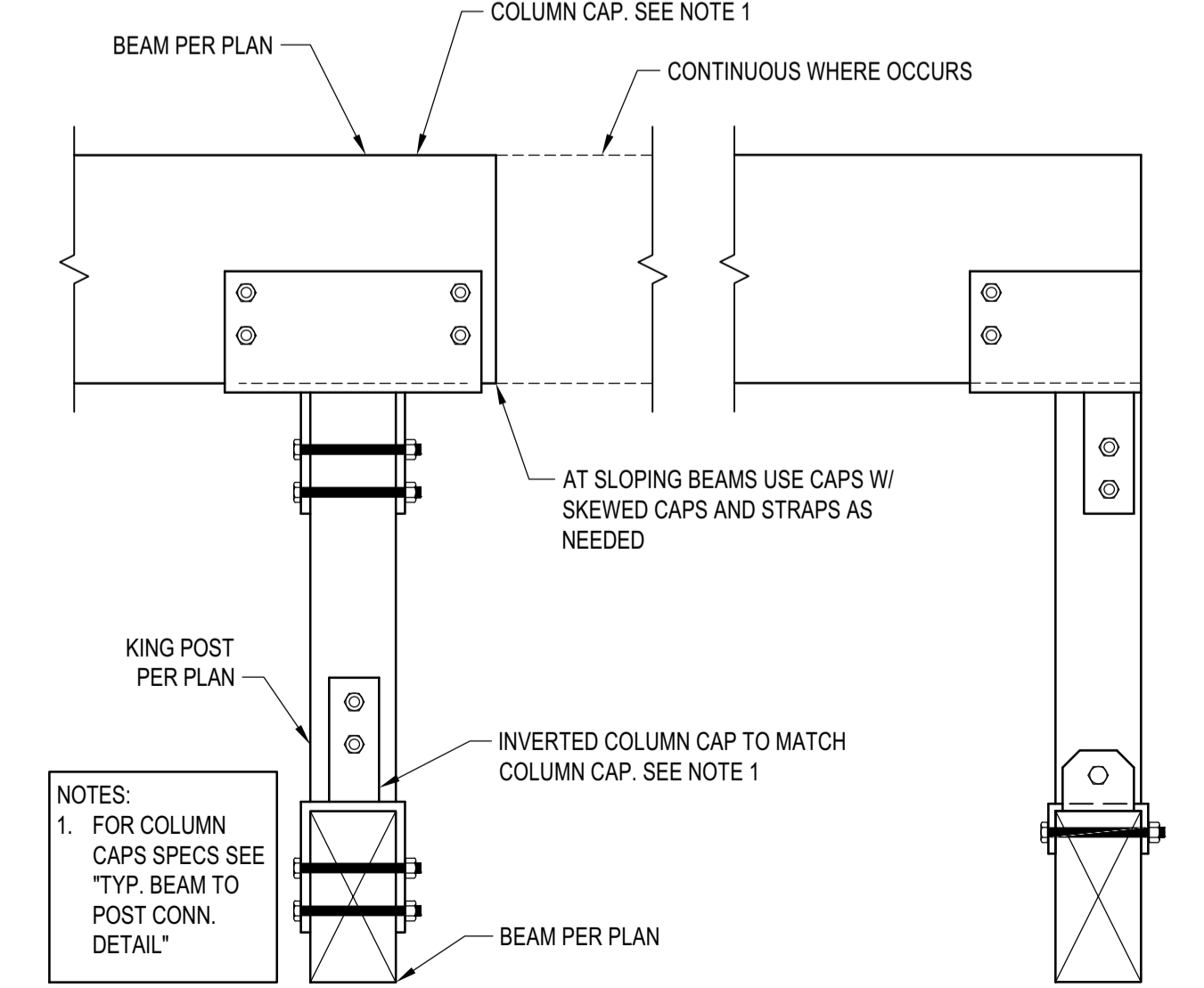
**LEDGER/NAILER ANCHOR LAYOUT**  
 SCALE: N.T.S.



**STEEL COLUMN IN STUD WALL**  
 SCALE: N.T.S.



**TYP. KING POST DETAIL**  
 SCALE: N.T.S.



**TYP. KING POST DETAIL**  
 SCALE: N.T.S.

**BADGER RESIDENCE**

OWNER:  
**121 BADGER LANE LLC**  
 P.O. BOX 14001-174  
 KETCHUM, ID 83340

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GEOTECHNICAL ENGINEER:  
**BUTLER ASSOCIATES, INC.**  
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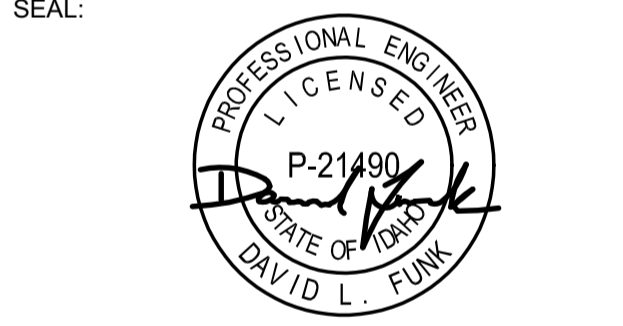
LANDSCAPE ARCHITECT:  
**BYLA**  
 323 LEWIS STREET, SUITE N  
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STRUCTURAL ENGINEER:  
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 LFA Job #22791



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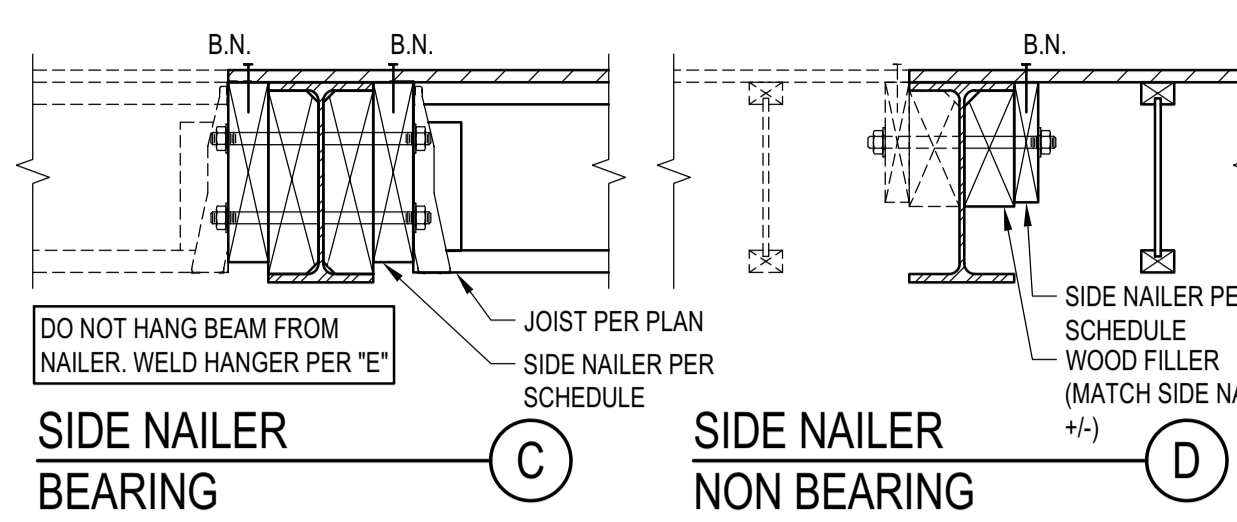
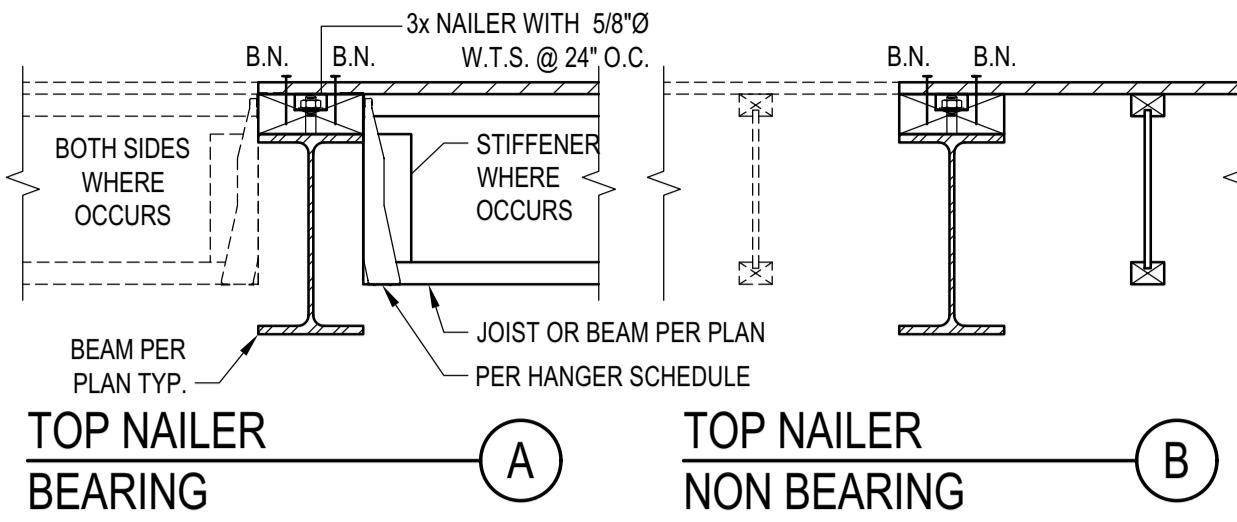
02/24/23 PC SUBMITTAL  
 NO DATE ISSUE

PROJECT:  
**BADGER RESIDENCE**  
 121 BADGER LANE  
 KETCHUM, ID 83340

PROJECT NUMBER  
**#2201**

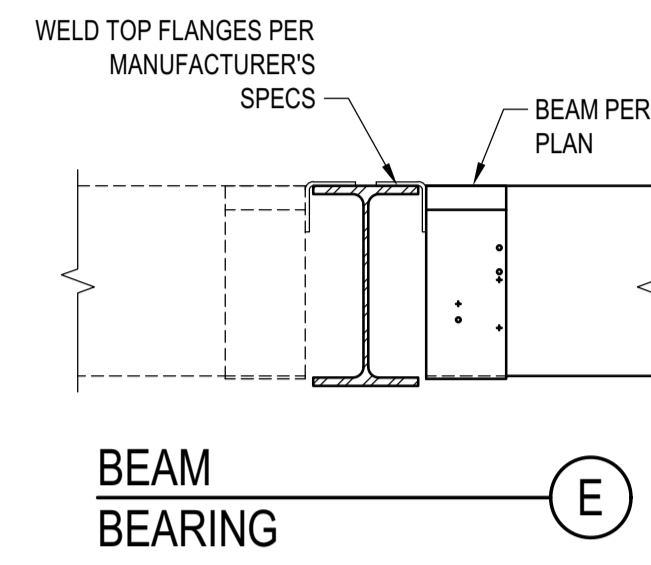
DRAWING TITLE:  
**TYPICAL DETAILS - WOOD**

DRAWING NUMBER:  
**S-039**



**NOTES:**

1. DETAILS APPLIES TO BOTH I-JOIST AND SAW LUMBER. I-JOIST SHOWN.
2. PROVIDE TOP OR SIDE NAILER AS SPECIFIED ON THE PLANS OR CUSTOM DETAILS. IF NOT SPECIFIED, PROVIDE SIDE NAILER.
3. BLK'G, UNBLKD. HI LOAD DIAPHRAGM ARE SPECIFIED ON PLANS
4. SEE "LEDGER/NAILER ANCHOR LAYOUT" FOR ANCHOR LAYOUT



MAX JOIST SPAN	SIDE NAILER - BEARING		
	ASSEMBLY I.	ASSEMBLY II.	ASSEMBLY III.
12'-0"	3x 1 5/8 24	3x 1 3/4 12	3x 2 3/4 16
18'-0"	3x 1 5/8 16	3x 2 3/4 16	3x 3 3/4 16
24'-0"	3x 1 5/8 12	3x 2 3/4 12	3x 2 3/4 8
30'-0"	3x 2 5/8 16	3x 3 3/4 16	3x 3 3/4 8
36'-0"	3x 2 5/8 16	3x 2 3/4 8	3x 3 3/4 8

DIAPHRAGM TYPE	SIDE NAILER		
	BLK'D/UNBLKD <sup>(1)</sup>	DEPTH TO MATCH STEEL BEAM DEPTH, BUT NEEDS NOT EXCEED 8" NOMINAL	
HIGH LOAD <sup>(2)</sup>	3x 1 5/8 24		
	3x 1 3/4 12		

**ASSEMBLIES:**

- I. NON OCCUPIED ROOFS WITH MAX 1" GRAVEL AND WITHOUT GARDEN ROOF
- II. THIS ASSEMBLY INCLUDES
  - NON OCCUPIED ROOFS WITH MORE THAN 1" AND UP TO 3" GRAVEL
  - NON OCCUPIED GARDEN ROOF ASSEMBLIES UP TO 6"
  - SINGLE FAMILY FLOORS AND DECKS
- III. ALL CASES NOT COVERED IN I. OR II.

**SCHEDULE LEGEND**

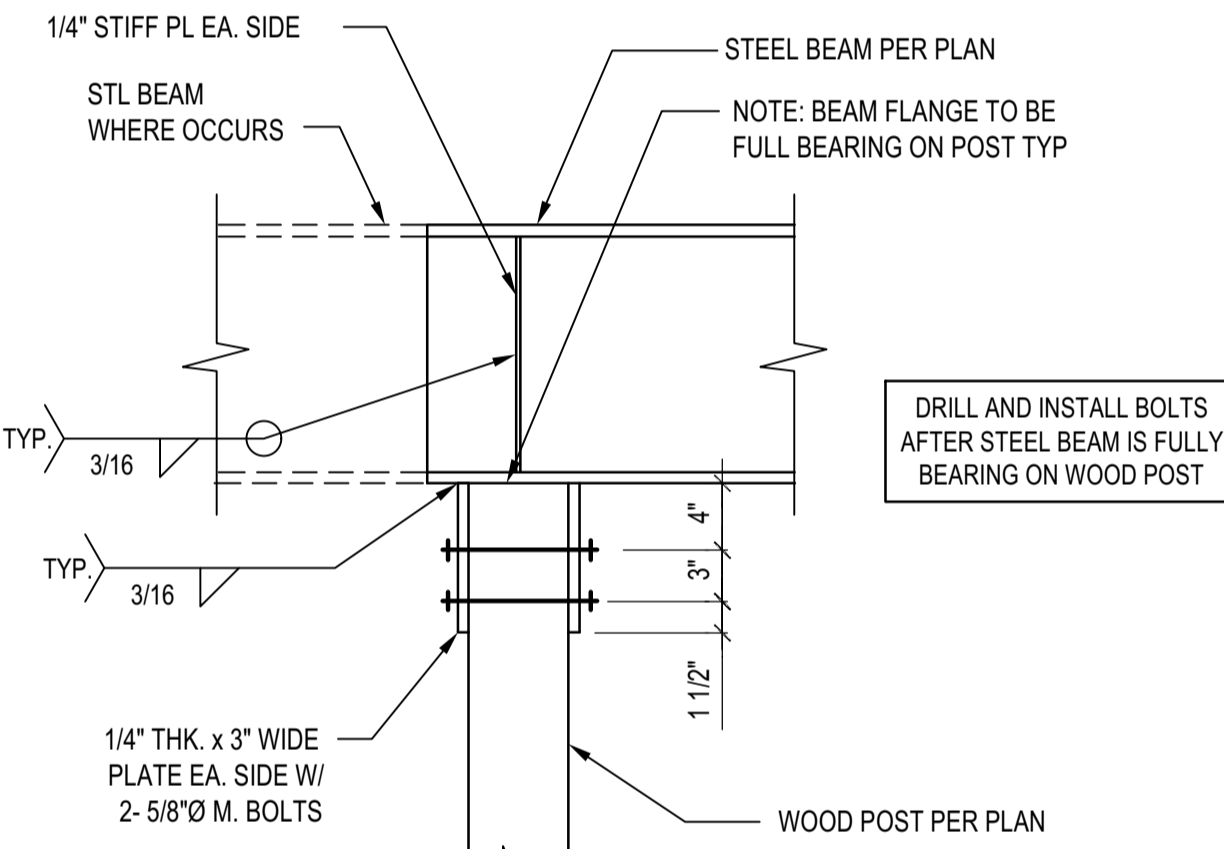
3x	2	3/4	12
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SIDE NAILER  
 ROWS OF FASTENERS  
 FASTENER DIAMETER  
 FASTENER SPACING

**STEEL BEAM IN WOOD FRAMING**

SCALE: N.T.S.

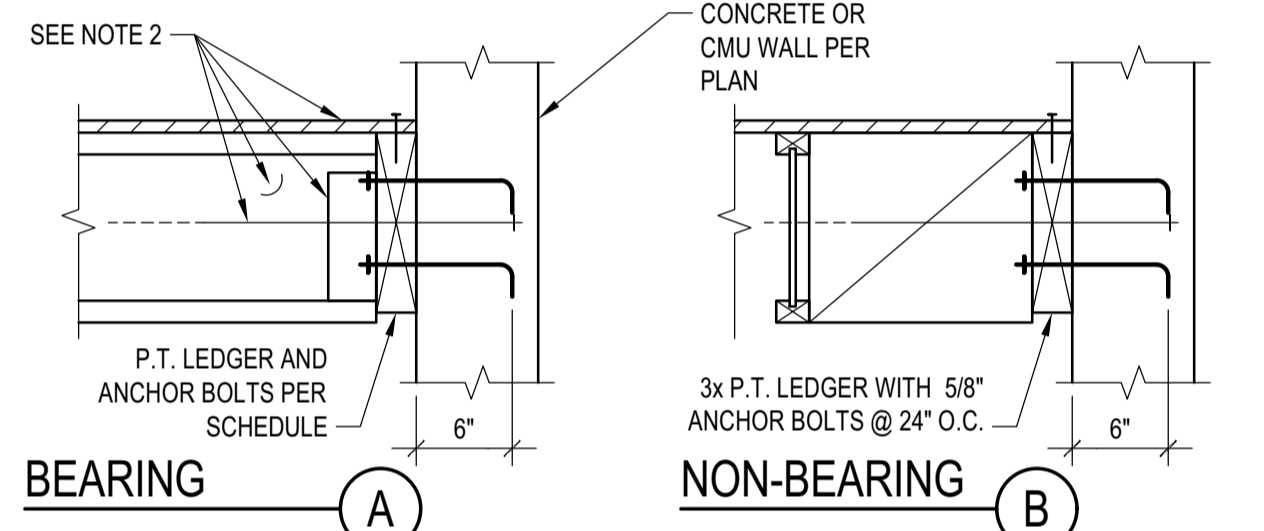
5



**STL BEAM TO ISOLATED WOOD POST CONNECTION**

SCALE: N.T.S.

8



MAX JOIST SPAN	BEARING LEDGER SCHEDULE		
	ASSEMBLY I.	ASSEMBLY II.	ASSEMBLY III.
12'-0"	3x 1 5/8 24	3x 1 3/4 16	3x 2 3/4 16
18'-0"	3x 1 5/8 16	3x 2 3/4 16	3x 3 3/4 16
24'-0"	3x 1 5/8 12	3x 2 3/4 12	3x 3 3/4 8
30'-0"	3x 1 5/8 12	3x 3 3/4 16	3x 2 3/4 8
36'-0"	3x 2 5/8 16	3x 3 3/4 16	3x 3 3/4 8

**ASSEMBLIES:**

- I. NON OCCUPIED ROOFS WITH MAX 1" GRAVEL AND WITHOUT GARDEN ROOF
- II. THIS ASSEMBLY INCLUDES
  - NON OCCUPIED ROOFS WITH MORE THAN 1" AND UP TO 3" GRAVEL
  - NON OCCUPIED GARDEN ROOF ASSEMBLIES UP TO 6"
  - SINGLE FAMILY FLOORS AND DECKS
- III. ALL CASES NOT COVERED IN I. OR II.

**SCHEDULE LEGEND**

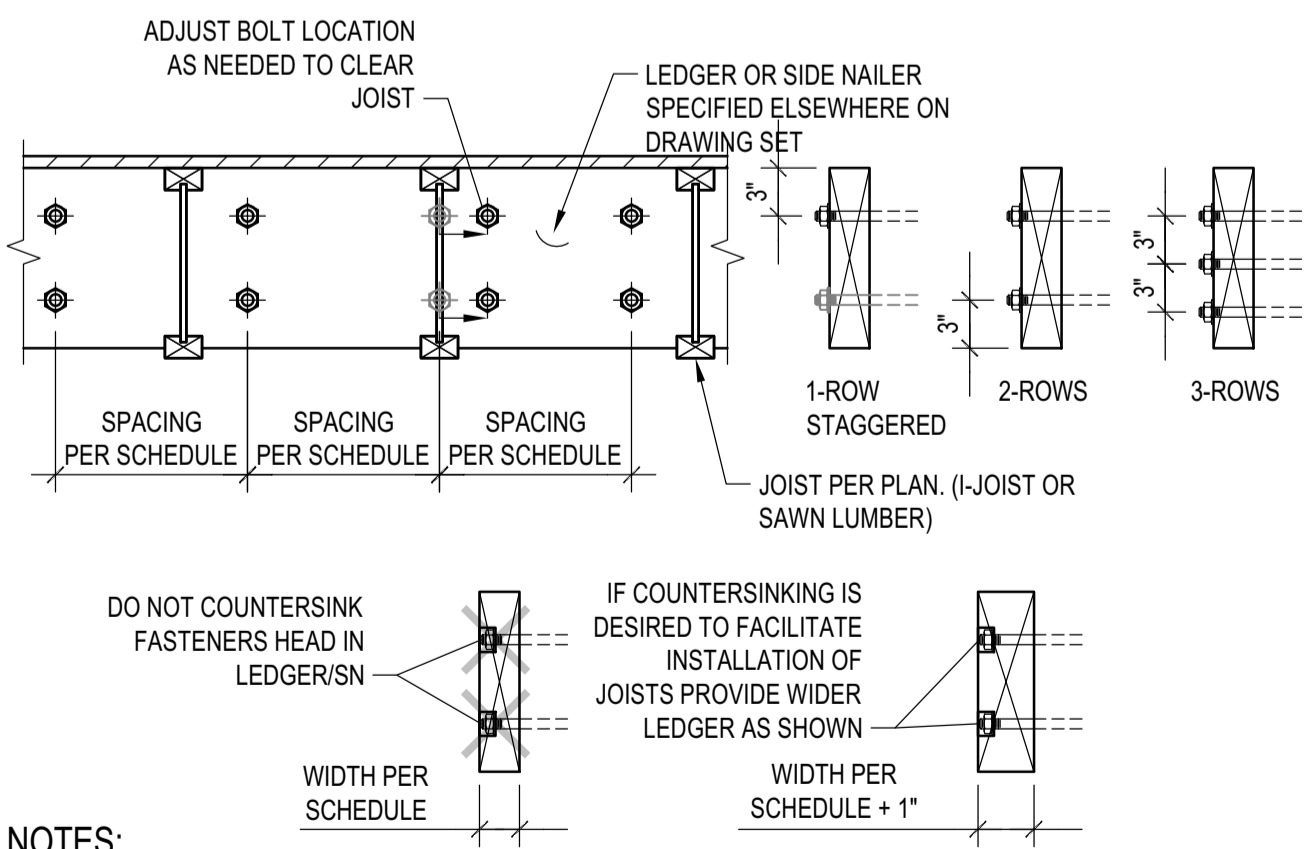
3x	2	3/4	12
----	---	-----	----

LEDGER  
 FASTENER DIAMETER  
 FASTENER SPACING

**LEDGER TO CONCRETE/CMU WALL**

SCALE: N.T.S.

6



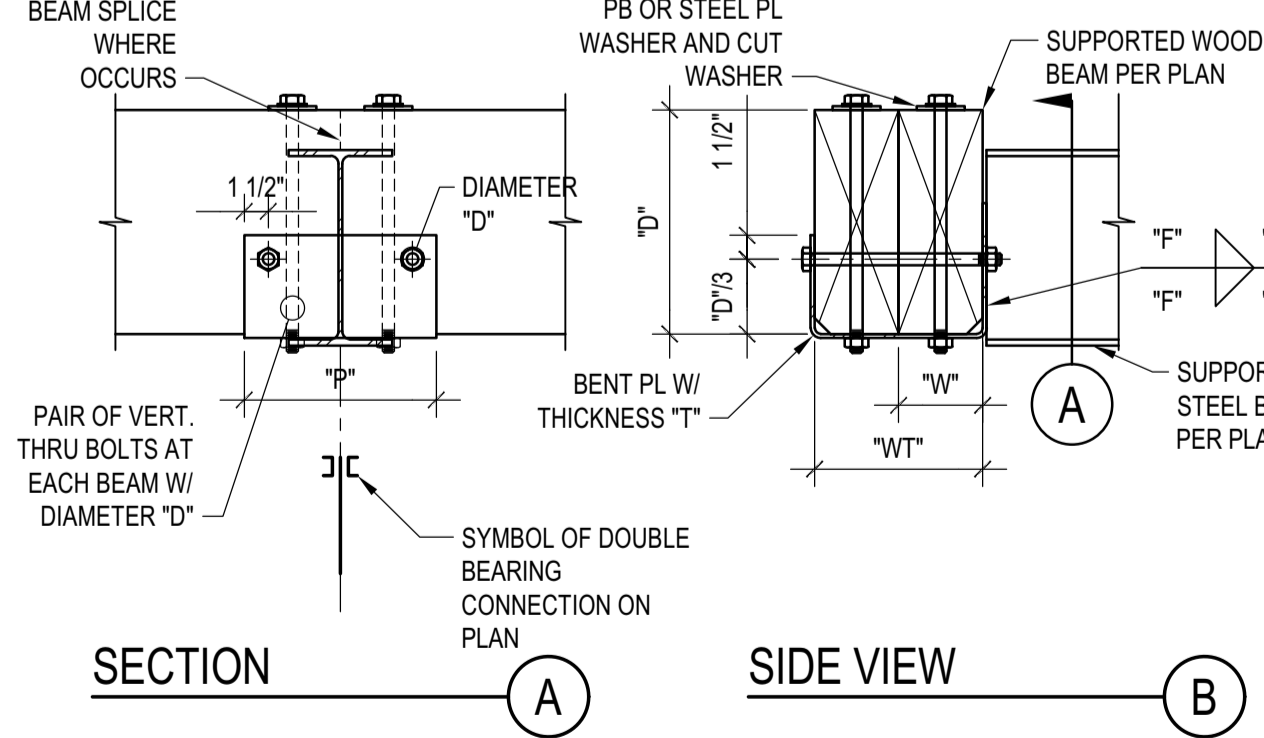
**NOTES:**

1. THIS DETAIL ADDRESSES LAYOUT OF ANCHOR BOLTS AND WELDED THREADED STUDS IN LEDGER AND SIDE NAILERS RESPECTIVELY. SIZE AND SPACING OF A.B. AND W.T.S. ARE PER SCHEDULES.
2. COORDINATE JOISTS LOCATION WITH FASTENER NUT. DO NOT COUNTERSINK LEDGER/SIDE NAILER. ALTERNATIVELY, PROVIDE 1" WIDER LEDGER/SIDE NAILER THAT WHAT SPECIFIED ON SCHEDULE AND PROVIDE COUNTERSUNK HOLES.
3. LEDGER DEPTH SHALL BE GREATER THAN JOIST DEPTH AND DEPTH NEEDED TO INSTALL FASTENERS.

**LEDGER/NAILER ANCHOR LAYOUT**

SCALE: N.T.S.

9



**NOTES:**

1. THIS DETAIL APPLIES WHERE SPECIFIED ON PLANS
2. THE DETAIL APPLIES TO SINGLE OR COMPOSITE BEAMS. WHERE SINGLE BEAMS ARE SPECIFIED, "WT" AND "W" COINCIDE.

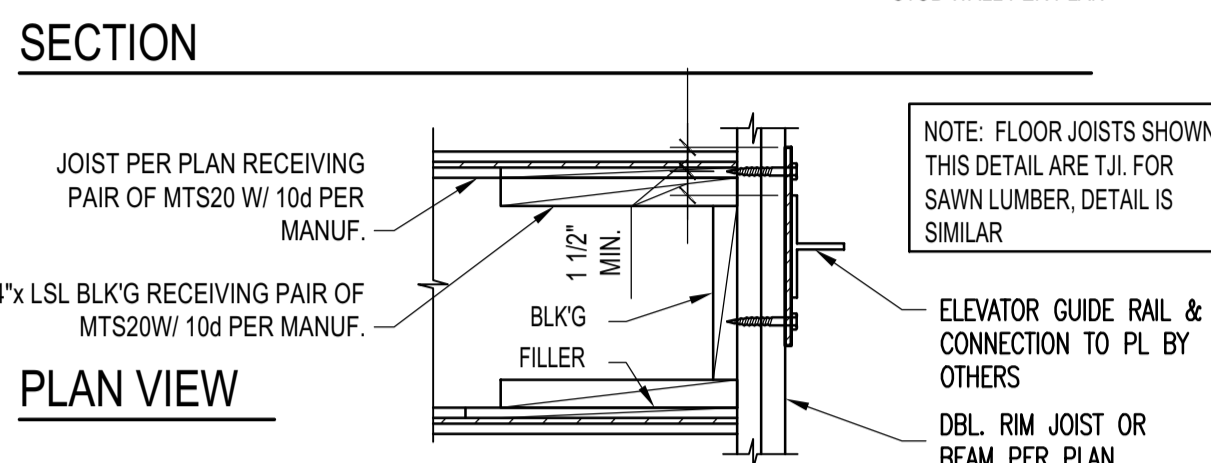
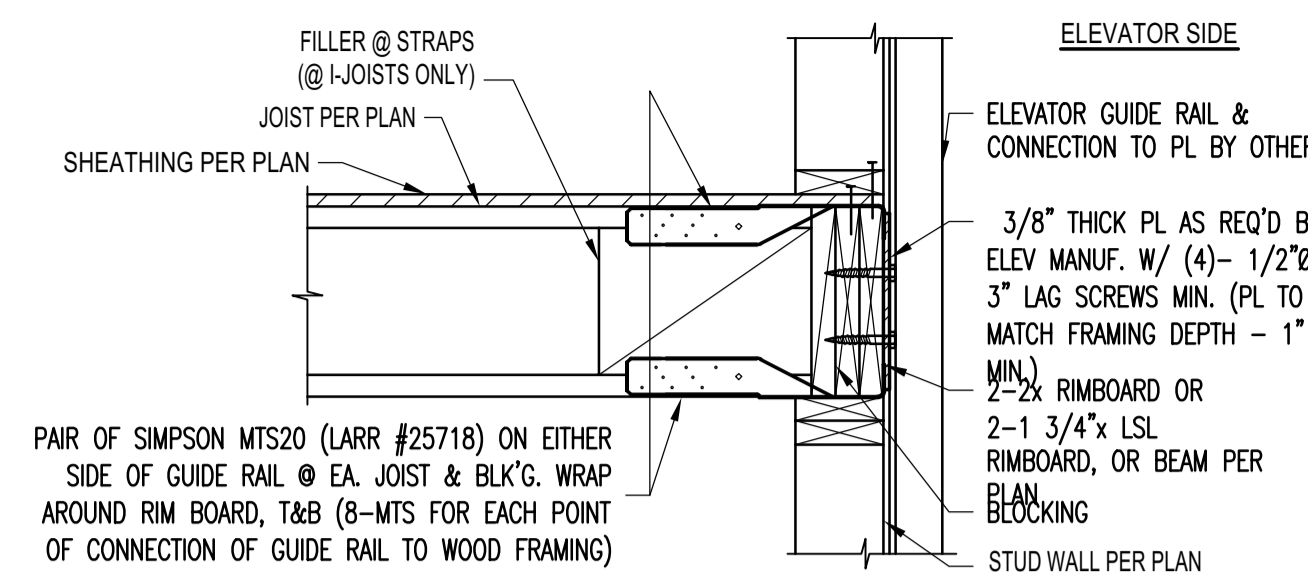
**SCHEDULE (INCHES)**

WT	T	F	L	P	W	D
WT5	1/4	3/16	5	12	W3	1/2 1/2
7<WT5	3/8	1/4	7	14	3 1/2x3 1/2	5/8
WT-14	1/2	3/8	9	16	W-5	1/2 3/4

**DOUBLE BEARING CONNECTION**

SCALE: N.T.S.

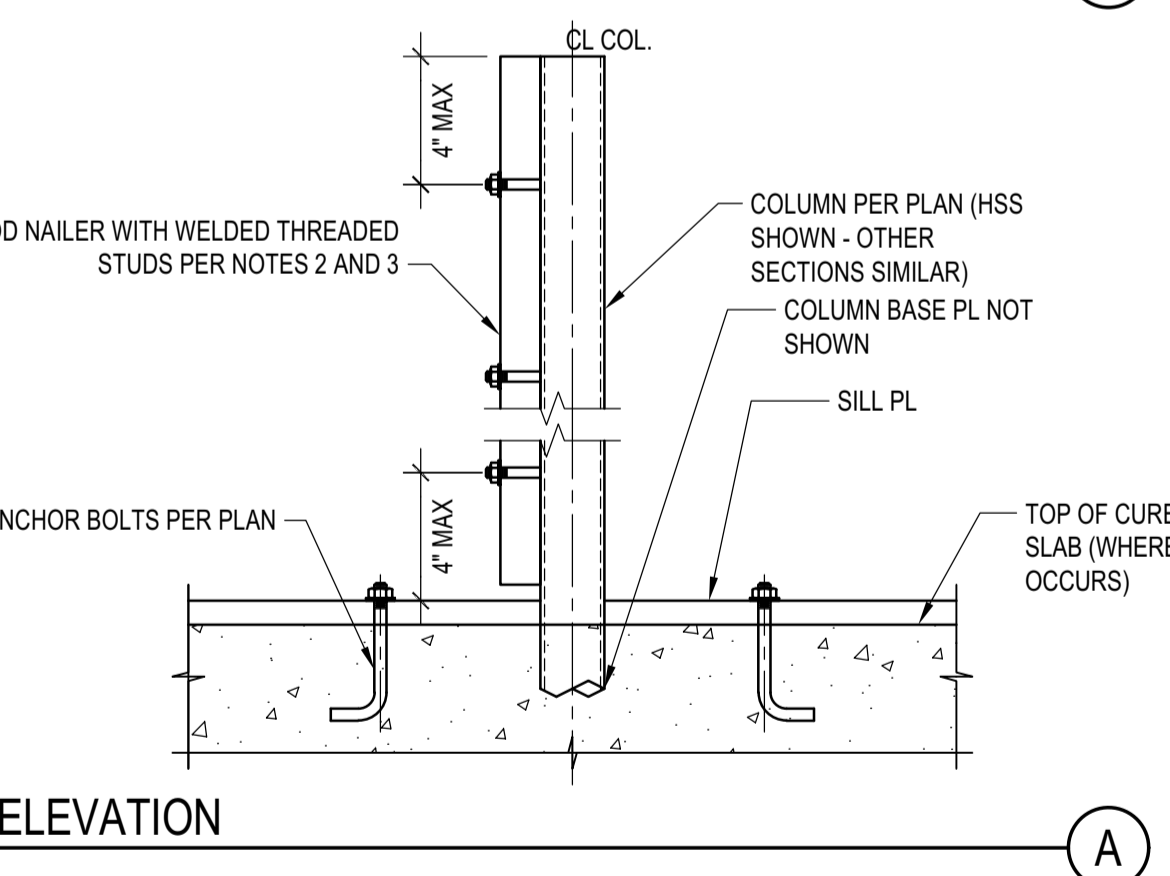
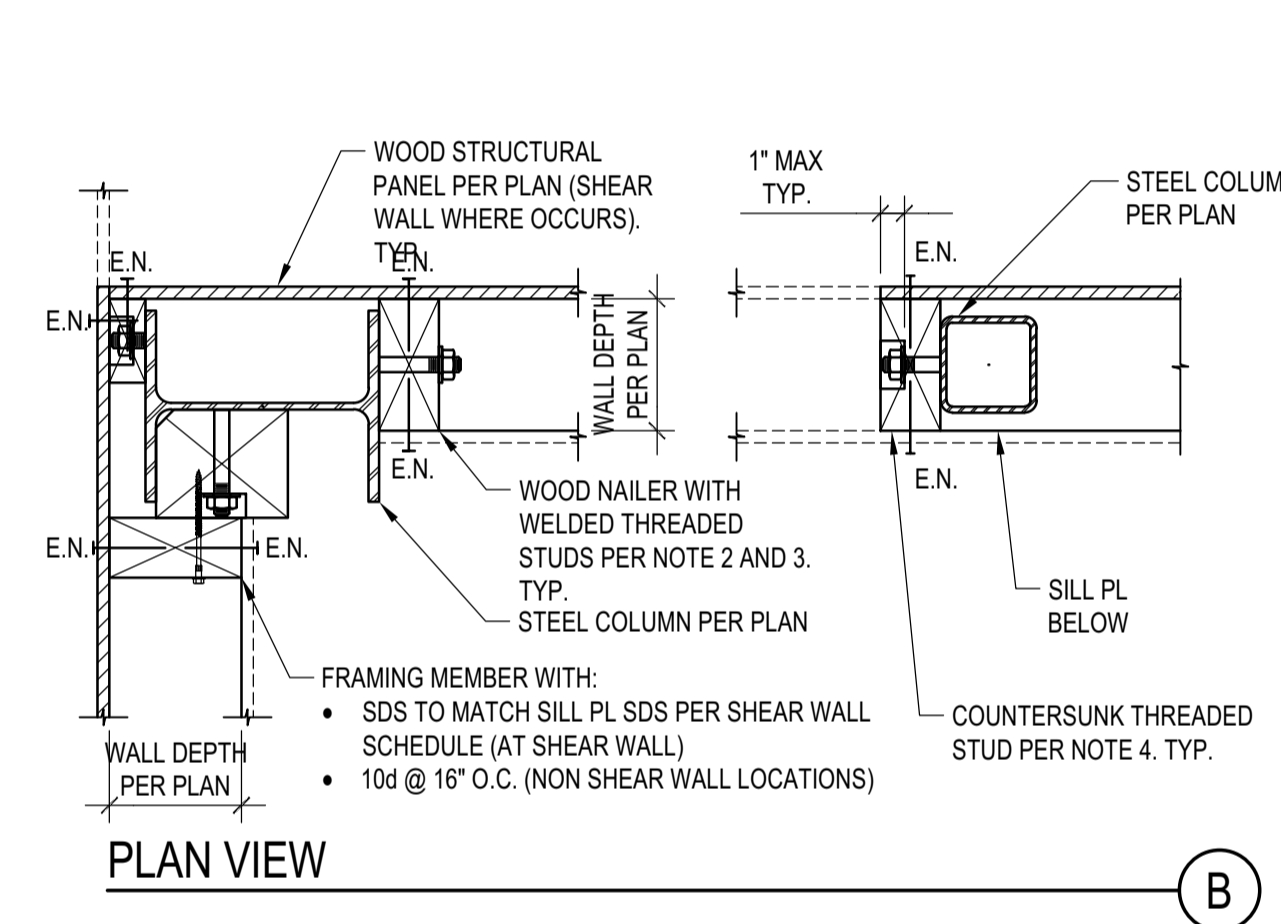
7



**ELEVATOR GUIDE RAIL SUPPORT DETAIL**

SCALE: N.T.S.

4



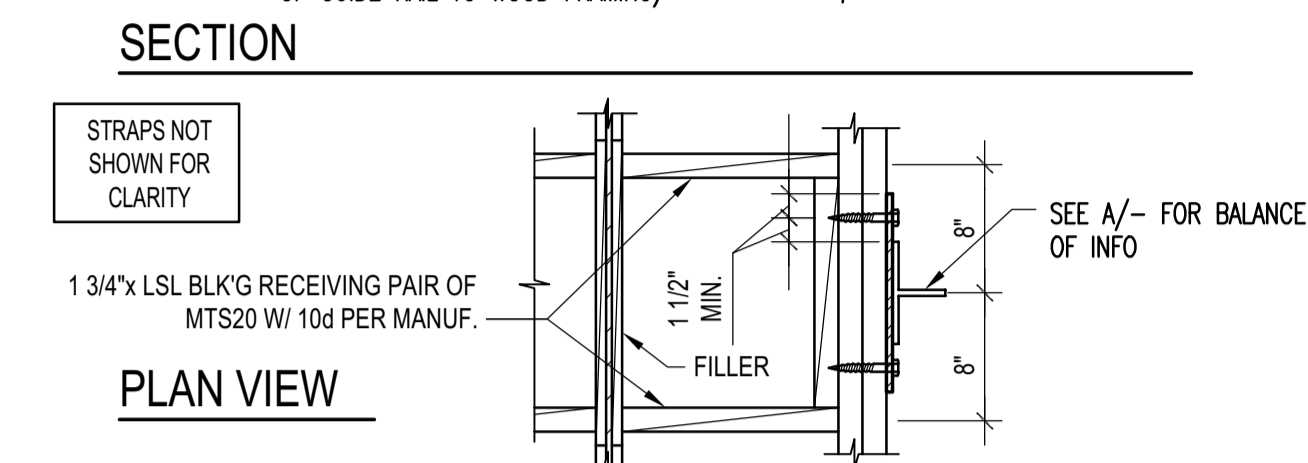
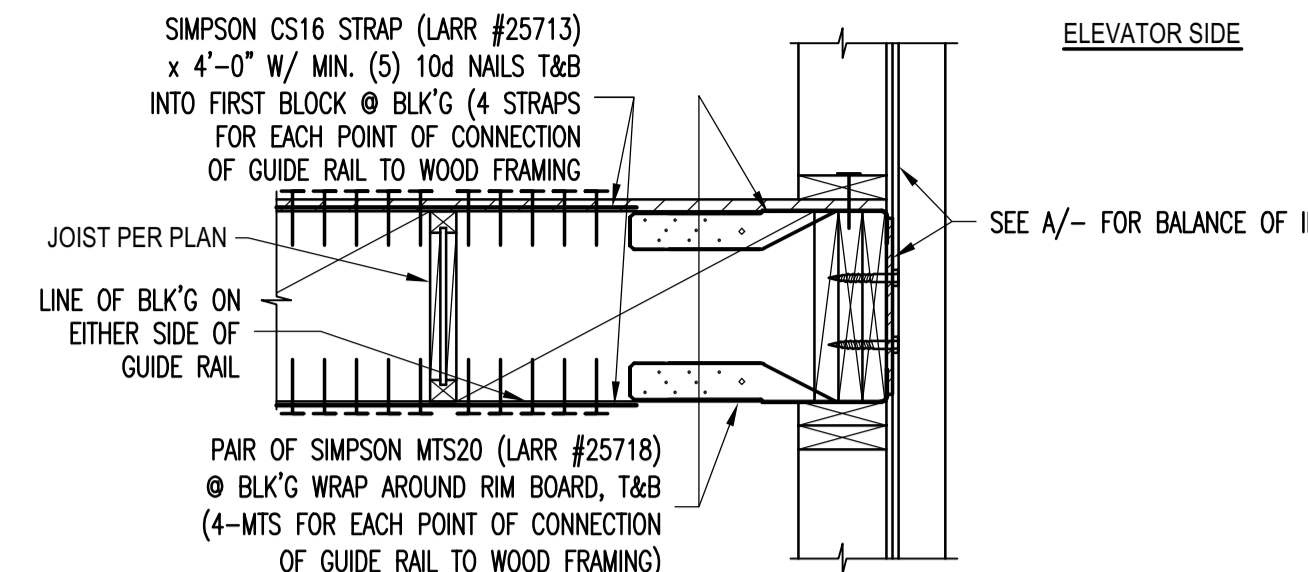
**NOTES:**

1. STEEL COLUMN SECTIONS: WIDE FLANGE AND HSS COLUMN SECTIONS ARE SHOWN. SIMILAR REQUIREMENTS FOR WOOD NAILERS SHALL APPLY FOR OTHER TYPES OF STEEL SECTIONS.
2. LOCATION OF WOOD NAILERS: PROVIDE WOOD NAILERS AT ALL LOCATIONS WHERE STEEL COLUMN OCCURS WITHIN SHEAR WALLS. FOR LOCATIONS OTHER THAN SHEAR WALLS PROVIDE WOOD NAILERS AS NEEDED FOR PROPER INSTALLATION OF FINISH MATERIALS.
3. WOOD NAILERS SIZE AND CONNECTION: WOOD NAILERS SHALL BE CONNECTED WITH 5/8" WELDED THREADED ANCHORS TO THE STEEL SECTIONS. SPACING AND NOMINAL THICKNESS OF WOOD NAILERS SHALL BE:
  - A. PER SHEAR WALL SCHEDULE WHERE WOOD NAILERS ARE CONNECTED TO A SHEAR WALL STRUCTURAL PANEL
  - B. 2x MIN WOOD NAILER WITH THREADED ANCHORS @ 24" O.C. WHERE WOOD NAILERS DO NOT OCCUR WITHIN A SHEAR WALL
4. COUNTERSINKING OF WELDED THREADED STUD NUT IN WOOD NAILERS SHALL BE PERMITTED AS FOLLOWS:
  - A. AT NAILERS CONNECTED TO SHEAR WALL STRUCTURAL PANELS COUNTERSINK ONLY IF NAILER IS 3x OR LARGER
  - B. AT NAILERS NEEDED ONLY FOR INSTALLATION OF FINISH MATERIAL COUNTERSINKING SHALL BE ALLOWED AS NEEDED FOR PROPER INSTALLATION OF FINISH MATERIAL

**STEEL COLUMN IN STUD WALL**

SCALE: N.T.S.

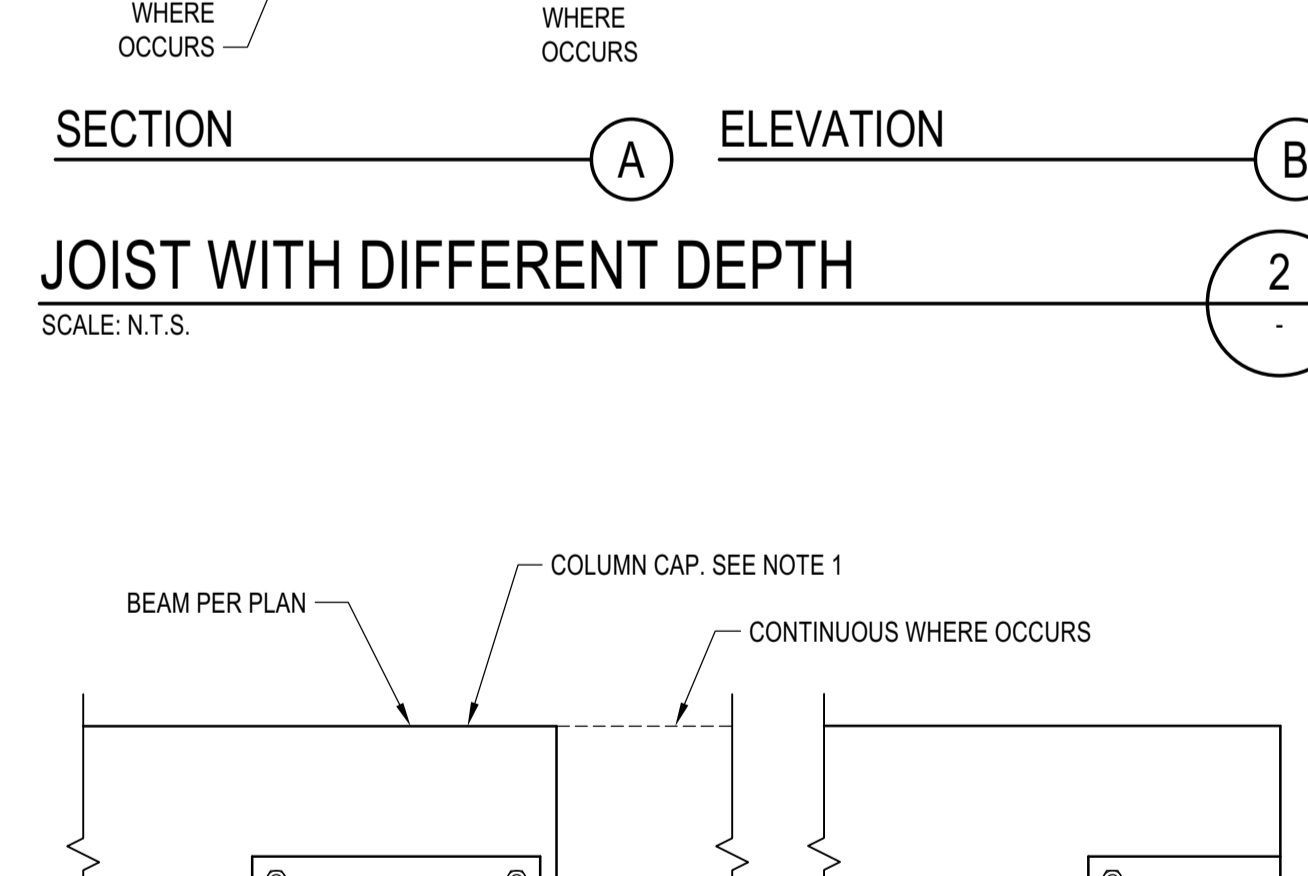
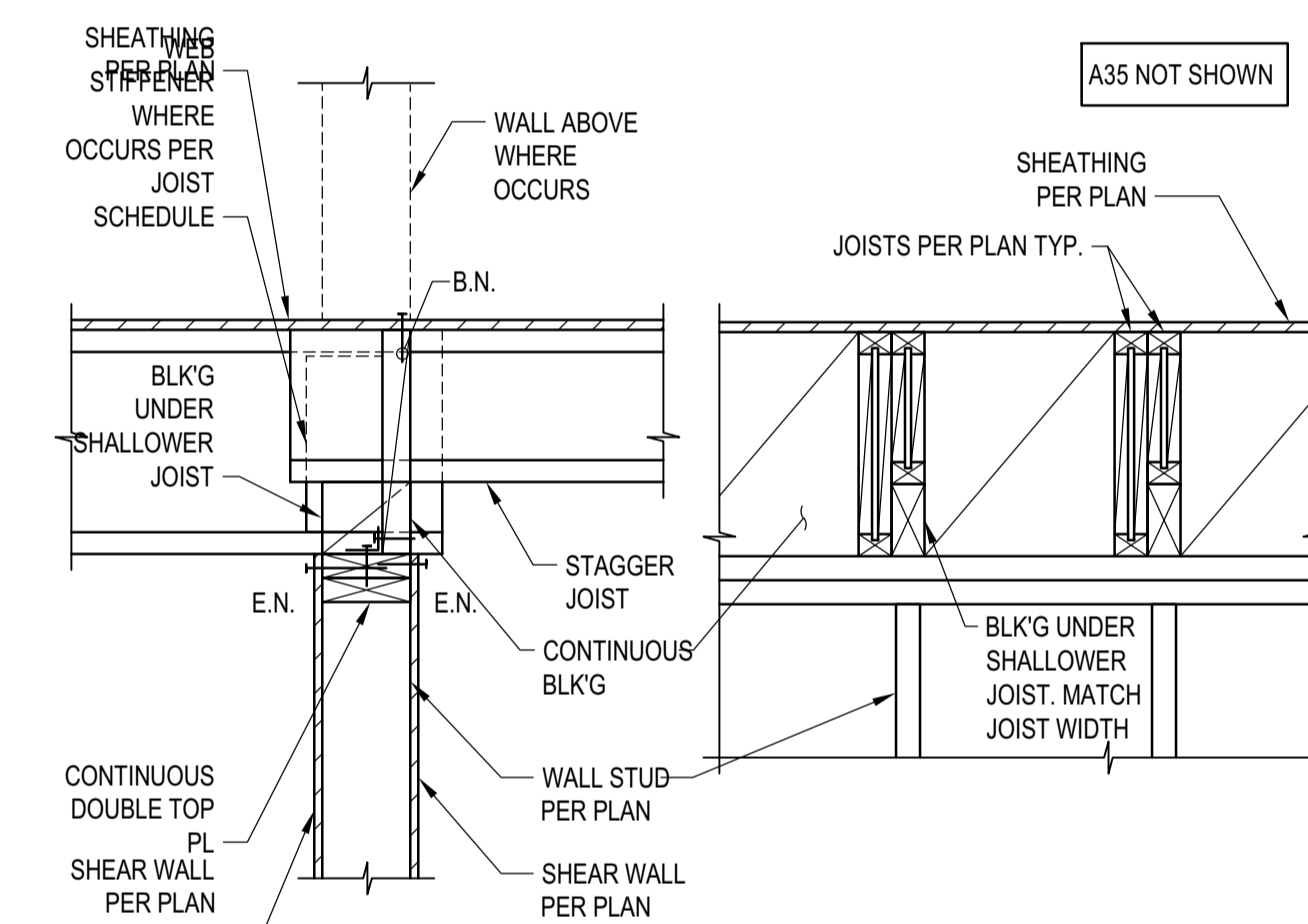
4



**JOIST WITH DIFFERENT DEPTH**

SCALE: N.T.S.

1



**NOTES:**

1. FOR COLUMN CAPS SEE "TYP. BEAM TO POST CONN. DETAIL"

**TYP. KING POST DETAIL**

SCALE: N.T.S.

3

**BADGER RESIDENCE**

**OWNER:**  
 121 BADGER LANE LLC  
 P.O. BOX 14001-174  
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 TEL: 208.788.1705

**GEOTECHNICAL ENGINEER:**

**BUTLER ASSOCIATES, INC.**  
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 KETCHUM, ID 83340  
 TEL: 208.720.6432

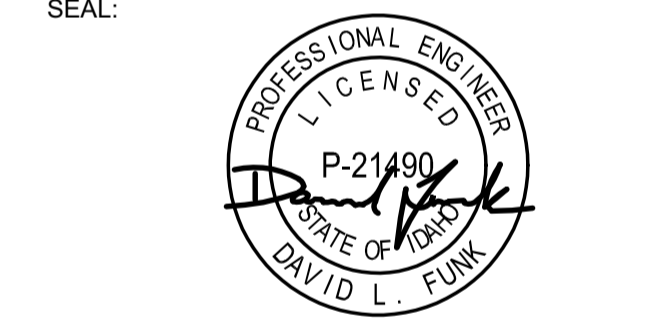
**LANDSCAPE ARCHITECT:**

**STRUCTURAL ENGINEER:**

**LFA**  
 319 MAIN STREET  
 EL SEGUNDO, CA 90245  
 TEL: 213.239.8700  
 LFA Job #22791



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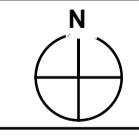
NO	DATE	PC SUBMITTAL	ISSUE
	02/24/23		

**PROJECT:**  
**BADGER RESIDENCE**  
 121 BADGER LANE  
 KETCHUM, ID 83340

**PROJECT NUMBER**  
**#2201**

**DRAWING TITLE:**  
**TYPICAL DETAILS - WOOD**

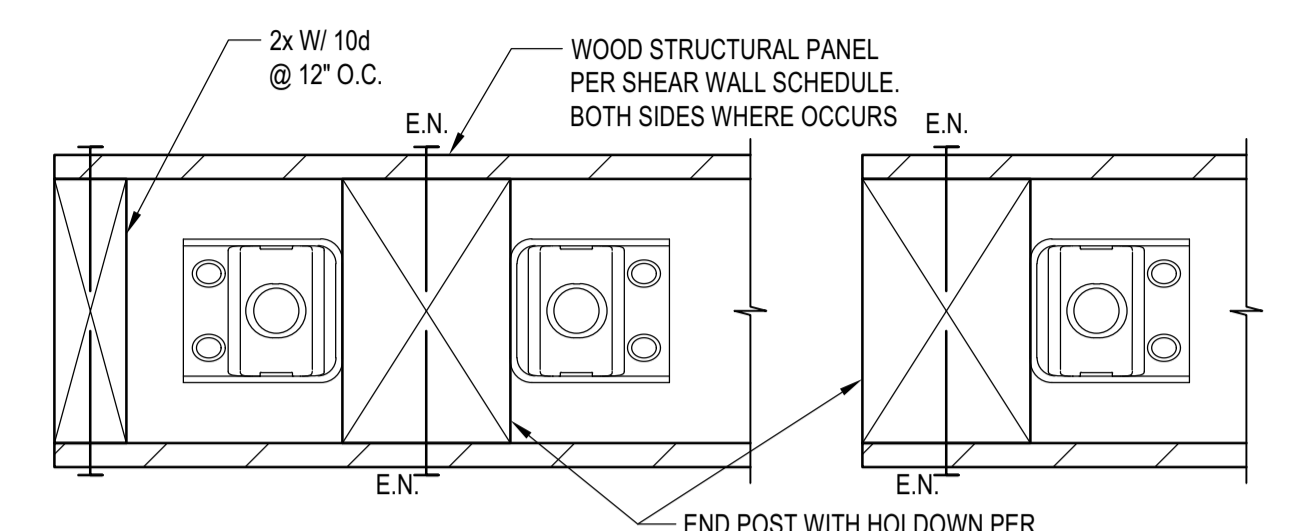
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**S-040**





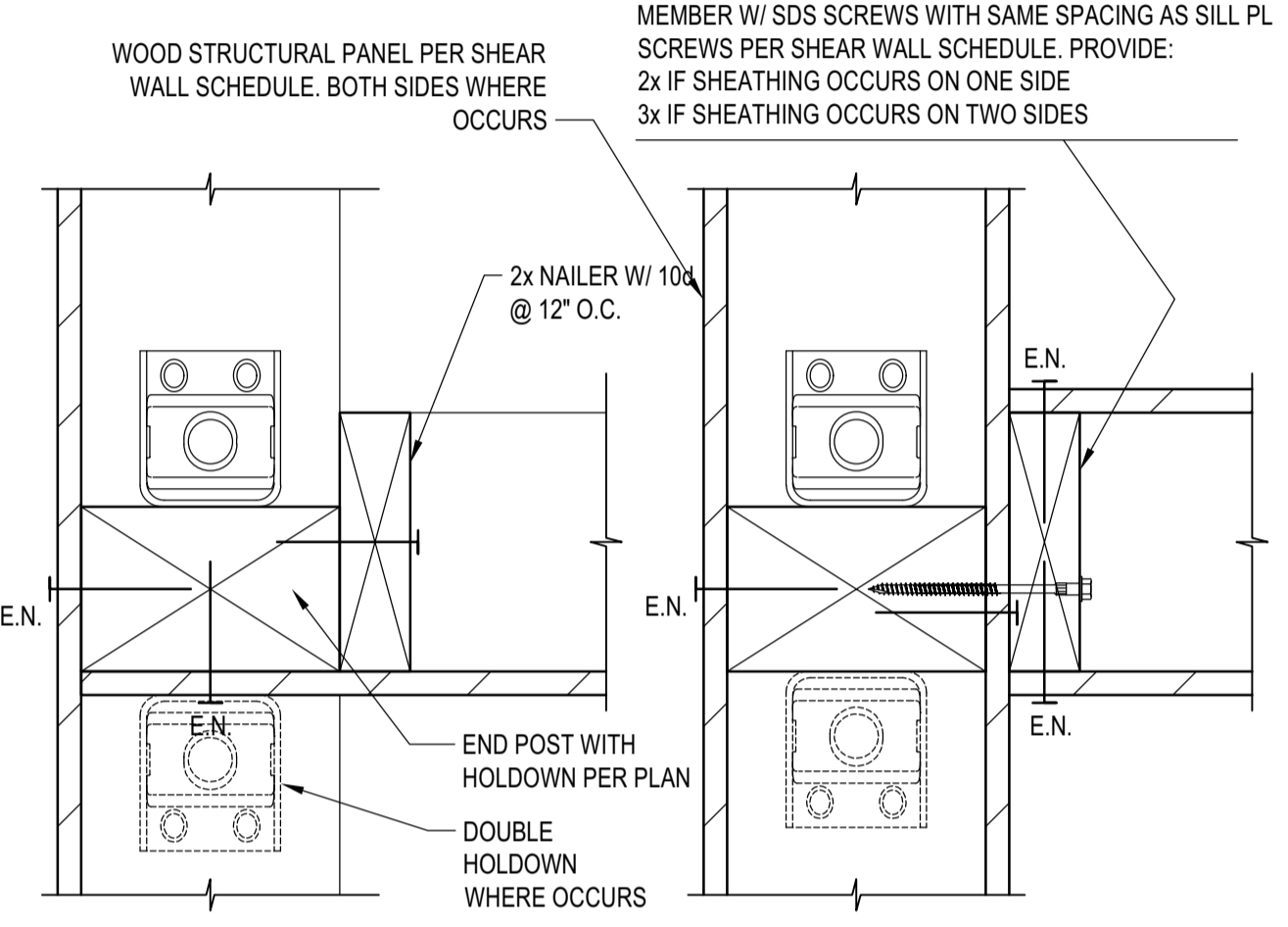
These plans have been found to be in substantial compliance with the applicable building codes. These documents are approved contingent on compliance with the mark-ups and notes applied. This is not approval of any code, ordinance, statute or regulation. Corrections will be required for code violations found during the inspection process.

BLD2303-00021  
06/26/23



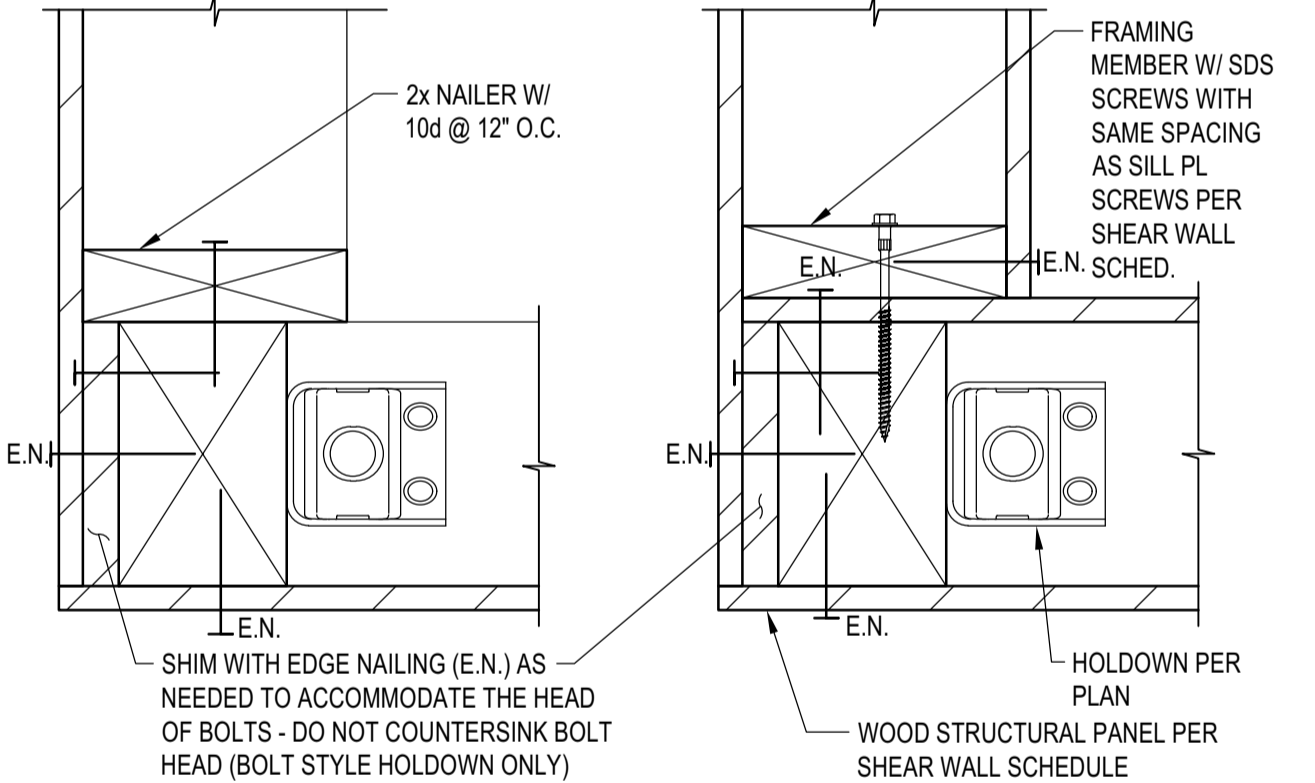
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END CONDITION SINGLE HOLD-DOWN (C6)



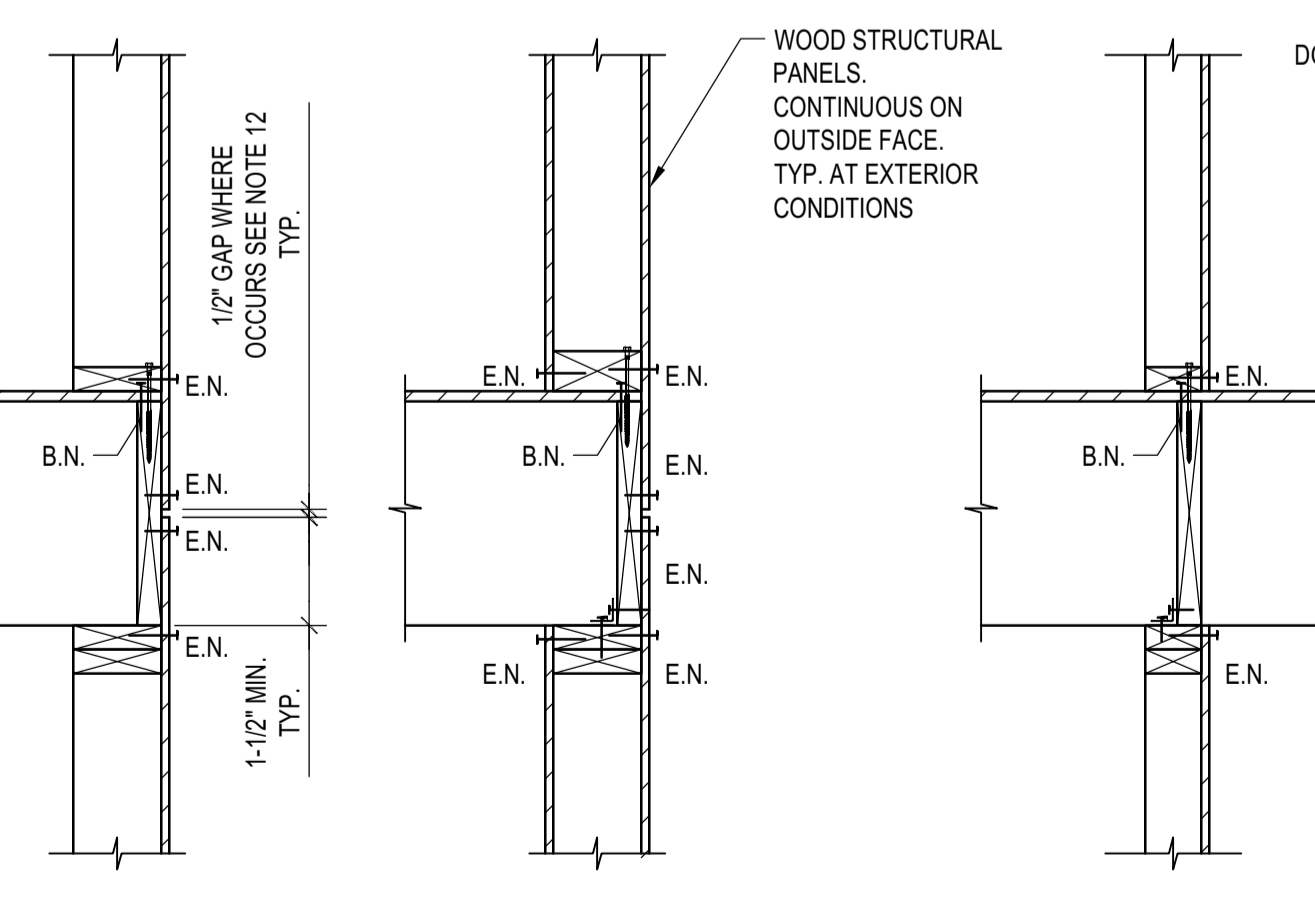
END CONDITION INTERSECTION (C3)

END CONDITION INTERSECTION (C4)



END CONDITION CORNER (C1)

END CONDITION CORNER (C2)

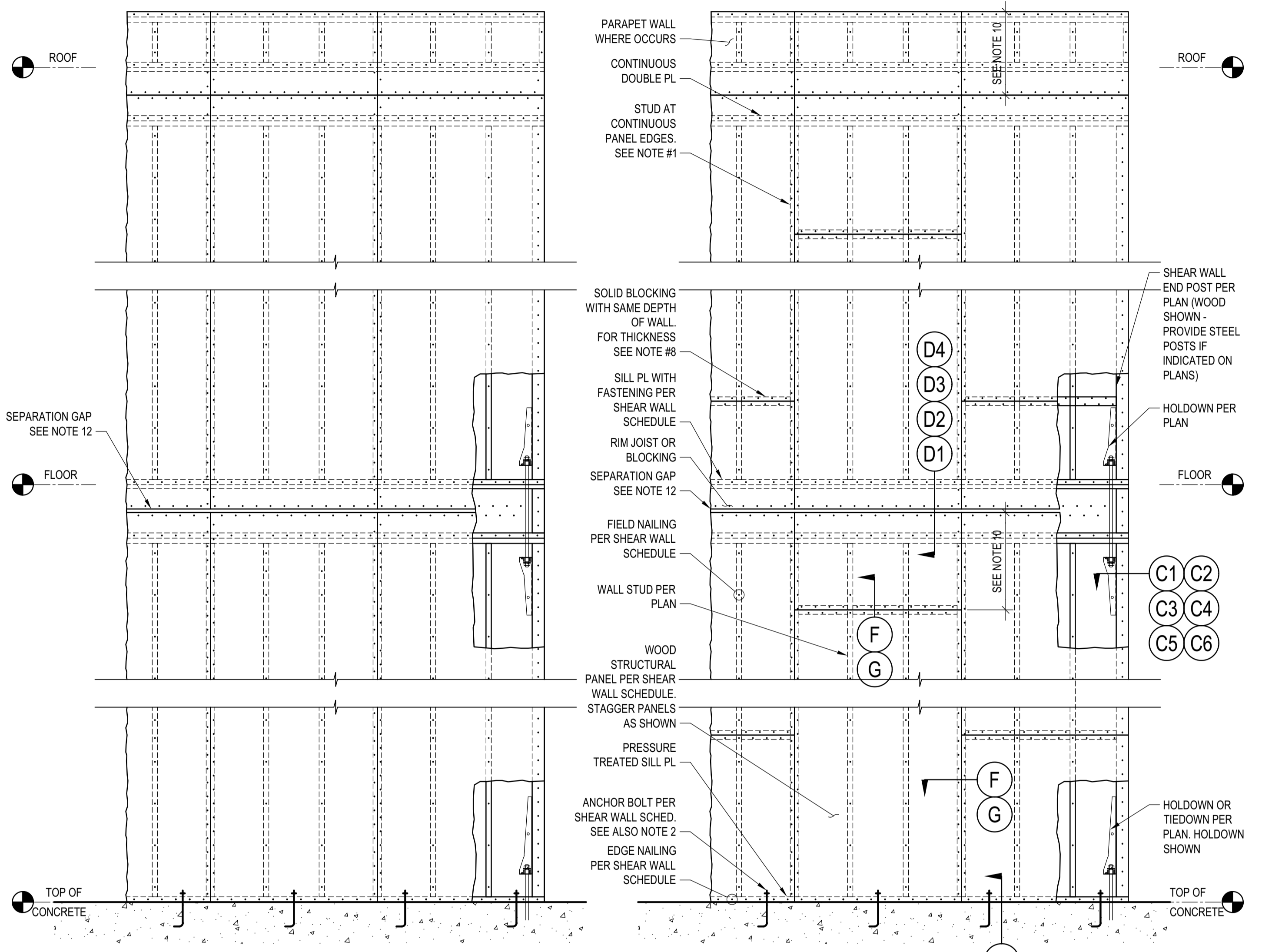


EXTERIOR SINGLE (D1)

EXTERIOR DOUBLE (D2)

INTERIOR SINGLE (D3)

INTERIOR DOUBLE (D4)



ALTERNATIVE WOOD STRUCTURAL PANEL TILING (7)

TYPICAL SHEAR WALL ELEVATION (A3)

NOTES (A2)

**SHEAR WALL SCHEDULE NOTES:**

1. INSTALL PANELS, FASTENERS, AND CLIPS, PER INSET DETAIL "B" SHEAR WALL SCHEDULE.
2. FOR ALL WALLS, PROVIDE MINIMUM TWO ANCHOR BOLTS PER PIECE OF SILL PLATE & ONE LOCATED WITHIN 12" AND NOT LESS THAN 7 BOLT DIAMETER OR 4 3/8" OF EACH END OF EACH SILL PLATE.
3. FOR SILL PL. ATTACHMENT TO WOOD FRAMED FLOORS, WOOD SCREWS SHALL BE SIMPSON SDS2560 FOR SILL PL. CONNECTED TO WOOD RIM JOIST OR BLOCKING. PROVIDE SDS25412 FOR SILL PLATE CONNECTED TO TOP NAILER AT STEEL BEAMS. ALTERNATIVELY, 16d NAILS CAN BE USED WHERE ALLOWED BY THE SHEAR WALL SCHEDULE PROVIDED THE FLOOR/ROOF SHEATHING THICKNESS IS ≤ 3/4".
4. AT (E) FOUNDATION, SILL ANCHORS MAY BE UPF W/ 2- 1/2" TITEN HD SCREW ANCHORS W/ 5" MIN. EMBED AND W/ 5- 1/4" X 3" LONG SDS SCREWS TO SILL PL. SPACING SHALL BE AS SAME AS ANCHOR BOLT SPACING PER SHEAR WALL SCHED. (LARR #25726, ICC ESR-2616 FOR UPF; LARR #25741, ICC ESR-2713 FOR TITEN HD).
5. FOR SPECIFICATIONS OF HOLD-DOWNS AT THE END OF THE SHEAR WALL SEE PLANS AND "HOLD-DOWN TYPICAL DETAILS AND SCHEDULE".
6. OSB OR PLYWOOD WOOD STRUCTURAL PANELS MAY BE USED FOR THE SHEAR WALL CONSTRUCTION, EXCEPT THAT OSB SHALL NOT BE PERMITTED IN SHEAR WALL CONSTRUCTION LABELED AS FIRE RETARDANT TREATED BY THE ARCHITECT. FOR FIRE RETARDANT TREATED SHEAR WALLS THE UNIT SHEAR CAPACITY IS REDUCED TO 90% OF THE ALLOWABLE VALUE PER THE CODE REPORTS FOR THE SPECIFIED FIRE TREATMENT PRODUCT. SEE TIMBER GENERAL NOTES FOR ADDITIONAL INFORMATION.
7. WOOD STRUCTURAL PANELS MAY BE TILED PER EITHER ELEVATION A2 OR ELEVATION A3. CONTRACTOR SHALL SELECT MORE ECONOMICAL TILING.
8. FOR SHEAR WALL WITH SHEAR CAPACITY PER SCHEDULE EXCEEDING 350 #/FT FRAMING MEMBERS AT ADJOINING PANEL EDGES INCLUDING WALL STUDS AND BLOCKING SHALL BE 3" MINIMUM, UNLESS THICKER MEMBERS ARE SPECIFIED ON PLANS. PROVIDE STAGGERED NAILING AT ALL PANEL EDGES.
9. WHERE WOOD STRUCTURAL PANELS ARE APPLIED ON BOTH FACES OF WALL STUDS ADJACENT PANEL EDGES SHALL BE OFFSET TO FALL ON DIFFERENT FRAMING MEMBERS PER INSET DETAIL G, AND SILL PLATE SHALL BE A 3x MEMBER PER INSET DETAILS E.
10. MIN DIMENSION OF WOOD STRUCTURAL PANELS SHALL BE 2'-0"
11. NAILS SHALL BE PLACED NOT LESS THAN 3/8" INCH FROM PANEL EDGES AT 2x MEMBERS (1/2" INCH AT 3x MEMBERS) & 3/8" INCH FROM THE EDGE OF THE CONNECTING MEMBERS. ALL SHEAR WALL NAILING SHALL UTILIZE COMMON NAILS OR GALVANIZED BOX.
12. PROVIDE 1/2" SEPARATION GAP BETWEEN WOOD STRUCTURAL PANELS AT FLOOR LEVELS. SEPARATION GAPS MAY BE OMITTED AND WOOD STRUCTURAL PANELS CAN RUN CONTINUOUSLY ACROSS FLOORS FOR BUILDINGS WITH NO MORE THAN TWO STORIES OF WOOD FRAMING.

**SHEAR WALL SCHEDULE (2019 CBC - 2015 AF&PA SDPWS - TABLE 4.3A)**

MARK	WOOD STRUCTURAL PANELS (PLYWOOD OR OSB U.N.O. ON THE PLANS) (1)	NUMBER OF SIDES	NAILING		SHEAR CLIPS (A35 OR LTP4)		SILL PL. ATTACHMENT U.N.O.		WELDED THREADED STUDS AT WOOD NAILERS. SEE INSET DETAIL "H"	ALLOWABLE SHEAR (PLF)	ALLOWABLE SHEAR AT FIRE TREATED WALLS (PEF)
			EDGE (E.N.)	FIELD (F.N.)	ALL LOCATIONS U.N.O.	INSET DETAIL "D1" AND "D2" EXTERIOR CONDITIONS ONLY	FRAMED FLOOR (2)	CONCRETE (3)			
1	15/32" APA RATED SHEATHING (SPAN RATING 32/16)	1	8d @ 6" O.C.	8d @ 12" O.C.	1 @ 16" O.C.	NO CLIPS	SDS @ 16" O.C. OR 16d @ 8" O.C.	5/8" @ 24" O.C. OR 48" O.C.		260	234
2	15/32" APA RATED SHEATHING (SPAN RATING 32/16)	1	8d @ 4" O.C.	8d @ 12" O.C.	1 @ 16" O.C.	NO CLIPS	SDS @ 12" O.C. OR 16d @ 6" O.C.	5/8" @ 24" O.C. OR 48" O.C.		350	342
3	15/32" APA RATED STRUCT-I SHEATHING (SPAN RATING 32/16)	1	10d @ 4" O.C.	10d @ 12" O.C.	1 @ 12" O.C.	NO CLIPS	SDS @ 8" O.C. OR 16d @ 4" O.C.	5/8" @ 24" O.C. OR 32" O.C.		510	459
4	15/32" APA RATED STRUCT-I SHEATHING (SPAN RATING 32/16)	1	10d @ 3" O.C.	10d @ 12" O.C.	1 @ 8" O.C.	NO CLIPS	SDS @ 6" O.C. OR 16d @ 3" O.C.	5/8" @ 24" O.C. OR 24" O.C.		665	599
5	15/32" APA RATED STRUCT-I SHEATHING (SPAN RATING 32/16)	1	10d @ 2" O.C.	10d @ 12" O.C.	1 @ 8" O.C.	NO CLIPS	SDS @ 4" O.C. OR 16d @ 2 1/2" O.C.	5/8" @ 24" O.C. OR 20" O.C.		870	783
6	15/32" APA RATED STRUCT-I SHEATHING (SPAN RATING 32/16)	2	10d @ 3" O.C.	10d @ 12" O.C.	2 @ 8" O.C.	1 @ 8" O.C.	SDS @ 3" O.C.	5/8" @ 16" O.C. OR 16" O.C.		1,330	1,197
7	15/32" APA RATED STRUCT-I SHEATHING (SPAN RATING 32/16)	2	10d @ 2" O.C.	10d @ 12" O.C.	2 @ 8" O.C.	1 @ 8" O.C.	2 ROWS SDS @ 4" O.C.	5/8" @ 12" O.C. OR 12" O.C.		1,740	1,586

TYPICAL SHEAR WALL SCHEDULE

(B)

**BADGER RESIDENCE**

OWNER:  
121 BADGER LANE LLC  
P.O. BOX 14001-174  
KETCHUM, ID 83340

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317 NORTH RIVER STREET  
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TEL: 208.720.6432

LANDSCAPE ARCHITECT:

BVLA  
323 LEWIS STREET, SUITE N  
KETCHUM, ID 83340  
TEL: 208.726.5907

STRUCTURAL ENGINEER:

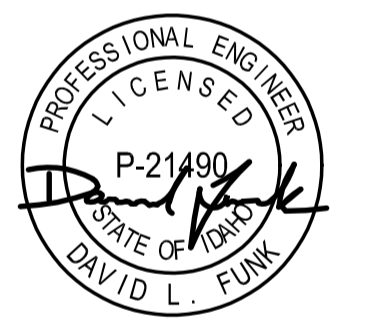
LFA  
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TEL: 213.239.9700  
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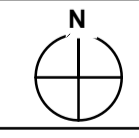
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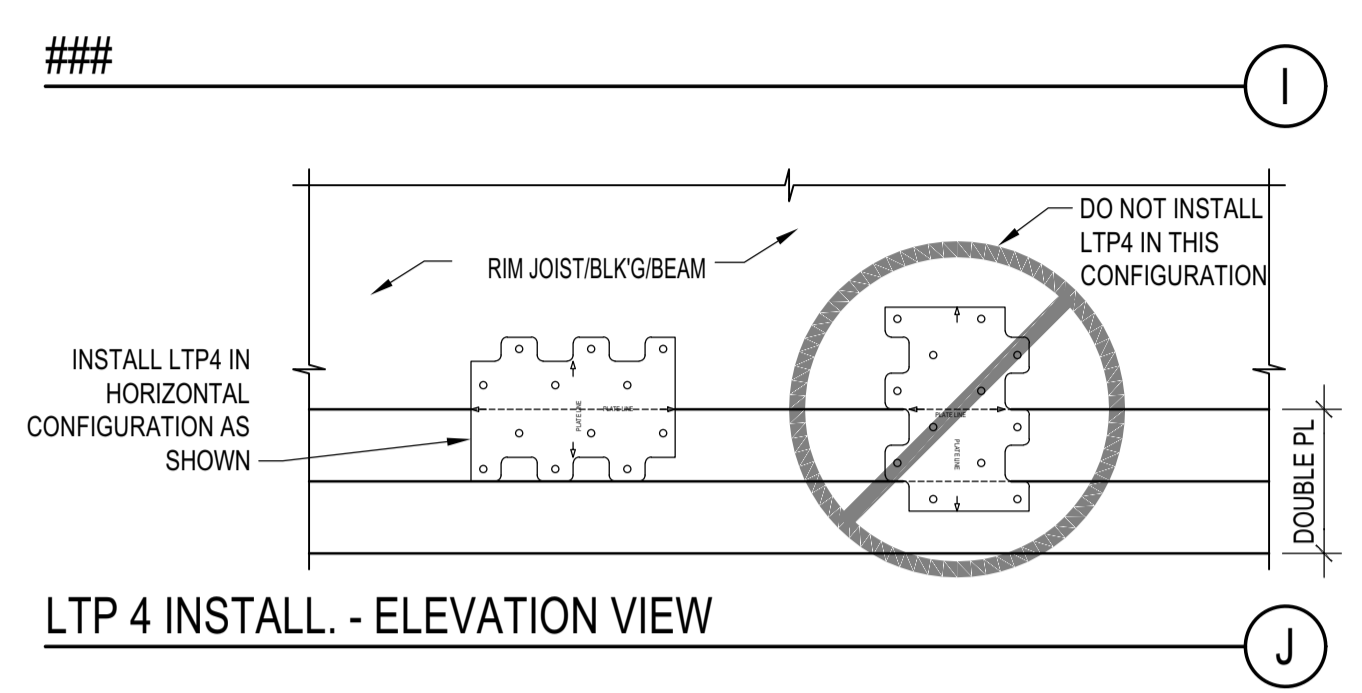
PROJECT:  
**BADGER RESIDENCE**  
121 BADGER LANE  
KETCHUM, ID 83340

PROJECT NUMBER  
**#2201**

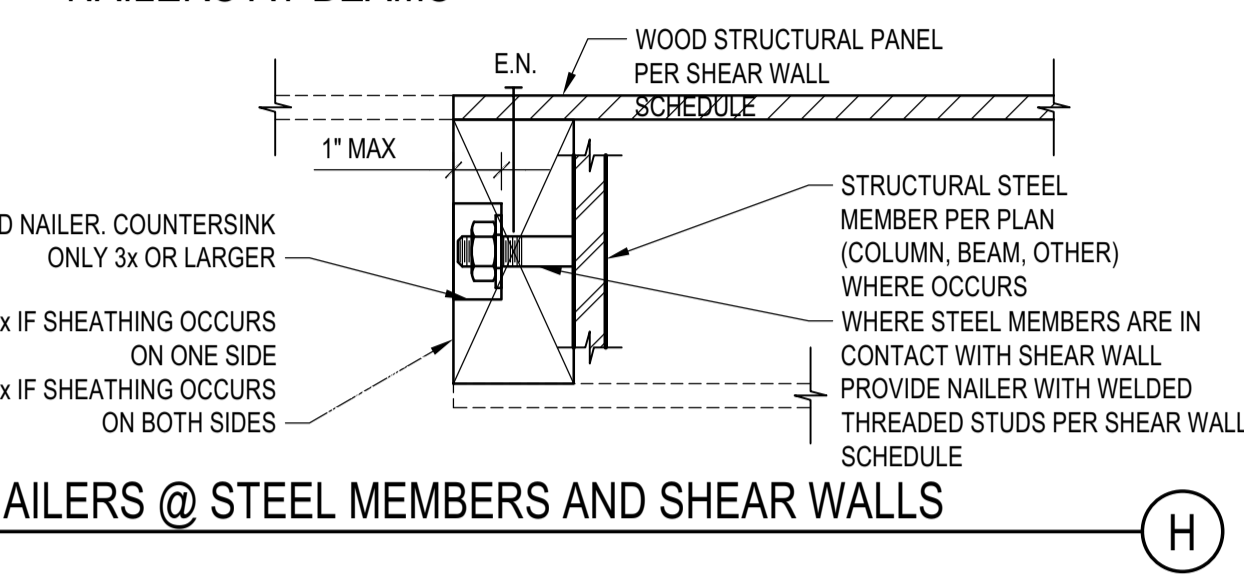
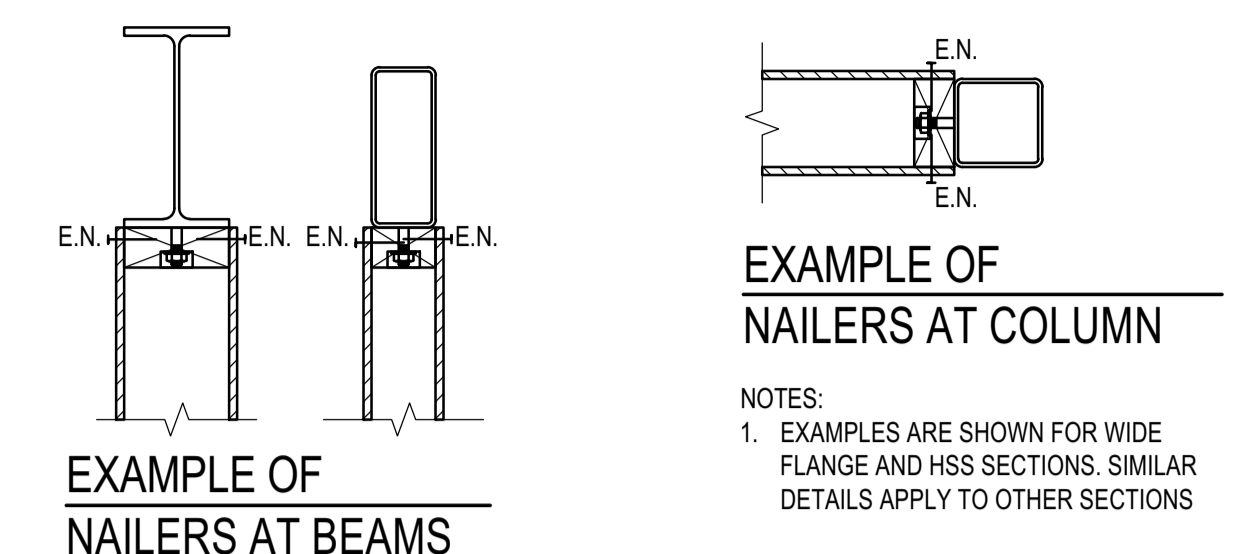
DRAWING TITLE:  
**TYPICAL DETAILS - WOOD SHEAR WALLS**

DRAWING NUMBER:  
**S-041**

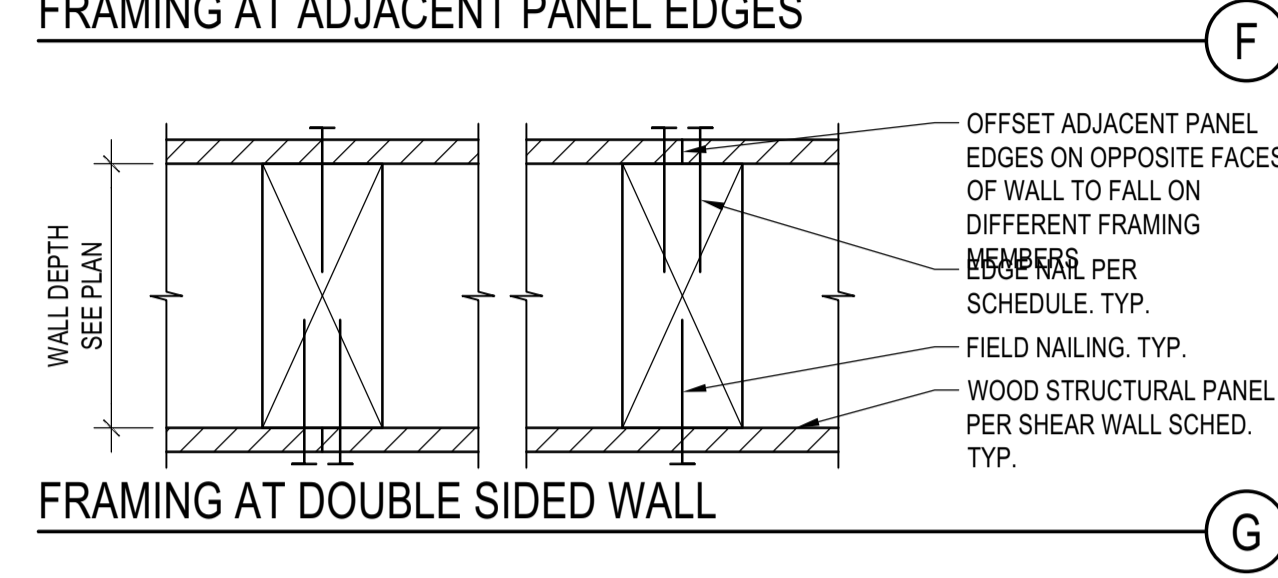
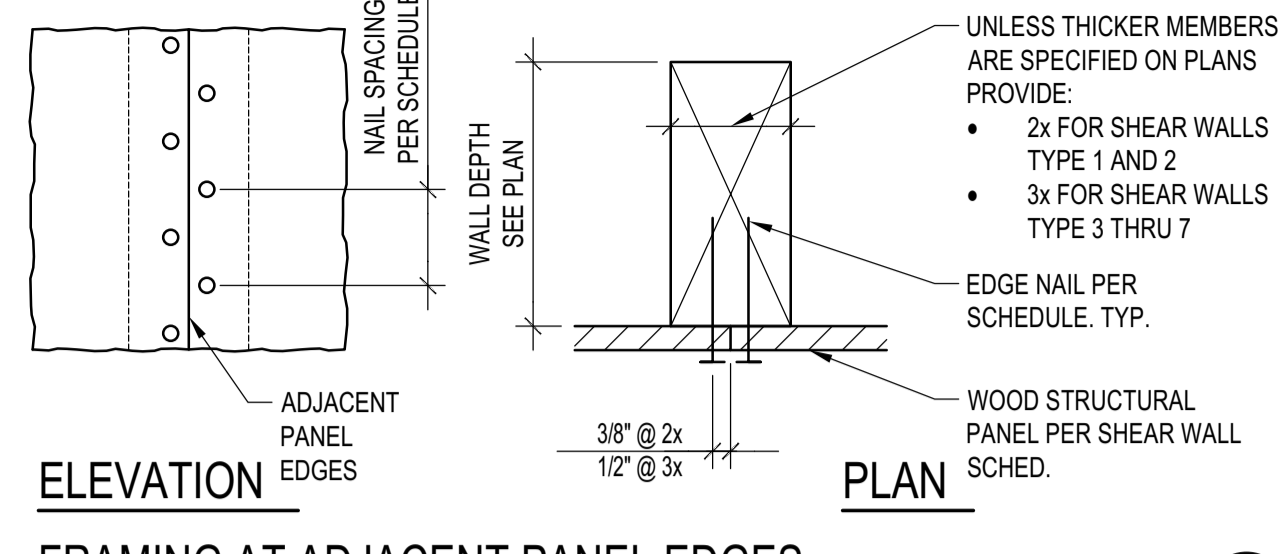




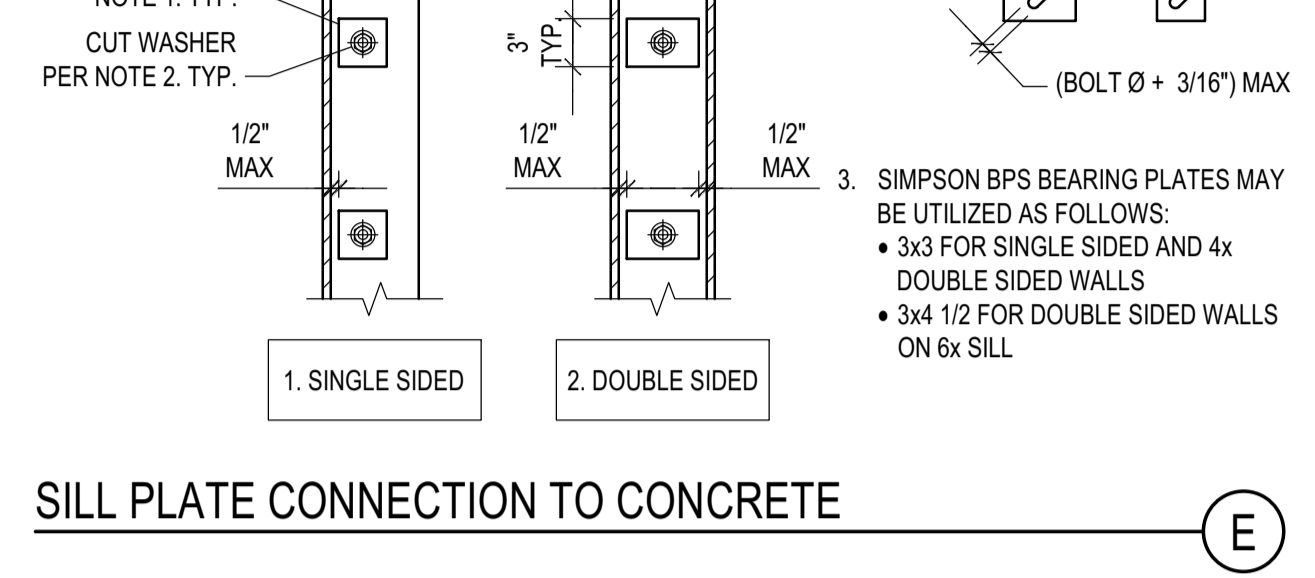
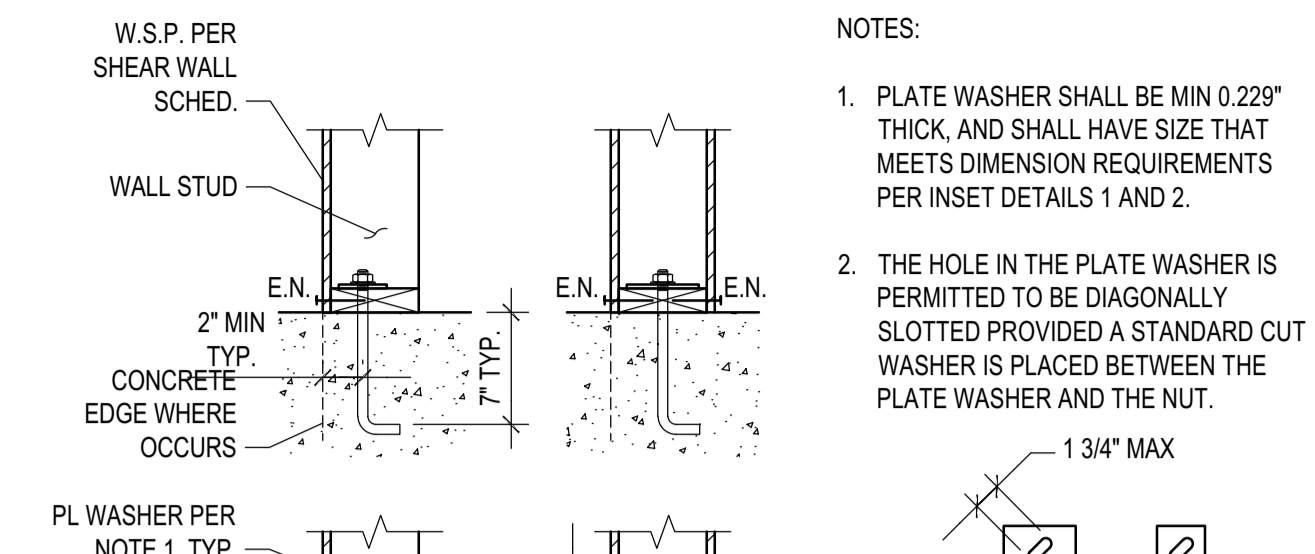
LTP 4 INSTALL. - ELEVATION VIEW  
 SCALE: N.T.S.



NAILERS @ STEEL MEMBERS AND SHEAR WALLS



FRAMING AT DOUBLE SIDED WALL



SILL PLATE CONNECTION TO CONCRETE

- NOTES:
- PLATE WASHER SHALL BE MIN 0.229" THICK, AND SHALL HAVE SIZE THAT MEETS DIMENSION REQUIREMENTS PER INSET DETAILS 1 AND 2.
  - THE HOLE IN THE PLATE WASHER IS PERMITTED TO BE DIAGONALLY SLOTTED PROVIDED A STANDARD CUT WASHER IS PLACED BETWEEN THE PLATE WASHER AND THE NUT.
  - SIMPSON BPS BEARING PLATES MAY BE UTILIZED AS FOLLOWS:
    - 3x3 FOR SINGLE SIDED AND 4x DOUBLE SIDED WALLS
    - 3x4 1/2 FOR DOUBLE SIDED WALLS ON 8x SILL

**BADGER RESIDENCE**

OWNER:  
**121 BADGER LANE LLC**  
 P.O. BOX 14001-174  
 KETCHUM, ID 83340

PROJECT ARCHITECT:  
**ROCKETT DESIGN**  
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SURVEYOR & CIVIL ENGINEER:  
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GEOTECHNICAL ENGINEER:  
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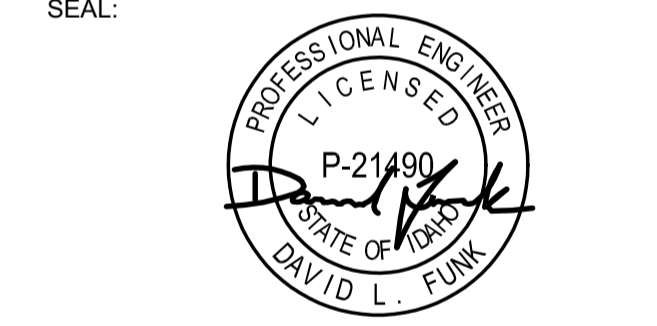
LANDSCAPE ARCHITECT:  
**BYLA**  
 323 LEWIS STREET, SUITE N  
 KETCHUM, ID 83340  
 TEL: 208.726.5907

STRUCTURAL ENGINEER:  
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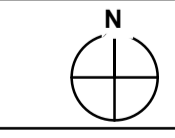
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PROJECT:  
**BADGER RESIDENCE**  
 121 BADGER LANE  
 KETCHUM, ID 83340

PROJECT NUMBER  
**#2201**

DRAWING TITLE:  
**TYPICAL DETAILS - WOOD SHEAR WALLS**

DRAWING NUMBER:  
**S-042**



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OWNER:  
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 KETCHUM, ID 83340

PROJECT ARCHITECT:  
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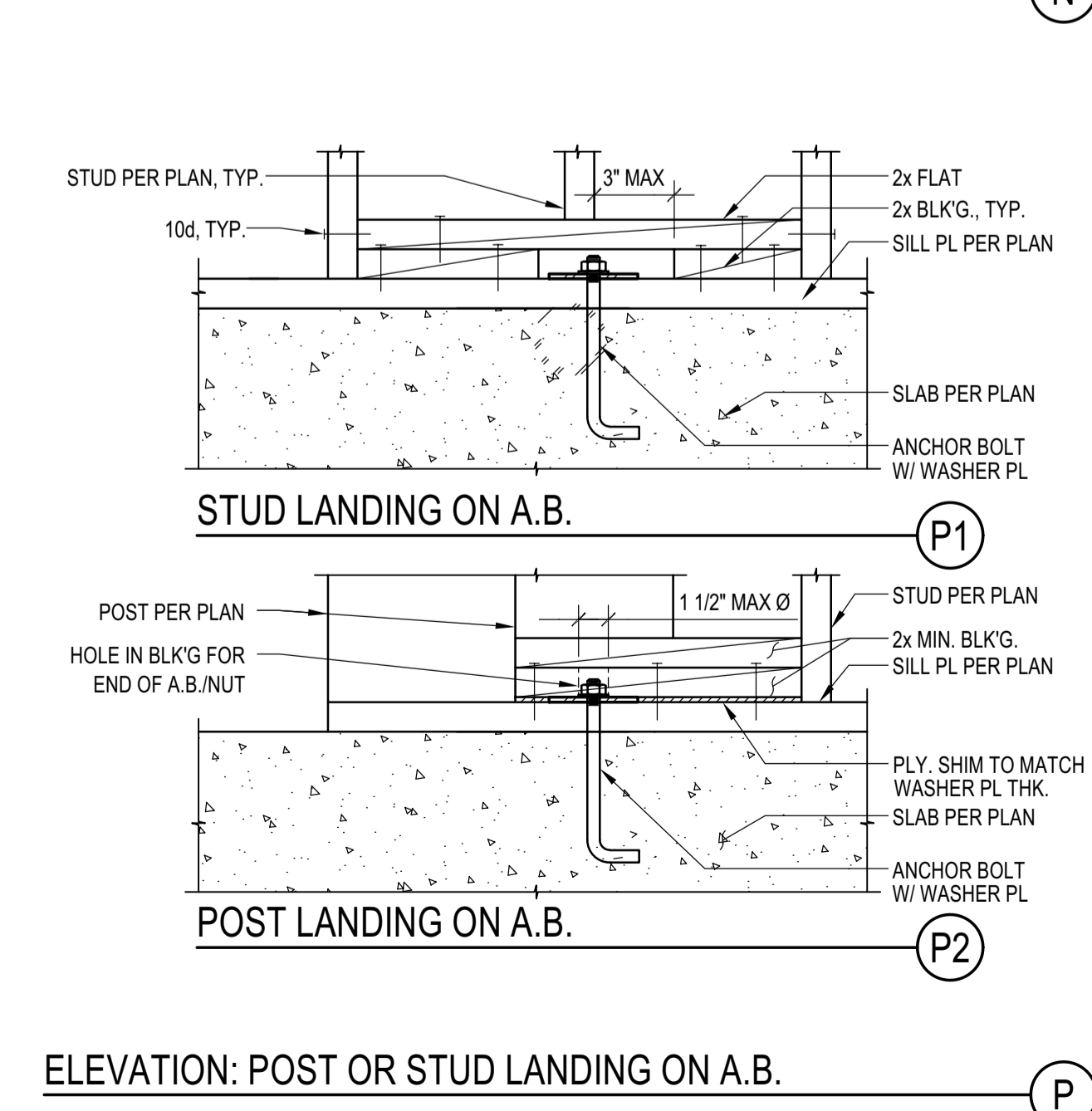
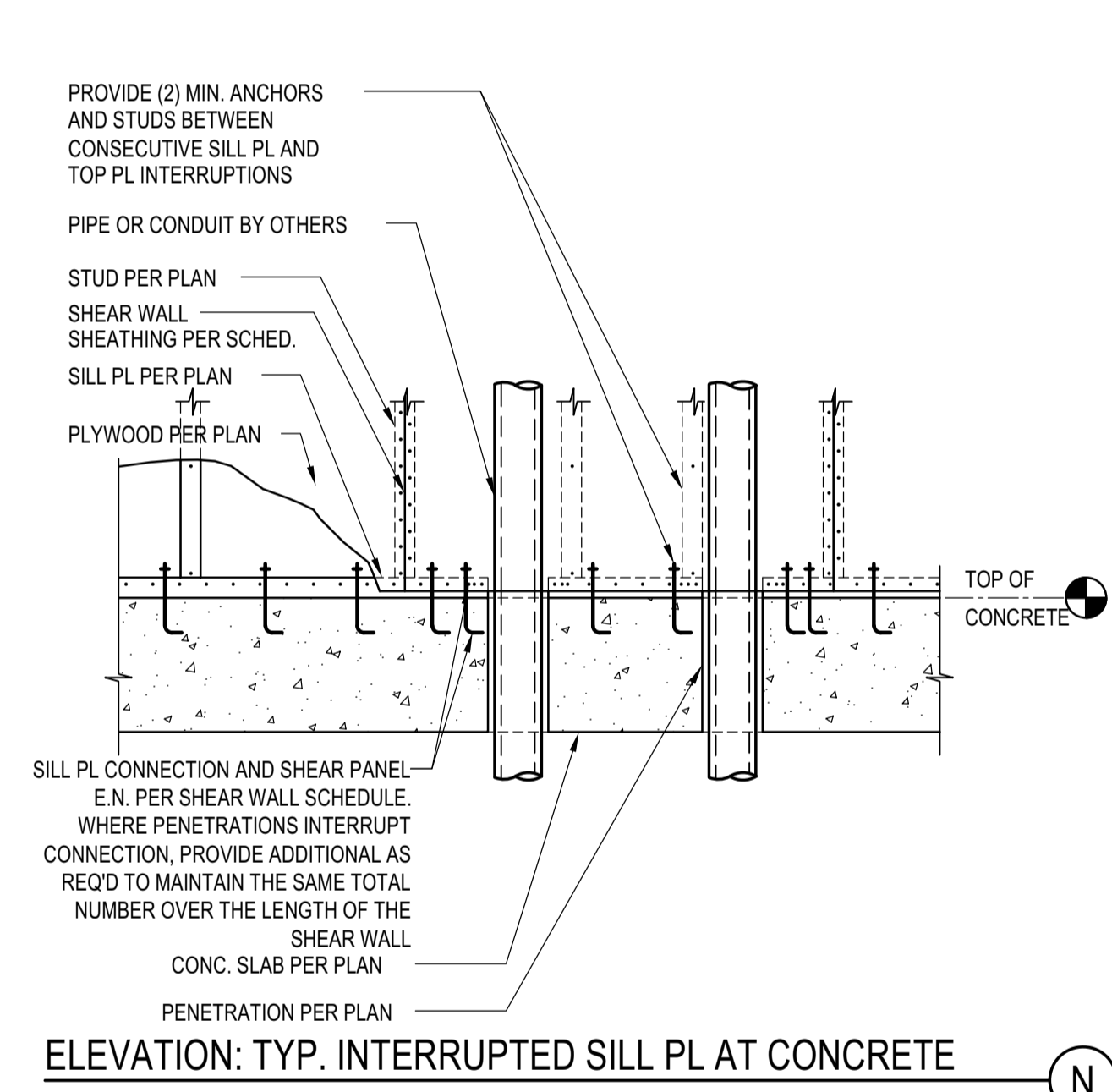
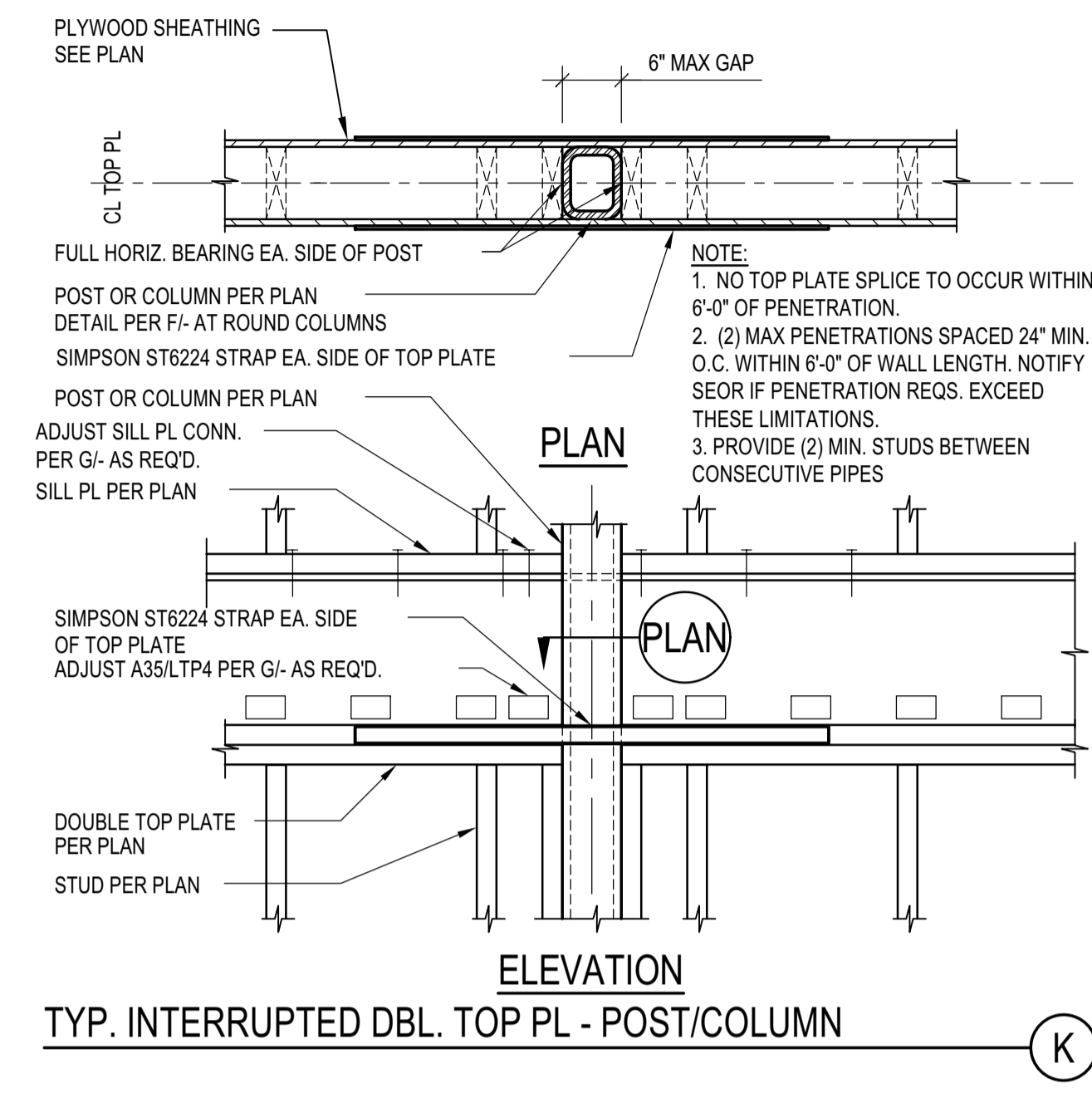
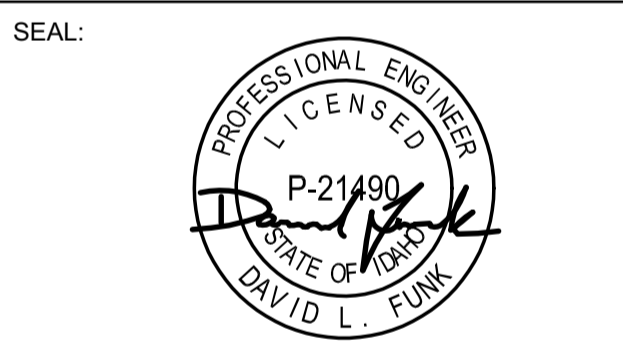
GEOTECHNICAL ENGINEER:  
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 KETCHUM, ID 83340  
 TEL: 208.720.6432

LANDSCAPE ARCHITECT:  
**BYLA**  
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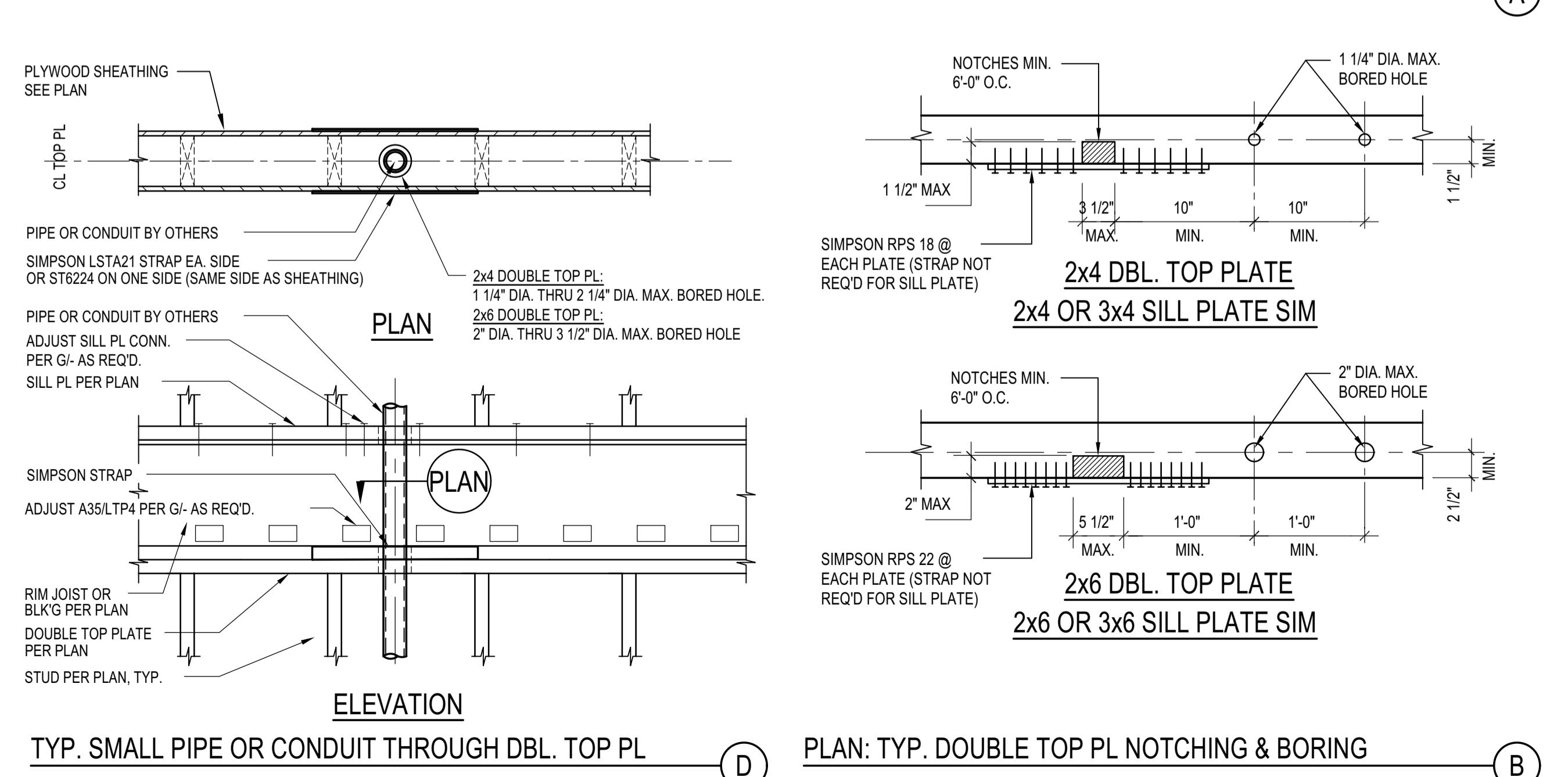
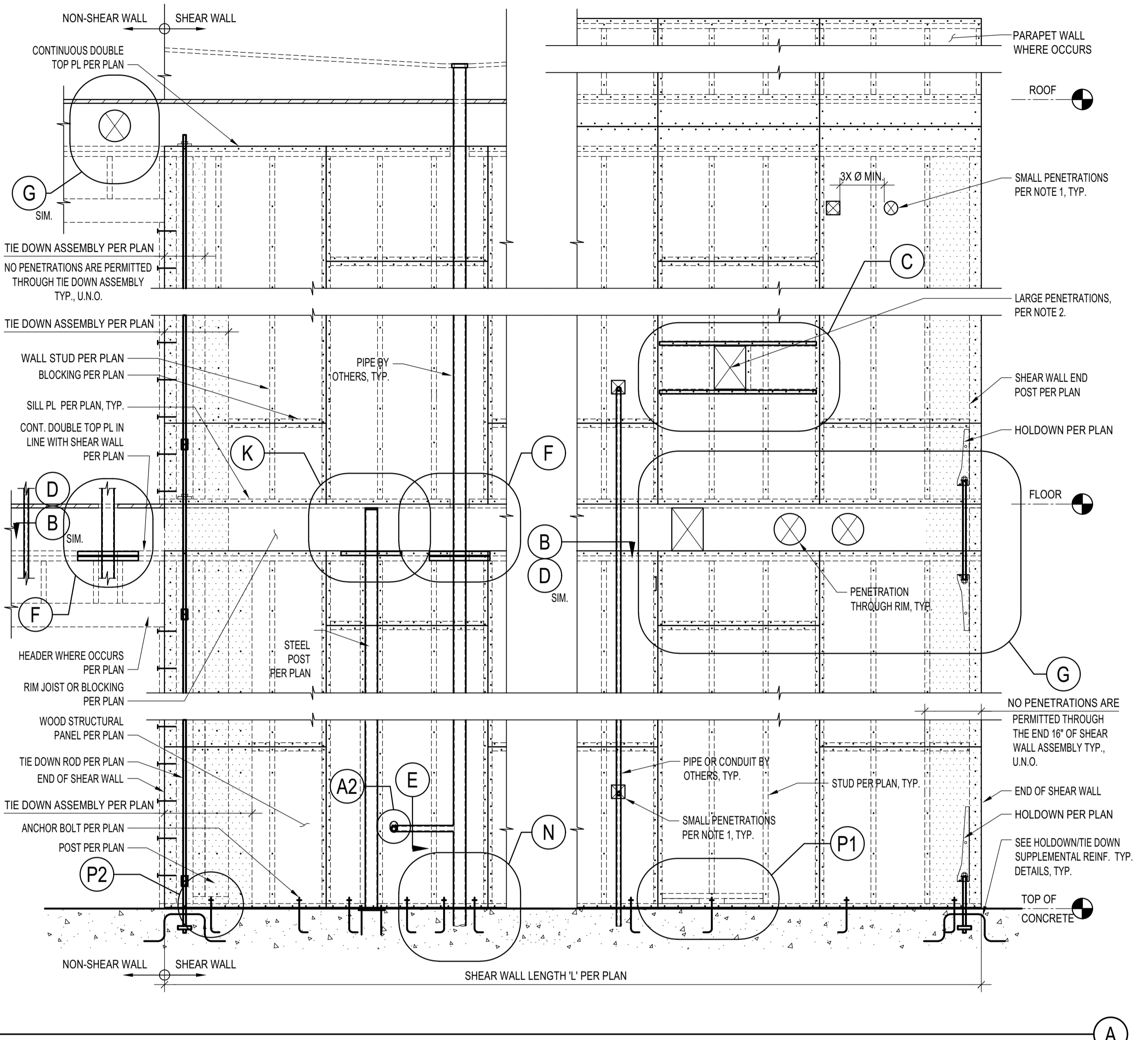
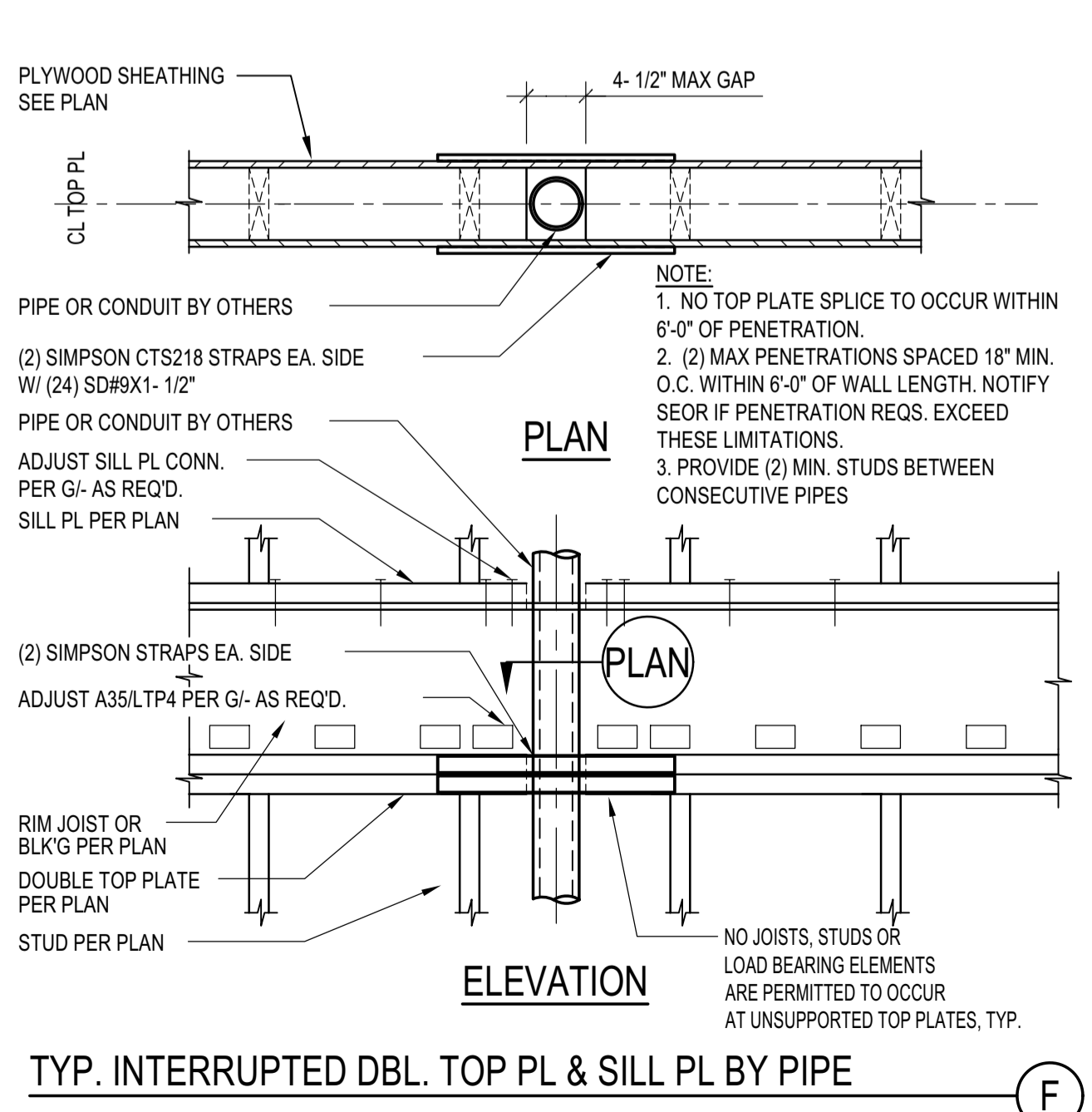
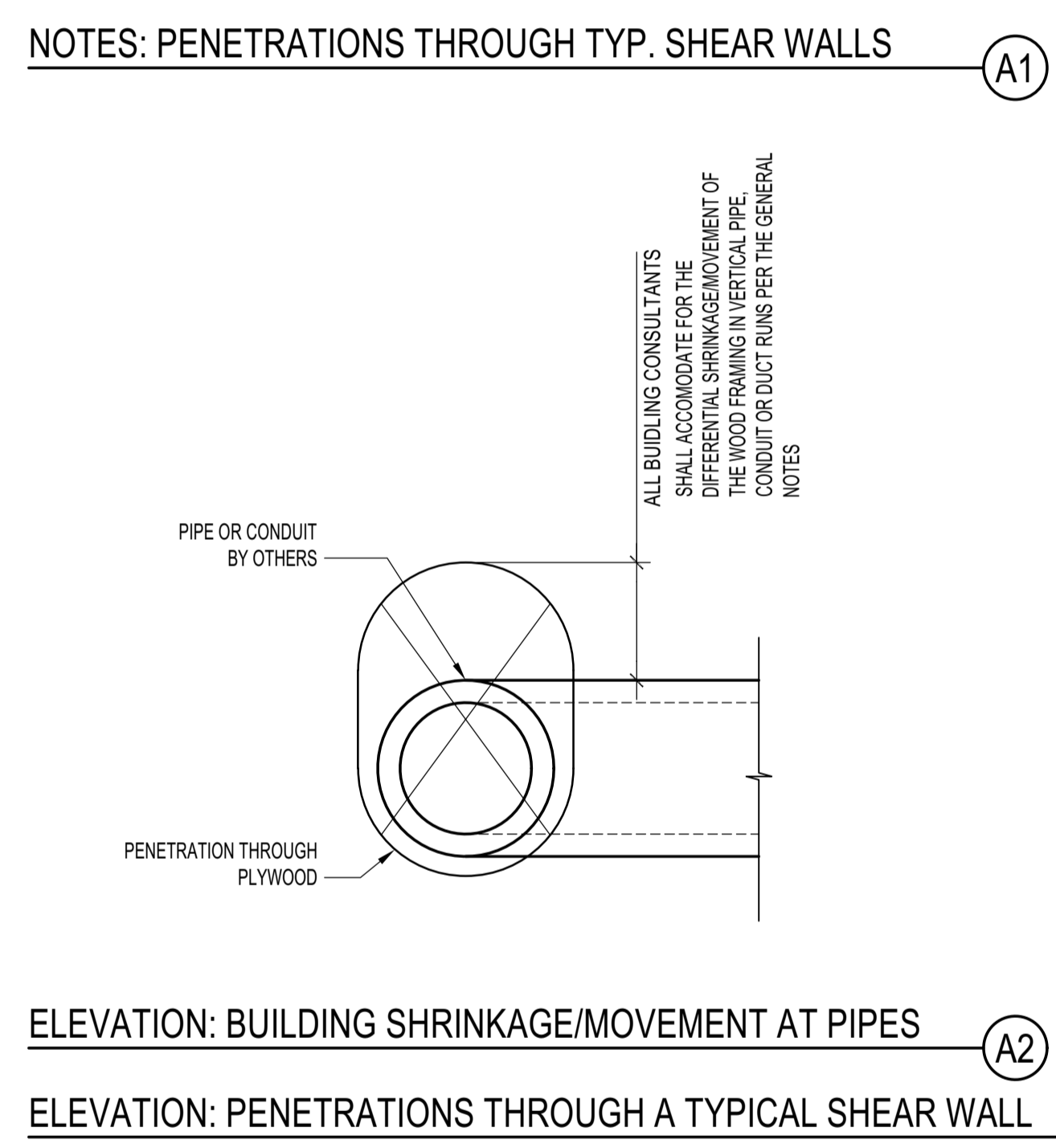
STRUCTURAL ENGINEER:  
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- PENETRATIONS THROUGH SHEAR WALL NOTES:**
- 4 1/2" Ø AND 4 1/2" SQ. MAX PENETRATION SIZE THROUGH SHEAR WALL PANELS ARE PERMITTED PROVIDED:
    - 3X Ø (OR 3X SQ. DIMENSION) MINIMUM CLEAR SPACING BETWEEN PENETRATIONS
    - NO OPENINGS TO OCCUR WITHIN TIE-DOWN POST AREA AT WALL ENDS UNLESS SPECIFICALLY CALLED OUT ON PLAN OR APPROVED BY THE SEOR
    - NO OVER CUTS IN WOOD MEMBERS AND SHEATHING ARE PERMITTED
  - FOR PENETRATIONS LARGER THAN THOSE SPECIFIED IN 1) ABOVE:
    - REROUTE PIPE OR DUCT, ETC. AROUND SHEAR WALLS
    - SEE PLANS FOR LOCATIONS OF APPROVED PENETRATIONS
    - OR NOTIFY THE SEOR AND AOR OF SPECIFIC PROPOSED PENETRATIONS FOR REVIEW
  - THE MAX ACCUMULATED LENGTH OF PENETRATIONS AT ANY GIVEN ELEVATION SHALL NOT EXCEED 10% OF THE WALL LENGTH 'L', TYP. U.N.O.
  - THIS DETAIL APPLIES TO ALL SHEARWALLS AND WALLS IN LINE WITH SHEARWALLS, TYP. U.N.O.
  - INSTALL ALL STRAPS AND HARDWARE PER MANUFACTURER SPECIFICATIONS.



ELEVATION: POST OR STUD LANDING ON A.B. (P)

TYP. INTERRUPTED DBL. TOP PL & SILL PL BY PIPE (F)

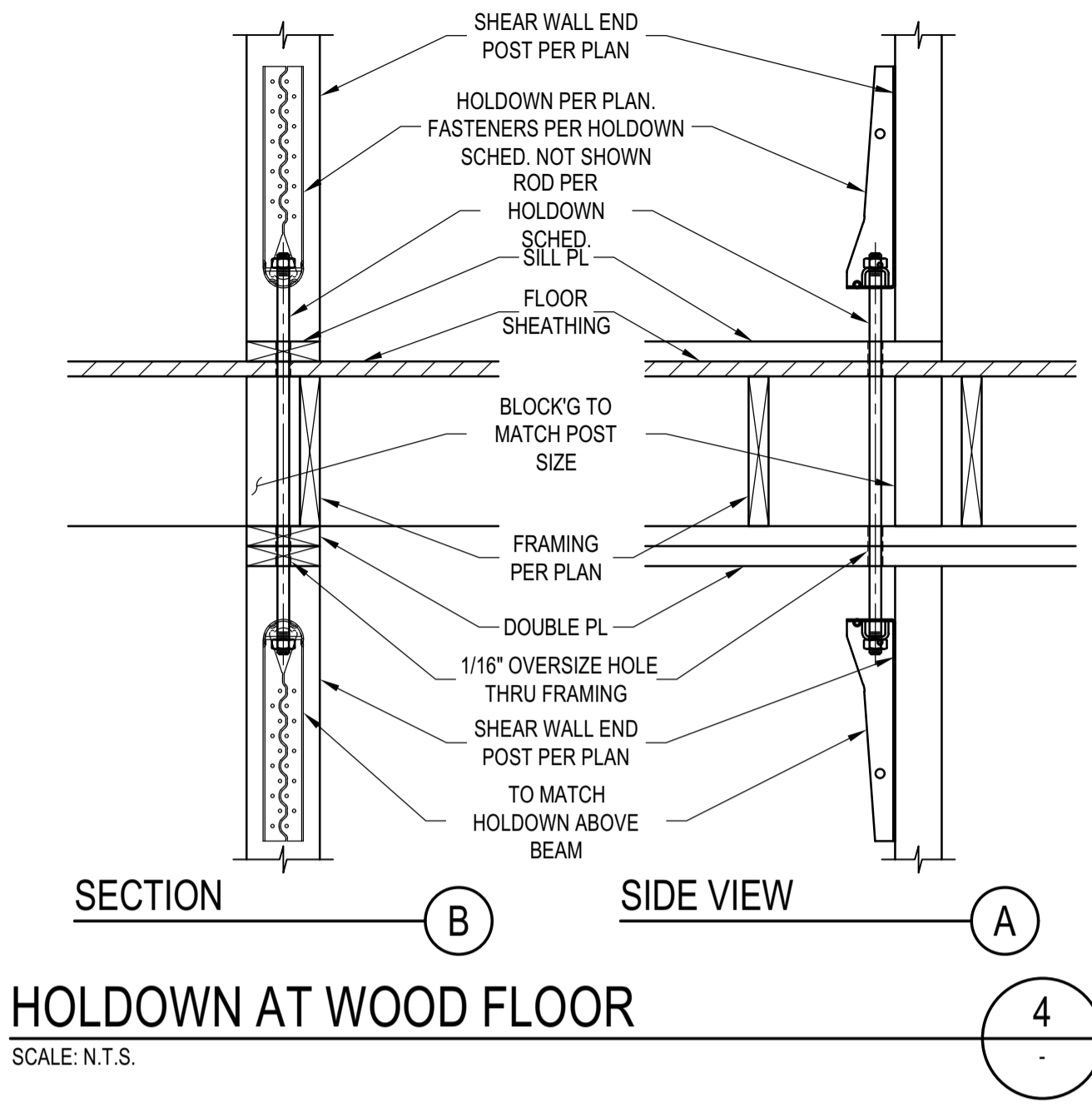
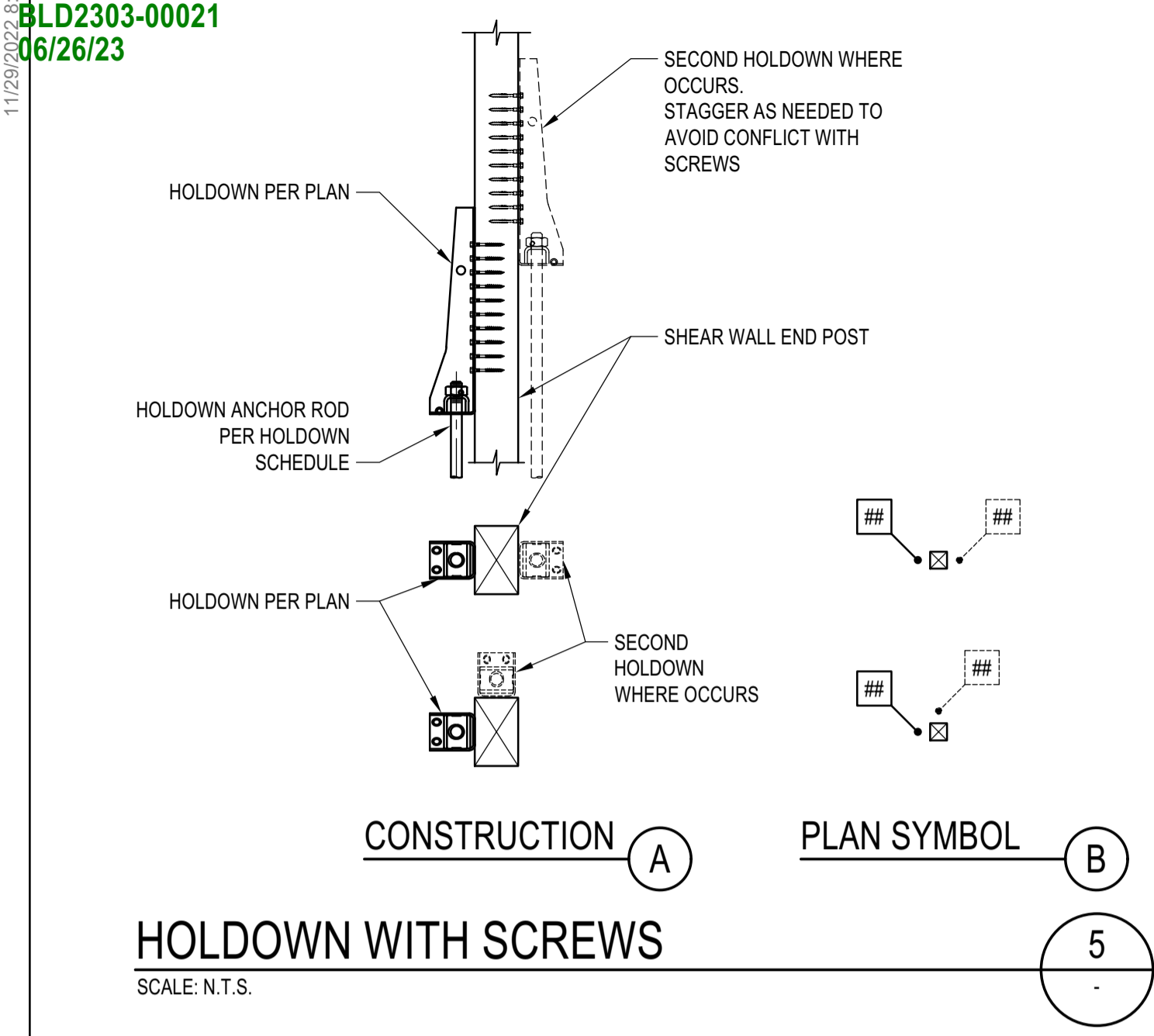
TYP. SMALL PIPE OR CONDUIT THROUGH DBL. TOP PL (D)

PROJECT:  
**BADGER RESIDENCE**  
 121 BADGER LANE  
 KETCHUM, ID 83340

PROJECT NUMBER  
**#2201**  
 DRAWING TITLE:  
**TYPICAL DETAILS - WOOD SHEAR WALLS**  
 DRAWING NUMBER:  
**S-043**



**Approved**  
 These plans have been found to be in substantial compliance with the applicable building codes. These documents are approved contingent on compliance with the mark-ups and notes applied. This is not approval of any code, ordinance, statute or regulation. Corrections will be required for code violations found during the inspection process.  
 BLD2303-00021  
 06/26/23



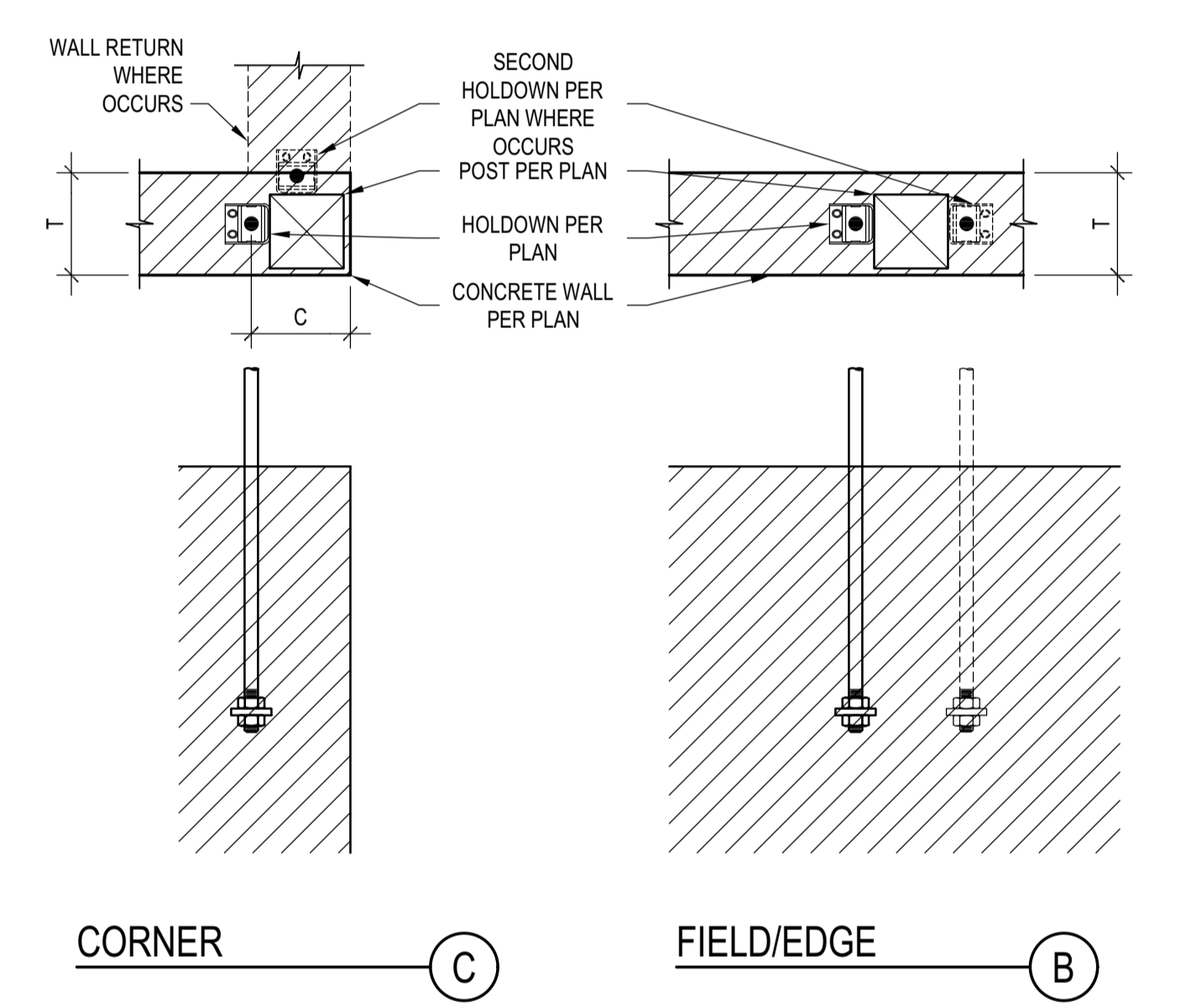
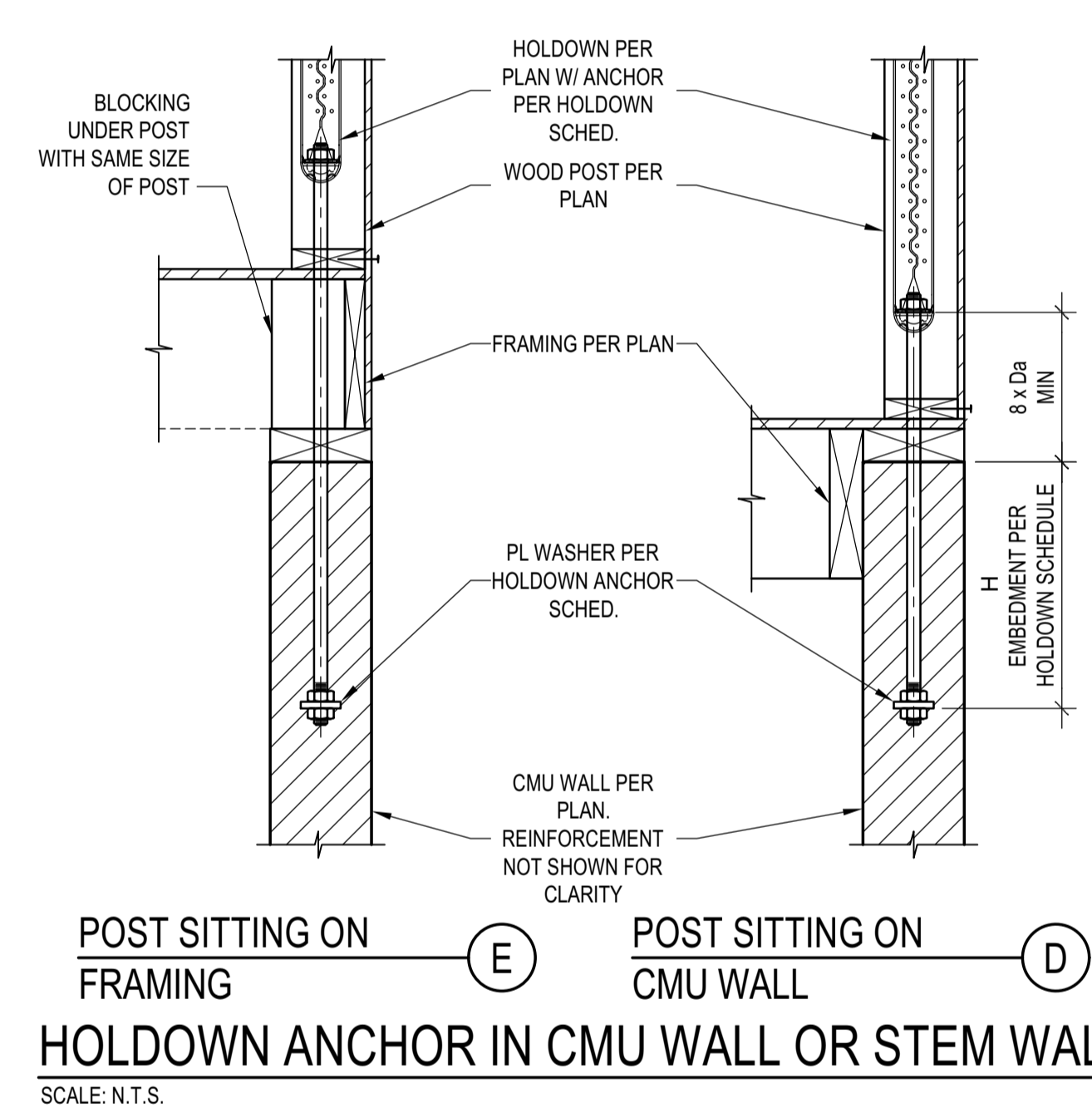
**HOLDOWN SCHEDULE** (A)

MARK (PER PLAN)	GRADE 36 ROD DIAM. "Da"	PL WASHER		HOLDOWN	FASTENER	MIN POST SIZE	CAPACITY	CAPACITY WITH 25% REDUCTION PER CITY OF LA
		T (IN)	SIDE (IN)					
2	5/8"	3/8	1 1/2	HDU2	6-SDS25212	4x4	3,075 LBS	2,306 LBS
4	5/8"	3/8	1 1/2	HDU4	10-SDS25212	4x4	4,565 LBS	3,424 LBS
5	5/8"	3/8	1 1/2	HDU5	14-SDS25212	4x6	5,670 LBS	4,253 LBS
8	7/8"	3/8	2	HDU8	20-SDS25212	4x6 OR 6x6	7,870 LBS	5,903 LBS
11	1"	3/8	2	HDU11	30-SDS25212	4x6 OR 6x6	9,535 LBS	7,151 LBS
14	1"	3/8	2	HDU14	36-SDS25212	6x6	14,445 LBS	10,834 LBS
12	1 1/8"	3/8	2 1/2	HD12	4-1"Ø BOLTS	6x6	15,510 LBS	11,633 LBS
19	1 1/4"	3/8	3	HD19	5-1"Ø BOLTS	4x6 OR 6x6	19,360 LBS	14,520 LBS
2-14	2-1"	3/8	2	DOUBLE HDU14	2 x 36-SDS25212	6x6	28,780 LBS	21,585 LBS

- NOTES:**
- HDU SCREW-STYLE HOLDOWNS ARE PER ICC ESR 2330. BOLT-STYLE HOLDOWNS PER IAPMO ESR 0143
  - POST SIZE SHOWN ON THE SCHEDULE ARE MINIMUM SIZES. IF LARGER SIZES ARE SPECIFIED ON THE PLANS THE SIZES SHOWN ON PLANS SHALL BE USED
  - ROD SHALL BE A36 ALL THREADED RODS
  - UNLESS MORE STRINGENT REQUIREMENTS ARE SPECIFIED IN HOLDOWN DETAILS, INSTALL HOLDOWNS 1/2 INCH MINIMUM ABOVE THE PLATE TO ALLOW FOR TIGHTENING OF ANCHOR BOLT. THE HOLD DOWN SHALL BE INSTALLED TIGHT TO THE POST WITHOUT FILLERS OR DAPPING. DO NOT BEND HOLD DOWN ANCHORS.
  - NUT AT HOLDOWN THREADED ROD SHOULD BE FINGER-TIGHT PLUS 1/2 TURN WITH A HAND WRENCH. DO NOT OVER-TORQUE THE NUT. DO NOT USE IMPACT WRENCHES.
  - HOLDOWN HARDWARE MUST BE SECURED IN PLACE PRIOR TO FOUNDATION INSPECTION/OBSERVATION
  - HOLDOWNS MUST BE INSPECTED/OBSERVED BEFORE COVERING WITH SHEATHING.

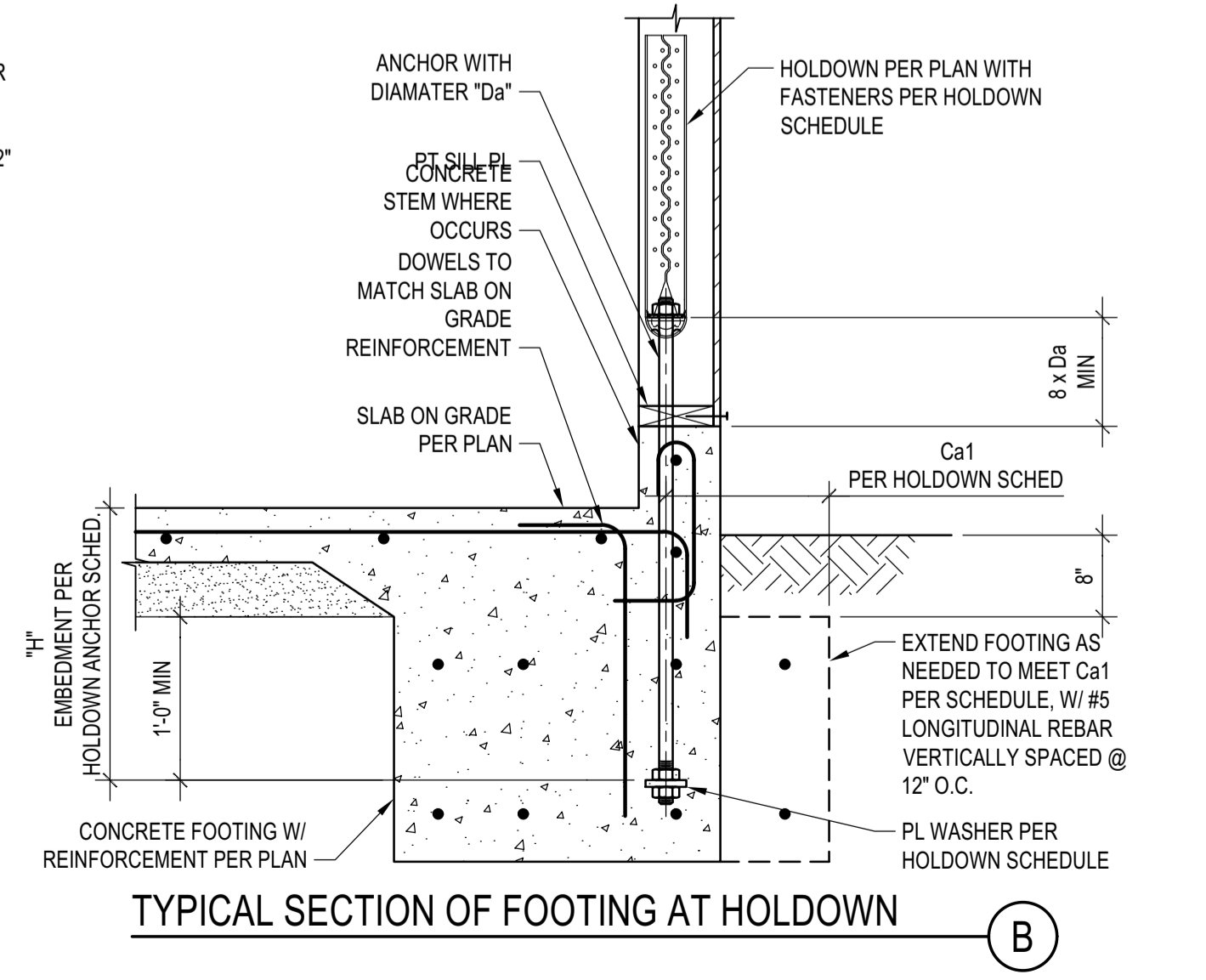
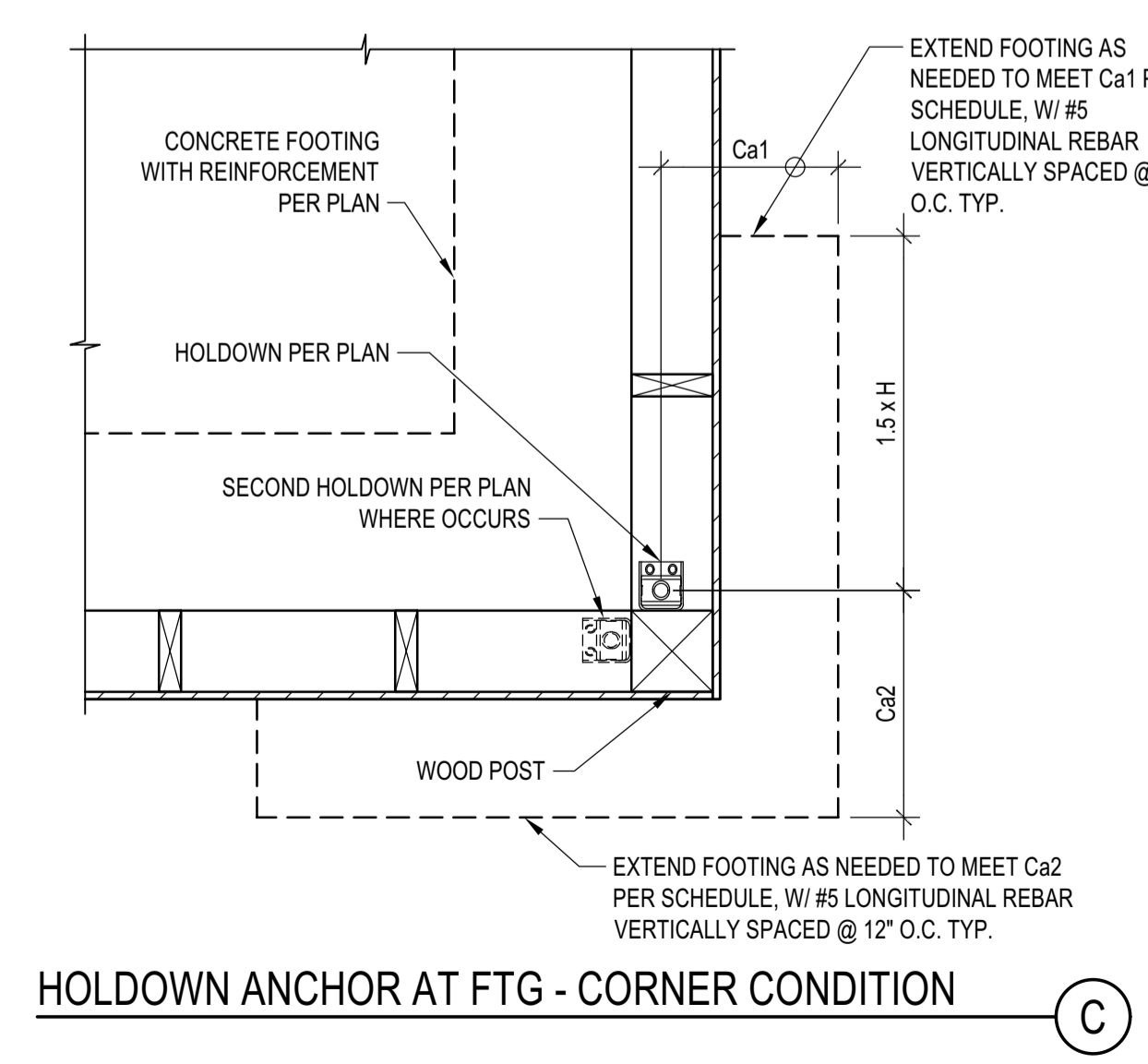
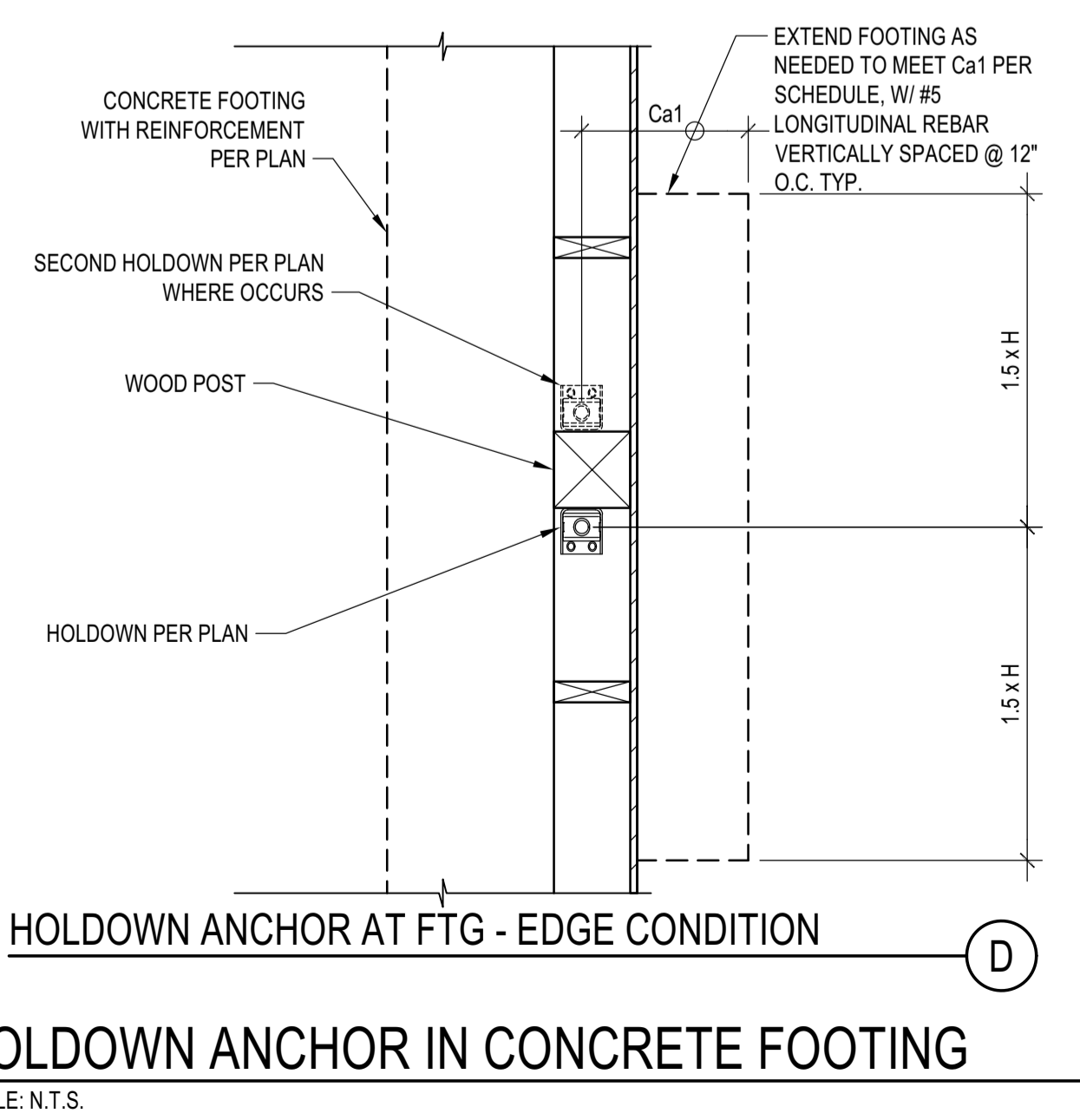
**HOLDOWN SCHEDULE AND NOTES** (A) 1

SCALE: N.T.S.



**SCHEDULE HOLDOWN ANCHOR IN CMU WALL OR STEM** (A) 2

MARK (PER PLAN)	GRADE 36 ROD DIAM. "Da"	PL WASHER		HOLDOWN ANCHOR IN CMU WALL OR STEM				
		T (IN)	SIDE (IN)	8" CMU WALL	12" CMU WALL	12" CMU WALL	12" CMU WALL	
				INSTALL	H MIN	C MIN	H MIN	C MIN
2	5/8"	3/8	1 1/2	EDGE/FIELD	18"	NA	18"	NA
				CORNER	18"	7"	18"	7"
4	5/8"	3/8	1 1/2	EDGE/FIELD	18"	NA	18"	NA
				CORNER	18"	7"	18"	7"
5	5/8"	3/8	1 1/2	EDGE/FIELD	18"	NA	18"	NA
				CORNER	18"	7"	18"	7"
8	7/8"	3/8	2	EDGE/FIELD	18"	NA	18"	NA
				CORNER	18"	7"	18"	7"
11	1"	3/8	2	EDGE/FIELD	18"	NA	18"	NA
				CORNER	21"	7"	18"	7"
14	1"	3/8	2	EDGE/FIELD	21"	NA	18"	NA
				CORNER	33"	7"	21"	7"
12	1 1/8"	3/8	2 1/2	EDGE/FIELD	22"	NA	18"	NA
				CORNER	36"	7"	21"	7"
19	1 1/4"	3/8	3	EDGE/FIELD	27"	NA	24"	NA
				CORNER	48"	7"	30"	7"
2-14	2-1"	3/8	2	EDGE/FIELD	42"	NA	27"	NA
				CORNER	69"	12"	42"	12"



**SCHEDULE HOLDOWN ANCHOR IN CONCRETE FOOTING** (A) 3

MARK (PER PLAN)	GRADE 36 ROD DIAM. "Da"	PL WASHER		HOLDOWN ANCHOR IN CONCRETE FOOTING				
		T (IN)	SIDE (IN)	INSTALL	H MIN	Ca1 MIN	Ca2 MIN	ANCHOR REBAR "Sp"
2	5/8"	3/8	1 1/2	EDGE/FIELD	12"	4"	NA	NR
				CORNER	12"	4"	4"	NR
4	5/8"	3/8	1 1/2	EDGE/FIELD	12"	4"	NA	NR
				CORNER	12"	4"	4"	NR
5	5/8"	3/8	1 1/2	EDGE/FIELD	12"	4"	NA	NR
				CORNER	12"	4"	4"	NR
8	7/8"	3/8	2	EDGE/FIELD	16"	4"	NA	NR
				CORNER	20"	4"	8"	NR
11	1"	3/8	2	EDGE/FIELD	18"	4"	NA	NR
				CORNER	24"	4"	7"	NR
14	1"	3/8	2	EDGE/FIELD	18"	4"	NA	NR
				CORNER	24"	4"	7"	NR
12	1 1/8"	3/8	2 1/2	EDGE/FIELD	20"	4"	NA	NR
				CORNER	24"	12"	12"	NR
19	1 1/4"	3/8	3	EDGE/FIELD	24"	4"	NA	NR
				CORNER	24"	15"	15"	NR
2-14	2-1"	3/8	2	EDGE/FIELD	24"	12"	NA	NR
				CORNER	24"	20"	20"	NR

**BADGER RESIDENCE**

**OWNER:**  
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**PROJECT ARCHITECT:**  
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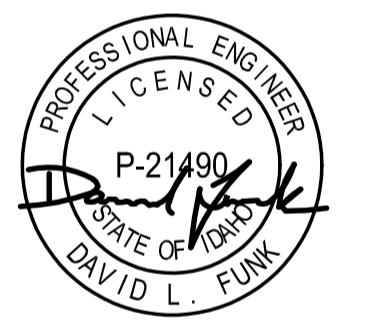
**LANDSCAPE ARCHITECT:**  
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 TEL: 208.726.5907

**STRUCTURAL ENGINEER:**  
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 NO DATE ISSUE

**PROJECT:**  
**BADGER RESIDENCE**  
 121 BADGER LANE  
 KETCHUM, ID 83340

**PROJECT NUMBER**  
**#2201**

**DRAWING TITLE:**  
**TYPICAL DETAILS - HOLDOWNS**

**DRAWING NUMBER:**  
**S-051**



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BLD2303-00021  
06/26/23

11/29/2023 8:10:11

**BADGER RESIDENCE**

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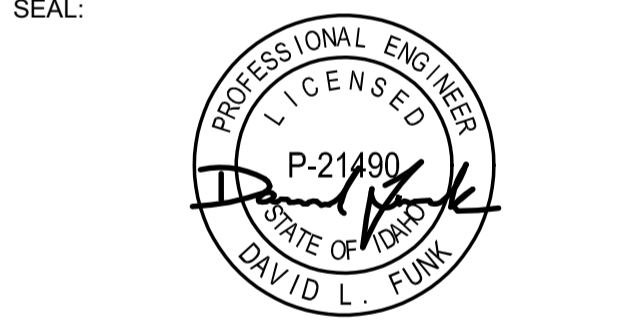
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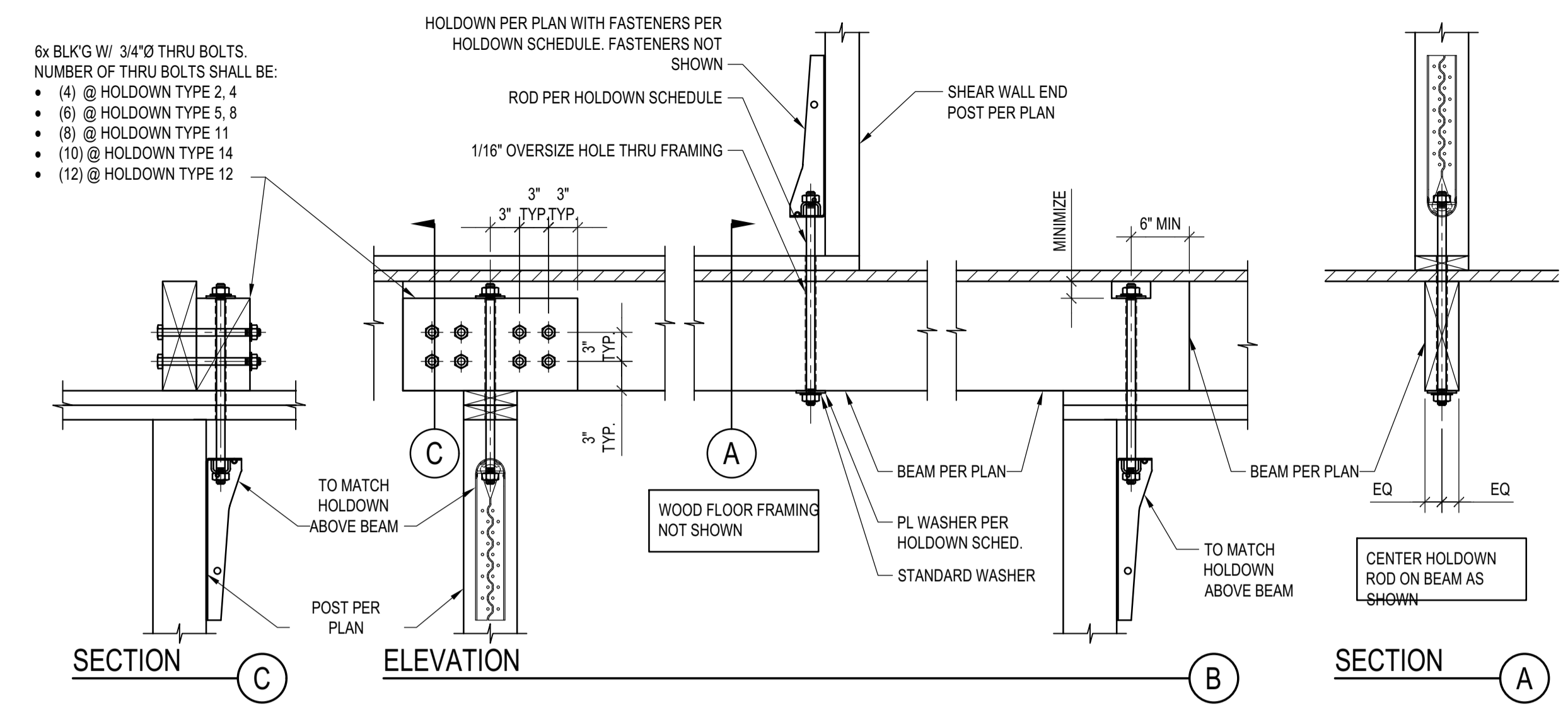
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PROJECT:  
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KETCHUM, ID 83340

PROJECT NUMBER  
**#2201**

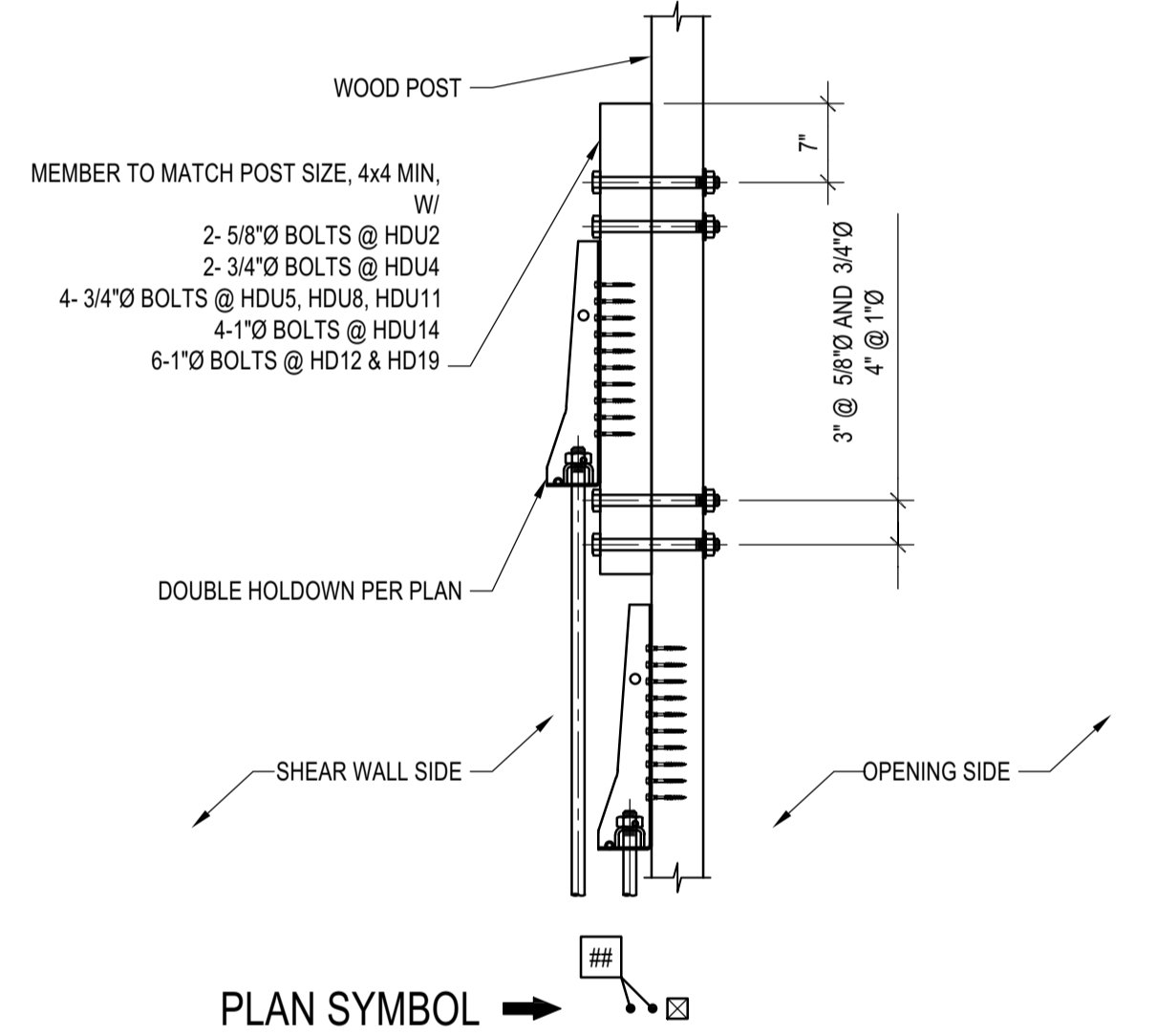
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**TYPICAL DETAILS -  
HOLDOWNS**

DRAWING NUMBER:  
**S-052**



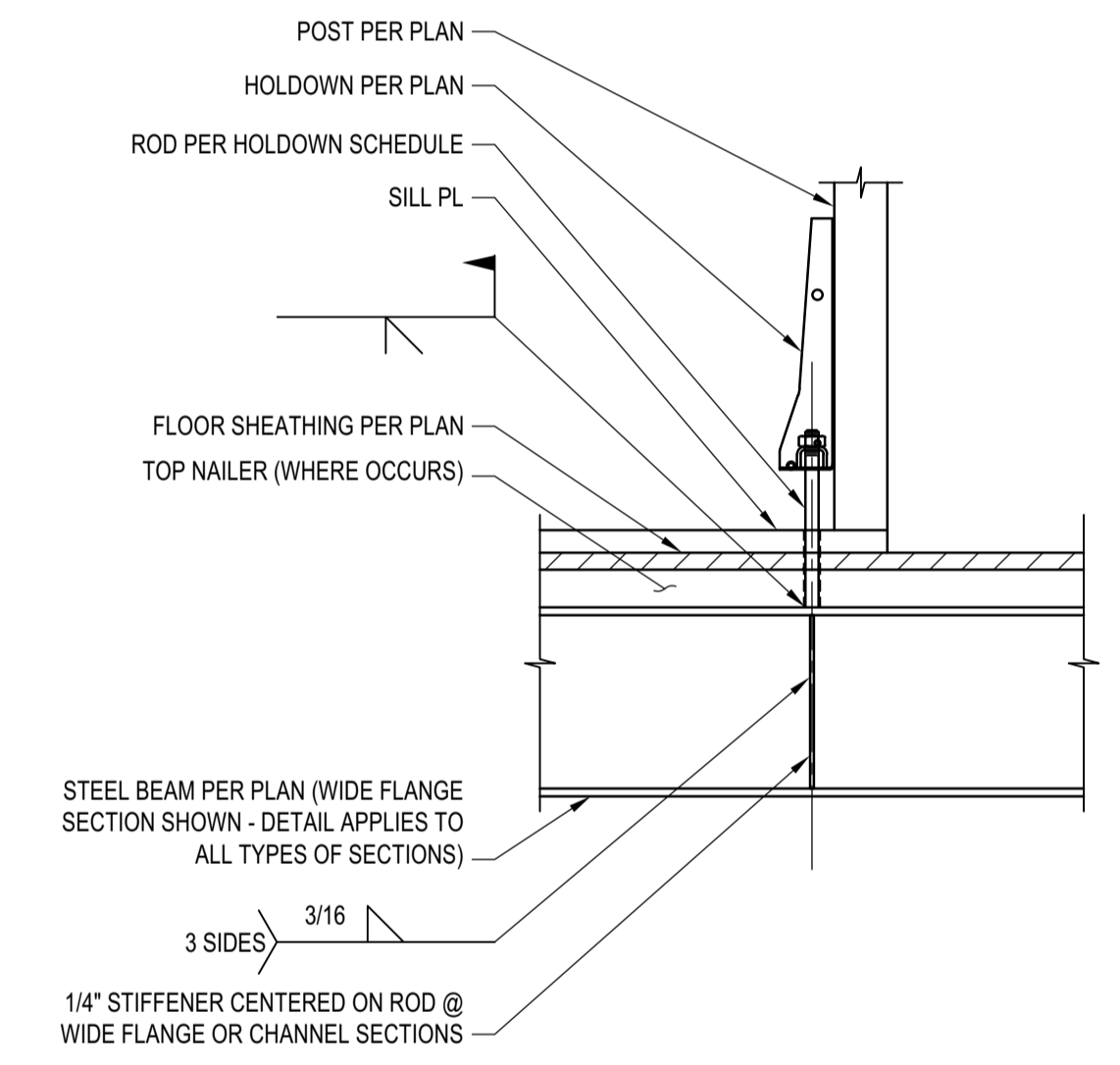
**HOLDOWN LANDING ON WOOD BEAM**

SCALE: N.T.S.



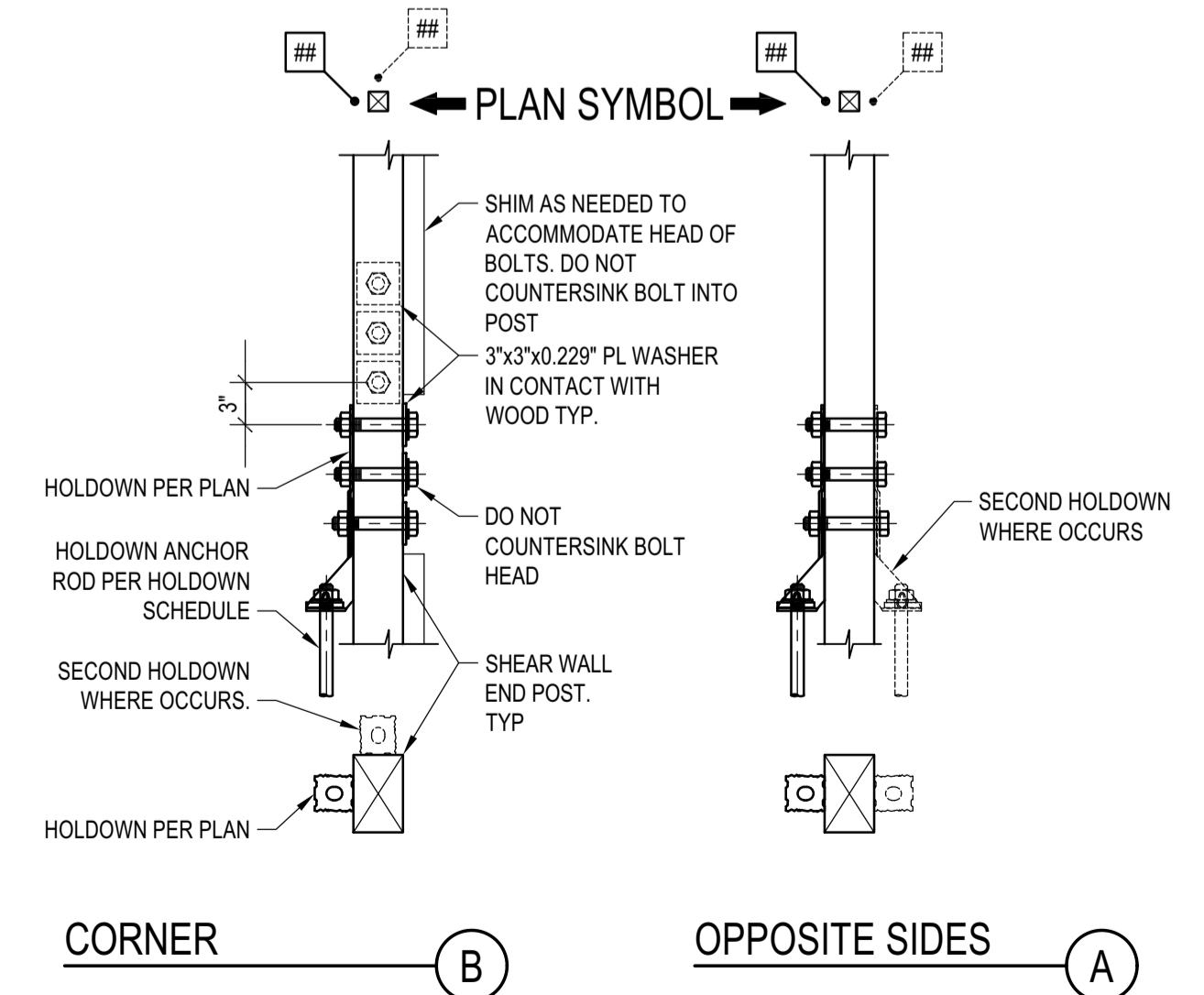
**DOUBLE HOLDDOWN AT WALL END**

SCALE: N.T.S.



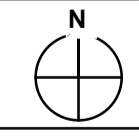
**HOLDOWN ON STEEL BEAM**

SCALE: N.T.S.



**HOLDOWN WITH BOLTS**

SCALE: N.T.S.



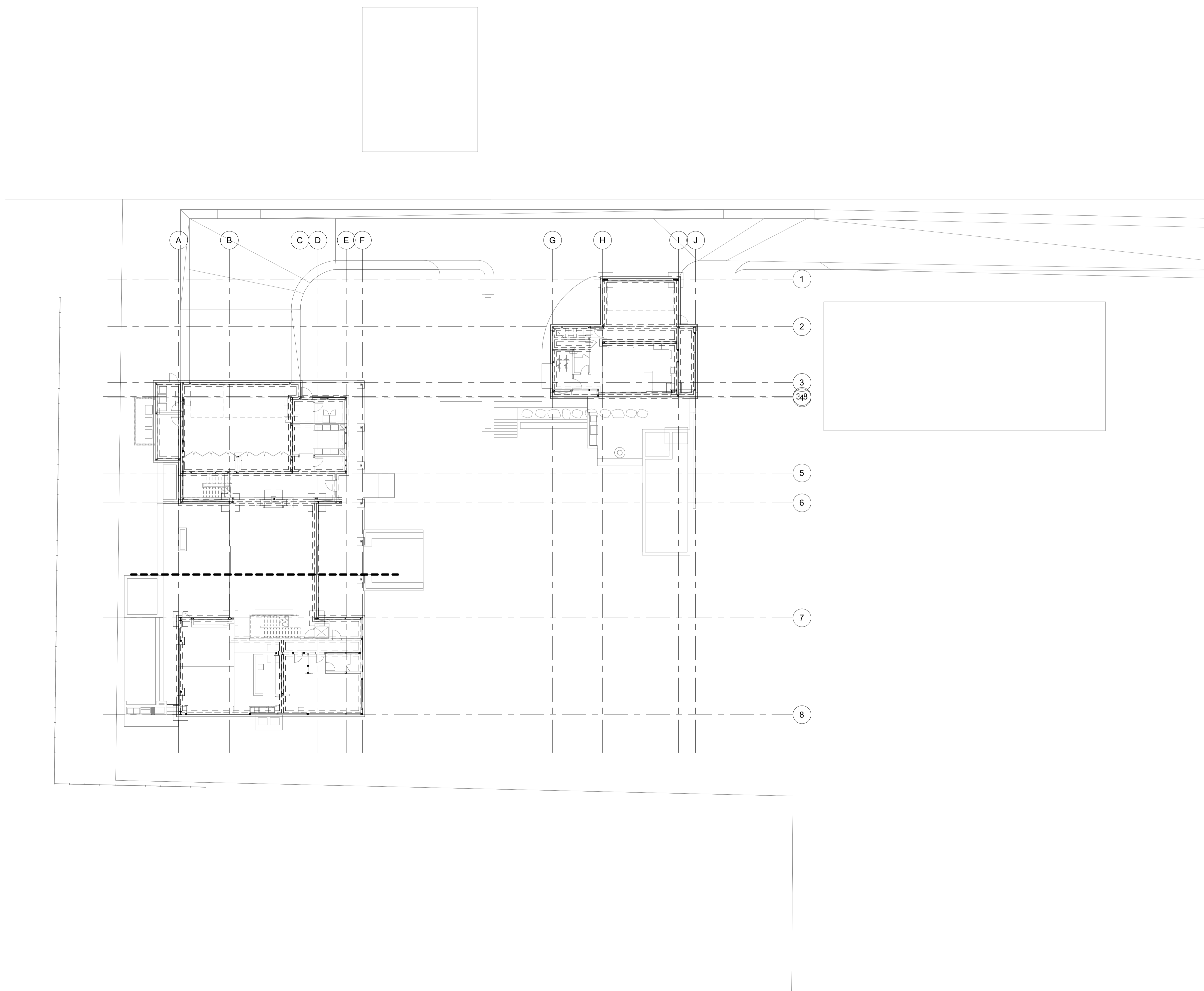




Approved  
 These plans have been found to be in substantial  
 compliance with the adopted building codes. These  
 comments are approved contingent on compliance with  
 all mark-ups and notes applied. This is not approval of  
 violation of any code, ordinance, statute or regulation.  
 No corrections will be required for code violations found  
 during the inspection process.

PLD2303-00021  
 6/26/23

2/24/23



**BADGER RESIDENCE**

OWNER:

121 BADGER LANE LLC  
 P.O. BOX 14001-174  
 KETCHUM, ID 83340

PROJECT ARCHITECT:

RO | ROCKETT DESIGN  
 1031 W. MANCHESTER BLVD, UNIT 6  
 INGLEWOOD, CA 90331  
 TEL: 213.784.0014

SURVEYOR & CIVIL ENGINEER:

GALENA ENGINEERING, INC.  
 317 NORTH RIVER STREET  
 HAILEY, ID 83333  
 TEL: 208.788.1705

GEOTECHNICAL ENGINEER:

BUTLER ASSOCIATES, INC.  
 P.O. BOX 1034  
 KETCHUM, ID 83340  
 TEL: 208.720.6432

LANDSCAPE ARCHITECT:

BYLA  
 323 LEWIS STREET, SUITE N  
 KETCHUM, ID 83340  
 TEL: 208.726.5907

STRUCTURAL ENGINEER:

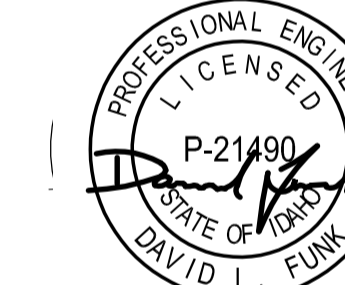
LFA  
 319 MAIN STREET  
 EL SEGUNDO, CA 90245  
 TEL: 213.239.9700  
 LFA Job #22791



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SEAL:



NO	DATE	PC SUBMITTAL	ISSUE
	02/24/23		

PROJECT:  
**BADGER RESIDENCE**  
 121 BADGER LANE  
 KETCHUM, ID 83340

PROJECT NUMBER  
**#2201**



DRAWING TITLE:  
**OVERALL SITE PLAN**

DRAWING NUMBER:

**S-100**

1 OVERALL SITE PLAN

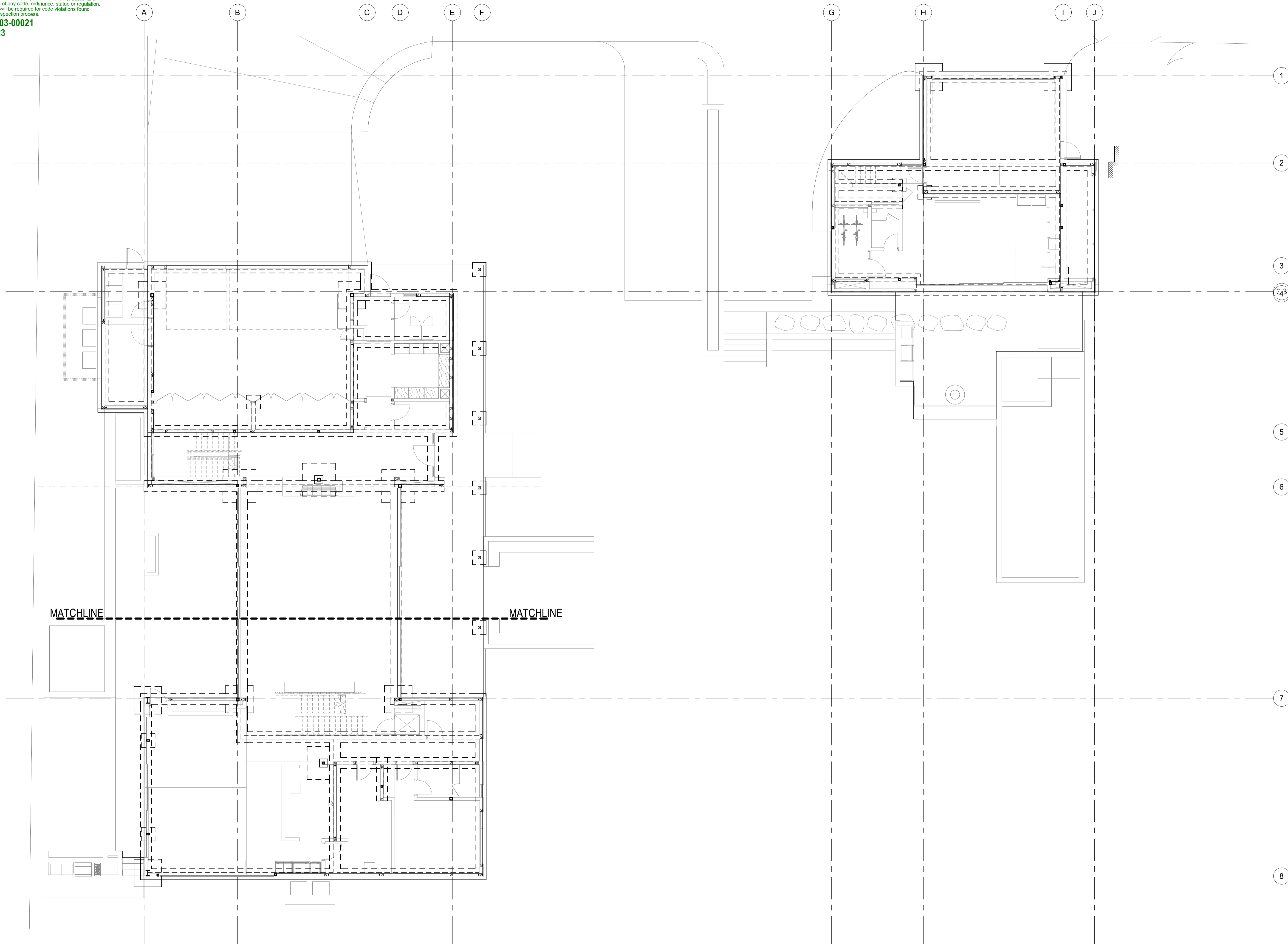
S-100 1/16" = 1'-0"

Approved

These plans have been found to be in substantial compliance with the requirements of the building code. These documents are approved contingent on compliance with all applicable codes and notes applied. This is not approval of any code, ordinance, statute or regulation. No action will be required for code violations found during the inspection process.

BLD2303-00021  
6/26/23

2024



1 OVERALL FOUNDATION/LEVEL 01 PLAN  
S-101 1/8" = 1'-0"

**BADGER RESIDENCE**

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P.O. BOX 14001-174  
KETCHUM, ID 83340

PROJECT ARCHITECT:  
**RO | ROCKETT DESIGN**  
1031 W. MANCHESTER BLVD, UNIT 6  
INGLEWOOD, CA 90301  
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LANDSCAPE ARCHITECT:  
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323 LEWIS STREET, SUITE N  
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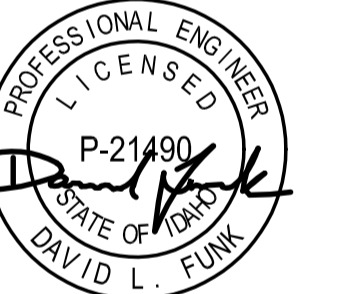
STRUCTURAL ENGINEER:  
**LFA**  
319 MAIN STREET  
EL SEGUNDO, CA 90245  
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LFA Job #22791



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SEAL:



NO	DATE	PC SUBMITTAL ISSUE
	02/24/23	PC SUBMITTAL

PROJECT:  
**BADGER RESIDENCE**  
121 BADGER LANE  
KETCHUM, ID 83340

PROJECT NUMBER:  
**#2201**

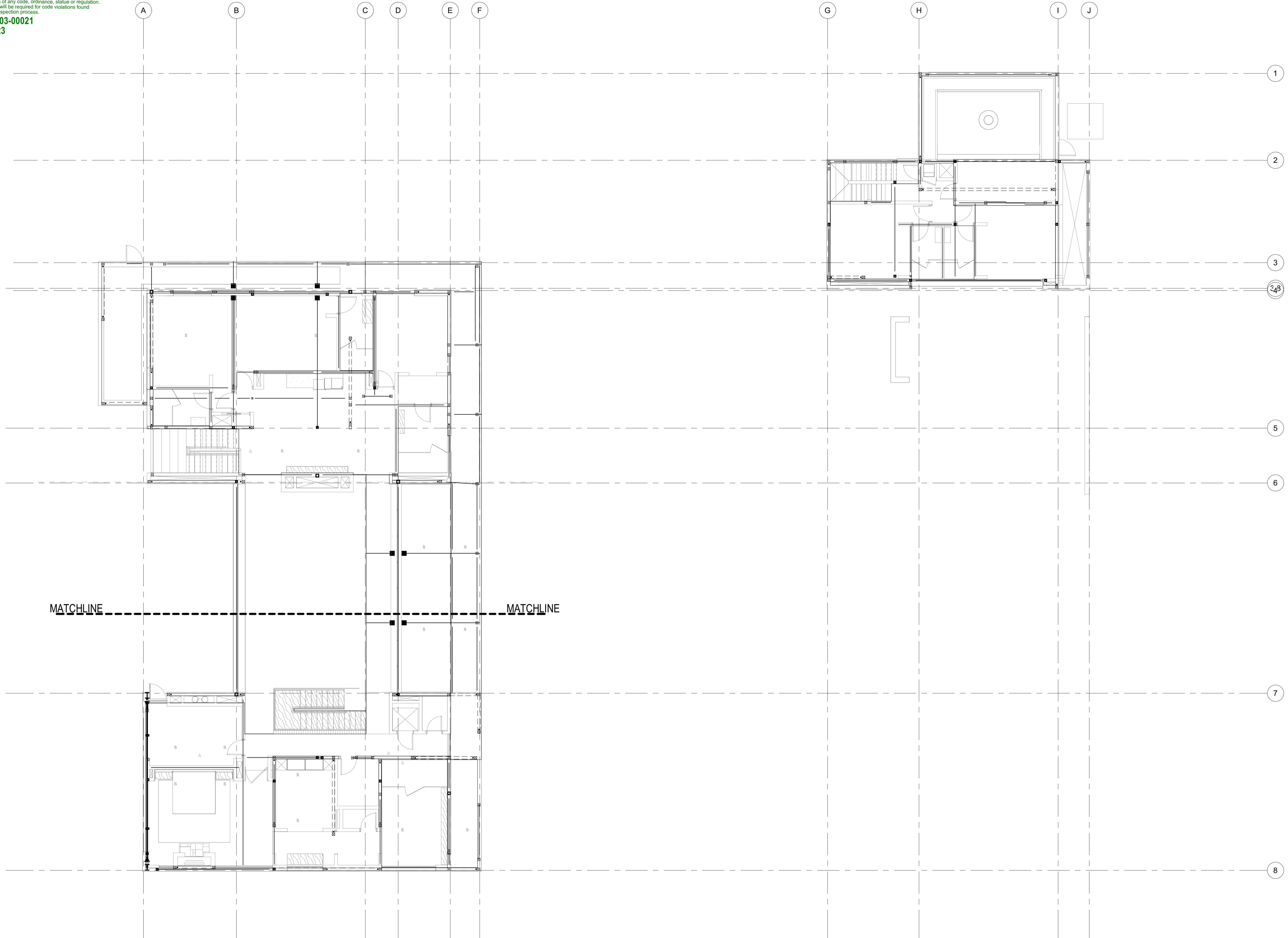
DRAWING TITLE:  
**OVERALL FOUNDATION/LEVEL 01 PLAN**

DRAWING NUMBER:  
**S-101**





**Approved**  
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 PLD2303-00021  
 6/26/23



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SEAL:

NO	DATE	PC SUBMITTAL	ISSUE

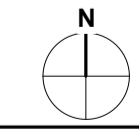
PROJECT:  
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 121 BADGER LANE  
 KETCHUM, ID 83340

PROJECT NUMBER  
**#2201**

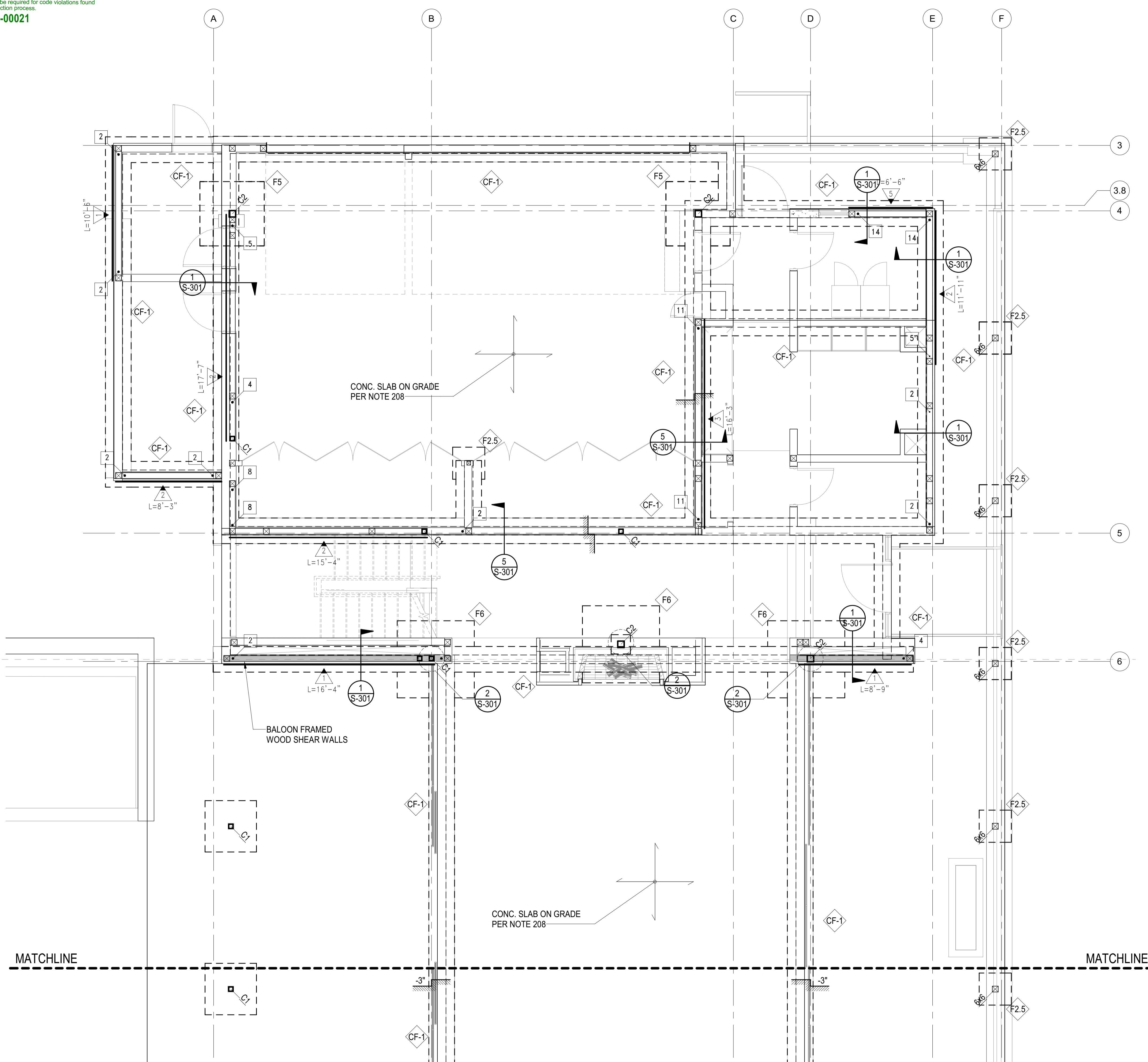
DRAWING TITLE:  
**OVERALL LEVEL 02 FRAMING PLAN**

DRAWING NUMBER:  
**S-102**

**1** OVERALL LEVEL 02 FRAMING PLAN  
 S-102 1/8" = 1'-0"







**PLAN NOTES - SHEETS AND GENERAL:**

101. GENERAL NOTES AND TYPICAL DETAILS SHEETS: SEE S0.01 THRU S0.62 SHEETS. GENERAL NOTES & TYPICAL DETAILS APPLY TO ALL PARTS OF THE WORK EXCEPT WHERE SPECIFICALLY DETAILED OR U.N.O. ON THE FLOOR PLANS AND PLAN NOTES.
102. VERIFY ALL DIMENSIONS, ELEVATIONS, SLAB EDGES, SLAB DEPRESSIONS, SLAB OPENINGS, CURBS, FOOTING, PENETRATIONS, WALL OPENINGS WITH ARCHITECTURAL, MECHANICAL, PLUMBING, ELECTRICAL & CIVIL DRAWINGS.
103. FOR ALL DIMENSIONS & ROOF SLOPES S.A.D.
104. NON-BEARING WALLS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. FOR NON-BEARING WALL LOCATIONS S.A.D.

**PLAN NOTES - FOUNDATION:**

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202. RECOMMENDED MATERIAL IS NATIVE SOIL BELOW THE FROST LINE.
203. IF FOR LIMITS AND EXTENT OF OVER EXCAVATION SEE CIVIL DRAWINGS.
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205. ALL HOLDOWN HARDWARE IS TO BE SECURED IN PLACE PRIOR TO FOUNDATION INSPECTION. HOLDOWNS SHALL BE RE-TIGHTENED JUST PRIOR TO COVERING THE WALL FRAMING PLATE WASHERS ARE REQUIRED FOR ALL HOLDOWNS.
206. FOR SLAB ON GRADE SUB-GRADE PREPARATION SEE SOILS REPORT.
207. FOR VAPOR BARRIER AT INTERIOR SPACES S.A.D. SPECIFICATIONS/DRAWINGS.
208. CONCRETE SLAB ON GRADE: 5" THICK, REINFORCED WITH #5 BARS AT 16" O.C. EACH WAY.
209. THE BUILDING HAS BEEN DESIGNED TO BE ANCHORED INTO THE BEARING MATERIAL PER THE DESIGN REQUIREMENTS OF ASCE 24-14.
210. THE ONLY STRUCTURAL MATERIAL OCCURRING BELOW THE B.F.E. IS REINFORCED CONCRETE, WHICH IS WITHIN THE ACCEPTABLE MATERIALS LIST FOR FLOORS AND WALLS IN TABLE 2 OF THE FEMA TECHNICAL BULLETIN.

**SYMBOLS - FOUNDATION**

- INDICATES CHANGE IN FLOOR ELEVATION
- INDICATES CONCRETE WALL
- INDICATES CONCRETE WALL BELOW
- INDICATES CONCRETE FOOTING
- INDICATES STEPPED FOOTING PER 18/S1.01
- INDICATES CONCRETE GRADE BEAM PER SCHEDULE THIS SHEET
- INDICATES CONCRETE FOOTING PER SCHEDULE THIS SHEET
- INDICATES CONCRETE COLUMN PER SCHEDULE ###
- INDICATES CONCRETE GRADE BEAM PER SCHEDULE THIS SHEET
- INDICATES WOOD WALLS W/ 6x6 STUDS @ 16" OC MIN

FOOTING SCHEDULE	
MARK	SIZE AND REINFORCEMENT
CF1	2'-0" WIDE x 12" THICK W/ CONCRETE FOOTING W/ 2-#5 T&B
F2.5	2'-6" SQUARE x 18" THICK W/ 4-#5 T&B EACH WAY
F5	5'-0" SQUARE x 18" THICK W/ 6-#5 T&B EACH WAY
F6	6'-0" SQUARE x 18" THICK W/ 6-#6 T&B EACH WAY

COLUMN SCHEDULE		
MARK	COLUMN TYPE AND SHAPE	NOTES
C1	HSS4x4x3/8	-
C2	HSS6x6x1/2	-

**BADGER RESIDENCE**

OWNER:  
**121 BADGER LANE LLC**  
 P.O. BOX 14001-174  
 KETCHUM, ID 83340

PROJECT ARCHITECT:  
**RO | ROCKETT DESIGN**  
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 INGLESWOOD, CA 90301  
 TEL: 213.784.0014

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 HAILEY, ID 83333  
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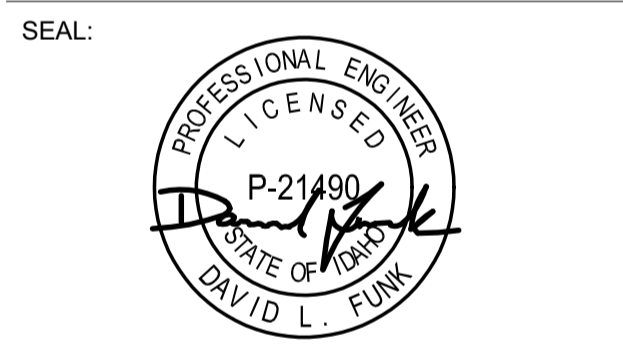
GEOTECHNICAL ENGINEER:  
**BUTLER ASSOCIATES, INC.**  
 P.O. BOX 1034  
 KETCHUM, ID 83340  
 TEL: 208.720.6432

LANDSCAPE ARCHITECT:  
**BYLA**  
 323 LEWIS STREET, SUITE N  
 KETCHUM, ID 83340  
 TEL: 208.726.5907

STRUCTURAL ENGINEER:  
**LFA**  
 319 MAIN STREET  
 EL SEGUNDO, CA 90245  
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 LFA Job #22791



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02/24/23 PC SUBMITTAL  
 NO DATE ISSUE

PROJECT:  
**BADGER RESIDENCE**  
 121 BADGER LANE  
 KETCHUM, ID 83340

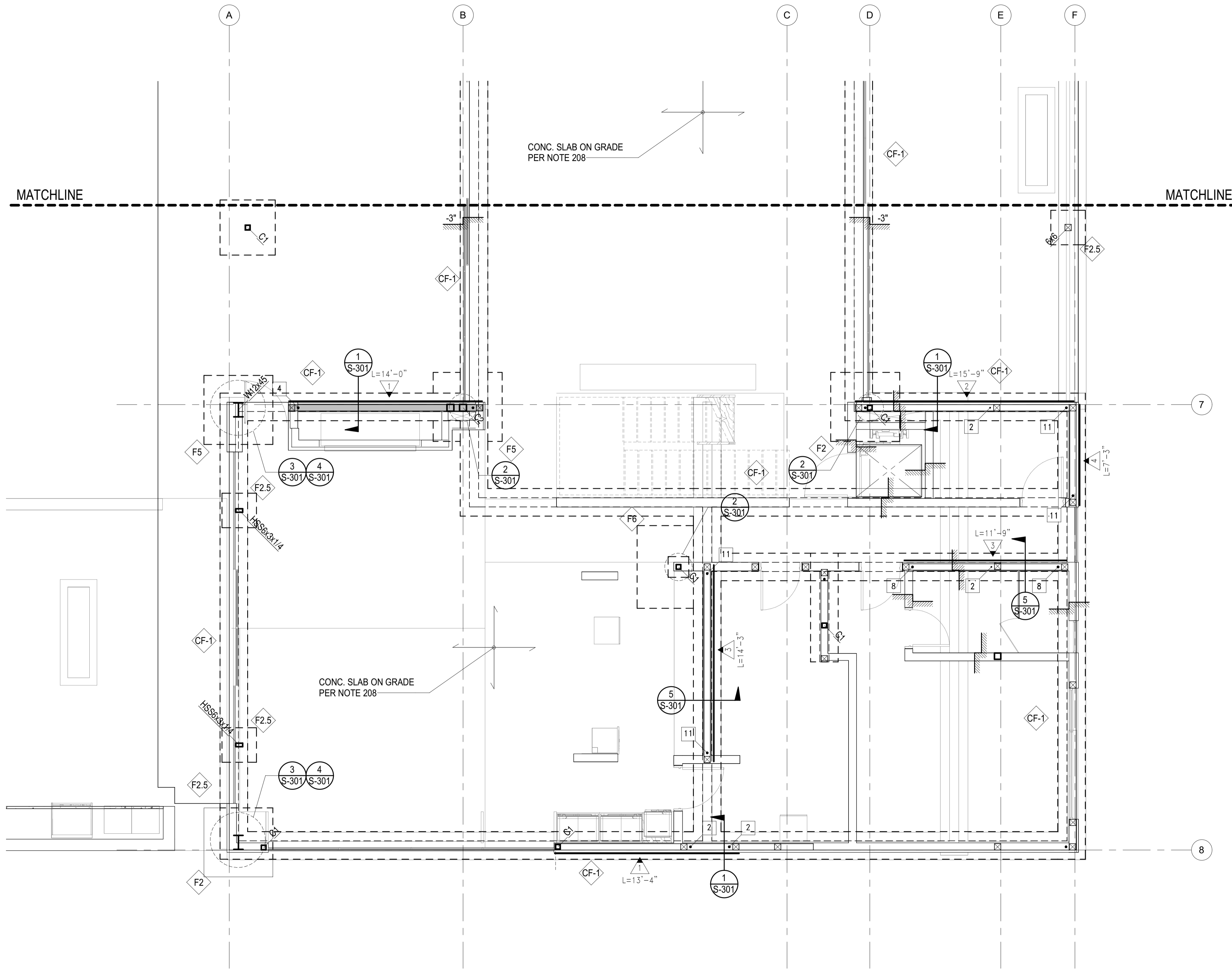
PROJECT NUMBER  
**#2201**

DRAWING TITLE:  
**FOUNDATION/LEVEL 01  
 PLAN - MAIN HOUSE**

DRAWING NUMBER:  
**S-111A**

**NOT FOR CONSTRUCTION**

**1** FOUNDATION/LEVEL 01 PLAN - MAIN HOUSE  
 S-111A 1/4" = 1'-0"



**PLAN NOTES - SHEETS AND GENERAL:**

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**SYMBOLS - FOUNDATION**

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- INDICATES STEPPED FOOTING PER 18/S1.01
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- INDICATES CONCRETE FOOTING PER SCHEDULE THIS SHEET
- INDICATES CONCRETE COLUMN PER SCHEDULE ###
- INDICATES CONCRETE GRADE BEAM PER SCHEDULE THIS SHEET
- INDICATES WOOD WALLS W/ 6x6 STUDS @ 16" OC MIN

FOOTING SCHEDULE	
MARK	SIZE AND REINFORCEMENT
CF1	2'-0" WIDE x 12" THICK W/ CONCRETE FOOTING W/ 2-#5 T&B
F2.5	2'-6" SQUARE x 18" THICK W/ 4-#5 T&B EACH WAY
F5	5'-0" SQUARE x 18" THICK W/ 6-#5 T&B EACH WAY
F6	6'-0" SQUARE x 18" THICK W/ 6-#6 T&B EACH WAY

COLUMN SCHEDULE		
MARK	COLUMN TYPE AND SHAPE	NOTES
C1	HSS4x4x3/8	-
C2	HSS6x6x1/2	-

1 FOUNDATION/LEVEL 01 PLAN - MAIN HOUSE  
 S-111B 1/4" = 1'-0"

**BADGER RESIDENCE**

OWNER:  
**121 BADGER LANE LLC**  
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 KETCHUM, ID 83340

PROJECT ARCHITECT:  
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 TEL: 213.784.0014

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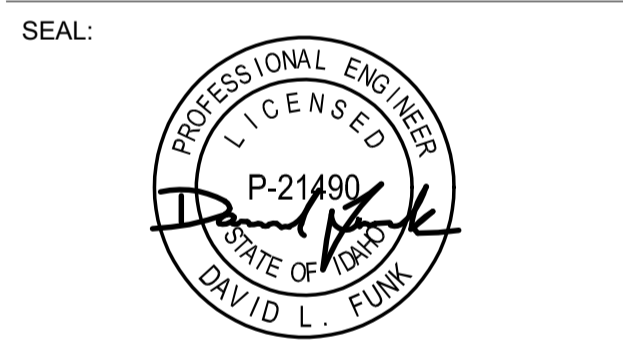
GEOTECHNICAL ENGINEER:  
**BUTLER ASSOCIATES, INC.**  
 P.O. BOX 1034  
 KETCHUM, ID 83340  
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LANDSCAPE ARCHITECT:  
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STRUCTURAL ENGINEER:  
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02/24/23 PC SUBMITTAL  
 NO DATE ISSUE

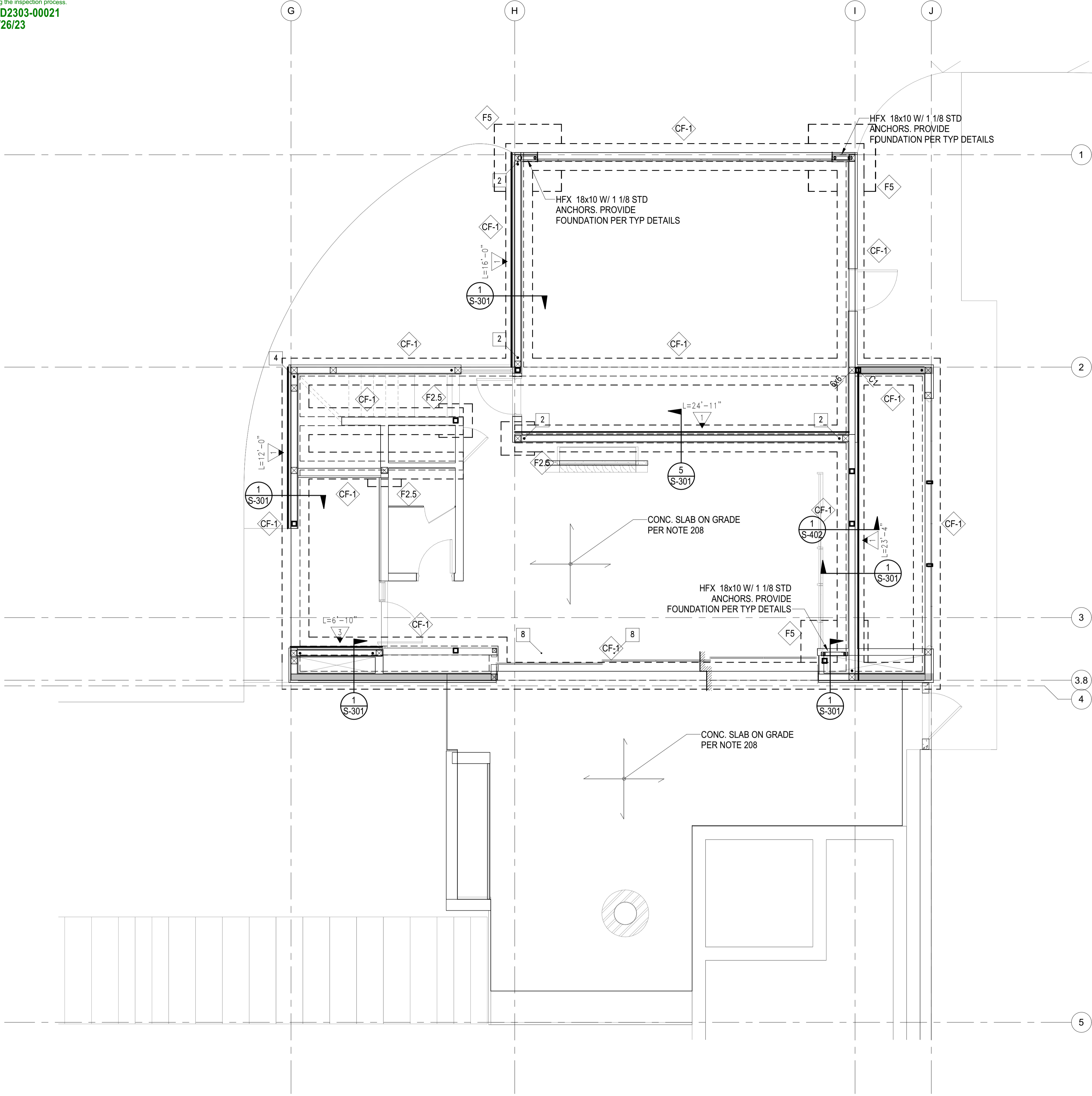
PROJECT:  
**BADGER RESIDENCE**  
 121 BADGER LANE  
 KETCHUM, ID 83340

PROJECT NUMBER  
**#2201**

DRAWING TITLE:  
**FOUNDATION/LEVEL 01  
 PLAN - MAIN HOUSE**

DRAWING NUMBER:  
**S-111B**

**NOT FOR CONSTRUCTION**



1 FOUNDATION/LEVEL 01 PLAN - ADU  
 S-111C 1/4" = 1'-0"

**PLAN NOTES - SHEETS AND GENERAL:**

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- INDICATES CONCRETE GRADE BEAM PER SCHEDULE THIS SHEET
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F6	6'-0" SQUARE x 18" THICK W/ 6-#6 T&B EACH WAY

COLUMN SCHEDULE		
MARK	COLUMN TYPE AND SHAPE	NOTES
C1	HSS4x4x3/8	-
C2	HSS6x6x1/2	-

**BADGER RESIDENCE**

OWNER:  
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PROJECT ARCHITECT:  
**RO | ROCKETT DESIGN**  
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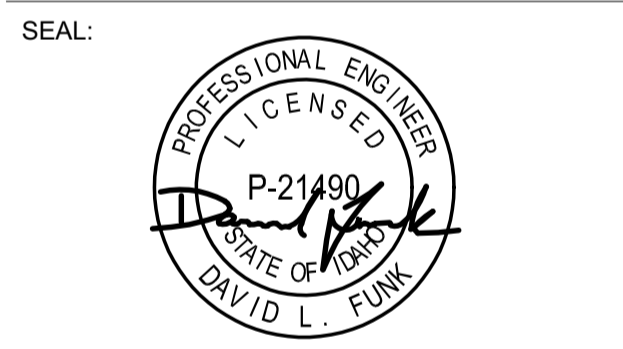
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STRUCTURAL ENGINEER:  
**LFA**  
 319 MAIN STREET  
 EL SEGUNDO, CA 90245  
 TEL: 213.239.9700  
 LFA Job #22791



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02/24/23 PC SUBMITTAL  
 NO DATE ISSUE

PROJECT:  
**BADGER RESIDENCE**  
 121 BADGER LANE  
 KETCHUM, ID 83340

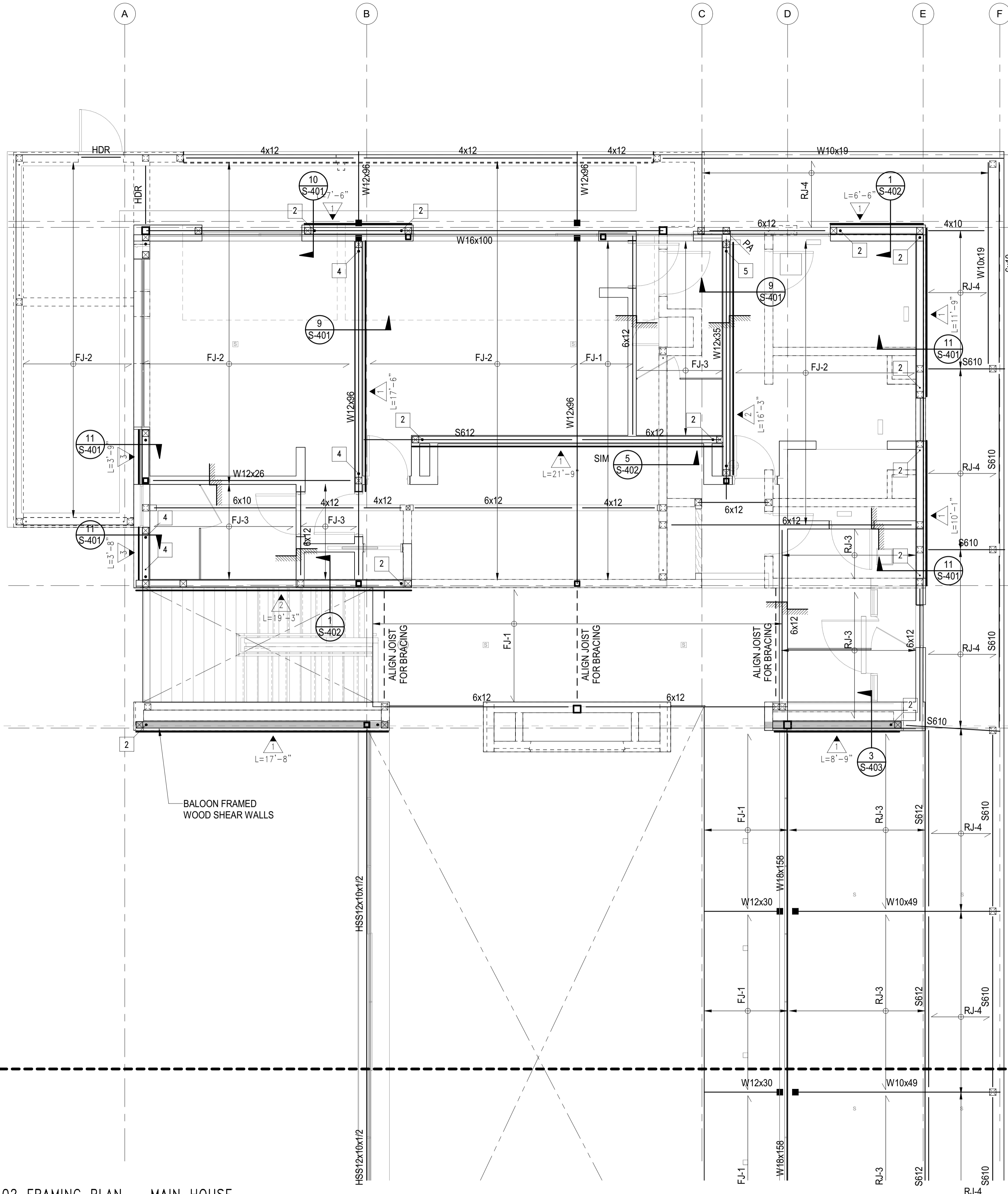
PROJECT NUMBER  
**#2201**

DRAWING TITLE:  
**FOUNDATION/LEVEL 01  
 PLAN - ADU**

DRAWING NUMBER:  
**S-111C**

**NOT FOR CONSTRUCTION**  
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Approved  
 These plans have been found to be in substantial compliance with the relevant building codes. These documents are approved contingent on compliance with the mark-ups and notes applied. This is not approval of violation of any code, ordinance, statute or regulation. No action will be required for code violations found during the inspection process.  
 PLD2303-00021  
 6/26/23



- DRAG DRAG BEAM WITH BOUNDARY NAILING. FOR CONSTRUCTION OF DRAG BEAMS AND DRAG STRAP SEE 'DRAGS & CONN. TO SHEAR WALLS' TYPICAL DETAIL
- DRAG STRAP & BLOCKING WITH BOUNDARY NAILING.
- INDICATES OPENING IN DIAPHRAGM/SLAB
- INDICATES EXTERIOR DECKS.
- INDICATES CHANGE IN FLOOR ELEVATION
- INDICATES WOOD POST ABOVE
- INDICATES WOOD POST ABOVE
- INDICATES STEEL COLUMN
- HDR INDICATES LOAD BEARING HEADER PER 'TYP. STUD WALL FRAMING ELEVATION'
- INDICATES STEEL COLUMN PER SCHEDULE ON THIS SHEET C1 TYPICAL UNLESS NOTED OTHERWISE
- UPWARD CAMBER IN BEAM (INCHES)
- INDICATES WOOD WALLS W/ 6x6 STUDS @ 16" OC MIN

COLUMN SCHEDULE		
MARK	COLUMN TYPE AND SHAPE	NOTES
C1	HSS4x4x3/8	-
C2	HSS6x6x1/2	-

JOIST SCHEDULE		
MARK	JOIST TYPE AND SPACING	NOTES
RJ-1	4x12 @ 16" OC	-
RJ-2	4x12 @ 24" OC	-
RJ-3	2-2x12 @ 12" OC	-
RJ-4	2x10 @ 16" OC	-
RJ-5	2x12 @ 16" OC	-
FJ-1	2x12 @ 16" OC	-
FJ-2	2-2x12 @ 16" OC	-
FJ-3	2x10 @ 16" OC	-

**PLAN NOTES - SHEETS AND GENERAL:**

101. GENERAL NOTES AND TYPICAL DETAILS SHEETS: SEE S0.01 THRU S0.62 SHEETS. GENERAL NOTES & TYPICAL DETAILS APPLY TO ALL PARTS OF THE WORK EXCEPT WHERE SPECIFICALLY DETAILED OR U.N.O. ON THE FLOOR PLANS AND PLAN NOTES.
102. VERIFY ALL DIMENSIONS, ELEVATIONS, SLAB EDGES, SLAB DEPRESSIONS, SLAB OPENINGS, CURBS, FOOTING, PENETRATIONS, WALL OPENINGS WITH ARCHITECTURAL, MECHANICAL, PLUMBING, ELECTRICAL & CIVIL DRAWINGS.
103. FOR ALL DIMENSIONS & ROOF SLOPES S.A.D.
104. NON-BEARING WALLS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. FOR NON-BEARING WALL LOCATIONS S.A.D.

**PLAN NOTES - WOOD FRAMING:**

321. FLOOR AND DECK SHEATHING: WOOD STRUCTURAL PANEL, 1 1/8" CD APA RATED STRUCT I PLYWOOD SHEATHING SHEATHING, EXPOSURE 1, SPAN RATING 48 O.C. GLUE WOOD STRUCTURAL PANELS TO JOISTS AND BLKG 48 O.C. GLUE WOOD STRUCTURAL PANELS TO JOISTS AND BLKG NAILING SCHEDULE.
302. ROOF SHEATHING CONSTRUCTION AT SLOPED AND PITCHED ROOFS: WOOD STRUCTURAL PANEL, 3/4" CD APA RATED PLYWOOD SHEATHING, EXPOSURE 1, SPAN RATING 48/24. NAILING PER NAILING SCHEDULE.
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  - SIZE INDICATED IN "HOLDOWN SCHEDULE" (FOR POSTS AT ENDS OF SHEAR WALLS ONLY)
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 SIZE: #x## SAWN LUMBER - S### SCL (SEE SCHED.)
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 \*11.25" & \*9.25" WHEN USED WITH SAWN LUMBER
- FIRST DIGIT: NOMINAL MEMBER WIDTH  
 2 = 1 1/4"    4 = 3 1/2"    6 = 5 1/4"    7 = 7"
- PREFIX "S" INDICATES SCL MEMBER

MATCHLINE

MATCHLINE

1 LEVEL 02 FRAMING PLAN - MAIN HOUSE  
 S-112A 1/4" = 1'-0"

**BADGER RESIDENCE**

OWNER:  
**121 BADGER LANE LLC**  
 P.O. BOX 14001-174  
 KETCHUM, ID 83340

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 LFA Job #22791



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SEAL:  
 PROFESSIONAL ENGINEER  
 LICENSED  
 P-21480  
 STATE OF IDAHO  
 DAVID L. FUNK

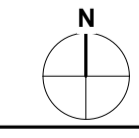
02/24/23 PC SUBMITTAL  
 NO DATE ISSUE

PROJECT:  
**BADGER RESIDENCE**  
 121 BADGER LANE  
 KETCHUM, ID 83340

PROJECT NUMBER  
**#2201**

DRAWING TITLE:  
**LEVEL 02 FRAMING PLAN - MAIN HOUSE**

DRAWING NUMBER:  
**S-112A**





OWNER:  
**121 BADGER LANE LLC**  
 P.O. BOX 14001-174  
 KETCHUM, ID 83340

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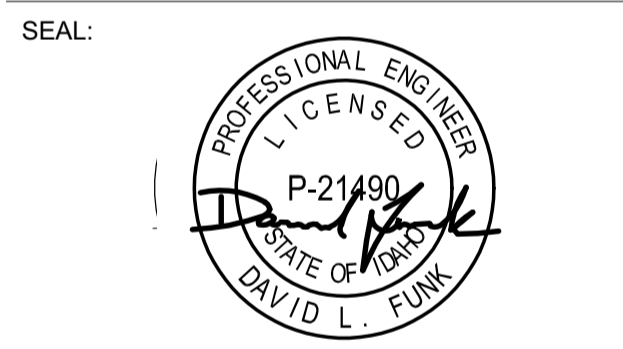
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PROJECT:  
**BADGER RESIDENCE**  
 121 BADGER LANE  
 KETCHUM, ID 83340

PROJECT NUMBER  
**#2201**

DRAWING TITLE:  
**LEVEL 02 FRAMING PLAN - MAIN HOUSE**

DRAWING NUMBER:  
**S-112B**

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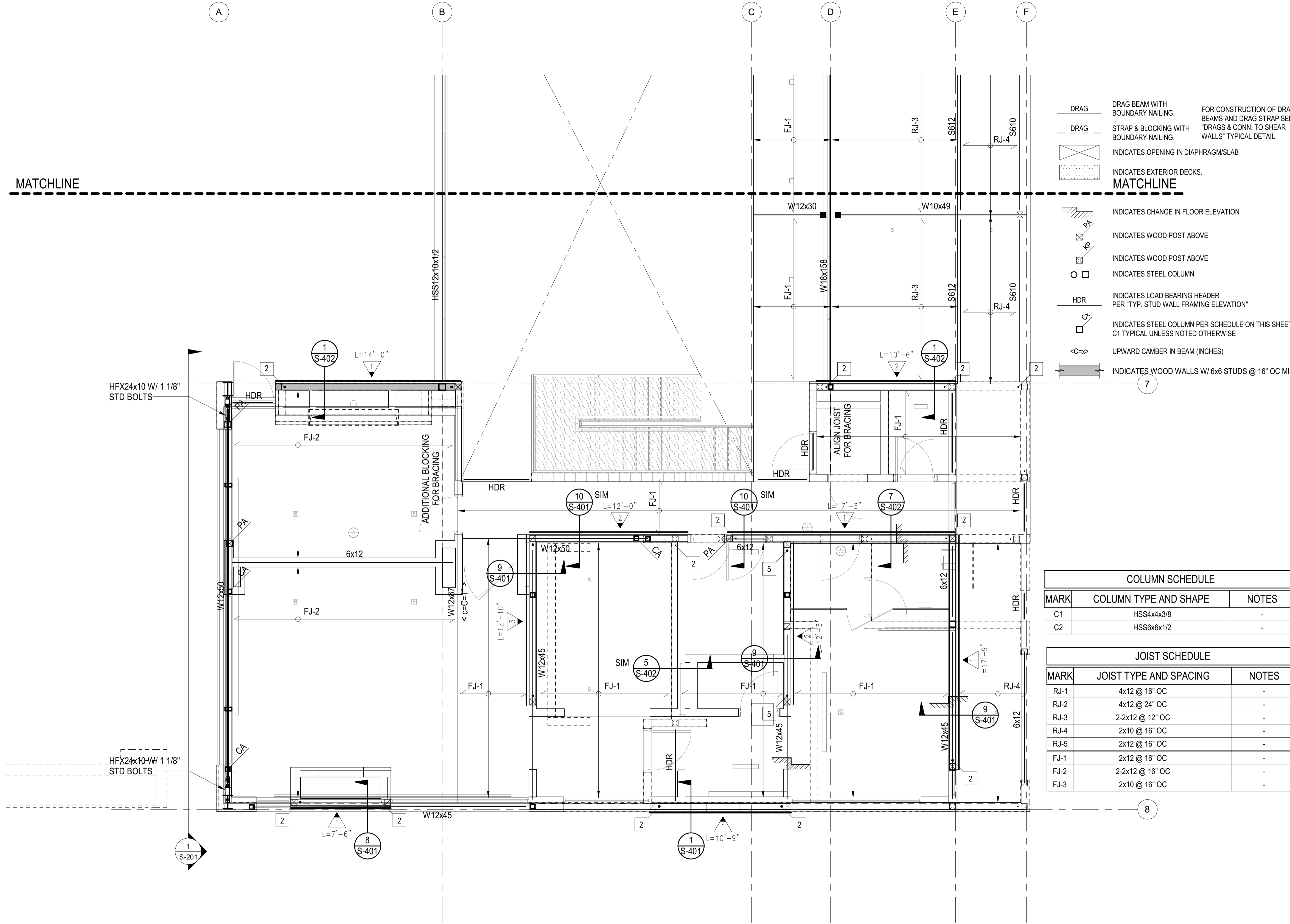
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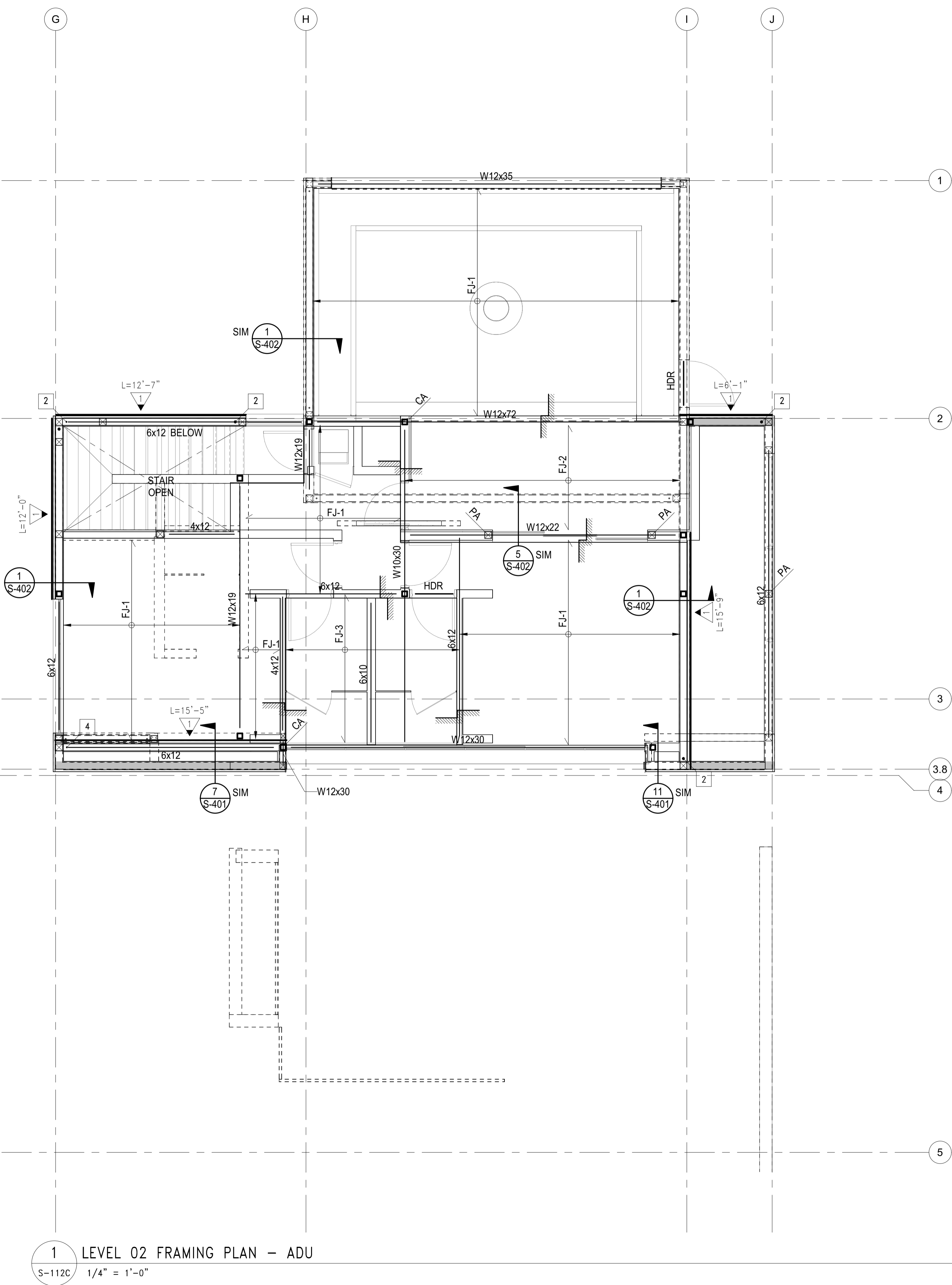
COLUMN SCHEDULE		
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RJ-3	2-2x12 @ 12" OC	-
RJ-4	2x10 @ 16" OC	-
RJ-5	2x12 @ 16" OC	-
FJ-1	2x12 @ 16" OC	-
FJ-2	2-2x12 @ 16" OC	-
FJ-3	2x10 @ 16" OC	-



**1 LEVEL 02 FRAMING PLAN - MAIN HOUSE**  
 S-112B 1/4" = 1'-0"

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**PLD2303-00021**  
**6/26/23**



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- INDICATES EXTENT OF WOOD JOIST
- INDICATES DIRECTION OF WOOD JOIST
- WOOD MEMBER CALLOUT  
 SIZE: #x## SAWN LUMBER - S### SCL (SEE SCHED.)  
 NUMBER OF MEMBERS IN A BUILTUP ASSEMBLY (OMITTED IF = 1). SEE "BUILTUP BEAM/SISTERED JOIST" AND "BUCKETS OF BUILTUP BEAMS" PER TYPICAL DETAILS
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 SECOND AND THIRD DIGIT: NOMINAL MEMBER DEPTH  
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 12 = 11 1/8"    14 = 14"    16 = 16"    18 = 18"  
 20 = 20"    22 = 22"    24 = 24"    -  
 \*11.25" & \*9.25" WHEN USED WITH SAWN LUMBER  
 FIRST DIGIT: NOMINAL MEMBER WIDTH  
 2 = 1 1/4"    4 = 3 1/2"    6 = 5 1/4"    7 = 7"  
 PREFIX "S" INDICATES SCL MEMBER

**1 LEVEL 02 FRAMING PLAN - ADU**  
 S-112C 1/4" = 1'-0"

**BADGER RESIDENCE**

OWNER:  
**121 BADGER LANE LLC**  
 P.O. BOX 14001-174  
 KETCHUM, ID 83340

PROJECT ARCHITECT:  
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GEOTECHNICAL ENGINEER:  
**BUTLER ASSOCIATES, INC.**  
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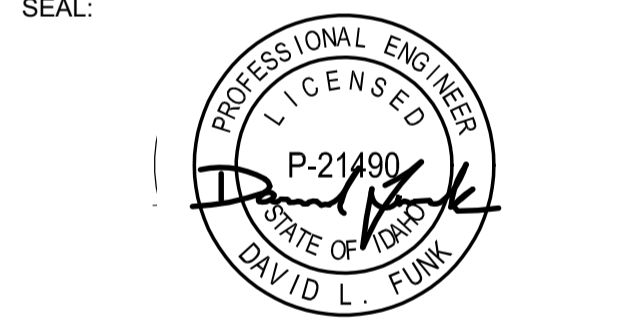
LANDSCAPE ARCHITECT:  
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STRUCTURAL ENGINEER:  
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 LFA Job #22791



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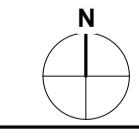
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NO	DATE
	ISSUE

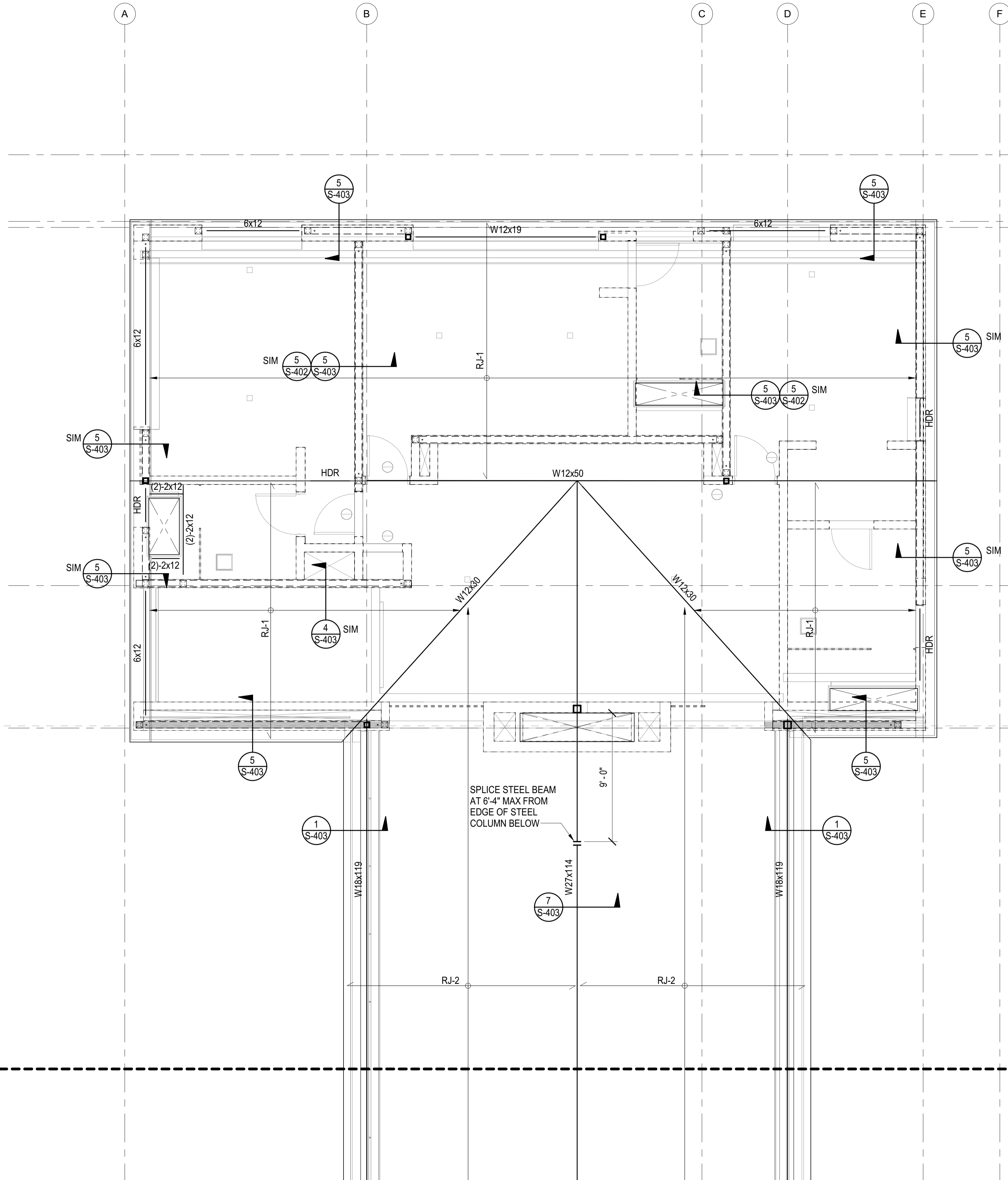
PROJECT:  
**BADGER RESIDENCE**  
 121 BADGER LANE  
 KETCHUM, ID 83340

PROJECT NUMBER  
**#2201**

DRAWING TITLE:  
**LEVEL 02 FRAMING PLAN - ADU**

DRAWING NUMBER:  
**S-112C**





- DRAG DRAG BEAM WITH BOUNDARY NAILING.
  - DRAG STRAP & BLOCKING WITH BOUNDARY NAILING.
  - INDICATES OPENING IN DIAPHRAGM/SLAB
  - INDICATES EXTERIOR DECKS.
  - INDICATES CHANGE IN FLOOR ELEVATION
  - INDICATES WOOD POST ABOVE
  - INDICATES WOOD POST ABOVE
  - INDICATES STEEL COLUMN
  - HDR INDICATES LOAD BEARING HEADER PER 'TYP. STUD WALL FRAMING ELEVATION'
  - INDICATES STEEL COLUMN PER SCHEDULE ON THIS SHEET C1 TYPICAL UNLESS NOTED OTHERWISE
  - UPWARD CAMBER IN BEAM (INCHES)
  - INDICATES WOOD WALLS W/ 6x6 STUDS @ 16" OC MIN
- FOR CONSTRUCTION OF DRAG BEAMS AND DRAG STRAP SEE 'DRAGS & CONN. TO SHEAR WALLS' TYPICAL DETAIL

COLUMN SCHEDULE		
MARK	COLUMN TYPE AND SHAPE	NOTES
C1	HSS4x4x3/8	-
C2	HSS6x6x1/2	-

JOIST SCHEDULE		
MARK	JOIST TYPE AND SPACING	NOTES
RJ-1	4x12 @ 16" OC	-
RJ-2	4x12 @ 24" OC	-
RJ-3	2-2x12 @ 12" OC	-
RJ-4	2x10 @ 16" OC	-
RJ-5	2x12 @ 16" OC	-
FJ-1	2x12 @ 16" OC	-
FJ-2	2-2x12 @ 16" OC	-
FJ-3	2x10 @ 16" OC	-

**PLAN NOTES - SHEETS AND GENERAL:**

101. GENERAL NOTES AND TYPICAL DETAILS SHEETS: SEE S0.01 THRU S0.62 SHEETS. GENERAL NOTES & TYPICAL DETAILS APPLY TO ALL PARTS OF THE WORK EXCEPT WHERE SPECIFICALLY DETAILED OR U.N.O. ON THE FLOOR PLANS AND PLAN NOTES.
102. VERIFY ALL DIMENSIONS, ELEVATIONS, SLAB EDGES, SLAB DEPRESSIONS, SLAB OPENINGS, CURBS, FOOTING, PENETRATIONS, WALL OPENINGS WITH ARCHITECTURAL, MECHANICAL, PLUMBING, ELECTRICAL & CIVIL DRAWINGS.
103. FOR ALL DIMENSIONS & ROOF SLOPES S.A.D.
104. NON-BEARING WALLS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. FOR NON-BEARING WALL LOCATIONS S.A.D.

**PLAN NOTES - WOOD FRAMING:**

321. FLOOR AND DECK SHEATHING: WOOD STRUCTURAL PANEL, 1 1/8" CD APA RATED STRUCT I PLYWOOD SHEATHING SHEATHING, EXPOSURE 1, SPAN RATING 48 O.C. GLUE WOOD STRUCTURAL PANELS TO JOISTS AND BLKG 48 O.C. GLUE WOOD STRUCTURAL PANELS TO JOISTS AND BLKG NAILING SCHEDULE.
302. ROOF SHEATHING CONSTRUCTION AT SLOPED AND PITCHED ROOFS: WOOD STRUCTURAL PANEL, 3/4" CD APA RATED PLYWOOD SHEATHING, EXPOSURE 1, SPAN RATING 48/24. NAILING PER NAILING SCHEDULE.
303. FLOOR SHEATHING CONSTRUCTION: NON-STRUCTURAL LIGHT WEIGHT CONCRETE (115 PCF MAX), THICKNESS S.A.D., 1 1/2" MAX, OVER WOOD STRUCTURAL PANEL, 1 1/8" CD APA RATED STRUCT I PLYWOOD SHEATHING, EXPOSURE 1, SPAN RATING 48 O.C. GLUE WOOD STRUCTURAL PANELS TO JOISTS AND BLKG. NAILING PER NAILING SCHEDULE.

**PLAN NOTES - FRAMING:**

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302. HOLD DOWNS/TIE-DOWNS SHALL BE RE-TIGHTENED JUST PRIOR TO COVERING THE WALL FRAMING.
303. PROVIDE DOUBLE JOISTS BENEATH ALL PARALLEL WALLS. PROVIDE SOLID BLOCK BENEATH ALL WALLS PERPENDICULAR TO JOISTS. SEE 'FRAMING AT NON BEARING WALLS' PER TYPICAL DETAILS SHEETS.
- FLOOR AND DECK SHEATHING: WOOD STRUCTURAL PANEL, 1 1/8" CD APA RATED STRUCT I PLYWOOD SHEATHING, EXPOSURE 1, SPAN RATING 48 O.C. GLUE WOOD STRUCTURAL PANELS TO JOISTS AND BLKG. NAILING PER NAILING SCHEDULE.
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325. FLOOR SHEATHING CONSTRUCTION: NON-STRUCTURAL LIGHT WEIGHT CONCRETE (110 PCF MAX), THICKNESS S.A.D., 1 1/2" MAX, OVER WOOD STRUCTURAL PANEL, 1 1/8" CD APA RATED STRUCT I PLYWOOD SHEATHING, EXPOSURE 1, SPAN RATING 48 O.C. GLUE WOOD STRUCTURAL PANELS TO JOISTS AND BLKG. NAILING PER NAILING SCHEDULE.

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  - EXTERIOR WALLS: S.A.D. OR 2x6 @ 16" O.C., WHICHEVER IS GREATER
  - INTERIOR WALLS: S.A.D. OR 2x4 @ 16" O.C., WHICHEVER IS GREATER
- INDICATES WOOD POST. UNLESS OTHERWISE SPECIFIED ON THE FRAMING PLAN THE POST SIZE SHALL BE THE GREATER OF THE FOLLOWING:
  - MIN. SIZE PER POST SCHEDULE WHERE PRESENT
  - 4x DEPTH OF WALL
  - SIZE INDICATED IN "HOLDOWN SCHEDULE" (FOR POSTS AT ENDS OF SHEAR WALLS ONLY)
- POST ABOVE - WHERE OCCURS, POST STARTS AT THIS LEVEL AND IT IS DISCONTINUOUS BELOW
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 \*11.25" & \*9.25" WHEN USED WITH SAWN LUMBER  
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------------	------------	------------	--------
- PREFIX "S" INDICATES SCL MEMBER

MATCHLINE

MATCHLINE

**1** ROOF FRAMING PLAN - MAIN HOUSE  
 S-113A 1/4" = 1'-0"

**BADGER RESIDENCE**

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STRUCTURAL ENGINEER:  
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SEAL:

02/24/23 PC SUBMITTAL  
 NO DATE ISSUE

PROJECT:  
**BADGER RESIDENCE**  
 121 BADGER LANE  
 KETCHUM, ID 83340

PROJECT NUMBER  
**#2201**

DRAWING TITLE:  
**ROOF FRAMING PLAN - MAIN HOUSE**

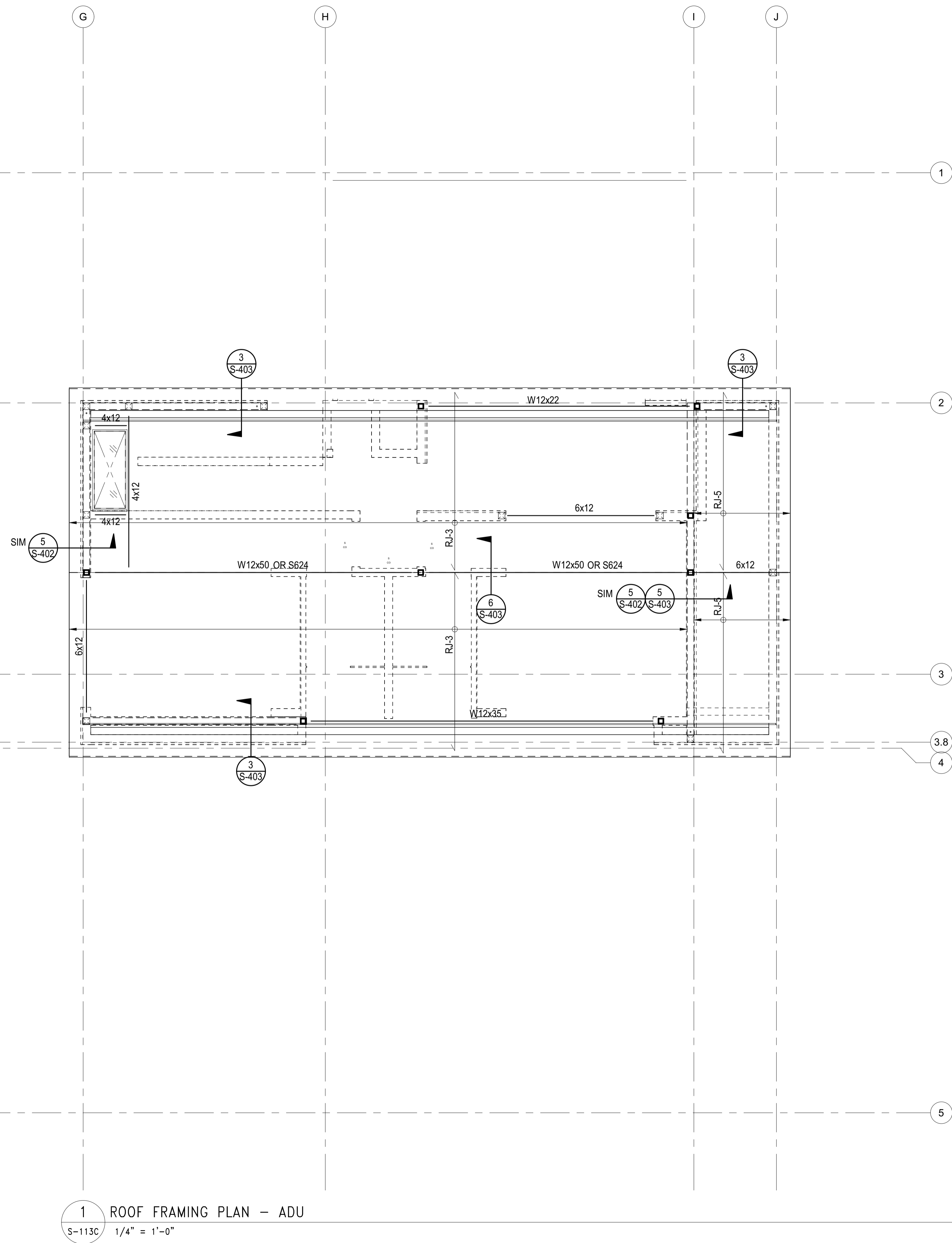
DRAWING NUMBER:  
**S-113A**





These plans have been found to be in substantial compliance with the relevant building codes. These comments are approved contingent on compliance with all mark-ups and notes applied. This is not approval of violation of any code, ordinance, statute or regulation. No further action will be required for code violations found during the inspection process.

PLD2303-00021  
6/26/23



1 ROOF FRAMING PLAN - ADU  
S-113C 1/4" = 1'-0"

- DRAG BEAM WITH BOUNDARY NAILING. FOR CONSTRUCTION OF DRAG BEAMS AND DRAG STRAP SEE "DRAGS & CONN. TO SHEAR WALLS" TYPICAL DETAIL
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**BADGER RESIDENCE**

OWNER:  
**121 BADGER LANE LLC**  
P.O. BOX 14001-174  
KETCHUM, ID 83340

PROJECT ARCHITECT:  
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GEOTECHNICAL ENGINEER:  
**BUTLER ASSOCIATES, INC.**  
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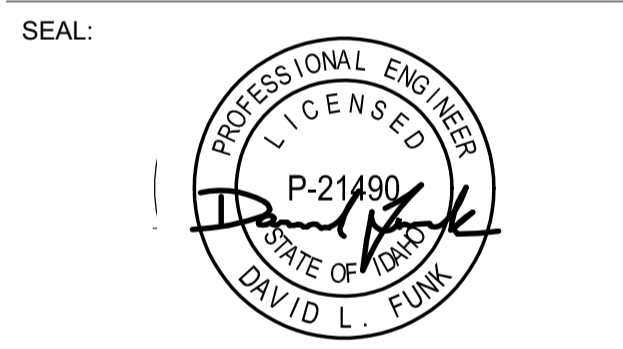
LANDSCAPE ARCHITECT:  
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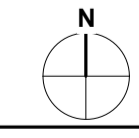
02/24/23 PC SUBMITTAL  
NO DATE ISSUE

PROJECT:  
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KETCHUM, ID 83340

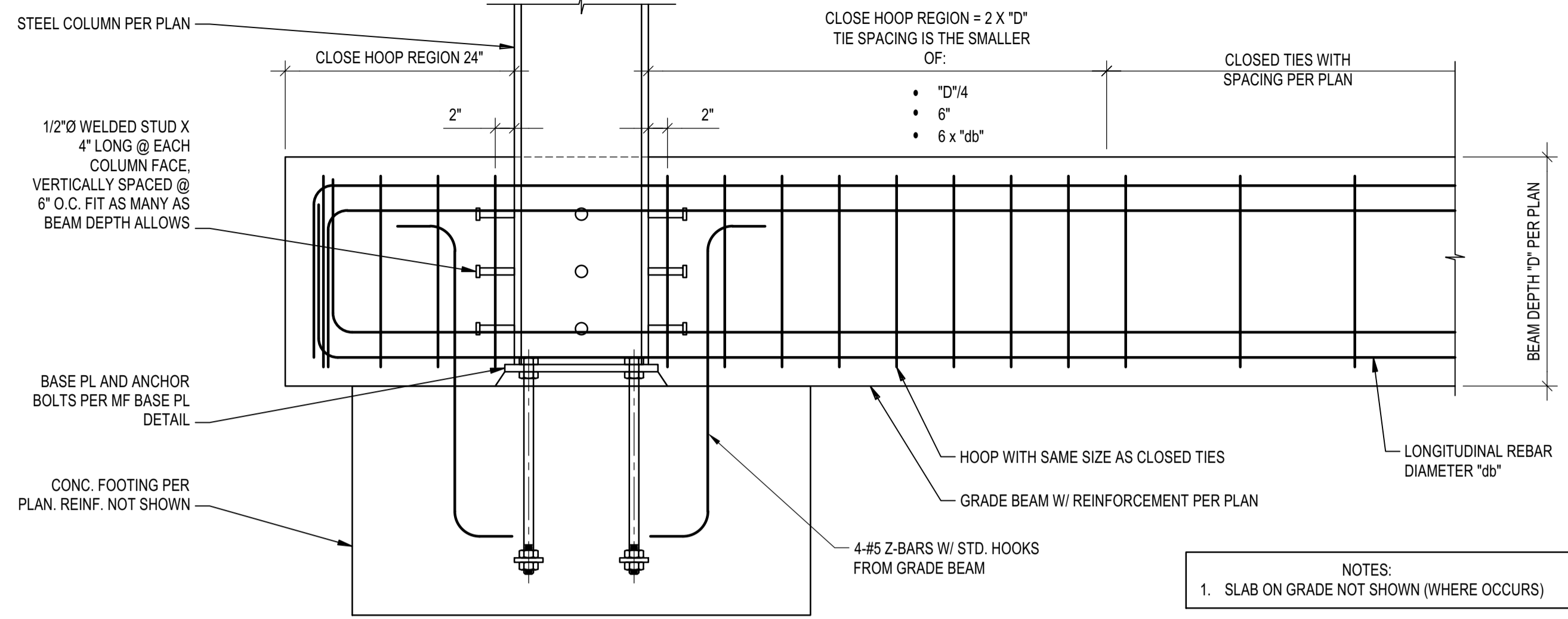
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**#2201**

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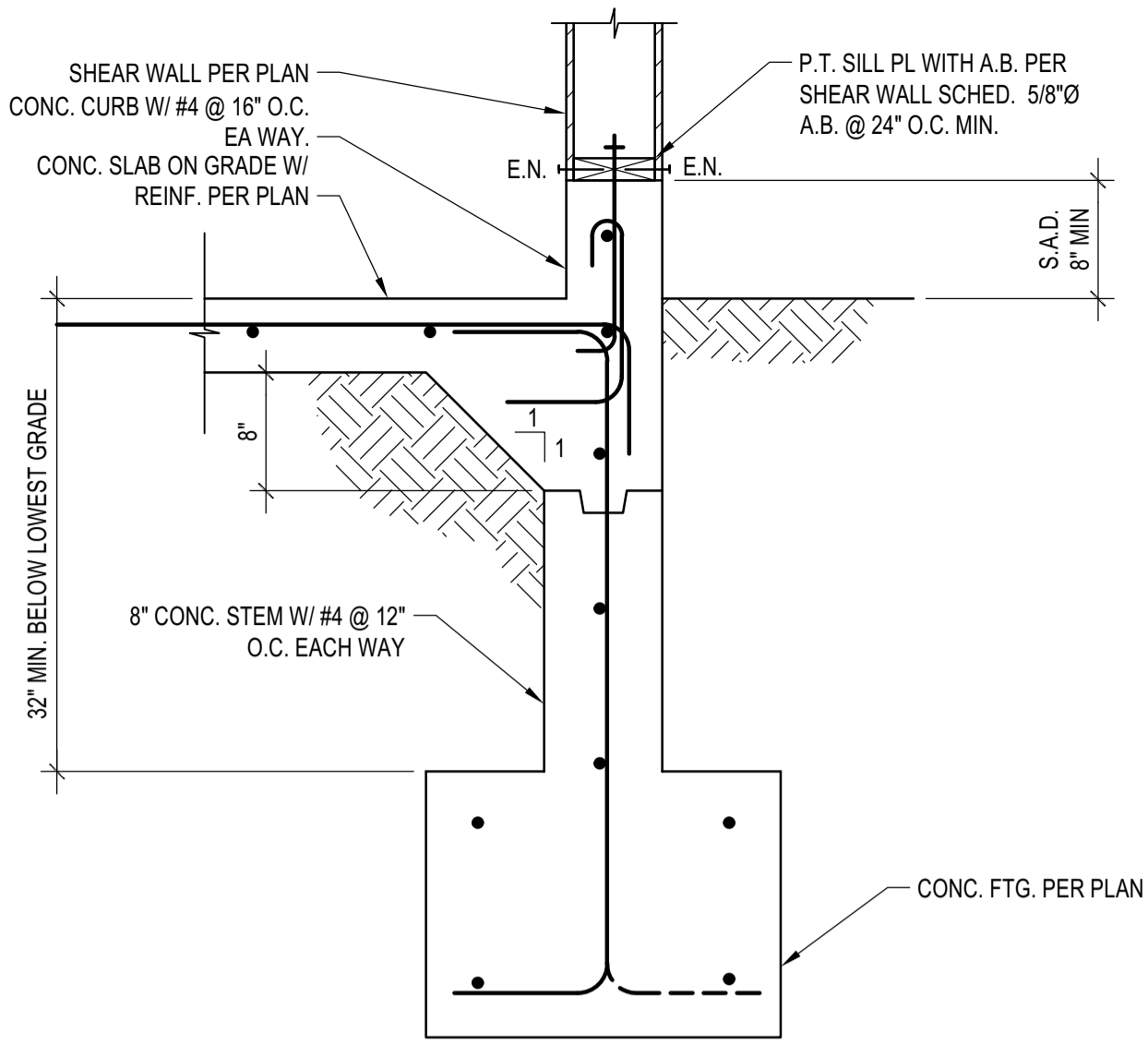
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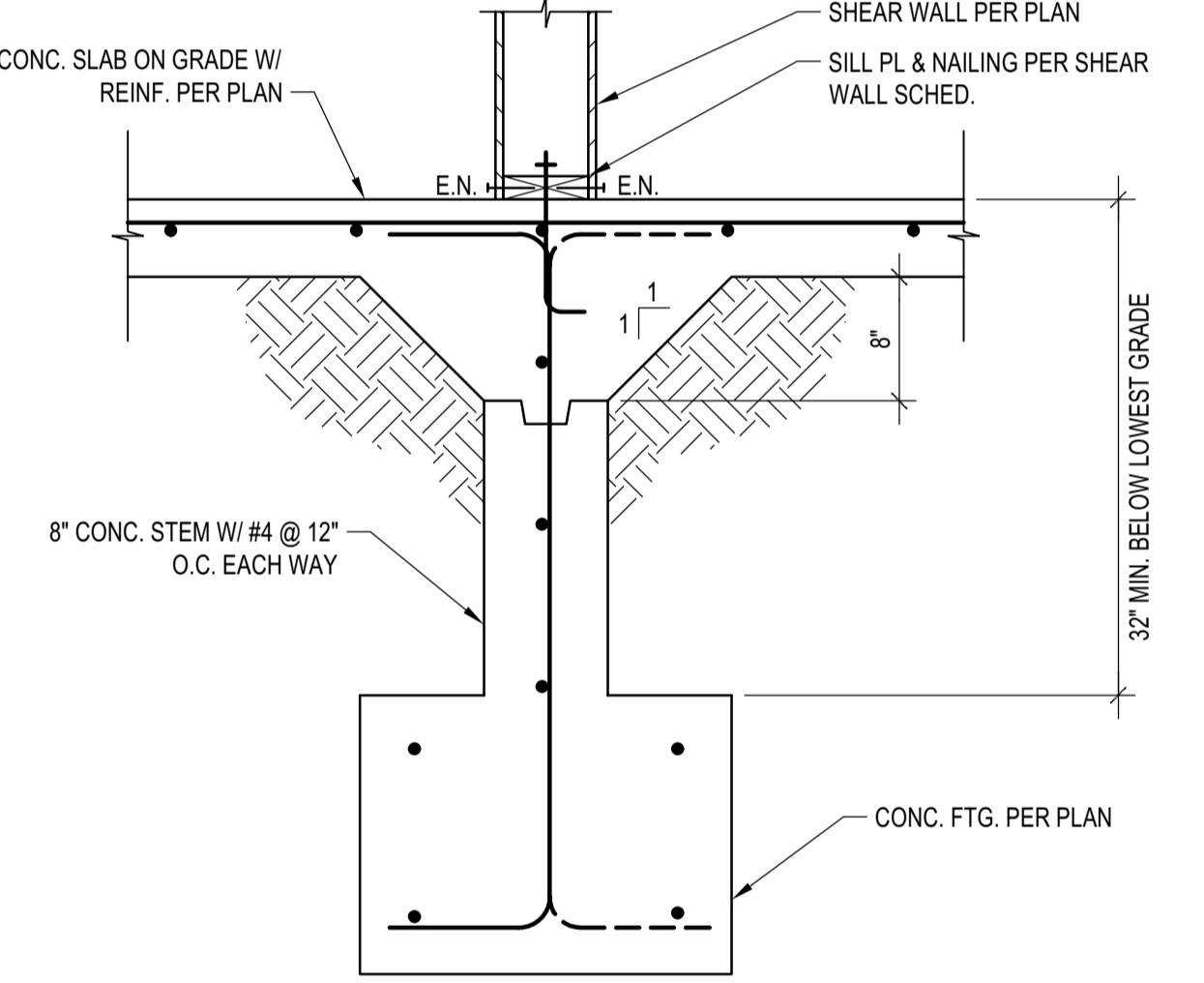




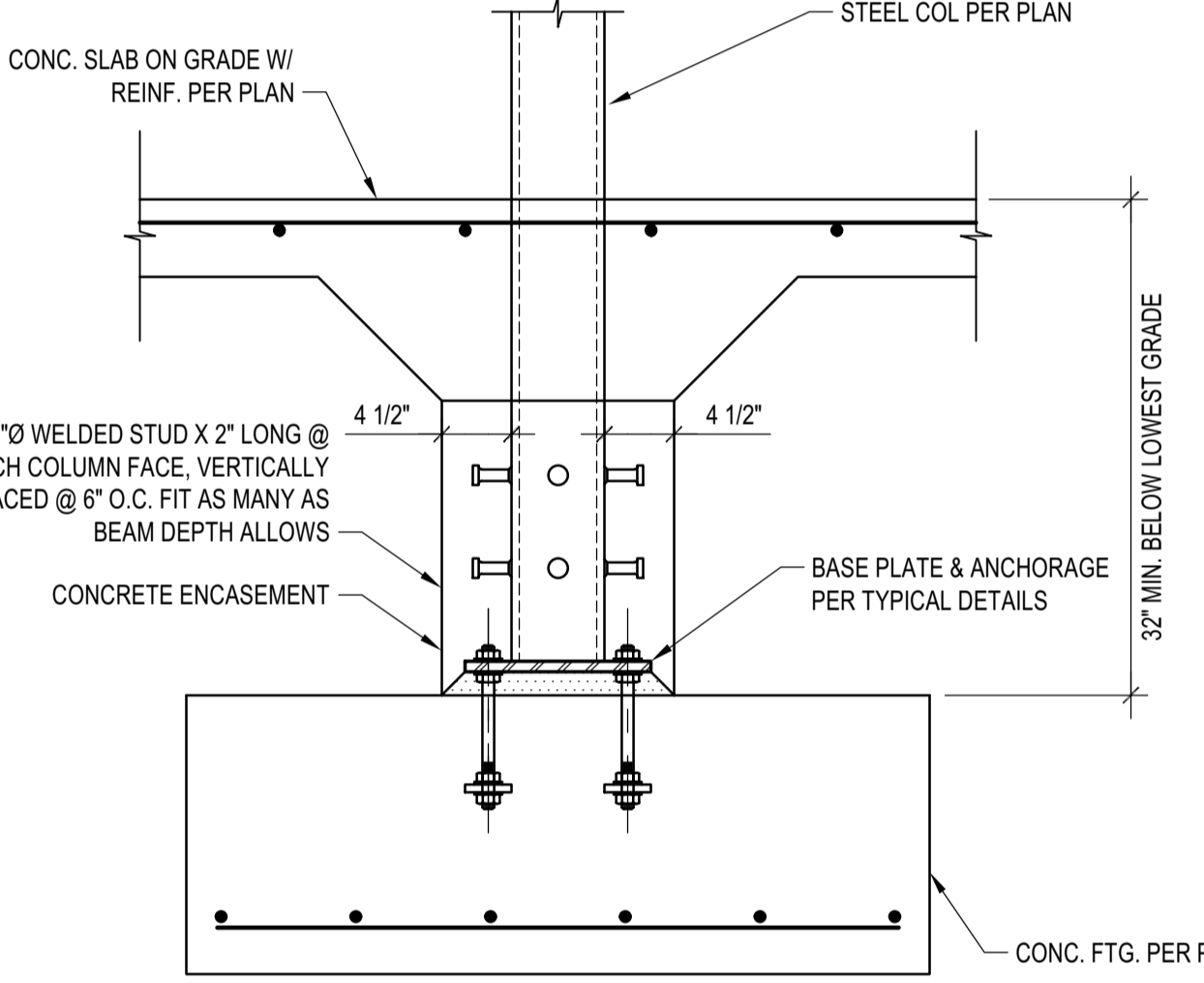
**MOMENT FRAME COLUMN TO GRADE BEAM CONNECTION**  
 SCALE: N.T.S. 4



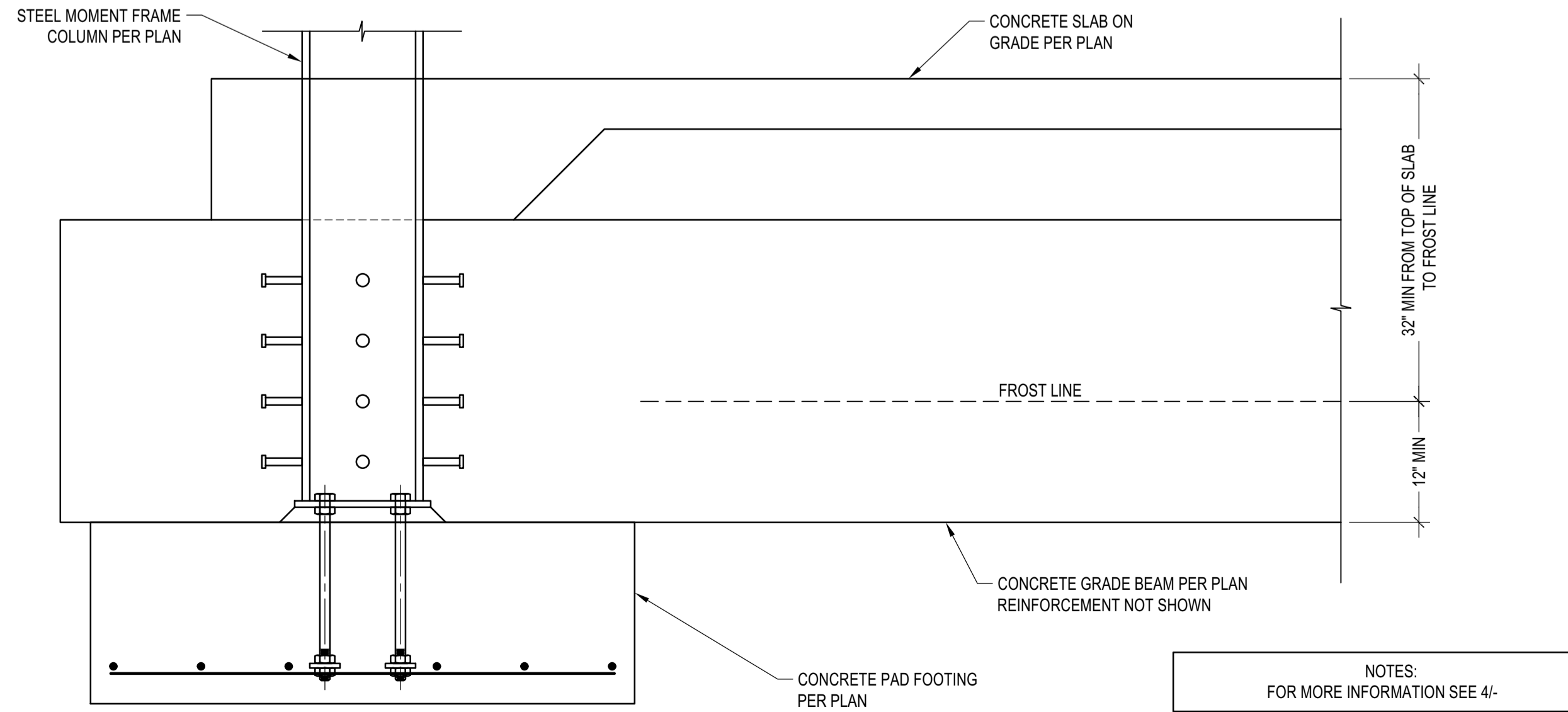
**EXT. FTG. FOUNDED IN COMP. FILL**  
 SCALE: N.T.S. 1



**INT. FTG. FOUNDED IN COMP. FILL**  
 SCALE: N.T.S. 5



**ISOLATED STL COLUMN FTG**  
 SCALE: N.T.S. 2



**MOMENT FRAME COLUMN TO GRADE BEAM CONNECTION**  
 SCALE: N.T.S. 3

**BADGER RESIDENCE**

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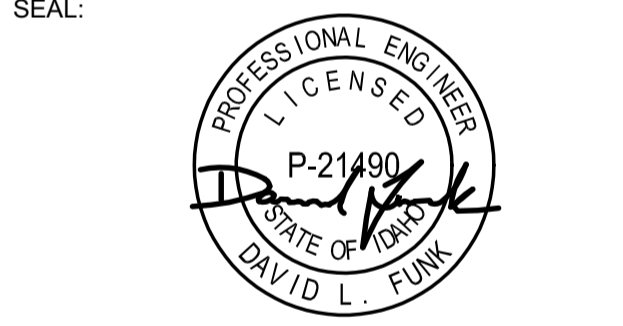
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LANDSCAPE ARCHITECT:  
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 KETCHUM, ID 83340  
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STRUCTURAL ENGINEER:  
**LFA**  
 319 MAIN STREET  
 EL SEGUNDO, CA 90245  
 TEL: 213.239.9700  
 LFA Job #22791



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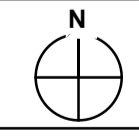
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02/24/23			

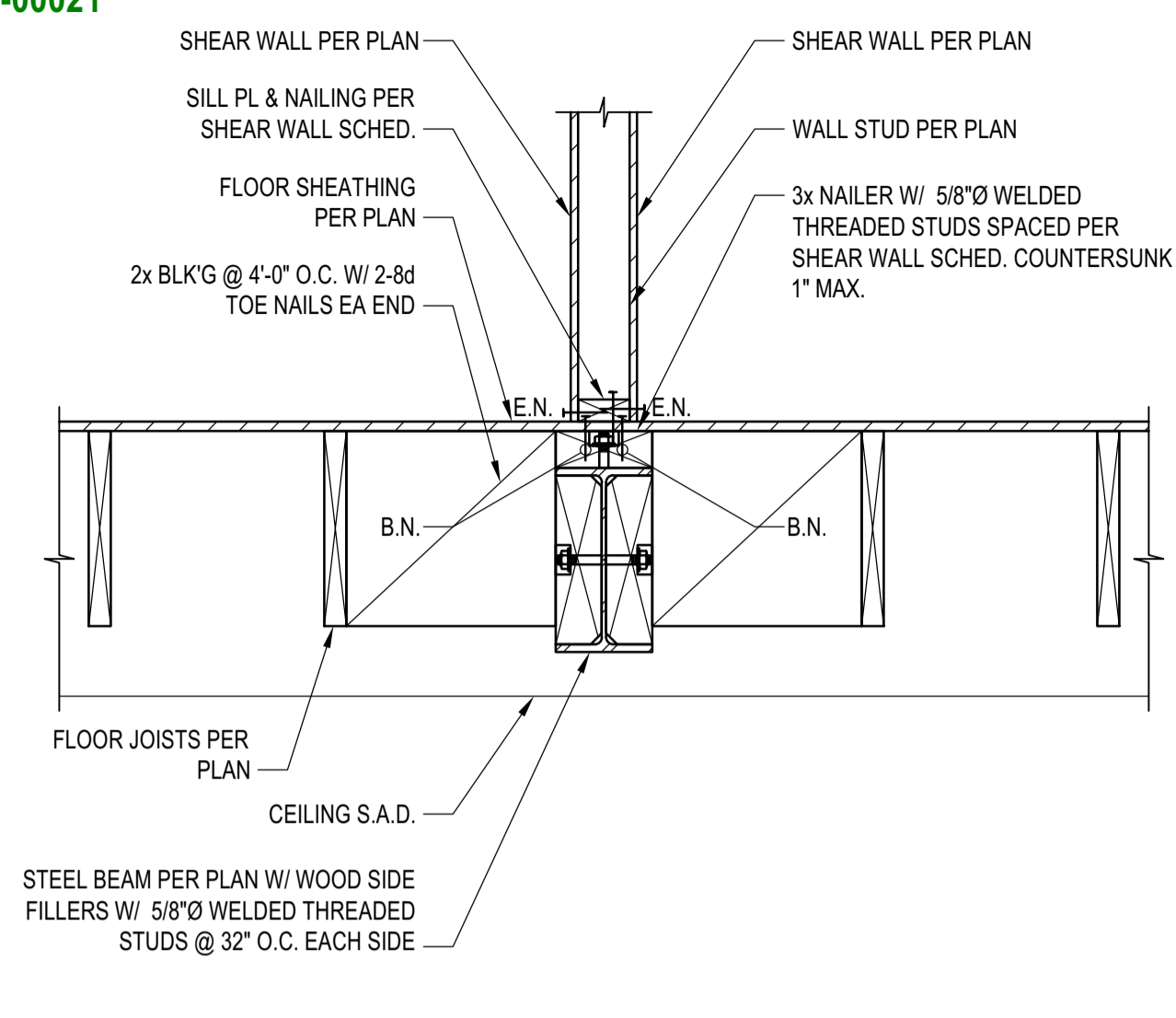
PROJECT:  
**BADGER RESIDENCE**  
 121 BADGER LANE  
 KETCHUM, ID 83340

PROJECT NUMBER  
**#2201**

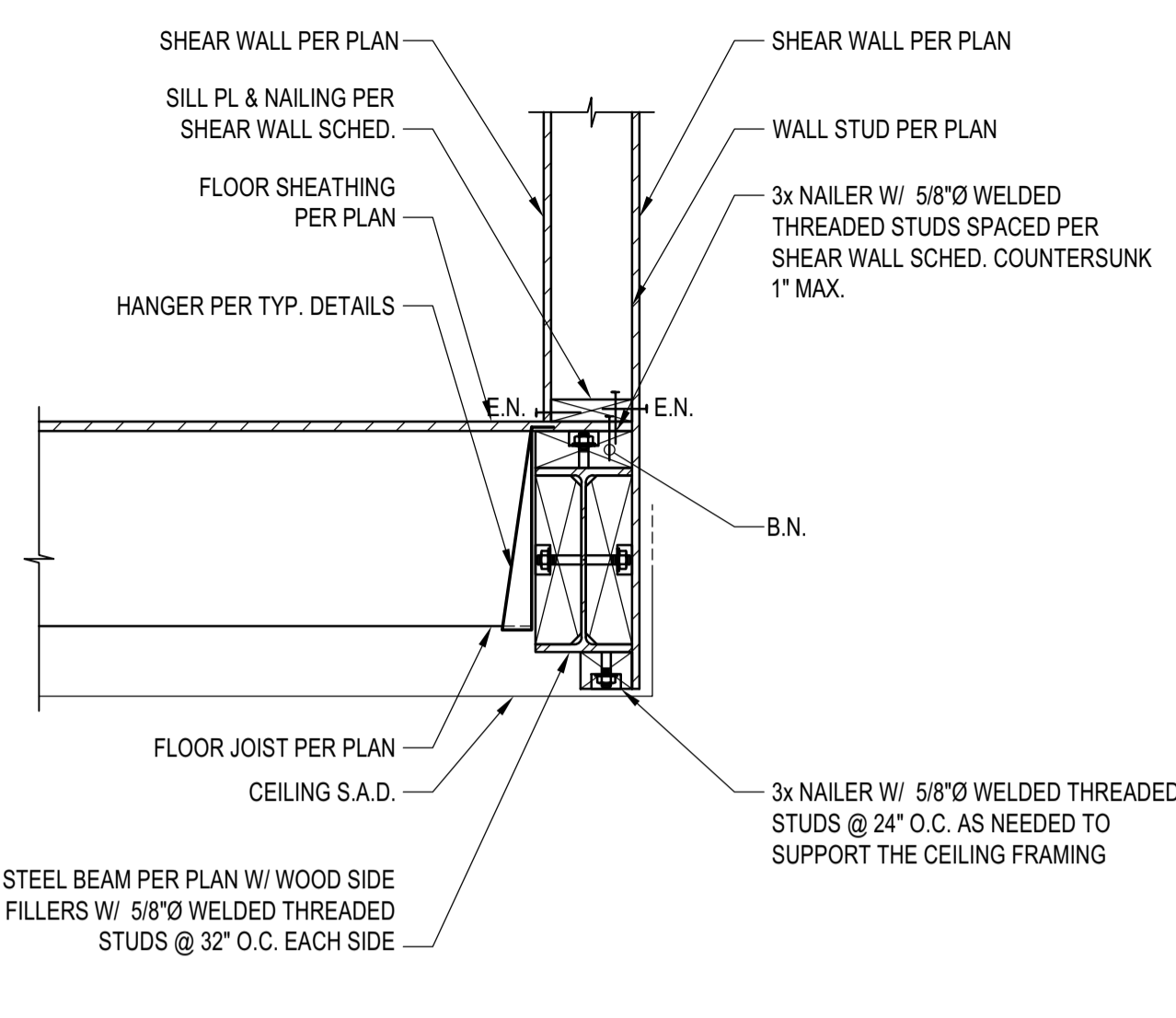
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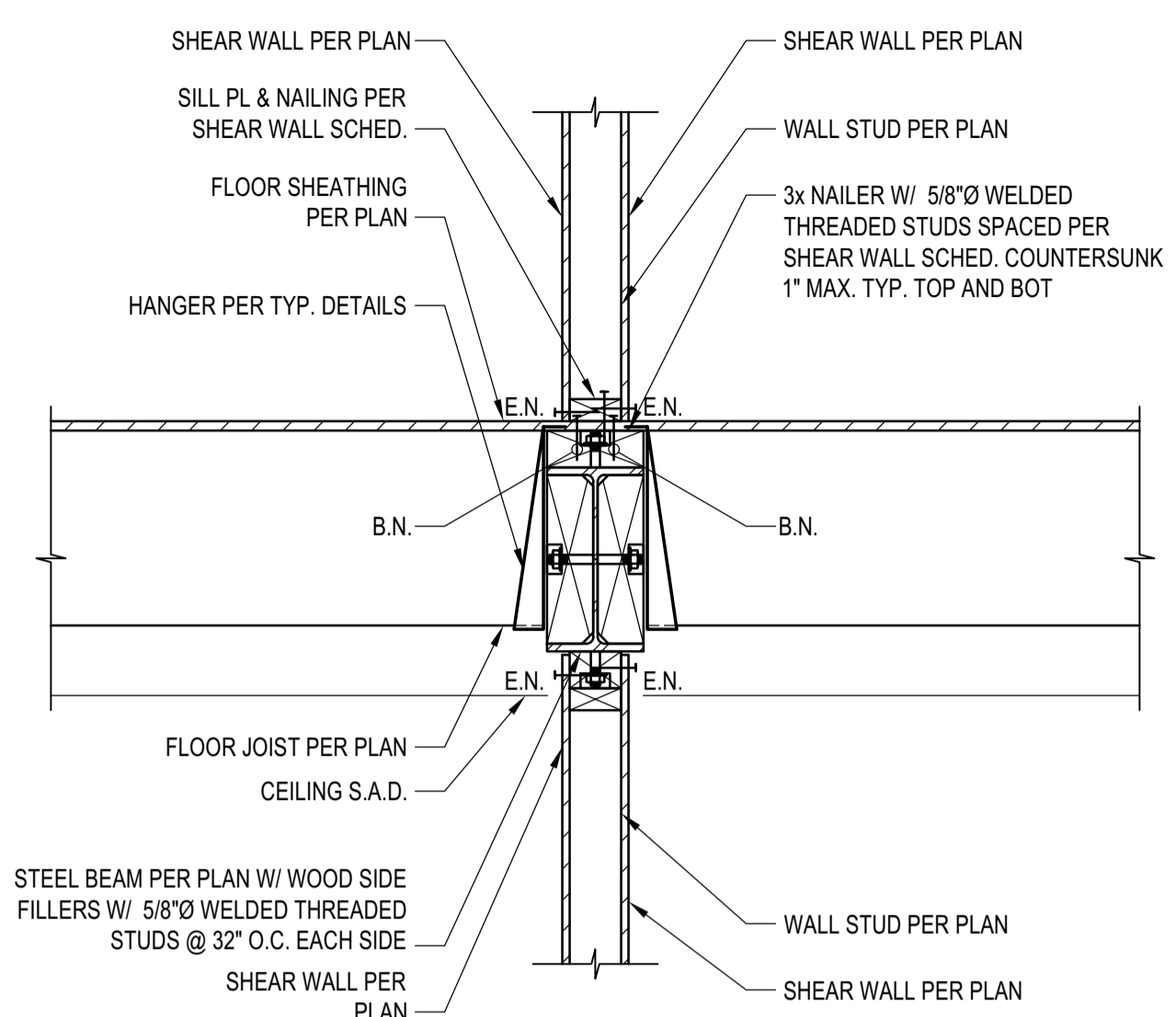




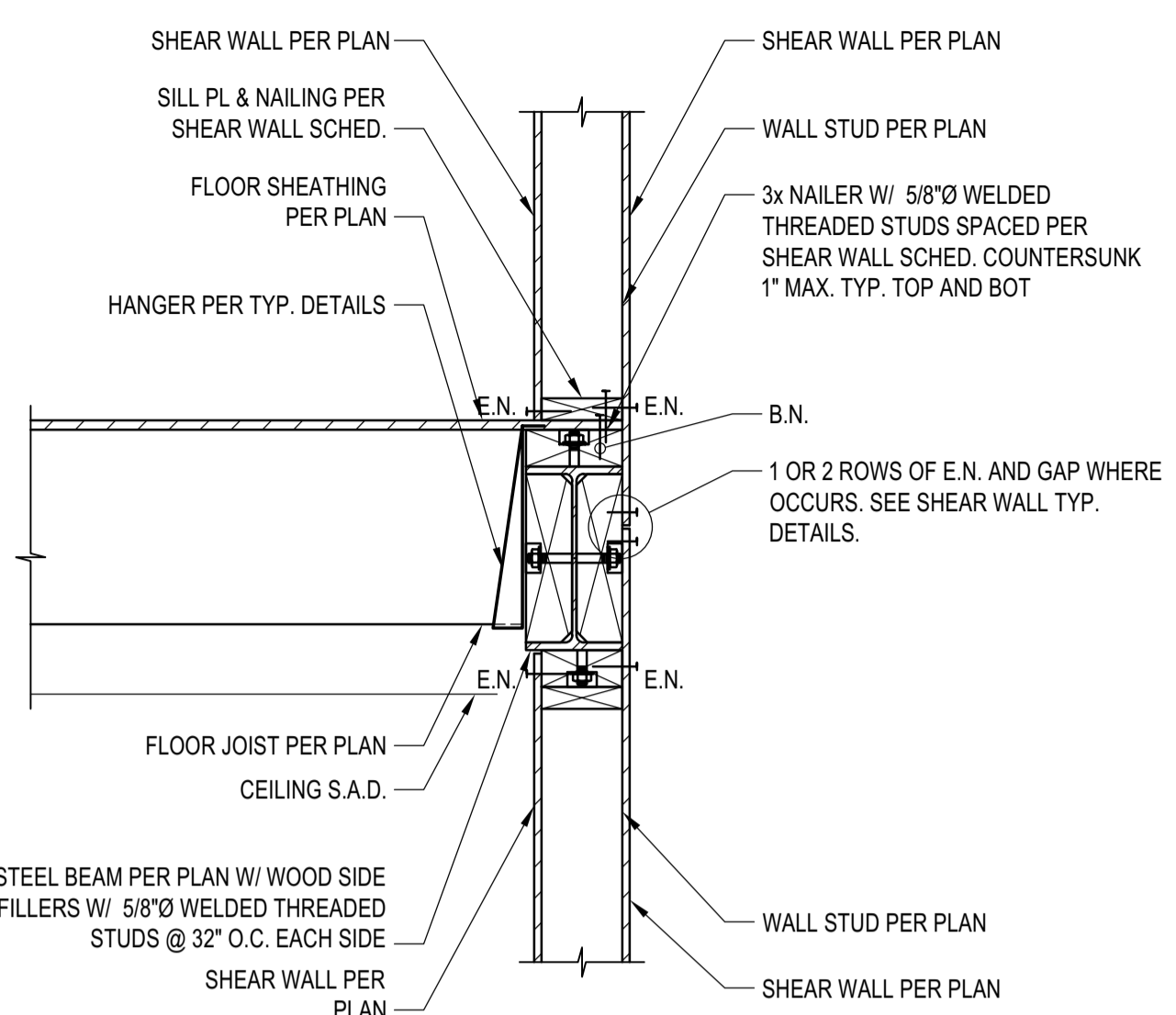
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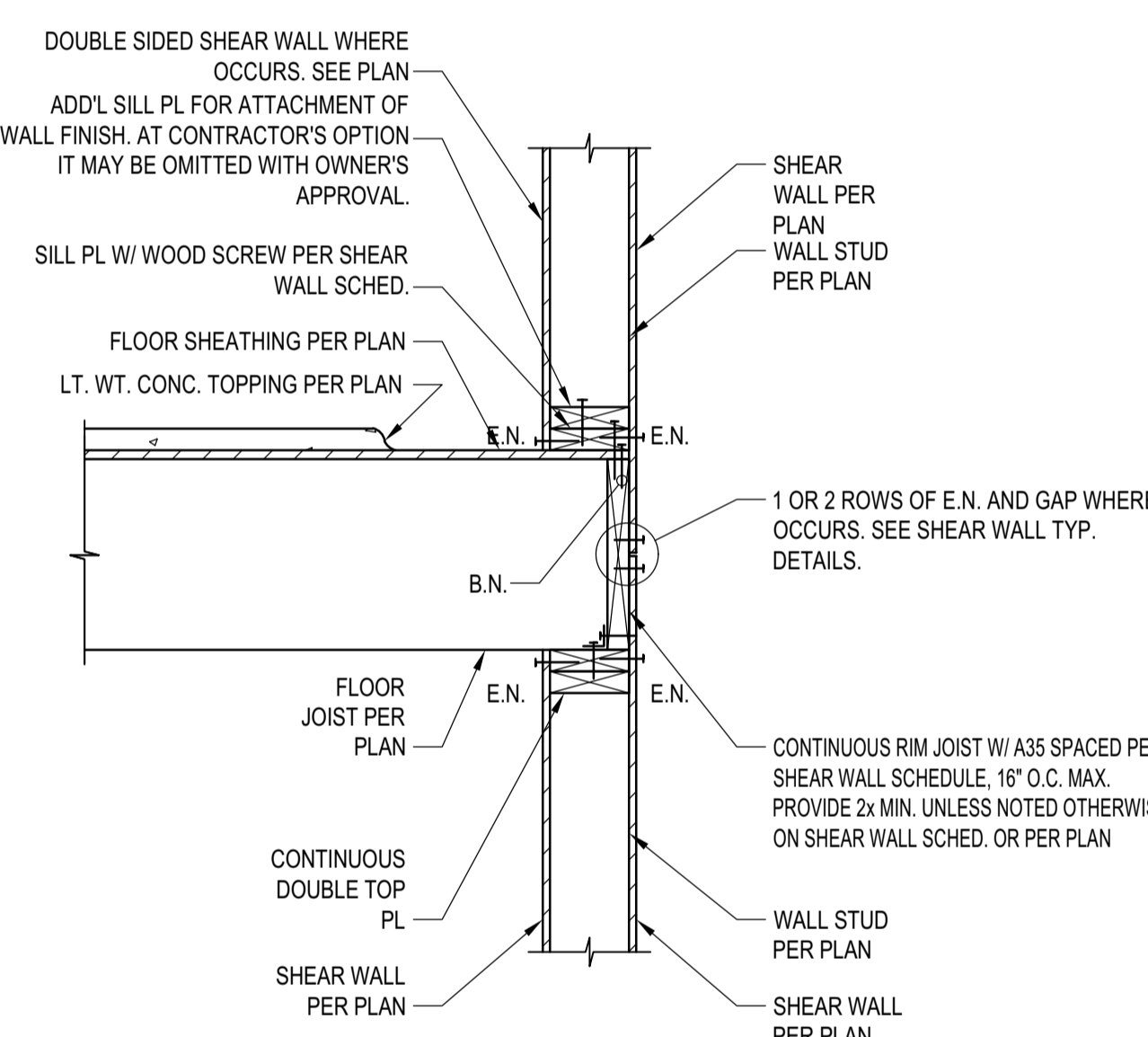
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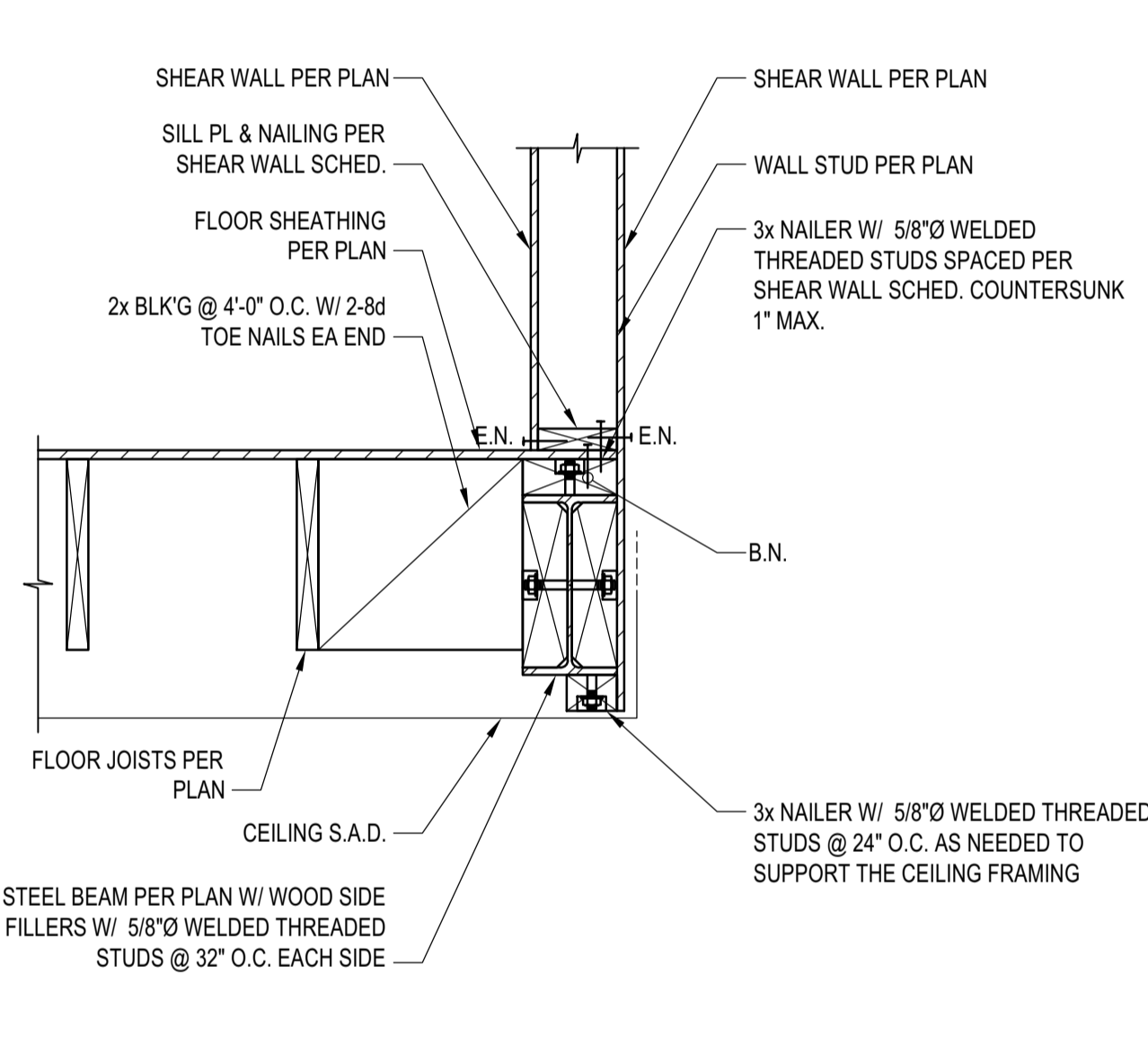
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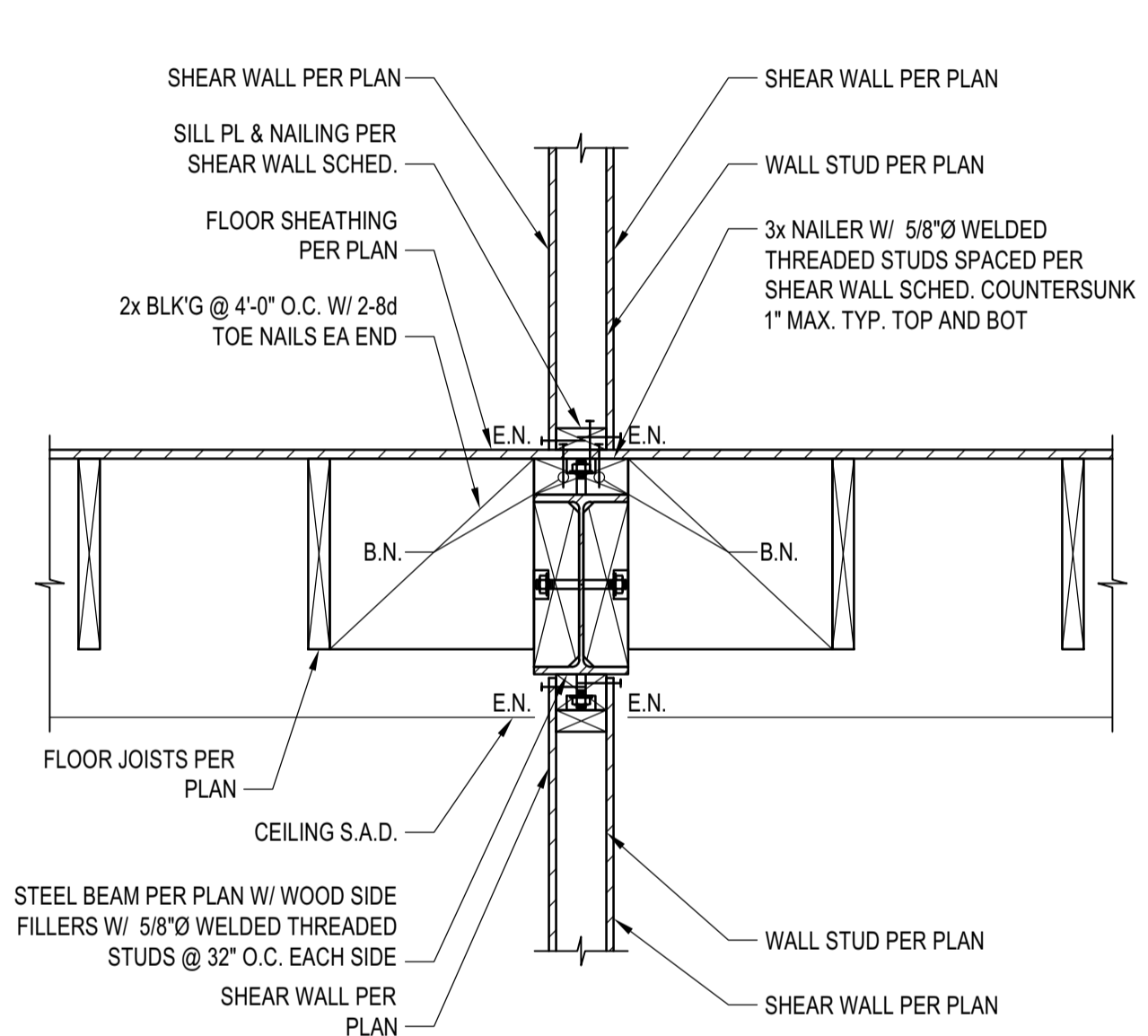
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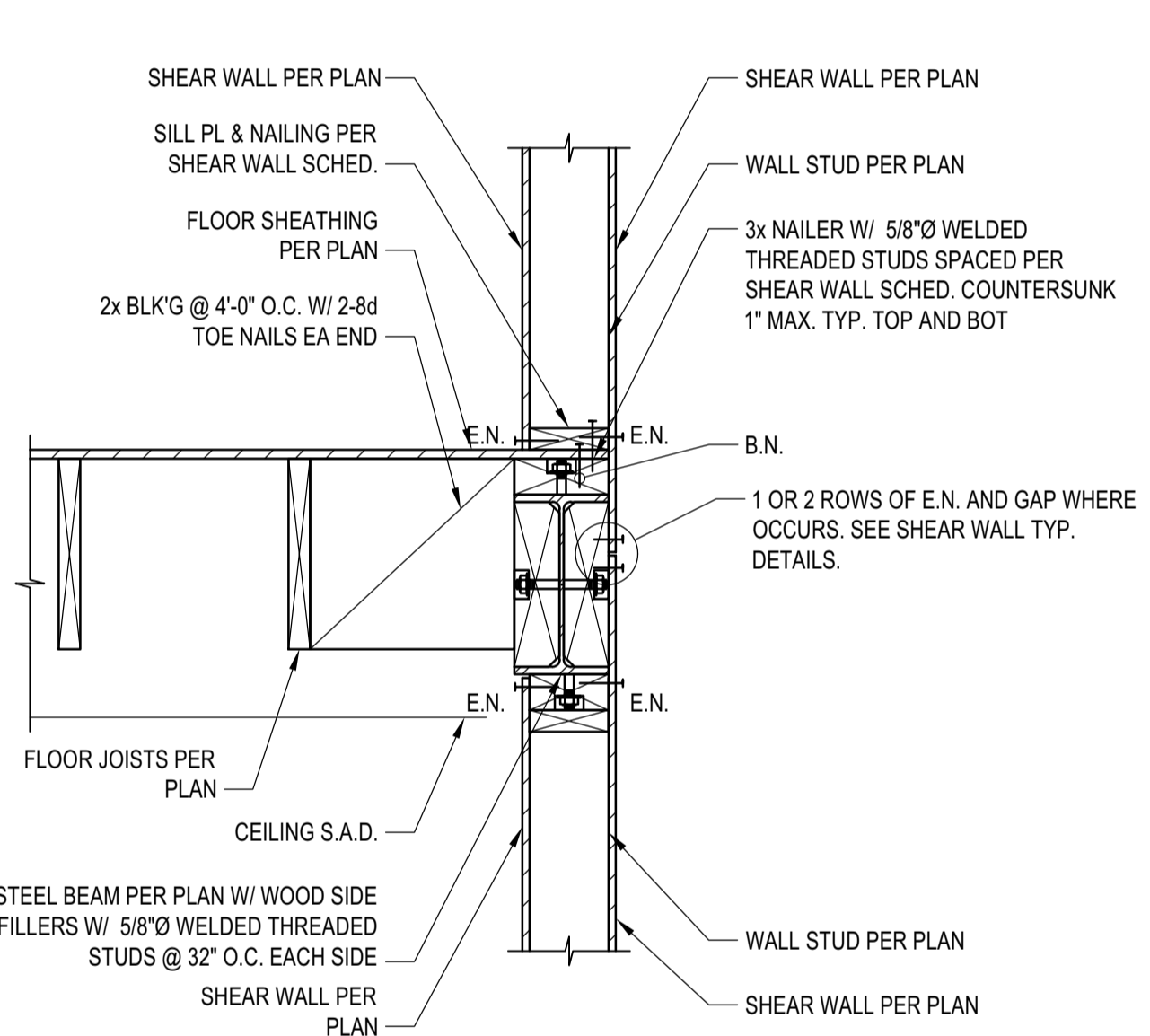
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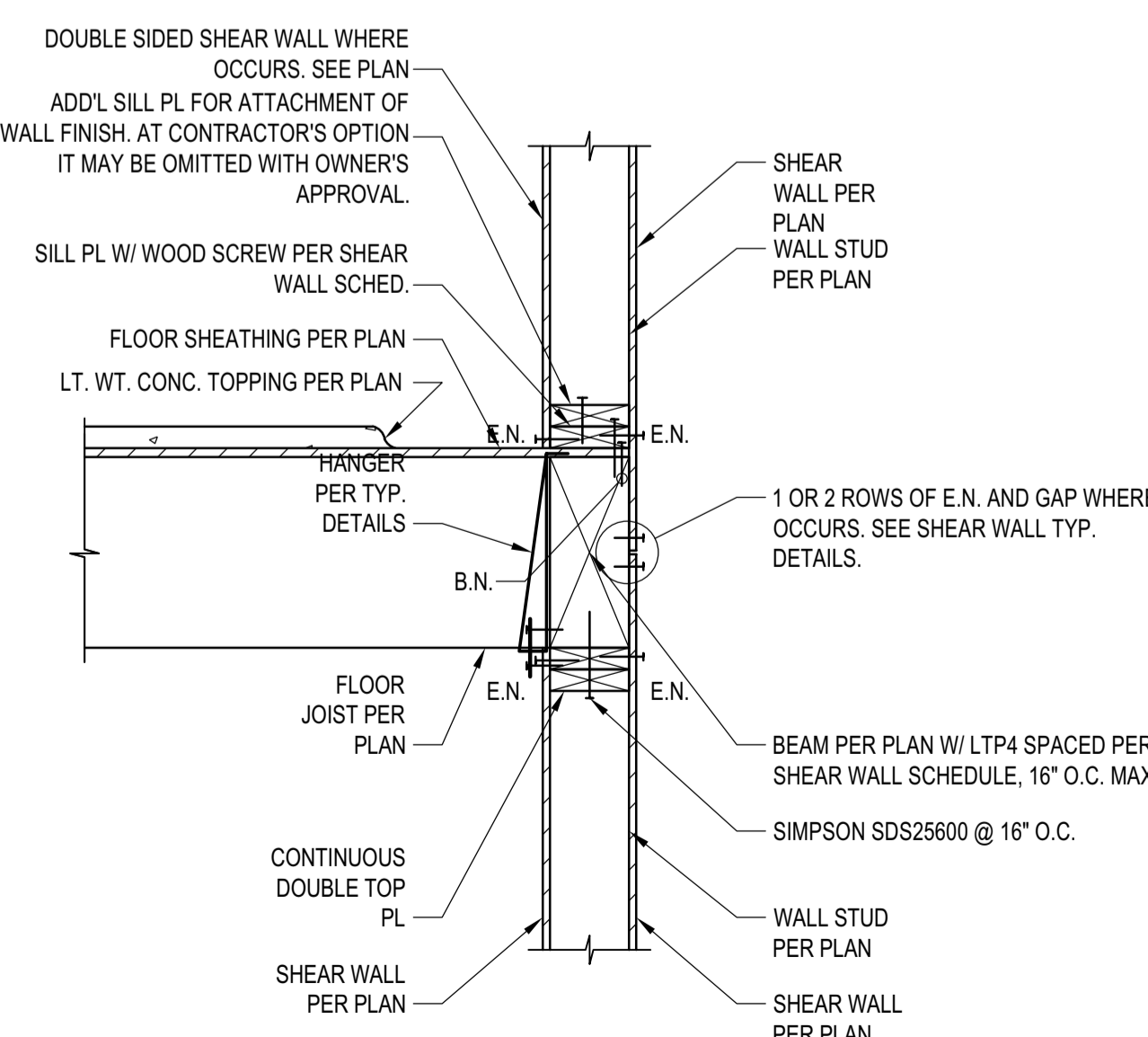
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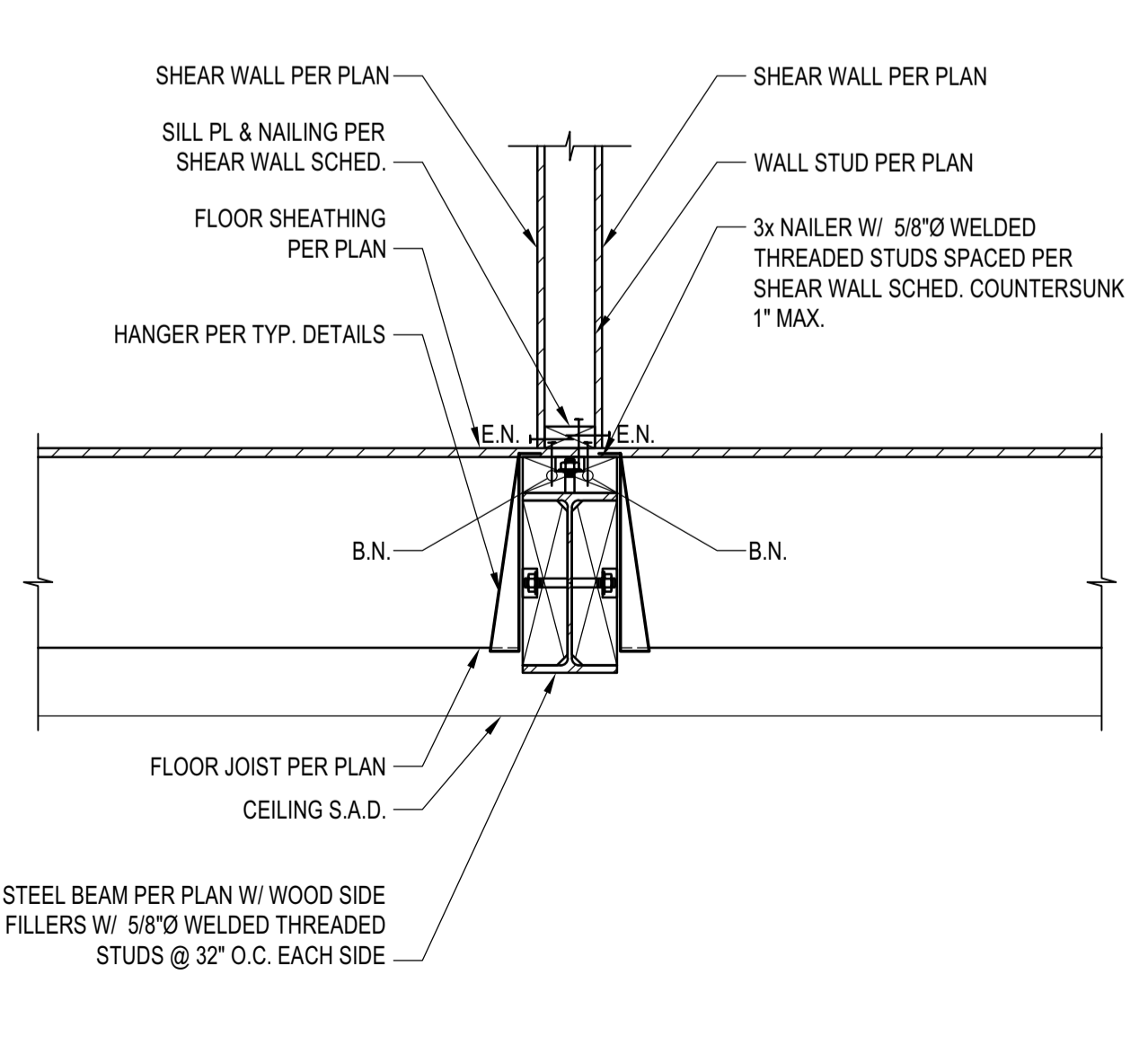
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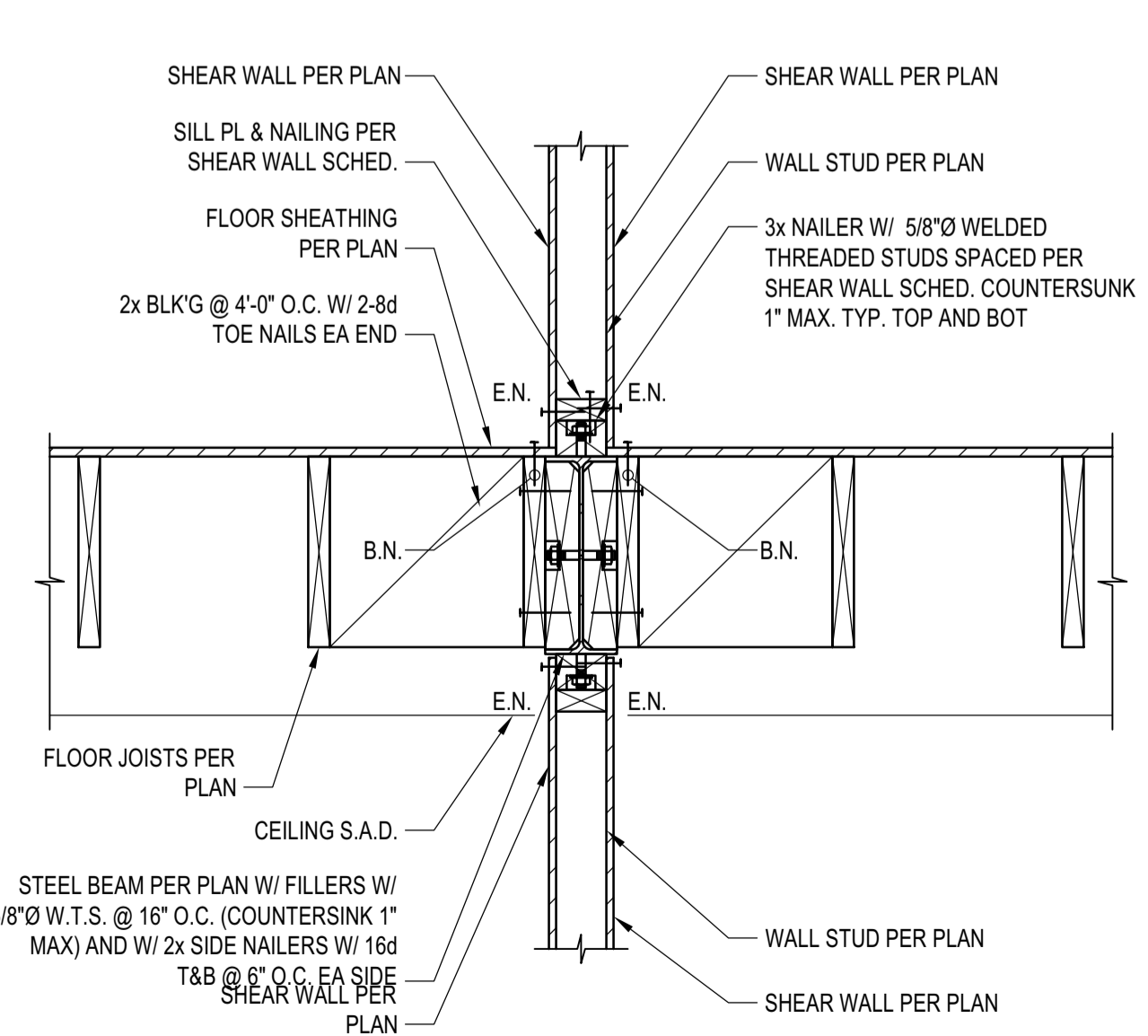
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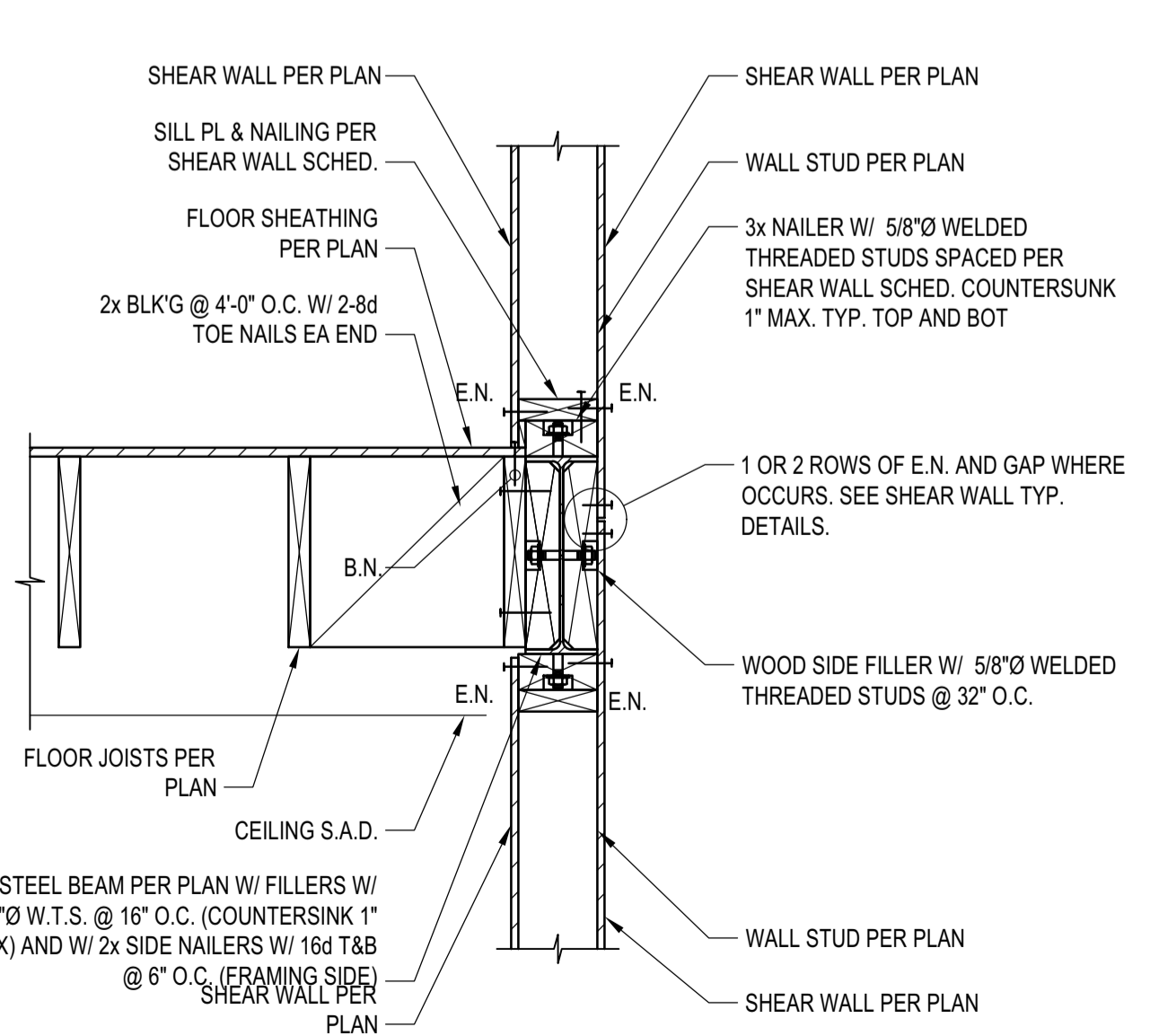
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**DETAIL 9**  
 SCALE: N.T.S.



**DETAIL 6**  
 SCALE: N.T.S.



**DETAIL 3**  
 SCALE: N.T.S.

**BADGER RESIDENCE**

OWNER:  
**121 BADGER LANE LLC**  
 P.O. BOX 14001-174  
 KETCHUM, ID 83340

PROJECT ARCHITECT:  
**RO J ROCKETT DESIGN**  
 1031 W. MANCHESTER BLVD, UNIT 6  
 INGLEWOOD, CA 90301  
 TEL: 213.784.0014

SURVEYOR & CIVIL ENGINEER:  
**GALENA ENGINEERING, INC.**  
 317 NORTH RIVER STREET  
 HAILEY, ID 83333  
 TEL: 208.788.1705

GEOTECHNICAL ENGINEER:  
**BUTLER ASSOCIATES, INC.**  
 P.O. BOX 1034  
 KETCHUM, ID 83340  
 TEL: 208.720.6432

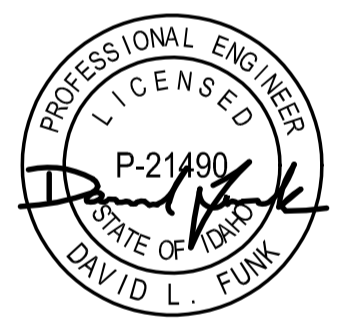
LANDSCAPE ARCHITECT:  
**BYLA**  
 323 LEWIS STREET, SUITE N  
 KETCHUM, ID 83340  
 TEL: 208.726.5907

STRUCTURAL ENGINEER:  
**LFA**  
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 TEL: 213.239.9700  
 LFA Job #22791



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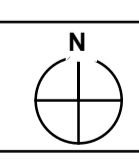
NO	DATE	PC SUBMITTAL	ISSUE
02/24/23			

PROJECT:  
**BADGER RESIDENCE**  
 121 BADGER LANE  
 KETCHUM, ID 83340

PROJECT NUMBER  
**#2201**

DRAWING TITLE:  
**WOOD SECTIONS AND DETAILS**

DRAWING NUMBER:  
**S-401**



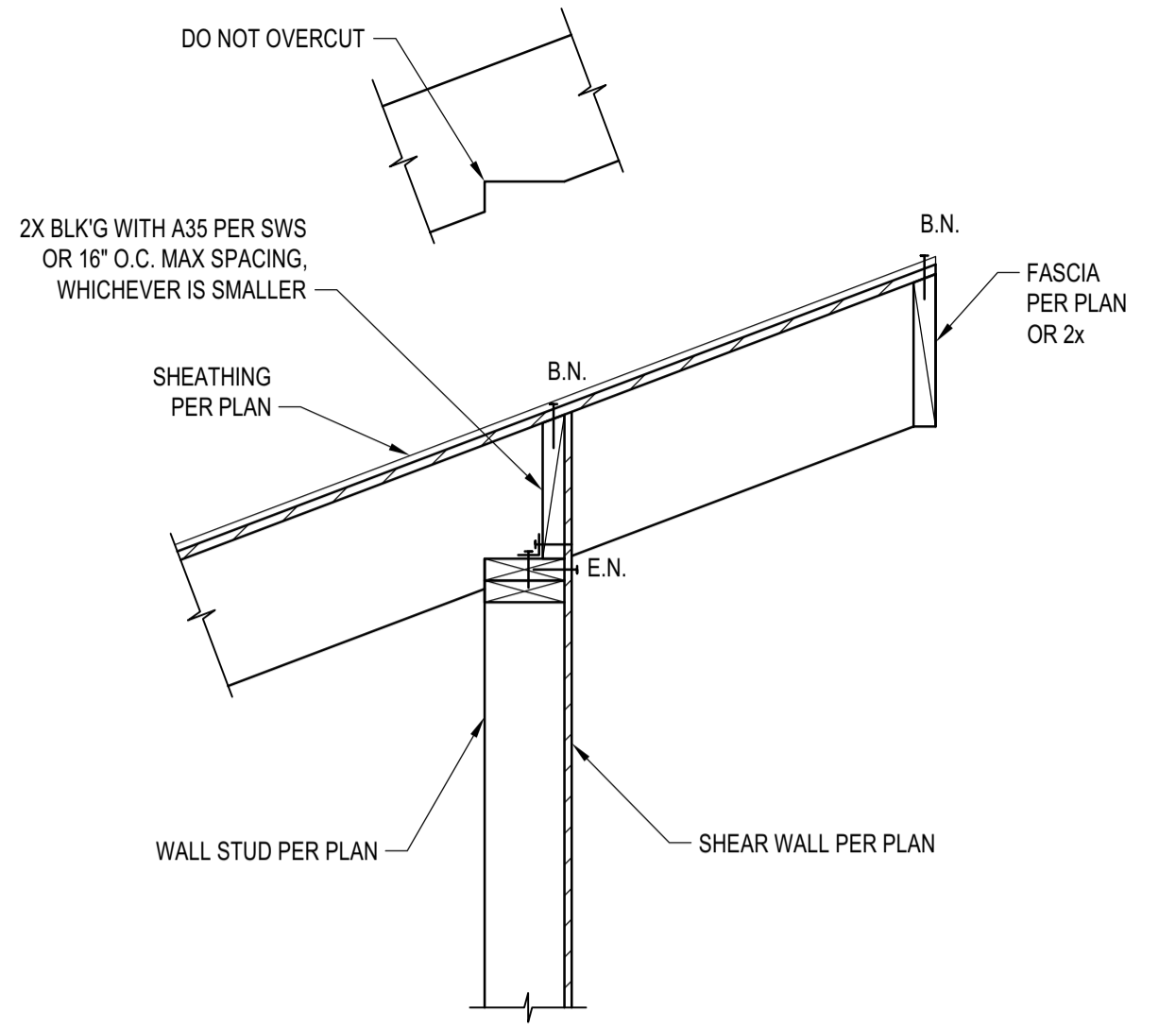




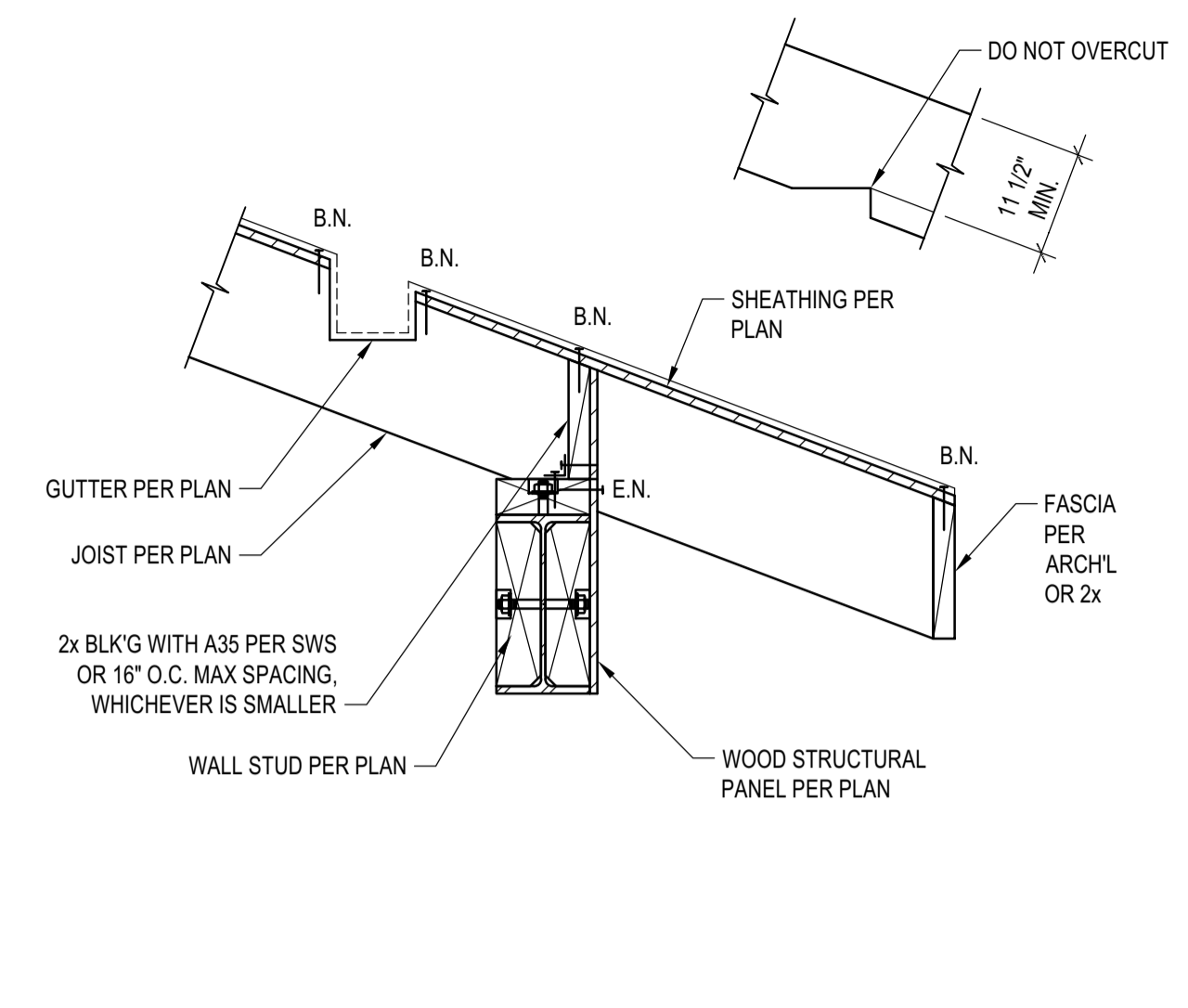


Approved  
 These plans have been found to be in substantial compliance with the adopted building codes. These documents are approved contingent on compliance with the mark-ups and notes applied. This is not approval of any violation of any code, ordinance, statute or regulation. Corrections will be required for code violations found during the inspection process.  
 BLD2303-00021  
 06/26/23

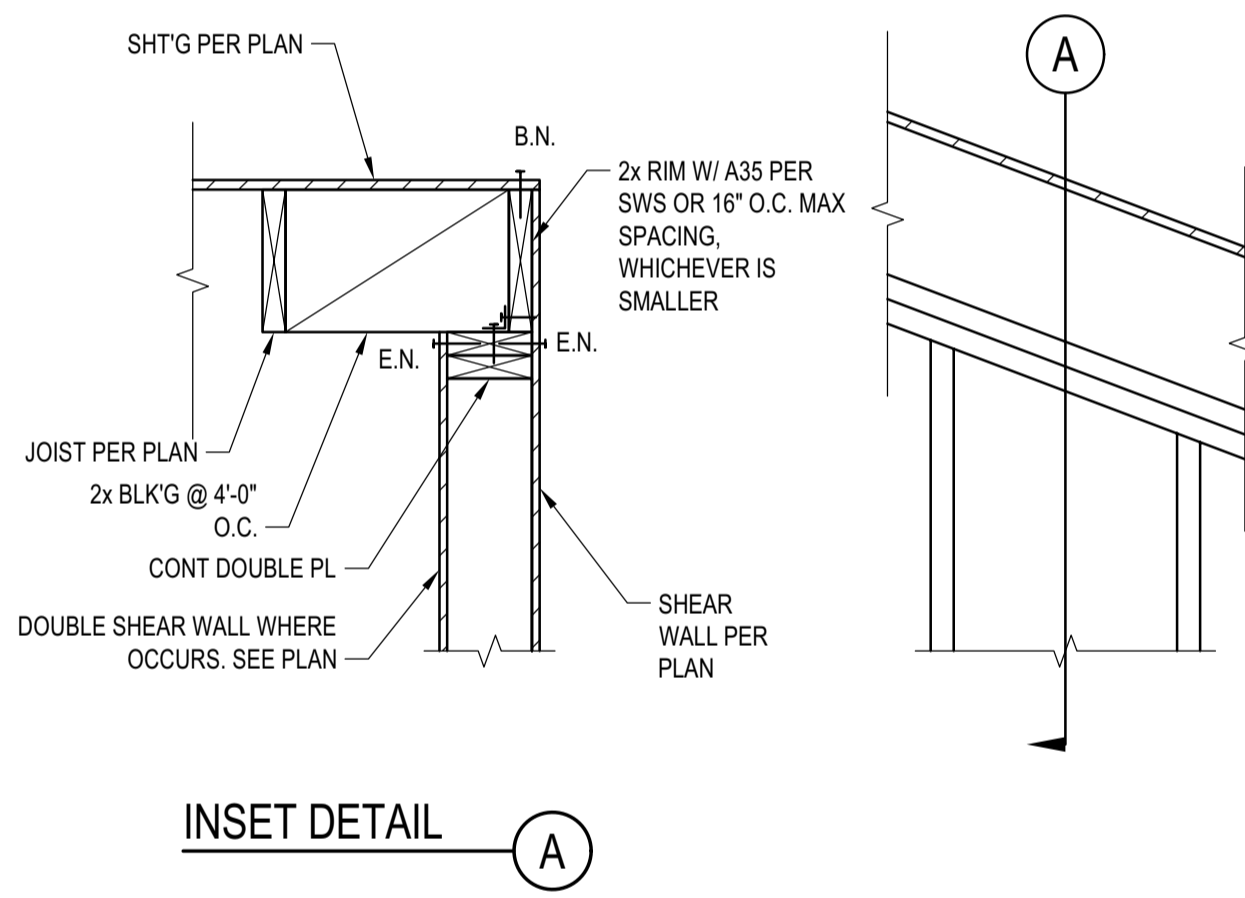
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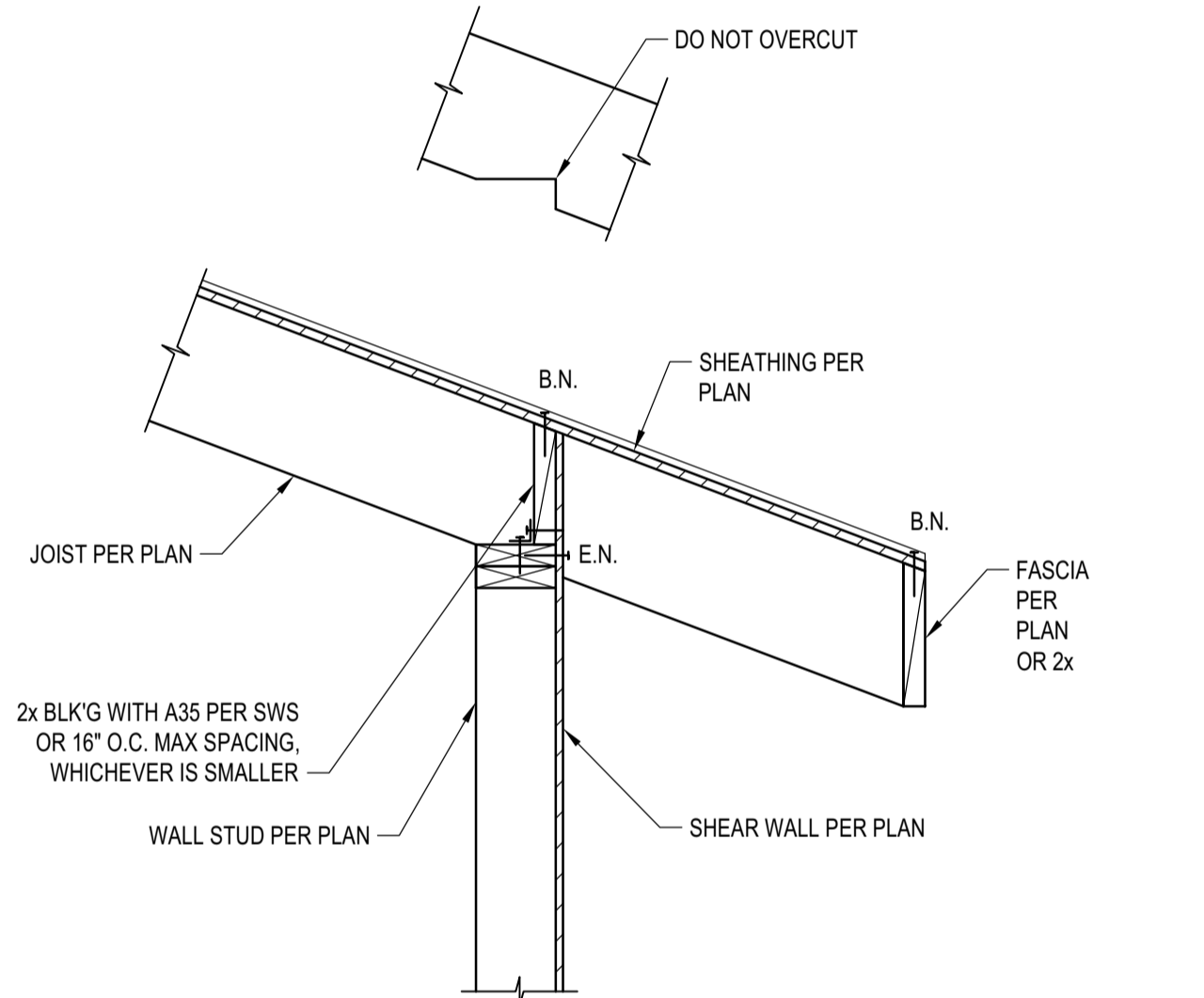
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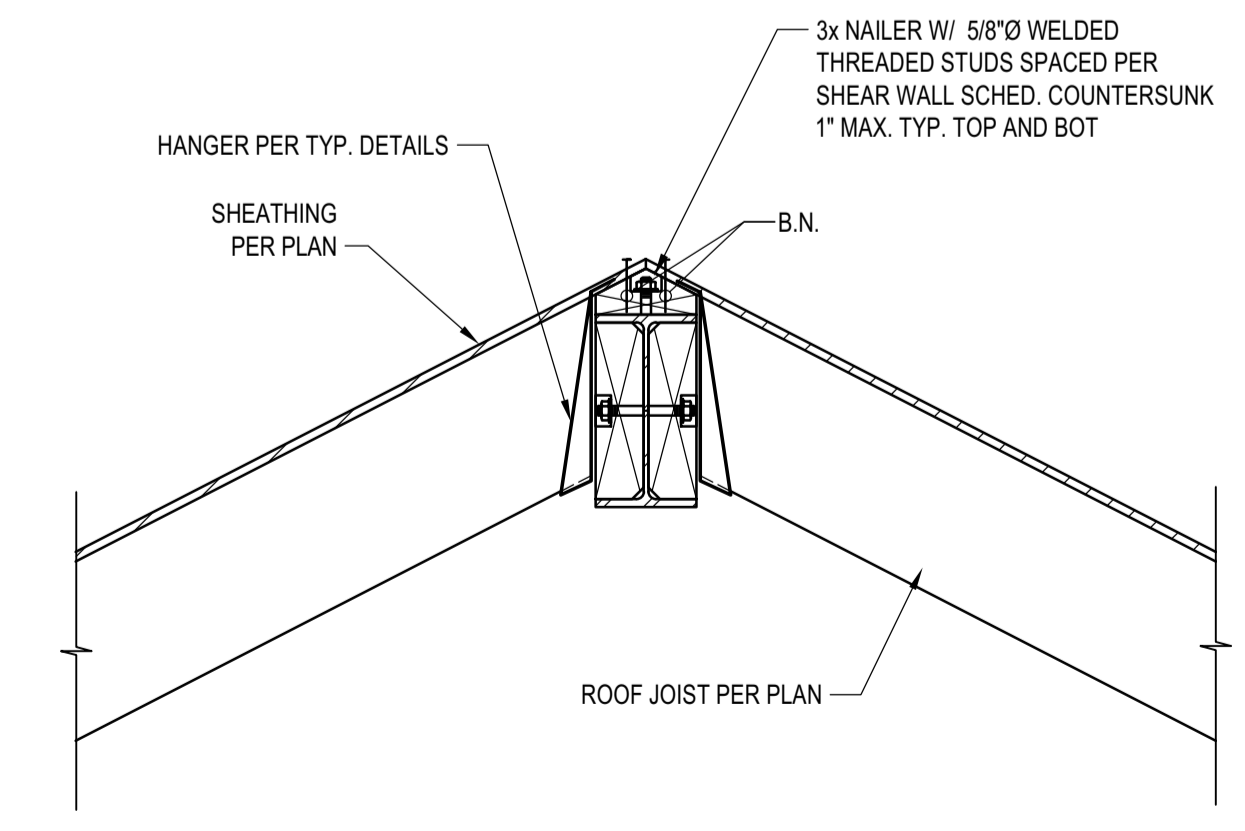
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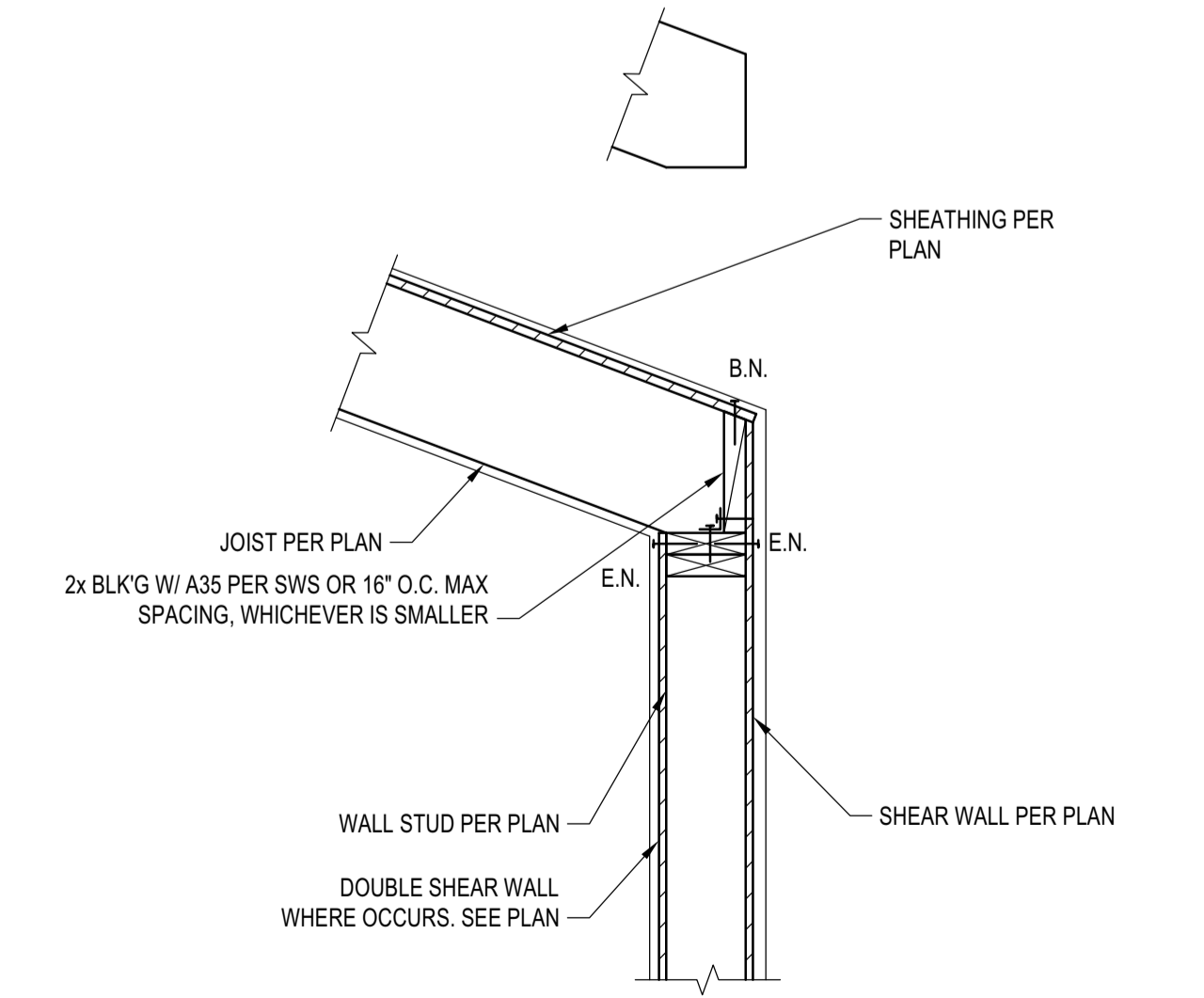
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**DETAIL**  
 SCALE: N.T.S.



**DETAIL**  
 SCALE: N.T.S.



**DETAIL**  
 SCALE: N.T.S.

**BADGER RESIDENCE**

OWNER:  
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 KETCHUM, ID 83340

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**RO | ROCKETT DESIGN**  
 1031 W. MANCHESTER BLVD, UNIT 6  
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SEAL:

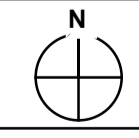
NO	DATE	PC SUBMITTAL	ISSUE
02/24/23			

PROJECT:  
**BADGER RESIDENCE**  
 121 BADGER LANE  
 KETCHUM, ID 83340

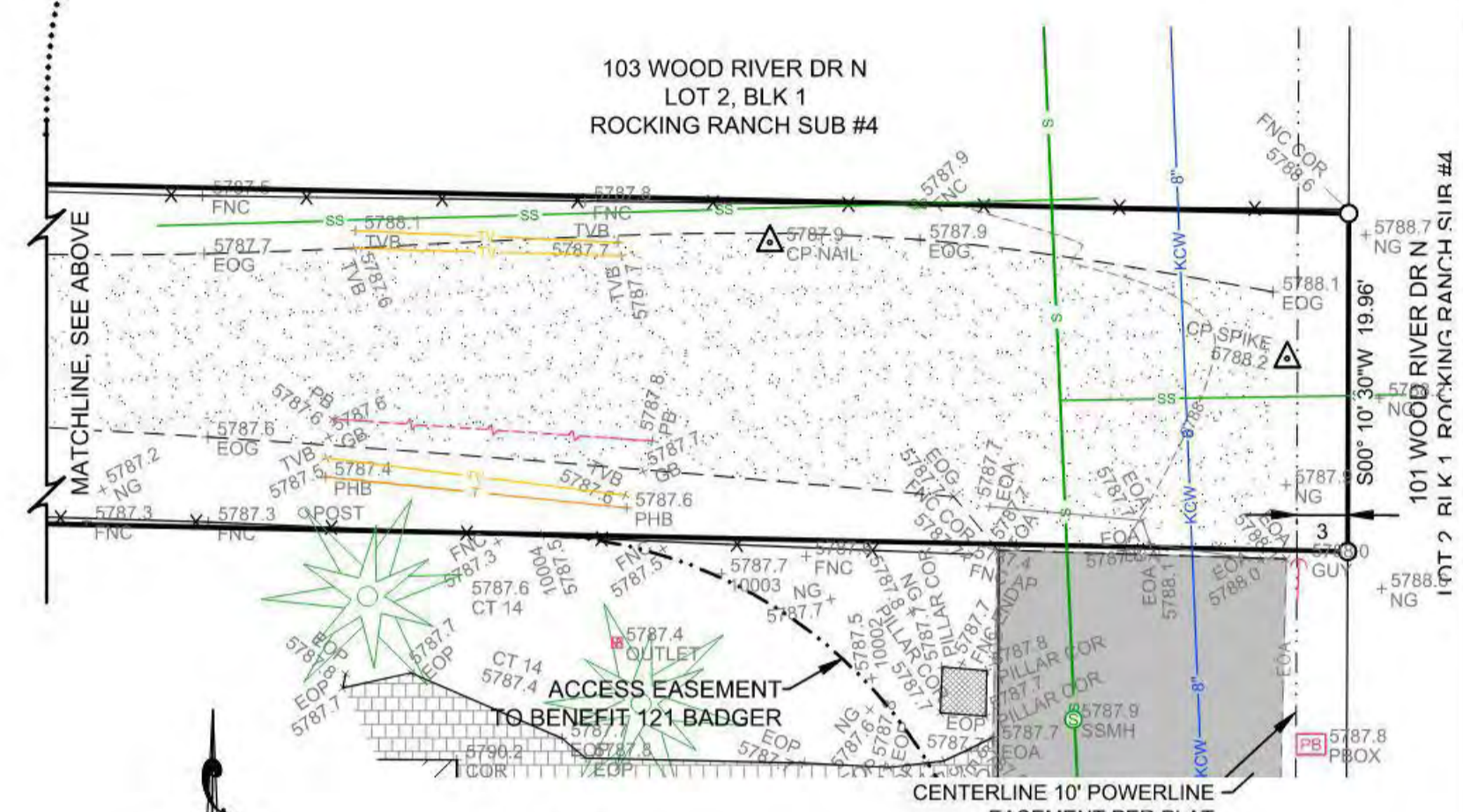
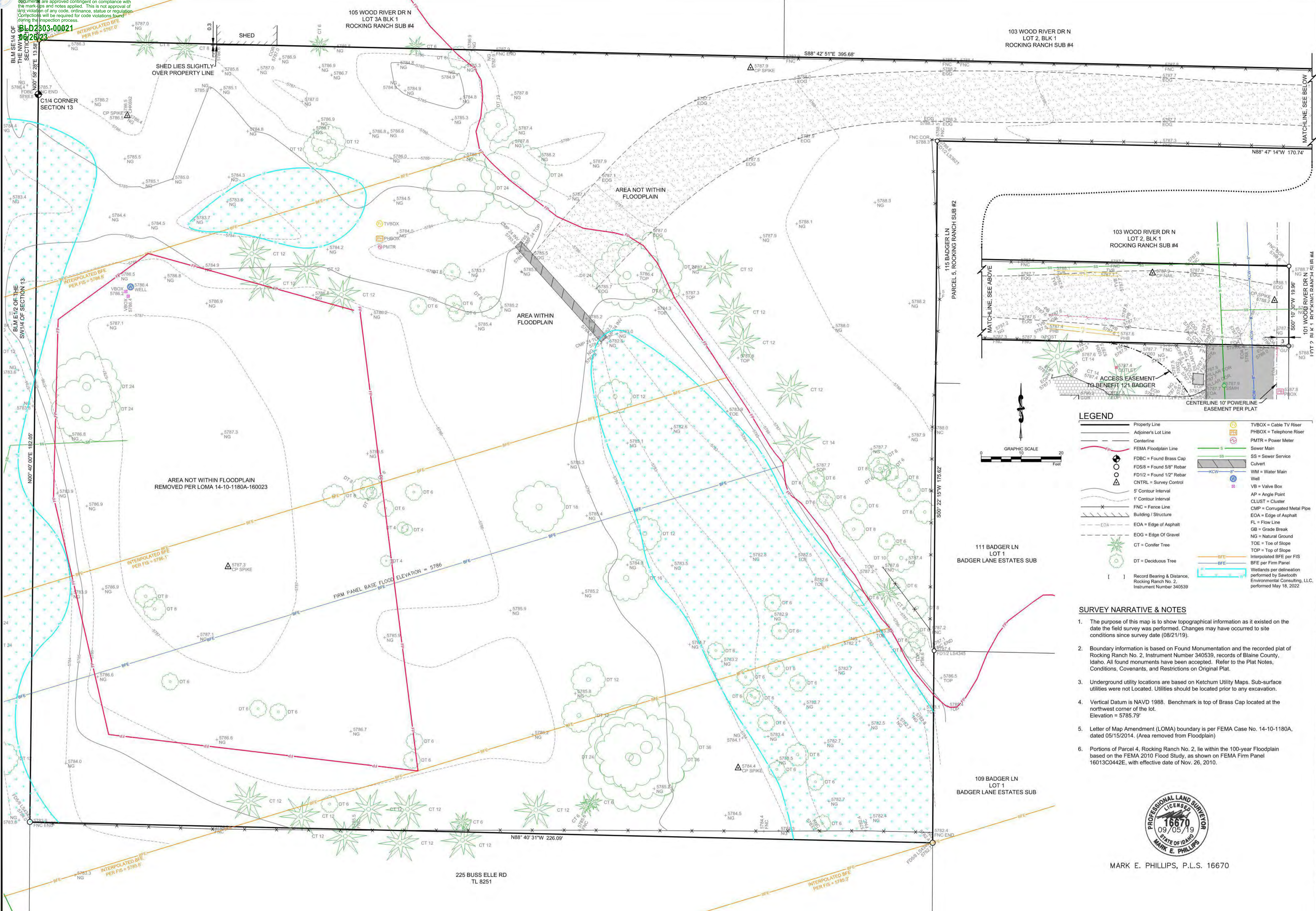
PROJECT NUMBER  
**#2201**

DRAWING TITLE:  
**WOOD SECTIONS AND DETAILS**

DRAWING NUMBER:  
**S-403**



Approved  
 These plans have been found to be in substantial compliance with the applicable codes and regulations. The plans are approved contingent on compliance with the mark-ups and notes applied. This is not approval of any code, ordinance, statute or regulation. Corrections will be required for code violations found during the inspection process.



**LEGEND**

Property Line	TVBOX = Cable TV Riser
Adj. Property Lot Line	PBOX = Telephone Riser
Centerline	PMTR = Power Meter
FEMA Floodplain Line	SS = Sewer Main
FDBC = Found Brass Cap	SS = Sewer Service
FD5/8 = Found 5/8" Rebar	WM = Water Main
FD1/2 = Found 1/2" Rebar	Well
CNTRL = Survey Control	VB = Valve Box
5' Contour Interval	AP = Angle Point
1' Contour Interval	CLUST = Cluster
FNC = Fence Line	CMP = Corrugated Metal Pipe
Building / Structure	EOA = Edge of Asphalt
EOA = Edge of Asphalt	FL = Flow Line
EOG = Edge of Gravel	GB = Grade Break
CT = Conifer Tree	NG = Natural Ground
DT = Deciduous Tree	TOE = Toe of Slope
	TOP = Top of Slope
	Interpolated BFE per FIS
	BFE per Firm Panel
	Wetlands per delineation performed by Sawtooth Environmental Consulting, LLC, performed May 18, 2022

- SURVEY NARRATIVE & NOTES**
- The purpose of this map is to show topographic information as it existed on the date the field survey was performed. Changes may have occurred to site conditions since survey date (08/21/19).
  - Boundary information is based on Found Monumentation and the recorded plat of Rocking Ranch No. 2, Instrument Number 340539, records of Blaine County, Idaho. All found monuments have been accepted. Refer to the Plat Notes, Conditions, Covenants, and Restrictions on Original Plat.
  - Underground utility locations are based on Ketchum Utility Maps. Sub-surface utilities were not Located. Utilities should be located prior to any excavation.
  - Vertical Datum is NAVD 1988. Benchmark is top of Brass Cap located at the northwest corner of the lot. Elevation = 5785.79'
  - Letter of Map Amendment (LOMA) boundary is per FEMA Case No. 14-10-1180A, dated 05/15/2014. (Area removed from Floodplain)
  - Portions of Parcel 4, Rocking Ranch No. 2, lie within the 100-year Floodplain based on the FEMA 2010 Flood Study, as shown on FEMA Firm Panel 16013C042E, with effective date of Nov. 26, 2010.



MARK E. PHILLIPS, P.L.S. 16670

A TOPOGRAPHIC MAP SHOWING  
**PARCEL 4, ROCKING RANCH SUB #2**  
 LOCATED WITHIN SECTION 13, T.4 N., R.17 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO  
 PREPARED FOR GEORGINA & CHARLES TRAIN

PROJECT INFORMATION  
 P:\dphillips\144320\topo\144320\_topo\144320\_topo.dwg 08/21/2019 14:59:19

DESIGNED BY	
DRAWN BY	
CHECKED BY	

REUSE OF DRAWINGS  
 This drawing shall not be used on any project or extensions of this project except by agreement in writing with Galena Engineering, Inc.

**GALENA ENGINEERING, INC.**  
 Civil Engineers & Land Surveyors  
 317 N. River Street  
 Hailey, Idaho 83433  
 (208) 788-1705  
 (208) 788-4612 fax  
 email galena@galena-engineering.com

NO.	DATE	BY	REVISIONS

**TOPO**