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November 26, 2024

To: Mayor and City Council

City of Ketchum

Delivered via meeting packet for 12/2/2024

From: Matthew Johnson, City Attorney

Re: Administrative Appeal Process (2024) – 121 Badger Lane

### **Background:**

This is an administrative appeal to the City Council of a P&Z Commission Decision affirming a Determination by the Planning Director on a Floodplain Development Permit. The appeal was filed by nearby property owners Nicholas and Stephanie Osborne, represented by Gary Slette of Robertson & Slette. Applicant 121 Badger Lane, LLC, has responded to the appeal, was represented by Danielle Strollo of Givens Pursley at the P&Z Commission hearing, and is now represented by Ed Lawson of Lawson Laski Clark.

This matter generally concerns the floodplain development permit review process, in particular staff interpretations and application of permit criteria. The details of these issues are presented in the memoranda presented by the parties.

This same Property, and similar Permit and determination, were administratively appealed to the Commission in December of 2023. The Commission sent the matter back to the parties and the Planning Department at that time with direction for further review of information related to the permit. The Applicant then submitted a new, revised application. This administrative appeal is a result of that new review by the Planning Department resulting in a new Director determination, and a new administrative appeal.

## **Procedural Status:**

This is an administrative appeal of decisions or determinations of the P&Z Commission, as is provided for in Ketchum Municipal Code §17.144.020.

This matter was scheduled by the City Attorney, along with approving deadlines for submission of memorandum, by agreement of the parties involved and approval of the Commission. All three memoranda – (1) Appeal by Appellant, (2) Response by Applicant/Respondent, (3) Reply

by Appellant - have been timely submitted and are provided for the Council's review.

From a process perspective, the Council can focus its review primarily on those memoranda and their arguments. The Council is reviewing these arguments and addressing interpretation questions in a quasi-judicial role. The remainder of any accompanying documents are the Record, which may include application documents, minutes, staff reports, etc., and are available primarily as resources or for purposes of reference within arguments to evaluate the factual background.

This is an administrative appeal hearing. Oral arguments will be presented by the attorneys for the involved parties. The presenting parties and supporting staff will be available for questions. This is not a public hearing and there is no public comment as part of the process. Comments or input to Councilmembers outside the appeal hearing are discouraged, and if any is received should be disclosed by that Councilmember as an ex parte communication at the start of the hearing.

During the hearing, the Council, at its discretion, is welcome to ask questions of staff or the parties as may be helpful to deliberation. It is encouraged to handle most questions for a party during their portion of the hearing.

The order of presentation will be Appellant, Applicant/Respondent, Director/staff if desired, and then an Appellant rebuttal if desired. Any further presentation or answers to questions will be at the discretion of the Council.

## **Standard of Review:**

Since the Council does not hear administrative appeals frequently, a common question when they do arise is as to the applicable standard of review. Standard of review is a legal term guiding the discretion (or not) of the review and decision with respect to use of the Record and in particular in whether or not to consider new additional information.

In this situation, it is important for the Commission to understand the standard of review as defined in KMC §17.144.020(C):

Authority of council. Upon hearing the appeal, the council shall consider only matters which were previously considered by the Commission as evidenced by the record, the order, requirement, decision or determination of the Commission and the notice of appeal, together with oral presentation and written legal arguments by the appellant, the applicant, if different than the appellant, and the Commission and/or staff representing the Commission. The council shall not consider any new facts or evidence at this point. The council may affirm, reverse or modify, in whole or in part, the order, requirement, decision or determination of the Commission. Furthermore, the council may remand the application to the Commission for further consideration with regard to specific criteria stated by the council.

While arguments, per the memoranda of the parties, are considered, there should not be new factual information considered or weighed that was not part of the Record below.

### **Decision Options:**

As indicated in the last sentences of KMC §17.144.020(C), upon review and deliberation, the

Council may decide from the following on the underlying decisions: affirm, reverse, modify in whole or in part, and/or remand the application back to the Commission and/or Director with direction.

Per KMC §17.144.020(D), the Council must issue a written decision within 30 days of this hearing. Typically, the Council will indicate a decision, or at least direction, for legal counsel to prepare a draft written decision for final approval and decision at a future meeting within that 30-day time period.

I will be present for the hearing and available to assist in the proceedings, including recommending motions language based on the Council's direction as is helpful.



# **ATTACHMENT 1:**

**Application for Appeal** 



# City of Ketchum Planning & Building

OFFICIAL USE ONLY	
File Number P23-014C	
Date Received: 9/12/24	
By: GB	
Fee Paid: \$	5000
Approved Date:	
Denied Date:	
By:	

# **Notice of Appeal**

Submit completed application and documentation to planningandbuilding@ketchumidaho.org Or hand deliver to Ketchum City Hall, 1915th St. W. Ketchum, ID If you have questions, please contact the Planning and Building Department at (208) 726-7801. To view the Development Standards, visit the City website at: www.ketchumidaho.org and click on Municipal Code. You will be contacted and invoiced once your application package is complete.

Note: The Appellant shall submit an amount to cover the cost of giving notice, as applicable in the Fee Schedule, and provide a transcript within two (2) days after the Planning and Building Department provides the Appellant with an estimate for the expense of the same. In the event the fee is not paid as required, the appeal shall not be considered filed.

OFFICIAL	USE ONLY
Date Appeal Received: 9/11/24	Date Notice Published:
Appeal Fee: \$5000	Transcript Fee:
Date Paid: 9/12/24	Date Paid:
Date Appellant Notified of Estimated Transcript Costs and Notice:	Mailing Fee:
Date of Appeal Hearing:	Date Paid:
Action(s) Taken/Findings:	
APPF	ALLANT
Name of Appellant: MICHOCAL & STROWARILE	Phone Number: CSO 228 9705
Address: 108 Wood Freque Derive Market , Katt Ho	
REPRESI	ENTATIVE
Name of Representative: CARA SCACE	Phone Number: 208 933-0700
Address: 184 tywola bast, Trumballs, lo	
APPLI	CATION
Application Being Appealed:	
Explain How You Are an Affected Party:	race
,	
URICHIBOSIACE DE	SPEARLS OKKNAR
Date of Decision or Date Findings of Fact Were Adopted	d:
	NFORMATION
	th all basis for appeal including the particulars regarding
SUR ATTACHED	
If you have attached additional pages, plea	ase indicate the number of pages attached

Signature of Appellant or Representative

- Planning and Building Findings and Decision inaccurately state that "Historically the subject
  property has had a road/driveway at the northern boundary with a culvert underneath".
  Historically the driveway has turned south before entering the floodplain so that floodwaters
  accumulate in wetlands on the subject property rather than backing up into neighboring
  properties.
- Numerous findings of facts and provisions of the City of Ketchum Zoning Regulations (17.88.010 A 1-3, 17.88.020 H/J, 17.88.030 C/E, 17.88.040 B 1-2/4, 17.88.050 E 1/5/21, 17.88.050 I 2 f/h) address risks resulting from floodplain development, the importance of maintaining natural conditions of the floodplain and require "(Wetlands) Where development is proposed that impacts any wetland the first priority shall be to move the development from the wetland area" (17.88.050 E 21) and "the availability of alternative locations for the proposed use which are not subject to flooding or erosion damage" (17.88.050 I f). Despite these regulations the Planning and Building Department did not evaluate alternatives for the proposed development, including the driveway which extends into the floodplain and along the property line.
- During the planning phase, it was determined that the proposed driveway in the floodplain needed to be raised to provide required clearance for emergency vehicles during flood conditions. This change exacerbated the already flawed plan. Despite this significant change, the Planning and Building Department has only sought to remediate the resulting flawed plan and not requested or evaluated alternative locations for the driveway, including relocating the driveway to its original location as suggested by Planning & Zoning Commission Chairman during the December 12, 2023 meeting or other alternatives proposed by the Osbornes to the owner of the 121 Badger Lane.
- Planning and Building Findings and Decision accurately state "As a result of the raised driveway,
  if no culverts were placed underneath, the adjacent property to the north would be adversely
  impacted with increased floodwaters". The raised driveway creates a barrier across its entire
  span and fills existing wetlands that currently collect floodwaters in both the eastern and
  western portions of the floodplain adjacent to the Osborne's property.
- The proposed driveway increases the elevation above existing grade of up to 3 feet, and elevations in the western portion of the driveway closest to the Osborne's property by 1 ½ to 2 feet and above the BFE stated in the Planning and Building Findings of 5786.5 which will not allow sheet flooding as required by 17.88.050 E 5. Proposed culverts only address a channel and filled wetland area in the eastern part of the floodplain while the western part of the floodplain, which is closer to the Big Wood River, experiences even greater flows during flooding. Planning and Building Department have not fully evaluated inadequate and poorly planned drainage in the western part of the floodplain.
- Proposed culverts are inadequate to ensure proper drainage. A condition of approval is that the
  culverts are required to be maintained and kept clear to ensure sufficient carrying capacity. The
  Planning and Building Findings and Decision do not consider that in flood conditions it may be
  impossible for the culverts to be maintained and kept clear due to the potential volumes of

flood water and debris. Because the culvert inlets are almost directly on the shared property line, any back-up of the culverts create hazards for the Osborne's property. The proposed residence is being developed for sale. The Planning and Building Findings and Decision do not address how these conditions will be enforced on future owners.

- Planning and Building Findings and Decision does not address commentary from neighbors and
  evidence that the LOMA on the site had been improperly issued as a result of fill which had been
  placed on the site rather than the natural conditions of the site as the LOMA requires. Pit tests
  on the site included as part of the application revealed only one area of the site that had fill
  material, in the LOMA.
- The Planning and Building Findings and Decision does not address the fact that the existing floodplain map for the site is out of date and changes in the draft FEMA floodplain map would return the LOMA on the site to floodplain (Draft April 17, 2024) and expand the Floodway adjacent to the site and neighboring properties. Zoning Regulation 17.88.050 G. 1. a. allows the City to consider "whether there have been significant amendments to the City's...draft or interim floodplain maps...which will apply to the subject approval". The subject property is not only in the floodplain but also partially in the Historic Channel Migration Zone. The Planning and Zoning Findings and Decision are based on analysis which does not reflect known conditions.
- The Planning and Zoning Findings and Decision does not address a historic fishing cabin owned by the Osbornes and identified by the Historical Committee that sits on the northern property line of the site, within feet of the elevated driveway where flooding is most likely to occur. The historic cabin remains on its original foundation of river rock. As a result the cabin is not only at risk of flooding but also of moving and collapsing in flood conditions.
- Staff has inappropriately applied, and the Planning and Zoning Commission failed to address, KMC Section 17.88.050 E 21 which states "Where development is proposed that impacts any wetland the first priority shall be to move the development from the wetland area. Mitigations strategies shall be proposed at that time of the application that replace the impacted wetland area with an equal amount and quality of new wetland area or riparian habitat."
- The Applicant's representatives and Staff made statements during the Planning and Zoning
  Commission hearing on August 13, 2024, in response to questions from Planning and Zoning
  Commission members which were either inaccurate and/or incomplete and misleading, and
  which are reasonably believed to have affected the decision of members of the Planning and
  Zoning Commission.
- The conditions of approval for the Applicant's plan provide that the City Staff will monitor, in
  perpetuity, the maintenance and performance of culverts which are on private property and
  directly adjacent to the Osbornes' property line. The viability of this condition is, at best,
  unproven and shifts the burden of responsibility for adverse outcomes and liability from the
  Applicant to the City, leaving the Osbornes with no recourse but to resort to litigation against
  the City in the event of adverse outcomes.

- Staff and the Commission's review, and statements by the Applicant's representatives demonstrated a lack of clear understanding of the specific conditions of the site and the proposed driveway. For the first time during the hearing, Staff informed everyone in attendance that it had visited and viewed the site prior to rendering the Staff's decision. During the Planning and Zoning Commission hearing on August 13, the Appellants' attorney expressly requested the Commission members to also visit the site in order to view and gather the same evidence as Staff did. However, the City Attorney expressly advised the Commissioners not to visit the site which conflicts with the Osbornes' right to due process. The Commission was required to review and consider the same evidence as Staff did when it was considering an appeal of the Staff's decision. Failure to do so violated the Appellants' right to due process.
- The Staff and the Planning and Zoning Commission have failed to address other issues related to the site, including evidence and statements by members of the community that the LOMA for the site was improperly obtained.



# **ATTACHMENT 2:**

**Scheduling Order** 

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Also admitted in OR

October 21, 2024

To: City Council, City of Ketchum

From: Matthew Johnson, City Attorney

Re: 121 Badger Lane Administrative Appeal – Scheduling Order/Notice

Recommended Motion: I move to approve the Scheduling Order and Notice as presented, and authorize the Chair to sign.

## Background:

This is a procedural step for the City to continue to process an administrative appeal filed with respect to an appeal decision of the Planning and Zoning Commission on a determination of the Planning Director with respect to a floodplain permit.

Under Ketchum Municipal Code §17.144.020, the Council orders and notices a hearing date for the administrative appeal and also accepts certain procedural steps, which are specified in the attached Order.

The city attorney met with the attorneys for the parties (Appellant and Applicant) via phone and/or email, and have attempted to formulate a schedule addressing the parties concerns. Concerns were raised by the Appellant with respect to the schedule in relation to preparation of the transcript of the P&Z appeal proceedings. However, upon further review and the anticipated schedule for delivery of such transcript, as well as the fact that a recording of the P&Z proceedings was already fully available for review by any party, the schedule in the attached Order provides sufficient and reasonable time for briefing and avoid this matter potentially being delayed until the next calendar year.

This is an administrative appeal hearing where the Commission will sit in a quasi-judicial role. There will be arguments by the parties and explanation by staff of the staff determination, but there is no public hearing and public comments will not be taken. Council will have full discretion to ask questions of the parties, staff, and/or city attorney as we needed.

As the briefs are submitted, the Council will be provided access to copies of the briefs, as well as the record including transcripts as applicable.

Questions or concerns on the substance of the administrative appeal should be reserved for the actual appeal hearing.



# SCHEDULING ORDER AND NOTICE OF APPEAL HEARING BEFORE CITY COUNCIL Administrative Appeal: P23-014 – 121 Badger Lane

An administrative appeal was filed by Appellant, with respect to the above-referenced application(s), Director's Determination, and Planning Zoning Commission Decision on Appeal. The administrative appeal was filed pursuant to Ketchum Municipal Code 17.144.020.

The City Council hereby finds and orders that:

- 1. The Planning and Zoning Director has certified and reported that the procedural requirements have been met. KMC 17.144.020(A).
- 2. A record of the proceedings, if any, has been prepared and will be accepted by the Council as part of this process. KMC 17.144.020(A).
- 3. The City Attorney has held scheduling discussions with the parties, attempting to coordinate and allow for input by the parties on the schedule set forth in this Order.
- 4. Hearing Date: This matter is set for hearing before the Council at its regular meeting and location on December 2, 2024. KMC 17.144.020(B).
- 5. Briefing Schedule: Appellant is to submit any brief or memorandum in support of the appeal by 5:00 p.m. on *November 8, 2024*. An Applicant response brief or memorandum, if desired, is to be submitted by 5:00 p.m. on *November 18,2024*. A reply brief, if desired by Appellant, is to be submitted by 5:00 p.m. on *November 25, 2024*. All briefs/memos are to be sent to the parties to the administrative appeal, Planning Director, and the City Attorney. Electronic delivery of documents will be sufficient.
- 6. Council Review Authority: Upon hearing the appeal, the council shall consider only matters which were previously considered by the Commission as evidenced by the record, the order, requirement, decision or determination of the Commission and the notice of appeal, together with oral presentation and written legal arguments by the appellant, the applicant, if different than the appellant, and the Commission and/or staff representing the Commission. The council shall not consider any new facts or evidence at this point. The council may affirm, reverse or modify, in whole or in part, the order, requirement, decision or determination of the Commission. Furthermore, the council may remand the application to the Commission for further consideration with regard to specific criteria stated by the council. KMC 17.144.020(C).
- 7. Decision: A written decision will be entered within 30 days of conclusion of the appeal hearing. All parties, the Commission, and any affected party of record have a right to request and/or will be provided a copy of the decision. KMC 17.144.020(D).

Date of Order: October 21, 2024.

DocuSigned by:

Neil Bradshaw, Mayor

**ATTEST** 

Signed by:

Trent Donat, City Clerk

Signed by:



# **ATTACHMENT 3:**

**Appellant Brief - 11/8/2024** 

# Robertson & Slette, p.l.l.c.

J. EVAN ROBERTSON GARY D. SLETTE

Cassie Chapman – Paralegal cchapman@rsidaholaw.com

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November 8, 2024

Mayor and City Council City of Ketchum P.O. Box 2315 191 5<sup>th</sup> St. West Ketchum, ID 83340

RE: Nicholas and Stephanie Osborne ("Appellants") appeal of Floodplain Development Permit for 121 Badger Lane, Ketchum, Idaho ("Permit") issued to 121 Badger Lane, LLC ("Applicant")

Dear Mayor and Council Members,

Our law firm represents Nicholas and Stephanie Osborne (the "Osbornes") regarding their appeal of the floodplain development permit ("Permit") issued for 121 Badger Lane. The Permit was originally issued by the City staff pursuant to formal Findings of Fact, Conclusions of Law and Decision on June 16, 2023. That decision was appealed to the Planning & Zoning Commission ("Commission") by the Osbornes, and an appeal hearing was held on December 12, 2023, at which time the Commission remanded the matter to staff. The City staff issued a new decision approving the Permit by issuance of a subsequent set of Findings of Fact, Conclusions of Law and Decision on May 14, 2024. The new Decision was appealed by the Osbornes to the Commission which conducted an appeal hearing on August 13, 2024. A transcript of that hearing has been lodged with the City. The City attorney explained at the outset of that hearing that the Commission was, for all practical purposes, considering a new application because of the newly revised plans for the property. After much questioning by Commission members, together with a lengthy deliberation, the Commission voted 3-2 in a split decision to affirm the granting of the Permit. The Osbornes timely appealed the Commission's decision on the new application.

After reviewing the record and transcript in this matter, and hearing the oral arguments on appeal, the Osbornes respectfully request that the City Council reverse the decision of the Commission and staff, and deny the Permit for the reasons set forth in this Appellants' brief.

The Osbornes' chief concern has always been the placement of an elevated driveway immediately adjacent to the shared boundary line between their property and that of the applicant. Portions of the driveway are above the base flood elevation and will serve to function as a berm to potentially impound flood flows. Having personally observed their property during the flood event of 2017 (which was not a 100-year flood event by any means), they are acutely aware of the flood potential that already exists on their property. The creation of a berm along their boundary line will only have the non-salutary effect of exacerbating that potential. The applicant's proposal to install three culverts as a means of alleviating the flooding potential created by its proposed driveway does little to ameliorate the Osbornes' concerns. The openings of the inverted culverts are located within inches of the common boundary line. Although the staff Decision at paragraph 15 mandates, "Maintenance of culverts to ensure they function properly during flooding conditions is required", there is absolutely no enforcement provision that would compel the applicant, its successor, or the City to fulfill that condition. If the culverts become blocked with debris, the likelihood that anyone could even get to them during a flood event is remote. Staff acknowledged at page 3 of its Findings as follows, "As a result of the raised driveway, if no culverts were placed underneath, the adjacent property to the north would be adversely impacted with increased floodwaters."

To the Osbornes, it is also clear that staff and the Commission have ignored the clear and unambiguous language of the Ketchum Municipal Code regarding wetlands. The Code requires that "Where development is proposed that impacts **any** wetland, the **first priority** shall be to move the development from the wetland area...". If there is absolutely no alternative, then the default provision of the Code is to balance the cut and fill in a wetland area. However, as observed by members of the Commission, the applicant's design of the various structures, including the driveway, rather than the site characteristics themselves, caused the need for intrusion into the wetlands. Parenthetically, the staff's Findings signed by Mr. Crutcher inaccurately state that, "Historically, the subject property has had a road/driveway at the northern boundary with a culvert underneath." The Council members can observe for themselves where that existing driveway

which served the property was located by reviewing the applicant's own submission materials. Staff's statement is also contradicted in the transcript at page 61 where the fire department is blamed for "pushing the driveway up to the north". Succinctly stated, there are alternatives for the driveway that (a) do not function to create a berm to impede flood flows on the Osbornes' property; and (b) do not require intrusion into jurisdictional wetlands.

The Osbornes respect the applicant's private property rights so long as their own property does not bear the creation of a potential burden as a result of the development on the applicant's property. The Code is clear that those who occupy areas of flood hazard must assume the responsibility of their actions, a common theme echoed by Chairman Morrow and Commissioner Carter at the P&Z hearing. The Osbornes ask the City Council to reverse the decision of staff and the Commission in order to allow a design alternative for the driveway that doesn't create the flood-restrictive berm, and which doesn't create the need to intrude into wetlands. The exhibits attached hereto were provided to the Commission for their consideration during the appeal of this matter, and are being provided to the Council as well.

1. The City of Ketchum is committed to enforcing provisions related to flood prone areas by its Comprehensive Plan and the Ketchum Municipal Code ("KMC"). The KMC specifically recognizes that floodplain development has increased flood hazards and changes the ability of the floodplain to function as originally assumed. Notwithstanding this, the City has approved a Floodplain Development Permit for 121 Badger Lane that unnecessarily changes the characteristics of the floodplain and creates a hazard for the Osbornes' property.

"The City will seek to protect the riparian vegetation, natural habitat, water quality and flood attenuation capacity, while providing appropriate public access to the river systems in Ketchum. The City will regulate and enforce provisions related to any alterations to the riparian, flood prone, and general water course areas."

Ketchum 2014 Comprehensive Plan
Policy NR-1.2
River System Quality

"Encroachments (i.e., houses, fill, etc.) on floodplains reduce the flood carrying capacity of the river and its floodplain and increase flood heights, thus increasing flood hazards on land beyond the encroachment. With every new development since the FEMA one percent annual chance boundary was determined, the ability of the floodplain to function as originally assumed changes."

The plan unnecessarily fills wetlands and an active floodplain to accommodate a 9,000 square foot house, a 1,500 square foot guest house, a swimming pool and a driveway along the shared property line which creates a barrier to the natural flow of floodwater from the Osborne property. As such the plan fails to comply with Section 17.88.050 E 1. of the KMC.

"The criteria for floodplain development applications and riparian alteration permits shall be as follows: 1. The proposal preserves or restores the natural characteristics of the river, floodplain and riparian zone including riparian vegetation and wildlife habitat."

Floodplain Damage Prevention KMC Section 17.88.050 E

- A significant portion of the 121 Badger Lane and the undeveloped portion of the Osborne property is located in the floodplain. Because of its location directly downstream from the confluence of the Big Wood River and Warm Springs Creek, significant erosion has already occurred. As such, the site is prone to flooding and has experienced significant flooding in the past. Previous efforts to control flooding on 121 Badger Lane have included riprap along the site's western boundary.
- Rather than using the existing driveway, the plan contemplates a new elevated driveway that runs almost the entire length of the northern property line with a significant portion unnecessarily located in the floodplain. The driveway plan includes (a) filling existing wetlands and channels that collect floodwaters; and (b) creating a barrier to floodwaters which naturally flow from the Osborne property onto 121 Badger Lane along the shared property line.
- Because of known flood conditions on the site, it was determined during the planning phase that the KMC required the proposed driveway location in the floodplain to be elevated even higher to provide the required clearance for emergency vehicles during flood conditions. As a consequence, that further elevation of the driveway increased the height of the barrier created by the new driveway and exacerbated an already flawed plan.
- The result is a plan which was proposed and approved in conflict with multiple provisions of the KMC.

- 2. The proposed plan and approval process did not adequately evaluate alternative locations for the driveway, and as a result, it failed to comply with Section 17.88.050 (E)(21) of the Ketchum Code of Ordinances.
  - Section 17.88.050 (E)(21) states "(Wetlands) Where development is proposed that impacts any wetland the first priority shall be to move the development from the wetland area. Mitigation strategies shall be proposed at time of application that replace the impacted wetland area with an equal amount and quality of new wetland area or riparian habitat improvement."
  - Despite this very clear and unambiguous statutory requirement, and the availability of alternative locations for the driveway, including the existing driveway, the Planning and Building Department staff did not adequately evaluate such alternatives. When asked about that issue, Mr. Crutcher suggested that it was a question for the applicant, and Ms. Landers indicated that was never requested by staff. Tr., p. 76, l. 2-12. The Osbornes contend that was either an error or an abuse of discretion by staff.
  - In response to questions from the Planning & Zoning Commission members regarding alternatives, staff told the Commission that it had considered alternatives, and that the driveway location was necessary given the conditions on the property. That is simply incorrect, especially when you consider that a driveway to the property served the former residence. The record created by the staff is entirely devoid of any such alternatives, one of which was to utilize the location of the existing driveway.
  - At best, staff may have evaluated alternatives which accommodated the planned 9,000 square foot main house, a 1,500 square foot guest house, two garages and a swimming pool in their planned locations. No consideration was given to moving or reducing the size of the proposed structures to allow a driveway that did not fill the existing wetlands. The Osbornes contend that was either an error or an abuse of discretion by staff.
  - The council is urged to keep in mind that the <u>first priority</u> articulated in the KMC is to move a proposed development from a wetland area. The term "first priority" has the usual and ordinary meaning of "first concern", or "most important consideration". A priority is the concern, interest or desire that comes before all others. Rather than letting the site dictate the location and size of the structures and the driveway, the applicant

elected to have the elements of the improvements assume greater importance which meant an unnecessary intrusion into the wetlands on the site. The secondary mitigation strategy of the KMC regarding the balancing of cut and fill only comes into play if the "first priority" requirement of avoidance of wetlands cannot be accommodated. The following colloquy between Commission members and staff is compelling, and it is clear that the Commission was troubled by the failure to consider the existing driveway as access to the property.

- 5 COMMISSIONER PASSOVOY: So my question to
- 6 the staff is, did you discuss -- did you consider
- 7 alternative locations of the driveway --
- **8** MR. CRUTCHER: Yes, that --
- 9 **COMMISSIONER PASSOVOY:** -- and discuss those
- 10 with the applicant? And would you tell us about that.
- 11 MR. CRUTCHER: Staff looked at the proposal
- 12 and the residence being located within the letter of map
- 13 amendments. Which took the property outside of the
- 14 floodplain seemed to be the most appropriate location
- 15 for the residence. And then with the requirement of a
- 16 hammerhead turnaround by the fire department pushing the
- 17 driveway up to the north, that seemed to be the best
- 18 approach for getting access to the letter of map
- 19 amendment area.
- 20 COMMISSIONER PASSOVOY: So the location of
- 21 the house or the development dictated the location of
- 22 the driveway?
- 23 MR. CRUTCHER: That's correct.
- **24** MS. LANDERS: And just to clarify, the
- 25 location of the house wasn't necessarily the choosing of
- 1 the owner. It was a LOMA that had already been
- 2 approved. So, you know, that was a condition that was
- 3 kind of existing in place. And I think when Adam and I
- 4 reviewed that, the effort was to keep the majority of
- 5 the development outside of the floodplain. Because if
- 6 we were to move the location of the home, you'd be
- 7 putting it outside of the floodplain and into the
- 8 floodplain. And so there was a discussion around

- 9 alternatives. It isn't necessarily documented in kind
- 10 of multiple scenarios as part of the development
- 11 application, but those discussions did occur.
- 12 COMMISSIONER PASSOVOY: Okay. Thank you.
- 13 COMMISSIONER CARTER: Was there a
- 14 consideration of leaving the driveway where the existing
- 15 driveway is? Or how was the location of the existing
- **16** driveway considered?
- 17 MR. CRUTCHER: Well, the fire department
- 18 required a hammerhead turnaround access that was not
- 19 present with the current driveway configuration due to
- 20 fire department code. And so that configuration is the
- 21 result of the fire department requirements.

Transcript of Administrative Appeal of 121 Badger Lane, August 13, 2024
Page 61, Lines 5-25, Page 62 Lines 1-21

- 11 MR. CARTER: Staff, can you bring up page --
- 12 the last page in the staff report, 221?
- 13 (Next Slide)
- 14 MR. CARTER: Is it correct that this shows
- 15 existing conditions out there, more or less?
- 16 MR. CRUTCHER: Yeah.
- 17 MR. CARTER: And is it correct that that's
- **18** showing a sort of existing driveway location?
- 19 MR. CRUTCHER: Yes.
- **20 MR. CARTER:** Is there an existing -- there's
- 21 an existing driveway on the site?
- 22 MR. CRUTCHER: Gravel. So the asphalt has
- 23 been pulled out, but the topography is similar to where
- 24 the driveway used to be when it was still functioning.
- **25 COMMISSIONER PASSOVOY:** At the gray line?
- 1 MR. CRUTCHER: Correct.
- 2 COMMISSIONER CARTER: Was there an attempt
- 3 made by the design team to design a driveway that worked

4 on the existing configuration and a hammerhead that was 5 in a different portion of the lot that perhaps didn't 6 impact the wetland as much?

7 MR. CRUTCHER: I believe that would be a 8 question for the Applicant.

9 MS. LANDERS: Tim, it wasn't something that
10 was requested by staff. It was just during kind of
11 discussions of different alternatives and what was being
12 proposed.

Transcript of Administrative Appeal of 121 Badger Lane, August 13, 2024 Page 75, Lines 11-25, Page 76 Lines 1-12

#### **COMMISSIONER PASSOVOY:** And I actually, if

- 13 you take that -- I mean, it may require some redesign of
- 14 the house, which was my question. Is if the design of
- 15 house -- the design and placement of the house is
- 16 dictating where the driveway goes. And maybe that
- 17 approach should have been, or we should ask the
- 18 Applicant to -- I mean, I know this has been a long and
- 19 expensive process. But since this was raised as a
- 20 problem early on, I would -- I would have liked to have
- 21 seen them say, well, maybe the way we've designed and
- 22 located the house should be reevaluated so that we don't
- 23 have this problem of the driveway and the hammerhead
- 24 right along the northern property line. It's sort of
- 25 the once again, you know, what forces the decision?
- 1 Which part of the design forces the decision?

# Transcript of Administrative Appeal of 121 Badger Lane, August 13, 2024 Page 79, Lines 13-25, Page 80 Line 1

• Numerous alternatives for the location of the driveway, including the existing driveway, were apparently not considered by the City staff or the applicant. Some of these alternatives would not even require a change in the scope of the project, the location of the house or the potential location of a hammerhead. Certain of these alternatives were actually discussed by the Osbornes and the applicant following the initial appeal which resulted in the remand, but were dismissed out of hand due to the time and expense of a redesign. That time and expense could certainly have been avoided if consideration of alternatives that entirely avoided wetlands had been an initial concern of both the City and the applicant.

- 3. In approving this and other projects, City staff has inappropriately applied and relied on the second sentence of Section 17.88.050(E)(21) without consideration of the City's priority mandate expressly stated in that section.
  - In its Decision and Findings dated May 14, 2024, with respect to 17.88.050(E)(21), staff stated:

"Project site contains wetlands as delineated by Trent Stumph with Sawtooth Environmental. The proposed development will impact, permanently fill 1,277 square feet of wetlands with proposed wetland mitigation creating approximately 1,278 square feet of wetlands."

- This statement interprets the second sentence of Section 17.88.050(E)(21) which provides, "Mitigation strategies shall be proposed at time of application that replace the impacted wetland area with an equal amount and quality of new wetland area or riparian habitat improvement." That secondary provision, however, would only come into play if wetlands cannot be avoided at all. The very clear requirement of that section of the KMC states, "Where development is proposed that impacts any wetland the first priority shall be to move the development from the wetland area." This then was the City's opportunity to enforce its own Code provision. Rather than jumping to the secondary provision for cut and fill in order to accommodate the proposed new development on the site, the staff and the Commission committed error by not applying the clear language of the Code regarding wetland avoidance where possible. If "first priority" means the "most important consideration", it is facially apparent that the KMC provision in that regard was ignored.
- During the appeal hearing, the Applicant's legal representative incorrectly advised the Commission that the second sentence of Section 17.88.050(E)(21) was the only requirement in the Code for wetland approval.
  - 21 MS. STROLLO: Wetlands, so there is one wetland
  - 22 requirement in code criteria for approval and we meet
  - 23 it. The driveway fills some wetland area and that fill
  - 24 is mitigated entirely by creating wetland elsewhere to
  - 25 preserve the natural function of the river.

- 4. Proposed culverts are inadequate to ensure proper drainage. The placement of culverts conflicts with the purpose of the City's Floodplain Zoning Regulations codified in Section 17.88.020.
  - KMC Section 17.88.020 states: It is the purpose of this chapter to promote the public health, safety, and general welfare, and to minimize public and private losses due to flood conditions in specific areas by provisions designed:

. . .

# H. To ensure that those who occupy the areas of special flood hazard assume the responsibility for their actions.

- The plan proposes to eliminate the existing driveway and culvert located in the center of
  the property and to place the new elevated driveway and multiple culverts in the
  floodplain adjacent to the shared property line which creates new and unnecessary hazards
  for the Osborne property.
- Culverts are highly susceptible to blockage as a result of both wildlife and debris. Because the culvert inlets are almost directly on the shared property line, and adjacent to a historic 1930's fishing cabin owned by the Osbornes, any back-up of the three culverts would unnecessarily create hazards for the Osborne property which are not insurable.
- One of staff's conditions of approval is that the culverts are required to be maintained and kept clear to ensure sufficient carrying capacity. See Condition No. 15 of Decision dated May 14, 2024. Because the project is apparently a residence being developed for sale, it is impossible to ensure future compliance with this condition by anyone. Furthermore, the Planning and Building Findings, Conclusions and Decision do not consider that in flood conditions, it may be all but impossible for the culverts to be maintained and kept clear due to the potential volumes of flood water and debris. The assumptions of the Planning and Building department based on the unknown potential for debris were not factual. As stated by Ms. Landers, "So from staff's perspective, we aren't concerned about clogging of the culverts." Tr., p. 73, l. 14-15. While staff may not be concerned, the Osbornes, having observed the flooding events of 2017, are most assuredly concerned about that potential.

- 4 MS. LANDERS: I think the last comments that I will make
- 5 is that debris is always a concern in flooding. That's
- 6 a comment that's been made. Large debris that -- that
- 7 blocks culverts on a large scale, like the ones provided
- 8 in the Appellant packet happen within the floodway when
- 9 you have large downed trees, you know, things like that.
- 10 These -- this area -- and Adam you can correct me if I'm
- 11 wrong -- sees a lot of kind of sheet flooding of water
- 12 come through. It isn't necessarily in a debris flow
- 13 area.
- 14 So from staff's perspective, we aren't
- 15 concerned about clogging of the culverts.
- The Planning and Building Department Staff members have proposed that its team will monitor, in perpetuity, the maintenance and performance of culverts which are on private property. Adam Crutcher expressly stated that, "... we do go around during flooding years and check, myself, the fire department, streets and water and wastewater, to check and make sure that those [culverts] aren't getting blocked or impacted in any way by debris. So those are things that we do regularly throughout the city in different areas." Tr., p. 74, 1. 21-25 and p. 75, 1. 1. Not only will these municipal inspections not ensure compliance with Condition No. 15, it will have the effect of transferring responsibility for the risk to the City in conflict with KMC Section 17.88.020. It makes the City a party to any claim for damages that might result. Commissioners Carter and Morrow were particularly concerned about the duty that the City had assumed in this regard, and knew that it created a future liability for the City.
  - 4 **COMMISSIONER MORROW:** You know, what if the person who buys the
  - 5 house says screw you, litigate, you know? We don't care
  - 6 what you do. We don't care what the city says. We're
  - 7 not going to do anything. Let them sue us. I need more
  - 8 -- you know, to put it right on their property line? If
  - 9 it were halfway down and there was some leeway, but
  - 10 there's no leeway here. If it backs up in a 100-year
  - 11 flood, it's on their property right-of-way. There's no
  - 12 -- and getting a guy to come out in a 100-year flood
  - 13 when it's underwater, to come and clean these culverts,
  - 14 you know, it's litigation for them. It's litigation
  - 15 against the city. It -- we're setting ourselves up for
  - 16 someone who buys the house and they go, I've got a ton
  - 17 of money. Screw you, I'll do whatever I want. And if

- 18 it means not cleaning the culverts, then I won't clean
- 19 the culverts and you can sue me. And three years later
- 20 when it gets done, you know, their house is ruined, or
- 21 their historic cabin has floated away.

Tr., p. 66, l. 4-21.

- All of this ignores the simple fact that the best way "to ensure that those who occupy the areas of special flood hazard assume responsibility for their actions" is to locate proposed culverts away from neighboring properties as is the case with the <a href="existing">existing</a> driveway and the <a href="existing">existing</a> culvert on the property. In their brief on appeal to the Commission, the Osbornes referred the City to the Blaine County Multi-Jurisdiction All Hazard Mitigation Plan updated in October of 2018. Notably, the City of Ketchum, along with the cities of Bellevue, Carey, Hailey and Sun Valley, are all "Participating Jurisdictions" in that Plan. At page 13 of the Plan, "culverts" are grouped with "roads, bridges, [and] cattle guards as "limiting conditions" with a "high" priority to identify and list. If culverts are limiting conditions to the passage of floodwaters, it makes no sense to install three more of them when alternatives are available, e.g., utilizing the location of the existing driveway on the property.
- 5. The City is proposing to approve a flawed driveway and drainage plan which adds 1,277 square feet of fill to wetlands and blocks two existing drainage channels. Drainage for one of the channels is based on the flawed culvert proposal discussed above, while the second channel has only a single 12-inch drywell. As a result, the plan fails to comply with KMC Sections 17.88.050(E)(1) and (5). The Commissioners were clearly unfamiliar with the actual specifics of the site, and relied on apparent erroneous information provided by the Applicant's engineer.
  - Section 17.88.050(E) states: "The criteria for floodplain development applications and riparian alteration permits shall be as follows: 1. The proposal preserves or restores the natural characteristics of the river, floodplain and riparian zone including riparian vegetation and wildlife habitat." and "5. Landscaping and driveway plans to accommodate the function of the floodplain allow for sheet flooding. Surface drainage is controlled and shall not adversely impact adjacent properties including driveways drained away from paved roadways."

- There are two existing channels in the floodplain that traverse the property line, one of which is located on the eastern side of the floodplain (the "east channel") and the second of which is located on the western side of the floodplain (the "west channel"). These two channels with elevations between 5785 and 5786 above mean sea level ("MSL") allow floodwater to flow from the Osborne property into the wetlands at an elevation of 5784 on the 121 Badger Lane property where some of the water collects and is absorbed.
- These two channels are separated by a rise with an elevation of approximately 5787. As a result, floodwater cannot travel between the two channels at the BFE of 5786.5. Excavation that would allow water to flow between the two channels would fundamentally change the natural characteristics of the floodplain and create erosion issues.
- The proposed driveway fills these channels and wetlands on 121 Badger Lane, and increases the elevation in the floodplain above existing grade by up to 3 feet. The proposed elevations of the western portion of the finished driveway will be between 5786.55 and 5787.25, versus the existing elevations of between 5784 and 5786 and above the BFE of 5786.5 which will block the west channel and not allow sheet flooding to occur. However, when asked by Commissioner Carter if the driveway was **below** the base flood elevation ("BFE"), the applicant's engineer responded, "Yes." Tr., p. 51, l. 11-13.
- By filling wetlands and the floodplain to accommodate the elevated driveway, the plan fails to preserve or restore the natural characteristics of the floodplain and creates a barrier to floodwaters that flow from the Osborne property onto 121 Badger Lane, and the applicant's plan fails to comply with KMC Sections 17.88.050(E)(1) and (5).
- Recognizing this issue, City staff stated in the Planning and Building Findings and Decision:

"As a result of the raised driveway, if no culverts were placed underneath, the adjacent property to the north would be adversely impacted with increased floodwaters". Decision at p. 3.

- Three culverts have been proposed to address floodwaters in the east channel. The west channel is not served by the culverts, is closer to the river and experiences even greater flows during flooding as observed by the Osbornes in 2017. This channel will be blocked by the elevated driveway which exceeds the BFE. The proposed plan includes only a single dry well to drain the west channel.
- The Planning & Zoning Commission's ability to understand these specific issues was challenged by maps and plans whose elevations were difficult to read and compare, and by never having visited the site (a) as was done by the staff in making its quasi-judicial decision; and (b) as urged by the Osbornes at the appeal hearing after learning of staff's site visit to collect evidence. As a result, they relied on erroneous statements made by the applicant's engineer.
- During the P&Z meeting, seeking further clarification on the proposed driveway elevation versus the existing natural elevations <u>Commissioner Passovov</u>, who would <u>be the deciding vote to approve the plan in a 3-2 split decision</u>, asked the <u>applicant's engineer:</u>
  - 1 COMMISSIONER PASSOVOY: Once again, this is
  - 2 a very, very layperson question: Along the property
  - 3 line, we understand there were -- without the driveway
  - 4 there are undulations. And so the assertion of -- your
  - **5** assertion or explanation is is that the driveway does
  - 6 not create a berm. But do I understand that basically
  - 7 the driveway flattens out those undulations?
  - **8 MR. POWELL:** There will -- yeah, sorry.
  - 9 COMMISSIONER PASSOVOY: Okay. And is the --
  - 10 and that the highest point of any undulation is no lower
  - 11 than the driveway elevation? Am I -- am I confusing
  - **12** you?
  - 13 MR. POWELL: So say that again. The highest
  - 14 elevation of those undulations --
  - 15 COMMISSIONER PASSOVOY: Okay, so the
  - 16 undulations are like this (indicating) --
  - 17 MR. POWELL: Uh-huh.

- 18 COMMISSIONER PASSOVOY: -- up and down and
- 19 up and down. Where the driveway essentially flattens
- 20 that series of undulations, it makes it a straight line.
- **21 MR. POWELL:** Right.
- **22 COMMISSIONER PASSOVOY:** Is it fair to say
- 23 that the highest point of any undulation is no -- is not
- 24 lower than the driveway? So the driveway, the highest
- 25 point of the driveway is no higher than the highest
- 1 level of this series of undulations.
- 2 MR. POWELL: Yes.
- 3 COMMISSIONER PASSOVOY: Okay.
- 4 MR. POWELL: That is correct.
- 5 COMMISSIONER PASSOVOY: Okay.
- 6 MR. POWELL: In most cases those highs --
- 7 **COMMISSIONER PASSOVOY:** Would be -- would be
- 8 lower. But I just -- just -- it flattens it out so in a
- 9 sense it is a berm. But the berm is no higher than the
- 10 highest undulation that exists out there. Okay.
- 11 **COMMISSIONER CARTER:** To follow up on that,
- 12 did you say that the driveway is below BFE?
- 13 MR. POWELL: Yes.

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- However, that affirmative statement was followed up and contradicted by Mr. Powell when he stated, "And so there are—but the majority of the driveway within the floodplain is lower than the BFE." Tr., p. 51, l. 24-25 and p. 52, l. 1. In other words, there are portions of the proposed driveway that would be above the BFE.
- As stated above, the western portion of the driveway rises to an elevation of as much as 5787.25 above MSL, which in contrast to Mr. Powell's statement, is higher than both the surrounding elevations and is higher than the BFE of 5786.5.
- Stated otherwise, some portions of the elevated driveway are higher than the BFE and existing natural elevations. This highlights the stated concern of the Osbornes from the very beginning. The driveway will act as a berm and will create a significant risk to the

Osborne property, including their historic 1930's fishing cabin that sits adjacent to the common property line.

- 6. The Planning and Building Department, and the floodwater analysis prepared by the Applicant, failed to address the fact that the existing floodplain map for the site is out of date, and changes in the draft FEMA floodplain map would expand the floodway adjacent to the site and neighboring properties.
  - KMC Section 17.88.050(G)(1)(a) allows the City to consider "whether there have been significant amendments to the City's…draft or interim floodplain maps…which will apply to the subject approval".

The City of Ketchum's Planning & Building website states:

# **Changes to Floodplain Mapping:**

The Federal Emergency Management Association (FEMA) is undergoing an update to the Wood River Valley's Flood Insurance Rate Maps (FIRMs) as part of their RISK Map program. This process may change the type of floodplain your property is located in and may change the way you choose to insure your home or property. FEMA has issued draft maps that are available upon request.

https://www.ketchumidaho.org/planning-building/page/flood-natural-disaster-information

- Because the site is not only in the floodplain, but also partially in the Historic Channel Migration Zone for the Big Wood River, the issues are significant and real. The draft floodplain maps clearly identify significant changes in the conditions in and around the site.
- During the Planning & Zoning Commission hearing, City Staff made the following statement with respect to the proposed floodplain map.
  - **16 MS. LANDERS:** Mr. Chairman, may I just add a
  - **17** point of --
  - **18 CHAIR MORROW:** Sure.
  - 19 MS. LANDERS: -- clarification? So about
  - 20 the draft FEMA maps, the only reason that there's a
  - 21 change on this property is because in the new draft
  - 22 maps, FEMA hasn't carried over the data of previously

- 23 approved LOMAs into the data set. So the change of the
- 24 map is not a result of the change of flooding condition
- 25 on the property. It's just simply that the data -- all
- 1 of the data hasn't been incorporated; that's why they're
- 2 still draft.

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- 2 COMMISSIONER PASSOVOY: Morgan, you answered
- 3 my question about whether or not you guys have looked at
- 4 this draft and whether you think there's anything
- 5 significant that would -- that would have affected your
- 6 decision were it actually finalized. And what I'm
- 7 hearing is, no, there isn't.
- **8** MS. LANDERS: Yeah, and I can let Adam speak
- 9 to that. But Adam and Harmony both track the draft FEMA
- 10 process very, very closely.
- 11 COMMISSIONER PASSOVOY: Uh-huh.
- 12 MS. LANDERS: We've looked at every single
- 13 floodplain development permit and we've compared our
- 14 existing BFEs with the draft BFEs. And usually in
- 15 instances where there's any change in the BFE, then we
- 16 usually go with the most conservative. You know, but we
- 17 do track that process very quickly and we -- you know,
- 18 we take it very seriously.

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- While this may be true with respect to the LOMA, these statements ignore the changes for the rest of the property, including (a) where the wetlands and natural floodplain conditions will be filled (b) where the barrier driveway will be created; and, (c) the proposed culverts will be placed.
- As a result, it is believed that the analysis of the floodwater impacts on the site, and the Planning and Zoning approval, are based on an analysis which does not reflect known conditions. Mr. Osborne requested the data supporting the statements made by Ms. Landers during the hearing, however none has been provided as of this writing.

- 7. The Planning and Building Findings, Conclusion and Decision, and the Planning & Zoning Commission's approval of the same never addressed commentary from neighbors and evidence that the LOMA on the site had been improperly issued as a result of fill which had been placed on the site rather than the natural conditions of the site as the LOMA requires. Pit tests on the site included as part of the application revealed only one area of the site that had fill, i.e., the site of the LOMA.
- 8. Staff and the Commission's review, and statements by the Applicant's representatives, demonstrated a lack of a clear understanding of the specific conditions of the site and the impacts of the proposed driveway.
  - During the initial appeal hearing in December, staff informed everyone in attendance that it had conducted a site visit to view the site prior to rendering the staff's initial decision. During the Planning and Zoning Commission hearing on August 13, the Osbornes' attorney expressly requested an opportunity for the Commission members to also visit the site in order to view and gather the same evidence as staff did in order to render its formal decision. However, the City Attorney expressly advised the Commissioners not to visit the site which conflicts with the Osbornes' right to due process. Although new evidence was not to be considered, the Commission was certainly required to review, consider and evaluate the same evidence as staff did when it was considering an appeal of the staff's decision. Failure to do so violated the Appellants' right to due process. In Comer v. County of Twin Falls, 130, Idaho 433, 942 P2.d 557 (1997), the Idaho Supreme Court determined that an appellant's due process rights were implicated in a situation where a site visit was conducted without notice and without giving the parties or their representatives the opportunity to be present. The Board of Commissioners in that case viewed the property in question while the Commission members did not. The converse is true in this case where staff, acting in a quasi-judicial capacity, acknowledged that it had conducted a site visit, but the Commission was instructed not to do so despite the request of the Osbornes' attorney. The due process issue was expressly raised in that regard. See Tr., p. 58, l. 22-25 and p. 59, l. 1-6. The City's attorney cautioned against a site visit and stated, "But particularly in this case on an administrative appeal, that would be brand new information." Tr., p. 58, l. 19-21. That, however, was incorrect in light of staff's acknowledgment of having visited the site prior to making the formal Decision. The City Attorney also reminded the Commission that they were to look "at the record

that was before the staff below". Tr., p. 28, l. 18-19. He even raised the issue about the accuracy of the site visit by the staff. Tr., p. 58, l. 4-5. In *Comer*, the Idaho Supreme Court stated:

C. The Twin Falls County Board Of Commissioners Violated The Appellants' Due Process Rights When They Viewed The Property In Question Without Notice And Without Giving The Parties Or Their Representatives The Opportunity To Be Present.

Between August 14 and August 21, the Board viewed the property in question. However, they provided no written notice of the viewing, and provided none of the parties with the opportunity to be present. The Appellants argue that this was a violation of their procedural due process rights, because the Board was taking new evidence without notice and without the opportunity for them to be present. The Respondents argue that viewing the property was not new evidence, because the Commission had viewed a videotape of the property, and the viewing was simply a "live" version of the videotape.

In reviewing a Commission decision, the Board must confine itself to the Commission's record. See Chambers, 125 Idaho at 118, 867 P.2d at 992. In this case, it is arguable that the Board did not confine itself to the Commission's record, since the Board viewed the property, while the Commission did not. However, even if the Commission had viewed the property, the procedural due process rights of the Appellants would still have been violated in this particular situation.

The property viewing in this case is analogous to a viewing in a trial. We have held that a judge or jury may not view premises without notice to the parties. Highbarger v. Thornock, 94 Idaho 829, 831, 498 P.2d 1302, 1304 (1972). In that case, we noted the reasons for requiring notice of the viewing:

First, notice to the parties provides them with an opportunity to contest the propriety of such a viewing under the particular circumstances .... More importantly, notice to the parties provides them with an opportunity to be present at the time of the inspection, which in turn will insure that the court does not mistakenly view the wrong object or premises.

Id. The Highbarger Court noted that the appellants in that case had no way of knowing if the judge viewed the proper area, or took note of the relevant features of the premises in question. Id. at 831-32, 498 P.2d at 1304-05.

Similarly, in this situation, the record indicates that one of the protestants to the application (not a party to this appeal) actually

suggested that the Board go look at the property. However, this does not constitute the proper notice, and the fact remains that the parties were not given the opportunity to be present. Because none of the parties was present during the viewing, and because no record was made of the viewing, the parties have no way of knowing if the correct parcels of property were examined by members of the Board. Therefore, we hold that before a local zoning body; whether it be the Commission or the Board, views a parcel of property in question, it must provide notice and the opportunity to be present to the parties.

In Chambers v. Kootenai County Board of Commissioners, 125 Idaho 115, 867 P.2d 989, (1994), the Court had an opportunity to define the difference between legislative action and quasi-judicial action which implicates dues process.

In Cooper v. Board of County Comm'rs of Ada County, 101 Idaho 407, 411, 614 P.2d 947, 951 (1980), we held that a decision by a zoning board applying general rules or specific policies to specific individuals, interests or situations, are quasi-judicial in nature and subject to due process constraints. The commissioners entered an order granting Quad Park a conditional use permit for the use of high powered lighting. This action by the commissioners was the application of specific policies, the circumvention of a county ordinance through the granting of a conditional use permit, to a specific interest. This can be distinguished from the annexation of land by a county that was held to be a legislative action, rather than a quasi-judicial decision. Burt v. City of Idaho Falls, 105 Idaho 65, 665 P.2d 1075 (1983). Therefore, due process safeguards must be followed.

In this case, it was staff who made the actual Findings of Fact, Conclusions of Law, and rendered a formal Decision regarding the issuance of Permit. As such, staff was clearly acting in a quasi-judicial capacity bringing due process to the forefront. For a thorough analysis of the law on quasi-judicial decision-making and due process implications, the letter from Edward Lawson sent to the City attorney on May 29 provides an accurate legal analysis of those issues.

#### **CONCLUSION**

In light of the foregoing facts and argument, the Osbornes request the Council reverse the decision of staff and the Commission granting the Permit. The Osbornes have expressly identified issues which they contend constitute error or an abuse of discretion when the Permit was granted. The applicant has the ability to modify the application now in order to (a) eliminate the driveway berm on the north boundary of its property; and (b) eliminate any interference with the wetlands on the property consistent with the KMC priority statutory mandate of avoidance whenever possible. We are dealing with a situation where the improvements to the property are only in the planning stage rather than being engaged in a post-construction dispute. There is no need to create a problem by construction of the berm, portions of which are higher than the BFE and which would hamper the discharge of floodwater. Culverts, which are recognized to be a potential impediment to the passage of floodwater, can be moved from the property line. The wetlands can remain in their current condition given the priority status accorded to them in the KMC. The words of Commission Chairman Morrow at the hearing perhaps articulate this result more than anyone. He said:

## 5 COMMISSIONER MORROW: But my concern

- 6 really isn't -- it's that the design -- and I was -- you
- 7 know, because it's been three years, we were told we
- 8 can't be asked to redesign the site. That's, you know,
- 9 not true.
- 10 So my concern is less of that and more that
- we're creating something that in the future is going to
- 12 be a really big problem that we could avoid. And so I'm
- 13 not sure how that happens. But it makes me really
- 14 uncomfortable that our models say this and our models
- 15 say that.
- 16 I've been down there during the floods in
- 17 2017. I walk my dog down in that area all the time and
- 18 it's -- half of those houses shouldn't have been built
- 19 on Wood River or on Williams. You know, they're in the
- 20 frickin' floodplain or in where the river brings its
- 21 water back down.
- 22 So my concern is we don't make it worse.

Tr., p. 68, l. 5-22

It seems fairly obvious that the existing driveway is an alternative that can be considered which would avoid the creation of potential problems for the Osbornes, the City and the ultimate purchaser of the applicant's property. According to staff, that alternative wasn't anything that was requested by staff. The following colloquy demonstrates that fact.

- 2 COMMISSIONER CARTER: Was there an attempt
- 3 made by the design team to design a driveway that worked
- 4 on the existing configuration and a hammerhead that was
- 5 in a different portion of the lot that perhaps didn't
- **6** impact the wetland as much?

- 7 MR. CRUTCHER: I believe that would be a
- 8 question for the Applicant.
- 9 MS. LANDERS: Tim, it wasn't something that
- 10 was requested by staff. It was just during kind of
- 11 discussions of different alternatives and what was being
- 12 proposed.

Tr., p. 76, l. 2-12

Because the staff should have considered that rather obvious alternative, the Council should take this opportunity to rectify the errors and avoid the potential for future problems. Given the City's admitted role in inspecting culverts on private property in order to make certain they are functioning during flooding events, it only makes sense to reduce their number and minimize the potential for flooding. The Decision granting the Permit should be reversed with the applicant afforded an opportunity to prepare and submit a revised plan.

Yours truly

GARY D. SLETTE

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Ed Lawson: eal@lawsonlaski.com

Matthew A. Johnson: mjohnson@whitepeterson.com



Source: Plans for 121 Badger Lane provided by City Staff on 5/14/24

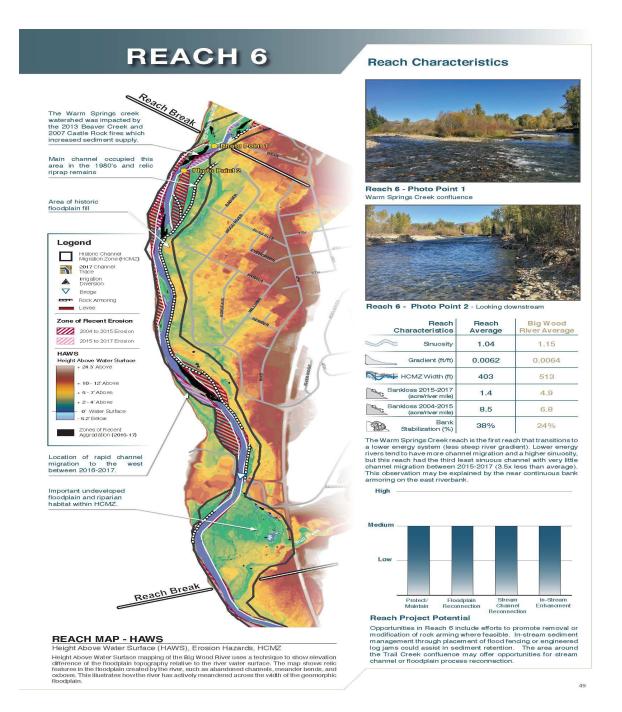
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#### Big Wood River Atlas 2020 – Blaine County Idaho Website

The Stakeholder group consisted of representatives from the following organizations:

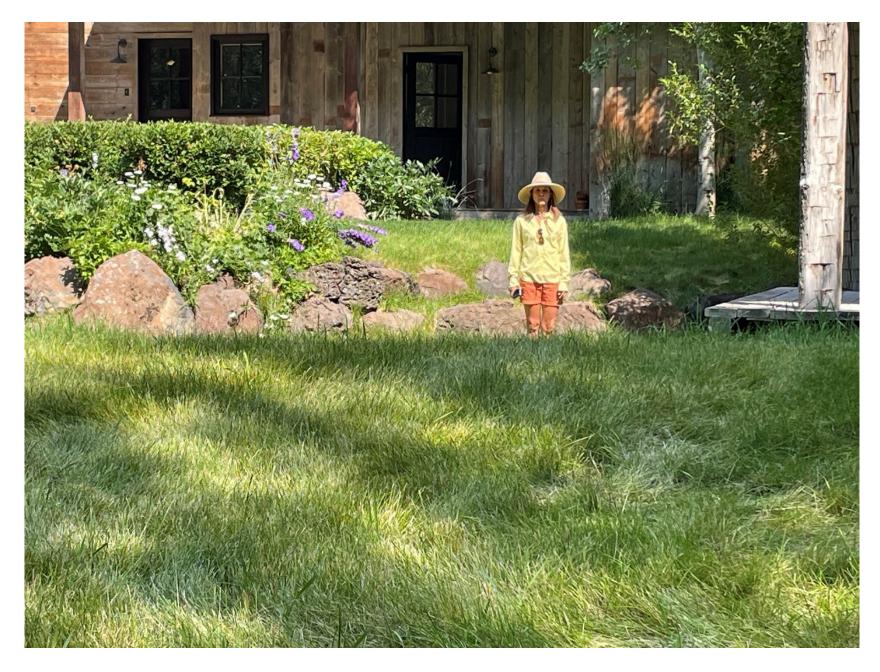
- Unites States Forest Service
- Bureau of Land Management
- Idaho Dept. of Fish & Game
- Idaho Dept. of Water Resources
- Cities of Bellevue, Hailey and Ketchum
- Trout Unlimited
- The Nature Conservancy
- Wood River Land Trust
- Idaho Conservation League
- Flood Control District #9
- Hiawatha Canal Company
- Galena Engineering
- Various members of the public Blaine County were represented by the following individuals:
- Former County Commissioners Larry Schoen, Len Harlig and Alan Reynolds
- Commissioner Jacob Greenberg
- Commissioner Angenie McCleary
- Commissioner Dick Fosbury
- County Engineer Jeff Loomis
- County Floodplain Manager Kristine Hilt
- Former County Engineer Jim Koonce

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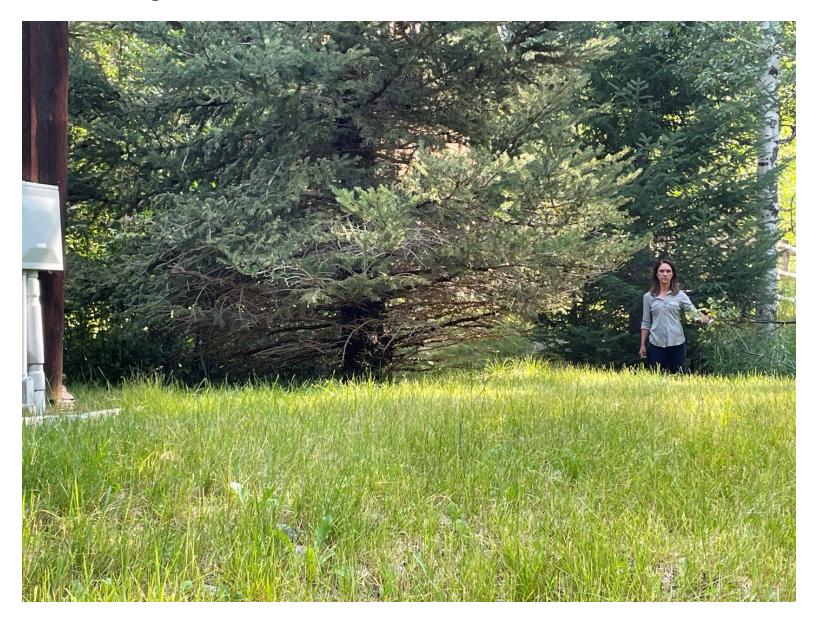
121 BADGER LANE APPEAL Page **3** of **16** 

## **East Channel 105 Wood River Drive North**



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## **East Channel 121 Badger Lane**



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## **West Channel 105 Wood River Drive North**

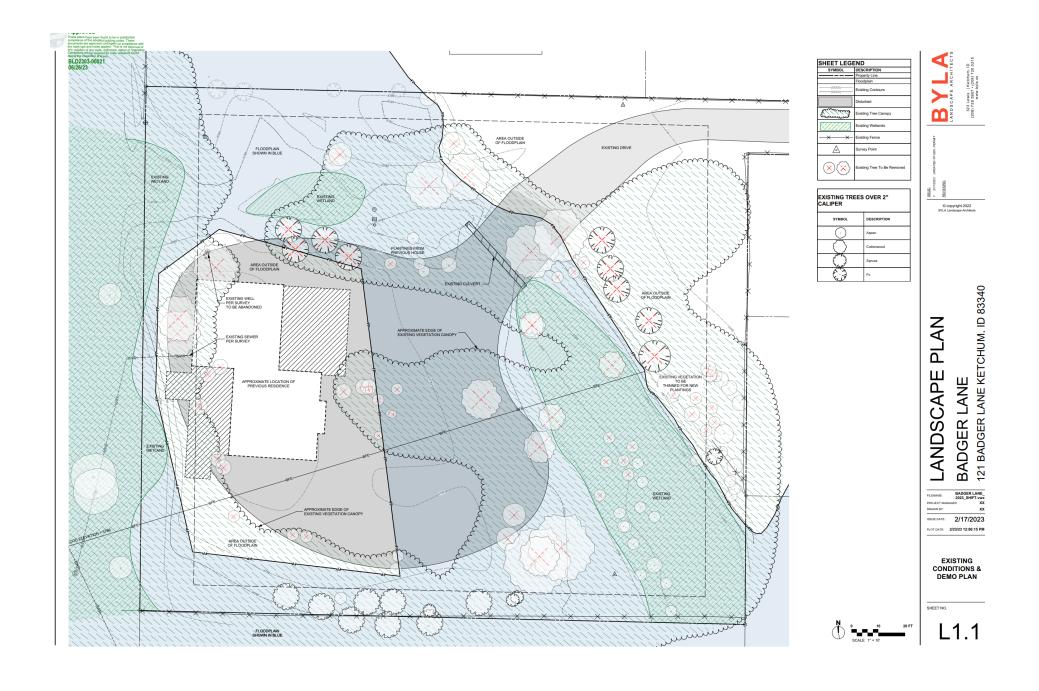


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## **West Channel 121 Badger Lane**



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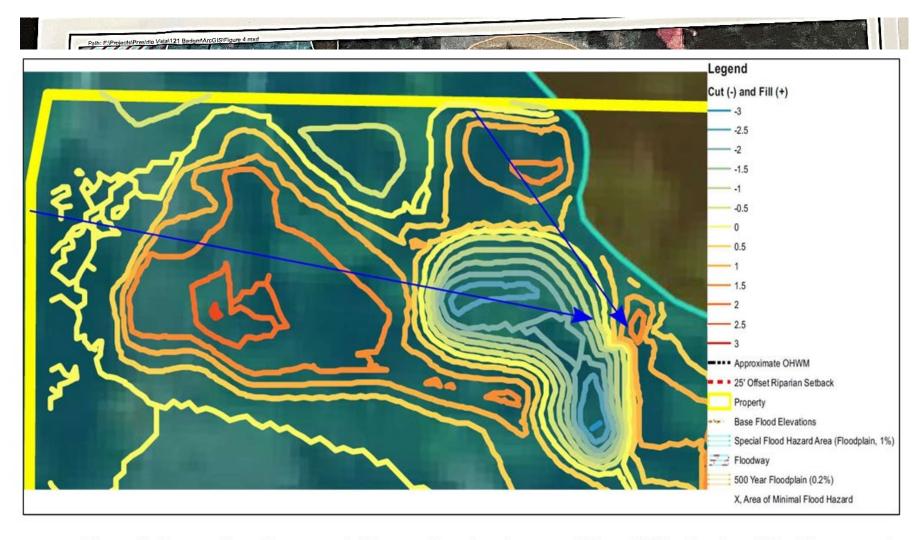
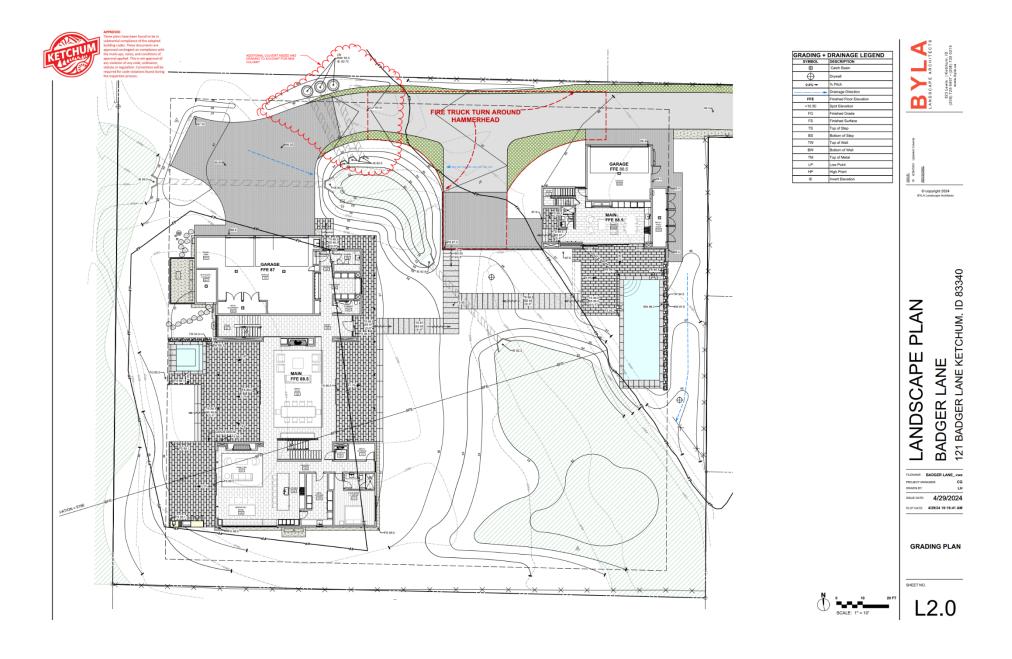


Figure 3. Proposed grading cut and fill quantities showing up to 3 feet of fill to be placed blocking natural drainage patterns (highlighted with blue arrows). Source: Brockway Engineering, PLLC.

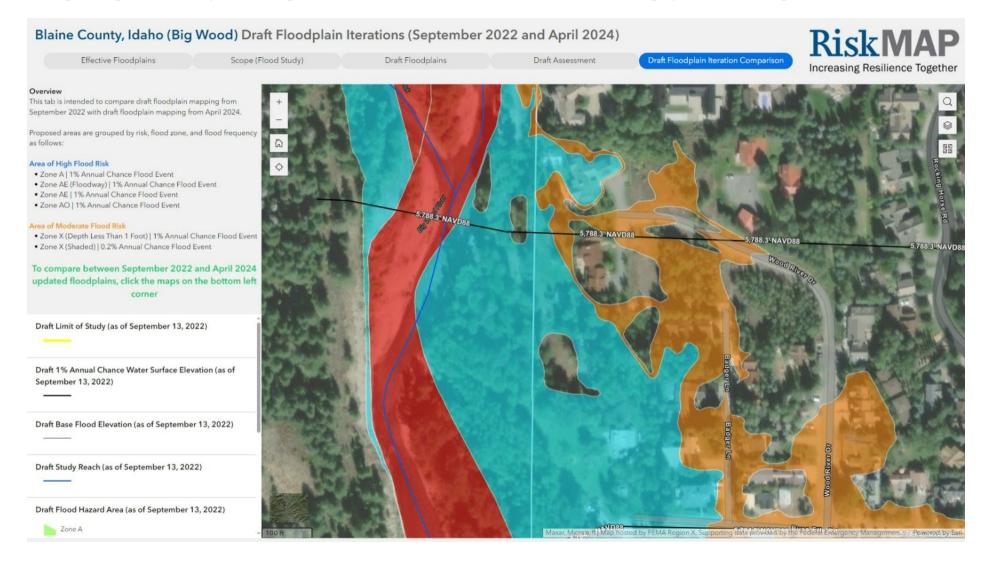
JJJ - Date: 5/4/2023 Floodplain (0.2%)

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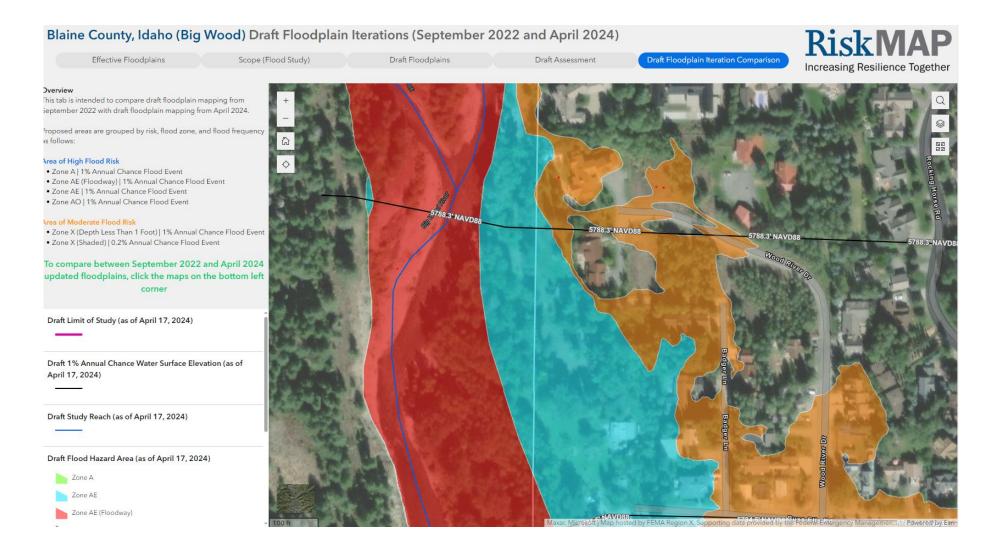
121 BADGER LANE APPEAL Page 10 of 16

#### : https://experience.arcgis.com/experience/4ed5417c1e6b4874851b44e9be1426f0/page/Draft-Floodplains/



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#### : https://experience.arcgis.com/experience/4ed5417c1e6b4874851b44e9be1426f0/page/Draft-Floodplains/



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Source: Archaeological and Historic Survey Report, 2005 Ketchum Reconnaissance Survey, Blaine County Idaho, Prepared for Planning and Zoning Department, City of Ketchum, August 2005

Also located on Lot 3 is a 1930's vintage summer home cabin from the Fosterville era (Figure 14). The one story cabin has a stone foundation and exterior walls are clad with half-round horizontal logs chinked with mud and patterned with vertical split log siding. The front-gable roof has extending eaves and is covered with wood shingles. Several hand made wooden bird houses adorn the outside walls on all sides. An earth covered root cellar with a trap door is located adjacent to the two cabins on Lot 4 was noted as were several rock lined walkways, a stone wall, and an abandoned and overgrown irrigation ditch. The property is considered eligible to the NRHP under Criterion A for its association with the initial settlement period of Ketchum. Under Criterion C, the property is eligible because it retains its original rural historical setting, has integrity, and represents a unique example of Ketchum nineteenth and early twentieth century architecture.

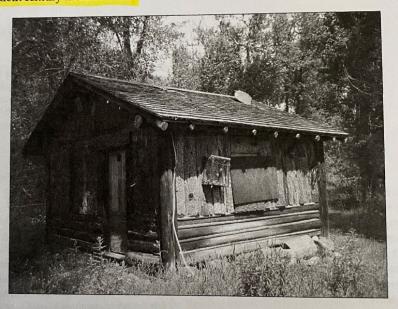
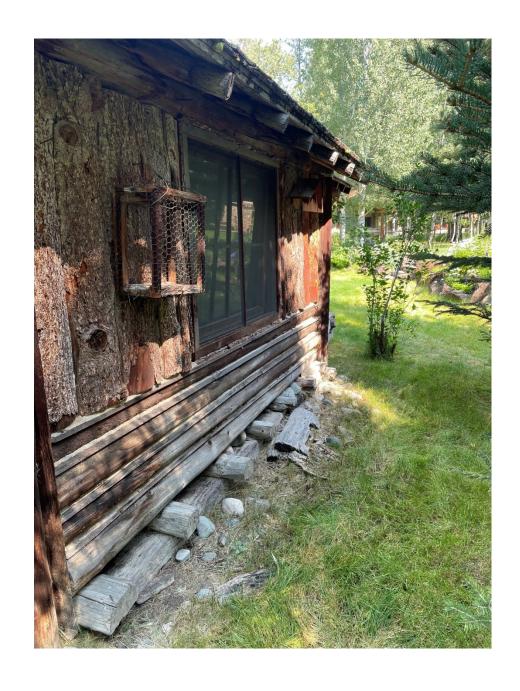
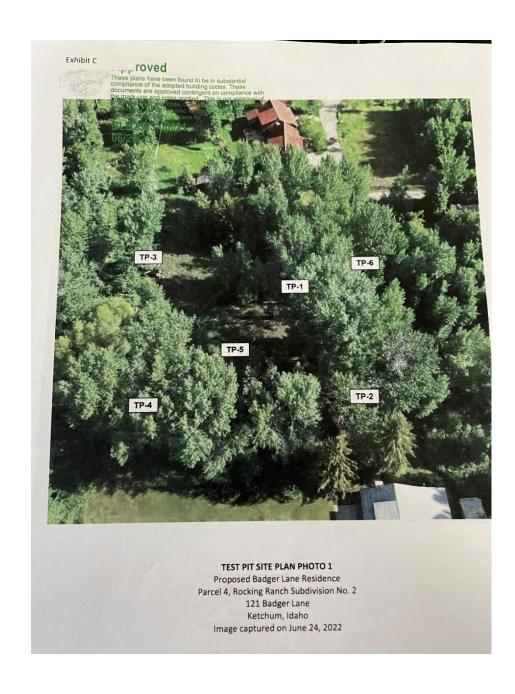


Figure 14. A summer cabin from the Fosterville Era in West Ketchum, view northwest. Digital Image WK 16 # 16.

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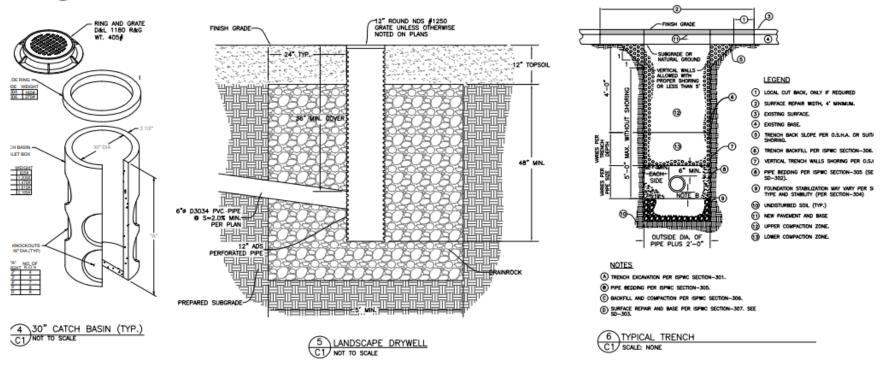


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#### (1)SD-403 THRUST BLOCK DETAIL C2)NOT TO SCALE



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## **ATTACHMENT 4:**

**Response Brief – 11/18/2024** 

EDWARD A. LAWSON
OF COUNSEL

EAL@LAWSONLASKI.COM



November 18, 2024

Honorable Mayor and Councilpersons
Post Office Box 2315
191 5<sup>th</sup> Street West
Ketchum, Idaho 83340
participate@ketchumidaho.org

Re: Appeal of Floodplain Development Permit for 121 Badger Lane, Ketchum. Idaho

Dear Mayor and Councilpersons:

My firm and I represent 121 Badger, LLC ("Owner") the owner of 121 Badger Lane, Ketchum, Idaho ("Property") and the holder of the Floodplain Development Permit ("Permit") issued June 16, 2023 for the residential development of the Property ("Project") on whose behalf we hereby respond to the arguments raised by Gary Slette, counsel for Nicholas and Stephanie Osborne ("Appellants"), in support of their appeal of the decision by the Planning and Zoning Commission ("Commission") affirming the decision by the Planning and Zoning Administrator ("Administrator") to grant the Permit.

For the reasons explained below the appeal lacks merit and should be denied for procedural and substantive reasons. Initially it must be observed the appeal is untimely and should be dismissed for that reason alone. Further, the appeal is not supported by competent scientific evidence but is instead premised on self-serving conclusory statements of opinion cherry picked out of context from the record. All of the science based facts prove there is no risk flood water flows will be impeded by the proposed driveway.

#### I. NATURE OF THE CASE.

This is an appeal from the Commission's approval of the Administrator's decision to issue the Permit for the Project. Appellants attempt to keep their appeal alive by arguing that the approved driveway which is lower than the base flood elevation will nevertheless act as a berm impeding the flow of floodwaters and all three of the required culverts will fail because the condition of approval that they not become clogged is unenforceable.

However, as set forth below, none of Appellant's arguments have merit. Rather, they are simply an attempt to continue to hinder and delay the Project, which has the

potential of causing Owner to lose a substantial sum of money and deprive the public of jobs and property taxes. Petitioner's arguments are not based on any genuine impairment of a substantial right from the Project but rather a "not-in-my-backyard" approach to land use entitlements. Therefore, for the reasons set forth herein, the Council must affirm the Commission's and Administrator's decisions.

#### II. COURSE OF THE PROCEEDINGS AND FACTUAL BACKGROUND.

As set forth above, this matter has been before the Administrator and Commission on numerous occasions, each has made findings of fact, conclusions of law and order on at least two separate occasions, has accumulated a Record of over 222 pages, has listened to oral testimony and reviewed written testimony from both Owner's representatives as well as Appellants. There is no doubt that the decisions have each been rendered after exhaustively reviewing the application and should now be affirmed.

The Administrator first approved and issued the Permit nearly a year and a half ago on June 16, 2023. Upon approval, Appellants lodged their first appeal of the Administrator's approval to the Commission in July 2023. After significant delay, the Commission held the first appeal hearing in December 2023. At that time, the Commission found that the Owner properly submitted the required information, and the Administrator committed no error in approving the Permit. However, the Commission decided to remand the Permit for the Administrator to perform supplemental analysis due to the "level of technical detail involved in floodplain development." Specifically, the Commission asked the Administrator and Owner to provide further work and analysis "in relation to Ketchum Municipal Code § 17.88.050 (5) and (6). As a result, the Administrator asked Owner to submit another application with additional engineering relating to criteria 5 and 6, which Owner submitted in early February 2024.

Upon reception of the additional material from Owner, the Administrator followed the same procedures established by the Ketchum Municipal Code ("KMC"), including providing notice and soliciting public comment. After gathering public comment, the Administrator and its staff requested additional information from Owner in order to specifically address issues raised by the public. Following a thorough review, including additional analysis provided by a third-party engineer hired by the City, the Administrator once again approved the Permit on May 14, 2024.<sup>4</sup>

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<sup>&</sup>lt;sup>1</sup> See Findings of Fact, Conclusions of Law, and Decision adopted by the Commission on January 9, 2024 (*emphasis added*).

<sup>&</sup>lt;sup>2</sup> See Id.

<sup>&</sup>lt;sup>3</sup> Criteria 5 and 6 relate to whether the plans accommodate the function of the floodplain by allowing sheet flooding, whether the application will adversely impact adjacent property, and whether floodwater carrying capacity is reduced by the application.

<sup>&</sup>lt;sup>4</sup> See May 14, 2024 Administrative Floodplain Development Permit Findings and Decision

Subsequent to this second approval by the Administrator, Appellants again appealed the decision of the Administrator to the Commission. Because of their new appeal, the Commission held another appeal hearing on August 13, 2024. After the hearing, the Commission once again found that the Administrator committed no error and did not abuse its discretion when it approved Owner's Permit, this time Commission affirmed the Decision of the Administrator.<sup>5</sup> Notably, the Commission highlighted that the Permit was before the Commission "on substantially the same issues on December 12, 2023." In fact, the Commission acknowledged that Owner and the Administrator had provided significant supplemental material containing technical information and analysis pursuant to the Commission's request. Thus, the Commission concluded that the Permit was thoroughly reviewed and in compliance with KMC.8

Despite this, Appellants have now appealed the Commission's decision to the Council. Appellants filed an appeal brief ("Appellants' Brief") on November 8, 2024. Now, Owner responds as set forth herein.

#### III. STANDARD OF REVIEW

Pursuant to Title 17 of City of Ketchum Zoning Code, the authority of the Council in this hearing on appeal is to consider the record, the order, requirement, decision or determination of the Planning Commission and the notice of appeal, as well as the oral and written legal arguments of the Appellant and the Planning Commission and/or staff representing the Planning Commission. The Council may then affirm, reverse or modify, in whole or in part, the decision or determination of the Planning Commission. Furthermore, the Council may remand the application to the Planning Commission for further consideration with regard to specific criteria stated by the Council. 10

In considering this appeal, it should be noted that the enabling legislation for the Commission, and Ketchum's Zoning Ordinance itself, is the Local Land Use Planning Act, I.C. § 67-6501 et seq. ("LLUPA"). The first listed purpose of the LLUPA is to "protect property rights while making accommodation for other necessary types of development. . . ."<sup>11</sup> Among the statutory duties of the Planning Commission is to insure that "land use policies, restrictions, conditions and fees do not violate private property rights, adversely impact property values, or create unnecessary technical limitations on the use of property . . . ."<sup>12</sup>

<sup>&</sup>lt;sup>5</sup> See Findings of Fact, Conclusions of Law, and Decision adopted by the Commission on August 13, 2024 (the "August 2024 Decision").

<sup>&</sup>lt;sup>6</sup> See Id.

<sup>&</sup>lt;sup>7</sup> See Id.

<sup>8</sup> See Id.

<sup>&</sup>lt;sup>9</sup> See KMC § 17.144.020.

<sup>&</sup>lt;sup>10</sup> See Id.

<sup>&</sup>lt;sup>11</sup> I.C. § 67-6502(a).

<sup>&</sup>lt;sup>12</sup> I.C. § 67-6508(a).

#### IV. **ARGUMENT**

#### The Appeal Was Untimely and Must Be Dismissed. Α.

As previously addressed in Owner's November 28, 2023 Response Brief, Appellants' notice of appeal was not timely, and this appeal must be dismissed on that basis alone. KMC outlines the process and deadlines for all appeals, including requirements for when written notice of an appeal must be filed in order to be timely. Indeed, KMC clearly states:

> <u>Time for filing appeals.</u> All appeals permitted or authorized by this title shall be taken and made in the manner and within the time limits as follows: The written notice of appeal shall be filed **before 5:00 p.m.** of the fifteenth calendar day after the order, requirement, decision or determination of the administrator has been made or after findings of fact have been approved by the Commission, whichever is applicable. The failure to physically file a notice of appeal with the administrator of the City within the time limits prescribed by this section shall be jurisdictional and shall cause automatic dismissal of such appeal. 13

Therefore, any notice of appeal that is not filed within 15 days of a decision or determination by the Administrator must be automatically dismissed. As shown in the record of appeal, as well as Appellants' own brief, the Administrator first approved the Permit on June 16, 2023. 14 Pursuant to KMC, the deadline to file an appeal of the Administrator's decision was undoubtedly July 3, 2023. 15 However, Appellants filed their notice of appeal with the City on July 11, 2023 16, clearly outside the deadline established by KMC. 17 Because Appellants' notice of appeal was filed after the 15-day deadline City Code mandates that the appeal be dismissed automatically.

Despite this, City Attorney Matthew Johnson previously responded in an email dated August 23, 2023: "The City evaluates floodplain development permits concurrently with building permits. While comments and review may be happening separately for each, such that one may seem resolved prior to another, the practice is that they are finally/formally approved at the same time." <sup>18</sup> However, this explanation contradicts the plain language of the KMC and ignores the facts at hand. Specifically, the decision to grant the floodplain permit was made on June 16, 2023 and accepted by

<sup>14</sup> Appellants' Brief, pg. 1.

<sup>&</sup>lt;sup>13</sup> KMC § 17.144.030 (emphasis added).

<sup>&</sup>lt;sup>15</sup> Note that 15 days after June 16 is July 1. July 1 was a Saturday, and Ketchum City Code requires that the deadline for appeal be extended to the following business day, bringing the deadline to July 3.

<sup>&</sup>lt;sup>16</sup> See Appellants' Notice of Appeal dated July 11, 2023.

<sup>&</sup>lt;sup>17</sup> A fact Appellants conveniently failed to acknowledge in their briefing.

<sup>&</sup>lt;sup>18</sup> See Email from Matthew A. Johnson to Franklin G. Lee and Gary Slette, dated Wednesday, August 23, 2023 at 4:46pm.

Owner on June 20,2023 only then was the date changed to June 26, 2023 by interlineation. Importantly the new date was never accepted by Owner. Indeed, Mr. Johnson acknowledged that floodplain development permits and building permits are **separate** applications. Even more, Appellants are solely challenging the approval of the Floodplain Development Permit. As a result, the Council must follow the plain language of KMC and dismiss this appeal as it was not timely filed and there is no jurisdiction for its consideration.

## B. The Decisions of the Commission and Administrator to Grant the Permit are Based on Substantial Scientific Evidence.

Appellants continuously assert that the proposed driveway will act as a berm and impede the flow of flood water. Appellant's Brief, pgs. 2, 3, 15. They claim this is due to parts of the driveway being higher than the base flood elevation. In support of their contention Appellants cherry pick parts of the record taken out of context but offer no scientific evidence to support their claims. What is not true is that the driveway is a berm or levy as characterized by Appellants. Portions of the driveway near the residence will be above the base flood elevation to satisfy code requirements, however, near the property line only a small portion of the driveway is slightly above the base flood elevation. This small area has no material adverse effect on Appellants. Of utmost importance, the modeling used by Owner's expert reveals there is no rise in water level at the property line or on the Appellants' property due to the driveway. Moreover, the driveway design has a safety factor of 50% as the modeling assumes half the carrying capacity of the four culverts designed into the Project would be blocked during the 100 year flood event. Consequently, the driveway near the property line will not impede flood water flows. This conclusion is based on accepted scientific evidence evaluated and reported on by Owner's hydrologist using the same hydrologic modeling employed by FEMA with which the City's own expert agreed. Notably, Appellants' expert has not disputed the method or conclusion or suggested any flaws in the process.

For a comprehensive response to the specific erroneous claims of Appellants see the memorandum from Eric Powell of Brockway Engineering attached hereto as Exhibit A and incorporated herein by reference. These include the following:

- 1. The rise in water level is 0.00 feet at the property line.
- 2. KMC requires that no-more than 1-ft of flood depth can be had over access roads. The driveway was raised slightly to ensure that lowest elevation of the driveway was greater than 5785.5-ft.
- 3. KMC recognizes that culverts may be required under driveways.
- 4. Culverts are standard engineering devices recommended to move water, including floodwater, by the City of Ketchum.

#### C. Alternatives to Location of the Driveway Were Considered.

Appellants claim that the driveway location was selected without consideration of alternatives resulting in loss of wetlands on the Property. Appellants base their assertion on the lack of written evidence of any such consideration. However, at page 6 of their brief, Appellants admit that Morgan Landers testified that alternative locations were in fact considered. Ms. Landers testified truthfully as Owner's representatives participated in the process. Moreover, written evidence of such considerations is not required and it is not therefore fair or reasonable to infer that such consideration didn't take place. Finally, the lack of written evidence can be explained by the language used in KMC 17.88.050(E)(21). That section doesn't prohibit development impacting wetlands. Rather, it describes not disturbing wetlands as a planning priority. Notably, the section contemplates situations where disturbance of wetlands will be warranted and the planning priority not implemented. The section requires mitigation of wetland impacts with an equal amount and quality of new wetlands. The strategies addressing impacted wetlands must be included in the original application. Mitigation is only required if there are impacted wetlands. The consideration of alternative driveway locations must therefore occur informally before an application is made. In any case, the Permit was granted on the condition that the mitigation of impacted wetlands be completed eliminating any possible adverse consequence on the wetlands due to the Project. As a practical matter, the Council should not ignore Morgan Landers' uncontradicted testimony or the fact the impact on wetlands will be fully mitigated and affirm the decision to grant the Permit.

## D. Condition 15 Requiring the Culverts be Kept Clear is Enforceable.

The Permit was approved subject to the condition that three culverts beneath the driveway be kept clear to insure the flow of flood water. Contrary to Appellants' assertions otherwise, condition 15 requiring that the culverts at issue are to be maintained and kept clear is enforceable. Indeed, Appellants' claim "there is absolutely no enforcement provision that would compel the applicant, its successor, or the City to fulfill that condition." Appellants previously presented this same argument to the Commission as well. However, Appellants' claim is baseless and without merit. In fact, the Commission explicitly found that "the Planning Department provided appropriate clarifying information on enforcement mechanisms to address Appellants' argument about blockages and enforcement."

The Commission, Planning and Building staff, and City Attorney discussed the enforcement of condition 15 at length at the August 13, 2024 appeal hearing.

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<sup>&</sup>lt;sup>19</sup> See Appellants' Brief, pg. 2.

<sup>&</sup>lt;sup>20</sup> If taken as true, this would mean that the City has no means to enforce any condition imposed on a project, whether it be for a building permit, sub plat, or otherwise.

<sup>&</sup>lt;sup>21</sup> August 2024 Decision, pg. 4.

Specifically, the City Attorney informed the Commissioners that:

There is enforcement and, and sort of this question has been thrown out of, you know, what do we do if the neighboring property owner had a concern? They would have the ability to call the city, that triggers, the city has that authority to inspect, notice up the property owner, you're required to maintain this under your floodplain development permit, and that property owner has to comply with that. And there is further enforcement mechanisms under the code and flood regulations. . . . In an emergency situation the city has more leeway to go in and abate a nuisance or, or, or clear a floodway.<sup>22</sup>

Furthermore, Planning and Building Director Morgan Landers told the Commissioners that "the condition [condition 15] is written in a really strong way that gives us a lot of opportunity to enter the property when there's areas of concern. Its not just planning staff, its any member of our inspection team." <sup>23</sup> To that end, City Staff testified that they conduct periodic spot-checks of culverts to ensure compliance with conditions of approval.

The condition may be enforced pursuant to the provisions of KMC 17.88.120B which clearly provides a full panoply of administrative and judicial remedies for a violation. Among the remedies are damages and injunctive relief. The condition creates a duty, the breach of which gives rise to liability for damages and therefore serves a deterrent function. Additionally, a violation of a condition of approval is deemed a criminal misdemeanor for which a violator may be fined or imprisoned for 6 months. No more compelling deterrent to breaching the condition exists.

Contrary to Appellants' assertion, the City is not liable for tort damages resulting from its governance of the floodplain. The Idaho Tort Claim Act limits government immunity for civil wrongs by a municipality to discretionary acts. *Chandler Supply Co. v Boise*, 104 Idaho 480 (1983). The Supreme Court has said: "It is not a tort for the government to govern." *Dalehite v. U.S.*, 346 U.S. 15, 57, 73 S.Ct. 956, 979 (1953) (Jackson, J., Dissenting). Negligent spot checks for compliance with FAA regulations are not actionable because they involve a clearly discretionary function. US v S.A. Empressa (Varig Airline), 467 US 797 (1984). By analogy, spot checks for compliance with conditions related to culverts would be a discretionary function within an exception to the Tort Claims Act.

Because condition 15 is enforceable, it imposes a duty that Owner must abide by. Specifically, Owner must maintain the culverts so that they function properly during flooding conditions. Importantly, condition 15 does not impose the same duty on the City. Thus, a failure by Owner to maintain the culverts would constitute a breach of this

<sup>&</sup>lt;sup>22</sup> See Transcript of August 13, 2024 hearing at 3:18:16-3:18:45.

<sup>&</sup>lt;sup>23</sup> *Id.* at 3:30:37-3-30-50.

duty. Even more, the duty to maintain serves as an inherent deterrent because any breach gives rise to liability for damages. Although purely hypothetical, should a breach of the duty to maintain occur, the City or other affected party has remedies available to them as provided by the KMC or Idaho law. Idaho courts have long provided judicial remedies such as damages or equitable remedies for those that suffer a loss due to a breach of duty, such as Owner's duty to maintain the culverts. Clearly Appellants' claim is nothing more than a red herring argument that is not, and cannot, be supported by fact.

## E. Appellants Were Not Denied Due process as a Result of Staff's Site Visit.

Throughout the duration of the appellate process, Appellants repeatedly requested that the Commission pause the process in order to take part in an on-site visit to the property. Indeed, the Commission was faced with the very same argument and plea from Appellants' attorney, Mr. Slette, at both previous appeal hearings. It is clear that Mr. Slette's argument has been proffered each time solely to delay. In fact, the argument cannot be supported by applicable law.

Generally, procedural due process requires a process that will not arbitrarily deprive an individual of his rights in violation of the state or federal constitutions. *Cowan v. Bd. of Comm'rs of Fremont County*, 143 Idaho 501, 510, 148 P.3d 1247, 1256 (2006). Specifically, the Idaho Supreme Court has held that, in planning and zoning decisions, due process requires: (a) notice of the proceedings; (b) a transcribable verbatim record of the proceedings; (c) specific, written findings of fact; and (d) an opportunity to present and rebut evidence. *Id.* This process is not to be applied rigidly. "Rather, it is a flexible concept calling for such procedural protections as are warranted by the particular situation." *Id.* (quoting Aberdeen–Springfield Canal Co. v. Peiper, 133 Idaho 82, 90, 982 P.2d 917, 926 (1999)).

LLUPA directs governing boards to adopt procedures for the conduct of public hearings. I.C. § 67–6534. At a minimum, such hearing procedures shall provide an opportunity for all affected persons to present and rebut evidence. *Id.* In addition, Idaho Code § 67–6504(c) requires maintenance of a record of all meetings, hearings, resolutions, findings, permits and actions. Courts reviewing zoning agency decisions are to consider the proceedings as a whole and to evaluate the adequacy of procedures and the resultant decision in light of practical considerations with an emphasis on fundamental fairness and the essentials of reasoned decision-making. I.C. § 67-6535(c). Only those whose challenge to a decision demonstrates actual harm or violation of fundamental rights, not the mere possibility thereof, shall be entitled to a remedy or reversal of a decision.

Neighbors for a Healthy Gold Fork v. Valley County, 145 Idaho 121, 127, 176 P.3d 126, 132 (2007).

In this case, Appellants claims that their due process rights were violated because they did not receive adequate notice of the Staff's site visit. Appellant's Brief, pgs. 18-20. While the Staff did not provide notice of its site visit to anyone, the omission is not meaningful in terms of the outcome of the process. Likely, the Administrator conducted the site visit for its own internal purpose to understand the application and determine the appropriate scope of notice required. It is further likely the Administrator would have granted the Permit even if Appellants had participated in the site visit. What is important is that Appellants did receive notice of and did participate extensively in proceedings before the Administrator and Commission. The Commission conducted separate public hearings on the applications on December 12, 2023 and August 13, 2024. Appellants participated in each public hearing. In addition, Appellants objected to the Administrator's Findings resulting in the Commission remanding the matter to the Administrator for further consideration. Accordingly, Appellants had an opportunity to be heard at a meaningful time and in a meaningful manner regarding Owner's applications.

Furthermore, and as the City Attorney previously advised the Commission, an appellate hearing such as this before the Council is not the proper time to introduce new facts or evidence. In fact, the Commission and Council are explicitly prohibited from considering new facts and evidence, it may only consider the existing record, Decisions, and legal arguments by the parties. Unsurprisingly, KMC supports this position:

Upon hearing the appeal, the Commission shall consider the record, the order, requirement, decision or determination of the administrator and the notice of appeal, together with oral presentation and written legal arguments by the appellant and the administrator. The Commission shall not consider any new facts or evidence at this point.<sup>24</sup>

Now that this appeal is before the Council, it faces the same limitations. The KMC establishes that:

Upon hearing the appeal, the council shall consider only matters which were previously considered by the Commission as evidenced by the record, the order, requirement, decision or determination of the Commission and the notice of appeal, together with oral presentation and written legal arguments by the appellant, the applicant, if different than the appellant, and the Commission and/or staff representing the Commission. The council shall not consider any new facts or evidence at this point. <sup>25</sup>

<sup>&</sup>lt;sup>24</sup> See KMC § 17.144.010(C) (emphasis added).

<sup>&</sup>lt;sup>25</sup> See KMC § 17.144.020(C).

The language is nearly identical, and the message is the same, the Council is prohibited from considering new facts and evidence. The Council is simply tasked with determining whether the Commission made any error or abused its discretion, just as the Commission was in determining the same as to the Administrator.

Appellants' Brief attempts to compare this case to Comer v. County of Twin Falls. However, Appellants' argument is misleading. In fact, the case directly contradicts Appellants' argument. There, the Court first recognized that both the Planning and Zoning Commission and Board of Directors are prohibited from considering new facts and evidence as they are limited to the record before them. 130 Idaho 433, 439. As a result, the Court determined that due process rights were violated when a local zoning body, whether the Board of Commissioner or Planning and Zoning Commission, viewed the property in question (at the request of one of the parties) without notifying the parties. *Id.* The Court reasoned that a site visit is considered new facts and evidence. *Id.* Here, the *Comer* case reaffirms that the Commission, and now the Council, is limited to the facts in the record when determining if there was an error or abuse of discretion. Asking each to make a site visit constitutes the consideration of new facts and evidence, contrary to Idaho law. Instead, each was limited to the record before them based on the materials provided by the parties and the Administrator. Clearly, the Comer case cannot and does not support Appellants' position that their due process rights were violated.

Therefore, Idaho Code § 67-5279 requires affirmation of the Commission's decision unless the Appellants can demonstrate their substantial rights are affected. Such is not the case in this instance. Although Appellants complain about the lack of due process, as set forth above, the due process complaints lack merit and cannot be a basis for prejudice to a substantial right because Appellants received a "reasonably fair decision-making process" free from procedural defects that might reasonably have affected the final outcome. *Hawkins v. Bonneville County Bd. of Com'rs*, 151 Idaho 228, 254 P.3d 1224 (2011). This leaves Appellants with their concern relating to the driveway impeding the flow of flood water.

Notably, Appellants do not claim their property will not be subjected to sheet flooding in a high run off year. Appellants assert they will suffer damages from an indeterminate incremental quantity of flood water on their land resulting from the driveway elevation or blocked culverts. Appellants do not even attempt to quantify the added amount of flood water. Instead, Appellants rely solely on the conclusory statement of "further elevation of the driveway increased the height of the barrier created by the new driveway and exacerbated an already flawed plan," without explanation how they are affected. Appellant's Brief, pg. 4. But, to establish an impairment of a substantial right, more is required. *Krempasky v. Nez Perce County Planning & Zoning*, 150 Idaho 231, 245 P.3d 983 (2010) (conclusory statements of prejudice due to noise, traffic and large building were insufficient to establish a substantial right). For instance, in *Hawkins*, the Supreme Court noted that the Appellant

must show, not merely allege, real or potential prejudice to his or her substantial rights and observed that no universal rules have been articulated to govern when substantial rights are violated. 151 Idaho 28. Importantly, in that case, the Court looked to the law relating to property rights, nuisance and trespass for a determination of whether a substantial right was at stake. Neither applies to the facts of this case.

See also, *McVicars v. Christensen*, 156 Idaho 58, 320 P.3d 948 (2014), wherein the Court observed:

Generally, 'every man may regulate, improve, and control his own property, may make such erections as his own judgment, taste, or interest may suggest, and be master of his own without dictation or interference by his neighbors, so long as the use to which he devotes his property is not in violation of the rights of others, however much damage they may sustain therefrom.' White v. Bernhart, 41 Idaho 665, 669–70, 241 P. 367, 368 (1925). A landowner does not have the right under nuisance law to prohibit upon adjoining land the erection of structures that he or she considers not to be aesthetically pleasing. *Id.* (holding that the fact that a building 'is unsightly or out of harmony in construction with adjacent buildings, and therefore not pleasing to the eye, would not make it offensive to the senses.').

Appellants have no substantial right which they can claim will be prejudiced. Therefore, while there may be sympathy for Appellants' plight, Appellants are not entitled to challenge the City's actions and infringe on Owner's rights to develop its property for the purely subjective concern regarding the impediment to the flow of an indeterminate amount of flood water.

#### V. CONCLUSION

Based upon the foregoing, Owner requests the Council affirm the decisions of the Administrator and Commission reasoning that they are consistent with the applicable standards, supported by substantial evidence and Appellants although afforded due process have failed to prove any violation of law or other error or show prejudice to a substantial right sufficient to warrant denial of the Permit.

LAWSON LASKI CLARK, PLLC

Edward A. Lawson

Cc: client

M. Johnson M. Landers G. Slette

#### Response to Osborne's Appeal

121 Badger Lane, LLC Brockway Engineering, PLLC GEP, PE – November 14, 2024

The purpose of this document is to discuss several items that were raised in the Osborne Appeal, dated November 8, 2024. In this appeal, there are many statements and discussion points regarding the location of the driveway and perceived idea that the driveway will act as a berm to prevent floodwaters from flowing. All of these statements are opinion statements, by either the attorney or the neighboring landowner, and have no technical support. Brockway Engineering represents the applicant and we have evaluated the proposed driveway using standard engineering approaches including developing and using models and independent calculations. The result of the proposed driveway is a 0.00-ft rise at the property line. Furthermore, the proposed project has been reviewed by the City's third party engineer, Harmony Design and Engineering, who agreed with the technical evaluation of impact of the proposed driveway.

Page 2 (second paragraph): "Portions of the driveway are above the base flood elevation and will serve to function as a berm to potentially impound flood flows."

Repeatedly, the Osborne's have stated that their concern was the elevated driveway next to the property line, which corresponds to what the Osborne's call the east channel. It is true that the driveway will increase above the BFE as it meets the proposed residence (which must be above the BFE by code). But this portion of the driveway will not act as a berm. We have shown hydraulically that the proposed culverts will convey water and the proposed driveway will not act like a berm, and it is impossible for flood flows to impound.

Page 2 (second paragraph): "... the flood event of 2017 (which was not a 100-year flood event by any means)"

This statement is an opinion statement by Mr. Slette. No official determination of the flood event in 2017 was ever determined within the Ketchum City limits. The USGS gage at Hailey has a RI flood event in 2017 that was slightly less than a 100 year event. The USGS gage near Ketchum indicated that the 2017 event was an extreme event, the largest on record with a flow of 3,360 cfs, and that equated to a greater than 200 year event, based on the data prior to 2017.

Page 4 (first bullet point): "... significant erosion has already occurred."

There are two things wrong with this sentence. First, in science, significant is a term that is associated with a statistical evaluation, which has not been done. Second, we are not proposing bank protection from erosion, nor fixing floodplain erosion. This is not relevant to the floodplain development permit.

Page 4 (second bullet point): "(b) creating a barrier to floodwaters which naturally flow from the Osborne property onto 121 Badger Lane along the shared property line."

Hydraulic models show that there is no barrier to floodwater from the proposed project. Culverts can convey flows from the Osborne property to 121 Badger Lane.

Page 4 (third bullet point): "It was determined during the planning phase that the KMC required the proposed driveway location in the floodplain to be elevated even higher to provide the required clearance for emergency vehicles during flood conditions. As a consequence, that further elevation of the driveway increased the height of the barrier created by the new driveway and exacerbated an already flawed plan."

Ketchum Municipal Code requires that no-more than 1-ft of flood depth can be had over access roads. The driveway was raised slightly to ensure that lowest elevation of the driveway was greater than 5785.5-ft. The natural grade at the east edge of the floodplain is 5786-ft. So the natural grade of the ground is already providing hydraulic control of floodwaters, not the proposed driveway.

Page 10 (number 4): "Proposed culverts are inadequate to ensure proper drainage. The placement of culverts conflicts with the purpose of the City's Floodplain Zoning Regulations codified in Section 17.88.020."

This statement that culverts conflict with the City's floodplain zoning regulations are completely misinterpreted. In fact, in Section 17.88.050(E)(5) of the same code, it says, "Landscaping and driveway plans to accommodate the function of the floodplain allow for sheet flooding. Surface drainage is controlled and shall not adversely impact adjacent properties including driveways drained away from paved roadways. Culvert(s) under driveways may be required. Landscaping berms shall be designed to not dam or otherwise obstruct floodwaters or divert same onto roads or other public pathways." Culverts are standard engineering devices that are used routinely through Ketchum to convey runoff and flood flows. If the appellant is suggesting that all culverts be removed in the City of Ketchum, than there will substantial impacts without having flood or runoff conveyance devices. That is not the precedence that the City Council wishes to make.

Page 10 (number 4, third bullet): "Culverts are highly susceptible to blockage as a result of both wildlife and debris. Because the culvert inlets are almost directly on the shared property line, and adjacent to a historic 1930's fishing cabin owned by the Osbornes, any back-up of the three culverts would unnecessarily create hazards for the Osborne property which are not insurable."

Historic aerial photos suggest that this old shed was placed at its current location in recent history. And that the shed was added on to between 2013 and 2016. The current location of the shed is above the BFE, and the proposed driveway has a 0.00-ft rise (with 50% clogging). Therefore, I conclude that the she will still be outside of the floodplain based on elevation with the project.

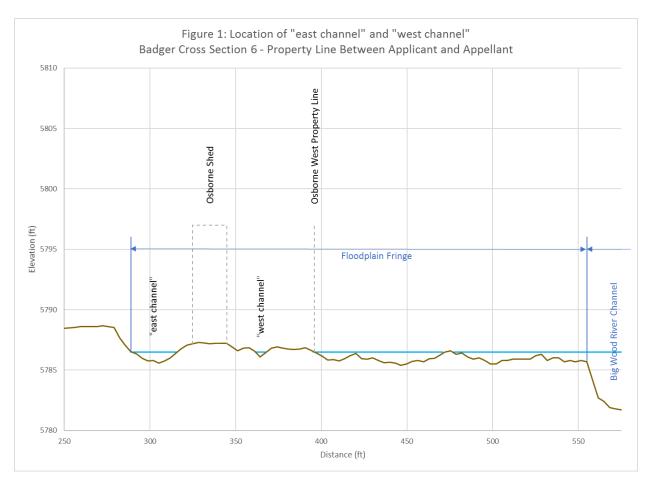
Page 12 (statement 5): "The Commissioners were clearly unfamiliar with the actual specifics of the site, and relied on apparent erroneous information provided by the Applicants engineer."

I'm trying really hard not to be offended by this statement. The first part of statement 5 on page 12 discusses items 1 and 5 in Section E of the city's municipal code for criteria for evaluation of applications (KMC 17.88.050). Item 1 includes criteria to "preserve the inherent natural characteristics of the river, floodplain, and riparian zone, including riparian vegetation and wildlife habitat." I appreciate the direction in this item of the code, as it refers to the essential characteristic of the floodplain, not that the floodplain cannot be altered, but that the floodplain can still act as a floodplain. And item 5 discusses the need to allow sheet flooding, which can still occur with the proposed driveway. The appeal conveniently does not include the statement at the end of item 5, "Culvert(s) under driveways may be required."

Page 13 (first bullet): "There are two existing channels in the floodplain that traverse the property line, one of which is located at the eastern side of the floodplain (the "east channel") and the second of which is located on the western side of the floodplain (the "west channel"). These two channels with elevations between 5785 and 5786 above mean sea level ("MSL") allow floodwater to flow from the Osborne property into the wetlands at an elevation of 5784 on the 121 property where some water collects and is absorbed."

Floodplain topography undulates with high and low spots. Calling portions of the floodplain channels, is not appropriate, because a channel is the primarily flow path of the river. There may be low spots that can collect and convey floodwater. There are also natural high spots on the "east channel" on 121 Badger that already act as hydraulic grade control. Furthermore, there are three culverts proposed to provide the Osbornes assurance that floodwaters below the BFE elevation will be conveyed under the driveway.

The "west channel" area was only brought up as an area of concern during the last P&Z hearing. Figure 1 shows the presumed "west channel" elevations at the property line. It is possible that the Osborne are considering the area outside of their property the "west channel", but this area is outside of their ownership. The size of the "west channel" is substantially smaller and cannot hold much flood flows.



There is a proposed culvert connecting the west floodplain to the east floodplain on 121 Badger property that is located under the proposed driveway, near the house. This culvert is different than the

three culverts near the "east channel". This is similar to the way the floodplain has functioned in the past.

Page 13 (second bullet): "These two channels are separated by a rise with an elevation of approximately 5787. As a result, floodwater cannot travel between the two channels at the BFE of 5786.5. Excavation that would allow water to flow between the two channels would fundamentally change the natural characteristics of the floodplain and create erosion issues."

Movement of floodwater is primarily north to south, following the gradient of the Big Wood River. During flood events, floodwater can move laterally, and given the undulating topography of floodplains, it is typical to have high spots and low spots. Connecting floodplain areas would be more in-line with item 1 of the floodplain evaluation to allow the floodplain to function and would not be a "fundamental" change to the floodplain.

Erosion is a concern for high velocity flood flow on unvegetated ground. Flood flows will be low velocity flows on vegetated ground and is not a concern.

Page 13 (third bullet): "The proposed elevations of the western portion of the finished driveway will be between 5786.55 and 5787.25, versus the existing elevation of between 5784 and 5786 and above the BFE of 5786.5 which will block the west channel and not allow sheet flooding to occur. However, when asked by Commissioner Carter if the driveway was <u>below</u> the base flood elevation ("BFE"), the applicant's engineer responded, "Yes."

I agree with the statement above. I did say that the driveway would be below the BFE during the P&Z hearing. Given the elevation of the ground surface at the western portion of the Osborne property, the minimal flow on the western portion of the Osborne property, I presumed that the concern was what the appellant has referred to as the "east channel" area. I based my answer on that area of concern.

There is no question that the driveway elevation at the start of Badger Lane (outside of the floodplain) and the driveway as it approaches the house will be higher than the BFE. Based on the questions that were being asked by the P&Z commissioners, I concluded that they were referring to the "east channel" area.

Page 14 (first bullet): "Three culverts have been proposed to address floodwaters in the east channel. The west channel is not served by the culverts, is closer to the river and experiences even greater flows during flooding as observed by the Osbornes in 2017. This channel will be blocked by the elevated driveway which exceeds the BFE. The proposed plan includes only a single dry well to drain the west channel."

This statement is incorrect. There is a proposed culvert under the driveway near the house. Furthermore, the dominate flow path is along the gradient of the Big Wood River, flowing from north to south. The floodwater flow will continue to be dominated by a north to south flow direction. There is evidence that there is some flow that may occur from west to east, but may also flow from east to west.

Page 14 (second bullet): "As a result, they relied on erroneous statements made by the applicant's engineer."

To restate, the comments made in the P&Z hearing were made in response to focus on the "east channel" area. The City of Ketchum's third party review of the floodplain plan did not have concerns about the west channel connection with the proposed culvert.

Page 16 (number 6): "The Planning and Building Department, and the floodwater analysis prepared by the Applicant, failed to address the fact that the existing floodplain map for the site is out of date, and changes in the draft FEMA floodplain map would expand the floodway adjacent to the site and the neighboring properties."

From the beginning of this application, the applicant and the city have been aware of the draft floodplain maps. The city elected to use the effective maps, because the draft maps were not official.

Page 21 (first paragraph): "Culverts, which are recognized to be a potential impediment to the passage of floodwater, can be moved from the property line."

Culverts are standard engineering devices recommended to move water, including floodwater, by the City of Ketchum.



## **ATTACHMENT 5:**

# Appellant Response Brief – 11/25/2024

## Robertson & Slette, p.l.l.c.

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Monday, November 25, 2024

Mayor and City Council City of Ketchum P.O. Box 2315 Ketchum, ID 83340

RE: Nicholas and Stephanie Osborne ("Appellants") appeal of Floodplain Development Permit for 121 Badger Lane, Ketchum, Idaho ("Permit") issued to 121 Badger Lane, LLC ("Applicant")

Dear Mayor and Council Members,

Our law firm represents Nicholas and Stephanie Osborne, the Appellants in this case. The following constitutes their Reply Brief, and these points are intended to be responsive to individual sections of the Respondent's Brief in Opposition to Appeal.

## I. NATURE OF THE CASE

The Osbornes contend that the Applicant's response contains two important factual misstatements, i.e., (i) "the driveway which is lower than the base flood elevation" and (ii) "Petitioner's arguments are not based on any genuine impairment of a substantial right from the Project but rather a "not-in-my-backyard" approach to land use entitlements".

The first issue reflects what the Osbornes assert is a continued misstatement of a very important fact upon which the Planning & Zoning Commission was asked to make a decision. In Exhibit "A" attached to the Applicant's response, the Applicant's engineer appears to contradict the statement above by stating, "It is true that the driveway will increase above the BFE as it meets the proposed residence (which must be above the BFE by code)." During the Planning & Zoning Commission hearing on August 13, he responded affirmatively to Commissioner Carter's inquiry about the driveway being lower than the BFE, but then later stated, "And so there are--but the majority of the driveway within the floodplain is lower than the BFE." The Commission members were clearly concerned with the entire length of the driveway between the two properties. Any presumption that the Osbornes' concern was only with the "east channel" would be incorrect. Using the Applicant's own site plans which show the elevations of the driveway and the BFE, the Osbornes will show the City Council members the area near their property where the driveway is higher in elevation than the BFE.

The second statement is contradictory to statements made by the Appellants in the Planning & Zoning Commission on December 12, 2023, which was not attended by the Applicant's current legal representative. The Osbornes respect the right of the Applicant to develop its property in a way which avoids creating potential hazards for the Osbornes and which meets the requirements of the Ketchum Municipal Code ("KMC"). The Osbornes do object to the plan which: (a) unnecessarily places culverts directly adjacent to the property line; (b) unnecessarily fills important wetlands; and (c) adds an elevated driveway that blocks channels which flow from the Osbornes' property onto 121 Badger Lane. A thorough review of the transcript discloses that some of the Commission members appeared to believe that the design of the house, rather than consideration of the physical characteristics of the site, drove the location of the elevated driveway. The Osbornes agree, and have suggested that the location of the original driveway outside of the wetland area should have been considered as a viable alternative given the "first priority" verbiage of the KMC. That was certainly an inquiry aired by Commissioners Carter and Morrow, but Mr. Crutcher stated that it wasn't something requested by staff.

## II. COURSE OF THE PROCEEDINGS AND FACTUAL BACKGROUND

In light of the Applicant's argument below, there are three documents in the record worthy of the Council's review that are attached hereto as Exhibits "A", "B" and "C". Exhibit "A" is an email from Adam Crutcher expressly advising the Osbornes that the final decision date for purposes of filing an appeal was June 26, 2023. Exhibit "B" is an email from City Attorney Matthew Johnson advising legal counsel for both the Applicant and the Osbornes that, "So, from a process perspective, the Floodplain Development Permit in this matter would have been finally/formally approved on the same date as the Building Permit." Exhibit "C" is the approved permit referenced in Johnson's email which is date stamped "06/26/23". The Osbornes' appeal was thereafter filed in accordance with the time limits established in the KMC. With regard to the second appeal by the Osbornes, Johnson explained to the Commission at the August hearing that the applicant's submission was essentially a new application, and that staff had made a new determination based upon new information. The Applicant's counsel expressly acknowledged that this was a new application.

- 15. **MS STROLLO:** City staff then treated this as a new
- 16. application, as your counsel said, with additional
- 17. notice to neighbors and opportunity to submit comment.
- 18. So the Applicant submitted the new application with
- 19. additional engineering models in February of 2024.

Emphasis Added.

Transcript of Administrative Appeal of 121 Badger Lane, August 13, 2024, Page 32, Lines 15-19

It is noteworthy that the Commission members struggled with the issues advanced in the second appeal, its decision came down to a 3-2 vote to uphold the administrative decision.

#### III. STANDARD OF REVIEW

Counsel for the Applicant has fairly stated the content of the KMC and LLUPA regarding the appeal standards and the need to protect private property rights. The Osbornes firmly believe that their private property rights are on an equal footing with those of their neighbor. The Osbornes have identified issues which they contend constituted either errors or an abuse of discretion which would justify a reversal of the Decision.

## IV. ARGUMENT IN RESPONSE TO APPLICANT'S BULLET POINTS

#### A. The Appeal was Untimely and Must Be Dismissed.

The Applicant cannot now advance this argument regarding the first appeal after having waived the issue when it chose not to pursue its own appeal of that issue to the Commission. The Applicant's former legal counsel at Givens, Pursley received the information from City Attorney Matthew Johnson which is attached hereto as Exhibit "B". The Applicant was aware of the City's stated interpretation of its own ordinance regarding the date of final approval, however, the Applicant and its attorney chose to sit back and not pursue an appeal. Mr. Crutcher expressly advised the Osbornes of the final permit approval date and the City attorney confirmed the propriety of his interpretation to both parties. As noted above, counsel for the Applicant expressly stated, "So the Applicant submitted the **new application** with additional engineering models in February 2024." If the Applicant wanted to preserve its right in that regard, it necessarily had to pay the \$5000 filing fee and lodge an appeal of its own. However, this is not the Applicant's appeal, Rather, it is the Osbornes' appeal of what the City's attorney has indicated is a "new application" based on new information.

#### **B.** The Decisions of the Commission and Administrator

The Applicant's response states, "Portions of the driveway near the residence will be above base flood elevation to satisfy code requirements, however, near the property line only a small portion of the driveway is above base flood elevation." (Para 1, line 6). This significantly understates the amount of driveway that is above the base flood elevation." In fact, a notable portion of the driveway is located in the floodplain and is above the base flood elevation and above the natural elevations. As identified in the Applicant's Grading and Drainage Plan, a significant portion of the northern perimeter of the driveway ranges from 5786.75 to 5787.25 feet, which exceeds both the base flood elevation of 5786.5 and the natural elevations of 5784 to 5786 feet. Commissioner Morrow expressed his concern about the West channel and recited that the City's rules "can't affect neighboring properties". Tr., p. 67, l. 2-7. Is the question one of degree? How much is too much?

#### C. Alternatives to Location of the Driveway Were Considered

The Osbornes refer to Section 2 of the Appellant's Brief. They also note that Section 17.88.050 f. (1) requires the Administrator to "Permanently maintain all records that pertain to the administration of this Title and make these records available for public inspection." There is no evidence in the record that would support the consideration of alternatives other

than Ms. Landers statement that "...there was a discussion around alternatives". (Tr., p. 62, l. 8-9), but they weren't documented. Commissioner Carter expressed his concern about whether an alternative proposal that was more appropriate was even considered. (Tr., p. 78, l. 22-24.) Mr. Crutcher appeared to place the blame for the current driveway location on the fire department. (Tr., p. 62, l. 17-21.) Instead of staff enforcing the KMC requiring the avoidance of wetlands, and the placement of the driveway at its existing location, Mr. Crutcher deferred and said that was a question for the Applicant. (Tr., p. 76, l. 2-8). The Osbornes neither mean nor intend any disrespect or offense to the city staff or the Applicant's representatives, but they certainly want to substantiate their claims of error in order to justify a reversal of the Decision. Just as the Applicant's counsel wanted the Commission to follow the words in the ordinances (Tr., p. 33, l. 12-16), the Osbornes are of a similar mindset.

#### **D.** Condition 15 Requiring the Culverts to be Kept Clear is Enforceable

While the Applicants have suggested that a new owner of the Applicant's property must abide by Condition No. 15 (Applicant's Response at ¶ 5 on p. 7), it is apparent that there is nothing recorded in the property records of Blaine County that would put that new owner on notice of an obligation to perform culvert maintenance. According to the transcript, the City has undertaken the role of culvert inspection during flooding events. Chairman Morrow, himself an attorney, immediately recognized the potential liability for the City when it came to the proposed new culverts. (Tr., p. 66, l. 1-21). Commissioner Passovoy specifically acknowledged the risk of the west channel being backed up (Tr., p. 72, l. 5-6) and then asked, "But is there in real life an enforcement mechanism?" (Tr., p. 72 l. 7-8). The Osbornes believe the answer is, "No." The issue could be entirely eliminated by not placing the culverts directly on the property line. Given the proposed location of the culverts on the common property line, the Osbornes' property will likely have flooded by the time any issue is identified and corrected. Couple that with the fact that the Osbornes do not occupy their residence on a full-time basis, they will likely be unaware of a flooding event until it is too late.

#### E. Appellants Were Not Denied Due Process

On appeal, the Commission was required to consider all the evidence that the city staff considered in rendering its Findings of Fact, Conclusions of Law and Decision. Understandably, the staff found it necessary to view the Applicant's property before rendering the Decision. There was nothing wrong in doing that. All the Osbornes are suggesting is that a view of the site could have been undertaken in order to gain the same familiarity as the staff. Given the content of the transcript which is replete with a certain degree of confusion about the east channel, the west channel, the BFE elevations and the driveway elevations, a site visit could have provided more than useful evidence. Notwithstanding, the Council can still find error in the Decision based upon (a) the failure to enforce the priority language in the wetland ordinance; (b) the failure to consider the alternative of using the existing driveway; (c) the placement of three culverts directly on the property line; and (d) the height of the driveway exceeding the BFE at the location of the west channel.

#### F. Exhibit "A" to Owner's Response to Osborne's Appeal

Page 1 (second paragraph) – The Osborne's concern with the east channel is the proposal to place culverts directly adjacent to the property line, the risk of failure of those culverts, and the flood risk that they create for the Osbornes' property. The Osbornes also note that alternatives exist which would (a) allow a new driveway to follow the path of the existing driveway; and (b) place the culverts where existing culverts are located. That would allow the Applicant to "assume responsibility for their actions" as described in the KMC.

The description of the area of the driveway above the BFE and existing elevations fails to create a clear picture of the driveway and the barrier it creates. As indicated on the Applicant's Grading and Drainage Plan, a significant portion of the northern perimeter of the driveway ranges from 5786.75 to 5787.25 feet, a height which exceeds both the BFE of 5786.5, and the natural elevations of 5784 to 5786 thereby creating a barrier to the west channel.

Page 1 (third paragraph) — Whether or not the flood even in 2017 was or was not a 100-year event, the issue is the same. Portions of the proposed driveway that are above the BFE will create a barrier to the unimpeded passage of floodwaters.

Page 1 (fourth paragraph) – The basis for the statements made by the Appellant is the information found in the Big Wood River Atlas 2020, of which the City of Ketchum and Galena Engineering were represented stakeholders. The Atlas documents Big Wood River Erosion, Rock Armoring and the Historic Channel Migration Zone, all of which speaks to the history and risks of flooding from the Big Wood River in this location.

Page 2 (second paragraph) – The Osbornes are not objecting to the use of culverts, but are objecting to (a) the proposal to place those culverts directly adjacent to the property line; (b) the risk of failure of those culverts; (c) the flood risk that it creates for the Osbornes' property; and (d) the failure to consider alternative locations for the driveway and the culverts.

Page 2 (third paragraph) – Brockway Engineering has provided the Applicant and Appellant with three historical aerial images of the Appellant's property which are intended to show that "the old shed [sic] was placed at its current location in recent history." The Brockway images are inaccurate and use different property boundary lines in each image. As a result, the fishing cabin, Wood River Drive, Buss Elle Drive and all the other homes in the neighborhood are shown in changing various locations relative to their property lines. The cabin has not been moved by the Osbornes, nor was it ever moved by the previous owners who owned both the Osborne property and 121 Badger Lane for decades. Brockway Engineering has also inaccurately identified another cabin that was permitted and moved as the "old shed". (For the record, the "old shed" is identified in Ketchum's Archaeological and Historic Survey Report as "a 1930's vintage summer home cabin from the Fosterville Era").

Page 2 (fourth paragraph) – No offense is intended. The Osbornes and their attorney have every respect for Brockway Engineering and Mr. Powell. The quoted line refers to the Commissioners who posed specific questions to both the Appellant and the Applicant's engineer which are included in the transcript. Those questions reflected the Commissioners' lack of familiarity with the specific elevations and contours of the land. As a result, they were

reliant on the accuracy of the statement about the site made by Mr. Powell on behalf of the Applicant. As Mr. Powell stated in Paragraph 3 at page 4 of Exhibit "A", "I did say the driveway would be below the BFE during the P&Z hearing .... I presumed that the concern was what the appellant has referred to as the "east channel" area". As stated previously, the Osbornes are legitimately concerned about the entire length of the driveway in the floodplain, including the area of the west channel. The remarks from the Commission members made it equally apparent that they were interested in the elevations at both the east channel and the west channel. See, e.g., the inquiry of Commissioner Passovoy at Tr., p. 56, l. 18-19, and the response to her inquiry on the following page. See also, Commissioner Passovoy's stated concern about the risk of the west channel being backed up. (Tr., p. 72, l. 3-8).

Page 3 (second paragraph) - Exhibit "A" inaccurately states that "the "west channel" was only brought up as an area of concern during the last P&Z hearing." The Osbornes submitted a letter to the P&Z Commission on October 4, 2023, which stated "There are two clear channels in the southwest portion of 105 Wood River Drive North which drain directly onto 121 Badger Lane". The letter went on to describe the role that both channels and the wetlands have in handling floodwater flows between the Osborne's property and 121 Badger Lane.

Page 3 (chart and third paragraph) – Figure 1 shows the channels on the shared property line. Below the property line, the channel widens and deepens considerably to elevation 5684, and then feeds into wetlands which will be filled and covered by the elevated driveway, but which currently serve as an important outlet for floodwaters. Figure 1 also shows "the Osborne shed" as located on the elevated ridge which separates the two channels and is above BFE. This ridge prevents water from flowing from the west channel to the proposed culverts in the east channel. If either channel is blocked, both the Osbornes' property, including the fishing cabin, will be at risk.

Page 4 (third paragraph) – Much attention has been devoted by the Applicant to the east channel simply because the issues at the location are so obvious. In doing so the Applicant has not addressed the west channel. While the P&Z Commissioners did not limit their questions solely to the east channel, it appears from Mr. Powell's comments that he limited his response to the east channel, but has acknowledged that portions of the driveway will be higher than the BFE.

Page 4 (fourth paragraph) – Exhibit "A" refers to a proposed culvert near the house and then states, "Furthermore, the dominate (sic--dominant) flow path is along the gradient of the Big Wood River, flowing from north to south." The proposed culvert that Exhibit "A" refers to is oriented from east to west, and consequently will do little to collect water flowing north to south. That proposed culvert is also south of the portion of the driveway that is elevated above BFE and blocks the west channel so that water in the west channel cannot reach it. Only a single dry well purports to address flood water flowing in the west channel.

Page 5 (second paragraph) – The Planning & Zoning Commission specifically asked about the changes in the draft floodplain map. As outlined in the Osbornes' opening brief, the Commission was told by City staff that, "The change of the map is not a result of the change of flooding condition on the property. It's just simply that the data – all of the data hasn't been incorporated; that's why they're still draft." In fact, the draft flood plain maps show expansive changes. The Osbornes' requests to City staff for the data that supports their statement have received no response.

#### **CONCLUSION**

In conclusion, it is facially apparent that alternative locations for the driveway are available, and which do not require filling in the floodplain and wetlands along the property line, blocking existing drainage channels and placing culverts directly adjacent to the property line. That would also have the salutary effect of not creating the need for city staff to make culvert inspections during flood events, which would entirely eliminate the potential for municipal liability predicated on Condition No. 15 of the staff's decision. Such a redesign would place the flood risk associated with the development on the Applicant which would be consistent with the "Purpose" section of the City Code. Not unlike Mr. Lawson, the undersigned has appeared in front of the Ketchum P&Z Commission and the City Council on land use matters for more than forty years. There has never been a time when the City was reluctant to require an applicant to redesign a site. Even Commissioner Morrow acknowledged that a site redesign was permissible. (Tr., p. 68, 1, 3-9). Both he and Commissioner Carter supported such a redesign. (Tr., p. 79, 1, 1-11). Commissioner Passovoy echoed a similar sentiment (Tr., p. 79, l. 16-25), but lamented "the long and expensive process", and ultimately cast her tie-breaking vote to uphold the staff's decision because she didn't believe it was an error or abuse of discretion. The Osbornes respectfully disagree, and request that the Ketchum City Council reverse the Decision. It has been a long and expensive process for them, but one which they firmly believe was required to protect their property. The applicant's former counsel implored the Commission as follows:

- 12. MS. STROLLO: And now it's important to follow code
- 13. to ensure the Applicant's rights are protected along
- 14. with the neighbor's rights. This process protects both
- 15. and you can rest assured that with this application that
- 16. due diligence has been done.

Tr., p. 33, l. 12-16.

By applying the requirements of the code, the Osbornes contend that a reversal of the Decision is warranted.

Yours truly,

GARY D. SLETTE

cc: Nick and Stephanie Osborne

Morgan Landers: <a href="mailto:mlanders@ketchumidaho.org">mlanders@ketchumidaho.org</a> Adam Crutcher: <a href="mailto:acrutcher@ketchumidaho.org">acrutcher@ketchumidaho.org</a>

Ed Lawson: eal@lawsonlaski.com

Matthew A. Johnson: mjohnson@whitepeterson.com

**From:** Adam Crutcher <ACrutcher@ketchumidaho.org>

**Sent:** Tuesday, July 11, 2023 12:39 PM

**To:** Osborne, Nicholas

**Cc:** Stephanie Osborne; Nicholas Osborne

**Subject:** RE: 121 Badger Lane - Appeal to the Ketchum Planning and Zoning

Commission

**Attachments:** appeal\_application.pdf

Hi Nick,

Thank you for sending that over. I've attached the appeal application so you can fill that out and send it over to <a href="mailto:planningandzoning@ketchumidaho.org">planningandzoning@ketchumidaho.org</a> then we can start to process the appeal application. This application will need to be submitted today for the appeal request to be valid. Our planning technician will then invoice for the application fee and get the ball rolling.

The application that is being appealed is P23-014 and the date of decision or date findings of fact were adopted is June 26, 2023. What you can do for the sections titled "Explain How You Are and Affected Party & This Appeal is Based on The Following Factors" by referencing the narrative which you attached.

#### **Thanks**

#### **ADAM CRUTCHER | CITY OF KETCHUM**

PLANNING AND BUILDING I ASSOCIATE PLANNER P.O. Box 2315 | 191 W 5<sup>th</sup> St | Ketchum, ID 83340 o: 208.806.7008 |

acrutcher@ketchumidaho.org | www.ketchumidaho.org

From: Osborne, Nicholas < Nicholas. Osborne@psc.com>

Sent: Tuesday, July 11, 2023 11:44 AM

**To:** Adam Crutcher < ACrutcher@ketchumidaho.org>

Cc: Stephanie Osborne <stephanieosborne6@gmail.com>; Nicholas Osborne <NOsborne@msn.com>

Subject: 121 Badger Lane - Appeal to the Ketchum Planning and Zoning Commission

Adam.

Attached a letter of Appeal to the Ketchum Planning and Zoning Commission with respect to 121 Badger Lane. Will you please forward this to the members of the Commission and others as necessary. Please let us know if there are any questions or follow-up required.

Best,

Nick Osborne

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<sup>\*\*</sup>Please sign up for the NEW Planning and Building quarterly newsletter. Click HERE and select "Planning and Development"

**From:** Matthew A. Johnson < mjohnson@WHITEPETERSON.com>

Sent: Wednesday, August 23, 2023 4:46 PM

To: Franklin G Lee < FrankLee@givenspursley.com >; Gary Slette < gslette@rsidaholaw.com >

**Subject:** 121 Badger - dismissal request (informal)

#### Franklin and Gary -

Treating this informally initially, as I've only had an opportunity to do a somewhat rushed review of the correspondence, but think some clarification may be useful between the attorneys involved.

The City evaluates floodplain development permits concurrently with building permits. While comments and review may be happening separately for each, such that one may seem resolved prior to another, the practice is that they are finally and formally approved at the same time. So, from a process perspective, the Floodplain Development Permit in this matter would have been finally/formally approved on the same date as the Building Permit. This would be considered the final administrative determination date for purposes of calculating administrative appeal deadlines. I believe this is the reason for the document, that it looks like Gary provided, with the Approved stamp dated 6/26/23.

My quick read inclination is this means we do not have a timeliness/automatic dismissal issue, but please advise me if you still feel otherwise.

#### Matt

Matthew A. Johnson
WHITE PETERSON GIGRAY & NICHOLS, P.A.
Canyon Park at the Idaho Center
5700 E. Franklin Rd., Ste. #200
Nampa, ID 83687-7901
208.466.9272 (tel)
208.466.4405 (fax)
miohnson@whitepeterson.com

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EXHIBIT B



OFFICIAL USE ONLY	
File Number:	
Date Received:	
Ву:	
Fee Paid:	
Approved Date:	
Denied Date:	
Ву:	

### Floodplain Development Permit and Riparian Alteration Application

NOTE: This permit is required for all properties containing 100 year floodplain area and Riparian Setbacks

<u></u> p			
PROPERTY OWNER INFORMATION	l		
Property Owner Name(s):	121 BADGER LANE LLC		
Property Owner's Mailing Address:	P.O. BOX 14001-174 KETCHUM,	ID 83340	
Phone:			
Email:			
PROJECT INFORMATION			
Project Name: BADGER RESIDEN	CE		
Project Representative's Name (ma	ain point of contact for project): FRA	AZIER CAVNESS	
Project Representative's Phone:	720.339.6798		
Project Representative's Mailing A	ddress: P.O. BOX 14001-174 KETCH	IUM, ID 83340	
Project Representative's Email: fra	azier@presidiovistaproperties.com		
Architect's name, phone number, e	e-mail: RO ROCKETT DESIGN   JASO	N RO   213.784.0014   jro@rorocketto	design.com
Landscape Architect's name, phone	e number, e-mail: BYLA   BEN YOU	NG   208.720.0215   ben@byla.us	
Environmental consultant's name,	phone number, e-mail: SAWTOOTH	TRENT STUMPH   208.727.9748	trent@sawtoothenvironmental.com
Engineer's name, phone number, e	e-mail: BROCKWAY ENGINEERING   CHUC	K BROCKWAY   208-736-8543   charles.g.	.brockway@brockwayeng.com>
Project Address: 121 BADGER LAN	E KETCHUM, ID 83340		
Legal Description of parcel:PARCEL	4, ROCKING RANCH SUB #2 (LOCATED WITH	IIN SECTION 13, T.4 N., R.17 E., B.M., CI	TY OF KETCHUM, BLAINE COUNTY, IDAHO
Lot Size: 1.09 ACRES (PER SURVEY)	)		
Zoning District: LR			
Overlay Zones – indicate all that ap	oply: 🗵 Floodplain 🗆 Floody	way 🗆 Riparian Zone [	☐ Avalanche ☐ Mountain
Brief description of project scope:	NEW SINGLE FAMILY DWELLING: MAIN RESIDENCE + ADU W/ IN-GROU	IND BOOL (ADU STRUCTURE OUT	CSIDE OF ELOODDI VIVI)
Value of Project: \$ 400,000	MAIN RESIDENCE + ADO W/ IN-GROU	SIND FOOL (ADO STRUCTURE OUT	SIDE OF FEOODFEAIN)
TYPE OF PROJECT – indicate all tha	at annive		
		Ctuarus bank Stabilization /	☐ Other. Please describe:
☐ New Building in Floodplain	☐ Building Addition in Floodplain	☐ Streambank Stabilization / Stream Alteration	U Other. Please describe.
☐ Riparian Alteration	III Floodplain Development	Stream Alteration	
PROPOSED SETBACKS – if project i	is a new building or an addition to ar	n existing building	
Front: 15	Side: 15	Side: 15	Rear: 20
ADDITIONAL INFORMATION			
Will fill or excavation be required in	n floodplain, floodway or riparian zor	ne? Yes 🕱 No 🛭	
If Yes, Amount in Cubic Yards: F	ill: 258 CY Excavation:	274 CY	
Will Existing Trees or Vegetation be	e Removed? Yes 🗵	No □	
Will new trees or vegetation be pla	nnted? Yes 🗵 No	) [	
	ent of a dispute concerning the inte	rpretation or enforcement of th	ne Floodplain Management

Applicant agrees in the event of a dispute concerning the interpretation or enforcement of the Floodplain Management Overlay Application, in which the City of Ketchum is the prevailing party, to pay reasonable attorney fees, including attorney fees on appeal, and expenses of the City of Ketchum. I, the undersigned, certify that all information submitted with and upon this application form is true and accurate to the best of my knowledge and belief.

2/27/2023

Signature of Owner/Representative

Date



# **ATTACHMENT 6:**

# Planning and Zoning Commission Transcripts

## In The Matter Of:

Re: 2024 Administrative Appeal of Osborns and 121 Badge

# Audio Transcription August 13, 2024

M&M Court Reporting LLC 1-800-879-1700

Coeur d Alene ID 83814 info@mmcourt.com

Original File Audio081324.txt

Min-U-Script® with Word Index

		1	August 13, 2024
	Page 1		Page 3
1	CITY OF KETCHUM, IDAHO	_	Tuesday Angust 12, 2024
2	PLANNING AND ZONING COMMISSION PUBLIC HEARING	1	<b>3</b> / <b>2</b> /
3		2	( · F)
4		3	
		4	Zoning Commission meeting for Tuesday, August 13, 2024.
5	ADMINISTRATIVE APPEAL (P23-014B) 121 BADGER LANE, LLC	5	It's 4:30. I will call the meeting to order and do the
6		6	roll call: Matthew?
7	Taken at: 191 5th Street West Ketchum, Idaho	7	COMMISSIONER MCGRAW: Here.
8	Tuesday, August 13, 2024, 4:30 p.m.	8	CHAIR MORROW: Brenda?
9	Before: The Planning & Zoning Commission	9	COMMISSIONER MOCZYGEMBA: Here.
10		10	
11		11	
12			
		12	
13		13	
14		14	
15	HEARING TRANSCRIPT		Commissioners are here. We have a Consent Agenda. If
16		16	no one has any changes, corrections, typos, I will take
17		17	a motion for the whole Consent Agenda.
18		18	<b>COMMISSIONER PASSOVOY:</b> The button is gone.
19		19	Oh, there it is. I move we approve the Consent Agenda.
20		20	
21		21	
22	Reported by David E. Hix, ASCR, for M&M Court Reporting,	22	
	Inc., 816 East Sherman Avenue, Suite 107, Coeur d'Alene, Idaho 83814, (800) 879-1700, Freelance/Official Court Reporter and Notary Public for the State of Idaho.	23	
23	Reporter and Notary Public for the State of Idano.		the public hearing part of the meeting.
24		25	(121 BADGER LANE, LLC, 6:30 p.m.)
25		25	(121 BADGER LANE, LLC, 0.30 p.iii.)
	Dama 0		Dama 4
	D-3/16 /		Page 4
_	Page 2		1 age 4
1	APPEARANCES	1	Ç
1 2			CHAIR MORROW: All right. We are back in
	APPEARANCES	2	<b>CHAIR MORROW:</b> All right. We are back in session. Is it already over? Oh, my God. This is a
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- 1 same process. There was a determination of the planning
- 2 director that was administratively appealed up to this
- 3 board. The Commission didn't actually find an error,
- 4 but the result of that one was essentially what I would
- 5 call a remand back to staff for further consideration of
- **6** the information even though no finding of error.
- What happened there was essentially it --
- 8 for practical purposes it essentially became kind of a
- 9 new application. Additional information was received.
- 10 The Planning Department came to a new determination on
- the Floodplain Development Permit Application. That new
- determination has now been appealed up to you. So
- that's what's before you tonight on the administrative
- **14** appeal.
- 15 The -- both parties in this case, the appeal
- 16 has been filed by an affected party, a neighboring
- property owner. It's not by the Applicant. The
- Floodplain Development Permit decision at the planning
- staff level was for approval for the Applicant. So in
- this case, you have an appeal from a neighboring
- property owner; that's the Osbornes, who are represented
- 22 by Gary Slette as their attorney. He will be here
- 23 tonight -- or is here tonight. Sorry Gary. And then
- 24 you have the Applicant essentially serving as a
- 25 Respondent, and they are represented by Danielle

- 1 director level; reverse it for some reason; or remand
- 2 with some kind of comments. And I'm happy to help put
- that together.

10

- 4 Ultimately, I'll ask you for direction that
- enables me to actually draft a document, the draft
- findings and conclusions of law and decision, which will
- come back to you within 30 days for your final approval.
- And you'll, of course, have the chance to amend that,
- adjust it as you want. Any questions on process for me?
  - THE COMMISSIONS. (No response).
- MR. JOHNSON: All right. I'll turn it back 11
- 12 over to the Chair, and it would be to call Mr. Slette.
- CHAIR MORROW: Just make sure that mic is on 13 when you step up there, Gary.
- MR. SLETTE: Good evening, Members of the 15
- Commission. My name is Gary Slette. It's nice to be
- back in front of you again with regard to this appeal.
- I'll introduce my clients, Stephanie and Nick Osborne.
- They are the neighbors of the Applicant's property. And
- I'm sure you probably recall them from the last
- go-round. I intend to make some brief -- I promise --
- opening comments, and then Mr. Osborne wishes to
- conclude with some additional comments from his
- 24 perspective.
- 25 Having been involved in land use activities

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1 in all of Blaine County for the last 40 years, I can

- 2 just tell you I applaud you for your patience and
- 3 handling of matters like the last application. It's not
- 4 easy, I know, for you sitting up there trying to respond
- to everybody's concerns that are raised. But I think
- you did an admirable job.
- As your city attorney observed, this is the
- second appeal of this application. In many respects,
- 9 this appeal is similar to the first. As I stated at the
- initial appeal, my clients are -- certainly recognize
- private property rights and the ability of a landowner
- to make use of his or her property. The manner in which
- it is done is regarded by my clients as being of utmost
- concern, if there's a potential for the development of a
- neighboring property to impact their property. And if
- you observed from the filing of our initial opening
- brief and our reply brief, much of the concerns focus on
- the bermed driveway that is proposed to be located
- immediately adjacent to the Osbornes' property on the
- 20 Applicant's property.
- 21 As you know, the driveway was proposed at
- that location. And then from the fire department
- perspective, it came back that it had to be raised even
- 24 a greater amount, I think by a foot, which prompted
- 25 much, much greater concerns for this property simply

1 Strollo; Givens, Pursley, who is here as well. We -- through my office, the city attorney,

- 3 we essentially worked up a schedule with the Scheduling
- 4 Order that was approved by the Commission that provided
- 5 opportunity for each of the parties to do essentially
- 6 briefing like you would see in a typical case. You're
- 7 sitting in a quasi-judicial role. Those briefs have
- 8 been provided to you, the first one from the Osbornes as
- 9 the Applicant, then a reply from the Applicant, and then
- 10 a final response from the -- from the Appellant.
- 11 The way we do this, you hold a hearing.
- 12 It's closer to like a court hearing. You are sitting in
- kind of a quasi-judicial capacity, so put your fancy
- black wigs and black robes on. And we'll hear first
- from the Appellant, represented by Gary Slette; and then
- turn it over to Danielle Strollo, a final reply. 16
- 17 You absolutely have discretion though to ask
- 18 questions, if you think appropriate. It's good to ask 19 them at the time. I don't believe staff is going to
- provide any kind of formal response on this one. But,
- obviously, staff is here and available to answer
- 22 questions you may have.
- 23 Ultimately, we -- we ask you to come to
- 24 direction on a decision. Options may be, you know,
- 25 affirm the determination as it was at the planning

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- 1 because of its location at the confluence of Warm
- 2 Springs Creek and the Big Wood River.
- The Osbornes personally observed the
- 4 flooding events of 2017, which, if I recall correctly,
- 5 was not the base flood 100-year elevation but
- 6 significantly less than that, and still they were able
- 7 to observe flooding that occurred on the western end of
- 8 their property and the enhanced driveway location. They
- 9 believe, based on their analysis, is clearly -- and the
- 10 analysis of their own engineering firm -- is clearly
- 11 going to have an impact.
- Well, what's the mechanism that has been
- 13 proposed to ameliorate or potentially alleviate that
- 14 concern? And as you saw in the previous appeal, it's
- 15 the placement of multiple culverts in some channels that
- 16 run from the Osborne's property into the neighboring
- 17 property. And we've certainly raised the issue on
- 18 appeal that the staff has failed to consider viable
- 19 alternatives to the placement of these multiple
- 20 culverts, which I'll explain later why we have
- 21 significant concerns about the use of culverts in this
- 22 location.
- I think the Applicant's attorney stated it
- 24 best on the second page of the response brief when she
- 25 said that the "Appellants are concerned about the

- 1 application of the code for consideration of
- 2 alternatives. So perhaps someone can point me to that
- 3 location in the code that justifies this one-to-one
- 4 offset. Because moving the fill further north to create
- 5 the berm is what is causing the real issue for the
- 6 Osbornes, having observed flood flows on their property.
- Now, Ms. Strollo has stated in her brief
- 8 that the flood flows will pass through the culverts.
- 9 And certainly in an ideal situation, that is how
- 10 culverts are meant to work. I recall at the last appeal
- 11 hearing Spencer Cordavano(ph) was just kind of itching
- 12 in his chair -- now occupied by you -- saying that I've
- 13 lived here for so long and I've seen what happens with
- 14 culverts.
- And to that point, I prepared -- or I
- 16 attached some photographs showing what happens when
- 17 culverts do get plugged and the impacts they create.
- 18 And certainly in the Big Wood River Valley, when you're
- 19 on a river, adjacent to a river such as these properties
- 20 are, where this debris load is carried that indeed is
- 21 massive, or can be massive in nature, we just think that
- 22 it's inappropriate to use culverts as a solution.
- Particularly in this case one of the
- 24 conditions that the staff has placed on this approval by
- 25 the staff is that the city has the right to go onto the

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- 1 application of Ketchum Municipal Code 17.88.050(E)(21),"
- 2 which states: "Where development is proposed that
- 3 impacts any wetland, the first priority shall be to move
- 4 the development from the wetland area and consideration
- 5 of the availability of alternative locations for the
- 6 proposed use which are not subject to flooding or
- 7 erosion damage."
- 8 We know that the driveway, as it's currently
- 9 situated, lies further south than this proposed berm
- 10 driveway. So is there an alternative? By all means
- 11 there is an alternative. The alternative exists today
- 12 by virtue of how the driveway is currently located on
- 13 that property. We think that due consideration should
- 14 have been afforded to that location as a viable and
- 15 reasonable alternative to this bermed driveway.
- 16 And we also see that the rationale for the
- 17 location of this driveway is that there is a one-to-one
- 18 cut and fill. Meaning that fill is being proposed on
- 19 that northern boundary of the Applicant's property,
- 20 while cut areas are being proposed in the interior of
- 21 the property.
- Now, both Mr. Osborne and I have looked at
- 23 the Ketchum Municiple Code. And maybe I'm just missing
- 24 it -- or we're missing it -- but I don't see whereby the
- 25 provision of a one-to-one cut and fill that obviates the

- 1 property to inspect it to make certain that the culverts
- 2 are maintained. But it begs the question to say we have
- 3 the right to go on the property and we can see if it's
- 4 being maintained. But if there's no one there to
- 5 maintain it, my question and the Osborne's question is,
- 6 who -- who do we call to maintain it? Is the city going
- 7 to come out with a backhoe when floodwaters are circling
- 8 around a plugged culvert to remove the debris that's
- 9 causing the obstruction that creates the rise in the
- 10 flood elevation? Is the landowner who owns the property
- 11 but was not party to this hearing process going to get
- 12 out there with a shovel and start cleaning the culverts?
- 13 Who do we call to ensure that the maintenance activities
- **14** are going to be undertaken?
- 15 It was coincidental that our paralegal found
- 16 a document that I referenced in my reply brief. It
- 17 looks like this (indicating). It's called the "Blaine
- 18 County Multi-Jurisdiction All Hazard Mitigation Plan."
- 19 And it's a document that's signed onto by the cities of
- 20 Bellevue, Carey, Hailey, Ketchum, and Sun Valley, as
- 21 well as Blaine County. And one of the highest priority
- 22 items for review -- or project review -- enumerated in
- 23 this particular plan is to develop a listing of roads,24 bridges, culverts, and other limiting conditions for
- 25 flood flows. And so the idea that the word "culverts"

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- 1 immediately proceeds other limiting conditions, to me,
- 2 is a tacit acknowledgment that culverts can and will
- 3 serve as a limiting condition to the passage of flood
- 4 flows.
- 5 So, I conclude in my reply brief that the
- 6 Ketchum Municipal Code allows the city to consider
- 7 amendments to draft or interim floodplain maps. And
- 8 that I believe would apply to the instant case to this
- **9** subject property. I believe there are draft floodplain
- 10 maps dated as of April 2024 which identify floodplain
- 11 changes for this proposed building site. And we would
- 12 encourage the P&Z to consider those proposed changes
- L3 when evaluating this application.
- I was touched by Susan's statement during
- 15 the previous hearing when she stated, "Common sense and
- 16 what we observe personally should be watchwords when we
- 17 make decisions as a Planning Commission." And to that
- 18 note, that's why I suggested -- or maybe it dovetails
- 19 with the suggestion in my reply brief -- that an on-site
- 20 review of this property by the Commission, I believe,
- 21 would be an appropriate time-out.
- It doesn't take much to notice up a review
- 23 on site so that the Members of the Commission can see
- 24 for themselves the channels that are on the west end of
- 25 the Applicant's property where these culverts are

- 1 plan for 121 Badger Lane, and the review process and the
- 2 risk that it creates for our property. We've shared
- 3 our concerns with the Planning and Building Department
- 4 staff and with the developer of the property. But
- 5 logical alternatives have not been considered and
- 6 changes have been insufficient to address the issues.
- 7 As a result, this appeal is the only path that we have.
  - Today, I'd like to address three things:
- 9 One, our objectives in the appeal. Two, I'd like to
- 10 share with you some information about the site. It's
- L1 very hard to kind of wrap your mind around what it is
- 12 we're talking about unless you have some more -- and I
- 13 agree with Gary, it would be great if you guys wanted to
- 14 visit. You could see it for yourself. But we've tried
- 15 to present some exhibits that will help you understand
- 16 what's going on. And then I'd like to address very
- 17 briefly -- I think Gary has covered the reasons for our
- 18 appeal -- objectives. As we've stated before, we're not
- 19 trying to prevent development of the site. We have
- 20 neighbors on both sides, including the prior owner of21 121 Badger Lane, who had development plans for the site
- 22 and that we had no issues with.
- We believe the proposed plan increases the
- 24 flood risk on our property. It is a very problematic
- 25 site that is prone to flooding from a variety of causes.

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- 1 proposed to be located. And you can see for yourself
- 2 and you can observe personally, as Susan stated, "What
- 3 the lay of the land looks like" and envision a rise of
- 4 more than a foot, up to two feet, of a berm being placed
- 5 at this location.
- 6 So, with that in mind, I would ask the
- 7 Commission to consider an on-site review to get the lay
- 8 of the land. And also to that point, I would ask this
- 9 Commission to either table it for such an on-site
- 10 meeting, or based on what we've provided to you and what
- 11 you're about to hear from Mr. Osborne, a reversal and
- 12 remand of the staff decision.
- And with that in mind, if it's okay, I'd ask
- 14 Mr. Osborne to make his statements. And then if you
- 15 have questions for either of us, either before the
- 16 Applicant's presentation or after, we'd be happy to
- 17 stand for those.
- **18 CHAIR MORROW:** Thank you, Mr. Slette.
- 19 Thank you.
- MR. OSBORNE: Hi, I'm Nick Osborne, owner of
- 21 105 Wood River Drive North, which is immediately to the
- 22 north of 121 Badger Lane. Thank you for your time
- 23 today. I appreciate it.
- We are here today because we continue to
- 25 have very significant concerns about the development

- 1 While we cannot eliminate those risks, we believe there
- 2 are simple ways to greatly reduce them.
- The plans could be changed to eliminate the
- 4 elevated driveway on the property line and to avoid
- **5** existing filling -- to avoid filling existing flood
- 6 channels and wetlands. There's already -- already a
- 7 driveway on the site that could be used, as the P&Z
- 8 Commissioners suggested in our October 13th meeting.
- 9 Or, the driveway could be shifted so that
- 10 the flood issues that the development causes are borne
- 11 on the site consistent with the Ketchum code of
- 12 ordinances whose Statement of Purpose, Section
- 13 17.88.020(H), states: "To ensure that those who occupy 14 the areas of special flood hazard assume responsibility
- **15** for their actions."
- Our objective is to find an alternative
- 17 which either eliminates the risk to our property and
- **18** requires the owner to assume the risk on -- or requires
- **19** the owner to assume the risk on their property.
- 20 However, the review process did not pursue such
- 21 alternatives and such alternatives were rejected by the
- 22 developer of the property because of the additional time
- 23 and cost the changes would require.
- So, just to give you an overview of the
- 25 site, just as we mentioned the last time we were here,

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- 1 we know the site very well. We considered buying it
- 2 prior to purchasing our own property. At the time there
- 3 was a residence on stilts, and there was no LOMA for the
- 4 site. We've owned the neighboring property for
- 5 approximately 15 years and have witnessed the 2017
- 6 flooding on the site as well as others. We understand
- 7 what is not known to us may not -- we understand that
- 8 what is known to us may not be fully understood by
- 9 others.
- What this pictures does -- sorry, it's hard
- 11 to see -- and I wish I had a pointer here. But you can
- 12 see the location of the 121 Badger Lane development
- 13 site. We're directly to the north. That area is the
- 14 junction of Warm Springs and the Big Wood River right up
- 15 here (indicating). South of the site -- or west of the
- 16 river, adjacent to the site, is the bottom of
- 17 Frenchman's Gulch on Bald Mountain. It is a steep,
- 18 rocky bank with little room for the river to move in
- 19 that direction and experiences occasional snow dams.
- Would you flip to the next one.
- 21 (Next Exhibit)
- MR. OSBORNE: The next comes from the Big
- 23 Wood River Atlas. I don't know if you guys have seen
- 24 it. It's something that I was familiar with. It's an
- 25 impressive document that was prepared in 2020 with

- 1 naturally moving back toward the east. Even Warm
- 2 Springs flows directly from the west to the east against
- 3 the east bank and creates substantial erosion.
- 4 The final thing, which is really quite hard
- 5 to see in this presentation, is the green line which
- 6 identifies not one but two channels that run on our
- 7 property, from our property to 121 Badger Lane. And
- 8 we're going to give you a greater sense of that. Those
- 9 are the channels that fill with water during flood and
- .o flow into wetlands on 121 Badger Lane.
- Yeah, so this will give you a sense of the
- 12 channel. So this is what we call the "east channel."
- 13 This is in our backyard. And between that you'll see,
- 14 you know, a hump to the south. You can just make out
- 15 the corner of a historic cabin -- historic fishing
- 16 cabin, which is preserved on the property.
- 17 If you flip down, you'll see a second
- 18 channel. Again, this is on our side of the property.
- 19 This is on the west side of our property. So there's an
- 20 east channel and there's a west channel.
- 21 If you flip down, you'll see --
- 22 UNIDENTIFIED AUDIENCE: This is our --
  - MR. OSBORNE: Oh, I'm sorry. Yeah, so this
- 24 is the east channel. Could you go back up so I get this
- 25 right? Yeah, so this is the east channel on our

Page 18

- 1 multiple local parties contributing, including the City
- 2 of Ketchum to its review. It identifies a number of
- 3 very important characters of the Big Wood River. Reach
- 4 6, which is shown here (indicating) is the portion of
- 5 the Big Wood River that flows adjacent to both
- 6 properties.
- 7 It's quite hard to make out, but if you can
- 8 see photo point number 2 -- I wish I had a pointer --
- 9 that's basically where the property is. Badger Lane
- 10 runs south to north, and Wood River Drive loops around
- 11 to the west. And our property is at the end of it.
- There's a number of interesting things on
- 13 this chart: The black line is the historic channel
- 14 migration zone, which abuts both properties. So this
- 15 isn't just a floodplain issue. This is -- you know, it,
- 16 in fact, abuts the channel, the historic channel of the
- 17 river.
- Riprap, which you see in kind of the black
- 19 and white dotted lines, during the 1980s, the river
- 20 actually ran adjacent to the properties and riprap was
- 21 installed to prevent flooding. Again, this is not just
- 22 floodplain.
- In the crosshatched red and pink sections,
- 24 you'll see the erosion that is occurring in that area of
- 25 the river. That was accelerated in 2017. The river is

- 1 property. Now go down. It flows into a channel on the
- 2 neighboring property, which then flows into wetlands
- 3 where the water is collected. This is the west channel
- 4 on our property (indicating) which, again, flows to the
- 5 adjoining channel on the neighboring property, which is
- 6 this (indicating). Those two channels are separated by
- 7 a large mound so water doesn't -- generally, except in
- 8 very extreme circumstances -- travel between those two
- **9** things -- between those two channels.
- 10 If you flip to the next page, you can see
- 11 the existing conditions of the property. This is from
- **12** the Applicant's plan. There's a few things to note
- 13 here: Everything in blue is in the floodplain. Here,
- 14 you can -- it's very hard to make out, but I'm going to
- 15 walk behind you, if that's okay.
- 16 UNIDENTIFIED AUDIENCE: (Inaudible).
- **MR. OSBORNE:** Oh, sorry, thanks, yeah, thank
- 18 you. So the eastern channel flows here (indicating).
- **19** The western channel flows here (indicating). It's
- 20 separated by this elevated section here (indicating).
- 21 Our cabin -- the historic fishing cabin -- is right 22 there (indicating). You'll also see the existing
- 23 driveway that we've talked about in the past, which
- 24 turns to the south before it enters the floodplain
- 25 currently, which avoids a lot of the backup issues that

Page 24

Page 21 1 we're concerned about.

The plan, however -- if you could go to the 3 next one, please.

4 (Next Exhibit)

MR. OSBORNE: Thanks, Steph. The plan, 6 however, moves the driveway to the perimeter of the 7 property, the north perimeter of the property directly 8 adjacent to our property line.

This is a cut and fill chart. We've got a 10 close-up to make it slightly easier to understand.

11 This shows the northern portion in the floodplain and

12 with the yellow and orange and red lines indicate is the 13 amount of fill that will be placed into -- placed into

14 those areas to accommodate the driveway. It's one to

15 three feet of fill will be added.

16 So if you -- if you think back to the 17 photos we were just looking at, those channels, once they get to the neighbor's property, are going to be

19 filled. There will no longer be any place for the water

20 to go from our side.

21 If we could go to the next one.

(Next Exhibit) 22

23 **MR. OSBORNE:** This is the plan development.

24 After the initial plan -- plans were prepared, it's

25 important to note it was determined that the driveway

**MR. OSBORNE:** Okay. If you look at the top

2 and you see the three circles -- can you see that? --

3 those are the culverts, okay, that go under the

4 driveway. And those address the eastern channel that we

just saw the pictures of. But nothing addresses the

western channel. Other than a single 12-inch dry well,

there is no drainage provided for in the western

channel, which because it is closer to the river

experiences even greater flows during the floods.

Because of the raised section of land between the

channels, water doesn't flow from the western channel to

the eastern channel, so there is no place for that water

13 to go.

14 The reasons for our appeal -- we've provided 15 a complete statement. I know you guys had a lot on your

agenda. I don't know if you've had a chance to review

that. Gary did a good job summarizing that, so I won't

try to do that for you again. But I do want to hit on a

few points. 19

20 The review process did not evaluate

21 alternatives for the proposed driveway which would avoid

filling wetlands. Numerous findings of fact and

provisions of the City of Ketchum's zoning regulations

address risks resulting from floodplain development, the

25 importance of maintaining natural conditions of

Page 22

1 floodplain, and require wetlands where development is

proposed that impact any wetland, the first priority

3 shall be to move the development from the wetland area.

That was not done.

Rather than considering alternatives, the

6 finding and decision -- the findings and decision relies

on the fact that there will be an offsetting amount of

wetlands created on the site. This is not a

determinative fact in the code. There is language

about it, but it's simply an obligation on the Applicant

to submit. But it does not override any other provision.

12 The review process did not appropriately

evaluate the inadequate and poorly planned drainage for

14 the western channel. All that is provided is a 12-inch

dry well versus three 24-inch culverts in the eastern

16 channel.

17 In any event, the proposed culverts are

inadequate to ensure proper drainage. Culverts are a

poor solution because they get blocked sometimes inside

the culvert where the blockage can not be seen. The

condition of the approval is that the culverts are

22 required to be maintained and kept clear to ensure

sufficient carrying capacity and subject to inspection

25 The findings and decisions do not consider

1 needed to be raised further to provide adequate 2 clearance for emergency vehicles. Consider what that

3 means, it means that the expected flood conditions would

4 result in greater than one foot of water flowing over

5 the driveway. Raising the driveway creates a barrier to 6 that flow. There is simply no way that you can raise

7 the driveway without limiting the flow of floodwater

8 from our property to theirs.

The northern edge of the driveway and the 10 eastern channel will increase the elevation by more than 11 a foot. The western channel will run into the driveway 12 with an elevation of more than 5,787 feet, an increase 13 of over two feet versus the current elevation, and above

14 the BFE. 15 Underneath the driveway, existing wetlands

16 and channels where water currently collects will be

17 filled with two to three feet of fill. The plan

contemplates adding culverts in the eastern channel

19 directly against our property line. If those are

20 blocked or back up, there is no place for the water to

21 collect on our property. And once again, I'll just walk

22 over and point that out to you (indicating). So to

accommodate the eastern channel, we've added culverts.

24 Those culverts --

UNIDENTIFIED AUDIENCE: (Inaudible).

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Page 25 1 that in flood conditions it may be impossible for the 2 culverts to be maintained and kept clear due to the 3 potential volumes of floodwater and debris. Because the 4 culvert inlets are almost directly on the shared 5 property line, any backup of the culverts creates 6 hazards for our property. The proposed residence is being developed 8 for sale. The planning and building findings do not 9 address how these conditions will be enforced on future owners who may or may not be full-time residents. And

the western channel. Floodplain maps, would you mind just 13 **14** shifting to those?

12

25

11 these culverts will do nothing to address floodwaters in

15 (Next Exhibit). 16 **MR. OSBORNE:** These maps show the prior FEMA 17 floodplain map and the current draft dated April 20, '24. The differences are significant and create a meaningful flood risk. What you'll see in this -- this is basically the same site that we saw before. In the 21 center, there is a building envelope, admits the 22 floodplain. If you look to the most recent draft, that goes away indicating the expectation for increases in

water levels during floods in this neighborhood.

1 the fact that the floodplain map -- the site is out of 2 date and changes in the draft FEMA floodplain map would 3 increase water levels across the site, return the 4 building envelope to -- on the site to floodplain and 5 expand the floodway adjacent to the site and neighboring 6 properties. Zoning Regulation 17.88.050(G)(1)(a) allows

The findings and decision did not address

9 significant amendments to the city's draft or interim 10 flood maps which will apply to subject approval. The subject property is not only in the floodplain but

adjacent to the historic channel of the river. 12

8 the city to consider whether there have been any

13 Finally, the cabins, part of the reason

14 we're concerned is that we -- when we purchased the lot,

it used to be a fishing camp down there and there was a

16 historic fishing cabin that was identified by a review

17 that was done of historic places by the town and the

18 historic committee. This is within -- as I showed you

19 before, this is directly on the property line, within

20 feet of the elevated driveway where the flooding is most

21 likely to occur. The historic cabin remains on its

22 original foundation of river rock. As a result, the

23 cabin is not only at risk of flooding but also moving

24 and collapsing in flood condition.

25 If you'd flip to the next one. 1 (Next Exhibit)

MR. OSBORNE: And despite what the 3 Applicant's counsel has said, this cabin sits where it

always has. This was a picture taken today. This thing

has never moved. This is where it's always been. 6 Finally, our request, we think there is a

solution to all of this: Send the application back to

the staff and ask staff to recommend alternatives that

will move the driveway from the wetlands, eliminate the

barrier created by the driveway on the property line,

address the proposed FEMA maps, and require the

Applicant to assume responsibility for the potential

flood hazards.

14 Let's be clear, this is a development 15 project. The Applicant will not be the occupant of the

home. The city cannot be expected to assume

responsibility from the Applicant to monitor culverts

and flooding hazards on private property, particularly

when there is a significant flood in town.

20 There are simple solutions that we've

talked about already, and one of which was identified at

the last meeting, which we have proposed to the

Applicant. The Applicant has chosen not to consider

24 those at this point. But the alternative is a flood

25 plan that will eventually cost both us and the city time

1 and money of their own.

Thank you very much for your time. We

appreciate you hearing our appeal.

CHAIR MORROW: Thank you. Go straight to 4

5 the --

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MR. JOHNSON: So, Mr. Chairman, just -while Danielle is coming up, I realize I skipped over

something in my -- my report really quick, and it's

important and I want to bring it up before both parties

will get a chance to --10

As you're reviewing this, you have what's called a "standard of review." That's the legal

standard by which you review something. On an

administrative appeal -- you've got the section in the

staff report from me, but I just want to note that this

is not supposed to be a time for any entry of new

information. You're not supposed to bring that in.

You're really just looking at the record that was before

staff below. And I'm not saying that because I have

some concern about it immediately, but that may come up 21 in rebuttal from either side.

22 And so I just wanted you to understand why

23 that may be important and how that standard of review

24 comes into play. And as you get to your deliberations,

25 if we need to talk more about it -- I know we spent

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5

- 1 quite a bit time on it at the last go around. So --
- **COMMISSIONER PASSOVOY:** Matt, so if I have
- 3 some questions, I should wait until we get to the
- 4 deliberation part?
- MR. JOHNSON: You -- it's up to you when you
- 6 can ask questions. If you feel like it's best to get
- 7 them answered now because it's something immediate, you
- 8 definitely can. But if you want to save them up for the
- 9 end, you can. The biggest part is if there's any sort
- 10 of questions that lead that information from one side, I
- 11 do advise that the Appellant always gets sort of a last
- 12 opportunity, since they're the appealing body, to at
- least rebut something if they would.
- **COMMISSIONER PASSOVOY:** This is strictly the 14
- 15 standard of review. I had this question before -- last
- 16 time -- and I still have the question. Because what's
- stated in the standard of review isn't really a standard
- of review. We both understand that. But the language
- 19 that is used is whether there was an abuse of
- 20 discretion. And I think there's -- that's not in the
- 21 standard. It's what's being claimed by one party to the
- 22 other party, that the -- there was an abuse -- whether
- 23 or not there was an abuse of discretion on the part of
- 24 the staff. And there was one other word -- and I left
- 25 my notebook, unfortunately, at home, so I don't remember

- MR. JOHNSON: I think the best I can offer
- 2 is, what it's not is -- it's not a de novo review. It's
- not a from scratch --
- 4 MS. PASSOVOY: Understood.
  - MR. JOHNSON: -- everything is new. You get
- to hear everything. It really is an argument: Was
- there some flaw in the determination of the body below
- that warrants, you know, remand or modification or not?
- 9 COMMISSIONER PASSOVOY: Okay. Thank you 10 very much.
- MS. STROLLO: Hello. As usual, this 11
- 12 microphone is too high. Okay -- or I'm too short, but
- that problem sailed a long time ago. Hello, Members of
- the Commission. My name is Danielle Strollo, and my
- address, for the record, is 601 West Bannick Street in
- Boise. And I'm here, once again, representing the
- Applicant for development at 121 Badger Lane in Ketchum.
- This Floodplain Development Application was prepared by
- Brockway Engineering, who is based in Twin Falls. Erick
- Powell, the lead engineer on this project, is available
- to answer specific technical questions, as is the design
- and developer team. Next slide please. 22
- 23 (Next Slide)
- MS. STROLLO: All right. So here's the time 24
- 25 line on this application. It's been three years since

Page 30

- 1 the other thing. I can't remember, but -- so we'll just
- 2 stick with abuse of discretion. So, really, our
- 3 standard of review is determining whether or not we
- 4 think there was an abuse of discretion or --
- 5 MR. JOHNSON: Yeah, I think --
- 6 **COMMISSIONER PASSOVOY: -- fill in the other** 7 blank.
- **MR. JOHNSON:** -- I think error is generally 8
- 9 what you're looking for, that there was clearly some --
- some flaw --10
- **COMMISSIONER PASSOVOY: Right.** 11
- MR. JOHNSON: -- abuse of discretion and 12
- 13 error.
- **COMMISSIONER PASSOVOY:** Or a subject matter, 14
- substantive flaw in --
- MR. JOHNSON: Yeah, or --16
- **COMMISSIONER PASSOVOY:** -- the decision. 17
- MR. JOHNSON: Yeah, so that could be a 18
- procedural issue or a clear technical error. That's
- kind of what the debate is. And, of course, both
- parties can argue that. 21
- 22 **COMMISSIONER PASSOVOY:** Yes, and I
- 23 understand that they have and they will. I just wanted
- 24 to make sure that I understood, you know, is it the
- 25 preponderance of the evidence or is it, you know --

- 1 we started working on this application. And as you
- 2 know, this is the second time the Osbornes have appealed
- 3 your planning administrator's approval of this
- 4 application, an approval based on the application's
- review by both city staff and the city's third-party
- engineers, Harmony Design and Engineering. Next slide 7 please.
- 8 (Next Slide)
- 9 MS. STROLLO: So after the prior appeal
- 10 hearing last December, this Commission found no error
- but asked city staff to evaluate further information
- with regard to Appeal Criteria 5 and 6, which have to do
- with allowing for the function of the floodplain, sheet
- 14 flooding and floodwater carrying capacity.
- 15 City staff then treated this as a new
- 16 application, as your counsel said, with additional
- notice to neighbors and opportunity to submit comment.
- So the Applicant submitted the new application with
- additional engineering models in February of 2024.
- Since then, city staff have come back to the Applicant
- numerous times asking us to address comments that were
- submitted by neighbors, including the Osbornes. We did address those comments. In fact, the Applicant has gone
- 24 above and beyond to address staff requests for more
- 25 information and clarification, and provided more than

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- 1 code requires. After all of this additional
- 2 documentation and study, staff, in consultation with the
- 3 city's third-party engineer, approved the application a
- 4 second time. Next slide please.
- 5 (Next slide)
- 6 MS. STROLLO: I want to reiterate again here
- 7 that the Commission's role is to find that staff
- 8 committed an error or abuse of discretion in approving
- 9 this application. We understand there was interest in
- 10 ensuring no impact to neighboring property. But we have
- 11 addressed those concerns and in even greater detail for
- 12 this application. And now it's important to follow code
- 13 to ensure the Applicant's rights are protected along
- 14 with the neighbor's rights. This process protects both
- 15 and you can rest assured that with this application that
- 16 due diligence has been done.
- Now, with all of this additional information
- 18 the question here is did staff error or do something
- 19 wrong in approving this application? And the answer
- 20 is, no. Next slide please.
- 21 (Next Slide)
- MS. STROLLO: So these are the same general
- 23 arguments as the prior appeal, and we have addressed the
- 24 Appellant's concerns. The application meets the code's
- 25 requirements, again. That was determined by staff and

- 1 Applicant did further modeling with a wider scope of the
- 2 river's dynamics, as well as taking a more precise view
- 3 of what's happening to neighboring properties here. We
- 4 did a HEC-RAS and High-8 analysis, as well as a
- 5 split-flow analysis with more details zeroing in on
- 6 specific concerns. We moved grid lines to align with
- 7 the property line, and that analysis still showed no
- 8 rise in waters to the neighbor's property. The site
- 9 added another culvert to allow for passage of
- 10 floodwaters. Even at a conservative 50-percent clog
- 11 factor, these address floodwaters and prevent any rise
- 12 in waters to neighboring property. Next slide please.

13 (Next Slide)

MS. STROLLO: So I want to address a couple

15 of specific points that the Appellants made today:

- 16 First, culvert maintenance, it is a condition of
- 17 approval that the culverts be maintained. City
- 18 enforcement here just -- acts just like any other
- 19 enforcement. The conditions of approval are absolutely
- 20 enforceable against the next property owner.
- 21 Wetlands, so there is one wetland
- 22 requirement in code criteria for approval and we meet
- 23 it. The driveway fills some wetland area and that fill
- 24 is mitigated entirely by creating wetland elsewhere to
- **25** preserve the natural function of the river. The

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- 1 the city's third-party engineer. There was no error or
- 2 abuse of discretion. City staff was quite thorough,
- 3 again. And I'd encourage you to ask city staff about
- 4 the multiple times they asked the Applicant to respond
- 5 to comments. Again, this demonstrates the thoroughness
- 6 of the review. Next slide please.
- 7 (Next Slide)
- 8 MS. STROLLO: Ultimately, the basics are
- 9 this: The application here is for a single family home
- 10 and a driveway to serve that single family home. The
- 11 home is built out of the flood flows. The driveway
- 12 appropriately serves that home and meets code
- 13 requirements for emergency access. All of the
- 14 engineering evidence reviewed by the city demonstrates
- 15 definitively and conclusively that there will be no
- 16 impact of the driveway on the neighboring property.
  - The site's design uses established
- 18 engineering practices and culverts to ensure proper
- 19 drainage. The extensive modeling that staff and the
- 20 city's engineers have reviewed, multiple times at this
- 21 point over the past two years, show there is no change
- 22 in floodwaters to the neighbor's property as a result of
- 23 this development. Next slide.
- 24 (Next Slide)
- MS. STROLLO: Since the prior appeal, the

- 1 terminology confusion indicates the overarching message
- 2 here; that this is a technical application with
- 3 technical requirements examined by technical experts,
- 4 which has now been done twice.
- 5 The fishing cabin, whether or not it's in
- 6 its original location -- which satellite photos dispute
- 7 -- the fishing shed's age changes nothing about this
- 8 application. It's not entitled to special protection,
- **9** particularly special protection by the Applicant. If
- 10 the Appellant wishes to preserve the fishing shed and
- 11 thinks that it's vulnerable to flooding, they should
- 12 move it to another location on their property. We have
- 13 repeatedly shown that this development poses no risk to
- 14 their property.
- The new draft map, so we designed to the
- 16 best available information for this application. We
- 17 can't rely on drafts because they change, and we can't
- 18 be asked to redesign the site because it's been delayed
- **19** three years.
- Finally, we're glad that the City of Ketchum
- 21 participates in the hazard mitigation plan, since then
- 22 it's eligible for Federal Hazard Funds in the event of23 an emergency. But aligned with this hazard mitigation
- 24 plan, your code ensures the development's impacts are
- 25 minimized and mitigated. We meet that code requirement

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1 by demonstrating exactly that with best engineering 2 practices.

Okay, with that, I will pass it off -- yeah, 4 so I will conclude by saying there's nothing new in this 5 appeal, other than different words being used to convey 6 the same points. There's been a tremendous amount of 7 engineering by best-in-class engineers with familiarity 8 of this area and this river, and that engineering shows **9** no impact to the Osborne property.

All of the necessary criteria have been 10 11 reviewed and addressed by the city now twice.

12 Ketchum's technical experts have reviewed and approved

all the detailed analysis over two years of application

14 review. Again, this application satisfies Ketchum's

city code, protects public safety and the public

interest. This application does protect neighboring

17 property from impacts of development.

18 With that, I'll turn it over to Brockway

19 Engineering's Erick Powell to provide additional

20 engineering basics about this application.

21 **MR. POWELL:** Good evening, Commissioners.

22 My name is Erick Powell. I'm grateful to be here today

23 and discuss my favorite topic, which is water. Just a

24 little bit about me: I'm a senior engineer at Brockway

25 Engineering. I've been practicing for about 18 years.

1 probability of this area flooding 1 percent each year;

2 that's what that means. The fringe area on the -- in

3 orange is the 500-year floodplain, or the .2 percent

chance of flood. And then the red hatched area in the

middle is what is referred to as the floodplain. Now --

or sorry, the floodway. That was an error on my part.

So the floodway is important just because

that's the area that is the flood carrying capacity

identified by FEMA. And so any encroachment into the

floodway requires no rise, and engineers are required to

do no-rise analysis for encroachment in the floodway to

ensure that flood carrying capacity.

The floodplain, FEMA does not prohibit construction or development. As evidenced within the

city, and within Blaine County itself, there's lots of

development that has occurred in the floodplain. And so

this isn't new development in the floodplain. Or

floodplain development is not a new concept. It is one

that has existed for a while. 19

20 Flood maps are developed through a modeling process. And the most common model that's used is

referred to as HEC-RAS, which is -- has been and

primarily still is used as what we call a "one-

dimensional analysis." And so we have cross sections

25 that exist and we interpellate between those cross

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1 I hold a bachelor's and master's degree in civil and

2 environmental engineering and a Ph.D. in ag engineering,

3 with a specialty in stream channel design. I'm licensed

4 as a professional engineer in Idaho, Nevada, Utah, and

5 Oregon.

We work -- Brockway Engineering has worked 7 extensively in the Wood River Valley for many, many

8 years. Chuck Senior was born in Ketchum, the same year

9 that his Sun Valley company was incorporated. And so we

10 have a long history in the valley, and we've done a lot

11 of work even for the City of Ketchum specifically. So

12 the next slide.

13

22

(Next Slide)

MR. POWELL: I appreciate city -- the city 14 attorney giving you some specific instructions on being a judge, and that's hard when we're talking about very

technical information. And so I'm happy to address or

answer questions that you might have. But I wanted to

19 start by just talking a little bit about what the flood

20 maps are, and what the designation of a floodplain

21 versus a floodway is, and what those terms actually mean.

And so this is a scale of 1 to 500 feet.

23 We do show the Big Wood River and Warms Springs and that

24 confluence. The blue area is identified as the 100-

25 year floodplain, or in a statistical term it's the

1 sections. And given the flood flow and flood -- other

parameters on the floodplain of roughness specters,

3 elevations of floodplains are established. And they

refer to those as "base-flood elevations." And so any

modeling work that is done always requires us to start

with those effective floodplain models, and so we use

those effective models. We have to match those models with the current effective maps, and then we can start

to evaluate what will happen if we propose to modify the

floodplain or the floodway in any way. So the next

11 slide --

12 (Next Slide)

MR. POWELL: -- looks at a little bit more 13

14 close detail. So we actually here are showing FEMA Cross Section EF down at the bottom; EG is up at the

top. Originally at the start of this process, we added

11 new cross sections through the property. We've

actually iterated several times with feedback from

19 Harmony and Viota both. And so we've tried to answer

20 those questions that have been addressed.

21 I would like to just highlight that Badger

22 Cross Section 6 does exist right on the northern

property line. We're going to talk about that in just a

24 minute. But we worked in an effort to be conservative.

25 We'll address that in a bit. Right above that is Badger

Page 41 Page 43 1 Cross Section 7. And so the next slide --1 postconstruction, on that same property looking at that (Next Slide) 2 east property line. MR. POWELL: -- shows that cross section just **COMMISSIONER PASSOVOY:** Excuse me one 3 3 4 for illustrative purposes. 4 second. So the way cross sections are viewed is 5 MR. POWELL: Yeah. 6 pretend like you're in a canoe in the river, and what's 6 **COMMISSIONER PASSOVOY:** I'm sorry, because 7 on the right is what would be on the right bank of the 7 this is definitely not my wheelhouse. So is the blue 8 river. So if you're -- the right hand -- sorry, what line what is being called the east channel? 9 hand am I looking at? My left-hand side is then the MR. POWELL: No, the blue line -- that's a 10 east side of the river, so you're looking downstream. great question. The blue line is actually the effective 11 That's going to be on -- your left-hand side that's floodplain delineation. That's the --12 east. And so we're actually seeing that that's the 12 COMMISSIONER PASSOVOY: The boundary, that's Osborne property. And so I appreciate the photos from 13 the boundary? 14 the Osbornes. They were showing what Mr. Osborne was 14 **MR. POWELL:** That's the floodplain map. saying was the east channel we can see at the very far **COMMISSIONER PASSOVOY:** Water would come 15 left-hand side. 16 16 from the river as far as that blue line, theoretically? **COMMISSIONER PASSOVOY:** The left-hand side 17 17 **MR. POWELL:** Theoretically, yep. COMMISSIONER PASSOVOY: And the house --18 as we are looking at this? 18 **MR. POWELL:** This one right here (indicating). this is -- of all of the material in both packages, 19 **COMMISSIONER PASSOVOY:** The left-hand side 20 there was not, for me, a clear picture of where the 21 of the picture? Osborne property is, vis-a-vi, 121 Badger Lane. So is MR. POWELL: Yes, yeah. the -- are the two -- are the brown buildings the roofs 22 23 **COMMISSIONER PASSOVOY:** And that's east? of the Osborne property? MR. POWELL: That's east, yep, yeah. So MR. POWELL: Yes. 24 24 25 another thing I really wanted to just point out here is 25 **COMMISSIONER PASSOVOY:** Okay.

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1 that floodplains are very variable. There's lots of
 2 undulations. They're not smooth. We don't have this
 3 classic trapezoid with a flat floodplains, but we have a
 4 lot of undulations that are occurring. And there's a
 5 lot of ability in a floodplain, especially with
 6 excavation that can be done, without getting any permits
 7 within a floodplain. And so we take these cross
 8 sections and we can hydraulically evaluate the change in
 9 flood elevations as we move downstream or upstream.
10
           So with the remand that happened previously,
11 the questions kept asking were specific to what was the
12 impact of that -- what Mr. Osborne was calling the "east
13
   channel?" So if we go to the next slide --
14
                 (Next Slide)
15
           MR. POWELL: -- so we went and looked at
16 specifically rather than the entire floodplain, we were
   just looking at that flood -- excuse me -- the
18 floodplain fringe on that eastern boundary next to the
```

floodplain where that east channel, as Mr. Osborne has

called it, exists, so extending that channel through the

21 Osborne property and also onto the proposed 121 Badger

24 ran, and then looked at what those flood -- or what the

25 conditions would look like postdevelopment, or

So we have existing condition models that we

```
2
   (indicating).
 3
          COMMISSIONER PASSOVOY: Okay.
 4
          MR. POWELL: Badger 7.
 5
          COMMISSIONER PASSOVOY: Okay.
 6
          MR. POWELL: Badger 7 label.
 7
          COMMISSIONER PASSOVOY: Thank you.
          MR. POWELL: And the Osbornes' house is --
 8
 9
   has been and is outside of the floodplain delineation.
10
          COMMISSIONER PASSOVOY: Okay.
          MR. POWELL: So, we have to have bordering
   cross sections to evaluate obstructions like a bridge or
   a fill. And so we do have Badger Cross Section 6 and
14 Badger Cross Section 5 that straddle the proposed
   driveway through this east floodplain fringe area, and
   so we evaluated that specifically. With the additional
   clogging factor that was recommended by Harmony, we had
   to add another culvert, a third culvert, to ensure that
   there was no rise at that Badger Cross Section 6:
20
                (Next Slide)
          MR. POWELL: So the next slide just shows a
21
22 table of all of those cross sections. If you hit the
   next button, it will just highlight Badger 6, that cross
24 section. The current condition model and the proposed
25 project model, the difference at that property line, is
```

**MR. POWELL:** This is the Osborne property

22 property.

Page 45 1 0.0 feet. 1 will function and be able to convey water at lower than 2 BFE elevations. But during base flood elevations, So how can that be, right? If we -- as has 3 during that 100-year flood event, the driveway will act 3 been allude to, that we're damming up this east channel, 4 and so that's a question that I found intriguing. I just like the existing ground elevations that are there. 5 wanted to investigate and find out why that really was And so, again, it's a really important thing 6 the case. And it really comes down to the variability to note that we're not necessarily damming off or 7 of the floodplain itself. That currently, there are cutting off access to anything. This is -- you know, 8 high spots in this supposed east channel that are at the the hydraulic control of ground that's there is going to 9 same elevation as the proposed driveway. And so to be be very similar to this driveway. Yeah, please. 10 conservative, we actually used the low spots of the COMMISSIONER MOCZYGEMBA: Quick question. 11 topography as our cross section for that Badger Cross Is -- obviously, but please clue me in -- how has it 12 Section 6. evaluated the angle of the culverts in relation to that But if we go to the next slide -existing east channel? 13 MR. POWELL: So the culverts were placed 14 (Next Slide) 15 **MR. POWELL:** -- so this is the topography of where there was sufficient space and the lowest the existing system. This is part of the survey that elevation that existed. And so it does connect that was originally -- that you've seen before. We're going 17 together. to highlight with the next click --**COMMISSIONER MOCZYGEMBA:** Okay. 18 MR. POWELL: So just in summary, the next 19 (Next Slide) 19 20 MR. POWELL: -- this area right at the 20 slide -north. So if we zoom in on that, by clicking again --21 (Next Slide) MR. POWELL: -- just talks about that we 22 (Next Slide) 22 23 MR. POWELL: -- I just want to point out have had the extensive engineering that has been done on 24 that the -- that the elevations here range substantially. this property. Me personally, this is the most that's 25 And so we have -ever been required for a residential development that

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**COMMISSIONER PASSOVOY:** Because of these undulations you referred to? 3 MR. POWELL: Yeah, so we have elevations of

4 57.87 here (indicating). We have 5786.1 here. This --

5 is -- there ends up being this hole that exits in the

6 area of this proposed driveway. And during flood

7 conditions, that hole would fill with water. But

8 there's no way for that water to be conveyed because

9 there's high ground all the way around it because it's a

10 hole, okay. So if we go to the next slide --

11 (Next Slide)

MR. POWELL: -- this actually shows the 12 proposed driveway and that same hole location. And if

14 you look at the elevation through the driveway through

15 that hole, it's -- it says 86. Now, they've truncated

16 the 5786 just for sake of ease of description. But

17 what's really happening is that the driveway is being --

the elevation of the driveway is adjacent to native

ground elevations, but there's a hole that's being filled.

20 And so we're not necessarily putting this

21 big dam, or levy, or some sort of obstruction across the

22 entire floodplain. We're actually just matching the

23 existing elevations that are there. So the BFE in this

24 area is greater than 5786. So flood flow will still

25 continue to function over the driveway. The culverts

1 the city has asked for. We have developed model after

model trying to answer the questions that are raised.

3 I want to make it very clear that no levy is

being proposed for the driveway; that there are low

spots there are being filled, and they are -- in some

cases they are deep. But we're not necessarily blocking

off this continuous east channel that exists in 121.

So the elevations of the proposed driveway

are similar to nearby ground elevations. We did

increase the number of culverts. Culverts are standard

engineering practices. The City of Ketchum does

recommend culverts, and so that's not something that's

outside of normal applications. We -- we did add

another culvert just to comply with Harmony's

recommendation to evaluate at 50-percent clogging.

16 The floodplain will continue to function.

This is not going to somehow eliminate on entire stretch

of floodplain. The floodplain will continue to

function. And that modeling shows no rise at the

neighbor's property. And that has been reviewed

substantially by city staff and third-party engineer

22 Harmony.

23 With that, any other questions that you

**24** have?

25 **THE COMMISSIONERS:** (Indicating).

Page 49 1 MR. POWELL: Yeah. COMMISSIONER MOCZYGEMBA: I have a follow-up 3 question to my other question. If there were room on 4 the property for those culverts to be at a different 5 angle, would that increase their efficiency? Even 6 though there's a model that shows no rise, would 7 straightening those things out more in parallel to the 8 east stream, or whatever we want to call it, would that 9 help? 10 **MR. POWELL:** So it would really just reduce 11 the length of the culverts. 12 **COMMISSIONER MOCZYGEMBA:** Okay. 13 MR. POWELL: The culverts would still --14 **COMMISSIONER MOCZYGEMBA:** Okay. 15 (Two speakers at the same time.) MR. POWELL: -- function. They still would 16 17 be efficient. **COMMISSIONER MOCZYGEMBA:** Okay. 18 MR. POWELL: It would just reduce the length 19 20 and it would not reduce them substantially. It would be, you know --**COMMISSIONER MOCZYGEMBA:** Right. 22 23 **MR. POWELL:** -- a few feet. COMMISSIONER MOCZYGEMBA: Right. Okay. 24 24 increase as you approach the residence. And so there 25 are -- but the majority of the driveway within the 25 Thank you. Page 50 **COMMISSIONER PASSOVOY:** Once again, this is 2 a very, very layperson question: Along the property 3 line, we understand there were -- without the driveway 4 there are undulations. And so the assertion of -- your 5 assertion or explanation is is that the driveway does 6 not create a berm. But do I understand that basically

1 level of this series of undulations. MR. POWELL: Yes. 2 **COMMISSIONER PASSOVOY:** Okay. 3 4 MR. POWELL: That is correct. 5 **COMMISSIONER PASSOVOY:** Okay. 6 MR. POWELL: In most cases those highs --7 COMMISSIONER PASSOVOY: Would be -- would be lower. But I just -- just -- it flattens it out so in a sense it is a berm. But the berm is no higher than the highest undulation that exists out there. Okay. **COMMISSIONER CARTER:** To follow up on that, 11 12 did you say that the driveway is below BFE? MR. POWELL: Yes. 13 **COMMISSIONER CARTER:** By how much? 14 MR. POWELL: So if we go back to that -- the 15 base flood elevation in this -- this stretch is 5786.5 or .7, somewhere in that range. So it's over 86 point something. And so there are areas that are outside of the floodplain. So the floodplain is actually -- the hammerhead turnaround is outside the floodplain, the mapped area. And so as you move around towards the 22 residence, the residence has to be built two feet higher

than the BFE. And so there is -- that driveway will

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the driveway flattens out those undulations?
          MR. POWELL: There will -- yeah, sorry.
 8
          COMMISSIONER PASSOVOY: Okay. And is the --
10 and that the highest point of any undulation is no lower
11 than the driveway elevation? Am I -- am I confusing
12
   you?
          MR. POWELL: So say that again. The highest
13
14 elevation of those undulations --
15
          COMMISSIONER PASSOVOY: Okay, so the
```

**COMMISSIONER PASSOVOY:** -- up and down and

**COMMISSIONER PASSOVOY:** Is it fair to say

undulations are like this (indicating) --MR. POWELL: Uh-huh.

MR. POWELL: Right.

19 up and down. Where the driveway essentially flattens

that series of undulations, it makes it a straight line.

23 that the highest point of any undulation is no -- is not

25 point of the driveway is no higher than the highest

24 lower than the driveway? So the driveway, the highest

```
1 floodplain is lower than the BFE.
          MR. McGRAW: The 86 number, point something,
   was that the BFE or was that the driveway elevation?
          MR. POWELL: That is the BFE elevation.
 4
 5
          MR. McGRAW: It would be at the property
 6
   line?
          MR. POWELL: Yes.
 7
 8
          CHAIR MORROW: We're good? Nothing else?
 9
          THE COMMISSIONERS: (No response.)
          CHAIR MORROW: Okay. Thank you.
10
11
          MR. POWELL: Thank you.
          MR. JOHNSON: So, Chairman and
12
   Commissioners, there will be a rebuttal from the
   Appellant, but this might be a good time if you have --
   if you already know you have questions, if you want to
   ask them now so that the Appellant can deal with them in
   rebuttal at one time rather than end up going back and
   forth, if they're sort of pressing questions. Or, if
   you just want to go straight to the a Appellant
20
   rebuttal?
21
          CHAIR MORROW: I'm good for -- I'm going to
22 assume ---
23
          COMMISSIONER PASSOVOY: (Inaudible)
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CHAIR MORROW: Yeah, I have comments but

16

17

18

21

22

25

24 questions --

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1 mostly in deliberation, so --

MR. SLETTE: Thank you. Gary Slette, again,

- 3 for the Osbornes. I think what you heard was a great
- 4 engineering analysis of the east channel as referenced
- 5 by Mr. Osborne during his comments. But I believe it
- 6 was the elevation raise of the west channel that was of
- 7 profound concern for him and his wife with regard to the
- 8 impact on their property.
- As we sit here looking at a piece of paper,
- 10 it really bears out what my suggestion was earlier: Is
- 11 this an opportunity where the Commission avails itself
- 12 of the chance to actually look at the property
- physically on site so you understand how much that raise
- 14 is going to occur near the hammerhead and the west
- 15 channel. So I'm going to make that suggestion again to
- 16 the Commission. Certainly in my experience in other
- jurisdictions, on-site reviews are not out of the
- ordinary, and I'd urge you to do that.
- 19 I would agree with Ms. Strollo that it is
- 20 important for the Commission to follow the code. And
- 21 that's why we have referred in our memorandum to Section
- 22 17.88.050(E)(21): "Where development is proposed that
- 23 impacts any wetland, the first priority shall be to move
- 24 the development from the wetland area." And I guess
- 25 that's where standard of review issues arise, whether

- 1 office, or the Building Department, or the mayor, or
- 2 Neil? Who is going to be the response team that gets
- 3 out there and takes care of matters? Because I just
- 4 don't see it happening.
- So under the authority of the Commission,
- under 17.144.010(C), you can affirm, reverse, or modify
- in whole or in part, the decision or determination of
- the administrator, and that's what we are asking you to
- do tonight.
- 10 But if you feel that some helpful
- 11 information can be gleaned from a site review, I urge
- 12 you to do that. And judging by the scope of the
- questions that I heard around this table, it certainly
- 14 appears to me that it would be helpful to know, okay,
- here is the east channel; here is the west channel; here
- is the BFE; here is the height of the proposed driveway.
- Then and only then will I think you can really -- well,
- I went out there and saw it. That's when I understood
- 19 it.

20

- So that's my pitch, and I'm happy to stand
- 21 for questions.
- CHAIR MORROW: Thank you, Mr. Slette. 22
  - **COMMISSIONER PASSOVOY:** I have a question
- 24 for you, Mr. Slette. On the last picture that was
- 25 shown, that shows the driveway with the hammerhead and

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- 1 you call it an error or an abuse of discretion or what
- 2 have you. But I ask -- and not rhetorically -- where is
- 3 consideration given to moving the development from the
- 4 wetland area with regard to the driveway? And I ask
- 5 again, where does this one-to-one ratio come into play?
- 6 Because it just seems like, okay, what we're going to
- 7 do, we'll fill up and create the berm area next to the
- 8 Osbornes' property, and we'll dig a hole somewhere else
- 9 and we'll call that a one-for-one exchange. But it's
- 10 the location of where that's done that matters most, not
- 11 the mere fact that a cubic yard here equals a cubic yard
- 12 there.
- 13 I would also agree with Ms. Strollo that the
- 14 home is to be located out of the flood area, as Zack
- 15 (sic) just indicated to you. That's certainly a code
- 16 requirement. Our concern is that the driveway is not.
- 17 It's great that the culverts are planned for a 50-
- percent clog factor. But what happens when it's a 100-
- 19 percent clog factor?
- 20 And I guess that kind of begs the question,
- 21 like Ghost Busters: Who are you going to call? Who are
- 22 the Osbornes going to call? Are they going to call
- 23 their neighbor and say, you know what the city said:
- 24 You have to maintain it. And if they don't have their
- 25 phone number, do they call the Planning and Zoning

- 1 the location of the three culverts, what portion of that 2 section of the driveway is -- are you -- is your client
- 3 claiming blocks the west channel? Because I don't see
- that little -- I don't see that on this. How would you
- locate the west channel? It's -- it's page 160 -- page
- 160 of the 221 pages in our packet.
  - **MR. SLETTE:** If I could, I would like Mr.
- Osborne to respond to that technical --
- 9 **COMMISSIONER PASSOVOY:** Either one, I just --
  - MR. SLETTE: Like you, it's beyond my pay
- 11 grade.

10

- **COMMISSIONER PASSOVOY:** I need to -- to be 12
- 13 able to picture this.
- MR. SLETTE: Sure. Here is a pen if you 14
- 15 need that.
- (Two speakers at the same time.) 16
  - COMMISSIONER PASSOVOY: Yeah, where -- okay.
- We've dealt with the issue of the east channel. Where
- **19** is the west channel on here?
- 20 (Mr. Osborne off mic.)
- **UNIDENTIFIED AUDIENCE:** Use the microphone. 21
- MR. OSBORNE: Okay. So what you can see is 22
- 23 you can see what is referred to as the shed, which is,
- 24 in fact, the fishing cabin that we showed you the photos
- 25 of. And I'll walk over and do this on that side if it's

Page 57 Page 59 1 necessary. So the east channel flows here (indicating). 1 And to me, the thing about a site visit from a due 2 The west channel flows here (indicating). And here, the 2 process perspective, what it entails is notice of the --3 driveway elevation is 8725 and 87 feet, versus existing 3 of the site visit. So it's easily done. And again, I 4 condition, this kind of triangular line there is 85. So 4 think at the site, if the staff saw it and that helped 5 I'm not entirely sure where the statement that says "at them render their decision, certainly, it's not 6 no point is the driveway higher than the grade," I don't something new for the Commission to consider. 7 CHAIR MORROW: Thank you. All right. 7 know where that comes from because this is 85, and this 8 86, and the driveway is 87 and quarter and 87 at that Anybody have thoughts about this? 8 point where the west channel --9 **COMMISSIONER CARTER:** I'm reading --**COMMISSIONER PASSOVOY:** You said 85 on here? **COMMISSIONER PASSOVOY:** Are we now in the 10 10 UNIDENTIFIED AUDIENCE: (Inaudible, off 11 11 deliberation phase? 12 mic). 12 **CHAIR MORROW:** I believe we are, yes. MR. OSBORNE: Yeah, okay. So it doesn't 13 13 **COMMISSIONER PASSOVOY:** Okay. I just want 14 show -- yeah, no, that's fine. It doesn't show on this **14** to make sure. rendering. But if you go to the existing conditions, **MR. CARTER:** I'm reading that the primary 15 you can actually read what these elevation lines are. issue here is that the Appellant claims that the That elevation line is 85. And that elevation line is Planning and Building Department did not evaluate 86 (indicating). alternatives for the proposed development. "Despite a **COMMISSIONER PASSOVOY:** Thank you. significant change made to the proposed driveway, the 19 20 MR. OSBORNE: You're welcome. Planning and Building Department has only sought to 21 **CHAIR MORROW:** Is there are questions? If remediate the resulting flawed plan and not requested or evaluated alternative locations for the driveway." 22 not we can --23 MR. JOHNSON: So --23 That seems to be the issue here, not whether 24 **CHAIR MORROW:** Go ahead. 24 or not the plan is a good plan, but whether or not the 25 MR. JOHNSON: -- Mr. Chairman, Commissioners, I 25 planning department sufficiently evaluated alternative

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1 just want to know one thing: The Appellant has thrown
2 out the idea of a site visit. I just need to caution,
3 from the legal side, that's essentially gathering new
4 information. If you have a concern about whether the
5 site was accurately visited by staff as some sort of
6 error, the appropriate thing to do is remand that back
7 to staff to take those steps. And that may be a
```

9 to be clear, this is the hard part. You're not doing 10 the technical part here.

8 question you want to ask staff about. But I just want

11

**CHAIRMAN MORROW:** Right. 12 **MR. JOHNSON:** It's a review on appeal. **COMMISSIONER PASSOVOY:** It helps to 13

14 understand the --

15 **CHAIR MORROW:** Well, that's my question. MR. JOHNSON: I totally get it. But I -- I 16

just always -- as city attorney when I hear site visits,

**18** I have to put that in. And I know -- absolutely

19 understand how it can help the Commission. But

particularly in this case on an administrative appeal,

21 that would be brand new information. That's not --

22 **MR. SLETTE:** I assume that staff probably 23 was on the property and had a chance to inspect it. So

24 to me, that would not constitute new evidence if the

25 staff had seen what I'm asking the Commission to see.

1 locations.

**COMMISSIONER PASSOVOY:** So do we ask the 3 Planning Department --

**COMMISSIONER CARTER:** So how can we -- I mean. I think that that seems to be the crux of the

issue here, or at least the claim.

MR. McGRAW: My question to that would be,

is it their responsibility, or if the applicant has

afforded a suitable plan that meets code, meets

engineering, is it the city's job to --

11 **COMMISSIONER CARTER:** Evaluate the 12 alternative?

MR. McGRAW: -- evaluate alternatives? 13 14 (Multiple people speaking at the same time.)

15 **COMMISSIONER PASSOVOY:** I think that's what

16 the code requires. **COMMISSIONER CARTER:** Because the code says 17

"Where development is proposed that impacts any

wetlands, the first priority shall be to move the

development from the wetland area."

MR. McGRAW: Okay. 21

22 **COMMISSIONER CARTER:** "Mitigation strategies

shall be proposed at the time of application that

24 replace the impacted wetland in equal amount and quality

25 of new wetland area or riparian habitat improvement."

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1 COMMISSIONER PASSOVOY: So can -- Matt, do

- 2 we -- is this -- can we ask the staff if they --
- 3 MR. JOHNSON: Yeah, you can ask the staff
- 4 that question.
- 5 **COMMISSIONER PASSOVOY:** So my question to
- 6 the staff is, did you discuss -- did you consider
- 7 alternative locations of the driveway --
- MR. CRUTCHER: Yes, that --
- 9 **COMMISSIONER PASSOVOY:** -- and discuss those
- with the applicant? And would you tell us about that.MR. CRUTCHER: Staff looked at the proposal
- 12 and the residence being located within the letter of map
- 13 amendments. Which took the property outside of the
- 14 floodplain seemed to be the most appropriate location
- -- C d '1 A 1 d '4 d
- 15 for the residence. And then with the requirement of a
- 16 hammerhead turnaround by the fire department pushing the
- 17 driveway up to the north, that seemed to be the best 18 approach for getting access to the letter of map
- **19** amendment area.
- 20 COMMISSIONER PASSOVOY: So the location of
- 21 the house or the development dictated the location of
- 22 the driveway?
- MR. CRUTCHER: That's correct.
- MS. LANDERS: And just to clarify, the
- 25 location of the house wasn't necessarily the choosing of

- 1 in terms of the monitoring that the -- the imposition on
- 2 the owner for maintenance is of the wetlands. I don't
- 3 see anything in there about the culverts. And it seems
- 4 to be very reasonable to me asking the owner to be
- 5 responsible for maintaining the culverts and keeping
- 6 them clear, and giving the city and the neighboring
- 7 property owner the right if the culverts are not cleared
- 8 and flooding occurs, and is not addressed by the owner,
- 9 that one or both of those parties can go on the
- 10 property, clear out the culverts and collect
- 11 reimbursement from the property owner.
- 12 It's not an uncommon requirement and I'm --
- 13 I'm wondering if is that something that we send it back
- 14 to the Planning Commission -- I mean, the planning staff
- 15 -- to fix? Or is -- can it be required as part of our
- **16** deliberation?
- **MR. JOHNSON:** So I think what you want to do
- 18 is you want to look at Condition 15 on the Floodplain
- 19 Development Permit --
  - **COMMISSIONER PASSOVOY:** Right.
- 21 MR. JOHNSON: -- which is where this comes
- 22 in --

20

23

- **COMMISSIONER PASSOVOY:** Yes.
- MR. JOHNSON: -- if you wanted to amend the
- 25 permit to add some clarifying language. I will say

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- 1 the owner. It was a LOMA that had already been
- 2 approved. So, you know, that was a condition that was
- 3 kind of existing in place. And I think when Adam and I
- 4 reviewed that, the effort was to keep the majority of
- 5 the development outside of the floodplain. Because if
- 6 we were to move the location of the home, you'd be
- 7 putting it outside of the floodplain and into the
- 8 floodplain. And so there was a discussion around
- 9 alternatives. It isn't necessarily documented in kind
- 10 of multiple scenarios as part of the development
- 11 application, but those discussions did occur.
- 12 COMMISSIONER PASSOVOY: Okay. Thank you.
- 13 COMMISSIONER CARTER: Was there a
- 14 consideration of leaving the driveway where the existing
- 15 driveway is? Or how was the location of the existing
- 16 driveway considered?
- MR. CRUTCHER: Well, the fire department
- 18 required a hammerhead turnaround access that was not
- 19 present with the current driveway configuration due to
- 20 fire department code. And so that configuration is the
- 21 result of the fire department requirements.
- 22 COMMISSIONER PASSOVOY: Okay. I -- I'm not
- 23 sure how this fits in. So, Matt, I would need your
- 24 guidance on this. But it seems to me that we could have
- 25 as an additional condition a requirement -- what I see

- 1 this: That Condition 15 is already requiring the
- 2 property owner to maintain the culverts and the permit
- 3 runs with the property.
- 4 MS. PASSOVOY: I missed that. I didn't see
- 5 that on --
- 6 **MR. JOHNSON:** So there is -- there is
- 7 enforcement. And sort of this question has been thrown
- 8 out, you know, what do we do if the neighboring property
- 9 owner had a concern? They would have the ability to
- 10 call the city. That triggers the city has that
- 11 authority to inspect. Notice of the property owner,
- 12 you're required to maintain this under your Floodplain
- 13 Development Permit, and that property owner has to
- 14 comply with that. And there's further enforcement
- 15 mechanisms under code and flood regulations in terms of16 in emergency situations the city has more leeway to go
- -- ' 1' 1 ' 1 Cl 1 Till
- 17 in and invade a nuisance or clear a floodway. I'd be
- 18 hesitant, from the legal side, to add any kind of
- **19** neighboring property owner and --
- 21 two parties and I wouldn't --
  - MR. JOHNSON: Yeah, that one --
- 23 (Two people speaking at the same time.)
- 24 COMMISSIONER PASSOVOY: That's for them to

COMMISSIONER PASSOVOY: That's between the

**25** figure out, yeah, okay.

20

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- MR. JOHNSON: But the -- Susan, your real
- 2 question about process, I would look at this Condition
- **3** 15. If you feel like it's satisfactory, you're good.
- 4 If you feel like it needs some addition, that would be
- **5** in the realm of the Commission's ability to modify.
- 6 COMMISSIONER PASSOVOY: So then I need some
- 7 help because I have been through this whole package and
- 8 I must have missed that Condition 15.
- 9 MR. CRUTCHER: It's on page 76.
- 10 COMMISSIONER PASSOVOY: Thank you. Somebody
- 11 else go ahead if you --
- MS. LANDERS: It's attachment D. It's on my
- **13** page 119 of 264.
- 14 CHAIR MORROW: Yeah.
- (Multiple speakers at the same time.)
- 16 COMMISSIONER PASSOVOY: What came to us --
- 17 **CHAIR MORROW:** Yeah.
- 18 COMMISSIONER PASSOVOY: Okay. Can you put
- 19 it up there, Adam? Is it possible? Thank you.
- MR. CRUTCHER: It's up on the screen, too,
- 21 Susan.
- 22 COMMISSIONER PASSOVOY: Okay. It's easier
- 23 for me to read here actually. Never mind, that's my --
- **24 CHAIR MORROW:** My problem with this one is
- 25 only -- yeah, that process works. You call the city.

- 1 now you've gotten rid of any of that other contour.
- I am concerned about the west channel, which
- 3 doesn't seem to have any outlet compared to the east.
- 4 So it's going to run right into the house or right into
- 5 the --
- 6 The rules say it can't affect neighboring
- 7 properties, and that's what I'm stuck on. Is that --
- 8 here it's a lot of we've got this model. Well, if
- 9 Brockway is willing to insure the property, that their
- **10** model is right -- I guarantee they aren't -- but if
- 11 they're willing to say, yes, if it does what -- you know
- 12 something our model didn't say, then we'll pay for the
- 13 insurance.
- You know, but I think you're just -- you're
- 15 -- you know, we're setting ourselves up for what we know
- 16 is going to happen, which is when these big floods come
- 17 up where it's flooded not just to their house, it's
- 18 flooded onto, you know, Bordeau, and it's flooded well
- 19 up into the neighborhood. You know, having that -- I
- 20 just -- our models say this and our -- you know, our
- 21 stuff says that. They're guesses.
- And if you're waiting for the city to
- 23 enforce it during a 100-year flood, for me it's not
- **24** enough. What happens if it does impact the neighbors
- 25 and not just these neighbors? What happens if it -- you

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- 1 They come and inspect it. But in the middle of a 100-
- 2 year flood when their living room is full of water,
- 3 that's not enough. You know, I just -- these are --
- You know, what if the person who buys the house says screw you, litigate, you know? We don't care
- 6 what you do. We don't care what the city says. We're
- 7 not going to do anything. Let them sue us. I need more
- 8 -- you know, to put it right on their property line? If
- 9 it were halfway down and there was some leeway, but
- 10 there's no leeway here. If it backs up in a 100-year
- 11 flood, it's on their property right-of-way. There's no
- 12 -- and getting a guy to come out in a 100-year flood
- 13 when it's underwater, to come and clean these culverts,
- 14 you know, it's litigation for them. It's litigation
- 15 against the city. It -- we're setting ourselves up for
- 16 someone who buys the house and they go, I've got a ton
- 17 of money. Screw you, I'll do whatever I want. And if
- 18 it means not cleaning the culverts, then I won't clean
- 19 the culverts and you can sue me. And three years later
- 20 when it gets done, you know, their house is ruined, or
- 21 their historic cabin has floated away.
- And for me, it's not enough. It's not
- 23 enough to say it doesn't -- you know, Susan said, there 24 were ridges and elevations and so there were places --
- 25 yes, the top elevation may be is the top elevation. But

- 1 know, if something -- if the culverts aren't cleaned and
- 2 something happens, who is responsible, you know?
- And I could find error in not using the most
- 4 recent FEMA maps to say this is no longer floodway.
- 5 This is now floodplain. So I get that. But my concern
- 6 really isn't -- it's that the design -- and I was -- you
- 7 know, because it's been three years, we were told we
- 8 can't be asked to redesign the site. That's, you know,
- 9 not true.
- So my concern is less of that and more that
- 11 we're creating something that in the future is going to
- 12 be a really big problem that we could avoid. And so I'm
- 13 not sure how that happens. But it makes me really
- 14 uncomfortable that our models say this and our models
- 15 say that.
- I've been down there during the floods in
- 17 2017. I walk my dog down in that area all the time and
- 18 it's -- half of those houses shouldn't have been built
- 19 on Wood River or on Williams. You know, they're in the
- 20 frickin' floodplain or in where the river brings its
- 21 water back down.
  - So my concern is we don't make it worse.
- 23 And that's not for you guys as much as for you guys
- 24 that, you know, this needs -- we really need to make
- 25 sure this is done right. Because if it floods next

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- 1 year, the year after, it's built as a spec for sale. I
- 2 hate to say it, but there's a lot of rich people who
- 3 would come in and go, you're property flooded. Sue me.
- That's a six-year process or a seven-year
- 5 process to go through litigation. It's expensive. I
- 6 don't want to make a decision that essentially puts that
- 7 down the road as an obvious, you know, it's definitely
- 8 going to happen. So I'm looking for some alternatives
- 9 -- and, you know, we heard Mr. Osborne even tell us what
- 10 those were -- but some logical alternatives to putting
- 11 three huge culverts on their property line and hoping
- 12 that the water doesn't back up if something happens.
- 13 So to me that seems like a, you know, a wish and a
- 14 prayer. But that's just my -- this is -- for all you
- 15 guys, that's just my feeling about this.
- **MS. LANDERS:** Mr. Chairman, may I just add a point of --
- 18 **CHAIR MORROW:** Sure.
- **MS. LANDERS:** -- clarification? So about
- 20 the draft FEMA maps, the only reason that there's a
- 21 change on this property is because in the new draft
- 22 maps, FEMA hasn't carried over the data of previously
- 23 approved LOMAs into the data set. So the change of the
- 24 map is not a result of the change of flooding condition
- 25 on the property. It's just simply that the data -- all

- 1 works before we approve it. That's just my feeling.
- 2 COMMISSIONER PASSOVOY: Morgan, you answered
- 3 my question about whether or not you guys have looked at
- 4 this draft and whether you think there's anything
- 5 significant that would -- that would have affected your
- 6 decision were it actually finalized. And what I'm
- 7 hearing is, no, there isn't.
- 8 MS. LANDERS: Yeah, and I can let Adam speak
- 9 to that. But Adam and Harmony both track the draft FEMA
- o process very, very closely.
- 11 COMMISSIONER PASSOVOY: Uh-huh.
- MS. LANDERS: We've looked at every single
- 13 floodplain development permit and we've compared our
- 14 existing BFEs with the draft BFEs. And usually in
- 15 instances where there's any change in the BFE, then we
- 16 usually go with the most conservative. You know, but we
- 17 do track that process very quickly and we -- you know,
- **18** we take it very seriously.
- 19 COMMISSIONER PASSOVOY: Okay. Well, then --
- 20 then to follow on what Neil is saying, I -- I understand
- 21 that completely. It's -- I -- I'm trusting that the
- 22 engineering data is the best available. I mean, we have
- 23 to make everyone in development -- or in any other area,
- 24 you know, flying a plane -- you have to just go with you
- 25 best data available. It's never going to be -- be

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- 1 of the data hasn't been incorporated; that's why they're2 still draft.
- 3 **CHAIR MORROW:** Yeah. And I'm just using it
- 4 as a, you know, people like go "you can't find an
- 5 error." I've been a lawyer a long time. We can find an
- 6 error anywhere we want. But that's my point, that it's
- 7 not really about that for me. It's more about that
- 8 we're not saying, you know, oh, it's fine. It will be
- **9** fine. And then say it will be fine. And we have no
- 10 mechanism for when it's not fine. And then suddenly
- 11 we've got, I'm suing the city because we made this
- 12 decision. And I'm suing their neighbors because they
- 13 haven't done what they're supposed to, and the city
- 14 doing whatever they can to the neighbors, which may or
- 15 may not be anything for their lack of ability to fulfill
- 16 their responsibilities.
- So it just -- you know, that's my fear here.
- 18 It's not so much that the driveway is a levy, although,
- 19 it kind of, you know, looks like it. It's more that
- 20 what happens when we approve this and then something
- 21 happens and the owners of this new very expense house
- 22 says, screw you? You know, we're not doing any of this.
- And we don't have a mechanism for that. So I want to make sure that the development is right and
- 25 that, you know, we do the best we can to make sure it

- 1 perfect in some other realm. It is as perfect as it can
- **2** be in our realm. So I'm satisfied with the engineering.
- The question that I have is the one with --
- 4 that Neil has raised. Is that I'm concerned that if it
- 5 is true that there is some risk of the west channel
- 6 being backed up, and if the culverts are not kept clear,
- 7 there is a theoretical enforcement mechanism. But is
- 8 there in real life an enforcement mechanism? And is
- 9 this the best possible engineering solution to the risk10 that has been identified? Or, are the engineers telling
- 11 us that they have determined that notwithstanding the
- 12 difference in elevation between the west channel and the
- 13 hammerhead, that there is no risk of flooding, or
- 14 backwater, backwash, or whatever you want to call it,
- 15 from that hammerhead?
- MS. LANDERS: Yeah, and I think, you know,
- 17 there's been a lot of technical information provided to
- 18 you all. I think there was a lot of focus on the
- 19 eastern portion of the property. But the project is
- 20 required to be looked at in totality.
- 21 COMMISSIONER PASSOVOY: Uh-huh.
- MS. LANDERS: And so when we look at impact
- 23 on adjacent property, it's not a just one single point
- 24 or one single other point. It's in totality for the
- 25 development as a whole. So that does get considered.

Page 73 Page 75 1 I think it is, you know, easy to kind of gravitate to 1 areas. 2 specifics as kind of areas of concern. But it does --**COMMISSIONER PASSOVOY:** And not just during 3 it is looked at kind of in its whole. 3 flooding. I mean, that's my question, is might you have I think the last comments that I will make an, okay, well, we have to go check 121 Badger Lane to 5 is that debris is always a concern in flooding. That's make sure that there haven't been small accumulations 6 a comment that's been made. Large debris that -- that over time that could be a problem if next year is a 7 blocks culverts on a large scale, like the ones provided flood year? 8 in the Appellant packet happen within the floodway when 8 MR. CRUTCHER: We start looking before overbank flooding occurs, yes. 9 you have large downed trees, you know, things like that. 10 These -- this area -- and Adam you can correct me if I'm **COMMISSIONER PASSOVOY:** Okay. 10 11 wrong -- sees a lot of kind of sheet flooding of water MR. CARTER: Staff, can you bring up page --11 12 come through. It isn't necessarily in a debris flow 12 the last page in the staff report, 221? (Next Slide) 13 area. 13 14 So from staff's perspective, we aren't 14 **MR. CARTER:** Is it correct that this shows 15 concerned about clogging of the culverts. We did the 15 existing conditions out there, more or less? MR. CRUTCHER: Yeah. extra 50 percent assumption on the culvert because the 16 Commission remanded back. We would not normally have 17 **MR. CARTER:** And is it correct that that's run a model like that, and so we do feel that concern. showing a sort of existing driveway location? 18 19 On the enforcement side -- you know, the condition is MR. CRUTCHER: Yes. 19 20 written in a really strong way that gives us a lot of 20 **MR. CARTER:** Is there an existing -- there's 21 opportunity to enter the property when there's areas of 21 an existing driveway on the site? 22 concern. It's not just planning staff. It's any member MR. CRUTCHER: Gravel. So the asphalt has 22 23 of our inspection team. So during flooding conditions been pulled out, but the topography is similar to where 24 that may be Adam. That may be the water and waste water the driveway used to be when it was still functioning. 25 department. And those are in situations where we can **COMMISSIONER PASSOVOY:** At the gray line? 25 Page 74 Page 76 MR. CRUTCHER: Correct. 1 enter the property at any reasonable hour for the 1 **COMMISSIONER CARTER:** Was there an attempt 2 purpose of inspection or other enforcement action. So you know I -- in flooding conditions, we made by the design team to design a driveway that worked on the existing configuration and a hammerhead that was 4 get a lot of cooperation from property owners, right, **5** because they're trying to protect their property. in a different portion of the lot that perhaps didn't 6 They're trying not to run the risk of downstream impact the wetland as much? 7 implications or upstream implications. For the most MR. CRUTCHER: I believe that would be a 8 part, it is our most engaged time of the year when it question for the Applicant. 9 comes to property-owner cooperation, so --**MS. LANDERS:** Tim, it wasn't something that 10 COMMISSIONER PASSOVOY: So you would have a was requested by staff. It was just during kind of 11 regular inspection, or irregular inspection -- not discussions of different alternatives and what was being 12 clearing the culverts during a flood -- but checking to 12 proposed. 13 make sure that they've been maintained; that there 13 **COMMISSIONER CARTER:** Okay. COMMISSIONER MOCZYGEMBA: I think if they're 14 hasn't been an accumulation over time of small blockages which then could create a large blockage? Adam, I'm 15 just trying to do a hammerhead turnaround outside of the looking at you. This is your project. 16 floodplain, it would be right about where the ADU and 16 the pool are. 17 MR. CRUTCHER: Yeah, similar to the projects 17 18 18 down on Wood River Drive that you all have reviewed But, let's see, I guess my thoughts, so the 19 recently, where those also have a system of culverts, 19 Appellant, you know, came to us last year with concerns 20 anywhere where we have culverts or bridges in the city, based on their localized observations, based on owning 21 we do go around during flooding years and check, myself, their property for the time that they have. And I 22 the fire department, streets and water and wastewater, certainly appreciate that, and we -- I think we all

23 to check and make sure that those aren't getting blocked

24 or impacted in any way by debris. So those are things

25 that we do regularly throughout the city in different

agreed that we heard their concern, which is why we

24 remanded the application to make sure that all of the

25 i's are dotted and t's are crossed.

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- 1 And I'm certainly empathetic to their
- 2 concerns because flooding is stressful and warrants a
- 3 lot of hand-ringing when you own a property by the
- 4 river. And while everything can't be predicted in a
- 5 model, you know, we have to -- I think we still have to
- 6 rely on that modeling data. We've been through this
- tery on that modeling data. We've been unough this
- 7 before with Bruce and his avalanche reports where he's
- 8 taking the best of what there is. But that's not to say9 there's a portion of a hill that may slide that wasn't
- 10 anticipated. And I think the same situation could
- 11 happen here.
- You know, when we talk about alternatives,
- 13 the best alternative is no developments. But,
- 14 nonetheless, I think in my mind we've -- I appreciate
- 15 the staff and Applicant's time and resource that has
- 16 been sent -- has been spent to reevaluate and, on the
- 17 Applicant's side to provide additional study. And being
- 18 a layperson, I would rather rely on Jennifer Zon (ph)
- 19 from Harmony, Adam's opinion, and the data that was
- 20 provided, in addition to the original data that was
- 21 provided that was deemed sufficient during the first
- 22 staff review.
- So in my mind, I think we've exhausted the
- 24 analysis that can be done. And you really just cannot
- 25 predict the unknowns, as much as we may try to control

- 1 conditions on the site, I do wonder whether an alternate
- 2 design that's more appropriate and less impactful to the
- 3 neighbors and meets the spirit, meets the letter of the
- 4 code is possible.
- 5 **CHAIR MORROW:** That's real easy because I'm
- 5 with Tim. I'd just like to see if a redesigned driveway
- 7 -- because we're not talking about redesigning the
- 8 house. We're just really talking about redesigning
- 9 getting to the house. Let's see if that could be less
- LO impactful to the neighbors. I think I'd be interested
- 11 in that, too, so that would be a remand for a redesign.
- 12 COMMISSIONER PASSOVOY: And I actually, if
- 13 you take that -- I mean, it may require some redesign of
- 14 the house, which was my question. Is if the design of
- 15 house -- the design and placement of the house is
- **16** dictating where the driveway goes. And maybe that
- 17 approach should have been, or we should ask the
- 18 Applicant to -- I mean, I know this has been a long and
- 19 expensive process. But since this was raised as a
- 20 problem early on, I would -- I would have liked to have
- 21 seen them say, well, maybe the way we've designed and
- 22 located the house should be reevaluated so that we don't
- 23 have this problem of the driveway and the hammerhead
- 24 right along the northern property line. It's sort of
- 25 the once again, you know, what forces the decision?

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- 1 the river and all of that.
- 2 COMMISSIONER PASSOVOY: I'm at the point
- 3 where I can make a decision. Matt, did you have
- 4 anything to add?
- MR. McGRAW: Yeah, I think just to go back
- 6 on some things that Neil has said. This is an
- 7 inherently more hazardous place to build and thus we
- 8 hold it to higher standards. There are so many things9 that could go wrong in a place like this. Regardless of
- 10 whether or not this property is developed, disaster can
- 11 strike next door. For things that, you know, we do not
- 12 model for, that could lead to a larger discussion about,
- 4.2 ---- l----- ---- ---- l----- l----- l----- l'l--- 4l-i--
- 13 you know, what and how we build in places like this.
- But, you know, the question is, if the
- 15 standards we have for this Applicant today have been
- 16 met? But that's what we can do. I think that other
- 17 conversation is really important to have.
- 18 **COMMISSIONER PASSOVOY:** Put that on the
- **19** list.
- 20 MR. McGRAW: Yeah, right.
- 21 **COMMISSIONER CARTER:** I don't doubt that the
- 22 engineering is correct. I think the question before us
- 23 is whether -- whether an alternate proposal -- a more
- 24 appropriate alternate proposal -- was considered. And
- 25 looking at the map that we have above us of the current

- 1 Which part of the design forces the decision?
- **CHAIR MORROW:** Yeah, I mean, it is a long
- 3 process. But we really do have to seriously take and
- 4 consider the neighbor's property rights and how our
- 5 decision affects, or could affect, their property. And
- 6 so that's kind of why we're stuck here, I think, which
- 7 is -- you know, I'd like to say obviously there was no
- 8 reason for Adam to look for an alternative so he didn't.
- **9** It fit. It was fine. I think we've come to a point
- 10 that it would be nice to see if there is a less
- 11 impactful alternative.
  - COMMISSIONER PASSOVOY: But does that rise
- 13 to the level of a claimed error or abuse of discretion?
- 14 That's what --

12

- 15 **CHAIR MORROW:** I guess -- and, again, like I
- said with the error, you know, is it an error not to
- 17 evaluate alternative locations? Maybe it was, maybe it
- 18 wasn't. You know, at this point it appears like it was.
- 19 But, you know, when Adam first looked at it, there was
- 20 no reason for him to go, hey, let's see six other21 driveway locations, you know, or six other house
- 22 placements. So I think that's kind of a hard -- you
- 23 know, are we within our right to do this? Yes, I think
  - MR. McGRAW: I think that for there to be --

24 so.

Page 81 Page 83 1 the error to be large enough for someone to say that 1 do we say? 2 this needs further consideration, there has to be some MR. JOHNSON: Yeah, as a starting point and 3 evidence, other than colloquialisms, that there are 3 then I'll kind of walk you through how I'd outline --4 damages; that the standards are inadequate or being You'll get the findings and decision. CHAIRMAN MORROW: And then we'll be able to 5 incorrectly applied. You know, hard evidence as has 6 been provided by the Applicant to say that they've met, -- yeah, it will be written. 7 you know, the standard, some benchmark to say that it's 7 MR. JOHNSON: I just need to know where we 8 insufficient by, you know, the rules that we decided it 8 are even. 9 needs to be judged by. I -- I don't feel like I've 9 CHAIR MORROW: Yeah. 10 heard that. **COMMISSIONER PASSOVOY:** Well, that's -- that 10 11 **COMMISSIONER PASSOVOY:** That's an excellent 11 is my -- I don't know if that's a motion or if that's a 12 point, Matt. I guess what I -- I would say, I mean, I 12 suggested outcome. 13 don't see an error or an abuse of discretion. I only 13 **MR. JOHNSON:** That was a good motion. 14 can say that I wish in the earlier stages as we went 14 **CHAIR MORROW:** Yeah, good enough. 15 forward -- it's not up to me to tell somebody how big a 15 MR. McGRAW: Second. 16 house to build or anything -- but the Applicant might **CHAIR MORROW:** All in favor? 16 17 have said -- or the staff might have said to the 17 **COMMISSIONER PASSOVOY:** Ave. 18 Applicant, you know, this driveway location, as required MR. McGRAW: Aye. 18 19 by the -- not the location but the elements of the **COMMISSIONER MOCZYGEMBA:** Aye. 19 20 driveway as required by the fire department are going to 20 **CHAIR MORROW:** All opposed? 21 -- might very well cause a problem for the property 21 MR. CARTER: Nay 22 owner. Why don't you go back to your -- just as we sent 22 CHAIR MORROW: Nay. Three to two. 23 AURA (ph) back -- why don't you go back and maybe see if 23 MR. JOHNSON: So, Commissioners, based on 24 you can redesign this house plan so that the driveway 24 the discussion, usually with an affirm it's a simpler 25 can be located elsewhere. They didn't do that. But I 25 decision to write. But I think I will try to Page 82 Page 84 1 don't think that rises to the level -- or maybe they did 1 incorporate some level of discussion about concerns on 2 do that in conversation. But I don't think that what 2 the site, but noting that ultimately it appears where 3 was done or not done rises the to the level of an error 3 the Commission arrived at is based upon the remand, 4 or abuse of discretion. 4 additional engineering and modeling was done. That's COMMISSIONER MOCZYGEMBA: Yeah, I think 5 been provided. That evidenced certain things to the 6 Matthew brings up a good point. And I kind of stick 6 determination of the planning department to arrive at a 7 with my original thought that I would -- I'm leaning conclusion. The Commission ultimately found there 8 towards affirming the decision. Again, we can look for wasn't clear error or abuse of discretion in applying 9 alternatives for days. The best alternative is to not 9 that, and so therefore affirmed the decision. Does that 10 develop the lot. But I think this is a tricky lot. sound like it mostly captures it? **CHAIR MORROW:** Yes. 11 It's a flag lot that's hemming in the driveway for --11 12 well, a lot of feet. And then it has essentially MR. JOHNSON: Okay. So we'll -- I'll draft 12 13 low-lying wetland and floodplain at a diagonal to the that up and we'll have that for you for hopefully your 14 other three corners of the lot. 14 next meeting. 15 So, I don't know, I don't think there was 15 **CHAIR MORROW:** Just as an off-topic since 16 any error made. And, again, I appreciate the we're kind of on topic, as we rewrite the code, can we reevaluation and the time and resource that has gone change that standard of review? 17 into providing that evidence. 18 MR. JOHNSON: Yeah. 18 19 **CHAIR MORROW:** So we're thinking about --19 **CHAIR MORROW:** Okay. 20 does everybody kind of know where they are? 20 MR. JOHNSON: It's in city code so --THE COMMISSIONERS: (No response). CHAIR MORROW: Yeah, it could be a little 21 21 22 **CHAIR MORROW:** Okay. I'll take a motion. 22 more clear. Do you know what I mean? Because it's more 23 **COMMISSIONER PASSOVOY:** I move that we one of those where we're just tweaking the language so

24 affirm the decision by the planning staff and find in

25 favor of the Applicant, is that what we do? Matt, what

24 it really tells us what we want it to tell us instead of

25 the, hey, make it up on your own.

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          MR. JOHNSON: Great idea. It makes my job
 2 easier too.
          CHAIR MORROW: Yeah, and it would be easier
 4 for us. Because as you wrestle with that in your head,
 5 it's like, boy, if it had two more words in here, I'd
 6 know what I was doing.
          COMMISSIONER PASSOVOY: Matt, may be you
 8 could help us by suggesting some appropriate language as
   we update the code.
10
          MR. JOHNSON: Sure, yeah.
          CHAIR MORROW: Staff do you have anything
11
12 else for us?
13
          STAFF: No.
14
          CHAIR MORROW: That's it. So then I will
   call the meeting, and I appreciate everyone's time and
   attention. And we will be here. We'll see you again.
17
          STAFF: Would you mind doing a motion to
18
   adjourn and a second.
19
          CHAIR MORROW: I will do a motion to adjourn.
          COMMISSIONER PASSOVOY: I second.
20
21
          CHAIR MORROW: All in favor?
22
          THE COMMISSIONERS: Aye (unanimous).
          MS. LANDERS: Thanks everybody.
23
24
          THE COMMISSIONERS: Thank you.
25
     (Thereupon, the hearing adjourned at 8:30 p.m.)
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                                               CERTIFICATE
         STATE OF IDAHO
                                             )
  3
         County of Bonner )
  4
        I, David E. Hix, ASCR, Freelance Court Reporter and Notary Public for the State of Idaho do hereby certify:
  5
  6
        That I was duly authorized to and did report the testimony and evidence in this cause;
  7
         That the foregoing pages of this A/V hearing transcript constitute a true and accurate transcription of my stenotype notes from a recording furnished by
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        I further certify that I am not an attorney nor counsel of any of the parties; nor a relative or employee of any attorney or counsel connected with the action, nor financially interested in the action.
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12
        IN WITNESS WHEREOF, I have hereunto set my hand and seal on this the 3th day of October, 2024.
13
                                              Dend Ext
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15
                                        David E. Hix, ASCR
Freelance/Official Court Reporter,
Notary Public, State of Idaho
My Commission expires: August 16, 2027
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### In The Matter Of:

Re: 2024 Administrative Appeal of Osborns and 121 Badge

## Audio Transcription August 13, 2024

M&M Court Reporting LLC 1-800-879-1700

Coeur d Alene ID 83814 info@mmcourt.com

Original File Audio081324.txt

Min-U-Script® with Word Index

1	CITY OF KETCHUM, IDAHO
2	PLANNING AND ZONING COMMISSION PUBLIC HEARING
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5	ADMINISTRATIVE APPEAL (P23-014B) 121 BADGER LANE, LLC
6	121 BADGER HANE, HIC
7	Taken at: 191 5th Street West Ketchum, Idaho
8	Tuesday, August 13, 2024, 4:30 p.m.
9	Before: The Planning & Zoning Commission
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12	
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14	
15	HEARING TRANSCRIPT
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17	
18	
19	
20	
21	Reported by David E. Hix, ASCR, for M&M Court Reporting
22	Inc., 816 East Sherman Avenue, Suite 107, Coeur d'Alene Idaho 83814, (800) 879-1700, Freelance/Official Court
23	Reporter and Notary Public for the State of Idaho.
24	
25	

1	APPEARANCES
2	THE PLANNING & ZONING COMMISSION:
3	Neil Morrow - Chairman
4	Susan Passovoy - Commissioner
5	Brenda Moczygemba - Commissioner
6	Tim Carter - Commissioner
7	Matthew McGraw - Commissioner
8 9 10 11	ALSO PRESENT: Morgan Landers - Director Planning & Building Abby Rivin - Senior Planner Adam Crutcher - Associate Planner Paige Nied - Associate Planner Genoa Beiser - Zoning Technician Heather Nicolai - Assistant to the PB Director Matthew Johnson - City Attorney
12 13 14 15 16 17 18	SPEAKERS (In Order of Appearance) Chair Morrow
20	
21	
22	
23	
24	Certificate of Court Reporter86
25	

1	Tuesday, August 13, 2024
2	(4:30 p.m.)
3	CHAIR MORROW: This is the Planning and
4	Zoning Commission meeting for Tuesday, August 13, 2024.
5	It's 4:30. I will call the meeting to order and do the
6	roll call: Matthew?
7	COMMISSIONER MCGRAW: Here.
8	CHAIR MORROW: Brenda?
9	COMMISSIONER MOCZYGEMBA: Here.
10	CHAIR MORROW: Susan?
11	COMMISSIONER PASSOVOY: Here.
12	CHAIR MORROW: Tim?
13	COMMISSIONER CARTER: I'm here.
14	CHAIR MORROW: And I'm here. So all
15	Commissioners are here. We have a Consent Agenda. If
16	no one has any changes, corrections, typos, I will take
17	a motion for the whole Consent Agenda.
18	COMMISSIONER PASSOVOY: The button is gone.
19	Oh, there it is. I move we approve the Consent Agenda.
20	COMMISSIONER MOCZYGEMBA: I'll second.
21	CHAIR MORROW: All in favor?
22	THE COMMISSIONERS: Aye (In unison).
23	CHAIR MORROW: All right. We can move on to
24	the public hearing part of the meeting.
25	(121 BADGER LANE, LLC, 6:30 p.m.)

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- 1 CHAIR MORROW: All right. We are back in 2 session. Is it already over? Oh, my God. This is a
- 3 recommendation and review and to make a Determination of
- 4 Administrative Appeal, P23-014B, for the Floodplain
- 5 Development Permit issued at 121 Badger Lane. Adam?
- 6 MR. JOHNSON: So --
- 7 CHAIR MORROW: Oh, I guess we're going to go
- 8 to Matthew.
- 9 MR. JOHNSON: Yeah, yeah, Commissioners,
- 10 Matthew Johnson, city attorney. This is -- for most of
- 11 you, you've been through this process once with this
- 12 application, but, Matthew, particularly for you. This
- 13 is an administrative appeal action. There's certain
- 14 decisions under city code that planning -- planning
- 15 staff and really the planning director are authorized to
- 16 actually make a decision. However, in those cases, any
- 17 time there's an administrative determination, there is
- 18 an administrative appeal process whereby that decision
- 19 can be appealed up to the next level, which in this case
- 20 is from the planning director to the Planning and Zoning
- 21 Commission. Likewise, your decision could be appealed
- 22 up to the City Council.
- This particular project with 121 Badger Lane
- 24 contemplates a Floodplain Development Permit. This
- 25 matter has come before this board previously under the

- 1 same process. There was a determination of the planning
- 2 director that was administratively appealed up to this
- 3 board. The Commission didn't actually find an error,
- 4 but the result of that one was essentially what I would
- 5 call a remand back to staff for further consideration of
- 6 the information even though no finding of error.
- 7 What happened there was essentially it --
- 8 for practical purposes it essentially became kind of a
- 9 new application. Additional information was received.
- 10 The Planning Department came to a new determination on
- 11 the Floodplain Development Permit Application. That new
- 12 determination has now been appealed up to you. So
- 13 that's what's before you tonight on the administrative
- 14 appeal.
- 15 The -- both parties in this case, the appeal
- 16 has been filed by an affected party, a neighboring
- 17 property owner. It's not by the Applicant. The
- 18 Floodplain Development Permit decision at the planning
- 19 staff level was for approval for the Applicant. So in
- 20 this case, you have an appeal from a neighboring
- 21 property owner; that's the Osbornes, who are represented
- 22 by Gary Slette as their attorney. He will be here
- 23 tonight -- or is here tonight. Sorry Gary. And then
- 24 you have the Applicant essentially serving as a
- 25 Respondent, and they are represented by Danielle

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- 1 Strollo; Givens, Pursley, who is here as well.
- We -- through my office, the city attorney,
- 3 we essentially worked up a schedule with the Scheduling
- 4 Order that was approved by the Commission that provided
- 5 opportunity for each of the parties to do essentially
- 6 briefing like you would see in a typical case. You're
- 7 sitting in a quasi-judicial role. Those briefs have
- 8 been provided to you, the first one from the Osbornes as
- 9 the Applicant, then a reply from the Applicant, and then
- 10 a final response from the -- from the Appellant.
- The way we do this, you hold a hearing.
- 12 It's closer to like a court hearing. You are sitting in
- 13 kind of a quasi-judicial capacity, so put your fancy
- 14 black wigs and black robes on. And we'll hear first
- 15 from the Appellant, represented by Gary Slette; and then
- 16 turn it over to Danielle Strollo, a final reply.
- 17 You absolutely have discretion though to ask
- 18 questions, if you think appropriate. It's good to ask
- 19 them at the time. I don't believe staff is going to
- 20 provide any kind of formal response on this one. But,
- 21 obviously, staff is here and available to answer
- 22 questions you may have.
- 23 Ultimately, we -- we ask you to come to
- 24 direction on a decision. Options may be, you know,
- 25 affirm the determination as it was at the planning

- 1 director level; reverse it for some reason; or remand
- 2 with some kind of comments. And I'm happy to help put
- 3 that together.
- 4 Ultimately, I'll ask you for direction that
- 5 enables me to actually draft a document, the draft
- 6 findings and conclusions of law and decision, which will
- 7 come back to you within 30 days for your final approval.
- 8 And you'll, of course, have the chance to amend that,
- 9 adjust it as you want. Any questions on process for me?
- 10 THE COMMISSIONS. (No response).
- 11 MR. JOHNSON: All right. I'll turn it back
- 12 over to the Chair, and it would be to call Mr. Slette.
- 13 CHAIR MORROW: Just make sure that mic is on
- 14 when you step up there, Gary.
- MR. SLETTE: Good evening, Members of the
- 16 Commission. My name is Gary Slette. It's nice to be
- 17 back in front of you again with regard to this appeal.
- 18 I'll introduce my clients, Stephanie and Nick Osborne.
- 19 They are the neighbors of the Applicant's property. And
- 20 I'm sure you probably recall them from the last
- 21 go-round. I intend to make some brief -- I promise --
- 22 opening comments, and then Mr. Osborne wishes to
- 23 conclude with some additional comments from his
- 24 perspective.
- 25 Having been involved in land use activities

- 1 in all of Blaine County for the last 40 years, I can
- 2 just tell you I applaud you for your patience and
- 3 handling of matters like the last application. It's not
- 4 easy, I know, for you sitting up there trying to respond
- 5 to everybody's concerns that are raised. But I think
- 6 you did an admirable job.
- 7 As your city attorney observed, this is the
- 8 second appeal of this application. In many respects,
- 9 this appeal is similar to the first. As I stated at the
- 10 initial appeal, my clients are -- certainly recognize
- 11 private property rights and the ability of a landowner
- 12 to make use of his or her property. The manner in which
- 13 it is done is regarded by my clients as being of utmost
- 14 concern, if there's a potential for the development of a
- 15 neighboring property to impact their property. And if
- 16 you observed from the filing of our initial opening
- 17 brief and our reply brief, much of the concerns focus on
- 18 the bermed driveway that is proposed to be located
- 19 immediately adjacent to the Osbornes' property on the
- 20 Applicant's property.
- 21 As you know, the driveway was proposed at
- 22 that location. And then from the fire department
- 23 perspective, it came back that it had to be raised even
- 24 a greater amount, I think by a foot, which prompted
- 25 much, much greater concerns for this property simply

- 1 because of its location at the confluence of Warm
- 2 Springs Creek and the Big Wood River.
- 3 The Osbornes personally observed the
- 4 flooding events of 2017, which, if I recall correctly,
- 5 was not the base flood 100-year elevation but
- 6 significantly less than that, and still they were able
- 7 to observe flooding that occurred on the western end of
- 8 their property and the enhanced driveway location. They
- 9 believe, based on their analysis, is clearly -- and the
- 10 analysis of their own engineering firm -- is clearly
- 11 going to have an impact.
- 12 Well, what's the mechanism that has been
- 13 proposed to ameliorate or potentially alleviate that
- 14 concern? And as you saw in the previous appeal, it's
- 15 the placement of multiple culverts in some channels that
- 16 run from the Osborne's property into the neighboring
- 17 property. And we've certainly raised the issue on
- 18 appeal that the staff has failed to consider viable
- 19 alternatives to the placement of these multiple
- 20 culverts, which I'll explain later why we have
- 21 significant concerns about the use of culverts in this
- 22 location.
- I think the Applicant's attorney stated it
- 24 best on the second page of the response brief when she
- 25 said that the "Appellants are concerned about the

- 1 application of Ketchum Municipal Code 17.88.050(E)(21),"
- 2 which states: "Where development is proposed that
- 3 impacts any wetland, the first priority shall be to move
- 4 the development from the wetland area and consideration
- 5 of the availability of alternative locations for the
- 6 proposed use which are not subject to flooding or
- 7 erosion damage."
- 8 We know that the driveway, as it's currently
- 9 situated, lies further south than this proposed berm
- 10 driveway. So is there an alternative? By all means
- 11 there is an alternative. The alternative exists today
- 12 by virtue of how the driveway is currently located on
- 13 that property. We think that due consideration should
- 14 have been afforded to that location as a viable and
- 15 reasonable alternative to this bermed driveway.
- 16 And we also see that the rationale for the
- 17 location of this driveway is that there is a one-to-one
- 18 cut and fill. Meaning that fill is being proposed on
- 19 that northern boundary of the Applicant's property,
- 20 while cut areas are being proposed in the interior of
- 21 the property.
- Now, both Mr. Osborne and I have looked at
- 23 the Ketchum Municiple Code. And maybe I'm just missing
- 24 it -- or we're missing it -- but I don't see whereby the
- 25 provision of a one-to-one cut and fill that obviates the

- 1 application of the code for consideration of
- 2 alternatives. So perhaps someone can point me to that
- 3 location in the code that justifies this one-to-one
- 4 offset. Because moving the fill further north to create
- 5 the berm is what is causing the real issue for the
- 6 Osbornes, having observed flood flows on their property.
- 7 Now, Ms. Strollo has stated in her brief
- 8 that the flood flows will pass through the culverts.
- 9 And certainly in an ideal situation, that is how
- 10 culverts are meant to work. I recall at the last appeal
- 11 hearing Spencer Cordavano(ph) was just kind of itching
- 12 in his chair -- now occupied by you -- saying that I've
- 13 lived here for so long and I've seen what happens with
- 14 culverts.
- 15 And to that point, I prepared -- or I
- 16 attached some photographs showing what happens when
- 17 culverts do get plugged and the impacts they create.
- 18 And certainly in the Big Wood River Valley, when you're
- 19 on a river, adjacent to a river such as these properties
- 20 are, where this debris load is carried that indeed is
- 21 massive, or can be massive in nature, we just think that
- 22 it's inappropriate to use culverts as a solution.
- 23 Particularly in this case one of the
- 24 conditions that the staff has placed on this approval by
- 25 the staff is that the city has the right to go onto the

- 1 property to inspect it to make certain that the culverts
- 2 are maintained. But it begs the question to say we have
- 3 the right to go on the property and we can see if it's
- 4 being maintained. But if there's no one there to
- 5 maintain it, my question and the Osborne's question is,
- 6 who -- who do we call to maintain it? Is the city going
- 7 to come out with a backhoe when floodwaters are circling
- 8 around a plugged culvert to remove the debris that's
- 9 causing the obstruction that creates the rise in the
- 10 flood elevation? Is the landowner who owns the property
- 11 but was not party to this hearing process going to get
- 12 out there with a shovel and start cleaning the culverts?
- 13 Who do we call to ensure that the maintenance activities
- 14 are going to be undertaken?
- 15 It was coincidental that our paralegal found
- 16 a document that I referenced in my reply brief. It
- 17 looks like this (indicating). It's called the "Blaine
- 18 County Multi-Jurisdiction All Hazard Mitigation Plan."
- 19 And it's a document that's signed onto by the cities of
- 20 Bellevue, Carey, Hailey, Ketchum, and Sun Valley, as
- 21 well as Blaine County. And one of the highest priority
- 22 items for review -- or project review -- enumerated in
- 23 this particular plan is to develop a listing of roads,
- 24 bridges, culverts, and other limiting conditions for
- 25 flood flows. And so the idea that the word "culverts"

- 1 immediately proceeds other limiting conditions, to me,
- 2 is a tacit acknowledgment that culverts can and will
- 3 serve as a limiting condition to the passage of flood
- 4 flows.
- 5 So, I conclude in my reply brief that the
- 6 Ketchum Municipal Code allows the city to consider
- 7 amendments to draft or interim floodplain maps. And
- 8 that I believe would apply to the instant case to this
- 9 subject property. I believe there are draft floodplain
- 10 maps dated as of April 2024 which identify floodplain
- 11 changes for this proposed building site. And we would
- 12 encourage the P&Z to consider those proposed changes
- 13 when evaluating this application.
- 14 I was touched by Susan's statement during
- 15 the previous hearing when she stated, "Common sense and
- 16 what we observe personally should be watchwords when we
- 17 make decisions as a Planning Commission." And to that
- 18 note, that's why I suggested -- or maybe it dovetails
- 19 with the suggestion in my reply brief -- that an on-site
- 20 review of this property by the Commission, I believe,
- 21 would be an appropriate time-out.
- 22 It doesn't take much to notice up a review
- 23 on site so that the Members of the Commission can see
- 24 for themselves the channels that are on the west end of
- 25 the Applicant's property where these culverts are

- 1 proposed to be located. And you can see for yourself
- 2 and you can observe personally, as Susan stated, "What
- 3 the lay of the land looks like" and envision a rise of
- 4 more than a foot, up to two feet, of a berm being placed
- 5 at this location.
- So, with that in mind, I would ask the
- 7 Commission to consider an on-site review to get the lay
- 8 of the land. And also to that point, I would ask this
- 9 Commission to either table it for such an on-site
- 10 meeting, or based on what we've provided to you and what
- 11 you're about to hear from Mr. Osborne, a reversal and
- 12 remand of the staff decision.
- And with that in mind, if it's okay, I'd ask
- 14 Mr. Osborne to make his statements. And then if you
- 15 have questions for either of us, either before the
- 16 Applicant's presentation or after, we'd be happy to
- 17 stand for those.
- 18 CHAIR MORROW: Thank you, Mr. Slette.
- 19 Thank you.
- MR. OSBORNE: Hi, I'm Nick Osborne, owner of
- 21 105 Wood River Drive North, which is immediately to the
- 22 north of 121 Badger Lane. Thank you for your time
- 23 today. I appreciate it.
- We are here today because we continue to
- 25 have very significant concerns about the development

- 1 plan for 121 Badger Lane, and the review process and the
- 2 risk that it creates for our property. We've shared
- 3 our concerns with the Planning and Building Department
- 4 staff and with the developer of the property. But
- 5 logical alternatives have not been considered and
- 6 changes have been insufficient to address the issues.
- 7 As a result, this appeal is the only path that we have.
- 8 Today, I'd like to address three things:
- 9 One, our objectives in the appeal. Two, I'd like to
- 10 share with you some information about the site. It's
- 11 very hard to kind of wrap your mind around what it is
- 12 we're talking about unless you have some more -- and I
- 13 agree with Gary, it would be great if you guys wanted to
- 14 visit. You could see it for yourself. But we've tried
- 15 to present some exhibits that will help you understand
- 16 what's going on. And then I'd like to address very
- 17 briefly -- I think Gary has covered the reasons for our
- 18 appeal -- objectives. As we've stated before, we're not
- 19 trying to prevent development of the site. We have
- 20 neighbors on both sides, including the prior owner of
- 21 121 Badger Lane, who had development plans for the site
- 22 and that we had no issues with.
- We believe the proposed plan increases the
- 24 flood risk on our property. It is a very problematic
- 25 site that is prone to flooding from a variety of causes.

- 1 While we cannot eliminate those risks, we believe there
- 2 are simple ways to greatly reduce them.
- 3 The plans could be changed to eliminate the
- 4 elevated driveway on the property line and to avoid
- 5 existing filling -- to avoid filling existing flood
- 6 channels and wetlands. There's already -- already a
- 7 driveway on the site that could be used, as the P&Z
- 8 Commissioners suggested in our October 13th meeting.
- 9 Or, the driveway could be shifted so that
- 10 the flood issues that the development causes are borne
- 11 on the site consistent with the Ketchum code of
- 12 ordinances whose Statement of Purpose, Section
- 13 17.88.020(H), states: "To ensure that those who occupy
- 14 the areas of special flood hazard assume responsibility
- 15 for their actions."
- 16 Our objective is to find an alternative
- 17 which either eliminates the risk to our property and
- 18 requires the owner to assume the risk on -- or requires
- 19 the owner to assume the risk on their property.
- 20 However, the review process did not pursue such
- 21 alternatives and such alternatives were rejected by the
- 22 developer of the property because of the additional time
- 23 and cost the changes would require.
- So, just to give you an overview of the
- 25 site, just as we mentioned the last time we were here,

- 1 we know the site very well. We considered buying it
- 2 prior to purchasing our own property. At the time there
- 3 was a residence on stilts, and there was no LOMA for the
- 4 site. We've owned the neighboring property for
- 5 approximately 15 years and have witnessed the 2017
- 6 flooding on the site as well as others. We understand
- 7 what is not known to us may not -- we understand that
- 8 what is known to us may not be fully understood by
- 9 others.
- 10 What this pictures does -- sorry, it's hard
- 11 to see -- and I wish I had a pointer here. But you can
- 12 see the location of the 121 Badger Lane development
- 13 site. We're directly to the north. That area is the
- 14 junction of Warm Springs and the Big Wood River right up
- 15 here (indicating). South of the site -- or west of the
- 16 river, adjacent to the site, is the bottom of
- 17 Frenchman's Gulch on Bald Mountain. It is a steep,
- 18 rocky bank with little room for the river to move in
- 19 that direction and experiences occasional snow dams.
- Would you flip to the next one.
- 21 (Next Exhibit)
- MR. OSBORNE: The next comes from the Big
- 23 Wood River Atlas. I don't know if you guys have seen
- 24 it. It's something that I was familiar with. It's an
- 25 impressive document that was prepared in 2020 with

- 1 multiple local parties contributing, including the City
- 2 of Ketchum to its review. It identifies a number of
- 3 very important characters of the Big Wood River. Reach
- 4 6, which is shown here (indicating) is the portion of
- 5 the Big Wood River that flows adjacent to both
- 6 properties.
- 7 It's quite hard to make out, but if you can
- 8 see photo point number 2 -- I wish I had a pointer --
- 9 that's basically where the property is. Badger Lane
- 10 runs south to north, and Wood River Drive loops around
- 11 to the west. And our property is at the end of it.
- 12 There's a number of interesting things on
- 13 this chart: The black line is the historic channel
- 14 migration zone, which abuts both properties. So this
- 15 isn't just a floodplain issue. This is -- you know, it,
- 16 in fact, abuts the channel, the historic channel of the
- 17 river.
- 18 Riprap, which you see in kind of the black
- 19 and white dotted lines, during the 1980s, the river
- 20 actually ran adjacent to the properties and riprap was
- 21 installed to prevent flooding. Again, this is not just
- 22 floodplain.
- In the crosshatched red and pink sections,
- 24 you'll see the erosion that is occurring in that area of
- 25 the river. That was accelerated in 2017. The river is

- 1 naturally moving back toward the east. Even Warm
- 2 Springs flows directly from the west to the east against
- 3 the east bank and creates substantial erosion.
- 4 The final thing, which is really quite hard
- 5 to see in this presentation, is the green line which
- 6 identifies not one but two channels that run on our
- 7 property, from our property to 121 Badger Lane. And
- 8 we're going to give you a greater sense of that. Those
- 9 are the channels that fill with water during flood and
- 10 flow into wetlands on 121 Badger Lane.
- 11 Yeah, so this will give you a sense of the
- 12 channel. So this is what we call the "east channel."
- 13 This is in our backyard. And between that you'll see,
- 14 you know, a hump to the south. You can just make out
- 15 the corner of a historic cabin -- historic fishing
- 16 cabin, which is preserved on the property.
- 17 If you flip down, you'll see a second
- 18 channel. Again, this is on our side of the property.
- 19 This is on the west side of our property. So there's an
- 20 east channel and there's a west channel.
- 21 If you flip down, you'll see --
- 22 UNIDENTIFIED AUDIENCE: This is our --
- MR. OSBORNE: Oh, I'm sorry. Yeah, so this
- 24 is the east channel. Could you go back up so I get this
- 25 right? Yeah, so this is the east channel on our

- 1 property. Now go down. It flows into a channel on the
- 2 neighboring property, which then flows into wetlands
- 3 where the water is collected. This is the west channel
- 4 on our property (indicating) which, again, flows to the
- 5 adjoining channel on the neighboring property, which is
- 6 this (indicating). Those two channels are separated by
- 7 a large mound so water doesn't -- generally, except in
- 8 very extreme circumstances -- travel between those two
- 9 things -- between those two channels.
- 10 If you flip to the next page, you can see
- 11 the existing conditions of the property. This is from
- 12 the Applicant's plan. There's a few things to note
- 13 here: Everything in blue is in the floodplain. Here,
- 14 you can -- it's very hard to make out, but I'm going to
- 15 walk behind you, if that's okay.
- 16 UNIDENTIFIED AUDIENCE: (Inaudible).
- MR. OSBORNE: Oh, sorry, thanks, yeah, thank
- 18 you. So the eastern channel flows here (indicating).
- 19 The western channel flows here (indicating). It's
- 20 separated by this elevated section here (indicating).
- 21 Our cabin -- the historic fishing cabin -- is right
- 22 there (indicating). You'll also see the existing
- 23 driveway that we've talked about in the past, which
- 24 turns to the south before it enters the floodplain
- 25 currently, which avoids a lot of the backup issues that

- 1 we're concerned about.
- 2 The plan, however -- if you could go to the
- 3 next one, please.
- 4 (Next Exhibit)
- 5 MR. OSBORNE: Thanks, Steph. The plan,
- 6 however, moves the driveway to the perimeter of the
- 7 property, the north perimeter of the property directly
- 8 adjacent to our property line.
- 9 This is a cut and fill chart. We've got a
- 10 close-up to make it slightly easier to understand.
- 11 This shows the northern portion in the floodplain and
- 12 with the yellow and orange and red lines indicate is the
- 13 amount of fill that will be placed into -- placed into
- 14 those areas to accommodate the driveway. It's one to
- 15 three feet of fill will be added.
- So if you -- if you think back to the
- 17 photos we were just looking at, those channels, once
- 18 they get to the neighbor's property, are going to be
- 19 filled. There will no longer be any place for the water
- 20 to go from our side.
- If we could go to the next one.
- 22 (Next Exhibit)
- MR. OSBORNE: This is the plan development.
- 24 After the initial plan -- plans were prepared, it's
- 25 important to note it was determined that the driveway

- 1 needed to be raised further to provide adequate
- 2 clearance for emergency vehicles. Consider what that
- 3 means, it means that the expected flood conditions would
- 4 result in greater than one foot of water flowing over
- 5 the driveway. Raising the driveway creates a barrier to
- 6 that flow. There is simply no way that you can raise
- 7 the driveway without limiting the flow of floodwater
- 8 from our property to theirs.
- 9 The northern edge of the driveway and the
- 10 eastern channel will increase the elevation by more than
- 11 a foot. The western channel will run into the driveway
- 12 with an elevation of more than 5,787 feet, an increase
- 13 of over two feet versus the current elevation, and above
- 14 the BFE.
- Underneath the driveway, existing wetlands
- 16 and channels where water currently collects will be
- 17 filled with two to three feet of fill. The plan
- 18 contemplates adding culverts in the eastern channel
- 19 directly against our property line. If those are
- 20 blocked or back up, there is no place for the water to
- 21 collect on our property. And once again, I'll just walk
- 22 over and point that out to you (indicating). So to
- 23 accommodate the eastern channel, we've added culverts.
- 24 Those culverts --
- UNIDENTIFIED AUDIENCE: (Inaudible).

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- 1 MR. OSBORNE: Okay. If you look at the top
- 2 and you see the three circles -- can you see that? --
- 3 those are the culverts, okay, that go under the
- 4 driveway. And those address the eastern channel that we
- 5 just saw the pictures of. But nothing addresses the
- 6 western channel. Other than a single 12-inch dry well,
- 7 there is no drainage provided for in the western
- 8 channel, which because it is closer to the river
- 9 experiences even greater flows during the floods.
- 10 Because of the raised section of land between the
- 11 channels, water doesn't flow from the western channel to
- 12 the eastern channel, so there is no place for that water
- 13 to go.
- 14 The reasons for our appeal -- we've provided
- 15 a complete statement. I know you guys had a lot on your
- 16 agenda. I don't know if you've had a chance to review
- 17 that. Gary did a good job summarizing that, so I won't
- 18 try to do that for you again. But I do want to hit on a
- 19 few points.
- The review process did not evaluate
- 21 alternatives for the proposed driveway which would avoid
- 22 filling wetlands. Numerous findings of fact and
- 23 provisions of the City of Ketchum's zoning regulations
- 24 address risks resulting from floodplain development, the
- 25 importance of maintaining natural conditions of

- 1 floodplain, and require wetlands where development is
- 2 proposed that impact any wetland, the first priority
- 3 shall be to move the development from the wetland area.
- 4 That was not done.
- 5 Rather than considering alternatives, the
- 6 finding and decision -- the findings and decision relies
- 7 on the fact that there will be an offsetting amount of
- 8 wetlands created on the site. This is not a
- 9 determinative fact in the code. There is language
- 10 about it, but it's simply an obligation on the Applicant
- 11 to submit. But it does not override any other provision.
- 12 The review process did not appropriately
- 13 evaluate the inadequate and poorly planned drainage for
- 14 the western channel. All that is provided is a 12-inch
- 15 dry well versus three 24-inch culverts in the eastern
- 16 channel.
- In any event, the proposed culverts are
- 18 inadequate to ensure proper drainage. Culverts are a
- 19 poor solution because they get blocked sometimes inside
- 20 the culvert where the blockage can not be seen. The
- 21 condition of the approval is that the culverts are
- 22 required to be maintained and kept clear to ensure
- 23 sufficient carrying capacity and subject to inspection
- 24 by city staff.
- 25 The findings and decisions do not consider

- 1 that in flood conditions it may be impossible for the
- 2 culverts to be maintained and kept clear due to the
- 3 potential volumes of floodwater and debris. Because the
- 4 culvert inlets are almost directly on the shared
- 5 property line, any backup of the culverts creates
- 6 hazards for our property.
- 7 The proposed residence is being developed
- 8 for sale. The planning and building findings do not
- 9 address how these conditions will be enforced on future
- 10 owners who may or may not be full-time residents. And
- 11 these culverts will do nothing to address floodwaters in
- 12 the western channel.
- 13 Floodplain maps, would you mind just
- 14 shifting to those?
- 15 (Next Exhibit).
- 16 MR. OSBORNE: These maps show the prior FEMA
- 17 floodplain map and the current draft dated April 20,
- 18 '24. The differences are significant and create a
- 19 meaningful flood risk. What you'll see in this -- this
- 20 is basically the same site that we saw before. In the
- 21 center, there is a building envelope, admits the
- 22 floodplain. If you look to the most recent draft, that
- 23 goes away indicating the expectation for increases in
- 24 water levels during floods in this neighborhood.
- 25 The findings and decision did not address

- 1 the fact that the floodplain map -- the site is out of
- 2 date and changes in the draft FEMA floodplain map would
- 3 increase water levels across the site, return the
- 4 building envelope to -- on the site to floodplain and
- 5 expand the floodway adjacent to the site and neighboring
- 6 properties.
- 7 Zoning Regulation 17.88.050(G)(1)(a) allows
- 8 the city to consider whether there have been any
- 9 significant amendments to the city's draft or interim
- 10 flood maps which will apply to subject approval. The
- 11 subject property is not only in the floodplain but
- 12 adjacent to the historic channel of the river.
- 13 Finally, the cabins, part of the reason
- 14 we're concerned is that we -- when we purchased the lot,
- 15 it used to be a fishing camp down there and there was a
- 16 historic fishing cabin that was identified by a review
- 17 that was done of historic places by the town and the
- 18 historic committee. This is within -- as I showed you
- 19 before, this is directly on the property line, within
- 20 feet of the elevated driveway where the flooding is most
- 21 likely to occur. The historic cabin remains on its
- 22 original foundation of river rock. As a result, the
- 23 cabin is not only at risk of flooding but also moving
- 24 and collapsing in flood condition.
- 25 If you'd flip to the next one.

1 (Next Exhibit) 2 MR. OSBORNE: And despite what the Applicant's counsel has said, this cabin sits where it 3 4 always has. This was a picture taken today. This thing has never moved. This is where it's always been. 5 6 Finally, our request, we think there is a solution to all of this: Send the application back to 7 8 the staff and ask staff to recommend alternatives that 9 will move the driveway from the wetlands, eliminate the 10 barrier created by the driveway on the property line, 11 address the proposed FEMA maps, and require the 12 Applicant to assume responsibility for the potential 13 flood hazards. 14 Let's be clear, this is a development project. The Applicant will not be the occupant of the 15 home. The city cannot be expected to assume 16 17 responsibility from the Applicant to monitor culverts and flooding hazards on private property, particularly 18 when there is a significant flood in town. 19 20 There are simple solutions that we've talked about already, and one of which was identified at 21 the last meeting, which we have proposed to the 22 23 Applicant. The Applicant has chosen not to consider 24 those at this point. But the alternative is a flood plan that will eventually cost both us and the city time 25

- 1 and money of their own.
- 2 Thank you very much for your time. We
- 3 appreciate you hearing our appeal.
- 4 CHAIR MORROW: Thank you. Go straight to
- 5 the --
- 6 MR. JOHNSON: So, Mr. Chairman, just --
- 7 while Danielle is coming up, I realize I skipped over
- 8 something in my -- my report really guick, and it's
- 9 important and I want to bring it up before both parties
- 10 will get a chance to --
- 11 As you're reviewing this, you have what's
- 12 called a "standard of review." That's the legal
- 13 standard by which you review something. On an
- 14 administrative appeal -- you've got the section in the
- 15 staff report from me, but I just want to note that this
- 16 is not supposed to be a time for any entry of new
- 17 information. You're not supposed to bring that in.
- 18 You're really just looking at the record that was before
- 19 staff below. And I'm not saying that because I have
- 20 some concern about it immediately, but that may come up
- 21 in rebuttal from either side.
- 22 And so I just wanted you to understand why
- 23 that may be important and how that standard of review
- 24 comes into play. And as you get to your deliberations,
- 25 if we need to talk more about it -- I know we spent

- 1 quite a bit time on it at the last go around. So --
- 2 COMMISSIONER PASSOVOY: Matt, so if I have
- 3 some questions, I should wait until we get to the
- 4 deliberation part?
- 5 MR. JOHNSON: You -- it's up to you when you
- 6 can ask questions. If you feel like it's best to get
- 7 them answered now because it's something immediate, you
- 8 definitely can. But if you want to save them up for the
- 9 end, you can. The biggest part is if there's any sort
- 10 of questions that lead that information from one side, I
- 11 do advise that the Appellant always gets sort of a last
- 12 opportunity, since they're the appealing body, to at
- 13 least rebut something if they would.
- 14 COMMISSIONER PASSOVOY: This is strictly the
- 15 standard of review. I had this question before -- last
- 16 time -- and I still have the question. Because what's
- 17 stated in the standard of review isn't really a standard
- 18 of review. We both understand that. But the language
- 19 that is used is whether there was an abuse of
- 20 discretion. And I think there's -- that's not in the
- 21 standard. It's what's being claimed by one party to the
- 22 other party, that the -- there was an abuse -- whether
- 23 or not there was an abuse of discretion on the part of
- 24 the staff. And there was one other word -- and I left
- 25 my notebook, unfortunately, at home, so I don't remember

- 1 the other thing. I can't remember, but -- so we'll just
- 2 stick with abuse of discretion. So, really, our
- 3 standard of review is determining whether or not we
- 4 think there was an abuse of discretion or --
- 5 MR. JOHNSON: Yeah, I think --
- 6 COMMISSIONER PASSOVOY: -- fill in the other
- 7 blank.
- 8 MR. JOHNSON: -- I think error is generally
- 9 what you're looking for, that there was clearly some --
- 10 some flaw --
- 11 COMMISSIONER PASSOVOY: Right.
- 12 MR. JOHNSON: -- abuse of discretion and
- 13 error.
- 14 COMMISSIONER PASSOVOY: Or a subject matter,
- 15 substantive flaw in --
- MR. JOHNSON: Yeah, or --
- 17 COMMISSIONER PASSOVOY: -- the decision.
- 18 MR. JOHNSON: Yeah, so that could be a
- 19 procedural issue or a clear technical error. That's
- 20 kind of what the debate is. And, of course, both
- 21 parties can argue that.
- COMMISSIONER PASSOVOY: Yes, and I
- 23 understand that they have and they will. I just wanted
- 24 to make sure that I understood, you know, is it the
- 25 preponderance of the evidence or is it, you know --

- 1 MR. JOHNSON: I think the best I can offer
- 2 is, what it's not is -- it's not a de novo review. It's
- 3 not a from scratch --
- 4 MS. PASSOVOY: Understood.
- 5 MR. JOHNSON: -- everything is new. You get
- 6 to hear everything. It really is an argument: Was
- 7 there some flaw in the determination of the body below
- 8 that warrants, you know, remand or modification or not?
- 9 COMMISSIONER PASSOVOY: Okay. Thank you
- 10 very much.
- 11 MS. STROLLO: Hello. As usual, this
- 12 microphone is too high. Okay -- or I'm too short, but
- 13 that problem sailed a long time ago. Hello, Members of
- 14 the Commission. My name is Danielle Strollo, and my
- 15 address, for the record, is 601 West Bannick Street in
- 16 Boise. And I'm here, once again, representing the
- 17 Applicant for development at 121 Badger Lane in Ketchum.
- 18 This Floodplain Development Application was prepared by
- 19 Brockway Engineering, who is based in Twin Falls. Erick
- 20 Powell, the lead engineer on this project, is available
- 21 to answer specific technical questions, as is the design
- 22 and developer team. Next slide please.
- 23 (Next Slide)
- MS. STROLLO: All right. So here's the time
- 25 line on this application. It's been three years since

- 1 we started working on this application. And as you
- 2 know, this is the second time the Osbornes have appealed
- 3 your planning administrator's approval of this
- 4 application, an approval based on the application's
- 5 review by both city staff and the city's third-party
- 6 engineers, Harmony Design and Engineering. Next slide
- 7 please.
- 8 (Next Slide)
- 9 MS. STROLLO: So after the prior appeal
- 10 hearing last December, this Commission found no error
- 11 but asked city staff to evaluate further information
- 12 with regard to Appeal Criteria 5 and 6, which have to do
- 13 with allowing for the function of the floodplain, sheet
- 14 flooding and floodwater carrying capacity.
- 15 City staff then treated this as a new
- 16 application, as your counsel said, with additional
- 17 notice to neighbors and opportunity to submit comment.
- 18 So the Applicant submitted the new application with
- 19 additional engineering models in February of 2024.
- 20 Since then, city staff have come back to the Applicant
- 21 numerous times asking us to address comments that were
- 22 submitted by neighbors, including the Osbornes. We did
- 23 address those comments. In fact, the Applicant has gone
- 24 above and beyond to address staff requests for more
- 25 information and clarification, and provided more than

- 1 code requires. After all of this additional
- 2 documentation and study, staff, in consultation with the
- 3 city's third-party engineer, approved the application a
- 4 second time. Next slide please.
- 5 (Next slide)
- 6 MS. STROLLO: I want to reiterate again here
- 7 that the Commission's role is to find that staff
- 8 committed an error or abuse of discretion in approving
- 9 this application. We understand there was interest in
- 10 ensuring no impact to neighboring property. But we have
- 11 addressed those concerns and in even greater detail for
- 12 this application. And now it's important to follow code
- 13 to ensure the Applicant's rights are protected along
- 14 with the neighbor's rights. This process protects both
- 15 and you can rest assured that with this application that
- 16 due diligence has been done.
- Now, with all of this additional information
- 18 the question here is did staff error or do something
- 19 wrong in approving this application? And the answer
- 20 is, no. Next slide please.
- 21 (Next Slide)
- MS. STROLLO: So these are the same general
- 23 arguments as the prior appeal, and we have addressed the
- 24 Appellant's concerns. The application meets the code's
- 25 requirements, again. That was determined by staff and

- 1 the city's third-party engineer. There was no error or
- 2 abuse of discretion. City staff was quite thorough,
- 3 again. And I'd encourage you to ask city staff about
- 4 the multiple times they asked the Applicant to respond
- 5 to comments. Again, this demonstrates the thoroughness
- 6 of the review. Next slide please.
- 7 (Next Slide)
- 8 MS. STROLLO: Ultimately, the basics are
- 9 this: The application here is for a single family home
- 10 and a driveway to serve that single family home. The
- 11 home is built out of the flood flows. The driveway
- 12 appropriately serves that home and meets code
- 13 requirements for emergency access. All of the
- 14 engineering evidence reviewed by the city demonstrates
- 15 definitively and conclusively that there will be no
- 16 impact of the driveway on the neighboring property.
- 17 The site's design uses established
- 18 engineering practices and culverts to ensure proper
- 19 drainage. The extensive modeling that staff and the
- 20 city's engineers have reviewed, multiple times at this
- 21 point over the past two years, show there is no change
- in floodwaters to the neighbor's property as a result of
- 23 this development. Next slide.
- 24 (Next Slide)
- MS. STROLLO: Since the prior appeal, the

- 1 Applicant did further modeling with a wider scope of the
- 2 river's dynamics, as well as taking a more precise view
- 3 of what's happening to neighboring properties here. We
- 4 did a HEC-RAS and High-8 analysis, as well as a
- 5 split-flow analysis with more details zeroing in on
- 6 specific concerns. We moved grid lines to align with
- 7 the property line, and that analysis still showed no
- 8 rise in waters to the neighbor's property. The site
- 9 added another culvert to allow for passage of
- 10 floodwaters. Even at a conservative 50-percent clog
- 11 factor, these address floodwaters and prevent any rise
- 12 in waters to neighboring property. Next slide please.
- 13 (Next Slide)
- 14 MS. STROLLO: So I want to address a couple
- 15 of specific points that the Appellants made today:
- 16 First, culvert maintenance, it is a condition of
- 17 approval that the culverts be maintained. City
- 18 enforcement here just -- acts just like any other
- 19 enforcement. The conditions of approval are absolutely
- 20 enforceable against the next property owner.
- 21 Wetlands, so there is one wetland
- 22 requirement in code criteria for approval and we meet
- 23 it. The driveway fills some wetland area and that fill
- 24 is mitigated entirely by creating wetland elsewhere to
- 25 preserve the natural function of the river. The

- 1 terminology confusion indicates the overarching message
- 2 here; that this is a technical application with
- 3 technical requirements examined by technical experts,
- 4 which has now been done twice.
- 5 The fishing cabin, whether or not it's in
- 6 its original location -- which satellite photos dispute
- 7 -- the fishing shed's age changes nothing about this
- 8 application. It's not entitled to special protection,
- 9 particularly special protection by the Applicant. If
- 10 the Appellant wishes to preserve the fishing shed and
- 11 thinks that it's vulnerable to flooding, they should
- 12 move it to another location on their property. We have
- 13 repeatedly shown that this development poses no risk to
- 14 their property.
- The new draft map, so we designed to the
- 16 best available information for this application. We
- 17 can't rely on drafts because they change, and we can't
- 18 be asked to redesign the site because it's been delayed
- 19 three years.
- 20 Finally, we're glad that the City of Ketchum
- 21 participates in the hazard mitigation plan, since then
- 22 it's eligible for Federal Hazard Funds in the event of
- 23 an emergency. But aligned with this hazard mitigation
- 24 plan, your code ensures the development's impacts are
- 25 minimized and mitigated. We meet that code requirement

- 1 by demonstrating exactly that with best engineering
- 2 practices.
- Okay, with that, I will pass it off -- yeah,
- 4 so I will conclude by saying there's nothing new in this
- 5 appeal, other than different words being used to convey
- 6 the same points. There's been a tremendous amount of
- 7 engineering by best-in-class engineers with familiarity
- 8 of this area and this river, and that engineering shows
- 9 no impact to the Osborne property.
- 10 All of the necessary criteria have been
- 11 reviewed and addressed by the city now twice.
- 12 Ketchum's technical experts have reviewed and approved
- 13 all the detailed analysis over two years of application
- 14 review. Again, this application satisfies Ketchum's
- 15 city code, protects public safety and the public
- 16 interest. This application does protect neighboring
- 17 property from impacts of development.
- 18 With that, I'll turn it over to Brockway
- 19 Engineering's Erick Powell to provide additional
- 20 engineering basics about this application.
- 21 MR. POWELL: Good evening, Commissioners.
- 22 My name is Erick Powell. I'm grateful to be here today
- 23 and discuss my favorite topic, which is water. Just a
- 24 little bit about me: I'm a senior engineer at Brockway
- 25 Engineering. I've been practicing for about 18 years.

- 1 I hold a bachelor's and master's degree in civil and
- 2 environmental engineering and a Ph.D. in ag engineering,
- 3 with a specialty in stream channel design. I'm licensed
- 4 as a professional engineer in Idaho, Nevada, Utah, and
- 5 Oregon.
- 6 We work -- Brockway Engineering has worked
- 7 extensively in the Wood River Valley for many, many
- 8 years. Chuck Senior was born in Ketchum, the same year
- 9 that his Sun Valley company was incorporated. And so we
- 10 have a long history in the valley, and we've done a lot
- 11 of work even for the City of Ketchum specifically. So
- 12 the next slide.
- 13 (Next Slide)
- 14 MR. POWELL: I appreciate city -- the city
- 15 attorney giving you some specific instructions on being
- 16 a judge, and that's hard when we're talking about very
- 17 technical information. And so I'm happy to address or
- 18 answer questions that you might have. But I wanted to
- 19 start by just talking a little bit about what the flood
- 20 maps are, and what the designation of a floodplain
- 21 versus a floodway is, and what those terms actually mean.
- 22 And so this is a scale of 1 to 500 feet.
- 23 We do show the Big Wood River and Warms Springs and that
- 24 confluence. The blue area is identified as the 100-
- 25 year floodplain, or in a statistical term it's the

- 1 probability of this area flooding 1 percent each year;
- 2 that's what that means. The fringe area on the -- in
- 3 orange is the 500-year floodplain, or the .2 percent
- 4 chance of flood. And then the red hatched area in the
- 5 middle is what is referred to as the floodplain. Now --
- 6 or sorry, the floodway. That was an error on my part.
- 7 So the floodway is important just because
- 8 that's the area that is the flood carrying capacity
- 9 identified by FEMA. And so any encroachment into the
- 10 floodway requires no rise, and engineers are required to
- 11 do no-rise analysis for encroachment in the floodway to
- 12 ensure that flood carrying capacity.
- The floodplain, FEMA does not prohibit
- 14 construction or development. As evidenced within the
- 15 city, and within Blaine County itself, there's lots of
- 16 development that has occurred in the floodplain. And so
- 17 this isn't new development in the floodplain. Or
- 18 floodplain development is not a new concept. It is one
- 19 that has existed for a while.
- 20 Flood maps are developed through a modeling
- 21 process. And the most common model that's used is
- 22 referred to as HEC-RAS, which is -- has been and
- 23 primarily still is used as what we call a "one-
- 24 dimensional analysis." And so we have cross sections
- 25 that exist and we interpellate between those cross

- 1 sections. And given the flood flow and flood -- other
- 2 parameters on the floodplain of roughness specters,
- 3 elevations of floodplains are established. And they
- 4 refer to those as "base-flood elevations." And so any
- 5 modeling work that is done always requires us to start
- 6 with those effective floodplain models, and so we use
- 7 those effective models. We have to match those models
- 8 with the current effective maps, and then we can start
- 9 to evaluate what will happen if we propose to modify the
- 10 floodplain or the floodway in any way. So the next
- 11 slide --
- 12 (Next Slide)
- 13 MR. POWELL: -- looks at a little bit more
- 14 close detail. So we actually here are showing FEMA
- 15 Cross Section EF down at the bottom; EG is up at the
- 16 top. Originally at the start of this process, we added
- 17 11 new cross sections through the property. We've
- 18 actually iterated several times with feedback from
- 19 Harmony and Viota both. And so we've tried to answer
- 20 those questions that have been addressed.
- 21 I would like to just highlight that Badger
- 22 Cross Section 6 does exist right on the northern
- 23 property line. We're going to talk about that in just a
- 24 minute. But we worked in an effort to be conservative.
- 25 We'll address that in a bit. Right above that is Badger

- 1 Cross Section 7. And so the next slide --
- 2 (Next Slide)
- 3 MR. POWELL: -- shows that cross section just
- 4 for illustrative purposes.
- 5 So the way cross sections are viewed is
- 6 pretend like you're in a canoe in the river, and what's
- 7 on the right is what would be on the right bank of the
- 8 river. So if you're -- the right hand -- sorry, what
- 9 hand am I looking at? My left-hand side is then the
- 10 east side of the river, so you're looking downstream.
- 11 That's going to be on -- your left-hand side that's
- 12 east. And so we're actually seeing that that's the
- 13 Osborne property. And so I appreciate the photos from
- 14 the Osbornes. They were showing what Mr. Osborne was
- 15 saying was the east channel we can see at the very far
- 16 left-hand side.
- 17 COMMISSIONER PASSOVOY: The left-hand side
- 18 as we are looking at this?
- 19 MR. POWELL: This one right here (indicating).
- 20 COMMISSIONER PASSOVOY: The left-hand side
- 21 of the picture?
- MR. POWELL: Yes, yeah.
- 23 COMMISSIONER PASSOVOY: And that's east?
- MR. POWELL: That's east, yep, yeah. So
- 25 another thing I really wanted to just point out here is

- 1 that floodplains are very variable. There's lots of
- 2 undulations. They're not smooth. We don't have this
- 3 classic trapezoid with a flat floodplains, but we have a
- 4 lot of undulations that are occurring. And there's a
- 5 lot of ability in a floodplain, especially with
- 6 excavation that can be done, without getting any permits
- 7 within a floodplain. And so we take these cross
- 8 sections and we can hydraulically evaluate the change in
- 9 flood elevations as we move downstream or upstream.
- 10 So with the remand that happened previously,
- 11 the questions kept asking were specific to what was the
- 12 impact of that -- what Mr. Osborne was calling the "east
- 13 channel?" So if we go to the next slide --
- 14 (Next Slide)
- MR. POWELL: -- so we went and looked at
- 16 specifically rather than the entire floodplain, we were
- 17 just looking at that flood -- excuse me -- the
- 18 floodplain fringe on that eastern boundary next to the
- 19 floodplain where that east channel, as Mr. Osborne has
- 20 called it, exists, so extending that channel through the
- 21 Osborne property and also onto the proposed 121 Badger
- 22 property.
- 23 So we have existing condition models that we
- 24 ran, and then looked at what those flood -- or what the
- 25 conditions would look like postdevelopment, or

- 1 postconstruction, on that same property looking at that
- 2 east property line.
- 3 COMMISSIONER PASSOVOY: Excuse me one
- 4 second.
- 5 MR. POWELL: Yeah.
- 6 COMMISSIONER PASSOVOY: I'm sorry, because
- 7 this is definitely not my wheelhouse. So is the blue
- 8 line what is being called the east channel?
- 9 MR. POWELL: No, the blue line -- that's a
- 10 great question. The blue line is actually the effective
- 11 floodplain delineation. That's the --
- 12 COMMISSIONER PASSOVOY: The boundary, that's
- 13 the boundary?
- 14 MR. POWELL: That's the floodplain map.
- 15 COMMISSIONER PASSOVOY: Water would come
- 16 from the river as far as that blue line, theoretically?
- 17 MR. POWELL: Theoretically, yep.
- 18 COMMISSIONER PASSOVOY: And the house --
- 19 this is -- of all of the material in both packages,
- 20 there was not, for me, a clear picture of where the
- 21 Osborne property is, vis-a-vi, 121 Badger Lane. So is
- 22 the -- are the two -- are the brown buildings the roofs
- 23 of the Osborne property?
- MR. POWELL: Yes.
- 25 COMMISSIONER PASSOVOY: Okay.

1 MR. POWELL: This is the Osborne property 2 (indicating). 3 COMMISSIONER PASSOVOY: Okay. 4 MR. POWELL: Badger 7. 5 COMMISSIONER PASSOVOY: Okay. MR. POWELL: Badger 7 label. 6 COMMISSIONER PASSOVOY: Thank you. 7 8 MR. POWELL: And the Osbornes' house is --9 has been and is outside of the floodplain delineation. 10 COMMISSIONER PASSOVOY: Okay. 11 MR. POWELL: So, we have to have bordering cross sections to evaluate obstructions like a bridge or 12 13 a fill. And so we do have Badger Cross Section 6 and 14 Badger Cross Section 5 that straddle the proposed driveway through this east floodplain fringe area, and 15 so we evaluated that specifically. With the additional 16 17 clogging factor that was recommended by Harmony, we had to add another culvert, a third culvert, to ensure that 18 19 there was no rise at that Badger Cross Section 6: 20 (Next Slide) MR. POWELL: So the next slide just shows a 21 table of all of those cross sections. If you hit the 22 23 next button, it will just highlight Badger 6, that cross 24 The current condition model and the proposed project model, the difference at that property line, is 25

- 1 0.0 feet.
- 2 So how can that be, right? If we -- as has
- 3 been allude to, that we're damming up this east channel,
- 4 and so that's a question that I found intriguing. I
- 5 wanted to investigate and find out why that really was
- 6 the case. And it really comes down to the variability
- 7 of the floodplain itself. That currently, there are
- 8 high spots in this supposed east channel that are at the
- 9 same elevation as the proposed driveway. And so to be
- 10 conservative, we actually used the low spots of the
- 11 topography as our cross section for that Badger Cross
- 12 Section 6.
- But if we go to the next slide --
- 14 (Next Slide)
- MR. POWELL: -- so this is the topography of
- 16 the existing system. This is part of the survey that
- 17 was originally -- that you've seen before. We're going
- 18 to highlight with the next click --
- 19 (Next Slide)
- 20 MR. POWELL: -- this area right at the
- 21 north. So if we zoom in on that, by clicking again --
- 22 (Next Slide)
- MR. POWELL: -- I just want to point out
- 24 that the -- that the elevations here range substantially.
- 25 And so we have --

1 COMMISSIONER PASSOVOY: Because of these 2 undulations you referred to? 3 MR. POWELL: Yeah, so we have elevations of 4 57.87 here (indicating). We have 5786.1 here. This --5 is -- there ends up being this hole that exits in the area of this proposed driveway. And during flood 6 conditions, that hole would fill with water. But 7 8 there's no way for that water to be conveyed because 9 there's high ground all the way around it because it's a 10 hole, okay. So if we go to the next slide --11 (Next Slide) MR. POWELL: -- this actually shows the 12 13 proposed driveway and that same hole location. And if 14 you look at the elevation through the driveway through 15 that hole, it's -- it says 86. Now, they've truncated the 5786 just for sake of ease of description. But 16 17 what's really happening is that the driveway is being -the elevation of the driveway is adjacent to native 18 19 ground elevations, but there's a hole that's being filled. 20 And so we're not necessarily putting this big dam, or levy, or some sort of obstruction across the 21 22 entire floodplain. We're actually just matching the 23 existing elevations that are there. So the BFE in this area is greater than 5786. So flood flow will still 24 continue to function over the driveway. The culverts 25

- 1 will function and be able to convey water at lower than
- 2 BFE elevations. But during base flood elevations,
- 3 during that 100-year flood event, the driveway will act
- 4 just like the existing ground elevations that are there.
- 5 And so, again, it's a really important thing
- 6 to note that we're not necessarily damming off or
- 7 cutting off access to anything. This is -- you know,
- 8 the hydraulic control of ground that's there is going to
- 9 be very similar to this driveway. Yeah, please.
- 10 COMMISSIONER MOCZYGEMBA: Quick question.
- 11 Is -- obviously, but please clue me in -- how has it
- 12 evaluated the angle of the culverts in relation to that
- 13 existing east channel?
- 14 MR. POWELL: So the culverts were placed
- 15 where there was sufficient space and the lowest
- 16 elevation that existed. And so it does connect that
- 17 together.
- 18 COMMISSIONER MOCZYGEMBA: Okay.
- 19 MR. POWELL: So just in summary, the next
- 20 slide --
- 21 (Next Slide)
- MR. POWELL: -- just talks about that we
- 23 have had the extensive engineering that has been done on
- 24 this property. Me personally, this is the most that's
- 25 ever been required for a residential development that

- 1 the city has asked for. We have developed model after
- 2 model trying to answer the questions that are raised.
- I want to make it very clear that no levy is
- 4 being proposed for the driveway; that there are low
- 5 spots there are being filled, and they are -- in some
- 6 cases they are deep. But we're not necessarily blocking
- 7 off this continuous east channel that exists in 121.
- 8 So the elevations of the proposed driveway
- 9 are similar to nearby ground elevations. We did
- 10 increase the number of culverts. Culverts are standard
- 11 engineering practices. The City of Ketchum does
- 12 recommend culverts, and so that's not something that's
- 13 outside of normal applications. We -- we did add
- 14 another culvert just to comply with Harmony's
- 15 recommendation to evaluate at 50-percent clogging.
- 16 The floodplain will continue to function.
- 17 This is not going to somehow eliminate on entire stretch
- 18 of floodplain. The floodplain will continue to
- 19 function. And that modeling shows no rise at the
- 20 neighbor's property. And that that has been reviewed
- 21 substantially by city staff and third-party engineer
- 22 Harmony.
- With that, any other questions that you
- 24 have?
- THE COMMISSIONERS: (Indicating).

- 1 MR. POWELL: Yeah.
- 2 COMMISSIONER MOCZYGEMBA: I have a follow-up
- 3 question to my other question. If there were room on
- 4 the property for those culverts to be at a different
- 5 angle, would that increase their efficiency? Even
- 6 though there's a model that shows no rise, would
- 7 straightening those things out more in parallel to the
- 8 east stream, or whatever we want to call it, would that
- 9 help?
- 10 MR. POWELL: So it would really just reduce
- 11 the length of the culverts.
- 12 COMMISSIONER MOCZYGEMBA: Okay.
- 13 MR. POWELL: The culverts would still --
- 14 COMMISSIONER MOCZYGEMBA: Okay.
- 15 (Two speakers at the same time.)
- 16 MR. POWELL: -- function. They still would
- 17 be efficient.
- 18 COMMISSIONER MOCZYGEMBA: Okay.
- 19 MR. POWELL: It would just reduce the length
- 20 and it would not reduce them substantially. It would
- 21 be, you know --
- 22 COMMISSIONER MOCZYGEMBA: Right.
- MR. POWELL: -- a few feet.
- 24 COMMISSIONER MOCZYGEMBA: Right. Okay.
- 25 Thank you.

- 1 COMMISSIONER PASSOVOY: Once again, this is 2 a very, very layperson question: Along the property 3 line, we understand there were -- without the driveway 4 there are undulations. And so the assertion of -- your 5 assertion or explanation is is that the driveway does not create a berm. But do I understand that basically 6 the driveway flattens out those undulations? 7 8 MR. POWELL: There will -- yeah, sorry. 9 COMMISSIONER PASSOVOY: Okay. And is the -and that the highest point of any undulation is no lower 10 11 than the driveway elevation? Am I -- am I confusing 12 you? 13 MR. POWELL: So say that again. The highest 14 elevation of those undulations --15 COMMISSIONER PASSOVOY: Okay, so the undulations are like this (indicating) --16 17 MR. POWELL: Uh-huh. COMMISSIONER PASSOVOY: -- up and down and 18 up and down. Where the driveway essentially flattens 19 that series of undulations, it makes it a straight line. 20 21 MR. POWELL: Right. 22 COMMISSIONER PASSOVOY: Is it fair to say 23 that the highest point of any undulation is no -- is not

lower than the driveway? So the driveway, the highest

point of the driveway is no higher than the highest

24

25

- 1 level of this series of undulations.
- 2 MR. POWELL: Yes.
- 3 COMMISSIONER PASSOVOY: Okay.
- 4 MR. POWELL: That is correct.
- 5 COMMISSIONER PASSOVOY: Okay.
- 6 MR. POWELL: In most cases those highs --
- 7 COMMISSIONER PASSOVOY: Would be -- would be
- 8 lower. But I just -- just -- it flattens it out so in a
- 9 sense it is a berm. But the berm is no higher than the
- 10 highest undulation that exists out there. Okay.
- 11 COMMISSIONER CARTER: To follow up on that,
- 12 did you say that the driveway is below BFE?
- MR. POWELL: Yes.
- 14 COMMISSIONER CARTER: By how much?
- MR. POWELL: So if we go back to that -- the
- 16 base flood elevation in this -- this stretch is 5786.5
- 17 or .7, somewhere in that range. So it's over 86 point
- 18 something. And so there are areas that are outside of
- 19 the floodplain. So the floodplain is actually -- the
- 20 hammerhead turnaround is outside the floodplain, the
- 21 mapped area. And so as you move around towards the
- 22 residence, the residence has to be built two feet higher
- 23 than the BFE. And so there is -- that driveway will
- 24 increase as you approach the residence. And so there
- 25 are -- but the majority of the driveway within the

- 1 floodplain is lower than the BFE.
- 2 MR. McGRAW: The 86 number, point something,
- 3 was that the BFE or was that the driveway elevation?
- 4 MR. POWELL: That is the BFE elevation.
- 5 MR. McGRAW: It would be at the property
- 6 line?
- 7 MR. POWELL: Yes.
- 8 CHAIR MORROW: We're good? Nothing else?
- 9 THE COMMISSIONERS: (No response.)
- 10 CHAIR MORROW: Okay. Thank you.
- 11 MR. POWELL: Thank you.
- 12 MR. JOHNSON: So, Chairman and
- 13 Commissioners, there will be a rebuttal from the
- 14 Appellant, but this might be a good time if you have --
- 15 if you already know you have questions, if you want to
- 16 ask them now so that the Appellant can deal with them in
- 17 rebuttal at one time rather than end up going back and
- 18 forth, if they're sort of pressing questions. Or, if
- 19 you just want to go straight to the a Appellant
- 20 rebuttal?
- 21 CHAIR MORROW: I'm good for -- I'm going to
- 22 assume --
- 23 COMMISSIONER PASSOVOY: (Inaudible)
- 24 questions --
- 25 CHAIR MORROW: Yeah, I have comments but

- 1 mostly in deliberation, so --
- 2 MR. SLETTE: Thank you. Gary Slette, again,
- 3 for the Osbornes. I think what you heard was a great
- 4 engineering analysis of the east channel as referenced
- 5 by Mr. Osborne during his comments. But I believe it
- 6 was the elevation raise of the west channel that was of
- 7 profound concern for him and his wife with regard to the
- 8 impact on their property.
- 9 As we sit here looking at a piece of paper,
- 10 it really bears out what my suggestion was earlier: Is
- 11 this an opportunity where the Commission avails itself
- 12 of the chance to actually look at the property
- 13 physically on site so you understand how much that raise
- 14 is going to occur near the hammerhead and the west
- 15 channel. So I'm going to make that suggestion again to
- 16 the Commission. Certainly in my experience in other
- 17 jurisdictions, on-site reviews are not out of the
- 18 ordinary, and I'd urge you to do that.
- 19 I would agree with Ms. Strollo that it is
- 20 important for the Commission to follow the code. And
- 21 that's why we have referred in our memorandum to Section
- 22 17.88.050(E)(21): "Where development is proposed that
- 23 impacts any wetland, the first priority shall be to move
- 24 the development from the wetland area." And I guess
- 25 that's where standard of review issues arise, whether

- 1 you call it an error or an abuse of discretion or what
- 2 have you. But I ask -- and not rhetorically -- where is
- 3 consideration given to moving the development from the
- 4 wetland area with regard to the driveway? And I ask
- 5 again, where does this one-to-one ratio come into play?
- 6 Because it just seems like, okay, what we're going to
- 7 do, we'll fill up and create the berm area next to the
- 8 Osbornes' property, and we'll dig a hole somewhere else
- 9 and we'll call that a one-for-one exchange. But it's
- 10 the location of where that's done that matters most, not
- 11 the mere fact that a cubic yard here equals a cubic yard
- 12 there.
- I would also agree with Ms. Strollo that the
- 14 home is to be located out of the flood area, as Zack
- 15 (sic) just indicated to you. That's certainly a code
- 16 requirement. Our concern is that the driveway is not.
- 17 It's great that the culverts are planned for a 50-
- 18 percent clog factor. But what happens when it's a 100-
- 19 percent cloq factor?
- 20 And I guess that kind of begs the question,
- 21 like Ghost Busters: Who are you going to call? Who are
- 22 the Osbornes going to call? Are they going to call
- 23 their neighbor and say, you know what the city said:
- 24 You have to maintain it. And if they don't have their
- 25 phone number, do they call the Planning and Zoning

- 1 office, or the Building Department, or the mayor, or
- 2 Neil? Who is going to be the response team that gets
- 3 out there and takes care of matters? Because I just
- 4 don't see it happening.
- 5 So under the authority of the Commission,
- 6 under 17.144.010(C), you can affirm, reverse, or modify
- 7 in whole or in part, the decision or determination of
- 8 the administrator, and that's what we are asking you to
- 9 do tonight.
- 10 But if you feel that some helpful
- 11 information can be gleaned from a site review, I urge
- 12 you to do that. And judging by the scope of the
- 13 questions that I heard around this table, it certainly
- 14 appears to me that it would be helpful to know, okay,
- 15 here is the east channel; here is the west channel; here
- 16 is the BFE; here is the height of the proposed driveway.
- 17 Then and only then will I think you can really -- well,
- 18 I went out there and saw it. That's when I understood
- 19 it.
- 20 So that's my pitch, and I'm happy to stand
- 21 for questions.
- 22 CHAIR MORROW: Thank you, Mr. Slette.
- 23 COMMISSIONER PASSOVOY: I have a question
- 24 for you, Mr. Slette. On the last picture that was
- 25 shown, that shows the driveway with the hammerhead and

- 1 the location of the three culverts, what portion of that
- 2 section of the driveway is -- are you -- is your client
- 3 claiming blocks the west channel? Because I don't see
- 4 that little -- I don't see that on this. How would you
- 5 locate the west channel? It's -- it's page 160 -- page
- 6 160 of the 221 pages in our packet.
- 7 MR. SLETTE: If I could, I would like Mr.
- 8 Osborne to respond to that technical --
- 9 COMMISSIONER PASSOVOY: Either one, I just --
- 10 MR. SLETTE: Like you, it's beyond my pay
- 11 grade.
- 12 COMMISSIONER PASSOVOY: I need to -- to be
- 13 able to picture this.
- 14 MR. SLETTE: Sure. Here is a pen if you
- 15 need that.
- 16 (Two speakers at the same time.)
- 17 COMMISSIONER PASSOVOY: Yeah, where -- okay.
- 18 We've dealt with the issue of the east channel. Where
- 19 is the west channel on here?
- 20 (Mr. Osborne off mic.)
- 21 UNIDENTIFIED AUDIENCE: Use the microphone.
- MR. OSBORNE: Okay. So what you can see is
- 23 you can see what is referred to as the shed, which is,
- 24 in fact, the fishing cabin that we showed you the photos
- of. And I'll walk over and do this on that side if it's

- 1 necessary. So the east channel flows here (indicating).
- 2 The west channel flows here (indicating). And here, the
- 3 driveway elevation is 8725 and 87 feet, versus existing
- 4 condition, this kind of triangular line there is 85. So
- 5 I'm not entirely sure where the statement that says "at
- 6 no point is the driveway higher than the grade, " I don't
- 7 know where that comes from because this is 85, and this
- 8 86, and the driveway is 87 and quarter and 87 at that
- 9 point where the west channel --
- 10 COMMISSIONER PASSOVOY: You said 85 on here?
- 11 UNIDENTIFIED AUDIENCE: (Inaudible, off
- 12 mic).
- MR. OSBORNE: Yeah, okay. So it doesn't
- 14 show -- yeah, no, that's fine. It doesn't show on this
- 15 rendering. But if you go to the existing conditions,
- 16 you can actually read what these elevation lines are.
- 17 That elevation line is 85. And that elevation line is
- 18 86 (indicating).
- 19 COMMISSIONER PASSOVOY: Thank you.
- MR. OSBORNE: You're welcome.
- 21 CHAIR MORROW: Is there are questions? If
- 22 not we can --
- MR. JOHNSON: So --
- 24 CHAIR MORROW: Go ahead.
- 25 MR. JOHNSON: -- Mr. Chairman, Commissioners , I

- 1 just want to know one thing: The Appellant has thrown
- 2 out the idea of a site visit. I just need to caution,
- 3 from the legal side, that's essentially gathering new
- 4 information. If you have a concern about whether the
- 5 site was accurately visited by staff as some sort of
- 6 error, the appropriate thing to do is remand that back
- 7 to staff to take those steps. And that may be a
- 8 question you want to ask staff about. But I just want
- 9 to be clear, this is the hard part. You're not doing
- 10 the technical part here.
- 11 CHAIRMAN MORROW: Right.
- 12 MR. JOHNSON: It's a review on appeal.
- 13 COMMISSIONER PASSOVOY: It helps to
- 14 understand the --
- 15 CHAIR MORROW: Well, that's my question.
- 16 MR. JOHNSON: I totally get it. But I -- I
- 17 just always -- as city attorney when I hear site visits,
- 18 I have to put that in. And I know -- absolutely
- 19 understand how it can help the Commission. But
- 20 particularly in this case on an administrative appeal,
- 21 that would be brand new information. That's not --
- MR. SLETTE: I assume that staff probably
- 23 was on the property and had a chance to inspect it. So
- 24 to me, that would not constitute new evidence if the
- 25 staff had seen what I'm asking the Commission to see.

- 1 And to me, the thing about a site visit from a due
- 2 process perspective, what it entails is notice of the --
- 3 of the site visit. So it's easily done. And again, I
- 4 think at the site, if the staff saw it and that helped
- 5 them render their decision, certainly, it's not
- 6 something new for the Commission to consider.
- 7 CHAIR MORROW: Thank you. All right.
- 8 Anybody have thoughts about this?
- 9 COMMISSIONER CARTER: I'm reading --
- 10 COMMISSIONER PASSOVOY: Are we now in the
- 11 deliberation phase?
- 12 CHAIR MORROW: I believe we are, yes.
- 13 COMMISSIONER PASSOVOY: Okay. I just want
- 14 to make sure.
- 15 MR. CARTER: I'm reading that the primary
- 16 issue here is that the Appellant claims that the
- 17 Planning and Building Department did not evaluate
- 18 alternatives for the proposed development. "Despite a
- 19 significant change made to the proposed driveway, the
- 20 Planning and Building Department has only sought to
- 21 remediate the resulting flawed plan and not requested or
- 22 evaluated alternative locations for the driveway."
- That seems to be the issue here, not whether
- 24 or not the plan is a good plan, but whether or not the
- 25 planning department sufficiently evaluated alternative

- 1 locations.
- 2 COMMISSIONER PASSOVOY: So do we ask the
- 3 Planning Department --
- 4 COMMISSIONER CARTER: So how can we -- I
- 5 mean, I think that that seems to be the crux of the
- 6 issue here, or at least the claim.
- 7 MR. McGRAW: My question to that would be,
- 8 is it their responsibility, or if the applicant has
- 9 afforded a suitable plan that meets code, meets
- 10 engineering, is it the city's job to --
- 11 COMMISSIONER CARTER: Evaluate the
- 12 alternative?
- 13 MR. McGRAW: -- evaluate alternatives?
- 14 (Multiple people speaking at the same time.)
- 15 COMMISSIONER PASSOVOY: I think that's what
- 16 the code requires.
- 17 COMMISSIONER CARTER: Because the code says
- 18 "Where development is proposed that impacts any
- 19 wetlands, the first priority shall be to move the
- 20 development from the wetland area."
- MR. McGRAW: Okay.
- 22 COMMISSIONER CARTER: "Mitigation strategies
- 23 shall be proposed at the time of application that
- 24 replace the impacted wetland in equal amount and quality
- of new wetland area or riparian habitat improvement."

COMMISSIONER PASSOVOY: So can -- Matt, do 1 2 we -- is this -- can we ask the staff if they --3 MR. JOHNSON: Yeah, you can ask the staff 4 that question. 5 COMMISSIONER PASSOVOY: So my question to the staff is, did you discuss -- did you consider 6 alternative locations of the driveway --7 8 MR. CRUTCHER: Yes, that --9 COMMISSIONER PASSOVOY: -- and discuss those with the applicant? And would you tell us about that. 10 11 MR. CRUTCHER: Staff looked at the proposal and the residence being located within the letter of map 12 13 amendments. Which took the property outside of the 14 floodplain seemed to be the most appropriate location 15 for the residence. And then with the requirement of a hammerhead turnaround by the fire department pushing the 16 17 driveway up to the north, that seemed to be the best approach for getting access to the letter of map 18 19 amendment area. 20 COMMISSIONER PASSOVOY: So the location of the house or the development dictated the location of 21 the driveway? 22 23 MR. CRUTCHER: That's correct. 24 MS. LANDERS: And just to clarify, the

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location of the house wasn't necessarily the choosing of

25

- 1 the owner. It was a LOMA that had already been
- 2 approved. So, you know, that was a condition that was
- 3 kind of existing in place. And I think when Adam and I
- 4 reviewed that, the effort was to keep the majority of
- 5 the development outside of the floodplain. Because if
- 6 we were to move the location of the home, you'd be
- 7 putting it outside of the floodplain and into the
- 8 floodplain. And so there was a discussion around
- 9 alternatives. It isn't necessarily documented in kind
- 10 of multiple scenarios as part of the development
- 11 application, but those discussions did occur.
- 12 COMMISSIONER PASSOVOY: Okay. Thank you.
- 13 COMMISSIONER CARTER: Was there a
- 14 consideration of leaving the driveway where the existing
- 15 driveway is? Or how was the location of the existing
- 16 driveway considered?
- 17 MR. CRUTCHER: Well, the fire department
- 18 required a hammerhead turnaround access that was not
- 19 present with the current driveway configuration due to
- 20 fire department code. And so that configuration is the
- 21 result of the fire department requirements.
- 22 COMMISSIONER PASSOVOY: Okay. I -- I'm not
- 23 sure how this fits in. So, Matt, I would need your
- 24 guidance on this. But it seems to me that we could have
- 25 as an additional condition a requirement -- what I see

- 1 in terms of the monitoring that the -- the imposition on
- 2 the owner for maintenance is of the wetlands. I don't
- 3 see anything in there about the culverts. And it seems
- 4 to be very reasonable to me asking the owner to be
- 5 responsible for maintaining the culverts and keeping
- 6 them clear, and giving the city and the neighboring
- 7 property owner the right if the culverts are not cleared
- 8 and flooding occurs, and is not addressed by the owner,
- 9 that one or both of those parties can go on the
- 10 property, clear out the culverts and collect
- 11 reimbursement from the property owner.
- 12 It's not an uncommon requirement and I'm --
- 13 I'm wondering if is that something that we send it back
- 14 to the Planning Commission -- I mean, the planning staff
- 15 -- to fix? Or is -- can it be required as part of our
- 16 deliberation?
- 17 MR. JOHNSON: So I think what you want to do
- 18 is you want to look at Condition 15 on the Floodplain
- 19 Development Permit --
- 20 COMMISSIONER PASSOVOY: Right.
- 21 MR. JOHNSON: -- which is where this comes
- 22 in --
- 23 COMMISSIONER PASSOVOY: Yes.
- MR. JOHNSON: -- if you wanted to amend the
- 25 permit to add some clarifying language. I will say

- 1 this: That Condition 15 is already requiring the
- 2 property owner to maintain the culverts and the permit
- 3 runs with the property.
- 4 MS. PASSOVOY: I missed that. I didn't see
- 5 that on --
- 6 MR. JOHNSON: So there is -- there is
- 7 enforcement. And sort of this question has been thrown
- 8 out, you know, what do we do if the neighboring property
- 9 owner had a concern? They would have the ability to
- 10 call the city. That triggers the city has that
- 11 authority to inspect. Notice of the property owner,
- 12 you're required to maintain this under your Floodplain
- 13 Development Permit, and that property owner has to
- 14 comply with that. And there's further enforcement
- 15 mechanisms under code and flood regulations in terms of
- 16 in emergency situations the city has more leeway to go
- in and invade a nuisance or clear a floodway. I'd be
- 18 hesitant, from the legal side, to add any kind of
- 19 neighboring property owner and --
- 20 COMMISSIONER PASSOVOY: That's between the
- 21 two parties and I wouldn't --
- MR. JOHNSON: Yeah, that one --
- 23 (Two people speaking at the same time.)
- 24 COMMISSIONER PASSOVOY: That's for them to
- 25 figure out, yeah, okay.

- 1 MR. JOHNSON: But the -- Susan, your real
- 2 question about process, I would look at this Condition
- 3 15. If you feel like it's satisfactory, you're good.
- 4 If you feel like it needs some addition, that would be
- 5 in the realm of the Commission's ability to modify.
- 6 COMMISSIONER PASSOVOY: So then I need some
- 7 help because I have been through this whole package and
- 8 I must have missed that Condition 15.
- 9 MR. CRUTCHER: It's on page 76.
- 10 COMMISSIONER PASSOVOY: Thank you. Somebody
- 11 else go ahead if you --
- MS. LANDERS: It's attachment D. It's on my
- 13 page 119 of 264.
- 14 CHAIR MORROW: Yeah.
- 15 (Multiple speakers at the same time.)
- 16 COMMISSIONER PASSOVOY: What came to us --
- 17 CHAIR MORROW: Yeah.
- 18 COMMISSIONER PASSOVOY: Okay. Can you put
- 19 it up there, Adam? Is it possible? Thank you.
- MR. CRUTCHER: It's up on the screen, too,
- 21 Susan.
- 22 COMMISSIONER PASSOVOY: Okay. It's easier
- 23 for me to read here actually. Never mind, that's my --
- 24 CHAIR MORROW: My problem with this one is
- 25 only -- yeah, that process works. You call the city.

- 1 They come and inspect it. But in the middle of a 100-
- 2 year flood when their living room is full of water,
- 3 that's not enough. You know, I just -- these are --
- 4 You know, what if the person who buys the
- 5 house says screw you, litigate, you know? We don't care
- 6 what you do. We don't care what the city says. We're
- 7 not going to do anything. Let them sue us. I need more
- 8 -- you know, to put it right on their property line? If
- 9 it were halfway down and there was some leeway, but
- 10 there's no leeway here. If it backs up in a 100-year
- 11 flood, it's on their property right-of-way. There's no
- 12 -- and getting a guy to come out in a 100-year flood
- 13 when it's underwater, to come and clean these culverts,
- 14 you know, it's litigation for them. It's litigation
- 15 against the city. It -- we're setting ourselves up for
- 16 someone who buys the house and they go, I've got a ton
- 17 of money. Screw you, I'll do whatever I want. And if
- 18 it means not cleaning the culverts, then I won't clean
- 19 the culverts and you can sue me. And three years later
- 20 when it gets done, you know, their house is ruined, or
- 21 their historic cabin has floated away.
- 22 And for me, it's not enough. It's not
- 23 enough to say it doesn't -- you know, Susan said, there
- 24 were ridges and elevations and so there were places --
- 25 yes, the top elevation may be is the top elevation. But

- 1 now you've gotten rid of any of that other contour.
- I am concerned about the west channel, which
- 3 doesn't seem to have any outlet compared to the east.
- 4 So it's going to run right into the house or right into
- 5 the --
- The rules say it can't affect neighboring
- 7 properties, and that's what I'm stuck on. Is that --
- 8 here it's a lot of we've got this model. Well, if
- 9 Brockway is willing to insure the property, that their
- 10 model is right -- I guarantee they aren't -- but if
- 11 they're willing to say, yes, if it does what -- you know
- 12 something our model didn't say, then we'll pay for the
- 13 insurance.
- 14 You know, but I think you're just -- you're
- 15 -- you know, we're setting ourselves up for what we know
- 16 is going to happen, which is when these big floods come
- 17 up where it's flooded not just to their house, it's
- 18 flooded onto, you know, Bordeau, and it's flooded well
- 19 up into the neighborhood. You know, having that -- I
- 20 just -- our models say this and our -- you know, our
- 21 stuff says that. They're guesses.
- 22 And if you're waiting for the city to
- 23 enforce it during a 100-year flood, for me it's not
- 24 enough. What happens if it does impact the neighbors
- 25 and not just these neighbors? What happens if it -- you

- 1 know, if something -- if the culverts aren't cleaned and
- 2 something happens, who is responsible, you know?
- 3 And I could find error in not using the most
- 4 recent FEMA maps to say this is no longer floodway.
- 5 This is now floodplain. So I get that. But my concern
- 6 really isn't -- it's that the design -- and I was -- you
- 7 know, because it's been three years, we were told we
- 8 can't be asked to redesign the site. That's, you know,
- 9 not true.
- 10 So my concern is less of that and more that
- 11 we're creating something that in the future is going to
- 12 be a really big problem that we could avoid. And so I'm
- 13 not sure how that happens. But it makes me really
- 14 uncomfortable that our models say this and our models
- 15 say that.
- 16 I've been down there during the floods in
- 17 2017. I walk my dog down in that area all the time and
- 18 it's -- half of those houses shouldn't have been built
- 19 on Wood River or on Williams. You know, they're in the
- 20 frickin' floodplain or in where the river brings its
- 21 water back down.
- 22 So my concern is we don't make it worse.
- 23 And that's not for you guys as much as for you guys
- 24 that, you know, this needs -- we really need to make
- 25 sure this is done right. Because if it floods next

- 1 year, the year after, it's built as a spec for sale. I
- 2 hate to say it, but there's a lot of rich people who
- 3 would come in and go, you're property flooded. Sue me.
- 4 That's a six-year process or a seven-year
- 5 process to go through litigation. It's expensive. I
- 6 don't want to make a decision that essentially puts that
- 7 down the road as an obvious, you know, it's definitely
- 8 going to happen. So I'm looking for some alternatives
- 9 -- and, you know, we heard Mr. Osborne even tell us what
- 10 those were -- but some logical alternatives to putting
- 11 three huge culverts on their property line and hoping
- 12 that the water doesn't back up if something happens.
- 13 So to me that seems like a, you know, a wish and a
- 14 prayer. But that's just my -- this is -- for all you
- 15 guys, that's just my feeling about this.
- 16 MS. LANDERS: Mr. Chairman, may I just add a
- 17 point of --
- 18 CHAIR MORROW: Sure.
- 19 MS. LANDERS: -- clarification? So about
- 20 the draft FEMA maps, the only reason that there's a
- 21 change on this property is because in the new draft
- 22 maps, FEMA hasn't carried over the data of previously
- 23 approved LOMAs into the data set. So the change of the
- 24 map is not a result of the change of flooding condition
- 25 on the property. It's just simply that the data -- all

- of the data hasn't been incorporated; that's why they're
- 2 still draft.
- 3 CHAIR MORROW: Yeah. And I'm just using it
- 4 as a, you know, people like go "you can't find an
- 5 error." I've been a lawyer a long time. We can find an
- 6 error anywhere we want. But that's my point, that it's
- 7 not really about that for me. It's more about that
- 8 we're not saying, you know, oh, it's fine. It will be
- 9 fine. And then say it will be fine. And we have no
- 10 mechanism for when it's not fine. And then suddenly
- 11 we've got, I'm suing the city because we made this
- 12 decision. And I'm suing their neighbors because they
- 13 haven't done what they're supposed to, and the city
- 14 doing whatever they can to the neighbors, which may or
- 15 may not be anything for their lack of ability to fulfill
- 16 their responsibilities.
- 17 So it just -- you know, that's my fear here.
- 18 It's not so much that the driveway is a levy, although,
- 19 it kind of, you know, looks like it. It's more that
- 20 what happens when we approve this and then something
- 21 happens and the owners of this new very expense house
- 22 says, screw you? You know, we're not doing any of this.
- 23 And we don't have a mechanism for that. So
- 24 I want to make sure that the development is right and
- 25 that, you know, we do the best we can to make sure it

- 1 works before we approve it. That's just my feeling.
- 2 COMMISSIONER PASSOVOY: Morgan, you answered
- 3 my question about whether or not you guys have looked at
- 4 this draft and whether you think there's anything
- 5 significant that would -- that would have affected your
- 6 decision were it actually finalized. And what I'm
- 7 hearing is, no, there isn't.
- 8 MS. LANDERS: Yeah, and I can let Adam speak
- 9 to that. But Adam and Harmony both track the draft FEMA
- 10 process very, very closely.
- 11 COMMISSIONER PASSOVOY: Uh-huh.
- MS. LANDERS: We've looked at every single
- 13 floodplain development permit and we've compared our
- 14 existing BFEs with the draft BFEs. And usually in
- instances where there's any change in the BFE, then we
- 16 usually go with the most conservative. You know, but we
- 17 do track that process very quickly and we -- you know,
- 18 we take it very seriously.
- 19 COMMISSIONER PASSOVOY: Okay. Well, then --
- 20 then to follow on what Neil is saying, I -- I understand
- 21 that completely. It's -- I -- I'm trusting that the
- 22 engineering data is the best available. I mean, we have
- 23 to make everyone in development -- or in any other area,
- 24 you know, flying a plane -- you have to just go with you
- 25 best data available. It's never going to be -- be

- 1 perfect in some other realm. It is as perfect as it can
- 2 be in our realm. So I'm satisfied with the engineering.
- The question that I have is the one with --
- 4 that Neil has raised. Is that I'm concerned that if it
- 5 is true that there is some risk of the west channel
- 6 being backed up, and if the culverts are not kept clear,
- 7 there is a theoretical enforcement mechanism. But is
- 8 there in real life an enforcement mechanism? And is
- 9 this the best possible engineering solution to the risk
- 10 that has been identified? Or, are the engineers telling
- 11 us that they have determined that notwithstanding the
- 12 difference in elevation between the west channel and the
- 13 hammerhead, that there is no risk of flooding, or
- 14 backwater, backwash, or whatever you want to call it,
- 15 from that hammerhead?
- MS. LANDERS: Yeah, and I think, you know,
- 17 there's been a lot of technical information provided to
- 18 you all. I think there was a lot of focus on the
- 19 eastern portion of the property. But the project is
- 20 required to be looked at in totality.
- 21 COMMISSIONER PASSOVOY: Uh-huh.
- 22 MS. LANDERS: And so when we look at impact
- 23 on adjacent property, it's not a just one single point
- 24 or one single other point. It's in totality for the
- 25 development as a whole. So that does get considered.

- 1 I think it is, you know, easy to kind of gravitate to
- 2 specifics as kind of areas of concern. But it does --
- 3 it is looked at kind of in its whole.
- I think the last comments that I will make
- 5 is that debris is always a concern in flooding. That's
- 6 a comment that's been made. Large debris that -- that
- 7 blocks culverts on a large scale, like the ones provided
- 8 in the Appellant packet happen within the floodway when
- 9 you have large downed trees, you know, things like that.
- 10 These -- this area -- and Adam you can correct me if I'm
- 11 wrong -- sees a lot of kind of sheet flooding of water
- 12 come through. It isn't necessarily in a debris flow
- 13 area.
- 14 So from staff's perspective, we aren't
- 15 concerned about clogging of the culverts. We did the
- 16 extra 50 percent assumption on the culvert because the
- 17 Commission remanded back. We would not normally have
- 18 run a model like that, and so we do feel that concern.
- 19 On the enforcement side -- you know, the condition is
- 20 written in a really strong way that gives us a lot of
- 21 opportunity to enter the property when there's areas of
- 22 concern. It's not just planning staff. It's any member
- 23 of our inspection team. So during flooding conditions
- 24 that may be Adam. That may be the water and waste water
- 25 department. And those are in situations where we can

- 1 enter the property at any reasonable hour for the
- 2 purpose of inspection or other enforcement action.
- 3 So you know I -- in flooding conditions, we
- 4 get a lot of cooperation from property owners, right,
- 5 because they're trying to protect their property.
- 6 They're trying not to run the risk of downstream
- 7 implications or upstream implications. For the most
- 8 part, it is our most engaged time of the year when it
- 9 comes to property-owner cooperation, so --
- 10 COMMISSIONER PASSOVOY: So you would have a
- 11 regular inspection, or irregular inspection -- not
- 12 clearing the culverts during a flood -- but checking to
- 13 make sure that they've been maintained; that there
- 14 hasn't been an accumulation over time of small blockages
- 15 which then could create a large blockage? Adam, I'm
- 16 looking at you. This is your project.
- 17 MR. CRUTCHER: Yeah, similar to the projects
- 18 down on Wood River Drive that you all have reviewed
- 19 recently, where those also have a system of culverts,
- 20 anywhere where we have culverts or bridges in the city,
- 21 we do go around during flooding years and check, myself,
- 22 the fire department, streets and water and wastewater,
- 23 to check and make sure that those aren't getting blocked
- 24 or impacted in any way by debris. So those are things
- 25 that we do regularly throughout the city in different

- 1 areas.
- 2 COMMISSIONER PASSOVOY: And not just during
- 3 flooding. I mean, that's my question, is might you have
- 4 an, okay, well, we have to go check 121 Badger Lane to
- 5 make sure that there haven't been small accumulations
- 6 over time that could be a problem if next year is a
- 7 flood year?
- 8 MR. CRUTCHER: We start looking before
- 9 overbank flooding occurs, yes.
- 10 COMMISSIONER PASSOVOY: Okay.
- 11 MR. CARTER: Staff, can you bring up page --
- 12 the last page in the staff report, 221?
- 13 (Next Slide)
- 14 MR. CARTER: Is it correct that this shows
- 15 existing conditions out there, more or less?
- MR. CRUTCHER: Yeah.
- 17 MR. CARTER: And is it correct that that's
- 18 showing a sort of existing driveway location?
- MR. CRUTCHER: Yes.
- 20 MR. CARTER: Is there an existing -- there's
- 21 an existing driveway on the site?
- MR. CRUTCHER: Gravel. So the asphalt has
- 23 been pulled out, but the topography is similar to where
- 24 the driveway used to be when it was still functioning.
- 25 COMMISSIONER PASSOVOY: At the gray line?

- 1 MR. CRUTCHER: Correct.
- 2 COMMISSIONER CARTER: Was there an attempt
- 3 made by the design team to design a driveway that worked
- 4 on the existing configuration and a hammerhead that was
- 5 in a different portion of the lot that perhaps didn't
- 6 impact the wetland as much?
- 7 MR. CRUTCHER: I believe that would be a
- 8 question for the Applicant.
- 9 MS. LANDERS: Tim, it wasn't something that
- 10 was requested by staff. It was just during kind of
- 11 discussions of different alternatives and what was being
- 12 proposed.
- 13 COMMISSIONER CARTER: Okay.
- 14 COMMISSIONER MOCZYGEMBA: I think if they're
- 15 just trying to do a hammerhead turnaround outside of the
- 16 floodplain, it would be right about where the ADU and
- 17 the pool are.
- 18 But, let's see, I guess my thoughts, so the
- 19 Appellant, you know, came to us last year with concerns
- 20 based on their localized observations, based on owning
- 21 their property for the time that they have. And I
- 22 certainly appreciate that, and we -- I think we all
- 23 agreed that we heard their concern, which is why we
- 24 remanded the application to make sure that all of the
- 25 i's are dotted and t's are crossed.

1 And I'm certainly empathetic to their 2 concerns because flooding is stressful and warrants a 3 lot of hand-ringing when you own a property by the 4 river. And while everything can't be predicted in a 5 model, you know, we have to -- I think we still have to rely on that modeling data. We've been through this 6 before with Bruce and his avalanche reports where he's 7 8 taking the best of what there is. But that's not to say there's a portion of a hill that may slide that wasn't 9 10 anticipated. And I think the same situation could 11 happen here. 12 You know, when we talk about alternatives, 13 the best alternative is no developments. But, 14 nonetheless, I think in my mind we've -- I appreciate 15 the staff and Applicant's time and resource that has been sent -- has been spent to reevaluate and, on the 16 17 Applicant's side to provide additional study. And being a layperson, I would rather rely on Jennifer Zon (ph) 18 19 from Harmony, Adam's opinion, and the data that was provided, in addition to the original data that was 20 provided that was deemed sufficient during the first 21 staff review. 22

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analysis that can be done. And you really just cannot

predict the unknowns, as much as we may try to control

So in my mind, I think we've exhausted the

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25

- 1 the river and all of that.
- 2 COMMISSIONER PASSOVOY: I'm at the point
- 3 where I can make a decision. Matt, did you have
- 4 anything to add?
- 5 MR. McGRAW: Yeah, I think just to go back
- 6 on some things that Neil has said. This is an
- 7 inherently more hazardous place to build and thus we
- 8 hold it to higher standards. There are so many things
- 9 that could go wrong in a place like this. Regardless of
- 10 whether or not this property is developed, disaster can
- 11 strike next door. For things that, you know, we do not
- 12 model for, that could lead to a larger discussion about,
- 13 you know, what and how we build in places like this.
- 14 But, you know, the question is, if the
- 15 standards we have for this Applicant today have been
- 16 met? But that's what we can do. I think that other
- 17 conversation is really important to have.
- 18 COMMISSIONER PASSOVOY: Put that on the
- 19 list.
- MR. McGRAW: Yeah, right.
- 21 COMMISSIONER CARTER: I don't doubt that the
- 22 engineering is correct. I think the question before us
- 23 is whether -- whether an alternate proposal -- a more
- 24 appropriate alternate proposal -- was considered. And
- 25 looking at the map that we have above us of the current

- 1 conditions on the site, I do wonder whether an alternate
- 2 design that's more appropriate and less impactful to the
- 3 neighbors and meets the spirit, meets the letter of the
- 4 code is possible.
- 5 CHAIR MORROW: That's real easy because I'm
- 6 with Tim. I'd just like to see if a redesigned driveway
- 7 -- because we're not talking about redesigning the
- 8 house. We're just really talking about redesigning
- 9 getting to the house. Let's see if that could be less
- 10 impactful to the neighbors. I think I'd be interested
- 11 in that, too, so that would be a remand for a redesign.
- 12 COMMISSIONER PASSOVOY: And I actually, if
- 13 you take that -- I mean, it may require some redesign of
- 14 the house, which was my question. Is if the design of
- 15 house -- the design and placement of the house is
- 16 dictating where the driveway goes. And maybe that
- 17 approach should have been, or we should ask the
- 18 Applicant to -- I mean, I know this has been a long and
- 19 expensive process. But since this was raised as a
- 20 problem early on, I would -- I would have liked to have
- 21 seen them say, well, maybe the way we've designed and
- 22 located the house should be reevaluated so that we don't
- 23 have this problem of the driveway and the hammerhead
- 24 right along the northern property line. It's sort of
- 25 the once again, you know, what forces the decision?

- 1 Which part of the design forces the decision?
- 2 CHAIR MORROW: Yeah, I mean, it is a long
- 3 process. But we really do have to seriously take and
- 4 consider the neighbor's property rights and how our
- 5 decision affects, or could affect, their property. And
- 6 so that's kind of why we're stuck here, I think, which
- 7 is -- you know, I'd like to say obviously there was no
- 8 reason for Adam to look for an alternative so he didn't.
- 9 It fit. It was fine. I think we've come to a point
- 10 that it would be nice to see if there is a less
- 11 impactful alternative.
- 12 COMMISSIONER PASSOVOY: But does that rise
- 13 to the level of a claimed error or abuse of discretion?
- 14 That's what --
- 15 CHAIR MORROW: I guess -- and, again, like I
- 16 said with the error, you know, is it an error not to
- 17 evaluate alternative locations? Maybe it was, maybe it
- 18 wasn't. You know, at this point it appears like it was.
- 19 But, you know, when Adam first looked at it, there was
- 20 no reason for him to go, hey, let's see six other
- 21 driveway locations, you know, or six other house
- 22 placements. So I think that's kind of a hard -- you
- 23 know, are we within our right to do this? Yes, I think
- 24 so.
- 25 MR. McGRAW: I think that for there to be --

- 1 the error to be large enough for someone to say that
- 2 this needs further consideration, there has to be some
- 3 evidence, other than colloquialisms, that there are
- 4 damages; that the standards are inadequate or being
- 5 incorrectly applied. You know, hard evidence as has
- 6 been provided by the Applicant to say that they've met,
- 7 you know, the standard, some benchmark to say that it's
- 8 insufficient by, you know, the rules that we decided it
- 9 needs to be judged by. I -- I don't feel like I've
- 10 heard that.
- 11 COMMISSIONER PASSOVOY: That's an excellent
- 12 point, Matt. I guess what I -- I would say, I mean, I
- 13 don't see an error or an abuse of discretion. I only
- 14 can say that I wish in the earlier stages as we went
- 15 forward -- it's not up to me to tell somebody how big a
- 16 house to build or anything -- but the Applicant might
- 17 have said -- or the staff might have said to the
- 18 Applicant, you know, this driveway location, as required
- 19 by the -- not the location but the elements of the
- 20 driveway as required by the fire department are going to
- 21 -- might very well cause a problem for the property
- 22 owner. Why don't you go back to your -- just as we sent
- 23 AURA (ph) back -- why don't you go back and maybe see if
- 24 you can redesign this house plan so that the driveway
- 25 can be located elsewhere. They didn't do that. But I

- 1 don't think that rises to the level -- or maybe they did
- 2 do that in conversation. But I don't think that what
- 3 was done or not done rises the to the level of an error
- 4 or abuse of discretion.
- 5 COMMISSIONER MOCZYGEMBA: Yeah, I think
- 6 Matthew brings up a good point. And I kind of stick
- 7 with my original thought that I would -- I'm leaning
- 8 towards affirming the decision. Again, we can look for
- 9 alternatives for days. The best alternative is to not
- 10 develop the lot. But I think this is a tricky lot.
- 11 It's a flag lot that's hemming in the driveway for --
- 12 well, a lot of feet. And then it has essentially
- 13 low-lying wetland and floodplain at a diagonal to the
- 14 other three corners of the lot.
- So, I don't know, I don't think there was
- 16 any error made. And, again, I appreciate the
- 17 reevaluation and the time and resource that has gone
- 18 into providing that evidence.
- 19 CHAIR MORROW: So we're thinking about --
- 20 does everybody kind of know where they are?
- THE COMMISSIONERS: (No response).
- 22 CHAIR MORROW: Okay. I'll take a motion.
- 23 COMMISSIONER PASSOVOY: I move that we
- 24 affirm the decision by the planning staff and find in
- 25 favor of the Applicant, is that what we do? Matt, what

- 1 do we say?
- 2 MR. JOHNSON: Yeah, as a starting point and
- 3 then I'll kind of walk you through how I'd outline --
- 4 You'll get the findings and decision.
- 5 CHAIRMAN MORROW: And then we'll be able to
- 6 -- yeah, it will be written.
- 7 MR. JOHNSON: I just need to know where we
- 8 are even.
- 9 CHAIR MORROW: Yeah.
- 10 COMMISSIONER PASSOVOY: Well, that's -- that
- 11 is my -- I don't know if that's a motion or if that's a
- 12 suggested outcome.
- MR. JOHNSON: That was a good motion.
- 14 CHAIR MORROW: Yeah, good enough.
- MR. McGRAW: Second.
- 16 CHAIR MORROW: All in favor?
- 17 COMMISSIONER PASSOVOY: Aye.
- MR. McGRAW: Aye.
- 19 COMMISSIONER MOCZYGEMBA: Aye.
- 20 CHAIR MORROW: All opposed?
- 21 MR. CARTER: Nay
- 22 CHAIR MORROW: Nay. Three to two.
- MR. JOHNSON: So, Commissioners, based on
- 24 the discussion, usually with an affirm it's a simpler
- 25 decision to write. But I think I will try to

- 1 incorporate some level of discussion about concerns on
- 2 the site, but noting that ultimately it appears where
- 3 the Commission arrived at is based upon the remand,
- 4 additional engineering and modeling was done. That's
- 5 been provided. That evidenced certain things to the
- 6 determination of the planning department to arrive at a
- 7 conclusion. The Commission ultimately found there
- 8 wasn't clear error or abuse of discretion in applying
- 9 that, and so therefore affirmed the decision. Does that
- 10 sound like it mostly captures it?
- 11 CHAIR MORROW: Yes.
- MR. JOHNSON: Okay. So we'll -- I'll draft
- 13 that up and we'll have that for you for hopefully your
- 14 next meeting.
- 15 CHAIR MORROW: Just as an off-topic since
- 16 we're kind of on topic, as we rewrite the code, can we
- 17 change that standard of review?
- 18 MR. JOHNSON: Yeah.
- 19 CHAIR MORROW: Okay.
- MR. JOHNSON: It's in city code so --
- 21 CHAIR MORROW: Yeah, it could be a little
- 22 more clear. Do you know what I mean? Because it's more
- 23 one of those where we're just tweaking the language so
- 24 it really tells us what we want it to tell us instead of
- 25 the, hey, make it up on your own.

- 1 MR. JOHNSON: Great idea. It makes my job
- 2 easier too.
- 3 CHAIR MORROW: Yeah, and it would be easier
- 4 for us. Because as you wrestle with that in your head,
- 5 it's like, boy, if it had two more words in here, I'd
- 6 know what I was doing.
- 7 COMMISSIONER PASSOVOY: Matt, may be you
- 8 could help us by suggesting some appropriate language as
- 9 we update the code.
- 10 MR. JOHNSON: Sure, yeah.
- 11 CHAIR MORROW: Staff do you have anything
- 12 else for us?
- 13 STAFF: No.
- 14 CHAIR MORROW: That's it. So then I will
- 15 call the meeting, and I appreciate everyone's time and
- 16 attention. And we will be here. We'll see you again.
- 17 STAFF: Would you mind doing a motion to
- 18 adjourn and a second.
- 19 CHAIR MORROW: I will do a motion to adjourn.
- 20 COMMISSIONER PASSOVOY: I second.
- 21 CHAIR MORROW: All in favor?
- THE COMMISSIONERS: Aye (unanimous).
- MS. LANDERS: Thanks everybody.
- 24 THE COMMISSIONERS: Thank you.
- 25 (Thereupon, the hearing adjourned at 8:30 p.m.)

1	CERTIFICATE
2	STATE OF IDAHO )
3	: SS. County of Bonner )
4	
5	I, David E. Hix, ASCR, Freelance Court Reporter and Notary Public for the State of Idaho do hereby certify:
6	That I was duly authorized to and did report the testimony and evidence in this cause;
7	- -
8	That the foregoing pages of this A/V hearing transcript constitute a true and accurate transcription
9	of my stenotype notes from a recording furnished by others.
10	I further certify that I am not an attorney nor
11	counsel of any of the parties; nor a relative or employee of any attorney or counsel connected with the
12	action, nor financially interested in the action.
13	IN WITNESS WHEREOF, I have hereunto set my hand and seal on this the property of October, 2024.
14	Marine State of State
15	parter."
16	David E. Hix, ASCR
17	Freelance/Official Court Reporter, Notary Public, State of Idaho
18	My Commission expires: August 16, 2027
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## **ATTACHMENT 7:**

Floodplain Development
Permit Findings of Fact,
Conclusions of Law, and
Decision



# CITY OF KETCHUM ZONING CODE TITLE 17 ADMINISTRATIVE FLOODPLAIN DEVELOPMENT PERMIT FINDINGS AND DECISION

PROJECT: Badger Residence

FILE NUMBER: P23-014

OWNER: 121 Badger Lane LLC

REPRESENTATIVE: Erik de Bruijn

**REQUEST:** Request to construct a new single-family residence on subject property

LOCATION: 121 Badger Ln (ROCKING RANCH SUB #2 PARCEL 4 47,480SF)

**ZONING:** Limited Residential (LR)

**OVERLAYS:** Floodplain Management Overlay

**REVIEWERS:** Adam Crutcher – Associate Planner

**NOTICING:** Notice sent to 300-ft adjoiners 2/7/2024

#### **BACKGROUND FACTS**

- 1. The City of Ketchum is a municipal corporation organized under Article XII of the Idaho Constitution and the laws of the State of Idaho, Title 50, Idaho Code. Under Chapter 65, Title 67 of the Idaho Code, the City is required to pass certain ordinances regarding land use, including a zoning ordinance.
- 2. Pursuant to Zoning Code Title 17, Section 17.88.050(D)1, the administrator shall have the authority to consider and approve, approve with conditions, or deny applications for floodplain development permits and for waterways design review.
- 3. The scope of work consists of the construction of a new single-family residence. The proposed residence is located partially within the Special Flood Hazard Area (SFHA). The contains wetlands which are proposed to be modified and relocated.
- 4. The project site contains floodplain.
- 5. The original application was approved on June 26, 2023, and subsequently appealed (P23-014A) to the Planning & Zoning Commission. The Commission held the appeal hearing on December 12, 2023 and remanded the application back to staff for further analysis to ensure that no adverse impact to the adjacent property to the north would occur as a result of the proposed development. The written decision of this remanding was finalized and signed on January 9, 2024.

#### FINDINGS OF CONFORMANCE WITH FLOODPLAIN DEVELOPMENT REQUIREMENTS

## Floodplain Development Permit Requirements 1. EVALUATION STANDARDS: 17.88.050(E)

Co	Compliant			Standards and Staff Comments
Yes	No	N/ A	Guideline	City Standards and Staff Comments
		17.88.050(E)1	The proposal preserves or restores the inherent natural characteristics of the river, floodplain, and riparian zone, including riparian vegetation and wildlife habitat. Development does not alter river channel unless all stream alteration criteria for evaluation are also met.	
			Staff	The proposal preserves the inherent natural characteristics of the
			Comments	floodplain by allowing floodwaters to flow in its historic path (north to south). Historically, the subject property has had a road/driveway at the northern boundary with a culvert underneath. This has led to most floodwaters to overtop the driveway with some flowing through the culvert. The proposal adds additional culverts to allow for increased amount of floodwaters to flow underneath the proposed driveway with less overtopping. A majority of proposed residence and ADU are located outside of floodplain due to LOMA for property. Plantings on the property are native with those in
				delineated wetlands being appropriate species.  No temporary construction activities, encroachment or other
			17.88.050(E)2	disturbance into the 25-foot riparian zone, including encroachment of below grade structures, shall be permitted, with the exception of approved stream stabilization work and restoration work associated with a riparian zone that is degraded.
	d ve		Staff Comments	The subject property does not contain the 25-foot riparian zone.
			17.88.050(E)3	No permanent development shall occur within the 25-foot riparian zone, with the exception of approved stream stabilization work and restoration work associated with permit issued under this title, or exceptions as described below: a. Access to a property where no other primary access is available; b. Emergency access required by the fire department; c. A single defined pathways or staircases for the purpose of providing access to the river channel and in order to mitigate multiple undefined social paths; d. Development by the City of Ketchum.
			Staff Comments	The subject property does not contain the 25-foot riparian zone.
			17.88.050(E)4	New or replacement planting and vegetation in the riparian zone shall include plantings that are low growing and have dense root systems for the purpose of stabilizing stream banks and repairing damage previously done to riparian vegetation. Examples of such plantings most commonly include: red osier dogwood, common

Co	omplia	ant		Standards and Staff Comments
Yes	No	N/ A	Guideline	City Standards and Staff Comments
			Staff	chokecherry, serviceberry, elderberry, river birch, skunk bush sumac, Beb's willow, Drummond's willow, little wild rose, gooseberry, and honeysuckle. However, in rare instances the distance from the top-of-bank to the mean high water mark is significant and the native vegetation appropriate for the riparian zone are low growing, drought resistant grasses and shrubs. Replacement planting and vegetation shall be appropriate for the specific site conditions. Proposal does not include vegetation within the 25-foot riparian zone that is degraded, not natural, or which does not promote bank stability.  The subject property does not contain the 25-foot riparian zone. Still
			Comments	the project does contain wetlands and proposes species associated with riparian habitat.
			17.88.050(E)5	Landscaping and driveway plans to accommodate the function of the floodplain allow for sheet flooding. Surface drainage is controlled and shall not adversely impact adjacent properties including driveways drained away from paved roadways. Culvert(s) under driveways may be required. Landscaping berms shall be designed to not dam or otherwise obstruct floodwaters or divert same onto roads or other public pathways.
			Staff Comments	Driveway is slightly raised to ensure no more than 1-ft of flooding occurs (emergency vehicle requirement). As a result of the raised driveway, if no culverts were placed underneath, the adjacent property to the north would be adversely impacted with increased floodwaters. To resolve this issue, three culverts (24" HDPE) have been proposed underneath the driveway to allow for floodwaters to pass under the driveway in order to not have an adverse impact on the adjacent property owner. A HEC-RAS model was run for the site was run and showed three culverts would result in no increased floodwater at cross section Badger 6 (along northern property line). The installation of the three culverts would result in most floodwater running underneath the driveway. An HY-8 model was also run to evaluate the proposed culverts that are in series under the driveway. The HEC-RAS model was found to have the more conservative results and was therefore used to determine the necessary culverts needed. A separate weir flow analysis was conducted to determine the capacity of the culvert inlets under clogged conditions and found that the culverts had adequate capacity to carry floodwaters with 50% of the grate being clogged. As mentioned in condition of approval #15, culverts are required to be maintained and kept clear to ensure sufficient carrying capacity. No landscape berms are proposed.
			17.88.050(E)6 Staff Comments	Flood water carrying capacity is not diminished by the proposal.  The proposed development has more excavation (274 cubic yards) than fill (258 cubic yards) resulting in a net 16 cubic yards of cut on the subject property. All cut and fill considered for floodwater carrying capacity is below the Base Flood Elevation (BFE). As mentioned previously, HEC-RAS model for the site shows no increase

Co	mplia	nt		Standards and Staff Comments
Yes	No	N/ A	Guideline	City Standards and Staff Comments
				in floodwaters on adjacent properties to the north & south. The driveway is slightly raised to ensure no more than 1-ft of flooding occurs (emergency vehicle requirement). As a result of the raised driveway, if no culverts were placed underneath, the adjacent property to the north would be adversely impacted with increased floodwaters. To resolve this issue, three culverts (24" HDPE) have been proposed underneath the driveway to allow for floodwaters to pass under the driveway in order to not have an adverse impact on the adjacent property owner.
			17.88.050(E)7	Impacts of the development on aquatic life, recreation, or water quality upstream, downstream or across the stream are not adverse.
			Staff Comments	The subject property is not adjacent to the Big Wood River. The wetland plantings will be beneficial to water quality and aquatic life. No work is proposed within the floodway or stream. No downstream impacts or across stream impacts will be associated with the approved landscape plan (L3.0).
			17.88.050(E)8	Building setback in excess of the minimum required along waterways is encouraged. An additional ten-foot building setback beyond the required 25-foot riparian zone is encouraged to provide for yards, decks and patios outside the 25-foot riparian zone.
			Staff Comments	N/A. The subject property does not contain the 25-foot riparian zone.
			17.88.050(E)9	The top of the lowest floor of a building located in, or partially within, the SFHA shall be at or above the flood protection elevation (FPE). A building is considered to be partially within the SFHA if any portion of the building or appendage of the building, such as footings, attached decks, posts for upper story decks, are located within the SFHA. See <a href="section 17.88.060">section 17.88.060</a> , figures 1 and 2 of this chapter to reference construction details. See <a href="chapter 17.08">chapter 17.08</a> of this title for definition of "lowest floor."  a. In the SFHA where base flood elevations (BFEs) have been determined, the FPE shall be 24 inches above the BFE for the subject property; 24 inches or two feet is the required freeboard in Ketchum City Limits.  b. In the SFHA where no BFE has been established, the FPE shall be at least two feet above the highest adjacent grade.
			Staff Comments	The top of the lowest floor (finished floor) will be elevated 24" above the Base Flood Elevation of 5786.5. As the proposed elevation is located within the AE zone the top of the lowest floor is required to be 24" above the BFE.
			17.88.050(E)1 0	The backfill used around the foundation in the SFHA floodplain shall provide a reasonable transition to existing grade but shall not be used to fill the parcel to any greater extent.  a. Compensatory storage shall be required for any fill placed within the floodplain.  b. A CLOMR-F shall be obtained prior to placement of any additional fill in the floodplain.

Co	omplia	ant		Standards and Staff Comments		
Yes	No	N/	Guideline	City Standards and Staff Comments		
		Α				
			Staff	An estimated 258 cubic yards of fill will be placed within the SFHA.		
			Comments	The excavation on the site is proposed to be 274 cubic yards,		
				resulting in 16 cubic yards of excess excavation. Fill and excavation		
				on the site transitions to existing grade within the property		
		_	45 00 050/514	boundaries.		
$\boxtimes$			17.88.050(E)1	All new buildings located partially or wholly within the SFHA shall		
			1	be constructed on foundations that are designed by a licensed		
			C1 55	professional engineer.		
			Staff	Both buildings will be constructed with concrete slab on grade		
			Comments	foundations designed by David Funk who is a licensed professional		
			47.00.070/5\4	engineer within Idaho.		
$\boxtimes$			17.88.050(E)1	Driveways shall comply with City of Ketchum street standards;		
			2	access for emergency vehicles has been adequately provided for by		
				limiting flood depths in all roadways to one foot or less during the		
			C1 - CC	one percent annual chance event.		
			Staff	Driveway complies with City of Ketchum street standards. The Fire &		
			Comments	Streets Departments have both approved the proposed driveway		
				design. Driveway has been elevated so no greater than 1 foot of		
				floodwater may over top during the one percent annual chance		
			17.00.050/5)1	flood.		
		17.88.050(E)1	Landscaping or revegetation shall conceal cuts and fills required for			
			3	driveways and other elements of the development.		
			Staff	Landscaping is proposed on all areas of the property including		
	**		Comments	driveways and other elements of the development. The landscaping		
			17.00.050/5\1	will conceal any cuts and fill which are required.  (Stream Alteration) The proposal is shown to be a permanent		
			17.88.050(E)1	solution and creates a stable situation.		
				Staff	N/A - Stream Alteration is not proposed.	
			Comments	N/A - Stream Alteration is not proposed.		
П			17.88.050(E)1	(Stream alteration.) No increase to the one percent annual chance		
Ш					5	flood elevation at any location in the community, based on
			3	hydrologic and hydraulic analysis performed in accordance with		
				standard engineering practice and has been certified and		
				submitted with supporting calculations and a No Rise Certificate,		
				by a registered Idaho engineer.		
			Staff	N/A - Stream Alteration is not proposed.		
			Comments	Type Stream in the proposed.		
			17.88.050(E)1	(Stream alteration.) The project has demonstrated no adverse		
_			6	impact or has demonstrated all impacts will be mitigated.		
			Staff	N/A - Stream Alteration is not proposed.		
			Comments	Type Stream the attention to het proposed.		
			17.88.050(E)1	(Stream alteration.) The recreational use of the stream including		
J			7	access along any and all public pedestrian/fisher's easements and		
				the aesthetic beauty shall not be obstructed or interfered with by		
			12.1	the proposed work.		
			Staff			
			""	1971 Stream Attendation is not proposed.		
			Staff Comments	N/A - Stream Alteration is not proposed.		

Co	Compliant			Standards and Staff Comments
Yes	Yes No N/		Guideline	City Standards and Staff Comments
		Α		
		$\boxtimes$	17.88.050(E)1	(Stream alteration) Fish habitat is maintained or improved as a
			8	result of the work proposed.
			Staff	N/A - Stream Alteration is not proposed.
			Comments	
		$\boxtimes$	17.88.050(E)1	(Stream alteration.) The proposed work shall not be in conflict with
			9	the local public interest, including, but not limited to, property
				values, fish and wildlife habitat, aquatic life, recreation and access
	-			to public lands and waters, aesthetic beauty of the stream and
			Staff	water quality.  N/A - Stream Alteration is not proposed.
			Comments	10/A - Stream Alteration is not proposed.
			17.88.050(E)2	(Stream alteration.) The work proposed is for the protection of the
			0	public health, safety and/or welfare such as public schools, sewage
				treatment plant, water and sewer distribution lines and bridges
				providing particularly limited or sole access to areas of habitation.
			Staff	N/A - Stream Alteration is not proposed.
			Comments	
$\boxtimes$			17.88.050(E)2	(Wetlands) Where development is proposed that impacts any
			1	wetland the first priority shall be to move development from the
				wetland area. Mitigation strategies shall be proposed at time of
				application that replace the impacted wetland area with an equal
				amount and quality of new wetland area or riparian habitat
			Chaff	improvement.  Project site contains wetlands as delineated by Trent Stumph with
			Staff Comments	Sawtooth Environmental. The proposed development will impact,
			Comments	permanently fill approximately 1,277 square feet of wetlands with
				proposed wetland mitigation creating approximately 1,278 square
				feet of wetlands. Wetlands include species such as Bebbs Willows,
				Red-osier Dogwood, and Quaking Aspen.
$\boxtimes$			17.88.060.A.1	A. General Standards: In all areas of special flood hazard, the
				following standards are required:
			, and particular	1. Anchoring:
				a. All new construction and substantial improvements shall be
			- 11 to 5 mg	anchored to prevent flotation, collapse, or lateral movement of the
				structure resulting from hydrodynamic and hydrostatic loads,
			1	including the effects of buoyancy.  b. All manufactured homes must likewise be anchored to prevent
				flotation, collapse or lateral movement, and shall be installed using
			I I - I I C - X - I	methods and practices that minimize flood damage. Anchoring
				methods may include, but are not limited to, use of over the top or
			- 1	frame ties to ground anchors (reference the Federal Emergency
				Management Agency's "Manufactured Home Installation in Flood
				Hazard Areas" guidebook for additional techniques).
			Staff	The proposed development is a single-family home that will be
			Comments	constructed on site and attached to a foundation designed by a
				professional engineer. Sheet S-111A indicates foundation has been
				designed to meet standards of this section. The new construction will
				be anchored to prevent flotation, collapse, or lateral movements.

Co	omplia	int		Standards and Staff Comments
Yes	No	N/	Guideline	City Standards and Staff Comments
		Α		
			17.88.060.A.2	2. Construction Materials And Methods:  a. All structural and nonstructural building materials utilized at or below the base flood elevation must be flood resistant. Flood damage resistant materials must be used for all building elements subject to exposure to floodwaters, including floor joists, insulation, and ductwork. If flood damage resistant materials are not used for building elements, those elements must be elevated above the base flood elevation. This requirement applies regardless of the expected or historical flood duration.  b. All new construction and substantial improvements shall be constructed using methods and practices that minimize flood damage.  c. Electrical, heating, ventilation, plumbing and air conditioning equipment and other service facilities shall be designed and/or otherwise elevated or located so as to prevent water from entering or accumulating within the
			Staff Comments	components during conditions of flooding.  A. Proposed materials below the BFE include reinforced concrete & galvanized steel. Both materials are acceptable per FEMA Technical Bulletin 2.  B. This project consists of new construction. All floodplain development regulations required by Ketchum Municipal Code will be met.  C. The mechanical room and all mechanical equipment are to be located above the BFE and outside of the SFHA. No HVAC or electrical panels will be located below the BFE. Any plumbing and electrical leading from mains to the residence will be watertight and located underground.
			17.88.060.A.3	3. Utilities:  a. All new and replacement water supply systems shall be designed to minimize or eliminate infiltration of floodwaters into the system; b. New and replacement sanitary sewage systems shall be designed to minimize or eliminate infiltration of floodwaters into the systems and discharge from the systems into floodwaters; and c. On site waste disposal systems shall be located to avoid impairment to them or contamination from them during flooding.
			Staff	Water and sewer services into the residence will be located
			Comments	underground and built to required plumbing codes
			17.88.060.B.1	All construction in AO zones shall be designed and constructed with drainage paths around structures to guide water away from structures
			Staff	Proposed residence is within the AE zone, not the AO.

Co	mplia	nt		Standards and Staff Comments
Yes	No	N/ A	Guideline	City Standards and Staff Comments
		17.88.060.B.2. a	2. Residential Construction: a. New construction and substantial improvement of any residential structure in any A1-30, AE and AH zone shall have the top of the lowest floor, including basement, elevated a minimum of twenty four inches (24") above the base flood elevation.	
			Staff Comments	The top of the lowest floor (finished floor) will be elevated 24" above the Base Flood Elevation of 5786.5'. As the proposed elevation is located within the AE zone the top of the lowest floor is required to be 24" above the BFE. Sheets A-400, A-401, & A-402 show lowest floor elevated above BFE by 24".
			17.88.060.B2. b	b. New construction and substantial improvement of any residential structure in any AO zone shall have the lowest floor, including basement, elevated to or above the highest adjacent grade at least as high as the FIRM's depth number plus twenty four inches (24").  N/A. Proposed residence is within the AE zone, not the AO
		Comments		
			17.88.060.B2. c.	c. Fully enclosed areas below the lowest floor that are subject to flooding are prohibited, or shall be designed to automatically equalize hydrostatic flood forces on exterior walls by allowing for the entry and exit of floodwaters. Designs for meeting this requirement must either be certified by a registered professional engineer or architect or must meet or exceed the following minimum criteria (see figures 1, "Preferred Crawl Space Construction", and 2, "Below Grade Crawl Space Construction", of this section):
			Staff Comments	The residence will have one fully enclosed area not raised to the flood protection elevation: the garage. The garage has been designed to include to automatically equalize hydrostatic flood forces on exterior walls through the installation of flood openings (Smart Vents have been specified for this project). The appropriate number of vents to cover the square footage the enclosed area are proposed —6 openings for the garage.
			17.88.060.B2. c.(1)	(1) A minimum of two (2) openings having a total net area of not less than one square inch for every square foot of enclosed area subject to flooding shall be provided. Openings shall be placed on at least two (2) walls to permit entry and exit of floodwaters.  Flood openings are placed on at least two walls. Engineered Smart
			Comments	Vents are proposed. One Smart Vent is sized for 200 square feet of floor area. The garage is 1170 sq ft and 6 Smart Vents are proposed. See sheet A-110.
			17.88.060.B2. c.(2) Staff Comments	(2) The bottom of each flood vent opening shall be no higher than one foot (1') above the lowest adjacent exterior grade.  Spec sheets for proposed flood vents indicate this requirement will be met. Bottom of proposed flood vents will be a maximum of one foot (1') above finished grade.
			17.88.060.B2. c.(3)	(3) Engineered flood vents are required.

Compliant		ant		Standards and Staff Comments
Yes	No	N/ A	Guideline	City Standards and Staff Comments
			Staff Comments	Proposed vents are Engineered Smart Vents
□ □ 17.88.060.B2. c.(4)			(4) Portions of the building below the base flood elevation shall be constructed with material resistant to flood damage.	
			Staff Comments	This standard has been met. See 17.88.060.A.2
			17.88.060.B2. c.(5)	(5) The interior grade of a below grade crawl space (see figure 2, "Below Grade Crawl Space Construction", of this section) below the base flood elevation shall not be more than two feet (2') below the lowest adjacent exterior grade.
			Staff Comments	N/A. No crawlspace proposed.
			17.88.060.B2. c.(5)	6) The height of a below grade crawl space, measured from the interior grade of the crawl space to the top of the crawl space foundation wall, shall not exceed four feet (4') at any point.
			Staff Comments	N/A. No crawlspace proposed.
			17.88.060.B2. c.(5)	(7) A below grade crawl space shall have an adequate drainage system that removes floodwaters from the interior area of the crawl space within a reasonable time after a flood event.
			Staff Comments	N/A. No crawlspace proposed.
			17.88.060.B2. c.(6)	(8) The velocity of floodwaters at the site should not exceed five feet per second for any crawlspace
			Staff Comments	N/A. No crawlspace proposed.

#### **CONCLUSIONS OF LAW**

- 1. The City of Ketchum is a municipal corporation organized under Article XII of the Idaho Constitution and the laws of the State of Idaho, Title 50, Idaho Code;
- 2. Under Chapter 65, Title 67, of the Idaho Code the City has passed a zoning ordinance, Title 17;
- 3. The City of Ketchum Planning Department provided adequate notice of opportunity to comment on this application pursuant to Chapter 17.88.050 D of the zoning ordinance, Title 17;
- 4. The project does meet the standards of approval under Chapter 17.88 of Zoning Code Title 17.

#### DECISION

THEREFORE, the Administrative Floodplain Development Permit for the proposed project, Badger Residence, is approved on this date, May 14, 2024, with the following conditions.

#### **Conditions of Approval**

- 1. This approval is subject to the scope of work described in the documents shown in Attachment A.
- 2. Any modification to approved plans as referenced in this approval shall be subject to a written amendment to this permit approval. If construction or improvements differ from the approved plans, such work may be subject to removal at the applicants expense.
- 3. Follow up site visits to ensure compliance with the approved Landscaping Plan, L5.0 dated 4/29/2024, are required for the three (3) years following the initial site visit that occurs in conjunction with issuance of the Certificate of Occupancy.
  - A. If, upon an annual inspection, 80% or fewer of the plants indicated on Landscape Plan L5.0 dated 4/29/2024 have not survived, the property owner shall re-install new plantings.
- 4. Floodplain Development Permit approval shall expire one (1) year from the date of signing of approved Findings of Fact per the terms of KMC, Section 17.88.050.G, Terms of Approval, if construction has not commenced. Once a building permit has been issued, the approval shall be valid for the duration of the building permit.
- 5. No use of restricted use chemicals or soil sterilants will be allowed within one hundred feet (100') of the mean high-water mark on any property within the city limits at any time (KMC 17.88.040.C.3);
- 6. All applications of herbicides and/or pesticides within one hundred feet (100') of the mean high water mark, but not within twenty five feet (25') of the mean high water mark, must be done by a licensed applicator and applied at the minimum application rates (KMC 17.88.040.C.4);
- 7. Application times for herbicides and/or pesticides will be limited to two (2) times a year; once in the spring and once in the fall unless otherwise approved by the City Arborist (KMC 17.88.040.C.5);
- 8. It shall be unlawful to dump, deposit or otherwise cause any trash, landscape debris or other material to be placed in any stream, channel, ditch, pond or basin that regularly or periodically carries or stores water.
- 9. A building under-construction Elevation Certificate (FEMA FORM 86-0-33) shall be submitted within seven calendar days upon completion of the foundation and lowest floor.
- 10. A final, as built finished construction Elevation Certificate (FEMA Form 86-0-33) with supporting documentation such as an as-built survey of the project produced by a surveyor or engineer licensed in Idaho demonstrating that the project was constructed in accordance with the approved plans, shall be submitted prior to issuance of Certificate of Occupancy. Deficiencies detected by such documentation shall be corrected by the permit holder immediately and prior to certificate of occupancy issuance. In some instances, another certification may be required to certify corrected as-built construction. Failure to submit the certification or failure to make required corrections shall be cause to withhold the issuance of a certificate of occupancy.
- 11. The finished construction elevation certificate certifier shall provide at least two photographs showing the front and rear of the building taken within 90 days from the date of certification. The photographs must be taken with views confirming the building description and elevation locations identified on the approved plans. To the extent possible, these photographs should show the entire building including foundation. If the building has split-level or multi-level areas, provide at least two additional photographs showing side views of the building. In addition, when applicable, provide a photograph of the foundation showing a representative example of the flood openings or vents if applicable. All photographs must be in color and measure at least three inches by three inches. Digital photographs are acceptable.
- 12. An inspection to verify flood vent placement shall be scheduled within seven calendar days upon completion of first floor framing.
- 13. The Administrator may conduct site inspections of work in progress. The Administrator may make as many inspections of the work as may be necessary to ensure that the work is being done according to the terms of this permit, approved plans and KMC 17.88. In exercising this power, the Administrator

- has a right, upon presentation of proper credentials, to enter the property at any reasonable hour for the purposes of inspection or other enforcement action.
- 14. Upon notification of imminent flood danger from the City of Ketchum, all construction activity and materials within the designated SFHA shall be removed to a location outside of said zone.
- 15. Maintenance of culverts to ensure they function properly during flooding conditions is required. Per KMC 17.88.050.D.3.b.(2), the administrator and each member of his or her inspections department shall a right, upon presentation of proper credentials, to enter on any premises within the territorial jurisdiction of the department at any reasonable hour for the purposes of inspection or other enforcement action to verify that the culverts are maintained appropriately.

Decision: Approved, subject to conditions above.

**DATED** this

14th day of May 2024

Adam Crutcher Associate Planner

**ATTACHMENTS:** 

A. Project Plans

Permit Holder's Acknowledgement:

I have read the terms and conditions of this permit approval and agree to follow all the conditions of approval. I understand if construction does not comply with the conditions of approval, the project may be issued a stop work order until any deficiencies are corrected.

Print Name: Erik de Buijn

Sign For

Date: 05/14/2024



## **ATTACHMENT 8:**

# Approved Building Permit Plan Set

Approve

These plans have been found to be in substantial compliance of the adopted building codes. These documents are approved contingent on compliance with the mark-ups and notes applied. This is not approval of any violation of any code, ordinance, statue or regulation. Corrections will be required for code violations found during the inspection process.

BLD2303-00021

PROJECT DESCRIPTION



## 121 BADGER LANE

PROJECT DATA

## **BUILDING PERMIT SUBMITTAL**

SINGLE FAMILY RESIDENCE: MAIN HOUSE DWELLING WITH IN-GROUND SPA; ACCESSORY DWELLING UNIT WITH IN-GROUND POOL AND SPA.  SCOPE OF WORK INCLUDES: NEW CONSTRUCTION OF FOUNDATION, STRUCTURAL, CIVIL, LANDSCAPING, AND HARDSCAPING.  PROJECT ADDRESS  121 BADGER LANE KETCHUM, ID 83340	PARCEL #: RPK05130000040 PARCEL AREA: 1.09 ACRES PER SURVEY (47,480 SF) ZONING DISTRICT: LR- LIMITED RESIDENTIAL DISTRICT FLOODPLAIN OVERLAY DISTRICT: YES AVALANCHE OVERLAY DISTRICT: NO MOUNTAIN BOUNDARY: NO  OCCUPANCY: R-3 - SINGLE FAMILY DWELLING CONSTRUCTION TYPE: TYPE V ZONING HEIGHT LIMIT: 35' IFC HEIGHT LIMIT: 30' (SEE SHEET G-011) STORIES: 2 SETBACKS: 15' FRONT, 20' REAR, GREATER OF 1' FOR EVERY 2' OF BUILDING HEIGHT OF 10' SIDE  PARKING: 2 REQ'D PER DWELLING UNIT AUTOMATIC SPRINKLER SYSTEM REQ'D: YES; NFPA 13D  MAX BUILDING COVERAGE (LR ZONE): 35% PROPOSED BUILDING COVERAGE; 21% (SEE SHEET G-010)	(SEE SHEET G-012 FOR AREA CALCULATION FOR ADU- NET LIVABLE SF)  PROPOSED NET LIVABLE FLOOR AREA- ADU  ADU- LEVEL 01 = 621 SF ADU- LEVEL 02 = 572 SF TOTAL = 1,193 SF  ADU- GARAGE = 495 SF
LEGAL DESCRIPTION	PROPOSED DEVELOPMENT	APPLICABLE CODES:
PARCEL 4, ROCKING RANCH SUB #2 (LOCATED WITHIN SECTION 13, T.4 N., R.17 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO)	PROPOSED GROSS FLOOR AREA  MAIN HOUSE- LEVEL 01 = 5,450 SF MAIN HOUSE- LEVEL 02 = 3,900 SF TOTAL = 9,350 SF  ADU- LEVEL 01 = 1,411 SF ADU- LEVEL 02 = 945 SF TOTAL = 2,356 SF   PROPOSED UNCONDITIONED FLOOR AREA  MAIN HOUSE- GARAGE = 1,105 SF MAIN HOUSE- MECH = 508 SF  ADU- GARAGE = 530 SF ADU- MECH = 292 SF  PROPOSED CONDITIONED FLOOR AREA  MAIN HOUSE- CONDITIONED = 7,737 SF	ALL CONSTRUCTION SHALL COMPLY WITH:  2018 INTERNATIONAL BUILDING CODE* 2018 INTERNATIONAL FIRE CODE WITH LOCAL AMENDMENTS* 2018 INTERNATIONAL FIRE CODE WITH LOCAL AMENDMENTS* 2018 INTERNATIONAL ENERGY CONSERVATION CODE 2018 INTERNATIONAL SWIMMING POOL AND SPA CODE 2018 INTERNATIONAL EXISTING BUILDING CODE 2018 INTERNATIONAL PROPERTY MAINTENANCE CODE  *AS AMENDED BY THE IDAHO BUILDING CODE BOARD AND INCLUDING NOTED APPENDICES.  NATIONAL GREEN BUILDING STANDARD [SILVER CERTIFICATION] TITLE 15 KETCHUM MUNICIPAL CODE APPENDIX M OF THE IBC AS AMENDED BY THE CITY OF KETCHUM  ALL APPLICABLE COUNTY ORDINANCES CONTRACTOR SHALL KEEP A COPY OF THE ABOVE CODE SECTIONS ON THE JOB SITE AT ALL TIMES.  JURISDICTIONAL AGENCY SHALL BE THE KETCHUM BUILDING DEPARTMENT.
	ADU - NET LIVABLE (PER CoK) = 1,193 SF *SEE SHEET G-012 ADU - CONDITIONED = 1,534 SF  PROPOSED COVERED PORCH / PATIO:  MAIN HOUSE FRONT DECK = 907 SF ADU LEVEL 02 BALCONY = 142 SF  PROPOSED UNCOVERED PORCH / PATIO:	THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DRAWINGS, CALCULATIONS, GOVERNMENTAL AGENCY APPROVALS AND FEES TO COMPLETE THIS WORK. CONTRACTOR/SUBCONTRACTORS SHALL SUBMIT MECHANICAL, ELECTRICAL, COMMUNICATIONS AND PLUMBING DRAWINGS TO RO ROCKETT DESIGN FOR PREVIEW OF DEVICE TYPES, LOCATIONS AND QUANTITIES, HVAC ZONING/THERMOSTAT LOCATIONS, ETC. PRIOR TO SUBMITTING FOR PERMIT AND CONSTRUCTION.

MAIN HOUSE REAR DECK = 1,388 SF

ADU LEVEL 02 ROOF DECK = 240 SF

ADU POOL DECK

.....

ACCESSORY DWELLING UNIT - NET LIVABLE AREA



## **BADGER RESIDENCE**

OWNER:

**121 BADGER LANE LLC** P.O. BOX 14001-174

KETCHUM, ID 83340

PROJECT ARCHITECT:

RO | ROCKETT DESIGN

1031 W. MANCHESTER BLVD, UNIT 6
INGLEWOOD, CA 90301

SURVEYOR:

TEL: 213.784.0014

GALENA ENGINEERING, INC. 317 NORTH RIVER STREET HAILEY, ID 83333 TEL: 208.788.1705

ENVIRONMENTAL CONSULTANT:

SAWTOOTH ENVIRONMENTAL CONSULTING P.O. BOX 2707 / 540 NORTH FIRST AVE KETCHUM, ID 83340 TEL: 208.727.9748

HYDROLOGY / WATER ENGINEERING:

BROCKWAY ENGINEERING, INC. 2016 WASHINGTON ST NORTH, SUITE 4 TWIN FALLS, ID 83301

TEL: 208.736-8543

GEOTECHNICAL ENGINEER:

BUTLER ASSOCIATES, INC.
P.O. BOX 1034

LANDSCAPE ARCHITECT:

**BYLA**323 LEWIS STREET, SUITE N
KETCHUM, ID 83340
TEL:: 208.726.5907

KETCHUM, ID 83340 TEL: 208.720.6432

CIVIL ENGINEER:

BENCHMARK ASSOCIATES, P.A. P.O. BOX 733 - 100 BELL DRIVE KETCHUM, IDAHO 83340 TEL: 208.726.9512

STRUCTURAL ENGINEER:

319 MAIN STREET EL SEGUNDO, CA 90245 TEL: 213.239 9700

MEP ENGINEER:

CES ENGINEERING SERVICES, LLC 1001 W OAK BUILDING B SUITE 107 BOZEMAN, MT 59715 TEL: 406.272.0352

LIGHTING DESIGN CONSULTANT:

KGM ARCHITECTURAL LIGHTING 270 CORAL CIRCLE EL SEGUNDO, CA 90245 TEL: 310.552.2191

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1 05.02.23 PERMIT REVIEW- REV 1
0 02.28.23 BUILDING PERMIT SUBMITTAL
NO DATE ISSUE

PROJECT:

## BADGER RESIDENCE

121 BADGER LANE KETCHUM, ID 83340

PROJECT NUMBER

#2201

DRAWING TITLE:

**COVER SHEET** 

DRAWING NUMBER:

G-000

NOT FOR CONSTRUCTION

App These complia dogume

These plans have been found to be in substantial compliance of the adopted building codes. These documents are approved contingent on compliance with the mark-ups and notes applied. This is not approval of any violation of any code, ordinance, statue or regulation. Corrections will be required for code violations found curing the inspection process.

\*\*BLD2303-00021\*\*

96/26/23

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A-600 A-602 A-610 A-611 A-620 A-700 A-701 A-702 A-703 A-704 A-705 A-706 A-707 A-708	EXTERIOR DOOR DETAILS  EXTERIOR DOOR DETAILS  EXTERIOR WINDOW DETAILS  ENLARGED PLANS / STAIR 1  ENLARGED SECTIONS / STAIR 1  ENLARGED SECTIONS / STAIR 1  ENLARGED PLANS / STAIR 2  ENLARGED SECTIONS / STAIR 2  ENLARGED SECTIONS / STAIR 2  ENLARGED PLANS / STAIR 2  ENLARGED PLANS / STAIR 3  ENLARGED SECTIONS / STAIR 3  ENLARGED SECTIONS / STAIR 3	•
A-600 A-602 A-610 A-611 A-620 A-700 A-701 A-702 A-703 A-704 A-705 A-706 A-707 A-708 A-709	EXTERIOR DOOR DETAILS  EXTERIOR DOOR DETAILS  EXTERIOR WINDOW DETAILS  ENLARGED PLANS / STAIR 1  ENLARGED SECTIONS / STAIR 1  ENLARGED SECTIONS / STAIR 1  ENLARGED PLANS / STAIR 2  ENLARGED SECTIONS / STAIR 3  ENLARGED SECTIONS / STAIR 3  ENLARGED SECTIONS / STAIR 3  STAIR DETAILS	•
A-600 A-602 A-610 A-611 A-620 A-700 A-701 A-702 A-703 A-704 A-705 A-706 A-707 A-708 A-709 A-710	EXTERIOR DOOR DETAILS  EXTERIOR DOOR DETAILS  EXTERIOR WINDOW DETAILS  ENLARGED PLANS / STAIR 1  ENLARGED SECTIONS / STAIR 1  ENLARGED SECTIONS / STAIR 1  ENLARGED PLANS / STAIR 2  ENLARGED SECTIONS / STAIR 2  ENLARGED SECTIONS / STAIR 2  ENLARGED SECTIONS / STAIR 3  ELEVATOR PLANS, ELEVS & DETAILS	•
A-600 A-602 A-610 A-611 A-620 A-700 A-701 A-702 A-703 A-704 A-705 A-706 A-707 A-708 A-709 A-710 A-730	EXTERIOR DOOR DETAILS  EXTERIOR DOOR DETAILS  EXTERIOR WINDOW DETAILS  ENLARGED PLANS / STAIR 1  ENLARGED SECTIONS / STAIR 1  ENLARGED SECTIONS / STAIR 1  ENLARGED PLANS / STAIR 2  ENLARGED SECTIONS / STAIR 2  ENLARGED SECTIONS / STAIR 2  ENLARGED SECTIONS / STAIR 2  ENLARGED PLANS / STAIR 3  ENLARGED SECTIONS / STAIR 3  FIREPLACE 1 / PLANS, ELEVS & DETAILS	•
A-600 A-602 A-610 A-611 A-620 A-700 A-701 A-702 A-703 A-704 A-705 A-706 A-707 A-708 A-709 A-710 A-730 A-732	EXTERIOR DOOR DETAILS  EXTERIOR DOOR DETAILS  EXTERIOR WINDOW DETAILS  ENLARGED PLANS / STAIR 1  ENLARGED SECTIONS / STAIR 1  ENLARGED SECTIONS / STAIR 1  ENLARGED PLANS / STAIR 2  ENLARGED SECTIONS / STAIR 2  ENLARGED SECTIONS / STAIR 2  ENLARGED SECTIONS / STAIR 2  ENLARGED PLANS / STAIR 3  ENLARGED SECTIONS / STAIR 3  FIREPLACE 1 / PLANS, ELEVS & DETAILS  FIREPLACE 2 / PLANS, SECTIONS, DETAILS	•

SHEET INDEX

## BADGER RESIDENCE

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TEL: 208.788.1705

ENVIRONMENTAL CONSULTANT:

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SEAL:



0 02.28.23 NO DATE

BUILDING PERMIT ISSUE

PROJECT:

BADGER RESIDENCE
121 BADGER LANE

KETCHUM, ID 83340

PROJECT NUMBER

#2201

DRAWING TITLE:

SHEET INDEX

DRAWING NUMBER:

G-001

on <del>ocliance of the acle</del>	en found to be in substantial												
e mark-ups and note	MMUNICATION Compliance with less applied. This is not approval of ode, ordinance, statue or regulation.	0 0	ELEVATOR CALL PANEL				HVAC SYMBOL KEY						
corrections will be rectionally the light of	quired for code violations found  Abbuels SYMBOL KEY FOR ADDITIONAL INFORMATION		ELEVATOR DIRECTION LANTERN		ROUND DIFFUSER		RISER AND TAKEOFF	1		EXTERIOR		<u> </u>	PROPERTY LINE
BLD2303-00		\ N'N"	HEIGHT OF OBJECT		3-WAY DIFFUSER		SUPPLY DUCT TURNS DOWN TO	1 A101 1		ELEVATION		-	
6/26/23⊈	WALL-MOUNTED DUPLEX RECEPTACLE	N'N"	HEIGHT ABOVE FINISHED FLOOR T	то	5-WAY DIFFUSEK		EQUIPMENT OR THRU FLOOR			REFERENCE		<u> </u>	CENTERLINE
Φ	FLOOR-MOUNTED DUPLEX RECEPTACLE		BOTTOM OBJECT		4-WAY DIFFUSER		SUPPLY DUCT TURNS UP TO EQUIPMENT OR THRU CEILING						1HD NON COMPLICTIBLE
	WALL-MOUNTED DOUBLE-DUPLEX RECEPTACLE	c					SUPPLY DUCT HEIGHT CHANGE	SIM	I	SECTION REFERENCE			1HR NON COMBUSTIBLE WALL
#	FLOOR-MOUNTED DOUBLE-DUPLEX RECEPTACLE	—— Е ——	ELECTRICAL CONDUIT		REGISTER		LOW HIGH	A101		INCI LINCINGE			
Φ	WALL-MOUNTED SIMPLEX RECEPTACLE	—— E? ——	POWER/COMMUNICATION LINE, VIF SERVICE TYPE		. V		SIDE SIDE RETURN/EXHAUST DUCT						1HR NON COMBUSTIBLE WALL @ PROP. LINE
$\overline{\phi}$	WALL-MOUNTED SPECIAL RECEPTACLE				\$ SPEAKER VOLUME SWITCH		HEIGHT CHANGE	SIM					
	WALL-MOUNTED RECESSED CLOCK-HANGER		2'x4' FLUORESCENT FIXTURE		S SPEAKER		RETURN/EXH. DUCT THRU	(1) (A101)		DETAIL REFERENCE			2HR NON COMBUSTIBLE WALL
	RECEPTACLE				1		FLOOR AND CEILING (RISER)			TEL ENERGE			
<u>P</u>	WALL-MOUNTED POWER CONNECTION		1'x4' FLUORESCENT FIXTURE		\$ LIGHT SWITCH		RISER AND TAKEOFF						NEW CONSTRUCTION
	TO WORKSTATION	N'N" • N'N"	CEILING HEIGHT CHANGE		\$ MANUAL ON / VACANCY SENS	SOR	DETURNIEVIALIOT RUOT TURNO ROMAN		0	GRIDLINE			EVIOTING WALL TO
P	FLOOR-MOUNTED POWER CONNECTION TO WORKSTATION				DIMMER SWITCH		RETURN/EXHAUST DUCT TURNS DOWN TO EQUIPMENT OR THRU FLOOR		$igcup_{}^{}$	NUMBER			EXISTING WALL TO REMAIN- COVER AND
<b></b>	WALL-MOUNTED ELECTRICAL JUNCTION BOX	CH +N'-N"	CEILING, SOFFIT OR BEAM HEIGHT ABOVE SURVEY DATUM	Г	1 3		RETURN/EXHAUST DUCT TURNS UP			GRIDLINE			PROTECT FROM DAMAGE DURING CONSTRUCTION
J.	FLOOR-MOUNTED ELECTRICAL JUNCTION BOX				\$ 3-WAY SWITCH		TO EQUIPMENT OR THRU CEILING	4' - 4 1/2	<u>"</u>	GRIDLINE DIMENSION			BONING CONCINCOTION
РВ		REFLECTED CEILING	SYMBOL KEY		\$ 4-WAY SWITCH		N'N" HEIGHT OF OBJECT  +N'N" HEIGHT ABOVE SURVEY DATUM TO						DEMO PLAN
TR	PULLBOX	(S)	SMOKE DETECTOR		\$ LIGHT SCENE CONTROL		BOTTOM OF OBJECT  CONDENSATE LINE	LEVEL		ELEVATION MARKER			EXISTING ELEMENTS TO BE DEMOLISHED
DS	TRANSFORMER				SM SURFACE-MOUNTED LIGHT FIX	IXTURE	— CHWR — CHILLED WATER RETURN LINE			W W W W W W W W W W W W W W W W W W W			
PP	DISCONNECT SWITCH	<u>©</u>	CARBON MONOXIDE DETECTOR		RECESSED DOWNLIGHT			4' - 4 1/2	" <del></del>	DIMENSION TO			FLOOR PLAN
	POWER PANEL	<b>→</b>	EXIT SIGN (SHADED PORTION DEN	NOTES			— CHWS — CHILLED WATER SUPPLY LINE	i	İ	FINISH FACE OF WALL, UNO			ELEMENTS ABOVE OR BELOW CUTTING PLANE
$\bigvee$	WALL-MOUNTED COMMUNICATION RECEPTACLE	$\otimes$	ILLUMINATED SIDE, ARROW DENC DIRECTION INDICATOR)	OTES	RECESSED WALL WASHER		——cwr—— CONDENSER WATER RETURN LINE			OI WALL, ONO			BELOW COTTING FLANE
	FLOOR-MOUNTED COMMUNICATION RECEPTACLE				LIGHT FIXTURE WITH PULLCH	IAIN	cws CONDENSER WATER SUPPLY LINE						
<u> </u>	WALL-MOUNTED COMMUNICATION	1	EMERGENCY LIGHT		PENDANT LIGHT FIXTURE		—— D —— EQUIPMENT DRAIN LINE	DOCUMENT -	MDES		STING DOOR		
	CONNECTION TO WORKSTATION	9	MOTORIZED SHADE POCKET		SCONCE		FR FILTRATION RETURN LINE	ROOM NAME ROOM NU		KER	FERENCE W DOOR REFERENCE	###'-##"	
©	FLOOR-MOUNTED COMMUNICATION CONNECTION TO WORKSTATION	<u> </u>	CEILING-MOUNTED SECURITY CAN	MERA	$\bigcirc$	V	— FS — FILTRATION SUCTION LINE	150 SF ROOM AR		###		, , , , , , , , , , , , , , , , , , ,	SPOT ELEVATION
	INTERCOM				MISSING SCONCE, J-BOX ONL	_Y	HPS HIGH PRESSURE STEAM LINE	1t WALL TYP			PLACEMENT OR REFERENCE		
		<u>├</u>	WALL-MOUNTED SECURITY CAME	:KA	CEILING FAN		— HVAC? — HVAC PIPE, VIF SERVICE TYPE	(5)		STO	ORY POLE	⟨M###⟩	MILLWORK
	CABLE TV RECEPTACLE	<b>©</b>	SPRINKLER HEAD				LPS LOW PRESSURE STEAM LINE	(E) EXISTING REFEREN			FERENCE	\ P###\	PLUMBING FIXTURE
	WALL MOUNT DEVICE	\$ <sup>F</sup>	FAN SWITCH		2'x2' FLUORESCENT FIXTURE ( SHOWN DENOTES SURFACE N			(N) NEW WINI	OOW REFERENCE	RFV	/ISION CLOUD	\(\begin{align*} \text{A###} \\ \tag{A###}	APPLIANCE
	CEILING MOUNT DEVICE	\$ K	KEY PAD		SM SHOWN DENOTES SURFACE IN	J JIVI LD)		(##)	ON NEI LINEINUE		<del>-</del>		VIEW
CP	COMMUNICATION PANEL	( <del>T</del> )	THERMOSTAT				OLOGINDART HOT WATER RETORN EINE		MENT WINDOW	RE\	ISION NUMBER	SEE ##/A-###	VIEW REFERENCE
							—— SHWS —— SECONDARY HOT WATER SUPPLY LINE	REFEREN	<i>J</i> E 				
SYMBOLS													
&	AND	CONST	CONSTRUCTION	FL	FLOW LINE	KIT	KITCHEN OT	OUTLET	S		SOUTH TV		TELEVISION
<	ANGLE OR LESS THAN	CONTR	CONTINUOUS CONTRACTOR	FLASH FLR / FLRG	FLASHING FLOOR / FLOORING	КО	KNOCK OUT OVFL	OVERFLOW OVERHEAD	S&P		F AND POLE TX SUPPLY AIR TYP		TOILET EXHAUST TYPICAL
AB	AT ANCHOR BOLT	CONTR COORD	CONTRACTOR COORDINATE	FLR / FLRG FLUOR	FLOOR / FLOORING FLUORESCENT	L LACQ	LENGTH OVHD  LACQUER P	OVERHEAD PAINT	SAF	SELF ADHERE			TYPICAL UNDERSIDE
ABV	ABOVE	CORR	CORRIDOR	FND	FOUNDATION	LAM	LAMINATE PA	PLANTING AREA	SC		SOLID CORE UBC	UNIFORM BUIL	DING CODE / APPLICABLE LOCAL
AC ACC	AIR CONDITIONING ACCESSIBLE	CORRG CPT	CORRUGATED CARPET	FOC	FACE OF FACE OF CONCRETE	LAV LBS/#	LAVATORY PAV POUNDS PBD	PAVING PARTICLE BOARD	SCD SCHED	SEE CIVI	L DRAWINGS SCHEDULE UC		BLDG CODE UNDER CABINET
ACCES	ACCESSORIES	CS	COUNTERSUNK	FOF	FACE OF FINISH	LF	LINEAL FEET PC	PRECAST	SCUP		SCUPPER UL	-DI 434	UNDERWRITER'S LABORATORY
ACOUST	ACOUSTICAL ACOUSTICAL PANEL CEILING	CSWK CT	CASEWORK CERAMIC TILE	FOM FOS	FACE OF MASONRY FACE OF STRUCTURE	LH LIN	LEFT HAND PDF LINEN PED	POWER DRIVEN FASTENER PEDESTRIAN	SD SDNG	SMOKE DETECTOR / S	TOTAL DIVALLA	ERLAY N	UNDERLAYMENT UNFINISHED
ACP ACT	ACOUSTICAL PANEL CEILING ACOUSTIC CEILING TILE	CT CTR	CERAMIC TILE CENTER	FOS FOW	FACE OF STRUCTURE FACE OF WALL	LIN	LINEN PED LIVE LOAD PERF	PEDESTRIAN PERFORATED	SDNG SECT		SIDING UNFII SECTION UNO	· <del>-</del>	UNLESS NOTED OTHERWISE
AD	AREA DRAIN	CW	COLD WATER	FP	FIRE PROTECTION	LLH	LONG LEG HORIZONTAL PERIM	PERIMETER	SED	SEE ELECTRICA	L DRAWINGS UON		UNLESS OTHERWISE NOTED
ADJ AFF	ADJACENT ABOVE FINISHED FLOOR	D DBL	DEEP, DEPTH, DRYER DOUBLE	FPG FPRF	FIREPROOFING FIRE PROOF	LLV	LONG LEG VERTICAL PERP LINE OF PI.	PERPENDICULAR PLATE	SEP SEW		SEPARATE URNL SEWER UTIL	-	URINAL UTILITY
AFG	ABOVE FINISHED GRADE	DEG	DEGREE	FR	FIRE RAT(ED)(ING)	LOBA	LINE OF BUILDING ABOVE PJ	POUR JOINT	SF	SQUARE	FEET / FOOT VAC	VEN	TILATION AND AIR CONDITIONING
AGGR ALT	AGGREGATE ALTERNATE	DEMO DEMO	DEMOLISH OR DEMOLITION DEMOLITION	FRC FRMG	FIBER REINFORCED CONCRETE FRAMING	LP	LOW POINT PL LIGHT PLAM	PROPERTY LINE / PLATE PLASTIC LAMINATE	SFL SGL		SUB FLOOR VAR SINGLE VB		VARIES VAPOR BARRIER
ALUM	ALUMINUM	DEMO DEPT	DEPARTMENT	FRMG	FIRE RETARDANT TREATED	LTWT	LIGHT WEIGHT PLAS	PLASTIC LAMINATE PLASTER	SH	SPRI	NKLER HEAD VCT		VINYL COMPOSITION TILE
ANNUNC	ANNUNCIATOR	DF	DRINKING FOUNTAIN	FS	FINISH SIDEWALK	LVR	LOUVER PLBG	PLUMBING	SHR		SHOWER VENT		VENTILATION VERTICAL
ANOD AP	ANODIZED ACCESS PANEL	DIA DIAG	DIAMETER DIAGONAL	FT FTNG	FEET/FOOT FOOTING	MACH MAN	MACHINE PLF  MANUAL PLYWD	POUNDS PER LINEAR FOOT PLYWOOD	SHRNG SHT		SHORING VERT SHEET VEST		VERTICAL VESTIBULE
APPL	APPLIANCE	DIFF	DIFFUSER	FURN	FURNITURE	MAS	MASONRY PNL	PANEL	SIM		SIMILAR VG		VERTICAL GRAIN
APPROX ARCH	APPROXIMATE ARCHITECTURAL	DIM DIMS	DIMENSION DIMENSIONS	FURR FWC	FURRING FABRIC WALL COVERING	MAT'L MAX	MATERIAL PNT MAXIMUM POL	PAINT OR PAINTED POLISHED	SL SLCD	SEE LIGHTING CONSULTAN	SLOPE VGDF T DRAWINGS VIF	-	VERTICAL GRAIN DOUGLAS FIR VERIFY IN FIELD
ASPH	ASPHALT	DISP	DISPENSER	FWP	FABRIC WRAPPED PANEL	MB	MACHINE BOLT PP	POWER POLE	SLD	SEE LANDSCAPI	E DRAWINGS VOL		VOLUME
ATTN AUTO	ATTENTION AUTOMATIC	DIV DMPF	DIVISION DAMP PROOFING	GA GALV	GAUGE GALVANIZED	MC MDF	MEDICINE CABINET PR MEDIUM DENSITY FIBERBOARD PREFAB	PAIR PREFABRICATED	SM		HEET METAL VP CE MOUNTED VR		VISION PANEL VAPOR RETARDER
AUTO	AUDIOVISUAL	DN	DAMP PROOFING DOWN	GB	GRAB BAR	MDF	MEDIUM DENSITY FIBERBOARD PREFAB  MEDIUM DENSITY OVERLAY PREFIN	PREFINISHED	SMD	SURFAC SEE MECHANICA	L DRAWINGS VT		VINYL TILE
SSD	SEE STRUCTURAL DRAWINGS	DO	DOOR OPENING	GC	GENERAL CONTRACT(OR)	MECH	MECHANICAL PRM	PRIMER	SOG	SLA	B ON GRADE VWC		VINYL WALL COVERING WIDE / WEST / WASHER
BD BIT	BOARD BITUMINOUS	DR DRN	DOOR DRAIN	GEN GFRC	GENERAL GLASS FIBER REINFORCED CONCRETE	MED MEMBR	MEDIUM PROJ MEMBRANE PRVD	PROJECT PROVIDED	SP SPD	SEE PLUMBING	STANDPIPE W G DRAWINGS W/		WITH
BL	BUILDING LINE	DS	DOWN SPOUT	GL	GLASS	MEZZ	MEZZANINE PSF	POUNDS PER SQUARE FOOT	SPEC	SPECIFIED OR SP	ECIFICATION W/D		WASHER AND DRYER
BLDG BLK	BUILDING BLOCK	DTL/DET DW	DETAIL DISHWASHER	GLAZ GLB	GLAZING GLUE LAMINATED BEAM	MF MFD	MOMENT FRAME PT  MANUFACTURED PTD	POINT / PRESSURE TREATED PAINTED	SPK SPKR	SPRINKLER (	OR SPEAKER W/O SPEAKER WC		WITHOUT WATER CLOSET
BLKG	BLOCKING	DWG	DRAWING	GRAN	GRANULAR	MFR	MANUFACTURER PTN	PARTITION	SQ		SQUARE WD		WOOD
BM BO	BEAM BOTTOM OF	DWR F	DRAWER FAST	GRD GRFG	GROUND GLASS FIBER REINFORCED GYPSUM	MH MIN	MAN HOLE PVC MINIMUM PWDR CTD	POLYVINYL CHLORIDE POWDER COATED	SS		ILESS STEEL WGL ERVICE SINK WH		WIRE GLASS WATER HEATER / WEEP HOLE
BOS	BOTTOM OF STRUCTURE	EA	EAST EACH	GRFG GSM	GLASS FIBER REINFORCED GYPSUM GALVANIZED SHEET METAL	MIN	MINIMUM PWDR CTD  MIRROR QT	POWDER COATED QUARRY TILE	SSK SSMH	S SANITARY SEWE	ER MANHOLE WIN		WINDOW
вот	ВОТТОМ	EB	EXPANSION BOLT	GV	GAS VALVE	MISC	MISCELLANEOUS QTY	QUANTITY	STA		STATION WM		WIRE MESH WATERPROOF(ING)
BRG BRK	BEARING BRICK	EG	EACH FACE EXISTING GRADE	GWB GYP	GYPSUM WALL BOARD GYPSUM	MIX MLWK	MIXTURE R MILLWORK RA	RADIUS / RISER RETURN AIR	STC STD	SOUND TRANSMISSION ( STANDAF	RD / STAINED WPM		WATERPROOF MEMBRANE
BRKT	BRACKET	EJ	<b>EXPANSION JOINT</b>	H	HIGH/HEIGHT	МО	MASONRY OPENING RAD	RADIUS	STL		STEEL WS	т	WEATHER-STRIPPING WAINSCOT
BS BSMNT	BOTH SIDES BASEMENT	EL ELEC	ELEVATION ELECTRIC(AL)	HB HC	HOSE BIB HANDICAPPED	MOIST MOT	MOISTURE RAH MOTOR(IZED) RB	ROOF ACCESS HATCH RESILIENT BASE	STOR STRFR	9	STORAGE WSC TOREFRONT WT	1	WAINSCOT WEIGHT
BTU	BRITISH THERMAL UNIT	ELEV	ELEVATOR	HDF	HIGH DENSITY FIBERBOARD	MR	MOISTURE RESISTANT RBR	RUBBER	STRG		STRINGER WV		WOOD VENEER / WATER VALVE
BTW BYND / BYD	BETWEEN BEYOND	EMBED EMER	EMBEDD(ED)(ING) EMERGENCY	HDG HDPE	HOT DIPPED GALVANIZED HIGH DENSITY POLYETHYLENE	MS MSB	MOTORIZED SKYLIGHT RCP MOTORIZED SKYLIGHT BLIND RD	REFLECTED CEILING PLAN ROOF DRAIN	STRUCT SUBCAT	STRUCTURE OR S	STRUCTURAL WWF BCATEGORY WWM		WELDED WIRE FABRIC WELDED WIRE MESH
C C	CHANNEL	ENAM	ENAMEL	HDR	HEADER	MSS	MOTORIZED SOLAR SHADE REC	RECESSED	SUSP		SUSPENDED		
C/C	CENTER TO CENTER	ENCL ENG	ENCLOSURE ENGINEER	HDWD HDWR	HARDWOOD HARDWARE	MTD MTG	MOUNTED RECIRC MOUNTING RECPT	RECIRCULATING RECEPTACLE	SYM	S	/MMETRICAL SYSTEM		
CAB CAT	CABINET CATEGORY	EP	ENGINEER ELECTRICAL PANEL	HGT	HARDWARE HEIGHT	MTL	MOUNTING RECPT  METAL RECS	RECEPTACLE RECOMMENDATIONS	T		TREAD		
СВ	CATCH BASIN		ENE PROPYLENE DIENE M-CLASS	HM	HOLLOW METAL	MULL	MULLION REF	REFERENCE	T&B		AND BOTTOM		
CB CBC	CEMENT BOARD CALIFORNIA BUILDING CODE	EQ EQUIP	EQUAL, EQUAL SPACE EQUIPMENT	HNDRL HO	HANDRAIL HOLD OPEN	(N) N	NEW REFR NORTH REG	REFRIGERATOR REGISTER	T&G TB	TONGUE A	ND GROOVE TOWEL BAR		
CBU	CEMENTITIOUS BACKER UNIT	EXH	EXHAUST	HORIZ	HORIZONTAL	NA	NOT APPLICABLE REINF	REINFORCEMENT / REINFORCED /	TBD		DETERMINED		
CCTV CEM	CLOSED CIRCUIT TELEVISION CEMENT	EXIST / (E) EXP	EXISTING EXPANSION, EXPOSED	HP HR	HIGH POINT HOUR	NAT NC	NATURAL NOISE CRITERIA REL	REINFORCING RELOCATE	TC TD		OP OF CURB ENCH DRAIN		
CER	CERAMIC	EXT	EXPANSION, EXPOSED EXTERIOR	HRC	HOUR HOSE REEL CABINET	NIC	NOT IN CONTRACT REM	REMOVABLE	TEL		NE/TELECOM		
CG	CORNER GUARD	FA	FIRE ALARM	HTG	HEATING	NO/#	NUMBER REQ	REQUIRE / REQUIRED REQUIRED	TELE		TELEPHONE		
CH CI	CHILLER CAST IRON	FAB FB	FABRICAT(E)(ION) FACE BRICK, FROM BELOW	HVAC F	HEATING VENTILATION AND AIR CONDITIONING  HOT WATER	NOM NON COM		RESIDENTIAL	TEMP THK	TEMPORARY / TE	MPERATURE THICKNESS		
CIP	CAST-IN-PLACE	FC	FINISHED CEILING	ID 	INSIDE DIAMETER	NTS	NOT TO SCALE RESIL	RESILIENT	THRU		THROUGH		
CL	CONTROL JOINT CENTERLINE		FLOOR DRAIN, FIRE DEPARTMENT FIRE DEPARTMENT CONNECTION	IF   IN	INSIDE FACE INCH / INCHES	O/ OA	OVER REV OUTSIDE AIR RF	REVISION/REVISED ROOF	TKBD TLT	-	TACK BOARD TOILET		
CLG / CLNG		FDN	FOUNDATION	INCAND	INCANDESCENT	OBS	OBSCURE RFNG	ROOFING	TMPD		TEMPERED		
CLKG	CAULKING	FE	FIRE EXTINGUISHER	INCL	INCLUD(ED)(ING)	ОС	ON CENTER RH	RIGHT HAND ROOF JOIST	ТО		TOP OF		
CLO CLR	CLOSET CLEAR	FEC FF	FIRE EXTINGUISHER CABINET FINISH FLOOR	INFILTR INFO	INFILTRATION INFORMATION	OD OFCI	OUTSIDE DIAMETER / OVERFLOW DRAIN RJ OWNER FURNISHED, CONTRACTOR INSTALLED RM	ROOF JOIST ROOM	TOB TOC		OP OF BEAM CONCRETE		
СМИ	CONCRETE MASONRY UNIT		TURE, FIXTURES AND EQUIPMENT	INSTAL	INSTALL(ATION)	OFF	OFFICE RMV	REMOVE	TOD	Т	OP OF DECK		
CNTR CO	COUNTER CLEANOUT	FFB FFEL	FLUSH FLOOR BOX FINISH FLOOR ELEVATION	INSTRUC INSUL	INSTRUCTION INSULAT(ED)(ION)	OFOI OH	OWNER FURNISHED, OWNER INSTALLED RND OPPOSITE HAND RO	ROUND ROUGH OPENING	TOF TOJ		NISH / FENCE OP OF JOIST		
COL	COLUMN	FH	FLAT HEAD	INT	INSULAT(ED)(ION) INTERIOR	OPNG	OPENING ROW	RIGHT OF WAY	TOP	TOP OF PARAF	PET / PAVING		
COMP	COMPOSITION	FHC	FIRE HOSE CABINET	INTERM	INTERMEDIATE	OPP	OPPOSITE RP	ROOF PLAN	TOR	Т	OP OF ROOF		
CONC	CONCRETE CONDITION	FIN FIX	FINISH FIXED	JAN	INVERT JANITOR	ORD ORIG	OVERFLOW ROOF DRAIN RTD ORIGINAL RTG	RATED RATING	TOS TOW	TOP OF STRUCTURE / TO	OP OF STEEL OP OF WALL		
CONN	CONNECTION	FIXT	FIXTURE	JC	JANITOR'S CLOSET	os	OVERFLOW SCUPPER RWL	RAIN WATER LEADER	TS		ULAR STEEL		
1				JST	JOIST	OSA	OUTSIDE						
ABBREVIATION	IONS												

**BADGER RESIDENCE** 

OWNER:

121 BADGER LANE LLC P.O. BOX 14001-174 KETCHUM, ID 83340

PROJECT ARCHITECT: RO | ROCKETT DESIGN 1031 W. MANCHESTER BLVD, UNIT 6 INGLEWOOD, CA 90301

SURVEYOR:

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GALENA ENGINEERING, INC. 317 NORTH RIVER STREET HAILEY, ID 83333

**ENVIRONMENTAL CONSULTANT:** SAWTOOTH ENVIRONMENTAL CONSULTING P.O. BOX 2707 / 540 NORTH FIRST AVE KETCHUM, ID 83340 TEL: 208.727.9748

HYDROLOGY / WATER ENGINEERING: BROCKWAY ENGINEERING, INC. 2016 WASHINGTON ST NORTH, SUITE 4

TWIN FALLS, ID 83301 TEL: 208.736-8543 GEOTECHNICAL ENGINEER:

BUTLER ASSOCIATES, INC. P.O. BOX 1034 KETCHUM, ID 83340 TEL: 208.720.6432

LANDSCAPE ARCHITECT: BYLA

323 LEWIS STREET, SUITE N KETCHUM, ID 83340 TEL: : 208.726.5907

CIVIL ENGINEER: BENCHMARK ASSOCIATES, P.A. P.O. BOX 733 - 100 BELL DRIVE KETCHUM, IDAHO 83340 TEL: 208.726.9512

STRUCTURAL ENGINEER: LFA

319 MAIN STREET EL SEGUNDO, CA 90245 TEL: 213.239 9700

MEP ENGINEER:

CES ENGINEERING SERVICES, LLC 1001 W OAK BUILDING B SUITE 107 BOZEMAN, MT 59715 TEL: 406.272.0352

LIGHTING DESIGN CONSULTANT:

KGM ARCHITECTURAL LIGHTING 270 CORAL CIRCLE EL SEGUNDO, CA 90245 TEL: 310.552.2191

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ambiguities, or conflicts which are alleged. SEAL:



0 02.28.23

**BUILDING PERMIT** NO DATE ISSUE

PROJECT:

**BADGER RESIDENCE** 121 BADGER LANE

KETCHUM, ID 83340

#2201

PROJECT NUMBER

DRAWING TITLE:

ABBREVIATIONS & SYMBOLS

DRAWING NUMBER:

These plans have been found to be in substantial LocurAcrGENERAD NOTES gent on compliance with violation of any code, ordinance, statue or regulation in ACCORDANCE WITH THE REQUIREMENT OF THE APPLICABLE

n@@DESPetAMSO&REQUIREMENTS APPLICABLE TO THE LOCATION OF THE PROJECT.

LD2303-00021 L2THE CONTRACTOR (AND THEIR SUB-CONTRACTORS) SHALL STUDY AND COMPARE THE CONTRACT 16/26/23 MENTS AND SHALL AT ONCE REPORT TO THE OWNER/DESIGNER IN WRITING ALL ERRORS, INCONSISTENCIES OR OMISSIONS DISCOVERED AND VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING THE WORK. IF THE CONTRACTOR KNOWINGLY PROCEEDS WITH ANY OF THE WORK SO AFFECTED WITHOUT WRITTEN INSTRUCTION OF THE OWNER/DESIGNER, THE CONTRACTOR SHALL MAKE GOOD AT HIS OWN COST ANY RESULTING ERROR, DAMAGE, OR DEFECTS OR TIME DELAYS CAUSED. THE CONTRACTOR SHALL PERFORM NO PORTION OF THE WORK WITHOUT CONTRACT DOCUMENTS OR, WHERE REQUIRED, APPROVED SHOP DRAWINGS, PRODUCT DATA OR SAMPLES FOR SUCH PORTION OF WORK.

3.NO WORK TO COMMENCE ON SITE UNTIL PLAN HAS BEEN APPROVED AND PERMIT ISSUED BY THE DEPARTMENT OF BUILDINGS.

4. ALL STRUCTURAL WORK SHALL BE COORDINATED W/ DESIGN DRAWINGS AND SHALL CONFORM TO THE PROJECT SPECIFICATIONS AND APPLICABLE BUILDING CODES.

5. ALL MECHANICAL AND ELECTRICAL WORK SHALL BE DESIGN BUILD, FILED BY THE CONTRACTOR. RELATED FILINGS SHALL ALSO BE COORDINATED AND EXECUTED BY THE CONTRACTOR. ANY DISCREPANCIES BETWEEN THE ENGINEERED SYSTEMS AND THE DESIGN DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER IMMEDIATELY, PRIOR TO ANY CONSTRUCTION OR PURCHASING OF MATERIAL.

3. CONTRACTOR SHALL PROVIDE TEMPORARY SHORING, BRACING, SHEETING AND MAKE SAFE ALL FLOORS, ROOFS, WALLS AND ADJACENT PROPERTY AS PROJECT CONDITIONS REQUIRE. SHORING AND SHEETING SHALL BE DESIGNED BY A STATE OF CALIFORNIA LICENSED PROFESSIONAL ENGINEER HIRED BY THE CONTRACTOR, WHO SHALL SUBMIT SHOP DRAWINGS AND CALCULATIONS FOR THE OWNER'S REVIEW.

. DIMENSIONS AND ELEVATIONS OF EXISTING CONSTRUCTION GIVEN IN STRUCTURAL DRAWINGS ARE BASED ON INFORMATION CONTAINED IN VARIOUS ORIGINAL DESIGN AND CONSTRUCTION DOCUMENTS PROVIDED BY THE OWNER, AND LIMITED FIELD OBSERVATIONS AND MEASUREMENTS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION PERTAINING TO EXISTING CONDITIONS BY ACTUAL MEASUREMENT AND OBSERVATION AT THE SITE. ALL DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND THOSE SHOWN IN THE CONTRACT DOCUMENTS SHALL BE REPORTED TO THE DESIGNER OF RECORD FOR HIS EVALUATION BEFORE THE AFFECTED CONSTRUCTION IS PUT IN PLACE.

3. PRODUCTS: TRADE NAMES OR MANUFACTURERS NOTED WITHIN DRAWINGS AND/OR SPECIFICATIONS ARE TO ESTABLISH A STANDARD OF QUALITY: CONTRACTOR MAY SUBMIT OTHER MANUFACTURERS PRODUCTS EQUAL TO THOSE SPECIFIED FOR APPROVAL.

9. THE CONTRACTOR SHALL MAKE NO DEVIATION FROM THE DRAWINGS WITHOUT WRITTEN APPROVAL OF

10. THE CONTRACTOR SHALL GUARANTEE ALL WORK PERFORMED UNDER THIS CONTRACT FOR A PERIOD OF ONE YEAR AFTER COMPLETION AND FINAL ACCEPTANCE BY THE OWNER.

11. THE CONTRACTOR SHALL INSPECT EXISTING CONDITIONS AT JOB SITE BEFORE SUBMITTING BID. CONTRACTOR WILL BE RESPONSIBLE FOR ALL CONDITIONS ON SITE WHETHER INDICATED ON DRAWINGS OR NOT. SUBMISSION OF A PROPOSAL SHALL SIGNIFY THE CONTRACTOR'S ACCEPTANCE OF THE CONTRACT DOCUMENTS AND EXISTING CONDITIONS.

12.CONTRACTOR MUST CONDUCT A PRE-DEMOLITION MEETING AND SITE WALKTHROUGH WITH THE OWNER AND ARCHITECT BEFORE THE COMMENCEMENT OF ANY DEMOLITION OR REMOVAL OF MATERIALS.

13. THE WORK TO BE PERFORMED CONSISTS OF FURNISHING ALL LABOR, EQUIPMENT, TOOLS, TRANSPORTATION, SUPPLIES, FEES, MATERIALS, AND SERVICES IN ACCORDANCE WITH THESE NOTES AND DRAWINGS: AND INCLUDES PERFORMING ALL OPERATIONS NECESSARY TO CONSTRUCT AND INSTALL COMPLETE, IN SATISFACTORY CONDITION, THE VARIOUS MATERIALS AND EQUIPMENT AT THE LOCATIONS SHOWN.

14. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO INSURE THE SAFETY OF THE BUILDING, ITS OCCUPANTS, AND THE GENERAL PUBLIC.

15. PROVIDE ALL WORK INDICATED OR IMPLIED BY THE DRAWINGS.

16. SUBMIT SHOP DRAWINGS TO DESIGNER FOR REVIEW. DO NOT COMMENCE WORK UNTIL REVIEW OF SHOP DRAWINGS HAS BEEN COMPLETED AND THE DRAWINGS APPROVED. ALLOW TEN (10) BUSINESS DAYS

17. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY PROTECTION FOR HIS WORK UNTIL TURNED OVER TO THE OWNER.

18. THE GENERAL CONSTRUCTION NOTES AND/OR DRAWINGS ARE SUPPLIED TO ILLUSTRATE THE DESIGN. AND THE GENERAL TYPE OF CONSTRUCTION DESIRED AND ARE INTENDED TO IMPLY THE FINEST QUALITY OF CONSTRUCTION, MATERIAL AND WORKMANSHIP THROUGHOUT

19. THE CONTRACTOR SHALL MAKE ALL REQUIRED ARRANGEMENTS FOR DELIVERY OF MATERIALS.

20. BUILDING CONDITIONS, INCLUDING SIZE OF SERVICE ELEVATORS, DOORWAYS, STAIRS, CORRIDORS, WINDOW OPENINGS, ETC., SHALL BE CHECKED FOR ITEMS BEING DELIVERED.

21.THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING THE PREMISES EACH EVENING PRIOR TO LEAVING THE JOB SITE. THE SITE SHALL REMAIN LOCKED AND SECURED AT ALL TIMES WHEN THE GENERAL CONTRACTOR IS NOT ON SITE AND KEYS FOR THE SITE SHALL BE HELD BY THE GENERAL CONTRACTOR. NO JNSUPERVISED SUBCONTRACTORS SHALL HAVE KEYS OR ACCESS TO THE SITE WITHOUT THE OWNER'S PRIOR CONSENT.

22. PRIOR TO BEGINNING ANY WORK, THE CONTRACTOR SHALL FURNISH A SCHEDULE SHOWING THE CHRONOLOGICAL PHASES OF THE WORK. THIS SCHEDULE SHALL INDICATE ALL ORDERING LEAD TIMES. LENGTH FOR EACH PHASE. ITS START AND COMPLETION AND A PROJECTED COMPLETION DATE FOR THE PROJECT.

23. ANY COST CAUSED BY DEFECTIVE OR ILL-TIMED WORK, AS A RESULT OF, BUT NOT LIMITED TO, INFERIOR WORKMANSHIP OR MATERIALS, IMPROPER SCHEDULING OR DELINQUENT ORDERING SHALL BE BORNE BY

24. ALL RUBBISH AND WASTE MATERIALS CAUSED BY THE INSTALLATION OF THE WORK SHALL BE REMOVED FROM THE PREMISES PROMPTLY.

25. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL RULES. REGULATIONS, CODES AND ALL AUTHORITIES HAVING JURISDICTION. THE CONTRACTOR SHALL COMPLY WITH ALL APPROPRIATE MUNICIPAL AND REGULATORY AGENCIES, CODES AND REQUIREMENTS. THE CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS AND APPROVALS.

26. THE CONTRACTOR SHALL EXAMINE ALL AREAS OF CONSTRUCTION AFTER COMPLETION OF WORK AND PROVIDE NECESSARY TOUCH UP PAINTING OR WALL COVERING FOR PROTECTION.

27. THE CONTRACTOR SHALL INSPECT ALL EXISTING FINISHED SURFACES INCLUDING CORNER BEADS, STOPS, ETC. FOR CHIPS, CRACKS, HOLES, DAMAGED SURFACES AND ANY OTHER DEFECTS CAUSING AN APPEARANCE DIFFERENT FROM A NEW FIRST-CLASS FINISHED INSTALLATION. ALL DEFECTS SHALL BE REPAIRED, OR IF BEYOND REPAIR, THEN INSTALLED AND FINISHED TO THE SATISFACTION OF THE DESIGNER JUST PRIOR TO BEING TURNED OVER TO THE OWNER.

28. THE CONTRACTOR SHALL THOROUGHLY CLEAN ALL LIGHT FIXTURES AND LENSES, A/C DIFFUSERS AND REGISTERS, FLOORS AND BASES, DOORS, ETC. CONTRACTOR SHALL ALSO PROVIDE A FULL POST-CONSTRUCTION CLEAN PRIOR TO FINAL PROJECT ACCEPTANCE.

29. THIS PROJECT IS A CAPITAL IMPROVEMENT AND NO SALES TAX SHALL BE PAID FOR THE PURCHASE OF EQUIPMENT AND MATERIALS BY OWNER.

30. THE CONTRACTOR SHALL PROTECT ALL INSTALLED WORK AND EXISTING. EXTERIOR GLASS AGAINST ANY DAMAGE UNTIL PROJECT IS COMPLETED AND ACCEPTED BY THE OWNER.

31. REMOVE ALL EXISTING APPLIANCES AND PLUMBING FIXTURES FROM THE SITE, UNO.

32. PREPARE THE KITCHEN SURFACES FOR NEW EQUIPMENT AND CABINETS AND PROVIDE UTILITIES AS REQUIRED TO CONNECT ALL NEW APPLIANCES.

33. CONTRACTOR SHALL CONSULT WITH REPRESENTATIVES OF APPLICABLE UTILITIES. INCLUDING GAS. WATER, POWER, TELEPHONE AND CABLE TV AND DETERMINE EXACT LOCATIONS AND AVAILABILITY OF

UTILITIES AND DETERMINE CONDITION OF EXISTING SERVICE PRIOR TO COMMENCING WORK OR CONNECTING UTILITIES.

34. CONTRACTOR SHALL PROVIDE TEMPORARY TOILET FACILITIES AT THE JOB SITE AS NECESSARY AND

35. CONTRACTOR SHALL PROTECT FLOOR SURFACES FROM DAMAGE WITH RAMBOARD AND EQUIP MOBILE EQUIPMENT WITH PNEUMATIC TIRES.

36. PRIOR TO ISSUANCE OF A BUILDING PERMIT THE CONTRACTOR SHALL HAVE THE FOLLOWING: 1) CERTIFICATE OF WORKER'S COMPENSATION INSURANCE MADE OUT TO THE CONTRACTOR'S STATÉ LICENSE BOARD 2) COPY OF BUSINESS TAX REGISTRATION CERTIFICATE OR A NEWLY PAID RECEIPT FOR ONE FOR APPLICABLE JURISDICTION. 3) NOTARIZED LETTER OF AUTHORIZATION FOR AGENTS 4) COPY OF CONTRACTOR'S STATE LICENSE OR POCKET ID.

1. AS REQUIRED TO INSTALL NEW SCOPE OF WORK.

2. ALL DEBRIS TO BE PROMPTLY REMOVED FROM SITE.

REQUIRED TO KEEP FLOORS LEVEL AND TRUE.

3. ANY DAMAGE DONE TO FLOORS. WALLS. ETC. DUE TO REMOVAL OF EXISTING PARTITIONS. PLUMBING FIXTURES, OR ANYTHING REMOVED IN ORDER TO COMPLETE THE SCOPE OF WORK AS INDICATED ON DRAWINGS SHOULD BE PATCHED TO MATCH EXISTING AND MEET DESIGNER'S AND OWNER'S APPROVAL.

4. SEAL ALL VENTS AND OPENINGS AS REQUIRED DURING DEMOLITION TO PREVENT DUST DAMAGE ACROSS

F. MILLWORK:

OF ANY DISCREPANCIES IN FIELD.

TO MEET BUILT-IN CONDITIONS.

AGAINST THE JOINT OPENING.

THE STRENGTH OR RENDER NAILING DIFFICULT.

INSTALLATION. REFER TO HARDWARE SCHEDULE.

FILED AND TOUCHED UP SO AS TO BE INVISIBLE.

UNTIL AFTER DELIVERY AND INSTALLATION.

ELECTRICAL WORK AS REQUIRED.

FOR FASTENING TO GYPSUM BOARD.

SLIDES, 100 LBS MIN CAPACITY, UNO.

BUMPERS AS EACH CORNER.

G. GYPSUM BOARD WORK:

MEMBRANE WATER PROOFING.

NEW CONSTRUCTION.

MAKE SURFACE LEVEL AND PLUMB.

DUCTWORK, ELECTRICAL WORK, GLAZED ASSEMBLIES.

H. SHOP DRAWINGS & SAMPLES:

SITE. SEE PROJECT MANUAL

PROJECT TO OWNER.

I. HVAC:

SMOOTH AND TRUE.

NOTED. ARCHITECT TO REVIEW SELECTION PRIOR TO PURHCASE.

OPERATIONS MATCHING THAT OF THE AREAS OF INSTALLATION.

CLASHING DOOR W/ WALL, PROVIDE HINGE AT MAX 16" O.C.

DELIVERED TO THE BUILDING READY TO ERECT IN PLACE.

3. PERFORM ALL FABRICATION FROM FIELD MEASUREMENT WITH PROVISION FOR SCRIBING AS REQUIRED

6. GROUNDS, FURRING, STRAPPING AND BLOCKING SHALL BE FREE FROM KNOTS WHICH WOULD AFFECT

8. ALL FINISHED WORK SHALL AS FAR AS PRACTICABLE, BE ASSEMBLED AND FINISHED IN THE SHOP AND

9. ALL WORK SHALL BE FABRICATED, ASSEMBLED, FINISHED AND ERECTED IN ACCORDANCE WITH AWI

10. WHERE MEMBERS ARE MITERED OR BUTTED, THEY SHALL BE JOINED AND IN A MANNER TO INSURE

12. AFTER TOTAL COMPLETION OF ERECTION, ALL NAIL HOLES, SCRATCHES AND OPEN JOINTS SHALL BE

11. PROVIDE ALL CABINET DOOR AND SHELVING WORK HARDWARE AS REQUIRED FOR A COMPLETE

13. ALL WHITE LACQUER MDO AND WOOD VENEER PLYWOOD TO RECEIVE SOLID EDGE BANDING TO

14. FLITCHES TO BE MAXIMUM PRACTICABLE WIDTHS AND FULL HEIGHT IN SEQUENTIAL BOOK MATCH

15. FABRICATE UNITS IN LARGEST PRACTICABLE SECTIONS. ASSEMBLE IN THE SHOP FOR TRIAL FIT.

16. MAINTAIN RELATIVE HUMIDITY AND TEMPERATURE DURING FABRICATION, STORAGE AND FINISHING

17. FACTORY FINISH ALL ITEMS WHERE POSSIBLE. DEFER FINAL TOUCH-UP, CLEANING AND POLISHING

SUPPORTING AND ATTACHING DEVICES. PROVIDE CUT-OUTS TO RECEIVE ATTACHMENTS, MECHANICAL AND

19. MAKE ALL JOINTS HAIRLINE TIGHT, FITTED ACCURATELY AND JOINTED WITH HARDWOOD SPLINES OR

DOWELS, GLUED TOGETHER OR BY OTHER METHOD APPROVED BY DESIGNER. USE SCREWS, NOT NAILS,

20. ALL DRAWERS SHALL BE MAXIMUM DEPTH OF THE HOUSE CABINET W/ FULL EXTENSION, SOFT CLOSING

21. ALL CABINET DOORS SHALL HAVE SOFT CLOSING CONCEALED ERO HINGES, UNO. WHEN THE DOOR

OPEN ADJACENT TO A PERPENDICULAR WALL CONTRACTOR SHALL PROVIDE LIMITER CLIPS TO PREVENT

22. ALL DRAWERS & CABINET DOOR PANELS SHALL BE FITTED W/ (4) FOUR 1/8" THK CLEAR SELF-ADHESIVE

23. ALL REVEAL JOINTS BETWEEN CABINET & DRAWER PANELS SHALL ALIGN + BE LEVEL + PLUMB.

1. GYPSUM BOARD PARTITIONS SHALL TYPICALLY CONSIST OF 2X6 WOOD STUDS AT 16" O.C. WITHOUT

CEILING PLATES SHALL IN TURN BE ANCHORED TO THE FLOOR AND CEILING STRUCTURES WITH TWO

CONTINUOUS BEADS OF ACOUSTIC/FIRE SEALANT BETWEEN SUBSTRUCTURE & RUNNER.

SURFACES TO BE LEVEL 5 DRYWALL FINISH AND BOARDS TO HAVE TAPERED EDGES.

HOT-DIPPED GALVANIZED METAL CASING BEAD, TAPED AND SPACKLED SMOOTH.

EXISTING BUILDING CONSTRUCTION UNLESS OTHERWISE INDICATED.

8. ALL NEW PARTITIONS SHALL BE TAPED, SPACKLED AND SANDED.

EXCEPTION, STUDS SHALL BE FIRMLY ANCHORED TO THE FLOOR AND CEILING PLATES. THE FLOOR AND

2. ALL GYPSUM BOARD WORK SHALL BE INSTALLED IN STRICT ACCORDANCE WITH ALL AUTHORITIES HAVING

JURISDICTION AND WITH MANUFACTURER'S PRINTED INSTALLATION INSTRUCTIONS. ALL NEW GYPSUM

3. PROVIDE ALL REQUIRED FASTENERS, ANCHORS, ADHESIVES, COMPOUNDS, ETC. AS INDICATED PER

5. PROVIDE NEW SPECIAL WATER RESISTANT TYPE GYPSUM BOARD IN ALL WET LOCATIONS SUCH AS

6. WALLS SHOWN ALIGNED WITH EXISTING BUILDING CONSTRUCTION SHALL BE FLUSH AND SMOOTH WITH

BATHROOMS. PROVIDE CEMENT BOARD SUCH AS DUROCK AT ALL SHOWER AND BATH AREAS OVER

7. ALL PARTITIONS SHALL BE FURNISHED WITH BASES AS INDICATED IN THE CONTRACT DOCUMENTS.

9. WHERE SPECIFIED, PLYWOOD UNDERLAYMENT TO HAVE STAGGERED JOINTS, GWB OVERLAY ALSO

10. AT EXISTING PARTITIONS, CONTRACTOR TO PROBE WALL TO LOCATE STUDS AND COORDINATE WITH

11. PROVIDE A FULL SKIM COAT OF COMPOUND AT ALL EXISTING AND NEW GWB SURFACES THAT ARE NOT

12. ALL DRYWALL SURFACES ABUTTING FINISH CASEWORK SHALL RECEIVE SKIM COATING AS REQUIRED TO

CABINETRY/MILLWORK, ALL DOOR & WINDOW ASSEMBLIES, ALL METAL WORK & STRUCTURAL STEEL, TILE

2. CONTRACTOR SHALL SUBMIT THREE SAMPLES OF ALL FINISH MATERIALS, INCLUDING BUT NOT LIMITED TO, TILE, GLASS, STONE, WOOD VENEER FOR DESIGNER/OWNER REVIEW. SAMPLES MAY BE REVIEWED ON

1. CONTRACTOR TO TEST ANY FANS, EXHAUSTS, MECHANICAL EQUIPMENT PRIOR TO HANDOVER OF

LAYOUT DETAILS WITH STARTING POINTS AND JOINT LAYOUT, CUSTOM CONCRETE, MECHANICAL

STAGGERED SO THAT PLYWOOD JOINTS DO NOT TELEGRAPH THROUGH TO SURFACE OF GWB.

1. SUBMIT SHOP DRAWINGS FOR DESIGNERS APPROVAL FOR THE FOLLOWING ITEMS:

2. NEW DWELLING UNIT SHALL HAVE A MECHANICAL VENTILATION SYSTEM.

4. ALL EXPOSED EDGES AND/OR CORNERS OF GYPSUM BOARD SHALL RECEIVE A HOT-DIPPED GALVANIZED

METAL CORNER BEAD AND ALL EDGES OF A GYPSUM BOARD ABUTTING OTHER MATERIAL SHALL RECEIVE A

GYPSUM BOARD MANUFACTURE'S STANDARDS AND AS REQUIRED FOR A COMPLETE INSTALLATION.

18. PANELING - PROVIDE CONCEALED WOOD BLOCKING AND FRAMING, ANCHORS, CLIPS, SPLINES,

PATTERN. GRAIN DIRECTION ON WALL PANELS AND CABINET FACES TO BE VERTICAL UNLESS OTHERWISE

CONCEAL LAMINATIONS. EDGE BANDING TO BE VENEER THICK UNLESS OTHERWISE NOTED.

DISASSEMBLE FOR SHIPMENT AND REASSEMBLE WITH CONCEALED FASTENERS.

'PREMIUM GRADE' STANDARDS. SURFACES AND ARISES SHALL BE TRUE, STRAIGHT, AND FREE FROM ALL

5. ALL WOOD SHALL BE FIRE-RATED IN ACCORDANCE WITH LOCAL FIRE RATING REGULATIONS

4. ALL MILLWORK TO INCLUDE INSTALLATION SHALL BE AWI 'PREMIUM GRADE.

7. ALL MATERIALS FOR WOODWORK SHALL BE THOROUGHLY KILN-DRIED.

MACHINE AND TOOL MARKINGS, BRUISES, INDENTATIONS, CHIPS OR ABRASIONS.

5. CONTRACTOR TO REMOVE ALL FURNITURE, APPLIANCES, ETC., IN ORDER TO ALLOW FOR NEW CONSTRUCTION AS SHOWN.

6. CONTRACTOR TO PROVIDE ALL SCAFFOLDING AND BRIDGING AS REQUIRED TO COMPLETE SCOPE OF

8. WHEN DEMOLITION IS REQUIRED ON SITE: 1) ALL DEBRIS SHALL BE WET AT THE TIME OF HANDLING TO PREVENT DUST, 2) NO STRUCTURAL MEMBER OF ANY KIND SHALL BE DEMOLISHED UNTIL THE STORY ABOVE IS COMPLETELY REMOVED. 3) FREE FALL DUMPING OVER EXTERIOR WALL WILL NOT BE ALLOWED 4) DEMOLITION PERMIT SHALL BE OBTAINED BY A LICENSED WRECKING CONTRACTOR (CLASS C-21) OR A

7. FOR ALL NEW STONE AND WOOD FLOORING, CONTRACTOR IS TO REMOVE ANY EXISTING SUBSTRATE AS

C. PRODUCT NOTES:

**B. DEMOLITION:** 

1. ALL PRODUCTS SPECIFIED SHALL BE PROVIDED IN LOCATIONS INDICATED AND INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S PRINTED INSTRUCTIONS.

LICENSED GENERAL CONTRACTOR (CLASS B-1). 5) CONTRACTOR SHALL USE NEGATIVE PRESSURE

2. PROVIDE BLOCKING WITHIN ALL WALLS TO SECURE SHELVING WHERE REQUIRED.

MACHINES AND HEPA FILTERS THROUGHOUT DEMOLITION TO REDUCE AIRBORNE DUST

3. GENERAL CONTRACTOR (GC) TO ENSURE THAT ALL APPLIANCES. TO INCLUDE CONDENSER AND AIR HANDLING UNITS, ARE OPERATIONAL BEFORE HANDING OVER TO OWNER, ENSURE THAT ALL POWER, WATER AND VENTILATION PROVIDE AS NECESSARY.

4. GC TO PROVIDE OWNER WITH PROJECT MANUALS AT CLOSE OF JOB INCLUDING ALL OWNER'S MANUALS AND WARRANTIES FOR ALL EQUIPMENT AND APPLIANCES INSTALLED WITHIN THE SCOPE OF WORK.

D. POWER AND TELEPHONE NOTES:

1. PROVIDE ALL ELECTRICAL WORK AS INDICATED ON OR IMPLIED BY THE CONTRACT DOCUMENTS

2. PROVIDE ALL ELECTRICAL POWER AS REQUIRED BY TELEPHONE COMPANY. PROVIDE TELEPHONE AND DATA WIRING IN LOCATIONS INDICATED AND ALL NECESSARY CONDUIT. VOICE WIRING TO BE CAT3, DATA WIRING TO BE CAT6. PATCH PANEL TO BE PROVIDED IN LOCATION INDICATED. TERMINATIONS TO BE PROVIDED BY GC AT LOCATIONS INDICATED. TELEPHONE EQUIPMENT TO BE PROVIDED BY OTHERS.

3. ALL ELECTRICAL WORK SHALL BE COORDINATED WITH THE WORK OF OTHER TRADES.

4. ALL WORK SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE REQUIREMENT OF ALL AUTHORITIES HAVING JURISDICTION.

5. ALL ELECTRICAL, SPEAKER, AND TELEPHONE WIRING SHALL BE CONCEALED IN DRYWALL AND/OR CEILING INSTALL SPEAKER WIRE IN LOCATIONS INDICATED. TERMINATIONS AND SPEAKER INSTALLATION ARE BY

6. ALL ELECTRICAL, SPEAKER AND LIGHTING WORK IN CONJUNCTION WITH CABINET WORK SHALL BE COORDINATED WITH THE MILLWORK CONTRACTOR.

7. REFER TO ELEVATIONS FOR DIMENSIONED LOCATIONS OF SWITCHES, PLATES, AND OTHER EQUIPMENT

8. ALL 125-V RECEPTACLES IN GARAGE (INCLUDING ANY CEILING OUTLETS) SHALL HAVE GFCI PROTECTION.

9. ALL 125-V RECEPTACLES SERVING COUNTER TOP SURFACES IN THE KITCHEN SHALL HAVE GFCI PROTECTION.

10. ALL 120-V BRANCH CIRCUITS SUPPLYING OUTLETS IN CLOSETS, HALLWAYS, BEDROOMS AND OTHER HABITABLE ROOMS (EXCEPT KITCHEN) SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER (AFCI).

11. RECEPTACLE OUTLETS IN HABITABLE ROOMS SHALL BE SPACED 12' O.C. MAXIMUM AND SHALL BE LOCATED WITHIN 6' OF WALL ENDS, DOOR OPENINGS, AND AT EVERY 2' OR WIDER WALL.

12. RECEPTACLE OUTLETS AT KITCHEN COUNTER-TOPS SHALL BE SPACED AT 4' O.C. MAXIMUM AND WITHIN 2' OF ENDS/BREAKS OF COUNTERS.

13. PROVIDE AT LEAST ONE OUTDOOR RECEPTACLE OUTLET WITH WEATHER PROOF COVER AND GFCI AT FRONT AND REAR OF DWELLING UNIT AND AT DECK/BALCONY (EXCEPTION: DECK/BALCONY WITH USABLE AREA LESS THAN 20 SQ.FT.

14. ALL RECEPTACLE OUTLETS SHALL BE LISTED TAMPER-RESISTANT RECEPTACLE.

15. BATHROOM RECEPTACLES SHALL BE SERVED BY A DEDICATED 20 AMP CIRCUIT.

16. PROVIDE A WALL SWITCHED-CONTROLLED LIGHTING OUTLET ON THE EXTERIOR SIDE OF OUTDOOR ENTRANCES OR EXITS WITH GRADE LEVEL ACCESS.

**E. CEILING & LIGHTING NOTES:** 

1. CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS OF EXISTING LIGHTING AT JOB SITE. CONTRACTOR TO NOTIFY DESIGNER OF ANY DISCREPANCIES IN FIELD.

2. PROVIDE LIGHTING FIXTURES INCLUDING RELATED ELECTRICAL WORK AND LAMPING OF TYPES AND INSTALL AS PER MANUFACTURER'S WRITTEN INSTRUCTIONS IN LOCATIONS AS INDICATED ON THE

3. SUBMIT CUTS OF ALL LIGHTING FIXTURES FOR DESIGNER'S REVIEW AND APPROVAL PRIOR TO INSTALLATION.

4. ALL FIXTURES SHALL BE REMOTE SWITCHED UNLESS OTHERWISE NOTED.

5. ALL CEILING WORK SHALL BE SQUARE AND LEVEL.

6. PROVIDE CUTOUTS IN CEILING AS REQUIRED FOR NEW CONDUITS.

7. ALL WORK SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE REQUIREMENTS OF ALL AUTHORITIES HAVING JURISDICTION AND WITH CEILING MANUFACTURER'S PRINTED INSTALLATION INSTRUCTIONS.

8. ALL ACCESS PANELS TO BE RECESSED ACCESS DOORS FOR DRYWALL SURFACES. 9. REFER TO DESIGNER OR REFLECTED CEILING PLANS FOR LOCATIONS OF SPEAKERS. WHERE DIMENSIONED NOT NOTED. GC TO COORDINATE PLACEMENT WITH DESIGNER.

10. COORDINATE CEILING FRAMEWORK ALL TRADES.

11. ALL REVEALS IN CEILINGS TO BE FRY REGLET EXTRUDED ALUMINUM AS NOTED IN CEILING DETAILS.

12. REFER TO DESIGN ELEVATIONS FOR DIMENSIONED LOCATIONS OF SWITCHES. WHERE DIMENSIONED LOCATIONS ARE NOT NOTED, GC TO COORDINATE PLACEMENT WITH DESIGNER.

J. PAINTING:

1. CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE. CONTRACTOR TO NOTIFY DESIGNER 1. ALL AREAS RECEIVING PAINT, AS INDICATED IN FINISH SCHEDULE, SHALL BE PAINTED IN ACCORDANCE WITH PAINT MANUFACTURE'S WRITTEN INSTRUCTIONS.

2. CONTRACTOR SHALL CHECK JOB PROGRESS AND COORDINATE WITH OTHER TRADES INVOLVED.

2. WALLS SCHEDULED TO BE PAINTED SHALL INCLUDE SURFACES FROM FLOOR TO CEILING INCLUDING PILASTERS, FASCIAS, DOORS, BUCKS, REVEALS, AND ALL SURFACES NOT INCLUDING FLOOR AND CEILINGS.

3. PAINT GYPSUM CEILINGS AND WALLS AS PER FINISH SCHEDULE.

4. PAINT COLORS AND TEXTURES SHALL BE SELECTED AND SPECIFIED IN FINISH SCHEDULE, AND CONTRACTOR SHALL SUBMIT THREE 18"X18" SAMPLES OF EACH SELECTED COLOR AND TEXTURE FOR

5. ALL WALLS AND CEILINGS SHALL BE PROPERLY PREPARED, SPACKLED, SANDED, ETC., TO PROVIDE A PERFECTLY SMOOTH SURFACE TO RECEIVE PAINT, SKIM COAT, ETC. AS REQUIRED.

6. ALL PAINT SHALL BE WATER BASED PAINT, PROVIDE ONE (1) PRIMER COAT AND TWO (2) FINISH COATS OF PAINT AS SPECIFIED IN FINISH SCHEDULE.

7. ALL ROOMS TO BE BENJAMIN MOORE AURA. DUNN EDWARDS SUPREMA OR APPROVED EQUAL. COLORS & FINISH TBD BY DESIGNER.

K. PLUMBING NOTES:

1. PROVIDE ALL PLUMBING ROUGHING AS INDICATED OR IMPLIED BY CONTRACT DOCUMENTS. 2. ALL FIXTURES AND ACCESSORIES TO BE PROVIDED AND INSTALLED BY CONTRACTOR AS PER MANUFACTURER'S GUIDELINES. IF CONTRACTOR FINDS THAT COMPONENTS OR ITEMS ARE MISSING WHICH ARE REQUIRED FOR THE COMPLETE INSTALLATION AS IMPLIED IN THE CONTRACT DOCUMENTS THE GC SHALL NOTIFY THE DESIGNER IMMEDIATELY FOR COORDINATION.

3. PLUMBING WORK SHALL BE COORDINATED WITH ALL OTHER TRADES

4. INSTALL FIXTURES, LINES OR PIECES OF THE APPROVED ALL VALVES AS INDICATED ON THE DRAWINGS OR AS MAY BE REQUIRED FOR THE PROPER CONTROL OF THE VARIOUS APPARATUS AND PIPELINES SO THAT ANY OF THE FIXTURE, LINES OR PIECES OF APPARATUS MAY BE CUT OFF FOR REPAIR WITHOUT INTERFERING OR INTERRUPTING SERVICE TO THE REST OF THE PROJECT. ALL VALVES SHALL BE DESIGNED FOR REPACKING WHEN WIDE OPEN UNDER PRESSURE.

5. BEFORE BEING COVERED UP OR BUILT IN. ALL PIPING SHALL BE TESTED AS REQUESTED BY THE AUTHORITIES HAVING JURISDICTION AND WITNESS BY THE OWNER, DESIGNER AND OR BUILDING ENGINEER.

6. DIVERSION OF PLUMBING SHALL NOT INTERRUPT DRAINAGE SERVICE IN ANY WAY.

7. REMOVE ANY DORMANT PIPES DISCOVERED.

8. CONTRACTOR TO ENSURE THAT ANY EXISTING PIPES ARE IN GOOD CONDITION OR REMEDY OR REPLACE EXISTING PIPES.

9. IDENTIFY ALL ITEMS REQUIRING SERVICE ACCESS AND PROVIDE APPROVED TYPE ACCESS DOORS. SUCH LOCATIONS TO BE COORDINATED AND APPROVED BY DESIGNER. ACCESS DOOR TO BE RECESSED FOR

10. IF REQUIRED A NEW WATER METER SHALL BE INSTALLED TO MEET CAPACITY OF THE NEW DOMESTIC AND SPRINKLER CAPACITY DEMANDS.

11. WATER METERS SHALL BE PLACED NEAR THE PROPERTY LINE AND OUT OF THE DRIVEWAY APPROACH WHENEVER POSSIBLE

12. THE WATER METER BOX MUST BE PURCHASED FORM THE CITY AND MUST HAVE A TRAFFIC RATED LID IF THE BOX IS LOCATED IN THE DRIVEWAY.

L. WOOD FLOORING:

1. GENERAL STANDARDS TO COMPLY WITH RECOMMENDATIONS OF NATIONAL FLOORING MANUFACTURER'S ASSOCIATION (NOFMA).

2. FLOORING TO BE INSTALLED AS SPECIFIED IN FINISH SCHEDULE AND AS PER MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS.

3. PROTECT FLOORING FROM EXCESSIVE MOISTURE IN SHIPMENT, STORAGE AND HANDLING. DELIVER IN UNOPENED CARTONS OR BUNDLES AND STORE IN A DRY PLACE WITH ADEQUATE AIR CIRCULATION. DO NOT DELIVER MATERIAL TO BUILDING UNTIL WET WORK SUCH AS CONCRETE HAVE BEEN COMPLETED AND CURED TO A CONDITION OF EQUILIBRIUM.

4. PROVIDE MOCK-UP OF WOOD 4'X4' SQUARE ON SITE (TO BE REPLACED WITH FINAL FLOORING) FOR DESIGNER AND OWNER REVIEW AND APPROVE.

5. WHERE THE SUBFLOOR IS NOT LEVEL. THE CONTRACTOR SHALL TAKE MEASURES TO LEVEL THE SUBSTRATE WITHOUT AFFECTING THE INSTALLATION OF FLOOR.

6. GRAIN/BOARD DIRECTION SHALL BE INDICATED ON FLOOR PLAN.

7. CONTRACTOR SHALL PROVIDE MANUFACTURER RECOMMENDED VAPOR BARRIER OVER SUBFLOOR THROUGHOUT PROJECT AND PROVIDE 1/4" FLOOR UNDERLAYMENT

8. CONTRACTOR SHALL STORE WOOD FLOOR ON SITE FOR MINIMUM OF TWO WEEKS TO ALLOW WOOD TO ACCLIMATE PRIOR TO INSTALLATION. BOARDS SHALL BE SPACED OUT TO ALLOW AIR FLOW ACROSS ALL FACES OF EACH BOARD.

9. ADHESIVE AND FASTENING AGENTS USED TO INSTALL FLOORING SHALL BE MANUFACTURER APPROVED

10. CONTRACTOR SHALL COORDINATE AND ALLOW FOR (IF ANY) THERMAL EXPANSION TO PREVENT PLANKS

11. BOARDS SHALL BE A MINIMUM OF 60" IN LENGTH AND SHALL NOT ACCOUNT FOR MORE THAN 25% OF THE BOARD MIX. REMAINING MIX OF BOARDS SHALL BE AT MINIMUM 25% 5'-8', 25% 8'-10' & 25% 10'-0" AND LONGER.

12. SEE FINISH AND MATERIAL SCHEDULE FOR MORE INFORMATION.

M. DOOR NOTES:

1. ALL DOORS TO BE 1-3/4" SOLID LUMBER CORE FLUSH WHITE OAK VENEER DOORS W/ 'A' FACE ON BOTH SIDES OR APPROVED EQUAL. DOORS IN EXCESS OF 36" IN WIDTH AND/OR 96" IN HEIGHT SHALL BE 2" IN THICKENSS.

2. DOORS SHALL BE MANUFACTURED BY WEYERHAEUSER, ALGOMA OR EGGERS HARDWOOD PRODUCTS CORP., OR OTHER APPROVED EQUALS.

3. DOORS WHEN INSTALLED SHALL NOT BOW OR BECOME OUT OF PLANE. ALL DOORS SHALL BE FABRICATED TO ACCOMODATE SELF WEIGHT AND THE DISTRIBUTION OF WEIGHT SPECIFIC TO OPERATION AND ATTACHMENT OF ASSIGNED HARDWARE EACH DOOR.

4. ALL DOOR STOPS SHALL BE LOCATED IN THE FIELD W/ DESIGNER & OWNER PRIOR TO INSTALLATION.

N. STONE NOTES:

1. A WATERPROOFING MEMBRANE SHALL BE PLACED OVER ALL PORTIONS OF SUBFLOOR AT BATHROOMS AND RUN UP VERTICAL AT ALL WALLS AS HIGH AS POSSIBLE, BUT A MINIMUM OF 12" ABOVE FINISHED FLR. WHILE REMAINING CONCEALED BEHIND THE WALL BASE TRIM AND OR WALL CLADDING MATERIAL.

2. ANY STONE OR TILE SHALL BE SET LEVEL, PLUMB AND FLUSH ALIGNED. JOINTS SHALL BE 1/8" MAX AND

3. GROUT COLOR SHALL BE AS PER FINISH SCHEDULE AND A SAMPLE MEASURING 12"X12" SHALL BE SUBMITTED FOR DESIGNER AND OWNER APPROVAL.

4. FINAL STONE, TILE INSTALLATION SHALL BE FREE OF CHIPS, SCRATCHES, GROUT HAZE OR STAINS.

5. ALL EXPOSED EDGES ON COUNTERTOPS SHALL BE SLIGHTLY EASED, 1/8" MAX AT ALL UNDERMOUNT SINKS AND TUBS AND 1/16" MAX AT ALL OTHER LOCATIONS. CONTRACTOR SHALL SUBMIT AN EASED EDGE SAMPLE FOR DESIGNER'S REVIEW.

6. ALL STONE TO BE FINISHED WITH DRY TREAT BRAND SEALER OR SUPPLIER RECOMMENDED SEALER.

7. CONTRACTOR SHALL CLEAN, PATCH AND LEVEL THE SUBFLOOR AS REQUIRED FOR ALL TILE/STONE FLOORING.

BADGER RESIDENCE

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KETCHUM, ID 83340 PROJECT ARCHITECT

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TEL: 213.239 9700 MEP ENGINEER:

EL SEGUNDO, CA 90245

**CES ENGINEERING SERVICES, LLC** 1001 W OAK BUILDING B SUITE 107 BOZEMAN, MT 59715 TEL: 406.272.0352

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**BUILDING PERMIT ISSUE** 

121 BADGER LANE KETCHUM, ID 83340

**GENERAL NOTES** 

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SEAL: JASON RO STATE OF IDAHO

> 0 02.28.23 NO DATE

PROJECT: **BADGER RESIDENCE** 

PROJECT NUMBER

#2201

DRAWING TITLE:

DRAWING NUMBER:

## These plans have been found to be in substantial

documents ale ASS (NOTES ingent on compliance with the mark ups and notes applied. This is not approval of

in violation of any code, ordinance, statue or regulation. For rection will GLASS SHALdock is Laten CRUNCAL BASED ON FIELD DIMENSIONS

BLD2303G0602 WON, SHALL BE WATER WHITE GLASS AND TEMEPRED WHERE REQUIRED BY CODE

## 6/26/22MPORARY MEASURES:

1. GC SHALL MAINTAIN A COMPUTER & INTERNET CONNECTION TO RECEIVE SKETCHES & TRANSMISSIONS ON SITE DURING CONSTRUCTION. GC SHALL ALSO PROVIDE THE DESIGNER WITH A TELEPHONE NUMBER FOR THE JOB SITE WHETHER WIRED OR MOBILE.

2. GC TO PROVIDE A FIRE EXTINGUISHER AND FIRST AID KIT ON SITE DURING CONSTRUCTION.

3. GC SHALL PROVIDE A NEST WEBCAM OR APPROVED EQUIVALENT FOR REMOTE VIEWING OF SITE FROM TWO LOCATIONS. OWNER SHALL INSTALL & PAY COST OF INTERNET BANDWITH TO SUPPORT CONTINUOUS CAMERA FEED.

#### Q. DEPARTMENT NOTES:

1. GC TO REFER TO APPLICABLE FIRE CODE NOTES RELEVANT TO NEW CONSTRUCTION OF SINGLE FAMILY

2. PROJECT CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE STANDARDS OF THE MOST CURRENT BUILDING AND MUNICIPAL CODES AS ADOPTED BY GOVERNING JURISDICTIONS OF THE PROJECT LOCATION AT TIME OF INITIAL FILING.

3. A SET OF PLANS MUST REMAIN ON THE JOB SITE AT ALL TIMES, APPOINTMENTS FOR INSPECTIONS, IF REQUIRED, SHOULD BE MADE AT LEAST TWO DAYS IN ADVANCE OF THE REQUIRED INSPECTION.

4. A 2A10BC FIRE EXTINGUISHER IS RECOMMENDED FOR HOUSEHOLD USE.

5. IF APPLICABLE, APPROVED ADDRESS NUMBERS SHALL BE ATTACHED TO BUILDING PER HOA GUIDELINES.

6. STRUCTURES UNDER CONSTRUCTION, ALTERATION, OR DEMOLITION SHALL BE PROVIDED WITH NOT LESS THAN ONE 2A10BC FIRE EXTINGUISHER AS FOLLOWS: 1) ON ALL FLOORS WHERE COMBUSTIBLE MATERIALS HAVE ACCUMULATED 2) IN EVERY STORAGE AND CONSTRUCTION SHED 3) WHERE SPECIAL HAZARDS EXIST INCLUDING BUT NOT LIMITED TO THE STORAGE AND USE OF COMBUSTIBLE AND FLAMMABLE LIQUIDS.

7. PROVIDE FIRE HYDRANT FOR THE PROPERTY AS REQ'D PER NLTFD REQUIREMENTS AND IFC Table C102.1 (IFC Appendix C).

8. ALL BUILDINGS EQUIPED WITH AN AUTOMATIC FIRE SPRINKLER SYSTEM SHALL HAVE A MONITORED FIRE ALARM PER (IFC 903.4 ) PLANS AND INSTALLATION OF 13R FIRE SPRINKLER AND MONITORED FIRE ALARM SYSTEM UNDER SEPARATE PERMIT PER RESOLUTION 16-1.

## R. LANDSCAPE & LANDSCAPE IRRIGATION:

1. ALL LANDSCAPE IRRIGATION BACKFLOW DEVICES MUST MEET CURRENT JURISDICTION'S REQUIREMENTS FOR PROPER INSTALLATION.

#### S. FIRE PROTECTION

1. (IFC 907.2.10): INTERCONNECTED SMOKE ALARMS SHALL BE INSTALLED INSIDE ALL BEDROOMS, ON THE CEILING OR WALL OUTSIDE OF EACH BEDROOM AND IN EVERY STORY IN THE DWELLING UNIT INCLUDING BASEMENTS BUT NOT CRAWL SPACES, UNINHABITED ATTICS AND GARAGES.

2. CARBON MONOXIDE ALARMS SHALL BE INSTALLED IMMEDIATELY OUTSIDE OF ALL BEDROOMS AND IN THE IMMEDIATE VICINITY OF BEDROOMS IN DWELLING UNITS WITHIN WHICH FUEL FIRED APPLIANCES ARE INSTALLED, AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES.

3. CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING, SHALL BE EQUIPPED WITH A BATTERY BACKUP AND INTERCONNECTED

4.CUT SHEETS OF ALL DEVICES SHALL BE SUBMITTED TO ARCHITECT PRIOR TO PURCHASE AND INSTALLATION

5. FIRE SUPPRESSION SHALL BE PROVIDED IN NEW DWELLING UNIT. ATTACHED GARAGE AND ANY CRAWL SPACES IF APPLICABLE. THE AUTOMATIC RESIDENTIAL SPRINKLER SYSTEM WILL COMPLY WITH NFPA 13R, MONITORED BY AN APPROVED FIRE ALARM SYSTEM IN ACCORDANCE WITH NFPA 72, AND PER REQ'S OF AUTHORITY HAVING JURISDICTION.

### T. COUNTY RIGHT-OF-WAY

1. AN EXCAVATION AND ENCROACHMENT PERMIT IS REQUIRED PRIOR TO ANY IMPROVEMENTS N THE COUNTY RIGHT-OF-WAY, PERMIT MUST BE OBTAIN BY COUNTY APPROVED CONTRACTOR.

2. A REVOCABLE OCCUPANCY PERMIT MUST BE OBTAINED SHALL THE BEAR BOX LOCATION BE WITHIN 12' OF EDGE OF PAVEMENT.

## BADGER RESIDENCE

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**BUILDING PERMIT** 0 02.28.23 NO DATE

ISSUE

PROJECT: **BADGER RESIDENCE** 

121 BADGER LANE KETCHUM, ID 83340

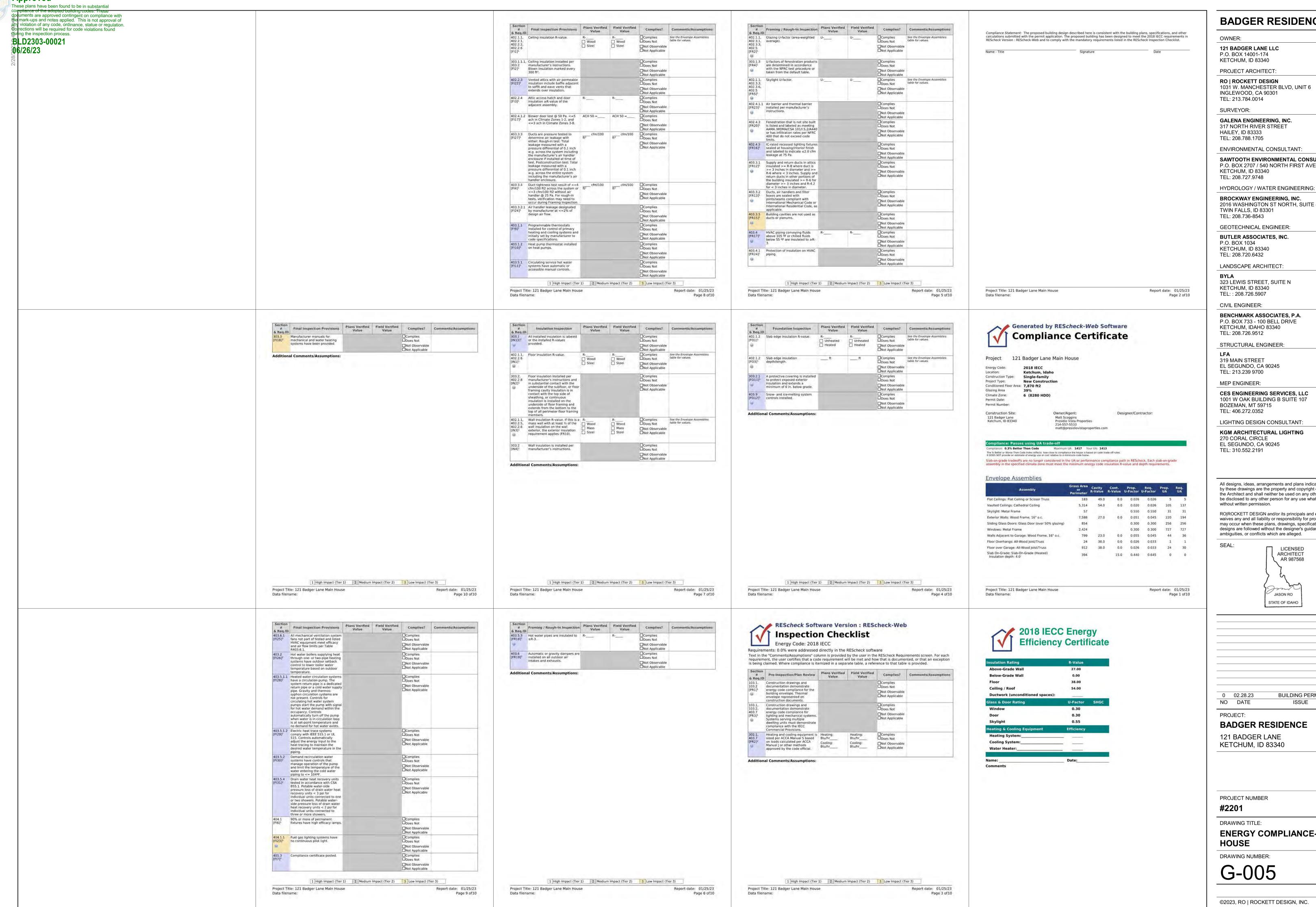
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DRAWING TITLE:

**GENERAL NOTES** 

DRAWING NUMBER:



**BADGER RESIDENCE** 

121 BADGER LANE LLC

RO | ROCKETT DESIGN 1031 W. MANCHESTER BLVD, UNIT 6

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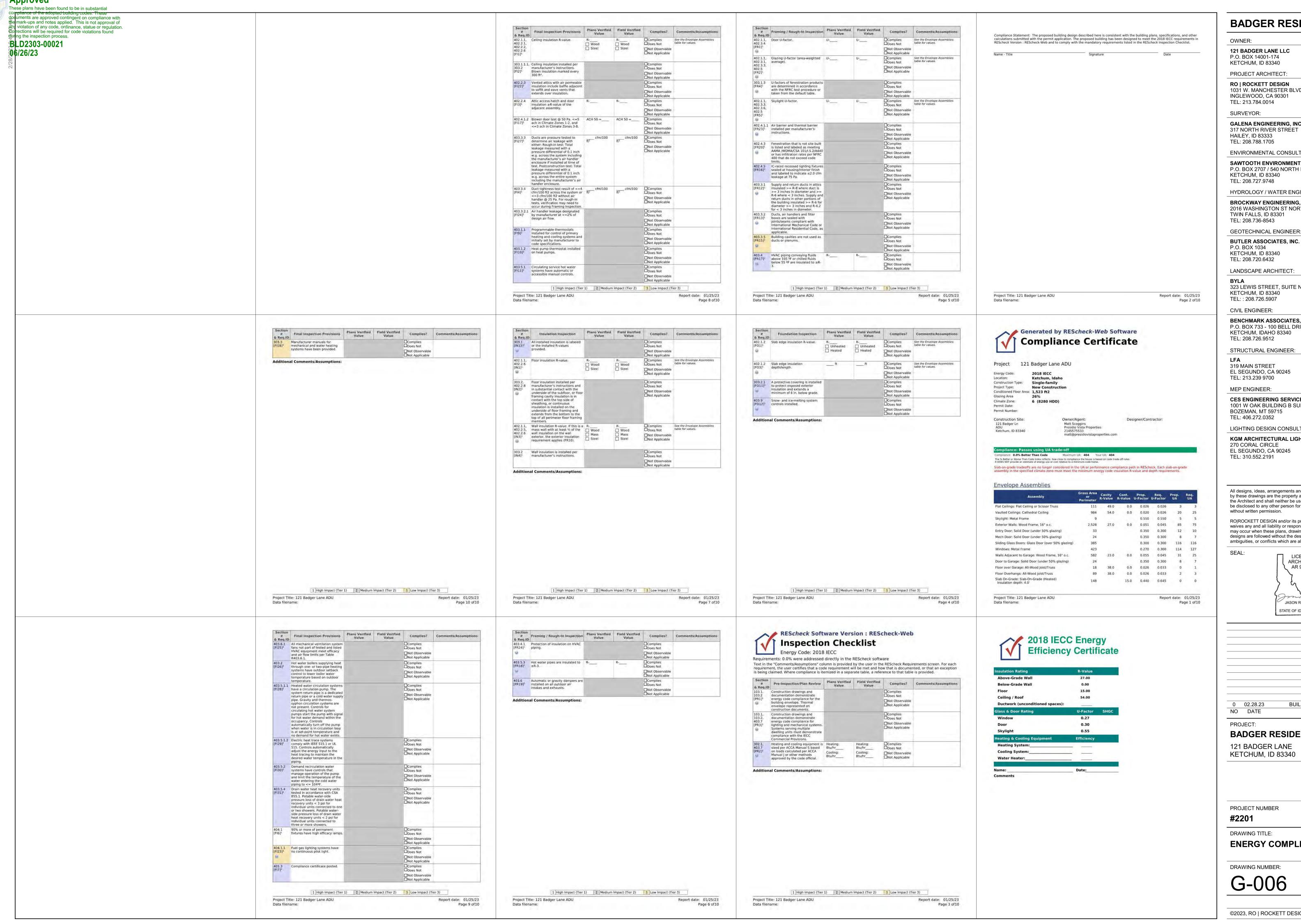
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**BUILDING PERMIT** ISSUE

**BADGER RESIDENCE** 

**ENERGY COMPLIANCE- MAIN** 



**BADGER RESIDENCE** 

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STATE OF IDAHO

**BUILDING PERMIT** ISSUE

**BADGER RESIDENCE** 

121 BADGER LANE

KETCHUM, ID 83340

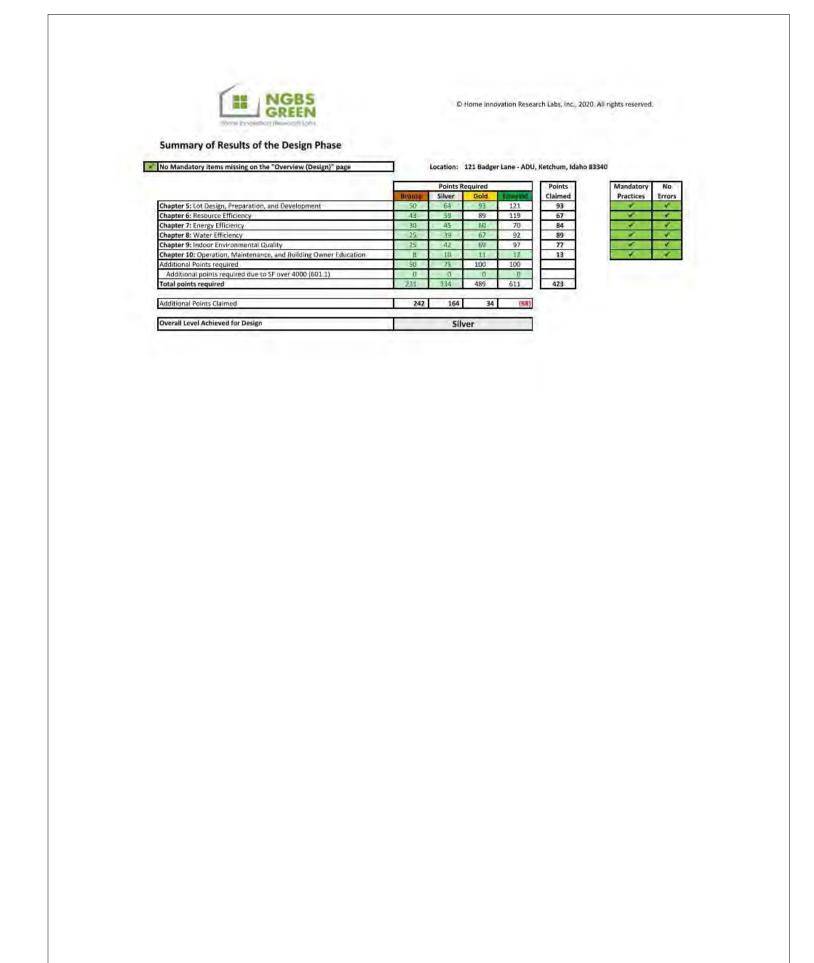
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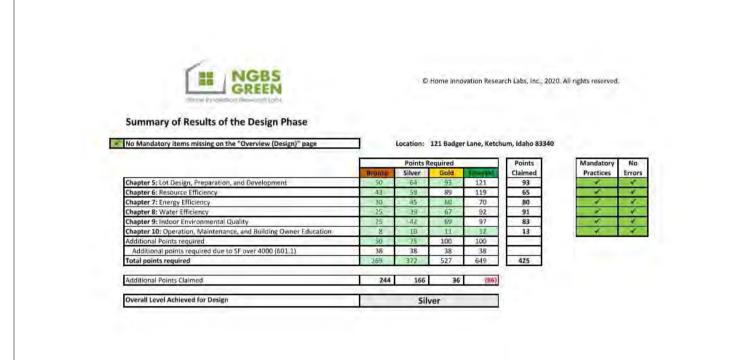
**ENERGY COMPLIANCE- ADU** 

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\*REFER TO DOCUMENT SUBMITTAL FOR COMPLETE WORKBOOK SPREADSHEET



\*REFER TO DOCUMENT SUBMITTAL FOR COMPLETE WORKBOOK SPREADSHEET

## BADGER RESIDENCE

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SEAL:



0 02.28.23 **BUILDING PERMIT** 

NO DATE ISSUE

PROJECT:

BADGER RESIDENCE 121 BADGER LANE KETCHUM, ID 83340

PROJECT NUMBER

#2201

DRAWING TITLE:

NATIONAL GREEN BUILDING STANDARDS CERTIFICATION

DRAWING NUMBER:

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during the inspection process.

**BLD2303-00021** 

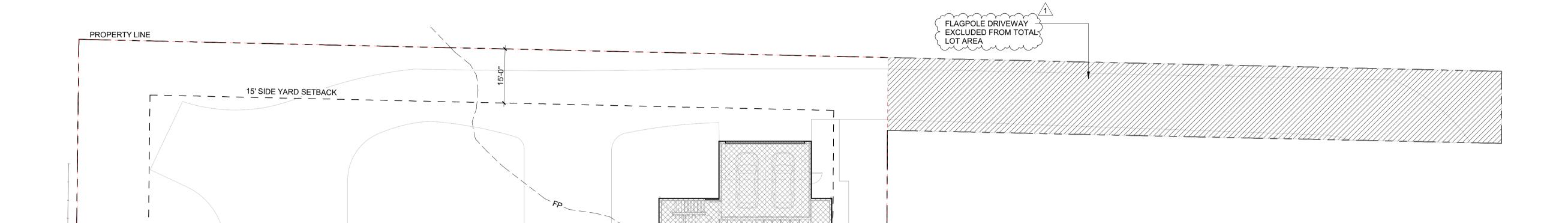
AREA OF BUILDING, PATIOS WITH OVERHANGS GREATER THAN 3 FT AND PATIOS ABOVE 30" FROM EXISTING GRADE AT ANY POINT

#### <u>17.08.020 TERMS DEFINED</u>

BUILDING COVERAGE: THE TOTAL SQUARE FOOTAGE OF THE BUILDING FOUNDATION AND ALL HORIZONTAL PROJECTIONS WHICH CONSTITUTE A "BUILDING" AS DEFINED IN THIS SECTION. BUT NOT INCLUDING ROOF OVERHANGS THAT ARE THREE FEET OR LESS OR UNCOVERED DECKS LESS THAN 30 INCHES ABOVE GRADE. GARAGES AND GUEST HOMES SHALL BE INCLUDED IN BUILDING COVERAGE. THE LOT AREA USED TO DETERMINE BUILDING COVERAGE SHALL BE THAT AREA LANDWARD SIDE OF THE MEAN HIGH WATER MARK ON THE BIG WOOD RIVER, TRAIL CREEK AND WARM SPRINGS CREEK.

TOTAL LOT AREA (EXCLUDING FLAGPOLE DRIVEWAY) = 44,138 SF

TOTAL BUILDING COVERAGE (%) = (9,309 SF / 44,138 SF) X 100 = (21%) MAX BUILDING COVERAGE FOR LR DISTRICT = 35%



PATIO
(NO OVERHANG AND
LESS THAN 30" ABV
EXISTING GRADE)

15' SIDE YARD SETBACK

15'-0"

PAVERS ALONG

BADGER RESIDENCE

OWNER:

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CES ENGINEERING SERVICES, LLC 1001 W OAK BUILDING B SUITE 107 BOZEMAN, MT 59715 TEL: 406.272.0352

LIGHTING DESIGN CONSULTANT:

KGM ARCHITECTURAL LIGHTING 270 CORAL CIRCLE EL SEGUNDO, CA 90245 TEL: 310.552.2191

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PERMIT REVIEW- REV 1 0 02.28.23 BUILDING PERMIT SUBMITTAL NO DATE ISSUE

PROJECT:

BADGER RESIDENCE

121 BADGER LANE KETCHUM, ID 83340

PROJECT NUMBER

#2201

DRAWING TITLE:

**LOT COVERAGE** 

DRAWING NUMBER:

©2023, RO | ROCKETT DESIGN, INC.

1 1/16" = 1'-0" **BUILDING COVERAGE** 

20'-0"

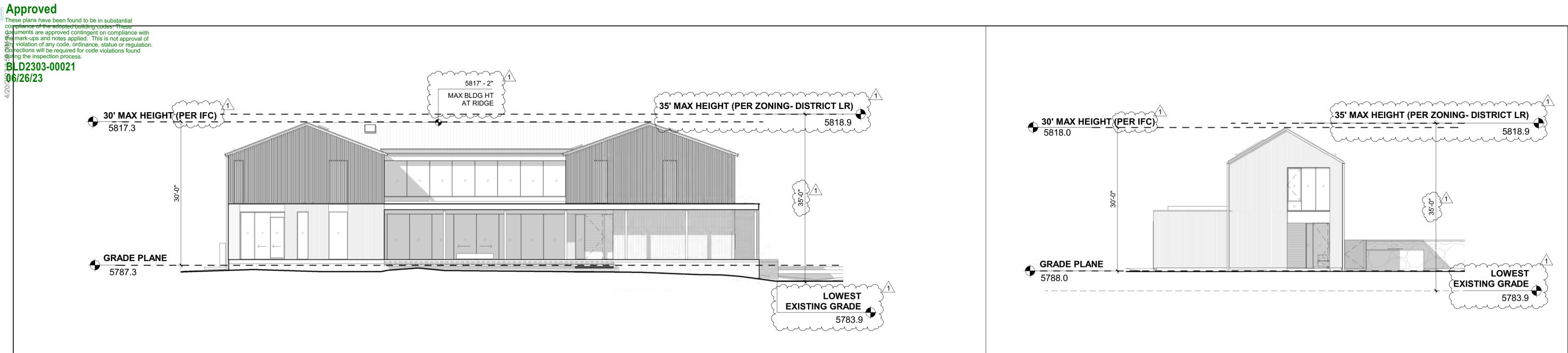
16'-2 1/2"

PATIO (GREATER THAN 30"

PATIO (GREATER THAN 30" FROM EXISTING

15'-0 1/4"

PATIO



#### INTERNATIONAL FIRE CODE (IFC) 2018 -**CHAPTER 2 DEFINTIONS:**

**GRADE PLANE.** A REFERENCE PLANE REPRESENTING THE AVERAGE OF FINISHED GROUND LEVEL ADJOINING THE BUILDING AT EXTERIOR WALLS.

WHERE THE FINISHED GROUND LEVEL SLOPES AWAY FROM THE EXTERIOR WALLS, THE REFERENCE PLANE SHALL BE ESTABLISHED BY THE LOWEST POINT WITHIN THE AREA BETWEEN THE LOT LINE, OR WHERE THE OT LINE IS MORE THAN 6' FROM THE BUILDING, BETWEEN THE BUILDING AND A POINT 6 FEET FROM THE BUILDING.

## MAIN HOUSE - GRADE PLANE ELEVATION:

5786.2 + 5786 + 5786.5 + 5785.7 + 5787.5 + 5788.5 + 5788.5 + 5787.5 + 5786.2 + 5785.3 + 5788.5 + 5788.5 + 5788.5 + 5788.5 + 5788.5 + 5787

= 5787.3

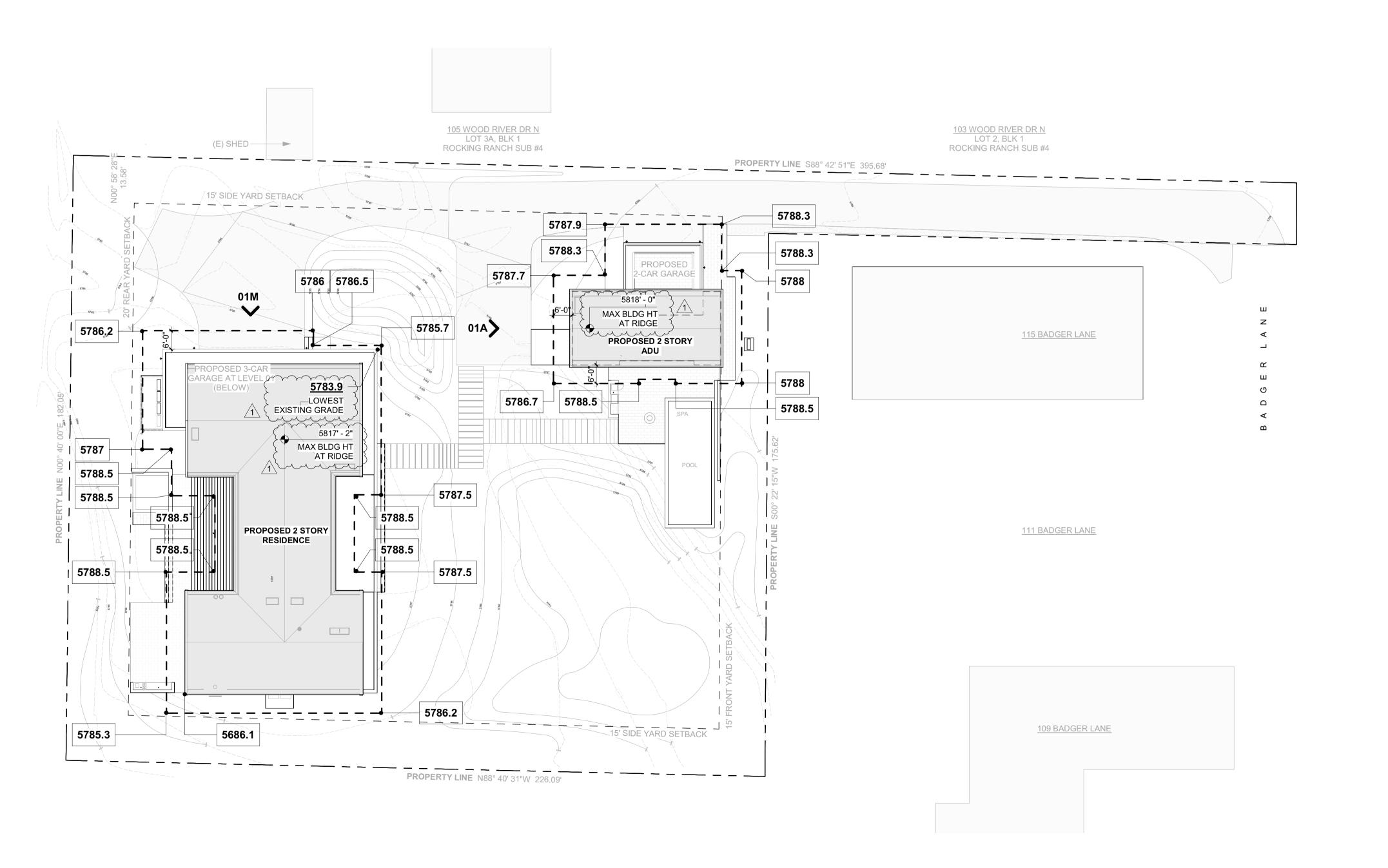
01M 3/32" = 1'-0" | **MAIN HOUSE ELEVATION** 

## ADU - GRADE PLANE ELEVATION:

5787.9 + 5788.3 + 5788.3 + 5788 + 5788 + 5788.5 + 5788.5 + 5786.7 + 5787.7 + 5788.3

=5788.0

1" = 20'-0" SITE PLAN - HEIGHT DIAGRAM



01A 3/32" = 1'-0" **ADU ELEVATION** 

## **BADGER RESIDENCE**

OWNER:

121 BADGER LANE LLC

P.O. BOX 14001-174

KETCHUM, ID 83340 PROJECT ARCHITECT:

RO | ROCKETT DESIGN 1031 W. MANCHESTER BLVD, UNIT 6 INGLEWOOD, CA 90301 TEL: 213.784.0014

SURVEYOR:

**GALENA ENGINEERING, INC.** 317 NORTH RIVER STREET

HAILEY, ID 83333 TEL: 208.788.1705

> **ENVIRONMENTAL CONSULTANT:** SAWTOOTH ENVIRONMENTAL CONSULTING P.O. BOX 2707 / 540 NORTH FIRST AVE KETCHUM, ID 83340

HYDROLOGY / WATER ENGINEERING:

BROCKWAY ENGINEERING, INC. 2016 WASHINGTON ST NORTH, SUITE 4 TWIN FALLS, ID 83301

TEL: 208.736-8543 GEOTECHNICAL ENGINEER:

**BUTLER ASSOCIATES, INC.** P.O. BOX 1034 KETCHUM, ID 83340 TEL: 208.720.6432

TEL: 208.727.9748

LANDSCAPE ARCHITECT:

323 LEWIS STREET, SUITE N KETCHUM, ID 83340

TEL:: 208.726.5907 CIVIL ENGINEER:

BENCHMARK ASSOCIATES, P.A. P.O. BOX 733 - 100 BELL DRIVE KETCHUM, IDAHO 83340

STRUCTURAL ENGINEER:

TEL: 208.726.9512

319 MAIN STREET EL SEGUNDO, CA 90245 TEL: 213.239 9700

MEP ENGINEER:

**CES ENGINEERING SERVICES, LLC** 1001 W OAK BUILDING B SUITE 107 BOZEMAN, MT 59715 TEL: 406.272.0352

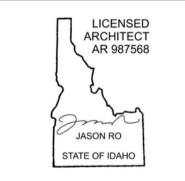
LIGHTING DESIGN CONSULTANT:

KGM ARCHITECTURAL LIGHTING 270 CORAL CIRCLE EL SEGUNDO, CA 90245 TEL: 310.552.2191

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PERMIT REVIEW- REV 1 0 02.28.23 BUILDING PERMIT SUBMITTAL NO DATE ISSUE

PROJECT:

BADGER RESIDENCE

KETCHUM, ID 83340

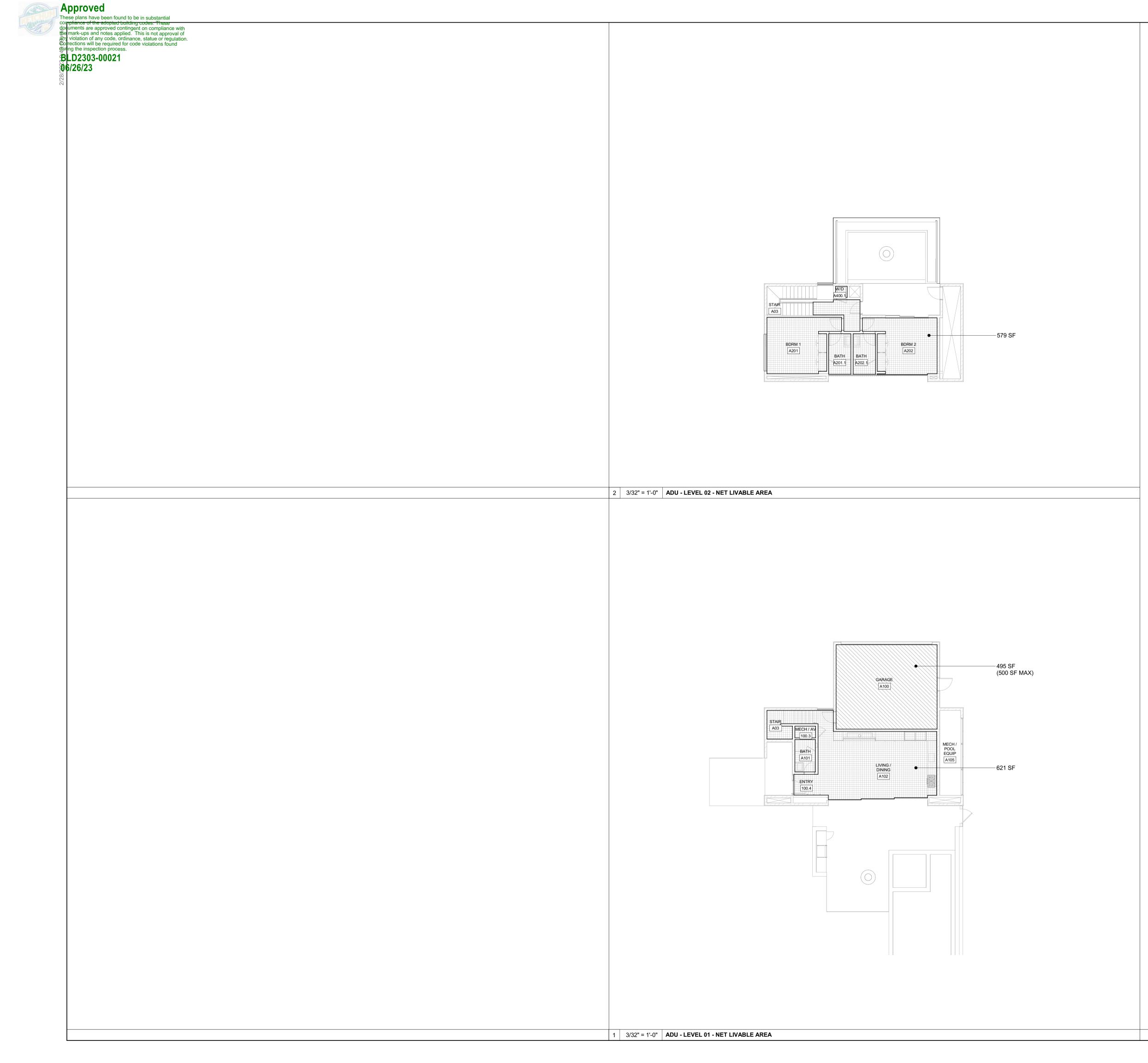
121 BADGER LANE

PROJECT NUMBER

#2201

DRAWING TITLE: **HEIGHT DIAGRAM** 

DRAWING NUMBER: G-011



## BADGER RESIDENCE

1031 W. MANCHESTER BLVD, UNIT 6

OWNER:

121 BADGER LANE LLC

P.O. BOX 14001-174 KETCHUM, ID 83340

PROJECT ARCHITECT: RO | ROCKETT DESIGN

INGLEWOOD, CA 90301 TEL: 213.784.0014

SURVEYOR:

GALENA ENGINEERING, INC. 317 NORTH RIVER STREET HAILEY, ID 83333

TEL: 208.788.1705 **ENVIRONMENTAL CONSULTANT:** 

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HYDROLOGY / WATER ENGINEERING:

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TWIN FALLS, ID 83301 TEL: 208.736-8543

GEOTECHNICAL ENGINEER: BUTLER ASSOCIATES, INC. P.O. BOX 1034 KETCHUM, ID 83340 TEL: 208.720.6432

LANDSCAPE ARCHITECT:

323 LEWIS STREET, SUITE N KETCHUM, ID 83340

TEL: : 208.726.5907

CIVIL ENGINEER: BENCHMARK ASSOCIATES, P.A. P.O. BOX 733 - 100 BELL DRIVE KETCHUM, IDAHO 83340

STRUCTURAL ENGINEER:

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MEP ENGINEER:

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SEAL:

without written permission.



0 02.28.23 **BUILDING PERMIT** NO DATE ISSUE

PROJECT:

ADU- NET LIVABLE AREA

\*NET LIVABLE AREA (AS CONFIRMED BY CITY OF

KETCHUM PLANNING DEPT) IS MEASURED FROM INSIDE FACE OF EXTERIOR WALLS EXCLUDING

STAIRS AND DOUBLE HEIGHT SPACES COUNTED

B. UNIT SIZE RESTRICTIONS. ACCESSORY DWELLING UNITS MUST CONTAIN A MINIMUM OF 300 SQUARE FEET OF NET LIVABLE SPACE, BUT CANNOT EXCEED 1,200 SQUARE FEET OF NET LIVABLE SPACE.

C. MAXIMUM BUILDING COVERAGE. THE MAXIMUM BUILDING COVERAGE OF AN ACCESSORY DWELLING UNIT, TOGETHER WITH THE PRIMARY DWELLING UNIT, SHALL BE THE COVERAGE REQUIREMENTS OF THE UNDERLYING ZONING

DISTRICT SPECIFIED IN SECTION 17.12.030, "DIMENSIONSAL STANDARDS, DISTRICTS MATRIX", OF THIS TITLE. IF THE MAXIMUM BUILDING COVERAGE REQUIREMENT CAUSES SIGNIFICANT RESTRICTIONS TO THE CONSTRUCTION OF

E. STORAGE. DESIGNATED STORAGE SHALL BE PROVIDED FOR ALL ACCESSORY

AN ACCESSORY DWELLING UNIT, AN INCREASE OF NO GREATER THAN FIVE PERCENT MAY BE GRANTED.

GARAGE, MECHANICAL ROOMS / SHAFTS,

THICKNESS OF INTERIOR WALLS.

17.124.070 ACCESSORY DWELLING UNITS

621 SF

579 SF

1,200 SF

ADU - LEVEL 01

ADU - LEVEL 02

**TOTAL** 

ONLY ONCE

DWELLING UNITS.

BADGER RESIDENCE

121 BADGER LANE KETCHUM, ID 83340

PROJECT NUMBER

#2201

DRAWING TITLE:

AREA CALCULATIONS- ADU **NET LIVABLE** 

DRAWING NUMBER:

**Approve** 

These plans have been found to be in substantial compliance of the adopted building codes. These documents are approved contingent on compliance

documents are approved contingent on compliance with the mark-ups and notes applied. This is not approval of any violation of any code, ordinance, statue or regulation. Corrections will be required for code violations found

MH LEVEL 02 - CONDITIONED

FLOOR AREA CONDITIONED 7555 SF

BLD2303-00021 FLOOR AREA - CONDITIONED MH

06/26/23 NAME AREA

MH LEVEL 01 - CONDITIONED 4023 SF

FLOOR AREA - MECH

NAME AREA

MECH 473 SF

FLOOR AREA - GARAGE

NAME AREA
GARAGE 1142 SF

7555 SF 70 SF

3532 SF

FLOOR AREA GROSS 9170 SF
- FLOOR AREA GARAGE 1142 SF
- FLOOR AREA MECH 473 SF

BORM 2

BORM 3

BATH 3

BORM 4

200

BATH 4

200

BATH 4

200

BATH 4

200

BATH 6

BEORD 3

BATH 1

BATH 1

BATH 1

BATH 2

200

BATH 2

200

BATH 2

200

BATH 3

BATH 4

BATH 4

BEORD 3

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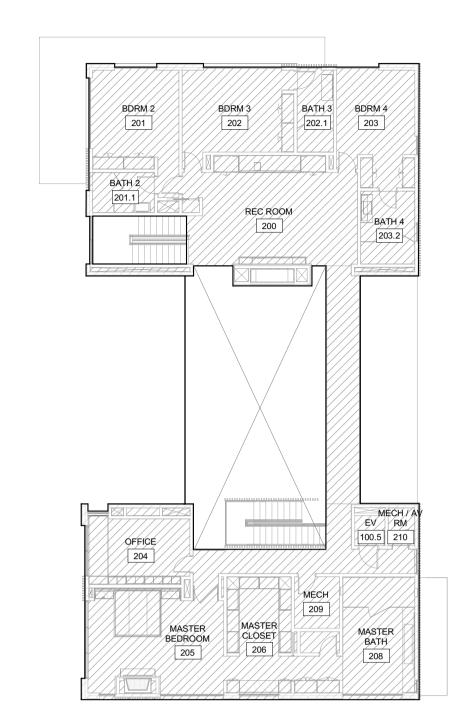
BATH 3

BATH 1

BATH

FLOOR AREA - GROSS					
NAME	AREA				
EVEL 01 - GROSS	5486 SF				
EVEL 02 - GROSS	3683 SF				
	9170 SF				

FLOOR AREA GROSS EXCLUDES DOUBLE HEIGHT SPACES AND STAIRS AT TOP LEVEL



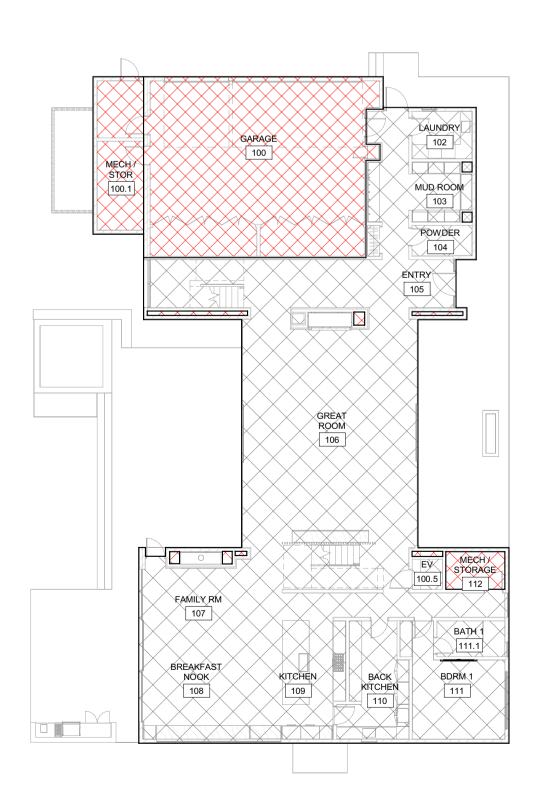
## 4 1/16" = 1'-0" MAIN HOUSE - LEVEL 02 / CONDITIONED

FLOOR AREA - CONDITIO	NED MH	FLOOR AF	REA - MECH	FLOOR AREA - GARAGE		
NAME	AREA	NAME	AREA	NAME	AREA	
MH LEVEL 01 - CONDITIONED	4023 SF	MECH	473 SF	GARAGE	1142 SF	
MH LEVEL 02 - CONDITIONED	3532 SF					

7555 SF

FLOOR AREA GROSS 9170 SF
- FLOOR AREA GARAGE 1142 SF
- FLOOR AREA MECH 473 SF

FLOOR AREA CONDITIONED 7555 SF

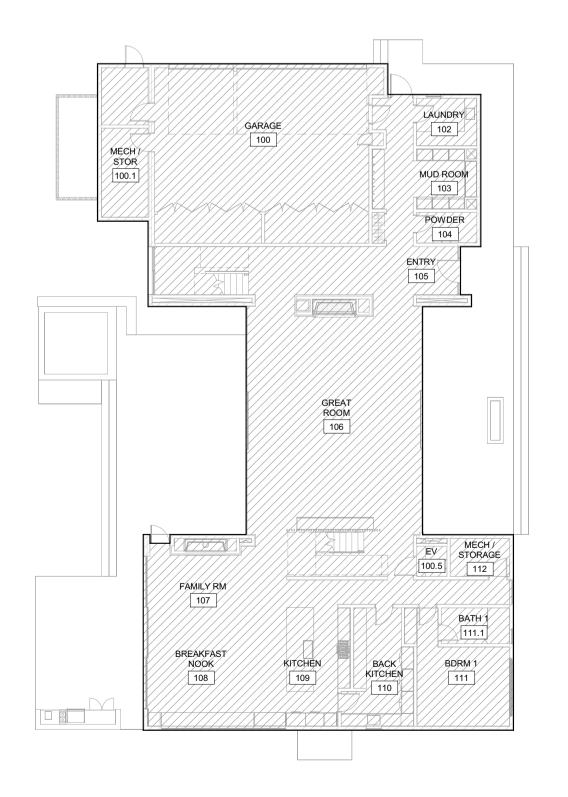


			]
<b>FLOOR ARI</b>	EA - GRO	oss	

1 LOOK AREA - OROGO							
NAME	AREA						
LEVEL 01 - GROSS	5486 SF						
LEVEL 02 - GROSS	3683 SF						

2 | 1/16" = 1'-0" | MAIN HOUSE - LEVEL 02 / GROSS AREA

FLOOR AREA GROSS EXCLUDES DOUBLE HEIGHT SPACES AND STAIRS AT TOP LEVEL



BADGER RESIDENCE

OWNER:

**121 BADGER LANE LLC** P.O. BOX 14001-174

KETCHUM, ID 83340
PROJECT ARCHITECT:

RO | ROCKETT DESIGN 1031 W. MANCHESTER BLVD, UNIT 6 INGLEWOOD, CA 90301

SURVEYOR:

TEL: 213.784.0014

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ENVIRONMENTAL CONSULTANT:

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BROCKWAY ENGINEERING, INC. 2016 WASHINGTON ST NORTH, SUITE 4 TWIN FALLS. ID 83301

TEL: 208.736-8543
GEOTECHNICAL ENGINEER:

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LANDSCAPE ARCHITECT:

BYLA 323 LEWIS STREET, SUITE N KETCHUM, ID 83340 TEL:: 208.726.5907

CIVIL ENGINEER:

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STRUCTURAL ENGINEER:

319 MAIN STREET EL SEGUNDO, CA 90245 TEL: 213.239 9700

MEP ENGINEER:

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SEAL:



0 02.28.23 BUILDING PERMIT
NO DATE ISSUE

PROJECT:

BADGER RESIDENCE

121 BADGER LANE KETCHUM, ID 83340

PROJECT NUMBER

DRAWING TITLE:

AREA CALCULATIONS- MH GROSS / CONDITIONED

DRAWING NUMBER:

G-0 12.1

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1/16" = 1'-0" MAIN HOUSE - LEVEL 01 / CONDITIONED

1 1/16" = 1'-0" MAIN HOUSE - LEVEL 01 / GROSS AREA



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any violation of any code, ordinance, statue or regulation. Corrections will be required for code violations found BLD2303-00021 FLOOR AREA - CONDITIONED ADU FLOOR AREA - MECH

FLOOR AREA - GARAGE **AREA AREA** ADU LEVEL 01 - CONDITIONED 735 SF MECH 298 SF GARAGE 548 SF 716 SF ADU LEVEL 02 - CONDITIONED

1451 SF

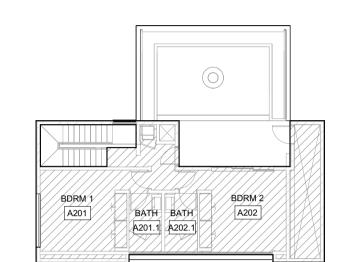
FLOOR AREA GROSS 2297 SF 548 SF - FLOOR AREA GARAGE - FLOOR AREA MECH

FLOOR AREA CONDITIONED 1451 SF

FLOOR AREA - GROSS ADU ADU LEVEL 01 - GROSS 1428 SF ADU LEVEL 02 - GROSS 869 SF

2297 SF

FLOOR AREA GROSS EXCLUDES DOUBLE HEIGHT SPACES AND STAIRS AT TOP LEVEL



1/16" = 1'-0" | **ADU- LEVEL 02 / CONDITIONED** 2 1/16" = 1'-0" ADU - LEVEL 02 / GROSS AREA

BATH BATH

A201.1 A202.1

FLOOR AREA - CONDITIONED ADU FLOOR AREA - MECH FLOOR AREA - GARAGE ADU LEVEL 01 - CONDITIONED 735 SF MECH 298 SF GARAGE 548 SF 716 SF ADU LEVEL 02 - CONDITIONED

FLOOR AREA GROSS 548 SF - FLOOR AREA GARAGE - FLOOR AREA MECH 298 SF

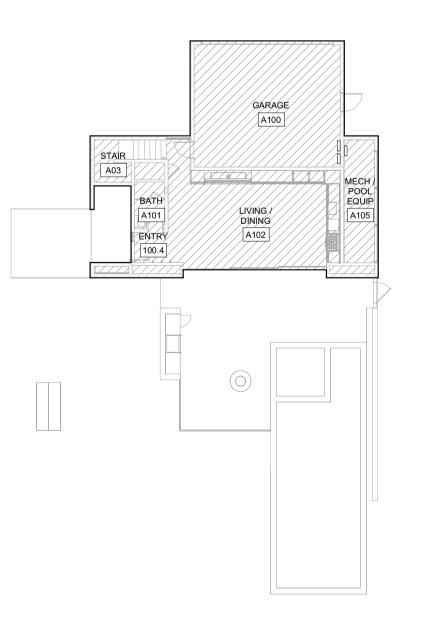
FLOOR AREA CONDITIONED 1451 SF

1/16" = 1'-0" | **ADU - LEVEL 01 / CONDITIONED** 

FLOOR AREA - GROSS ADU ADU LEVEL 01 - GROSS 1428 SF ADU LEVEL 02 - GROSS 869 SF

FLOOR AREA GROSS EXCLUDES DOUBLE HEIGHT SPACES AND STAIRS AT TOP LEVEL

1 1/16" = 1'-0" | ADU - LEVEL 01 / GROSS AREA



BADGER RESIDENCE

OWNER:

121 BADGER LANE LLC

P.O. BOX 14001-174 KETCHUM, ID 83340

PROJECT ARCHITECT:

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SURVEYOR:

TEL: 208.788.1705

GALENA ENGINEERING, INC. 317 NORTH RIVER STREET HAILEY, ID 83333

**ENVIRONMENTAL CONSULTANT:** 

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BROCKWAY ENGINEERING, INC. 2016 WASHINGTON ST NORTH, SUITE 4

TWIN FALLS, ID 83301 TEL: 208.736-8543

GEOTECHNICAL ENGINEER: BUTLER ASSOCIATES, INC. P.O. BOX 1034 KETCHUM, ID 83340

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STRUCTURAL ENGINEER:

319 MAIN STREET EL SEGUNDO, CA 90245 TEL: 213.239 9700

MEP ENGINEER:

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0 02.28.23 **BUILDING PERMIT** 

ISSUE

PROJECT:

NO DATE

BADGER RESIDENCE

121 BADGER LANE KETCHUM, ID 83340

PROJECT NUMBER

DRAWING TITLE:

AREA CALCULATIONS- ADU **GROSS / CONDITIONED** 

DRAWING NUMBER:

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compliance of the adopted building codes. These documents are approved contingent on compliance with the mark-ups and notes applied. This is not approval of any violation of any code, ordinance, statue or regulation. Corrections will be required for code violations found guing the inspection process.

**BLD2303-00021** 

**96/26/23** 







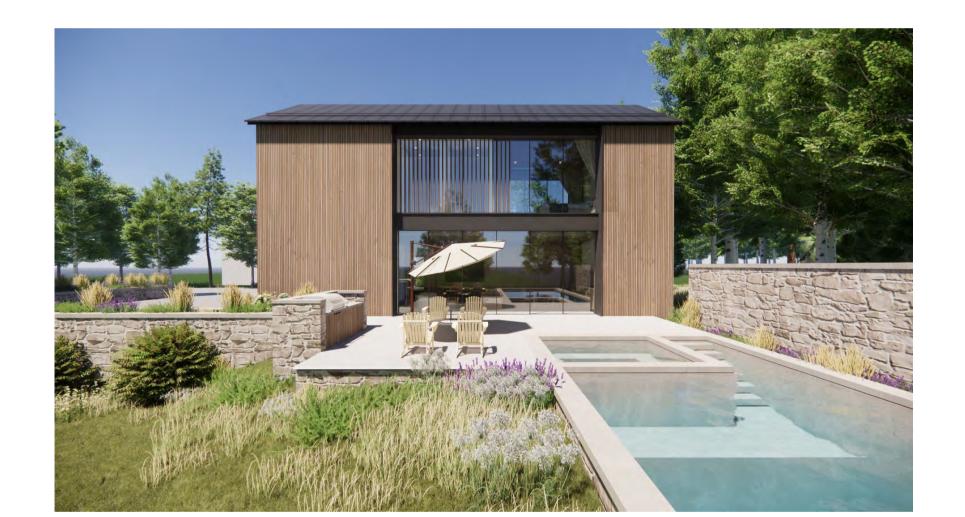
MAIN HOUSE | EAST ELEVATION VIEW - FRONT

2 MAIN HOUSE | NORTH-EAST VIEW - DRIVEWAY

3 MAIN HOUSE | WEST ELEVATION VIEW - REAR



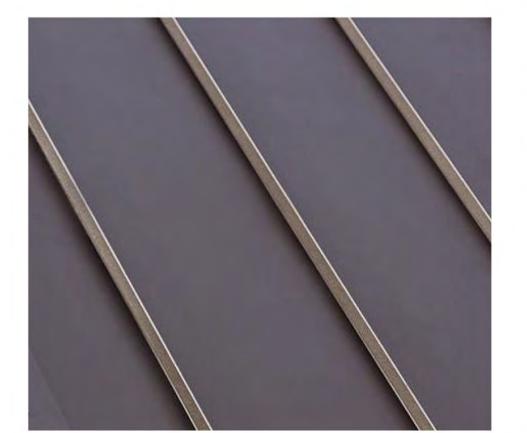




4 ADU | NORTH-EAST VIEW - DRIVEWAY

5 ADU | NORTH-WEST VIEW - GUEST PARKING & ENTRY

6 ADU | SOUTH ELEVATION VIEW - POOL DECK





WOOD: RAINSCREEN FACADE / SCREENS



CONCRETE: BASE + STEPS





**METAL WINDOWS** 

STONE: LANDSCAPE WALLS

BADGER RESIDENCE

OWNER:

121 BADGER LANE LLC P.O. BOX 14001-174

KETCHUM, ID 83340

PROJECT ARCHITECT: RO | ROCKETT DESIGN 1031 W. MANCHESTER BLVD, UNIT 6 INGLEWOOD, CA 90301

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MEP ENGINEER:

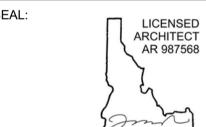
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0 02.28.23 NO DATE

**BUILDING PERMIT** 

STATE OF IDAHO

PROJECT:

**BADGER RESIDENCE** 

121 BADGER LANE KETCHUM, ID 83340

PROJECT NUMBER

#2201

DRAWING TITLE:

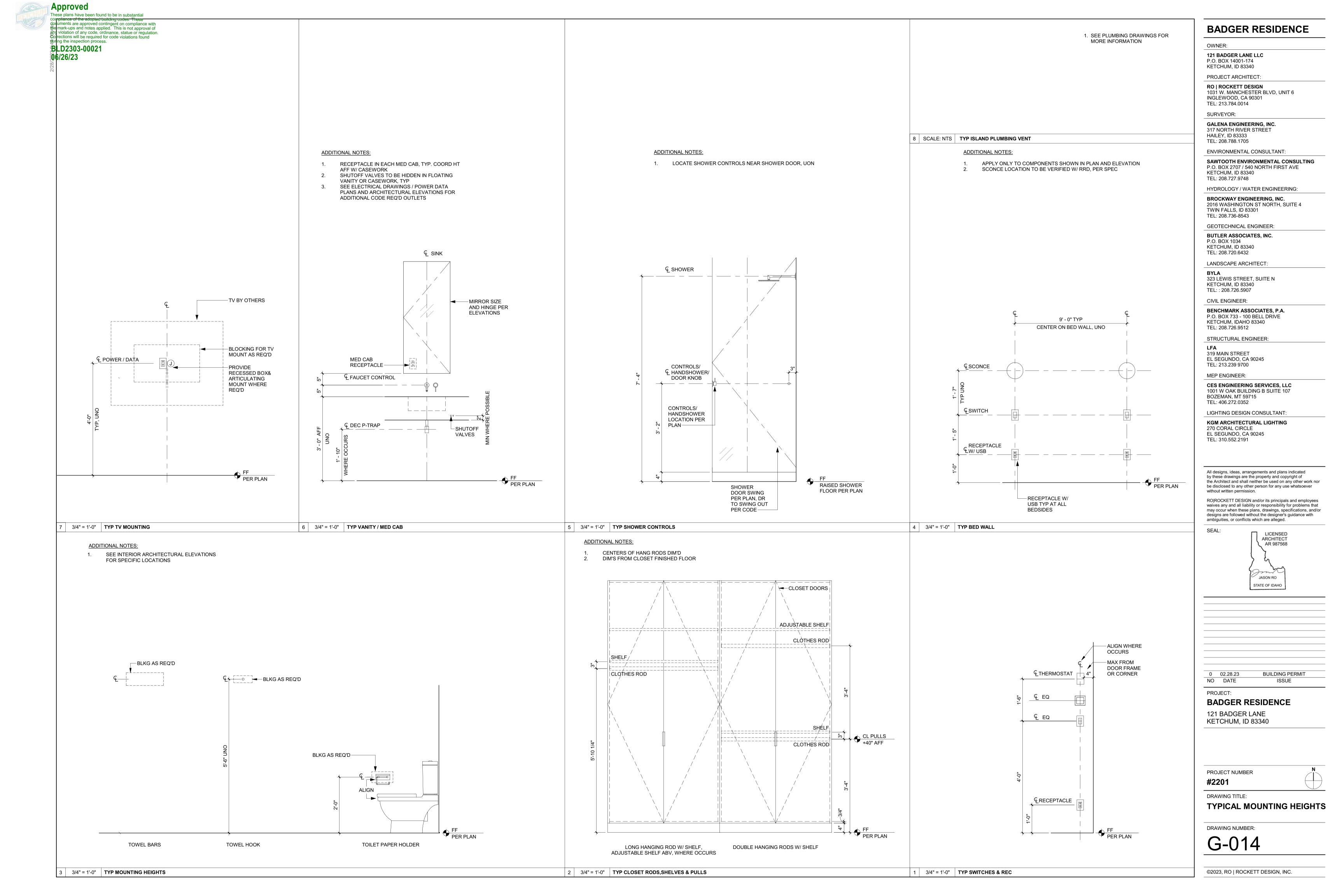
PERSPECTIVE VIEWS & **MATERIALS** 

DRAWING NUMBER:

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METAL: ROOF + FASCIAS



## Approved

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compliance of the adopted building codes. These

WD-8 WD-9

WOOD ENTRY DOOR

INTERIOR WD SLAT PROFILE

ENTRY DOOR

MASTER BED NICHE WALL

**BLD2303-00021** 

**96/26/23** 

03-00021					MATERIAL L	LEGEND		
TAG	DESCRIPTION	LOCATION	MANUFACTURER	MODEL	SIZE/DIM	SPECIES/COLOR	FINISH	COMMENTS
CONC-1	PRECAST CONCRETE	COPING AT SITE AND POOLS WALLS	CUSTOM	CUSTOM	VARIES	COLOR: TBD		
CONC-2	EPOXY CONCRETE	GARAGE, MECHANICAL, AV ROOMS FLOORS	ROCK SOLID FLOORING	CUSTOM	VARIES	COLOR: TBD	ESPARTIC 2-PART POLYUREA FINISH	1/8" SAWCUT JOINTS LOCATION PER ARCH
CONC-3	CAST IN PLACE CONCRETE	DRIVEWAY HARDSCAPE	DAYTON SUPERIOR	CUSTOM	VARIES	GREY / SAND BLAST FINISH	TOP-CAST SURFACE RETARDER	1/8" SAWCUT JOINTS LOCATION PER ARCH
CT-1	CERAMIC TILE	POWDER						
CT-2	CERAMIC TILE	LAUNDRY	SPEC CERAMICS	YOHEN BORDER		YB1 WHITE		
CT-3	CERAMIC TILE	GUEST BATHROOMS						
GL-1	LAMINATED GLASS W/ CLEAR PVB INTERLAYER	GUARDRAILS	PPG OR APPROVED EQ	STARPHIRE	1/2" THICK	CLEAR WHITE WATER	POLISHED	SIZE CRITICAL- FLAT POLISHED EDGES
GL-2	TEMPERED GLASS	FRAMELESS SHOWERS	PPG OR APPROVED EQ	STARPHIRE	3/8" THICK (1/2" DEPENDING ON SIZE)	CLEAR WHITE WATER	POLISHED	SIZE CRITICAL- FLAT POLISHED EDGES
GL-3	MIRROR	BATHROOMS	CUSTOM	CUSTOM	1/4" THICK	-CLEAR WATER WHITE	-	SIZE CRITICAL- FLAT POLISHED EDGES
GL-4	ACID-ETCHED GLASS	MBATH SHOWER CEILING	PPG OR APPROVED EQ	STARPHIRE	3/8" THICK	-ETCH ON CLEAR		
MTL-1	STANDING SEAM METAL ROOF	PITCHED ROOFS	METAL SALES OR APPROVED EQ	DOUBLE LOCK	18"	STANDARD COLOR (TBD)	TBD	CONCEALED FASTENERS
MTL-2	METAL WALL PANEL	EXTERIOR WALLS, FASCIAS, TRIMS	METAL SALES OR APPROVED EQ	FLATLOCK	VARIES	STANDARD COLOR (TBD)	MATTE	FLAT LOCK METAL WALL PANEL SYSTEM, INSTALL VERTICAL W/ MIN REVEAL PER MFR SPECS.
MTL-3	BRAKE METAL / FLASHING	FLASHING, GUTTERS, BASE TRIM	DREXEL OR EQ	-	20 GA, UNO (28 GA MIN AT BASE)	GALVANIZĖD SHEĖT METAL (ŠTEĖL)	FACTORY FINISH KYNAR, LOW GLOSS MATTE	FLASHIING / GUTTERS: COLOR TO MATCH ADJ WIN/DOOR FRAMES OR ADJ MTL ROOFING TYP. / BASE: COLOR TO MATCH STN PAVING
MTL-4	PTD STEEL SHAPES / EXT	EXTERIOR MISC METALS	CUSTOM	CUSTOM		STAINLESS STEEL 316	PRIME & PAINTED, COLOR TBD	-STL SHAPES BARS & PLATES AS REQ'D
MTL-5	PTD STEEL SHAPES / INT	INTERIOR MISC METALS	CUSTOM	CUSTOM		COLD ROLLED STEEL		-STL SHAPES BARS & PLATESAS REQ'D, PROVIDE STAINLESS STEEL 316 WHERE EXTERIOR, TYP
PLAS-1	INTERIOR PLASTER	WALLS, CEILINGS	TEXSTON OR EQ	HYDROLIME-125		CM-6918-REG-SDGNS-031822		
PLAS-2W	WATERPROOF PLASTER	BATHROOM WALLS & CLG	TEXSTON	HYDROLIME-125		CM-6918-REG-SDGNS-031822	SMOOTH TROWEL	
PLAS-3W	EXTERIOR PLASTER (LT)	EXTERIOR CEILINGS	TEXSTON	HYDROLIME-125		CM-6918-REG-SDGNS-031822	SMOOTH TROWEL	
PLAS-4W	EXTERIOR PLASTER (DK)	EXTERIOR CEILINGS	TEXSTON	HYDROLIME-125		COLOR TO MATCH MTL-2	SMOOTH TROWEL	
PNT-1	PAINTED DRYWALL FINISH	WALL,CEILINGS	BENJAMIN MOORE OR APPROVED EQ	AURA		BM OC-17 WHITE DOVE	(F) FLAT / (EG) EGGSHELL / (LS) LOW SHEEN / (SG) SEMI GLOSS / (G) GLOSSY	PROVIDE PRIMER AND 2 FINISH COATS; LEVEL IV DRYWALL
SS-1	SOLID SURFACE	SHOWER NICHE SILL	DUPONT CORIAN	ILLUMINATION	1/2" THICK	GLACIER ICE		
STN-1	EXTERIOR STONE VENEER	SITE WALLS	SELECT STONE		FULL DEPTH VENEER	MUDDY CREEK VENEER	TUMBLED	PROVIDE CORNER PIECES (4"X8" MIN); CONTACT: MIKE CAREY
STN-2	STONE FLOORING / PAVING	EXTERIOR / INTERIOR FLOORING	MATERIALS MARKETING	AVALLON	2 1/8" THK (EXT) / 3/4" THK (INT) / 12"X24"	KAHLA GRAY	FLAMED	
STN-3	INTERIOR STONE VENEER	FIREPLACE / FEATURE WALLS	SELECT STONE		THIN VENEER (1" - 1 1/2" THK)	MUDDY CREEK VENEER	TUMBLED	PROVIDE CORNER PIECES; (4"X8" MIN); CONTACT: MIKE CAREY
STN-4	INTERIOR STONE SLAB	MBATH VANITY	STONELAND	CUSTOM	3/4" THK	TAJ MAHAL		
STN-5	INTERIOR STONE SLAB	MBATH FEATURE WALL	STONELAND	CUSTOM	3/4" THK	PALISSANDRO BLUE LEATHER		
STN-6	INTERIOR STONE SLAB	GUEST BATH VANITY	STONELAND	CUSTOM	3/4" THK	TAJ MAHAL		
STN-7	INTERIOR STONE SLAB	KITCHEN, REC, MUD, ADU KITCHEN COUNTER	STONELAND	CUSTOM	3/4" THK	MAXIMUM EXTRA		
WD-1	EXTERIOR / INTERIOR SIDING T & G	EXTERIOR FACADE / INTERIOR WALLS	DELTA MILLWORKS	LUNAWOOD T&G	3/4" X 5 1/2" (16' LENGTH MAX)	THERMO (THERMALLY MODIFIED WD) / SPRUCE	SMOOTH / PRE-FINISHED/ COLOR: ARROYO	SEAL ALL SIDES; ADD (2) 1/2" REVEALS; CONTACT: LISA MADISON
WD-2	EXTERIOR VERTICAL SLATS	EXTERIOR FACADE	DELTA MILLWORKS	STOCK WD (SLATS)	1 1/2" X 3 1/2"	THERMO (THERMALLY MODIFIED WD) / SPRUCE	SMOOTH / PRE-FINISHED/ COLOR: ARROYO	SEAL ALL SIDES; CONTACT: LISA MADISON
WD-3	EXTERIOR SOFFIT T & G	EXTERIOR SOFFITS	CUSTOM	CUSTOM	2X6	LIGHT STAINED TO MATCH INT WD CLG		BLIND FASTENERS
WD-4	INTERIOR WOOD FLOORING	TYP INTERIOR WD FLOOR	MADERA OR APPROVED EQ	NO.087 ATELIER	8.66 IN WIDE PLANK (5/8" THK)	BELGIAN OAK	OIL	
WD-5	INTERIOR WOOD SIDING T&G	TYP INTERIOR WALL PANELING, TREADS	CUSTOM	CUSTOM	WIDTH VARIES (3/4" THK)	CUSTOM STAINED WHITE OAK; PLAIN SAWN	PREMIUM FINISH	
WD-5V	INTERIOR WOOD VENEER	TYP INTERIOR CASEWORK	CUSTOM	CUSTOM	VARIES	CUSTOM STAINED WHITE OAK; PLAIN SAWN	PREMIUM FINISH	
WD-6	INTERIOR WOOD SLATS	GREAT ROOM STAIR	CUSTOM	CUSTOM	2"X8" SOLID WD STOCK	CUSTOM STAINED WHITE OAK	MATTE	CUST TRANSPARENT STAIN, TO MATCH INT WALL SIDING
WD-7	INTERIOR WD CEILING	TYP WD INTERIOR CEILING	CUSTOM	CUSTOM	1X6 T&G - SOLID PLANKS	CUSTOM STAINED WHITE OAK; PLAIN SAWN	MATTE	CUST TRANSPARENT STAIN

CUSTOM STAINED DARK TO MATCH MTL-2

1X6 T&G - SOLID PLANKS

1" X 3 5/8" X 10' (1" THK)

CUSTOM

LUNA TRIO 26X92

CUSTOM

LUNAWOOD

## BADGER RESIDENCE

OWNER:

121 BADGER LANE LLC P.O. BOX 14001-174

KETCHUM, ID 83340

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2016 WASHINGTON ST NORTH, SUITE 4 TWIN FALLS, ID 83301

TEL: 208.736-8543 GEOTECHNICAL ENGINEER: BUTLER ASSOCIATES, INC.

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TEL: : 208.726.5907 CIVIL ENGINEER:

BENCHMARK ASSOCIATES, P.A. P.O. BOX 733 - 100 BELL DRIVE KETCHUM, IDAHO 83340 TEL: 208.726.9512

STRUCTURAL ENGINEER:

COLOR PER ARCH TO MATCH SAMPLE

CONCEALED FASTENERS

MATTE

319 MAIN STREET EL SEGUNDO, CA 90245 TEL: 213.239 9700

MEP ENGINEER:

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LIGHTING DESIGN CONSULTANT:

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PERMIT REVIEW- REV 1 0 02.28.23 BUILDING PERMIT SUBMITTAL NO DATE ISSUE

PROJECT:

**BADGER RESIDENCE** 

**121 BADGER LANE** KETCHUM, ID 83340

PROJECT NUMBER

#2201

DRAWING TITLE: **MATERIAL SCHEDULE** 

DRAWING NUMBER: G-101

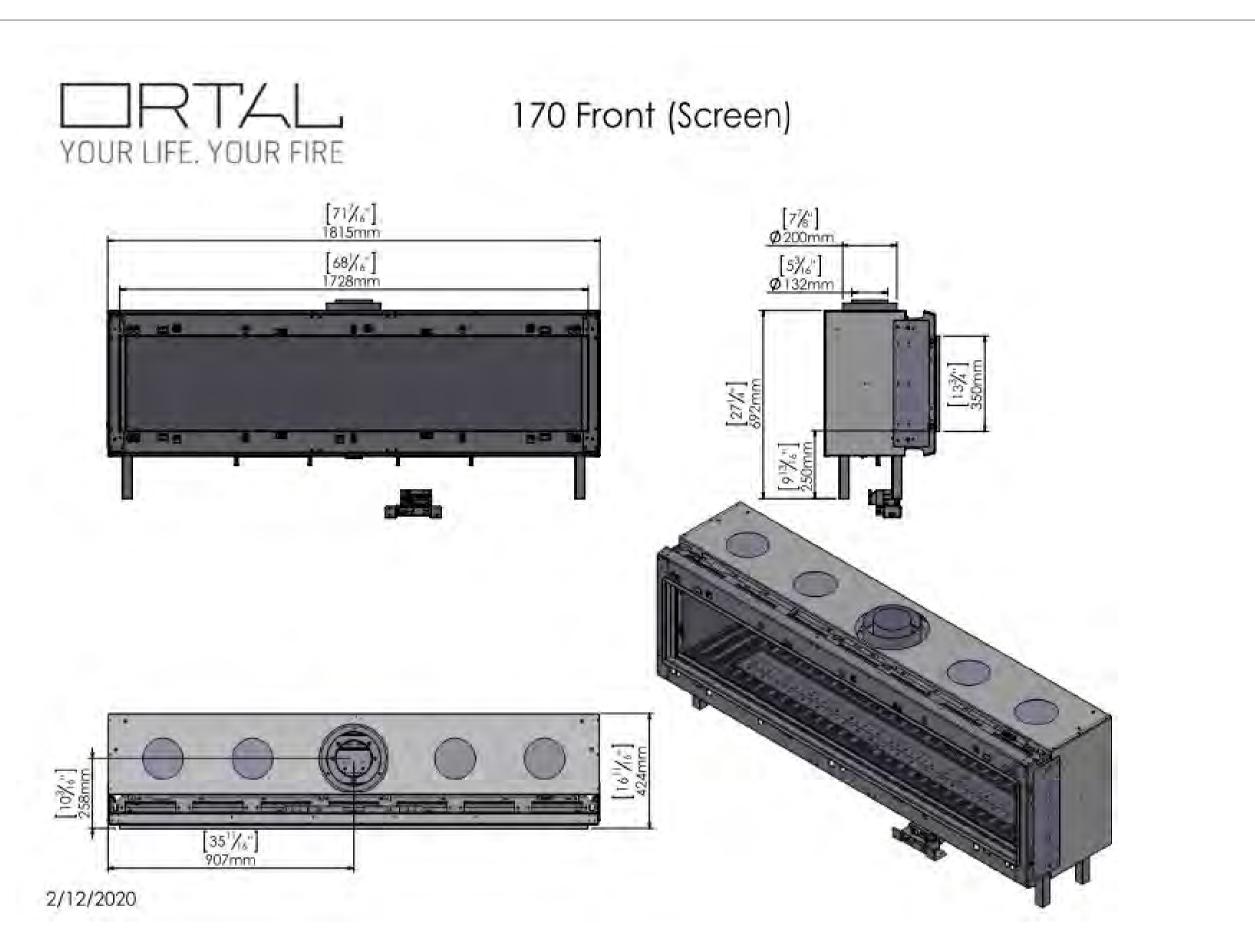


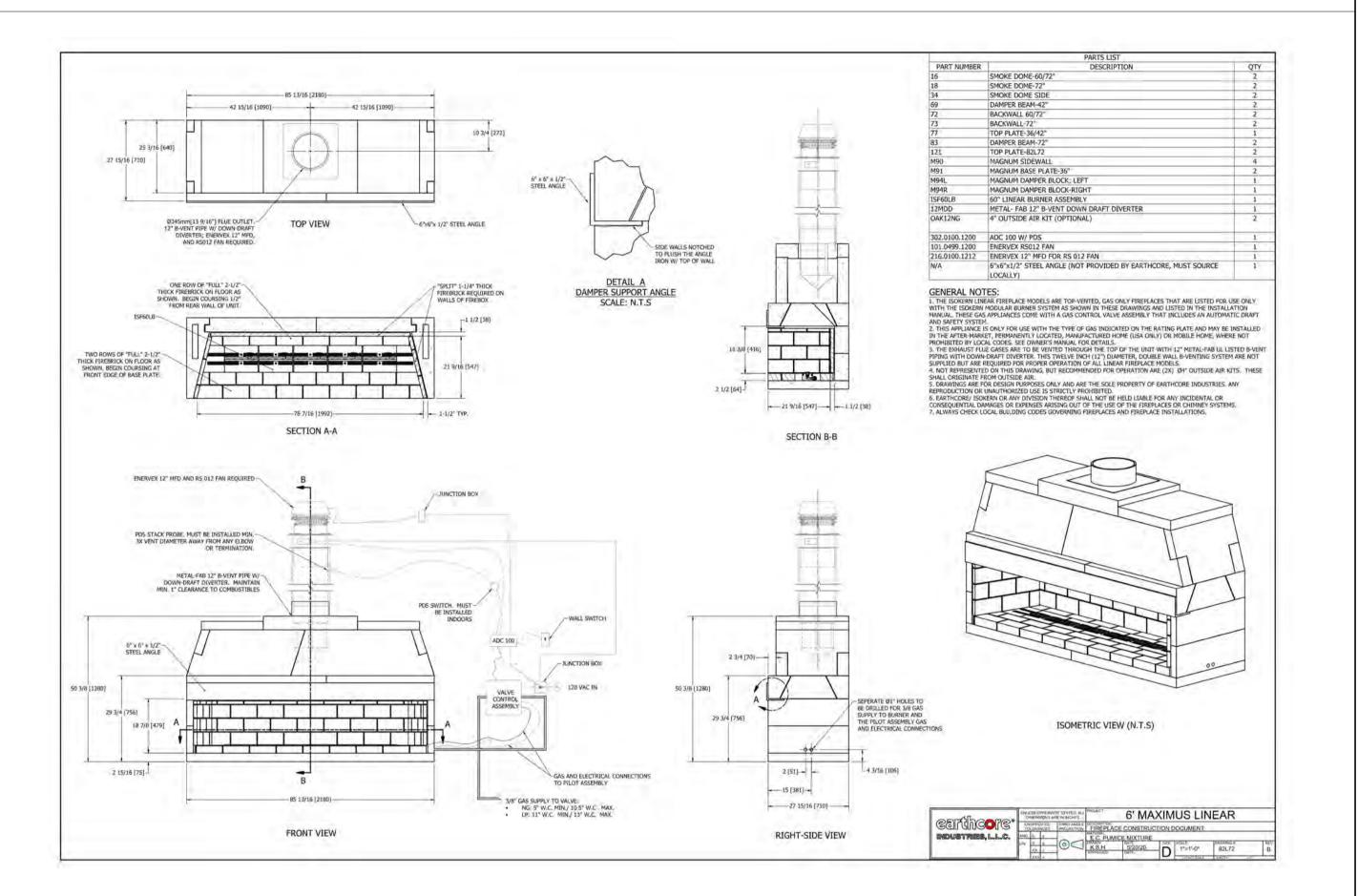
**96/26/23** 

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SCALE: NTS | [FP-3] ISOKERN MAGNUM 48

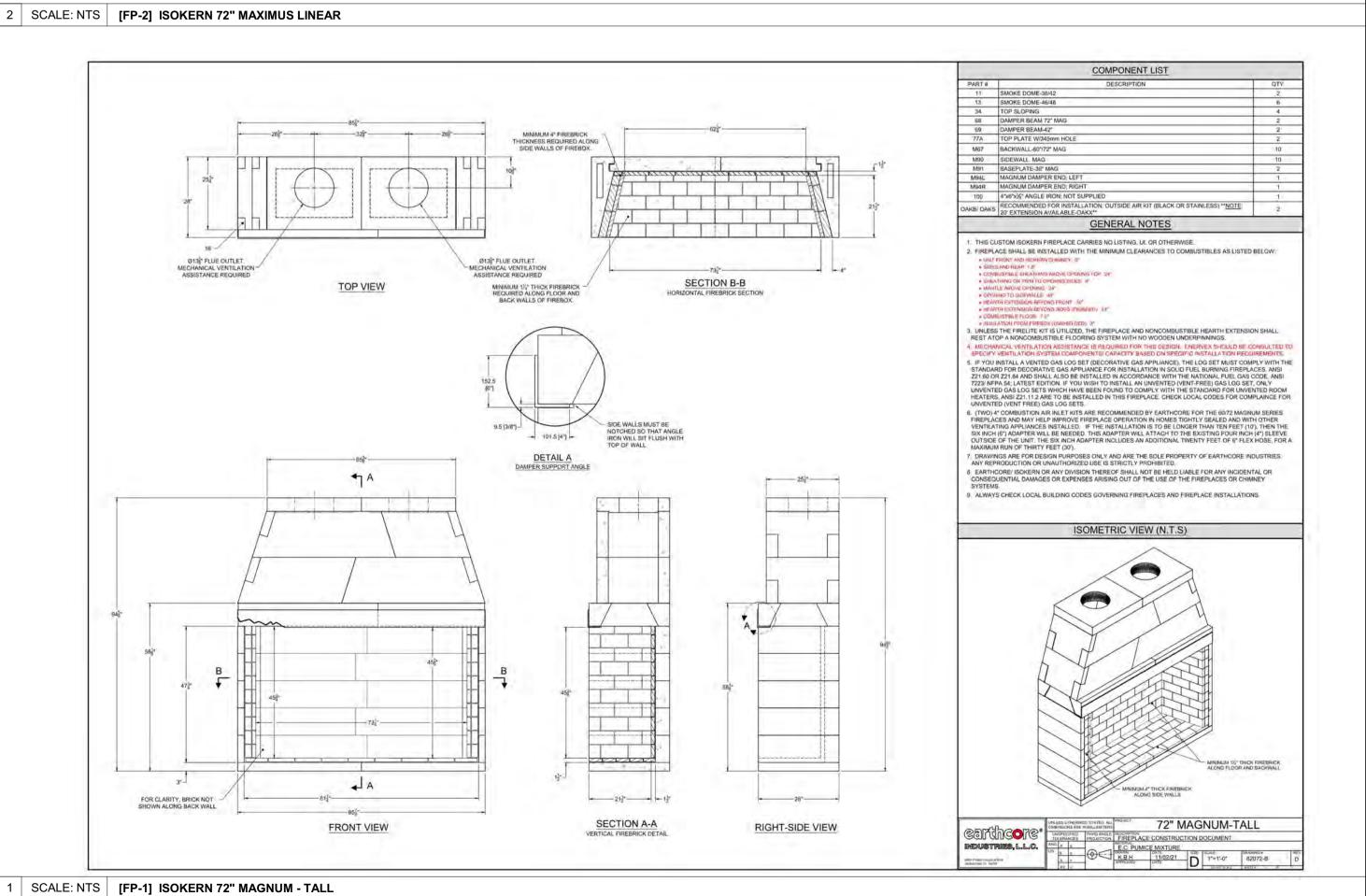
							SCHEDULE FIREPLACES
UNI <sup>*</sup>	INT/EXT	RM#	RM NAME	MANUFACTURER	MODEL	BTU	TYPE/DESCRIPTION
FP-1	INT	106	GREAT ROOM	ISOKERN	MAGNUM 72 TALL		
FP-2	INT	107	FAMILY RM	ISOKERN	MAXIMUS LINEAR 72	92,000	
FP-3	INT	205	MASTER BEDROOM	ISOKERN	MAGNUM 48		
FP-4	INT	A102	LIVING / DINING	ORTAL	170 FRONT	43,715	FLUSH HORIZONTAL POWER VENT
FP-5	EXT		ADU POOL DECK	LUMACAST	CYLINDRA 48	180,000	
FP-6	EXT		ADU UPPER DECK	LUMACAST	CYLINDRA 42	180,000	
FP-7	EXT		MH FRONT DECK	LUMACAST	BLOC 92	200,000	
FP-8	FXT		MH REAR DECK	LUMACAST	BLOC 92	200 000	





SCALE: NTS [FP-4] ORTAL - 170 FRONT SECTION B-B TOP VIEW ISOKERN FIREBOX AND NONCOMBUSTIBLE HEARTH EXTENSION SHALL BE SUPPORTED CONCRETE SLAB WITH NO COMBUSTIBLE UNDERPINNINGS. HEARTH EXTENSION SHALL EXTEND A MINIMUM OF 20" TO THE FRONT AND 12" TO THE SIDES OF FIREBOX'S FINISHED OPENING. 101.5 [4"] DETAIL A ALWAYS CHECK LOCAL BUILDING CODES GOVERNING FIREPLACES AND FIREPLACE ISTALLATIONS. ISOMETRIC VIEW (N.T.S) ZIVAZIVAV. ANY INSTANCE WHERE THE ISOKERN BRICK LEDGE IS USED, IT IS REQUIRED THAT THE FIREBOX/SMOKE DOME ASSEMBLY INCLUDE THE PLACEMENT OF A 4" BY 4" BY USE MINIMUM STEEL ANGLE ACROSS THE FIREBOX OPENING. (SEE DETAIL A) 48" MAGNUM **earthcore** RIGHT-SIDE VIEW FRONT VIEW ndustries, L.L.C. EC PUNICE MIXTURE

| Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | Solid | S



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MEP ENGINEER:

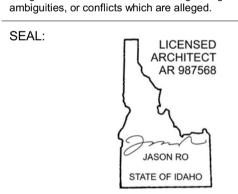
**CES ENGINEERING SERVICES, LLC** 1001 W OAK BUILDING B SUITE 107 BOZEMAN, MT 59715 TEL: 406.272.0352

LIGHTING DESIGN CONSULTANT:

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0 02.28.23 **BUILDING PERMIT** NO DATE ISSUE

PROJECT:

BADGER RESIDENCE

121 BADGER LANE KETCHUM, ID 83340

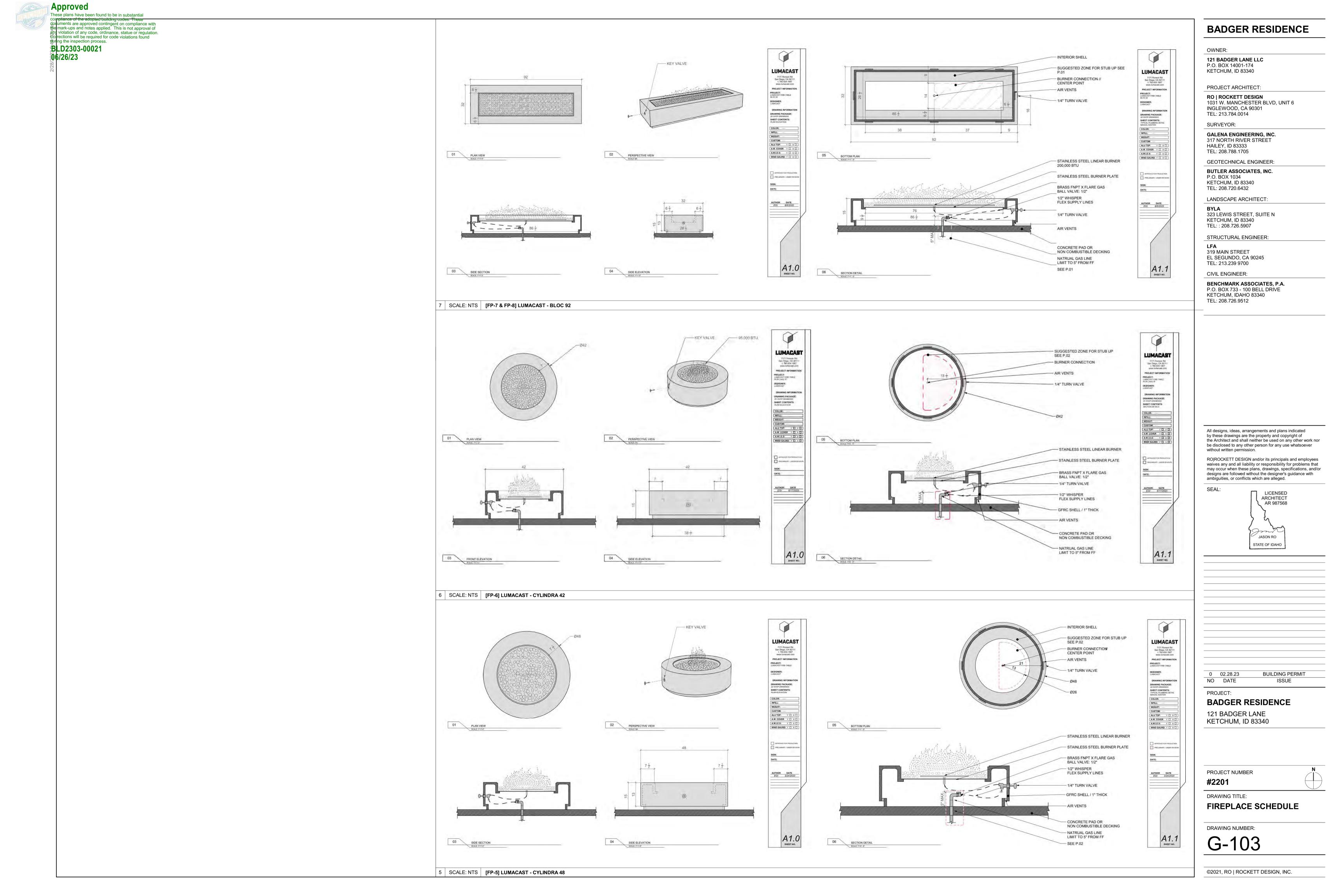
PROJECT NUMBER

DRAWING TITLE:

FIREPLACE SCHEDULE

DRAWING NUMBER:

G-102



Approved

These plans have been found to be in substantial conppliance of the adopted building codes. These documents are approved contingent on compliance with the mark-ups and notes applied. This is not approval of any violation of any code, ordinance, statue or regulation. Corrections will be required for code violations found during the inspection process.

**BLD2303-00021 96/26/23** 

MH BACK DECK

13" SIDE BURNER

LSB2-2 NG

LYNX

SCHEDULE - APPLIANCE

					GOTTED EL PATEINO
RM NAME	DESCRIPTION	MANUFACTERER	MODEL	FINISH	COMMENTS
LAUNDRY	FRONT LOAD WASHER	SAMSUNG	WF45T6000AW	WHITE	ENERGY STAR RATED
LAUNDRY	FRONT LOAD ELECTRIC DRYER	SAMSUNG	DVE45T6000W	WHITE	ENERGY STAR RATED
KITCHEN	VARIO 400 SERIES GAS COOKTOP	GAGGENAU	VG 491 211CA	SS	
KITCHEN	WALL HOOD	GAGGENAU	AW442720/AR400743	SS	400 SERIES PROFESSIONAL WALL HOOD W/ BAFFLE FILTERS, W/ AR 400 SERIES INTERNAL BLOWER
BACK KITCHEN	DISHWASHER	GAGGENAU	DF480763	FI	400 SERIES, FULLY INTEGRATED TALL TUB, APPLIANCE HEIGHT 34 1/8"; ENERGY STAR RATED
ADU KITCHEN	DISHWASHER	GAGGENAU	DF480763	FI	400 SERIES, FULLY INTEGRATED TALL TUB, APPLIANCE HEIGHT 34 1/8"; ENERGY STAR RATED
KITCHEN	DISHWASHER	GAGGENAU	DF480763	FI	400 SERIES, FULLY INTEGRATED TALL TUB, APPLIANCE HEIGHT 34 1/8"; ENERGY STAR RATED
REC ROOM	DISHWASHER		DF480763	FI	400 SERIES, FULLY INTEGRATED TALL TUB, APPLIANCE HEIGHT 34 1/8"; ENERGY STAR RATED
KITCHEN	REFRIGERATOR	GAGGENAU	RB492705	FI	
KITCHEN	REFRIGERATOR			FI	
KITCHEN	WINE COOLER	GAGGENAU	RB466765	FI	
BACK KITCHEN	400 SERIES DOUBLE OVEN		BX 480 612	SS	
	24" MICROWAVE BUILT-IN DRAWER			SS	
				FI	WITH PUMP; ENERGY STAR RATED
				FI	PANEL READY
				FI	
MH BACK DECK					
				FI	BOTTOM MOUNT FREEZER, LED LIGHTING
				FI	BOTTOM MOUNT FREEZER, LED LIGHTING
	36" DOWNDRAFT				RETRACTABLE, REMOTE BLOWER
					ENERGY STAR RATED
				SS	
MH / ADU DECK	42" BARBEQUE		L42R-3	SS	
ADU KITCHEN	30" SINGLE OVEN	GAGGENAU	BO480613	SS	TFT DISPLAY, RIGHT-HINGED
	LAUNDRY  LAUNDRY  KITCHEN  KITCHEN  BACK KITCHEN  ADU KITCHEN  KITCHEN  REC ROOM  KITCHEN  KITCHEN  KITCHEN  KITCHEN  KITCHEN  KITCHEN  BACK KITCHEN  REC ROOM  REC ROOM  REC ROOM  ADU DECK  MH BACK DECK  MH BACK DECK  ADU KITCHEN  ADU KITCHEN  ADU KITCHEN  ADU KITCHEN  ADU KITCHEN  ADU W/D CL  MH / ADU DECK  MH / ADU DECK	LAUNDRY FRONT LOAD WASHER  LAUNDRY FRONT LOAD ELECTRIC DRYER  KITCHEN VARIO 400 SERIES GAS COOKTOP  KITCHEN BACK KITCHEN DISHWASHER ADU KITCHEN DISHWASHER  KITCHEN REC ROOM DISHWASHER KITCHEN REFRIGERATOR KITCHEN REFRIGERATOR KITCHEN KITCHEN REFRIGERATOR KITCHEN BACK KITCHEN WINE COOLER BACK KITCHEN BACK KITCHEN BACK KITCHEN BACK KITCHEN BACK KITCHEN BACK KITCHEN COUSER BACK KITCHEN BACK WITCHEN BACK WITC	LAUNDRY FRONT LOAD WASHER SAMSUNG LAUNDRY FRONT LOAD ELECTRIC DRYER SAMSUNG KITCHEN VARIO 400 SERIES GAS COOKTOP GAGGENAU KITCHEN WALL HOOD GAGGENAU BACK KITCHEN DISHWASHER GAGGENAU ADU KITCHEN DISHWASHER GAGGENAU KITCHEN DISHWASHER GAGGENAU KITCHEN DISHWASHER GAGGENAU REC ROOM DISHWASHER GAGGENAU KITCHEN REFRIGERATOR GAGGENAU KITCHEN REFRIGERATOR GAGGENAU KITCHEN REFRIGERATOR GAGGENAU KITCHEN REFRIGERATOR GAGGENAU KITCHEN WINE COOLER GAGGENAU KITCHEN WINE COOLER GAGGENAU KITCHEN WINE COOLER GAGGENAU KITCHEN URICHWASHER GAGGENAU KITCHEN URICHWASHER GAGGENAU KITCHEN WINE STORAGE SUBZERO REC ROOM 15" UC ICE MAKER SUBZERO REC ROOM 24" UC REFRIGERATOR PANEL READY SUBZERO ADU DECK UC WINE STORAGE SUB ZERO MH BACK DECK UC WINE STORAGE SUB ZERO MH BACK DECK UC WINE STORAGE SUB ZERO ADU KITCHEN 30" REFRIGERATOR GAGGENAU ADU KITCHEN 36" DOWNDRAFT GAGGENAU ADU W/D CL 24" FRONT LOAD STACKED WASHER/DRYER SAMSUNG MH / ADU DECK 42" BARBEQUE LYNX	LAUNDRY FRONT LOAD WASHER SAMSUNG WF45T6000AW LAUNDRY FRONT LOAD ELECTRIC DRYER SAMSUNG DVE45T6000W KITCHEN VARIO 400 SERIES GAS COOKTOP GAGGENAU VG 491 211 CA KITCHEN WALL HOOD GAGGENAU AW442720/AR400743 BACK KITCHEN DISHWASHER GAGGENAU DF480763 ADU KITCHEN DISHWASHER GAGGENAU DF480763 KITCHEN DISHWASHER GAGGENAU DF480763 REC ROOM DISHWASHER GAGGENAU DF480763 KITCHEN REFRIGERATOR GAGGENAU DF480763 KITCHEN REFRIGERATOR GAGGENAU RB492705 KITCHEN REFRIGERATOR GAGGENAU RB492705 KITCHEN WINE COOLER GAGGENAU RB466765 BACK KITCHEN WINE COOLER GAGGENAU BY 480 612 KITCHEN WINE COOLER GAGGENAU BY 480 612 KITCHEN 24" MICROWAVE BUILT-IN DRAWER GAGGENAU MW420620 REC ROOM 15" UC ICE MAKER SUBZERO UC-15IP REC ROOM 24" UC REFRIGERATOR PANEL READY SUBZERO DEU2450CL ADU DECK UC WINE STORAGE SUB ZERO HP24WS-3 MH BACK DECK UC WINE STORAGE SUB ZERO HP24WS-3 ADU KITCHEN 30" REFRIGERATOR GAGGENAU RB472705 ADU KITCHEN 30" REFRIGERATOR SAMSUNG WW22K6800AW MH / ADU DECK 42" BARBEQUE LYNX L42R-3 MH / ADU DECK 42" BARBEQUE	LAUNDRY FRONT LOAD WASHER SAMSUNG WF45T6000AW WHITE LAUNDRY FRONT LOAD ELECTRIC DRYER SAMSUNG DVE45T6000W WHITE KITCHEN VARIO 400 SERIES GAS COOKTOP GAGGENAU VG 491 211CA SS KITCHEN WALL HOOD GAGGENAU DF480763 FI ADU KITCHEN DISHWASHER GAGGENAU DF480763 FI GAGGENAU REFRIGERATOR GAGGENAU MW420620 SS REC ROOM 15° UC ICE MAKER SUBZERO UC-15IP FI REC ROOM 24" UC REFRIGERATOR PANEL READY SUBZERO DEU2450CL FI REC ROOM 24" UC REFRIGERATOR PANEL READY SUBZERO DEU2450CL FI GADU DECK UC WINE STORAGE SUB ZERO HP24WS-3 FI MH BACK DECK UC WINE STORAGE SUB ZERO HP24WS-3 FI ADU KITCHEN 30" REFRIGERATOR GAGGENAU REFRIGERATOR GAGGENAU REFRIGERATOR GAGGENAU REFRIOR FI ADU KITCHEN 30" REFRIGERATOR GAGGENAU REFRIORS SS MH / ADU DECK 42" BARBEQUE LYNX L42R-3 SS MH / ADU DECK 42" BARBEQUE LYNX L42R-3 SS

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KGM ARCHITECTURAL LIGHTING 270 CORAL CIRCLE EL SEGUNDO, CA 90245 TEL: 310.552.2191

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SEAL:



0 02.28.23 **BUILDING PERMIT** NO DATE

ISSUE

PROJECT: **BADGER RESIDENCE** 

121 BADGER LANE KETCHUM, ID 83340

PROJECT NUMBER #2201

DRAWING TITLE:

**APPLIANCE SCHEDULE** 

DRAWING NUMBER:

These plans have been found to be in substantial compliance of the adopted building codes. Thes documents are approved contingent on compliance with the mark-ups and notes applied. This is not approval of

any violation of any code, ordinance, statue or regulation. Corrections will be required for code violations found during the inspection process.

BLD2303RQQQ25bule NOTES:

SCHEDULE IS INTENDED AS A GUIDE. DIMENSIONS INDICATE UNIT NET OPENING SIZE FOR LIGHT, VENTILATION, & EGRESS CODE

TO FABRICATION. 2. COORDINATE JAMB / HEAD DIMENSIONS WITH VARYING WALL

3. GLASS DOOR ADJACENT PANELS & ALL GLAZED OPENINGS WITHIN 18" OF THE ADJACENT FLOOR SHALL BE OF GLASS APPROVED FOR IMPACT HAZARD PER UBC SECTION 2406

COMPLIANCE. CONTRACTOR TO FIELD VERIFY ALL OPENINGS PRIOR

4. HAND ACTIVATED DOOR OPENING HARDWARE SHOULD BE CENTERED BETWEEN 30" AND 40" A.F.F

5. ALL DOOR STOPS FOR DOORS TO BE LAID OUT IN FIELD W/ DESIGNER. 6. SEE PROJECT MANUAL FOR DOOR HARDWARE GROUPS

A202.2

A202

BDRM 2

Exterior

10' - 4"

9' - 0"

LIFT & SLIDE

7. ALL POCKET DOORS SHOULD BE PROVIDED WITH 2" EXTRA MINIMUM IN WIDTH.

8. ALL GLAZING TO BE TEMPERED GLASS.

**EXTERIOR DOOR SCHEDULE** DOOR SIZE **DETAIL** HARDWARE FIRE DOOR FINISH TAG ROOM# ROOM NAME EXT / INT WIDTH HEIGHT OPERATION **HEAD** SILL MANUFACTURER MODEL MATERIAL GROUP RATING COMMENTS 100.1 100 GARAGE 21' - 6" SECTIONAL CUSTOM 9' - 0" INSULATED STEEL OVERHEAD DOOR Exterior 100.2 100 GARAGE 10' - 8" 9' - 0" CUSTOM WD Exterior **SECTIONAL** INSULATED STEEL OVERHEAD DOOR 100.5 100.2 TRASH RM Exterior 3' - 0" 10' - 10" SWING CUSTOM WD FRAMELESS- WOOD BLIND CUT DOOR 101 101 **VESTIBULE** 3' - 11 1/2" 9' - 4 1/2" PIVOT PANORAMAH AH! 38 ANODIZED-6EA TEMPERED GLASS Exterior ALUM/GL 104 105 **ENTRY** Exterior 8' - 0" 10' - 0" PIVOT PANORAMAH AH! 38 ALUM/GL ANODIZED-6EA TEMPERED GLASS 106.1 TEMPERED GLASS: HIDDEN SILL PROFILE W/ GUTTER 106 GREAT ROOM Exterior 37' - 8" 10' - 0" LIFT & SLIDE PANORAMAH AH! 38 ALUM/GL ANODIZED-6EA TEMPERED GLASS: HIDDEN SILL PROFILE W/ GUTTER 106.2 106 GREAT ROOM 38' - 0" 10' - 0" LIFT & SLIDE PANORAMAH AH! 38 ANODIZED-6EA Exterior ALUM/GL 107.2 107 3' - 1" AH! 38 TEMPERED GLASS FAMILY RM 9' - 10 1/2" OUTSWING PANORAMAH ALUM/GL ANODIZED-6EA Exterior A03 A03 TEMPERED GLASS STAIR Exterior 3' - 3" 9' - 0" OUTSWING PANORAMAH AH! 38 ALUM/GL ANODIZED-6EA A100 100.4 ENTRY PIVOT PANORAMAH AH! 38 ANODIZED-6EA TEMPERED GLASS Exterior 5' - 0" 9' - 6" ALUM/GL A100.2 A100 GARAGE OUTSWING PANORAMAH AH! 38 ANODIZED-6EA TEMPERED GLASS 3' - 0" ALUM/GL Exterior 8' - 0" A102 TEMPERED GLASS; HIDDEN SILL PROFILE W/ GUTTER A102 LIVING / DINING Exterior 23' - 10 3/4" 10' - 0" LIFT & SLIDE PANORAMAH AH! 38 ALUM/GL ANODIZED-6EA A105.1 A105 MECH / POOL EQUIP 8' - 0" WD OUTSWING DOUBLE CUSTOM WD Exterior 6' - 0" A105.2 A105 6' - 0" 8' - 0" WD OUTSWING DOUBLE CUSTOM WD MECH / POOL EQUIP Exterior A105.3 CUSTOM A105 6' - 0" 8' - 0" WD OUTSWING DOUBLE WD MECH / POOL EQUIP Exterior

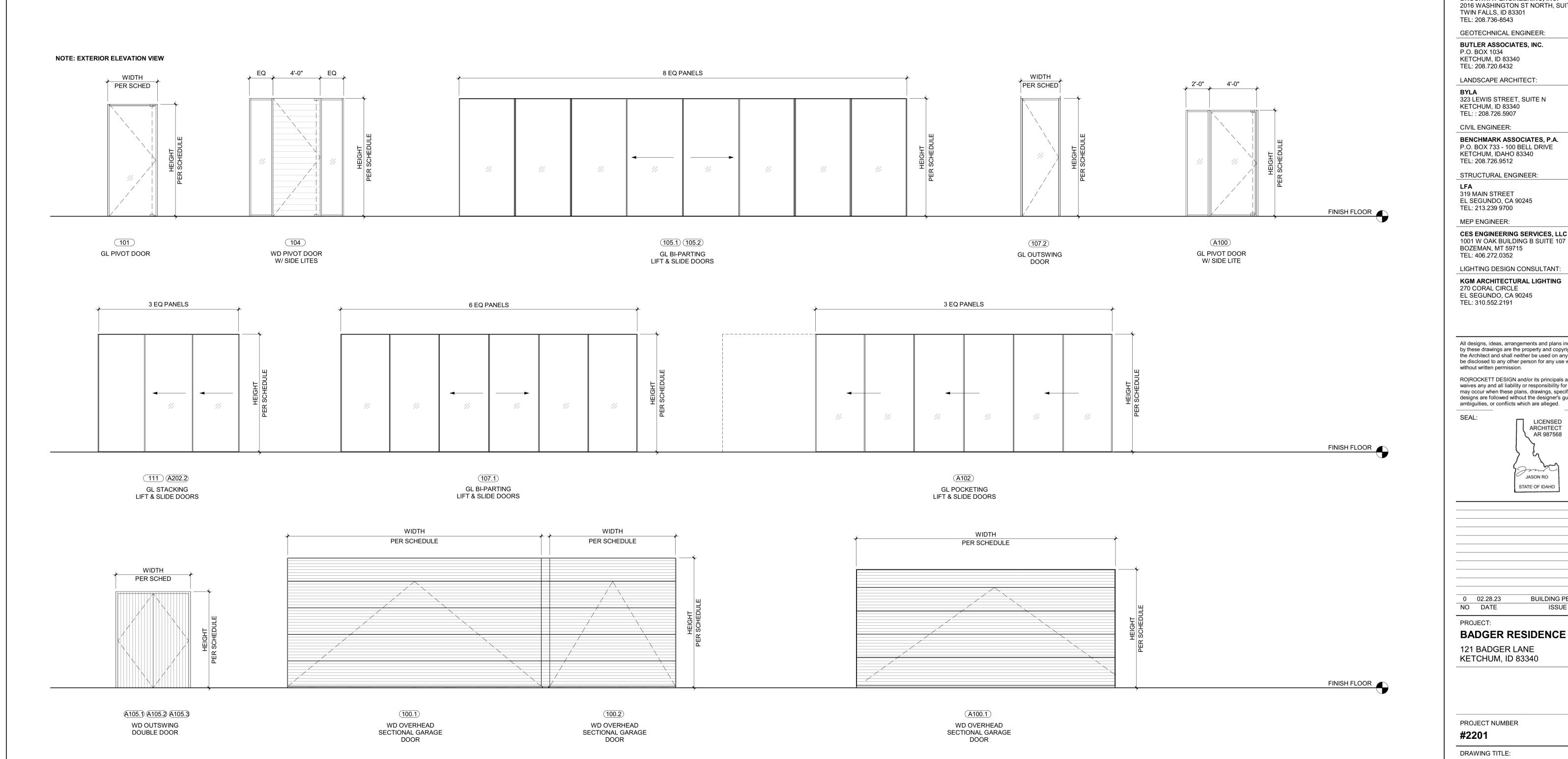
PANORAMAH

AH! 38

ALUM/GL

ANODIZED-6EA

TEMPERED GLASS; HIDDEN SILL PROFILE W/ GUTTER



# BADGER RESIDENCE

OWNER:

121 BADGER LANE LLC

P.O. BOX 14001-174 KETCHUM, ID 83340

PROJECT ARCHITECT:

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SURVEYOR:

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BROCKWAY ENGINEERING, INC. 2016 WASHINGTON ST NORTH, SUITE 4

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**BUTLER ASSOCIATES, INC.** P.O. BOX 1034 KETCHUM, ID 83340 TEL: 208.720.6432

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MEP ENGINEER:

1001 W OAK BUILDING B SUITE 107 BOZEMAN, MT 59715 TEL: 406.272.0352

LIGHTING DESIGN CONSULTANT:

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SEAL:



0 02.28.23 **BUILDING PERMIT** NO DATE ISSUE

PROJECT:

BADGER RESIDENCE

121 BADGER LANE KETCHUM, ID 83340

PROJECT NUMBER #2201

DRAWING TITLE:

EXTERIOR DOOR SCHEDULE

DRAWING NUMBER:

Approved

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the mark-ups and notes applied. This is not approval of any violation of any code, ordinance, statue or regulation. Co rections will be required for code violations found during the inspection process.

**B**LD2303-00021

**96/26/23** 

			WINDOW SIZE				DETAIL						
TAC	ROOM #	ROOM NAME	WIDTH	HEIGHT	OPERATION	JAMB	HEAD	SILL	MANUFACTURER	MODEL	MATERIAL	MIN U VALUE	COMMENTS
102	102	LAUNDRY	2' - 4"	9' - 6 7/16"	FIXED				PANORAMAH!	38 SERIES	ALUM / GL	0.3	TEMPERED GLAZING
105	105	STAIR 01	8' - 0"	VARIES SEE ELEV	FIXED				PANORAMAH!	38 SERIES	ALUM / GL	0.3	TEMPERED GLAZING
106.	106	GREAT ROOM	38' - 0"	7' - 6"	FIXED 8-PANEL				PANORAMAH!	38 SERIES	ALUM / GL	0.3	TEMPERED GLAZING
106.	106	GREAT ROOM	38' - 0"	9' - 0"	FIXED 8-PANEL				PANORAMAH!	38 SERIES	ALUM / GL	0.3	TEMPERED GLAZING
108	108	BREAKFAST NOOK	20' - 8 1/2"	10' - 0"	FIXED 4-PANEL				PANORAMAH!	38 SERIES	ALUM / GL	0.3	TEMPERED GLAZING
110	110	BACK KITCHEN	2' - 6"	7' - 0"	FIXED				PANORAMAH!	38 SERIES	ALUM / GL	0.3	TEMPERED GLAZING
111	111	BDRM 1	9' - 6"	10' - 0"	FIXED W/ EGRESS				PANORAMAH!	38 SERIES	ALUM / GL	0.3	TEMPERED GLAZING
111.	111.1	BATH 1	2' - 4"	10' - 0"	FIXED				PANORAMAH!	38 SERIES	ALUM / GL	0.3	TEMPERED GLAZING
111.	111	BDRM 1	3' - 2"	10' - 0"	FIXED W/ EGRESS				PANORAMAH!	38 SERIES	ALUM / GL	0.3	TEMPERED GLAZING
113	113	HALLWAY	4' - 0"	10' - 0"	FIXED				PANORAMAH!	38 SERIES	ALUM / GL	0.3	TEMPERED GLAZING
201.	201	BDRM 2	11' - 9"	8' - 9"	FIXED 3-PANEL				PANORAMAH!	38 SERIES	ALUM / GL	0.3	TEMPERED GLAZING
201.	201	BDRM 2	7' - 0"	9' - 0"	FIXED W/ EGRESS				PANORAMAH!	38 SERIES	ALUM / GL	0.3	EGRESS WINDOW;TEMPERED GLAZING
201.	3 201.1	BATH 2	3' - 0"	9' - 0"	FIXED				PANORAMAH!	38 SERIES	ALUM / GL	0.3	TEMPERED GLAZING
202.	202.1	BATH 3	4' - 0"	9' - 0"	FIXED				PANORAMAH!	38 SERIES	ALUM / GL	0.3	TEMPERED GLAZING
202.		BDRM 3	13' - 0"	9' - 0"	FIXED				PANORAMAH!	38 SERIES	ALUM / GL	0.3	TEMPERED GLAZING
203.	203	BDRM 4	7' - 0"	9' - 0"	FIXED W/ EGRESS				PANORAMAH!	38 SERIES	ALUM / GL	0.3	EGRESS WINDOW;TEMPERED GLAZING
203.	2 203	BDRM 4	3' - 0"	9' - 0"	FIXED				PANORAMAH!	38 SERIES	ALUM / GL	0.3	TEMPERED GLAZING
203.	3 203.2	BATH 4	3' - 0"	9' - 0"	FIXED				PANORAMAH!	38 SERIES	ALUM / GL	0.3	TEMPERED GLAZING
204.	204	OFFICE	3' - 4"	9' - 0"	CASEMENT / FIXED BELOW				PANORAMAH!	38 SERIES	ALUM / GL	0.3	TEMPERED GLAZING
204.	204	OFFICE	8' - 5 1/2"	VARIES SEE ELEV	FIXED				PANORAMAH!	38 SERIES	ALUM / GL	0.3	TEMPERED GLAZING
205.	205	MASTER BEDROOM	10' - 6 3/32"	9' - 0"	FIXED				PANORAMAH!	38 SERIES	ALUM / GL	0.3	TEMPERED GLAZING
205.	205	MASTER BEDROOM	2' - 7 1/2"	9' - 0"	CASEMENT / EGRESS				PANORAMAH!	38 SERIES	ALUM / GL	0.3	EGRESS WINDOW;TEMPERED GLAZING
205.	205	MASTER BEDROOM	12' - 11"	VARIES SEE ELEV	FIXED				PANORAMAH!	38 SERIES	ALUM / GL	0.3	TEMPERED GLAZING
206	206.1	HALLWAY	6' - 6 1/2"	9' - 0"	FIXED				PANORAMAH!	38 SERIES	ALUM / GL	0.3	TEMPERED GLAZING
208.		MASTER BATH	9' - 10 1/2"	9' - 0"	FIXED				PANORAMAH!	38 SERIES	ALUM / GL	0.3	TEMPERED GLAZING
208.	208	MASTER BATH	2' - 0"	9' - 0"	FIXED				PANORAMAH!	38 SERIES	ALUM / GL	0.3	TEMPERED GLAZING
211.	211	HALLWAY	4' - 0"	9' - 0"	FIXED				PANORAMAH!	38 SERIES	ALUM / GL		TEMPERED GLAZING
A03.	A03	STAIR	3' - 10"	9' - 10"	FIXED				PANORAMAH!	38 SERIES	ALUM / GL	0.3	TEMPERED GLAZING
A03.	2 A03	STAIR	3' - 10"	9' - 0"	FIXED				PANORAMAH!	38 SERIES	ALUM / GL	0.3	TEMPERED GLAZING
A20	A201	BDRM 1	8' - 11"	9' - 0"	FIXED 3-PANEL				PANORAMAH!	38 SERIES	ALUM / GL	0.3	TEMPERED GLAZING

SCHEDULE - WINDOW

	SCHEDULE - SKYLIGHT												
			SKYLIGHT SIZE DETAIL										
TAG	ROOM#	<b>ROOM NAME</b>	WIDTH	HEIGHT	OPERATION	JAMB	HEAD	SILL	MANFACTURER	MODEL	MATERIAL	MIN U VALUE	VALUE COMMENTS
S1	200	REC ROOM	3' - 10 1/2"	1' - 10 1/2"	FIXED				VELUX	FCM FIXED 2246	ALUM / GL	0.55	75 TEMPERED GLAZING
S2	201.1	BATH 2	3' - 10 1/2"	1' - 10 1/2"	FIXED				VELUX	FCM FIXED 2246	ALUM / GL	0.55	TEMPERED GLAZING
S3	203.2	BATH 4	5' - 10 1/2"	1' - 10 1/2"	FIXED				VELUX	FCM FIXED 2270	ALUM / GL	0.55	TEMPERED GLAZING
S4	02	STAIR	3' - 10 1/2"	1' - 10 1/2"	FIXED				VELUX	FCM FIXED 2246	ALUM / GL	0.55	TEMPERED GLAZING
S5	02	STAIR	3' - 10 1/2"	1' - 10 1/2"	FIXED				VELUX	FCM FIXED 2246	ALUM / GL	0.55	TEMPERED GLAZING
S6	208	MASTER BATH	5' - 10 1/2"	1' - 10 1/2"	FIXED				VELUX	FCM FIXED 2270	ALUM / GL	0.55	TEMPERED GLAZING
S7	A201	BDRM 1	5' - 10 1/2"	1' - 10 1/2"	FIXED				VELUX	FCM FIXED 2270	ALUM / GL	0.55	75 TEMPERED GLAZING

ALUM / GL

38 SERIES

PANORAMAH

0.3 TEMPERED GLAZING

WINDOW TYPES

NOTE: EXTERIOR ELEVATION VIEW

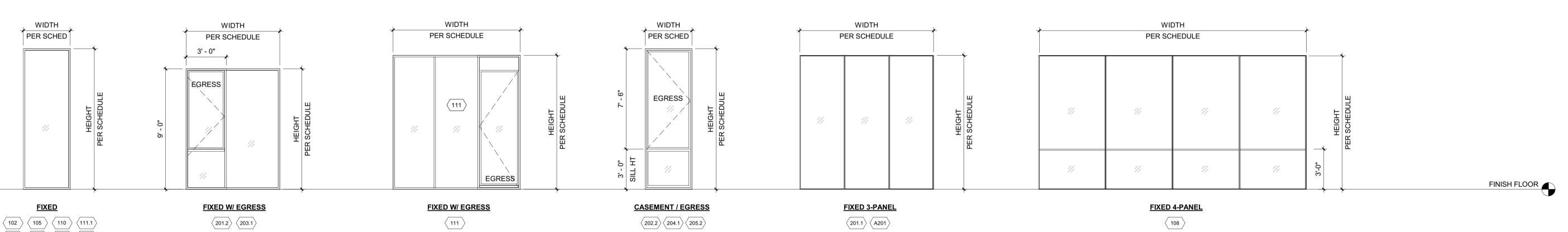
A202 A202

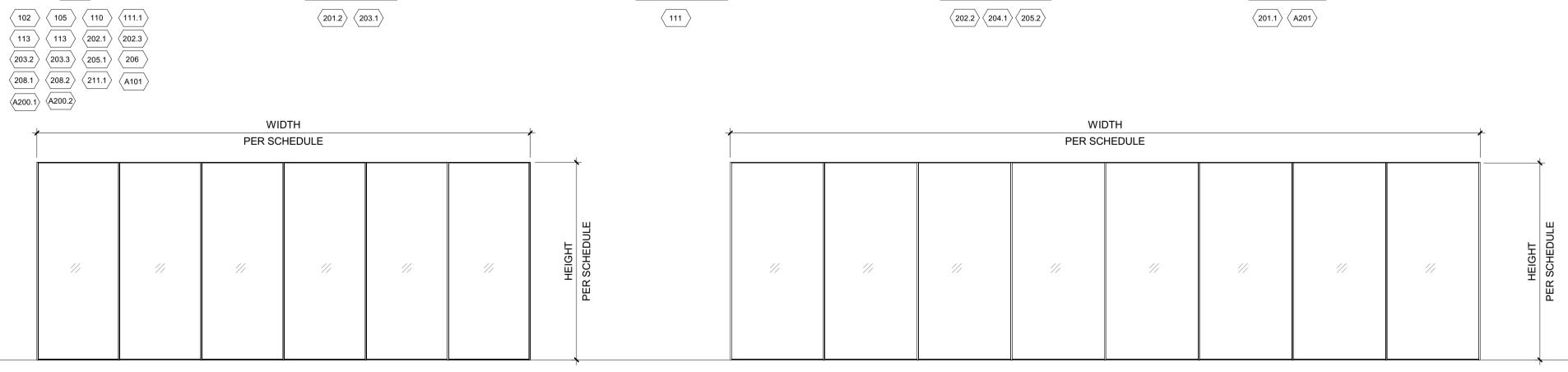
BDRM 2

23' - 10 3/4"

9' - 0"

FIXED 6-PANEL





FIXED 6-PANEL $\boxed{A202}$  $\boxed{106.1}$  $\boxed{106.2}$ 

SKYLIGHT SCHEDULE NOTE: ROOF PLAN VIEW

//

 $\frac{\text{FIXED}}{\left\langle \text{S1} \right\rangle \left\langle \text{S2} \right\rangle \left\langle \text{S3} \right\rangle \left\langle \text{S4} \right\rangle}$ 

WINDOW NOTES:

1. ALL DIMENSIONS ARE MEASURED TO OUTSIDE FACE OF FRAME, UNO COORDINATE FINAL DIMENSIONS WITH HEAD/JAMB/SILL DTLS AND WALL SECTIONS. VERIFY ALL DIMENSIONS WITH DESIGNER PRIOR TO ORDERING.

ALL CASEMENT WINDOWS SWING OUT.
 ALL EGRESS WINDOWS TO MEET IRC R310.2.2

# SKYLIGHT NOTES:

PRIOR TO ORDERING.

 ALL DIMENSIONS ARE MEASURED TO OUTSIDE FACE OF FRAME, UON. COORDINATE FINAL DIMENSIONS WITH HEAD/JAMB/SILL DTLS AND WALL SECTIONS. VERIFY ALL DIMENSIONS WITH RRD

PROVIDE REMOVABLE BUGSCREENS AT ALL OPERABLE
 SKYLIGHTS
 SUBMIT SHOP DRAWINGS OF ALL SKYLIGHTS DIMENSIONS NOT

3. SUBMIT SHOP DRAWINGS OF ALL SKYLIGHTS DIMENSIONS NOT LISTED ON MANUFACTURER'S ICC REPORT FOR BUILDING DEPARTMENT REVIEW

DEPARTMENT REVIEW
4. PROVIDE LOW-E SOLAR COATING FOR ALL SKYLIGHTS

# **BADGER RESIDENCE**

OWNER:

**121 BADGER LANE LLC** P.O. BOX 14001-174

KETCHUM, ID 83340

PROJECT ARCHITECT:

RO | ROCKETT DESIGN

1031 W. MANCHESTER BLVD, UNIT 6
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LANDSCAPE ARCHITECT:

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STRUCTURAL ENGINEER:

319 MAIN STREET EL SEGUNDO, CA 90245 TEL: 213.239 9700

MEP ENGINEER:

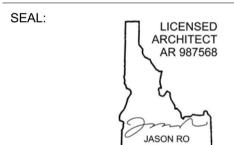
CES ENGINEERING SERVICES, LLC 1001 W OAK BUILDING B SUITE 107 BOZEMAN, MT 59715 TEL: 406.272.0352

LIGHTING DESIGN CONSULTANT:

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STATE OF IDAHO



0 02.28.23 BUILDING PERMIT
NO DATE ISSUE

PROJECT:

FINISH FLOOR

BADGER RESIDENCE

121 BADGER LANE KETCHUM, ID 83340

PROJECT NUMBER

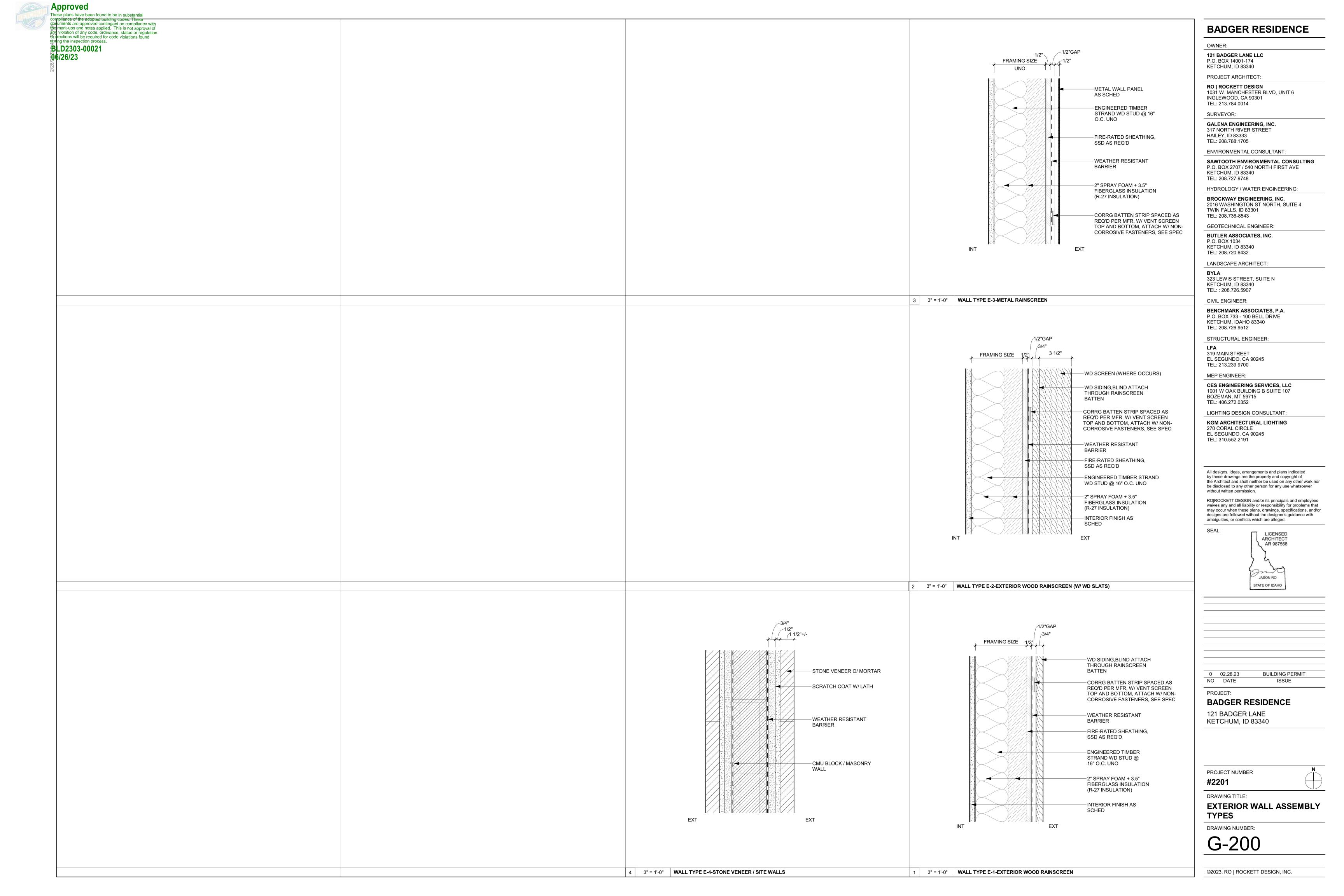
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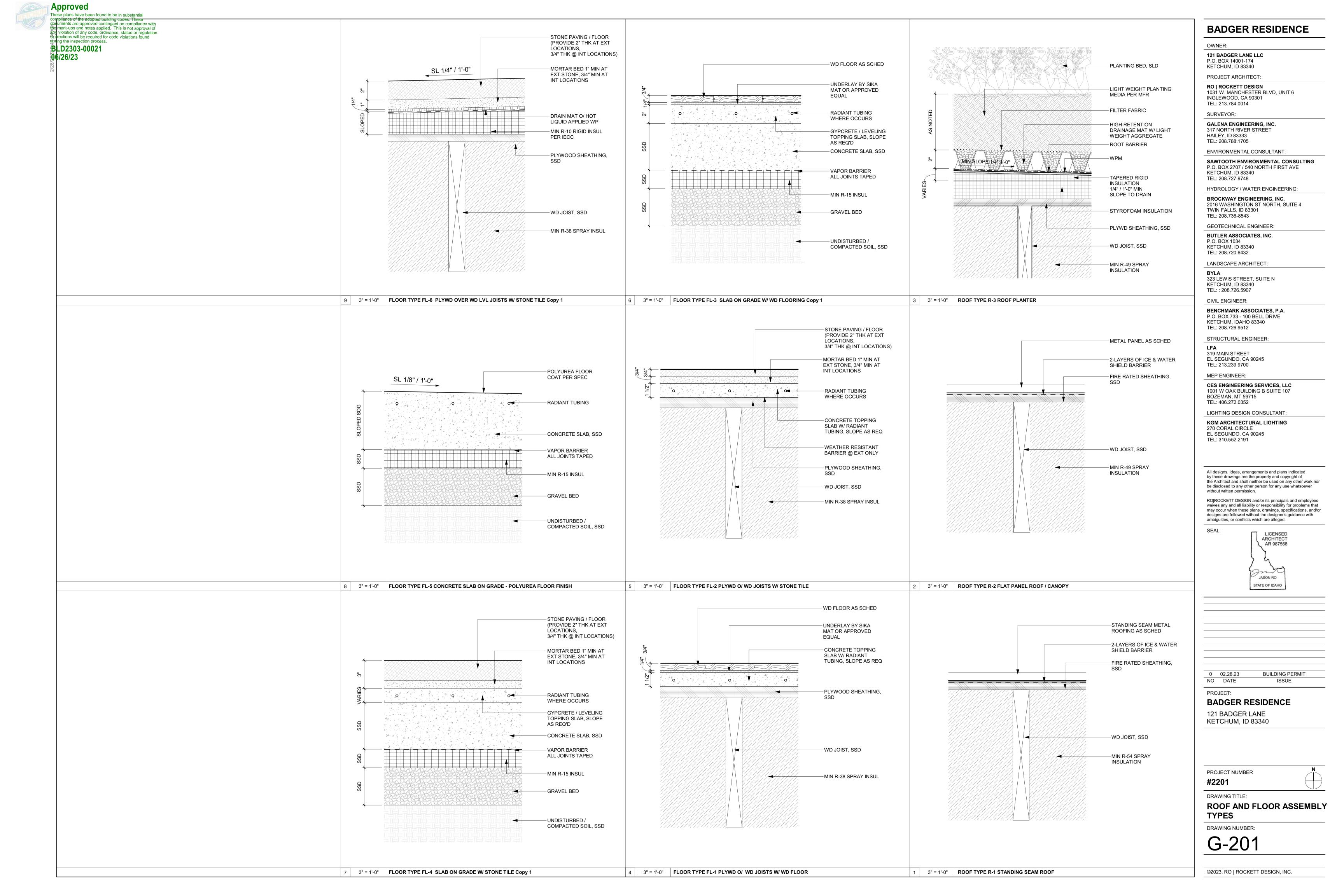
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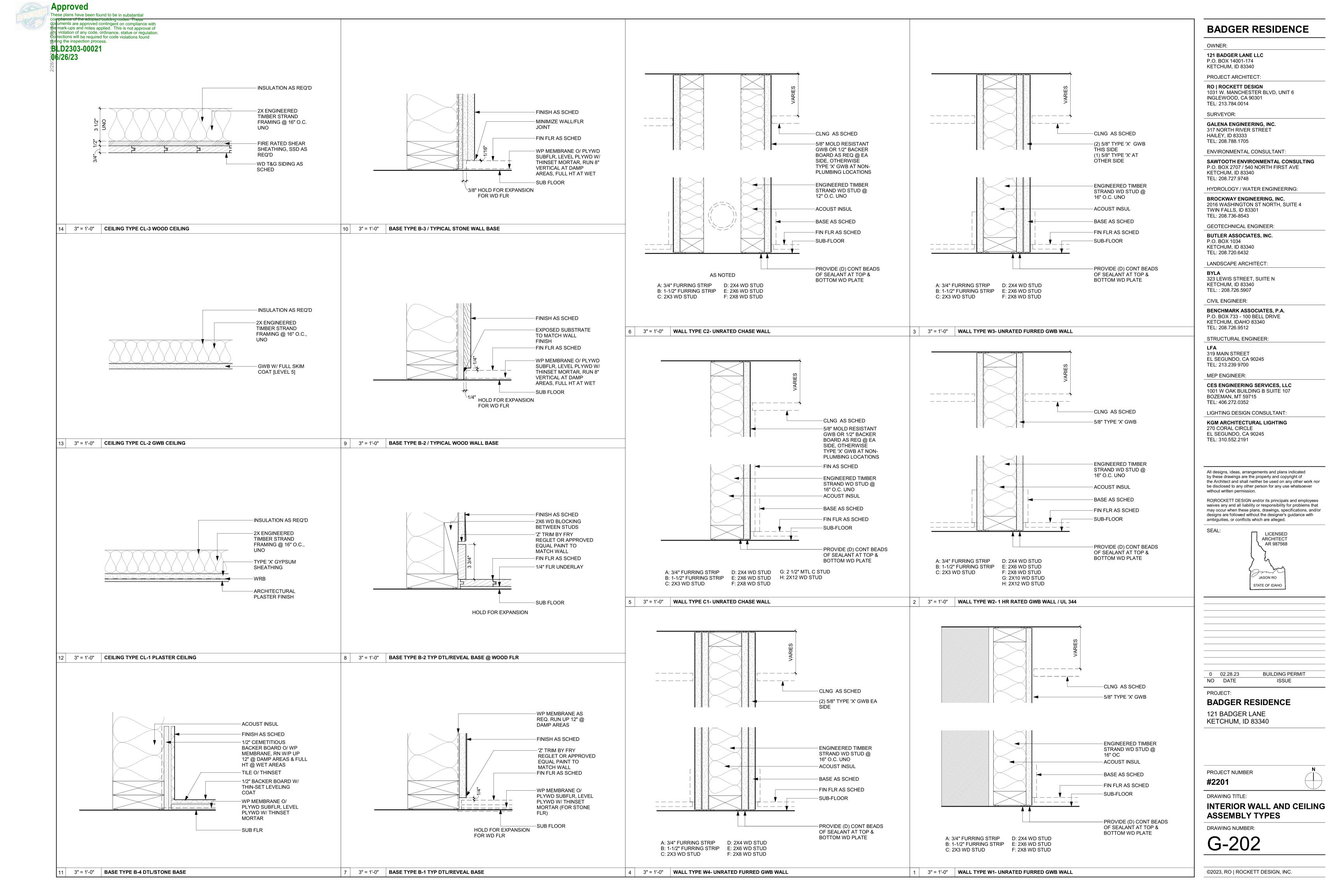
WINDOW / SKYLIGHT SCHEDULE

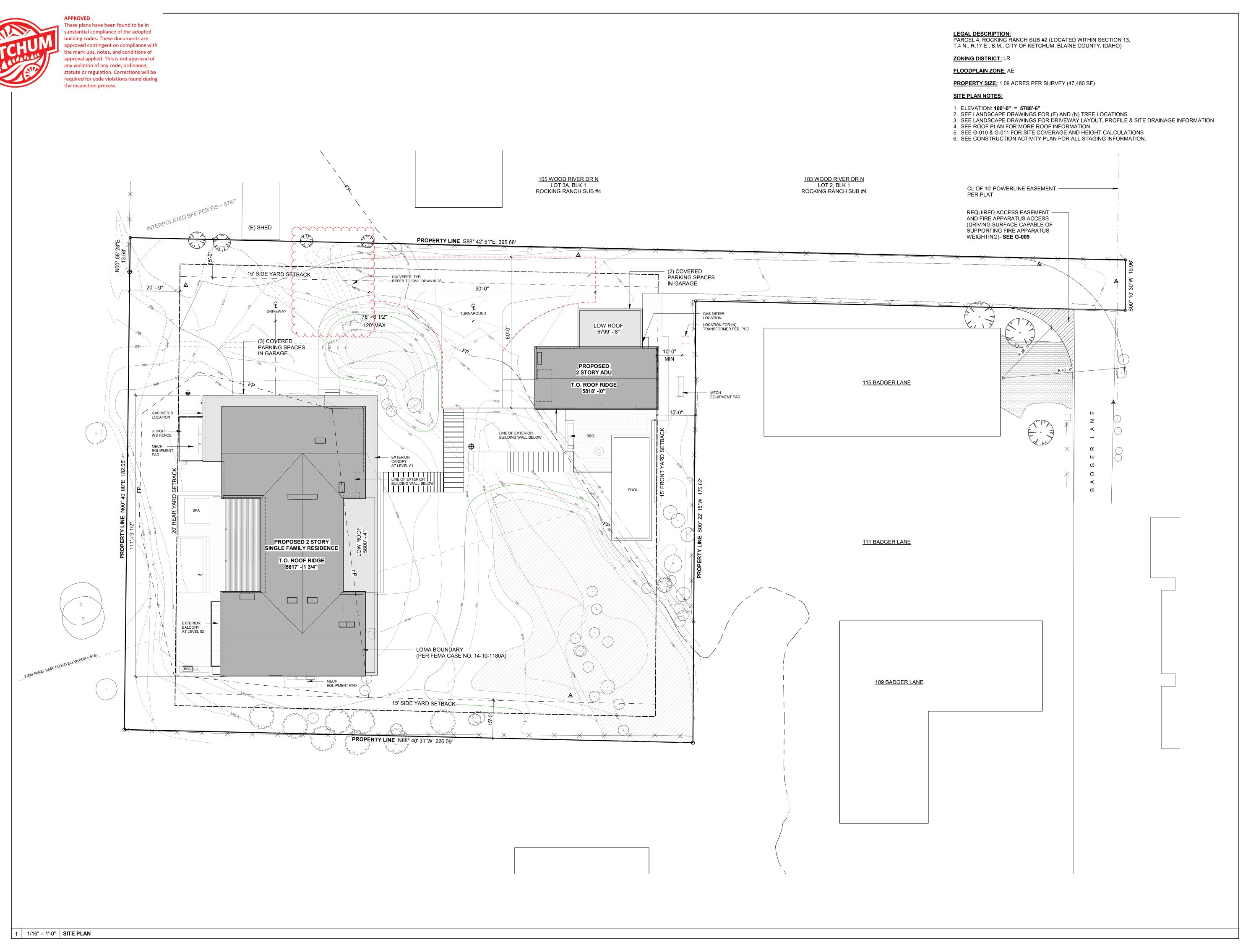
DRAWING NUMBER:

G-107









OWNER:

121 BADGER LANE LLC

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KETCHUM, ID 83340

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TEL: 310.552.2191 WATERPROOFING CONSULTANT:

WISS, JANNEY, ELSTNER ASSOCIATES, INC LAKEWOOD, CO 80235 TEL: 303.914.4300

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5 02.12.24 100% CD SET REV 4 02.12.24 PERMIT MODIFICATION 3 08.04.23 100% CD SET 02.28.23 BUILDING PERMIT SUBMITTAL NO DATE ISSUE

PROJECT:

**BADGER RESIDENCE** 

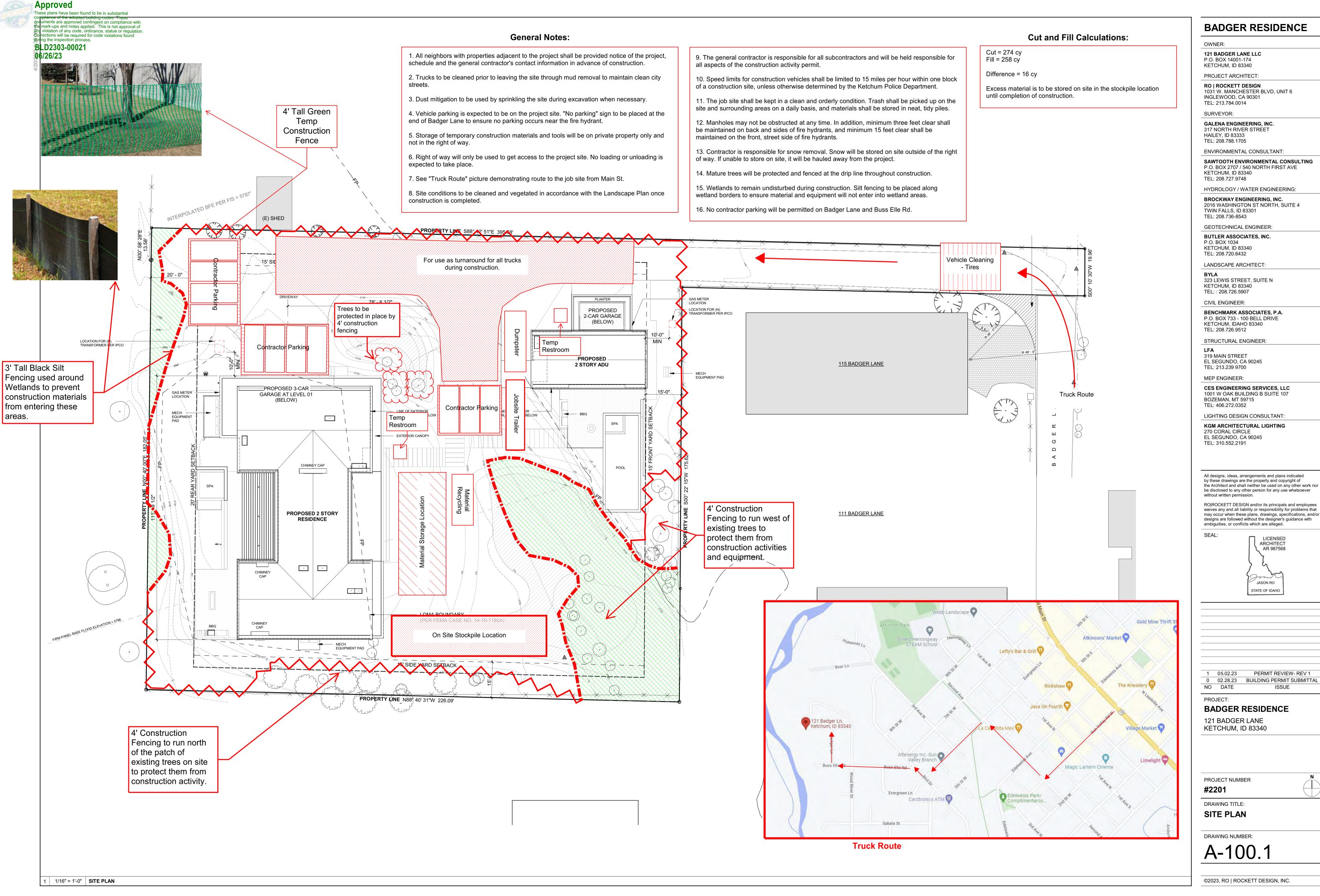
121 BADGER LANE KETCHUM, ID 83340

PROJECT NUMBER

#2201

DRAWING TITLE: SITE PLAN

DRAWING NUMBER:



121 BADGER LANE LLC

P.O. BOX 14001-174 KETCHUM, ID 83340

PROJECT ARCHITECT:

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HYDROLOGY / WATER ENGINEERING:

**BROCKWAY ENGINEERING, INC.** 

2016 WASHINGTON ST NORTH, SUITE 4 TWIN FALLS, ID 83301

TEL: 208.736-8543

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LANDSCAPE ARCHITECT:

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MEP ENGINEER:

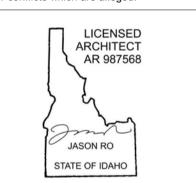
**CES ENGINEERING SERVICES, LLC** 1001 W OAK BUILDING B SUITE 107 BOZEMAN, MT 59715

LIGHTING DESIGN CONSULTANT:

KGM ARCHITECTURAL LIGHTING 270 CORAL CIRCLE EL SEGUNDO, CA 90245

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PERMIT REVIEW- REV 1 0 02.28.23 BUILDING PERMIT SUBMITTAL

ISSUE

**BADGER RESIDENCE** 

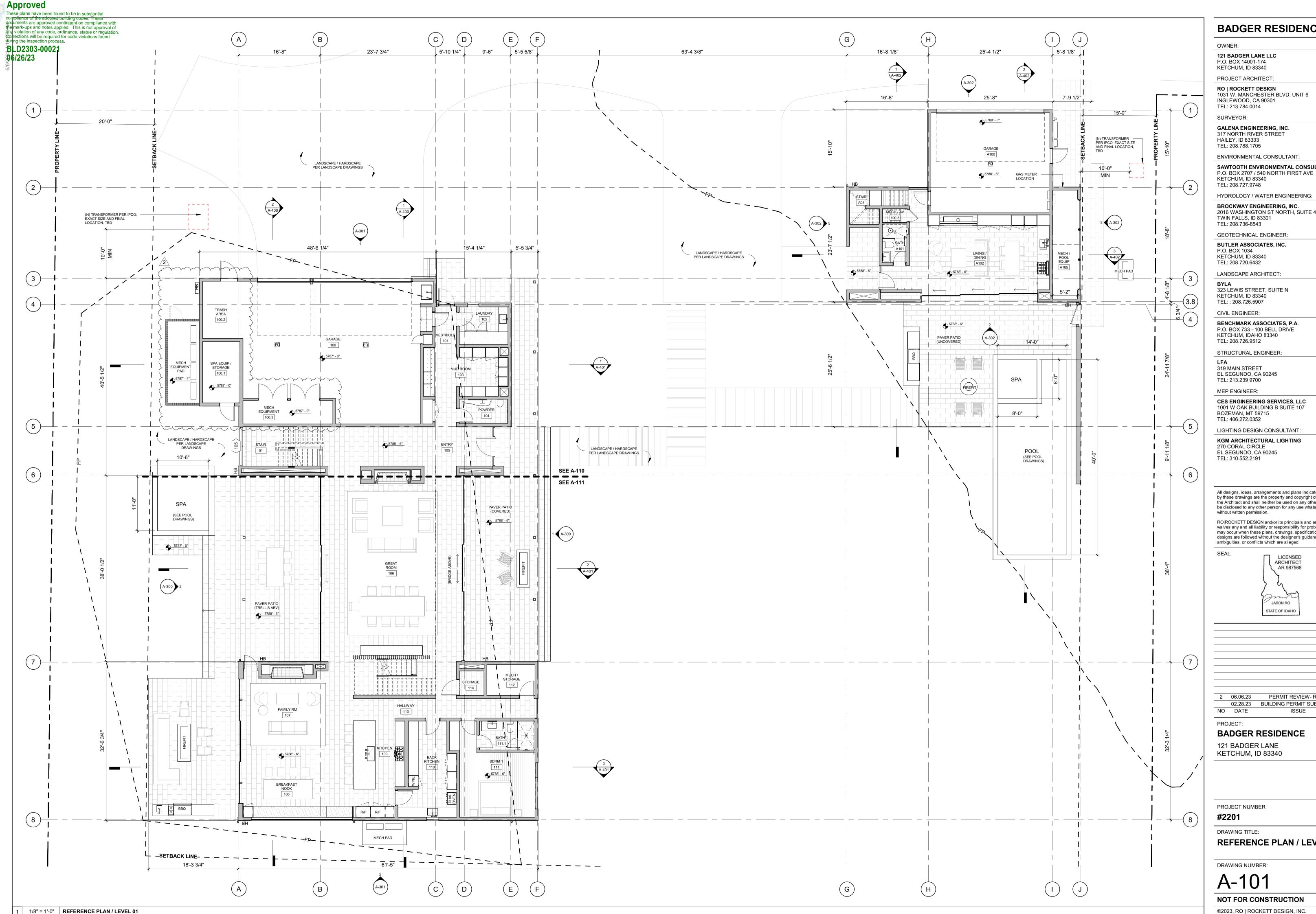
121 BADGER LANE KETCHUM, ID 83340

PROJECT NUMBER

#2201

DRAWING TITLE:

DRAWING NUMBER:



1031 W. MANCHESTER BLVD, UNIT 6

SAWTOOTH ENVIRONMENTAL CONSULTING

HYDROLOGY / WATER ENGINEERING:

2016 WASHINGTON ST NORTH, SUITE 4

P.O. BOX 733 - 100 BELL DRIVE

CES ENGINEERING SERVICES, LLC 1001 W OAK BUILDING B SUITE 107

LIGHTING DESIGN CONSULTANT:

KGM ARCHITECTURAL LIGHTING

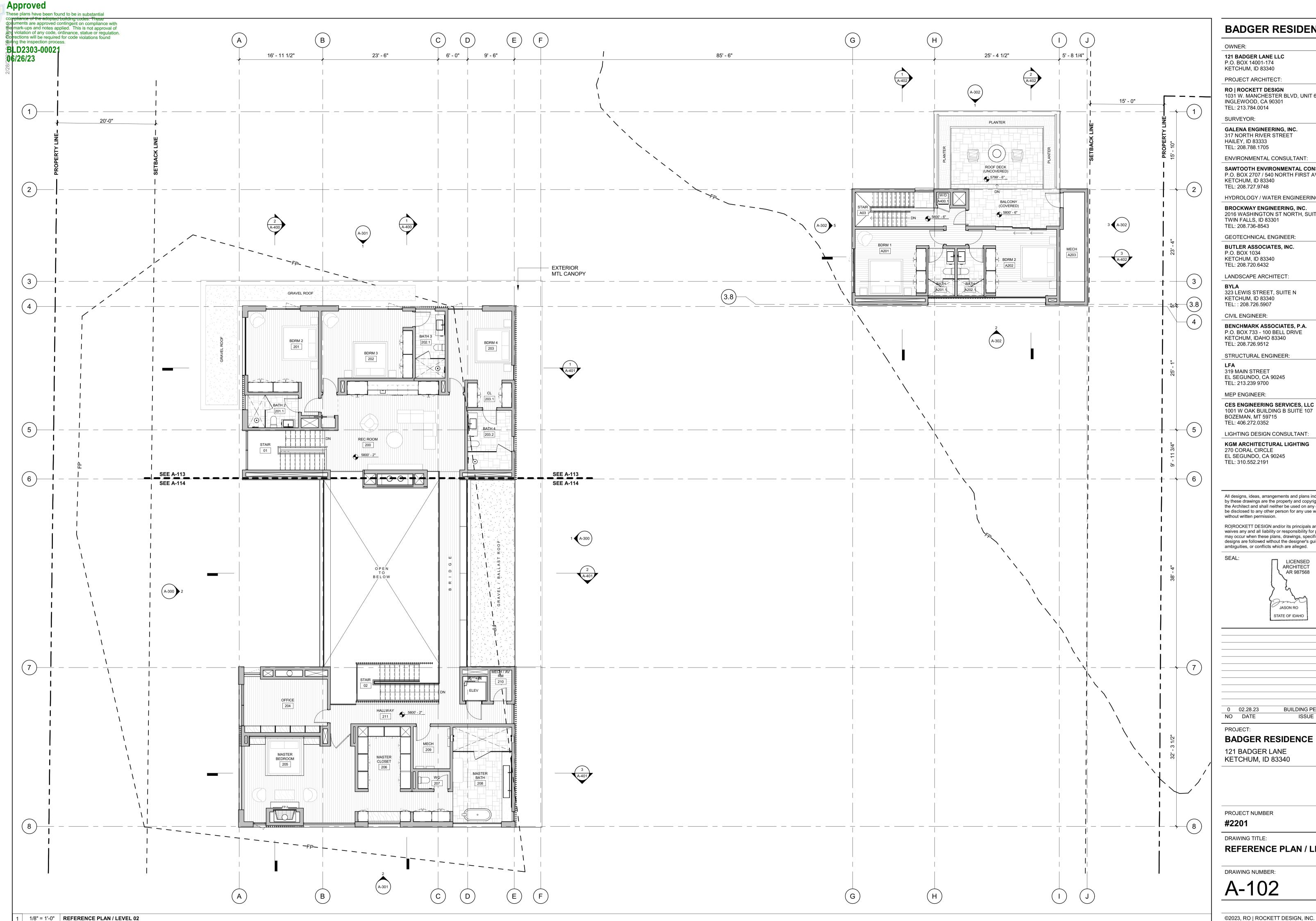
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> ARCHITECT AR 987568 JASON RO STATE OF IDAHO

PERMIT REVIEW- REV 2 02.28.23 BUILDING PERMIT SUBMITTAL ISSUE

**REFERENCE PLAN / LEVEL 01** 



RO | ROCKETT DESIGN 1031 W. MANCHESTER BLVD, UNIT 6

GALENA ENGINEERING, INC.

SAWTOOTH ENVIRONMENTAL CONSULTING P.O. BOX 2707 / 540 NORTH FIRST AVE

HYDROLOGY / WATER ENGINEERING: BROCKWAY ENGINEERING, INC. 2016 WASHINGTON ST NORTH, SUITE 4

GEOTECHNICAL ENGINEER:

BENCHMARK ASSOCIATES, P.A. P.O. BOX 733 - 100 BELL DRIVE

STRUCTURAL ENGINEER:

1001 W OAK BUILDING B SUITE 107

LIGHTING DESIGN CONSULTANT:

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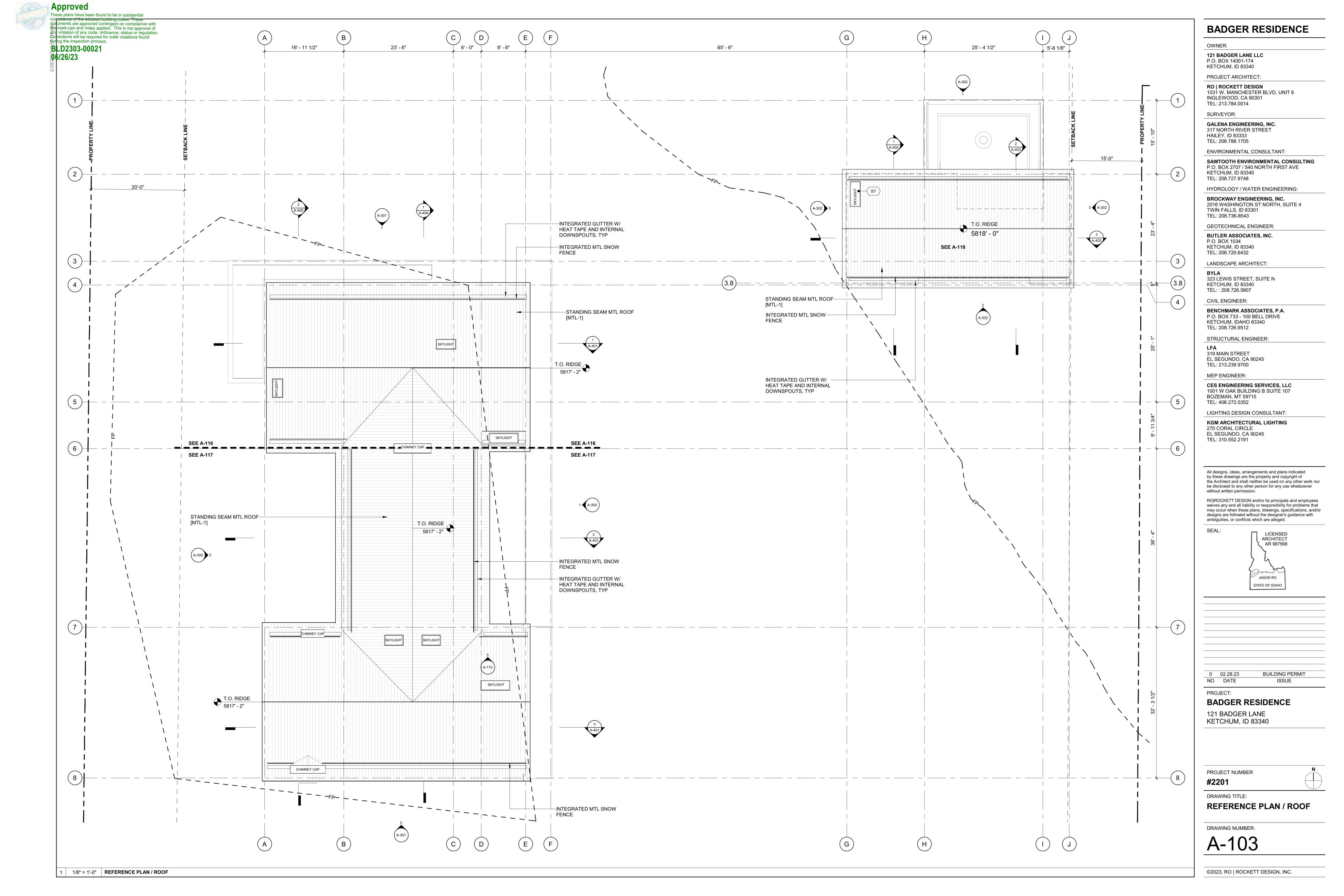
> ARCHITECT AR 987568 JASON RO STATE OF IDAHO

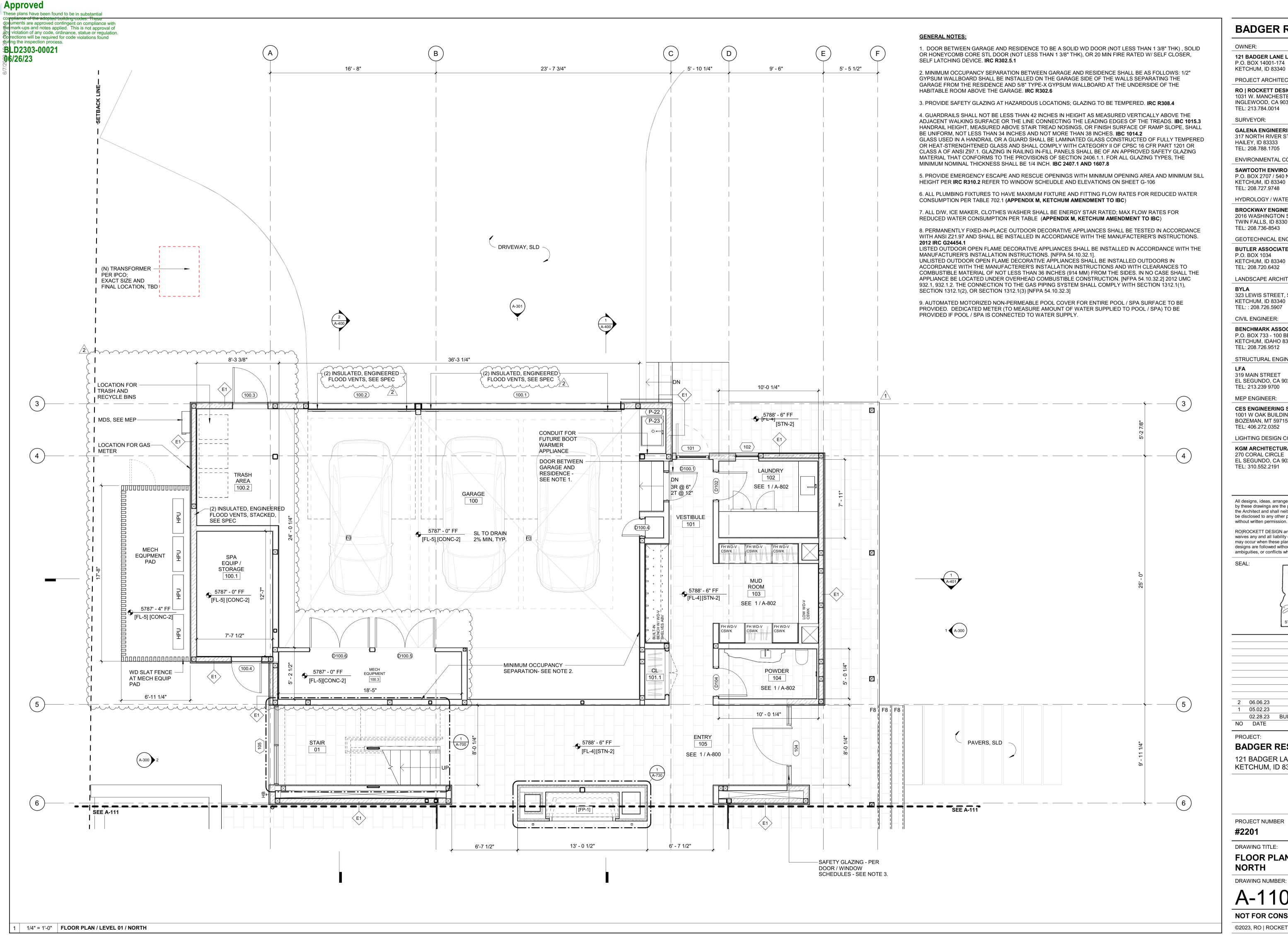
**BUILDING PERMIT** ISSUE

BADGER RESIDENCE

KETCHUM, ID 83340

**REFERENCE PLAN / LEVEL 02** 





OWNER:

121 BADGER LANE LLC

P.O. BOX 14001-174 KETCHUM, ID 83340

PROJECT ARCHITECT RO | ROCKETT DESIGN 1031 W. MANCHESTER BLVD, UNIT 6 INGLEWOOD, CA 90301

SURVEYOR:

GALENA ENGINEERING, INC. 317 NORTH RIVER STREET HAILEY, ID 83333

TEL: 208.788.1705 **ENVIRONMENTAL CONSULTANT:** 

SAWTOOTH ENVIRONMENTAL CONSULTING P.O. BOX 2707 / 540 NORTH FIRST AVE KETCHUM, ID 83340 TEL: 208.727.9748

HYDROLOGY / WATER ENGINEERING:

BROCKWAY ENGINEERING, INC. 2016 WASHINGTON ST NORTH, SUITE 4

TWIN FALLS, ID 83301

TEL: 208.736-8543 GEOTECHNICAL ENGINEER:

**BUTLER ASSOCIATES, INC.** 

P.O. BOX 1034 KETCHUM, ID 83340 TEL: 208.720.6432

LANDSCAPE ARCHITECT:

323 LEWIS STREET, SUITE N KETCHUM, ID 83340 TEL:: 208.726.5907

CIVIL ENGINEER:

BENCHMARK ASSOCIATES, P.A. P.O. BOX 733 - 100 BELL DRIVE KETCHUM, IDAHO 83340

STRUCTURAL ENGINEER:

319 MAIN STREET EL SEGUNDO, CA 90245 TEL: 213.239 9700

MEP ENGINEER:

CES ENGINEERING SERVICES, LLC 1001 W OAK BUILDING B SUITE 107 BOZEMAN, MT 59715

LIGHTING DESIGN CONSULTANT:

KGM ARCHITECTURAL LIGHTING 270 CORAL CIRCLE EL SEGUNDO, CA 90245

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**ARCHITECT** AR 987568 JASON RO STATE OF IDAHO

PERMIT REVIEW- REV 2 BUILDING PERMIT SUBMITTAL 02.28.23

ISSUE

PROJECT:

**BADGER RESIDENCE** 

121 BADGER LANE KETCHUM, ID 83340

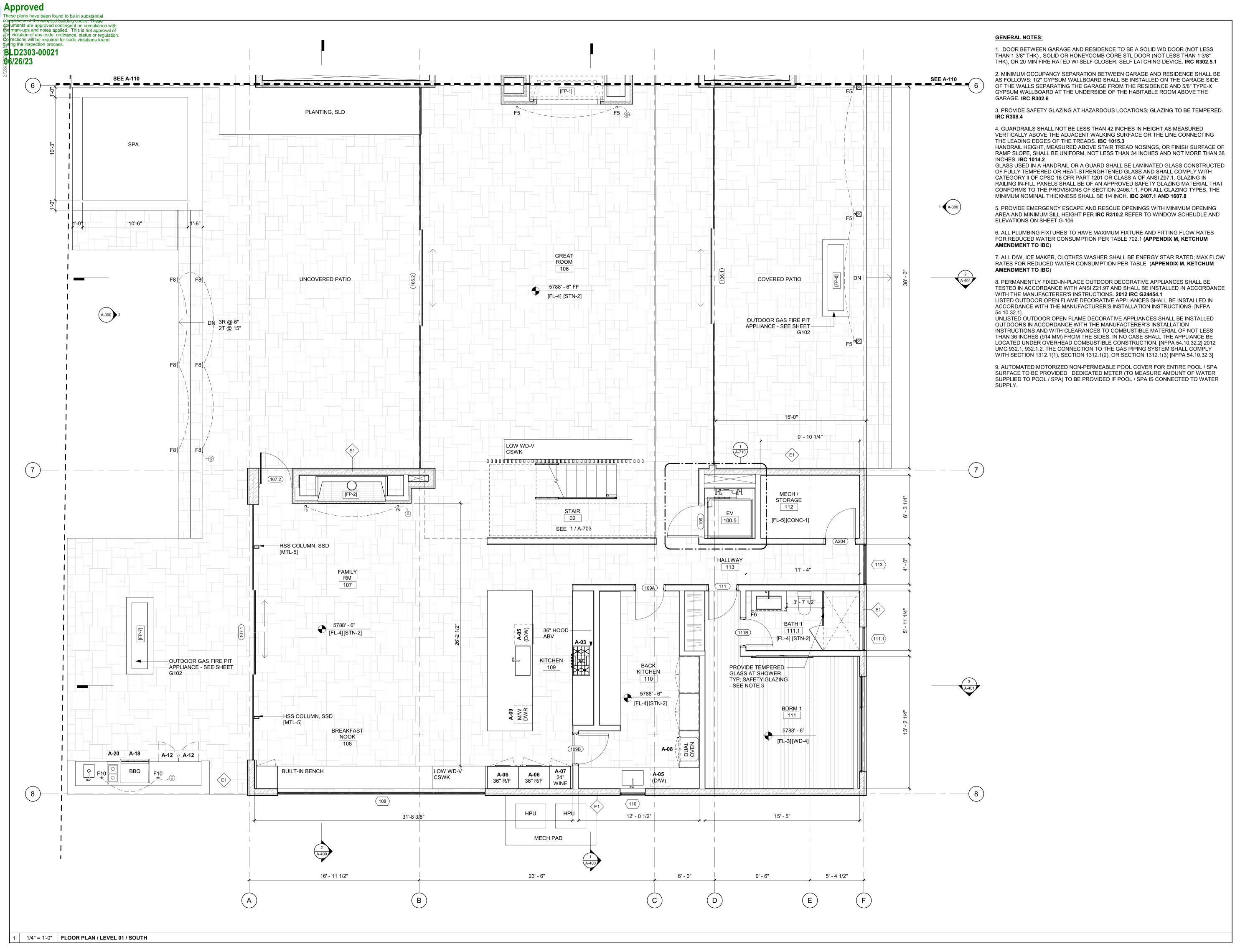
PROJECT NUMBER

DRAWING TITLE: FLOOR PLAN / LEVEL 01 /

NORTH

DRAWING NUMBER:

NOT FOR CONSTRUCTION



OWNER:

121 BADGER LANE LLC

P.O. BOX 14001-174

KETCHUM, ID 83340 PROJECT ARCHITECT:

RO | ROCKETT DESIGN 1031 W. MANCHESTER BLVD, UNIT 6 INGLEWOOD, CA 90301

SURVEYOR:

TEL: 213.784.0014

**GALENA ENGINEERING, INC.** 317 NORTH RIVER STREET

TEL: 208.727.9748

HAILEY, ID 83333 TEL: 208.788.1705

**ENVIRONMENTAL CONSULTANT:** 

SAWTOOTH ENVIRONMENTAL CONSULTING P.O. BOX 2707 / 540 NORTH FIRST AVE KETCHUM, ID 83340

HYDROLOGY / WATER ENGINEERING:

BROCKWAY ENGINEERING, INC. 2016 WASHINGTON ST NORTH, SUITE 4

TWIN FALLS, ID 83301 TEL: 208.736-8543 GEOTECHNICAL ENGINEER:

BUTLER ASSOCIATES, INC.

P.O. BOX 1034 KETCHUM, ID 83340 TEL: 208.720.6432

LANDSCAPE ARCHITECT:

323 LEWIS STREET, SUITE N KETCHUM, ID 83340 TEL:: 208.726.5907

CIVIL ENGINEER: BENCHMARK ASSOCIATES, P.A. P.O. BOX 733 - 100 BELL DRIVE KETCHUM, IDAHO 83340

STRUCTURAL ENGINEER:

319 MAIN STREET EL SEGUNDO, CA 90245

TEL: 213.239 9700 MEP ENGINEER:

TEL: 406.272.0352

TEL: 208.726.9512

**CES ENGINEERING SERVICES, LLC** 1001 W OAK BUILDING B SUITE 107 BOZEMAN, MT 59715

LIGHTING DESIGN CONSULTANT:

KGM ARCHITECTURAL LIGHTING 270 CORAL CIRCLE EL SEGUNDO, CA 90245 TEL: 310.552.2191

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without written permission.

LICENSED **ARCHITECT** AR 987568 JASON RO STATE OF IDAHO

0 02.28.23 **BUILDING PERMIT** NO DATE ISSUE

PROJECT:

**BADGER RESIDENCE** 

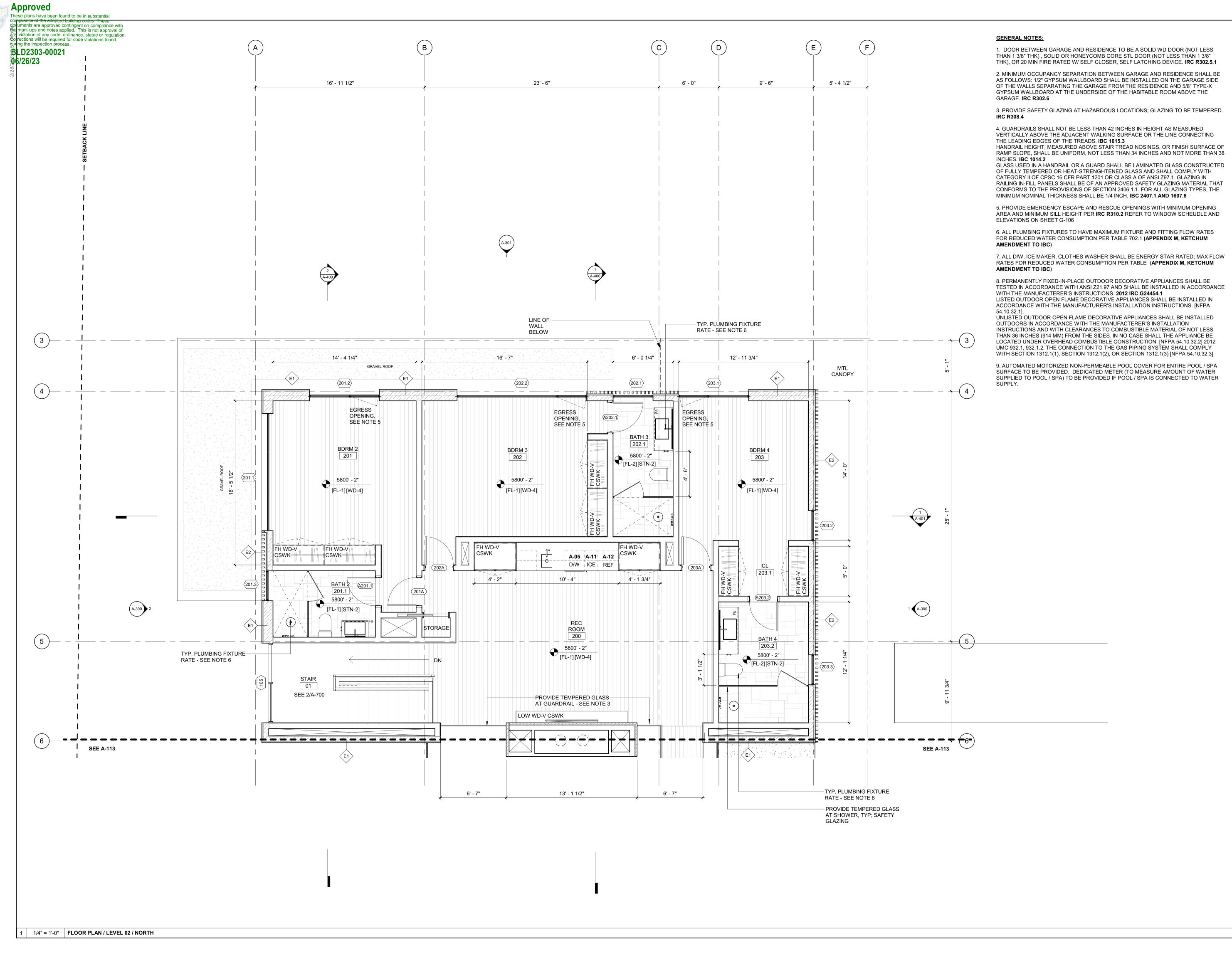
121 BADGER LANE KETCHUM, ID 83340

PROJECT NUMBER #2201

DRAWING TITLE:

FLOOR PLAN / LEVEL 01 / SOUTH

DRAWING NUMBER:



OWNER:

121 BADGER LANE LLC

P.O. BOX 14001-174 KETCHUM, ID 83340

PROJECT ARCHITECT:

RO | ROCKETT DESIGN 1031 W. MANCHESTER BLVD, UNIT 6 INGLEWOOD, CA 90301

TEL: 213.784.0014 SURVEYOR:

**GALENA ENGINEERING, INC.** 317 NORTH RIVER STREET

HAILEY, ID 83333 TEL: 208.788.1705

KETCHUM, ID 83340

TEL: 208.727.9748

**ENVIRONMENTAL CONSULTANT:** SAWTOOTH ENVIRONMENTAL CONSULTING P.O. BOX 2707 / 540 NORTH FIRST AVE

HYDROLOGY / WATER ENGINEERING:

BROCKWAY ENGINEERING, INC.

2016 WASHINGTON ST NORTH, SUITE 4 TWIN FALLS, ID 83301 TEL: 208.736-8543

GEOTECHNICAL ENGINEER:

**BUTLER ASSOCIATES, INC.** P.O. BOX 1034 KETCHUM, ID 83340

TEL: 208.720.6432 LANDSCAPE ARCHITECT:

323 LEWIS STREET, SUITE N

TEL: 208.726.9512

KETCHUM, ID 83340 TEL:: 208.726.5907 CIVIL ENGINEER:

BENCHMARK ASSOCIATES, P.A. P.O. BOX 733 - 100 BELL DRIVE KETCHUM, IDAHO 83340

STRUCTURAL ENGINEER:

319 MAIN STREET EL SEGUNDO, CA 90245 TEL: 213.239 9700

MEP ENGINEER:

**CES ENGINEERING SERVICES, LLC** 1001 W OAK BUILDING B SUITE 107 BOZEMAN, MT 59715 TEL: 406.272.0352

LIGHTING DESIGN CONSULTANT:

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LICENSED **ARCHITECT** AR 987568 JASON RO STATE OF IDAHO

0 02.28.23 **BUILDING PERMIT** NO DATE

ISSUE

PROJECT: **BADGER RESIDENCE** 

121 BADGER LANE

KETCHUM, ID 83340

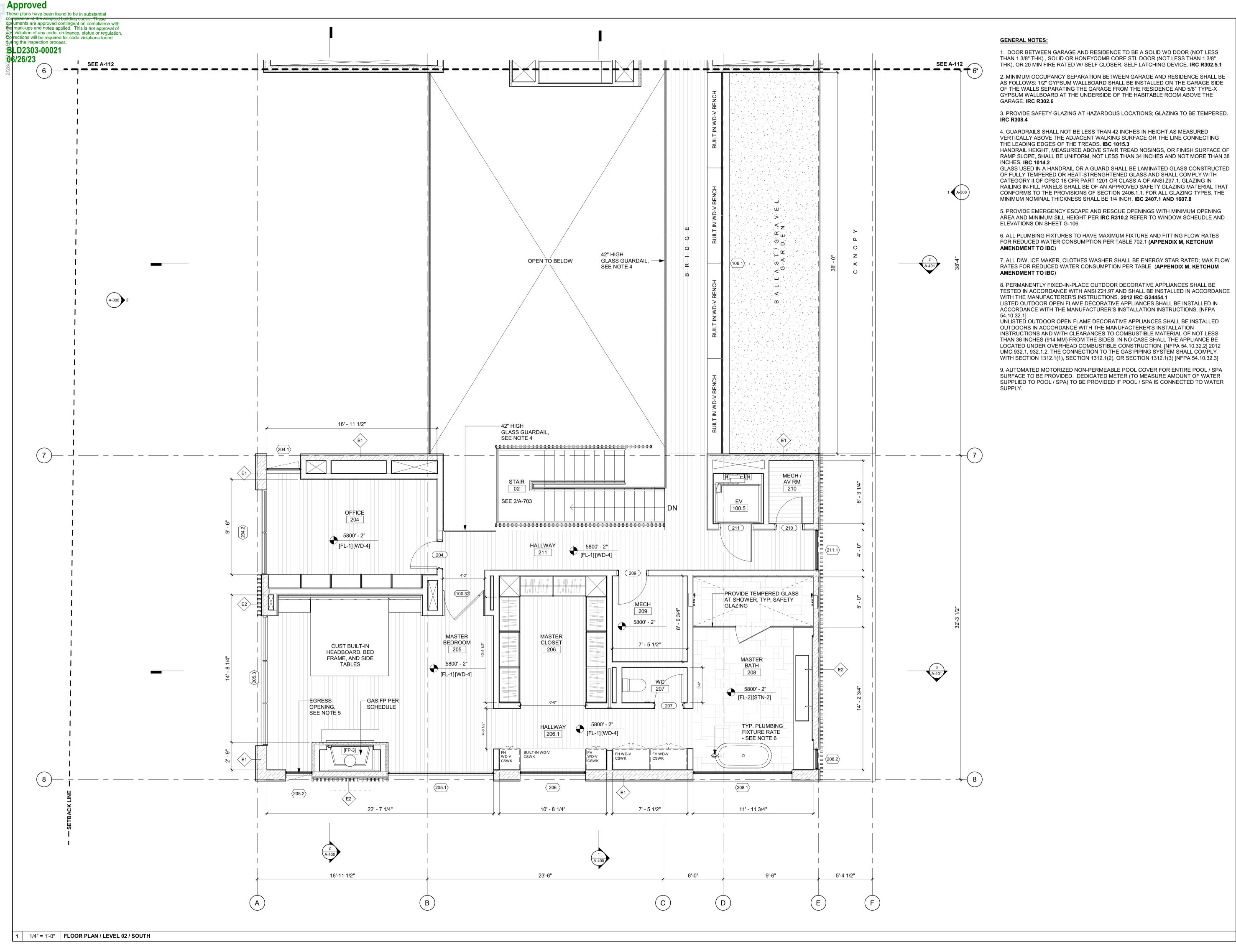
PROJECT NUMBER

#2201

DRAWING TITLE:

FLOOR PLAN / LEVEL 02 / NORTH

DRAWING NUMBER:



OWNER:

121 BADGER LANE LLC

P.O. BOX 14001-174 KETCHUM, ID 83340

PROJECT ARCHITECT:

RO | ROCKETT DESIGN 1031 W. MANCHESTER BLVD, UNIT 6 INGLEWOOD, CA 90301

SURVEYOR:

TEL: 213.784.0014

**GALENA ENGINEERING, INC.** 317 NORTH RIVER STREET

HAILEY, ID 83333 TEL: 208.788.1705

TEL: 208.727.9748

**ENVIRONMENTAL CONSULTANT:** 

SAWTOOTH ENVIRONMENTAL CONSULTING P.O. BOX 2707 / 540 NORTH FIRST AVE KETCHUM, ID 83340

HYDROLOGY / WATER ENGINEERING: **BROCKWAY ENGINEERING, INC.** 2016 WASHINGTON ST NORTH, SUITE 4

TWIN FALLS, ID 83301

TEL: 208.736-8543

GEOTECHNICAL ENGINEER: **BUTLER ASSOCIATES, INC.** 

P.O. BOX 1034 KETCHUM, ID 83340 TEL: 208.720.6432

LANDSCAPE ARCHITECT:

323 LEWIS STREET, SUITE N KETCHUM, ID 83340 TEL:: 208.726.5907

CIVIL ENGINEER: BENCHMARK ASSOCIATES, P.A.

P.O. BOX 733 - 100 BELL DRIVE KETCHUM, IDAHO 83340 TEL: 208.726.9512

STRUCTURAL ENGINEER:

319 MAIN STREET EL SEGUNDO, CA 90245 TEL: 213.239 9700

MEP ENGINEER:

TEL: 406.272.0352

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**CES ENGINEERING SERVICES, LLC** 1001 W OAK BUILDING B SUITE 107 BOZEMAN, MT 59715

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> LICENSED **ARCHITECT** AR 987568

> > JASON RO

STATE OF IDAHO

0 02.28.23 **BUILDING PERMIT** NO DATE ISSUE

PROJECT:

BADGER RESIDENCE

121 BADGER LANE KETCHUM, ID 83340

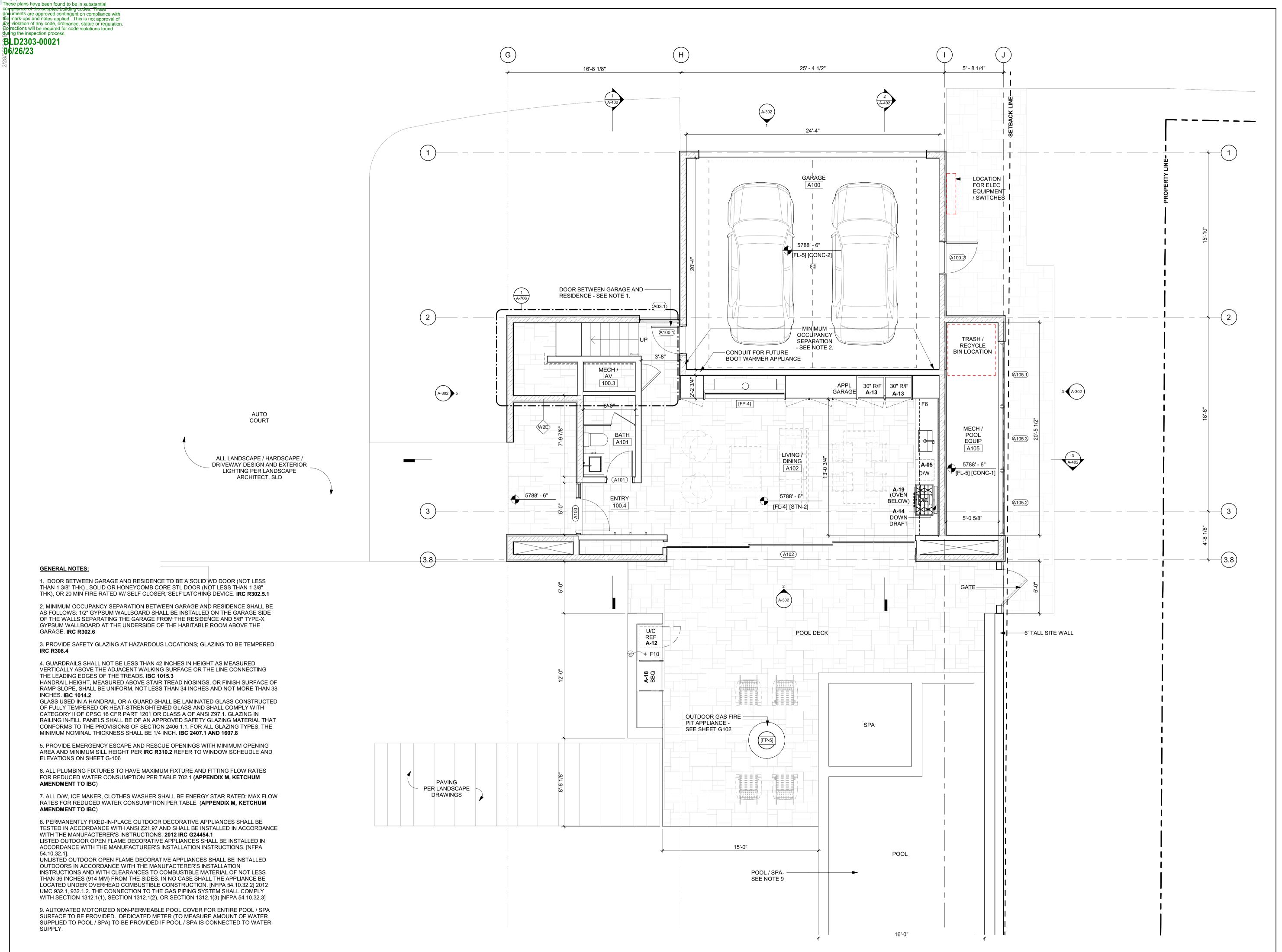
PROJECT NUMBER

#2201

DRAWING TITLE:

FLOOR PLAN / LEVEL 02 / SOUTH

DRAWING NUMBER:



Approved

1/4" = 1'-0" | ADU / FLOOR PLAN / LEVEL 01

BADGER RESIDENCE

OWNER:

121 BADGER LANE LLC

P.O. BOX 14001-174

KETCHUM, ID 83340 PROJECT ARCHITECT

RO | ROCKETT DESIGN 1031 W. MANCHESTER BLVD, UNIT 6 INGLEWOOD, CA 90301

SURVEYOR:

GALENA ENGINEERING, INC. 317 NORTH RIVER STREET HAILEY, ID 83333

TEL: 213.784.0014

TEL: 208.788.1705 **ENVIRONMENTAL CONSULTANT:** 

SAWTOOTH ENVIRONMENTAL CONSULTING P.O. BOX 2707 / 540 NORTH FIRST AVE KETCHUM, ID 83340 TEL: 208.727.9748

HYDROLOGY / WATER ENGINEERING:

**BROCKWAY ENGINEERING, INC.** 2016 WASHINGTON ST NORTH, SUITE 4

TWIN FALLS, ID 83301 TEL: 208.736-8543

GEOTECHNICAL ENGINEER: **BUTLER ASSOCIATES, INC.** 

P.O. BOX 1034 KETCHUM, ID 83340 TEL: 208.720.6432

LANDSCAPE ARCHITECT:

323 LEWIS STREET, SUITE N KETCHUM, ID 83340 TEL:: 208.726.5907

CIVIL ENGINEER: BENCHMARK ASSOCIATES, P.A.

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STRUCTURAL ENGINEER:

319 MAIN STREET EL SEGUNDO, CA 90245 TEL: 213.239 9700

MEP ENGINEER:

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ARCHITECT AR 987568 JASON RO STATE OF IDAHO

0 02.28.23 **BUILDING PERMIT** NO DATE ISSUE

PROJECT:

BADGER RESIDENCE

121 BADGER LANE KETCHUM, ID 83340

PROJECT NUMBER

DRAWING TITLE:

FLOOR PLAN / LEVEL 01 / ADU

DRAWING NUMBER:

SURFACE TO BE PROVIDED. DEDICATED METER (TO MEASURE AMOUNT OF WATER SUPPLIED TO POOL / SPA) TO BE PROVIDED IF POOL / SPA IS CONNECTED TO WATER

1/4" = 1'-0" ADU / FLOOR PLAN / LEVEL 02

BADGER RESIDENCE

OWNER:

121 BADGER LANE LLC

P.O. BOX 14001-174

KETCHUM, ID 83340

PROJECT ARCHITECT: RO | ROCKETT DESIGN

1031 W. MANCHESTER BLVD, UNIT 6 INGLEWOOD, CA 90301 TEL: 213.784.0014

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TEL: 208.788.1705

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HYDROLOGY / WATER ENGINEERING:

**BROCKWAY ENGINEERING, INC.** 2016 WASHINGTON ST NORTH, SUITE 4 TWIN FALLS, ID 83301

TEL: 208.736-8543 GEOTECHNICAL ENGINEER: **BUTLER ASSOCIATES, INC.** 

P.O. BOX 1034 KETCHUM, ID 83340 TEL: 208.720.6432

LANDSCAPE ARCHITECT:

323 LEWIS STREET, SUITE N KETCHUM, ID 83340

TEL:: 208.726.5907 CIVIL ENGINEER: BENCHMARK ASSOCIATES, P.A.

P.O. BOX 733 - 100 BELL DRIVE KETCHUM, IDAHO 83340 TEL: 208.726.9512

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MEP ENGINEER:

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ARCHITECT AR 987568 JASON RO

STATE OF IDAHO

0 02.28.23 **BUILDING PERMIT** NO DATE

ISSUE

PROJECT:

BADGER RESIDENCE

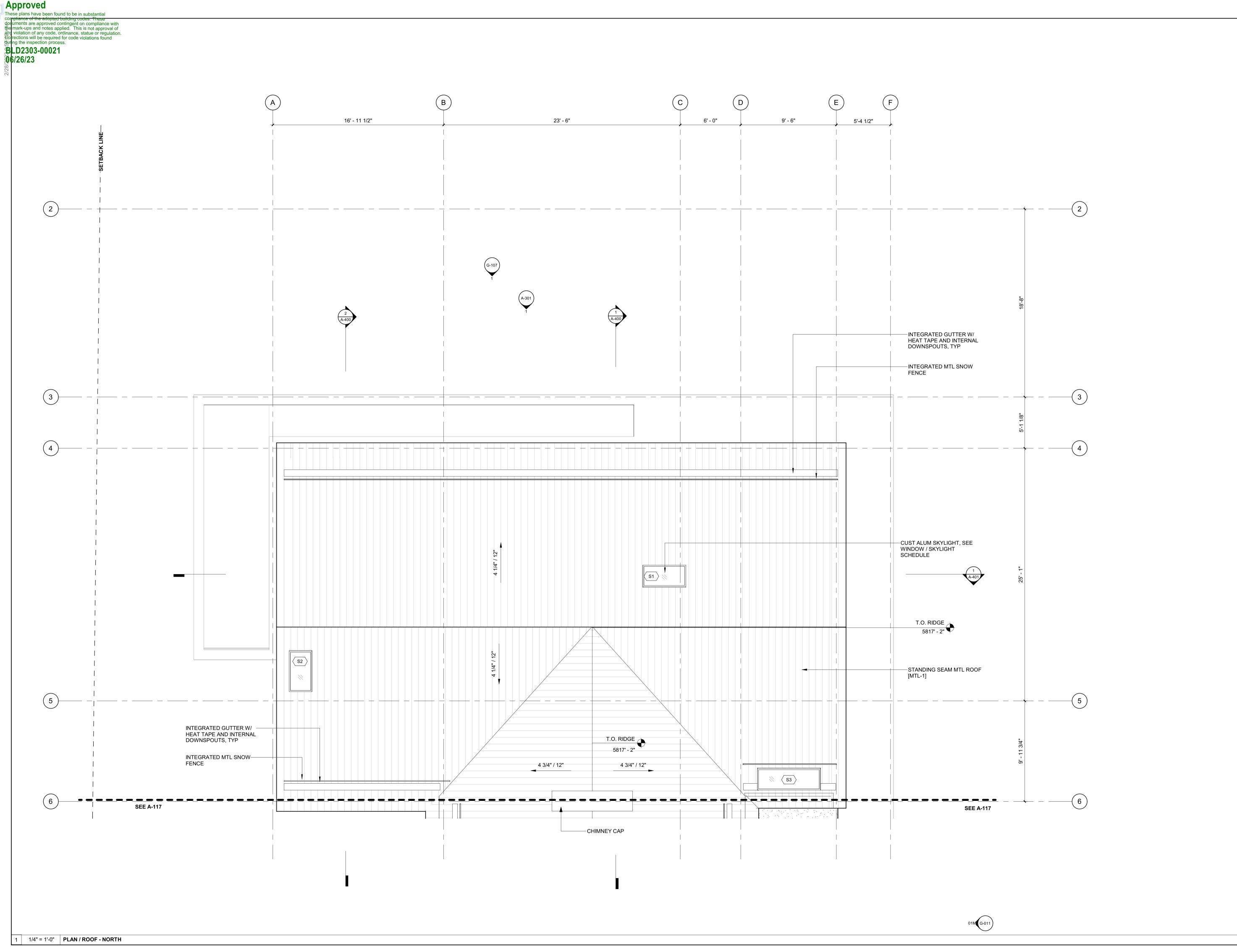
121 BADGER LANE KETCHUM, ID 83340

PROJECT NUMBER

DRAWING TITLE:

FLOOR PLAN / LEVEL 02 / ADU

DRAWING NUMBER:



OWNER:

121 BADGER LANE LLC

P.O. BOX 14001-174 KETCHUM, ID 83340

PROJECT ARCHITECT:

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TEL: 208.788.1705

TEL: 208.727.9748

TEL: 213.784.0014

SAWTOOTH ENVIRONMENTAL CONSULTING P.O. BOX 2707 / 540 NORTH FIRST AVE KETCHUM, ID 83340

HYDROLOGY / WATER ENGINEERING:

**ENVIRONMENTAL CONSULTANT:** 

BROCKWAY ENGINEERING, INC. 2016 WASHINGTON ST NORTH, SUITE 4 TWIN FALLS, ID 83301

TEL: 208.736-8543
GEOTECHNICAL ENGINEER:

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LANDSCAPE ARCHITECT:

323 LEWIS STREET, SUITE N KETCHUM, ID 83340 TEL:: 208.726.5907

CIVIL ENGINEER:

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STRUCTURAL ENGINEER:

319 MAIN STREET EL SEGUNDO, CA 90245 TEL: 213.239 9700

MEP ENGINEER:

CES ENGINEERING SERVICES, LLC

1001 W OAK BUILDING B SUITÉ 107 BOZEMAN, MT 59715 TEL: 406.272.0352

LIGHTING DESIGN CONSULTANT:

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SEAL:



0 02.28.23 BUILDING PERMIT

NO DATE ISSUE

PROJECT:

BADGER RESIDENCE

121 BADGER LANE KETCHUM, ID 83340

PROJECT NUMBER

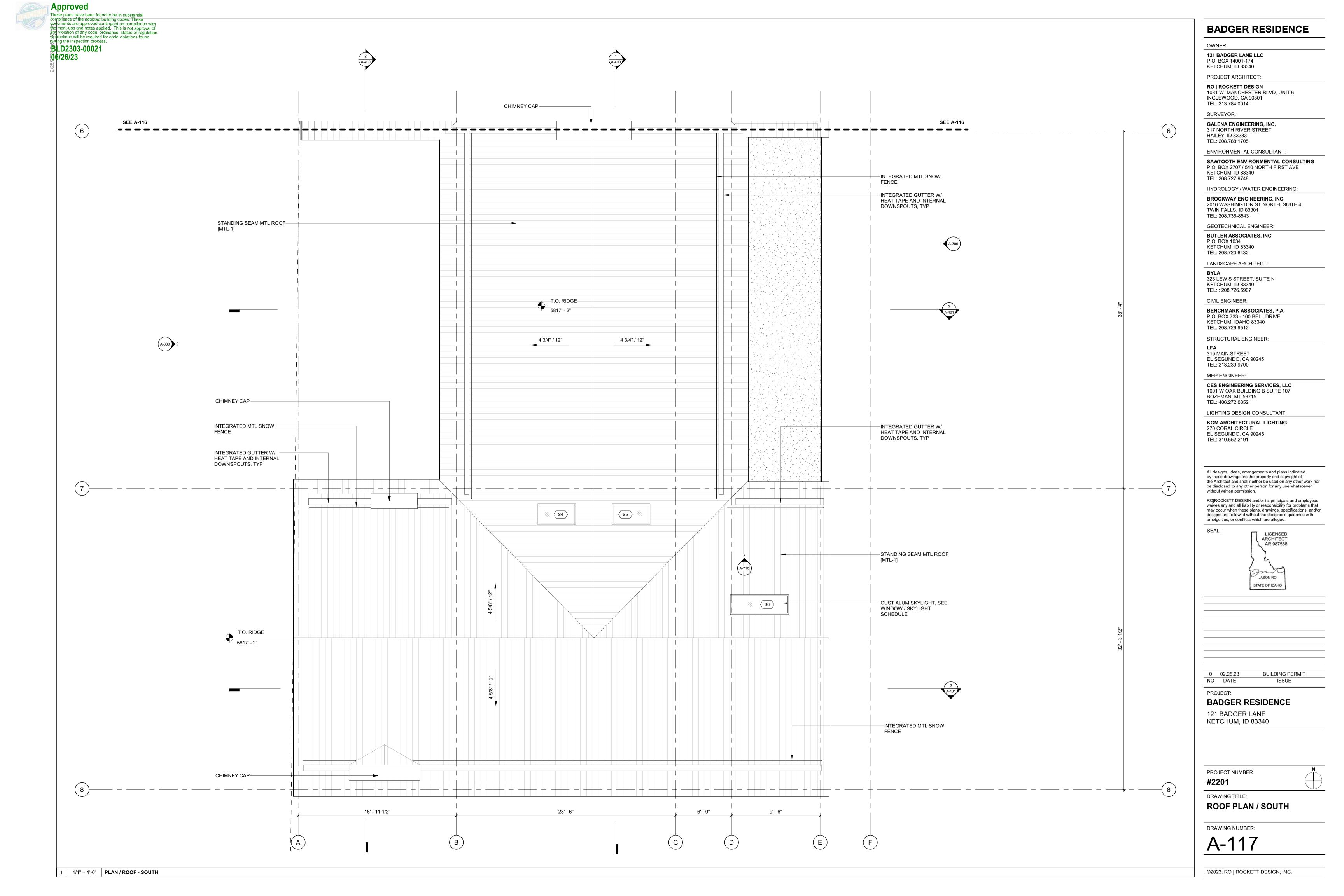
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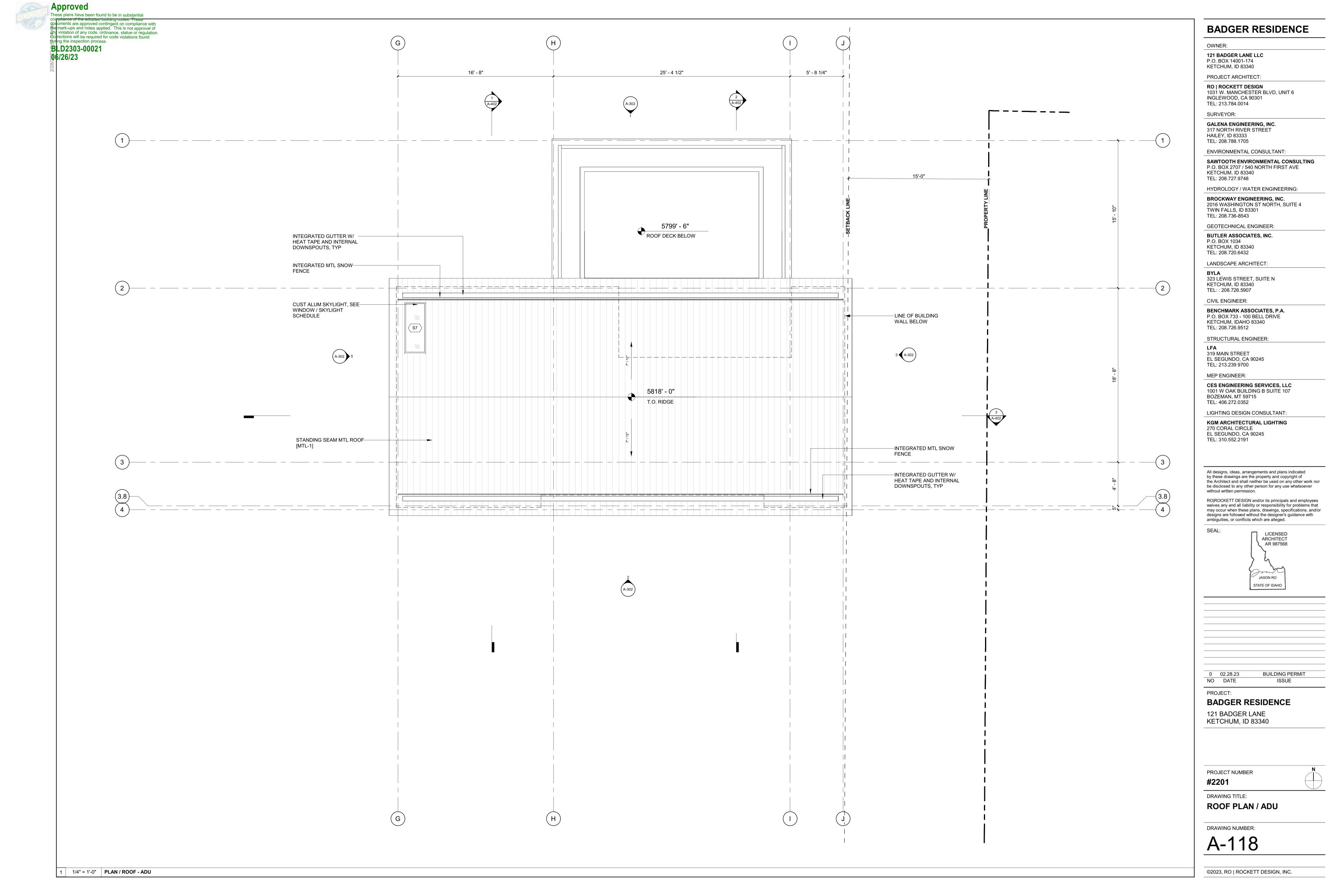
DRAWING TITLE:

ROOF PLAN / NORTH

DRAWING NUMBER:

A-116





These plans have been found to be in substantial compliance of the adopted building codes. These documents are approved contingent on compliance with the mark-ups and notes applied. This is not approval of violation of any code, ordinance, statue or regulation. Corrections will be required for code violations found during the inspection process. **BLD2303-00021 \$6/26/23** PROVIDE POWER FOR FUTURE BOOT DRYER 100.2 LAUNDRY  $\stackrel{\mathsf{w}}{oldsymbol{\Phi}}$ GARAGE ED 100 PROVIDE POWER FOR PROVIDE POWER FOR — MOTORIZED OVERHEAD MOTORIZED OVERHEAD **GARAGE DOOR GARAGE DOOR** MECH / STOR 100.1

1/4" = 1'-0" | POWER + DATA PLAN / LEVEL 01 / NORTH

### POWER / DATA NOTES:

1. COORDINATE BATH EXHAUST CONTROLS WITH LIGHTING DESIGNER. INTEGRATE WITH LIGHTING CONTROLS AS REQUIRED BY THE OWNER. POWER BATH EXHAUST THROUGH PANEL LIGHTING.

2. COORDINATE LOCATION OF A/V AND TELEVISION CONNECTIONS WITH A/V CONSULTANT PRIOR TO ROUGH-IN. CONNECT TO LOCAL RECEPTACLE CIRCUIT IF NOT BEING CONNECTED THROUGH THE A/V PANEL.

3. WIRELESS DOCKING STATION ON CORRESPONDING HORIZONTAL SURFACE.

4. PROVIDE OUTLETS LOCATED IN BATHROOM MEDICINE CABINET. COORDINATE LOCATION WITH ARCHITECT PRIOR TO ROUGH-IN. THESE OUTLETS ARE IN ADDITION ABOVE COUNTER OUTLETS THAT ARE REQUIRED BY CODE.

# BADGER RESIDENCE

1031 W. MANCHESTER BLVD, UNIT 6

OWNER:

121 BADGER LANE LLC

P.O. BOX 14001-174 KETCHUM, ID 83340

PROJECT ARCHITECT: RO | ROCKETT DESIGN

TEL: 213.784.0014 SURVEYOR:

GALENA ENGINEERING, INC. 317 NORTH RIVER STREET

INGLEWOOD, CA 90301

HAILEY, ID 83333 TEL: 208.788.1705

**ENVIRONMENTAL CONSULTANT:** SAWTOOTH ENVIRONMENTAL CONSULTING P.O. BOX 2707 / 540 NORTH FIRST AVE KETCHUM, ID 83340

TEL: 208.727.9748 HYDROLOGY / WATER ENGINEERING:

BROCKWAY ENGINEERING, INC.

2016 WASHINGTON ST NORTH, SUITE 4 TWIN FALLS, ID 83301 TEL: 208.736-8543

GEOTECHNICAL ENGINEER:

BUTLER ASSOCIATES, INC. P.O. BOX 1034 KETCHUM, ID 83340 TEL: 208.720.6432

LANDSCAPE ARCHITECT:

323 LEWIS STREET, SUITE N KETCHUM, ID 83340

TEL:: 208.726.5907 CIVIL ENGINEER:

BENCHMARK ASSOCIATES, P.A. P.O. BOX 733 - 100 BELL DRIVE KETCHUM, IDAHO 83340

STRUCTURAL ENGINEER:

319 MAIN STREET EL SEGUNDO, CA 90245 TEL: 213.239 9700

MEP ENGINEER:

TEL: 208.726.9512

CES ENGINEERING SERVICES, LLC 1001 W OAK BUILDING B SUITE 107 BOZEMAN, MT 59715 TEL: 406.272.0352

LIGHTING DESIGN CONSULTANT:

KGM ARCHITECTURAL LIGHTING 270 CORAL CIRCLE EL SEGUNDO, CA 90245 TEL: 310.552.2191

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0 02.28.23 **BUILDING PERMIT** NO DATE ISSUE

PROJECT:

BADGER RESIDENCE

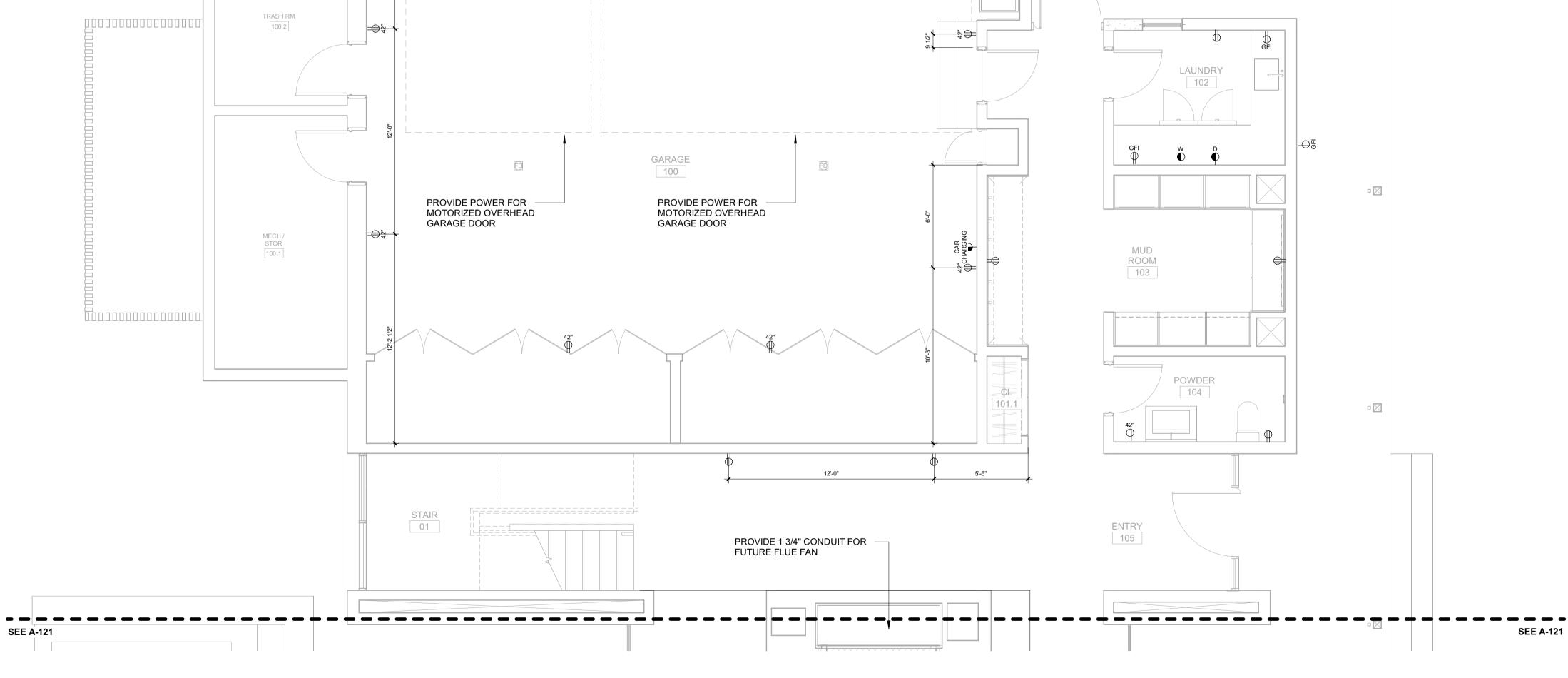
121 BADGER LANE KETCHUM, ID 83340

PROJECT NUMBER #2201

DRAWING TITLE:

POWER + DATA PLAN / LEVEL 01 / NORTH

DRAWING NUMBER:



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→ POWER FOR COOKTOP & HOOD -FLOOR OUTLETS, CTR ON KITCHEN COL TYP 110 BDRM 1 BREAKFAST 111 NOOK 108  $\Rightarrow$ PROVIDE POWER 12'-0" FOR BUILT-IN GAS POWERED GRILL

1/4" = 1'-0" | **POWER + DATA PLAN / LEVEL 01 / SOUTH** 

# BADGER RESIDENCE

OWNER:

121 BADGER LANE LLC

P.O. BOX 14001-174 KETCHUM, ID 83340

PROJECT ARCHITECT:

RO | ROCKETT DESIGN 1031 W. MANCHESTER BLVD, UNIT 6 INGLEWOOD, CA 90301

SURVEYOR:

TEL: 213.784.0014

GALENA ENGINEERING, INC. 317 NORTH RIVER STREET HAILEY, ID 83333

TEL: 208.788.1705

SAWTOOTH ENVIRONMENTAL CONSULTING P.O. BOX 2707 / 540 NORTH FIRST AVE KETCHUM, ID 83340

TEL: 208.727.9748

HYDROLOGY / WATER ENGINEERING:

BROCKWAY ENGINEERING, INC. 2016 WASHINGTON ST NORTH, SUITE 4

TWIN FALLS, ID 83301

**ENVIRONMENTAL CONSULTANT:** 

TEL: 208.736-8543

GEOTECHNICAL ENGINEER:

BUTLER ASSOCIATES, INC. P.O. BOX 1034 KETCHUM, ID 83340 TEL: 208.720.6432

LANDSCAPE ARCHITECT:

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CIVIL ENGINEER: BENCHMARK ASSOCIATES, P.A.

P.O. BOX 733 - 100 BELL DRIVE KETCHUM, IDAHO 83340 TEL: 208.726.9512

STRUCTURAL ENGINEER:

319 MAIN STREET EL SEGUNDO, CA 90245 TEL: 213.239 9700

MEP ENGINEER:

CES ENGINEERING SERVICES, LLC 1001 W OAK BUILDING B SUITE 107 BOZEMAN, MT 59715 TEL: 406.272.0352

LIGHTING DESIGN CONSULTANT:

KGM ARCHITECTURAL LIGHTING 270 CORAL CIRCLE EL SEGUNDO, CA 90245 TEL: 310.552.2191

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ambiguities, or conflicts which are alleged.

SEAL:



0 02.28.23 **BUILDING PERMIT** NO DATE ISSUE

PROJECT:

**BADGER RESIDENCE** 

121 BADGER LANE KETCHUM, ID 83340

PROJECT NUMBER #2201

DRAWING TITLE:

**POWER + DATA PLAN / LEVEL** 01 / SOUTH

DRAWING NUMBER:

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#### **POWER / DATA NOTES:**

**SEE A-123** 

BDRM 4

BATH 4 203.2

ROOM

13'-1 1/2"

PROVIDE 1 3/4" CONDUIT FOR FUTURE FLUE FAN

1. COORDINATE BATH EXHAUST CONTROLS WITH LIGHTING DESIGNER. INTEGRATE WITH LIGHTING CONTROLS AS REQUIRED BY THE OWNER. POWER BATH EXHAUST THROUGH PANEL

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# BADGER RESIDENCE

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121 BADGER LANE LLC P.O. BOX 14001-174

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# GEOTECHNICAL ENGINEER:

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STRUCTURAL ENGINEER:

319 MAIN STREET EL SEGUNDO, CA 90245 TEL: 213.239 9700

#### MEP ENGINEER:

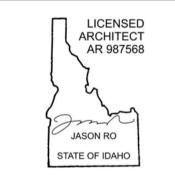
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# ISSUE

# PROJECT:

# BADGER RESIDENCE 121 BADGER LANE

KETCHUM, ID 83340

PROJECT NUMBER



DRAWING TITLE:

#2201

POWER + DATA PLAN / LEVEL 02 / NORTH

DRAWING NUMBER:

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1/4" = 1'-0" POWER + DATA PLAN / LEVEL 02 / NORTH

**SEE A-123** 

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1/4" = 1'-0" | POWER + DATA PLAN / LEVEL 02 / SOUTH

#### **POWER / DATA NOTES:**

1. COORDINATE BATH EXHAUST CONTROLS WITH LIGHTING DESIGNER. INTEGRATE WITH LIGHTING CONTROLS AS REQUIRED BY THE OWNER. POWER BATH EXHAUST THROUGH PANEL LIGHTING.

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OWNER:

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# TWIN FALLS, ID 83301

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### GEOTECHNICAL ENGINEER:

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#### LANDSCAPE ARCHITECT:

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# CIVIL ENGINEER:

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### LIGHTING DESIGN CONSULTANT:

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# PROJECT:

# BADGER RESIDENCE

121 BADGER LANE KETCHUM, ID 83340

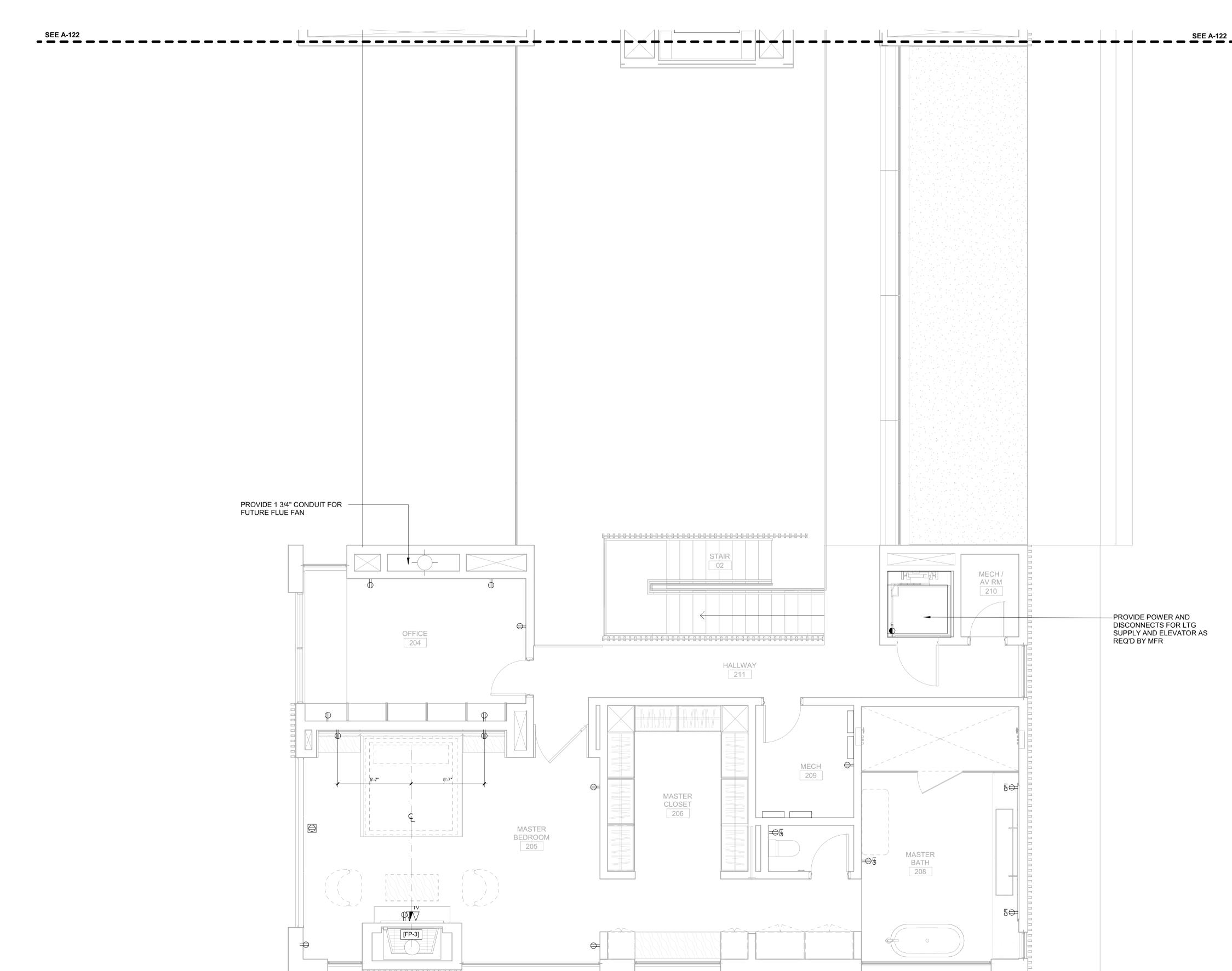
PROJECT NUMBER

#2201

DRAWING TITLE:

**POWER + DATA PLAN / LEVEL** 02 / SOUTH

DRAWING NUMBER:



# PROVIDE POWER FOR MOTORIZED OVERHEAD GARAGE DOOR GARAGE A100 STAIR A03 PROVIDE POWER FOR FUTURE BOOT DRYER MECH / 100.3 PROVIDE POWER FOR GAS POWERED FIRE FEATURE F = = = = ¬ POOL EQUIP A105 LIVING / ENTRY DINING POOL DECK ADU POOL DECK A107 PROVIDE POWER – FOR BUILT-IN GAS POWERED GRILL PROVIDE POWER -FOR GAS POWERED SPAFIRE FEATURE POOL

#### **POWER / DATA NOTES:**

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HYDROLOGY / WATER ENGINEERING: BROCKWAY ENGINEERING, INC.

2016 WASHINGTON ST NORTH, SUITE 4 TWIN FALLS, ID 83301

TEL: 208.736-8543 GEOTECHNICAL ENGINEER:

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LANDSCAPE ARCHITECT:

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TEL:: 208.726.5907 CIVIL ENGINEER:

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PROJECT: BADGER RESIDENCE

121 BADGER LANE

KETCHUM, ID 83340

PROJECT NUMBER #2201

DRAWING TITLE:

**POWER + DATA PLAN / LEVEL** 01 / ADU

DRAWING NUMBER:

Approved

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**BLD2303-00021** 

**96/26/23** 

— PROVIDE POWER FOR GAS POWERED FIRE **FEATURE** A400.1 PROVIDE 1 3/4" CONDUIT FOR FUTURE FLUE FAN STAIR A03 BDRM 1 BDRM 2 A202

#### POWER / DATA NOTES:

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# BADGER RESIDENCE

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121 BADGER LANE LLC P.O. BOX 14001-174

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NO DATE

ISSUE

PROJECT:

BADGER RESIDENCE 121 BADGER LANE

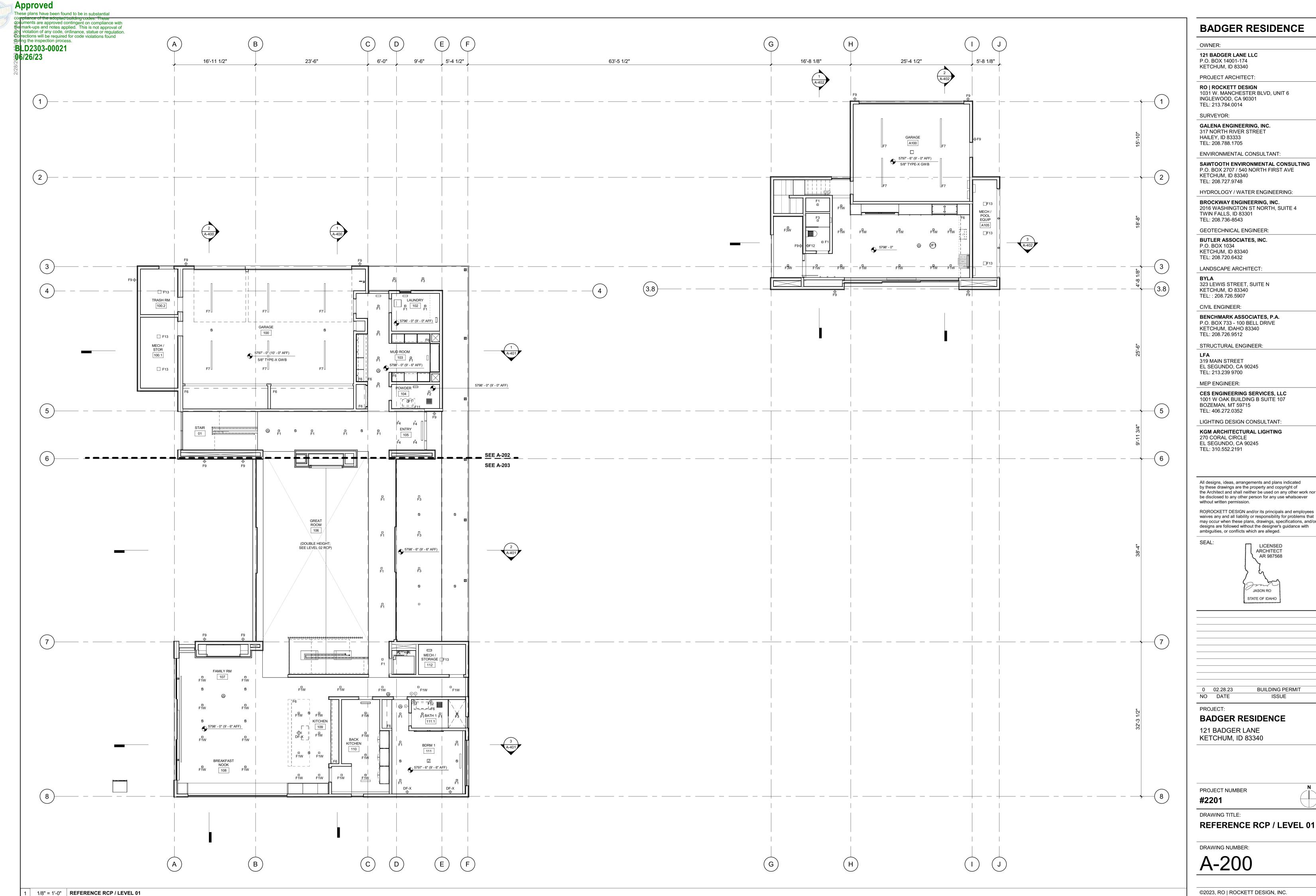
KETCHUM, ID 83340

PROJECT NUMBER #2201

DRAWING TITLE:

POWER + DATA PLAN / LEVEL 02 / ADU

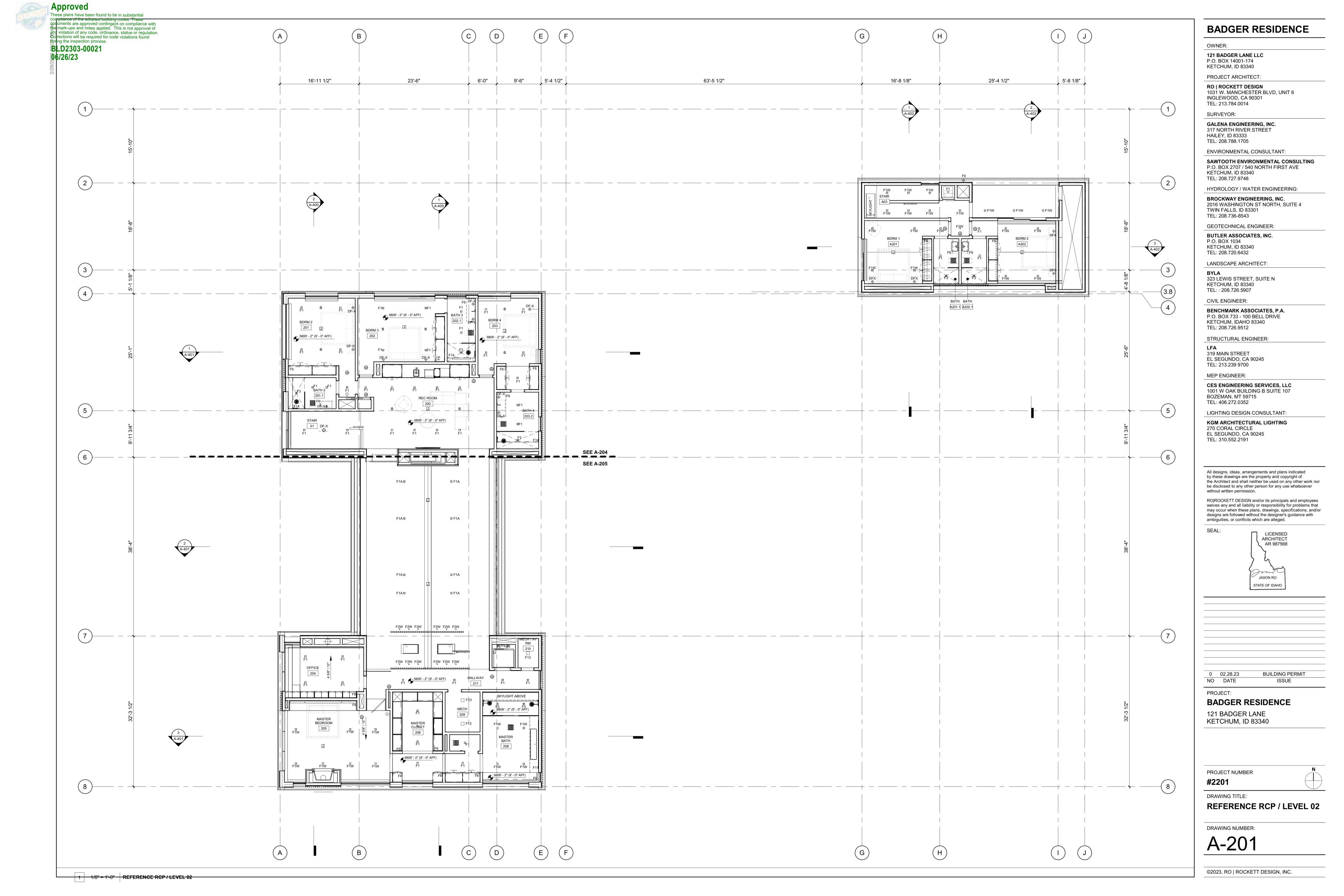
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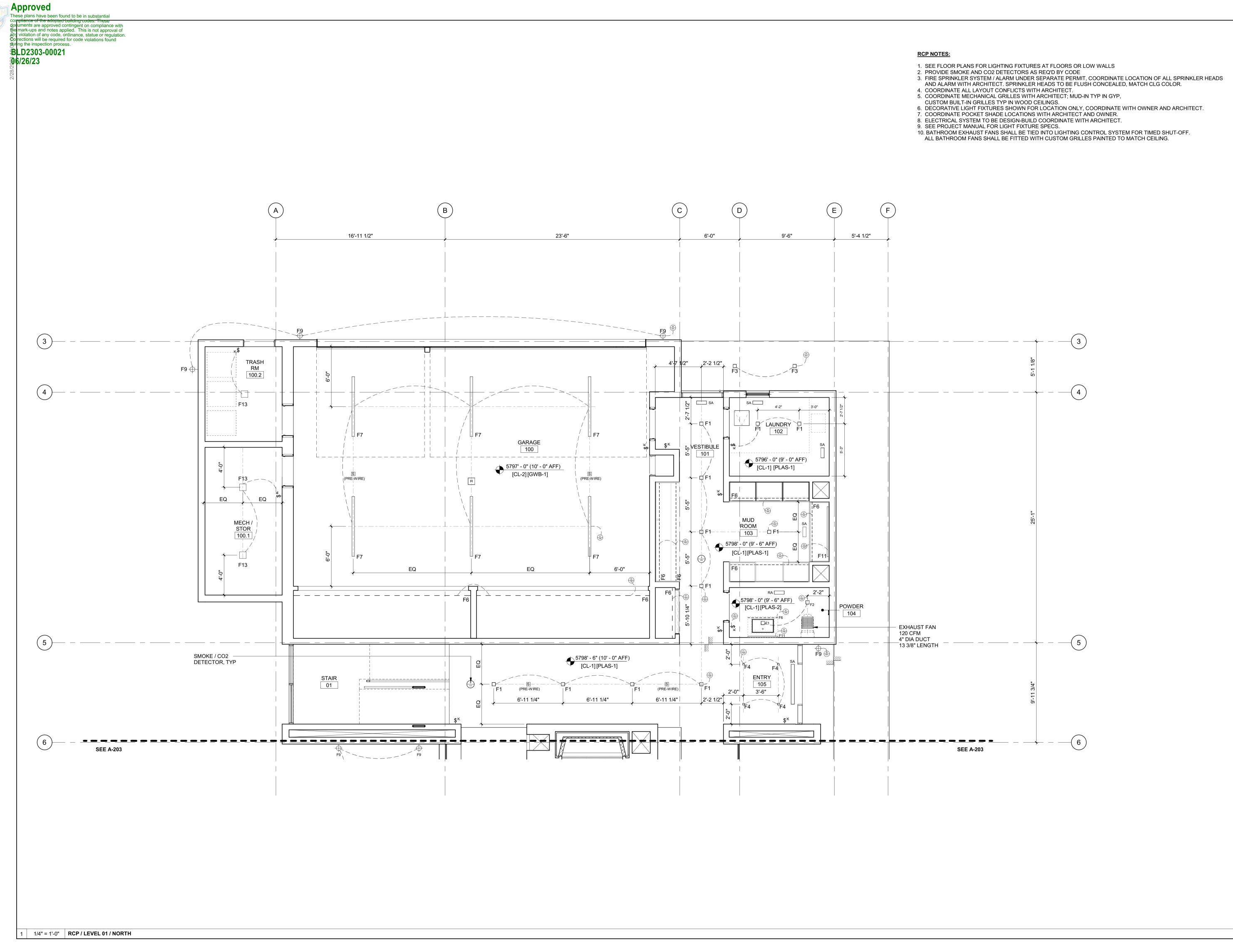


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PROJECT:

**BADGER RESIDENCE** 

121 BADGER LANE KETCHUM, ID 83340

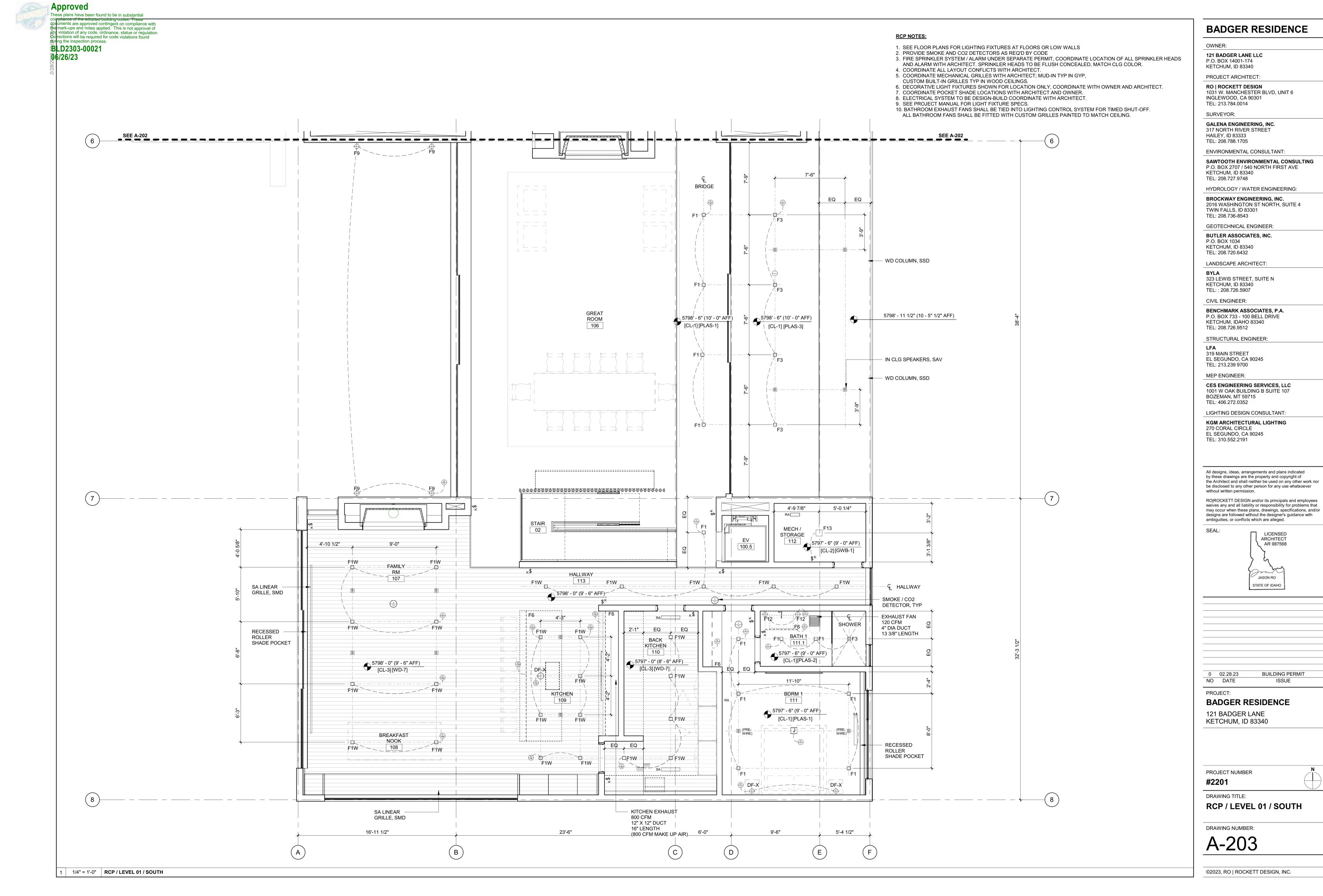
PROJECT NUMBER

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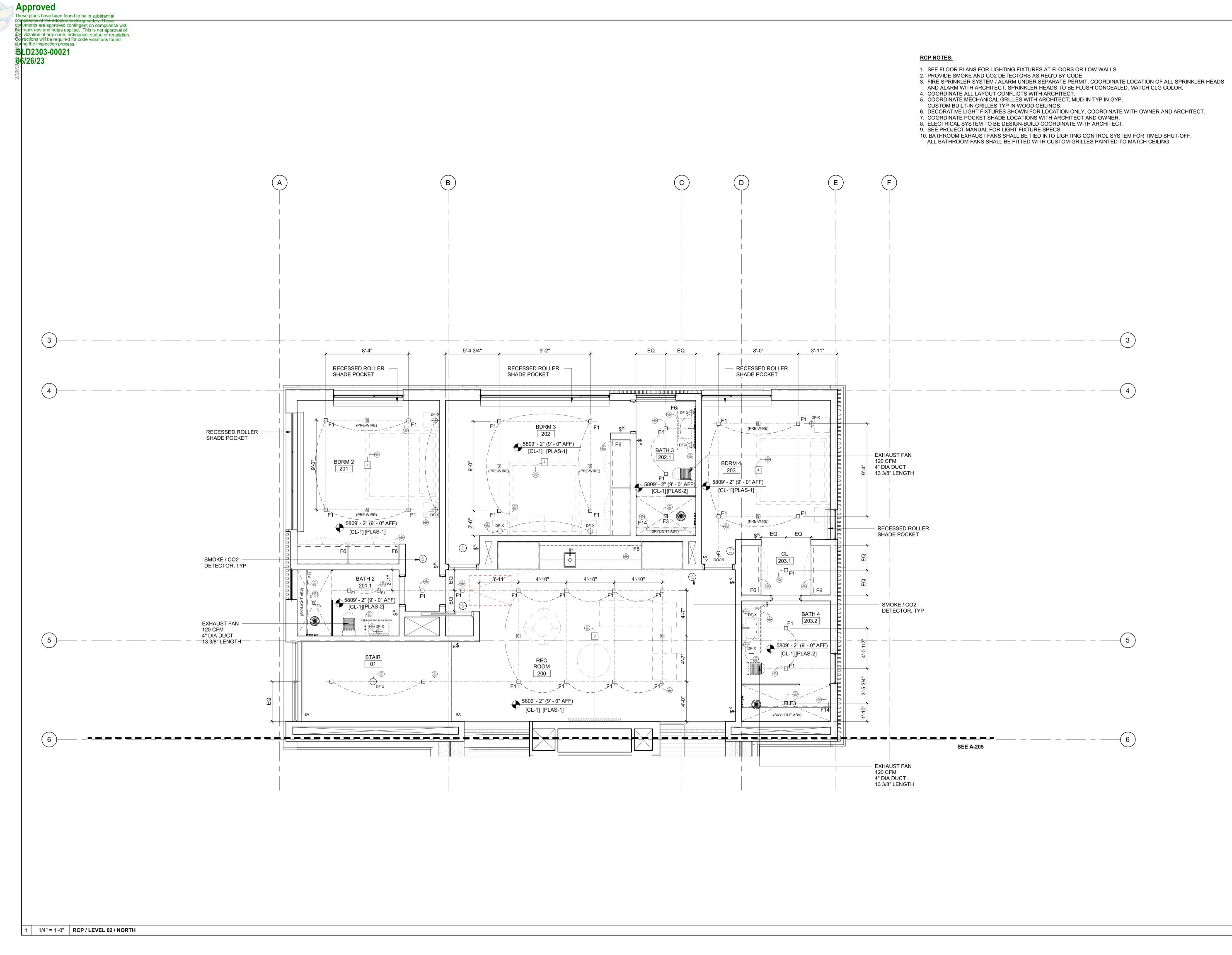
DRAWING TITLE:

RCP / LEVEL 01 / NORTH

DRAWING NUMBER:



ISSUE



OWNER:

121 BADGER LANE LLC

P.O. BOX 14001-174 KETCHUM, ID 83340

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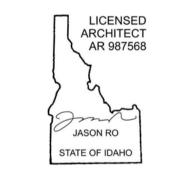
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PROJECT:

**BADGER RESIDENCE** 

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KETCHUM, ID 83340

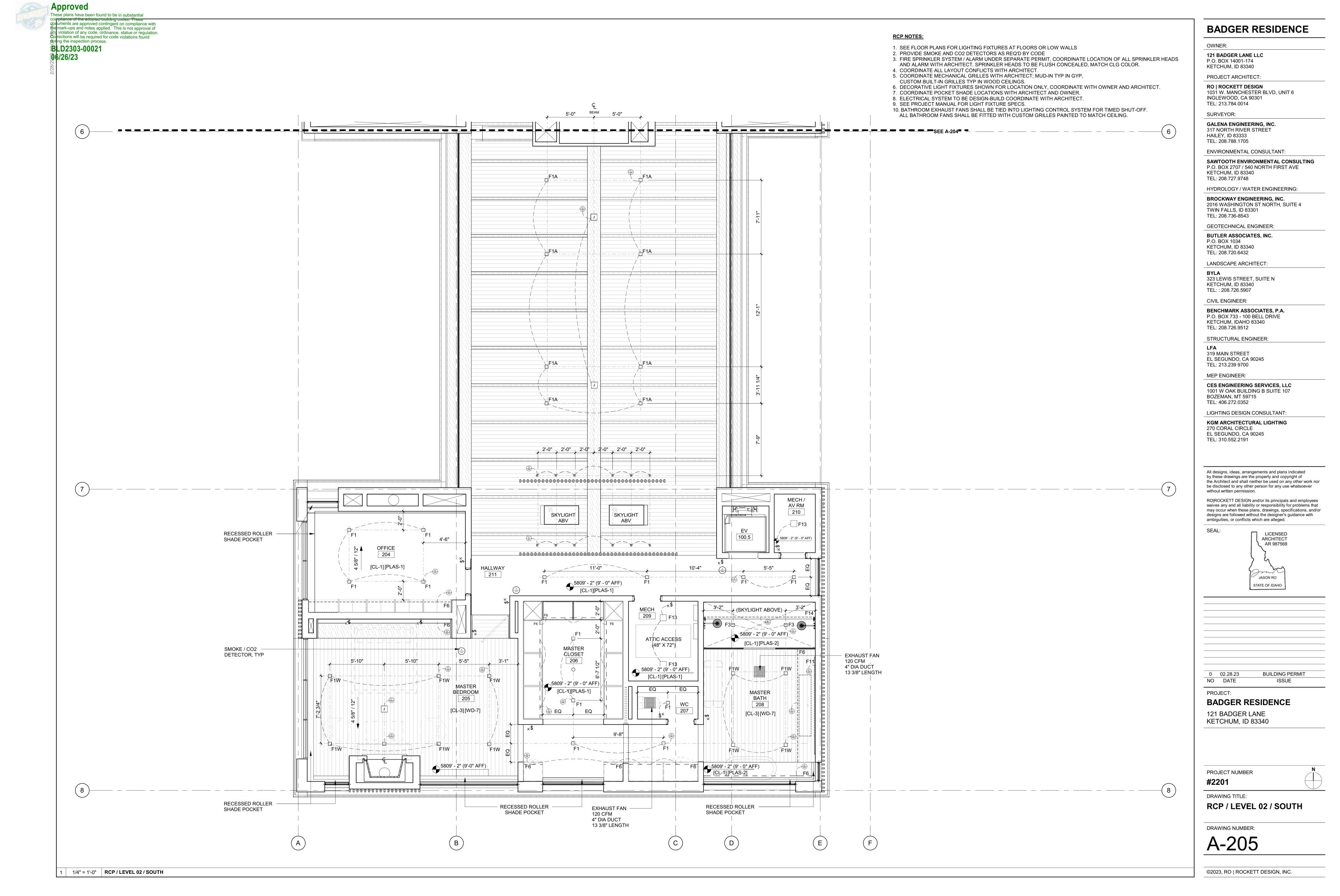
PROJECT NUMBER

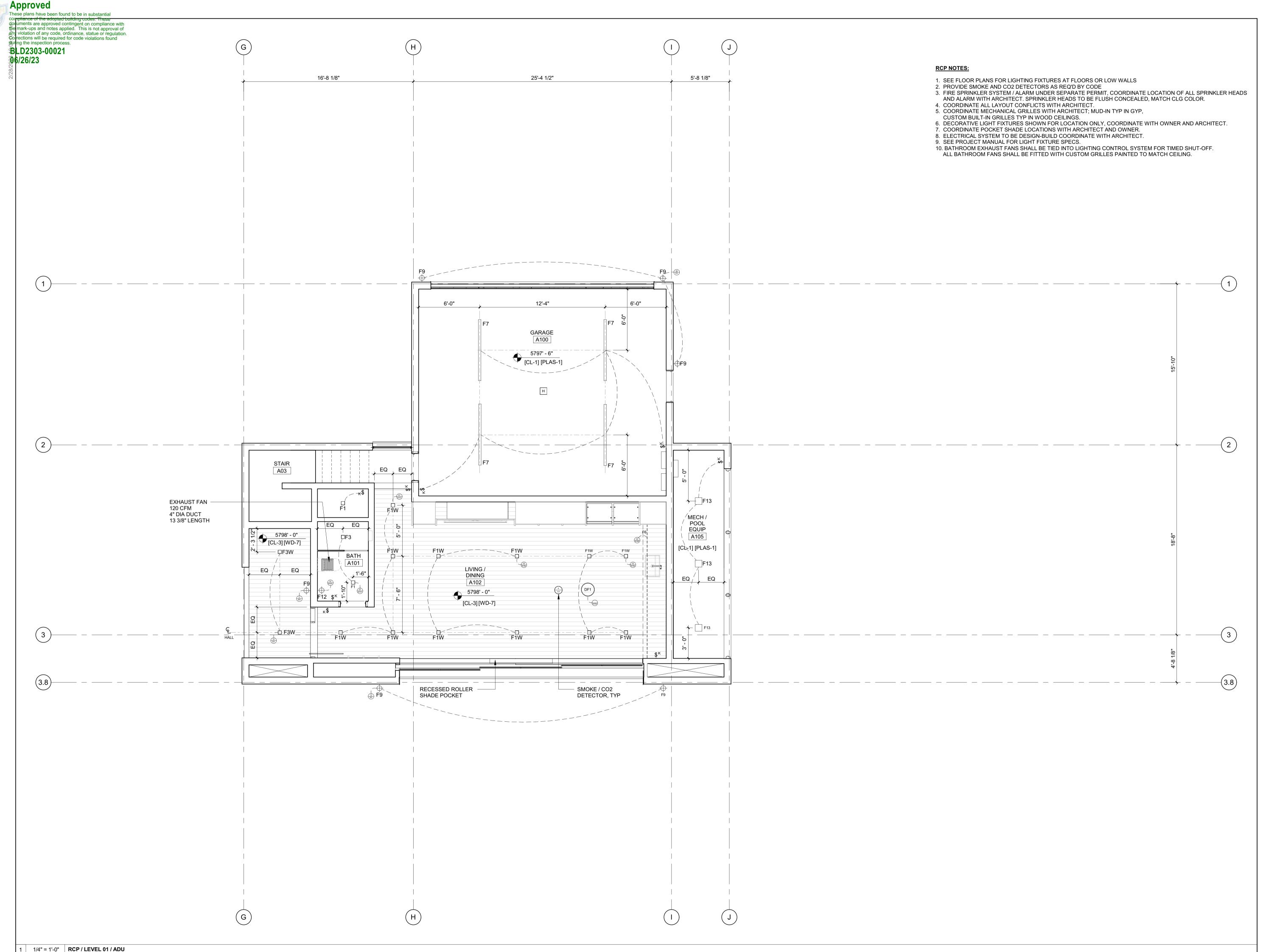
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DRAWING TITLE:

RCP / LEVEL 02 / NORTH

DRAWING NUMBER:





OWNER:

121 BADGER LANE LLC

P.O. BOX 14001-174

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HAILEY, ID 83333 TEL: 208.788.1705

**ENVIRONMENTAL CONSULTANT:** SAWTOOTH ENVIRONMENTAL CONSULTING

P.O. BOX 2707 / 540 NORTH FIRST AVE KETCHUM, ID 83340 TEL: 208.727.9748

HYDROLOGY / WATER ENGINEERING:

BROCKWAY ENGINEERING, INC. 2016 WASHINGTON ST NORTH, SUITE 4 TWIN FALLS, ID 83301

TEL: 208.736-8543

GEOTECHNICAL ENGINEER: BUTLER ASSOCIATES, INC.

KETCHUM, ID 83340 TEL: 208.720.6432

P.O. BOX 1034

LANDSCAPE ARCHITECT: 323 LEWIS STREET, SUITE N

KETCHUM, ID 83340 TEL:: 208.726.5907

CIVIL ENGINEER: BENCHMARK ASSOCIATES, P.A. P.O. BOX 733 - 100 BELL DRIVE KETCHUM, IDAHO 83340

TEL: 208.726.9512 STRUCTURAL ENGINEER:

319 MAIN STREET EL SEGUNDO, CA 90245

MEP ENGINEER:

TEL: 213.239 9700

**CES ENGINEERING SERVICES, LLC** 1001 W OAK BUILDING B SUITE 107 BOZEMAN, MT 59715 TEL: 406.272.0352

LIGHTING DESIGN CONSULTANT:

KGM ARCHITECTURAL LIGHTING 270 CORAL CIRCLE EL SEGUNDO, CA 90245 TEL: 310.552.2191

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> LICENSED ARCHITECT AR 987568

> > JASON RO STATE OF IDAHO

0 02.28.23 **BUILDING PERMIT** NO DATE

ISSUE

PROJECT:

BADGER RESIDENCE

121 BADGER LANE KETCHUM, ID 83340

PROJECT NUMBER

#2201

DRAWING TITLE:

RCP / LEVEL 01 / ADU

DRAWING NUMBER:

121 BADGER LANE LLC

P.O. BOX 14001-174

RO | ROCKETT DESIGN 1031 W. MANCHESTER BLVD, UNIT 6 INGLEWOOD, CA 90301

GALENA ENGINEERING, INC. 317 NORTH RIVER STREET

TEL: 208.788.1705

SAWTOOTH ENVIRONMENTAL CONSULTING P.O. BOX 2707 / 540 NORTH FIRST AVE

KETCHUM, ID 83340 TEL: 208.727.9748

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TWIN FALLS, ID 83301 TEL: 208.736-8543

GEOTECHNICAL ENGINEER:

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323 LEWIS STREET, SUITE N KETCHUM, ID 83340

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STRUCTURAL ENGINEER:

319 MAIN STREET EL SEGUNDO, CA 90245 TEL: 213.239 9700

1001 W OAK BUILDING B SUITE 107 BOZEMAN, MT 59715

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> > JASON RO STATE OF IDAHO

**BUILDING PERMIT** ISSUE

**BADGER RESIDENCE** 

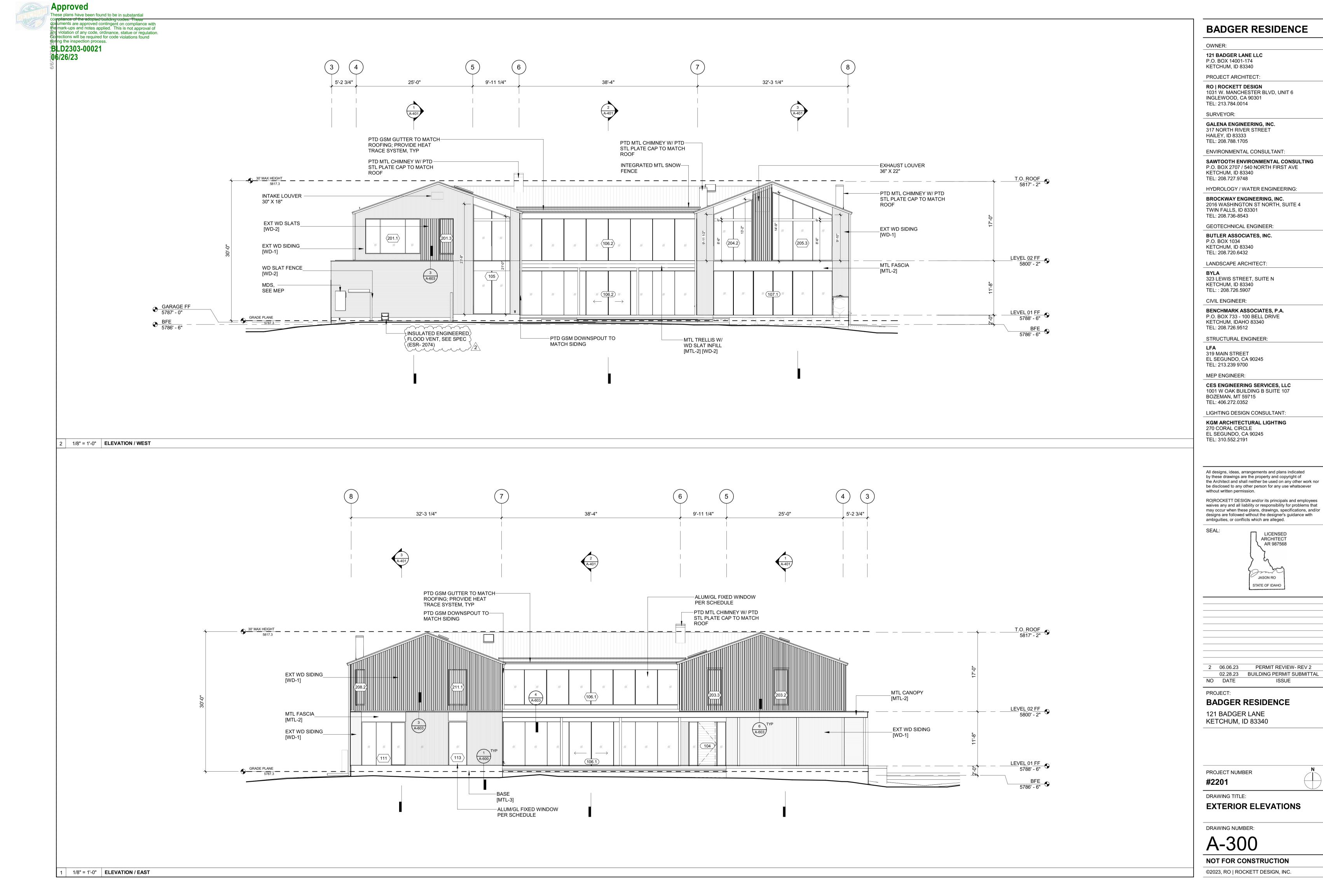
KETCHUM, ID 83340

PROJECT NUMBER

DRAWING TITLE:

RCP / LEVEL 02 / ADU

DRAWING NUMBER:





121 BADGER LANE LLC

P.O. BOX 14001-174

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SURVEYOR:

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TEL: 208.788.1705

SAWTOOTH ENVIRONMENTAL CONSULTING P.O. BOX 2707 / 540 NORTH FIRST AVE KETCHUM, ID 83340

HYDROLOGY / WATER ENGINEERING:

BROCKWAY ENGINEERING, INC. 2016 WASHINGTON ST NORTH, SUITE 4

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BUTLER ASSOCIATES, INC. P.O. BOX 1034

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323 LEWIS STREET, SUITE N KETCHUM, ID 83340 TEL:: 208.726.5907

CIVIL ENGINEER: BENCHMARK ASSOCIATES, P.A.

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319 MAIN STREET EL SEGUNDO, CA 90245 TEL: 213.239 9700

MEP ENGINEER:

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LIGHTING DESIGN CONSULTANT:

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**BADGER RESIDENCE** 

KETCHUM, ID 83340

PROJECT NUMBER

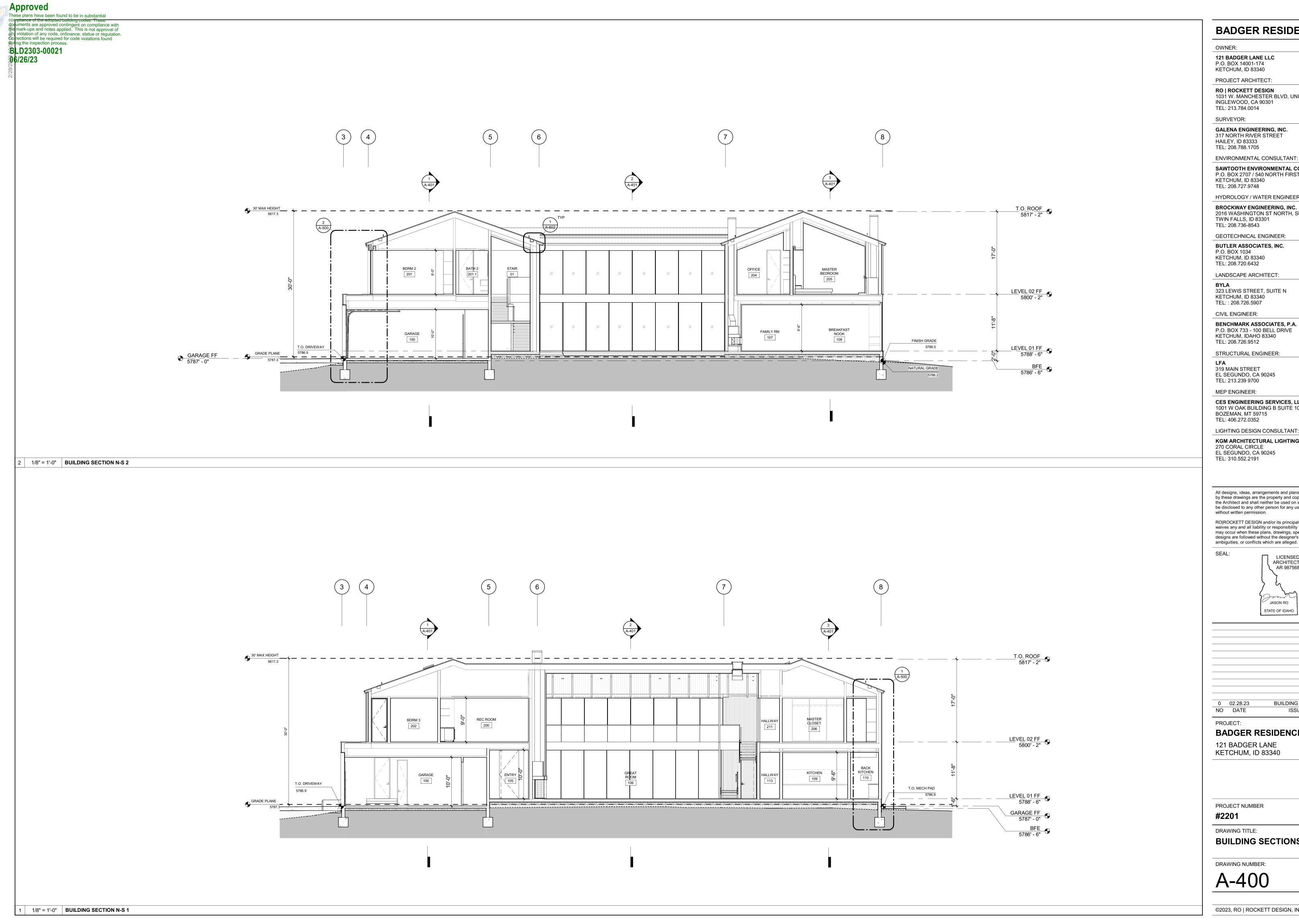
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**EXTERIOR ELEVATIONS** 

DRAWING NUMBER:

NOT FOR CONSTRUCTION





OWNER:

121 BADGER LANE LLC

P.O. BOX 14001-174 KETCHUM, ID 83340

PROJECT ARCHITECT:

RO | ROCKETT DESIGN 1031 W. MANCHESTER BLVD, UNIT 6 INGLEWOOD, CA 90301

SURVEYOR:

GALENA ENGINEERING, INC. 317 NORTH RIVER STREET HAILEY, ID 83333

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SAWTOOTH ENVIRONMENTAL CONSULTING P.O. BOX 2707 / 540 NORTH FIRST AVE KETCHUM, ID 83340 TEL: 208.727.9748

HYDROLOGY / WATER ENGINEERING:

BROCKWAY ENGINEERING, INC. 2016 WASHINGTON ST NORTH, SUITE 4 TWIN FALLS, ID 83301

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LANDSCAPE ARCHITECT:

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CIVIL ENGINEER:

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STRUCTURAL ENGINEER:

319 MAIN STREET EL SEGUNDO, CA 90245 TEL: 213.239 9700

MEP ENGINEER:

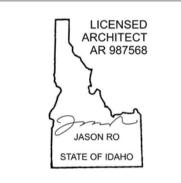
CES ENGINEERING SERVICES, LLC 1001 W OAK BUILDING B SUITE 107 BOZEMAN, MT 59715 TEL: 406.272.0352

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PROJECT:

BADGER RESIDENCE

121 BADGER LANE KETCHUM, ID 83340

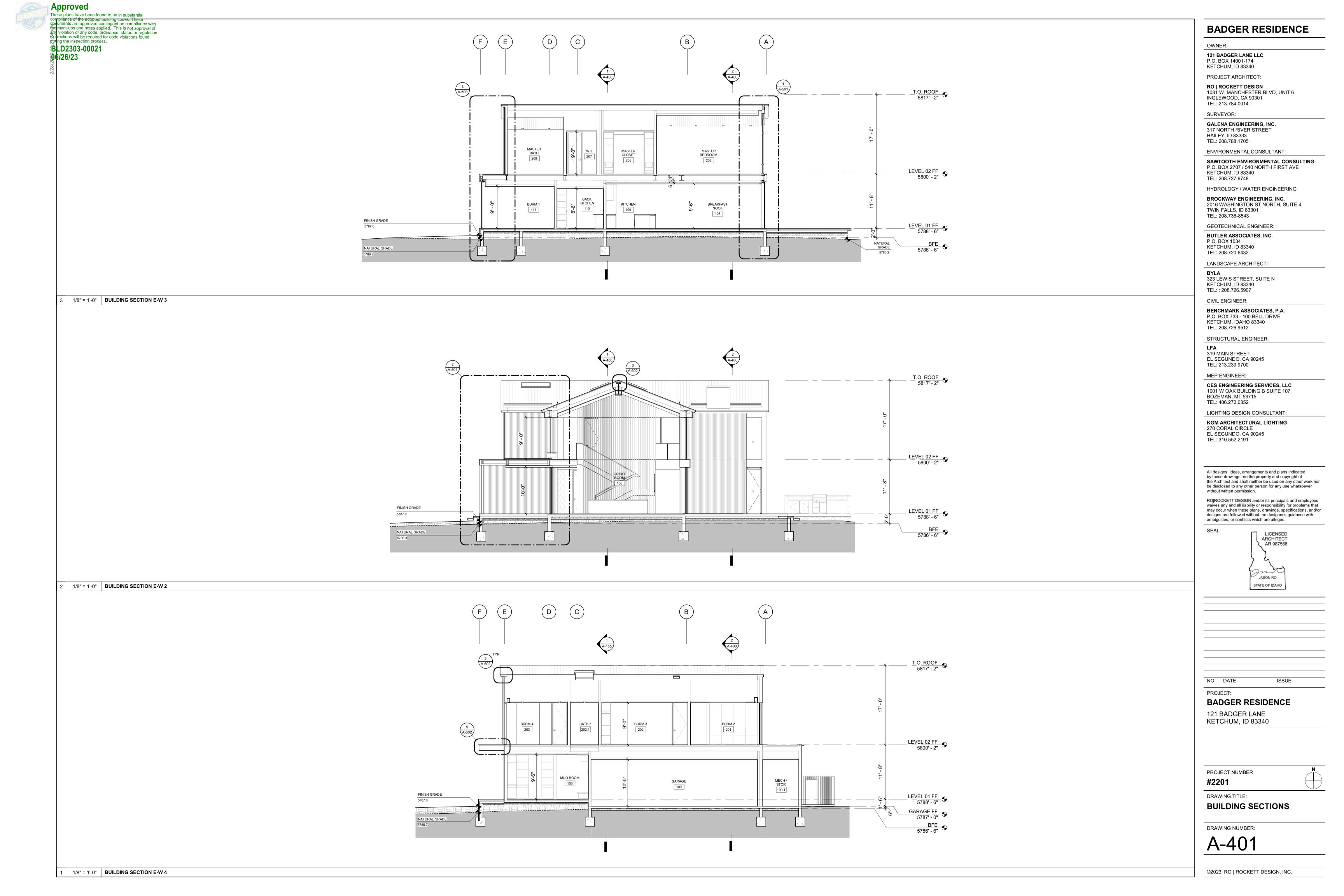
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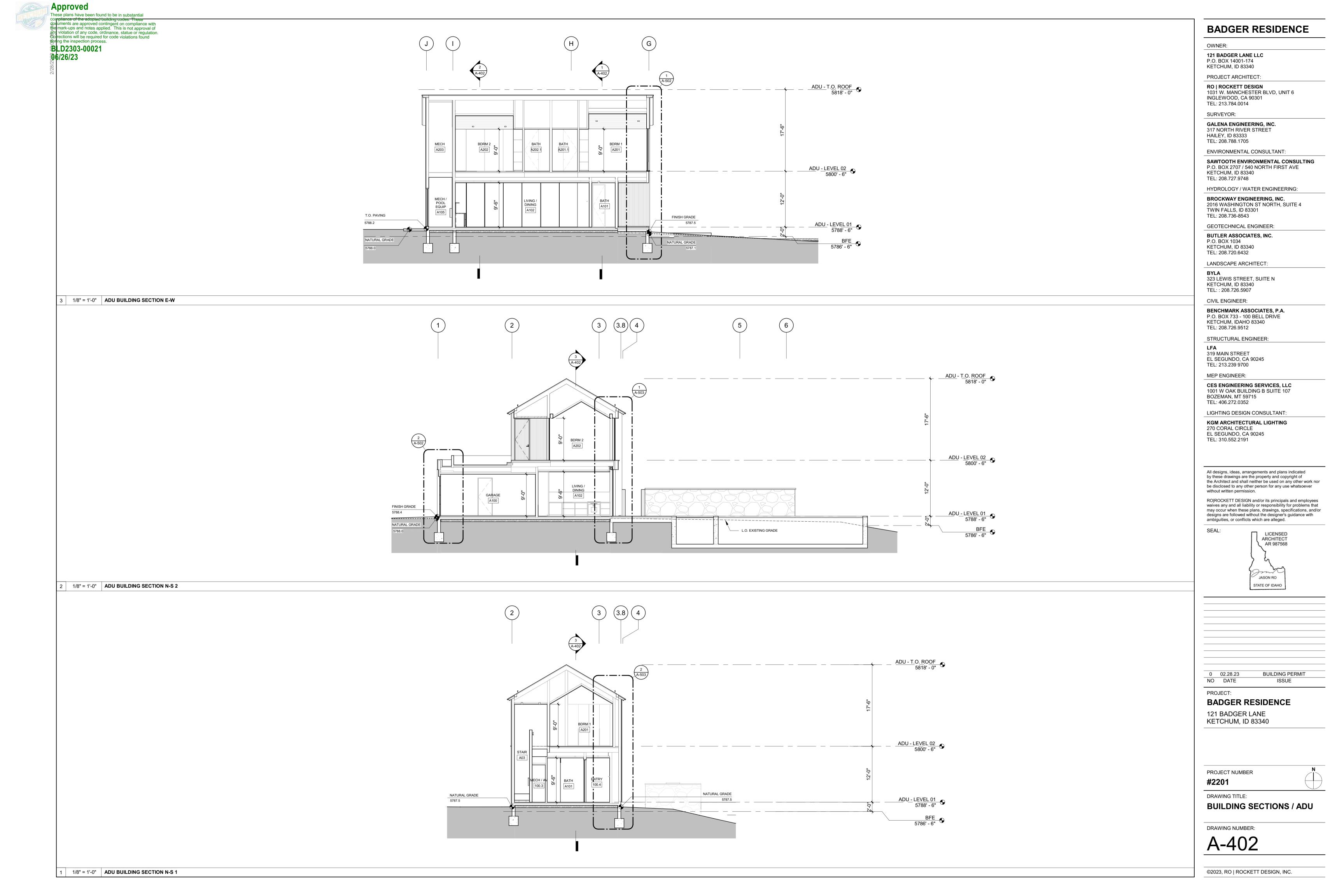
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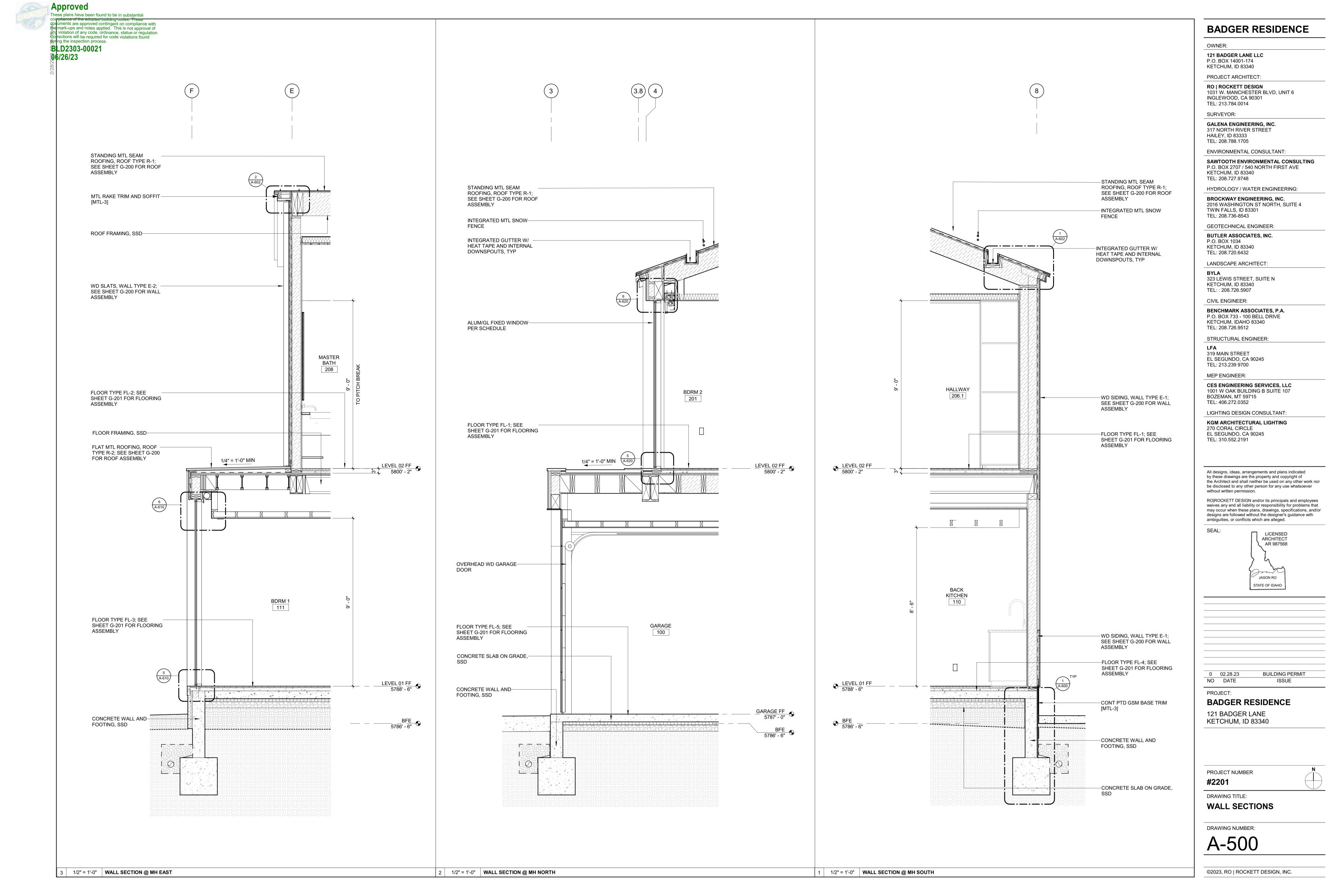
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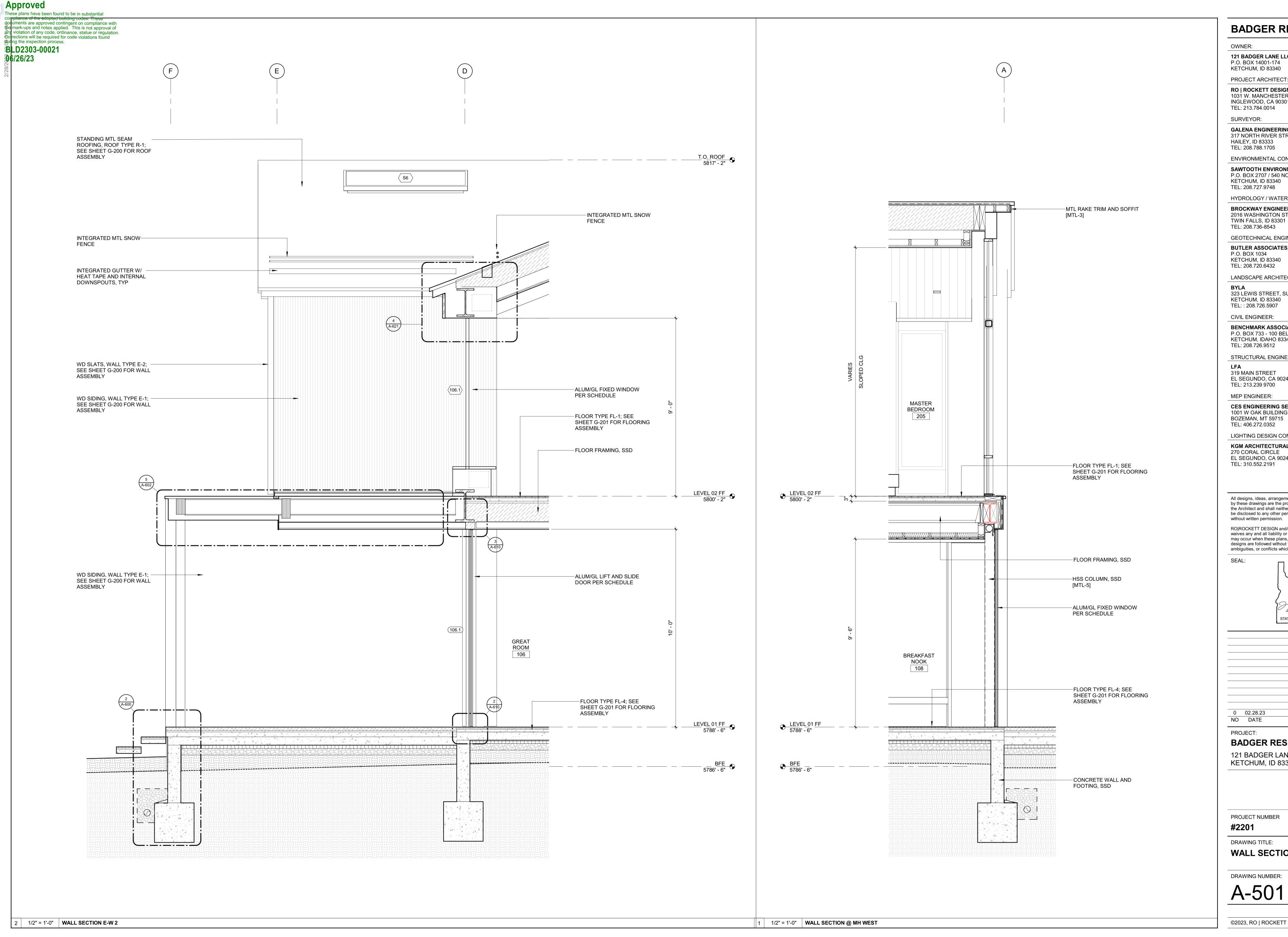
**BUILDING SECTIONS** 

DRAWING NUMBER:









OWNER:

121 BADGER LANE LLC

P.O. BOX 14001-174

KETCHUM, ID 83340

RO | ROCKETT DESIGN 1031 W. MANCHESTER BLVD, UNIT 6 INGLEWOOD, CA 90301

SURVEYOR:

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HAILEY, ID 83333 TEL: 208.788.1705

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MEP ENGINEER:

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LIGHTING DESIGN CONSULTANT:

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PROJECT:

BADGER RESIDENCE

121 BADGER LANE KETCHUM, ID 83340

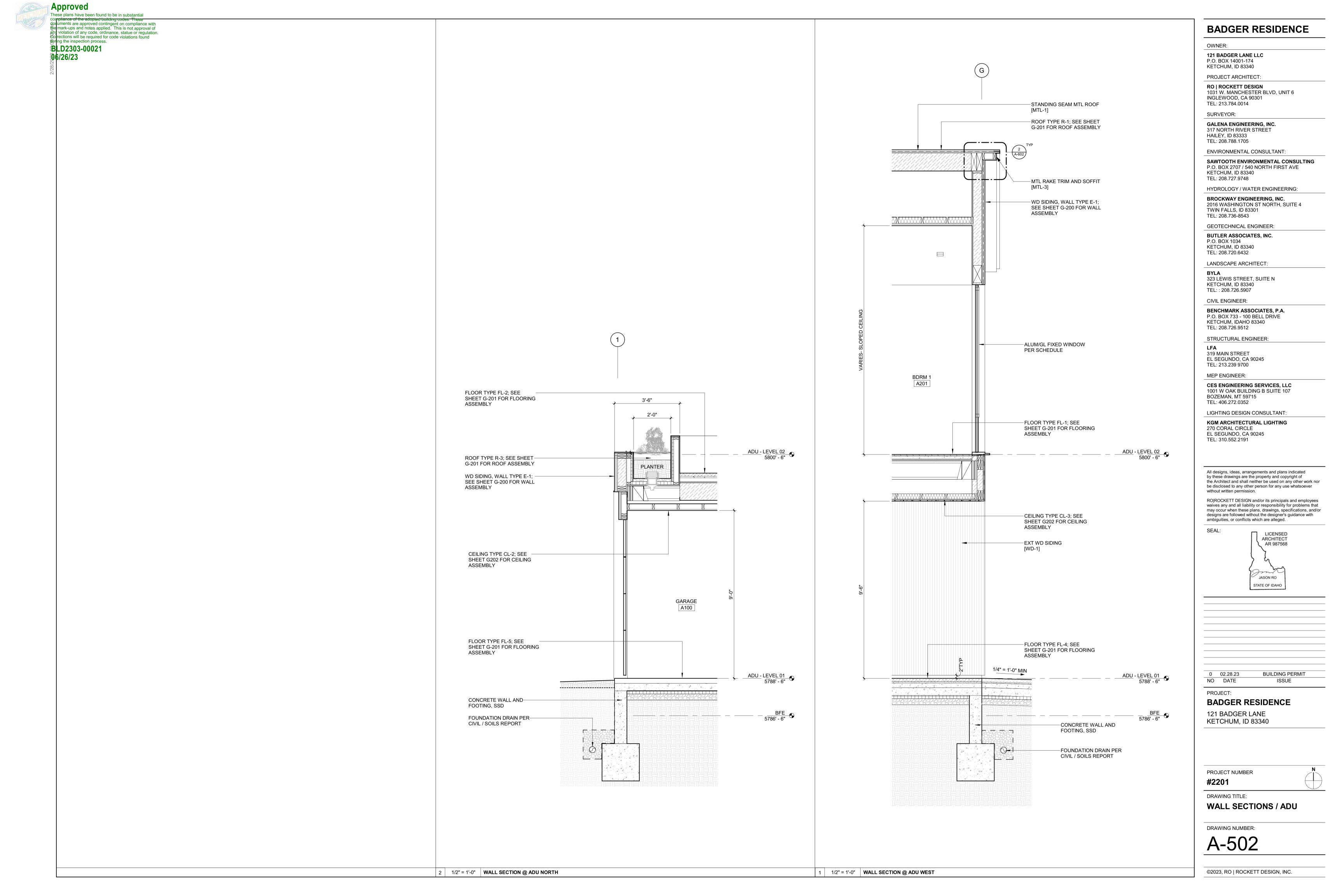
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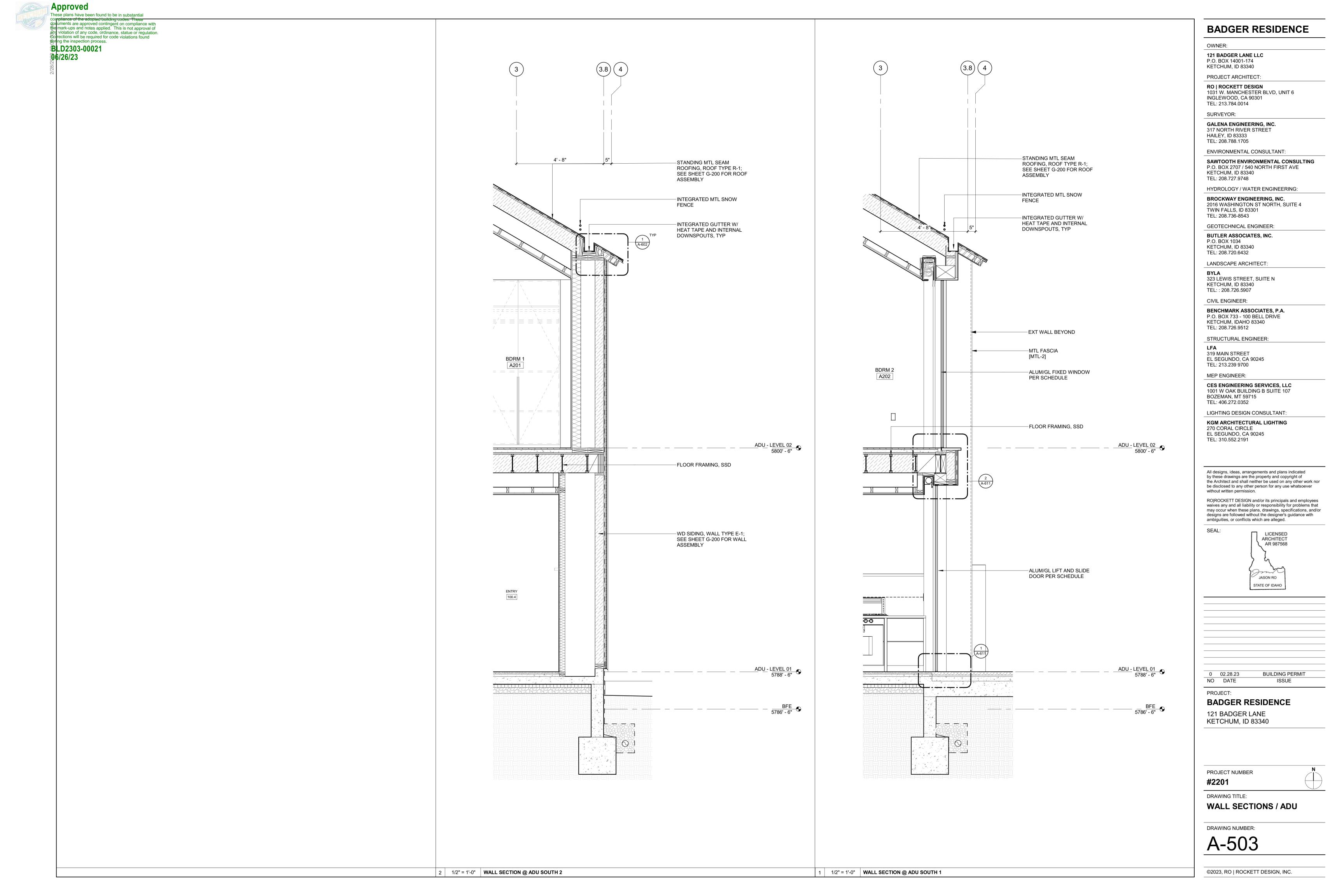
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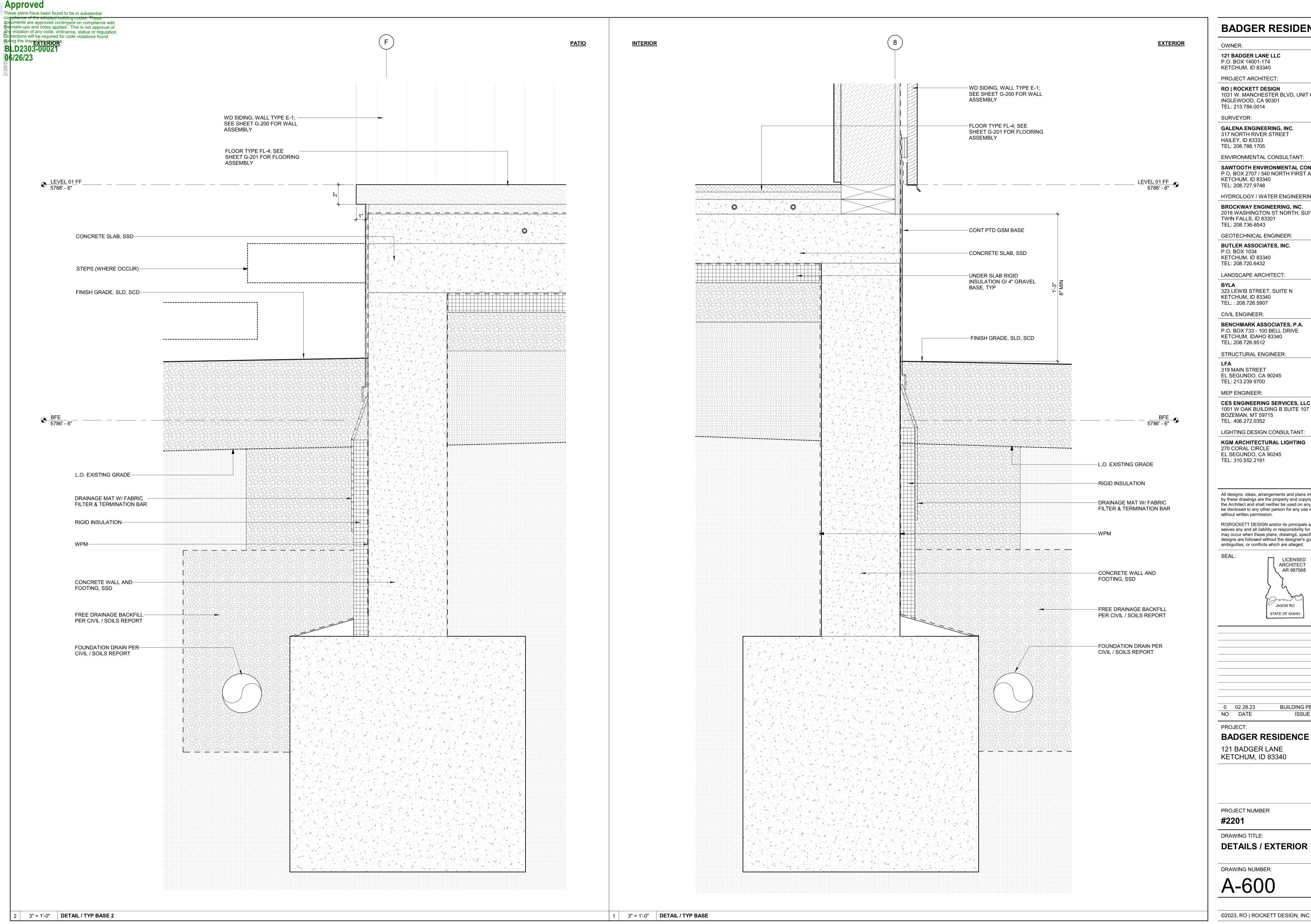
DRAWING TITLE:

**WALL SECTIONS** 

DRAWING NUMBER:







1031 W. MANCHESTER BLVD, UNIT 6

**GALENA ENGINEERING, INC.** 317 NORTH RIVER STREET

SAWTOOTH ENVIRONMENTAL CONSULTING P.O. BOX 2707 / 540 NORTH FIRST AVE

HYDROLOGY / WATER ENGINEERING:

2016 WASHINGTON ST NORTH, SUITE 4

GEOTECHNICAL ENGINEER:

**BUTLER ASSOCIATES, INC.** 

323 LEWIS STREET, SUITE N

P.O. BOX 733 - 100 BELL DRIVE KETCHUM, IDAHO 83340

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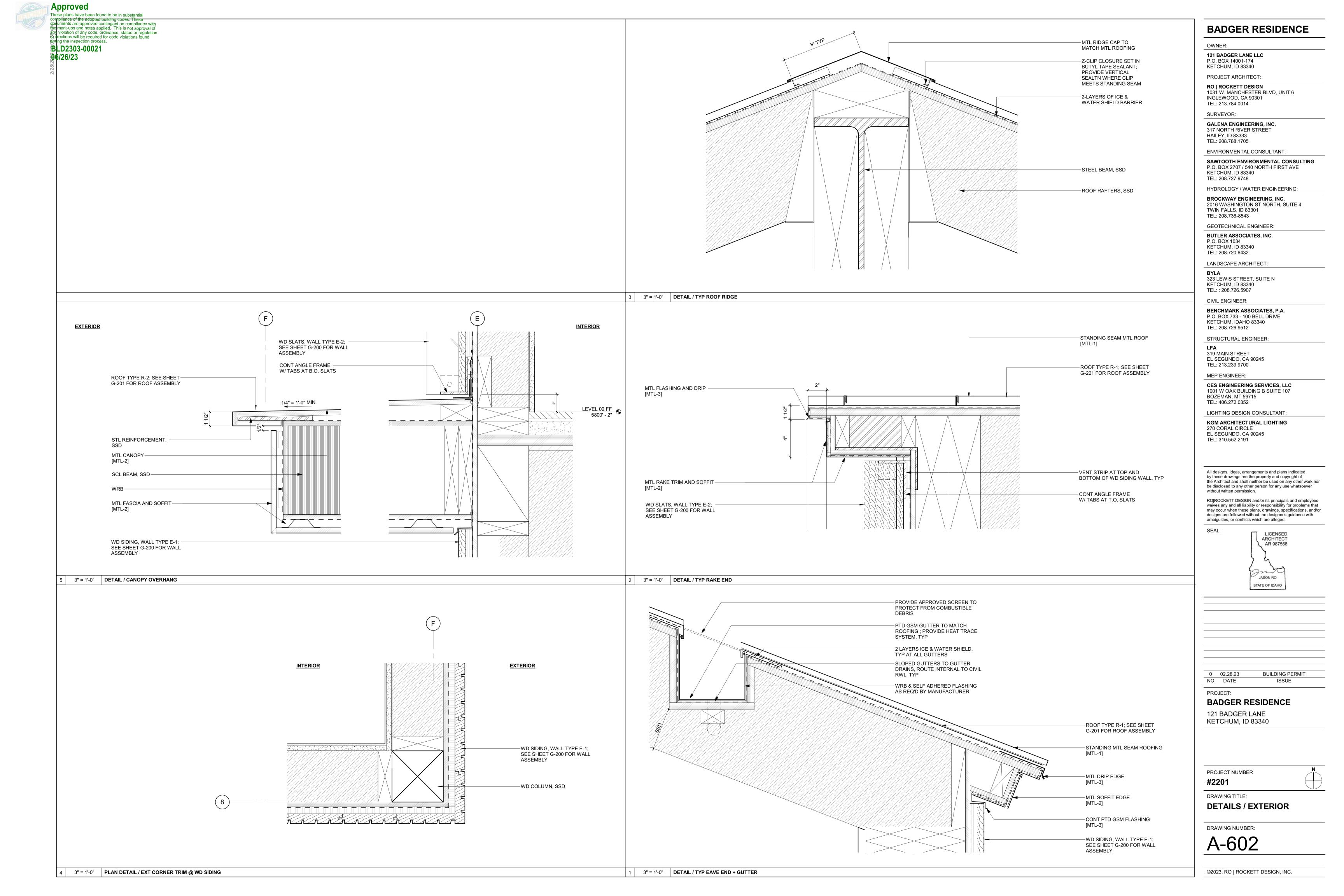


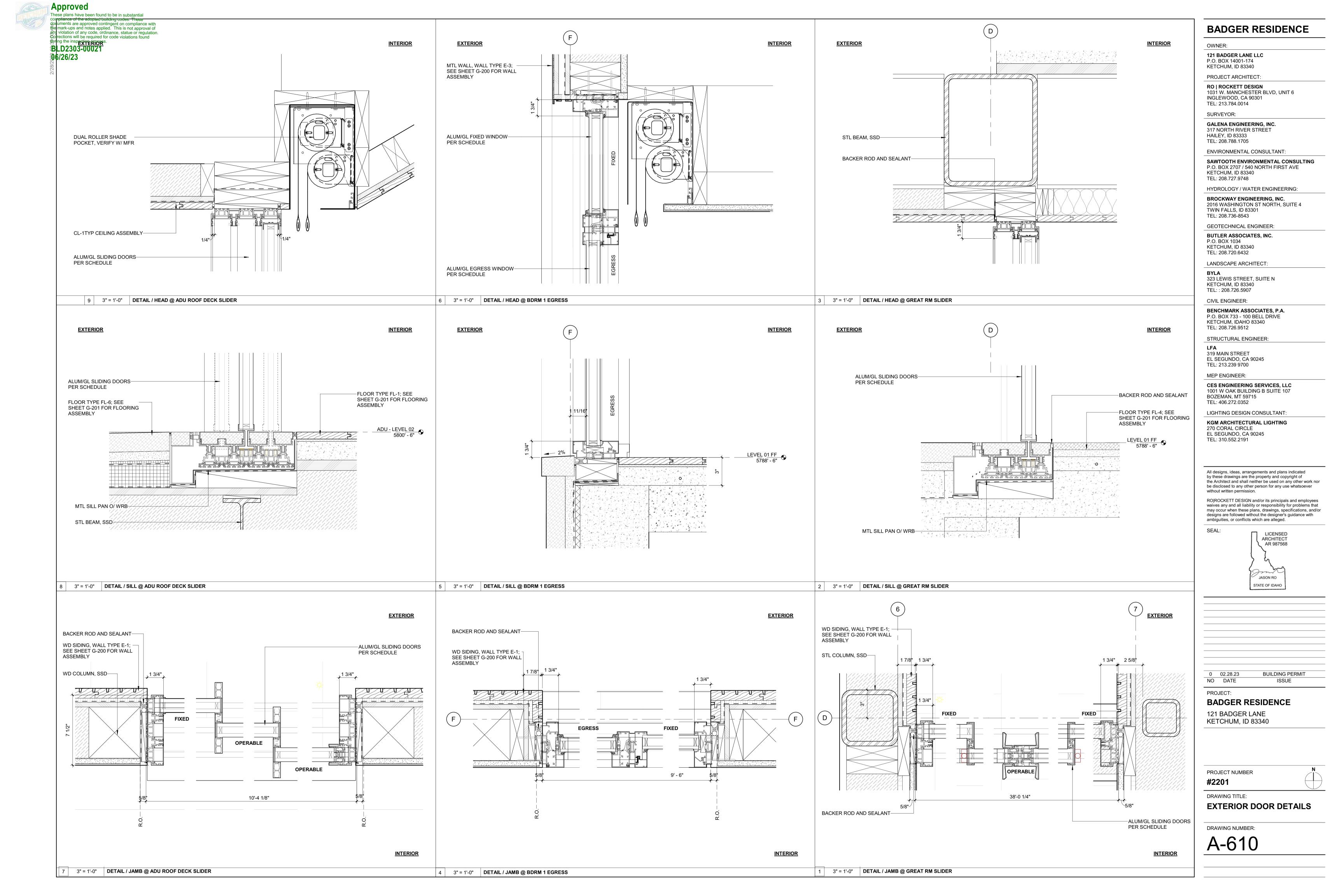
**BUILDING PERMIT** 

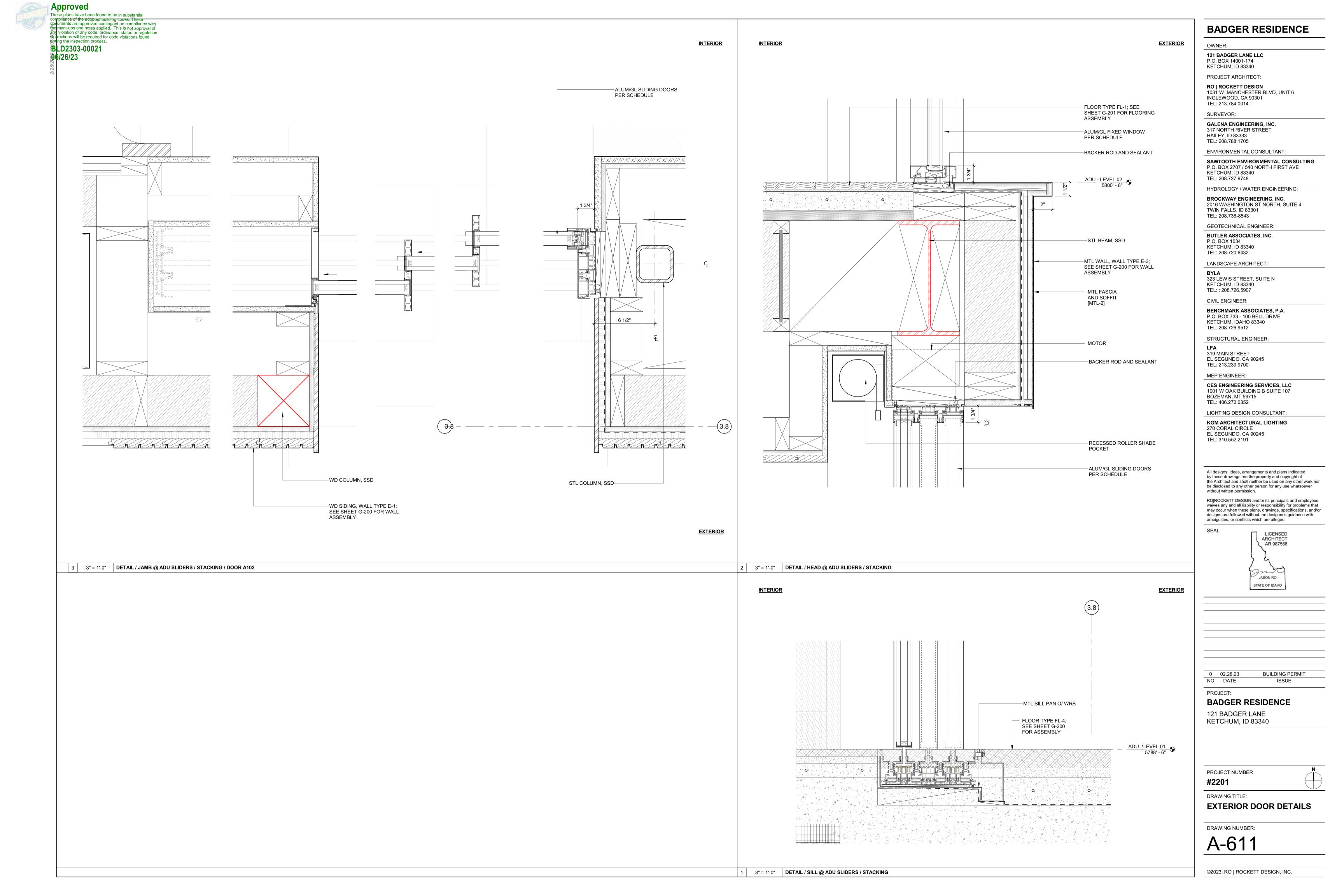
ISSUE

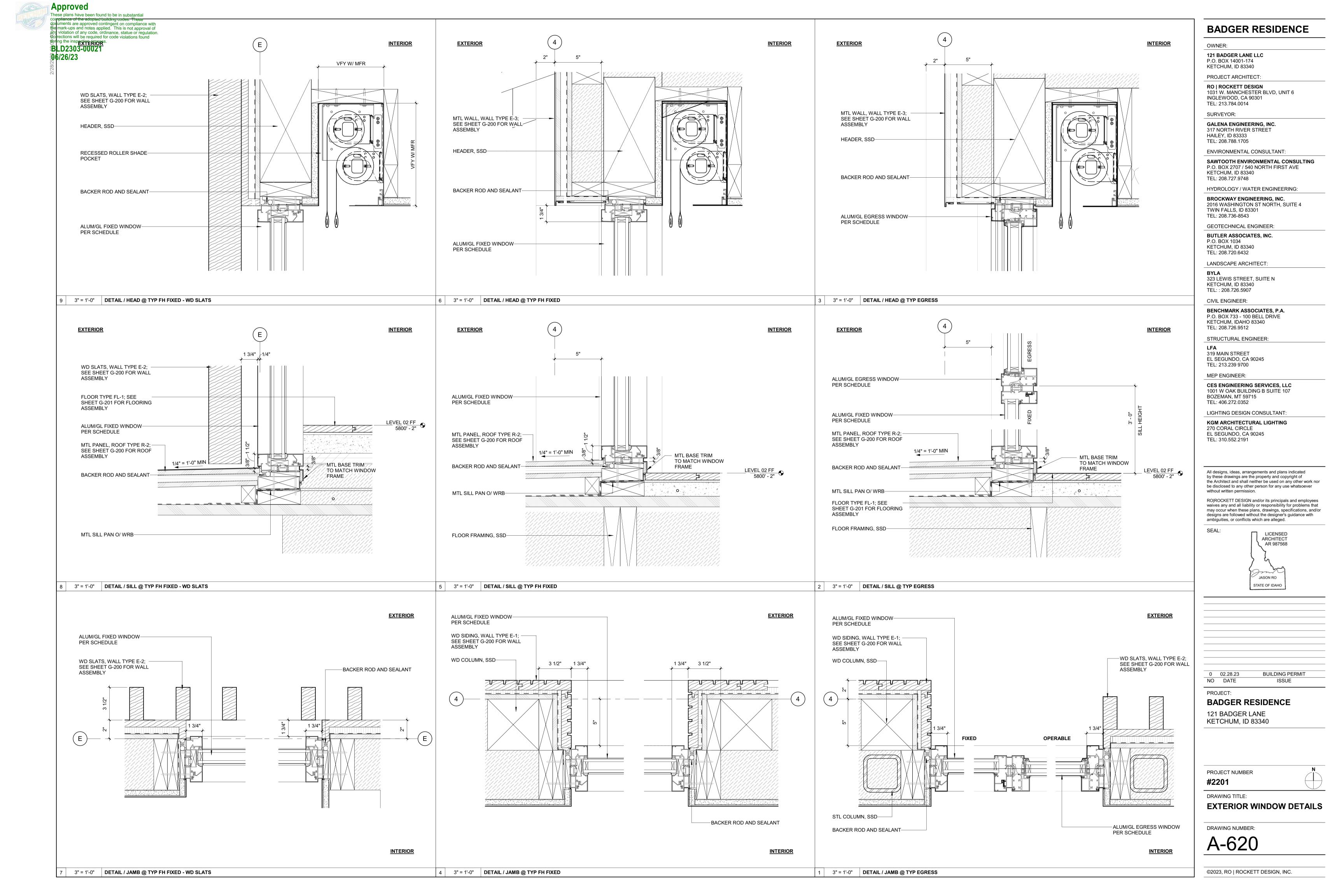
KETCHUM, ID 83340

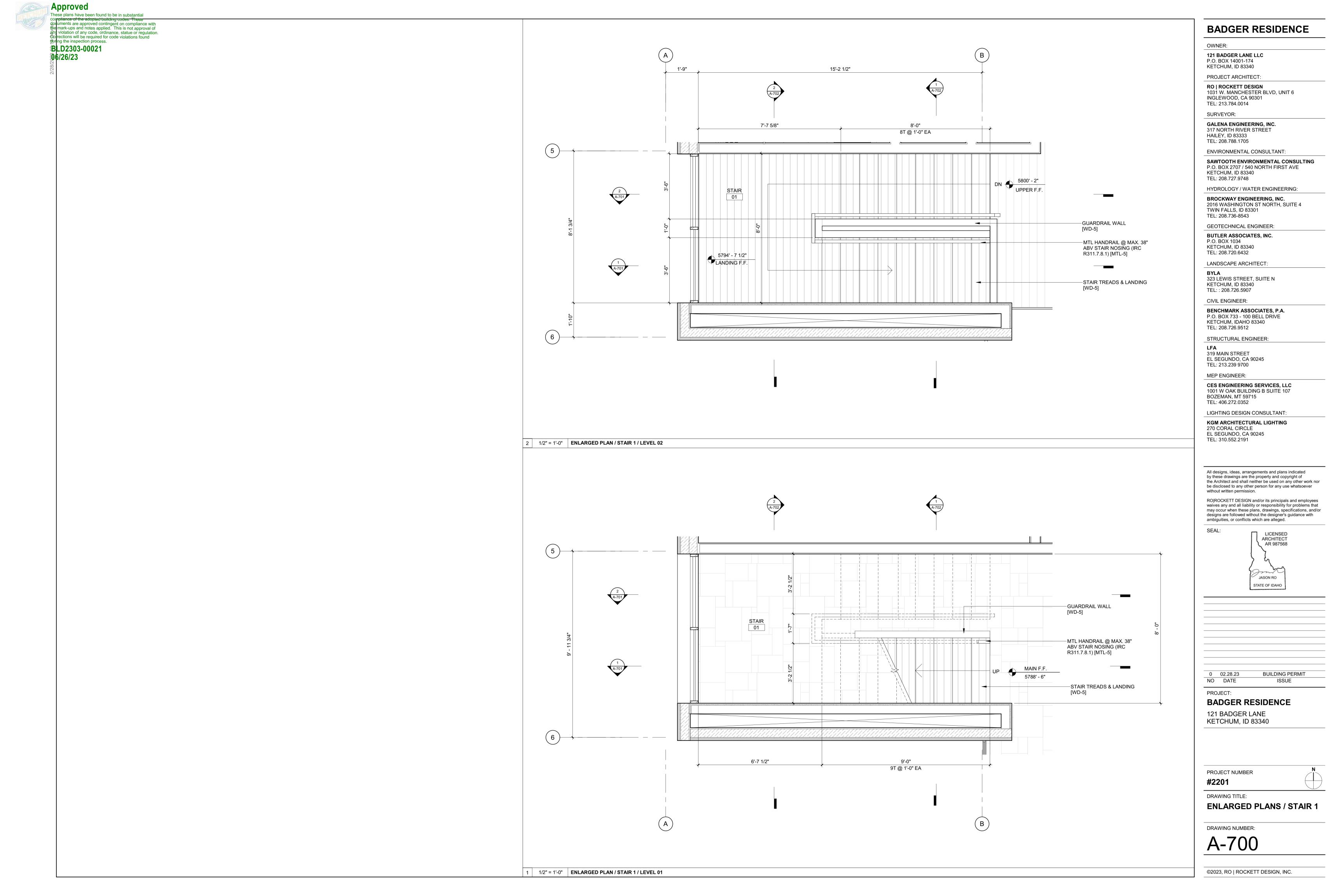
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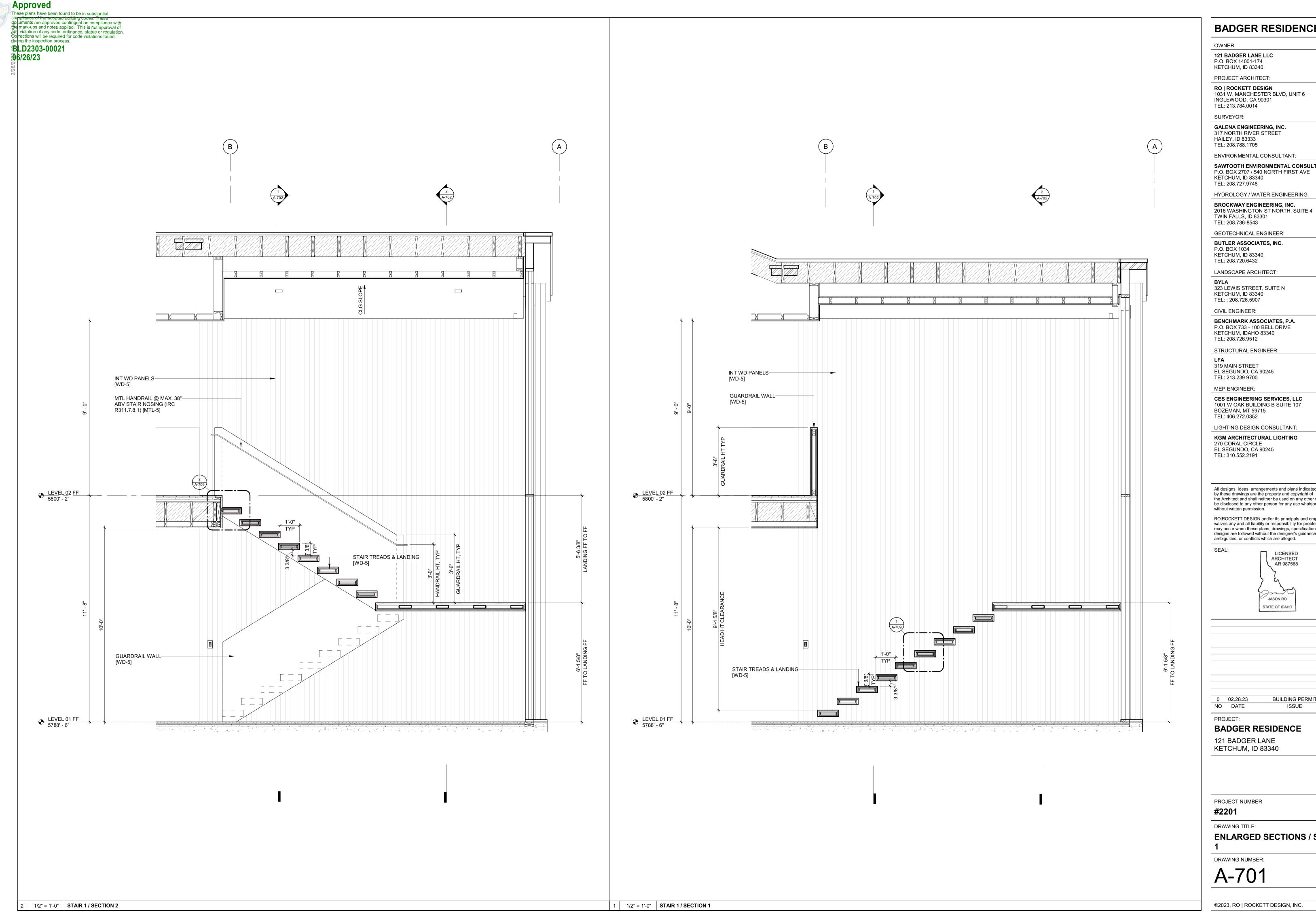












SAWTOOTH ENVIRONMENTAL CONSULTING P.O. BOX 2707 / 540 NORTH FIRST AVE

HYDROLOGY / WATER ENGINEERING: BROCKWAY ENGINEERING, INC.

323 LEWIS STREET, SUITE N

BENCHMARK ASSOCIATES, P.A. P.O. BOX 733 - 100 BELL DRIVE

**CES ENGINEERING SERVICES, LLC** 1001 W OAK BUILDING B SUITE 107

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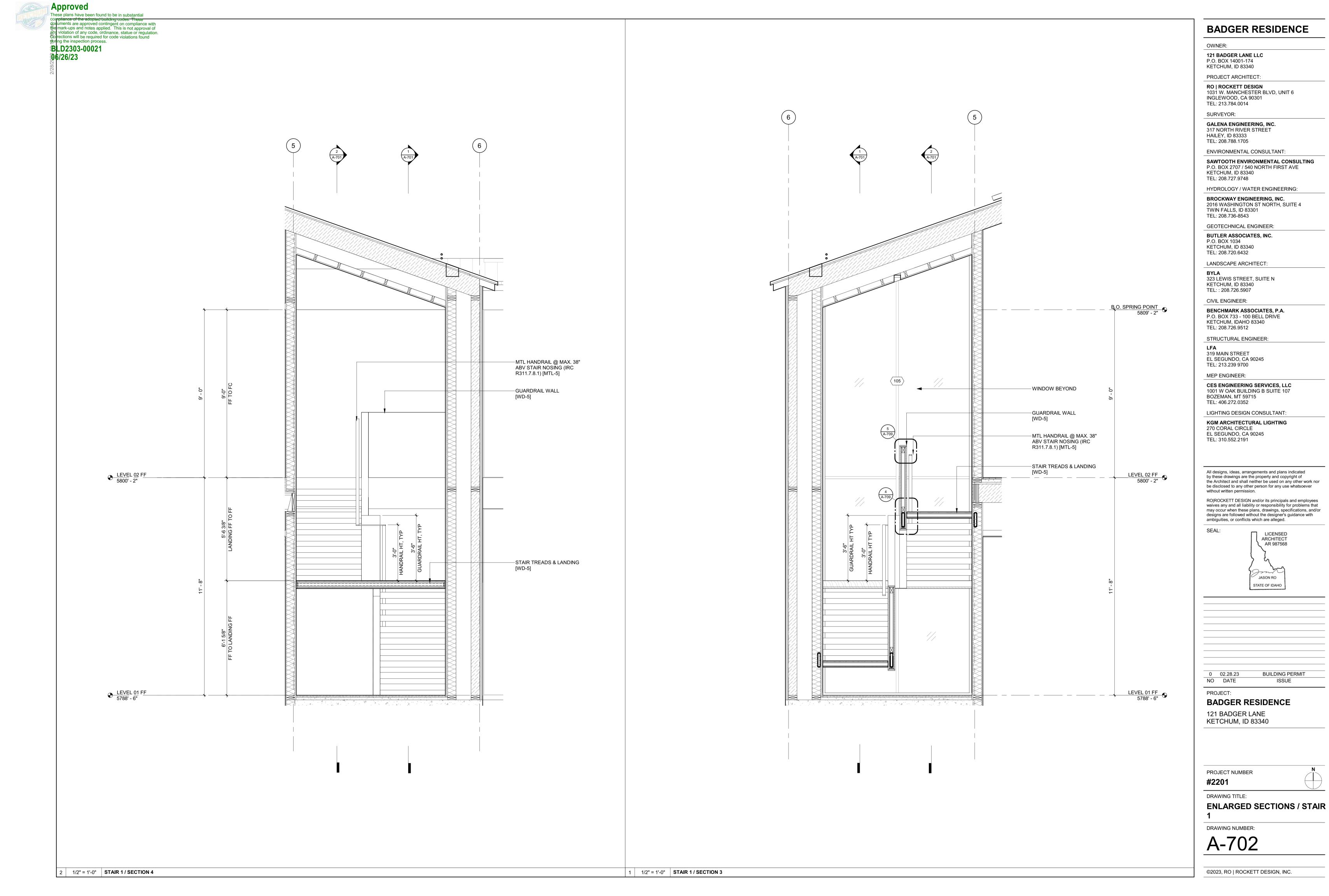
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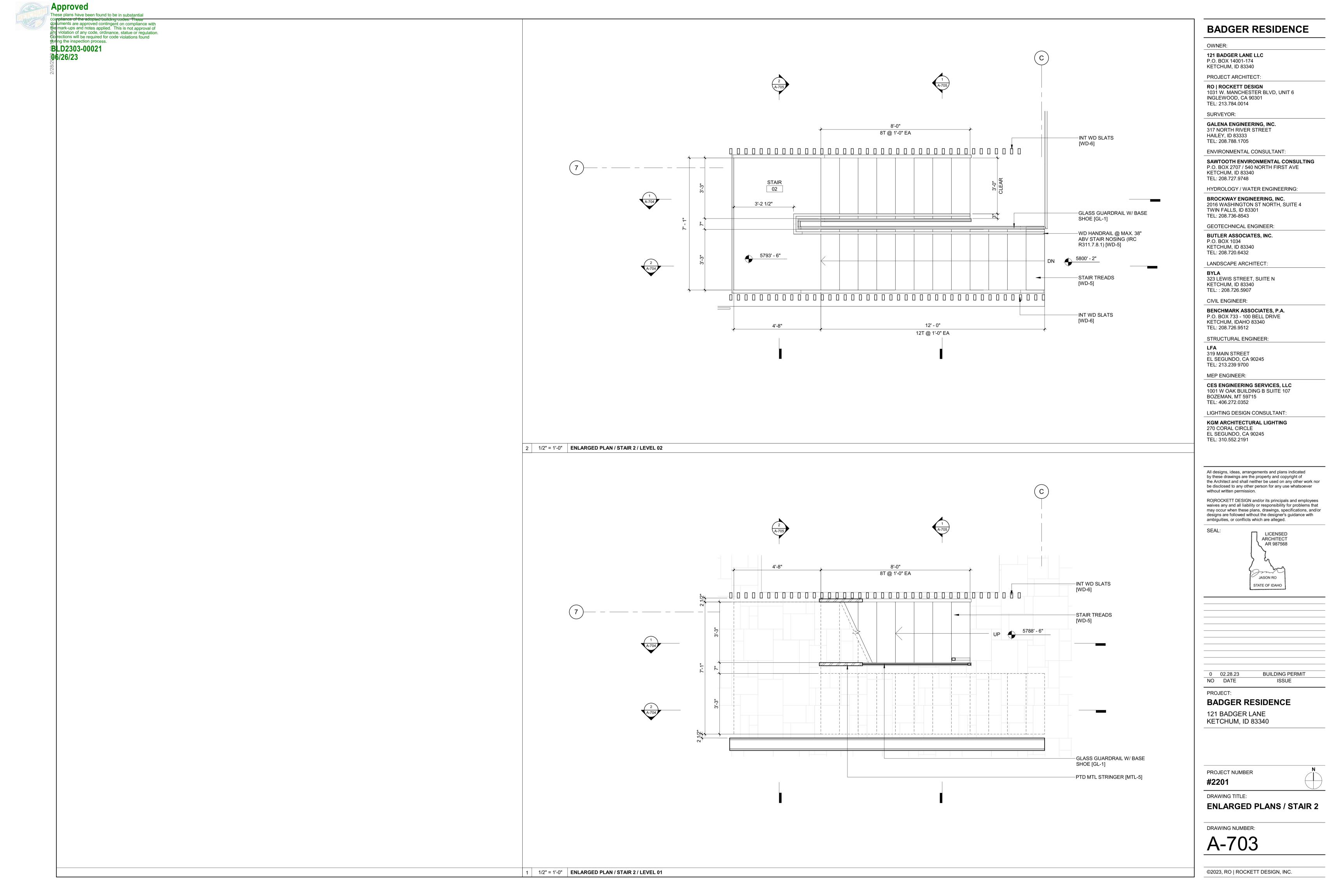


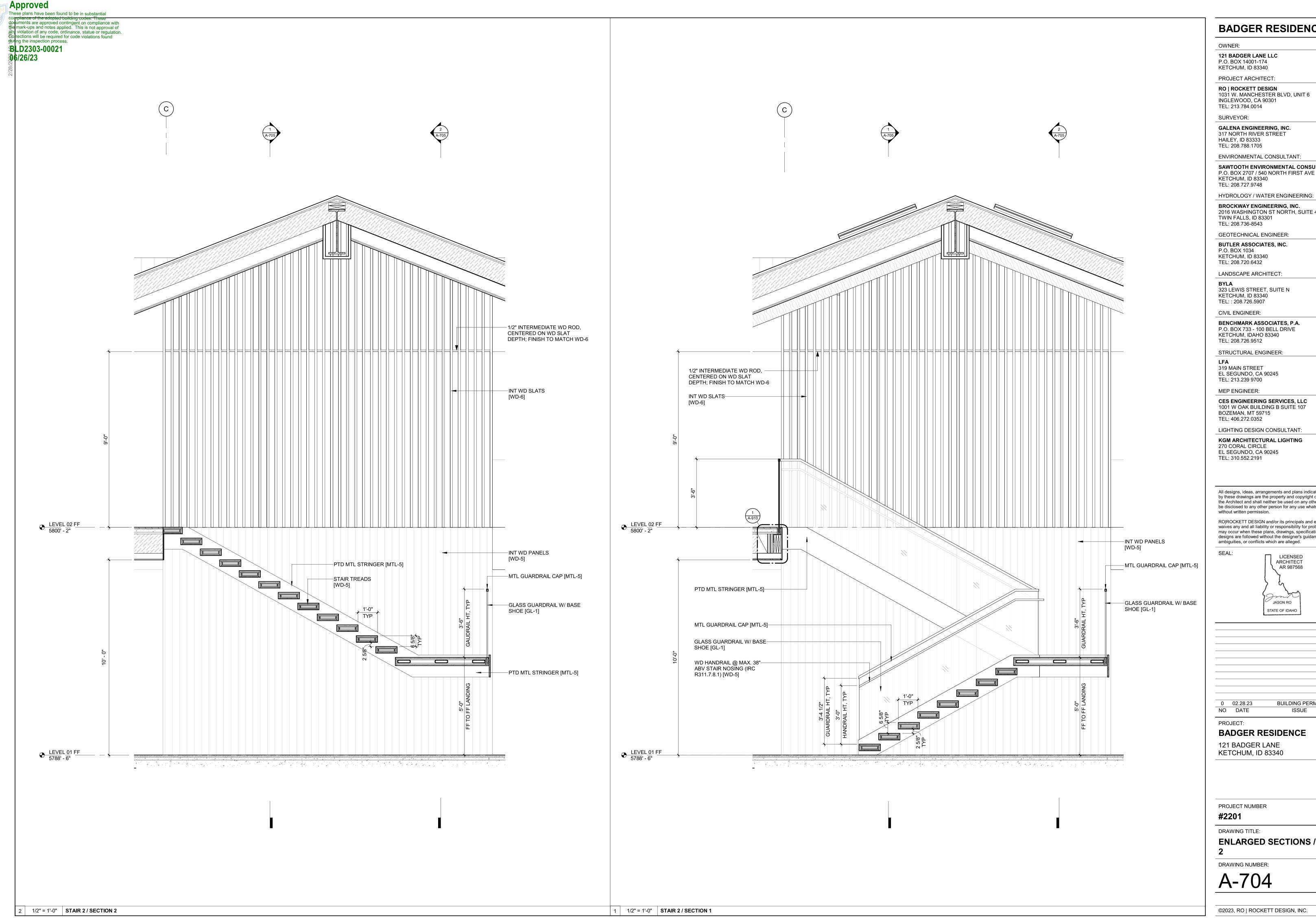
**BUILDING PERMIT** ISSUE

BADGER RESIDENCE

**ENLARGED SECTIONS / STAIR** 







RO | ROCKETT DESIGN 1031 W. MANCHESTER BLVD, UNIT 6

GALENA ENGINEERING, INC. 317 NORTH RIVER STREET

**ENVIRONMENTAL CONSULTANT:** 

SAWTOOTH ENVIRONMENTAL CONSULTING P.O. BOX 2707 / 540 NORTH FIRST AVE

BROCKWAY ENGINEERING, INC. 2016 WASHINGTON ST NORTH, SUITE 4

BUTLER ASSOCIATES, INC.

323 LEWIS STREET, SUITE N

BENCHMARK ASSOCIATES, P.A. P.O. BOX 733 - 100 BELL DRIVE KETCHUM, IDAHO 83340

CES ENGINEERING SERVICES, LLC

LIGHTING DESIGN CONSULTANT:

KGM ARCHITECTURAL LIGHTING EL SEGUNDO, CA 90245

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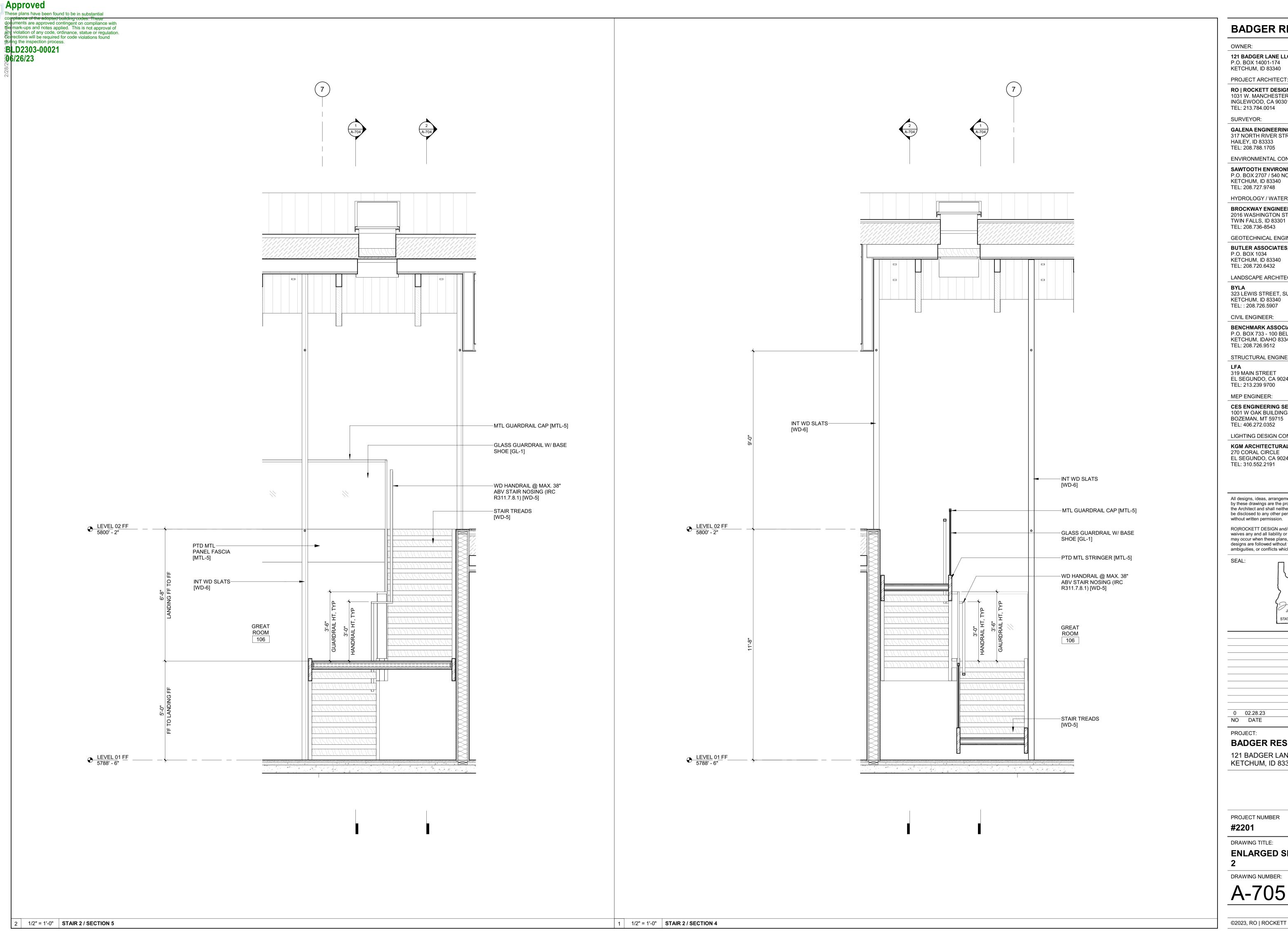
> LICENSED ARCHITECT AR 987568 JASON RO STATE OF IDAHO

**BUILDING PERMIT** ISSUE

BADGER RESIDENCE

KETCHUM, ID 83340

**ENLARGED SECTIONS / STAIR** 



OWNER:

121 BADGER LANE LLC

P.O. BOX 14001-174

KETCHUM, ID 83340

RO | ROCKETT DESIGN 1031 W. MANCHESTER BLVD, UNIT 6 INGLEWOOD, CA 90301

SURVEYOR:

GALENA ENGINEERING, INC. 317 NORTH RIVER STREET HAILEY, ID 83333

**ENVIRONMENTAL CONSULTANT:** 

SAWTOOTH ENVIRONMENTAL CONSULTING P.O. BOX 2707 / 540 NORTH FIRST AVE KETCHUM, ID 83340

HYDROLOGY / WATER ENGINEERING:

BROCKWAY ENGINEERING, INC. 2016 WASHINGTON ST NORTH, SUITE 4

TEL: 208.736-8543

GEOTECHNICAL ENGINEER: BUTLER ASSOCIATES, INC. P.O. BOX 1034

LANDSCAPE ARCHITECT:

323 LEWIS STREET, SUITE N KETCHUM, ID 83340

TEL:: 208.726.5907

BENCHMARK ASSOCIATES, P.A. P.O. BOX 733 - 100 BELL DRIVE KETCHUM, IDAHO 83340

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MEP ENGINEER:

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0 02.28.23 **BUILDING PERMIT** NO DATE ISSUE

**BADGER RESIDENCE** 

121 BADGER LANE

KETCHUM, ID 83340

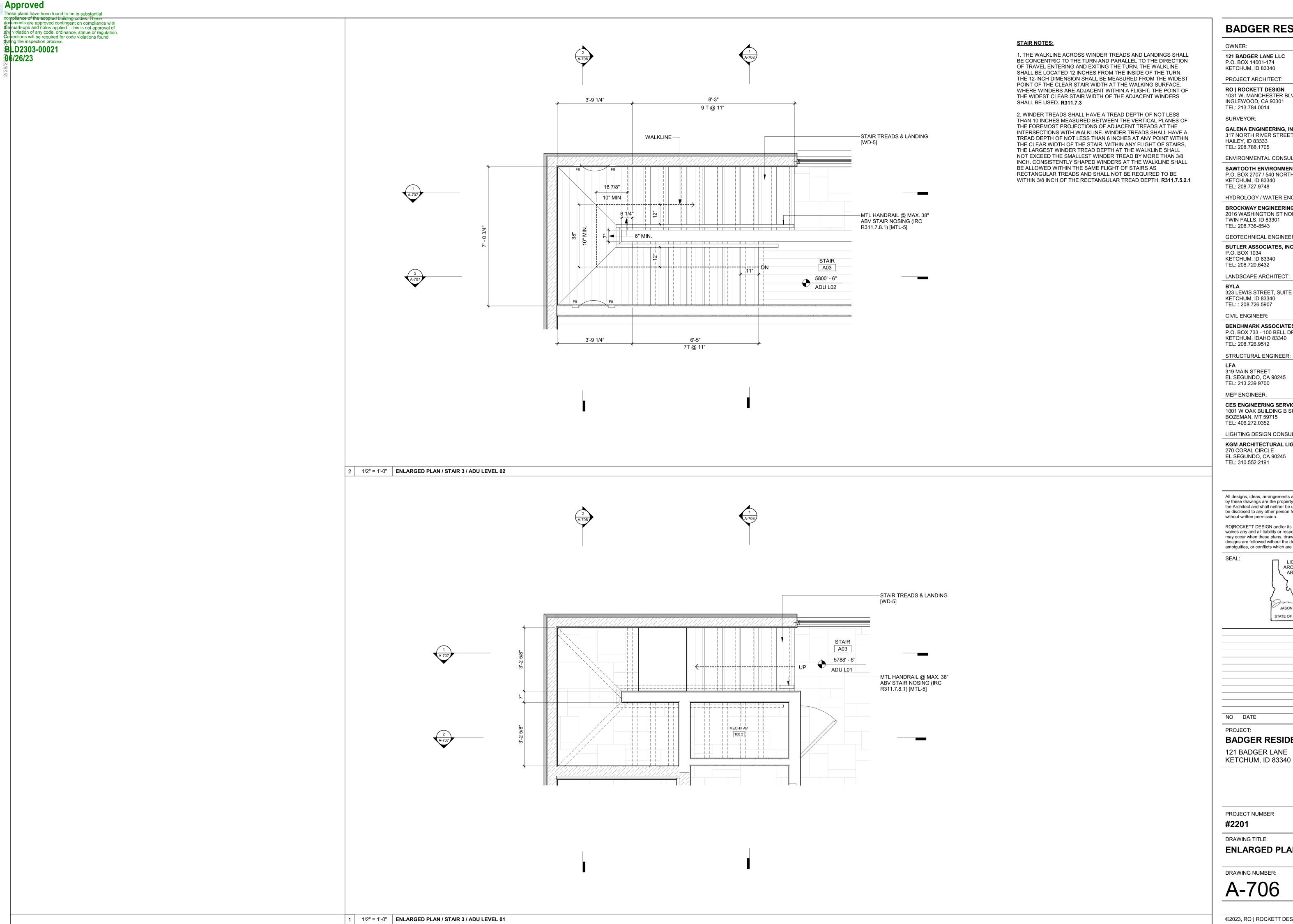
PROJECT NUMBER

#2201

DRAWING TITLE:

**ENLARGED SECTIONS / STAIR** 

DRAWING NUMBER:



OWNER:

121 BADGER LANE LLC

P.O. BOX 14001-174 KETCHUM, ID 83340

PROJECT ARCHITECT:

RO | ROCKETT DESIGN 1031 W. MANCHESTER BLVD, UNIT 6 INGLEWOOD, CA 90301

SURVEYOR:

GALENA ENGINEERING, INC. 317 NORTH RIVER STREET

TEL: 208.788.1705 **ENVIRONMENTAL CONSULTANT:** 

SAWTOOTH ENVIRONMENTAL CONSULTING P.O. BOX 2707 / 540 NORTH FIRST AVE KETCHUM, ID 83340

HYDROLOGY / WATER ENGINEERING:

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TWIN FALLS, ID 83301

TEL: 208.736-8543

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NO DATE

ISSUE

PROJECT: BADGER RESIDENCE

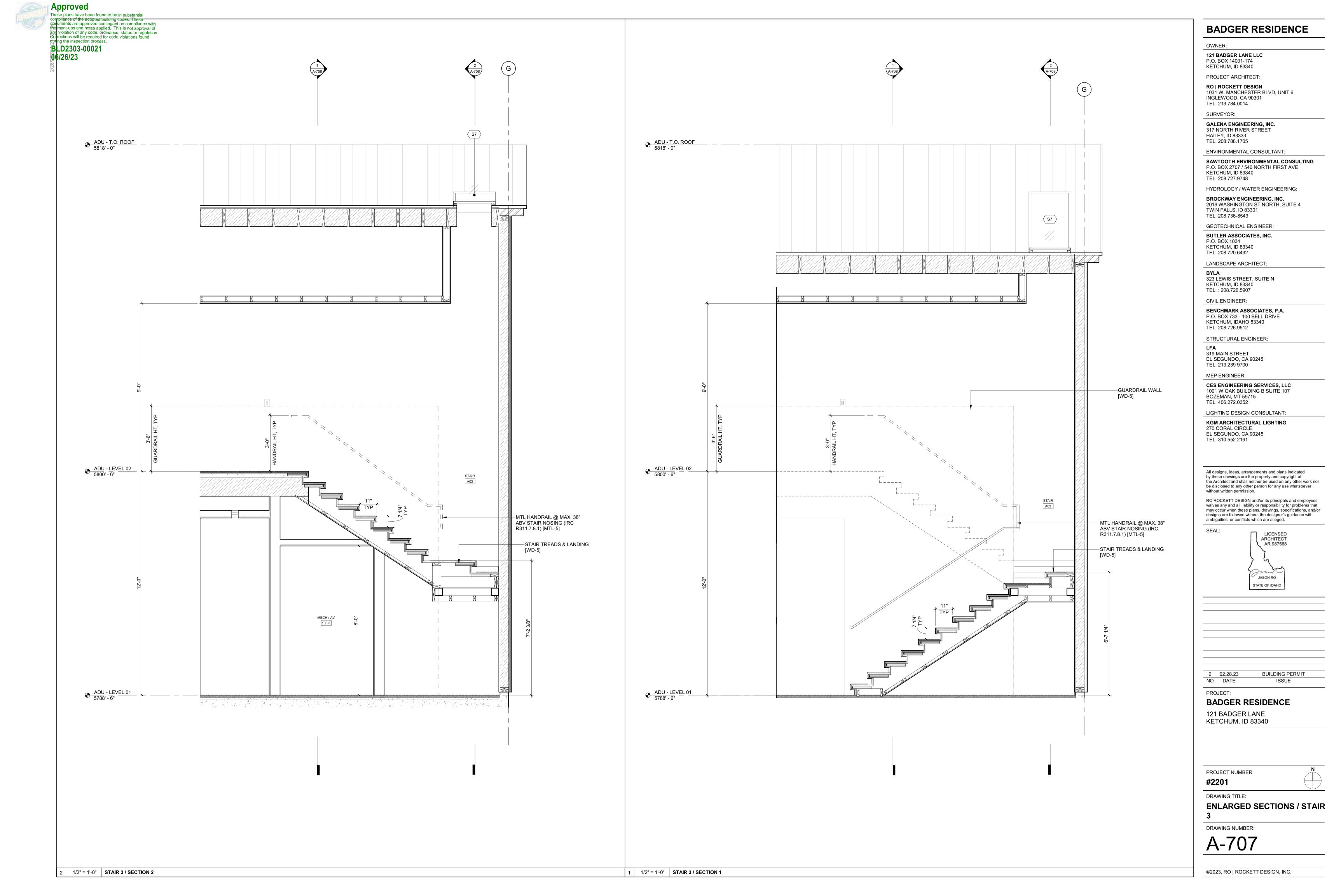
121 BADGER LANE

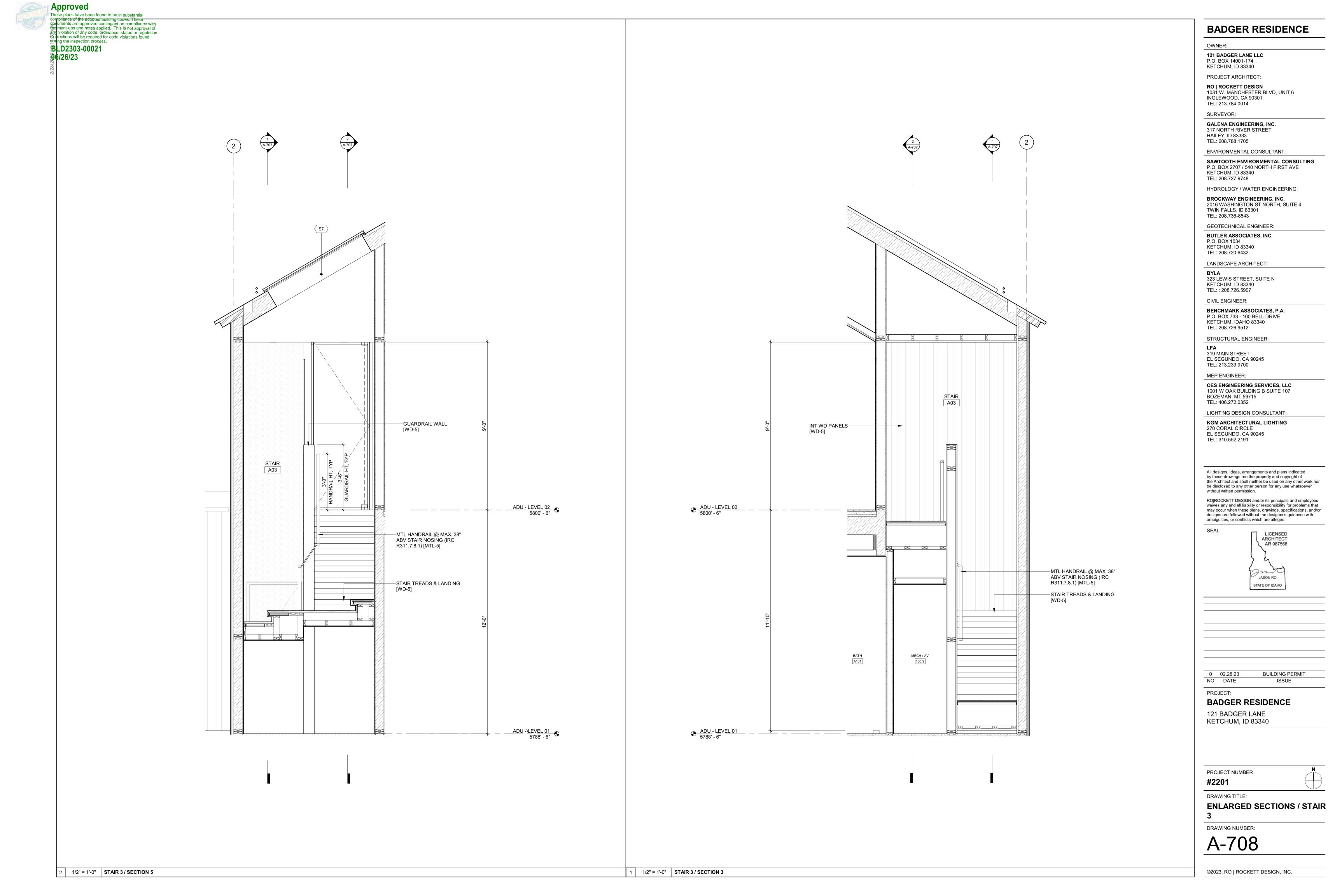
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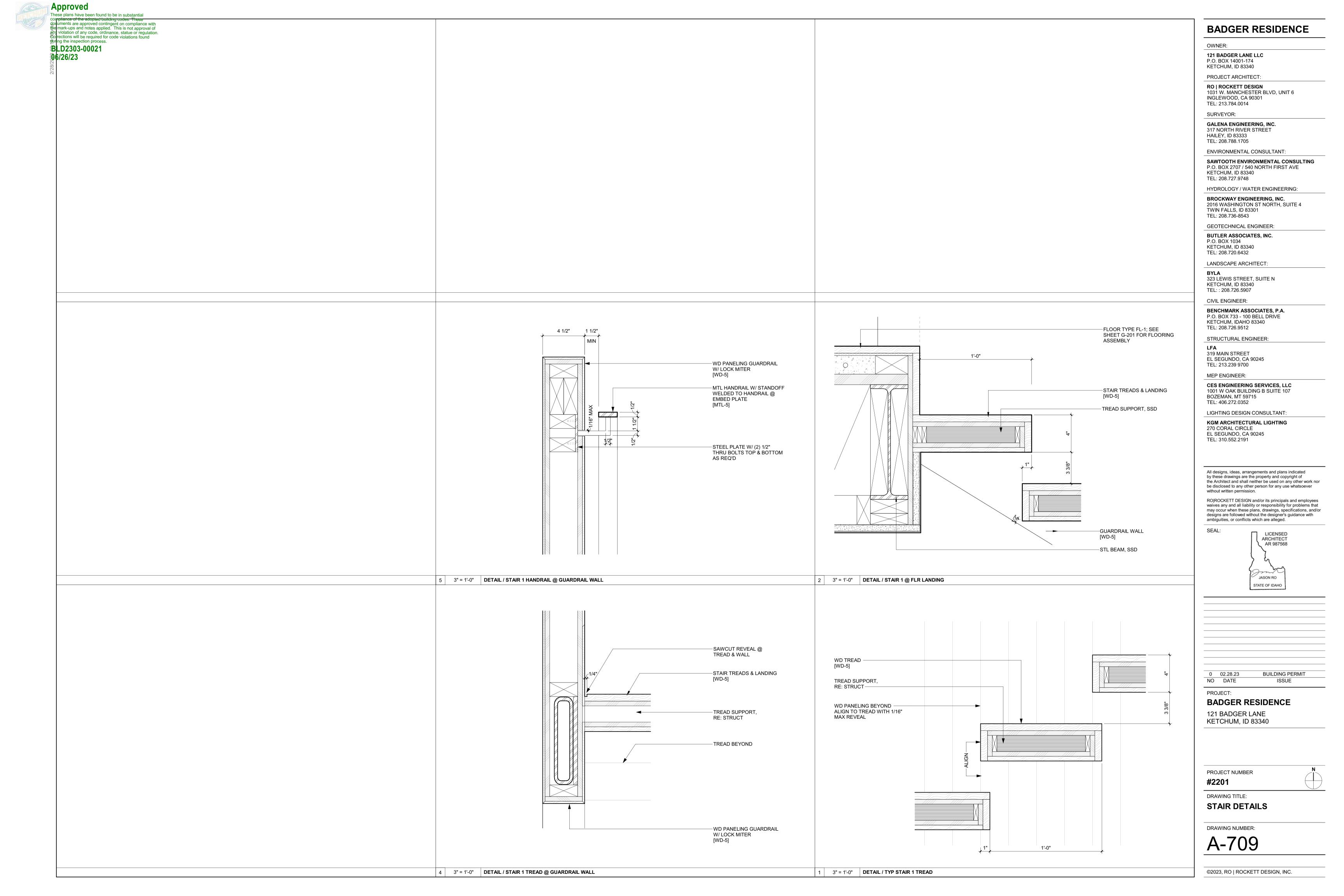
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**ENLARGED PLANS / STAIR 3** 

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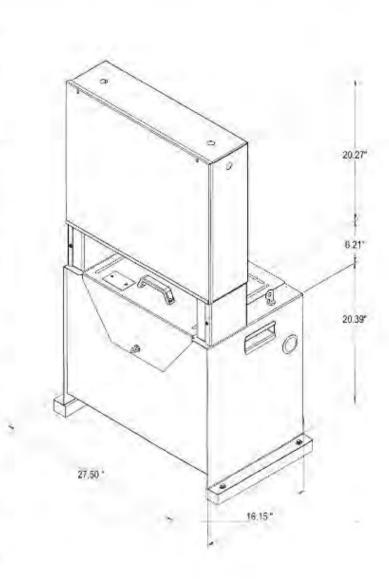


These plans have been found to be in substantial compliance of the adopted building codes. Thes documents are approved contingent on compliance with the mark-ups and notes applied. This is not approval of any violation of any code, ordinance, statue or regulation. Corrections will be required for code violations found during the inspection process.

**BLD2303-00021 96/26/23** 

Controller tank specifications

Controller tank specifica	tions	
Dimensions	Height: 47" (1194 mm) Width: 28" (711 mm) Depth: 17" (432 mm) 39.37" (1000 mm)	
Minimum required clearance		
Valve and manual lowering handle location	Inside tank	
Rupture valve test	T-fitting factory installed	
Tank to controller wiring	Quick connect valve and motor wiring	
Controller layout	Relay board	
Keyed lock to tank	Yes	
Machine room required	No (with local jurisdiction approval)	
Tank capacity (gal/ltr)	15-16.5 gal/57-63 ltr	
Maximum dry weight (lb/kg)	147 lb/55 kg	
Maximum filled weight (lb/kg)	312 lb/117 kg	
Operating environment	50°F - 120°F /10°C - 49°C	
Operating volume	57 dBA	



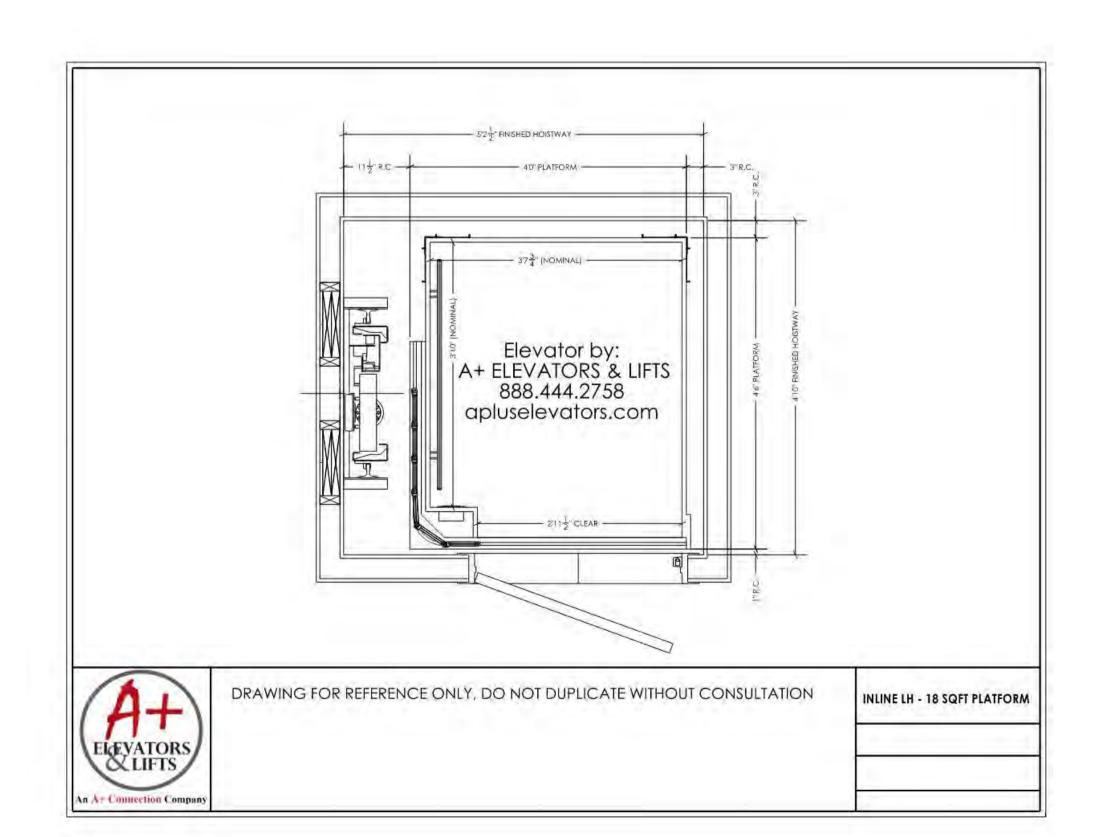
- · Hydraulic hose connection port on both sides of the
- Built-in handles on both sides of the tank

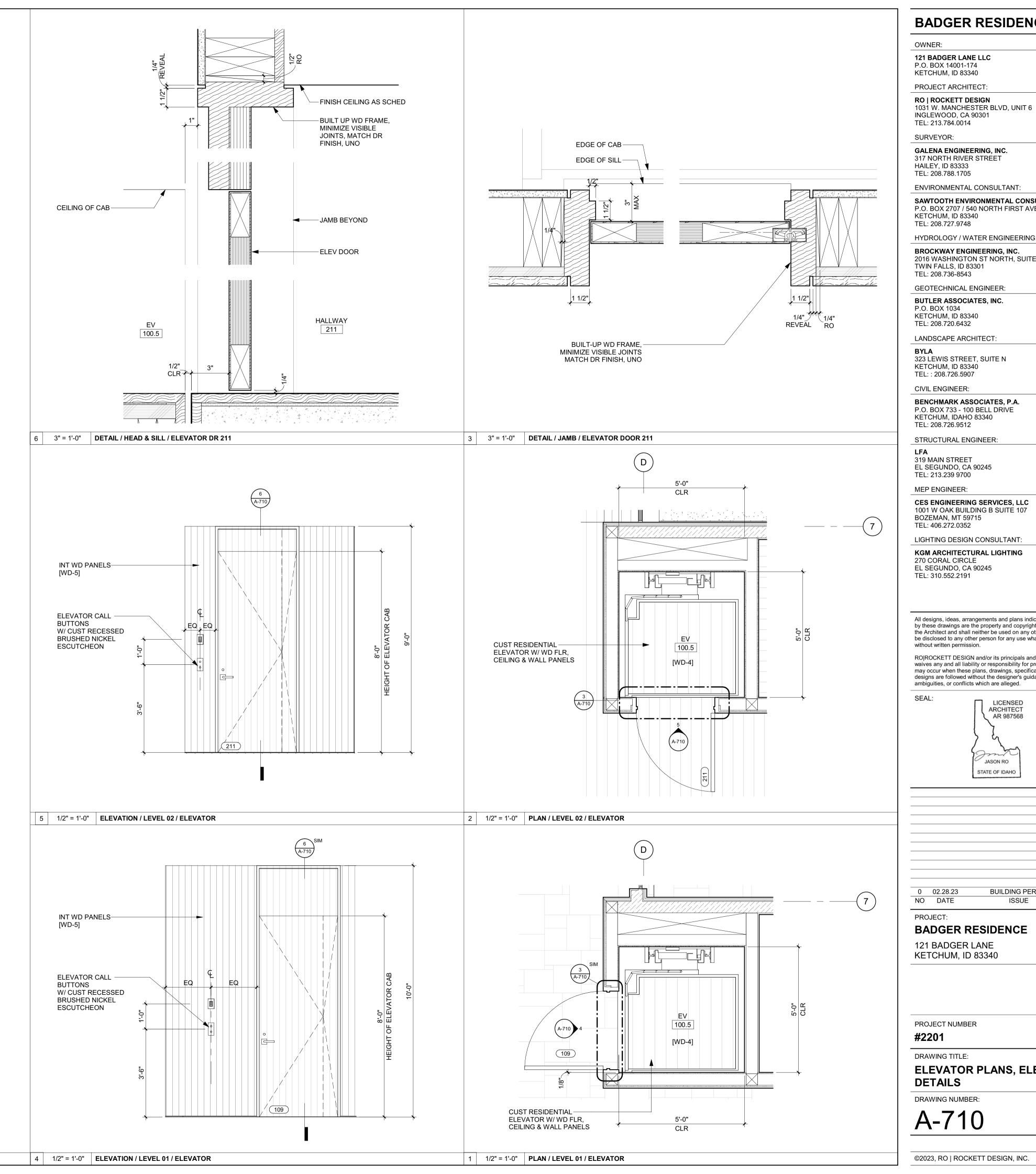
Controller tank features

 Isolation mounting of pump motor valve assembly minimizes operating issues

Part No. 000783, 25-m05-2015

Infinity and Infinity HD Planning Guide





**BADGER RESIDENCE** 

OWNER:

121 BADGER LANE LLC P.O. BOX 14001-174

KETCHUM, ID 83340

PROJECT ARCHITECT:

TEL: 213.784.0014

GALENA ENGINEERING, INC. 317 NORTH RIVER STREET

HAILEY, ID 83333 TEL: 208.788.1705

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TEL: : 208.726.5907 CIVIL ENGINEER:

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STRUCTURAL ENGINEER:

319 MAIN STREET EL SEGUNDO, CA 90245 TEL: 213.239 9700

MEP ENGINEER:

**CES ENGINEERING SERVICES, LLC** 1001 W OAK BUILDING B SUITE 107 BOZEMAN, MT 59715 TEL: 406.272.0352

LIGHTING DESIGN CONSULTANT:

KGM ARCHITECTURAL LIGHTING 270 CORAL CIRCLE EL SEGUNDO, CA 90245

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ambiguities, or conflicts which are alleged. LICENSED ARCHITECT AR 987568 JASON RO

STATE OF IDAHO

0 02.28.23 **BUILDING PERMIT** NO DATE ISSUE

PROJECT:

BADGER RESIDENCE

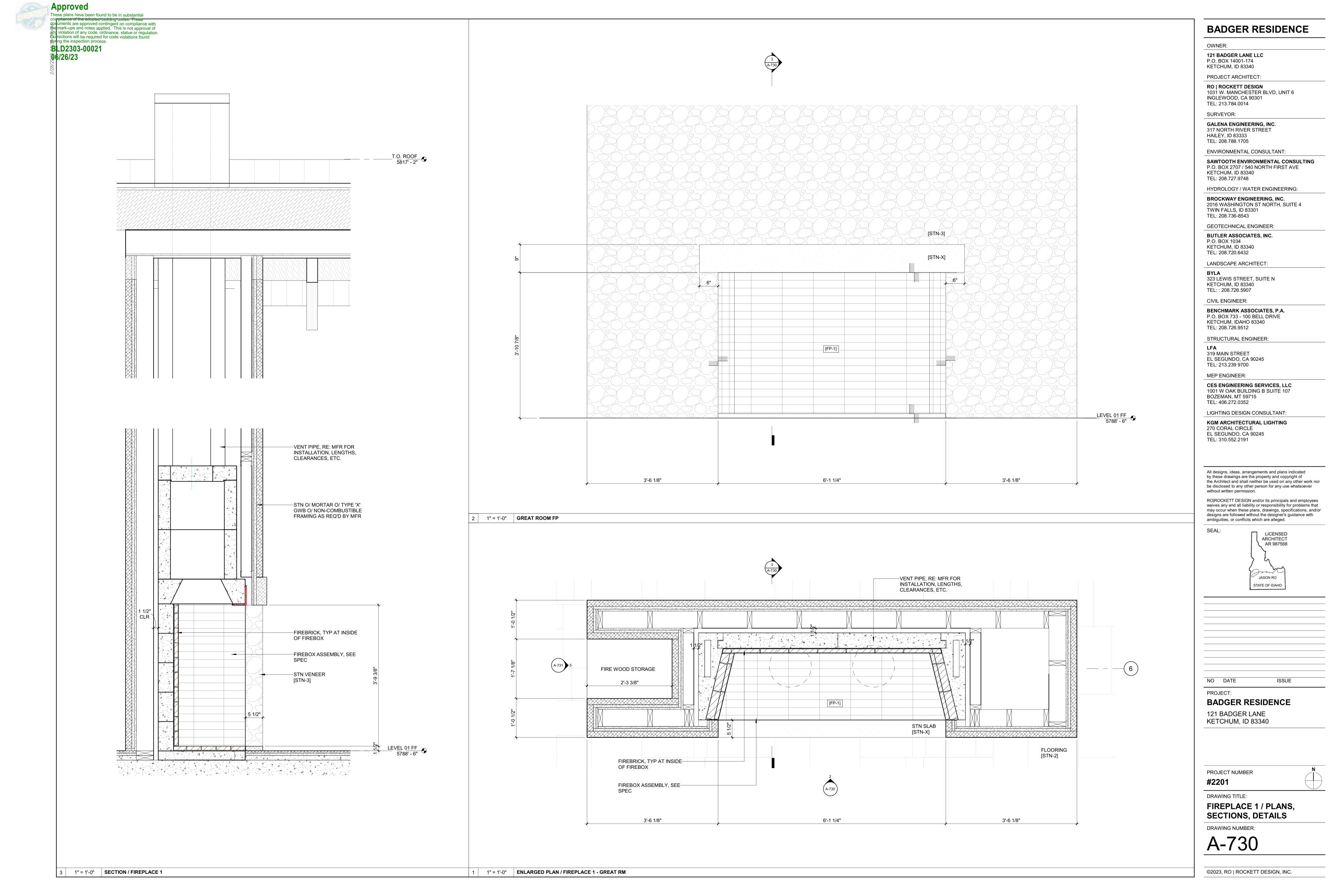
121 BADGER LANE KETCHUM, ID 83340

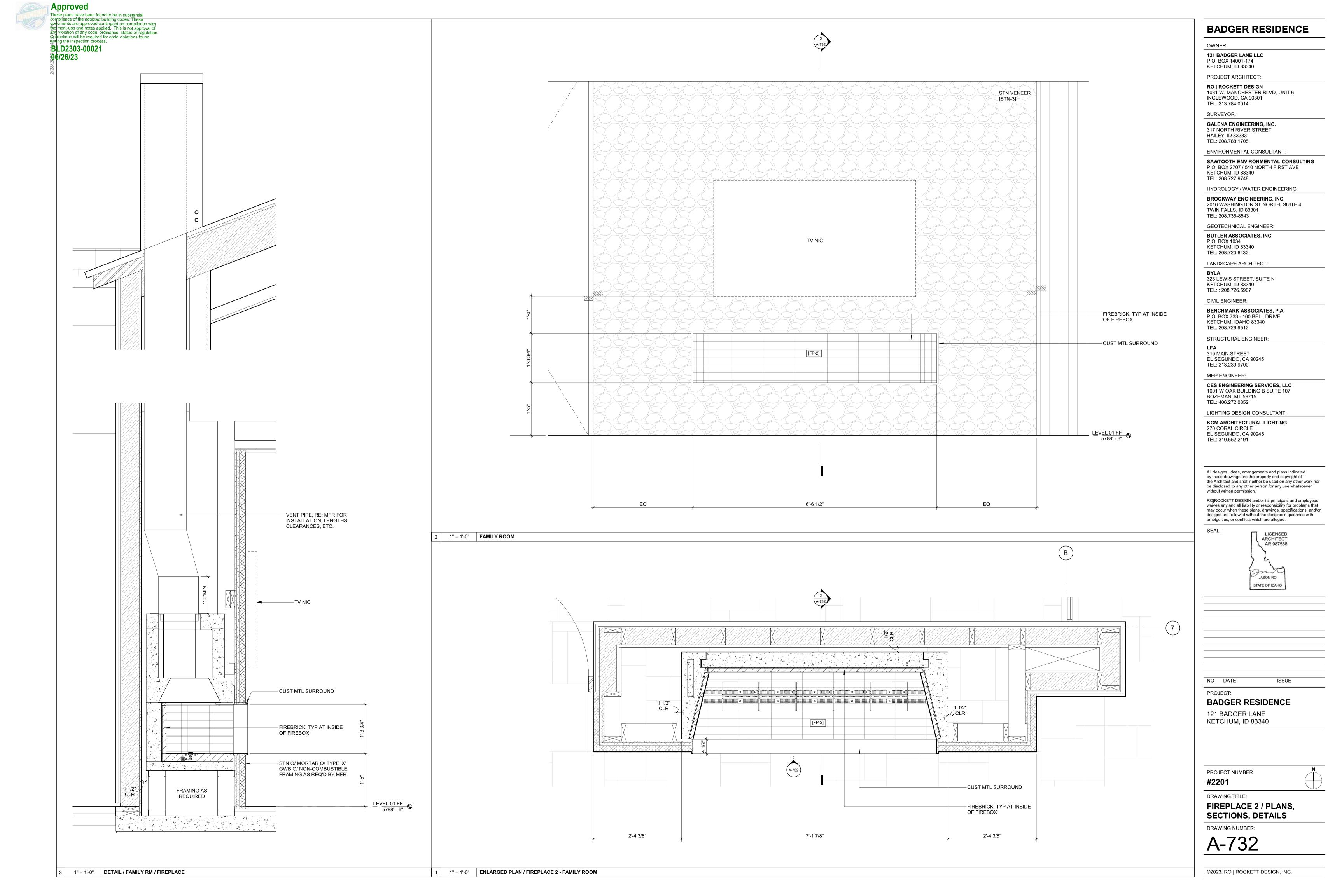
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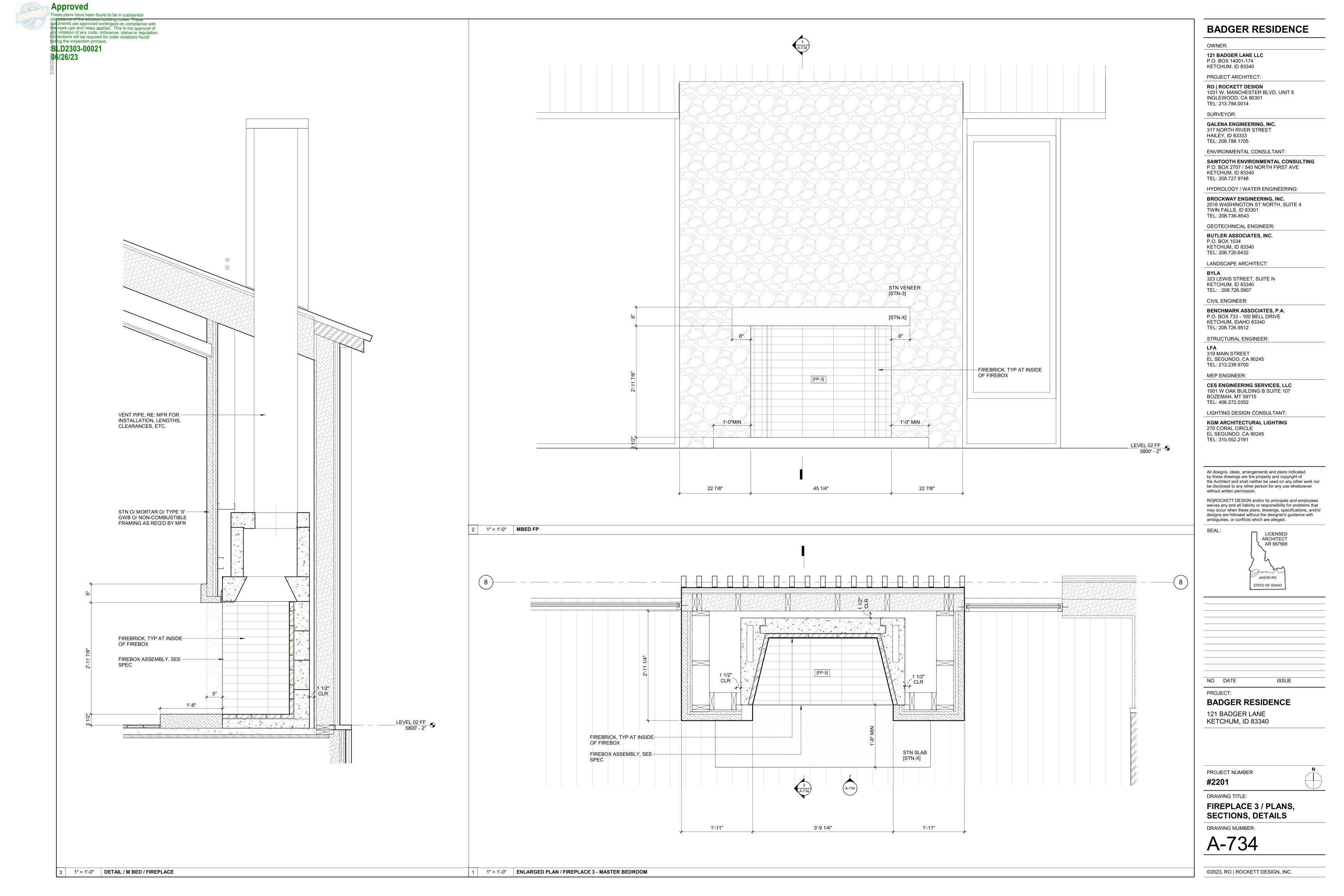
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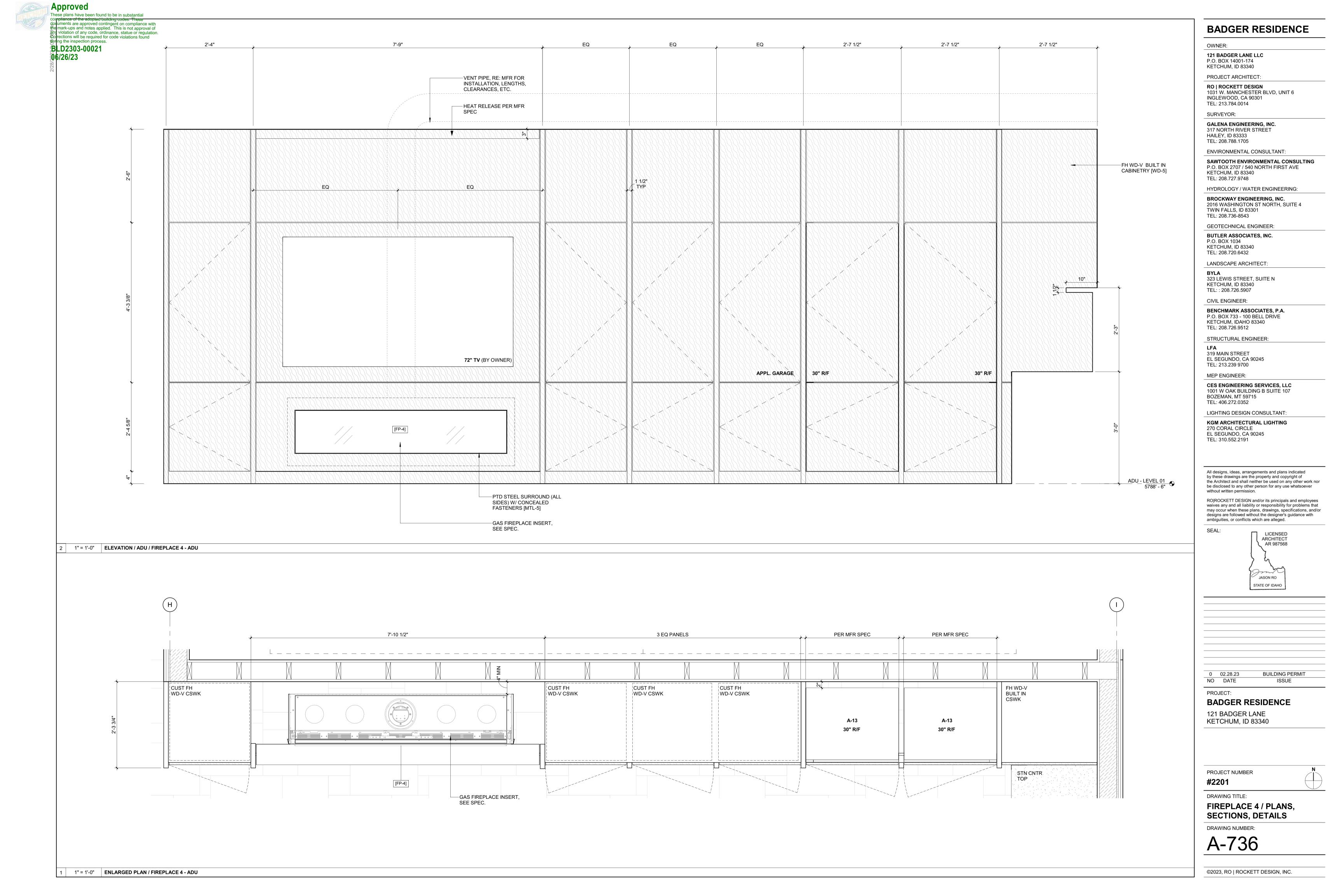
**ELEVATOR PLANS, ELEVS & DETAILS** 

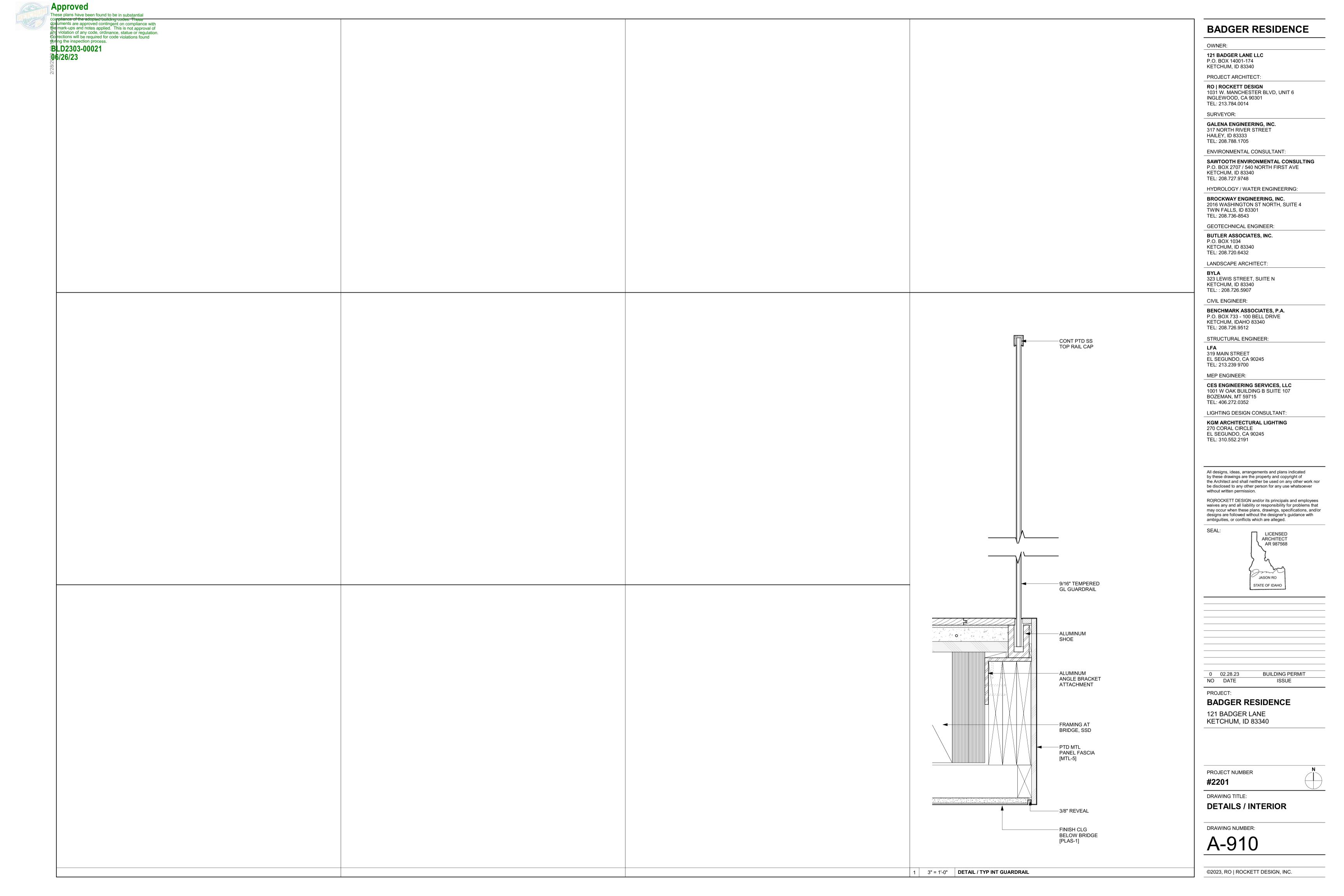
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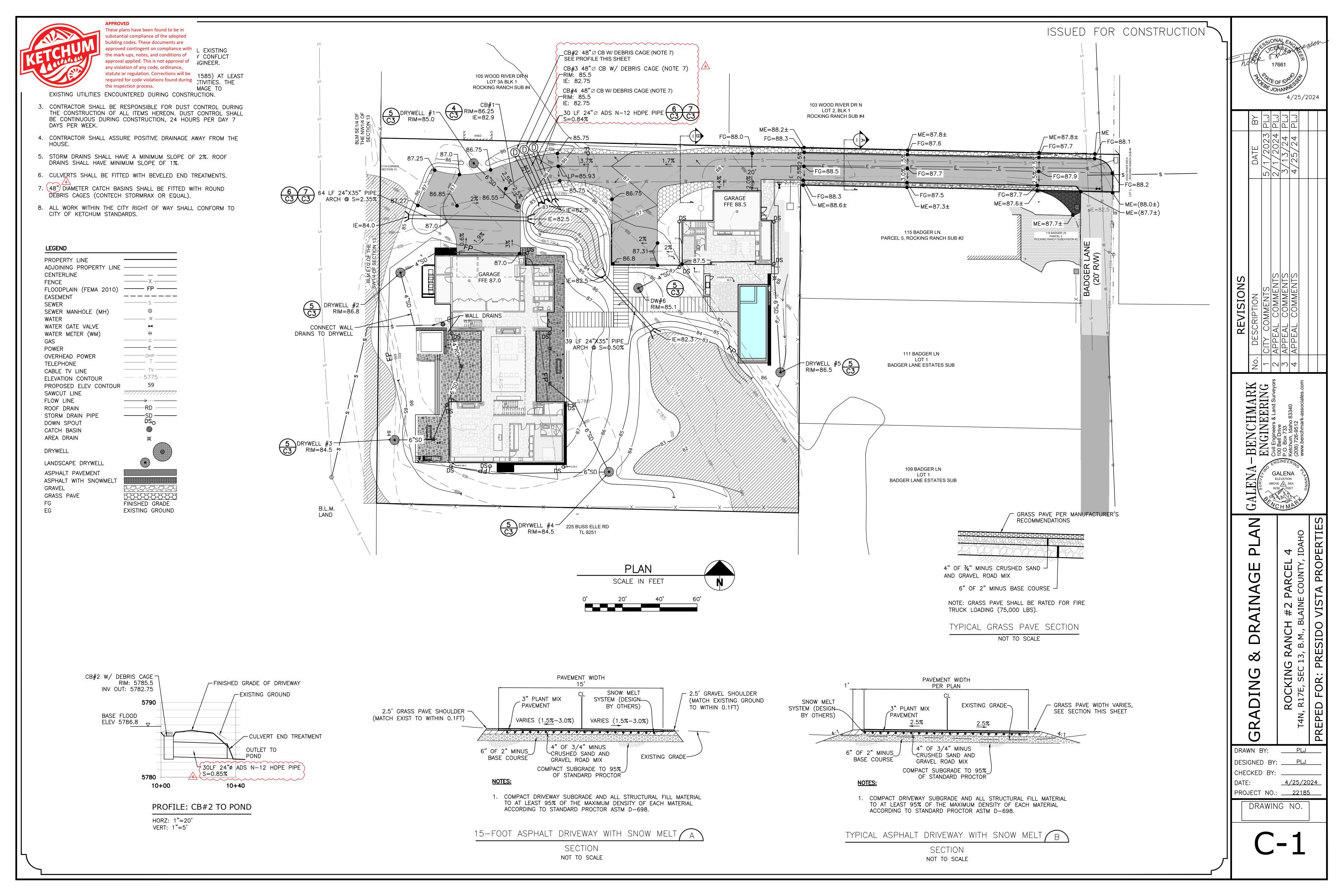


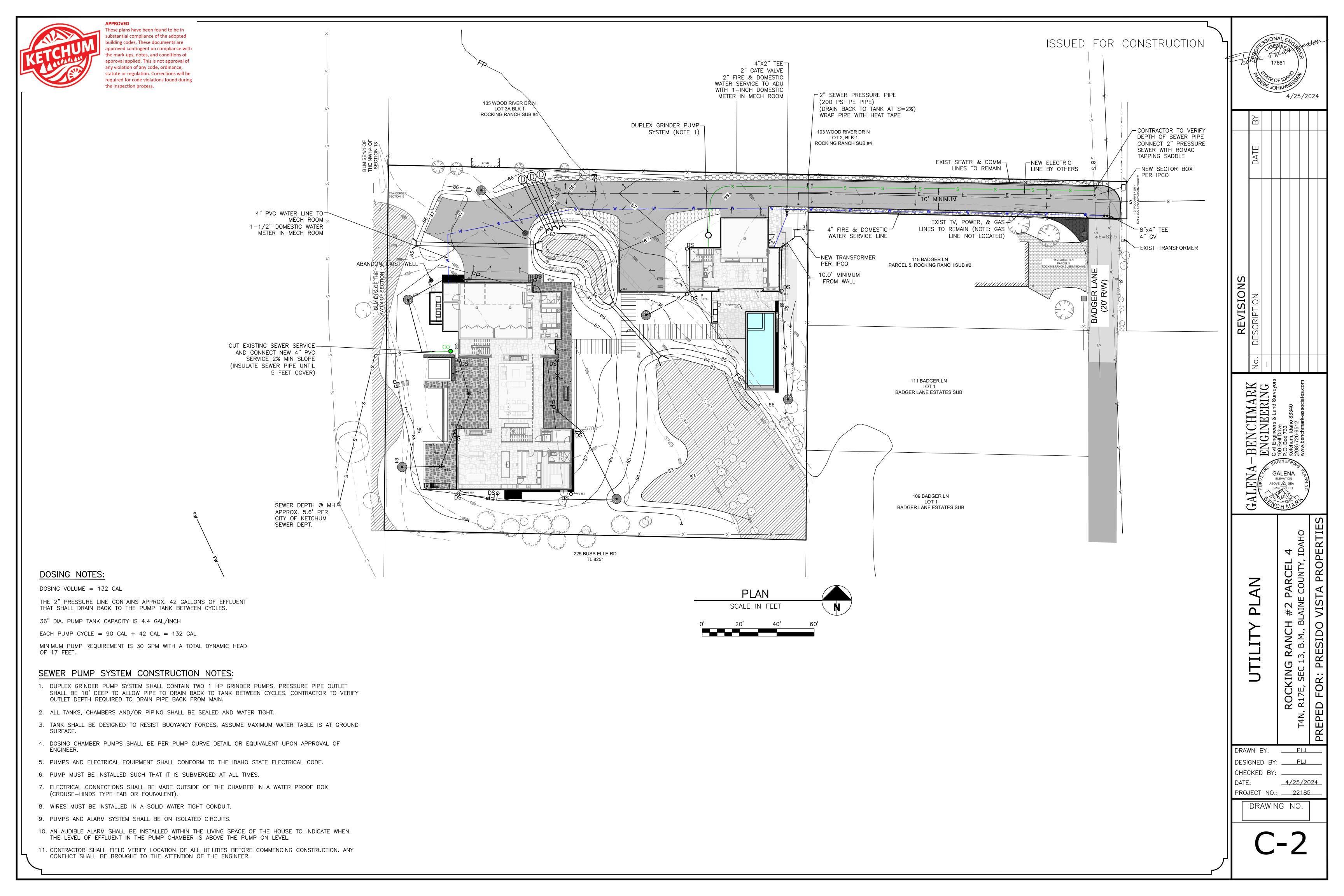




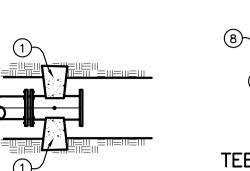








DO NOT LOCATE IN CONCRETE BLOCKING



THRUST AREA FOR HORIZONTAL BENDS\*\*\*

SOIL BEARING PRESSURE = 2000 PSF WORKING PRESSURE RATING = 150 PSI

MINIMUM SQUARE FEET OF THRUST AREA

ONTO UNDISTURBED EARTH\*

3" 0.8 1.1 0.6

4" 1.4 2.0 1.1 6" 3.2 4.5 2.4

8" 5.7 8.0 4.3 10" 8.8 12.5 6.8

12" | 12.7 | 18.0 | 9.7

14" 17.3 24.5 13.3 16" 22.6 32.0 17.3

18" | 28.6 | 40.5 | 21.9 |

SOIL BEARING STRENGTH)

\*\* OR TEE ACTING AS A 90° BEND

AREA, WHICHEVER IS GREATER.

\* MUST BE INCREASED BASED ON DIFFERENT

CONDITIONS (HIGHER WORKING PRESSURE OR LOWER

\*\*\* THRUST BLOCK DEPTH TO BE A MINIMUM OF 12" FOR

OR THE SQUARE ROOT OF THE REQUIRED BEARING

PIPE SIZES 3"-8" AND 18" FOR PIPE SIZES 10"-18"

4 30" CATCH BASIN (TYP.)

C1 NOT TO SCALE

PIPE TEE, PLUG 90\*\*\* 45° BENDS OR REDUCER

3.4

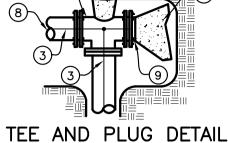
5.0

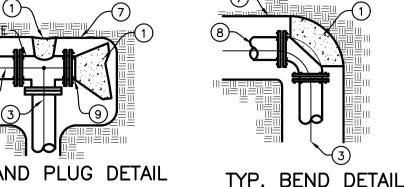
11.2

SAFETY FACTOR = 1.5

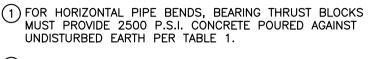
REDUCER DETAIL

VERTICAL BEND DETAIL





**LEGEND** 



2) FOR VERTICAL PIPE BENDS, GRAVITY THRUST BLOCKS MUST PROVIDE A VOLUME OF CONCRETE POURED AGAINST UNDISTURBED EARTH WHICH IS SIZED FOR EXPECTED FORCES WITH A MINIMUM 1.5 FACTOR OF

(3) NO. 12 COPPER FINDER WIRE, SEE SD-514 FOR

(4) C.I. VALVE BOX WITH COVER.

(5) C.I. GATE VALVE (M.J.).

(6) PRECAST BLOCK FOR CUT IN TEE AND VALVE OR CAST ÍN PLACE WITH 2 ½" Ø MIN. REBAR.

(7) TRENCH SIDE.

(8) PIPE. 9 PLUG.

(10) HAMMERHEAD THRUST BLOCKING. (11) ANCHOR BARS (1/2" MIN.)

(A) ANCHOR ALL VALVES CONNECTED TO P.V.C. PIPE

B COVER BOLTS AND FLANGES WITH PLASTIC TO PROTECT FROM CONCRETE ADHERENCE DURING

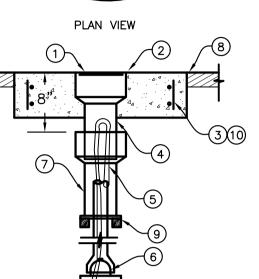
CONSTRUCTION OF THRUST BLOCKS. © SEE CHART FOR MIN. THRUST BLOCK BEARING AREAS.

(D) ALL CONCRETE TO BE 2500 P.S.I. STRENGTH

POURED AGAINST UNDISTURBED EARTH. (E) PROVIDE 6 MIL POLYPROPYLENE BETWEEN FITTINGS AND CONCRETE.

(F) NOTIFY ENGINEER FOR ANY CONDITION OR PIPE SIZE NOT INDICATED.

(G) ALL BLOCKS TO BE CENTERED AROUND PIPE



ELEVATION VIEW

VALVE BOX AND LID



(1) 5 1/4" LOCKING LID IF REQUIRED (TYLER NO. 6855).

(2) 24"ø X 6" CONCRETE COLLAR. (3)(2) #4 REBAR HOOPS WITH #4 VERTICALS.

(4) PACK VOID WITH RUBBER SILICONE.

(5) NO. 12 AWG. COPPER WIRE FINDER. (6) VALVE.

(7) CAST IRON VALVE RISER.

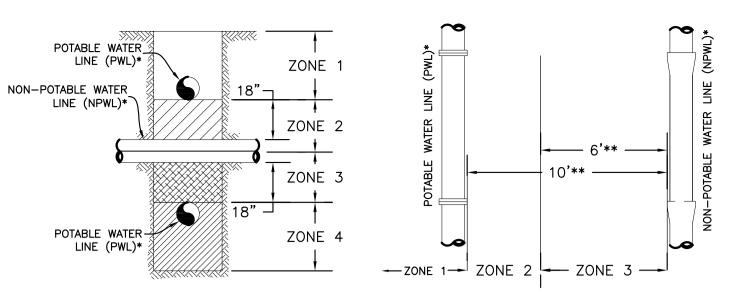
(8) FINISHED GRADE. (9) REDWOOD BLOCKS.

(10) FIBRILLATED POLYPROPYLENE FIBER (ADDED PER MANUFACTURER'S RECOMMENDATIONS) MAY BE USED IN LIEU OF #4 REBAR IN CONCRETE COLLARS

A ALL PRODUCTS AS INDICATED OR APPROVED

(B) IF AUTHORIZED BY THE ENGINEER, A HEAVY (10 GAGE) STEEL VALVE BOX AND CAP MAY BE USED IN LIEU OF CAST IRON BOX AND LID.





\* THE TERM "LINE" APPLIES TO BOTH MAIN LINES AND SERVICE LINES. FOR SPECIAL CIRCUMSTANCES REGARDING EXISTING POTABLE OR NON-POTABLE SERVICE LINES, REFER TO ADAPA 58.01.08.542.07c AND 58.01.16.430.02.o.iii, RESPECTIVELY. \*\* DISTANCES ARE HORIZONTAL. \*\*\* JOINT PLACEMENT APPLIES ONLY TO FACILITY BEING CONSTRUCTED: POTABLE WATER, NON-POTABLE WATER, OR BOTH.

(1) LOCAL CUT BACK, ONLY IF REQUIRED

(2) SURFACE REPAIR WIDTH, 4' MINIMUM.

5 TRENCH BACK SLOPE PER O.S.H.A. OR SUITABLE SHORING.

(7) VERTICAL TRENCH WALLS SHORING PER O.S.H.A..

8 PIPE BEDDING PER ISPWC SECTION-305 (SEE

(9) FOUNDATION STABILIZATION MAY VARY PER SOIL TYPE AND STABILITY (PER SECTION-304)

(6) TRENCH BACKFILL PER ISPWC SECTION-306.

(3) EXISTING SURFACE.

10 UNDISTURBED SOIL (TYP.)

11) NEW PAVEMENT AND BASE

(12) UPPER COMPACTION ZONE. (13) LOWER COMPACTION ZONE.

(4) EXISTING BASE.

# VERTICAL SEPARATION REQUIREMENTS

ZONE 1: A) PWL AND NPWL MUST BE SEPARATED BY AT LEAST 18 INCHES AND B) ONE FULL. UNCUT LENGTH OF PWL OR\*\*\* NPWL PIPE MUST BE CENTERED ON THE CROSSING SO THAT THE JOINTS ARE AS FAR AS POSSIBLE FROM

THE CROSSING. ZONE 2: A) ONE FULL, UNCUT LENGTH OF PWL OR\*\*\* NPWL PIPE MUST BE CENTERED ON THE CROSSING WITH A SINGLE 20-FOOT SEGMENT SO THAT THE JOINTS ARE AS FAR AS POSSIBLE FROM THE CROSSING.

AND EITHER B) NPWL MAIN MUST BE CONSTRUCTED TO WATER MÁIN STANDARDS WITH A SINGLE 20-FOOT SEGMENT FOR A HORIZONTAL DISTANCE OF 10 FEET ON BOTH SIDES OF THE CROSSING.

> OR C) EITHER THE NPWL OR PWL MUST BE ENCASED WITH A POTABLE WATER CLASS SLEEVE FOR A HORIZONTAL DISTANCE OF 10 FEET ON BOTH SIDES OF

SAME REQUIREMENTS AS ZONE 2 EXCEPT THE NPWL MUST ALSO BE SUPPORTED ABOVE THE CROSSING TO

THE CROSSING.

ZONE 4: SAME REQUIREMENTS AS ZONE 1 (ITEM 1A ONLY)
EXCEPT THE NPWL MUST ALSO BE SUPPORTED ABOVE
THE CROSSING TO PREVENT SETTLING.

# HORIZONTAL SEPARATION REQUIREMENTS

ZONE 1: A) IF CONSTRUCTING BOTH PWL AND NPWL, PIPELINES MUST BE IN SEPARATE TRENCHES. A) PWL AND NPWL MUST BE SEPARATED BY AT LEAST 6 FEET AT OUTSIDE WALLS.

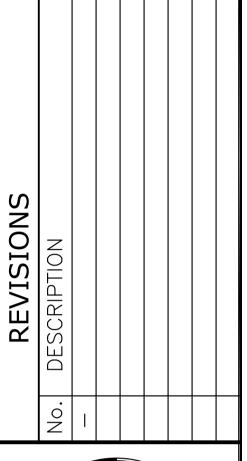
AND B) BOTTOM OF PWL MUST BE ABOVE TOP OF NPWL. AND EITHER C) NPWL CONSTRUCTED TO WATER MAIN

OR D) SITE SPECIFIC REQUIREMENTS APPROVED BY

ZONE 3: NOT ALLOWED WITHOUT DEQ WAIVER. NOTE: SANITARY SEWER FORCE MAINS MUST HAVE MIN. 10' HORIZONTAL SEPARATION AND 18" VERTICAL SEPARATION. ZONE 2 AND ZONE 3 PLACEMENTS ARE NOT ALLOWED WITHOUT A WAIVER GRATED BY DEQ.

POTABLE AND NON-POTABLE WATER 3 LINE (NPWL) SEPARATION C2 NOT TO SCALE

# 3/8/2023





BENCHMARK ASSOCIATES, P.A. P.O. BOX 733 100 BELL DRIVE (208) 726-9512 `FAX´726-9514

KETCHUM, IDAHO 83340 WEB: WWW.BMA5B.COM MAIL: WWW.BMA5B.COM

> 4 PARCEL E COUNTY, E 7 # AI

RANCH
3, B.M., BL ROCKING , R17E, SEC 13

PRE

DRAWN BY: DESIGNED BY: CHECKED BY: DATE: 2/28/2023 PROJECT NO.: <u>22185</u>

DRAWING NO.

UPPER PIPE BEDDING ZONE - SPRINGLINE. LOWER PIPE BEDDING ZONE FOUNDATION STABILIZATION AS \* 6" FOR PIPE 30" DIAMETER OR LARGER NEEDED (PER ISPWC SECTION-306). BEDDING MATERIALS BEDDING SYSTEM LOWER BEDDING ZONE UPPER BEDDING ZONE CLASS A-1 <u>NOTES</u> (A) REFER TO ISPWC SECTION-305 FOR MATERIAL AND COMPACTION REQUIREMENTS. TYPICAL PIPE BEDDING SECTION

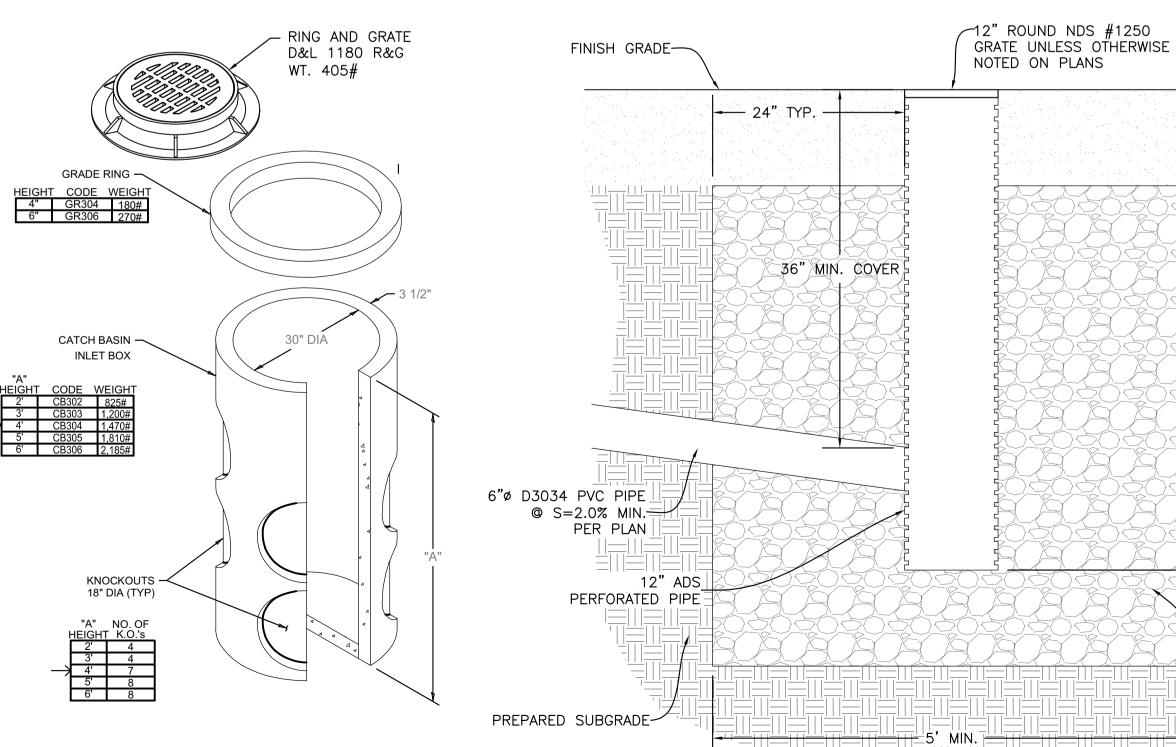
TRENCH BACKFILL

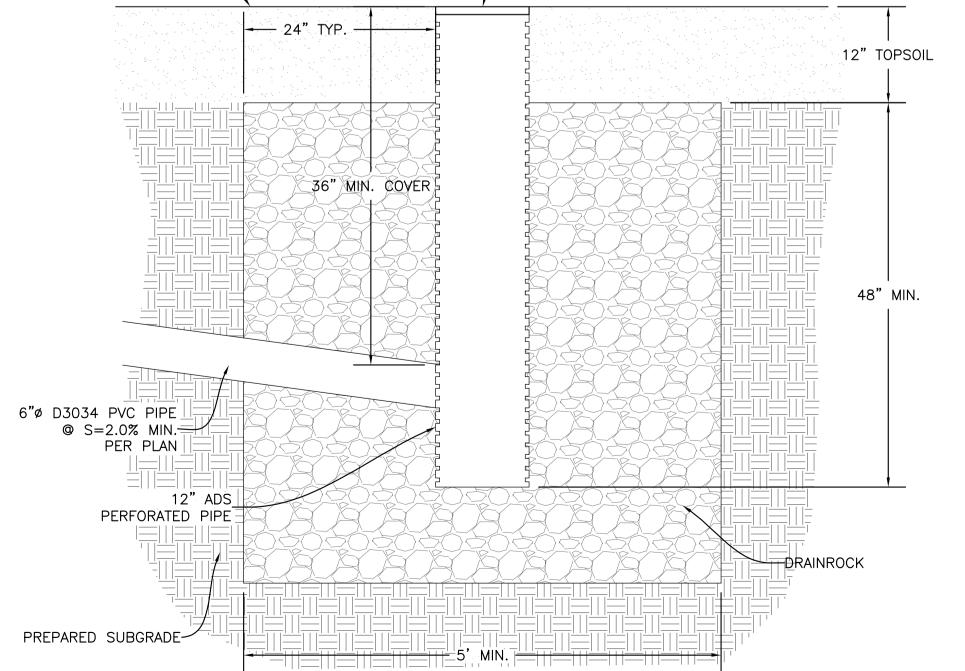
(PER. SECTION-306)

PERMIT SET

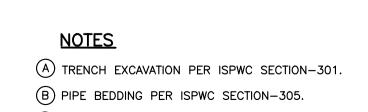
C1 NOT TO SCALE

1 SD-403 THRUST BLOCK DETAIL









<del>-EACH-</del>

(C) BACKFILL AND COMPACTION PER ISPWC SECTION-306.  $\bigcirc\hspace{-0.5cm}\square$  surface repair and base per ispwc section—307. See SD-303.

OUTSIDE DIA. OF PIPE PLUS 2'-0"

-FINISH GRADE

SUBGRADE OR

NATURAL GROUND

· VERTICAL WALLS -ALLOWED WITH

PROPER SHORING

OR LESS THAN 5'

6" MIN.

6 TYPICAL TRENCH C1 SCALE: NONE

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# **ICC-ES Evaluation Report**

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**ESR-2074** 

Reissued 02/2023
This report is subject to renewal 02/2025.

**DIVISION: 08 00 00—OPENINGS** 

SECTION: 08 95 43—VENTS/FOUNDATION FLOOD VENTS

### **REPORT HOLDER:**

## **SMART VENT PRODUCTS, INC.**

### **EVALUATION SUBJECT:**

SMART VENT® AUTOMATIC FOUNDATION FLOOD VENTS: MODELS #1540-520; #1540-521; #1540-510; #1540-511; #1540-570; #1540-574; #1540-524; #1540-514 FLOOD VENT SEALING KIT #1540-526



"2014 Recipient of Prestigious Western States Seismic Policy Council (WSSPC) Award in Excellence"



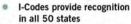
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These plans have been found to be in substantial compliance of the adopted building codes. These documents are approved contingent on compliance with the three planes and notes applied. This is not approval of any violation of any code, ordinance, statue or regulation. Corrections will be required for code violations found thring the inspection process.

BLD2303-00021



Specialty code recognition



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# ICC-ES Evaluation Report ESR-2074

**DIVISION: 08 00 00—OPENINGS** 

Section: 08 95 43—Vents/Foundation Flood Vents

**REPORT HOLDER:** 

SMART VENT PRODUCTS, INC.

**EVALUATION SUBJECT:** 

SMART VENT® AUTOMATIC FOUNDATION FLOOD VENTS: MODELS #1540-520; #1540-521; #1540-510; #1540-511; #1540-570; #1540-574; #1540-524; #1540-514 FLOOD VENT SEALING KIT #1540-526

### 1.0 EVALUATION SCOPE

### Compliance with the following codes:

- 2021, 2018, 2015, 2012, 2009 and 2006 International Building Code<sup>®</sup> (IBC)
- 2021, 2018, 2015, 2012, 2009 and 2006 International Residential Code<sup>®</sup> (IRC)
- 2021 and 2018 International Energy Conservation Code<sup>®</sup> (IECC)
- 2013 Abu Dhabi International Building Code (ADIBC)†

 $^{\dagger}\text{The ADIBC}$  is based on the 2009 IBC. 2009 IBC code sections referenced in this report are the same sections in the ADIBC.

### Properties evaluated:

- Physical operation
- Water flow

### **2.0 USES**

The Smart Vent® units are engineered mechanically operated flood vents (FVs) employed to equalize hydrostatic pressure on walls of enclosures subject to rising or falling flood waters. Certain models also allow natural ventilation.

### 3.0 DESCRIPTION

### 3.1 General:

When subjected to rising water, the Smart Vent® FVs internal floats are activated, then pivot open to allow flow in either direction to equalize water level and hydrostatic pressure from one side of the foundation to the other. The FV pivoting door is normally held in the closed position by a buoyant release device. When subjected to rising water, the buoyant release device causes the unit to unlatch, allowing

Reissued February 2023

This report is subject to renewal February 2025.

the door to rotate out of the way and allow flow. The water level stabilizes, equalizing the lateral forces. Each unit is fabricated from stainless steel. Smart Vent® Automatic Foundation Flood Vents are available in various models and sizes as described in Table 1. The SmartVENT® Stacking Model #1540-511 and FloodVENT® Stacking Model #1540-521 units each contain two vertically arranged openings per unit

### 3.2 Engineered Opening:

The FVs comply with the design principle noted in Section 2.7.2.2 and Section 2.7.3 of ASCE/SEI 24-14 [Section 2.6.2.2 of ASCE/SEI 24-05 (2012, 2009, 2006 IBC and IRC)] for a maximum rate of rise and fall of 5.0 feet per hour (0.423 mm/s). In order to comply with the engineered opening requirement of ASCE/SEI 24, Smart Vent FVs must be installed in accordance with Section 4.0.

### 3.3 Ventilation:

The SmartVENT® Model #1540-510 and SmartVENT® Overhead Door Model #1540-514 both have screen covers with ¹/₄-inch-by-¹/₄-inch (6.35 by 6.35 mm) openings, yielding 51 square inches (32 903 mm²) of net free area to supply natural ventilation. The SmartVENT® Stacking Model #1540-511 consists of two Model #1540-510 units in one assembly, and provides 102 square inches (65 806 mm²) of net free area to supply natural ventilation. Other FVs described in this report do not offer natural ventilation.

### 3.4 Flood Vent Sealing Kit:

The Flood Vent Sealing Kit Model #1540-526 is used with SmartVENT® Model #1540-520. It is a Homasote 440 Sound Barrier® (ESR-1374) insert with 21 – 2-inch-by-2-inch (51 mm x 51 mm) squares cut in it. See Figure 4.

### 4.0 DESIGN AND INSTALLATION

### 4.1 SmartVENT® and FloodVENT®:

SmartVENT® and FloodVENT® are designed to be installed into walls or overhead doors of existing or new construction from the exterior side. Installation of the vents must be in accordance with the manufacturer's instructions, the applicable code and this report. Installation clips allow mounting in masonry and concrete walls of any thickness. In order to comply with the engineered opening design principle noted in Section 2.7.2.2 and 2.7.3 of ASCE/SEI 24-14 [Section 2.6.2.2 of ASCE/SEI 24-05 (2012, 2009, 2006 IBC and IRC)], the Smart Vent® FVs must be installed as follows:





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compliance of the adopted building codes. These ผู้เกิดเลือน สำหราจยองเกิดเลือน สำหราจยองเกิดเลือน เป็นเลือน สำหราจยองเกิดเลือน เป็นเลือน เลือน เล้อน เลือน เลือน เลือน เลือน เลือน

- any violation of any code, ordinance, statue or regulation.

  With cominimum viole opequited for covernations for the feet (48:69 the)instead observes sarea, except that the Smart of the S
- Below the base flood elevation.
- With the bottom of the FV located a maximum of 12 inches (305.4 mm) above the higher of the final grade or floor and finished exterior grade immediately under each opening.

### 4.2 Flood Vent Sealing Kit

The Flood Vent Sealing Kit Model 1540-526 is used in conjunction with FloodVENT® Model #1540-520. When installed and tested in accordance with ASTM E283, the FV and Flood Vent Sealing Kit assembly have an air leakage rate of less than 0.2 cubic feet per minute per lineal foot (18.56 l/min per lineal meter) at a pressure differential of 1 pound per square foot (50 Pa) based on 12.58 lineal feet (3.8 lineal meters) contained by the Flood Vent Sealing Kit.

### 5.0 CONDITIONS OF USE

The Smart Vent® FVs described in this report comply with, or are suitable alternatives to what is specified in, those codes listed in Section 1.0 of this report, subject to the following conditions:

5.1 The Smart Vent® FVs must be installed in accordance with this report, the applicable code and the

- manufacturer's installation instructions. In the event of a conflict, the instructions in this report govern.
- 5.2 The Smart Vent® FVs must not be used in the place of "breakaway walls" in coastal high hazard areas, but are permitted for use in conjunction with breakaway walls in other areas.

### **6.0 EVIDENCE SUBMITTED**

- 6.1 Data in accordance with the ICC-ES Acceptance Criteria for Mechanically Operated Flood Vents (AC364), dated August 2015 (editorially revised February 2021).
- 6.2 Test report on air infiltration in accordance with ASTM E283.

### 7.0 IDENTIFICATION

- 7.1 The Smart VENT® models and the Flood Vent Sealing Kit described in this report must be identified by a label bearing the manufacturer's name (Smartvent Products, Inc.), the model number, and the evaluation report number (ESR-2074).
- **7.2** The report holder's contact information is the following:

SMART VENT PRODUCTS, INC. 19 MANTUA ROAD MOUNT ROYAL, NEW JERSEY 08061 (877) 441-8368

www.smartvent.com info@smartvent.com

TARI	F 1-	_MODEL	SIZES

MODEL NAME	MODEL NUMBER	MODEL SIZE (in.)	COVERAGE (sq. ft.)
FloodVENT®	1540-520	15 <sup>3</sup> / <sub>4</sub> " X 7 <sup>3</sup> / <sub>4</sub> "	200
SmartVENT®	1540-510	15 <sup>3</sup> / <sub>4</sub> " X 7 <sup>3</sup> / <sub>4</sub> "	200
FloodVENT® Overhead Door	1540-524	15 <sup>3</sup> / <sub>4</sub> " X 7 <sup>3</sup> / <sub>4</sub> "	200
SmartVENT® Overhead Door	1540-514	15 <sup>3</sup> / <sub>4</sub> " X 7 <sup>3</sup> / <sub>4</sub> "	200
Wood Wall FloodVENT®	1540-570	14" X 8 <sup>3</sup> / <sub>4</sub> "	200
Wood Wall FloodVENT® Overhead Door	1540-574	14" X 8 <sup>3</sup> / <sub>4</sub> "	200
SmartVENT® Stacker	1540-511	16" X 16"	400
FloodVent® Stacker	1540-521	16" X 16"	400

For SI: 1 inch = 25.4 mm; 1 square foot = m<sup>2</sup>

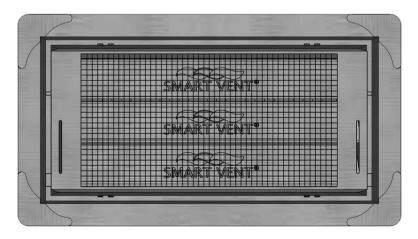


FIGURE 1—SMART VENT: MODEL 1540-510



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compliance of the adopted building codes. These documents are approved contingent on compliance with the mark-ups and notes applied. This is not approval of any violation of any code, ordinance, statue or regulation. Corrections will be required for code violations found during the inspection process.

BLD2303-00**021** 06/26/23

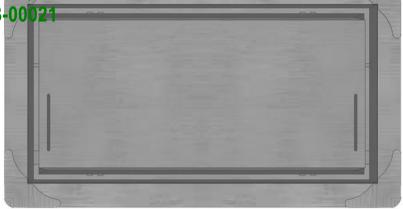


FIGURE 2—SMART VENT MODEL 1540-520



FIGURE 3—SMART VENT: SHOWN WITH FLOOD DOOR PIVOTED OPEN

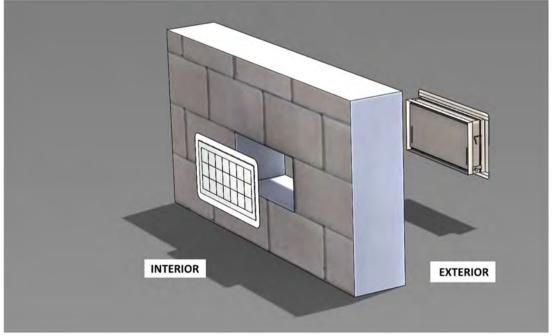


FIGURE 4—FLOOD VENT SEALING KIT

ICC-ESBEyalsasing process.

06/26/23

## **ESR-2074 CBC and CRC Supplement**

Reissued February 2023 This report is subject to renewal February 2025.

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**DIVISION: 08 00 00—OPENINGS** 

LATION

Section: 08 95 43—Vents/Foundation Flood Vents

**REPORT HOLDER:** 

**SMART VENT PRODUCTS, INC.** 

**EVALUATION SUBJECT:** 

SMART VENT® AUTOMATIC FOUNDATION FLOOD VENTS: MODELS #1540-520; #1540-521; #1540-510; #1540-511; #1540-570; #1540-524; #1540-514
FLOOD VENT SEALING KIT #1540-526

#### 1.0 REPORT PURPOSE AND SCOPE

#### Purpose:

The purpose of this evaluation report supplement is to indicate that Smart Vent® Automatic Foundation Flood Vents, described in ICC-ES evaluation report ESR-2074, have also been evaluated for compliance with codes noted below.

### Applicable code editions:

■ 2019 California Building Code (CBC)

For evaluation of applicable chapters adopted by the California Office of Statewide Health Planning and Development (OSHPD) AKA: California Department of Health Care Access and Information (HCAI) and the Division of State Architect (DSA), see Sections 2.1.1 and 2.1.2 below.

■ 2019 California Residential Code (CRC)

#### 2.0 CONCLUSIONS

#### 2.1 CBC:

The Smart Vent® Automatic Foundation Flood Vents, described in Sections 2.0 through 7.0 of the evaluation report ESR-2074, comply with 2019 CBC Chapter 12, provided the design and installation are in accordance with the 2018 *International Building Code*® (IBC) provisions noted in the evaluation report and the additional requirements of CBC Chapters 12 and 16, as applicable.

### 2.1.1 OSHPD:

The applicable OSHPD Sections and Chapters of the CBC are beyond the scope of this supplement.

#### 2.1.2 DSA:

The applicable DSA Sections and Chapters of the CBC are beyond the scope of this supplement.

#### 2.2 CRC:

The Smart Vent® Automatic Foundation Flood Vents, described in Sections 2.0 through 7.0 of the evaluation report ESR-2074, comply with the 2019 CRC, provided the design and installation are in accordance with the 2018 *International Residential Code*® (IRC) provisions noted in the evaluation report.

This supplement expires concurrently with the evaluation report, reissued February 2023.



during the inspection process. ICC-ESBE 12 Westing 10 Report 06/26/23

## **ESR-2074 FBC Supplement**

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**DIVISION: 08 00 00—OPENINGS** 

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**SMART VENT PRODUCTS, INC.** 

**EVALUATION SUBJECT:** 

SMART VENT® AUTOMATIC FOUNDATION FLOOD VENTS: MODELS #1540-520; #1540-521; #1540-510; #1540-511; #1540-570: #1540-574: #1540-524: #1540-514 FLOOD VENT SEALING KIT #1540-526

#### 1.0 REPORT PURPOSE AND SCOPE

#### Purpose:

The purpose of this evaluation report supplement is to indicate that Smart Vent® Automatic Foundation Flood Vents, described in ICC-ES evaluation report ESR-2074, have also been evaluated for compliance with the codes noted below.

### Applicable code editions:

- 2020 Florida Building Code—Building
- 2020 Florida Building Code—Residential

### 2.0 CONCLUSIONS

The Smart Vent® Automatic Foundation Flood Vents, described in Sections 2.0 through 7.0 of the evaluation report ESR-2074, comply with the Florida Building Code—Building and the Florida Building Code—Residential, provided the design requirements are determined in accordance with the Florida Building Code—Building or the Florida Building Code—Residential, as applicable. The installation requirements noted in ICC-ES evaluation report ESR-2074 for 2018 International Building Code® meet the requirements of the Florida Building Code—Building or the Florida Building Code—Residential, as applicable.

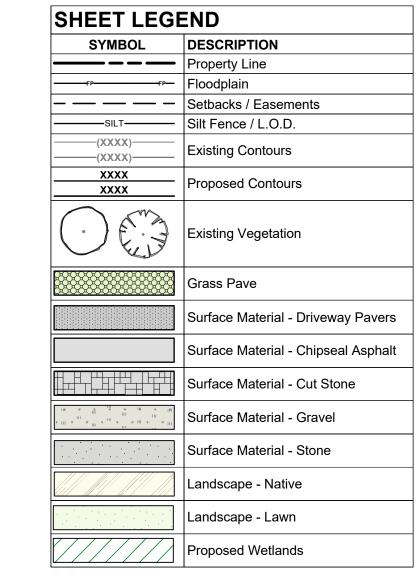
Use of the Smart Vent® Automatic Foundation Flood Vents has also been found to be in compliance with the High-Velocity Hurricane Zone provisions of the Florida Building Code—Building and the Florida Building Code—Residential.

For products falling under Florida Rule 61G20-3, verification that the report holder's quality assurance program is audited by a quality assurance entity approved by the Florida Building Commission for the type of inspections being conducted is the responsibility of an approved validation entity (or the code official when the report holder does not possess an approval by the Commission).

This supplement expires concurrently with the evaluation report, reissued February 2023.







Silt Fence / L.O.D.

Existing Contours

Proposed Contours

Existing Vegetation

Grass Pave

Surface Material - Driveway Pavers

Surface Material - Chipseal Asphalt

Surface Material - Gravel

Surface Material - Gravel

Surface Material - Stone

Landscape - Native

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BYLA Landscape Architects

# LANDSCAPE PLAN

**CHUM, ID 83340** 

FILENAME: BADGER LANE\_.vwx
PROJECT MANAGER: CG
DRAWN BY: LH

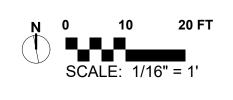
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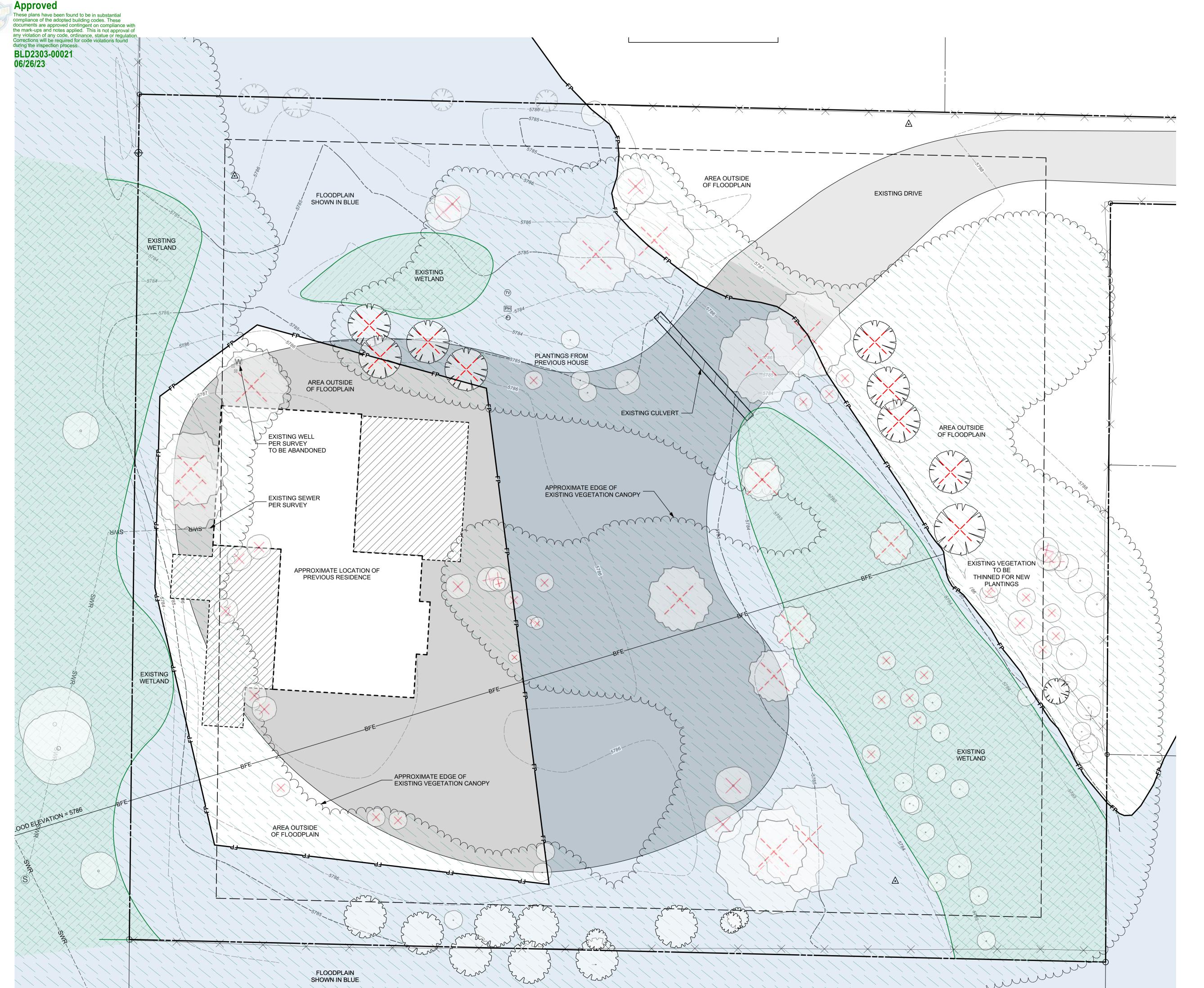
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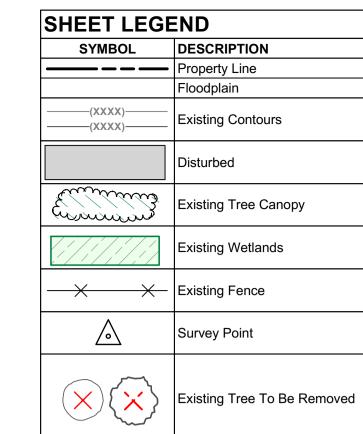
SITE OVERVIEW

SHEET NO.

L1.0







EXISTING TREES OVER 2" CALIPER						
DESCRIPTION						
Aspen						
Cottonwood						
Spruce						
Fir						



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NDSCAPE PLAN

CHUM, ID 83340

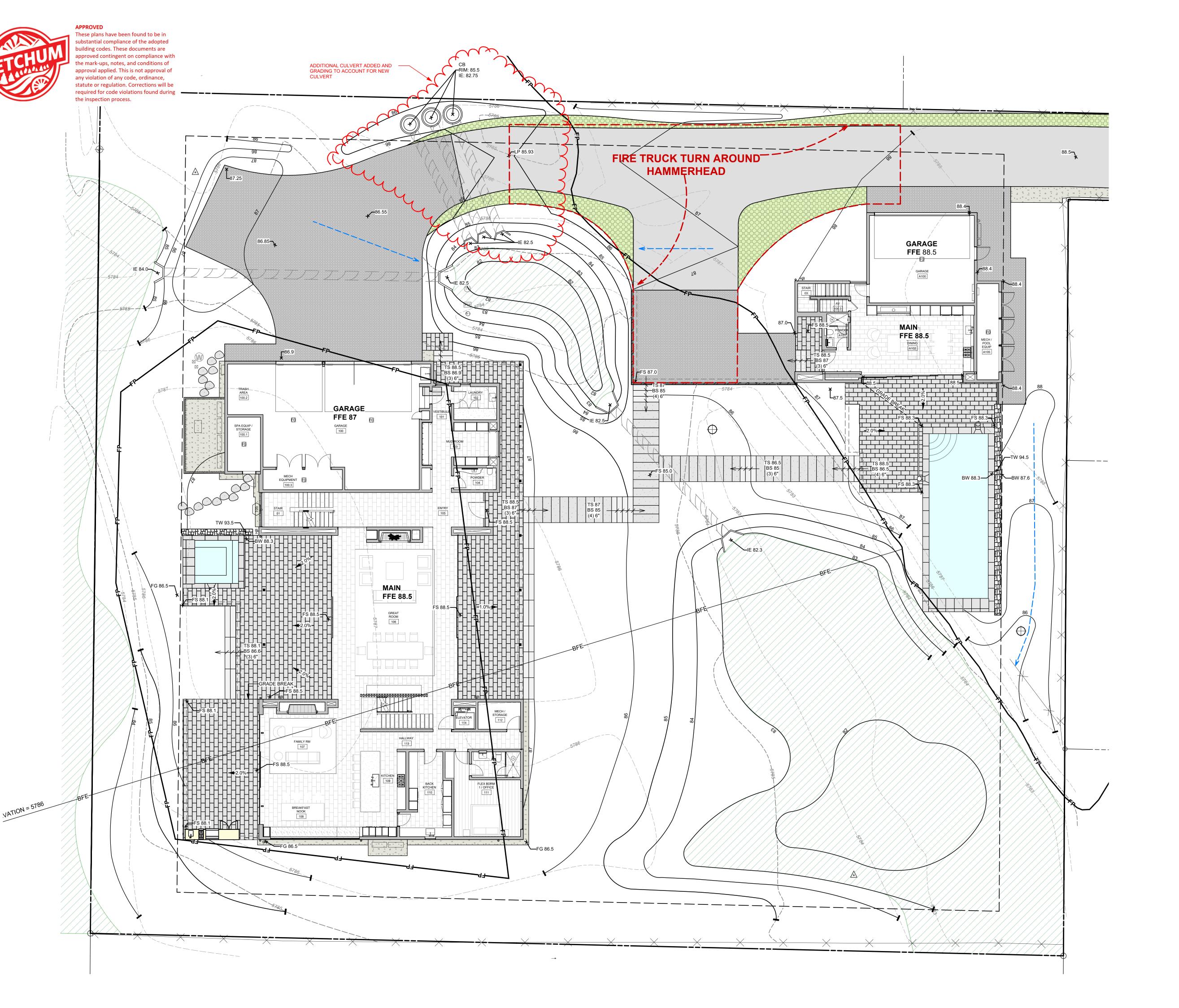
FILENAME: BADGER LANE\_2023\_SHIFT.vwx
PROJECT MANAGER: XX
DRAWN BY: XX

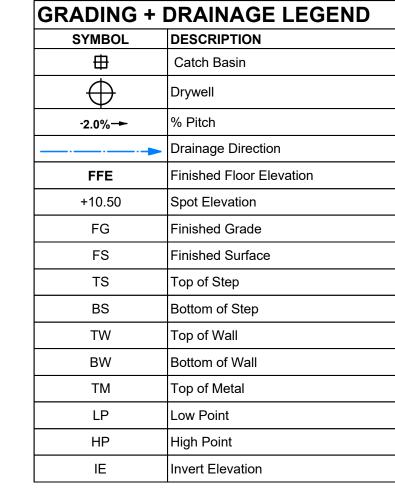
PLOT DATE: 2/23/23 12:06:15 PM

EXISTING CONDITIONS & DEMO PLAN

SHEET NO.

L1.1





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**CHUM, ID 83340** 

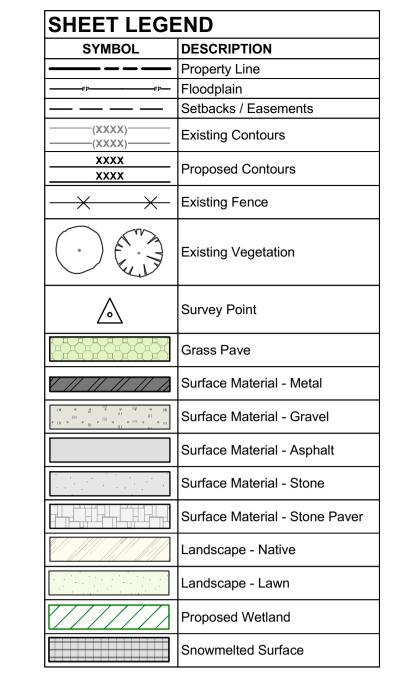
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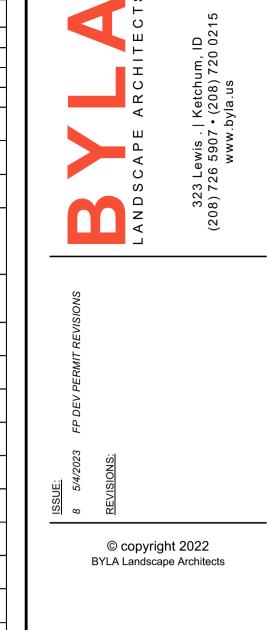
ISSUE DATE:

**GRADING PLAN** 

SHEET NO.

Approved These plans have been found to be in substantial compliance of the adopted building codes. These documents are approved contingent on compliance with the mark-ups and notes applied. This is not approval of any violation of any code, ordinance, statue or regulation. Corrections will be required for code violations found during the inspection process. PROPOSED ENTRY MONUMENT ——— BLD2303-00021 06/26/23 REQUIRED ACCESS EASEMENT AND FIRE APPARATUS ACCESS (DRIVING SURFACE CAPABLE OF SUPPORTING FIRE APPARATUS WEIGHTING) SNOWMELT UPDATED TO BE USED UNDER THE ENTIRETY OF THE DRIVEWAY SEE APPENDIX D.1 FOR RECORDED ACCESS EASEMENT (INSTRUMENT #690693 SWR GRASS PAVE SW NEW ASPHALT EXISTING STONE PILAR TO — BE REMOVED HEXISTING PAVERS EXISTING RESIDENCE ĽTO REMAIN∭∭ EXISTING RESIDENCE





# LANDSCAPE PLAN

**CHUM, ID 83340** 

FILENAME: BADGER LANE\_FP Dev Permit.vwx
PROJECT MANAGER: CG
DRAWN BY: LH

SSUE DATE: 5/4/2023

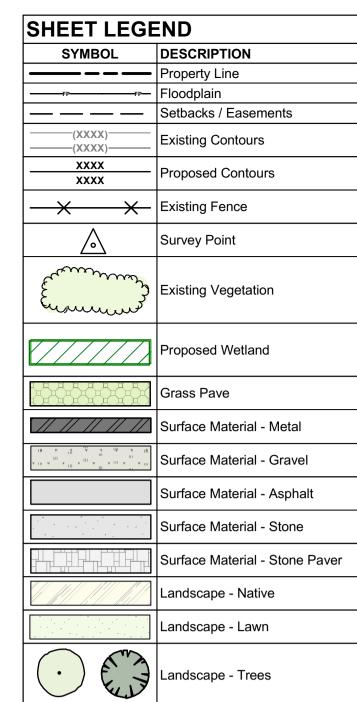
PLOT DATE: 5/4/23 10:47:07 AM

FRONT DRIVE EASEMENT

SHEET NO.

L2.1





ALL TREES TO HAVE DRIP IRRIGATION AND ALL OTHER PLANTINGS TO BE IRRIGATED PLANT SCHEDULE ABBRV QTY. SIZE BOTANICAL NAME **COMMON NAME** AC 24 8' B&B Abies concolor White Fir AL 19 8'-12' B&B Abies lasiocarpa
PT 51 2"-4" CAL. Populus tremuloides Subalpine Fir

IRRIGATION TYPE

Buried Drip Irrigation

Overhead Irrigation

Temporary Overhead

Quaking Aspen ABBRV QTY. SIZE BOTANICAL NAME COMMON NAME 8 5 GAL. Amelanchier alnifolia Serviceberry UPDATED PLANTING Isanti Red-Osier Dogwood 115 10 gal Cornus sericea 'Isanti' SCHEDULE 13 5 GAL. Ribes alpinum Alpine Currant SB 29 Bebb Willow NATIVE GRASSES ABBRV AREA SIZE BOTANICAL NAME COMMON NAME BC 7038.4 SF Bromus carinatus Mountian Brome ABBRV | AREA | SIZE | BOTANICAL NAME COMMON NAME FL 5173.5 SF Festuca longifolia Hard Fescue

LIGHTING LEGEND SYMBOL QTY DESCRIPTION Lighting - Path Light

Lighting - Wall Light

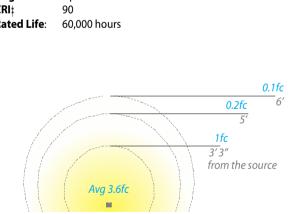
LIGHTING NOTES: ALL LIGHTING SHOWN FOR DESIGN INTENT. ALL LIGHTING WILL BE COMPLIANT TO CITY OF KETCHUM DARK SKY LIGHTING ORDINANCES.

**QUAD** LED PATH LIGHT

WAC

LANDSCAPE LIGHTING

**SPECIFICATIONS** 9-15VAC (Transformer is required) 3.0W / 4.5VA **Brightness:** Up to 100 lm Rated Life: 60,000 hours



**WALL LIGHT** 

Model: WL-LED100 LEDme® Step Light

WAC LIGHTING Responsible Lighting®



**Construction:** Die-cast aluminum or 316 marine grade cast stainless steel Direct wiring, no remote driver needed. Input voltage: 120V or 277VAC 50/60Hz **Light Source:** 2700K or 3000K CCT Samsung HV-AC High Power LED, CRI: 90 Optional color lenses. Total power consumption of 3.5W

**Standards:** IP66, UL & cUL Listed for wet locations,

Title 24 JA8-2016 Compliant.

**Mounting:** Fits into 2" × 4" J-Box with minimum inside dimensions of  $3"L \times 2"W \times 2"H$ Includes bracket for J-Box mount.

**Dimming:** Dim to 10% with electronic low voltage (ELV) dimmer Approved dimmers: Lutron Nova-T NTELV-300 & NTELV-600, Lutron Vietri VTELV-600, Lutron Diva DVELV-300P, Lutron Skylark SELV-300P, Lutron Maestro MAELV-600



**PLAN** 

LANDSCAPE

BADGER LANE FP

Dev Permit.vwx

5/4/2023

5/4/23 5:21:16 PM

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SHEET NO.

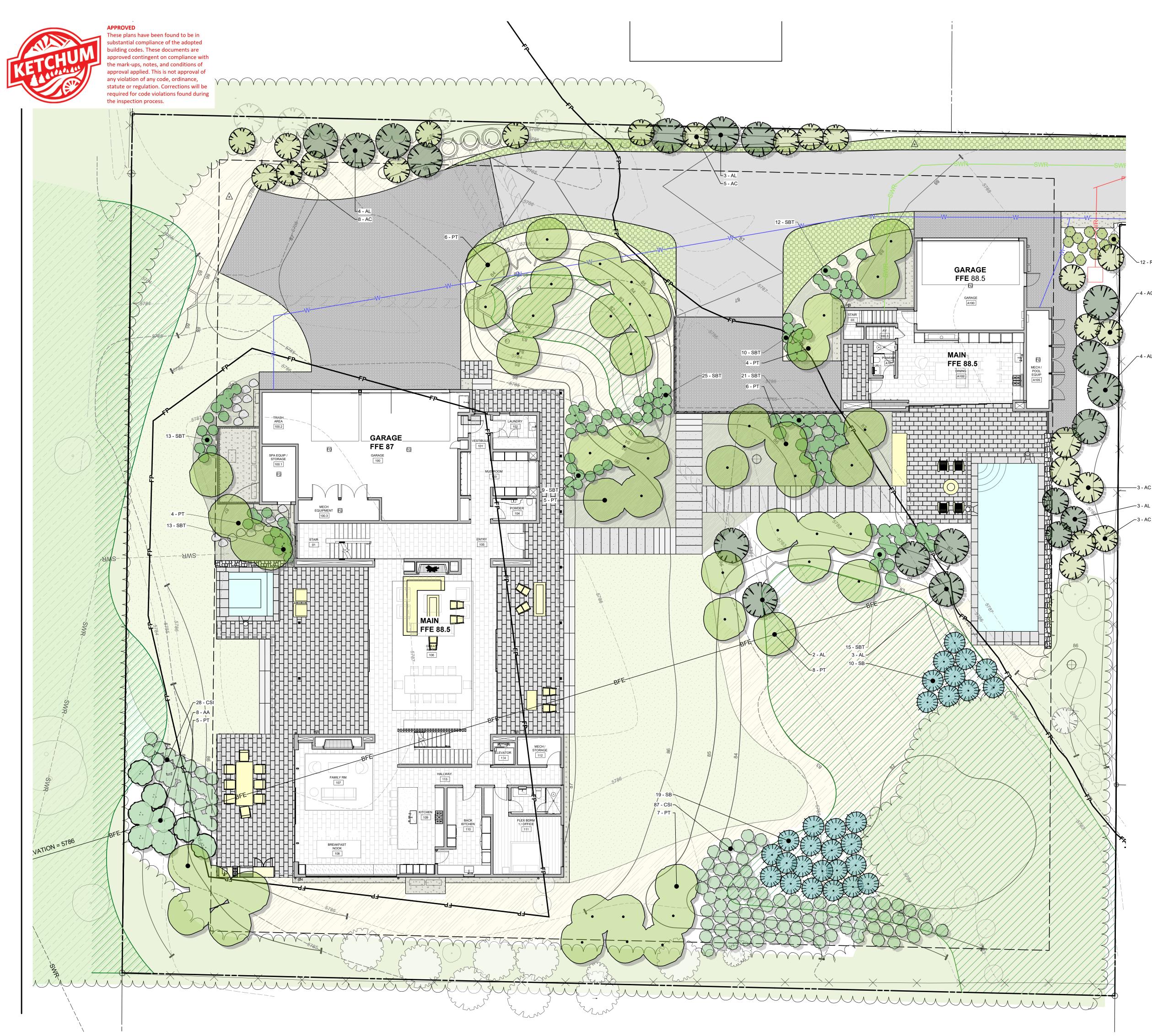
FILENAME:

DRAWN BY:

ISSUE DATE:

PLOT DATE:

PROJECT MANAGER:





IRRIGATION SCHEDULE						
AREA DESCRIPTION	IRRIGATION TYPE					
Trees + Shrubs	Buried Drip Irrigation					
Perennial Beds	N/A					
Lawn	Overhead Irrigation					
Native Re-Veg	Temporary Overhead					

## **GENERAL PLANTING NOTES:**

1. THE CONTRACTOR SHALL LOCATE AND VERIFY THE EXISTENCE OF ALL UTILITIES PRIOR TO STARTING WORK

2. CONTRACTOR SHALL CLEAR AND GRUB ALL EXISTING VEGETATION WITHIN NEW PLANTING AREAS, UNLESS OTHERWISE INDICATED, AS REQUIRED FOR THE SITE CONSTRUCTION, IRRIGATION AND PLANTING OPERATIONS. LIMITS OF CLEARING SHALL BE REVIEWED WITH LANDSCAPE ARCHITECT PRIOR TO COMMENCEMENT OF WORK. STRIP ALL ORGANIC MATTER TO A SUFFICIENT DEPTH TO COMPLETELY REMOVE SUCH MATERIAL.

3. <u>EXISTING PLANT MATERIAL</u>: PROTECT ALL EXISTING PLANT MATERIAL TO REMAIN. CONTRACTOR TO REPAIR ANY DAMAGE INCURRED AS A DIRECT RESULT OF THIS CONTRACT TO THE OWNER'S SATISFACTION AT NO ADDITIONAL COST.

4. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN ON ALL DRAWINGS.

COMPLETE THE PLANTING SHOWN ON ALL DRAWINGS.

5. ALL MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN

STANDARD FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.

6. NO PLANT SHALL BE PUT INTO THE GROUND BEFORE ROUGH GRADING HAS BEEN FINISHED AND APPROVED BY THE PROJECT ARCHITECT OR EQUAL.

7. WITH CONTAINER GROWN STOCK, THE CONTAINER SHALL BE REMOVED AND THE CONTAINER BALL SHALL BE CUT THROUGH THE SURFACE IN TWO VERTICAL LOCATIONS.

8. THE DAY PRIOR TO PLANTING, THE LOCATION OF ALL TREES AND SHRUBS SHALL BE STAKED BY

CONTRACTOR FOR APPROVAL BY PROJECT LANDSCAPE ARCHITECT OR EQUAL.

9. ALL PLANT MATERIAL SHALL BE SELECTED AT NURSERY BY THE PROJECT LANDSCAPE ARCHITECT OR OFFICE STAFF.

ALL PLANTS TO BE INSTALLED AS PER DETAILS AND THE CONTRACT SPECIFICATIONS.
 ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL THEN BE WATERED WEAKLY, IF NECESSARY, DURING THE FIRST

AFTER PLANTING. ALL PLANTS SHALL THEN BE WATERED WEAKLY, IF NECESSARY, DURING THE FIRS GROWING SEASON.

12. MULCH: INSTALL A UNIFORM TWO INCH COVERING OF COMPOST PER SPEC.

13. TOPSOIL: LAWN AREAS TO RECEIVE A FOUR (4) INCH LAYER OF NATIVE/IMPORT TOPSOIL.

PERENNIAL BEDS TO RECEIVE A TWELVE (12) INCH LAYER OF AMENDED 60/40 BLEND CONTRACTOR TO PROVDE SPEC. PRIOR TO MATERIAL ARRIVING ON SITE.

14. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO INSPECT AND REJECT PLANT MATERIAL AT ANY
POINT FROM DELIVERY THROUGH WARRANTY PERIOD, CONTRACTOR TO REPLACE MATERIAL

# **SOIL PREPARATION NOTES:**

DURING CURRENT PLANTING WINDOW.

BED PREPARATION: prepare soils in planting areas by roto-tilling amendment and topsoil to a depth of 8" below finished soil surface in all planted areas. Trees will require over-excavation and backfill with amended soil.
 DE-COMPACTION: subsoiling in planting areas should be performed as required, at a depth of 12-24 inches in such a manner as will fracture compacted soil without adversely displacing surface soil, or disturbing plant life, topsoil and surface residue. Multiple passes at varying angles are required to ensure suitability for growth. When using disc or ripping equipment, it is required that the final passes over the area be made with a roto-tiller to break up any large clumps to make final grading easier. Proper equipment, and method are critical.

3. LANDSCAPE CONSTRUCTION COMPACTION MITIGATION: compaction during construction should be minimized as possible and remediated as required to less than 80% using methods described, prior to plant installation.
4. The landscape contractor shall complete the following. Strip existing topsoil and stockpile on site for later use. Conduct a soil evaluation and provide written lab report to determine the existing soil's: composition, compaction rate, nutrient qualities, organic content, ph levels and water holding capabilities
5. The ideal particle soil mix for this project is approximately 45% sand, 40% silt, 10% clay and 5% organic material with a ph level near seven. Prior to the installation of the landscape and irrigation system, contractor to prepare

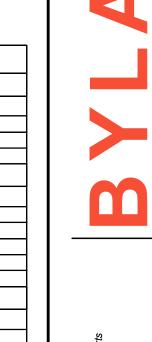
soil to ensure a proper environment for plant root development.

6. SOIL AMENDMENT: after initial soil de-compaction procedures are performed, soil amendments should be added. The addition of soil amendments is determined from soil tests conducted prior to work commencing. Soil amendment may include inorganic material such as sand, silt or clay, which help improve soil texture. Organic material such as compost, manure, and peat moss may also be used and help improve soil structure. Other amendments shall be added as specified in required soils report. All amendments should be mixed thoroughly with existing soil and an additional

added as specified in required soils report. All amendments should be mixed thoroughly with existing soil and an additional soil test will be taken to ensure proper soil conditions prior to planting.

7. SUPPLEMENTAL TOPSOIL: if necessary, provide new topsoil that is fertile, friable and natural loam surface soil, reasonably free of subsoil, clay, clay lumps, brush weeds, and other litter and free of roots, stumps, stones larger than 2" in any dimension and other extraneous or toxic matter harmful to plant growth. Obtain topsoil from local sources or from areas having similar soil characteristics to that necessary for vigorous growth of specified plantings. Obtain topsoil that occurs in a depth of not less than 6". Do not obtain soil from bogs or marshes.

8. TURF/SOD PREPARATION: prepare soils in seed and sod areas by roto-tilling amendment and topsoil to a depth of 4" below finished soil surface.



350 E. 19 4/29/2024 Updated Culv REVISIONS:

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FILENAME: BADGER LANE\_.vwx
PROJECT MANAGER: CG

ISSUE DATE: 4/29/2024

PLOT DATE: 4/29/24 10:16:44 AM

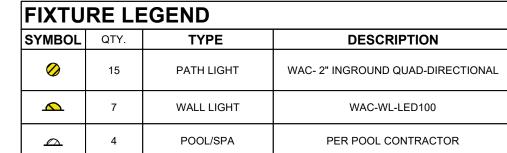
**PLANTING PLAN** 

SHEET NO.

L5.0

Juigni munimuniting juight

Minima Minima Maria



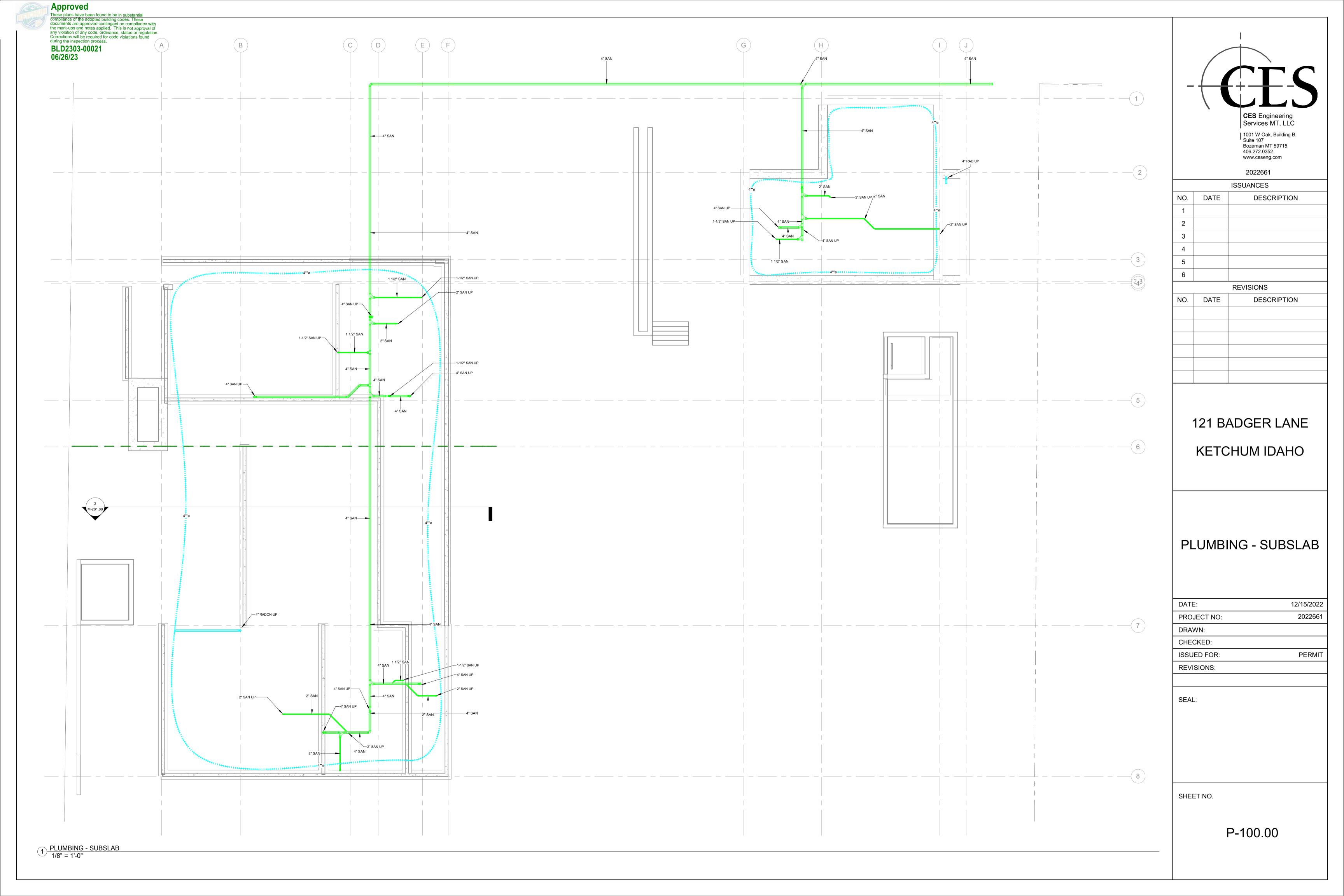
**LIGHTING NOTES:** ALL LIGHTING SHOWN FOR DESIGN INTENT. ALL LIGHTING WILL BE COMPLIANT TO CITY OF KETCHUM DARK SKY LIGHTING ORDINANCES.

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PROJECT MANAGER:

ISSUE DATE: 4/29/2024 PLOT DATE: 4/29/24 10:16:46 AM

LIGHTING + **UTILITY PLAN** 



Approved

These plans have been found to be in substantial compliance of the adopted building codes. These documents are approved contingent on compliance with the mark-ups and notes applied. This is not approval of any violation of any code, ordinance, statue or regulation. Corrections will be required for code violations found during the inspection process.

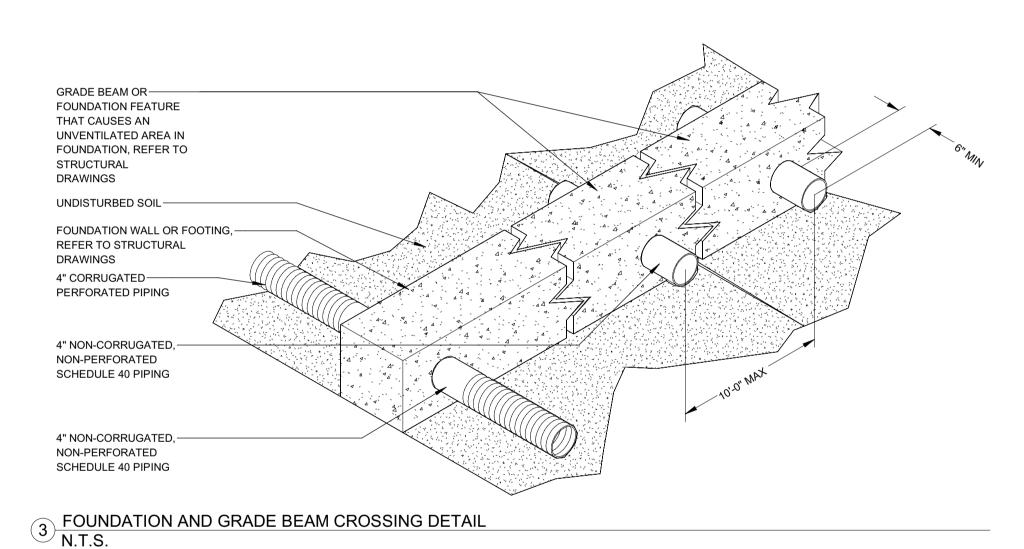
BLD2303-00021

06/26/23

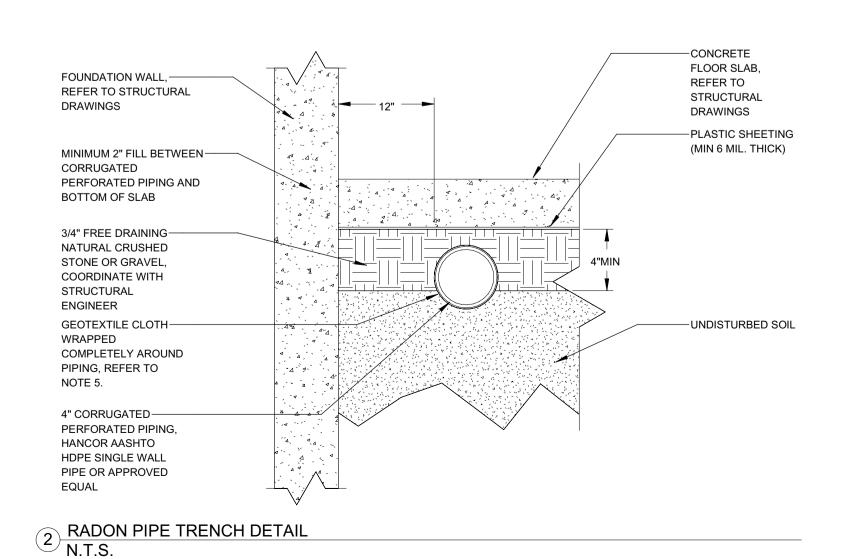
	RADON FAN SCHEDULE												
SYMBOL	MANUFACTURER	MODEL	TYPE	LOCATION	SERVING	MAX AIRFLOW	MAX ESP	FAN SPEED	PHASE	VOLTAGE	AMPS	WEIGHT	REMARKS
RF-1	FANTECH	RN4EC-4	INLINE	SEE PLANS	RADON RISER	555 CFM	4.4" WC	4084 RPM	1	120 V	2.1 A	7.8 LBS	1,2
RF-2	FANTECH	RN4EC-4	INLINE	SEE PLANS	RADON RISER	555 CFM	4.4" WC	4084 RPM	1	120 V	2.1 A	7.8 LBS	1,2
REMARKS: 1. INSTALL													

TIGHTNESS METHODS ARE ACCEPTABLE.

INSTALL FAN NO MORE THAN 10 FT FROM RADON EXHAUST PIPE TERMINATION TO BUILDING EXTERIOR.



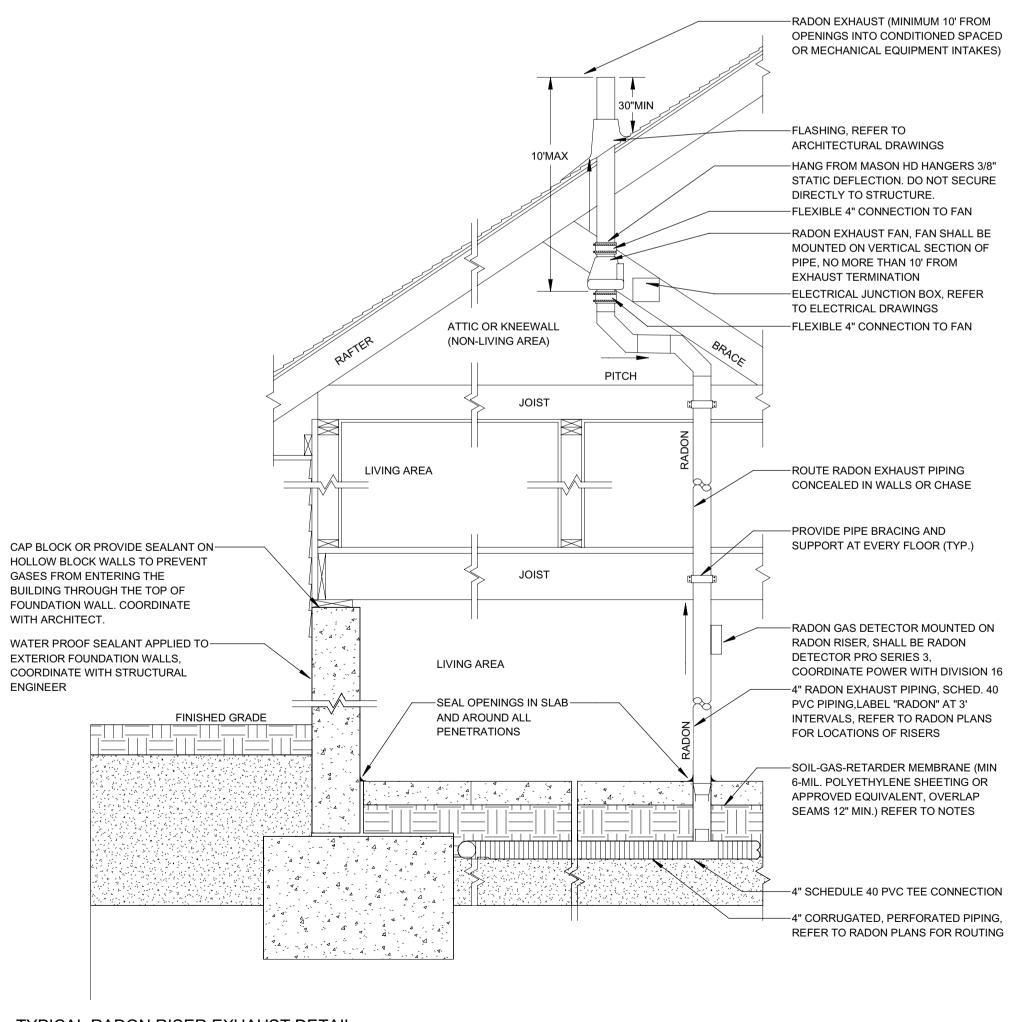
N.T.S.



1 TYPICAL RADON RISER EXHAUST DETAIL N.T.S.

**RADON NOTES** 1. UNDER SLAB RADON PIPING SHALL BE INSTALLED WITH A PITCH UPTOWARDS THE RISER OF 1/16" PER LINEAR FOOT. THROUGH SLAB RADON RISER SHALL BE 4" SCHEDULE 40 PVC. 3. ALL OPENINGS, GAPS, AND JOINTS IN FLOOR SLAB AND WALL ASSEMBLIES IN CONTACT WITH SOIL OR GAPS AROUND PIPES, TOILETS, BATHTUBS, DRAINS OR ANY OTHER SLAB PENETRATION IN THE FLOOR OR WALL ASSEMBLIES SHALL BE AIR-TIGHT SEAL. SEAL LARGE OPENINGS WITH NON-SHRINK MORTAR, GROUTS, OR EXPANDING FOAM AND SMALL GAPS WITH ELASTOMETRIC JOINT SEALANT, AS DEFINED IN ASTM C920-87. COORDINATE SEALANT SPECIFICATIONS WITH STRUCTURAL ENGINEER. 4. ALL UNDER SLAB CORRUGATED PERFORATED PIPING SHALL BE WRAPPED IN A GEOTEXTILE CLOTH TO REDUCE CLOGGING. CLOTH SHALL BE PROPEX GEOTEX OR APPROVED EQUAL. 5. 2" FILL SHALL BE PROVIDED BETWEEN THE TOP OF THE CORRUGATED PERFORATED PIPE AND THE BOTTOM OF THE FLOOR SLAB. 6. ALL SUB-SLAB PIPING, FOUNDATION AND FOOTING PENETRATIONS, AND RADON RISER LOCATIONS SHALL BE COORDINATED WITH THE STRUCTURAL 7. ALL CONCRETE SLABS THAT COME IN CONTACT WITH THE GROUND SHALL BE LAID OVER A GAS PERMEABLE MATERIAL MADE UP OF A MINIMUM 4" THICK UNIFORM LAYER OF CLEAN AGGREGATE, 3/4" IN DIAMETER. RADON EXHAUST PIPING SHALL BE INSTALLED SO THAT ANY RAINWATER OR CONDENSATION DRAINS DOWNWARD INTO THE GROUND BENEATH THE SLAB OR SOIL-GAS-RETARDER MEMBRANE. 9. ALL POSITIVELY PRESSURED PORTIONS OF THE RADON EXHAUST PIPING AND FAN SHALL BE LOCATED OUTSIDE THE HABITABLE SPACE OF THE BUILDING. 10. AN ALARM SIGNAL SHALL BE SENT TO THE SECURITY SYSTEM IF THERE IS A LOSS OF PRESSURE OF AIR FLOW IN THE RADON EXHAUST PIPE. 11. PROVIDE RADON GAS DETECTORS IN BASEMENT, AND ALL FLOORS WITH LIVABLE SPACE. COORDINATE FINAL LOCATION WITH ARCHITECT. 12. 45° BENDS SHALL BE USED TO CHANGE IN RADON EXHAUST PIPING DIRECTION.

13. SEAL ALL BUILDING CHASES FROM FLOOR TO FLOOR TO REDUCE THE RADON FLOWING INTO THE BUILDING DUE TO "STACK EFFECT" STANDARD AIR



CES Engineering
Services MT, LLC

1001 W Oak, Building B,
Suite 107

2022661

Bozeman MT 59715 406.272.0352 www.ceseng.com

ISSUANCES									
NO.	DATE	DESCRIPTION							
1									
2									
3									
4									
5									
6									

	REVISIONS					
NO.	DATE	DESCRIPTION				

121 BADGER LANE
KETCHUM IDAHO

# RADON DETAILS

DATE:	12/15/2022
PROJECT NO:	2022661
DRAWN:	Author
CHECKED:	Checker
ISSUED FOR:	PERMIT
REVISIONS:	

SEAL:

SHEET NO.

P-303.00

These plans have been found to be in substantial compliance of the adopted building codes. Thes documents are approved contingent on compliance with

the mark-ups and notes applied. This is not approval of

# Corrections will be required for code violations found ATION during the insolution of the code of the

06/26/23 PERIODIC STRUCTURAL OBSERVATION SHALL BE PROVIDED BY SEOR PER THE STRUCTURAL OBSERVATION FORM BELOW.

- DEPUTY INSPECTOR MUST PERFORM INSPECTION BEFORE STRUCTURAL ENGINEER PERFORMS OBSERVATION. DEPUTY INSPECTOR'S REPORT MUST BE AVAILABLE AT THE TIME OF OBSERVATION. IF DEPUTY INSPECTION IS NOT COMPLETED, STRUCTURAL OBSERVATION REPORT WILL LIST MISSING INSPECTION AS DEFICIENCY.
- 3. CONTRACTOR SHALL KEEP LATEST ISSUED DRAWINGS, RFI'S RESPONSES, AND SKETCHES ON SITE, AND SHALL MAKE SUCH DOCUMENTS AVAILABLE TO THE STRUCTURAL OBSERVER AND DEPUTY INSPECTOR.
- 4. CONTRACTOR SHALL NOTIFY ENGINEER 3 BUSINESS DAYS BEFORE REQUIRED OBSERVATIONS. DELINQUENT NOTIFICATION MAY REQUIRE DEMOLITION OF COVERING MATERIAL TO FACILITATE OBSERVATION.
- 6. STRUCTURAL OBSERVATION IS THE VISUAL OBSERVATION AT THE CONSTRUCTION SITE OF THE ELEMENTS AND CONNECTIONS OF THE STRUCTURAL SYSTEM AT SIGNIFICANT CONSTRUCTION STAGES AND THE COMPLETE STRUCTURE FOR GENERAL CONFORMANCE TO THE APPROVED PLANS AND SPECIFICATIONS.
- 7. STRUCTURAL OBSERVATIONS PERFORMED BY STRUCTURAL OBSERVER DURING CONSTRUCTION ARE NOT THE CONTINUOUS OR PERIODIC SPECIAL INSPECTION SERVICES PERFORMED BY A LICENSED DEPUTY INSPECTOR, NOR THE INSPECTION BY THE CITY INSPECTOR, AND DO NOT WAIVE THE RESPONSIBILITY FOR THE SPECIAL INSPECTIONS OR CITY INSPECTIONS.
- 8. STRUCTURAL OBSERVATIONS DO NOT CONSTITUTE QUALITY CONTROL, DO NOT GUARANTEE CONTRACTOR'S PERFORMANCE, AND SHALL NOT BE CONSIDERED AS SUPERVISION OF CONSTRUCTION.
- 9. THE OWNER SHALL EMPLOY A STATE OF CALIFORNIA REGISTERED CIVIL OR STRUCTURAL ENGINEER OR LICENSED ARCHITECT - THE STRUCTURAL OBSERVER - TO PERFORM THE STRUCTURAL OBSERVATIONS. THE DEPARTMENT OF BUILDING AND SAFETY OF AUTHORITY OF JURISDICTION REQUIRES THE USE OF THE ENGINEER OR HIS/HER DESIGNEE RESPONSIBLE FOR THE STRUCTURAL DESIGN WHO ARE INDEPENDENT OF THE CONTRACTOR
- 10. THE OWNER OR OWNER'S REPRESENTATIVE SHALL COORDINATE AND CALL FOR A MEETING BETWEEN THE ENGINEER OR ARCHITECT RESPONSIBLE FOR THE STRUCTURAL DESIGN. STRUCTURAL OBSERVER, CONTRACTOR, AFFECTED SUBCONTRACTORS AND DEPUTY INSPECTORS. THE PURPOSE OF THE MEETING SHALL BE TO IDENTIFY THE MAJOR STRUCTURAL ELEMENTS AND CONNECTIONS THAT AFFECT THE VERTICAL AND LATERAL LOAD SYSTEMS OF THE STRUCTURE AND TO REVIEW SCHEDULING OF THE REQUIRED OBSERVATIONS.
- 11. THE STRUCTURAL OBSERVER SHALL PERFORM SITE VISITS AT THOSE STEPS IN THE PROGRESS OF THE WORK THAT ALLOW FOR CORRECTION OF DEFICIENCIES WITHOUT SUBSTANTIAL EFFORT OR UNCOVERING OF THE WORK INVOLVED. AT A MINIMUM, THE LISTED SIGNIFICANT CONSTRUCTION STAGES ON THE FOLLOWING STRUCTURAL OBSERVATION/SIGNIFICANT CONSTRUCTION STAGES TABLE REQUIRE A SITE VISIT AND AN OBSERVATION REPORT FROM THE STRUCTURAL OBSERVER.
- 12. A FINAL OBSERVATION REPORT AND THAT OF THE REGISTERED DEPUTY INSPECTOR MUST BE SUBMITTED WHICH SHOWS THAT ALL OBSERVED DEFICIENCIES WERE RESOLVED AND STRUCTURAL SYSTEM GENERALLY CONFORMS WITH THE APPROVED PLANS AND SPECIFICATIONS. THE DEPARTMENT OF BUILDING AND SAFETY (LADBS) WILL NOT ACCEPT THE STRUCTURAL WORK WITHOUT THIS FINAL OBSERVATION REPORT AND THAT OF THE REGISTERED DEPUTY INSPECTOR (WHEN PROVIDED) AND THE CORRECTION OF SPECIFIC DEFICIENCIES NOTED DURING NORMAL BUILDING INSPECTION.

# STRUCTURAL OBSERVATION TABLE



Los Angeles Regional Uniform Committee I-3: Structural Observation



## STRUCTURAL OBSERVATION PROGRAM AND DESIGNATION OF THE STRUCTURAL OBSERVER

PROJECT ADDRESS: PERMIT APPL. NO.: Description of Work: Architect:

Owner:	Architect:	E	nginee	r:			
				OBSERVATION ems are required)			
Firm or Individual to be Name: Labib Funk & A				ervation: 3) 239.9700		Calif. Registration: S	S4549
FOUNDATION		WALL		FRAME		DIAPHRAGM / SLAB /	S.O.G.
Footings, Stem Walls, Piers	X	Concrete	X	Steel Moment Frame	· 🛛	Concrete	X
Mat Foundation	X	Masonry	×	Steel Braced Frame	×	Steel Deck	X
Caissons, Piles, Grade Beams	X	Wood	X	Concrete Moment Frame	×	Wood	X
Step'g / Retain'g Found Hillside Special Anchors	×	Hardy Frames Strong Walls	×	Masonry Frame	×		X
Others	$\boxtimes$	Others	$\boxtimes$	Others	$\boxtimes$	Others	X

# **DECLARATION BY OWNER**

I, the Owner of the project, declare that the above listed firm or individual is hired by me to be the Structural

nature	Da

DECLARATION BY ARCHITECT OR ENGINEER OF RECORD (REQUIRED IF THE STRUCTURAL OBSERVER IS

DIFFERENT FROM THE ARCHITECT OR ENGINEER OF RECORD)

License No

I, the Architect or Engineer of record for the project, declare that the above listed firm or individual is designated by me to be responsible for the Structural Observation

Signature

# STATEMENT OF SPECIAL INSPECTION

- 1. CONTINUOUS AND PERIODIC SPECIAL INSPECTION IS REQUIRED FOR THE WORK AS DESCRIBED IN CBC 2019 CHAPTER 17. SEE INSPECTION SCHEDULE BELOW. ONLY CHECKED ITEMS ARE
- 2. APPROVAL BY THE INSPECTOR DOES NOT MEAN APPROVAL OF FAILURE TO COMPLY WITH THE PLANS OR SPECIFICATIONS. ANY DETAIL THAT FAILS TO BE CLEAR OR IS AMBIGUOUS MUST BE REFERRED TO THE STRUCTURAL ENGINEER FOR INTERPRETATION OR CLARIFICATION.
- 3. FOR VERIFICATION AND INSPECTION OF SOILS SEE SOILS REPORT
- 4. CONTINUOUS SPECIAL INSPECTION PER AWS D1.1 IS REQUIRED FOR ALL STRUCTURAL STEEL WELDING, EXCEPT FOR SINGLE PASS FILLET WELDS NOT EXCEEDING 5/16" IN SIZE. WELDING INSPECTORS SHALL BE REGISTERED AND/OR CERTIFIED BY THE JURISDICTION HAVING AUTHORITY AND SHALL AT A MINIMUM BE AWS Q.C.-1 CERTIFIED. IN ADDITION, WELDING INSPECTORS SHALL BE A CITY OF LOS ANGELES REGISTERED DEPUTY STRUCTURAL STEEL INSPECTOR FOR WORK PERFORMED WITHIN THE CITY OF LOS ANGELES.
- 5. STRUCTURAL WOOD. PERIODIC SPECIAL INSPECTION IS REQUIRED FOR WOOD SHEAR WALLS, SHEAR PANELS, AND DIAPHRAGMS, INCLUDING NAILING, BOLTING, ANCHORING, AND OTHER FASTENING OF COMPONENTS OF THE SEISMIC FORCE RESISTING SYSTEM, INCLUDING WOOD SHEAR WALLS, WOOD DIAPHRAGMS, DRAG STRUTS, BRACES, SHEAR PANELS, AND HOLDOWNS. EXCEPTION: SPECIAL INSPECTION IS NOT REQUIRED FOR WOOD SHEAR WALLS, SHEAR PANELS AND DIAPHRAGMS, INCLUDING NAILING, BOLTING, ANCHORING AND OTHER FASTENING TO OTHER COMPONENTS OF THE SEISMIC-FORCE-RESISTING SYSTEM, WHERE THE FASTENER SPACING OF THE SHEATHING IS MORE THAN 4 INCHES ON CENTER (O.C.). INSPECTIONS SHALL BE PERFORMED BEFORE COVERING.
- 6. CONTRACTORS RESPONSIBLE FOR CONSTRUCTION OF A WIND OR SEISMIC FORCE RESISTING SYSTEM/COMPONENT LISTED IN THIS STATEMENT OF SPECIAL INSPECTION SHALL SUBMIT A WRITTEN STATEMENT OF RESPONSIBILITY TO THE LADBS INSPECTORS AND THE OWNER PRIOR TO THE COMMENCEMENT OF WORK ON SUCH A SYSTEM OR COMPONENT PER SEC 1704.4.
- WHERE FABRICATION OF MEMBERS AND ASSEMBLIES IS PERFORMED ON THE PREMISES OF A FABRICATOR'S SHOP, SPECIAL INSPECTION OF THE FABRICATED ITEMS SHALL BE REQUIRED BY THIS SECTION, UNLESS THE FABRICATOR IS REGISTERED AND APPROVED TO PERFORM SUCH WORK WITHOUT SPECIAL INSPECTION. APPROVAL SHALL BE BASED UPON REVIEW OF THE FABRICATOR'S WRITTEN PROCEDURAL AND QUALITY CONTROL MANUALS AND PERIODIC AUDITING OF FABRICATION PRACTICES BY AN APPROVED SPECIAL INSPECTION AGENCY. AT COMPLETION OF FABRICATION, THE APPROVED FABRICATOR SHALL SUBMIT A CERTIFICATE OF COMPLIANCE TO THE BUILDING OFFICIAL STATING THAT THE WORK WAS PERFORMED IN ACCORDANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS. CONTRACTOR SHALL BE RESPONSIBLE OF VERIFYING APPROVAL OF FABRICATOR.

			,
	INSPECTION SCH	EDULE	
TYPE OF WORK	CODE REFERENCE	REMARKS	
CONCRETE WORK	CBC TABLE 1705.3		] :
SHOTCRETE WORK	CBC TABLE 1705.3		
REINFORCING STEEL	CBC TBL 1705.2.2 1705.3		
POST INSTALLED ANCHORS	CBC TABLE 1705.3	SEE ALSO ICC APPROVAL	
STRUCTURAL STEEL	CBC 1705.2		
STRUCTURAL STEEL WELDING	CBC 1705.2		
HIGH STRENGTH BOLTING	CBC 1705.2		
MASONRY WORK	CBC 1705.4		
HIGH LOAD DIAPHRAGMS	CBC 1705.5.1		
STRUCTURAL WOOD	CBC 1705.10.1 & 1705.11.2	SEE NOTE ABOVE	
COLD FORMED STEEL	CBC 1705.10.2 & 1705.11.3		
DRIVEN DEEP FOUND. ELEMENT	CBC TABLE 1705.7		
CAST IN PLACE DEEP FOUND.	CBC TABLE 1705.8		
SOIL CONDITION	CBC TABLE 1705.6	SEE SOILS REPORT FOR COMPLIANCE	1

# **FOUNDATIONS**

- CONTRACTOR SHALL CONTACT ENGINEER IF EXCAVATIONS REVEAL UNFAVORABLE CONDITIONS. THE SERVICES OF A SOILS ENGINEER AND/OR GEOLOGIST MAY BE REQUIRED.
- 2. ALL FOOTINGS SHALL BE FOUNDED A MIN OF 24" BELOW THE LOWEST ADJACENT GRADE AND A MINIMUM OF 12" INTO NATIVE SOIL WHICHEVER GOVERNS UNLESS NOTED OTHERWISE.
- 3. 1500 PSF ALLOWABLE SOIL BEARING PRESSURE WAS USED IN THE DESIGN.
- 4. EXCAVATION SHALL BE PROPERLY BACKFILLED. ALL FILL SHALL BE COMPACTED TO A MINIMUM OF 90% RELATIVE COMPACTION OF THE MAXIMUM DENISTY AS DETERMINED BY THE LATEST VERSION ON ASTM D1557. FILL TYPES WITH 15% FINER THAN 0.005MM SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY.
- 5. REMOVE ABANDONED FOOTINGS, UTILITIES, ETC. WHICH INTERFERE WITH NEW CONSTRUCTION, UNLESS OTHERWISE INDICATED.
- 6. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR EXCAVATION PROCEDURES INCLUDING LAGGING, SHORING, UNDERPINNING AND PROTECTION OF EXISTING CONSTRUCTION.
- LOCATE AND PROTECT EXISTING UTILITIES TO REMAIN DURING AND/OR AFTER CONSTRUCTION.
- 8. REMOVE LOOSE SOIL AND STANDING WATER FROM FOUNDATION EXCAVATIONS PRIOR TO PLACING CONCRETE.
- 9. NOTIFY THE OWNER'S REPRESENTATIVE IF ANY BURIED STRUCTURES NOT INDICATED, SUCH AS CESSPOOLS, CISTERNS, FOUNDATIONS, ETC., ARE FOUND.

## CODE

1. BUILDING SHALL COMPLY WITH THE XXXX XXXXX BUILDING CODE.

2. VERTICAL LIVE LOADS: A. ROOF XX PSF B. FLOORS XX PSF 100 PSF C. EGRESS

LATERAL LOADS: A. WIND:

> ASCE 7-16, § 30.4, H ≤ 60 FT BASIC WIND SPEED: 110 MPH FACTOR, Iw: 1.0 WIND IMPORTANCE

**EXPOSURE TYPE:** C&C WALL LOAD: P = ### x (GCp + 0.18) (PSF) (POSITIVE)

P = ### x (GCp - 0.18) (PSF) (NEGATIVE/SUCTION)WHERE GCp IS TO BE DETERMINED BASED ON FIG. 30.3-1 OF ASCE 7-16 AND EFFECTIVE WIND LOAD OF MEMBER BEING DESIGNED WIND LOAD "P" ABOVE IS AT STRENGTH LEVEL PER ASCE 7-16 MIN MAGNITUDE OF "P" SHALL BE 16 PSF (POSITIVE OR NEGATIVE) MAGNITUDE OF "P" DOES NOT NEED TO BE TAKEN GREATER THAN ### PSF FOR POSITIVE

## B. SEISMIC:

EXPECTED INTERSTORY DRIFT FOR EACH STORY IS AS OUTLINED BELOW. ALL NON-STRUCTURAL ELEMENTS OF THE BUILDING INCLUDING BUT NOT LIMITED TO FINISHES. GLAZING, MEP, ETC. SHALL TAKE INTO ACCOUNT THIS PARAMETER.

- INELASTIC INTERSTORY DRIFT RATIO = 0.02 - ELASTIC INTERSTORY DRIFT RATIO = CONTACT SEOR

PRESSURE AND ### PSF FOR NEGATIVE PRESSURE.

SITE CLASS: # SEISMIC DESIGN CATEGORY: # RISK CATEGORY: # SEISMIC IMPORTANCE FACTOR, le: # SS = ###

S1 = ### FA = ## FV = ##

SDS = ### SD1 = #### R = ## (####) o = ###

 $V = CS \times W$ 

BLLN

BLK'G

C&C

CFS

CLN

CPE

FJ

FN

FRM'G

FTG

CS = #### EQUIVALENT STATIC FORCE METHOD USED FOR DESIGN.

ABBREVIATIONS LIGHT GAUGE LAP SPLICE LAMINATED VENEER LUMBER ACRONYMS OF ABBREVIATION MAY INTERCHANGEABLY LIGHT WEIGHT USED WITH OR WITHOUT SEPARATION DOTS (E.G. BOTH MAXIMUM

AB OR A.B. MEAN "ANCHOR BOLTS") MAXANCHOR BOLTS M&M ANCHOR REINFORCEMENT MIN ARCHITECT OR ARCHITECTURAL ALL THREADED ROD ATR AXO AXONOMETRIC VIEW NLB BASE BUILDING

NON LOAD BEARING NON STRUCTURAL INFRASTRUCTURE BOUNDARY NAILING BALLOON OC ON CENTER **BLOCKING** ORDINARY BOUNDARY ZONE OBZ BEAM **BOUNDARY SCREWS** POST ABOVE POST BELOW COLUMN ABOVE PRESERVATIVE TREATED CAST IN PLACE PLATE/PROPERTY LINE

COMPONENT AND CLADDING PLYWD PLYWOOD COLD FORMED PARALLAM PSL **COLD FORMED STEEL CEILING JOIST** REDUCED BEAM SECTION COLUMN REINF REINFORCEMENT CONCRETE REQ'D REQUIRED ROOF JOISTS

CONC CONNECTION CONN CONT CONTINUOUS CONTINUOUS PANEL EDGES ANCHOR DIAMETER

NOMINAL MAX SIZE OF COURSE **AGGREGATE** Db OR db REBAR DIAMETER DOUGLAS FIR-LARCH DFL **DECK JOISTS** DO DO OVER DRAWINGS DWG'S **EXISTING** 

**EXISTING EDGE NAILING** EACH EOR **ENGINEER OF RECORD EDGE SCREWS** 

FURNITURE FIXTURE AND EQUIPMENT **FLOOR JOISTS** FIELD NAILING FRAMING FOOTING FLEXURAL REINFORCEMENT FIRE RETARDANT TREATED FIELD SCREWS

**GRID LINE** 

TENSION LAP SPLICE

LOAD BEARING

GENERAL CONTRACTOR **GLULAM BEAM** TENSION DEVELOPMENT LENGTH COMPRESSION DEVELOPMENT LENGTH DEVELOPMENT LENGTH OF STD HOOK DEVELOPMENT LENGTH OF HEADED BARS

TOP AND BOTTOM T&G TONGUE AND GROOVE TOP NAILER T&SR TEMPERATURE & SHRINKAGE REINFORCEMENT TYP UNO UNLESS NOTED OTHERWISE UNDER SEPARATE PERMIT **VERIFY IN FIELD** 

COMPRESSION LAP SPLICE

WOOD WELDED NELSON STUDS

WELDED THREADED STUDS WOOD STRUCTURAL PANEL FOLLOWED BY NUMBER IS THE SPACING ON

MACHINE BOLTS

**ROOF RAFTERS** 

SLAB ON GRADE

STEEL METAL DECK

SHEET METAL SCREWS

SELECT STRUCTURAL

SCHEDULE

SHEATHING

SIDE NAILER

STAGGERED

STANDARD

SIMILAR

AS ENGINEERED LUMBER)

SEOR

SOG

**SCHED** 

SHT'G

SIM

SMD

SMS

STD

STG

AS E.O.R.)

SEE ARCHITECTURAL DRAWINGS

STRUCTURAL COMPOSITE LUMBER (SAME

STRUCTURAL ENGINEER OF RECORD (SAME

SPECIAL BOUNDARY ZONE

MINIMUM

NEW

NEW

MEANS AND METHODS

CENTER IN NO OTHER UNITS ARE SPECIFIED INCHES

ARE IMPLIED

## **GENERAL**

- 1. ALL NEW CONSTRUCTION SHALL COMPLY WITH THE CONTRACT DOCUMENTS AND THE CALIFORNIA BUILDING CODE / LOS ANGELES BUILDING CODE.
- 2. REFERENCE TO CODES, RULES, REGULATIONS, STANDARDS, MANUFACTURER'S INSTRUCTIONS OR REQUIREMENTS OF REGULATORY AGENCIES ARE TO THE LATEST PRINTED EDITION OF EACH IN EFFECT AT THE DATE OF SUBMISSION OF BID UNLESS THE DOCUMENT DATE IS SHOWN.
- 3. TYPICAL DETAILS AND GENERAL NOTES APPLY TO ALL PARTS OF THE WORK EXCEPT WHERE SPECIFICALLY DETAILED OR UNLESS NOTED OTHERWISE (U.N.O.)
- 4. THE STRUCTURAL DRAWINGS ILLUSTRATE THE NEW STRUCTURAL MEMBERS. REFER TO ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR NON-STRUCTURAL ITEMS WHICH REQUIRE SPECIAL PROVISIONS DURING THE CONSTRUCTION OF THE STRUCTURAL MEMBERS.
- REFER TO ARCHITECTURAL DRAWINGS FOR FLOOR DEPRESSIONS, EDGE OF SLAB, OPENINGS, SLOPES, DRAINS, CURBS, PADS, EMBEDDED ITEMS, NON-BEARING PARTITIONS, ETC. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR SLEEVES, OPENINGS, AND HANGERS FOR PIPES, DUCTS AND EQUIPMENT.
- DRAWING DIMENSIONS ARE TO FACE OF STRUCTURE, JOINT CENTERLINE OR COLUMN GRID CENTERLINE UNLESS NOTED OTHERWISE. DO NOT SCALE THE DRAWINGS.
- THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR COORDINATING THE WORK OF ALL TRADES AND SHALL VERIFY ALL DIMENSIONS AND CONDITIONS WHICH IMPACT THE WORK, FIELD VERIFY SIZES, ELEVATIONS, HOLE LOCATIONS, ETC. PRIOR TO FABRICATION. THE LANGUAGE "BY OTHERS" USED IN THIS STRUCTURAL DRAWING SET INDICATES ELEMENTS OR PARTS OF WORK NOT WITHIN SEOR SCOPE AND SHOWN OR REFERENCED FOR EASE OF COORDINATION ONLY. SUCH LANGUAGE SHALL NOT IMPLY THAT SUCH ELEMENTS OR PARTS OF WORK ARE EXCLUDED FROM THE CONTRACTOR'S SCOPE OF WORK.
- CONTRACTOR SHALL CAREFULLY REVIEW THE DRAWINGS TO IDENTIFY THE SCOPE OF WORK REQUIRED. VISIT THE SITE TO RELATE THE SCOPE OF WORK TO EXISTING CONDITIONS AND DETERMINE THE EXTENT TO WHICH THOSE CONDITIONS AND PHYSICAL SURROUNDINGS WILL IMPACT THE WORK.
- EXISTING CONDITIONS AS SHOWN ON THESE PLANS ARE FOR REFERENCE ONLY. CONTRACTOR IS REQUIRED TO FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL REPORT CONDITIONS THAT CONFLICT WITH THE CONTRACT DOCUMENTS TO THE OWNER'S REPRESENTATIVE. DO NOT DEVIATE FROM THE CONTRACT DOCUMENTS WITHOUT WRITTEN DIRECTION FROM THE OWNER'S REPRESENTATIVE.
- 10. THE CONTRACTOR SHALL RESOLVE ANY CONFLICTS ON THE DRAWINGS OR IN THE SPECIFICATIONS WITH THE OWNER'S REPRESENTATIVE BEFORE PROCEEDING WITH THE WORK.
- 11. ANY DEVIATION, MODIFICATION & SUBSTITUTION FROM THE APPROVED SET OF STRUCTURAL DRAWINGS SHALL BE SUBMITTED TO THE OWNER'S REPRESENTATIVE FOR REVIEW/APPROVAL PRIOR TO ITS USE OR INCLUSION ON THE SHOP DRAWINGS & PRIOR TO PROCEEDING WITH THE WORK.
- 12. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY CONCRETE FORMWORK SHORING/RE-SHORING, EXCAVATION SHORING, DEMOLITION SHORING, BRACES, GUYS, HOIST BEAMS, ETC., REQUIRED TO SUPPORT ANY AND ALL LOADS THE BUILDING STRUCTURE AND COMPONENTS, EARTHWORK, OTHER STRUCTURES, AND UTILITIES ARE SUBJECTED TO DURING CONSTRUCTION. CONCRETE FORMWORK/CONCRETE RE-SHORING. DEMOLITION. AND EXCAVATION SHORING SYSTEMS MUST BE DESIGNED AND STAMPED BY A CIVIL OR STRUCTURAL ENGINEER LICENSED BY THE LOCAL JURISDICTION AND RETAINED BY THE CONTRACTOR. VISITS TO THE SITE BY SEOR DOES NOT INCLUDE OBSERVATION OF THE ABOVE NOTED ITEMS.
- 13. THE CONTRACTOR SHALL PROVIDE MEANS, METHOD, TECHNIQUES, SEQUENCE AND PROCEDURE OF CONSTRUCTION AS REQUIRED. SITE VISITS PERFORMED BY SEOR DO NOT INCLUDE INSPECTIONS OF MEANS AND METHODS OF CONSTRUCTION PERFORMED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL PROTECT ALL WORK, MATERIALS AND EQUIPMENT FROM DAMAGE AND SHALL PROVIDE PROPER STORAGE FACILITIES FOR MATERIALS AND EQUIPMENT DURING CONSTRUCTION.
- 15. A COPY OF ANY REQUIRED LOS ANGELES RESEARCH REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.
- 16. ATTACHMENT OF NON-STRUCTURAL COMPONENTS SPECIFIED BY OTHERS TO STRUCTURAL ELEMENTS SHALL BE SPECIFIED BY THE NON-STRUCTURAL COMPONENT DESIGNER/SPECIFIER/INSTALLER. DESIGNER OF NON-STRUCTURAL ELEMENTS SHALL AT A MINIMUM SPECIFY THE CONNECTION TO THE STRUCTURE INCLUDING BUT NOT LIMITED TO: ANY TYPE OF CONNECTING HARDWARE, WIRE, HANGERS, FASTENERS, CLIPS, UNISTRUT MEMBERS. ATTACHMENT AND BRACING OF NON STRUCTURAL COMPONENTS SHALL MEET THE APPLICABLE BUILDING CODES. NON STRUCTURAL ELEMENTS SHALL INCLUDE, BUT NOT LIMITED TO: MEP AND HVAC EQUIPMENT & THEIR SUPPORTING PADS, INDUSTRIAL KITCHEN EQUIPMENT, PLATFORMS, FRAMES, ETC.; DUCTWORK, PIPES, CONDUITS, ARTWORK, GRILLES, GRATING, METAL SCREENS, ELEVATOR RAILS, STONE FINISH TILES, STONE CAPS, BRICK VENEER.
- 17. SPECIFICATIONS RELATED TO WATERPROOFING, INCLUDING BUT NOT LIMITED TO MEMBRANES, WATERSTOPS, SEALANTS, FLASHING, VAPOR BARRIER, ARE AS SPECIFIED BY ARCHITECT/WATER PROOFING CONSULTANT, AND ARE EXCLUDED FROM SEOR SCOPE.
- 18. GENERAL CONTRACTORS AND SUBCONTRACTORS SHALL REVIEW AND PROVIDE APPROVAL STAMP FOR ALL STRUCTURAL SHOP DRAWINGS AND SUBMITTALS PRIOR TO SUBMITTING TO
- 19. ALLOW 10 BUSINESS DAYS FOR PROCESSING SHOP DRAWINGS AND SUBMITTALS AFTER RECEIPT. ALLOW 5 BUSINESS DAYS FOR RESPONDING TO REQUESTS FOR INFORMATION (RFI'S). PROVIDE 3 BUSINESS DAYS NOTICE FOR STRUCTURAL OBSERVATIONS.

## **BADGER RESIDENCE**

OWNER: 121 BADGER LANE LLC

P.O. BOX 14001-174 KETCHUM, ID 83340

**RO | ROCKETT DESIGN** 1031 W. MANCHESTER BLVD, UNIT 6

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GEOTECHNICAL ENGINEER:

**BUTLER ASSOCIATES, INC.** P.O. BOX 1034

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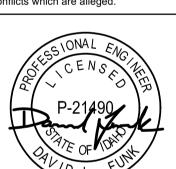
STRUCTURAL ENGINEER:

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PC SUBMITTAL 02/24/23 NO DATE ISSUE

PROJECT: BADGER RESIDENCE

121 BADGER LANE KETCHUM, ID 83340

PROJECT NUMBER

#2201 DRAWING TITLE:

**GENERAL NOTES** 

# rrections will be required for code violations found the SIVE ANCHORS ing the in the CHARLES AND ADHESIVE ANCHORS

documents are approved contingent on compliance with

the mark-ups and notes applied. This is not approval of

# 6/26/23 ADHESIVE ANCHORS AND DOWELS INSTALLED INTO CONCRETE:

- A. "SET-XP" BY SIMPSON STRONG TIE (COLA RR#25744, ESR#2508) B. "HIT-HY 200" BY HILTI, INC. (COLA RR#25964, ESR#3187) C. "HIT-RE 500 V3" BY HILTI, INC. (COLA RR#26028, ESR#3814)
- D. "PURE110+" BY DEWALT (COLA RR#26035, ESR#3298)
- 2. ADHESIVE ANCHORS AND DOWELS INSTALLED INTO GROUT-FILLED MASONRY UNITS: A. "SET-XP" BY SIMPSON STRONG TIE (COLA RR#25965, IAPMO ER#265)
- B. "AC100+GOLD" BY DEWALT (COLA RR#26049, ESR#3200)
- 3. ADHESIVE ANCHORS AND DOWELS INSTALLED INTO UNREINFORCED BRICK MASONRY (URM): A. "EPOXY-TIE ET-HP" BY SIMPSON STRONG TIE, IN CITY OF LOS ANGELES ONLY (COLA RR#25120)
- B. "EPOXY-TIE SET" BY SIMPSON STRONG TIE, NOT IN CITY OF LOS ANGELES (ESR#1772)
- C. "AC100+GOLD" BY DEWALT (ESR#4105)
- 4. MECHANICAL ANCHORS INSTALLED INTO CONCRETE
- A. "STRONG BOLT2" BY SIMPSON STRONG-TIE (COLA RR#25891, ESR#3037)
- B. "KWIK BOLT 3" BY HILTI, INC. NOT IN CITY OF LOS ANGELES (ESR#2302)
- C. "KWIK BOLT TZ" BY HILTI, INC. (COLA RR#25701, ESR#1917) D. "POWER-STUD+SD2" BY DEWALT (COLA RR#26035, ESR#2502)
- MECHANICAL ANCHORS INSTALLED INTO GROUT-FILLED MASONRY UNITS
- A. "STRONG BOLT 2" BY SIMPSON STRONG-TIE (COLA RR#25936, IAPMO#240) B. "POWER-STUD+SD1" BY DEWALT (COLA RR#25864, ESR#2966)
- 6. ADHESIVE ANCHORS: ASTM A36 THREADED RODS WITH ASTM A 563 GRADE A NUTS AND ANSI B18.22.1 TYPE A WASHERS, UNLESS OTHERWISE NOTED. ANCHORS DESIGNATED AS ASTM A193 GRADE B7 THREADED RODS TO USE ASTM A 563 GRADE DH HEAVY HEX NUTS AND ASTM F 436 WASHERS.
- 7. ADHESIVE DOWELS: ASTM A615 GRADE 60 REINFORCING STEEL.
- 8. ALL ANCHORS SHALL BE INSTALLED IN ACCORDANCE WITH ICC-ES REPORT AND COLA REPORT AND MANUFACTURERS RECOMMENDATIONS.
- 10. UNLESS OTHERWISE NOTED, PROVIDE MINIMUM EMBEDMENT OF ANCHORS PER ICC-ES REPORT, COLA REPORTS & MANUFACTURERS RECOMMENDATIONS.
- 11. CONFIRM FINAL ANCHOR LOCATIONS PRIOR TO FABRICATING PLATES. MEMBERS. OR OTHER STEEL ASSEMBLIES ATTACHED WITH MECHANICAL OR ADHESIVE ANCHORS. AT CONTRACTOR OPTION, OVERSIZED HOLES AND WELDED PLATE WASHERS CAN BE USED IN LIEU OF STANDARD DIAMETER HOLES. SIZE & WELD
- 12. PRIOR TO ALL DRILLING OR CORING. THE CONTRACTOR SHALL (1) VERIFY THE EXISTING CONCRETE OR MASONRY THICKNESS TO PREVENT DAMAGE TO THE OPPOSITE FACE OF CONCRETE AND MAINTAIN 1-1/2" CLEAR COVER U.N.O., AND (2) IDENTIFY EXISTING REINFORCING LOCATIONS BY PACHOMETER, PROBING, CHIPPING, ETC. TO AVOID DAMAGE EXISTING REINFORCING.
- 13. IF REINFORCEMENT IS ENCOUNTERED DURING DRILLING, ABANDON AND SHIFT THE HOLE LOCATION TO AVOID THE REINFORCEMENT, PROVIDE A MINIMUM OF 2 ANCHOR DIAMETERS OR 1 INCH. WHICHEVER IS LARGER. OF SOUND CONCRETE BETWEEN THE DOWEL AND THE ABANDONED HOLE. FILL THE ABANDONED HOLE WITH NON-SHRINK GROUT. IF THE ANCHOR OR DOWEL MAY NOT BE SHIFTED AS NOTED ABOVE, THE ENGINEER WILL DETERMINE A NEW LOCATION.
- ANCHORS SHALL BE PROOF-TESTED BY OWNER'S TESTING AND INSPECTION AGENCY. TEST 20% OF ALL ANCHORS
- 15. TEST ANCHORS NO SOONER THAN 24 HOURS AFTER INSTALLATION.
- 16. APPLY TEST LOAD BY ANY METHOD THAT WILL EFFECTIVELY MEASURE THE TENSION ON THE ANCHOR SUCH AS DIRECT PULL WITH A HYDRAULIC JACK, TORQUE WRENCH, OR CALIBRATED SPRING-LOADING DEVICES, ETC.
- 17. ADHESIVE ANCHORS SHALL BE INSTALLED IN CONCRETE OR GROUT HAVING A MINIMUM AGE OF 21 DAYS AT THE TIME OF ANCHOR INSTALLATION.
- 18. ALLOW FOR CURING TIME PER MANUFACTURER RECOMMENDATIONS PRIOR TO POURING FRESH CONCRETE AGAINST DRILL AND EPOXY ELEMENTS
- 19. FOR EXTERIOR AND FOR EXPOSED APPLICATIONS PROVIDE HOT DIP GALVANIZED OR STAINLESS STEEL ANCHORS.

# STRUCTURAL SCOPE - BID

- 1. THE FRAMING AND OTHER STRUCTURAL ELEMENTS SPECIFIED IN THESE PLANS REPRESENT STRUCTURAL FRAMING OF THE MAIN STRUCTURE.
- 2. AN APPROPRIATE ALLOWANCE SHALL BE PLANNED FOR AND PROVIDED TO ALLOW FOR ADDITIONAL MISCELLANEOUS FRAMING/BLOCKING, NOT PART OF THE MAIN STRUCTURE. AS REQUIRED FOR SUPPORT OF NON STRUCTURAL ELEMENTS SUCH AS, BUT NOT LIMITED TO, SUSPENDED CEILINGS, SOFFITS, COVES, ARCHITECTURAL FURRING AND BLOCKING, MECHANICAL DUCT WORK AND EQUIPMENT. ELECTRICAL FIXTURES & ROUTING. PLUMBING CHASES. SPRINKLERS, AND OTHER RELATED NONSTRUCTURAL ELEMENTS. CONSULT AND COORDINATE WITH ARCHITECTURAL DRAWINGS AND MECHANICAL, ELECTRICAL, & PLUMBING DRAWINGS (OR MEP DESIGN-BUILD CONTRACTOR OR SUBCONTRACTORS) FOR SPECIFIC GUIDANCE IN THIS
- 3. FRAMING LAYOUT AND OTHER STRUCTURAL ELEMENTS TO BE COORDINATED WITH AND ALIGNED TO / PROVIDE FOR APPROPRIATE ALIGNMENT WITH NON STRUCTURAL ELEMENTS PER PREVIOUS PARAGRAPH. CONSULT AND COORDINATE WITH ARCHITECTURAL DRAWINGS AND MECHANICAL. ELECTRICAL. & PLUMBING DRAWINGS (OR MEP DESIGN-BUILD CONTRACTOR OR SUBCONTRACTORS) FOR SPECIFIC GUIDANCE IN THIS REGARD.
- 4. THESE DRAWINGS ARE NOT MEANT AS A BID SET UNLESS SPECIFICALLY INDICATED IN THE SUBMITTAL ISSUANCE NAME AS "BID SET". PLEASE CONFIRM WITH SEOR PRIOR TO USING THESE DRAWINGS AS A BID SET.
- 5. STRUCTURAL ITEMS THAT ARE TO BE CONTRACTOR DESIGNED AND BUILT ARE PER THE DEFERRED SUBMITTAL LIST ON STRUCTURAL AND/OR ARCHITECTURAL DRAWINGS.
- 6. THE FOLLOWING ITEMS ARE EXAMPLES OF ITEMS THAT ARE NOT INCLUDED IN THE DRAWINGS AND SHALL BE ESTIMATED AND PROVIDED BY THE CONTRACTOR BASED ON OTHER CONSULTANTS DRAWINGS AND SPECIFICATIONS:
- A. MEP ANCHORAGE
- B. FIRE SPRINKLERS C. ELEVATORS MISC. STEEL
- D. FACADE ATTACHMENT
- E. LANDSCAPE ELEMENTS
- F. MONUMENTS AND ARTWORK
- G. SIGNAGE
- H. POOL SHELL AND EQUIPMENT ANCHORAGE CABLE SYSTEMS
- J. MISC. METAL SHOWN IN CONSULTANTS' DRAWINGS OR REQUIRED FOR ATTACHMENTS OF THEIR COMPONENTS.
- K. GUARD RAIL INFILLS L. GLAZING AND ATTACHMENT
- M. STOREFRONT OR CURTAIN WALL
- N. ALL ALUMINUM O. INTERIOR AND DECORATIVE ELEMENT ATTACHMENTS
- P. FFE BACKING OR ATTACHMENTS.
- Q. AWNINGS

# SHOTCRETE

- SHOTCRETE MAY BE USED IN LIEU OF POURED-IN-PLACE CONCRETE IN LOCATIONS WHERE ALL OF THE FOLLOWING CONDITIONS ARE MET:
- A. SHOTCRETE CONSTRUCTION COMPLIES WITH ALL REQUIREMENTS OF THE 2019 CALIFORNIA BUILDING CODE (2020 LOS ANGELES BUILDING CODE FOR PROJECTS WITHIN LOS ANGELES JURISDICTION)
- B. NON-CONTACT LAP SPLICES ARE PROVIDED C. REINFORCEMENT SIZE AND SPACING AS SHOWN ON THE DRAWINGS COMPLIES WITH ACI/CBC REQUIREMENTS
- FOR SHOTCRETE D. REBAR SIZE IS LIMITED TO:
- #5 IN CITY OF LA. GC MAY APPLY FOR CODE MODIFICATION TO OBTAIN PERMIT TO USE LARGER DIAMETERS #8 IN ALL OTHER CASES
- E. REPRESENTATIVE MOCK UP PANELS ARE SHOT, DISASSEMBLED AND APPROVED FOR STRUCTURAL QUALITY PRIOR TO CONCRETE PLACEMENT ON THE BUILDING
- F. REPRESENTATIVE PANELS ARE SHOT AND APPROVED FOR ARCHITECTURAL FINISH QUALITY COMPARABLE TO
- POURED-IN-PLACE CONCRETE PRIOR TO CONCRETE PLACEMENT G. MEETS ALL REQUIREMENTS OUTLINED IN THE SPECIFICATIONS.
- 2. MIX DESIGN AND PLACEMENT OF SHOTCRETE TO BE OF SAME OR HIGHER QUALITY AND STRENGTH AS CONVENTIONALLY FORMED AND PLACED REINFORCED CONCRETE. ALL MATERIALS SHALL MEET REQUIREMENTS OF ASTM C 1436.
- ALL THE REQUIREMENTS OF CALIFORNIA BUILDING CODE SECTION 1913 & 1924 FOR WET MIX SHOTCRETE (SEE BELOW) AND ACI 506R-05 SHALL BE FOLLOWED FOR SHOTCRETE WORK, INCLUDING BUT NOT LIMITED TO
- PLACEMENT OF REINFORCING STEEL, TEST PANEL REQUIREMENTS AND CORES.
- WET MIX SHOTCRETE APPLICATION. THE HEIGHT OF A LAYER SHALL BE LIMITED TO NOT MORE THAN THREE FEET AND A SUCCEEDING LAYER SHALL

4. REINFORCING STEEL SHALL BE SECURELY TIED IN PLACE IN A MANNER THAT PREVENTS MOVEMENT DURING THE

- NOT BE PLACED IN LESS THAN THREE HOURS. NO SLOUGHING OR SAGGING SHALL BE PERMITTED. 6. SLUMP SHALL BE 2" (+ OR - 1/2") AND SHALL BE MEASURED AT THE POINT OF DISCHARGE FROM THE MIXER
- (EXCEPT THE BUILDING INSPECTOR MAY REQUIRE SLUMP TESTS AT THE DISCHARGE POINT WHERE WATER MAY HAVE BEEN ADDED). A CAPABLE NOZZLEMAN'S HELPER WITH AN AIR BLOW PIPE SHALL BE PROVIDED TO ASSIST THE NOZZLEMAN IN
- KEEPING ALL REBOUND BUILD-UP OUT OF THE WORK ADDITIONAL WORKERS MAY BE REQUIRED TO TAKE THE REBOUND FROM THE WORK IF THE REBOUND CANNOT BE REMOVED BY THE AIR BLOW PIPE.
- THE CONTRACTOR SHALL AGREE TO PROVIDE A DESIGNATED LIAISON BETWEEN HIS CREW, THE TESTING AGENCY AND THE BUILDING INSPECTOR. ONE DEPUTY SHALL BE ASSIGNED TO EACH NOZZLE.
- SPECIAL PLACEMENT METHODS SHALL BE USED BEHIND STEEL EMBEDDED PLATES, KEYWAYS, ETC. FOR PROPER CONSOLIDATION AND ELIMINATION OF ANY VOIDS OR AIR POCKETS. NO KEYWAYS OR EMBEDMENTS SHALL BE PLACED IN THE FRONT FACE THAT WILL INTERFERE WITH THE STREAM FROM THE NOZZLE.
- 10. A COPY OF THE LOS ANGELES INFORMATION BULLETIN/PUBLIC BUILDING CODE AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE. DOCUMENT NO. P/BC 2014-051.
- 11. STRENGTH TEST PANELS SHALL BE MADE IN ACCORDANCE WITH LABC SECTION 1924.10, ITEM 2. PREPARE AND TEST SPECIMENS IN COMPLIANCE WITH ASTM C 39 AND ASTM C 42. LOCATION OF SAMPLES WILL BE DESIGNATED BY THE ARCHITECT. SIZE SHALL BE 4 IN. IN DIAMETER. SEE SPECIFICATIONS FOR ADDITIONAL TESTING REQUIREMENTS AND PROCEDURES.
- 12. A 4'x4' MOCK-UP PANEL SHALL BE SHOT, CURED, CORED, AND TESTED PRIOR TO COMMENCEMENT OF THE PROJECT. THE MOCK-UP PANEL SHALL BE REPRESENTATIVE OF THE PROJECT AND SIMULATE JOB CONDITIONS AS CLOSELY AS POSSIBLE. THE PANEL THICKNESS AND REINFORCING SHALL REPRODUCE THE THICKEST AND MOST CONGESTED AREA IN THE STRUCTURAL DESIGN. IT SHALL BE SHOT AT THE SAME ANGLE, USING THE SAME NOZZLEMAN AND WITH THE SAME CONCRETE MIX DESIGN THAT WILL BE USED ON THE PROJECT.
- 13. SHOTCRETE REQUIRES CONTINUOUS INSPECTION BY A REGISTERED DEPUTY INSPECTOR. CONTINUOUS INSPECTIONS SHALL BE PROVIDED FOR THE PLACEMENT OF ALL REINFORCING, THE PLACEMENT OF SHOTCRETE, AND THE ASSEMBLY, SHOOTING, TESTING, AND DISASSEMBLY OF TEST PANELS.
- 14. THE SHOTCRETE SUBCONTRACTOR SHALL PRESENT, UPON THE REQUEST OF A DEPARTMENT OF BUILDING AND SAFETY INSPECTOR, A "STATEMENT OF QUALIFICATIONS" SIGNED BY AN OFFICER OF THE SUBCONTRACTOR CORPORATIONS. BOTH THE SPECIFICATION AND STATEMENT SHALL INCLUDE, BUT NOT NECESSARILY BE LIMITED TO. THE FOLLOWING:
- A. THE DURATION AND TYPE OF STRUCTURAL SHOTCRETE EXPERIENCE (NOT INCLUDING SWIMMING POOLS) OF THE NOZZLEMAN, THE SUBCONTRACTING COMPANY, THE SUPERINTENDENT, AND HELPER.
- B. THE SUBCONTRACTOR'S LISTED EXPERIENCE SHALL REFERENCE SPECIFIC PROJECTS APPROVED IN THE CITY OF LOS ANGELES

# DEFERRED SUBMITTAL

- 1. THE FOLLOWING ITEMS SHALL BE CONSIDERED AS DEFERRED SUBMITTAL. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ENGINEERED SHOP DRAWINGS FROM THE SPECIALTY SUBCONTRACTOR PREPARED UNDER THE DIRECT SUPERVISION OF A CALIFORNIA LICENSED ENGINEER. THESE SHOP DRAWINGS SHALL BE PROVIDED TO THE ARCHITECT, ENGINEER, AND BUILDING DEPARTMENT OF AUTHORITY OF JURISDICTION FOR REVIEW AND APPROVAL PRIOR TO FABRICATION. THESE ITEMS SHALL INCLUDE:
- A. STEEL STAIRS
- B. GRATING NOT SPEC'D ON PLAN
- C. POOLS AND SPAS D. EXTERIOR BUILDING MAINTENANCE SYSTEMS
- E. CURTAINWALL OR STOREFRONT SYSTEMS
- F. LIGHT GAGE METALS G. ROOF EQUIPMENT ANCHORAGE
- H. GLAZING INCLUDING GLASS GUARDRAILS
- I. CABLE RAIL SYSTEMS
- J. TRUSSES K. ELEVATORS
- L. AWNINGS
- M. MICROPILES
- N. TIEDOWNS
- O. TENDONS IN POST TENSIONED DESIGN. PROVIDE SHOP DRAWINGS OF TENDON LAYOUT AND CALCULATIONS

## REINFORCEMENT

- REBAR SIZE

- C CENTER, T TOP, B BOT (WHERE OCCURS) LENGTH OF REBAR IN FEET (WHERE OCCURS)

- NUMBER OF REBAR (WHERE OCCURS)

- SPACING IN INCHES (WHERE OCCURS)
- —— EW EACH WAY, V VERTICAL, H HORIZONTAL, C CENTER (WHERE OCCURS) — EF EACH FACE, OR OTHER CUSTOM CALLOUTS (WHERE OCCURS)
- 6#6C8@12EW EF REBAR CALLOUTS
- 1. ALL REINFORCING BARS SHALL CONFORM TO ASTM A-615, GRADE 60, UNLESS NOTED OTHERWISE ON THE DRAWINGS AND BELOW:
- A. SPIRALS SHALL BE COLD DRAWN BARS CONFORMING TO ASTM A-82.
- B. FOR SLABS AND FOUNDATIONS A HIGHER GRADE THAN GRADE 60 MAY BE PROVIDED AT CONTRACTOR'S OPTION AND AT NO ADDITIONAL COST TO THE CLIENT, PROVIDED THAT REBAR SIZE AND SPACING SHALL NOT BE ALTERED. IF ALTERATION TO REBAR SIZE AND SPACING IS SOUGHT. THESE MUST BE APPROVED IN WRITING BY SEOR. ENGINEERING AND PERMITTING FEES SHALL BE PAID BY CONTRACTOR WITHOUT
- ADDITIONAL COST TO THE CLIENT. C. MOMENT FRAME LONGITUDINAL REBAR, COLUMN LONGITUDINAL REBAR, SHEAR WALL VERTICAL REBAR, AND COUPLING BEAM LONGITUDINAL REBAR SHALL BE ASTM A-706, GRADE 60. ASTM A-615, GRADE 60 REINFORCEMENT SHALL BE PERMITTED IN THESE STRUCTURAL ELEMENTS PROVIDED THE FOLLOWING CONDITIONS ARE MET:
- a. THE ACTUAL YIELD STRENGTH BASED ON MILL TESTS DOES NOT EXCEED THE SPECIFIED
- YIELD STRENGTH BY MORE THAN 18,000 PSI. b. THE MINIMUM ELONGATION IN 8 INCHES SHALL BE AS FOLLOWS:
- NO.3 THROUGH NO.6 = 14 PERCENT
- NO.7 THROUGH NO.11 = 12 PERCENT NO.14 THROUGH NO.18 = 10 PERCENT
- D. SMOOTH DOWELS IN SLAB ON GRADE: ASTM A36, 36 KSI
- WELDING OF REINFORCEMENT (INCLUDING TACK WELDING) SHALL NOT BE DONE UNLESS SPECIFICALLY SHOWN ON THE DRAWINGS. WHERE SHOWN ON THE DRAWINGS, THE FOLLOWING SHALL APPLY:
- A. WELDED REBAR SHALL COMPLY WITH ASTM A-706 [Fy=60 KSI]
- B. WELDING SHALL CONFORM TO AWS D1.4
- C. WELDING OF REINFORCING STEEL SHALL BE PERFORMED BY WELDERS CERTIFIED BY THE CITY OF LA
- D. USE E90XX ELECTRODES
- WELDED WIRE FABRIC SHALL BE MADE OF COLD DRAWN WIRE AND SHALL CONFORM TO ASTM A-185 [Fy=65 KSI]. MINIMUM LAP AT SPLICES OF 12 INCHES. PROVIDE MESH IN FLAT SHEETS ONLY. ROLLED MESH IS NOT ACCEPTABLE. OFFSET END-LAPS IN ADJACENT SHEETS TO PREVENT CONTINUOUS LAPS.
- 4. REINFORCING STEEL SHALL HAVE THE FOLLOWING CONCRETE COVER. SEE ACI FOR TOLERANCES:
- A. CONCRETE PILES
- B. CONCRETE POURED AGAINST EARTH (OTHER THAN PILES)
- C. CONCRETE NOT FORMED IN CONTACT WITH EARTH D. FORMED CONCRETE IN CONTACT WITH EARTH
- E. CONCRETE EXPOSED TO WEATHER (#6 AND LARGER)
- F. CONCRETE EXPOSED TO WEATHER (#5 AND SMALLER)

90 DEGREE HOOK, UNLESS OTHERWISE SHOWN.

- G. SLABS (INCLUDING SLAB SUPPORTING EARTH), WALLS, AND JOISTS NOT EXPOSED TO WEATHER (#11 AND SMALLER) H. OTHER CONCRETE NOT EXPOSED TO WEATHER 1-1/2"
- #5 AND LARGER REINFORCING BARS SHALL NOT BE SPLICED EXCEPT AS LOCATED AND DETAILED ON THE DRAWINGS. #4 AND SMALLER BARS WITH LENGTHS NOT SHOWN SHALL BE CONTINUOUS. PROVIDE CLASS 'B' SPLICE UNLESS NOTED OTHERWISE. ALL BARS IN MASONRY SHALL BE CONTINUOUS, LAPPING 48 BAR DIAMETERS. 2'-0" MINIMUM. HORIZONTAL WALL SPLICES SHALL BE STAGGERED. VERTICAL BARS SHALL NOT BE SPLICED EXCEPT AT HORIZONTAL SUPPORTS, SUCH AS FLOOR OR ROOF, UNLESS DETAILED OTHERWISE. ALL BARS ENDING AT THE FACE OF A WALL, COLUMN, OR BEAM SHALL EXTEND TO WITHIN 2" OF THE FAR FACE AND HAVE A

1-1/2"

- BARS SHALL BE FIRMLY SUPPORTED AND ACCURATELY PLACED AS REQUIRED BY THE ACI STANDARDS, USING TIE AND SUPPORT BARS IN ADDITION TO REINFORCEMENT SHOWN WHERE NECESSARY FOR FIRM AND ACCURATE PLACING. PROVIDE DOWELS TO MATCH ALL REINFORCEMENT AT POUR JOINTS, UNLESS SHOWN OR NOTED OTHERWISE. ALL DOWELS AND BOLTS SHALL BE ACCURATELY SET IN PLACE BEFORE PLACING CONCRETE. NO WELDING OF REINFORCEMENT (INCLUDING TACK WELDING) SHALL BE DONE UNLESS SHOWN ON THE DRAWINGS OR APPROVED BY THE ENGINEER, ALL SLAB AND BEAM REINFORCEMENT SHALL BE CHAIRED UP.
- IN WALL REINFORCING, CURTAINS CONTAINING VERTICAL AND HORIZONTAL BARS OF THE SAME SIZE, VERTICAL BARS SHALL BE PLACED CLOSEST TO THE WALL SURFACE. IN CURTAINS WHICH VERTICAL AND HORIZONTAL BARS ARE OF DIFFERENT SIZES OR SPACING, THE LAYER WITH THE MOST STEEL SHALL BE PLACED CLOSEST TO THE NEAR SURFACE, UNLESS NOTED OTHERWISE ON PLAN.
- 8. ALL BARS INTERRUPTED BY STRUCTURAL STEEL SHALL EXTEND TO WITHIN 1" OF STRUCTURAL STEEL FLANGE OR WEB AND HAVE A 90 DEGREE HOOK, UNLESS OTHERWISE SHOWN.
- DRAWINGS SHOW TYPICAL REINFORCING CONDITIONS. CONTRACTOR SHALL PREPARE DETAILED PLACEMENT. DRAWINGS OF ALL CONDITIONS SHOWING QUANTITY, SPACING, SIZES, CLEARANCES, LAPS, INTERSECTIONS, AND COVERAGE REQUIRED BY THE STRUCTURAL DETAILS, APPLICABLE CODE, AND TRADE STANDARDS. CONTRACTOR SHALL NOTIFY REINFORCING INSPECTOR OF ANY ADJUSTMENTS FROM TYPICAL CONDITIONS WHICH ARE PROPOSED IN PLACEMENT DRAWINGS TO FACILITATE FIELD PLACEMENT OF REINFORCING STEEL AND CONCRETE.
- 10. ALL PRINCIPAL REBAR SHALL TERMINATE WITH A STANDARD HOOK MINIMUM UNLESS SPECIFICALLY DETAILED OTHERWISE. REBAR BENDS SHALL BE MADE COLD. REBAR SHALL NOT BE BENT AFTER ANY PORTION OF THE BAR IS ENCASED IN CONCRETE.
- 11. ALL LAP SPLICES ARE CLASS 'B' LAP SPLICES UNLESS NOTED OTHERWISE.
- 12. MECHANICAL COUPLER SHALL BE BAR-LOCK COUPLER SYSTEM (ICC ESR-2495, LARR #25342) FOR GRADE 60 CONFORMING TO ASTM A615 OR ASTM A706 OR LENTON MECHANICAL COUPLERS (ICC ESR-0129 LARR #24507) FOR
- GRADE 60, 75 CONFORMING TO ASTM A615 OR APPROVED EQUAL. 13. ALL WALL FOOTING REINFORCEMENT SHALL BEND AROUND ALL CORNERS AND EXTEND 36 BAR DIAMETERS OR 18 INCHES WHICHEVER IS LARGER. UNLESS NOTED OTHERWISE.
- 14. ALL SLABS ON GRADE LESS THAN 6" IN THICKNESS SHALL BE REINFORCED WITH #4 REBARS AT 16 INCHES ON CENTERS EACH WAY, UNLESS NOTED OTHERWISE. PROVIDE ONE (1) LAYER OF 6X6/W2.9XW2.9 WELDED WIRE FABRIC CONTINUOUS FOR EVERY 3" ARCHITECTURAL CONCRETE FILLS ABOVE THE STRUCTURAL SLAB.
- 15. ALL MECHANICAL, PLUMBING AND ELECTRICAL EQUIPMENT PADS LESS THAN 4" THICK SHALL BE REINFORCED WITH AT LEAST ONE (1) LAYER OF 6X6/W2.9XW2.9 WELDED WIRE FABRIC AND HAVE HOOKED DOWELS (#3 AT 12' ON CENTERS) INTO THE STRUCTURAL SLAB. UNLESS NOTED OTHERWISE. FOR PADS GREATER THAN 4 INCHES THICK, USE REINFORCING AS SHOWN IN THE TYPICAL DETAILS.
- 16. ADDITIONAL REINFORCEMENT SHALL BE PROVIDED AROUND ALL SLAB AND WALL OPENINGS INCLUDING DIAGONAL BARS WITHOUT EXCEPTION.
- 17. ALL STRUCTURAL CONCRETE ELEMENTS REQUIRE REINFORCEMENT SINCE NO PLAIN CONCRETE ELEMENTS ARE USED. ALL CONCRETE SLABS SHALL HAVE A MINIMUM REINFORCEMENT PERCENTAGE OF 0.18 EACH WAY CONTINUOUS.
- 18. REINFORCING STEEL SHOP DRAWINGS SHALL INCLUDE SLAB OPENINGS, DEPRESSIONS, SLOPES, CURBS, DRAINS, AND SLAB EDGE LOCATIONS FROM ALL MEP TRADES. GENERAL CONTRACTOR IS RESPONSIBLE TO COORDINATE AND INDICATE ALL SLAB OPENINGS ON PLAN AND SUBMIT TO THE STRUCTURAL ENGINEER PRIOR TO SUBMITTAL OF REINFORCING SHOP DRAWINGS.
- 19. CONTRACTOR SHALL FURNISH MISCELLANEOUS REBAR IN ADDITION TO THE REBAR SPECIFIED ON THE STRUCTURAL DRAWINGS, WHICH SHALL BE INSTALLED AT EOR'S DISCRETION DURING CONSTRUCTION. THE AMOUNT OF ADDITIONAL REBAR SHALL BE 5 TONS OR 2% OF THE REBAR WEIGHT SPECIFIED PER STRUCTURAL DRAWINGS, WHICHEVER IS GREATER.

## CONCRETE

- 1. CONCRETE IS REINFORCED AND CAST-IN-PLACE UNLESS OTHERWISE NOTED. WHERE REINFORCING IS NOT SPECIFICALLY SHOWN OR WHERE DETAILS ARE NOT GIVEN, PROVIDE REINFORCING SIMILAR TO THAT SHOWN FOR SIMILAR CONDITIONS. SUBJECT TO REVIEW BY THE OWNER'S REPRESENTATIVE.
- 2. ALL PHASES OF WORK PERTAINING TO THE CONCRETE CONSTRUCTION SHALL CONFORM TO THE LATEST EDITION OF ACI 318 "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE", AND THE LATEST EDITION OF ACI 117 "SPECIFICATIONS FOR TOLERANCES FOR CONCRETE CONSTRUCTION AND MATERIALS"
- 3. CONCRETE MIXES SHALL MEET FOLLOWING SPECIFICATIONS:

CONCRETE MIX SPECIFICATIONS							
LOCATION	WEIGHT	F'c @ 28 DAYS (PSI)	W/C	SLUMP (IN)	LARGEST Dagg (IN)	ALLOWABLE FLYASH	MAX SHRNK @ 28 DAYS
ALL LOCATIONS UNO	NORMAL	4,000	0.50	4	1	15%	0.045%
####	####	####	####	#	#	#	#

- (\*) ELEVATED SLAB SHALL ALSO DEVELOP 5,500 PSI AT 60 DAYS
- 4. NO MORE THAN ONE GRADE OF CONCRETE SHALL BE ON THE JOB SITE AT ANY ONE TIME.
- 5. ALL STRUCTURAL CONCRETE MIXES SHALL BE DESIGNED BY AN APPROVED LABORATORY AND SHALL BE STAMPED AND SIGNED BY A CIVIL ENGINEER LICENSED IN CALIFORNIA.
- 214R. MIX DESIGNS SHOWING COMPLIANCE WITH STRENGTH REQUIREMENTS TO BE SUBMITTED TO SEOR FOR REVIEW.

6. CONCRETE MIX PROPORTIONING SHALL MEET STATISTICAL STRENGTH REQUIREMENTS OF ACI 301 AND ACI

7. CONCRETE STRENGTH TEST REPORTS SHALL BE IN COMPLIANCE WITH ACI 318 AND SHALL BE SUBMITTED TO

8. CONCRETE MATERIALS AND MIXTURES

- A. MIXES SHALL BE PREPARED WITH TYPE II/V PORTLAND CEMENT CONFORMING TO ASTM C150.
- B. FLY ASH CONFORMING WITH ASTM C618 MAY REPLACE PORTLAND CEMENT CONTENT BY WEIGHT. UNLESS OTHERWISE NOTED ON THE CONCRETE MIX SPECIFICATIONS. REPLACEMENT MAY BE UP TO 15% FOR ELEVATED SLAB OR 25% FOR OTHER CASES. WHERE CONCRETE IS VISUALLY EXPOSED VERIFY WITH THE PROJECT ARCHITECT THE USE OF FLY ASH.
- C. NORMAL WEIGHT CONCRETE AGGREGATES SHALL CONFORM TO ASTM C33. LIGHT WEIGHT CONCRETE AGGREGATES SHALL CONFORM TO ASTM C330. UNLESS OTHERWISE NOTED ON THE CONCRETE MIX SPECIFICATIONS, COARSE AGGREGATE GRADATION SHALL INCLUDE LARGEST AGGREGATE OF 1", EXCEPT THAT A LARGEST SIZE OF 3/8" IS ALLOWED FOR FOUNDATION, COLUMNS, AND WALLS.
- D. WATER USED IN MIXING CONCRETE SHALL CONFORM WITH ASTM C1602.
- E. ADMIXTURES, IF USED, SHALL COMPLY WITH ASTM STANDARDS NOTED ON LATEST EDITION OF ACI 318.
- F. ADDITIVES SPECIFIED BY OTHER CONSULTANT, SUCH AS, BUT NOT LIMITED TO, WATER PROOFING ADDITIVES, PIGMENTS, ETC. SHALL NOT IMPAIR THE EXPECTED STRUCTURAL PERFORMANCE OF THE CONCRETE. SPECIFICATIONS SHALL BE SUBMITTED TO SEOR FOR REVIEW AND APPROVAL
- 9. THOROUGHLY CLEAN AND ROUGHEN ALL HARDENED CONCRETE AND MASONRY SURFACES TO RECEIVE NEW CONCRETE. INTERFACE SHALL BE ROUGHENED TO A FULL AMPLITUDE OF 1/4" WITH EXPOSED AGGREGATE UNLESS NOTED OTHERWISE.
- 10. DEFECTIVE CONCRETE (VOIDS, ROCK POCKETS, HONEYCOMBS, CRACKING, ETC.) SHALL BE REMOVED AND REPLACED AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
- 11 KEY AND DOWEL POUR JOINTS AS SHOWN ON THE PLANS, ANY DEVIATION FROM POUR JOINTS SHOWN ON THE PLANS MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE. 12. WHERE ELEMENTS SUCH AS, BUT NOT LIMITED TO, CONDUITS, PIPES, AND DUCTWORK, ARE TO BE PLACED WITHIN OR THRU CONCRETE MEMBERS. DIRECT CONTACT OF SUCH MEMBERS WITH CONCRETE SHALL BE PREVENTED AS REQUIRED BY DESIGNER/SPECIFIER/SUPPLIER/INSTALLER OF SUCH ELEMENTS, AND AS NEEDED TO COMPLY WITH PLUMBING CODE AND/OR TO AVOID DAMAGE OF SUCH ELEMENTS. TYPICAL MEANS TO AVOID DIRECT CONTACT WITH CONCRETE SUCH AS SLEEVES, LAYERS OF COMPRESSIBLE MATERIALS, AIR

GAPS, ETC. SHALL BE SPECIFIED BY, OR OBTAINED BY GC FROM, DESIGNER/SPECIFIER/SUPPLIER/INSTALLER

OF SUCH ELEMENTS, REBAR DISPLACED BY SUCH ELEMENTS SHALL BE ARRANGED AS CLOSE AS PRACTICALLY

- POSSIBLE AROUND THE EMBEDDED ELEMENTS AND SHALL NOT BE INTERRUPTED. 13. NON-SHRINK CEMENT GROUT SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 7000 PSI. USE
- "QUIKRETE" (LARR #25451) OR "RAPID SET" (LARR #24654).

WITH A MINIMUM OF 5.000 PSI AND MAX W/C = 0.42 WILL BE USED.

SPALLING, CHIPPING OR OTHER DAMAGE DUE TO FORM REMOVAL.

MIXES PARAMETERS, ARCHITECTURAL FINISH, EXPOSED CONCRETE, ETC.

- 14. WHEN WATER OVER 3" IN DEPTH IS PRESENT IN THE DRILLED PILE HOLES: A. A CONCRETE MIX WITH A STRENGTH OF 1,000 PSI GREATER THAN THE SPECIFICATIONS LISTED ABOVE
- B. AN ADMIXTURE THAT REDUCES THE PROBLEM OF SEGREGATION OF PASTE/AGGREGATES AND DILUTION OF PASTE SHALL BE INCLUDED.
- 15. TO MINIMIZE CONCRETE SHRINKAGE CRACKING IN CONCRETE SLABS, THE MAXIMUM SIZE OF CONCRETE POURS FOR SLABS ON GRADE, FORMED SLABS, AND SLABS ON METAL DECK, IS 200 FEET IN ANY DIRECTION. THE RATIO OF THE PLAN LENGTH (LONGER DIRECTION) TO WIDTH (SHORTER DIRECTION) DIMENSIONS SHALL NOT EXCEED 2 TO 1
- 16. FORM WORK SHALL BE REMOVED IN A MANNER THAT MAINTAINS THE STRENGTH AND STABILITY OF THE STRUCTURE AT ALL TIMES.
- 17. FORM WORK OF ELEVATED NON P.T. SLABS SHALL NOT BE REMOVED BEFORE ALL CONDITIONS BELOW ARE A. THE SPECIFIED COMPRESSIVE STRENGTH IS REACHED
- B. FORM WORK IS LEFT IN PLACE AT LEAST 28 DAYS AFTER CONCRETE POUR, EXCEPT THAT FORM WORK CAN BE REMOVED 14 DAYS AFTER CONCRETE POUR IF FOLLOWED BY IMMEDIATE RE-SHORING OF THE SLAB ON THE SAME DAY. RE-SHORING SHALL BE MAINTAINED IN PLACE A MIN OF 28 DAYS AFTER CONCRETE POUR. C. NO STRIPPING OF FORMS IS ALLOWED BEFORE CONCRETE HAS CURED SUFFICIENTLY TO PREVENT
- 18. FOAM USED IN OVER-FRAMING & BUILT UP SLAB APPLICATIONS SHALL CONFORM TO ASTM D6817 AND SHALL
- HAVE THE FOLLOWING PROPERTIES AT A MINIMUM: A. TYPICAL FLOOR AREAS: 7PSI COMPRESSIVE RESISTANCE AT 1% DEFORMATION. B. LOADING DOCKS, SIDEWALKS, AND OTHER HEAVILY LOADED AREAS: 15PSI COMPRESSIVE RESISTANCE AT
- C. INSULATING FOAM AT NON-OCCUPIABLE ROOFS: 15PSI COMPRESSIVE RESISTANCE AT 10% DEFORMATION. 19. CONCRETE PLACEMENT METHOD. GENERAL CONTRACTOR SHALL SELECT CONCRETE PLACEMENT METHOD, INCLUDING, BUT NOT LIMITED TO, POURED IN PLACE, SHOTCRETE, ETC., ADEQUATE TO COMPLY WITH ALL
- 20. ALL BASEMENT WALLS INSTALLED DIRECTLY AGAINST SHORING OR OTHER BLIND SIDE INSTALLATIONS SHALL HAVE APPROPRIATE WATERPROOFING AND DRAINAGE SYSTEMS INSTALLED THAT ARE COMPATIBLE WITH SHOTCRETE PLACEMENT METHOD AND POURED IN PLACE METHOD REGARDLESS OF CONCRETE PLACEMENT METHOD. WATERPROOFING AND DRAINAGE SYSTEMS SHALL BE AS SPECIFIED BY THE ARCHITECT AND/OR WATERPROOFING CONSULTANT AND SHALL BE INSTALLED PER MANUFACTURERS RECOMMENDATIONS.

CONCRETE SPECIFICATIONS PER CONSTRUCTION DOCUMENTS. SUCH AS, BUT NOT LIMITED TO, CONCRETE

## BADGER RESIDENCE

OWNER:

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KETCHUM, ID 83340

PROJECT ARCHITECT

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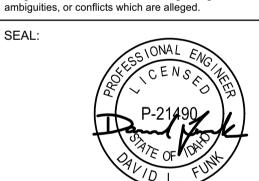
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PC SUBMITTAL

ISSUE

PROJECT: **BADGER RESIDENCE** 

121 BADGER LANE

KETCHUM, ID 83340

02/24/23

NO DATE

PROJECT NUMBER #2201

DRAWING TITLE:

**GENERAL NOTES** 

# **Approved**

compliance of the adopted building codes. These documents are approved contingent on compliance with the mark-ups and notes applied. This is not approval of

These plans have been found to be in substantial

iolation of any code, ordinance, statue or regulation.

# BLD2303-00021

## 06/26/23 IDENTIFICATION

ALL TIMBER ON SITE SHALL BE IDENTIFIED BY THE GRADE MARK OF A GRADING OR INSPECTION BUREAU OR AGENCY RECOGNIZED AS COMPETENT, TO ALLOW FOR VERIFICATION OF COMPLIANCE WITH SPECIFICATIONS AND DRAWINGS BY STRUCTURAL OBSERVERS AND INSPECTORS. INSTALLATION SHALL NOT NOT CONCEAL STAMPS AT TIME OF OBSERVATION/INSPECTION. STRUCTURAL LUMBER GRADE STAMP SHALL COMPLY WITH WITH "STANDARD GRADING RULE NUMBER 17" OF THE WEST COAST LUMBER INSPECTION BUREAU. WOOD STRUCTURAL PANELS SHALL BEAR APA STAMP. STRUCTURAL COMPOSITE LUMBER SHALL BEAR IDENTIFICATION PER MANUFACTURER.

## MOISTURE CONTENT.

ALL STRUCTURAL MEMBERS SHALL NOT EXCEED THE MAXIMUM MOISTURE CONTENT (MMC) REQUIREMENTS AS LISTED BELOW PRIOR TO INSTALLATION OF NON-STRUCTURAL ELEMENTS INCLUDING BUT NOT LIMITED TO WEATHER BARRIER, DRYWALL AND FACADE.

- A. 16% FOR SAWN LUMBER JOISTS AND PLATES.
- B. 19% FOR ALL OTHER SAWN LUMBER FRAMING MEMBERS

CONTRACTOR TO CONDUCT MOISTURE TESTING, IN THE PRESENCE OF A DEPUTY INSPECTOR, USING MOISTURE METER HAVING A ONE INCH NEEDLE INTO LUMBER AT NINE LOCATIONS (THREE JOISTS, THREE TOP PLATES & THREE SILL PLATES) AT EACH FLOOR. LOCATIONS TO BE REVIEWED AND APPROVED BY S.E.O.R. MOISTURE TO BE MEASURED WITHIN SEVEN DAYS PRIOR TO INSTALLATION OF DRY WALL OR DENS BOARD TO DEMONSTRATE MOISTURE CONTENT IS AT OR BELOW REQUIRED PERCENTAGE.

ANY LUMBER. IF BROUGHT TO THE SITE WITH MOISTURE CONTENT GREATER THE FINAL REQUIRED MMC, IS REQUIRED TO BE DRIED ON SITE BEFORE OR DURING FRAMING AND REMAIN DRY, AND IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO ACHIEVE THE REQUIRED FINAL MMC. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL STRUCTURAL AND NON-STRUCTURAL DAMAGE FROM SHRINKAGE FROM LUMBER RECEIVING FINISHES WITHOUT PASSING THE SPECIFIED MOISTURE TEST. IT IS CONTRACTOR'S RESPONSIBILITY TO INCLUDE THIS MOISTURE TESTING AS PART OF THE CONSTRUCTION SCHEDULE TO ALLOW VARIOUS WEATHER CONDITIONS.

## INTEGRITY.

DO NOT CUT, BORE, COUNTERSINK OR NOTCH WOOD MEMBERS EXCEPT WHERE SHOWN IN THE DETAILS.

4. ALL STRUCTURAL SAWN LUMBER, UNLESS NOTED BELOW OR ON THE PLANS, SHALL BE VISUALLY

- GRADED DOUGLAS FIR LARCH NO. 1 A. ALL 2x "DIMENSION LUMBER" MEMBERS SHALL BE DFL NO. 2
- B. ALL 4x "DIMENSION LUMBER" UP TO 4x8 SHALL BE DFL NO. 2
- C. ALL 4x10 OR DEEPER "DIMENSION LUMBER" MEMBERS SHALL BE DFL NO.1
- D. ALL 6x6 "POST AND TIMBER" MEMBERS SHALL BE DFL NO. 1
- E. ALL 6x8 "POST AND TIMBERS" MEMBERS SHALL BE DFL NO.
- F. ALL 6x10 OR DEEPER "BEAM AND STRINGERS" SHALL BE DFL NO. 1
- WOOD STRUCTURAL PANELS SHALL COMPLY WITH U.S. PRODUCT STANDARDS FOR ITS TYPE IN PS 1-09 OR PS 2-10 AND BE CLASSIFIED AS EXPOSURE 1. AS A MINIMUM ALL WOOD STRUCTURAL PANELS SHALL BE APA RATED SHEATHING UNLESS NOTED OTHERWISE ON PLANS AND DETAILS. PANEL CONSTRUCTION FOR ALL WOOD STRUCTURAL PANELS SHALL BE 4 PLY PLYWOOD, EXCEPT THAT OSB IS PERMITTED FOR WALL SHEATHING AT NON FIRE TREATED PANELS. MINIMUM GRADE VENEER FOR PLYWOOD SHALL BE "CD". ALL WOOD STRUCTURAL PANELS SHALL BE BLOCKED AT UNSUPPORTED EDGES. WALL PANELS SHALL BE 15/32 INCH, SPAN RATING 32/16 U.N.O.
- 6. ALL LUMBER IN DIRECT CONTACT WITH CONCRETE OR MASONRY, INCLUDING BUT NOT LIMITED TO FOUNDATION SILLS, SHALL BE NATURALLY DURABLE OR PRESERVATIVE-TREATED DOUGLAS FIR. EXCEPT THAT MEMBERS THAT ARE PART OF FIRE TREATED ASSEMBLIES SHALL BE FIRE TREATED.

## 7. CONNECTION TO STEEL ELEMENTS - NAILERS.

- U.N.O. ON PLANS AND DETAILS, WHERE WOOD MEMBERS ARE TO BE CONNECTED TO STEEL ELEMENTS, OR WHERE WOOD NAILERS CONNECTED TO STEEL MEMBERS ARE NEEDED FOR PROPER INSTALLATION OF FINISH MATERIALS. AS A MINIMUM PROVIDE WOOD NAILERS AS SPECIFIED BELOW WITH 5/8"Ø WELDED THREADED STUDS @ 24" O.C:
- A. WOOD NAILERS NEEDED ONLY FOR INSTALLATION OF FINISH MATERIAL: 2X WOOD NAILERS. COUNTERSINKING OF THREADED STUDS BOLT IS ACCEPTABLE IF NEEDED FOR FLUSH INSTALLATION OF FINISH MATERIAL.
- B. WOOD NAILERS NEEDED TO SUPPORT OTHER WOOD ELEMENTS: 2X WOOD NAILERS OR 3X WOOD NAILERS WITH OR WITHOUT COUNTERSINKING OF THREADED STUDS BOLT RESPECTIVELY.

# FASTENERS.

FASTENERS INCLUDE BUT ARE NOT LIMITED TO NAILS, WOOD SCREWS, LAG SCREWS, BOLTS, WELDED THREADED STUDS, THREADED RODS, ANCHOR BOLTS, ANCHOR RODS, NUTS, AND WASHERS.

# 9. NAILS:

- A. ALL NAILS SHALL BE COMMON WIRE NAILS IN ACCORDANCE WITH THE LATEST EDITION OF THE
- "NATION DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" (NDS) B. NAILING TO BE IN ACCORDANCE WITH CBC 2019 NAILING SCHEDULE UNLESS NOTED OTHERWISE C. THE MINIMUM PENETRATION OF NAILS SHALL BE 10 TIMES THE NAIL SHANK DIAMETER OR 1 1/2".
- WHICHEVER IS GREATER. PENETRATION IS MEASURED INTO THE PIECE RECEIVING THE NAIL D. BORED HOLES SHALL BE PERMITTED FOR ALL NAILS TO HELP PREVENT WOOD FROM SPLITTING.
- SHALL HAVE DIAMETER NOT EXCEEDING 75% OF NAIL DIAMETER. E. EDGE DISTANCES, END DISTANCES, AND FASTENER SPACING SHALL BE SUFFICIENT TO PREVENT SPLITTING OF THE WOOD. BORED HOLES MAY BE UTILIZED TO HELP PREVENT WOOD FROM

BORE HOLES SHALL BE MANDATORY FOR 20d NAILS OR LARGER. WHEN UTILIZED. BORED HOLES

SPLITTING.

# 10. WOOD SCREWS:

- A. WOOD SCREWS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF "NATION DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" (NDS).
- B. THE MINIMUM PENETRATION OF WOOD SCREWS SHALL BE 10 TIMES THE SCREW DIAMETER OR 1
- C. LEAD HOLES SHALL BE ABOUT 7/8 THE DIAMETER OF THE SCREW.
- 1/2", WHICHEVER IS GREATER. PENETRATION IS MEASURED INTO THE PIECE RECEIVING THE NAIL

D. WOOD SCREWS SHALL BE TURNED, NOT DRIVEN, INTO LEAD HOLES. SOAP OR OTHER

DAMAGE OF THE WOOD SCREW. E. EDGE DISTANCES, END DISTANCES, AND FASTENER SPACING SHALL BE SUFFICIENT TO PREVENT SPLITTING OF THE WOOD.

LUBRICANTS SHALL BE PERMITTED AS NEEDED TO FACILITATE THE INSERTION AND PREVENT

# 11. LAG SCREWS

- A. LAG SCREWS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF "NATION DESIGN
- SPECIFICATION FOR WOOD CONSTRUCTION" (NDS). B. PROVIDE LEAD HOLE 40% TO 70% OF THREADED SHANK DIAMETER AND FULL DIAMETER FOR
- SMOOTH SHANK PORTION. C. LAG SCREWS SHALL BE TURNED, NOT DRIVEN, INTO PRE DRILLED LEAD HOLES. SOAP OR OTHER LUBRICANTS SHALL BE PERMITTED AS NEEDED TO FACILITATE THE INSERTION AND PREVENT DAMAGE OF THE WOOD SCREW.
- 12. ALL BOLTS AND ANCHOR BOLTS IN WOOD SHALL BE A-307 STANDARD BOLTS. HOLES SHALL NOT BE MORE THAN 1/16" LARGER THAN THE BOLT DIAMETER. A STANDARD CUT WASHER (NATIONAL DESIGN SPECIFICATIONS FOR WOOD CONSTRUCTION - APPENDIX TABLE L6), OR METAL PLATE OR METAL STRAP OF EQUAL OR GREATER DIMENSIONS AND THICKNESS SHALL BE PROVIDED BETWEEN THE WOOD AND THE NUT.

- 13. PRE MANUFACTURED CONNECTORS:
- A. ALL PRE MANUFACTURED FRAMING HARDWARE AND CONNECTORS SHALL BE PER SIMPSON STRONG-TIE UNLESS NOTED OTHERWISE.
- B. INSTALL PER MANUFACTURER'S RECOMMENDATIONS AND ICC REQUIREMENTS, INCLUDING ALL
- FASTENERS REQUIRED BY MANUFACTURER. C. FRAMING CLIPS TO COMPLY WITH (IAPMO ER 0112 2606, L.A. RR 25814). STRAPS TO COMPLY
- WITH (ICC-ESR 2105, L.A. RR 25713). D. CORROSION PROTECTION COATING SHALL BE:
- G90 FOR INTERIOR AND DRY APPLICATIONS
- Z-MAX OR HOT DIP GALVANIZED, AS AVAILABLE FOR A GIVEN PIECE OF HARDWARE, FOR EXTERIOR APPLICATIONS.

## 14. CORROSION PROTECTION OF FASTENERS AND CONNECTORS

- A. FASTENERS AND CONNECTORS EXPOSED TO EXTERIOR ENVIRONMENT SHALL BE HOT DIP GALVANIZED OR STAINLESS STEEL.
- B. FASTENERS IN CONTACT WITH PRESERVATIVE OR FIRE RETARDANT TREATED LUMBER SHALL BE HOT DIP GALVANIZED OR STAINLESS STEEL, EXCEPT THAT PLAIN CARBON STEEL FASTENERS IN SBX/DOT AND ZINC BORATE PRESERVATIVE-TREATED WOOD IN AN INTERIOR. DRY ENVIRONMENT SHALL BE PERMITTED.
- 15. NARROW STEEL SHEAR PANELS SHALL BE INSTALLED PER THE MANUFACTURERS RECOMMENDATIONS AND CONFORM TO THE FOLLOWING: HARDY FRAMES (HFX): LARR#25759 SIMPSON STRONG WALLS (SSW): LARR#25625
- 16. GLUE BETWEEN WOOD STRUCTURAL PANELS AND WOOD FRAMING MEMBERS SHALL BE APPLIED TO REDUCE SQUEAKINESS OF FLOOR IN OCCUPIED SPACES. GLUE SHALL CONFORM TO APA PERFORMANCE SPECIFICATION AFG-01 OR ASTM D3498. INSTALL AS DIRECTED PER APA FORM NO.

## 17. FIRE RATED ASSEMBLIES.

WOOD AND COMPONENTS IN EXTERIOR WALLS LABELED AS FIRE RATED BY THE ARCHITECT SHALL BEAR A FIRE-RETARDANT-TREATED STAMP INDICATION BY MEANS SATISFACTORY TO LOCAL AUTHORITIES. THE FOLLOWING FIRE RETARDANTS SHALL BE USED:

A. FOR PLYWOOD & LUMBER: PYRO-GUARD FIRE RETARDANT (ICC ESR-1791, UL ER7002-01, LARR 25150). EQUIVALENT SUBSTITUTE MAY BE USED ONLY IF PRODUCT IS APPROVED BY THE S.E.O.R.

## STRUCTURAL STEEL WELDING

- 1. ALL WELDING SHALL BE IN STRICT CONFORMANCE WITH THE LATEST EDITION OF AWS D1.1 AND THE 2019 CALIFORNIA BUILDING CODE.
- 2. ALL WELDS WITHIN MEMBERS DESIGNATED AS PART OF THE LATERAL FORCE RESISTING SYSTEM SHALL CONFORM TO THE DETAILING, MATERIALS, WORKMANSHIP, TESTING AND INSPECTION REQUIREMENTS PER AWS D1.8.
- 3. ALL WELDING ELECTRODES (FILLER METAL) SHALL BE E7XXX (70 KSI), U.N.O., AND SHALL BE LOW HYDROGEN TYPES, FOR WELDING OF REBAR SEE "REINFORCEMENT" SECTION, FIELD WELDING OF FULL AND PARTIAL PENETRATION WELDS OF THE STEEL MOMENT FRAME CONNECTIONS BETWEEN MOMENT FRAME BEAMS AND MOMENT FRAME COLUMNS SHALL BE BY SHIELDED METAL ARC PROCESS USING LOW HYDROGEN ELECTRODES
- 4. ALL WELDS SHALL HAVE A FILLER METAL WITH CHARPY V-NOTCH TOUGHNESS OF 20 FT/LBS AVERAGE AT -20 DEGREES FAHRENHEIT AND 40 FT/LBS @ 70 DEGREES FAHRENHEIT. PROVIDE MANUFACTURER'S CERTIFICATION.
- 5. LENGTHS OF WELDS ARE EFFECTIVE LENGTHS AS SPECIFIED IN THE APPLICABLE CODE. WHERE LENGTH OF WELD IS NOT SHOWN IT SHALL BE FULL LENGTH OF JOINT. ALL BUTT WELDS SHALL BE FULL PENETRATION, UNLESS NOTED OTHERWISE.
- 6. CONTRACTOR SHALL PROVIDE FIELD WELDING AS REQUIRED FOR CONSTRUCTION. WHERE FIELD WELDING IS NOTED, THE DESIGNATION IS GIVEN AS A SUGGESTED CONSTRUCTION PROCEDURE ONLY.
- 7. ALL SHOP WELDS SHALL BE PERFORMED BY A LOS ANGELES CITY LICENSED FABRICATOR.
- 8. ALL WELDERS SHALL BE QUALIFIED FOR THE WORK THEY WILL BE DOING & SHALL HAVE CURRENT CERTIFICATIONS BY AWS & THE CITY OF LOS ANGELES.
- 9. FACES OF FILLET WELDS EXPOSED TO VIEW SHALL HAVE AS-WELDED SURFACES THAT ARE REASONABLY SMOOTH AND UNIFORM. NO FINISHING OR GRINDING SHALL BE REQUIRED, EXCEPT WHERE CLEARANCES OR FIT OF OTHER ITEMS MAY SO NECESSITATE.
- 10. ALL PARTIAL AND FULL PENETRATION WELDS WHICH ARE EXPOSED TO VIEW SHALL BE GROUND SMOOTH AND FLUSH WITH FINISH SURFACE OF STEEL. HOLES SHALL BE FILLED WITH WELD METAL OR BODY SOLDER AND SMOOTHED BY GRINDING OR FILING.
- 11. CLEAN GROOVE PREPARATION THERMAL CUTS BY GRINDING.
- 12. WELDS SHALL BE TERMINATED AT THE END OF A JOINT IN A MANNER THAT WILL ENSURE SOUND WELDS. WHENEVER NECESSARY THIS SHALL BE DONE BY USE OF EXTENSION BARS AND RUN OFF TABS.
- 13. ALL WELDED JOINTS SHALL BE PRE-QUALIFIED PER THE LATEST EDITION OF AWS D1.1. NON PRE- QUALIFIED WELDED JOINTS SHALL BE QUALIFIED BY TEST & PROCEDURE QUALIFICATION TEST RECORD INCLUDED PER THE LATEST EDITION OF AWS D1.1.
- 14. THE CONTRACTOR SHALL SUBMIT ALL WELDING PROCEDURE SPECIFICATIONS (WPS) TO BE USED ON THE PROJECT PER THE LATEST EDITION OF AWS D1.1. THE WPS SHALL INCLUDE ALL MANUFACTURER'S DATA SHEETS FOR ALL WELDING MATERIALS TO BE USED. THE DATA SHEETS SHALL DESCRIBE THE PRODUCTS, LIMITATIONS OF USE, RECOMMENDED WELDING PARAMETERS, AND STORAGE AND EXPOSURE REQUIREMENTS.
- 15. ELECTRODES SHALL BE RECEIVED AND STORED IN THE ORIGINAL, UNDAMAGED MANUFACTURER PACKAGING, UNTIL READY FOR USE. WHEN WELDING IS TO BE SUSPENDED FOR MORE THAN 8 HOURS, ELECTRODES SHALL BE REMOVED FROM THE MACHINES AND STORED IN AN ELECTRODE WIRE OVEN MAINTAINED AT A TEMPERATURE BETWEEN 250 DEGREES AND 550 DEGREES OR AS RECOMMENDED BY THE MANUFACTURER. ELECTRODES NOT CONSUMED WITHIN 24 HOURS OF ACCUMULATED EXPOSURE OUTSIDE CLOSED OR HEATED STORAGE SHALL NOT BE USED.
- 16. ALL BOTTOM FLANGE BACKING BARS SHALL BE REMOVED. FOLLOWING REMOVAL OF BACKING, THE ROOT PASS SHALL BE BACKGOUGED TO SOUND WELD METAL AND BACKWELDED UNTIL FLUSH OR WITH SLIGHT REINFORCEMENT. THE SURFACE SHALL BE GROUND SMOOTH TO A SURFACE ROUGHNESS NOT TO EXCEED 500 MICROINCHES.

## ADDITIONAL STRUCTURAL STEEL WELDING NOTES AT MOMENT FRAME CONNECTIONS

- 1. THE FOLLOWING PROVISIONS APPLY TO ALL WELDING AT BEAM-COLUMN MOMENT FRAME CONNECTIONS:
- A. MINIMUM INITIAL PREHEAT TO BE 226 DEGREES F MEASURED +- 3 INCHES FROM THE WELD JOINT. FOR JUMBO SECTIONS, MINIMUM PREHEAT TO BE 350 DEGREES F. MAXIMUM INTERPASS TEMPERATURE 600 DEGREES F. SHALL BE MONITORED ON COLUMN FLANGE. MAINTAIN PREHEAT TEMPERATURE WHEN WELDING IS INTERRUPTED.
- B. EACH FLANGE OF A MOMENT FRAME BEAM TO COLUMN CONNECTION SHALL BE WELDED IN ONE CONTINUOUS PROCESS WITHOUT COOLING BELOW THE PRE-HEAT TEMPERATURE.
- C. USE STRINGER PASSES ONLY, NO WEAVING. LAY PASSES IN HORIZONTAL LAYERS. EACH PASS SHALL BE THOROUGHLY DESLAGGED AND CLEANED BY WIRE BRUSHING.
- D. PEEN EACH PASS, EXCEPT FIRST AND LAST, IMMEDIATELY AFTER DESLAGGING AND CLEAN USING A POWER SLAGGING GUN WITH A BLUNT TOOL. KEEP GUN AT RIGHT ANGLES TO WELD AND MAKE 4-5 PASSES THE LENGTH OF THE WELD WITH NO NICKS, CUTS OR DEEP INDENTATIONS BEING EVIDENT.
- E. BOTH BEAM FLANGES SHOULD BE WELDED PRIOR TO ANY SUPPLEMENTAL WELDING TO THE SHEAR TAB. WELD RUN OFF TABS SHALL BE REMOVED AND GROUND FLUSH TO THE BEAM FLANGE WITH MINIMAL DISTURBANCE.
- F. RUN OFF TABS USED AT BEAM FLANGE CONNECTION SHALL BE REMOVED AND THE ENDS OF THE WELDS SHALL BE MADE SMOOTH & FLUSH WITH THE EDGE OF ABUTTING PARTS PER 3.12.3 OF AWS D1.1-96. NO WELD DAMS ARE ALLOWED.
- G. AFTER FULL PENETRATION WELDING, THE BOTTOM BACKING BAR IS TO BE REMOVED, THE WELD ROOT T&B SHALL BE INSPECTED AND TESTED FOR IMPERFECTIONS, WHICH IF FOUND, ARE TO BE REMOVED BY BACKGOUGING TO SOUND MATERIAL & CLEANED BY GRINDING IF BACKGOUGED BY AIR ARC. THE BACKGOUGED AREA IS TO BE WELDED. A FILLET WELD SHALL BE APPLIED TO REINFORCE THE JOINT. THE SIZE OF THE REINFORCING FILLET WELD SHALL BE EQUAL TO 1/4 THE PLATE THICKNESS. BUT NOT LESS THAN 5/16". NOR MORE THAN 3/8" PER NOTE J OF FIGURE 2.4 OF AWS D1.1-96.
- 2. THE FOLLOWING PROVISIONS APPLY TO WELDING BEAM-COLUMN MOMENT FRAME BOTTOM FLANGE
- A. THE ROOT PASS SHALL BEGIN IN THE CENTER OF THE JOINT, IN THE AREA OF THE WELD ACCESS HOLE, REACHING PAST THE BEAM WEB THROUGH THE COPE HOLE WHEN NEAR END OF WELDING. AFTER THE ARC IS INITIATED. TRAVEL SHALL PROGRESS TOWARD THE EDGE OF BEAM BOTH FLANGES. AND THE WELD SHALL BE TERMINATED ON THE WELD RUN OFF TAB.
- B. THE HALF LENGTH ROOT PASS SHALL BE THOROUGHLY CLEANED.
- C. THE START OF THE WELD IN THE WELD ACCESS HOLE AREA SHALL BE VISUALLY INSPECTED TO ENSURE FUSION, SOUNDNESS, FREE FROM SLAG INCLUSIONS AND EXCESSIVE POROSITY. THE RESULTING BEAD PROFILE SHALL BE SUITABLE FOR OBTAINING GOOD FUSION BY THE SUBSEQUENT PASS TO BE INITIATED ON THE OPPOSITE SIDE OF THE BEAM WEB. IF THE PROFILE IS NOT CONDUCIVE TO GOOD FUSION, THE START OF THE FIRST ROOT PASS SHALL BE GROUND, GOUGED, CHIPPED, OR OTHERWISE PREPARED TO ENSURE ADEQUATE FUSION.
- D. THE SECOND HALF OF THE WELD JOINT SHALL HAVE THE ROOT PASS APPLIED BEFORE ANY OTHER WELD PASSES ARE PERFORMED. THE ARC SHALL BE INITIATED IN THE AREA OF THE START OF THE FIRST ROOT PASS, AND TRAVEL SHALL PROGRESS TO THE END OF THE JOINT, TERMINATING ON THE WELD TAB.
- E. EACH WELD LAYER SHALL BE COMPLETED ON BOTH SIDES OF THE JOINT BEFORE A NEW LAYER IS DEPOSITED.

## STRUCTURAL STEEL

- FABRICATION AND ERECTION OF STRUCTURAL STEEL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF AISC SPECIFICATIONS FOR STRUCTURAL STEEL BUILDINGS, AND THE LATEST EDITION OF AISC SEISMIC PROVISIONS FOR STRUCTURAL STEEL BUILDINGS. WHERE THE STRUCTURAL STEEL IS EXPOSED, FABRICATION AND ERECTION SHALL ALSO BE IN ACCORDANCE WITH AISC CODE OF STANDARD PRACTICE FOR ARCHITECTURALLY EXPOSED STRUCTURAL STEEL.
- 2. STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING ASTM DESIGNATION:

a.	ALL WIDE FLANGE SHAPES	A992, GRADE 50
b.	STEEL ANGLES	A36
C.	ALL PLATES	A36
	WHERE GRADE 50 IS SPECIFIED PROVIDE	A572
d.	HSS (RECTANGULAR AND SQUARE)	A500, GRADE C
e.	HSS (ROUND)	A500, GRADE B
f.	PIPE	A53, GRADE B
g.	CHANNELS (C AND MC SECTIONS)	A36
h.	ALL OTHER STRUCTURAL SECTIONS	A572, GRADE 50

- 3. ALL STEEL SHALL BE PROVIDED BY A CITY OF LOS ANGELES LICENSED FABRICATOR.
- 4. WHEN FABRICATING BEAMS PLACE NATURAL CAMBER UP.
- 5. ALL FLANGE STIFFENER PLATES SHALL BE ORIENTED SO THAT ROLLING DIRECTION OF PLATE IS PARALLEL WITH DIRECTION OF PRINCIPAL STRESS.
- SPLICE MEMBERS ONLY WHERE INDICATED
- MECHANICAL FASTENING AND THREADED PARTS
- A. BOLTS AND THREADED PARTS SHALL CONFORM TO THE FOLLOWING ASTM DESIGNATION

a.	HIGH STRENGTH BOLTS	F3125, GR A325X
b.	HEADED AND HOOKED ANCHOR RODS U.N.O.	F1554, GR36
C.	ALL THREADED RODS U.N.O.	F1554, GR36
d.	TIE RODS	F1554, GR36
e.	ANCHORS AT NON-MOMENT FRAME COLUMN BASE P.L.	F1554, GR36
f.	ANCHORS AT MOMENT FRAME COLUMN BASE P.L.	F1554, GR105
g.	NUTS FOR BOLTS AND MACHINE BOLTS	A563
h.	HARDENED WASHERS	F436
i.	UNHARDENED WASHERS	F844
j.	PLAIN WASHERS	ANSI B18.22.1
k.	BEVELED WASHERS	ANSI B18.23.1

- B. HIGH STRENGTH BOLTS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF "AISC SPECIFICATIONS FOR STRUCTURAL JOINTS USING HIGH STRENGTH BOLTS" BY RCSC. HIGH STRENGTH BOLTS SHALL BE BEARING TYPE WITH THREADS EXCLUDED FROM THE FROM THE SHEAR PLANES (I.E. A325-X).
- C. ALL JOINTS U.NO. SHALL BE BE SNUG-TIGHTENED JOINTS.
- JOINTS AT ALL LFRS ELEMENTS SHALL BE PRE-TENSIONED W/ CLASS A FAYING SURFACE.
- D. ALL BOLTED CONNECTIONS SHALL HAVE A MINIMUM OF TWO 3/4"Ø BOLTS.
- E. ALL HOLES SHALL BE STANDARD DIAMETER.

WITH ASTM A780.

- F. PROVIDE BEVELED WASHERS ON ALL CONNECTIONS WHERE SLOPE SURFACE EXCEEDS 1:20.
- G. WELDING OF FASTENERS OR THREADED PARTS SHALL BE ALLOWED ONLY WHERE SPECIFICALLY SHOWN ON THE STRUCTURAL DRAWINGS. IN SUCH INSTANCES, WELDABLE FASTENERS OR THREADED PARTS SHALL BE PROVIDED, AND SHALL CONFORM TO SUPPLEMENTARY REQUIREMENT S1 WHENEVER SUCH REQUIREMENT IS AVAILABLE FOR A GIVEN ASTM FASTENER SPECIFICATION. FOR WELDING OF REBAR SEE "REINFORCEMENT" SECTION
- 8. AFTER FABRICATION, ALL STEEL SHALL BE CLEANED FREE OF RUST, LOOSE MILL SCALE AND OIL.
- PROVIDE FILLS AT SPLICES OF PARTS HAVING MORE THAN 1/8" DIFFERENCE IN THICKNESS.
- 10. HEADED ANCHOR STUDS AND THREADED STUDS SHALL BE NELSON GRANULAR FLUX-FILLED, AND SHALL BE MADE FROM COLD FINISHED LOW CARBON STEEL, CONFORMING TO A-108, GRADES 1015 - 1020 WITH A MINIMUM TENSILE STRENGTH OF 60,000 PSI. (COLA RR 2729). STUD WELDING INSPECTION AND TESTING SHALL CONFORM TO AWS D1.1.
- 11. DEFORMED BAR ANCHOR STUDS SHALL BE NELSON D2L GRANULAR FLUX-FILLED REBAR STUDS OR APPROVED EQUAL, AND SHALL BE MADE OF LOW CARBON COLD ROLLED STEEL WITH A MINIMUM TENSILE STRENGTH OF 80.000 PSI. STUD WELDING INSPECTION AND TESTING SHALL CONFORM TO AWS D1.1.
- 12. HOT DIP GALVANIZE IN ACCORDANCE WITH ASTM A123 AND ASTM A153 STRUCTURAL STEEL AND FASTENERS THAT ARE PERMANENTLY EXPOSED TO THE WEATHER. REPAIR GALVANIZING AFTER WELDING IN ACCORDANCE
- 13. THE FULL DESIGN AND LOAD CARRYING CAPACITY OF THE STEELWORK SHALL NOT BE IMPAIRED DUE TO FABRICATION. SHIPMENT. OR ERECTION PROCEDURES. THROUGHOUT THE COMPLETE PROCESS. THE STABILITY OF ALL INDIVIDUAL MEMBERS AND ASSEMBLIES SHALL BE MAINTAINED.
- 14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF ALL ERECTION PROCEDURES AND SEQUENCES WITH RELATION TO TEMPERATURE DIFFERENTIALS AND WELD SHRINKAGE.
- 15. ALL ADDITIONAL STEEL REQUIRED FOR ERECTION PURPOSES SHALL BE PROVIDED AT NO ADDITIONAL COST AND SHALL BE REMOVED UNLESS APPROVED BY THE OWNER'S REPRESENTATIVE IN WRITING.

# **BADGER RESIDENCE**

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KETCHUM, ID 83340

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STRUCTURAL ENGINEER:

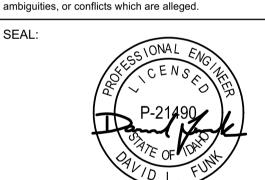
319 MAIN STREET EL SEGUNDO, CA 90245 TEL: 213.239 9700 LFA Job #22791



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PC SUBMITTAL

ISSUE

PROJECT: BADGER RESIDENCE

121 BADGER LANE KETCHUM. ID 83340

02/24/23

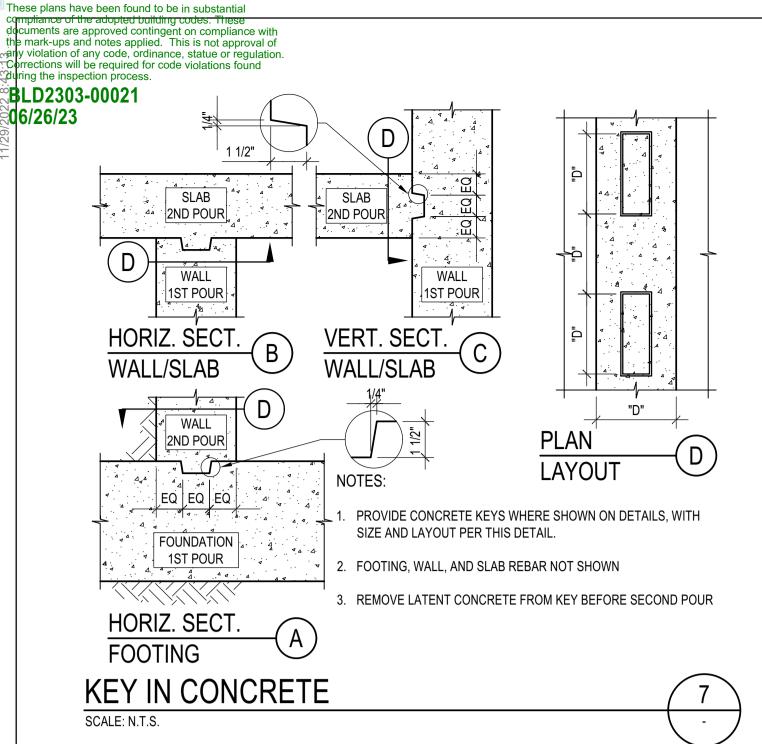
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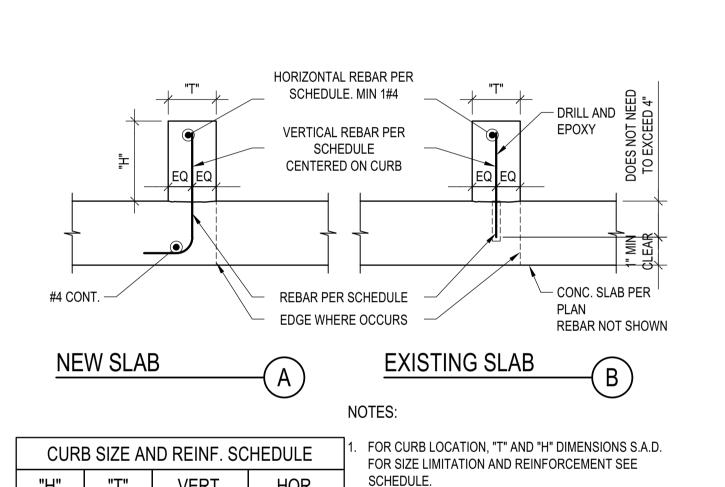
PROJECT NUMBER

#2201 DRAWING TITLE:

**GENERAL NOTES** 







8"<H≤18" | 6"≤T≤8" | #4 @ 18" O.C. | #4 @ 12" O.C. SURFACE PRIOR TO POUR CURB. 3. EXPANSIVE OR HYDROPHILIC WATERSTOPS AT CURBS ARE NOT ALLOWED

AT CONTRACTOR DISCRETION, CURB MAY BE POURED

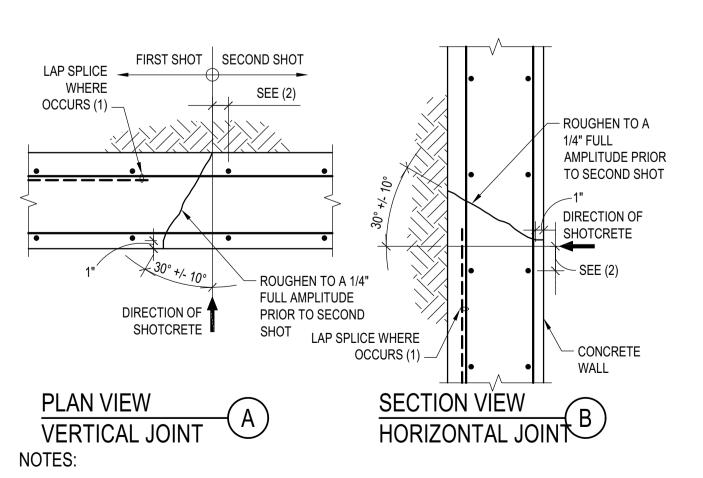
SUBSEQUENTLY, OR AT (E) SLAB, ROUGHEN SLAB

MONOLITHICALLY WITH SLAB. WHEN POURED

CONCRETE CURB DETAIL

4"≤T≤8" #3 @ 18" O.C.

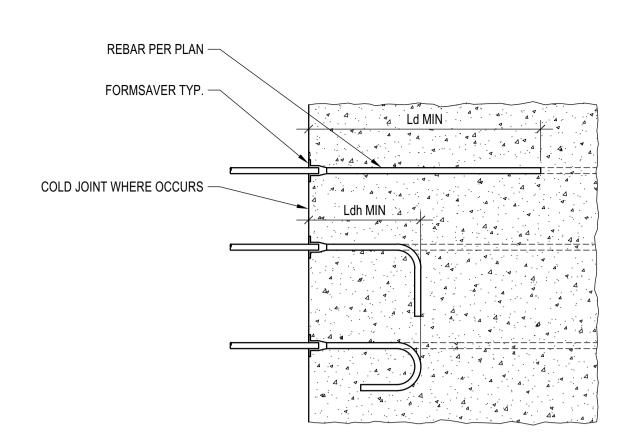
6"<H≤8" | 6"≤T≤8" | #3 @ 18" O.C.



- 1. CONSTRUCTION JOINTS SHALL NOT BE PLACED ACROSS LAPPING REBAR
- 2. REBAR PARALLEL TO JOINT SHALL BE A MIN OF 2" AWAY FROM JOINT

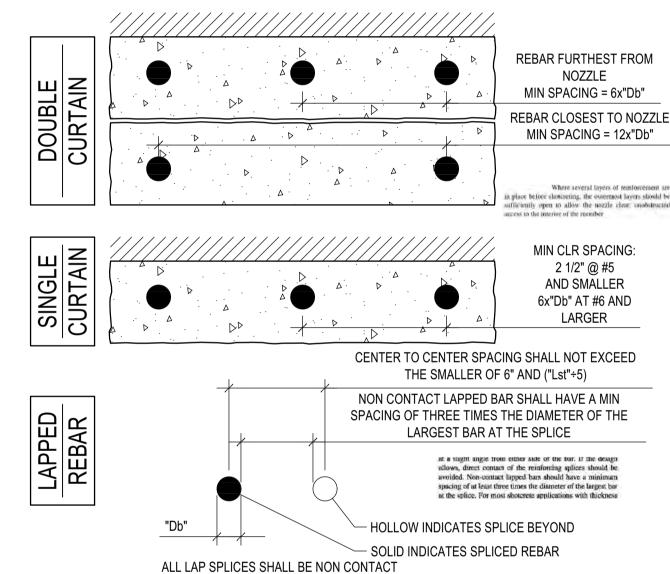
3. INCLUDE VERTICAL CONSTRUCTION JOINT LOCATIONS AS PART OF SHOP DRAWINGS

SHOTCRETE WALL - CONSTRUCTION JOINT

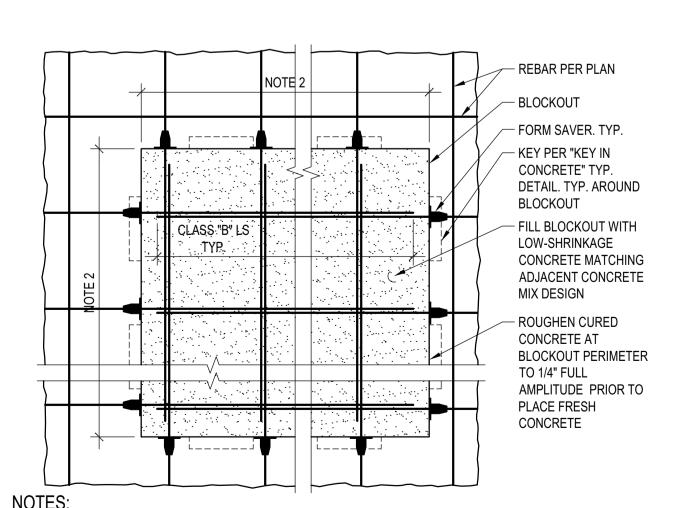


- 1. FORMSAVERS MAY BE PROVIDED AT COLD JOINT, IF NOT NOTED ON PLAN OR ELSEWHERE IN THE DRAWING SET, OBTAIN APPROVAL FROM SEOR.
- 2. SELECT FORMSAVERS THAT CAN DEVELOP REBAR STRENGTH

**FORMSAVER** SCALE: N.T.S.



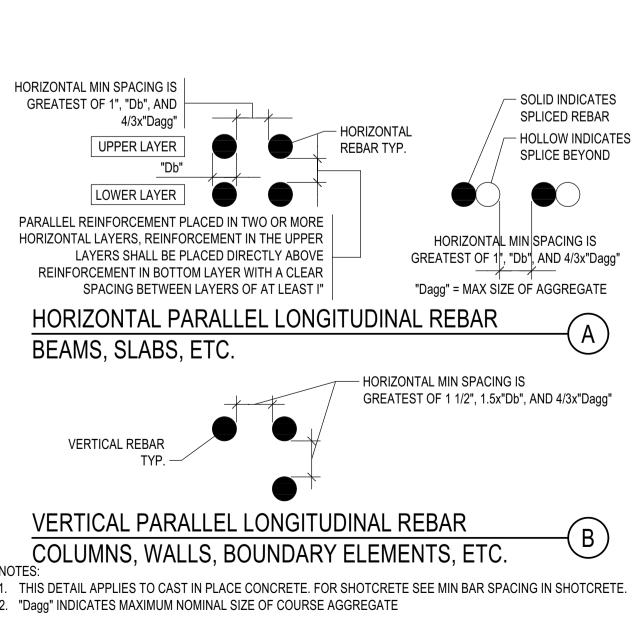
MIN BAR SPACING IN SHOTCRETE SCALE: N.T.S.



1. PROVIDE BLOCKOUTS WHERE NOTED ON PLANS OR OBTAIN APPROVAL IN WRITING FROM SEOR. 2. UNLESS SPECIFIED ELSEWHERE IN THE DRAWING SET, SIZE OF BLOCKOUTS SHALL BE THE LEAST REQUIRED FOR CONSTRUCTIBILITY REQUIREMENTS AND DEVELOPMENT BAR LENGTH.

3. AT GC DISCRETION AND AS COST SAVING SOLUTION, FORMSAVERS MAY BE OMITTED IF REBAR ARE CONTINUOUS THRU BLOCKOUT

GENERIC BLOCKOUT SCALE: N.T.S.



1. THIS DETAIL APPLIES TO CAST IN PLACE CONCRETE. FOR SHOTCRETE SEE MIN BAR SPACING IN SHOTCRETE.	
2. "Dagg" INDICATES MAXIMUM NOMINAL SIZE OF COURSE AGGREGATE	

MIN BAR SPACING IN CIP CONC. SCALE: N.T.S.

LAP SPLICE OF LONGITUDINAL GR60 REBAR (IN) DEVELOPMENT OF LONGITUDINAL GR60 REBAR (IN) SEE MODIFICATION FACTORS AND DIFFERENT GRADES PER NOTE 2 SEE MODIFICATION FACTORS AND DIFFERENT GRADES PER NOTE 2 TENSION LAP SPLICE "Lst" **TENSION DEVEL** DEVEL. LENGTH DEVEL. LENGTH SPLICE "LSC" DEVEL. LENGTH LENGTH "Ld" "Ldh" STD HOOK | "Ldt" HEADED BARS CLASS B (2) REDUCED CLASS É THAN 3,000 AND HIGHER 22|20|19|18|17|16|16| 16 22 24 12 17 18 #4 ||22|21|19|18|17|17|16|| 8 | 8 | 7 | 7 | 6 | 6 | 6 || 9 | 9 | 8 | 8 | 7 | 7 | 7 || 9 | 8 | 8 | 8 | 8 | 8 | 8 29|27|25|24|23|22|21 ||20|29|32|15|22|24 0.625 #5 ||28|26|24|23|22|21|20||10| 9 | 9 | 8 | 8 | 8 | 7 ||11|11|10| 9 | 9 | 9 | 8 ||11|10| 9 | 9 | 8 | 8 | 8 | 8 ||25|36|39|19|28|30| |36|33|31|30|28|27|26| #6 ||33|31|29|27|26|25|24||12|11|10|10| 9 | 9 | 9 ||14|13|12|11|11|10|10||13|12|11|11|10|10| ||43|40|37|35|34|32|31||33|31|29|27|26|25|24||30|43|47|23|33|36| 0.875 #7 ||48|45|42|40|38|36|34||14|13|12|11|11|10|10||16|15|14|13|12|12|11||15|14|13|12|12|12|12 ||63||58||54||51||49||47||45||49||45||42||40||38||36||35||35||50||55||27||39||42| |72|66|62|59|56|53|51||57|53|50|47|44|42|41||39|57|63|30|44|48| #9 ||62|58|54|51|48|46|44||18|17|15|15|14|13|13||20|19|18|17|16|15|14||19|18|17|16|15|15|15| || 91|84|79|74|71|67|64||74|68|64|60|57|55|52||50|72|80|39|56|61| #10 ||70|65|61|57|54|52|50||20|19|17|16|16|15|14||23|21|20|19|18|17|16||21|20|19|18|17|17 #11 | 78 | 72 | 67 | 64 | 60 | 58 | 55 | 22 | 21 | 19 | 18 | 17 | 16 | 16 | 25 | 23 | 22 | 21 | 20 | 19 | 18 | 24 | 22 | 21 | 19 | 19 | 19 | 19 | 19 |101|93|87|82|78|75|71||84|76|71|67|64|61|58||55|80|88|43|62|68| #14 93 86 81 76 72 69 66 26 25 23 22 21 20 19 NOT ALLOWED LAP SPLICE NOT ALLOWED SEE NOTES #18 ||124|115|108|101|96|92|88||35|33|30|29|27|26|25| 38 35 33 31 30 30 30

NOTES:

SOLID CIRCLE: REBAR

BEING DEVELOPED OR

HOLLOW CIRCLE:

SPLICE BEYOND -

**CLEAR COVER &** 

**CLEAR SPACING** 

**DEVELOPMENT OF** 

**DEVELOPMENT OF** 

STANDARD HOOK "Ldh"

SPLICED -

COVER

CLEAR

SPACING

COLD JOINT

SIDE

COVER

A A A A A A A A

"Lst" OR "Lsc"

PER SCHEDULE

OF 6" AND ("Lst"+5) \_

CEENTER TO CENTER SPACING

SHALL NOT EXCEED THE SMALLER

**TENSION & COMPR** 

SCALE: N.T.S.

LAP SPLICE "Lst" & "Lsc"

- COLD JOINT

- REBAR SHALL BE ALWAYS DEVELOPED ACROSS COLD JOINTS. SPLICES SHALL OCCUR ONLY WHERE SHOWN ON DETAILS. UNLESS OTHERWISE NOTED ELSEWHERE IN THE DRAWING SET, THE FOLLOWING SHALL APPLY:
- A. MIN DEVELOPMENT LENGTH ACROSS A COLD JOINT OF STRAIGHT REBAR SHALL BE "Ld"
- B. MIN DEVELOPMENT LENGTH ACROSS A COLD JOINT OF HOOKED REBAR SHALL BE "Ldh" C. LAP SPLICE SHALL BE CLASS B TENSION LAP SPLICE "Lst"
- ALL THE DEVELOPMENT LENGTHS AND LAP SPLICES SHALL BE MODIFIED AS FOLLOWS:
- A. CASTING POSITION: IF MORE THAN 12 IN OF FRESH CONCRETE IS PLACED BELOW HORIZONTAL TOP REBAR, SCHEDULED VALUES OF "Ld" AND "Lst" SHALL BE MULTIPLIED BY 1.3.
- B. LIGHT WEIGHT CONCRETE: IF LIGHT WEIGHT CONCRETE IS USED, ALL THE DEVELOPMENT LENGTHS AND TENSION LAP SPLICE SCHEDULED VALUES SHALL BE MULTIPLIED BY 1.33. HEADED BARS ARE NOT ALLOWED IN LIGHT WEIGHT CONCRETE. COMPRESSION LAP SPLICE "Lsc" DO NOT NEED TO BE INCREASED
- C. GRADE OF STEEL: EXCEPT "Lsc", SCHEDULED LENGTHS APPLY TO REBAR WITH GRADE 60 KSI. WHERE REBAR WITH HIGHER STRENGTH IS SPECIFIED OR APPROVED AS A SUBSTITUTION, THE SPLICES PER TABLE ABOVE SHALL BE INCREASED PROPORTIONALLY TO THE HIGHER STRENGTH. FOR EXAMPLE, FOR GRADE 80. THE LENGTHS SHALL BE MULTIPLIED BY 80/60 = 1.33. HEADED BARS WITH GRADE GREATER THAN 60 KSI SHALL NOT BE PERMITTED UNLESS OTHERWISE SHOWN ON RESEARCH REPORT OF SELECTED HEADED BAR.
- D. EPOXY COATING: SCHEDULED LENGTHS APPLY TO UNCOATED OR ZINC COATED (GALVANIZED) REBAR. IF EPOXY COATING IS SPECIFIED, SCHEDULED VALUED
- SHALL BE MULTIPLIED BY 1.2 FOR "Ldh", "Ldt" AND BY 1.5 FOR "Ld", "Lst". Ldc AND Lsc DO NOT NEED TO BE INCREASED.
- E. CONFINEMENT: SCHEDULED VALUES OF "Ld" AND "Lst" SHALL BE MULTIPLIED BY 1.5 FOR:
- MEMBERS WITH TIES (SUCH AS COLUMNS, PILES, BEAMS, ETC.) WITH LONGITUDINAL REBAR WITH "CLEAR COVER" LESS THAN "Db" OR WITH "CLEAR SPACING" LESS THAN "Db"
- MEMBERS WITHOUT TIES (SUCH AS WALLS, SLAB, FOOTINGS, ETC.) WITH LONGITUDINAL REBAR WITH "CLEAR SPACING" LESS THAN 2 x "Db" SCHEDULED VALUES OF "Lsc" SHALL BE MULTIPLIED BY 1.33 WHEN OCCURRING AT WALLS
- HEADED DEFORMED BARS SHALL BE PERMITTED IF ALL FOLLOWING CONDITIONS ARE MET (SEE INSET DETAIL):
- PROVIDE HRC555 HEADED DEFORMED BAR (RESEARCH REPORT ER 177) OR APPROVED EQUIVALENT
- SIDE COVER IS AT LEAST 2xDb
- REBAR SPACING IS AT LEAST 4xDb
- 4. WHERE REBAR OF DIFFERENT SIZE ARE LAP SPLICED, FOLLOWING SHALL APPLY:
- A. LAP SPLICE SHALL BE THE GREATER OF Ld OF LARGER BAR AND Lst OF SMALLER BAR (TENSION)
- B. LAP SPLICE SHALL BE THE GREATER OF Ldc OF LARGER BAR AND Lsc OF SMALLER BAR (COMPRESSION). C. TENSION SHALL BE ASSUMED UNLESS NOTED OTHERWISE ELSEWHERE IN THIS SET.
- 5. FOR LAP OF BUNDLED REBAR CONTACT E.O.R.
- 6. LAP SPLICE FOR #14 AND #18 ARE NOT ALLOWED. PROVIDE MECHANICAL OR WELDED SPLICES DEVELOPING 1.25Fy FOR THESE SPLICES. SUBMIT SELECTED SPLICE SYSTEM TO E.O.R. FOR APPROVAL
- 7. REDUCED CLASS B LAP SPLICE SHALL APPLY AT COLUMNS AND SHEAR WALL BOUNDARY MEMBERS WHERE SPECIFICALLY IDENTIFIED ON DRAWINGS

# DEVELOPMENT AND SPLICE OF REBAR IN CONCRETE

STANDARD HOOK GEOMETRY STANDARD HOOK GEOMETRY FOR LONGITUDINAL REBAR FOR STIRRUPS, TIES, AND HOOKS MIN. MIN. TYPE OF INSIDE TYPE OF INSIDE STANDARD SIZE BEND STANDARD HOOK SIZE BEND lext HOOK DIAMETER DIAMETER THRU 4d₀ OF 6d₀ AND #8 #5 90° HOOK THRU AND THRU #5 GREATER OF 6d₀ AND 135° HOOK THRU

		#18	
ONC	3	STANDARD	HOO

STANDARD HOOKS SCALE: N.T.S.

OF 4d<sub>b</sub>

AND 2 1/2

THRU

#11

#14

AND

180° HOOK

# **BADGER RESIDENCE**

OWNER:

121 BADGER LANE LLC P.O. BOX 14001-174 KETCHUM, ID 83340

PROJECT ARCHITECT:

**RO | ROCKETT DESIGN** 1031 W. MANCHESTER BLVD, UNIT 6 INGLEWOOD, CA 90301

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323 LEWIS STREET, SUITE N KETCHUM, ID 83340

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319 MAIN STREET EL SEGUNDO, CA 90245 TEL: 213.239 9700 LFA Job #22791

TEL:: 208.726.5907



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TYPE OF

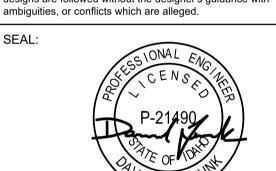
STANDARD HOOK

135°

OF 4d₀

THRU #8

AND 2 1/2"



02/24/23 PC SUBMITTAL NO DATE ISSUE PROJECT:

**BADGER RESIDENCE** 

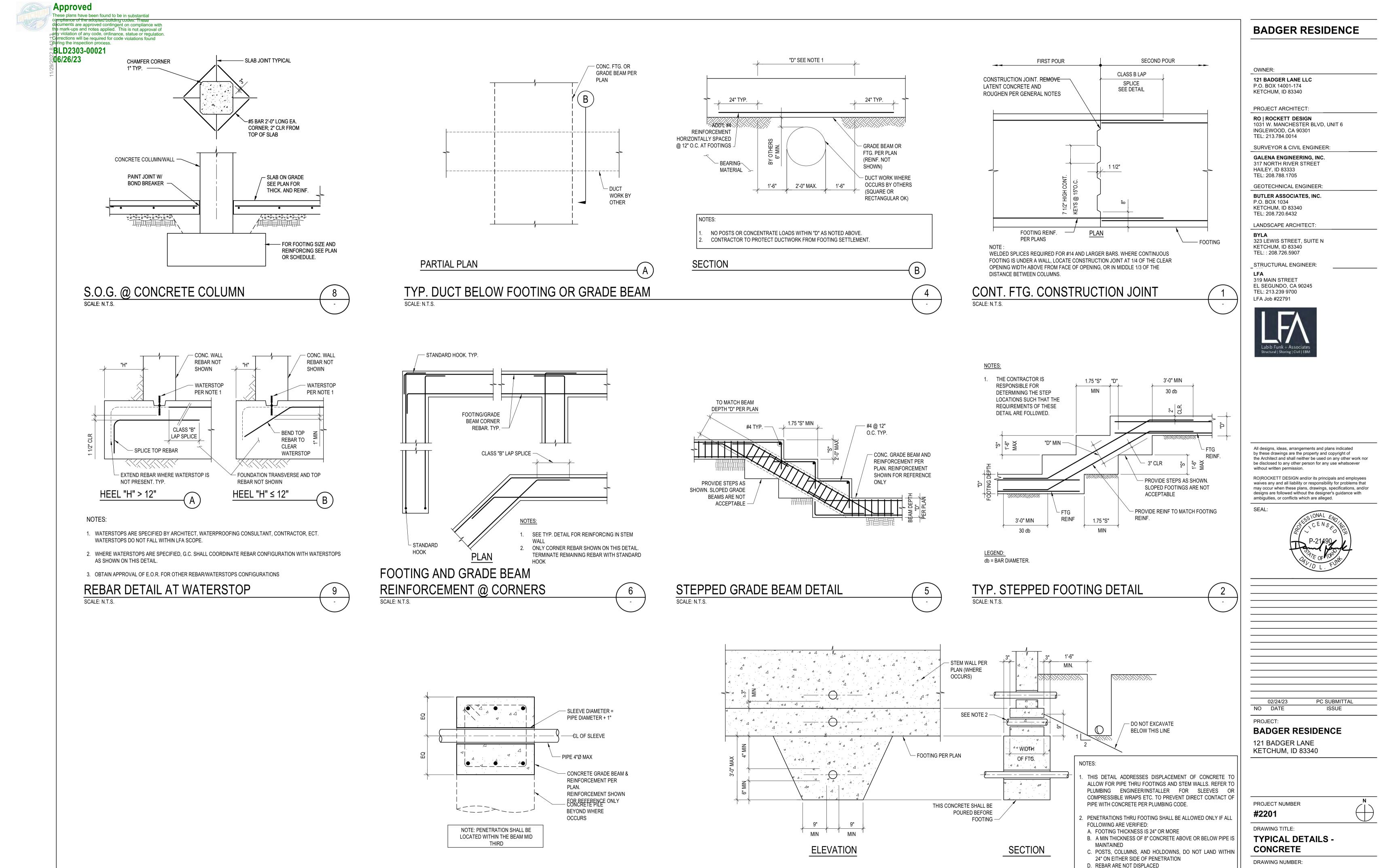
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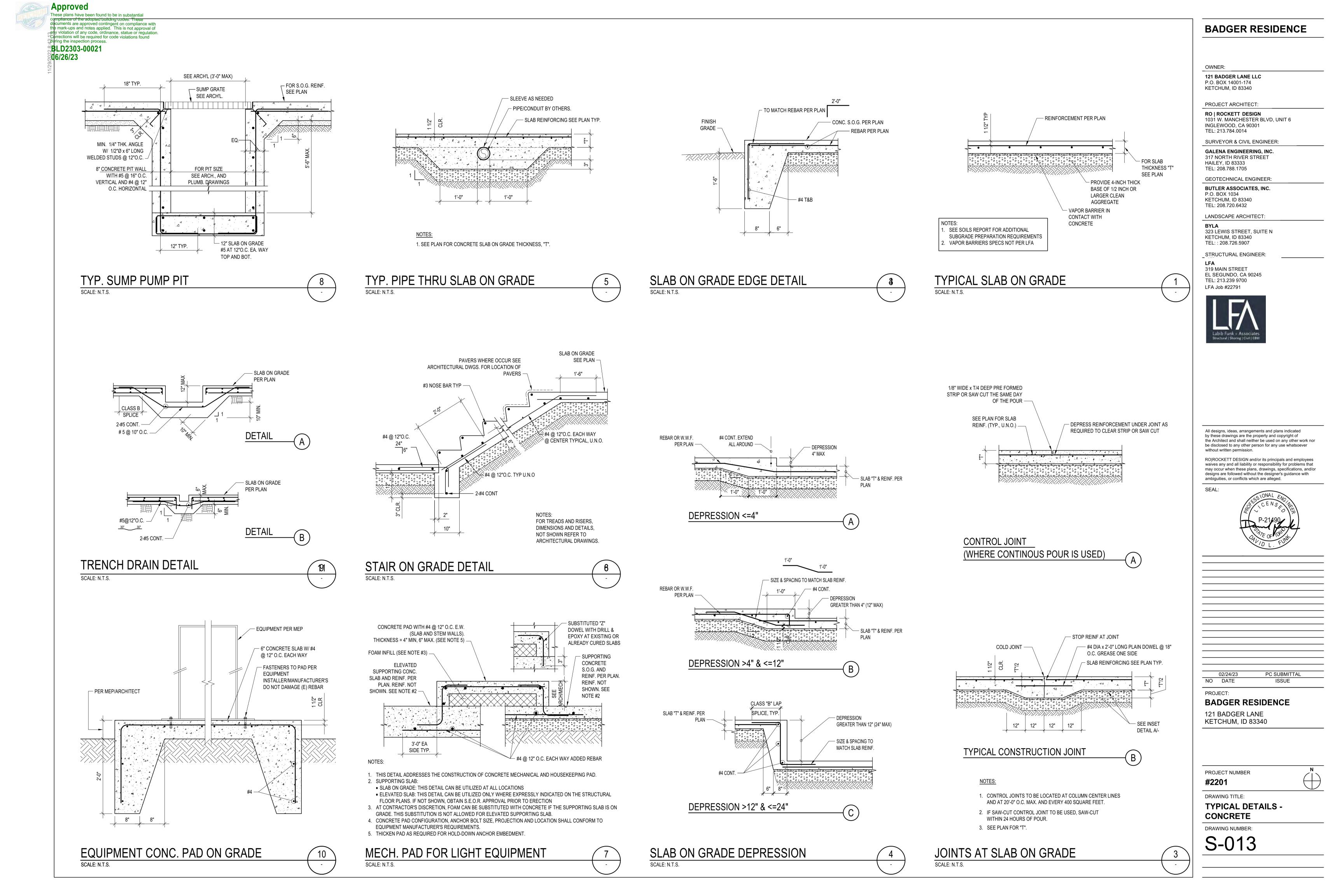
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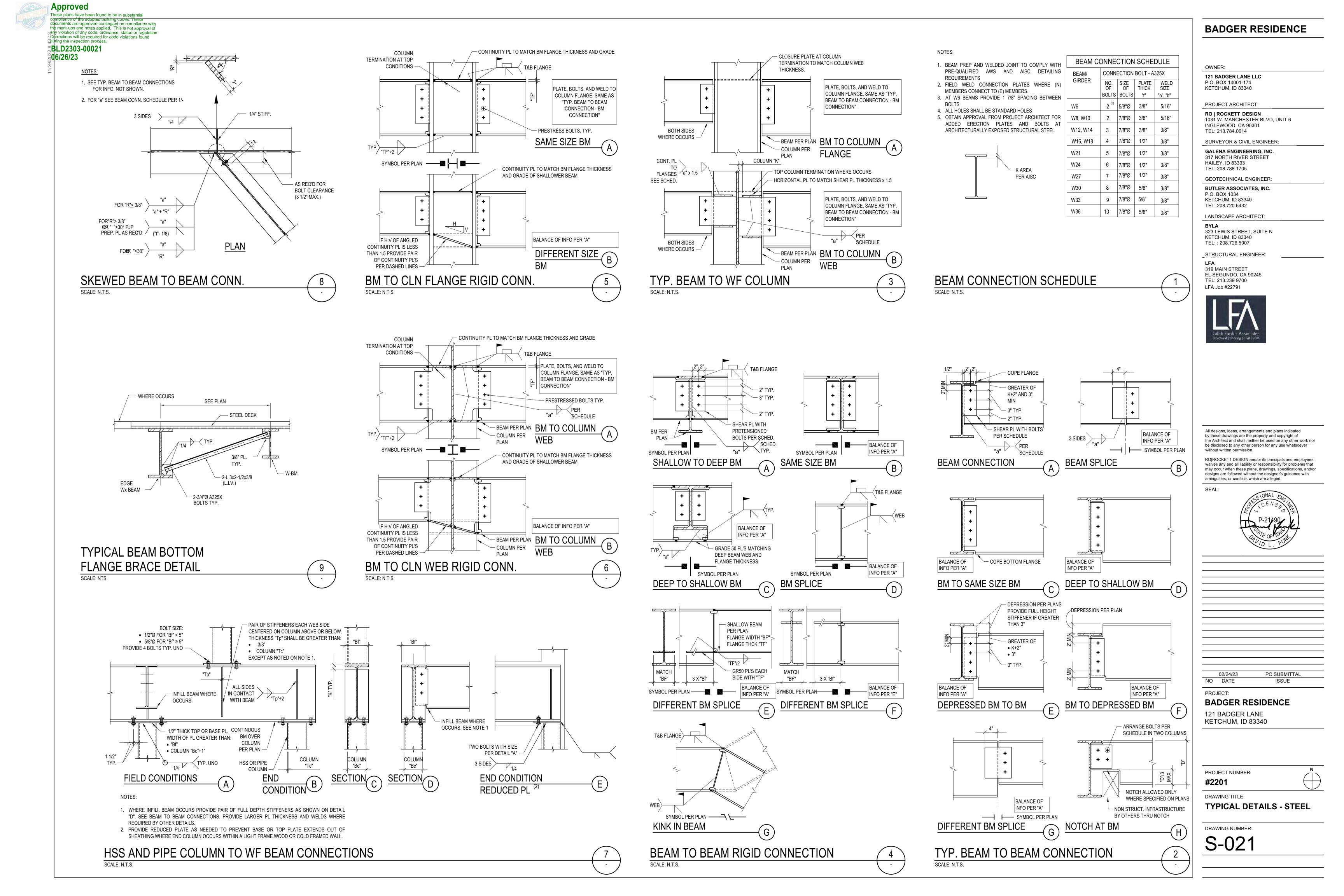
**TYPICAL DETAILS -CONCRETE** 



TYP. PIPE THRU FOUNDATION DETAIL

TYP. PIPE THRU GRADE BEAM

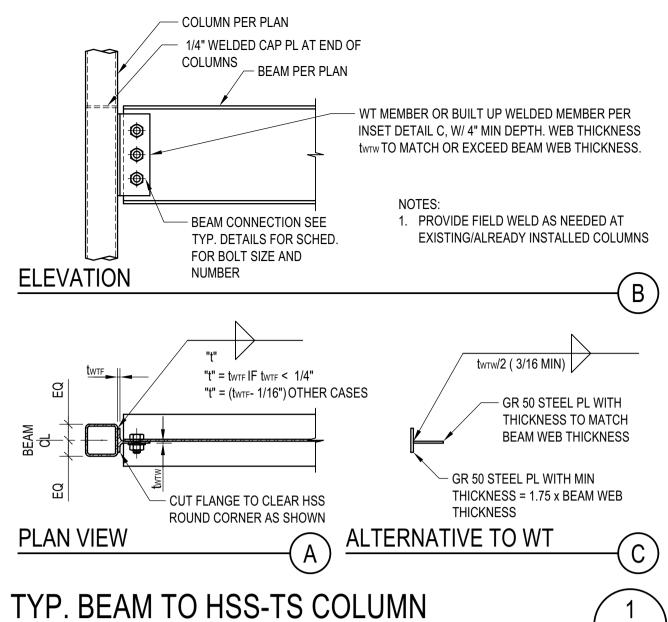






**BLD2303-00021** ენ 6/26/23

FIELD WELD AS REQUIRED / a = SMALLER OF T1 AND T2 @ SAME\ WIDTH HSS / FIELD WELD MEMBER / AS REQUIRED @ DIFF. WIDTH OR HSS MEMBER a "T" CONDITIONS CORNER CONDITIONS FIELD WELD AS REQ'D/ / FIELD WELD c = SMALLER \ AS REQUIRED OF T1 AND T2 STEEL CAP TO MATCH THICKNESS WELDED CAP WITH \_/ FIELD WELD AND SIZE OF HSS THICKNESS TO ∖ AS REQ'D MEMBER MATCH HSS b = SMALLER THICKNESS. TYP — OF T1 AND T2 DIFFERENT SIZES HSS MEMBERS CONNECTION SCALE: N.T.S.



## RO | ROCKETT DESIGN 1031 W. MANCHESTER BLVD, UNIT 6 INGLEWOOD, CA 90301 TEL: 213.784.0014 SURVEYOR & CIVIL ENGINEER: **GALENA ENGINEERING, INC.** 317 NORTH RIVER STREET HAILEY, ID 83333 TEL: 208.788.1705 GEOTECHNICAL ENGINEER: **BUTLER ASSOCIATES, INC.** P.O. BOX 1034 KETCHUM, ID 83340 TEL: 208.720.6432 LANDSCAPE ARCHITECT: 323 LEWIS STREET, SUITE N KETCHUM, ID 83340 TEL: : 208.726.5907 STRUCTURAL ENGINEER: 319 MAIN STREET EL SEGUNDO, CA 90245

- C.P. WHEN ONE SIDE IS INACCESSIBLE

- SEE SKEWED BEAM

# LFA Job #22791

TEL: 213.239 9700

**BADGER RESIDENCE** 

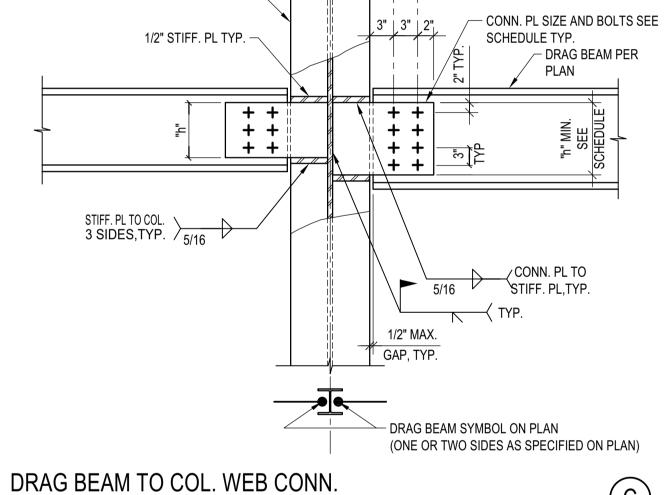
OWNER:

121 BADGER LANE LLC

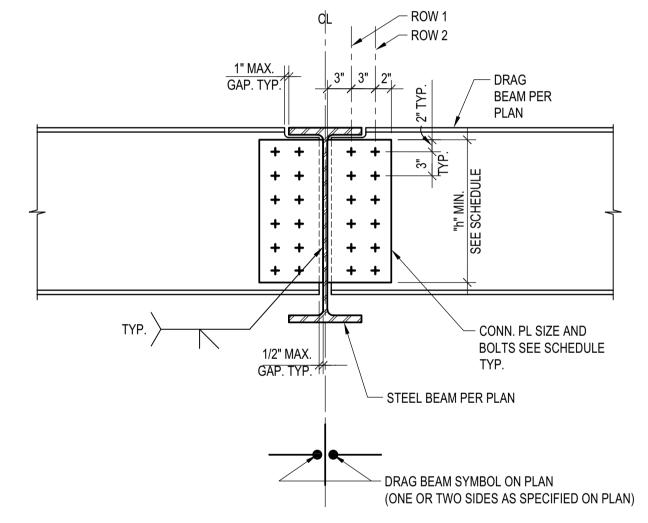
PROJECT ARCHITECT:

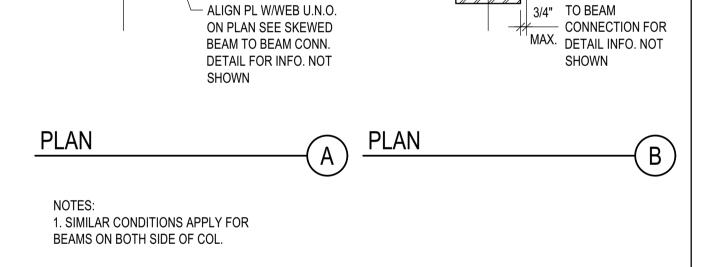
P.O. BOX 14001-174 KETCHUM, ID 83340

DRAG BEAM CONNECTION SCHEDULE									
		R OF 1"Ø							
BEAM SIZE		BOLTS	PLATE THICKNESS "t"	PLATE HEIGHT "h"	WELD "a"				
	ROW 1	ROW 2	"t"						
W12x	2	2	5/8"	9"	5/16"				
W14x	3	2	5/8"	11"	5/16"				
W16	4	2	5/8"	13"	3/8"				
W18x	4	4	3/4"	13"	3/8"				
W21x	5	4	3/4"	16"	3/8"				
W24x55 W24x62	6	4	3/4"	19"	3/8"				
W24x68 W24x76	6	4	1 1/4"	19"	3/8"				
W24x84	6	6	1 1/2"	19"	3/8"				
W24x94	6	6	1 5/8"	19"	1/2"				
W27x	7	5	1 5/8"	22"	1/2"				



COL. PER COL. SCHED. OR FRAME ELEV.



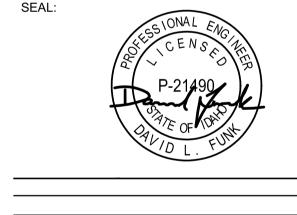


W.P. U.N.O.

ON PLAN —

SKEWED BEAM TO COLUMN CONN.
SCALE: N.T.S.

SCALE: N.T.S.



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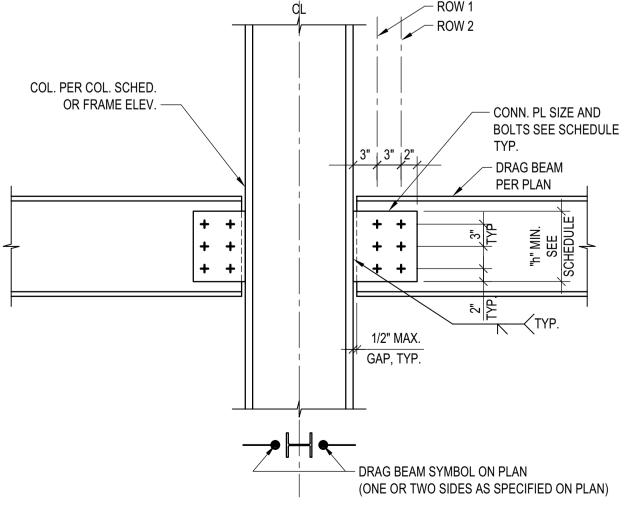
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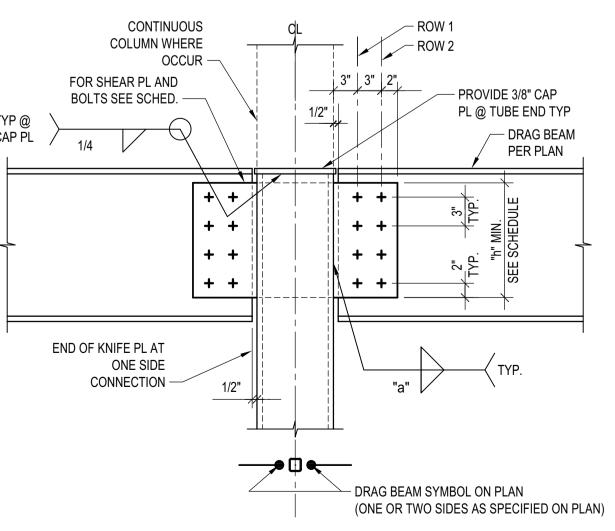
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DRAG BEAM TO COL. FLANGE CONN.



₹		W-BM. SEE PLAN	
PROVIDE 3/8" THICK FULL HT. STIFF. PL AT ALL ONE SIDED CONN TYP		<u>/</u>	
FOR PL. THICK., NO OF BOLTS AND WELDS SEE SCHEDULE 1/-, EXCEPT SLIP CRITICAL BOLTS SHALL BE USED.	××	3/16	"9 WIN
WHERE OCC'S TYP AWS MIN	BF/DRAG BEAM	3/8" THICK PL.  L 4x3x1/4" W/2-7/8"Ø A325-SC BOLTS @ EACH END	

BEAM TO BRACED BEAM CONN.	•
CALE: N.T.S.	

02/24/23 PC SUBMITTAL NO DATE PROJECT:

# **BADGER RESIDENCE**

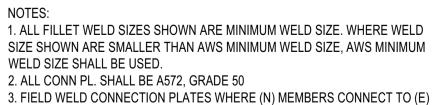
121 BADGER LANE KETCHUM, ID 83340

PROJECT NUMBER #2201

DRAWING TITLE: **TYPICAL DETAILS - STEEL** 

DRAWING NUMBER:

S-022



4. USE STD. HOLES @ STEEL BEAM & SHEAR PL, TYP.

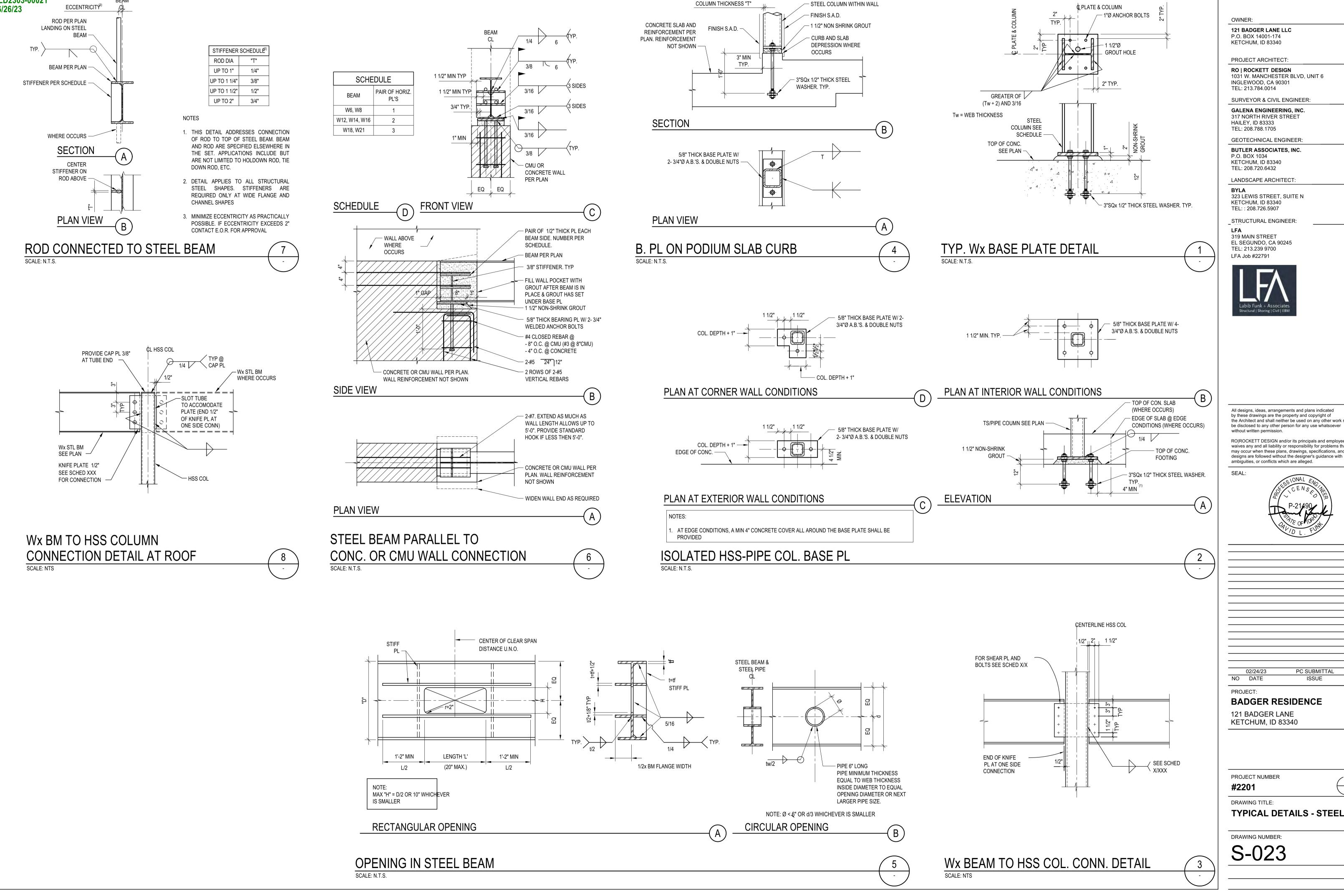
DRAG BEAM CONNECTION NOTES

DRAG BEAM CONNECTION SCHEDULE

TYPICAL DRAG BEAM CONNECTIONS

(ONE OR TWO SIDES AS SPECIFIED ON PLAN) DRAG BEAM TO BEAM CONNECTION

DRAG BEAM TO TS COLUMN



Approved

during the inspection process. 

These plans have been found to be in substantial compliance of the adopted building codes. These documents are approved contingent on compliance with

the mark-ups and notes applied. This is not approval of ary violation of any code, ordinance, statue or regulation. Corrections will be required for code violations found

# **BADGER RESIDENCE**

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TEL: 208.720.6432

323 LEWIS STREET, SUITE N

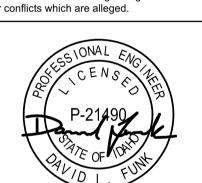
STRUCTURAL ENGINEER:

319 MAIN STREET EL SEGUNDO, CA 90245 TEL: 213.239 9700

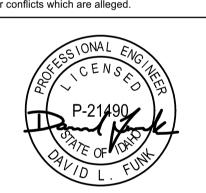


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> 2-2x TOP PL MIN. — SIMPSON "A35" TYP. 16d @ 16" O.C. TYP. -SEE NOTE 2 -2-2x TOP PL MIN. — ---- 2-16d NAILS TYP. DOUBLE KING STUD WHERE OCCURS 3-16d @ 4x4, 4x6 4-16d ALL OTHERS TYP. WALL FRAMING **ELEVATION AND** NOTES" - 16d @ 12" O.C. TRIMMER PER "STUD WALL FRAMING **ELEVATION AND** NOTES" – 16d @ 12" STAGG. 16d @ 12" ── 4-16d TOE NAILS √ 2x SILL PL - SILL AT SLAB ∠ 2" CLR. MIN. MIN. ON GRADE @ MULTIPLE STUD TYP. 3" MAX. WHERE SINGLE STUD OR CRIPPLE BEARS ON BOLT OR WASHER, BLOCK TO ADJACENT STUD W/2-16d EACH END TYP. **FLOOR** SHEATHING -

# 8'-0" MAX. OPENING

SCALE: N.T.S.

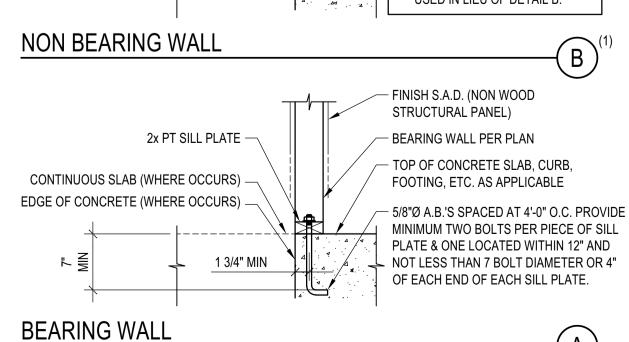
# NOTES:

1. SEE "STUD WALL FRAMING ELEVATION AND NOTES" FOR MINIMUM HEADER SIZES, AND MINIMUM NUMBER AND SIZE OF TRIMMERS AND KING STUDS.

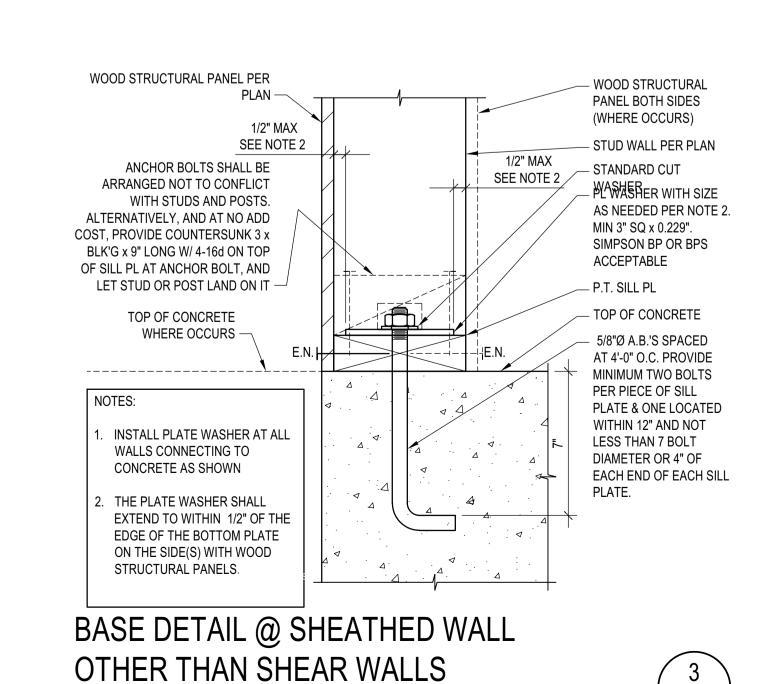
2. A35 CLIPS CAN BE OMITTED AT INTERIOR WALLS

# TYP. STUD WALL OPENING FRAMING

FINISH S.A.D. (NON WOOD 2x PT SILL PLATE W/ 3"x0.145"Ø SHOTPINS @ STRUCTURAL PANEL) 24" O.C. PROVIDE MECHANICAL GALVANIZED SHOTPINS W/ WASHER PER SIMPSON NON BEARING WALL STRONGTIE ESR-2138, COLA RR# 25469 -(PER PLAN OR ARCH'L DWG'S) CONTINUOUS CONCRETE (WHERE OCCURS) TOP OF CONCRETE SLAB, CURB, EDGE OF CONCRETE (WHERE OCCURS) FOOTING, ETC. AS APPLICABLE . AT CONTRACTOR'S DISCRETION INSET DETAIL A CAN ALSO BE USED IN LIEU OF DETAIL B. NON BEARING WALL



BASE DETAIL @ NON SHEAT'D WALL



## TYP. TRIMMER & KING STUDS SCHEDULE AT BEARING HEADERS **EXTERIOR** OPENING WIDTH (1)-TRIMMER (1)-TRIMMER (1\*)-KING STUD (1)-KING STUD (2)-TRIMMER

> 6'-0"

\* FOR ALL INTERIOR HEADERS SUPPORTING ROOF + 3 LEVELS OR MORE, ADD ONE ADDITIONAL KING STUD TO THE

6x10

6x12

(2)-KING STUD

	CHEDULE ABOVE	,		02 10 11.2					
		7	YP. MINIMU	M BEARING		CHEDULE			
WIDTH OF		EXTERIOR		<del> </del>	TERIOR - 4x WA	LL	INTERIOR - 6x WALL		
OPENING	ROOF	FLOOR	PUBLIC AREA	ROOF	FLOOR	PUBLIC AREA	ROOF	FLOOR	PUBLIC AREA
4'-0"	6x6	6x6	6x8	4x6/(2)-2x6	4x8/(2)-2x8	4x10/(2)-2x12	6x6	6x8	6x10
6'-0"	6x6	6x8	6x10	4x8/(2)-2x8	4x10/(2)-2x12	4x12	6x8	6x10	6x12

WIDTH OF

OPENING

4'-0"

6'-0"

8'-0"

TYP. MINIMUM NON-BEARING HEADER SCHEDULE U.N.O

**EXTERIOR** 

6x6

6x6

INTERIOR

(4x WALL)

4x4/(2)-2x4

4x4/(2)-2x4

4x6/(2)-2x6

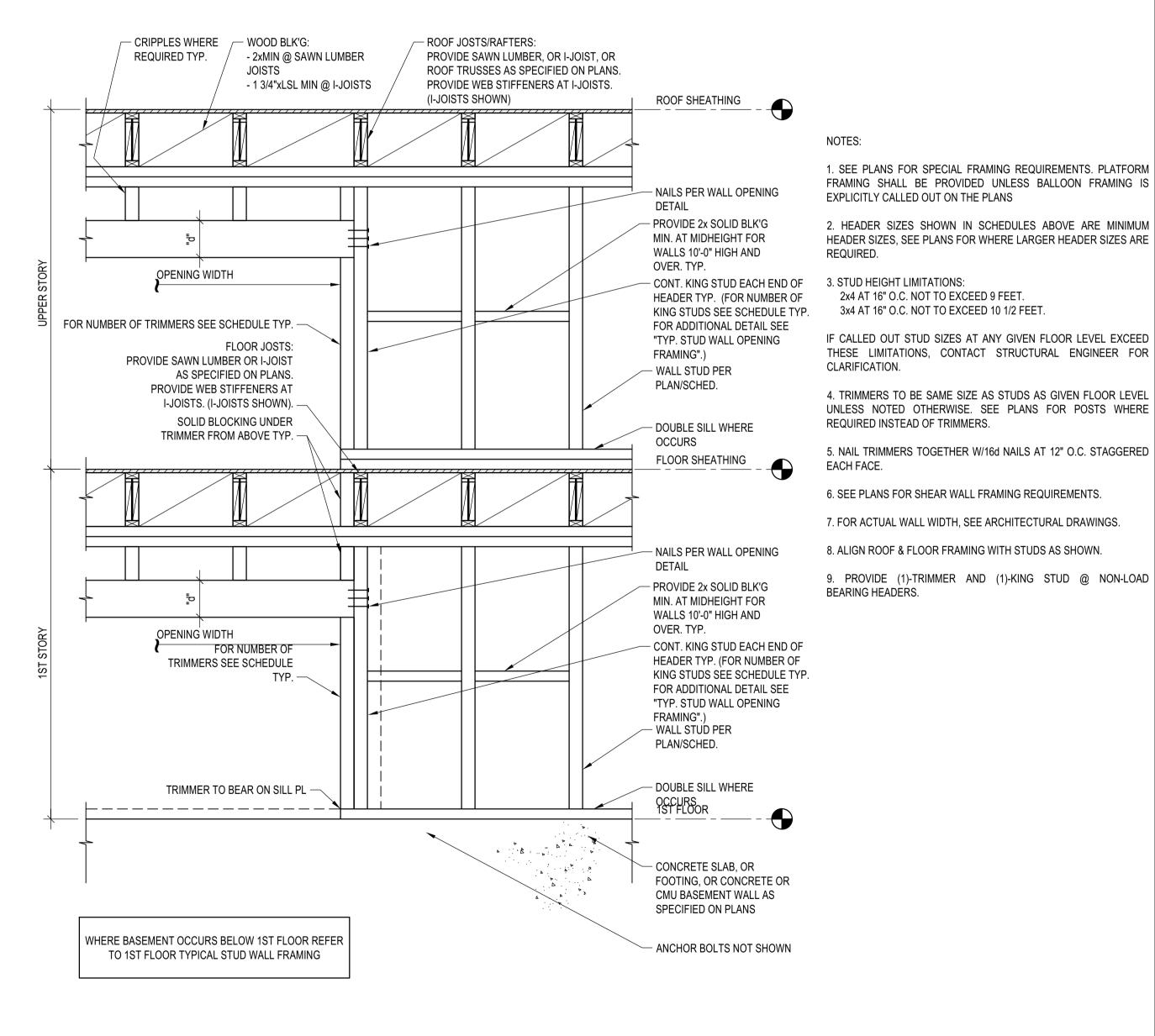
INTERIOR

(6x WALL)

6x6

6x6

6x6



# **BADGER RESIDENCE**

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121 BADGER LANE LLC P.O. BOX 14001-174 KETCHUM, ID 83340

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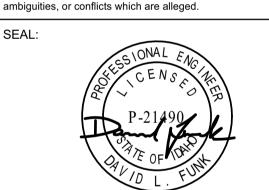
STRUCTURAL ENGINEER:

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PROJECT:

**BADGER RESIDENCE** 

121 BADGER LANE KETCHUM, ID 83340

PROJECT NUMBER

#2201

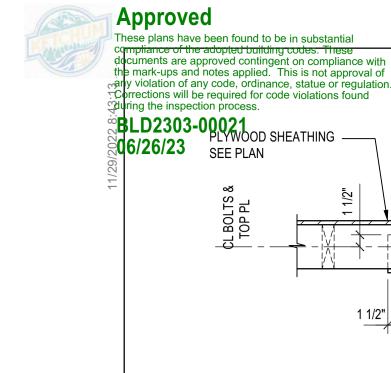
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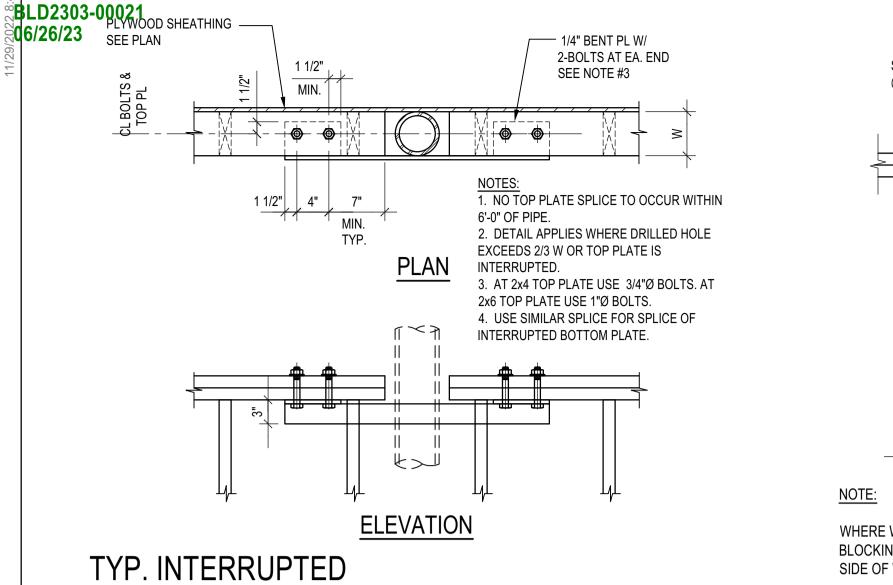
**TYPICAL DETAILS - STEEL** 

DRAWING NUMBER:

S-031

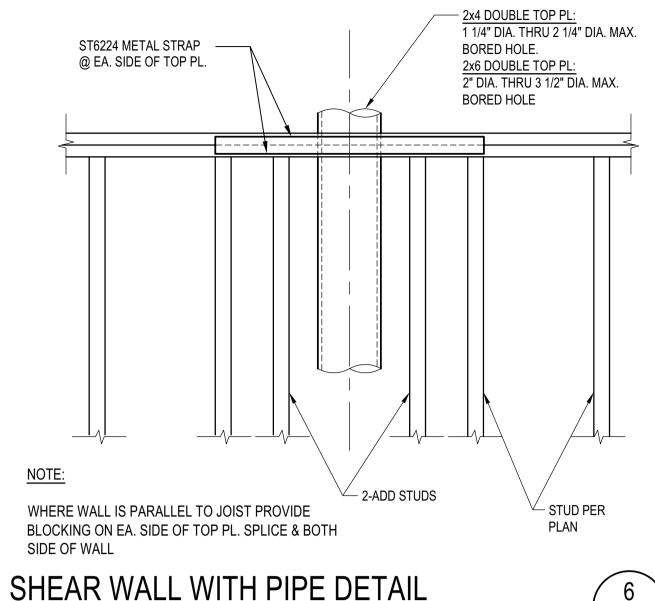
STUD WALL PLATFORM FRAMING ELEVATION

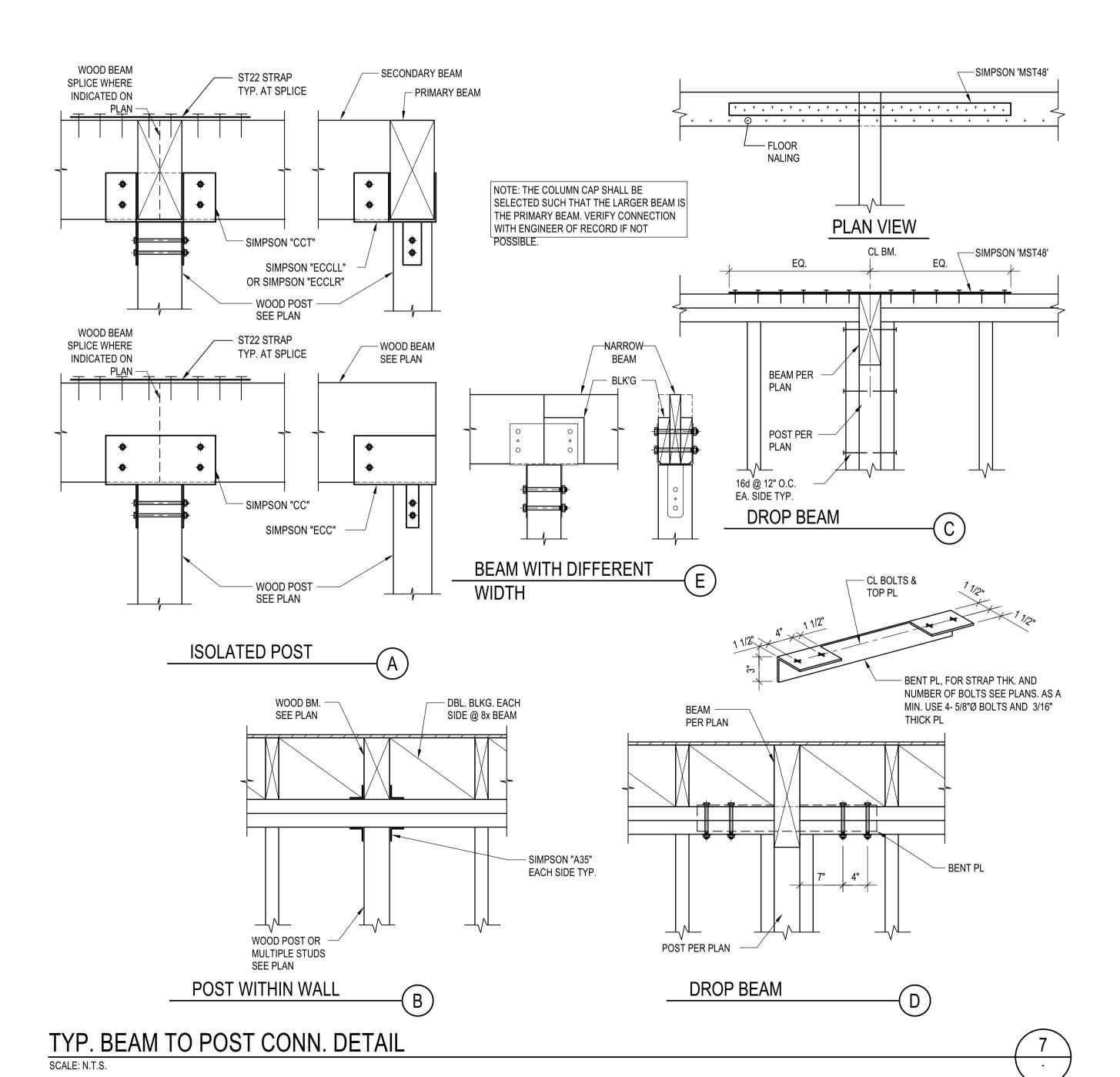




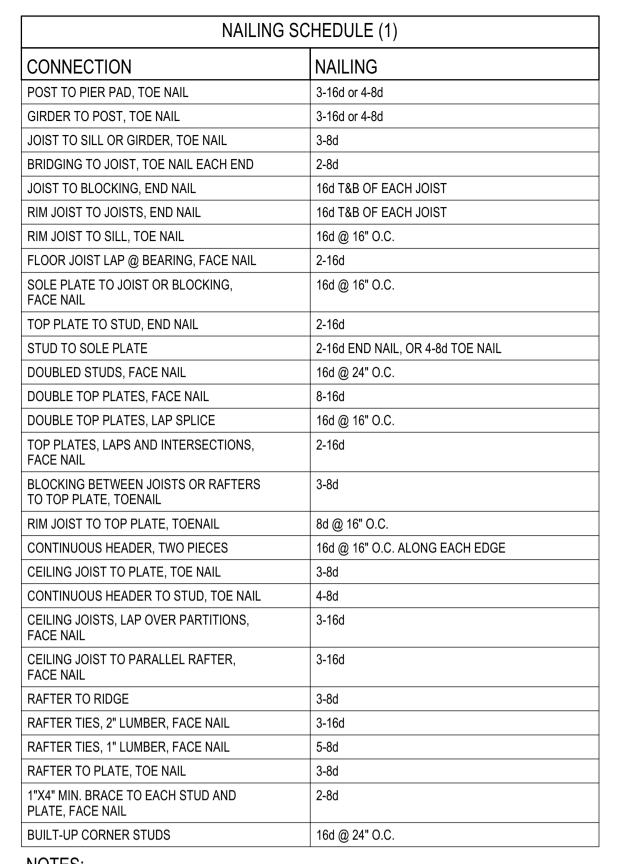
TOP/BOTT. PLATE SPLICE

SCALE: N.T.S.



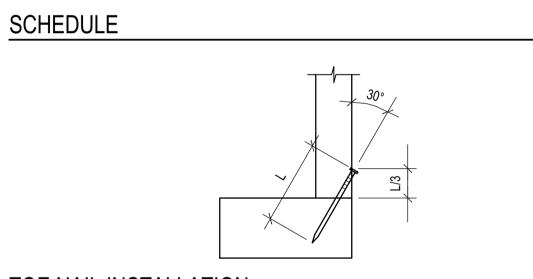


SCALE: N.T.S.



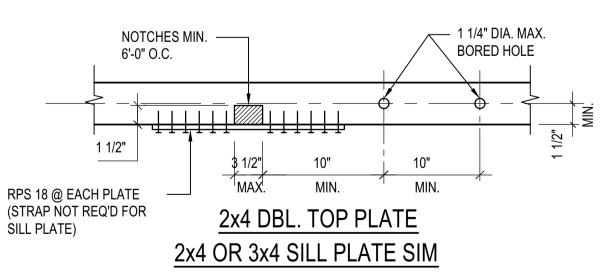
## NOTES:

1. ALTERNATIVELY, PROVIDE NAILING PER "FASTENING SCHEDULE" PER LATEST EDITIONOF CALIFORNIA BUILDING CODE



TOE NAIL INSTALLATION

NAILING SCHEDULE SCALE: N.T.S.



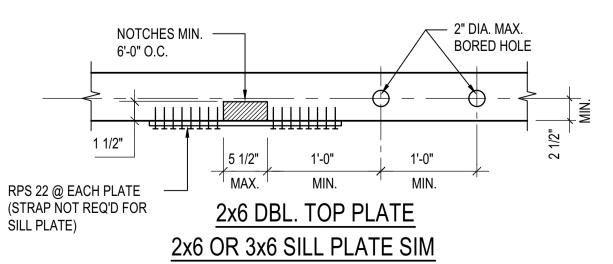
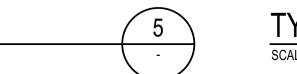
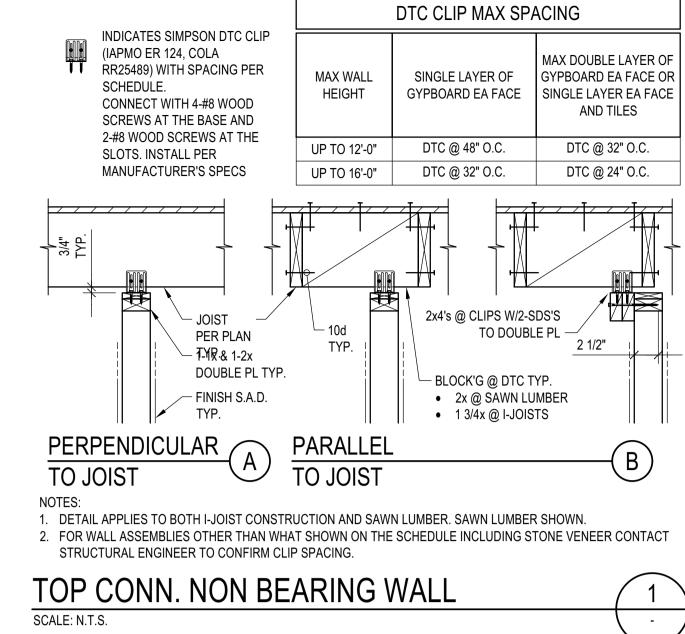
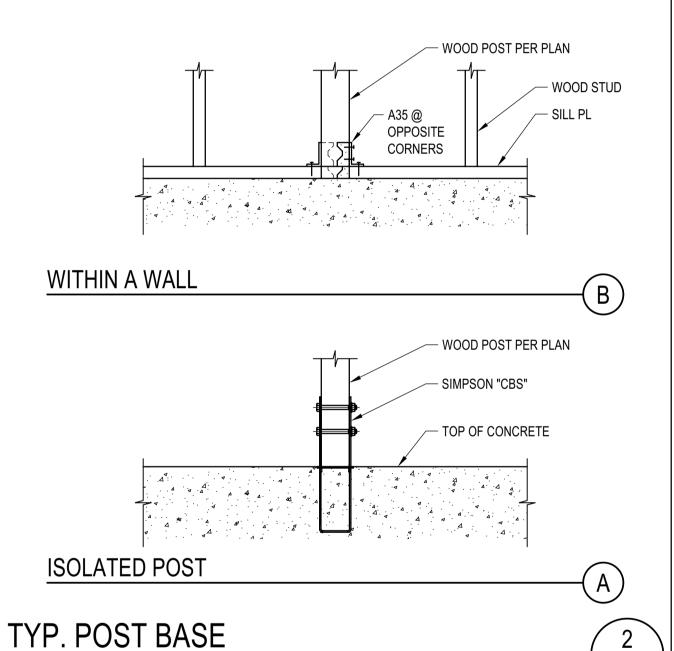
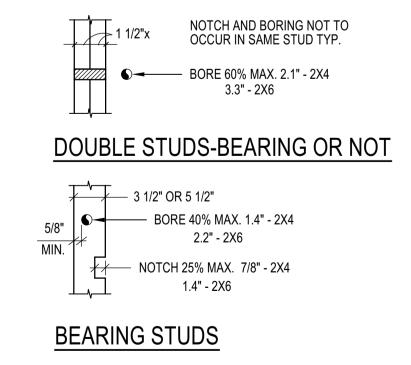


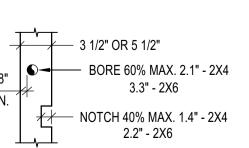
PLATE NOTCHING & BORING SCALE: N.T.S.











**NON-BEARING STUDS** 

TYP. STUD NOTCHING SCALE: N.T.S.

SCALE: N.T.S.

**BADGER RESIDENCE** 

OWNER: 121 BADGER LANE LLC P.O. BOX 14001-174 KETCHUM, ID 83340

> PROJECT ARCHITECT: RO | ROCKETT DESIGN 1031 W. MANCHESTER BLVD, UNIT 6

SURVEYOR & CIVIL ENGINEER:

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GALENA ENGINEERING, INC. 317 NORTH RIVER STREET HAILEY, ID 83333 TEL: 208.788.1705

GEOTECHNICAL ENGINEER: **BUTLER ASSOCIATES, INC.** P.O. BOX 1034 KETCHUM, ID 83340

TEL: 208.720.6432 LANDSCAPE ARCHITECT:

323 LEWIS STREET, SUITE N KETCHUM, ID 83340 TEL: : 208.726.5907

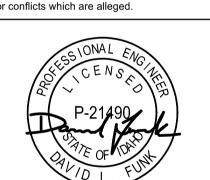
STRUCTURAL ENGINEER:

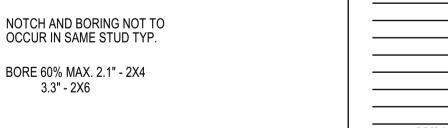
319 MAIN STREET EL SEGUNDO, CA 90245 TEL: 213.239 9700 LFA Job #22791



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02/24/23 PC SUBMITTAL NO DATE PROJECT:

**BADGER RESIDENCE** 

121 BADGER LANE KETCHUM, ID 83340

PROJECT NUMBER

#2201 DRAWING TITLE:

**TYPICAL DETAILS - WOOD** 

DRAWING NUMBER:

These plans have been found to be in substantial compliance of the adopted building codes. Thes documents are approved contingent on compliance with the mark-ups and notes applied. This is not approval of y violation of any code, ordinance, statue or regulation Corrections will be required for code violations found

during the inspection process. BLD2303-0002\$EE NOTE 5. TYP.

2x12 @ 16" O.C. HUCQ610-SDS. TYP. LANDING BEAM (NOTE 6) LANDING BEAM (NOTE 6) 2x12 @ 16" O.C. U.N.O. ON FRAMING PLANS

INTERMEDIATE LANDING

- 1. THIS DETAIL ADDRESSES CONSTRUCTION OF WOOD STAIR WITHIN SHAFT UP TO 5 STORY
- 2. LOCATION OF STAIR IS SHOWN ON FLOOR PLANS. 3. STRINGER CONSTRUCTION SHALL BE PER "TYPICAL STRINGER CONSTRUCTION" AND
- "TYPICAL STRINGER DETAIL" 4. INTERMEDIATE LANDING SHALL BE SHEATHED WITH WOOD STRUCTURAL PANEL, 3/4" CD APA RATED PLYWOOD SHEATHING, EXPOSURE 1, SPAN RATING 48/24, NAILED WITH 10d COMMONS SPACED AT 6" O.C. ALONG ALL BOUNDARIES (B.N.) AND CONTINUOUS ADJOINING PANEL EDGES, AND 6" O.C. ALONG OTHER PANEL EDGES (E.N.) AND 12" O.C. ALONG INTERMEDIATE SUPPORTS (FIELD) (F.N.), PANEL EDGES UNBLOCKED, GLUE WOOD STRUCTURAL PANELS TO JOISTS . SEE "TYPICAL SHEATHING ASSEMBLY" PER TYPICAL DETAILS SHEETS.
- POST SUPPORTING LANDING BEAM TO BE MIN 6x6, OR (4)2x6, OR 6x4 + 2x6 UNLESS OTHERWISE NOTED ON FLOOR
- PLANS, LANDING BEAM SHALL BE 6x10 OR 2-3x12 WOOD WALL PER PLAN

# TWO FLIGHT WOOD STAIR

TOP PLATES

PER PLAN -

**SECTION** 

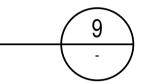
STUDS EA END) W/ 2-12d TOE NAILS T&B TO EA STRINGER

PER FLOOR PLANS

— DIVIDER WALL W/ DOUBLE 2x4 STUDS @ 12" O.C. (DBL

- FLOOR LANDING: CONSTRUCTION

TYP. TOP PLATES SPLICE DETAIL



- SPLICED

**OVER** 

STUDS

DO NOT CONNECT NSI

DIRECTLY TO I-JOIST WEB -

DO NOT FASTEN TO

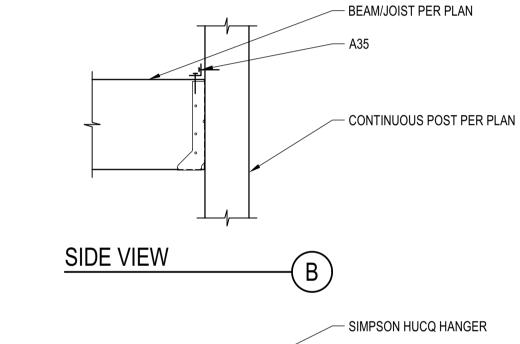
I-JOIST FLANGES

- THIS DETAIL ADDRESSES CONNECTION OF NON STRUCTURAL INFRASTRUCTURES "NSI" TO WOOD FRAMING. NSI INCLUDE, BUT ARE NOT LIMITED TO, SPRINKLERS, LIGHTING, MEP, FF&E, ETC.
- CONNECTION OF NSI TO FRAMING SHALL BE DESIGNED AND SPECIFIED BY NSI SUPPLIER. CONNECTION SHALL INCLUDE FASTENERS TO FRAMING AND ADDITIONAL FRAMING MEMBERS, SUCH AS WEB STIFFENERS, WEB FILLERS, BRACING, AND BLOCKING
- 4. CONNECTION OF NSI SHALL COMPLY WITH LIMITATIONS SET FORTH PER THIS DETAIL AND SHALL NOT IMPAIR OR DAMAGE FRAMING. IN ADDITION, IF NSI IS CONNECTED TO ENGINEERED OR PREFABRICATED ELEMENTS (SUCH AS I-JOISTS, OPEN WEB TRUSSES, ETC.), NSI SUPPLIER SHALL COORDINATE CONNECTION DETAILS DIRECTLY WITH FRAMING MANUFACTURER'S SPECIFICATIONS AND FABRICATOR, AS APPLICABLE
- 5. SUBMIT DETAILS/SHOP DRAWINGS TO SEOR FOR REVIEW OF STRUCTURAL IMPACT ON BUILDING STRUCTURE

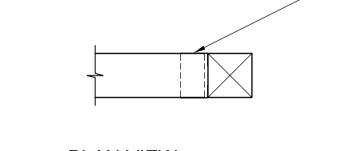
# NON-STRUCT. ELEMENTS TO FRM'G

SCALE: N.T.S.

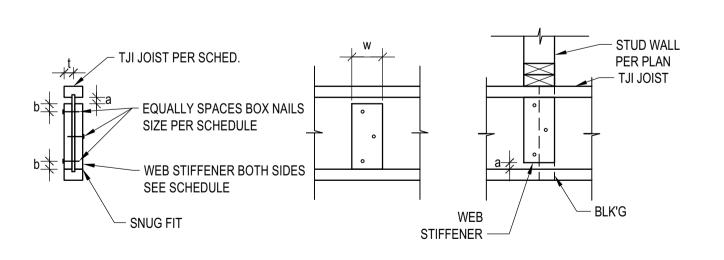
DO NOT APPLY HORIZONTAL FORCE TO UNBRACED



**PLAN VIEW** 



# BM TO POST FACE MOUNT CONN. SCALE: N.T.S.



**ELEVATION** 

4'-0" MIN. LAP

W/ 24-16d EQUALLY

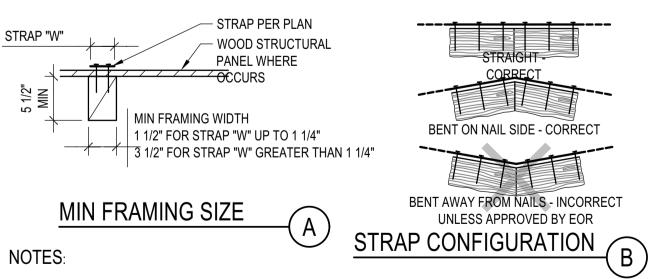
SPACED, STAGGERED

TJI JOIST SERIES	STIFFENER	"a"	"b"	NAILS	W	t
TJI 110	PS1 OR PS2 SHEATHING, FACE GRAIN VERTICAL	1/8" MIN 2 3/4" MAX	1" MAX	3-8d	2 5/16" MIN	5/8" MIN
TJI 210	PS1 OR PS2 SHEATHING, FACE GRAIN VERTICAL	1/8" MIN 2 3/4" MAX	1" MAX	3-8d	2 5/16" MIN	23/32" MIN
TJI 230/TJI 360	PS1 OR PS2 SHEATHING, FACE GRAIN VERTICAL	1/8" MIN 2 3/4" MAX	1" MAX	3-8d	2 5/16" MIN	7/8" MIN
TJI 560	2x4 CONSTRUCTION GRADE OR BETTER	1/8" MIN 2 3/4" MAX	1 1/2" MAX	3-16d	3 1/2" MIN	1 1/2" MIN

ESR#1153

**ELEVATION** 

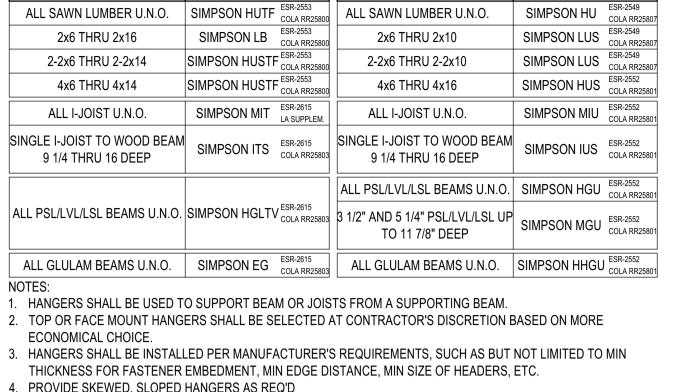
I-JOIST STIFFENER SCALE: N.T.S.



- 1. THIS DETAIL ADDRESSES INSTALLATION OF STRAPS AND APPLIES TO BOTH SAWN AND STRUCTURAL COMPOSITE LUMBER
- 2. STRAPS SIZE AND LENGTH ARE AS SPECIFIED ON FLOOR PLANS OR ELSEWHERE IN THIS DRAWING SET.
- 3. STRAPS ARE PER SIMPSON STRONGTIE (MANUFACTURER). ESR2105, COLARR#25713, COLARR#25910
- 4. STRAPS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS. INSTALL ALL FASTENERS SPECIFIED BY MANUFACTURER. WHEN MULTIPLE OPTIONAL FASTENERS ARE SPECIFIED BY MANUFACTURER, PROVIDE LARGEST FASTENER, OR PROVIDE "END LENGTH" CONSISTENT WITH FASTENER UTILIZED
- 5. COILED STRAPS SHALL DEVELOP AS A MINIMUM "END LENGTH" AS SPECIFIED BY MANUFACTURER. LONGER STRAPS SHALL BE SPECIFIED WHEN SPECIFIED ON FLOOR PLANS OR ELSEWHERE IN THIS DRAWING SET.
- 6. FASTENERS SHALL ALWAYS BE DRIVEN INTO SOLID LUMBER WITH MIN SIZES PER INSET DETAIL "A". PROVIDE ADDITIONAL FRAMING OR BLOCKING AS NEEDED IF NOT SPECIFIED ON PLANS. FASTENERS THRU WOOD STRUCTURAL PANELS ONLY SHALL NOT BE PERMITTED.

# STRAP INSTALLATION

SCALE: N.T.S.



HANGER SCHEDULE - MANUFACTURER: SIMPSON STRONGTIE

FACE MOUNT HANGER (SEE NOTE 1)

HANGER TYPE

JOIST/BEAM SIZE

1. HANGERS SHALL BE USED TO SUPPORT BEAM OR JOISTS FROM A SUPPORTING BEAM.

- 4. PROVIDE SKEWED, SLOPED HANGERS AS REQ'D
- 5. PROVIDE OFFSET OR CONCEALED FLANGE HANGERS AT EDGE CONDITIONS AS NEEDED

HANGER SCHEDULE AND NOTES

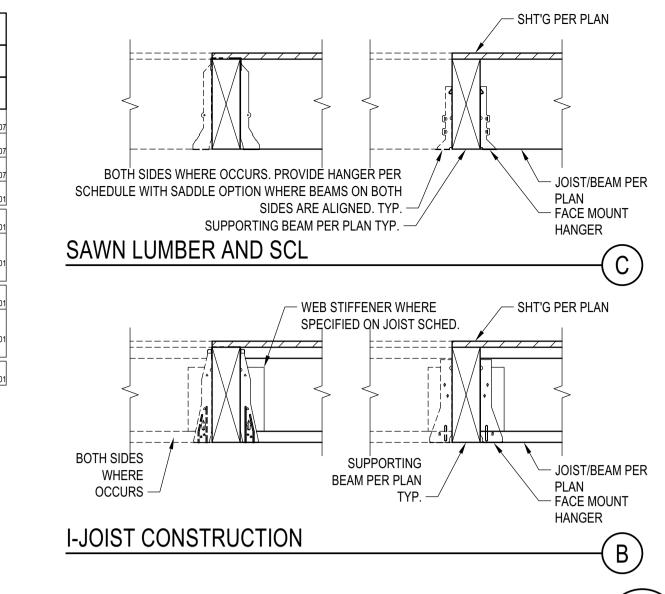
TOP MOUNT HANGER (SEE NOTE 1)

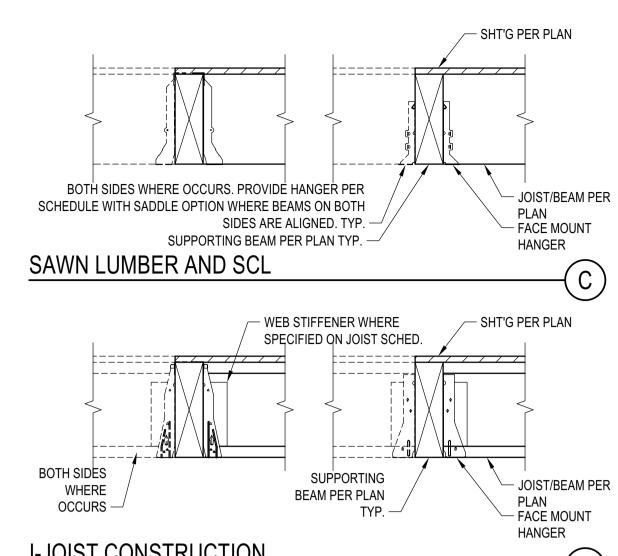
JOIST/BEAM SIZE

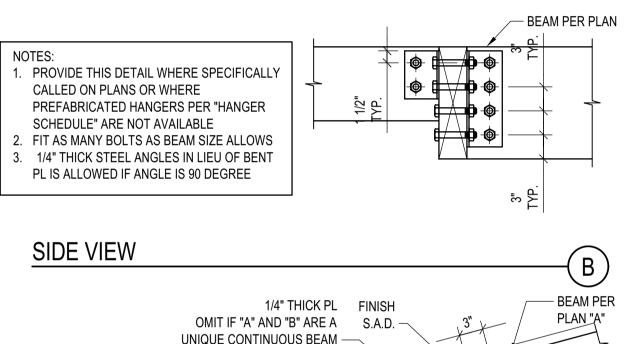
HANGER TYPE

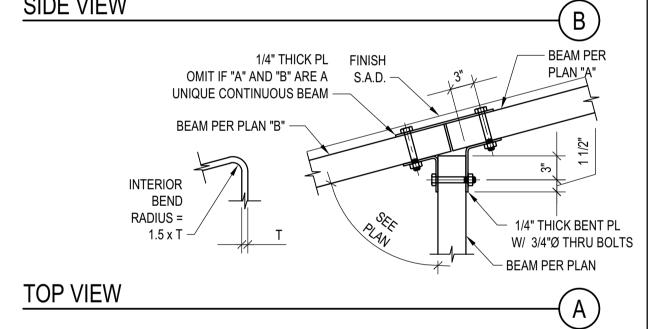
# JOIST AND BEAM HANGER SCHEDULE

SCALE: N.T.S.

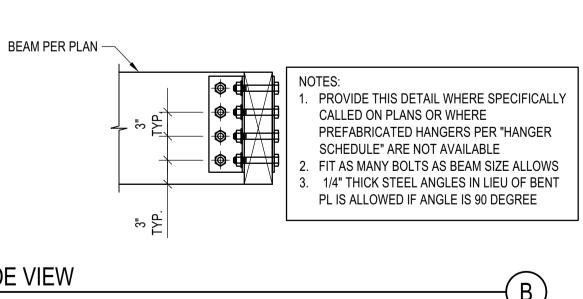


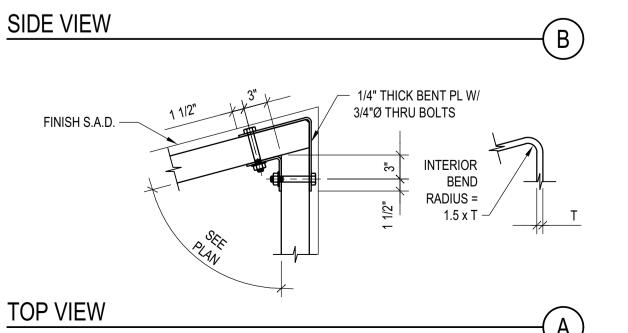






**CUSTOM WD BEAM "T" CONNECTION** SCALE: N.T.S.





**CUSTOM WD BEAM "L" CONNECTION** SCALE: N.T.S.

NO DATE PROJECT: **BADGER RESIDENCE** 121 BADGER LANE KETCHUM, ID 83340

PROJECT NUMBER #2201

DRAWING TITLE:

02/24/23

**TYPICAL DETAILS - WOOD** 

PC SUBMITTAL

**BADGER RESIDENCE** 

OWNER:

121 BADGER LANE LLC

P.O. BOX 14001-174

KETCHUM, ID 83340

PROJECT ARCHITECT:

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SURVEYOR & CIVIL ENGINEER:

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317 NORTH RIVER STREET

GEOTECHNICAL ENGINEER:

**BUTLER ASSOCIATES, INC.** 

LANDSCAPE ARCHITECT:

STRUCTURAL ENGINEER:

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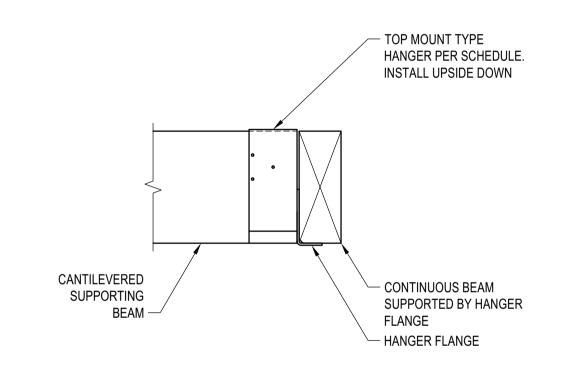
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the Architect and shall neither be used on any other work nor

323 LEWIS STREET, SUITE N

DRAWING NUMBER:

S-033



INSTALL HANGER UPSIDE DOWN. ALL OTHER REQUIREMENTS PER MANUFACTURER'S SPECIFICATIONS

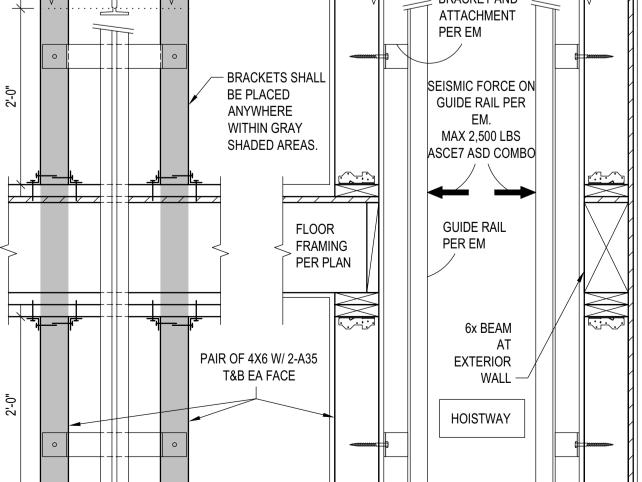
PROVIDE INVERTED HANGER WHERE INDICATED ON FRAMING PLANS

**INVERTED HANGER** 

SHALL BE MET

SCALE: N.T.S.

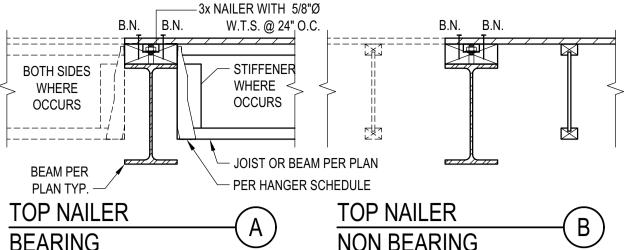
SCALE: N.T.S.



**ELEVATOR VERTICAL SUPPORT** 



**BLD2303-00021** 06/26/23



**BEARING NON BEARING** NOTES: WELD TOP FLANGES PER MANUFACTURER'S 1. DETAILS APPLIES TO BOTH I-JOIST AND SAWN LUMBER. I-JOIST SHOWN. PLAN 2. PROVIDE TOP OR SIDE NAILER AS SPECIFIED ON

3. BLK'G, UNBLK'D, HI LOAD DIAPHRAGM ARE SPECIFIED ON PLANS 4. SEE "LEDGER/NAILER ANCHOR LAYOUT" FOR ANCHOR LAYOUT

SPECIFIED, PROVIDE SIDE NAILER.

- BEAM PER THE PLANS OR CUSTOM DETAILS. IF NOT **BEAM** 

**BEARING** 

**BEARING** NON BEARING SIDE NAILER - BEARING ASSEMBLY ASSEMBLY | II. | ASSEMBLY | III. 12'-0" 3x | 1 | 3/4 | 12 | | 3x | 2 | 3/4 | 1 3x 2 3/4 16 3x 3 3/4 16 | 5/8 | 12 | | 3x | 2 | 3/4 | 12 | | 3x | 2 | 3/4 | 8 3x | 2 | 5/8 | 16 | | 3x | 3 | 3/4 | 16 | | 3x | 3 | 3/4 | 8

- SIDE NAILER PER

SIDE NAILER

ASSEMBLIES:

SCHEDULE

DO NOT HANG BEAM FROM

SIDE NAILER

SEE NOTE 2

BEARING

MAX JOIST

P.T. LEDGER AND

SCHEDULE -

ANCHOR BOLTS PER

NAILER. WELD HANGER PER "E"

SIDE NAILER - NOT BEARING DIAPHRAGM TYPE SIDE NAILER BLK'D/UNBLK'D<sup>(3)</sup> 2x 1 5/8 24 DEPTH TO MATCH STEEL BEAN DEPTH, BUT NEEDS NOT || 3x | 1 | 3/4 | 12 || EXCEED 8" NOMINAL

3x | 2 | 5/8 | 16 | | 3x | 2 | 3/4 | 8 | | 3x | 3 | 3/4 | 8

ELEVATOR GUIDE RAIL & JOIST PER PLAN -CONNECTION TO PL BY OTHERS SHEATHING PER PLAN -3/8" THICK PL AS REQ'D BY ELEV MANUF. W/ (4) – 1/2 % x 3" LAG SCREWS MIN. (PL TO MATCH FRAMING DEPTH - 1" MIN.) 2-2x RIMBOARD OR 2-1 3/4"x LSL PAIR OF SIMPSON MTS20 (LARR #25718) ON EITHER RIMBOARD, OR BEAM PER SIDE OF GUIDE RAIL @ EA. JOIST & BLK'G. WRAP BLOCKING AROUND RIM BOARD, T&B (8-MTS FOR EACH POINT OF CONNECTION OF GUIDE RAIL TO WOOD FRAMING) STUD WALL PER PLAN SECTION NOTE: FLOOR JOISTS SHOWN JOIST PER PLAN RECEIVING THIS DETAIL ARE TJI. FOR PAIR OF MTS20 W/ 10d PER SAWN LUMBER, DETAIL IS MANUF. SIMILAR 1 3/4"x LSL BLK'G RECEIVING PAIR OF - ELEVATOR GUIDE RAIL & BLK'G MTS20W/ 10d PER MANUF. CONNECTION TO PL BY **FILLER** OTHERS **PLAN VIEW** 

OF GUIDE RAIL TO WOOD FRAMING SEE A/- FOR BALANCE OF INFO JOIST PER PLAN -LINE OF BLK'G ON EITHER SIDE OF GUIDE RAIL PAIR OF SIMPSON MTS20 (LARR #25718) @ BLK'G WRAP AROUND RIM BOARD, T&B (4-MTS FOR EACH POINT OF CONNECTION OF GUIDE RAIL TO WOOD FRAMING) SECTION STRAPS NOT SHOWN FOR CLARITY SEE A/- FOR BALANCE 1 3/4"x LSL BLK'G RECEIVING PAIR OF MTS20 W/ 10d PER MANUF. PLAN VIEW JOISTS PARALLEL TO WAL

SIMPSON CS16 STRAP (LARR #25713)

x 4'-0" W/ MIN. (5) 10d NAILS T&B

INTO FIRST BLOCK @ BLK'G (4 STRAPS

FOR EACH POINT OF CONNECTION

**ELEVATOR SIDE** 

DBL. RIM JOIST OR

BEAM PER PLAN

ELEVATOR GUIDE RAIL SUPPORT DETAIL

SCALE: N.T.S.

JOISTS PERPENDICULAR TO WALL

FILLER @ STRAPS

(@ I-JOISTS ONLY)

SIDE NAILER PER

(MATCH SIDE NAILER

SCHEDULE

+/-)

NON OCCUPIED ROOFS WITH MAX 1"

NON OCCUPIED ROOFS WITH MORE

NON OCCUPIED GARDEN ROOF

SINGLE FAMILY FLOORS AND DECKS

SCHEDULE LEGEND | 3x | 2 | 3/4 | 12

GRAVEL AND WITHOUT GARDEN ROOF

THAN 1" AND UP TO 3" GRAVEL

THIS ASSEMBLY INCLUDES

ASSEMBLIES UP TO 6"

SIDE NAILER -

ROWS OF FASTENERS -

FASTENER DIAMETER -

FASTENER SPACING -

CONCRETE OR

CMU WALL PER

3x P.T. LEDGER WITH 5/8"

ANCHOR BOLTS @ 24" O.C. —

**ASSEMBLIES:** 

NON OCCUPIED ROOFS WITH MAX 1"

GRAVEL AND WITHOUT GARDEN ROOF

NON-BEARING

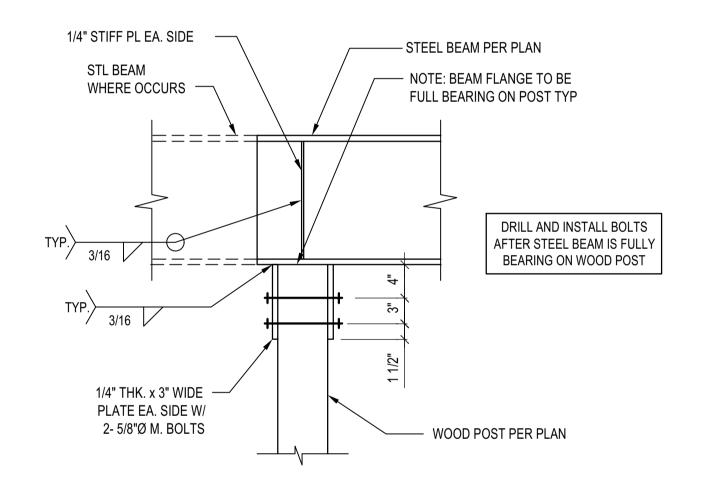
PLAN

III. ALL CASES NOT COVERED IN I. OR II.

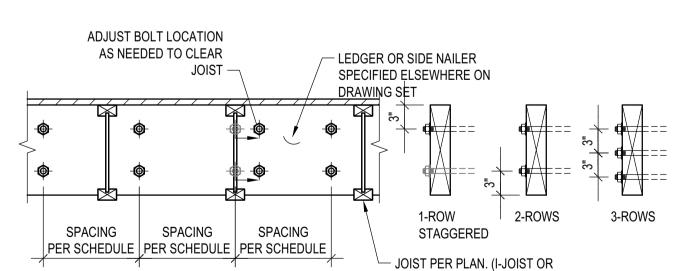
- WOOD FILLER

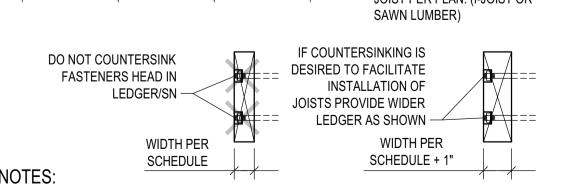
# STEEL BEAM IN WOOD FRAMING

SCALE: N.T.S.



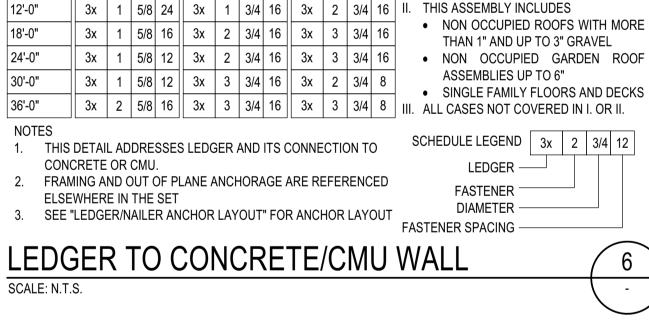
# STL BEAM TO ISOLATED WOOD POST CONNECTION





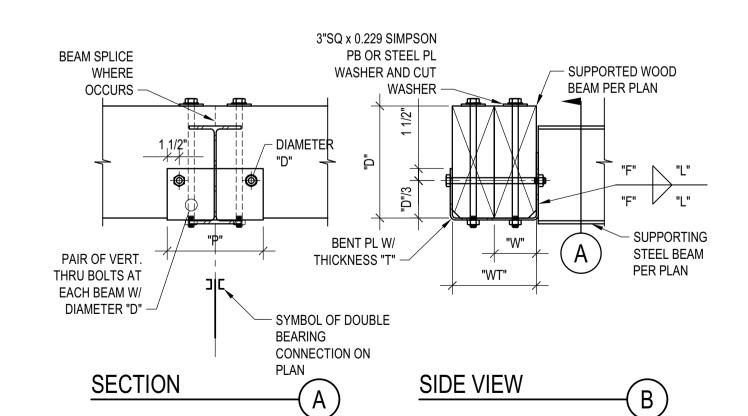
- 1. THIS DETAIL ADDRESSES LAYOUT OF ANCHOR BOLTS AND WELDED THREADED STUDS IN LEDGER AND SIDE NAILERS RESPECTIVELY, SIZE AND SPACING OF A.B. AND W.T.S. ARE PER SCHEDULES.
- 2. COORDINATE JOISTS LOCATION WITH FASTENER NUT. DO NOT COUNTERSINK LEDGER/SIDE NAILER. ALTERNATIVELY, PROVIDE 1" WIDER LEDGER/SIDE NAILER THAT WHAT SPECIFIED ON SCHEDULE AND PROVIDE
- 3. LEDGER DEPTH SHALL BE GREATER THAN JOIST DEPTH AND DEPTH NEEDED TO INSTALL FASTENERS.

LEDGER/NAILER ANCHOR LAYOUT SCALE: N.T.S.



BEARING LEDGER SCHEDULE

ASSEMBLY I. ASSEMBLY II. ASSEMBLY III.



SCALE: N.T.S.

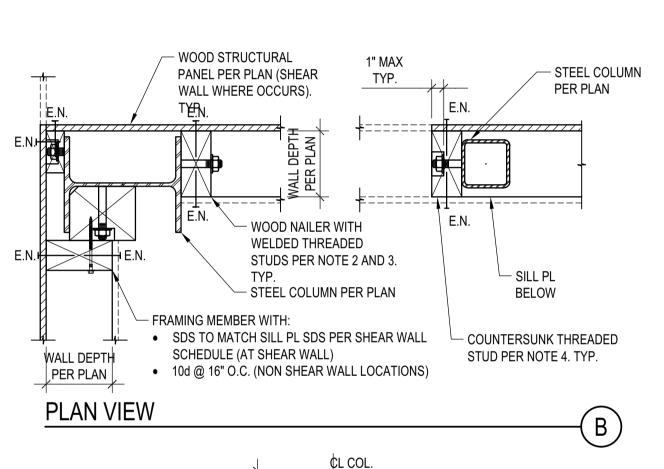
AND "W" COINCIDE.

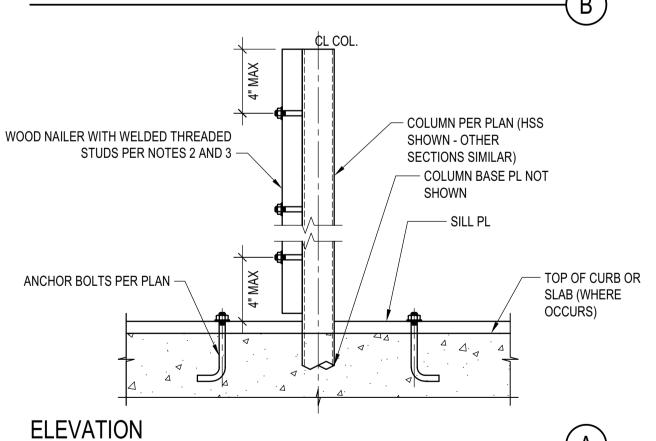
1. THIS DETAIL APPLIES WHERE SPECIFIED ON PLANS 2. THE DETAIL APPLIES TO SINGLE OR COMPOSITE BEAMS. WHERE SINGLE BEAMS ARE SPECIFIED, "WT"

	SC	HEDI	ULE (	INCH	IES)	
WT	T	F	L	Р	W	D
NT≤7	1/4	3/16	5	12	W≤3 1/2	1/2
WT≤14	3/8	1/4	7	14	3 1/2 <w≤5 1="" 2<="" td=""><td>5/8</td></w≤5>	5/8
√T>14	1/2	3/8	9	16	W>5 1/2	3/4

# DOUBLE BEARING CONNECTION

SCALE: N.T.S.





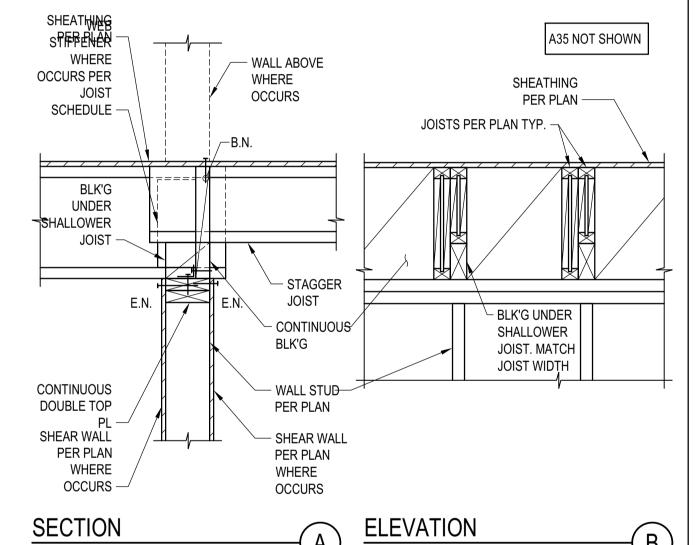
# NOTES:

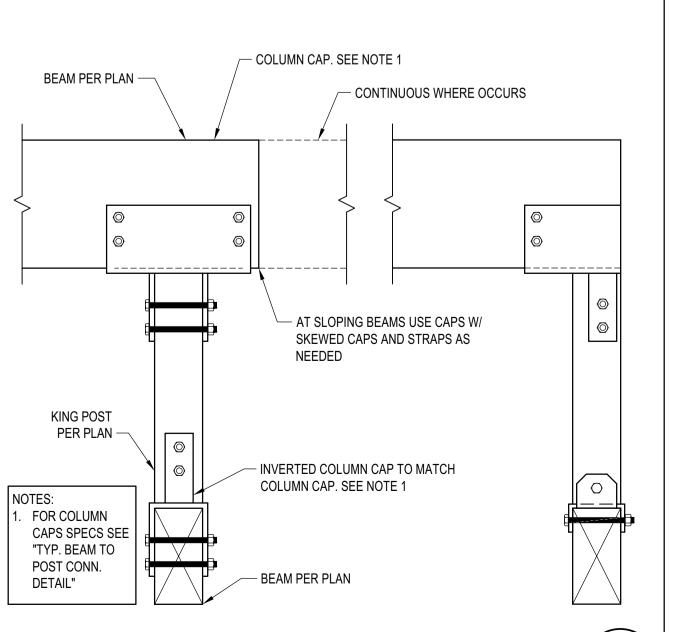
- 1. STEEL COLUMN SECTIONS: WIDE FLANGE AND HSS COLUMN SECTIONS ARE SHOWN. SIMILAR REQUIREMENTS FOR WOOD NAILERS SHALL APPLY FOR OTHER TYPES OF STEEL SECTIONS.
- 2. LOCATION OF WOOD NAILERS: PROVIDE WOOD NAILERS AT ALL LOCATIONS WHERE STEEL COLUMN OCCURS WITHIN SHEAR WALLS. FOR LOCATIONS OTHER THAN SHEAR WALLS PROVIDE WOOD NAILERS AS NEEDED FOR PROPER INSTALLATION OF FINISH MATERIALS.
- . WOOD NAILERS SIZE AND CONNECTION: WOOD NAILERS SHALL BE CONNECTED WITH 5/8"Ø WELDED THREADED ANCHORS TO THE STEEL SECTIONS. SPACING AND NOMINAL THICKNESS OF WOOD NAILERS SHALL A. PER SHEAR WALL SCHEDULE WHERE WOOD NAILERS ARE CONNECTED TO A SHEAR WALL STRUCTURAL
- B. 2x MIN WOOD NAILER WITH THREADED ANCHORS @ 24" O.C. WHERE WOOD NAILERS DO NOT OCCUR
- 4. COUNTERSINKING OF WELDED THREADED STUD NUT IN WOOD NAILERS SHALL BE PERMITTED AS FOLLOWS: A. AT NAILERS CONNECTED TO SHEAR WALL STRUCTURAL PANELS COUNTERSINK ONLY IF NAILER IS 3x OR

B. AT NAILERS NEEDED ONLY FOR INSTALLATION OF FINISH MATERIAL COUNTERSINKING SHALL BE ALLOWED

# STEEL COLUMN IN STUD WALL

AS NEEDED FOR PROPER INSTALLATION OF FINISH MATERIAL





TYP. KING POST DETAIL

JOIST WITH DIFFERENT DEPTH

# **BADGER RESIDENCE**

OWNER: 121 BADGER LANE LLC P.O. BOX 14001-174

**ELEVATOR SIDE** 

KETCHUM, ID 83340

PROJECT ARCHITECT:

TEL: 213.784.0014

**RO | ROCKETT DESIGN** 1031 W. MANCHESTER BLVD, UNIT 6 INGLEWOOD, CA 90301

SURVEYOR & CIVIL ENGINEER:

GALENA ENGINEERING, INC. 317 NORTH RIVER STREET HAILEY, ID 83333 TEL: 208.788.1705

GEOTECHNICAL ENGINEER: **BUTLER ASSOCIATES, INC.** 

P.O. BOX 1034 KETCHUM, ID 83340

TEL: 208.720.6432

LANDSCAPE ARCHITECT:

323 LEWIS STREET, SUITE N

TEL: : 208.726.5907 STRUCTURAL ENGINEER:

319 MAIN STREET EL SEGUNDO, CA 90245 TEL: 213.239 9700

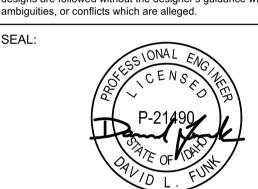
KETCHUM, ID 83340



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without written permission



02/24/23 PC SUBMITTAL NO DATE

PROJECT: **BADGER RESIDENCE** 

**121 BADGER LANE** KETCHUM, ID 83340

PROJECT NUMBER

DRAWING TITLE:

**TYPICAL DETAILS - WOOD** 

DRAWING NUMBER:



06/26/23

any violation of any code, ordinance, statue or regulation Corrections will be required for code violations found during the inspection process. **BLD2303-00021** 3x NAILER WITH 5/8"Ø B.N. B.N. W.T.S. @ 24",O.C B.N. B.N.  $\overline{m}$ **BOTH SIDES**  STIFFENER WHERE WHERE **OCCURS** OCCURS \_\_\_\_\_ JOIST OR BEAM PER PLAN **BEAM PER** PER HANGER SCHEDULE PLAN TYP. -

> **BEARING NON BEARING** NOTES: WELD TOP FLANGES PER MANUFACTURER'S 1. DETAILS APPLIES TO BOTH I-JOIST AND SAWN LUMBER. I-JOIST SHOWN. 2. PROVIDE TOP OR SIDE NAILER AS SPECIFIED ON THE PLANS OR CUSTOM DETAILS. IF NOT

3. BLK'G, UNBLK'D, HI LOAD DIAPHRAGM ARE SPECIFIED ON PLANS 4. SEE "LEDGER/NAILER ANCHOR LAYOUT" FOR ANCHOR LAYOUT

STEEL BEAM IN WOOD FRAMING

SPECIFIED, PROVIDE SIDE NAILER.

SCALE: N.T.S.

TOP NAILER

- BEAM PER PLAN **BEAM BEARING** 

TOP NAILER

SIDE NAILER PER DO NOT HANG BEAM FROM SCHEDULE - WOOD FILLER NAILER. WELD HANGER PER "E" - SIDE NAILER PER (MATCH SIDE NAILER SCHEDULE SIDE NAILER SIDE NAILER +/-) **BEARING** NON BEARING ASSEMBLIES:

NON OCCUPIED ROOFS WITH MAX 1"

NON OCCUPIED ROOFS WITH MORE

NON OCCUPIED GARDEN ROOF

SINGLE FAMILY FLOORS AND DECKS

SCHEDULE LEGEND | 3x | 2 | 3/4 | 12

GRAVEL AND WITHOUT GARDEN ROOF

THAN 1" AND UP TO 3" GRAVEL

THIS ASSEMBLY INCLUDES

ASSEMBLIES UP TO 6"

SIDE NAILER -

SIDE NAILER - BEARING ASSEMBLY ASSEMBLY | II. | ASSEMBLY | III. 12'-0" 3x | 1 | 3/4 | 12 | | 3x | 2 | 3/4 | 1 3x 2 3/4 16 3x 3 3/4 16 | 5/8 | 12 | | 3x | 2 | 3/4 | 12 | | 3x | 2 | 3/4 | 8 3x | 2 | 5/8 | 16 | | 3x | 3 | 3/4 | 16 | | 3x | 3 | 3/4 | 8 III. ALL CASES NOT COVERED IN I. OR II. 3x | 2 | 5/8 | 16 | | 3x | 2 | 3/4 | 8 | | 3x | 3 | 3/4 | 8

SIDE NAILER - NOT BEARING DIAPHRAGM TYPE SIDE NAILER ROWS OF FASTENERS -BLK'D/UNBLK'D<sup>(3)</sup> 2x 1 5/8 24 DEPTH TO MATCH STEEL BEAN FASTENER DIAMETER -DEPTH, BUT NEEDS NOT | 3x | 1 | 3/4 | 12 | EXCEED 8" NOMINAL FASTENER SPACING -

CONNECTION TO PL BY OTHERS SHEATHING PER PLAN -3/8" THICK PL AS REQ'D BY ELEV MANUF. W/ (4) – 1/2 % x 3" LAG SCREWS MIN. (PL TO MATCH FRAMING DEPTH - 1" MIN.) 2-2x RIMBOARD OR 2-1 3/4"x LSL PAIR OF SIMPSON MTS20 (LARR #25718) ON EITHER RIMBOÁRD, OR BEAM PER SIDE OF GUIDE RAIL @ EA. JOIST & BLK'G. WRAP BLOCKING AROUND RIM BOARD, T&B (8-MTS FOR EACH POINT OF CONNECTION OF GUIDE RAIL TO WOOD FRAMING) STUD WALL PER PLAN SECTION NOTE: FLOOR JOISTS SHOWN JOIST PER PLAN RECEIVING THIS DETAIL ARE TJI. FOR PAIR OF MTS20 W/ 10d PER SAWN LUMBER, DETAIL IS MANUF. SIMILAR 1 3/4"x LSL BLK'G RECEIVING PAIR OF - ELEVATOR GUIDE RAIL & BLK'G MTS20W/ 10d PER MANUF. CONNECTION TO PL BY **FILLER** OTHERS **PLAN VIEW** DBL. RIM JOIST OR

FILLER @ STRAPS

(@ I-JOISTS ONLY)

JOIST PER PLAN -

ELEVATOR GUIDE RAIL SUPPORT DETAIL

JOISTS PERPENDICULAR TO WALL

SCALE: N.T.S.

SIMPSON CS16 STRAP (LARR #25713) **ELEVATOR SIDE ELEVATOR SIDE** x 4'-0" W/ MIN. (5) 10d NAILS T&B INTO FIRST BLOCK @ BLK'G (4 STRAPS ELEVATOR GUIDE RAIL & FOR EACH POINT OF CONNECTION OF GUIDE RAIL TO WOOD FRAMING SEE A/- FOR BALANCE OF INFO JOIST PER PLAN -LINE OF BLK'G ON EITHER SIDE OF GUIDE RAIL PAIR OF SIMPSON MTS20 (LARR #25718) @ BLK'G WRAP AROUND RIM BOARD, T&B (4-MTS FOR EACH POINT OF CONNECTION OF GUIDE RAIL TO WOOD FRAMING) SECTION STRAPS NOT SHOWN FOR CLARITY SEE A/- FOR BALANCE 1 3/4"x LSL BLK'G RECEIVING PAIR OF MTS20 W/ 10d PER MANUF.

PLAN VIEW

BEAM PER PLAN

**BUTLER ASSOCIATES, INC.** P.O. BOX 1034 KETCHUM, ID 83340 TEL: 208.720.6432 LANDSCAPE ARCHITECT: 323 LEWIS STREET, SUITE N KETCHUM, ID 83340 TEL: : 208.726.5907 JOISTS PARALLEL TO WAL STRUCTURAL ENGINEER:

LFA Job #22791

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designs are followed without the designer's guidance with

ambiguities, or conflicts which are alleged.

be disclosed to any other person for any use whatsoever

319 MAIN STREET EL SEGUNDO, CA 90245

TEL: 213.239 9700

**BADGER RESIDENCE** 

OWNER:

121 BADGER LANE LLC

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KETCHUM, ID 83340

PROJECT ARCHITECT:

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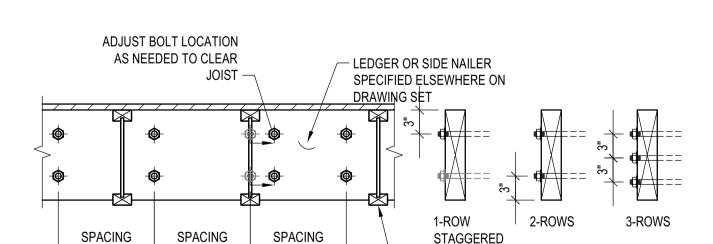
317 NORTH RIVER STREET

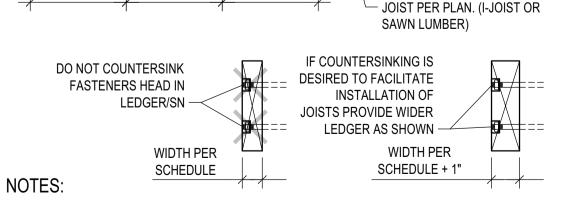
GEOTECHNICAL ENGINEER:

1/4" STIFF PL EA. SIDE - STEEL BEAM PER PLAN STL BEAM NOTE: BEAM FLANGE TO BE WHERE OCCURS -**FULL BEARING ON POST TYP** DRILL AND INSTALL BOLTS AFTER STEEL BEAM IS FULLY BEARING ON WOOD POST 1/4" THK. x 3" WIDE PLATE EA. SIDE W/ 2- 5/8"Ø M. BOLTS WOOD POST PER PLAN

# STL BEAM TO ISOLATED WOOD POST CONNECTION

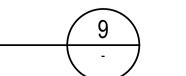
PER SCHEDULE | PER SCHEDULE | PER SCHEDULE |

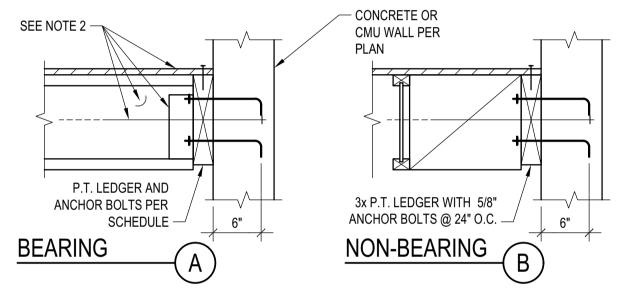




- 1. THIS DETAIL ADDRESSES LAYOUT OF ANCHOR BOLTS AND WELDED THREADED STUDS IN LEDGER AND SIDE NAILERS RESPECTIVELY. SIZE AND SPACING OF A.B. AND W.T.S. ARE PER SCHEDULES.
- 2. COORDINATE JOISTS LOCATION WITH FASTENER NUT. DO NOT COUNTERSINK LEDGER/SIDE NAILER. ALTERNATIVELY, PROVIDE 1" WIDER LEDGER/SIDE NAILER THAT WHAT SPECIFIED ON SCHEDULE AND PROVIDE
- 3. LEDGER DEPTH SHALL BE GREATER THAN JOIST DEPTH AND DEPTH NEEDED TO INSTALL FASTENERS.

# LEDGER/NAILER ANCHOR LAYOUT SCALE: N.T.S.



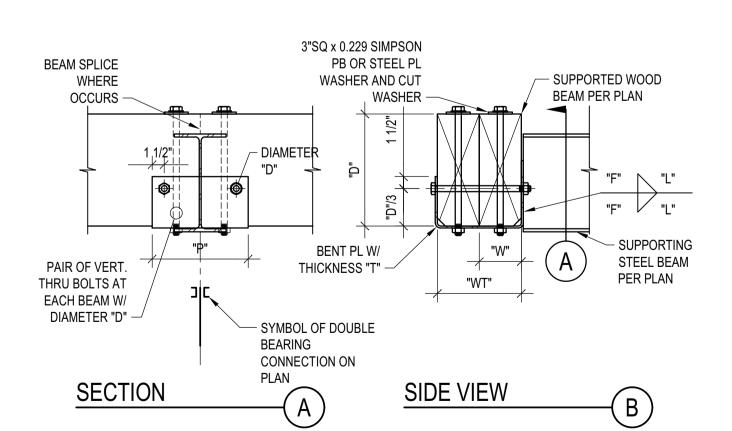


MAX JOIST			E	BEAR	ING LE	DGI	ER S	CHE	DULE				ASSEMBLIES:
SPAN	ASS	ЕМВ	BLY	l.	ASS	ЕМЕ	LY	II.	ASS	ЕМЕ	BLY	III.	I. NON OCCUPIED ROOFS WITH MAX 1" GRAVEL AND WITHOUT GARDEN ROOF
12'-0"	3x	1	5/8	24	3x	1	3/4	16	3x	2	3/4	16	II. THIS ASSEMBLY INCLUDES
18'-0"	3x	1	5/8	16	3x	2	3/4	16	3x	3	3/4	16	NON OCCUPIED ROOFS WITH MORE     THAN 1" AND UP TO 3" GRAVEL
24'-0"	3x	1	5/8	12	3x	2	3/4	16	3x	3	3/4	16	NON OCCUPIED GARDEN ROOF
30'-0"	3x	1	5/8	12	3x	3	3/4	16	3x	2	3/4	8	ASSEMBLIES UP TO 6"  • SINGLE FAMILY FLOORS AND DECKS
36'-0"	3x	2	5/8	16	3x	3	3/4	16	3x	3	3/4	8	III ALL CASES NOT COVEDED IN LOD II

 NON OCCUPIED ROOFS WITH MORE THAN 1" AND UP TO 3" GRAVEL NON OCCUPIED GARDEN ROOF ASSEMBLIES UP TO 6" SINGLE FAMILY FLOORS AND DECKS \_\_| 3x | 2 | 5/8 | 16 || 3X | 3 | 3/4 | 16 || 3X | 3 | 3/4 | 8 | III. ALL CASES NOT COVERED IN I. OR II.

1. THIS DETAIL ADDRESSES LEDGER AND ITS CONNECTION TO FRAMING AND OUT OF PLANE ANCHORAGE ARE REFERENCED **FASTENER** ELSEWHERE IN THE SET DIAMETER

SEE "LEDGER/NAILER ANCHOR LAYOUT" FOR ANCHOR LAYOUT **FASTENER SPACING** LEDGER TO CONCRETE/CMU WALI SCALE: N.T.S.



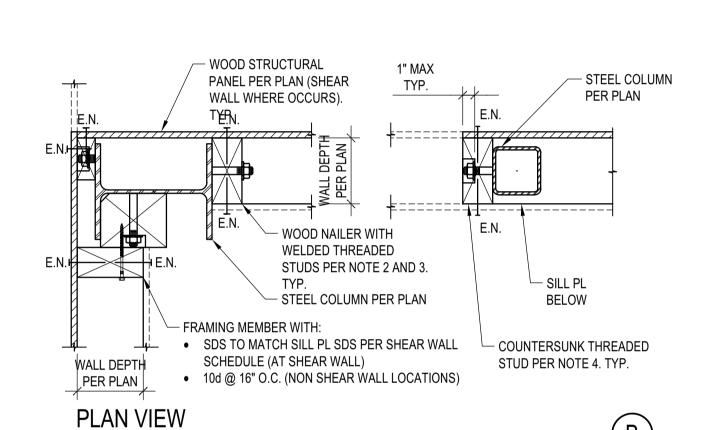
SCALE: N.T.S.

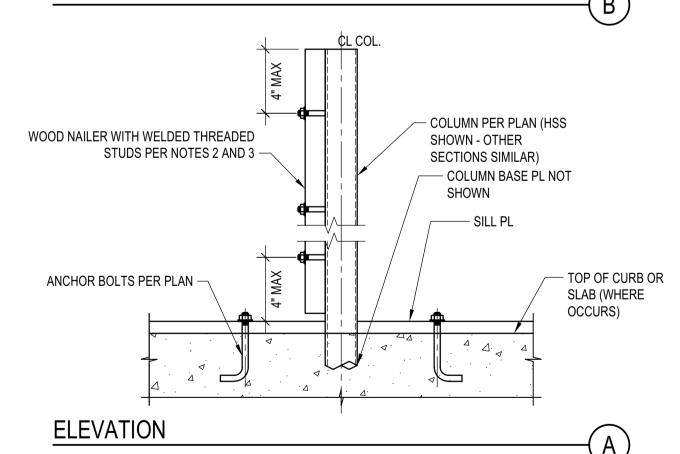
AND "W" COINCIDE.

1. THIS DETAIL APPLIES WHERE SPECIFIED ON PLANS 2. THE DETAIL APPLIES TO SINGLE OR COMPOSITE BEAMS. WHERE SINGLE BEAMS ARE SPECIFIED, "WT"

SCHEDULE (INCHES)										
ΝT	T	F	L	Р	W	D				
VT≤7	1/4	3/16	5	12	W≤3 1/2	1/2				
NT≤14	3/8	1/4	7	14	3 1/2 <w≤5 1="" 2<="" td=""><td>5/8</td></w≤5>	5/8				
T>14	1/2	3/8	9	16	W>5 1/2	3/4				

# DOUBLE BEARING CONNECTION





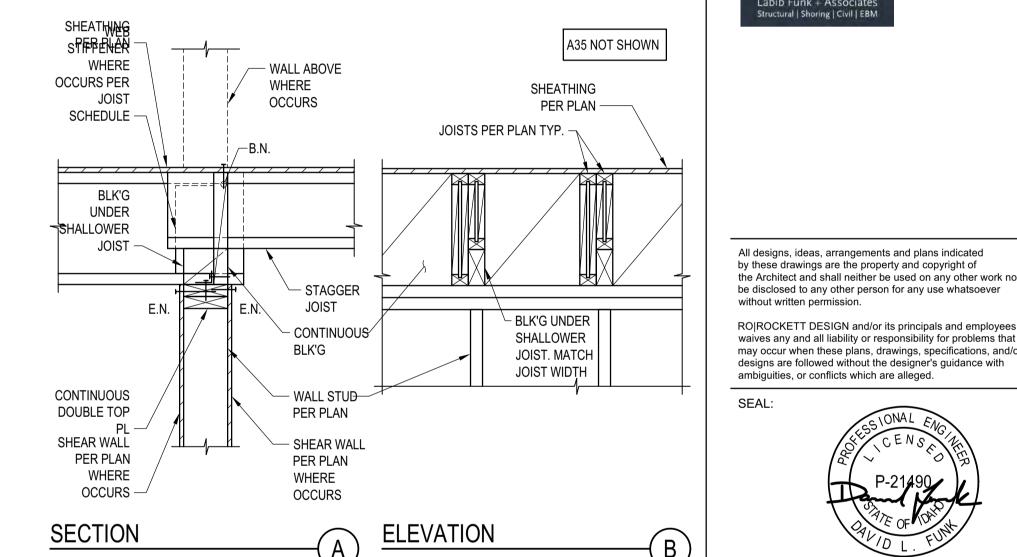
# NOTES:

SCALE: N.T.S.

- 1. STEEL COLUMN SECTIONS: WIDE FLANGE AND HSS COLUMN SECTIONS ARE SHOWN. SIMILAR REQUIREMENTS FOR WOOD NAILERS SHALL APPLY FOR OTHER TYPES OF STEEL SECTIONS.
- 2. LOCATION OF WOOD NAILERS: PROVIDE WOOD NAILERS AT ALL LOCATIONS WHERE STEEL COLUMN OCCURS WITHIN SHEAR WALLS. FOR LOCATIONS OTHER THAN SHEAR WALLS PROVIDE WOOD NAILERS AS NEEDED FOR PROPER INSTALLATION OF FINISH MATERIALS.
- . WOOD NAILERS SIZE AND CONNECTION: WOOD NAILERS SHALL BE CONNECTED WITH 5/8"Ø WELDED THREADED ANCHORS TO THE STEEL SECTIONS. SPACING AND NOMINAL THICKNESS OF WOOD NAILERS SHALL A. PER SHEAR WALL SCHEDULE WHERE WOOD NAILERS ARE CONNECTED TO A SHEAR WALL STRUCTURAL
- B. 2x MIN WOOD NAILER WITH THREADED ANCHORS @ 24" O.C. WHERE WOOD NAILERS DO NOT OCCUR
- 4. COUNTERSINKING OF WELDED THREADED STUD NUT IN WOOD NAILERS SHALL BE PERMITTED AS FOLLOWS: A. AT NAILERS CONNECTED TO SHEAR WALL STRUCTURAL PANELS COUNTERSINK ONLY IF NAILER IS 3x OR B. AT NAILERS NEEDED ONLY FOR INSTALLATION OF FINISH MATERIAL COUNTERSINKING SHALL BE ALLOWED

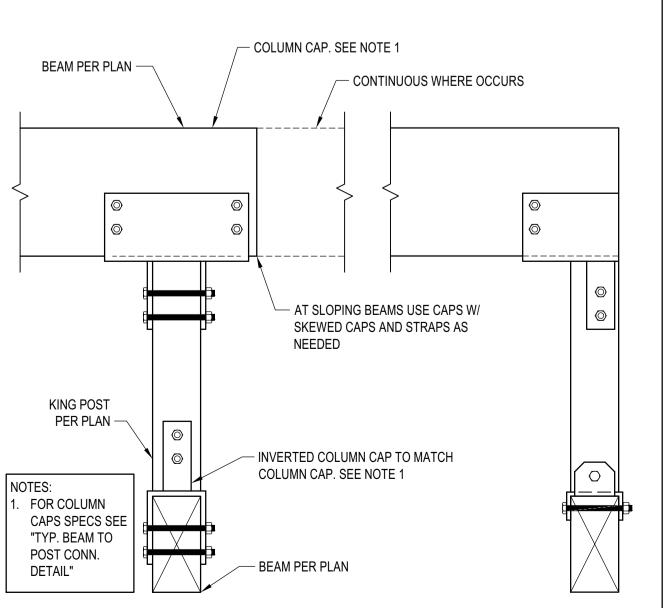
STEEL COLUMN IN STUD WALL

AS NEEDED FOR PROPER INSTALLATION OF FINISH MATERIAL



JOIST WITH DIFFERENT DEPTH

TYP. KING POST DETAIL



02/24/23 NO DATE PROJECT: **BADGER RESIDENCE 121 BADGER LANE** KETCHUM, ID 83340 PROJECT NUMBER

DRAWING TITLE:

DRAWING NUMBER: S-035

**TYPICAL DETAILS - WOOD** 



06/26/23

documents are approved contingent on compliance with the mark-ups and notes applied. This is not approval of any violation of any code, ordinance, statue or regulation Corrections will be required for code violations found during the inspection process. **BLD2303-00021** 

3x NAILER WITH 5/8"Ø B.N. B.N. W.T.S. @ 24",O.C B.N. B.N.  $\overline{m}$ **BOTH SIDES**  STIFFENER WHERE WHERE **OCCURS** OCCURS \_\_\_\_\_ JOIST OR BEAM PER PLAN **BEAM PER** PER HANGER SCHEDULE PLAN TYP. -TOP NAILER TOP NAILER

**BEARING NON BEARING** NOTES: WELD TOP FLANGES PER MANUFACTURER'S 1. DETAILS APPLIES TO BOTH I-JOIST AND SAWN - BEAM PER LUMBER. I-JOIST SHOWN. PLAN 2. PROVIDE TOP OR SIDE NAILER AS SPECIFIED ON THE PLANS OR CUSTOM DETAILS. IF NOT SPECIFIED, PROVIDE SIDE NAILER. 3. BLK'G, UNBLK'D, HI LOAD DIAPHRAGM ARE SPECIFIED ON PLANS 4. SEE "LEDGER/NAILER ANCHOR LAYOUT" FOR

**BEAM BEARING** 

SIDE NAILER PER DO NOT HANG BEAM FROM SCHEDULE - WOOD FILLER NAILER. WELD HANGER PER "E" - SIDE NAILER PER (MATCH SIDE NAILER SCHEDULE SIDE NAILER SIDE NAILER +/-) **BEARING** NON BEARING

ASSEMBLIES: SIDE NAILER - BEARING ASSEMBLY ASSEMBLY | II. | ASSEMBLY | III. 12'-0" 3x | 1 | 3/4 | 12 | | 3x | 2 | 3/4 | 1 3x 2 3/4 16 3x 3 3/4 16 | 5/8 | 12 | | 3x | 2 | 3/4 | 12 | | 3x | 2 | 3/4 | 8 30'-0" 3x | 2 | 5/8 | 16 | | 3x | 3 | 3/4 | 16 | | 3x | 3 | 3/4 | 8 III. ALL CASES NOT COVERED IN I. OR II. 3x | 2 | 5/8 | 16 | | 3x | 2 | 3/4 | 8 | | 3x | 3 | 3/4 | 8

DIAPHRAGM TYPE

SCHEDULE LEGEND | 3x | 2 | 3/4 | 12 SIDE NAILER - NOT BEARING SIDE NAILER -SIDE NAILER ROWS OF FASTENERS -BLK'D/UNBLK'D<sup>(3)</sup> 2x 1 5/8 24 DEPTH TO MATCH STEEL BEAN FASTENER DIAMETER -DEPTH, BUT NEEDS NOT | 3x | 1 | 3/4 | 12 | EXCEED 8" NOMINAL FASTENER SPACING -

RIMBOÁRD, OR BEAM PER SIDE OF GUIDE RAIL @ EA. JOIST & BLK'G. WRAP BLOCKING AROUND RIM BOARD, T&B (8-MTS FOR EACH POINT OF CONNECTION OF GUIDE RAIL TO WOOD FRAMING) STUD WALL PER PLAN SECTION JOIST PER PLAN RECEIVING THIS DETAIL ARE TJI. FOR PAIR OF MTS20 W/ 10d PER SAWN LUMBER, DETAIL IS MANUF. SIMILAR 1 3/4"x LSL BLK'G RECEIVING PAIR OF - ELEVATOR GUIDE RAIL & BLK'G MTS20W/ 10d PER MANUF. **FILLER** OTHERS **PLAN VIEW** DBL. RIM JOIST OR BEAM PER PLAN

ELEVATOR GUIDE RAIL SUPPORT DETAIL

JOISTS PERPENDICULAR TO WALL

FILLER @ STRAPS

(@ I-JOISTS ONLY)

JOIST PER PLAN -

PAIR OF SIMPSON MTS20 (LARR #25718) ON EITHER

SHEATHING PER PLAN -

SCALE: N.T.S.

OF GUIDE RAIL TO WOOD FRAMING) SECTION STRAPS NOT NOTE: FLOOR JOISTS SHOWN SHOWN FOR CLARITY 1 3/4"x LSL BLK'G RECEIVING PAIR OF MTS20 W/ 10d PER MANUF. CONNECTION TO PL BY PLAN VIEW JOISTS PARALLEL TO WAL

SIMPSON CS16 STRAP (LARR #25713)

x 4'-0" W/ MIN. (5) 10d NAILS T&B

INTO FIRST BLOCK @ BLK'G (4 STRAPS

JOIST PER PLAN -

EITHER SIDE OF

GUIDE RAIL

LINE OF BLK'G ON

FOR EACH POINT OF CONNECTION

OF GUIDE RAIL TO WOOD FRAMING

PAIR OF SIMPSON MTS20 (LARR #25718)

@ BLK'G WRAP AROUND RIM BOARD, T&B

(4-MTS FOR EACH POINT OF CONNECTION

**ELEVATOR SIDE** 

CONNECTION TO PL BY OTHERS

3/8" THICK PL AS REQ'D BY

ELEV MANUF. W/ (4) – 1/2 % x

3" LAG SCREWS MIN. (PL TO

MATCH FRAMING DEPTH - 1"

MIN.) 2-2x RIMBOARD OR

2-1 3/4"x LSL

ELEVATOR GUIDE RAIL &

NON OCCUPIED ROOFS WITH MAX 1"

NON OCCUPIED ROOFS WITH MORE

NON OCCUPIED GARDEN ROOF

SINGLE FAMILY FLOORS AND DECKS

NON OCCUPIED ROOFS WITH MAX 1"

NON OCCUPIED ROOFS WITH MORE

NON OCCUPIED GARDEN ROOF

SINGLE FAMILY FLOORS AND DECKS

GRAVEL AND WITHOUT GARDEN ROOF

THAN 1" AND UP TO 3" GRAVEL

THIS ASSEMBLY INCLUDES

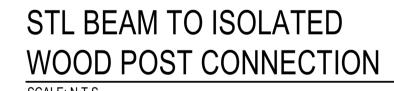
ASSEMBLIES UP TO 6"

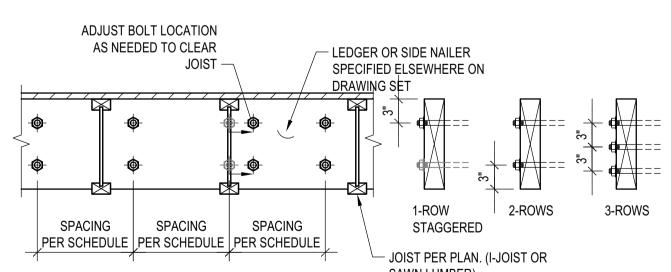
# STEEL BEAM IN WOOD FRAMING

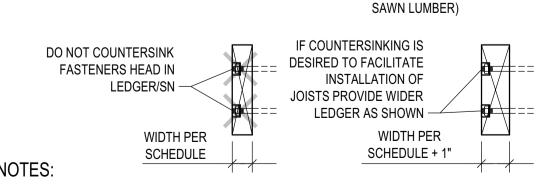
SCALE: N.T.S.

ANCHOR LAYOUT

# 1/4" STIFF PL EA. SIDE - STEEL BEAM PER PLAN STL BEAM NOTE: BEAM FLANGE TO BE WHERE OCCURS -**FULL BEARING ON POST TYP** DRILL AND INSTALL BOLTS AFTER STEEL BEAM IS FULLY BEARING ON WOOD POST 1/4" THK. x 3" WIDE PLATE EA. SIDE W/ 2- 5/8"Ø M. BOLTS WOOD POST PER PLAN

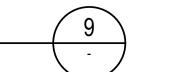


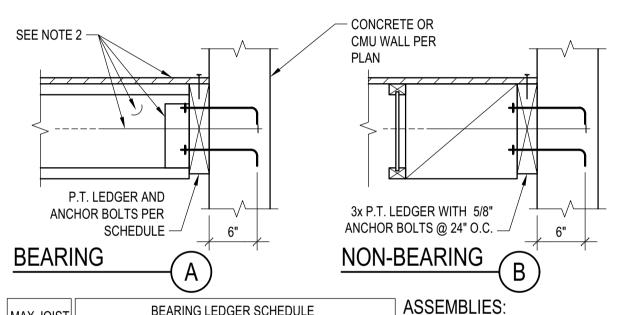




- 1. THIS DETAIL ADDRESSES LAYOUT OF ANCHOR BOLTS AND WELDED THREADED STUDS IN LEDGER AND SIDE NAILERS RESPECTIVELY. SIZE AND SPACING OF A.B. AND W.T.S. ARE PER SCHEDULES.
- 2. COORDINATE JOISTS LOCATION WITH FASTENER NUT. DO NOT COUNTERSINK LEDGER/SIDE NAILER. ALTERNATIVELY, PROVIDE 1" WIDER LEDGER/SIDE NAILER THAT WHAT SPECIFIED ON SCHEDULE AND PROVIDE
- 3. LEDGER DEPTH SHALL BE GREATER THAN JOIST DEPTH AND DEPTH NEEDED TO INSTALL FASTENERS.

# LEDGER/NAILER ANCHOR LAYOUT SCALE: N.T.S.





MAX JOIST			E	BEAR	ING LE	EDGE	ER S	CHE	DULE				ASSEMBLIES:
SPAN	ASS	EMB	LY	l.	ASS	EMB	BLY	II.	ASS	EME	LY	III.	I. NON OCCUPIED ROOFS WITH MAX GRAVEL AND WITHOUT GARDEN ROOF
12'-0"	3x	1	5/8	24	3x	1	3/4	16	3x	2	3/4	16	II. THIS ASSEMBLY INCLUDES
18'-0"	3x	1	5/8	16	3x	2	3/4	16	3x	3	3/4	16	NON OCCUPIED ROOFS WITH MOFT THAN 1" AND UP TO 3" GRAVEL
24'-0"	3x	1	5/8	12	3x	2	3/4	16	3x	3	3/4	16	NON OCCUPIED GARDEN ROO
30'-0"	3x	1	5/8	12	3x	3	3/4	16	3x	2	3/4	8	ASSEMBLIES UP TO 6"  • SINGLE FAMILY FLOORS AND DECK
36'-0"	3x	2	5/8	16	3x	3	3/4	16	3x	3	3/4	8	III. ALL CASES NOT COVERED IN I. OR II.

- 1. THIS DETAIL ADDRESSES LEDGER AND ITS CONNECTION TO
- FRAMING AND OUT OF PLANE ANCHORAGE ARE REFERENCED **FASTENER** ELSEWHERE IN THE SET DIAMETER SEE "LEDGER/NAILER ANCHOR LAYOUT" FOR ANCHOR LAYOUT

**FASTENER SPACING** LEDGER TO CONCRETE/CMU WALI

3"SQ x 0.229 SIMPSON PB OR STEEL PI BEAM SPLICE WASHER AND CUT WHERE - SUPPORTED WOOD BEAM PER PLAN - SUPPORTING BENT PL W/ STEEL BEAM PAIR OF VERT THICKNESS "T PER PLAN THRU BOLTS AT EACH BEAM W/ DIAMETER "D" -SYMBOL OF DOUBLE BEARING

SIDE VIEW

CONNECTION ON

SCALE: N.T.S.

**SECTION** 

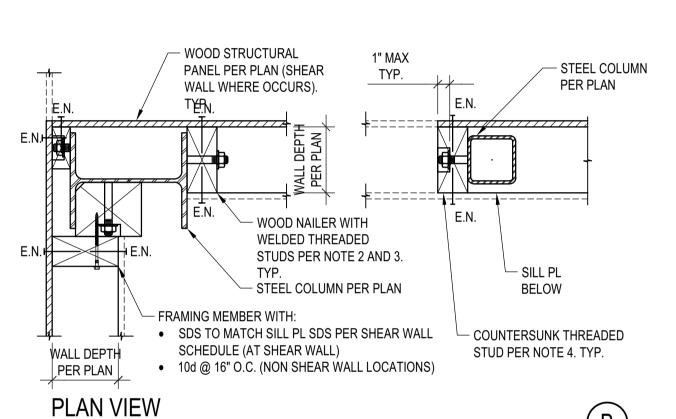
AND "W" COINCIDE.

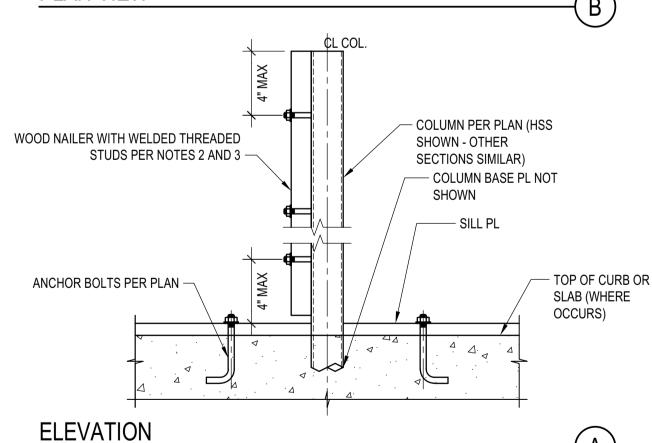
SCALE: N.T.S.

1. THIS DETAIL APPLIES WHERE SPECIFIED ON PLANS 2. THE DETAIL APPLIES TO SINGLE OR COMPOSITE BEAMS. WHERE SINGLE BEAMS ARE SPECIFIED, "WT"

	SC	HED	ULE (	INCH	IES)										
WT	WT T F L P W D														
WT≤7	1/4	3/16	5	12	W≤3 1/2	1/2									
:WT≤14	3/8	1/4	7	14	3 1/2 <w≤5 1="" 2<="" td=""><td>5/8</td></w≤5>	5/8									
VT>14 1/2 3/8 9 16 W>5 1/2 3/4															

# DOUBLE BEARING CONNECTION

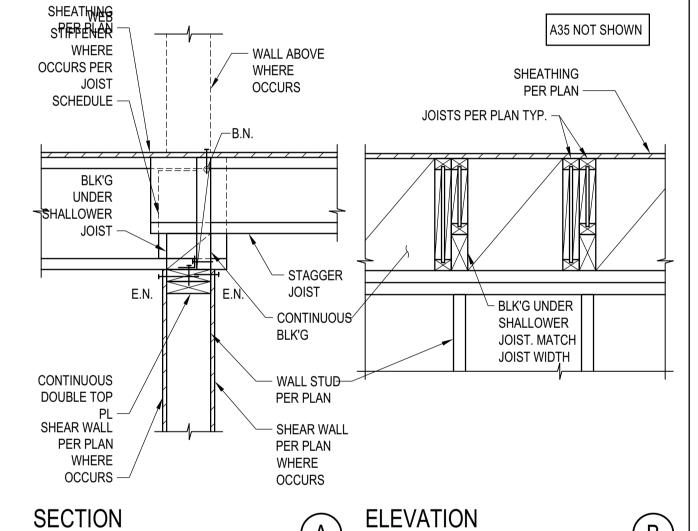




# NOTES:

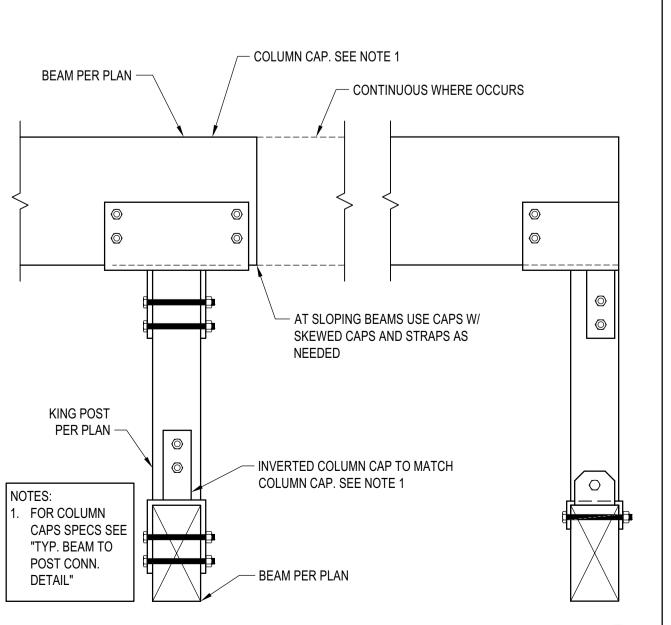
- 1. STEEL COLUMN SECTIONS: WIDE FLANGE AND HSS COLUMN SECTIONS ARE SHOWN. SIMILAR REQUIREMENTS FOR WOOD NAILERS SHALL APPLY FOR OTHER TYPES OF STEEL SECTIONS.
- 2. LOCATION OF WOOD NAILERS: PROVIDE WOOD NAILERS AT ALL LOCATIONS WHERE STEEL COLUMN OCCURS WITHIN SHEAR WALLS. FOR LOCATIONS OTHER THAN SHEAR WALLS PROVIDE WOOD NAILERS AS NEEDED FOR PROPER INSTALLATION OF FINISH MATERIALS.
- . WOOD NAILERS SIZE AND CONNECTION: WOOD NAILERS SHALL BE CONNECTED WITH 5/8"Ø WELDED THREADED ANCHORS TO THE STEEL SECTIONS. SPACING AND NOMINAL THICKNESS OF WOOD NAILERS SHALL A. PER SHEAR WALL SCHEDULE WHERE WOOD NAILERS ARE CONNECTED TO A SHEAR WALL STRUCTURAL
- B. 2x MIN WOOD NAILER WITH THREADED ANCHORS @ 24" O.C. WHERE WOOD NAILERS DO NOT OCCUR
- 4. COUNTERSINKING OF WELDED THREADED STUD NUT IN WOOD NAILERS SHALL BE PERMITTED AS FOLLOWS: A. AT NAILERS CONNECTED TO SHEAR WALL STRUCTURAL PANELS COUNTERSINK ONLY IF NAILER IS 3x OR
- B. AT NAILERS NEEDED ONLY FOR INSTALLATION OF FINISH MATERIAL COUNTERSINKING SHALL BE ALLOWED AS NEEDED FOR PROPER INSTALLATION OF FINISH MATERIAL

STEEL COLUMN IN STUD WALL SCALE: N.T.S.



JOIST WITH DIFFERENT DEPTH

TYP. KING POST DETAIL



**BADGER RESIDENCE** 

OWNER:

**ELEVATOR SIDE** 

SEE A/- FOR BALANCE OF INFO

SEE A/- FOR BALANCE

121 BADGER LANE LLC P.O. BOX 14001-174 KETCHUM, ID 83340

PROJECT ARCHITECT:

TEL: 213.784.0014

**RO | ROCKETT DESIGN** 1031 W. MANCHESTER BLVD, UNIT 6 INGLEWOOD, CA 90301

SURVEYOR & CIVIL ENGINEER:

GALENA ENGINEERING, INC. 317 NORTH RIVER STREET HAILEY, ID 83333 TEL: 208.788.1705

GEOTECHNICAL ENGINEER: **BUTLER ASSOCIATES, INC.** 

P.O. BOX 1034 KETCHUM, ID 83340

TEL: 208.720.6432

LANDSCAPE ARCHITECT:

TEL: : 208.726.5907

323 LEWIS STREET, SUITE N KETCHUM, ID 83340

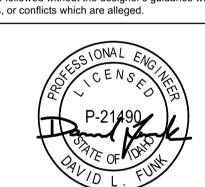
STRUCTURAL ENGINEER:

319 MAIN STREET EL SEGUNDO, CA 90245 TEL: 213.239 9700 LFA Job #22791



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02/24/23 PC SUBMITTAL NO DATE

PROJECT: **BADGER RESIDENCE** 

**121 BADGER LANE** KETCHUM, ID 83340

PROJECT NUMBER

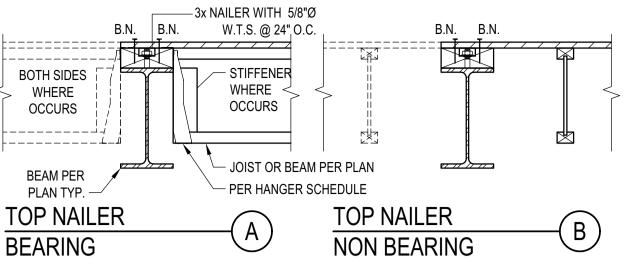
DRAWING TITLE:

**TYPICAL DETAILS - WOOD** 

DRAWING NUMBER:

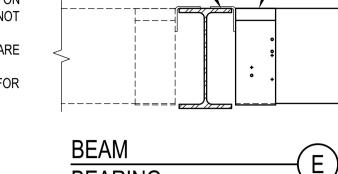


**BLD2303-00021** 06/26/23



# NOTES:

- 1. DETAILS APPLIES TO BOTH I-JOIST AND SAWN LUMBER. I-JOIST SHOWN.
- 2. PROVIDE TOP OR SIDE NAILER AS SPECIFIED ON THE PLANS OR CUSTOM DETAILS. IF NOT SPECIFIED, PROVIDE SIDE NAILER. 3. BLK'G, UNBLK'D, HI LOAD DIAPHRAGM ARE
- SPECIFIED ON PLANS 4. SEE "LEDGER/NAILER ANCHOR LAYOUT" FOR ANCHOR LAYOUT



# WELD TOP FLANGES PER MANUFACTURER'S - BEAM PER PLAN

- = = = =			SIE	DE N	AILE	R - N	OT BEARING
		DIAPHRAGM TYPE					SIDE NAILER
ING	-(E)	BLK'D/UNBLK'D (3)	2x	1	5/8		DEPTH TO MATCH STEEL BE DEPTH, BUT NEEDS NOT
1110		HIGH LOAD(3)	3x	1	3/4	12	EXCEED 8" NOMINAL

DO NOT HANG BEAM FROM

SIDE NAILER

**BEARING** 

NAILER. WELD HANGER PER "E"

#### NON OCCUPIED ROOFS WITH MAX 1" ASSEMBLY ASSEMBLY | II. | ASSEMBLY | III. GRAVEL AND WITHOUT GARDEN ROOF THIS ASSEMBLY INCLUDES 12'-0" 3x | 1 | 3/4 | 12 | | 3x | 2 | 3/4 | 1 NON OCCUPIED ROOFS WITH MORE 3x 2 3/4 16 3x 3 3/4 16 THAN 1" AND UP TO 3" GRAVEL • NON OCCUPIED GARDEN ROOF | 5/8 | 12 | | 3x | 2 | 3/4 | 12 | | 3x | 2 | 3/4 | 8 ASSEMBLIES UP TO 6" 30'-0" | 5/8 | 16 | | 3x | 3 | 3/4 | 16 | | 3x | 3 | 3/4 | 8 SINGLE FAMILY FLOORS AND DECKS III. ALL CASES NOT COVERED IN I. OR II. 3x | 2 | 5/8 | 16 | | 3x | 2 | 3/4 | 8 | | 3x | 3 | 3/4 | 8 | SCHEDULE LEGEND | 3x | 2 | 3/4 | 12 SIDE NAILER -ROWS OF FASTENERS -

- SIDE NAILER PER

SIDE NAILER

NON BEARING

ASSEMBLIES:

SCHEDULE

SIDE NAILER - BEARING

SIDE NAILER PER

(MATCH SIDE NAILER

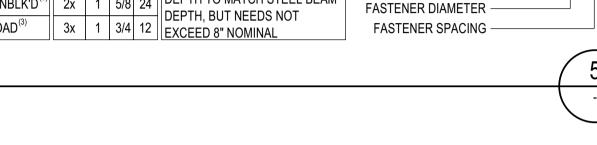
SCHEDULE

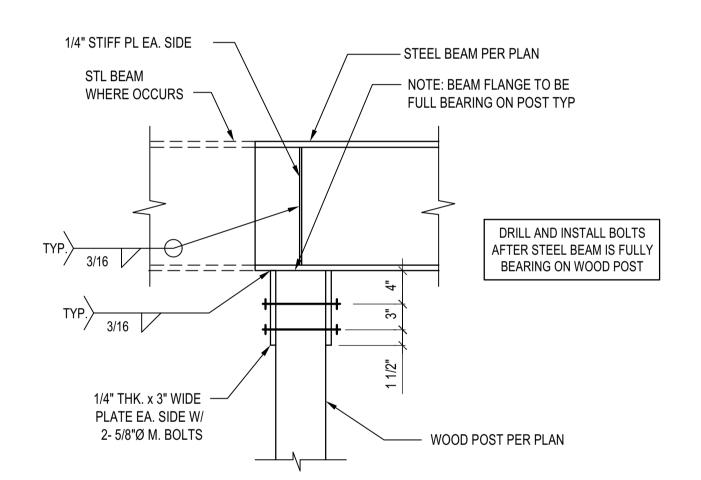
+/-)

- WOOD FILLER

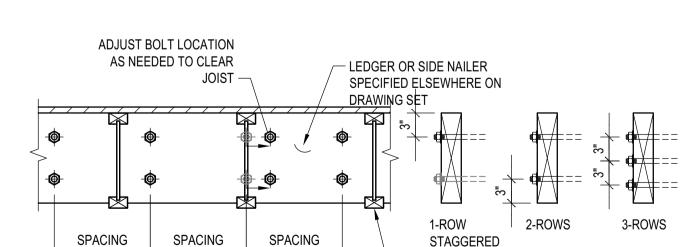
# STEEL BEAM IN WOOD FRAMING

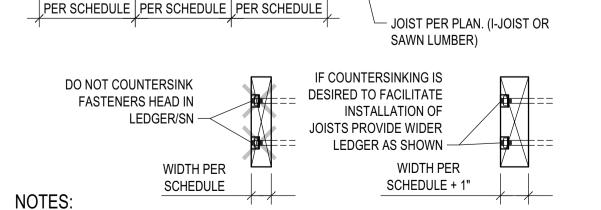
SCALE: N.T.S.





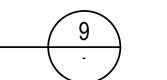
# STL BEAM TO ISOLATED WOOD POST CONNECTION

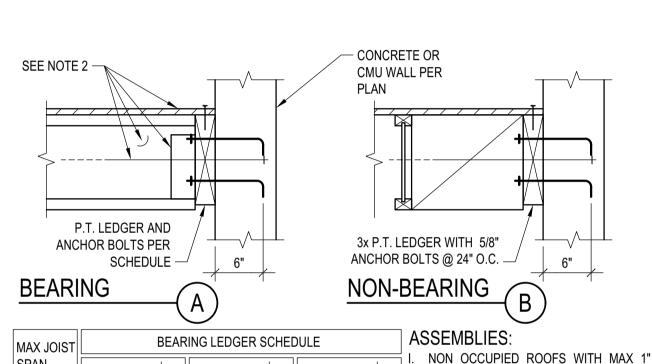




- 1. THIS DETAIL ADDRESSES LAYOUT OF ANCHOR BOLTS AND WELDED THREADED STUDS IN LEDGER AND SIDE NAILERS RESPECTIVELY. SIZE AND SPACING OF A.B. AND W.T.S. ARE PER SCHEDULES.
- 2. COORDINATE JOISTS LOCATION WITH FASTENER NUT. DO NOT COUNTERSINK LEDGER/SIDE NAILER. ALTERNATIVELY, PROVIDE 1" WIDER LEDGER/SIDE NAILER THAT WHAT SPECIFIED ON SCHEDULE AND PROVIDE
- 3. LEDGER DEPTH SHALL BE GREATER THAN JOIST DEPTH AND DEPTH NEEDED TO INSTALL FASTENERS.

LEDGER/NAILER ANCHOR LAYOUT SCALE: N.T.S.

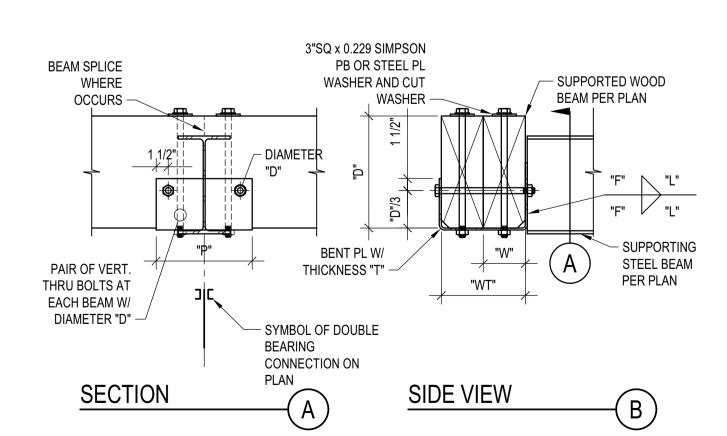




MAX JOIST			E	BEAR	ING LE	EDGE	ER S	CHE	DULE				ASSEMBLIES:
SPAN ASSEMBLY   I.					ASS	EMB	BLY	II.	ASSEMBLY   III.				I. NON OCCUPIED ROOFS WI GRAVEL AND WITHOUT GARI
12'-0"	3x	1	5/8	24	3x	1	3/4	16	3x	2	3/4	16	II. THIS ASSEMBLY INCLUDES
18'-0"	3x	1	5/8	16	3x	2	3/4	16	3x	3	3/4	16	NON OCCUPIED ROOFS \     THAN 1" AND UP TO 3" GF
24'-0"	3x	1	5/8	12	3x	2	3/4	16	3x	3	3/4	16	NON OCCUPIED GARD
30'-0"	3x	1	5/8	12	3x	3	3/4	16	3x	2	3/4	8	ASSEMBLIES UP TO 6"  • SINGLE FAMILY FLOORS
36'-0"	3x	2	5/8	16	3x	3	3/4	16	3x	3	3/4	8	U ALL CASES NOT COVERED IN

- | 3x | 2 | 5/8 | 16 | 3x | 3 | 3/4 | 16 | 3x | 3 | 3/4 | 8 | III. ALL CASES NOT COVERED IN I. OR II. 1. THIS DETAIL ADDRESSES LEDGER AND ITS CONNECTION TO
- FRAMING AND OUT OF PLANE ANCHORAGE ARE REFERENCED **FASTENER** ELSEWHERE IN THE SET DIAMETER SEE "LEDGER/NAILER ANCHOR LAYOUT" FOR ANCHOR LAYOUT

# **FASTENER SPACING** LEDGER TO CONCRETE/CMU WALI



AND "W" COINCIDE.

SCALE: N.T.S.

1. THIS DETAIL APPLIES WHERE SPECIFIED ON PLANS 2. THE DETAIL APPLIES TO SINGLE OR COMPOSITE BEAMS. WHERE SINGLE BEAMS ARE SPECIFIED, "WT"

	SC	HED	ULE (	INCH	IES)						
WT	Т	F	L	Р	W	D					
WT≤7	1/4	3/16	5	12	W≤3 1/2	1/2					
<wt≤14< td=""><td>3/8</td><td>1/4</td><td>7</td><td>14</td><td>3 1/2<w≤5 1="" 2<="" td=""><td>5/8</td></w≤5></td></wt≤14<>	3/8	1/4	7	14	3 1/2 <w≤5 1="" 2<="" td=""><td>5/8</td></w≤5>	5/8					
WT>14 1/2 3/8 9 16 W>5 1/2 3/4											

GRAVEL AND WITHOUT GARDEN ROOF

NON OCCUPIED ROOFS WITH MORE

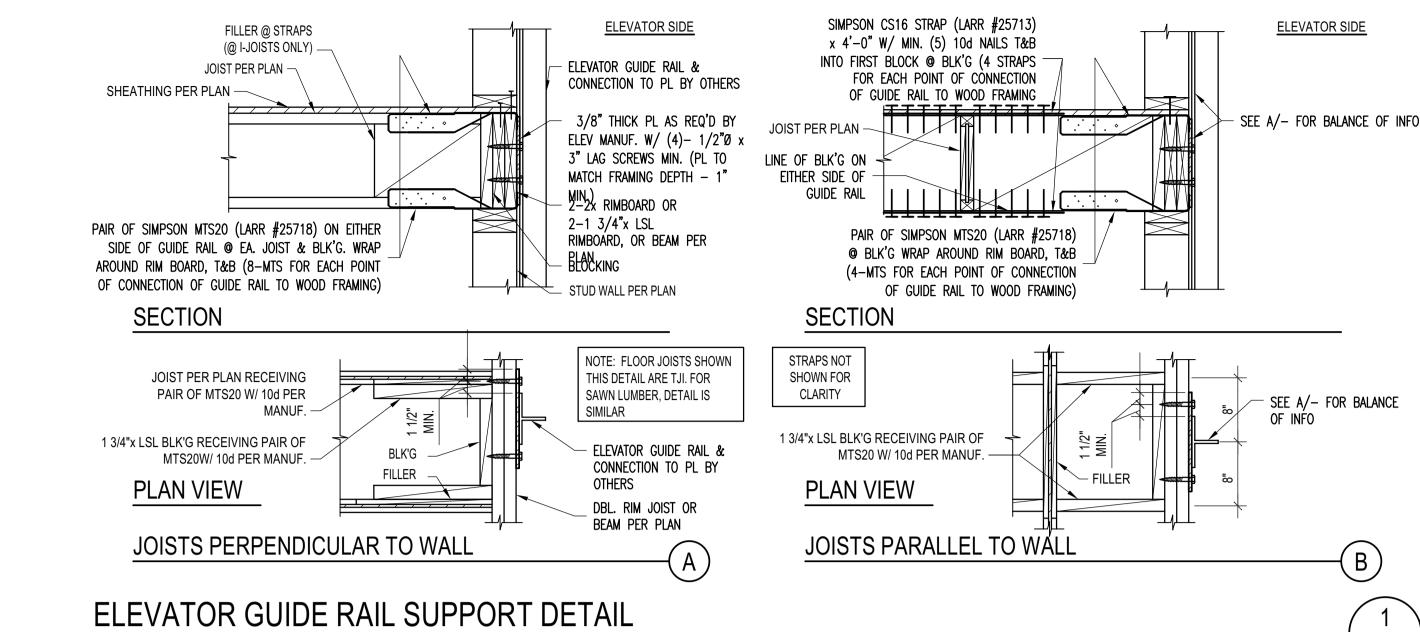
NON OCCUPIED GARDEN ROOF

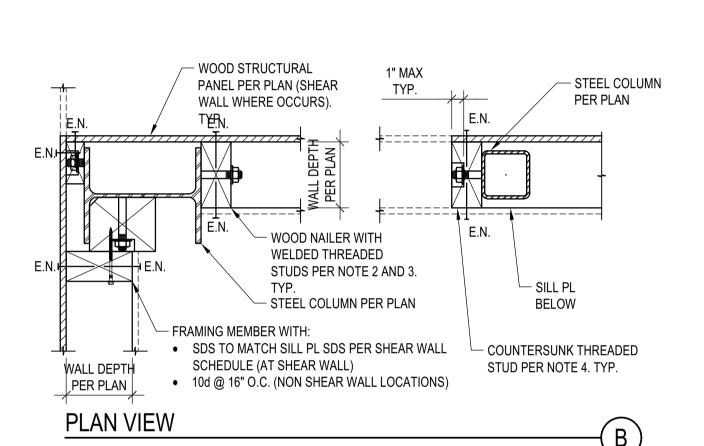
SINGLE FAMILY FLOORS AND DECKS

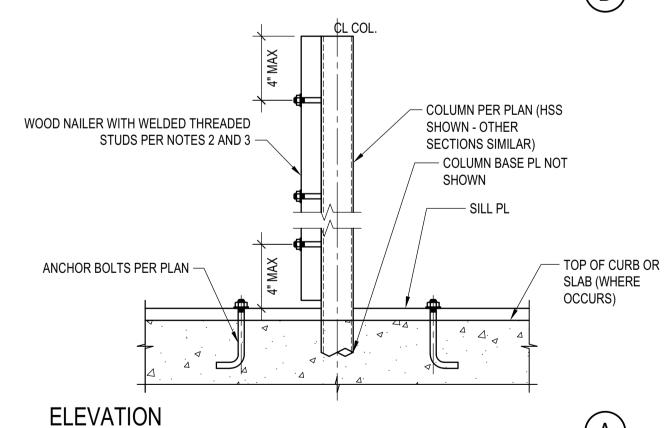
THAN 1" AND UP TO 3" GRAVEL

# DOUBLE BEARING CONNECTION SCALE: N.T.S.







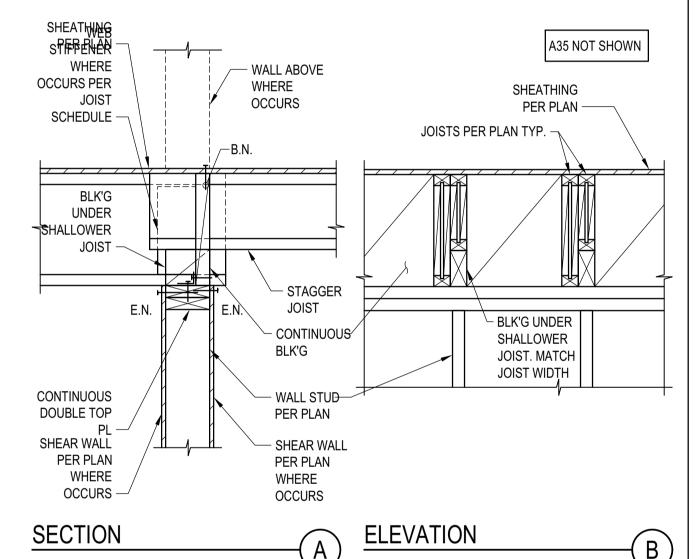


# NOTES:

SCALE: N.T.S.

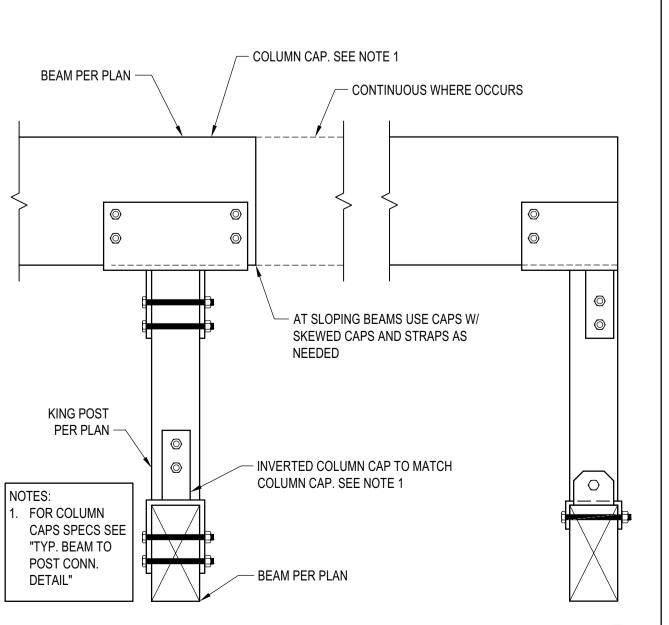
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STEEL COLUMN IN STUD WALL



JOIST WITH DIFFERENT DEPTH

TYP. KING POST DETAIL



**BADGER RESIDENCE** 

OWNER: 121 BADGER LANE LLC

P.O. BOX 14001-174 KETCHUM, ID 83340

PROJECT ARCHITECT:

**RO | ROCKETT DESIGN** 1031 W. MANCHESTER BLVD, UNIT 6 INGLEWOOD, CA 90301

SURVEYOR & CIVIL ENGINEER:

TEL: 213.784.0014

GALENA ENGINEERING, INC. 317 NORTH RIVER STREET HAILEY, ID 83333 TEL: 208.788.1705

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P.O. BOX 1034 KETCHUM, ID 83340 TEL: 208.720.6432

LANDSCAPE ARCHITECT:

323 LEWIS STREET, SUITE N KETCHUM, ID 83340 TEL:: 208.726.5907

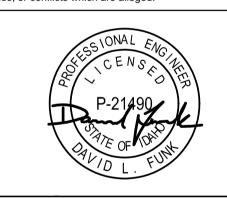
STRUCTURAL ENGINEER:

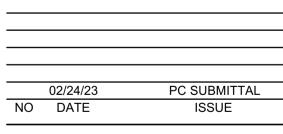
319 MAIN STREET EL SEGUNDO, CA 90245 TEL: 213.239 9700 LFA Job #22791



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PROJECT: **BADGER RESIDENCE** 

**121 BADGER LANE** KETCHUM, ID 83340

PROJECT NUMBER

DRAWING TITLE:

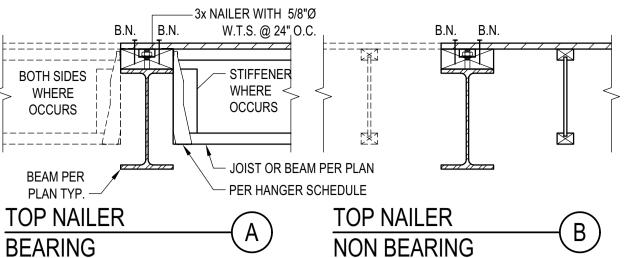
**TYPICAL DETAILS - WOOD** 

DRAWING NUMBER:



SCALE: N.T.S.

**BLD2303-00021** 06/26/23



## NOTES: WELD TOP FLANGES PER MANUFACTURER'S 1. DETAILS APPLIES TO BOTH I-JOIST AND SAWN - BEAM PER LUMBER. I-JOIST SHOWN. PLAN 2. PROVIDE TOP OR SIDE NAILER AS SPECIFIED ON THE PLANS OR CUSTOM DETAILS. IF NOT SPECIFIED, PROVIDE SIDE NAILER. 3. BLK'G, UNBLK'D, HI LOAD DIAPHRAGM ARE SPECIFIED ON PLANS

4.	SPECIFIED ON PLANS SEE "LEDGER/NAILER ANCHOR LAYOUT	ANCHOR	LAYOUT"	FOR		=====	•		_
					BEAM			C	_ =
					BEARI	NG			<u>-</u>

## SIDE NAILER PER DO NOT HANG BEAM FROM SCHEDULE - WOOD FILLER NAILER. WELD HANGER PER "E" - SIDE NAILER PER (MATCH SIDE NAILER SCHEDULE SIDE NAILER SIDE NAILER +/-) **BEARING**

NON OCCUPIED ROOFS WITH MAX 1"

NON OCCUPIED ROOFS WITH MORE

NON OCCUPIED GARDEN ROOF

SINGLE FAMILY FLOORS AND DECKS

MAX JOIST				S	IDE NA	AILEF	R - BE	ARIN	IG	ì				ASSEMBLIES:
SPAN	ASS	SEME	BLY	l.	ASS	SEME	BLY	II.		ASS	EMB	LY	III.	GRAVEL AND WITHOUT GARDEN ROOI
12'-0"	3x	1	5/8	24	3x	1	3/4	12		3x	2	3/4	16	II. THIS ASSEMBLY INCLUDES  • NON OCCUPIED ROOFS WITH M
18'-0"	3x	1	5/8	16	3x	2	3/4	16		3x	3	3/4	16	THAN 1" AND UP TO 3" GRAVEL
24'-0"	3x	1	5/8	12	3x	2	3/4	12		3x	2	3/4	8	NON OCCUPIED GARDEN R
30'-0"	3x	2	5/8	16	3x	3	3/4	16		3x	3	3/4	8	<ul> <li>ASSEMBLIES UP TO 6"</li> <li>SINGLE FAMILY FLOORS AND DECI</li> </ul>
36'-0"	3x	2	5/8	16	3x	2	3/4	8		3x	3	3/4	8	III. ALL CASES NOT COVERED IN I. OR II.

	SII	DE N	AILE	R - N	OT BEARING	SCHEDULE LEGEND	3x	2	3/4	12
DIAPHRAGM TYPE					SIDE NAILER	SIDE NAILER — ROWS OF FASTENERS —				
BLK'D/UNBLK'D (3)	2x	1	5/8	24	DEPTH TO MATCH STEEL BEAM DEPTH, BUT NEEDS NOT	FASTENER DIAMETER —		_		
HIGH LOAD (3)	3x	1	3/4	12	EXCEED 8" NOMINAL	FASTENER SPACING —				

BLK'G

TYP.

E.N.

SILL PL

**BELOW** 

COUNTERSUNK THREADED

STUD PER NOTE 4. TYP.

- COLUMN PER PLAN (HSS

- COLUMN BASE PL NOT

TOP OF CURB OR

SLAB (WHERE

OCCURS)

SHOWN - OTHER

----- SILL PL

SECTIONS SIMILAR)

**FILLER** 

FILLER @ STRAPS

(@ I-JOISTS ONLY)

JOIST PER PLAN -

PAIR OF SIMPSON MTS20 (LARR #25718) ON EITHER

AROUND RIM BOARD, T&B (8-MTS FOR EACH POINT

OF CONNECTION OF GUIDE RAIL TO WOOD FRAMING)

JOIST PER PLAN RECEIVING

1 3/4"x LSL BLK'G RECEIVING PAIR OF

**PLAN VIEW** 

PAIR OF MTS20 W/ 10d PER

MTS20W/ 10d PER MANUF.

MANUF.

JOISTS PERPENDICULAR TO WALL

- WOOD STRUCTURAL

FRAMING MEMBER WITH:

WALL DEPTH

PER PLAN

**PLAN VIEW** 

WOOD NAILER WITH WELDED THREADED

ANCHOR BOLTS PER PLAN -

**ELEVATION** 

PROPER INSTALLATION OF FINISH MATERIALS.

NOTES:

STUDS PER NOTES 2 AND 3 —

SCHEDULE (AT SHEAR WALL)

PANEL PER PLAN (SHEAR

WALL WHERE OCCURS).

WOOD NAILER WITH

WELDED THREADED

SDS TO MATCH SILL PL SDS PER SHEAR WALL

10d @ 16" O.C. (NON SHEAR WALL LOCATIONS)

STUDS PER NOTE 2 AND 3.

- STEEL COLUMN PER PLAN

1. STEEL COLUMN SECTIONS: WIDE FLANGE AND HSS COLUMN SECTIONS ARE SHOWN. SIMILAR REQUIREMENTS

2. LOCATION OF WOOD NAILERS: PROVIDE WOOD NAILERS AT ALL LOCATIONS WHERE STEEL COLUMN OCCURS

. WOOD NAILERS SIZE AND CONNECTION: WOOD NAILERS SHALL BE CONNECTED WITH 5/8"Ø WELDED

THREADED ANCHORS TO THE STEEL SECTIONS. SPACING AND NOMINAL THICKNESS OF WOOD NAILERS SHALL

A. PER SHEAR WALL SCHEDULE WHERE WOOD NAILERS ARE CONNECTED TO A SHEAR WALL STRUCTURAL

B. 2x MIN WOOD NAILER WITH THREADED ANCHORS @ 24" O.C. WHERE WOOD NAILERS DO NOT OCCUR

A. AT NAILERS CONNECTED TO SHEAR WALL STRUCTURAL PANELS COUNTERSINK ONLY IF NAILER IS 3x OR

B. AT NAILERS NEEDED ONLY FOR INSTALLATION OF FINISH MATERIAL COUNTERSINKING SHALL BE ALLOWED

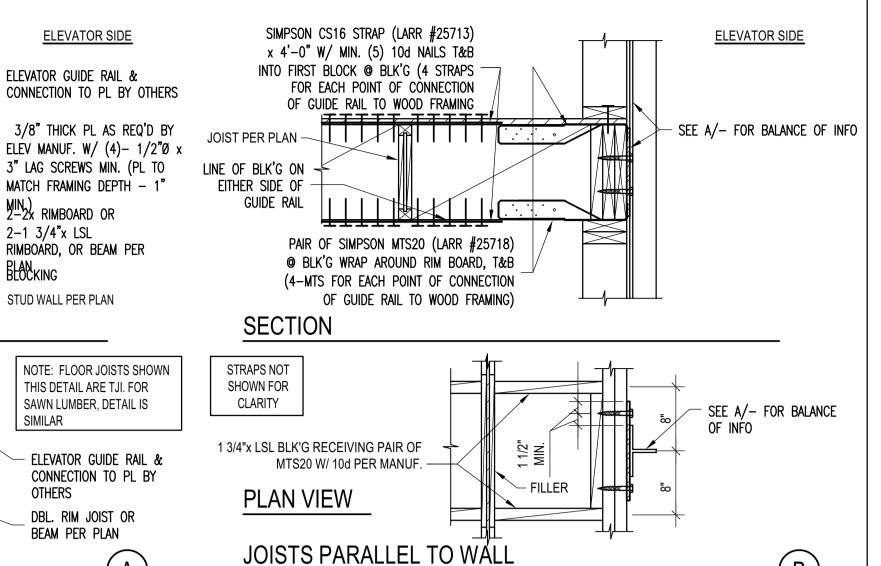
4. COUNTERSINKING OF WELDED THREADED STUD NUT IN WOOD NAILERS SHALL BE PERMITTED AS FOLLOWS:

WITHIN SHEAR WALLS. FOR LOCATIONS OTHER THAN SHEAR WALLS PROVIDE WOOD NAILERS AS NEEDED FOR

SIDE OF GUIDE RAIL @ EA. JOIST & BLK'G. WRAP

SHEATHING PER PLAN -

SECTION



WALL ABOVE

WHERE

OCCURS

# ELEVATOR GUIDE RAIL SUPPORT DETAIL



- STEEL COLUMN

PER PLAN

SHEATHWAS SPERENAR

OCCURS PER

SCHEDULE

†SHALLOWER

BLK'G

UNDER

JOIST

KING POST PER PLAN —

FOR COLUMN

POST CONN.

DETAIL"

CAPS SPECS SEE

"TYP. BEAM TO

TYP. KING POST DETAIL

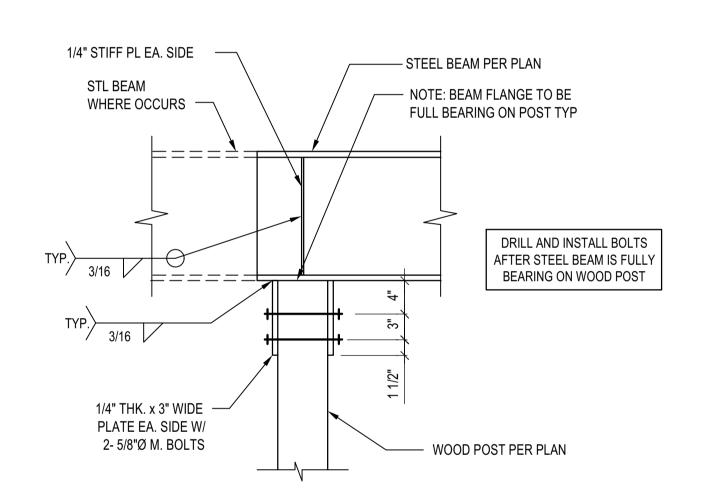
WHERE

JOIST

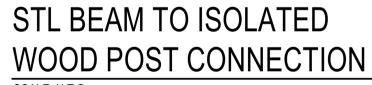
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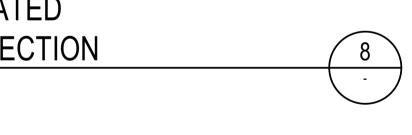
SIMILAR

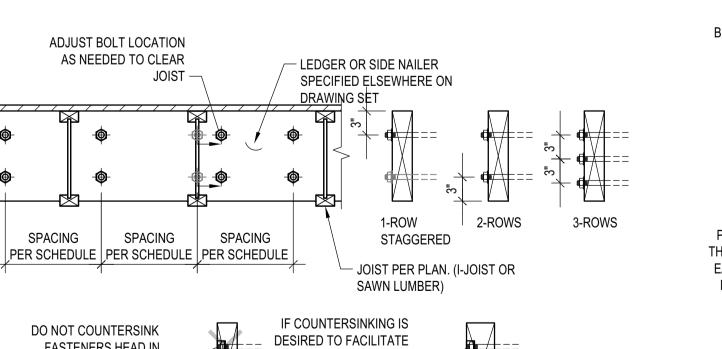
OTHERS

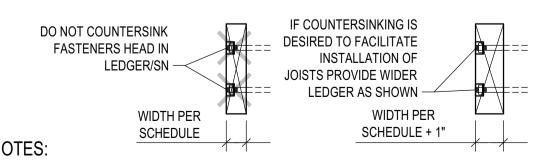


STEEL BEAM IN WOOD FRAMING



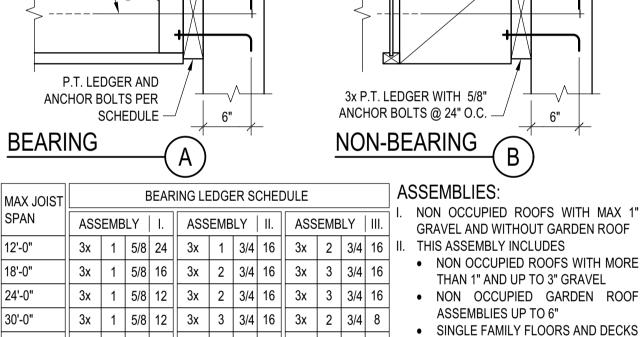






- 1. THIS DETAIL ADDRESSES LAYOUT OF ANCHOR BOLTS AND WELDED THREADED STUDS IN LEDGER AND SIDE NAILERS RESPECTIVELY, SIZE AND SPACING OF A.B. AND W.T.S. ARE PER SCHEDULES.
- 2. COORDINATE JOISTS LOCATION WITH FASTENER NUT. DO NOT COUNTERSINK LEDGER/SIDE NAILER. ALTERNATIVELY, PROVIDE 1" WIDER LEDGER/SIDE NAILER THAT WHAT SPECIFIED ON SCHEDULE AND PROVIDE
- 3. LEDGER DEPTH SHALL BE GREATER THAN JOIST DEPTH AND DEPTH NEEDED TO INSTALL FASTENERS.





CONCRETE OR

CMU WALL PER

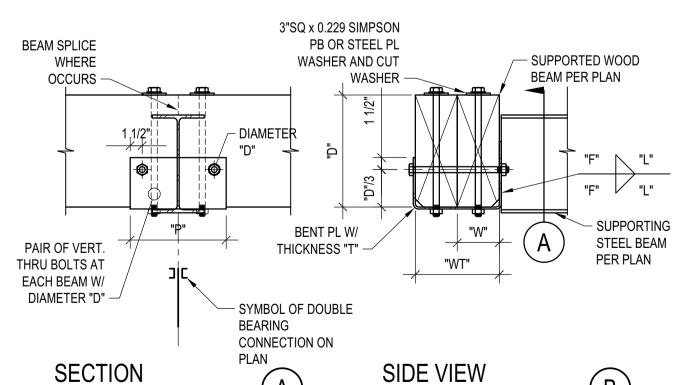
PLAN

| 3x | 2 | 5/8 | 16 | | 3x | 3 | 3/4 | 16 | | 3x | 3 | 3/4 | 8 | III. ALL CASES NOT COVERED IN I. OR II.

SEE NOTE 2

1. THIS DETAIL ADDRESSES LEDGER AND ITS CONNECTION TO **CONCRETE OR CMU** FRAMING AND OUT OF PLANE ANCHORAGE ARE REFERENCED FASTENER -ELSEWHERE IN THE SET

DIAMETER SEE "LEDGER/NAILER ANCHOR LAYOUT" FOR ANCHOR LAYOUT **FASTENER SPACING** LEDGER TO CONCRETE/CMU WALI



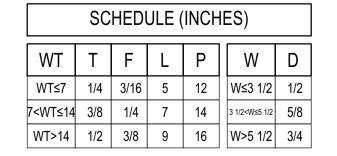
SCALE: N.T.S.

AND "W" COINCIDE.

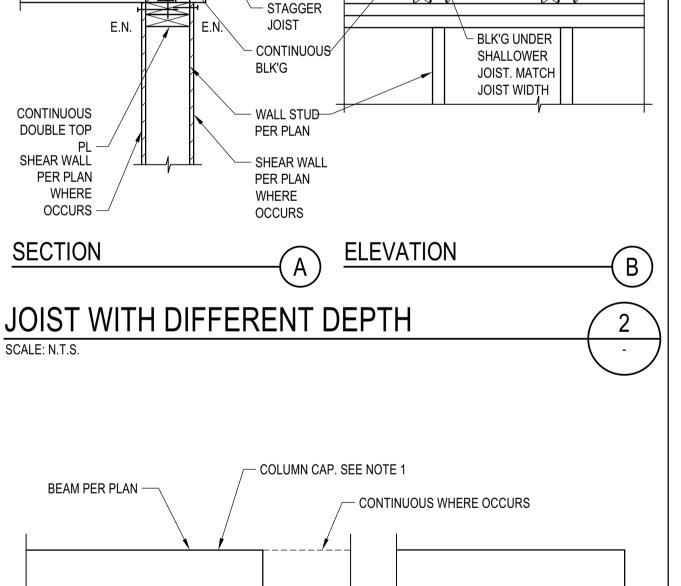
SCALE: N.T.S.

1. THIS DETAIL APPLIES WHERE SPECIFIED ON PLANS 2. THE DETAIL APPLIES TO SINGLE OR COMPOSITE BEAMS. WHERE SINGLE BEAMS ARE SPECIFIED, "WT"

# DOUBLE BEARING CONNECTION



# STEEL COLUMN IN STUD WALL



AT SLOPING BEAMS USE CAPS W/

SKEWED CAPS AND STRAPS AS

INVERTED COLUMN CAP TO MATCH

COLUMN CAP. SEE NOTE 1

BEAM PER PLAN

# **BADGER RESIDENCE**

OWNER: 121 BADGER LANE LLC P.O. BOX 14001-174

KETCHUM, ID 83340

PROJECT ARCHITECT:

**RO | ROCKETT DESIGN** 1031 W. MANCHESTER BLVD, UNIT 6 INGLEWOOD, CA 90301

SURVEYOR & CIVIL ENGINEER:

TEL: 213.784.0014

GALENA ENGINEERING, INC. 317 NORTH RIVER STREET HAILEY, ID 83333 TEL: 208.788.1705

GEOTECHNICAL ENGINEER: **BUTLER ASSOCIATES, INC.** 

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LANDSCAPE ARCHITECT:

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323 LEWIS STREET, SUITE N KETCHUM, ID 83340

STRUCTURAL ENGINEER:

319 MAIN STREET EL SEGUNDO, CA 90245 TEL: 213.239 9700 LFA Job #22791



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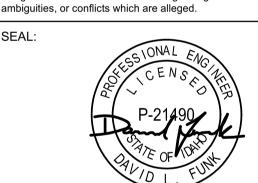
without written permission

A35 NOT SHOWN

SHEATHING

JOISTS PER PLAN TYP. -

PER PLAN -



02/24/23 PC SUBMITTAL NO DATE

PROJECT: **BADGER RESIDENCE** 

**121 BADGER LANE** KETCHUM, ID 83340

PROJECT NUMBER

DRAWING TITLE:

**TYPICAL DETAILS - WOOD** 

DRAWING NUMBER:

S-038

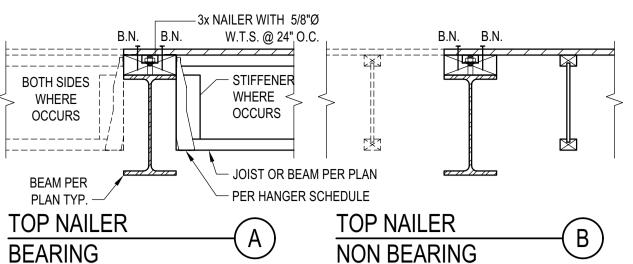


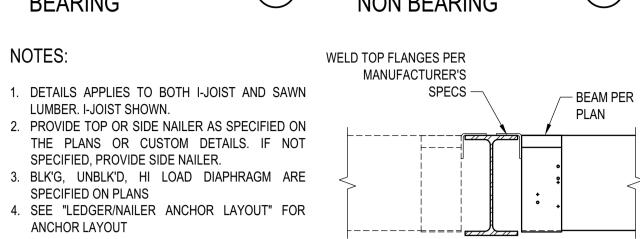
AS NEEDED FOR PROPER INSTALLATION OF FINISH MATERIAL

FOR WOOD NAILERS SHALL APPLY FOR OTHER TYPES OF STEEL SECTIONS.



**BLD2303-00021** 06/26/23





R		•
	BEAM	E
	BEARING	

## SIDE NAILER PER DO NOT HANG BEAM FROM SCHEDULE - WOOD FILLER NAILER. WELD HANGER PER "E" - SIDE NAILER PER (MATCH SIDE NAILER SCHEDULE SIDE NAILER SIDE NAILER +/-) **BEARING**

NON OCCUPIED ROOFS WITH MAX 1"

NON OCCUPIED ROOFS WITH MORE

NON OCCUPIED GARDEN ROOF

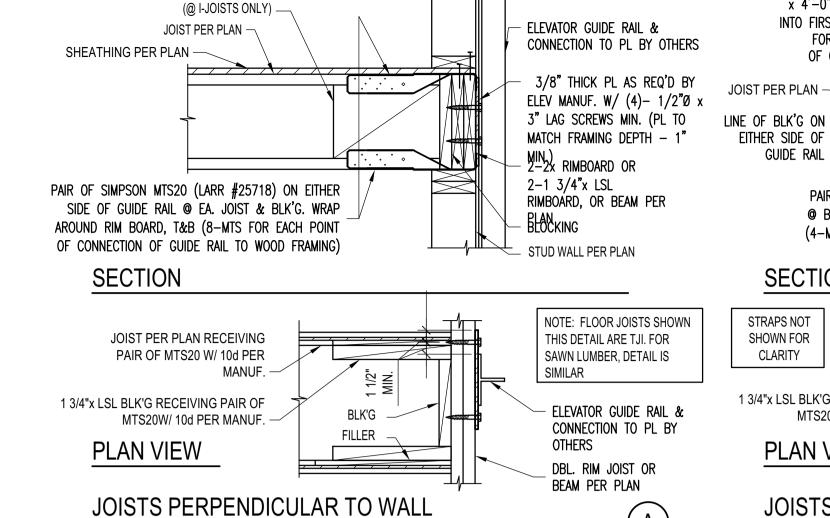
NON OCCUPIED ROOFS WITH MAX 1"

GRAVEL AND WITHOUT GARDEN ROOF

SINGLE FAMILY FLOORS AND DECKS

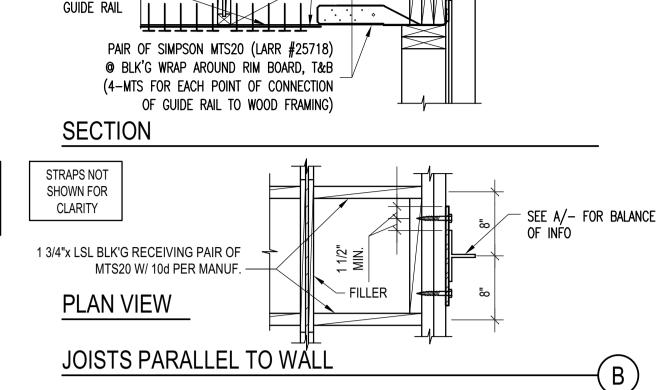
MAX JOIST				S	IDE NA	ILEF	R - BE	ASSEMBLIES: I. NON OCCUPIED ROOFS WITH MAX					
SPAN	ASS	EME	SLY	l.	ASS	SEME	BLY	II.	AS	SEME	BLY	III.	GRAVEL AND WITHOUT GARDEN ROOF
12'-0"	3x	1	5/8	24	3x	1	3/4	12	3x	2	3/4	16	II. THIS ASSEMBLY INCLUDES  • NON OCCUPIED ROOFS WITH M
18'-0"	3x	1	5/8	16	3x	2	3/4	16	3x	3	3/4	16	THAN 1" AND UP TO 3" GRAVEL
24'-0"	3x	1	5/8	12	3x	2	3/4	12	3x	2	3/4	8	NON OCCUPIED GARDEN R  ASSEMBLIES UP TO 6!!
30'-0"	3x	2	5/8	16	3x	3	3/4	16	3x	3	3/4	8	ASSEMBLIES UP TO 6" SINGLE FAMILY FLOORS AND DEC
36'-0"	3x	2	5/8	16	3x	2	3/4	8	3x	3	3/4	8	III. ALL CASES NOT COVERED IN I. OR II.

	SIE	DE N	AILEI	R - N	OT BEARING	SCHEDULE LEGEND	3x	2	3/4	12
IAPHRAGM TYPE					SIDE NAILER	SIDE NAILER —				
LK'D/UNBLK'D <sup>(3)</sup>	2x	1	5/8	4	DEPTH TO MATCH STEEL BEAM	ROWS OF FASTENERS — FASTENER DIAMETER —				
IIGH LOAD <sup>(3)</sup>	3x	1	3/4	12	DEPTH, BUT NEEDS NOT EXCEED 8" NOMINAL	FASTENER SPACING —				



FILLER @ STRAPS

**ELEVATOR SIDE** 



SIMPSON CS16 STRAP (LARR #25713)

x 4'-0" W/ MIN. (5) 10d NAILS T&B

INTO FIRST BLOCK @ BLK'G (4 STRAPS

JOIST PER PLAN -

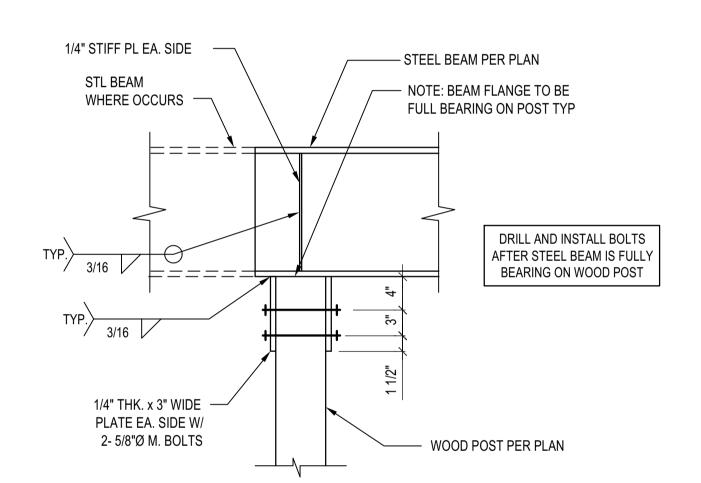
EITHER SIDE OF

FOR EACH POINT OF CONNECTION

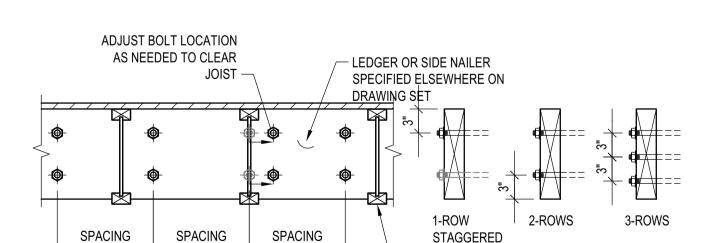
OF GUIDE RAIL TO WOOD FRAMING

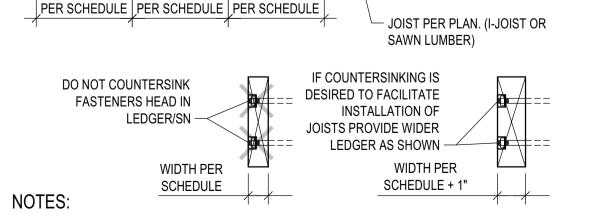
# STEEL BEAM IN WOOD FRAMING

SCALE: N.T.S.



# STL BEAM TO ISOLATED WOOD POST CONNECTION

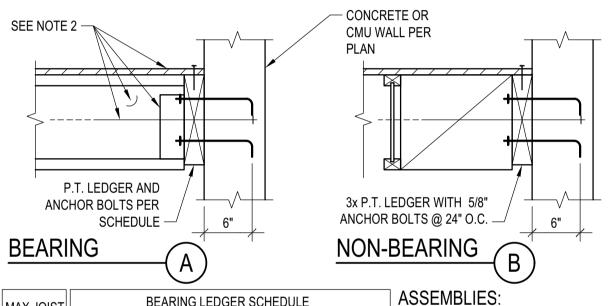




- 1. THIS DETAIL ADDRESSES LAYOUT OF ANCHOR BOLTS AND WELDED THREADED STUDS IN LEDGER AND SIDE NAILERS RESPECTIVELY. SIZE AND SPACING OF A.B. AND W.T.S. ARE PER SCHEDULES.
- 2. COORDINATE JOISTS LOCATION WITH FASTENER NUT. DO NOT COUNTERSINK LEDGER/SIDE NAILER. ALTERNATIVELY, PROVIDE 1" WIDER LEDGER/SIDE NAILER THAT WHAT SPECIFIED ON SCHEDULE AND PROVIDE
- 3. LEDGER DEPTH SHALL BE GREATER THAN JOIST DEPTH AND DEPTH NEEDED TO INSTALL FASTENERS.

LEDGER/NAILER ANCHOR LAYOUT SCALE: N.T.S.

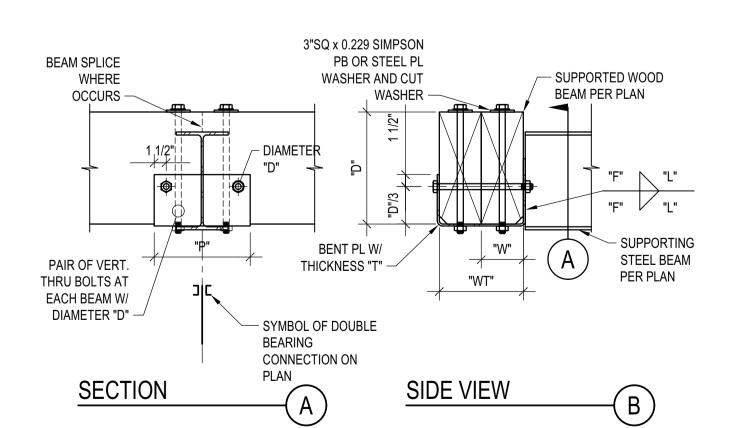




MAX JOIST			E	BEAR	ING LE	EDGE	ER S	CHE	DULE		ASSEMBLIES:		
SPAN	ASS	EMB	BLY	I.	ASS	ASSEMBLY   III.				I. NON OCCUPIED ROOFS WI GRAVEL AND WITHOUT GARI			
12'-0"	3x	1	5/8	24	3x	1	3/4	16	3x	2	3/4	16	II. THIS ASSEMBLY INCLUDES
18'-0"	3x	1	5/8	16	3x	2	3/4	16	3x	3	3/4	16	NON OCCUPIED ROOFS \ THAN 1" AND UP TO 3" GF
24'-0"	3x	1	5/8	12	3x	2	3/4	16	3x	3	3/4	16	NON OCCUPIED GARD
30'-0"	3x	1	5/8	12	3x	3	3/4	16	3x	2	3/4	8	ASSEMBLIES UP TO 6"  • SINGLE FAMILY FLOORS
36'-0"	3x	2	5/8	16	3x	3	3/4	16	3x	3	3/4	8	III ALL CASES NOT COVEDED IN

- NON OCCUPIED ROOFS WITH MORE THAN 1" AND UP TO 3" GRAVEL NON OCCUPIED GARDEN ROOF ASSEMBLIES UP TO 6" SINGLE FAMILY FLOORS AND DECKS \_\_\_\_\_ 3X | 2 | 5/8 | 16 || 3X | 3 | 3/4 | 16 || 3X | 3 | 3/4 | 8 | III. ALL CASES NOT COVERED IN I. OR II.
- 1. THIS DETAIL ADDRESSES LEDGER AND ITS CONNECTION TO FRAMING AND OUT OF PLANE ANCHORAGE ARE REFERENCED **FASTENER** ELSEWHERE IN THE SET DIAMETER SEE "LEDGER/NAILER ANCHOR LAYOUT" FOR ANCHOR LAYOUT

# **FASTENER SPACING** LEDGER TO CONCRETE/CMU WALI SCALE: N.T.S.



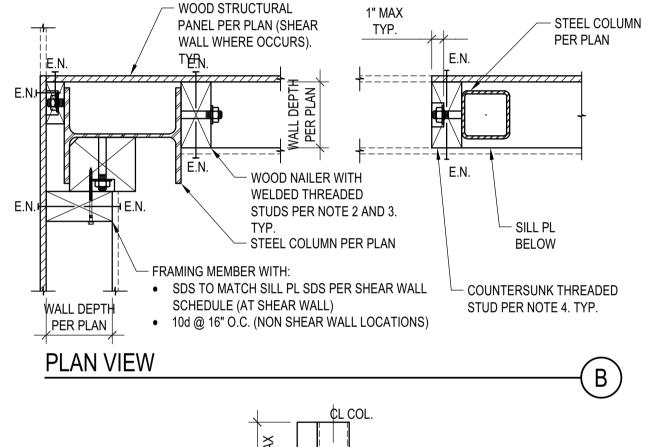
SCALE: N.T.S.

AND "W" COINCIDE.

1. THIS DETAIL APPLIES WHERE SPECIFIED ON PLANS 2. THE DETAIL APPLIES TO SINGLE OR COMPOSITE BEAMS. WHERE SINGLE BEAMS ARE SPECIFIED, "WT"

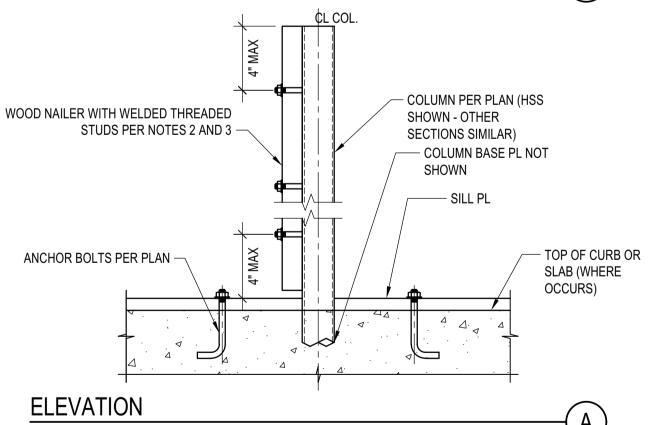
SCHEDULE (INCHES)								
WT	T	F	L	Р	W	D		
WT≤7	1/4	3/16	5	12	W≤3 1/2	1/2		
<wt≤14< td=""><td>3/8</td><td>1/4</td><td>7</td><td>14</td><td>3 1/2<w≤5 1="" 2<="" td=""><td>5/8</td></w≤5></td></wt≤14<>	3/8	1/4	7	14	3 1/2 <w≤5 1="" 2<="" td=""><td>5/8</td></w≤5>	5/8		
WT>14	1/2	3/8	9	16	W>5 1/2	3/4		

# DOUBLE BEARING CONNECTION



ELEVATOR GUIDE RAIL SUPPORT DETAIL

SCALE: N.T.S.

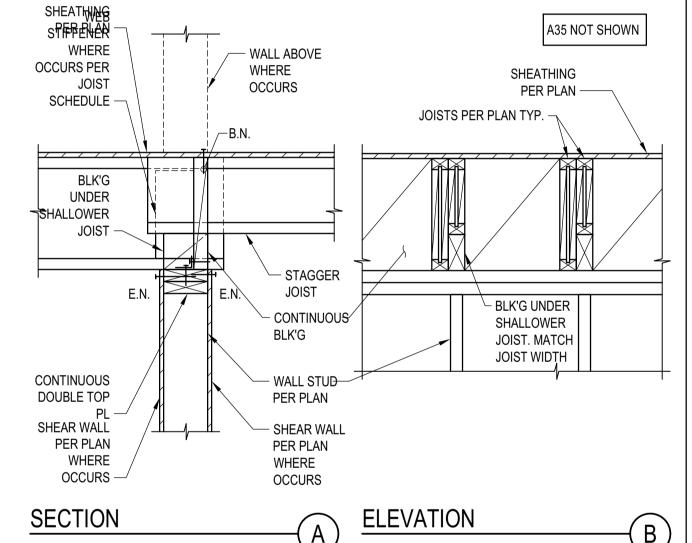


# NOTES:

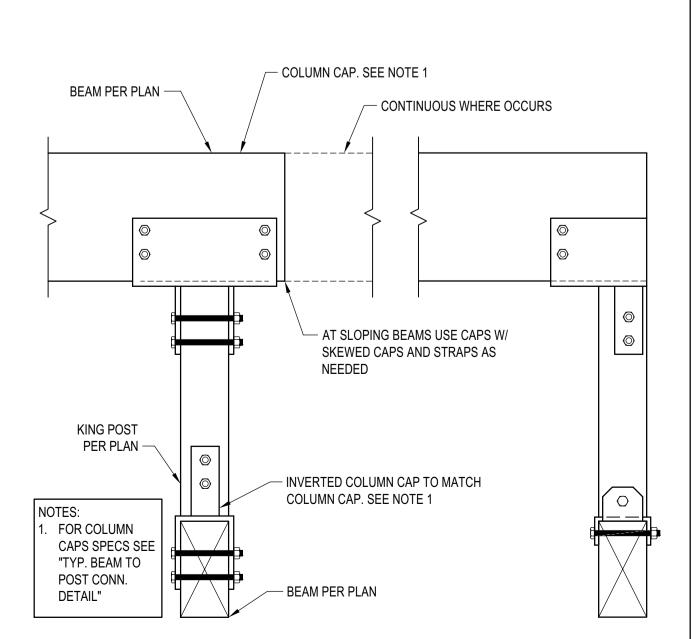
- 1. STEEL COLUMN SECTIONS: WIDE FLANGE AND HSS COLUMN SECTIONS ARE SHOWN. SIMILAR REQUIREMENTS FOR WOOD NAILERS SHALL APPLY FOR OTHER TYPES OF STEEL SECTIONS.
- 2. LOCATION OF WOOD NAILERS: PROVIDE WOOD NAILERS AT ALL LOCATIONS WHERE STEEL COLUMN OCCURS WITHIN SHEAR WALLS. FOR LOCATIONS OTHER THAN SHEAR WALLS PROVIDE WOOD NAILERS AS NEEDED FOR PROPER INSTALLATION OF FINISH MATERIALS.
- . WOOD NAILERS SIZE AND CONNECTION: WOOD NAILERS SHALL BE CONNECTED WITH 5/8"Ø WELDED THREADED ANCHORS TO THE STEEL SECTIONS. SPACING AND NOMINAL THICKNESS OF WOOD NAILERS SHALL A. PER SHEAR WALL SCHEDULE WHERE WOOD NAILERS ARE CONNECTED TO A SHEAR WALL STRUCTURAL
- B. 2x MIN WOOD NAILER WITH THREADED ANCHORS @ 24" O.C. WHERE WOOD NAILERS DO NOT OCCUR
- 4. COUNTERSINKING OF WELDED THREADED STUD NUT IN WOOD NAILERS SHALL BE PERMITTED AS FOLLOWS: A. AT NAILERS CONNECTED TO SHEAR WALL STRUCTURAL PANELS COUNTERSINK ONLY IF NAILER IS 3x OR
- B. AT NAILERS NEEDED ONLY FOR INSTALLATION OF FINISH MATERIAL COUNTERSINKING SHALL BE ALLOWED AS NEEDED FOR PROPER INSTALLATION OF FINISH MATERIAL

# STEEL COLUMN IN STUD WALL SCALE: N.T.S.









TYP. KING POST DETAIL

**BADGER RESIDENCE** 

OWNER: 121 BADGER LANE LLC

**ELEVATOR SIDE** 

SEE A/- FOR BALANCE OF INFO

P.O. BOX 14001-174 KETCHUM, ID 83340

PROJECT ARCHITECT: **RO | ROCKETT DESIGN** 1031 W. MANCHESTER BLVD, UNIT 6

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TEL: 208.720.6432

LANDSCAPE ARCHITECT:

323 LEWIS STREET, SUITE N KETCHUM, ID 83340 TEL: : 208.726.5907

STRUCTURAL ENGINEER:

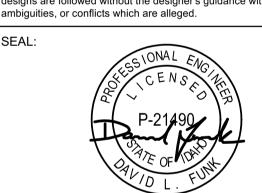
319 MAIN STREET EL SEGUNDO, CA 90245 TEL: 213.239 9700 LFA Job #22791

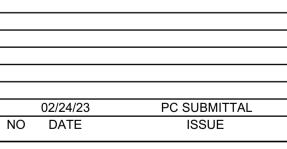


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without written permission





PROJECT: **BADGER RESIDENCE** 

**121 BADGER LANE** KETCHUM, ID 83340

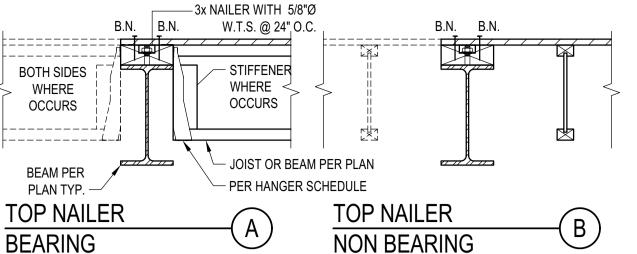
PROJECT NUMBER

DRAWING TITLE: **TYPICAL DETAILS - WOOD** 

DRAWING NUMBER:



**BLD2303-00021** 06/26/23



NOTES: WELD TOP FLANGES PER MANUFACTURER'S 1. DETAILS APPLIES TO BOTH I-JOIST AND SAWN LUMBER. I-JOIST SHOWN. 2. PROVIDE TOP OR SIDE NAILER AS SPECIFIED ON THE PLANS OR CUSTOM DETAILS. IF NOT

3. BLK'G, UNBLK'D, HI LOAD DIAPHRAGM ARE SPECIFIED ON PLANS 4. SEE "LEDGER/NAILER ANCHOR LAYOUT" FOR ANCHOR LAYOUT

STEEL BEAM IN WOOD FRAMING

SPECIFIED, PROVIDE SIDE NAILER.

SCALE: N.T.S.

1/4" STIFF PL EA. SIDE

WHERE OCCURS -

1/4" THK. x 3" WIDE

PLATE EA. SIDE W/

2- 5/8"Ø M. BOLTS

STL BEAM

**BEAM BEARING** 

- BEAM PER

PLAN

SIDE NAILER PER DO NOT HANG BEAM FROM SCHEDULE - WOOD FILLER NAILER. WELD HANGER PER "E" - SIDE NAILER PER (MATCH SIDE NAILER SCHEDULE SIDE NAILER SIDE NAILER +/-) **BEARING** NON BEARING

ASSEMBLIES: SIDE NAILER - BEARING ASSEMBLY ASSEMBLY | II. | ASSEMBLY | III. 12'-0" 3x | 1 | 3/4 | 12 | | 3x | 2 | 3/4 | 1 3x 2 3/4 16 3x 3 3/4 16 | 5/8 | 12 | | 3x | 2 | 3/4 | 12 | | 3x | 2 | 3/4 | 8 3x | 2 | 5/8 | 16 | | 3x | 3 | 3/4 | 16 | | 3x | 3 | 3/4 | 8 3x | 2 | 5/8 | 16 | | 3x | 2 | 3/4 | 8 | | 3x | 3 | 3/4 | 8

SIDE NAILER - NOT BEARING DIAPHRAGM TYPE SIDE NAILER BLK'D/UNBLK'D<sup>(3)</sup> 2x 1 5/8 24 DEPTH TO MATCH STEEL BEAN DEPTH, BUT NEEDS NOT | 3x | 1 | 3/4 | 12 | EXCEED 8" NOMINAL

III. ALL CASES NOT COVERED IN I. OR II. SCHEDULE LEGEND | 3x | 2 | 3/4 | 12 SIDE NAILER -ROWS OF FASTENERS -FASTENER DIAMETER -

FASTENER SPACING -

NON OCCUPIED ROOFS WITH MAX 1"

NON OCCUPIED ROOFS WITH MORE

NON OCCUPIED GARDEN ROOF

SINGLE FAMILY FLOORS AND DECKS

NON OCCUPIED GARDEN ROOF

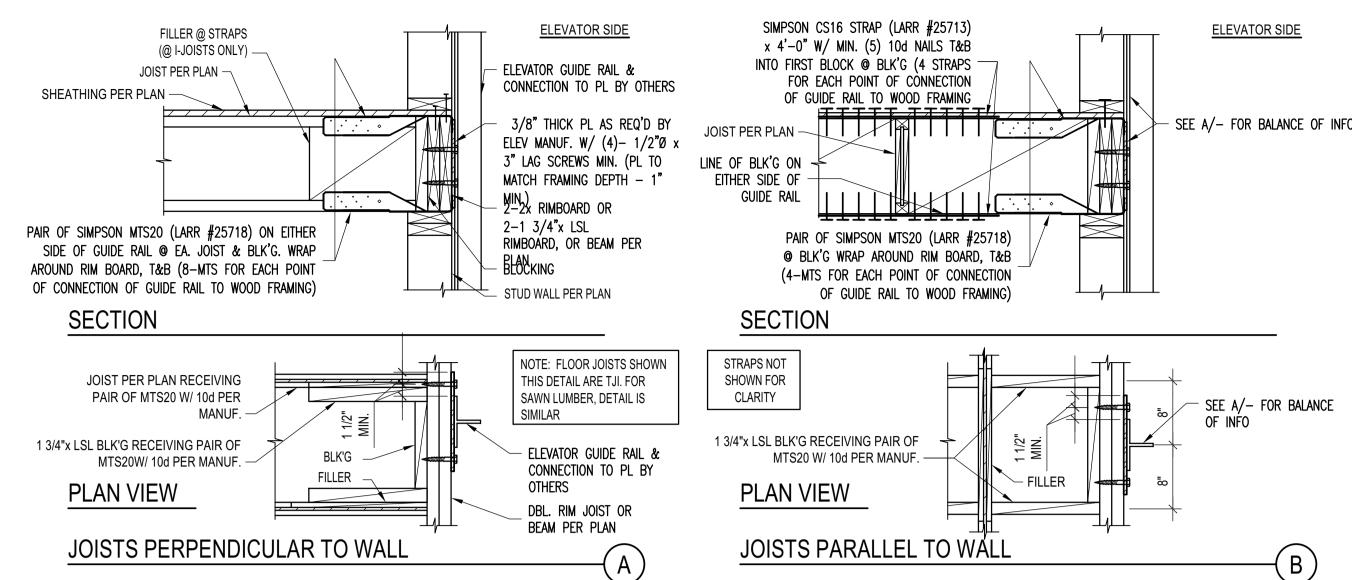
SINGLE FAMILY FLOORS AND DECKS

GRAVEL AND WITHOUT GARDEN ROOF

THAN 1" AND UP TO 3" GRAVEL

THIS ASSEMBLY INCLUDES

ASSEMBLIES UP TO 6"



# ELEVATOR GUIDE RAIL SUPPORT DETAIL

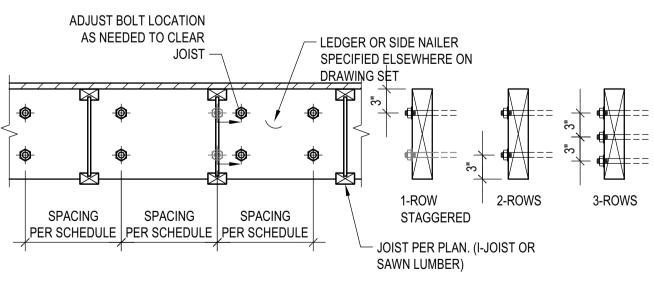


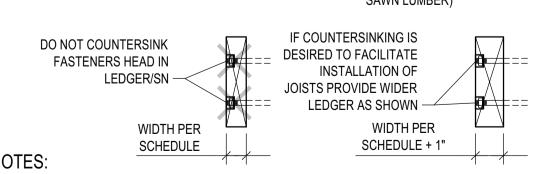
# - STEEL BEAM PER PLAN NOTE: BEAM FLANGE TO BE **FULL BEARING ON POST TYP** DRILL AND INSTALL BOLTS AFTER STEEL BEAM IS FULLY BEARING ON WOOD POST

WOOD POST PER PLAN

# STL BEAM TO ISOLATED

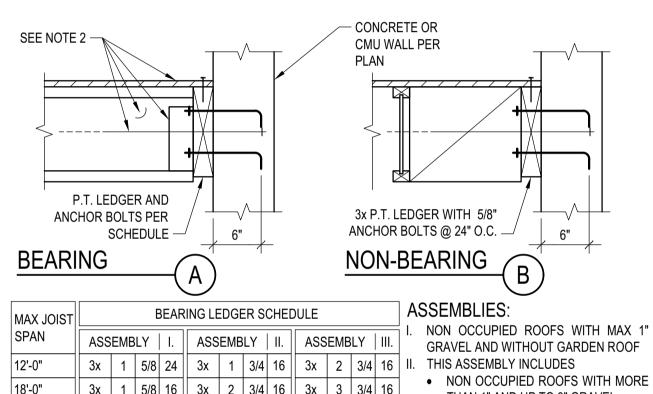






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- 2. COORDINATE JOISTS LOCATION WITH FASTENER NUT. DO NOT COUNTERSINK LEDGER/SIDE NAILER. ALTERNATIVELY, PROVIDE 1" WIDER LEDGER/SIDE NAILER THAT WHAT SPECIFIED ON SCHEDULE AND PROVIDE
- 3. LEDGER DEPTH SHALL BE GREATER THAN JOIST DEPTH AND DEPTH NEEDED TO INSTALL FASTENERS.



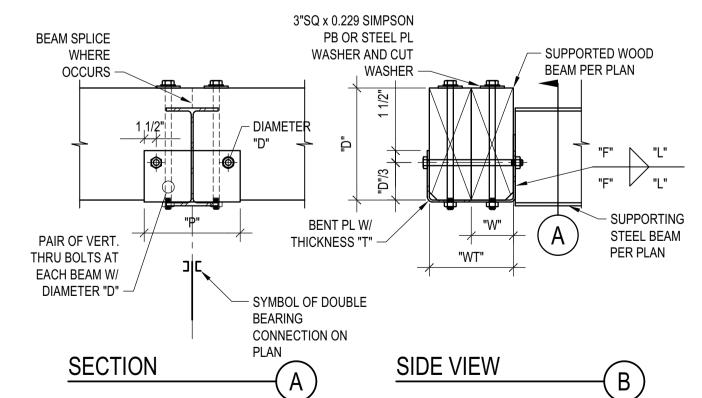


| 3x | 1 | 5/8 | 16 | 3x | 2 | 3/4 | 16 | 3x | 3 | 3/4 | 16 | 5/8 | 12 | | 3x | 2 | 3/4 | 16 | | 3x | 3 | 3/4 | 16 | | 5/8 | 12 | | 3x | 3 | 3/4 | 16 | | 3x | 2 | 3/4 | 8 | | 3x | 2 | 5/8 | 16 | | 3x | 3 | 3/4 | 16 | | 3x | 3 | 3/4 | 8 | III. ALL CASES NOT COVERED IN I. OR II.

1. THIS DETAIL ADDRESSES LEDGER AND ITS CONNECTION TO **CONCRETE OR CMU** 

FRAMING AND OUT OF PLANE ANCHORAGE ARE REFERENCED FASTENER -ELSEWHERE IN THE SET DIAMETER SEE "LEDGER/NAILER ANCHOR LAYOUT" FOR ANCHOR LAYOUT **FASTENER SPACING** 

# LEDGER TO CONCRETE/CMU WALI SCALE: N.T.S.

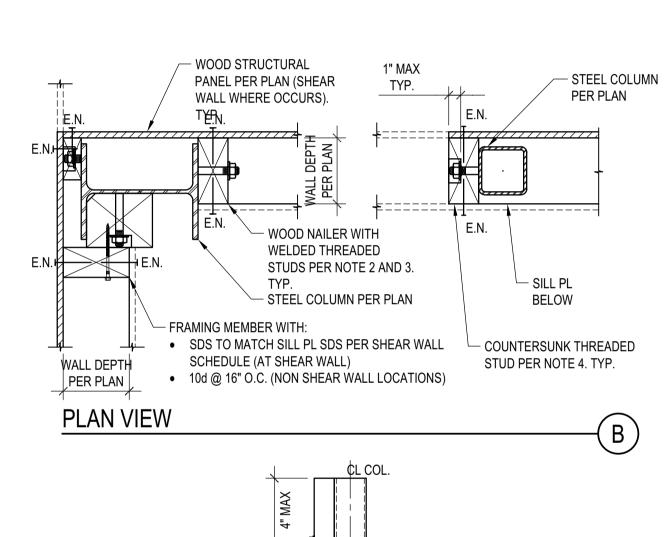


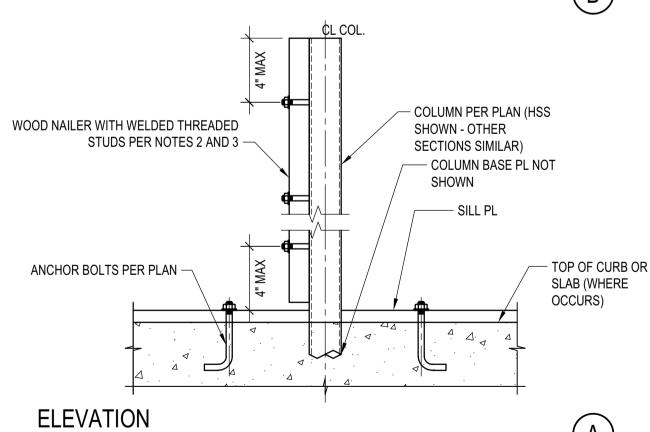
AND "W" COINCIDE.

1. THIS DETAIL APPLIES WHERE SPECIFIED ON PLANS 2. THE DETAIL APPLIES TO SINGLE OR COMPOSITE BEAMS. WHERE SINGLE BEAMS ARE SPECIFIED, "WT"

SCHEDULE (INCHES)								
WT	Т	F	L	Р	W	D		
WT≤7	1/4	3/16	5	12	W≤3 1/2	1/2		
7 <wt≤14< td=""><td>3/8</td><td>1/4</td><td>7</td><td>14</td><td>3 1/2<w≤5 1="" 2<="" td=""><td>5/8</td></w≤5></td></wt≤14<>	3/8	1/4	7	14	3 1/2 <w≤5 1="" 2<="" td=""><td>5/8</td></w≤5>	5/8		
WT>14	1/2	3/8	9	16	W>5 1/2	3/4		

# DOUBLE BEARING CONNECTION SCALE: N.T.S.





# NOTES:

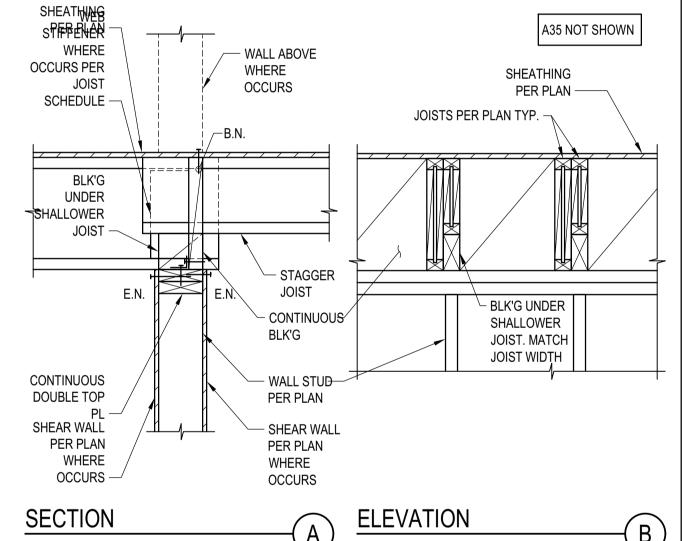
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- B. 2x MIN WOOD NAILER WITH THREADED ANCHORS @ 24" O.C. WHERE WOOD NAILERS DO NOT OCCUR
- A. AT NAILERS CONNECTED TO SHEAR WALL STRUCTURAL PANELS COUNTERSINK ONLY IF NAILER IS 3x OR B. AT NAILERS NEEDED ONLY FOR INSTALLATION OF FINISH MATERIAL COUNTERSINKING SHALL BE ALLOWED

4. COUNTERSINKING OF WELDED THREADED STUD NUT IN WOOD NAILERS SHALL BE PERMITTED AS FOLLOWS:

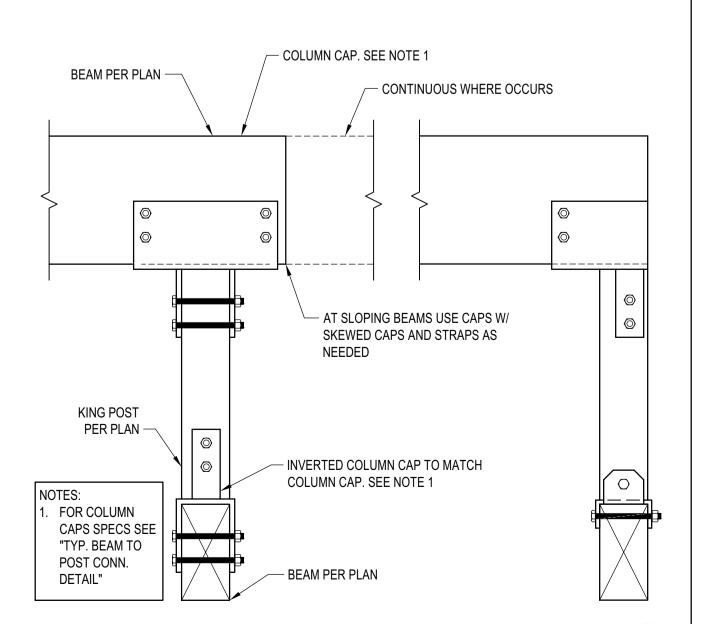
# STEEL COLUMN IN STUD WALL SCALE: N.T.S.

AS NEEDED FOR PROPER INSTALLATION OF FINISH MATERIAL









TYP. KING POST DETAIL

**BADGER RESIDENCE** 

OWNER:

121 BADGER LANE LLC P.O. BOX 14001-174 KETCHUM, ID 83340

PROJECT ARCHITECT:

**RO | ROCKETT DESIGN** 1031 W. MANCHESTER BLVD, UNIT 6 INGLEWOOD, CA 90301

SURVEYOR & CIVIL ENGINEER:

TEL: 213.784.0014

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P.O. BOX 1034 KETCHUM, ID 83340

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LANDSCAPE ARCHITECT:

TEL: : 208.726.5907

323 LEWIS STREET, SUITE N KETCHUM, ID 83340

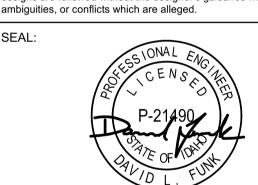
STRUCTURAL ENGINEER:

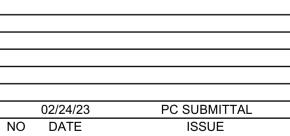
319 MAIN STREET EL SEGUNDO, CA 90245 TEL: 213.239 9700 LFA Job #22791



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PROJECT: **BADGER RESIDENCE** 

**121 BADGER LANE** KETCHUM, ID 83340

PROJECT NUMBER

DRAWING TITLE:

**TYPICAL DETAILS - WOOD** 

DRAWING NUMBER:



- WOOD STRUCTURAL PANEL

TYP. AT EXTERIOR

**INTERIOR** 

SINGLE

**INTERIOR** 

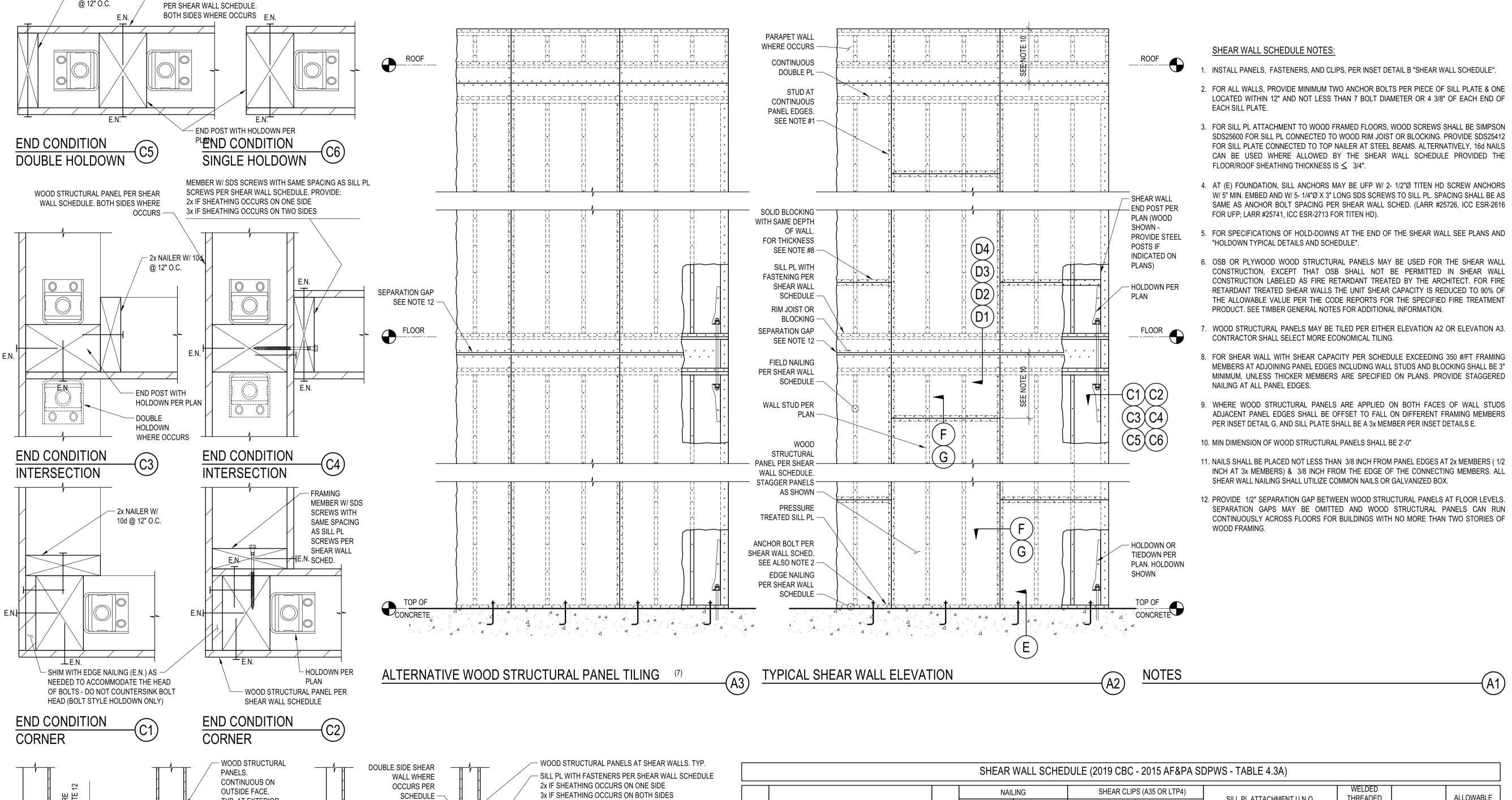
**DOUBLE** 

CONDITIONS

E.N.

**EXTERIOR** 

SINGLE



FLOOR/ROOF SHEATHING PER PLAN

SAWN LUMBER CONSTRUCTION:

DOUBLE PL IS 4 IN NOMINAL WIDTH

ENGINEERED LUMBER CONSTRUCTION:

ON PLAN:

CONTINUOUS RIM JOIST OR BLOCKING, AS APPLICABLE

DEPENDING ON JOIST DIRECTION, W/ SHEAR CLIPS -

A35 AND/OR LTP4 - PER SHEAR WALL SCHEDULE. TYP.

PROVIDE THE FOLLOWING UNLESS NOTED OTHERWISE

2x MIN. IF SHEATHING OCCURS ON ONE SIDE

3x IF SHEATHING OCCURS ON BOTH SIDES AND

DOUBLE PL IS 6 IN NOMINAL WIDTH OR LARGER 4x IF SHEATHING OCCURS ON BOTH SIDES AND

1 3/4"x LVL MIN. IF SHEATHING OCCURS ON ONE SIDE

3 1/2"x LVL MIN. IF SHEATHING OCCURS ON BOTH

- FLOOR/ROOF FRAMING SPECIFIED ELSEWHERE IN THIS

· WHEN LTP4 SHEAR CLIP ARE USED, SEE INSET DETAIL J

SET. JOISTS OR BLOCKING AS APPLICABLE. TYP.

CONTINUOUS DOUBLE TOP PLATE STUD WALL PER PLAN. TYP.

SINGLE OR DOUBLE STAGGERED AS

APPLICABLE

#### SHEAR CLIPS (A35 OR LTP4) NAILING THREADED **ALLOWABLE** SILL PL ATTACHMENT U.N.O. **INSET DETAIL "D1** ALLOWABLE WOOD STRUCTURAL PANELS SHEAR AT FIRE STUDS AT ALL LOCATIONS AND "D2" WOOD NAILERS. SHEAR (PLF) (PLYWOOD OR OSB U.N.O. ON THE PLANS) TREATED EDGE (E.N.) FIELD (F.N.) SIDES U.N.O. **EXTERIOR** FRAMED FLOOR CONCRETE WALLS (PPF) SEE INSET CONDITIONS ONLY DETAIL "H" ↑ 15/32" APA RATED SHEATHING SDS @ 16" O.C. OR 5/8"Ø A.B. 5/8"Ø @ NO CLIPS 234 (SPAN RATING 32/16) 16d @ 8" O.C. @ 48" O.C. 6" O.C. 12" O.C. 24" O.C. ↑ 15/32" APA RATED SHEATHING SDS @ 12" O.C. OR 5/8"Ø A.B. 5/8"Ø@ 1 @ 16" O.C. NO CLIPS / 2 \ (SPAN RATING 32/16) 4" O.C. 12" O.C. 16d @ 6" O.C. @ 48" O.C. 24" O.C. ↑ 15/32" APA RATED STRUCT-I SHEATHING (SPAN SDS @ 8" O.C. OR 5/8"Ø A.B. 10d @ 5/8"Ø @ 1 @ 12" O.C. NO CLIPS 459 16d @ 4" O.C. / 3 \ | RATING 32/16) 4" O.C. 12" O.C. @ 32" O.C. 24" O.C. ↑ 15/32" APA RATED STRUCT-I SHEATHING (SPAN SDS @ 6" O.C. OR 5/8"Ø A.B. 10d @ 5/8"Ø @ 1 @ 8" O.C. NO CLIPS 599 / 4 \ | RATING 32/16) 3" O.C. 16d @ 3" O.C. @ 24" O.C. 12" O.C. 24" O.C. ↑ 15/32" APA RATED STRUCT-I SHEATHING (SPAN 5/8"Ø A.B. SDS @ 4" O.C. OR 10d @ 5/8"Ø @ 1 @ 8" O.C. NO CLIPS 783 **RATING 32/16)** 2" O.C. 12" O.C. 16d @ 2 1/2" O.C. @ 20" O.C. 24" O.C. ↑ 15/32" APA RATED STRUCT-I SHEATHING (SPAN 5/8"Ø A.B. 10d @ 5/8"Ø @ 2 @ 8" O.C. 1 @ 8" O.C. SDS @ 3" O.C. 1,197 **RATING 32/16)** 3" O.C. 12" O.C. @ 16" O.C. 16" O.C. ↑ 15/32" APA RATED STRUCT-I SHEATHING (SPAN 2 ROWS SDS 5/8"Ø A.B. 10d @ 10d @ 5/8"Ø @ 2 @ 8" O.C. 1 @ 8" O.C. 1,566 / 7 \ | RATING 32/16) 2" O.C. 12" O.C. @ 12" O.C. 12" O.C.

TYPICAL SHEAR WALL SCHEDULE

# BADGER RESIDENCE

OWNER:

**121 BADGER LANE LLC** P.O. BOX 14001-174 KETCHUM, ID 83340

PROJECT ARCHITECT:

TEL: 213.784.0014

RO | ROCKETT DESIGN 1031 W. MANCHESTER BLVD, UNIT 6 INGLEWOOD, CA 90301

SURVEYOR & CIVIL ENGINEER:

GALENA ENGINEERING, INC. 317 NORTH RIVER STREET HAILEY, ID 83333

TEL: 208.788.1705
GEOTECHNICAL ENGINEER:

BUTLER ASSOCIATES, INC. P.O. BOX 1034

KETCHUM, ID 83340 TEL: 208.720.6432

LANDSCAPE ARCHITECT:

323 LEWIS STREET, SUITE N KETCHUM, ID 83340 TEL: : 208.726.5907

STRUCTURAL ENGINEER:

319 MAIN STREET EL SEGUNDO, CA 90245 TEL: 213.239 9700 LFA Job #22791

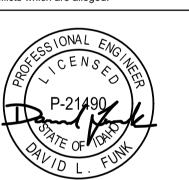


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NO DATE ISSUE

PROJECT:

BADGER RESIDENCE

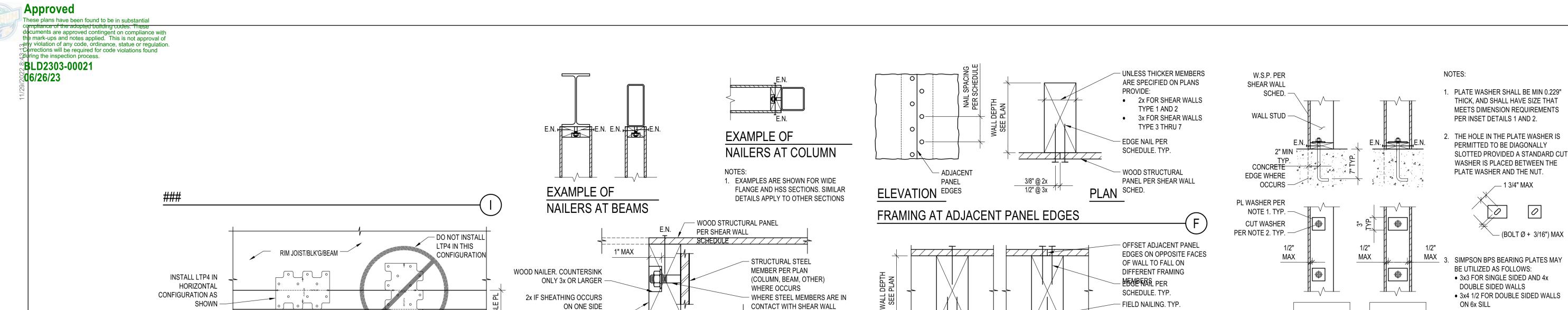
121 BADGER LANE KETCHUM, ID 83340

PROJECT NUMBER

#2201
DRAWING TITLE:

TYPICAL DETAILS - WOOD SHEAR WALLS

DRAWING NUMBER:



3x IF SHEATHING OCCURS

ON BOTH SIDES -

NAILERS @ STEEL MEMBERS AND SHEAR WALLS

PROVIDE NAILER WITH WELDED

SCHEDULE

THREADED STUDS PER SHEAR WALL

FRAMING AT DOUBLE SIDED WALL

SHEAR WALL ELEVATION SCHEDULE AND DETAILS

SCALE: N.T.S.

LTP 4 INSTALL. - ELEVATION VIEW

# BADGER RESIDENCE

OWNER:

121 BADGER LANE LLC
P.O. BOX 14001-174

KETCHUM, ID 83340

PROJECT ARCHITECT:

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KETCHUM, ID 83340 TEL: 208.720.6432

LANDSCAPE ARCHITECT:

BYLA 323 LEWIS STREET, SUITE N KETCHUM, ID 83340

\_STRUCTURAL ENGINEER:

LFA
319 MAIN STREET
EL SEGUNDO, CA 90245
TEL: 213.239 9700
LFA Job #22791

TEL: : 208.726.5907

1. SINGLE SIDED

SILL PLATE CONNECTION TO CONCRETE

WOOD STRUCTURAL PANEL

PER SHEAR WALL SCHED.

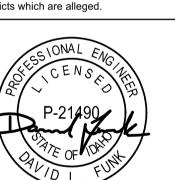
2. DOUBLE SIDED



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SEAL:



02/24/23PC SUBMITTALNO DATEISSUE

PROJECT:

BADGER RESIDENCE

121 BADGER LANE KETCHUM, ID 83340

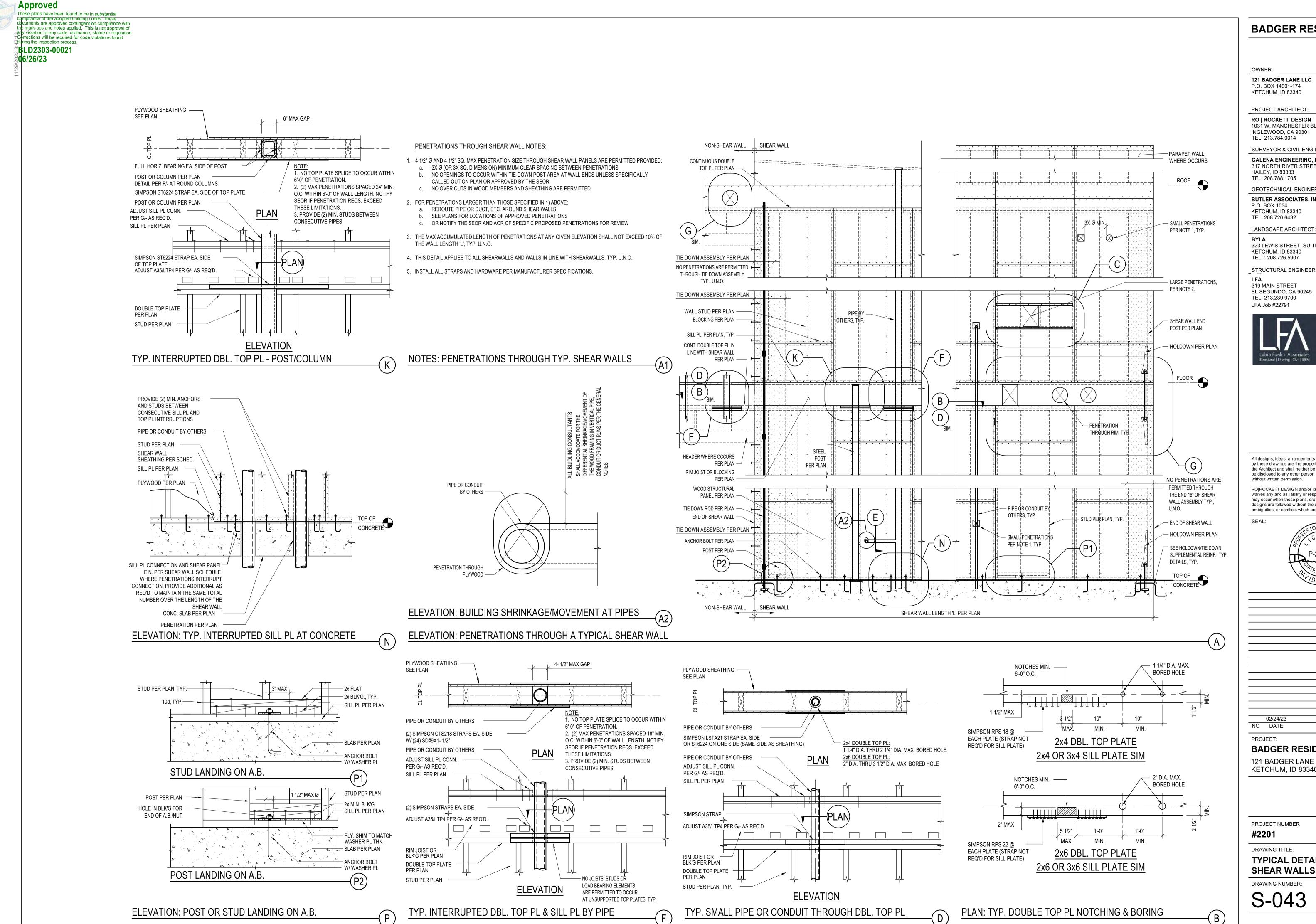
PROJECT NUMBER

#2201

DRAWING TITLE:

TYPICAL DETAILS - WOOD SHEAR WALLS

DRAWING NUMBER:



# **BADGER RESIDENCE**

OWNER:

121 BADGER LANE LLC P.O. BOX 14001-174 KETCHUM, ID 83340

PROJECT ARCHITECT:

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SURVEYOR & CIVIL ENGINEER:

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TEL: 208.720.6432 LANDSCAPE ARCHITECT:

323 LEWIS STREET, SUITE N KETCHUM, ID 83340

STRUCTURAL ENGINEER

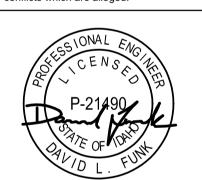
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SEAL:



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**BADGER RESIDENCE** 

121 BADGER LANE KETCHUM, ID 83340

PROJECT NUMBER #2201

DRAWING TITLE: **TYPICAL DETAILS - WOOD** 

DRAWING NUMBER:

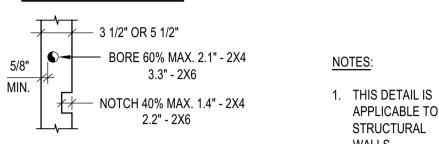


documents are approved contingent on compliance with the mark-ups and notes applied. This is not approval of carly violation of any code, ordinance, statue or regulation. Corrections will be required for code violations found guring the inspection process. **BLD2303-00021 06/26/23** 

— LOCATE PENETRATIONS BETWEEN STUDS AND FLOOR/ROOF FRAMING HOLDOWN OR TIEDOWN RUN SILL PL CONN. PER SHEAR WALL SCHEDULE. WHERE PENETRATIONS INTERRUPT CONN., PER PLAN PROVIDE ADDITIONAL AS REQ'D TO MAINTAIN THE SAME TOTAL NUMBER OVER THE LENGTH OF JOIST BEYOND WHERE OCCURS, TYP. (DO NOT LOCATE THE SHEAR WALL -30" MIN. ₩.N.O. BRACED BY THE RIM OR BLOCKING PER PLAN) 10" MAX RIM JOIST OR BLOCKING — DO NOT CUT/PENETRATE A35/LTP4 PER SHEAR WALL SCHEDULE. WHERE HOLDOWN/TIEDOWN END POST PENETRATIONS INTERRUPT CLIPS, PROVIDE ADDITIONAL AS REQ'D TO MAINTAIN THE SAME - 10"Ø MAX - DO NOT INTERUPT HOLDOWN/TIEDOWN TOTAL NUMBER OVER THE LENGTH OF THE ROD AND POST ASSEMBLIES, TYP. SHEAR WALL OPENING IN RIM. SEE ARCH/MEP DRAWINGS. DO NOT REMOVE MORE THAN 40% OF RIM JOIST WITHIN SHEAR NOTES: WALL LENGTH

NOTCH AND BORING NOT TO OCCUR IN SAME STUD TYP. ● BORE 60% MAX. 2.1" - 2X4 3.3" - 2X6

# DOUBLE STUDS-BEARING OR NOT



APPLICABLE TO ALL STRUCTURAL OBTAIN SEOR'S WRITTEN APPROVAL. WALLS

DOUBLE 2x BLK'G TYP. — SEE PLAN FOR SHEAR WALL — DOUBLE TOP PLATE - PERFORATION IN SHEAR 20" MIN. TYP. 14" MAX. WALL. SEE NOTE 1 SILL PLATE PER PLAN PROVIDE PLYWOOD - CMSTC16 STRAP @ TOP & BOUNDARY NAILING AROUND OCCURS BOTTOM OF OPENING MIN., U.N.O. OPENING

- 1. ACCEPTABLE TO PROVIDE PERFORATIONS IN SHEAR WALL PER THIS DETAIL ONLY WHERE NOTED ON PLANS, OR
- 2. AT SHEARWALLS W/ PLYWOOD ON BOTH SIDES PROVIDE STRAPS EA. SIDE OF WALL

# ELEVATION: LARGE OPENINGS IN SHEAR WALLS

OWNER: 121 BADGER LANE LLC P.O. BOX 14001-174 KETCHUM, ID 83340 PROJECT ARCHITECT: RO | ROCKETT DESIGN 1031 W. MANCHESTER BLVD, UNIT 6 INGLEWOOD, CA 90301 TEL: 213.784.0014 SURVEYOR & CIVIL ENGINEER: GALENA ENGINEERING. INC. 317 NORTH RIVER STREET HAILEY, ID 83333 TEL: 208.788.1705 GEOTECHNICAL ENGINEER: **BUTLER ASSOCIATES, INC.** P.O. BOX 1034 KETCHUM, ID 83340 ROUND OPENING WHERE TEL: 208.720.6432 LANDSCAPE ARCHITECT: 323 LEWIS STREET, SUITE N

TEL: : 208.726.5907

KETCHUM, ID 83340

STRUCTURAL ENGINEER: LFA

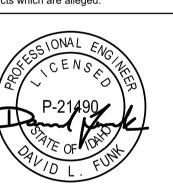
BADGER RESIDENCE

319 MAIN STREET EL SEGUNDO, CA 90245 TEL: 213.239 9700 LFA Job #22791



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02/24/23 PC SUBMITTAL NO DATE

PROJECT:

**BADGER RESIDENCE** 

121 BADGER LANE KETCHUM, ID 83340

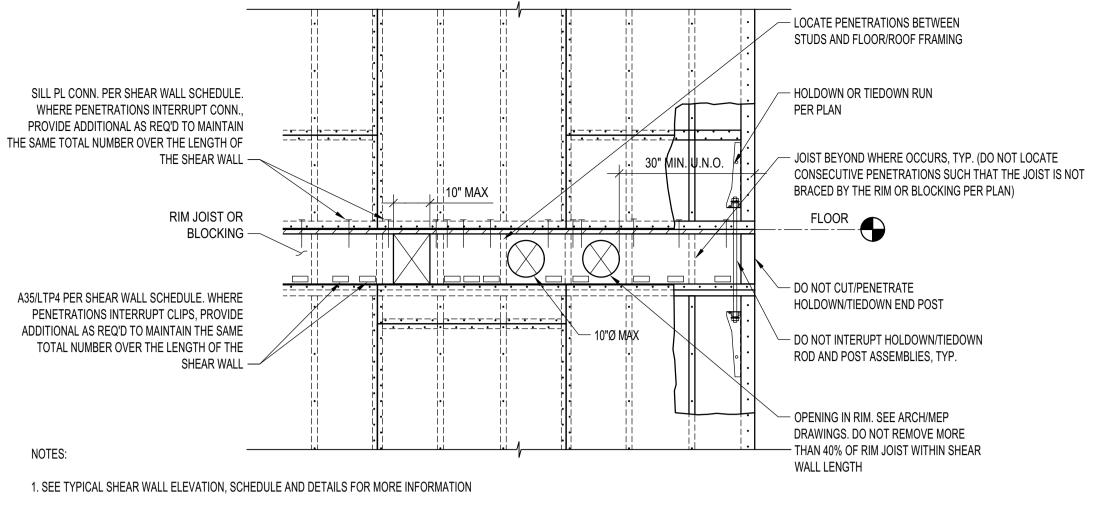
PROJECT NUMBER

#2201 DRAWING TITLE:

**TYPICAL DETAILS - WOOD** 

**SHEAR WALLS** 

DRAWING NUMBER:



3 1/2" OR 5 1/2" —— BORE 40% MAX. 1.4" - 2X4 2.2" - 2X6 NOTCH 25% MAX. 7/8" - 2X4 1.4" - 2X6 **BEARING STUDS** NON-BEARING STUDS

SECTION: TYP. STUD NOTCHING

ELEVATION: TYPICAL PENETRATIONS IN RIM JOIST/BLOCKING

PENETRATIONS AND ASSEMBLY INTERRUPTIONS AT A TYPICAL SHEAR WALL



Corrections will be required for code violations found during the inspection process. SHEAR WALL END SECOND HOLDOWN WHERE OCCURS. HOLDOWN PER PLAN. STAGGER AS NEEDED TO FASTENERS PER HOLDOWN AVOID CONFLICT WITH SCHED. NOT SHOWN ROD PER HOLDOWN PER PLAN -HOLDOWN **FLOOR** SHEATHING - SHEAR WALL END POST BLOCK'G TO MATCH POST HOLDOWN ANCHOR ROD SIZE PER HOLDOWN SCHEDULE FRAMING PER PLAN HOLDOWN PER PLAN 1/16" OVERSIZE HOLE THRU FRAMING HOLDOWN SHEAR WALL END WHERE OCCURS POST PER PLAN TO MATCH **HOLDOWN ABOVE** BEAM CONSTRUCTION SIDE VIEW SECTION PLAN SYMBOL HOLDOWN AT WOOD FLOOR HOLDOWN WITH SCREWS SCALE: N.T.S. SCALE: N.T.S.

MARK (PER PLAN)	GRADE 36 ROD DIAM. "Da"	PL WASHER T (IN) SIDE (IN)	HOLDOWN	FASTENER	MIN POST SIZE	CAPACITY	CAPACITY WITH 25% REDUCTION PER CITY OF LA
2	5/8"	3/8   1 1/2	HDU2	6-SDS25212	4x4	3,075 LBS	2,306 LBS
4	5/8"	3/8   1 1/2	HDU4	10-SDS25212	4x4	4,565 LBS	3,424 LBS
5	5/8"	3/8   1 1/2	HDU5	14-SDS25212	4x6	5,670 LBS	4,253 LBS
8	7/8"	3/8   2	HDU8	20-SDS25212	4x6 OR 6x6	7,870 LBS	5,903 LBS
11	1"	3/8   2	HDU11	30-SDS25212	4x6 OR 6x6	9,535 LBS	7,151 LBS
14	1"	3/8   2	HDU14	36-SDS25212	6x6	14,445 LBS	10,834 LBS
12	1 1/8"	3/8   2 1/2	HD12	4-1"Ø BOLTS	6x6	15,510 LBS	11,633 LBS
19	1 1/4"	3/8   3	HD19	5-1"Ø BOLTS	4x8 OR 6x8	19,360 LBS	14,520 LBS
2-14	2-1"	3/8   2	DOUBLE HDU14	2 x 36-SDS25212	6x6	28,780 LBS	21,585 LBS

## NOTES:

- 1. HDU SCREW-STYLE HOLDOWNS ARE PER ICC ESR 2330. BOLT-STYLE HOLD DOWNS PER IAPMO ESR 0143
- 2. POST SIZE SHOWN ON THE SCHEDULE ARE MINIMUM SIZES. IF LARGER SIZES

ARE SPECIFIED ON THE PLANS THE SIZES SHOWN ON PLANS SHALL BE USED

3. ROD SHALL BE A36 ALL THREADED RODS

**GRADE 36** 

ROD DIAM.

"Da"

3/8 1 1/2

3/8 | 1 1/2

3/8 | 1 1/2

3/8 2

3/8 2

3/8 2 1/2

MARK

(PER PLAN)

- 4. UNLESS MORE STRINGENT REQUIREMENTS ARE SPECIFIED IN HOLDOWN DETAILS, INSTALL HOLDOWNS 1/2 INCH MINIMUM ABOVE THE PLATE TO ALLOW FOR TIGHTENING OF ANCHOR BOLT. THE HOLD DOWN SHALL BE INSTALLED TIGHT TO THE POST WITHOUT FILLERS OR DAPPING. DO NOT BEND HOLD DOWN ANCHORS.
- 5. NUT AT HOLDOWN THREADED ROD SHOULD BE FINGER-TIGHT PLUS 1/2 TURN WITH A HAND WRENCH. DO NOT OVER-TORQUE THE NUT. DO NOT USE IMPACT WRENCHES.
- 6. HOLDOWN HARDWARE MUST BE SECURED IN PLACE PRIOR TO FOUNDATION INSPECTION/OBSERVATION
- 7. HOLDOWNS MUST BE INSPECTED/OBSERVED BEFORE COVERING WITH SHEATHING.

# HOLDOWN SCHEDULE AND NOTES

SCALE: N.T.S.

HOLDOWN SCHEDULE

323 LEWIS STREET, SUITE N KETCHUM, ID 83340 TEL: : 208.726.5907

HOLDOWN ANCHOR IN CMU WALL OR STEM

EDGE/FIELD 18" NA 18" NA

EDGE/FIELD 21" NA 18" NA

DGE/FIELD 22" NA 18" NA

36" 7" 21" EDGE/FIELD 27" NA 24" NA

EDGE/FIELD 42" NA 27" NA corner 69" 12" 42" 12"

48" 7" 30" 7"

T (IN) | SIDE (IN) | INSTALL | H MIN | C MIN | H MIN | C MIN

8" CMU WALL | 12" CMU WALL

18" NA 18" NA

18" 7" 18" 7"

18" 7" 18" 7"

18" 7" 18" 7"

18" 7" 18" 7"

21" 7" 18" 7"

STRUCTURAL ENGINEER:

**BADGER RESIDENCE** 

OWNER:

121 BADGER LANE LLC

P.O. BOX 14001-174

KETCHUM, ID 83340

PROJECT ARCHITECT:

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SURVEYOR & CIVIL ENGINEER:

**GALENA ENGINEERING, INC.** 

317 NORTH RIVER STREET

GEOTECHNICAL ENGINEER:

**BUTLER ASSOCIATES, INC.** 

LANDSCAPE ARCHITECT:

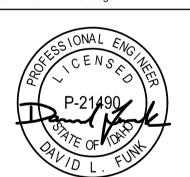
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HOLDOWN PER WALL RETURN SECOND WHERE PLAN W/ ANCHOR **HOLDOWN PER** OCCURS **BLOCKING** PER HOLDOWN PLAN WHERE **UNDER POST** SCHED. OCCURS WITH SAME SIZE POST PER PLAN WOOD POST PER OF POST -**HOLDOWN PER** PLAN CONCRETE WALL PER PLAN FRAMING PER PLAN-PL WASHER PER -HOLDOWN ANCHOR-SCHED. # CMU WALL PER

CORNER

**FRAMING** HOLDOWN ANCHOR IN CMU WALL OR STEM WALL

POST SITTING ON

NOT SHOWN FOR

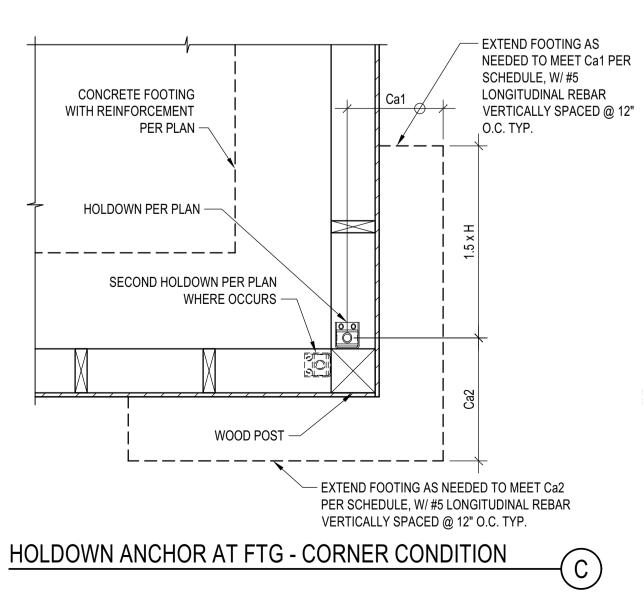
POST SITTING ON

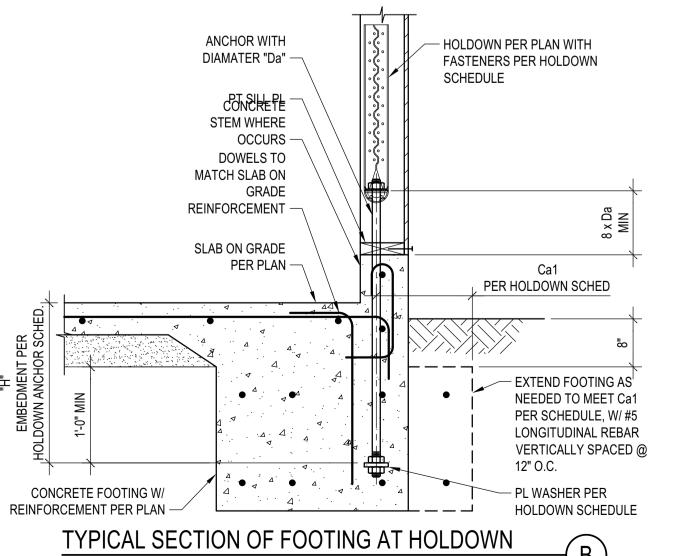
14 FIELD/EDGE

SCHEDULE	
HOLDOWN ANCHOR IN CMU WALL OR STEM	

CONCRETE FOOTING WITH REINFORCEMENT PER PLAN	1	EXTEND FOOTING AS NEEDED TO MEET Ca1 PER SCHEDULE, W/ #5 LONGITUDINAL REBAR VERTICALLY SPACED @ 12" O.C. TYP.
SECOND HOLDOWN PER PLAN WHERE OCCURS		
WOOD POST		
HOLDOWN PER PLAN		
HOLDOWN ANCHOR AT	FTG - EDGE	L CONDITION
	I IO - LDOL	

HOLDOWN ANCHOR IN CONCRETE FOOTING





MARK	GRADE 36 ROD DIAM.	PL W	ASHER	HOLDOWN ANCHOR IN CONCRETE FOOTING				
(PER PLAN)	"Da"	T (IN)	SIDE (IN)	INSTALL.	H MIN	Ca1 MIN	Ca2 MIN	ANCHOR REINF. "AR"
2	5/8"	3/8	1 1/2	EDGE/FIELD	12"	4"	NA	NR
	3/6	3/6	1 1/2	CORNER	12"	4"	4"	NR
4	5/8"	3/8	1 1/2	EDGE/FIELD	12"	4"	NA	NR
4	3/6	3/0	1 1/2	CORNER	12"	4"	4"	NR
5	5/8"	3/8   1 1/2	1 1/2	EDGE/FIELD	12"	4"	NA	NR
٦			1 1/2	CORNER	12"	4"	4"	NR
8	7/8"	3/8	2	EDGE/FIELD	16"	4"	NA	NR
0				CORNER	20"	4"	8"	NR
11	1"	3/8	2	EDGE/FIELD	18"	4"	NA	NR
	'	3/0	2	CORNER	24"	4"	7"	NR
14	1"	3/8	2	EDGE/FIELD	18"	4"	NA	NR
[14]	'			CORNER	24"	4"	7"	NR
12	1 1/8"	3/8   2 1/2	EDGE/FIELD	20"	4"	NA	NR	
			Z 1/Z	CORNER	24"	12"	12"	NR
19	1 1/4"	3/8   :	3	EDGE/FIELD	24"	4"	NA	NR
			J J	CORNER	24"	15"	15"	NR
2-14	2-1"	3/8   2		EDGE/FIELD	24"	12"	NA	NR
			CORNER	24"	20"	20"	NR	

SCHEDULE	<b>=</b>
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HOLDOWN ANCHOR IN CONCRETE FOOTING

PROJECT NUMBER #2201 DRAWING TITLE:

**BADGER RESIDENCE** 

02/24/23

121 BADGER LANE

KETCHUM, ID 83340

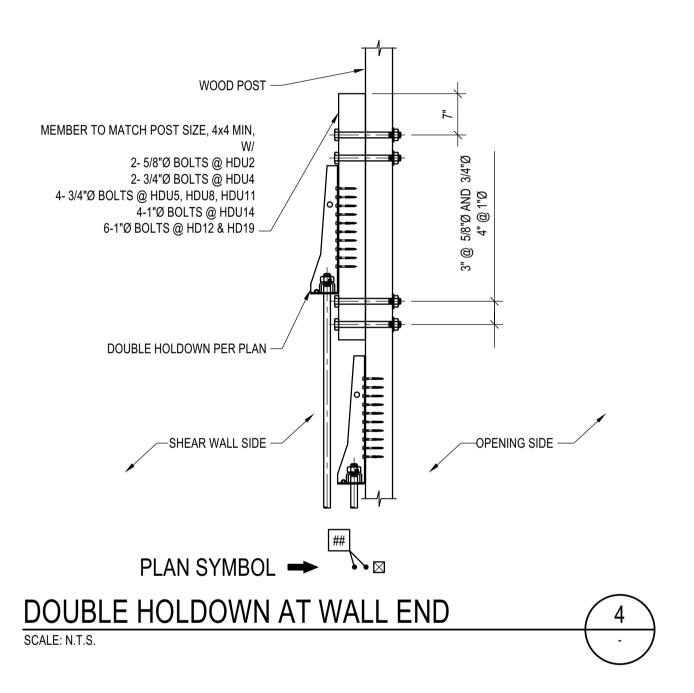
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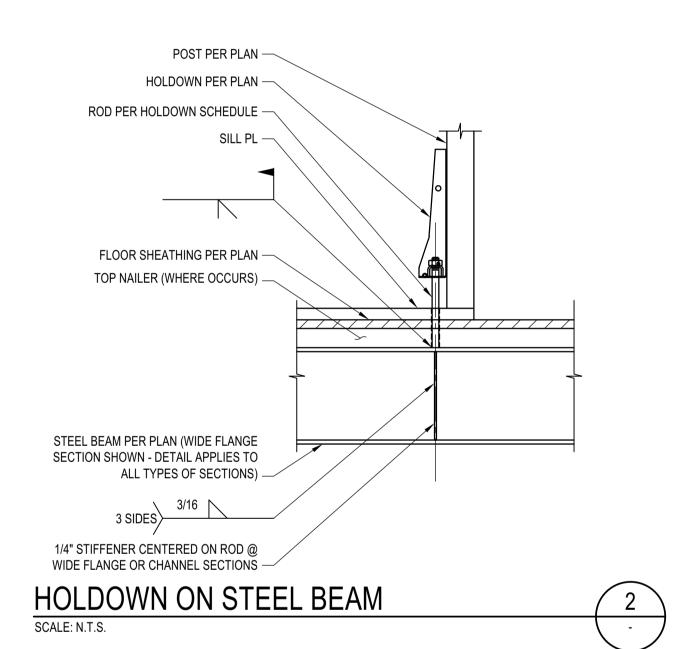
PROJECT:

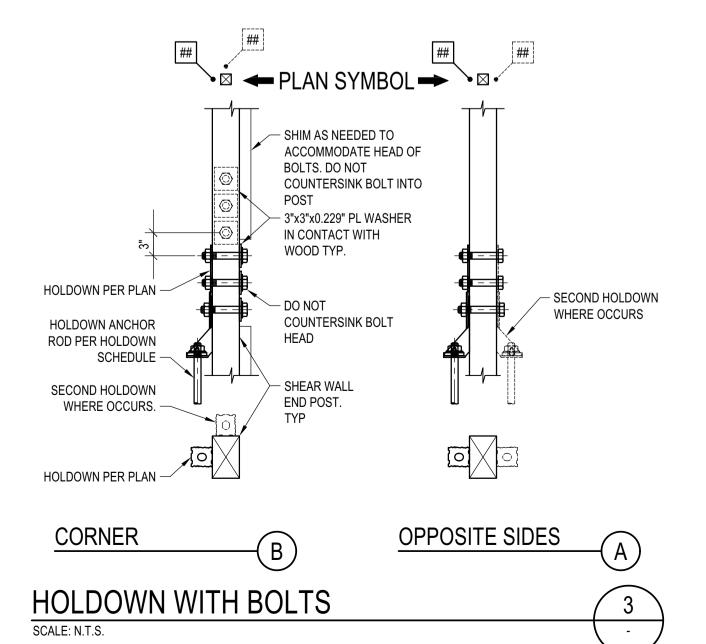
**TYPICAL DETAILS -HOLDOWNS** 



HOLDOWN PER PLAN WITH FASTENERS PER HOLDOWN SCHEDULE. FASTENERS NOT 6x BLK'G W/ 3/4"Ø THRU BOLTS. NUMBER OF THRU BOLTS SHALL BE: (4) @ HOLDOWN TYPE 2, 4 - SHEAR WALL END ROD PER HOLDOWN SCHEDULE -• (6) @ HOLDOWN TYPE 5, 8 POST PER PLAN • (8) @ HOLDOWN TYPE 11 1/16" OVERSIZE HOLE THRU FRAMING -• (10) @ HOLDOWN TYPE 14 • (12) @ HOLDOWN TYPE 12 3" TYPTYP, – BEAM PER PLAN—  $^{ackslash}$  BEAM PER PLAN-TO MATCH HOLDOWN WOOD FLOOR FRAMING — PL WASHER PER —ABOVE BEAM — NOT SHOWN HOLDOWN SCHED. — TO MATCH CENTER HOLDOWN HOLDOWN — STANDARD WASHER ROD ON BEAM AS ABOVE BEAM POST PER SECTION SECTION HOLDOWN LANDING ON WOOD BEAM







# BADGER RESIDENCE

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TEL:: 208.726.5907

LFA Job #22791

BYLA 323 LEWIS STREET, SUITE N KETCHUM, ID 83340

LANDSCAPE ARCHITECT:

STRUCTURAL ENGINEER:

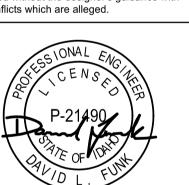
LFA 319 MAIN STREET EL SEGUNDO, CA 90245 TEL: 213.239 9700



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SEA



02/24/23 PC SUBMITTAL
NO DATE ISSUE

PROJECT:

BADGER RESIDENCE

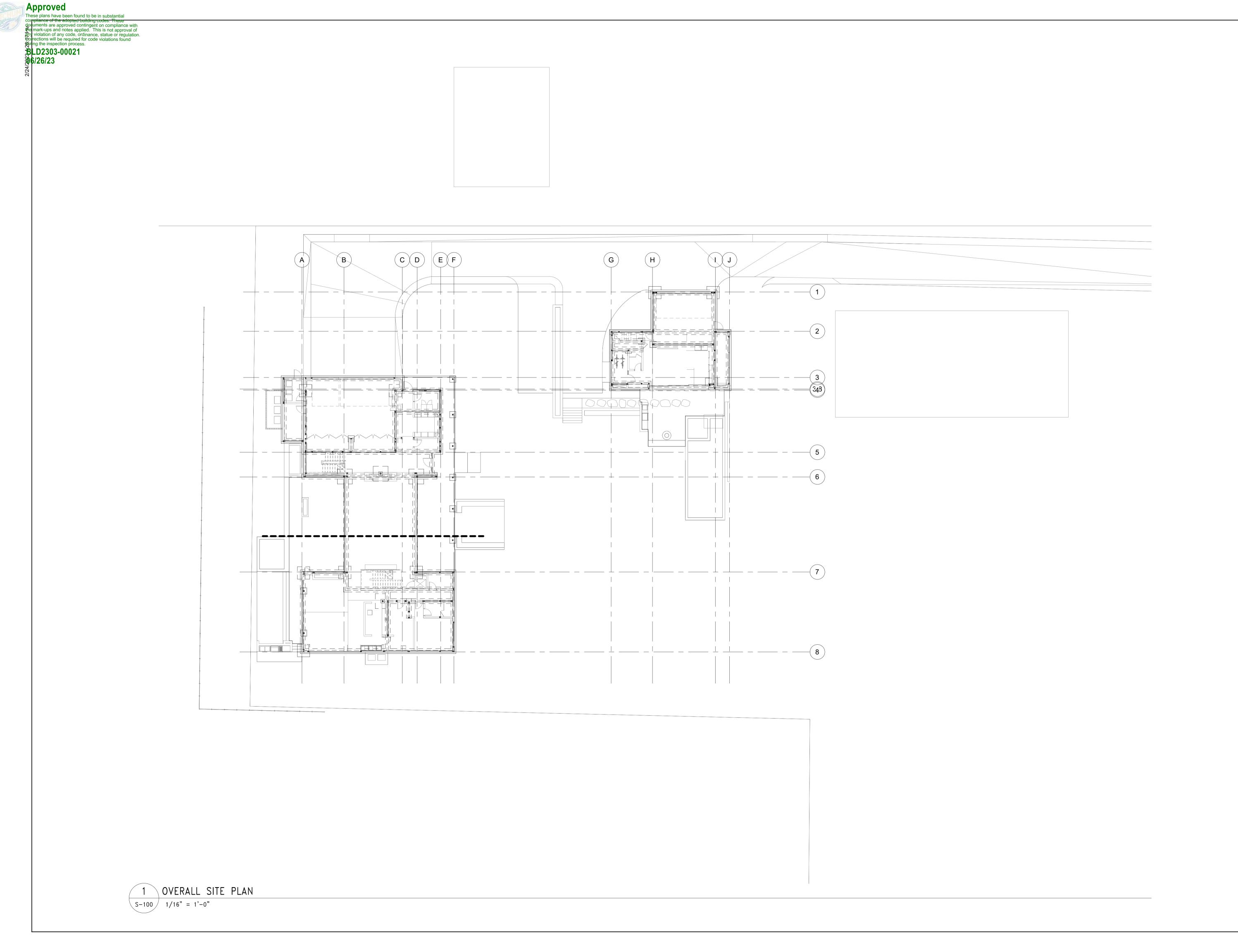
121 BADGER LANE KETCHUM, ID 83340

PROJECT NUMBER #2201

DRAWING TITLE:

TYPICAL DETAILS - HOLDOWNS

DRAWING NUMBER:



## BADGER RESIDENCE

OWNER:

**121 BADGER LANE LLC** P.O. BOX 14001-174

KETCHUM, ID 83340

PROJECT ARCHITECT:

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SURVEYOR & CIVIL ENGINEER:

GALENA ENGINEERING, INC. 317 NORTH RIVER STREET HAILEY, ID 83333 TEL: 208.788.1705

GEOTECHNICAL ENGINEER:

BUTLER ASSOCIATES, INC. P.O. BOX 1034 KETCHUM, ID 83340

TEL: 208.720.6432

LANDSCAPE ARCHITECT:

BYLA 323 LEWIS STREET, SUITE N KETCHUM, ID 83340 TEL:: 208.726.5907

STRUCTURAL ENGINEER:

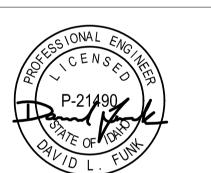
319 MAIN STREET EL SEGUNDO, CA 90245 TEL: 213.239 9700 LFA Job #22791



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SEAL:



02/24/23 NO DATE

ISSUE

PC SUBMITTAL

PROJECT:

BADGER RESIDENCE

121 BADGER LANE KETCHUM, ID 83340

PROJECT NUMBER

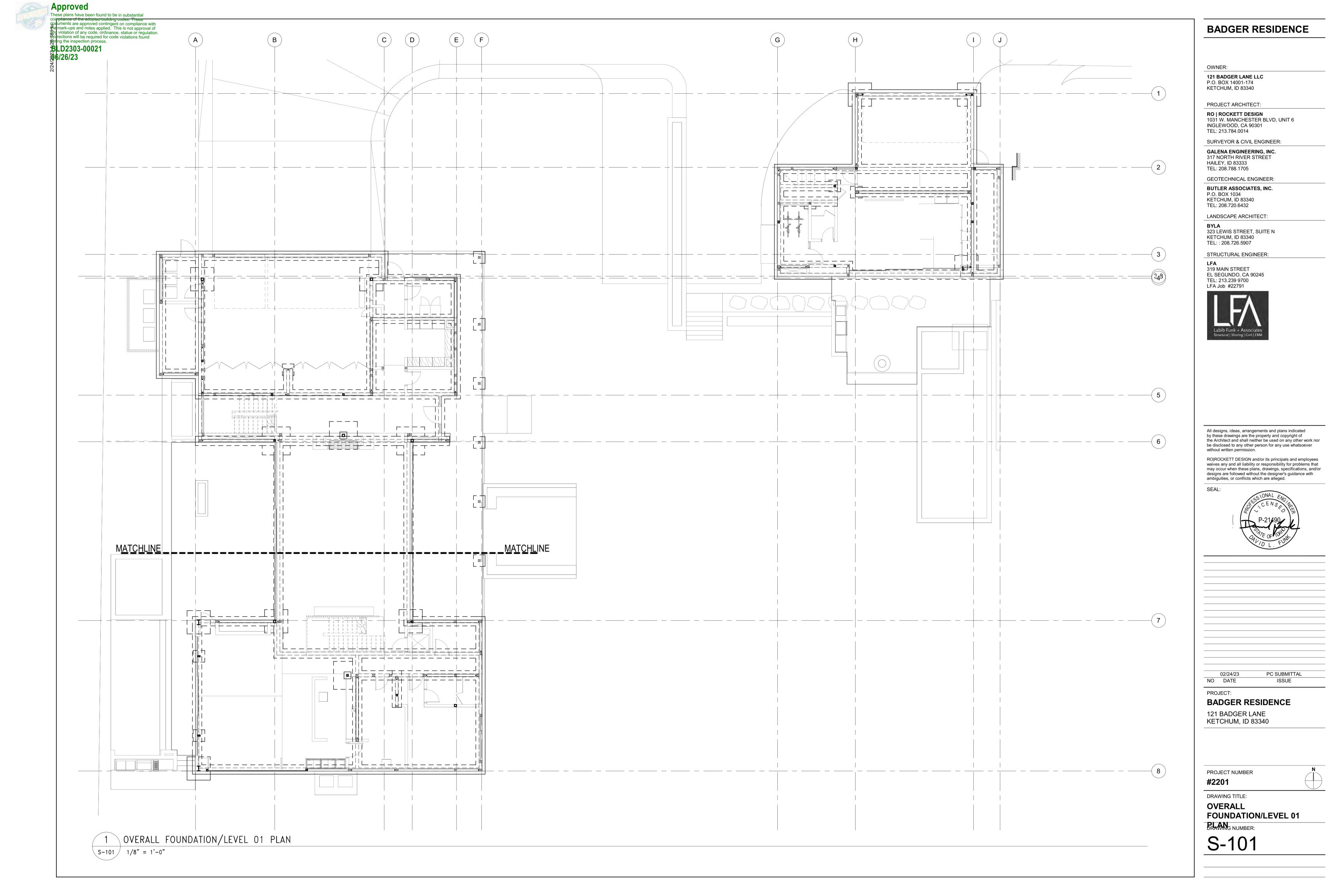
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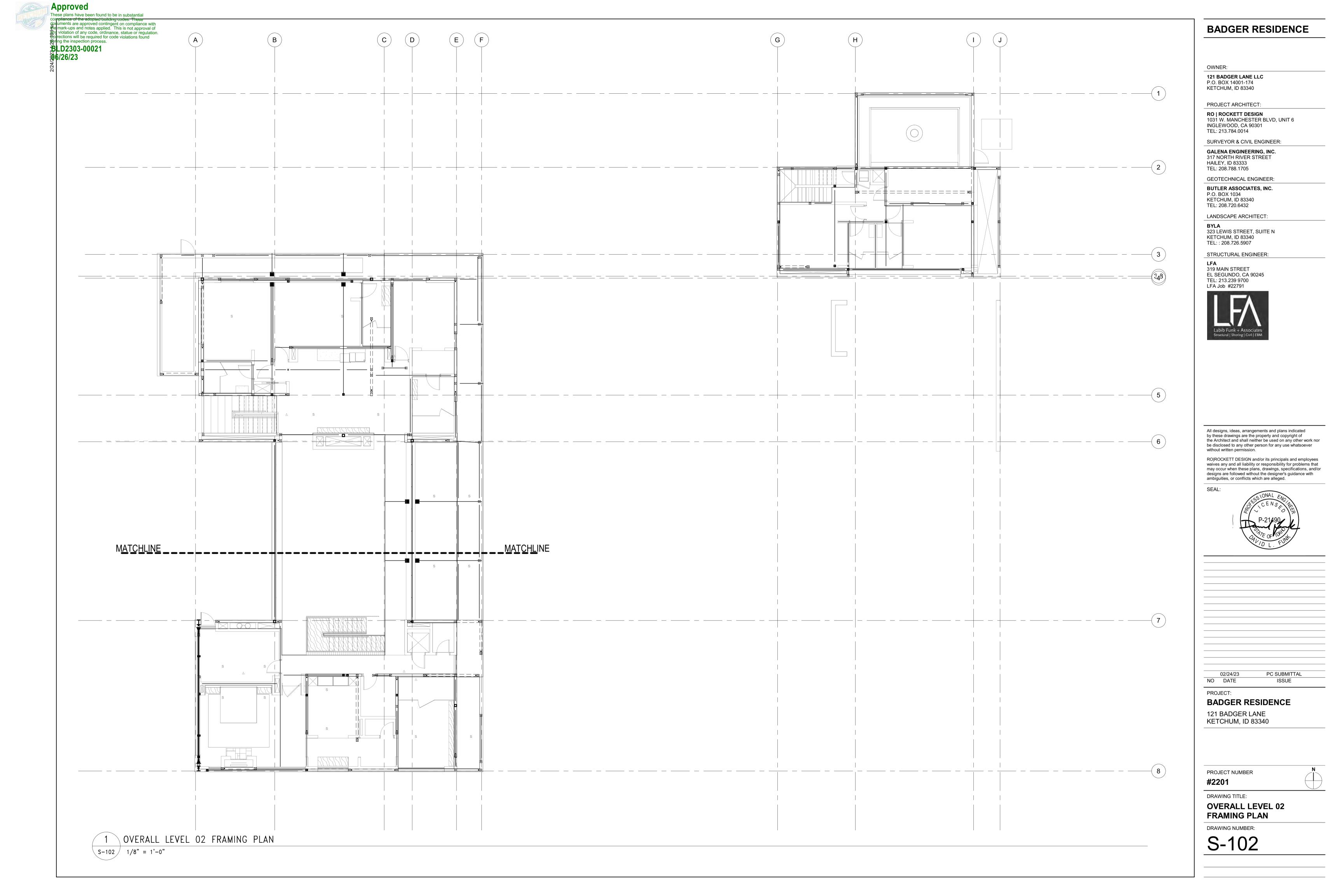
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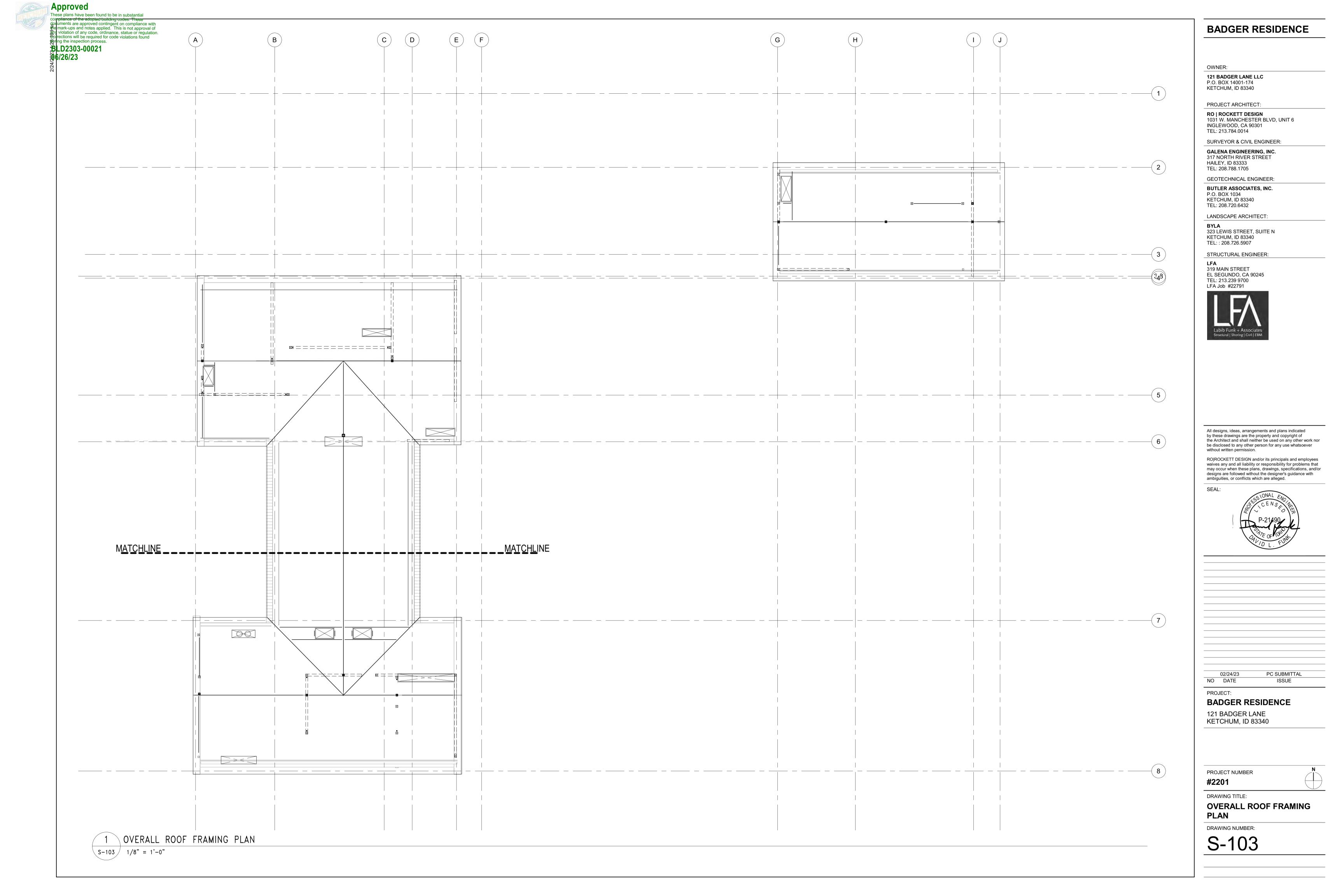
OVERALL SITE PLAN

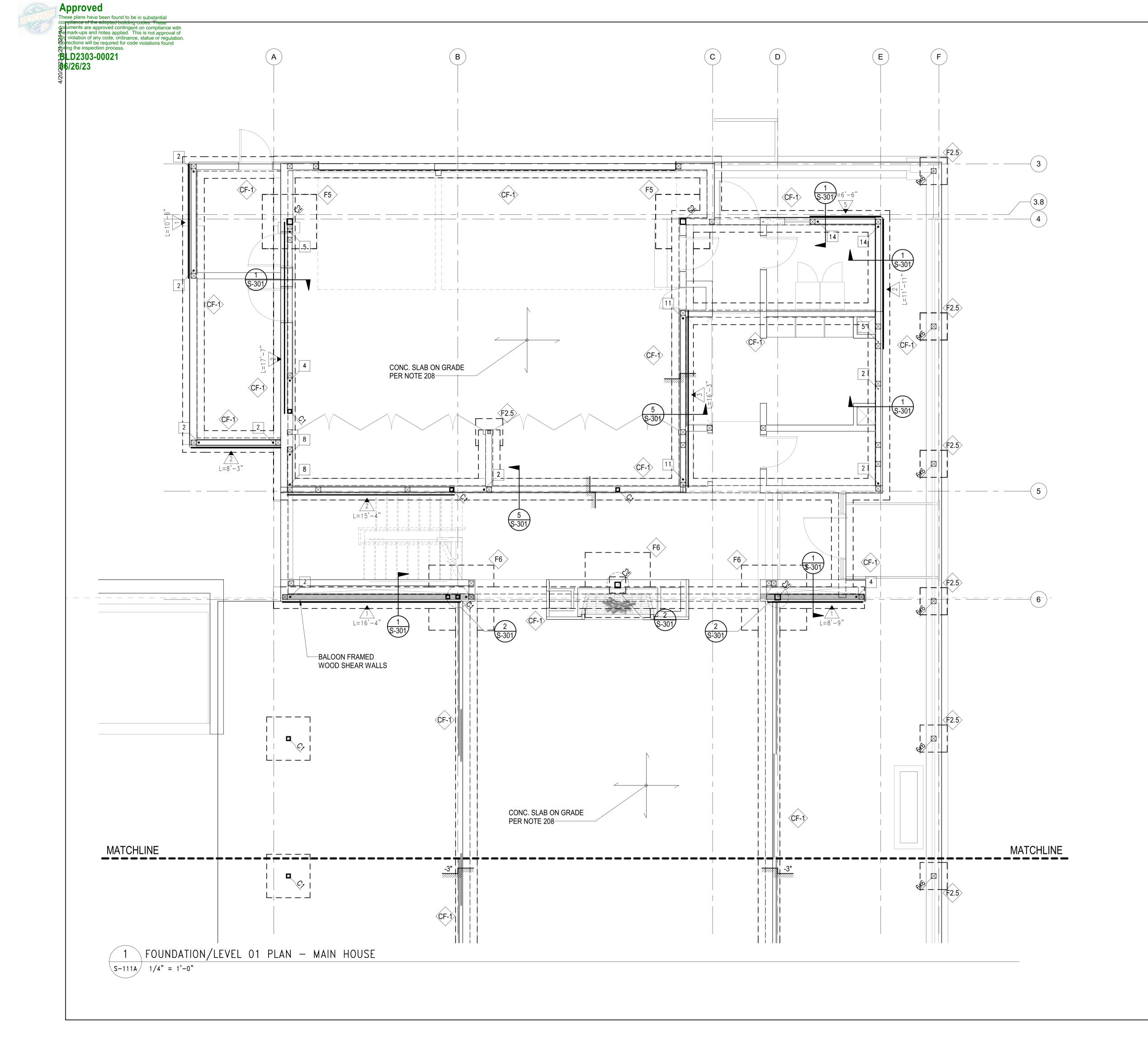
DRAWING NUMBER:

S-100









- 101. GENERAL NOTES AND TYPICAL DETAILS SHEETS: SEE S0.01 THRU S0.62 SHEETS. GENERAL NOTES & TYPICAL DETAILS APPLY TO ALL PARTS OF THE WORK EXCEPT WHERE SPECIFICALLY DETAILED OR U.N.O. ON THE FLOOR PLANS AND PLAN NOTES.
- 102. VERIFY ALL DIMENSIONS, ELEVATIONS, SLAB EDGES, SLAB DEPRESSIONS, SLAB OPENINGS, CURBS, FOOTING, PENETRATIONS, WALL OPENINGS WITH ARCHITECTURAL, MECHANICAL, PLUMBING, ELECTRICAL & CIVIL DRAWINGS.
- 103. FOR ALL DIMENSIONS & ROOF SLOPES S.A.D.
- 104. NON-BEARING WALLS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. FOR NON-BEARING WALL LOCATIONS S.A.D.

### **PLAN NOTES - FOUNDATION:**

- 201. ALL GRADING & FOUNDATION WORK MUST BE OBSERVED AND APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF STEEL REINFORCEMENT AND POURING CONCRETE.
- 202. RECOMMENDED MATERIAL IS NATIVE SOIL BELOW THE FROST LINE.
- 203. IF FOR LIMITS AND EXTENT OF OVER EXCAVATION SEE CIVIL DRAWINGS.
- 204. U.N.O. TOP OF CONC. FOOTING ELEVATION SHALL BE 32" BELOW THE LOWEST GRADE. FOR TOP OF SLAB ELEVATION SEE ARCH'L DRAWINGS.
- 205. ALL HOLDOWN HARDWARE IS TO BE SECURED IN PLACE PRIOR TO FOUNDATION INSPECTION. HOLDOWNS SHALL BE RE-TIGHTENED JUST PRIOR TO COVERING THE WALL FRAMING PLATE WASHERS ARE REQUIRED FOR ALL HOLDOWNS.
- 206. FOR SLAB ON GRADE SUB-GRADE PREPARATION SEE SOILS REPORT.
- 207. FOR VAPOR BARRIER AT INTERIOR SPACES S.A.D. SPECIFICATIONS/DRAWINGS.
- 208. CONCRETE SLAB ON GRADE: 5" THICK, REINFORCED WITH #5 BARS AT 16" Ø.C. EACH WAY.
- 209. THE BUILDING HAS BEEN DESIGNED TO BE ANCHORED INTO THE BEARING MATERIAL PER THE DESIGN REQUIREMENTS OF ASCE 24-14.
- 210. THE ONLY STRUCTURAL MATERIAL OCCURING BELOW THE B.F.E. IS REINFORCED CONCRETE, WHICH IS WITHIN THE ACCEPTABLE MATERIALS LIST FOR FLOORS AND WALLS IN TABLE 2 OF THE FEMA TECHNICAL BULLETIN.

#### **SYMBOLS - FOUNDATION**

INDICATES CHANGE IN FLOOR ELEVATION

INDICATES CONCRETE WALL

INDICATES CONCRETE WALL BELOW

→ INDICATES CONCRETE FOOTING

S----S INDICATES STEPPED FOOTING PER 18/S1.01

\_\_\_ GB-#\_\_\_\_\_ INDICATES CONCRETE GRADE BEAM PER SCHEDULE THIS SHEET

INDICATES CONCRETE FOOTING PER SCHEDULE THIS

INDICATES CONCRETE COLUMN PER SCHEDULE #/##

GB-# INDICATES CONCRETE GRADE BEAM PER SCHEDULE THIS SHEET

INDICATES WOOD WALLS W/ 6x6 STUDS @ 16" OC MIN

FOOTING SCHEDULE			
MARK	SIZE AND REINFORCEMENT		
⟨CF1⟩	2'-0" WIDE x 12" THICK W/ CONCRETE FOOTING W/ 2-#5 T&B		
F2.5	2'-6" SQUARE x 18" THICK W/ 4-#5 T&B EACH WAY		
F5	5'-0" SQUARE x 18" THICK W/ 6-#5 T&B EACH WAY		
F6	6'-0" SQUARE x 18" THICK W/ 6-#6 T&B EACH WAY		

COLUMN SCHEDULE			
MARK	COLUMN TYPE AND SHAPE	NOTES	
C1	HSS4x4x3/8	-	
C2	HSS6x6x1/2	-	

### **BADGER RESIDENCE**

OWNER:

121 BADGER LANE LLC P.O. BOX 14001-174

KETCHUM, ID 83340

PROJECT ARCHITECT:

RO | ROCKETT DESIGN 1031 W. MANCHESTER BLVD, UNIT 6 INGLEWOOD, CA 90301

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GALENA ENGINEERING, INC. 317 NORTH RIVER STREET HAILEY, ID 83333 TEL: 208.788.1705

GEOTECHNICAL ENGINEER: **BUTLER ASSOCIATES, INC.** 

P.O. BOX 1034 KETCHUM, ID 83340 TEL: 208.720.6432

LANDSCAPE ARCHITECT:

323 LEWIS STREET, SUITE N KETCHUM, ID 83340 TEL: : 208.726.5907

STRUCTURAL ENGINEER:

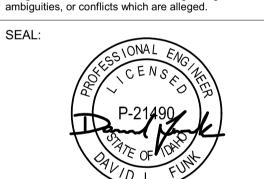
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PROJECT: BADGER RESIDENCE 121 BADGER LANE

02/24/23 NO DATE

KETCHUM, ID 83340

#2201

PROJECT NUMBER

DRAWING TITLE:

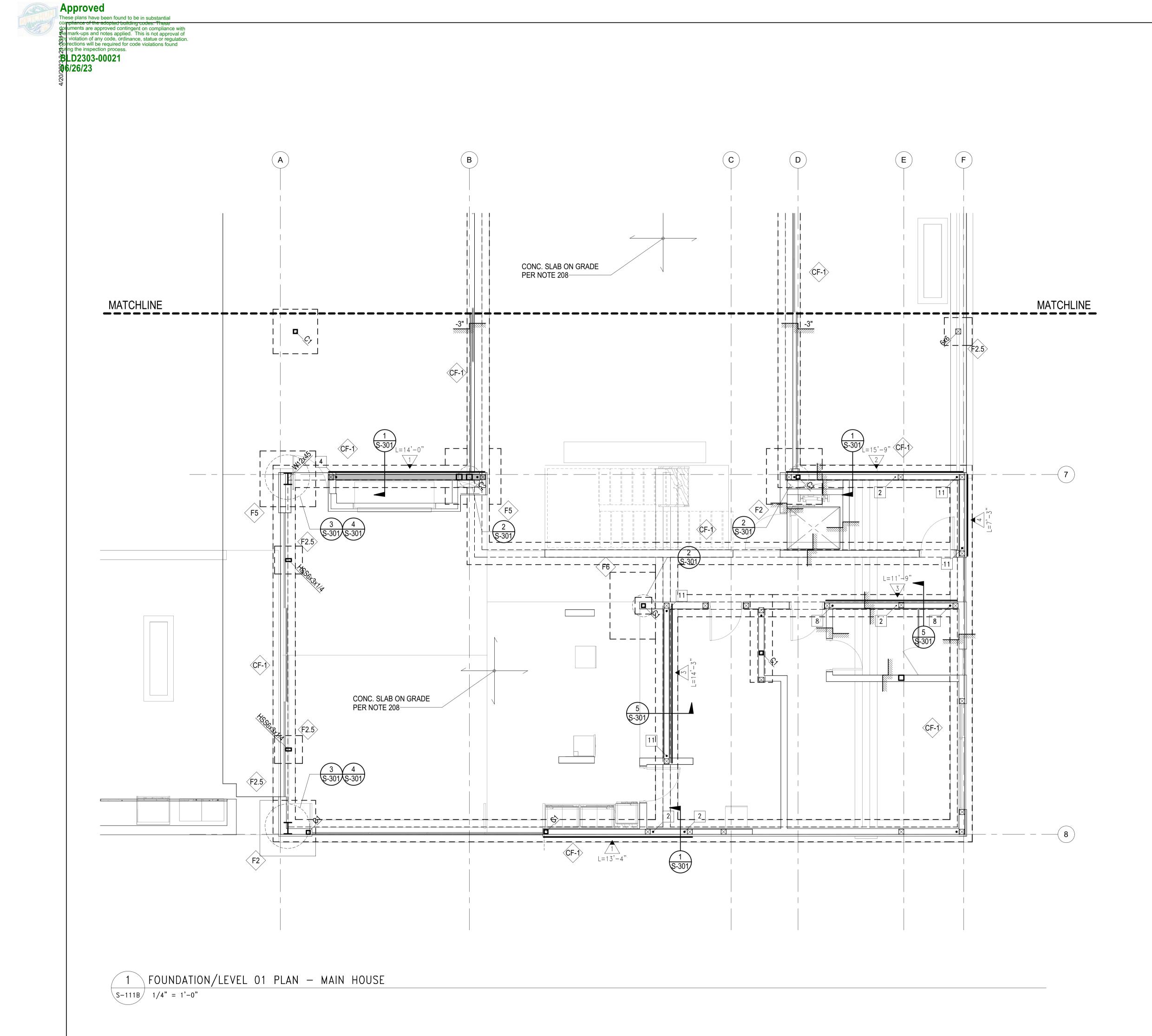
**FOUNDATION/LEVEL 01 PLAN - MAIN HOUSE** 

DRAWING NUMBER:

S-111A

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INDICATES CONCRETE WALL

INDICATES CONCRETE WALL BELOW

INDICATES CONCRETE FOOTING

S---S INDICATES STEPPED FOOTING PER 18/S1.01

GB-# INDICATES CONCRETE GRADE BEAM PER SCHEDULE THIS SHEET

INDICATES CONCRETE FOOTING PER SCHEDULE THIS

INDICATES CONCRETE COLUMN PER SCHEDULE #/##

GB-# INDICATES CONCRETE GRADE BEAM PER SCHEDULE THIS SHEET

INDICATES WOOD WALLS W/ 6x6 STUDS @ 16" OC MIN

	FOOTING SCHEDULE
MARK	SIZE AND REINFORCEMENT
CF1	2'-0" WIDE x 12" THICK W/ CONCRETE FOOTING W/ 2-#5 T&B
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<b>F</b> 5	5'-0" SQUARE x 18" THICK W/ 6-#5 T&B EACH WAY
<b>F6</b>	6'-0" SQUARE x 18" THICK W/ 6-#6 T&B EACH WAY

COLUMN SCHEDULE				
MARK	COLUMN TYPE AND SHAPE	NOTES		
C1	HSS4x4x3/8	-		
C2	HSS6x6x1/2	-		

#### **BADGER RESIDENCE**

OWNER:

121 BADGER LANE LLC P.O. BOX 14001-174 KETCHUM, ID 83340

PROJECT ARCHITECT:

RO | ROCKETT DESIGN 1031 W. MANCHESTER BLVD, UNIT 6 INGLEWOOD, CA 90301

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TEL: 213.784.0014

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GEOTECHNICAL ENGINEER:

BUTLER ASSOCIATES, INC. P.O. BOX 1034 KETCHUM, ID 83340

TEL: 208.720.6432

LANDSCAPE ARCHITECT:

323 LEWIS STREET, SUITE N KETCHUM, ID 83340

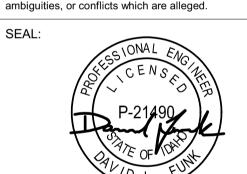
TEL: : 208.726.5907 STRUCTURAL ENGINEER:

LFA 319 MAIN STREET EL SEGUNDO, CA 90245 TEL: 213.239 9700



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PROJECT NUMBER

02/24/23

NO DATE

#2201

DRAWING TITLE:

**FOUNDATION/LEVEL 01 PLAN - MAIN HOUSE** 

**BADGER RESIDENCE** 

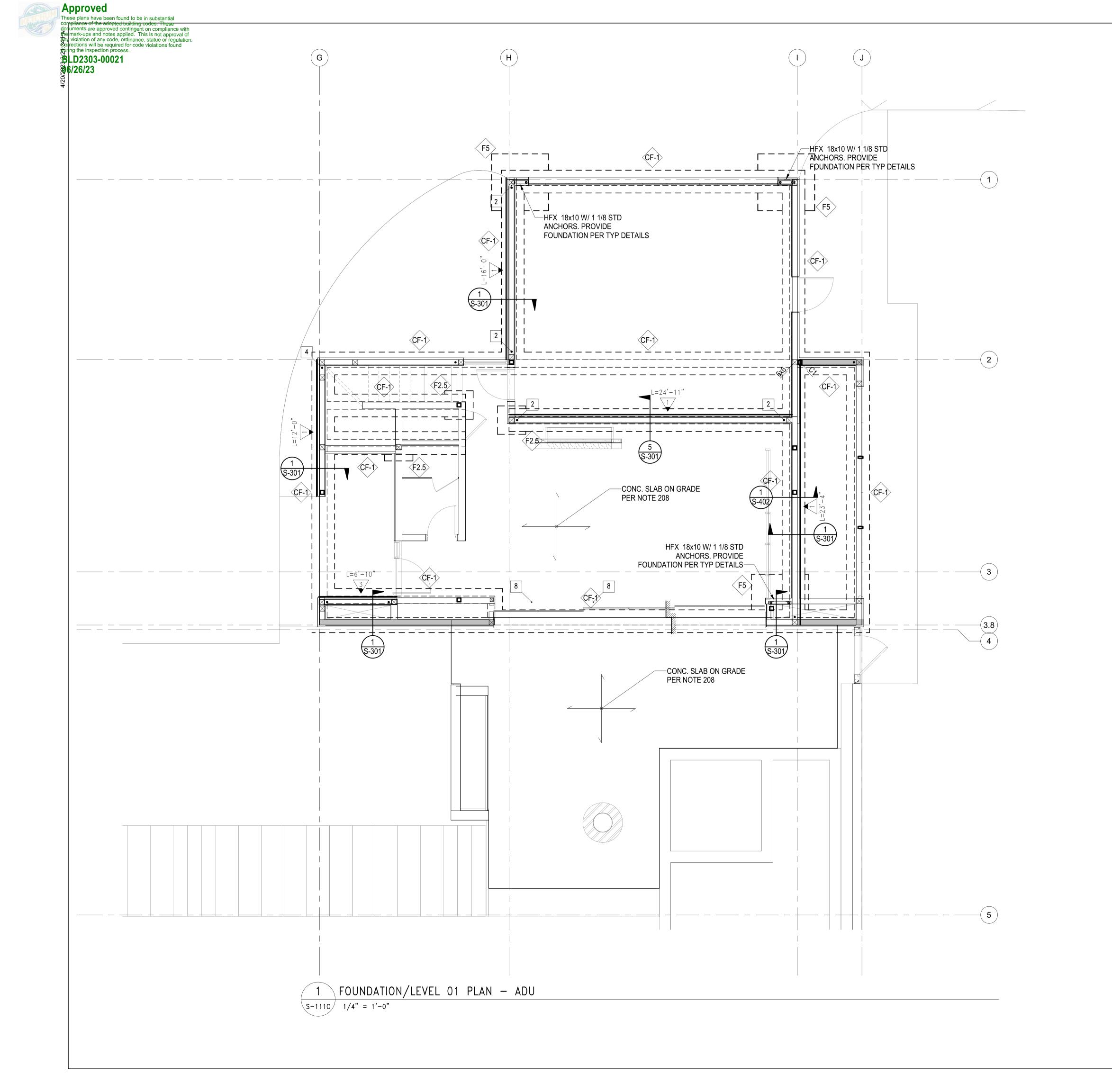
121 BADGER LANE KETCHUM, ID 83340

DRAWING NUMBER:

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S---S INDICATES STEPPED FOOTING PER 18/S1.01

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INDICATES WOOD WALLS W/ 6x6 STUDS @ 16" OC MIN

	FOOTING SCHEDULE			
MARK	SIZE AND REINFORCEMENT			
CF1	2'-0" WIDE x 12" THICK W/ CONCRETE FOOTING W/ 2-#5 T&B			
F2.5	2'-6" SQUARE x 18" THICK W/ 4-#5 T&B EACH WAY			
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COLUMN SCHEDULE			
MARK	COLUMN TYPE AND SHAPE	NOTES	
C1	HSS4x4x3/8	-	
C2	HSS6x6x1/2	-	

### **BADGER RESIDENCE**

OWNER:

121 BADGER LANE LLC P.O. BOX 14001-174

KETCHUM, ID 83340

PROJECT ARCHITECT:

RO | ROCKETT DESIGN 1031 W. MANCHESTER BLVD, UNIT 6 INGLEWOOD, CA 90301

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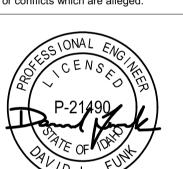
STRUCTURAL ENGINEER:

319 MAIN STREET EL SEGUNDO, CA 90245 TEL: 213.239 9700 LFA Job #22791



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	FOOTING SCHEDULE			
٩RK	SIZE AND REINFORCEMENT			
F1	2'-0" WIDE x 12" THICK W/ CONCRETE FOOTING W/ 2-#5 T&B			
2.5	2'-6" SQUARE x 18" THICK W/ 4-#5 T&B EACH WAY			
F5	5'-0" SQUARE x 18" THICK W/ 6-#5 T&B EACH WAY			
F6	6'-0" SQUARE x 18" THICK W/ 6-#6 T&B EACH WAY			

121 BADGER LANE KETCHUM, ID 83340

02/24/23 NO DATE

PROJECT:

PROJECT NUMBER #2201



PC SUBMITTAL

ISSUE

DRAWING TITLE:

FOUNDATION/LEVEL 01 PLAN - ADU

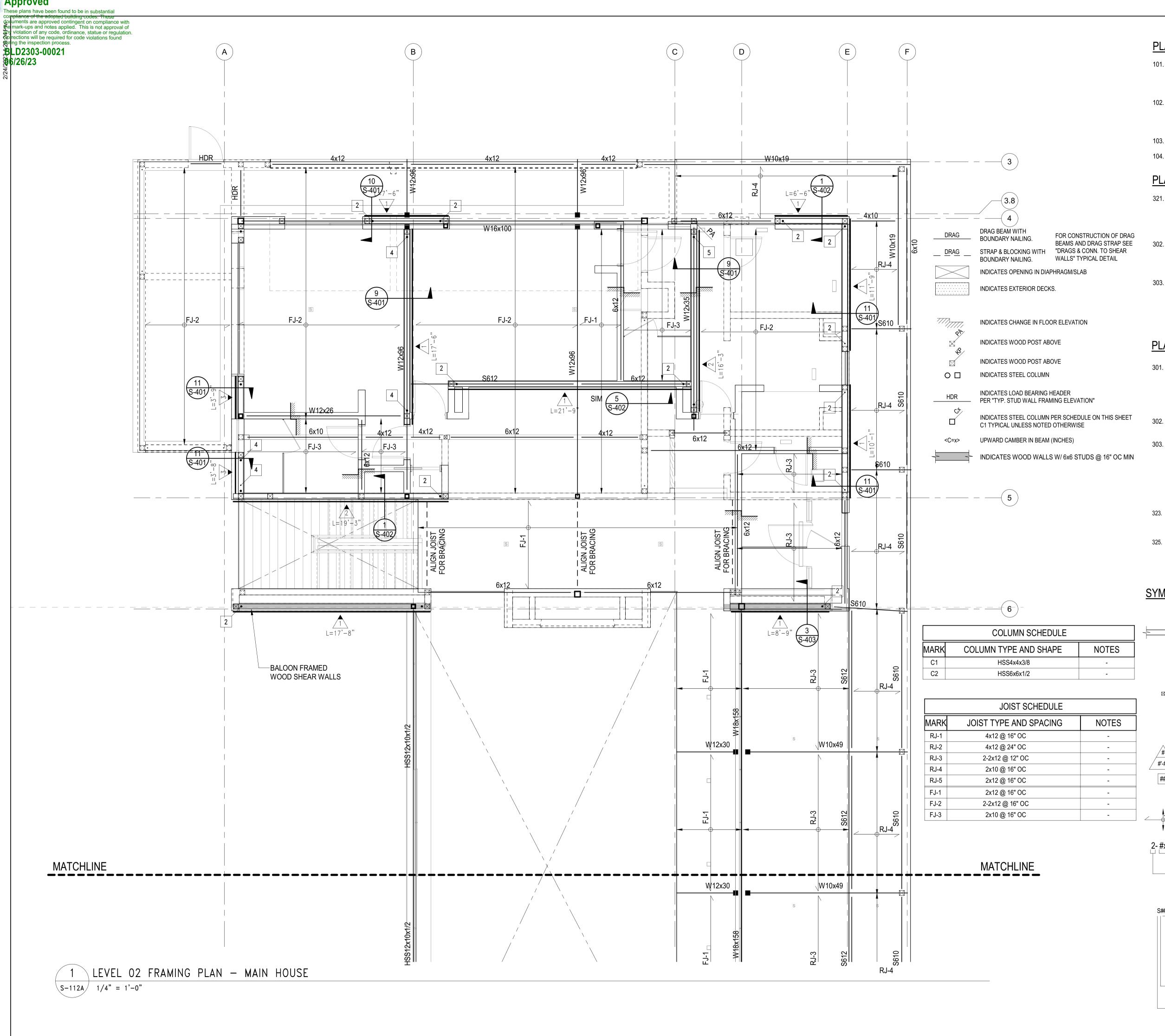
**BADGER RESIDENCE** 

DRAWING NUMBER:

S-111C

NOT FOR CONSTRUCTION

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- 104. NON-BEARING WALLS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY FOR NON-BEARING WALL LOCATIONS S.A.D.

## PLAN NOTES - WOOD FRAMING:

- 321. FLOOR AND DECK SHEATHING: WOOD STRUCTURAL PANEL, 1 1/8" CD APA RATED STRUCT I PLYWOOD SHEATHING SHEATHING, EXPOSURE 1, SPAN RATING 48 O.C. GLUE WOOD STRUCTURAL PANELS TO JOISTS AND BLK'G 48 O.C. GLUE WOOS STRUCTURAL PANELS TO JOISTS AND BLK'G NAILING SCHEDULE.
- 302. ROOF SHEATHING CONSTRUCTION AT SLOPED AND PITCHED ROOFS: WOOD STRUCTURAL PANEL, 3/4" CD APA RATED PLYWOOD SHEATHING, EXPOSURE 1, SPAN RATING 48/24. NAILING PER NAILING SCHEDULE.
- 303. FLOOR SHEATHING CONSTRUCTION: NON-STRUCTURAL LIGHT WEIGHT CONCRETE (115 PCF MAX). THICKNESS S.A.D., 1 1/2" MAX. OVER WOOD STRUCTURAL PANEL. 1 1/8" CD APA RATED STRUCT I PLYWOOD SHEATHING, EXPOSURE 1, SPAN RATING 48 O.C. GLUE WOOD STRUCTURAL PANELS TO JOISTS AND BLK'G. NAILING PER NAILING SCHEDULE.

#### PLAN NOTES - FRAMING:

- 301. PROVIDE WALL SHEATHING AT ALL EXTERIOR WALLS OTHER THAN SHEAR WALLS AS FOLLOWS: WOOD STRUCTURAL PANEL, 15/32" CD APA RATED PLYWOOD OR OSB SHEATHING, EXPOSURE 1, SPAN RATING 32/16, NAILED WITH 8d COMMONS SPACED AT 6" O.C. ALONG ALL PANEL EDGES (E.N.) AND 12" O.C. ALONG INTERMEDIATE SUPPORTS (FIELD) (F.N.)
- 302. HOLD DOWNS/TIE-DOWNS SHALL BE RE-TIGHTENED JUST PRIOR TO COVERING THE WALL FRAMING.
- 303. PROVIDE DOUBLE JOISTS BENEATH ALL PARALLEL WALLS. PROVIDE SOLID BLOCK BENEATH ALL WALLS PERPENDICULAR TO JOISTS. SEE "FRAMING AT NON BEARING WALLS" PER TYPICAL DETAILS SHEETS.
- FLOOR AND DECK SHEATHING: WOOD STRUCTURAL PANEL, 1 1/8" CD APA 32 ATATED STRUCT I PLYWOOD SHEATHING, EXPOSURE 1, SPAN RATING 48 O.C. GLUE WOOD STRUCTURAL PANELS TO JOISTS AND BLK'G. NAILING PER NAILING SCHEDULE.
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- 325. FLOOR SHEATHING CONSTRUCTION: NON-STRUCTURAL LIGHT WEIGHT CONCRETE (110 PCF MAX), THICKNESS S.A.D. 1 1/2" MAX, OVER WOOD STRUCTURAL PANEL, 1 1/8" CD APA RATED STRUCT I PLYWOOD SHEATHING, EXPOSURE 1, SPAN RATING 48 O.C. GLUE WOOD STRUCTURAL PANELS TO JOISTS AND BLK'G. NAILING PER NAILING

## **SYMBOLS - WOOD FRAMING**

INDICATES WOOD WALLS

UNLESS OTHERWISE SPECIFIED ON THE FRAMING PLAN OR WALL STUD SCHEDULE PROVIDE:

- EXTERIOR WALLS: S.A.D. OR 2x6 @ 16" O.C., WHICHEVER
- INTERIOR WALLS: S.A.D. OR 2x4 @ 16" O.C., WHICHEVER IS GREATER

INDICATES WOOD POST.

IS GREATER

UNLESS OTHERWISE SPECIFIED ON THE FRAMING PLAN THE POST SIZE SHALL BE THE GREATER OF THE FOLLOWING:

MIN. SIZE PER POST SCHEDULE WHERE PRESENT

INDICATES WOOD SHEATHED SHEAR WALL:

 4x DEPTH OF WALL SIZE INDICATED IN "HOLDOWN SCHEDULE" (FOR POSTS

AT ENDS OF SHEAR WALLS ONLY) POST ABOVE - WHERE OCCURS. POST STARTS AT THIS LEVEL AND IT IS DISCONTINUOUS BELOW

TYPE PER SHEAR WALL SCHEDULE UNDER TYP. DETAILS / #'-#" — S1.37 & S1.38.

-MINIMUM LENGTH INDICATES HOLDOWN TYPE PER TYPICAL DETAILS SHEETS

INDICATES EXTENT OF WOOD JOIST

INDICATES DIRECTION OF WOOD JOIST

WOOD MEMBER CALLOUT

SIZE: #x## SAWN LUMBER - S### SCL (SEE SCHED.)

NUMBER OF MEMBERS IN A BUILTUP ASSEMBLY (OMITTED IF = 1). SEE "BUILTUP BEAM/SISTERED JOIST" AND "BUCKETS OF BUILTUP BEAMS" PER TYPICAL DETAILS

STRUCTURAL COMPOSITE LUMBER (SCL) CALLOUT: ENGINEERED LUMBER LVL OR PSL PER GENERAL

SECOND AND THIRD DIGIT: NOMINAL MEMBER DEPTH  $06 = 5^{1}/_{2}$ "  $08 = 7^{1}/_{4}$ "  $10^{\pm} = 9^{1}/_{2}$ " 18 = 18" 20 = 20" | 22 = 22" | 24 = 24" \*11.25" & \*9.25" WHEN USED WITH SAWN LUMBER

FIRST DIGIT: NOMINAL MEMBER WIDTH  $4 = 3^{1}/_{2}$ "  $6 = 5^{1}/_{4}$ "  $2 = 1^3/_4$ "

PREFIX "S" INDICATES SCL MEMBER

#### **BADGER RESIDENCE**

OWNER:

121 BADGER LANE LLC P.O. BOX 14001-174

PROJECT ARCHITECT:

TEL: 213.784.0014

KETCHUM, ID 83340

RO | ROCKETT DESIGN 1031 W. MANCHESTER BLVD, UNIT 6 INGLEWOOD, CA 90301

SURVEYOR & CIVIL ENGINEER:

GALENA ENGINEERING, INC. 317 NORTH RIVER STREET HAILEY, ID 83333

TEL: 208.788.1705 GEOTECHNICAL ENGINEER:

**BUTLER ASSOCIATES, INC.** P.O. BOX 1034

KETCHUM, ID 83340

TEL: 208.720.6432 LANDSCAPE ARCHITECT:

323 LEWIS STREET, SUITE N KETCHUM, ID 83340

TEL: : 208.726.5907

STRUCTURAL ENGINEER:

319 MAIN STREET EL SEGUNDO, CA 90245 TEL: 213.239 9700 LFA Job #22791

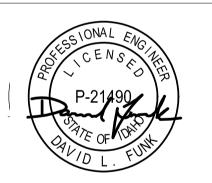


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without written permission



02/24/23 PC SUBMITTAL NO DATE ISSUE PROJECT:

BADGER RESIDENCE

121 BADGER LANE KETCHUM, ID 83340

PROJECT NUMBER

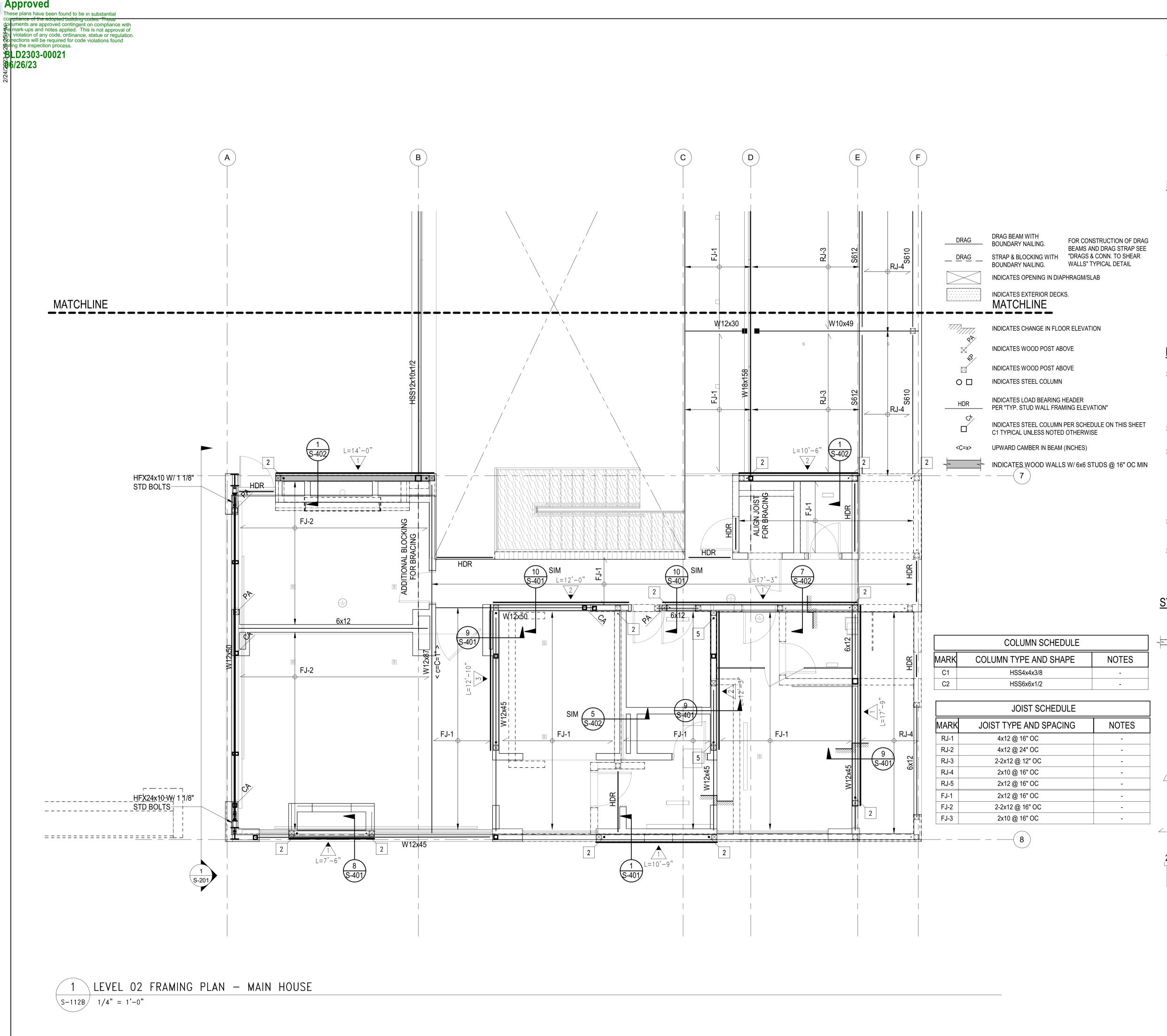
#2201

DRAWING TITLE:

**LEVEL 02 FRAMING PLAN -**MAIN HOUSE

DRAWING NUMBER:

S-112A



- 101. GENERAL NOTES AND TYPICAL DETAILS SHEETS: SEE S0.01 THRU S0.62 SHEETS. GENERAL NOTES & TYPICAL DETAILS APPLY TO ALL PARTS OF THE WORK EXCEPT WHERE SPECIFICALLY DETAILED OF U.N.O. ON THE FLOOR PLANS AND PLAN NOTES.
- 102. VERIFY ALL DIMENSIONS, ELEVATIONS, SLAB EDGES, SLAB DEPRESSIONS, SLAB OPENINGS, CURBS, FOOTING, PENETRATIONS, WALL OPENINGS WITH ARCHITECTURAL, MECHANICAL, PLUMBING, ELECTRICAL & CIVIL DRAWINGS.
- 103. FOR ALL DIMENSIONS & ROOF SLOPES S.A.D.
- 104. NON-BEARING WALLS SHOWN FOR ILLUSTRATIVE PURPOSES ONLY FOR NON-BEARING WALL LOCATIONS S.A.D.

#### PLAN NOTES - WOOD FRAMING:

- 321. FLOOR AND DECK SHEATHING: WOOD STRUCTURAL PANEL, 1 1/8" CD APA RATED STRUCT I PLYWOOD SHEATHING SHEATHING, EXPOSURE 1, SPAN RATING 48 O.C. GLUE WOOD STRUCTURAL PANELS TO JOISTS AND BLK'G 48 O.C. GLUE WOOS STRUCTURAL PANELS TO JOISTS AND BLK'G NAILING SCHEDULE.
- 302. ROOF SHEATHING CONSTRUCTION AT SLOPED AND PITCHED ROOFS: WOOD STRUCTURAL PANEL, 3/4" CD APA RATED PLYWOOD SHEATHING, EXPOSURE 1, SPAN RATING 48/24. NAILING PER NAILING SCHEDULE.
- 303. FLOOR SHEATHING CONSTRUCTION: NON-STRUCTURAL LIGHT WEIGHT CONCRETE (115 PCF MAX), THICKNESS S.A.D., 1 1/2" MAX, OVER WOOD STRUCTURAL PANEL. 1 1/8" CD APA RATED STRUCT I PLYWOOD SHEATHING, EXPOSURE 1, SPAN RATING 48 O.C. GLUE WOOD STRUCTURAL PANELS TO JOISTS AND BLK'G. NAILING PER NAILING SCHEDULE.

## PLAN NOTES - FRAMING:

- 301. PROVIDE WALL SHEATHING AT ALL EXTERIOR WALLS OTHER THAN SHEAR WALLS AS FOLLOWS: WOOD STRUCTURAL PANEL, 15/32" CD APA RATED PLYWOOD OR OSB SHEATHING, EXPOSURE 1, SPAN RATING 32/16, NAILED WITH 8d COMMONS SPACED AT 6" O.C. ALONG ALL PANEL EDGES (E.N.) AND 12" O.C. ALONG INTERMEDIATE SUPPORTS (FIELD) (F.N.)
- 302. HOLD DOWNS/TIE-DOWNS SHALL BE RE-TIGHTENED JUST PRIOR TO COVERING THE WALL FRAMING.
- 303. PROVIDE DOUBLE JOISTS BENEATH ALL PARALLEL WALLS. PROVIDE SOLID BLOCK BENEATH ALL WALLS PERPENDICULAR TO JOISTS. SEE "FRAMING AT NON BEARING WALLS" PER TYPICAL DETAILS SHEETS.
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## **SYMBOLS - WOOD FRAMING**

INDICATES WOOD WALLS

UNLESS OTHERWISE SPECIFIED ON THE FRAMING PLAN OR WALL STUD SCHEDULE PROVIDE:

 EXTERIOR WALLS: S.A.D. OR 2x6 @ 16" O.C., WHICHEVER IS GREATER

• INTERIOR WALLS: S.A.D. OR 2x4 @ 16" O.C., WHICHEVER IS GREATER

INDICATES WOOD POST.

UNLESS OTHERWISE SPECIFIED ON THE FRAMING PLAN THE POST SIZE SHALL BE THE GREATER OF THE FOLLOWING:

 MIN. SIZE PER POST SCHEDULE WHERE PRESENT 4x DEPTH OF WALL SIZE INDICATED IN "HOLDOWN SCHEDULE" (FOR POSTS

AT ENDS OF SHEAR WALLS ONLY) POST ABOVE - WHERE OCCURS. POST STARTS AT THIS LEVEL AND IT IS DISCONTINUOUS BELOW

INDICATES WOOD SHEATHED SHEAR WALL: TYPE PER SHEAR WALL SCHEDULE UNDER TYP. DETAILS

-MINIMUM LENGTH INDICATES HOLDOWN TYPE PER TYPICAL DETAILS SHEETS

INDICATES EXTENT OF WOOD JOIST

S1.37 & S1.38.

INDICATES DIRECTION OF WOOD JOIST

2- #x## WOOD MEMBER CALLOUT SIZE: #x## SAWN LUMBER - S### SCL (SEE SCHED.)

> NUMBER OF MEMBERS IN A BUILTUP ASSEMBLY (OMITTED IF = 1). SEE "BUILTUP BEAM/SISTERED JOIST" AND "BUCKETS OF BUILTUP BEAMS" PER TYPICAL DETAILS

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**BADGER RESIDENCE** 

OWNER:

121 BADGER LANE LLC P.O. BOX 14001-174

PROJECT ARCHITECT:

KETCHUM, ID 83340

RO | ROCKETT DESIGN 1031 W. MANCHESTER BLVD, UNIT 6 INGLEWOOD, CA 90301 TEL: 213.784.0014

SURVEYOR & CIVIL ENGINEER:

GALENA ENGINEERING, INC. 317 NORTH RIVER STREET HAILEY, ID 83333 TEL: 208.788.1705

GEOTECHNICAL ENGINEER:

**BUTLER ASSOCIATES, INC.** P.O. BOX 1034

KETCHUM, ID 83340 TEL: 208.720.6432

LANDSCAPE ARCHITECT:

323 LEWIS STREET, SUITE N KETCHUM, ID 83340 TEL: : 208.726.5907

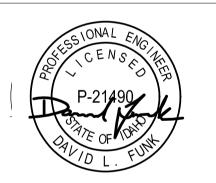
STRUCTURAL ENGINEER:

319 MAIN STREET EL SEGUNDO, CA 90245 TEL: 213.239 9700 LFA Job #22791



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02/24/23 PC SUBMITTAL NO DATE ISSUE

PROJECT: **BADGER RESIDENCE** 

121 BADGER LANE KETCHUM, ID 83340

PROJECT NUMBER

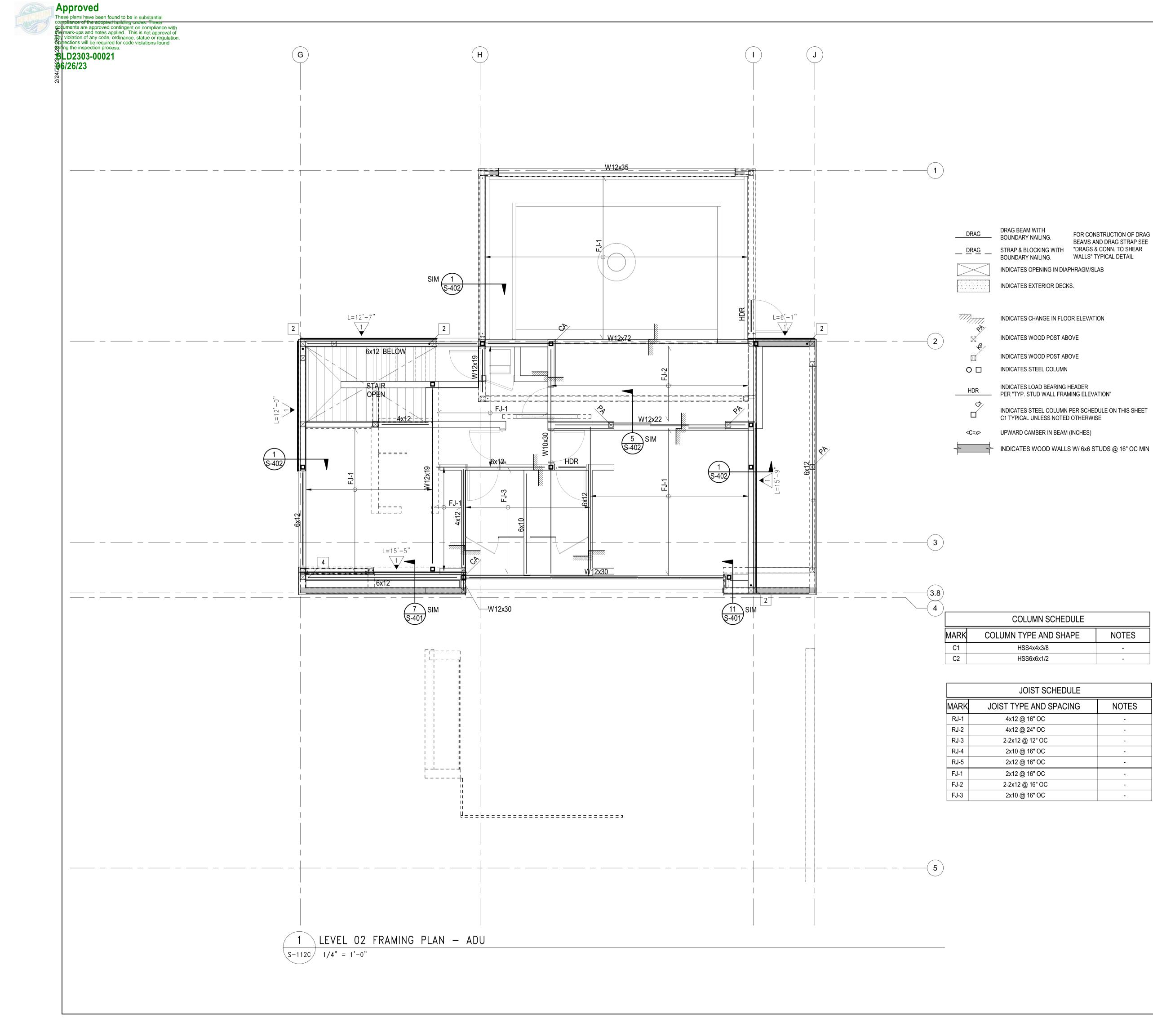
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DRAWING TITLE:

**LEVEL 02 FRAMING PLAN -**

DRAWING NUMBER:

MAIN HOUSE



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#### **BADGER RESIDENCE**

OWNER:

121 BADGER LANE LLC P.O. BOX 14001-174

PROJECT ARCHITECT:

KETCHUM, ID 83340

RO | ROCKETT DESIGN 1031 W. MANCHESTER BLVD, UNIT 6 INGLEWOOD, CA 90301

TEL: 213.784.0014 SURVEYOR & CIVIL ENGINEER:

GALENA ENGINEERING, INC. 317 NORTH RIVER STREET HAILEY, ID 83333 TEL: 208.788.1705

GEOTECHNICAL ENGINEER:

**BUTLER ASSOCIATES, INC.** P.O. BOX 1034

KETCHUM, ID 83340 TEL: 208.720.6432

LANDSCAPE ARCHITECT:

323 LEWIS STREET, SUITE N KETCHUM, ID 83340 TEL: : 208.726.5907

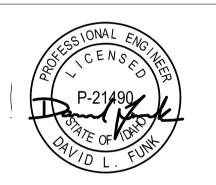
STRUCTURAL ENGINEER:

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02/24/23 PC SUBMITTAL NO DATE ISSUE PROJECT:

**BADGER RESIDENCE** 

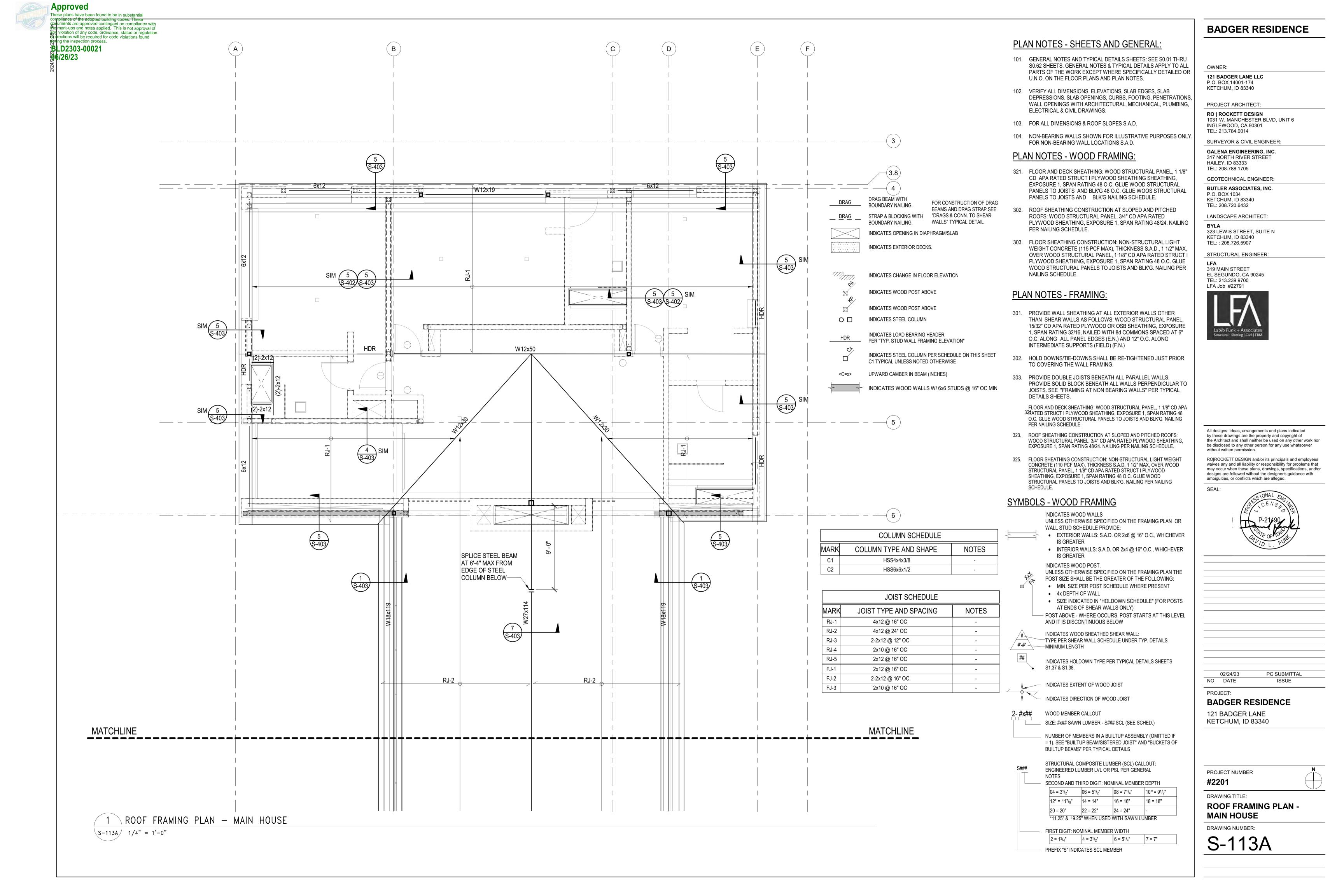
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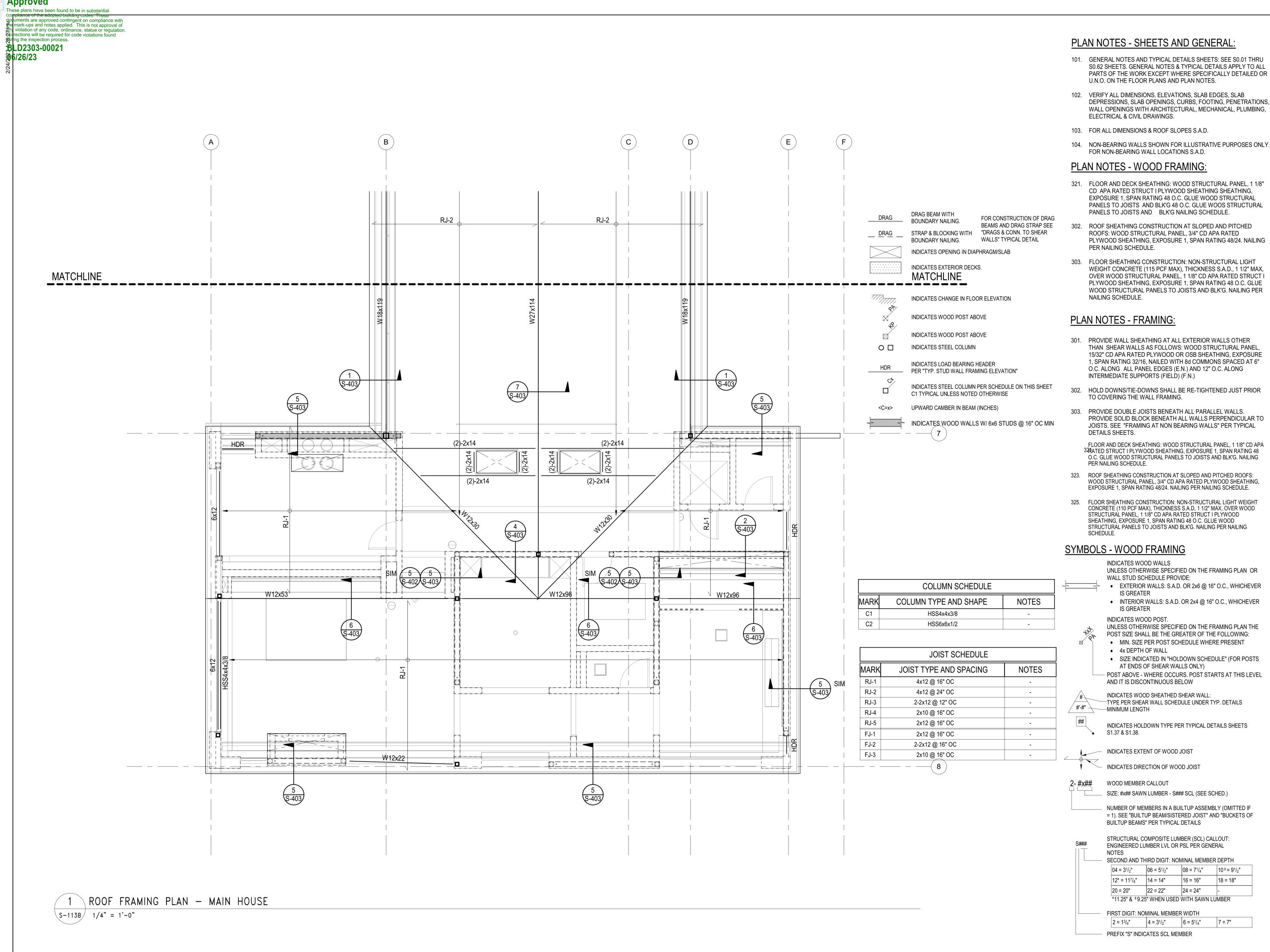
PROJECT NUMBER

#2201

DRAWING TITLE:

**LEVEL 02 FRAMING PLAN** -





## **BADGER RESIDENCE**

OWNER:

121 BADGER LANE LLC P.O. BOX 14001-174

PROJECT ARCHITECT:

TEL: 213.784.0014

KETCHUM, ID 83340

RO | ROCKETT DESIGN 1031 W. MANCHESTER BLVD, UNIT 6 INGLEWOOD, CA 90301

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TEL: 208.720.6432

LANDSCAPE ARCHITECT: 323 LEWIS STREET, SUITE N

KETCHUM, ID 83340 TEL: : 208.726.5907 WEIGHT CONCRETE (115 PCF MAX), THICKNESS S.A.D., 1 1/2" MAX, STRUCTURAL ENGINEER:

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UNLESS OTHERWISE SPECIFIED ON THE FRAMING PLAN OR

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NUMBER OF MEMBERS IN A BUILTUP ASSEMBLY (OMITTED IF = 1). SEE "BUILTUP BEAM/SISTERED JOIST" AND "BUCKETS OF

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FIRST DIGIT: NOMINAL MEMBER WIDTH

PROJECT NUMBER

121 BADGER LANE KETCHUM, ID 83340

02/24/23

NO DATE

PROJECT:

DRAWING TITLE:

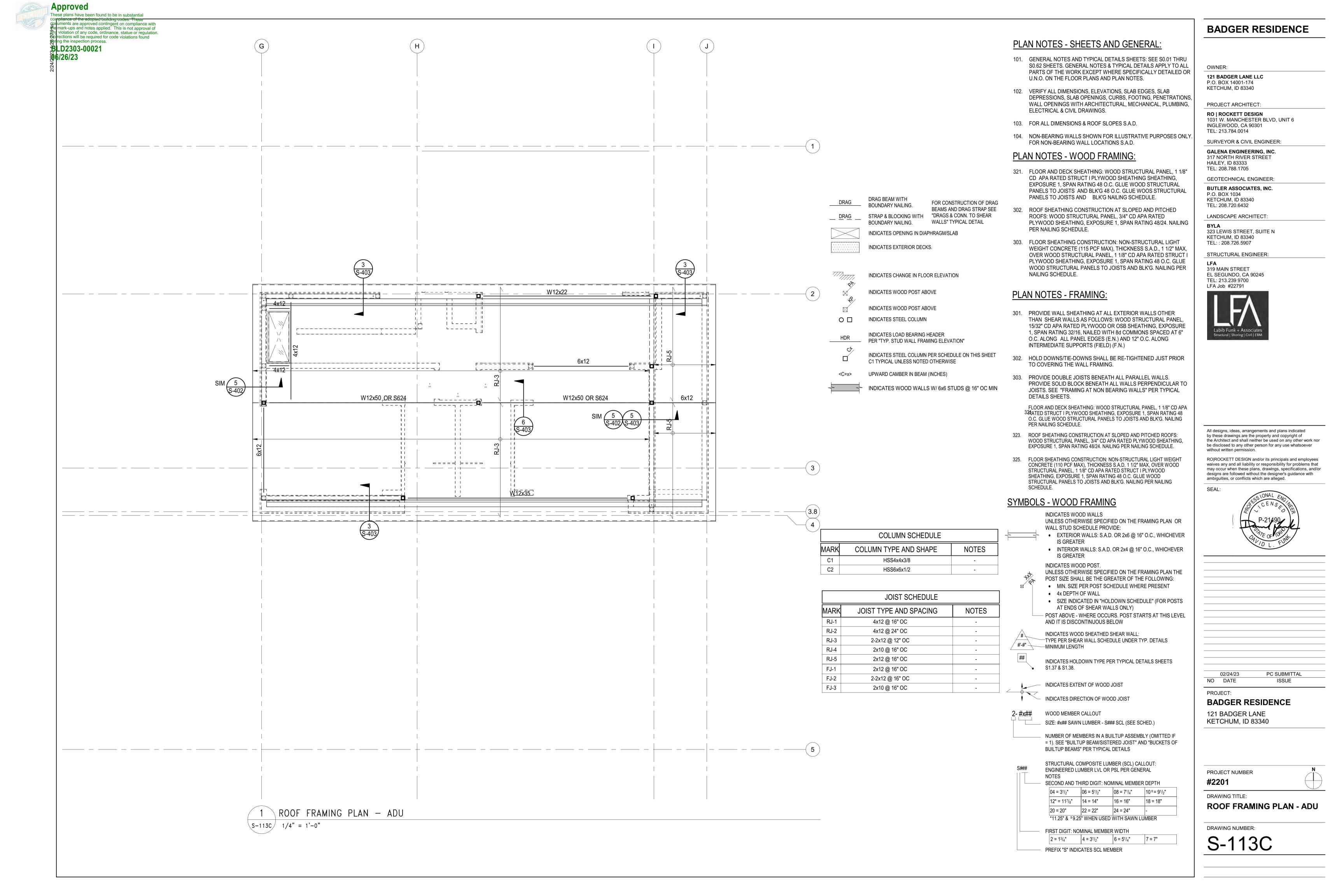
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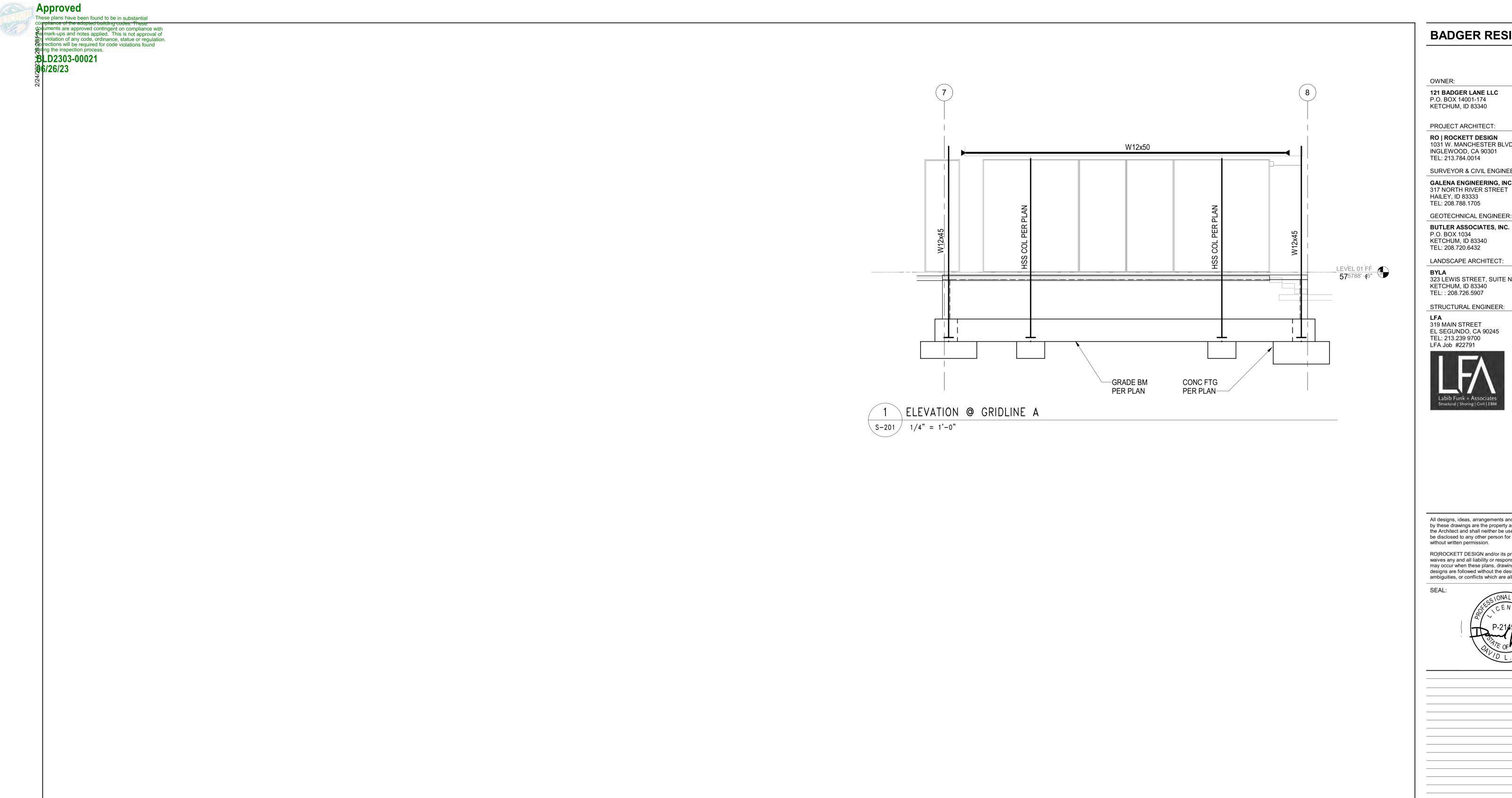
**ROOF FRAMING PLAN** -MAIN HOUSE

**BADGER RESIDENCE** 

DRAWING NUMBER:

S-113B





## **BADGER RESIDENCE**

OWNER:

**121 BADGER LANE LLC** P.O. BOX 14001-174

RO | ROCKETT DESIGN

1031 W. MANCHESTER BLVD, UNIT 6 INGLEWOOD, CA 90301

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LANDSCAPE ARCHITECT:

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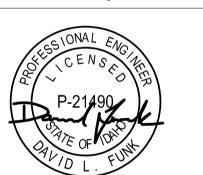
STRUCTURAL ENGINEER:

319 MAIN STREET EL SEGUNDO, CA 90245 TEL: 213.239 9700



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ISSUE

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PROJECT:

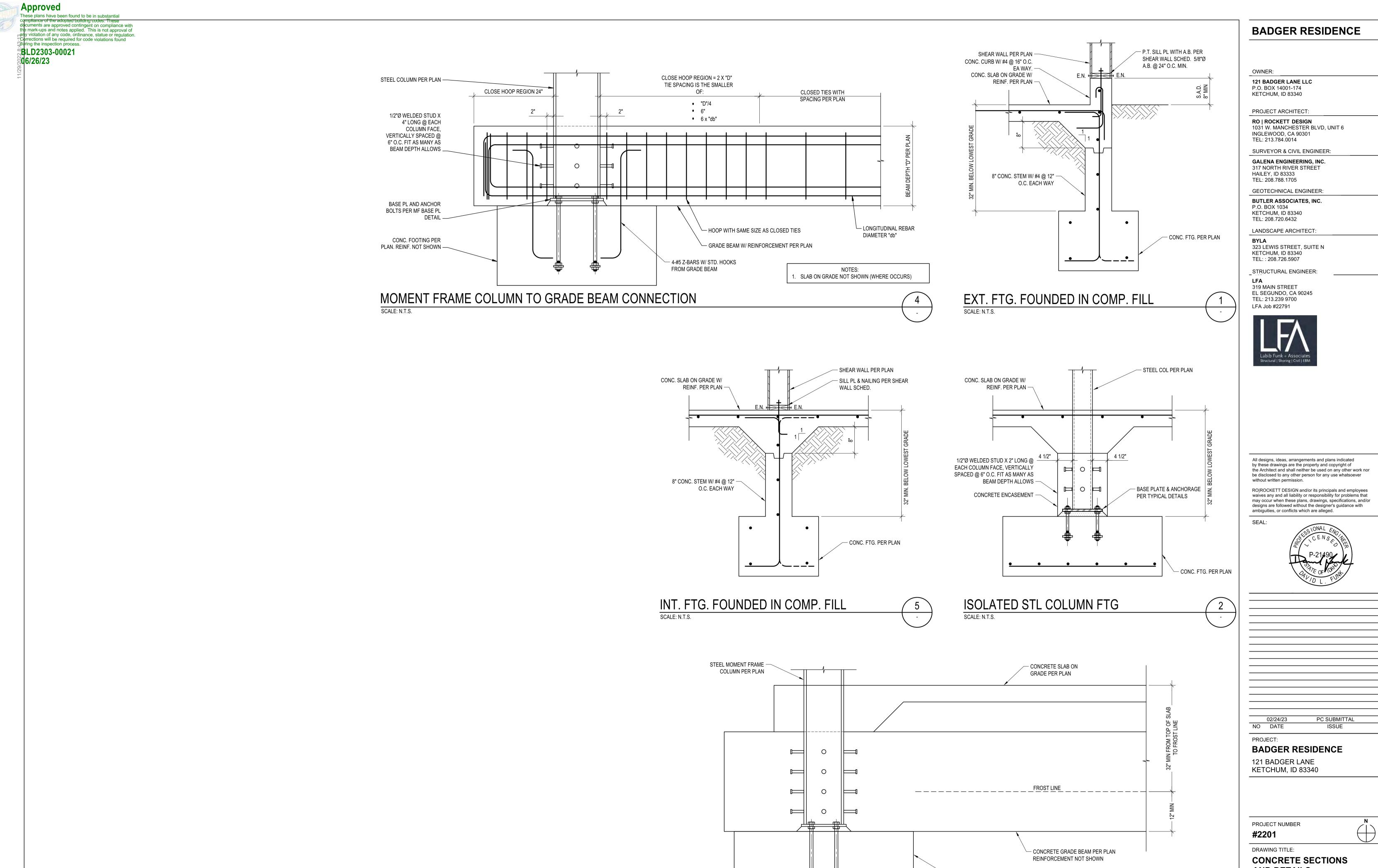
**BADGER RESIDENCE** 

121 BADGER LANE KETCHUM, ID 83340

PROJECT NUMBER

#2201

DRAWING TITLE: **ELEVATIONS** 



SCALE: N.T.S.

**AND DETAILS** 

DRAWING NUMBER:

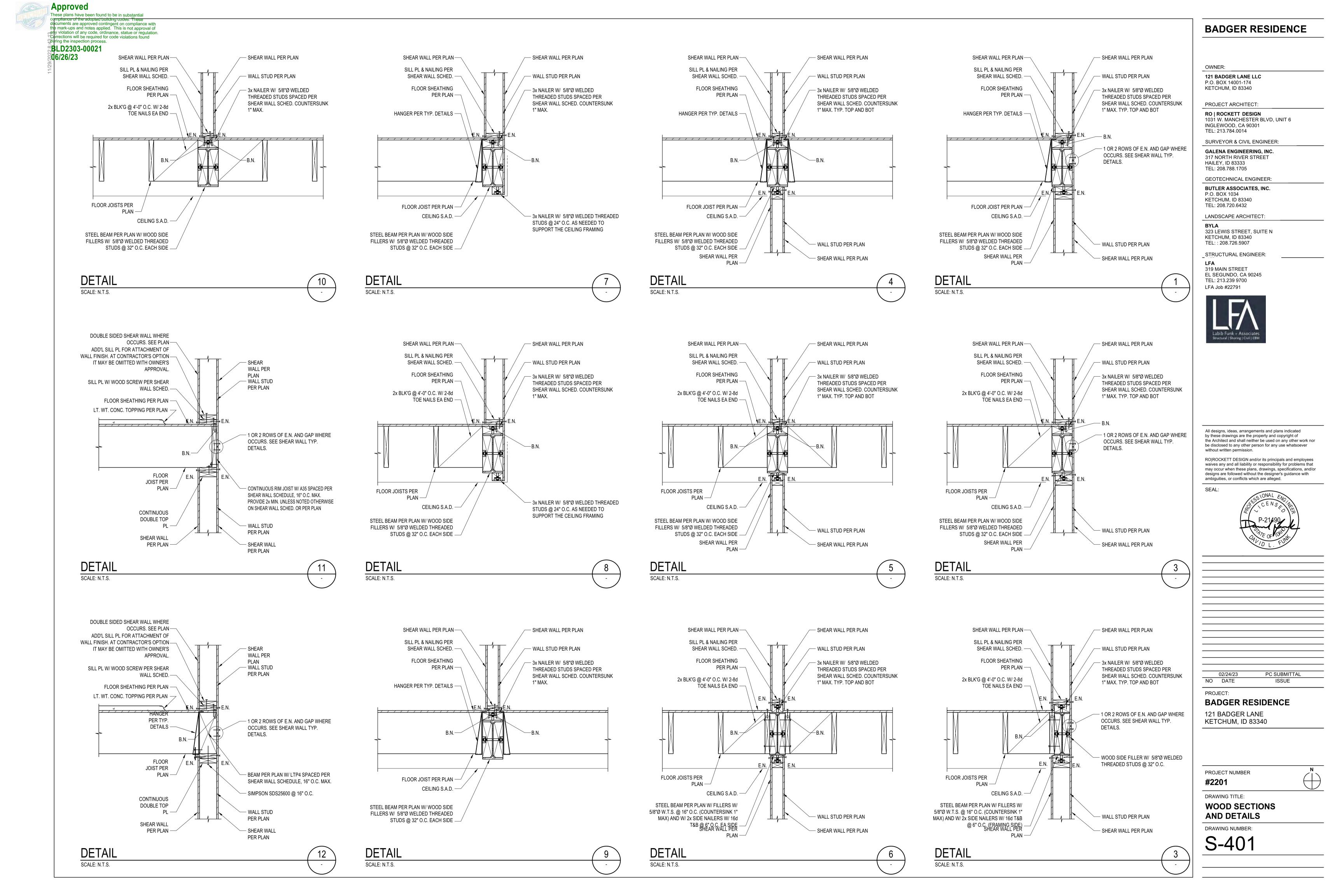
NOTES:

FOR MORE INFORMATION SEE 4/-

CONCRETE PAD FOOTING

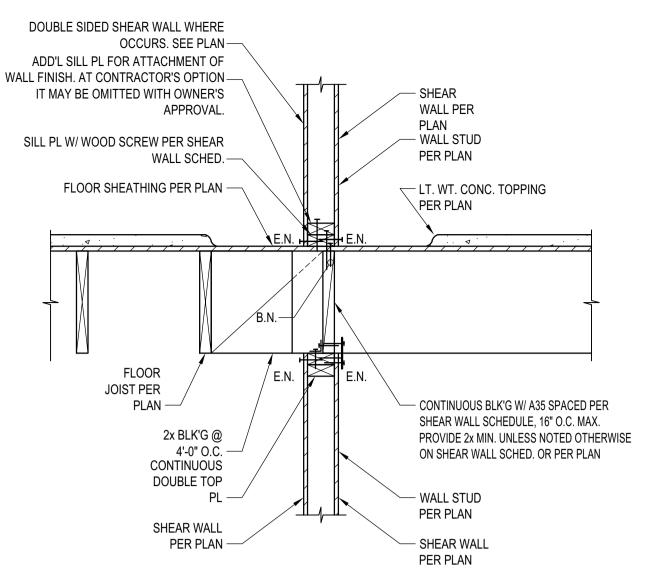
MOMENT FRAME COLUMN TO GRADE BEAM CONNECTION

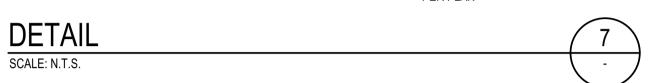
S-301

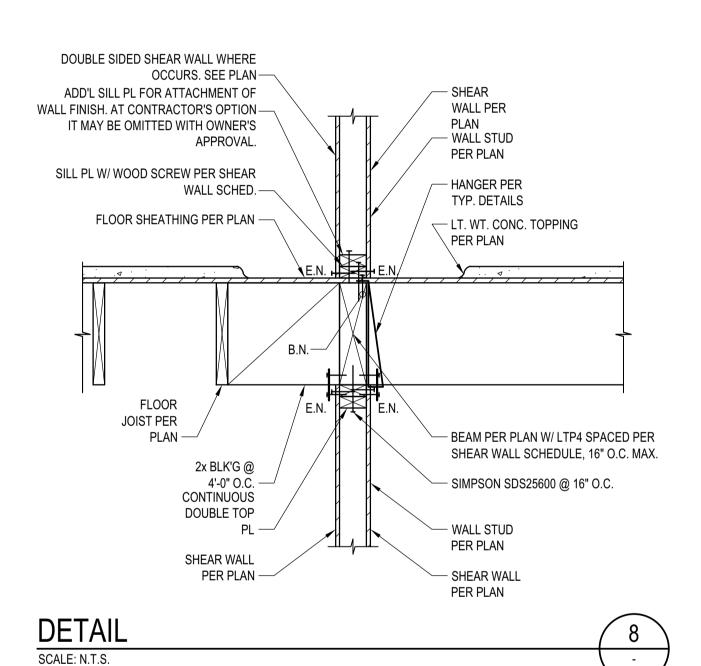


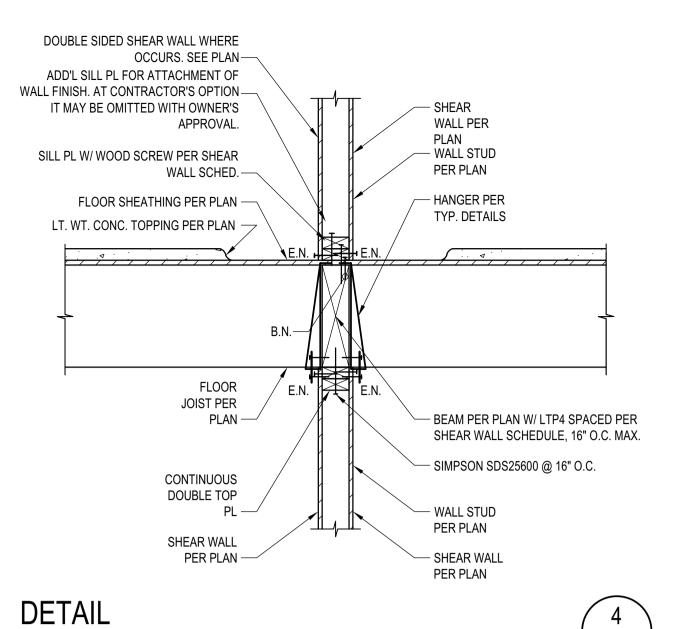
These plans have been found to be in substantial compliance of the adopted building codes. Thes

documents are approved contingent on compliance with the mark-ups and notes applied. This is not approval of ary violation of any code, ordinance, statue or regulation. Corrections will be required for code violations found during the inspection process. ©BLD2303-00021 

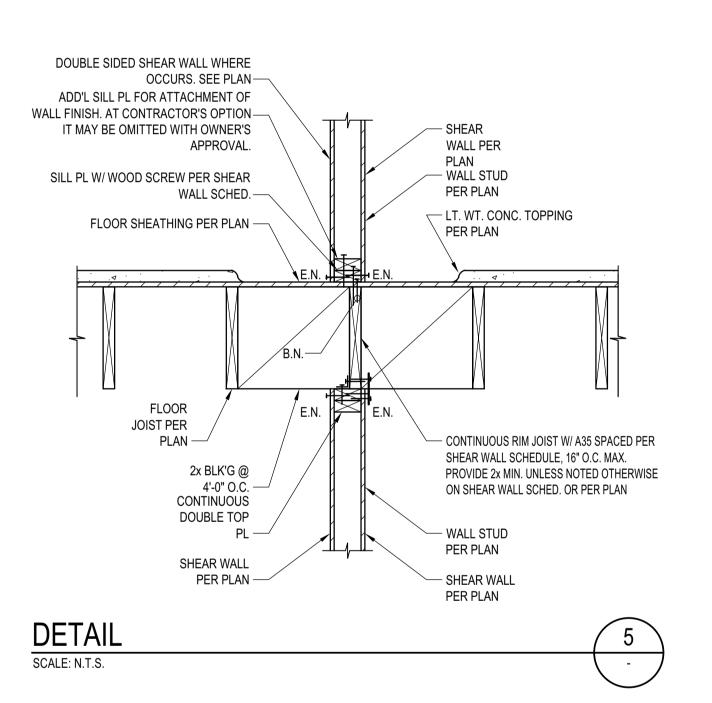


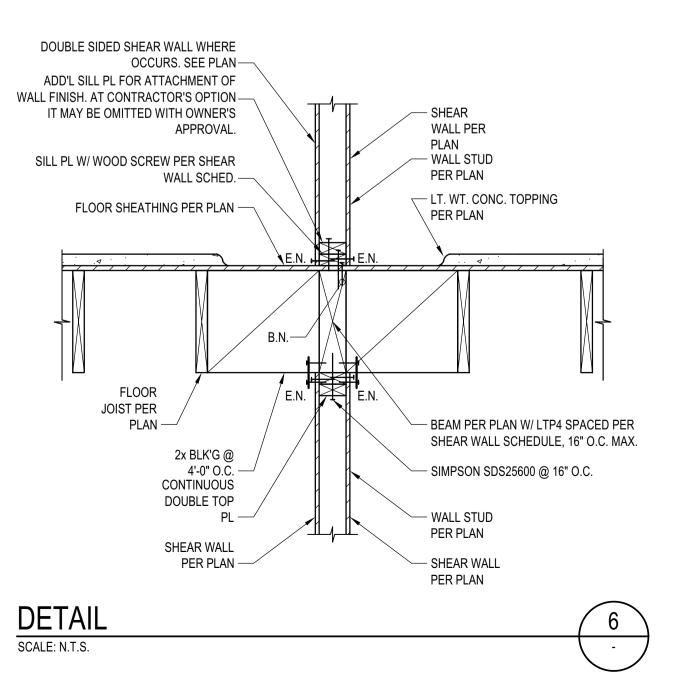


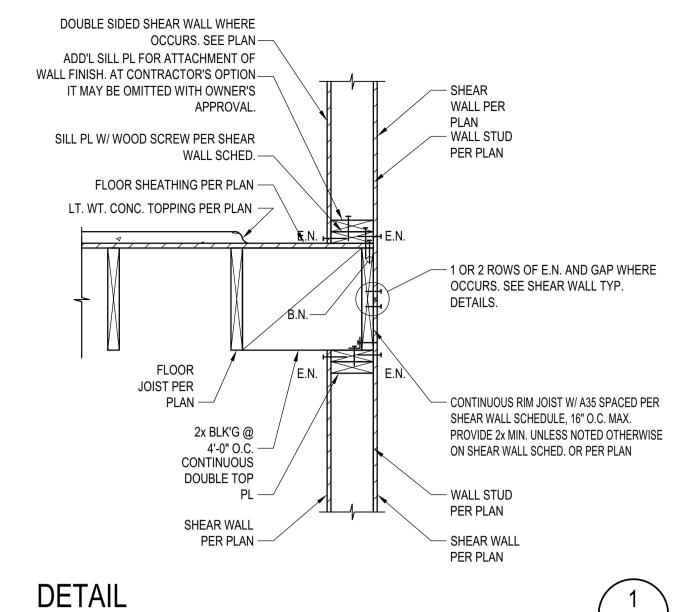




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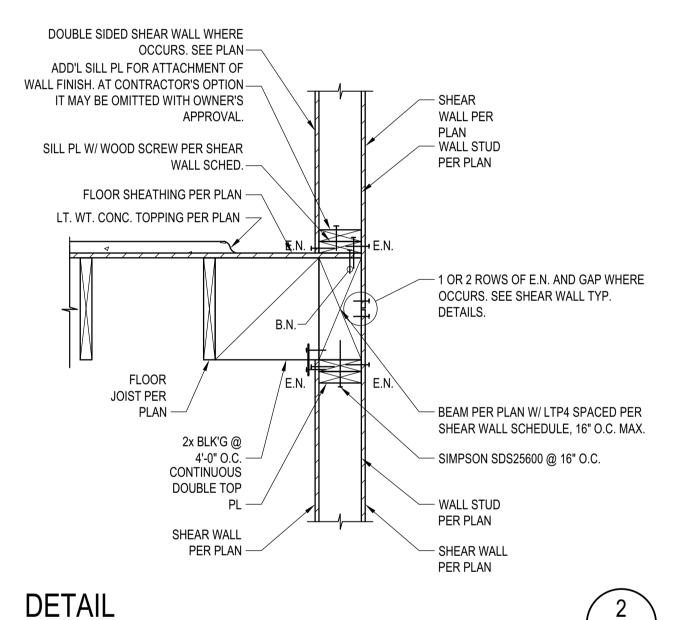


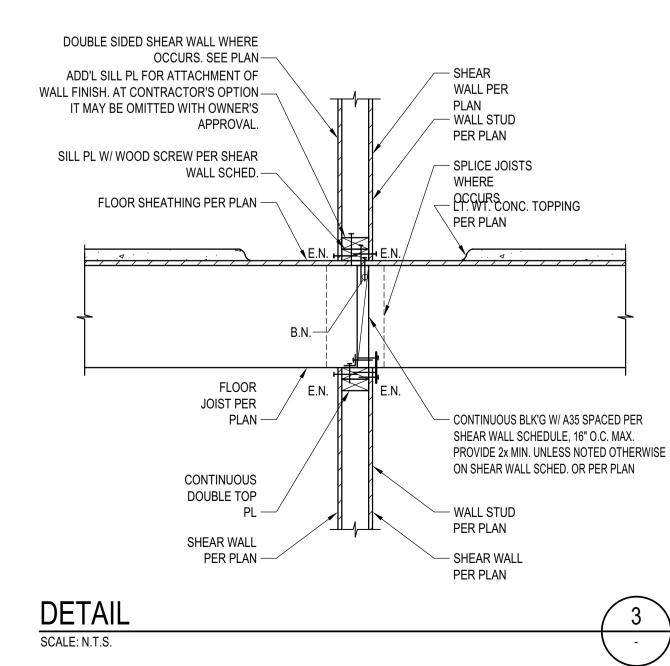




SCALE: N.T.S.

SCALE: N.T.S.





## **BADGER RESIDENCE**

OWNER: 121 BADGER LANE LLC P.O. BOX 14001-174 KETCHUM, ID 83340 PROJECT ARCHITECT: RO | ROCKETT DESIGN 1031 W. MANCHESTER BLVD, UNIT 6 INGLEWOOD, CA 90301 TEL: 213.784.0014 SURVEYOR & CIVIL ENGINEER: **GALENA ENGINEERING, INC.** 317 NORTH RIVER STREET

HAILEY, ID 83333

TEL: 208.788.1705 GEOTECHNICAL ENGINEER: **BUTLER ASSOCIATES, INC.** P.O. BOX 1034 KETCHUM, ID 83340

LANDSCAPE ARCHITECT:

TEL: 208.720.6432

323 LEWIS STREET, SUITE N KETCHUM, ID 83340 TEL:: 208.726.5907

319 MAIN STREET EL SEGUNDO, CA 90245 TEL: 213.239 9700

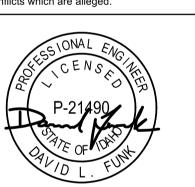
STRUCTURAL ENGINEER:



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SEAL:



	02/24/23	PC SUBMITTAL
Ю	DATE	ISSUE

PROJECT:

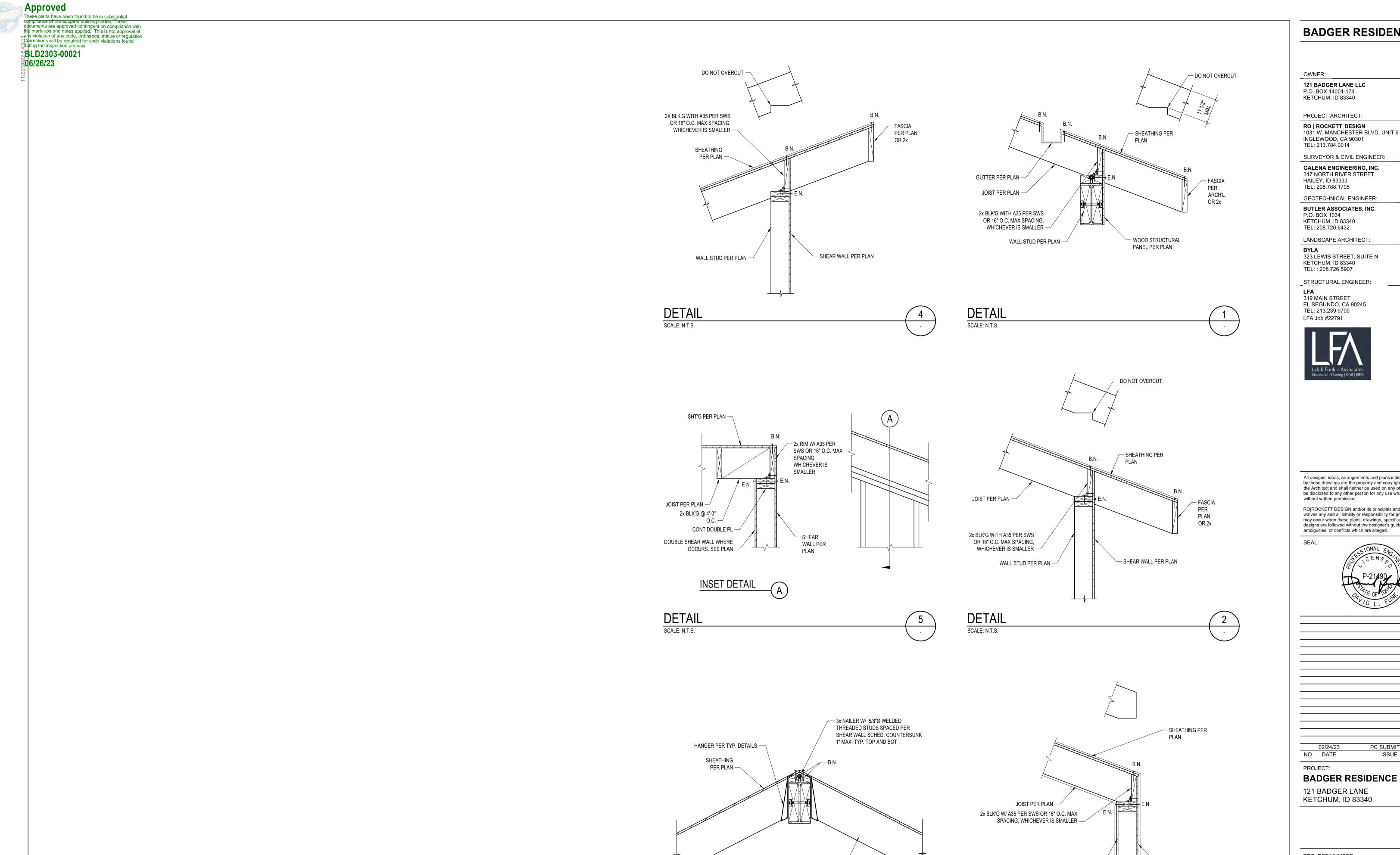
BADGER RESIDENCE

121 BADGER LANE KETCHUM, ID 83340

PROJECT NUMBER

#2201 DRAWING TITLE:

WOOD SECTIONS **AND DETAILS** 



DETAIL

ROOF JOIST PER PLAN —

# BADGER RESIDENCE

RO | ROCKETT DESIGN 1031 W. MANCHESTER BLVD, UNIT 6

317 NORTH RIVER STREET

GEOTECHNICAL ENGINEER:

**BUTLER ASSOCIATES, INC.** 

LANDSCAPE ARCHITECT:

323 LEWIS STREET, SUITE N

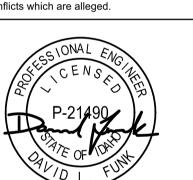
STRUCTURAL ENGINEER:

EL SEGUNDO, CA 90245



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PC SUBMITTAL ISSUE

KETCHUM, ID 83340

PROJECT NUMBER #2201

DRAWING TITLE:

- SHEAR WALL PER PLAN

WALL STUD PER PLAN -

DOUBLE SHEAR WALL WHERE OCCURS. SEE PLAN -

DETAIL

SCALE: N.T.S.

**WOOD SECTIONS AND DETAILS** 

