

# STAFF REPORT KETCHUM PLANNING AND ZONING COMMISSION REGULAR MEETING OF NOVEMBER 25, 2025

PROJECT: 140 & 180 N Leadville Ave ARCH Workforce Housing Project

APPLICATION TYPES: Design Review (Application File No. P25-033) & Lot

Consolidation Preliminary Plat (Application File No. P25-039)

ASSOCIATED APPLICATIONS: Pre-Application Design Review File No. P25-006

**PROPERTY OWNER:** ARCH Community Housing Trust

**REPRESENTATIVE:** Martin Henry Kaplan, AIA

**REQUEST:** Final Design Review and Lot Consolidation Preliminary Plat

applications for the ARCH workforce housing project at 140 &

180 N Leadville Avenue

LOCATION: 140 & 180 N Leadville Avenue (Ketchum Townsite: Block 22:

Lots 3 & 4)

**ZONING:** Mixed-Use Subdistrict of the Community Core (CC-2 Zone)

**REVIEWER:** Abby Rivin – Senior Planner

**NOTICE:** A public hearing notice for the project was mailed to all owners

of property within 300 feet of the project site and all political subdivisions on October 22, 2025. The public hearing notice was published in the Idaho Mountain Express on October 22, 2025. A notice was posted on the project site and the city's website on October 27, 2025. The building corners were staked, the story poles were installed, and trees to be removed were flagged on the project site on November 18, 2025. The

public hearing for the project was continued from the

November 12, 2025 Planning & Zoning Commission Meeting.

## I. EXECUTIVE SUMMARY

The applicant, ARCH Community Housing Trust, is proposing to develop a new workforce housing project located at 140 & 180 N Leadville Avenue (the "subject property", see Figure 1) in the Mixed-Use Subdistrict of the Community Core ("CC-2 Zone"). The proposed workforce housing project

proposes to consolidate the two lots and construct five new structures on the consolidated development parcel.



Figure 1: Subject Property Aerial Map

The five new structures include three, three-story residential buildings that are connected through an exterior stairwell and two carport structures that accommodate 11 off-street parking spaces (see

Figure 2). The existing historic home and new residential buildings will accommodate 11 new workforce housing units. The applicant has submitted a final Design Review application for the proposed project as well as a Lot **Consolidation Preliminary** Plat application to consolidate the two lots into a single development parcel. The Design Review project plan set is included as Attachment B. The Lot **Consolidation Preliminary** Plat is included as Attachment D.



Figure 2: West Aerial Perspective (Sheet A.10)

Lot 3 located at 140 N Leadville Ave was previously developed with a building that was demolished in 2021 and is currently vacant. The corner Lot 4 at 180 N Leadville Ave is developed with an

existing historic home and a detached garage that encroaches into the Block 22 alleyway. The existing single-family home (see Figure 3) is designated as a historic structure and listed on the city's Historic Building/Site List. The Planning and Building Department issued a building permit to rehabilitate the existing historic home in February of 2025. Pursuant to Ketchum Municipal Code ("KMC") \$17.20.050, "Normal repair and maintenance of structures on the historic building/site list is permitted." The existing detached garage that encroaches into the alley is proposed to be demolished.



Figure 3: Historic Home at 180 N Leadville Ave

The total FAR of the proposed development is 0.78, which is less than the 1.0 permitted by-right in the Community Core. The three residential buildings are all less than 35 feet in height. The south carport building is 24'-3" in height and the north carport building is 11'-9". The proposed project program is as follows:

- 9 housing units are proposed within three new, three-story residential buildings connected by an exterior stairwell.
  - O Buildings 1 and 2 have the same program and mirroring floor plans. Each floor contains a one-bedroom apartment. The ground floor apartments are 627 square feet and the upper-level apartments are 651 square feet.
    - No parking spaces are required for the 6 housing units in Building 1 and Building 2 as all apartments as multi-family dwelling units 750 square feet or less are exempt from providing parking in the CC Zone pursuant to KMC \$17.125.040.
  - Building 3 contains a two-bedroom apartment on each of the three floor levels. The ground floor two-bedroom unit is 797 square feet. The upper-level housing units are 820 square feet in size.
    - The three two-bedroom apartments generate a parking demand of three spaces as multi-family dwelling units between 750 square feet to 2,000 square feet in the Community Core require 1 parking space pursuant to KMC \$17.125.040.
- Two carport structures installed at the rear of the development parcel along the alley.
  - The south carport building is two stories. The ground floor contains 6 covered parking stalls, individual tenant storages spaces, garbage bin alcoves, and covered bike parking on the ground floor. The second floor contains one two-bedroom

apartment accessed from exterior stairs at the west elevation of the carport structure.

- The two-bedroom apartment is 872 square feet and requires 1 parking space.
- The north carport structure contains 5 covered parking stalls, individual tenant storage spaces, and garbage bin alcoves.
- The existing historic home is 910 square feet and requires 1 parking space.

The project is subject to Design Review pursuant to KMC §17.96.010.A3, which requires Design Review for developing multi-family dwellings in all zoning districts. The project is subject to all Design Review standards specified in KMC §17.96.060 and the requirements for projects in the Community Core District specified in KMC §17.96.070. Please see section III of the staff report and Attachment E2 for staff's analysis of Design Review standards and Community Core requirements. The subject property is comprised of two Ketchum townsite lots that are proposed to be consolidated. Pursuant to KMC §16.04.030.C1a, lot consolidations are permitted in the CC-2 Zone subject to additional standards noted in KMC §16.04.030.C4. Please see section III and Attachment E3 for staff's analysis of lot consolidation preliminary plat standards and subdivision design and development standards.

Following the applicant's submittal of the final Design Review and Lot Consolidation Preliminary Plat applications, planning staff and city departments conducted another review of the project for conformance with Design Review standards, zoning and dimensional standards, right-of-way standards, subdivision regulations, and other city requirements. As conditioned, staff believes the project complies with all dimensional standards and zoning regulations required for projects in the CC-2 as well as all subdivision standards. Staff is concerned about the project's compliance with certain Design Review standards related to façade design. Staff recommends the Commission consider the design issues flagged by staff in section III of the staff report and provide feedback to the applicant.

## II. BACKGROUND

## **Process to Date**

The project is subject to Pre-Application Design Review pursuant KMC \$17.96.010.D1 as the size of the consolidated development parcel is 11,007 square feet. The Commission reviewed the Pre-Application Design Review for the project during a special meeting on March 31, 2025. The Pre-Application materials, staff report, and meeting recording is published on the city's website and may be viewed by clicking the link <a href="here">here</a>.

## Commission Pre-Application Feedback

During their review of the Pre-Application, the Commission expressed support for the project commenting that the proposed development set a great example for how more workforce housing can be accommodated in downtown Ketchum in an effective way that is compatible with the scale of the surrounding neighborhood. The Commission appreciated how the physical separation of three residential buildings connected by the exterior stairwell provided transparency, light, and air through the development. In addition, the Commission appreciated the preservation of the historic home and open space feel of the street corner. The Commission believed that the open space, landscaping, and separation of the residential buildings provided a human-scaled, pedestrian-friendly environment along the streetscape.

While supportive of the site plan and orientation of the buildings, the Commission expressed concerns about the bulk and flatness of certain facades, including the northwest façade facing this historic home. Understanding that providing relief through modulation of building mass diminishes the cost effectiveness of the efficiently stacked floor plans, the Commission encouraged the applicant to add visual interest through cladding and materiality. In addition, the Commission encouraged the applicant to consider design treatments that add a Ketchum flavor and embrace and enhance the character of downtown.

The Commission appreciated that the applicant provided a covered off-street parking space was provided for each of the 11 housing units even though the project only generates a parking demand for 5 spaces. As the carports take up the full width of the alley, the new transformer is proposed to be installed along the 2<sup>nd</sup> Street frontage with screening panels and individual garbage bins are proposed instead of a consolidated dumpster. For most downtown development projects, new transformers are encouraged to be sited and screened from public view along the alley. Garbage disposal in new construction projects within the Community Core are encouraged to utilize a consolidated. The Commission believed that the proposed siting of the transformer and individual garbage bins were worthwhile tradeoffs for providing covered parking for each housing unit.

## Affordability

At the Pre-Application meeting, the Commission asked the applicant how the housing units will be maintained as affordable for the workforce over time. KMC §17.08.020 defines community housing as, "Dwelling units, for sale or rent, restricted typically via deed restriction by size and type for individuals meeting asset, income and minimum occupancy guidelines approved by the governing housing authority and the City of Ketchum." The 11 total proposed housing units will not meet Ketchum's definition for community housing as the units are not proposed to be deed restricted.

ARCH Community Housing Trust, the applicant and owner of the project, is a mission-driven, nonprofit organization with 501(c)(3) tax status dedicated to delivering low- and moderate- income housing for the citizens of Blaine County. ARCH calculates the rent for individual tenants, so that the rent is no more than 30% of the tenant's adjusted gross income. In addition, the subject property was donated to ARCH and a donation agreement is in place that stipulates the housing units remain affordable to the workforce.

#### III. ANALYSIS

Pursuant to KMC §17.96.050.A, the Commission shall determine the following before granting Design Review approval:

- 1. The project does not jeopardize the health, safety or welfare of the public.
- 2. The project generally conforms with the goals, policies, and objectives of the adopted comprehensive plan.
- 3. The project conforms to all applicable standards and criteria as set forth in this chapter, this title, and any other standards as adopted or amended by the City of Ketchum from time to time.

## Criteria 1 & Criteria 2: Public Health, Safety, and Welfare & Comprehensive Plan Conformance Future Land Use

The subject property is designated as Mixed-Use Commercial on the future land map of the 2104 Comprehensive Plan ("2014 Plan"). The Mixed-Use Commercial category promotes a wide range of commercial and residential uses and mixed-use development. The 2014 Plan states that new development in mixed-use areas "should be oriented to streets and sidewalks" (page 69) and "should contain common public space features that provide relief to the density and contribute to the quality of the street" (page 69). The two new multi-family residential buildings that face Leadville Avenue are oriented towards the street and setback 7.5 from the front property line. Both buildings include front porch stoops that provide welcoming entrances to the two ground-floor apartments. The development includes multiple pathways that provide unobstructed access to the sidewalk along Leadville Avenue. While connected by a common exterior staircase, the three new three-story residential buildings are detached, which provide natural light and views through the three buildings. The development is characterized by a significant amount of open space that provides relief to the bulk and mass of the buildings.

## **Housing**

In addition to encouraging a mixture of uses, the 2014 Plan promotes housing density downtown. Policy H-1.4 states, "Housing should be integrated into the downtown core and light industrial areas, and close to the ski bases" (page 20). Policy M-1.3 encourages housing density downtown to, "increase opportunities for walking, bicycling, and transit ridership and reduce vehicle trips" (page 42). In addition, the 2014 Plan encourages increasing the supply of affordable and attainable housing. Policy H-1.2 encourages local solutions to attainable housing for low-, moderate-, and median-income households. Policy H-1.3 encourages the integration of affordable housing in neighborhoods and supports, "the inclusion of affordable housing to provide diversity" (page 20).

The project will provide 11 new workforce housing within walking distance to jobs, retail stores, coffee shops, bars, and restaurants in the heart of downtown. Additionally, the project is located within walking distance to the Mountain Rides bus stop at the Visitor Center on Sun Valley Road and the bus stop at Main & 1st Streets, which provide access to all major transit routes connecting riders to other areas of Ketchum and the Wood River Valley.

## Small-Town Character & Contextual Infill

Goal CD-1 of the 2014 Plan states, "Our community will preserve its small-town character and the distinct image of neighborhoods and districts" (page 26). Staff believes the project meets the following policies that the 2014 Plan provides to achieve this goal:

- Policy CD-1.2 Preservation of Historic Buildings and Sites: "Individual buildings and sites of historical, architectural, archaeological, or cultural significance should be identified and considered for protection."
- Policy CD-1.3 Compatible Infill and Redevelopment Projects: "Infill and redevelopment projects should be contextually appropriate to the neighborhood and development in which they occur. Context refers to the natural and manmade features adjoining a development site; it does not imply a certain style" (page 26).
- Policy CD-1.4 High-Quality Site Planning and Building and Landscape Design: "Each new project should be well-designed and attractive, and should complement surrounding land uses and existing neighborhood character" (page 26).

While redevelopment has intensified to the north of the subject property across 2<sup>nd</sup> Street, Block 22 has not experienced the same degree of change. The most recent development in Block 22 was the construction of the duplex located across the alley to the east of the subject property in 2015. The three-story duplex is 35.75 feet in height, is 5,501 gross square feet, and has a total FAR of 0.99. Lee Gilman's office is located north of the duplex at the corner of 2<sup>nd</sup> Street and East Avenue. The office is a small, single-story building. The adjacent developments to the south of the subject property along Leadville Avenue include a two-story, 3,024-square-foot commercial building that was constructed in 1980 and a two-story, 2,538 square foot home that was constructed in 1946. The project is comparable in scale to the adjacent commercial building and the duplex across the alley. The proposed three-story buildings extend to a maximum height of 30'-9", which is 5 feet less than the duplex. Staff believes the project is contextually appropriate to the neighborhood and helps maintain the community's identity, small-town character, and sense of place by preserving the historic home.

## Conformance with Zoning Regulations and Design Review Standards

## Conformance with Zoning Regulations

During city department review, planning staff reviewed the project for conformance with all applicable zoning code requirements, including permitted uses, dimensional standards, signage, parking, and dark skies. As conditioned, staff believes the project complies with all zoning and dimensional standards required in the CC-2 Zone. Please see Attachment E1 for staff's comprehensive analysis of the project's compliance with staff analysis in the Zoning and Dimensional Standards Evaluation included as Attachment E1.

## Exterior Lighting Plan: Color Temperature

The exterior lighting plan is provided on sheets E.1, E.2, and E.3 of the project plans. The exterior lighting fixtures included . The exterior lighting fixture specifications are provided on sheet E.3. The proposed exterior lighting fixtures include:

- Fixture A: Design Classics Lighting LED Black Outside Wall Cylinder
- Fixture B: NUWATT 4" Black Square Anti-Glare Warm LED Recessed Can Lights
- Fixture C: WAC Lighting Ledge LED Path Light

Pursuant to KMC §17.132.030, "all exterior lighting shall utilize light sources not to exceed 2,700 Kelvin." The specification for the WAC Lighting Ledge LED Path Light (Fixture C) states that the color temperature is 2700K. The color temperature of the light sources for the Design Classics Lighting LED Wall Cylinder (Fixture A) and the NUWATT 4" Recessed Can Light (Fixture B) on sheet E.3 is unspecified. While the color temperature of the light source is unspecified on sheet E.3, the applicant confirmed that the light source selected for both Fixture A and Fixture B will be 2700K during city department review.

Staff recommends the Commission add the following condition of approval no. 4 for Planning staff to confirm compliance with KMC §17.132.030 and ensure the light sources do not exceed a color temperature of 2700K at time of building permit:

The applicant shall clearly specify the color temperature of the light sources selected for all exterior lighting fixtures on the exterior lighting plan that is required to be submitted the building permit application for Planning Department staff to review and confirm compliance with KMC \$17.132.030, which requires the color temperature not exceed 2700K.

## Conformance with Design Review Standards

During city department review, planning staff reviewed the project for conformance with all design review standards and required improvements (KMC §17.96.060) and requirements for developments within the Community Core specified (KMC §17.96.070). Additionally, staff reviewed the project for conformance with all city code requirements for right-of-way improvements, including but not limited to sidewalks, streetlights, and drainage. Staff believes most of these requirements are either: (a) met, (b) not applicable, or (c) have been addressed by conditions of approval but has concerns related to the bulk and flatness of the northwest façade and the proposed color palette. Please see Attachment D2 for staff's comprehensive analysis of all design review standards. The following analysis highlights issues that staff has flagged for the Commission's consideration and feedback.

## **Undulation** and Relief

Pursuant to KMC §17.96.060.F.5, building walls shall provide undulation and relief to reduce the appearance of bulk and flatness. The three new three-story residential buildings are detached and connected by a covered external staircase. Staff believes this detached design provides relief to the mass of the three new residential buildings. In addition, the façade design includes exterior material differentiation that provides visual relief. Stucco portions of the building wall project ~2 feet from the façade at the second and third floors. Staff appreciates how the stucco projections add depth and texture to the facade.

While the stucco projections add visual interest, staff is concerned about the large expanses of undifferentiated blank surfaces at the northwest elevation. The southeast and northwest facades have horizontally placed Hardie Plank siding on the ground floor and vertically placed Hardie Board & Batten siding on the upper floors. During city department review, Planning staff recommended the applicant further articulate and differentiate the southeast and northwest facades to add visual interest and reduce the appearance of bulk and flatness. Planning staff encouraged the applicant to consider building articulation features like contrasting material wainscot, decorative façade features, detailing, and further differentiating exterior materials and colors may help add visual interest and relief to building bulk and flatness.

The applicant responded to Planning staff's recommendation as follows:

To address staff commentary, we have decided to differentiate the color of the façade. We have chosen to keep the same color for anchoring the lowest floor sided with the 4" lap siding. The upper two floors died with the board-and-batten will now have a slightly lighter color setting off the visual relief for the facades in question. While revising the follow plans and buildings facades to introduce additional articulation and modulation may work for market rate housing, our mission is to design and construct these buildings most efficiently allowing for the greatest resultant affordability without adding unnecessary costs. In addition, the placement of trees and landscaping will greatly influence the one façade in question together with the views of the adjacent home. And finally, several adjacent buildings have recently been approved and constructed using a similar color that look great.



Lower level

Upper two floors

Staff does not believe the material and color changes provide sufficient visual relief to the undifferentiated blank surface at the northwest elevation and recommends further articulating the northwest façade through cladding, materiality, color, and detailing that adds depth, texture, and visual interest. Sensitive to the applicant's desire to maintain affordability and not add unnecessary cost, staff does not recommend modulating the mass of the buildings but instead recommends enhancing visual interest through the creative use of exterior materials, colors, and details.

## Color Palette

Pursuant to KMC 17.96.060.E1, "materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures." Staff is concerned that the black, gray, and beige colors appear stark and cold. The majority of the building walls are painted black and dark gray. Staff believes the expanses of undifferentiated black surfaces appear flat and monotonous. During city department review, Planning staff recommended the applicant reduce the building wall areas that are painted black and introduce warmer color tones into the exterior material and color palette. The applicant introduced a dark gray color for the upper levels of the residential buildings. Staff remains concerned that the expanses of undifferentiated black and dark gray color appear cold, stark, and monotonous.

## Roof Design

Pursuant to KMC 17.96.070.B4, "Roofing forms and materials shall be compatible with the overall style and character of the structure." The proposed three-story residential buildings at the same height elevation. Staff is concerned flat roofline in conjunction with the continuous black/dark gray façades appear monotonous and lack character. Staff recommends the applicant consider adding depth and detail to the roof parapets to create and intentional façade termination that adds visual interest to the flat roof design.

## Garbage Disposal Plan

The project plans submitted with the final Design Review propose storing the garbage bins in individual alcoves by the storage areas for each individual tenants in the carport buildings. The individual tenants would move their individual garbage bins to the alley for Clear Creek Disposal to pick up. At Pre-Application, the applicant proposed to utilize the special service provided by Clear Creek Disposal to transport the bins to and from a garbage bin staging area provided in the south carport structure. The garbage bin staging area has been removed. The applicant now proposes that the tenants would move their individual bins to the alley for Clear Creek Disposal to pick up.

The Streets Department has concerns that the 11 garbage bins will remain lingering in the 20-foot-wide alley right-of-way and interfere with snow removal operations. The Streets Department recommends the utilization of Clear Creek Disposal's special service to transport the garbage bins

to and from the staging area as proposed in the Pre-Application. Staff recommends the following condition of approval:

The applicant shall accommodate a staging area for all garbage bins in the carport structure and utilize Clear Creek Disposal's special service to transport the garbage bins to and from the staging area as proposed in the Pre-Application. The owner must utilize and maintain the special service provided by Clear Creek Disposal to transport the garbage bins to and from the staging area. The garbage bins must always be stored within the carports, either within the staging area or the individual tenant alcoves, except for when Clear Creek Disposal transports the bins to and from the staging area for servicing. If Clear Creek Disposal discontinues these special services in the future, then the owner must provide evidence of similar transport services.

## **Snow Hauling**

The applicant has indicated that all snow is proposed to be removed from the project site. KMC \$17.96.060.H4 states that, "In lieu of providing snow storage areas, snowmelt and hauling of snow may be allowed." Staff recommends the following condition of approval to ensure that the project complies with snow hauling requirements:

Prior to issuance of building permit, the applicant submit a snow-hauling plan, submit a copy of the snow hauling agreement with the selected contractor, and identify the associated offsite snow storage area to verify compliance with the off-site snow storage standards specified in KMC \$17.124.160 for review and approval by Planning Department.

#### Pedestrian Amenities

The project is required to provide pedestrian amenities pursuant to KMC §17.96.060.J1, which states, "Where sidewalks are required, pedestrian amenities shall be installed." The project is characterized by open space areas, trees, and pedestrian pathways that are provided between the five buildings. The project has an opportunity to provide an activated, pedestrian-friendly experience at the street corner. Staff recommends the applicant incorporate a public gathering space and provide site furnishings like benches, seating/tables, bike racks, or other similar amenities at the street corner. Staff recommends the Commission add the following condition of approval:

Pedestrian amenities are required pursuant to KMC \$17.96.060.J1. The applicant shall propose a pedestrian amenity, such as a bench, at the street corner for final review and approval by Planning Department staff prior to issuance of a building permit for the project.

## Replacement Trees

Pursuant to KMC §17.96.070.D1, "When a healthy and mature tree is removed from a site, it shall be replaced with a new tree. Replacement trees may occur on or off site." The landscape plan on sheet L1 shows approximately 20 trees are proposed to be removed from the project site. The applicant has proposed installing 5 street trees—three street trees are proposed along the Leadville Avenue sidewalk, and two street trees are proposed along the 2<sup>nd</sup> Street sidewalk. In addition, one columnar evergreen tree is proposed to be installed. Staff recommends the Commission add the following condition of approval to confirm compliance with the replacement tree requirement specified in KMC §17.96.070.D1.

The City Arborist will conduct a site visit to inspect the trees proposed to be removed, assess how many of the trees are healthy and mature, and determine the required number of

replacement trees. The City Arborist and Planning staff will work with the applicant to ensure all healthy and mature trees proposed to be removed from the project site are replaced either on or off site and confirm compliance with KMC \$17.96.070.D1 prior to issuance of a building permit for the project.

## Conformance with Lot Consolidation Subdivision Preliminary Plat Standards

During department review, staff reviewed the Lot Consolidation Subdivision Preliminary Plat Application and Waiver Requests for conformance with the procedure for preliminary plat approval (KMC §16.04.030.C), lot consolidation standards (KMC §16.04.030.C.1a), preliminary plat content requirements (KMC §16.04.030.J), and subdivision development and design standards (KMC §16.04.040). Staff believes the request conforms with all applicable subdivision regulations for lot consolidations. Please see Attachment E3 for staff's evaluation of the project's conformance with subdivision regulations.

## IV. STAFF RECOMMENDATION

Staff recommends the Commission provide feedback to the applicant on the design issues flagged in the staff report and continue review of the final Design Review and Lot Consolidation Preliminary Plat applications to a date certain to allow time for the applicant to make design changes that address the Commission's feedback.

## **Commission Options**

The Commission may either continue review of the applications directing the applicant to make changes in response to feedback as recommended by staff or approve the applications with the current design proposed by the applicant. If the Commission disagrees with staff and believes the proposed design complies with all applicable standards, then the Commission may approve the Design Review application and recommend approval of the Lot Consolidation Preliminary Plat to the City Council. Should the Commission decide to approve the project as proposed, then staff recommends the following conditions of approval:

## Recommended Design Review Conditions of Approval

- 1. This Design Review approval is based on the plans dated September 22, 2025 and information presented and approved at the November 25, 2025 Planning and Zoning Commission Meeting included as Exhibit A. The building permit plans must conform to the approved Design Review plans unless otherwise approved in writing by the Planning and Zoning Commission or Administrator. Any building or site discrepancies which do not conform to the approved plans will be subject to removal.
- 2. The Design Review approval is subject tot Lot Consolidation Preliminary Plat Application File No. P25-039.
- 3. At time of building permit, the applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for all right-of-way improvements, including sidewalks, alley asphalt, streetlights, utilities, and drainage facilities, for final review and approval by the City Engineer, Streets Department, Utilities Department, and Planning Department.
- 4. The applicant shall clearly specify the color temperature of the light sources selected for all exterior lighting fixtures on the exterior lighting plan that is required to be submitted the building permit application for Planning Department staff to review and confirm compliance with KMC §17.132.030, which requires the color temperature not exceed 2700K.

- 5. The applicant shall accommodate a staging area for all garbage bins in the carport structure and utilize Clear Creek Disposal's special service to transport the garbage bins to and from the staging area as proposed in the Pre-Application. The owner must utilize and maintain the special service provided by Clear Creek Disposal to transport the garbage bins to and from the staging area. The garbage bins must always be stored within the carports, either within the staging area or the individual tenant alcoves, except for when Clear Creek Disposal transports the bins to and from the staging area for servicing. If Clear Creek Disposal discontinues these special services in the future, then the owner must provide evidence of similar transport services.
- 6. The City Arborist will conduct a site visit to inspect the trees proposed to be removed, assess how many of the trees are healthy and mature, and determine the required number of replacement trees. The City Arborist and Planning staff will work with the applicant to ensure all healthy and mature trees proposed to be removed from the project site are replaced either on or off site and confirm compliance with KMC \$17.96.070.D1 prior to issuance of a building permit for the project.
- 7. Prior to issuance of building permit, the applicant submit a snow-hauling plan, submit a copy of the snow hauling agreement with the selected contractor, and identify the associated offsite snow storage area to verify compliance with the off-site snow storage standards specified in KMC \$17.124.160 for review and approval by Planning Department.
- 8. Pedestrian amenities are required pursuant to KMC §17.96.060.J1. The applicant shall propose a pedestrian amenity, such as a bench, at the street corner for final review and approval by Planning Department staff prior to issuance of a building permit for the project.
- 9. The term of Design Review approval shall be twelve (12) months from the date that the Findings of Fact, Conclusions of Law, and Decision are adopted by the Planning and Zoning Commission or upon appeal, the date the approval is granted by the Council subject to changes in zoning regulations (KMC §17.96.090). Any extension shall comply with KMC §17.96.090.
- 10. In addition to the requirements set forth in this Design Review approval, this project shall comply with all applicable local, state, and federal laws.

## Recommended Lot Consolidation Preliminary Plat Conditions of Approval

- 1. This Lot Consolidation Subdivision Preliminary Plat is subject to the ARCH Workforce Housing Project Design Review Application File No. P25-033.
- 2. As required by KMC 16.04.030.I, the applicant shall obtain final plat approval within two years of City Council's approval of the preliminary plat. If final plat approval is not obtained within this timeframe, the preliminary plat approval shall become null and void.
- 3. The lot consolidation subdivision final plat shall not be signed by the City Clerk or recorded until a building permit is issued for the ARCH Workforce Housing Project development pursuant to KMC \$16.04.030.G.

## **Recommended Motion**

• "I move to continue review of the 140 & 180 N Leadville Ave ARCH Workforce Housing Project Design Review application and Lot Consolidation Preliminary Plat application to the December 23 Planning & Zoning Commission Meeting."

## **Alternative Motions**

• "I move to approve the 140 & 180 N Leadville Ave ARCH Workforce Housing Project Design Review application subject to conditions 1-8 and direct staff to return with findings of fact."

 "I move to recommend approval of the 140 & 180 N Leadville Ave Lot Consolidation Preliminary Plat to the City Council subject to conditions 1-3 and direct staff to return with findings of fact."

## **ATTACHMENTS:**

- A. Application Materials: Design Review Application & Supplemental Materials
- B. Application Materials: Design Review Plan Set
- C. Application Materials: Lot Consolidation Preliminary Plat Application & Supplemental Materials
- D. Application Materials: Lot Consolidation Preliminary Plat
- E. Staff Analysis:
  - 1. CC-2 Zoning and Dimensional Standards Evaluation
  - 2. Design Review Standards Evaluation
  - 3. Lot Consolidation Subdivision Preliminary Plat Standards Evaluation

## **Attachment A**

Application Materials:

Design Review Application & Supplemental Materials



## City of Ketchum Planning & Building

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| Pre-Application Fee Paid: |  |
| Design Review Fee Paid:   |  |
| Bv:                       |  |

Submit completed application and documentation to <a href="mailto:planningandbuilding@ketchumidaho.org">planningandbuilding@ketchumidaho.org</a> Or hand deliver to Ketchum City Hall, 191 5<sup>th</sup> St. W. Ketchum, ID If you have questions, please contact the Planning and Building Department at (208) 726-7801. To view the Development Standards, visit the City website at: <a href="mailto:www.ketchumidaho.org">www.ketchumidaho.org</a> and click on Municipal Code. You will be contacted and invoiced once your application package is complete.

| APPLICANT INFORMATION  |                        |                              |           |                              |           |         |
|--|------------------------|------------------------------|-----------|------------------------------|-----------|---------|
| Project Name: ARCH-S Leadville Ave & E   | Phone: 208-721-7949    |                              |           |                              |           |         |
| Owner: ARCH Community Housing Trust, Inc.  | 3                      | Mailing Address:             |           |                              |           |         |
| Email: michelle@archbc.org   |                        | PO Box 3569, Hailey ID 83333 |           |                              |           |         |
| Architect/Representative: Martin Henry Ka  | ıplan, AIA             | Phone: 206-9                 | 972-9972  |                              |           |         |
| Email: mhk@martinhenrykaplan.com   |                        | Mailing Address:             |           |                              |           |         |
| Architect License Number: AR-984567  |                        | PO Box 482, Ketchum ID 83340 |           |                              |           |         |
| Engineer of Record:  |                        | Phone:                       |           |                              |           |         |
| Email:   |                        | Mailing Address:             |           |                              |           |         |
| Engineer License Number:   |                        |                              |           |                              |           |         |
| Primary Contact Name and Phone Numb  | er: Martin Kaplan, AIA | 206-972-9972                 |           |                              |           |         |
| PROJECT INFORMATION  |                        |                              |           |                              |           |         |
| Legal Land Description: Block 22, Lots 3&4   | , Ketchum ID           | Street Addr                  | ess: 140  | -180 N Leadville Ave         |           |         |
| Lot Area (Square Feet): 11,007   | Zoning District: CC2   | 2                            |           | RPK #: 00000220040, / 000    | 000220030 | )       |
| Overlay District:  | ☐ Avalanche            | □Mountain                    | Ų         | <b>≧</b> None                |           |         |
| Type of Construction: ☑New   | □Addition              | □Remodel                     |           | □Other                       |           |         |
| Anticipated Use: Affordable Housing, 100%  |                        | Number of R                  | Residenti | ial Units: 12                |           |         |
| GROSS FLOOR AREA   |                        |                              |           |                              |           |         |
|  | Proposed               |                              |           | Existing 180 N Leadville Exi | sting Hou | se      |
| Basements  |                        | 0                            | Sq. Ft.   |                              | 294       | Sq. Ft. |
| 1 <sup>st</sup> Floor  | Bldg A/627, B/627, C   | 7/796                        | Sq. Ft.   |                              | 936       | Sq. Ft. |
| 2 <sup>nd</sup> Floor  | Bldg A/651, B/651, C   | /820, D/1336                 | Sq. Ft.   |                              |           | Sq. Ft. |
| 3 <sup>rd</sup> Floor  | Bldg A/651, B/651, C   | /820                         | Sq. Ft.   |                              |           | Sq. Ft. |
| Mezzanine N/A Carport  |                        | 2,367.4                      | Sq. Ft.   |                              |           | Sq. Ft. |
| Total  |                        | 7,630.0                      | Sq. Ft.   |                              | 1,230     | Sq. Ft. |
| FLOOR AREA RATIO   |                        |                              |           |                              |           |         |
| Community Core: 2.25-Affordable Housing  | Tourist:               |                              |           | General Residential-High:    |           |         |
| BUILDING COVERAGE/OPEN SPACE   |                        |                              |           |                              |           |         |
| Percent of Building Coverage: 47.5%  |                        |                              |           |                              |           |         |
| DIMENSIONAL STANDARDS/PROPOSED   |                        |                              |           |                              |           |         |
|  | e: 180-13' Average     | <b>Side:</b> 140-7'4'        |           |                              |           |         |
| Building Height: House-21'6" Bldg A,B,C  | 2-31'9" BLDG D-22'     | 3"-24'3" Sloping             | Alley     | N Carport 11'9"              |           |         |
| OFF STREET PARKING   |                        |                              |           |                              |           |         |
| Parking Spaces Provided: 11 Covered Curb Cut: 0 Sq. Ft. %  |                        |                              |           |                              |           |         |
| WATER SYSTEM   |                        |                              |           |                              |           |         |
| ☑ Municipal Service  |                        | ☐ Ketchun                    |           |                              |           |         |
| The Applicant agrees in the event of a dispute concerning the interpretation or enforcement of the Design Review Application in which the city of Ketchum is the prevailing party, to pay the reasonable attorney fees, including attorney fees on appeal and expenses of the city of Ketchum. I, the undersigned, certify that all information submitted with and upon this application form is true and accurate to the best of my knowledge and belief. |                        |                              |           |                              |           |         |

21 June 2025

KETCHUM, IDAHO

251 Hillside Drive, Unit West Post Office Box 482 Ketchum, Idaho 83340 T: 206.682.8600 mhk@martinhenrykaplan.com

## **ARCH Community Housing Trust**

S Leadville Avenue & E 2<sup>nd</sup> Street City of Ketchum Design Review

#### A Project Narrative

We propose to develop 140 and 180 N Leadville with 11 units of 100% affordable housing. 140 N Leadville has an existing home, storage shed and small garage on site. The home is landmarked and will remain. 180 N Leadville is a vacant lot upon which we will construct 10 units.

We have been working with Morgan Landers, Planning and Building Director, throughout our project development process. In addition, we met with Seth from the Ketchum Fire Department to confirm interpretations, as we did with Eric, City of Ketchum Building Inspector. Morgan has approved our plans to remove the garage and storage shed and rehabilitate the existing house, under a separate permit that has already been submitted. We will combine the two lots and develop 11 parking places within a weather protected carport off the alley. All the parking shall be provided off the alley and stretch from property line to property line. We have sited the carports to replace the shed and garage located at the rear of site 140.

In respecting the land use code and relative criteria, we have endeavored to compose a relatively low scale open site plan with new structures that respect the existing house and preserve existing trees where possible / recommended by the City arborist and replace where trees are removed. Note: we met with the city arborist and will preserve and replace trees as directed by him. The scale of the project is well below the height and lot coverage allowed in respect for the mixed nature of the neighborhood and landmarked adjacent home.

The project includes building five new structures including two three-story, one-bed unit structures off S Leadville connected via covered decks and stairway to one three-story, two-bed unit building behind. In addition to two carport structures, we will provide one two-bed unit above the southeast garage. The two ground related units facing S Leadville have stoops and help activate and engage the street.

The alley, curb, gutter and sidewalk improvements will be the subject of a funding request to the KURA. We will improve the existing landscape to 140 and combine new trees and groundcover over the entire site. The interior circulation pathways shall be a permeable surface as shown on the site plan to reduce and contain drainage.

The completed project fits well below every zoning restriction as depicted on the plans. In addition, our design conclusion has been informed by the desire to provide one weather-protected parking place for each unit.

#### **DESIGN REVIEW EVALUATION STANDARDS**

#### 17.96.060: IMPROVEMENTS AND STANDARDS FOR ALL PROJECTS

#### A. Streets:

- 1. The applicant shall be responsible for all costs associated with providing a connection from an existing city street to their development. Yes
- 2. All street designs shall be approved by the City Engineer. Yes

#### **B. Sidewalks:**

- 1. All projects under 17.96.010(A) that qualify as a "Substantial Improvement" shall install sidewalks as required by the Public Works Department. Yes
- 2. Sidewalk width shall conform to the city's right of way standards; however the city engineer may reduce or increase the sidewalk width and design standard requirements at their discretion. Yes
- 3. Sidewalks may be waived if one of the following criteria is met:
  - a. The project comprises an addition of less than two hundred fifty (250) square feet of conditioned space. The project is greater that 250 sf
  - b. The city engineer finds that sidewalks are not necessary because of existing geographic limitations, pedestrian traffic on the street does not warrant a sidewalk, or if a sidewalk would not be beneficial to the general welfare and safety of the public. Yes, we will follow guidance
- 4. The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street. Yes, if required
- 5. New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building. Yes, if required
- 6. The city may approve and accept voluntary cash contributions in lieu of the above described improvements, which contributions must be segregated by the city and not used for any purpose other than the provision of these improvements. The contribution amount shall be one hundred ten percent (110%) of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the city engineer. Any approved in lieu contribution shall be paid before the city issues a certificate of occupancy. TBD

#### C. Drainage:

- 1. All storm water shall be retained on site. Yes
- 2. Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street. Yes
- 3. The City Engineer may require additional drainage improvements as necessary, depending on the unique characteristics of a site. TBD
- 4. Drainage facilities shall be constructed per city standards. Yes

#### D. Utilities:

- 1. All utilities necessary for the development shall be improved and installed at the sole expense of the applicant. Yes
- 2. Utilities shall be located underground and above grade utility, power and communication equipment within the development site shall be concealed from public view. Yes
- 3. When extension of utilities is necessary all developers will be required to pay for and install two (2") inch SDR11 fiber optical conduit. The placement and construction of the fiber optical conduit shall be done in accordance with City of Ketchum standards and at the discretion of the City Engineer. TBD

#### E. Compatibility of Design:

- 1. The project's materials, colors and signing shall be complementary to the townscape, surrounding neighborhoods and adjoining structures. The proposed building materials and colors and any signage are complimentary to surrounding buildings and the diversity of structures and vocabularies exhibited within the neighborhood. The neighborhood and adjacent properties are composed of both commercial, multi-family and single-family structures in addition to the existing house on site. We have carefully selected materials and colors that respect and compliment the surrounding townscape.
- 2. Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community. We have worked with city planners carefully developing and composing our site plan to respect and protect the existing single family house on site which has been landmarked.
- 3. Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to. We have applied for and received permits to upgrade the finishes and areas within the existing house without impacting the character, outside envelope, original colors or existing materials.

#### F. Architectural:

- 1. Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined. As the project is composed of 6 buildings all together, they are tied together by inward courtyards encourage pedestrian access through interior and exterior walkways.
- 2. The building character shall be clearly defined by use of architectural features. The buildings are designed to provide interest, respecting neighborhood scale and appropriate architectural features that support the modulation and encourage pedestrian interaction.
- 3. There shall be continuity of materials, colors and signing within the project. The 5 new structures will use similar materials and colors and will not compete with the historical home that will remain original. The color and materials shall provide a background allowing the house to sit as a corner exhibit as intended by its designation as a landmark.
- 4. Accessory structures, fences, walls, and landscape features within the project shall match or complement the principal building. Yes
- 5. Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness. The 6 buildings form a collection of structures that provide relief on both 2<sup>nd</sup> and Leadville, opening to courtyards. The new buildings along Leadville are designed to provide modulation and relief while offering stoops and pedestrian scale that directly relate to the sidewalk.
- 6. Building(s) shall orient towards their primary street frontage. The new buildings are oriented towards Leadville and the interior courtyard while the carports are oriented to the alley. The existing house is oriented to Leadville.
- 7. Garbage storage areas and satellite receivers shall be screened from public view and located off alleys. Garbage storage containers are situated in the carports and the individual bin staging area off the alley shown on sheet A.2 has been approved by Clear Creek Disposal.
- 8. Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties. The building design provides weather protection for all building entries and common stairways. No adjacent properties are subject to interference from the subject property snow slides.

#### G. Circulation Design:

- 1. Pedestrian, equestrian, and bicycle access shall be located to connect with existing and anticipated easements and pathways. As described above, there is a pedestrian connection transiting the middle of the site from the future Leadville sidewalk through to the alley.
- 2. Awnings extending over public sidewalks shall extend five (5') feet or more across the public sidewalk but shall not extend within two (2') feet of parking or travel lanes within the right of way. There are none.

- 3. Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian, and equestrian use. Consideration shall be given to adequate sight distances and proper signage. Vehicular access into the site and the carports is provided through an existing alley that will be improved.
- 4. Curb cuts and driveway entrances shall be no closer than twenty (20') feet to the nearest intersection of two or more streets, as measured along the property line adjacent to the right of way. Due to site conditions or current/projected traffic levels or speed, the City Engineer may increase the minimum distance requirements. We are using exiting streets and alley.
- 5. Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project. We are not providing any vehicular access onto our property.

#### H. Snow Storage:

- 1. Snow storage areas shall not be less than thirty percent (30%) of the improved parking and pedestrian circulation areas. Snow will be removed from the site.
- 2. Snow storage areas shall be provided on-site. Snow will be removed from the site.
- 3. A designated snow storage area shall not have any dimension less than five (5') feet and shall be a minimum of twenty-five (25) square feet. Snow will be removed from the site.
- 4. In lieu of providing snow storage areas, snow melt and hauling of snow may be allowed. Snow will be removed from the site.

#### I. Landscaping:

- 1. Landscaping is required for all projects. We have provided a robust plan for our landscaping that meets or exceeds all the requirements provided in the code and within paragraphs below.
- 2. Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape. See above.
- 3. All plant species shall be drought tolerant. Native species are recommended but not required. See above.
- 4. Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged. See above.

#### J. Public Amenities:

1. Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All public amenities shall be approved by the Public Works Director prior to design review approval from the Commission. The project is 100% affordable housing and as such provides a huge public amenity. In addition, the limited property size, existing fence and mature trees limit areas of opportunity.

#### 17.96.070: COMMUNITY CORE (CC) PROJECTS

In addition to the requirements of section 17.96.060, unless otherwise specified, the below standards apply to projects in the Community Core district.

#### A. Streets:

- 1. Street trees, streetlights, street furnishings, and all other street improvements shall be installed or constructed as determined by the Public Works Department. TBD
- 2. Street trees with a minimum caliper size of three inches (3"), shall be placed in tree grates. TBD
- 3. Due to site constraints, the requirements of this subsection A may be modified by the Public Works Department. TBD

#### **B. Architectural:**

- 1. Facades facing a street or alley or located more than five (5') feet from an interior side property line shall be designed with both solid surfaces and window openings to avoid the creation of blank walls and employ similar architectural elements, materials and colors as the front façade. We have provided windows and relief on the SW elevations that sit 5' from the property line, although not significant due to the adjacent building built on the property line.
- 2. For nonresidential portions of buildings, front building facades and facades fronting a pedestrian walkway shall be designed with ground floor storefront windows and doors with clear transparent glass. Landscaping planters shall be incorporated into facades fronting pedestrian walkways. N/A
- 3. For nonresidential portions of buildings, front facades shall be designed to not obscure views into windows. N/A
- 4. Roofing forms and materials shall be compatible with the overall style and character of the structure. Reflective materials are prohibited. The roof forms and materials are consistent and compatible with the character of the structure and will not be seen as they are flat and concealed behind parapets.
- 5. All pitched roofs shall be designed to sufficiently hold all snow with snow clips, gutters and downspouts. N/A

- 6. Roof overhangs shall not extend more than three (3') feet over a public sidewalk. Roof overhangs that extend over the public sidewalk shall be approved by the Public Works Director. N/A
- 7. Front porches and stoops shall not be enclosed on the ground floor by permanent or temporary walls, windows, window screens, or plastic or fabric materials. Yes

#### C. Service Areas and Mechanical/Electrical Equipment:

- 1. Trash disposal areas and shipping and receiving areas shall be located within parking garages or to the rear of buildings. Trash disposal areas shall not be located within the public right of way and shall be screened from public views. Yes
- 2. Roof and ground mounted mechanical and electrical equipment shall be fully screened from public view. Screening shall be compatible with the overall building design. The Idaho Power equipment has been located pursuant to the approval of Idaho Power and City planners and will be screened in accordance with the city requirements. Other equipment will face inward.

#### D. Landscaping:

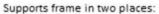
- 1. When a healthy and mature tree is removed from a site, it shall be replaced with a new tree. Replacement trees may occur on or off site. All trees we remove are replaced onsite and noted on our Landscape Plans.
- 2. Trees that are placed within a courtyard, plaza or pedestrian walkway shall be placed within tree wells that are covered by tree grates. N/A
- 3. The city arborist shall approve all parking lot and replacement trees. Yes

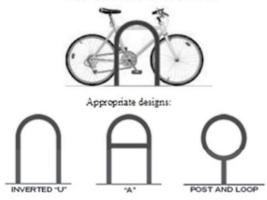
#### E. Surface Parking Lots:

- 1. Surface parking lots shall be accessed from off the alley and shall be fully screened from the street. N/A
- 2. Surface parking lots shall incorporate at least one (1) tree and one (1) additional tree per ten (10) onsite parking spaces. Trees shall be planted in landscaped planters, tree wells and/or diamond shaped planter boxes located between parking rows. Planter boxes shall be designed so as not to impair vision or site distance of the traveling public. N/A
- 3. Ground cover, low lying shrubs, and trees shall be planted within the planters and planter boxes. Tree grates or landscaping may be used in tree wells located within pedestrian walkways. N/A

#### F. Bicycle Parking:

- 1. One (1) bicycle rack, able to accommodate at least two (2) bicycles, shall be provided for every four (4) parking spaces as required by the proposed use. At a minimum, one (1) bicycle rack shall be required per development on private property. Bike racks shall not be located in the public right-or-way. Per this requirement, bike storage for at least 6 bicycles shall be provided.
- 2. When the calculation of the required number of bicycle racks called for in this section results in a fractional number, a fraction equal to or greater than one-half (1/2) shall be adjusted to the next highest whole number. Yes
- 3. Bicycle racks shall be clearly visible from the building entrance they serve and not mounted less than fifty (50') feet from said entrance or as close as the nearest non-ADA parking space, whichever is closest. Yes, we are proposing typical inverted U racks per suggestions below.





Inappropriate designs:







#### 17.96.080: NOTICE:

All property owners adjacent to properties under application for design review shall be notified by mail ten (10) days prior to the meeting of the date at which said design review is to be considered by the Commission. Yes

#### 17.96.090: TERMS OF APPROVAL:

#### A. Design Review Approval

- 1. The term of design review approval shall be twelve (12) months from the date that findings of fact, conclusions of law and decision are adopted by the Commission or upon appeal, the date the approval is granted by the Council subject to changes in zoning regulations. Yes
- 2. Application must be made for a building permit with the Ketchum planning and building department during the twelve (12) month term. Once a building permit has been issued, the design review approval shall be valid for the duration of the building permit. Yes
- 3. Unless an extension is granted as set forth below, failure to file a complete building permit application for a project in accordance with these provisions shall cause said approval to be null and void. Yes

#### B. Extensions of Design Review Approval.

- 1. For design review approvals pertaining to "civic" buildings, the Administrator may, upon written request by the holder, grant a maximum of two (2) twelve (12) month extensions to an unexpired design review approval. Yes
- 2. For design review approvals pertaining to all other buildings, the city may, upon written request by the holder, grant a maximum of two (2) twelve (12) month extensions to an unexpired design review approval. The first twelve (12) month extension shall be reviewed by the Administrator. The second twelve (12) month extension shall be reviewed by the Commission. Whether or not an extension is warranted shall be based on the following considerations: Yes
  - a. Whether there have been significant amendments to ordinances which will apply to the subject design review approval;
  - b. Whether significant land use changes have occurred in the project vicinity which would adversely impact the project or be adversely impacted by the project;
  - c. Whether hazardous situations have developed or have been discovered in the project area; or
  - d. Whether community facilities and services required for the project are now inadequate.
- 3. If any of the foregoing considerations are found to exist with regard to the project for which an extension is sought, an extension will not be granted and the city shall issue this decision in writing; otherwise the city shall approve such an extension. No extensions shall be granted for an expired design review approval. Yes

#### 17.96.100: FEES AND COSTS:

Each applicant for design review approval shall pay to the city certain fees and costs to reimburse the city the reasonable costs of administering and regulating this chapter, including reimbursement for city engineer fees. Said fees and refunds, if any, shall be set by resolution of the Council and shall be paid prior to scheduling of an application before the Commission for design review consideration. Said fees shall be nonrefundable. Yes

#### KETCHUM, IDAHO

251 Hillside Drive, Unit West Post Office Box 482 Ketchum, Idaho 83340 T: 206.682.8600 mhk@martinhenrykaplan.com

25 September 2025

Re: 140-180 Leadville Design Review Resubmittal

## Hi Abby and Morgan;

Pursuant to reviewing your comments submitted on July 31, 2025, we have amended the application and plan submittal to address all your concerns and those of the Ketchum Fire Department.

The attached re-submission plan set PDF includes the following sub-sections:

- 1. A response to your July 31, 2025 City Department Comments
- 2. A revised complete plan set including updated photo-realistic renderings and details
- 3. Letter from Clear Creek
- 4. Letter from Idaho Power
- 5. Original Design Review Application w/o plans

Thanks for your attention and please confirm ASAP your receipt and the next steps including timing for review and approximate date for the next hearing.

Thanks Abby and Morgan, Marty



#### CITY OF KETCHUM

Planning & Building
office: 208.726.7801
planningandbuilding@ketchumidaho.org
P.O. Box 2315, 191 5th Street West, Ketchum, ID 83340
ketchumidaho.org

July 31, 2025

Michelle Griffith Executive Director, ARCH Community Housing Trust Post Office Box 3569 Hailey, Idaho 83333

Martin Kaplan, AIA
Martin Henry Kaplan, Architects AIA
Post Office Box 482
Ketchum, Idaho 83340 [Sent via email] Please see architect's comments inline below in RED.

Re: 140 & 180 N Leadville Ave ARCH Affordable Housing Project Design Review (Application File No. P25-033) & Lot Consolidation Subdivision Preliminary Plat (Application File No. P25-039)—City Department Comments

Dear Michelle and Martin,

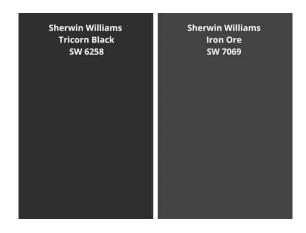
Planning staff and city departments have reviewed your Design Review submittal for the ARCH affordable housing project located at 140 & 180 N Leadville Avenue located within the Mixed-Use Subdistrict of the Community Core (CC-2 Zone). Additional information and revisions are required before the final Design Review application may be scheduled for a public hearing. The following comments detail the outstanding action items that must be resolved. References to sections of Ketchum Municipal Code (KMC) have been provided for clarity where applicable. Certain comments are provided for information only and do not require action at this time.

## PLANNING STAFF & CITY DEPARTMENT COMMENTS

Design Review: Compatibility of Design & Architectural Standards Comments

1. Comment: Pursuant to KMC §17.96.060.F.5, building walls shall provide undulation and relief to reduce the appearance of bulk and flatness. Stucco portions of the building wall project ~2 feet from the façade at the second and third floors. Staff appreciates how the stucco projections add depth and texture to the facade. While the stucco projections add visual interest, staff is concerned about the large expanses of undifferentiated blank surfaces at the southeast and northwest elevations. The southeast and northwest facades have horizontally placed Hardie Plank siding on the ground floor and vertically placed Hardie Board & Batten siding on the upper floors. Both materials are painted the same color black. Staff does not believe the proposed material change in the same building wall plane provides sufficient visual relief.

- <u>Staff Recommendation</u>: Staff recommends the applicant further articulate and
  differentiate the southeast and northwest facades to add visual interest and reduce
  the appearance of bulk and flatness. Building articulation features like contrasting
  material wainscot, decorative façade features, adding depth and detail to the roof
  parapet, and further differentiating exterior materials and colors may help add visual
  interest and relief to building bulk and flatness.
- Architect's Response: To address staff commentary, we have decided to differentiate the color of the façade. We have chosen to keep the same color for anchoring the lowest floor sided with the 4" lap siding. The upper two floors sided with the board-and-batten will now have a slightly lighter color setting off the visual relief for the facades in question. While revising the floor plans and building facades to introduce additional articulation and modulation may work for market rate housing, our mission is to design and construct these buildings most efficiently allowing for the greatest resultant affordability without adding unnecessary costs. In addition, the placement of trees and landscaping will greatly influence the one façade in question together with the views of the adjacent home. And finally, several adjacent buildings have recently been approved and constructed using a similar color that look great.
- Please see revised color palette and drawing set.



Lower level

Upper two floors

- Comment: Pursuant to KMC 17.96.060.E1, "materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures." Staff is concerned that the black and beige colors appear stark and cold. The majority of the building walls are painted black. Staff believes the expanses of undifferentiated black surfaces appear flat and monotonous.
  - <u>Staff Recommendation</u>: Staff recommends the applicant reduce the building wall areas that are painted black and introduce warmer color tones into the exterior material and color palette.
  - Architect's Response: Please see (1.) above.
- 3. <u>Comment</u>: Pursuant to KMC 17.96.070.B4, "Roofing forms and materials shall be compatible with the overall style and character of the structure." The proposed three-story residential City of Ketchum, 8/1/25, Page 2 of 7

buildings at the same height elevation. The flat roofline in conjunction with the continuous black façade appears monotonous and lacks character.

- <u>Staff Recommendation</u>: Staff recommends the applicant shape and sculpt the roof forms to be create an intentional and visually appealing façade termination.
   Incorporating parapet walls of varying heights, adding depth and detail to the roof parapet, and cornice treatments can help add visual interest to the flat roofs.
- Architect's Response: The design parti follows the intentional duplication of three buildings taking advantage of common construction plan, techniques, efficiencies, materials and costs to respect the goal of providing our city with 'affordable community housing.' The city's requirement to save the existing home condensed the area within which we could build and achieve a minimum number of units that would make the project feasible. This extreme limitation influenced the proposed building forms and roof designs. The collection of buildings does not attempt to present differing architectural vocabularies because of the diminutive scale and size of the buildings; meant to fit into an eclectic mix of single-family homes, grocery store, performance hall, offices and open space. In our opinion, the existing proposal works well with similar and honest roof forms, parapet heights and modulations, while not competing with the historical form of the adjacent home we have saved.

## Zoning & Dimensional Standard Comments

- 1. <u>Comment</u>: Setbacks—Pursuant to KMC §17.12.040, buildings within the CC-2 Zone must be setback an average of 5 feet from front and street side property lines. The minimum 5-footaverage setback from front and street side property lines applies to each level of the building(s). The average setback is calculated as the proposed square footage of the setback area along the street frontage divided by the length of the building façade(s) along that street frontage. The site plan on sheet A.3 provides the average setback calculation for the side property line along 2<sup>nd</sup> Street but not for the front property line along Leadville Avenue.
  - Required Action: Please add the average setback calculation for the front property line along Leadville Avenue to the site plan on sheet A.3.
  - Architect's Response: Added dimensions. Please see pages A.3 and A.4 for added average setback calculations off Leadville. Level One average setback is 7'6-3/8" and Levels 2/3 is 6'-3" both well greater than the minimum requirement of 5'-0".
- 1. <u>Comment</u>: *Building Height*—KMC §17.08.020 specifies the following method for calculating building height in the Community Core Zone:
  - Height of building/CC District: The greatest vertical distance of a building in the community core district measured by determining the average elevation of the front property line and rear property line. Draw a line from the average front or rear elevation up to the maximum building height allowed, and then draw a line at that height parallel to the front or rear property line. The resulting line establishes the highest elevation of the front or rear facade. The front or rear facade shall not extend above this line. Side facades may be stepped up or down to transition from the highest elevation of the front facade height to the highest elevation of the rear facade. One or multiple steps along the side facades are

of the rear property line.

Building height dimensions are specified on the elevations (sheet A.7 & A.8) and appear to be measured from finished grade. The average elevations of the front and rear property lines are not specified on the project plans.

- Required Action: Please specify the average elevation of the front property line and the average elevation of the rear property line on the project plans.
- Architect's Response: Please review the added dimensions as suggested on sheets A.7 and A.8. Height dimensions are dimensioned from average existing elevations.
- 2. <u>Comment:</u> Gross Floor Area & FAR—Pursuant to KMC §17.08.020, gross floor area is calculated as:

The sum of the horizontal area of the building measured along the outside walls of each floor of a building or portion of a building, including stair towers and elevators on the ground floor only, and 50 percent of atriums over 18 feet plate height, but not including basements, underground parking areas or open unenclosed decks. Parking areas covered by a roof or portion of the building and enclosed on three or more sides by building walls are included. Four parking stalls for developments on single Ketchum Town Site lots of 5,600 square feet in size or less are not included in the gross floor area calculation.

The floor area information provided on sheets A.3 and A.4 specify the "Gross Living Area" of the three new residential buildings and historic home as well as the square footage of the two carports. As specified in the above definition, gross floor area is measured along the outside walls of each floor of a building.

- <u>Required Action</u>: Please verify that the floor area information provided on sheets A.3 and A.4 is calculated pursuant to the definition of gross floor area specified in KMC §17.08.020 and measured along the outside walls of each floor of the buildings.
- <u>Staff Recommendation:</u> Staff recommends revising the floor area information on sheets A.3 and A.4 to change "Gross Living Area" to "Gross Floor Area" for clarity.
- Architect's Response: Please review the changes as suggested on pages A.3 and A.4.
- 3. <u>Comment</u>: Exterior Lighting—The exterior lighting specifications for the Design Classics Lighting LED Black Outside Wall Cylinder (A) and BEGA Pathway Bollard Luminaire (C) on sheet E.2 indicate that the color temperature is 3000K. Pursuant to KMC 17.132.030.A. Color Temperature, "All exterior lighting shall utilize light sources not to exceed 2700 Kelvin." The Design Classics Lighting LED Black Outside Wall Cylinder and the BEGA Pathway Bollard Luminaire exceeds the maximum color temperature permitted per KMC 17.132.030.A.
  - Required Action: Please either: (a) select different exterior lighting fixtures that have
    a color temperature that does not exceed 2700K and provide the new specifications
    on sheet E.2 or (b) verify that a different light source with a color temperature that
    does not exceed 2700K can be installed in the fixtures and add a note to the
    specifications on sheet E.2.
  - Architect's Response: We have chosen a new bollard specification, see sheet E3. The new fixture, a WAC Lighting Ledge LED path light 6801, 2700K is Dark Sky approved. See note on E2, depicting the beam spread of each outside lighting fixture, and about

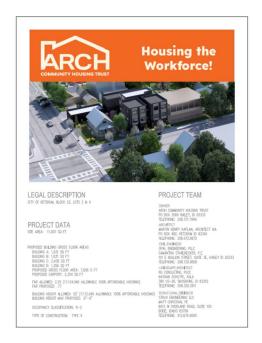
the fixtures being located well away from property lines and based upon the attached photometrics, no light will spill over property lines as required.

- 4. <u>Comment</u>: Exterior Lighting—The NUWATT 4" Black Square Anti-Glare Warm LED Recessed Can (B) exterior lighting specification on sheet E.2 notes that the color temperature ranges from 2700K to 5000K.
  - <u>Required Action</u>: Please revise the specification for the NUWATT Can exterior lighting fixture on sheet E.2 to specify that the light source will be 2700K.
  - Architect's Response: We have revised the specification to identify 2700K.
- 2. <u>Comment</u>: *Exterior Lighting* Pursuant to KMC §17.96.040.C2h, an exterior lighting plan and photometric study must be submitted with the final Design Review application. A photometric study showing all existing and proposed exterior lighting was not included in the project plans submitted with the final Design Review application.
  - Required Action: Please submit a photometric study showing all existing and proposed exterior lighting fixtures on the subject property. The photometric study for onsite exterior lighting must show zero footcandles at all property boundaries to demonstrate that the proposed lighting complies with the city standards prohibiting light trespass.
  - Architect's Response: See pages E1, E2, and E3 that identifies all exterior lighting and
    photometric diagrams showing that no light will spill over any property line. The recessed cans
    as noted on the plans within the stairwell are shielded from light spillage. The recessed cans in
    the carports are included in the beam spread plan and as noted, will not spill light outside the
    carport or close to a property line.

#### General Design Review Comments

- Comment: Exterior Materials and Colors—The elevations on sheets A.7 and A.8 of the
  project plans call out the Hardie Board & Batten and Smooth Stucco exterior materials. KMC
  17.96.040.C2i requires that a material and color sample board showing all exterior materials
  used on the façade of the structure be included with the project plans submitted for Design
  Review. The final exterior material and color palette specifications with cut sheets and
  physical samples are required at final Design Review. The project plans submitted with the
  final Design Review application did not include the required exterior material and color
  sample board.
  - Required Action: Please provide the required specifications for the final exterior material and color palette.
  - Architect's Response: Such a sample board will be submitted.
- 2. <u>Comment</u>: The site plan on sheet A.3 includes a note about garbage storage that states, "Clear Creek has approved individual garbage storage bins instead of a common dumpster. Bins will be moved to the 3' setback area at the alley for collection by the renter.
  - Action Required at Final Design Review: Please provide written confirmation from

- Clear Creek Disposal verifying the proposed garbage disposal plan satisfies their requirements to serve the development.
- Architect's Response: The letter from Clear Creek is attached to our resubmittal.
- 3. Comment: The site improvement plan on sheet C1.10 shows that a new transformer will be installed along 2<sup>nd</sup> Street to serve the proposed development. Pursuant to KMC §17.96.060.D2, "Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view." The landscape plan on sheet A.9 shows that the transformer is proposed to be screened by ornamental grasses. Idaho Power requires a minimum of 10 feet of clearance from the front of the transformer doors and 3 feet of clearance from the sides and back of the transformer. The grasses appear to be located within the required transformer clearance area. In addition, staff does not believe that ornamental grasses will sufficiently screen the transformers from public view along 2<sup>nd</sup> Street.
  - Required Action: Please submit written verification confirming that Idaho Power has
    reviewed and approved the design, siting, and screening for all electrical
    infrastructure must be submitted with the final Design Review application. As noted
    above, staff believes the proposed landscape screening appears to be in the required
    transformer clearance area.
  - Required Action: Please screen the transformer with landscaping that will soften the
    aesthetic of the transformer and adequately screen the equipment year-round. Staff
    recommends shrubs rather than ornamental grasses that are cut down during winter
    exposing the equipment to public view.
  - Architect's Response: Please review new landscape plan and letter from Idaho Power addressing all concerns. We have provided a new landscape and development plan that includes screening approved by Cheryl at Idaho Power and obtained approvals from Abby and Morgan. See Landscape Plan and sheet A.3 in particular.
- 4. <u>Comment:</u> *Master Signage Plan*—Pursuant to KMC §17.96.040,C3, a master signage plan shall be submitted with Design Review applications for new multi-tenant buildings. KMC 17.127.939.B1 requires:
  - A complete master signage plan that may include a building identification sign shall be submitted at the time of design review application for any new construction for all hotels, commercial, industrial, multi-family residential and mixed use projects. A master signage plan shall include, but not be limited to, directional, tenant, advisory, and technical information published and updated from time to time by the City and shall show how the plan is integrated with the architecture of the building.
  - Required Action: Please submit a master signage plan that satisfies the requirements of KMC §17.127.030.
  - Architect's Response: Master signage plans will be submitted as required. See below for example.



- 5. Comment: Snow Storage—Pursuant to KMC §17.96.060.H1:
  - 1. Snow storage areas shall not be less than 30 percent of the improved parking and pedestrian circulation areas.
  - 2. Snow storage areas shall be provided on site.
  - 3. A designated snow storage area shall not have any dimension less than five feet and shall be a minimum of 25 square feet.
  - 4. In lieu of providing snow storage areas, snowmelt and hauling of snow may be allowed.

The project plans do not specify the snow storage plan for the proposed development.

- Required Action: Please specify the calculations for the required snow storage area as well as the siting and dimensions of all snow storage areas on the subject property on the project plans submitted with the final Design Review application.
- Architect's Response: There will be no snow storage onsite. All snow will be removed from the site.
- 6. <u>Comment</u>: Story Pole & Staking—Pursuant to KMC §17.96.040,C2j, building corners shall be staked on the site, all trees proposed to be removed shall be flagged, and story poles must be installed at the maximum roof peaks at least one week prior to the Planning and Zoning Commission meeting. Additionally, the applicant must submit a story pole and staking plan for planning staff review and approval of the proposed story pole locations prior to installation.
  - <u>No Action Required at this Time</u>. This requirement must be met at least one week prior to the Commission meeting. The applicant must submit the proposed story pole and staking plan for staff review and approval prior to installation.

- Architect's Response: Will do.
- 7. <u>Comment:</u> Exterior Material & Color Samples—Physical samples of exterior materials and colors are required to be provided at the public hearing for review by the Planning and Zoning Commission.
  - <u>No Action Required at this Time</u>. Physical exterior material and color samples must be provided at the Planning and Zoning Commission meeting.
  - Architect's Response: Will do.

Lot Consolidation Subdivision Preliminary Plat Comments

Lot Consolidation Subdivision Preliminary Plat comments will be transmitted under a separate cover.

Streets Department & City Engineer Comments

- 1. <u>Comment</u>: The cover sheet C0.10 for the civil drawings is titled, "Sun Valley Road Water Main Relocation."
  - Required Action: Please revise the project title on sheet C0.10.
- 2. <u>Comment</u>: The roots of the existing trees on sheet C0.90, particularly along the 2<sup>nd</sup> Street property line, may be impacted by the construction of the sidewalk and may need to be removed.
  - No Action Required at this Time.
- 3. Comment: Site improvement details are provided on sheets C1.00 and C1.01.
  - Required Action: Please add a note to details 3, 4, 5, 6, and 7 that concrete mix shall be Titan Mix or an approved equal.
- 4. <u>Comment</u>: Pursuant to KMC §17.96.070.A1, "Street trees, streetlights, street furnishings, and all other street improvements shall be installed or constructed as determined by the Public Works Department."
  - Required Action: Please add a streetlight at the corner of Leadville Avenue and 2<sup>nd</sup> Street on sheet C1.10. The streetlight pole should be sited at the back of the curb in the ramp adjacent to 2<sup>nd</sup> Street next to the catch basin. The 8-ft arm should face into 2<sup>nd</sup> Street.
  - Required Action: Where there are no existing trees along the street frontage, please add street trees, tree wells, and electrical bollards to sheet C1.10. Trees must be spaced ~30-ft on-center.
  - Required Action: Please add a City of Ketchum standard bike rack and bench along Leadville Avenue and 2<sup>nd</sup> Street. Streetscape amenities should be placed in between and in line with the street trees.
- 5. <u>Comment</u>: Please make the following changes to the site improvement plan on sheet C1.10:
  - Required Action: Change the parking marking to Ts.
  - Required Action: Stripe a no-parking zone adjacent to the alley. Parking spaces may be greater than 20-ft if there is extra space.
  - <u>Required Action</u>: Please show existing parking spaces on Leadville Avenue in front of the property located at 120 N Leadville Ave. Show that the new on-street parking

- spaces align with these existing parking spaces.
- Required Action: Please ensure that roof drains from carport and buildings are directed to onsite drywells.
- Required Action: Please add the following to Keynote S11d, "Paint top half of rolled curbs."

## Fire Department Comments

Please see the attached Fire Department comments dated July 7, 2025.

Please submit all required information and revisions requested by planning staff and city departments as well as a written response to the comments listed above. Once the department receives this material, staff will conduct another review to determine if the information provided is sufficient to schedule the Design Review application for a public hearing with the Planning and Zoning Commission.

Please do not hesitate to email or call should you have any questions.

Best.

Abby Rivin, AICP

Abigail Phin

Senior Planner

City of Ketchum Department of Planning and Building



#### **CITY OF KETCHUM**

## **KETCHUM FIRE DEPARTMENT**

Planning & Building
office: 208.726.7801
planningandbuilding@ketchumidaho.org
P.O. Box 2315, 191 5th Street West, Ketchum, ID 83340
ketchumidaho.org

Community Risk Reduction office: 208.726.7805 P.O. Box 966 107 Saddle Rd Ketchum, ID 83340



## PREAPPLICATION - REVIEW COMMENTS

[Fire Department]

PROJECT NAME: ARCH Leadville Housing

PREAPPLICATION # P-25-033 PROJECT ADDRESS: 180 N Leadville

REVIEWER: Seth Martin, 208-726-7805, smartin@ketchumfire.org

REVIEW DATE: July 7, 2025

Note: These plans have only been reviewed for compliance with applicable adopted codes by this jurisdiction. There may be other regulations applicable under state and federal statutes which this department has no authority to enforce and are not part of this plan review.

| 1. | Comment: Sleeping rooms in R-2, R-3, & R-4 occupancies below the fourth story above grade plane shall have not fewer than one exterior emergency escape and rescue opening in accordance with the 2018 IFC section 1030. Where basements contain one or more sleeping rooms, emergency escape and rescue openings shall be required in each sleeping room. The minimum net clear opening height dimension shall be 24 inches (610 mm). The minimum net clear opening width dimension shall be 20 inches. Emergency escape and rescue openings shall have the bottom of the clear opening not greater than 44 inches measured from the floor.  Required Action: |
|----|--|
|    | Applicant Response: All sleeping room window are operable and shall provide openings shall conform to the above identified code. There are no basements.   |
| 2. | Comment: Smoke and Carbon Monoxide Detectors shall be installed per NFPA and the International Fire Code. Smoke detectors shall be installed inside each bedroom, within 21' of each sleeping area, and on every level of the occupancy, including the basement. CO alarms shall be installed in a central location outside each sleeping area and on every level of the home. All detectors shall be interconnected.  Required Action: Install and test prior to C of O.  |
|    | Applicant Response: Smoke and Carbon Monoxide detectors shall be installed in accordance with the above cited requirements.  |
| 3. | Comment: An approved automatic fire sprinkler system shall be installed throughout the building per City of Ketchum Ordinance #1217 and the National Fire Protection Association Standard 13. An approved fire sprinkler flow bell, Knox box and Fire Department Connection shall be installed in an approved location visible to approaching firefighters as approved by the Ketchum Fire Marshal. Water service lines to structures shall be hydraulically calculated for size to meet fire sprinkler flow requirements. Fire sprinkler systems shall be annually tested and maintained per NFPA 25. An approved fire department connection                  |

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|----|--|
|    | and flow bell shall be installed in a location approved by the fire department and the system shall be supervised by an approved alarm system.   |
|    | <b>Required Action:</b> Plans must be submitted to the Idaho State Fire Marshal prior to obtaining an installation permit from the Ketchum Fire Department. A deferred submittal is approved.  |
|    | Applicant Response: All fire and life safety systems shall be installed in accordance  |
|    | with the above requirements.   |
| 4. | Comment:  An approved key box shall be installed, with the appropriate keys, for emergency fire department access in a location approved by the fire department. The key box shall be a Knox box brand and sized to accommodate keys to every door of the project. More than one Knox Box may be required.   |
|    | A Master Key shall be used, and all locks shall be operable with a physical key.   |
|    | Required Action: Install prior to Final Inspection.  |
|    | Applicant Response: A key box (or more than one) shall be installed per KFD requirements.  |
| 5. | Comment: An approved monitored fire detection system shall be installed per City of Ketchum Ordinance #7217 and the requirements of NFPA 72. Alarm system plans shall be submitted to the Ketchum Fire Department for approval and a permit is required prior to installation of alarm systems.  |
|    | <b>Required Action:</b> A permit issued by the Ketchum Fire Department is required prior to installation. A deferred submittal is approved.  |
|    | Applicant Response: An approved fire monitoring system shall be installed per all requirements.  |
| 6. | Comment:  An approved monitored fire sprinkler alarm system shall be installed per City of Ketchum Ordinance #7217 and the requirements of NFPA 72. Alarm system plans shall be submitted to the Ketchum Fire Department for approval and a permit is required prior to installation of alarm systems.   |
|    | <b>Required Action:</b> A permit issued by the Ketchum Fire Department is required prior to installation. A deferred submittal is approved.  |
|    | Applicant Response: An approved fire sprinkler system shall be installed per all requirements.   |
| 7. | Comment:  Fire extinguishers shall be installed and maintained per 2018 IFC Section 906 both during construction and upon occupancy of the building. During construction fire extinguishers shall be placed in a conspicuous, easy to access, unobstructed location that is less than 75' travel distance to any combustibles on site, 30' to any hot work. Extinguishers shall be mounted in a conspicuous, easy to access, unobstructed location.  Upon completion of the project: |
| L  | 1  |

- Every residential occupancy shall have a minimum of one extinguisher per kitchen area and one extinguisher per garage.
- All commercial occupancies shall have a fire extinguisher at every floor landing of every stairwell and within a 75' travel distance to all areas in low hazard settings.

**Required Action:** Install or update prior to Final Inspection.

Applicant Response: Fire extinguishers shall be installed per KFD requirements.

### 8. Comment:

Exterior windows, window walls, glazed doors, windows within exterior doors, and skylights shall be tempered glass, multilayered glazed panels, glass block <u>or</u> have a fire protection rating of not less than 20 minutes. All exterior doors shall be solid core construction or have a fire rating of not less than 20 minutes.

Required Action: Detail on Plan Set.

Applicant Response: Exterior windows, window walls, glazed doors, windows within exterior doors, and skylights shall be tempered glass, multilayered glazed panels, glass block <u>or</u> have a fire protection rating of not less than 20 minutes. All exterior doors shall be solid core construction or have a fire rating of not less than 20 minutes.

### 9. Comment:

All materials within 12" vertical of finished grade shall be 7 hour rated, non-combustible, or covered with minimum 28-gauge flashing. The area 12" horizontal from the base of a wall shall be finished in a way to prevent any vegetation growing, and for vegetative debris to be easily removed.

Required Action: Detail on Plan Set.

Applicant Response: All materials within 12" vertical of finished grade shall be 7 hour rated, non-combustible, or covered with minimum 28-gauge flashing. The area 12" horizontal from the base of a wall shall be finished in a way to prevent any vegetation growing, and for vegetative debris to be easily removed.

### Comment:

Tree crowns and all other combustible vegetation extending to within 70 feet of any structure or chimney shall be pruned to maintain a minimum horizontal clearance of 70 feet. Tree crowns within 30 feet of any structure shall be pruned to remove limbs located less than 6 feet above the ground surface adjacent to the trees. Non-fire resistive vegetation or growth shall be kept clear of buildings and structures, in such a manner as to provide a clear area for fire suppression operations.

Required Action: Detail on Plan Set.

Applicant Response: See revised Landscape Plan. We have clarified this requirement to include a 10' dimension and not 70' and have complied accordingly.

### 77. Comment:

All exterior vents shall be designed and approved to prevent flame or ember penetration and all exterior mesh shall have openings that do not exceed 7/8". Gutters and downspouts shall be non-combustible and shall be provided with an approved means to prevent the accumulation of leaves and debris.

Required Action: Detail shall be provided on permit Plan Set.

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Staff Response:

### **MISCELLANEOUS COMMENTS:**

Approved address numbers shall be placed in such a position to be plainly visible and legible from the road fronting the property. Numbers and letters shall be a minimum of four (4) inches tall, have a minimum 4" brush stroke, contrast with their background, and be positioned a minimum of forty-eight (48) inches above final grade. Buildings with multiple units or occupancies shall receive an individual, unique street address, and all units within shall receive Unit or Suite identifiers as approved by the Fire Marshal. The building shall be addressed per the frontage of the main entrance. Multiple buildings on the same parcel shall be given a letter designation.

Per Idaho Code 49-660, parking within 15' of a Fire Hydrant is prohibited.

Vehicle parking and material storage during construction shall not restrict or obstruct public streets or access to any building. A **minimum** twenty-foot travel lane for emergency vehicle access shall be maintained clear and unobstructed at all times. **All** required Fire Lanes shall be maintained clear and unobstructed at all times.

## C L E A R C R E E K D I S P O S A L PO Box 130 • Ketchum, ID 83340 • Phone 208.726.9600 • www.ccdisposal.com

August 7, 2025

Planning & Zoning City of Ketchum P O Box 2315 Ketchum, ID 83340-2315

Re: 140-180 N Leadville Ave

To Whom It May Concern,

Please consider this "Will Serve" letter for the proposed above address. I have engaged in conversation with Michelle Griffith, Executive Director of the ARCH Community Housing Trust regarding the above addresses; a new construction of eleven single family homes.

Residents wheel their CCD provided carts to the alley and return them to their storage areas. This stipulation will be written into the leases, and servicing will be provided in the alley.

If you have any concerns, please call at your earliest convenience.

Respectfully,

Mike Goitiandia

Clear Creek Disposal

Miguel Goitiandia

.140-180 N Leadville Ave





September 16, 2025

Michelle Griffith Executive Director ARCH PO Box 3569 Idaho, ID 83333

Sent via Email

Subject: Will Serve Letter – ARCH – Leadville Project

Dear Michelle:

Thank you for your inquiry about electrical for the housing project at the corner of Leadville and E Second Street in Ketchum. I have reviewed the preliminary plans submitted by the civil engineer and architect for the project. We agree on the transformer location and plan for screening as shown if construction meets all our clearance requirements as shown on the attached electric distribution plan. Please note that the meter locations and electric loads are not fully developed yet, and I have not provided any design to the customer for placing our facilities or finalized customer electrical equipment with an electrician.

The property is located within Idaho Power's service area in the state of Idaho, Blaine County.

Idaho Power will provide electrical service to this location once any required easement or right of way are obtained by Idaho Power and/or the Customer and in compliance with the statues of the state of Idaho/Oregon and the Idaho Power tariffs on file with our regulators. Tariffs include the General Rules and Regulations that covers new service attachments and distribution line installations or alterations.

Regards,

Cheryl Bennett

Senior Distribution Designer

Cheryl L Bennett

Idaho Power Company

Hailey, Idaho

S LEADVILLE AVE STOREY POLE LOCATION/ELEVATIONS

ARCH - S LEADVILLE & E 2N AN AFFORDABLE HOUSING PROJECT 140-180 N LEADVILLE, KETCHUM ID 833

MARTIN HENRY KAPLAN

THE MHK ARCHITEC

251 HILLSIDE DR. P.O. BOX 482, KETCHUM ID. 8334 TEL. 206.682.8600 CELL. 206.972.9972

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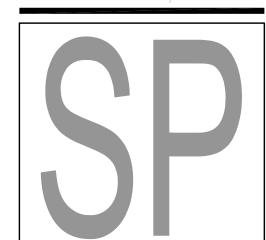
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BY

MARTIN HENRY KAPLAN, ARCHITECTS AIA.

3 STOREY POLE 11.11.25
NO DESCRIPTION DATE
ISSUES

DRAWN BY: N SCALE: 1/8"=1'-



## **Attachment B**

Application Materials:

Design Review Plan Set

# ARCH COMMUNITY HOUSING TRUST

# S LEADVILLE AVENUE & E 2ND STREET CITY OF KETCHUM - DESIGN REVIEW









### GENERAL NOTES

1. THIS PROJECT SHALL COMPLY WITH THE 2018 INTERNATIONAL BUILDING CODE.

2. CONTRACTOR SHALL COORDINATE ALL REQUIRED INSPECTIONS BY KETCHUM BUILDING AND FIRE DEPARTMENTS, STATE ELECTRICAL INSPECTOR OR OTHER GOVERNING AUTHORITIES, AS NECESSARY.

3. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL TEMPORARY UTILITIES, INCLUDING ELECTRICITY NECESSARY FOR CONSTRUCTION.

4. ALL CONSTRUCTION DEBRIS IS TO BE STOCKPILED NEATLY ON SITE UNTIL DISPOSAL, WHICH SHALL BE DONE AT THE COUNTY LANDFILL OR RECYCLING FACILITY ONLY.

5. EXCEPT AT INTERIOR ELEVATIONS, AND UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE GIVEN TO FACE OF ROUGH FRAMING, CENTERLINE OF COLUMNS, OR FACE OF CONCRETE AND C.M.U. WALL. GIVEN DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR SHALL TAKE EXTRA CAUTION TO COORDINATE DIMENSIONS OF STRUCTURAL DRAWINGS WITH ARCHITECTURAL DRAWINGS PRIOR TO CONSTRUCTION. VERIFY ANY DISCREPANCIES WITH ARCHITECT.

6. CONTRACTOR SHALL PROVIDE STORAGE FOR ALL BUILDING MATERIALS IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDATIONS.

7. ALL SUBSTITUTIONS ARE TO BE APPROVED BY ARCHITECT. ALONG WITH WRITTEN REQUESTS, CONTRACTOR SHALL PROVIDE ALL INFORMATION REGARDING THE SUBSTITUTION IN QUESTION. INCLUDING AVAILABILITY AND REASON FOR SUBSTITUTION.

8. SOLID WOOD BLOCKING, INSULATION OR OTHER FIRE STOP MATERIAL IS TO BE PROVIDED BETWEEN STORIES, BETWEEN TOP STORY AND ROOF SPACE, BETWEEN STAIR STRINGERS AT TOP AND BOTTOM, BETWEEN STUDS ALONG STAIR RUNS AND AT ALL OTHER PLACES THAT COULD AFFORD THE PASSAGE OF FLAME. FIRE STOPS BETWEEN CHIMNEY AND WOOD FRAME SHALL BE NON-COMBUSTIBLE.

9. CONTRACTOR SHALL PROVIDE SAMPLES OF ALL FINISHES AND STAIN COLORS FOR APPROVAL BY OWNER / ARCHITECT. THIS INCLUDES INTERIOR AND EXTERIOR STAINS, INTERIOR PAINT, SHEETROCK TEXTURES, CHEMICALLY APPLIED METAL PATINAS,

10. CONTRACTOR SHALL PROVIDE RADON MITIGATION 11. ALL UTILITIES SHALL BE UNDERGROUND.

12. SMOKE DETECTORS MUST BE INTERCONNECTED WITH A POWER SOURCE FROM THE BUILDING WIRING, AND SHALL BE EQUIPPED WITH BATTERY BACKUP

13. ALL EXTERIOR LIGHTING SHALL BE DARK SKY COMPLIANT

14. THE BUILDING WILL BE EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM.

### LEGAL DESCRIPTION

CITY OF KETCHUM, BLOCK 22, LOTS 3 & 4

### PROJECT DATA

SITE AREA: 11,007 SQ FT EXISTING HOUSE AT 180 N LEADVILLE: 936 SQ FT EXISTING HOUSE BASEMENT: 294 SQ FT PROPOSED BUILDING GROSS FLOOR AREAS BUILDING A: 1,931 SQ FT BUILDING B: 1,931 SQ FT BUILDING C: 2,438 SQ FT BUILDING D: 1,356 SQ FT PROPOSED GROSS FLOOR AREA: 8,566 S FT PROPOSED CARPORT: 2,354 SQ FT

FAR ALLOWED: 2.25 (17.124.040 ALLOWABLE 100% AFFORDABLE HOUSING) FAR PROPOSED: .77

BUILDING HEIGHT ALLOWED: 52' (17.12.040 ALLOWABLE 100% AFFORDABLE HOUSING) BUILDING HEIGHT MAX PROPOSED: 31'-9"

OCCUPANCY CLASSIFICATION: R-2 TYPE OF CONSTRUCTION: TYPE V

### PROJECT TEAM

### OWNER

ARCH COMMUNITY HOUSING TRUST PO BOX 3569 HAILEY, ID 83333 TELEPHONE: 208.721.7949

### ARCHITECT

MARTIN HENRY KAPLAN, ARCHITECT AIA PO BOX 482, KETCHUM ID 83340 TELEPHONE: 206.972.9972

CIVIL ENGINEER OPAL ENGINEERING, PLLC

SAMANTHA STAHLNECKER, P.E. 101 E BULLION STREET, SUITE 3E, HAILEY ID 83333 TELEPHONE: 208.720.9608

LANDSCAPE ARCHITECT NS CONSULTING, PLCC NATHAN SCHUTTE, ASLA 380 US-26, SHOSHONE, ID 83352 TELEPHONE: 208.320.2911

STRUCTURAL ENGINEER STRUX ENGINEERING LLC MATT CHRISTIAN, PE 6015 W OVERLAND ROAD, SUITE 105 BOISE, IDAHO 83709 TELEPHONE: 512.676.9004

### SHEET INDEX

A.1 COVER-PROJECT DATA

A.2 PROJECT SURVEY BY BENCHMARK

A.3 SITE PLAN - LEVEL ONE PLANS

A.4 LEVEL TWO/THREE PLANS

A.5 UNIT FLOOR PLANS

A.6 ROOF PLAN

A.7 ELEVATIONS — NORTHEAST, SOUTHWEST, SOUTHEAST

A.8 ELEVATIONS - NORTHWEST, NORTHWEST INTERIOR SECTIONS A.A, B.B

A.9 L-1 LANDSCAPE PLAN

A.10 WEST AERIAL PERSPECTIVE

A.11 WEST AERIAL PERSPECTIVE ENLARGED A.12 WEST INTERSECTION AERIAL PERSPECTIVE

A.13 WEST INTERSECTION EYE-LEVEL PERSPECTIVE

CORNER TREES REMOVED FOR CLARITY

A.14 NORTH AERIAL PERSPECTIVE LOOKING AT ALLEY VIEW A.15 NORTH AERIAL PERSEPCTIVE ENLARGED

A.16 NORTH EYE-LEVEL PERSPECTIVE FROM ALLEY ENTRANCE A.17 ELECTRICAL TRANSFORMER SCREEN PLAN AND DETAIL

E.1 ELECTRICAL - LANDSCAPE LIGHTING/EXT BUILDING (DARK SKY)

E.2 ELECTRICAL FIXTURE BEAM SPREAD PLAN

E.3 ELECTRICAL FIXTURE SPECIFICATIONS — DARK SKY COMPLIANT

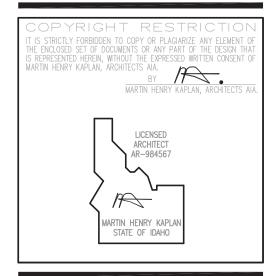
E.4 ELECTRICAL DISTRIBUTION LINES/METERS CO.10 CIVIL COVER SHEET

CO.90 CIVIL DEMOLITION PLAN

C1.00 CIVIL DETAIL SHEET

C1.01 CIVIL DETAIL SHEET C1.10 CIVIL SITE IMPROVEMENT PLAN





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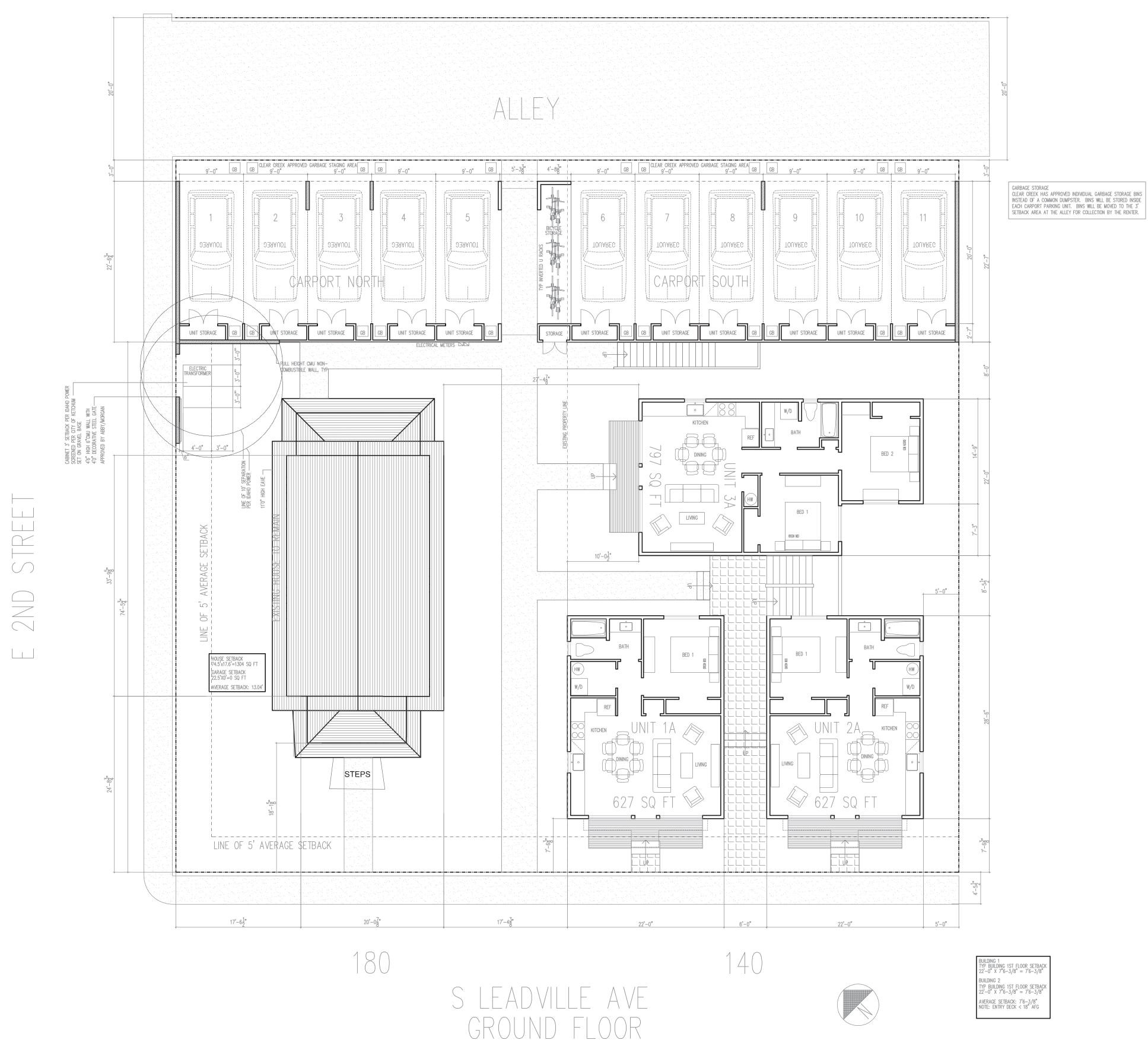
THE PURPOSE OF THIS MAP IS TO SHOW LIMITED SITE INFORMATION AS IT EXISTED ON THE DATE THE FIELD SURVEY WAS PERFORMED IN RELATION TO PLATTED LOT LINES. CHANGES MAY HAVE OCCURRED TO SITE CONDITIONS SINCE SURVEY DATE. LOT LINES ARE BASED ON FOUND MONUMENTS. ALL FOUND MONUMENTS WERE ACCEPTED AS EITHER ORIGINAL CORNERS, OR REPLACEMENTS OF ORIGINAL CORNERS. SET MONUMENTS WERE ESTABLISHED USING PROPORTIONED DISTANCES AND BEARINGS ADJUSTED TO BLAINE

- RECORD OF SURVEY OF KETCHUM TOWNSITE: BLOCK 22, LOT 2, INST. NO. 649860; PLAT OF KETCHUM TOWNSITE: BLOCK 22: LOTS 5B, 6A, 7A & 8A, INST. NO.
- BOUNDARY DIMENSIONS SHOWN HEREON ARE MEASURED. FOR RECORD
- VERTICAL DATUM: ELEVATIONS BASED ON NAVD 88 (GEOID03) DATUM UTILIZING
- UNDERGROUND UTILITIES WERE NOT LOCATED AND ARE NOT SHOWN HEREON.
- TITLE POLICY BY STEWART TITLE GUARANTY COMPANY, FILE NO. 22455699,
- GUARANTEE NO. G-0000381478838, DATED JUNE 7, 2022. CERTAIN INFORMATION CONTAINED WITHIN SAID POLICY MAY NOT APPEAR ON THIS MAP OR MAY
- LIABILITY FOR THE REUSE, DISTRIBUTION OR ACCURACY OF DATA CONTAINED ON ELECTRONIC COPIES OF THIS DRAWING. THE STAMPED HARD COPY OF THIS
- FOOTPRINT REQUIREMENTS PER CURRENT CITY/COUNTY ORDINANCES MAY VARY FROM PLAT. IT IS RECOMMENDED THAT SAID ORDINANCES BE REVIEWED
- THIS MAP, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY APPLICABLE TO THE SUBJECT OF REAL ESTATE: EASEMENTS, OTHER THAN THOSE SHOWN OR LISTED HEREON, BUILDING SETBACK LINES, RESTRICTIVE COVENANTS, SUBDIVISION RESTRICTIONS, ZONING, WETLANDS, AVALANCHE OR ANY OTHER LAND-USE REGULATIONS OR
- CENTRAL ZONE AS DERIVED BY GPS OBSERVATIONS. ALL DISTANCES SHOWN
- REFER TO PLAT & CC&R'S FOR CONDITIONS AND/OR RESTRICTIONS REGARDING
- 14. UTILITIES AND DRAIN PIPES IF SHOWN HEREON ARE PER SURFACE EVIDENCE ONLY. OTHER UNDERGROUND UTILITIES MAY EXIST. LOCATION OF UNDERGROUND UTILITIES AND SERVICES SHOULD BE CONFIRMED PRIOR TO
- 18. ORTHOPHOTOGRAPHY: PHOTO RECTIFIED AT GROUND LEVEL ONLY. IMAGES OF OBJECTS ABOVE GROUND LEVEL (TREES, BUILDINGS, POWER POLES, ETC.,) MAY
- DEVIATE FROM TRUE ELEVATION BY ONE HALF THE HEIGHT OF THE
- 20. MAP SCALE: DUE TO ELECTRONIC MAP DELIVERY AND ALTERNATE PRINTING
- METHODS, PLEASE USE BAR SCALE TO DETERMINE ACTUAL PRINTED SCALE.
- 21. FEATURES OBSCURED FROM VIEW BY DEBRIS, SNOW, VEGETATION OR

# BLOCK 22, LOTS 3 & 4

CTION 18, TOWNSHIP 4 NORTH, RANGE 18 EAST, B.M. CITY OF KETCHUM, BLAINE COUNTY, IDAHO

SHEET: 1 OF 1



AVERAGE SETBACK: 7'6-3/8" NOTE: ENTRY DECK < 18" AFG

BUILDING A: 1,931 SQ FT GROSS FLOOR AREA
BUILDING B: 1,931 SQ FT GROSS FLOOR AREA
BUILDING C: 2,438 SQ FT GROSS FLOOR AREA
BUILDING D: 1,356 SQ FT GROSS FLOOR AREA
EXISTING HOUSE; 910 SQ FT GROSS FLOOR AREA
GROSS FLOOR AREA SQ FT PROPOSED: 8,566 SQ FT

FAR ALLOWED 2.25 (17.124.040 AFFORDABLE HOUSING 100% 24,765.75 SQ FT FAR PROPOSED: .77

FAR PROPOSED: .// CARPORT: 2,334 SQ FT

PROPOSED BUILDING HEIGHT: 34.0' (52' ALLOWED PER 17.12.040 100% COMMUNITY HOUSING)



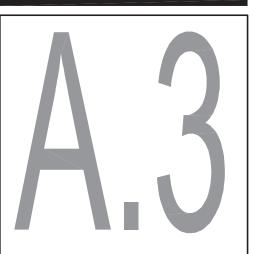
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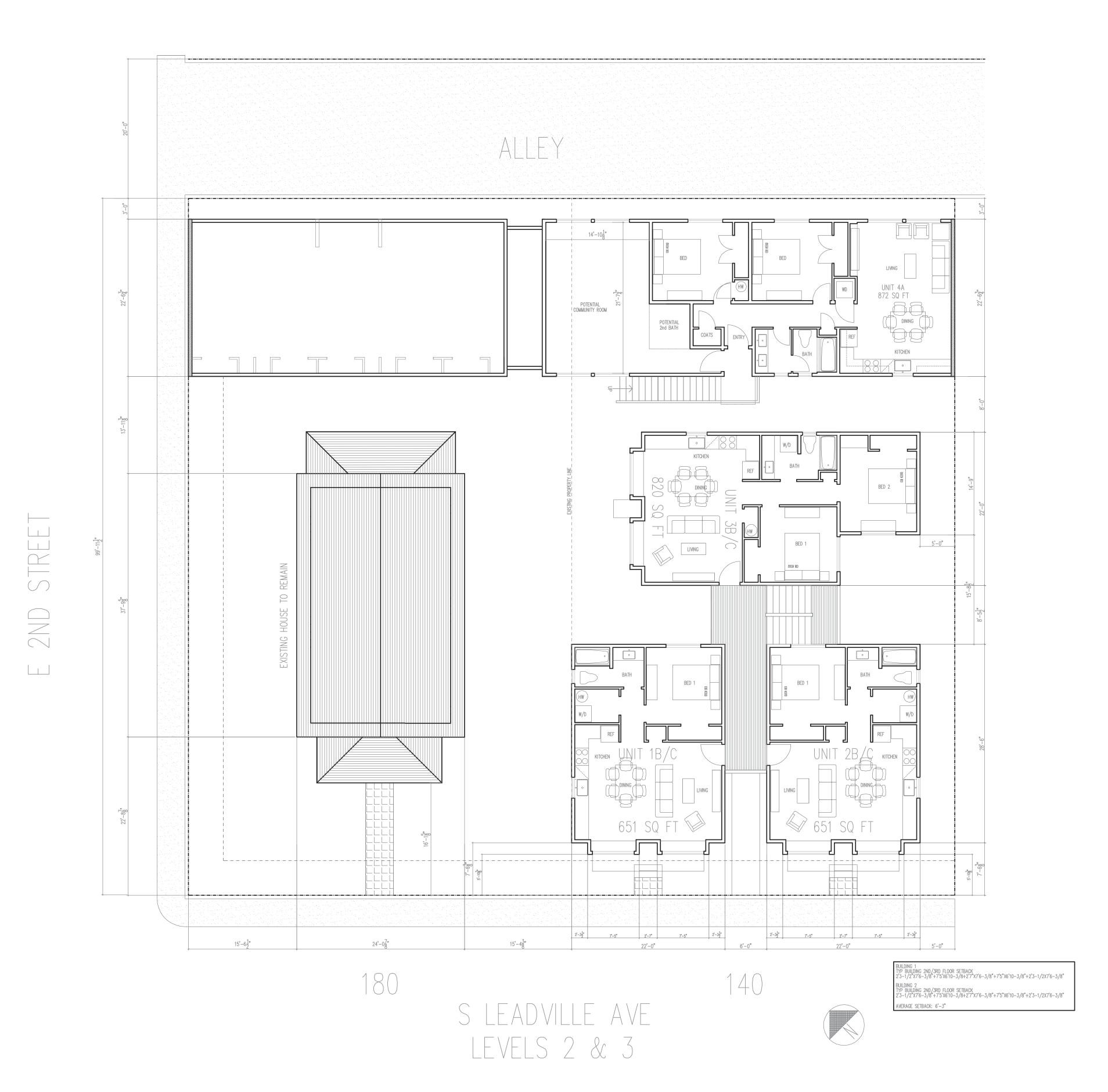
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BUILDING B: 1,931 SQ FT GROSS FLOOR AREA
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CH - S LEADVILLE & E 2ND

AFFORDABLE HOUSING PROJECT

180 N LEADVILLE, KETCHUM ID 83340

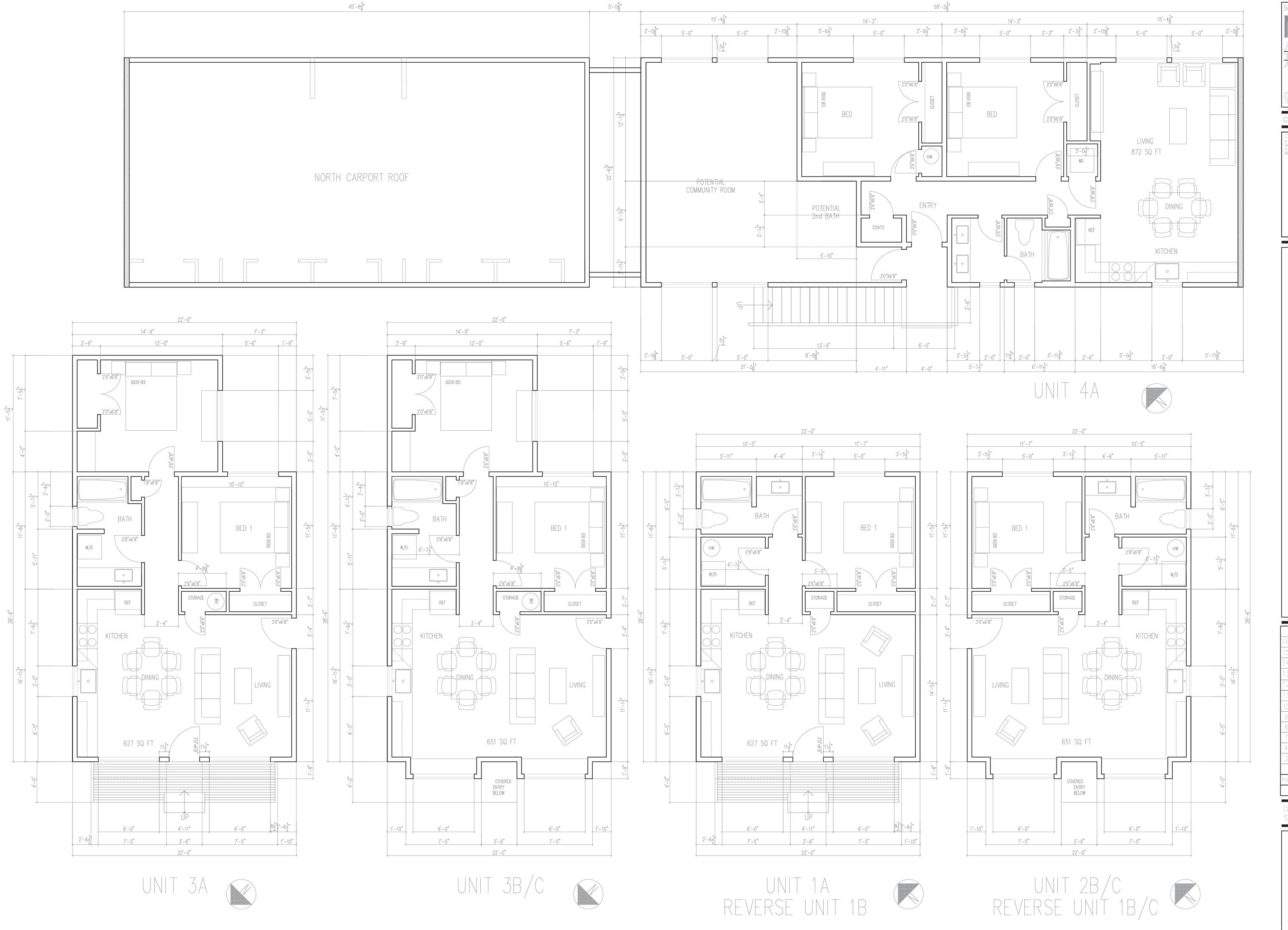
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| 1 | 2  | DES REV APP D   | 06.14.2 |
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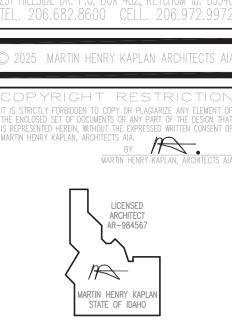
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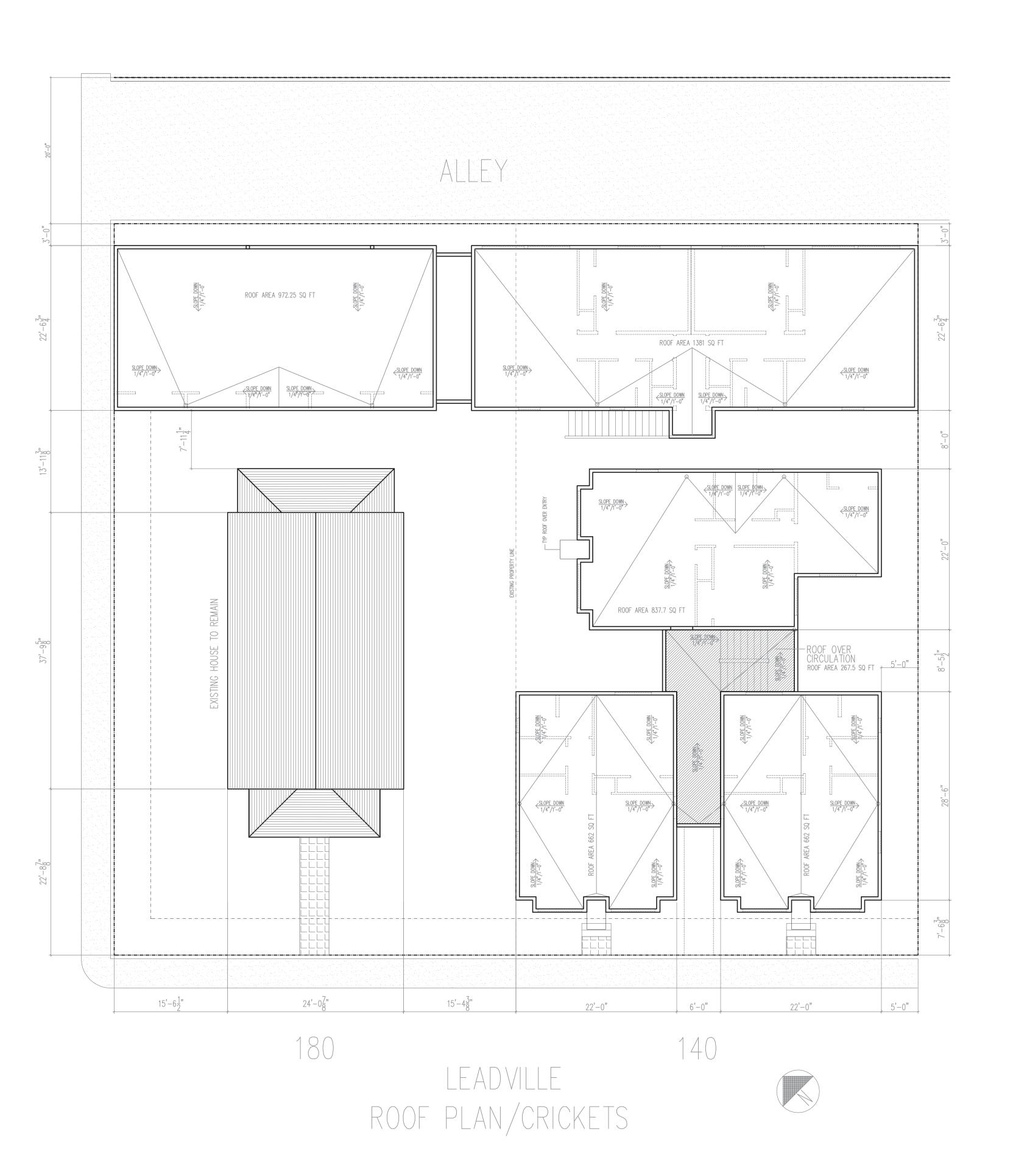


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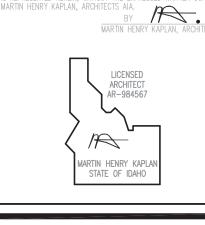




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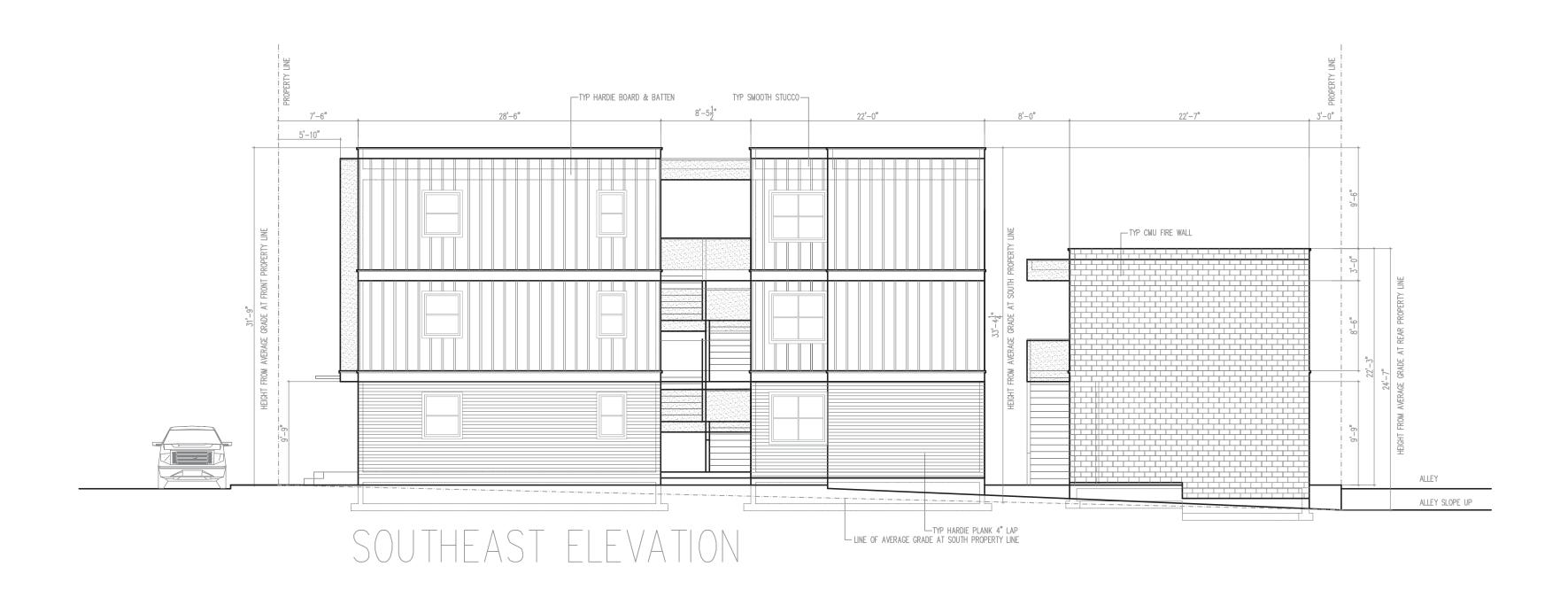


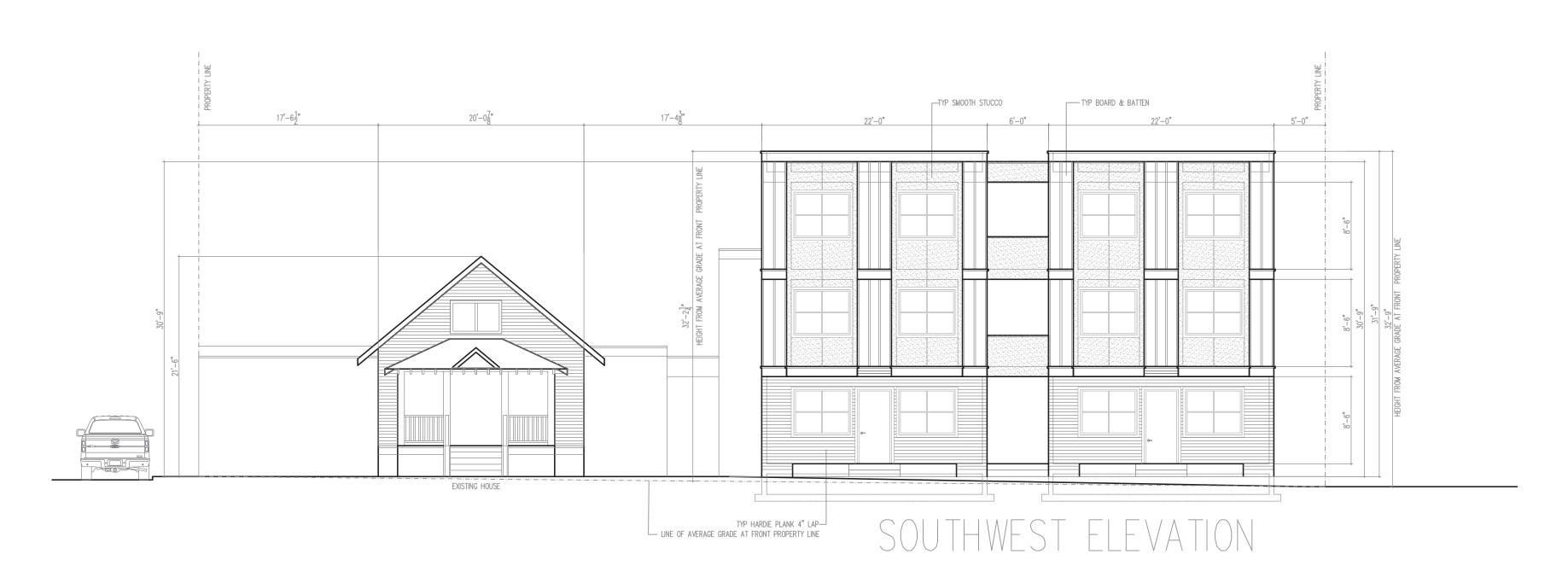


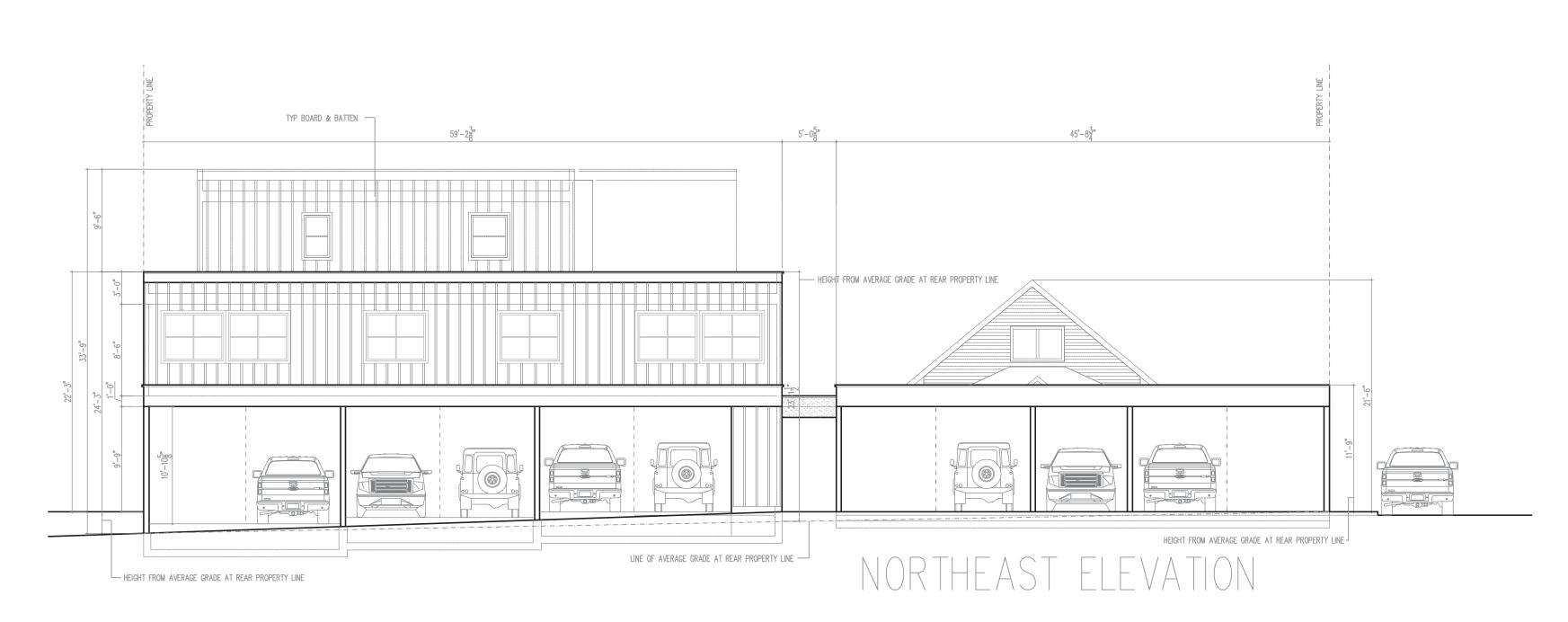
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MARTIN HENRY KAPLAN

THE MHK ARCHITECT

251 HILLSIDE DR. P.O. BOX 482, KETCHUM ID. 83340 TEL. 206.682.8600 CELL. 206.972.9972

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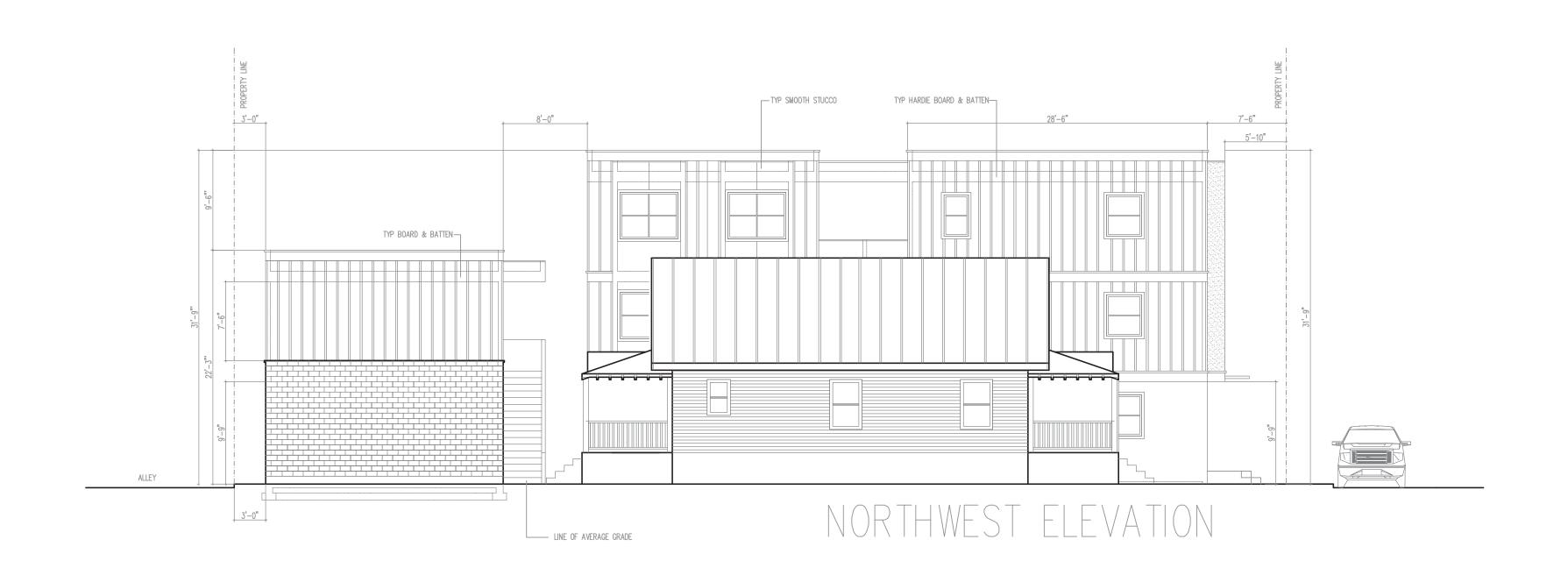
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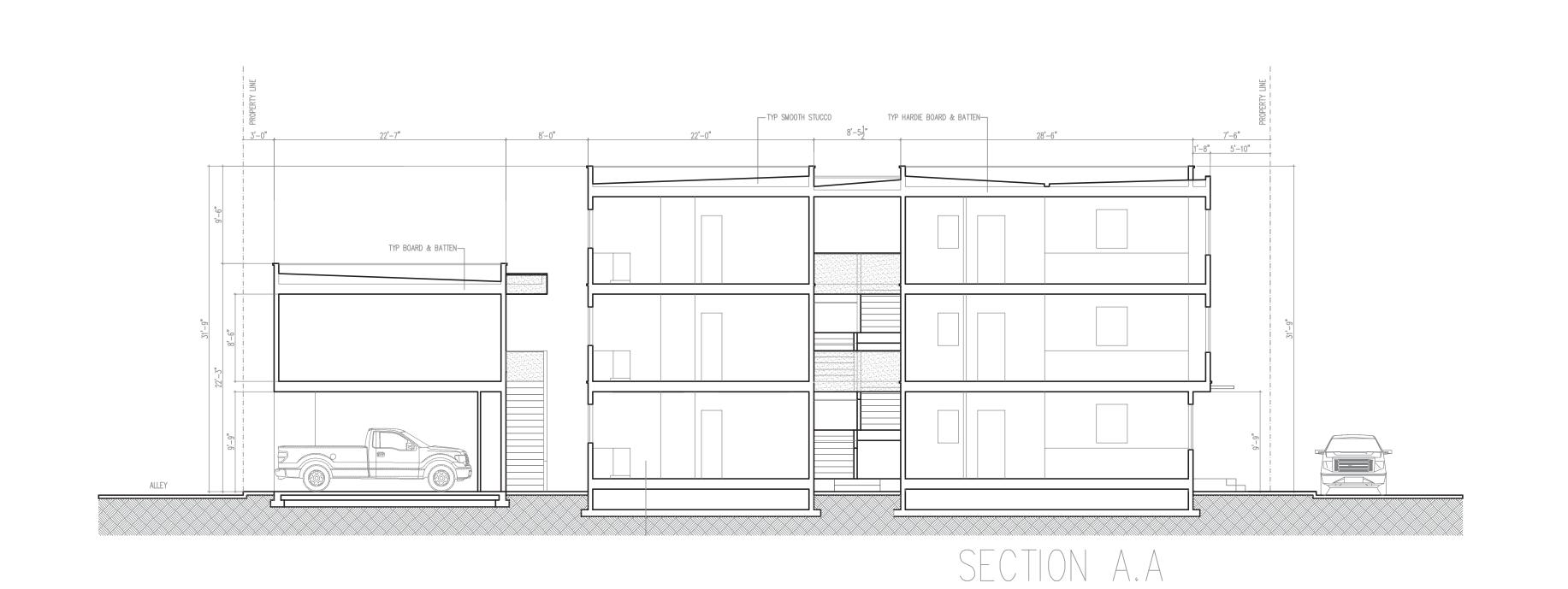
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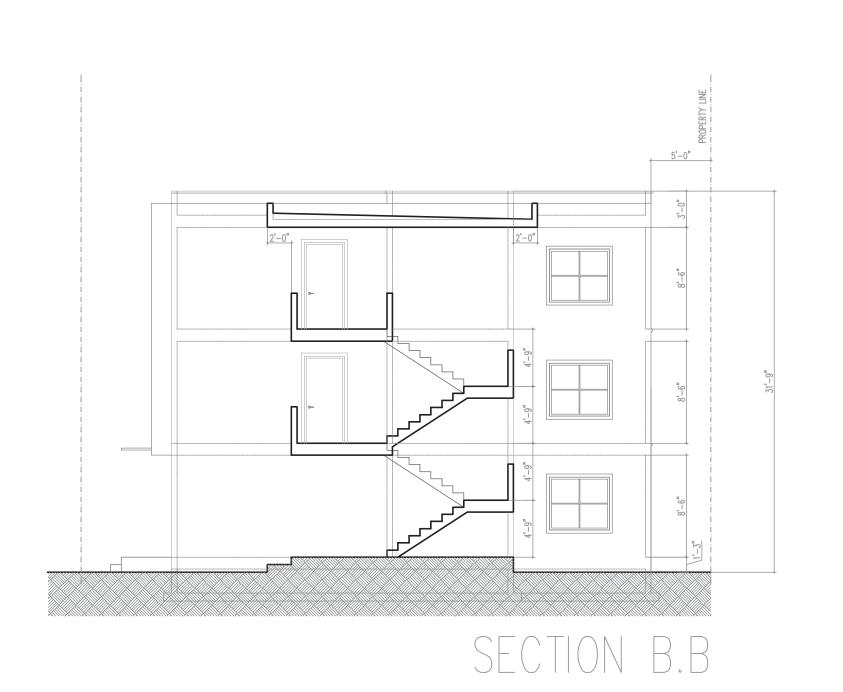




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ARCH - S LEADVILLE & E 2ND
AN AFFORDABLE HOUSING PROJECT

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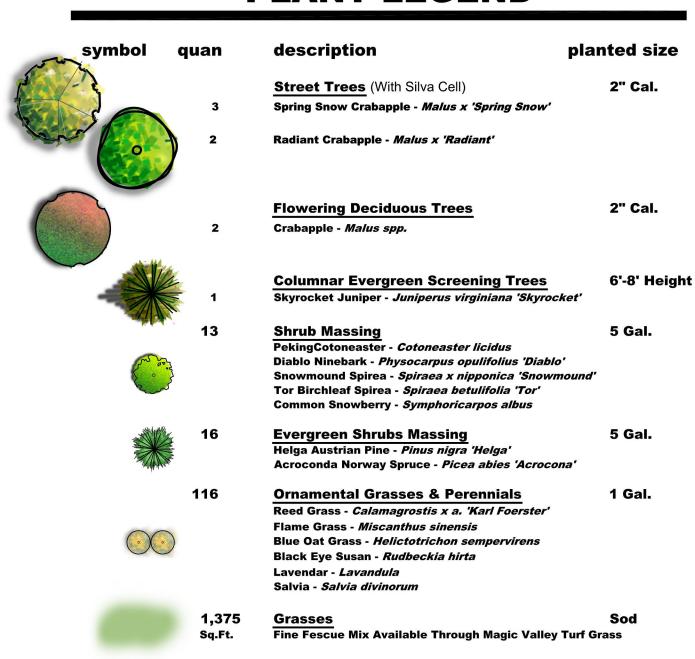


### **FIREWISE NARRATIVE**

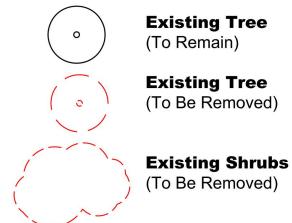
- 1. Design includes driveways & walkways that create fuel breaks for the project.
- in Immediate Zone to the house.
- 3. Landscape adjacent to house in Immediate Zone shall be low growing, carefully spaced, irrigated, maintained regularly, and of low fire rating to eliminate high flammable
- 4. No trees planted within 10' of structure to eliminate ladder
- 5. Irrigation shall be used to create an irrigated defensible



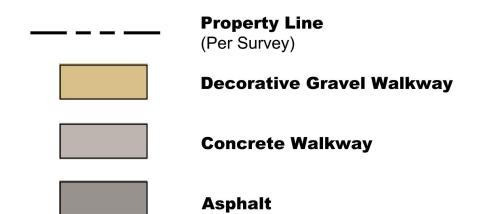
### **PLANT LEGEND**



### **EXISTING TREE LEGEND**



### **PLAN LEGEND**



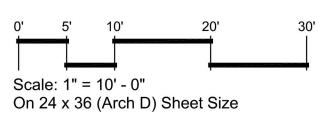
### **LANDSCAPE NOTES**

- with an automatic underground irrigation system.
- 2. Native compatible plant material will be used to provide a drought tolerant, low water use, & low maintenance landscape to blend seamlessly with the surrounding landscape.
- 3. Planting beds shall have 3" of 'soil aid' bark.

### **IRRIGATION NOTES**

- 2. Irrigation system to be automatically controlled with smart controller and rain sensor for a water wise system.
- the base of all plantings & trees.
- 4. Irrigation supply connected to the units domestic water







landscape architecture & drone mapping

Nathan Schutte, ASLA P: 208.320.2911 E: nathanwschutte@gmail.com



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**∞**ŏ

DOCUMENT DATE

Remark

08/20/25 Revision

09/18/25 Revision

**DESIGN REVIEW** 

**SUBMITTAL** 

May 27, 2025

DRAWN BY

REVISION

No. Date

Nathan Schutte



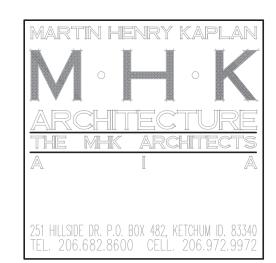
- 1. All disturbed areas shall be landscaped and drip irrigated

- 1. Verify utility locations prior to starting irrigation.
- 3. This is a Drip irrigation only system and shall be installed at
- system. The point of connection will include an approved backflow prevention device and water meter.

LANDSCAPE **PLAN** 



WEST AERIAL PERSPECTIVE



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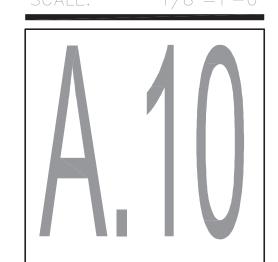
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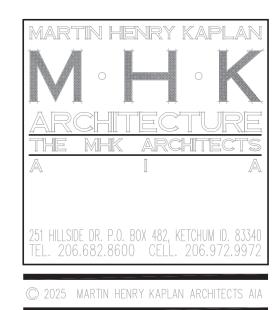
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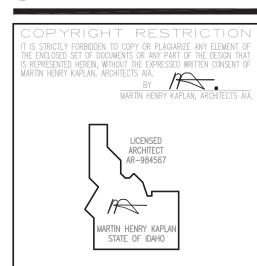
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WEST AERIAL PERSPECTIVE ENLARGED





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WEST INTERSECTION AERIAL PERSPECTIVE



WEST INTERSECTION AERIAL EYE-LEVEL PERSPECTIVE

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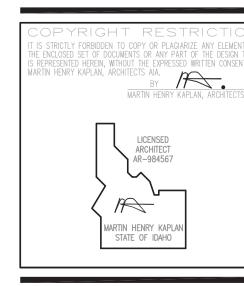
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NORTH AERIAL LOOKING AT ALLEY VIEW





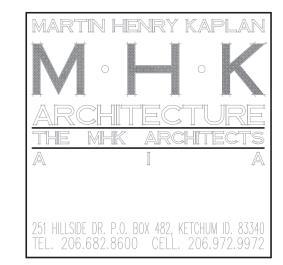
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| NO | DESCRIPTION     | DATE     |

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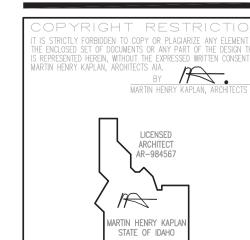




NORTH AERIAL LOOKING AT ALLEY VIEW



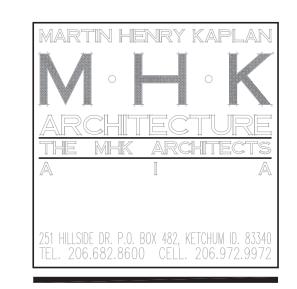
2025 MARTIN HENRY KAPLAN ARCHITECTS AIA







NORTH ALLEY ENTRY/GARAGES



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AR-984567

MARTIN HENRY KAPLAN
STATE OF IDAHO

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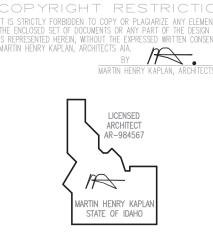




TRANSFORMER SCREEN PLAN

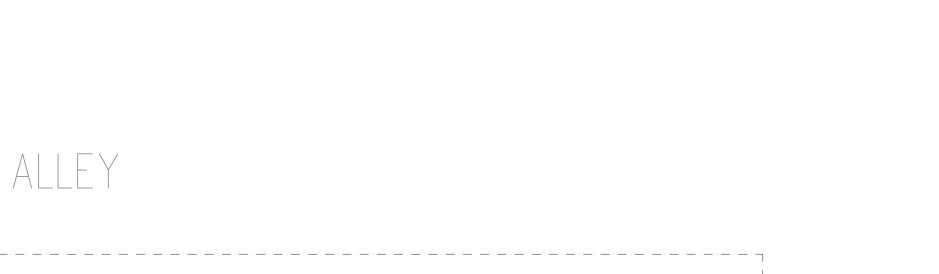
TRANSFORMER SCREEN DETAIL

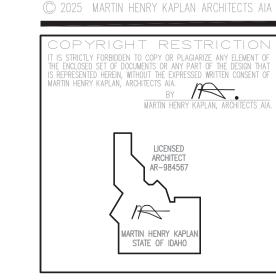


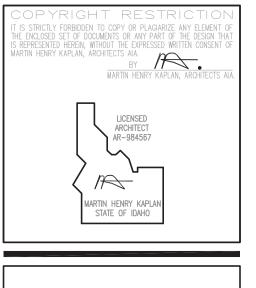


| 16 | DES REV APP H   | 09.22.25 |
|----|-----------------|----------|
| 15 | DES REV APP G   | 08.21.25 |
| 14 | DES REV APP F   | 06.21.25 |
| 13 | DES REV APP E   | 06.16.25 |
| 12 | DES REV APP D   | 06.14.25 |
| 11 | DES REV APP     | 06.07.25 |
| 10 | PRE DES REV APP | 05.14.25 |
| 9  | PRE DES REV APP | 01.14.25 |
| 8  | PRE DES REV APP | 01.11.25 |
| 7  | PRE DES REV APP | 01.07.25 |
| 4  | PRE PLNG MTG C  | 10.25.24 |
| 3  | PRE PLNG MTG B  | 10.07.24 |
|    |                 |          |
| NO | DESCRIPTION     | DATE     |

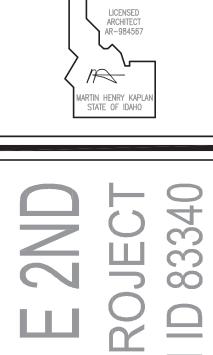








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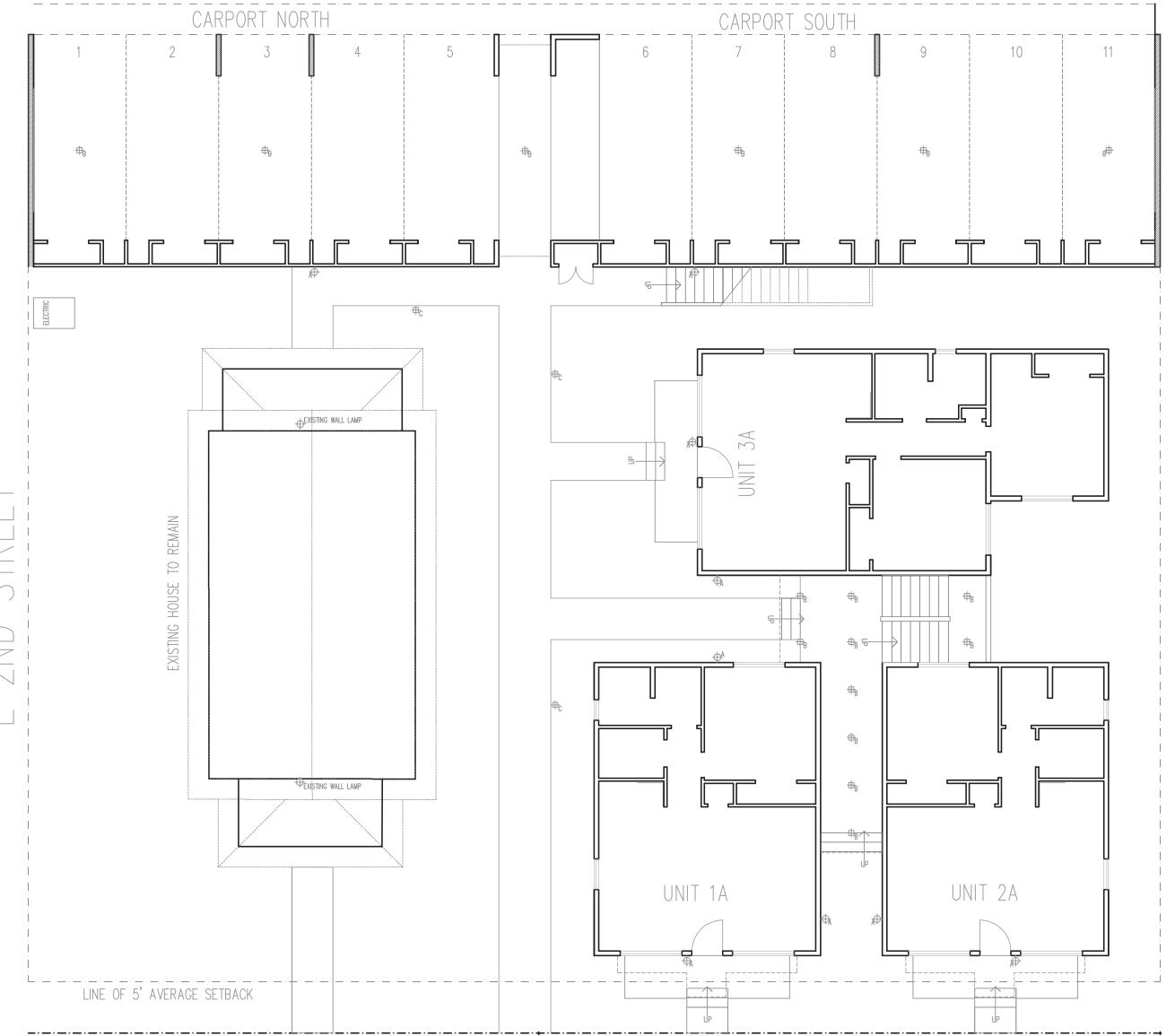
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ALLEY

EXISTING WALL LAMP

EXISTING WALL LAMP



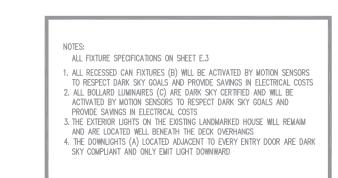
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S LEADVILLE AVE 140 LEVELS 2 & 3 ELECTRICAL FIXTURE BEAM LAYOUT

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UNIT 1B/C

UNIT 2B/C

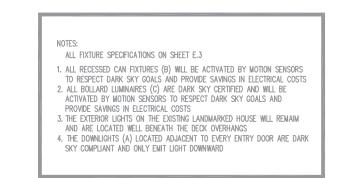


S LEADVILLE AVE

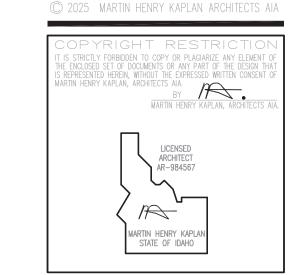
GROUND FLOOR

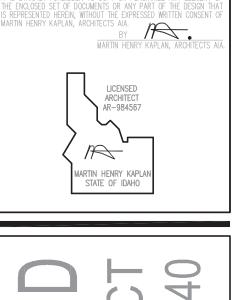
ELECTRICAL FIXTURE BEAM LAYOUT











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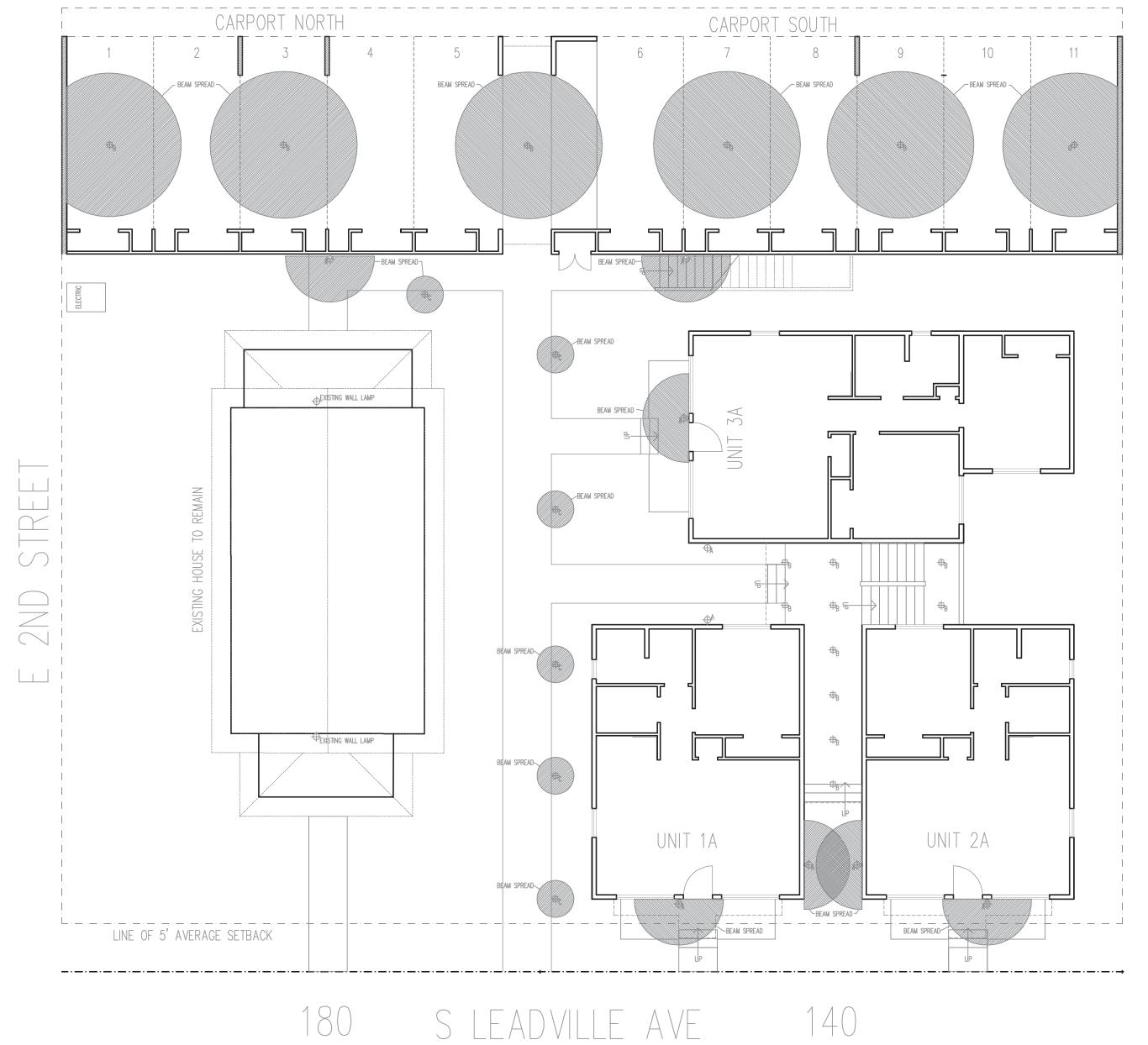
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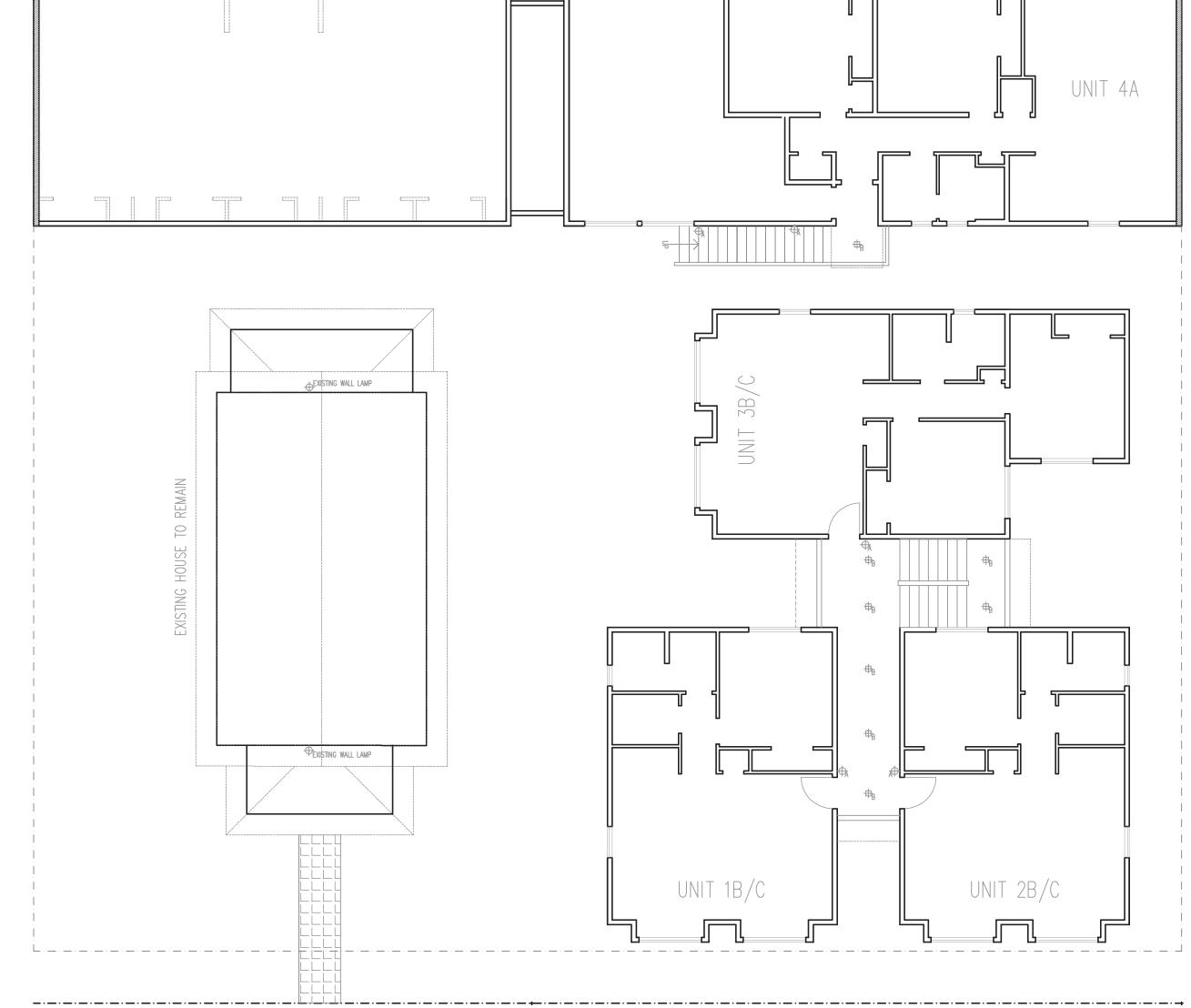
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| 15 | DES REV APP G   | 09.22 |
|----|-----------------|-------|
| 14 | DES REV APP F   | 06.21 |
| 13 | DES REV APP E   | 06.16 |
| 12 | DES REV APP D   | 06.14 |
| 11 | DES REV APP     | 06.07 |
| 10 | PRE DES REV APP | 05.14 |
| 9  | PRE DES REV APP | 01.14 |
| 8  | PRE DES REV APP | 01.11 |
| 7  | PRE DES REV APP | 01.07 |
| 4  | PRE PLNG MTG C  | 10.25 |
| 3  | PRE PLNG MTG B  | 10.07 |
| 2  | PRE PLNG MTG    | 08.02 |
|    |                 |       |
| NO | DESCRIPTION     | DA    |

ISSUES DRAWN BY:

ALLEY ALLEY





S LEADVILLE AVE 140 LEVELS 2 & 3

NOTES: ALL FIXTURE SPECIFICATIONS ON SHEET E.3 ALL FIXIORE SPECIFICATIONS ON SHEET E.S

1. ALL RECESSED CAN FIXTURES (B) WILL BE ACTIVATED BY MOTION SENSORS TO RESPECT DARK SKY GOALS AND PROVIDE SAVINGS IN ELECTRICAL COSTS

2. ALL BOLLARD LUMINAIRES (C) ARE DARK SKY CERTIFIED AND WILL BE ACTIVATED BY MOTION SENSORS TO RESPECT DARK SKY GOALS AND PROVIDE SAVINGS IN ELECTRICAL COSTS

3. THE EXTERIOR LIGHTS ON THE EXISTING LANDMARKED HOUSE WILL REMAIM AND ARE LOCATED WELL BENEATH THE DECK OVERHANGS

4. THE DOWNLIGHTS (A) LOCATED ADJACENT TO EVERY ENTRY DOOR ARE DARK SKY COMPLIANT AND ONLY EMIT LIGHT DOWNWARD

GROUND FLOOR

FIXTURE BEAM SPREAD

ALL FIXTURE SPECIFICATIONS ON SHEET E.3 ALL FIXTURE SPECIFICATIONS ON SHEET E.3

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4. THE DOWNLIGHTS (A) LOCATED ADJACENT TO EVERY ENTRY DOOR ARE DARK SKY COMPLIANT AND ONLY EMIT LIGHT DOWNWARD



# NUWATT 4" BLACK SQUARE ANTI-GLARE WARM LED RECESSED CAN MOTION ACTIVATED

# DESIGN CLASSICS LIGHTING LED BLACK OUTSIDE WALL CYLINDER - DARK SKY COMPLIANT MOTION ACTIVATED

### Product Details

### WAC Ledge 23" High Bronze 2700K LED Landscape Path Light

- ADA-compliant energy-efficient LED landscape path light from the Ledge collection by WAC Lighting.
- Bronze finish. K-alloy aluminum construction. Clear glass diffuser.
- K-Alloy aluminum construction offers enhanced protection against outdoor elements.
- Smooth and continuous dimming to 10-percent with a magnetic low voltage dimmer.
- LED averages 60,000 hours at 3 hours per day.
- Flood beam spread.
- Includes 6-feet of wire.
- Low voltage 12V.
- Factory sealed water tight and IP66 rated for protection against high-pressure water jets and outdoor elements.
- Includes mounting accessory and direct burial gel filled wire nuts. Recommended spacing for installation 5-feet to 9-feet.
- High powered LED. Input: 9-15V AC. Power: 3W (4.5VA).

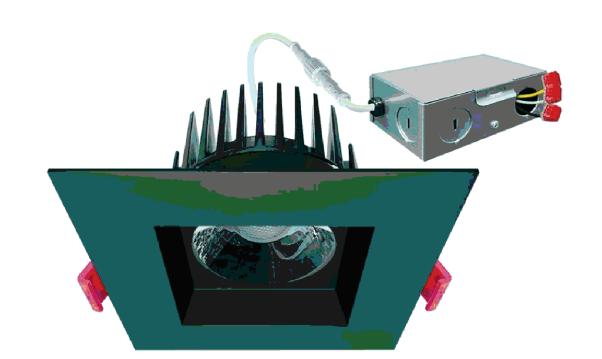
### Product Attributes

| Style  | Contemporary |
|--------|--------------|
| Finish | Bronze       |
| Туре   | Low Voltage  |
| Color  | Brown        |
| Brand  | WAC          |

### Technical Specifications

| Height              | 23.00 inches |
|---------------------|--------------|
| Depth               | 5.50 inches  |
| Max Wattage         | 3 watts      |
| Manufacturer Number | 6081-27BZ    |







4 INCH BLACK SQUARE ANTI-GLARE WARM TO DIM CANLESS LED RECESSED LIGHTING - 120V -COB LED CHIP - WET RATED - WARM TO DIM 3000K TO 1800K - 850LM

SKU: NW-DLJBX-4RG-12W-3WD-BLK-SQ

| Specifications       |                                   |  |
|----------------------|-----------------------------------|--|
| Dimmability          | Trice Dimmable                    |  |
| Size                 | 4 Inch                            |  |
| Color Temperature    | 2700K, 3000K, 3500K, 4000K, 5000K |  |
| Indoor/Outdoor Usage | Indoor & Outdoor                  |  |
| Product Materials    | Diecast Aluminum                  |  |
| Color                | Black                             |  |
| Warranty 💮           | 5 Years                           |  |
| GET 5% OFF!          | NUWATT                            |  |

| Description                        | ^ |
|------------------------------------|---|
| Watts: 12W                         |   |
| Lumens: 850                        |   |
| Voltage: 120v                      |   |
| Dirnming: Triac (Standard Dimming) |   |
| IP Rating: Wet Location            |   |
| Beam: 38°                          |   |
| CRI:>90                            |   |
| CCT: 30k-18k                       |   |
| Size: 4"                           |   |
|                                    |   |

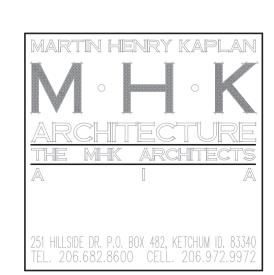
TEMP SPEC 2700K



Product Number: 656786 Model Number: 177.3-07 35 3000K 1773-07 59383 LED Collection: Jack and Jill Manufacturer Finish: Matte Black Manufacturer Shade Color: Matte Black Total Wattage: 6.5 w. Voltage Type: Line Voltage Average Rated Life1: 25,000 hrs Dimmable: With Standard Height: 5.62 in. Width: 45 in. Depth; 3,38 in. Wattage: 6.5 Bulb Type: LED Bulb Shape: MR-16 Base Type: Twist Lock (GU10) Number Of Bulbs: 1

> Bulb Included: Ves Beam Spread: Flood

Beam Spread Degree: 40 Dark Sky: Yes EnergyStar Compliant: No Shade Material: Metal, Glass Material: Aluminum, Glass Shipping: UPS Regular Certification Agencies: ETL Backplate Dimension: 4.5 Wet Location: Yes Damp Location: Yes Harsh Environ/Coastal: No Weight: 1.5 lbs Kelvin Temperature: 3000 Lumens: 500 Color Rendering Index: 80 Made In America: No Dusk To Dawn: No Motion Sensor: No Title 24; No



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BY

MARTIN HENRY KAPLAN, ARCHITECTS AIA.

LICENSED

ARCHITECT

AR-984567



# ARCH - S LEADVILLE & E 2ND AN AFFORDABLE HOUSING PROJECT

| 15 | DES REV APP G   | 09.22.25 |
|----|-----------------|----------|
| 14 | DES REV APP F   | 06.21.25 |
| 13 | DES REV APP E   | 06.16.25 |
| 12 | DES REV APP D   | 06.14.25 |
| 11 | DES REV APP     | 06.07.25 |
| 10 | PRE DES REV APP | 05.14.25 |
| 9  | PRE DES REV APP | 01.14.25 |
| 8  | PRE DES REV APP | 01.11.25 |
| 7  | PRE DES REV APP | 01.07.25 |
| 4  | PRE PLNG MTG C  | 10.25.24 |
| 3  | PRE PLNG MTG B  | 10.07.24 |
| 2  | PRE PLNG MTG    | 08.02.24 |
|    |                 |          |
| NO | DESCRIPTION     | DATE     |

DRAWN BY: MHK SCALE: 1/8"=1'-0'

2

# 140 & 180 N LEADVILLE A

# KETCHUM, IDAHO JUNE 2025

### GENERAL CONSTRUCTIONS NOTES

- 1. ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISPWC) AND CITY OF KETCHUM STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ISPWC AND CITY OF KETCHUM STANDARDS ON SITE DURING CONSTRUCTION.
- 2. THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES PRIOR TO COMMENCING AND DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL CALL DIGLINE (1-800-342-1585) TO LOCATE ALL EXISTING UNDERGROUND UTILITIES A MINIMUM OF 48 HOURS IN ADVANCE OF EXCAVATION.
- 3. OPAL ENGINEERING, PLLC IS NOT RESPONSIBLE FOR IDAHO POWER OR OTHER DRY UTILITY SERVICE REQUESTS.
- 4. CONTRACTOR SHALL COORDINATE RELOCATIONS OF DRY UTILITY FACILITIES (POWER, CABLE, PHONE, TV) WITH THE APPROPRIATE UTILITY FRANCHISE.
- 5. THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION.
- 6. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION (THIS INCLUDES, BUT IS NOT LIMITED TO, ENCROACHMENT PERMITS AND NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION GENERAL PERMIT (CGP) PERMIT COVERAGE).
- 7. ALL CLEARING & GRUBBING SHALL CONFORM TO ISPWC SECTION 201.
- 8. ALL EXCAVATION & EMBANKMENT SHALL CONFORM TO ISPWC SECTION 202. SUBGRADE SHALL BE EXCAVATED AND SHAPED TO LINE, GRADE, AND CROSS-SECTION SHOWN ON THE PLANS. THE SUBGRADE SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-698. THE CONTRACTOR SHALL WATER OR AERATE SUBGRADE AS NECESSARY TO OBTAIN OPTIMUM MOISTURE CONTENT. IN-LIEU OF DENSITY MEASUREMENTS, THE SUBGRADE MAY BE PROOF-ROLLED TO THE APPROVAL OF THE ENGINEER.
- PROOF-ROLLING: AFTER EXCAVATION TO THE SUBGRADE ELEVATION AND PRIOR TO PLACING COURSE GRAVEL, THE CONTRACTOR SHALL PROOF ROLL THE SUBGRADE WITH A 5-TON SMOOTH DRUM ROLLER, LOADED WATER TRUCK, OR LOADED DUMP TRUCK, AS ACCEPTED BY THE ENGINEER THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF UNSUITABLE SUBGRADE MATERIAL AREAS, AND/OR AREAS NOT CAPABLE OF COMPACTION ACCORDING TO THESE SPECIFICATIONS. UNSUITABLE OR DAMAGED SUBGRADE IS WHEN THE SOIL MOVES, PUMPS AND/OR DISPLACES UNDER ANY TYPE OF PRESSURE INCLUDING FOOT TRAFFIC LOADS.
- IF, IN THE OPINION OF THE ENGINEER, THE CONTRACTOR'S OPERATIONS RESULT IN DAMAGE TO, OR PROTECTION OF, THE SUBGRADE, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, REPAIR THE DAMAGED SUBGRADE BY OVER-EXCAVATION OF UNSUITABLE MATERIAL TO FIRM SUBSOIL, LINE EXCAVATION WITH GEOTEXTILE FABRIC, AND BACKFILL WITH PIT RUN GRAVEL.
- 9. ALL 2" MINUS GRAVEL SHALL CONFORM TO ISPWC 802, TYPE II (ITD STANDARD 703.04, 2"), SHALL BE PLACED IN CONFORMANCE WITH ISPWC SECTION 801 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99.
- 10. ALL 3/4" MINUS CRUSHED GRAVEL SHALL CONFORM TO ISPWC 802, TYPE I (ITD STANDARD 703.04, 3/4" B), SHALL BE PLACED IN CONFORMANCE WITH ISPWC SECTION 802 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
- 11. ALL ASPHALTIC CONCRETE PAVEMENT WORK SHALL CONFORM TO ISPWC SECTION(S) 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (13MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPWC SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPWC SECTION 805.
- 12. ASPHALT SAWCUTS SHALL BE AS INDICATED ON THE DRAWINGS, OR 24" INCHES FROM EDGE OF EXISTING ASPHALT, IF NOT INDICATED OTHERWISE SO AS TO PROVIDE A CLEAN PAVEMENT EDGE FOR MATCHING. NO WHEEL CUTTING SHALL BE ALLOWED.
- 13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL PER THE CURRENT EDITION OF THE US DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). UNDER NO CIRCUMSTANCES WILL TRAFFIC CONTROL AND ASSOCIATED CONSTRUCTION HINDER ANY EMERGENCY VEHICLE ACCESS, BLOCK PRIVATE DRIVEWAYS FOR EXTENDED PERIODS, OBSTRUCT BUSINESS DELIVERIES, OBSTRUCT SCHOOL BUS OPERATION, OBSTRUCT MAIL/PACKAGE DELIVERY, OR IMPACT TRASH/RECYCLING SERVICES.
- 14. ALL CONCRETE WORK SHALL CONFORM TO ISPWC SECTIONS 701, 703, AND 705. ALL CONCRETE SHALL BE 4,000 PSI MINIMUM, 28 DAY, AS DEFINED IN ISPWC SECTION 703, TABLE 1. IMMEDIATELY AFTER PLACEMENT PROTECT CONCRETE BY APPLYING MEMBRANE-FORMING CURING COMPOUND, TYPE 2, CLASS A PER ASTM C 309-94. APPLY CURING COMPOUND PER MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS.
- 15. ALL TRENCHING SHALL CONFORM TO ISPWC STANDARD DRAWING SD-301. TRENCHES SHALL BE BACKFILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
- 16. PER IDAHO CODE § 55-1613, THE CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS; ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS THAT ARE LOST OR DISTURBED BY CONSTRUCTION SHALL BE REESTABLISHED AND RE-MONUMENTED, AT THE EXPENSE OF THE AGENCY OR PERSON CAUSING THEIR LOSS OR DISTURBANCE AT THEIR ORIGINAL LOCATION OR BY SETTING OF A WITNESS CORNER OR REFERENCE POINT OR A REPLACEMENT BENCHMARK OR CONTROL POINT, BY OR UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR.
- 17. IF AUTOCAD ELECTRONIC FILES ARE MADE AVAILABLE TO THE CONTRACTOR. IN THE EVENT OF A DISCREPANCY BETWEEN THE STAMPED PAPER DRAWINGS AND THE ELECTRONIC FILES, THE STAMPED PAPER DRAWINGS WILL GOVERN.
- 18. EXISTING CONDITIONS AND BOUNDARY INFORMATION SHOWN HEREON ARE PER A SURVEY CONDUCTED BY BENCHMARK AND ASSOCIATES 06/09/22.
- 19. WHEN DRIVEWAY ACCESS WILL BE RESTRICTED, NOTIFY THE RESIDENT OR BUSINESS 48 HOURS IN ADVANCE AND ARRANGE FOR AN ALTERNATE PARKING LOCATION (ON- OR OFF-STREET) WITHIN 100 FEET OF THE PROPERTY. MINIMIZE DISRUPTIONS TO INDIVIDUAL DRIVEWAY ACCESS ACTIVE CONSTRUCTION PERIODS AT THE DRIVEWAY, WITH ACCESS RESTORED DURING NON-CONSTRUCTION HOURS.
- 20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIRING A MATERIALS TESTING COMPANY DURING CONSTRUCTION TO VERIFY ALL COMPACTION AND MATERIAL PLAN AND SPECIFICATION REQUIREMENTS ARE MET FOR ALL CONSTRUCTION WITHIN THE PUBLIC RIGHTS-OF-WAY. TESTING LOCATION AND FREQUENCY SHALL MEET ISPWC AND ADA COUNTY HIGHWAY DISTRICT (ACHD) REQUIREMENTS. REPORTS SHALL BE SUBMITTED TO THE ENGINEER WITHIN TWO WEEKS OF TESTING.
- 21. CONSTRUCTION OF WATER MAINS AND ALL OTHER RELATED APPURTENANCES SHALL BE IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPWC), IDAPA 58.01.08, IDAHO RULES FOR PUBLIC DRINKING WATER SYSTEMS AND THE CITY OF KETCHUM UTILITIES DEPARTMENT STANDARDS.
- 22. CONTRACTOR SHALL PRESSURE TEST, DISINFECT, AND CONDUCT BIOLOGICAL TESTING IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPWC), AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS, AND THE PRESSURE TESTING, DISINFECTION, AND MICROBIOLOGICAL TESTING PROCEDURES.
- 23. ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL BE ANSI/NSF STD. 61 COMPLIANT.
- 24. ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL COMPLY WITH THE LOW LEAD ACT REQUIRING ALL MATERIALS TO HAVE A LEAD CONTENT EQUAL TO OR LESS THAT 0.25%.
- 25. THE CONTRACTOR SHALL USE ANSI/NSF STANDARD 60 CHEMICALS AND COMPOUNDS DURING INSTALLATION & DISINFECTION OF POTABLE WATER



| LEGEND   |  |  |   |
|--|--|--|---|
| EXISTING ITEMS   |  |  |   |
| Right-of-v Adjoiners Right of V 5' Contou 1' Contou Edge of A 6" Vertica Fence Asphalt | Lot Line Vay Centerline r Interval r Interval sphalt I Curb & Gutter | TRAN  POWER VAULT  E AC  S SS SS  W WS | Gas Meter Cable Tv Riser Electric Meter Power Transformer  Power Vault  Power Box Air Conditioning Unit Power Buried Sewer Main Sewer Service Sewer Cleanout Sewer Manhole Water Main Water Service |
| Tree   |  | <b>∑ ⊚</b>                             | Fire Hydrant<br>Water Valve<br>Water Meter  |
| ○ Sian   |  |  |   |

### SHEET INDEX

| <u> </u> |                       |  |
|----------|-----------------------|--|
| SHEET#   | DESCRIPTION           |  |
| C0.10    | COVER SHEET           |  |
| C0.90    | DEMOLITION PLAN       |  |
| C1.00    | DETAIL SHEET          |  |
| C1.01    | DETAIL SHEET          |  |
| C1.10    | SITE IMPROVEMENT PLAN |  |

ESIGN REVIEW (06/27/2025)
CRIPTION
COMMENTS 07/31/2025

PURPOSE: ISSUE FOR D
REVISION NO. DATE DE

PRELIMINARY
NOT FOR
CONSTRUCTION

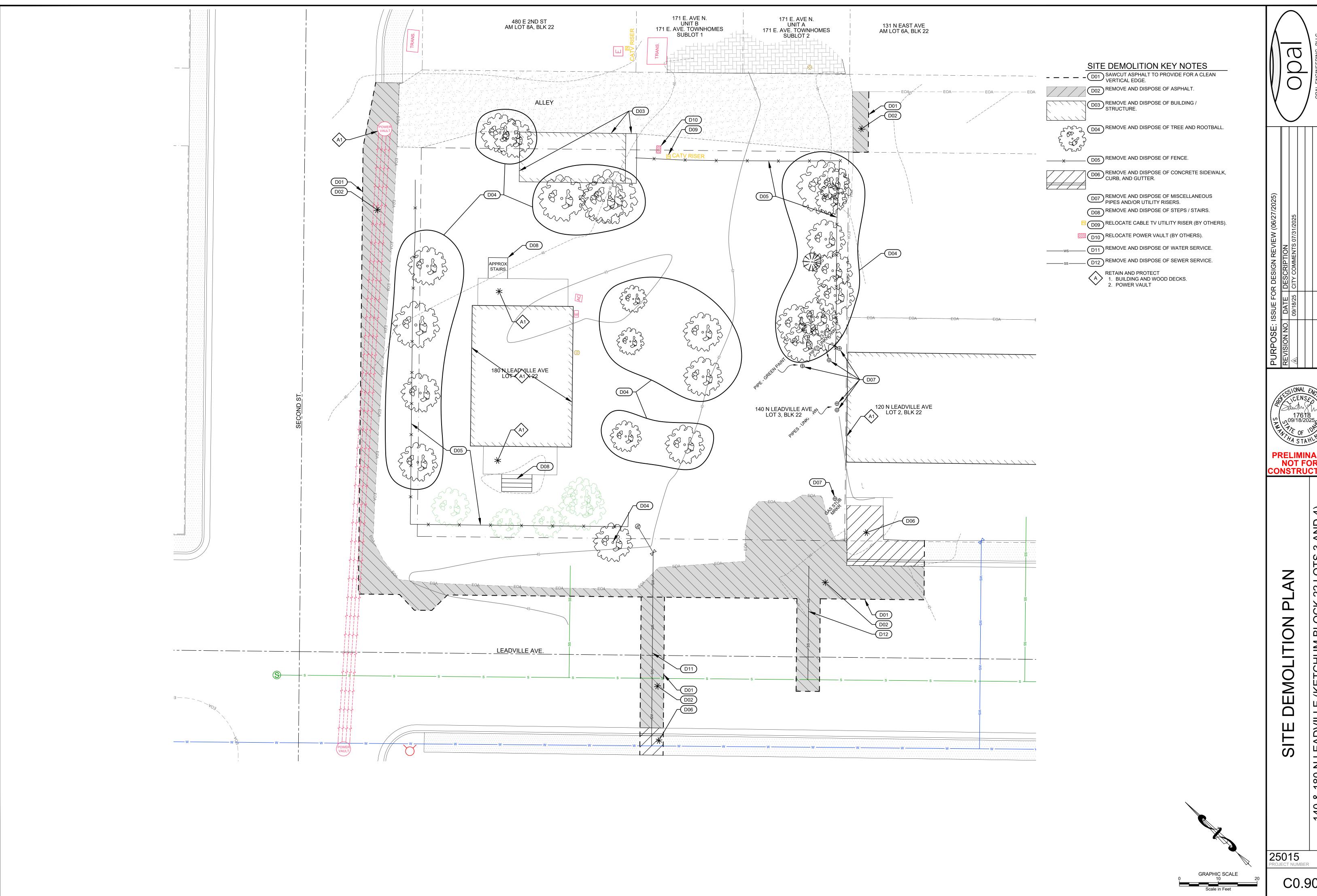
SLOCK 22 LOTS 3 AND

COVER SHEET

V LEADVILLE (KETCHUM BLOC

25015

C0.10



L:\Opal Engineering\Project Files\25015 ARCH Leadville\Drawings\Civil\25015\_ENG BASE.dwg 09/12/25 1:18:26 PM



C0.90

COMPACTED SUBGRADE

1. SUBBASE CAN BE 2" TYPE II OR ¾" TYPE I CRUSHED AGGREGATE BASE COURSE.

2. MATERIALS SHALL CONFORM WITH CURRENT ISPWC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT. 3. PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT

SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.

TYPICAL STREET ASPHALT SECTION

1. INSTALL SCORE JOINTS AT INTERVALS TO MATCH WIDTH OF WALK NOT TO EXCEED 5 FEET SPACING IN BOTH THE LONGITUDINAL AND TRANSVERSE DIRECTION FOR SIDEWALK GREATER THAN 5 FEET IN

WIDTH. INSTALL EXPANSION JOINTS EVERY 10 FEET IN LONGITUDINAL DIRECTION. 2. 1/2" TRANSVERSE PREFORMED BITUMINOUS JOINTS AT THE TERMINUS POINTS FOR CURVE AND WHERE SIDEWALK IS PLACED BETWEEN TWO PERMANENT FOUNDATIONS OR ADJACENT TO THE STRUCTURE, PLACE  $\frac{1}{2}$ " EXPANSION JOINT MATERIAL ALONG THE BACK OF WALK THE FULL LENGTH.

SIDEWALK CONSTRUCTION JOINTS SHALL BE CONSTRUCTED APPROXIMATELY  $\frac{3}{8}$ " WIDE,  $\frac{3}{4}$ " IN DEPTH AND FINISHED AND EDGED SMOOTH. A PREFORMED EXPANSION JOINT FILLER SHALL BE PLACED EVERY 40' FOR NEW SIDEWALK CONSTRUCTION.

4. WHEN TRANSITIONING NEW SIDEWALK TO EXISTING, A MINIMUM 5' TRANSITIONAL PANEL SHALL BE SEPARATED AND ISOLATED WITH EXPANSION MATERIAL.

5. SIDEWALK ALIGNMENT TRANSITIONS SHALL HAVE A MINIMUM RADIUS OF 30' TO THE FACE OF CURB. 6. MATERIALS SHALL CONFORM WITH CURRENT ISPWC STANDARDS, DIVISION 800 AGGREGATES AND

TYPICAL CONCRETE SECTION

7. CONCRETE THICKNESS PER THIS DETAIL OR MATCH EXISTING, WHICHEVER IS GREATER. CONCRETE SHALL BE TITAN MIX OR APPROVED EQUAL.

— 4" OF 3/4" TYPE I AGGREGATE BASE ─ 6" OF 2" TYPE II SUBBASE — COMPACTED SUBGRADE

1. SUBBASE CAN BE 2" TYPE II OR ¾" TYPE I CRUSHED AGGREGATE BASE COURSE. 2. MATERIALS SHALL CONFORM WITH CURRENT ISPWC STANDARDS, DIVISION 800

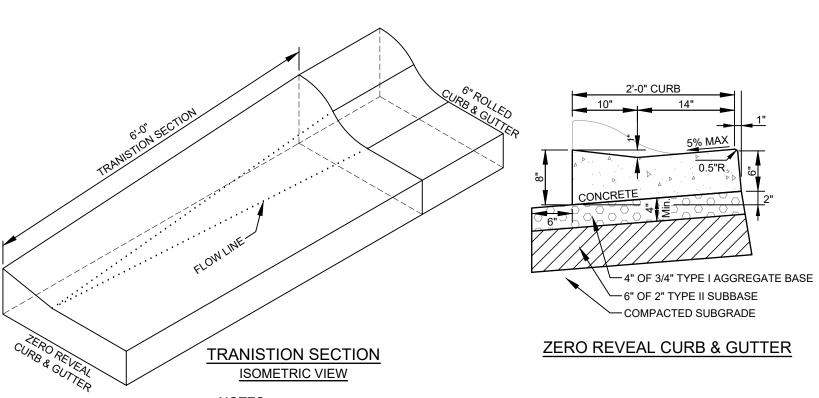
AGGREGATES AND ASPHALT. 3. PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.

4. 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADII.

5. CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FEET MAXIMUM SPACING (8-FEET W/SIDEWALK). 6. CONCRETE SHALL BE TITAN MIX OR APPROVED EQUAL.

" CONCRETE ROLLED CURB & GUTTER





1. SUBBASE CAN BE 2" TYPE II OR ¾" TYPE I CRUSHED AGGREGATE BASE COURSE. 2. MATERIALS SHALL CONFORM WITH CURRENT ISPWC STANDARDS, DIVISION 800

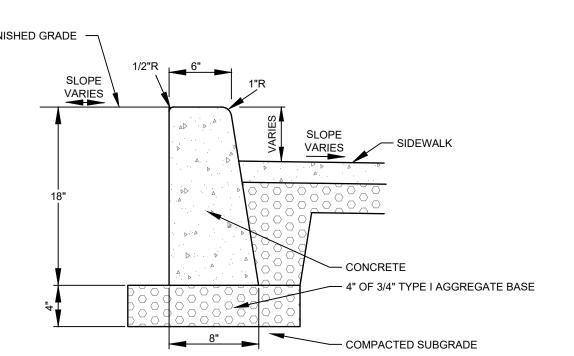
3. PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.

4. 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADII. 5. CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FEET MAXIMUM

SPACING (8-FEET W/SIDEWALK). 6. CONCRETE SHALL BE TITAN MIX OR APPROVED EQUAL.

AGGREGATES AND ASPHALT.

TYPICAL CURB TRANSITION DETAIL



2. MATERIALS SHALL CONFORM WITH CURRENT ISPWC STANDARDS, DIVISION 800

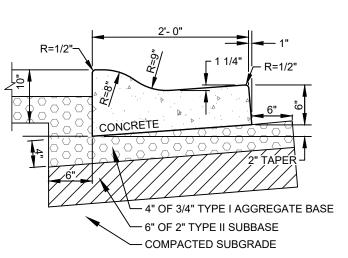
3. PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT,

4. 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS

5. CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FEET MAXIMUM SPACING

6. CONCRETE SHALL BE TITAN MIX OR APPROVED EQUAL.

CONCRETE VERTICAL CURB N.T.S.



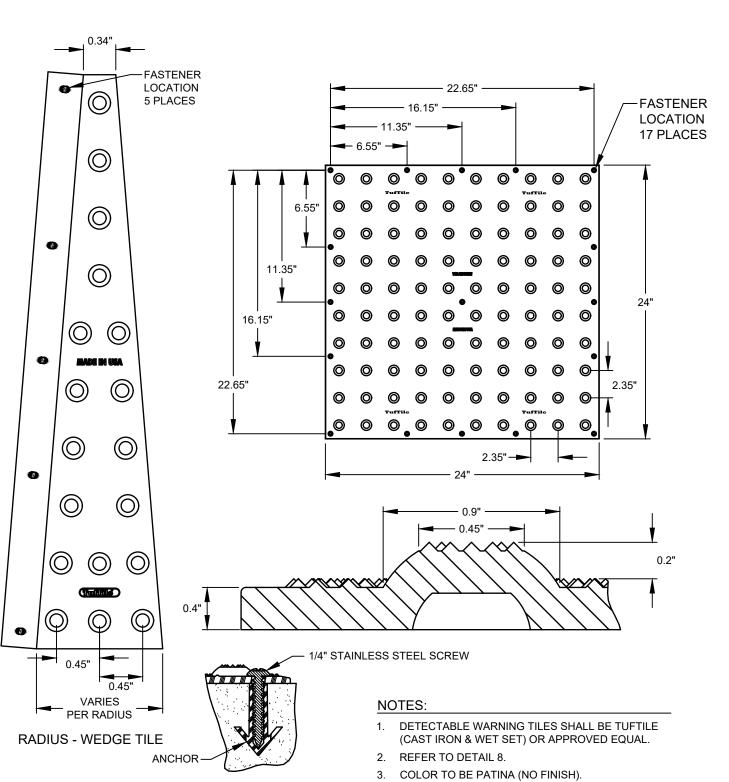
1. SUBBASE CAN BE 2" TYPE II OR ¾" TYPE I CRUSHED AGGREGATE BASE COURSE. MATERIALS SHALL CONFORM WITH CURRENT ISPWC STANDARDS, DIVISION 800

3. PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.

5. CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FEET MAXIMUM SPACING

6. CONCRETE SHALL BE TITAN MIX OR APPROVED EQUAL.

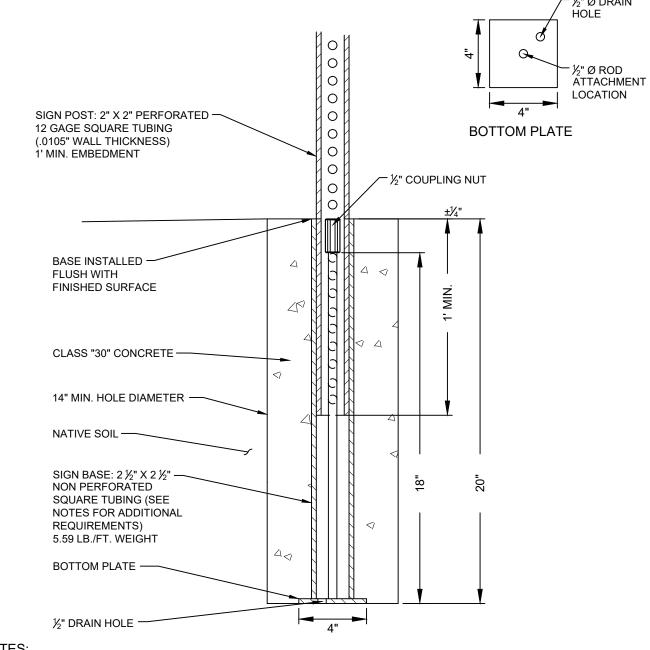
3" CONCRETE ROLLED CURB & GUTTER



ANCHOR DETAIL



**DETECTABLE WARNING PLATE** 



1. BASES SHALL BE INSTALLED TO BE FLUSH WITH SURFACE.

2. ALL INSTALLATIONS SHALL HAVE 14" Ø MINIMUM FOUNDATION OR GROUTED INTO SOLID ROCK. 3. ALL STREET SIGNS SHALL BE IN ACCORDANCE WITH THE MOST

CURRENT EDITION OF THE MUTCD. 4. SIGN PLACEMENT SHALL BE APPROVED BY THE CITY OF KETCHUM.

5. CITY TO PROVIDE BASES.

SIGN BASE MATERIAL & DIMENSION REQUIREMENTS 2 ½" OUTSIDE TUBE STEEL (20" LENGTH) 2 1/8" INSIDE TUBE STEEL ¾<sub>6</sub>" THICK NTERNAL ROD MATERIAL & DIMENSION REQUIREMENTS

½" COLD ROLLED ROD (18" LENGTH) ½" COUPLING NUTS **BOTTOM PLATE MATERIAL & DIMENSION REQUIREMENTS** 4" X 4" X 1/4" STEEL STRAP



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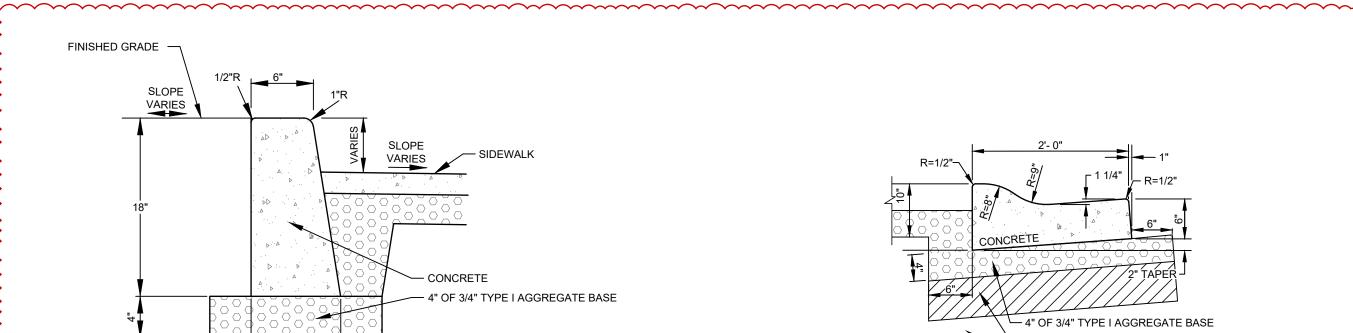
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SUBBASE CAN BE 2" TYPE II OR ¾" TYPE I CRUSHED AGGREGATE BASE COURSE. AGGREGATES AND ASPHALT.

STAMPED BY A LICENSED ENGINEER, IS PROVIDED.

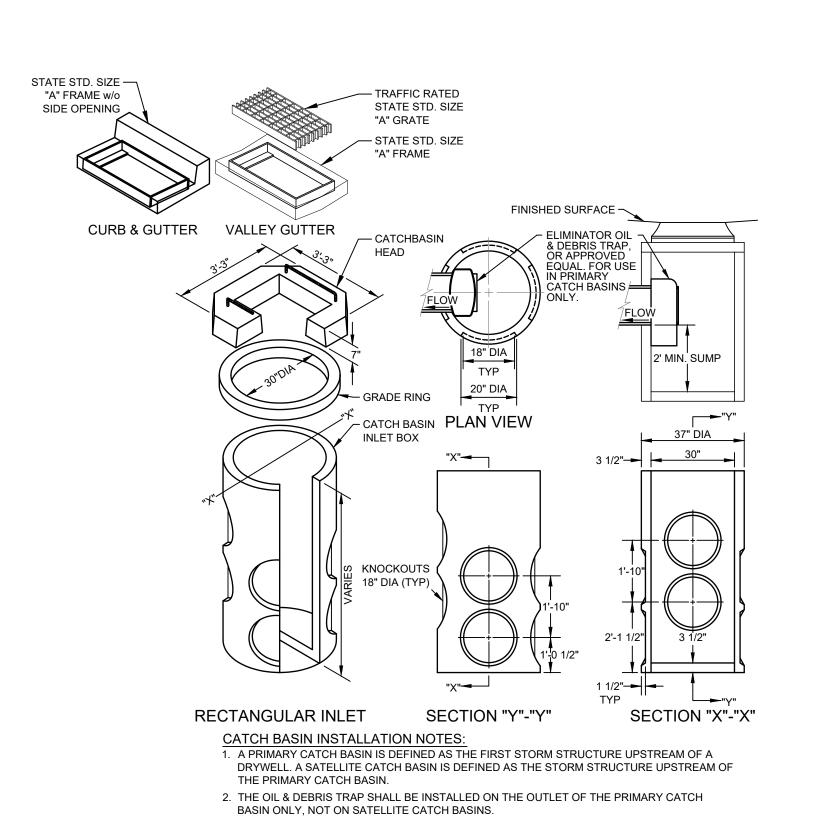
(8-FEET W/SIDEWALK).

AGGREGATES AND ASPHALT.

4. 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS

(8-FEET W/SIDEWALK).

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3. PLACE A MINIMUM OF 4" OF COMPACTED BEDDING ON PREPARED SUBGRADE AS SPECIFIED

IN ISPWC SECTION 305 - PIPE BEDDING. EXTEND BEDDING EITHER TO THE LIMITS OF THE

4. FILL THE BALANCE OF THE EXCAVATED AREA WITH SELECT MATERIAL COMPACTED LEVEL

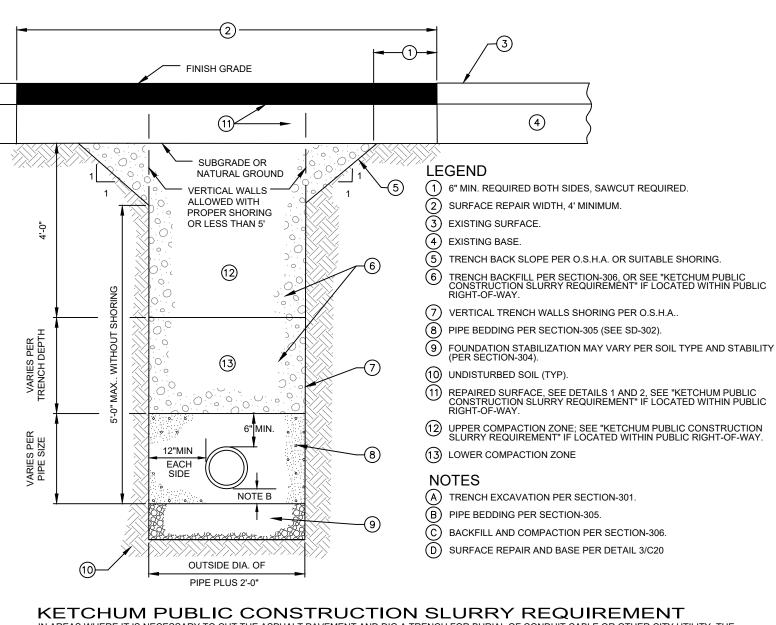
30" DIAMETER CATCH BASIN

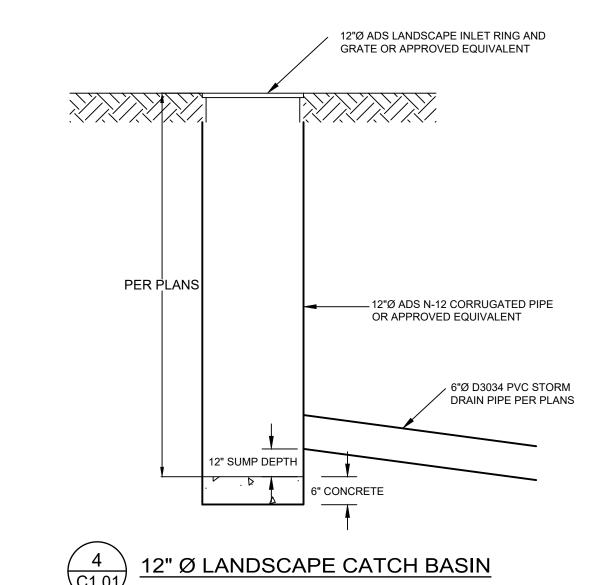
EXCAVATION OR AT LEAST 12" OUTSIDE THE LIMITS OF THE BASE SECTION.

5. PROVIDE A SMOOTH AND LEVEL BEARING SURFACE ON THE BEDDING SURFACE.

TO THE TOP OF THE BEDDING.

-RING & SOLID LID CAST IRON RING & COVER (NO GRATES ALLOWED) GRADE RINGS 2" MIN 24" DIA. ADS N-12 OR CMP/ - 3" DRAIN ROCK PER ISPWC SECTION 801-UNCRUSHED AGGREGATE 12" PIPE FROM CATCH BASIN PERFORATIONS - 40Z. FILTER FABRIC **4**" O.C. 1" WRAP MIRAFI 140N OR DIAMETER APPROVED EQUAL ON ALL SIDES, TOP, & BOTTOM SEAL BOTTOM 3' OF PIPE WITH NO WITH CAP OR PERFORATIONS CONCRETE CLEAN SAND AND GRAVEL NOTE: THE BED SHALL BE EXCAVATED A MINIMUM OF 24" INTO CLEAN SAND AND GRAVEL. IF CLEAN SAND AND GRAVEL IS NOT ENCOUNTERED WITHIN 12 FEET, THE CONTRACTOR SHALL CONTACT THE ENGINEER.





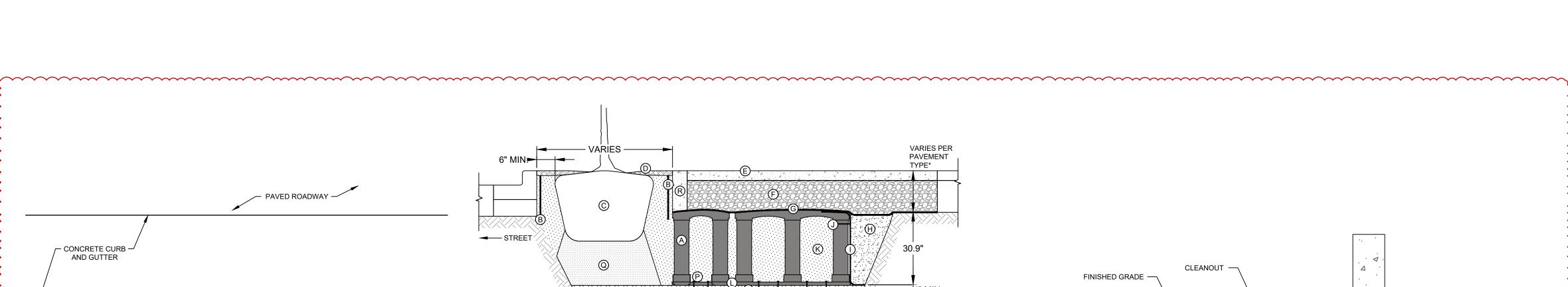
IN AREAS WHERE IT IS NECESSARY TO CUT THE ASPHALT PAVEMENT AND DIG A TRENCH FOR BURIAL OF CONDUIT CABLE OR OTHER CITY UTILITY, THE TRENCH SHALL BE BACKFILLED WITH A LEAN CONCRETE MIX TO THE BOTTOM OF FINISH SURFACE MATERIAL WITH THE FOLLOWING PROPORTIONS OF MATERIALS: COARSE AGGREGATE (%" MINUS)

PORTLAND CEMENT WATER 11 GAL (MAX.

WATER CONTENT IS MAXIMUM AND MAY BE REDUCING DOWNWARD. CARES SHALL BE TAKEN TO ASSURE THAT EXCESS WATER IS NOT PRESENT IN THE MIXING DRUM PRIOR TO CHARGING THE MIXER WITH MATERIALS. THOROUGH MIXING WILL BE REQUIRED PRIOR TO DISCHARGE. NO COMPACTION, VIBRATION OR FINISHING IS REQUIRED. THE LEAN CONCRETE MIX SHALL BE STRUCK OFF AT OR BELOW THE ELEVATION OF THE PLANTMIX SURFACING WITH A SQUARE-NOSE SHOVEL OR SIMILAR HAND TOOL. THE BACKFILL MIX SHALL BE ALLOWED TO SET FOR A MINIMUM OF 2 HOURS BEFORE

THE PERMANENT PLANTMIX SURFACING IS PLACED TO COMPLETE THE TRENCH REPAIR. TEMPORARY PLACEMENT OF ASPHALT COLD MIX SURFACING MAY

BE NECESSARY TO ACCOMMODATE TRAFFIC WITHIN THE FIRST 2 HOURS OF BACKFILL PLACEMENT PRIOR TO COMPLETING THE PERMANENT REPAIR. **TYPICAL TRENCH SECTION** 

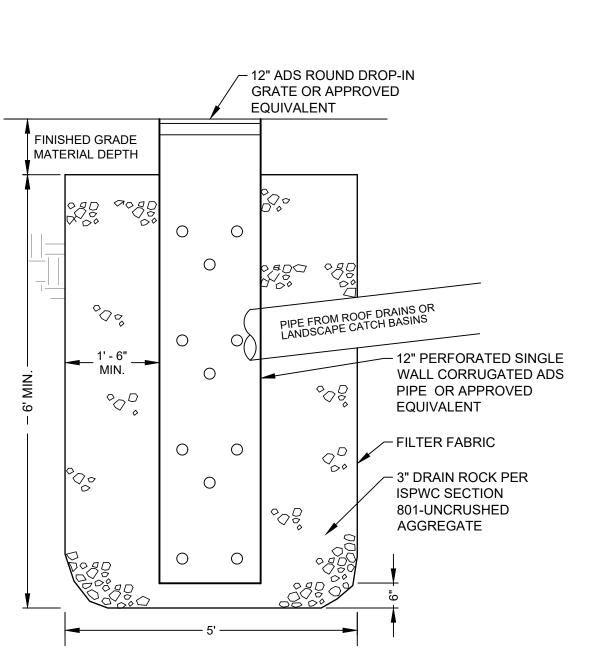


4" ASPHALT

2.6" PAVER ..

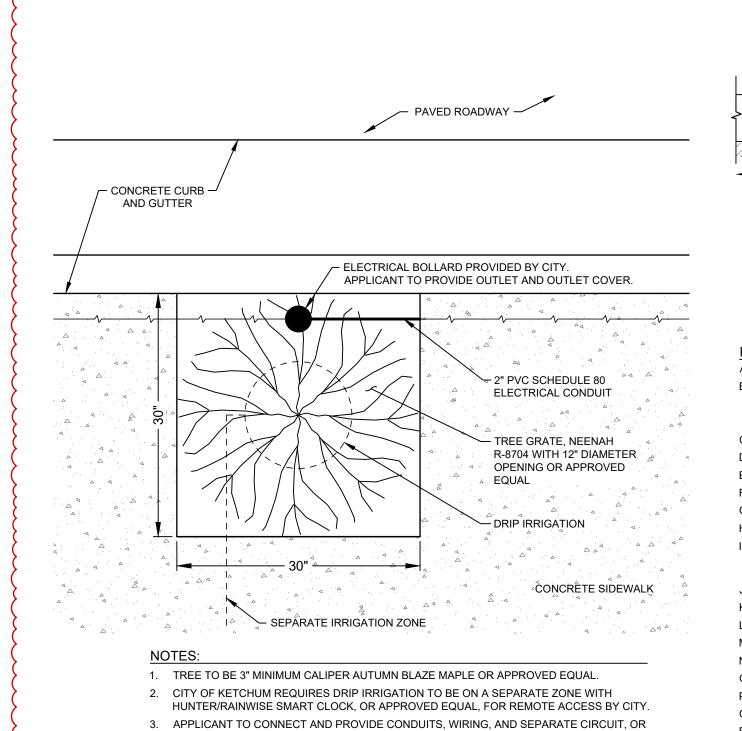
+ 12" AGGREGATE

. + 5" CONCRETE



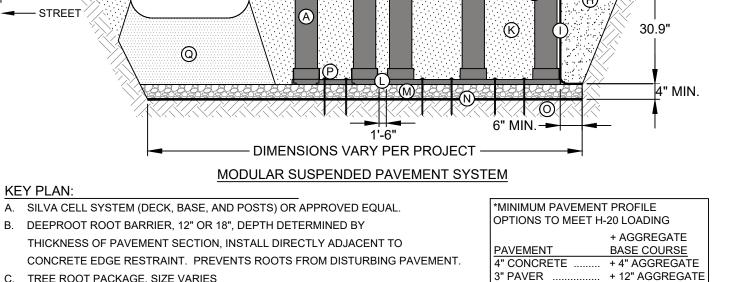
LANDSCAPE DRYWELL

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- TIE TO A CITY CIRCUIT FOR POWER.
- 4. NO DIRECT BURIAL WIRE PERMITTED.
- 5. TREE INSTALLATION TO BE MODULAR SUSPENDED PAVEMENT SYSTEM. SEE TREE WELL SECTION VIEW, DETAIL 2.

### PLAN VIEW



CONCRETE EDGE RESTRAINT. PREVENTS ROOTS FROM DISTURBING PAVEMENT. C. TREE ROOT PACKAGE, SIZE VARIES

TREE OPENING TREATMENT, PER PROJECT SPECIFICATIONS E. SURFACE TREATMENT, PER PROJECT

F. AGGREGATE BASE COURSE, DEPTH VARIES PER PROJECT G. GEOTEXTILE TO KEEP AGGREGATE FROM MIGRATING DOWN THROUGH CELL DECK

TREE WELL DETAILS

H. BACKFILL, PER PROJECT SPECIFICATIONS

GEOGRID TO PROVIDE FOR VERTICAL SEPARATION BETWEEN PLANTING SOILS AND BACKFILL WHILE ALLOWING ROOT PENETRATION INTO ADJACENT SOILS. 6" (150 mm) TOE (OUTWARD FROM BASE) AND 12" (305 mm) EXCESS (OVER TOP

J. CABLE TIE, ATTACHING GEOGRID TO SILVA CELL AT BASE OF UPPER POST FLARE K. PLANTING SOIL, PER PROJECT SPECIFICATIONS, COMPACTED TO 70-80% PROCTOR

L. SILVA CELL BASE SLOPE, 10% MAX

M. 4" (100 mm) MIN AGGREGATE SUB BASE, COMPACTED TO 95% PROCTOR

N. GEOTEXTILE, TO PROVIDE SEPARATION BETWEEN SUBGRADE AND AGGREGATE BASE

O. SUBGRADE, COMPACTED TO 95% PROCTOR P. PIN, PER SILVA CELL SPECIFICATIONS, TO KEEP CELLS IN PLACE DURING CONSTRUCTION

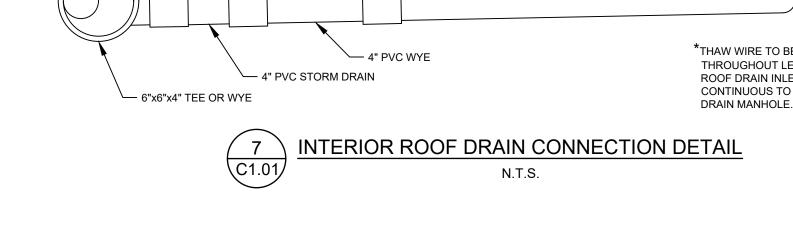
Q. PLANTING SOIL BELOW TREE ROOT PACKAGE, COMPACTED TO 85-90% PROCTOR

R. CONCRETE EDGE RESTRAINT TO STABILIZE EDGE AND PREVENT AGGREGATE MIGRATION INTO TREE OPENING.

### **SECTION VIEW**

1. EXCAVATION SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE HEALTH AND SAFETY REGULATIONS.

2. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. 3. A PROJECT SPECIFIC DETAIL WILL NEED TO BE PROVIDED TO CITY FOR REVIEW AND APPROVAL.



4" 45° PVC ELBOW — S \*THAW WIRE TO BE INSTALLED INSIDE AND THROUGHOUT LENGTH OF PIPE FROM ROOF DRAIN INLET OR RAIN GUTTER AND CONTINUOUS TO CATCH BASIN / STORM

INTERIOR ROOF DRAIN CONNECTION DETAIL

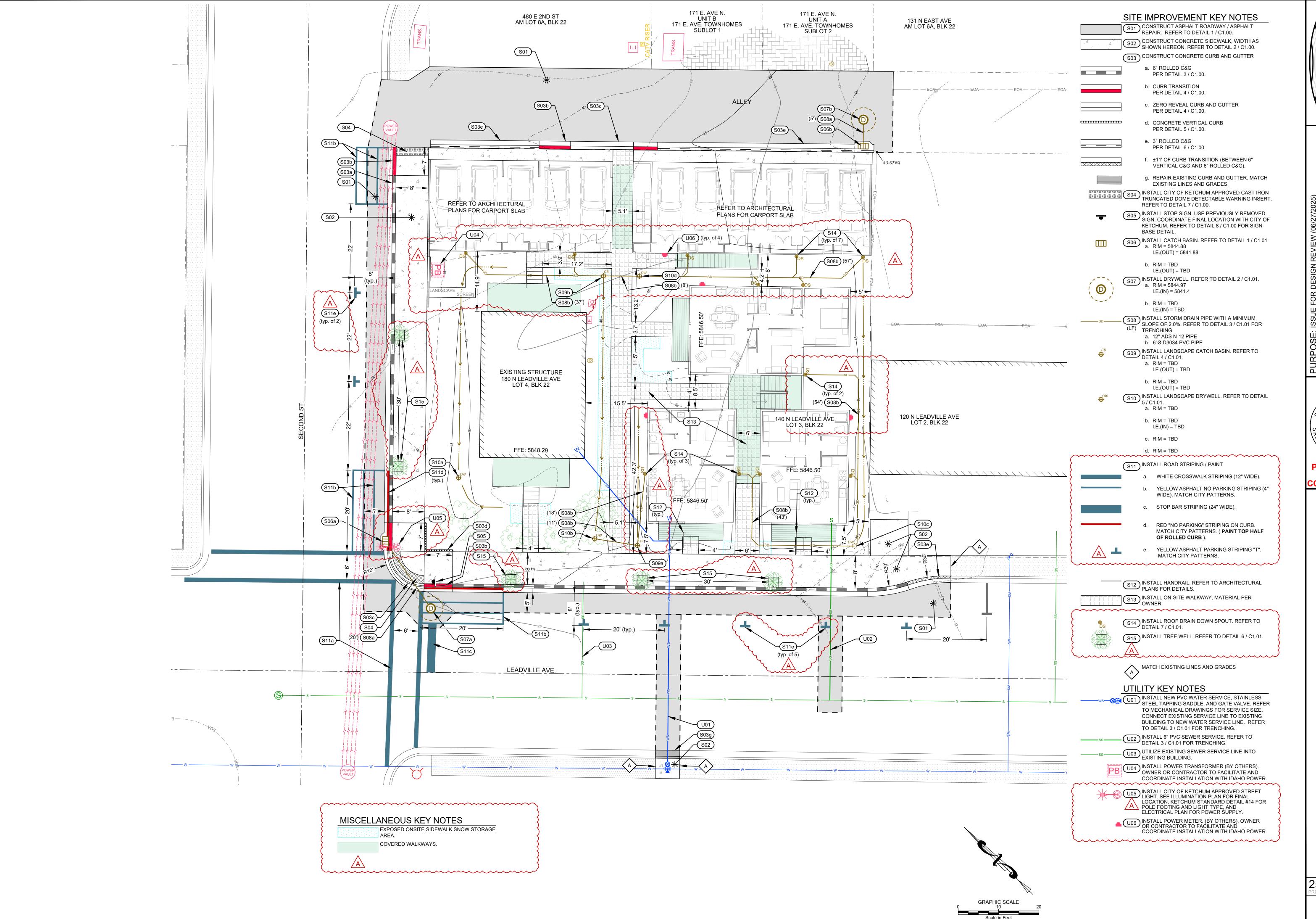
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**PRELIMINARY CONSTRUCTION** 

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### **Attachment C**

**Application Materials:** 

Lot Consolidation Preliminary Plat Application & Supplemental Materials



### City of Ketchum Planning & Building

| OFFICIAL USE ONLY           |
|-----------------------------|
| Application Number: P25-039 |
| Date Received: 7/22/25      |
| By: GB                      |
| Fee Paid: \$3900            |
| Approved Date:              |
| Ву:                         |

### **Subdivision Application-Preliminary Plat**

Submit completed application and documentation to <a href="mailto:planningandzoning@ketchumidaho.org">planningandzoning@ketchumidaho.org</a> Or hand deliver to Ketchum City Hall, 191 5th St. W. Ketchum, ID If you have questions, please contact the Planning and Building Department at (208) 726-7801. To view the Development Standards, visit the City website at: <a href="www.ketchumidaho.org">www.ketchumidaho.org</a> and click on Municipal Code. You will be contacted and invoiced once your application package is complete.

| APPLICANT   | INFORMATION   |                  |
|---|---|------------------|
| Name of Proposed Subdivision: 180 Leadville Subdivision   |   |                  |
| Owner of Record: ARCH Community Housing Trust, Inc.   |   |                  |
| Address of Owner: POB 356,9 Hailey, ID 83333  |   |                  |
| Representative of Owner: Opal Engineering/Galena-<br>Benchmark Engineering  | Phone #: 208 720-9608<br>208-726-9512                         |                  |
| Email: sam@opal-engineering.com / dave@galena-benchmar  | k.com   |                  |
| Legal Description: Ketchum Townsite: Blk 22, Lots 3 & 4   | RPK RPK00000220040 an   | d RPK00000220030 |
| Street Address:140 and 180 Leadville Avenue   |   |                  |
| SUBDIVISION   | INFORMATION   |                  |
| Number of Lots/Parcels: 2   |   |                  |
| Total Land Area:. 0.25 acre   |   |                  |
| Current Zoning District: CC - Community Core  |   |                  |
| Proposed Zoning District: CC – Community Core   |   |                  |
| Overlay District:   |   |                  |
| TYPE OF S   | UBDIVISION  |                  |
| Condominium □ Land X  | PUD □   | Townhouse □      |
| Adjacent land in same ownership in acres or square feet: no   |   |                  |
| Easements to be dedicated on the final plat:<br>No new easements.   |   |                  |
| Briefly describe the improvements to be installed prior to fin 10 new units of workforce housing and 11 carports.   | al plat approval:   |                  |
| ADDITIONAL  | INFORMATION   |                  |
| All lighting must be in compliance with the City of Ketchum's One (1) copy of Articles of Incorporation and By-Laws of Hom One (1) copy of current title report and owner's recorded do One (1) copy of the preliminary plat All files should be submitted in an electronic format to plann | eowners Associations and/or Co<br>eed to the subject property |                  |

Applicant agrees in the event of a dispute concerning the interpretation or enforcement of the Subdivision Application in which the City of Ketchum is the prevailing party to pay reasonable attorney's fees and costs, including fees and costs of appeal for the City of Ketchum. Applicant agrees to observe all City ordinances, laws and conditions imposed. Applicant agrees to defend, hold harmless and indemnify the City of Ketchum, city officials, agents and employees from and for any and all losses, claims, actions, judgments for damages, or injury to persons or property, and losses and expenses caused or incurred by Applicant, its servants, agents, employees, guests and business invitees and not caused by or arising out of the tortuous conduct of city or its officials, agents or employees. Applicant certifies that s/he has read and examined this application and that all information contained herein is true and correct.

| Michelle Griffith | June 13 2025 |
|-------------------|--------------|
|                   |              |

**Instrument # 706746** 

HAILEY, BLAINE, IDAHO
06-21-2024 3:57:46 PM No. of Pages: 3
Recorded for: TITLEONE - TWIN FALLS
STEPHEN MCDOUGALL GRAHAM Fee: \$15.00
Ex-Officio Recorder Deputy: GWB
Electronically Recorded by Simplifile

### **Quitclaim Deed**

For value received, 180 Leadville LLC, an Idao limited liability company

Does hereby convey, release, remise, and forever quit claim unto

Arch Community Housing, Inc., a non-profit corporation

whose current address is PO Box 1292, Ketchum, ID 83340,

the following described premises:

See Exhibit A, attached hereto and incorporated herein.

To have and to hold the said premises, unto the said grantees, heirs and assigns forever.

Remainder of this page intentionally left blank.

THIS INSTRUMENT FILED FOR RECORD BY SUN VALLEY TITLE AS AN ACCOMMODATION ONLY. IT HAS NOT BEEN EXAMINED AS TO ITS EXECUTION OR AS TO ITS EFFECT UPON THE TITLE.

| 180 Leadville LLC, an Idaho limited liability company  |
|--|
| * MM ena   |
| By: Robert Reniers, Member   |
| - Elizalite Rehur  |
| By: Elizabeth Reniers, Member  |
| State of 10Alto County of BLAINE, ss.  |
| This record was acknowledged before me on by Robert Reniers and Elizabeth Reniers as members of 180 Leadville LLC. |
|  |
| Notary Public My Commission Expires: 9119174.  |
|  |

Date: 06/17/2024

ALI WARNER COMMISSION #34720 NOTARY PUBLIC STATE OF IDAHO

# **EXHIBIT A**LEGAL DESCRIPTION OF THE PREMISES

Lots 3 and 4, Block 22 of the VILLAGE OF KETCHUM, BLAINE COUNTY, IDAHO, according to the official plat thereof, recorded as Instrument No. 302967, records of Blaine County, Idaho.



# CLTA GUARANTEE FORM NO. 12 LOT BOOK Issued By TITLE RESOURCES GUARANTY COMPANY

SUBJECT TO THE EXCLUSIONS FROM COVERAGE, AND THE GUARANTEE CONDITIONS ATTACHED HERETO AND MADE A PART OF THIS GUARANTEE,

## **TITLE RESOURCES GUARANTY COMPANY**

a corporation, herein called the Company,

#### **GUARANTEES**

the Assured named in Schedule A against loss not exceeding the liability amount stated in Schedule A sustained by the Assured by reason of any incorrectness in the set forth in Schedule A.

Authorized Issuing Agent: TITLEONE

**TITLE RESOURCES GUARANTY COMPANY** 

J. Soott McCall, President/CEO

By:

### **EXCLUSIONS FROM COVERAGE**

Except as expressly provided by the assurances in Schedule A, the Company assumes no liability for loss or damage by reason of the following:

- (a) Defects, liens, encumbrances, adverse claims or other matters affecting the title to any property beyond the lines of the Land.
- (b) Defects, liens, encumbrances, adverse claims or other matters, whether or not shown by the Public Records (1) that are created, suffered, assumed or agreed to by one or more of the Assureds; or (2) that result in no loss to the Assured.
- (c) Defects, liens, encumbrances, adverse claims or other matters not shown by the Public Records.
- (d) The identity of any party shown or referred to in any of the schedules of this Guarantee.
- (e) The validity, legal effect or priority of any matter shown or referred to in any of the schedules of this Guarantee.
- (f) (1) Taxes or assessments of any taxing authority that levies taxes or assessments on real property; or, (2) proceedings by a public agency which may result in taxes or assessments, or notices of such proceedings, whether or not the matters excluded under (1) or (2) are shown by the records of the taxing authority or by the Public Records.
- (g) (1) Unpatented mining claims; (2) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (3) water rights, claims or title to water, whether or not the matters excluded under (1), (2) or (3) are shown by the Public Records.

### **GUARANTEE CONDITIONS**

1. Definition of Terms.

The following terms when used in the Guarantee mean:

- (a) the "Assured": the party or parties named as the Assured in Schedule A, or on a supplemental writing executed by the Company.
- (b) "Land": the Land described or referred to in Schedule A, and improvements affixed thereto which by law constitute real property. The term "Land" does not include any property beyond the lines of the area described or referred to in Schedule A, nor any right, title, interest, estate or easement in abutting streets, roads, avenues, alleys, lanes, ways or waterways.
- (c) "Mortgage": mortgage, deed of trust, trust deed, or other security instrument.
- (d) "Public Records": those records established under California statutes at Date of Guarantee for the purpose of imparting constructive notice of matters relating to real property to purchasers for value and without knowledge.
- (e) "Date of Guarantee": the Date of Guarantee set forth in Schedule A.
- (f) "Amount of Liability": the Amount of Liability as stated in Schedule A.
- 2. Notice of Claim to be Given by Assured.

The Assured shall notify the Company promptly in writing in case knowledge shall come to the Assured of any assertion of facts, or claim of title or interest that is contrary to the assurances set forth in Schedule A Schedule A and that might cause loss or damage for which the Company may be liable under this Guarantee. If prompt notice shall not be given to the Company, then all liability of the Company shall terminate with regard to the matter or matters for which prompt notice is required; provided, however, that failure to notify the Company shall in no case prejudice the rights of the Assured under this Guarantee unless the Company shall be prejudiced by the failure and then only to the extent of the prejudice.

3. No Duty to Defend or Prosecute.

The Company shall have no duty to defend or prosecute any action or proceeding to which the Assured is a party, notwithstanding the nature of any allegation in such action or proceeding.

4. Company's Option to Defend or Prosecute Actions; Duty of Assured to Cooperate.

Even though the Company has no duty to defend or prosecute as set forth in Paragraph 3 above:

- (a) The Company shall have the right, at its sole option and cost, to institute and prosecute any action or proceeding, interpose a defense, as limited in Paragraph 4 (b), or to do any other act which in its opinion may be necessary or desirable to establish the correctness of the assurances set forth in Schedule A or to prevent or reduce loss or damage to the Assured. The Company may take any appropriate action under the terms of this Guarantee, whether or not it shall be liable hereunder, and shall not thereby concede liability or waive any provision of this Guarantee. If the Company shall exercise its rights under this paragraph, it shall do so diligently.
- (b) If the Company elects to exercise its options as stated in Paragraph 4(a) the Company shall have the right to select counsel of its choice (subject to the right of the Assured to object for reasonable cause) to represent the Assured and shall not be liable for and will not pay the fees of any other counsel, nor will the Company pay any fees, costs or expenses incurred by an Assured in the defense of those causes of action which allege matters not covered by this Guarantee.
- (c) Whenever the Company shall have brought an action or interposed a defense as permitted by the provisions of this Guarantee, the Company may pursue any litigation to final determination by a court of competent jurisdiction and expressly reserves the right, in its sole discretion, to appeal from an adverse judgment or order
- (d) In all cases where this Guarantee permits the Company to prosecute or provide for the defense of any action or proceeding, the Assured shall secure to the Company the right to so prosecute or provide for the defense of any action or proceeding, and all appeals therein, and permit the Company to use, at its option, the name of the Assured for this purpose. Whenever requested by the Company, the Assured, at the Company's expense, shall give the Company all reasonable aid in any action or proceeding, securing evidence, obtaining witnesses, prosecuting or defending the action or lawful act which in the opinion of the Company may be necessary or desirable to establish the correctness of the assurances set forth in Schedule A or to prevent or reduce loss or damage to the Assured. If the Company is prejudiced by the failure of the Assured to furnish the required cooperation, the Company's obligations to the Assured under the Guarantee shall terminate.

- 5. Proof of Loss or Damage.
  - (a) In the event the Company is unable to determine the amount of loss or damage, the Company may, at its option, require as a condition of payment that the Assured furnish a signed proof of loss. The proof of loss must describe the defect, lien, encumbrance, or other matter that constitutes the basis of loss or damage and shall state, to the extent possible, the basis of calculating the amount of the loss or damage.
  - (b) In addition, the Assured may reasonably be required to submit to examination under oath by any authorized representative of the Company and shall produce for examination, inspection and copying, at such reasonable times and places as may be designated by any authorized representative of the Company, all records, books, ledgers, checks, correspondence and memoranda, whether bearing a date before or after Date of Guarantee, which reasonably pertain to the loss or damage. Further, if requested by any authorized representative of the Company, the Assured shall grant its permission, in writing, for any authorized representative of the Company to examine, inspect and copy all records, books, ledgers, checks, correspondence and memoranda in the custody or control of a third party, which reasonably pertain to the loss or damage. All information designated as confidential by the Assured provided to the Company pursuant to this paragraph shall not be disclosed to others unless, in the reasonable judgment of the Company, it is necessary in the administration of the claim. Failure of the Assured to submit for examination under oath, produce other reasonably requested information or grant permission to secure reasonably necessary information from third parties as required in the above paragraph, unless prohibited by law or governmental regulation, shall terminate any liability of the Company under this Guarantee to the Assured for that claim.
- 6. Options to Pay or Otherwise Settle Claims: Termination of Liability.
  - In case of a claim under this Guarantee, the Company shall have the following additional options:
  - (a) To pay or tender payment of the Amount of Liability together with any costs, attorneys' fees, and expenses incurred by the Assured that were authorized by the Company up to the time of payment or tender of payment and that the Company is obligated to pay.
  - (b) To pay or otherwise settle with the Assured any claim assured against under this Guarantee. In addition, the Company will pay any costs, attorneys' fees, and expenses incurred by the Assured that were authorized by the Company up to the time of payment or tender of payment and that that the Company is obligated to pay; or
  - (c) To pay or otherwise settle with other parties for the loss or damage provided for under this Guarantee, together with any costs, attorneys' fees, and expenses incurred by the Assured that were authorized by the Company up to the time of payment and that the Company is obligated to pay.

Upon the exercise by the Company of either of the options provided for in 6 (a), (b) or (c) of this paragraph the Company's obligations to the Assured under this Guarantee for the claimed loss or damage, other than the payments required to be made, shall terminate, including any duty to continue any and all litigation initiated by the Company pursuant to Paragraph 4.

- 7. Limitation of Liability.
  - (a) This Guarantee is a contract of Indemnity against actual monetary loss or damage sustained or incurred by the Assured claimant who has suffered loss or damage by reason of reliance upon the assurances set forth in Schedule A and only to the extent herein described, and subject to the Exclusions From Coverage of this Guarantee.
  - (b) If the Company, or the Assured under the direction of the Company at the Company's expense, removes the alleged defect, lien or, encumbrance or cures any other matter assured against by this Guarantee in a reasonably diligent manner by any method, including litigation and the completion of any appeals therefrom, it shall have fully performed its obligations with respect to that matter and shall not be liable for any loss or damage caused thereby.
  - (c) In the event of any litigation by the Company or with the Company's consent, the Company shall have no liability for loss or damage until there has been a final determination by a court of competent jurisdiction, and disposition of all appeals therefrom.
  - (d) The Company shall not be liable for loss or damage to the Assured for liability voluntarily assumed by the Assured in settling any claim or suit without the prior written consent of the Company.
- 8. Reduction of Liability or Termination of Liability.
  - All payments under this Guarantee, except payments made for costs, attorneys' fees and expenses pursuant to Paragraph 4 shall reduce the Amount of Liability under this Guarantee pro tanto.

### 9. Payment of Loss.

- (a) No payment shall be made without producing this Guarantee for endorsement of the payment unless the Guarantee has been lost or destroyed, in which case proof of loss or destruction shall be furnished to the satisfaction of the Company.
- (b) When liability and the extent of loss or damage has been definitely fixed in accordance with these Conditions, the loss or damage shall be payable within thirty (30) days thereafter.

### 10. Subrogation Upon Payment or Settlement.

Whenever the Company shall have settled and paid a claim under this Guarantee, all right of subrogation shall vest in the Company unaffected by any act of the Assured claimant.

The Company shall be subrogated to and be entitled to all rights and remedies which the Assured would have had against any person or property in respect to the claim had this Guarantee not been issued. If requested by the Company, the Assured shall transfer to the Company all rights and remedies against any person or property necessary in order to perfect this right of subrogation. The Assured shall permit the Company to sue, compromise or settle in the name of the Assured and to use the name of the Assured in any transaction or litigation involving these rights or remedies.

If a payment on account of a claim does not fully cover the loss of the Assured the Company shall be subrogated to all rights and remedies of the Assured after the Assured shall have recovered its principal, interest, and costs of collection.

#### 11. Arbitration.

Either the Company or the Assured may demand that the claim or controversy shall be submitted to arbitration pursuant to the Title Insurance Arbitration Rules of the American Land Title Association ("Rules"). Except as provided in the Rules, there shall be no joinder or consolidation with claims or controversies of other persons. Arbitrable matters may include, but are not limited to, any controversy or claim between the Company and the Assured arising out of or relating to this Guarantee, any service of the Company in connection with its issuance or the breach of a Guarantee provision, or to any other controversy or claim arising out of the transaction giving rise to this Guarantee. All arbitrable matters when the amount of liability is \$2,000,000 or less shall be arbitrated at the option of either the Company or the Assured. All arbitrable matters when the amount of liability is in excess of \$2,000,000 shall be arbitrated only when agreed to by both the Company and the Assured. Arbitration pursuant to this Guarantee and under the Rules shall be binding upon the parties. Judgment upon the award rendered by the Arbitrator(s) may be entered in any court of competent jurisdiction.

# 12. Liability Limited to This Guarantee; Guarantee Entire Contract.

- (a) This Guarantee together with all endorsements, if any, attached hereto by the Company is the entire Guarantee and contract between the Assured and the Company. In interpreting any provision of this Guarantee, this Guarantee shall be construed as a whole.
- (b) Any claim of loss or damage, whether or not based on negligence, or any action asserting such claim, shall be restricted to this Guarantee.
- (c) No amendment of or endorsement to this Guarantee can be made except by a writing endorsed hereon or attached hereto signed by either the President, a Vice President, the Secretary, an Assistant Secretary, or validating officer or authorized signatory of the Company.

### 13. Severability

In the event any provision of this Guarantee, in whole or in part, is held invalid or unenforceable under applicable law, the Guarantee shall be deemed not to include that provision or such part held to be invalid, but all other provisions shall remain in full force and effect.

# 14. Choice of Law; Forum

(a) Choice of Law: The Assured acknowledges the Company has underwritten the risks covered by this Guarantee and determined the premium charged therefor in reliance upon the law affecting interests in real property and applicable to the interpretation, rights, remedies, or enforcement of Guaranties of the jurisdiction where the Land is located.

Therefore, the court or an arbitrator shall apply the law of the jurisdiction where the Land is located to determine the validity of claims that are adverse to the Assured and to interpret and enforce the terms of this Guarantee. In neither case shall the court or arbitrator apply its conflicts of law principles to determine the applicable law.

(b) Choice of Forum: Any litigation or other proceeding brought by the Assured against the Company must be filed only in a state or federal court within the United States of America or its territories having appropriate jurisdiction.

# 15. Notices, Where Sent.

All notices required to be given the Company and any statement in writing required to be furnished the Company shall include the number of this Guarantee and shall be addressed to the Company at 8111 LBJ Freeway, Ste. 1200, Dallas, TX 75251, or claims@titleresources.com.

# LOT BOOK GUARANTEE Issued By Title Resources Guaranty Company

#### **SCHEDULE A**

File No. 25557243 State: ID County: Blaine

 Guarantee No.
 Liability
 Date of Guarantee
 Fee

 3581-LBG-25557243
 \$1,000.00
 June 17, 2025 at 7:30 a.m.
 \$150.00

#### Name of Assured:

**ARCH Community Housing Trust** 

### The assurances referred to on the face page hereof are:

 That, according to the Company's property records relative to the following described land (but without examination of those Company records maintained and indexed by name):

Lots 3 and 4, Block 22 of the VILLAGE OF KETCHUM, BLAINE COUNTY, IDAHO, according to the official plat thereof, recorded as Instrument No. 302967, records of Blaine County, Idaho.

2. The last recorded instrument purporting to transfer title to said land is:

Deed Type: Quit Claim Deed

Grantors: 180 Leadville LLC, an Idaho limited liability company

Grantees: ARCH Community Housing Trust, Inc., a non-profit corporation

Recorded Date: June 21, 2024

Instrument: 706746 Click here to view

- 3. There are no mortgages or deeds of trust which purport to affect title to said land, other than those shown below under Exceptions.
- 4. There are no (homesteads, agreements to convey, attachments, notices of non-responsibility, notices of completion, tax deeds) which purport to affect title to said land, other than shown below under Exceptions.
- 5. No guarantee is made regarding (a) matters affecting the beneficial interest of any mortgage or deed of trust which may be shown herein as an exception, or (b) other matters which may affect any such mortgage or deed of trust.
- 6. No guarantee is made regarding any liens, claims of liens, defects or encumbrances other than those specifically provided for above, and, if information was requested by reference to a street address, no guarantee is made that said land is the same as said address.

## **EXCEPTIONS:**

1. NOTE: According to the available records, the purported address of the land referenced herein is:

140 N Leadville Ave, Ketchum, ID 83340 (Lot 3)

180 N Leadville Ave, Ketchum, ID 83340 (Lot 4)

2. Taxes, including any assessments collected therewith, for the year 2024 for which the first installment is paid, and the second installment is due and payable on or before June 20, 2025.

Parcel Number: RPK00000220030
Original Amount: \$3,750.12

Lot 3

3. Taxes, including any assessments collected therewith, for the year 2024 for which the first installment is paid, and the second installment is due and payable on or before June 20, 2025.

Parcel Number: RPK00000220040
Original Amount: \$4,040.90

Lot 4

- 4. Taxes, including any assessments collected therewith, for the year 2025 which are a lien not yet due and payable.
- 5. The Land described herein is located within the boundaries of the City of Ketchum and is subject to any assessments levied thereby.
- 6. Easements, reservations, restrictions, and dedications as shown on the official plat of Ketchum Townsite.
- 7. All matters, and any rights, easements, interests or claims as disclosed by a Record of Survey recorded June 30, 2022 as Instrument No. 694711, records of Blaine County, Idaho.

Sun Valley Title By:

Nick Busdon, Authorized Signatory

# JUDGMENT AND TAX LIEN GUARANTEE

# Issued By Title Resources Guaranty Company

## **SCHEDULE A**

Amount of Liability: \$1,000.00

Fee Amount: \$0.00

Guarantee No.: 3581-LBG-25557243

Name of Assured: ARCH Community Housing Trust

Date of Guarantee: June 17, 2025

That, according to the indices of the County Recorder of Blaine County, State of ID, for a period of 10 years immediately prior to the date hereof, there are no

- \* Federal Tax Liens
- \* Abstracts of Judgment, or
- \* Certificates of State Tax Liens

filed, or recorded against the herein named parties, other than those for which a release appears in said indices and other than those shown under Exceptions.

The parties referred to in this guarantee are as follows:

ARCH Community Housing Trust, Inc., a non-profit corporation

Sun Valley Title By:

Nick Busdon, Authorized Signatory

| File No. 255 | 57243 |
|--------------|-------|
|--------------|-------|

**SCHEDULE B** 

Exceptions:

NONE

# Attachment D

Application Materials: Lot Consolidation Preliminary Plat

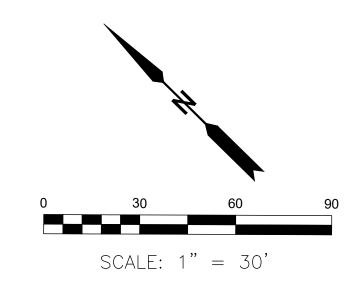
# A PRELIMINARY PLAT SHOWING:

# 180 LEADVILLE SUBDIVISION

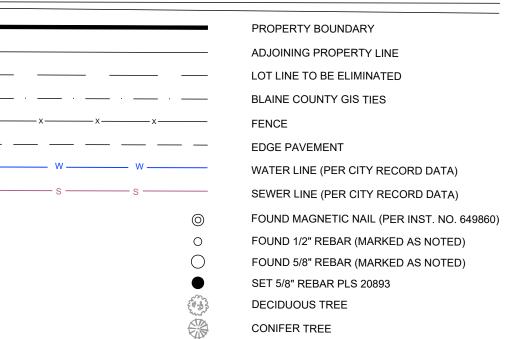
WHEREIN THE BOUNDARY COMMON TO KETCHUM TOWNSITE, BLOCK 22, LOTS 3 & 4 IS ELIMINATED, CREATING A ONE LOT SUBDIVISION.

LOCATED WITHIN: SECTION 18, TOWNSHIP 4 NORTH, RANGE 18 EAST, B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO

**JUNE 2025** 



# **LEGEND**



# NOTES/SURVEYOR'S NARRATIVE:

- 1. THE PURPOSE OF THIS PLAT IS TO COMBINE LOTS 3 & 4 OF KETCHUM VILLAGE, BLOCK 22. ALL FOUND MONUMENTS WERE ACCEPTED AS EITHER ORIGINAL CORNERS, OR REPLACEMENTS OF ORIGINAL CORNERS. A 5/8" REBAR WITH NO CAP WAS FOUND AT THE INTERSECTION OF SECOND STREET AND LEADVILLE AVENUE. SAID REBAR WAS REMOVED DURING ROAD CONSTRUCTION AND RESET IN ITS ORIGINAL POSITION.
- 2. REFERENCES (RECORDS OF BLAINE COUNTY, IDAHO):
  - a. PLAT OF VILLAGE OF KETCHUM: INST. NO. 302967.
  - b. RECORD OF SURVEY OF KETCHUM TOWNSITE: BLOCK 22, LOTS 3 & 4, INST. NO. 694711.
  - c. PLAT OF KETCHUM TOWNSITE: BLOCK 22: LOTS 5B, 6A, 7A & 8A, INST. NO. 588272.
  - d. QUITCLAIM DEED: INST. NO. 706746.
- 3. DISTANCES SHOWN ARE MEASURED. REFER TO THE ABOVE REFERENCED DOCUMENTS FOR PREVIOUS RECORD DATA.
- 4. CONTOUR INTERVAL: 1' CONTOURS IN AREAS OF DENSE VEGETATION MAY DEVIATE FROM TRUE ELEVATION BY ONE HALF THE HEIGHT OF THE VEGETATION. DATE OF LIDAR FLIGHT FOR CONTOURS: 2017. ELEVATIONS BASED ON NAVD 88 DATUM.
- 5. THE CURRENT ZONING DISTRICT FOR THE WITHIN PLAT IS CC, COMMUNITY CORE.
- 6. WATER AND SEWER LOCATIONS PER KETCHUM UTILITY RECORDS AND ARE APPROXIMATE

# HEALTH CERTIFICATE

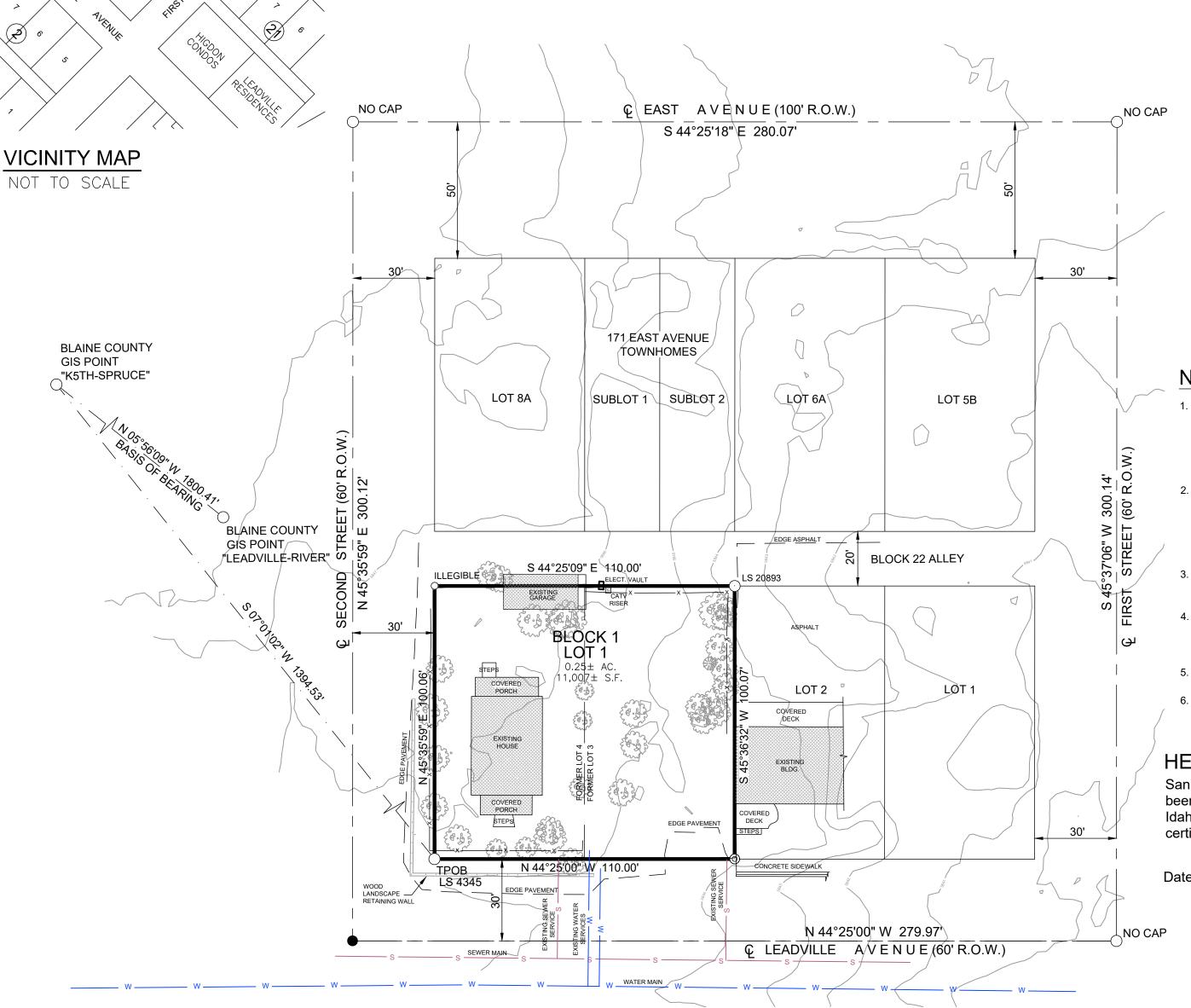
Sanitary restrictions as required by Idaho Code Title 50, Chapter 13, have been satisfied. Sanitary restrictions may be reimposed, in accordance with Idaho Code Title 50, Chapter 13, Section 50-1326, by the issuance of a certificate of disapproval.

South Central Public Health District, REHS

A PRELIMINARY PLAT SHOWING 180 LEADVILLE SUBDIVISION

GALENA-BENCHMARK ENGINEERING KETCHUM, IDAHO

SHEET 1 OF 3 Job No. 25155



OWNER OF RECORD

ARCH COMMUNITY HOUSING TRUST P.O. BOX 3569 **HAILEY, ID 83333** 

# A PRELIMINARY PLAT SHOWING:

# 180 LEADVILLE SUBDIVISION

| SURVEYOR'S CERTIFICATE   |
|--|
| I, Robert O. Breier, a duly Registered Professional Land Surveyor in the State of Idaho, do hereby certify that this is a true and accurate map of the land surveyed under my direct supervision in accordance with the State of Idaho Code relating to plats and surveys. |
| CENSE STORE  |
| ROBERT O. BREIER, P.L.S. #20893  |
| COUNTY SURVEYOR'S APPROVAL   |
| This is to certify that I, SAM YOUNG, County Surveyor for Blaine County, Idaho, have checked the foregoing plat and computations for making the same and have determined that they comply with the laws of the State of Idaho relating thereto.                            |
| BLAINE COUNTY SURVEYOR DATE  |
|  |
| BLAINE COUNTY TREASURER'S CERTIFICATE  |
| On this day of, 20, the foregoing plat was approved and accepted by the Blaine County Treasurer, Blaine County, Idaho.   |
| By:  |
|  |

BLAINE COUNTY RECORDER'S CERTIFICATE

| KETCHUM CITY COUNCIL CERTIFICATE  |
|---|
| I, the undersigned, City Clerk in and for the City of Ketchum, Blaine County, Idaho do hereby certify that at a regular meeting of the City Council held on the day of, 2025, this plat was duly accepted and approved. |

# CITY ENGINEER'S CERTIFICATE

| I, the undersigned, City Engineer in and for the City of | of Ketchum, Blaine County, Idaho do hereby approve this |
|--|---|
| plat on this day of                                      | , 2025, and certify that it is in accordance with the   |
| City of Ketchum subdivision ordinance.                   |   |

| ROBYN | MATTISON. | City Engineer |
|-------|-----------|---------------|

TRENT DONAT, City Clerk

# CITY PLANNER'S CERTIFICATE

I, the undersigned, Planner in and for the City of Ketchum, Blaine County, Idaho do hereby approve this plat on this \_\_\_\_ day of \_\_\_\_\_\_, 2025, and certify that it is in accordance with the City of Ketchum subdivision ordinance.

A PRELIMINARY PLAT SHOWING 180 LEADVILLE SUBDIVISION

GALENA-BENCHMARK ENGINEERING KETCHUM, IDAHO

SHEET 3 OF 3 Job No. 25155

# A PRELIMINARY PLAT SHOWING:

# 180 LEADVILLE SUBDIVISION

# OWNER'S CERTIFICATE

THIS IS TO CERTIFY that ARCH COMMUNITY HOUSING TRUST, INC., an Idaho non-profit corporation is the owner in fee simple of Real Property described as follows:

A parcel of land located within Section 18, Township 4 North, Range 18 East, Boise Meridian, Ketchum, Idaho, more particularly described as follows:

Lots 3 & 4, of BLOCK 22, THE VILLAGE OF KETCHUM, according to the official plat thereof, recorded as Instrument No. 302967, records of Blaine County, Idaho.

Pursuant to Idaho Code 50-1334, the undersigned, as owner, does hereby state that the lot described in this plat is eligible to receive water service from the Ketchum water department and they have agreed in writing to serve the lot shown on this plat.

The land within this plat is not within an irrigation district as defined in Idaho Code 31-3905, and the requirements of I.C. 31-3805 are not applicable.

The easements shown hereon are not dedicated to the public, but the right to use said easements for the intended purposes is hereby reserved. No structures other than for such utility and other designated uses are to be erected within the lines of said easements.

The undersigned hereby certify, to the extent required, the notification and/or approval of the foregoing plat by any holders of recorded security interest in and to the real property described above.

It is the intention of the undersigned to, and they do hereby include said land in this plat.

IN WITNESS WHEREOF, we have hereunto set our hands.

ARCH COMMUNITY TRUST, INC.

| By:         |        |        |
|-------------|--------|--------|
|             |        |        |
| Its:        |        |        |
| Signed this | day of | , 20 . |

# ACKNOWLEDGMENT STATE OF IDAHO

# COUNTY OF BLAINE

| me, a Notary Public in and for said state,                                      | , in the year of 20, before personally appeared own or identified to me (or proved to me), to |
|---|---|
| be the  | of ARCH Community Trust, Inc., an own or identified to me to be the entity whose              |
| IN WITNESS WHEREOF, I have hereun year in this certificate first above written. | to set my hand and official seal the day and  |
|   |   |
| Notary Public   |   |
| Residing at:  |   |
| Commission Expires:   |   |

A PRELIMINARY PLAT SHOWING 180 LEADVILLE SUBDIVISION

GALENA-BENCHMARK ENGINEERING KETCHUM, IDAHO

SHEET 2 OF 3 Job No. 25155

# **Attachment E1**

Staff Analysis:

CC-2 Zoning and Dimensional Standards Evaluation



# 140 & 180 N LEADVILLE AVE ARCH WORKFORCE HOUSING PROJECT COMPLIANCE WITH ZONING REGULATIONS

| 17.12.020 – District Use Matrix                                   | Conformance |
|---|-------------|
| Zone District: Mixed-Use Subdistrict of the Community Core (CC-2) | YES         |

**Staff Analysis:** Lot 4 at 180 N Leadville Ave is developed with an existing single-family home that is designated as a historic structure and listed on the city's Historic Building/Site List. The Planning and Building Department issued a building permit to rehabilitate the existing historic home in February of 2025. Pursuant to Ketchum Municipal Code ("KMC") §17.20.050, "Normal repair and maintenance of structures on the historic building/site list is permitted." The existing detached garage that encroaches into the alley is proposed to be demolished. The remodel of the existing historic home was issued a Certificate of Occupancy on October 30, 2025. One-family dwellings are not permitted in the CC-2 Zone and the historic home is an existing nonconforming use.

The project proposes to develop 10 new multiple-family dwelling units, which are permitted in the CC-2 Zone pursuant to KMC §17.12.020.

| 17.12.040 – Dimensional Standards. CC District Matrix | Conformance |
|---|-------------|
| Minimum Lot Size                                      | YES         |

## Staff Analysis:

Required: 5,500 square feet

Pursuant to the supplementary lot area regulations specified in KMC §17.128.010.A, "Where an individual lot was held in separate ownership from adjoining properties or was platted in a recorded subdivision approved by the City Council prior to April 21, 1966, or was in such a condition at the time the lot was subsequently annexed to the City, or was of legal area and dimensions when held in separate ownership from adjoining properties or when platted in a recorded subdivision, such a lot may be occupied according to the permitted uses provided for the district in which the lot is located, provided the proposed uses, building construction and all other regulations in regard to setbacks, supplemental yard regulations and parking areas are strictly adhered to and complied with."

Proposed Consolidated Lot (180 Leadville Subdivision: Block 1: Lot 1) Area: 11,007 square feet

| 17.12.040 – Dimensional Standards. CC District Matrix | Conformance |
|---|-------------|
| Minimum Lot Width                                     | YES         |

### Staff Analysis:

Required: Minimum lot width of an average of 55 feet is required in the CC-2 zone district.

Proposed Consolidated Lot (180 Leadville Subdivision: Block 1: Lot 1) Width: 110 feet

| 17.12.040 – Dimensional Standards. CC District Matrix | Conformance |
|---|-------------|
| Minimum Building Setbacks                             | YES         |

# Staff Analysis:

## Required:

Front (Leadville Ave/west): 5' average Street Side (2<sup>nd</sup> Street/north): 5' average

Side (interior/south): 0'
Rear (Block 22 alley/east): 3'

Setback for Fourth Floor: 10 feet

Rooftop Structures (Non-habitable structures, permanently affixed deck amenities, solar panels visible above roof ridge or parapet, and mechanical equipment and screening affixed to a roof from all building facades): 10 feet

# Proposed:

Setbacks are provided on sheet A.3 of the project plans.

Front (Leadville Ave/west): 7.5'
Street Side (2<sup>nd</sup> Street/north): 13.04'

Side (interior/south): 0'
Rear (Block 22 alley/east): 3'

Fourth-Floor Setbacks: N/A. The project does not include a fourth floor.

Rooftop Structures

N/A no rooftop structures are proposed.

| 17.12.040 – Dimensional Standards. CC District Matrix | Conformance |
|---|-------------|
| Maximum Building Heights                              | YES         |

Permitted: 42 feet

Height of building/CC District: The greatest vertical distance of a building in the community core district measured by determining the average elevation of the front property line and rear property line. Draw a line from the average front or rear elevation up to the maximum building height allowed, and then draw a line at that height parallel to the front or rear property line. The resulting line establishes the highest elevation of the front or rear facade. The front or rear facade shall not extend above this line. Side facades may be stepped up or down to transition from the highest elevation of the front facade height to the highest elevation of the rear facade. One or multiple steps along the side facades are allowed, except no step shall occur within 40 feet of the front elevation or within 35 feet of the rear facade. The City shall establish the elevation points used to calculate the average elevation of the front and rear property lines (see illustration A on file in the office of the City Clerk).

Non-habitable Structures Located on Building Rooftops: 10 feet

Perimeter Walls Enclosing Rooftop Deck and Structures: 4 feet above roof surface height. Perimeter roof top walls are required to be at least 75% transparent.

Rooftop Solar & Mechanical Equipment Above Roof Surface: 5 feet

# Proposed:

Building height dimensions are provided on sheet A.7 and A.8 of the project plans.

Height from Average Grade at Front Property Line

Existing Historic Home: 30'-9"

Building 1: 32'-2" Building 2: 32'-9"

Height from Average Grade at Rear Property Line

Building 3: 33'-9" South Carport: 24'-3"

Existing Historic Home: 21'-6"

North Carport: 11'-9"

Non-habitable Structures Located on Building Rooftops:

N/A. Non-habitable structures are not proposed on building rooftops.

Perimeter Walls Enclosing Rooftop Deck and Structures:

N/A. None of the five new buildings that are proposed to be constructed contain rooftop decks or rooftop structures.

| 17.124.040 – Floor Area Ratios and Community Housing                                  | Conformance |
|---|-------------|
| An increased FAR may be permitted subject to design review approval provided that all | YES         |
| conditions in KMC 17.124.040.B.2 are met.   |             |

# Required

Permitted FAR: 1.0

Permitted FAR with Community Housing: 2.25

Floor area, gross (KMC §17.08.020): The sum of the horizontal area of the building measured along the outside walls of each floor of a building or portion of a building, including stair towers and elevators on the ground floor only, and 50 percent of atriums over 18 feet plate height, but not including basements, underground parking areas or open unenclosed decks. Parking areas covered by a roof or portion of the building and enclosed on three or more sides by building walls are included. Four parking stalls for developments on single Ketchum Town Site lots of 5,600 square feet in size or less are not included in the gross floor area calculation.

## **Proposed**

The FAR calculations are provided on sheet A.3 and A.4 of the project plans.

# Gross Floor Area per Building

Building A (Building 1): 1,931 gross square feet Building B (Building 2): 1,931 gross square feet Building C (Building 3): 2,438 gross square feet

Building D (second floor of carport south\*): 1,356 gross square feet

Existing Historic Home: 910 gross square feet

\*Note: Pursuant to the definition of *floor area, gross* specified in KMC §17.08.020, "Parking areas covered by a roof or portion of the building and enclosed on three or more sides by building walls are included." The two carport structures are surrounded on only two sides by building walls and are not included in the FAR calculation.

Total Gross Floor Area: 8,566 gross square feet Proposed Consolidated Lot Area: 11,007 square feet

Proposed FAR: 0.778 (8,566 gross square feet/11,007 consolidated lot area)

| 17.124.180 Minimum Residential Densities and Commercial Requirements  | Conformance |
|---|-------------|
| Ketchum Municipal Code 17.124.180.A. General requirements. New development projects or expansions of existing buildings that exceed a total floor area ratio (FAR) of 1.0 within Subdistrict 1 and Subdistrict 2 of the CC Zone District and 0.5 FAR in the T, T-3000, T-4000, and GR-H zone districts must provide a minimum number of residential units as follows: | N/A         |

**Required:** N/A as pursuant to KMC §17.124.180A, minimum residential densities and commercial requirements only apply to new development projects or expansions of existing buildings that exceed a total FAR of 1.0 within Subdistrict 1 and Subdistrict 2 of the CC Zone District and 0.5 FAR in the T, T-3000, T-4000, and GR-H zone districts. The ARCH workforce housing project is proposed to have total FAR of 0.778.

| 17.04.030 – No Net Loss of Dwelling Units   | Conformance |
|---|-------------|
| Ketchum Municipal Code §17.04.030.D. Applications: no net loss of units: Development of           | YES         |
| property, in any zone district, may not result in the net loss of dwelling units. Total number of |             |
| dwelling units shall be calculated including all listed or defined dwelling unit uses and terms   |             |
| in this Code such as, but not limited to, "dwelling, one-family", "dwelling, multi-family",       |             |
| "dwelling unit, accessory", and "work/live unit".   |             |

Existing: The property is developed with an existing historic single-family home.

<u>Proposed:</u> The project has rehabilitated the existing single-family historic home and proposes to construct 10 new multiple-family dwelling units.

| 17.125.030 - Off Street Parking and Loading  | Conformance |
|--|-------------|
| 17.125.040 – Off Street Parking and Loading Calculations                               |             |
| 17.125.050 – Community Core District Off Street Parking and Loading Calculations       |             |
| Pursuant to Ketchum Municipal Code 17.125.020.A1, all new development must comply with | YES         |
| the off street vehicle parking requirements.   |             |
|  |             |

#### Permitted:

# Required (KMC §17.125.040)

Multi-Family Dwelling Units in CC Zone

Units 750 square feet or less: 0 parking spaces

Units 751 square feet to 2,000 square feet: 1 parking space

Units 2,001 square feet and above: 2 parking spaces

# **Project Parking Demand**

Multi-Family Dwelling Units:

Building 1 (Building A)

Unit 1A: 627 square feet—0 parking required Unit 1B: 651 square feet—0 parking required Unit 1C: 651 square feet—0 parking required

## Building 2 (Building B)

Unit 2A: 627 square feet—0 parking required Unit 2B: 651 square feet—0 parking required Unit 2C: 651 square feet—0 parking required

# Building 3 (Building C)

Unit 3A: 797 square feet—1 parking space required Unit 3B: 820 square feet—1 parking space required Unit 3C: 820 square feet—1 parking space required

## Building D (Second Floor South Carport)

Unit 4A: 872 square feet—1 parking space required

### **Existing Historic Home**

Historic Home: 910 square feet—1 parking space required

# Total Parking Demand:

5 Parking Spaces

# **Proposed**

The applicant has provided 11 total parking spaces in two carport structures accessed from the alley. While only 5 parking stalls are required to be provided on site, the applicant has proposed one parking space for each of the 11 dwelling units.

| 17.125.060 – Bicycle Parking   | Conformance |
|--|-------------|
| Ketchum Municipal Code §17.125.060.B: All uses, other than one family dwellings, are       | YES         |
| required to provide one bicycle rack, able to accommodate at least two bicycles, for every |             |
| four parking spaces required by the proposed use.  |             |

# Analysis:

<u>Required:</u> 1 bike rack, accommodating at least two bicycles, is required based on the project parking demand.

<u>Proposed:</u> 5 parking spaces are required for the proposed housing development—1 bike rack is required based on the project parking demand. Note: Per KMC §17.125.060.C, "When measurements of the number of required spaces result in fractions, any fraction equal to or greater than one-half shall be rounded up to the next highest whole number."

| 17.127 – Signage                         | Conformance |
|--|-------------|
| Master Signage Plan for New Construction | N/A         |

**Analysis**: Pursuant to KMC §17.96.040.C3, a master signage plan shall be submitted with Design Review applications for new multi-tenant buildings. KMC §17.127.030.B1 requires:

A complete master signage plan that may include a building identification sign shall be submitted at the time of design review application for any new construction for all hotels, commercial, industrial, multi-family residential and mixed use projects. A master signage plan shall include, but not be limited to, directional, tenant, advisory, and technical information published and updated from time to time by the City and shall show how the plan is integrated with the architecture of the building.

The applicant has indicated that no building, directional, tenant, or advisory signage is proposed to be installed for the proposed development and that only address numbers would be installed on the proposed residential buildings.

| 17.132 – Dark Skies                          | Conformance  |
|--|--------------|
| Compliance with Section 17.132 – Dark Skies. | YES—         |
|  | Condition #4 |

**Analysis**: The exterior lighting plan is provided on sheets E.1, E.2, and E.3 of the project plans. The exterior lighting fixtures included . The exterior lighting fixture specifications are provided on sheet E.3. The proposed exterior lighting fixtures include:

- Fixture A: Design Classics Lighting LED Black Outside Wall Cylinder
- Fixture B: NUWATT 4" Black Square Anti-Glare Warm LED Recessed Can Lights
- Fixture C: WAC Lighting Ledge LED Path Light

Pursuant to KMC §17.132.030, "all exterior lighting shall utilize light sources not to exceed 2,700 Kelvin." The specification for the WAC Lighting Ledge LED Path Light (Fixture C) states that the color temperature is 2700K. The color temperature of the light sources for the Design Classics Lighting LED Wall Cylinder (Fixture A) and the NUWATT 4" Recessed Can Light (Fixture B) on sheet E.3 is unspecified. While the color temperature of the light source is unspecified on sheet E.3, the applicant confirmed that the light source selected for both Fixture A and Fixture B will be 2700K during city department review. Pursuant to recommended condition of approval no. 3, the applicant shall clearly specify the color temperature of the light sources selected for all exterior lighting fixtures on the exterior lighting plan that is required to be submitted the building permit application for Planning Department staff to review and confirm compliance with KMC §17.132.030, which requires the color temperature not exceed 2700K.

# **Attachment E2**

Staff Analysis:

Design Review Standards Evaluation



# 140 & 180 N LEADVILLE AVE ARCH WORKFORCE HOUSING PROJECT DESIGN REVIEW STANDARDS ANALYSIS

| 17.96.060.A.1 - Streets  | Conformance  |
|--|--------------|
| The applicant shall be responsible for all costs associated with providing a | YES          |
| connection from an existing City street to their development.                | Condition #3 |

# Analysis:

The project is located at the southeast corner of 2<sup>nd</sup> Street and Leadville Avenue. The project proposes to install two carport structures accessed off the block 22 alleyway. The portion of the block 22 alleyway adjacent to the property is currently unimproved. As shown on the demolition plan on sheet C0.90, the existing detached garage that encroaches into the 20-foot-wide alley right-of-way (ROW) is proposed to be demolished and removed. The project proposes to install the full width of the block 22 alley with asphalt and drainage.

The City Engineer has conducted a preliminary review of the project plans and believes the proposed right-of-way improvements comply with city standards. The applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for all right-of-way improvements, including sidewalks, alley asphalt, streetlights, utilities, and drainage facilities, for review and approval by the City Engineer, Streets Department, Utilities Department, and Planning Department prior to issuance of a building permit for the project pursuant to condition of approval #3.

| 17.96.060.A.2 - Streets                                    | Conformance  |
|--|--------------|
| All street designs shall be approved by the City Engineer. | YES          |
|  | Condition #3 |

Analysis: No new streets or changes to the travel lanes or street designs are proposed with this project. Final civil drawings for all associated right-of-way improvements shall be submitted with the building permit application to be verified, reviewed, and approved by the City Engineer and Streets Department. Final review of all right-of-way improvements will be completed prior to issuance of a building permit for the project pursuant to condition of approval #3.

| 17.96.060.B.1 - Sidewalks   | Conformance |
|---|-------------|
| All projects under subsection 17.96.010.A of this chapter that qualify as a | YES         |
| "substantial improvement" shall install sidewalks as required by the Public |             |
| Works Department.   |             |
|   |             |

**Analysis**: Ketchum Municipal Code 17.124.140 outlines the zone districts where sidewalks are required when substantial improvements are made, which include the CC, all tourist zone districts, and all light industrial districts. As the project is within the CC-2 zone district, sidewalks are required and included in the project plans. The applicant has proposed to install new 8-foot-wide sidewalk along Leadville Avenue and 2<sup>nd</sup> Street

| 17.96.060.B.2 - Sidewalks  | Conformance |
|--|-------------|
| Sidewalk width shall conform to the City's right-of-way standards, however | YES         |
| the City Engineer may reduce or increase the sidewalk width and design     | Condition   |
| standard requirements at their discretion.                                 | #3          |
|  |             |

**Analysis**: The applicant has proposed installing a new 8-foot-wide, concrete sidewalk along Leadville Avenue & 2<sup>nd</sup> Street. The City Engineer and Streets Department have conducted a preliminary review of the project plans and believe the proposed right-of-way improvements comply with city standards.

The applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for all right-of-way improvements, including sidewalks, alley asphalt, streetlights, utilities, and drainage facilities, for review and approval by the City Engineer, Streets Department, Utilities Department, and Planning Department prior to issuance of a building permit for the project pursuant to condition of approval #4.

| 17.96.060.B.3 - Sidewalks  | Conformance    |
|--|----------------|
| Sidewalks may be waived if one of the following criteria is met:   | N/A            |
| <ul> <li>a) The project comprises an addition of less than 250 square feet of conditioned space.</li> <li>b) The City Engineer finds that sidewalks are not necessary because of existing geographic limitations, pedestrian traffic on the street does not warrant a sidewalk, or if a sidewalk would not be beneficial to the general welfare and safety of the public.</li> </ul> |                |
| Analysis: Sidewalks are required for the project. The applicant has not requested  | d, nor has the |
| City Engineer granted, a waiver to the sidewalk requirement for the project.   |                |

| 17.96.060.B.4 - Sidewalks  | Conformance |
|--|-------------|
| The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.      | YES         |
| <b>Analysis</b> : The proposed sidewalk improvements are equal to the length of the consolidated lot's frontage along Leadville Avenue and 2 <sup>nd</sup> Street. |             |

| 17.96.060.B.5 – Sidewalks  | Conformance |
|--|-------------|
| New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building. | YES         |

**Analysis**: The new sidewalk will connect to the existing sidewalk along 2<sup>nd</sup> Street. The site improvement plan on sheet C1.1o shows a truncated dome detectable warning plat is proposed at the transition between the Leadville Avenue sidewalk and the alley.

| 17.96.060.B.6 - Sidewalks  | Conformance |
|--|-------------|
| The City may approve and accept voluntary cash contributions in lieu of the above described improvements, which contributions must be segregated by  | N/A         |
| the City and not used for any purpose other than the provision of these improvements. The contribution amount shall be 110 percent of the estimated costs of concrete sidewalk and drainage improvements provided by |             |
| a qualified contractor, plus associated engineering costs, as approved by the City Engineer. Any approved in lieu contribution shall be paid before the City   |             |
| issues a certificate of occupancy.   |             |

**Analysis**: The applicant has not requested relief from the requirement to construct sidewalks nor has the city granted any such request. The applicant has applied to the Ketchum Urban Renewal Agency directed for reimbursement agreement for the new public infrastructure (sidewalks and alley) required to be constructed for the project.

| 17.96.060.C.1 - Drainage                  | Conformance  |
|---|--------------|
| All stormwater shall be retained on site. | YES          |
|   | Condition #3 |
|   |              |

# Analysis:

As shown on sheet C1.10 of the project plans, on-site stormwater drainage will be directed to a system of drywells and catch basins installed on site. Roof drainage will slope down (see roof plan on sheet A.6) to roof drain downspouts routed to drywells and catch basins (see sheet C1.10). All roof drain locations must be shown on the project plans submitted with the building permit application for final review and approval by the City Engineer.

Pursuant to condition of approval #3, the applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for all drainage improvements, for review and approval by the City Engineer and Streets Department prior to

| 17.96.060.C.2 - Drainage  | Conformance  |
|---|--------------|
| Drainage improvements constructed shall be equal to the length of the   | YES          |
| subject property lines adjacent to any public street or private street. | Condition #3 |
|   |              |

**Analysis**: The project proposes to construct drainage improvements along the length of the subject property, including curb and gutter, along Leadville Avenue and  $2^{nd}$  Street. Alley drainage improvements include the installation of new drywell that will connect to a new catch basin (see site improvement plan on sheet C1.10). A new catch basin is proposed to be installed along  $2^{nd}$  Street and a new drywell is proposed to be installed along Leadville Avenue.

issuance of a building permit for the project.

The drainage improvements are shown on the site improvement plan on sheet C1.10 of the project plans. All drainage improvements are required to be constructed City standards. Pursuant to condition of approval #3, the applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for all drainage improvements, for review and approval by the City Engineer and Streets Department prior to issuance of a building permit for the project.

| 17.96.060.C.3 - Drainage  | Conformance  |
|---|--------------|
| The City Engineer may require additional drainage improvements as | YES          |
| necessary, depending on the unique characteristics of a site.     | Condition #3 |

Analysis: The City Engineer will determine if the drainage improvements are sufficient after reviewing the final civil drawings submitted with the building permit application. The City Engineer may require additional drainage improvements if necessary. Pursuant to condition of approval #4, the applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for all drainage improvements, for review and approval by the City Engineer and Streets Department prior to issuance of a building permit for the project.

| 17.96.060.C.4 - Drainage                                     | Conformance  |
|--|--------------|
| Drainage facilities shall be constructed per City standards. | YES          |
|  | Condition #3 |

## Analysis:

Based on review of the project plans by the City Engineer during department review, all drainage facilities meet city standards. The City Engineer and Streets Department have conducted a preliminary review of the project plans and believe the proposed right-of-way improvements comply with city standards.

Pursuant to condition of approval #3, the applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for all drainage improvements, for review and approval by the City Engineer and Streets Department prior to issuance of a building permit for the project.

| 17.96.060.D.1 - Utilities   | Conformance |
|---|-------------|
| All utilities necessary for the development shall be improved and installed at the sole expense of the applicant. | YES         |

**Analysis**: All project costs associated with the development, including the installation of utilities, are the responsibility of the applicant.

| 17.96.060.D.2 - Utilities   | Conformance |
|---|-------------|
| Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view. | YES         |
| innes within the development site shall be concedied from public view.  |             |

Analysis: The site improvement plan shows the proposed location of the new transformer that is required to be installed to serve the proposed development. The transformer is proposed to be installed on the subject property adjacent to the 2<sup>nd</sup> Street sidewalk. Siting the transformer along the 2<sup>nd</sup> Street frontage frees up space along the alley to provide a parking space for each residential unit. The transformer is proposed to be screened from public view along the 2<sup>nd</sup> Street sidewalk with a metal gate. The power meters are proposed to be installed on west side of the south carport building, the east side of building 3, the north side of building 1, and the south side of building 2. None of the proposed power meter locations are visible from view along Leadville Avenue or 2<sup>nd</sup> Street.

| 17.96.060.D.3 - Utilities  | Conformance |
|--|-------------|
| When extension of utilities is necessary all developers will be required to pay  | N/A         |
| for and install two-inch SDR11 fiber optical conduit. The placement and  |             |
| construction of the fiber optical conduit shall be done in accordance with City of Ketchum standards and at the discretion of the City Engineer. |             |
| of Retenum standards and at the discretion of the City Engineer.   |             |
| Analysis. The location of the subject property is already served by fiber entire cal   | ام میما     |

**Analysis**: The location of the subject property is already served by fiber optic cable and therefore no conduit is required in this location.

| 17.96.060.E.1 – Compatibility of Design  | Conformance           |
|--|-----------------------|
| The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures. | See Staff<br>Analysis |
|  |                       |

# Analysis:

Staff is concerned that the black, gray, and beige colors appear stark and cold. The majority of the building walls are painted black and dark gray. Staff believes the expanses of undifferentiated black surfaces appear flat and monotonous. During city department review, Planning staff recommended the applicant reduce the building wall areas that are painted black and introduce warmer color tones into the exterior material and color palette. The applicant introduced a dark gray color for the upper levels of the residential buildings. Staff remains concerned that the expanses of undifferentiated black and dark gray color appear cold, stark, and monotonous.

| 17.96.060.E.2 – Compatibility of Design                                       | Conformance |
|---|-------------|
| Preservation of significant landmarks shall be encouraged and protected,      | YES         |
| where applicable. A significant landmark is one which gives historical and/or |             |
| cultural importance to the neighborhood and/or community.                     |             |
| , , , , ,   |             |

**Analysis**: The existing single-family home on existing lot 4 at 180 N Leadville Ave is designated as a historic structure and listed on the city's Historic Building/Site List. The Planning and Building Department issued a building permit to rehabilitate the existing historic home in February of 2025. Pursuant to Ketchum Municipal Code ("KMC") §17.20.050, "Normal repair and maintenance of structures on the historic building/site list is permitted."

| 17.96.060.E.3 – Compatibility of Design  | Conformance |
|--|-------------|
| Additions to existing buildings, built prior to 1940, shall be complementary in            | N/A         |
| design and use similar material and finishes of the building being added to.               |             |
| Analysis: N/A as no additions are proposed to the existing historic home on lot 4 at 180 N |             |
| Leadville Ave.   |             |

| 17.96.060.F.1 – Architectural   | Conformance |
|---|-------------|
| Building(s) shall provide unobstructed pedestrian access to the nearest | YES         |
| sidewalk and the entryway shall be clearly defined.                     |             |

Analysis: The primary building entrances are well defined and provide unobstructed access to the sidewalk through on-site pathways that provide pedestrian circulation throughout the development. The entrance to the existing historic home is defined by a front porch covered by a gable roof. The entrances to Building 1 and Building 2 are oriented towards and face Leadville Avenue. These entrances are defined by a front porch stoop that is covered by a projecting/flat-roof overhang. The entrance to Building 3 is interior to the development and faces the historic home. The entrance to Building 3 is also defined by covered entry.

| 17.96.060.F.2 – Architectural   | Conformance |
|---|-------------|
| The building character shall be clearly defined by use of architectural | YES         |
| features.   |             |
|   |             |

Analysis: The three new three-story residential buildings are detached and connected by a covered external staircase. Staff believes this detached design provides relief to the mass of the three new residential buildings. In addition, the façade design includes exterior material differentiation that provides visual relief. Stucco portions of the building wall project ~2 feet from the façade at the second and third floors. Staff appreciates how the stucco projections add depth and texture to the facade. The building entrances are defined with front porch stoops covered by projecting roof overhangs.

| 17.96.060.F.3 – Architectural  | Conformance |
|--|-------------|
| There shall be continuity of materials, colors and signing within the project. | YES         |

**Analysis**: The project uses an integrated palette of colors and materials across the facades of each of the proposed 5 buildings. The black and dark gray colors used for the 5 new buildings

were intended to be differentiated from and further distinguish the existing historic home, which is painted white.

| 17.96.060.F.4 – Architectural   | Conformance |
|---|-------------|
| Accessory structures, fences, walls and landscape features within the | YES         |
| project shall match or complement the principal building.             |             |
| project shall match or complement the principal building.             |             |

**Analysis**: The separation between the buildings, open space, and landscaping help provide transparency, light, and air through the development and provide a human-scaled, pedestrian-friendly environment along the streetscape.

| Conformance |
|-------------|
| See Staff   |
| Analysis    |
|             |

**Analysis**: The three new three-story residential buildings are detached and connected by a covered external staircase. Staff believes this detached design provides relief to the mass of the three new residential buildings. In addition, the façade design includes exterior material differentiation that provides visual relief. Stucco portions of the building wall project ~2 feet from the façade at the second and third floors. Staff appreciates how the stucco projections add depth and texture to the facade.

While the stucco projections add visual interest, staff is concerned about the large expanses of undifferentiated blank surfaces at the northwest elevation. The southeast and northwest facades have horizontally placed Hardie Plank siding on the ground floor and vertically placed Hardie Board & Batten siding on the upper floors. During city department review, Planning staff recommended the applicant further articulate and differentiate the southeast and northwest facades to add visual interest and reduce the appearance of bulk and flatness. Planning staff encouraged the applicant to consider building articulation features like contrasting material wainscot, decorative façade features, detailing, and further differentiating exterior materials and colors may help add visual interest and relief to building bulk and flatness.

The applicant responded to Planning staff's recommendation as follows:

To address staff commentary, we have decided to differentiate the color of the façade. We have chosen to keep the same color for anchoring the lowest floor sided with the 4" lap siding. The upper two floors died with the board-and-batten will now have a slightly lighter color setting off the visual relief for the facades in question. While revising the follow plans and buildings facades to introduce additional articulation and modulation may work for market rate housing, our mission is to design and construct these buildings most efficiently allowing for the greatest resultant affordability without adding unnecessary costs. In addition, the placement of trees and landscaping will

greatly influence the one façade in question together with the views of the adjacent home. And finally, several adjacent buildings have recently been approved and constructed using a similar color that look great.

Staff does not believe the material and color changes provide sufficient visual relief to the undifferentiated blank surface at the northwest elevation and recommends further articulating the northwest façade through cladding, materiality, color, and detailing that adds depth, texture, and visual interest. Sensitive to the applicant's desire to maintain affordability and not add unnecessary cost, staff does not recommend modulating the mass of the buildings but instead recommends enhancing visual interest through the creative use of exterior materials, colors, and details.

| 17.96.060.F.6 – Architectural                                  | Conformance |
|--|-------------|
| Building(s) shall orient toward their primary street frontage. | YES         |

**Analysis**: The existing historic home and proposed Building 1 and Building 2 orient towards the primary street frontage along Leadville Ave.

| 17.96.060.F.7 – Architectural   | Conformance  |
|---|--------------|
| Garbage storage areas and satellite receivers shall be screened from public | YES          |
| view and located off alleys.  | Condition #5 |
|   |              |

Analysis: The project plans submitted with the final Design Review propose storing the garbage bins in individual alcoves by the storage areas for each individual tenants in the carport buildings. The individual tenants would move their individual garbage bins to the alley for Clear Creek Disposal to pick up. At Pre-Application, the applicant proposed to utilize the special service provided by Clear Creek Disposal to transport the bins to and from a garbage bin staging area provided in the south carport structure. The garbage bin staging area has been removed. The applicant now proposes that the tenants would move their individual bins to the alley for Clear Creek Disposal to pick up.

The Streets Department has concerns that the 11 garbage bins will remain lingering in the 20-foot-wide alley right-of-way and interfere with snow removal operations. The Streets Department recommends the utilization of Clear Creek Disposal's special service to transport the garbage bins to and from the staging area as proposed in the Pre-Application. Staff recommends the following condition of approval:

The applicant shall accommodate a staging area for all garbage bins in the carport structure and utilize Clear Creek Disposal's special service to transport the garbage bins to and from the staging area as proposed in the Pre-Application. The owner must utilize and maintain the special service provided by Clear Creek Disposal to transport the garbage bins to and from the staging area. The garbage bins must always be stored

within the carports, either within the staging area or the individual tenant alcoves, except for when Clear Creek Disposal transports the bins to and from the staging area for servicing. If Clear Creek Disposal discontinues these special services in the future, then the owner must provide evidence of similar transport services.

| 17.96.060.F.8 – Architectural   | Conformance |
|---|-------------|
| Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties. | YES         |

**Analysis**: All flat roof elements include internal drains routed to drywells. The covered front porches and covered exterior stairwell provide weather protection to pedestrians.

| 17.96.060.G.1 – Circulation Design   | Conformance |
|--|-------------|
| Pedestrian, equestrian and bicycle access shall be located to connect with | YES         |
| existing and anticipated easements and pathways.                           |             |

**Analysis**: The new sidewalk will connect to the existing concrete sidewalks along Leadville Avenue and 2<sup>nd</sup> Street. The proposed sidewalk connects to pathways on the project site providing safe pedestrian access to and around the building.

| 17.96.060.G.2 – Circulation Design   | Conformance |
|--|-------------|
| Awnings extending over public sidewalks shall extend five feet or more across the public sidewalk but shall not extend within two feet of parking or travel lanes within the right-of-way. | N/A         |
| Analysis: N/A as no awnings are proposed to extend over the property line.   |             |

| 17.96.060.G.3 – Circulation Design   | Conformance |
|--|-------------|
| Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage. | YES         |

**Analysis**: All off-street parking is accessed along the alley. The proposed alley access will allow traffic to flow safely within the project. The new sidewalks along Leadville Avenue and 2<sup>nd</sup> Street will connect to pathways on the subject property providing safe pedestrian access to and around the building.

| 17.96.060.G.4 – Circulation Design   | Conformance |
|--|-------------|
| Curb cuts and driveway entrances shall be no closer than 20 feet to the        | N/A         |
| nearest intersection of two or more streets, as measured along the property    |             |
| line adjacent to the right-of-way. Due to site conditions or current/projected |             |

traffic levels or speed, the City Engineer may increase the minimum distance requirements.

**Analysis**: No curb cuts or driveway entrances are proposed. The off-street parking is accessed from the alley.

| 17.96.060.G.5 – Circulation Design   | Conformance    |
|--|----------------|
| Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project. | YES            |
| Analysis: Unobstructed access for emergency vehicles, snownlows, garbage true  | ks and similar |

**Analysis**: Unobstructed access for emergency vehicles, snowplows, garbage trucks, and similar service vehicles is provided to the project from Leadville Avenue, 2<sup>nd</sup> Street, and the alley.

| 17.96.060.H.1 – Snow Storage   | Conformance |
|--|-------------|
| Snow storage areas shall not be less than 30 percent of the improved parking and pedestrian circulation areas. | N/A         |
| and pedestrian circulation areas.  |             |

**Analysis**: All improved parking and pedestrian circulation areas are heated, which is permitted as an alternative to providing on-site snow storage areas by Ketchum Municipal Code §17.96.060.H4.

| 17.96.060.H.2 – Snow Storage                  | Conformance  |
|---|--------------|
| Snow storage areas shall be provided on site. | N/A—hauling  |
|   | proposed in- |
|   | lieu of snow |
|   | storage      |

Analysis: The site improvement plan on sheet C1.10 shows some snow storage areas have been provided on site. During city department review, the applicant specified that all snow will be removed from the project site. KMC §17.96.060.H4 states that, "In lieu of providing snow storage areas, snowmelt and hauling of snow may be allowed." Staff recommends the following condition of approval to ensure that the project complies with snow hauling requirements:

Prior to issuance of building permit, the applicant submit a snow-hauling plan, submit a copy of the snow hauling agreement with the selected contractor, and identify the associated off-site snow storage area to verify compliance with the off-site snow storage standards specified in KMC §17.124.160 for review and approval by Planning Department.

| 17.96.060.H.3 – Snow Storage   | Conformance  |
|--|--------------|
| A designated snow storage area shall not have any dimension less than five | N/A—hauling  |
| feet and shall be a minimum of 25 square feet.                             | proposed in- |
|  |              |

|               | lieu of snow |
|---------------|--------------|
|               | storage.     |
| Analysis: N/A |              |

| ormance  |
|----------|
| YES      |
| ition #7 |
|          |

**Analysis**: The applicant has indicated that all snow is proposed to be removed from the project site. KMC §17.96.060.H4 states that, "In lieu of providing snow storage areas, snowmelt and hauling of snow may be allowed." Staff recommends the following condition of approval to ensure that the project complies with snow hauling requirements:

Prior to issuance of building permit, the applicant submit a snow-hauling plan, submit a copy of the snow hauling agreement with the selected contractor, and identify the associated off-site snow storage area to verify compliance with the off-site snow storage standards specified in KMC §17.124.160 for review and approval by Planning Department.

| 17.96.060.I.1 – Landscaping               | Conformance |
|---|-------------|
| Landscaping is required for all projects. | YES         |

**Analysis**: The landscape plan is provided on sheet L1 of the project plan set. The applicant has proposed installing two street trees along 2<sup>nd</sup> Street and three street trees along Leadville Ave. The landscape plan proposes one columnar evergreen tree, shrubs, evergreen shrubs, and ornamental grasses and perennials.

| 17.96.060.I.2 – Landscaping  | Conformance |
|--|-------------|
| Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape. | YES         |

### Analysis:

The landscape materials and vegetation types are readily adaptable to the site's microclimate, soil conditions, orientation, and aspect. The landscaping complements the development and will enhance the neighborhood. The separation between the buildings, open space, and landscaping help provide a human-scaled, pedestrian-friendly environment along the streetscape.

| 17.96.060.I.3 – Landscaping   | Conformance |
|---|-------------|
| All trees, shrubs, grasses and perennials shall be drought tolerant. Native | YES         |
| species are recommended but not required.                                   |             |
|   |             |

**Analysis**: All trees, grasses, and perennials are required to be drought tolerant. Native species are recommended.

| 17.96.060.I.4 – Landscaping   | Conformance |
|---|-------------|
| Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, | YES         |
| shall be encouraged.  |             |

**Analysis**: The landscaping complements the development and will enhance the neighborhood. The separation between the buildings, open space, and landscaping help provide a human-scaled, pedestrian-friendly environment along the streetscape.

| 17.96.060.J.1 – Public Amenities   | Conformance  |
|--|--------------|
| Where sidewalks are required, pedestrian amenities shall be installed.       | YES          |
| Amenities may include, but are not limited to, benches and other seating,    | Condition #8 |
| kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All |              |
| public amenities shall receive approval from the Public Works Department     |              |
| prior to design review approval from the Commission.                         |              |
|  |              |

**Analysis**: The project is characterized by open space areas, trees, and pedestrian pathways that are provided between the five buildings. The project has an opportunity to provide an activated, pedestrian-friendly experience at the street corner. Staff recommends the applicant incorporate a public gathering space and provide site furnishings like benches, seating/tables, bike racks, or other similar amenities at the street corner. Staff recommends the Commission add the following condition of approval:

Pedestrian amenities are required pursuant to KMC §17.96.060.J1. The applicant shall propose a pedestrian amenity, such as a bench, at the street corner for final review and approval by Planning Department staff prior to issuance of a building permit for the project.

| 17.96.060.K.1 – Underground Encroachments   | Conformance |
|---|-------------|
| Encroachments of below grade structures into required setbacks are subject to subsection 17.128.020.K of this title and shall not conflict with any applicable easements, existing underground structures, sensitive ecological areas, soil stability, drainage, other sections of this Code or other regulating codes such as adopted International Code Council Codes, or other site features concerning health, safety, and welfare. | N/A         |
| Analysis: N/A as no underground encroachments into required setbacks are pro  | posed.      |

| 17.96.060.K.2 – Underground Encroachments  | Conformance |
|--|-------------|
| No below grade structure shall be permitted to encroach into the riparian setback. | N/A         |
| Analysis: N/A as no underground encroachments are proposed.                        |             |

### ANALYSIS REGARDING DESIGN REVIEW STANDARDS – COMMUNITY CORE

| 17.96.070.A.1 – Streets   | Conformance |
|---|-------------|
| Street trees, streetlights, street furnishings, and all other street improvements | YES         |
| shall be installed or constructed as determined by the Public Works               | Condition   |
| Department.   | #3          |
|   |             |

Analysis: The project will construct right-of-way improvements, including a new sidewalk, alley asphalt, drainage facilities, streetlights, in accordance with city standards. The City Engineer, Streets Department, and Planning Department have conducted a preliminary review of the project plans and believe the proposed right-of-way improvements comply with city standards. The City Engineer, Streets Department, and Planning Department will conduct a final review of the proposed right-of-way improvements prior to issuance of a building permit for the project.

| 17.96.070.A.2 – Streets  | Conformance  |
|--|--------------|
| Street trees with a minimum caliper size of three inches, shall be placed in | YES          |
| tree grates.   | Condition #3 |
|  |              |

Analysis: The applicant has proposed two street trees along 2nd Street and 3 street trees along Leadville Avenue. As specified on sheet C1.10 all street trees will be a minimum 3" caliper size. All street trees shall comply with city right-of-way standards.

| 17.96.070.A.3 – Streets   | Conformance  |
|---|--------------|
| Due to site constraints, the requirements of this subsection A may be | YES          |
| modified by the Public Works Department.                              | Condition #3 |

**Analysis**: The City Engineer and Streets Department have conducted a preliminary review of the project plans and believe the proposed right-of-way improvements comply with city standards. The City Engineer, Streets Department, and Planning Department will conduct a final review of the proposed right-of-way improvements prior to issuance of a building permit for the project.

| 17.96.070.B.1 - Architectural  | Conformance |
|--|-------------|
| Facades facing a street or alley or located more than five feet from an interior | YES         |
| side property line shall be designed with both solid surfaces and window         |             |

openings to avoid the creation of blank walls and employ similar architectural elements, materials, and colors as the front facade.

**Analysis**: All facades fronting Leadville Avenue and 2nd Street, the second floor of the south carport structure facing the alley, and the southeast elevation (located 5 feet from the interior side property line) have been been designed with both solid surfaces, including smooth stucco, board & batt siding, and Hardie Plank lap siding, as well as window openings.

| 17.96.070.B.2 - Architectural  | Conformance |
|--|-------------|
| For nonresidential portions of buildings, front building facades and facades | N/A         |
| fronting a pedestrian walkway shall be designed with ground floor storefront |             |
| windows and doors with clear transparent glass. Landscaping planters shall   |             |
| be incorporated into facades fronting pedestrian walkways.                   |             |
|  |             |
| Analysis: N/A—the ARCH workforce housing project is 100% residential.        |             |

| 17.96.070.B.3 - Architectural  | Conformance |
|--|-------------|
| For nonresidential portions of buildings, front facades shall be designed to not obscure views into windows. | N/A         |
| Analysis: N/A—the ARCH workforce housing project is 100% residential.  |             |

| 17.96.070.B.4 - Architectural  | Conformance |
|--|-------------|
| Roofing forms and materials shall be compatible with the overall style and | See staff   |
| character of the structure. Reflective materials are prohibited.           | analysis    |
|  |             |

**Analysis**: The proposed three-story residential buildings at the same height elevation. Staff is concerned flat roofline in conjunction with the continuous black/dark gray façades appear monotonous and lack character. Staff recommends the applicant consider adding depth and detail to the roof parapets to create and intentional façade termination that adds visual interest to the flat roof design.

| 17.96.070.B.5 - Architectural   | Conformance |
|---|-------------|
| All pitched roofs shall be designed to sufficiently hold all snow with snow clips, gutters, and downspouts. | N/A         |
| Analysis: The project does not propose pitched roofs.   |             |

| 17.96.070.B.6 - Architectural  | Conformance |
|--|-------------|
| Roof overhangs shall not extend more than three feet over a public sidewalk. Roof overhangs that extend over the public sidewalk shall be approved by the Public Works Department. | N/A         |
| Analysis: N/A all roof overhangs are contained on the subject property.  |             |

| 17.96.070.B.7 - Architectural   | Conformance |
|---|-------------|
| Front porches and stoops shall not be enclosed on the ground floor by permanent or temporary walls, windows, window screens, or plastic or fabric | YES         |
| materials.  |             |
| Analysis: The front porches at the entrances to the ground-floor housing units ir   | the three   |
| residential building are unenclosed.  |             |

| 17.96.070        | .C.2 – Service Areas and Mechanical/Electrical Equipment     | Conformance |
|------------------|--|-------------|
| Roof and groun   | d mounted mechanical and electrical equipment shall be fully | YES         |
| _ ·              | public view. Screening shall be compatible with the overall  |             |
| building design. |  |             |
| building design. | ,  |             |

**Analysis**: No roof-mounted mechanical or electrical equipment is proposed. The transformer is proposed to be installed on the subject property adjacent to the 2<sup>nd</sup> Street sidewalk. Siting the transformer along the 2<sup>nd</sup> Street frontage frees up space along the alley to provide a parking space for each residential unit. The transformer is proposed to be screened from public view along the 2<sup>nd</sup> Street sidewalk with a metal gate. The power meters are proposed to be installed on west side of the south carport building, the east side of building 3, the north side of building 1, and the south side of building 2. None of the proposed power meter locations are visible from view along Leadville Avenue or 2<sup>nd</sup> Street.

| Conformance  |
|--------------|
| YES          |
| Condition #5 |
|              |
|              |

Analysis: The project plans submitted with the final Design Review propose storing the garbage bins in individual alcoves by the storage areas for each individual tenants in the carport buildings. The individual tenants would move their individual garbage bins to the alley for Clear Creek Disposal to pick up. At Pre-Application, the applicant proposed to utilize the special service provided by Clear Creek Disposal to transport the bins to and from a garbage bin staging area provided in the south carport structure. The garbage bin staging area has been removed. The applicant now proposes that the tenants would move their individual bins to the alley for Clear Creek Disposal to pick up.

The Streets Department has concerns that the 11 garbage bins will remain lingering in the 20-foot-wide alley right-of-way and interfere with snow removal operations. The Streets Department recommends the utilization of Clear Creek Disposal's special service to transport the garbage bins to and from the staging area as proposed in the Pre-Application. Staff recommends the following condition of approval:

The applicant shall accommodate a staging area for all garbage bins in the carport structure and utilize Clear Creek Disposal's special service to transport the garbage bins to and from the staging area as proposed in the Pre-Application. The owner must utilize and maintain the special service provided by Clear Creek Disposal to transport the garbage bins to and from the staging area. The garbage bins must always be stored within the carports, either within the staging area or the individual tenant alcoves, except for when Clear Creek Disposal transports the bins to and from the staging area for servicing. If Clear Creek Disposal discontinues these special services in the future, then the owner must provide evidence of similar transport services.

| 17.96.070.D.1 - Landscaping   | Conformance  |
|---|--------------|
| When a healthy and mature tree is removed from a site, it shall be replaced | YES          |
| with a new tree. Replacement trees may occur on or off site.                | Condition #6 |

Analysis: Pursuant to KMC §17.96.070.D1, "When a healthy and mature tree is removed from a site, it shall be replaced with a new tree. Replacement trees may occur on or off site." The landscape plan on sheet L1 shows approximately 20 trees are proposed to be removed from the project site. The applicant has proposed installing 5 street trees—three street trees are proposed along the Leadville Avenue sidewalk and two street trees are proposed along the 2nd Street sidewalk. In addition, one columnar evergreen tree is proposed to be installed. Staff recommends the Commission add the following condition of approval to confirm compliance with the replacement tree requirement specified in KMC §17.96.070.D1.

The City Arborist will conduct a site visit to inspect the trees proposed to be removed, assess how many of the trees are healthy and mature, and determine the required number of replacement trees. The City Arborist and Planning staff will work with the applicant to ensure all healthy and mature trees proposed to be removed from the project site are replaced either on or off site and confirm compliance with KMC §17.96.070.D1 prior to issuance of a building permit for the project.

| 17.96.070.D.2 - Landscaping   | Conformance |
|---|-------------|
| Trees that are placed within a courtyard, plaza, or pedestrian walkway shall be placed within tree wells that are covered by tree grates. | N/A         |
| <b>Analysis</b> : N/A—no trees are proposed in courtyard plazas or within pedestrian walkways.  |             |

| 17.96.070.D.3 - Landscaping  | Conformance  |
|--|--------------|
| The City arborist shall approve all parking lot and replacement trees. | YES          |
|  | Condition #6 |
|  |              |

Analysis: Pursuant to KMC §17.96.070.D1, "When a healthy and mature tree is removed from a site, it shall be replaced with a new tree. Replacement trees may occur on or off site." The landscape plan on sheet L1 shows approximately 20 trees are proposed to be removed from the project site. The applicant has proposed installing 5 street trees—three street trees are proposed along the Leadville Avenue sidewalk, and two street trees are proposed along the 2nd Street sidewalk. In addition, one columnar evergreen tree is proposed to be installed. Staff recommends the Commission add the following condition of approval to confirm compliance with the replacement tree requirement specified in KMC §17.96.070.D1.

The City Arborist will conduct a site visit to inspect the trees proposed to be removed, assess how many of the trees are healthy and mature, and determine the required number of replacement trees. The City Arborist and Planning staff will work with the applicant to ensure all healthy and mature trees proposed to be removed from the project site are replaced either on or off site and confirm compliance with KMC §17.96.070.D1 prior to issuance of a building permit for the project.

| 17.96.070.E.1 – Surface Parking Lots   | Conformance |
|--|-------------|
| Surface parking lots shall be accessed from off the alley and shall be fully screened from the street. | N/A         |
| Analysis: N/A. No surface parking lot is proposed.   |             |

| 17.96.070.E.2 – Surface Parking Lots  | Conformance |
|---|-------------|
| Surface parking lots shall incorporate at least one tree and one additional | N/A         |
| tree per ten on site parking spaces. Trees shall be planted in landscaped   |             |
| planters, tree wells and/or diamond shaped planter boxes located between    |             |

parking rows. Planter boxes shall be designed so as not to impair vision or site distance of the traveling public.

**Analysis**: N/A. The project does not include a surface parking lot.

| 17.96.070.E.3 – Surface Parking Lots   | Conformance |
|--|-------------|
| Ground cover, low lying shrubs, and trees shall be planted within the planters and planter boxes. Tree grates or landscaping may be used in tree wells located within pedestrian walkways. | N/A         |
| Analysis: N/A as no surface parking lots are proposed for the project.   |             |

| 17.96.070.F.1 – Bicycle Parking   | Conformance |
|---|-------------|
| One bicycle rack, able to accommodate at least two bicycles, shall be provided for every four parking spaces as required by the proposed use. At a minimum, one bicycle rack shall be required per development. | YES         |
| <b>Analysis</b> : One bike rack is required for the proposed development. The project's parking demand is five spaces. One bike rack is required for the development. The project proposes                      |             |
| to install three bike rack, accommodating two bicycles, in the south carport bu   | ' '         |

| 17.96.070.F.2 – Bicycle Parking  | Conformance |
|--|-------------|
| When the calculation of the required number of bicycle racks called for in this section results in a fractional number, a fraction equal to or greater than one-half shall be adjusted to the next highest whole number. | YES         |
| Analysis: One bike rack is required for the proposed development.  |             |

| 17.96.070.F.3 – Bicycle Parking  | Conformance   |
|--|---------------|
| Bicycle racks shall be clearly visible from the building entrance they serve and not mounted less than 50 feet from said entrance or as close as the nearest non-ADA parking space, whichever is closest. Bicycle racks shall be located to achieve unobstructed access from the public right-of-way and not in areas requiring access via stairways or other major obstacles. | YES           |
| Analysis: The project proposes to install three bike rack, accommodating two b   | icycles, in a |
| covered area in the south carport structure.   |               |

# **Attachment E3**

Staff Analysis:

Lot Consolidation Subdivision Preliminary Plat Standards Evaluation



# 140 & 180 N LEADVILLE ARCH WORKFORCE HOUSING PROJECT LOT CONSOLIDATION SUBDIVISION PRELIMINARY PLAT STANDARDS EVALUATION

#### Lot Consolidation Standards

KMC §16.04.030.C4 requires that preliminary plat applications for lot consolidations must demonstrate conformance with:

- All applicable building permit and land use development approvals,
- All applicable zoning regulations in Title 17 of KMC, and
- General conformance with the comprehensive plan.

Standards for lot consolidations were first introduced in Ketchum through the adoption of Interim Ordinance 1234 in October 2022 and permanently added into the city's subdivision regulations through the adoption Ordinance 1249 in October 2023. These standards are intended to limit the loss of existing housing stock and preserve future housing opportunities on vacant lots. In addition, these standards promote the efficient use of land and infrastructure by encouraging infill development on vacant or underused parcels.

# Comprehensive Plan Conformance

# Future Land Use

The subject property is designated as Mixed-Use Commercial on the future land map of the 2104 Comprehensive Plan ("2014 Plan"). The Mixed-Use Commercial category promotes a wide range of commercial and residential uses and mixed-use development. The 2014 Plan states that new development in mixed-use areas "should be oriented to streets and sidewalks" (page 69) and "should contain common public space features that provide relief to the density and contribute to the quality of the street" (page 69). The two new multi-family residential buildings that face Leadville Avenue are oriented towards the street and setback 7.5 from the front property line. Both buildings include front porch stoops that provide welcoming entrances to the two ground-floor apartments. The development includes multiple pathways that provide unobstructed access to the sidewalk along Leadville Avenue. While connected by a common exterior staircase, the three new three-story residential buildings are detached, which provide natural light and views through the three buildings. The development is characterized by a significant amount of open space that provides relief to the bulk and mass of the buildings.

### Housing

In addition to encouraging a mixture of uses, the 2014 Plan promotes housing density downtown. Policy H-1.4 states, "Housing should be integrated into the downtown core and light industrial areas, and close to the ski bases" (page 20). Policy M-1.3 encourages housing density downtown to, "increase opportunities for walking, bicycling, and transit ridership and reduce vehicle trips" (page 42). In addition, the 2014 Plan encourages increasing the supply of affordable and attainable housing. Policy H-1.2 encourages local solutions to attainable housing for low-, moderate-, and median-income households. Policy H-1.3 encourages the

integration of affordable housing in neighborhoods and supports, "the inclusion of affordable housing to provide diversity" (page 20).

The project will provide 11 new workforce housing within walking distance to jobs, retail stores, coffee shops, bars, and restaurants in the heart of downtown. Additionally, the project is located within walking distance to the Mountain Rides bus stop at the Visitor Center on Sun Valley Road and the bus stop at Main & 1st Streets, which provide access to all major transit routes connecting riders to other areas of Ketchum and the Wood River Valley.

# Small-Town Character & Contextual Infill

Goal CD-1 of the 2014 Plan states, "Our community will preserve its small-town character and the distinct image of neighborhoods and districts" (page 26). Staff believes the project meets the following policies that the 2014 Plan provides to achieve this goal:

- Policy CD-1.2 Preservation of Historic Buildings and Sites: "Individual buildings and sites of historical, architectural, archaeological, or cultural significance should be identified and considered for protection."
- Policy CD-1.3 Compatible Infill and Redevelopment Projects: "Infill and redevelopment projects should be contextually appropriate to the neighborhood and development in which they occur. Context refers to the natural and manmade features adjoining a development site; it does not imply a certain style" (page 26).
- Policy CD-1.4 High-Quality Site Planning and Building and Landscape Design: "Each new project should be well-designed and attractive, and should complement surrounding land uses and existing neighborhood character" (page 26).

While redevelopment has intensified to the north of the subject property across 2<sup>nd</sup> Street, Block 22 has not experienced the same degree of change. The most recent development in Block 22 was the construction of the duplex located across the alley to the east of the subject property in 2015. The three-story duplex is 35.75 feet in height, is 5,501 gross square feet, and has a total FAR of 0.99. Lee Gilman's office is located north of the duplex at the corner of 2<sup>nd</sup> Street and East Avenue. The office is a small, single-story building. The adjacent developments to the south of the subject property along Leadville Avenue include a two-story, 3,024-square-foot commercial building that was constructed in 1980 and a two-story, 2,538 square foot home that was constructed in 1946. The project is comparable in scale to the adjacent commercial building and the duplex across the alley. The proposed three-story buildings extend to a maximum height of 30'-9", which is 5 feet less than the duplex. Staff believes the project is contextually appropriate to the neighborhood and helps maintain the community's identity, small-town character, and sense of place by preserving the historic home.

|             |       |         | Preliminary Plat F            | Requirements (Ketchum Municipal Code §16.04.030)  |
|-------------|-------|---------|-------------------------------|---|
| Co          | mplia |         |                               |   |
| Yes         | No    | N/<br>A | City Code                     | City Standards  |
| ×           |       |         | 16.04.030.C.1                 | The subdivider shall file with the administrator copies of the completed subdivision application form and preliminary plat data as required by this chapter.  |
|             |       |         | Staff Analysis                | The City of Ketchum Planning and Building Department received the completed subdivision application and all applicable application materials on July 22, 2025.  |
|             |       |         | 16.04.030.J                   | Contents Of Preliminary Plat: The preliminary plat, together with all application forms, title insurance report, deeds, maps, and other documents reasonably required, shall constitute a complete subdivision application.   |
|             |       |         | Staff Analysis                | The subdivision application was deemed complete on July 22, 2025.   |
|             |       |         | 16.04.030.J.1                 | The preliminary plat shall be drawn to a scale of not less than one inch equals one hundred feet (1" = 100') and shall show the following:  The scale, north point and date.  |
|             |       |         | Staff Analysis                | The scale on sheet 1 of the preliminary plat is $1'' = 30'$ .   |
|             |       |         | 16.04.030.J.2                 | The name of the proposed subdivision, which shall not be the same or confused with the name of any other subdivision in Blaine County, Idaho.   |
|             |       |         | Staff Analysis                | As shown on Sheet 1 of the preliminary plat, the plat is titled "180 Leadville Subdivision" which is not the same as any other subdivision in Blaine County, Idaho.   |
| ×           |       |         | 16.04.030.J.3                 | The name and address of the owner of record, the subdivider, and the engineer, surveyor, or other person preparing the plat.  |
|             |       |         | Staff Analysis                | The name of the owner and surveyor is shown on Sheet 1 of the plat.   |
| $\boxtimes$ |       |         | 16.04.030.J.4                 | Legal description of the area platted.  |
|             |       |         | Staff Analysis                | The legal description of the area platted is Ketchum Townsite, Block 22, lots 3 & 4. The legal description is provided on page 1 of the preliminary plat.   |
| $\boxtimes$ |       |         | 16.04.030.J.5                 | The names and the intersecting boundary lines of adjoining subdivisions and parcels of property.  |
|             |       |         | Staff Analysis                | The preliminary plat shows adjacent lots 1, 2, 8A, 6A, and 5B within block 22 of Ketchum Townsite and sublots 1 and 2 of the 171 East Avenue Townhomes across the alley.  |
|             |       |         | 16.04.030.J.6  Staff Analysis | A contour map of the subdivision with contour lines and a maximum interval of five feet (5') to show the configuration of the land based upon the United States geodetic survey data, or other data approved by the city engineer.  1' contours are shown on sheet 1 of the preliminary plat. |
|             |       |         | Jean Milarysis                | i contours are snown on sneet i of the preliminary plat.  |

| ×           |             | 16.04.030.J.7  | The scaled location of existing buildings, water bodies and courses and location of the adjoining or immediately adjacent dedicated streets, roadways and easements, public and private.  |
|-------------|-------------|----------------|---|
|             |             | Staff Analysis | Sheet 1 of the preliminary plat shows the location of existing public rights-of-way, including Leadville Avenue, 2 <sup>nd</sup> Street, 1 <sup>st</sup> Street, East Avenue, and the block 22 alley. The preliminary plat shows the scaled footprint and location of existing buildings on the subject property as well as the scaled footprint and location of the commercial building on the adjacent property directly south of the subject property. |
| $\boxtimes$ |             | 16.04.030.J.8  | Boundary description and the area of the tract.   |
|             |             | Staff Analysis | Sheet 1 provides the boundary description of the area.  |
| $\boxtimes$ |             | 16.04.030.J.9  | Existing zoning of the tract.   |
|             |             | Staff Analysis | Plat note no. 5 states, "The current zoning district for the within plat is CC, Community Core."  |
| ⊠           |             | 16.04.030.J.10 | The proposed location of street rights of way, lots, and lot lines, easements, including all approximate dimensions, and including all proposed lot and block numbering and proposed street names.  |
|             |             | Staff Analysis | No new streets or easements are proposed or required. The dimensions of the proposed consolidated lot lines and the lot area is specified on sheet 1 of the preliminary plat.   |
|             | ×           | 16.04.030.J.11 | The location, approximate size and proposed use of all land intended to be dedicated for public use or for common use of all future property owners within the proposed subdivision.  |
|             |             | Staff Analysis | This standard is not applicable as there is no requirement or proposal for land dedicated to public use.  |
|             |             | 16.04.030.J.12 | The location, size and type of sanitary and storm sewers, water mains, culverts and other surface or subsurface structures existing within or immediately adjacent to the proposed sanitary or storm sewers, water mains, and storage facilities, street improvements, street lighting, curbs, and gutters and all proposed utilities.  |
|             |             | Staff Analysis | This standard does not apply as this preliminary plat proposes to consolidate two existing lots within block 22 of the original Ketchum Townsite.   |
|             | $\boxtimes$ | 16.04.030.J.13 | The direction of drainage, flow and approximate grade of all streets.   |
|             |             | Staff Analysis | This standard does not apply as no new streets are proposed.  |
|             |             | 16.04.030.J.14 | The location of all drainage canals and structures, the proposed method of disposing of runoff water, and the location and size of all drainage easements, whether they are located within or outside of the proposed plat.   |
|             |             | Staff Analysis | This standard does not apply as no new drainage canals or structures are proposed.  |
|             | $\boxtimes$ | 16.04.030.J.15 | All percolation tests and/or exploratory pit excavations required by state health authorities.  |

|             |             | Staff Analysis | This standard does not apply as no additional tests are required.  |
|-------------|-------------|----------------|--|
|             | ×           | 16.04.030.J.16 | A copy of the provisions of the articles of incorporation and bylaws of homeowners' association and/or condominium declarations to be filed with the final plat of the subdivision.  |
|             |             | Staff Analysis | This standard does not apply to the proposed lot consolidation as the request does not create condominium units or a homeowners' association.  |
|             |             | 16.04.030.J.17 | Vicinity map drawn to approximate scale showing the location of the proposed subdivision in reference to existing and/or proposed arterials and collector streets.   |
|             |             | Staff Analysis | Sheet 1 of the preliminary plat includes a vicinity map. The vicinity shows the two minor collector streets adjacent to the subject property—1st Street and River Street.  |
|             | X           | 16.04.030.J.18 | The boundaries of the floodplain, floodway and avalanche zoning district shall also be clearly delineated and marked on the preliminary plat.  |
|             |             | Staff Analysis | N/A. The subject property is not within a floodplain, floodway, or avalanche zone district.  |
|             |             | 16.04.030.J.19 | Building envelopes shall be shown on each lot, all or part of which is within a floodway, floodplain, or avalanche zone; or any lot that is adjacent to the Big Wood River, Trail Creek, or Warm Springs Creek; or any lot, a portion of which has a slope of twenty five percent (25%) or greater; or upon any lot which will be created adjacent to the intersection of two (2) or more streets.   |
|             |             | Staff Analysis | N/A as the subject property is not located in the floodway, floodplain, or avalanche zone; is not adjacent to the Big Wood River, Trail Creek, or Warm Springs Creek; and does not contain slopes of 25% or greater. The request does not create a new lot at the intersection of 2 or more streets but consolidates existing lot 4, an existing corner lot at the intersection of Leadville Avenue and 2 <sup>nd</sup> Street, with adjacent lot 3. |
| $\boxtimes$ |             | 16.04.030.J.20 | Lot area of each lot.  |
|             |             | Staff Analysis | Sheet 1 of the preliminary plat shows that the area of lot 1, block 1, 180 Subdivision is 11,007 square feet.  |
| $\boxtimes$ |             | 16.04.030.J.21 | Existing mature trees and established shrub masses.  |
|             |             | Staff Analysis | Existing mature deciduous and conifer trees on the subject property are shown on sheet 1 of the preliminary plat.  |
| ×           |             | 16.04.030.J.22 | A current title report shall be provided at the time that the preliminary plat is filed with the administrator, together with a copy of the owner's recorded deed to such property.  |
|             |             | Staff Analysis | The applicant submitted a Lot Book Guarantee issued by Title Resources Guaranty Company dated June 17, 2025.   |
|             | $\boxtimes$ | 16.04.030.J.23 | Three (3) copies of the preliminary plat shall be filed with the administrator.  |

| Staff Analysis | The City of Ketchum received digital copies of the preliminary plat at the |
|----------------|--|
|                | time of application.   |

|     | Subdivision Development & Design Standards (Ketchum Municipal Code §16.04.040) |     |                |   |  |  |
|-----|--|-----|----------------|---|--|--|
| Cc  | mplia  |     |                | ·   |  |  |
| Yes | No   | N/A | City Code      | City Standards  |  |  |
|     |  |     | 16.04.040.A    | Required Improvements: The improvements set forth in this section shall be shown on the preliminary plat and installed prior to approval of the final plat. Construction design plans shall be submitted and approved by the city engineer. All such improvements shall be in accordance with the comprehensive plan and constructed in compliance with construction standard specifications adopted by the city. Existing natural features which enhance the attractiveness of the subdivision and community, such as mature trees, watercourses, rock outcroppings, established shrub masses and historic areas, shall be preserved through design of the subdivision.  |  |  |
|     |  |     | Staff Analysis | This standard is not applicable as this project combines two lots within the original Ketchum Townsite. No improvements are proposed or required for the lot consolidation.   |  |  |
|     |  |     | 16.04.040.B    | Improvement Plans: Prior to approval of final plat by the commission, the subdivider shall file two (2) copies with the city engineer, and the city engineer shall approve construction plans for all improvements required in the proposed subdivision. Such plans shall be prepared by a civil engineer licensed in the state.  |  |  |
|     |  |     | Staff Analysis | This standard is not applicable as this project combines two lots within the original Ketchum Townsite. No additional improvements are proposed or required for the lot consolidation.  |  |  |
|     |  |     | 16.04.040.C    | Prior to final plat approval, the subdivider shall have previously constructed all required improvements and secured a certificate of completion from the city engineer. However, in cases where the required improvements cannot be constructed due to weather conditions or other factors beyond the control of the subdivider, the city council may accept, in lieu of any or all of the required improvements, a performance bond filed with the city clerk to ensure actual construction of the required improvements as submitted and approved. Such performance bond shall be issued in an amount not less than one hundred fifty percent (150%) of the estimated costs of improvements as determined by the city engineer. In the event the improvements are not constructed within the time allowed by the city council (which shall be one year or less, depending upon the individual circumstances), the council may order the improvements installed at the expense of the subdivider and the surety. In the event the cost of installing the required improvements exceeds the amount of the bond, the subdivider shall be liable to the city for |  |  |

|             |  |                             | additional costs. The amount that the cost of installing the required improvements exceeds the amount of the performance bond shall automatically become a lien upon any and all property within the subdivision owned by the owner and/or subdivider.  |
|-------------|--|-----------------------------|---|
|             |  | Staff Analysis              | This standard is not applicable as this project combines two lots within the original Ketchum Townsite. No additional improvements are proposed or required for the lot consolidation.  |
|             |  | 16.04.040.D                 | As Built Drawing: Prior to acceptance by the city council of any improvements installed by the subdivider, two (2) sets of as built plans and specifications, certified by the subdivider's engineer, shall be filed with the city engineer. Within ten (10) days after completion of improvements and submission of as built drawings, the city engineer shall certify the completion of the improvements and the acceptance of the improvements, and shall submit a copy of such certification to the administrator and the subdivider. If a performance bond has been filed, the administrator shall forward a copy of the certification to the city clerk. Thereafter, the city clerk shall release the performance bond upon application by the subdivider.  |
|             |  | Staff Analysis              | This standard is not applicable as this project combines two lots within the original Ketchum Townsite. No additional improvements are proposed or required for the lot consolidation.  |
|             |  | 16.04.040.E  Staff Analysis | Monumentation: Following completion of construction of the required improvements and prior to certification of completion by the city engineer, certain land survey monuments shall be reset or verified by the subdivider's engineer or surveyor to still be in place. These monuments shall have the size, shape, and type of material as shown on the subdivision plat. The monuments shall be located as follows:  1. All angle points in the exterior boundary of the plat. 2. All street intersections, points within and adjacent to the final plat. 3. All street corner lines ending at boundary line of final plat. 4. All angle points and points of curves on all streets. 5. The point of beginning of the subdivision plat description.  The applicant shall meet the required monumentation standards prior to |
| $\boxtimes$ |  | 16.04.040.F                 | recordation of the final plat.  Lot Requirements:  1. Lot size, width, depth, shape and orientation and minimum building  |
|             |  |                             | setback lines shall be in compliance with the zoning district in which the property is located and compatible with the location of the subdivision and the type of development, and preserve solar access to adjacent properties and buildings.  2. Whenever a proposed subdivision contains lot(s), in whole or in part, within the floodplain, or which contains land with a slope in excess of   |

|              |             | Staff Analysis | twenty five percent (25%), based upon natural contours, or creates corner lots at the intersection of two (2) or more streets, building envelopes shall be shown for the lot(s) so affected on the preliminary and final plats. The building envelopes shall be located in a manner designed to promote harmonious development of structures, minimize congestion of structures, and provide open space and solar access for each lot and structure. Also, building envelopes shall be located to promote access to the lots and maintenance of public utilities, to minimize cut and fill for roads and building foundations, and minimize adverse impact upon environment, watercourses and topographical features. Structures may only be built on buildable lots. Lots shall only be created that meet the definition of "lot, buildable" in section 16.04.020 of this chapter. Building envelopes shall be established outside of hillsides of twenty five percent (25%) and greater and outside of the floodway. A waiver to this standard may only be considered for the following:  a. For lot line shifts of parcels that are entirely within slopes of twenty five percent (25%) or greater to create a reasonable building envelope, and mountain overlay design review standards and all other city requirements are met.  b. For small, isolated pockets of twenty five percent (25%) or greater that are found to be in compliance with the purposes and standards of the mountain overlay district and this section.  3. Corner lots shall have a property line curve or corner of a minimum radius of twenty five feet (25') unless a longer radius is required to serve an existing or future use.  4. Side lot lines shall be within twenty degrees (20°) to a right angle or radial line to the street line.  5. Double frontage lots shall not be created. A planting strip shall be provided along the boundary line of lots adjacent to arterial streets or incompatible zoning districts.  6. Every lot in a subdivision shall have a minimum of twenty feet (20') of frontage on a dedicated public st |
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|              |             |                | new workforce housing project will comply with the dimensional standards   |
| <br><u> </u> |             | 46.04.040.0    | and setbacks required in the CC-2 Zone.  |
|              | $\boxtimes$ | 16.04.040.G    | G. Block Requirements: The length, width and shape of blocks within a  |
|              |             |                | proposed subdivision shall conform to the following requirements:  |

|             |                | <ol> <li>No block shall be longer than one thousand two hundred feet (1,200'), nor less than four hundred feet (400') between the street intersections, and shall have sufficient depth to provide for two (2) tiers of lots.</li> <li>Blocks shall be laid out in such a manner as to comply with the lot requirements.</li> <li>The layout of blocks shall take into consideration the natural topography of the land to promote access within the subdivision and minimize cuts and fills for roads and minimize adverse impact on environment, watercourses</li> </ol>  |
|-------------|----------------|---|
|             |                | and topographical features.   |
|             |                | <ol> <li>Corner lots shall contain a building envelope outside of a<br/>seventy five foot (75') radius from the intersection of the</li> </ol>  |
|             |                | streets.  |
|             | Staff Analysis | N/A. This standard is not applicable as this project proposes to combine two existing lots within the original Ketchum Townsite. This application does not create a new block.  |
| $\boxtimes$ | 16.04.040.H    | Street Improvement Requirements:  |
|             |                | 1. The arrangement, character, extent, width, grade and location of all streets put in the proposed subdivision shall conform to the comprehensive plan and shall be considered in their relation to existing and planned streets, topography, public convenience and safety, and the proposed uses of the land;  2. All streets shall be constructed to meet or exceed the criteria and standards set forth in chapter 12.04 of this code, and all other applicable ordinances, resolutions or regulations of the city or any other governmental entity having jurisdiction, now existing or adopted, amended or codified;  3. Where a subdivision abuts or contains an existing or proposed arterial street, railroad or limited access highway right of way, the council may require a frontage street, planting strip, or similar design features;  4. Streets may be required to provide access to adjoining lands and provide proper traffic circulation through existing or future neighborhoods;  5. Street grades shall not be less than three-tenths percent (0.3%) and not more than seven percent (7%) so as to provide safe movement of traffic and emergency vehicles in all weather and to provide for adequate drainage and snow plowing;  6. In general, partial dedications shall not be permitted, however, the council may accept a partial street dedication when such a street forms a boundary of the proposed subdivision and is deemed necessary for the orderly development of the neighborhood, and provided the council finds it practical to require the dedication of the remainder of the right of way when the adjoining property is subdivided. When a partial street exists |

- adjoining the proposed subdivision, the remainder of the right of way shall be dedicated;
- 7. Dead end streets may be permitted only when such street terminates at the boundary of a subdivision and is necessary for the development of the subdivision or the future development of the adjacent property. When such a dead end street serves more than two (2) lots, a temporary turnaround easement shall be provided, which easement shall revert to the adjacent lots when the street is extended;
- 8. A cul-de-sac, court or similar type street shall be permitted only when necessary to the development of the subdivision, and provided, that no such street shall have a maximum length greater than four hundred feet (400') from entrance to center of turnaround, and all cul-de-sacs shall have a minimum turnaround radius of sixty feet (60') at the property line and not less than forty five feet (45') at the curb line;
- 9. Streets shall be planned to intersect as nearly as possible at right angles, but in no event at less than seventy degrees (70°);
- 10. Where any street deflects an angle of ten degrees (10°) or more, a connecting curve shall be required having a minimum centerline radius of three hundred feet (300') for arterial and collector streets, and one hundred twenty five feet (125') for minor streets;
- 11. Streets with centerline offsets of less than one hundred twenty five feet (125') shall be prohibited;
- 12. A tangent of at least one hundred feet (100') long shall be introduced between reverse curves on arterial and collector streets;
- 13. Proposed streets which are a continuation of an existing street shall be given the same names as the existing street. All new street names shall not duplicate or be confused with the names of existing streets within Blaine County, Idaho. The subdivider shall obtain approval of all street names within the proposed subdivision from the commission before submitting same to council for preliminary plat approval;
- 14. Street alignment design shall follow natural terrain contours to result in safe streets, usable lots, and minimum cuts and fills;
- 15. Street patterns of residential areas shall be designed to create areas free of through traffic, but readily accessible to adjacent collector and arterial streets;
- 16. Reserve planting strips controlling access to public streets shall be permitted under conditions specified and shown on the final plat, and all landscaping and irrigation systems shall be installed as required improvements by the subdivider;
- 17. In general, the centerline of a street shall coincide with the centerline of the street right of way, and all crosswalk markings shall be installed by the subdivider as a required improvement;

|  |   |                | 18. Street lighting may be required by the commission or council where appropriate and shall be installed by the subdivider as a requirement improvement;  19. Private streets may be allowed upon recommendation by the commission and approval by the council. Private streets shall be constructed to meet the design standards specified in subsection H2 of this section;  20. Street signs shall be installed by the subdivider as a required improvement of a type and design approved by the administrator and shall be consistent with the type and design of existing street signs elsewhere in the city;  21. Whenever a proposed subdivision requires construction of a new bridge, or will create substantial additional traffic which will require construction of a new bridge or improvement of an existing bridge, such construction or improvement shall be a required improvement by the subdivider. Such construction or improvement shall be in accordance with adopted standard specifications;  22. Sidewalks, curbs and gutters may be a required improvement installed by the subdivider; and  23. Gates are prohibited on private roads and parking access/entranceways, private driveways accessing more than one single-family dwelling unit and one accessory dwelling unit, and public rights of |
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|  |   | Staff Analysis | way unless approved by the city council.   |
|  |   | Staff Analysis | This standard is not applicable as this application proposes to combine two existing lots within the Ketchum Townsite. This proposal does not create a new street, private road, or bridge.  |
|  |   | 16.04.040.I    | Alley Improvement Requirements: Alleys shall be provided in business, commercial and light industrial zoning districts. The width of an alley shall be not less than twenty feet (20'). Alley intersections and sharp changes in alignment shall be avoided, but where necessary, corners shall be provided to permit safe vehicular movement. Dead end alleys shall be prohibited. Improvement of alleys shall be done by the subdivider as required improvement and in conformance with design standards specified in subsection H2 of this section.   |
|  |   | Staff Analysis | This standard is not applicable as this project combines two lots within the Ketchum Townsite and no alley improvements are proposed.  |
|  | × | 16.04.040.J    | Required Easements: Easements, as set forth in this subsection, shall be required for location of utilities and other public services, to provide adequate pedestrian circulation and access to public waterways and lands.  1. A public utility easement at least ten feet (10') in width shall be required within the street right of way boundaries of all private streets. A public utility easement at least five feet (5') in width shall be required  |

|       |         |                | within property boundaries adjacent to Warm Springs Road and within any other property boundary as determined by the city engineer to be necessary for the provision of adequate public utilities.  2. Where a subdivision contains or borders on a watercourse, drainageway, channel or stream, an easement shall be required of sufficient width to contain such watercourse and provide access for private maintenance and/or reconstruction of such watercourse.  3. All subdivisions which border the Big Wood River, Trail Creek and Warm Springs Creek shall dedicate a ten foot (10') fish and nature study easement along the riverbank. Furthermore, the council shall require, in appropriate areas, an easement providing access through the subdivision to the bank as a sportsman's access. These easement requirements are minimum standards, and in appropriate cases where a subdivision abuts a portion of the river adjacent to an existing pedestrian easement, the council may require an extension of that easement along the portion of the riverbank which runs through the proposed subdivision.  4. All subdivisions which border on the Big Wood River, Trail Creek and Warm Springs Creek shall dedicate a twenty five foot (25') scenic easement upon which no permanent structure shall be built in order to protect the natural vegetation and wildlife along the riverbank and to protect structures from damage or loss due to riverbank erosion.  5. No ditch, pipe or structure for irrigation water or irrigation wastewater shall be constructed, rerouted or changed in the course of planning for or constructing required improvements within a proposed subdivision unless same has first been approved in writing by the ditch company or property owner holding the water rights. A written copy of such approval shall be filed as part of required improvement construction plans.  6. Nonvehicular transportation system easements including pedestrian walkways, bike paths, equestrian paths, and similar easements shall be dedicated by the subdivider to provide an adequat |
|-------|---------|----------------|--|
|       |         | Staff Analysis | This standard is not applicable as no easements are proposed or required   |
|       |         |                | for this project. The project does not create a new private street. This property is not adjacent to Warm Springs Road. The property does not  |
|       |         |                | border a watercourse, drainageway, channel, or stream.   |
|       |         | 16.04.040.K    | Sanitary Sewage Disposal Improvements: Central sanitary sewer systems shall be installed in all subdivisions and connected to the Ketchum sewage treatment system as a required improvement by the subdivider.  Construction plans and specifications for central sanitary sewer extension shall be prepared by the subdivider and approved by the city engineer, council and Idaho health department prior to final plat approval. In the event that the sanitary sewage system of a subdivision cannot connect to  |
|       |         |                | the existing public sewage system, alternative provisions for sewage disposal in accordance with the requirements of the Idaho department of   |
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|  | Staff Analysis | health and the council may be constructed on a temporary basis until such time as connection to the public sewage system is possible. In considering such alternative provisions, the council may require an increase in the minimum lot size and may impose any other reasonable requirements which it deems necessary to protect public health, safety and welfare.  The workforce housing project will connect to the municipal sewer system.   |
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|  |                | The project shall meet all requirements of the Wastewater Department.  |
|  | 16.04.040.L    | Water System Improvements: A central domestic water distribution system shall be installed in all subdivisions by the subdivider as a required improvement. The subdivider shall also be required to locate and install an adequate number of fire hydrants within the proposed subdivision according to specifications and requirements of the city under the supervision of the Ketchum fire department and other regulatory agencies having jurisdiction. Furthermore, the central water system shall have sufficient flow for domestic use and adequate fire flow. All such water systems installed shall be looped extensions, and no dead end systems shall be permitted. All water systems shall be connected to the municipal water system and shall meet the standards of the following agencies: Idaho department of public health, Idaho survey and rating bureau, district sanitarian, Idaho state public utilities commission, Idaho department of reclamation, and all requirements of the city. |
|  | Staff Analysis | The workforce housing project will connect to the municipal water system.  Final plans for the water system connections will be reviewed and approved by the Utilities Department prior to issuance of building permit.  |
|  | 16.04.040.M    | Planting Strip Improvements: Planting strips shall be required improvements. When a predominantly residential subdivision is proposed for land adjoining incompatible uses or features such as highways, railroads, commercial or light industrial districts or off street parking areas, the subdivider shall provide planting strips to screen the view of such incompatible features. The subdivider shall submit a landscaping plan for such planting strip with the preliminary plat application, and the landscaping shall be a required improvement.  |
|  | Staff Analysis | This standard is not applicable as this project proposes to combine two existing lots within the Ketchum Townsite. Planting strip improvements are not required for this project.  |
|  | 16.04.040.N    | Cuts, Fills, And Grading Improvements: Proposed subdivisions shall be carefully planned to be compatible with natural topography, soil conditions, geology and hydrology of the site, as well as to minimize cuts, fills, alterations of topography, streams, drainage channels, and disruption of soils and vegetation. The design criteria shall include the following:  |

- 1. A preliminary soil report prepared by a qualified engineer may be required by the commission and/or council as part of the preliminary plat application.
- 2. Preliminary grading plan prepared by a civil engineer shall be submitted as part of all preliminary plat applications. Such plan shall contain the following information:
  - a. Proposed contours at a maximum of five foot (5') contour intervals.
  - b. Cut and fill banks in pad elevations.
  - c. Drainage patterns.
  - d. Areas where trees and/or natural vegetation will be preserved.
  - e. Location of all street and utility improvements including driveways to building envelopes.
  - f. Any other information which may reasonably be required by the administrator, commission or council to adequately review the affect of the proposed improvements.
- 3. Grading shall be designed to blend with natural landforms and to minimize the necessity of padding or terracing of building sites, excavation for foundations, and minimize the necessity of cuts and fills for streets and driveways.
- 4. Areas within a subdivision which are not well suited for development because of existing soil conditions, steepness of slope, geology or hydrology shall be allocated for open space for the benefit of future property owners within the subdivision.
- 5. Where existing soils and vegetation are disrupted by subdivision development, provision shall be made by the subdivider for revegetation of disturbed areas with perennial vegetation sufficient to stabilize the soil upon completion of the construction. Until such times as such revegetation has been installed and established, the subdivider shall maintain and protect all disturbed surfaces from erosion.
- 6. Where cuts, fills, or other excavations are necessary, the following development standards shall apply:
  - a. Fill areas shall be prepared by removing all organic material detrimental to proper compaction for soil stability.
  - b. Fills shall be compacted to at least ninety five percent (95%) of maximum density as determined by AASHO T99 (American Association of State Highway Officials) and ASTM D698 (American standard testing methods).
  - c. Cut slopes shall be no steeper than two horizontal to one vertical (2:1). Subsurface drainage shall be provided as necessary for stability.
  - d. Fill slopes shall be no steeper than three horizontal to one vertical (3:1). Neither cut nor fill slopes shall be located on natural slopes of three to one (3:1) or steeper, or where fill slope toes out

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|             |   |   |                | within twelve feet (12') horizontally of the top and existing or                  |
|             |   |   |                | planned cut slope.  |
|             |   |   |                | e. Toes of cut and fill slopes shall be set back from property boundaries a       |
|             |   |   |                | distance of three feet (3'), plus one-fifth (1/5) of the height of the cut or     |
|             |   |   |                | the fill, but may not exceed a horizontal distance of ten feet (10'); tops        |
|             |   |   |                | and toes of cut and fill slopes shall be set back from structures at a            |
|             |   |   |                | distance of at least six feet (6'), plus one-fifth (1/5) of the height of the cut |
|             |   |   |                | or the fill. Additional setback distances shall be provided as necessary to       |
|             |   |   |                | accommodate drainage features and drainage structures.                            |
|             |   |   | Staff Analysis | The site improvement plans shown on sheet C1.00, C1.10, and C1.10 of the          |
|             |   |   |                | project plans included in the Design Review project plan set show all             |
|             |   |   |                | proposed cut, fill, grading, and drainage improvements. The project shall         |
|             |   |   |                | meet all cut, fill, and grading standards.  |
| $\boxtimes$ |   |   | 16.04.040.O    | Drainage Improvements: The subdivider shall submit with the preliminary           |
|             |   |   | 10.04.040.0    | plat application such maps, profiles, and other data prepared by an               |
|             |   |   |                | engineer to indicate the proper drainage of the surface water to natural          |
|             |   |   |                | drainage courses or storm drains, existing or proposed. The location and          |
|             |   |   |                | width of the natural drainage courses shall be shown as an easement               |
|             |   |   |                | -   |
|             |   |   |                | common to all owners within the subdivision and the city on the                   |
|             |   |   |                | preliminary and final plat. All natural drainage courses shall be left            |
|             |   |   |                | undisturbed or be improved in a manner that will increase the operating           |
|             |   |   |                | efficiency of the channel without overloading its capacity. An adequate           |
|             |   |   |                | storm and surface drainage system shall be a required improvement in all          |
|             |   |   |                | subdivisions and shall be installed by the subdivider. Culverts shall be          |
|             |   |   |                | required where all water or drainage courses intersect with streets,              |
|             |   |   |                | driveways or improved public easements and shall extend across and                |
|             |   |   |                | under the entire improved width including shoulders.                              |
|             |   |   | Staff Analysis | As shown on sheet C1.10 of the project plans, on-site stormwater drainage         |
|             |   |   |                | will be directed to a system of drywells and catch basins installed on site.      |
|             |   |   |                | Roof drainage will slope down (see roof plan on sheet A.6) to roof drain          |
|             |   |   |                | downspouts routed to drywells and catch basins (see sheet C1.10). All roof        |
|             |   |   |                | drain locations must be shown on the project plans submitted with the             |
|             |   |   |                | building permit application for final review and approval by the City             |
|             |   |   |                | Engineer.   |
|             |   |   |                | Pursuant to recommended condition of approval #3 for Design Review File           |
|             |   |   |                | No. P25-033 , the applicant shall submit final civil drawings prepared by an      |
|             |   |   |                | engineer registered in the State of Idaho that provide specifications for all     |
|             |   |   |                | drainage improvements, for review and approval by the City Engineer prior         |
|             |   |   |                | to issuance of a building permit for the project.                                 |
| $\boxtimes$ |   |   | 16.04.040.P    | Utilities: In addition to the terms mentioned in this section, all utilities      |
| <u> </u>    |   |   |                | including, but not limited to, electricity, natural gas, telephone and cable      |
|             |   |   |                | services shall be installed underground as a required improvement by the          |
|             |   |   |                | subdivider. Adequate provision for expansion of such services within the          |
|             |   |   |                | Subdivider. Adequate provision for expansion of such services within the          |

|  |             |                | subdivision or to adjacent lands including installation of conduit pipe across and underneath streets shall be installed by the subdivider prior to construction of street improvements.   |
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|  | $\boxtimes$ | Staff Analysis | The site improvement plan shows the proposed location of the new transformer that is required to be installed to serve the proposed development. The transformer is proposed to be installed on the subject property adjacent to the 2nd Street sidewalk. Siting the transformer along the 2nd Street frontage frees up space along the alley to provide a parking space for each residential unit. The transformer is proposed to be screened from public view along the 2nd Street sidewalk with a metal gate. The power meters are proposed to be installed on west side of the south carport building, the east side of building 3, the north side of building 1, and the south side of building 2. None of the proposed power meter locations are visible from view along Leadville Avenue or 2nd Street  Off Site Improvements: Where the offsite impact of a proposed |
|  | X           | 16.04.040.Q    | subdivision is found by the commission or council to create substantial additional traffic, improvements to alleviate that impact may be required of the subdivider prior to final plat approval, including, but not limited to, bridges, intersections, roads, traffic control devices, water mains and facilities, and sewer mains and facilities.   |
|  |             | Staff Analysis | This standard is not applicable as this project proposes combining two existing lots within the original Ketchum Townsite. Off-site improvements are not required or proposed with this project.   |
|  |             | 16.04.040.R    | Avalanche And Mountain Overlay: All improvements and plats (land, planned unit development, townhouse, condominium) created pursuant to this chapter shall comply with City of Ketchum Avalanche Zone District and Mountain Overlay Zoning District requirements as set forth in Title 17 of this Code.  |
|  |             | Staff Analysis | This standard is not applicable as the project is not located in the avalanche zone or mountain overlay.   |
|  | ⊠           | 16.04.040.S    | Existing natural features which enhance the attractiveness of the subdivision and community, such as mature trees, watercourses, rock outcroppings, established shrub masses and historic areas, shall be preserved through design of the subdivision.   |
|  |             | Staff Analysis | This standard is not applicable as this project proposes combining two existing lots within the original Ketchum Townsite.   |