

CITY OF KETCHUM

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STAFF REPORT KETCHUM PLANNING AND ZONING COMMISSION REGULAR MEETING OF APRIL 9, 2024

PROJECT: Warm Springs Ranch Residences Lot 33

FILE NUMBER: P23-018

APPLICATION TYPE: Design Review

REPRESENTATIVE: John Shirley – Think Architecture (architect)

PROPERTY OWNER: Brennan Holdings No. 300 LLC

REQUEST: Design Review application for the development of a new single-family residence.

LOCATION: 170 Bald Mountain Road (Lot 33, Block 4, Warm Springs Ranch Residences)

ZONING: General Residential – Low Density (GR-L)

OVERLAY: None

REVIEWER: Paige Nied – Associate Planner

NOTICE: A public hearing notice for the project was mailed to all owners of property

within 300 feet of the project site and all political subdivisions on March 20, 2024. The public hearing notice was published in the Idaho Mountain Express on March 20, 2024. A notice was posted on the project site and the City's website on April 2, 2024. Story poles were documented on the project site as of April 2,

2024.

I. EXECUTIVE SUMMARY:

The initial design review application included four applications for single family residences on Lots 32-35 of the Warm Springs Ranch Residences Subdivision. Pursuant to Ketchum Municipal Code (KMC) §17.96.010.B.1, single family residences (that are not within the Mountain Overlay Zone District) are exempt from design review. However, the Warm Springs Ranch Residences Subdivision, which was platted in 2021, includes plat note #22 which states, "Development on Lots 32, 33, 34, and 35 shall be subject to the standards of Ketchum Municipal Code, Chapter 17.96, Design Review." This plat note was added to ensure that the development of Lots 32-35 has a minimal visual impact to the Warm Springs Road view corridor. The Planning and Zoning Commission reviewed the proposed developments on Lots 32-35 for the first time during their regular meeting on September 12th, 2023 (see Attachment G for the staff report). The Commission and the public expressed concerns regarding visual impact to the Warm Springs Road view corridor from the height of the residence on Lot 33 and

the height of the landscaping on Lots 32-34. The Commission approved the design review application for Lot 35 only and moved to continue the design review applications for Lots 32-34.

The Commission reviewed the development proposals for Lots 32-34 for the second time during their regular meeting on October 10, 2023 (see Attachment H for the staff report). At the October 10th meeting, the public reiterated their concern from the first meeting regarding the building height of the structure on Lot 33 impacting the view corridor. Additionally, concerns were raised about the boxy design and lack of visual interest of the structure on Lot 33 from Warm Springs Road. The Commission felt that the height of the proposed landscaping was adequately addressed and was appreciative of the reduction in height of the structure on Lot 33. However, they remained of the opinion that its height continued to impact the Warm Springs Road view corridor. The Commission also concurred with the public's concerns regarding the design's massing and lack of visual relief on the rear of the structure.

Upon review of the application materials, staff and applicant presentation, and public comment, the Commission approved the Design Review applications for Lots 32 and 34. The Commission moved to continue the Design Review application for Lot 33 and requested the applicant provide the following information:

- Reduce the building height to mitigate the visual impact along the Warm Springs view corridor.
- Analyze the design to provide relief of bulk and flatness on the rear of the structure along Warm Springs Road.

The applicant has provided two redesigned development proposals for the Commission's consideration (Attachments B and C), along with supplemental documentation to address comments provided by the Commission (Attachment A). The development proposals herein are referred to as "Redesign #1" and "Redesign #2". Redesign #1 addresses the concerns regarding height and massing raised by the public and the Commission at the previous meeting. The second design option, Redesign #2, addresses the comments related to visual interest as it features a more traditional design, albeit with a slightly taller building height. The revised development proposals include the following changes:

Redesign #1

- Retains flat roofs
- Massing reduced from 3 stories to 2
- Building height reduced by 3'-8" (new maximum building height of 29'-0 ½")
- Chimney height reduced by 4'
- Elevator (and elevator shaft) removed
- Roof parapet is a maximum of 2' above Warm Springs Road curb
- Exterior materials revised to an over grouted natural stone and natural wood in a horizontal lap

Redesign #2

- Features traditional 6:12 pitched roofs with minor flat roof accent areas
- Massing reduced from 3 stories to 2
- Building height reduced by ~1'-4" (new maximum building height of 31'-10 169/256")
- Chimney height reduced by 4'
- Elevator (and elevator shaft) removed
- Roof parapet is a maximum of 5' above Warm Springs Road curb
- Exterior materials revised to an over grouted natural stone and natural wood in a horizontal lap

By providing two design options, the Commission has the opportunity to select a design that minimizes visual impact while maximizing architectural interest. Staff believes that both redesigns address the Commission's concerns and requests for revisions in different ways. Redesign #1 addresses the comment related to height and visibility from Warm Springs Road. However, Redesign #2 provides a more visually interesting architectural design. Therefore, staff recommends the Commission select a design option that best addresses their concerns and approve the Design Review application with conditions.

II. BACKGROUND:

The Planning and Building Department received the Design Review application on March 28, 2023. Following the receipt of the application, staff routed the project plans to all City departments for review. The application was deemed complete on July 28, 2023, after two rounds of review. The Planning and Zoning Commission conducted a public hearing and reviewed the Design Review application for the proposed residence during their regular meetings on September 12, 2023, and October 10, 2023, and moved to continue the Design Review application for Lot 33. Since the hearing, staff have continued to work with the applicant to revise the development proposal.

III. CONFORMANCE WITH ZONING AND DESIGN REVIEW STANDARDS:

Prior to granting Design Review approval, the Commission must determine that the application meets two criteria: (1) the project doesn't jeopardize the health, safety, or welfare of the public, and (2) the project conforms to all Design Review standards and zoning regulations (KMC §17.96.050.A).

Criteria #1: Health, Safety, and Welfare of the Public

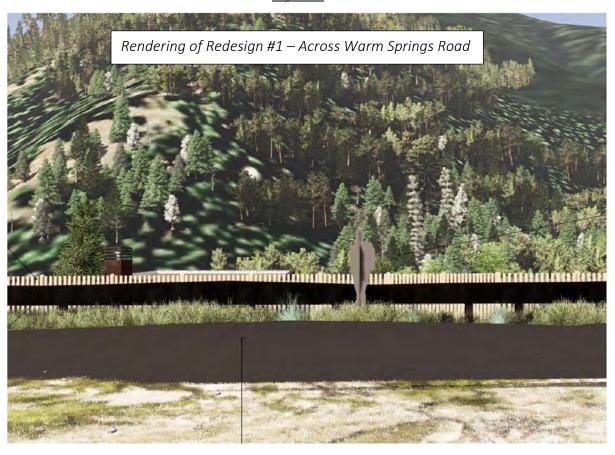
For a full review of Criteria #1, please see the staff report from the September 12th meeting, included as Attachment G. The Comprehensive Plan reads strongly about the protection and enhancement of mountain views and natural features. During the October 10th meeting, the Commission expressed concerns regarding the visual impact to the Warm Springs Road view corridor due to the height of the structure on Lot 33. The previous design for Lot 33 was a three story building with an overall height of 33'-2". Both redesigns reduce the building from three stories to two with slightly different overall heights and roof designs. The plans for Redesign #1 indicate that the building height has been reduced by 3'-8" for a new maximum building height of 29'-0 ½". The building height in Redesign #2 has been reduced by approximately ~1'-4" for a new maximum building height of 31'-10 169/256".

By removing the third story and maintaining a flat roof, the upper roof parapet for Redesign #1 projects 2' above the elevation of Warm Springs Road. For Redesign #2, the main roof gable projects 5' above the elevation of Warm Springs Road and projects 3'-4" at the lower gable ridge line. Despite both redesigns projecting to some degree above Warm Springs Road, the visual impact of the structure will be mitigated in both designs by the existing 2' guardrail along Warm Springs Road and the proposed 4' fence to the rear of the structure. For comparison, the structures on Lots 32, 34, and 35 adjacent to the development, were approved at the previous meetings with the following height projections above the curb on Warm Springs Road:

Lot #	Height Above Warm Springs Road Curb
32	1'-1"
34	1'
35	5'-8"

New renderings of Redesign #1 and #2 of Lot 33, as shown in Figures 1 and 2 below, indicate how the structure will be perceived from neighboring properties across the street as well as looking south on Warm Springs Road. Upon review of the renderings below, staff believes that the visual impact of both designs on Bald Mountain for neighboring properties and looking south will be minimal.

Figure 1



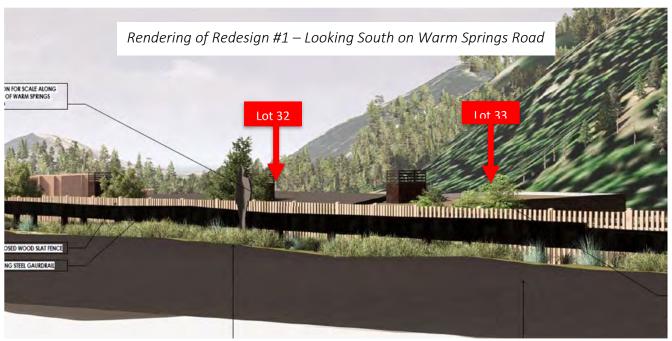
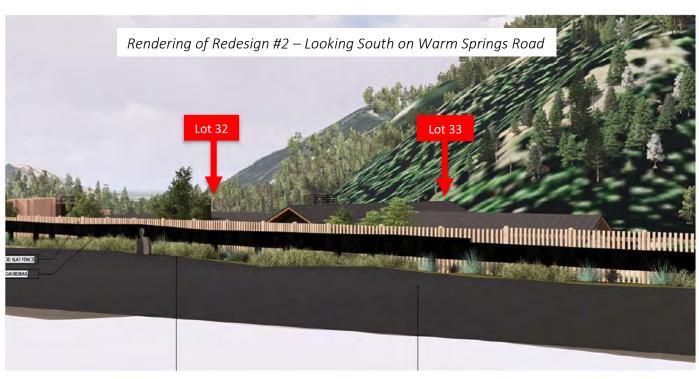


Figure 2:





The height of the roof appurtenances which extend above the roof ridges was also a point of concern and discussion during the previous meetings with the Commission. In conjunction with the reduction in massing and building height, the chimney has also been reduced in height by 4' on both redesigns. The chimney on Redesign #1 is 4'-0 ½" above the roof ridge and the chimney on Redesign #2 is 1'-3" above the roof ridge. In addition, both redesigns indicate that the elevator has been removed. Therefore, there is no longer an elevator shaft which extends above the roof ridge on either design.

Upon review of the redesigned project plans, staff believes that the goals and policies of the comprehensive plan related to the protection of mountain views and scenic areas are met in both redesigns of the project.

Criteria #2: Applicable Standards and Criteria

Conformance with Design Review Improvements and Standards

In addition to building height concerns, the public and Commission expressed concerns regarding the appearance of bulk and flatness of the rear of the structure from the Warm Springs Road vantage point. As previously stated, both redesigns have removed the third story, which has significantly diminished the structure's perceived bulk. In addition, Redesign #2 features pitched roofs to mitigate the appearance of flatness and create more visual interest. This design choice stemmed from the Commission's unanimous support of the more traditional design with pitched roofs on Lot 35. The pitched roof in Redesign #2 will also break up the roof lines of the structures on Lots 32-35 as perceived from Warm Springs Road. This variation in roof design will mitigate a uniform appearance, as well as contribute to increased visual interest.

The comparison provided in Figure 3 below illustrates the improvements made to the rear of the structure in the redesigns from the previous iteration.

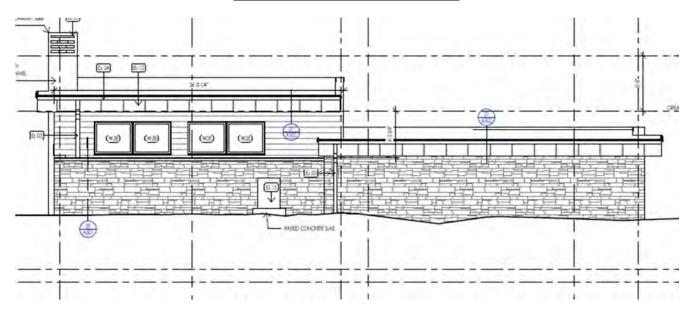


Figure 3: Lot 33 Structure Rear Comparison

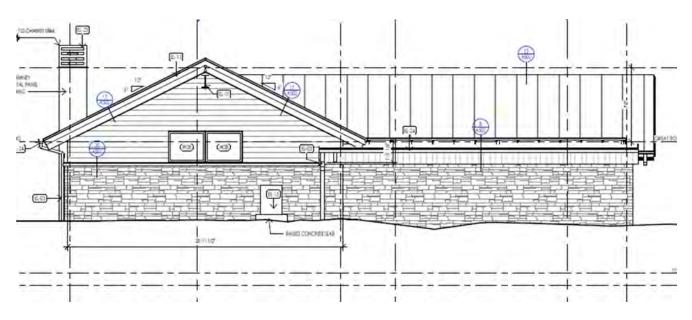
Previous Design – Rear of the Structure

Lot 33, Block 4, Warm Springs Ranch Residences – Design Review Planning & Zoning Commission Meeting of April 9, 2024

Redesign #1 – Rear of the Structure



<u>Redesign #2 – Rear of the Structure</u>



Staff believes that both redesigns reduce the perceived bulk and flatness of the structure and have distinct architectural features that enhance the visual interest from the Warm Springs Road vantage point. The project remains in conformance with all other Design Review improvements and standards requirements.

Conformance with Zoning Regulations

The project plans for Redesigns #1 and #2 remain in conformance with all zoning regulations, including dimensional standards.

STAFF RECOMMENDATION

Staff recommends **approval** of the Design Review application (File No. P23-018) subject to the following conditions:

- 1. This Design Review approval is based on the Redesign #__ project plans for Lot 33 presented at the April 9, 2024, Planning and Zoning Commission meeting. The project plans for all on-site improvements submitted for the building permits must conform to the approved design review plans unless otherwise approved in writing by the Planning and Zoning Commission or Administrator. Any building or site discrepancies which do not conform to the approved plans will be subject to review by the Commission and/or removal.
- 2. The applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho which include specifications for right-of-way, circulation design, utilities, and drainage improvements for review and approval by the City Engineer, Streets, and Utilities departments prior to issuance of a building permit for the project.
- 3. The term of Design Review approval shall be twelve (12) months from the date that the Findings of Fact, Conclusions of Law, and Decision are adopted by the Commission or upon appeal, the date the approval is granted by the Council subject to changes in zoning regulations.
- 4. In addition to the requirements set forth in this Design Review approval, this project shall comply with all applicable local, state, and federal laws.
- 5. Any damage to the right-of-way, including sidewalks, must be reconstructed to City standards at the owner's expense prior to issuance of Certificate of Occupancy.

IV. RECOMMENDED MOTIONS

"I move to approve Redesign #1 of the Lot 33, Block 4, Warm Springs Ranch Residences Design Review application, as conditioned, and direct staff to return with the Findings of Fact."

or

"I move to approve Redesign #2 of the Lot 33, Block 4, Warm Springs Ranch Residences Design Review application, as conditioned, and direct staff to return with the Findings of Fact."

ATTACHMENTS:

- A. Design Review Application and Supplemental Documents
- B. Lot 33 Plan Set Redesign #1
- C. Lot 33 Plan Set Redesign #2
- D. Design Review Standards Analysis
- E. Zoning and Dimensional Standards Analysis
- F. Warm Springs Ranch Subdivision Development Agreement
- G. Staff Report September 12, 2023 Planning and Zoning Meeting
- H. Staff Report October 10, 2023 Planning and Zoning Meeting



Attachment A: Design Review Application and Supplemental Documents



City of Ketchum Planning & Building

OFFICIAL	USE ONLY
File Number:	P23-018
Date Received:	3/28/23
Ву:	HLN
Pre-Application	
Design Review	Fee Paid: \$1400
Approved Date:	
Denied Date:	
Ву:	
ADRE: Yes N	o 🔲

Design Review Application

APPLICANT INFORMATION			
Project Name: Warm springs Lot 33		Phone: 208.1875	
Owner: WSR Development LLC		Mailing Address:	Box 284 sun Valley, Idaho 83353
Email: robert@vpcompanies.com			Box 284 sun Valley, Idano 83353
Architect/Representative: Think Architecture,	John Shirley	Phone: 801.269.0055	
Email:jmshirley@thinkaec.com	NAME OF THE PARTY	Mailing Address:	7 S. High Point Pkwy, Ste 300 Salt Lake City, UT 84094
Architect License Number: #6247466-0301		792	17 S. High Point Pkwy, Ste 300 Salt Lake City, UT 84094
Engineer of Record: Benchmark Associates		Phone: 208-726-9512	
Email: rob@bma5b.com		Mailing Address:) Bell Dr, Ketchum, ID 83340
Engineer License Number:		100	Bell Dr, Ketchum, ID 83340
All design review plans and drawings for public	c commercial projects, resi	dential buildings containing	more than four (4) dwelling units and development
projects containing more than four (4) dwelling	units shall be prepared by a	an Idaho licensed architect o	r an Idaho licensed engineer.
PROJECT INFORMATION			
Legal Land Description: Warm springs Resid	dences Block 4, Lot 33 - RP	K05790040330	
Street Address: 170 Bald Mountain Road			
Lot Area (Square Feet): 8,429 sq. fl.			
Zoning District: GR-L			
Overlay District:	☐ Avalanche	□Mountain	
Type of Construction: ■New	□Addition	□Remodel	□Other
Anticipated Use: Single Family Residence		Number of Resident	ial Units:1
TOTAL FLOOR AREA			
	Proposed		Existing
Basements	1,811	Sq. Ft.	O Sq. Ft.
1 st Floor	1,514	Sq. Ft.	Sq. Ft.
2 nd Floor	663	Sq. Ft.	Sq. Ft.
3 rd Floor		Sq. Ft.	Sq. Ft.
Mezzanine		Sq. Ft.	Sq. Ft.
Total	3,988	Sq. Ft.	Sq. Ft.
FLOOR AREA RATIO			
Community Core:	Tourist:		General Residential-High:
BUILDING COVERAGE/OPEN SPACE			
Percent of Building Coverage: 35% or 2,950	sq. ft. allowed, 2,060 proposed or	24.4% proposed	
DIMENSIONAL STANDARDS/PROPOSE	D SETBACKS		
Front: 15'-0"	de: 10'-0"	Side: 10'-0"	Rear:30'-0"
Building Height: 35'-0" allowed: 34'-7" Proposed			
OFF STREET PARKING			
Parking Spaces Provided: (2) garage spaces. (2	2) driveway stalls		
Curb Cut: 20'-0" Sq. Ft.	931 sq. ft. %		
WATER SYSTEM			
Municipal Service			

The Applicant agrees in the event of a dispute concerning the interpretation or enforcement of the Design Review Application in which the city of Ketchum is the prevailing party, to pay the reasonable attorney fees, including attorney fees on appeal and expenses of the city of Ketchum. I, the undersigned, certify that all information submitted with and upon this application form is true and accurate to the best of my knowledge and belief.

2023.03.01

Signature of Owner/Representative

Date

Once your application has been received, we will review it and contact you with next steps.

No further action is required at this time.

DESIGN REVIEW EVALUATION STANDARDS

(May not apply to Administrative Design Review):

17.96.060: IMPROVEMENTS AND STANDARDS FOR ALL PROJECTS

A. Streets:

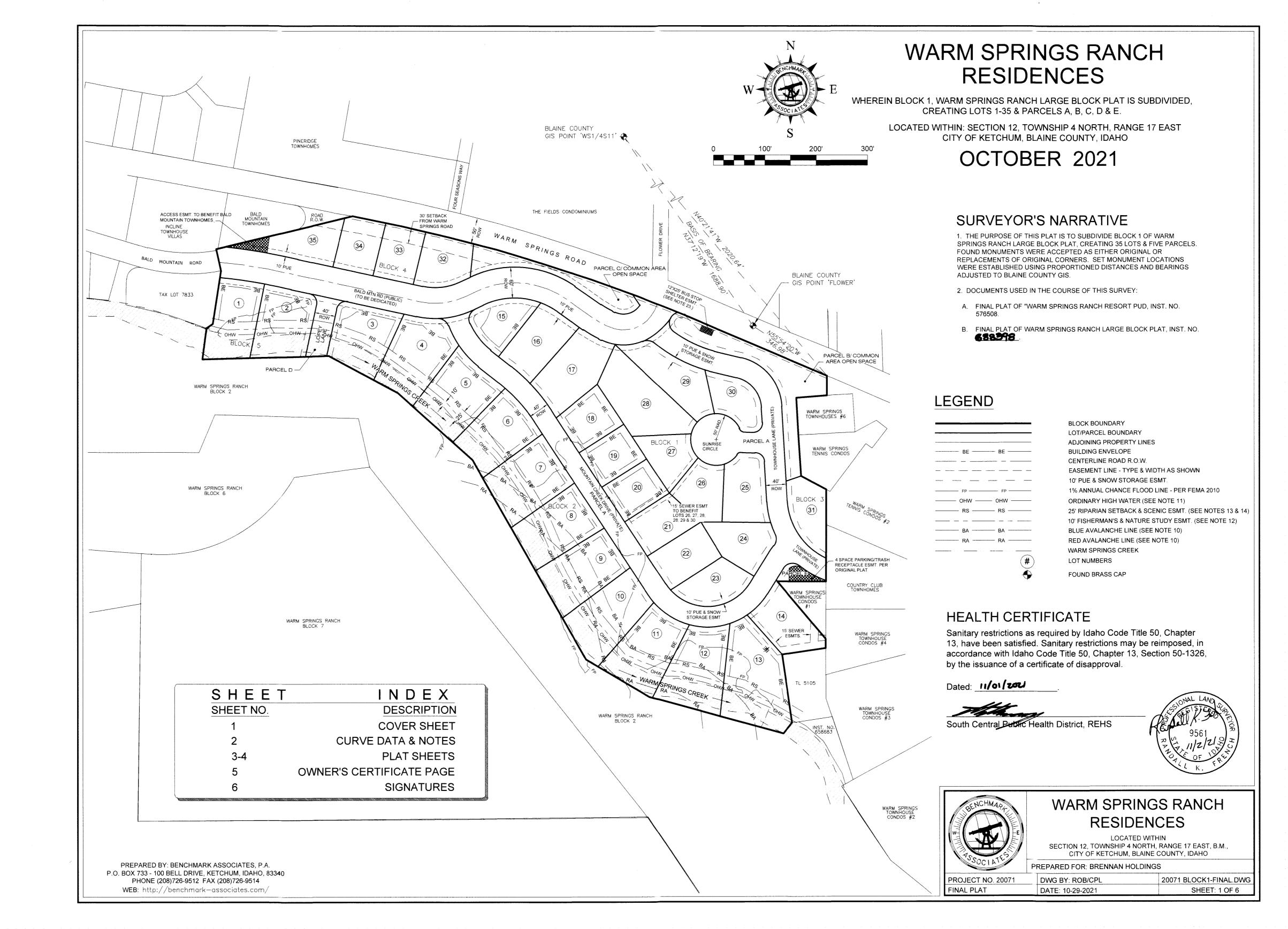
- 1. The applicant shall be responsible for all costs associated with providing a connection from an existing city streets to their development.
- All streets designs shall be in conformance with the right-of-way standards and approved by the Public Works Director.

B. Sidewalks:

- All projects under 17.96.010(A) that qualify as a "Substantial Improvement" shall install sidewalks in conformance with the right-of-way standards. Sidewalk improvements may be waived for projects that qualify as a "Substantial Improvement" which comprise additions of less than 250 square feet of conditioned space.
- 2. The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.
- New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.
- 4. The city may approve and accept voluntary cash contributions in-lieu of the above described improvements, which contributions must be segregated by the city and not used for any purpose other than the provision of these improvements. The contribution amount shall be one hundred ten percent (110%) of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the Public Works Director. Any approved in-lieu contribution shall be paid before the city issues a certificate of occupancy.

C. Drainage:

- 1. All storm water shall be retained on site.
- Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.
- The Public Works Director may require additional drainage improvements as necessary, depending on the unique characteristics of a site.



WARM SPRINGS RANCH RESIDENCES OCTOBER 2021

LINE DATA:

LI		UA	IA:
LINE	BFA	RING	DISTANCE
L1		88'03"E	60.91'
L2	N53°5	0'54"E	14.14'
L3		50'54"E	13.38'
<u>L4</u>		5'45"W	17.44'
L5		5'45"W	
L6 L7		0'13"W 0'59"E	
L8		8'13"W	38.17' 59.78'
L9		013 VV	
L10		0'15"W	55.18' 69.10'
L11		6'51''W	65.21'
L12		6'51''W	43.15'
L13		6'51"W	
L14		4'14''W	
L15		0'11"W 1'40"W	
L17	N64°4	8'59"E	26.81' 23.06'
L18		6'51"E	61.68'
L19		7'55"E	5.88'
L20	S77°4	8'37"E	69.63'
L21	S77°4	8'37"E	79.97'
L22	S77°4	8'37"E	80.09'
L23		8'37"E	19.11'
L24		8'59"E	23.06'
L25 L26		6'51"E 7'55"E	61.68'
L27		7 55 E	5.81' 25.30'
L28	\$77°4	8'37"E	35.52'
L29	S77°4	8'37"E	78.00'
L30	S77°4	8'37"E	111.56'
L31	S77°4	8'37"E	24.28'
L32	N64°4	8'59"E	4.49'
L33	N64°4		18.56'
L34 L35	S54°4		52.72'
L36	S54°4		8.96' 5.92'
L37	N11°5	2'53"E	102.14'
L38	N11°5	2'53"F	92.19'
L39	S51°4		50.81'
L40	S33°2	5'05"E	28.24'
L41	S33°2		114.02'
L42	S33°2		104.81'
L43	S33°2		92.28'
L44 L45	S33°25	0'05"E	65.16'
L45	N32°0′ N32°0′	1 13 E	32.63' 26.22'
L48	S03°26	3'00"E	38.49'
L49	S03°26		145.28'
L50	S76°20		54.53'
L51	S76°20)'34"E	54.93'
L52	S03°26		29.18'
L53	S03°26	3'00"E	78.53'
L54	S31°59		54.38'
L55	S31°59		15.59'
L56 L57	N33°25 N33°25		65.61' 80.01'
L58	N33°25		80.46'
L59	N33°25	'05''W	79.93'
L60	N33°25 N33°25	'05''W	81.62'
L61	N33°25	'05''W	16.88'
L62	N51°44		31.52'
L63	N51°44	23"W	19.29'
L64 L65	N11°15 N24°55		146.40'
L66	N37°14	132"F	141.27' 147.90'
L67	N44°25	56"F	147.90
L68	N53°25		143.82'
L69	N54°56	110"E	150.91'
L70	N58°19		157.20'
L71	N53°26		164.33'
L72 L73	N41°15 N26°50		165.04'
L73	N26°50 N06°09		158.19'
L74	N41°28		180.63' 102.11'
L76	N40°04'		3.77'
L77	N71°49	'36"E	31.18'
L78	N57°36	'11"E	102.92'
L79	N57°55		102.98'
L80	N57°34		103.00'
L81	S43°37		42.90'
L82	N08°15	00 E	32.91'

CURVE DATA:

CURVE C1	3205.76	ARC LENGIF	H CHORD BEARING	DELTA ANGLE	
C2		674.43'	S73°28'04"E	12°03'14"	673.19'
C3	3205.76'	66.21'	N78°54'11"W	1°11'00"	66.21'
	3205.76'	79.63'	N77°36'00''W	1°25'24"	79.63'
C4	3205.76'	95.82'	N76°01'55"W	1°42'46"	95.82'
C5	3205.76'	324.87'	N72°16'21"W	5°48'23"	324.73'
<u>C6</u>	3205.76'	51.18'	N68°54'43"W	0°54'53"	51.18'
C7	3205.76'	44.43'	N68°03'27"W	0°47'39"	44.43'
C8	3205.76'	12.29'	N67°33'02"W	0°13'11"	12.29'
C9	1084.15'	148.51'	S80°39'07"E	7°50'55"	148.40'
C10	142.44'	92.92'	N83°30'11"E	37°22'24"	91.28'
C11	173.57'	182.98'	S84°58'56"E	60°24'10"	174.62'
C12	177.25'	30.10'	S59°38'45"E	9°43'49"	
C13	68.52'	119.46'	N65°21'10"E		30.06'
C14	1114.15'			99°53'55"	104.90'
C15	112.44'	143.36'	S80°25'43"E	7°22'20"	143.26'
C16		73.35'	N83°30'11"E	37°22'24"	72.05'
	203.57'	214.61'	S84°58'56"E	60°24'10"	204.80'
C17	147.25'	25.18'	S59°40'50"E	9°47'58"	25.15'
C18	38.52'	55.40'	N73°48'01"E	82°24'13"	50.74'
C19	1054.15'	87.98'	S81°56'56"E	4°46'54"	87.95'
C20	1054.15'	52.36'	N78°08'07"W	2°50'44"	52.35'
C21	172.44'	42.06'	S84°47'53"E	13°58'33"	41.96'
C22	172.44'	70.42'	N76°30'55"E		
C23	143.57'	114.52'		23°23'51"	69.93'
C24	143.57		S87°40'09"W	45°42'19"	111.51'
		36.83'	N62°07'46"W	14°41'51"	36.73'
C25	207.25'	35.00'	S59°37'09"E	9°40'36"	34.96'
C26	98.52'	27.63'	S72°35'02"E	16°04'14"	27.54'
C27	98.52'	54.17'	N83°37'48"E	31°30'06"	53.49'
C28	135.32'	71.67'	N50°09'53"E	30°20'37"	70.83'
C29	21.00'	20.04'	N54°53'36"E	54°40'16"	19.29'
C30	19.00'	29.74'	S32°57'52"E	89°41'29"	
C31	19.00'	29.95'	N57°02'08"E		26.80'
C32	21.00'	26.14'		90°18'31"	26.94'
C33			S56°07'35"E	71°19'09''	24.48'
	182.60'	43.73'	S27°19'39"E	13°43'18"	43.63'
C34	182.60'	55.94'	S42°57'50"E	17°33'05"	55.72'
C35	321.50'	16.79'	S50°14'35"E	2°59'35"	16.79'
C36	321.50'	86.01'	S41°04'56"E	15°19'43"	85.76'
C37	137.00'	16.87'	S36°56'42"E	7°03'15"	16.86'
C38	137.00'	82.47'	S57°43'03"E	34°29'27"	81.23'
C39	137.00'	80.24'	N88°15'21"E	33°33'32"	
C40	137.00'	37.59'	N63°36'57"E	77 77 72	79.10'
C41	137.00'	56.83'		15°43'16"	37.47'
C42	21.00'		N43°52'19"E	23°45'59"	56.42'
		35.65'	N80°38'43"E	97°15'12"	31.52'
C43	173.00'	59.82'	S60°38'05"E	19°48'47"	59.53'
C44	133.00'	141.57'	S33°55'41"E	60°59'22"	134.98'
C45	103.00'	131.07'	N39°53'17"W	72°54'34"	122.40'
C46	235.73'	87.72'	N64°28'51"W	21°19'17"	87.22'
C47	21.00'	29.83'	N13°07'52"W	81°22'41"	27.38'
C48	21.00'	32.84'	N20°00'48"E	89°36'24"	29.60'
C49	24.00'	25.82'	S81°18'03"E	61°38'25"	24.59'
C50	275.73'	111.05'	S62°01'06"E	23°04'33"	
C51	275.73'	8.06'	S74°23'39"E		110.30'
C52	63.00'			1°40'32"	8.06'
		80.17'	S39°53'17"E	72°54'34"	74.87'
C53	18.00'	29.13'	S42°55'35"W	92°43'10"	26.05'
C54	180.00'	19.83'	N87°33'27"W	6°18'46"	19.82'
255	5.00'	3.98'	N61°36'52"W	45°34'23"	3.87'
C56	26.00'	5.95'	S32°16'24"E	13°06'35"	5.94'
C57	50.00'	59.13'	N59°35'47''W	67°45'21"	55.74'
C58	50.00'	38.57'	S64°25'39"W	44°11'46"	37.62'
C59	50.00'	25.29'	S27°50'24"W	28°58'43"	25.02'
260	50.00'	50.99'	S15°52'00"E	58°26'07"	
261	50.00'	55.76'			48.81'
262	50.00'		S77°02'01"E	63°53'55"	52.92'
		30.38'	N53°36'41"E	34°48'41"	29.91'
263	26.00'	4.26'	N40°54'10"E	9°23'40"	4.26'
264	5.00'	4.38'	N70°40'35"E	50°09'11"	4.24'
265	220.00'	28.17'	S87°54'53"E	7°20'08"	28.15'
266	18.00'	27.69'	S47°30'29"E	88°08'57"	25.04'
267	173.00'	40.76'	S10°11'00"E	13°30'00"	40.67'
268	173.00'	24.65'	S21°00'56"E	8°09'51"	
269	21.00'	23.68'	S07°12'13"W		24.63'
270	120.00'	15.74'		64°36'08"	22.44'
			S35°44'48"W	7°30'57"	15.73'
271	97.00'	179.57'	S85°01'19"W	106°03'57"	155.00'
272	97.00'	14.44'	N37°40'54"W	8°31'38"	14.42'
273	361.50'	67.39'	N38°45'30"W	10°40'50"	67.29'
274	361.50'	48.21'	N47°55'09"W	7°38'28"	48.17'
275	142.60'	67.07'	N38°15'53"W	26°56'59"	66.46'
	1114.15'	83.02'			JU.7U

NOTES:

- 1. REFER TO THE PLAT OF WARM SPRINGS RANCH LARGE BLOCK PLAT, INST. NO. 688398 , FOR CONDITIONS, RESTRICTIONS, EASEMENTS & PLAT NOTES AFFECTING THIS PROPERTY
- 2. THE DECLARATION ESTABLISHING COVENANTS, CONDITIONS, AND RESTRICTIONS FOR THE WARM SPRINGS RANCH SUBDIVISION HOMEOWNERS ASSOCIATION IS RECORDED UNDER INST. NO. 688400 , RECORDS OF BLAINE COUNTY, IDAHO.
- 3. REFER TO THE WARM SPRINGS RANCH REZONE AND DEVELOPMENT AGREEMENT RECORDED AS INSTRUMENT NO. 682013, RECORDS OF BLAINE
- 4. CURRENT ZONING FOR THIS SUBDIVISION IS GENERAL RESIDENTIAL LOW-DENSITY (GR-L).
- 5. PARCELS A & D ARE PRIVATE ROADS AND SHALL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION. PRIVATE ROADS SHALL MAINTAIN A FREE AND CLEAR WIDTH OF 26 FEET FOR EMERGENCY VEHICLES. A 40-FOOT-WIDE ACCESS AND PUBLIC UTILITY EASEMENT TO BENEFIT WARM SPRINGS RANCH LARGE BLOCK PLAT BLOCKS 2-7 IS GRANTED WITHIN PARCELS A & D AS SHOWN HEREON. A 10-FOOT WIDE SNOW STORAGE AND UTILITY EASEMENT IS GRANTED ADJACENT TO ALL PRIVATE ROAD PARCELS. NO PUBLIC PARKING IS PERMITTED IN PARCELS A & D.
- 6. PARCELS B & C ARE COMMON AREA OPEN SPACE AND SHALL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION. SNOW STORAGE IS GRANTED WITHIN ALL OF PARCELS B & C.
- 7. A PUBLIC UTILITY EASEMENT IS GRANTED WITHIN ALL OF PARCELS A, B, C & D.
- 8. PARCEL D IS DEDICATED AS A PUBLIC PEDESTRIAN EASEMENT FOR ACCESS TO THE 10' FISHERMAN'S AND NATURE STUDY EASEMENT.
- 9. THE ACCESS AND PUBLIC UTILITY EASEMENT BENEFITING THE COUNTRY CLUB TOWNHOMES AND WARM SPRINGS TOWNHOUSE CONDOMINIUMS KNOWN AS TOWNHOUSE LANE IS RELOCATED WITHIN PARCEL A AS SHOWN HEREON.
- 10. AVALANCHE WARNING: PORTIONS OF THE WARM SPRINGS RANCH CONTAIN AVALANCHE HAZARDS. THESE HAZARDS ARE INDENTIFIED ON THIS PLAT AND ARE DERIVED FROM THE AVALANCHE HAZARD AND MAPPING ANALYSIS: WARM SPRINGS RANCH, PREPARED BY ARTHUR MEARS, P.E., INC. IN APRIL, 2001. THE CURRENT CONDITIONS ARE SUBJECT TO CHANGE DUE TO HUMAN ACTIVITY OR NATURAL OCCURRENCES. A SITE SPECIFIC AVALANCHE STUDY MAY BE PERFORMED AND COULD CHANGE THE HAZARD BOUNDARY. ANY CONSTRUCTION IN THE AVALANCHE OVERLAY ZONE SHALL MEET THE REQUIREMENTS OF KETCHUM ZONING CODE CHAPTER 17.92.
- 11. ORDINARY HIGH WATER DELINEATION PER SAWTOOTH ENVIRONMENTAL CONSULTING, LLC, JUNE 2020. PERMITS MAY BE REQUIRED FROM LOCAL, STATE OR FEDERAL AGENCIES PRIOR TO CONSTRUCTION, EXCAVATION OR FILL ACTIVITIES.
- 12. A 10-FOOT WIDE FISHERMAN'S/SPORTSMAN'S AND NATURE STUDY EASEMENT IS GRANTED ON BOTH SIDES OF THE CREEK FROM THE ORDINARY HIGH-WATER MARK ON WARM SPRINGS CREEK AND SHALL BE OPEN TO THE PUBLIC AFTER SUNRISE AND BEFORE SUNSET IN ACCORDANCE WITH APPLICABLE REGULATIONS OF THE IDAHO DEPARTMENT OF FISH AND GAME. PUBLIC FISHING ACCESS SHALL BE AVAILABLE FROM BLOCK 2 AND ACCESSED FROM PARCEL D OF THE SUBDIVISION. THE LOCATION OF SAID EASEMENT SHALL SHIFT IN ACCORDANCE WITH THE LOCATION OF THE ORDINARY HIGH WATER
- 13. A 25-FOOT WIDE RIPARIAN SETBACK AND SCENIC EASEMENT IS GRANTED ALONG THE NORTH BANK OF WARM SPRINGS CREEK AS SHOWN HEREON. LOCATION OF SAID EASEMENT SHALL SHIFT IN ACCORDANCE WITH THE LOCATION OF THE ORDINARY HIGH WATER MARK.
- 14. THE RIPARIAN ZONE IDENTIFIED WITHIN THIS SUBDIVISION SHALL BE DESIGNATED AS AN EASEMENT GOVERNED AND MANAGED BY AN OWNERS ASSOCIATION (HOA) TO ENSURE FUTURE MODIFICATIONS TO THE RIPARIAN ZONE AND THE STREAM BANK DO NOT OCCUR INDIVIDUALLY BUT OCCUR IN A COMPREHENSIVE COORDINATED APPROACH. PRIOR TO ANY MODIFICATION TO THE RIPARIAN ZONE OR STREAM BANK, AN OVERALL PLAN MUST BE DEVELOPED AND APPROVED BY KETCHUM. KETCHUM WILL NOT UNREASONABLY WITHHOLD, CONDITION, OR DELAY APPROVAL OF SUCH PLAN. ANY RIPARIAN AND STREAM BANK ALTERATIONS MUST CONFORM TO THE APPROVED PLAN.

- 15. FLOODPLAIN: THE 1% CHANCE OF FLOOD LINE (FP), AS DESIGNATED ON THIS MAP IS CONSIDERED REASONABLE FOR REGULATORY PURPOSES. HOWEVER, BENCHMARK ASSOCIATES DOES NOT REPRESENT, GUARANTEE, WARRANT NOR IMPLY THAT AREAS OUTSIDE OF THE DESIGNATED FLOOD PLAIN AREA ARE SAFE AND FREE FROM FLOODS OR FLOOD DANGER. FLOOD INFORMATION IS BASED ON THE FLOOD INSURANCE STUDY FOR: BLAINE COUNTY, IDAHO, UNINCORPORATED AREAS) KETCHUM COMMUNITY NUMBER 160023 - PANEL NO. 0434 E - NOVEMBER 26, 2010.
- 16. FLOODPLAIN LINES, ORDINARY HIGH WATER AND SETBACKS ARE SUBJECT TO CHANGE WITH UPDATED FLOOD STUDIES BY FEMA AND CHANGES IN THE COURSE OF THE CREEK OVER TIME. THIS PLAT REFLECTS THE CURRENT CONDITIONS BUT SHOULD NOT BE RELIED UPON AS THE DEFINITIVE SOURCE FOR THIS INFORMATION
- 17. FLOOD WARNING: SHEET FLOODING CAN AND WILL OCCUR ON THE PROPERTY SHOWN HEREON, AND FLOODING MAY EXTEND BEYOND THE FLOODWAY AND FLOODPLAIN BOUNDARY LINES IDENTIFIED.
- 18. ANY DEVELOPMENT WITHIN THE REGULATORY FLOODPLAIN (AS MAY BE AMENDED) SHALL OBTAIN A FLOODPLAIN DEVELOPMENT PERMIT AND COMPLY WITH THE REQUIREMENTS IN KETCHUM ZONING CODE 17.88, AS MAY BE AMENDED.
- 19. DEVELOPMENT IN THIS SUBDIVISION SHALL NOT BE ELIGIBLE FOR VARIANCES OR WAIVERS DUE TO THE CONFIGURATION, SLOPE, OR TOPOGRAPHY OF THE LOT. ALL DEVELOPMENT SHALL COMPLY WITH THE DEVELOPMENT STANDARDS SPECIFIED IN KETCHUM MUNICIPAL CODE AT THE TIME DEVELOPMENT IS PROPOSED.
- 20. LOTS 15, 16 & 17 SHALL BE ACCESSED FROM MOUNTAIN CREEK DRIVE.
- 21. DRIVEWAY ACCESS TO LOTS 32, 33, 34 AND 35 SHALL BE RESTRICTED TO BALD MOUNTAIN ROAD.
- 22. DEVELOPMENT ON LOTS 32, 33, 34 AND 35 SHALL BE SUBJECT TO THE STANDARDS OF KETCHUM MUNICIPAL CODE, CHAPTER 17.96, DESIGN REVIEW. LOTS 32-35 ARE NOT CONSIDERED TO HAVE NATURAL SLOPES OR GRADES FOR PURPOSES OF SUBDIVISION OR ZONING STANDARDS.
- 23. A BUS STOP SHELTER EASEMENT IS GRANTED WITHIN PARCEL B TO BENEFIT MOUNTAIN RIDES AS SHOWN HEREON. THE BUS SHELTER SHALL BE MAINTAINED BY MOUNTAIN RIDES, OR ITS SUCCESSORS.
- 24. A 5-FOOT WIDE PUBLIC UTILITY EASEMENT ADJACENT TO WARM SPRINGS ROAD IS GRANTED AS SHOWN HEREON.
- 25. A 10-FOOT WIDE PUBLIC UTILITY EASEMENT AND SNOW STORAGE EASEMENT ADJACENT TO TOWNHOUSE LANE, MOUNTAIN CREEK DRIVE, SUNRISE CIRCLE & LOPEY LANE IS GRANTED AS SHOWN HEREON.
- 26. AN ACCESS EASEMENT TO BENEFIT BALD MOUNTAIN TOWNHOMES IS GRANTED WITHIN LOT 35, AS SHOWN HEREON.
- 27. A PARKING/TRASH RECEPTACLE EASEMENT IS GRANTED WITHIN PARCEL E, AS SHOWN HEREON.
- 28. A 15-FOOT WIDE SEWER EASEMENT IS GRANTED WITHIN LOTS 20, 21, 26 & 27 TO BENEFIT LOTS 26, 27, 28, 29 & 30 AND THE CITY OF KETCHUM AS SHOWN HEREON
- 29. A 15-FOOT WIDE SEWER EASEMENT IS GRANTED WITHIN LOTS 13 & 14 TO BENEFIT THE CITY OF KETCHUM, AS SHOWN HEREON.
- 30. THE USE OF CHEMICALS, FERTILIZERS, PESTICIDES, HERBICIDES, ETC. IS SUBJECT TO THE RESTRICTIONS IN KETCHUM MUNICIPAL CODE 17.88.040.C.3-6, AND AS MAY
- 31. CONSOLIDATION OF LOTS SHALL BE LIMITED. A MAXIMUM OF EIGHT LOTS MAY BE COMBINED WITH ONLY ONE OTHER LOT TOTALING 16 COMBINED LOTS OUT OF THE 35 LOTS.
- 32. THE PUBLIC SHALL BE PERMITTED ACCESS ON ALL PRIVATE ROADS WITHIN THIS SUBDIVISION FOR THE PURPOSE OF WALKING AND DRIVING. NO PUBLIC PARKING OR OTHER USE SHALL BE PERMITTED ON PRIVATE ROADS. RESIDENT PARKING SHALL BE PERMITTED ON PRIVATE ROADS.





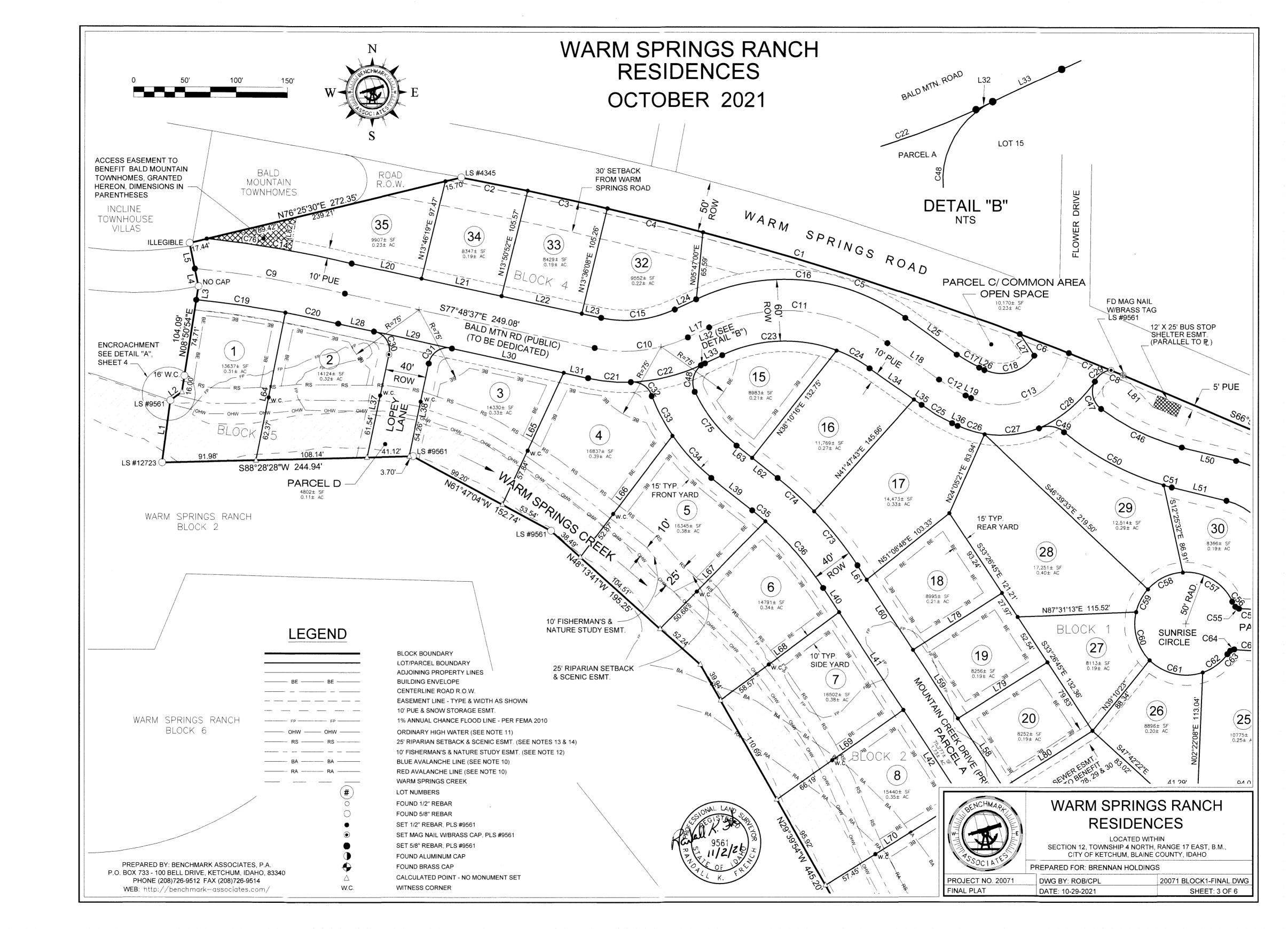
WARM SPRINGS RANCH RESIDENCES

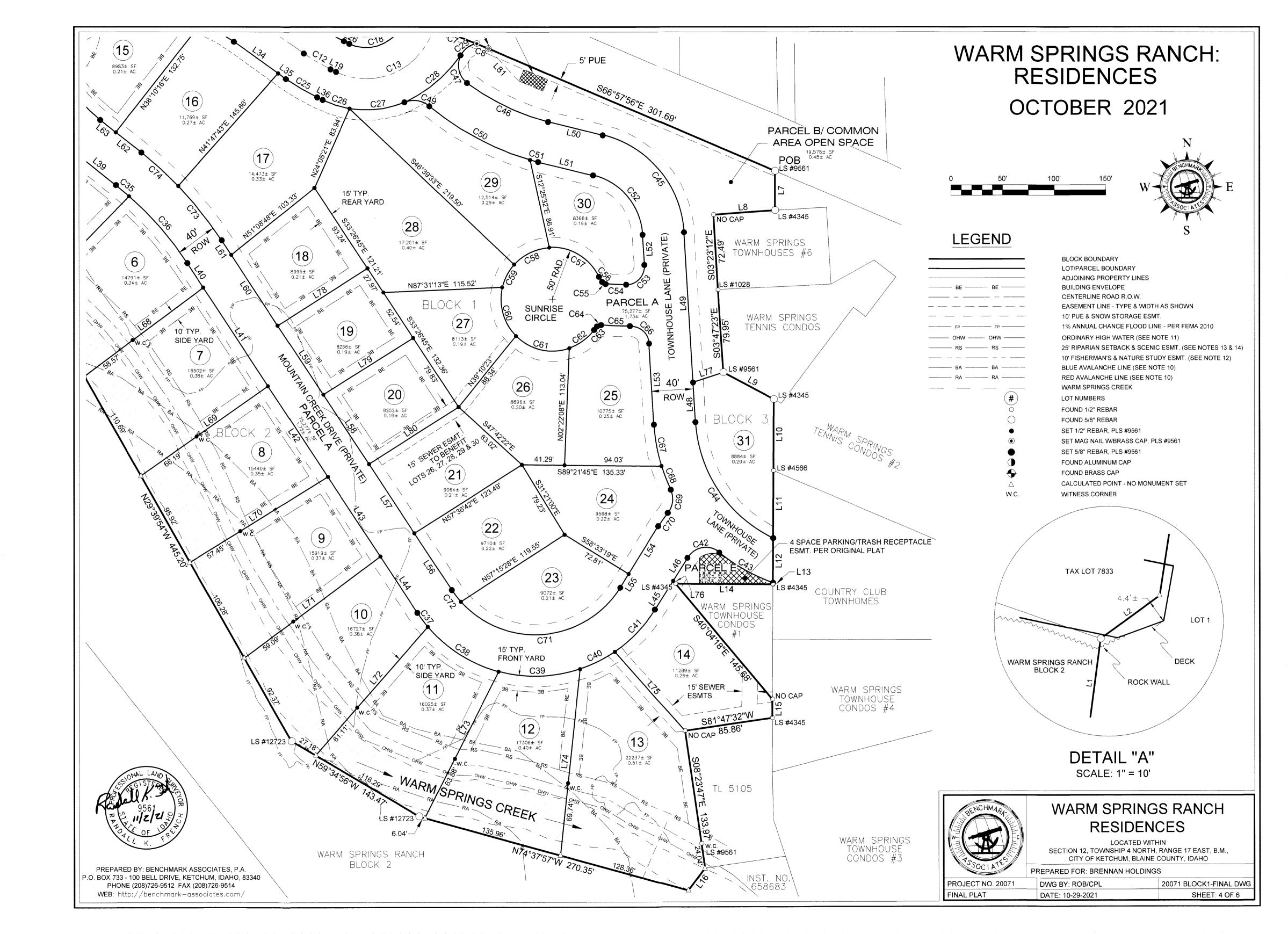
LOCATED WITHIN SECTION 12, TOWNSHIP 4 NORTH, RANGE 17 EAST, B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO

PREPARED FOR: BRENNAN HOLDINGS

PROJECT NO. 20071 FINAL PLAT

DWG BY: ROB/CPL 20071 BLOCK1-FINAL.DWG DATE: 10-29-2021 SHEET: 2 OF 6





WARM SPRINGS RANCH RESIDENCES

OWNER'S CERTIFICATE

THIS IS TO CERTIFY that BRENNAN HOLDINGS NO. 300, LLC, an Idaho Limited Liability Company, is the owner in fee simple of Real Property described as follows:

A parcel of land located within Section 12, Township 4 North, Range 17 East, Boise Meridian. City of Ketchum, Idaho, more particularly described as follows:

Block 1 of WARM SPRINGS RANCH LARGE BLOCK PLAT, as shown on the official plat thereof, recorded as Instrument No. <u>688398</u>, records of Blaine County, Idaho.

The easements shown hereon are not dedicated to the public, but the right to use said easements for the intended purposes is hereby reserved. No structures other than for such utility and other designated uses are to be erected within the lines of said

It is the intention of the undersigned to and they do hereby include said land in

IN WITNESS WHEREOF, I have hereunto set my hand.

BRENNAN HOLDINGS NO. 300, LLC, an Idaho Limited Liability Company

BY: Pabert M. Brehman

Signed this 28th day of October , 2021.

ACKNOWLEDGMENT

STATE OF **IDAHO**

COUNTY OF BLAINE)

On this **28TH** day of **OCTOBER**, in the year of 2021, before me, the undersigned, personally appeared ROBERT M. BRENNAN, known or identified to me (or proved to me), to be the Manager of Brennan Holdings No. 300, LLC, and acknowledged to me that he and said limited liability company executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and official seal the day and year in this certificate first above written.

Commission Expires: <u>9-28-2026</u>



WARM SPRINGS RANCH RESIDENCES

SECTION 12, TOWNSHIP 4 NORTH, RANGE 17 EAST, B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO

PREPARED FOR: BRENNAN HOLDINGS

DATE: OCTOBER 2021 SHEET: 5 OF 6

DWG BY: CPL FILE: 20071-BLOCK1-CRT.DWG

WARM SPRINGS RANCH RESIDENCES

SURVEYOR'S CERTIFICATE

I, Randall K. French, a duly Registered Professional Land Surveyor in the State of Idaho, do hereby certify that this is a true and accurate map of the land surveyed under my direct supervision in accordance with the State of Idaho Code relating to plats and surveys.

RANDALL K. FRENCH, P.L.S. #9561



COUNTY SURVEYOR'S APPROVAL

This is to certify that I, SAM YOUNG, County Surveyor for Blaine County, Idaho, have checked the foregoing plat and computations for making the same and have determined that they comply with the laws of the State of Idaho relating thereto.

CITY ENGINEER'S APPROVAL

_, City Engineer for Ketchum, Idaho do hereby approve the

CITY OF KETCHUM APPROVAL

1, Abby Rivin _____, Planner in and for the City of Ketchum, do hereby certify that the foregoing plat was duly accepted and approved according to the Ketchum Subdivision Ordinance.

TARA FENWICK, City Clerk

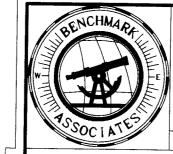


BLAINE COUNTY TREASURER'S CERTIFICATE

On this ____ day of _______, 20_21, the foregoing plat was approved and accepted by the Blaine County Treasurer, Blaine County, Idaho.

Instrument # 688399

HAILEY, BLAINE, IDAHO 11-3-2021 12:15:08 PM No. of Pages: 6



FINAL PLAT

WARM SPRINGS RANCH RESIDENCES

SECTION 12, TOWNSHIP 4 NORTH, RANGE 17 EAST, B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO PREPARED FOR: BRENNAN HOLDINGS

PROJECT NO. 20071 DWG BY: CPL FILE: 20071CRT.DWG

DATE: OCTOBER 2021 SHEET: 6 OF 6





+Architecture

+Landscape Architecture

+Land Planning

+Construction Management

+Interior Design

City of Ketchum P.O. Box 2315 | 191 5th St. West | Ketchum, ID 83340 Planning Department

Attn: Paige Nied, MID Associate Planner

In regard to the Warm Springs Lot 33 Design review submittal. 170 Bald Mountain Road Ketchum, Idaho 83340

The letter is in response to the November Planning commission response to the initial design submittal. It was determined in this meeting that the design submitted had too great a visual impact from the Warm Springs Road looking South. The 3rd story of the home was determined the visual impact and was to be removed.

It is our goal to submit (2) separate roof designs which will allow greater flexibility for a future buyer of the home.

(2) new and different designs have been submitted which will be explained here.

Design 1 with print date 2023.12.06

In this submittal the building mass has been reduced to (2) stories in total. The footprint of the building grew within the allowable buildable area. By removing the 3rd story and maintaining the low pitch roof, the roof parapet is a maximum of 2'-0" above the curb of Warm Springs road. The Warm Springs Road curb is set at 5860'-0". The Upper parapet is at 5862'-0". Warm springs has an existing guardrail of 2' in height. The proposed design maintains the 4'-0" wooden screen fence behind the guardrail. The Proposed building is screened from pedestrians on the North side of the road by the fence and guardrail.

With the lowered building mass, both the main level and upper level of the home are below grade at the north side of the home adjacent Warm Springs Road.

The materials have been revised to an over grouted natural stone in a random lay. Natural wood in a horizontal 6" lap with a dark transparent stain. Exposed steel, window trim, roof fascia are all to be dark bronze.

The civil and landscaping does not modify from the original submittal.

Design 2 with print date 2023.12.27

The footprint of the submittal date 2023.12.06 remains the same with the main difference focused on the roof structure. In this package a traditional 6/12 roof pitch makes up the predominant roof form with minor flat roof areas as accents. The main roof gable runs North to South with focus on the Mountain and forest across the river. This main roof line has a height of 5864'-11" which is roughly 5' above the Warm Springs Road Curb.

The smaller gable form runs East to West. This ridge line has a height of 5863'-4" which is roughly 3'-4" above the Warm Springs Road Curb.

The materials have been revised to an over grouted natural stone in a random lay. Natural wood in a horizontal 6" lap with a dark transparent stain. Exposed steel, window trim, roof fascia are all to be dark bronze.

7927 High Point Parkway Suite 300 Sandy, Utah 84094

www.thinkaec.com

801-269-0055

It is our request to have the planning department review both design submissions and provide feedback. If there are any further questions, please reach out. We thank you for your time.

John M. Shirley AIA Principal Think Architecture



Attachment B: Lot 33 Redesign #1 Plan Set



WARM SPRINGS #33

170 BALD MOUNTAIN ROAD KETCHUM, ID 83340 PROPERTY I.D. NUMBER:

	GENERAL		
SHEET #	SHEET NAME	#	DATE
COVER	COVER SHEET		
G002	GENERAL NOTES		
G003	BUILDING AREA ANALYSIS		
G004	SPECIFICATIONS		
G005	SPECIFICATIONS		
G006	SPECIFICATIONS		
G007	SPECIFICATIONS		
G008	SPECIFICATIONS		
	CIVIL		
SHEET #	SHEET NAME	#	DATE
C101	Civil		
	LANDSCAPE		
SHEET #	SHEET NAME	#	DATE
L101	Landscape		
	ARCHITECTURAL		
SHEET #	SHEET NAME	#	DATE
A101	SITE PLAN		
A103	FOUNDATION PLAN		
A104	LEVEL 1 FLOOR PLAN		
A105	LEVEL 2 FLOOR PLAN		
A107	ROOF PLAN		
A109	LEVEL 1 CEILING PLAN		
A110	LEVEL 2 CEILING PLAN		
A201	EXTERIOR ELEVATIONS		
A202	EXTERIOR ELEVATIONS		
A301	BUILDING SECTIONS		
A302	BUILDING SECTIONS		
A303	BUILDING SECTIONS		
A304	ENLARGED DECK - DETAILS		
A401	FIREPLACE ELEVATIONS		
A501	ARCHITECTURAL DETAILS		
A502	ARCHITECTURAL DETAILS		
A503 A601	STAIR- PLAN-SECTIONS - DETAILS		
ANUI	DOOR SCHEDULE & ELEVATIONS		
A602 A603	DOOR DETAILS WINDOW SCHEDULE & ELEVATIONS		

	STRUCTURAL		
SHEET #	SHEET NAME	#	DATE
\$101	Structural		
	MECHANICAL		
SHEET #	SHEET NAME	#	DATE
M101	MECHANICAL GENERAL NOTES		
M102	MECHANICAL PLAN		
	ELECTRICAL		
SHEET #	SHEET NAME	#	DATE
E101	ELECTRICAL GENERAL NOTES		
E102	ELECTRICAL PLANS		

PROJECT TEAM SEA	GOVERNING BUILDING CODES & INFORMATION	ABBREVIATIONS	GRAPHIC SYMBOLS/ MATERIAL LEGENDS	VICINITY MAP
ARCHITECT: THINK ARCHITECTURE: 7927 SOUTH HIGH POINT WAY, SUITE 300 SANOY, UT 40049 801.269.0055 STRUCTURAL ENGINEER: VECTOR ENGINEERS 1550 S. CLOVEROLE ROAD, SUITE 315 BOSE, ID 883709 208.9796.0030 MECHANICAL ENGINEER: DESIGN BUILD	BUILDING CODE. 2018 INTERNATIONAL RESIDENTIAL CODE (LIC.) WHILD AND SHE ANATOMICS SERVICE AND MINE AND SHE AND SHE AND SHE CODE. SHE CODE. BUILDING CODE. BUILDING PROPERTY. 2018 INTERNATIONAL RESIDENTIAL CODE (LIC.) AMERICA. AMERICA. AMERICA. AND RESIDENTIAL CODE. BUILDING TYPE. BUILDING TYPE. 1776 V.8 RES SPRINGERD. YES BRESTENDED. YES BRESTENDED. HER SPRINGERD. YES BRESTENDED. HER SPRINGERD. YES BRESTENDED. HER SPRINGERD. YES BRESTENDED. HER SPRINGERD. HER SPRINGER	# NUMBER	HOOR OR POINT ELEVATION REY NOTE RESPECTACION KEY NOTE WALL TYPE XXX DOOR NUMBER HIXTURE TAG REVISION TAG LIFS. CONCRETE MASONRY UNIT BRICK VENEER STONE VENEER STONE VENEER STONE VENEER CONCRETE MASONRY UNIT BRICK VENEER STONE VENEER CONCRETE MASONRY UNIT BRICK VENEER STONE VENEER CONCRETE MASONRY UNIT BRICK VENEER STONE VENEER GRAVEL GRAVEL GRAVEL GRAVEL EARTH	PROJECT LOCATION NORTH CITY APPROVAL STAMP
208.725.3923 OWNER:	SPECIAL INSPECTIONS REQUIREMENTS	BUILDING AREAS	OWNER & MUNICIPAL DRAWING APPROVALS	
VP PROPERTIES 240 LEADVILLE KETCHUM, IDAHO 83340 208.726.1875	SPECIAL INSPECTIONS ARE REQUIRED IN ACCORDANCE WITH IBC 2015 CHAPTER 17, SECTION 1704. SPECIAL INSPECTORS SHALL KEEP RECORDS OF INSPECTIONS. THE SPECIAL INSPECTOR SHALL FURNISH INSPECTION REPORTS TO THE BUILDING OFFICIAL, AND TO THE REGISTERED DESIGN PROFESSIONALS IN RESPONSIBLE CHARGE. (2015 IBC SECTION 1704.2.4). SEE PROJECT MANUAL / SPECIFICATIONS, STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL GENERAL NOTES FOR ADDITIONAL SPECIAL INSPECTION REQUIREMENTS.	SEE SHEET G003 FOR AREA PLANS OWNER: CITY PLANNING & ZONING DEPA	DATE: CITY ENGINEER: DATE: TIMENT: DATE: CITY FIRE DEPARTMENT: DATE: DATE: CITY POLICE DEPARTMENT: DATE:	

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Architecture

Architecture
Interior Design
Landscape Architecture
Land Planning
Construction Management

7927 So. Highpoint Parkway, Suite 300 Sandy, Utah 84094 ph. 801.269.0055 fax 801.269.1425 www.thinkaec.com

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These drawings are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors, and office personnel only in accordance with this notice.



WARM SPRINGS RESIDENCE #33

PROJECT NC22023.33

DATE: 2023.11.06

REVISIONS:

SHEET TITLE:
COVER SHEET

SHEET NUMBER:

COVER

ASSEMBLY, APPLICATION, INSTALLATION, AND SIMILAR OPERATIONS, AS APPLICABLE IN EACH INSTANCE.

MEANS TO SUPPLY, PURCHASE, PROCURE AND DELIVER COMPLETE WITH RELATED ACCESSORIES, READY FOR C19. PRODUCT HANDLING:

MEANS TO CONSTRUCT, ASSEMBLE, ERECT, MOUNT, ANCHOR, PLACE, CONNECT, APPLY AND SIMILAR OPERATIONS, COMPLETE WITH RELATED ACCESSORIES, AS APPLICABLE IN EACH INSTANCE.

d. EQUIVALENT: MEANS "EQUIVALENT AS ACCEPTED BY THE ARCHITECT." WITH RESPECT TO PRODUCTS, EQUIVALENT MEANS A LIKE DEGREE OF FEATURES, ATTRIBUTES, PERFORMANCES, OR QUALITIES DEEMED ESSENTIAL TO THE DESIGN INDICATED INSTEAD, THE TERM INTENDED TO MEAN ARCHITECT WILL CONSIDER SUBSTITUTION PROPOSALS FOR THE PRODUCT. DO NOT ASSUME THAT SUBSTITUTE PRODUCTS ARE ACCEPTABLE. SUBSTITUTIONS MADE BY THE CONTRACTOR WITHOUT FULL AND FINAL APPROVAL, MAY REQUIRE TO BE REMOVED IF NOT DEEMED ACCEPTABLE BY THE ARCHITECT. ALL COSTS ASSOCIATED TO REMOVAL OF SUBSTITUTION NOT APPROVED,

GENERAL NOTES

G1. INTENT OF THE DOCUMENTS: DRAWINGS AND SPECIFICATIONS ARE INTENDED TO PROVIDE THE BASIS FOR THE PROPER COMPLETION OF THE PROJECT, SUITABLE FOR THE INTENDED USE OF THE OWNER. ITEMS NOT EXPRESSLY SET FORTH WITHIN THE DRAWINGS AND SPECS, BUT WHICH ARE REASONABLY IMPLIED FOR COMPLETION OF A COMPLETE SYSTEM, OR NECESSARY, FOR THE PROPER PERFORMANCE OF THE WORK SHALL BE INCLUDED.

AND INSTALLATION OF ACCEPTED PRODUCTS WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

G2. DRAWINGS AND SPECIFICATIONS:

SPECIFICATIONS ARE INTENDED TO BE COMPLIMENTARY AND SUPPLEMENTAL TO THE DRAWINGS. NO RELATIVE IMPORTANCE OF DRAWINGS VERSUS SPECIFICATIONS HAS BEEN ESTABLISHED AND NONE SHOULD BE ASSUMED, BUT THE MOST STRINGENT CONDITIONS SHOULD BE ASSUMED FOR ALL BIDDING AND CONSTRUCTION REQUIREMENTS. IN THE EVENT OF DISCREPANCIES OR CONFLICTS, THE ARCHITECT SHALL BE CONSULTED IN ORDER TO RENDER AN INTERPRETATION.

BIDDING, PRICING OR CONSTRUCTION DONE PRIOR TO RECEIVING FINAL BUILDING DEPARTMENT PERMITS IS AT THE CONTRACTORS OWN RISK. CHANGES TO THE DRAWINGS MAY BE REQUIRED AS PART OF THE PLAN CHECK AND/ OR OWNER REVIEW PROCESS. THINK ARCHITECTURE INC. AND ITS CONSULTING ENGINEERS WILL NOT BE HELD LIABLE FOR, NOR COMPENSATE FOR, CHANGES TO THESE DRAWINGS BEFORE FINAL JURISDICTION AND OWNER APPROVAL IS OBTAINED.

G3. WORK NOT INCLUDED: ANY ITEM INDICATED ON THE DRAWINGS AS "N.I.C." (NOT IN CONTRACT), OR OTHERWISE DESIGNATED TO BE DONE BY OTHERS IS NOT A PART OF THE CONTRACT. INSTALLATION AND/OR BACKING MAY BE REQUIRED FOR SOME EQUIPMENT FURNISHED BY OWNER OR OWNER'S SUBCONTRACTOR. REFER TO DRAWINGS FOR SPECIFIC REQUIREMENTS.

G4. CONTRACT DOCUMENTS AT SITE:

G8. FIFI D MEASUREMENTS

THE CONTRACTOR SHALL MAINTAIN CURRENT PERMIT DRAWINGS; SHOP DRAWINGS; REVISED DRAWINGS; AND CLARIFICATION DRAWINGS, ADDENDA; CHANGE ORDERS; BULLETINS; INSPECTIONS; TEST CERTIFICATIONS AND RECORDS; PRODUCT SUBMITTAL DATA AND SAMPLES. FIELD OFFICE SHALL CONTAIN A

C27. SECURITY: CURRENT COPY OF ALL GOVERNING BUILDING CODE(S). MAKE DOCUMENTS AVAILABLE AT ALL TIMES FOR ARCHITECT'S REVIEW. ALL DRAWINGS MUST BE CLEARLY MARKED AS TO THE FINAL APPROVED DRAWINGS.

THE MAINTAIN ACCURATELY DIMENSIONED RECORDS OF ALL UNDERGROUND LINES, SERVICES, AND UTILITIES, AS WELL AS ANY DISCREPANCIES OR REQUIRED CHANGES IN THE CONTRACT DOCUMENTS. AT THE END OF THE PROJECT, FORWARD TO ARCHITECT FOR FUTURE RECORDS. ONE (1) CD OF COMPLETE RECORD DRAWINGS TO OWNER IN PDF FORMAT AFTER COMPLETING FINAL PUNCH LIST.

G6. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED SIZES; DO NOT SCALE DRAWINGS TO DETERMINE ANY

LOCATIONS. THE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES, PRIOR TO CONTINUING WITH WORK.

G7. FIELD CONFIRMATION OF DISCREPANCIES SHALL BE RECORDED ON REPRODUCIBLE DOCUMENT AND IMMEDIATELY TRANSMITTED TO ARCHITECT FOR PROJECT RECORD, COORDINATION, AND NECESSARY RESOLUTION PRIOR TO CONTINUING WITH WORK.

VERIFY FIELD MEASUREMENTS BEFORE ORDERING MATERIALS AND PREFABRICATED ITEMS. ANY NECESSARY ADJUSTMENTS BETWEEN FIELD MEASUREMENTS AND DRAWINGS SHALL BE MADE IN CONSULTATION WITH THE

G9. ALL WORK SHALL CONFORM TO THE LATEST ADOPTED EDITIONS OF ALL APPLICABLE BUILDING CODES, THE AMERICANS WITH DISABILITIES ACT, AS WELL AS ALL OTHER LOCAL GOVERNING CODES AND ORDINANCES.

G10. REFERENCE STANDARDS: COMPLY WITH ASSOCIATION, TRADE, FEDERAL, COMMERCIAL, ASTM, AND OTHER SIMILAR STANDARDS REFERENCED WITHIN INDIVIDUAL SECTIONS, EXCEPT WHERE MORE EXPLICIT OR STRINGENT REQUIREMENTS ARE INDICATED, OR REQUIRED BY APPLICABLE CODES. REFERENCE STANDARDS HAVE SAME FORCE AND EFFECT AS IF BOUND INTO CONTRACT DOCUMENTS. SHOULD SPECIFIED REFERENCE STANDARDS CONFLICT WITH CONTACT DOCUMENTS, REQUEST CLARIFICATION FROM ARCHITECT BEFORE PROCEEDING.

C1. THE CONTRACTOR SHALL BE RESPONSIBLE TO FIELD VERIFY ALL EXISTING SITE CONDITIONS, UTILITIES, CONNECTIONS, LOCATIONS, ETC, AND NOTIFY THE ARCHITECT/ENGINEER OF ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.

C2. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES, WHETHER SHOWN HEREIN OR NOT, AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSE FOR THE REPAIR OR REPLACEMENT OF UTILITIES AND ALL OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH C31. CUTTING AND PATCHING: EXECUTION OF WORK.

C3. CONTRACTOR SHALL, PRIOR TO COMMENCEMENT OF WORK, FIELD VERIFY ALL EXISTING PROJECT CONDITIONS, INCLUDING DIMENSIONS, UTILITY LOCATIONS, AND UTILITY SIZES.

C4. THE CONTRACTOR SHALL BE REQUIRED TO MEET ALL NATIONAL, STATE AND LOCAL, AND RELATED CODES FOR STANDARD CONSTRUCTION PRACTICES.

C5. INSTALLATION STANDARDS: ALL MANUFACTURED MATERIALS AND PRODUCTS SHALL BE APPLIED, INSTALLED, CONNECTED, CLEANED AND CONDITIONED IN ACCORDANCE WITH THE MANUFACTURER'S PRINTED INSTRUCTIONS. ALL REFERENCES TO STANDARDS OR TO MANUFACTURER'S SPECIFICATIONS SHALL BE TO THE LATEST EDITIONS OR LATEST AMENDMENTS.

C6. HOURS OF WORK: ALL DEMOLITION, GRADING, AND CONSTRUCTION WORK SHALL BE LIMITED TO THE FOLLOWING HOURS: MONDAY THROUGH SATURDAY 7:00 AM TO 7:00 PM, OR AS REQUIRED BY THE RVMA AND SUMMIT COUNTY PLANNING AND ZONING. NO ACTIVITIES ON SUNDAY. AFTER-HOURS WORK WILL NOT BE PERMITTED WITHOUT PRIOR WRITTEN APPROVAL FROM THE PERSONS/AGENCIES THAT HAVE JURISDICTION.

C7. TESTING AGENCIES: THE CONTRACTOR SHALL PROVIDE AND PAY FOR INSPECTIONS, TESTS, AND OTHER SERVICES SPECIFIED. refer to individual selections for additional requirements, employment of testing

LABORATORY SHALL IN NO WAY RELIVE CONTRACTOR OF OBLIGATION TO PERFORM WORK IN ACCORDANCE WITH REQUIREMENTS OF CONTRACT DOCUMENTS. C8. PROJECT LOG: MAINTAIN DAILY LOG CONTAINING ALL INFORMATION REGARDING CONSTRUCTION OPERATIONS AND

OTHER OCCURRENCES PERTAINING TO THE PROJECT. MAKE LOG AVAILABLE FOR ARCHITECT'S REVIEW. C9. WORK PROGRESS SCHEDULE:

MAINTAIN AN UPDATED WORK PROGRESS SCHEDULE POSTED IN A VISIBLE PLACE LOCATED IN FIELD OFFICE. UPDATE SCHEDULE DAILY TO REFLECT WORK PROGRESS.

C10. THE GENERAL BUILDING PERMITS SHALL BE PAID FOR BY THE OWNER AND SECURED BY THE GENERAL CONTRACTOR, ALL OTHER REQUIRED PERMITS SHALL BE SECURED AND PAID FOR BY THE CONTRACTOR OR SUBCONTRACTOR DIRECTLY RESPONSIBLE.

C11. CONTRACTOR SHALL ASSIST OWNER IN OBTAINING FINAL APPROVAL OF LOCAL HEALTH DEPARTMENT AND THE TEMPORARY AND FINAL CERTIFICATES OF OCCUPANCY.

C12. ADDITIONAL REQUIRED CITY AND COUNTY LICENSES SHALL BE ACQUIRED AND PAID FOR BY THE INDIVIDUAL

C13. ALL CONTRACTORS SHALL HAVE VALID CERTIFICATES OF WORKMAN'S COMPENSATION OF FILE WITH THE

C14. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE OCCUPANTS AND WORKERS AT ALL TIMES.

PROVIDE AND MAINTAIN A FIELD OFFICE ON THE PREMISES WHERE DIRECTED. OFFICE SHALL BE OF NEAT, SUBSTANTIAL CONSTRUCTION, PROVIDE HANGING PLAN FILES AND MAINTAIN WITH ALL CURRENT

a. STORAGE STRUCTURE:

PROVIDE AND MAINTAIN, WHERE DIRECTED, A WATERTIGHT STORAGE STRUCTURE FOR ALL MATERIALS WHICH MIGHT BE DAMAGED BY WEATHER, INCLUDING STORAGE FACILITIES FOR CONCRETE TEST SAMPLES, OR OTHER MATERIAL SAMPLES REQUIRED FOR WORK.

b. COSTS: PAY COSTS FOR A LOCAL BUSINESS TELEPHONE FOR USE BY CONTRACTOR, OWNER AND ARCHITECT THROUGHOUT CONTRACT PERIOD.

c. COMMUNICATION EQUIPMENT:

PROVIDE A TELEPHONE ON SITE. ASSIGN A RESPONSIBLE PERSON TO ANSWER ALL TELEPHONE CALLS IN EVENT THE SUPERINTENDENT IS ABSENT FROM THE PREMISES. PROVIDE APPROVED MEANS TO ESTABLISH URGENT COMMUNICATIONS (CELLULAR TELEPHONE OR PAGER).

C16. TEMPORARY FACILITIES: PROVIDE TEMPORARY FACILITIES AND CONNECTIONS AS REQUIRED FOR THE PROPER COMPLETION OF THE PROJECT, PROVIDE AND MAINTAIN TEMPORARY UTILITY SERVICES, PROVIDE SUITABLE WASTE DISPOSAL UNITS AND EMPTY REGULARLY. DO NOT PERMIT ACCUMULATION OF TRASH AND WASTE MATERIALS. PROVIDE TEMPORARY SANITARY FACILITIES AS REQUIRED.

C17. STORAGE AND PROTECTION: STORE AND PROTECT PRODUCTS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS WITH LABELS INTACT AND LEGIBLE. STORE SENSITIVE PRODUCTS IN WEATHERTIGHT, CLIMATE CONTROLLED ENCLOSURES. PROVIDE OFFSITE STORAGE AND PROTECTION WHEN SITE DOES NOT PERMIT ON SITE STORAGE.

C18. FIELD QUALITY CONTROL EMPLOY ONLY EXPERIENCED INSTALLERS AND FURNISH EVIDENCE OF EXPERIENCE IF REQUESTED. USE OF ANY SUBCONTRACTOR OR INSTALLER IS SUBJECT TO OWNER'S APPROVAL. EMPLOY FULL-TIME, COMPETENT SUPERINTENDENT AS WELL AS NECESSARY ASSISTANTS, SUPERINTENDENT SHALL REPRESENT THE CONTRACTOR AND ALL COMMUNICATIONS GIVEN TO THE SUPERINTENDENT SHALL BE AS BINDING AS IF GIVEN TO THE

TRANSPORT AND HANDLE PRODUCTS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. DELIVER PRODUCTS IN UNDAMAGED CONDITION, IN MANUFACTURER'S ORIGINAL UNOPENED CONTAINER'S OR PACKING, WITH IDENTIFYING LABELS INTACT AND LEGIBLE. PROMPTLY INSPECT SHIPMENTS TO ENSURE THAT PRODUCTS COMPLY WITH REQUIREMENTS OF CONTRACT DOCUMENTS, QUANTITIES ARE CORRECT, AND

C20. COMPLIANCE WITH MANUFACTURER'S INSTRUCTIONS: HANDLE, INSTALL, ERECT, CONNECT, CONDITION, USE, ADJUST, AND CLEAN PRODUCTS IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTION AND IN CONFORMITY WITH SPECIFIED REQUIREMENTS, INCLUDING EACH STEP IN SEQUENCE. DO NOT OMIT PREPARATORY STEPS OR INSTALLATION PROCEDURES UNLESS SPECIFICALLY MODIFIED OR EXEMPTED BY CONTRACT DOCUMENTS, SHOULD JOB CONDITIONS OR SPECIFIED REQUIREMENTS CONFLICT WITH MANUFACTURER'S INSTRUCTIONS, REQUEST CLARIFICATION IN WRITING FROM ARCHITECT BEFORE PROCEEDING. INSTALL MATERIALS IN PROPER RELATION WITH ADJACENT CONSTRUCTION AND WITH PROPER APPEARANCE.

C21. MANUFACTURER'S FIELD SERVICES: WHEN SPECIFIED IN INDIVIDUAL SECTIONS, REQUIRE MATERIAL OR PRODUCT SUPPLIERS OR MANUFACTURERS TO PROVIDE QUALIFIED STAFF PERSONNEL TO OBSERVE SITE CONDITIONS, CONDITIONS OF SURFACES, QUALITY OF WORKMANSHIP, AND CONDITIONS OF INSTALLATION AS APPLICABLE AND TO INITIATE ADDITIONAL INSTRUCTIONS WHEN NECESSARY.

C22. CONTRACTOR SHALL VERIFY, AND BE RESPONSIBLE FOR, ALL WORK AND MATERIALS - INCLUDING THOSE FURNISHED BY SUBCONTRACTORS.

C23. NON-CONFORMING WORK: REMOVE AND REPLACE WORK THAT DOES NOT CONFORM TO THE CONTRACT DOCUMENTS AT NO ADDITIONAL EXPENSE TO THE OWNER.

PRODUCTS ARE UNDAMAGED.

C24. PRODUCT IDENTIFICATIONS: NAMEPLATES, TRADEMARKS, LOGOS, AND OTHER IDENTIFYING MARKS ON PRODUCTS ARE NOT PERMITTED ON SURFACES EXPOSED TO VIEW IN PUBLIC AREAS, INTERIOR OR EXTERIOR. PLUMBING, MECHANICAL, AND ELECTRICAL EQUIPMENT NOT EXPOSED TO PUBLIC VIEW ARE EXECUTED FROM FOREGOING LIMITATION.

REQUIRED UL OR FM LABELS ARE ALSO EXCLUDED. C25. PROTECTION OF ADJACENT WORK: PROVIDE TEMPORARY PROTECTION FOR ADJACENT AREAS TO PREVENT DAMAGE BY INSTALLATION OF NEW WORK OR DEMOLITION OF EXISTING CONSTRUCTION, PROMPTLY REPAIR ANY DAMAGE AT NO ADDITIONAL

COST TO THE OWNER. PROTECT ADJACENT AREAS FROM CONTAMINATION BY CONSTRUCTION DUST AND DEBRIS. PROVIDE TEMPORARY BARRICADES AS NECESSARY TO ENSURE PROTECTION OF THE PUBLIC. MAINTAIN EGRESS WITHIN AND AROUND CONSTRUCTION AREAS. C26. DAMAGED PRODUCTS:

DO NOT USE PRODUCTS IN WORK, WHICH HAVE DETERIORATED, BECOME DAMAGED, OR ARE OTHERWISE UNFIT FOR USE. RESTORE UNITS DAMAGED DURING INSTALLATION. REPLACE UNITS, WHICH CANNOT BE RESTORED AT NO ADDITIONAL EXPENSE TO THE OWNER.

PROVIDE FACILITIES TO PROTECT WORK FROM UNAUTHORIZED ENTRY, VANDALISM, AND THEFT. CONDUCT OPERATIONS IN MANNER TO AVOID RISK OF LOSS, THEFT, OR DAMAGE BY VANDALISM. C28. TEMPORARY CONTROLS:

PRIOR TO ENCLOSURE, PROVIDE HEATING AS NECESSARY TO PROTECT MATERIALS, PRODUCTS, AND FINISHES FROM DAMAGE DUE TO TEMPERATURE OR HUMIDITY. ENCLOSURE IS DEFINED AS STATE OF CONSTRUCTION WHEN EXTERIOR WALLS ARE ERECTED, DOORS AND WINDOWS ARE INSTALLED AND GLAZED, ROOF DECK AND ROOFING ARE COMPLETE, AND WHEN OTHER OPENINGS IN EXTERIOR ENVELOPE ARE EQUIPPED WITH TEMPORARY CLOSURES. EXCEPT WHERE INDICATED OTHERWISE IN INDIVIDUAL SPECIFICATION SECTIONS, MAINTAIN MINIMUM AMBIENT TEMPERATURE OF 50 DEGREES F. IN TO FRANCES. AREAS WHERE CONSTRUCTION IS IN PROGRESS.

VENTILATE ENCLOSED AREAS TO ASSIST CURE OF MATERIALS. TO DISSIPATE HUMIDITY, AND TO PREVENT ACCUMULATION OF DUST, FUMES, VAPORS, OR GASES.

c. BARRIERS AND CLOSURES: PROVIDE BARRIERS TO PREVENT UNAUTHORIZED ENTRY TO CONSTRUCTION AREAS AND TO PROTECT EXISTING FACILITIES AND ADJACENT PROPERTIES FROM DAMAGE FROM CONSTRUCTION OPERATIONS.

d. FIRE PROTECTION: COMPLY WITH LOCAL FIRE PROTECTION CODE AND GOVERNING AUTHORITIES. PROVIDE AND MAINTAIN ADEQUATE FIRE PROTECTION INCLUDING, WITHOUT LIMITATION, FIRE EXTINGUISHERS AND OTHER APPROPRIATE EQUIPMENT FOR FIRE EXTINGUISHING READY FOR IMMEDIATE USE. MAINTAIN ANY REQUIRED FIRE ALARM SYSTEMS IN OPERATION DURING CONSTRUCTION. DISTRIBUTE EQUIPMENT AROUND SITE AND PARTICULARLY IN IMMEDIATE VICINITY OF PERFORMANCE OF WELDING OR SIMILAR

INTERRUPTIONS TO ANY SERVICE FOR THE PURPOSE OF MAKING OR BREAKING A CONNECTION SHALL BE MADE ONLY AFTER CONSULTATION WITH THE OWNER AND SHALL BE AT SUCH TIME AND OF SUCH DURATION

C30. EXCAVATIONS OR TRENCHING:

KEEP THE INTERVALS BETWEEN EXCAVATION OR TRENCHING, INSTALLATION OF CONDUIT OR PIPING, AND BACK FILLING OPERATIONS TO AN ABSOLUTE MINIMUM. PROVIDE SUITABLE TEMPORARY COVERS FOR EXCAVATIONS OR TRENCHING CROSSING ROADWAYS, WALKS, OR OTHER TRAFFIC WAYS AS REQUIRED BY GOVERNING AGENCIES.

do not cut and patch in a manner that would result in a failure of the work to perform as INTENDED, DECREASE FIRE PERFORMANCE, DECREASE ACOUSTICAL PERFORMANCE, DECREASE ENERGY PERFORMANCE, DECREASE OPERATIONAL LIFE, OR DECREASE SAFETY FACTORS. DO NOT REMOVE OR ALTER STRUCTURAL COMPONENTS WITHOUT WRITTEN APPROVAL FROM THE ARCHITECT. CUT WITH TOOLS APPROPRIATE FOR MATERIALS TO BE CUT. PATCH WITH MATERIALS AND METHODS TO PRODUCE PATCH THAT IS NOT VISIBLE FROM A DISTANCE OF THREE FEET.

C32. COORDINATION AND CLEARANCES: VERIFY AND COORDINATE CLEARANCES, DIMENSIONS, AND INSTALLATION OF ADJOINING CONSTRUCTION, EQUIPMENT, PIPING, DUCTS, CONDUITS, OR OTHER MECHANICAL OR ELECTRICAL ITEMS OR APPARATUS. VERIFY DIMENSIONS FOR PRODUCTS TO BE FITTED INTO WORK.

a. ATTACHMENTS AND CONNECTIONS: PROVIDE ATTACHMENT AND CONNECTION DEVICES METHODS FOR SECURING AND ANCHORING WORK. SECURE IN PLACE WITH DEVICES DESIGNATED AND SIZED TO WITHSTAND STRESSES, VIBRATION,

PHYSICAL DISTORTION, OR DISFIGUREMENT. b. EXPANSION AND MOVEMENT:

ALLOW FOR EXPANSION OF MATERIALS AND BUILDING MOVEMENT.

C. ISOLATION OF DISSIMILAR ITEMS: ISOLATE EACH UNIT OF WORK FROM INCOMPATIBLE WORK AS NECESSARY TO PREVENT DETERIORATION AND ELECTROLYTIC ACTION.

CLEAN AND PERFORM MAINTENANCE ON INSTALLED WORK AS FREQUENTLY AS NECESSARY THROUGH REMAINDER OF CONSTRUCTION PERIOD. LUBRICATE OPERABLE COMPONENTS TO ENSURE OPERABILITY WITHOUT DAMAGING EFFECTS.

e. ADJUSTMENTS ADJUST OPERATING PRODUCTS AND EQUIPMENT TO ENSURE SMOOTH AND UNHINDERED OPERATION.

EXAMINE SUBSTRATES AND CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED. DO NOT COMMENCE WORK OVER UNSATISFACTORY CONDITIONS DETRIMENTAL TO PROPER AND TIMELY EXECUTION OF WORK. DO NOT PROCEED WITH WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. COMMENCEMENT OF INSTALLATION CONSTITUTES ACCEPTANCE OF CONDITIONS AND COSTS OF ANY CORRECTIVE MEASURES ARE RESPONSIBILITY OF CONTRACTOR.

C34. CONTRACTOR SHALL PROVIDE BACKING SUPPORT OF ALL WALL, CEILING, AND PARTITION MOUNTED ITEMS SUCH AS TABLE BRACKETS, LIGHT FIXTURES, ARTIFACTS, SHELVING, EQUIPMENT, AND TELEVISIONS. COORDINATE LOCATIONS AND REQUIREMENTS WITH THE PLUMBING, MECHANICAL, ELECTRICAL DRAWINGS.

C35. EXTERIOR OPENINGS SHALL COMPLY WITH ALL SECURITY REQUIREMENTS AS OUTLINED IN ALL LOCAL BUILDING CODES AND ORDINANCES. C36. GLASS AND GLAZING FOR ALL WINDOWS SHALL COMPLY WITH ALL APPLICABLE BUILDING CODES. IN ADDITION ALL WINDOWS MUST MEET THE "AAMA" WINDOW STANDARDS FOR INSTALLATION. THE

CONTRACTOR SHALL OBTAIN, AND SHALL FOLLOW ALL REQUIREMENTS OF THE "AAMA" STANDARDS IN ADDITION TO THE MANUFACTURER SPECIFICATIONS AND ARCHITECTURAL DETAILS INCLUDED WITHIN THE

C37. ROOFING WORK SHALL BE PERFORMED AND ALL PENETRATIONS THROUGH THE ROOFING MEMBRANE SHALL BE PATCHED OR FLASHED AS PER THE MANUFACTURER'S STANDARDS.

C38. ROOF OBSTRUCTIONS SUCH AS TELEVISION ANTENNAE, SOLAR PANELS, AND GUY WIRES SHALL NOT BE LOCATED OR INSTALLED IN SUCH A WAY AS TO PREVENT FIRE DEPARTMENT ACCESS OR EGRESS IN THE EVENT OF A FIRE.

C39. INTERIOR WALL AND CEILING FINISHES SHALL NOT EXCEED FLAME SPREAD CLASSIFICATIONS DICTATED BY ALL APPLICABLE BUILDING CODES.

C40. GYPSUM BOARD AND SUSPENDED CEILING SYSTEMS SHALL CONFORM TO ALL LOCAL GOVERNING BUILDING CODES AND ORDINANCES.

C41. PIPES, CONDUITS, OR DUCTS EXCEEDING ONE THIRD OF THE SLAB OR MEMBER THICKNESS SHALL NOT BE PLACED IN STRUCTURAL CONCRETE UNLESS SPECIFICALLY DETAILED. REFER TO MECHANICAL, ELECTRICAL, PLUMBING, AND STRUCTURAL DRAWINGS FOR LOCATION OF SLEEVES AND OTHER ACCESSORIES. C42. VERIFY FIRE EXTINGUISHER REQUIREMENTS AND LOCATIONS WITH FIRE MARSHAL AND OWNER'S REPRESENTATIVE.

C43. CONTRACTOR SHALL SEAL ALL GAPS, HOLES, AND CRACKS IN BUILDING CONSTRUCTION AS REQUIRED TO CONTROL INFILTRATION OF INSECTS.

C44. DISPOSAL OF TRASH AND EXCESS EXCAVATION: DISPOSE OF TRASH, AND DEBRIS AT DESIGNATED AREAS OFF THE PREMISES AT NO ADDITIONAL COST TO THE OWNER. BURNING OF TRASH AND DEBRIS ON THE PREMISES IS PROHIBITED. COORDINATE TRASH REMOVAL

WITH LANDLORD WHERE APPLICABLE. C45. ELECTRICAL, MECHANICAL, AND PLUMBING SYSTEM ARE SCHEMATIC ONLY. THE CONTRACTOR IS RESPONSIBLE TO COORDINATE ALL WORK TO AVOID CONFLICTS BETWEEN TRADES, THE CONTRACTOR SHALL PERFORM ALL WORK TO PROVIDE COMPLETE FUNCTIONING SYSTEMS IN ACCORDANCE WITH THE INTENT INDICATED AND CODES AND REQUIREMENTS OF ALL AGENCIES HAVING JURISDICTION.

C46. CLEANING MATERIALS AND EQUIPMENT: PROVIDE ALL REQUIRED PERSONNEL, EQUIPMENT, AND MATERIALS NEEDED TO MAINTAIN THE SPECIFIED STANDARD OF CLEANLINESS, USE ONLY THE CLEANING MATERIALS AND EQUIPMENT WHICH ARE COMPATIBLE WITH THE SURFACE BEING CLEANED, AS RECOMMENDED BY THE MANUFACTURER OF THE MATERIAL.

SUBMITTALS/SUBSTITUTIONS

\$1. CONTRACTOR SHALL PROVIDE COMPLETE LIST OF SUBMITTALS TO ARCHITECT/OWNER WITHIN 1 WEEK OF OBTAINING BUILDING PERMIT.

S2. ALL SUBMITTALS SHALL BE COMPLETE AND SUBMITTED WITHIN FIRST 90 DAYS OF WORK. S3. ALL ITEMS NOTED AS DESIGNED "BY MANUFACTURED" IS A DEFERRED DESIGN AND SHALL BE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH MANUFACTURER FOR FINAL DESIGN AND SUBMIT FINAL DESIGN FOR APPROVAL. CONTRACTOR IS RESPONSIBLE TO COORDINATE ALL FIELD DIMENSIONS.

S4. SOURCE QUALITY CONTROL: PROVIDE PRODUCTS OF ACCEPTABLE MANUFACTURERS, WHICH HAVE BEEN IN SATISFACTORY USE IN SIMILAR SERVICE FOR THREE YEARS, UNLESS MORE STRINGENT CRITERIA ARE SPECIFIED IN INDIVIDUAL SECTIONS. USE OF ANY SUPPLIER IS SUBJECT TO OWNER'S APPROVAL.

PROPOSALS FOR SUBSTITUTION OF MATERIALS, EQUIPMENT, AND METHODS WILL ONLY BE CONSIDERED WHEN ACCOMPANIED BY FULL AND COMPLETE TECHNICAL DATA AS WELL AS ANY OTHER INFORMATION REQUIRED TO EVALUATE THE PROPOSED SUBSTITUTION. SUBSTITUTIONS ARE UNACCEPTABLE UNLESS SPECIFICALLY APPROVED BY THE ARCHITECT. IN THE EVENT OF SUBSTITUTION PROPOSALS AFTER THE CONTRACT HAS BEEN AWARDED, ALL SUCH PROPOSALS SHALL BE ACCOMPANIED BY SUBSTANTIAL COST SAVINGS FOR THE OWNER.

S6. AVAILABILITY OF PRODUCTS: VERIFY PRIOR TO CONSTRUCTION START THAT ALL SPECIFIED ITEMS WILL BE AVAILABLE IN TIME FOR INSTALLATION DURING ORDERLY AND TIMELY PROGRESS OF THE WORK. IN THE EVENT SPECIFIED ITEM OR ITEMS WILL NOT BE SO AVAILABLE, NOTIFY THE ARCHITECT PRIOR TO START OF CONSTRUCTION. COST OF DELAYS BECAUSE OF NON-AVAILABILITY OF SPECIFIED ITEMS OR SUBSTITUTED ITEMS, WHEN THE CONTRACTOR COULD HAVE AVOIDED SUCH DELAYS, WILL BE BORNE BY THE CONTRACTOR.

S7. PRODUCTS AND MATERIALS: PROVIDE PRODUCTS AND MATERIALS SPECIFIED. REQUEST ARCHITECTS SELECTION OF COLORS AND ACCESSORIES IN SUFFICIENT TIME TO AVOID DELAYING PROGRESS OF THE WORK.

INSTALL WORK TRUE TO LINE, PLUMB, AND LEVEL. EXCEPT WHERE SPECIFIED OTHERWISE, WORK EXECUTED WITHIN THE FOLLOWING TOLERANCE WILL BE ACCEPTABLE.

ALLOWED DEVIATION FROM AN ABSOLUTELY STRAIGHT LINE OF SIGHT WITHIN PLUS OR MINUS 1/8 INCH IN 10 FT. AND WITHIN PLUS OR MINUS 1/4 INCH FOR ENTIRE LENGTH OF A PARTICULAR ELEMENT OF CONSTRUCTION OVER 20'-0" IN LENGTH.

ALLOWED DEVIATIONS FROM AN ABSOLUTELY VERTICAL PLANE OF PLUS OR MINUS 1/8 INCH IN 10 FT. AND WITHIN PLUS OR MINUS 1/4 INCH FOR ENTIRE LENGTH OF A PARTICULAR ELEMENT OF CONSTRUCTION OVER 20'-0" IN LENGTH.

ALLOWED DEVIATIONS FROM AN ABSOLUTELY HORIZONTAL PLANE OF PLUS OR MINUS 1/8 INCH IN 10 FT. AND WITHIN PLUS OR MINUS 1/4 INCH FOR ENTIRE LENGTH OF A PARTICULAR ELEMENT OF CONSTRUCTION OVER 20'-0" IN LENGTH.

d. ALLOWED DEVIATIONS FROM AN ABSOLUTELY FLAT IF WITHIN PLUS OR MINUS 1/16 INCH IN ONE SQUARE FOOT, WITHIN PLUS OR MINUS 1/8 INCH IN AN AREA 10 FEET BY 10 FEET, AND WITHIN PLUS OR MINUS 1/4 INCH FOR ENTIRE AREA OF A PARTICULAR ELEMENT OF CONSTRUCTION OVER 20'-0" IN LENGTH.

T2. REFER TO SPECIFICATIONS FOR ADDITIONAL TOLERANCE REQUIREMENTS. PROJECT CONTRACT CLOSEOUT:

> a. SUBSTANTIAL COMPLETION: AT SUBSTANTIAL COMPLETION OF THE PROJECT, SCHEDULE AND ATTEND A PUNCH LIST WALK THROUGH OF REMAINING WORK FOR REVIEW WITH THE ARCHITECT AND OWNER. COMPLETE ALL DEFECTS AND OMISSIONS NOTED IN THE FINAL PUNCHLIST PROMPTLY, IN THE TIME PERIOD AGREED UPON WITH THE OWNER, AT NO ADDITIONAL EXPENSE TO THE OWNER.

b. CERTIFICATE OF OCCUPANCY: PROVIDE THE FINAL CERTIFICATE OF OCCUPANCY FROM THE BUILDING DEPARTMENT.

c. PERMITS/INSPECTION CARDS: FURNISH COPIES OF PERMITS AND SIGNED INSPECTION CARDS FOR EACH OF THE FOLLOWING AGENCIES: BUILDING DEPARTMENT; PLUMBING/MECHANICAL DEPARTMENT; ELECTRICAL DEPARTMENT; FIRE DEPARTMENT; HEALTH DEPARTMENT; OTHERS AS REQUIRED.

d. FURNISH COPIES OF PERMITS AND SIGNED INSPECTION CARDS FOR EACH OF THE FOLLOWING AGENCIES: BUILDING DEPARTMENT; PLUMBING/MECHANICAL DEPARTMENT; ELECTRICAL DEPARTMENT; FIRE DEPARTMENT; HEALTH DEPARTMENT; OTHERS AS REQUIRED. e. MAINTENANCE MANUALS AND WARRANTIES:

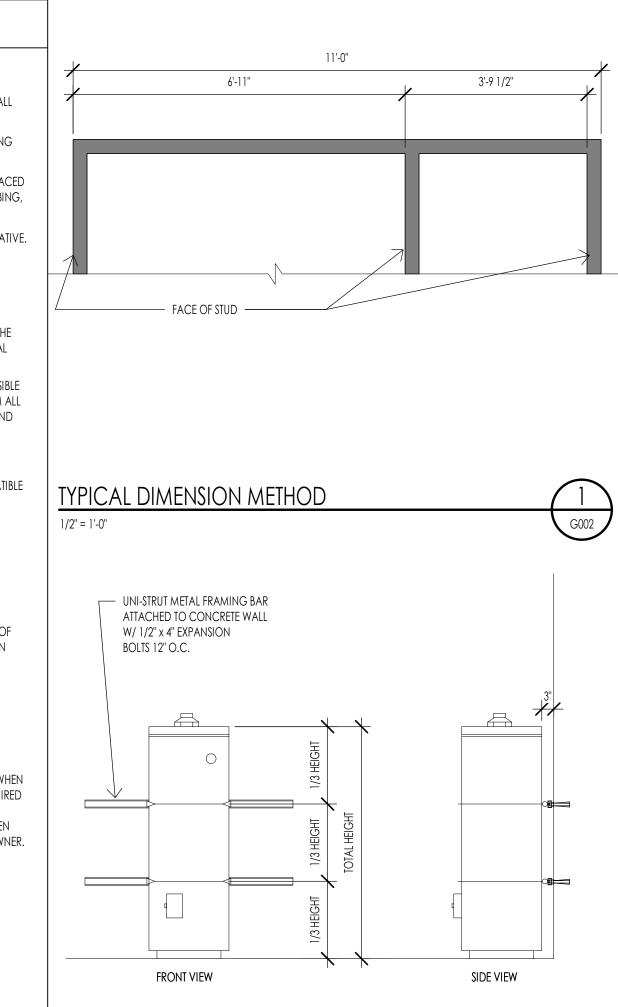
FURNISH (2) COPIES FOR EACH UNIT OF ALL MANUALS, MAINTENANCE INSTRUCTIONS, CONTRACTORS AND MANUFACTURER'S PRINTED WARRANTIES, AND INSTRUCTIONS FOR OPERATION OF ALL EQUIPMENT SPECIFIED HEREIN OR SHOWN ON DRAWINGS, TRAIN OWNER'S PERSONNEL IN USE OF BUILDING SYSTEMS.

f. TOUCH-UP MATERIAL: FURNISH OWNER WITH ONE GALLON OF EACH PAINT AND STAIN USED PER UNIT. PROVIDE AN ADDITIONAL 2 PERCENT OF QUANTITY INSTALLED OF ALL FINISH MATERIAL INCLUDING CEILING PANELS, TILE, AND SHEET GOODS.

g. SUBCONTRACTORS: PROVIDE THE OWNER THE NAMES, ADDRESSES, AND PHONE NUMBERS OF ALL SUBCONTRACTORS, FINAL UNCONDITIONAL LIEN RELEASES, AND WARRANTIES FROM EACH.

h. FINAL CLEANING AND REPAIRS: REMOVE TEMPORARY FACILITIES AND PROVIDE FINAL CLEANING AND TOUCH-UP. RESTORE PORTIONS OF BUILDING, SITE IMPROVEMENTS, LANDSCAPING AND OTHER ITEMS DAMAGED BY CONSTRUCTION OPERATIONS TO THE SATISFACTION OF THE ARCHITECT, AT NO ADDITIONAL EXPENSE TO THE OWNER.

i. CLOSEOUT DOCUMENTS: PROVIDE THE OWNER WITH A COMPACT DISK OF ALL RECORD DRAWINGS IN PDF FORMAT, COPY OF ALL SHOP DRAWINGS AND PRODUCT SUBMITTALS, SERVICE CONTRACTS, HVAC AIR BALANCE REPORT, AND WASTELINE VIDEO INSPECTION REPORT.



WATER HEATER SIESMIC STRAPPING



ENERGY STRATEGY:

PRESCRIPTIVE PER IBC RESCHECK - 2015 IECC

	LOCATION	TYPE	THICKNESS	"R" VALUE	REMARKS
1.	FOUNDATION WALLS AND SLAB ON GRADE	CONTINUOUS RIGID	2" TOTAL THICKNESS - 2' BELOW GRADE CONTINUOUS BELOW SLAB	R-10	OWENS CORNING FORMULAR CW15/CW25 PLUS INSULATION GLUED TO INSIDE OF FOUNDATION WALL OR CAST IN PLACE BELOW SLAB
2.	WALL INSULATION EXTERIOR- WOOD FRAMED WALLS	BLOW-IN	5-1/2" TOTAL THICKNESS	R-23.1	JOHNS MANVILLE SPIDER® PLUS FORMALDEHYDE-FREE™ BLOW-IN FIBERGLASS INSULATION
3.	WALL INSULATION EXTERIOR - CONCRETE WALLS FURRED OUT WITH WOOD FRAMED WALLS	BLOW-IN	5-1/2" TOTAL THICKNESS 3-1/2" TOTAL THICKNESS	R-23.1 R-14.7	JOHNS MANVILLE SPIDER® PLUS FORMALDEHYDE-FREE™ BLOW-IN FIBERGLASS INSULATION
4.	floors (joists/framing)	BLOW-IN	10"	R-42	JOHNS MANVILLE SPIDER® PLUS FORMALDEHYDE-FREE™ BLOW-IN FIBERGLASS INSULATION
5.	ROOFING: VENT BAFFELS	BELOW DECK	1" - TOTAL THICKNESS		FLAME RETARDANT PVC, EXTEND A MINIMUM OF 48" ABOVE EAVES
6.	ROOFING: AT EAVES	FOAM-IN-PLACE	1" - TOTAL THICKNESS	R-6.8	JOHNS MANVILLE CORBOND® MCS CLOSED-CELL SPRAY FOAM INSULATION
7.	ROOFING: AT TRUSSES	BLOW-IN	DEPTH REQUIRED TO MEET R-VALUE	R-50	JOHNS MANVILLE CLIMATE PRO® FORMALDEHYDE-FREE™ BLOW-IN FIBERGLASS INSULATION
9.	RESTROOMS, BATHROOMS AND COMMON SPACES	BLOW-IN (FOR SOUND)	FILL CAVITIES		JOHNS MANVILLE SPIDER® PLUS FORMALDEHYDE-FREE™ BLOW-IN FIBERGLASS INSULATION
10.	AT STUD CAVITIES WITH ROOF DRAINS OR PLUMBING STACKS, UNITS AT INTERIOR WALLS, UNIT SPACES AND COMMON SPACES	SOUND BATTS	FILL VOIDS		JOHNS MANVILLE SPIDER® PLUS FORMALDEHYDE-FREE™ BLOW-IN FIBERGLASS INSULATION
11.	MECHANICAL TYPE ROOM WALLS AND CEILINGS WHERE APPLICABLE	SOUND BATTS	FILL CAVITY		JOHNS MANVILLE SPIDER® PLUS FORMALDEHYDE-FREE™ BLOW-IN FIBERGLASS INSULATION
12.	INTERIOR FLOORS - SOUND RATING REQUIRED	SOUND BATTS	FILL CAVITY		JOHNS MANVILLE SPIDER® PLUS FORMALDEHYDE-FREE™ BLOW-IN FIBERGLASS INSULATION
13.	DUCTWORK/PLUMBING LINES	DBL. FACED 1/2" VINYL FACED			SEE MECHANICAL AND PLUMBING - FOR ALL INSULATION REQUIREMENTS
14.	GLAZING - NFRC THERMAL RATINGS	DOUBLE PANE	LOW-E	MAX U-FACTOR: 0.32 MAX SHGC: 0.16	ALUMINUM CLAD WOOD

1. COORDINATE WITH PROJECT SPECIFICATION SECTIONS FOR INSULATION FOR ADDITIONAL INFORMATION AND REQUIREMENTS. 2. ALL INSULATION SHALL BE TIGHT, AND NO GAPS SHALL BE LEFT. 3. ALL INSULATION AT PIPES SHALL BE INSTALLED AT WARM SIDE ONLY.

PROVIDE SEALING OF THE BUILDING THERMAL ENVELOPE FOR LEAKAGE BY THE REQUIREMENTS BELOW:

(A) BLOWER DOOR TEST FOR BUIDLING ENVELOPE AT FINAL WITH A MAXIMUM AIR LEAKAGE OF 5 AIR CHANGES PER HOUR. TESTING SHALL BE CONDUCTED BY AN APPROVED THIRD PARTY. A WRITTEN REPORT OF THE RESULTS OF THE TEST SHALL BE SIGNED BY THE PARTY CONDUCTING THE TEST AND PROVIDED TO THE CODE OFFICIAL. 1. AIR BARRIER TO BE PERFORMED WITH "AEROBARRIER" ENVELOPE SEALING TECHNOLOGY.

Report date: 12/06/23

Page 1 of 10

2. TO BE PERFORMED AFTER DRYWALL INSTALATION AND MUD AND TAPE. 3. CONTRACTOR TO VERIFY NO WALL OPENINGS GREATER THAN 1/2" PRIOR TO INSTALATION OF ENVELOPE SEALING.

RESCHECK/ ENERGY COM CHECK



North Elevation: Wood Frame, 16" o.c. Windows: Metal Frame: Double Pane with Low-E East Elevation: Wood Frame, 16" o.c. Windows: Metal Frame: Double Pane with Low-E 0.300 0.320 27 29 1,976 50.0 10.0 0.020 0.026 40 51 Roof - Level 1: Flat Ceiling or Scissor Truss ompliance Statement: The proposed building design described here is consistent with the building plans, specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the 2015 IECC requirements in REScheck Version 4.7.2 and to comply with the mandatory requirements listed in the REScheck Inspection Checklist. Julio Caceres - BIM Operator Name - Title

Floor over Garage: All-Wood Joist/Truss:Over 0.0 0.033 0.033 26 26 Floor over Garage Outside: All-Wood Joist/Truss:Over Outside Air Basement Walls: Solid Concrete or Masonry Wall height: 10.5' Depth below grade: 10,5' South Elevation: Wood Frame, 16" o.c. 7.0 0.038 0.045 28 34 Windows: Metal Frame: Double Pane with Low-E 0.300 0.320 56 59 Doors: Glass 0.320 0.320 91 91 Door Garage: Solid 0.500 0.320 100 64 West Elevation: Wood Frame, 16" o.c. 641 23.1 7.0 0.038 0.045 20 24 Windows: Metal Frame; Double Pane with Low-E 0.300 0.320 32 35

Project Title: Warm Springs #33 Data filename: C:\Users\jcaceres\Desktop\RESCHECK LOT 33 R1.rck

SS

Report date: 12/06/23

Architecture

Landscape Architecture

Construction Manageme

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Interior Design

Land Planning

SHEET NUMBER:

Project Title: Warm Springs #33

Data filename: C:\Users\jcaceres\Desktop\RESCHECK LOT 33 R1.rck

REVISIONS:

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GENERAL NOTES

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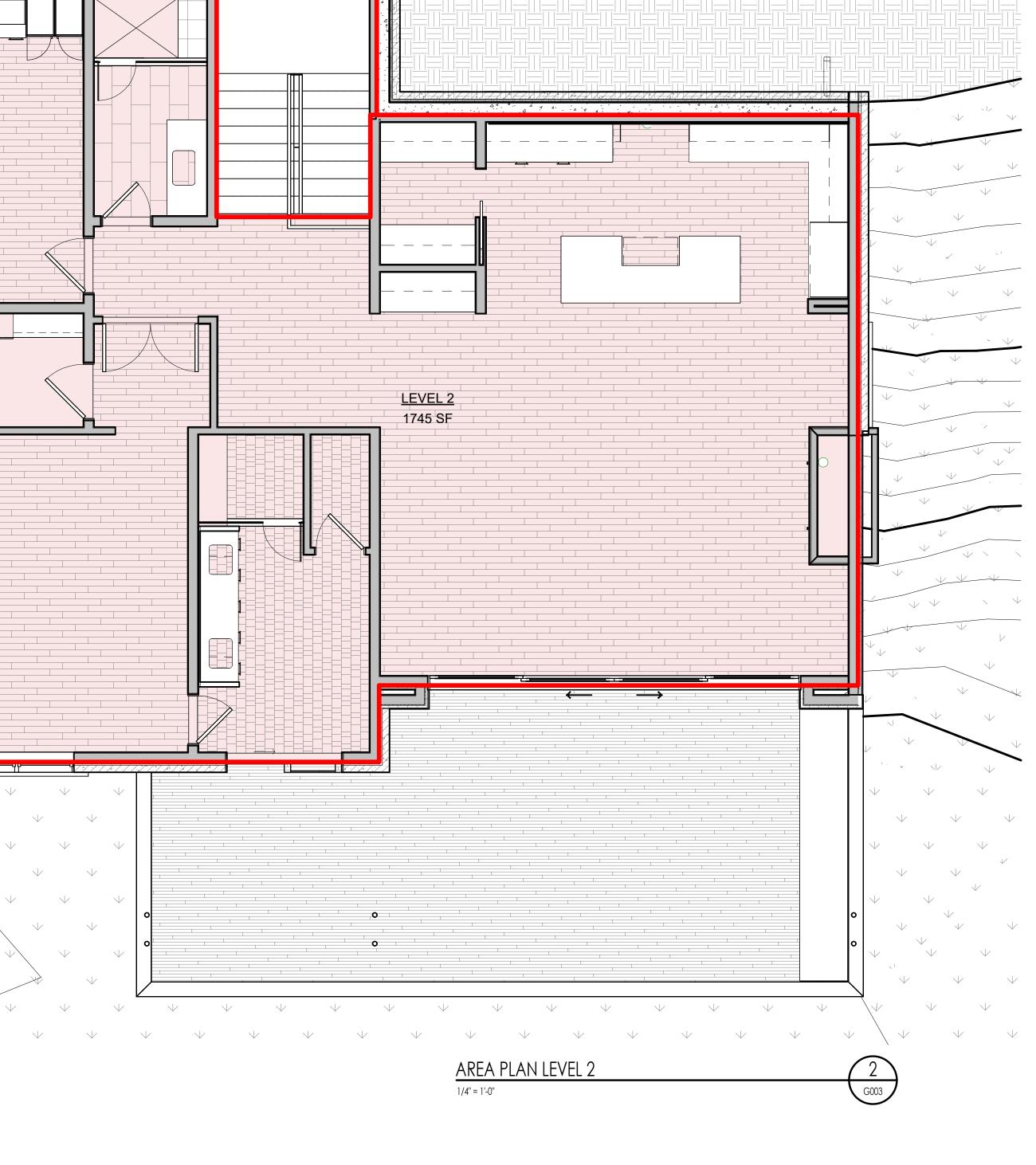
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	BUILDING AREA - FINISHED	
AREA	FINISHED	
LEVEL 1	1248 SF	
LEVEL 2	1745 SF	
	2993 SF	
	BUILDING AREA - UNFINISHED	
AREA	UNFINISHED	
AREA GARAGE/ MECH	UNFINISHED 894 SF	

BUILDING AREA - TOTAL

Architecture

Architecture Interior Design Landscape Architecture Land Planning Construction Management

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SPRINGS RESIDENCE

PROJECT NC22023.33

REVISIONS:

SHEET TITLE:
BUILDING AREA
ANALYSIS

IRC 106.4 ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS, AND ANY CHANGES MADE DURING CONSTRUCTION THAT ARE NOT IN COMPLIANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS SHALL BE RESUBMITTED FOR APPROVAL AS AN AMENDED SET OF CONSTRUCTION DOCUMENTS. THE CONTRACTOR/OWNER SHALL BE RESPONSIBLE TO SUBMIT THE CHANGES TO THE BUILDING DEPARTMENT, OR WORK WITH ALL ITEMS RELATED TO OPERATION OF ALL EQUIPMENT. THE ARCHITECT TO RE-SUBMITT THE PLANS TO THE BUILDING DEPARTMENT FOR APPROVAL.

CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL SUB CONTRACTORS TO MEET THESE REQUIREMENTS

THE CONSTRUCTION DOCUMENTS INCORPORATE BOTH THE PLANS AND SPECIFICATIONS FOR THE PROJECT. THE INCLUDED DRAWINGS AND SPECIFICATIONS ARE TO BE CONSIDERED A WHOLE SET OF DRAWINGS. ALL ITEMS REQUIRED FOR CONSTRUCTION MAY BE SHOWN EITHER IN DRAWINGS AND/OR SPECIFICATIONS. REQUIRED ITEMS MAY APPEAR IN WORKING DRAWINGS AND SPECIFICATIONS WHETHER GRAPHIC OR WRITTEN FORM, SO LONG AS THEY DO APPEAR SOMEPLACE AND ARE NOT CONTRADICTORY WITH OTHER PORTIONS OF THE DRAWINGS AND SPECIFICATIONS. NO FRAGMENT OF THE PLANS AND SPECS TAKE PRECEDENCE OVER OTHER FRAGMENTS. THE DOCUMENTS MUST BE CONSIDERED AS A WHOLE. IF A CONFLICT OR CONTRADITION DOES OCCUR, THE MOST STINGENT APPLICATION OR SPECIFICATION APPLIES.

THE CONTRACTOR SHALL BE RESPONSIBLE TO FIELD VERIFY ALL EXISTING CONDITIONS, UTILITIES, MEASUREMENTS, CONNECTIONS, ETC.

THE CONTRACTOR SHALL COMPLY WITH ALL NATIONAL, STATE, LOCAL, AND RELATED CODES AND STANDARD CONSTRUCTION PRACTICES.

CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH GENERAL ENERGY NOTES AND/OR MODEL ENERGY CODE. CONTRACTOR SHALL REPORT ANY DISCREPANCIES IN THE PLANS TO THE ARCHITECT PRIOR TO COMMENCING RELATED

AN APPROVED NUMBER OR ADDRESS SHALL BE PROVIDED FOR ALL NEW BUILDINGS IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. SEE I.R.C. SECTION R319.

THUNDER SPRING RESIDENCES: UNITS A.1 & A.2 ADDRESS: 126 SADDLE ROAD, KETCHUM, IDAHO, 83340 OWNER: VP COMPANIES

THE PROJECT SHALL INCLUDE THE CONSTRUCTION OF NINE SINGLE FAMILY HOMES AND TWO-FAMILY DWELLINGS. THE CONSTRUCTION SHALL BE OF CONCRETE FOUNDATION WITH WOOD AND STEEL CONSTRUCTION. PHASED CONSTRUCTION:

NEW CONSTRUCTION: CONTRACTOR SHALL HAVE USE OF PROJECT SITE FOR CONSTRUCTION OPERATIONS DURING CONSTRUCTION PERIOD. ALL STORAGE MUST BE MAINTAINED ON SITE, AND SHALL NOT DISTURB PROPERTY OUTSIDE OF PROPERTY LINES, UNLESS APPROVED BY THE CITY AND OWNER.

01-02 ALLOWANCES

CONTRACTOR SHALL PROVIDE LUMP SUM ALLOWANCES FOR THOSE ITEMS INDICATED ON PLANS. SCHEDULES OR ITEMS REQUIRING ADDITIONAL DETAIL OR SELECTION, LUMP SUM SHALL BE INCLUDED WITHIN SCHEDULE OF VALUES.

USE OF THE CONTINGENCY ALLOWANCE SHALL ONLY BE AS DIRECTED BY ARCHITECT FOR OWNER'S PURPOSES AND ONLY BY CHANGE ORDERS THAT INDICATE AMOUNTS TO BE CHARGED TO THE ALLOWANCE.

CONTRACTOR'S OVERHEAD. PROFIT. AND RELATED COSTS FOR PRODUCTS AND EQUIPMENT ORDERED BY OWNER UNDER THE CONTINGENCY ALLOWANCE ARE INCLUDED IN THE ALLOWANCE AND ARE NOT PART OF THE CONTRACT SUM. CHANGE ORDERS AUTHORIZING USE OF FUNDS FROM THE CONTINGENCY ALLOWANCE WILL INCLUDE CONTRACTOR'S 'ELATED COSTS FOR WORK SPECIFIED WITHIN THE CHANGE ORDER. PROFIT AND OVERHEAD OF THE CONTRACTOR SHA EQUAL PROJECT PROFIT AND OVERHEAD FOR PROJECT.

AT PROJECT CLOSEOUT, CREDIT ALL UNUSED AMOUNTS REMAINING IN THE CONTINGENCY ALLOWANCE TO OWNER BY

CONTRACTOR SHALL PROVIDE SCHEDULE OF ALL ALLOWANCES AS A PART OF BIDDING FOR OWNER AND ARCHITECT TO

01-03 ALTERNATES

ALTERNATES MAY BE INCLUDED ON THE DRAWINGS, AND SHOULD BE SEPARATED DURING THE BIDDING PROCESS. THE CONTRACTOR MAY ALSO SUBMIT REQUEST FOR ALTERNATES DURING BIDDING. ALL ALTERNATES MAY BE ACCEPTED AFTER REVIEW OF ALTERNATE WITH THE OWNER, AND THE CONTRACTOR WILL BE NOTIFIED IF AN ALTERNATE IS TO BE ACCEPTED OR NOT. THE CONTRACTOR SHALL NOT ASSUME THAT ALTERNATES ARE ACCEPTED, UNLESS NOTIFIED BY THE ARCHITECT THROUGH ADDENDUM, ASI, OR PROPOSAL REQUEST OF ACCEPTANCE OF THE ALTERNATE. ALL ALTERNATE WORK MAY BE ADDED TO OR DEDUCTED FROM THE BASE BID BY CHANGE ORDER IN THE AMOUNT OF THE ADDITIONAL COSTS OR SAVINGS, IF OWNER DECIDES TO ACCEPT THE ALTERNATE BID.

1. ALTERNATES DESCRIBED IN THIS SECTION ARE PART OF THE WORK ONLY IF ENUMERATED IN THE AGREEMENT.

2. THE COST OR CREDIT FOR EACH ALTERNATE IS THE NET ADDITION TO OR DEDUCTION FROM THE CONTRACT SUM TO INCORPORATE ALTERNATE INTO THE WORK. NO OTHER ADJUSTMENTS ARE MADE TO THE CONTRACT SUM.

3. ALTERNATES PROPOSED BY THE CONTRACTOR DURING BIDDING, MUST NOT BE SHOWN AS THE BASE BID FOR THE PROJECT. ALL BASE BIDS MUST BE THOSE ITEMS SPECIFIED ON THE DRAWINGS, AND ALL ALTERNATES PROPOSED BY THE CONTRACTOR MUST BE OUTSIDE OF THE REQUIRED NUMBER OF BASE BIDS FOR EACH DISCIPLINE. THE ALTERNATE MAY BE

01-04 SUBSTITUTION PROCEDURES

FABRICATION OR INSTALLATION METHOD TO BE REPLACED.

ALL CHANGES IN PRODUCTS, MATERIALS, EQUIPMENT, AND METHODS OF CONSTRUCTION FROM THOSE REQUIRED BY THE CONTRACT DOCUMENTS AND PROPOSED BY CONTRACTOR, SHALL BE APPROVED BY THE ARCHITECT, ENGINEER AND BUILDING OFFICIAL PRIOR TO THE COMMENCEMENT OF WORK.

SUBMIT THREE COPIES OF EACH REQUEST FOR CONSIDERATION BY ARCHITECT AND OWNER. IDENTIFY PRODUCT OR

SHOW COMPLIANCE WITH REQUIREMENTS FOR SUBSTITUTIONS INCLUDING THE FOLLOWING;

A. STATEMENT INDICATING WHY SPECIFIED PRODUCT OR FABRICATION OR INSTALLATION CANNOT BE PROVIDED, IF

B. PRODUCT DATA, INCLUDING DRAWINGS AND DESCRIPTIONS OF PRODUCTS AND FABRICATION AND INSTALLATION

C. SAMPLES, WHERE APPLICABLE OR REQUESTED.

D. DETAILED COMPARISON OF CONTRACTOR'S CONSTRUCTION SCHEDULE USING PROPOSED SUBSTITUTION WITH PRODUCTS SPECIFIED FOR THE WORK.

E. COST INFORMATION, INCLUDING A PROPOSAL OF CHANGE, IF ANY, IN THE CONTRACT SUM.

ARCHITECT WILL REQUEST ADDITIONAL INFORMATION IF NEEDED TO QUALIFY DOCUMENTATION FOR EVALUATION. ARCHITECT WILL NOTIFY CONTRACTOR OF ACCEPTANCE OR REJECTION OF PROPOSED SUBSTITUTION IN WRITING. THE CONTRACTOR SHALL NOT INCLUDE PROPOSED SUBSTITUTIONS IN BIDS OR COSTS UNTIL ACCEPTANCE OF SUBSTITUTION BY

01-05 PAYMENT PROCEDURES

CONTRACTOR'S NAME AND ADDRESS.

BE INSTALLED AT DIAMETER TO MATCH DRIP LINE OF TREE.

DATE OF SUBMITTAL

SUBMIT THE SCHEDULE OF VALUES WITH UPDATED CONSTRUCTION SCHEDULE TO ARCHITECT AT EARLIEST POSSIBLE DATE BUT NO LATER THAN SEVEN DAYS BEFORE THE DATE SCHEDULED FOR PAYMENT APPLICATION.

INCLUDE THE FOLLOWING IDENTIFICATION ON THE SCHEDULE OF VALUES: PROJECT NAME AND LOCATION. NAME OF ARCHITECT.

arrange Schedule of Values Consistent with format of aia document G703. Provide a separate line item in THE SCHEDULE OF VALUES FOR EACH PART OF THE WORK WHERE APPLICATIONS FOR PAYMENT MAY INCLUDE MATERIALS OR EQUIPMENT PURCHASED OR FABRICATED AND STORED, BUT NOT YET INSTALLED. JPDATE AND RESUBMIT THE SCHEDULE OF VALUES BEFORE THE NEXT APPLICATIONS FOR PAYMENT WHEN CHANGE ORDERS OR CONSTRUCTION CHANGE DIRECTIVES RESULT IN A CHANGE IN THE CONTRACT SUM.

EACH APPLICATION FOR PAYMENT SHALL BE CONSISTENT WITH PREVIOUS APPLICATIONS AND PAYMENTS AS CERTIFIED BY ARCHITECT AND PAID FOR BY OWNER.

EACH APPLICATION FOR PAYMENT, SUBMIT WAIVERS OF MECHANIC'S LIEN FROM ENTITIES LAWFULLY ENTITLED TO FILE A MECHANIC'S LIEN ARISING OUT OF THE CONTRACT AND RELATED TO THE WORK COVERED BY THE PAYMENT. SUBMIT PARTIAL WAIVERS ON EACH ITEM FOR AMOUNT REQUESTED IN PREVIOUS APPLICATION, ON EACH ITEM. WHEN AN APPLICATION SHOWS COMPLETION OF AN ITEM, SUBMIT CONDITIONAL FINAL OR FULL WAIVERS, WAIVER FORMS: SUBMIT WAIVERS OF LIEN ON FORMS, EXECUTED IN A MANNER ACCEPTABLE TO OWNER.

01-06 TEMPORARY TREE AND PLANT PROTECTION

CONTRACTOR SHALL REVIEW PLANS WITH SITE AND MARK ALL TREES IDENTIFIED ON THE DRAWINGS TO BE PROTECTED AND REMAIN DURING CONSTRUCTION.

THE CONTRACTOR AND ARCHITECT SHALL REVIEW THE MITIGATION WITH THE CITY PRIOR TO COMMENCING CONSTRUCTION, AND SHALL RECEIVE APPROVAL FROM THE CITY.

CONTRACTOR, ARCHITECT AND OWNER SHALL REVIEW ON SITE AFTER TREES HAVE BEEN MARKED AND PRIOR TO STAKING.

PROVIDE 6'-0" HIGH FENCING AROUND TREE. FENCING SHALL BE INSTALLED TO PROVIDE PROTECTION TO TREE AND SHALL

01-07 OPERATION AND MAINTENANCE DATA

HE CONTRACTOR SHALL PROVIDE THE OWNER WITH ALL OPERATION MANUALS, WARRANTY INFORMATION, ETC. FOR ALL EQUIPMENT, APPLIANCES, ETC. AT THE COMPLETION OF THE PROJECT.

ALL INFORMATION SHALL BE COLLECTED AND PLACED IN BINDER AND OR DIGITAL DATA FOR THE OWNER TO REVIEW.

CONTRACTOR SHALL PROVIDE START UP AND MAINTENANCE REVIEW WITH OWNER PRIOR TO FINAL PAYMENT. THE CONTRACTOR SHALL SCHEDULE A TIME TO REVIEW AND TRAIN THE OWNER AND/OR OWNER'S REPRESENTATIVES ON

01-08 WARRANTY

the contractor shall provide the owner with a written warranty covering workmanship, material, etc. ON THE PROJECT FOR A PERIOD OF (1) YEAR FROM COMPLETION. A WRITTEN WARRANTY SHALL BE PROVIDED (FROM VENDORS) ON ALL MATERIALS THAT HAVE EXTENDED WARRANTY PERIODS ABOVE THOSE STATED ABOVE. SUCH AS ROOFING MATERIALS WHICH SHALL PROVIDE A WARRANTY FOR MATERIALS FOR A MINIMUM OF 20 YEARS.

01-09 SUBMITTALS

EQUIREMENTS FOR THE SUBMITTAL PROCEDURAL REQUIREMENTS FOR SUBMITTING SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND OTHER SUBMITTALS REQUIRED BY SPECIFICATIONS FOR ARCHITECT/OWNER REVIEW AND APPROVAL PRIOR TO INSTALLATION WITHIN PROJECT.

ELECTRONIC DIGITAL DATA FILES OF THE CONTRACT DRAWINGS WILL NOT BE PROVIDED BY ARCHITECT FOR CONTRACTOR'S USE IN PREPARING SUBMITTALS.

"CONTRACTOR (EACH SUBCONTRACTOR) SHALL BE SOLELY RESPONSIBLE AND ASSUMES FULL LIABILITY FOR ENSURING THAT CONSTRUCTION JOINTS: INSTALL SO STRENGTH AND APPEARANCE OF CONCRETE ARE NOT IMPAIRED SUBMITTALS ARE TIMELY PROVIDED TO THE ARCHITECT. AND THE CONTENT THEREOF COMPLIES IN FULL. AND IS PROVIDED IN ACCORDANCE, WITH THE DRAWINGS AND SPECIFICATIONS FOR THE PROJECT. THE CONTRACTOR (SUBCONTRACTOR) HEREBY AGREES TO HOLD HARMLESS THE ARCHITECT, ITS OFFICERS, EMPLOYEES, AGENTS AND CONSULTANTS FROM FAILURE TO COMPLY WITH THIS PROVISION. CONTRACTOR FURTHER AGREES TO DEFEND AND INDEMNIFY ARCHITECT, ITS OFFICERS, EMPLOYEES, AGENTS AND CONSULTANTS FOR ANY AND ALL INJURIES, DAMAGES AND LIABILITY RESULTING FROM A BREACH HEREOF."

COORDINATE EACH SUBMITTAL WITH FABRICATION, PURCHASING, TESTING, DELIVERY, OTHER SUBMITTALS, AND RELATED ACTIVITIES THAT REQUIRE SEQUENTIAL ACTIVITY. SUBMITTALS THAT REQUIRE CONCURRENT REVIEW SHOULD BE SO INDICATED IN THOSE SECTIONS. ARCHITECT RESERVES THE RIGHT TO WITHHOLD ACTION ON A SUBMITTAL REQUIRING COORDINATION WITH OTHER SUBMITTALS UNTIL RELATED SUBMITTALS ARE RECEIVED.

ALLOW TIME FOR SUBMITTAL REVIEW, INCLUDING TIME FOR RESUBMITTALS. TIME FOR REVIEW SHALL COMMENCE ON ARCHITECT'S RECEIPT OF SUBMITTAL. NO EXTENSION OF THE CONTRACT TIME WILL BE AUTHORIZED BECAUSE OF FAILURE TO TRANSMIT SUBMITTALS ENOUGH IN ADVANCE OF THE WORK TO PERMIT PROCESSING, INCLUDING RESUBMITTALS.

INITIAL REVIEW: ALLOW 14 DAYS FOR INITIAL REVIEW OF EACH SUBMITTAL. RESUBMITTAL REVIEW: ALLOW 14 DAYS FOR REVIEW OF EACH RESUBMITTAL.

SEQUENTIAL REVIEW: WHERE SEQUENTIAL REVIEW OF SUBMITTALS BY ARCHITECT'S CONSULTANTS, OWNER, OR OTHER PARTIES IS REQUIRED.

ALLOW 14 DAYS FOR INITIAL REVIEW OF EACH SUBMITTAL.

ELECTRONIC SUBMITTALS WILL BE ACCEPTED, BUT MUST BE COMPLETE AND MUST BE INCLUDED INTO SINGLE DIGITAL (PDF FORMAT) FILE. THE FILE MUST PROVIDE MEANS FOR INSERTION TO PERMANENTLY RECORD CONTRACTOR'S REVIEW AND APPROVAL MARKINGS AND ACTION TAKEN BY ARCHITECT.

DISTRIBUTION: FURNISH COPIES OF FINAL SUBMITTALS TO MANUFACTURERS, SUBCONTRACTORS, SUPPLIERS, FABRICATORS, INSTALLERS, AUTHORITIES HAVING JURISDICTION, AND OTHERS AS NECESSARY FOR PERFORMANCE OF CONSTRUCTION ACTIVITIES. SHOW DISTRIBUTION ON TRANSMITTAL FORMS.

USE FOR CONSTRUCTION: RETAIN COMPLETE COPIES OF SUBMITTALS ON PROJECT SITE. USE ONLY FINAL ACTION SUBMITTALS THAT ARE MARKED WITH APPROVAL NOTATION FROM ARCHITECT'S ACTION STAMP.

GENERAL SUBMITTAL PROCEDURE REQUIREMENTS: PREPARE AND SUBMIT SUBMITTALS REQUIRED BY INDIVIDUA PECIFICATION SECTIONS. TYPES OF SUBMITTALS, (PRODUCT, SAMPLE OR SHOP DRAWINGS) ARE INDICATED IN INDIVIDUAL SPECIFICATION SECTIONS. PROVIDE A MINIMUM OF TWO COPIES OF EACH SUBMITTAL. ONE COPY WILL BE RETAINED BY ARCHITECT, AND ONE COPY RETURNED TO CONTRACTOR.

ARCHITECT WILL RETURN AN ANNOTATED FILE AND RETAIN ONE COPY OF FILE AS AN ELECTRONIC PROJECT RECORD

SUBMIT TWO PAPER COPIES OF EACH SUBMITTAL UNLESS OTHERWISE INDICATED. ARCHITECT WILL RETURN TWO COPIES.

B. INFORMATIONAL SUBMITTALS SUBMIT TWO PAPER COPIE(S) OF EACH SUBMITTAL UNLESS OTHERWISE INDICATED.

C. CERTIFICATES AND CERTIFICATIONS SUBMITTALS:

PROVIDE A STATEMENT THAT INCLUDES SIGNATURE OF ENTITY RESPONSIBLE FOR PREPARING CERTIFICATION. CERTIFICATES AND CERTIFICATIONS SHALL BE SIGNED BY AN OFFICER OR OTHER INDIVIDUAL AUTHORIZED TO SIGN OCUMENTS ON BEHALF OF THAT ENTITY.

PREPARE PROJECT-SPECIFIC INFORMATION, DRAWN ACCURATELY TO SCALE. DO NOT BASE SHOP DRAWINGS ON REPRODUCTIONS OF THE CONTRACT DOCUMENTS OR STANDARD PRINTED DATA, UNLESS SUBMITTAL BASED ON ARCHITECT'S DIGITAL DATA DRAWING FILES IS OTHERWISE PERMITTED.

SUBMIT SHOP DRAWINGS IN THE FOLLOWING FORMAT: PDF FLECTRONIC FILE (OR)

TWO OPAQUE (BOND) COPIES OF EACH SUBMITTAL. ARCHITECT WILL RETURN ONE COPY. SUBMIT SAMPLES FOR REVIEW OF KIND, COLOR, PATTERN, AND TEXTURE FOR A CHECK OF THESE

SUBMITTAL AND ACTUAL COMPONENT AS DELIVERED AND INSTALLED. MAINTAIN SETS OF APPROVED SAMPLES AT PROJECT SITE, AVAILABLE FOR QUALITY-CONTROL COMPARISONS

CHARACTERISTICS WITH OTHER ELEMENTS AND FOR A COMPARISON OF THESE CHARACTERISTICS BETWEEN

THROUGHOUT THE COURSE OF CONSTRUCTION ACTIVITY. SAMPLE SETS MAY BE USED TO DETERMINE FINAL ACCEPTANCE OF CONSTRUCTION ASSOCIATED WITH EACH SET.

THE CONTRACTOR SHALL REVIEW EACH SUBMITTAL AND CHECK FOR COORDINATION WITH OTHER WORK OF THE CONTRACT AND FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS. NOTE CORRECTIONS AND FIELD DIMENSIONS THAT VARY FROM CONSTRUCTION DOCUMENTS, AND MARK WITH APPROVAL STAMP BEFORE SUBMITTING TO ARCHITECT SUBMITTALS NOT STAMPED APPROVED BY THE CONTRACTOR WILL NOT BE REVIEWED, AND RETURNED TO CONTRACTOR FOR APPROVAL BEFORE ARCHITECTURAL/OWNER REVIEW.

ARCHITECT'S ACTION:

THE ARCHITECT WILL REVIEW EACH SUBMITTAL, MAKE MARKS TO INDICATE CORRECTIONS OR REVISIONS REQUIRED, AND RETURN IT. ARCHITECT WILL STAMP EACH SUBMITTAL WITH AN ACTION STAMP AND WILL MARK STAMP APPROPRIATELY TO INDICATE ACTION. THE ARCHITECT WILL RETAIN ONE COPY FOR FILE RECORD DOCUMENTS, AND WILL RETURN ALL REMAINING COPIES TO CONTRACTOR.

INCOMPLETE SUBMITTALS ARE UNACCEPTABLE, WILL BE CONSIDERED NONRESPONSIVE, AND WILL BE RETURNED FOR

SUBMITTALS NOT REQUIRED BY THE CONTRACT DOCUMENTS MAY BE RETURNED BY THE ARCHITECT WITHOUT ACTION.

01-10 DEFERRED SUBMITTALS

DEFERRED SUBMITTALS ARE THOSE PORTIONS OF DESIGN THAT ARE NOT SUBMITTED AT THE TIME OF THE PERMIT APPLICATION AND HAVE RECEIVED PRIOR APPROVAL FROM THE BUILDING OFFICIAL TO BE DEFERRED. THE DEFERRED BEFORE PLACING CONCRETE, VERIFY THAT INSTALLATION OF FORM WORK, REINFORCEMENT, AND EMBEDDED ITEMS IS SUBMITTALS SHALL BE SUBMITTED TO THE ARCHITECT AND GENERAL CONTRACTOR WITHIN SIX WEEKS TO COMMENCEMENT COMPLETE AND THAT REQUIRED INSPECTIONS HAVE BEEN PERFORMED. OF CONSTRUCTION TO THIS PORTION OF WORK.

SEE DEFERRED SUBMITTAL LEGEND FOR ALL DEFERRED SUBMITTALS BY THE GENERAL CONTRACTOR, AND PROCESS PER IRC FOR REVIEW AND APPROVAL OF ALL DEFERRED SUBMITTALS. CONTRACTOR IS RESPONSIBLE FOR SUBMITTAL OF THESE ITEMS. NO CONSTRUCTION OF ANY ITEM LISTED AS A DEFERRED SUBMITTAL SHALL COMMENCE PRIOR TO APPROVAL BY THE LOCAL BUILDING DEPARTMENT.

INLESS NOTED ON DRAWINGS, THE FOLLOWING ARE REQUIRED FOR THE DEFERRED SUBMITTAL PROCESS.

1. FIRE SPRINKLER DRAWINGS IF REQUIRED 2. PRE-FABRICATED ROOF AND FLOOR TRUSSES

3. HEATING AND COOLING MECHANICAL SYSTEMS 4. LIGHT CONTROLS 5. RADIANT HEAT SUBMITTALS, ENGINEERING, LAYOUT, ETC.

DEFERRED SUBMITTAL PROCESS:

6. FACTORY BUILT FIREPLACES.

1. THE DEFERRED SUBMITTAL SHALL FIRST BE REVIEWED BY THE GENERAL CONTRACTOR FOR COMPLIANCE WITH THE CONSTRUCTION DOCUMENTS. THE SUBMITTAL MUST BE REVIEWED, APPROVED, STAMPED AND SIGNED BY THE GENERAL CONTRACTOR BEFORE BEING SUBMITTED TO THE ARCHITECT.

2. THE GENERAL CONTRACTOR SHALL SUBMIT FIVE SETS OF THE DEFERRED SUBMITTAL TO THE ARCHITECT. 3. THE DEFERRED SUBMITTAL ITEMS WILL BE REVIEWED BY THE ENGINEER OR ARCHITECT IN RESPONSIBLE CHARGE. THE

ENGINEER OR ARCHITECT WILL ATTACH A LETTER TO THE SUBMITTAL STATING THAT THE DEFERRED ITEM IS IN

CONFORMANCE WITH THE DESIGN INTENT OF THE STRUCTURE. 4. THE REVIEWED SUBMITTALS WILL BE RETURNED TO THE GENERAL CONTRACTOR. TWO SETS OF THE DEFERRED SUBMITTAL ARE THEN SUBMITTED TO THE CITY FOR REVIEW.

5. THE GENERAL CONTRACTOR SHALL MAINTAIN ONE SET OF THE REVIEWED SUBMITTAL ON SITE FOR REFERENCE BY THE 6. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THE SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED BY

7. SEE STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS FOR STRUCTURAL DEFERRED SUBMITTALS.

DIVISION 3-CONCRETE

03-05 CAST IN PLACE FOOTINGS

CONCRETE FOOTINGS TO BE 4,000 PSI MINIMUM COMPRESSIVE STRENGTH UNLESS SPECIFIED OTHERWISE ON STRUCTURAL DRAWINGS. STRUCTURAL DRAWINGS SHALL TAKE PRECEDENCE, UNLESS NOT SPECIFIED. ALL FOOTINGS SHALL HAVE

NORMAL WEIGHT 1" AGGREGATE. REINFORCING SHALL BE AS PER THE FOOTING SCHEDULE - SEE STRUCTURAL DRAWINGS.

DESIGN MIXTURES FOR EACH CONCRETE MIX.

ALL FOOTINGS TO BEAR ON UNDISTURBED SOIL OR ENGINEERED COMPACTED FILL. (CERTIFIED 95% COMPACTION). ANY ALL STEPS SHALL BE PLACED ON 6" MINIMUM COMPACTED SUB BASE OR GRAVEL. STEPS SHALL SLOPE 1/8" AT EACH QUESTIONABLE SOIL SHALL BE REVIEWED BY SOIL ENGINEER PRIOR TO PLACEMENT OF FOOTING. THE CONTRACTOR SHALL TREAD TO ALLOW DRAINAGE. COORDINATE AND REQUEST A SITE OBSERVATION REPORT FROM GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF

ALL TYPICAL FOOTINGS TO BE MINIMUM OF 48" FROM FINISH GRADE TO BOTTOM OF FOOTING.

FOOTING SIZE AND REINFORCEMENT MUST MEET REQUIREMENTS OF 2012 IRC R403. FOOTING SIZE ARE SPECIFIED ON STRUCTURAL DRAWINGS WHICH TAKE PRECEDENCE UNLESS SPECIFIED. PROTECT FRESHLY PLACED CONCRETE FROM PREMATURE DRYING AND EXCESSIVE COLD OR HOT TEMPERATURES.

COMPLY WITH ACI 306.1 FOR COLD-WEATHER PROTECTION AND ACI 301 FOR HOT-WEATHER PROTECTION DURING

BEFORE PLACING CONCRETE, VERIFY THAT INSTALLATION OF FORMWORK, REINFORCEMENT, AND EMBEDDED ITEMS IS COMPLETE AND THAT REQUIRED INSPECTIONS HAVE BEEN PERFORMED.

03-06 CAST IN PLACE FOUNDATION WALLS

REINFORCING SHALL BE AS PER THE FOUNDATION WALL SCHEDULE - SEE STRUCTURAL DRAWINGS.

CONCRETE FOUNDATION TO BE 3,000 PSI MINIMUM COMPRESSIVE STREGTH, AND SHALL HAVE NORMAL WEIGHT

DESIGN MIXTURES FOR EACH CONCRETE MIX.

DIVISION 7 OF SPECIFICATIONS.

TYPICAL WALLS SHALL BE A MINIMUM OF 8" THICK U.N.O. ON PLANS. REFER TO BOTH ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR THICKNESS OF WALLS. REFER TO TOP OF WALL DETAILS ON ARCHITECTURAL AND STRUCTURAL DRAWINGS

DESIGN MIXTURES FOR EACH CONCRETE MIX. FOR SPECIFIED DETAILS AND REQUIREMENTS.

COORDINATE WITH ARCHITECTURAL FOUNDATION PLANS FOR ALL TOP OF WALL ELEVATIONS. TOP OF FOUNDATION WALL TO BE A MINIMUM OF 6" ABOVE FINISH GRADE. PROVIDE WATERPROOFING AT EXTERIOR OF FOUNDATION WALLS BELOW FINISH GRADE AT ALL HABITABLE SPACES. SEE

PROVIDE PERIMETER FOUNDATION DRAIN - SEE DIVISION 7 OF SPECIFICATIONS.

PROVIDE RIGID INSULATION AT INSIDE FACE OF FOUNDATION BELOW FLOOR SLAB WHERE EXPOSED TO EXTERIOR. COORDINATE WITH ARCHITECTURAL DETAILS AND INSULATION SPECIFICATIONS FOR THICKNESS REQUIRED PER ENERGY CALCULATIONS CONCRETE FOUNDATION WALLS TO MEET THE REQUIREMENTS OF 2012 IRC 404.

CONSTRUCT FORM WORK SO CONCRETE MEMBERS AND STRUCTURES ARE OF SIZE, SHAPE, ALIGNMENT, ELEVATION, AND

POSITION INDICATED PLACE AND SECURE ANCHORAGE DEVICES AND OTHER EMBEDDED ITEMS REQUIRED FOR

ADJOINING WORK THAT IS ATTACHED TO OR SUPPORTED BY CAST-IN-PLACE CONCRETE. USE SETTING DRAWINGS.

TEMPLATES, DIAGRAMS, INSTRUCTIONS, AND DIRECTIONS FURNISHED WITH ITEMS TO BE EMBEDDED. BEFORE PLACING CONCRETE, VERIFY THAT INSTALLATION OF FORMWORK, REINFORCEMENT, AND EMBEDDED ITEMS IS COMPLETE AND THAT REQUIRED INSPECTIONS HAVE BEEN PERFORMED.

FINISH: PROVIDE RUBBED SURFACES ON ALL EXPOSED SURFACES OF ALL EXPOSED CONCRETE FOUNDATION WALLS NO LATER THAN ONE DAY AFTER FORM REMOVAL.

PROTECT FRESHLY PLACED CONCRETE FROM PREMATURE DRYING AND EXCESSIVE COLD OR HOT TEMPERATURES. CONCRETE THAT CANNOT BE REPAIRED AND PATCHED TO ARCHITECT'S APPROVAL.

03-08 CAST IN PLACE INTERIOR CONCRETE SLABS

INTERIOR CONCRETE SLABS TO BE 4,000 PSI. AND SHALL HAVE NORMAL WEIGHT 3/4" AGGREGATE.

REINFORCING SHALL BE PER STRUCTURAL DRAWINGS. PROVIDE #3 @ 24"O.C. EACH WAY OR 6" X 6"-W1.4 X W1.4 W.W.M. IF GENERAL/PRODUCT NOT SPECIFIED ON DRAWINGS. STRUCTURAL DRAWINGS SHALL TAKE PRECEDENCE OVER MINIMUM SPECIFICATION FOR ALL REINFORCEMENT.

DESIGN MIXTURES FOR EACH CONCRETE MIX

ALL SLABS SHALL BE PLACED ON 2" RIGID INSULATION BOARD OVER 6 MIL. POLYETHYLENE (OR APPROVED EQUAL) VAPOR

BARRIER WITH JOINTS LAPPED NOT LESS THAN 6" OVER 4" MINIMUM COMPACTED SUB BASE.

CONTRACTOR TO VERIFY THAT INSTALLATION OF FORM WORK, REINFORCEMENT, AND EMBEDDED ITEMS IS COMPLETE AND

ALL SLABS SHALL BE PLACED ON 4" MINIMUM COMPACTED SUB BASE OR GRAVEL. THAT REQUIRED INSPECTIONS HAVE BEEN PERFORMED.

PLANS PROVIDED BY DESIGN BUILD CONTRACTOR COORDINATED BY THE GENERAL CONTRACTOR. THE RADIANT TUBING

MUST BE WITHIN THE TOP HALF OF THE SLAB.

ALL JOINTS SHALL BE CUT.

ALL REINFORCEMENT.

PROTECT FRESHLY PLACED CONCRETE FROM PREMATURE DRYING AND EXCESSIVE COLD OR HOT TEMPERATURES. REPAIR AND PATCH DEFECTIVE AREAS WHEN APPROVED BY ARCHITECT. REMOVE AND REPLACE CONCRETE THAT CANNOT BE REPAIRED AND PATCHED TO ARCHITECT'S APPROVAL.

SEE ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR LOCATION OF ALL CONTROL AND EXPANSION JOINTS AT

03-09 EXTERIOR CAST IN PLACE CONCRETE SLABS

EXTERIOR CONCRETE SLABS TO BE 4,000 PSI., AND SHALL HAVE NORMAL WEIGHT 3/4" AGGREGATE. REINFORCING SHALL BE PER STRUCTURAL DRAWINGS. PROVIDE #3 @ 24" O.C. EACH WAY OR 6" X 6" -W1.4 X W1.4 W.W.M. IF NOT SPECIFIED ON DRAWINGS. STRUCTURAL DRAWINGS SHALL TAKE PRECEDENCE OVER MINIMUM SPECIFICATION FOR COMPRESSIVE STRENGTH (28 DAYS): 5000 PSI

DESIGN MIXTURES FOR EACH CONCRETE MIX

ALL SLABS SHALL BE PLACED ON 4" MINIMUM COMPACTED SUB BASE.

SLAB SHALL SLOPE 1/8" PER FOOT TO DRAIN AWAY FROM BUILDING. PROVIDE TURNED DOWN GRADE BEAM AT EDGES. DOWEL SLAB INTO FOUNDATION WALLS WITH #4 BARS AT 24" O.C.

SHOWN ON DRAWINGS.

TROWEL FINISH: AS SPECIFIED ON LANDSCAPE DRAWINGS

REPAIR AND PATCH DEFECTIVE AREAS WHEN APPROVED BY ARCHITECT. REMOVE AND REPLACE CONCRETE THAT CANNOT BE REPAIRED AND PATCHED TO ARCHITECT'S APPROVAL

SEE ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR LOCATION OF ALL CONTROL AND EXPANSION JOINTS AT

PROTECT FRESHLY PLACED CONCRETE FROM PREMATURE DRYING AND EXCESSIVE COLD OR HOT TEMPERATURES.

RADIANT HEATING TUBES ARE TO BE LOCATED IN SEVERAL CONCRETE PATIOS AT THE EXTERIOR AS NOTED ON THE PLANS. LOCATIONS AND DESIGN OF TUBING LAYOUT. CONTRACTOR TO COORDINATE PLACEMENT OF TUBES IN TOP HALF OF

ALL SLABS AT EXTERIOR FOR RADIANT HEATING SHALL 2" CLOSED-CELL SPRAY-FOAM INSULATION UNDER THE SLAB.

03-12 EXTERIOR CAST IN PLACE CONCRETE STEPS

EXTERIOR CONCRETE STEPS TO BE 4,000 PSI., AND SHALL HAVE NORMAL WEIGHT 3/4" AGGREGATE.

REINFORCING SHALL BE PER STRUCTURAL DRAWINGS. PROVIDE #3 @ 24" O.C. PROVIDE #3 AT EACH NOSING OF STAIRS. STONE TO BE: QUARTZITE FROM LOCAL QUARRY PROVIDE MINIMUM OF 2" COVERAGE OF CONCRETE TO ALL STEEL. STRUCTURAL DRAWINGS SHALL TAKE PRECEDENCE OVER MINIMUM SPECIFICATION FOR ALL REINFORCEMENT

DESIGN MIXTURES FOR EACH CONCRETE MIX.

RUN FOR EACH STEPS.

PROVIDE TURNED DOWN GRADE BEAM AT EDGES. DOWEL SLAB INTO FOUNDATION WALLS WITH #4 BARS AT 24" O.C STEPS TO HAVE RISER MAXIMUM HEIGHT OF 7" AND MINIMUM TREAD OF 12". SEE ARCHITECTURAL DETAILS FOR RISE AND

BEFORE PLACING CONCRETE, VERIFY THAT INSTALLATION OF FORM WORK, REINFORCEMENT, AND EMBEDDED ITEMS IS COMPLETE AND THAT REQUIRED INSPECTIONS HAVE BEEN PERFORMED.

TROWEL FINISH: AS SPECIFIED ON LANDSCAPE DRAWINGS.

PROTECT FRESHLY PLACED CONCRETE FROM PREMATURE DRYING AND EXCESSIVE COLD OR HOT TEMPERATURES. REPAIR AND PATCH DEFECTIVE AREAS WHEN APPROVED BY ARCHITECT. REMOVE AND REPLACE CONCRETE THAT CANNOT BE REPAIRED AND PATCHED TO ARCHITECT'S APPROVAL NO JOINTS IN STAIRS.

03-14 CAST IN PLACE RETAINING WALLS

CONCRETE FOUNDATION TO BE 3,000 PSI MINIMUM COMPRESSIVE STRENGTH, AND SHALL HAVE NORMAL WEIGHT 1 AGGREGATE UNLESS NOTED OTHERWISE ON STRUCTURAL DRAWINGS. STRUCTURAL DRAWINGS SHALL TAKE PRECENDENCE

REINFORCING SHALL BE AS PER THE FOUNDATION WALL SCHEDULE -SEE STRUCTURAL DRAWINGS.

FOR SPECIFIED DETAILS AND REQUIREMENTS.

OVER MINIMUM STANDARDS SPECIFIED.

TYPICAL WALLS SHALL BE A MINIMUM OF 8" THICK U.N.O. ON PLANS. REFER TO BOTH ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR THICKNESS OF WALLS. REFER TO TOP OF WALL DETAILS ON ARCHITECTURAL AND STRUCTURAL DRAWINGS

COORDINATE WITH ARCHITECTURAL FOUNDATION PLANS FOR ALL TOP OF WALL ELEVATIONS. TOP OF FOUNDATION WALL TO BE A MINIMUM OF 6" ABOVE FINISH GRADE.

PROVIDE WATERPROOFING AT EXTERIOR OF FOUNDATION WALLS BELOW FINISH GRADE AT ALL HABITABLE SPACES. SEE DIVISION 7 OF SPECIFICATIONS.

PROVIDE PERIMETER FOUNDATION DRAIN - SEE DIVISION 7 OF SPECIFICATIONS.

CONCRETE THAT CANNOT BE REPAIRED AND PATCHED TO ARCHITECT'S APPROVAL.

CONCRETE FOUNDATION WALLS TO MEET THE REQUIREMENTS OF 2012 IRC 404 CONSTRUCT FORM WORK SO CONCRETE MEMBERS AND STRUCTURES ARE OF SIZE, SHAPE, ALIGNMENT, ELEVATION, AND POSITION INDICATED PLACE AND SECURE ANCHORAGE DEVICES AND OTHER EMBEDDED ITEMS REQUIRED FOR ADJOINING WORK THAT IS ATTACHED TO OR SUPPORTED BY CAST-IN-PLACE CONCRETE. USE SETTING DRAWINGS, templates, diagrams, instructions, and directions furnished with items to be embedded.

BEFORE PLACING CONCRETE, VERIFY THAT INSTALLATION OF FORM WORK, REINFORCEMENT, AND EMBEDDED ITEMS IS COMPLETE AND THAT REQUIRED INSPECTIONS HAVE BEEN PERFORMED

FINISH: PROVIDE RUBBED SURFACES ON ALL EXPOSED SURFACES OF ALL EXPOSED CONCRETE FOUNDATION WALLS NO

LATER THAN ONE DAY AFTER FORM REMOVAL. DEFECTIVE CONCRETE: REPAIR AND PATCH DEFECTIVE AREAS WHEN APPROVED BY ARCHITECT. REMOVE AND REPLACE

PROTECT FRESHLY PLACED CONCRETE FROM PREMATURE DRYING AND EXCESSIVE COLD OR HOT TEMPERATURES. DEFECTIVE CONCRETE: REPAIR AND PATCH DEFECTIVE AREAS WHEN APPROVED BY ARCHITECT. REMOVE AND REPLACE

CONTRACTOR SHALL COORDINATE PLACEMENT OF WEEP HOLES AT THE BASE OF THE CONCRETE RETAINING WALL. 03-18 CAST IN PLACE GARAGE CONCRETE SLABS

INTERIOR CONCRETE GARAGE SLABS TO BE 4,000 PSI., AND SHALL HAVE NORMAL WEIGHT 3/4" AGGREGATE. REINFORCING SHALL BE PER STRUCTURAL DRAWINGS. PROVIDE #3 @ 24" O.C. EACH WAY OR 6" X 6" -W1.4 X W1.4 W.W.M. FLASHING SHALL BE PROVIDED AT LOCATIONS IN THE EXTERIOR WALL ENVELOPE AS REQUIRED TO

DESIGN MIXTURES FOR EACH CONCRETE MIX

BEFORE PLACING CONCRETE, VERIFY THAT INSTALLATION OF FORM WORK, REINFORCEMENT, AND EMBEDDED ITEMS IS COORDINATE WITH HVAC CONTRACTOR FOR IN FLOOR RADIANT HEATING SYSTEM OR BELOW GRADE DUCTWORK AS PER COMPLETE AND THAT REQUIRED INSPECTIONS HAVE BEEN PERFORMED. TROWEL FINISH: SMOOTH

> PROTECT FRESHLY PLACED CONCRETE FROM PREMATURE DRYING AND EXCESSIVE COLD OR HOT TEMPERATURES. REPAIR AND PATCH DEFECTIVE AREAS WHEN APPROVED BY ARCHITECT. REMOVE AND REPLACE CONCRETE THAT CANNOT BE REPAIRED AND PATCHED TO ARCHITECT'S APPROVAL.

JOINTS: SEE ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR LOCATION OF ALL CONTROL AND EXPANSION JOINTS AT CONCRETE SLABS. THE CONTRACTOR SHALL COORDINATE WITH THE MECHANICAL DESIGN BUILD CONTRACTOR FOR EXTENT OF RADIANT HEATING TUBES IN CONCRETE SLAB. CONTRACTOR SHALL COORDINATE PLACEMENT,. AND ASSURE THAT ALL TUBES ARE IN TOP HALF OF CONCRETE SLAB. PROVIDE 1 1/2" RIGID INSULATION UNDER ALL SLABS WITH RADIANT HEATING.

COORDINATE WITH DETAILS ON PLANS. 03-62 CONCRETE TOPPING SLABS

1/2" LIGHTWEIGHT CONCRETE TOPPING SLAB ON PLYWOOD FLOORING

15LB BUILDING PAPER BETWEEN TOPPING SLAB AND PLYWOOD FLOORING

TIGHT CONTACT WITH BONDING SURFACE.

COST TO THE OWNER.

COORDINATE WITH HVAC CONTRACTOR PRIOR TO INSTALLATION.

PLACE CONCRETE FLOOR TOPPING CONTINUOUSLY IN A SINGLE LAYER, TAMPING AND CONSOLIDATING TO ACHIEVE

SCREED SURFACE WITH A STRAIGHTEDGE AND STRIKE OFF TO CORRECT ELEVATIONS, AND SLOPE SURFACES UNIFORMLY WHERE INDICATED. CONTRACTION JOINTS IN SLABS-ON-GRADE AS INDICATED SHALL BE AT LEAST ONE-FOURTH OF CONCRETE THICKNESS AS RADIANT TUBES SHALL BE PLACED ON TOP OF PLYWOOD FLOORING PRIOR TO PLACEMENT OF TOPPING SLAB. LAYOUT OF TUBING SHALL BE PROVIDED BY THE DESIGN BUILD GENERAL CONTRACTOR, AND SHALL BE PROTECTED FROM

> THE CONTRACTOR SHALL PROVIDE AS AN ALTERNATE TO THE OWNER THE PRICE TO PROVIDE 1/2" RIGID INSULATION UNDER THE LIGHTWEIGHT CONCRETE SLAB FOR ISOLATION OF RADIANT TUBES TO PLYWOOD. PROVIDE PRICING AS AN ADD ALTERNATE FOR OWNER APPROVALS

PUNCTURE PRIOR TO PLACEMENT. THE CONTRACTOR SHALL PROTECT ALL TUBING TO PREVENT DAMAGE TO ANY PIPES.

ALL DAMAGE WILL THE RESPONSIBILITY OF THE GENERAL AND MECHANICAL/ PLUMBING CONTRACTORS TO REPAIR AT NO

DIVISION 4 MASONRY 04-40 EXTERIOR STONE VENEER

STONE VENEER AT EXTERIOR OF BUILDING AS SHOWN ON DRAWINGS.

PATTERN: RANDOM HORIZONTAL ASHLER LAY TO BE VERIFIED BY THE ARCHITECT FROM MOCK-UP

COLOR: MIX OF BUFF AND GRAY MORTAR COLOR: TO BE DETERMINED BY ARCHITECT AT TIME OF MOCKUP.

JOINTS IN STONE VENEER TO BE: DRY-STACK AS APPROVED BY ARCHITECT AT TIME OF MOCKUP.

FLASHING: SEE SECTION 07 FOR FLASHING SPECIFICATIONS, SCHEDULE, REQUIREMENTS, ETC.

SEE DETAILS ON DRAWINGS FOR PROFILES OF FLASHING AT LOCATION SPECIFIED AND SHOWN ON DRAWINGS. 4 FT X 4 FT SAMPLE PANEL AT SITE OF EACH STONE TYPE INDICATED AND LAY PATTERN INDICATED. CONTACT ARCHITECT

ARRANGE STONES IN PATTERN AS APPROVED BY ARCHITECT FROM SAMPLE PANEL ON SUBMITTALS

AND OWNER TO REVIEW AFTER SAMPLE PANEL IS COMPLETE FOR APPROVAL. PROVIDE 1 WEEK NOTICE.

PLACE WEEP HOLES AND VENTS IN JOINTS WHERE MOISTURE MAY ACCUMULATE, INCLUDING AT BASE OF CAVITY WALLS. ABOVE SHELF ANGLES, AND AT FLASHING. ANCHOR STONE MASONRY TO CONCRETE, CMU AND STUD WALL FRAMING AS INDICATED ON DETAILS WITHIN

MORTAR JOINTS AS STONE IS SET. MORTAR TO BE SLUSHED INTO SPACE BETWEEN STONE FACE AND VAPOR BARRIER.

RAKE OUT JOINTS AS DIRECTED BY ARCHITECT.

CLEAN STONE MASONRY AS WORK PROGRESSES. REMOVE MORTAR FINS AND SMEARS BEFORE TOOLING JOINTS, AFTER MORTAR IS THOROUGHLY SET AND CURED. CLEAN STONE MASONRY AS FOLLOWS:

PROPRIETARY ACIDIC CLEANER APPLIED ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS.

REMOVE LARGE MORTAR PARTICLES BY HAND WITH WOODEN PADDLES AND NONMETALLIC SCRAPE HOES OR CHISELS, TEST CLEANING METHODS ON MOCKUP; LEAVE ONE-HALF OF PANEL UNCLEAN FOR COMPARISON PURPOSES. PROTECT ADJACENT STONE AND NON-MASONRY SURFACES FROM CONTACT WITH CLEANER BY COVERING THEM WITH LIQUID STRIPPABLE MASKING AGENT, POLYETHYLENE FILM, OR WATERPROOF MASKING TAPE. CLEAN STONE MASONRY WITH

SET STONE IN FULL BED OF MORTAR WITH FULL HEAD JOINTS UNLESS OTHERWISE INDICATED. BUILD ANCHORS INTO

STONE AND MASONRY VENEERS SHALL BE INSTALLED IN ACCORDANCE WITH IRC CHAPTER 703 TABLE R703.4 AND FIGURE R703.7.2.1 AND R703.7.2.2. THESE VENEERS INSTALLED OVER A BACKING OF WOOD OR COLD-FORMED STEEL SHALL NOT RAKE OUT JOINTS AS DIRECTED BY ARCHITECT. EXCEED 5 INCHES IN THICKNESS. HEIGHTS MAY BE EXCEEDED IF ENGINEERED PER I.R.C.

MASONRY VENEERS INSTALLATION AND CONSTRUCTION SHALL COORDINATE WITH STANDARD CONSTRUCTION DETAILS,

STRUCTURAL SEISMIC PROVISIONS AND SHALL MEET THE FOLLOWING REQUIREMENTS. SEE I.R.C. SECTION R703, R1001 AND

A. MASONRY VENEERS SHALL BE SUPPORTED ON FOUNDATIONS, STEEL LINTELS, OR OTHER APPROVED MATERIALS AS PER INTERNATIONAL RESIDENTIAL CODE. (I.R.C. R703.7.2) B. MASONRY VENEERS SHALL BE ANCHORED TO THE SUPPORTING WALL WITH CORROSION RESISTANT METAL TIES. WHERE VENEER IS ANCHORED TO WOOD BACKINGS THROUGH THE USE OF CORRUGATED SHEET METAL TIES THE DISTANCE SEPARATING THE VENEER FROM THE SHEATHING SHALL BE A MAXIMUM OF 1 INCH. (R703.7.4) WHERE

STRAND WIRE IS USED FOR ANCHORAGE THE DISTANCE SEPARATING THE

VENEER FROM THE SHEATHING SHALL BE A MAXIMUM OF 4 1/2 INCHES. (I.R.C. R703.7.4) C. THE VENEER SHALL BE SEPARATED FROM THE SHEATHING BY AN AIR SPACE OF A MINIMUM OF 1 INCH BUT NOT MORE THAN 4.5 INCHES. A WEATHER MEMBRANE IS NOT REQUIRED OVER WATER-REPELLENT SHEATHING. (I.R.C. R703.7.4.2), OTHERWISE PROVIDE APPROVED MEMBRANE PER IRC TABLE R703.4 NOTE M. THE AIR SPACE BETWEEN THE VENEER AND THE SHEATHING MAY BE FILLED WITH GROUT OR MORTAR AS LONG AS THE SHEATHING IS COVERED WITH AN APPROVED WEATHER RESISTANT MEMBRANE. (I.R.C. R703.7.4.3) D. ANCHORAGE SIZE & SPACING, IF STRAND WIRE, SHALL NOT BE LESS IN THICKNESS THAN NO. 9 U.S. GAG WIRE & SHALL HAVE A HOOD EMBEDDED IN THE MORTAR JOINT, OR IF SHEET METAL, SHALL BE NOT LESS NO. 22 U.S. GAGE X 7/8 INCH CORRUGATED. EACH TIE SHALL BE SPACED NOT MORE THAN 24 INCHES ON CENTER

HORIZONTALLY AND SHALL SUPPORT NOT MORE THAN 2.67 SQUARE FEET OF WALL AREA. (I.R.C. R703.7.4.1) EXCEPTIONS: IN SEISMIC DESIGN CATEGORY D1 OR D2 & IN WIND AREAS OF MORE THAN 30 POUNDS PER SQUARE FOOT, EACH TIE SHALL SUPPORT NOT MORE THAN 2 SQUARE FEET OF WALL AREA. IRC 703.7.4.1 EXCEPTION.

E. ADDITIONAL METAL TIES SHALL BE PROVIDED AROUND ALL WALL OPENINGS GREATER THAN 16 INCHES IN EITHER DIMENSION. METAL TIES AROUND THE PERIMETER OF OPENINGS SHALL BE SPACED NOT MORE THAN 3 FEET ON CENTER & PLACED WITHIN 12 INCHES OF THE WALL OPENING. (SEE I.R.C. SECTION F. MASONRY VENEERS ABOVE OPENINGS SHALL BE SUPPORTED ON LINTELS OF NON-COMBUSTABLE MATERIALS. THE SPAN SHALL NOT EXCEED THE VALUES AS SET FORTH IN TABLE R703.7.3 OF THE I.R.C. THE LINTELS SHALL HAVE A LENGTH OF BEARING OF NOT LESS THAN 4 INCHES. (I.R.C. R703.7.3) G. FLASHING SHALL BE LOCATED BENEATH THE FIRST COURSE OF MASONRY ABOVE FINISHED GROUND

LEVEL ABOVE THE FOUNDATION WALL OR SLAB AND ALL OTHER POINTS OF SUPPORT (IRC 703.7.5)

STONE OR BRICK VENEER ON STUDS OR SHEATHING.

IF NOT SPECIFIED ON DRAWINGS. STRUCTURAL DRAWINGS SHALL TAKE PRECEDENCE OVER MINIMUM SPECIFICATION FOR ENTRY OF WATER INTO THE BUILDING AS PER IRC 703.8. H. WEEPHOLES SHALL BE PROVIDED IN THE OUTSIDE WYTHE OF MASONRY WALLS AT A MAXIMUM SPACING OF 33 INCHES ON CENTER. WEEPHOLE SHALL BE NOT LESS THAN 3/16 INCH IN DIAMETER. WEEPHOLES SHALL BE LOCATED IMMEDIATELY ABOVE THE FLASHING. (I.R.C. R703.7.6) I. IN SEISMIC CATEGORY OTHER THAN A,B, OR C ALL STONE AND MASONRY VENEERS INSTALLED OVER A BACKING OF WOOD OR COLD-FORMED STEEL SHALL NOT EXCEED 5 INCHES IN THICKNESS. SEE STRUCTURAL FOR SEISMIC CATEGORY. (I.R.C. R703.7). MASONRY HEIGHT SHALL BE LIMITED PER 703 EXCEPTIONS. IN CATEGORY D1, MASONRY VENEER HALL NOT EXCEED 20' ABOVE THE FOUNDATION WITH ADDITIONAL 8' PERMITTED FOR GABLED ENDS AND WHERE THE LOWER 10' MAX. HAS A BACKING OF CONCRETE OR MASONRY, AN ADDITIONAL 10' IN HEIGHT IS PERMITTED. PROVIDE BRACED WALLS AND HOLD DOWN CONNECTORS AS REQUIRED PER R703.7 EXCEPTION 3 OR 4 AS APPLICABLE. HEIGHT MAY BE EXCEEDED IF ENGINEERED

J. PROVIDE WEATHER RESISTANT SHEATHING PAPER AS REQUIRED AS PER I.R.C. TABLE R703.4 UNDER ALL

04-48, 04-49 STONE VENEER COMPONENTS

TONE VENEER COMPONENTS ARE: CUT STONE WALL CAPS- CHOPPED SANDSTONE CUT STONE WINDOW SILLS - CHOPPED SANDSTONE CUT STONE COLUMN CAPS- CHOPPED SANDSTONE

CUT STONE WINDOW /DOOR HEADERS- CHOPPED SANDSTONE

STONE TO BE: QUARTZITE FROM LOCAL QUARRY STONE COLOR TO BE: MIX OF BUFF AND GRAY

NOTED ON DRAWINGS.

MORTAR COLOR: TO BE DETERMINED BY ARCHITECT AT TIME OF MOCKUP.

STONE TO BE CUT AND INSTALLED PER DETAILS WITHIN DRAWINGS FLASHING: SEE SECTION 07 FOR FLASHING SPECIFICATIONS, SCHEDULE, REQUIREMENTS, ETC.

SEE DETAILS ON DRAWINGS FOR PROFILES OF FLASHING AT LOCATION SPECIFIED AND SHOWN ON DRAWINGS.

PROVIDE SAMPLE OF EACH COMPONENT TO BE INCLUDED WITHIN THE SAMPLE BOARD FOR REVIEW BY OWNER AND ARCHITECT.

WALL CAPS SHALL BE INSTALLED WHERE INDICATED ON DRAWINGS. INSTALL ALL CAPS LEVEL AND SHALL SLOPE AS INDICATED ON DRAWINGS OR WITH A MINIMUM OF 1/8" PER FT. FOR DRAINAGE. IF NOT SPECIFIED PROVIDE TOP TO

SLOPE TO PROVIDE DRAINAGE AWAY FROM BUILDING. WINDOW SILLS SHALL BE INSTALLED WHERE INDICATED ON DRAWINGS. INSTALL ALL SILLS LEVEL AND SHALL SLOPE AS INDICATED ON DRAWINGS FOR DRAINAGE. IF NOT SPECIFIED PROVIDE TOP TO SLOPE TO PROVIDE DRAINAGE AWAY

COLUMN CAPS SHALL BE INSTALLED WHERE INDICATED ON DRAWINGS. INSTALL ALL CAPS TO SLOPE AS INDICATED ON DRAWINGS OR WITH A MINIMUM OF 1/8" PER FT. FOR DRAINAGE. COLUMN CAPS SHALL BE PROVIDED IN 4 PIECES WITH

ALL JOINTS AT CORNERS, UNLESS SHOWN OTHERWISE ON DRAWINGS. TOP SHALL SLOPE AWAY FROM CENTER TO EDGE AS

WINDOW AND DOOR HEADERS SHALL BE INSTALLED WHERE INDICATED ON DRAWINGS. INSTALL DOOR AND WINDOW

ANCHOR STONE MASONRY TO CONCRETE, CMU AND STUD WALL FRAMING AS INDICATED ON DETAILS WITHIN DRAWINGS. SET STONE IN FULL BED OF MORTAR WITH FULL HEAD JOINTS UNLESS OTHERWISE INDICATED. BUILD ANCHORS INTO MORTAR JOINTS AS STONE IS SET.

MORTAR IS THOROUGHLY SET AND CURED, CLEAN STONE MASONRY AS FOLLOWS:

MORTAR TO BE SLUSHED INTO SPACE BETWEEN STONE FACE AND DRAIN PLANE AND WEATHER BARRIER.

REMOVE LARGE MORTAR PARTICLES BY HAND WITH WOODEN PADDLES AND NONMETALLIC SCRAPE HOES OR CHISELS, TEST CLEANING METHODS ON MOCKUP; LEAVE ONE-HALF OF PANEL UNCLEAN FOR COMPARISON PURPOSES. PROTECT ADJACENT STONE AND NON-MASONRY SURFACES FROM CONTACT WITH CLEANER BY COVERING THEM WITH LIQUID Strippable masking agent, polyethylene film, or waterproof masking tape. Clean stone masonry with PROPRIETARY ACIDIC CLEANER APPLIED ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS.

CLEAN STONE MASONRY AS WORK PROGRESSES. REMOVE MORTAR FINS AND SMEARS BEFORE TOOLING JOINTS,AFTER

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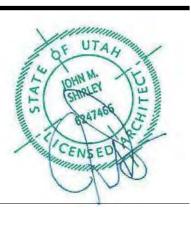
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REVISIONS:

<u>general/products</u> Structural Steel Beams (ASTM a 572/a 572m, grade 50)

INDICATE WELDS BY STANDARD AWS SYMBOLS, DISTINGUISHING BETWEEN SHOP AND FIELD WELDS, AND SHOW SIZE, LENGTH, AND TYPE OF EACH WELD.

INDICATE TYPE, SIZE, AND LENGTH OF BOLTS. BOLTS, NUTS, AND WASHERS: ASTM A325, HEAVY HEX STEEL STRUCTURAL BOLTS; ASTM A563 HEAVY HEX CARBON-STEEL NUTS; AND ASTM F436 HARDENED CARBON-STEEL WASHERS. CONTRACTOR SHALL ASSURE THAT FABRICATOR, ERECTOR ARE CERTIFIED INSTALLERS TO PERFORM THE WORK, AND PROVIDE CERTIFICATION WITH SUBMITTAL

ALL STEEL MEMBERS SHALL BE PRIMED, PRIOR TO DELIVERY TO SITE. EXPOSED STEEL SHALL BE FINISHED SSPC-PAINT 25, TYPE ARCHITECT. I, COLOR OF EXPOSED STEEL TO BE: BENJAMIN MOORE-SATIN HC-167, "AMHERST GRAY"

PROVIDE BEAMS OF SIZES AND SHAPES INDICATED. FABRICATE CONNECTIONS TO COMPLY WITH DETAILS SHOWN OR AS REQUIRED TO SUIT TYPE OF STRUCTURE INDICATED.

CONTRACTOR WILL ENGAGE AN INDEPENDENT TESTING AND INSPECTING AGENCY TO PERFORM SHOP TESTS AND INSPECTIONS AND PREPARE TEST REPORTS. VERIFY ELEVATIONS OF CONCRETE- AND MASONRY-BEARING SURFACES AND LOCATIONS OF ANCHOR RODS, BEARING PLATES, AND OTHER EMBEDMENTS, PROCEED WITH INSTALLATION ONLY AFTER PROVIDE ALL NECESSARY BRACING AND SHORING FOR ERECTION, AND DO NOT REMOVE UNTIL FINAL ERECTION IS UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED.

PROVIDE ALL NECESSARY BRACING AND SHORING FOR ERECTION, AND DO NOT REMOVE UNTIL FINAL ERECTION IS COMPLETE, CAMBER STRUCTURAL-STEEL MEMBERS WHERE INDICATED. ALL MEMBERS SHALL BE LEVEL AND PLUMB IN ACCORDANCE WITH THE DRAWINGS AND PROJECT CONDITIONS.

FABRICATE WITH EXPOSED SURFACES SMOOTH, SQUARE, AND FREE OF SURFACE BLEMISHES INCLUDING PITTING, RUST, SCALE, SEAM MARKS, ROLLER MARKS, ROLLED TRADE NAMES, AND ROUGHNESS. REMOVE BLEMISHES BY FILLING OR GRINDING OR BY WELDING AND GRINDING, BEFORE CLEANING, TREATING, AND SHOP PRIMING.

BOLT HOLES: CUT, DRILL, OR PUNCH STANDARD BOLT HOLES PERPENDICULAR TO METAL SURFACES. PROVIDE HOLES REQUIRED FOR SECURING OTHER WORK TO STRUCTURAL STEEL AND FOR PASSAGE OF OTHER WORK THROUGH STEEL FRAMING MEMBERS. DO NOT THERMALLY CUT BOLT HOLES OR ENLARGE HOLES BY BURNING.

05-02, 05-03, 05-04 STRUCTURAL STEEL COLUMNS

STRUCTURAL STEEL COLUMNS: TUBE, PIPE, WIDE FLANGE, AS NOTED ON STRUCTURAL DRAWINGS. ARCHITECTURALLY EXPOSED STRUCTURAL STEEL

SHOP DRAWINGS: SHOW FABRICATION OF STRUCTURAL-STEEL COMPONENTS

INCLUDE DETAILS OF CUTS, CONNECTIONS, SPLICES, CAMBER, HOLES, AND OTHER PERTINENT DATA, WITH EMBEDMENT

INDICATE WELDS BY STANDARD AWS SYMBOLS, DISTINGUISHING BETWEEN SHOP AND FIELD WELDS, AND SHOW SIZE, LENGTH, AND TYPE OF EACH WELD.

INDICATE TYPE, SIZE, AND LENGTH OF BOLTS, DISTINGUISHING BETWEEN SHOP AND FIELD BOLTS.

CONTRACTOR SHALL ASSURE THAT FABRICATOR, ERECTOR ARE CERTIFIED INSTALLERS TO PERFORM THE WORK.

ALL STEEL MEMBERS SHALL BE PRIMED, PRIOR TO DELIVERY TO SITE. EXPOSED STEEL SHALL BE FINISHED AS FOLLOWS:

- A. Piamented Polyurethane over Epoxy System with shopcoat primer Prime Coat: Primer, rust-inhibitive, water based, MPI #107: S-W S-W Pro-Cryl Universal Primer, B66-310 Series, at 2.0 to 4.0 mils dry, per coat.
- Intermediate Coat: Epoxy, high-build, low gloss, : S-W Macropoxy 646-100, B58-600 Series, B-73-620 Series, at 5 to 10 mils dry, per coat.
- Topcoat: Polyurethane, two-component, pigmented, gloss, (Gloss Level 6): S-W Waterbased Acrolon 100 Polyurethane, B65-720 Series, at 2.0 to 4.0 mils dry, per coat. B. COLOR: BENJAMIN MOORE- SATIN HC-167, "AMHERST GRAY".

PROVIDE COLUMNS OF SIZES AND SHAPES INDICATED. FABRICATE CONNECTIONS TO COMPLY WITH DETAILS SHOWN OR AS REQUIRED TO SUIT TYPE OF STRUCTURE INDICATED.

CONTRACTOR WILL ENGAGE AN INDEPENDENT TESTING AND INSPECTING AGENCY TO PERFORM SHOP TESTS AND INSPECTIONS AND PREPARE TEST REPORTS.

VERIFY ELEVATIONS OF CONCRETE- AND MASONRY-BEARING SURFACES AND LOCATIONS OF ANCHOR RODS, BEARING PLATES, AND OTHER EMBEDMENTS, THEN PROCEED WITH INSTALLATION ONLY AFTER UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED.

PROVIDE ALL NECESSARY BRACING AND SHORING FOR ERECTION, AND DO NOT REMOVE UNTIL FINAL ERECTION IS COMPLETE. ALL MEMBERS SHALL BE LEVEL AND PLUMB IN ACCORDANCE WITH THE DRAWINGS AND PROJECT

ALL STEEL COLUMNS IN WALLS SHALL RECEIVE 1/2" DIAMETER THREADED BOLTS WELDED TO THE COLUMN AT 2'-0" O.C. VERTICAL. STUD WALLS SHALL START AND STOP AT COLUMN AND BOLT TO COLUMN. BOLTS SHALL EXTEND THROUGH TWO STUDS MINIMUM AT ALL LOCATIONS EXCEPT AT WINDOWS AT EXTERIOR WALL. BOLTS MAY EXTEND THROUGH ONE STUD.

05-06 STRUCTURAL STEEL CHANNELS

<u>GENERAL/PRODUCTS</u>
STRUCTURAL STEEL CHANNELS (ASTM A 572/A 572M, GRADE 50)

SHOP DRAWINGS: SHOW FABRICATION OF STRUCTURAL-STEEL COMPONENTS

INCLUDE DETAILS OF CUTS, CONNECTIONS, SPLICES, CAMBER, HOLES, AND OTHER PERTINENT DATA, WITH EMBEDMENT

INDICATE WELDS BY STANDARD AWS SYMBOLS, DISTINGUISHING BETWEEN SHOP AND FIELD WELDS, AND SHOW SIZE, LENGTH, AND TYPE OF EACH WELD. INDICATE TYPE, SIZE, AND LENGTH OF BOLTS. BOLTS, NUTS, AND WASHERS: ASTM A 325, HANDRAILS SHALL MEET THE FOLLOWING REQUIREMENTS. SEE I.R.C. SECTION R311.7.7: HEAVY HEX STEEL STRUCTURAL BOLTS; ASTM A 563 HEAVY HEX CARBON-STEEL NUTS; AND ASTM F 436 HARDENED CARBON-

CONTRACTOR SHALL ASSURE THAT FABRICATOR, ERECTOR ARE CERTIFIED INSTALLERS TO PERFORM THE WORK, AND PROVIDE CERTIFICATION WITH SUBMITTAL

all steel members shall be primed, prior to delivery to site. Exposed steel shall be finished as follows:

A. Pigmented Polyurethane over Epoxy System with shopcoat primer:

- Prime Coat: Primer, rust-inhibitive, water based, MPI #107: S-W S-W Pro-Cryl Universal Primer, B66-310 Series, at 2.0 to 4.0 mils dry, per coat. 2) Intermediate Coat: Epoxy, high-build, low gloss, : S-W Macropoxy 646-100, B58-600 Series,
- B-73-620 Series, at 5 to 10 mils dry, per coat. 3) Topcoat: Polyurethane, two-component, pigmented, gloss, (Gloss Level 6): S-W Waterbased Acrolon 100 Polyurethane, B65-720 Series, at 2.0 to 4.0 mils dry, per coat. B. COLOR: BENJAMIN MOORE- SATIN HC-167, "AMHERST GRAY".

PROVIDE CHANNELS OF SIZES AND SHAPES INDICATED. FABRICATE CONNECTIONS TO COMPLY WITH DETAILS SHOWN OR AS REQUIRED TO SUIT TYPE OF STRUCTURE INDICATED.

VERIFY ELEVATIONS OF CONCRETE- AND MASONRY-BEARING SURFACES AND LOCATIONS OF ANCHOR RODS, BEARING PLATES, AND OTHER EMBEDMENTS, PROCEED WITH INSTALLATION ONLY AFTER UNSATISFACTORY CONDITIONS HAVE BEEN LEAST 3/8 INCH (10 MM) TO A LEVEL THAT IS NOT LESS CORRECTED. PROVIDE ALL NECESSARY BRACING AND SHORING FOR ERECTION, AND DO NOT REMOVE UNTIL FINAL ERECTION IS COMPLETE. ALL MEMBERS SHALL BE LEVEL AND PLUMB IN ACCORDANCE WITH THE DRAWINGS AND PROJECT 1/4 INCHES (32 MM) TOA

FABRICATE WITH EXPOSED SURFACES SMOOTH, SQUARE, AND FREE OF SURFACE BLEMISHES INCLUDING PITTING, RUST, SCALE, SEAM MARKS, ROLLER MARKS, ROLLED TRADE NAMES, AND ROUGHNESS.

REMOVE BLEMISHES BY FILLING OR GRINDING OR BY WELDING AND GRINDING, BEFORE CLEANING, TREATING, AND SHOP

BOLT HOLES: CUT, DRILL, OR PUNCH STANDARD BOLT HOLES PERPENDICULAR TO METAL SURFACES. PROVIDE HOLES REQUIRED FOR SECURING OTHER WORK TO STRUCTURAL STEEL AND FOR PASSAGE OF OTHER WORK THROUGH STEEL FRAMING MEMBERS. DO NOT THERMALLY CUT BOLT HOLES OR ENLARGE HOLES BY BURNING.

05-08 STRUCTURAL STEEL ANGLE LINTELS

STRUCTURAL STEEL LINTELS

Shop drawings: show fabrication of structural-steel components. Include details of cuts, connections, Shop drawings: show fabrication of structural-steel components. Include details of cuts, connections SPLICES, CAMBER, HOLES, AND OTHER PERTINENT DATA, WITH EMBEDMENT DRAWINGS.

> INDICATE WELDS BY STANDARD AWS SYMBOLS, DISTINGUISHING BETWEEN SHOP AND FIELD WELDS, AND SHOW SIZE, LENGTH, AND TYPE OF EACH WELD. CONTRACTOR SHALL ASSURE THAT FABRICATOR. ERECTOR ARE CERTIFIED INSTALLERS TO PERFORM THE WORK, AND

> PROVIDE CERTIFICATION WITH SUBMITTAL.

EXECUTION ALL STEEL LINTELS TO BE HOT-DIPPED GALVANIZED. WHEN PART OF THE LEG IS EXPOSED TO VIEW DUPLEX COAT LINTEL AND OVER THE GALVANIZING PRIME LINTEL, PRIOR TO DELIVERY TO SITE. EXPOSED STEEL SHALL BE FINISHED SSPC-PAINT 25, TYPE I, COLOR OF EXPOSED STEEL TO BE: BENJAMIN MOORE-SATIN HC-167, "AMHERST GRAY" OR AS SELECTED BY

PROVIDE LINTELS OF SIZES AND SHAPES INDICATED.

VERIFY ELEVATIONS OF CONCRETE- AND MASONRY-BEARING SURFACES AND LOCATIONS OF ANCHOR RODS, BEARING PLATES, AND OTHER EMBEDMENTS, PROCEED WITH INSTALLATION ONLY AFTER UNSATISFACTORY CONDITIONS HAVE BEEN

COMPLETE. ALL MEMBERS SHALL BE LEVEL AND PLUMB IN ACCORDANCE WITH THE DRAWINGS AND PROJECT

FABRICATE WITH EXPOSED SURFACES SMOOTH, SQUARE, AND FREE OF SURFACE BLEMISHES INCLUDING PITTING, RUST, SCALE, SEAM MARKS, ROLLER MARKS, ROLLED TRADE NAMES, AND ROUGHNESS. REMOVE BLEMISHES BY FILLING OR GRINDING OR BY WELDING AND GRINDING, BEFORE CLEANING, TREATING, AND SHOP

BOLT HOLES: CUT, DRILL, OR PUNCH STANDARD BOLT HOLES PERPENDICULAR TO METAL SURFACES. PROVIDE HOLES REQUIRED FOR SECURING OTHER WORK TO STRUCTURAL STEEL AND FOR PASSAGE OF OTHER WORK THROUGH STEEL FRAMING MEMBERS. DO NOT THERMALLY CUT BOLT HOLES OR ENLARGE HOLES BY BURNING.

05-10 ANCHOR BOLTS

ANCHOR BOLTS AS SHOWN ON STRUCTURAL DRAWINGS.

ANCHOR BOLTS SHALL BE PLACED FOR 5" MINIMUM EMBEDMENT COVERAGE OR AS PER STRUCTURAL DRAWINGS (MOST STRINGENT CONDITIONS APPLY). PROVIDE 5" MINIMUM UNLESS NOTED OTHERWISE ON STRUCTURAL DRAWINGS.

ANCHORS BOLTS SHALL BE MINIMUM OF 3/4" DIA. A307 TYPE BOLTS.

05-11 EXPANSION ANCHORS

EXPANSION AS SHOWN ON STRUCTURAL DRAWINGS.

EXPANSION ANCHORS SHALL BE PLACED FOR 5" MINIMUM EMBEDMENT COVERAGE OR AS PER STRUCTURAL DRAWINGS (MOST STRINGENT CONDITIONS APPLY).

ANCHORS BOLTS SHALL BE MINIMUM OF 3/4" DIA. A307 TYPE BOLTS.

05-18 STEEL GUARDRAILS & HAND RAILINGS

STEEL AND ORNAMENTAL RAILINGS AS SHOWN ON DRAWINGS AND DETAILS

STEEL AND ORNAMENTAL RAILINGS FINISH SHALL BE:

- A. Epoxy-Modified Latex System: Prime Coat: Primer, rust-inhibitive, water based, MPI #107: S-W Pro-Cryl Universal Primer, B66-310 Series, at 2.0 to 4.0 mils dry, per coat. Intermediate Coat: Epoxy-modified latex, interior, gloss matching topcoat. Topcoat: Epoxy-modified latex, interior, eggshell, (Gloss Level 3), MPI #254/MPI #254X-
- Green: S-W Pro Industrial Waterbased Catalyzed Epoxy Eggshell, B73-300 Series, at 2.0 to 4.0 mils dry, per coat. B. COLOR: BENJAMIN MOORE- SATIN HC-167, "AMHERST GRAY" OR AS SELECTED BY INTERIOR

BRACKETS, FLANGES, AND ANCHORS: SAME METAL AND FINISH AS SUPPORTED RAILS, UNLESS OTHERWISE INDICATED. TOP CAP TO BE:INTERIOR: CONTINUOUS WOOD RAIL CAP WITH WOOD TO MATCH THAT OF WOOD FLOOR. FINISHED AS SELECTED BY INTERIOR DESIGNER.

EXTERIOR: CONTINUOUS COMPOSITE "TRUGRAIN" RAIL CAP-SEE DETAIL FOR SIZE, FINISHED AS

HANDRAILS AND GUARDRAILS SHALL MEET FOLLOWING DESIGN LOADS. UNIFORM LOAD OF 50 LBF/ FT. APPLIED IN ANY DIRECTION. CONCENTRATED LOAD OF 200 LBF APPLIED IN ANY DIRECTION.

TOP RAILS OF GUARDS: UNIFORM LOAD OF 50 LBF/ FT. APPLIED IN ANY DIRECTION. CONCENTRATED LOAD OF 200 LBF APPLIED IN ANY DIRECTION.

INFILL OF GUARDS: CONCENTRATED LOAD OF 50 LBS APPLIED HORIZ. ON AN AREA OF 1 SQ. FT. UNIFORM LOAD OF 25 LBF/SQ. FT. APPLIED HORIZONTALLY.

FOR RAILINGS ASSEMBLED FROM STANDARD COMPONENTS, GROUT, ANCHORING CEMENT, AND PAINT PRODUCTS.

SHOP DRAWINGS: INCLUDE PLANS, ELEVATIONS, SECTIONS, DETAILS, AND ATTACHMENTS TO OTHER WORK. SAMPLES: FOR EACH EXPOSED FINISH REQUIRED.

A. HANDRAILS SHALL BE MOUNTED A MINIMUM OF 34 INCHES AND A MAXIMUM OF 38 INCHES ABOVE THE NOSING OF THE TREAD AND SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS. ALL REQUIRED HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS WITH FOUR OR MORE RISERS FROM DIRECTLY ABOVE THE TOP RISER OF THE FLIGHT TO A POINT DIRECTLY ABOVE THE LOWEST RISER. ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS. VOLUTES, TURNOUT OR STARTING EASING SHALL BE ALLOWED OVER THE LOWEST TREAD.

B. ALL REQUIRED HANDRAILS SHALL BE OF ONE OF THE FOLLOWING TYPES OF PROVIDE EQUIVALENT GRASPABILITY.

1. TYPE I. HANDRAILS WITH A CIRCULAR CORSS SECTION SHALL HAVE AN OUTSIDE DIAMETER OF AT LEAST 1 1/4 INCHES (32 MM) AND NOT GREATER THAN 2 INCHES (51 MM). IF THE HANDRAIL IS NOT CIRCULAR, IT SHALL HAVE A PERIMETER DIMENSION OF AT LEAST 4 INCHES (102 MM) AND THAN 6 1/4 INCHES (160 MM) WITH A MAXIMUM CROSS SECTION OF DIMENSION OF $2\frac{1}{4}$ INCHES (57 MM). EDGES SHALL HAVE A MINIMUM RADIUS OF 0.01 INCH (0.25 MM).

2. TYPE II. HANDRAILS WITH A PERIMETER GREATER THAN 6 ¼ INCHES (160 MM) SHALL HAVE A GRASPABLE FINGER RECESS AREA ON BOTH SIDES OF THE PROFILE. THE FINGER RECESS SHALL BEGIN WITHIN A DISTANCE OF 3/4 INCH (19 MM) MEASURED VERTICALLY FROM THE PORTION OF THE PROFILE AND ACHIEVE A DEPTH OF AT LEAST 5/16 INCH (8 MM) WITH 7/8 INCH (22 MM) BELOW THE WIDEST PORTION OF THE PROFILE. THE REQUIRED DEPTH SHALL CONTINUE FOR AT THAN 1 ¾ INCHES (45 MM) BELOW THE TALLEST WIDTH OF THE HANDRAIL ABOVE THE RECESS SHALL BE 1 PORTION OF THE PROFILE. THE MINIMUM MAXIMUM OF 2 % INCHES (70 MM). EDGES SHALL HAVE A MINIMUM RADIUS OF 0.01 INCH (0.25 MM).

C. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1 1/2 INCHES BETWEEN THE WALL AND THE HANDRAIL.

05-37 MISC. METAL FABRICATIONS

TEEL FABRICATONS AS NOTED IN THE DRAWINGS AND AS FOLLOWS:

1- CHIMNEY COVER CHASE. FINISH AS NOTE #2 BELOW. 2- STEEL STAIR ELEMENTS. FINISH AS NOTE #1 BELOW.

SHOP DRAWINGS: SHOW FABRICATION OF STEEL FABRICATONS.

INCLUDE DETAILS OF CUTS, CONNECTIONS, SPLICES, CAMBER, HOLES, AND OTHER PERTINENT DATA, WITH EMBEDMENT INDICATE WELDS BY STANDARD AWS SYMBOLS, DISTINGUISHING BETWEEN SHOP AND FIELD WELDS, AND SHOW SIZE LENGTH, AND TYPE OF EACH WELD.

INDICATE TYPE, SIZE, AND LENGTH OF BOLTS. BOLTS, NUTS, AND WASHERS: ASTM A 325, HEAVY HEX STEEL STRUCTURAL BOLTS; ASTM A 563 HEAVY HEX CARBON-STEEL NUTS; AND ASTM F 436 HARDENED CARBON-STEEL WASHERS. CONTRACTOR SHALL ASSURE THAT FABRICATOR, ERECTOR ARE CERTIFIED INSTALLERS TO PERFORM THE WORK, AND PROVIDE CERTIFICATION WITH SUBMITTAL

NOTE #1: PRIMED, PRIOR TO DELIVERY TO SITE. EXPOSED STEEL SHALL BE FINISHED AS FOLLOWS:

- A. Pigmented Polyurethane over Epoxy System with shopcoat primer: Prime Coat: Primer, rust-inhibitive, water based, MPI #107: S-W S-W Pro-Cryl Universal
- Primer, B66-310 Series, at 2.0 to 4.0 mils dry, per coat. Intermediate Coat: Epoxy, high-build, low gloss, : S-W Macropoxy 646-100, B58-600 Series, B-73-620 Series, at 5 to 10 mils dry, per coat. 3) Topcoat: Polyurethane, two-component, pigmented, gloss, (Gloss Level 6): S-W Waterbased Acrolon 100 Polyurethane, B65-720 Series, at 2.0 to 4.0 mils dry, per coat.

B. COLOR: BENJAMIN MOORE- SATIN HC-167, "AMHERST GRAY". NOTE#2: PROVIDE DUPLEX COATING OF HOT -DIPPED GALVANIZED AND COAT THE EXTERIOR SURFACE EXPOSED TO VIEW

- A. Water-based Light Industrial Coating System: Prime Coat: Primer, water-based, anti-corrosive for metal, MPI #107: S-W Pro Industrial Pro-Cryl Universal Primer, B66-310 Series, 5.0 to 10.0 mils wet, 2.0 to 4.0 mils dry.
- Prime Coat: Shop primer specified in Section where substrate is specified. Intermediate Coat: Light industrial coating, exterior, water based, matching topcoat. Topcoat: Light industrial coating, exterior, water based, semi-gloss, (Gloss Level 5), MPI # 163: S-W Pro Industrial Acrylic Semi-Gloss Coating, B66-650 Series, at 2.5 to 4.0 mils dry, per

B. COLOR: BENJAMIN MOORE- SATIN HC-167, "AMHERST GRAY".

OR AS REQUIRED TO SUIT TYPE OF STRUCTURE INDICATED.

VERIFY ELEVATIONS OF CONCRETE- AND MASONRY-BEARING SURFACES AND LOCATIONS OF ANCHOR RODS, BEARING FOUNDATION PLATES OR SILLS AND SLEEPERS ON A CONCRETE OR MASONRY SLAB, WHICH IS IN DIRECT CONTACT WITH PLATES. AND OTHER EMBEDMENTS, PROCEED WITH INSTALLATION ONLY AFTER UNSATISFACTORY CONDITIONS HAVE BEEN EARTH, AND SILLS WHICH REST ON CONCRETE OR MASONRY FOUNDATIONS, SHALL BE TREATED WOOD OR FOUNDATION CORRECTED. PROVIDE ALL NECESSARY BRACING AND SHORING FOR ERECTION, AND DO NOT REMOVE UNTIL FINAL REDWOOD, ALL MARKED OR BRANDED BY AN APPROVED AGENCY. WHERE NOT SUBJECT TO WATER SPLASH OR TO ERECTION IS COMPLETE. ALL MEMBERS SHALL BE LEVEL AND PLUMB IN ACCORDANCE WITH THE DRAWINGS AND PROJECT EXTERIOR MOISTURE AND LOCATED ON CONCRETE HAVING A MINIMUM THICKNESS OF 3 INCHES WITH AN IMPERVIOUS

FABRICATE WITH EXPOSED SURFACES SMOOTH, SQUARE, AND FREE OF SURFACE BLEMISHES INCLUDING PITTING, RUST, PROVIDE FIRE BLOCKING AT ALL BEARING WALLS, AND PROVIDE FIRE BLOCKING AT ALL SPACES @ 10'-0" SCALE, SEAM MARKS, ROLLER MARKS, ROLLED TRADE NAMES, AND ROUGHNESS.

REMOVE BLEMISHES BY FILLING OR GRINDING OR BY WELDING AND GRINDING, BEFORE CLEANING, TREATING, AND SHOPHOLD WOOD FRAMING AWAY FROM CONCRETE FOUNDATION WALL 1/2 INCH.

05-55 CUSTOM STEEL STAIRS

STAIR COMPONENTS AS FOLLOWS:

R319.1 (5)).

AND SLABS.

AS FOLLOWS:

STRINGERS EXPOSED STEEL PLATE STRINGERS AS PER DETAILS. 3" SOLID WOOD TREADS AS PER DETAILS. OPEN RISER THAT DOES NOT EXCEED 4".

framing members. Do not thermally cut bolt holes or enlarge holes by burning

SHOP DRAWINGS: INCLUDE PLANS, ELEVATIONS, SECTIONS, DETAILS, AND ATTACHMENTS TO OTHER WORK.

PROVIDE COMPLETE STAIR ASSEMBLIES, INCLUDING METAL FRAMING, HANGERS, STRUTS, RAILINGS, CLIPS, BRACKETS, BEARING PLATES, AND OTHER COMPONENTS NECESSARY TO SUPPORT AND ANCHOR STAIRS AND PLATFORMS ON Supporting structure. Bolts shall be fabricated and join so bolts are not exposed on finished surfaces.

METAL SURFACES, GENERAL: PROVIDE MATERIALS WITH SMOOTH, FLAT SURFACES WITHOUT BLEMISHES. FINISH: FACTORY PRIMED FOR A HIGH-PERFORMANCE COATING WITH COLOR AS SELECTED BY ARCHITECT.

PROVIDE METAL STAIRS CAPABLE OF WITHSTANDING THE EFFECTS OF GRAVITY LOADS AND THE FOLLOWING LOADS AND WITHIN 10'-0" LENGTH. STRESSES WITHIN LIMITS AND UNDER CONDITIONS INDICATED: UNIFORM LOAD: 100 LBF/SQ. FT. CONCENTRATED LOAD: 300 LBF APPLIED ON AN AREA OF 4 SQ. IN.

LIMIT DEFLECTION OF TREADS, PLATFORMS, AND FRAMING MEMBERS 1/8 INCH.

STRUCTURAL PERFORMANCE OF RAILINGS: PROVIDE RAILINGS CAPABLE OF WITHSTANDING THE EFFECTS OF GRAVITY LOADS AND STRESSES WITHIN LIMITS AND UNDER CONDITIONS INDICATED.

PROVIDE A MINIMUM OF 7'-6" HEAD CLEARANCE AT ALL POINTS.

DIVISION 6-WOOD, PLASTICS & COMPOSITES 06-01, 06-02, 06-03, 06-04, 06-05, 06-06

STUD WALL ROUGH FRAMING 2X4 AND 2 X 6 DOUGLAS FIR, HEM FIR #2 OR BETTER. WOOD STUDS AS SHOWN ON DRAWINGS. PROTECT WOOD AGAINST DECAY AS NOTED AND REQUIRED BY CODE. WHERE PROTECTION IS REQUIRED WOOD MUST BE APPROVED TREATED OR DECAY RESISTANT. SEE I.R.C. SECTION R317& LOCAL JURISDICTION'S REGULATIONS.

PROVIDE 2X WOOD STUDS AT 16" O.C. U.N.O. COORDINATE WITH STRUCTURAL DRAWINGS FOR ADDITIONAL

INFORMATION AND REQUIREMENTS. THE CONTRACTOR SHALL COORDINATE AND INSTALL SOLID BLOCKING FOR THE INSTALLATION OF ALL FIXTURES, CABINETS, EQUIPMENT, FINISH HARDWARE, ETC. THAT REQUIRE SUCH.

PROTECT WOOD AGAINST DECAY AS NOTED AND REQUIRED BY CODE. WHERE PROTECTION IS REQUIRED WOOD MUST BE APPROVED TREATED OR DECAY RESISTANT (I.R.C. R319.1). SEE I.R.C. SECTION R319 & LOCAL JURISDICTION'S REGULATIONS AS REQUIRED BY IRC. TABLE R301.2(1) ADDITIONAL REQUIREMENTS AS SPECIFIED WITHIN INDIVIDUAL SECTIONS.

WOOD USED IN CONSTRUCTION OF PERMANENT STRUCTURES AND LOCATED NEARER THAN 6 INCHES TO EARTH SHALL BE SUBMITTALS TREATED WOOD OR WOOD OF NATURAL RESISTANCE TO DECAY, AS DEFINED IN I.R.C. WHERE LOCATED ON CONCRETE SAMPLE OF ACTUAL SAMPLE WITH STAIN SAMPLE SELECTED FOR ARCHITECT APPROVAL. SLABS PLACED ON EARTH, WOOD SHALL BE TREATED WOOD OR WOOD OF NATURAL RESISTANCE TO DECAY. (I.R.C.

FOUNDATION PLATES OR SILLS AND SLEEPERS ON A CONCRETE OR MASONRY SLAB, WHICH IS IN DIRECT CONTACT WITH RECOMMENDED BY MANUFACTURER. FOUNDATION REDWOOD, ALL MARKED OR BRANDED BY AN APPROVED AGENCY. (I.R.C. R323.1 (2 & 3)) WHERE NOT SUBJECT TO WATER SPLASH OR TO EXTERIOR MOISTURE AND LOCATED ON CONCRETE HAVING A MINIMUM THICKNESS GENERAL/PRODUCT OF 3 INCHES WITH AN IMPERVIOUS MEMBRANE INSTALLED BETWEEN CONCRETE AND EARDYTH, THE WOOD MAY BE WALL SHEATHING TO BE: UNTREATED AND OF ANY SPECIES. INSTALL SILL SEALER FOAM UNDER ALL SILL PLATES AT CONCRETE FOUNDATION WALLS EXTENT OF WALL SHEATHING AS SHOWN ON THE STRUCTURAL AND ARCHITECTURAL DRAWINGS. SHEATHING MAY BE FIRE-

PROVIDE FIRE BLOCKING AT MID SPAN AT ALL BEARING WALLS, AND PROVIDE FIRE BLOCKING AT ALL SPACES @ 10'-0" EXECUTION

HOLD WOOD FRAMING AWAY FROM CONCRETE FOUNDATION WALL 1/2 INCH.

PROVIDE SOLID BLOCKING AT MID SPAN FOR ANY STUD EXCEEDING 10'-0" IN HEIGHT. BRACE ALL EXTERIOR WALLS AND CROSS STUD PARTITIONS AS PER IRC R602 AND STRUCTURAL ENGINEERING AT EACH

END OF THE BUILDING AND AT LEAST EVERY 25'-0" OF LENGTH BY ONE OF THE FOLLOWING. A. APPROVED STRUCTURAL SHEATHING OF A MINIMUM THICKNESS OF 7/16". COORDINATE WITH SHEAR WALL B. FOR ADDITIONAL BRACED WALL PANEL CONSTRUCTION OPTIONS, EXCEPTIONS AND RESTRICTIONS SEE I.R.C TREATED AS PER FIRE-RATED WALL REQUIREMENTS. SECTION R602.10. COORDINATE W/ STRUCTURAL FOR SEISMIC AND ANY SPECIAL REQUIREMENTS.

TOLERANCE CONTRACTOR SHALL BE RESPONSIBLE TO CONSTRUCT ALL FRAMING OF WALLS WITH THE FOLLOWING TOLERANCES. CONTRACTOR SHALL BE RESPONSIBLE TO CORRECT ALL FRAMING THAT DO NOT MEET THE REQUIRED TOLERANCES PROVIDE BLOCKING AT ALL PANEL EDGES

C. BRACED WALL LINE SILLS SHALL HAVE PLATE WASHERS A MINIMUM OF 3/16" BY 3" X 3" (IRC R602)

2. ALL WALLS SHALL BE VERTICAL PLUMB, AND SHALL NOT EXCEED 1/4" FOR EACH 10'-0" VERTICAL SECTION OR STORY OF WALL. 3. ALL HORIZONTAL SOFFIT, WINDOW HEAD SHALL BE LEVEL, AND SHALL NOT EXCEED 1/8" VARIATION WITHIN

1. ALL WALLS SHALL BE STRAIGHT, AND SHALL NOT HAVE GREATER THAN 1/4" ANY BOW, DEFLECTION, IN

06-07, 06-08, 06-09 WOOD BLOCKING/FIREBLOCKING

FIRE BLOCKING SHALL BE CONSTRUCTED OF 2" NOMINAL LUMBER OR (2) THICKNESS OF 1" NOMINAL LUMBER WITH BROKEN LAP JOINTS (302.11.1) OR OTHER MATERIALS APPROVED OR TESTED, INSTALLED PER R302.11. FIRE BLOCKING SHALL BE

FIRE BLOCKING SHALL BE INSTALLED AT THE FOLLOWING LOCATIONS. CONTRACTOR SHALL COORDINATE THESE

A. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS AND AT 10-FOOT INTERVALS BOTH VERTICAL AND HORIZONTAL. (IRC 302.11 (1))

B. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS. (IRC 302.11 (2)) C. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN AND BETWEEN

STUDS ALONG AND IN LINE WITH THE RUN OF STAIRS IF THE WALLS UNDER THE STAIRS ARE UNFINISHED. (IRC 302.11 (3)

D. IN OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS, FIREPLACES AND SIMILAR OPENINGS WHICH AFFORD A PASSAGE FOR FIRE AT CEILING AND FLOOR LEVELS, WITH NON COMBUSTIBLE MATERIALS

> E. AT OPENINGS BETWEEN ATTIC SPACES AND CHIMNEY CHASES FOR FACTORY-BUILT CHIMNEYS. (IRC 302.11 (5))

F. WHERE WOOD SLEEPERS ARE USED FOR LAYING WOOD FLOORING ON MASONRY OR CONCRETE FIRE-RESISTIVE FLOORS. THE SPACE BETWEEN THE FLOOR SLAB AND THE UNDERSIDE OF THE WOOD FLOORING SHALL BE FILLED WITH NON COMBUSTIBLE MATERIAL OR FIRE BLOCKED IN SUCH A MANNER THAT THERE WILL BE NO OPEN SPACES UNDER THE FLOORING WHICH WILL EXCEED 1000 SQUARE FEET IN AREA AND SUCH SPACE SHALL BE FILLED SOLIDLY UNDER ALL PERMANENT PARTITIONS SO THAT THERE IS NO COMMUNICATION UNDER THE FLOORING BETWEEN ADJOINING ROOMS. (IRC 302.12) THE CONSTRUCTION DRAWINGS.

G. WALLS HAVING PARALLEL OR STAGGERED STUDS FOR SOUND TRANSMISSION CONTROL SHALL HAVE FIRE BLOCKS OF MINERAL OR GLASS FIBER OR OTHER APPROVED NON-RIGID MATERIAL. (IRC 302.11 (1)). H. FIRE BLOCKING OF CORNICES OF A TWO-FAMILY DWELLING IS REQUIRED AT THE LINE OF THE DWELLING UNIT

06-15 WOOD FURRING

SEPARATION. (IRC 302.11 (6))

2X4 AND 2 X 6 DOUGLAS FIR, HEM FIR #2 OR BETTERWOOD STUDS AS SHOWN ON DRAWINGS.

PROVIDE 2X WOOD STUDS AT 16" O.C. U.N.O.

PROVIDE FABRICATIONS OF SIZES AND SHAPES INDICATED. FABRICATE CONNECTIONS TO COMPLY WITH DETAILS SHOWN PROVIDE 2X SOLID WOOD FIREBLOCKING AT EVERY 10'-0", AND PROVIDE SOLID BLOCKING AT MID SPAN FOR ANY STUD EXCEEDING 10'-0" IN HEIGHT.

MEMBRANE INSTALLED BETWEEN CONCRETE AND EARTH, THE WOOD MAY BE UNTREATED AND OF ANY SPECIES.

WOOD FURRING OR FRAMING ATTACHED DIRECTLY TO THE INTERIOR OF EXTERIOR MASONRY OR CONCRETE WALLS BOLT HOLES: CUT, DRILL, OR PUNCH STANDARD BOLT HOLES PERPENDICULAR TO METAL SURFACES. PROVIDE HOLES

BELOW GRADE EXCEPT WHERE AN APPROVED BARRIER IS INSTALLED BETWEEN THE WALL AND THE WOOD, SHALL BE REQUIRED FOR SECURING OTHER WORK TO STRUCTURAL STEEL AND FOR PASSAGE OF OTHER WORK THROUGH STEEL

TREATED OR RESISTANT TO DECAY. (I.R.C. R317.1 (7)).

> PROVIDE SOLID BLOCKING AT MID SPAN FOR ANY STUD EXCEEDING 10'-0" IN HEIGHT. BRACE ALL EXTERIOR WALLS AND CROSS STUD PARTITIONS AS PER IRC R602 AND STRUCTURAL ENGINEERING AT EACH END OF THE BUILDING AND AT LEAST EVERY 25'-0" OF LENGTH BY ONE OF THE FOLLOWING.

APPROVED STRUCTURAL SHEATHING OF A MINIMUM THICKNESS OF 7/16". COORDINATE WITH SHEAR WALL SCHEDULE FOR ADDITIONAL BRACED WALL PANEL CONSTRUCTION OPTIONS, EXCEPTIONS AND RESTRICTIONS SEE I.R.C SECTION R602.10. COORDINATE W/ STRUCTURAL FOR SEISMIC AND ANY SPECIAL REQUIREMENTS.

BRACED WALL LINE SILLS SHALL HAVE PLATE WASHERS A MINIMUM OF 3/16" BY 3" X 3" (IRC R602) CONTRACTOR SHALL BE RESPONSIBLE TO CONSTRUCT ALL FRAMING OF WALLS WITH THE FOLLOWING TOLERANCES. CONTRACTOR SHALL BE RESPONSIBLE TO CORRECT ALL FRAMING THAT DO NOT MEET THE REQUIRED TOLERANCES

1. ALL WALLS SHALL BE STRAIGHT, AND SHALL NOT HAVE GREATER THAN 1/4" ANY BOW, DEFLECTION, IN 10'-0" LENGTH OF WALL. 2. ALL WALLS SHALL BE VERTICAL PLUMB, AND SHALL NOT EXCEED 1/4" FOR EACH 10'-0" VERTICAL SECTION OR STORY OF WALL.

3. ALL HORIZONTAL SOFFIT, WINDOW HEAD SHALL BE LEVEL, AND SHALL NOT EXCEED 1/8" VARIATION

06-22, 06-23 HEAVY TIMBER FRAMING

timber beams/columns/ trusses/roof purlins /haunches as shown on architectural/structural drawings

TIMBER TO BE:

TIMBER BEAMS TO BE #1 OR BETTER, KILN DRIED 15% MOISTURE OR LESS.

COLOR: STAINED WITH SHERMA WILLIAMS SEMI-TRANSPARENT "HAWTHORNE"

SHOP DRAWINGS: ALL TIMBER JOISTS SHALL BE SUBMITTED FOR APPROVAL PRIOR TO FABRICATION.

TIMBER CONTRACTOR/GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL DIMENSIONS PRIOR TO FABRICATION OF TIMBERS

COORDINATE WITH ARCHITECTURAL/STRUCTURAL DRAWINGS FOR CONNECTIONS AT EACH TIMBER. ALL JOINTS SHALL BE TRUE AND SQUARE WITH TOLERANCES OF LESS THAN 1/8" WITHIN JOINT.

AS SELECTED BY ARCHITECT

TREATED AS PER FIRE-RATED WALL REQUIREMENTS.

06-32 WOOD DECKING WOOD DECKING AT ALL EXTERIOR DECKS/WALKWAYS

WOOD DECKING SHALL BE: "GOLD DECKING" BY TRUGRAIN RESYSTA

ATTACH WOOD DECKING TO FRAMING (SEE STRUCTURAL PLANS FOR SIZE) WITH HIDDEN FASTENER SYSTEM AS

1/2" EXTERIOR GRADE A.P.A. RATED SHEATHING OR AS PER STRUCTURAL.

NAILING OF SHEATHING SHALL BE PER STRUCTURAL DRAWINGS. COORDINATE WITH STRUCTURAL DRAWINGS FOR SHEAR WALL LOCATIONS.

PROVIDE BLOCKING AT ALL PANEL EDGES. 06-41 PLYWOOD/ OSB ROOF SHEATHING

ROOF SHEATHING TO BE: 5/8" EXTERIOR GRADE A.P.A. RATED SHEATHING OR AS PER STRUCTURAL. EXTENT OF ROOF SHEATHING AS SHOWN ON THE STRUCTURAL AND ARCHITECTURAL DRAWINGS. SHEATHING MAY BE FIRE-

NAILING OF SHEATHING SHALL BE PER STRUCTURAL DRAWINGS, AND SHEATHING SHALL BE INSTALLED PERPENDICULAR TO

COORDINATE WITH STRUCTURAL DRAWINGS FOR ALL HOLD DOWNS, HURRICANE TIES.

06-45 PLYWOOD/ OSB FLOOR SHEATHING

GENERAL/PRODUCTS
FLOOR SHEATHING TO BE: 3/4" T & G A.P.A. RATED SHEATHING OR AS PER STRUCTURAL.

EXTENT OF PLYWOOD FLOOR SHEATHING AS SHOWN ON THE STRUCTURAL AND ARCHITECTURAL DRAWINGS.

NAILING OF PLYWOOD SHEATHING SHALL BE PER STRUCTURAL DRAWINGS. PROVIDE BLOCKING AT ALL PANEL EDGES

PROVIDE CONTINUOUS CONSTRUCTION ADHESIVE AT ALL FLOOR SHEATHING TO FLOOR JOIST. 06-50 PRE-ENGINEERED ROOF TRUSSES

ARCHITECT/STRUCTURAL DRAWINGS SHALL SHOW INTENT AND LOCATION FOR ALL ENGINEERED TRUSSES. TRUSS MANUFACTURER IS REQUIRED TO DESIGN TRUSSES TO REQUIRED LOADS AS SPECIFIED ON STRUCTURAL DRAWINGS TO MEET INTENT SHOWN ON THE CONSTRUCTION DRAWINGS.

SHOP DRAWINGS: SUPPLIER SHALL PROVIDE SHOP DRAWINGS, CALCULATIONS, INCLUDING LAYOUT, PROFILES, AND ENGINEERING FOR REVIEW BY STRUCTURAL ENGINEER. SHOP DRAWINGS SHALL BE REVIEWED AND APPROVED BY GENERAL CONTRACTOR PRIOR TO ENGINEER/ARCHITECT REVIEW.

COORDINATE WITH STRUCTURAL DRAWINGS FOR LAYOUT, HOLD DOWNS, HURRICANE TIES REQUIRED FOR INSTALLATION OF ROOF TRUSSES

06-55 PRE-ENGINEERED FLOOR JOISTS RCHITECT/STRUCTURAL DRAWINGS SHALL SHOW INTENT AND LOCATION FOR ALL ENGINEERED JOISTS. JOIST MANUFACTURER MEET TO REQUIRED LOADS AS SPECIFIED ON STRUCTURAL DRAWINGS AND TO MEET INTENT SHOWN ON

SHOP DRAWINGS: SUPPLIER SHALL PROVIDE SHOP DRAWINGS, CALCULATIONS, INCLUDING LAYOUT, PROFILES, AND ENGINEERING FOR REVIEW BY STRUCTURAL ENGINEER. SHOP DRAWINGS SHALL BE REVIEWED AND APPROVED BY GENERAL CONTRACTOR PRIOR TO ENGINEER/ARCHITECT REVIEW.

OORDINATE WITH STRUCTURAL DRAWINGS FOR LAYOUT, HOLD DOWNS, REQUIRED FOR INSTALLATION OF FLOOR JOISTS COORDINATE WITH OTHER TRADES (MECHANICAL/ELECTRICAL/PLUMBING, ETC) DURING LAYOUT TO ASSIST IN LAYOUT AND PENETRATIONS OF OTHER TRADES THROUGH FLOOR TRUSSES.

PROVIDE SOLID BLOCKING AT ALL BEARING POINTS Joists under and parallel to Bearing Partitions shall be sized per engineer, or at minimum double joists.

MEET REQUIEMENTS PER IRC 502.4. A. A WHEN WOOD JOISTS OR THE BOTTOM OF WOOD STRUCTURAL FLOORS ARE LOCATED CLOSER THAN INCHES OR WOOD GIRDERS ARE LOCATED CLOSER THAN 12 INCHES TO EXPOSED GROUND IN CRAWL SPACES OR UNEXCAVATED AREAS LOCATED WITHIN THE PERIPHERY OF THE BUILDING FOUNDATION. PROTECTION IS REQUIRED. THE FLOOR ASSEMBLY, INCLUDING POSTS, GIRDERS, JOISTS AND SUBFLOOR, SHALL BE APPROVED WOOD OF NATURAL RESISTANCE TO DECAY (AS LISTED IN I.R.C.) OR TREATED WOOD.

B. UNDER FLOOR AREAS SHALL BE PROVIDED WITH AN ACCESS AS PER I.R.C. SECTION R408.4.

06-56 PRE-ENGINEERED ROOF JOISTS

ARCHITECT/STRUCTURAL DRAWINGS SHALL SHOW INTENT AND LOCATION FOR ALL ENGINEERED JOISTS. JOIST MANUFACTURER MEET TO REQUIRED LOADS AS SPECIFIED ON STRUCTURAL DRAWINGS AND TO MEET INTENT SHOWN ON THE INTERIOR PACKAGE MUST MEET ALL APPLICABLE CODES FOR RAILINGS. THE CONSTRUCTION DRAWINGS.

HOP DRAWINGS: SUPPLIER SHALL PROVIDE SHOP DRAWINGS, CALCULATIONS, INCLUDING LAYOUT, PROFILES, AND ENGINEERING FOR REVIEW BY STRUCTURAL ENGINEER. SHOP DRAWINGS SHALL BE REVIEWED AND APPROVED BY GENERAL CONTRACTOR PRIOR TO ENGINEER/ARCHITECT REVIEW. UNIFORM LOAD OF 50 LBF/ FT. APPLIED IN ANY DIRECTION.

<u>EXECUTION</u> COORDINATE WITH STRUCTURAL DRAWINGS FOR LAYOUT, HOLD DOWNS, HURRICANE TIES REQUIRED FOR INSTALLATION OF FRAMING MEMBERS.

COORDINATE WITH OTHER TRADES (MECHANICAL/ELECTRICAL/PLUMBING, ETC) DURING LAYOUT TO ASSIST IN LAYOUT AND PENETRATIONS OF OTHER TRADES THROUGH JOISTS 06-58 STRUCTURAL LAMINATED BEAMS

LAMINATED BEAMS AS SHOWN ON STRUCTURAL DRAWINGS, INCLUDING GLU-LAMINATED , LVL,LSL, PARALAMS, ETC. GRADE: WHEN EXPOSED TO VIEW PROVIDE ARCHITECTURAL GRADE.

INSTALLATIONS SHALL BE PER DETAILS AND NOTED ON THE DRAWINGS.

ALL JOIST AND BEAM HANGERS SHALL BE PER STRUCTURAL DRAWINGS, AND INTENDED FOR USE SHOWN. DO NOT USED

JOIST HANGERS NOT INTENDED FOR USE SPECIFIED. 06-59 STRUCTURAL COLUMNS

OLUMNS AS SHOWN ON STRUCTURAL DRAWINGS, INCLUDING GLU-LAMINATED , LVL,LSL, PARALAMS, DIMENSIONAL LUMBER, ETC.

COLUMNS AND POSTS LOCATED ON CONCRETE OR MASONRY FLOORS OR DECKS EXPOSED TO THE WEATHER OR TO

WATER SPLASH OR IN BASEMENTS AND WHICH SUPPORT PERMANENT STRUCTURES SHALL BE SUPPORTED BY CONCRETE

ALL EXTERIOR WOOD TRIM WORK AS SPECIFIED ON DRAWINGS AND DETAILS. CONTRACTOR TO COORDINATE WITH

PIERS OR METAL PEDESTALS PROJECTING ABOVE FLOORS UNLESS APPROVED WOOD OF NATURAL RESISTANCE TO DECA' OR TREATED WOOD IS USED. THE PEDESTALS SHALL PROJECT AT LEAST 6 INCHES ABOVE EXPOSED EARTH AND AT LEAST 1 INCH ABOVE SUCH FLOORS. INDIVIDUAL CONCRETE OR MASONRY PIERS SHALL PROJECT AT LEAST 8 INCHES ABOVE

DRAWINGS AND DETAILS.

MANUFACTURER:

FASCIA AND SOFFIT TO BE :

Installations shall be per details and noted on the drawings.

EXPOSED GROUND UNLESS THE COLUMNS OR POSTS WHICH THEY SUPPORT ARE OF APPROVED WOOD OF NATURAL RESISTANCE TO DECAY OR TREATED WOOD IS USED. 06-62 EXTERIOR WOOD TRIM

CEDAR BOARDS WOOD TRIM TO BE: WOOD TRIM GRADE: SELECT WOOD TRIM FINISH TO BE: STAINED STAIN COLOR/MANUF TO BE: SHERMAN WILLIAMS SEMI-TRANSPARENT "HAWTHORNE"

FASCIA- CEDAR BOARDS BUILT-UP AS PER DETAILS IN THE DRAWINGS. SOFFIT- 1 X 6 T & G CEDAR COLOR: SHERMAN WILLIAMS SEMI-TRANSPARENT "HAWTHORNE"

SUBMIT 12" SAMPLE OF EACH TYPE OF TRIM. FINISH AND EACH STAIN OR PAINT COLOR.

SHEATHING AND INTO STUD FRAMING MINIMUM OF 1". COUNTERSINK ALL NAIL HEADS.

ALL EXTERIOR WOODWORK TO BE PRE-PAINTED OR STAINED PRIOR TO INSTALLATION ON ALL SIDES OF TRIM. ALL INSTALLATION SHALL BE PER MANUFACTURERS OR APPLICABLE STANDARDS FOR INSTALLATION. NAIL ALL TRIM WITH GALVANIZED OR STAINLESS STEEL FINISH NAILS. ALL NAILING SHALL EXTEND THROUGH WALL

INSTALL SIDING AND TRIM OVER WALL VENTILATION MATRIX OVER TYVEK OR EQUAL VAPOR BARRIER.

06-75 INTERIOR STAIR FRAMING

ALL STAIR FRAMING AS SHOWN ON ARCHITECTURAL AND STRUCTURAL DRAWINGS

UNLESS SPECIFIED ON DRAWINGS, CONTRACTOR SHALL PROVIDE 1 1/4" X 11 7/8" LVL STRINGERS AT INTERIOR STAIRS. PROVIDE ONE (1) STRINGER AT EACH SIDE, AND A MINIMUM OF TWO (2) STRINGERS BETWEEN. IN NO INSTANCE SHALL A STRINGER EXCEED 16" O.C. SPACING.

PROVIDE 5/4" HARDWOOD TREAD MATERIAL OVER 3/4" PLYWOOD STAIR TREAD. GLUE AND SCREW MATERIAL TO

PROVIDE 3/4" HARDWOOD RISER MATERIAL OVER 3/4" PLYWOOD STAIR RISER. GLUE AND SCREW MATERIAL TO

EXECUTION
STAIR CONSTRUCTION SHALL MEET THE FOLLOWING REQUIREMENTS. SEE I.R.C. SECTION R311.7.

A. THE MINIMUM STAIRWAY WIDTH SHALL NOT BE LESS THAT 36 INCHES CLEAR WIDTH. HANDRAILS MAY PROJECT INTO THE REQUIRED WIDTH A DISTANCE OF 4 1/2 INCHES FROM EACH SIDE OF A STAIRWAY. IRC 311.7.1 FOR ADDITION WIDTH REQUIREMENTS OR FOR SPIRAL, CIRCULAR, WINDING STAIRS, ETC. REQUIREMENTS SEE I.R.C. SECTION R311.7.

INCHES. THE TREAD DEPTH SHALL BE MEASURED HORIZONTALLY BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF ADJACENT TREADS. THE GREATEST RISER HEIGHT OR TREAD DEPTH SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH.

B. THE MAXIMUM STAIR RISER HEIGHT SHALL NOT EXCEED 7-3/4 INCHES AND THE MINIMUM STAIR TREAD DEPTH SHALL BE 10

C. LANDINGS: EVERY LANDING SHALL HAVE A DIMENSION NOT LESS THAN THE STAIRWAY. EVERY LANDING SHALL HAVE A MINIMUM DIMENSION OF 36 INCHES MEASURED IN THE DIRECTION OR TRAVEL. FOR LANDINGS WITH ADJOINING DOORS SEE I.R.C. SECTION R311.7.5.

D. ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED

ON THE ENCLOSED SIDE WITH MINIMUM « INCH GYPSUM BOARD. (I.R.C. R302.7) E. HEADROOM: EVERY STAIRWAY SHALL HAVE A MINIMUM HEADROOM CLEARANCE IN ALL PARTS OF THE STAIR OF NOT LESS THAN 6 FEET 8 INCHES. SUCH CLEARANCES SHALL BE MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING OR FROM THE FLOOR SURFACE OF THE LANDING. (I.R.C. R311.7.2)

06-84 INTERIOR STANDING AND RUNNING TRIM

PROFILE AS SELECTED BY INTERIOR DESIGNER. PROFILE AS SELECTED BY INTERIOR DESIGNER. PROFILE AS SELECTED BY INTERIOR DESIGNER CROWN MOLD: WINDOW SILL: PROFILEAS SELECTED BY INTERIOR DESIGNER. MANUFACTURER: SEE INTERIOR DESIGNER DRAWINGS. MATERIAL: SEE INTERIOR DESIGNER DRAWINGS

CUSTOM AS SELECTED

COORDINATE WITH INTERIOR DRAWINGS FOR TYPE OF INTERIOR TRIM. TRIM TO BE EITHER PAINT OR STAIN GRADE

PROVIDE 12" LONG SAMPLE OF EACH FINISHED TRIM WITH SELECTED COLOR FOR APPROVAL BY ARCHITECT/INTERIOR DESIGNER AND OWNER.

INSTALL INTERIOR FINISH TRIM AS SHOWN ON INTERIOR DRAWINGS.

ALL INTERIOR STAIR RAILING AS PER INTERIOR DESIGN DRAWINGS. AND ARE NOT INCLUDED WITHIN THE SHELL PACKAGE OF THE BUILDING. SEE INTERIOR DESIGN PACKAGE.

06-85 INTERIOR STAIR RAILING

ALL TRIM MUST BE LEVEL AND PLUMB.

HANDRAILS AND GUARDRAILS SHALL MEET FOLLOWING DESIGN LOADS. UNIFORM LOAD OF 50 LBF/ FT. APPLIED IN ANY DIRECTION. CONCENTRATED LOAD OF 200 LBF APPLIED IN ANY DIRECTION

CONCENTRATED LOAD OF 50 LBS APPLIED HORIZ. ON AN AREA OF 1 SQ. FT. UNIFORM LOAD OF 25 LBF/SQ. FT. APPLIED HORIZONTALLY.

SEE GENERAL NOTE #18 ON SHEET G002 FOR GUARDRAIL REQUIREMENTS

06-90 INTERIOR WOOD BEAMS

CONCENTRATED LOAD OF 200 LBF APPLIED IN ANY DIRECTION.

06-89 INTERIOR WOOD COLUMNS ALL INTERIOR WOOD COLUMNS WORK SHALL BE SPECIFIED ON INTERIOR DESIGN DRAWINGS. COLUMNS TO BE EITHER PAINT OR STAIN GRADE. CONTRACTOR SHALL REFER TO INTERIOR DRAWINGS FOR ALL DESIGN.

PROVIDE 12" LONG SAMPLE OF EACH FINISHED TRIM WITH SELECTED COLOR FOR APPROVAL BY ARCHITECT/INTERIOR

ALL INTERIOR WOOD BEAM WORK SHALL BE SPECIFIED ON INTERIOR DESIGN DRAWINGS. COLUMNS TO BE EITHER PAINT OR STAIN GRADE. CONTRACTOR SHALL REFER TO INTERIOR DRAWINGS FOR ALL DESIGN.

PROVIDE 12" LONG SAMPLE OF EACH FINISHED TRIM WITH SELECTED COLOR FOR APPROVAL BY ARCHITECT/INTERIOR

DIVISION 7-THERMAL AND MOISTURE PROTECTION 07-01 SPRAY APPLIED FOUNDATION DAMP PROOFING

FOUNDATION DAMP PROOFING AS SHOWN ON DRAWINGS FOR BELOW GRADE DAMP PROOFING OF WALLS AND

DAMPPROOFING SHALL BE: HENRY HD789 FIBERED ASPHALT EMULSION DAMPPROOFING FOUNDATION DRAIN: SEE SECTION 31-06 -DEWATERING, FOR REQUIREMENTS, SPECIFICATIONS, SUBMITTALS, ETC.

BE SURE SURFACES IS CLEAN AND IN GOOD REPAIR. SURFACE MUST BE FREE OF DIRT, RESIDUES, WATER REPELLENT COMPOUNDS. ALL HOLES, CRACKS AND RECESSED JOINTS MUST BE FILLED WITH CEMENT MORTAR FOR A SMOOTH, CLEAN SURFACE.

PROVIDE TWO (2) COAT SYSTEM WITH A BASE COAT APPLIED AT A RATE OF 1.5 GAL PER 100 SQ. FT. ALLOW 24 HOURS

DRYING PRIOR TO SECOND COAT APPLIED AT 2 GAL. PER 100 SQ. FT. ALLOW 48 HOURS DRYING PRIOR TO BACK FILL.

PRODUCT DATA FOR SPECIFIED PRODUCT. PROVIDE SAMPLES, WARRANTIES, ETC. FOR REVIEW/APPROVAL

DO NOT APPLY BELOW 50 DEGREE AIR TEMPATURE.

MEMBRANCE MANUFACTURE TO BE

OTHER TERMINATION CONDITIONS.

TAKE CARE DURING BACKFILL TO NOT DAMAGE DAMPPROOFING.

07-02 SPRAY APPLIED FOUNDATION WATERPROOFING

RUBBERIZED-ASPHALT WATERPROOFING MEMBRANE, REINFORCED WITH MOLDED-SHEET DRAINAGE PANELS, AND INSULATION WHERE SHOWN ON DRAWINGS.

FOUNDATION DRAIN: SEE SECTION 31-03 "DEWATERING" FOR REQUIREMENTS, SPECIFICATIONS, SUBMITTALS, ETC

CARLISLE COATINGS & WATERPROOFING INC.; CCW-500R OR EQUAL.

CARLISLE COATINGS & WATERPROOFING INC.: MIRADRAIN 2000 OR EQUAL

PRODUCT DATA: FOR EACH TYPE OF PRODUCT INDICATED. SHOP DRAWINGS: SHOW LOCATIONS AND EXTENT OF WATERPROOFING, INCLUDE DETAILS FOR SUBSTRATE JOINTS AND CRACKS, SHEET FLASHINGS, PENETRATIONS, INSIDE AND OUTSIDE CORNERS, TIE-INS TO ADJOINING WATERPROOFING, AND

WARRANTY PERIOD: IFIVE YEARS FROM DATE OF SUBSTANTIAL COMPLETION.

A FIRM THAT IS APPROVED OR LICENSED BY MANUFACTURER FOR INSTALLATION OF WATERPROOFING REQUIRED FOR THIS PROJECT AND IS ELIGIBLE TO RECEIVE SPECIAL WARRANTIES SPECIFIED. CONDUCT PRE-INSTALLATION CONFERENCE AT PROJECT SITE. APPLY WATERPROOFING WITHIN THE RANGE OF AMBIENT AND SUBSTRATE TEMPERATURES RECOMMENDED BY

WATERPROOFING MANUFACTURER. DO NOT APPLY WATERPROOFING TO A DAMP OR WET SUBSTRATE, OR WHEN TEMPERATURE IS BELOW 0 DEG F. CLEAN AND PREPARE SUBSTRATES ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS. PROVIDE CLEAN, DUST-FREE, AND DRY SUBSTRATE FOR WATERPROOFING APPLICATION. REMOVE GREASE, OIL, FORM-RELEASE AGENTS, PAINTS, CURING COMPOUNDS, AND OTHER PENETRATING CONTAMINANTS OR FILM-FORMING COATINGS FROM CONCRETE.

DECK DRAINS, CORNERS, AND PENETRATIONS ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS.

PREPARE AND TREAT SUBSTRATES TO RECEIVE WATERPROOFING MEMBRANE, INCLUDING JOINTS AND CRACKS.

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GENERAL/PRODUCTS SEE INSULATION SCHEDULE BELOW FOR LOCATION AND INSULATION REQUIREMENT

07-54 THERMAL INSULATION

A PERMANENT CERTIFICATE SHALL BE POSTED ON OR IN THE ELECTRICAL DISTRIBUTION PANEL LISTING THE PREDOMINANT R-VALUES OR INSULATION INSTALLED IN OR ON THE CEILING/ ROOF, WALLS, FOUNDATION SLAB, BASEMENT WALLS, CRAWL SPACE WALLS AND/ OR FLOOR, AND THE DUCTS OUTSIDE THE CONDITIONED SPACE, U-FACTORS OF THE WINDOWS. THE TYPE OF HEATING AND EFFICIENCY OF HEATING AND WATER HEATING EQUIPMENT SHALL ALSO BE LISTED. (I.R.C. N1101.8) LOCATION THICKNESS R-VALUE

SLAB ON GRADE	FOAM-IN-PLACE	2"	R-10	
INSTALL UNDER HEATED SLAB ON C	GRADE LOCATIONS. OWENS	CORNING FORMULA	A 250	
PERIMETER OF FOUNDATION	RIGID	2"	R-10	
INSTALL ON INSIDE FACE OF EXTER		P OF FOOTING TO B	OTTOM OF CONCRETE SLAB	AT LIVII

SPACE- BURIED - OWENS CORNING FORMULA 250

FLOOR OVER UNHEATED BASEMENT UNFACED BATTS R-30 FLOOR UNDER RADIANT HEAT BLOWN-IN R-38 FLOOR OVER OUTSIDE R-38 **BLOWN-IN** OR UNHEATED AIR WALL INSULATION AT EXTERIOR FRAMED WALLS R-22.5 2X6 WOOD EXTERIOR WALLS BLOWN-IN (BLOWN TO BE CERTAINTEED OPTIMA BLOWN-IN BIB SYSTEM) 3 1/2" R-22.75 2 X 4 WOOD FURRED-EXTERIOR WALLS CLOSED-CELL FOAM (CERTAINTEED CertaSpray with 2.0 pcf and R-value of 6.5 per inch))

<u>ROOF INSULATION</u> ROOF AT SHALLOWER JOISTS: MULTI-LAYERS OF CONTINUOUS RIGID INSULATION WITH TOP LAYER OF NAILABLE RIGID INSULATION (HUNTER H-SHEILD PANELS) PLUS R-24.5 PLUS FULL DEPTH OF JOIST CAVITY TOTAL= R-49.0 (CERTAINTEED OPTIMA BLOWN-IN BIB SYSTEM) ROOF AT DEEPER JOISTS: MULTI-LAYERS OF CONTINUOUS RIGID INSULATION WITH TOP LAYER OF R-24.5 NAILABLE RIGID INSULATION (HUNTER H-SHEILD PANELS) PLUS PLUS FULL DEPTH OF JOIST CAVITY (CERTAINTEED OPTIMA BLOWN-IN BIB SYSTEM) NTERIOR AND SPECIALITY REQUIRED INSULATION 3-1/2" MECHANICAL TYPE ROOMS WALLS AND (CEILINGS WHERE APPLICABLE SOUND

<u>Bathrooms</u> SOUND BATTS 5 1/2" OR 3 1/2" R-11 - R19 INSULATION BATTS BATTS INTERIOR FLOORS/ CEILING SOUND RATING REQ'D 1/2" VINYL FACED DBL. FACED STUD CAVITY WITH PLUMBING DRAIN LINES SOUND BATTS/

PLUMBING DRAIN LINE SHALL BE INSULATED IN ADDITION TO THE CAVITY OF THE STUD WALL IS LOCATED WITHIN.

Provide manufacturere data and installation instructions and recommendations for review prior to INSTALLATION.

EXECUTION FILL ALL VOIDS AS REQUIRED.

FILL PER MANUFACTURERS STANDARD INSTALLATION REQUIREMENTS.

PROVIDE R-25 MINIMUM CLOSED CELL INSULATION ABOVE ANY CEILING PENETRATIONS AT UNVENTED ROOF ASSEMBLIES.

07-55 ATTIC ACCESS

ATTIC ACCESS TO MEET THE FOLLOWING REQUIREMENTS. SEE I.R.C. SECTION R807.

ATTIC ACCESS OPENING SHALL BE PROVIDED TO ATTICS OF BUILDINGS WITH COMBUSTIBLE CEILING OR ROOF CONSTRUCTION THAT EXCEED 30 SQUARE FEET AND HAVE A VERTICAL HEIGHT OF 30 INCHES OR GREATER. THE OPENING SHALL BE LOCATED IN A CORRIDOR, HALLWAY OR OTHER READILY ACCESSIBLE LOCATION. THE ROUGH FRAME OPENING SHALL NOT BE LESS THAN 22 INCHES X 30 INCHES. A 30 INCH MINIMUM UNOBSTRUCTED HEADROOM IN THE ATTIC SPACE SHALL BE PROVIDED ABOVE THE OPENING. SEE I.R.C. SECTION R807. FOR ACCESS REQUIREMENTS WHERE MECHANICAL EQUIPMENT IS LOCATED IN ATTICS SEE I.R.C. SECTION M1305.1.3

07-66 BUILDING WEATHER AND VAPOR BARRIER

MAXIMUM HORIZONTALLY.

WEATHER BARRIER MEMBRANE: DUPONT -TYVEK- HOMEWRAP OR EQUAL DUPONT- TYVEK TAPE OR EQUAL SEAM TAPE DUPONT- FLEXWRAP OR EQUAL

COORDINATE WITH MANUFACTURES STANDARDS FOR INSTALLATION. REVIEW REQUIREMENTS FOR SEQUENCING OF INSTALLATION OF WEATHER BARRIER ASSEMBLY WITH INSTALLATION OF WINDOWS, DOORS, LOUVERS AND FLASHINGS TO PROVIDE A WEATHER-TIGHT BARRIER ASSEMBLY.

VERIFY SUBSTRATE AND SURFACE CONDITIONS ARE IN ACCORDANCE WITH WEATHER BARRIER MANUFACTURER RECOMMENDED TOLERANCES PRIOR TO INSTALLATION OF WEATHER BARRIER AND ACCESSORIES.

INSTALL WEATHER BARRIER OVER EXTERIOR FACE OF EXTERIOR WALL SUBSTRATE IN ACCORDANCE WITH MANUFACTURER

RECOMMENDATIONS.

START WEATHER BARRIER INSTALLATION AT A BUILDING CORNER, LEAVING 6-12 INCHES OF WEATHER BARRIER EXTENDED BEYOND CORNER TO OVERLAP.

INSTALL WEATHER BARRIER IN A HORIZONTAL MANNER STARTING AT THE LOWER PORTION OF THE WALL SURFACE. MAINTAIN WEATHER BARRIER PLUMB AND LEVEL.

EXTEND BOTTOM ROLL EDGE OVER SILL PLATE INTERFACE 2" TO 3" MINIMUM, SEAL WEATHER BARRIER WITH SEALANT OR TAPE. SHINGLE WEATHER BARRIER OVER BACK EDGE OF THRU-WALL FLASHINGS AND SEAL WEATHER BARRIER WITH SEALANT OR TAPE. ENSURE WEEPS ARE NOT BLOCKED.

SUBSEQUENT LAYERS SHALL OVERLAP LOWER LAYERS A MINIMUM OF 6 INCHES HORIZONTALLY IN A SHINGLING MANNER WINDOW AND DOOR OPENINGS: EXTEND WEATHER BARRIER COMPLETELY OVER OPENINGS.

ATTACH WEATHER BARRIER TO STUDS THROUGH EXTERIOR SHEATHING. SECURE USING WEATHER BARRIER MANUFACTURER RECOMMENDED FASTENERS, SPACED 12 -18 INCHES VERTICALLY ON CENTER ALONG STUD LINE, AND 24 INCH ON CENTER,

ATTACH WEATHER BARRIER TO MASONRY. SECURE USING WEATHER BARRIER MANUFACTURER RECOMMENDED FASTENERS, SPACED 12 -18 INCHES VERTICALLY ON CENTER AND 24 INCHES MAXIMUM HORIZONTALLY. WEATHER BARRIER MAY BE TEMPORARILY ATTACHED TO MASONRY USING RECOMMENDED ADHESIVE, PLACED IN VERTICAL STRIPS SPACED 24 INCHES ON CENTER, WHEN COORDINATED ON THE PROJECT SITE. USE CLADDING FASTENERS AS PERMANENT MEANS OF

SEAL SEAMS OF WEATHER BARRIER WITH SEAM TAPE AT ALL VERTICAL AND HORIZONTAL OVERLAPPING SEAMS.

07-133 WOOD SIDING

IS PREFERRED.

HORIZONTAL SIDING: 1X4 SHIP-LAP-JOINTED (WITH 1/4" REVEAL) HORIZONTAL SIDING. TO BE CLEAR CEDAR STAINED SEMI-TRANSPARENT WITH SHERMAN WILLIAMS OR EQUAL. COLOR- "CEDAR BARK".

VERTICAL SIDING: 1X8 SHIP-LAP-JOINTED (WITH 1/8" REVEAL) VERTICAL SIDING, TO BE CLEAR SEDAR STAINED SEMI-TRANSPARENT WITH SHERMAN WILLIAMS OR FQUAL, COLOR- "CROSSROADS".

PROVIDE 12" X 12" SAMPLE OF EACH SIDING SPECIFIED WITH COLOR SPECIFIED.

OLLOW INSTALLATION INSTRUCTIONS SPECIFIED BY THE PRODUCT MANUFACTURER.

EXAMINE SUBSTRATES FOR COMPLIANCE WITH REQUIREMENTS FOR INSTALLATION TOLERANCES AND OTHER CONDITIONS AFFECTING PERFORMANCE OF SIDING AND RELATED ACCESSORIES, AND PROCEED WITH INSTALLATION ONLY AFTER UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. AS FOR THE VERTICAL SIDING PROVIDE HORIZONTAL BLOCKING AT ALL LOCATION AS REQUIRED BY MNFR. RECOMMENDATIONS

INSTALL EXTERIOR SIDING FINISH OVER EXTERIOR WALL VENTILATION MATRIX OVER BUILDING WEATHER BARRIER AS PER MANUFACTURE SPECIFICATIONS AND INDUSTRY STANDARDS. SEE STRUCTURAL NOTES FOR DIAPHRAGM NAILING, HURRICANE TIE HOLD-DOWNS.

CLEAN FINISHED SURFACES ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS AND MAINTAIN IN A CLEAN CONDITION DURING CONSTRUCTION.

COORDINATE WORK WITH RELATED TRADES; SCRIBE AND COPE SIDING BOARDS FOR ACCURATE FIT. ALLOW INSTALLATION ANCHOR SHEET METAL FLASHING AND TRIM AND OTHER COMPONENTS OF THE WORK SECURELY IN PLACE, WITH OF RELATED WORK TO AVOID CUTTING AND PATCHING.

SELECT SIDING BOARDS OF LONGEST POSSIBLE LENGTHS. DISCARD BOARDS THAT ARE WARPED, TWISTED, BOWED, CROOKED OR OTHERWISE DEFECTIVE.

INSTALLATION MUST COMPLY WITH LOCAL BUILDING CODES AND REGULATIONS. FINISH MATERIALS ON ALL SIDES AND ENDS. APPLY TOUCH UP COATING ON NEW CUTS. FACTORY PRIMED OR FINISHING

EXPLAIN PROPER MAINTENANCE PROCEDURES TO OWNER OR OWNER'S REPRESENTATIVE AT PROJECT CLOSEOUT. THE USE OF PRESSURE WASHERS IS NOT RECOMMENDED.

07-155 SINGLE-PLY TPO DECK MEMBRANE

PROVIDE INSTALLED ROOFING MEMBRANE AND FLASHINGS THAT REMAIN WATERTIGHT; DO NOT PERMIT THE PASSAGE OF WATER; AND RESIST SPECIFIED UPLIFT PRESSURES, THERMALLY INDUCED MOVEMENT AND EXPOSURE TO WEATHER WITHOUT

PROVIDE ROOFING MATERIALS THAT ARE COMPATIBLE WITH ONE ANOTHER UNDER SERVICE AND APPLICATION REQUIRED, AS DEMONSTRATED BY ROOFING MEMBRANE MANUFACTURER BASED ON TESTING AND FIELD EXPERIENCE. ROOF SYSTEM DESIGNED AND SUCCESSFULLY TESTED BY A QUALIFIED TESTING AND INSPECTING AGENCY TO WITHSTAND UPLIFT FORCES AS CALCULATED USING THE CURRENT VERSION OF ASCE 7.

ROOF SYSTEM WILL ACHIEVE A UL FIRE RATING WHEN TESTED IN ACCORDANCE WITH UL-790 AS REQUIRED BY LOCAL BUILDING CODE. MINIMUM RATING SHALL BE A UL CLASS B RATING. PROVIDE A ROOF SYSTEM WITH POSITIVE DRAINAGE WHERE ALL STANDING WATER DISSIPATES AFTER PRECIPITATION

BUILDING CODES: ROOF SYSTEM WILL MEET THE REQUIREMENTS OF ALL FEDERAL, STATE AND LOCAL CODE BODIES

MANUFACTURER WITH A MINIMUM OF TEN YEARS EXPERIENCE IN THE MANUFACTURING OF SINGLE-PLY HEAT WELDABLE

ROOFING CONTRACTOR SHALL BE AUTHORIZED BY ROOFING SYSTEM MANUFACTURER TO INSTALL ASSEMBLY. PROVIDE LETTER ON MANUFACTURER'S LETTERHEAD OF AUTHORIZED STATUS OF CONTRACTOR.

LOW-SLOPE ROOF APPLICATIONS. A MANUFACTURER'S REPRESENTATIVE SHALL INSPECT THE INSTALLATION FOR COMPLIANCE WITH MANUFACTURER'S TANDARDS UPON COMPLETION OF THE ROOFING SYSTEM.DEVIATIONS OR CHANGES FROM THE CONTRACT

TANDARD TOTAL SYSTEM WARRANTY SHALL BE ISSUED UPON ACCEPTANCE OF THE ROOFING SYSTEM INSTALLATION.

SPECIFICATION SHALL HAVE WRITTEN APPROVAL FROM THE ROOFING MANUFACTURER, FOR PRESENTATION TO

TWENTY (20) YEAR PERIOD THAT COVERS WIND DAMAGE UP TO 70 MPH. ACCEPTABLE MANUFACTURER: FIBERTITE, DOW ROOFING SYSTEMS, CARLILE ROOFING, OR APPROVED EQUAL REQUESTS

FOR SUBSTITUTIONS WILL BE CONSIDERED IN ACCORDANCE WITH PROVISIONS OF SUBSTITUTION MATERIALS. ROOFING MEMBRANE SHALL BE MANUFACTURED WITH THE FOLLOWING PROPERTIES:

B. MEMBRANE THICKNESS: 30 MI C. COLOR:ENERGY EFFICIENT GREY

D. FLASHINGS MEMBRANE: SHALL 0.060 INCH (1.52MM) THICK REINFORCED MEMBRANE FOR WALLS AND CURBS REGARDLESS OF ROOF COVER SHEET THICKNESS. SHALL BE .060 INCH (1.52 MM)-THICK UNSUPPORTED MEMBRANE FOR FIELD-FABRICATED DETAILS USED FOR MAKING FIELD FLASHINGS THAT REQUIRE HIGHER EXTENSIBILITY THAN IS ALLOWED WITH SCRIM-REINFORCED MEMBRANE E. COVER BOARD: DENSDECK ROOF BOARDS: G-P GYPSUM CORPORATION 1/2 INCH (12 MM) DENSDECK ROOF BOARD. GLASS MAT FACED GYPSUM WITH SPECIALLY TREATED GYPSUM CORE THAT RESISTS MOISTURE AND MOLD GROWTH.

PRODUCT DATA;, INCLUDING:MANUFACTURER'S DATA SHEETS ON EACH PRODUCT TO BE USED; PREPARATION INSTRUCTIONS AND RECOMMENDATIONS; STORAGE AND HANDLING REQUIREMENTS AND RECOMMENDATIONS; AND INSTALLATION METHODS.

SAMPLES FOR VERIFICATION FOR THE FOLLOWING PRODUCTS INCLUDING; MANUFACTURER'S STANDARD SAMPLE SIZE OF SHEET ROOFING OF COLOR SPECIFIED; MANUFACTURER'S STANDARD SAMPLE SIZE OF ROOF INSULATION; MANUFACTURER'S STANDARD SAMPLE SIZE OF WALKWAY PADS OR ROLLS.

SHOP DRAWINGS INCLUDING OUTLINE AND SIZE OF THE ROOF, LOCATION AND TYPE OF PENETRATIONS, PERIMETER AND PENETRATION FLASHING DETAIL REFERENCES TO MANUFACTURE'S STANDARD. DETAILS WHICH DO NOT CONFORM TO ROOFING MANUFACTURER'S STANDARDS SHALL BE IDENTIFIED WITH SEPARATE APPROVAL FROM ROOFING

MANUFACTURER. DETAILS TO BE EMPLOYED ON THE PROJECT SHALL BE APPROVED BY ROOFING MANUFACTURER. SUBMIT WARRANTY CERTIFICATION FROM MANUFACTURER OF APPROVAL OF PROJECT DESIGN AND INTENT TO ISSUE WARRANTY, AND FASTENER PULL TESTS FROM AN INDEPENDENT TESTING AGENCY SHALL BE APPROVED BY THE ROOFING MANUFACTURER.

OO NOT BEGIN INSTALLATION UNTIL SUBSTRATES HAVE BEEN PROPERLY PREPARED. NAILERS AND BLOCKING SHALL BE INSTALLED LEVEL. TRUE TO LINE AND ELEVATION, SECURED TO ROOF STRUCTURE TO RESIST ROOF INSTALLATION AND SERVICE CONDITIONS. IF SUBSTRATE PREPARATION IS THE RESPONSIBILITY OF ANOTHER INSTALLER, NOTIFY ARCHITECT OF UNSATISFACTORY PREPARATION BEFORE PROCEEDING. SURFACES TO BE BONDED SHALL BE DRY, CLEAN AND FREE OF DEBRIS. SUITABLE SURFACES ARE USUALLY CONSIDERED TO BE SMOOTH: SOLID MASONRY, WOOD AND METAL, PLUS INSULATION BOARDS FASTENED PER THE SPECIFIC MANUFACTURER'S RECOMMENDATIONS FOR RECEIVING ADHERED ROOFING MEMBRANES.

all fasteners should be installed with a depth-sensing screw gun to prevent over driving or under DRIVING. BLOCK OFF OR SHUT DOWN POSITIVE PRESSURE BUILDING VENTILATION SYSTEMS DURING APPLICATION TO PREVENT SHEET FROM BILLOWING DURING APPLICATION.

VERIFY ALL ROOFTOP MECHANICAL UNITS ARE TO HAVE THEIR CONDENSATION LINES PIPED TO DRAINS, OR OFF THE ROOF PLYWOOD MUST BE EXTERIOR GRADE WITH AN A OR B FINISH SIDE UP AND WITH NO JOINTS GAPPED GREATER THAN 1/4 INCH, AND PREPARE SURFACES USING THE METHODS RECOMMENDED BY THE MANUFACTURER FOR ACHIEVING THE BEST RESULT FOR THE SUBSTRATE UNDER THE PROJECT CONDITIONS.

PROVIDE TEMPORARY BALLAST IN PARTIALLY COMPLETED SECTIONS TO CONTROL WIND EFFECTS DURING

07-164 METAL SHEET BATTEN-SEAM ROOFING 07-164 METAL SHEET BATTEN-SEAM ROOFING

GENERAL/PRODUCIS ARCHITECTURAL METAL ROOFING: BONDERIZED METAL MBCI- MANUFACTURE COLOR- TO MATCH BENJAMIN MOORE HC-167 "AMHERST GRAY". DETAILS- CRAFTSMAN SERIES SB

SECONDARY ROOFING MEMBRANE - GRACE ICE & WATER SHIELD HT

SAMPLES FOR VERIFICATION OF SHINGLE SIZE AND COLOR WARRANTIES: SAMPLE OF SPECIAL WARRANTIES.

ROOFING AND RELATED ITEMS TO BE INSTALLED AS PER MANUFACTURER

ROOFING TO BE INSTALLED OVER SECONDARY ROOFING MEMBRANE (ENTIRE ROOFING SURFACE) ROOFING SYSTEM TO BE INSTALLED OVER EXTERIOR GRADE A.P.A. RATED SHEATHING (RUN PERPENDICULA RAFTERS) OVER ROOF FRAMING AS PER STRUCTURAL PLANS.

SEE STRUCTURAL NOTES FOR DIAPHRAGM NAILING, HURRICANE TIE HOLD-DOWNS.

07-170, 171, 172, 173, 174, 175, 176, SHEET METAL FLASHING AND TRIM

APPROVED CORROSION RESISTANT FLASHING SHALL BE PROVIDED IN THE EXTERIOR WALL ENVELOPE IN SUCH A MANNER AS TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER TO THE BUILDING STRUCTURAL FRAMING COMPONENTS.

> WINDOW HEAD FLASHING DOOR HEAD FLASHING TRANSITIONAL FLASHING

SHOW INSTALLATION LAYOUTS OF SHEET METAL FLASHING AND TRIM, INCLUDING PLANS, ELEVATIONS, EXPANSION-JOINT LOCATIONS, AND KEYED DETAILS. DISTINGUISH BETWEEN SHOP- AND FIELD-ASSEMBLED WORK.

INCLUDE DETAILS FOR FORMING, JOINING, SUPPORTING, AND SECURING SHEET METAL FLASHING AND TRIM, INCLUDING PATTERN OF SEAMS, TERMINATION POINTS, FIXED POINTS, EXPANSION JOINTS, EXPANSION-JOINT COVERS, EDGE CONDITIONS, SPECIAL CONDITIONS, AND CONNECTIONS TO ADJOINING WORK.

SELF-ADHERING, HIGH-TEMPERATURE SHEET: MINIMUM 30 TO 40 MILS THICK, CONSISTING OF SLIP-RESISTING POLYETHYLENE-FILM TOP SURFACE LAMINATED TO LAYER OF BUTYL OR SBS-MODIFIED ASPHALT ADHESIVE, WITH RELEASE- RATED DOORS. SEE IRC 302.5. PAPER BACKING; COLD APPLIED.

SLIP SHEET: BUILDING PAPER, 3-LB/100 SQ. FT. MINIMUM, ROSIN SIZED.

PROVISIONS FOR THERMAL AND STRUCTURAL MOVEMENT SO THAT COMPLETED SHEET METAL FLASHING AND TRIM SHALL NOT RATTLE, LEAK, OR LOOSEN, AND SHALL REMAIN WATERTIGHT. USE FASTENERS, SOLDER, WELDING RODS, PROTECTIVE COATINGS, SEPARATORS, SEALANTS, AND OTHER MISCELLANEOUS ITEMS AS REQUIRED TO COMPLETE SHEET METAL FLASHING AND TRIM SYSTEM. INSTALL SHEET METAL FLASHING AND TRIM TRUE TO LINE AND LEVELS INDICATED. PROVIDE UNIFORM, NEAT SEAMS WITH MINIMUM EXPOSURE OF SOLDER, WELDS, AND SEALANT.

INSTALL SHEET METAL FLASHING AND TRIM TO FIT SUBSTRATES AND TO RESULT IN WATERTIGHT PERFORMANCE. VERIFY SHAPES AND DIMENSIONS OF SURFACES TO BE COVERED BEFORE FABRICATING SHEET METAL.

SPACE CLEATS NOT MORE THAN 12 INCHES APART. ANCHOR EACH CLEAT WITH TWO FASTENERS. BEND TABS OVER

INSTALL EXPOSED SHEET METAL FLASHING AND TRIM WITHOUT EXCESSIVE OIL CANNING, BUCKLING, AND TOOL MARKS. WHERE DISSIMILAR METALS WILL CONTACT EACH OTHER OR CORROSIVE SUBSTRATES, PROTECT AGAINST GALVANIC ACTION BY PAINTING CONTACT SURFACES WITH BITUMINOUS COATING OR BY OTHER PERMANENT SEPARATION AS RECOMMENDED BY SMACNA.

PROVIDE FOR THERMAL EXPANSION OF EXPOSED FLASHING AND TRIM.

SEAL JOINTS AS SHOWN AND AS REQUIRED FOR WATERTIGHT CONSTRUCTION.RETAIN FIRST PARAGRAPH BELOW FOR METALLIC-COATED STEEL AND COPPER ROOFING, UNLESS THE METAL IS PAINTED OR COATED.

CLEAN EXPOSED METAL SURFACES OF SUBSTANCES THAT INTERFERE WITH UNIFORM OXIDATION AND WEATHERING. APPROVED FLASHING SHALL BE INSTALLED AT THE FOLLOWING LOCATIONS BUT NOT LIMITED TO. SEE I.R.C. SECTION

FOR SELF-FLASHING WINDOWS HAVING A CONTINUOUS LAP OF NOT LESS THAN 1 1/8 INCH OVER THE SHEATHING

AT THE TOP OF ALL EXTERIOR WINDOW AND DOOR OPENINGS IN SUCH A MANNER AS TO BE LEAK PROOF. AN EXCEPTION

MATERIAL AROUND THE PERIMETER OF THE OPENING, INCLUDING CORNERS. AT THE INTERSECTION OF CHIMNEYS OR OTHER MASONRY CONSTRUCTION WITH FRAME OR STUCCO WALLS, WITH PROJECTING LIPS ON BOTH SIDES UNDER STUCCO COPINGS.

AT THE INTERSECTION OF CHIMNEYS OR OTHER MASONRY CONSTRUCTION WITH FRAME OR STUCCO WALLS, WITH PROJECTING LIPS ON BOTH SIDES UNDER STUCCO COPINGS.

UNDER AND AT THE ENDS OF MASONRY, WOOD OR METAL COPINGS AND SILLS. CONTINUOUSLY ABOVE ALL PROJECTING WOOD TRIMS.

PROVIDE ROOFING SYSTEM THAT IS LISTED ON THE DOE'S ENERGY STAR "ROOF PRODUCTS QUALIFIED PRODUCT LIST" FOR WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD FRAME CONSTRUCTION, AND AT WALL AND ROOF INTERSECTIONS AND AT BUILT-IN GUTTERS.

07-183 METAL GUTTERS/DOWNSPOUTS

GUTTERS SHALL BE: SQUARE AS PER DETAILS DOWNSPOUTS SHALL BE: ROUND DOWNSPOUTS.

PROVIDE 12" LONG SAMPLE OF EACH DOWNSPOUT AND GUTTER IN MATERIAL SPECIFIED. (ELECTRICAL CONTRACTOR TO PROVIDE SPECIFICATION OF HEAT TAPE WITH VOLTAGE FOR HEAT TAPE AT CHAIN AT

PRE-FINISHED ALUM. COLOR TO MATCH METAL ROOFING.

INSTALL AT LOCATIONS SHOWN ON PLANS.

METAL FINISH

ALL GUTTERS SHALL SLOPE A MINIMUM OF 1/8" PER FOOT FOR DRAINAGE TO DOWNSPOUTS

FABRICATE HANGING GUTTER TO CROSS SECTION INDICATED, COMPLETE WITH END PIECES, OUTLET TUBES, AND OTHER ACCESSORIES AS REQUIRED. FABRICATE IN CONTINUOUS SECTIONS BETWEEN CORNERS. FABRICATE EXPANSION JOINTS, EXPANSION-JOINT COVERS AND GUTTER ACCESSORIES FROM SAME METAL AS GUTTERS.

JOIN SECTIONS WITH RIVETED AND SOLDERED JOINTS OR WITH LAPPED JOINTS SEALED WITH SEALANT. PROVIDE FOR THERMAL EXPANSION. ATTACH GUTTERS AT EAVE OR FASCIA TO FIRMLY ANCHORED GUTTER BRACKETS SPACED NOT MORE THAN 36 INCHES APART. PROVIDE END CLOSURES AND SEAL WATERTIGHT WITH SEALANT. SLOPE TO

FABRICATE RECTANGULAR DOWNSPOUTS COMPLETE WITH MITERED ELBOWS. FURNISH WITH METAL HANGERS, FROM SAME MATERIAL AS DOWNSPOUTS, AND ANCHORS

JOIN DOWNSPOUT SECTIONS WITH 1-1/2-INCH TELESCOPING JOINTS. PROVIDE HANGERS WITH FASTENERS DESIGNED TO HOLD DOWNSPOUTS SECURELY TO WALLS. LOCATE HANGERS AT TOP AND BOTTOM AND AT APPROXIMATELY 60 INCHES

07-211, 07-212, 07-213, 07-214, 07-215, 07-216, 07-217

PROVIDE ELASTOMERIC JOINT SEALANTS THAT ESTABLISH AND MAINTAIN WATERTIGHT AND AIRTIGHT CONTINUOUS JOINT GLAZED. SEALS WITHOUT STAINING OR DETERIORATING JOINT SUBSTRATES.

PROVIDE JOINT SEALANTS FOR INTERIOR APPLICATIONS THAT ESTABLISH AND MAINTAIN AIRTIGHT AND WATER-RESISTANT CONTINUOUS JOINT SEALS WITHOUT STAINING OR DETERIORATING JOINT SUBSTRATES. PROVIDE JOINT SEALANTS, BACKINGS, AND OTHER RELATED MATERIALS THAT ARE COMPATIBLE WITH ONE ANOTHER AND SURFACE. WITH JOINT SUBSTRATES UNDER CONDITIONS OF SERVICE AND APPLICATION, AS DEMONSTRATED BY SEALANT

CLEAN OUT JOINTS IMMEDIATELY BEFORE INSTALLING JOINT SEALANTS

MANUFACTURER, BASED ON TESTING AND FIELD EXPERIENCE.

REMOVE ALL FOREIGN MATERIAL FROM JOINT SUBSTRATES THAT COULD INTERFERE WITH ADHESION OF JOINT SEALANT PROVIDE CAULKING AT INTERIOR AND EXTERIOR AT ALL JOINTS BETWEEN DISSIMILAR MATERIALS WITH A CONTINUOUS

SILICONE SEALANT SHOULD NOT BE USED ON EXTERIOR JOINTS - ONLY POLYURETHANE OR POLYSULFIDE SEALANTS. BUTYL SEALANTS SHOULD BE USED BETWEEN METAL LAPS WHERE MOVEMENT IS ANTICIPATED.

DIVISION 8-OPENINGS 08-25 EXTERIOR WOOD DOOR

SEE DOOR SCHEDULE FOR ALL SIZES, STYLES, AND OPERATION. CUSTOM ENTRY DOOR- BY MILL SELECTED

SPECIES SHERWIN WILLIAMS SEMI-TRANSPARENT, "CROSSROADS" COLOR

VERIFY ALL DOOR ROUGH OPENINGS BEFORE ORDERING

PROVIDE WARRANTY INFORMATION FOR GLAZING, WOOD COMPONENTS, HARDWARE, CLADDING, AND EXTERIOR PAINT PROVIDE EUROPEAN STYLE MOUNTING, TYPICAL FINISH (ADHESION, CHALK, AND FADE)

PROVIDE SHOP DRAWINGS SHOWING EACH DOOR, HARDWARE, OPERATIONS, SPECIFIED ON DRAWINGS

ALL DOORS SHALL BE INSTALLED PER MANUFACTURES STANDARD INSTALLATION REQUIRMENTS. ALL DOORS SHALL BE INSTALLED TRUE AND PLUMB AND SHALL OPERATE. ADJUST ALL DOORS FOR OPERATIONS AS APPROVED BY ARCHITECT/OWNER.

OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOOR NOT LESS THAN 1 3/8 INCH IN THICKNESS, SOLID OR HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1 3/8 INCHES THICK, OR 20 MINUTE FIRE

08-26 INTERIOR WOOD DOOR

SEE DOOR SCHEDULE FOR ALL SIZES, STYLES, AND OPERATION. AS SELECTED BY BIDDING MANUF. SPECIES: SEE INTERIOR DESIGN DRAWINGS CUSTOM STAIN BY INTERIOR DESIGNER

VERIFY ALL DOOR ROUGH OPENINGS BEFORE ORDERING

PROVIDE WARRANTY INFORMATION FOR GLAZING, WOOD COMPONENTS, HARDWARE, CLADDING, AND EXTERIOR PAINT DOOR OR ACCESS TO AN ADJOINING BEDROOM WITH AN EMERGENCY ESCAPE AND RESCUE WINDOW. BASEMENTS WITH FINISH (ADHESION, CHALK, AND FADE)

PROVIDE SHOP DRAWINGS SHOWING EACH DOOR, HARDWARE, OPERATIONS, SPECIFIED ON DRAWINGS

all doors shall be installed per manufactures standard installation requirments. ALL DOORS SHALL BE INSTALLED TRUE AND PLUMB AND SHALL OPERATE. ADJUST ALL DOORS FOR OPERATIONS AS

OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOOR NOT LESS THAN 1 3/8 3.THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20". INCH IN THICKNESS, SOLID OR HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1 3/8 INCHES THICK, OR 20 MINUTE FIRE RATED DOORS. SEE IRC 302.5. THE USE OF KEYS, TOOLS OR SPECIAL KNOWLEDGE, EXCEPT GROUND FLOOR, NET CLEAR OPENING AREA OF 5.0

08-39 EXTRUDED ALUMINUM WOOD SLIDING DOORS

SEE WINDOW SCHEDULE FOR ALL SIZES AND OPERATION.

APPROVED BY ARCHITECT/OWNER.

LOEWEN, WINDSOR, JELD-WEN, KOLBE, MARVIN, WINDOW MANUFACTURER: WINDOW STYLE SHALL BE: AS SHOWN ON DRAWINGS PROVIDE SCREENS AND HARDWARE FOR ALL OPERABLE UNITS. COLOR OF SCREENS TO BE: AS DETERMINED BY ARCHITECT.

PROVIDE DOUBLE PANE INSULATED LOW "E" GLAZING UNLESS NOTED OTHERWISE. CONTRACTOR TO COORDINATE WITH ENERGY CODE SUBMITTAL FOR U VALUES. GLAZING SHALL BE CARDINAL 365 GLAZING - NO EXCEPTION

PROVIDE SPACER BARS WHERE SDL'S ARE USED

HARDWARE TO HAVE MULTI-POINT LOCKING SYSTEM

ALL FIXED GLAZING TO BE SASH SET

INSTALLATION IS COMPLETE.

WOOD WINDOWS WITH EXTRUDED ALUMINUM CLAD EXTERIOR BOTH FRAME AND SASH- NO EXCEPTIONS. EXTERIOR CLAD PAINT FINISH TO MEET AAMA 2605 SPECIFICATIONS (70% KYNAR) COLOR AS PER OWNER AND ARCHITECT

BASEMENTS WITH HABITABLE SPACES SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE WINDOW OR DOOR OR ACCESS TO AN ADJOINING BEDROOM WITH AN EMERGENCY ESCAPE AND RESCUE WINDOW.BASEMENTS WITH SLEEPING ROOMS SHALL EACH HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE WINDOW OR

VERIFY ALL WINDOW ROUGH OPENINGS BEFORE ORDERING

THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20"

VERIFY THAT WINDOWS WILL MEET LIGHT, VENTILATION, AND EGRESS REQUIREMENTS (IRC R303 & R310)

MINIMUM OPENING AREA FOR ALL WINDOWS IN BEDROOMS OR EMERGENCY SHALL HAVE A 5.75 SQ. FT OF THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24"

THE ESCAPE AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS, TOOLS OR SPECIAL KNOWLEDGE, EXCEPT GROUND FLOOR, NET CLEAR OPENING AREA OF 5.0 SQUARE FEET. R310.1.1 TO R310.1.4. WINDOW SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR. OPENINGS WITH A FINISHED SILL HEIGHT BELOW THE ADJACENT GROUND ELEVATION SHALL BE PROVIDED WITH A WINDOW WELL. R310.1.

PROVIDE WARRANTY INFORMATION FOR GLAZING, HARDWARE, CLADDING, AND EXTERIOR PAINT FINISH (ADHESION, CHALK, AND FADE) PROVIDE SHOP DRAWINGS SHOWING EACH WINDOW FOR VERIFICATION OF SIZE SPECIFIED ON DRAWINGS AND OPERATIONAL REQUIREMENTS.

INSTALL DRIP FLASHING OVER HEADS OF ALL WINDOWS AT EXTERIOR (IRC R703.8) INSTALL FOAM INJECTED INSULATION SEALER AT ALL SHIM CAVITITIES INSTALLATION SHALL BE PER MANUFACTURES SPECIFICATION, AND SHALL BE REVIEWED BY WINDOW SUPPLIER AFTER

PROVIDE TEMPERED GLASS AS REQUIRED (IRC R308) A. SAFETY GLAZING SHALL BE INSTALLED IN HAZARDOUS LOCATIONS AND SHALL MEET THE FOLLOWING

B. EACH PANE OF GLASS INSTALLED IN HAZARDOUS LOCATIONS SHALL BE PERMANENTLY IDENTIFIED BY

MANUFACTURER, DESIGNATING THE TYPE, THICKNESS, AND SAFETY GLAZING STANDARD. THE LABEL

ACID ETCHED, SANDBLASTED, CERAMIC FIRED OR EMBOSSED ON GLASS AND BE VISIBLE WHEN THE UNIT IS C. PROVIDE SAFETY GLAZING IN ALL DOORS INCLUDING SIDE HINGED DOORS, SLIDING DOORS, SLIDING PANELS, BIFOLD DOORS, STORM DOORS, FIXED OR OPERABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24 INCH ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED

POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING

D. PROVIDE SAFETY GLAZING IN WALLS ENCLOSING STAIRWAY LANDINGS OR WITHIN 36 INCHES OF THE TOP OR BOTTOM OF STAIRWAYS WHERE THE BOTTOM EDGE OF THE GLASS IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE.

E. PROVIDE SAFETY GLAZING IN DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS. GLAZING IN ANY PORTION OF A BUILDING WALL ENCLOSING THESE COMPARTMENTS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A STANDING OR WALKING SURFACE.

F. PROVIDE SAFETY GLAZING IN RAILINGS REGARDLESS OF AN AREA OR HEIGHT.

G. PROVIDE SAFETY GLAZING IN WALLS AND FENCES ENCLOSING SWIMMING POOLS OR HOT TUBS. WHERE THE BOTTOM EDGE OF THE POOL OR SPA GLASS IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE.

H. PROVIDE SAFETY GLAZING IN FIXED OR OPERABLE PANELS THAT MEETS ALL OF THE FOLLOWING CONDITIONS: AREAS GREATER THAN 9 SQUARE FEET, BOTTOM EDGE LESS THAN 18 INCHES ABOVE THE FLOOR, TOP EDGE GREATER THAN 36 INCHES ABOVE FLOOR, AND WITHIN 36 INCHES OF WALKING SURFACE.

08-67 OVERHEAD SECTIONAL DOOR

SEE DOOR SCHEDULE FOR ALL SIZES AND OPERATION. DOOR MANUFACTURER: DOOR STYLE SHALL BE: AS SHOWN ON DRAWINGS

COLOR: SHERMAN WILLIAMS SEMI-TRANSPARENT, "CROSSROADS"

VERIFY ALL DOOR ROUGH OPENINGS BEFORE ORDERING

PROVIDE WARRANTY INFORMATION FOR GLAZING, WOOD COMPONENTS, HARDWARE, CLADDING, AND EXTERIOR PAINT

PROVIDE SHOP DRAWINGS SHOWING EACH DOOR, HARDWARE, OPERATIONS, SPECIFIED ON DRAWINGS

INSTALL PER MANUFACTURER RECOMMENDED INSTALLATION PROCEDURES, CONTRACTOR SHALL COORDINATE ALL SUB CONTRACTORS TO MEET THESE REQUIREMENTS.

08-118 SHOWER DOOR

TEMPERED OR LAMINATED SAFETY GLASS FOR SHOWER DOORS OR SHOWER ENCLOSURES. SHOWER ENCLOSURES TO BE: EUROPEAN STYLE ALUMINUM FRAMED SHOWER ENCLOSURE

PROVIDE SAMPLES: 12-INCH SQUARE, FOR EACH TYPE OF GLASS PRODUCT INDICATED. PROVIDE GLAZING SCHEDULE: USE SAME DESIGNATIONS INDICATED ON DRAWINGS.

INSTALL DOORS TO SWING OUTWARD, TYPICAL. (2006 IRC R308 P2708.1)

08-132 EXTRUDED ALUMINUM CLAD WOOD WINDOWS GENERAL/PRODUCTS

SEE WINDOW SCHEDULE FOR ALL SIZES AND OPERATION. WINDOW MANUFACTURER: LOEWEN, WINDSOR, JELD-WEN, KOLBE WINDOW STYLE SHALL BE: AS SHOWN ON DRAWINGS.

PROVIDE SCREENS AND HARDWARE FOR ALL OPERABLE UNITS. PROVIDE DOUBLE PANE INSULATED LOW "E" GLAZING UNLESS NOTED OTHERWISE. CONTRACTOR TO COORDINATE WITH ENERGY CODE SUBMITTAL FOR U VALUES (U=0.30 AND SHGC=0.25 FOR WINDOWS OF GREAT ROOMS, UNLESS NOTED

PROVIDE SPACER BARS WHERE SDL'S ARE USED

SQUARE FEET. R310.1.1 TO R310.1.4.

OPERATIONAL REQUIREMENTS.

WHEN THE UNIT IS GLAZED.

ALL FIXED GLAZING TO BE SASH SET

HARDWARE TO HAVE MULTI-POINT LOCKING SYSTEM

WOOD WINDOWS WITH ALUMINUM CLAD EXTERIOR. EXTERIOR CLAD PAINT FINISH TO MEET AAMA 2605 SPECIFICATIONS (70% KYNAR) COLOR AS PER OWNER AND ARCHITECT

BASEMENTS WITH HABITABLE SPACES SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE WINDOW OR SLEEPING ROOMS SHALL EACH HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE WINDOW OR DOOR.

VERIFY ALL WINDOW ROUGH OPENINGS BEFORE ORDERING

VERIFY THAT WINDOWS WILL MEET LIGHT, VENTILATION, AND EGRESS REQUIREMENTS (IRC R303 & R310) 1.MINIMUM OPENING AREA FOR ALL WINDOWS IN BEDROOMS OR EMERGENCY SHALL HAVE A 5.75 SQ. FT OF

2.THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24". 4.THE ESCAPE AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT

5.WINDOW SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR. OPENINGS WITH A FINISHED SILL HEIGHT BELOW THE ADJACENT GROUND ELEVATION SHALL BE PROVIDED WITH A WINDOW WELL. R310.1. PROVIDE WARRANTY INFORMATION FOR GLAZING, HARDWARE, CLADDING, AND EXTERIOR PAINT FINISH.

PROVIDE SHOP DRAWINGS SHOWING EACH WINDOW FOR VERIFICATION OF SIZE SPECIFIED ON DRAWINGS AND

INSTALL DRIP FLASHING OVER HEADS OF ALL WINDOWS AT EXTERIOR (IRC R703.8)

INSTALL FOAM INJECTED INSULATION SEALER AT ALL SHIM CAVITITIES INSTALLATION SHALL BE PER MANUFACTURES SPECIFICATIONS, AND SHALL BE REVIEWED BY WINDOW SUPPLIER AFTER

PROVIDE TEMPERED GLASS AS REQUIRED (IRC R308). SAFETY GLAZING SHALL BE INSTALLED IN HAZARDOUS LOCATIONS AND SHALL MEET THE FOLLOWING REQUIREMENTS: 1- EACH PANE OF GLASS INSTALLED IN HAZARDOUS LOCATIONS SHALL BE PERMANENTLY IDENTIFIED BY MANUFACTURER, DESIGNATING THE TYPE, THICKNESS, AND SAFETY GLAZING STANDARD. THE LABEL

SHALL BE ACID ETCHED, SANDBLASTED, CERAMIC FIRED OR EMBOSSED ON GLASS AND BE VISIBLE

3- PROVIDE SAFETY GLAZING IN WALLS ENCLOSING STAIRWAY LANDINGS OR WITHIN 36 INCHES OF THE

ENCLOSING THESE COMPARTMENTS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS

PROVIDE SAFETY GLAZING IN FIXED OR OPERABLE PANELS THAT MEETS ALL OF THE FOLLOWING

PROVIDE SAFETY GLAZING IN ALL DOORS INCLUDING SIDE HINGED DOORS, SLIDING DOORS, SLIDING PANELS, BIFOLD DOORS, STORM DOORS, FIXED OR OPERABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24 INCH ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING

OR BOTTOM OF STAIRWAYS WHERE THE BOTTOM EDGE OF THE GLASS IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE. 4- PROVIDE SAFETY GLAZING IN DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS. STEAM ROOMS, BATHTUBS AND SHOWERS. GLAZING IN ANY PORTION OF A BUILDING WALL

THAN 60 INCHES ABOVE A STANDING OR WALKING SURFACE.

EDGE GREATER THAN 36 INCHES ABOVE FLOOR, AND WITHIN 36 INCHES OF

PROVIDE SAFETY GLAZING IN RAILINGS REGARDLESS OF AN AREA OR HEIGHT. PROVIDE SAFETY GLAZING IN WALLS AND FENCES ENCLOSING SWIMMING POOLS OR HOT TUBS WHERE THE THE BOTTOM EDGE OF THE POOL OR SPA GLASS IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE.

CONDITIONS: AREAS GREATER THAN 9 SQUARE FEET, BOTTOM EDGE LESS THAN 18 INCHES ABOVE THE FLOOR, TOF

08-146 UNIT SKYLIGHT

PROVIDE MAINTENANCE AND WARRANTY INFORMATION.

14" SOLATUBE 290 DS SELF-FLASHING FOR HARD CEILING SUBMIT SKYLIGHT WITH PRODUCT DATA. SAMPLES OF FINISH, WITH SHOP DRAWINGS ON HOW TO INSTALL ON ROOF AND INTERFACE WITH CEILING FINISH.

DO NOT INSTALL WITHIN 3-FT OF INSIDE FACE OF FIRE-RATED WALLS.

INSTALL PER MANUFACTURES SPECIFICATIONS AND COORDINATE WITH ROOFING MATERIAL. 08-151 DOOR HARDWARE

ALL DOOR HARDWARE AS SELECTED BY INTERIOR DESIGNER AND OWNER

SUBMIT DOOR HARDWARE SCHEDULE WITH PRODUCT DATA, SAMPLES OF FINISH, WITH SCHEDULE OF EACH DOOR AND HARDWARE LIST ASSIGNED TO EACH DOOR.

INSTALL PER MANUFACTURES SPECIFICATIONS

08-174 MIRRORS MIRRORS AS SELECTED BY INTERIOR DESIGN. COORDINATE WITH INTERIOR DRAWINGS.

DIVISION 9- FINISHES 09-21 GYPSUM WALL BOARD

5/8" TYPE "X" GYPSUM BOARD AT GARAGE AND AT FIRE-RATED SEPARATION WALL

WALLS: 5/8" THICK GYPSUM BOARD, UNLESS OTHERWISE NOTED ON DRAWINGS. CEILINGS: 5/8" THICK GYPSUM BOARD, UNLESS OTHERWISE NOTED ON DRAWINGS.

FINISH TO BE: SMOOTH

4'-0" X 4'-0" MOCK-UP OF WALL AND CEILING TO INDICATE COMPLIANCE OF FINISH SPECIFIED.

EXTERIOR LOCATIONS: 5/8" GLAS-MAT GYPSUM BOARD, UNLESS OTHERWISE NOTED ON DRAWINGS.

PROVIDE (1) LAYER 5/8" GYPSUM BOARD ON ALL WALLS, COMBUSTIBLE COLUMNS, ETC. AND (2) LAYERS 5/8" GYPSUM BOARD AT CEILINGS, BEAMS, ETC. IN GARAGE (IRC 302.6)

THE GYPSUM BOARD SHALL BE ATTACHED TO FRAMING WITH APPROVED SCREWS AS REQUIRED BY THE MANUFACTURER. UNLESS NOTED OTHERWISE PROVIDE A LEVEL 4 GYPSUM BOARD FINISH ON ALL WALLS AS PER INDUSTRY STANDARDS

PROVIDE SQUARE CORNER BEAD / TRIM FINISH.

CEILINGS TO HAVE A SMOOTH LEVEL 4 FINISH.

PROVIDE GLAS-MAT GYPSUM BOARD IN ALL WET LOCATIONS. PROVIDE GLAS-MAT GYPSUM BOARD TILE BACKER BOARD ON FRAMING (INSTEAD OF GYPSUM BOARD) AT SURFACES TO RECEIVE TILE.

09-27 CERAMIC TILE

EXTENT OF CERAMIC TILE FLOORING INDICATED ON FINISH FLOOR PLANS.

SEE CERAMIC TILE FLOOR SCHEDULE FOR TILE SPECIFICATION AND STYLE, INCLUDED BY INTERIOR DESIGNER 09-37 STONE TILE

SEE STONE TILE FLOOR SCHEDULE FOR TILE SPECIFICATION AND STYLE, INCLUDED BY INTERIOR DESIGNER.

XTENT OF STONE TILE FLOORING INDICATED ON FINISH FLOOR PLANS.

09-102 STONE FLOORING

SEE STONE FLOOR SCHEDULE FOR TILE SPECIFICATION AND STYLE, INCLUDED BY INTERIOR DESIGNER. 09-109 WOOD FLOORING

KTENT OF STONE FLOORING INDICATED ON FINISH FLOOR PLANS.

EXTENT OF WOOD FLOORING INDICATED ON FINISH FLOOR PLANS AND AS PER INTERIOR DESIGNER SEE WOOD FLOOR SCHEDULE FOR WOOD FLOOR SPECIES AND STYLE

THAN SEVEN DAYS AFTER WOOD FLOORING INSTALLATION.

FINISH OF WOOD FLOOR AS SPECIFIED IN WOOD FLOOR SCHEDULE.

PROVIDE A 24" X 24" SAMPLE OF THE FLOOR INSTALLED OVER PLYWOOD WITH STAIN FINISH FOR APPROVAL BY ARCHITECT/INTERIOR DESIGNER AND OWNER PRIOR TO INSTALLATION.

INSTALL WOOD FLOORING AS REQUIRED BY ALL APPLICABLE CODES AND STANDARDS FOR WOOD FLOOR INSTALLATION MAINTAIN AN AMBIENT TEMPERATURE BETWEEN 65 AND 75 DEGF AND RELATIVE HUMIDITY PLANNED FOR BUILDING OCCUPANTS IN SPACES TO RECEIVE WOOD FLOORING DURING THE CONDITIONING PERIOD FOR NOT LESS THAN SEVEN

DAYS BEFORE WOOD FLOORING INSTALLATION, AND CONTINUOUS THROUGH INSTALLATION, AND CONTINUES NOT LESS.

PROVIDE EXPANSION SPACE AT WALLS AND OTHER OBSTRUCTIONS AND TERMINATIONS OF FLOORING AS PER MANUFACTURE RECOMMENDATIONS.

INSTALLATION ONLY AFTER UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED.

09-167 CARPET (SHEET) FLOORING EXTENT OF CARPET FLOORING INDICATED ON INTERIOR DESIGN DRAWINGS NOT INCLUDED WITHIN ARCHITECTURAL

OWNER/CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH INTERIOR DESIGNER FOR ALL FINISH ITEMS.

BROOM OR VACUUM CLEAN SUBSTRATES TO BE COVERED IMMEDIATELY BEFORE PRODUCT INSTALLATION. AFTER

CLEANING, EXAMINE SUBSTRATES FOR MOISTURE, ALKALINE SALTS, CARBONATION, OR DUST. PROCEED WITH

SUBMITTALS FOR CODE COMPLIANCE AND APPROVAL PROVIDE A 24" X 24" SAMPLE OF THE FLOOR FOR APPROVAL BY ARCHITECT/INTERIOR DESIGNER AND OWNER PRIOR TO

COMPLETE INSTALLATION DETAILS ARE THE RESPONSIBILITY OF THE INTERIOR DESIGNER AND TO REVIEW ALL MATERIAL AND

ALL INSTALLATION OF MATERIALS AS SELECTED BY INTERIOR DESIGNER SHALL BE INSTALLED PER MANUFACTURER STANDARDS AND AS PER INTERIOR DESIGNER SPECIFICATIONS.

09-208 EXTERIOR PAINTING

TWO (2) COATES OF FINISH PAINT AFTER PRIME COAT.

EXTERIOR SEMI-TRANSPARENT WOOD STAIN PROVIDE A 24" X 24" SAMPLE FOR APPROVAL BY ARCHITECT/INTERIOR DESIGNER AND OWNER PRIOR TO INSTALLATION. ALL MATERIAL SHALL BE PRIMED ON ALL SURFACES PRIOR TO INSTALLATION. MATERIAL MAY BE PRE-PAINTED PRIOR TO INSTALLATION, OR PAINTED AFTER INSTALLATION. ALL SURFACES SHALL RECEIVE

CONTRACTOR SHALL CAULK ALL JOINTS PRIOR TO FINAL PAINTING

09-221 INTERIOR PAINTING EXTENT OF INTERIOR PAINTING INDICATED ON INTERIOR DESIGN DRAWINGS NOT INCLUDED WITHIN ARCHITECTURAL

OWNER/CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH INTERIOR DESIGNER FOR ALL FINISH ITEMS.

COMPLETE INSTALLATION DETAILS ARE THE RESPONSIBILITY OF THE INTERIOR DESIGNER AND TO REVIEW ALL MATERIAL AND SUBMITTALS FOR CODE COMPLIANCE AND APPROVAL PROVIDE A 24" X 24" SAMPLE FOR APPROVAL BY ARCHITECT/INTERIOR DESIGNER AND OWNER PRIOR TO INSTALLATION.

all finishes Selected by Interior designer shall be installed as per manufacturer standard specifications

ALL WALLS MUST BE SMOOTH AND FREE OF DEFECTS PRIOR TO PAINTING

09-230 STAIN FINISH

AND SHALL MEET ALL INTERIOR SPECIFICATIONS.

EXTENT OF INTERIOR STAIN FINISH INDICATED ON INTERIOR DESIGN DRAWINGS NOT INCLUDED WITHIN ARCHITECTURAL OWNER/CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH INTERIOR DESIGNER FOR ALL FINISH ITEMS. COMPLETE INSTALLATION DETAILS ARE THE RESPONSIBILITY OF THE INTERIOR DESIGNER AND TO REVIEW ALL MATERIAL AND SUBMITTALS FOR CODE COMPLIANCE AND APPROVAL

ALL FINISHES SELECTED BY INTERIOR DESIGNER SHALL BE INSTALLED AS PER MANUFACTURER STANDARD SPECIFICATIONS. AND SHALL MEET ALL INTERIOR SPECIFICATIONS.

09-235 EPOXY FLOOR COATINGS

EXTENT OF EPOXY FLOOR COATINGS. INDICATED ON INTERIOR DESIGN DRAWINGS NOT INCLUDED WITHIN ARCHITECTURAL OWNER/CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH INTERIOR DESIGNER FOR ALL FINISH ITEMS. COMPLETE INSTALLATION DETAILS ARE THE RESPONSIBILITY OF THE INTERIOR DESIGNER AND TO REVIEW ALL MATERIAL AND SUBMITTALS FOR CODE COMPLIANCE AND APPROVAL

PROVIDE A 24" X 24" SAMPLE FOR APPROVAL BY ARCHITECT/INTERIOR DESIGNER AND OWNER PRIOR TO INSTALLATION.

PROVIDE A 24" X 24" SAMPLE FOR APPROVAL BY ARCHITECT/INTERIOR DESIGNER AND OWNER PRIOR TO INSTALLATION. ALL FINISHES SELECTED BY INTERIOR DESIGNER SHALL BE INSTALLED AS PER MANUFACTURER STANDARD SPECIFICATIONS. AND SHALL MEET ALL INTERIOR SPECIFICATIONS.

Architecture

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Construction Managemer

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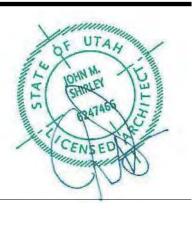
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TO ORDERING.

COMPLETE INSTALLATION DETAILS ARE THE RESPONSIBILITY OF THE INTERIOR DESIGNER AND TO REVIEW ALL MATERIAL AND SUBMITTALS FOR CODE COMPLIANCE AND APPROVAL PROVIDE HARDWARE SPECIFICATION CUT SHEETS FOR APPROVAL BY ARCHITECT/INTERIOR DESIGNER AND OWNER PRIOR

EXECUTION INSTALL ACCESSORIES ACCORDING TO MANUFACTURERS' WRITTEN INSTRUCTIONS, USING FASTENERS APPROPRIATE TO SUBSTRATE INDICATED AND RECOMMENDED BY UNIT MANUFACTURER. INSTALL UNITS LEVEL, PLUMB, AND FIRMLY ANCHORED IN LOCATIONS AND AT HEIGHTS INDICATED.

DIVISION 11- EQUIPMENT

GAME ROOM FIREPLACE TO BE: MONTIGO "P-SERIES" SEALED GAS - SEE ID DRAWINGS (TOP-VENT TO EXTERIOR WALL) GREAT ROOM FIREPLACE TO BE: MONTIGO "P-SERIES" SEALED GAS - SEE ID DRAWINGS (TOP VENT TO CHIMNEY CHASE)

MASTER BEDROOM FIREPLACE TO BE: MONTIGO "PANORAMA" 3-SIDED GLASS CUSTOM SEALED GAS - SEE ID DRAWINGS (REAR-VENT TO EXTERIOR WALL)

SUBMIT CUT SHEETS FOR EACH APPLIANCE SPECIFIED.

BEDROOM APPLICATIONS: PROVIDE SEALED GLASS DOORS.

ALL WOOD BURNING FIREPLACES (EXCEPT IN BEDROOM APPLICATIONS): TO BE PROVIDED WITH GAS STARTERS

GAS LOG FIREPLACES SHALL BE PROVIDED WITH A SHUT OFF VALVE LOCATED OUTSIDE OF THE FIREBOX AND WITHIN 6' OF THE APPLIANCE, UNLESS APPROVED BY THE FIREPLACE MANUFACTURER.

GAS LIGHTERS ARE USED, FLUE MUST BE PERMANENTLY HELD OPEN.

ALL GAS LOGS, LIGHTERS OR FIREPLACES REQUIRE OUTSIDE COMBUSTION AIR.

ALL FLUES MUST EQUAL 1 SQUARE INCH PER 1000 BTU'S.

ALL ROOMS WHERE GAS LOGS, LIGHTERS, OR FIREPLACES ARE INSTALLED MUST EQUAL 50 CUBIC FEET OF VOLUME PER 1000 BTU'S IN ADDITION TO THE REQUIREMENT FOR OUTSIDE AIR.

PROVIDE FLUES, COMBUSTION AIR SPARK ARRESTOR, CLEARANCES, AND ETC. AS PER MANUFACTURER'S RECOMMENDATIONS.

PROVIDE CHIMNEY CAP FLASHING AND SURROUND. (SEE SECTION 07-34) THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY AND FOLLOW ALL MANUFACTURER'S REQUIREMENTS FOR INSTALLATION OF FIREPLACE EQUIPMENT, INCLUDING FINISH MATERIAL SUCH AS HEARTHS, MANTLES, AND OTHER COMBUSTIBLE PROJECTIONS, ETC. AND PROVIDE PROPER SETBACKS, CLEARANCES, AND PROTECTION.

THE CHIMNEY TERMINATION MUST EXTEND AT LEAST 2 FEET HEIGHER THAN ANY PORTION OF THE BUILDING WITHIN 10 FEET, AT WOOD BURNING FIREPLACES, AS REQUIRED BY I.R.C. G2427.5.3.

11-34 RESIDENTIAL APPLIANCES

RESIDENTIAL APPLIANCES AS SELECTED BY INTERIOR DESIGNER.

PRODUCT DATA: FOR EACH TYPE OF PRODUCT INDICATED. APPLIANCE SCHEDULE: USE SAME DESIGNATIONS INDICATED ON DRAWINGS

GAS-BURNING APPLIANCES: COMPLY WITH ANSI Z21 SERIES STANDARDS.

RESIDENTIAL APPLIANCES: COMPLY WITH NAECA STANDARDS.

INSTALLER QUALIFICATIONS: AN EMPLOYER OF WORKERS TRAINED AND APPROVED BY MANUFACTURER FOR INSTALLATION AND MAINTENANCE OF UNITS REQUIRED FOR THIS PROJECT

PROVIDE CLEARANCE FROM APPLIANCES TO COMBUSTIBLE MATERIALS AS PER MANUFACTURES INSTALLATION REQUIREMENTS. PROVIDE MINIMUM CLEARANCE OF 30" ABOVE COOKING TOP TO COMBUSTIBLE MATERIALS. (I.R.C. M1306 & M1901)

INSTALL ACCESSORIES ACCORDING TO MANUFACTURERS' WRITTEN INSTRUCTIONS, USING FASTENERS APPROPRIATE TO SUBSTRATE INDICATED AND RECOMMENDED BY UNIT MANUFACTURER. INSTALL UNITS LEVEL, PLUMB, AND FIRMLY ANCHORED IN LOCATIONS AND AT HEIGHTS INDICATED.

BUILT-IN EQUIPMENT: SECURELY ANCHOR UNITS TO SUPPORTING CABINETS OR COUNTERTOPS WITH CONCEALED FASTENERS. VERIFY THAT CLEARANCES ARE ADEQUATE FOR PROPER FUNCTIONING AND ROUGH OPENINGS ARE

COMPLETELY CONCEALED. FREESTANDING EQUIPMENT: PLACE UNITS IN FINAL LOCATIONS AFTER FINISHES HAVE BEEN COMPLETED IN EACH AREA.

VERIFY THAT CLEARANCES ARE ADEQUATE TO PROPERLY OPERATE EQUIPMENT. 11-42 PROJECTION SCREENS

TENT OF PROJECTION SCREENS ARE INDICATED ON INTERIOR DESIGN DRAWINGS NOT INCLUDED WITHIN ARCHITECTURAL DRAWINGS

OWNER/CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH INTERIOR DESIGNER FOR ALL FINISH ITEMS.

COMPLETE INSTALLATION DETAILS ARE THE RESPONSIBILITY OF THE INTERIOR DESIGNER AND TO REVIEW ALL MATERIAL AND SUBMITTALS FOR CODE COMPLIANCE AND APPROVAL.

DIVISION 12- FURNISHINGS 12-27 WOOD KITCHEN CABINETS

EXTENT OF CABINETRY AS SHOWN ON INTERIOR FINISH PLANS AND DRAWINGS.

SEE INTERIOR ELEVATIONS FOR DESIGN OF CABINETS

COORDINATE WITH CABINET FINISH SCHEDULE FOR FINISH OF ALL CABINETS.

CABINET SUPPLIER SHALL PROVIDE SHOP DRAWINGS FOR EACH CABINET FOR APPROVAL BY ARCHITECT/INTERIOR DESIGNER/OWNER PRIOR TO FABRICATION OF CABINET

PROVIDE 12 X 12 SAMPLE OF EACH CABINET FINISH SPECIFIED FOR APPROVAL.

PROVIDE 1 DOOR SAMPLE FOR EACH DOOR TYPE SPECIFIED FOR APPROVAL

12-40 STONE COUNTERTOPS

TENT OF STONE COUNTERTOPS AS SHOWN ON INTERIOR FINISH PLANS AND DRAWINGS.

ACCORDING TO ESTABLISHED RELATIONSHIPS AND INDICATED TOLERANCES

SAMPLES FOR EACH STONE TYPE INDICATED, IN SETS OF SAMPLES NOT LESS THAN 12 INCHES SQUARE. INCLUDE TWO OR MORE SAMPLES IN EACH SET AND SHOW THE FULL RANGE OF VARIATIONS IN APPEARANCE CHARACTERISTICS EXPECTED IN

USE ONLY ADHESIVES FORMULATED FOR STONE AND CERAMIC TILE AND RECOMMENDED BY THEIR MANUFACTURER FOR THE APPLICATION INDICATED. EXAMINE SUBSTRATES INDICATED TO RECEIVE STONE COUNTERTOPS AND CONDITIONS UNDER WHICH STONE COUNTERTOPS WILL BE INSTALLED, WITH INSTALLER PRESENT, FOR COMPLIANCE WITH REQUIREMENTS FOR INSTALLATION TOLERANCES AND OTHER CONDITIONS AFFECTING PERFORMANCE.

INSTALL COUNTERTOPS OVER PLYWOOD SUBTOPS WITH FULL SPREAD OF WATER-CLEANABLE EPOXY ADHESIVE. SET STONE TO COMPLY WITH REQUIREMENTS INDICATED ON DRAWINGS AND SHOP DRAWINGS. SHIM AND ADJUST STONE TO LOCATIONS INDICATED, WITH UNIFORM JOINTS OF WIDTHS INDICATED AND WITH EDGES AND FACES ALIGNED

REMOVE AND REPLACE STONE COUNTERTOPS OF THE FOLLOWING DESCRIPTION: BROKEN, CHIPPED, STAINED, OR

STONE COUNTERTOPS AND JOINTS NOT MATCHING APPROVED SAMPLES AND MOCKUPS. CLEAN STONE COUNTERTOPS NOT LESS THAN TWO DAYS AFTER COMPLETION OF INSTALLATION, USING CLEAN WATER AND SOFT RAGS. APPLY STONE SEALER TO COMPLY WITH STONE PRODUCER'S AND SEALER MANUFACTURER'S WRITTEN

THERWISE DAMAGED STONE. DEFECTIVECOUNTERTOPS, DEFECTIVE JOINTS, INCLUDING MISALIGNED JOINTS, INTERIOR

DIVISION 21 - FIRE SUPPRESSION

THE PROJECT SHALL HAVE FULL NFPA 13D SPRINKLER SYSTEM INSTALLED THROUGH OUT AS REQUIRED.

CPVC FIRE SPRINKLER PIPE AND FITTINGS ARE EXTRUDED/MOLDED FROM CPVC COMPOUNDS MANUFACTURED BY LUBRIZOL ADVANCED MATERIALS OR EQUAL. THE PIPE AND FITTING COMPOUNDS SHALL MEET CELL CLASS 23547 AND WARRANTY AFTER OWNER'S ACCEPTANCE. 24447, RESPECTIVELY, AS DEFINED BY ASTM D1784, AND SHALL BE CERTIFIED BY NSF INTERNATIONAL FOR USE WITH POTABLE

MATCH FIXTURE.

PIPE SHALL MEET OR EXCEED THE REQUIREMENTS OF ASTM F442 IN STANDARD DIMENSION RATIO (SDR) 13.5.

WATER. BOTH PIPE AND FITTING COMPOUNDS SHALL BE PRESSURE RATED BY PLASTICS PIPE INSTITUTE (PPI).

FITTINGS SHALL MEET OR EXCEED THE REQUIREMENTS OF ASTM F437 (SCHEDULE 80 THREADED), ASTM F438 (SCHEDULE 4 SOCKET) AND ASTM F439 (SCHEDULE 80 SOCKET). BOTH PIPE AND FITTINGS SHALL BE LISTED BY UNDERWRITERS LABORATORIES FOR USE IN WET AUTOMATIC FIRE SPRINKLER SYSTEMS AND SHALL

BEAR THE LOGO OF THE LISTING AGENCY. SEE UL FIRE PROTECTION EQUIPMENT DIRECTORY, CATEGORIES VIWT AND HFYH. LAVATORY AND SINK FAUCETS SHALL HAVE A FLOW RATE OF 2.2 GPM AT 60 PSI. ANCILLARY PRODUCTS COMING INTO CONTACT WITH PIPE AND FITTINGS MUST BE CHEMICALLY COMPATIBLE AS DETERMINED BY CPVC PIPE AND FITTINGS MANUFACTURER OR COMPOUND MANUFACTURER, AND THUS LISTED ON PIPE, FITTINGS OR COMPOUND MANUFACTURER'S CHEMICAL COMPATIBILITY PROGRAM (I.E. FGG/BM/CZTM SYSTEM

COMPATIBLE PROGRAM).

PIPE AND FITTINGS

ALL SOCKET TYPE JOINTS SHALL BE MADE UP EMPLOYING SOLVENT CEMENTS THAT MEET OR EXCEED THE REQUIREMENTS OF PROVIDE FLOOR DRAIN AND / OR DRIP PAN UNDER WATER HEATER, SPA, HOT TUB, WASHING MACHINE, STEAM SHOWER ASTM F493. THE STANDARD PRACTICE FOR SAFE HANDLING OF SOLVENT CEMENTS SHALL BE IN ACCORDANCE WITH ASTM EQUIPMENT, ETC. IF LOCATED ON WOOD FLOOR STRUCTURE. (I.R.C P2801) F402. SOLVENT CEMENT SHALL BE LISTED BY NSF INTERNATIONAL FOR USE WITH POTABLE WATER, AND APPROVED BY THE MANUFACTURERS. THE SOLVENT CEMENTS SHALL BE COMPATIBLE WITH THEIR CPVC PIPE AND FITTINGS.

FOLLOW MANUFACTURER'S INSTRUCTIONS FOR SET AND CURE TIMES FOR SOLVENT CEMENT JOINTS. AVOID SIGNIFICANT STRESSES DURING SET AND CURE TIMES. DO NOT APPLY ANY STRESS THAT WILL DISTURB AN UN-DRIED JOINT. SPRINKLER FITTINGS SHALL BE ALLOWED TO CURE IN ACCORDANCE WITH THE MANUFACTURER'S GUIDELINES AND THE CONTRACTOR THE CONTRACTOR SHALL TEST ALL PIPING INCLUDING DRAINAGE WASTE LINES, WATER PIPING, NATURAL GAS PIPING, ETC. SHALL ASSURE THE OUTLETS ARE CLEAR OF ANY EXCESS CEMENT PRIOR TO INSTALLING SPRINKLERS.

CPVC PIPE AND FITTINGS SHALL BE LISTED BY UL AND ALSO EITHER ULC OR C-UL FOR USE IN:

ONE AND TWO FAMILY DWELLINGS AND MANUFACTURED HOMES AS DEFINED BY NFPA 13D.

AIR HANDLING (PLENUM) SPACES AS DEFINED BY NFPA 90A.

UNDERGROUND WATER PRESSURE SERVICE AS DEFINED BY NFPA 24.

MAXIMUM DESIGN TEMPERATURE/PRESSURE RATING SHALL NOT BE LESS THAN 175 PSI AT 150°F. REFER TO CPVC PIPE AND

FITTING MANUFACTURERS' INSTALLATION INSTRUCTIONS. **QUALITY ASSURANCE**

CONTRACTOR INSTALLING THE PRODUCE MUST HAVE A MINIMUM OF 2 YEARS OF INSTALLATION OF SYSTEM. MANUFACTURERS

TYCO FIRE SUPPRESSION & BUILDING PRODUCTS 451 N. CANNON AVENUE LANSDALE, PA 19446 (215) 362-0700 FAX (215)

COMPLETE FIRE SPRINKLER SHOP DRAWINGS, INCLUDING PIPING LAYOUT, HEAD LAYOUT, HEAD OPTIONS FOR SELECTION, ALL FIXTURES SHALL BE ABLE TO DRAIN AT THIS POINT. PROVIDE FLOOR DRAIN AT LOCATION OF PLUMBING SYSTEM DRAIN. AND PRODUCT LITERATURE. FIRE SPRINKLER DRAWINGS WILL BE CONSIDERED DEFERRED SUBMITTAL, AND MUST FOLLOW DEFERRED SUBMITTAL PROCEDURES.

SYSTEM DESIGN SHALL BE IN ACCORDANCE WITH STANDARD INDUSTRY PRACTICE FOR FIRE SPRINKLER SYSTEMS AND THE

TEMPERATURES, SUPPORT SPACING, JOINING METHODS, AND THERMAL EXPANSION AND CONTRACTION.

THE FIRE SPRINKLER PIPING SYSTEM SHALL BE HYDRAULICALLY CALCULATED USING A HAZEN-WILLIAMS C FACTOR OF 150, HEADS. AND DESIGNED IN ACCORDANCE WITH THE STANDARD FOR INSTALLATION OF SPRINKLER SYSTEMS, NFPA 13.

THE MAXIMUM DESIGN TEMPERATURE/PRESSURE RATING SHALL NOT EXCEED 175 PSI AT 150°F.

INSTALLATION PROCEDURES.

INSTALLATION PRACTICES SUCH AS PIPE SUPPORT SPACING, BRACING, ALLOWANCE FOR THERMAL EXPANSION/CONTRACTION, SOLVENT CEMENTING AND HANDLING AND STORAGE SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND THE ULLISTING WHICH INCLUDES INSTALLATION LIMITATIONS.

CPVC PIPE AND FITTINGS ARE INTENDED FOR USE AT A MAXIMUM WORKING PRESSURE OF 175 PSI AT 150°F IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND APPROPRIATE LISTING AGENCIES.

ALL APPLICABLE CODES AS PER THE NFPA SHALL BE IDENTIFIED,

AFTER THE SYSTEM IS INSTALLED AND ANY SOLVENT CEMENT IS CURED PER THE MANUFACTURER'S INSTALLATION INSTRUCTIONS, THE SYSTEMS SHALL BE HYDROSTATICALLY TESTED PER THE REQUIREMENTS OF THE APPLICABLE NFPA

MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARD FOR INSPECTION, TESTING AND MAINTENANCE OF WATER SUBMIT CUT SHEET WITH PICTURES, MODEL NUMBERS, COLORS AND MANUFACTURER SPECIFICATIONS FOR EACH FIXTURE BASED EXTINGUISHING SYSTEMS AS DEFINED BY NFPA 25.

DIVISION 22- PLUMBING

THE PLUMBING SYSTEM SHALL COMPLY WITH THE 2012 I.R.C. AND BE INSTALLED IN STRICT ACCORDANCE WITH LOCAL, STATE AND NATIONAL CODES. THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL ITEMS RELATED TO THE PROJECT AS PER

THE PLUMBING CONTRACTOR TO BE RESPONSIBLE FOR THE COMPLETE PLUMBING INSTALLATION AND PROVIDE A (1) YEAR

VISIT THE JOB SITE PRIOR TO BIDDING THE PROJECT TO BECOME FAMILIAR WITH THE EXISTING CONDITIONS AND ANY

NO PLUMBING SHALL RUN ON AN OUTSIDE WALL.

ALL VENTS SHALL BE GANGED TO THE FEWEST NUMBER POSSIBLE TO PENETRATE ROOF AND SHOULD BE A MINIMUM OF 10'-0" FROM EAVES. ALL VENTS TO BE SIZED AS PER I.R.C. REQUIREMENTS AND / OR NOT LESS THAN 3"DIAMETER PIPE. PROVIDE FLASHING AS REQUIRED.

SHOWER HEADS SHALL HAVE A FLOW RATE OF 2.5 GPM AT 80 PSI OR LESS.

WATER CLOSET TO HAVE ECONO-FLUSH TANK 1.6 GAL. MAX. FLUSHING CYCLE. ALL HOSE BIBS SHALL BE NON FREEZE TYPE WITH BACK FLOW PREVENTER.

WATER STORAGE TANKS TO HAVE SEISMIC STRAPPING TIE DOWNS. SIZE OF WATER HEATER / WATER STORAGE TANK AS PER CODE. (I.R.C. M13017.2 & G2404.8)

THE CONTRACTOR SHALL INSTALL ALL PLUMBING FIXTURES IN STRICT ACCORDANCE WITH THE MANUFACTURES ROUGHED

IN INSTRUCTIONS. TAKE CARE DURING BUILDING CONSTRUCTION TO SEE THAT PROVISIONS ARE MADE FOR PROPER FIXTURE SUPPORT AND THAT ROUGH IN PIPING IS ACCURATELY SET AND PROTECTED FROM MOVEMENT OR DAMAGE.

TEST IN ACCORDANCE WITH UNIFORM PLUMBING CODE AND LOCAL CODES AND AUTHORITIES. WATER LINES TO BE DISINFECTED IN ACCORDANCE WITH LOCAL HEALTH DEPARTMENT REGULATIONS. CAULK AROUND ALL PLUMBING FIXTURES AT FLOORS AND WALLS WITH FLEXIBLE CAULKING COMPOUND. COLOR TO

AFTER FIXTURES HAVE BEEN SET THE CONTRACTOR SHALL CAREFULLY PROTECT THEM FROM DAMAGE UNTIL THE BUILDING IS OCCUPIED BY THE OWNER. JUST PRIOR TO ACCEPTANCE OF THE JOB BY THE OWNER, THE CONTRACTOR SHALL CLEAN ALL

ACCORDANCE WITH ASTM F1807 OR ASTM F2159 AND/OR COMPLY WITHASTM F877 SYSTEM STANDARD AS IDENTIFIED ON PLUMBING FIXTURES AND REMOVE LABELS.

PROVIDE ANTI-SCALD LIMITING DEVISES SET AT 120 DEGREES FOR BATHTUBS AND SHOWERS.

ALL SUPPLY, WASTE, & GAS LINE MATERIALS, WORKMANSHIP, AND INSTALLATION AS PER INDUSTRY STANDARDS. ALL WATER LINES TO BE TYPE "L" HARD DRAWN COPPER OR POLYETHYLENE CROSS-LINK PIPING FOR ABOVE GROUND APPLICATIONS OR APPROVED EQUAL. PROVIDE TYPE "K" COPPER OR POLYETHYLENE CROSS-LINK PIPING FOR UNDERGROUND. PROVIDE CONTINUOUS LINE WITH NO JOINTS FOR UNDERGROUND APPLICATIONS, UNLESS APPROVED. ALL FITTINGS TO BE COPPER WITH SWEAT SOLDIER JOINTS FOR COPPER PIPING OR BRASS FITTINGS WITH COMPRESSION BAND FITTINGS FOR POLY PIPE. ALL WASTE LINES TO BE PVC OR ABS PLASTIC PIPE.

WASTE LINES SHALL BE PROVIDED WITH A CLEAN OUT AS REQUIRED. EXTEND CLEAN OUTS TO ACCESSIBLE SURFACE. DO NOT PLACE CLEAN OUTS IN FLOOR UNLESS APPROVED.

PLUMBING CONTRACTOR SHALL PROVIDE A TURN OFF VALVE AND DRAIN AT THE LOWEST LEVEL OF THE FACILITY

PLUMBING CONTRACTOR TO ASSESS WATER PRESSURE AND ENSURE ADEQUATE PRESSURE IS AVAILABLE, FOR MULTIPLE FIXTURE USE SIMULTANEOUSLY WITH OUT PRESSURE DECREASE OR TEMPERATURE FLUCTUATION.

MANUFACTURER'S INSTRUCTIONS. THE DESIGN SHALL TAKE INTO CONSIDERATION SUCH FACTORS AS PRESSURE AND FLOW PROVIDE CULINARY WATER SOFTENER SYSTEM THROUGH OUT RESIDENCE AS REQUIRED. SYSTEM TO BE "INTERMOUNTAIN" WATER INC." MODEL: "PATRIOT" SYSTEM. INSTALLATION AS PER MANUFACTURE. O.A.E.

> PROVIDE ENGINEERING, LAYOUT, SPECIFICATIONS, ETC. FOR APPROVAL PRIOR TO INSTALLATION. PROVIDE CONCEALED STEAM SHOWER UNITS TO BE "KOHLER" STEAM GENERATOR K-1734 OR EQUAL. INSTALL AS PER MANUFACTURE

REQUIREMENTS. MEETS OR EXCEEDS UL-499/CSA C22.2 NO. 88. BATHTUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 72" INCHES ABOVE THE FLOOR. SHOWER PAN LINERS AND SITE BUILT PAN LINERS SHALL EXTEND A MINIMUM OF 3" ABOVE SHOWER DOOR

THRESHOLD. PROVIDE SOLID BLOCKING BEHIND LINER. ALL SHOWER PAN LINERS SHALL BE INSTALLED ON SLOPED BUILT UP

22-01 PLUMBING FIXTURES

FLOOR AND MUST BE INSPECTED.

SEE PLUMBING FIXTURE SCHEDULE AND PLANS FOR LOCATIONS AND SELECTION OF SPECIFIED FIXTURES.

SPECIFIED FOR APPROVAL BY OWNER AND ARCHITECT PRIOR TO ORDERING.

INSTALL FIXTURES LEVEL AND PLUMB ACCORDING TO ROUGHING-IN DRAWINGS.

CONNECT FIXTURES WITH WATER SUPPLIES, STOPS, AND RISERS, AND WITH TRAPS, SOIL, WASTE, AND VENT PIPING. USE SIZE

INSTALL WATER-SUPPLY PIPING WITH STOP ON EACH SUPPLY TO EACH FIXTURE TO BE CONNECTED TO WATER DISTRIBUTION PIPING. SEAL JOINTS BETWEEN FIXTURES AND WALLS, FLOORS, AND COUNTERTOPS USING SANITARY-TYPE, ONE-PART, MILDEW-RESISTANT SILICONE SEALANT.

FITTINGS REQUIRED TO MATCH FIXTURES. CHECK THAT PLUMBING FIXTURES ARE COMPLETE WITH TRIM, FAUCETS, FITTINGS, AND OTHER SPECIFIED COMPONENTS.

INSPECT INSTALLED PLUMBING FIXTURES FOR DAMAGE. REPLACE DAMAGED FIXTURES AND COMPONENTS

EACH WATER CLOSET SHALL BE LOCATED IN A CLEAR SPACE NOT LESS THAN 30" IN WIDTH (15" MINIMUM FROM CENTER TO ANY OBSTRUCTION) AND HAVE A CLEAR SPACE IN FRONT OF NOT LESS THAN 21" CLEAR. (I.R.C. R307)

TEST INSTALLED FIXTURES AFTER WATER SYSTEMS ARE PRESSURIZED FOR PROPER OPERATION. REPLACE MALFUNCTIONING

FIXTURES AND COMPONENTS, THEN RETEST. REPEAT PROCEDURE UNTIL UNITS OPERATE PROPERLY.

22-02 TANK TYPE WATER HEATER

50 GALLONS

COORDINATE WITH PLANS FOR LOCATION OF WATER HEATERS. WATER HEATERS TO BE: A.O. SMITH OR EQUAL

CAPACITY SHALL BE:

WATER SOFTENER TO BE:

SUBMIT CUT SHEET WITH PICTURES, MODEL NUMBERS, MANUFACTURER SPECIFICATIONS FOR EACH WATER HEATER FOR APPROVAL BY OWNER AND ARCHITECT PRIOR TO ORDERING.

EXPANSION TANK AS REQUIRED BY LOCAL BUILDING CODE.

PROVIDE VENTING AS REQUIRED BY WATER HEATER MANUFACTURER SPECIFICATIONS. FOR HOT WATER SUPPLIED TO BATHTUBS AND WHIRLPOOL TUBS SHALL BE LIMITED TO 120 DEGREES MAX BY A WATER

TEMPERATURE LIMITING DEVICE (ASSE 1070) OR BY AN APPROVED COMBINATION TUB/SHOWER VALVE. 22-04 WATER SOFTENER

COORDINATE WITH PLANS FOR LOCATION OF WATER HEATERS.

SUBMIT CUT SHEET WITH PICTURES, MODEL NUMBERS, MANUFACTURER SPECIFICATIONS FOR EACH WATER HEATER FOR

CONNECT AS PER MANUFACTURER SPECIFICATIONS.

APPROVAL BY OWNER AND ARCHITECT PRIOR TO ORDERING.

22-04 WATER SOFTENER

HE CONTRACTOR IS RESPONSIBLE TO REVIEW AND COMPLY WITH ALL APPLICABLE BUILDING CODES, ASTM STANDARDS, TECHNICAL REPORTS FOR THE INSTALLATION OF PLUMBING COMPONENTS.

PROVIDE A PEX TUBING HOT AND COLD POTABLE WATER DISTRIBUTION SYSTEM, WHICH IS MANUFACTURED, FABRICATED AND INSTALLED TO COMPLY WITH REGULATORY AGENCIES AND TO MAINTAIN PERFORMANCE CRITERIA STATED BY THE PEX TUBING MANUFACTURER WITHOUT DEFECTS, DAMAGE OR FAILURE

UTILIZE AN INSTALLER HAVING DEMONSTRATED EXPERIENCE ON PROJECTS OF SIMILAR SIZE AND COMPLEXITY AND POSSESSES THE SKILLS AND KNOWLEDGE TO INSTALL A PEX POTABLE WATER DISTRIBUTION SYSTEM

DELIVER MATERIALS IN MANUFACTURE'S ORIGINAL, UNOPENED, UNDAMAGED CONTAINERS WITH IDENTIFICATION LABELS INTACT UNTIL READY FOR INSTALLATION

STORE MATERIALS PROTECTED FROM EXPOSURE TO HARMFUL ENVIRONMENTAL CONDITIONS AND AT TEMPERATURE AND HUMIDITY CONDITIONS RECOMMENDED BY THE MANUFACTURER AND STORE PEX TUBING INDOORS, IN CARTONS OR UNDER COVER TO AVOID DIRT OR FOREIGN MATERIAL FROM ENTERING THE TUBING

DO NOT EXPOSE PEX TUBING TO DIRECT SUNLIGHT FOR MORE THAN SIX MONTHS. IF CONSTRUCTIONDELAYS ARE ENCOUNTERED, COVER THE TUBING THAT IS EXPOSED TO DIRECT SUNLIGHT

MANUFACTURER'S WARRANTY SHALL COVER THE REPAIR OR REPLACEMENT OF PROPERLY INSTALLED TUBING AND FITTINGS PROVEN DEFECTIVE AS WELL AS INCIDENTAL DAMAGES FOR A WARRANTY PERIOD FOR PEX TUBING AND SUBSEQUENT SYSTEM SHALL BE 25 YEAR NON-PRORATED WARRANTY AGAINST FAILURE DUE TO DEFECT IN MATERIAL OR WORKMANSHIP. BEGINNING WITH THE DATE OF INSTALLATION

SPECIFICATION FOR HOT AND COLD POTABLE WATER DISTRIBUTION SYSTEM HAS BEEN WRITTEN AROUND PRODUCTS AND SYSTEM DESIGNS AS MANUFACTURED AND RECOMMENDED BY ZURN PEX, INC. AND ALL PRODUCTS, COMPONENTS, ETC. SPECIFIED HEREIN ARE MANUFACTURED BY AND/OR ARE AVAILABLE FROM ZURN PEX, INC. TUBING MANUFACTURER. THE CONTRACTOR SHALL NOT MIX SYSTEM COMPONENTS.

CROSS-LINKED POLYETHYLENE (PEX) MANUFACTURED BY THE SILANE METHOD NON-BARRIER TYPE AND SHALL HAVE A PRESSURE AND TEMPERATURE RATING OF 160 PSI AT 73°F, 100 PSI AT 180°F AND 80 PSI AT 200°F

TUBING SHALL HAVE A MINIMUM OF 6 MONTHS UV PROTECTION, AND BE MANUFACTURED IN ACCORDANCE WITH ASTM F876 AND ASTM F877 AND TESTED FOR COMPLIANCE BY AN INDEPENDENT THIRD-PARTY AGENCY

FITTINGS SHALL BE MANUFACTURED BY SAME PEX MANUFACTURER AS TUBING AND SHALL BE MANUFACTURED IN

ALL QICKCLAMP, COPPER CRIMP RING SHALL PROVIDED BY TUBING AND PIPING MANUFACTURER. INSTALLATION OF QICKCLAMP AND COPPER CRIMP RING SHALL BE INSTALLED WITH MANUFACTURER TOOLS AND MUST FOLLOW ALL ASTM TESTING REQUIREMENTS AS LISTED WITHIN MANUFACTURER STANDARD SPECIFICATIONS AND INSTALLATION GUIDELINES.

MANIFOLDS SHALL BE SELECTED FROM FOLLOWING: QICKPORT PREASSEMBLED MANIFOLD; COPPER MANIFOLD SYSTEM; CR MANIFOLD; MULTI PORT FITTINGS; COPPER MANIFOLD HEADER

SHALL BE OF THE PLASTIC OR METAL TYPE, MEETING THE REQUIREMENTS OF ASTM F877, IDENTIFIED AS SUCH WITH THE APPROPRIATE MARK ON THE PRODUCT

SUBMIT MANUFACTURER'S PRODUCT SUBMITTAL DATA AND INSTALLATION INSTRUCTIONS

SUBMIT MANUFACTURER'S PROFESSIONAL INSTALLATION WARRANTY FOR PRODUCTS AND LABOR.

SUBMIT MANUFACTURER'S WARRANTY FOR PRODUCTS.

COMPLY WITH MANUFACTURE'S PRODUCT DATA, INCLUDING PRODUCT TECHNICAL BULLETINS, TECHNICAL MEMO'S, PROVIDE FIRE SPRINKLER SYSTEM AS REQUIRED BY BUILDING DEPARTMENT. SYSTEM TO BE BUILT TO NFPA 13D MODIFIED. INSTALLATION INSTRUCTIONS AND DESIGN DRAWINGS, INCLUDING: ZURN OR EQUAL PEX PLUMBING INSTALLATION GUIDE VERIFY THAT SITE CONDITIONS ARE ACCEPTABLE FOR THE INSTALLATION OF THE PEX POTABLE WATER SYSTEM, DO NOT

DO NOT INSTALL PEX TUBING WITHIN 6 INCHES OF GAS APPLIANCE VENTS OR WITHIN 12 INCHES OF ANY RECESSED LIGHT

PROCEED WITH INSTALLATIONS OF THE PEX POTABLE WATER SYSTEM UNTIL UNACCEPTABLE CONDITIONS ARE CORRECTED

DO NOT SOLDER WITHIN 18 INCHES OF PEX TUBING IN THE SAME WATERLINE. MAKE SWEAT CONNECTIONS PRIOR TO MAKING PEX CONNECTIONS ENSURE NO GLUES, SOLVENTS, SEALANTS OR CHEMICALS COME IN CONTACT WITH THE TUBING WITHOUT PRIOR

PERMISSION FROM THE TUBING MANUFACTURER DO NOT EXPOSE PEX TUBING TO DIRECT SUNLIGHT FOR MORE THAN 6 MONTHS

USE GROMMETS OR SLEEVES AT THE PENETRATION FOR PEX TUBING PASSING THROUGH METAL STUDS

USE A PEX MANUFACTURER RECOMMENDED FIRE STOP SEALANT MANUFACTURER PROTECT PEX TUBING WITH SLEEVES WHERE ABRASION MAY OCCUR

USE NAIL PLATES WHERE PEX TUBING PENETRATES WALL STUD OR JOISTS AND HAS THE POTENTIAL FOR BEING STRUCK WITH A

ALLOW SLACK OF APPROXIMATELY 1/8 INCH PER FOOT OF TUBE LENGTH TO COMPENSATE FOR EXPANSION AND

PRESSURIZE ZURN OR EQUAL PEX TUBING IN ACCORDANCE WITH APPLICABLE CODES OR IN THE ABSENCE OF APPLICABLE

CODES, TEST PRESSURE SHALL BE AT LEAST EQUAL TO NORMAL SYSTEM WORKING PRESSURE, BUT NOT LESS THAN 40 PSI WATER OR AIR AND NOT GREATER THAN 225 PSI WATER, 125 PSI AIR TO ENSURE SYSTEM INTEGRITY, PRESSURE TEST THE SYSTEM BEFORE COVERING TUBING IN CONCRETE AND AFTER OTHER TRADES HAVE WORKED IN THE VICINITY OF THE TUBING. REPAIR AND REPLACE ANY PRODUCT THAT HAS BEEN DAMAGED

22-06 PLUMBING WASTE COMPONENT/PIPING

THIS SPECIFICATION COVERS ABS CELLULAR CORE (FOAM CORE) PIPE AND ABS DWV FITTINGS USED IN SANITARY DRAIN, WASTE, AND VENT (DWV), SEWER, AND STORM DRAINAGE APPLICATIONS. THIS SYSTEM IS INTENDED FOR USE IN NON-

PRESSURE APPLICATIONS WHERE THE OPERATING TEMPERATURE WILL NOT EXCEED 160°F. ALL WASTE PIPING SHALL BE THE FOLLOWING:

ABS CELLULAR CORE (FOAM CORE) PIPE AND ABS DWV FITTINGS

ACCORDING TO MANUFACTURER'S RECOMMENDATION

PIPE SHALL BE MANUFACTURED FROM VIRGIN RIGID ABS (ACRYLONITRILE-BUTADIENE-STYRENE) COMPOUNDS WITH A CELL CLASS OF 42222 AS IDENTIFIED IN ASTM D 3965. FITTINGS SHALL BE MANUFACTURED FROM VIRGIN RIGID ABS COMPOUNDS WITH A CELL CLASS OF 32222 AS IDENTIFIED IN ASTM D 3965.

ABS CELLULAR CORE PIPE SHALL BE IRON PIPE SIZE (IPS) CONFORMING TO ASTM F 628. ABS DWV FITTINGS SHALL CONFORM TO ASTM D 2661. PIPE AND FITTINGS SHALL BE MANUFACTURED AS A SYSTEM AND BE THE PRODUCT OF ONE

MANUFACTURER. ALL PIPE AND FITTINGS SHALL BE MANUFACTURED IN THE UNITED STATES. ALL SYSTEMS SHALL UTILIZE A CONNECT FIXTURES WITH WATER SUPPLIES, STOPS, AND RISERS, AND WITH TRAPS, SOIL, WASTE, AND VENT PIPING. PROVIDE SEPARATE WASTE AND VENT SYSTEM. PIPE AND FITTINGS SHALL CONFORM TO NSF INTERNATIONAL STANDARD 14. IF POSSIBLE, PIPE SHOULD BE STORED INSIDE. WHEN THIS IS NOT POSSIBLE, THE PIPE SHOULD BE STORED ON LEVEL

> GROUND WHICH IS DRY AND FREE FROM SHARP OBJECTS. IF DIFFERENT SCHEDULES OF PIPE ARE STACKED TOGETHER, THE PIPE WITH THE THICKEST WALLS SHOULD BE ON THE BOTTOM.

EFFECTS OF ULTRAVIOLET RAYS AND HELP PREVENT HEAT BUILD-UP.

PIPE DIAMETER SHALL BE 3-INCH MIN. WHEN PENETRATING A ROOF ASSEMBLY. THE PIPE SHOULD BE PROTECTED FROM THE SUN AND BE IN AN AREA WITH PROPER VENTILATION, THIS WILL LESSEN THE

PROVIDE INSULATION AT ALL WASTE LINES WITHIN AREAS EXPOSED TO WEATHER.

TO INDIVIDUALLY WRAP WASTE LINE, AND INSULATE STUD CAVITY WASTE LINE IS LOCATED WITHIN.

WARNING! NEVER TEST WITH OR TRANSPORT/STORE COMPRESSED AIR OR GAS IN ABS PIPE OR FITTINGS.

PROVIDE INSULATION FOR ALL WASTE /DRAIN LINES FROM UPPER LEVELS TO LOWEST POINT IN STRUCTURE. INSULATION

ALL SHOWER TRAPS AND TRAP ARMS ARE TO BE SIZED ACCORDING TO THE FLOW RATES OF ALL SHOWERHEADS AND BODYSPRAYS THE DRAIN SERVES (P3201.7) INSTALLATION SHALL COMPLY WITH THE LATEST INSTALLATION INSTRUCTIONS PUBLISHED BY PIPE AND FITTING MANUFACTURER, AND AND SHALL CONFORM TO ALL APPLICABLE PLUMBING, FIRE, AND BUILDING CODE REQUIREMENTS. BURIED PIPE SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D 2321 AND ASTM F 1668. SOLVENT CEMENT JOINTS SHALL BE MADE WITH A SOLVENT CEMENT CONFORMING TO ASTM D 2235. THE SYSTEM SHALL BE

PROTECTED FROM CHEMICAL AGENTS, FIRE STOPPING MATERIALS, THREAD SEALANT, OR OTHER AGGRESSIVE CHEMICAL AGENTS NOT COMPATIBLE WITH ABS COMPOUNDS. SYSTEMS SHALL BE HYDROSTATICALLY TESTED AFTER INSTALLATION.

Architecture

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REVISIONS:

THE MECHANICAL CONTRACTOR TO BE RESPONSIBLE FOR THE COMPLETE MECHANICAL INSTALLATION AND PROVIDE A (1) YEAR WARRANTY AFTER OWNER'S ACCEPTANCE. THE CONTRACTOR SHALL SUPPLY THE OWNER WITH OPERATION AND MAINTENANCE MANUALS.

VISIT THE JOB SITE PRIOR TO BIDDING THE PROJECT TO BECOME FAMILIAR WITH THE EXISTING CONDITIONS AND ANY

DRYER EXHAUST DUCT TO BE VENTED TO EXTERIOR. DUCTS TO BE RIGID ALUMINUM WITH SMOOTH INTERIOR SURFACES. NO METAL SCREWS OR FASTENERS SHALL PENETRATE INTO THE DUCT. JOINTS TO RUN IN DIRECTION OF AIR FLOW. MAXIMUM LENGTH SHALL NOT EXCEED 35'-0" (EXCLUDING FLEXIBLE TRANSITION DUCT). THE MAXIMUM LENGTH OF THE DUCT SHALL BE REDUCED BY 2.5 FEET FOR EACH 45 DEGREE BEND AND 5 FEET FOR EACH 90 DEGREE BEND. TRANSITION DUCTS SHALL NOT BE CONCEALED WITH IN CONSTRUCTION. (I.R.C. M1502)

BATHROOM EXHAUST DUCT WORK TO BE ALUMINUM, GALVANIZED STEEL OR APPROVED FIBROUS GLASS. KITCHEN HOOD EXHAUST DUCTS TO BE GALVANIZED STEEL, STAINLESS STEEL OR COPPER, DUCTS TO BE AIR TIGHT AND EQUIPPED WITH A BACK DRAFT DAMPER. ALL DUCTS TO TERMINATE AT OUTSIDE. BATHROOM VENTILATION SYSTEM SHALL BE RATED AT 50 CFM (INTERMEDIATE VENTILATION) (I.R.C. CHAPTER 15 AND R303)

LINE VOLTAGE AND LOW VOLTAGE CONTROL WIRING IS BY THE MECHANICAL CONTRACTOR. COORDINATE WITH THE ELECTRICAL CONTRACTOR.

SUBMIT SPECIFICATION SHEETS ON ALL EQUIPMENT TO BE REVIEWED BY ARCHITECT.

MECHANICAL HEATING SYSTEM TO BE 90% EFFICIENT FORCED AIR FURNACE SYSTEM. THE SYSTEM SHALL BE CAPABLE OF MAINTAINING THE TEMPERATURE WITHIN 1 DEGREE OF THE THERMOSTAT SET POINT. THE CONTRACTOR SHALL GUARANTEE THAT THE SYSTEM SHALL HEAT AND COOL THE FACULTY TO 68 DEGREES FAHRENHEIT HEATING AND 70 DEGREES FAHRENHEIT COOLING AT 3'-0" ABOVE THE FLOOR AND 2'-0" FROM EXTERIOR WALLS THROUGH OUT THE STRUCTURE. SUPPLIER TO PROVIDE HEAT LOSS CALCULATIONS, SHOP DRAWINGS, THERMOSTAT LOCATIONS AND CUT SHEETS ON ALL PROPOSED EQUIPMENT. SIZE EQUIPMENT AS PER I.R.C. M1401.3. PROVIDE 1" MINIMUM CLEARANCE AROUND EQUIPMENT AT SIDES AND REAR OF THE APPLIANCE AND 6" MINIMUM CLEARANCE IN FRONT OF THE APPLIANCE. PROVIDE TWO SEPARATE COMBUSTION AIR DUCTS. (FROM EXTERIOR) ONE TERMINATING IN LOWER 12" AND ONE TERMINATING IN UPPER 12" OF THE SPACE AS REQUIRED. EACH DUCT SHALL HAVE A FREE AREA TO ALLOW COMBUSTION AIR AT A RATE OF 1 SQUARE INCH PER 4.000 BTU'S (FOR VERTICAL DUCTS) AND 1 SQUARE INCH PER 2.000 BTU'S (FOR HORIZONTAL DUCTS) OF TOTAL INPUT RATING OF ALL APPLIANCES IN THE SPACE, OR AS PER MANUFACTURES SPECIFICATIONS. ALTERNATE COMBUSTION AIR OPTIONS COMPLIANT WITH I.R.C. CHAPTER 17 AND G2407 MAY BE ALLOWED WHEN DEEMED APPROPRIATE AND APPROVED. PROVIDE CLEARANCE BETWEEN COMBUSTIBLE MATERIALS AND VENTS AS PER CODE. (I.R.C. R303.8, CHAPTER 14, CHAPTER 17)

MECHANICAL HEATING SYSTEM TO BE 80% EFFICIENT BOILER WITH RADIANT IN FLOOR HYDRONIC HEATING SYSTEM. THE SYSTEM SHALL BE CAPABLE OF MAINTAINING THE TEMPERATURE WITHIN 1DEGREE OF THE THERMOSTAT SET POINT. THE CONTRACTOR SHALL GUARANTEE THAT THE SYSTEM SHALL HEAT AND COOL THE FACULTY TO 68 DEGREES FAHRENHEIT HEATING AND 70 DEGREES FAHRENHEIT COOLING AT 3'-0" ABOVE THE FLOOR AND 2'-0" FROM EXTERIOR WALLS THROUGH THE DBX 1000M - METAL BOX INSTALLATION OUT THE STRUCTURE. SUPPLIER TO PROVIDE HEAT LOSS CALCULATIONS, SHOP DRAWINGS, THERMOSTAT LOCATIONS AND CUT SHEETS ON ALL PROPOSED EQUIPMENT. SIZE EQUIPMENT AS PER I.R.C. M1401.3. PROVIDE 1" MINIMUM CLEARANCE AROUND EQUIPMENT AT SIDES AND REAR OF THE APPLIANCE AND 6" MINIMUM CLEARANCE IN FRONT OF THE APPLIANCE. PROVIDE TWO SEPARATE COMBUSTION AIR DUCTS, (FROM EXTERIOR) ONE TERMINATING IN LOWER 12" AND ONE TERMINATING IN UPPER 12" OF THE SPACE AS REQUIRED. EACH DUCT SHALL HAVE A FREE AREA TO ALLOW COMBUSTION AIR AT A RATE OF 1 SQUARE INCH PER 4,000 BTU'S (FOR VERTICAL DUCTS) AND 1 SQUARE INCH PER 2,000 BTU'S (FOR HORIZONTAL DUCTS) OF TOTAL INPUT RATING OF ALL APPLIANCES IN THE SPACE. OR AS PER MANUFACTURES SPECIFICATIONS. ALTERNATE COMBUSTION AIR OPTIONS COMPLIANT WITH I.R.C. CHAPTER 17 AND G2407 MAY BE ALLOWED WHEN DEEMED APPROPRIATE AND APPROVED. PROVIDE CLEARANCE BETWEEN COMBUSTIBLE MATERIALS AND VENTS AS PER CODE. (I.R.C. R303.8, CHAPTER 14, CHAPTER 17)

ALL HABITABLE ROOMS SHALL HAVE NATURAL VENTILATION EQUALING 4% OF THE FLOOR AREA. THIS SHALL BE PROVIDED THROUGH WINDOWS, DOORS, LOUVERS OR OTHER APPROVED OPENINGS TO THE OUTDOORS UNLESS AN APPROVED MECHANICAL VENTILATION SYSTEM IS PROVIDED CAPABLE OF PRODUCING 0.35 AIR CHANGES PER HOUR IN THE ROOM OR A WHOLE-HOUSE MECHANCAIL VENTILATION SYSTEM IS INSTALLED.

EXHAUST FANS SHALL BE SIZED FOR A MINIMAL RATE OF 50 CFM. ALL FANS TO BE DUCTED TO OUTSIDE. ALL EXHAUST DUCTS TO HAVE APPROVED TERMINATIONS WITH SCREENS. TERMINATIONS SHALL BE INSTALLED AS NOT TO BE BLOCKED INSULATION, GRILLS, CAPS, ETC. AS REQUIRED. (I.R.C. R303.3 AND M1507)

THE CONTRACTOR SHALL LAYOUT AND REFERENCE ALL MECHANICAL DRAWINGS. CONTRACTOR SHALL PROVIDE ALL ENGINEERING REQUIRED TO SIZE DUCTS, GRILLS, REGISTERS, ETC. REVIEW ALL LOCATIONS AND PLACEMENT FOR GRILLS ETC. WITH OWNER PRIOR TO PLACEMENT. THE ASSOCIATED ARCHITECTURAL MECHANICAL LAYOUTS AMD DRAWINGS

PROJECTS THAT REQUIRE MECHANICAL DUCT WORK SHALL CONFORM TO THE FOLLOWING. ALL DUCT WORK SHALL BE CONSTRUCTED FROM GALVANIZED SHEET STEEL TO CONFORM WITH "SMACNA" LOW PRESSURE DUCT CONSTRUCTION STANDARDS AND I.R.C. CHAPTER 16. FABRICATE SHEET METAL DUCTS WITH CROSS-BREAK OR KINK FLAT SURFACES TO PREVENT VIBRATION AND PULSATION. HANG DUCTS WITH STRAPS OF 18 GAUGE GALVANIZED STEEL OF 1" WIDE. ANCHOR DUCTS SECURELY TO STRUCTURE, WITH SCREWS, IN SUCH A MANNER AS TO PREVENT TRANSMISSION WITH VIBRATION. UNDERGROUND ROUND DUCT SHALL BE SCHEDULE 40 P.V.C. PIPE OR P.V.S. PIPE (AS REQUIRED BY LOCAL JURISDICTION) WITH FUSION WELDED JOINTS AND CONNECTIONS. RUN OUTS TO FLOOR GRILLES SHALL BE FABRICATED FROM SHEET P.V.C. OR P.V.S. OF SAME THICKNESS AS PIPE WITH ALL JOINTS AND CONNECTIONS FUSION WELDED.

REMOVE DEBRIS AND TRASH FROM DUCT WORK AND VACUUM CLEAN DUCTS. RUN SUPPLY AND EXHAUST FANS BEFORE GRILLES AND REGISTERS ARE INSTALLED AND BEFORE CEILINGS AND WALLS ARE PAINTED. THE ADJUSTMENT OF THE AIR SYSTEMS SHALL BE DONE BY THE MECHANICAL CONTRACTOR SYSTEMS SHALL BE ADJUSTED TO WITHIN PLUS OR MINUS 5% OF THE AIR CAPACITY.

INSULATE ALL HEATING TRUNK AND BRANCH SUPPLY DUCTS IN UNFINISHED AREAS, CRAWLS SPACES, ATTICS AND

all Gas line materials, workmanship, and installation as per industry standards. Natural Gas Service LINES SHALL BE NO LESS THAN 1 INCH IN DIAMETER. ALL NATURAL GAS LINES TO BE SCHEDULE 40 BLACK STEEL OR FLEX PLASTIC PIPE AS APPROVED BY GAS COMPANY. (I.R.C. CHAPTER 24, R156-56-709 (3) AND STATE AMENDMENT TO IFGC)

ALL GAS APPLIANCES SHALL BE PROVIDED WITH A SHUT OFF VALVE. SHUT OFF VALVES SHALL BE LOCATED IN A PLACES SO AS TO PROVIDE ACCESS FOR OPERATION AND SHALL BE INSTALLED SO AS TO BE PROTECTED FROM DAMAGE.

23-01 RADIANT HEAT

MECHANICAL HEATING SYSTEM TO BE 80% EFFICIENT BOILER WITH RADIANT IN FLOOR HYDRONIC HEATING SYSTEM. THE SYSTEM SHALL BE CAPABLE OF MAINTAINING THE TEMPERATURE WITHIN 1 DEGREE OF THE THERMOSTAT SET POINT. THE CONTRACTOR SHALL GUARANTEE THAT THE SYSTEM SHALL HEAT AND COOL THE FACULTY TO 68 DEGREES FAHRENHEIT HEATING AND 70 DEGREES FAHRENHEIT COOLING AT 3'-0" ABOVE THE FLOOR AND 2'-0" FROM EXTERIOR WALLS THROUGH OUT THE STRUCTURE. SUPPLIER TO PROVIDE HEAT LOSS CALCULATIONS, SHOP DRAWINGS, THERMOSTAT LOCATIONS AND CUT SHEETS ON ALL PROPOSED EQUIPMENT. SIZE EQUIPMENT AS PER I.R.C. M1401.3. PROVIDE CLEARANCES AS PER MANUFACTURE. PROVIDE TWO SEPARATE COMBUSTION AIR DUCTS, (FROM EXTERIOR) ONE TERMINATING IN LOWER 12" AND ONE TERMINATING IN UPPER 12" OF THE SPACE AS REQUIRED. EACH DUCT SHALL HAVE A FREE AREA TO ALLOW COMBUSTION AIR AT A RATE OF 1 SQUARE INCH PER 4,000 BTU'S (FOR VERTICAL DUCTS) AND 1 SQUARE INCH PER 2,000 BTU'S (FOR HORIZONTAL DUCTS) OF TOTAL INPUT RATING OF ALL APPLIANCES IN THE SPACE, OR AS PER MANUFACTURES SPECIFICATIONS. ALTERNATE COMBUSTION AIR OPTIONS COMPLIANT WITH I.R.C.

23-02 MECHANICAL HEATING AND COOLING

BETWEEN COMBUSTIBLE MATERIALS AND VENTS AS PER CODE. (I.R.C. R303.8, CHAPTER 14, CHAPTER 17)

MECHANICAL HEATING SYSTEM TO BE 90% EFFICIENT FORCED AIR FURNACE SYSTEM. THE SYSTEM SHALL BE CAPABLE OF MAINTAINING THE TEMPERATURE WITHIN 1 DEDGREE OF THE THERMOSTAT SET POINT. THE CONTRACTOR SHALL GUARANTEE THAT THE SYSTEM SHALL HEAT AND COOL THE FACULTY TO 68 DEGREES FAHRENHEIT HEATING AND 70 DEGREES FAHRENHEIT COOLING AT 3'-0" ABOVE THE FLOOR AND 2'-0" FROM EXTERIOR WALLS THROUGH OUT THE STRUCTURE. SUPPLIER TO PROVIDE HEAT LOSS CALCULATIONS, SHOP DRAWINGS, THERMOSTAT LOCATIONS AND CUT SHEETS ON ALL PROPOSED EQUIPMENT. SIZE EQUIPMENT AS PER I.R.C. M1401.3. PROVIDE CLEARANCES AS PER MANUFACTURE. PROVIDE TWO SEPARATE COMBUSTION AIR DUCTS, (FROM EXTERIOR) ONE TERMINATING IN LOWER 12" AND ONE TERMINATING IN UPPER 12" OF THE SPACE AS REQUIRED. EACH DUCT SHALL HAVE A FREE AREA TO ALLOW COMBUSTION AIR AT A RATE OF 1 SQUARE INCH PER 4,000 BTU'S (FOR VERTICAL DUCTS) AND 1 SQUARE INCH PER 2,000 BTU'S (FOR HORIZONTAL DUCTS) OF TOTAL INPUT RATING OF ALL APPLIANCES IN THE SPACE, OR AS PER MANUFACTURES SPECIFICATIONS. ALTERNATE COMBUSTION AIR OPTIONS COMPLIANT WITH I.R.C. CHAPTER 17 AND G2407 MAY BE ALLOWED WHEN DEEMED APPROPRIATE AND APPROVED. PROVIDE CLEARANCE BETWEEN COMBUSTIBLE MATERIALS AND VENTS AS PER CODE. (I.R.C. R303.8, CHAPTER 14, CHAPTER 17)

COORDINATE WITH MECHANICAL AND PLUMBING PLANS FOR ALL EQUIPMENT AND FIXTURE LOCATIONS. COORDINATE WITH MECHANICAL AND PLUMBING FIXTURE SCHEDULES. COORDINATE WITH MECHANICAL AND PLUMBING KEY NOTES, INTERNATIONAL BUILDING CODE AND RELATED CODES FOR INSTALLATION REQUIREMENTS.

23-05 METAL DUCTWORK

PROJECTS THAT REQUIRE MECHANICAL DUCT WORK SHALL CONFORM TO THE FOLLOWING. ALL DUCT WORK SHALL BE CONSTRUCTED FROM GALVANIZED SHEET STEEL TO CONFORM WITH "SMACNA" LOW PRESSURE DUCT CONSTRUCTION STANDARDS AND I.R.C. CHAPTER 16. FABRICATE SHEET METAL DUCTS WITH CROSS-BREAK OR KINK FLAT SURFACES TO PREVENT VIBRATION AND PULSATION. HANG DUCTS WITH STRAPS OF 18 GAUGE GALVANIZED STEEL OF 1" WIDE. ANCHOR ducts securely to structure, with screws, in such a manner as to prevent transmission with vibration. UNDERGROUND ROUND DUCT SHALL BE SCHEDULE 40 P.V.C. PIPE OR P.V.S. PIPE (AS REQUIRED BY LOCAL JURISDICTION) WITH FUSION WELDED JOINTS AND CONNECTIONS. RUN OUTS TO FLOOR GRILLES SHALL BE FABRICATED FROM SHEET P.V.C. OR P.V.S. OF SAME THICKNESS AS PIPE WITH ALL JOINTS AND CONNECTIONS FUSION WELDED.

COORDINATE WITH MECHANICAL AND PLUMBING PLANS FOR ALL EQUIPMENT AND FIXTURE LOCATIONS. COORDINATE WITH MECHANICAL AND PLUMBING FIXTURE SCHEDULES. COORDINATE WITH MECHANICAL AND PLUMBING KEY NOTES, INTERNATIONAL BUILDING CODE AND RELATED CODES FOR INSTALLATION REQUIREMENTS.

23-06 AIR CONDITIONING CONDENSER

COORDINATE WITH MECHANICAL AND PLUMBING PLANS FOR ALL EQUIPMENT AND FIXTURE LOCATIONS. COORDINATE WITH MECHANICAL AND PLUMBING FIXTURE SCHEDULES. COORDINATE WITH MECHANICAL AND PLUMBING KEY NOTES, INTERNATIONAL BUILDING CODE AND RELATED CODES FOR INSTALLATION REQUIREMENTS.

23-07 EXHAUST FAN

FANS SHALL BE DIRECTLY VENTED TO THE EXTERIOR

FANS MUST BE CAPABLE OF TO MAINTAIN 50 CFM WITHIN ROOM LOCATED.

COORDINATE WITH MECHANICAL AND PLUMBING PLANS FOR ALL EQUIPMENT AND FIXTURE LOCATIONS. COORDINATE WITH MECHANICAL AND PLUMBING FIXTURE SCHEDULES. COORDINATE WITH MECHANICAL AND PLUMBING KEY NOTES. INTERNATIONAL BUILDING CODE AND RELATED CODES FOR INSTALLATION REQUIREMENTS.

23-08 RECESSED DRYER VENT BOX

DBX PRODUCTS

DBX 1000 PLASTIC DRYER VENT BOX

MADE OF HIGH IMPACT PLYSTYRENE, AND IS AVAILABLE IN 4" OR A 6" SIZE. THE DRYER VENT BOX CAN BE USED BOTH FOR UP AND DOWN VENT. A SNAP ON TRIM RING FOR FINISH TRIM AT EDGE. DBX 1000M- METAL DRYER VENT BOX WITH SNAP ON TRIM RING THE DBX 1000M IS 9 3/4" X 13 7/8" AND 3 1/2" DEEP. IT IS A 22 GAUGE METAL DRYER VENT BOX WITH A

22 GAUGE "SNAP ON TRIM RING". IT CAN BE INSTALLED IN 16" OR 24" O.C. FRAMING. THE DBX 1000M DRYER VENT BOX/RING IS POWDER COATED. FOR OPTIMUM RESULTS INSTALL THE DBX 1000M UP/DOWN VENTING IN 2"X4" OR 2"X6" FRAMED WALLS AS FOLLOWS: CONTRACTOR MAY SUBMIT A EQUAL SUBSTITUTE

FOLLOW MANUFACTURER RECOMMENDED INSTALLATION INSTRUCTIONS.

DBX 1000 - PLASTIC INSTALLATION 1. ORIENT BOX TO MATCH DESIRED VENTING DIRECTION, SCORE & REMOVE APPROPRIATE TOP OR REAR INCH OVAL VENT PIPEKNOCK OUT. ALLOW MINIMUM OF 4 INCHES OF VENT OF PIPE TO EXTEND INSIDE BOX 2. IF GAS LINE IS TO BE INSTALLED, LOCATE 1% STRAW CLAMP ON TOP OF BOX, CUT THE WEBS BETWEEN THE 8 FINS WITH AUTILITY KNIFE, PUSH THE GAS LINE THROUGH THE STRAW CLAMP, THE FINS WILL FLEX INWARD HOLDING

3. SLIDE BOX INTO POSITION TAKING CARE TO CORRECTLY ALIGN VENT PIPE AND GAS PIPE (IF PRESENT) 4. SPACING TABS WILL AUTOMATICALLY POSITION BOX SO THAT BOTTOM, INSIDE EDGE IS FROM 21/4 TO 25/6 INCHES ABOVEUNFINISHED FLOOR TO ALLOW CLEARANCE BETWEEN TRIM RING AND FINISHED FLOOR COVERING. TAB MAY BE REMOVED IF ADIFFERENT SPACING IS DESIRED.

5. ATTACH BOX DIRECTLY TO BOTH RIGHT AND LEFT STUDS USING THE SIX FLANGE SCREW HOLES. SCREWS ARE RECOMMENDED FOR MOUNTING.

1. SNAP OUT LEFT OR RIGHT TRIM RING "CUT OUT" (SEE DETAIL BELOW).

2. LEAVE 13/4 INCHES BETWEEN INSIDE EDGE OF BOX AND END OF BASEBOARD TO ALLOW FOR TRIM RING 3. SNAP TRIM RING INTO OPENING, NO CAULKING REQUIRED. 4. LEAVE UNFINISHED OR PAINT WITH DESIRED COLOR.

1. ORIENT BOX TO MATCH DESIRED VENTING DIRECTION. ALLOW A MINIMUM OF 4" OF VENT PIPE TO

2. IF GAS LINE IS TO BE INSTALLED, INSERT INTO KNOCKOUT PROVIDED. 3. SLIDE BOX INTO POSITION TAKING CARE TO CORRECTLY ALIGN VENT PIPE AND GAS PIPE (IF PRESENT). 4. SET BOX SO THAT THE BOTTOM IS 2 5/8" ABOVE THE FLOOR TO ALLOW CLEARANCE FOR THE TRIM RING. 5. ATTACH BOX DIRECTLY TO EITHER FRAMING MEMBER AND USE STRAPS TO SECURE THE OTHER SIDE TO THE

OPPOSITE FRAMING MEMBER. 6. SCREWS OR NAILS (1 1/4") IN LENGTH TO ATTACH THE DBX1000M BOX TO FRAMING.

TRIM INSTALLATION INSTRUCTIONS: 1. TRIM CARPENTER TO LEAVE 1 ½" BETWEEN INSIDE EDGE OF BOX AND END OF BASEBOARD TO ALLOW

2. SNAP TRIM RING INTO OPENING, NO CAULKING REQUIRED. 3. TRIM RING IS POWDER COATED, NO FINISHING REQUIRED. 4. TRIM RING ACCOMMODATES 1/2" OR 5/8" DRYWALL.

DIVISION 26- ELECTRICAL

ALL DRAWINGS INDICATE LOCATIONS OF ELECTRICAL ITEMS AS DIAGRAMMATIC. LOCATIONS SHALL BE PER APPROPRIATE CODES AND OWNER.

Contractor shall coordinate with electrical plans for all desired locations for electrical switche: OUTLETS, SCHEMATIC WIRING, EQUIPMENT AND FIXTURE LOCATIONS. COORDINATE WITH ELECTRICAL FIXTURE SCHEDULES AS SELECTED BY ARCHITECT OR OWNER. COORDINATE WITH ELECTRICAL KEY NOTES, INTERNATIONAL BUILDING CODE AND RELATED CODES FOR INSTALLATION REQUIREMENTS, AND ADDITIONAL INFORMATION.

ELECTRICAL CONTRACTOR SHALL INSTALL ALL BOXES FOR OUTLETS, SWITCHES, LIGHTS, DATA, COMMUNICATIONS AND ALL SPECIALITY ITEMS AND SHALL REVIEW AND RECEIVE APPROVAL FROM OWNER/ARCHITECT/DESIGNER PRIOR TO INSTALLATION OF WIRING. RELOCATION OF BOXES AFTER WIRING AS DIRECTED BY OWNER/ARCHITECT/DESIGNER WITHOUT APPROVAL OF LOCATION SHALL BE COMPLETED WITH NOT COST TO THE OWNER.

THE ELECTRICAL SYSTEM SHALL COMPLY WITH 2012 I.R.C. AND 2005 N.E.C. AND BE INSTALLED IN STRICT ACCORDANCE WITH LOCAL, STATE, AND NATIONAL CODES. THE CONTRACTOR SHALL PERFORM ALL WORK IN CONFORMITY WITH THESE REGULATIONS WHETHER OR NOT SUCH WORK IS SPECIFICALLY SHOWN ON THE DRAWINGS.

THE CONTRACTOR SHALL BE RESPONSIBLE TO FURNISH AND INSTALL FEEDERS, PANELS BOARDS, RELAY BRANCH CIRCUIT WIRING, CONDUITS, WIRE, METER BASES, COMPLETE WIRING FOR MOTORS, EXHAUST FANS, LINE VOLTAGE CONNECTIONS FOR HVAC EQUIPMENT SPECIALTY LIGHTING FIXTURES, OUTLET BOXES, COVER PLATES, WALL SWITCHES, FIXTURES

ALL DRAWINGS INDICATE LOCATIONS AS DIAGRAMMATIC. LOCATIONS SHALL BE PER APPROPRIATE CODES AND OWNER. CONTRACTOR TO COORDINATE WITH MECHANICAL CONTRACTOR FOR ALL POWER REQUIREMENTS. (I.R.C. E3801)

PROVIDE A U-FER GROUND. AN ELECTRODE ENCASED BY A LEAST 2" OF CONCRETE SHALL BE LOCATED NEAR THE BOTTOM OF THE CONCRETE FOUNDATION SYSTEM AND SHALL BE IN DIRECT CONTACT WITH THE EARTH, CONSISTING OF AT LEAST 20 FEET OF BARE ELECTRICALLY CONDUCTIVE ROD AT LEAST 1/2 INCH IN DIAMETER OR BARE COPPER CONDUCTOR NOT SMALLER THAN 4 AWG. (I.R.C. E3508.1.2 AND N.E.C. 250.50)

ELECTRICAL SERVICE CAPACITY AND SIZE SHALL BE COMPUTED BY METHOD INDICATED IN THE I.R.C. AND NATIONAL ELECTRICAL CODE. PANELS OR CABINETS ENCLOSING FUSES, CIRCUIT BREAKERS, SWITCHES OR OTHER ELECTRICAL SERVICE EQUIPMENT SHALL BE IN AN INCONSPICUOUS ACCESSIBLE AND PROTECTED LOCATION, ELECTRICAL PANEL CLEARANCES TO BE A MINIMUM 30" WIDTH, 36" DEPTH AND 6'-6" FROM FLOOR TOP. ELECTRICAL METER BASE SHALL BE LOCATED IN AN AREA THAT IS PROTECTED FROM OUTSIDE WEATHER. (I.R.C. E3305)

ALL RECEPTACLES LOCATED WITH THE FOLLOWING CONDITIONS TO BE GFCI PROTECTED: ALL KITCHEN COUNTERS, IN BATHROOMS, OUTSIDE AT GRADE LEVEL, UNFINISHED BASEMENTS, CRAWL SPACES, AND IN GARAGES. GARAGE RECEPTACLES TO BE 18" ABOVE FINISHED FLOOR. (I.R.C. E3802)

ALL SWITCHES, RECEPTACLES, TELEPHONE JACKS AND CATV JACKS TO BE "LEVITON" 5601 ROCKER SERIES IN WHITE. (O.A.E.) DIMMER SWITCHES TO BE "LUTRON" DIVA ROCKER SERIES IN WHITE. (O.A.E.) HEIGHT OF LIGHT SWITCHES FROM FINISHED FLOOR TO TOP OF SWITCH TO BE 48" TYPICAL UNLESS NOTED OTHERWISE. THE MOUNTING FROM THE FINISH FLOOR TO THE CHAPTER 17 AND G2407 MAY BE ALLOWED WHEN DEEMED APPROPRIATE AND APPROVED. PROVIDE CLEARANCE CENTER OF OUTLETS INCLUDING TELEPHONE, CATV, ETC. SHALL BE 18" TYPICAL. AT DESKS AND OTHER SURFACES THE OUTLETS SHALL BE 12" TO CENTERLINE ABOVE SURFACE. SWITCHES, OUTLETS, TELEPHONE, CATV, ETC. LOCATIONS SHALL BE APPROVED PRIOR TO COMMENCEMENT OF WIRING.

> UNLESS NOTED OTHERWISE LOCATE AND INSTALL ONE (1) GFCI WEATHER PROTECTED RECEPTACLE AT GRADE LEVEL AND OUTSIDE AT SOFFIT AT EACH EXTERIOR DOOR.

> ALL FIXTURES SHALL HAVE A U.L. LABEL LISTING. IF NOT U.L. LISTED FIXTURE SHALL NOT BE USED. ALL RECESS DOWN LIGHTS LOCATED IN INSULATED CEILINGS TO BE THERMAL RATED AND BE AN AIR TIGHT SEAL TYPE CAN. ALL CAST IN PLACE IXTURES TO BE INCLUDED IN BASE BID. ALL RECESSED DOWN LIGHTS TO BE INCLUDED IN BASE BID WITH TRIM RINGS AS SELECTED BY DESIGNER OR OWNER. ALL LIGHTS IN CLOSETS SHALL MEET I.R.C. E3903.11 REQUIREMENTS. ALL LIGHTS LOCATED IN WET OR DAMP LOCATIONS SHALL MEET I.R.C. E3903.8 - E3903.10 REQUIREMENTS.

SMOKE DETECTORS TO BE HARD WIRED TO BUILDING CIRCUIT AND INTERCONNECTED WITH BATTERY BACK UP. PROVIDE SMOKE DETECTORS AT ALL BUILDING LEVELS, IN ALL BEDROOMS, ACCESS TO ALL BEDROOMS, ETC. (I.R.C. R313)

ALL BRANCH CIRCUITS THAT SUPPLY RECEPTACLE OUTLETS IN BEDROOMS NEED TO BE PROVIDED WITH ARC-FAULT PROTECTION. (N.E.C. 210-12) (IRC E3802.12)

ALL STRUCTURED WIRING (IE. FUTURE SMART CABLE, CATSE, ETC. TO HAVE A MINIMUM SEPARATION OF 12" BETWEEN HIGH CARBON MONOXIDE DETECTORS TO BE INSTALLED ON EACH HABITABLE LEVEL OF A DWELLING UNIT EQUIPPED WITH FUE BURNING APPLIANCES. DETECTOR TO BE HARD WIRED TO BUILDING CIRCUIT WITH BATTERY BACK UP. (I.R.C. 313.2 AND STATE AMENDMENT)

26-01 ELECTRICAL SERVICE EQUIPMENT

EECTRICAL SYSTEM TO BE INSTALLED IN STRICT ACCORDANCE WITH LOCAL, STATE, AND FEDERAL BUILDING CODES, THE CONTRACTOR SHALL PERFORM ALL WORK IN CONFORMITY WITH THESE REGULATIONS WHETHER OR NOT SUCH WORK IS SPECIFICALLY SHOWN ON THE DRAWINGS.

THE CONTRACTOR SHALL BE RESPONSIBLE TO FURNISH AND INSTALL FEEDERS, PANEL BOARDS, RELAY BRANCH CIRCUIT WIRING, CONDUITS, WIRE, METER BASES, COMPLETE WIRING FOR MOTORS, EXHAUST FANS, LINE VOLTAGE CONNECTIONS FOR HVAC EQUIPMENT, SPECIALTY LIGHTING FIXTURES, OUTLET BOXES, COVER PLATES, WALL SWITCHES, RECEPTACLES, ETC.

ALL DRAWINGS INDICATE LOCATIONS OF ELECTRICAL ITEMS AS DIAGRAMMATIC. LOCATIONS SHALL BE PER APPROPRIATE

ELECTRICAL SERVICE CAPACITY AND SIZE SHALL BE COMPUTED BY THE METHOD IRC CHAPTER 36.

UNLESS INDICATED IN THE 2012 IRC AND NATIONAL ELECTRICAL CODE. PANELS OR CABINETS ENCLOSING FUSES, CIRCUIT BREAKERS, SWITCHES, OR OTHER ELECTRICAL SERVICE EQUIPMENT SHALL BE IN AN INCONSPICUOUS ACCESSIBLE AND PROTECTED LOCATION. ELECTRICAL PANEL CLEARANCES TO BE A MINIMUM 30" WIDTH, 36" DEPTH AND 6'-6" FROM FINISHED FLOOR, ELECTRICAL METER BASE SHALL BE LOCATED IN AN AREA THAT IS PROTECTED FROM OUTSIDE WEATHER.

26-02 ELECTRICAL LIGHT FIXTURES

LIGHTING CONTROLS AND MOTORIZED SHADES BY LUTRON. MANUFACTURER TO PROVIDE SHOP DRAWINGS AND SPECIFICATIONS TO BE REVIEWED BY ARCHITECT.

LIGHT SWITCHES SHALL BE INSTALLED AT A HEIGHT OF 48" FROM FINISHED FLOOR TO TOP OF SWITCH, UNLESS NOTED OTHERWISE. THE MOUNTING FROM THE FINISH FLOOR TO THE CENTER OF OUTLETS INCLUDING TELEPHONE, CATV, ETC. SHALL BE 18" TYPICAL. AT DESKS AND OTHER SURFACES THE OUTLETS SHALL BE A MAXIMUM OF 12" FROM THE CENTER LINE OF THE OUTLET ABOVE SURFACE. SWITCHES, OUTLETS, TELEPHONE, CATV, ETC. LOCATIONS SHALL BE APPROVED PRIOR TO COMMENCEMENT OF WIRING.

26-03 ELECTRICAL OUTLETS

LEVITON 5601 ROCKER SERIES IN WHITE DIMMER SWITCHES - LUTRON "DIVA" ROCKER SERIES IN WHITE

ALL RECEPTACLES LOCATED WITH THE FOLLOWING LOCATIONS ARE TO BE GFCI PROTECTED: ALL KITCHEN COUNTERS, IN ALL BATHROOMS, OUTSIDE AT GRADE LEVEL, IN UNFINISHED BASEMENTS, AND IN GARAGES. GARAGE RECEPTACLES TO BE

26-06 TELEPHONE EQUIPMENT

THE TELEPHONE SYSTEM SHALL BE THE RESPONSIBILITY OF THE OWNER/DEVELOPER/CONTRACTOR TO COORDINATE AND PROVIDE DIRECTION FOR INSTALLATION AND LOCATION OF OUTLETS.

26-07 STRUCTURED WIRING

ALL STRUCTURED WIRING SHALL BE A MINIMUM OF CAT 6 ALL LOCATIONS OF STRUCTURED WIRING SHALL BE THE RESPONSIBILITY OF THE OWNER/DEVELOPER/ CONTRACTOR TO COORDINATE AND PROVIDE DIRECTION FOR INSTALLATION AND LOCATION OF OUTLETS

DIVISION 31- EARTHWORK 31-01 SITE CLEARING

PROTECTING EXISTING TREES, SHRUBS, GROUNDCOVERS, PLANTS, AND GRASS TO REMAIN.

REMOVING EXISTING TREES, SHRUBS, GROUNDCOVERS, PLANTS, AND GRASS. CLEARING AND GRUBBING.

STRIPPING AND STOCKPILING TOPSOIL.

REMOVING ABOVE- AND BELOW-GRADE SITE IMPROVEMENTS

DISCONNECTION AND CAPPING OR SEALING SITE UTILITIES.

TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES.

SALVABLE IMPROVEMENTS: CAREFULLY REMOVE ITEMS INDICATED TO BE SALVAGED AND STORE ON OWNER'S PREMISES WHERE INDICATED.

UTILITY LOCATOR SERVICE: NOTIFIY UTILITY LOCATOR SERVICE FOR AREA WHERE PROJECT IS LOCATED.

DO NOT COMMENCE SITE CLEARING OPERATIONS UNTIL TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES

OBTAIN APPROVED BORROW SOIL MATERIALS OFF-SITE WHEN SATISFACTORY SOIL MATERIALS ARE NOT AVAILABLE ON-SITE. PROTECT AND MAINTAIN BENCHMARKS AND SRUVEY CONTROL POINTS FROM DISTURBANCE DURING CONSTRUCTION. LOCATE AND CLEARLY FLAG TREES AND VEGETATION TO REMAIN OR TO BE RELOCATED.

PROTECT EXISTINT SITE IMPROVEMENTS TO REMAIN FROM DAMAGE DURING CONSTRUCTION. RESTORE DAMAGED IMPROVEMENTS TO THEIR ORIGINAL CONDITION, AS ACCEPTABLE TO OWNER.

OF SOIL-BEARING WATER RUNOFF OR AIRBORNE DUST TO ADJACENT PROPERTIES AND WALKWAYS.

INSPECT, REPAIR, AND MAINTAIN EROSION AND SEDIMENTATION CONTROL MEASURES DURING CONSTRUCTION UNTIL

PERMANENT VEGETATION HAS BEEN ESTABLISHED. REMOVE EROSION AND SEDIMENTATION CONTROLS AND RESTORE AND STABILIZE AREAS DISTURBED DURING REMOVAL.

ERECT AND MAINTAIN TEMPORARY FENCING AROUND TREE PROTECTION ZONES BEFORE STARTING SITE CLEARING. REMOVE FENCE WHEN CONSTRUCTION IS COMPLETE.

DO NOT EXCAVATE WITHIN TREE PROTECTION ZONES, UNLESS OTHERWISE INDICATED.

REPAIR OR REPLACE TREES AND VEGETATION INDICATED TO REMAIN THAT ARE DAMAGED BY CONSTRUCTION OPERATIONS, IN A MANNER APPROVED BY ARCHITECT.

LOCATE, IDENTIFY, DISCONNECT, AND SEAL OR CAP OFF UTILITIES INDICATED TO BE REMOVED. ARRANGE WITH UTILITY COMPANIES TO SHUT OFF INDICATED UTILITIES.

EXISTING UTILITIES: DON OT INTERRUPT UTILITIES SERVING FACILITIES OCCUPIED BY OWNER OR OTHERS UNLESS PERMITTED UNDER THE FOLLOWING CONDITIONS AND THEN ONLY AFTER ARRANGING TO PROVIDE TEMPORARY UTILITY SERVICES ACCORDING TO REQUIREMENTS INDICATED: NOTIFY ARCHITECT NOT LESS THAN TWO DAYS IN ADVANCE OF PROPOSED UTILITY INTERRUPTIONS.

DO NOT PROCEED WITH UTILITY INTERRUPTIONS WITH ARCHITECT'S PERMISSION.

FURTHER EXCAVATION OR EARTHWORK IS INDICATED. PLACE FILL MATERIAL IN HORIZONTAL LAYERS NOT EXCEEDING A LOOSE DEPTH OF 8 INCHES AND COMPACT EACH LAYER TO A DENSITY EQUAL TO ADJACENT ORIGINAL GROUND. REMOVE SOD AND GRASS BEFORE STRIPPING TOPSOIL.

ill depressions caused by clearing and grubbing operations with satisfactory soil materila unless

STRIP TOPSOIL TO WHATEVER DEPTHS ARE ENCOUNTERED IN A MANNER TO PREVENT INTERMINGLING WITH UNDERLYING

STOCKPILE TOPSOIL MATERIALS AWAY FROM THE EDGE OF EXCAVATIONS WITHOUT INTERMIXING WITH SUBSOIL. GRADE AND SHAPE STOCKPILES TO DRAIN SURFACE WATER. COVER TO PREVENT WINDBLOWN DUST.

REMOVE EXISTING ABOVE- AND BELOW-GRADE IMPROVEMENTS AS INDICATED AND AS NECESSARY TO FACILITATE NEW

DISPOSAL: REMOVE SURPLUS SOIL MATERIAL, UNSUITABLE TOPSOIL, OBSTRUCTION, DEMOLISHED MATERIALS, AND WASTE MATERIALS INCLUDING TRASH AND DEBRIS, AND LEGALLY DISPOSE OF THEM OFF OWNER'S PROPERTY. SEPARATE RECYCLABLE MATERIALS PRODUCED DURING SITE CLEARING FROM OTHER NONRECYCLABLE MATERIALS. STORE OR STOCKPILE WITHOUT INTERMIXING WITH OTHER MATERIALS AND TRANSPORT THEM TO RECYCLING FACILITIES.

31-02 EARTHWORK

PREPARING SUBGRADES FOR SLABS-ON-GRADE, WALKS, PAVEMENTS, LAWNS AND GRASSES, AND EXTERIOR PLANTS.

EXCAVATING AND BACKFILLING FOR BUILDING AND STRUCTURES.

DRAINAGE COURSE FOR SLABS-ON-GRADE.

SUBBASE COURSE FOR CONCRETE WALKS, PAVEMENTS.

AVAILABLE FROM EXCAVATIONS

SUBBASE AND BASE COURSE FOR ASPHALT PAVING. EXCAVATING AND BACKFILLING FOR UTILIITY TRENCHES.

XISTING UTILITIES: DO NOT INTERRUPT UTILITIES SERVING FACILITIES OCCUPIED BY OWNER OR OTHERS UNLESS

PERMITTED IN WRITING BY ARCHITECT AND THEN ONLY AFTER ARRANGING TO PROVIDE TEMPORARY UTILITY

SERVICES ACCORDING TO REQUIREMENTS INDICATED.

GENERAL: PROVIDE BORROW SOIL MATERIALS WHEN SUFFICIENT SATISFACTORY SOIL MATERIALS ARE NOT

SATISFACTORY SOILS: [ASTM D 2487 SOIL CLASSIFICATION GROUPS GW, GP, GM, SW, SP, AND SM] [AASHTO M 145 SOIL CLASSIFICATIONS GROUPS A-1, A-2-4, A-2-5, AND A-31, OR A COMBINATION OF THESE GROUPS; FREE OF ROCK OR GRAVEL LARGER THAN 3 INCHES IN ANY DIMENSION, DEBRIS, WASTE, FROZEN MATERIALS, VEGETATION, AND OTHER DELETERIOUS MATTER. UNSATISFACTORY SOILS: SOILS CLASSIFICATION GROUPS [GC, SC,CL, ML, OL, CH, MH, OH, AND PT ACCORDING TO

ASTM D 2487] [A-2-6, A-2-7, A-4, A-5, A-6, AND A-7 ACCORDING TO AASHTO M 145], OR A COMBINATION OF THESE GROUPS. UNSATISFACTORY SOILS ALSO INCLUDE SATISFACTORY SOILS NOT MAINTED WITHIN 2 PERCENT OF OPTIMUM MOISTURE CONTENT AT TIME OF COMPACTION.

PROTECT STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS AND OTHER FACILITIES FROM DAMAGE CAUSED BY SETTLEMENT, LATERAL MOVEMENT, UNDERMINING, WASHOUT, AND OTHER HAZARDS CREATED BY EARTHWORK

PREPARATION OF SUBGRADE FOR EARTHWORK OPERATIONS INCLUDING REMOVAL OF VEGETATION, TOPSOIL, DEBRIS, OBSTRUCTIONS, AND DELETERIOUS MATERIALS FROM GROUND SURFACE.

PROTECT AND MAINTAIN EROSION AND SEDIMENTATION CONTROLS. IF EXCAVATED MATERIALS INTENDED FOR FILL AND BACKFILL INCLUDE UNSATISFACTORY SOIL MATERIALS AND ROCK, REPLACE WITH SATISFACTORY SOIL MATERIALS.

EXCAVATE FOR STRUCTURES TO INDICATED ELEVATIONS AND DIMENSIONS WITHIN A TOLERANCE OF PLUS OR MINUS 1 INCH. IF APPLICABLE, EXTEND EXCAVATIONS A SUFFICIENT DISTANCE FROM STRUCTURES FOR PLACING AND REMOVING CONCRETE FORMWORK, FOR INSTALLING SERVICES AND OTHER CONSTRUCTION, AND FOR INSPECTIONS EXCAVATE SURFACES UNDER WALKS AND PAVEMENTS TO INDICATED LINES, CROSS SECTIONS, ELEVATIONS, AND

PLACE, GRADE, AND SHAPE STOCKPILES TO DRAIN SURFACE WATER. STOCKPILE SOIL MATERIALS AWAY FROM EDGE OF EXCAVATIONS. DO NOT STORE WITHIN DRIP LINE OF REMAINING

PLACE AND COMPACT FILL MATERIAL IN LAYERS TO REQUIRED ELEVATIONS AS FOLLOWS: UNDER FOOTINGS AND FOUNDATIONS, USE ENGINEERED FILL.

STOCKPILE BORROW SOIL MATERIALS AND EXCAVATED SATISFACTORY SOIL MATERIALS WITHOUT INTERMIXING.

PLACE BACKFILL AND FILL SOIL MATERIALS IN LAYERS NOT MORE THAN 8 INCHES IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HEAVY COMPACTION EQUIPMENT, AND NOT MORE THAN 4 INCHES IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HAND-OPERATED TAMPERS. UNDER WALKWAYS, SCARIFY AND RECOMPACT TOP 6 INCHES BELOW SUBGRADE AND COMPACT EACH

LAYER OF BACKFILL OR FILL SOIL MATERIAL AT 92 PERCENT. UNDER LAWN OR UNPAVED AREAS, SCARIFY AND RECOMPACT TOP 6 INCHES BELOW SUBGRADE AND COMPACE EACH LAYER OF BACKFILL OR FILL SOIL MATERIAL AT 85 PERCENT. FOR UTILITY TRENCHES, COMPACT EACH LAYER OF INITIAL AND FINAL BACKFILL SOIL MATERIAL AT 85

GENERAL: UNIFORMLY GRADE AREAS TO A SMOOTH SURFACE, FREE OF IRREGULAR SURFACE CHANGES. COMPLY WITH PRODUCT DATA: FOR EACH TYPE OF PRODUCT INDICATED. INCLUDE THE EPA-REGISTERED LABEL. COMPACTION REQUIREMENTS AND GRADE TO CROSS SECITONS, LINES, AND ELEVATIONS INDICATED. PROVIDE TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES TO PREVENT SOIL EROSION AND DISCHARGE SLOPE GRADES TO DIRECT WATER AWAY FROM BUILDINGS TO PREVENT PONDING. FINISH SUBGRADES TO REQUIRED ELEVATIONS WITHIN THE FOLLOWING TOLERANCES:

> LAWN OR UNPAVED AREAS: PLUS OR MINUS 11 INCH. WALKS: PLUS OR MINUS 1 INCH. PAVEMENTS: PLUS OR MINUS 1/2 INCH.

SUBBASE AND BASE COURSES

GRADING INSIDE BUILDING LINES: FINISH SUBGRADE TO A TOLERANCE OF ½ INCH WHEN TESTED WITH A 10-FOOT

SUBBASE [AND BASE] COURSE ON SUBGRADES FREE OF MUD, FROST, NOW, OR ICE. ON PREPARED SUBGRADE, PLACE SUBBASE [AND BASE] COURSE UNDER PAVEMENTS AND WALKS AS FOLLOWS: SHAPE SUBBASE [AND BASE] COURSE TO REQUIRED CROWN ELEVATIONS AND CROSS-SLOPE GRADES. COMPACT SUBBASE [AND BASE] COURSE AT OPTIMUM MOISTURE CONTENT TO REQUIRED GRADES, LINES, CROSS SECTIONS, AND THICKNESS TO NOT LESS THAN 95 PERCENT OF MAXIMUM DRY UNIT WEIGHT ACCORDING TO [ASTM D 698]

QUALITY ASSURANCE

[ASTM D 1557]. DRAINAGE COURSE PLACE DRAINAGE COURSE ON SUBGRADES FREE OF MUD, FROST, SNOW, OR ICE.

ON PREPARED SUBGRADE, PLACE AND COMPACT DRAINAGE COURSE UNDER CAST-IN-PLACE CONCRETE SLABS-ON-PLACE DRAINAGE COURSE THAT EXCEEDS 6 INCHES IN COMPACTED THICKNESS IN LAYERS OF EQUAL THICKNESS, WITH NO COMPACTED LAYER MORE THAN 6 INCHES THICK OR LESS THAN 3 INCHES THICK. COMPACT EACH LAYER OF DRAINAGE COURSE TO REQUIRED CROSS SECTIONS AND THICKNESSES TO NOT LESS

THAN 95 PERCENT OF MAXIMUM DRY UNIT WEIGHT ACCORDING TO ASTM D 698. RE-TREATMENT SOIL AND REPAIR OR REPLACE DAMAGE CAUSED BY TERMITE INFESTATION. WHERE SETTLING OCCURS, REMOVE FINISHED SURFACING, BACKFILL WITH ADDITIONAL SOIL MATERIAL, COMPACT, AND RECONSTRUCT SURFACING.

RESTORE APPEARANCE, QUALITY, AND CONDITION OF FINISHED SURFACING TO MATCH ADJACENT WORK, TO GREATEST

SECTION INCLUDES TEMPORARY EXCAVATION SUPPORT AND PROTECTION SYSTEMS.

URNISH, INSTALL, MONITOR, AND MAINTAIN EXCAVATION SUPPORT AND PROTECTION SYSTEM CAPABLE OF SUPPORTING EXCAVATION SIDEWALLS AND OF RESISTING SOIL AND HYDROSTATIC PRESSURE AND SUPERIMPOSED AND CONSTRUCTION LOADS. DESIGN EXCAVATION SUPPORT AND PROTECTION SYSTEM, INCLUDING COMPREHENSIVE ENGINEERING ANALYSIS BY A QUALIFIED PROFESSIONAL ENGINEER, USING PERFORMANCE REQUIREMENTS AND DESIGN CRITERIA INDICATED.

SHOP DRAWINGS: FOR EXCAVATION SUPPORT AND PROTECTION SYSTEM.

DELEGATED-DESIGN SUBMITTAL: FOR EXCAVATION SUPPORT AND PROTECTION SYSTEM INDICATED TO COMPLY WITH PERFORMANCE REQUIREMENTS AND DESIGN CRITERIA, INCLUDING ANALYSIS DATA SIGNED AND SEALED BY THE QUALIFIED PROFESSIONAL ENGINEER RESPONSIBLE FOR THEIR PREPARATION.

Survey work: engage a qualified land surveyor or professional engineer to survey adjacent EXISTING BUILDINGS, STRUCTURES, AND SITE IMPROVEMENTS; ESTABLISH EXACT ELEVATIONS AT FIXED POINTS TO ACT

AS BENCHMARKS. CLEARLY IDENTIFY BENCHMARKS AND RECORD EXISTING ELEVATIONS. DURING INSTALLATION OF EXCAVATION SUPPORT AND PROTECTION SYSTEMS, REGULARLY RESURVEY BENCHMARKS, MAINTAINING AN ACCURATE LOG OF SURVEYED ELEVATIONS AND POSITIONS FOR COMPARISON WITH ORIGINAL ELEVATIONS AND POSITIONS. PROMPTLY NOTIFY ARCHITECT IF CHANGES IN ELEVATIONS OR POSITIONS OCCUR OR IF CRACKS, SAGS, OR OTHER DAMAGE IS EVIDENT IN ADJACENT CONSTRUCTION.

GENERAL: PROVIDE MATERIALS THAT ARE EITHER NEW OR IN SERVICEABLE CONDITION.

STRUCTURAL STEEL: ASTM A 36/A 36M, ASTM A 690/A 690M, OR ASTM A 992/A 992M.

STEEL SHEET PILING: ASTM A 328/A 328M, ASTM A 572/A 572M, OR ASTM A 690/A 690M; WITH CONTINUOUS

WOOD LAGGING: LUMBER, MIXED HARDWOOD, NOMINAL ROUGH THICKNESS OR [SIZE AND STRENGTH REQUIRED

CAST-IN-PLACE CONCRETE: AC1301, OF COMPRESSIVE STRENGTH REQUIRED FOR APPLICATION.

REINFORCING BARS: ASTM A 615/A 615M, GRADE 60 (GRADE 420), DEFORMED.

EXECUTION

SOLDIER PILES: INSTALL STEEL SOLDIER PILES BEFORE STARTING EXCAVATION. EXTEND SOLDIER PILES BELOW EXCAVATION GRADE LEVEL TO DEPTHS ADEQUATE TO PREVENT LATERAL MOVEMENT. SPACE SOLDIER PILES AT REGULAR INTERVALS NOT TO EXCEED ALLOWABLE FLEXURAL STRENGTH OF WOOD LAGGING. ACCURATELY ALIGN EXPOSED FACES OF FLANGES TO VARY NOT MORE THAN 2 INCHES (50 MM) FROM A HORIZONTAL LINE NAD NOT MORE THAN 1:120 OUT OF VERTICAL ALIGNMENT 1.INSTALL WOOD LAGGING WITHIN FLANGES OF SOLDIER PILES AS EXCAVATION PROCEEDS. TRIM

EXCAVATION AS REQUIRED TO INSTALL LAGGING. FILL VOIDS BEHIND LAGGING WITH SOIL, AND COMPACT. 2.INSTALL WALES HORIZONTALLY AT LOCATIONS INDICATED ON DRAWINGS AND SECURE TO SOLDIER SHEET PILING: BEFORE STARTING EXCAVATION, INSTALL ONE-PIECE SHEET PILING LENGTHS AND TIGHTLY INTERLOCK

TO FORM A CONTINUOUS BARRIER. ACCURATELY PLACE THE PILING, USING TEMPLATES AND GUIDE FRAMES UNLESS OTHERWISE RECOMMENDED IN WRITING BY THE SHEET PILING MANUFACTURER. LIMIT VERTICAL OFFSET OF ADJACENT SHEET PILING TO 60 INCHES (1500 MM). ACCURATELY ALIGN EXPOSED FACES OF SHEET PILING TO VARY NOT MORE THAN 2 INCHES (50 MM) FROM A HORIZONTAL LINE AND NOT MORE THAN 1:120 OUT OF VERTICAL ALIGNMENT. CUT TOPS OF SHEET PILING TO UNIFORM ELEVATION AT TOP OF EXCAVATION.

BRACING: LOCATE BRACING TO CLEAR COLUMNS, FLOOR FRAMING CONSTRUCTION, AND OTHER PERMANENT WORK. IF NECESSARY TO MOVE BRACE, INSTALL NEW BRACING BEFORE REMOVING ORIGINAL BRACE. 1.DO NOT PLACE BRACING WHERE IT WILL BE CAST INTO OR INCLUDED IN PERMANENT CONCRETE WORK UNLESS OTHERWISE APPROVED BY ARCHITECT. 2.INSTALL INTERNAL BRACING, IF REQUIRED, TO PREVENT SPREADING OR DISTORTION OF BRACED

MAINTAIN BRACING UNTIL STRUCTURAL ELEMENTS ARE SUPPORTED BY OTHER BRACING OR UNITL PERMANENT CONSTRUCTION IS ABLE TO WITHSTAND LATERAL EARTH AND HYDROSTATIC PRESSURES.

REMOVE EXCAVATION SUPPORT AND PROTECTION SYSTEMS WHEN CONSTRUCTION HAS PROGRESSED SUFFICIENTLY TO SUPPORT EXCAVATION AND BEAR SOIL AND HYDROSTATIC PRESSURES. REMOVE IN STAGES TO AVOID DISTURBING UNDERLYING SOILS OR DAMAGING STRUCTURES, PAVEMENTS, FACILITIES, AND UTILITIES.

31-05 FINISH GRADE

FINISH GRADING TO PROVIDE FOR DRAINAGE AWAY FROM BUILDING AND CONTAINMENT OF DRAINAGE WITHIN PROPERTY. GRADE SHALL SLOPE A MINIMUM OF 6 INCHES IN THE FIRST 10 FEET AWAY FROM THE BUILDING. (IRC

ALL GRADING REQUIREMENTS ARE PER CIVIL ENGINEER'S DRAWINGS. THE CONTRACTOR IS RESPONSIBLE TO COORDINATE ALL GRADING WITH CIVIL ENGINEERING DRAWINGS.

31-06 DEWATERING

ALL DEWATERING IS NOT INCLUDED WITHIN ARCHITECTURAL DESIGN.

DETERMINATION OF ANY DEWATERING SYSTEMS SHALL BE THE RESPONSIBILITY OF THE SOILS ENGINEER AND OWNER. ALL DESIGNS OF ANY DEWATERING SYSTEMS SHALL BE THE RESPONSIBILITY OF THE OWNER, SOILS ENGINEER AND CIVIL ENGINEER. ALL COORDINATION OF SUCH SYSTEM WILL BE THE RESPONSIBILITY OF THE OWNER AND CONTRACTOR.

SOIL TREATMENT WITH TERMITICIDE.

TREATMENT APPLICATION REPORT. INCLUDE THE FOLLOWING:

DATE AND TIME OF APPLICATION. MOISTURE CONTENT OF SOIL BEFORE APPLICATION. BRAND NAME AND MANUFACTURER OF TERMITICIDE

DILUTIONS, METHODS, VOLUMES, AND RATES OF APPLICATION USED. AREAS OF APPLICATION. WATER SOURCE FOR APPLICATION.

QUANTITY OF UNDILUTED TERMITICIDE USED.

WOOD TREATMENT APPLICATION REPORT. INCLUDE THE FOLLOWING:

BRAND NAME AND MANUFACTURER OF BORATE. QUANTITY OF UNDILUTED BORATE USED. 4. DILUTIONS, METHODS, VOLUMES, AND RATES OF APPLICATION USED.

DATE AND TIME OF APPLICATION.

INSTALLER QUALIFICATIONS: A SPECIALIST WHO IS LICENSED ACCORDING TO REGULATIONS OF AUTHORITIES HAVING JURISDICTION TO APPLY TERMITE CONTROL TREATMENT AND PRODUCTS IN JURISDICITON WHERE PROJECT IS LOCATED [AND WHO EMPLOYS WORKERS TRAINED AND APPROVED BY BAIT-STATION SYSTEM MANUFACTURER TO INSTALL

REGULATORY REQUIREMENTS: FORMULATE AND APPY TERMITICIDES ACCORDING TO THE EPA-REGISTERED LABEL. SPECIAL WARRANTY: MANUFACTURER'S STANDARD FORM, SIGNED BY APPLICATOR AND CONTRACTOR CERTIFYING THAT

SUBTERRANEAN TERMITES. IF SUBTERRANEAN TERMITE ACTIVITY OR DAMAGE IS DISCOVERED DURING WARRANTY PERIOD,

Intinuing Service: Beginning at Substantial Completion, Provide 12 Months Continuing Service INCLUDING MONITORING, INSPECTION, AND RE-TREATMENT FOR OCCURRENCES OF TERMITE ACTIVITY. PROVIDE A

TERMITE CONTROL WORK, CONSISTING OF APPLIED SOIL TERMITICIDE TREATMENT, WILL PREVENT INFESTATION OF

PERIOD; AND TERMS FOR FUTURE RENEWAL OPTIONS. AVAILABLE MANUFACTURERS: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, MANUFACTURERS OFFERING PRODUCTS

THAT MAY BE INCORPORATED INTO THE WORK, INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING:

MANUFACTURERS: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PROVIDE PRODUCTS BY ONE OF THE FOLLOWING: TERMITICIDES AVENTIS ENVIRONMENTAL SCIENCE USA LP; TERMIDOR. BAYER CORPORATION; PREMISE 75

NOVAGUARD TECHNOLOGIES, INC.; ARMOR-GUARD, SHELL-GUARD.

WARRANTY PERIOD: 10 YEARS FROM DATE OF SUBSTANTIAL COMPLETION.

FMC CORPORATION, AGRICULTURAL PRODUCTS GROUP; [TALSTAR] [PREVAIL FT] [TORPEDO]. SYNGENTA; DEMON TC. NISCUS CORP.; BORA-CARE, JECTA.

DOW AGROSCIENCES LLC; [DURSBAN TC] [EQUITY]

C. U.S. BORAX INC.; TIM-BOR

TERMITICIDE: PROVIDE AN EPA-REGISTERED TERMITICIDE COMPLYING WITH REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION, IN AN AQUEOUS SOLUTION FORMULATED TO PREVENT TERMITE INFESTATION. PROVIDE QUANTITY REQUIRED FOR APPLICATION AT THE LABEL VOLUME AND RATE FOR THE MAXIMUM TERMITICIDE CONCENTRATION ALLOWED FOR EACH SPECIFIC USE, ACCORDING TO PRODUCT'S EPA-REGISTERED LABEL.

BORATE: PROVIDE AN EPA-REGISTERED BORATE COMPLYING WITH REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION, IN AN AQUEOUS SOLUTION FOR SPRAY APPLICATION AND A GEL SOLUTION FOR PRESSURE INJECTION, FORMULATED TO PREVENT TERMITE INFESTATION IN WOOD. PROVIDE QUANTITY REQUIRED FOR APPLICATION AT THE LABEL VOLUME AND

WOOD DEBRIS, TREE STUMPS AND ROOTS, STAKES, FORMWORK, AND CONSTRUCTION WASTE WOOD FROM SOIL WITHIN SOIL TREATMENT PREPARATION: LOOSEN, RAKE AND LEVEL SOIL TO BE TREATED EXCEPT PREVIOUSLY COMPACTED AREAS UNDER SLABS AND FOOTINGS. TERMITICIDES MAY BE APPLIED BEFORE PLACING

COMPACTED FILL UNDER SLABS IF RECOMMENDED IN WRITING BY TERMITICIDE MANUFACTURER.

1. GENERAL: REMOVE ALL EXTRANEOUS SOURCES OF WOOD CELLULOSE AND OTHER EDIBLE MATERIALS SUCH AS

APPLYING SOIL

PORCHES ARE ON FILL OR GROUND.

D. MASONRY: TREAT VOIDS.

1. APPLICATION: MIX SOIL TREATMENT TERMITICIDE SOLUTION TO A UNIFORM CONSISTENCEY, PROVIDE QUANTITY REQUIRED FOR APPLICATION AT THE LABEL VOLUME AND RATE FOR THE MAXIMIUM CONCENTRATION OF TERMITICIDE, ACCORDING TO MANUFACTURER'S EPA-REGISTERED LABEL, TO THE FOLLOWING SO THAT A CONTINUOUS HORIZONTAL AND VERTICAL TERMITICIDAL BARRIER OR TREATED. ZONE IS ESTABLISHED AROUND AND UNDER BUILDING CONSTRUCTION. DISTRIBUTE TREATMENT EVENLY. A. SLABS-ON-GRADE AND BASEMENT SLABS: UNDER GROUND-SUPPORTED SLAB CONSTRUCTION, INCLUDING FOOTINGS, BUILDING SLABS, AND ATTACHED SLABS AS AN OVERALL TREATMENT.

TREAT SOIL MATERIALS BEFORE CONCRETE FOOTINGS AND SLABS ARE PLACED. B. FOUNDATIONS: ADJACENT SOIL INCLUDING SOIL ALONG THE ENTIRE INSIDE PERIMETER OF FOUNDATION WALLS, ALONG BOTH SIDES OF INTERIOR PARTITION WALLS, AROUND PLUMBING PIPES AND ELECTRIC CONDUIT PENETRATING THE SLAB, AND AROUND INTERIOR COLUMN PIERS, AND CHIMNEY BASES; ALSO ALONG THE ENTIRE OUTSIDE PERIMETER, FROM **GRADE TO** BOTTOM OF FOOTING. AVOID SOIL WASHOUT AROUND FOOTINGS.

C. CRAWLSPACES: SOIL UNDER AND ADJACENT TO FOUNDATIONS AS PREVIOUSLY INDICATED. TREAT ADJACENT AREAS INCLUDING AROUND ENTRANCE PLATFORM, PORCHES, AND EQUIPMENT BASES. APPLY OVERALL TREATMENT ONLY WHERE ATTACHED CONCRETE PLATFORM

Architecture

Landscape Architecture

Construction Manageme

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7927 So. Highpoint Parkway, Suite 300

Sandy, Utah 84094

ph. 801.269.0055

fax 801.269.1425

www.thinkaec.com

Interior Design

Land Planning

E. PENETRATIONS: AT EXPANSION JOINTS, CONTROL JOINTS, AND AREAS WHERE SLABS WILL BE 2. AVOID DISTURBANCE OF TREATED SOIL AFTER APPLICATION. KEEP OFF TREATED AREAS UNTIL

A. FRAMING AND SHEATHING: APPLY BORATE SOLUTION BY SPRAY TO BARE WOOD FOR COMPLETE

GROUND-SUPPORTED SLABS ARE INSTALLED. USE WATERPROOF BARRIER ACCORDING TO EPA-REGISTERED LABEL INSTRUCTIONS. 4. POST WARNING SIGNS IN AREAS OF APPLICATION. 5. REAPPLY SOIL TREATMENT SOLUTION TO ARES DISTURBED BY SUBSEQUENT EXCAVATION, GRADING,

LANDSCAPING, OR OTHER CONSTRUCTION ACTIVITIES FOLLOWING APPLICATION.

3. PROTECT TERMITICIDE SOLUTION, DISPERSED IN TREATED SOILS AND FILLS, FROM BEING DILUTED UNTIL

APPLYING BORATE TREATMENT 1. APPLICATION: MIX WOOD TREATMENT BORATE SOLUTION TO A UNIFORM CONSISTENCY. PROVIDE QUANTITY REQUIRED FOR APPLICATION AT THE LABEL VOLUME AND RATE FOR THE MAXIMUM SPECIFIED CONCENTRATION OF BORATE, ACCORDING TO MANUFACTURER'S FPA REGISTERED LABEL, SO THAT FRAMING, SHEATHING, SIDING, AND STRUCTURAL MEMBERS SUBJECT TO INFESTATION RECEIVE TREATMENT.

B. WOOD MEMBERS THICKER THAN 4 INCHES: INJECT BORATE GELL SOLUTION UNDER PRESSURE INTO HOLES OF SIZE AND SPACING REQURIED BY MANUFACTURER FOR TREATMENT. C.EXTERIOR UNCOATED WOOD TRIM AND SIDING: APPLY BORATE SOLUTION TO BARE WOOD SIDING. AFTER 48 HOURS, APPLY A SEAL COAT OF STAIN AS SPECIFIED IN DIVISION 09 PAINTING SECTIONS.

31-11 EROSION CONTROL

ALL EROSION CONTROL IS THE RESPONSIBILITY OF THE CIVIL ENGINEER FOR DESIGN AND DRAWINGS.

ALL EROSION CONTROL MUST MEET ALL LOCAL REQUIRMENTS.

BUILDING KEYNOTES AND SPECIFICATIONS DIVISION 32- EXTERIOR IMPROVEMENTS/LANDSCAPING 32-04 UNIT PAVERS/ RETAINING WALLS/ STAIRS

AS PER LANDSCAPE DRAWINGS

PAVERS SHALL BE INSTALLED IN FOLLOWING PATTERN: AS PER LANDSCAPE DRAWINGS PAVER COLOR SHALL SELECTED BY ARCHITECT.

AS PER LANDSCAPE DRAWINGS

Samples for unit pavers, joint materials, and edge restraints

PAVERS SHALL BE THE FOLLOWING:

DO NOT USE FROZEN MATERIALS OR BUILD ON FROZEN SUBGRADE OR SETTING BEDS. PROTECT UNIT PAVER WORK AGAINST FREEZING FOR 24 HOURS AFTER INSTALLATION.

CUT UNIT PAVERS WITH MOTOR-DRIVEN MASONRY SAW EQUIPMENT TO PROVIDE PATTERN INDICATED AND TO FIT ADJOINING WORK NEATLY. USE FULL UNITS WITHOUT CUTTING WHERE POSSIBLE. INSTALL EDGE RESTRAINTS BEFORE

MIX PAVERS FROM SEVERAL PALLETS OR CUBES, AS THEY ARE PLACED, TO PRODUCE UNIFORM BLEND OF COLORS AND

1/4 INCH IN 10 FEET FROM LEVEL, OR INDICATED SLOPE, FOR FINISHED SURFACE OF PAVING. COMPACT SOIL SUBGRADE UNIFORMLY AND PLACE AGGREGATE BASE, COMPACT BY TAMPING WITH PLATE VIBRATOR, AND SCREED TO DEPTH AS INDICATED

TOLERANCES: DO NOT EXCEED 1/16-INCH UNIT-TO-UNIT OFFSET FROM FLUSH (LIPPAGE) NOR 1/8 INCH IN 24 INCHES AND

remains Constant and Density is loose and Constant until pavers are set and Compacted. Treat leveling COURSE WITH HERBICIDE TO INHIBIT GROWTH OF GRASS AND WEEDS.

DISTURB LEVELING BASE. IF PAVERS HAVE SPACER BARS, PLACE PAVERS HAND TIGHT AGAINST SPACER BARS. VIBRATE PAVERS INTO LEVELING COURSE AND SPREAD DRY SAND AND FILL JOINTS IMMEDIATELY AFTER VIBRATING PAVERS INTO LEVELING COURSE. VIBRATE PAVERS AND ADD SAND UNTIL JOINTS ARE COMPLETELY FILLED, THEN REMOVE EXCESS

GENERAL/PRODUCTS STANDARD CONTINUING SERVICE AGREEMENT. STATE SERVICE, OBLIGATIONS, CONDITIONS, AND TERMS FOR AGREEMENT SEE LANDSCAPE DRAWINGS ALL IRRIGATION SHALL MEET ALL CITY LANDSCAPE REQUIREMENTS

ALL PLANTING SHALL MEET ALL CITY LANDSCAPE REQUIREMENTS

32-10 IRRIGATION SYSTEMS

SEE LANDSCAPE DRAWINGS.

32-11 PLANTING

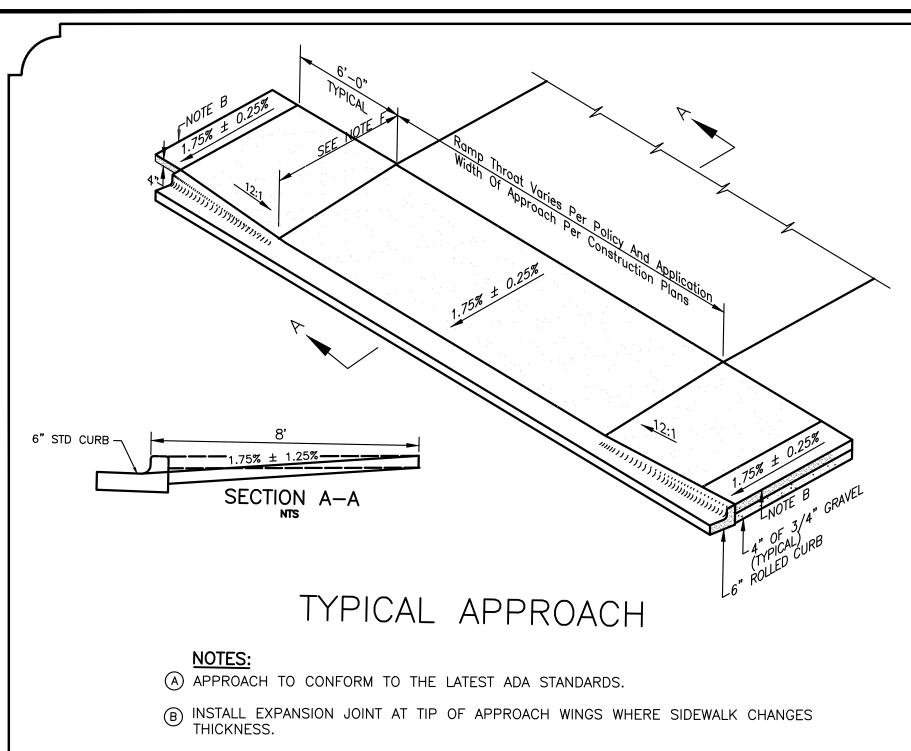
SAND. LEAVE A SLIGHT SURPLUS OF SAND ON THE SURFACE FOR JOINT FILLING.

PLACE LEVELING COURSE AND SCREED TO A THICKNESS OF 1 TO 1-1/2 INCHES, TAKING CARE THAT MOISTURE CONTENT SET PAVERS WITH A MINIMUM JOINT WIDTH OF 1/16 INCH AND A MAXIMUM OF 1/8 INCH , BEING CAREFUL NOT TO

REVISIONS:

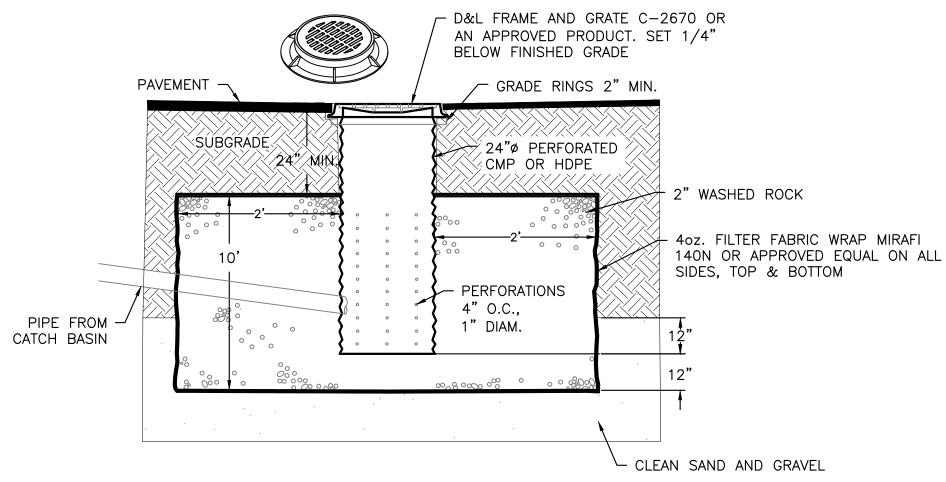
SHEET NUMBER:

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- © BASE TO BE A 4" THICKNESS OF 3/4" MINUS CRUSHED AGGREGATE PER SECTION-802.
- (D) APPROACH THROAT WIDTHS SET BY POLICY AND APPLICATION. ALL CONCRETE TO BE 6" THICK FROM TIP OF WING TO TIP OF WING UP TO THE EXPANSION JOINT. WHEN SIDEWALK IS SEPARATE FROM CURB THE SIDEWALK IMMEDIATELY BEHIND THE APPROACH THROAT SHALL BE 6" THICK ALSO.
- (E) ALL CONCRETE SHALL BE CLASS 3000 PER SECTION-703. SEE GENERAL NOTES 7 & 8.
- (F) SIDEWALK WIDTH IS 8 FEET.

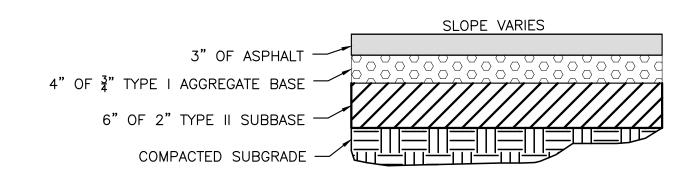
1 CONCRETE DRIVEWAY WITH RAMPED SIDEWALK - SCALE: NONE



NOTES:

- 1. THE BED SHALL BE EXCAVATED A MINIMUM OF 24" INTO CLEAN SAND AND GRAVEL.
- 2. MAXIMUM DEPTH SHALL NOT EXCEED 12 FEET.
- 3. IF CLEAN SAND AND GRAVEL IS NOT ENCOUNTERED WITHIN 12 FEET, THE CONTRACTOR SHALL CONTACT THE DESIGN
- 4. GRATE OR SOLID LID AS APPROVED BY CITY OF KETCHUM.





4 TYPICAL STREET ASPHALT SECTION SCALE: NONE

LEGEND PROPERTY LINE ADJOINING PROPERTY LINE EASEMENT **FENCE** EDGE OF PAVEMENT SEWER SEWER MANHOLE (MH) WATER WATER GATE VALVE HYDRANT CURB STOP **TELEPHONE** UTILITY TRENCH **ELEVATION CONTOUR** PROPOSED ELEV CONTOUR SAWCUT LINE **CURB TRANSITION** FLOW LINE FOOTING DRAIN STORM DRAIN PIPE DOWN SPOUT CATCH BASIN-CITY CATCH BASIN DRYWELL LANDSCAPE DRYWELL ASPHALT PAVEMENT ASPHALT PAVEMENT (SNOW MELTED) PAVERS CONCRETE FG FINISHED GRADE

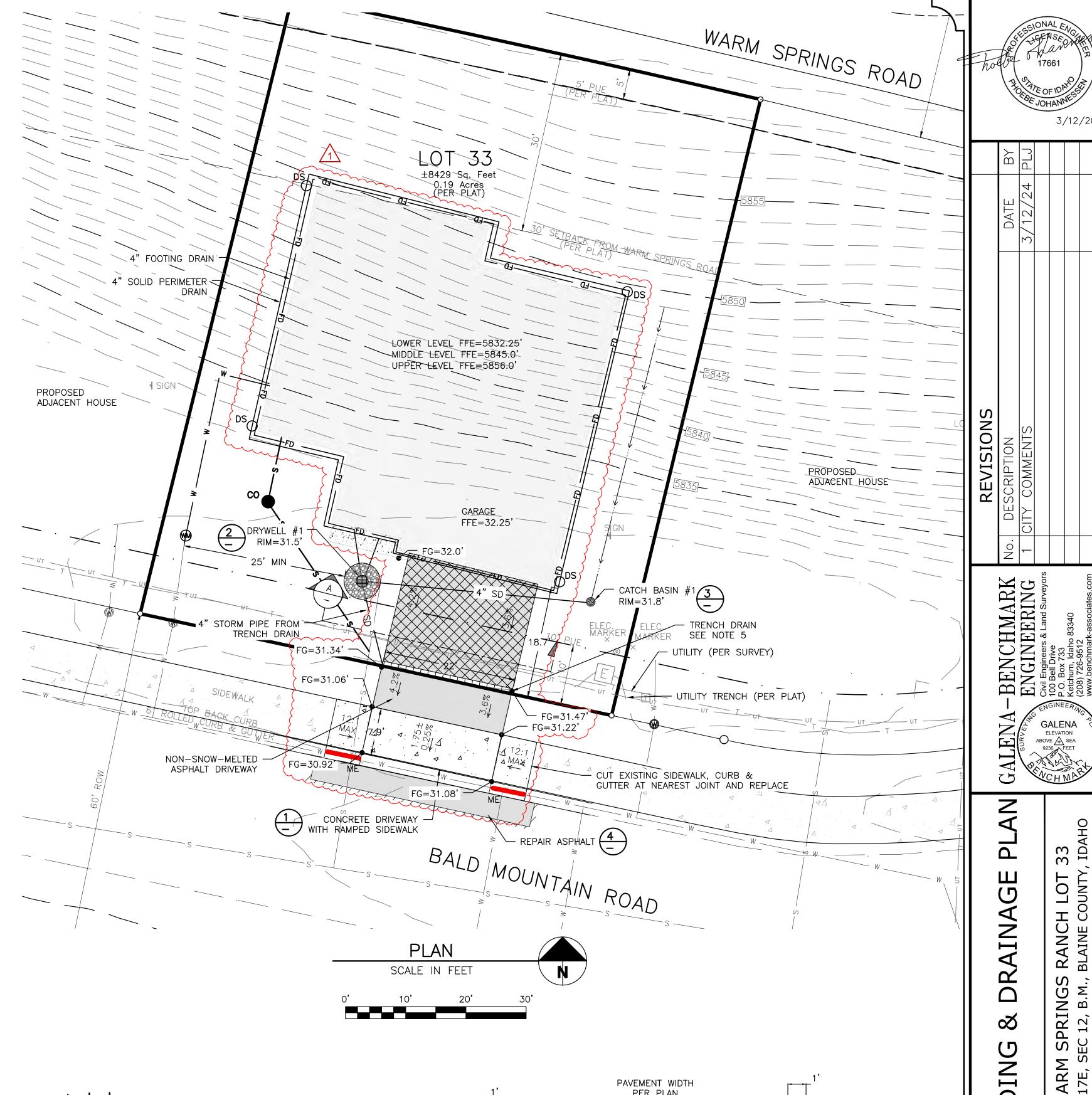
GENERAL NOTES

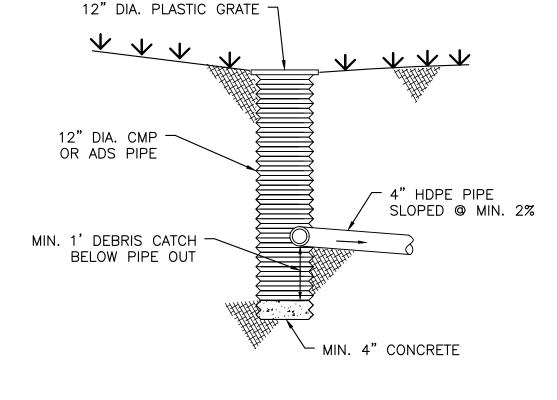
1. CONTRACTOR SHALL FIELD VERIFY LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING CONSTRUCTION. ANY CONFLICT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.

EXISTING GROUND GRADE BREAK

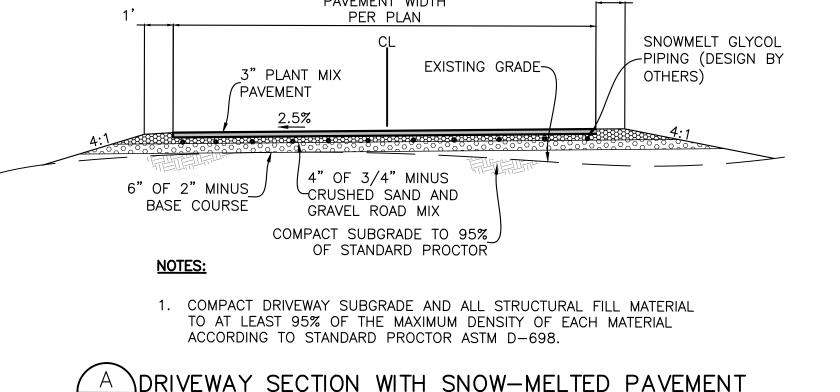
MATCH EXISTING

- 2. CONTRACTOR SHALL NOTIFY DIGLINE (1-800-342-1585) AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES ENCOUNTERED DURING CONSTRUCTION.
- 3. CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL DURING THE CONSTRUCTION OF ALL ITEMS HEREON. DUST CONTROL SHALL BE CONTINUOUS DURING CONSTRUCTION, 24 HOURS PER DAY 7 DAYS PER WEEK.
- 4. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM THE
- 5. TRENCH DRAIN SHALL BE A 6" WIDE HDPE CHANNEL WITH A 0.75 BUILT IN CHANNEL SLOPE (ZURN FLO-THRU MODEL Z886 OR EQUIVALENT). GRATE SHALL BE DUCTILE IRON WITH A SLOTTED PATTERN. CATCH BASIN SHALL BE 6" WIDE X 20" LONG X 20" DEEP AND SHALL BE MADE OF HDPE. OUTLET PIPE SHALL BE 4" DIAMETER. (FLO-THRU MODEL Z887 OR EQUIVALENT). ALL COMPONENTS SHALL BE RATED FOR H20 LOADING.
- 6. ALL WORK WITHIN THE CITY RIGHT OF WAY SHALL CONFORM TO CITY OF KETCHUM STANDARDS.
- 7. CONCRETE WITHIN CITY RIGHT-OF-WAY SHALL BE TITAN MIX OR EQUAL. ALTERNATE COLD WEATHER MIX WILL NEED TO BE SUBMITTED TO THE CITY FOR REVIEW AND APPROVAL PRIOR TO PLACEMENT.
- 8. CONCRETE SHALL BE SEALED WITH AN OPAQUE SEALER.
- 9. 6" ROLLED CURB & GUTTER SHALL BE PER CITY OF KETCHUM STANDARD DETAIL #4.
- 10. CONCRETE SIDEWALK SHALL BE PER CITY OF KETCHUM STANDARD DETAIL #7.





12" CATCH BASIN PROFILE \setminus / NOT TO SCALE



DRIVEWAY SECTION WITH SNOW-MELTED PAVEMENT SCALE: NTS

PROJECT NO.: <u>22074</u>

DRAWING NO.

DRAWN BY:

DESIGNED BY:

CHECKED BY:

3/12/2024

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GALENA
ELEVATION
ABOVE A SEA

33 IDAF

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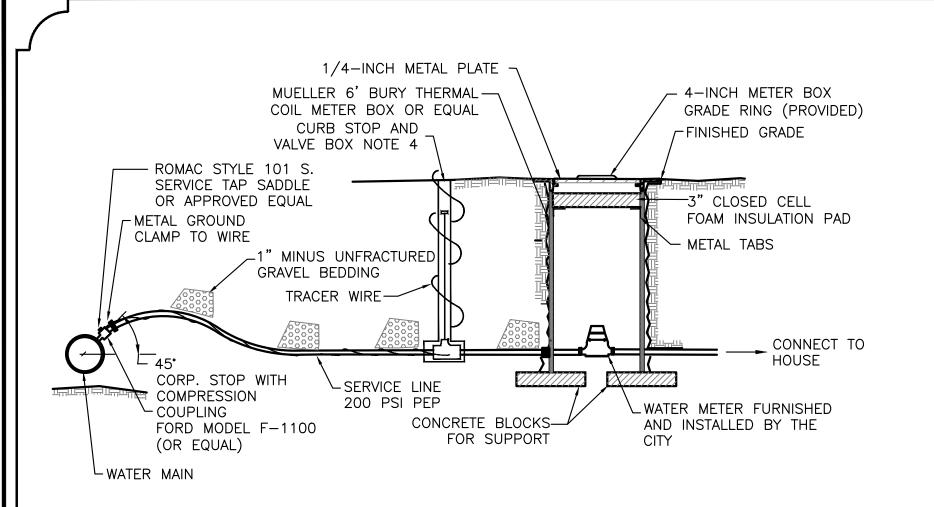
LOT

RANCH

SPRINGS EC 12, B.M.

WARM

3/12/2024



UTILITY LEGEND

SEWER PROPOSED

SEWER CLEANOUT

WATER PROPOSED

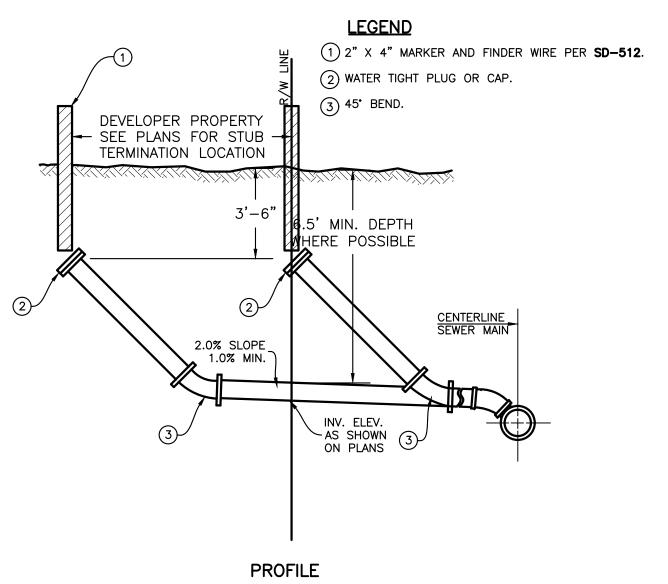
WATER METER PROPOSED

<u>NOTES</u>

- 1. WATER SERVICE LINE SHALL HAVE A 6' MIN. BURY DEPTH 2. SERVICE LINE SHALL BE 1" DIAMETER POLYETHYLENE PIPE
- UNLESS OTHERWISE SPECIFIED.

 3. WATER SERVICE LINES SHALL BE BEDDED WITH 1" MINUS UNFRACTURED GRAVEL. BEDDING SHALL BE INSTALLED 4" UNDER
- THE PIPE AND 6" OVER THE PIPE.

 4. FORD MODEL B-111 RESILIENT SEAT, CURB BALL VALVE (OR EQUAL). FORD EXTENSION CURB BOX WITH ARCHED BASE, 1-INCH UPPER SECTION, AND 2 HOLE "ERIE" PATTERN LID.
- 1 WATER SERVICE AND METER CONNECTION SCALE: N.T.S.

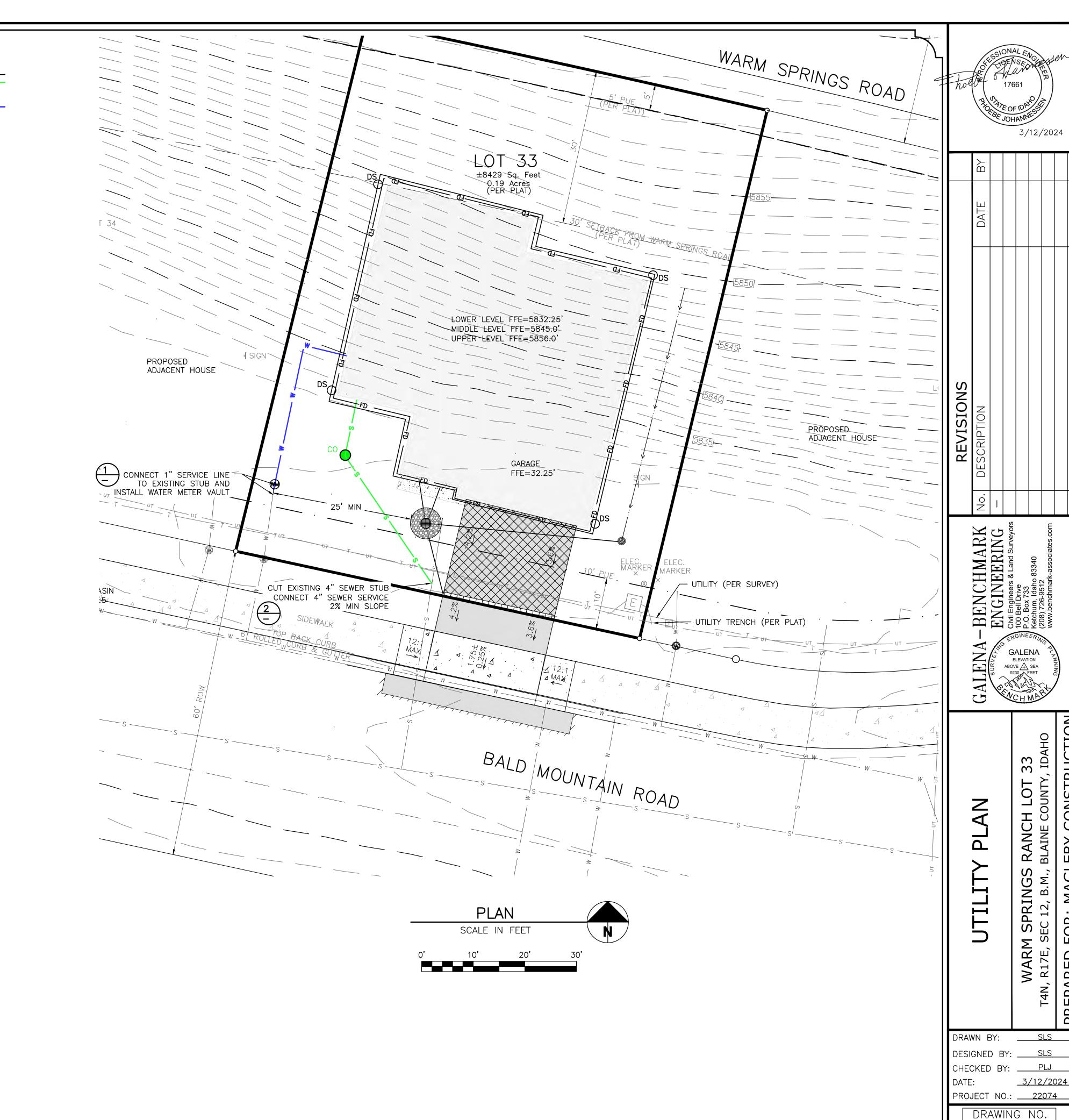


<u>NOTES</u>

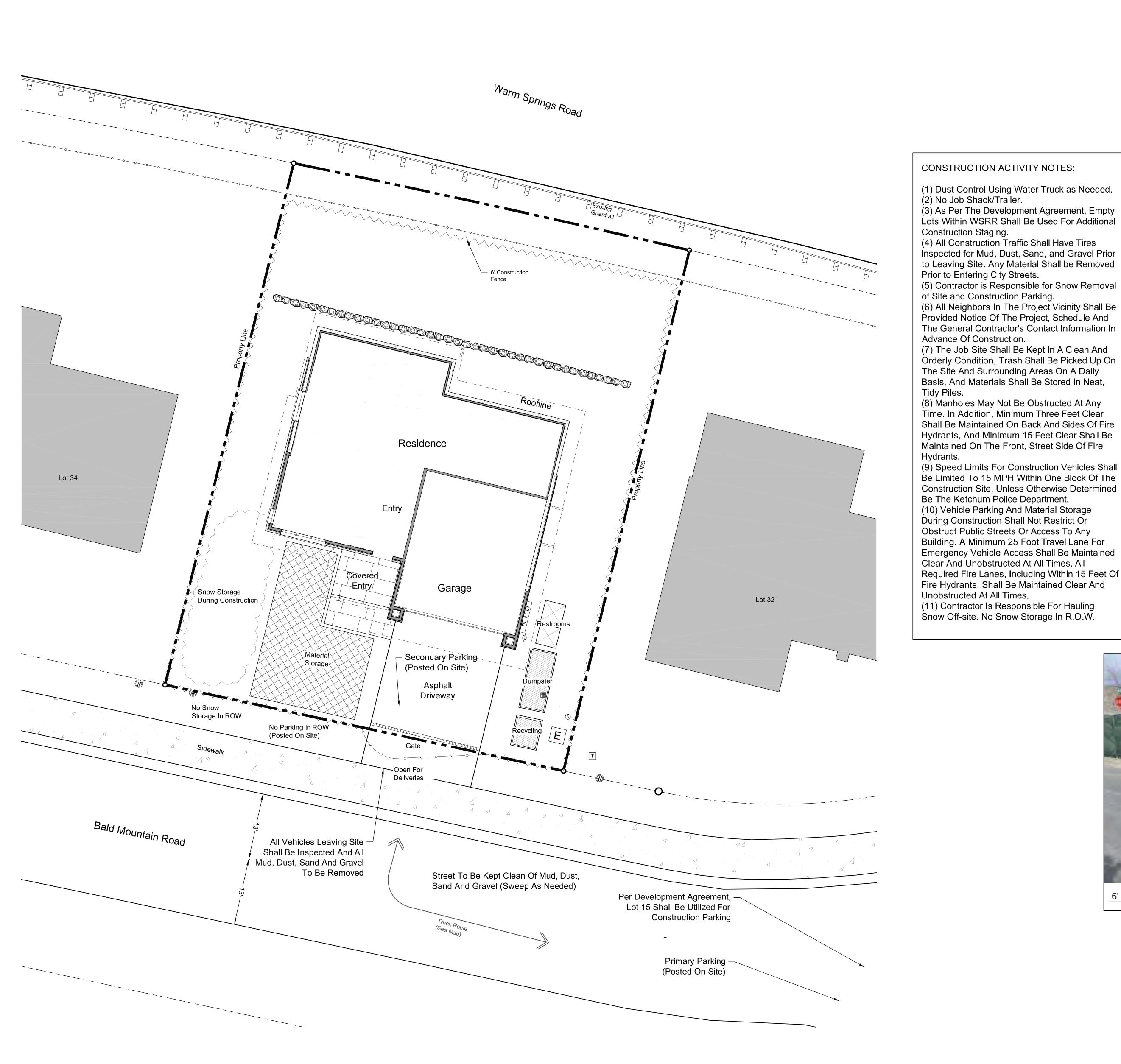
1. INSULATION REQUIRED WHERE SEWER LINE BURY DEPTH IS LESS THAN 5'.

2 STANDARD SEWER SERVICE CONNECTION DETAIL

SCALE: NONE



CONSTRUCTION



General Notes

- . Base map information taken from survey by Benchmark Associates dated 11/24/21 and from on-site information. Architectural information provided by Think Architecture dated 02/11/24. Contractor shall verify conditions in the field prior to construction.
- 2. Landscape architect is not responsible for any deviation from these plans,
- unless such changes are authorized by the landscape architect in writing. 3. All existing utilities are underground. All new utilities shall be underground.
- 4. Site serviced by City of Ketchum.

Cut And Fill:

Total Cut = 700 Cubic Yards

Total Fill = 0 Cubic Yards

Total Export = 700 Cubic Yards

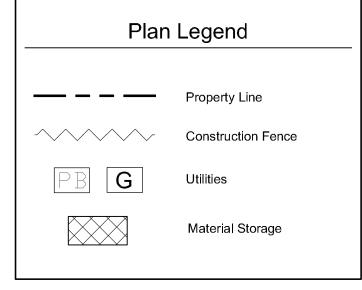
Plan Legend Construction Fence PB G

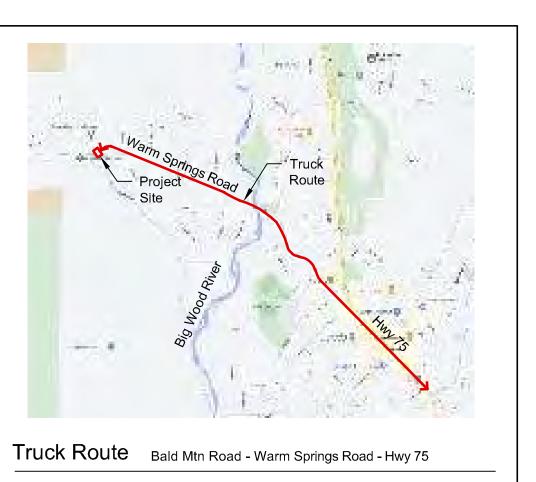
(8) Manholes May Not Be Obstructed At Any Time. In Addition, Minimum Three Feet Clear Shall Be Maintained On Back And Sides Of Fire Hydrants, And Minimum 15 Feet Clear Shall Be Maintained On The Front, Street Side Of Fire

(9) Speed Limits For Construction Vehicles Shall Be Limited To 15 MPH Within One Block Of The Construction Site, Unless Otherwise Determined Be The Ketchum Police Department. (10) Vehicle Parking And Material Storage

During Construction Shall Not Restrict Or Obstruct Public Streets Or Access To Any Building. A Minimum 25 Foot Travel Lane For Emergency Vehicle Access Shall Be Maintained Clear And Unobstructed At All Times. All Required Fire Lanes, Including Within 15 Feet Of Fire Hydrants, Shall Be Maintained Clear And Unobstructed At All Times.

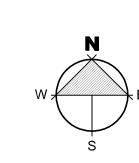
(11) Contractor Is Responsible For Hauling Snow Off-site. No Snow Storage In R.O.W.

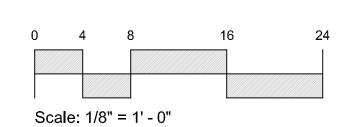






6' Construction Fence





WSR Residences _ot 33

Job No: 22.26

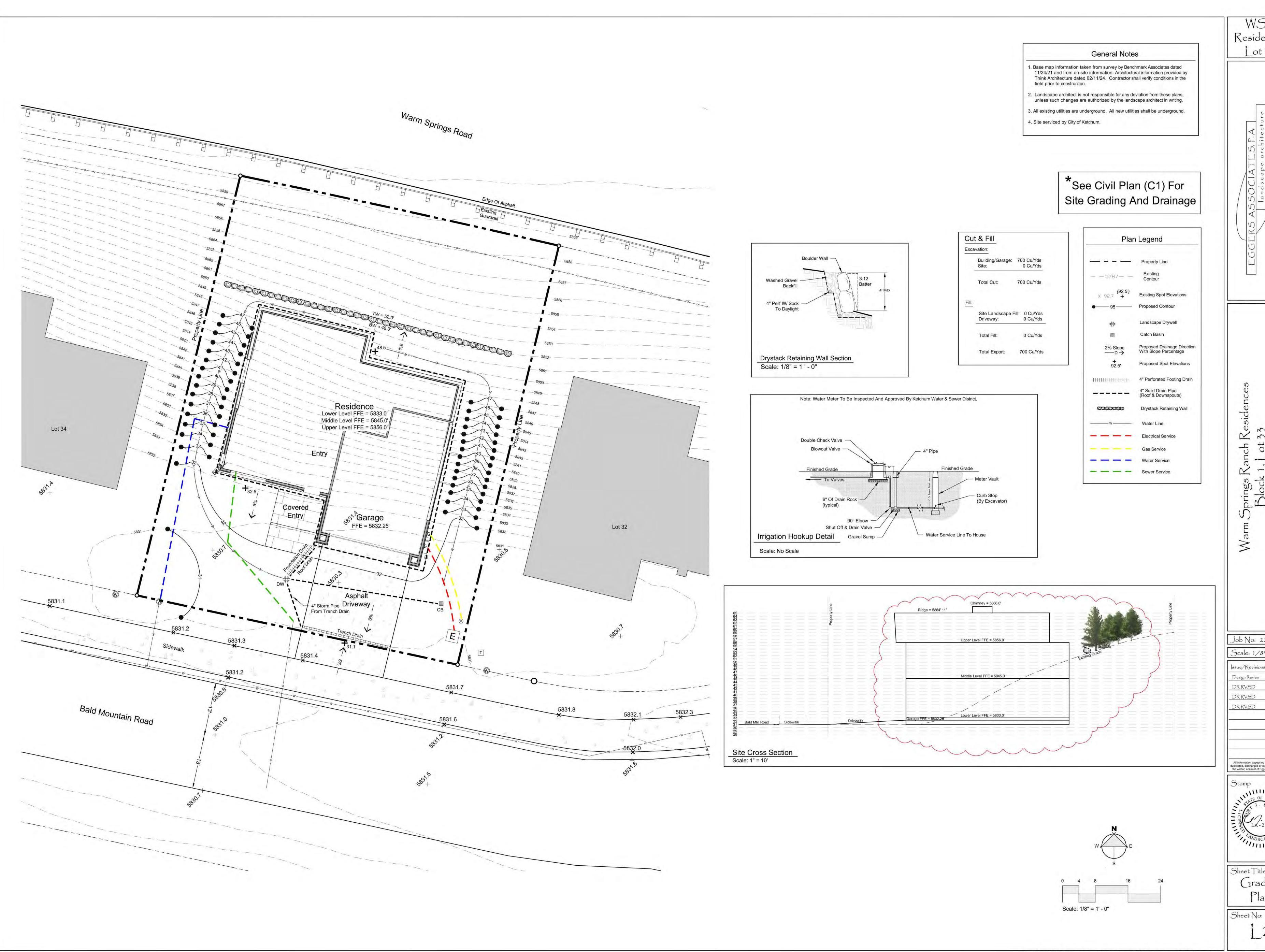
Scale: 1/8"=1'-0" Issue/Revisions: Date: Design Review 03/17/23

DR RVSD DR RVSD DR RVSD

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Sheet Title: (onstruction ||Management

Sheet No:

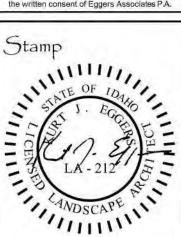


WSR Residences _ot 33

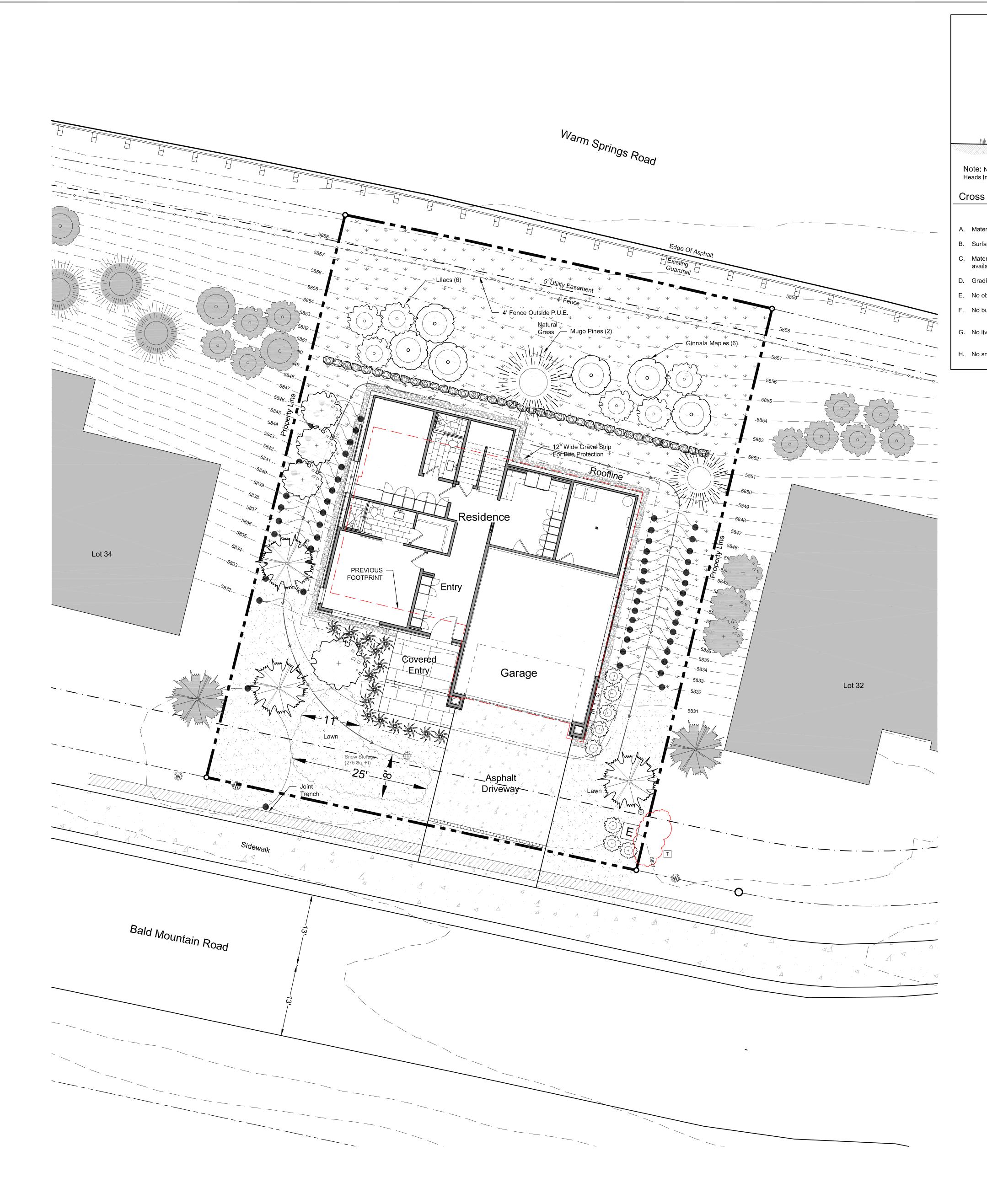
Job No: 22.26 Scale: 1/8"=1'-0" Issue/Revisions: Date: Design Review 03/17/23

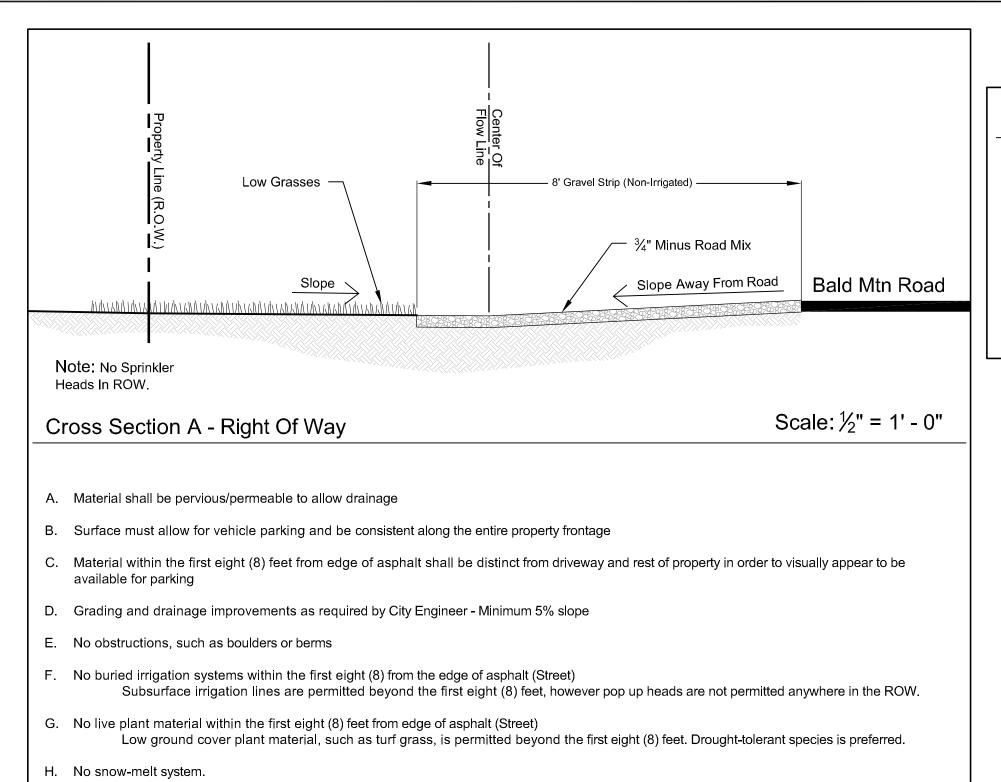
DR RVSD DRRVSD DR RVSD 02/16/24

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Sheet Title: Grading Plan



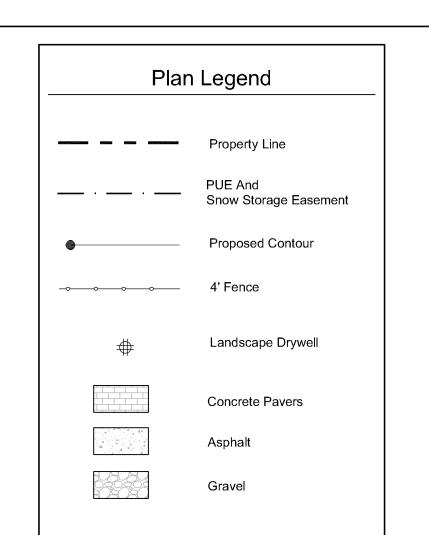


Plant Legend					
	Qty.	Common Name	Botanical Name	<u>Size</u>	
W ₁		Conifer Trees			
	2	Mugo Pine	Pinus mugo	12' -16'	
2	3	Subalpine Fir	Abies lasiocarpa	12'-14'	
-		Deciduous Trees			
	4	Aspen	Populus tremuloides	12'-14'	
	6	Ginnala Maple	Acer spp.	20 gal. (6')	
	14	Deciduous Shrubs		5-20 gal.	
		Lilac Alpine Currant Burning Bush Cotoneaster Dogwood Mockorange Ninebark Snowberry Spirea	Syringa spp. Ribes alpinum Euonymus alatus Cotoneaster spp. Cornus spp. Philadelphus spp. Physocarpus spp. Symphoricarpos spp. Spirea spp.		
*	30	Ornamental Grasses		Flats	
, ,		Blue Fescue Ribbon Grass <i>Karl Foerster Feather Reed</i>	Festuca ovina gluca Phalaris arundinacea 'Picata' C arundinacea 'Karl Foerster'		
· · · · · · · · · · · · · · · · · · ·	3,700 Sq.Ft.	Grasses & Wildflowers		Sod or Seed	
_ ; <u>_</u> v	(20%) (20%) (20%) (20%) (20%)	Hard Fescue Chewing Fescue Sheep Fescue Creeping Red Fescue Wildflowers	Festuca trachyphylla Festuca rubra var. commutata Festuca ovina Festuca rubra Various		
	1,600 Sq.Ft.	Grasses - Lawn Mix		Sod or Seed	
	(33%) (33%) (33%)	Tall Fescue Hard Fescue Chewing Fescue	Festuca arundinacea Festuca trachyphylla Festuca rubra var. commutata		

General Notes

1. Base map information taken from survey by Benchmark Associates dated 11/24/21 and from on-site information. Architectural information provided by Think Architecture dated 02/11/24. Contractor shall verify conditions in the field prior to construction.

2. Landscape architect is not responsible for any deviation from these plans, unless such changes are authorized by the landscape architect in writing. 3. All existing utilities are underground. All new utilities shall be underground. 4. Site serviced by City of Ketchum.



Irrigation C	Calculation
(Lot = ±	22 Acres)
Description	Square Footage
Natural Grass	5,300 sq.ft.
Planter Beds	100 sq.ft.
Total Irrigated Area	5,400 sq.ft.
	+/12 Acres

Snow S	torage
Driveway Area: Walkway Area:	765 sq ft 72 sq ft x .30%
Required Area:	251 sq ft
Snow Storage Provided:	275 sq ft

Per Development Agreement:

1) Landscaping Shall Be Drought Tolerant

 Irrigation System Shall Be Equipped With Shut Off Valve Not Impacting Water Service To Residence

Irrigation System Shall Be Water Efficient In Ground Components, Controller With Rain/Freeze Sensor.

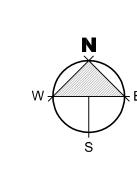
4) Isolate Zones Per Plant Type And Exposure.

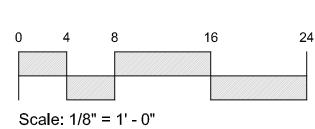
Landscape Notes:

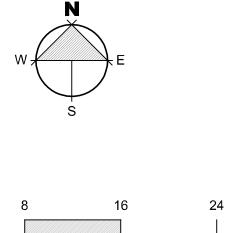
1) The Area 12" Horizontal From The Base Of A Wall Shall Be Finished In A Way To Prevent Any Vegetation Growing, And For Vegetative Debris To Be Easily Removed.

2) Any Trees With Crowns Closer Than 30 Feet To Any Structure Shall Be Limbed Up A Minimum Of 6' From Ground Level.

3) Any Tree Crowns Shall Be Pruned To Have A Minimum 10' Horizontal Clearance From Any Structure.







WSR Residences Lot 33

Sheet Title: Landscape Plan Sheet No:

Job No: 22.26

Scale: 1/8"=1'-0"

Issue/Revisions: Date:

DR RVSD

DR RVSD

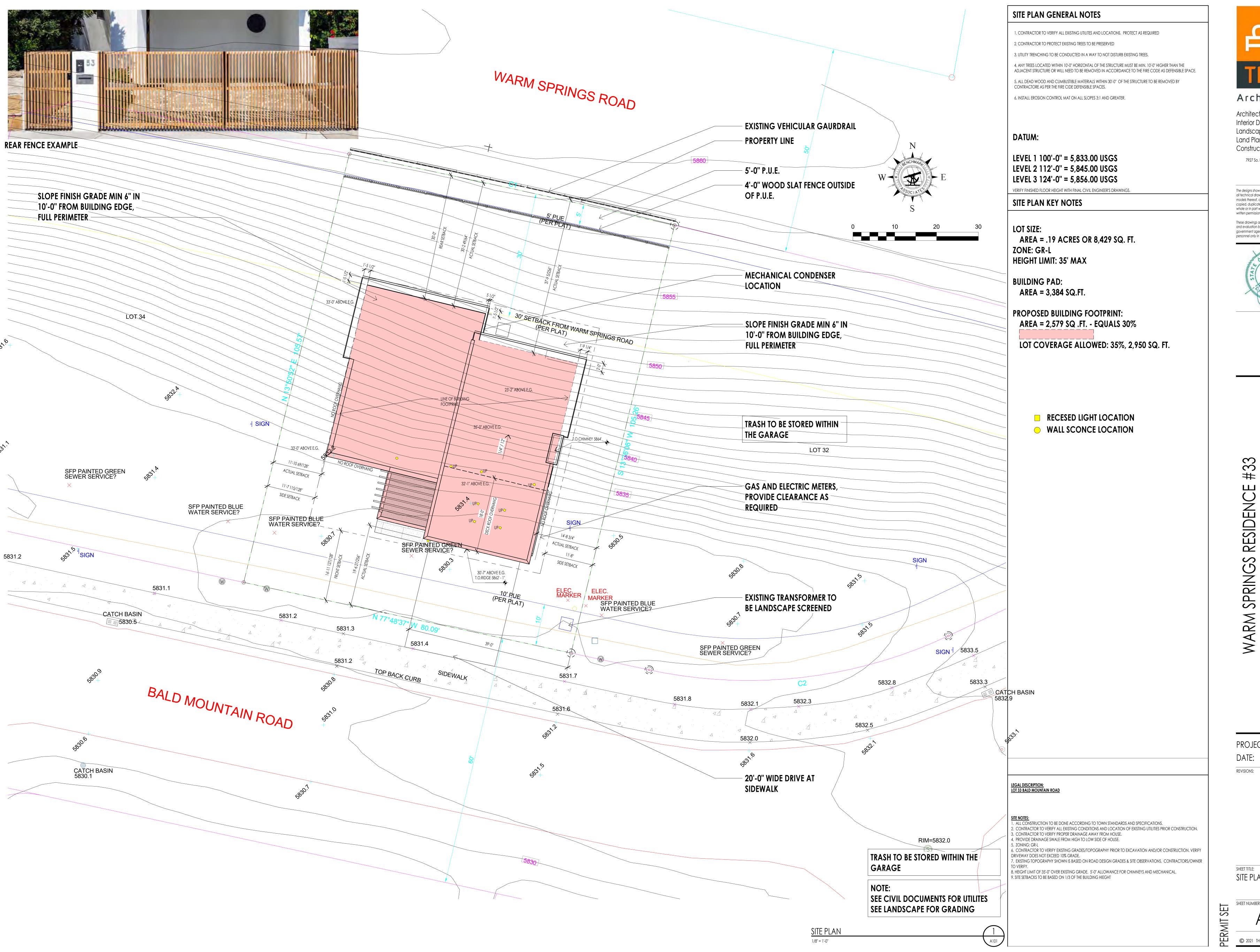
DR RVSD

DR RVSD

DR RVSD

Design Review 03/17/23

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33

PROJECT NC22023.33

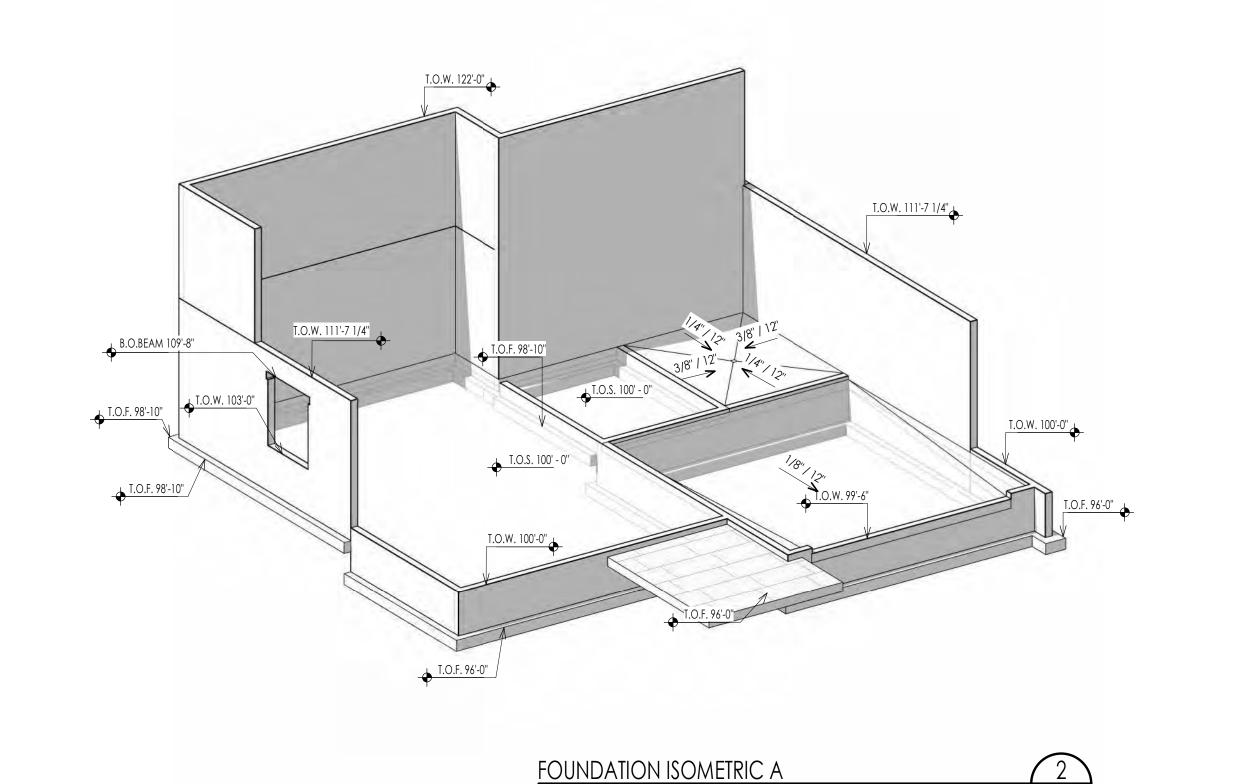
DATE: 2023.11.06 **REVISIONS:**

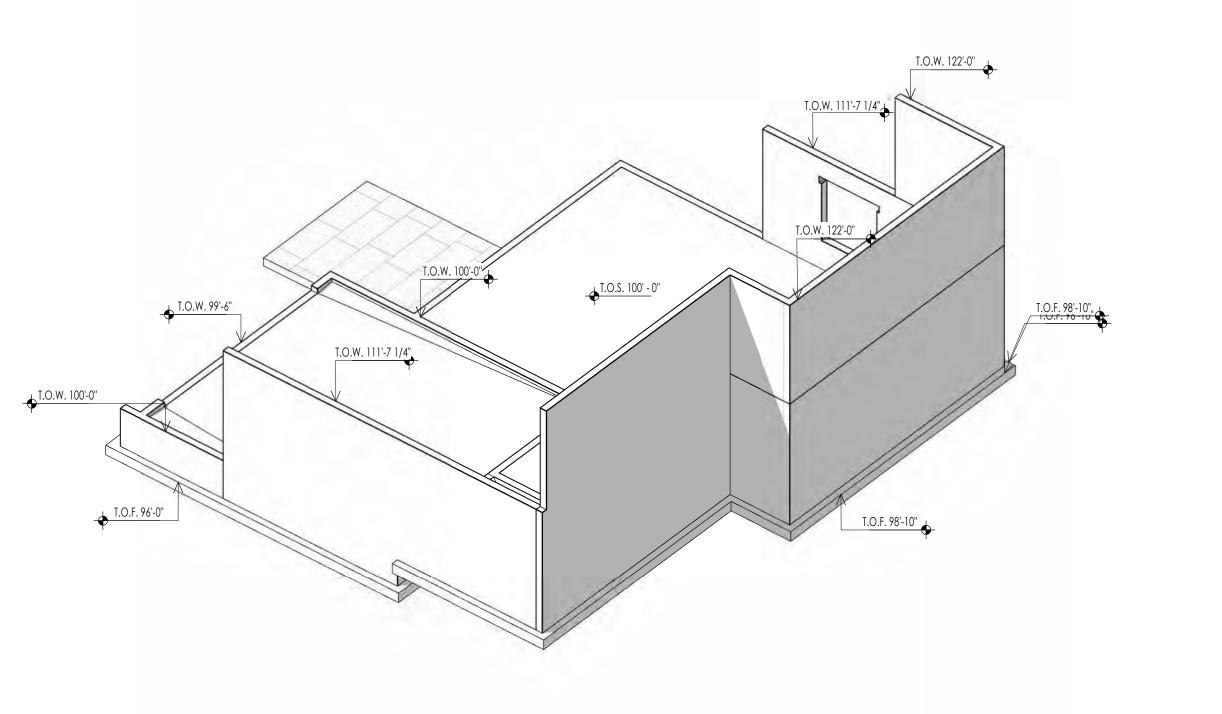
SHEET TITLE: SITE PLAN

SHEET NUMBER:

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<u>LEVEL 1 - SLAB PLAN</u> 1/4" = 1'-0"





FOUNDATION ISOMETRIC B

FOUNDATION PLAN LEGEND HATCH PATTERN DESCRIPTION POURED IN PLACE CONCRETE. 2" RIGID FOAM INSULATION TO EXTEND FROM BOTTOM OF SLAB DOWN TO FOOTING AND HORIZONTALLY UNDER SLAB 4'-0" MIN. AT PERIMETER OF

FOUNDATION PLAN SYMBOLS LEGEND

SYMBOL	DESCRIPTION	
FS — • — FS	FOOTING STEP	
ws - ws	WALL STEP	
T.O.F	TOP OF FOOTING ELEVATION	
T.O.W	TOP OF WALL ELEVATION	
T.O.S	TOP OF SLAB ELEVATION	
T.O. PIER	TOP OF PIER ELEVATION	
'		

FOUNDATION GENERAL NOTES

1. COORDINATE ARCHITECTURAL FOUNDATION PLAN WITH STRUCTURAL FOUNDATION PLAN. CONTRACTOR SHALL REPORT ANY DISCREPANCIES IN THE PLANS TO THE ARCHITECT PRIOR TO COMMENCING RELATED WORK.

2. COORDINATE MECHANICAL, ELECTRICAL, & PLUMBING PRIOR TO CONSTRUCTION OF FOOTINGS & FOUNDATION. 3. VERIFY ELEVATIONS OF FOUNDATION WALLS & FOOTINGS. COORDINATE WITH SITE PLAN & PROPOSED

4. CONCRETE FLOOR SLABS, EXCEPT THOSE IN UNHEATED ACCESSORY STRUCTURES, SHALL HAVE A VAPOR RETARDER CONSISTING OF 6 MIL. POLYETHYLENE (OR APPROVED EQUAL) VAPOR RETARDER WITH JOINTS LAPPED NOT LESS THAN 6 INCHES PLACED BETWEEN THE CONCRETE FLOOR SLAB & THE BASE COURSE OF THE PREPARED SUB-GRADE WHERE NO BASE COURSE EXISTS.

5. FOUNDATION REBAR INSPECTIONS ARE REQUIRED FOR FOUNDATION WALLS OVER 8 FEET HIGH. FORMS ARE NOT TO BE INSTALLED ON ONE SIDE UNTIL AFTER THE REBAR HAS BEEN INSPECTED.

D	DATUM ELEVATIONS			
ARCHITECTURE	CIVIL	LEVEL		
87' - 6"	-	LEVEL 00 - TOP OF SLAB		
88' - 6"	-	LEVEL 0 - TOP OF SLAB		
99' - 0"	-	TOP OF SLAB AT FRONT OF GARAC		
100' - 0"	-	LEVEL 1 - TOP OF PLYWOOD		

FL-13 SL-1 SL-2	PROVIDE "SCHLTER" KERDI-LINE LINEAR TRENCH DRAIN AGAINST BENCH, INTERIOR DESIGNER TO PROVIDE DRAIN COVER SPEC. CONTRACTOR TO COORDINATE LOCATION OF FLOOR DRAIN - SLOPE SLAB TOWARDS DRAIN AS REQUIRED CAST IN PLACE FOOTINGS TO BEAR ON UNDISTURBED SOIL OR ENG COMPACTED FILL - SEE STRUCTURAL
	REQUIRED
SL-2	CASTINI DI ACE ECOTINOS TO READ ON HIDOSTIDISCI DO BOLO COMPACTED ELL. SEE STRUCTURAL
	GENERAL NOTES & PROJECT MANUAL
SL-3	CAST IN PLACE FOUNDATION WALLS W/WATER PROOFING AS NOTED - SEE STRUCTURAL NOTES AND DETAILS
SL-4	PROVIDE BLOCKOUT AT FOUNDATION WALL AT DOOR OPENINGS AND POUR SLAB OVER TOP OF WALL SEE DETAILS
SL-5	CAST IN PLACE INTERIOR CONCRETE SLABS TO BE 4" CONCRETE SLAB REINFORCED WITH FIBER MESH OVER 4" GRAVEL BASE - SEE STRUCTURAL NOTES
SL-6	CAST IN PLACE GARAGE CONCRETE SLABS TO BE 5" CONCRETE SLAB OVER 4" GRAVEL BASE AND FINISH AS NOTED - SEE STRUCTURAL NOTES
SL-8	CONTRACTOR TO COORDINATE FOOTING STEPS TO ASSURE REQUIRED FROST PROTECTION AT EACH FOOTING - NOTIFY ARCHITECT IF FOOTING ELEVATIONS NEED TO CHANGE
SL-9	CONTRACTOR TO COORDINATE FOUNDATION WALL STEPS WITH FINAL GRADING SPECIFIED AND NOTIFY ARCHITECT OF CHANGES PRIOR TO POURING CONCRETE FOUNDATION
SL-18	PROVIDE A U-FER GROUND. AN ELECTRODE ENCASED BY A LEAST 2" OF CONCRETE SHALL BE LOCATED NEAR THE BOTTOM OF THE CONCRETE FOUNDATION SYSTEM AND SHALL BE IN DIRECT CONTACT WITH THE EARTH, CONSISTING OF AT LEAST 20 FEET OF BARE ELECTRICALLY CONDUCTIVE ROD AT LEAST 1/2 INCH IN DIAMETER OR BARE COPPER CONDUCTOR NOT SMALLER THAN 4 AWG. (I.R.C. E3508.1.2 AND N.E.C. 250.50)
SL-20	WARP SLAB AT GARAGE DOORS TO PROVIDE DRAINAGE TOWARD THE DOOR OPENING
SL-21	PROVIDE RIGID FOAM INSULATION BELOW ENTIRE FLOOR SLAB AT LEVEL 0 - SEE SCHEDULE FOR R VALUE - PROVIDE ISULTARP FOR INSULATION AND VAPOR BARRIER ON TOP OF RIGID INSULATION, TAPE ALL SEAMS AND INSTALL PER MANUF. AND SPECS.



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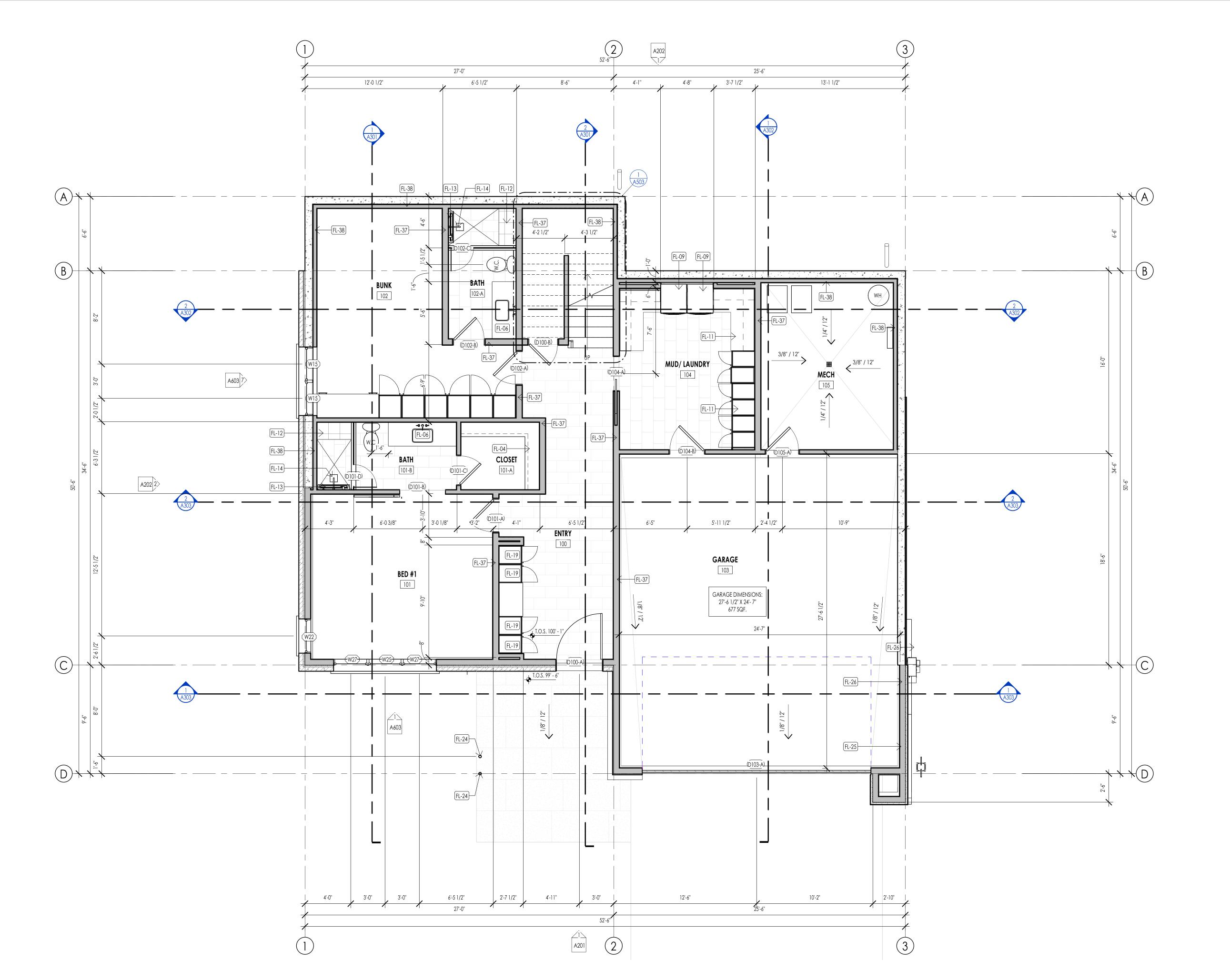


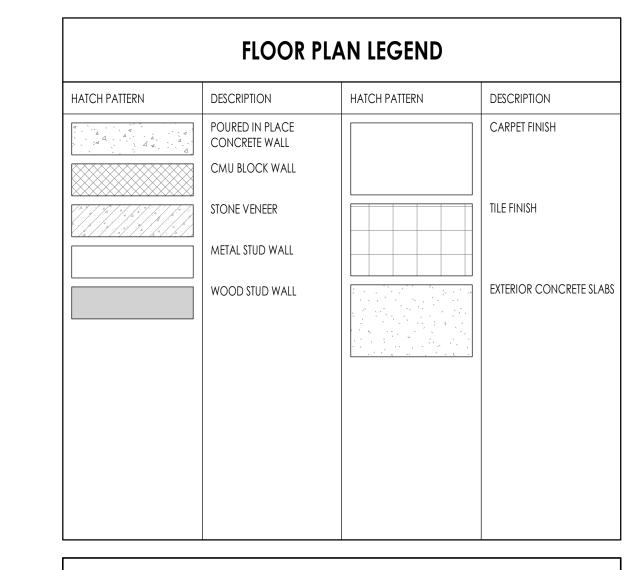
WARM SPRINGS RESIDENCE

PROJECT NC22023.33

REVISIONS:

SHEET TITLE:
FOUNDATION PLAN





FLOOR PLAN GENERAL NOTES

1. ALL DIMENSIONS ARE TO INTERIOR FACE-OF-STUD (F.O.S.) UNLESS NOTED OTHERWISE.

2. CEILING HEIGHTS MEASURED FROM PLYWOOD OR CONCRETE - SEE SECTIONS

3. REFER TO ENLARGED PLANS FOR ALL UNIT DIMENSIONS, WINDOW TYPES, DOORS AND WALLS. 4. REFER TO ENLARGED PLANS FOR ALL DECKS/PATIOS.

5. COORDINATE WITH ALL ENLARGED PLANS FOR ADDITIONAL INFORMATION AND DETAILS.

6. ALL TOPPING SLABS MUST BE POURED AFTER ROOF IS COMPLETE AND BUILDING IS DRIED IN.

7. SEE SHEET A002 FOR PROJECT GENERAL NOTES AND SHEET A003 FOR PROJECT KEYNOTES. REVIEW ALL NOTES PRIOR

8. COORDINATE WITH STRUCTURAL FRAMING PLANS AND SHEAR WALL PLANS FOR LOCATIONS OF COLUMNS, BEAMS, SHEAR WALLS, ETC.

9. COORDINATE WITH BUILDER/OWNER FOR ALL INTERIOR FINISHES

10. COORDINATE WITH ELECTRICAL DRAWINGS FOR ALL LIGHTING, POWER AND DATA REQUIREMENTS.

11. ALL EXTERIOR WALLS ARE ASSUMED TO BE 2X6 STUD WALLS UNLESS SHOWN/NOTED OTHERWISE. 12. ALL INTERIOR WALLS ARE ASSUMED TO BE 2X4 STUD WALLS UNLESS SHOWN/NOTED OTHERWISE.

13. ALL ROOF TRUSSES TO HAVE RAISED ENERGY HEEL CONSTRUCTION TO ALLOW FOR FULL DEPTH INSULATION OVER EXTERIOR WALLS (COORDINATE INSULATION REQUIREMENTS WITH RESCHECKS).

	FLOOR PLAN KEYNOTES				
	KEYNOTES				
FL-04	CLOSET SHELVING/ ROD - PER INTERIOR DESIGNER				
FL-06	BATHROOM SINK - VANITY PER INTERIOR DESIGNER				
FL-09	STACKED WASHER AND DRYER. CONTRACTOR TO COORDINATE WITH MECHANICAL AND ELECTRICA				
FL-11	CABINET SYSTEM/SHELVING PER INTERIOR DESIGNER				
FL-12	PROVIDE SHOWER BENCH AS PER OWNER/ INTERIOR DESIGN				
FL-13	PROVIDE "SCHLTER" KERDI-LINE LINEAR TRENCH DRAIN AGAINST BENCH, INTERIOR DESIGNER TO PROVIDE DRAIN COVER SPEC.				
FL-14	SHOWER HEAD PER INTERIOR DESIGN				
FL-19	BUILT IN MUD/GEAR CABINETS AS PER INTERIOR DESIGNER				
FL-24	STRUCTURAL HOLLOW COLUMNS AS PER STRUCT.				
FL-25	PROVIDE HOT/COLD HOOK UP				
FL-26	PROVIDE 50 AMP EV CONNECTION POINT				
FL-37	2X6 STUD WALL ROUGH FRAMING, 16" O.C. U.N.O., SEE DETAILS.				
FL-38	2X4 BASEMENT STUD FURRING WALL, 16" O.C. SEE DETAILS.				



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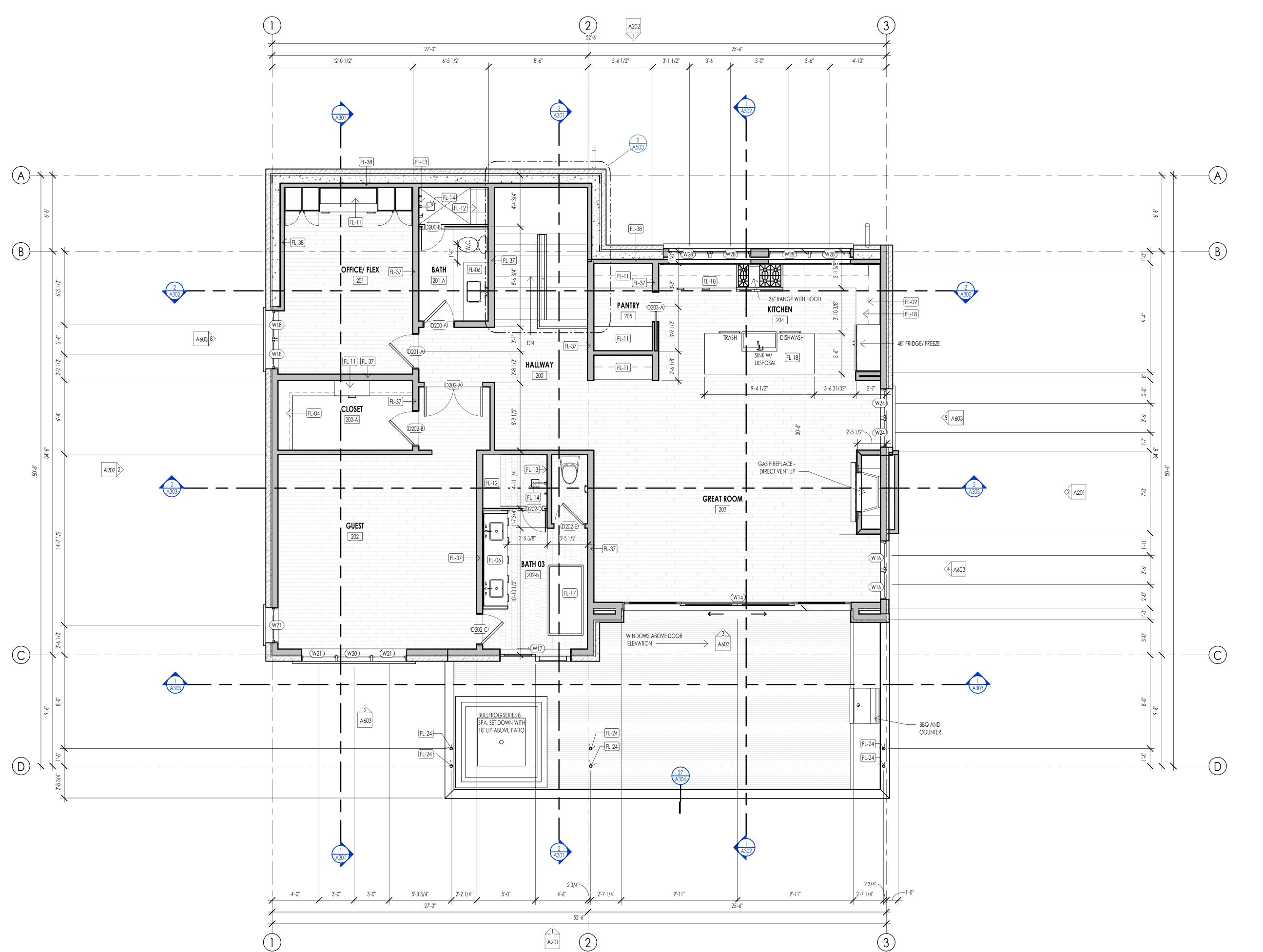
PROJECT NC22023.33 DATE: 2023.11.06

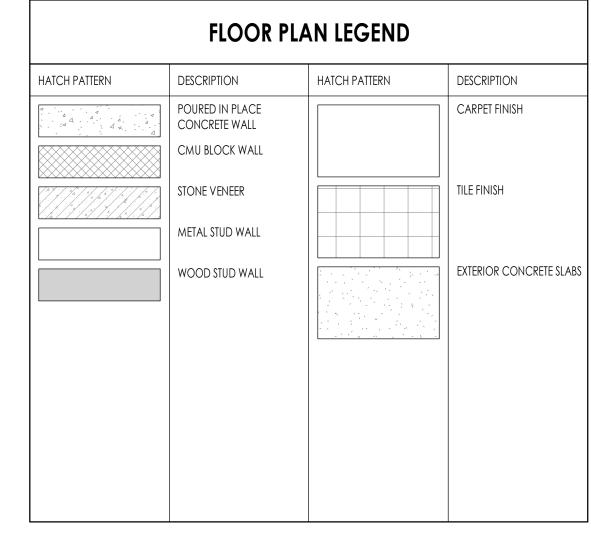
REVISIONS:

WARM SPRINGS RESIDENCE #33

SHEET TITLE:

LEVEL 1 FLOOR PLAN





FLOOR PLAN GENERAL NOTES

1. ALL DIMENSIONS ARE TO INTERIOR FACE-OF-STUD (F.O.S.) UNLESS NOTED OTHERWISE.

2. CEILING HEIGHTS MEASURED FROM PLYWOOD OR CONCRETE - SEE SECTIONS

3. REFER TO ENLARGED PLANS FOR ALL UNIT DIMENSIONS, WINDOW TYPES, DOORS AND WALLS. 4. REFER TO ENLARGED PLANS FOR ALL DECKS/PATIOS.

5. COORDINATE WITH ALL ENLARGED PLANS FOR ADDITIONAL INFORMATION AND DETAILS.

6. ALL TOPPING SLABS MUST BE POURED AFTER ROOF IS COMPLETE AND BUILDING IS DRIED IN. 7. SEE SHEET A002 FOR PROJECT GENERAL NOTES AND SHEET A003 FOR PROJECT KEYNOTES. REVIEW ALL NOTES PRIOR

8. COORDINATE WITH STRUCTURAL FRAMING PLANS AND SHEAR WALL PLANS FOR LOCATIONS OF COLUMNS, BEAMS,

SHEAR WALLS, ETC.

9. COORDINATE WITH BUILDER/OWNER FOR ALL INTERIOR FINISHES

10. COORDINATE WITH ELECTRICAL DRAWINGS FOR ALL LIGHTING, POWER AND DATA REQUIREMENTS.

11. ALL EXTERIOR WALLS ARE ASSUMED TO BE 2X6 STUD WALLS UNLESS SHOWN/NOTED OTHERWISE.

EXTERIOR WALLS (COORDINATE INSULATION REQUIREMENTS WITH RESCHECKS).

12. ALL INTERIOR WALLS ARE ASSUMED TO BE 2X4 STUD WALLS UNLESS SHOWN/NOTED OTHERWISE. 13. ALL ROOF TRUSSES TO HAVE RAISED ENERGY HEEL CONSTRUCTION TO ALLOW FOR FULL DEPTH INSULATION OVER

	FLOOR PLAN KEYNOTES				
	KEYNOTES				
FL-02	OVERHEAD CABINETS PROJECTION				
FL-04	CLOSET SHELVING/ ROD - PER INTERIOR DESIGNER				
FL-06	BATHROOM SINK - VANITY PER INTERIOR DESIGNER				
FL-11	CABINET SYSTEM/SHELVING PER INTERIOR DESIGNER				
FL-12	PROVIDE SHOWER BENCH AS PER OWNER/ INTERIOR DESIGN				
FL-13	PROVIDE "SCHLTER" KERDI-LINE LINEAR TRENCH DRAIN AGAINST BENCH, INTERIOR DESIGNER TO PROVIDE DRAIN COVER SPEC.				
FL-14	SHOWER HEAD PER INTERIOR DESIGN				
FL-17	TUB/ SOAKER TUB AS PER INTERIOR DESIGNER				
FL-18	KITCHEN SINK W/DISPOSAL - COUNTERTOP - CABINETS PER INTERIOR DESIGN				
FL-24	STRUCTURAL HOLLOW COLUMNS AS PER STRUCT.				



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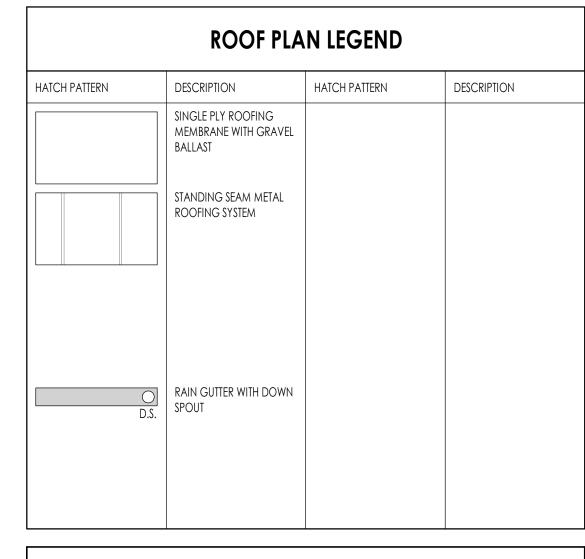
FL-37 2X6 STUD WALL ROUGH FRAMING, 16" O.C. U.N.O., SEE DETAILS.
FL-38 2X4 BASEMENT STUD FURRING WALL, 16" O.C. SEE DETAILS.

PROJECT NC22023.33 DATE: 2023.11.06

REVISIONS:

WARM SPRINGS RESIDENCE #33

SHEET TITLE:
LEVEL 2 FLOOR PLAN



ROOF PLAN GENERAL NOTES

1. SEE SHEET G002 FOR PROJECT GENERAL NOTES. REVIEW ALL NOTES PRIOR TO CONSTRUCTION.

2. FLASH ALL ROOF PENETRATIONS WHETHER SHOWN OR NOT.

3. COORDINATE WITH MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR ALL ROOF PENETRATIONS.4. PROVIDE HEAT TRACE IN ALL RAIN GUTTERS, DOWN SPOUTS AND RAIN CHAINS.

5. ROOFING CONTRACTOR SHALL REVIEW ALL SUBSTRATES PRIOR TO BEGINNING WORK.

6. ALL ROOFING SHALL BE REVIEWED PRIOR TO INSTALLATION.

7. CONTRACTOR IS RESPONSIBLE TO ASSUME THAT NO ROOF SLOPES CREATE DEAD SPOTS OR LOW SPOTS THAT WILL PREVENT DRAINAGE.

8. ALL ROOF TRUSSES TO HAVE RAISED ENERGY HEEL CONSTRUCTION TO ALLOW FOR FULL DEPTH INSULATION OVER EXTERIOR WALLS (COORDINATE INSULATION REQUIREMENTS WITH RESCHECKS).

9. DIMENSIONS SHOWN ON THE ROOF PLAN ARE FROM THE EXTERIOR SIDE OF THE STUD FRAMING BELOW.

ROOF PLAN KEYNOTES							
KEYNOTES							

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REVISIONS:

SHEET TITLE:
ROOF PLAN

SHEET NUMBER:

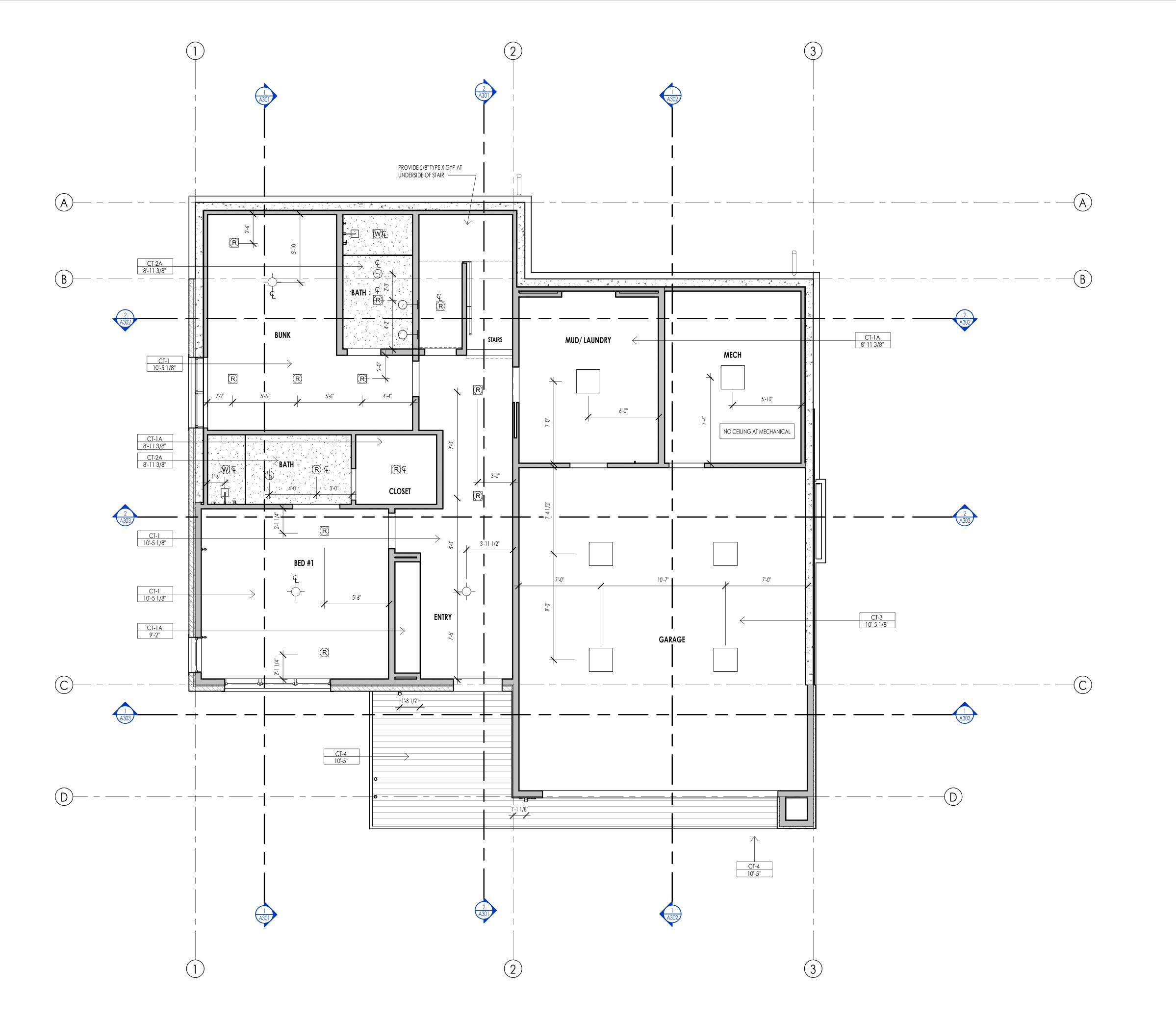
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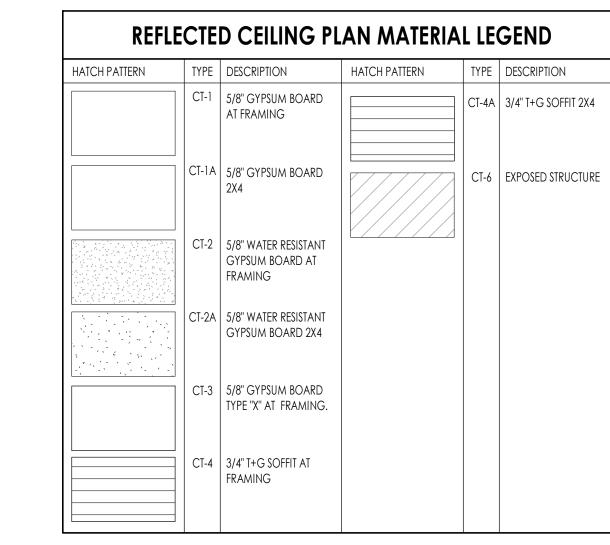
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A107





REFLECTED CEILING PLAN GENERAL NOTES

 ALL DIMENSIONS ARE TO INTERIOR FACE-OF-STUD (F.O.S.) UNLESS NOTED OTHERWISE.
 ALL CEILING HEIGHTS MEASURED FROM TOP OF PLYWOOD OR CONCRETE SLAB TO BOTTOM OF CEILING FRAMING, U.N.O. - SEE SECTIONS.

3. REFER TO ENLARGED PLANS FOR ALL UNIT DIMENSIONS, WINDOW TYPES, DOORS AND WALLS.

4. REFER TO ENLARGED PLANS FOR ALL DECKS.

5. COORDINATE WITH ALL ENLARGED PLANS FOR ADDITIONAL INFORMATION AND DETAILS.6. SEE SHEET G002 FOR PROJECT SPECIFICATION LIST. REVIEW ALL NOTES PRIOR TO CONSTRUCTION.

7. COORDINATE WITH ELECTRCIAL DRAWINGS FOR ALL LIGHTING, POWER AND DATA REQUIREMENTS.

8. ALL INTERIOR FINISHES ARE NOTED FOR CONCEPT ONLY. SEE INTERIOR DRAWINGS FOR MATERIAL SPECIFICATIONS, COLORS, PATTERNS, AND OTHER REQUIREMENTS PRIOR TO INSTALLATION.

CEILING TAG SYMBOL

C1

CEILING TYPE

1' - 0"

HEIGHT

REFLECTED CEILING PLAN KEYNOTES

KEYNOTES

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DATE: 2023.11.06

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SHEET TITLE:

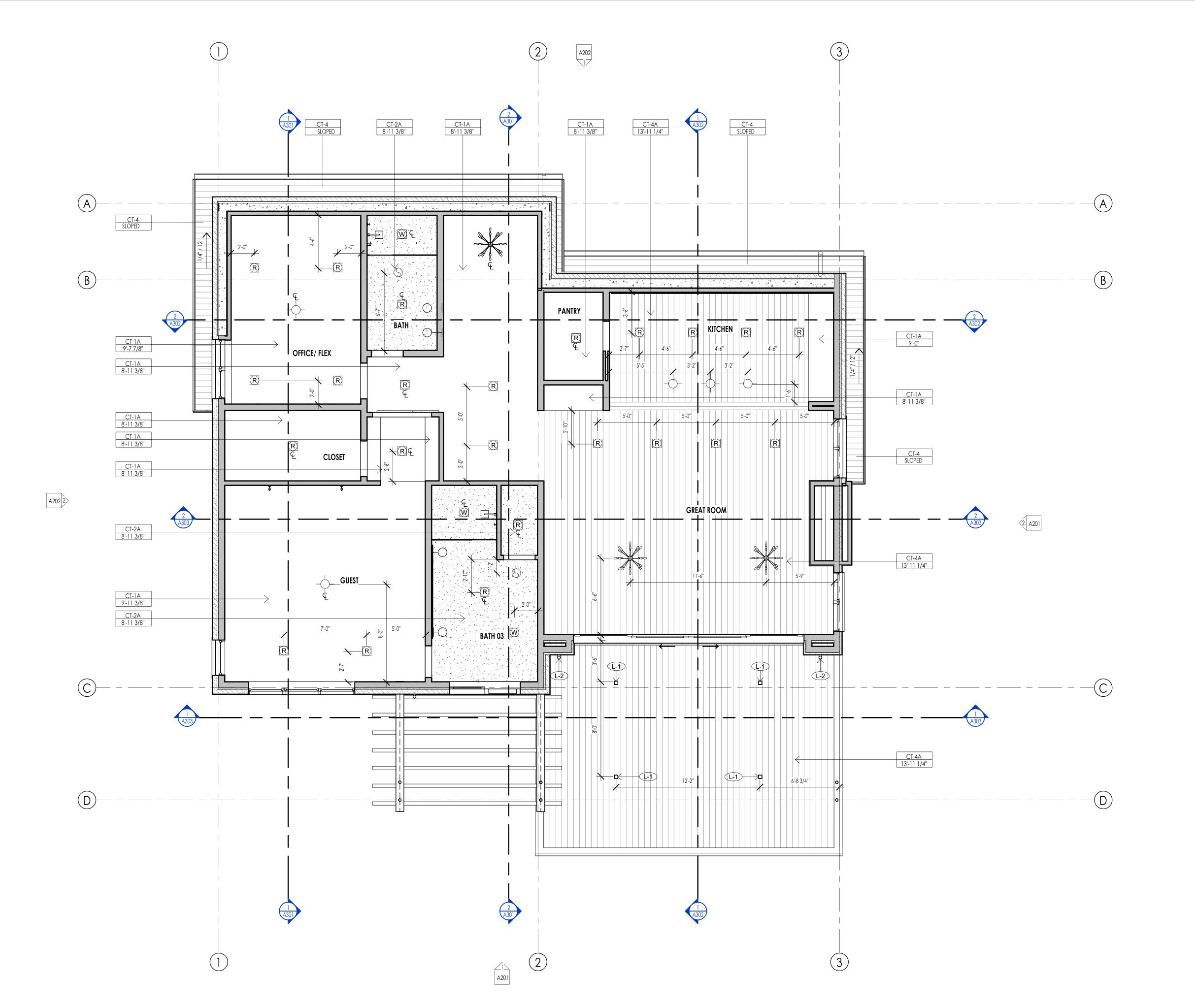
LEVEL 1 CEILING PLAN

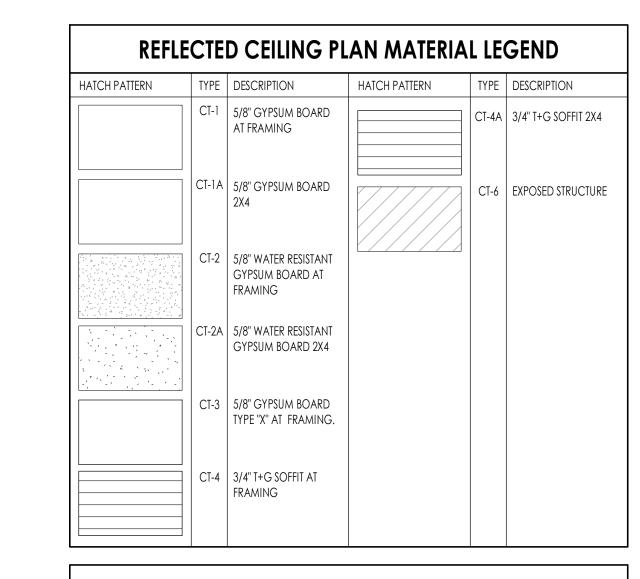
SHEET NUMBER

A 109
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LEVEL 1 - REFLECTED CEILING PLAN

1/4" = 1'-0"





REFLECTED CEILING PLAN GENERAL NOTES

1. ALL DIMENSIONS ARE TO INTERIOR FACE-OF-STUD (F.O.S.) UNLESS NOTED OTHERWISE. 2. ALL CEILING HEIGHTS MEASURED FROM TOP OF PLYWOOD OR CONCRETE SLAB TO BOTTOM OF CEILING FRAMING, U.N.O. - SEE SECTIONS.

3. REFER TO ENLARGED PLANS FOR ALL UNIT DIMENSIONS, WINDOW TYPES, DOORS AND WALLS.

4. REFER TO ENLARGED PLANS FOR ALL DECKS.

5. COORDINATE WITH ALL ENLARGED PLANS FOR ADDITIONAL INFORMATION AND DETAILS. 6. SEE SHEET G002 FOR PROJECT SPECIFICATION LIST. REVIEW ALL NOTES PRIOR TO CONSTRUCTION.

7. COORDINATE WITH ELECTRCIAL DRAWINGS FOR ALL LIGHTING, POWER AND DATA REQUIREMENTS.

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CEILING TAG SYMBOL DESCRIPTION C1 1' - 0" CEILING TYPE - HEIGHT

REFLECTED CEILING PLAN KEYNOTES

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and evaluation by clients, consultants, contractors,

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Land Planning

PROJECT NC22023.33 DATE: 2023.11.06

REVISIONS:

SHEET TITLE:
LEVEL 2 CEILING PLAN

LEVEL 2 - REFLECTED CEILING PLAN

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WARM SPRINGS RESIDENCE

PROJECT NC22023.33

REVISIONS:

EXTERIOR ELEVATIONS

Architecture Interior Design Landscape Architecture Land Planning Construction Managemen

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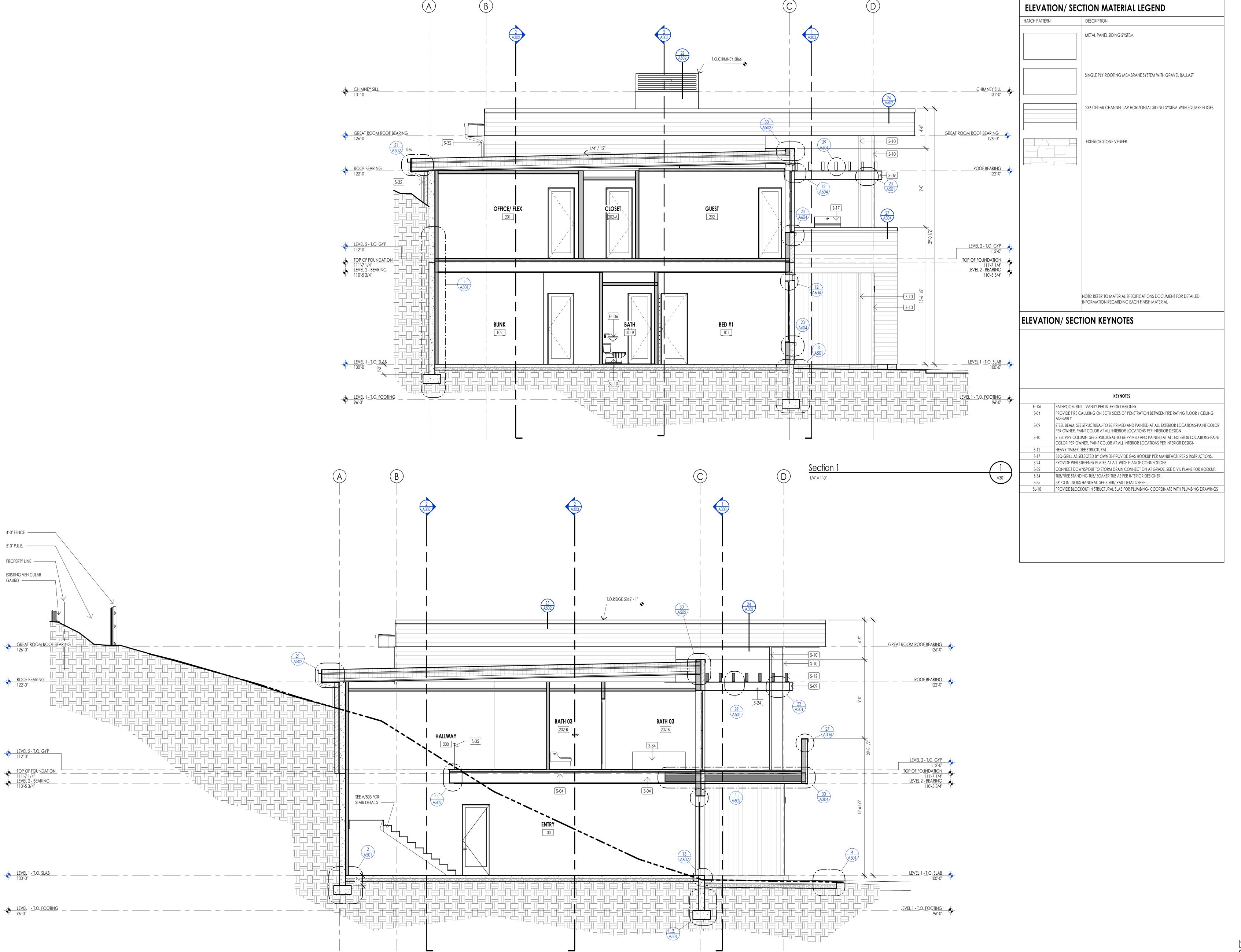


WARM SPRINGS RESIDENCE

PROJECT NC22023.33 DATE: 2023.11.06

REVISIONS:

EXTERIOR ELEVATIONS



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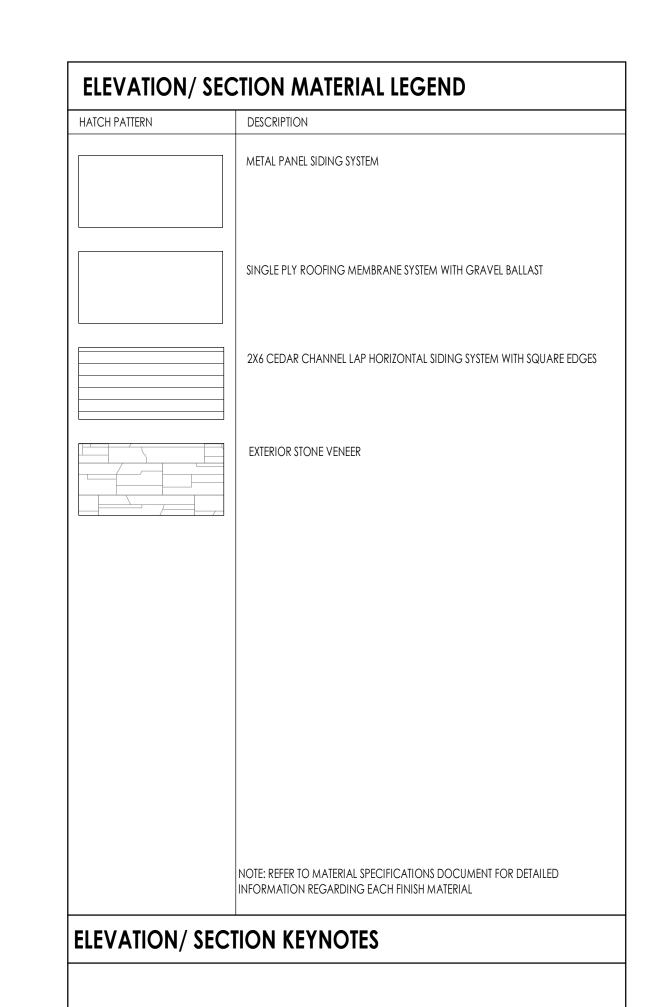


WARM SPRINGS RESIDENCE

PROJECT NC22023.33

REVISIONS:

SHEET TITLE:
BUILDING SECTIONS



	KEYNOTES
FL-29	36" HANDRAIL SEE STAIR/ RAIL DETAILS SHEET.
S-04	PROVIDE FIRE CAULKING ON BOTH SIDES OF PENETRATION BETWEEN FIRE RATING FLOOR / CEILING ASSEMBLY
S-07	MECHANICAL-AIR CONDITIONER UNIT- SEPARATION BETWEEN UNITS AND MAINTENANCE CLEARANCE PER MANUF.
S-09	STEEL BEAM, SEE STRUCTURAL-TO BE PRIMED AND PAINTED AT ALL EXTERIOR LOCATIONS-PAINT COLOF PER OWNER, PAINT COLOR AT ALL INTERIOR LOCATIONS PER INTERIOR DESIGN
S-10	STEEL PIPE COLUMN, SEE STRUCTURAL-TO BE PRIMED AND PAINTED AT ALL EXTERIOR LOCATIONS-PAIN COLOR PER OWNER, PAINT COLOR AT ALL INTERIOR LOCATIONS PER INTERIOR DESIGN
S-12	HEAVY TIMBER, SEE STRUCTURAL
S-15	PREFINISHED METAL CAP
S-18	GAS FIRED FURNACE PER MECHANICAL.
S-21	STACKABLE WASHER/ DRYER. COORDINATE W/ INTERIOR DESIGNER & CONSTRUCTION TRADES AS REQUIRED.
S-25	SPA, BULLFROG A8 SERIES COORDINATE FOR SHUT OFF SWITCH AND HOT-COLD HOOK UP PER MANUF
S-26	MECHANICAL - HOT WATER BOILER
S-27	MECHANICAL - GAS FIRED FURNACE
S-32	CONNECT DOWNSPOUT TO STORM DRAIN CONNECTION AT GRADE. SEE CIVIL PLANS FOR HOOKUP.
S-33	BATHROOM SINK - VANITY PER INTERIOR DESIGNER.
S-36	KITCHEN SINK - COORDINATE W/ PLUMBING.
S-37	KITCHEN RANGE - COORDINATE FOR GAS AND ELECTRICAL - RANGE HOOD PER I.D.
S-38	PROVIDE 100% SOLIDS EPOXY, HIGH PERFORMANCE COATING.
SL-21	PROVIDE RIGID FOAM INSULATION BELOW ENTIRE FLOOR SLAB AT LEVEL 0 - SEE SCHEDULE FOR R



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Warm springs residence #

PROJECT NC22023.33

DATE: 2023.11.06

REVISIONS:

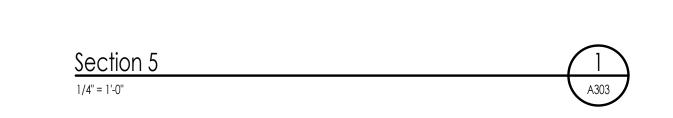
SHEET TITLE:
BUILDING SECTIONS

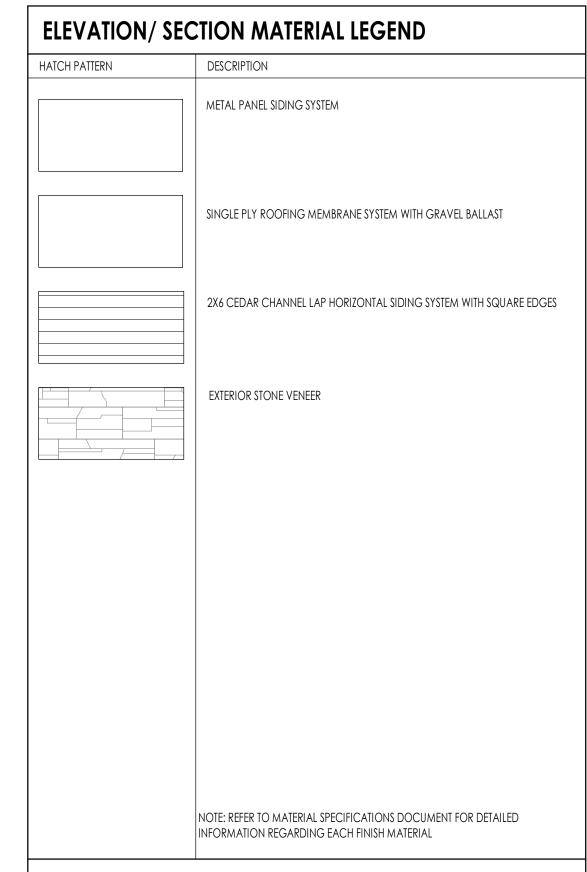
SHEET NUMBER:
A302

PROPERTY FENCE BEYOND

LEVEL 1 - T.O. SLAB 100'-0"

GUEST B





ELEVATION/ SECTION KEYNOTES

	KEYNOTES
EL-19	OVERFLOW ZURN DOWNSPOUT- PLUMBING.
S-04	PROVIDE FIRE CAULKING ON BOTH SIDES OF PENETRATION BETWEEN FIRE RATING FLOOR / CEILING ASSEMBLY
S-09	STEEL BEAM, SEE STRUCTURAL-TO BE PRIMED AND PAINTED AT ALL EXTERIOR LOCATIONS-PAINT COLOR PER OWNER, PAINT COLOR AT ALL INTERIOR LOCATIONS PER INTERIOR DESIGN
S-12	HEAVY TIMBER, SEE STRUCTURAL
S-14	FIREPLACE, AS SELECTED BY OWNER, WALL FINISHES PER INTERIOR DESIGN- PROVIDE GAS HOOKUP PER MANUFACTURER'S INSTRUCTIONS
S-15	PREFINISHED METAL CAP
S-19	SHOWER BENCH PER INTERIOR DESIGNER.
S-22	DIRECT VENT FLEX FLUE PIPE-SEE SPECS. PER MECHANICAL.
S-30	ELECTRICAL - MAIN ELECTRICAL PANEL WITH METER - INSTALLED AND COORDINATED AS REQUIRED BY UTILITY PROVIDER- SEE ELECTRICAL PLANS.
S-31	STAINLESS-STEEL COUNTERTOP.
S-35	36" CONTINOUS HANDRAIL SEE STAIR/ RAIL DETAILS SHEET.
S-36	KITCHEN SINK - COORDINATE W/ PLUMBING.
S-38	PROVIDE 100% SOLIDS EPOXY, HIGH PERFORMANCE COATING.
SL-9	CONTRACTOR TO COORDINATE FOUNDATION WALL STEPS WITH FINAL GRADING SPECIFIED AND NOTIFY ARCHITECT OF CHANGES PRIOR TO POURING CONCRETE FOUNDATION
SL-20	WARP SLAB AT GARAGE DOORS TO PROVIDE DRAINAGE TOWARD THE DOOR OPENING
SL-21	PROVIDE RIGID FOAM INSULATION BELOW ENTIRE FLOOR SLAB AT LEVEL 0 - SEE SCHEDULE FOR R VALUES - PROVIDE ISULTARP FOR INSULATION AND VAPOR BARRIER ON TOP OF RIGID INSULATION, TAP ALL SEAMS AND INSTALL PER MANUE AND SPECS

Architecture

Architecture Interior Design Landscape Architecture Land Planning Construction Management

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WARM SPRINGS RESIDENCE #33

PROJECT NC22023.33 DATE: 2023.11.06

REVISIONS:

SHEET TITLE:
BUILDING SECTIONS

Section 6

GREAT ROOM

Landscape Architecture

Construction Management

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Architecture Interior Design

Land Planning



REVISIONS:

- WINDOW UNIT AS PER SCHEDULE

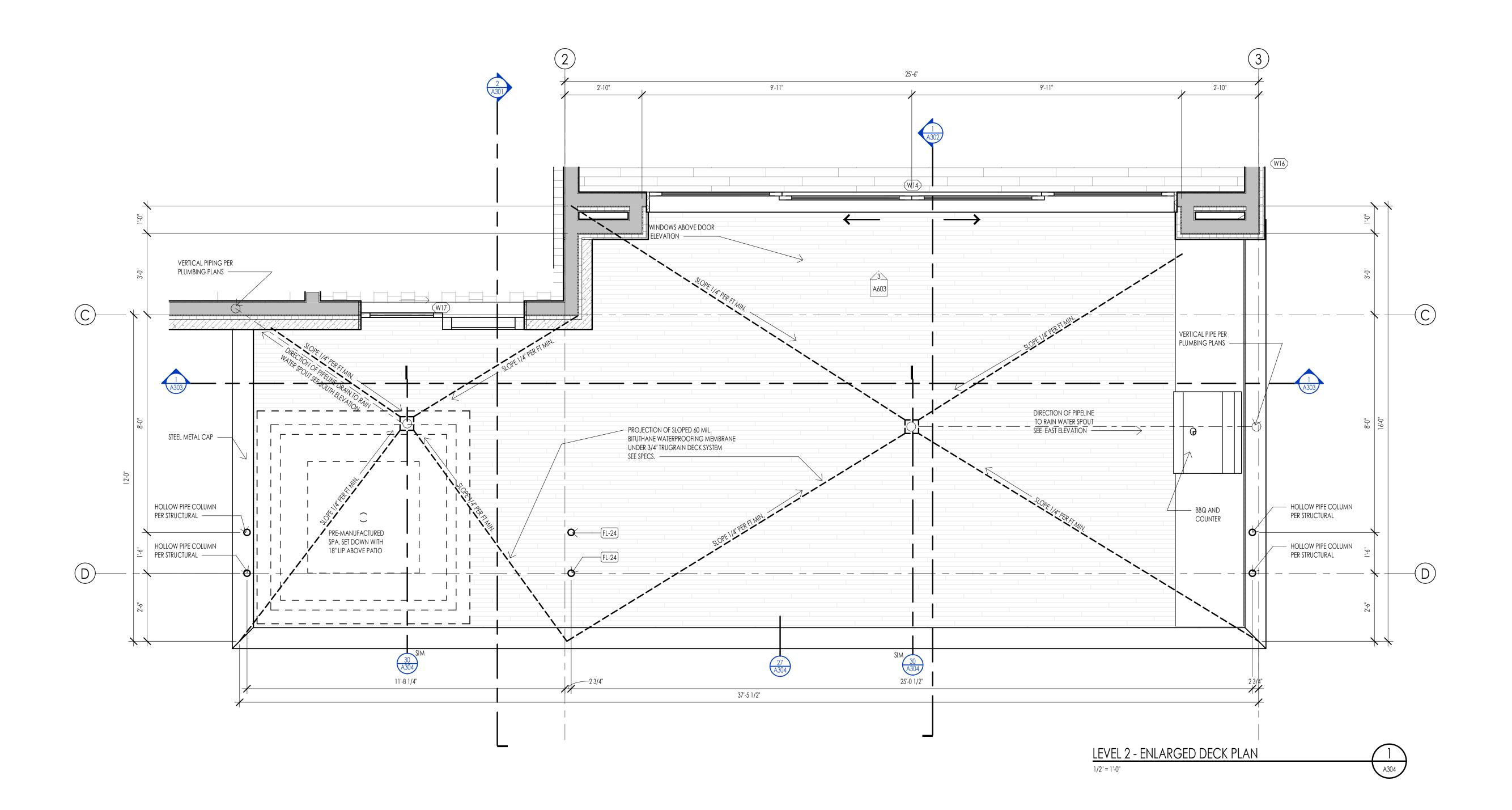
SHEET TITLE: ENLARGED DECK -

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DETAILS

SHEET NUMBER:

1 1/2" LIGHT WEIGHT TOPPING SLAB. SLOPE 1/4" PER FT MIN. 16" FLOOR TRUSSES AS PER STRUCTRUAL. BEAM AS PER STRUCTRUAL. — ALL DRAINS AT DECKS TO HAVE HEAT TRACE AND PROTECTION SCREENS (1) LAYERS 5/8" TYPE "X" GYP. BD.. -PROVIDE (2) LAYERS AT GARAGE LOCATIONS. AROUND DRAIN. — CLOSED CELL SPRAY INSULATION MIN. 12" SURROUNDING DRAINLINES MINIMUM 4 MIL. VAPOR BARRIER. DECK - DRAINAGE DETAIL 1 1/2" = 1'-0"



METAL PANEL SIDING ----

- EXTEND 60 MIL. BITUTHANE MEMBRANE WALL VENTILATION MATRIX OVER —

4" CHANNEL HORIZONTAL LAP SIDING
WITH SQUARE EDGES AT INTERIOR SIDE
OF DECK

1/2" SHEATHING OVER CUT 2X TREATED —
SLEEPERS AT 12" O.C... SLOPE TO DRAIN
1/2" PER FT. MIN.

UP AND OVER CURB AND OVER WALL BUILDING VAPOR BARRIER.

OF DECK

INTERIOR SIDE OF DECK

EXTERIOR SIDE

DECK - CAP OVER WALL DETAIL

OF DECK

EXTEND 60 MIL. BITUTHANE MEMBRANE — UP AND OVER CURB AND OVER WALL VENTILATION MATRIX SYSTEM.

9 1/4" FLOOR JOISTS AS PER STRUCTURAL. —

1X CEDAR SOFFIT —

WALL AS PER EXTERIOR FINISH —

3/4" "TRUGRAIN" DECK SYSTEM SEE SPEC ——

60 MIL. BITUTHANE WATERPROOFING MEMBRANE.
TAPERED RIGID INSULATION BETWEEN —

SLEEPERS

SLOPE 1/4" PER FT MIN.



WARM SPRINGS RESIDENCE #33

PROJECT NC22023.33

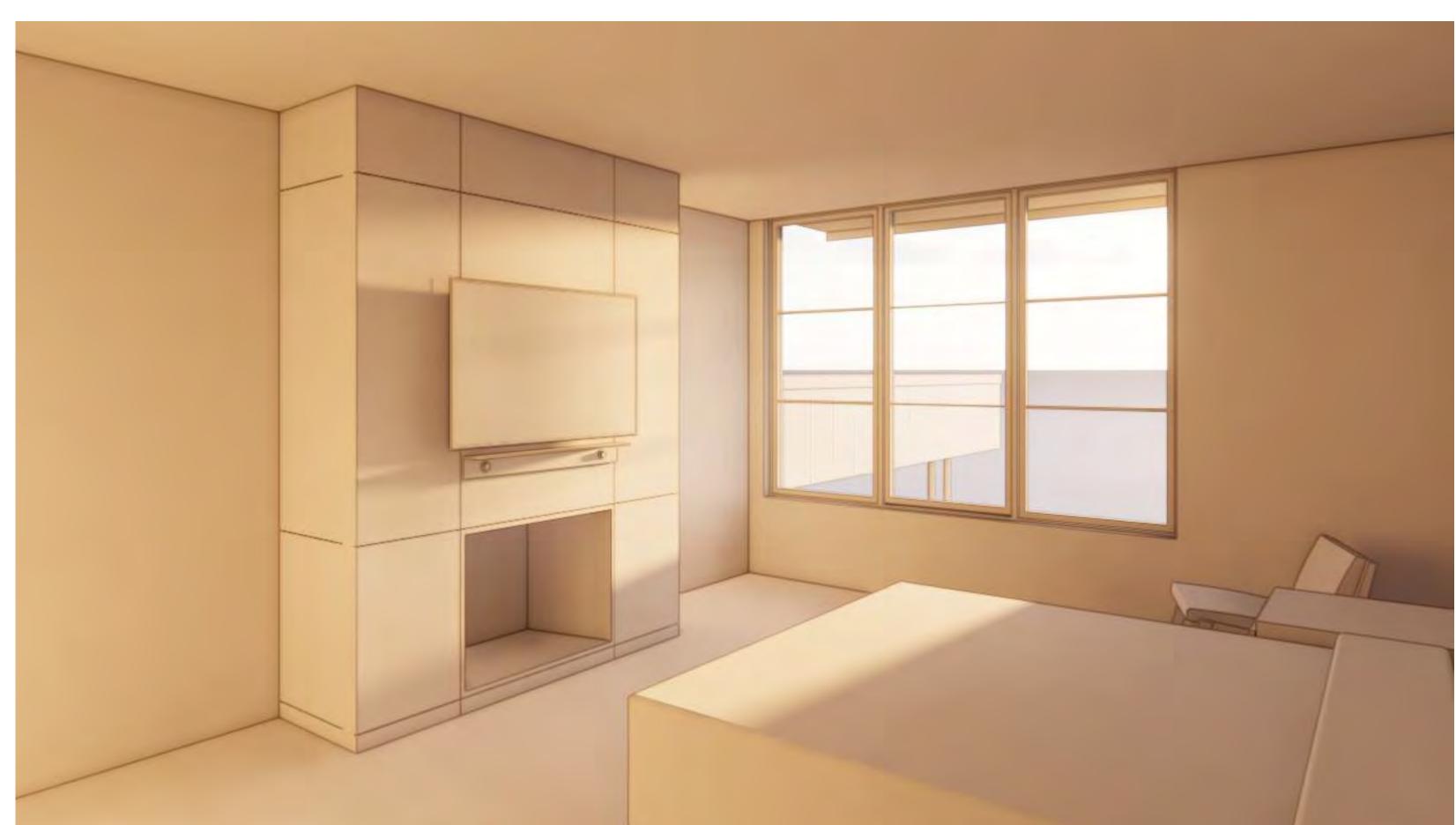
DATE: 2023.11.06

REVISIONS:

SHEET TITLE:
FIREPLACE ELEVATIONS



GREAT ROOM INTERIOR VIEW

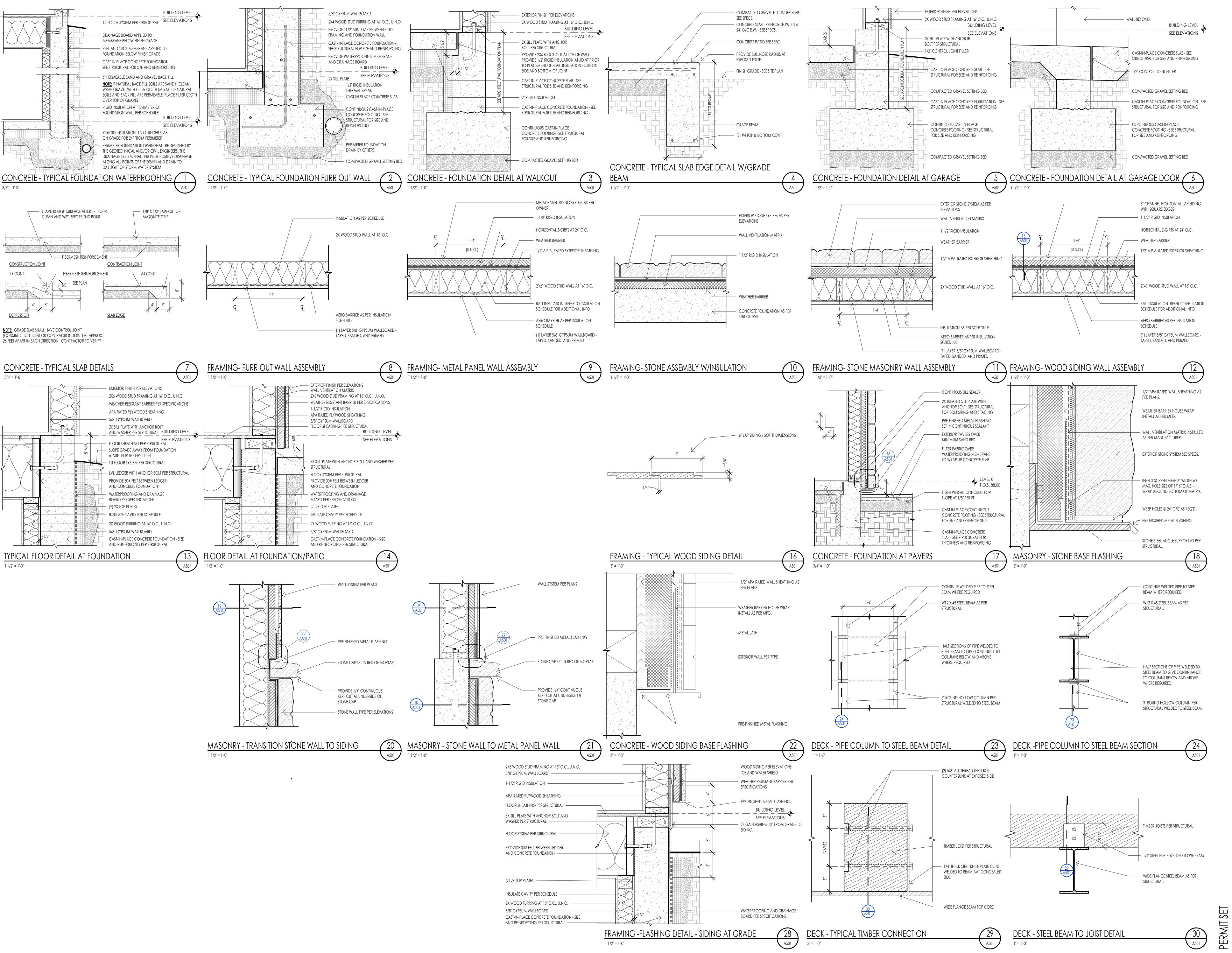


OWNER SUITE INTERIOR VIEW



INTERIOR WOOD SLAT FINISH

STEEL FIREPLACE SURROUND



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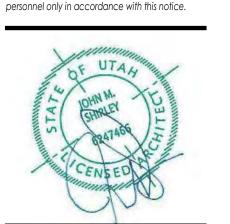
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PROJECT NC22023.33

DATE: 2023.11.06

REVISIONS:

SHEET TITLE:
ARCHITECTURAL

DETAILS

SHEET NUMBER:

SHEET NUMBER:
A501

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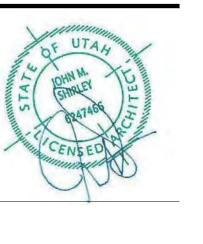


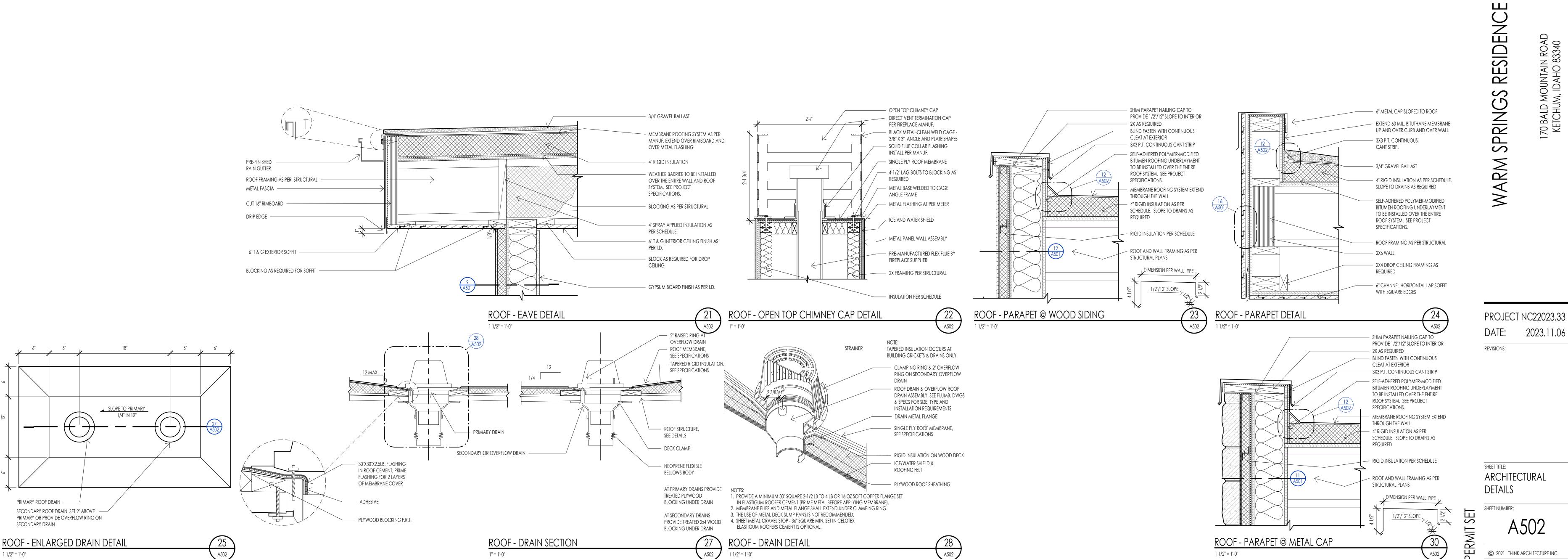
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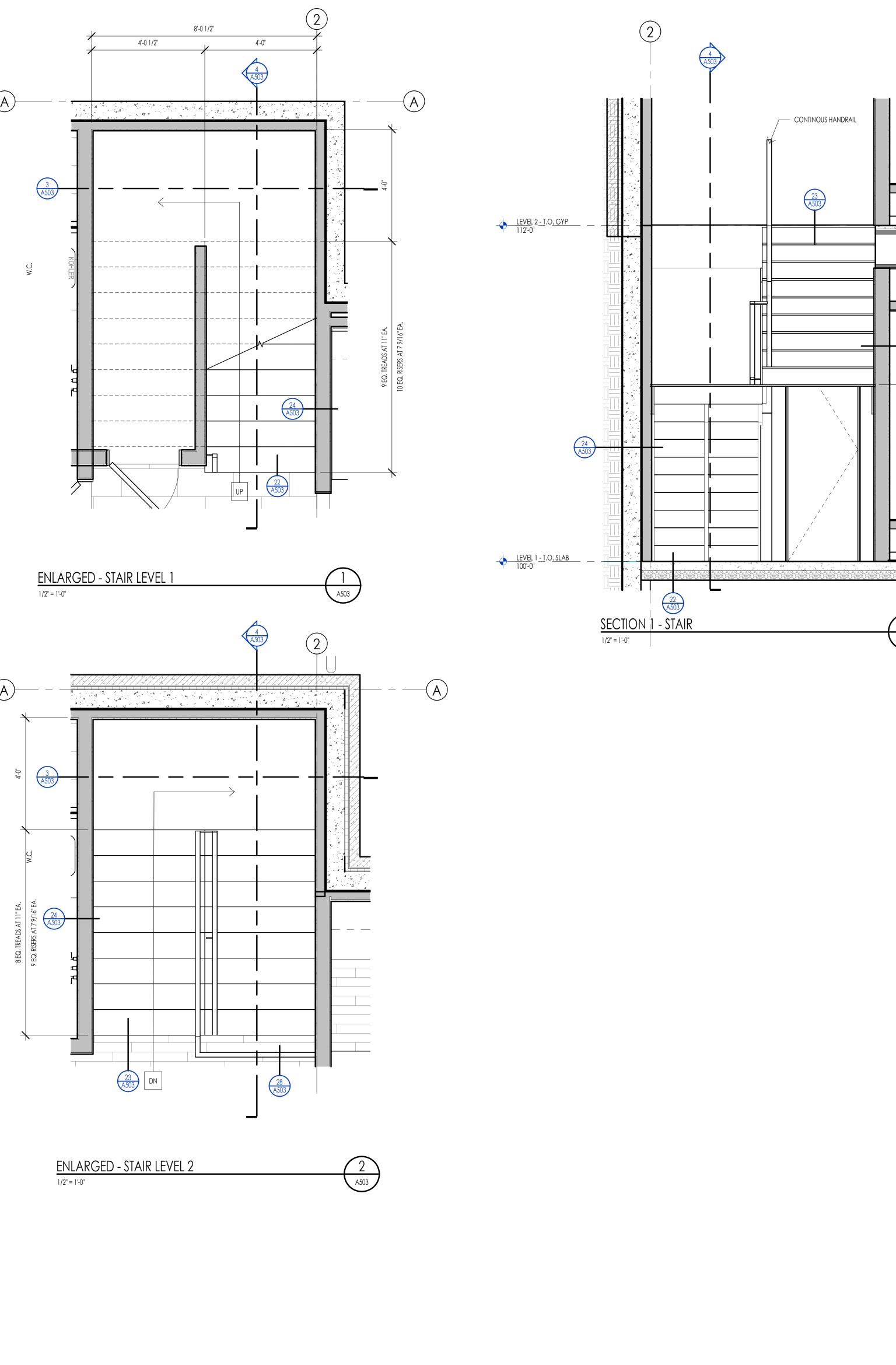
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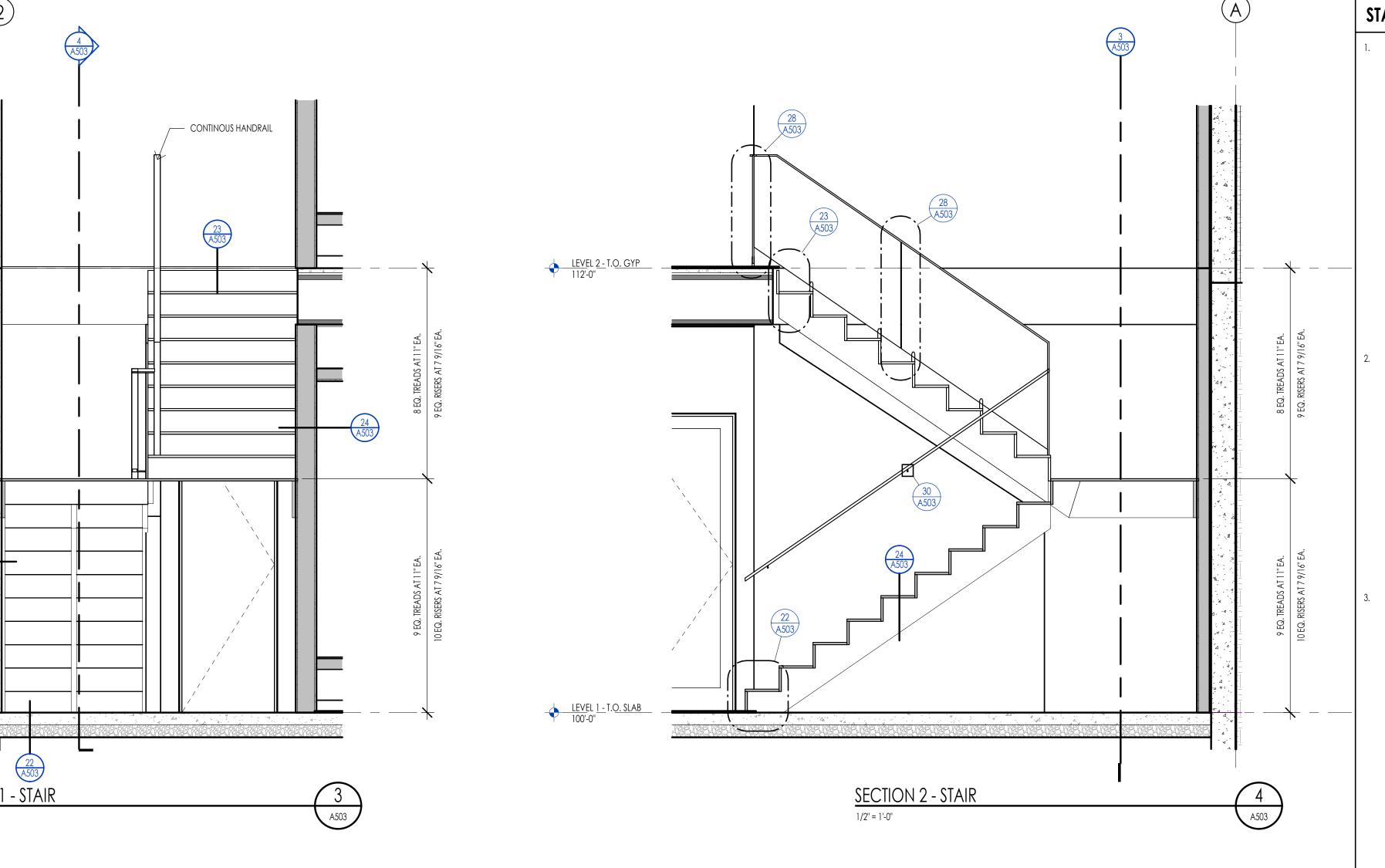




SECONDARY DRAIN

1 1/2" = 1'-0"





HARDWOOD NOSING TO MATCH

- STAIR STRINGERS AS PER STRUCTURAL.

- HARDWOOD STAIR TREADS AND RISERS

- 3/4" PLYWOOD STAIR TREADS AND RISERS ATTACHED TO STRINGERS.

- CONCRETE SLAB AS PER STRUCTURAL

STRUCTURAL FOR ATTACHMENT TO STRINGER AND CONCRETE SLAB.

CONTINUOUS WOOD TOP RAIL FINISH

- 1/2" MONOLITHIC OR 9/16" LAMINATED TEMPERED GLASS PANELS - MAXIMUM

MAINTAIN A 1/4" GAP BETWEEN

PER I.D. INSTALL PER MANUFACTURER

- TOP OF RAIL TO BE MIN. 36" A.F.F.

WIDTHS TO BE 48"

EACH GLASS PANEL

FRAMELESS BASE CLAMP -TWO PER PANEL FINISH PER

T.O. FINISH FLOOR OR STAIR

A503

1 1/2" = 1'-0"

AS PER INTERIOR PLANS.

PROFILE OF OPEN STAIR TREADS.

(INSTALLER TO PROVIDE SHOP

DRAWINGS.)

10 1/2"

1 1/2" = 1'-0"

GLASS GUARDRAIL AT STAIR

STAIR DETAIL - FRAMED STAIRS TO BASEMENT FLOOR



FOR SOME EXCEPTIONS/OPTIONS.

- STAIR CONSTRUCTION SHALL MEET THE FOLLOWING REQUIREMENTS. SEE I.R.C. SECTION R311.5.
- A. THE MINIMUM STAIRWAY WIDTH SHALL NOT BE LESS THAT 36 INCHES CLEAR WIDTH. HANDRAILS MAY PROJECT INTO THE REQUIRED WIDTH A DISTANCE OF 4 1/2 INCHES FROM EACH SIDE OF A STAIRWAY. IRC 311.7.1 FOR ADDITION WIDTH REQUIREMENTS OR FOR SPIRAL, CIRCULAR, WINDING STAIRS, ETC. REQUIREMENTS SEE I.R.C. SECTION R311.7.10.1
- THE MAXIMUM STAIR RISER HEIGHT SHALL NOT EXCEED 7-3/4 INCHES AND THE MINIMUM STAIR TREAD DEPTH SHALL BE 10 INCHES. THE TREAD DEPTH SHALL BE MEASURED HORIZONTALLY BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF ADJACENT TREADS. THE GREATEST RISER
 - HEIGHT OR TREAD DEPTH SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH. (UTAH STATE AMENDMENT (REPLACES R311.7.5 AND ALLOWS FOR 8" MAX RISERS AND 9 INCH MIN. TREADS) LANDINGS: EVERY LANDING SHALL HAVE A WIDTH DIMENSION OF NOT LESS THAN THE STAIRWAY SERVED. EVERY LANDING SHALL HAVE A MINIMUM DEPTH DIMENSION OF 36 INCHES MEASURED IN
 - ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2 INCH GYPSUM BOARD. (I.R.C. R302.7)

THE DIRECTION OR TRAVEL. FOR LANDINGS WITH ADJOINING DOORS SEE I.R.C. SECTION R311.7.6

- HEADROOM: EVERY STAIRWAY SHALL HAVE A MINIMUM HEADROOM CLEARANCE IN ALL PARTS OF THE STAIR OF NOT LESS THAN 6 FEET 8 INCHES. SUCH CLEARANCES SHALL BE MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING OR FROM THE FLOOR SURFACE OF THE LANDING. (I.R.C. R311.7.2)
- HEADROOM: EVERY STAIRWAY SHALL HAVE A MINIMUM HEADROOM CLEARANCE IN ALL PARTS OF THE STAIR OF NOT LESS THAN 6 FEET 8 INCHES. SUCH CLEARANCES SHALL BE MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING OR FROM THE FLOOR SURFACE OF THE LANDING. (I.R.C.
- HANDRAILS SHALL BE MOUNTED A MINIMUM OF 34 INCHES AND A MAXIMUM OF 38 INCHES ABOVE THE NOSING OF THE TREAD AND SHALL BE PROVIDED ON A LEAST ONE SIDE OF STAIRWAYS. ALL REQUIRED HANDRAILS SHALL BE CONTINUOS THE FULL LENGTH OF THE STAIRS WITH FOUR OR MORE RISERS FROM A POINT DIRECTLY ABOVE THE TOP RISER OF THE FLIGHT TO A POINT DIRECTLY ABOVE THE LOWEST RISER. ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS. VOLUTES, TURNOUT OR STARTING EASING SHALL BE ALLOWED OVER THE LOWEST TREAD.
- MINIMUM TO 2 5/8 INCHES MAXIMUM. OTHER HANDRAIL SHAPES THAT HAVE AN EQUIVALENT GRASPING SURFACE ARE PERMISSIBLE, SEE BUILDING CODE. EDGES SHALL HAVE A MINIMUM RADIUS OF 0.01 INCH. R311.7.8.3.

THE HAND GRIP PORTION OF HANDRAILS SHALL HAVE A CIRCULAR CROSS SECTION OF 1 1/4 INCHES

- C. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1 1/2 INCHES BETWEEN THE WALL AND THE HANDRAIL.
- GUARD RAILS SHALL MEET THE FOLLOWING REQUIREMENTS. SEE I.R.C. SECTION R312.

STAIR PLAN KEYNOTES

DESIGNER.

DRAWINGS.)

1X4 P.T. NAILING PLATE.

AS PER INTERIOR PLANS.

BEAM AS PER STRUCTURAL.

- 1/2" MONOLITHIC OR 9/16" LAMINATED

TEMPERED GLASS PANELS - MAXIMUM

STAINLESS STEEL GLASS RAILING BASE
 CLAMP WITH (4) LAG SCREWS PER
 MANUFACTURER MIN. 3" EMBED. FINISH

SECTION

1 1/2" = 1'-0"

TYPICAL HANDRAIL DETAIL

WIDTHS TO BE 48"

PER INTERIOR DESIGN

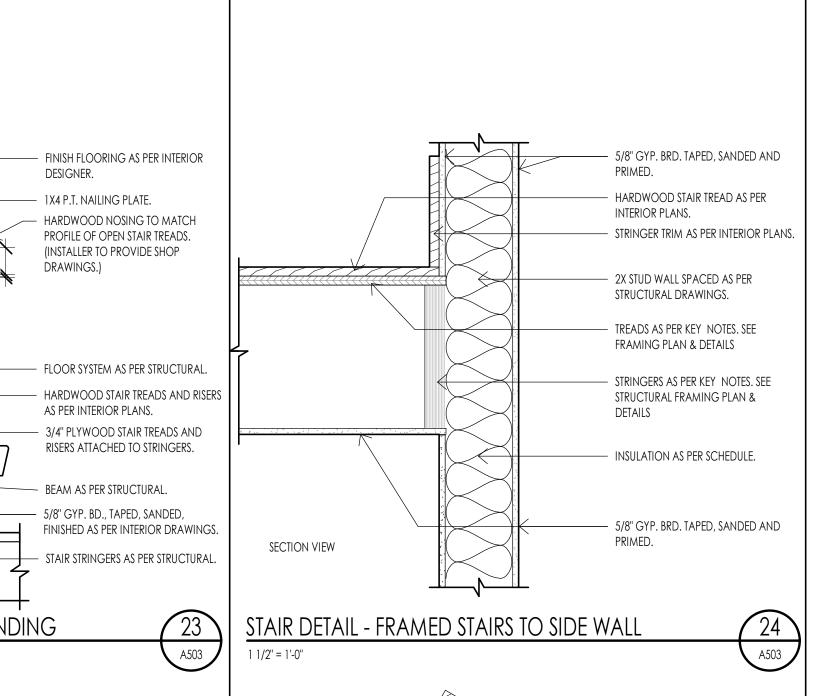
GYPSUM BOARD

FLOOR ASSEMBLY

STAIR DETAIL - FRAMED STAIRS TO LANDING

GLASS GUARDRAIL - FLOOR CONNECTION

- GUARDRAILS ARE REQUIRED AT ALL PORCHES, BALCONIES OR RAISED FLOOR SURFACES LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW AND SHALL BE NOT LESS THAN 36 INCHES IN HEIGHT. OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDS NOT LESS THAN 34 INCHES IN HEIGHT MEASURED VERTICALLY FROM THE NOSING OF THE TREAD.
- required guards on open sides of stairways, raised floor areas, balconies, etc. shall HAVE INTERMEDIATE RAILS OR ORNAMENTAL CLOSURES THAT DO NOT ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.
- C. THE TRIANGLE OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM RAIL OF A GUARD AT THE OPEN SIDE OF A STAIRWAY ARE PERMITTED TO BE OF SUCH A SIZE THAT A SPHERE 6 INCHES IN DIAMETER CANNOT PASS THROUGH.
- THE GUARDS AT SIDES OF STAIRS SHALL HAVE GUARD SUCH THAT A 4-3/8" SPHERE CANNOT PASS



- 2" X 3/4" WOOD RAIL - PRIME AND

- WALL BRACKET @ 72" O/C BY "JULIUS BLUM & CO." # 382 O.A.E.

RETURN HANDRAIL TO WALL OR NEWEL POST AT ENDS

A503

- PROVIDE SOLID BLOCKING AT CONNECTIONS

TOP VIEW

PROJECT NC22023.33

SHEET NUMBER:

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RESIDENCE SPRINGS WARM

REVISIONS:

SHEET TITLE:
STAIR- PLAN- SECTIONS -DETAILS

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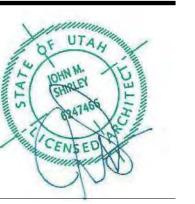
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SPRINGS RESIDENCE #33

170 BALD MOUNTAIN ROAD

PROJECT NC22023.33
DATE: 2023.11.06

REVISIONS:

EVISIONS:

WARM

SHEET TITLE:
DOOR SCHEDULE &
ELEVATIONS

SHEET NUMBER:

A60



Land Planning
Construction Management

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PROJECT NC22023.33

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REVISIONS:

SHEET TITLE:

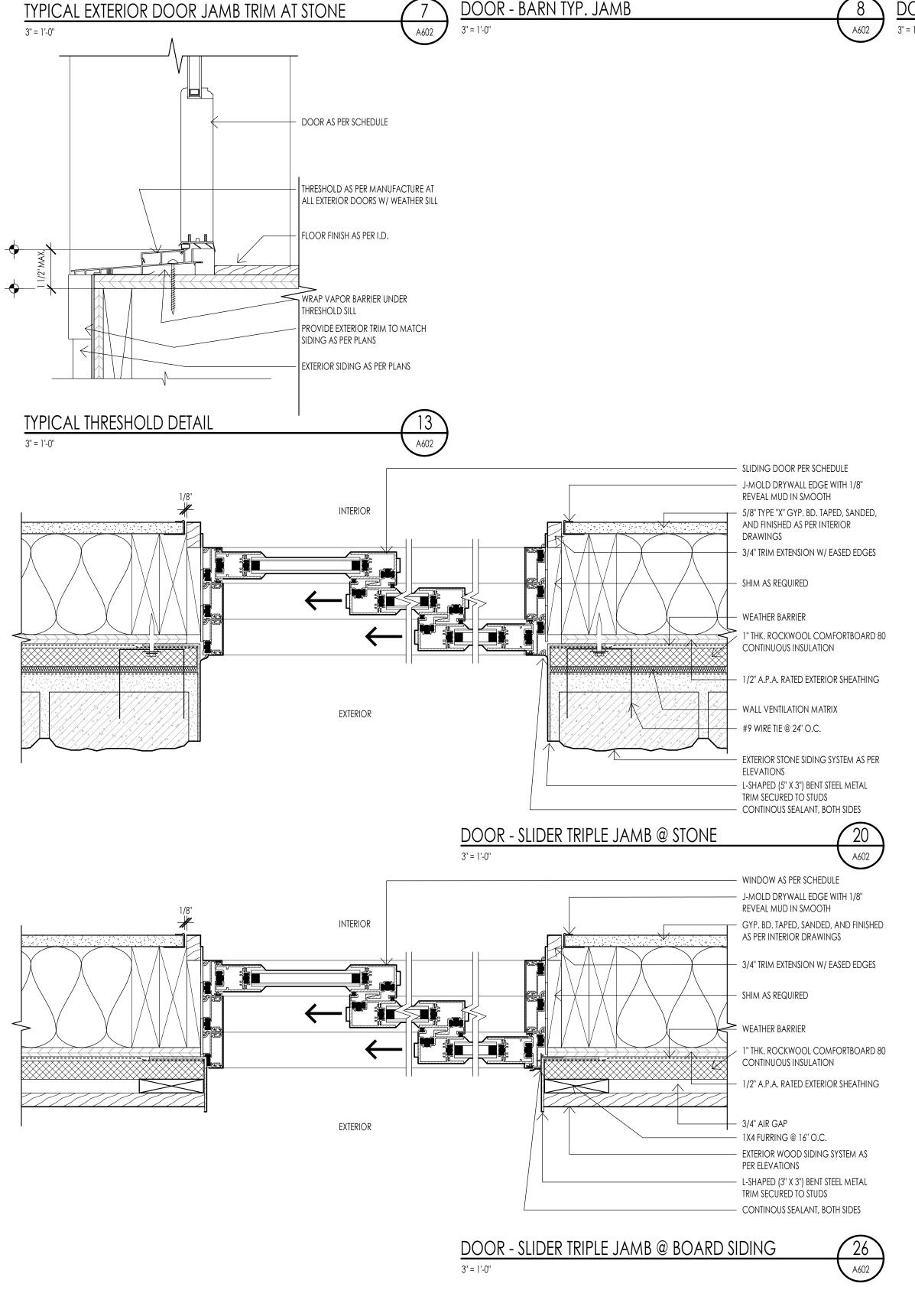
DOOR DETAILS

SHEET NUMBER:

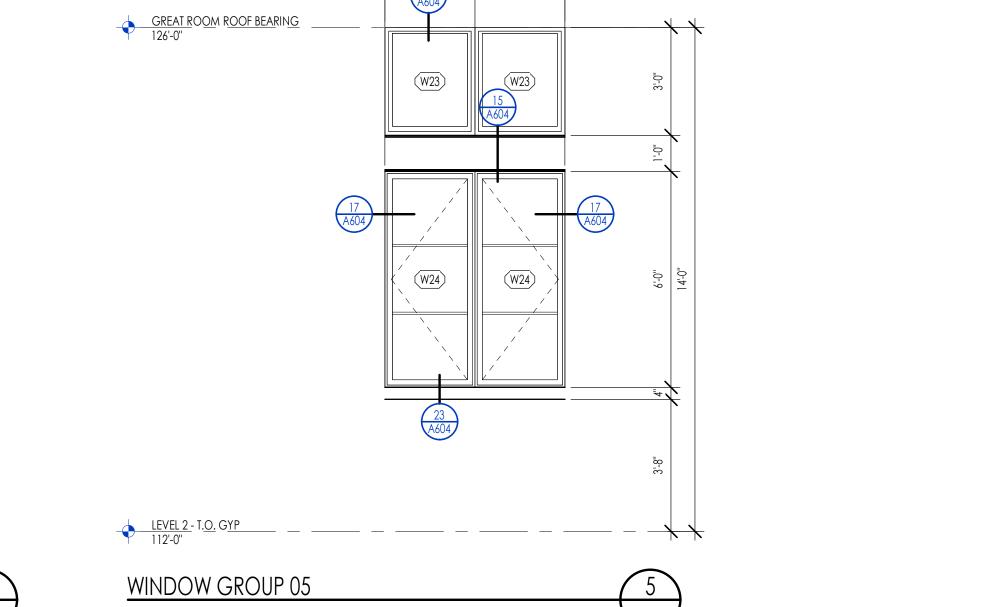
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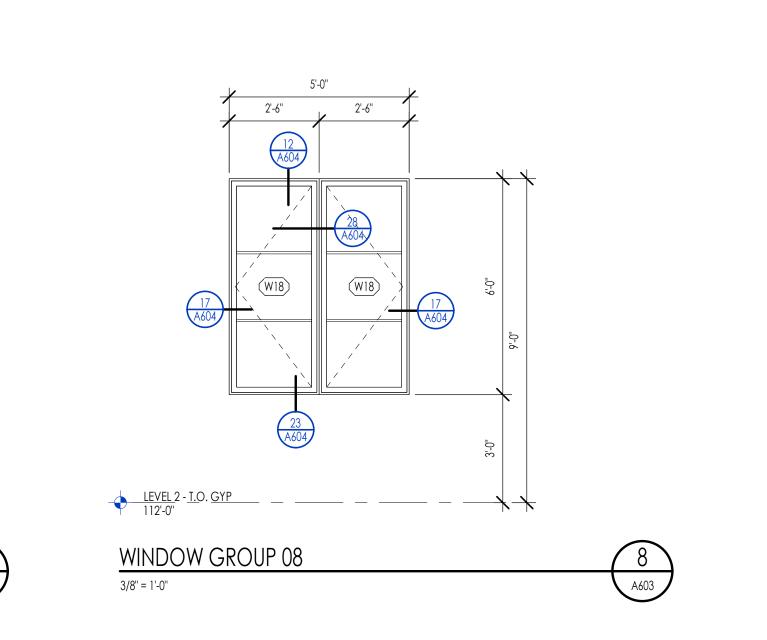
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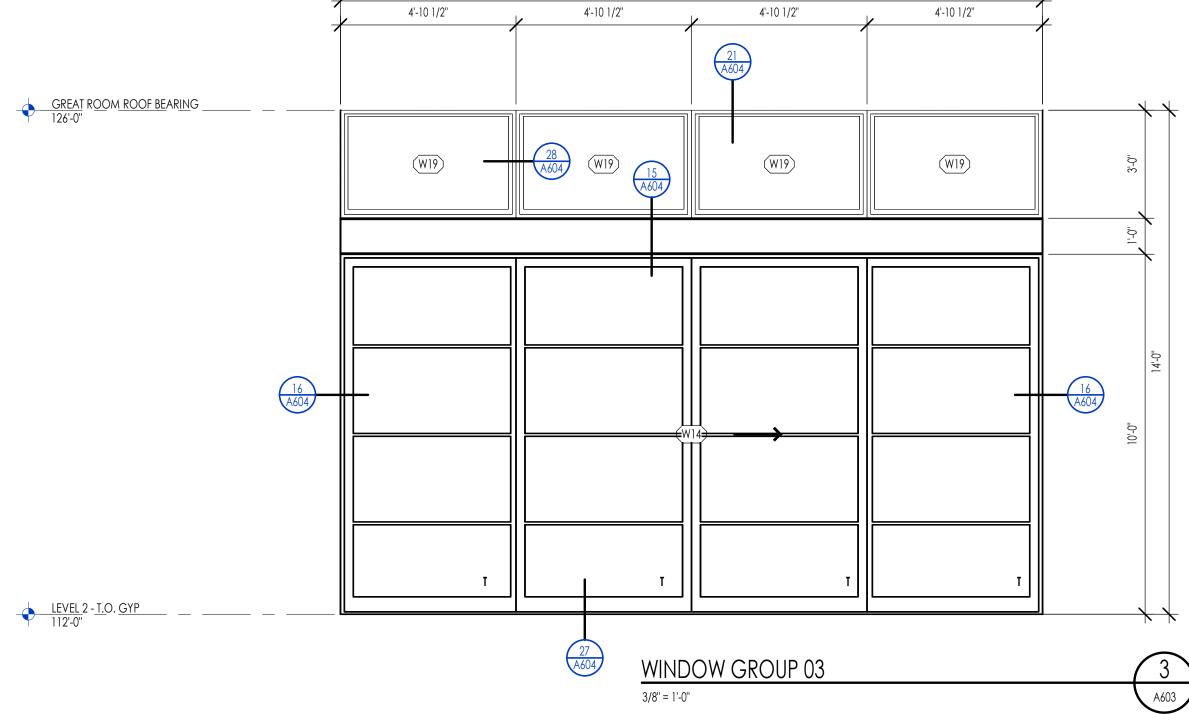
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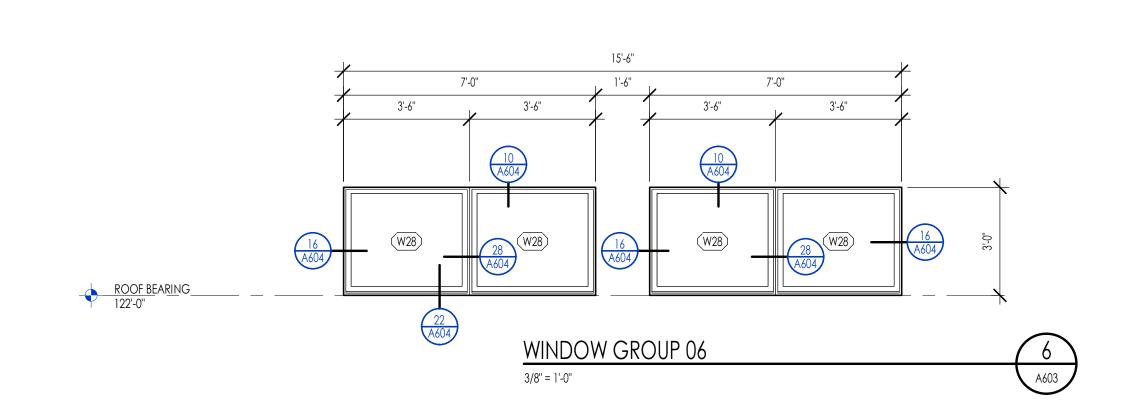


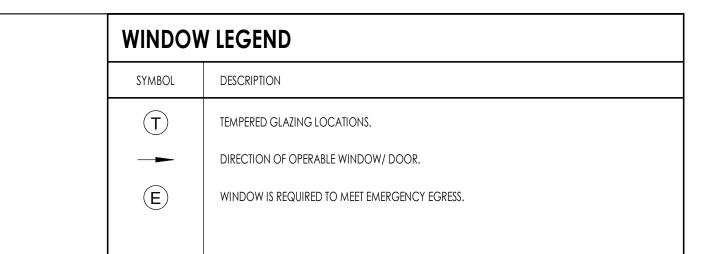
WINDOW GROUP 02











WINDOW SPECIFICATIONS

APPROVED MANUFACTURERS:	 MINUMUM U-VALUE:	
	 SCREENS REQUIRED:	-
D 4000 OF DE0104	 SCREEN COLOR:	
BASIS OF DESIGN:	 TYPICAL JAMB WIDTH:	
WINDOW TYPE:	 SDL WIDTH:	
WINDOW COLOR:	 SDL TYPE:	
WINDOW GLAZING:	 	

WINDOW GENERAL NOTES

SQUARE FEET. R310.1.1 TO R310.1.4.

- EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL MEET THH FOLLOWING REQUIREMENTS. SEE I.R.C.
- A. BASEMENTS WITH HABITABLE SPACES SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE WINDOW OR DOOR OR ACCESS TO AN ADJOINING BEDROOM WITH AN EMERGENCY ESCAPE
 - AND RESCUE WINDOW. ALL EMERGENCY OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING AREA OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24 INCHES. THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20 INCHES. EMERGENCY OPININGS SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS OR TOOLS. EXCEPT GROUND FLOOR, NET CLEAR AREA OF 5.0
- WINDOW SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR. OPENINGS WITH A FINISHED SILL HEIGHT BELOW THE ADJACENT GROUND ELEVATION SHALL BE PROVIDED WITH A
- WINDOW WELL. R310.2.2 WINDOW WELLS REQUIRED FOR ESCAPE OR RESCUE SHALL HAVE HORIZONTAL DIMENSIONS THAT ALLOW THE DOOR OR WINDOW TO BE FULLY OPENED. THE HORIZONTAL DIMENSION FOR THE
- WINDOW WELL SHALL PROVIDE A MINIMUM NET CLEAR AREA OF 9 SQUARE FEET WITH A MINIMUM HORIZONTAL PROJECTION AND WIDTH OF 36 INCHES. R310.2.3 WINDOW WELLS WITH A VERTICAL DEPTH GREATER THAN 44 INCHES BELOW THE ADJACENT GROUND LEVEL SHALL BE EQUIPPED WITH A PERMANENTLY AFFIXED LADDER OR STEPS USEABLE WITH THE
- WINDOW IN THE FULLY OPENED POSITION. LADDERS OR RUNGS SHALL HAVE AN INSIDE WIDTH OF AT LEAST 12 INCHES, SHALL PROJECT AT LEAST 3 INCHES FROM THE WALL AND SHALL BE SPACED NOT MORE THAN 18 INCHES ON CENTER VERTICALLY FOR THE FULL HEIGHT OF THE WINDOW WELL. BARS, GRILLS, COVERS, SCREENS, ETC. SHALL BE PERMITTED TO BE PLACED OVER THE EMERGENCY EGRESS OPENING WINDOW WELL PROVIDED THE NET CLEAR OPENING SIZE IS NOT COMPROMISED

AND THAT SUCH DEVICES SHALL BE RELEASED OR REMOVABLE FROM THE INSIDE WITHOUT THE USE OF

SHALL BE ACID ETCHED, SANDBLASTED, CERAMIC FIRED OR EMBOSSED ON GLASS AND BE VISIBLE

- A KEY, TOOL OR FORCE GREATER THAN THAT WHICH IS REQUIRED FOR NORMAL OPERATION. R310.4 SAFETY GLAZING SHALL BE INSTALLED IN HAZARDOUS LOCATIONS AND SHALL MEET THE FOLLOWING REQUIREMENTS. SEE I.R.C. SECTION R308. FOR EXCEPTIONS SEE I.R.C. R308.4. A. EACH PANE OF GLASS INSTALLED IN HAZARDOUS LOCATIONS SHALL BE PERMANENTLY IDENTIFIED BY MANUFACTURER, DESIGNATING THE TYPE, THICKNESS, AND SAFETY GLAZING STANDARD. THE LABEL
- WHEN THE UNIT IS GLAZED. FOR EXCEPTIONS SEE I.R.C. R308.1. PROVIDE SAFETY GLAZING IN FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BIFOLDING DOORS (R308.4.1.). SAFETY GLAZING SHALL BE PROVIDED WHEN GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE FLOOR OR WALKING SURFACE AND IS WITHIN 24 INCHES OF EITHER SIDE OF THE DOOR IN THE PLANE OF THE DOOR IN A CLOSED POSITION OR WHERE THE GLAZING IS ON A WALL PERPENDICULAR TO THE PLANE OF THE DOOR IN A CLOSED POSITION AND WITHIN 24 INCHES OF THE HINGE SIDE OF AN IN-SWINGING DOOR. (I.R.C. R308.4.2)
- PROVIDE SAFETY GLAZING WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 36 INCHES ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE OF STAIRWAYS, LANDINGS BETWEEN FLIGHTS OF STAIRS AND RAMPS. (I.R.C. R308.4.6)
- D. PROVIDE SAFETY GLAZING IN DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS. GLAZING IN ANY PORTION OF A BUILDING WALL ENCLOSING THESE COMPARTMENTS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A STANDING OR WALKING SURFACE. (I.R.C. R308.4.5)
- PROVIDE SAFETY GLAZING IN RAILINGS REGARDLESS OF AN AREA OR HEIGHT. (I.R.C. R308.4.4) PROVIDE SAFETY GLAZING IN WALLS AND FENCES ENCLOSING SWIMMING POOLS OR HOT TUBS WHERE THE THE BOTTOM EDGE OF THE POOL OR SPA GLASS IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE. (I.R.C. R308.4.5)
- G. PROVIDE SAFETY GLAZING IN FIXED OR OPERABLE PANELS THAT MEETS ALL OF THE FOLLOWING CONDITIONS: AREAS GREATER THAN 9 SQUARE FEET, BOTTOM EDGE LESS THAN 18 INCHES ABOVE THE FLOOR, TOP EDGE GREATER THAN 36 INCHES ABOVE FLOOR, AND WITHIN 36 INCHES OF WALKING
- SURFACE. (I.R.C. R308.4.3) THE GENERAL CONTRACTOR AND WINDOW SUPPLIER ARE RESPONSIBLE TO FIELD MEASURE ALL WINDOW OPENINGS AND PROVIDE SHOP DRAWINGS BEFORE MANUFACTURERING. SHOP DRAWINGS SHALL BE
- PROVIDED FOR EACH BUILDING INDIVIDUALLY AND SHALL NOT BE COMBINED WITH ANY OTHER BUILDING. THE WINDOW SUPPLIER SHALL BE RESPONSIBLE TO VERIFY ALL EMERGENCY EGRESS, LIGHT AND VENTILATION, AND TEMPERED GLASS LOCATION REQUIREMENTS PRIOR TO EACH SUBMITTAL.
- THE GENERAL CONTRACTOR AND WINDOW SUPPLIER ARE RESPONSIBLE TO VERIFY THAT EACH OF THE ABOVE LISTED REQUIREMENTS HAVE BEEN MET AND NOTE ANY DESCREPANCIES ON SUBMITTAL. REFER TO THE PROJECT SPECIFICATIONS FOR ADDITIONAL INFORMATION.

Architecture

Architecture Interior Design Landscape Architecture Land Planning Construction Management

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RESIDENCE SPRINGS

PROJECT NC22023.33 2023.11.06

REVISIONS:

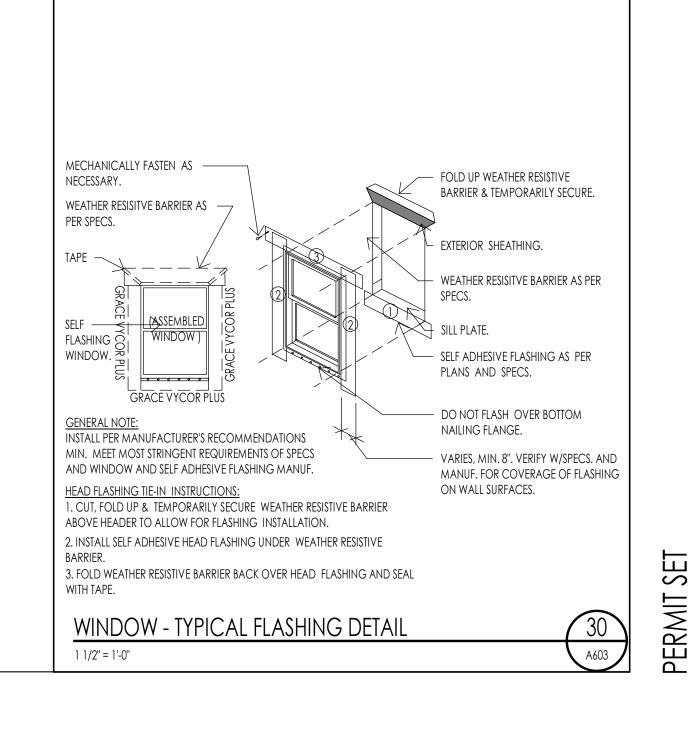
WARM

SHEET TITLE: WINDOW SCHEDULE &

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SHEET NUMBER:

ELEVATIONS



WINDOW GROUP 0

GREAT ROOM ROOF BEARING
126'-0"

WINDOW GROUP 04
3/8" = 1'-0"

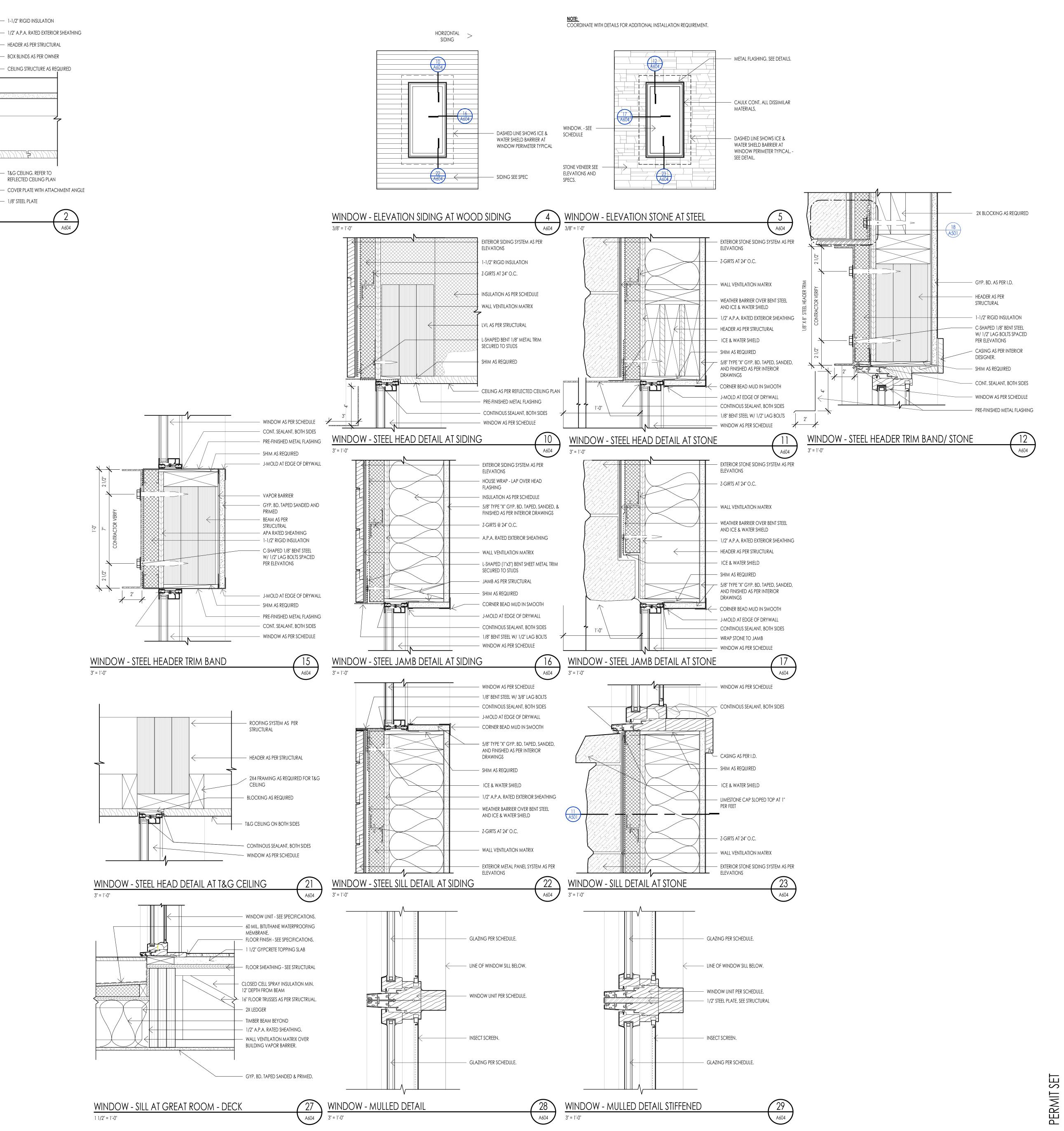
WINDOW GROUP 07

3/8" = 1'-0"

2'-6"

(W16)

(W16)

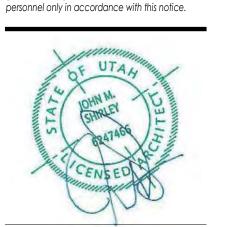


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SPRINGS RESIDENCE

PROJECT NC22023.33

SHEET TITLE: WINDOW DETAILS

REVISIONS:

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EXTERIOR METAL

PANEL SYSTEM AS

PER ELEVATIONS

L-SHAPED (1"x3") BENT

SECURED TO STUDS ——

SHEET METAL TRÍM

CONTINOUS SEALANT,

BOTH SIDES —

WINDOW AS PER

SCHEDULE -

REFER TO R.C.P. FOR DIM.

WINDOW - STEEL HEAD DETAIL AT METAL

— 1/8" STEEL PLATE

PLUMBING GENERAL NOTES

THE PLUMBING SYSTEM SHALL BE DESIGNED BY A LICENSED MECHANICAL CONTRACTOR/DESIGNER AND SHALL MEET ALL THE REQUIREMENTS OF THE 2015 IRC, IPC AND IECC. THE PLUMBING CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE PLUMBING SYSTEM INSTALLATION AND SHALL

PROVIDE A (1) ONE YEAR WARRANTY BEGINNING FROM THE TIME OF CERTIFICATE OF OCCUPANCY. THE

- CONTRACTOR IS RESPONSIBLE TO PROVIDE THE OWNER COMPLETE OPERATION AND MAINTENANCE MANUALS. THE CONTRACTOR SHALL ALSO SET UP A TIME TO PROVIDE COMPLETE TRAINING OF THE SYSTEM TO THE OWNER. THE PLUMBING CONTRACTOR SHALL REVIEW AND SHALL GANG ALL ROOF VENTS INTO SINGLE ROOF VENTS WHERE POSSIBLE, AND SHALL RUN THE VENTS OUT OF THE ROOF AT THE HIGHEST POINT POSSIBLE. ALL VENTS SHALL HAVE BLOCKING ON EACH SIDE OF THE VENT IN THE ROOF STRUCTURE TO ENSURE THE VENTS WILL NOT BE MOVED DUE TO SNOW ON THE ROOF. ALL VENTS SHALL BE SIZED PER THE BUILDING CODE, BUT SHALL NOT BE LESS THAN 3 INCH PIPES. THE PLUMBING CONTACTOR SHALL COORDINATE THAT THE PROPER FLASHING HAS BEEN INSTALLED
- FOR EACH VENT. THE ROOF VENTS SHALL EXTEND ABOVE THE ROOF AS REQUIRED BY THE LOCAL JURISDICTION AND BUILDING CODES. THE PLUMBING CONTRACTOR SHALL COORDINATE THIS INSTALLATION.
- ALL PLUMBING FIXTURES ARE SPECIFIED ON THE MECHANICAL DRAWINGS, AND ON THE INTERIOR DRAWINGS. THE PLUMBING CONTRACTOR SHALL PROVIDE FULL AND COMPLETE SHOP DRAWING SUBMITTAL ON ALL PLUMBING
- FIXTURE ITEMS FOR APPROVAL BY OWNER AND DESIGN TEAM. THE PLUMBING FIXTURES SHALL HAVE THE FOLLOWING REQUIREMENTS:

WITH COMPRESSION BAND FITTINGS.

- a. Shower heads shall have a flow rate of 2.5 GPM or less WATER CLOSETS SHALL HAVE ECONO-FLUSH TANK 1.6 GAL MAX FLUSH C. ALL HOSE BIBS SHALL BE NON-FREEZE TYPE WITH BACK FLOW PREVENTERS.
- THE PLUMBING CONTRACTOR SHALL INSTALL ALL PLUMBING FIXTURES IN STRICT ACCORDANCE WITH THE MANUFACTURES ROUGHED IN INSTRUCTIONS. TAKE CARE DURING BUILDING CONSTRUCTION TO SEE THAT PROVISIONS ARE MADE FOR PROPOER FIXTURE SUPPORT AND THAT PROVISIONS ARE MADE FOR PROPER FIXUTRE SUPPORT. ROUGH IN PIPING IS ACCURATELY SET AND PROTECTED FROM MOVEMENT OF DAMAGE
- DURING CONSTRUCTION. THE PLUMBING CONTRACTOR SHALL MAKE SURE THAT NO PLUMBING WILL BE INSTALLED WITHIN THE EXTERIOR
- PLUMBING CONTRACTOR SHALL ASSESS WATER PRESSURE AND ENSURE ADEQUATE PRESSURE IS AVAILABLE FOR MULTIPLE FIXTURE USE SIMUTANEOULSLY WITH OUT PRESSURE DECREASE OR TEMPERATURE FLUCTUATION.
- PLUMBING CONTRACTOR SHALL PROVIDE A TURN OFF VALVE AND DRAIN AT THE LOWEST LEVEL OF THE FACILITY. ALL FIXUTRES SHALL BE ALBE TO DRAIN TO THIS POINT. PROVIDE A FLOOR DRAIN AT THE LOCATIONS OF PLUMBING SYSTEM DRAIN. ALL SUPPLY, WASTE AND GAS LINE MATERIALS, WORKMANSHIP, AND INSTALLATION AS PER INDUSTRY
- STANDARDS. ALL WATER SUPPLY LINES IN THE BUILDING SHALL BE TYPE "L" COPPER, TO INCLUDED PIPING TO MANIFOLDS, EQUIPMENT SHALL BE COPPER WITHIN THE BUILDING. ALL SUPPLY TO FIXTURES MAY BE POLYETHYLENE CROSS LINK PIPING FOR ABOVE GROUND AND BUILDING APPLICATIONS. INSTALL AS PER MANUFACTURERS SPECIFICATIONS. ALL CONNECTIONS FOR POLYETHYLENE PIPPING SHALL BE BRASS FITTINGS
- ALL WATER LINES UNDERGROUND SHALL BE TYPE "K" COPPER. ALL FITTINGS AND JOINTS SHALL BE SWEAT SOLDER JOINTS TOGETHER.
- WASTE LINES SHALL BE PROVIDED WITH CLEAN OUT AS REQUIRED. EXTEND CLEAN OUT TO ACCESSIBLE SURFACE. DO NOT PLACE CLEAN OUTS IN FLOORS UNLESS PREVIOUSLY APPROVED BY THE DESIGN TEAM AND OWNER. GAS PIPING SHALL BE INSTALLED AS PER THE LATEST CODE REQUIREMENTS FOR THIS TYPE OF PROJECT. ALL GAS PIPING SHALL BE FULLY TESTED AND INSPECTED FOR ANY LEAKS PRIOR TO FINAL COMPLETION OF THE PROJECT.
- THE CONTRACTOR SHALL INSTALL SHUT OFF VALVES AT EACH GAS APPLIANCE AND SHALL LOCATE THE VALVE TO HAVE ACCESS TO THE VALVE. PLUMBING CONTRACTOR SHALL TEST ALL PIPING INCLUDING DRAINAGE WASTE LINES, WATER PIPING, NATURAL
- GAS PIPING AND FITTINGS. ALL TEST SHALL BE PEFORMED TO MEET THE REQUIREMENTS OF THE APPLICABLE ALL WATER LINES SHALL FULLY DISINFECTED UPON THE FINAL COMPLETION OF THE PROJECT, AND BEFORE
- CERTIFICATE OF OCCUPANCY AND TURN OVER TO THE OWNER. ALL DRAINS SHALL HAVE A TRAP PRIMER OR EQUAL AS NECESSARY TO KEEP THE INTEGRITY OF THE PLUMBING TRAP.

MECHANICAL GENERAL NOTES THE MECHANICAL SYSTEM SHALL BE DESIGNED BY A LICENSED MECHANICAL CONTRACTOR/ DESIGNER AND SHALL MEET ALL THE REQUIREMENTS OF THE 2015 IRC, IMC AND IECC.

TIME TO PROVIDE COMPLETE TRAINING OF THE SYSTEM TO THE OWNER.

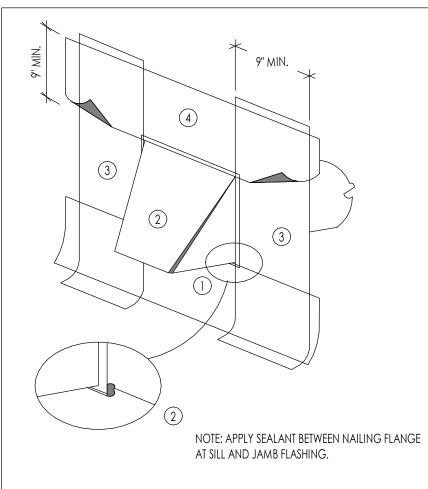
- THE MECHANICAL CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE MECHANICAL SYSTEM INSTALLATION AND SHALL PROVIDE A (1) ONE YEAR WARRANTY BEGINNING FROM THE TIME OF CERTIFICATE OF OCCUPANCY. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE OWNER COMPLETE OPERATION AND MAINTENANCE MANUALS. THE CONTRACTOR SHALL ALSO SET UP A
- THE CONTRACTOR IS RESPONSIBLE TO VISIT THE JOB SITE AND BECOME FAMILIAR WITH ALL EXISITNG CONDITIONS PRIOR TO STARTING THE WORK. THE MECHANICAL CONTRACTOR MUST ALSO PROVIDE NOTIFICATION TO THE ARCHITECT AND CONTRACTOR OF CONDITIONS THAT MAY BE DIFFERENT THAN EXPECTED DURING BIDDING.
- ALL LINE VOLTAGE AND LOW VOLTAGE CONTROL WIRING SHALL BE RAN, INSTALLED AND CONNECTED BY THE MECHANICAL CONTRACTOR OR THE MECHANICAL CONTRACTOR SHALL CONTRACT THE SCOPE OF WORK.
- ALL EQUIPMENT SPECIFICATIONS SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW. THE CONTRACTOR MUST PROVIDE THE DOCUMENTATION THAT IT MEETS THE REQUIREMENTS OF THE ENERGY LEVELS BEING ACHIEVED WITHIN THIS BUILDING. 6. THE MECHANICAL CONTRACTOR SHALL REVIEW AND COORDINATE WITH THE DRAWINGS FOR
- LOCATIONS OF ALL MECHANICAL ZONES. EXHAUST FANS WHERE SHOWN ON EITHER THE MECHANICAL OR ELECTRICAL PLANS SHALL BE SIZED FOR A MINIMAL RATE OF 50 CFM. ALL FANS SHALL BE HARD DUCTED WITH RIGID DUCT (NO FLEX DUCT SHALL BE ALLOWED), AND DIRECTED DIRECTLY TO THE EXTERIOR OF THE BUILDING IN A SOFFIT OR SIDE WALL. THE TERMINATION OF ALL EXHAUST FANS SHALL BE A MINIMUM OF 10'-0" AWAY FROM ANY OPERABLE WINDOW. TERMINATIONS SHALL BE INSTALLED AS NOT TO BE BLOCKED BY
- PROVIDE AN ACOUSTICAL INSULATION, GRIPS, CAPS, ETC AS REQUIRED. ALL GRILLS AND REGISTERS MUST BLEND TO THE ADJACENT FINISH, AND SHALL BE PROVIDED TO MEET THE REQUIREMENTS FOR THE FLOW RATE AS PER THE CFM REQUIREMENTS. ALL GRILLS SHALL BE EITHER PAINTED FOR METAL FINISH SELECTED.
- WATER HEATERS a. The required number of water heaters are shown on the mechanical plans. All WATER HEATERS SHALL BE 90% OR BETTER HIGH EFFICIENCY WATER HEATERS WITH RAPID RECOVERY. ALL WATER HEATERS SHALL BE INSTALLED WITH SEISMIC ANCHORING, AS PER

SNOW AND ICE. FANS SHALL BE A DIRECT DRIVE CENTRIFUGAL UNIT WITH SLOW SPEED MOTOR.

- ALL WATER HEATERS SHALL BE VENTED TO THE EXTEIOR. THE CONTRACTOR SHALL PROVIDE A FLOOR DRAIN WHETHER SHOWN OR NOT AT THE BASE OF ALL WATER HEATERS. THE FLOOR DRAIN MUST BE LOCATED, AND THE FLOOR MUST SLOPE
- TOWARD THE DRAIN IN A POSITIVE FLOW. GAS FIRED FURNANCES a. The required number of GAS fire furnaces shall be per the mechanical designer/
- ENGINEER. THE LOCATION IS SHOWN ON THE MECHANICAL DRAWINGS WHERE THE LOCATIONS ARE PROVIDED FOR THE GAS FIRE FURNACES. b. THE GAS FIRED FURNACES SHALL BE A MINIMUM OF 90% OR BETTER HIGH EFFICIENCY
- FURNACE. THE EXACT SIZE OF EACH OF THESE UNITS SHALL BE PER THE MECHANICAL DESIGNER/ENGINEER. C. THE VENTING OF EACH GAS FIRE FURNACE SHALL BE PVE PIPE AND SHALL BE LOCATED AWAY
- EXACT LOCATION WITH THE OWNER AND ARCHITECT. d. THE CONTRACTOR SHALL PROVIDE A FLOOR DRAIN BY THE GAS FIRED FURNANCES FOR THE UNIT CONDESATE LINES.

FROM THE MAIN ENTRIES OF THE BUILDING, AND WINDOW LOCATIONS. COORDINATE THE

- GAS FIRE BOILERS a. THE REQUIRED NUMBER OF GAS FIREBOILERS SHALL BE PER THE MECHANICAL DESIGNER/ ENGINEER. THE LOCATION IS SHOWN ON THE MECHANICAL DRAWINGS WHERE THE
- LOCATIONS ARE PROVIDED FOR THE GAS FIRE BOILERS. b. THE GAS FIRED BOILER SHALL BE A MINIMUM OF 90% OR BETTER HIGH EFFICIENCY FURNACE. THE EXACT SIZE OF EACH OF THESE UNITS SHALL BE PER THE MECHANICAL DESIGNER/
- THE VENTING OF EACH GAS FIRE BOILER SHALL BE PVE PIPE AND SHALL BE LOCATED AWAY FROM THE MAIN ENTRIES OF THE BUILDING, AND WINDOW LOCATIONS. COORDINATE THE
- EXACT LOCATION WITH THE OWNER AND ARCHITECT THE CONTRACTOR SHALL PROVIDE A FLOOR DRAIN BY THE GAS FIRED BOILER FOR THE UNIT CONDESATE LINES.
- DUCTWORK
- ALL DUCTWORK SHALL BE 26 GA. MINUMUM RIGID DUCT AND SHALL BE FULL SEALED AT EACH JOINT LOCATION. NO FLEXIBLE DUCT IS ALLOWED WITHIN THE INSTALLATION
- ALL DUCTWORK IN CEILINGS OF UNHEATED ROOM OR UNDER SLAB SHALL BE INSULATED DUCT WORK. ALL DUCTWORK WITHIN THE HEATING ENVELOPE OF THE STRUCTURE DOES NOT REQUIRED TO BE INSULATED, UNLESS SPECIFICALLY NOTED.
- ALL DUCTWORK SHALL BE IN THE SPACE ALLOCATED, AND SHALL NOT BE DROPPED BELOW FLOOR JOISTS, UNLESS NOTED ON DRAWINGS, OR PREVIOUSLY APPROVED BY THE ARCHITECT



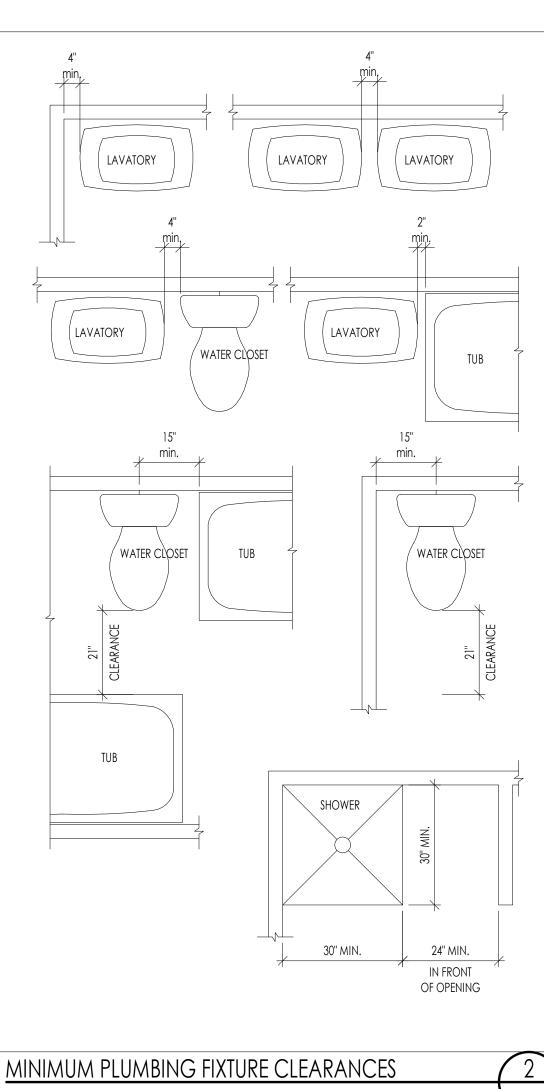
9 INCH MIN. WIDE SELF-ADHERED SELF-HEALING RUBBERIZED ELASTOMERIC ASPHALT FLASHING MEMBRANE INSTALLED A MIN. 9 INCHES BEYOND ROUGH OPENING

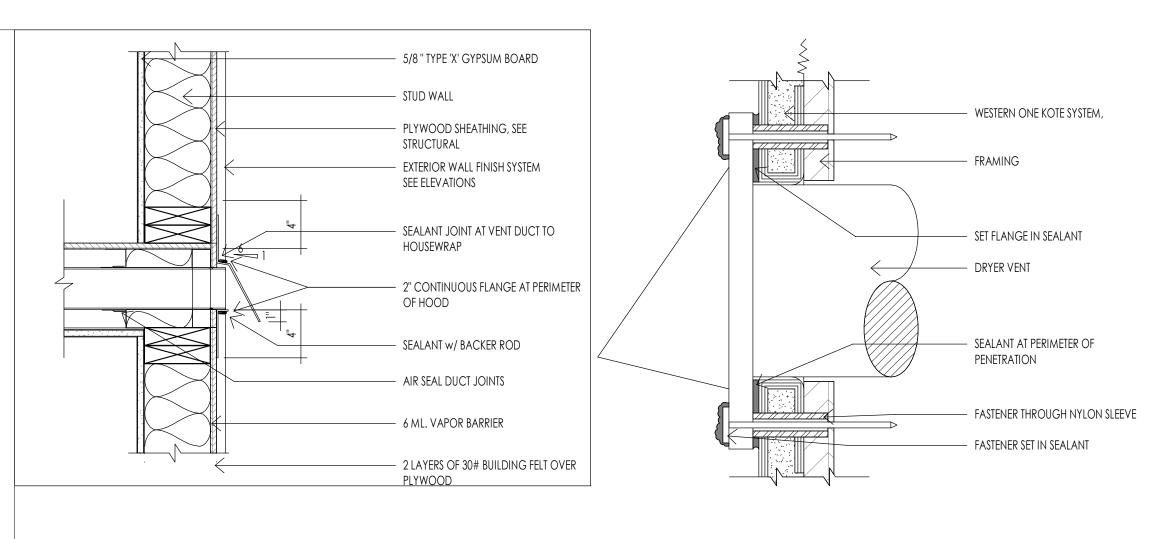
- -DO NOT OVERLAP THE TOP OF SILL FRAMING -ADHERE ONLY AT TOP EDGE. LEAVE UNATTACHED AT BOTTOM SO THAT THE PAPER CAN BE INSTALLED UNDERNEATH
- 26 GA. MIN. GALV. SHEET METAL VENT MUST BE INSTALLED OVER SILL FLASHING. INSTALL JAMB FLASHING OVER OR UNDER NAILING FLANGE. SET VENT IN A CONTINUOUS BED OF SEALANT.
- JAMB FLASHING

EXHAUST VENT DETAIL

1 1/2" = 1'-0"

- 9 INCH MIN. WIDE SELF ADHERED SELF-HEALING RUBBERIZED ELASTOMERIC ASPHALT FLASHING MEMBRANE. FLASHING INSTALLED OVER AND BELOW SILL FLASHING AND ABOVE TOP OF FUTURE HEAD FLASHING. -DO NOT FASTEN THE BOTTOM 9 INCHES OF THE JAMB FLASHING SO THE WEATHER-RESISTANT BARRIER APPLIED LATER MAY BE SLIPPED UNDERNEATH THE FLASHING IN A WEATHERBOARD FASHION.
- APPLY SELF-ADHERED SELF-HEALING RUBBERIZED ELASTOMERIC ASPHALT FLASHING MEMBRANE OVER DRYER VENT FLANGE. EXTEND HEAD FLASHING BEYOND EACH JAMB FLASHING.







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WALL EXHAUST VENT

TYPICAL DRYER VENT (SHOWN WITH STUCCO)

WARM SPRINGS RESIDENCE

PROJECT NC22023.33

REVISIONS:

SHEET TITLE:
MECHANICAL GENERAL



WATER
HEATER 36,000 BTU
CONFIRM WITH
CONTRACTOR

GARAGE
HEATER 60,000 BTU
CONFIRM WITH
CONTRACTOR

GAS SCHEMATIC

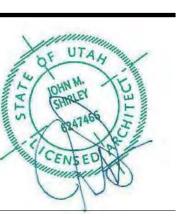
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EXISTING CONDITIONS AND ALL OTHER TRADES.

4. COORDINATE WITH OWNER, INTERIOR DESIGNER AND/OR PLANS FOR FIXTURE SCHEDULES, STYLES, FINISHES, ETC. 5. ALL REGISTERS AT LOWER LEVEL TO BE CEILING MOUNT UNLESS OTHERWISE NOTED.

6. COORDINATE BETWEEN MECH. SUB AND ELECTRICAL SUB AT PRECONSTRUCTION MEETING FOR DUCT LOCATIONS AND RECESSED CAN LOCATIONS.

7. ALL PLUMBING FIXTURE/MECHANICAL EQUIPMENT SELECTIONS TO BE APPROVED BY OWNER/DEVELOPER. 8. PROVIDE REQUIRED COMBUSTION AIR VENT DUCTS AT CEILING FOR WATER HEATER AND FURNACE AS REQUIRED BY BLDG. CODES AND MANUFACTURER.

9. MECHANICAL DESIGN SHOULD BE IN ACCORDANCE WITH 2006 INTERNATIONAL RESIDENTIAL CODE.

10. DUCT PENETRATIONS IN GARAGES SHALL BE 26 GAUGE SHEET METAL MIN, AND SHALL HAVE NO OPENINGS INTO THE

11. FLUES SHALL NOT PENETRATE THE ROOF WITHIN 4'-0" OF PARTY WALLS.

12. RADON: THE MECHANICAL CONTRACTOR IS RESPONSIBLE TO PROVIDE RADON TESTING AND APPLY AN APPROPRIATE MITIGATION SYSTEM.

EXHAUST TO EXTERIOR -

ABOVE GRADE —

COORDINATE WITH GRADING FOR LOCATION OF EXHAUST

1. ALL TRUNK LINES ARE ON THE CEILING.

2. ALL REGISTERS ARE ON CEILING UNLESS NOTED OTHERWISE.

3. GRILLS TO BE MAXIMUM 6" OFF FLOOR

4. PROVIDE SNOW MELT AT DRIVEWAY, ENTRY WALK AND

EXTERIOR

RH ZONE 1

114 SQ.FT. + DRIVEWAY -SEE LANDSCAPING

OFF VALVE ----

GAS SHUT OFF VALVES

GAS SHUT OFF VALVE —

FURNACE 2

RH ZONE 1

LEVEL 1 - MECHANICAL

EXHAUST TO EXTERIOR -

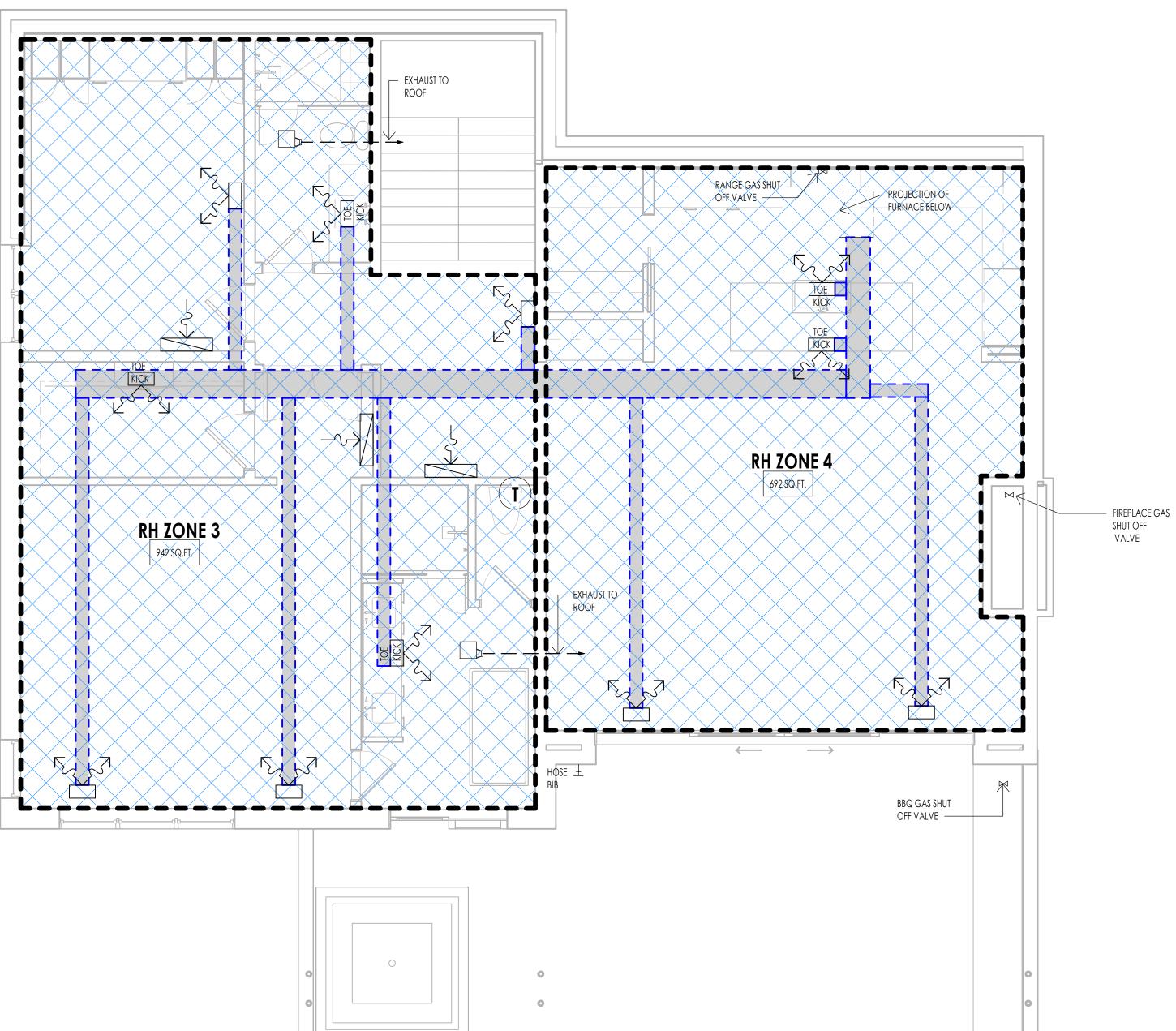
EXHAUST ABOVE GRADE

FOR LOCATION OF

- CEILING MOUNTED **HEATER UNIT**

COORDINATE WITH GRADING

FRONT PORCH



2023.11.06 DATE: REVISIONS:

PROJECT NC22023.33

WARM SPRINGS RESIDENCE #33

SHEET TITLE:
MECHANICAL PLAN

1. ALL REGISTERS ARE ON FLOOR UNLESS NOTED OTHERWISE.

NOTES:

2. GRILLS TO BE MAXIMUM 6" OFF FLOOR

LEVEL 2 - MECHANICAL

ELECTRICAL GENERAL NOTES

- ALL WORK DONE BY ELECTRICAL CONTRACTOR SHALL COMPLY WITH THE CURRENT ADOPTED EDITION OF THE NATIONAL ELECTRICAL CODE AND ALL LOCAL CODE REGULATIONS AND AMENDMENTS. THE CONTRACTOR SHALL PERFORM ALL WORK IN CONFORMITY WITH THESE REGULATIONS WHETHER OR NOT SUCH WORK IS SPECIFICALLY SHOWN ON THE DRAWINGS.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO FURNISH AND INSTALL FEEDERS, PANELS BOARDS, RELAY BRANCH CIRCUIT WIRING, CONDUITS, WIRE, METER BASES, COMPLETE WIRING FOR MOTORS, EXHAUST FANS, LINE VOLTAGE CONNECTIONS FOR HVAC EQUIPMENT SPECIALTY LIGHTING FIXTURES, OUTLET BOXES, COVER PLATES, WALL SWITCHES, FIXTURES RECEPTACLES, ETC.

3. ALL DRAWINGS INDICATE LOCATIONS AS DIAGRAMMATIC. LOCATIONS SHALL BE PER APPROPRIATE CODES AND OWNER. CONTRACTOR TO COORDINATE WITH MECHANICAL CONTRACTOR FOR ALL POWER

THE CONTRACTOR SHALL SET ALL THE BOXES AND NOTIFY THE ARCHITECT AND OWNER OF PLACEMENT OF BOXES. THE ARCHITECT, OWNER AND INTERIOR DESIGNER SHALL WALK THE HOUSE WITH THE ELECTRICAL CONTRACTOR AND SHALL VERIFY ALL THE LOCATIONS. THIS SHALL BE DONE PRIOR TO ANY WIRE BEING

IF WIRE IS PULLED, AND BOXES ARE REQUIRED TO BE MOVED, ALL COSTS SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR AND NOT THE OWNER/ DESIGN TEAM.

ELECTRICAL SERVICE CAPACITY AND SIZE SHALL BE COMPUTED BY METHOD INDICATED IN THE NATIONAL ELECTRICAL CODE. PANELS OR CABINETS ENCLOSING FUSES, CIRCUIT BREAKERS, SWITCHES OR OTHER ELECTRICAL SERVICE EQUIPMENT SHALL BE IN AN INCONSPICUOUS ACCESSIBLE AND PROTECTED LOCATION. ELECTRICAL PANEL CLEARANCE TO BE MINIMUM 30" WIDTH AND 6'-0" HEAD ROOM. ELECTRICAL TO COMPLY WITH N.E.C. 110-16. ELECTRICAL METER BASE SHALL BE LOCATED IN AN AREA THAT IS PROTECTED FROM

5. ALL RECEPTACLES LOCATED WITH THE FOLLOWING CONDITIONS TO BE GFCI PROTECTED: ALL KITCHEN COUNTERS, IN BATHROOMS, OUTSIDE AT GRADE LEVEL, UNFINISHED BASEMENTS, AND IN GARAGES. GARAGE RECEPTACLES TO BE 18" ABOVE FINISHED FLOOR.

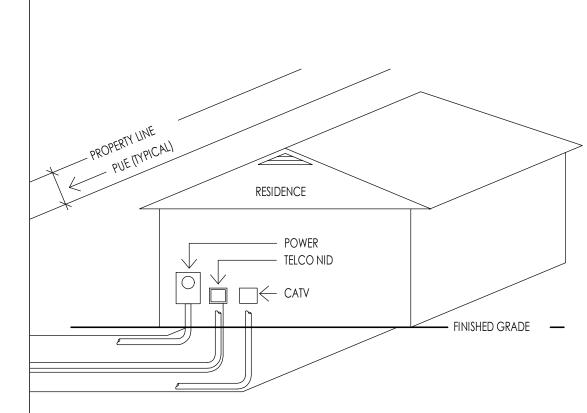
ALL SWITCHES, RECEPTACLES, TELEPHONE JACKS AND CATV JACKS TO BE "LEVITON" 5601 ROCKER SERIES IN WHITE. DIMMER SWITCHES TO BE "LUTRON" DIVA ROCKER SERIES IN WHITE. HEIGHT OF LIGHT SWITCHES FROM FINISHED FLOOR TO TOP OF SWITCH TO BE 48" TYPICAL UNLESS NOTED OTHERWISE. THE MOUNTING FROM THE FINISH FLOOR TO THE CENTER OF OUTLETS INCLUDING TELEPHONE, CATV, ETC. SHALL BE 12" TYPICAL. AT DESKS AND OTHER SURFACES THE OUTLETS SHALL BE 10" TO CENTERLINE ABOVE SURFACE. SWITCHES, OUTLETS, TELEPHONE, CATV, ETC. LOCATIONS SHALL BE APPROVED PRIOR TO COMMENCEMENT OF WIRING.

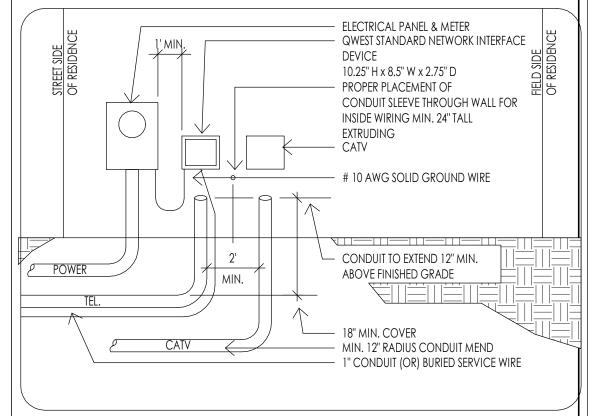
UNLESS NOTED OTHERWISE LOCATE AND INSTALL ONE (1) GFCI WEATHER PROTECTED RECEPTACLE AT GRADE LEVEL AND OUTSIDE AT SOFFIT AT EACH EXTERIOR DOOR WHETHER INDICATED ON DRAWINGS OR NOT.

- PLEASE REFER TO THE ELECTRICAL DRAWINGS FOR ADDITIONAL OUTLETS AT SOFFITS.
- ALL FIXTURES SHALL HAVE A U.L. LABEL LISTING. IF NOT U.L. LISTED FIXTURE SHALL NOT BE USED. ALL RECESS DOWN LIGHTS TO BE THERMAL RATED, AND ALL CAST IN PLACE FIXTURES TO BE INCLUDED IN BASE BID. ALL RECESSED DOWN LIGHTS TO BE INCLUDED IN BASE BID WITH TRIM RINGS AS SELECTED BY DESIGNER OR OWNER. ALL LIGHTS IN CLOSETS SHALL MEET N.E.C. 410.8 REQUIREMENTS. ALL LIGHTS LOCATED IN WET OR DAMP LOCATIONS SHALL MEET N.E.C. 410.4 REQUIREMENTS.
- SMOKE DETECTORS TO BE HARD WIRED TO BUILDING CIRCUIT WITH BATTERY BACK UP. PROVIDE SMOKE DETECTORS AT ALL BUILDING LEVELS, IN ALL BEDROOMS, ACCESS TO ALL BEDROOMS, ETC. (UBC 310.9)
- 10. ELECTRICAL PANEL (PANELBOARD/SWITCHBOARD) MAY NOT BE LOCATED BEHIND A DOOR OR IN A ROOM THAT MAY BE LOCKED AND MUST HAVE PROPER WORKING CLEARANCES. PLEASE REFER TO THE ELECTRICAL DRAWINGS FOR THE LOCATIONS FOR ALL ELECTRICAL PANELS. IF THE PANEL BOARD NEEDS TO BE RELOCATED, PLEASE CONSULT THE OWNER AND OR ARCHITECT PRIOR TO MOVING.
- 11. SMALL WALL SECTIONS 2' OR WIDER (INCLUDES BETWEEN DOORS) REQUIRE AN OUTLET.
- 12. GFCI PROTECTION MUST BE PROVIDED FOR ANY RECEPTACLE OUTLET IN THE FOLLOWING: A BATHROOM, ANY COUNTERTOP KITCHEN/LAUNDRY, GARAGE OUTLETS MINIMUM 18" ABOVE FINISHED FLOOR HEIGHT,
- 13. A RECEPTACLE OUTLET MUST BE PROVIDED AT EACH SECTION OF KITCHEN COUNTERTOP 12" OR WIDER: THERE MUST ALSO BE A MINIMUM OF TWO (2) DEDICATED COUNTERTOP CIRCUITS.

OUTSIDE FRONT AND REAR OUTLETS MUST HAVE WATERPROOF COVERPLATE.

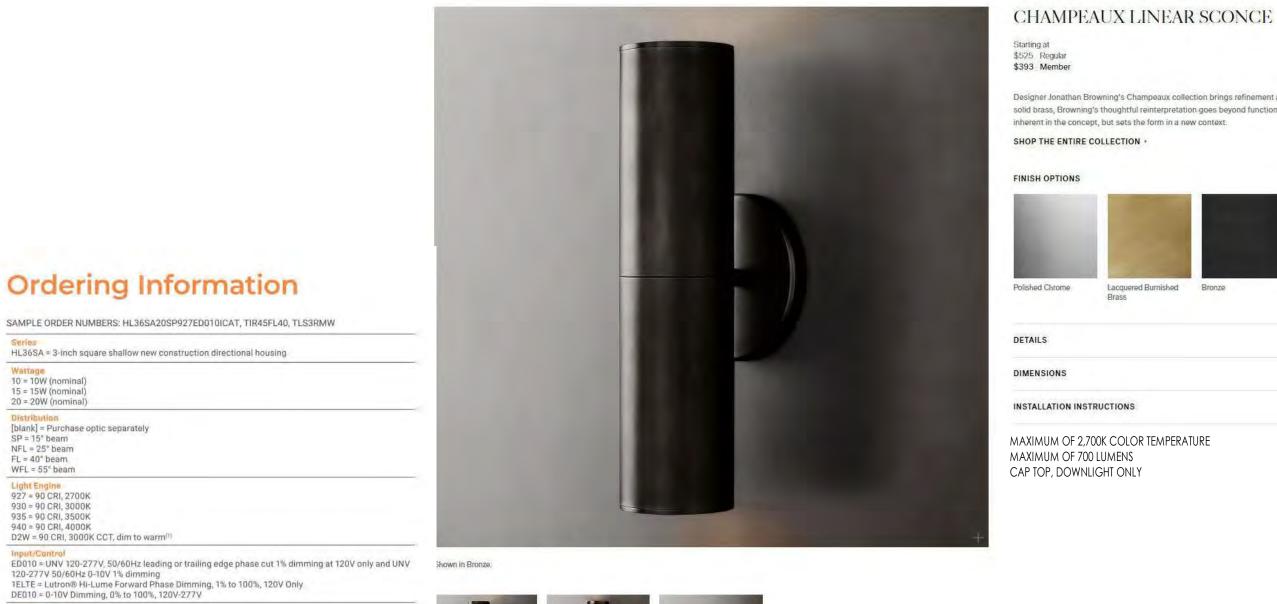
- 14. A SWITCH CONTROLLED LIGHT MUST BE PROVIDED AT HALLWAYS, STAIRWAYS, EXITS, AND EACH
- 15. A HARD-WIRED WITH BATTERY BACKUP SMOKE DETECTOR MUST BE INSTALLED IN ALL BEDROOMS (NEW AND EXISTING) IN THE ACCESS AREA TO ALL BEDROOMS, AND AT LEAST ONE PER FLOOR. TWO (2) FOOT CHANGES IN CEILING HEIGHT ALSO REQUIRE AN ADDITIONAL SMOKE DETECTOR. ALARM SOUND MUST BE AUDIBLE IN ALL AREAS OF HOME.
- 16. WHEN BEDROOMS OCCUR ON 2ND STORIES, THE DETECTOR SHOULD BE LOCATED AT THE TOP OF THE
- 17. KITCHEN OUTLETS REQUIRED TO BE GFCI PROTECTED, NOT MORE THAN 4'-0" APART.
- 18. CLOSET LIGHT FIXTURES MIN. 12" CLEARANCE TO SHELF (LATERAL MEASURED)





TYPICAL DRY UTILITY LOCATION DETAIL

RH MODERN SKI HOUSE BEACH HOUSE BABY & CHILD TEEN RH INTERIOR DESIGN GALLERIES SHOP ROOMS Q SIGN IN CART 2



Designer Jonathan Browning's Champeaux collection brings refinement and luxe materials to the classic can light, a standard of 1970s utility. Crafted in solid brass, Browning's thoughtful reinterpretation goes beyond function to recast the can as a thing of beauty. The design maintains the clean lines inherent in the concept, but sets the form in a new context. SHOP THE ENTIRE COLLECTION FINISH OPTIONS DETAILS DIMENSIONS INSTALLATION INSTRUCTIONS MAXIMUM OF 2,700K COLOR TEMPERATURE MAXIMUM OF 700 LUMENS CAP TOP, DOWNLIGHT ONLY

L-1 RECESSED EXTERIOR SOFFIT LIGHT

Note: For use in shallow ceilings with $T \times \mathcal{B}'$ joist construction.

Ordering Information

HL36SA = 3-inch square shallow new construction directional housing

Wattage 10 = 10W (nominal) 15 = 15W (nominal) 20 = 20W (nominal)

SP = 15" beam NFL = 25" beam FL = 40" beam WFL = 55" beam

930 = 90 CRI, 3000K 935 = 90 CRI, 3500K

[blank] = Purchase optic separately

940 = 90 CRI, 4000K D2W = 90 CRI, 3000K CCT, dim to warm(1)

Housing Type ICAT= insulation contact and airtight

Optics & Media
TIR45SP15 = 15" beam
TIR45NFL25 = 25" beam
TIR45FL40 = 40" beam
TIR45WFL55 = 55" beam
TIR45MH12PK = replacement media holder, package of 12
L100 Series = 2.0" lens and filters, see spec sheet

Oversized Trim Ring OTL3MW = oversized trim ring for TL3 trims

See page 19 for trim information.

(1) Only available in 10W and 15W

SAMPLE ORDER NUMBERS: HL36SA20SP927ED010ICAT, TIR45FL40, TLS3RMW

Accessories

RA3S = rimless adapter for HL36A housings and trims

CE3S = collar extender for HL36A housings, adjusts from 7/8" to 1-1/4" thick ceilings

HALO HL3 3-inch LED downlighting 15

L-2 DECORATIVE EXTERIOR WALL SCONCE



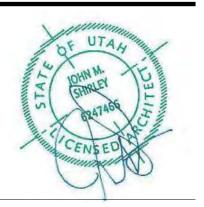
Architecture

Architecture Interior Design Landscape Architecture Land Planning Construction Managemen

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SPRINGS RESIDENCE

REVISIONS:

SHEET TITLE:
ELECTRICAL GENERAL
NOTES

2. ELECTRICAL LAYOUTS ARE SHOWN IN SCHEMATIC. THE CONTRACTOR IS RESPONSIBLE TO COORDINATE THE LAYOUT

4. ALL WORK TO COMPLY WITH 2014 N.E.C. CODES AND 2015 I.R.C. CODES.

5. CENTER OF ALL OUTLETS TO BE 18" ABOVE FINISH FLOOR UNLESS NOTED OTHERWISE. CENTER OF OUTLETS OVER CABINETS, VANITIES, ETC. TO BE 12" ABOVE FINISH COUNTER HEIGHT UNLESS NOTED OTHERWISE.

DESIGNER PRIOR TO WIRING.

CONTACT WITH INSULATION AS REQUIRED.

8. CONTRACTOR TO PROVIDE ELECTRICAL SERVICE TO MECHANICAL EQUIPMENT AS REQUIRED. 9. ALL BRANCH CIRCUITS BE PROTECTED BY AN ARCH-FAULT CIRCUIT INTERRUPTER LISTED TO PROVIDE PROTECTION OF

10. PROVIDE A U-FER GROUND. AN ELECTRODE ENCASED BY A LEAST 2" OF CONCRETE SHALL BE LOCATED NEAR THE BOTTOM OF THE CONCRETE FOUNDATION SYSTEM AND SHALL BE IN DIRECT CONTACT WITH THE EARTH, CONSISTING OF CONDUCTOR NOT SMALLER THAN 4 AWG. (I.R.C. E3508.1.2 AND N.E.C. 250.50)

11. THE CONTRACTOR SHALL VERIFY OUTLET LOCATIONS AND VOLTAGE REQUIREMENTS AS PER APPLIANCE

13. SMOKE AND/OR CARBON MONOXIDE DETECTORS ARE TO BE HARD WIRED TOGETHER IN SERIES WITH BATTERY BACKUP AS PER CODE REQUIRMENTS. COMBINATION UNITS ARE PERMITTED AS APPROVED.

15. ALL 125V 15 AND 20 AMP RECEPTACLES WITHIN DWELLING UNITS MUST BE TAMPER PROOF.

SYMBOL DESCRIPTION SINGLE POLE TOGGLE SWITCH THREE WAY TOGGLE SWITCH FOUR WAY TOGGLE SWITCH GARAGE DOOR OPENER DIMMER TOGGLE SWITCH 110 V DUPLEX OUTLET ON AN (AFP) ARC FAULT PROTECTED CIRCUIT 110 V GROUND FAULT INTERRUPTER igorplus(5) $\begin{array}{c|c} \hline \hline \hline \Delta & \hline \Delta & \\ \hline \hline \Delta & \Delta & \\ \hline \end{array}$ TRACK LIGHTING LIGHTING DIGITAL PAD DOOR BELL SWITCH WALL MOUNTED BED LIGHT

ELECTRICAL LEGEND

1. SEE SPECS FOR ELECTRICAL INFORMATION.

THE ENTIRE BRANCH CIRCUIT.

AND INSTALLATION OF ALL RELATED ITEMS WITH EXISTING CONDITIONS AND RELATED TRADES.

3. COORDINATE WITH OWNER, INTERIOR DESIGNER AND/OR PLANS FOR FIXTURE SCHEDULES, STYLES, FINISHES, ETC.

6. CONTRACTOR TO FIELD VERIFY LOCATION OF ALL ELECTRICAL FIXTURES, SWITCHES, ETC. WITH OWNER AND

7. PROVIDE SLOPED RECESSED CANS FOR SLOPED CEILING APPLICATIONS & THERMAL PROTECTION CANS WHERE IN

AT LEAST 20 FEET OF BARE ELECTRICALLY CONDUCTIVE ROD AT LEAST 1/2 INCH IN DIAMETER OR BARE COPPER

SPECIFICATIONS.

12. STRUCTURED WIRE MEDIA PANEL TO BE "LEVITON" (O.A.E.) AND INCLUDE:

A/C POWER MODULE, CAT 5 VOICE AND DATA MODULES, 10/100 MPS SATA HUB, CATV BOOSTER AND AUDIO / VIDEO CONTROL MODULES.

14. ALL EXTERIOR ELECTRICAL OUTLETS TO HAVE WEATHERPROOF COVERS.

RESIDENCE SPRINGS I

Architecture

Landscape Architecture

Construction Management

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Architecture

Interior Design

Land Planning

PROJECT NC22023.33

SHEET TITLE:
ELECTRICAL PLANS

REVISIONS:

LEVEL 2 - ELECTRICAL

PROVIDE FOR RANGE

PROVIDE ELECTRICAL

COORDINATE

FOR FIREPLACE -

ELECTRICAL/MECHANICAL

HOOD ELECTRICAL

PROVIDE ELECTRICAL

FOR TRASH COMPACTOR

PROVIDE ELECTRICAL FOR FOOD PROCESSOR

AND COUNTERTOP SWITCH $^{\prime}$

-PANTRY-

TO FIXTURE DOWNSTAIRS **▼**

 COORDINATE ELECTRICAL W/ MECHANICAL FOR

A/C UNIT - SHUT OFF SWITCH

MUD/ LAUNDRY

LEVEL 1 - ELECTRICAL

 COORDINATE ELECTRICAL W/MECHANICAL FOR

- COORDINATE

W/MECHANICAL -ELE

CTRICAL FOR BOILER

COORDINATE FOR LOCATION

 COORDINATE WITH CONCRETE FOR LOCATION OF U-FER GROUND

OFFICE/ FLEX

OF METER AND MAIN DISTRIBUTION PANEL

——— COORDINATE FOR LOCATION

EV RECHARGE OUTLET

FURNACES

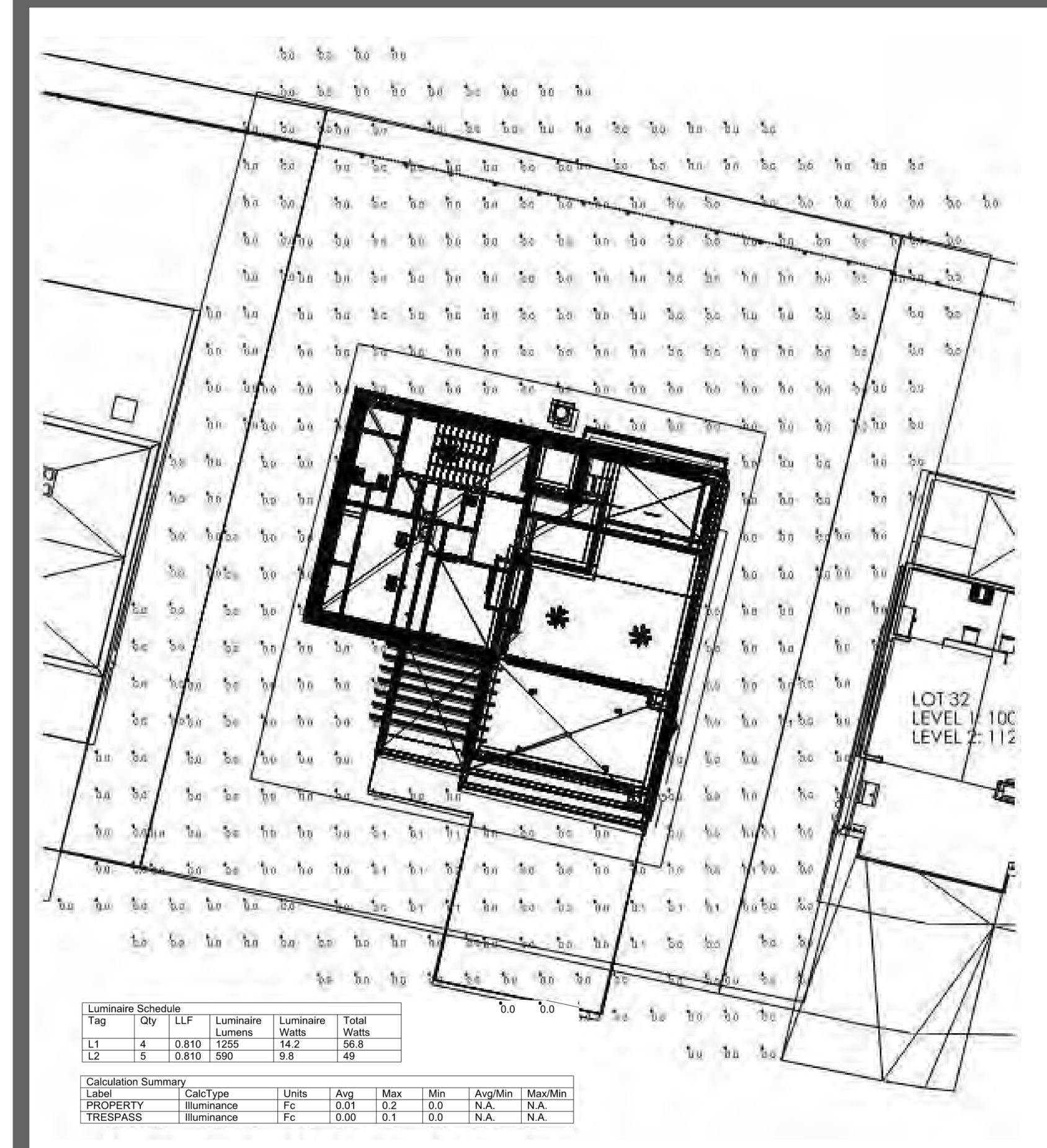
FURNACE 1 FURNACE 2

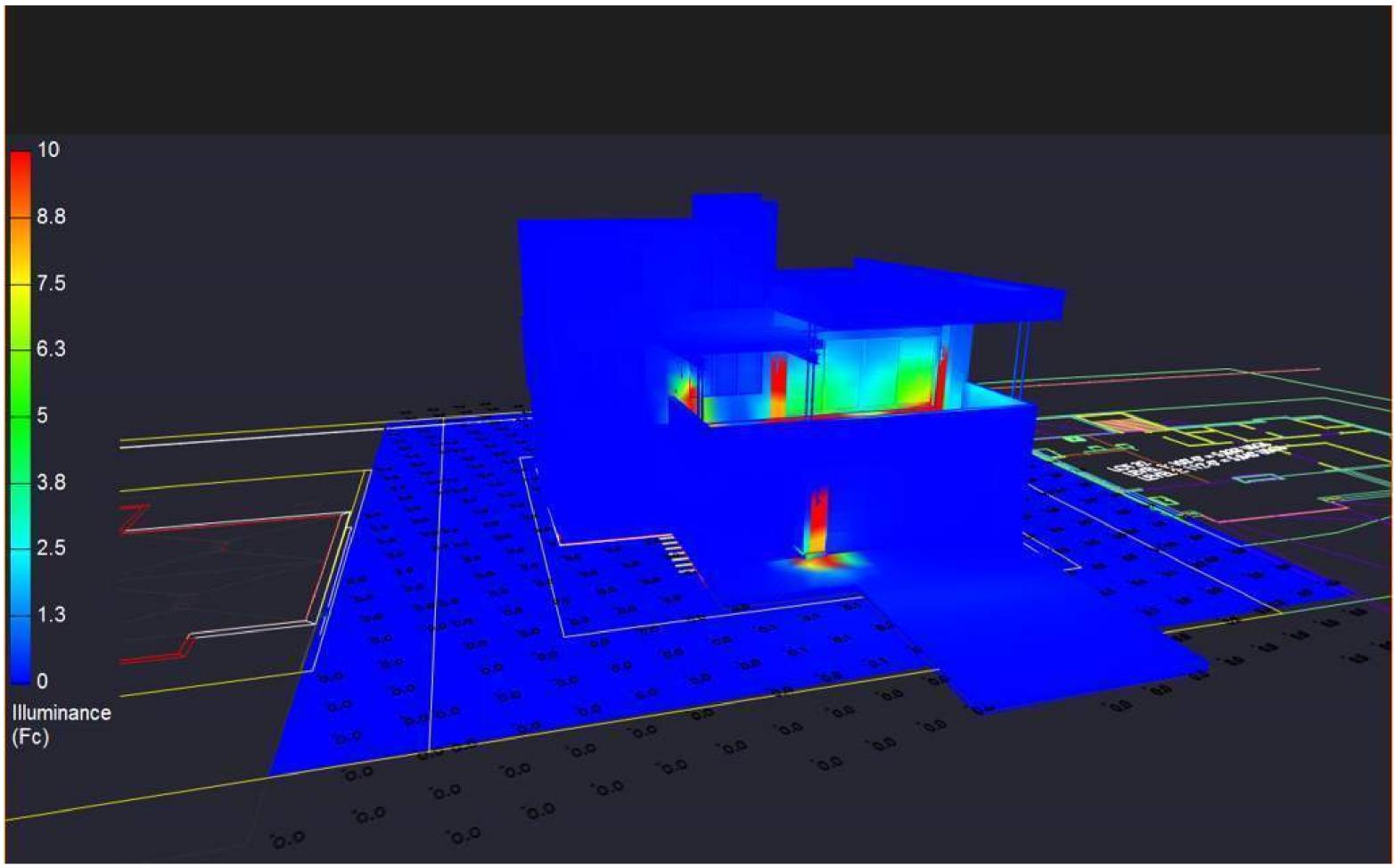
COORDINATE

UNIT HEATER

W/MECHANICAL -

ELECTRICAL FOR CEILING MOUNTED





PSEUDO RENDERING WITH ILLUMINANCE SCALE





POINT-BY-POINT CALCUATION AND SUMMARIES (5 FOOT GRID)





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WARM SPRINGS RESIDENCE #33 R1

170 BALD MOUNTAIN ROAD KETCHUM, IDAHO 83340 MATERIAL BOARD







STREET VIEW FROM BALD MOUNTAIN ROAD LOOKING NORTH





BALD MOUNTAIN ROAD VIEW LOOKING NORTH EAST



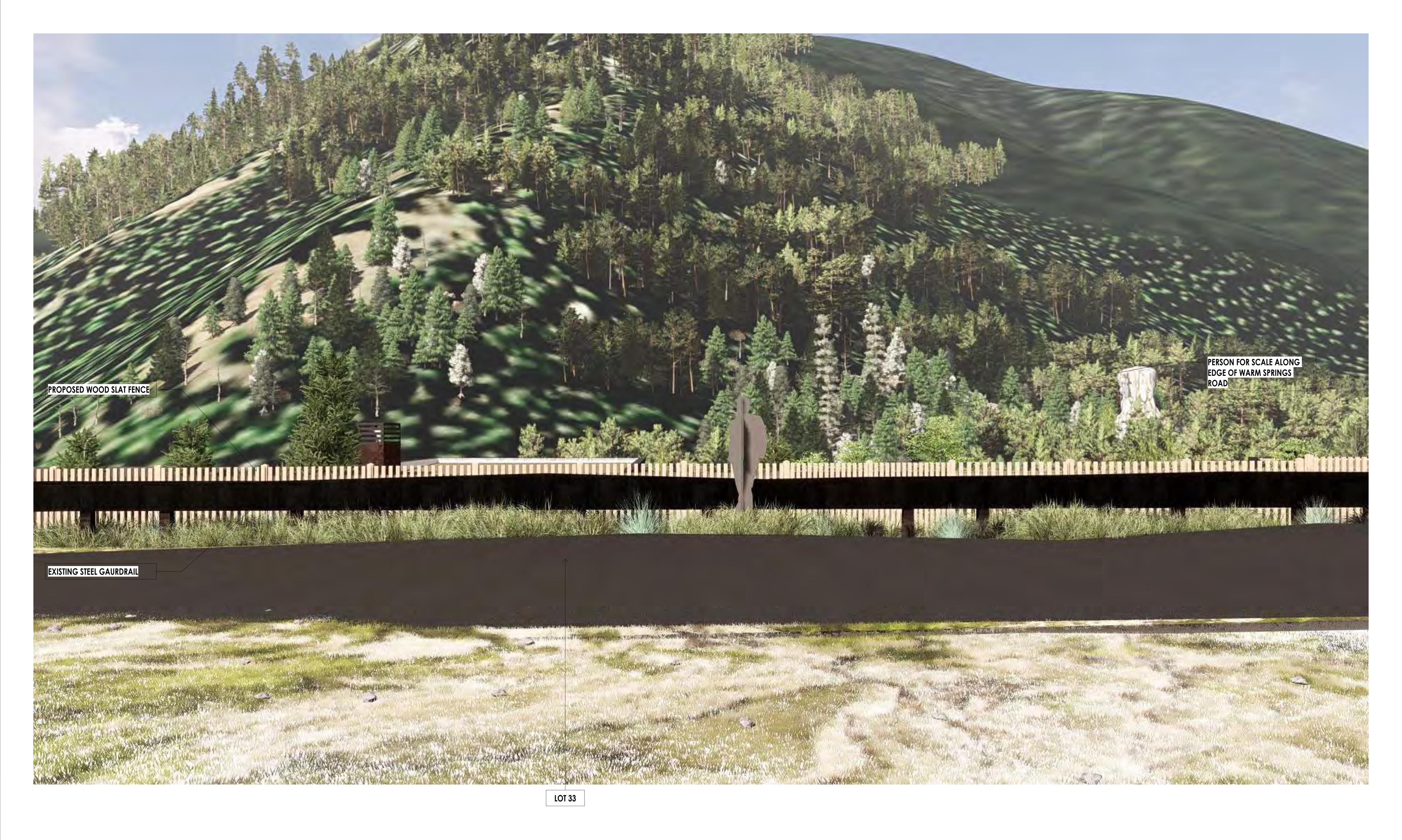




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WARM SPRINGS ROAD LOOKING SOUTH

EXTERIOR VIEWS



WARM SPRINGS ROAD LOOKING SOUTH

EXTERIOR VIEWS



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WARM SPRINGS RESIDENCE #33 R1

170 BALD MOUNTAIN ROAD KETCHUM, IDAHO 83340 BIRDS EYE VIEW LOOKING EAST OVER BALD MOUNTAIN ROAD

EXTERIOR VIEWS





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WARM SPRINGS RESIDENCE #33 R1

170 BALD MOUNTAIN ROAD KETCHUM, IDAHO 83340 EXTERIOR VIEWS

BALD MOUNTAIN ROAD



WARM SPRINGS BUS STOP

VIEW FROM SECOND STORY WINDOW ON NORTH SIDE OF WARM SPRINGS ROAD LOOKING WEST



and express written permission from THINK Architecture, Inc.

WARM SPRINGS RESIDENCE #33 R1

170 BALD MOUNTAIN ROAD KETCHUM, IDAHO 83340 EXTERIOR VIEWS



Attachment C: Lot 33 Redesign #2 Plan Set



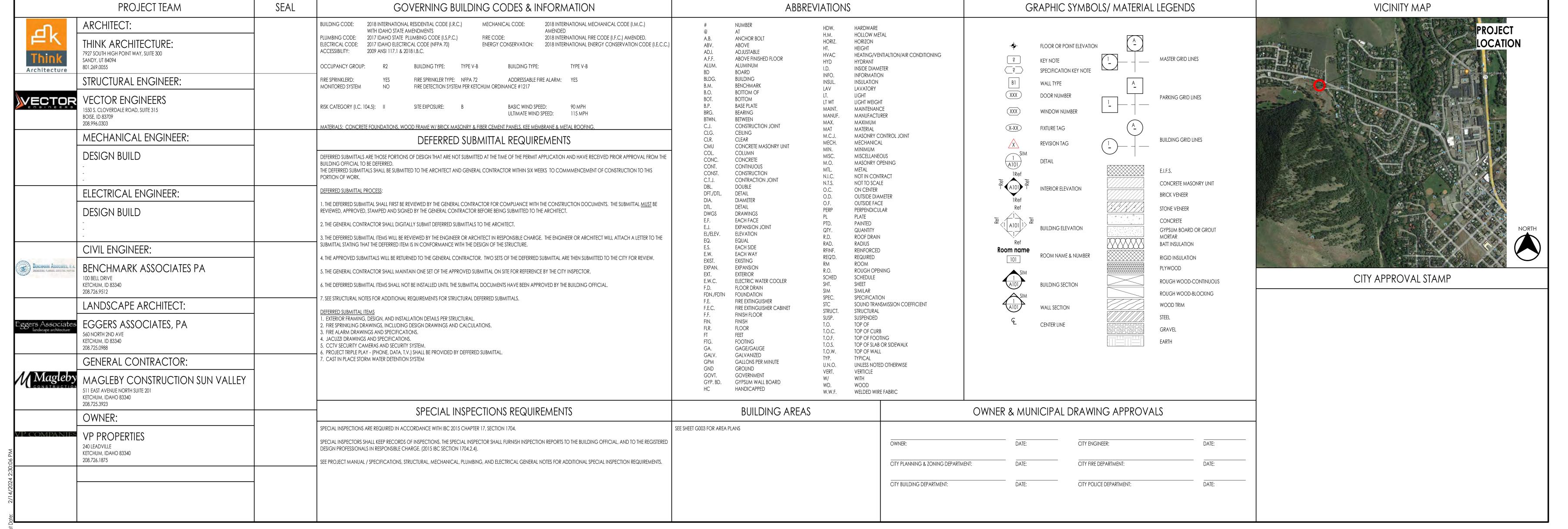
WARM SPRINGS #33

170 BALD MOUNTAIN ROAD KETCHUM, ID 83340 PROPERTY I.D. NUMBER:

			DRA	1IW
	GENERAL			
SHEET #	SHEET NAME	#	DATE	
COVER	COVER SHEET			
G002	GENERAL NOTES			
G003	BUILDING AREA ANALYSIS			
G004	SPECIFICATIONS			
G005	SPECIFICATIONS			
G006	SPECIFICATIONS			
G007	SPECIFICATIONS			
G008	SPECIFICATIONS			
	CIVIL			
SHEET #	SHEET NAME	#	DATE	
C101	Civil			
	LANDSCAPE			
	LANDSCATE			
SHEET #	SHEET NAME	#	DATE	
L101	Landscape			
	ARCHITECTURAL			
SHEET #	SHEET NAME	#	DATE	
A101	SITE PLAN			
A103	FOUNDATION PLAN			
A104	LEVEL 1 FLOOR PLAN			
A105	LEVEL 2 FLOOR PLAN			
A107	ROOF PLAN			
A109	LEVEL 1 CEILING PLAN			
A110	LEVEL 2 CEILING PLAN			
A201	EXTERIOR ELEVATIONS			
A202	EXTERIOR ELEVATIONS			
A301	BUILDING SECTIONS			
A302	BUILDING SECTIONS			
A303	BUILDING SECTIONS			
A304	ENLARGED DECK - DETAILS			
A401	FIREPLACE ELEVATIONS			
A501	ARCHITECTURAL DETAILS			
A502	ARCHITECTURAL DETAILS			
A503	STAIR- PLAN- SECTIONS - DETAILS			
A601	DOOR SCHEDULE & ELEVATIONS			
A602	DOOR DETAILS			
A603	WINDOW SCHEDULE & ELEVATIONS			

A604 WINDOW DETAILS

IG INDE	ΞX		
	STRUCTURAL		
SHEET #	SHEET NAME	#	DATE
\$101	Structural		
	MECHANICAL		
SHEET #	SHEET NAME	#	DATE
M101	MECHANICAL GENERAL NOTES		
M102	MECHANICAL PLAN		
	ELECTRICAL		
SHEET #	SHEET NAME	#	DATE
E101	ELECTRICAL GENERAL NOTES		
E102	ELECTRICAL PLANS		
	SHEET # S101 SHEET # M101 M102 SHEET # E101	SHEET # SHEET NAME S101 Structural MECHANICAL SHEET # SHEET NAME M101 MECHANICAL GENERAL NOTES M102 MECHANICAL PLAN ELECTRICAL SHEET # SHEET NAME	STRUCTURAL SHEET # SHEET NAME # \$101 Structural MECHANICAL SHEET # SHEET NAME # M101 MECHANICAL GENERAL NOTES M102 MECHANICAL PLAN ELECTRICAL SHEET # SHEET NAME #





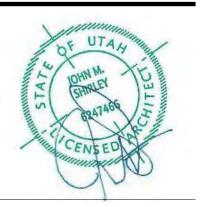
Architecture

Architecture
Interior Design
Landscape Architecture
Land Planning
Construction Managemen

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M SPRINGS RESIDENCE #3

PROJECT NC22023.33 DATE: 2023.12.27

REVISIONS:

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COVER SHEET

SHEET NUMBER:

COVE

ASSEMBLY, APPLICATION, INSTALLATION, AND SIMILAR OPERATIONS, AS APPLICABLE IN EACH INSTANCE.

MEANS TO SUPPLY, PURCHASE, PROCURE AND DELIVER COMPLETE WITH RELATED ACCESSORIES, READY FOR C19. PRODUCT HANDLING:

MEANS TO CONSTRUCT, ASSEMBLE, ERECT, MOUNT, ANCHOR, PLACE, CONNECT, APPLY AND SIMILAR OPERATIONS, COMPLETE WITH RELATED ACCESSORIES, AS APPLICABLE IN EACH INSTANCE.

d. EQUIVALENT: MEANS "EQUIVALENT AS ACCEPTED BY THE ARCHITECT." WITH RESPECT TO PRODUCTS, EQUIVALENT MEANS A LIKE DEGREE OF FEATURES, ATTRIBUTES, PERFORMANCES, OR QUALITIES DEEMED ESSENTIAL TO THE DESIGN INDICATED INSTEAD, THE TERM INTENDED TO MEAN ARCHITECT WILL CONSIDER SUBSTITUTION PROPOSALS FOR THE PRODUCT. DO NOT ASSUME THAT SUBSTITUTE PRODUCTS ARE ACCEPTABLE. SUBSTITUTIONS MADE BY THE CONTRACTOR WITHOUT FULL AND FINAL APPROVAL, MAY REQUIRE TO BE REMOVED IF NOT DEEMED ACCEPTABLE BY THE ARCHITECT. ALL COSTS ASSOCIATED TO REMOVAL OF SUBSTITUTION NOT APPROVED, AND INSTALLATION OF ACCEPTED PRODUCTS WILL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

GENERAL NOTES

G1. INTENT OF THE DOCUMENTS: DRAWINGS AND SPECIFICATIONS ARE INTENDED TO PROVIDE THE BASIS FOR THE PROPER COMPLETION OF THE PROJECT, SUITABLE FOR THE INTENDED USE OF THE OWNER. ITEMS NOT EXPRESSLY SET FORTH WITHIN THE DRAWINGS AND SPECS, BUT WHICH ARE REASONABLY IMPLIED FOR COMPLETION OF A COMPLETE SYSTEM, OR NECESSARY, FOR THE PROPER PERFORMANCE OF THE WORK SHALL BE INCLUDED.

G2. DRAWINGS AND SPECIFICATIONS:

SPECIFICATIONS ARE INTENDED TO BE COMPLIMENTARY AND SUPPLEMENTAL TO THE DRAWINGS. NO RELATIVE IMPORTANCE OF DRAWINGS VERSUS SPECIFICATIONS HAS BEEN ESTABLISHED AND NONE SHOULD BE ASSUMED, BUT THE MOST STRINGENT CONDITIONS SHOULD BE ASSUMED FOR ALL BIDDING AND CONSTRUCTION REQUIREMENTS. IN THE EVENT OF DISCREPANCIES OR CONFLICTS, THE ARCHITECT SHALL BE CONSULTED IN ORDER TO RENDER AN INTERPRETATION.

BIDDING, PRICING OR CONSTRUCTION DONE PRIOR TO RECEIVING FINAL BUILDING DEPARTMENT PERMITS IS AT THE CONTRACTORS OWN RISK. CHANGES TO THE DRAWINGS MAY BE REQUIRED AS PART OF THE PLAN CHECK AND/ OR OWNER REVIEW PROCESS. THINK ARCHITECTURE INC. AND ITS CONSULTING ENGINEERS WILL NOT BE HELD LIABLE FOR, NOR COMPENSATE FOR, CHANGES TO THESE DRAWINGS BEFORE FINAL JURISDICTION AND OWNER APPROVAL IS OBTAINED.

G3. WORK NOT INCLUDED: ANY ITEM INDICATED ON THE DRAWINGS AS "N.I.C." (NOT IN CONTRACT), OR OTHERWISE DESIGNATED TO BE DONE BY OTHERS IS NOT A PART OF THE CONTRACT. INSTALLATION AND/OR BACKING MAY BE REQUIRED FOR SOME EQUIPMENT FURNISHED BY OWNER OR OWNER'S SUBCONTRACTOR. REFER TO DRAWINGS FOR SPECIFIC REQUIREMENTS.

G4. CONTRACT DOCUMENTS AT SITE:

THE CONTRACTOR SHALL MAINTAIN CURRENT PERMIT DRAWINGS; SHOP DRAWINGS; REVISED DRAWINGS; AND CLARIFICATION DRAWINGS, ADDENDA; CHANGE ORDERS; BULLETINS; INSPECTIONS; TEST CERTIFICATIONS AND RECORDS; PRODUCT SUBMITTAL DATA AND SAMPLES. FIELD OFFICE SHALL CONTAIN A
C27. SECURITY: CURRENT COPY OF ALL GOVERNING BUILDING CODE(S). MAKE DOCUMENTS AVAILABLE AT ALL TIMES FOR ARCHITECT'S REVIEW. ALL DRAWINGS MUST BE CLEARLY MARKED AS TO THE FINAL APPROVED DRAWINGS.

THE MAINTAIN ACCURATELY DIMENSIONED RECORDS OF ALL UNDERGROUND LINES, SERVICES, AND UTILITIES, AS WELL AS ANY DISCREPANCIES OR REQUIRED CHANGES IN THE CONTRACT DOCUMENTS, AT THE END OF THE PROJECT, FORWARD TO ARCHITECT FOR FUTURE RECORDS. ONE (1) CD OF COMPLETE RECORD DRAWINGS TO OWNER IN PDF FORMAT AFTER COMPLETING FINAL PUNCH LIST.

G6. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED SIZES; DO NOT SCALE DRAWINGS TO DETERMINE ANY LOCATIONS. THE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES, PRIOR TO CONTINUING WITH WORK.

G7. FIELD CONFIRMATION OF DISCREPANCIES SHALL BE RECORDED ON REPRODUCIBLE DOCUMENT AND IMMEDIATELY TRANSMITTED TO ARCHITECT FOR PROJECT RECORD, COORDINATION, AND NECESSARY RESOLUTION PRIOR TO CONTINUING WITH WORK.

G8. FIFI D MEASUREMENTS VERIFY FIELD MEASUREMENTS BEFORE ORDERING MATERIALS AND PREFABRICATED ITEMS. ANY NECESSARY ADJUSTMENTS BETWEEN FIELD MEASUREMENTS AND DRAWINGS SHALL BE MADE IN CONSULTATION WITH THE

G9. ALL WORK SHALL CONFORM TO THE LATEST ADOPTED EDITIONS OF ALL APPLICABLE BUILDING CODES, THE AMERICANS WITH DISABILITIES ACT, AS WELL AS ALL OTHER LOCAL GOVERNING CODES AND ORDINANCES.

G10. REFERENCE STANDARDS: COMPLY WITH ASSOCIATION, TRADE, FEDERAL, COMMERCIAL, ASTM, AND OTHER SIMILAR STANDARDS REFERENCED WITHIN INDIVIDUAL SECTIONS, EXCEPT WHERE MORE EXPLICIT OR STRINGENT REQUIREMENTS ARE INDICATED, OR REQUIRED BY APPLICABLE CODES. REFERENCE STANDARDS HAVE SAME FORCE AND EFFECT AS IF BOUND INTO CONTRACT DOCUMENTS. SHOULD SPECIFIED REFERENCE STANDARDS CONFLICT WITH CONTACT DOCUMENTS, REQUEST CLARIFICATION FROM ARCHITECT BEFORE PROCEEDING.

C1. THE CONTRACTOR SHALL BE RESPONSIBLE TO FIELD VERIFY ALL EXISTING SITE CONDITIONS, UTILITIES, CONNECTIONS, LOCATIONS, ETC, AND NOTIFY THE ARCHITECT/ENGINEER OF ANY DISCREPANCIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.

C2. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES, WHETHER SHOWN HEREIN OR NOT, AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSE FOR THE REPAIR OR REPLACEMENT OF UTILITIES AND ALL OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH C31. CUTTING AND PATCHING: EXECUTION OF WORK.

C3. CONTRACTOR SHALL, PRIOR TO COMMENCEMENT OF WORK, FIELD VERIFY ALL EXISTING PROJECT CONDITIONS, INCLUDING DIMENSIONS, UTILITY LOCATIONS, AND UTILITY SIZES.

C4. THE CONTRACTOR SHALL BE REQUIRED TO MEET ALL NATIONAL, STATE AND LOCAL, AND RELATED CODES FOR STANDARD CONSTRUCTION PRACTICES.

C5. INSTALLATION STANDARDS: ALL MANUFACTURED MATERIALS AND PRODUCTS SHALL BE APPLIED, INSTALLED, CONNECTED, CLEANED AND CONDITIONED IN ACCORDANCE WITH THE MANUFACTURER'S PRINTED INSTRUCTIONS. ALL REFERENCES TO

STANDARDS OR TO MANUFACTURER'S SPECIFICATIONS SHALL BE TO THE LATEST EDITIONS OR LATEST AMENDMENTS. C6. HOURS OF WORK: ALL DEMOLITION, GRADING, AND CONSTRUCTION WORK SHALL BE LIMITED TO THE FOLLOWING HOURS:

MONDAY THROUGH SATURDAY 7:00 AM TO 7:00 PM, OR AS REQUIRED BY THE RVMA AND SUMMIT COUNTY PLANNING AND ZONING. NO ACTIVITIES ON SUNDAY. AFTER-HOURS WORK WILL NOT BE PERMITTED WITHOUT PRIOR WRITTEN APPROVAL FROM THE PERSONS/AGENCIES THAT HAVE JURISDICTION.

C7. TESTING AGENCIES: THE CONTRACTOR SHALL PROVIDE AND PAY FOR INSPECTIONS, TESTS, AND OTHER SERVICES SPECIFIED. refer to individual selections for additional requirements, employment of testing LABORATORY SHALL IN NO WAY RELIVE CONTRACTOR OF OBLIGATION TO PERFORM WORK IN ACCORDANCE WITH REQUIREMENTS OF CONTRACT DOCUMENTS.

C8. PROJECT LOG: MAINTAIN DAILY LOG CONTAINING ALL INFORMATION REGARDING CONSTRUCTION OPERATIONS AND OTHER OCCURRENCES PERTAINING TO THE PROJECT. MAKE LOG AVAILABLE FOR ARCHITECT'S REVIEW.

C9. WORK PROGRESS SCHEDULE: MAINTAIN AN UPDATED WORK PROGRESS SCHEDULE POSTED IN A VISIBLE PLACE LOCATED IN FIELD OFFICE. UPDATE SCHEDULE DAILY TO REFLECT WORK PROGRESS.

C10. THE GENERAL BUILDING PERMITS SHALL BE PAID FOR BY THE OWNER AND SECURED BY THE GENERAL CONTRACTOR, ALL OTHER REQUIRED PERMITS SHALL BE SECURED AND PAID FOR BY THE CONTRACTOR OR

SUBCONTRACTOR DIRECTLY RESPONSIBLE. C11. CONTRACTOR SHALL ASSIST OWNER IN OBTAINING FINAL APPROVAL OF LOCAL HEALTH DEPARTMENT AND THE

TEMPORARY AND FINAL CERTIFICATES OF OCCUPANCY.

C12. ADDITIONAL REQUIRED CITY AND COUNTY LICENSES SHALL BE ACQUIRED AND PAID FOR BY THE INDIVIDUAL

C13. ALL CONTRACTORS SHALL HAVE VALID CERTIFICATES OF WORKMAN'S COMPENSATION OF FILE WITH THE

C14. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE OCCUPANTS AND WORKERS AT ALL TIMES.

PROVIDE AND MAINTAIN A FIELD OFFICE ON THE PREMISES WHERE DIRECTED. OFFICE SHALL BE OF NEAT, SUBSTANTIAL CONSTRUCTION, PROVIDE HANGING PLAN FILES AND MAINTAIN WITH ALL CURRENT

PROVIDE AND MAINTAIN, WHERE DIRECTED, A WATERTIGHT STORAGE STRUCTURE FOR ALL MATERIALS WHICH MIGHT BE DAMAGED BY WEATHER, INCLUDING STORAGE FACILITIES FOR CONCRETE TEST SAMPLES, OR OTHER MATERIAL SAMPLES REQUIRED FOR WORK.

a. STORAGE STRUCTURE:

b. COSTS: PAY COSTS FOR A LOCAL BUSINESS TELEPHONE FOR USE BY CONTRACTOR, OWNER AND ARCHITECT THROUGHOUT CONTRACT PERIOD.

c. COMMUNICATION EQUIPMENT:

PROVIDE A TELEPHONE ON SITE. ASSIGN A RESPONSIBLE PERSON TO ANSWER ALL TELEPHONE CALLS IN EVENT THE SUPERINTENDENT IS ABSENT FROM THE PREMISES. PROVIDE APPROVED MEANS TO ESTABLISH URGENT COMMUNICATIONS (CELLULAR TELEPHONE OR PAGER). C16. TEMPORARY FACILITIES:

PROVIDE TEMPORARY FACILITIES AND CONNECTIONS AS REQUIRED FOR THE PROPER COMPLETION OF THE

PROJECT. PROVIDE AND MAINTAIN TEMPORARY UTILITY SERVICES. PROVIDE SUITABLE WASTE DISPOSAL UNITS AND EMPTY REGULARLY. DO NOT PERMIT ACCUMULATION OF TRASH AND WASTE MATERIALS. PROVIDE TEMPORARY SANITARY FACILITIES AS REQUIRED. C17. STORAGE AND PROTECTION:

STORE AND PROTECT PRODUCTS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS WITH LABELS INTACT AND LEGIBLE. STORE SENSITIVE PRODUCTS IN WEATHERTIGHT, CLIMATE CONTROLLED ENCLOSURES. PROVIDE OFFSITE STORAGE AND PROTECTION WHEN SITE DOES NOT PERMIT ON SITE STORAGE.

C18. FIELD QUALITY CONTROL EMPLOY ONLY EXPERIENCED INSTALLERS AND FURNISH EVIDENCE OF EXPERIENCE IF REQUESTED. USE OF ANY SUBCONTRACTOR OR INSTALLER IS SUBJECT TO OWNER'S APPROVAL. EMPLOY FULL-TIME, COMPETENT SUPERINTENDENT AS WELL AS NECESSARY ASSISTANTS. SUPERINTENDENT SHALL REPRESENT THE CONTRACTOR

AND ALL COMMUNICATIONS GIVEN TO THE SUPERINTENDENT SHALL BE AS BINDING AS IF GIVEN TO THE

TRANSPORT AND HANDLE PRODUCTS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS. DELIVER PRODUCTS IN UNDAMAGED CONDITION, IN MANUFACTURER'S ORIGINAL UNOPENED CONTAINER'S OR PACKING, WITH IDENTIFYING LABELS INTACT AND LEGIBLE. PROMPTLY INSPECT SHIPMENTS TO ENSURE THAT PRODUCTS COMPLY WITH REQUIREMENTS OF CONTRACT DOCUMENTS, QUANTITIES ARE CORRECT, AND

C20. COMPLIANCE WITH MANUFACTURER'S INSTRUCTIONS: HANDLE, INSTALL, ERECT, CONNECT, CONDITION, USE, ADJUST, AND CLEAN PRODUCTS IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTION AND IN CONFORMITY WITH SPECIFIED REQUIREMENTS, INCLUDING EACH STEP IN SEQUENCE. DO NOT OMIT PREPARATORY STEPS OR INSTALLATION PROCEDURES UNLESS SPECIFICALLY MODIFIED OR EXEMPTED BY CONTRACT DOCUMENTS, SHOULD JOB CONDITIONS OR SPECIFIED REQUIREMENTS CONFLICT WITH MANUFACTURER'S INSTRUCTIONS, REQUEST CLARIFICATION IN WRITING FROM ARCHITECT BEFORE PROCEEDING. INSTALL MATERIALS IN PROPER RELATION WITH ADJACENT CONSTRUCTION AND WITH PROPER APPEARANCE.

C21. MANUFACTURER'S FIELD SERVICES: WHEN SPECIFIED IN INDIVIDUAL SECTIONS, REQUIRE MATERIAL OR PRODUCT SUPPLIERS OR MANUFACTURERS TO PROVIDE QUALIFIED STAFF PERSONNEL TO OBSERVE SITE CONDITIONS, CONDITIONS OF SURFACES, QUALITY OF WORKMANSHIP, AND CONDITIONS OF INSTALLATION AS APPLICABLE AND TO INITIATE ADDITIONAL INSTRUCTIONS WHEN NECESSARY.

C22. CONTRACTOR SHALL VERIFY, AND BE RESPONSIBLE FOR, ALL WORK AND MATERIALS - INCLUDING THOSE FURNISHED BY SUBCONTRACTORS.

C23. NON-CONFORMING WORK:

PRODUCTS ARE UNDAMAGED.

REMOVE AND REPLACE WORK THAT DOES NOT CONFORM TO THE CONTRACT DOCUMENTS AT NO ADDITIONAL EXPENSE TO THE OWNER. C24. PRODUCT IDENTIFICATIONS:

NAMEPLATES, TRADEMARKS, LOGOS, AND OTHER IDENTIFYING MARKS ON PRODUCTS ARE NOT PERMITTED ON SURFACES EXPOSED TO VIEW IN PUBLIC AREAS, INTERIOR OR EXTERIOR. PLUMBING, MECHANICAL, AND ELECTRICAL EQUIPMENT NOT EXPOSED TO PUBLIC VIEW ARE EXECUTED FROM FOREGOING LIMITATION. REQUIRED UL OR FM LABELS ARE ALSO EXCLUDED.

C25. PROTECTION OF ADJACENT WORK: PROVIDE TEMPORARY PROTECTION FOR ADJACENT AREAS TO PREVENT DAMAGE BY INSTALLATION OF NEW WORK OR DEMOLITION OF EXISTING CONSTRUCTION, PROMPTLY REPAIR ANY DAMAGE AT NO ADDITIONAL COST TO THE OWNER. PROTECT ADJACENT AREAS FROM CONTAMINATION BY CONSTRUCTION DUST AND DEBRIS. PROVIDE TEMPORARY BARRICADES AS NECESSARY TO ENSURE PROTECTION OF THE PUBLIC. MAINTAIN EGRESS WITHIN AND AROUND CONSTRUCTION AREAS.

C26. DAMAGED PRODUCTS: DO NOT USE PRODUCTS IN WORK, WHICH HAVE DETERIORATED, BECOME DAMAGED, OR ARE OTHERWISE UNFIT FOR USE. RESTORE UNITS DAMAGED DURING INSTALLATION. REPLACE UNITS, WHICH CANNOT BE RESTORED AT NO ADDITIONAL EXPENSE TO THE OWNER.

PROVIDE FACILITIES TO PROTECT WORK FROM UNAUTHORIZED ENTRY, VANDALISM, AND THEFT. CONDUCT OPERATIONS IN MANNER TO AVOID RISK OF LOSS, THEFT, OR DAMAGE BY VANDALISM.

C28. TEMPORARY CONTROLS: PRIOR TO ENCLOSURE, PROVIDE HEATING AS NECESSARY TO PROTECT MATERIALS, PRODUCTS, AND FINISHES FROM DAMAGE DUE TO TEMPERATURE OR HUMIDITY. ENCLOSURE IS DEFINED AS STATE OF CONSTRUCTION WHEN EXTERIOR WALLS ARE ERECTED, DOORS AND WINDOWS ARE INSTALLED AND

AREAS WHERE CONSTRUCTION IS IN PROGRESS. VENTILATE ENCLOSED AREAS TO ASSIST CURE OF MATERIALS, TO DISSIPATE HUMIDITY, AND TO PREVENT ACCUMULATION OF DUST, FUMES, VAPORS, OR GASES.

GLAZED, ROOF DECK AND ROOFING ARE COMPLETE, AND WHEN OTHER OPENINGS IN EXTERIOR

ENVELOPE ARE EQUIPPED WITH TEMPORARY CLOSURES. EXCEPT WHERE INDICATED OTHERWISE IN

c. BARRIERS AND CLOSURES: PROVIDE BARRIERS TO PREVENT UNAUTHORIZED ENTRY TO CONSTRUCTION AREAS AND TO PROTECT EXISTING FACILITIES AND ADJACENT PROPERTIES FROM DAMAGE FROM CONSTRUCTION OPERATIONS.

d. FIRE PROTECTION: COMPLY WITH LOCAL FIRE PROTECTION CODE AND GOVERNING AUTHORITIES. PROVIDE AND MAINTAIN ADEQUATE FIRE PROTECTION INCLUDING, WITHOUT LIMITATION, FIRE EXTINGUISHERS AND OTHER APPROPRIATE EQUIPMENT FOR FIRE EXTINGUISHING READY FOR IMMEDIATE USE. MAINTAIN ANY REQUIRED FIRE ALARM SYSTEMS IN OPERATION DURING CONSTRUCTION. DISTRIBUTE EQUIPMENT AROUND SITE AND PARTICULARLY IN IMMEDIATE VICINITY OF PERFORMANCE OF WELDING OR SIMILAR

INTERRUPTIONS TO ANY SERVICE FOR THE PURPOSE OF MAKING OR BREAKING A CONNECTION SHALL BE MADE ONLY AFTER CONSULTATION WITH THE OWNER AND SHALL BE AT SUCH TIME AND OF SUCH DURATION

C30. EXCAVATIONS OR TRENCHING:

KEEP THE INTERVALS BETWEEN EXCAVATION OR TRENCHING, INSTALLATION OF CONDUIT OR PIPING, AND BACK FILLING OPERATIONS TO AN ABSOLUTE MINIMUM. PROVIDE SUITABLE TEMPORARY COVERS FOR EXCAVATIONS OR TRENCHING CROSSING ROADWAYS, WALKS, OR OTHER TRAFFIC WAYS AS REQUIRED BY GOVERNING AGENCIES.

do not cut and patch in a manner that would result in a failure of the work to perform as INTENDED, DECREASE FIRE PERFORMANCE, DECREASE ACOUSTICAL PERFORMANCE, DECREASE ENERGY PERFORMANCE, DECREASE OPERATIONAL LIFE, OR DECREASE SAFETY FACTORS. DO NOT REMOVE OR ALTER STRUCTURAL COMPONENTS WITHOUT WRITTEN APPROVAL FROM THE ARCHITECT. CUT WITH TOOLS APPROPRIATE FOR MATERIALS TO BE CUT. PATCH WITH MATERIALS AND METHODS TO PRODUCE PATCH THAT IS NOT VISIBLE FROM A DISTANCE OF THREE FEET.

C32. COORDINATION AND CLEARANCES: VERIFY AND COORDINATE CLEARANCES, DIMENSIONS, AND INSTALLATION OF ADJOINING CONSTRUCTION, EQUIPMENT, PIPING, DUCTS, CONDUITS, OR OTHER MECHANICAL OR ELECTRICAL ITEMS OR APPARATUS. VERIFY DIMENSIONS FOR PRODUCTS TO BE FITTED INTO WORK.

a. ATTACHMENTS AND CONNECTIONS: PROVIDE ATTACHMENT AND CONNECTION DEVICES METHODS FOR SECURING AND ANCHORING WORK. SECURE IN PLACE WITH DEVICES DESIGNATED AND SIZED TO WITHSTAND STRESSES, VIBRATION,

PHYSICAL DISTORTION, OR DISFIGUREMENT. b. EXPANSION AND MOVEMENT:

ALLOW FOR EXPANSION OF MATERIALS AND BUILDING MOVEMENT.

C. ISOLATION OF DISSIMILAR ITEMS: ISOLATE EACH UNIT OF WORK FROM INCOMPATIBLE WORK AS NECESSARY TO PREVENT DETERIORATION AND ELECTROLYTIC ACTION.

CLEAN AND PERFORM MAINTENANCE ON INSTALLED WORK AS FREQUENTLY AS NECESSARY THROUGH REMAINDER OF CONSTRUCTION PERIOD. LUBRICATE OPERABLE COMPONENTS TO ENSURE OPERABILITY WITHOUT DAMAGING EFFECTS.

e. ADJUSTMENTS ADJUST OPERATING PRODUCTS AND EQUIPMENT TO ENSURE SMOOTH AND UNHINDERED OPERATION.

EXAMINE SUBSTRATES AND CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED. DO NOT COMMENCE WORK OVER UNSATISFACTORY CONDITIONS DETRIMENTAL TO PROPER AND TIMELY EXECUTION OF WORK. DO NOT PROCEED WITH WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. COMMENCEMENT

C34. CONTRACTOR SHALL PROVIDE BACKING SUPPORT OF ALL WALL, CEILING, AND PARTITION MOUNTED ITEMS SUCH AS TABLE BRACKETS, LIGHT FIXTURES, ARTIFACTS, SHELVING, EQUIPMENT, AND TELEVISIONS. COORDINATE LOCATIONS AND REQUIREMENTS WITH THE PLUMBING, MECHANICAL, ELECTRICAL DRAWINGS.

CODES AND ORDINANCES. C36. GLASS AND GLAZING FOR ALL WINDOWS SHALL COMPLY WITH ALL APPLICABLE BUILDING CODES. IN ADDITION ALL WINDOWS MUST MEET THE "AAMA" WINDOW STANDARDS FOR INSTALLATION. THE

C37. ROOFING WORK SHALL BE PERFORMED AND ALL PENETRATIONS THROUGH THE ROOFING MEMBRANE SHALL BE

C38. ROOF OBSTRUCTIONS SUCH AS TELEVISION ANTENNAE, SOLAR PANELS, AND GUY WIRES SHALL NOT BE LOCATED OR INSTALLED IN SUCH A WAY AS TO PREVENT FIRE DEPARTMENT ACCESS OR EGRESS IN THE EVENT OF A FIRE.

C39. INTERIOR WALL AND CEILING FINISHES SHALL NOT EXCEED FLAME SPREAD CLASSIFICATIONS DICTATED BY ALL APPLICABLE BUILDING CODES.

C40. GYPSUM BOARD AND SUSPENDED CEILING SYSTEMS SHALL CONFORM TO ALL LOCAL GOVERNING BUILDING CODES AND ORDINANCES.

C41. PIPES, CONDUITS, OR DUCTS EXCEEDING ONE THIRD OF THE SLAB OR MEMBER THICKNESS SHALL NOT BE PLACED IN STRUCTURAL CONCRETE UNLESS SPECIFICALLY DETAILED. REFER TO MECHANICAL, ELECTRICAL, PLUMBING, AND STRUCTURAL DRAWINGS FOR LOCATION OF SLEEVES AND OTHER ACCESSORIES. C42. VERIFY FIRE EXTINGUISHER REQUIREMENTS AND LOCATIONS WITH FIRE MARSHAL AND OWNER'S REPRESENTATIVE.

C43. CONTRACTOR SHALL SEAL ALL GAPS, HOLES, AND CRACKS IN BUILDING CONSTRUCTION AS REQUIRED TO CONTROL INFILTRATION OF INSECTS.

C44. DISPOSAL OF TRASH AND EXCESS EXCAVATION: DISPOSE OF TRASH, AND DEBRIS AT DESIGNATED AREAS OFF THE PREMISES AT NO ADDITIONAL COST TO THE OWNER. BURNING OF TRASH AND DEBRIS ON THE PREMISES IS PROHIBITED. COORDINATE TRASH REMOVAL

C45. ELECTRICAL, MECHANICAL, AND PLUMBING SYSTEM ARE SCHEMATIC ONLY. THE CONTRACTOR IS RESPONSIBLE TO COORDINATE ALL WORK TO AVOID CONFLICTS BETWEEN TRADES, THE CONTRACTOR SHALL PERFORM ALL WORK TO PROVIDE COMPLETE FUNCTIONING SYSTEMS IN ACCORDANCE WITH THE INTENT INDICATED AND CODES AND REQUIREMENTS OF ALL AGENCIES HAVING JURISDICTION. C46. CLEANING MATERIALS AND EQUIPMENT:

PROVIDE ALL REQUIRED PERSONNEL, EQUIPMENT, AND MATERIALS NEEDED TO MAINTAIN THE SPECIFIED STANDARD OF CLEANLINESS, USE ONLY THE CLEANING MATERIALS AND EQUIPMENT WHICH ARE COMPATIBLE WITH THE SURFACE BEING CLEANED, AS RECOMMENDED BY THE MANUFACTURER OF THE MATERIAL.

SUBMITTALS/SUBSTITUTIONS

WITH LANDLORD WHERE APPLICABLE.

\$1. CONTRACTOR SHALL PROVIDE COMPLETE LIST OF SUBMITTALS TO ARCHITECT/OWNER WITHIN 1 WEEK OF OBTAINING BUILDING PERMIT.

S2. ALL SUBMITTALS SHALL BE COMPLETE AND SUBMITTED WITHIN FIRST 90 DAYS OF WORK. S3. ALL ITEMS NOTED AS DESIGNED "BY MANUFACTURED" IS A DEFERRED DESIGN AND SHALL BE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH MANUFACTURER FOR FINAL DESIGN AND SUBMIT FINAL DESIGN FOR APPROVAL. CONTRACTOR IS RESPONSIBLE TO COORDINATE ALL FIELD DIMENSIONS.

S4. SOURCE QUALITY CONTROL: PROVIDE PRODUCTS OF ACCEPTABLE MANUFACTURERS, WHICH HAVE BEEN IN SATISFACTORY USE IN SIMILAR SERVICE FOR THREE YEARS, UNLESS MORE STRINGENT CRITERIA ARE SPECIFIED IN INDIVIDUAL

SECTIONS. USE OF ANY SUPPLIER IS SUBJECT TO OWNER'S APPROVAL. PROPOSALS FOR SUBSTITUTION OF MATERIALS, EQUIPMENT, AND METHODS WILL ONLY BE CONSIDERED WHEN ACCOMPANIED BY FULL AND COMPLETE TECHNICAL DATA AS WELL AS ANY OTHER INFORMATION REQUIRED

TO EVALUATE THE PROPOSED SUBSTITUTION. SUBSTITUTIONS ARE UNACCEPTABLE UNLESS SPECIFICALLY APPROVED BY THE ARCHITECT. IN THE EVENT OF SUBSTITUTION PROPOSALS AFTER THE CONTRACT HAS BEEN AWARDED, ALL SUCH PROPOSALS SHALL BE ACCOMPANIED BY SUBSTANTIAL COST SAVINGS FOR THE OWNER. S6. AVAILABILITY OF PRODUCTS: VERIFY PRIOR TO CONSTRUCTION START THAT ALL SPECIFIED ITEMS WILL BE AVAILABLE IN TIME FOR

INSTALLATION DURING ORDERLY AND TIMELY PROGRESS OF THE WORK. IN THE EVENT SPECIFIED ITEM OR ITEMS WILL NOT BE SO AVAILABLE, NOTIFY THE ARCHITECT PRIOR TO START OF CONSTRUCTION. COST OF DELAYS BECAUSE OF NON-AVAILABILITY OF SPECIFIED ITEMS OR SUBSTITUTED ITEMS, WHEN THE CONTRACTOR COULD HAVE AVOIDED SUCH DELAYS, WILL BE BORNE BY THE CONTRACTOR. S7. PRODUCTS AND MATERIALS:

ACCESSORIES IN SUFFICIENT TIME TO AVOID DELAYING PROGRESS OF THE WORK.

INDIVIDUAL SPECIFICATION SECTIONS, MAINTAIN MINIMUM AMBIENT TEMPERATURE OF 50 DEGREES F. IN TO FRANCES. INSTALL WORK TRUE TO LINE, PLUMB, AND LEVEL. EXCEPT WHERE SPECIFIED OTHERWISE, WORK EXECUTED WITHIN THE FOLLOWING TOLERANCE WILL BE ACCEPTABLE.

PROVIDE PRODUCTS AND MATERIALS SPECIFIED. REQUEST ARCHITECTS SELECTION OF COLORS AND

ALLOWED DEVIATION FROM AN ABSOLUTELY STRAIGHT LINE OF SIGHT WITHIN PLUS OR MINUS 1/8 INCH IN 10 FT. AND WITHIN PLUS OR MINUS 1/4 INCH FOR ENTIRE LENGTH OF A PARTICULAR ELEMENT OF CONSTRUCTION OVER 20'-0" IN LENGTH.

ALLOWED DEVIATIONS FROM AN ABSOLUTELY VERTICAL PLANE OF PLUS OR MINUS 1/8 INCH IN 10 FT. AND WITHIN PLUS OR MINUS 1/4 INCH FOR ENTIRE LENGTH OF A PARTICULAR ELEMENT OF CONSTRUCTION OVER 20'-0" IN LENGTH.

ALLOWED DEVIATIONS FROM AN ABSOLUTELY HORIZONTAL PLANE OF PLUS OR MINUS 1/8 INCH IN 10 FT. AND WITHIN PLUS OR MINUS 1/4 INCH FOR ENTIRE LENGTH OF A PARTICULAR ELEMENT OF CONSTRUCTION OVER 20'-0" IN LENGTH.

d. ALLOWED DEVIATIONS FROM AN ABSOLUTELY FLAT IF WITHIN PLUS OR MINUS 1/16 INCH IN ONE SQUARE FOOT, WITHIN PLUS OR MINUS 1/8 INCH IN AN AREA 10 FEET BY 10 FEET, AND WITHIN PLUS OR MINUS 1/4 INCH FOR ENTIRE AREA OF A PARTICULAR ELEMENT OF CONSTRUCTION OVER 20'-0" IN LENGTH.

T2. REFER TO SPECIFICATIONS FOR ADDITIONAL TOLERANCE REQUIREMENTS. PROJECT CONTRACT CLOSEOUT:

> a. SUBSTANTIAL COMPLETION: AT SUBSTANTIAL COMPLETION OF THE PROJECT, SCHEDULE AND ATTEND A PUNCH LIST WALK THROUGH OF REMAINING WORK FOR REVIEW WITH THE ARCHITECT AND OWNER. COMPLETE ALL DEFECTS AND OMISSIONS NOTED IN THE FINAL PUNCHLIST PROMPTLY, IN THE TIME PERIOD AGREED UPON WITH THE OWNER, AT NO ADDITIONAL EXPENSE TO THE OWNER.

b. CERTIFICATE OF OCCUPANCY: PROVIDE THE FINAL CERTIFICATE OF OCCUPANCY FROM THE BUILDING DEPARTMENT.

c. PERMITS/INSPECTION CARDS: FURNISH COPIES OF PERMITS AND SIGNED INSPECTION CARDS FOR EACH OF THE FOLLOWING AGENCIES: BUILDING DEPARTMENT; PLUMBING/MECHANICAL DEPARTMENT; ELECTRICAL DEPARTMENT; FIRE DEPARTMENT; HEALTH DEPARTMENT; OTHERS AS REQUIRED.

d. FURNISH COPIES OF PERMITS AND SIGNED INSPECTION CARDS FOR EACH OF THE FOLLOWING AGENCIES: BUILDING DEPARTMENT; PLUMBING/MECHANICAL DEPARTMENT; ELECTRICAL DEPARTMENT; FIRE DEPARTMENT; HEALTH DEPARTMENT; OTHERS AS REQUIRED. e. MAINTENANCE MANUALS AND WARRANTIES:

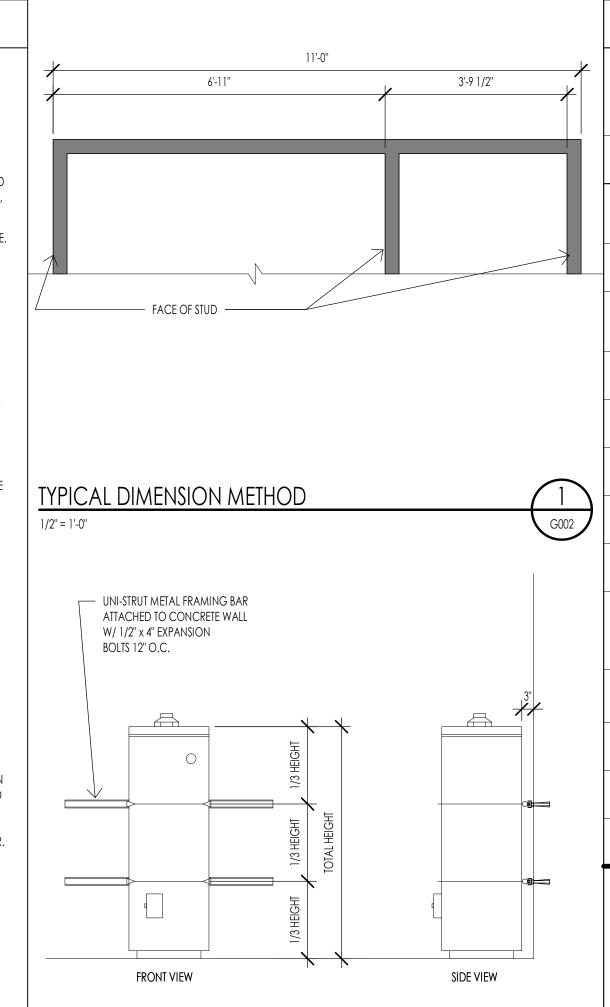
FURNISH (2) COPIES FOR EACH UNIT OF ALL MANUALS, MAINTENANCE INSTRUCTIONS, CONTRACTORS AND MANUFACTURER'S PRINTED WARRANTIES, AND INSTRUCTIONS FOR OPERATION OF ALL EQUIPMENT SPECIFIED HEREIN OR SHOWN ON DRAWINGS, TRAIN OWNER'S PERSONNEL IN USE OF BUILDING SYSTEMS. f. TOUCH-UP MATERIAL:

FURNISH OWNER WITH ONE GALLON OF EACH PAINT AND STAIN USED PER UNIT. PROVIDE AN ADDITIONAL 2 PERCENT OF QUANTITY INSTALLED OF ALL FINISH MATERIAL INCLUDING CEILING PANELS, TILE, AND SHEET GOODS.

g. SUBCONTRACTORS: PROVIDE THE OWNER THE NAMES, ADDRESSES, AND PHONE NUMBERS OF ALL SUBCONTRACTORS, FINAL UNCONDITIONAL LIEN RELEASES, AND WARRANTIES FROM EACH.

h. FINAL CLEANING AND REPAIRS: REMOVE TEMPORARY FACILITIES AND PROVIDE FINAL CLEANING AND TOUCH-UP. RESTORE PORTIONS OF BUILDING, SITE IMPROVEMENTS, LANDSCAPING AND OTHER ITEMS DAMAGED BY CONSTRUCTION OPERATIONS TO THE SATISFACTION OF THE ARCHITECT, AT NO ADDITIONAL EXPENSE TO THE OWNER.

i. CLOSEOUT DOCUMENTS: PROVIDE THE OWNER WITH A COMPACT DISK OF ALL RECORD DRAWINGS IN PDF FORMAT, COPY OF ALL SHOP DRAWINGS AND PRODUCT SUBMITTALS, SERVICE CONTRACTS, HVAC AIR BALANCE REPORT, AND WASTELINE VIDEO INSPECTION REPORT.



WATER HEATER SIESMIC STRAPPING



ENERGY STRATEGY:

RESCHECK - 2015 IECC ⊠ PRESCRIPTIVE PER IBC

	LOCATION	TYPE	THICKNESS	"R" VALUE	REMARKS
1.	FOUNDATION WALLS AND SLAB ON GRADE	CONTINUOUS RIGID	2" TOTAL THICKNESS - 2' BELOW GRADE CONTINUOUS BELOW SLAB	R-10	OWENS CORNING FORMULAR CW15/CW25 PLUS INSULATION GLUED TO INSIDE OF FOUNDATION WALL OR CAST IN PLACE BELOW SLAB
2.	WALL INSULATION EXTERIOR- WOOD FRAMED WALLS	BLOW-IN	5-1/2" TOTAL THICKNESS	R-23.1	JOHNS MANVILLE SPIDER® PLUS FORMALDEHYDE-FREE™ BLOW-IN FIBERGLASS INSULATION
3.	WALL INSULATION EXTERIOR - CONCRETE WALLS FURRED OUT WITH WOOD FRAMED WALLS	BLOW-IN	5-1/2" TOTAL THICKNESS 3-1/2" TOTAL THICKNESS	R-23.1 R-14.7	JOHNS MANVILLE SPIDER® PLUS FORMALDEHYDE-FREE™ BLOW-IN FIBERGLASS INSULATION
4.	floors (joists/framing)	BLOW-IN	10"	R-42	JOHNS MANVILLE SPIDER® PLUS FORMALDEHYDE-FREE™ BLOW-IN FIBERGLASS INSULATION
5.	ROOFING: VENT BAFFELS	BELOW DECK	1" - TOTAL THICKNESS		FLAME RETARDANT PVC, EXTEND A MINIMUM OF 48" ABOVE EAVES
6.	ROOFING: AT EAVES	FOAM-IN-PLACE	1" - TOTAL THICKNESS	R-6.8	JOHNS MANVILLE CORBOND® MCS CLOSED-CELL SPRAY FOAM INSULATION
7.	ROOFING: AT TRUSSES	BLOW-IN	DEPTH REQUIRED TO MEET R-VALUE	R-50	JOHNS MANVILLE CLIMATE PRO® FORMALDEHYDE-FREE™ BLOW-IN FIBERGLASS INSULATION
9.	RESTROOMS, BATHROOMS AND COMMON SPACES	BLOW-IN (FOR SOUND)	FILL CAVITIES		JOHNS MANVILLE SPIDER® PLUS FORMALDEHYDE-FREE™ BLOW-IN FIBERGLASS INSULATION
10.	AT STUD CAVITIES WITH ROOF DRAINS OR PLUMBING STACKS, UNITS AT INTERIOR WALLS, UNIT SPACES AND COMMON SPACES	SOUND BATTS	FILL VOIDS		JOHNS MANVILLE SPIDER® PLUS FORMALDEHYDE-FREE™ BLOW-IN FIBERGLASS INSULATION
11.	MECHANICAL TYPE ROOM WALLS AND CEILINGS WHERE APPLICABLE	SOUND BATTS	FILL CAVITY		JOHNS MANVILLE SPIDER® PLUS FORMALDEHYDE-FREE™ BLOW-IN FIBERGLASS INSULATION
12.	INTERIOR FLOORS - SOUND RATING REQUIRED	SOUND BATTS	FILL CAVITY		JOHNS MANVILLE SPIDER® PLUS FORMALDEHYDE-FREE™ BLOW-IN FIBERGLASS INSULATION
13.	DUCTWORK/PLUMBING LINES	DBL. FACED 1/2" VINYL FACED			SEE MECHANICAL AND PLUMBING - FOR ALL INSULATION REQUIREMENTS
14.	GLAZING - NFRC THERMAL RATINGS	DOUBLE PANE	LOW-E	MAX U-FACTOR: 0.32 MAX SHGC: 0.16	ALUMINUM CLAD WOOD

1. COORDINATE WITH PROJECT SPECIFICATION SECTIONS FOR INSULATION FOR ADDITIONAL INFORMATION AND REQUIREMENTS. 2. ALL INSULATION SHALL BE TIGHT, AND NO GAPS SHALL BE LEFT. 3. ALL INSULATION AT PIPES SHALL BE INSTALLED AT WARM SIDE ONLY.

PROVIDE SEALING OF THE BUILDING THERMAL ENVELOPE FOR LEAKAGE BY THE REQUIREMENTS BELOW: (A) BLOWER DOOR TEST FOR BUIDLING ENVELOPE AT FINAL WITH A MAXIMUM AIR LEAKAGE OF 5 AIR CHANGES PER HOUR. TESTING SHALL BE CONDUCTED BY AN APPROVED THIRD PARTY. A WRITTEN REPORT OF THE RESULTS OF THE TEST SHALL BE SIGNED BY THE PARTY CONDUCTING THE TEST AND PROVIDED TO THE CODE OFFICIAL.

2. TO BE PERFORMED AFTER DRYWALL INSTALATION AND MUD AND TAPE. 3. CONTRACTOR TO VERIFY NO WALL OPENINGS GREATER THAN 1/2" PRIOR TO INSTALATION OF ENVELOPE SEALING.

1. AIR BARRIER TO BE PERFORMED WITH "AEROBARRIER" ENVELOPE SEALING TECHNOLOGY.

RESCHECK/ ENERGY COM CHECK



Floor over Garage: All-Wood Joist/Truss:Over 0.0 0.033 0.033 26 26 Floor over Garage Outside: All-Wood Joist/Truss:Over Outside Air Basement Walls: Solid Concrete or Masonry Depth below grade: 10.5' South Elevation: Wood Frame, 16" o.c. 7,0 0.038 0.045 28 34 Windows: Metal Frame: Double Pane with Low-E 0,300 0,320 56 59 Doors: Glass 0,320 0.320 91 91 Door Garage: Solid 0.500 0.320 100 64 West Elevation: Wood Frame, 16" o.c. 641 23.1 7.0 0.038 0.045 20 24 Windows: Metal Frame; Double Pane with Low-E 0.300 0.320 32 35 Project Title: Warm Springs #33 Report date: 12/06/23 Data filename: C:\Users\jcaceres\Desktop\RESCHECK LOT 33 R1.rck Page 1 of 10 North Elevation: Wood Frame, 16" o.c. Windows: Metal Frame: Double Pane with Low-E East Elevation: Wood Frame, 16" o.c. Windows: Metal Frame: Double Pane with Low-E 0.300 0.320 27 29 1,976 50.0 10.0 0.020 0.026 40 51 Roof - Level 1: Flat Ceiling or Scissor Truss ompliance Statement: The proposed building design described here is consistent with the building plans, specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the 2015 IECC requirements in REScheck Version 4.7.2 and to comply with the mandatory requirements listed in the REScheck Inspection Checklist. Julio Caceres - BIM Operator Name - Title

Data filename: C:\Users\jcaceres\Desktop\RESCHECK LOT 33 R1.rck

Project Title: Warm Springs #33

Report date: 12/06/23

REVISIONS:

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Interior Design

Land Planning

Landscape Architecture

Construction Managemer

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GENERAL NOTES

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OF INSTALLATION CONSTITUTES ACCEPTANCE OF CONDITIONS AND COSTS OF ANY CORRECTIVE MEASURES ARE RESPONSIBILITY OF CONTRACTOR.

C35. EXTERIOR OPENINGS SHALL COMPLY WITH ALL SECURITY REQUIREMENTS AS OUTLINED IN ALL LOCAL BUILDING

ADDITION TO THE MANUFACTURER SPECIFICATIONS AND ARCHITECTURAL DETAILS INCLUDED WITHIN THE

CONTRACTOR SHALL OBTAIN, AND SHALL FOLLOW ALL REQUIREMENTS OF THE "AAMA" STANDARDS IN PATCHED OR FLASHED AS PER THE MANUFACTURER'S STANDARDS.

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Construction Management 7927 So. Highpoint Parkway, Suite 300 Sandy, Utah 84094 ph. 801.269.0055 fax 801.269.1425

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ARM SPRINGS RESIDENCE

PROJECT NC22023.33

REVISIONS:

SHEET TITLE:
BUILDING AREA
ANALYSIS

BUILDING AREA - FINISHED FINISHED BUILDING AREA - UNFINISHED GARAGE/ MECH BUILDING AREA - TOTAL TOTAL 3912 SF

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IRC 106.4 ALL WORK SHALL BE INSTALLED IN ACCORDANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS, AND ANY CHANGES MADE DURING CONSTRUCTION THAT ARE NOT IN COMPLIANCE WITH THE APPROVED CONSTRUCTION DOCUMENTS SHALL BE RESUBMITTED FOR APPROVAL AS AN AMENDED SET OF CONSTRUCTION DOCUMENTS. THE CONTRACTOR/OWNER SHALL BE RESPONSIBLE TO SUBMIT THE CHANGES TO THE BUILDING DEPARTMENT, OR WORK WITH ALL ITEMS RELATED TO OPERATION OF ALL EQUIPMENT. THE ARCHITECT TO RE-SUBMITT THE PLANS TO THE BUILDING DEPARTMENT FOR APPROVAL.

THE CONSTRUCTION DOCUMENTS INCORPORATE BOTH THE PLANS AND SPECIFICATIONS FOR THE PROJECT. THE INCLUDED DRAWINGS AND SPECIFICATIONS ARE TO BE CONSIDERED A WHOLE SET OF DRAWINGS. ALL ITEMS REQUIRED FOR CONSTRUCTION MAY BE SHOWN EITHER IN DRAWINGS AND/OR SPECIFICATIONS. REQUIRED ITEMS MAY APPEAR IN WORKING DRAWINGS AND SPECIFICATIONS WHETHER GRAPHIC OR WRITTEN FORM, SO LONG AS THEY DO APPEAR SOMEPLACE AND ARE NOT CONTRADICTORY WITH OTHER PORTIONS OF THE DRAWINGS AND SPECIFICATIONS. NO FRAGMENT OF THE PLANS AND SPECS TAKE PRECEDENCE OVER OTHER FRAGMENTS. THE DOCUMENTS MUST BE CONSIDERED AS A WHOLE. IF A CONFLICT OR CONTRADITION DOES OCCUR, THE MOST STINGENT APPLICATION OR SPECIFICATION APPLIES.

THE CONTRACTOR SHALL BE RESPONSIBLE TO FIELD VERIFY ALL EXISTING CONDITIONS, UTILITIES, MEASUREMENTS, CONNECTIONS, ETC.

THE CONTRACTOR SHALL COMPLY WITH ALL NATIONAL, STATE, LOCAL, AND RELATED CODES AND STANDARD CONSTRUCTION PRACTICES.

CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH GENERAL ENERGY NOTES AND/OR MODEL ENERGY CODE. CONTRACTOR SHALL REPORT ANY DISCREPANCIES IN THE PLANS TO THE ARCHITECT PRIOR TO COMMENCING RELATED

AN APPROVED NUMBER OR ADDRESS SHALL BE PROVIDED FOR ALL NEW BUILDINGS IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. SEE I.R.C. SECTION R319.

THUNDER SPRING RESIDENCES: UNITS A.1 & A.2 ADDRESS: 126 SADDLE ROAD, KETCHUM, IDAHO, 83340 OWNER: VP COMPANIES

THE PROJECT SHALL INCLUDE THE CONSTRUCTION OF NINE SINGLE FAMILY HOMES AND TWO-FAMILY DWELLINGS. THE CONSTRUCTION SHALL BE OF CONCRETE FOUNDATION WITH WOOD AND STEEL CONSTRUCTION. PHASED CONSTRUCTION:

NEW CONSTRUCTION: CONTRACTOR SHALL HAVE USE OF PROJECT SITE FOR CONSTRUCTION OPERATIONS DURING CONSTRUCTION PERIOD. ALL STORAGE MUST BE MAINTAINED ON SITE, AND SHALL NOT DISTURB PROPERTY OUTSIDE OF PROPERTY LINES, UNLESS APPROVED BY THE CITY AND OWNER.

01-02 ALLOWANCES

CONTRACTOR SHALL PROVIDE LUMP SUM ALLOWANCES FOR THOSE ITEMS INDICATED ON PLANS. SCHEDULES OR ITEMS REQUIRING ADDITIONAL DETAIL OR SELECTION, LUMP SUM SHALL BE INCLUDED WITHIN SCHEDULE OF VALUES.

USE OF THE CONTINGENCY ALLOWANCE SHALL ONLY BE AS DIRECTED BY ARCHITECT FOR OWNER'S PURPOSES AND ONLY BY CHANGE ORDERS THAT INDICATE AMOUNTS TO BE CHARGED TO THE ALLOWANCE.

CONTRACTOR'S OVERHEAD. PROFIT. AND RELATED COSTS FOR PRODUCTS AND EQUIPMENT ORDERED BY OWNER UNDER THE CONTINGENCY ALLOWANCE ARE INCLUDED IN THE ALLOWANCE AND ARE NOT PART OF THE CONTRACT SUM. CHANGE ORDERS AUTHORIZING USE OF FUNDS FROM THE CONTINGENCY ALLOWANCE WILL INCLUDE CONTRACTOR'S ELATED COSTS FOR WORK SPECIFIED WITHIN THE CHANGE ORDER. PROFIT AND OVERHEAD OF THE CONTRACTOR SHAL

AT PROJECT CLOSEOUT, CREDIT ALL UNUSED AMOUNTS REMAINING IN THE CONTINGENCY ALLOWANCE TO OWNER BY

CONTRACTOR SHALL PROVIDE SCHEDULE OF ALL ALLOWANCES AS A PART OF BIDDING FOR OWNER AND ARCHITECT TO

01-03 ALTERNATES

EQUAL PROJECT PROFIT AND OVERHEAD FOR PROJECT.

ALTERNATES MAY BE INCLUDED ON THE DRAWINGS, AND SHOULD BE SEPARATED DURING THE BIDDING PROCESS. THE CONTRACTOR MAY ALSO SUBMIT REQUEST FOR ALTERNATES DURING BIDDING. ALL ALTERNATES MAY BE ACCEPTED AFTER REVIEW OF ALTERNATE WITH THE OWNER, AND THE CONTRACTOR WILL BE NOTIFIED IF AN ALTERNATE IS TO BE ACCEPTED OR NOT. THE CONTRACTOR SHALL NOT ASSUME THAT ALTERNATES ARE ACCEPTED, UNLESS NOTIFIED BY THE ARCHITECT THROUGH ADDENDUM, ASI, OR PROPOSAL REQUEST OF ACCEPTANCE OF THE ALTERNATE. ALL ALTERNATE WORK MAY BE ADDED TO OR DEDUCTED FROM THE BASE BID BY CHANGE ORDER IN THE AMOUNT OF THE ADDITIONAL COSTS OR SAVINGS, IF OWNER DECIDES TO ACCEPT THE ALTERNATE BID.

1. ALTERNATES DESCRIBED IN THIS SECTION ARE PART OF THE WORK ONLY IF ENUMERATED IN THE AGREEMENT.

2. THE COST OR CREDIT FOR EACH ALTERNATE IS THE NET ADDITION TO OR DEDUCTION FROM THE CONTRACT SUM TO INCORPORATE ALTERNATE INTO THE WORK. NO OTHER ADJUSTMENTS ARE MADE TO THE CONTRACT SUM.

3. ALTERNATES PROPOSED BY THE CONTRACTOR DURING BIDDING, MUST NOT BE SHOWN AS THE BASE BID FOR THE PROJECT. ALL BASE BIDS MUST BE THOSE ITEMS SPECIFIED ON THE DRAWINGS, AND ALL ALTERNATES PROPOSED BY THE CONTRACTOR MUST BE OUTSIDE OF THE REQUIRED NUMBER OF BASE BIDS FOR EACH DISCIPLINE. THE ALTERNATE MAY BE

01-04 SUBSTITUTION PROCEDURES

ALL CHANGES IN PRODUCTS, MATERIALS, EQUIPMENT, AND METHODS OF CONSTRUCTION FROM THOSE REQUIRED BY THE CONTRACT DOCUMENTS AND PROPOSED BY CONTRACTOR, SHALL BE APPROVED BY THE ARCHITECT, ENGINEER AND BUILDING OFFICIAL PRIOR TO THE COMMENCEMENT OF WORK.

SUBMIT THREE COPIES OF EACH REQUEST FOR CONSIDERATION BY ARCHITECT AND OWNER. IDENTIFY PRODUCT OR

FABRICATION OR INSTALLATION METHOD TO BE REPLACED. SHOW COMPLIANCE WITH REQUIREMENTS FOR SUBSTITUTIONS INCLUDING THE FOLLOWING;

A. STATEMENT INDICATING WHY SPECIFIED PRODUCT OR FABRICATION OR INSTALLATION CANNOT BE PROVIDED, IF

B. PRODUCT DATA, INCLUDING DRAWINGS AND DESCRIPTIONS OF PRODUCTS AND FABRICATION AND INSTALLATION

C. SAMPLES, WHERE APPLICABLE OR REQUESTED.

D. DETAILED COMPARISON OF CONTRACTOR'S CONSTRUCTION SCHEDULE USING PROPOSED SUBSTITUTION WITH PRODUCTS SPECIFIED FOR THE WORK.

E. COST INFORMATION, INCLUDING A PROPOSAL OF CHANGE, IF ANY, IN THE CONTRACT SUM.

ARCHITECT WILL REQUEST ADDITIONAL INFORMATION IF NEEDED TO QUALIFY DOCUMENTATION FOR EVALUATION. ARCHITECT WILL NOTIFY CONTRACTOR OF ACCEPTANCE OR REJECTION OF PROPOSED SUBSTITUTION IN WRITING. THE CONTRACTOR SHALL NOT INCLUDE PROPOSED SUBSTITUTIONS IN BIDS OR COSTS UNTIL ACCEPTANCE OF SUBSTITUTION BY

01-05 PAYMENT PROCEDURES

NAME OF ARCHITECT.

DATE OF SUBMITTAL

CONTRACTOR'S NAME AND ADDRESS.

BE INSTALLED AT DIAMETER TO MATCH DRIP LINE OF TREE.

SUBMIT THE SCHEDULE OF VALUES WITH UPDATED CONSTRUCTION SCHEDULE TO ARCHITECT AT EARLIEST POSSIBLE DATE BUT NO LATER THAN SEVEN DAYS BEFORE THE DATE SCHEDULED FOR PAYMENT APPLICATION.

INCLUDE THE FOLLOWING IDENTIFICATION ON THE SCHEDULE OF VALUES: PROJECT NAME AND LOCATION.

arrange Schedule of Values Consistent with format of aia document G703. Provide a separate line item in THE SCHEDULE OF VALUES FOR EACH PART OF THE WORK WHERE APPLICATIONS FOR PAYMENT MAY INCLUDE MATERIALS OR EQUIPMENT PURCHASED OR FABRICATED AND STORED, BUT NOT YET INSTALLED. JPDATE AND RESUBMIT THE SCHEDULE OF VALUES BEFORE THE NEXT APPLICATIONS FOR PAYMENT WHEN CHANGE ORDERS OR CONSTRUCTION CHANGE DIRECTIVES RESULT IN A CHANGE IN THE CONTRACT SUM.

EACH APPLICATION FOR PAYMENT SHALL BE CONSISTENT WITH PREVIOUS APPLICATIONS AND PAYMENTS AS CERTIFIED BY ARCHITECT AND PAID FOR BY OWNER.

EACH APPLICATION FOR PAYMENT, SUBMIT WAIVERS OF MECHANIC'S LIEN FROM ENTITIES LAWFULLY ENTITLED TO FILE A MECHANIC'S LIEN ARISING OUT OF THE CONTRACT AND RELATED TO THE WORK COVERED BY THE PAYMENT. SUBMIT PARTIAL WAIVERS ON EACH ITEM FOR AMOUNT REQUESTED IN PREVIOUS APPLICATION, ON EACH ITEM, WHEN AN APPLICATION SHOWS COMPLETION OF AN ITEM. SUBMIT CONDITIONAL FINAL OR FULL WAIVERS, WAIVER FORMS: SUBMIT

WAIVERS OF LIEN ON FORMS, EXECUTED IN A MANNER ACCEPTABLE TO OWNER. 01-06 TEMPORARY TREE AND PLANT PROTECTION

CONTRACTOR SHALL REVIEW PLANS WITH SITE AND MARK ALL TREES IDENTIFIED ON THE DRAWINGS TO BE PROTECTED AND REMAIN DURING CONSTRUCTION.

THE CONTRACTOR AND ARCHITECT SHALL REVIEW THE MITIGATION WITH THE CITY PRIOR TO COMMENCING CONSTRUCTION, AND SHALL RECEIVE APPROVAL FROM THE CITY.

CONTRACTOR, ARCHITECT AND OWNER SHALL REVIEW ON SITE AFTER TREES HAVE BEEN MARKED AND PRIOR TO STAKING.

PROVIDE 6'-0" HIGH FENCING AROUND TREE. FENCING SHALL BE INSTALLED TO PROVIDE PROTECTION TO TREE AND SHALL

01-07 OPERATION AND MAINTENANCE DATA

HE CONTRACTOR SHALL PROVIDE THE OWNER WITH ALL OPERATION MANUALS, WARRANTY INFORMATION, ETC. FOR ALL EQUIPMENT, APPLIANCES, ETC. AT THE COMPLETION OF THE PROJECT.

ALL INFORMATION SHALL BE COLLECTED AND PLACED IN BINDER AND OR DIGITAL DATA FOR THE OWNER TO REVIEW.

CONTRACTOR SHALL PROVIDE START UP AND MAINTENANCE REVIEW WITH OWNER PRIOR TO FINAL PAYMENT. THE CONTRACTOR SHALL SCHEDULE A TIME TO REVIEW AND TRAIN THE OWNER AND/OR OWNER'S REPRESENTATIVES ON

01-08 WARRANTY

the contractor shall provide the owner with a written warranty covering workmanship, material, etc. ON THE PROJECT FOR A PERIOD OF (1) YEAR FROM COMPLETION. A WRITTEN WARRANTY SHALL BE PROVIDED (FROM VENDORS) ON ALL MATERIALS THAT HAVE EXTENDED WARRANTY PERIODS ABOVE THOSE STATED ABOVE. SUCH AS ROOFING MATERIALS WHICH SHALL PROVIDE A WARRANTY FOR MATERIALS FOR A MINIMUM OF 20 YEARS.

01-09 SUBMITTALS

EQUIREMENTS FOR THE SUBMITTAL PROCEDURAL REQUIREMENTS FOR SUBMITTING SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND OTHER SUBMITTALS REQUIRED BY SPECIFICATIONS FOR ARCHITECT/OWNER REVIEW AND APPROVAL PRIOR TO INSTALLATION WITHIN PROJECT.

ELECTRONIC DIGITAL DATA FILES OF THE CONTRACT DRAWINGS WILL NOT BE PROVIDED BY ARCHITECT FOR CONTRACTOR'S USE IN PREPARING SUBMITTALS.

"CONTRACTOR (EACH SUBCONTRACTOR) SHALL BE SOLELY RESPONSIBLE AND ASSUMES FULL LIABILITY FOR ENSURING THAT CONSTRUCTION JOINTS: INSTALL SO STRENGTH AND APPEARANCE OF CONCRETE ARE NOT IMPAIRED SUBMITTALS ARE TIMELY PROVIDED TO THE ARCHITECT, AND THE CONTENT THEREOF COMPLIES IN FULL, AND IS PROVIDED IN ACCORDANCE, WITH THE DRAWINGS AND SPECIFICATIONS FOR THE PROJECT. THE CONTRACTOR (SUBCONTRACTOR) HEREBY AGREES TO HOLD HARMLESS THE ARCHITECT, ITS OFFICERS, EMPLOYEES, AGENTS AND CONSULTANTS FROM FAILURE TO COMPLY WITH THIS PROVISION. CONTRACTOR FURTHER AGREES TO DEFEND AND INDEMNIFY ARCHITECT, ITS OFFICERS, EMPLOYEES, AGENTS AND CONSULTANTS FOR ANY AND ALL INJURIES, DAMAGES AND LIABILITY RESULTING FROM A BREACH HEREOF."

COORDINATE EACH SUBMITTAL WITH FABRICATION, PURCHASING, TESTING, DELIVERY, OTHER SUBMITTALS, AND RELATED ACTIVITIES THAT REQUIRE SEQUENTIAL ACTIVITY. SUBMITTALS THAT REQUIRE CONCURRENT REVIEW SHOULD BE SO INDICATED IN THOSE SECTIONS. ARCHITECT RESERVES THE RIGHT TO WITHHOLD ACTION ON A SUBMITTAL REQUIRING COORDINATION WITH OTHER SUBMITTALS UNTIL RELATED SUBMITTALS ARE RECEIVED.

ALLOW TIME FOR SUBMITTAL REVIEW, INCLUDING TIME FOR RESUBMITTALS. TIME FOR REVIEW SHALL COMMENCE ON ARCHITECT'S RECEIPT OF SUBMITTAL. NO EXTENSION OF THE CONTRACT TIME WILL BE AUTHORIZED BECAUSE OF FAILURE TO TRANSMIT SUBMITTALS ENOUGH IN ADVANCE OF THE WORK TO PERMIT PROCESSING, INCLUDING RESUBMITTALS.

INITIAL REVIEW: ALLOW 14 DAYS FOR INITIAL REVIEW OF EACH SUBMITTAL. RESUBMITTAL REVIEW: ALLOW 14 DAYS FOR REVIEW OF EACH RESUBMITTAL.

SEQUENTIAL REVIEW: WHERE SEQUENTIAL REVIEW OF SUBMITTALS BY ARCHITECT'S CONSULTANTS, OWNER, OR OTHER PARTIES IS REQUIRED.

ALLOW 14 DAYS FOR INITIAL REVIEW OF EACH SUBMITTAL.

ELECTRONIC SUBMITTALS WILL BE ACCEPTED, BUT MUST BE COMPLETE AND MUST BE INCLUDED INTO SINGLE DIGITAL (PDF FORMAT) FILE. THE FILE MUST PROVIDE MEANS FOR INSERTION TO PERMANENTLY RECORD CONTRACTOR'S REVIEW AND APPROVAL MARKINGS AND ACTION TAKEN BY ARCHITECT.

DISTRIBUTION: FURNISH COPIES OF FINAL SUBMITTALS TO MANUFACTURERS, SUBCONTRACTORS, SUPPLIERS, FABRICATORS, INSTALLERS, AUTHORITIES HAVING JURISDICTION, AND OTHERS AS NECESSARY FOR PERFORMANCE OF CONSTRUCTION ACTIVITIES. SHOW DISTRIBUTION ON TRANSMITTAL FORMS.

USE FOR CONSTRUCTION: RETAIN COMPLETE COPIES OF SUBMITTALS ON PROJECT SITE. USE ONLY FINAL ACTION SUBMITTALS THAT ARE MARKED WITH APPROVAL NOTATION FROM ARCHITECT'S ACTION STAMP.

GENERAL SUBMITTAL PROCEDURE REQUIREMENTS: PREPARE AND SUBMIT SUBMITTALS REQUIRED BY INDIVIDUA PECIFICATION SECTIONS. TYPES OF SUBMITTALS, (PRODUCT, SAMPLE OR SHOP DRAWINGS) ARE INDICATED IN INDIVIDUAL SPECIFICATION SECTIONS, PROVIDE A MINIMUM OF TWO COPIES OF EACH SUBMITTAL, ONE COPY WILL BE RETAINED BY ARCHITECT, AND ONE COPY RETURNED TO CONTRACTOR.

ARCHITECT WILL RETURN AN ANNOTATED FILE AND RETAIN ONE COPY OF FILE AS AN ELECTRONIC PROJECT RECORD

SUBMIT TWO PAPER COPIES OF EACH SUBMITTAL UNLESS OTHERWISE INDICATED. ARCHITECT WILL RETURN TWO COPIES.

B. INFORMATIONAL SUBMITTALS

SUBMIT TWO PAPER COPIE(S) OF EACH SUBMITTAL UNLESS OTHERWISE INDICATED.

C. CERTIFICATES AND CERTIFICATIONS SUBMITTALS: PROVIDE A STATEMENT THAT INCLUDES SIGNATURE OF ENTITY RESPONSIBLE FOR PREPARING CERTIFICATION. CERTIFICATES AND CERTIFICATIONS SHALL BE SIGNED BY AN OFFICER OR OTHER INDIVIDUAL AUTHORIZED TO SIGN OCUMENTS ON BEHALF OF THAT ENTITY.

PREPARE PROJECT-SPECIFIC INFORMATION, DRAWN ACCURATELY TO SCALE. DO NOT BASE SHOP DRAWINGS ON REPRODUCTIONS OF THE CONTRACT DOCUMENTS OR STANDARD PRINTED DATA, UNLESS SUBMITTAL BASED ON ARCHITECT'S DIGITAL DATA DRAWING FILES IS OTHERWISE PERMITTED.

SUBMIT SHOP DRAWINGS IN THE FOLLOWING FORMAT:

PDF FLECTRONIC FILE (OR) TWO OPAQUE (BOND) COPIES OF EACH SUBMITTAL. ARCHITECT WILL RETURN ONE COPY.

SUBMIT SAMPLES FOR REVIEW OF KIND, COLOR, PATTERN, AND TEXTURE FOR A CHECK OF THESE CHARACTERISTICS WITH OTHER ELEMENTS AND FOR A COMPARISON OF THESE CHARACTERISTICS BETWEEN

SUBMITTAL AND ACTUAL COMPONENT AS DELIVERED AND INSTALLED. MAINTAIN SETS OF APPROVED SAMPLES AT PROJECT SITE, AVAILABLE FOR QUALITY-CONTROL COMPARISONS

THROUGHOUT THE COURSE OF CONSTRUCTION ACTIVITY. SAMPLE SETS MAY BE USED TO DETERMINE FINAL ACCEPTANCE OF CONSTRUCTION ASSOCIATED WITH EACH SET.

THE CONTRACTOR SHALL REVIEW EACH SUBMITTAL AND CHECK FOR COORDINATION WITH OTHER WORK OF THE

CONTRACT AND FOR COMPLIANCE WITH THE CONTRACT DOCUMENTS. NOTE CORRECTIONS AND FIELD DIMENSIONS

THAT VARY FROM CONSTRUCTION DOCUMENTS, AND MARK WITH APPROVAL STAMP BEFORE SUBMITTING TO ARCHITECT SUBMITTALS NOT STAMPED APPROVED BY THE CONTRACTOR WILL NOT BE REVIEWED, AND RETURNED TO CONTRACTOR FOR APPROVAL BEFORE ARCHITECTURAL/OWNER REVIEW. ARCHITECT'S ACTION:

THE ARCHITECT WILL REVIEW EACH SUBMITTAL, MAKE MARKS TO INDICATE CORRECTIONS OR REVISIONS REQUIRED, AND RETURN IT. ARCHITECT WILL STAMP EACH SUBMITTAL WITH AN ACTION STAMP AND WILL MARK STAMP APPROPRIATELY TO INDICATE ACTION. THE ARCHITECT WILL RETAIN ONE COPY FOR FILE RECORD DOCUMENTS, AND WILL RETURN ALL REMAINING COPIES TO CONTRACTOR.

INCOMPLETE SUBMITTALS ARE UNACCEPTABLE, WILL BE CONSIDERED NONRESPONSIVE, AND WILL BE RETURNED FOR

SUBMITTALS NOT REQUIRED BY THE CONTRACT DOCUMENTS MAY BE RETURNED BY THE ARCHITECT WITHOUT ACTION.

01-10 DEFERRED SUBMITTALS

DEFERRED SUBMITTALS ARE THOSE PORTIONS OF DESIGN THAT ARE NOT SUBMITTED AT THE TIME OF THE PERMIT APPLICATION AND HAVE RECEIVED PRIOR APPROVAL FROM THE BUILDING OFFICIAL TO BE DEFERRED. THE DEFERRED BEFORE PLACING CONCRETE, VERIFY THAT INSTALLATION OF FORM WORK, REINFORCEMENT, AND EMBEDDED ITEMS IS SUBMITTALS SHALL BE SUBMITTED TO THE ARCHITECT AND GENERAL CONTRACTOR WITHIN SIX WEEKS TO COMMENCEMENT COMPLETE AND THAT REQUIRED INSPECTIONS HAVE BEEN PERFORMED.

OF CONSTRUCTION TO THIS PORTION OF WORK. SEE DEFERRED SUBMITTAL LEGEND FOR ALL DEFERRED SUBMITTALS BY THE GENERAL CONTRACTOR, AND PROCESS PER IRC FOR REVIEW AND APPROVAL OF ALL DEFERRED SUBMITTALS. CONTRACTOR IS RESPONSIBLE FOR SUBMITTAL OF THESE ITEMS. NO CONSTRUCTION OF ANY ITEM LISTED AS A DEFERRED SUBMITTAL SHALL COMMENCE PRIOR TO APPROVAL BY THE LOCAL BUILDING DEPARTMENT.

INLESS NOTED ON DRAWINGS, THE FOLLOWING ARE REQUIRED FOR THE DEFERRED SUBMITTAL PROCESS.

1. FIRE SPRINKLER DRAWINGS IF REQUIRED 2. PRE-FABRICATED ROOF AND FLOOR TRUSSES

3. HEATING AND COOLING MECHANICAL SYSTEMS 4. LIGHT CONTROLS

5. RADIANT HEAT SUBMITTALS, ENGINEERING, LAYOUT, ETC. 6. FACTORY BUILT FIREPLACES.

DEFERRED SUBMITTAL PROCESS:

1. THE DEFERRED SUBMITTAL SHALL FIRST BE REVIEWED BY THE GENERAL CONTRACTOR FOR COMPLIANCE WITH THE CONSTRUCTION DOCUMENTS. THE SUBMITTAL MUST BE REVIEWED, APPROVED, STAMPED AND SIGNED BY THE GENERAL CONTRACTOR BEFORE BEING SUBMITTED TO THE ARCHITECT.

2. THE GENERAL CONTRACTOR SHALL SUBMIT FIVE SETS OF THE DEFERRED SUBMITTAL TO THE ARCHITECT. 3. THE DEFERRED SUBMITTAL ITEMS WILL BE REVIEWED BY THE ENGINEER OR ARCHITECT IN RESPONSIBLE CHARGE. THE

ENGINEER OR ARCHITECT WILL ATTACH A LETTER TO THE SUBMITTAL STATING THAT THE DEFERRED ITEM IS IN CONFORMANCE WITH THE DESIGN INTENT OF THE STRUCTURE. 4. THE REVIEWED SUBMITTALS WILL BE RETURNED TO THE GENERAL CONTRACTOR. TWO SETS OF THE DEFERRED SUBMITTAL ARE THEN SUBMITTED TO THE CITY FOR REVIEW.

5. THE GENERAL CONTRACTOR SHALL MAINTAIN ONE SET OF THE REVIEWED SUBMITTAL ON SITE FOR REFERENCE BY THE

6. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THE SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED BY

7. SEE STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS FOR STRUCTURAL DEFERRED SUBMITTALS.

DIVISION 3-CONCRETE

03-05 CAST IN PLACE FOOTINGS

CONCRETE FOOTINGS TO BE 4,000 PSI MINIMUM COMPRESSIVE STRENGTH UNLESS SPECIFIED OTHERWISE ON STRUCTURAL DRAWINGS. STRUCTURAL DRAWINGS SHALL TAKE PRECEDENCE, UNLESS NOT SPECIFIED. ALL FOOTINGS SHALL HAVE

NORMAL WEIGHT 1" AGGREGATE. REINFORCING SHALL BE AS PER THE FOOTING SCHEDULE - SEE STRUCTURAL DRAWINGS.

DESIGN MIXTURES FOR EACH CONCRETE MIX.

ALL FOOTINGS TO BEAR ON UNDISTURBED SOIL OR ENGINEERED COMPACTED FILL. (CERTIFIED 95% COMPACTION). ANY ALL STEPS SHALL BE PLACED ON 6" MINIMUM COMPACTED SUB BASE OR GRAVEL. STEPS SHALL SLOPE 1/8" AT EACH QUESTIONABLE SOIL SHALL BE REVIEWED BY SOIL ENGINEER PRIOR TO PLACEMENT OF FOOTING. THE CONTRACTOR SHALL TREAD TO ALLOW DRAINAGE. COORDINATE AND REQUEST A SITE OBSERVATION REPORT FROM GEOTECHNICAL ENGINEER PRIOR TO PLACEMENT OF

ALL TYPICAL FOOTINGS TO BE MINIMUM OF 48" FROM FINISH GRADE TO BOTTOM OF FOOTING.

FOOTING SIZE AND REINFORCEMENT MUST MEET REQUIREMENTS OF 2012 IRC R403. FOOTING SIZE ARE SPECIFIED ON STRUCTURAL DRAWINGS WHICH TAKE PRECEDENCE UNLESS SPECIFIED.

PROTECT FRESHLY PLACED CONCRETE FROM PREMATURE DRYING AND EXCESSIVE COLD OR HOT TEMPERATURES.

COMPLY WITH ACI 306.1 FOR COLD-WEATHER PROTECTION AND ACI 301 FOR HOT-WEATHER PROTECTION DURING BEFORE PLACING CONCRETE, VERIFY THAT INSTALLATION OF FORMWORK, REINFORCEMENT, AND EMBEDDED ITEMS IS

03-06 CAST IN PLACE FOUNDATION WALLS

COMPLETE AND THAT REQUIRED INSPECTIONS HAVE BEEN PERFORMED.

CONCRETE FOUNDATION TO BE 3,000 PSI MINIMUM COMPRESSIVE STREGTH, AND SHALL HAVE NORMAL WEIGHT

REINFORCING SHALL BE AS PER THE FOUNDATION WALL SCHEDULE - SEE STRUCTURAL DRAWINGS.

DESIGN MIXTURES FOR EACH CONCRETE MIX.

TYPICAL WALLS SHALL BE A MINIMUM OF 8" THICK U.N.O. ON PLANS. REFER TO BOTH ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR THICKNESS OF WALLS. REFER TO TOP OF WALL DETAILS ON ARCHITECTURAL AND STRUCTURAL DRAWINGS

DESIGN MIXTURES FOR EACH CONCRETE MIX. FOR SPECIFIED DETAILS AND REQUIREMENTS.

WALL TO BE A MINIMUM OF 6" ABOVE FINISH GRADE. PROVIDE WATERPROOFING AT EXTERIOR OF FOUNDATION WALLS BELOW FINISH GRADE AT ALL HABITABLE SPACES. SEE

DIVISION 7 OF SPECIFICATIONS. PROVIDE PERIMETER FOUNDATION DRAIN - SEE DIVISION 7 OF SPECIFICATIONS.

PROVIDE RIGID INSULATION AT INSIDE FACE OF FOUNDATION BELOW FLOOR SLAB WHERE EXPOSED TO EXTERIOR. COORDINATE WITH ARCHITECTURAL DETAILS AND INSULATION SPECIFICATIONS FOR THICKNESS REQUIRED PER ENERGY CALCULATIONS CONCRETE FOUNDATION WALLS TO MEET THE REQUIREMENTS OF 2012 IRC 404.

ADJOINING WORK THAT IS ATTACHED TO OR SUPPORTED BY CAST-IN-PLACE CONCRETE. USE SETTING DRAWINGS. TEMPLATES, DIAGRAMS, INSTRUCTIONS, AND DIRECTIONS FURNISHED WITH ITEMS TO BE EMBEDDED. BEFORE PLACING CONCRETE, VERIFY THAT INSTALLATION OF FORMWORK, REINFORCEMENT, AND EMBEDDED ITEMS IS COMPLETE AND THAT REQUIRED INSPECTIONS HAVE BEEN PERFORMED.

CONSTRUCT FORM WORK SO CONCRETE MEMBERS AND STRUCTURES ARE OF SIZE, SHAPE, ALIGNMENT, ELEVATION, AND

POSITION INDICATED PLACE AND SECURE ANCHORAGE DEVICES AND OTHER EMBEDDED ITEMS REQUIRED FOR

FINISH: PROVIDE RUBBED SURFACES ON ALL EXPOSED SURFACES OF ALL EXPOSED CONCRETE FOUNDATION WALLS NO LATER THAN ONE DAY AFTER FORM REMOVAL.

PROTECT FRESHLY PLACED CONCRETE FROM PREMATURE DRYING AND EXCESSIVE COLD OR HOT TEMPERATURES. DEFECTIVE CONCRETE: REPAIR AND PATCH DEFECTIVE AREAS WHEN APPROVED BY ARCHITECT. REMOVE AND REPLACE CONCRETE THAT CANNOT BE REPAIRED AND PATCHED TO ARCHITECT'S APPROVAL.

03-08 CAST IN PLACE INTERIOR CONCRETE SLABS

INTERIOR CONCRETE SLABS TO BE 4,000 PSI. AND SHALL HAVE NORMAL WEIGHT 3/4" AGGREGATE.

REINFORCING SHALL BE PER STRUCTURAL DRAWINGS. PROVIDE #3 @ 24"O.C. EACH WAY OR 6" X 6"-W1.4 X W1.4 W.W.M. IF GENERAL/PRODUCT NOT SPECIFIED ON DRAWINGS. STRUCTURAL DRAWINGS SHALL TAKE PRECEDENCE OVER MINIMUM SPECIFICATION FOR ALL REINFORCEMENT.

DESIGN MIXTURES FOR EACH CONCRETE MIX

ALL SLABS SHALL BE PLACED ON 2" RIGID INSULATION BOARD OVER 6 MIL. POLYETHYLENE (OR APPROVED EQUAL) VAPOR BARRIER WITH JOINTS LAPPED NOT LESS THAN 6" OVER 4" MINIMUM COMPACTED SUB BASE. CONTRACTOR TO VERIFY THAT INSTALLATION OF FORM WORK, REINFORCEMENT, AND EMBEDDED ITEMS IS COMPLETE AND

ALL SLABS SHALL BE PLACED ON 4" MINIMUM COMPACTED SUB BASE OR GRAVEL.

THAT REQUIRED INSPECTIONS HAVE BEEN PERFORMED. COORDINATE WITH HVAC CONTRACTOR FOR IN FLOOR RADIANT HEATING SYSTEM OR BELOW GRADE DUCTWORK AS PER COMPLETE AND THAT REQUIRED INSPECTIONS HAVE BEEN PERFORMED. PLANS PROVIDED BY DESIGN BUILD CONTRACTOR COORDINATED BY THE GENERAL CONTRACTOR. THE RADIANT TUBING

MUST BE WITHIN THE TOP HALF OF THE SLAB.

PROTECT FRESHLY PLACED CONCRETE FROM PREMATURE DRYING AND EXCESSIVE COLD OR HOT TEMPERATURES. REPAIR AND PATCH DEFECTIVE AREAS WHEN APPROVED BY ARCHITECT. REMOVE AND REPLACE CONCRETE THAT CANNOT BE REPAIRED AND PATCHED TO ARCHITECT'S APPROVAL.

ALL JOINTS SHALL BE CUT. SEE ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR LOCATION OF ALL CONTROL AND EXPANSION JOINTS AT

03-09 EXTERIOR CAST IN PLACE CONCRETE SLABS

EXTERIOR CONCRETE SLABS TO BE 4,000 PSI., AND SHALL HAVE NORMAL WEIGHT 3/4" AGGREGATE.

REINFORCING SHALL BE PER STRUCTURAL DRAWINGS. PROVIDE #3 @ 24" O.C. EACH WAY OR 6" X 6" -W1.4 X W1.4 W.W.M. IF NOT SPECIFIED ON DRAWINGS. STRUCTURAL DRAWINGS SHALL TAKE PRECEDENCE OVER MINIMUM SPECIFICATION FOR COMPRESSIVE STRENGTH (28 DAYS): 5000 PSI

DESIGN MIXTURES FOR EACH CONCRETE MIX

ALL REINFORCEMENT.

ALL SLABS SHALL BE PLACED ON 4" MINIMUM COMPACTED SUB BASE.

SLAB SHALL SLOPE 1/8" PER FOOT TO DRAIN AWAY FROM BUILDING. PROVIDE TURNED DOWN GRADE BEAM AT EDGES. DOWEL SLAB INTO FOUNDATION WALLS WITH #4 BARS AT 24" O.C.

SHOWN ON DRAWINGS.

TROWEL FINISH: AS SPECIFIED ON LANDSCAPE DRAWINGS

PROTECT FRESHLY PLACED CONCRETE FROM PREMATURE DRYING AND EXCESSIVE COLD OR HOT TEMPERATURES. REPAIR AND PATCH DEFECTIVE AREAS WHEN APPROVED BY ARCHITECT. REMOVE AND REPLACE CONCRETE THAT

CANNOT BE REPAIRED AND PATCHED TO ARCHITECT'S APPROVAL SEE ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR LOCATION OF ALL CONTROL AND EXPANSION JOINTS AT

RADIANT HEATING TUBES ARE TO BE LOCATED IN SEVERAL CONCRETE PATIOS AT THE EXTERIOR AS NOTED ON THE PLANS.

LOCATIONS AND DESIGN OF TUBING LAYOUT. CONTRACTOR TO COORDINATE PLACEMENT OF TUBES IN TOP HALF OF

ALL SLABS AT EXTERIOR FOR RADIANT HEATING SHALL 2" CLOSED-CELL SPRAY-FOAM INSULATION UNDER THE SLAB.

03-12 EXTERIOR CAST IN PLACE CONCRETE STEPS

EXTERIOR CONCRETE STEPS TO BE 4,000 PSI., AND SHALL HAVE NORMAL WEIGHT 3/4" AGGREGATE.

REINFORCING SHALL BE PER STRUCTURAL DRAWINGS. PROVIDE #3 @ 24" O.C. PROVIDE #3 AT EACH NOSING OF STAIRS. STONE TO BE: QUARTZITE FROM LOCAL QUARRY PROVIDE MINIMUM OF 2" COVERAGE OF CONCRETE TO ALL STEEL. STRUCTURAL DRAWINGS SHALL TAKE PRECEDENCE OVER MINIMUM SPECIFICATION FOR ALL REINFORCEMENT

DESIGN MIXTURES FOR EACH CONCRETE MIX.

PROVIDE TURNED DOWN GRADE BEAM AT EDGES. DOWEL SLAB INTO FOUNDATION WALLS WITH #4 BARS AT 24" O.C STEPS TO HAVE RISER MAXIMUM HEIGHT OF 7" AND MINIMUM TREAD OF 12". SEE ARCHITECTURAL DETAILS FOR RISE AND RUN FOR EACH STEPS.

BEFORE PLACING CONCRETE, VERIFY THAT INSTALLATION OF FORM WORK, REINFORCEMENT, AND EMBEDDED ITEMS IS

COMPLETE AND THAT REQUIRED INSPECTIONS HAVE BEEN PERFORMED. TROWEL FINISH: AS SPECIFIED ON LANDSCAPE DRAWINGS.

PROTECT FRESHLY PLACED CONCRETE FROM PREMATURE DRYING AND EXCESSIVE COLD OR HOT TEMPERATURES. REPAIR AND PATCH DEFECTIVE AREAS WHEN APPROVED BY ARCHITECT. REMOVE AND REPLACE CONCRETE THAT CANNOT BE REPAIRED AND PATCHED TO ARCHITECT'S APPROVAL NO JOINTS IN STAIRS.

03-14 CAST IN PLACE RETAINING WALLS

CONCRETE FOUNDATION TO BE 3,000 PSI MINIMUM COMPRESSIVE STRENGTH, AND SHALL HAVE NORMAL WEIGHT 1 AGGREGATE UNLESS NOTED OTHERWISE ON STRUCTURAL DRAWINGS. STRUCTURAL DRAWINGS SHALL TAKE PRECENDENCE

REINFORCING SHALL BE AS PER THE FOUNDATION WALL SCHEDULE -SEE STRUCTURAL DRAWINGS.

OVER MINIMUM STANDARDS SPECIFIED.

COORDINATE WITH ARCHITECTURAL FOUNDATION PLANS FOR ALL TOP OF WALL ELEVATIONS. TOP OF FOUNDATION TYPICAL WALLS SHALL BE A MINIMUM OF 8" THICK U.N.O. ON PLANS, REFER TO BOTH ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR THICKNESS OF WALLS. REFER TO TOP OF WALL DETAILS ON ARCHITECTURAL AND STRUCTURAL DRAWINGS

> FOR SPECIFIED DETAILS AND REQUIREMENTS. COORDINATE WITH ARCHITECTURAL FOUNDATION PLANS FOR ALL TOP OF WALL ELEVATIONS. TOP OF FOUNDATION WALL TO BE A MINIMUM OF 6" ABOVE FINISH GRADE.

PROVIDE WATERPROOFING AT EXTERIOR OF FOUNDATION WALLS BELOW FINISH GRADE AT ALL HABITABLE SPACES. SEE DIVISION 7 OF SPECIFICATIONS.

PROVIDE PERIMETER FOUNDATION DRAIN - SEE DIVISION 7 OF SPECIFICATIONS.

CONCRETE FOUNDATION WALLS TO MEET THE REQUIREMENTS OF 2012 IRC 404 CONSTRUCT FORM WORK SO CONCRETE MEMBERS AND STRUCTURES ARE OF SIZE, SHAPE, ALIGNMENT, ELEVATION, AND POSITION INDICATED PLACE AND SECURE ANCHORAGE DEVICES AND OTHER EMBEDDED ITEMS REQUIRED FOR ADJOINING WORK THAT IS ATTACHED TO OR SUPPORTED BY CAST-IN-PLACE CONCRETE. USE SETTING DRAWINGS, TEMPLATES, DIAGRAMS, INSTRUCTIONS, AND DIRECTIONS FURNISHED WITH ITEMS TO BE EMBEDDED.

BEFORE PLACING CONCRETE, VERIFY THAT INSTALLATION OF FORM WORK, REINFORCEMENT, AND EMBEDDED ITEMS IS COMPLETE AND THAT REQUIRED INSPECTIONS HAVE BEEN PERFORMED

FINISH: PROVIDE RUBBED SURFACES ON ALL EXPOSED SURFACES OF ALL EXPOSED CONCRETE FOUNDATION WALLS NO

LATER THAN ONE DAY AFTER FORM REMOVAL. PROTECT FRESHLY PLACED CONCRETE FROM PREMATURE DRYING AND EXCESSIVE COLD OR HOT TEMPERATURES. DEFECTIVE CONCRETE: REPAIR AND PATCH DEFECTIVE AREAS WHEN APPROVED BY ARCHITECT. REMOVE AND REPLACE

CONTRACTOR SHALL COORDINATE PLACEMENT OF WEEP HOLES AT THE BASE OF THE CONCRETE RETAINING WALL. 03-18 CAST IN PLACE GARAGE CONCRETE SLABS

CONCRETE THAT CANNOT BE REPAIRED AND PATCHED TO ARCHITECT'S APPROVAL.

INTERIOR CONCRETE GARAGE SLABS TO BE 4,000 PSI., AND SHALL HAVE NORMAL WEIGHT 3/4" AGGREGATE.

TROWEL FINISH: SMOOTH

COST TO THE OWNER.

DESIGN MIXTURES FOR EACH CONCRETE MIX

BEFORE PLACING CONCRETE, VERIFY THAT INSTALLATION OF FORM WORK, REINFORCEMENT, AND EMBEDDED ITEMS IS

PROTECT FRESHLY PLACED CONCRETE FROM PREMATURE DRYING AND EXCESSIVE COLD OR HOT TEMPERATURES. REPAIR AND PATCH DEFECTIVE AREAS WHEN APPROVED BY ARCHITECT. REMOVE AND REPLACE CONCRETE THAT CANNOT BE REPAIRED AND PATCHED TO ARCHITECT'S APPROVAL.

JOINTS: SEE ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR LOCATION OF ALL CONTROL AND EXPANSION JOINTS AT CONCRETE SLABS. THE CONTRACTOR SHALL COORDINATE WITH THE MECHANICAL DESIGN BUILD CONTRACTOR FOR EXTENT OF RADIANT HEATING TUBES IN CONCRETE SLAB. CONTRACTOR SHALL COORDINATE PLACEMENT,. AND ASSURE THAT ALL TUBES ARE

IN TOP HALF OF CONCRETE SLAB. PROVIDE 1 1/2" RIGID INSULATION UNDER ALL SLABS WITH RADIANT HEATING. COORDINATE WITH DETAILS ON PLANS.

03-62 CONCRETE TOPPING SLABS

1 1/2" LIGHTWEIGHT CONCRETE TOPPING SLAB ON PLYWOOD FLOORING

15LB BUILDING PAPER BETWEEN TOPPING SLAB AND PLYWOOD FLOORING

COORDINATE WITH HVAC CONTRACTOR PRIOR TO INSTALLATION. PLACE CONCRETE FLOOR TOPPING CONTINUOUSLY IN A SINGLE LAYER, TAMPING AND CONSOLIDATING TO ACHIEVE TIGHT CONTACT WITH BONDING SURFACE.

SCREED SURFACE WITH A STRAIGHTEDGE AND STRIKE OFF TO CORRECT ELEVATIONS, AND SLOPE SURFACES UNIFORMLY WHERE INDICATED. CONTRACTION JOINTS IN SLABS-ON-GRADE AS INDICATED SHALL BE AT LEAST ONE-FOURTH OF CONCRETE THICKNESS AS RADIANT TUBES SHALL BE PLACED ON TOP OF PLYWOOD FLOORING PRIOR TO PLACEMENT OF TOPPING SLAB. LAYOUT OF TUBING SHALL BE PROVIDED BY THE DESIGN BUILD GENERAL CONTRACTOR, AND SHALL BE PROTECTED FROM PUNCTURE PRIOR TO PLACEMENT. THE CONTRACTOR SHALL PROTECT ALL TUBING TO PREVENT DAMAGE TO ANY PIPES. ALL DAMAGE WILL THE RESPONSIBILITY OF THE GENERAL AND MECHANICAL/ PLUMBING CONTRACTORS TO REPAIR AT NO

> THE CONTRACTOR SHALL PROVIDE AS AN ALTERNATE TO THE OWNER THE PRICE TO PROVIDE 1/2" RIGID INSULATION UNDER THE LIGHTWEIGHT CONCRETE SLAB FOR ISOLATION OF RADIANT TUBES TO PLYWOOD. PROVIDE PRICING AS AN ADD ALTERNATE FOR OWNER APPROVALS

DIVISION 4 MASONRY 04-40 EXTERIOR STONE VENEER

STONE VENEER AT EXTERIOR OF BUILDING AS SHOWN ON DRAWINGS.

PATTERN: RANDOM HORIZONTAL ASHLER LAY TO BE VERIFIED BY THE ARCHITECT FROM MOCK-UP

COLOR: MIX OF BUFF AND GRAY MORTAR COLOR: TO BE DETERMINED BY ARCHITECT AT TIME OF MOCKUP.

JOINTS IN STONE VENEER TO BE: DRY-STACK AS APPROVED BY ARCHITECT AT TIME OF MOCKUP. FLASHING: SEE SECTION 07 FOR FLASHING SPECIFICATIONS, SCHEDULE, REQUIREMENTS, ETC.

SEE DETAILS ON DRAWINGS FOR PROFILES OF FLASHING AT LOCATION SPECIFIED AND SHOWN ON DRAWINGS.

4 FT X 4 FT SAMPLE PANEL AT SITE OF EACH STONE TYPE INDICATED AND LAY PATTERN INDICATED. CONTACT ARCHITECT AND OWNER TO REVIEW AFTER SAMPLE PANEL IS COMPLETE FOR APPROVAL. PROVIDE 1 WEEK NOTICE.

ARRANGE STONES IN PATTERN AS APPROVED BY ARCHITECT FROM SAMPLE PANEL ON SUBMITTALS PLACE WEEP HOLES AND VENTS IN JOINTS WHERE MOISTURE MAY ACCUMULATE, INCLUDING AT BASE OF CAVITY WALLS.

ANCHOR STONE MASONRY TO CONCRETE, CMU AND STUD WALL FRAMING AS INDICATED ON DETAILS WITHIN SET STONE IN FULL BED OF MORTAR WITH FULL HEAD JOINTS UNLESS OTHERWISE INDICATED. BUILD ANCHORS INTO MORTAR JOINTS AS STONE IS SET.

MORTAR TO BE SLUSHED INTO SPACE BETWEEN STONE FACE AND VAPOR BARRIER.

ABOVE SHELF ANGLES, AND AT FLASHING.

RAKE OUT JOINTS AS DIRECTED BY ARCHITECT.

CLEAN STONE MASONRY AS WORK PROGRESSES. REMOVE MORTAR FINS AND SMEARS BEFORE TOOLING JOINTS. AFTER MORTAR IS THOROUGHLY SET AND CURED, CLEAN STONE MASONRY AS FOLLOWS:

ADJACENT STONE AND NON-MASONRY SURFACES FROM CONTACT WITH CLEANER BY COVERING THEM WITH LIQUID STRIPPABLE MASKING AGENT, POLYETHYLENE FILM, OR WATERPROOF MASKING TAPE. CLEAN STONE MASONRY WITH PROPRIETARY ACIDIC CLEANER APPLIED ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS.

REMOVE LARGE MORTAR PARTICLES BY HAND WITH WOODEN PADDLES AND NONMETALLIC SCRAPE HOES OR CHISELS,

R703.7.2.1 AND R703.7.2.2. THESE VENEERS INSTALLED OVER A BACKING OF WOOD OR COLD-FORMED STEEL SHALL NOT RAKE OUT JOINTS AS DIRECTED BY ARCHITECT. EXCEED 5 INCHES IN THICKNESS. HEIGHTS MAY BE EXCEEDED IF ENGINEERED PER I.R.C. MASONRY VENEERS INSTALLATION AND CONSTRUCTION SHALL COORDINATE WITH STANDARD CONSTRUCTION DETAILS,

STRUCTURAL SEISMIC PROVISIONS AND SHALL MEET THE FOLLOWING REQUIREMENTS. SEE I.R.C. SECTION R703, R1001 AND

STONE AND MASONRY VENEERS SHALL BE INSTALLED IN ACCORDANCE WITH IRC CHAPTER 703 TABLE R703.4 AND FIGURE

A. MASONRY VENEERS SHALL BE SUPPORTED ON FOUNDATIONS, STEEL LINTELS, OR OTHER APPROVED MATERIALS AS PER INTERNATIONAL RESIDENTIAL CODE. (I.R.C. R703.7.2) B. MASONRY VENEERS SHALL BE ANCHORED TO THE SUPPORTING WALL WITH CORROSION RESISTANT METAL TIES. WHERE VENEER IS ANCHORED TO WOOD BACKINGS THROUGH THE USE OF CORRUGATED SHEET METAL TIES THE DISTANCE SEPARATING THE VENEER FROM THE SHEATHING SHALL BE A MAXIMUM OF 1 INCH. (R703.7.4) WHERE STRAND WIRE IS USED FOR ANCHORAGE THE DISTANCE SEPARATING THE

VENEER FROM THE SHEATHING SHALL BE

A MAXIMUM OF 4 1/2 INCHES. (I.R.C. R703.7.4) C. THE VENEER SHALL BE SEPARATED FROM THE SHEATHING BY AN AIR SPACE OF A MINIMUM OF 1 INCH BUT NOT MORE THAN 4.5 INCHES. A WEATHER MEMBRANE IS NOT REQUIRED OVER WATER-REPELLENT SHEATHING. (I.R.C. R703.7.4.2), OTHERWISE PROVIDE APPROVED MEMBRANE PER IRC TABLE R703.4 NOTE M. THE AIR SPACE BETWEEN THE VENEER AND THE SHEATHING MAY BE FILLED WITH GROUT OR MORTAR AS LONG AS THE SHEATHING IS COVERED WITH AN APPROVED WEATHER RESISTANT MEMBRANE. (I.R.C. R703.7.4.3) D. ANCHORAGE SIZE & SPACING, IF STRAND WIRE, SHALL NOT BE LESS IN THICKNESS THAN NO. 9 U.S. GAG WIRE & SHALL HAVE A HOOD EMBEDDED IN THE MORTAR JOINT, OR IF SHEET METAL, SHALL BE NOT LESS NO. 22 U.S. GAGE X 7/8 INCH CORRUGATED. EACH TIE SHALL BE SPACED NOT MORE THAN 24 INCHES ON CENTER HORIZONTALLY AND SHALL SUPPORT NOT MORE THAN 2.67 SQUARE FEET OF WALL AREA. (I.R.C. R703.7.4.1)

EXCEPTIONS: IN SEISMIC DESIGN CATEGORY D1 OR D2 & IN WIND AREAS OF MORE THAN 30 POUNDS PER SQUARE FOOT,

EACH TIE SHALL SUPPORT NOT MORE THAN 2 SQUARE FEET OF WALL AREA. IRC 703.7.4.1 EXCEPTION. E. ADDITIONAL METAL TIES SHALL BE PROVIDED AROUND ALL WALL OPENINGS GREATER THAN 16 INCHES IN EITHER DIMENSION. METAL TIES AROUND THE PERIMETER OF OPENINGS SHALL BE SPACED NOT MORE THAN 3 FEET ON CENTER & PLACED WITHIN 12 INCHES OF THE WALL OPENING. (SEE I.R.C. SECTION F. MASONRY VENEERS ABOVE OPENINGS SHALL BE SUPPORTED ON LINTELS OF NON-COMBUSTABLE MATERIALS. THE SPAN SHALL NOT EXCEED THE VALUES AS SET FORTH IN TABLE R703.7.3 OF THE I.R.C. THE LINTELS

SHALL HAVE A LENGTH OF BEARING OF NOT LESS THAN 4 INCHES. (I.R.C. R703.7.3)

STONE OR BRICK VENEER ON STUDS OR SHEATHING.

G. FLASHING SHALL BE LOCATED BENEATH THE FIRST COURSE OF MASONRY ABOVE FINISHED GROUND LEVEL ABOVE THE FOUNDATION WALL OR SLAB AND ALL OTHER POINTS OF SUPPORT (IRC 703.7.5) REINFORCING SHALL BE PER STRUCTURAL DRAWINGS. PROVIDE #3 @ 24" O.C. EACH WAY OR 6" X 6" -W1.4 X W1.4 W.W.M. FLASHING SHALL BE PROVIDED AT LOCATIONS IN THE EXTERIOR WALL ENVELOPE AS REQUIRED TO IF NOT SPECIFIED ON DRAWINGS. STRUCTURAL DRAWINGS SHALL TAKE PRECEDENCE OVER MINIMUM SPECIFICATION FOR ENTRY OF WATER INTO THE BUILDING AS PER IRC 703.8. H. WEEPHOLES SHALL BE PROVIDED IN THE OUTSIDE WYTHE OF MASONRY WALLS AT A MAXIMUM SPACING OF 33 INCHES ON CENTER. WEEPHOLE SHALL BE NOT LESS THAN 3/16 INCH IN DIAMETER. WEEPHOLES SHALL BE LOCATED IMMEDIATELY ABOVE THE FLASHING. (I.R.C. R703.7.6) I. IN SEISMIC CATEGORY OTHER THAN A,B, OR C ALL STONE AND MASONRY VENEERS INSTALLED OVER A BACKING OF WOOD OR COLD-FORMED STEEL SHALL NOT EXCEED 5 INCHES IN THICKNESS. SEE

STRUCTURAL FOR SEISMIC CATEGORY. (I.R.C. R703.7). MASONRY HEIGHT SHALL BE LIMITED PER 703

MASONRY, AN ADDITIONAL 10' IN HEIGHT IS PERMITTED. PROVIDE BRACED WALLS AND HOLD DOWN CONNECTORS AS REQUIRED PER R703.7 EXCEPTION 3 OR 4 AS APPLICABLE. HEIGHT MAY BE EXCEEDED IF ENGINEERED J. PROVIDE WEATHER RESISTANT SHEATHING PAPER AS REQUIRED AS PER I.R.C. TABLE R703.4 UNDER ALL

EXCEPTIONS. IN CATEGORY D1, MASONRY VENEER HALL NOT EXCEED 20' ABOVE THE FOUNDATION WITH

ADDITIONAL 8' PERMITTED FOR GABLED ENDS AND WHERE THE LOWER 10' MAX. HAS A BACKING OF CONCRETE OR

04-48, 04-49 STONE VENEER COMPONENTS

TONE VENEER COMPONENTS ARE: CUT STONE WALL CAPS- CHOPPED SANDSTONE CUT STONE WINDOW SILLS - CHOPPED SANDSTONE CUT STONE COLUMN CAPS- CHOPPED SANDSTONE

CUT STONE WINDOW /DOOR HEADERS- CHOPPED SANDSTONE

STONE TO BE: QUARTZITE FROM LOCAL QUARRY STONE COLOR TO BE: MIX OF BUFF AND GRAY

MORTAR COLOR: TO BE DETERMINED BY ARCHITECT AT TIME OF MOCKUP.

STONE TO BE CUT AND INSTALLED PER DETAILS WITHIN DRAWINGS FLASHING: SEE SECTION 07 FOR FLASHING SPECIFICATIONS, SCHEDULE, REQUIREMENTS, ETC.

SEE DETAILS ON DRAWINGS FOR PROFILES OF FLASHING AT LOCATION SPECIFIED AND SHOWN ON DRAWINGS.

PROVIDE SAMPLE OF EACH COMPONENT TO BE INCLUDED WITHIN THE SAMPLE BOARD FOR REVIEW BY OWNER AND ARCHITECT.

WALL CAPS SHALL BE INSTALLED WHERE INDICATED ON DRAWINGS. INSTALL ALL CAPS LEVEL AND SHALL SLOPE AS INDICATED ON DRAWINGS OR WITH A MINIMUM OF 1/8" PER FT. FOR DRAINAGE. IF NOT SPECIFIED PROVIDE TOP TO SLOPE TO PROVIDE DRAINAGE AWAY FROM BUILDING.

WINDOW SILLS SHALL BE INSTALLED WHERE INDICATED ON DRAWINGS. INSTALL ALL SILLS LEVEL AND SHALL SLOPE AS INDICATED ON DRAWINGS FOR DRAINAGE. IF NOT SPECIFIED PROVIDE TOP TO SLOPE TO PROVIDE DRAINAGE AWAY

COLUMN CAPS SHALL BE INSTALLED WHERE INDICATED ON DRAWINGS. INSTALL ALL CAPS TO SLOPE AS INDICATED ON DRAWINGS OR WITH A MINIMUM OF 1/8" PER FT. FOR DRAINAGE. COLUMN CAPS SHALL BE PROVIDED IN 4 PIECES WITH ALL JOINTS AT CORNERS, UNLESS SHOWN OTHERWISE ON DRAWINGS. TOP SHALL SLOPE AWAY FROM CENTER TO EDGE AS NOTED ON DRAWINGS.

ANCHOR STONE MASONRY TO CONCRETE, CMU AND STUD WALL FRAMING AS INDICATED ON DETAILS WITHIN DRAWINGS.

WINDOW AND DOOR HEADERS SHALL BE INSTALLED WHERE INDICATED ON DRAWINGS. INSTALL DOOR AND WINDOW

TEST CLEANING METHODS ON MOCKUP; LEAVE ONE-HALF OF PANEL UNCLEAN FOR COMPARISON PURPOSES. PROTECT SET STONE IN FULL BED OF MORTAR WITH FULL HEAD JOINTS UNLESS OTHERWISE INDICATED. BUILD ANCHORS INTO MORTAR JOINTS AS STONE IS SET.

MORTAR TO BE SLUSHED INTO SPACE BETWEEN STONE FACE AND DRAIN PLANE AND WEATHER BARRIER.

CLEAN STONE MASONRY AS WORK PROGRESSES. REMOVE MORTAR FINS AND SMEARS BEFORE TOOLING JOINTS,AFTER MORTAR IS THOROUGHLY SET AND CURED, CLEAN STONE MASONRY AS FOLLOWS:

REMOVE LARGE MORTAR PARTICLES BY HAND WITH WOODEN PADDLES AND NONMETALLIC SCRAPE HOES OR CHISELS, TEST CLEANING METHODS ON MOCKUP; LEAVE ONE-HALF OF PANEL UNCLEAN FOR COMPARISON PURPOSES. PROTECT ADJACENT STONE AND NON-MASONRY SURFACES FROM CONTACT WITH CLEANER BY COVERING THEM WITH LIQUID Strippable masking agent, polyethylene film, or waterproof masking tape. Clean stone masonry with PROPRIETARY ACIDIC CLEANER APPLIED ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS.

Interior Design Landscape Architecture Land Planning

Construction Manageme

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The designs shown and described herein including



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REVISIONS:

INDICATE WELDS BY STANDARD AWS SYMBOLS, DISTINGUISHING BETWEEN SHOP AND FIELD WELDS, AND SHOW SIZE, LENGTH, AND TYPE OF EACH WELD.

INDICATE TYPE, SIZE, AND LENGTH OF BOLTS. BOLTS, NUTS, AND WASHERS: ASTM A325, HEAVY HEX STEEL STRUCTURAL BOLTS; ASTM A563 HEAVY HEX CARBON-STEEL NUTS; AND ASTM F436 HARDENED CARBON-STEEL WASHERS. CONTRACTOR SHALL ASSURE THAT FABRICATOR, ERECTOR ARE CERTIFIED INSTALLERS TO PERFORM THE WORK, AND PROVIDE CERTIFICATION WITH SUBMITTAL

ALL STEEL MEMBERS SHALL BE PRIMED, PRIOR TO DELIVERY TO SITE. EXPOSED STEEL SHALL BE FINISHED SSPC-PAINT 25, TYPE ARCHITECT. I, COLOR OF EXPOSED STEEL TO BE: BENJAMIN MOORE-SATIN HC-167, "AMHERST GRAY".

PROVIDE BEAMS OF SIZES AND SHAPES INDICATED. FABRICATE CONNECTIONS TO COMPLY WITH DETAILS SHOWN OR AS REQUIRED TO SUIT TYPE OF STRUCTURE INDICATED.

CONTRACTOR WILL ENGAGE AN INDEPENDENT TESTING AND INSPECTING AGENCY TO PERFORM SHOP TESTS AND INSPECTIONS AND PREPARE TEST REPORTS. VERIFY ELEVATIONS OF CONCRETE- AND MASONRY-BEARING SURFACES AND LOCATIONS OF ANCHOR RODS, BEARING PLATES, AND OTHER EMBEDMENTS, PROCEED WITH INSTALLATION ONLY AFTER PROVIDE ALL NECESSARY BRACING AND SHORING FOR ERECTION, AND DO NOT REMOVE UNTIL FINAL ERECTION IS UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED.

PROVIDE ALL NECESSARY BRACING AND SHORING FOR ERECTION, AND DO NOT REMOVE UNTIL FINAL ERECTION IS COMPLETE. CAMBER STRUCTURAL-STEEL MEMBERS WHERE INDICATED. ALL MEMBERS SHALL BE LEVEL AND PLUMB IN ACCORDANCE WITH THE DRAWINGS AND PROJECT CONDITIONS.

FABRICATE WITH EXPOSED SURFACES SMOOTH, SQUARE, AND FREE OF SURFACE BLEMISHES INCLUDING PITTING, RUST, SCALE, SEAM MARKS, ROLLER MARKS, ROLLED TRADE NAMES, AND ROUGHNESS. REMOVE BLEMISHES BY FILLING OR GRINDING OR BY WELDING AND GRINDING, BEFORE CLEANING, TREATING, AND SHOP PRIMING.

BOLT HOLES: CUT, DRILL, OR PUNCH STANDARD BOLT HOLES PERPENDICULAR TO METAL SURFACES. PROVIDE HOLES REQUIRED FOR SECURING OTHER WORK TO STRUCTURAL STEEL AND FOR PASSAGE OF OTHER WORK THROUGH STEEL FRAMING MEMBERS. DO NOT THERMALLY CUT BOLT HOLES OR ENLARGE HOLES BY BURNING.

05-02, 05-03, 05-04 STRUCTURAL STEEL COLUMNS

STRUCTURAL STEEL COLUMNS: TUBE, PIPE, WIDE FLANGE, AS NOTED ON STRUCTURAL DRAWINGS. ARCHITECTURALLY EXPOSED STRUCTURAL STEEL

SHOP DRAWINGS: SHOW FABRICATION OF STRUCTURAL-STEEL COMPONENTS

INCLUDE DETAILS OF CUTS, CONNECTIONS, SPLICES, CAMBER, HOLES, AND OTHER PERTINENT DATA, WITH EMBEDMENT

INDICATE WELDS BY STANDARD AWS SYMBOLS, DISTINGUISHING BETWEEN SHOP AND FIELD WELDS, AND SHOW SIZE. LENGTH, AND TYPE OF EACH WELD.

INDICATE TYPE, SIZE, AND LENGTH OF BOLTS, DISTINGUISHING BETWEEN SHOP AND FIELD BOLTS. CONTRACTOR SHALL ASSURE THAT FABRICATOR, ERECTOR ARE CERTIFIED INSTALLERS TO PERFORM THE WORK.

ALL STEEL MEMBERS SHALL BE PRIMED, PRIOR TO DELIVERY TO SITE. EXPOSED STEEL SHALL BE FINISHED AS FOLLOWS:

- A. Piamented Polyurethane over Epoxy System with shopcoat primer Prime Coat: Primer, rust-inhibitive, water based, MPI #107: S-W S-W Pro-Cryl Universal
- Primer, B66-310 Series, at 2.0 to 4.0 mils dry, per coat. Intermediate Coat: Epoxy, high-build, low gloss, : S-W Macropoxy 646-100, B58-600 Series, B-73-620 Series, at 5 to 10 mils dry, per coat.
- 3) Topcoat: Polyurethane, two-component, pigmented, gloss, (Gloss Level 6): S-W Waterbased Acrolon 100 Polyurethane, B65-720 Series, at 2.0 to 4.0 mils dry, per coat. B. COLOR: BENJAMIN MOORE- SATIN HC-167, "AMHERST GRAY".

PROVIDE COLUMNS OF SIZES AND SHAPES INDICATED. FABRICATE CONNECTIONS TO COMPLY WITH DETAILS SHOWN OR AS REQUIRED TO SUIT TYPE OF STRUCTURE INDICATED.

CONTRACTOR WILL ENGAGE AN INDEPENDENT TESTING AND INSPECTING AGENCY TO PERFORM SHOP TESTS AND INSPECTIONS AND PREPARE TEST REPORTS.

VERIFY ELEVATIONS OF CONCRETE- AND MASONRY-BEARING SURFACES AND LOCATIONS OF ANCHOR RODS, BEARING PLATES, AND OTHER EMBEDMENTS, THEN PROCEED WITH INSTALLATION ONLY AFTER UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED.

PROVIDE ALL NECESSARY BRACING AND SHORING FOR ERECTION, AND DO NOT REMOVE UNTIL FINAL ERECTION IS COMPLETE. ALL MEMBERS SHALL BE LEVEL AND PLUMB IN ACCORDANCE WITH THE DRAWINGS AND PROJECT

ALL STEEL COLUMNS IN WALLS SHALL RECEIVE 1/2" DIAMETER THREADED BOLTS WELDED TO THE COLUMN AT 2'-0" O.C. VERTICAL. STUD WALLS SHALL START AND STOP AT COLUMN AND BOLT TO COLUMN. BOLTS SHALL EXTEND THROUGH TWO STUDS MINIMUM AT ALL LOCATIONS EXCEPT AT WINDOWS AT EXTERIOR WALL. BOLTS MAY EXTEND THROUGH ONE STUD.

05-06 STRUCTURAL STEEL CHANNELS

<u>GENERAL/PRODUCTS</u>
STRUCTURAL STEEL CHANNELS (ASTM A 572/A 572M, GRADE 50)

SHOP DRAWINGS: SHOW FABRICATION OF STRUCTURAL-STEEL COMPONENTS

INCLUDE DETAILS OF CUTS, CONNECTIONS, SPLICES, CAMBER, HOLES, AND OTHER PERTINENT DATA, WITH EMBEDMENT

INDICATE WELDS BY STANDARD AWS SYMBOLS, DISTINGUISHING BETWEEN SHOP AND FIELD WELDS, AND SHOW SIZE, LENGTH, AND TYPE OF EACH WELD. INDICATE TYPE, SIZE, AND LENGTH OF BOLTS. BOLTS, NUTS, AND WASHERS: ASTM A 325, HANDRAILS SHALL MEET THE FOLLOWING REQUIREMENTS. SEE I.R.C. SECTION R311.7.7: HEAVY HEX STEEL STRUCTURAL BOLTS; ASTM A 563 HEAVY HEX CARBON-STEEL NUTS; AND ASTM F 436 HARDENED CARBON-

CONTRACTOR SHALL ASSURE THAT FABRICATOR, ERECTOR ARE CERTIFIED INSTALLERS TO PERFORM THE WORK, AND PROVIDE CERTIFICATION WITH SUBMITTAL

all steel members shall be primed, prior to delivery to site. Exposed steel shall be finished as follows:

A. Pigmented Polyurethane over Epoxy System with shopcoat primer: Prime Coat: Primer, rust-inhibitive, water based, MPI #107: S-W S-W Pro-Cryl Universal

- Primer, B66-310 Series, at 2.0 to 4.0 mils dry, per coat. 2) Intermediate Coat: Epoxy, high-build, low gloss, : S-W Macropoxy 646-100, B58-600 Series, B-73-620 Series, at 5 to 10 mils dry, per coat.
- 3) Topcoat: Polyurethane, two-component, pigmented, gloss, (Gloss Level 6): S-W Waterbased Acrolon 100 Polyurethane, B65-720 Series, at 2.0 to 4.0 mils dry, per coat. B. COLOR: BENJAMIN MOORE- SATIN HC-167, "AMHERST GRAY".

PROVIDE CHANNELS OF SIZES AND SHAPES INDICATED. FABRICATE CONNECTIONS TO COMPLY WITH DETAILS SHOWN OR AS REQUIRED TO SUIT TYPE OF STRUCTURE INDICATED.

VERIFY ELEVATIONS OF CONCRETE- AND MASONRY-BEARING SURFACES AND LOCATIONS OF ANCHOR RODS, BEARING PLATES, AND OTHER EMBEDMENTS, PROCEED WITH INSTALLATION ONLY AFTER UNSATISFACTORY CONDITIONS HAVE BEEN LEAST 3/8 INCH (10 MM) TO A LEVEL THAT IS NOT LESS CORRECTED. PROVIDE ALL NECESSARY BRACING AND SHORING FOR ERECTION, AND DO NOT REMOVE UNTIL FINAL ERECTION IS COMPLETE. ALL MEMBERS SHALL BE LEVEL AND PLUMB IN ACCORDANCE WITH THE DRAWINGS AND PROJECT 1/4 INCHES (32 MM) TOA

FABRICATE WITH EXPOSED SURFACES SMOOTH, SQUARE, AND FREE OF SURFACE BLEMISHES INCLUDING PITTING, RUST, SCALE, SEAM MARKS, ROLLER MARKS, ROLLED TRADE NAMES, AND ROUGHNESS.

REMOVE BLEMISHES BY FILLING OR GRINDING OR BY WELDING AND GRINDING, BEFORE CLEANING, TREATING, AND SHOP

BOLT HOLES: CUT, DRILL, OR PUNCH STANDARD BOLT HOLES PERPENDICULAR TO METAL SURFACES. PROVIDE HOLES REQUIRED FOR SECURING OTHER WORK TO STRUCTURAL STEEL AND FOR PASSAGE OF OTHER WORK THROUGH STEEL FRAMING MEMBERS. DO NOT THERMALLY CUT BOLT HOLES OR ENLARGE HOLES BY BURNING.

05-08 STRUCTURAL STEEL ANGLE LINTELS

STRUCTURAL STEEL LINTELS

PROVIDE CERTIFICATION WITH SUBMITTAL.

Shop drawings: show fabrication of structural-steel components. Include details of cuts, connections, Shop drawings: show fabrication of structural-steel components. Include details of cuts, connections SPLICES, CAMBER, HOLES, AND OTHER PERTINENT DATA, WITH EMBEDMENT DRAWINGS.

> INDICATE WELDS BY STANDARD AWS SYMBOLS, DISTINGUISHING BETWEEN SHOP AND FIELD WELDS, AND SHOW SIZE, LENGTH, AND TYPE OF EACH WELD. CONTRACTOR SHALL ASSURE THAT FABRICATOR. ERECTOR ARE CERTIFIED INSTALLERS TO PERFORM THE WORK, AND

EXECUTION ALL STEEL LINTELS TO BE HOT-DIPPED GALVANIZED. WHEN PART OF THE LEG IS EXPOSED TO VIEW DUPLEX COAT LINTEL AND OVER THE GALVANIZING PRIME LINTEL, PRIOR TO DELIVERY TO SITE. EXPOSED STEEL SHALL BE FINISHED SSPC-PAINT 25,

TYPE I, COLOR OF EXPOSED STEEL TO BE: BENJAMIN MOORE-SATIN HC-167, "AMHERST GRAY" OR AS SELECTED BY

PROVIDE LINTELS OF SIZES AND SHAPES INDICATED.

VERIFY ELEVATIONS OF CONCRETE- AND MASONRY-BEARING SURFACES AND LOCATIONS OF ANCHOR RODS, BEARING PLATES, AND OTHER EMBEDMENTS, PROCEED WITH INSTALLATION ONLY AFTER UNSATISFACTORY CONDITIONS HAVE BEEN

COMPLETE. ALL MEMBERS SHALL BE LEVEL AND PLUMB IN ACCORDANCE WITH THE DRAWINGS AND PROJECT

FABRICATE WITH EXPOSED SURFACES SMOOTH, SQUARE, AND FREE OF SURFACE BLEMISHES INCLUDING PITTING, RUST, SCALE, SEAM MARKS, ROLLER MARKS, ROLLED TRADE NAMES, AND ROUGHNESS. REMOVE BLEMISHES BY FILLING OR GRINDING OR BY WELDING AND GRINDING, BEFORE CLEANING, TREATING, AND SHOP

BOLT HOLES: CUT, DRILL, OR PUNCH STANDARD BOLT HOLES PERPENDICULAR TO METAL SURFACES. PROVIDE HOLES REQUIRED FOR SECURING OTHER WORK TO STRUCTURAL STEEL AND FOR PASSAGE OF OTHER WORK THROUGH STEEL FRAMING MEMBERS. DO NOT THERMALLY CUT BOLT HOLES OR ENLARGE HOLES BY BURNING.

05-10 ANCHOR BOLTS

ANCHOR BOLTS AS SHOWN ON STRUCTURAL DRAWINGS.

ANCHOR BOLTS SHALL BE PLACED FOR 5" MINIMUM EMBEDMENT COVERAGE OR AS PER STRUCTURAL DRAWINGS (MOST STRINGENT CONDITIONS APPLY). PROVIDE 5" MINIMUM UNLESS NOTED OTHERWISE ON STRUCTURAL DRAWINGS.

ANCHORS BOLTS SHALL BE MINIMUM OF 3/4" DIA. A307 TYPE BOLTS.

05-11 EXPANSION ANCHORS

EXPANSION AS SHOWN ON STRUCTURAL DRAWINGS.

EXPANSION ANCHORS SHALL BE PLACED FOR 5" MINIMUM EMBEDMENT COVERAGE OR AS PER STRUCTURAL DRAWINGS (MOST STRINGENT CONDITIONS APPLY).

ANCHORS BOLTS SHALL BE MINIMUM OF 3/4" DIA. A307 TYPE BOLTS.

05-18 STEEL GUARDRAILS & HAND RAILINGS

STEEL AND ORNAMENTAL RAILINGS AS SHOWN ON DRAWINGS AND DETAILS.

STEEL AND ORNAMENTAL RAILINGS FINISH SHALL BE:

A. Epoxy-Modified Latex System: Prime Coat: Primer, rust-inhibitive, water based, MPI #107: S-W Pro-Cryl Universal Primer, B66-310 Series, at 2.0 to 4.0 mils dry, per coat.

Topcoat: Epoxy-modified latex, interior, eggshell, (Gloss Level 3), MPI #254/MPI #254X-Green: S-W Pro Industrial Waterbased Catalyzed Epoxy Eggshell, B73-300 Series, at 2.0 to 4.0 mils dry, per coat. B. COLOR: BENJAMIN MOORE- SATIN HC-167, "AMHERST GRAY" OR AS SELECTED BY INTERIOR

Intermediate Coat: Epoxy-modified latex, interior, gloss matching topcoat.

BRACKETS, FLANGES, AND ANCHORS: SAME METAL AND FINISH AS SUPPORTED RAILS, UNLESS OTHERWISE INDICATED.

TOP CAP TO BE:INTERIOR: CONTINUOUS WOOD RAIL CAP WITH WOOD TO MATCH THAT OF WOOD FLOOR. FINISHED AS SELECTED BY INTERIOR DESIGNER. EXTERIOR: CONTINUOUS COMPOSITE "TRUGRAIN" RAIL CAP-SEE DETAIL FOR SIZE, FINISHED AS

HANDRAILS AND GUARDRAILS SHALL MEET FOLLOWING DESIGN LOADS. UNIFORM LOAD OF 50 LBF/ FT. APPLIED IN ANY DIRECTION. CONCENTRATED LOAD OF 200 LBF APPLIED IN ANY DIRECTION.

TOP RAILS OF GUARDS: UNIFORM LOAD OF 50 LBF/ FT. APPLIED IN ANY DIRECTION. CONCENTRATED LOAD OF 200 LBF APPLIED IN ANY DIRECTION.

INFILL OF GUARDS: CONCENTRATED LOAD OF 50 LBS APPLIED HORIZ. ON AN AREA OF 1 SQ. FT. UNIFORM LOAD OF 25 LBF/SQ. FT. APPLIED HORIZONTALLY.

FOR RAILINGS ASSEMBLED FROM STANDARD COMPONENTS, GROUT, ANCHORING CEMENT, AND PAINT PRODUCTS.

SHOP DRAWINGS: INCLUDE PLANS, ELEVATIONS, SECTIONS, DETAILS, AND ATTACHMENTS TO OTHER WORK. SAMPLES: FOR EACH EXPOSED FINISH REQUIRED.

A. HANDRAILS SHALL BE MOUNTED A MINIMUM OF 34 INCHES AND A MAXIMUM OF 38 INCHES ABOVE THE NOSING OF THE TREAD AND SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS. ALL REQUIRED HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS WITH FOUR OR MORE RISERS FROM DIRECTLY ABOVE THE TOP RISER OF THE FLIGHT TO A POINT DIRECTLY ABOVE THE LOWEST RISER. ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS. VOLUTES, TURNOUT OR STARTING EASING SHALL BE ALLOWED OVER THE LOWEST TREAD.

B. ALL REQUIRED HANDRAILS SHALL BE OF ONE OF THE FOLLOWING TYPES OF PROVIDE EQUIVALENT GRASPABILITY.

1. TYPE I. HANDRAILS WITH A CIRCULAR CORSS SECTION SHALL HAVE AN OUTSIDE DIAMETER OF AT LEAST 1 1/4 INCHES (32 MM) AND NOT GREATER THAN 2 INCHES (51 MM). IF THE HANDRAIL IS NOT CIRCULAR, IT SHALL HAVE A PERIMETER DIMENSION OF AT LEAST 4 INCHES (102 MM) AND THAN 6 1/4 INCHES (160 MM) WITH A MAXIMUM CROSS SECTION OF DIMENSION OF $2\frac{1}{4}$ INCHES (57 MM). EDGES SHALL HAVE A MINIMUM RADIUS OF 0.01 INCH (0.25 MM).

2. TYPE II. HANDRAILS WITH A PERIMETER GREATER THAN 6 ¼ INCHES (160 MM) SHALL HAVE A

GRASPABLE FINGER RECESS AREA ON BOTH SIDES OF THE PROFILE. THE FINGER RECESS SHALL BEGIN WITHIN A DISTANCE OF 3/4 INCH (19 MM) MEASURED VERTICALLY FROM THE PORTION OF THE PROFILE AND ACHIEVE A DEPTH OF AT LEAST 5/16 INCH (8 MM) WITH 7/8 INCH (22 MM) BELOW THE WIDEST PORTION OF THE PROFILE. THE REQUIRED DEPTH SHALL CONTINUE FOR AT THAN 1 ¾ INCHES (45 MM) BELOW THE TALLEST WIDTH OF THE HANDRAIL ABOVE THE RECESS SHALL BE 1 PORTION OF THE PROFILE. THE MINIMUM MAXIMUM OF 2 % INCHES (70 MM). EDGES SHALL HAVE A MINIMUM RADIUS OF 0.01 INCH (0.25 MM).

C. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1 1/2 INCHES BETWEEN THE WALL AND THE HANDRAIL.

05-37 MISC. METAL FABRICATIONS

TEEL FABRICATONS AS NOTED IN THE DRAWINGS AND AS FOLLOWS:

1- CHIMNEY COVER CHASE. FINISH AS NOTE #2 BELOW.

2- STEEL STAIR ELEMENTS. FINISH AS NOTE #1 BELOW.

SHOP DRAWINGS: SHOW FABRICATION OF STEEL FABRICATONS.

INCLUDE DETAILS OF CUTS, CONNECTIONS, SPLICES, CAMBER, HOLES, AND OTHER PERTINENT DATA, WITH EMBEDMENT INDICATE WELDS BY STANDARD AWS SYMBOLS, DISTINGUISHING BETWEEN SHOP AND FIELD WELDS, AND SHOW SIZE,

LENGTH, AND TYPE OF EACH WELD. INDICATE TYPE, SIZE, AND LENGTH OF BOLTS. BOLTS, NUTS, AND WASHERS: ASTM A 325, HEAVY HEX STEEL STRUCTURAL BOLTS; ASTM A 563 HEAVY HEX CARBON-STEEL NUTS; AND ASTM F 436 HARDENED CARBON-STEEL WASHERS.

CONTRACTOR SHALL ASSURE THAT FABRICATOR, ERECTOR ARE CERTIFIED INSTALLERS TO PERFORM THE WORK, AND PROVIDE CERTIFICATION WITH SUBMITTAL

NOTE #1: PRIMED, PRIOR TO DELIVERY TO SITE. EXPOSED STEEL SHALL BE FINISHED AS FOLLOWS:

Primer, B66-310 Series, at 2.0 to 4.0 mils dry, per coat.

B. COLOR: BENJAMIN MOORE- SATIN HC-167, "AMHERST GRAY".

A. Pigmented Polyurethane over Epoxy System with shopcoat primer: Prime Coat: Primer, rust-inhibitive, water based, MPI #107: S-W S-W Pro-Cryl Universal

2) Intermediate Coat: Epoxy, high-build, low gloss, : S-W Macropoxy 646-100, B58-600 Series, B-73-620 Series, at 5 to 10 mils dry, per coat. 3) Topcoat: Polyurethane, two-component, pigmented, gloss, (Gloss Level 6): S-W Waterbased Acrolon 100 Polyurethane, B65-720 Series, at 2.0 to 4.0 mils dry, per coat.

NOTE#2: PROVIDE DUPLEX COATING OF HOT -DIPPED GALVANIZED AND COAT THE EXTERIOR SURFACE EXPOSED TO VIEW AS FOLLOWS:

A. Water-based Light Industrial Coating System: Prime Coat: Primer, water-based, anti-corrosive for metal, MPI #107: S-W Pro Industrial Pro-Cryl Universal Primer, B66-310 Series, 5.0 to 10.0 mils wet, 2.0 to 4.0 mils dry.

Prime Coat: Shop primer specified in Section where substrate is specified. Intermediate Coat: Light industrial coating, exterior, water based, matching topcoat. Topcoat: Light industrial coating, exterior, water based, semi-gloss, (Gloss Level 5), MPI # 163: S-W Pro Industrial Acrylic Semi-Gloss Coating, B66-650 Series, at 2.5 to 4.0 mils dry, per

B. COLOR: BENJAMIN MOORE- SATIN HC-167, "AMHERST GRAY".

OR AS REQUIRED TO SUIT TYPE OF STRUCTURE INDICATED.

VERIFY ELEVATIONS OF CONCRETE- AND MASONRY-BEARING SURFACES AND LOCATIONS OF ANCHOR RODS, BEARING FOUNDATION PLATES OR SILLS AND SLEEPERS ON A CONCRETE OR MASONRY SLAB, WHICH IS IN DIRECT CONTACT WITH PLATES. AND OTHER EMBEDMENTS, PROCEED WITH INSTALLATION ONLY AFTER UNSATISFACTORY CONDITIONS HAVE BEEN EARTH, AND SILLS WHICH REST ON CONCRETE OR MASONRY FOUNDATIONS, SHALL BE TREATED WOOD OR FOUNDATION CORRECTED. PROVIDE ALL NECESSARY BRACING AND SHORING FOR ERECTION, AND DO NOT REMOVE UNTIL FINAL REDWOOD, ALL MARKED OR BRANDED BY AN APPROVED AGENCY. WHERE NOT SUBJECT TO WATER SPLASH OR TO ERECTION IS COMPLETE. ALL MEMBERS SHALL BE LEVEL AND PLUMB IN ACCORDANCE WITH THE DRAWINGS AND PROJECT EXTERIOR MOISTURE AND LOCATED ON CONCRETE HAVING A MINIMUM THICKNESS OF 3 INCHES WITH AN IMPERVIOUS

FABRICATE WITH EXPOSED SURFACES SMOOTH, SQUARE, AND FREE OF SURFACE BLEMISHES INCLUDING PITTING, RUST, PROVIDE FIRE BLOCKING AT ALL BEARING WALLS, AND PROVIDE FIRE BLOCKING AT ALL SPACES @ 10'-0" SCALE, SEAM MARKS, ROLLER MARKS, ROLLED TRADE NAMES, AND ROUGHNESS.

BOLT HOLES: CUT, DRILL, OR PUNCH STANDARD BOLT HOLES PERPENDICULAR TO METAL SURFACES. PROVIDE HOLES

BELOW GRADE EXCEPT WHERE AN APPROVED BARRIER IS INSTALLED BETWEEN THE WALL AND THE WOOD, SHALL BE

05-55 CUSTOM STEEL STAIRS

STAIR COMPONENTS AS FOLLOWS:

STRINGERS EXPOSED STEEL PLATE STRINGERS AS PER DETAILS. 3" SOLID WOOD TREADS AS PER DETAILS. OPEN RISER THAT DOES NOT EXCEED 4".

framing members. Do not thermally cut bolt holes or enlarge holes by burning

SHOP DRAWINGS: INCLUDE PLANS, ELEVATIONS, SECTIONS, DETAILS, AND ATTACHMENTS TO OTHER WORK.

PROVIDE COMPLETE STAIR ASSEMBLIES, INCLUDING METAL FRAMING, HANGERS, STRUTS, RAILINGS, CLIPS, BRACKETS, BEARING PLATES, AND OTHER COMPONENTS NECESSARY TO SUPPORT AND ANCHOR STAIRS AND PLATFORMS ON Supporting structure. Bolts shall be fabricated and join so bolts are not exposed on finished surfaces.

METAL SURFACES, GENERAL: PROVIDE MATERIALS WITH SMOOTH, FLAT SURFACES WITHOUT BLEMISHES. FINISH: FACTORY PRIMED FOR A HIGH-PERFORMANCE COATING WITH COLOR AS SELECTED BY ARCHITECT.

STRESSES WITHIN LIMITS AND UNDER CONDITIONS INDICATED: UNIFORM LOAD: 100 LBF/SQ. FT. CONCENTRATED LOAD: 300 LBF APPLIED ON AN AREA OF 4 SQ. IN.

LIMIT DEFLECTION OF TREADS, PLATFORMS, AND FRAMING MEMBERS 1/8 INCH. STRUCTURAL PERFORMANCE OF RAILINGS: PROVIDE RAILINGS CAPABLE OF WITHSTANDING THE EFFECTS OF GRAVITY

LOADS AND STRESSES WITHIN LIMITS AND UNDER CONDITIONS INDICATED. PROVIDE A MINIMUM OF 7'-6" HEAD CLEARANCE AT ALL POINTS.

DIVISION 6-WOOD, PLASTICS & COMPOSITES 06-01, 06-02, 06-03, 06-04, 06-05, 06-06

STUD WALL ROUGH FRAMING 2X4 AND 2 X 6 DOUGLAS FIR, HEM FIR #2 OR BETTER. WOOD STUDS AS SHOWN ON DRAWINGS. PROTECT WOOD AGAINST DECAY AS NOTED AND REQUIRED BY CODE. WHERE PROTECTION IS REQUIRED WOOD MUST BE APPROVED TREATED OR DECAY RESISTANT. SEE I.R.C. SECTION R317& LOCAL JURISDICTION'S REGULATIONS.

PROVIDE 2X WOOD STUDS AT 16" O.C. U.N.O. COORDINATE WITH STRUCTURAL DRAWINGS FOR ADDITIONAL

INFORMATION AND REQUIREMENTS. THE CONTRACTOR SHALL COORDINATE AND INSTALL SOLID BLOCKING FOR THE INSTALLATION OF ALL FIXTURES, CABINETS, EQUIPMENT, FINISH HARDWARE, ETC. THAT REQUIRE SUCH.

PROTECT WOOD AGAINST DECAY AS NOTED AND REQUIRED BY CODE. WHERE PROTECTION IS REQUIRED WOOD MUST BE APPROVED TREATED OR DECAY RESISTANT (I.R.C. R319.1). SEE I.R.C. SECTION R319 & LOCAL JURISDICTION'S REGULATIONS AS REQUIRED BY IRC. TABLE R301.2(1) ADDITIONAL REQUIREMENTS AS SPECIFIED WITHIN INDIVIDUAL SECTIONS.

WOOD USED IN CONSTRUCTION OF PERMANENT STRUCTURES AND LOCATED NEARER THAN 6 INCHES TO EARTH SHALL BE SUBMITTALS TREATED WOOD OR WOOD OF NATURAL RESISTANCE TO DECAY, AS DEFINED IN I.R.C. WHERE LOCATED ON CONCRETE SAMPLE OF ACTUAL SAMPLE WITH STAIN SAMPLE SELECTED FOR ARCHITECT APPROVAL. SLABS PLACED ON EARTH, WOOD SHALL BE TREATED WOOD OR WOOD OF NATURAL RESISTANCE TO DECAY. (I.R.C. R319.1 (5)).

FOUNDATION PLATES OR SILLS AND SLEEPERS ON A CONCRETE OR MASONRY SLAB, WHICH IS IN DIRECT CONTACT WITH RECOMMENDED BY MANUFACTURER. FOUNDATION REDWOOD, ALL MARKED OR BRANDED BY AN APPROVED AGENCY. (I.R.C. R323.1 (2 & 3)) WHERE NOT SUBJECT TO WATER SPLASH OR TO EXTERIOR MOISTURE AND LOCATED ON CONCRETE HAVING A MINIMUM THICKNESS GENERAL/PRODUCT OF 3 INCHES WITH AN IMPERVIOUS MEMBRANE INSTALLED BETWEEN CONCRETE AND EARDYTH, THE WOOD MAY BE WALL SHEATHING TO BE: UNTREATED AND OF ANY SPECIES. INSTALL SILL SEALER FOAM UNDER ALL SILL PLATES AT CONCRETE FOUNDATION WALLS EXTENT OF WALL SHEATHING AS SHOWN ON THE STRUCTURAL AND ARCHITECTURAL DRAWINGS. SHEATHING MAY BE FIRE-AND SLABS.

PROVIDE FIRE BLOCKING AT MID SPAN AT ALL BEARING WALLS, AND PROVIDE FIRE BLOCKING AT ALL SPACES @ 10'-0" EXECUTION

HOLD WOOD FRAMING AWAY FROM CONCRETE FOUNDATION WALL 1/2 INCH.

PROVIDE SOLID BLOCKING AT MID SPAN FOR ANY STUD EXCEEDING 10'-0" IN HEIGHT. BRACE ALL EXTERIOR WALLS AND CROSS STUD PARTITIONS AS PER IRC R602 AND STRUCTURAL ENGINEERING AT EACH

END OF THE BUILDING AND AT LEAST EVERY 25'-0" OF LENGTH BY ONE OF THE FOLLOWING. A. APPROVED STRUCTURAL SHEATHING OF A MINIMUM THICKNESS OF 7/16". COORDINATE WITH SHEAR WALL B. FOR ADDITIONAL BRACED WALL PANEL CONSTRUCTION OPTIONS, EXCEPTIONS AND RESTRICTIONS SEE I.R.C TREATED AS PER FIRE-RATED WALL REQUIREMENTS. SECTION R602.10. COORDINATE W/ STRUCTURAL FOR SEISMIC AND ANY SPECIAL REQUIREMENTS.

C. BRACED WALL LINE SILLS SHALL HAVE PLATE WASHERS A MINIMUM OF 3/16" BY 3" X 3" (IRC R602)

TOLERANCE CONTRACTOR SHALL BE RESPONSIBLE TO CONSTRUCT ALL FRAMING OF WALLS WITH THE FOLLOWING TOLERANCES. CONTRACTOR SHALL BE RESPONSIBLE TO CORRECT ALL FRAMING THAT DO NOT MEET THE REQUIRED TOLERANCES PROVIDE BLOCKING AT ALL PANEL EDGES

06-07, 06-08, 06-09 WOOD BLOCKING/FIREBLOCKING

FIRE BLOCKING SHALL BE CONSTRUCTED OF 2" NOMINAL LUMBER OR (2) THICKNESS OF 1" NOMINAL LUMBER WITH BROKEN LAP JOINTS (302.11.1) OR OTHER MATERIALS APPROVED OR TESTED, INSTALLED PER R302.11. FIRE BLOCKING SHALL BE

FIRE BLOCKING SHALL BE INSTALLED AT THE FOLLOWING LOCATIONS. CONTRACTOR SHALL COORDINATE THESE

A. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS AND AT 10-FOOT INTERVALS BOTH VERTICAL AND HORIZONTAL. (IRC 302.11 (1))

B. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS. (IRC 302.11 (2))

C. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN AND BETWEEN

STUDS ALONG AND IN LINE WITH THE RUN OF STAIRS IF THE WALLS UNDER THE STAIRS ARE UNFINISHED. (IRC 302.11 (3)

D. IN OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS, FIREPLACES AND SIMILAR OPENINGS WHICH AFFORD A PASSAGE FOR FIRE AT CEILING AND FLOOR LEVELS. WITH NON COMBUSTIBLE MATERIALS

> E. AT OPENINGS BETWEEN ATTIC SPACES AND CHIMNEY CHASES FOR FACTORY-BUILT CHIMNEYS. (IRC 302.11 (5))

F. WHERE WOOD SLEEPERS ARE USED FOR LAYING WOOD FLOORING ON MASONRY OR CONCRETE FIRE-RESISTIVE FLOORS, THE SPACE BETWEEN THE FLOOR SLAB AND THE UNDERSIDE OF THE WOOD FLOORING SHALL BE FILLED WITH NON COMBUSTIBLE MATERIAL OR FIRE BLOCKED IN SUCH A MANNER THAT THERE WILL BE NO OPEN SPACES UNDER THE FLOORING WHICH WILL EXCEED 1000 SQUARE FEET IN AREA AND SUCH SPACE SHALL BE FILLED SOLIDLY UNDER ALL PERMANENT PARTITIONS SO THAT THERE IS NO COMMUNICATION UNDER THE FLOORING BETWEEN ADJOINING ROOMS. (IRC 302.12)

G. WALLS HAVING PARALLEL OR STAGGERED STUDS FOR SOUND TRANSMISSION CONTROL SHALL HAVE FIRE BLOCKS OF MINERAL OR GLASS FIBER OR OTHER APPROVED NON-RIGID MATERIAL. (IRC 302.11 (1)).

H. FIRE BLOCKING OF CORNICES OF A TWO-FAMILY DWELLING IS REQUIRED AT THE LINE OF THE DWELLING UNIT

06-15 WOOD FURRING

SEPARATION. (IRC 302.11 (6))

2X4 AND 2 X 6 DOUGLAS FIR, HEM FIR #2 OR BETTERWOOD STUDS AS SHOWN ON DRAWINGS.

PROVIDE 2X WOOD STUDS AT 16" O.C. U.N.O.

PROVIDE FABRICATIONS OF SIZES AND SHAPES INDICATED. FABRICATE CONNECTIONS TO COMPLY WITH DETAILS SHOWN PROVIDE 2X SOLID WOOD FIREBLOCKING AT EVERY 10'-0", AND PROVIDE SOLID BLOCKING AT MID SPAN FOR ANY STUD EXCEEDING 10'-0" IN HEIGHT.

MEMBRANE INSTALLED BETWEEN CONCRETE AND EARTH, THE WOOD MAY BE UNTREATED AND OF ANY SPECIES.

REMOVE BLEMISHES BY FILLING OR GRINDING OR BY WELDING AND GRINDING, BEFORE CLEANING, TREATING, AND SHOPHOLD WOOD FRAMING AWAY FROM CONCRETE FOUNDATION WALL 1/2 INCH. WOOD FURRING OR FRAMING ATTACHED DIRECTLY TO THE INTERIOR OF EXTERIOR MASONRY OR CONCRETE WALLS

REQUIRED FOR SECURING OTHER WORK TO STRUCTURAL STEEL AND FOR PASSAGE OF OTHER WORK THROUGH STEEL

TREATED OR RESISTANT TO DECAY. (I.R.C. R317.1 (7)). PROVIDE SOLID BLOCKING AT MID SPAN FOR ANY STUD EXCEEDING 10'-0" IN HEIGHT.

> BRACE ALL EXTERIOR WALLS AND CROSS STUD PARTITIONS AS PER IRC R602 AND STRUCTURAL ENGINEERING AT EACH END OF THE BUILDING AND AT LEAST EVERY 25'-0" OF LENGTH BY ONE OF THE FOLLOWING.

APPROVED STRUCTURAL SHEATHING OF A MINIMUM THICKNESS OF 7/16". COORDINATE WITH SHEAR WALL SCHEDULE FOR ADDITIONAL BRACED WALL PANEL CONSTRUCTION OPTIONS, EXCEPTIONS AND RESTRICTIONS SEE I.R.C SECTION R602.10. COORDINATE W/STRUCTURAL FOR SEISMIC AND ANY SPECIAL REQUIREMENTS.

BRACED WALL LINE SILLS SHALL HAVE PLATE WASHERS A MINIMUM OF 3/16" BY 3" X 3" (IRC R602) CONTRACTOR SHALL BE RESPONSIBLE TO CONSTRUCT ALL FRAMING OF WALLS WITH THE FOLLOWING TOLERANCES. CONTRACTOR SHALL BE RESPONSIBLE TO CORRECT ALL FRAMING THAT DO NOT MEET THE REQUIRED TOLERANCES

1. ALL WALLS SHALL BE STRAIGHT, AND SHALL NOT HAVE GREATER THAN 1/4" ANY BOW, DEFLECTION, IN 10'-0" LENGTH OF WALL. 2. ALL WALLS SHALL BE VERTICAL PLUMB, AND SHALL NOT EXCEED 1/4" FOR EACH

10'-0" VERTICAL SECTION OR STORY OF WALL. 3. ALL HORIZONTAL SOFFIT, WINDOW HEAD SHALL BE LEVEL, AND SHALL NOT EXCEED 1/8" VARIATION PROVIDE METAL STAIRS CAPABLE OF WITHSTANDING THE EFFECTS OF GRAVITY LOADS AND THE FOLLOWING LOADS AND WITHIN 10'-0" LENGTH.

> 06-22, 06-23 HEAVY TIMBER FRAMING timber beams/columns/trusses/roof purlins /haunches as shown on architectural/structural drawings

TIMBER BEAMS TO BE #1 OR BETTER, KILN DRIED 15% MOISTURE OR LESS.

TIMBER TO BE:

WALL LOCATIONS.

COLOR: STAINED WITH SHERMA WILLIAMS SEMI-TRANSPARENT "HAWTHORNE"

COORDINATE WITH ARCHITECTURAL/STRUCTURAL DRAWINGS FOR CONNECTIONS AT EACH TIMBER.

SHOP DRAWINGS: ALL TIMBER JOISTS SHALL BE SUBMITTED FOR APPROVAL PRIOR TO FABRICATION. TIMBER CONTRACTOR/GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL DIMENSIONS PRIOR TO FABRICATION OF TIMBERS

ALL JOINTS SHALL BE TRUE AND SQUARE WITH TOLERANCES OF LESS THAN 1/8" WITHIN JOINT.

06-32 WOOD DECKING WOOD DECKING AT ALL EXTERIOR DECKS/WALKWAYS

AS SELECTED BY ARCHITECT

WOOD DECKING SHALL BE: "GOLD DECKING" BY TRUGRAIN RESYSTA

ATTACH WOOD DECKING TO FRAMING (SEE STRUCTURAL PLANS FOR SIZE) WITH HIDDEN FASTENER SYSTEM AS

1/2" EXTERIOR GRADE A.P.A. RATED SHEATHING OR AS PER STRUCTURAL.

TREATED AS PER FIRE-RATED WALL REQUIREMENTS. NAILING OF SHEATHING SHALL BE PER STRUCTURAL DRAWINGS. COORDINATE WITH STRUCTURAL DRAWINGS FOR SHEAR

PROVIDE BLOCKING AT ALL PANEL EDGES. 06-41 PLYWOOD/ OSB ROOF SHEATHING

ROOF SHEATHING TO BE: 5/8" EXTERIOR GRADE A.P.A. RATED SHEATHING OR AS PER STRUCTURAL.

NAILING OF SHEATHING SHALL BE PER STRUCTURAL DRAWINGS, AND SHEATHING SHALL BE INSTALLED PERPENDICULAR TO

EXTENT OF ROOF SHEATHING AS SHOWN ON THE STRUCTURAL AND ARCHITECTURAL DRAWINGS. SHEATHING MAY BE FIRE-

06-45 PLYWOOD/ OSB FLOOR SHEATHING

GENERAL/PRODUCTS
FLOOR SHEATHING TO BE: 3/4" T & G A.P.A. RATED SHEATHING OR AS PER STRUCTURAL.

EXTENT OF PLYWOOD FLOOR SHEATHING AS SHOWN ON THE STRUCTURAL AND ARCHITECTURAL DRAWINGS.

NAILING OF PLYWOOD SHEATHING SHALL BE PER STRUCTURAL DRAWINGS.

PROVIDE BLOCKING AT ALL PANEL EDGES

PROVIDE CONTINUOUS CONSTRUCTION ADHESIVE AT ALL FLOOR SHEATHING TO FLOOR JOIST. 06-50 PRE-ENGINEERED ROOF TRUSSES

ARCHITECT/STRUCTURAL DRAWINGS SHALL SHOW INTENT AND LOCATION FOR ALL ENGINEERED TRUSSES. TRUSS MANUFACTURER IS REQUIRED TO DESIGN TRUSSES TO REQUIRED LOADS AS SPECIFIED ON STRUCTURAL DRAWINGS TO MEET INTENT SHOWN ON THE CONSTRUCTION DRAWINGS.

SHOP DRAWINGS: SUPPLIER SHALL PROVIDE SHOP DRAWINGS, CALCULATIONS, INCLUDING LAYOUT, PROFILES, AND INGINEERING FOR REVIEW BY STRUCTURAL ENGINEER. SHOP DRAWINGS SHALL BE REVIEWED AND APPROVED BY GENERAL CONTRACTOR PRIOR TO ENGINEER/ARCHITECT REVIEW.

COORDINATE WITH STRUCTURAL DRAWINGS FOR LAYOUT, HOLD DOWNS, HURRICANE TIES REQUIRED FOR INSTALLATION OF ROOF TRUSSES

06-55 PRE-ENGINEERED FLOOR JOISTS RCHITECT/STRUCTURAL DRAWINGS SHALL SHOW INTENT AND LOCATION FOR ALL ENGINEERED JOISTS. JOIST

MANUFACTURER MEET TO REQUIRED LOADS AS SPECIFIED ON STRUCTURAL DRAWINGS AND TO MEET INTENT SHOWN ON THE CONSTRUCTION DRAWINGS.

ENGINEERING FOR REVIEW BY STRUCTURAL ENGINEER. SHOP DRAWINGS SHALL BE REVIEWED AND APPROVED BY GENERAL CONTRACTOR PRIOR TO ENGINEER/ARCHITECT REVIEW. OORDINATE WITH STRUCTURAL DRAWINGS FOR LAYOUT, HOLD DOWNS, REQUIRED FOR INSTALLATION OF FLOOR JOISTS

SHOP DRAWINGS: SUPPLIER SHALL PROVIDE SHOP DRAWINGS, CALCULATIONS, INCLUDING LAYOUT, PROFILES, AND

PROVIDE SOLID BLOCKING AT ALL BEARING POINTS

Joists under and parallel to Bearing Partitions shall be sized per engineer, or at minimum double joists.

MEET REQUIEMENTS PER IRC 502.4. A. A WHEN WOOD JOISTS OR THE BOTTOM OF WOOD STRUCTURAL FLOORS ARE LOCATED CLOSER THAN INCHES OR WOOD GIRDERS ARE LOCATED CLOSER THAN 12 INCHES TO EXPOSED GROUND IN CRAWL SPACES OR UNEXCAVATED AREAS LOCATED WITHIN THE PERIPHERY OF THE BUILDING FOUNDATION, PROTECTION IS REQUIRED. THE FLOOR ASSEMBLY, INCLUDING POSTS, GIRDERS, JOISTS AND SUBFLOOR, SHALL BE APPROVED WOOD OF NATURAL

B. UNDER FLOOR AREAS SHALL BE PROVIDED WITH AN ACCESS AS PER I.R.C. SECTION R408.4.

06-56 PRE-ENGINEERED ROOF JOISTS

AND PENETRATIONS OF OTHER TRADES THROUGH FLOOR TRUSSES.

RESISTANCE TO DECAY (AS LISTED IN I.R.C.) OR TREATED WOOD.

ARCHITECT/STRUCTURAL DRAWINGS SHALL SHOW INTENT AND LOCATION FOR ALL ENGINEERED JOISTS. JOIST MANUFACTURER MEET TO REQUIRED LOADS AS SPECIFIED ON STRUCTURAL DRAWINGS AND TO MEET INTENT SHOWN ON THE INTERIOR PACKAGE MUST MEET ALL APPLICABLE CODES FOR RAILINGS. THE CONSTRUCTION DRAWINGS.

HOP DRAWINGS: SUPPLIER SHALL PROVIDE SHOP DRAWINGS, CALCULATIONS, INCLUDING LAYOUT, PROFILES, AND ENGINEERING FOR REVIEW BY STRUCTURAL ENGINEER. SHOP DRAWINGS SHALL BE REVIEWED AND APPROVED BY GENERAL CONTRACTOR PRIOR TO ENGINEER/ARCHITECT REVIEW.

EXECUTION

COORDINATE WITH STRUCTURAL DRAWINGS FOR LAYOUT, HOLD DOWNS, HURRICANE TIES REQUIRED FOR INSTALLATION OF FRAMING MEMBERS.

COORDINATE WITH OTHER TRADES (MECHANICAL/ELECTRICAL/PLUMBING, ETC.) DURING LAYOUT TO ASSIST IN LAYOUT AND PENETRATIONS OF OTHER TRADES THROUGH JOISTS 06-58 STRUCTURAL LAMINATED BEAMS

, LAMINATED BEAMS AS SHOWN ON STRUCTURAL DRAWINGS, INCLUDING GLU-LAMINATED , LVL,LSL, PARALAMS, ETC GRADE: WHEN EXPOSED TO VIEW PROVIDE ARCHITECTURAL GRADE.

ALL JOIST AND BEAM HANGERS SHALL BE PER STRUCTURAL DRAWINGS, AND INTENDED FOR USE SHOWN. DO NOT USED JOIST HANGERS NOT INTENDED FOR USE SPECIFIED.

INSTALLATIONS SHALL BE PER DETAILS AND NOTED ON THE DRAWINGS.

06-59 STRUCTURAL COLUMNS OLUMNS AS SHOWN ON STRUCTURAL DRAWINGS, INCLUDING GLU-LAMINATED , LVL,LSL, PARALAMS, DIMENSIONAL LUMBER, ETC.

Installations shall be per details and noted on the drawings.

COLUMNS AND POSTS LOCATED ON CONCRETE OR MASONRY FLOORS OR DECKS EXPOSED TO THE WEATHER OR TO WATER SPLASH OR IN BASEMENTS AND WHICH SUPPORT PERMANENT STRUCTURES SHALL BE SUPPORTED BY CONCRETE PIERS OR METAL PEDESTALS PROJECTING ABOVE FLOORS UNLESS APPROVED WOOD OF NATURAL RESISTANCE TO DECA' OR TREATED WOOD IS USED. THE PEDESTALS SHALL PROJECT AT LEAST 6 INCHES ABOVE EXPOSED EARTH AND AT LEAST 1 INCH ABOVE SUCH FLOORS. INDIVIDUAL CONCRETE OR MASONRY PIERS SHALL PROJECT AT LEAST 8 INCHES ABOVE EXPOSED GROUND UNLESS THE COLUMNS OR POSTS WHICH THEY SUPPORT ARE OF APPROVED WOOD OF NATURAL

RESISTANCE TO DECAY OR TREATED WOOD IS USED.

DRAWINGS AND DETAILS.

SOFFIT- 1 X 6 T & G CEDAR

MANUFACTURER:

06-62 EXTERIOR WOOD TRIM ALL EXTERIOR WOOD TRIM WORK AS SPECIFIED ON DRAWINGS AND DETAILS. CONTRACTOR TO COORDINATE WITH

CEDAR BOARDS WOOD TRIM TO BE: WOOD TRIM GRADE: SELECT WOOD TRIM FINISH TO BE: STAINED STAIN COLOR/MANUF TO BE: SHERMAN WILLIAMS SEMI-TRANSPARENT "HAWTHORNE" FASCIA AND SOFFIT TO BE :

FASCIA- CEDAR BOARDS BUILT-UP AS PER DETAILS IN THE DRAWINGS.

COLOR: SHERMAN WILLIAMS SEMI-TRANSPARENT "HAWTHORNE"

SUBMIT 12" SAMPLE OF EACH TYPE OF TRIM. FINISH AND EACH STAIN OR PAINT COLOR.

SHEATHING AND INTO STUD FRAMING MINIMUM OF 1". COUNTERSINK ALL NAIL HEADS.

ALL EXTERIOR WOODWORK TO BE PRE-PAINTED OR STAINED PRIOR TO INSTALLATION ON ALL SIDES OF TRIM. ALL INSTALLATION SHALL BE PER MANUFACTURERS OR APPLICABLE STANDARDS FOR INSTALLATION. NAIL ALL TRIM WITH GALVANIZED OR STAINLESS STEEL FINISH NAILS. ALL NAILING SHALL EXTEND THROUGH WALL

INSTALL SIDING AND TRIM OVER WALL VENTILATION MATRIX OVER TYVEK OR EQUAL VAPOR BARRIER.

06-75 INTERIOR STAIR FRAMING

ALL STAIR FRAMING AS SHOWN ON ARCHITECTURAL AND STRUCTURAL DRAWINGS

UNLESS SPECIFIED ON DRAWINGS, CONTRACTOR SHALL PROVIDE 1 1/4" X 11 7/8" LVL STRINGERS AT INTERIOR STAIRS. PROVIDE ONE (1) STRINGER AT EACH SIDE, AND A MINIMUM OF TWO (2) STRINGERS BETWEEN. IN NO INSTANCE SHALL A STRINGER EXCEED 16" O.C. SPACING.

PROVIDE 5/4" HARDWOOD TREAD MATERIAL OVER 3/4" PLYWOOD STAIR TREAD. GLUE AND SCREW MATERIAL TO

PROVIDE 3/4" HARDWOOD RISER MATERIAL OVER 3/4" PLYWOOD STAIR RISER. GLUE AND SCREW MATERIAL TO

EXECUTION
STAIR CONSTRUCTION SHALL MEET THE FOLLOWING REQUIREMENTS. SEE I.R.C. SECTION R311.7.

A. THE MINIMUM STAIRWAY WIDTH SHALL NOT BE LESS THAT 36 INCHES CLEAR WIDTH. HANDRAILS MAY PROJECT INTO THE REQUIRED WIDTH A DISTANCE OF 4 1/2 INCHES FROM EACH SIDE OF A STAIRWAY. IRC 311.7.1 FOR ADDITION WIDTH REQUIREMENTS OR FOR SPIRAL, CIRCULAR, WINDING STAIRS, ETC. REQUIREMENTS SEE I.R.C. SECTION R311.7.

INCHES. THE TREAD DEPTH SHALL BE MEASURED HORIZONTALLY BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF ADJACENT TREADS. THE GREATEST RISER HEIGHT OR TREAD DEPTH SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH.

B. THE MAXIMUM STAIR RISER HEIGHT SHALL NOT EXCEED 7-3/4 INCHES AND THE MINIMUM STAIR TREAD DEPTH SHALL BE 10

C. LANDINGS: EVERY LANDING SHALL HAVE A DIMENSION NOT LESS THAN THE STAIRWAY. EVERY LANDING SHALL HAVE A MINIMUM DIMENSION OF 36 INCHES MEASURED IN THE DIRECTION OR TRAVEL. FOR LANDINGS WITH ADJOINING DOORS SEE I.R.C. SECTION R311.7.5.

D. ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH MINIMUM « INCH GYPSUM BOARD. (I.R.C. R302.7) E. HEADROOM: EVERY STAIRWAY SHALL HAVE A MINIMUM HEADROOM CLEARANCE IN ALL PARTS OF THE STAIR OF NOT LESS THAN 6 FEET 8 INCHES. SUCH CLEARANCES SHALL BE MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING

06-84 INTERIOR STANDING AND RUNNING TRIM

THE TREAD NOSING OR FROM THE FLOOR SURFACE OF THE LANDING. (I.R.C. R311.7.2)

PROFILE AS SELECTED BY INTERIOR DESIGNER. PROFILE AS SELECTED BY INTERIOR DESIGNER. COORDINATE WITH OTHER TRADES (MECHANICAL/ELECTRICAL/PLUMBING, ETC) DURING LAYOUT TO ASSIST IN LAYOUT PROFILE AS SELECTED BY INTERIOR DESIGNER CROWN MOLD: WINDOW SILL: PROFILEAS SELECTED BY INTERIOR DESIGNER. MANUFACTURER: SEE INTERIOR DESIGNER DRAWINGS. MATERIAL: SEE INTERIOR DESIGNER DRAWINGS

CUSTOM AS SELECTED COORDINATE WITH INTERIOR DRAWINGS FOR TYPE OF INTERIOR TRIM. TRIM TO BE EITHER PAINT OR STAIN GRADE

PROVIDE 12" LONG SAMPLE OF EACH FINISHED TRIM WITH SELECTED COLOR FOR APPROVAL BY ARCHITECT/INTERIOR DESIGNER AND OWNER.

ALL INTERIOR STAIR RAILING AS PER INTERIOR DESIGN DRAWINGS. AND ARE NOT INCLUDED WITHIN THE SHELL PACKAGE

INSTALL INTERIOR FINISH TRIM AS SHOWN ON INTERIOR DRAWINGS.

ALL TRIM MUST BE LEVEL AND PLUMB. 06-85 INTERIOR STAIR RAILING

OF THE BUILDING. SEE INTERIOR DESIGN PACKAGE.

HANDRAILS AND GUARDRAILS SHALL MEET FOLLOWING DESIGN LOADS. UNIFORM LOAD OF 50 LBF/ FT. APPLIED IN ANY DIRECTION. CONCENTRATED LOAD OF 200 LBF APPLIED IN ANY DIRECTION

UNIFORM LOAD OF 50 LBF/ FT. APPLIED IN ANY DIRECTION. CONCENTRATED LOAD OF 200 LBF APPLIED IN ANY DIRECTION.

UNIFORM LOAD OF 25 LBF/SQ. FT. APPLIED HORIZONTALLY.

SEE GENERAL NOTE #18 ON SHEET G002 FOR GUARDRAIL REQUIREMENTS

06-90 INTERIOR WOOD BEAMS

06-89 INTERIOR WOOD COLUMNS

ALL INTERIOR WOOD COLUMNS WORK SHALL BE SPECIFIED ON INTERIOR DESIGN DRAWINGS. COLUMNS TO BE EITHER PAINT OR STAIN GRADE. CONTRACTOR SHALL REFER TO INTERIOR DRAWINGS FOR ALL DESIGN.

PROVIDE 12" LONG SAMPLE OF EACH FINISHED TRIM WITH SELECTED COLOR FOR APPROVAL BY ARCHITECT/INTERIOR

CONCENTRATED LOAD OF 50 LBS APPLIED HORIZ. ON AN AREA OF 1 SQ. FT.

ALL INTERIOR WOOD BEAM WORK SHALL BE SPECIFIED ON INTERIOR DESIGN DRAWINGS. COLUMNS TO BE EITHER PAINT OR STAIN GRADE. CONTRACTOR SHALL REFER TO INTERIOR DRAWINGS FOR ALL DESIGN.

SEE SECTION 31-06 -DEWATERING, FOR REQUIREMENTS, SPECIFICATIONS, SUBMITTALS, ETC.

PROVIDE 12" LONG SAMPLE OF EACH FINISHED TRIM WITH SELECTED COLOR FOR APPROVAL BY ARCHITECT/INTERIOR **DIVISION 7-THERMAL AND MOISTURE PROTECTION**

07-01 SPRAY APPLIED FOUNDATION DAMP PROOFING

FOUNDATION DAMP PROOFING AS SHOWN ON DRAWINGS FOR BELOW GRADE DAMP PROOFING OF WALLS AND DAMPPROOFING SHALL BE: HENRY HD789 FIBERED ASPHALT EMULSION DAMPPROOFING

PRODUCT DATA FOR SPECIFIED PRODUCT. PROVIDE SAMPLES, WARRANTIES, ETC. FOR REVIEW/APPROVAL

BE SURE SURFACES IS CLEAN AND IN GOOD REPAIR. SURFACE MUST BE FREE OF DIRT, RESIDUES, WATER REPELLENT

ALL HOLES, CRACKS AND RECESSED JOINTS MUST BE FILLED WITH CEMENT MORTAR FOR A SMOOTH, CLEAN SURFACE.

PROVIDE TWO (2) COAT SYSTEM WITH A BASE COAT APPLIED AT A RATE OF 1.5 GAL PER 100 SQ. FT. ALLOW 24 HOURS DRYING PRIOR TO SECOND COAT APPLIED AT 2 GAL. PER 100 SQ. FT. ALLOW 48 HOURS DRYING PRIOR TO BACK FILL.

TAKE CARE DURING BACKFILL TO NOT DAMAGE DAMPPROOFING.

DO NOT APPLY BELOW 50 DEGREE AIR TEMPATURE.

MEMBRANCE MANUFACTURE TO BE

OTHER TERMINATION CONDITIONS.

TEMPERATURE IS BELOW 0 DEG F.

FOUNDATION DRAIN:

COMPOUNDS.

07-02 SPRAY APPLIED FOUNDATION WATERPROOFING RUBBERIZED-ASPHALT WATERPROOFING MEMBRANE, REINFORCED WITH MOLDED-SHEET DRAINAGE PANELS, AND INSULATION WHERE SHOWN ON DRAWINGS.

CARLISLE COATINGS & WATERPROOFING INC.: MIRADRAIN 2000 OR EQUAL FOUNDATION DRAIN:

CARLISLE COATINGS & WATERPROOFING INC.; CCW-500R OR EQUAL.

SEE SECTION 31-03 "DEWATERING" FOR REQUIREMENTS, SPECIFICATIONS, SUBMITTALS, ETC

PRODUCT DATA: FOR EACH TYPE OF PRODUCT INDICATED. SHOP DRAWINGS: SHOW LOCATIONS AND EXTENT OF WATERPROOFING. INCLUDE DETAILS FOR SUBSTRATE JOINTS AND CRACKS, SHEET FLASHINGS, PENETRATIONS, INSIDE AND OUTSIDE CORNERS, TIE-INS TO ADJOINING WATERPROOFING, AND

WARRANTY PERIOD: [FIVE] YEARS FROM DATE OF SUBSTANTIAL COMPLETION.

A FIRM THAT IS APPROVED OR LICENSED BY MANUFACTURER FOR INSTALLATION OF WATERPROOFING REQUIRED FOR THIS PROJECT AND IS ELIGIBLE TO RECEIVE SPECIAL WARRANTIES SPECIFIED. CONDUCT PRE-INSTALLATION CONFERENCE AT PROJECT SITE. APPLY WATERPROOFING WITHIN THE RANGE OF AMBIENT AND SUBSTRATE TEMPERATURES RECOMMENDED BY

WATERPROOFING MANUFACTURER. DO NOT APPLY WATERPROOFING TO A DAMP OR WET SUBSTRATE, OR WHEN

CLEAN AND PREPARE SUBSTRATES ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS. PROVIDE CLEAN, DUST-FREE, AND DRY SUBSTRATE FOR WATERPROOFING APPLICATION. REMOVE GREASE, OIL, FORM-RELEASE AGENTS, PAINTS, CURING COMPOUNDS, AND OTHER PENETRATING CONTAMINANTS OR FILM-FORMING COATINGS FROM CONCRETE. PREPARE AND TREAT SUBSTRATES TO RECEIVE WATERPROOFING MEMBRANE, INCLUDING JOINTS AND CRACKS, DECK DRAINS, CORNERS, AND PENETRATIONS ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS.

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COORDINATE WITH STRUCTURAL DRAWINGS FOR ALL HOLD DOWNS, HURRICANE TIES. 1. ALL WALLS SHALL BE STRAIGHT, AND SHALL NOT HAVE GREATER THAN 1/4" ANY BOW, DEFLECTION, IN 2. ALL WALLS SHALL BE VERTICAL PLUMB, AND SHALL NOT EXCEED 1/4" FOR EACH 10'-0" VERTICAL SECTION OR STORY OF WALL. 3. ALL HORIZONTAL SOFFIT, WINDOW HEAD SHALL BE LEVEL, AND SHALL NOT EXCEED 1/8" VARIATION WITHIN

07-45, 07-46, 07-47, 07-49, 07-50, 07-51, 07-52, 07-53,

A PERMANENT CERTIFICATE SHALL BE POSTED ON OR IN THE ELECTRICAL DISTRIBUTION PANEL LISTING THE PREDOMINANT R-VALUES OR INSULATION INSTALLED IN OR ON THE CEILING/ ROOF, WALLS, FOUNDATION SLAB, BASEMENT WALLS, CRAWL SPACE WALLS AND/OR FLOOR, AND THE DUCTS OUTSIDE THE CONDITIONED SPACE, U-FACTORS OF THE WINDOWS. THE TYPE OF HEATING AND EFFICIENCY OF HEATING AND WATER HEATING EQUIPMENT SHALL ALSO BE LISTED. (I.R.C. N1101.8)

LOCATION		TYPE	THICKNESS	R-VALUE	
SLAB ON GRADE		FOAM-IN-PLACE	2"	R-10	
INISTALL LINIDED II	EATED SLAR ON CDA	DE LOCATIONS. OWEN	IS COPNING FORMII	۸ 250	
INSIALL OINDLK II	LAILD SLAD ON GRA	DE LOCATIONS. OWEN	13 CORNING I ORIVIOL	A 230	
<u>PERIMETER OF FO</u>	<u>DUNDATION</u>	RIGID	2"	R-10	
INSTALL ON INSIE	DE FACE OF EXTERIOR	R FOUNDATION FROM 1	OP OF FOOTING TO B	OTTOM OF CONCRETE SLA	AB AT LIVING
CDACE BUIDIED	OMENIC CODVINIO EC	DIALILA DEO			

SPACE- BURIED - OWENS CORNING FO	DRMULA 250		
FLOOR INSULATION FLOOR OVER UNHEATED BASEMENT	UNFACED BATTS	VERIFY	R-30
FLOOR UNDER RADIANT HEAT	BLOWN-IN	12"	R-38
FLOOR OVER OUTSIDE OR UNHEATED AIR	BLOWN-IN	12"	R-38
WALL INSULATION AT EXTERIOR FRAMI 2X6 WOOD EXTERIOR WALLS	BLOWN-IN	5 1/2"	R-22.5
(BLOWN TO BE CERTAINTEED OPTIMA 2 X 4 WOOD FURRED-EXTERIOR WALLS		3 1/2"	R-22.75

2 X 4 WOOD FURRED-EXTERIOR WALLS CLOSED-CELL FOAM	3 1/2"		R-22
(CERTAINTEED CertaSpray with 2.0 pcf and R-value of 6.5 per inch))	0 ., _		
ROOF INSULATION			
ROOF AT SHALLOWER JOISTS:			
MULTI-LAYERS OF CONTINUOUS RIGID INSULATION WITH TOP LAYER O)F		
NAILABLE RIGID INSULATION (HUNTER H-SHEILD PANELS) PLUS			R-24
PLUS FULL DEPTH OF JOIST CAVITY			R-38
(CERTAINTEED OPTIMA BLOWN-IN BIB SYSTEM)	Ţ	=JATC	R-49
DOOE AT DEEDED TOISTS:			

ROOF AT DEEPER JOISTS: MULTI-LAYERS OF CONTINUO NAILABLE RIGID INSULATION PLUS FULL DEPTH OF JOIST CA (CERTAINTEED OPTIMA BLOW	HUNTER H-SHEILD PANEL VITY N-IN BIB SYSTEM)		R-24.5 <u>R-56.0</u> R-80.5
INTERIOR AND SPECIALITY REGINTERIOR WALLS	ANIKED INSULATION		
SOUND	BATTS	3-1/2"	R11
MECHANICAL TYPE ROOMS V	VALLS AND (CEILINGS WE	HERE APPLICABLE)	
SOUND	BATTS	5"	R19
<u>BATHROOMS</u>			
SOUND BATTS	BATTS	5 1/2" OR 3 1/2"	R-11 - R19
INSULATION BATTS			

DBL. FACED 1/2" VINYL FACED 1" STUD CAVITY WITH PLUMBING DRAIN LINES SOUND BATTS/ PLUMBING DRAIN LINE SHALL BE INSULATED IN ADDITION TO THE CAVITY OF THE STUD WALL IS LOCATED WITHIN.

R-11

Provide manufacturere data and installation instructions and recommendations for review prior to INSTALLATION.

EXECUTION FILL ALL VOIDS AS REQUIRED.

INTERIOR FLOORS/

CEILING SOUND RATING REQ'D

FILL PER MANUFACTURERS STANDARD INSTALLATION REQUIREMENTS.

PROVIDE R-25 MINIMUM CLOSED CELL INSULATION ABOVE ANY CEILING PENETRATIONS AT UNVENTED ROOF ASSEMBLIES.

07-55 ATTIC ACCESS

ATTIC ACCESS TO MEET THE FOLLOWING REQUIREMENTS. SEE I.R.C. SECTION R807.

ATTIC ACCESS OPENING SHALL BE PROVIDED TO ATTICS OF BUILDINGS WITH COMBUSTIBLE CEILING OR ROOF CONSTRUCTION THAT EXCEED 30 SQUARE FEET AND HAVE A VERTICAL HEIGHT OF 30 INCHES OR GREATER. THE OPENING SHALL BE LOCATED IN A CORRIDOR, HALLWAY OR OTHER READILY ACCESSIBLE LOCATION. THE ROUGH FRAME OPENING SHALL NOT BE LESS THAN 22 INCHES X 30 INCHES. A 30 INCH MINIMUM UNOBSTRUCTED HEADROOM IN THE ATTIC SPACE SHALL BE PROVIDED ABOVE THE OPENING. SEE I.R.C. SECTION R807. FOR ACCESS REQUIREMENTS WHERE MECHANICAL EQUIPMENT IS LOCATED IN ATTICS SEE I.R.C. SECTION M1305.1.3

07-66 BUILDING WEATHER AND VAPOR BARRIER

BEYOND CORNER TO OVERLAP.

WEATHER BARRIER MEMBRANE; DUPONT -TYVEK- HOMEWRAP OR EQUAL DUPONT- TYVEK TAPE OR EQUAL SEAM TAPE DUPONT- FLEXWRAP OR EQUAL

COORDINATE WITH MANUFACTURES STANDARDS FOR INSTALLATION. REVIEW REQUIREMENTS FOR SEQUENCING OF INSTALLATION OF WEATHER BARRIER ASSEMBLY WITH INSTALLATION OF

WINDOWS, DOORS, LOUVERS AND FLASHINGS TO PROVIDE A WEATHER-TIGHT BARRIER ASSEMBLY. VERIFY SUBSTRATE AND SURFACE CONDITIONS ARE IN ACCORDANCE WITH WEATHER BARRIER MANUFACTURER RECOMMENDED TOLERANCES PRIOR TO INSTALLATION OF WEATHER BARRIER AND ACCESSORIES.

INSTALL WEATHER BARRIER OVER EXTERIOR FACE OF EXTERIOR WALL SUBSTRATE IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS.

START WEATHER BARRIER INSTALLATION AT A BUILDING CORNER, LEAVING 6-12 INCHES OF WEATHER BARRIER EXTENDED

INSTALL WEATHER BARRIER IN A HORIZONTAL MANNER STARTING AT THE LOWER PORTION OF THE WALL SURFACE. MAINTAIN WEATHER BARRIER PLUMB AND LEVEL.

EXTEND BOTTOM ROLL EDGE OVER SILL PLATE INTERFACE 2" TO 3" MINIMUM, SEAL WEATHER BARRIER WITH SEALANT OR TAPE. SHINGLE WEATHER BARRIER OVER BACK EDGE OF THRU-WALL FLASHINGS AND SEAL WEATHER BARRIER WITH SEALANT

OR TAPE. ENSURE WEEPS ARE NOT BLOCKED. SUBSEQUENT LAYERS SHALL OVERLAP LOWER LAYERS A MINIMUM OF 6 INCHES HORIZONTALLY IN A SHINGLING MANNER

WINDOW AND DOOR OPENINGS: EXTEND WEATHER BARRIER COMPLETELY OVER OPENINGS.

ATTACH WEATHER BARRIER TO STUDS THROUGH EXTERIOR SHEATHING. SECURE USING WEATHER BARRIER MANUFACTURER RECOMMENDED FASTENERS, SPACED 12 -18 INCHES VERTICALLY ON CENTER ALONG STUD LINE, AND 24 INCH ON CENTER, MAXIMUM HORIZONTALLY.

ATTACH WEATHER BARRIER TO MASONRY. SECURE USING WEATHER BARRIER MANUFACTURER RECOMMENDED FASTENERS, SPACED 12 -18 INCHES VERTICALLY ON CENTER AND 24 INCHES MAXIMUM HORIZONTALLY. WEATHER BARRIER MAY BE TEMPORARILY ATTACHED TO MASONRY USING RECOMMENDED ADHESIVE, PLACED IN VERTICAL STRIPS SPACED 24 INCHES ON CENTER, WHEN COORDINATED ON THE PROJECT SITE. USE CLADDING FASTENERS AS PERMANENT MEANS OF

SEAL SEAMS OF WEATHER BARRIER WITH SEAM TAPE AT ALL VERTICAL AND HORIZONTAL OVERLAPPING SEAMS.

07-133 WOOD SIDING

HORIZONTAL SIDING: 1X4 SHIP-LAP-JOINTED (WITH 1/4" REVEAL) HORIZONTAL SIDING. TO BE CLEAR CEDAR STAINED SEMI-TRANSPARENT WITH SHERMAN WILLIAMS OR EQUAL. COLOR- "CEDAR BARK".

VERTICAL SIDING: 1X8 SHIP-LAP-JOINTED (WITH 1/8" REVEAL) VERTICAL SIDING. TO BE CLEAR SEDAR STAINED SEMI-TRANSPARENT WITH SHERMAN WILLIAMS OR EQUAL, COLOR-"CROSSROADS".

PROVIDE 12" X 12" SAMPLE OF EACH SIDING SPECIFIED WITH COLOR SPECIFIED.

examine substrates for compliance with requirements for installation tolerances and other conditions AFFECTING PERFORMANCE OF SIDING AND RELATED ACCESSORIES, AND PROCEED WITH INSTALLATION ONLY AFTER UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. AS FOR THE VERTICAL SIDING PROVIDE HORIZONTAL BLOCKING AT ALL LOCATION AS REQUIRED BY MNFR. RECOMMENDATIONS

INSTALL EXTERIOR SIDING FINISH OVER EXTERIOR WALL VENTILATION MATRIX OVER BUILDING WEATHER BARRIER AS PER MANUFACTURE SPECIFICATIONS AND INDUSTRY STANDARDS. SEE STRUCTURAL NOTES FOR DIAPHRAGM NAILING, HURRICANE TIE HOLD-DOWNS.

CLEAN FINISHED SURFACES ACCORDING TO MANUFACTURER'S WRITTEN INSTRUCTIONS AND MAINTAIN IN A CLEAN CONDITION DURING CONSTRUCTION.

COORDINATE WORK WITH RELATED TRADES; SCRIBE AND COPE SIDING BOARDS FOR ACCURATE FIT. ALLOW INSTALLATION ANCHOR SHEET METAL FLASHING AND TRIM AND OTHER COMPONENTS OF THE WORK SECURELY IN PLACE, WITH OF RELATED WORK TO AVOID CUTTING AND PATCHING.

SELECT SIDING BOARDS OF LONGEST POSSIBLE LENGTHS. DISCARD BOARDS THAT ARE WARPED, TWISTED, BOWED, CROOKED OR OTHERWISE DEFECTIVE.

INSTALLATION MUST COMPLY WITH LOCAL BUILDING CODES AND REGULATIONS.

FINISH MATERIALS ON ALL SIDES AND ENDS. APPLY TOUCH UP COATING ON NEW CUTS. FACTORY PRIMED OR FINISHING IS PREFERRED.

EXPLAIN PROPER MAINTENANCE PROCEDURES TO OWNER OR OWNER'S REPRESENTATIVE AT PROJECT CLOSEOUT. THE USE OF PRESSURE WASHERS IS NOT RECOMMENDED.

07-155 SINGLE-PLY TPO DECK MEMBRANE

PROVIDE INSTALLED ROOFING MEMBRANE AND FLASHINGS THAT REMAIN WATERTIGHT; DO NOT PERMIT THE PASSAGE OF WATER; AND RESIST SPECIFIED UPLIFT PRESSURES, THERMALLY INDUCED MOVEMENT AND EXPOSURE TO WEATHER WITHOUT

PROVIDE ROOFING MATERIALS THAT ARE COMPATIBLE WITH ONE ANOTHER UNDER SERVICE AND APPLICATION REQUIRED, AS DEMONSTRATED BY ROOFING MEMBRANE MANUFACTURER BASED ON TESTING AND FIELD EXPERIENCE. ROOF SYSTEM DESIGNED AND SUCCESSFULLY TESTED BY A QUALIFIED TESTING AND INSPECTING AGENCY TO WITHSTAND UPLIFT FORCES AS CALCULATED USING THE CURRENT VERSION OF ASCE 7.

ROOF SYSTEM WILL ACHIEVE A UL FIRE RATING WHEN TESTED IN ACCORDANCE WITH UL-790 AS REQUIRED BY LOCAL BUILDING CODE. MINIMUM RATING SHALL BE A UL CLASS B RATING. PROVIDE A ROOF SYSTEM WITH POSITIVE DRAINAGE WHERE ALL STANDING WATER DISSIPATES AFTER PRECIPITATION

BUILDING CODES: ROOF SYSTEM WILL MEET THE REQUIREMENTS OF ALL FEDERAL, STATE AND LOCAL CODE BODIES

MANUFACTURER WITH A MINIMUM OF TEN YEARS EXPERIENCE IN THE MANUFACTURING OF SINGLE-PLY HEAT WELDABLE

ROOFING CONTRACTOR SHALL BE AUTHORIZED BY ROOFING SYSTEM MANUFACTURER TO INSTALL ASSEMBLY. PROVIDE LETTER ON MANUFACTURER'S LETTERHEAD OF AUTHORIZED STATUS OF CONTRACTOR.

PROVIDE ROOFING SYSTEM THAT IS LISTED ON THE DOE'S ENERGY STAR "ROOF PRODUCTS QUALIFIED PRODUCT LIST" FOR LOW-SLOPE ROOF APPLICATIONS. A MANUFACTURER'S REPRESENTATIVE SHALL INSPECT THE INSTALLATION FOR COMPLIANCE WITH MANUFACTURER'S TANDARDS UPON COMPLETION OF THE ROOFING SYSTEM. DEVIATIONS OR CHANGES FROM THE CONTRACT

SPECIFICATION SHALL HAVE WRITTEN APPROVAL FROM THE ROOFING MANUFACTURER, FOR PRESENTATION TO TANDARD TOTAL SYSTEM WARRANTY SHALL BE ISSUED UPON ACCEPTANCE OF THE ROOFING SYSTEM INSTALLATION.

TWENTY (20) YEAR PERIOD THAT COVERS WIND DAMAGE UP TO 70 MPH.

ACCEPTABLE MANUFACTURER: FIBERTITE, DOW ROOFING SYSTEMS, CARLILE ROOFING, OR APPROVED EQUAL REQUESTS FOR SUBSTITUTIONS WILL BE CONSIDERED IN ACCORDANCE WITH PROVISIONS OF SUBSTITUTION MATERIALS. ROOFING MEMBRANE SHALL BE MANUFACTURED WITH THE FOLLOWING PROPERTIES:

B. MEMBRANE THICKNESS: 30 MI C. COLOR: ENERGY EFFICIENT GREY

D. FLASHINGS MEMBRANE: SHALL 0.060 INCH (1.52MM) THICK REINFORCED MEMBRANE FOR WALLS AND CURBS REGARDLESS OF ROOF COVER SHEET THICKNESS. SHALL BE .060 INCH (1.52 MM)-THICK UNSUPPORTED MEMBRANE FOR FIELD-FABRICATED DETAILS USED FOR MAKING FIELD FLASHINGS THAT REQUIRE HIGHER EXTENSIBILITY THAN IS ALLOWED WITH SCRIM-REINFORCED MEMBRANE E. COVER BOARD: DENSDECK ROOF BOARDS: G-P GYPSUM CORPORATION 1/2 INCH (12 MM) DENSDECK ROOF BOARD. GLASS MAT FACED GYPSUM WITH SPECIALLY TREATED GYPSUM CORE THAT RESISTS MOISTURE AND MOLD GROWTH.

PRODUCT DATA;, INCLUDING:MANUFACTURER'S DATA SHEETS ON EACH PRODUCT TO BE USED; PREPARATION INSTRUCTIONS AND RECOMMENDATIONS; STORAGE AND HANDLING REQUIREMENTS AND RECOMMENDATIONS; AND

INSTALLATION METHODS. SAMPLES FOR VERIFICATION FOR THE FOLLOWING PRODUCTS INCLUDING; MANUFACTURER'S STANDARD SAMPLE SIZE OF SHEET ROOFING OF COLOR SPECIFIED; MANUFACTURER'S STANDARD SAMPLE SIZE OF ROOF INSULATION;

MANUFACTURER'S STANDARD SAMPLE SIZE OF WALKWAY PADS OR ROLLS. SHOP DRAWINGS INCLUDING OUTLINE AND SIZE OF THE ROOF, LOCATION AND TYPE OF PENETRATIONS, PERIMETER AND PENETRATION FLASHING DETAIL REFERENCES TO MANUFACTURE'S STANDARD. DETAILS WHICH DO NOT CONFORM TO ROOFING MANUFACTURER'S STANDARDS SHALL BE IDENTIFIED WITH SEPARATE APPROVAL FROM ROOFING

SUBMIT WARRANTY CERTIFICATION FROM MANUFACTURER OF APPROVAL OF PROJECT DESIGN AND INTENT TO ISSUE WARRANTY, AND FASTENER PULL TESTS FROM AN INDEPENDENT TESTING AGENCY SHALL BE APPROVED BY THE ROOFING MANUFACTURER.

MANUFACTURER. DETAILS TO BE EMPLOYED ON THE PROJECT SHALL BE APPROVED BY ROOFING MANUFACTURER.

OO NOT BEGIN INSTALLATION UNTIL SUBSTRATES HAVE BEEN PROPERLY PREPARED. NAILERS AND BLOCKING SHALL BE INSTALLED LEVEL. TRUE TO LINE AND ELEVATION, SECURED TO ROOF STRUCTURE TO RESIST ROOF INSTALLATION AND SERVICE CONDITIONS. IF SUBSTRATE PREPARATION IS THE RESPONSIBILITY OF ANOTHER INSTALLER, NOTIFY ARCHITECT OF UNSATISFACTORY PREPARATION BEFORE PROCEEDING. SURFACES TO BE BONDED SHALL BE DRY, CLEAN AND FREE OF DEBRIS. SUITABLE SURFACES ARE USUALLY CONSIDERED TO BE SMOOTH: SOLID MASONRY, WOOD AND METAL, PLUS INSULATION BOARDS FASTENED PER THE SPECIFIC MANUFACTURER'S RECOMMENDATIONS FOR RECEIVING ADHERED ROOFING MEMBRANES.

all fasteners should be installed with a depth-sensing screw gun to prevent over driving or under DRIVING. BLOCK OFF OR SHUT DOWN POSITIVE PRESSURE BUILDING VENTILATION SYSTEMS DURING APPLICATION TO PREVENT SHEET FROM BILLOWING DURING APPLICATION.

VERIFY ALL ROOFTOP MECHANICAL UNITS ARE TO HAVE THEIR CONDENSATION LINES PIPED TO DRAINS, OR OFF THE ROOF PLYWOOD MUST BE EXTERIOR GRADE WITH AN A OR B FINISH SIDE UP AND WITH NO JOINTS GAPPED GREATER THAN 1/4 INCH, AND PREPARE SURFACES USING THE METHODS RECOMMENDED BY THE MANUFACTURER FOR ACHIEVING THE BEST RESULT FOR THE SUBSTRATE UNDER THE PROJECT CONDITIONS.

PROVIDE TEMPORARY BALLAST IN PARTIALLY COMPLETED SECTIONS TO CONTROL WIND EFFECTS DURING CONSTRUCTION

07-164 METAL SHEET BATTEN-SEAM ROOFING 07-164 METAL SHEET BATTEN-SEAM ROOFING

GENERAL/PRODUCIS ARCHITECTURAL METAL ROOFING: BONDERIZED METAL MBCI- MANUFACTURE COLOR- TO MATCH BENJAMIN MOORE HC-167 "AMHERST GRAY". DETAILS- CRAFTSMAN SERIES SB

SECONDARY ROOFING MEMBRANE - GRACE ICE & WATER SHIELD HT

SAMPLES FOR VERIFICATION OF SHINGLE SIZE AND COLOR WARRANTIES: SAMPLE OF SPECIAL WARRANTIES.

ROOFING AND RELATED ITEMS TO BE INSTALLED AS PER MANUFACTURER

ROOFING TO BE INSTALLED OVER SECONDARY ROOFING MEMBRANE (ENTIRE ROOFING SURFACE) ROOFING SYSTEM TO BE INSTALLED OVER EXTERIOR GRADE A.P.A. RATED SHEATHING (RUN PERPENDICULA RAFTERS) OVER ROOF FRAMING AS PER STRUCTURAL PLANS.

SEE STRUCTURAL NOTES FOR DIAPHRAGM NAILING, HURRICANE TIE HOLD-DOWNS.

07-170, 171, 172, 173, 174, 175, 176, SHEET METAL FLASHING AND TRIM

APPROVED CORROSION RESISTANT FLASHING SHALL BE PROVIDED IN THE EXTERIOR WALL ENVELOPE IN SUCH A MANNER AS TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER TO THE BUILDING STRUCTURAL FRAMING COMPONENTS.

> DRIP METAL WINDOW HEAD FLASHING DOOR HEAD FLASHING TRANSITIONAL FLASHING

SHOW INSTALLATION LAYOUTS OF SHEFT METAL FLASHING AND TRIM, INCLUDING PLANS, FLEVATIONS, EXPANSION-JOINT LOCATIONS, AND KEYED DETAILS. DISTINGUISH BETWEEN SHOP- AND FIELD-ASSEMBLED WORK.

INCLUDE DETAILS FOR FORMING, JOINING, SUPPORTING, AND SECURING SHEET METAL FLASHING AND TRIM, INCLUDING PATTERN OF SEAMS, TERMINATION POINTS, FIXED POINTS, EXPANSION JOINTS, EXPANSION-JOINT COVERS, EDGE CONDITIONS, SPECIAL CONDITIONS, AND CONNECTIONS TO ADJOINING WORK.

SELF-ADHERING, HIGH-TEMPERATURE SHEET: MINIMUM 30 TO 40 MILS THICK, CONSISTING OF SLIP-RESISTING POLYETHYLENE-FILM TOP SURFACE LAMINATED TO LAYER OF BUTYL OR SBS-MODIFIED ASPHALT ADHESIVE, WITH RELEASE-PAPER BACKING; COLD APPLIED.

SLIP SHEET: BUILDING PAPER, 3-LB/100 SQ. FT. MINIMUM, ROSIN SIZED.

MINIMUM EXPOSURE OF SOLDER, WELDS, AND SEALANT.

PROVISIONS FOR THERMAL AND STRUCTURAL MOVEMENT SO THAT COMPLETED SHEET METAL FLASHING AND TRIM SHALL NOT RATTLE, LEAK, OR LOOSEN, AND SHALL REMAIN WATERTIGHT. USE FASTENERS, SOLDER, WELDING RODS, PROTECTIVE COATINGS, SEPARATORS, SEALANTS, AND OTHER MISCELLANEOUS ITEMS AS REQUIRED TO COMPLETE SHEET METAL FLASHING AND TRIM SYSTEM. INSTALL SHEET METAL FLASHING AND TRIM TRUE TO LINE AND LEVELS INDICATED. PROVIDE UNIFORM, NEAT SEAMS WITH

INSTALL SHEET METAL FLASHING AND TRIM TO FIT SUBSTRATES AND TO RESULT IN WATERTIGHT PERFORMANCE. VERIFY SHAPES AND DIMENSIONS OF SURFACES TO BE COVERED BEFORE FABRICATING SHEET METAL.

SPACE CLEATS NOT MORE THAN 12 INCHES APART. ANCHOR EACH CLEAT WITH TWO FASTENERS. BEND TABS OVER

INSTALL EXPOSED SHEET METAL FLASHING AND TRIM WITHOUT EXCESSIVE OIL CANNING, BUCKLING, AND TOOL MARKS. WHERE DISSIMILAR METALS WILL CONTACT EACH OTHER OR CORROSIVE SUBSTRATES, PROTECT AGAINST GALVANIC ACTION BY PAINTING CONTACT SURFACES WITH BITUMINOUS COATING OR BY OTHER PERMANENT SEPARATION AS RECOMMENDED BY SMACNA.

PROVIDE FOR THERMAL EXPANSION OF EXPOSED FLASHING AND TRIM.

MATERIAL AROUND THE PERIMETER OF THE OPENING, INCLUDING CORNERS.

SEAL JOINTS AS SHOWN AND AS REQUIRED FOR WATERTIGHT CONSTRUCTION.RETAIN FIRST PARAGRAPH BELOW FOR METALLIC-COATED STEEL AND COPPER ROOFING, UNLESS THE METAL IS PAINTED OR COATED.

CLEAN EXPOSED METAL SURFACES OF SUBSTANCES THAT INTERFERE WITH UNIFORM OXIDATION AND WEATHERING.

APPROVED FLASHING SHALL BE INSTALLED AT THE FOLLOWING LOCATIONS BUT NOT LIMITED TO. SEE I.R.C. SECTION AT THE TOP OF ALL EXTERIOR WINDOW AND DOOR OPENINGS IN SUCH A MANNER AS TO BE LEAK PROOF. AN EXCEPTION

FOR SELF-FLASHING WINDOWS HAVING A CONTINUOUS LAP OF NOT LESS THAN 1 1/8 INCH OVER THE SHEATHING

AT THE INTERSECTION OF CHIMNEYS OR OTHER MASONRY CONSTRUCTION WITH FRAME OR STUCCO WALLS, WITH PROJECTING LIPS ON BOTH SIDES UNDER STUCCO COPINGS.

AT THE INTERSECTION OF CHIMNEYS OR OTHER MASONRY CONSTRUCTION WITH FRAME OR STUCCO WALLS, WITH PROJECTING LIPS ON BOTH SIDES UNDER STUCCO COPINGS.

UNDER AND AT THE ENDS OF MASONRY, WOOD OR METAL COPINGS AND SILLS. CONTINUOUSLY ABOVE ALL PROJECTING WOOD TRIMS.

WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD FRAME CONSTRUCTION, AND AT WALL AND ROOF INTERSECTIONS AND AT BUILT-IN GUTTERS.

07-183 METAL GUTTERS/DOWNSPOUTS

GUTTERS SHALL BE: SQUARE AS PER DETAILS DOWNSPOUTS SHALL BE: ROUND DOWNSPOUTS.

PROVIDE 12" LONG SAMPLE OF EACH DOWNSPOUT AND GUTTER IN MATERIAL SPECIFIED. (ELECTRICAL CONTRACTOR TO PROVIDE SPECIFICATION OF HEAT TAPE WITH VOLTAGE FOR HEAT TAPE AT CHAIN AT

PRE-FINISHED ALUM. COLOR TO MATCH METAL ROOFING.

INSTALL AT LOCATIONS SHOWN ON PLANS.

METAL FINISH

ALL GUTTERS SHALL SLOPE A MINIMUM OF 1/8" PER FOOT FOR DRAINAGE TO DOWNSPOUTS

FABRICATE HANGING GUTTER TO CROSS SECTION INDICATED, COMPLETE WITH END PIECES, OUTLET TUBES, AND OTHER ACCESSORIES AS REQUIRED. FABRICATE IN CONTINUOUS SECTIONS BETWEEN CORNERS. FABRICATE EXPANSION JOINTS, EXPANSION-JOINT COVERS AND GUTTER ACCESSORIES FROM SAME METAL AS GUTTERS.

JOIN SECTIONS WITH RIVETED AND SOLDERED JOINTS OR WITH LAPPED JOINTS SEALED WITH SEALANT. PROVIDE FOR THERMAL EXPANSION. ATTACH GUTTERS AT EAVE OR FASCIA TO FIRMLY ANCHORED GUTTER BRACKETS SPACED NOT MORE THAN 36 INCHES APART. PROVIDE END CLOSURES AND SEAL WATERTIGHT WITH SEALANT. SLOPE TO

FABRICATE RECTANGULAR DOWNSPOUTS COMPLETE WITH MITERED ELBOWS. FURNISH WITH METAL HANGERS, FROM SAME MATERIAL AS DOWNSPOUTS, AND ANCHORS

JOIN DOWNSPOUT SECTIONS WITH 1-1/2-INCH TELESCOPING JOINTS. PROVIDE HANGERS WITH FASTENERS DESIGNED TO HOLD DOWNSPOUTS SECURELY TO WALLS. LOCATE HANGERS AT TOP AND BOTTOM AND AT APPROXIMATELY 60 INCHES O.C. IN BETWEEN.

07-211, 07-212, 07-213, 07-214, 07-215, 07-216, 07-217

PROVIDE ELASTOMERIC JOINT SEALANTS THAT ESTABLISH AND MAINTAIN WATERTIGHT AND AIRTIGHT CONTINUOUS JOINT GLAZED. SEALS WITHOUT STAINING OR DETERIORATING JOINT SUBSTRATES.

PROVIDE JOINT SEALANTS FOR INTERIOR APPLICATIONS THAT ESTABLISH AND MAINTAIN AIRTIGHT AND WATER-RESISTANT

PROVIDE JOINT SEALANTS, BACKINGS, AND OTHER RELATED MATERIALS THAT ARE COMPATIBLE WITH ONE ANOTHER AND SURFACE. WITH JOINT SUBSTRATES UNDER CONDITIONS OF SERVICE AND APPLICATION, AS DEMONSTRATED BY SEALANT MANUFACTURER, BASED ON TESTING AND FIELD EXPERIENCE.

CONTINUOUS JOINT SEALS WITHOUT STAINING OR DETERIORATING JOINT SUBSTRATES.

CLEAN OUT JOINTS IMMEDIATELY BEFORE INSTALLING JOINT SEALANTS

REMOVE ALL FOREIGN MATERIAL FROM JOINT SUBSTRATES THAT COULD INTERFERE WITH ADHESION OF JOINT SEALANT PROVIDE CAULKING AT INTERIOR AND EXTERIOR AT ALL JOINTS BETWEEN DISSIMILAR MATERIALS WITH A CONTINUOUS

SILICONE SEALANT SHOULD NOT BE USED ON EXTERIOR JOINTS - ONLY POLYURETHANE OR POLYSULFIDE SEALANTS. BUTYL SEALANTS SHOULD BE USED BETWEEN METAL LAPS WHERE MOVEMENT IS ANTICIPATED.

DIVISION 8-OPENINGS

08-25 EXTERIOR WOOD DOOR

SEE DOOR SCHEDULE FOR ALL SIZES, STYLES, AND OPERATION. CUSTOM ENTRY DOOR- BY MILL SELECTED **SPECIES** SHERWIN WILLIAMS SEMI-TRANSPARENT, "CROSSROADS" COLOR

VERIFY ALL DOOR ROUGH OPENINGS BEFORE ORDERING

PROVIDE WARRANTY INFORMATION FOR GLAZING, WOOD COMPONENTS, HARDWARE, CLADDING, AND EXTERIOR PAINT PROVIDE EUROPEAN STYLE MOUNTING, TYPICAL FINISH (ADHESION, CHALK, AND FADE)

PROVIDE SHOP DRAWINGS SHOWING EACH DOOR, HARDWARE, OPERATIONS, SPECIFIED ON DRAWINGS

ALL DOORS SHALL BE INSTALLED PER MANUFACTURES STANDARD INSTALLATION REQUIRMENTS.

ALL DOORS SHALL BE INSTALLED TRUE AND PLUMB AND SHALL OPERATE. ADJUST ALL DOORS FOR OPERATIONS AS

OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOOR NOT LESS THAN 1 3/8 INCH IN THICKNESS, SOLID OR HONEY COMB CORE STEEL DOORS NOT LESS THAN 1 3/8 INCHES THICK, OR 20 MINUTE FIRE RATED DOORS. SEE IRC 302.5.

08-26 INTERIOR WOOD DOOR

APPROVED BY ARCHITECT/OWNER.

SEE DOOR SCHEDULE FOR ALL SIZES, STYLES, AND OPERATION. AS SELECTED BY BIDDING MANUF. SPECIES: SEE INTERIOR DESIGN DRAWINGS CUSTOM STAIN BY INTERIOR DESIGNER

VERIFY ALL DOOR ROUGH OPENINGS BEFORE ORDERING

FINISH (ADHESION, CHALK, AND FADE)

PROVIDE SHOP DRAWINGS SHOWING EACH DOOR, HARDWARE, OPERATIONS, SPECIFIED ON DRAWINGS

all doors shall be installed per manufactures standard installation requirments. ALL DOORS SHALL BE INSTALLED TRUE AND PLUMB AND SHALL OPERATE. ADJUST ALL DOORS FOR OPERATIONS AS

APPROVED BY ARCHITECT/OWNER. OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOOR NOT LESS THAN 1 3/8

INCH IN THICKNESS, SOLID OR HONEY COMB CORE STEEL DOORS NOT LESS THAN 1 3/8 INCHES THICK, OR 20 MINUTE FIRE

RATED DOORS. SEE IRC 302.5. 08-39 EXTRUDED ALUMINUM WOOD SLIDING DOORS

SEE WINDOW SCHEDULE FOR ALL SIZES AND OPERATION.

LOEWEN, WINDSOR, JELD-WEN, KOLBE, MARVIN, WINDOW MANUFACTURER: WINDOW STYLE SHALL BE: AS SHOWN ON DRAWINGS PROVIDE SCREENS AND HARDWARE FOR ALL OPERABLE UNITS. COLOR OF SCREENS TO BE: AS DETERMINED BY ARCHITECT.

PROVIDE DOUBLE PANE INSULATED LOW "E" GLAZING UNLESS NOTED OTHERWISE. CONTRACTOR TO COORDINATE WITH ENERGY CODE SUBMITTAL FOR U VALUES. GLAZING SHALL BE CARDINAL 365 GLAZING - NO EXCEPTION

PROVIDE SPACER BARS WHERE SDL'S ARE USED

ALL FIXED GLAZING TO BE SASH SET HARDWARE TO HAVE MULTI-POINT LOCKING SYSTEM

WOOD WINDOWS WITH EXTRUDED ALUMINUM CLAD EXTERIOR BOTH FRAME AND SASH- NO EXCEPTIONS. EXTERIOR CLAD PAINT FINISH TO MEET AAMA 2605 SPECIFICATIONS (70% KYNAR) COLOR AS PER OWNER AND ARCHITECT

BASEMENTS WITH HABITABLE SPACES SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE WINDOW OR DOOR OR ACCESS TO AN ADJOINING BEDROOM WITH AN EMERGENCY ESCAPE AND RESCUE WINDOW.BASEMENTS WITH SLEEPING ROOMS SHALL EACH HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE WINDOW OR

VERIFY ALL WINDOW ROUGH OPENINGS BEFORE ORDERING

OPERATIONAL REQUIREMENTS.

INSTALLATION IS COMPLETE.

THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24"

VERIFY THAT WINDOWS WILL MEET LIGHT, VENTILATION, AND EGRESS REQUIREMENTS (IRC R303 & R310)

MINIMUM OPENING AREA FOR ALL WINDOWS IN BEDROOMS OR EMERGENCY SHALL HAVE A 5.75 SQ. FT OF

THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20" THE ESCAPE AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS, TOOLS OR SPECIAL KNOWLEDGE, EXCEPT GROUND FLOOR, NET CLEAR OPENING AREA OF 5.0 SQUARE FEET. R310.1.1 TO R310.1.4. WINDOW SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR. OPENINGS WITH A FINISHED SILL HEIGHT BELOW THE ADJACENT GROUND ELEVATION SHALL BE PROVIDED WITH A WINDOW WELL. R310.1.

PROVIDE WARRANTY INFORMATION FOR GLAZING, HARDWARE, CLADDING, AND EXTERIOR PAINT FINISH (ADHESION, CHALK, AND FADE) PROVIDE SHOP DRAWINGS SHOWING EACH WINDOW FOR VERIFICATION OF SIZE SPECIFIED ON DRAWINGS AND

INSTALL DRIP FLASHING OVER HEADS OF ALL WINDOWS AT EXTERIOR (IRC R703.8) INSTALL FOAM INJECTED INSULATION SEALER AT ALL SHIM CAVITITIES INSTALLATION SHALL BE PER MANUFACTURES SPECIFICATION, AND SHALL BE REVIEWED BY WINDOW SUPPLIER AFTER

PROVIDE TEMPERED GLASS AS REQUIRED (IRC R308) A. SAFETY GLAZING SHALL BE INSTALLED IN HAZARDOUS LOCATIONS AND SHALL MEET THE FOLLOWING

MANUFACTURER, DESIGNATING THE TYPE, THICKNESS, AND SAFETY GLAZING STANDARD. THE LABEL ACID ETCHED, SANDBLASTED, CERAMIC FIRED OR EMBOSSED ON GLASS AND BE VISIBLE WHEN THE UNIT IS C. PROVIDE SAFETY GLAZING IN ALL DOORS INCLUDING SIDE HINGED DOORS, SLIDING DOORS, SLIDING

PANELS, BIFOLD DOORS, STORM DOORS, FIXED OR OPERABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST

EXPOSED EDGE OF THE GLAZING IS WITHIN A 24 INCH ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED

B. EACH PANE OF GLASS INSTALLED IN HAZARDOUS LOCATIONS SHALL BE PERMANENTLY IDENTIFIED BY

POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING D. PROVIDE SAFETY GLAZING IN WALLS ENCLOSING STAIRWAY LANDINGS OR WITHIN 36 INCHES OF THE TOP OR BOTTOM OF STAIRWAYS WHERE THE BOTTOM EDGE OF THE GLASS IS LESS THAN 60 INCHES ABOVE THE

WALKING SURFACE. E. PROVIDE SAFETY GLAZING IN DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS. GLAZING IN ANY PORTION OF A BUILDING WALL ENCLOSING THESE COMPARTMENTS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE A

STANDING OR WALKING SURFACE. F. PROVIDE SAFETY GLAZING IN RAILINGS REGARDLESS OF AN AREA OR HEIGHT.

G. PROVIDE SAFETY GLAZING IN WALLS AND FENCES ENCLOSING SWIMMING POOLS OR HOT TUBS. WHERE THE BOTTOM EDGE OF THE POOL OR SPA GLASS IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE.

H. PROVIDE SAFETY GLAZING IN FIXED OR OPERABLE PANELS THAT MEETS ALL OF THE FOLLOWING CONDITIONS: AREAS GREATER THAN 9 SQUARE FEET, BOTTOM EDGE LESS THAN 18 INCHES ABOVE THE FLOOR, TOP EDGE GREATER THAN 36 INCHES ABOVE FLOOR, AND WITHIN 36 INCHES OF WALKING SURFACE.

08-67 OVERHEAD SECTIONAL DOOR

SEE DOOR SCHEDULE FOR ALL SIZES AND OPERATION. DOOR MANUFACTURER: DOOR STYLE SHALL BE: AS SHOWN ON DRAWINGS COLOR: SHERMAN WILLIAMS SEMI-TRANSPARENT, "CROSSROADS"

VERIFY ALL DOOR ROUGH OPENINGS BEFORE ORDERING

PROVIDE WARRANTY INFORMATION FOR GLAZING, WOOD COMPONENTS, HARDWARE, CLADDING, AND EXTERIOR PAINT

PROVIDE SHOP DRAWINGS SHOWING EACH DOOR, HARDWARE, OPERATIONS, SPECIFIED ON DRAWINGS

INSTALL PER MANUFACTURER RECOMMENDED INSTALLATION PROCEDURES, CONTRACTOR SHALL COORDINATE ALL SUB CONTRACTORS TO MEET THESE REQUIREMENTS.

08-118 SHOWER DOOR

TEMPERED OR LAMINATED SAFETY GLASS FOR SHOWER DOORS OR SHOWER ENCLOSURES. SHOWER ENCLOSURES TO BE: EUROPEAN STYLE ALUMINUM FRAMED SHOWER ENCLOSURE

PROVIDE SAMPLES: 12-INCH SQUARE, FOR EACH TYPE OF GLASS PRODUCT INDICATED.

PROVIDE GLAZING SCHEDULE: USE SAME DESIGNATIONS INDICATED ON DRAWINGS.

INSTALL DOORS TO SWING OUTWARD, TYPICAL, (2006 IRC R308 P2708.1)

08-132 EXTRUDED ALUMINUM CLAD WOOD WINDOWS

GENERAL/PRODUCTS SEE WINDOW SCHEDULE FOR ALL SIZES AND OPERATION. WINDOW MANUFACTURER: LOEWEN, WINDSOR, JELD-WEN, KOLBE

WINDOW STYLE SHALL BE: AS SHOWN ON DRAWINGS.

PROVIDE SCREENS AND HARDWARE FOR ALL OPERABLE UNITS. PROVIDE DOUBLE PANE INSULATED LOW "E" GLAZING UNLESS NOTED OTHERWISE. CONTRACTOR TO COORDINATE WITH CEILINGS TO HAVE A SMOOTH LEVEL 4 FINISH. ENERGY CODE SUBMITTAL FOR U VALUES (U=0.30 AND SHGC=0.25 FOR WINDOWS OF GREAT ROOMS, UNLESS NOTED

PROVIDE SPACER BARS WHERE SDL'S ARE USED

ALL FIXED GLAZING TO BE SASH SET

(70% KYNAR) COLOR AS PER OWNER AND ARCHITECT

HARDWARE TO HAVE MULTI-POINT LOCKING SYSTEM WOOD WINDOWS WITH ALUMINUM CLAD EXTERIOR. EXTERIOR CLAD PAINT FINISH TO MEET AAMA 2605 SPECIFICATIONS

BASEMENTS WITH HABITABLE SPACES SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE WINDOW OR PROVIDE WARRANTY INFORMATION FOR GLAZING, WOOD COMPONENTS, HARDWARE, CLADDING, AND EXTERIOR PAINT DOOR OR ACCESS TO AN ADJOINING BEDROOM WITH AN EMERGENCY ESCAPE AND RESCUE WINDOW. BASEMENTS WITH SLEEPING ROOMS SHALL EACH HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE WINDOW OR DOOR.

VERIFY ALL WINDOW ROUGH OPENINGS BEFORE ORDERING

VERIFY THAT WINDOWS WILL MEET LIGHT, VENTILATION, AND EGRESS REQUIREMENTS (IRC R303 & R310) 1.MINIMUM OPENING AREA FOR ALL WINDOWS IN BEDROOMS OR EMERGENCY SHALL HAVE A 5.75 SQ. FT OF

2.THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24".

3.THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20". 4.THE ESCAPE AND RESCUE OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS, TOOLS OR SPECIAL KNOWLEDGE, EXCEPT GROUND FLOOR, NET CLEAR OPENING AREA OF 5.0 SQUARE FEET. R310.1.1 TO R310.1.4. 5.WINDOW SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR. OPENINGS WITH A FINISHED

SILL HEIGHT BELOW THE ADJACENT GROUND ELEVATION SHALL BE PROVIDED WITH A WINDOW WELL. R310.1.

PROVIDE WARRANTY INFORMATION FOR GLAZING, HARDWARE, CLADDING, AND EXTERIOR PAINT FINISH. PROVIDE SHOP DRAWINGS SHOWING EACH WINDOW FOR VERIFICATION OF SIZE SPECIFIED ON DRAWINGS AND OPERATIONAL REQUIREMENTS.

INSTALL DRIP FLASHING OVER HEADS OF ALL WINDOWS AT EXTERIOR (IRC R703.8)

INSTALL FOAM INJECTED INSULATION SEALER AT ALL SHIM CAVITITIES

INSTALLATION SHALL BE PER MANUFACTURES SPECIFICATIONS, AND SHALL BE REVIEWED BY WINDOW SUPPLIER AFTER

PROVIDE TEMPERED GLASS AS REQUIRED (IRC R308). SAFETY GLAZING SHALL BE INSTALLED IN HAZARDOUS LOCATIONS AND SHALL MEET THE FOLLOWING REQUIREMENTS: 1- EACH PANE OF GLASS INSTALLED IN HAZARDOUS LOCATIONS SHALL BE PERMANENTLY IDENTIFIED BY MANUFACTURER, DESIGNATING THE TYPE, THICKNESS, AND SAFETY GLAZING STANDARD. THE LABEL SHALL BE ACID ETCHED, SANDBLASTED, CERAMIC FIRED OR EMBOSSED ON GLASS AND BE VISIBLE WHEN THE UNIT IS GLAZED.

PROVIDE SAFETY GLAZING IN ALL DOORS INCLUDING SIDE HINGED DOORS, SLIDING DOORS,

OR BOTTOM OF STAIRWAYS WHERE THE BOTTOM EDGE OF THE GLASS IS LESS THAN 60 INCHES ABOVE THE

SLIDING PANELS, BIFOLD DOORS, STORM DOORS, FIXED OR OPERABLE PANELS ADJACENT TO A DOOR WHERE THE

NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24 INCH ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING 3- PROVIDE SAFETY GLAZING IN WALLS ENCLOSING STAIRWAY LANDINGS OR WITHIN 36 INCHES OF THE

WALKING SURFACE. 4- PROVIDE SAFETY GLAZING IN DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS. STEAM ROOMS, BATHTUBS AND SHOWERS, GLAZING IN ANY PORTION OF A BUILDING WALL ENCLOSING THESE COMPARTMENTS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS

THAN 60 INCHES ABOVE A STANDING OR WALKING SURFACE.

EDGE GREATER THAN 36 INCHES ABOVE FLOOR, AND WITHIN 36 INCHES OF

PROVIDE SAFETY GLAZING IN RAILINGS REGARDLESS OF AN AREA OR HEIGHT. PROVIDE SAFETY GLAZING IN WALLS AND FENCES ENCLOSING SWIMMING POOLS OR HOT TUBS WHERE THE THE BOTTOM EDGE OF THE POOL OR SPA GLASS IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE.

CONDITIONS: AREAS GREATER THAN 9 SQUARE FEET, BOTTOM EDGE LESS THAN 18 INCHES ABOVE THE FLOOR, TOP

PROVIDE SAFETY GLAZING IN FIXED OR OPERABLE PANELS THAT MEETS ALL OF THE FOLLOWING

08-146 UNIT SKYLIGHT

14" SOLATUBE 290 DS SELF-FLASHING FOR HARD CEILING

PROVIDE MAINTENANCE AND WARRANTY INFORMATION.

SUBMIT SKYLIGHT WITH PRODUCT DATA. SAMPLES OF FINISH, WITH SHOP DRAWINGS ON HOW TO INSTALL ON ROOF AND INTERFACE WITH CEILING FINISH.

SUBMIT DOOR HARDWARE SCHEDULE WITH PRODUCT DATA, SAMPLES OF FINISH, WITH SCHEDULE OF EACH DOOR AND

DO NOT INSTALL WITHIN 3-FT OF INSIDE FACE OF FIRE-RATED WALLS.

INSTALL PER MANUFACTURES SPECIFICATIONS AND COORDINATE WITH ROOFING MATERIAL.

08-151 DOOR HARDWARE ALL DOOR HARDWARE AS SELECTED BY INTERIOR DESIGNER AND OWNER

INSTALL PER MANUFACTURES SPECIFICATIONS

HARDWARE LIST ASSIGNED TO EACH DOOR.

08-174 MIRRORS MIRRORS AS SELECTED BY INTERIOR DESIGN. COORDINATE WITH INTERIOR DRAWINGS.

DIVISION 9- FINISHES 09-21 GYPSUM WALL BOARD

5/8" TYPE "X" GYPSUM BOARD AT GARAGE AND AT FIRE-RATED SEPARATION WALL

WALLS: 5/8" THICK GYPSUM BOARD, UNLESS OTHERWISE NOTED ON DRAWINGS. CEILINGS: 5/8" THICK GYPSUM BOARD, UNLESS OTHERWISE NOTED ON DRAWINGS.

FINISH TO BE: SMOOTH

4'-0" X 4'-0" MOCK-UP OF WALL AND CEILING TO INDICATE COMPLIANCE OF FINISH SPECIFIED.

EXTERIOR LOCATIONS: 5/8" GLAS-MAT GYPSUM BOARD, UNLESS OTHERWISE NOTED ON DRAWINGS.

PROVIDE (1) LAYER 5/8" GYPSUM BOARD ON ALL WALLS, COMBUSTIBLE COLUMNS, ETC. AND (2) LAYERS 5/8" GYPSUM BOARD AT CEILINGS, BEAMS, ETC. IN GARAGE (IRC 302.6)

THE GYPSUM BOARD SHALL BE ATTACHED TO FRAMING WITH APPROVED SCREWS AS REQUIRED BY THE MANUFACTURER. UNLESS NOTED OTHERWISE PROVIDE A LEVEL 4 GYPSUM BOARD FINISH ON ALL WALLS AS PER INDUSTRY STANDARDS

PROVIDE SQUARE CORNER BEAD / TRIM FINISH.

PROVIDE GLAS-MAT GYPSUM BOARD IN ALL WET LOCATIONS, PROVIDE GLAS-MAT GYPSUM BOARD TILE BACKER BOARD ON FRAMING (INSTEAD OF GYPSUM BOARD) AT SURFACES TO RECEIVE TILE.

09-27 CERAMIC TILE

09-37 STONE TILE

EXTENT OF CERAMIC TILE FLOORING INDICATED ON FINISH FLOOR PLANS.

SEE CERAMIC TILE FLOOR SCHEDULE FOR TILE SPECIFICATION AND STYLE, INCLUDED BY INTERIOR DESIGNER

SEE STONE TILE FLOOR SCHEDULE FOR TILE SPECIFICATION AND STYLE, INCLUDED BY INTERIOR DESIGNER.

XTENT OF STONE TILE FLOORING INDICATED ON FINISH FLOOR PLANS.

09-102 STONE FLOORING

KTENT OF STONE FLOORING INDICATED ON FINISH FLOOR PLANS. SEE STONE FLOOR SCHEDULE FOR TILE SPECIFICATION AND STYLE, INCLUDED BY INTERIOR DESIGNER.

09-109 WOOD FLOORING EXTENT OF WOOD FLOORING INDICATED ON FINISH FLOOR PLANS AND AS PER INTERIOR DESIGNER

SEE WOOD FLOOR SCHEDULE FOR WOOD FLOOR SPECIES AND STYLE

FINISH OF WOOD FLOOR AS SPECIFIED IN WOOD FLOOR SCHEDULE.

PROVIDE A 24" X 24" SAMPLE OF THE FLOOR INSTALLED OVER PLYWOOD WITH STAIN FINISH FOR APPROVAL BY ARCHITECT/INTERIOR DESIGNER AND OWNER PRIOR TO INSTALLATION.

MAINTAIN AN AMBIENT TEMPERATURE BETWEEN 65 AND 75 DEGF AND RELATIVE HUMIDITY PLANNED FOR BUILDING OCCUPANTS IN SPACES TO RECEIVE WOOD FLOORING DURING THE CONDITIONING PERIOD FOR NOT LESS THAN SEVEN DAYS BEFORE WOOD FLOORING INSTALLATION, AND CONTINUOUS THROUGH INSTALLATION, AND CONTINUES NOT LESS.

INSTALL WOOD FLOORING AS REQUIRED BY ALL APPLICABLE CODES AND STANDARDS FOR WOOD FLOOR INSTALLATION

THAN SEVEN DAYS AFTER WOOD FLOORING INSTALLATION. PROVIDE EXPANSION SPACE AT WALLS AND OTHER OBSTRUCTIONS AND TERMINATIONS OF FLOORING AS PER MANUFACTURE RECOMMENDATIONS.

BROOM OR VACUUM CLEAN SUBSTRATES TO BE COVERED IMMEDIATELY BEFORE PRODUCT INSTALLATION. AFTER

CLEANING, EXAMINE SUBSTRATES FOR MOISTURE, ALKALINE SALTS, CARBONATION, OR DUST. PROCEED WITH

INSTALLATION ONLY AFTER UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. 09-167 CARPET (SHEET) FLOORING

COMPLETE INSTALLATION DETAILS ARE THE RESPONSIBILITY OF THE INTERIOR DESIGNER AND TO REVIEW ALL MATERIAL AND SUBMITTALS FOR CODE COMPLIANCE AND APPROVAL PROVIDE A 24" X 24" SAMPLE OF THE FLOOR FOR APPROVAL BY ARCHITECT/INTERIOR DESIGNER AND OWNER PRIOR TO

EXTENT OF CARPET FLOORING INDICATED ON INTERIOR DESIGN DRAWINGS NOT INCLUDED WITHIN ARCHITECTURAL

OWNER/CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH INTERIOR DESIGNER FOR ALL FINISH ITEMS.

ALL INSTALLATION OF MATERIALS AS SELECTED BY INTERIOR DESIGNER SHALL BE INSTALLED PER MANUFACTURER STANDARDS AND AS PER INTERIOR DESIGNER SPECIFICATIONS.

09-208 EXTERIOR PAINTING

EXTERIOR SEMI-TRANSPARENT WOOD STAIN PROVIDE A 24" X 24" SAMPLE FOR APPROVAL BY ARCHITECT/INTERIOR DESIGNER AND OWNER PRIOR TO INSTALLATION. ALL MATERIAL SHALL BE PRIMED ON ALL SURFACES PRIOR TO INSTALLATION.

MATERIAL MAY BE PRE-PAINTED PRIOR TO INSTALLATION, OR PAINTED AFTER INSTALLATION. ALL SURFACES SHALL RECEIVE

CONTRACTOR SHALL CAULK ALL JOINTS PRIOR TO FINAL PAINTING

TWO (2) COATES OF FINISH PAINT AFTER PRIME COAT.

09-221 INTERIOR PAINTING EXTENT OF INTERIOR PAINTING INDICATED ON INTERIOR DESIGN DRAWINGS NOT INCLUDED WITHIN ARCHITECTURAL

COMPLETE INSTALLATION DETAILS ARE THE RESPONSIBILITY OF THE INTERIOR DESIGNER AND TO REVIEW ALL MATERIAL AND SUBMITTALS FOR CODE COMPLIANCE AND APPROVAL PROVIDE A 24" X 24" SAMPLE FOR APPROVAL BY ARCHITECT/INTERIOR DESIGNER AND OWNER PRIOR TO INSTALLATION.

all finishes Selected by Interior designer shall be installed as per manufacturer standard specifications

OWNER/CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH INTERIOR DESIGNER FOR ALL FINISH ITEMS.

AND SHALL MEET ALL INTERIOR SPECIFICATIONS. ALL WALLS MUST BE SMOOTH AND FREE OF DEFECTS PRIOR TO PAINTING

09-230 STAIN FINISH

EXTENT OF INTERIOR STAIN FINISH INDICATED ON INTERIOR DESIGN DRAWINGS NOT INCLUDED WITHIN ARCHITECTURAL OWNER/CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH INTERIOR DESIGNER FOR ALL FINISH ITEMS. COMPLETE INSTALLATION DETAILS ARE THE RESPONSIBILITY OF THE INTERIOR DESIGNER AND TO REVIEW ALL MATERIAL AND SUBMITTALS FOR CODE COMPLIANCE AND APPROVAL

PROVIDE A 24" X 24" SAMPLE FOR APPROVAL BY ARCHITECT/INTERIOR DESIGNER AND OWNER PRIOR TO INSTALLATION.

ALL FINISHES SELECTED BY INTERIOR DESIGNER SHALL BE INSTALLED AS PER MANUFACTURER STANDARD SPECIFICATIONS. AND SHALL MEET ALL INTERIOR SPECIFICATIONS.

09-235 EPOXY FLOOR COATINGS

extent of epoxy floor coatings indicated on interior design drawings not included within architectural OWNER/CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH INTERIOR DESIGNER FOR ALL FINISH ITEMS. COMPLETE INSTALLATION DETAILS ARE THE RESPONSIBILITY OF THE INTERIOR DESIGNER AND TO REVIEW ALL MATERIAL AND SUBMITTALS FOR CODE COMPLIANCE AND APPROVAL

PROVIDE A 24" X 24" SAMPLE FOR APPROVAL BY ARCHITECT/INTERIOR DESIGNER AND OWNER PRIOR TO INSTALLATION. ALL FINISHES SELECTED BY INTERIOR DESIGNER SHALL BE INSTALLED AS PER MANUFACTURER STANDARD SPECIFICATIONS, AND SHALL MEET ALL INTERIOR SPECIFICATIONS.

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REVISIONS:

SHEET NUMBER:

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SUBMITTALS FOR CODE COMPLIANCE AND APPROVAL PROVIDE HARDWARE SPECIFICATION CUT SHEETS FOR APPROVAL BY ARCHITECT/INTERIOR DESIGNER AND OWNER PRIOR TO ORDERING.

EXECUTION INSTALL ACCESSORIES ACCORDING TO MANUFACTURERS' WRITTEN INSTRUCTIONS, USING FASTENERS APPROPRIATE TO SUBSTRATE INDICATED AND RECOMMENDED BY UNIT MANUFACTURER, INSTALL UNITS LEVEL, PLUMB, AND FIRMLY ANCHORED IN LOCATIONS AND AT HEIGHTS INDICATED.

DIVISION 11- EQUIPMENT

GAME ROOM FIREPLACE TO BE: MONTIGO "P-SERIES" SEALED GAS - SEE ID DRAWINGS (TOP-VENT TO EXTERIOR WALL) GREAT ROOM FIREPLACE TO BE: MONTIGO "P-SERIES" SEALED GAS - SEE ID DRAWINGS (TOP VENT TO CHIMNEY CHASE) MASTER BEDROOM FIREPLACE TO BE: MONTIGO "PANORAMA" 3-SIDED GLASS CUSTOM SEALED GAS - SEE ID

SUBMIT CUT SHEETS FOR EACH APPLIANCE SPECIFIED.

BEDROOM APPLICATIONS: PROVIDE SEALED GLASS DOORS.

ALL WOOD BURNING FIREPLACES (EXCEPT IN BEDROOM APPLICATIONS): TO BE PROVIDED WITH GAS STARTERS

GAS LOG FIREPLACES SHALL BE PROVIDED WITH A SHUT OFF VALVE LOCATED OUTSIDE OF THE FIREBOX AND WITHIN 6' OF

DRAWINGS (REAR-VENT TO EXTERIOR WALL)

THE APPLIANCE, UNLESS APPROVED BY THE FIREPLACE MANUFACTURER. GAS LIGHTERS ARE USED, FLUE MUST BE PERMANENTLY HELD OPEN.

ALL GAS LOGS, LIGHTERS OR FIREPLACES REQUIRE OUTSIDE COMBUSTION AIR.

ALL FLUES MUST EQUAL 1 SQUARE INCH PER 1000 BTU'S.

ALL ROOMS WHERE GAS LOGS, LIGHTERS, OR FIREPLACES ARE INSTALLED MUST EQUAL 50 CUBIC FEET OF VOLUME PER 1000 BTU'S IN ADDITION TO THE REQUIREMENT FOR OUTSIDE AIR.

PROVIDE FLUES, COMBUSTION AIR SPARK ARRESTOR, CLEARANCES, AND ETC. AS PER MANUFACTURER'S RECOMMENDATIONS.

PROVIDE CHIMNEY CAP FLASHING AND SURROUND. (SEE SECTION 07-34) THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY AND FOLLOW ALL MANUFACTURER'S REQUIREMENTS FOR INSTALLATION OF FIREPLACE EQUIPMENT, INCLUDING FINISH MATERIAL SUCH AS HEARTHS, MANTLES, AND OTHER COMBUSTIBLE PROJECTIONS, ETC. AND PROVIDE PROPER SETBACKS, CLEARANCES, AND PROTECTION.

THE CHIMNEY TERMINATION MUST EXTEND AT LEAST 2 FEET HEIGHER THAN ANY PORTION OF THE BUILDING WITHIN 10 FEET, AT WOOD BURNING FIREPLACES, AS REQUIRED BY I.R.C. G2427.5.3.

11-34 RESIDENTIAL APPLIANCES

RESIDENTIAL APPLIANCES AS SELECTED BY INTERIOR DESIGNER.

PRODUCT DATA: FOR EACH TYPE OF PRODUCT INDICATED. APPLIANCE SCHEDULE: USE SAME DESIGNATIONS INDICATED ON DRAWINGS

GAS-BURNING APPLIANCES: COMPLY WITH ANSI Z21 SERIES STANDARDS.

RESIDENTIAL APPLIANCES: COMPLY WITH NAECA STANDARDS.

INSTALLER QUALIFICATIONS: AN EMPLOYER OF WORKERS TRAINED AND APPROVED BY MANUFACTURER FOR INSTALLATION AND MAINTENANCE OF UNITS REQUIRED FOR THIS PROJECT

PROVIDE CLEARANCE FROM APPLIANCES TO COMBUSTIBLE MATERIALS AS PER MANUFACTURES INSTALLATION REQUIREMENTS. PROVIDE MINIMUM CLEARANCE OF 30" ABOVE COOKING TOP TO COMBUSTIBLE MATERIALS. (I.R.C. M1306 & M1901)

INSTALL ACCESSORIES ACCORDING TO MANUFACTURERS' WRITTEN INSTRUCTIONS, USING FASTENERS APPROPRIATE TO SUBSTRATE INDICATED AND RECOMMENDED BY UNIT MANUFACTURER. INSTALL UNITS LEVEL, PLUMB, AND FIRMLY ANCHORED IN LOCATIONS AND AT HEIGHTS INDICATED.

BUILT-IN EQUIPMENT: SECURELY ANCHOR UNITS TO SUPPORTING CABINETS OR COUNTERTOPS WITH CONCEALED FASTENERS. VERIFY THAT CLEARANCES ARE ADEQUATE FOR PROPER FUNCTIONING AND ROUGH OPENINGS ARE

COMPLETELY CONCEALED. FREESTANDING EQUIPMENT: PLACE UNITS IN FINAL LOCATIONS AFTER FINISHES HAVE BEEN COMPLETED IN EACH AREA.

11-42 PROJECTION SCREENS

TENT OF PROJECTION SCREENS ARE INDICATED ON INTERIOR DESIGN DRAWINGS NOT INCLUDED WITHIN ARCHITECTURAL DRAWINGS

VERIFY THAT CLEARANCES ARE ADEQUATE TO PROPERLY OPERATE EQUIPMENT.

OWNER/CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE WITH INTERIOR DESIGNER FOR ALL FINISH ITEMS.

COMPLETE INSTALLATION DETAILS ARE THE RESPONSIBILITY OF THE INTERIOR DESIGNER AND TO REVIEW ALL MATERIAL AND SUBMITTALS FOR CODE COMPLIANCE AND APPROVAL.

DIVISION 12- FURNISHINGS 12-27 WOOD KITCHEN CABINETS

EXTENT OF CABINETRY AS SHOWN ON INTERIOR FINISH PLANS AND DRAWINGS.

SEE INTERIOR ELEVATIONS FOR DESIGN OF CABINETS

COORDINATE WITH CABINET FINISH SCHEDULE FOR FINISH OF ALL CABINETS.

CABINET SUPPLIER SHALL PROVIDE SHOP DRAWINGS FOR EACH CABINET FOR APPROVAL BY ARCHITECT/INTERIOR DESIGNER/OWNER PRIOR TO FABRICATION OF CABINET

PROVIDE 12 X 12 SAMPLE OF EACH CABINET FINISH SPECIFIED FOR APPROVAL.

PROVIDE 1 DOOR SAMPLE FOR EACH DOOR TYPE SPECIFIED FOR APPROVAL. 12-40 STONE COUNTERTOPS

TENT OF STONE COUNTERTOPS AS SHOWN ON INTERIOR FINISH PLANS AND DRAWINGS.

ACCORDING TO ESTABLISHED RELATIONSHIPS AND INDICATED TOLERANCES

SAMPLES FOR EACH STONE TYPE INDICATED, IN SETS OF SAMPLES NOT LESS THAN 12 INCHES SQUARE. INCLUDE TWO OR MORE SAMPLES IN EACH SET AND SHOW THE FULL RANGE OF VARIATIONS IN APPEARANCE CHARACTERISTICS EXPECTED IN

USE ONLY ADHESIVES FORMULATED FOR STONE AND CERAMIC TILE AND RECOMMENDED BY THEIR MANUFACTURER FOR THE APPLICATION INDICATED. EXAMINE SUBSTRATES INDICATED TO RECEIVE STONE COUNTERTOPS AND CONDITIONS UNDER WHICH STONE COUNTERTOPS WILL BE INSTALLED, WITH INSTALLER PRESENT, FOR COMPLIANCE WITH REQUIREMENTS FOR INSTALLATION TOLERANCES AND OTHER CONDITIONS AFFECTING PERFORMANCE.

INSTALL COUNTERTOPS OVER PLYWOOD SUBTOPS WITH FULL SPREAD OF WATER-CLEANABLE EPOXY ADHESIVE. SET STONE TO COMPLY WITH REQUIREMENTS INDICATED ON DRAWINGS AND SHOP DRAWINGS. SHIM AND ADJUST STONE TO LOCATIONS INDICATED, WITH UNIFORM JOINTS OF WIDTHS INDICATED AND WITH EDGES AND FACES ALIGNED

REMOVE AND REPLACE STONE COUNTERTOPS OF THE FOLLOWING DESCRIPTION: BROKEN, CHIPPED, STAINED, OR THERWISE DAMAGED STONE, DEFECTIVECOUNTERTOPS, DEFECTIVE JOINTS, INCLUDING MISALIGNED JOINTS, INTERIOR STONE COUNTERTOPS AND JOINTS NOT MATCHING APPROVED SAMPLES AND MOCKUPS.

CLEAN STONE COUNTERTOPS NOT LESS THAN TWO DAYS AFTER COMPLETION OF INSTALLATION, USING CLEAN WATER AND SOFT RAGS. APPLY STONE SEALER TO COMPLY WITH STONE PRODUCER'S AND SEALER MANUFACTURER'S WRITTEN

DIVISION 21 - FIRE SUPPRESSION

THE PROJECT SHALL HAVE FULL NFPA 13D SPRINKLER SYSTEM INSTALLED THROUGH OUT AS REQUIRED.

CPVC FIRE SPRINKLER PIPE AND FITTINGS ARE EXTRUDED/MOLDED FROM CPVC COMPOUNDS MANUFACTURED BY LUBRIZOL ADVANCED MATERIALS OR EQUAL. THE PIPE AND FITTING COMPOUNDS SHALL MEET CELL CLASS 23547 AND WARRANTY AFTER OWNER'S ACCEPTANCE. 24447, RESPECTIVELY, AS DEFINED BY ASTM D1784, AND SHALL BE CERTIFIED BY NSF INTERNATIONAL FOR USE WITH POTABLE

PIPE SHALL MEET OR EXCEED THE REQUIREMENTS OF ASTM F442 IN STANDARD DIMENSION RATIO (SDR) 13.5. FITTINGS SHALL MEET OR EXCEED THE REQUIREMENTS OF ASTM F437 (SCHEDULE 80 THREADED), ASTM F438 (SCHEDULE 4

WATER. BOTH PIPE AND FITTING COMPOUNDS SHALL BE PRESSURE RATED BY PLASTICS PIPE INSTITUTE (PPI).

SOCKET) AND ASTM F439 (SCHEDULE 80 SOCKET). BOTH PIPE AND FITTINGS SHALL BE LISTED BY UNDERWRITERS LABORATORIES FOR USE IN WET AUTOMATIC FIRE SPRINKLER SYSTEMS AND SHALL

ANCILLARY PRODUCTS COMING INTO CONTACT WITH PIPE AND FITTINGS MUST BE CHEMICALLY COMPATIBLE AS DETERMINED BY CPVC PIPE AND FITTINGS MANUFACTURER OR COMPOUND MANUFACTURER, AND THUS LISTED ON PIPE, FITTINGS OR COMPOUND MANUFACTURER'S CHEMICAL COMPATIBILITY PROGRAM (I.E. FGG/BM/CZTM SYSTEM

COMPATIBLE PROGRAM).

PIPE AND FITTINGS

ALL SOCKET TYPE JOINTS SHALL BE MADE UP EMPLOYING SOLVENT CEMENTS THAT MEET OR EXCEED THE REQUIREMENTS OF PROVIDE FLOOR DRAIN AND / OR DRIP PAN UNDER WATER HEATER, SPA, HOT TUB, WASHING MACHINE, STEAM SHOWER ASTM F493. THE STANDARD PRACTICE FOR SAFE HANDLING OF SOLVENT CEMENTS SHALL BE IN ACCORDANCE WITH ASTM EQUIPMENT, ETC. IF LOCATED ON WOOD FLOOR STRUCTURE. (I.R.C P2801) F402. SOLVENT CEMENT SHALL BE LISTED BY NSF INTERNATIONAL FOR USE WITH POTABLE WATER, AND APPROVED BY THE MANUFACTURERS. THE SOLVENT CEMENTS SHALL BE COMPATIBLE WITH THEIR CPVC PIPE AND FITTINGS.

FOLLOW MANUFACTURER'S INSTRUCTIONS FOR SET AND CURE TIMES FOR SOLVENT CEMENT JOINTS. AVOID SIGNIFICANT STRESSES DURING SET AND CURE TIMES. DO NOT APPLY ANY STRESS THAT WILL DISTURB AN UN-DRIED JOINT. SPRINKLER FITTINGS SHALL BE ALLOWED TO CURE IN ACCORDANCE WITH THE MANUFACTURER'S GUIDELINES AND THE CONTRACTOR THE CONTRACTOR SHALL TEST ALL PIPING INCLUDING DRAINAGE WASTE LINES, WATER PIPING, NATURAL GAS PIPING, ETC. SHALL ASSURE THE OUTLETS ARE CLEAR OF ANY EXCESS CEMENT PRIOR TO INSTALLING SPRINKLERS.

CPVC PIPE AND FITTINGS SHALL BE LISTED BY UL AND ALSO EITHER ULC OR C-UL FOR USE IN:

ONE AND TWO FAMILY DWELLINGS AND MANUFACTURED HOMES AS DEFINED BY NFPA 13D.

AIR HANDLING (PLENUM) SPACES AS DEFINED BY NFPA 90A.

UNDERGROUND WATER PRESSURE SERVICE AS DEFINED BY NFPA 24. MAXIMUM DESIGN TEMPERATURE/PRESSURE RATING SHALL NOT BE LESS THAN 175 PSI AT 150°F. REFER TO CPVC PIPE AND

FITTING MANUFACTURERS' INSTALLATION INSTRUCTIONS. QUALITY ASSURANCE

CONTRACTOR INSTALLING THE PRODUCE MUST HAVE A MINIMUM OF 2 YEARS OF INSTALLATION OF SYSTEM. MANUFACTURERS

TYCO FIRE SUPPRESSION & BUILDING PRODUCTS 451 N. CANNON AVENUE LANSDALE, PA 19446 (215) 362-0700 FAX (215)

COMPLETE FIRE SPRINKLER SHOP DRAWINGS, INCLUDING PIPING LAYOUT, HEAD LAYOUT, HEAD OPTIONS FOR SELECTION, ALL FIXTURES SHALL BE ABLE TO DRAIN AT THIS POINT. PROVIDE FLOOR DRAIN AT LOCATION OF PLUMBING SYSTEM DRAIN. AND PRODUCT LITERATURE. FIRE SPRINKLER DRAWINGS WILL BE CONSIDERED DEFERRED SUBMITTAL, AND MUST FOLLOW DEFERRED SUBMITTAL PROCEDURES.

SYSTEM DESIGN SHALL BE IN ACCORDANCE WITH STANDARD INDUSTRY PRACTICE FOR FIRE SPRINKLER SYSTEMS AND THE

TEMPERATURES, SUPPORT SPACING, JOINING METHODS, AND THERMAL EXPANSION AND CONTRACTION.

THE FIRE SPRINKLER PIPING SYSTEM SHALL BE HYDRAULICALLY CALCULATED USING A HAZEN-WILLIAMS C FACTOR OF 150, HEADS. AND DESIGNED IN ACCORDANCE WITH THE STANDARD FOR INSTALLATION OF SPRINKLER SYSTEMS, NFPA 13.

THE MAXIMUM DESIGN TEMPERATURE/PRESSURE RATING SHALL NOT EXCEED 175 PSI AT 150°F.

INSTALLATION PROCEDURES.

INSTALLATION PRACTICES SUCH AS PIPE SUPPORT SPACING, BRACING, ALLOWANCE FOR THERMAL EXPANSION/CONTRACTION, SOLVENT CEMENTING AND HANDLING AND STORAGE SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND THE ULLISTING WHICH INCLUDES INSTALLATION LIMITATIONS.

CPVC PIPE AND FITTINGS ARE INTENDED FOR USE AT A MAXIMUM WORKING PRESSURE OF 175 PSI AT 150°F IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND APPROPRIATE LISTING AGENCIES.

ALL APPLICABLE CODES AS PER THE NFPA SHALL BE IDENTIFIED,

AFTER THE SYSTEM IS INSTALLED AND ANY SOLVENT CEMENT IS CURED PER THE MANUFACTURER'S INSTALLATION INSTRUCTIONS, THE SYSTEMS SHALL BE HYDROSTATICALLY TESTED PER THE REQUIREMENTS OF THE APPLICABLE NFPA

MAINTENANCE SHALL BE IN ACCORDANCE WITH THE STANDARD FOR INSPECTION, TESTING AND MAINTENANCE OF WATER SUBMIT CUT SHEET WITH PICTURES, MODEL NUMBERS, COLORS AND MANUFACTURER SPECIFICATIONS FOR EACH FIXTURE BASED EXTINGUISHING SYSTEMS AS DEFINED BY NFPA 25.

DIVISION 22- PLUMBING

THE PLUMBING SYSTEM SHALL COMPLY WITH THE 2012 I.R.C. AND BE INSTALLED IN STRICT ACCORDANCE WITH LOCAL, STATE AND NATIONAL CODES. THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL ITEMS RELATED TO THE PROJECT AS PER

THE PLUMBING CONTRACTOR TO BE RESPONSIBLE FOR THE COMPLETE PLUMBING INSTALLATION AND PROVIDE A (1) YEAR

VISIT THE JOB SITE PRIOR TO BIDDING THE PROJECT TO BECOME FAMILIAR WITH THE EXISTING CONDITIONS AND ANY

NO PLUMBING SHALL RUN ON AN OUTSIDE WALL.

ALL VENTS SHALL BE GANGED TO THE FEWEST NUMBER POSSIBLE TO PENETRATE ROOF AND SHOULD BE A MINIMUM OF 10'-0" FROM EAVES. ALL VENTS TO BE SIZED AS PER I.R.C. REQUIREMENTS AND / OR NOT LESS THAN 3"DIAMETER PIPE. PROVIDE FLASHING AS REQUIRED.

SHOWER HEADS SHALL HAVE A FLOW RATE OF 2.5 GPM AT 80 PSI OR LESS.

BEAR THE LOGO OF THE LISTING AGENCY. SEE UL FIRE PROTECTION EQUIPMENT DIRECTORY, CATEGORIES VIWT AND HFYH. LAVATORY AND SINK FAUCETS SHALL HAVE A FLOW RATE OF 2.2 GPM AT 60 PSI.

WATER CLOSET TO HAVE ECONO-FLUSH TANK 1.6 GAL. MAX. FLUSHING CYCLE.

ALL HOSE BIBS SHALL BE NON FREEZE TYPE WITH BACK FLOW PREVENTER.

WATER STORAGE TANKS TO HAVE SEISMIC STRAPPING TIE DOWNS. SIZE OF WATER HEATER / WATER STORAGE TANK AS PER CODE. (I.R.C. M13017.2 & G2404.8)

THE CONTRACTOR SHALL INSTALL ALL PLUMBING FIXTURES IN STRICT ACCORDANCE WITH THE MANUFACTURES ROUGHED IN INSTRUCTIONS. TAKE CARE DURING BUILDING CONSTRUCTION TO SEE THAT PROVISIONS ARE MADE FOR PROPER FIXTURE SUPPORT AND THAT ROUGH IN PIPING IS ACCURATELY SET AND PROTECTED FROM MOVEMENT OR DAMAGE.

TEST IN ACCORDANCE WITH UNIFORM PLUMBING CODE AND LOCAL CODES AND AUTHORITIES. WATER LINES TO BE DISINFECTED IN ACCORDANCE WITH LOCAL HEALTH DEPARTMENT REGULATIONS.

CAULK AROUND ALL PLUMBING FIXTURES AT FLOORS AND WALLS WITH FLEXIBLE CAULKING COMPOUND. COLOR TO MATCH FIXTURE.

AFTER FIXTURES HAVE BEEN SET THE CONTRACTOR SHALL CAREFULLY PROTECT THEM FROM DAMAGE UNTIL THE BUILDING IS OCCUPIED BY THE OWNER. JUST PRIOR TO ACCEPTANCE OF THE JOB BY THE OWNER, THE CONTRACTOR SHALL CLEAN ALL

ACCORDANCE WITH ASTM F1807 OR ASTM F2159 AND/OR COMPLY WITHASTM F877 SYSTEM STANDARD AS IDENTIFIED ON PLUMBING FIXTURES AND REMOVE LABELS.

PROVIDE ANTI-SCALD LIMITING DEVISES SET AT 120 DEGREES FOR BATHTUBS AND SHOWERS.

ALL SUPPLY, WASTE, & GAS LINE MATERIALS, WORKMANSHIP, AND INSTALLATION AS PER INDUSTRY STANDARDS. ALL WATER LINES TO BE TYPE "L" HARD DRAWN COPPER OR POLYETHYLENE CROSS-LINK PIPING FOR ABOVE GROUND APPLICATIONS OR APPROVED EQUAL. PROVIDE TYPE "K" COPPER OR POLYETHYLENE CROSS-LINK PIPING FOR UNDERGROUND. PROVIDE CONTINUOUS LINE WITH NO JOINTS FOR UNDERGROUND APPLICATIONS, UNLESS APPROVED. ALL FITTINGS TO BE COPPER WITH SWEAT SOLDIER JOINTS FOR COPPER PIPING OR BRASS FITTINGS WITH COMPRESSION BAND FITTINGS FOR POLY PIPE. ALL WASTE LINES TO BE PVC OR ABS PLASTIC PIPE.

WASTE LINES SHALL BE PROVIDED WITH A CLEAN OUT AS REQUIRED. EXTEND CLEAN OUTS TO ACCESSIBLE SURFACE. DO NOT PLACE CLEAN OUTS IN FLOOR UNLESS APPROVED.

PLUMBING CONTRACTOR SHALL PROVIDE A TURN OFF VALVE AND DRAIN AT THE LOWEST LEVEL OF THE FACILITY

PLUMBING CONTRACTOR TO ASSESS WATER PRESSURE AND ENSURE ADEQUATE PRESSURE IS AVAILABLE, FOR

MULTIPLE FIXTURE USE SIMULTANEOUSLY WITH OUT PRESSURE DECREASE OR TEMPERATURE FLUCTUATION. MANUFACTURER'S INSTRUCTIONS. THE DESIGN SHALL TAKE INTO CONSIDERATION SUCH FACTORS AS PRESSURE AND FLOW PROVIDE CULINARY WATER SOFTENER SYSTEM THROUGH OUT RESIDENCE AS REQUIRED. SYSTEM TO BE "INTERMOUNTAIN"

WATER INC." MODEL: "PATRIOT" SYSTEM. INSTALLATION AS PER MANUFACTURE. O.A.E. PROVIDE FIRE SPRINKLER SYSTEM AS REQUIRED BY BUILDING DEPARTMENT. SYSTEM TO BE BUILT TO NFPA 13D MODIFIED.

STEAM SHOWER UNITS TO BE "KOHLER" STEAM GENERATOR K-1734 OR EQUAL. INSTALL AS PER MANUFACTURE REQUIREMENTS. MEETS OR EXCEEDS UL-499/CSA C22.2 NO. 88.

BATHTUB AND SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 72" INCHES ABOVE THE FLOOR. SHOWER PAN LINERS AND SITE BUILT PAN LINERS SHALL EXTEND A MINIMUM OF 3" ABOVE SHOWER DOOR THRESHOLD. PROVIDE SOLID BLOCKING BEHIND LINER. ALL SHOWER PAN LINERS SHALL BE INSTALLED ON SLOPED BUILT UP FLOOR AND MUST BE INSPECTED.

22-01 PLUMBING FIXTURES

SEE PLUMBING FIXTURE SCHEDULE AND PLANS FOR LOCATIONS AND SELECTION OF SPECIFIED FIXTURES.

SPECIFIED FOR APPROVAL BY OWNER AND ARCHITECT PRIOR TO ORDERING.

INSTALL FIXTURES LEVEL AND PLUMB ACCORDING TO ROUGHING-IN DRAWINGS.

INSTALL WATER-SUPPLY PIPING WITH STOP ON EACH SUPPLY TO EACH FIXTURE TO BE CONNECTED TO WATER DISTRIBUTION PIPING. SEAL JOINTS BETWEEN FIXTURES AND WALLS, FLOORS, AND COUNTERTOPS USING SANITARY-TYPE, ONE-PART, MILDEW-RESISTANT SILICONE SEALANT.

FITTINGS REQUIRED TO MATCH FIXTURES. CHECK THAT PLUMBING FIXTURES ARE COMPLETE WITH TRIM, FAUCETS, FITTINGS, AND OTHER SPECIFIED COMPONENTS.

CONNECT FIXTURES WITH WATER SUPPLIES, STOPS, AND RISERS, AND WITH TRAPS, SOIL, WASTE, AND VENT PIPING. USE SIZE

INSPECT INSTALLED PLUMBING FIXTURES FOR DAMAGE. REPLACE DAMAGED FIXTURES AND COMPONENTS

EACH WATER CLOSET SHALL BE LOCATED IN A CLEAR SPACE NOT LESS THAN 30" IN WIDTH (15" MINIMUM FROM CENTER TO ANY OBSTRUCTION) AND HAVE A CLEAR SPACE IN FRONT OF NOT LESS THAN 21" CLEAR. (I.R.C. R307)

TEST INSTALLED FIXTURES AFTER WATER SYSTEMS ARE PRESSURIZED FOR PROPER OPERATION. REPLACE MALFUNCTIONING

FIXTURES AND COMPONENTS, THEN RETEST. REPEAT PROCEDURE UNTIL UNITS OPERATE PROPERLY.

22-02 TANK TYPE WATER HEATER

50 GALLONS

COORDINATE WITH PLANS FOR LOCATION OF WATER HEATERS. WATER HEATERS TO BE: A.O. SMITH OR EQUAL

CAPACITY SHALL BE:

WATER SOFTENER TO BE:

SUBMIT CUT SHEET WITH PICTURES, MODEL NUMBERS, MANUFACTURER SPECIFICATIONS FOR EACH WATER HEATER FOR APPROVAL BY OWNER AND ARCHITECT PRIOR TO ORDERING.

EXPANSION TANK AS REQUIRED BY LOCAL BUILDING CODE.

PROVIDE VENTING AS REQUIRED BY WATER HEATER MANUFACTURER SPECIFICATIONS.

FOR HOT WATER SUPPLIED TO BATHTUBS AND WHIRLPOOL TUBS SHALL BE LIMITED TO 120 DEGREES MAX BY A WATER TEMPERATURE LIMITING DEVICE (ASSE 1070) OR BY AN APPROVED COMBINATION TUB/SHOWER VALVE.

22-04 WATER SOFTENER

COORDINATE WITH PLANS FOR LOCATION OF WATER HEATERS.

SUBMIT CUT SHEET WITH PICTURES, MODEL NUMBERS, MANUFACTURER SPECIFICATIONS FOR EACH WATER HEATER FOR APPROVAL BY OWNER AND ARCHITECT PRIOR TO ORDERING.

CONNECT AS PER MANUFACTURER SPECIFICATIONS.

HE CONTRACTOR IS RESPONSIBLE TO REVIEW AND COMPLY WITH ALL APPLICABLE BUILDING CODES, ASTM STANDARDS,

PROVIDE A PEX TUBING HOT AND COLD POTABLE WATER DISTRIBUTION SYSTEM, WHICH IS MANUFACTURED, FABRICATED AND INSTALLED TO COMPLY WITH REGULATORY AGENCIES AND TO MAINTAIN PERFORMANCE CRITERIA STATED BY THE PEX

UTILIZE AN INSTALLER HAVING DEMONSTRATED EXPERIENCE ON PROJECTS OF SIMILAR SIZE AND COMPLEXITY AND POSSESSES THE SKILLS AND KNOWLEDGE TO INSTALL A PEX POTABLE WATER

DELIVER MATERIALS IN MANUFACTURE'S ORIGINAL, UNOPENED, UNDAMAGED CONTAINERS WITH IDENTIFICATION LABELS INTACT UNTIL READY FOR INSTALLATION

STORE MATERIALS PROTECTED FROM EXPOSURE TO HARMFUL ENVIRONMENTAL CONDITIONS AND AT TEMPERATURE AND HUMIDITY CONDITIONS RECOMMENDED BY THE MANUFACTURER AND STORE PEX TUBING INDOORS, IN CARTONS OR UNDER COVER TO AVOID DIRT OR FOREIGN MATERIAL FROM ENTERING THE TUBING

DO NOT EXPOSE PEX TUBING TO DIRECT SUNLIGHT FOR MORE THAN SIX MONTHS. IF CONSTRUCTIONDELAYS ARE

MANUFACTURER'S WARRANTY SHALL COVER THE REPAIR OR REPLACEMENT OF PROPERLY INSTALLED TUBING AND FITTINGS PROVEN DEFECTIVE AS WELL AS INCIDENTAL DAMAGES FOR A WARRANTY PERIOD FOR PEX TUBING AND SUBSEQUENT SYSTEM SHALL BE 25 YEAR NON-PRORATED WARRANTY AGAINST FAILURE DUE TO DEFECT IN MATERIAL OR WORKMANSHIP. BEGINNING WITH THE DATE OF INSTALLATION

SYSTEM DESIGNS AS MANUFACTURED AND RECOMMENDED BY ZURN PEX, INC. AND ALL PRODUCTS, COMPONENTS, ETC. SPECIFIED HEREIN ARE MANUFACTURED BY AND/OR ARE AVAILABLE FROM ZURN PEX, INC. TUBING MANUFACTURER. THE CONTRACTOR SHALL NOT MIX SYSTEM COMPONENTS.

TUBING SHALL HAVE A MINIMUM OF 6 MONTHS UV PROTECTION, AND BE MANUFACTURED IN ACCORDANCE WITH ASTM F876 AND ASTM F877 AND TESTED FOR COMPLIANCE BY AN INDEPENDENT THIRD-PARTY AGENCY

FITTINGS SHALL BE MANUFACTURED BY SAME PEX MANUFACTURER AS TUBING AND SHALL BE MANUFACTURED IN

ALL QICKCLAMP, COPPER CRIMP RING SHALL PROVIDED BY TUBING AND PIPING MANUFACTURER. INSTALLATION OF QICKCLAMP AND COPPER CRIMP RING SHALL BE INSTALLED WITH MANUFACTURER TOOLS AND MUST FOLLOW ALL ASTM

TESTING REQUIREMENTS AS LISTED WITHIN MANUFACTURER STANDARD SPECIFICATIONS AND INSTALLATION GUIDELINES.

MANIFOLDS SHALL BE SELECTED FROM FOLLOWING: QICKPORT PREASSEMBLED MANIFOLD; COPPER MANIFOLD SYSTEM;

SHALL BE OF THE PLASTIC OR METAL TYPE, MEETING THE REQUIREMENTS OF ASTM F877, IDENTIFIED AS SUCH WITH THE

SUBMIT MANUFACTURER'S PRODUCT SUBMITTAL DATA AND INSTALLATION INSTRUCTIONS

SUBMIT MANUFACTURER'S PROFESSIONAL INSTALLATION WARRANTY FOR PRODUCTS AND LABOR.

COMPLY WITH MANUFACTURE'S PRODUCT DATA, INCLUDING PRODUCT TECHNICAL BULLETINS, TECHNICAL MEMO'S, INSTALLATION INSTRUCTIONS AND DESIGN DRAWINGS, INCLUDING: ZURN OR EQUAL PEX PLUMBING INSTALLATION GUIDE PROVIDE ENGINEERING, LAYOUT, SPECIFICATIONS, ETC. FOR APPROVAL PRIOR TO INSTALLATION. PROVIDE CONCEALED

> PROCEED WITH INSTALLATIONS OF THE PEX POTABLE WATER SYSTEM UNTIL UNACCEPTABLE CONDITIONS ARE CORRECTED DO NOT INSTALL PEX TUBING WITHIN 6 INCHES OF GAS APPLIANCE VENTS OR WITHIN 12 INCHES OF ANY RECESSED LIGHT

VERIFY THAT SITE CONDITIONS ARE ACCEPTABLE FOR THE INSTALLATION OF THE PEX POTABLE WATER SYSTEM, DO NOT

DO NOT SOLDER WITHIN 18 INCHES OF PEX TUBING IN THE SAME WATERLINE. MAKE SWEAT CONNECTIONS PRIOR TO MAKING PEX CONNECTIONS

ENSURE NO GLUES, SOLVENTS, SEALANTS OR CHEMICALS COME IN CONTACT WITH THE TUBING WITHOUT PRIOR PERMISSION FROM THE TUBING MANUFACTURER

PROTECT PEX TUBING WITH SLEEVES WHERE ABRASION MAY OCCUR

PRESSURIZE ZURN OR EQUAL PEX TUBING IN ACCORDANCE WITH APPLICABLE CODES OR IN THE ABSENCE OF APPLICABLE CODES, TEST PRESSURE SHALL BE AT LEAST EQUAL TO NORMAL SYSTEM WORKING PRESSURE, BUT NOT LESS THAN 40 PSI

ALL WASTE PIPING SHALL BE THE FOLLOWING:

ABS CELLULAR CORE (FOAM CORE) PIPE AND ABS DWV FITTINGS

ACCORDING TO MANUFACTURER'S RECOMMENDATION

PIPE SHALL BE MANUFACTURED FROM VIRGIN RIGID ABS (ACRYLONITRILE-BUTADIENE-STYRENE) COMPOUNDS WITH A CELL CLASS OF 42222 AS IDENTIFIED IN ASTM D 3965. FITTINGS SHALL BE MANUFACTURED FROM VIRGIN RIGID ABS COMPOUNDS WITH A CELL CLASS OF 32222 AS IDENTIFIED IN ASTM D 3965.

GROUND WHICH IS DRY AND FREE FROM SHARP OBJECTS. IF DIFFERENT SCHEDULES OF PIPE ARE STACKED TOGETHER, THE PIPE WITH THE THICKEST WALLS SHOULD BE ON THE BOTTOM.

THE PIPE SHOULD BE PROTECTED FROM THE SUN AND BE IN AN AREA WITH PROPER VENTILATION, THIS WILL LESSEN THE EFFECTS OF ULTRAVIOLET RAYS AND HELP PREVENT HEAT BUILD-UP.

TO INDIVIDUALLY WRAP WASTE LINE, AND INSULATE STUD CAVITY WASTE LINE IS LOCATED WITHIN.

ALL SHOWER TRAPS AND TRAP ARMS ARE TO BE SIZED ACCORDING TO THE FLOW RATES OF ALL SHOWERHEADS AND

BODYSPRAYS THE DRAIN SERVES (P3201.7) INSTALLATION SHALL COMPLY WITH THE LATEST INSTALLATION INSTRUCTIONS PUBLISHED BY PIPE AND FITTING MANUFACTURER, AND AND SHALL CONFORM TO ALL APPLICABLE PLUMBING, FIRE, AND BUILDING CODE REQUIREMENTS. BURIED PIPE SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D 2321 AND ASTM F 1668. SOLVENT CEMENT JOINTS SHALL BE MADE WITH A SOLVENT CEMENT CONFORMING TO ASTM D 2235. THE SYSTEM SHALL BE PROTECTED FROM CHEMICAL AGENTS, FIRE STOPPING MATERIALS, THREAD SEALANT, OR OTHER AGGRESSIVE CHEMICAL AGENTS NOT COMPATIBLE WITH ABS COMPOUNDS. SYSTEMS SHALL BE HYDROSTATICALLY TESTED AFTER INSTALLATION.

22-04 WATER SOFTENER

TECHNICAL REPORTS FOR THE INSTALLATION OF PLUMBING COMPONENTS.

TUBING MANUFACTURER WITHOUT DEFECTS, DAMAGE OR FAILURE

DISTRIBUTION SYSTEM

ENCOUNTERED, COVER THE TUBING THAT IS EXPOSED TO DIRECT SUNLIGHT

SPECIFICATION FOR HOT AND COLD POTABLE WATER DISTRIBUTION SYSTEM HAS BEEN WRITTEN AROUND PRODUCTS AND

CROSS-LINKED POLYETHYLENE (PEX) MANUFACTURED BY THE SILANE METHOD NON-BARRIER TYPE AND SHALL HAVE A PRESSURE AND TEMPERATURE RATING OF 160 PSI AT 73°F, 100 PSI AT 180°F AND 80 PSI AT 200°F

CR MANIFOLD; MULTI PORT FITTINGS; COPPER MANIFOLD HEADER

APPROPRIATE MARK ON THE PRODUCT

SUBMIT MANUFACTURER'S WARRANTY FOR PRODUCTS.

DO NOT EXPOSE PEX TUBING TO DIRECT SUNLIGHT FOR MORE THAN 6 MONTHS

USE GROMMETS OR SLEEVES AT THE PENETRATION FOR PEX TUBING PASSING THROUGH METAL STUDS USE A PEX MANUFACTURER RECOMMENDED FIRE STOP SEALANT MANUFACTURER

USE NAIL PLATES WHERE PEX TUBING PENETRATES WALL STUD OR JOISTS AND HAS THE POTENTIAL FOR BEING STRUCK WITH A

ALLOW SLACK OF APPROXIMATELY 1/8 INCH PER FOOT OF TUBE LENGTH TO COMPENSATE FOR EXPANSION AND

WATER OR AIR AND NOT GREATER THAN 225 PSI WATER, 125 PSI AIR TO ENSURE SYSTEM INTEGRITY, PRESSURE TEST THE SYSTEM BEFORE COVERING TUBING IN CONCRETE AND AFTER OTHER TRADES HAVE WORKED IN THE VICINITY OF THE TUBING. REPAIR AND REPLACE ANY PRODUCT THAT HAS BEEN DAMAGED

22-06 PLUMBING WASTE COMPONENT/PIPING

THIS SPECIFICATION COVERS ABS CELLULAR CORE (FOAM CORE) PIPE AND ABS DWV FITTINGS USED IN SANITARY DRAIN, WASTE, AND VENT (DWV), SEWER, AND STORM DRAINAGE APPLICATIONS. THIS SYSTEM IS INTENDED FOR USE IN NON-PRESSURE APPLICATIONS WHERE THE OPERATING TEMPERATURE WILL NOT EXCEED 160°F.

ABS CELLULAR CORE PIPE SHALL BE IRON PIPE SIZE (IPS) CONFORMING TO ASTM F 628. ABS DWV FITTINGS SHALL

MANUFACTURER. ALL PIPE AND FITTINGS SHALL BE MANUFACTURED IN THE UNITED STATES. ALL SYSTEMS SHALL UTILIZE A CONNECT FIXTURES WITH WATER SUPPLIES, STOPS, AND RISERS, AND WITH TRAPS, SOIL, WASTE, AND VENT PIPING. PROVIDE SEPARATE WASTE AND VENT SYSTEM. PIPE AND FITTINGS SHALL CONFORM TO NSF INTERNATIONAL STANDARD 14. IF POSSIBLE, PIPE SHOULD BE STORED INSIDE. WHEN THIS IS NOT POSSIBLE, THE PIPE SHOULD BE STORED ON LEVEL

CONFORM TO ASTM D 2661. PIPE AND FITTINGS SHALL BE MANUFACTURED AS A SYSTEM AND BE THE PRODUCT OF ONE

PIPE DIAMETER SHALL BE 3-INCH MIN. WHEN PENETRATING A ROOF ASSEMBLY.

PROVIDE INSULATION AT ALL WASTE LINES WITHIN AREAS EXPOSED TO WEATHER. PROVIDE INSULATION FOR ALL WASTE /DRAIN LINES FROM UPPER LEVELS TO LOWEST POINT IN STRUCTURE. INSULATION

WARNING! NEVER TEST WITH OR TRANSPORT/STORE COMPRESSED AIR OR GAS IN ABS PIPE OR FITTINGS.

Architecture

Architecture Interior Design Landscape Architecture Land Planning

Construction Manageme 7927 So. Highpoint Parkway, Suite 300 Sandy, Utah 84094 ph. 801.269.0055 fax 801.269.1425

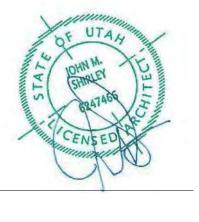
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REVISIONS:

THE MECHANICAL SYSTEM SHALL COMPLY WITH 2012 I.R.C. AND IFGC AND BE INSTALLED IN STRICT ACCORDANCE WITH LOCAL, STATE AND NATIONAL CODES. THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL ITEMS, RELATED TO THE PROJECT, AS PER INDUSTRY STANDARDS.

THE MECHANICAL CONTRACTOR TO BE RESPONSIBLE FOR THE COMPLETE MECHANICAL INSTALLATION AND PROVIDE A (1) YEAR WARRANTY AFTER OWNER'S ACCEPTANCE. THE CONTRACTOR SHALL SUPPLY THE OWNER WITH OPERATION AND MAINTENANCE MANUALS.

VISIT THE JOB SITE PRIOR TO BIDDING THE PROJECT TO BECOME FAMILIAR WITH THE EXISTING CONDITIONS AND ANY

DRYER EXHAUST DUCT TO BE VENTED TO EXTERIOR. DUCTS TO BE RIGID ALUMINUM WITH SMOOTH INTERIOR SURFACES. NO METAL SCREWS OR FASTENERS SHALL PENETRATE INTO THE DUCT. JOINTS TO RUN IN DIRECTION OF AIR FLOW. MAXIMUM LENGTH SHALL NOT EXCEED 35'-0" (EXCLUDING FLEXIBLE TRANSITION DUCT). THE MAXIMUM LENGTH OF THE DUCT SHALL BE REDUCED BY 2.5 FEET FOR EACH 45 DEGREE BEND AND 5 FEET FOR EACH 90 DEGREE BEND. TRANSITION DUCTS SHALL NOT BE CONCEALED WITH IN CONSTRUCTION. (I.R.C. M1502)

BATHROOM EXHAUST DUCT WORK TO BE ALUMINUM, GALVANIZED STEEL OR APPROVED FIBROUS GLASS. KITCHEN HOOD EXHAUST DUCTS TO BE GALVANIZED STEEL, STAINLESS STEEL OR COPPER, DUCTS TO BE AIR TIGHT AND EQUIPPED WITH A BACK DRAFT DAMPER. ALL DUCTS TO TERMINATE AT OUTSIDE. BATHROOM VENTILATION SYSTEM SHALL BE RATED AT 50 CFM (INTERMEDIATE VENTILATION) (I.R.C. CHAPTER 15 AND R303)

LINE VOLTAGE AND LOW VOLTAGE CONTROL WIRING IS BY THE MECHANICAL CONTRACTOR. COORDINATE WITH THE ELECTRICAL CONTRACTOR.

SUBMIT SPECIFICATION SHEETS ON ALL EQUIPMENT TO BE REVIEWED BY ARCHITECT.

MECHANICAL HEATING SYSTEM TO BE 90% EFFICIENT FORCED AIR FURNACE SYSTEM. THE SYSTEM SHALL BE CAPABLE OF MAINTAINING THE TEMPERATURE WITHIN 1 DEGREE OF THE THERMOSTAT SET POINT. THE CONTRACTOR SHALL GUARANTEE THAT THE SYSTEM SHALL HEAT AND COOL THE FACULTY TO 68 DEGREES FAHRENHEIT HEATING AND 70 DEGREES FAHRENHEIT COOLING AT 3'-0" ABOVE THE FLOOR AND 2'-0" FROM EXTERIOR WALLS THROUGH OUT THE STRUCTURE. SUPPLIER TO PROVIDE HEAT LOSS CALCULATIONS, SHOP DRAWINGS, THERMOSTAT LOCATIONS AND CUT SHEETS ON ALL PROPOSED EQUIPMENT. SIZE EQUIPMENT AS PER I.R.C. M1401.3. PROVIDE 1" MINIMUM CLEARANCE AROUND EQUIPMENT AT SIDES AND REAR OF THE APPLIANCE AND 6" MINIMUM CLEARANCE IN FRONT OF THE APPLIANCE. PROVIDE TWO SEPARATE COMBUSTION AIR DUCTS. (FROM EXTERIOR) ONE TERMINATING IN LOWER 12" AND ONE TERMINATING IN UPPER 12" OF THE SPACE AS REQUIRED. EACH DUCT SHALL HAVE A FREE AREA TO ALLOW COMBUSTION AIR AT A RATE OF 1 SQUARE INCH PER 4.000 BTU'S (FOR VERTICAL DUCTS) AND 1 SQUARE INCH PER 2.000 BTU'S (FOR HORIZONTAL DUCTS) OF TOTAL INPUT RATING OF ALL APPLIANCES IN THE SPACE, OR AS PER MANUFACTURES SPECIFICATIONS. ALTERNATE COMBUSTION AIR OPTIONS COMPLIANT WITH I.R.C. CHAPTER 17 AND G2407 MAY BE ALLOWED WHEN DEEMED APPROPRIATE AND APPROVED. PROVIDE CLEARANCE BETWEEN COMBUSTIBLE MATERIALS AND VENTS AS PER CODE. (I.R.C. R303.8, CHAPTER 14, CHAPTER 17)

MECHANICAL HEATING SYSTEM TO BE 80% EFFICIENT BOILER WITH RADIANT IN FLOOR HYDRONIC HEATING SYSTEM. THE SYSTEM SHALL BE CAPABLE OF MAINTAINING THE TEMPERATURE WITHIN 1 DEGREE OF THE THERMOSTAT SET POINT. THE CONTRACTOR SHALL GUARANTEE THAT THE SYSTEM SHALL HEAT AND COOL THE FACULTY TO 68 DEGREES FAHRENHEIT HEATING AND 70 DEGREES FAHRENHEIT COOLING AT 3'-0" ABOVE THE FLOOR AND 2'-0" FROM EXTERIOR WALLS THROUGH THE DBX 1000M - METAL BOX INSTALLATION OUT THE STRUCTURE. SUPPLIER TO PROVIDE HEAT LOSS CALCULATIONS, SHOP DRAWINGS, THERMOSTAT LOCATIONS AND CUT SHEETS ON ALL PROPOSED EQUIPMENT. SIZE EQUIPMENT AS PER I.R.C. M1401.3. PROVIDE 1" MINIMUM CLEARANCE AROUND EQUIPMENT AT SIDES AND REAR OF THE APPLIANCE AND 6" MINIMUM CLEARANCE IN FRONT OF THE APPLIANCE. PROVIDE TWO SEPARATE COMBUSTION AIR DUCTS, (FROM EXTERIOR) ONE TERMINATING IN LOWER 12" AND ONE TERMINATING IN UPPER 12" OF THE SPACE AS REQUIRED. EACH DUCT SHALL HAVE A FREE AREA TO ALLOW COMBUSTION AIR AT A RATE OF 1 SQUARE INCH PER 4,000 BTU'S (FOR VERTICAL DUCTS) AND 1 SQUARE INCH PER 2,000 BTU'S (FOR HORIZONTAL DUCTS) OF TOTAL INPUT RATING OF ALL APPLIANCES IN THE SPACE. OR AS PER MANUFACTURES SPECIFICATIONS. ALTERNATE COMBUSTION AIR OPTIONS COMPLIANT WITH I.R.C. CHAPTER 17 AND G2407 MAY BE ALLOWED WHEN DEEMED APPROPRIATE AND APPROVED. PROVIDE CLEARANCE BETWEEN COMBUSTIBLE MATERIALS AND VENTS AS PER CODE. (I.R.C. R303.8, CHAPTER 14, CHAPTER 17)

ALL HABITABLE ROOMS SHALL HAVE NATURAL VENTILATION EQUALING 4% OF THE FLOOR AREA. THIS SHALL BE PROVIDED THROUGH WINDOWS, DOORS, LOUVERS OR OTHER APPROVED OPENINGS TO THE OUTDOORS UNLESS AN APPROVED MECHANICAL VENTILATION SYSTEM IS PROVIDED CAPABLE OF PRODUCING 0.35 AIR CHANGES PER HOUR IN THE ROOM OR A WHOLE-HOUSE MECHANCAIL VENTILATION SYSTEM IS INSTALLED.

EXHAUST FANS SHALL BE SIZED FOR A MINIMAL RATE OF 50 CFM. ALL FANS TO BE DUCTED TO OUTSIDE. ALL EXHAUST DUCTS TO HAVE APPROVED TERMINATIONS WITH SCREENS. TERMINATIONS SHALL BE INSTALLED AS NOT TO BE BLOCKED INSULATION, GRILLS, CAPS, ETC. AS REQUIRED. (I.R.C. R303.3 AND M1507)

THE CONTRACTOR SHALL LAYOUT AND REFERENCE ALL MECHANICAL DRAWINGS. CONTRACTOR SHALL PROVIDE ALL ENGINEERING REQUIRED TO SIZE DUCTS, GRILLS, REGISTERS, ETC. REVIEW ALL LOCATIONS AND PLACEMENT FOR GRILLS ETC. WITH OWNER PRIOR TO PLACEMENT. THE ASSOCIATED ARCHITECTURAL MECHANICAL LAYOUTS AMD DRAWINGS

PROJECTS THAT REQUIRE MECHANICAL DUCT WORK SHALL CONFORM TO THE FOLLOWING. ALL DUCT WORK SHALL BE CONSTRUCTED FROM GALVANIZED SHEET STEEL TO CONFORM WITH "SMACNA" LOW PRESSURE DUCT CONSTRUCTION STANDARDS AND I.R.C. CHAPTER 16. FABRICATE SHEET METAL DUCTS WITH CROSS-BREAK OR KINK FLAT SURFACES TO PREVENT VIBRATION AND PULSATION. HANG DUCTS WITH STRAPS OF 18 GAUGE GALVANIZED STEEL OF 1" WIDE. ANCHOR DUCTS SECURELY TO STRUCTURE, WITH SCREWS, IN SUCH A MANNER AS TO PREVENT TRANSMISSION WITH VIBRATION. UNDERGROUND ROUND DUCT SHALL BE SCHEDULE 40 P.V.C. PIPE OR P.V.S. PIPE (AS REQUIRED BY LOCAL JURISDICTION) WITH FUSION WELDED JOINTS AND CONNECTIONS. RUN OUTS TO FLOOR GRILLES SHALL BE FABRICATED FROM SHEET P.V.C. OR P.V.S. OF SAME THICKNESS AS PIPE WITH ALL JOINTS AND CONNECTIONS FUSION WELDED.

REMOVE DEBRIS AND TRASH FROM DUCT WORK AND VACUUM CLEAN DUCTS. RUN SUPPLY AND EXHAUST FANS BEFORE GRILLES AND REGISTERS ARE INSTALLED AND BEFORE CEILINGS AND WALLS ARE PAINTED. THE ADJUSTMENT OF THE AIR SYSTEMS SHALL BE DONE BY THE MECHANICAL CONTRACTOR SYSTEMS SHALL BE ADJUSTED TO WITHIN PLUS OR MINUS 5% OF THE AIR CAPACITY.

INSULATE ALL HEATING TRUNK AND BRANCH SUPPLY DUCTS IN UNFINISHED AREAS, CRAWLS SPACES, ATTICS AND

all Gas line materials, workmanship, and installation as per industry standards. Natural Gas Service LINES SHALL BE NO LESS THAN 1 INCH IN DIAMETER. ALL NATURAL GAS LINES TO BE SCHEDULE 40 BLACK STEEL OR FLEX PLASTIC PIPE AS APPROVED BY GAS COMPANY. (I.R.C. CHAPTER 24, R156-56-709 (3) AND STATE AMENDMENT TO IFGC)

ALL GAS APPLIANCES SHALL BE PROVIDED WITH A SHUT OFF VALVE. SHUT OFF VALVES SHALL BE LOCATED IN A PLACES SO AS TO PROVIDE ACCESS FOR OPERATION AND SHALL BE INSTALLED SO AS TO BE PROTECTED FROM DAMAGE.

23-01 RADIANT HEAT

MECHANICAL HEATING SYSTEM TO BE 80% EFFICIENT BOILER WITH RADIANT IN FLOOR HYDRONIC HEATING SYSTEM. THE SYSTEM SHALL BE CAPABLE OF MAINTAINING THE TEMPERATURE WITHIN 1 DEGREE OF THE THERMOSTAT SET POINT. THE CONTRACTOR SHALL GUARANTEE THAT THE SYSTEM SHALL HEAT AND COOL THE FACULTY TO 68 DEGREES FAHRENHEIT HEATING AND 70 DEGREES FAHRENHEIT COOLING AT 3'-0" ABOVE THE FLOOR AND 2'-0" FROM EXTERIOR WALLS THROUGH OUT THE STRUCTURE. SUPPLIER TO PROVIDE HEAT LOSS CALCULATIONS, SHOP DRAWINGS, THERMOSTAT LOCATIONS AND CUT SHEETS ON ALL PROPOSED EQUIPMENT. SIZE EQUIPMENT AS PER I.R.C. M1401.3. PROVIDE CLEARANCES AS PER MANUFACTURE. PROVIDE TWO SEPARATE COMBUSTION AIR DUCTS, (FROM EXTERIOR) ONE TERMINATING IN LOWER 12" AND ONE TERMINATING IN UPPER 12" OF THE SPACE AS REQUIRED. EACH DUCT SHALL HAVE A FREE AREA TO ALLOW COMBUSTION AIR AT A RATE OF 1 SQUARE INCH PER 4,000 BTU'S (FOR VERTICAL DUCTS) AND 1 SQUARE INCH PER 2,000 BTU'S (FOR HORIZONTAL DUCTS) OF TOTAL INPUT RATING OF ALL APPLIANCES IN THE SPACE, OR AS PER MANUFACTURES SPECIFICATIONS. ALTERNATE COMBUSTION AIR OPTIONS COMPLIANT WITH I.R.C.

23-02 MECHANICAL HEATING AND COOLING

BETWEEN COMBUSTIBLE MATERIALS AND VENTS AS PER CODE. (I.R.C. R303.8, CHAPTER 14, CHAPTER 17)

MECHANICAL HEATING SYSTEM TO BE 90% EFFICIENT FORCED AIR FURNACE SYSTEM. THE SYSTEM SHALL BE CAPABLE OF MAINTAINING THE TEMPERATURE WITHIN 1 DEDGREE OF THE THERMOSTAT SET POINT. THE CONTRACTOR SHALL GUARANTEE THAT THE SYSTEM SHALL HEAT AND COOL THE FACULTY TO 68 DEGREES FAHRENHEIT HEATING AND 70 DEGREES FAHRENHEIT COOLING AT 3'-0" ABOVE THE FLOOR AND 2'-0" FROM EXTERIOR WALLS THROUGH OUT THE STRUCTURE. SUPPLIER TO PROVIDE HEAT LOSS CALCULATIONS, SHOP DRAWINGS, THERMOSTAT LOCATIONS AND CUT SHEETS ON ALL PROPOSED EQUIPMENT. SIZE EQUIPMENT AS PER I.R.C. M1401.3. PROVIDE CLEARANCES AS PER MANUFACTURE. PROVIDE TWO SEPARATE COMBUSTION AIR DUCTS, (FROM EXTERIOR) ONE TERMINATING IN LOWER 12" AND ONE TERMINATING IN UPPER 12" OF THE SPACE AS REQUIRED. EACH DUCT SHALL HAVE A FREE AREA TO ALLOW COMBUSTION AIR AT A RATE OF 1 SQUARE INCH PER 4,000 BTU'S (FOR VERTICAL DUCTS) AND 1 SQUARE INCH PER 2,000 BTU'S (FOR HORIZONTAL DUCTS) OF TOTAL INPUT RATING OF ALL APPLIANCES IN THE SPACE, OR AS PER MANUFACTURES SPECIFICATIONS. ALTERNATE COMBUSTION AIR OPTIONS COMPLIANT WITH I.R.C. CHAPTER 17 AND G2407 MAY BE ALLOWED WHEN DEEMED APPROPRIATE AND APPROVED. PROVIDE CLEARANCE BETWEEN COMBUSTIBLE MATERIALS AND VENTS AS PER CODE. (I.R.C. R303.8, CHAPTER 14, CHAPTER 17)

COORDINATE WITH MECHANICAL AND PLUMBING PLANS FOR ALL EQUIPMENT AND FIXTURE LOCATIONS. COORDINATE WITH MECHANICAL AND PLUMBING FIXTURE SCHEDULES. COORDINATE WITH MECHANICAL AND PLUMBING KEY NOTES, INTERNATIONAL BUILDING CODE AND RELATED CODES FOR INSTALLATION REQUIREMENTS.

23-05 METAL DUCTWORK

PROJECTS THAT REQUIRE MECHANICAL DUCT WORK SHALL CONFORM TO THE FOLLOWING. ALL DUCT WORK SHALL BE CONSTRUCTED FROM GALVANIZED SHEET STEEL TO CONFORM WITH "SMACNA" LOW PRESSURE DUCT CONSTRUCTION STANDARDS AND I.R.C. CHAPTER 16. FABRICATE SHEET METAL DUCTS WITH CROSS-BREAK OR KINK FLAT SURFACES TO PREVENT VIBRATION AND PULSATION. HANG DUCTS WITH STRAPS OF 18 GAUGE GALVANIZED STEEL OF 1" WIDE. ANCHOR ducts securely to structure, with screws, in such a manner as to prevent transmission with vibration. UNDERGROUND ROUND DUCT SHALL BE SCHEDULE 40 P.V.C. PIPE OR P.V.S. PIPE (AS REQUIRED BY LOCAL JURISDICTION) WITH FUSION WELDED JOINTS AND CONNECTIONS. RUN OUTS TO FLOOR GRILLES SHALL BE FABRICATED FROM SHEET P.V.C. OR P.V.S. OF SAME THICKNESS AS PIPE WITH ALL JOINTS AND CONNECTIONS FUSION WELDED.

COORDINATE WITH MECHANICAL AND PLUMBING PLANS FOR ALL EQUIPMENT AND FIXTURE LOCATIONS. COORDINATE WITH MECHANICAL AND PLUMBING FIXTURE SCHEDULES. COORDINATE WITH MECHANICAL AND PLUMBING KEY NOTES, INTERNATIONAL BUILDING CODE AND RELATED CODES FOR INSTALLATION REQUIREMENTS.

23-06 AIR CONDITIONING CONDENSER

COORDINATE WITH MECHANICAL AND PLUMBING PLANS FOR ALL EQUIPMENT AND FIXTURE LOCATIONS. COORDINATE WITH MECHANICAL AND PLUMBING FIXTURE SCHEDULES. COORDINATE WITH MECHANICAL AND PLUMBING KEY NOTES, INTERNATIONAL BUILDING CODE AND RELATED CODES FOR INSTALLATION REQUIREMENTS.

23-07 EXHAUST FAN

FANS SHALL BE DIRECTLY VENTED TO THE EXTERIOR

FANS MUST BE CAPABLE OF TO MAINTAIN 50 CFM WITHIN ROOM LOCATED.

COORDINATE WITH MECHANICAL AND PLUMBING PLANS FOR ALL EQUIPMENT AND FIXTURE LOCATIONS. COORDINATE WITH MECHANICAL AND PLUMBING FIXTURE SCHEDULES. COORDINATE WITH MECHANICAL AND PLUMBING KEY NOTES. INTERNATIONAL BUILDING CODE AND RELATED CODES FOR INSTALLATION REQUIREMENTS.

23-08 RECESSED DRYER VENT BOX

DBX PRODUCTS

DBX 1000 PLASTIC DRYER VENT BOX

MADE OF HIGH IMPACT PLYSTYRENE, AND IS AVAILABLE IN 4" OR A 6" SIZE. THE DRYER VENT BOX CAN BE USED BOTH FOR UP AND DOWN VENT. A SNAP ON TRIM RING FOR FINISH TRIM AT EDGE. DBX 1000M- METAL DRYER VENT BOX WITH SNAP ON TRIM RING THE DBX 1000M IS 9 3/4" X 13 7/8" AND 3 1/2" DEEP. IT IS A 22 GAUGE METAL DRYER VENT BOX WITH A

22 GAUGE "SNAP ON TRIM RING". IT CAN BE INSTALLED IN 16" OR 24" O.C. FRAMING. THE DBX 1000M DRYER VENT BOX/RING IS POWDER COATED. FOR OPTIMUM RESULTS INSTALL THE DBX 1000M UP/DOWN VENTING IN 2"X4" OR 2"X6" FRAMED WALLS AS FOLLOWS: CONTRACTOR MAY SUBMIT A EQUAL SUBSTITUTE

FOLLOW MANUFACTURER RECOMMENDED INSTALLATION INSTRUCTIONS.

DBX 1000 - PLASTIC INSTALLATION 1. ORIENT BOX TO MATCH DESIRED VENTING DIRECTION, SCORE & REMOVE APPROPRIATE TOP OR REAR INCH OVAL VENT PIPEKNOCK OUT. ALLOW MINIMUM OF 4 INCHES OF VENT OF PIPE TO EXTEND INSIDE BOX 2. IF GAS LINE IS TO BE INSTALLED, LOCATE 1% STRAW CLAMP ON TOP OF BOX, CUT THE WEBS BETWEEN THE 8 FINS WITH AUTILITY KNIFE, PUSH THE GAS LINE THROUGH THE STRAW CLAMP, THE FINS WILL FLEX INWARD HOLDING

3. SLIDE BOX INTO POSITION TAKING CARE TO CORRECTLY ALIGN VENT PIPE AND GAS PIPE (IF PRESENT) 4. SPACING TABS WILL AUTOMATICALLY POSITION BOX SO THAT BOTTOM, INSIDE EDGE IS FROM 21/4 TO 25/6 INCHES ABOVEUNFINISHED FLOOR TO ALLOW CLEARANCE BETWEEN TRIM RING AND FINISHED FLOOR COVERING. TAB MAY BE REMOVED IF ADIFFERENT SPACING IS DESIRED.

5. ATTACH BOX DIRECTLY TO BOTH RIGHT AND LEFT STUDS USING THE SIX FLANGE SCREW HOLES. SCREWS ARE RECOMMENDED FOR MOUNTING.

1. SNAP OUT LEFT OR RIGHT TRIM RING "CUT OUT" (SEE DETAIL BELOW). 2. LEAVE 13/4 INCHES BETWEEN INSIDE EDGE OF BOX AND END OF BASEBOARD TO ALLOW FOR TRIM RING

3. SNAP TRIM RING INTO OPENING, NO CAULKING REQUIRED. 4. LEAVE UNFINISHED OR PAINT WITH DESIRED COLOR.

1. ORIENT BOX TO MATCH DESIRED VENTING DIRECTION. ALLOW A MINIMUM OF 4" OF VENT PIPE TO

2. IF GAS LINE IS TO BE INSTALLED, INSERT INTO KNOCKOUT PROVIDED. 3. SLIDE BOX INTO POSITION TAKING CARE TO CORRECTLY ALIGN VENT PIPE AND GAS PIPE (IF PRESENT). 4. SET BOX SO THAT THE BOTTOM IS 2 5/8" ABOVE THE FLOOR TO ALLOW CLEARANCE FOR THE TRIM RING. 5. ATTACH BOX DIRECTLY TO EITHER FRAMING MEMBER AND USE STRAPS TO SECURE THE OTHER SIDE TO THE

OPPOSITE FRAMING MEMBER. 6. SCREWS OR NAILS (1 1/4") IN LENGTH TO ATTACH THE DBX1000M BOX TO FRAMING.

TRIM INSTALLATION INSTRUCTIONS: 1. TRIM CARPENTER TO LEAVE 1 ½" BETWEEN INSIDE EDGE OF BOX AND END OF BASEBOARD TO ALLOW

2. SNAP TRIM RING INTO OPENING, NO CAULKING REQUIRED. 3. TRIM RING IS POWDER COATED, NO FINISHING REQUIRED. 4. TRIM RING ACCOMMODATES 1/2" OR 5/8" DRYWALL.

DIVISION 26- ELECTRICAL

ALL DRAWINGS INDICATE LOCATIONS OF ELECTRICAL ITEMS AS DIAGRAMMATIC. LOCATIONS SHALL BE PER APPROPRIATE CODES AND OWNER.

Contractor shall coordinate with electrical plans for all desired locations for electrical switches OUTLETS, SCHEMATIC WIRING, EQUIPMENT AND FIXTURE LOCATIONS. COORDINATE WITH ELECTRICAL FIXTURE SCHEDULES AS SELECTED BY ARCHITECT OR OWNER. COORDINATE WITH ELECTRICAL KEY NOTES, INTERNATIONAL BUILDING CODE AND RELATED CODES FOR INSTALLATION REQUIREMENTS, AND ADDITIONAL INFORMATION.

ELECTRICAL CONTRACTOR SHALL INSTALL ALL BOXES FOR OUTLETS, SWITCHES, LIGHTS, DATA, COMMUNICATIONS AND ALL SPECIALITY ITEMS AND SHALL REVIEW AND RECEIVE APPROVAL FROM OWNER/ARCHITECT/DESIGNER PRIOR TO INSTALLATION OF WIRING. RELOCATION OF BOXES AFTER WIRING AS DIRECTED BY OWNER/ARCHITECT/DESIGNER WITHOUT APPROVAL OF LOCATION SHALL BE COMPLETED WITH NOT COST TO THE OWNER.

THE ELECTRICAL SYSTEM SHALL COMPLY WITH 2012 I.R.C. AND 2005 N.E.C. AND BE INSTALLED IN STRICT ACCORDANCE WITH LOCAL, STATE, AND NATIONAL CODES. THE CONTRACTOR SHALL PERFORM ALL WORK IN CONFORMITY WITH THESE REGULATIONS WHETHER OR NOT SUCH WORK IS SPECIFICALLY SHOWN ON THE DRAWINGS.

THE CONTRACTOR SHALL BE RESPONSIBLE TO FURNISH AND INSTALL FEEDERS, PANELS BOARDS, RELAY BRANCH CIRCUIT WIRING, CONDUITS, WIRE, METER BASES, COMPLETE WIRING FOR MOTORS, EXHAUST FANS, LINE VOLTAGE CONNECTIONS FOR HVAC EQUIPMENT SPECIALTY LIGHTING FIXTURES, OUTLET BOXES, COVER PLATES, WALL SWITCHES, FIXTURES

ALL DRAWINGS INDICATE LOCATIONS AS DIAGRAMMATIC. LOCATIONS SHALL BE PER APPROPRIATE CODES AND OWNER. CONTRACTOR TO COORDINATE WITH MECHANICAL CONTRACTOR FOR ALL POWER REQUIREMENTS. (I.R.C. E3801)

PROVIDE A U-FER GROUND. AN ELECTRODE ENCASED BY A LEAST 2" OF CONCRETE SHALL BE LOCATED NEAR THE BOTTOM OF THE CONCRETE FOUNDATION SYSTEM AND SHALL BE IN DIRECT CONTACT WITH THE EARTH, CONSISTING OF AT LEAST 20 FEET OF BARE ELECTRICALLY CONDUCTIVE ROD AT LEAST 1/2 INCH IN DIAMETER OR BARE COPPER CONDUCTOR NOT SMALLER THAN 4 AWG. (I.R.C. E3508.1.2 AND N.E.C. 250.50)

ELECTRICAL SERVICE CAPACITY AND SIZE SHALL BE COMPUTED BY METHOD INDICATED IN THE I.R.C. AND NATIONAL ELECTRICAL CODE. PANELS OR CABINETS ENCLOSING FUSES, CIRCUIT BREAKERS, SWITCHES OR OTHER ELECTRICAL SERVICE EQUIPMENT SHALL BE IN AN INCONSPICUOUS ACCESSIBLE AND PROTECTED LOCATION. ELECTRICAL PANEL CLEARANCES TO BE A MINIMUM 30" WIDTH, 36" DEPTH AND 6'-6" FROM FLOOR TOP. ELECTRICAL METER BASE SHALL BE LOCATED IN AN AREA THAT IS PROTECTED FROM OUTSIDE WEATHER. (I.R.C. E3305)

ALL RECEPTACLES LOCATED WITH THE FOLLOWING CONDITIONS TO BE GFCI PROTECTED: ALL KITCHEN COUNTERS, IN BATHROOMS, OUTSIDE AT GRADE LEVEL, UNFINISHED BASEMENTS, CRAWL SPACES, AND IN GARAGES. GARAGE RECEPTACLES TO BE 18" ABOVE FINISHED FLOOR. (I.R.C. E3802)

ALL SWITCHES, RECEPTACLES, TELEPHONE JACKS AND CATV JACKS TO BE "LEVITON" 5601 ROCKER SERIES IN WHITE. (O.A.E.) DIMMER SWITCHES TO BE "LUTRON" DIVA ROCKER SERIES IN WHITE. (O.A.E.) HEIGHT OF LIGHT SWITCHES FROM FINISHED FLOOR TO TOP OF SWITCH TO BE 48" TYPICAL UNLESS NOTED OTHERWISE. THE MOUNTING FROM THE FINISH FLOOR TO THE CHAPTER 17 AND G2407 MAY BE ALLOWED WHEN DEEMED APPROPRIATE AND APPROVED. PROVIDE CLEARANCE CENTER OF OUTLETS INCLUDING TELEPHONE, CATV, ETC. SHALL BE 18" TYPICAL. AT DESKS AND OTHER SURFACES THE OUTLETS SHALL BE 12" TO CENTERLINE ABOVE SURFACE. SWITCHES, OUTLETS, TELEPHONE, CATV, ETC. LOCATIONS SHALL BE APPROVED PRIOR TO COMMENCEMENT OF WIRING.

> UNLESS NOTED OTHERWISE LOCATE AND INSTALL ONE (1) GFCI WEATHER PROTECTED RECEPTACLE AT GRADE LEVEL AND OUTSIDE AT SOFFIT AT EACH EXTERIOR DOOR.

> ALL FIXTURES SHALL HAVE A U.L. LABEL LISTING. IF NOT U.L. LISTED FIXTURE SHALL NOT BE USED. ALL RECESS DOWN LIGHTS LOCATED IN INSULATED CEILINGS TO BE THERMAL RATED AND BE AN AIR TIGHT SEAL TYPE CAN. ALL CAST IN PLACE IXTURES TO BE INCLUDED IN BASE BID. ALL RECESSED DOWN LIGHTS TO BE INCLUDED IN BASE BID WITH TRIM RINGS AS SELECTED BY DESIGNER OR OWNER. ALL LIGHTS IN CLOSETS SHALL MEET I.R.C. E3903.11 REQUIREMENTS. ALL LIGHTS LOCATED IN WET OR DAMP LOCATIONS SHALL MEET I.R.C. E3903.8 - E3903.10 REQUIREMENTS.

SMOKE DETECTORS TO BE HARD WIRED TO BUILDING CIRCUIT AND INTERCONNECTED WITH BATTERY BACK UP. PROVIDE SMOKE DETECTORS AT ALL BUILDING LEVELS, IN ALL BEDROOMS, ACCESS TO ALL BEDROOMS, ETC. (I.R.C. R313)

ALL BRANCH CIRCUITS THAT SUPPLY RECEPTACLE OUTLETS IN BEDROOMS NEED TO BE PROVIDED WITH ARC-FAULT PROTECTION. (N.E.C. 210-12) (IRC E3802.12)

ALL STRUCTURED WIRING (IE. FUTURE SMART CABLE, CAT5E, ETC. TO HAVE A MINIMUM SEPARATION OF 12" BETWEEN HIGH CARBON MONOXIDE DETECTORS TO BE INSTALLED ON EACH HABITABLE LEVEL OF A DWELLING UNIT EQUIPPED WITH FUE BURNING APPLIANCES. DETECTOR TO BE HARD WIRED TO BUILDING CIRCUIT WITH BATTERY BACK UP. (I.R.C. 313.2 AND STATE AMENDMENT)

26-01 ELECTRICAL SERVICE EQUIPMENT

EECTRICAL SYSTEM TO BE INSTALLED IN STRICT ACCORDANCE WITH LOCAL, STATE, AND FEDERAL BUILDING CODES, THE CONTRACTOR SHALL PERFORM ALL WORK IN CONFORMITY WITH THESE REGULATIONS WHETHER OR NOT SUCH WORK IS SPECIFICALLY SHOWN ON THE DRAWINGS.

THE CONTRACTOR SHALL BE RESPONSIBLE TO FURNISH AND INSTALL FEEDERS, PANEL BOARDS, RELAY BRANCH CIRCUIT WIRING, CONDUITS, WIRE, METER BASES, COMPLETE WIRING FOR MOTORS, EXHAUST FANS, LINE VOLTAGE CONNECTIONS FOR HVAC EQUIPMENT, SPECIALTY LIGHTING FIXTURES, OUTLET BOXES, COVER PLATES, WALL SWITCHES, RECEPTACLES, ETC.

ALL DRAWINGS INDICATE LOCATIONS OF ELECTRICAL ITEMS AS DIAGRAMMATIC. LOCATIONS SHALL BE PER APPROPRIATE

ELECTRICAL SERVICE CAPACITY AND SIZE SHALL BE COMPUTED BY THE METHOD IRC CHAPTER 36.

unless indicated in the 2012 irc and national electrical code, panels or cabinets enclosing fuses, circuit BREAKERS, SWITCHES, OR OTHER ELECTRICAL SERVICE EQUIPMENT SHALL BE IN AN INCONSPICUOUS ACCESSIBLE AND PROTECTED LOCATION. ELECTRICAL PANEL CLEARANCES TO BE A MINIMUM 30" WIDTH, 36" DEPTH AND 6'-6" FROM FINISHED FLOOR, ELECTRICAL METER BASE SHALL BE LOCATED IN AN AREA THAT IS PROTECTED FROM OUTSIDE WEATHER.

26-02 ELECTRICAL LIGHT FIXTURES

LIGHTING CONTROLS AND MOTORIZED SHADES BY LUTRON. MANUFACTURER TO PROVIDE SHOP DRAWINGS AND SPECIFICATIONS TO BE REVIEWED BY ARCHITECT.

LIGHT SWITCHES SHALL BE INSTALLED AT A HEIGHT OF 48" FROM FINISHED FLOOR TO TOP OF SWITCH, UNLESS NOTED OTHERWISE. THE MOUNTING FROM THE FINISH FLOOR TO THE CENTER OF OUTLETS INCLUDING TELEPHONE, CATV, ETC. SHALL BE 18" TYPICAL. AT DESKS AND OTHER SURFACES THE OUTLETS SHALL BE A MAXIMUM OF 12" FROM THE CENTER LINE OF THE OUTLET ABOVE SURFACE. SWITCHES, OUTLETS, TELEPHONE, CATV, ETC. LOCATIONS SHALL BE APPROVED PRIOR TO COMMENCEMENT OF WIRING.

26-03 ELECTRICAL OUTLETS

LEVITON 5601 ROCKER SERIES IN WHITE DIMMER SWITCHES - LUTRON "DIVA" ROCKER SERIES IN WHITE

ALL RECEPTACLES LOCATED WITH THE FOLLOWING LOCATIONS ARE TO BE GFCI PROTECTED: ALL KITCHEN COUNTERS, IN ALL BATHROOMS, OUTSIDE AT GRADE LEVEL, IN UNFINISHED BASEMENTS, AND IN GARAGES. GARAGE RECEPTACLES TO BE

26-06 TELEPHONE EQUIPMENT

THE TELEPHONE SYSTEM SHALL BE THE RESPONSIBILITY OF THE OWNER/DEVELOPER/CONTRACTOR TO COORDINATE AND PROVIDE DIRECTION FOR INSTALLATION AND LOCATION OF OUTLETS.

26-07 STRUCTURED WIRING

ALL STRUCTURED WIRING SHALL BE A MINIMUM OF CAT 6 ALL LOCATIONS OF STRUCTURED WIRING SHALL BE THE RESPONSIBILITY OF THE OWNER/DEVELOPER/ CONTRACTOR TO COORDINATE AND PROVIDE DIRECTION FOR INSTALLATION AND LOCATION OF OUTLETS

DIVISION 31- EARTHWORK 31-01 SITE CLEARING

PROTECTING EXISTING TREES, SHRUBS, GROUNDCOVERS, PLANTS, AND GRASS TO REMAIN.

REMOVING EXISTING TREES, SHRUBS, GROUNDCOVERS, PLANTS, AND GRASS. CLEARING AND GRUBBING.

STRIPPING AND STOCKPILING TOPSOIL.

REMOVING ABOVE- AND BELOW-GRADE SITE IMPROVEMENTS

DISCONNECTION AND CAPPING OR SEALING SITE UTILITIES.

TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES.

SALVABLE IMPROVEMENTS: CAREFULLY REMOVE ITEMS INDICATED TO BE SALVAGED AND STORE ON OWNER'S PREMISES WHERE INDICATED.

UTILITY LOCATOR SERVICE: NOTIFIY UTILITY LOCATOR SERVICE FOR AREA WHERE PROJECT IS LOCATED.

DO NOT COMMENCE SITE CLEARING OPERATIONS UNTIL TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES

OBTAIN APPROVED BORROW SOIL MATERIALS OFF-SITE WHEN SATISFACTORY SOIL MATERIALS ARE NOT AVAILABLE ON-SITE. PROTECT AND MAINTAIN BENCHMARKS AND SRUVEY CONTROL POINTS FROM DISTURBANCE DURING CONSTRUCTION. LOCATE AND CLEARLY FLAG TREES AND VEGETATION TO REMAIN OR TO BE RELOCATED.

PROTECT EXISTINT SITE IMPROVEMENTS TO REMAIN FROM DAMAGE DURING CONSTRUCTION. RESTORE DAMAGED IMPROVEMENTS TO THEIR ORIGINAL CONDITION, AS ACCEPTABLE TO OWNER.

OF SOIL-BEARING WATER RUNOFF OR AIRBORNE DUST TO ADJACENT PROPERTIES AND WALKWAYS.

INSPECT, REPAIR, AND MAINTAIN EROSION AND SEDIMENTATION CONTROL MEASURES DURING CONSTRUCTION UNTIL PERMANENT VEGETATION HAS BEEN ESTABLISHED. REMOVE EROSION AND SEDIMENTATION CONTROLS AND RESTORE AND STABILIZE AREAS DISTURBED DURING REMOVAL.

ERECT AND MAINTAIN TEMPORARY FENCING AROUND TREE PROTECTION ZONES BEFORE STARTING SITE CLEARING. REMOVE FENCE WHEN CONSTRUCTION IS COMPLETE.

DO NOT EXCAVATE WITHIN TREE PROTECTION ZONES, UNLESS OTHERWISE INDICATED.

REPAIR OR REPLACE TREES AND VEGETATION INDICATED TO REMAIN THAT ARE DAMAGED BY CONSTRUCTION OPERATIONS, IN A MANNER APPROVED BY ARCHITECT.

LOCATE, IDENTIFY, DISCONNECT, AND SEAL OR CAP OFF UTILITIES INDICATED TO BE REMOVED. ARRANGE WITH UTILITY COMPANIES TO SHUT OFF INDICATED UTILITIES.

EXISTING UTILITIES: DON OT INTERRUPT UTILITIES SERVING FACILITIES OCCUPIED BY OWNER OR OTHERS UNLESS PERMITTED UNDER THE FOLLOWING CONDITIONS AND THEN ONLY AFTER ARRANGING TO PROVIDE TEMPORARY UTILITY SERVICES ACCORDING TO REQUIREMENTS INDICATED: NOTIFY ARCHITECT NOT LESS THAN TWO DAYS IN ADVANCE OF PROPOSED UTILITY INTERRUPTIONS.

ill depressions caused by clearing and grubbing operations with satisfactory soil materila unless

DO NOT PROCEED WITH UTILITY INTERRUPTIONS WITH ARCHITECT'S PERMISSION.

FURTHER EXCAVATION OR EARTHWORK IS INDICATED. PLACE FILL MATERIAL IN HORIZONTAL LAYERS NOT EXCEEDING A LOOSE DEPTH OF 8 INCHES AND COMPACT EACH LAYER TO A DENSITY EQUAL TO ADJACENT ORIGINAL GROUND. REMOVE SOD AND GRASS BEFORE STRIPPING TOPSOIL.

STRIP TOPSOIL TO WHATEVER DEPTHS ARE ENCOUNTERED IN A MANNER TO PREVENT INTERMINGLING WITH UNDERLYING STOCKPILE TOPSOIL MATERIALS AWAY FROM THE EDGE OF EXCAVATIONS WITHOUT INTERMIXING WITH SUBSOIL. GRADE AND SHAPE STOCKPILES TO DRAIN SURFACE WATER. COVER TO PREVENT WINDBLOWN DUST.

REMOVE EXISTING ABOVE- AND BELOW-GRADE IMPROVEMENTS AS INDICATED AND AS NECESSARY TO FACILITATE NEW

DISPOSAL: REMOVE SURPLUS SOIL MATERIAL, UNSUITABLE TOPSOIL, OBSTRUCTION, DEMOLISHED MATERIALS, AND WASTE

MATERIALS INCLUDING TRASH AND DEBRIS, AND LEGALLY DISPOSE OF THEM OFF OWNER'S PROPERTY. SEPARATE RECYCLABLE MATERIALS PRODUCED DURING SITE CLEARING FROM OTHER NONRECYCLABLE MATERIALS. STORE OR STOCKPILE WITHOUT INTERMIXING WITH OTHER MATERIALS AND TRANSPORT THEM TO RECYCLING FACILITIES.

31-02 EARTHWORK

PREPARING SUBGRADES FOR SLABS-ON-GRADE, WALKS, PAVEMENTS, LAWNS AND GRASSES, AND EXTERIOR PLANTS.

EXCAVATING AND BACKFILLING FOR BUILDING AND STRUCTURES.

DRAINAGE COURSE FOR SLABS-ON-GRADE.

OTHER DELETERIOUS MATTER.

SUBBASE COURSE FOR CONCRETE WALKS, PAVEMENTS.

SUBBASE AND BASE COURSE FOR ASPHALT PAVING.

EXCAVATING AND BACKFILLING FOR UTILIITY TRENCHES.

XISTING UTILITIES: DO NOT INTERRUPT UTILITIES SERVING FACILITIES OCCUPIED BY OWNER OR OTHERS UNLESS PERMITTED IN WRITING BY ARCHITECT AND THEN ONLY AFTER ARRANGING TO PROVIDE TEMPORARY UTILITY

SERVICES ACCORDING TO REQUIREMENTS INDICATED.

GENERAL: PROVIDE BORROW SOIL MATERIALS WHEN SUFFICIENT SATISFACTORY SOIL MATERIALS ARE NOT AVAILABLE FROM EXCAVATIONS SATISFACTORY SOILS: [ASTM D 2487 SOIL CLASSIFICATION GROUPS GW, GP, GM, SW, SP, AND SM] [AASHTO M 145

UNSATISFACTORY SOILS: SOILS CLASSIFICATION GROUPS [GC, SC,CL, ML, OL, CH, MH, OH, AND PT ACCORDING TO ASTM D 24871 [A-2-6, A-2-7, A-4, A-5, A-6, AND A-7 ACCORDING TO AASHTO M 1451, OR A COMBINATION OF THESE GROUPS. UNSATISFACTORY SOILS ALSO INCLUDE SATISFACTORY SOILS NOT MAINTED WITHIN 2 PERCENT OF OPTIMUM MOISTURE CONTENT AT TIME OF COMPACTION.

SOIL CLASSIFICATIONS GROUPS A-1, A-2-4, A-2-5, AND A-31, OR A COMBINATION OF THESE GROUPS; FREE OF ROCK

OR GRAVEL LARGER THAN 3 INCHES IN ANY DIMENSION, DEBRIS, WASTE, FROZEN MATERIALS, VEGETATION, AND

PROTECT STRUCTURES, UTILITIES, SIDEWALKS, PAVEMENTS AND OTHER FACILITIES FROM DAMAGE CAUSED BY SETTLEMENT, LATERAL MOVEMENT, UNDERMINING, WASHOUT, AND OTHER HAZARDS CREATED BY EARTHWORK

PREPARATION OF SUBGRADE FOR EARTHWORK OPERATIONS INCLUDING REMOVAL OF VEGETATION, TOPSOIL,

IF EXCAVATED MATERIALS INTENDED FOR FILL AND BACKFILL INCLUDE UNSATISFACTORY SOIL MATERIALS AND

PROTECT AND MAINTAIN EROSION AND SEDIMENTATION CONTROLS.

DEBRIS, OBSTRUCTIONS, AND DELETERIOUS MATERIALS FROM GROUND SURFACE.

ROCK, REPLACE WITH SATISFACTORY SOIL MATERIALS. EXCAVATE FOR STRUCTURES TO INDICATED ELEVATIONS AND DIMENSIONS WITHIN A TOLERANCE OF PLUS OR MINUS 1 INCH. IF APPLICABLE, EXTEND EXCAVATIONS A SUFFICIENT DISTANCE FROM STRUCTURES FOR PLACING AND REMOVING CONCRETE FORMWORK, FOR INSTALLING SERVICES AND OTHER CONSTRUCTION, AND FOR

INSPECTIONS EXCAVATE SURFACES UNDER WALKS AND PAVEMENTS TO INDICATED LINES, CROSS SECTIONS, ELEVATIONS, AND

PLACE, GRADE, AND SHAPE STOCKPILES TO DRAIN SURFACE WATER. STOCKPILE SOIL MATERIALS AWAY FROM EDGE OF EXCAVATIONS. DO NOT STORE WITHIN DRIP LINE OF REMAINING

PLACE AND COMPACT FILL MATERIAL IN LAYERS TO REQUIRED ELEVATIONS AS FOLLOWS: UNDER FOOTINGS AND FOUNDATIONS, USE ENGINEERED FILL.

STOCKPILE BORROW SOIL MATERIALS AND EXCAVATED SATISFACTORY SOIL MATERIALS WITHOUT INTERMIXING.

PLACE BACKFILL AND FILL SOIL MATERIALS IN LAYERS NOT MORE THAN 8 INCHES IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HEAVY COMPACTION EQUIPMENT, AND NOT MORE THAN 4 INCHES IN LOOSE DEPTH FOR MATERIAL COMPACTED BY HAND-OPERATED TAMPERS. UNDER WALKWAYS, SCARIFY AND RECOMPACT TOP 6 INCHES BELOW SUBGRADE AND COMPACT EACH LAYER OF BACKFILL OR FILL SOIL MATERIAL AT 92 PERCENT.

UNDER LAWN OR UNPAVED AREAS, SCARIFY AND RECOMPACT TOP 6 INCHES BELOW SUBGRADE AND COMPACE EACH LAYER OF BACKFILL OR FILL SOIL MATERIAL AT 85 PERCENT. FOR UTILITY TRENCHES, COMPACT EACH LAYER OF INITIAL AND FINAL BACKFILL SOIL MATERIAL AT 85

GENERAL: UNIFORMLY GRADE AREAS TO A SMOOTH SURFACE, FREE OF IRREGULAR SURFACE CHANGES. COMPLY WITH PRODUCT DATA: FOR EACH TYPE OF PRODUCT INDICATED. INCLUDE THE EPA-REGISTERED LABEL. COMPACTION REQUIREMENTS AND GRADE TO CROSS SECITONS, LINES, AND ELEVATIONS INDICATED. PROVIDE TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES TO PREVENT SOIL EROSION AND DISCHARGE SLOPE GRADES TO DIRECT WATER AWAY FROM BUILDINGS TO PREVENT PONDING. FINISH SUBGRADES TO REQUIRED ELEVATIONS WITHIN THE FOLLOWING TOLERANCES:

> LAWN OR UNPAVED AREAS: PLUS OR MINUS 11 INCH. WALKS: PLUS OR MINUS 1 INCH.

> > PAVEMENTS: PLUS OR MINUS 1/2 INCH.

GRADING INSIDE BUILDING LINES: FINISH SUBGRADE TO A TOLERANCE OF ½ INCH WHEN TESTED WITH A 10-FOOT

SUBBASE AND BASE COURSES SUBBASE [AND BASE] COURSE ON SUBGRADES FREE OF MUD, FROST, NOW, OR ICE. ON PREPARED SUBGRADE, PLACE SUBBASE [AND BASE] COURSE UNDER PAVEMENTS AND WALKS AS FOLLOWS:

SECTIONS, AND THICKNESS TO NOT LESS THAN 95 PERCENT OF MAXIMUM DRY UNIT WEIGHT ACCORDING TO [ASTM D 698]

QUALITY ASSURANCE [ASTM D 1557]. DRAINAGE COURSE

PLACE DRAINAGE COURSE ON SUBGRADES FREE OF MUD, FROST, SNOW, OR ICE. ON PREPARED SUBGRADE, PLACE AND COMPACT DRAINAGE COURSE UNDER CAST-IN-PLACE CONCRETE SLABS-ON-PLACE DRAINAGE COURSE THAT EXCEEDS 6 INCHES IN COMPACTED THICKNESS IN LAYERS OF EQUAL THICKNESS, WITH NO COMPACTED LAYER MORE THAN 6 INCHES THICK OR LESS THAN 3 INCHES THICK.

SHAPE SUBBASE [AND BASE] COURSE TO REQUIRED CROWN ELEVATIONS AND CROSS-SLOPE GRADES.

COMPACT SUBBASE [AND BASE] COURSE AT OPTIMUM MOISTURE CONTENT TO REQUIRED GRADES, LINES, CROSS

COMPACT EACH LAYER OF DRAINAGE COURSE TO REQUIRED CROSS SECTIONS AND THICKNESSES TO NOT LESS THAN 95 PERCENT OF MAXIMUM DRY UNIT WEIGHT ACCORDING TO ASTM D 698. WHERE SETTLING OCCURS, REMOVE FINISHED SURFACING, BACKFILL WITH ADDITIONAL SOIL MATERIAL, COMPACT, AND RECONSTRUCT SURFACING.

RESTORE APPEARANCE, QUALITY, AND CONDITION OF FINISHED SURFACING TO MATCH ADJACENT WORK, TO GREATEST

SECTION INCLUDES TEMPORARY EXCAVATION SUPPORT AND PROTECTION SYSTEMS.

URNISH, INSTALL, MONITOR, AND MAINTAIN EXCAVATION SUPPORT AND PROTECTION SYSTEM CAPABLE OF SUPPORTING EXCAVATION SIDEWALLS AND OF RESISTING SOIL AND HYDROSTATIC PRESSURE AND SUPERIMPOSED AND CONSTRUCTION LOADS. DESIGN EXCAVATION SUPPORT AND PROTECTION SYSTEM, INCLUDING COMPREHENSIVE ENGINEERING ANALYSIS BY A QUALIFIED PROFESSIONAL ENGINEER, USING PERFORMANCE REQUIREMENTS AND DESIGN CRITERIA INDICATED.

SHOP DRAWINGS: FOR EXCAVATION SUPPORT AND PROTECTION SYSTEM.

DELEGATED-DESIGN SUBMITTAL: FOR EXCAVATION SUPPORT AND PROTECTION SYSTEM INDICATED TO COMPLY WITH PERFORMANCE REQUIREMENTS AND DESIGN CRITERIA, INCLUDING ANALYSIS DATA SIGNED AND SEALED BY THE QUALIFIED PROFESSIONAL ENGINEER RESPONSIBLE FOR THEIR PREPARATION.

Survey Work: engage a qualified land Surveyor or professional engineer to Survey adjacent EXISTING BUILDINGS, STRUCTURES, AND SITE IMPROVEMENTS; ESTABLISH EXACT ELEVATIONS AT FIXED POINTS TO ACT

AS BENCHMARKS. CLEARLY IDENTIFY BENCHMARKS AND RECORD EXISTING ELEVATIONS. DURING INSTALLATION OF EXCAVATION SUPPORT AND PROTECTION SYSTEMS, REGULARLY RESURVEY BENCHMARKS, MAINTAINING AN ACCURATE LOG OF SURVEYED ELEVATIONS AND POSITIONS FOR COMPARISON WITH ORIGINAL ELEVATIONS AND POSITIONS. PROMPTLY NOTIFY ARCHITECT IF CHANGES IN ELEVATIONS OR POSITIONS OCCUR OR IF CRACKS, SAGS, OR OTHER DAMAGE IS EVIDENT IN ADJACENT CONSTRUCTION.

GENERAL: PROVIDE MATERIALS THAT ARE EITHER NEW OR IN SERVICEABLE CONDITION.

STRUCTURAL STEEL: ASTM A 36/A 36M, ASTM A 690/A 690M, OR ASTM A 992/A 992M.

STEEL SHEET PILING: ASTM A 328/A 328M, ASTM A 572/A 572M, OR ASTM A 690/A 690M; WITH CONTINUOUS

WOOD LAGGING: LUMBER, MIXED HARDWOOD, NOMINAL ROUGH THICKNESS OR [SIZE AND STRENGTH REQUIRED

CAST-IN-PLACE CONCRETE: AC1301, OF COMPRESSIVE STRENGTH REQUIRED FOR APPLICATION.

REINFORCING BARS: ASTM A 615/A 615M, GRADE 60 (GRADE 420), DEFORMED.

EXECUTION

SOLDIER PILES: INSTALL STEEL SOLDIER PILES BEFORE STARTING EXCAVATION. EXTEND SOLDIER PILES BELOW EXCAVATION GRADE LEVEL TO DEPTHS ADEQUATE TO PREVENT LATERAL MOVEMENT. SPACE SOLDIER PILES AT REGULAR INTERVALS NOT TO EXCEED ALLOWABLE FLEXURAL STRENGTH OF WOOD LAGGING. ACCURATELY ALIGN EXPOSED FACES OF FLANGES TO VARY NOT MORE THAN 2 INCHES (50 MM) FROM A HORIZONTAL LINE NAD NOT MORE THAN 1:120 OUT OF VERTICAL ALIGNMENT 1.INSTALL WOOD LAGGING WITHIN FLANGES OF SOLDIER PILES AS EXCAVATION PROCEEDS. TRIM

EXCAVATION AS REQUIRED TO INSTALL LAGGING. FILL VOIDS BEHIND LAGGING WITH SOIL, AND COMPACT. 2.INSTALL WALES HORIZONTALLY AT LOCATIONS INDICATED ON DRAWINGS AND SECURE TO SOLDIER

SHEET PILING: BEFORE STARTING EXCAVATION, INSTALL ONE-PIECE SHEET PILING LENGTHS AND TIGHTLY INTERLOCK TO FORM A CONTINUOUS BARRIER. ACCURATELY PLACE THE PILING, USING TEMPLATES AND GUIDE FRAMES UNLESS OTHERWISE RECOMMENDED IN WRITING BY THE SHEET PILING MANUFACTURER. LIMIT VERTICAL OFFSET OF ADJACENT SHEET PILING TO 60 INCHES (1500 MM). ACCURATELY ALIGN EXPOSED FACES OF SHEET PILING TO VARY NOT MORE THAN 2 INCHES (50 MM) FROM A HORIZONTAL LINE AND NOT MORE THAN 1:120 OUT OF VERTICAL ALIGNMENT. CUT TOPS OF SHEET PILING TO UNIFORM ELEVATION AT TOP OF EXCAVATION.

BRACING: LOCATE BRACING TO CLEAR COLUMNS, FLOOR FRAMING CONSTRUCTION, AND OTHER PERMANENT WORK. IF NECESSARY TO MOVE BRACE, INSTALL NEW BRACING BEFORE REMOVING ORIGINAL BRACE. 1.DO NOT PLACE BRACING WHERE IT WILL BE CAST INTO OR INCLUDED IN PERMANENT CONCRETE WORK UNLESS OTHERWISE APPROVED BY ARCHITECT. 2.INSTALL INTERNAL BRACING, IF REQUIRED, TO PREVENT SPREADING OR DISTORTION OF BRACED

MAINTAIN BRACING UNTIL STRUCTURAL ELEMENTS ARE SUPPORTED BY OTHER BRACING OR UNITL PERMANENT CONSTRUCTION IS ABLE TO WITHSTAND LATERAL EARTH AND HYDROSTATIC PRESSURES.

REMOVE EXCAVATION SUPPORT AND PROTECTION SYSTEMS WHEN CONSTRUCTION HAS PROGRESSED SUFFICIENTLY TO SUPPORT EXCAVATION AND BEAR SOIL AND HYDROSTATIC PRESSURES. REMOVE IN STAGES TO AVOID DISTURBING UNDERLYING SOILS OR DAMAGING STRUCTURES, PAVEMENTS, FACILITIES, AND UTILITIES.

31-05 FINISH GRADE

FINISH GRADING TO PROVIDE FOR DRAINAGE AWAY FROM BUILDING AND CONTAINMENT OF DRAINAGE WITHIN PROPERTY. GRADE SHALL SLOPE A MINIMUM OF 6 INCHES IN THE FIRST 10 FEET AWAY FROM THE BUILDING. (IRC

ALL GRADING REQUIREMENTS ARE PER CIVIL ENGINEER'S DRAWINGS. THE CONTRACTOR IS RESPONSIBLE TO COORDINATE ALL GRADING WITH CIVIL ENGINEERING DRAWINGS.

31-06 DEWATERING

ALL DEWATERING IS NOT INCLUDED WITHIN ARCHITECTURAL DESIGN.

DETERMINATION OF ANY DEWATERING SYSTEMS SHALL BE THE RESPONSIBILITY OF THE SOILS ENGINEER AND OWNER. ALL DESIGNS OF ANY DEWATERING SYSTEMS SHALL BE THE RESPONSIBILITY OF THE OWNER, SOILS ENGINEER AND CIVIL ENGINEER. ALL COORDINATION OF SUCH SYSTEM WILL BE THE RESPONSIBILITY OF THE OWNER AND CONTRACTOR.

SOIL TREATMENT WITH TERMITICIDE.

TREATMENT APPLICATION REPORT. INCLUDE THE FOLLOWING: DATE AND TIME OF APPLICATION. MOISTURE CONTENT OF SOIL BEFORE APPLICATION.

BRAND NAME AND MANUFACTURER OF TERMITICIDE. QUANTITY OF UNDILUTED TERMITICIDE USED. DILUTIONS, METHODS, VOLUMES, AND RATES OF APPLICATION USED.

AREAS OF APPLICATION. WATER SOURCE FOR APPLICATION.

BRAND NAME AND MANUFACTURER OF BORATE.

WOOD TREATMENT APPLICATION REPORT. INCLUDE THE FOLLOWING: DATE AND TIME OF APPLICATION.

QUANTITY OF UNDILUTED BORATE USED. 4. DILUTIONS, METHODS, VOLUMES, AND RATES OF APPLICATION USED. INSTALLER QUALIFICATIONS: A SPECIALIST WHO IS LICENSED ACCORDING TO REGULATIONS OF AUTHORITIES HAVING

REGULATORY REQUIREMENTS: FORMULATE AND APPY TERMITICIDES ACCORDING TO THE EPA-REGISTERED LABEL.

JURISDICTION TO APPLY TERMITE CONTROL TREATMENT AND PRODUCTS IN JURISDICITON WHERE PROJECT IS LOCATED

[AND WHO EMPLOYS WORKERS TRAINED AND APPROVED BY BAIT-STATION SYSTEM MANUFACTURER TO INSTALL

SPECIAL WARRANTY: MANUFACTURER'S STANDARD FORM, SIGNED BY APPLICATOR AND CONTRACTOR CERTIFYING THAT TERMITE CONTROL WORK, CONSISTING OF APPLIED SOIL TERMITICIDE TREATMENT, WILL PREVENT INFESTATION OF SUBTERRANEAN TERMITES. IF SUBTERRANEAN TERMITE ACTIVITY OR DAMAGE IS DISCOVERED DURING WARRANTY PERIOD, RE-TREATMENT SOIL AND REPAIR OR REPLACE DAMAGE CAUSED BY TERMITE INFESTATION. WARRANTY PERIOD: 10 YEARS FROM DATE OF SUBSTANTIAL COMPLETION.

INCLUDING MONITORING, INSPECTION, AND RE-TREATMENT FOR OCCURRENCES OF TERMITE ACTIVITY. PROVIDE A STANDARD CONTINUING SERVICE AGREEMENT. STATE SERVICE, OBLIGATIONS, CONDITIONS, AND TERMS FOR AGREEMENT SEE LANDSCAPE DRAWINGS PERIOD; AND TERMS FOR FUTURE RENEWAL OPTIONS.

Intinuing Service: Beginning at Substantial Completion, Provide 12 Months Continuing Service

AVAILABLE MANUFACTURERS: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, MANUFACTURERS OFFERING PRODUCTS THAT MAY BE INCORPORATED INTO THE WORK, INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING:

MANUFACTURERS: SUBJECT TO COMPLIANCE WITH REQUIREMENTS, PROVIDE PRODUCTS BY ONE OF THE FOLLOWING:

TERMITICIDES AVENTIS ENVIRONMENTAL SCIENCE USA LP; TERMIDOR. BAYER CORPORATION; PREMISE 75

DOW AGROSCIENCES LLC; [DURSBAN TC] [EQUITY]

C. U.S. BORAX INC.; TIM-BOR

FMC CORPORATION, AGRICULTURAL PRODUCTS GROUP; [TALSTAR] [PREVAIL FT] [TORPEDO]. SYNGENTA; DEMON TC. NISCUS CORP.; BORA-CARE, JECTA.

NOVAGUARD TECHNOLOGIES, INC.; ARMOR-GUARD, SHELL-GUARD.

TERMITICIDE: PROVIDE AN EPA-REGISTERED TERMITICIDE COMPLYING WITH REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION, IN AN AQUEOUS SOLUTION FORMULATED TO PREVENT TERMITE INFESTATION. PROVIDE QUANTITY REQUIRED FOR APPLICATION AT THE LABEL VOLUME AND RATE FOR THE MAXIMUM TERMITICIDE CONCENTRATION ALLOWED FOR EACH SPECIFIC USE, ACCORDING TO PRODUCT'S EPA-REGISTERED LABEL.

BORATE: PROVIDE AN EPA-REGISTERED BORATE COMPLYING WITH REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION, IN AN AQUEOUS SOLUTION FOR SPRAY APPLICATION AND A GEL SOLUTION FOR PRESSURE INJECTION, FORMULATED TO PREVENT TERMITE INFESTATION IN WOOD. PROVIDE QUANTITY REQUIRED FOR APPLICATION AT THE LABEL VOLUME AND

WOOD DEBRIS, TREE STUMPS AND ROOTS, STAKES, FORMWORK, AND CONSTRUCTION WASTE WOOD FROM SOIL WITHIN SOIL TREATMENT PREPARATION: LOOSEN, RAKE AND LEVEL SOIL TO BE TREATED EXCEPT PREVIOUSLY COMPACTED AREAS UNDER SLABS AND FOOTINGS. TERMITICIDES MAY BE APPLIED BEFORE PLACING

1. GENERAL: REMOVE ALL EXTRANEOUS SOURCES OF WOOD CELLULOSE AND OTHER EDIBLE MATERIALS SUCH AS

COMPACTED FILL UNDER SLABS IF RECOMMENDED IN WRITING BY TERMITICIDE MANUFACTURER.

APPLYING SOIL

1. APPLICATION: MIX SOIL TREATMENT TERMITICIDE SOLUTION TO A UNIFORM CONSISTENCEY, PROVIDE QUANTITY REQUIRED FOR APPLICATION AT THE LABEL VOLUME AND RATE FOR THE MAXIMIUM CONCENTRATION OF TERMITICIDE, ACCORDING TO MANUFACTURER'S EPA-REGISTERED LABEL, TO THE FOLLOWING SO THAT A CONTINUOUS HORIZONTAL AND VERTICAL TERMITICIDAL BARRIER OR TREATED. ZONE IS ESTABLISHED AROUND AND UNDER BUILDING CONSTRUCTION. DISTRIBUTE TREATMENT EVENLY. A. SLABS-ON-GRADE AND BASEMENT SLABS: UNDER GROUND-SUPPORTED SLAB CONSTRUCTION, INCLUDING FOOTINGS, BUILDING SLABS, AND ATTACHED SLABS AS AN OVERALL TREATMENT.

TREAT SOIL MATERIALS BEFORE CONCRETE FOOTINGS AND SLABS ARE PLACED. B. FOUNDATIONS: ADJACENT SOIL INCLUDING SOIL ALONG THE ENTIRE INSIDE PERIMETER OF FOUNDATION WALLS, ALONG BOTH SIDES OF INTERIOR PARTITION WALLS, AROUND PLUMBING PIPES AND ELECTRIC CONDUIT PENETRATING THE SLAB, AND AROUND INTERIOR COLUMN PIERS, AND CHIMNEY BASES; ALSO ALONG THE ENTIRE OUTSIDE PERIMETER, FROM **GRADE TO**

BOTTOM OF FOOTING. AVOID SOIL WASHOUT AROUND FOOTINGS. C. CRAWLSPACES: SOIL UNDER AND ADJACENT TO FOUNDATIONS AS PREVIOUSLY INDICATED. TREAT ADJACENT AREAS INCLUDING AROUND ENTRANCE PLATFORM, PORCHES, AND EQUIPMENT BASES. APPLY OVERALL TREATMENT ONLY WHERE ATTACHED CONCRETE PLATFORM PORCHES ARE ON FILL OR GROUND.

E. PENETRATIONS: AT EXPANSION JOINTS, CONTROL JOINTS, AND AREAS WHERE SLABS WILL BE

2. AVOID DISTURBANCE OF TREATED SOIL AFTER APPLICATION. KEEP OFF TREATED AREAS UNTIL 3. PROTECT TERMITICIDE SOLUTION, DISPERSED IN TREATED SOILS AND FILLS, FROM BEING DILUTED UNTIL GROUND-SUPPORTED SLABS ARE INSTALLED. USE WATERPROOF BARRIER ACCORDING TO EPA-REGISTERED LABEL INSTRUCTIONS.

5. REAPPLY SOIL TREATMENT SOLUTION TO ARES DISTURBED BY SUBSEQUENT EXCAVATION, GRADING, LANDSCAPING, OR OTHER CONSTRUCTION ACTIVITIES FOLLOWING APPLICATION. APPLYING BORATE TREATMENT 1. APPLICATION: MIX WOOD TREATMENT BORATE SOLUTION TO A UNIFORM CONSISTENCY. PROVIDE

QUANTITY REQUIRED FOR APPLICATION AT THE LABEL VOLUME AND RATE FOR THE MAXIMUM SPECIFIED

CONCENTRATION OF BORATE, ACCORDING TO MANUFACTURER'S FPA REGISTERED LABEL SO THAT

A. FRAMING AND SHEATHING: APPLY BORATE SOLUTION BY SPRAY TO BARE WOOD FOR COMPLETE B. WOOD MEMBERS THICKER THAN 4 INCHES: INJECT BORATE GELL SOLUTION UNDER PRESSURE INTO HOLES OF SIZE AND SPACING REQURIED BY MANUFACTURER FOR TREATMENT. C.EXTERIOR UNCOATED WOOD TRIM AND SIDING: APPLY BORATE SOLUTION TO BARE WOOD SIDING. AFTER 48 HOURS, APPLY A SEAL COAT OF STAIN AS SPECIFIED IN DIVISION 09 PAINTING SECTIONS.

FRAMING, SHEATHING, SIDING, AND STRUCTURAL MEMBERS SUBJECT TO INFESTATION RECEIVE TREATMENT.

31-11 EROSION CONTROL

ALL EROSION CONTROL MUST MEET ALL LOCAL REQUIRMENTS.

D. MASONRY: TREAT VOIDS.

4. POST WARNING SIGNS IN AREAS OF APPLICATION.

ALL EROSION CONTROL IS THE RESPONSIBILITY OF THE CIVIL ENGINEER FOR DESIGN AND DRAWINGS.

Architecture

Landscape Architecture

Construction Manageme

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Sandy, Utah 84094

ph. 801.269.0055

fax 801.269.1425

www.thinkaec.com

Interior Design

Land Planning

BUILDING KEYNOTES AND SPECIFICATIONS DIVISION 32- EXTERIOR IMPROVEMENTS/LANDSCAPING 32-04 UNIT PAVERS/ RETAINING WALLS/ STAIRS

PAVERS SHALL BE THE FOLLOWING: AS PER LANDSCAPE DRAWINGS PAVERS SHALL BE INSTALLED IN FOLLOWING PATTERN: AS PER LANDSCAPE DRAWINGS PAVER COLOR SHALL SELECTED BY ARCHITECT.

AS PER LANDSCAPE DRAWINGS

Samples for unit pavers, joint materials, and edge restraints

FREEZING FOR 24 HOURS AFTER INSTALLATION.

DO NOT USE FROZEN MATERIALS OR BUILD ON FROZEN SUBGRADE OR SETTING BEDS. PROTECT UNIT PAVER WORK AGAINST

MIX PAVERS FROM SEVERAL PALLETS OR CUBES, AS THEY ARE PLACED, TO PRODUCE UNIFORM BLEND OF COLORS AND CUT UNIT PAVERS WITH MOTOR-DRIVEN MASONRY SAW EQUIPMENT TO PROVIDE PATTERN INDICATED AND TO FIT

TOLERANCES: DO NOT EXCEED 1/16-INCH UNIT-TO-UNIT OFFSET FROM FLUSH (LIPPAGE) NOR 1/8 INCH IN 24 INCHES AND 1/4 INCH IN 10 FEET FROM LEVEL, OR INDICATED SLOPE, FOR FINISHED SURFACE OF PAVING. COMPACT SOIL SUBGRADE UNIFORMLY AND PLACE AGGREGATE BASE, COMPACT BY TAMPING WITH PLATE VIBRATOR, AND SCREED TO DEPTH AS INDICATED

ADJOINING WORK NEATLY. USE FULL UNITS WITHOUT CUTTING WHERE POSSIBLE. INSTALL EDGE RESTRAINTS BEFORE

PLACE LEVELING COURSE AND SCREED TO A THICKNESS OF 1 TO 1-1/2 INCHES, TAKING CARE THAT MOISTURE CONTENT remains Constant and Density is loose and Constant until pavers are set and Compacted. Treat leveling COURSE WITH HERBICIDE TO INHIBIT GROWTH OF GRASS AND WEEDS.

SET PAVERS WITH A MINIMUM JOINT WIDTH OF 1/16 INCH AND A MAXIMUM OF 1/8 INCH , BEING CAREFUL NOT TO DISTURB LEVELING BASE. IF PAVERS HAVE SPACER BARS, PLACE PAVERS HAND TIGHT AGAINST SPACER BARS. VIBRATE PAVERS INTO LEVELING COURSE AND SPREAD DRY SAND AND FILL JOINTS IMMEDIATELY AFTER VIBRATING PAVERS

INTO LEVELING COURSE. VIBRATE PAVERS AND ADD SAND UNTIL JOINTS ARE COMPLETELY FILLED, THEN REMOVE EXCESS

32-10 IRRIGATION SYSTEMS GENERAL/PRODUCTS

ALL IRRIGATION SHALL MEET ALL CITY LANDSCAPE REQUIREMENTS

ALL PLANTING SHALL MEET ALL CITY LANDSCAPE REQUIREMENTS

32-11 PLANTING

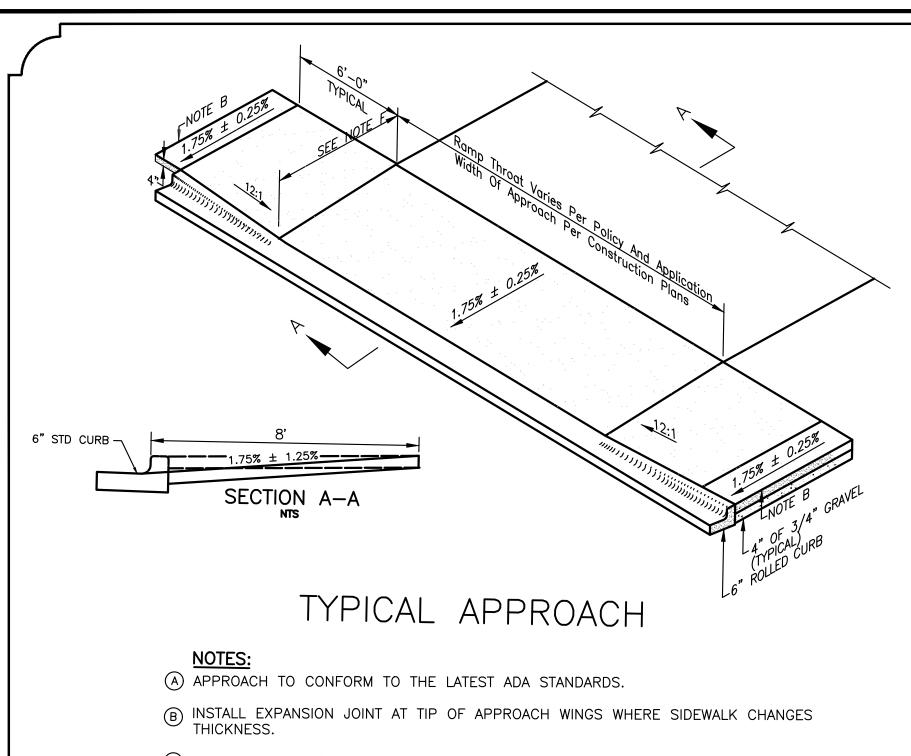
SEE LANDSCAPE DRAWINGS.

SAND. LEAVE A SLIGHT SURPLUS OF SAND ON THE SURFACE FOR JOINT FILLING.

REVISIONS:

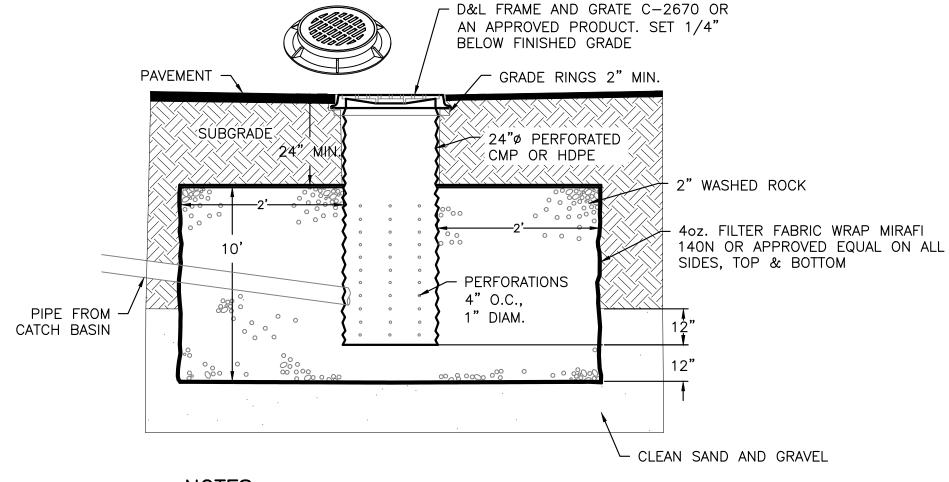
SHEET NUMBER:

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- © BASE TO BE A 4" THICKNESS OF 3/4" MINUS CRUSHED AGGREGATE PER SECTION-802.
- (D) APPROACH THROAT WIDTHS SET BY POLICY AND APPLICATION. ALL CONCRETE TO BE 6" THICK FROM TIP OF WING TO TIP OF WING UP TO THE EXPANSION JOINT. WHEN SIDEWALK IS SEPARATE FROM CURB THE SIDEWALK IMMEDIATELY BEHIND THE APPROACH THROAT SHALL BE 6" THICK ALSO.
- (E) ALL CONCRETE SHALL BE CLASS 3000 PER SECTION-703. SEE GENERAL NOTES 7 & 8.
- (F) SIDEWALK WIDTH IS 8 FEET.

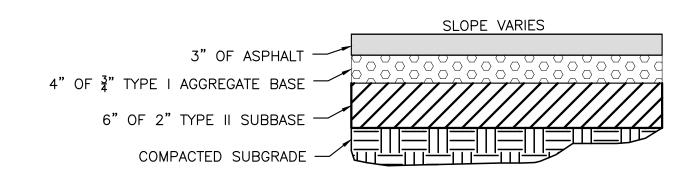
1 CONCRETE DRIVEWAY WITH RAMPED SIDEWALK - SCALE: NONE



NOTES:

- 1. THE BED SHALL BE EXCAVATED A MINIMUM OF 24" INTO CLEAN SAND AND GRAVEL.
- 2. MAXIMUM DEPTH SHALL NOT EXCEED 12 FEET.
- 3. IF CLEAN SAND AND GRAVEL IS NOT ENCOUNTERED WITHIN 12 FEET, THE CONTRACTOR SHALL CONTACT THE DESIGN
- 4. GRATE OR SOLID LID AS APPROVED BY CITY OF KETCHUM.





4 TYPICAL STREET ASPHALT SECTION SCALE: NONE

LEGEND PROPERTY LINE ADJOINING PROPERTY LINE EASEMENT **FENCE** EDGE OF PAVEMENT SEWER SEWER MANHOLE (MH) WATER WATER GATE VALVE HYDRANT CURB STOP **TELEPHONE** UTILITY TRENCH **ELEVATION CONTOUR** PROPOSED ELEV CONTOUR SAWCUT LINE **CURB TRANSITION** FLOW LINE FOOTING DRAIN STORM DRAIN PIPE DOWN SPOUT CATCH BASIN-CITY CATCH BASIN DRYWELL LANDSCAPE DRYWELL ASPHALT PAVEMENT ASPHALT PAVEMENT (SNOW MELTED) PAVERS CONCRETE FG FINISHED GRADE EXISTING GROUND

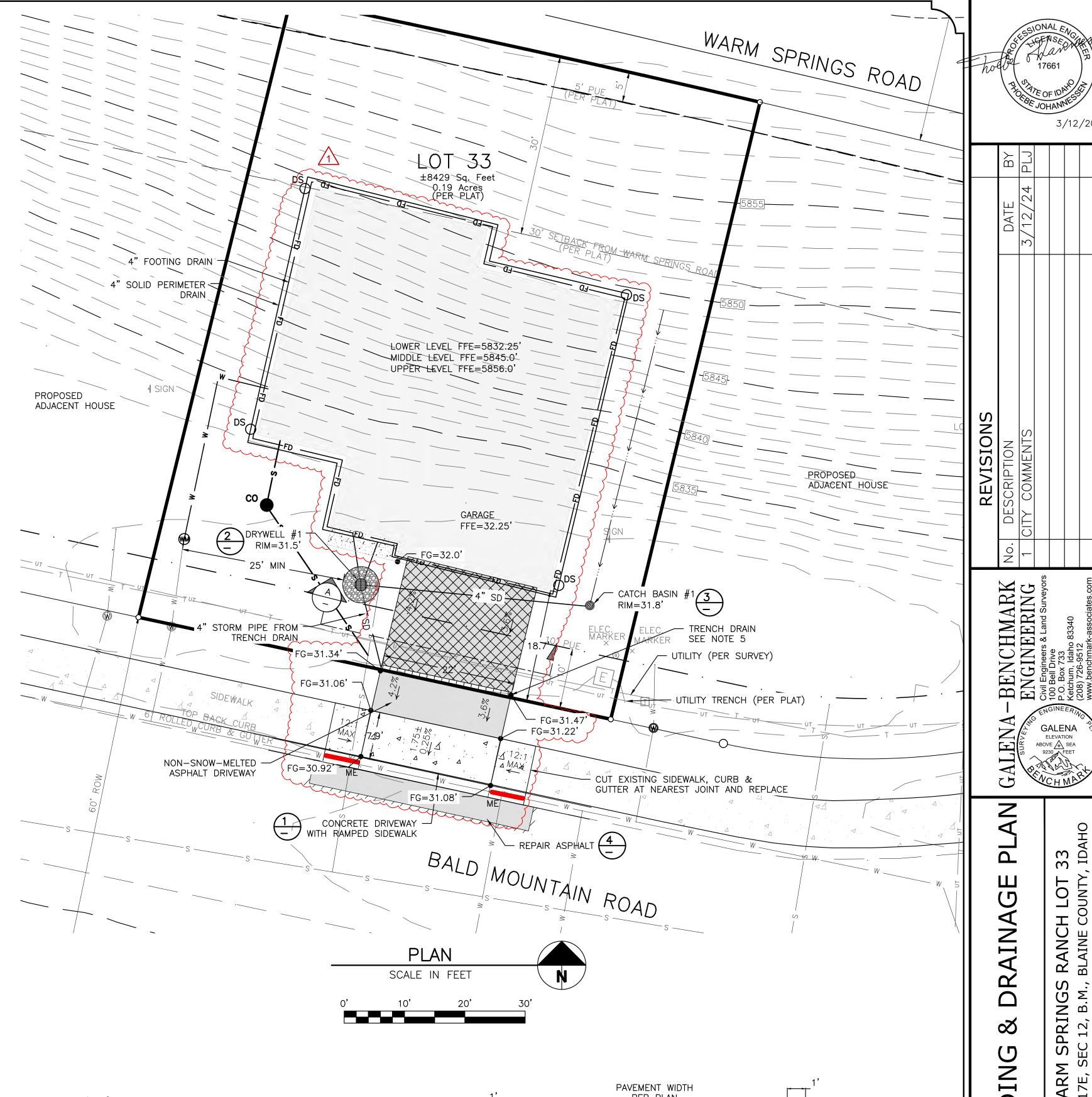
GENERAL NOTES

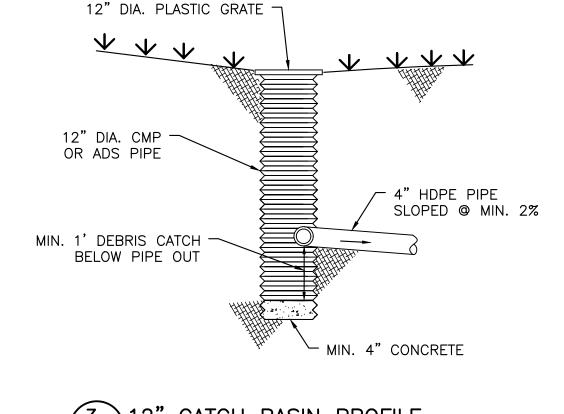
1. CONTRACTOR SHALL FIELD VERIFY LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING CONSTRUCTION. ANY CONFLICT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.

GRADE BREAK

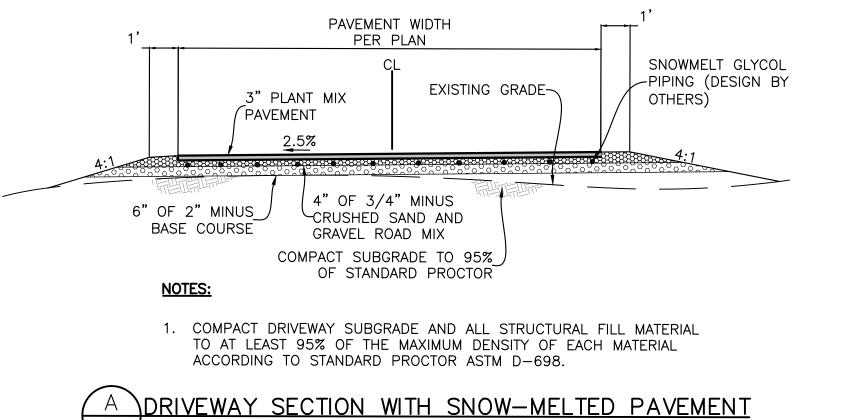
MATCH EXISTING

- 2. CONTRACTOR SHALL NOTIFY DIGLINE (1-800-342-1585) AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES ENCOUNTERED DURING CONSTRUCTION.
- 3. CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL DURING THE CONSTRUCTION OF ALL ITEMS HEREON. DUST CONTROL SHALL BE CONTINUOUS DURING CONSTRUCTION, 24 HOURS PER DAY 7 DAYS PER WEEK.
- 4. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM THE
- 5. TRENCH DRAIN SHALL BE A 6" WIDE HDPE CHANNEL WITH A 0.75 BUILT IN CHANNEL SLOPE (ZURN FLO-THRU MODEL Z886 OR EQUIVALENT). GRATE SHALL BE DUCTILE IRON WITH A SLOTTED PATTERN. CATCH BASIN SHALL BE 6" WIDE X 20" LONG X 20" DEEP AND SHALL BE MADE OF HDPE. OUTLET PIPE SHALL BE 4" DIAMETER. (FLO-THRU MODEL Z887 OR EQUIVALENT). ALL COMPONENTS SHALL BE RATED FOR H20 LOADING.
- 6. ALL WORK WITHIN THE CITY RIGHT OF WAY SHALL CONFORM TO CITY OF KETCHUM STANDARDS.
- 7. CONCRETE WITHIN CITY RIGHT-OF-WAY SHALL BE TITAN MIX OR EQUAL. ALTERNATE COLD WEATHER MIX WILL NEED TO BE SUBMITTED TO THE CITY FOR REVIEW AND APPROVAL PRIOR TO PLACEMENT.
- 8. CONCRETE SHALL BE SEALED WITH AN OPAQUE SEALER.
- 9. 6" ROLLED CURB & GUTTER SHALL BE PER CITY OF KETCHUM STANDARD DETAIL #4.
- 10. CONCRETE SIDEWALK SHALL BE PER CITY OF KETCHUM STANDARD DETAIL #7.





12" CATCH BASIN PROFILE \setminus / NOT TO SCALE



SCALE: NTS

DRAWING NO.

PROJECT NO.: <u>22074</u>

3/12/2024

DRAWN BY:

DESIGNED BY:

CHECKED BY:

GALENA
ELEVATION
ABOVE ASEA

33 IDAF

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LOT

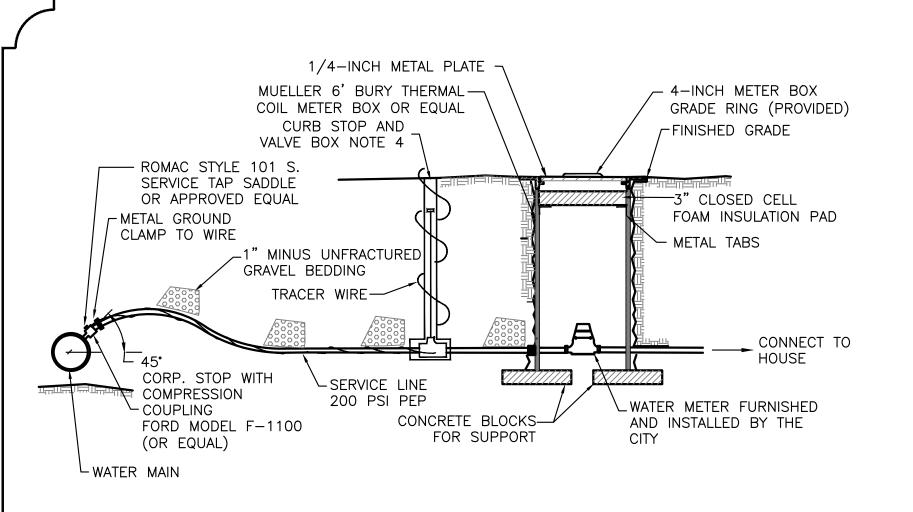
RANCH

SPRINGS EC 12, B.M.

WARM

3/12/2024

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UTILITY LEGEND

SEWER PROPOSED

SEWER CLEANOUT

WATER PROPOSED

WATER METER PROPOSED

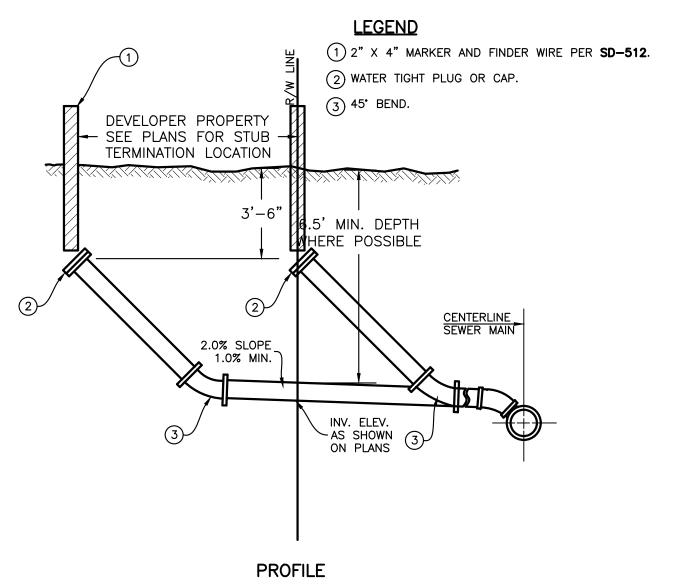
<u>NOTES</u>

- 1. WATER SERVICE LINE SHALL HAVE A 6' MIN. BURY DEPTH 2. SERVICE LINE SHALL BE 1" DIAMETER POLYETHYLENE PIPE
- UNLESS OTHERWISE SPECIFIED.

 3. WATER SERVICE LINES SHALL BE BEDDED WITH 1" MINUS UNFRACTURED GRAVEL. BEDDING SHALL BE INSTALLED 4" UNDER THE PIPE AND 6" OVER THE PIPE.
- 4. FORD MODEL B-111 RESILIENT SEAT, CURB BALL VALVE (OR EQUAL). FORD EXTENSION CURB BOX WITH ARCHED BASE, 1-INCH UPPER SECTION, AND 2 HOLE "ERIE" PATTERN LID.

1 WATER SERVICE AND METER CONNECTION

SCALE: N.T.S.

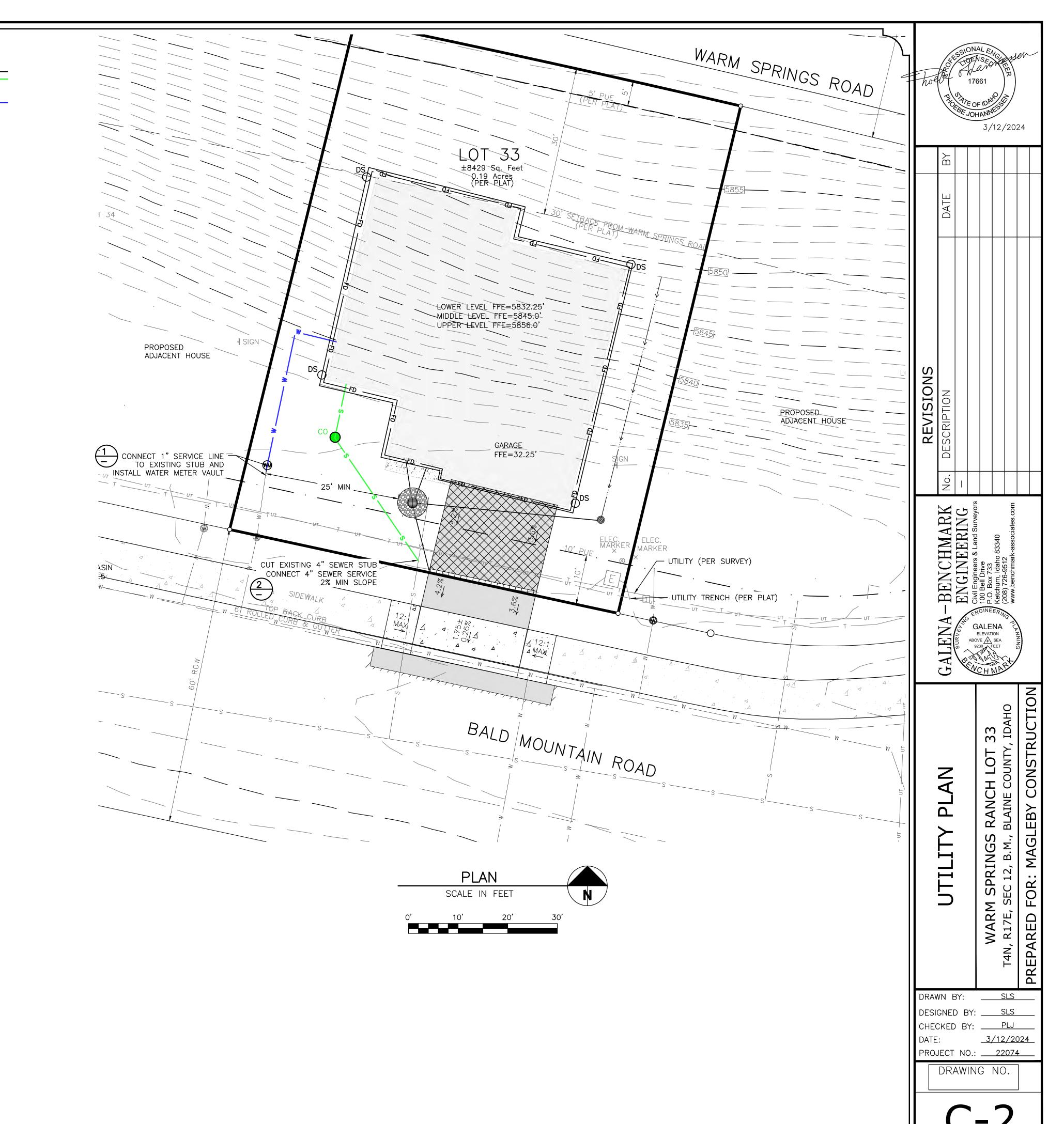


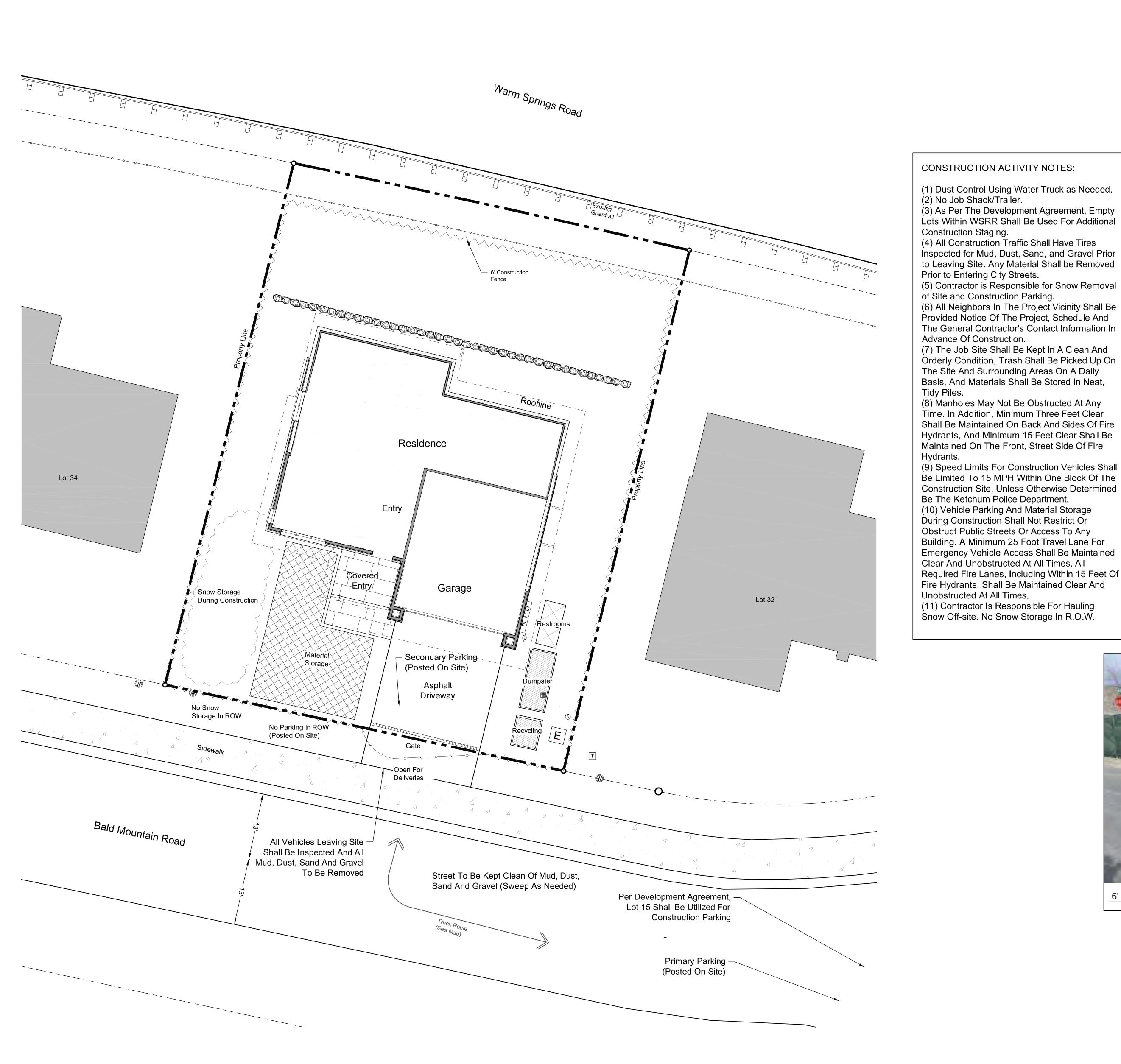
<u>NOTES</u>

1. INSULATION REQUIRED WHERE SEWER LINE BURY DEPTH IS LESS THAN 5'.

2 STANDARD SEWER SERVICE CONNECTION DETAIL

SCALE: NONE





General Notes

- . Base map information taken from survey by Benchmark Associates dated 11/24/21 and from on-site information. Architectural information provided by Think Architecture dated 02/11/24. Contractor shall verify conditions in the field prior to construction.
- 2. Landscape architect is not responsible for any deviation from these plans,
- unless such changes are authorized by the landscape architect in writing. 3. All existing utilities are underground. All new utilities shall be underground.
- 4. Site serviced by City of Ketchum.

Cut And Fill:

Total Cut = 700 Cubic Yards

Total Fill = 0 Cubic Yards

Total Export = 700 Cubic Yards

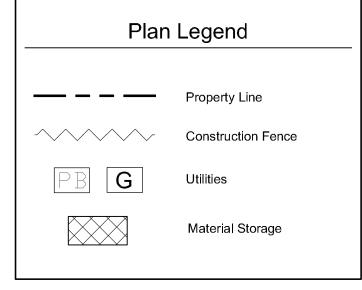
Plan Legend Construction Fence PB G

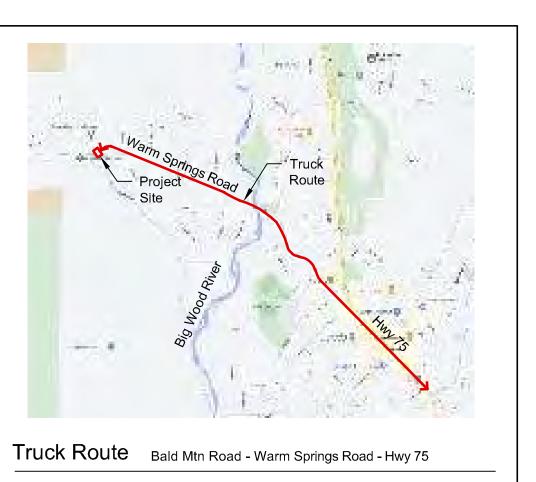
(8) Manholes May Not Be Obstructed At Any Time. In Addition, Minimum Three Feet Clear Shall Be Maintained On Back And Sides Of Fire Hydrants, And Minimum 15 Feet Clear Shall Be Maintained On The Front, Street Side Of Fire

(9) Speed Limits For Construction Vehicles Shall Be Limited To 15 MPH Within One Block Of The Construction Site, Unless Otherwise Determined Be The Ketchum Police Department. (10) Vehicle Parking And Material Storage

During Construction Shall Not Restrict Or Obstruct Public Streets Or Access To Any Building. A Minimum 25 Foot Travel Lane For Emergency Vehicle Access Shall Be Maintained Clear And Unobstructed At All Times. All Required Fire Lanes, Including Within 15 Feet Of Fire Hydrants, Shall Be Maintained Clear And Unobstructed At All Times.

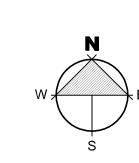
(11) Contractor Is Responsible For Hauling Snow Off-site. No Snow Storage In R.O.W.

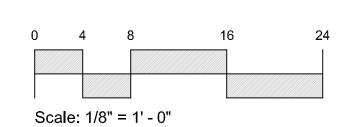






6' Construction Fence





WSR Residences _ot 33

Job No: 22.26

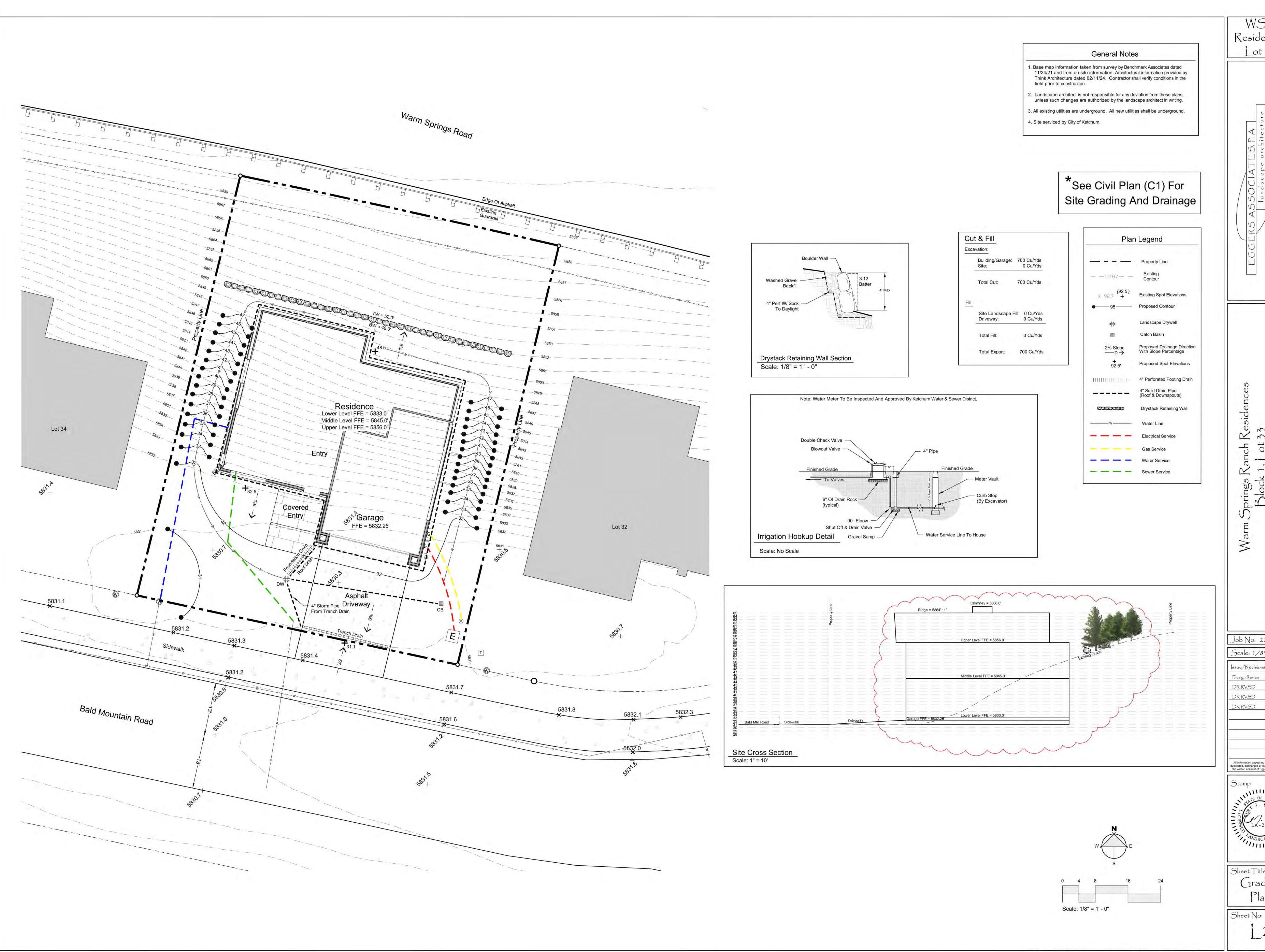
Scale: 1/8"=1'-0" Issue/Revisions: Date: Design Review 03/17/23

DR RVSD DR RVSD DR RVSD

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Sheet Title: (onstruction ||Management

Sheet No:



WSR Residences

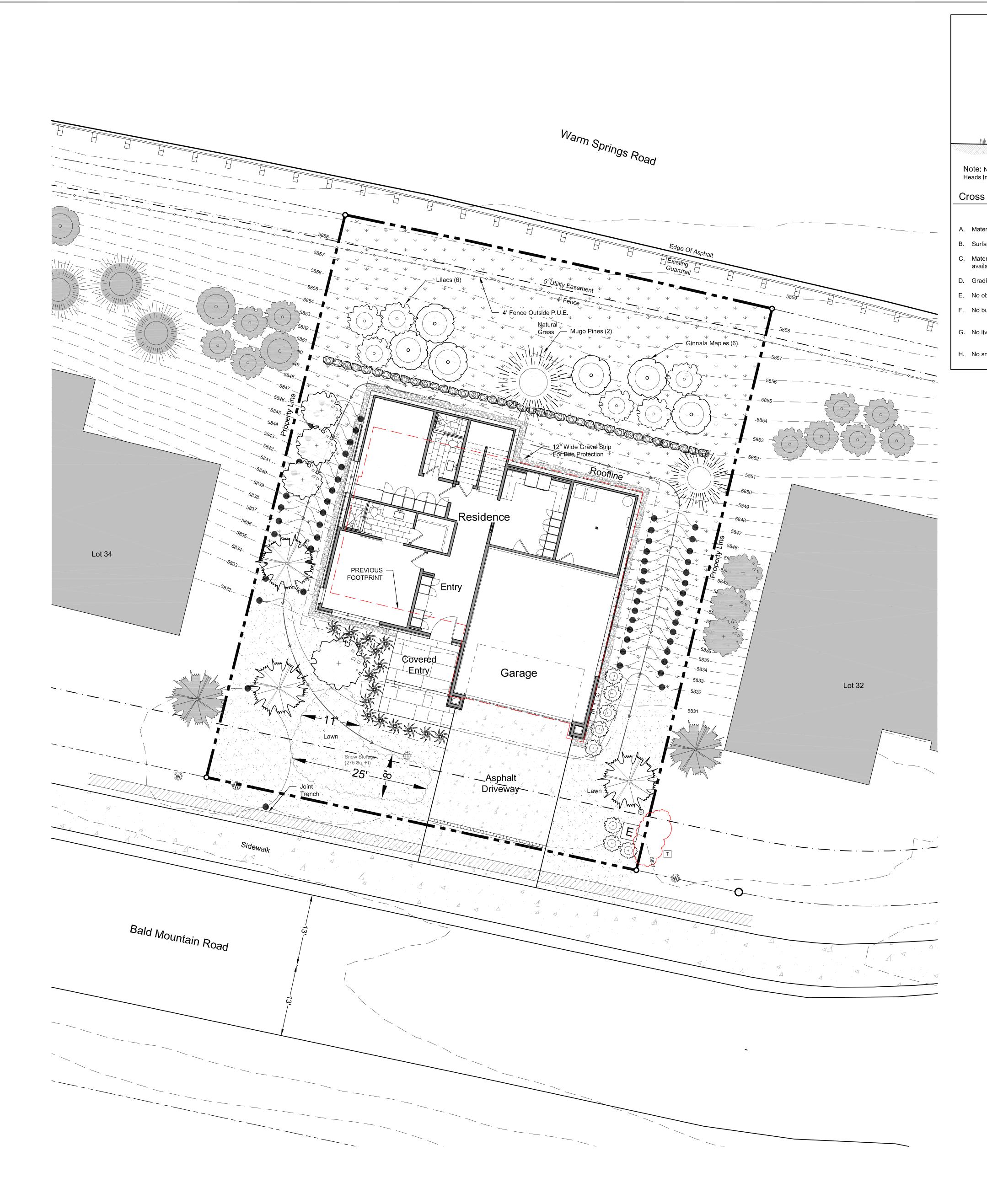
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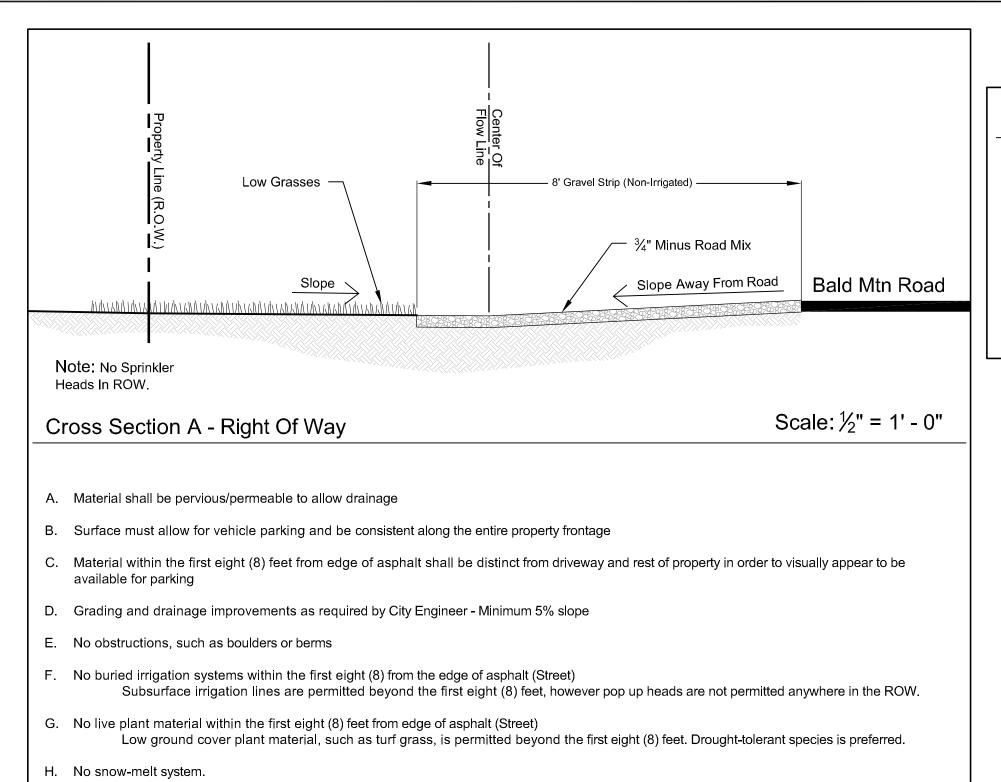
Job No: 22.26 Scale: 1/8"=1'-0" Issue/Revisions: Date:

Design Review 03/17/23 DR RVSD DR RVSD DR RVSD

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Sheet Title: Grading Plan



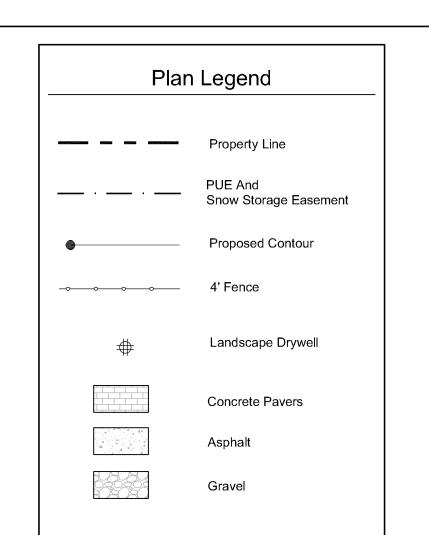


		Plant Legen	d	
	Qty.	Common Name	Botanical Name	<u>Size</u>
W ₁		Conifer Trees		
	2	Mugo Pine	Pinus mugo	12' -16'
2	3	Subalpine Fir	Abies lasiocarpa	12'-14'
-		Deciduous Trees		
	4	Aspen	Populus tremuloides	12'-14'
	6	Ginnala Maple	Acer spp.	20 gal. (6')
	14	Deciduous Shrubs		5-20 gal.
		Lilac Alpine Currant Burning Bush Cotoneaster Dogwood Mockorange Ninebark Snowberry Spirea	Syringa spp. Ribes alpinum Euonymus alatus Cotoneaster spp. Cornus spp. Philadelphus spp. Physocarpus spp. Symphoricarpos spp. Spirea spp.	
*	30	Ornamental Grasses		Flats
, ,		Blue Fescue Ribbon Grass <i>Karl Foerster Feather Reed</i>	Festuca ovina gluca Phalaris arundinacea 'Picata' C arundinacea 'Karl Foerster'	
· · · · · · · · · · · · · · · · · · ·	3,700 Sq.Ft.	Grasses & Wildflowers		Sod or Seed
_ ; <u>_</u> v	(20%) (20%) (20%) (20%) (20%)	Hard Fescue Chewing Fescue Sheep Fescue Creeping Red Fescue Wildflowers	Festuca trachyphylla Festuca rubra var. commutata Festuca ovina Festuca rubra Various	
	1,600 Sq.Ft.	Grasses - Lawn Mix		Sod or Seed
	(33%) (33%) (33%)	Tall Fescue Hard Fescue Chewing Fescue	Festuca arundinacea Festuca trachyphylla Festuca rubra var. commutata	

General Notes

1. Base map information taken from survey by Benchmark Associates dated 11/24/21 and from on-site information. Architectural information provided by Think Architecture dated 02/11/24. Contractor shall verify conditions in the field prior to construction.

2. Landscape architect is not responsible for any deviation from these plans, unless such changes are authorized by the landscape architect in writing. 3. All existing utilities are underground. All new utilities shall be underground. 4. Site serviced by City of Ketchum.



Irrigation C	Calculation
(Lot = ±	22 Acres)
Description	Square Footage
Natural Grass	5,300 sq.ft.
Planter Beds	100 sq.ft.
Total Irrigated Area	5,400 sq.ft.
	+/12 Acres

Snow S	torage
Driveway Area: Walkway Area:	765 sq ft 72 sq ft x .30%
Required Area:	251 sq ft
Snow Storage Provided:	275 sq ft

Per Development Agreement:

1) Landscaping Shall Be Drought Tolerant

 Irrigation System Shall Be Equipped With Shut Off Valve Not Impacting Water Service To Residence

Irrigation System Shall Be Water Efficient In Ground Components, Controller With Rain/Freeze Sensor.

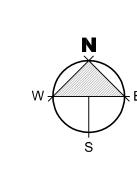
4) Isolate Zones Per Plant Type And Exposure.

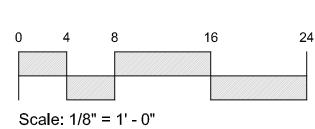
Landscape Notes:

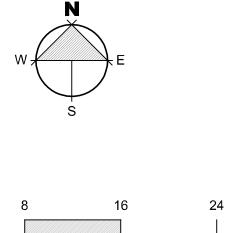
1) The Area 12" Horizontal From The Base Of A Wall Shall Be Finished In A Way To Prevent Any Vegetation Growing, And For Vegetative Debris To Be Easily Removed.

2) Any Trees With Crowns Closer Than 30 Feet To Any Structure Shall Be Limbed Up A Minimum Of 6' From Ground Level.

3) Any Tree Crowns Shall Be Pruned To Have A Minimum 10' Horizontal Clearance From Any Structure.







WSR Residences Lot 33

Sheet Title: Landscape Plan Sheet No:

Job No: 22.26

Scale: 1/8"=1'-0"

Issue/Revisions: Date:

DR RVSD

DR RVSD

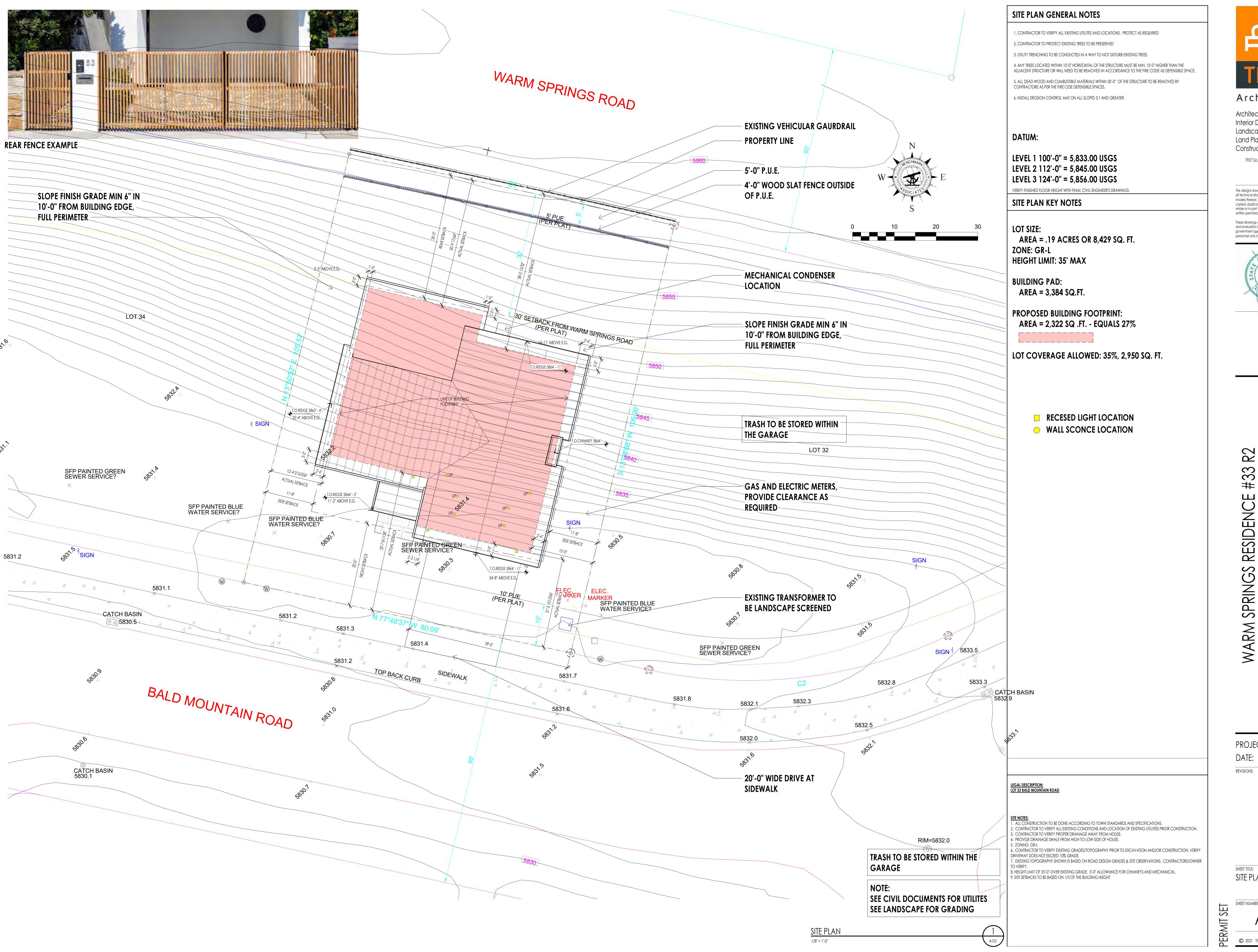
DR RVSD

DR RVSD

DR RVSD

Design Review 03/17/23

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Architecture Interior Design Landscape Architecture Land Planning Construction Management

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R2

#33

PROJECT NC22023.33 2024.02.15

REVISIONS:

SHEET TITLE: SITE PLAN

SHEET NUMBER:

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SYMBOL	DESCRIPTION
FS — - — FS	FOOTING STEP
ws -ws	WALL STEP
	TOP OF FOOTING ELEVATION
T.O.W	TOP OF WALL ELEVATION
T.O.S	TOP OF SLAB ELEVATION
T.O. PIER	TOP OF PIER ELEVATION

FOUNDATION GENERAL NOTES

1. COORDINATE ARCHITECTURAL FOUNDATION PLAN WITH STRUCTURAL FOUNDATION PLAN. CONTRACTOR SHALL REPORT ANY DISCREPANCIES IN THE PLANS TO THE ARCHITECT PRIOR TO COMMENCING RELATED WORK.

2. COORDINATE MECHANICAL, ELECTRICAL, & PLUMBING PRIOR TO CONSTRUCTION OF FOOTINGS & FOUNDATION. 3. VERIFY ELEVATIONS OF FOUNDATION WALLS & FOOTINGS. COORDINATE WITH SITE PLAN & PROPOSED

4. CONCRETE FLOOR SLABS, EXCEPT THOSE IN UNHEATED ACCESSORY STRUCTURES, SHALL HAVE A VAPOR RETARDER CONSISTING OF 6 MIL. POLYETHYLENE (OR APPROVED EQUAL) VAPOR RETARDER WITH JOINTS LAPPED NOT LESS THAN 6 INCHES PLACED BETWEEN THE CONCRETE FLOOR SLAB & THE BASE COURSE OF THE PREPARED SUB-GRADE WHERE NO BASE COURSE EXISTS.

5. FOUNDATION REBAR INSPECTIONS ARE REQUIRED FOR FOUNDATION WALLS OVER 8 FEET HIGH. FORMS ARE NOT TO BE INSTALLED ON ONE SIDE UNTIL AFTER THE REBAR HAS BEEN INSPECTED.

DATUM ELEVATIONS			
CIVIL	LEVEL		
-	LEVEL 00 - TOP OF SLAB		
-	LEVEL 0 - TOP OF SLAB		
-	TOP OF SLAB AT FRONT OF GARA		
-	LEVEL 1 - TOP OF PLYWOOD		

	FOUNDATION PLAN KEYNOTES			
	KEYNOTES			
FL-13	PROVIDE "SCHLTER" KERDI-LINE LINEAR TRENCH DRAIN AGAINST BENCH, INTERIOR DESIGNER TO PROVIDE DRAIN COVER SPEC.			
SL-1	CONTRACTOR TO COORDINATE LOCATION OF FLOOR DRAIN - SLOPE SLAB TOWARDS DRAIN AS REQUIRED			
SL-2	CAST IN PLACE FOOTINGS TO BEAR ON UNDISTURBED SOIL OR ENG COMPACTED FILL - SEE STRUCTURAL GENERAL NOTES & PROJECT MANUAL			
SL-3	CAST IN PLACE FOUNDATION WALLS W/WATER PROOFING AS NOTED - SEE STRUCTURAL NOTES AND DETAILS			
SL-4	PROVIDE BLOCKOUT AT FOUNDATION WALL AT DOOR OPENINGS AND POUR SLAB OVER TOP OF WALL SEE DETAILS			
SL-5	CAST IN PLACE INTERIOR CONCRETE SLABS TO BE 4" CONCRETE SLAB REINFORCED WITH FIBER MESH OVER 4" GRAVEL BASE - SEE STRUCTURAL NOTES			
SL-6	CAST IN PLACE GARAGE CONCRETE SLABS TO BE 5" CONCRETE SLAB OVER 4" GRAVEL BASE AND FINISH AS NOTED - SEE STRUCTURAL NOTES			
SL-8	CONTRACTOR TO COORDINATE FOOTING STEPS TO ASSURE REQUIRED FROST PROTECTION AT EACH FOOTING - NOTIFY ARCHITECT IF FOOTING ELEVATIONS NEED TO CHANGE			
SL-9	CONTRACTOR TO COORDINATE FOUNDATION WALL STEPS WITH FINAL GRADING SPECIFIED AND NOTIFY ARCHITECT OF CHANGES PRIOR TO POURING CONCRETE FOUNDATION			
SL-18	PROVIDE A U-FER GROUND. AN ELECTRODE ENCASED BY A LEAST 2" OF CONCRETE SHALL BE LOCATED NEAR THE BOTTOM OF THE CONCRETE FOUNDATION SYSTEM AND SHALL BE IN DIRECT CONTACT WITH THE EARTH, CONSISTING OF AT LEAST 20 FEET OF BARE ELECTRICALLY CONDUCTIVE ROD AT LEAST 1/2 INCH IN DIAMETER OR BARE COPPER CONDUCTOR NOT SMALLER THAN 4 AWG. (I.R.C. E3508.1.2 AND N.E.C. 250.50)			
SL-20	WARP SLAB AT GARAGE DOORS TO PROVIDE DRAINAGE TOWARD THE DOOR OPENING			
SL-21	PROVIDE RIGID FOAM INSULATION BELOW ENTIRE FLOOR SLAB AT LEVEL 0 - SEE SCHEDULE FOR R VALUE			

- PROVIDE ISULTARP FOR INSULATION AND VAPOR BARRIER ON TOP OF RIGID INSULATION, TAPE ALL SEAMS AND INSTALL PER MANUF. AND SPECS.



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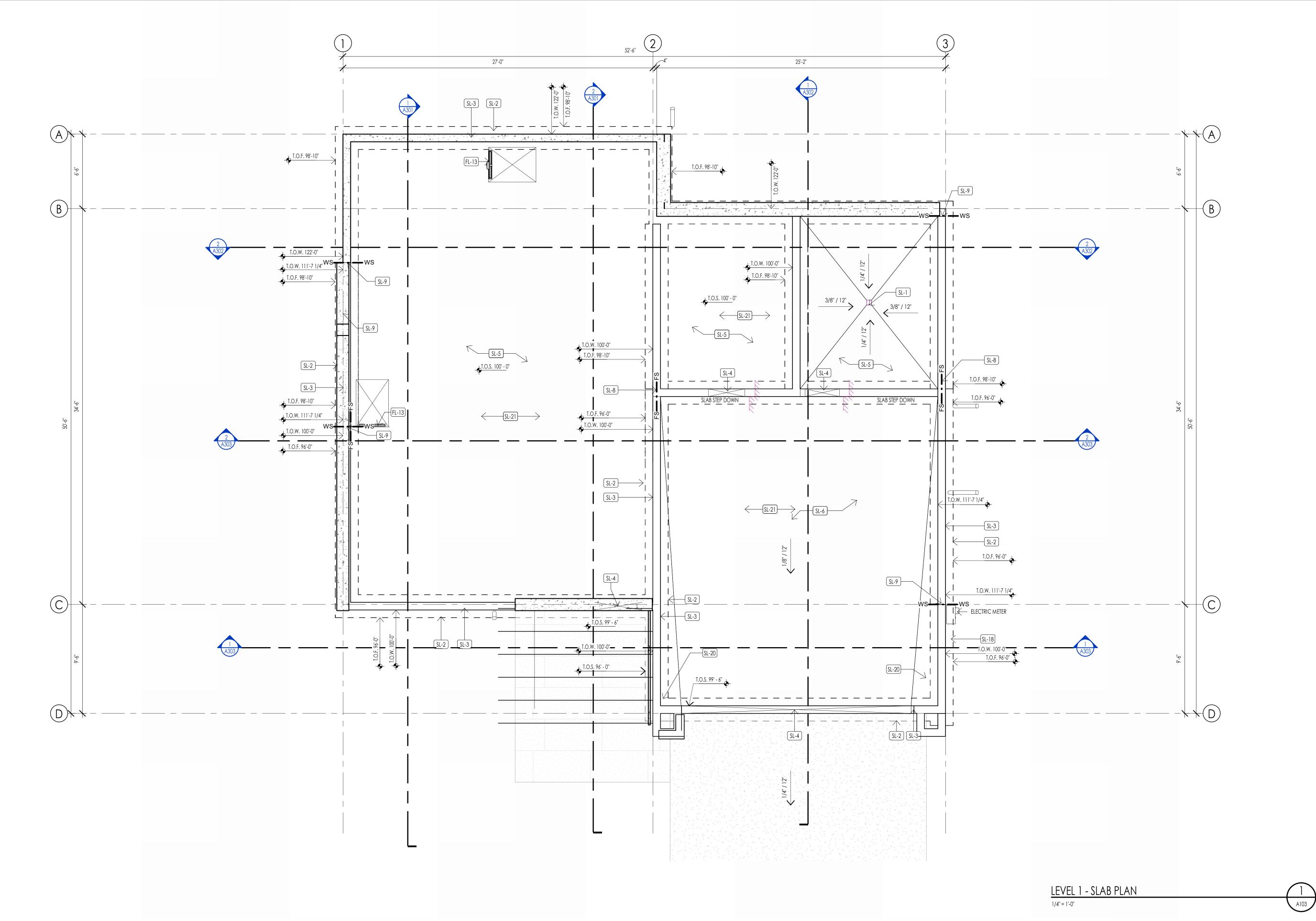


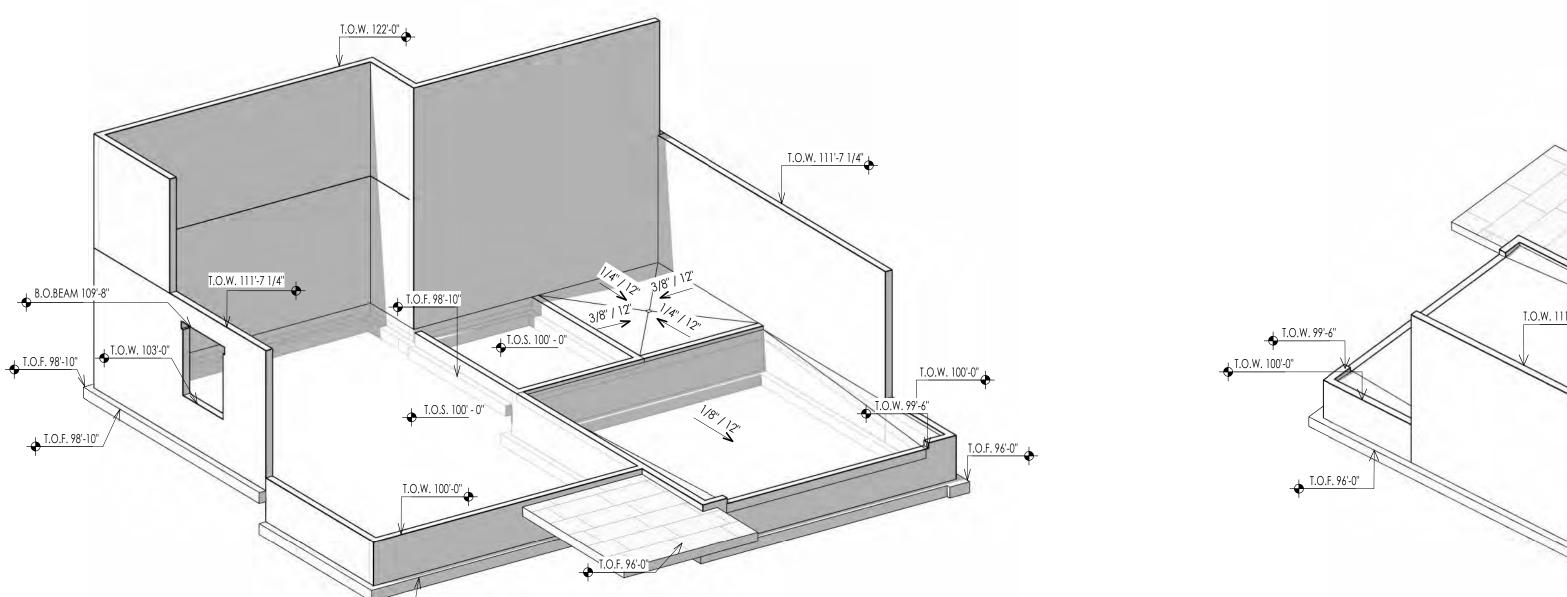
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PROJECT NC22023.33

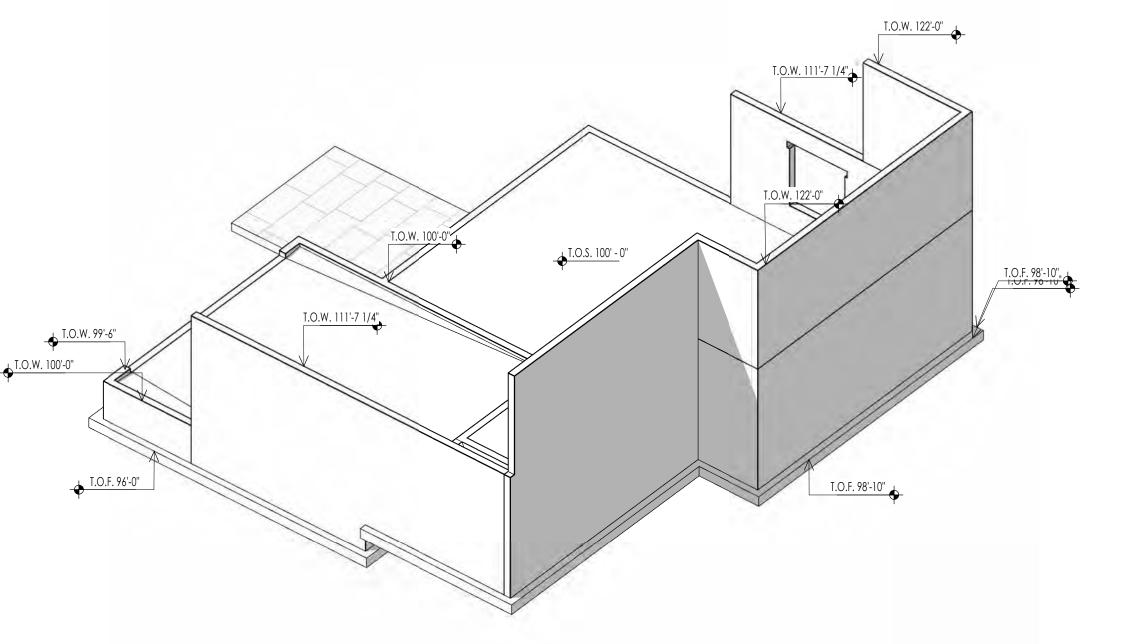
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SHEET TITLE:
FOUNDATION PLAN

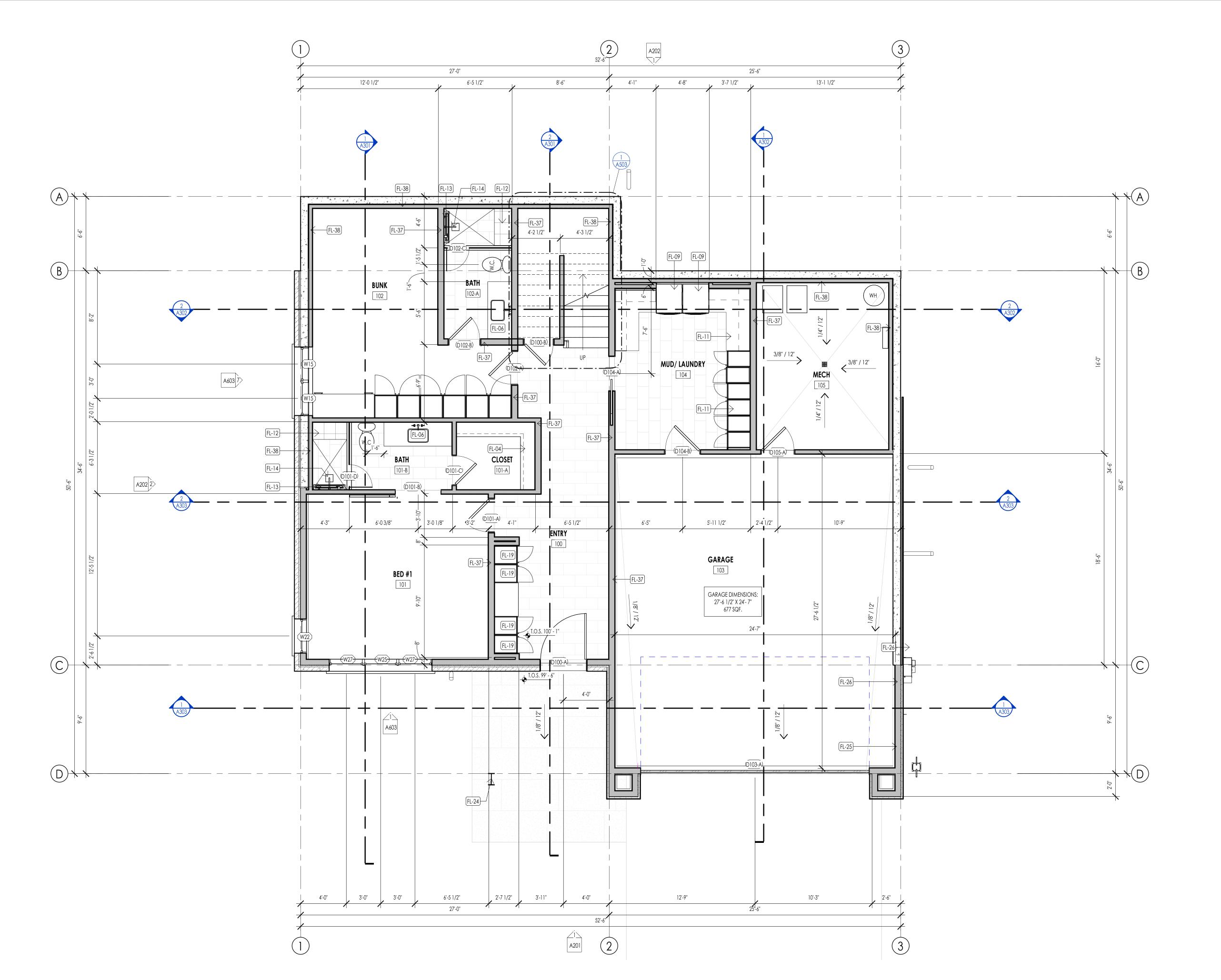


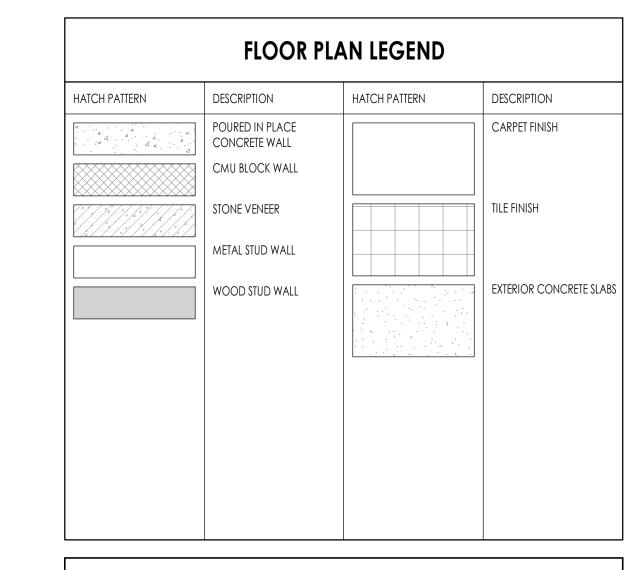


FOUNDATION ISOMETRIC A



FOUNDATION ISOMETRIC B





FLOOR PLAN GENERAL NOTES

1. ALL DIMENSIONS ARE TO INTERIOR FACE-OF-STUD (F.O.S.) UNLESS NOTED OTHERWISE.

2. CEILING HEIGHTS MEASURED FROM PLYWOOD OR CONCRETE - SEE SECTIONS

3. REFER TO ENLARGED PLANS FOR ALL UNIT DIMENSIONS, WINDOW TYPES, DOORS AND WALLS. 4. REFER TO ENLARGED PLANS FOR ALL DECKS/PATIOS.

5. COORDINATE WITH ALL ENLARGED PLANS FOR ADDITIONAL INFORMATION AND DETAILS. 6. ALL TOPPING SLABS MUST BE POURED AFTER ROOF IS COMPLETE AND BUILDING IS DRIED IN.

7. SEE SHEET A002 FOR PROJECT GENERAL NOTES AND SHEET A003 FOR PROJECT KEYNOTES. REVIEW ALL NOTES PRIOR

8. COORDINATE WITH STRUCTURAL FRAMING PLANS AND SHEAR WALL PLANS FOR LOCATIONS OF COLUMNS, BEAMS, SHEAR WALLS, ETC.

9. COORDINATE WITH BUILDER/OWNER FOR ALL INTERIOR FINISHES

10. COORDINATE WITH ELECTRICAL DRAWINGS FOR ALL LIGHTING, POWER AND DATA REQUIREMENTS.

11. ALL EXTERIOR WALLS ARE ASSUMED TO BE 2X6 STUD WALLS UNLESS SHOWN/NOTED OTHERWISE. 12. ALL INTERIOR WALLS ARE ASSUMED TO BE 2X4 STUD WALLS UNLESS SHOWN/NOTED OTHERWISE.

13. ALL ROOF TRUSSES TO HAVE RAISED ENERGY HEEL CONSTRUCTION TO ALLOW FOR FULL DEPTH INSULATION OVER EXTERIOR WALLS (COORDINATE INSULATION REQUIREMENTS WITH RESCHECKS).

	FLOOR PLAN KEYNOTES
	KEYNOTES
FL-04	CLOSET SHELVING/ ROD - PER INTERIOR DESIGNER
FL-06	BATHROOM SINK - VANITY PER INTERIOR DESIGNER
FL-09	STACKED WASHER AND DRYER. CONTRACTOR TO COORDINATE WITH MECHANICAL AND ELECTRICAL
FL-11	CABINET SYSTEM/SHELVING PER INTERIOR DESIGNER
FL-12	PROVIDE SHOWER BENCH AS PER OWNER/ INTERIOR DESIGN
FL-13	PROVIDE "SCHLTER" KERDI-LINE LINEAR TRENCH DRAIN AGAINST BENCH, INTERIOR DESIGNER TO PROVIDE DRAIN COVER SPEC.
FL-14	SHOWER HEAD PER INTERIOR DESIGN
FL-19	BUILT IN MUD/GEAR CABINETS AS PER INTERIOR DESIGNER
FL-24	STRUCTURAL HOLLOW COLUMNS AS PER STRUCT.
FL-25	PROVIDE HOT/COLD HOOK UP
FL-26	PROVIDE 50 AMP EV CONNECTION POINT
FL-37	2X6 STUD WALL ROUGH FRAMING, 16" O.C. U.N.O., SEE DETAILS.
FL-38	2X4 BASEMENT STUD FURRING WALL, 16" O.C. SEE DETAILS.



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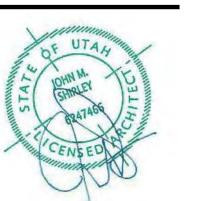
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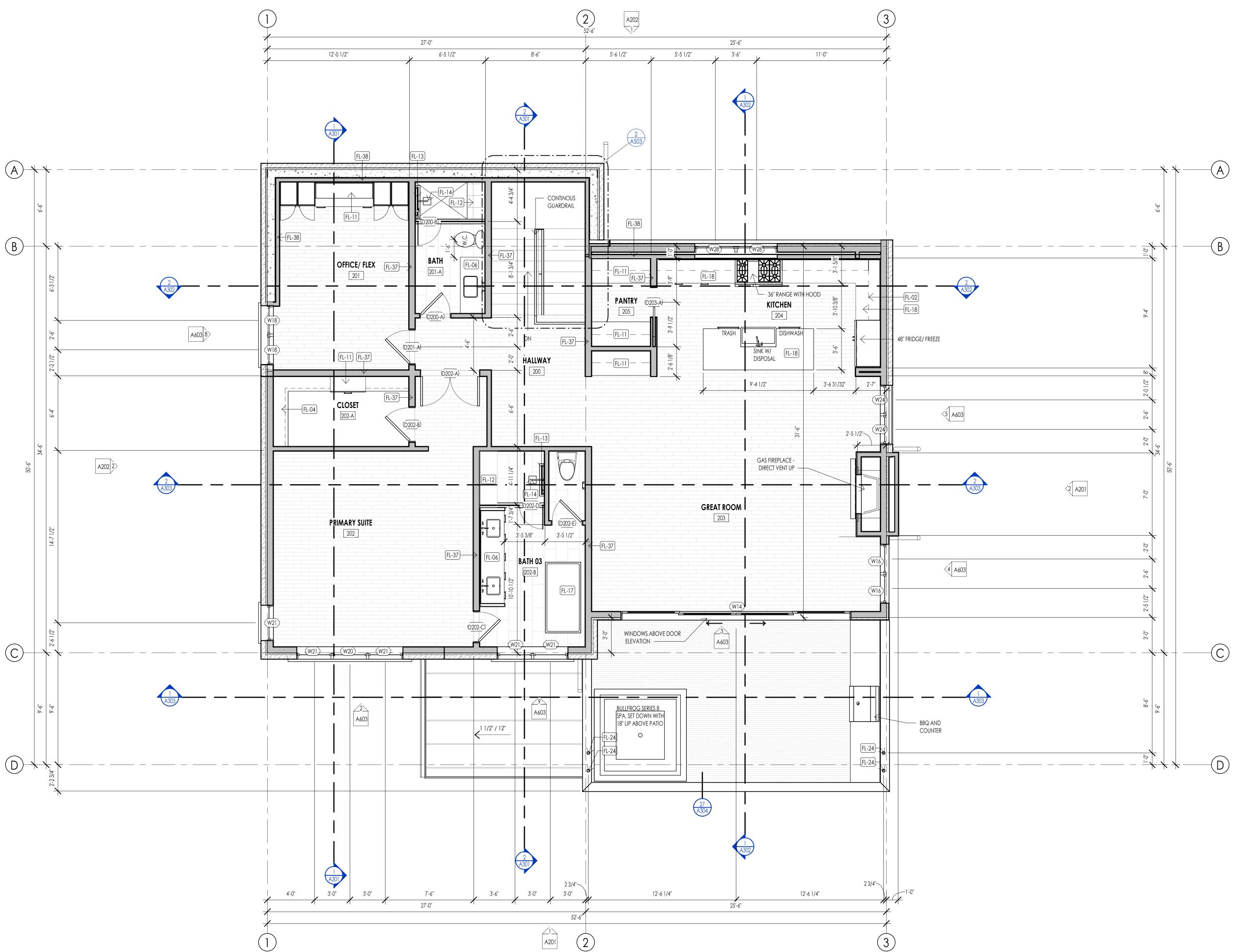
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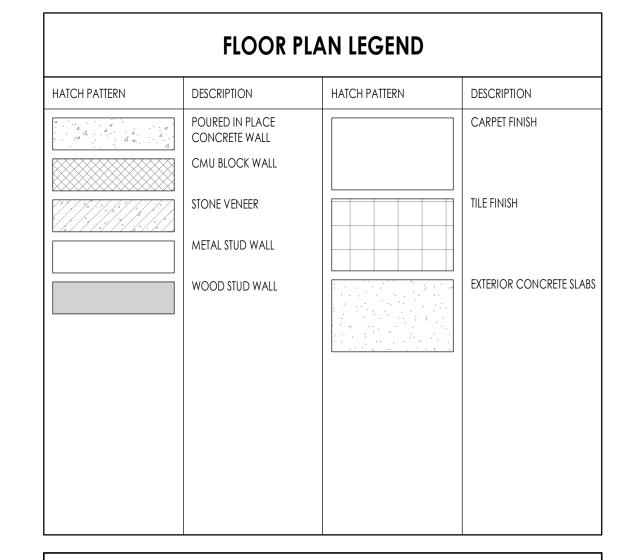
REVISIONS:

WARM SPRINGS RESIDENCE #33

SHEET TITLE:

LEVEL 1 FLOOR PLAN





FLOOR PLAN GENERAL NOTES

1. ALL DIMENSIONS ARE TO INTERIOR FACE-OF-STUD (F.O.S.) UNLESS NOTED OTHERWISE.

2. CEILING HEIGHTS MEASURED FROM PLYWOOD OR CONCRETE - SEE SECTIONS

3. REFER TO ENLARGED PLANS FOR ALL UNIT DIMENSIONS, WINDOW TYPES, DOORS AND WALLS. 4. REFER TO ENLARGED PLANS FOR ALL DECKS/PATIOS.

5. COORDINATE WITH ALL ENLARGED PLANS FOR ADDITIONAL INFORMATION AND DETAILS.

6. ALL TOPPING SLABS MUST BE POURED AFTER ROOF IS COMPLETE AND BUILDING IS DRIED IN. 7. SEE SHEET A002 FOR PROJECT GENERAL NOTES AND SHEET A003 FOR PROJECT KEYNOTES. REVIEW ALL NOTES PRIOR

8. COORDINATE WITH STRUCTURAL FRAMING PLANS AND SHEAR WALL PLANS FOR LOCATIONS OF COLUMNS, BEAMS, SHEAR WALLS, ETC.

9. COORDINATE WITH BUILDER/OWNER FOR ALL INTERIOR FINISHES

10. COORDINATE WITH ELECTRICAL DRAWINGS FOR ALL LIGHTING, POWER AND DATA REQUIREMENTS.

11. ALL EXTERIOR WALLS ARE ASSUMED TO BE 2X6 STUD WALLS UNLESS SHOWN/NOTED OTHERWISE.

13. ALL ROOF TRUSSES TO HAVE RAISED ENERGY HEEL CONSTRUCTION TO ALLOW FOR FULL DEPTH INSULATION OVER EXTERIOR WALLS (COORDINATE INSULATION REQUIREMENTS WITH RESCHECKS).

12. ALL INTERIOR WALLS ARE ASSUMED TO BE 2X4 STUD WALLS UNLESS SHOWN/NOTED OTHERWISE.

	FLOOR PLAN KEYNOTES			
	KEYNOTES			
FL-02	OVERHEAD CABINETS PROJECTION			
FL-04	CLOSET SHELVING/ ROD - PER INTERIOR DESIGNER			
FL-06	BATHROOM SINK - VANITY PER INTERIOR DESIGNER			
FL-11	CABINET SYSTEM/SHELVING PER INTERIOR DESIGNER			
FL-12	PROVIDE SHOWER BENCH AS PER OWNER/ INTERIOR DESIGN			
FL-13	PROVIDE "SCHLTER" KERDI-LINE LINEAR TRENCH DRAIN AGAINST BENCH, INTERIOR DESIGNER TO PROVIDE DRAIN COVER SPEC.			
FL-14	SHOWER HEAD PER INTERIOR DESIGN			
FL-17	TUB/ SOAKER TUB AS PER INTERIOR DESIGNER			
FL-18	KITCHEN SINK W/DISPOSAL - COUNTERTOP - CABINETS PER INTERIOR DESIGN			
FL-24	STRUCTURAL HOLLOW COLUMNS AS PER STRUCT.			
FL-37	2X6 STUD WALL ROUGH FRAMING, 16" O.C. U.N.O., SEE DETAILS.			
FL-38	2X4 BASEMENT STUD FURRING WALL, 16" O.C. SEE DETAILS.			



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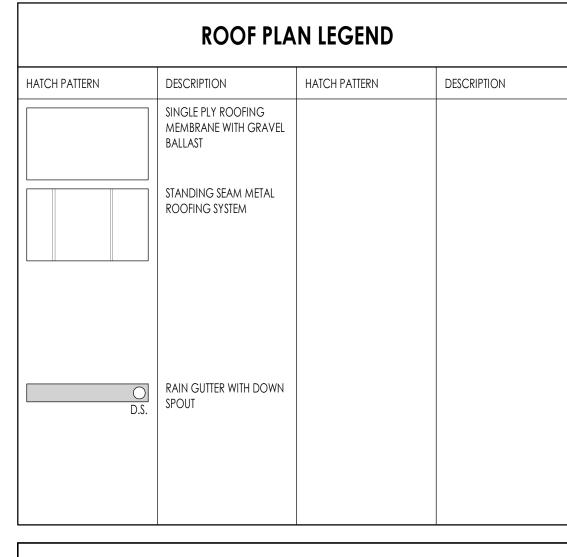
REVISIONS:

WARM SPRINGS RESIDENCE

SHEET TITLE:
LEVEL 2 FLOOR PLAN

LEVEL 2 - FLOOR PLAN

1/4" = 1'-0"



ROOF PLAN GENERAL NOTES

1. SEE SHEET G002 FOR PROJECT GENERAL NOTES. REVIEW ALL NOTES PRIOR TO CONSTRUCTION.

2. FLASH ALL ROOF PENETRATIONS WHETHER SHOWN OR NOT.

3. COORDINATE WITH MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR ALL ROOF PENETRATIONS. 4. PROVIDE HEAT TRACE IN ALL RAIN GUTTERS, DOWN SPOUTS AND RAIN CHAINS.

5. ROOFING CONTRACTOR SHALL REVIEW ALL SUBSTRATES PRIOR TO BEGINNING WORK.

6. ALL ROOFING SHALL BE REVIEWED PRIOR TO INSTALLATION.

7. CONTRACTOR IS RESPONSIBLE TO ASSUME THAT NO ROOF SLOPES CREATE DEAD SPOTS OR LOW SPOTS THAT WILL

8. ALL ROOF TRUSSES TO HAVE RAISED ENERGY HEEL CONSTRUCTION TO ALLOW FOR FULL DEPTH INSULATION OVER EXTERIOR WALLS (COORDINATE INSULATION REQUIREMENTS WITH RESCHECKS).

9. DIMENSIONS SHOWN ON THE ROOF PLAN ARE FROM THE EXTERIOR SIDE OF THE STUD FRAMING BELOW.

	ROOF PLAN KEYNOTES
	KEYNOTES
RF-01	ROOFING SHALL BE INSTALLED OVER CONTINUOUS BITUTHENE UNDERLAYMENT AND 30# SLIP SHEE METAL ROOF - RIGID INSULATION PER SCHEDULE.
RF-04	CONTRACTOR SHALL EXTEND UNDERLAYMENT AND BITUTHENE WATERPROOFING UP VERTICAL WAADJACENT TO ROOF A MINIMUM OF 24" U.N.O ON DETAILS
RF-05	ALL PENETRATRATION BY MECHANICAL DUCTWORK OR VENTING SHALL BE FLASHED AS PER MANUFACTURER SPECIFICATIONS- CONTRACTOR TO COORDINATE
RF-07	LINE OF WALL BELOW ROOF- SEE OVERALL AND ENLARGED PLANS
RF-10	CRICKET, AS INDICATED BY HATCHED AREA - MAINTAIN DRAINAGE AWAY FROM ALL CHIMNEY PENETRATIONS. SLOPE AND ROOFING MATERIAL OF CRICKETS SHALL MATCH THAT OF PRIMARY R (MIN.).
RF-19	CONTINUOUS METAL GUTTER TO SLOPE TO DOWNSPOUTS - CONTRACTOR TO COORDINATE
RF-20	ROOF DOWNSPOUT- SEE DETAILS AND SPECIFICATIONS



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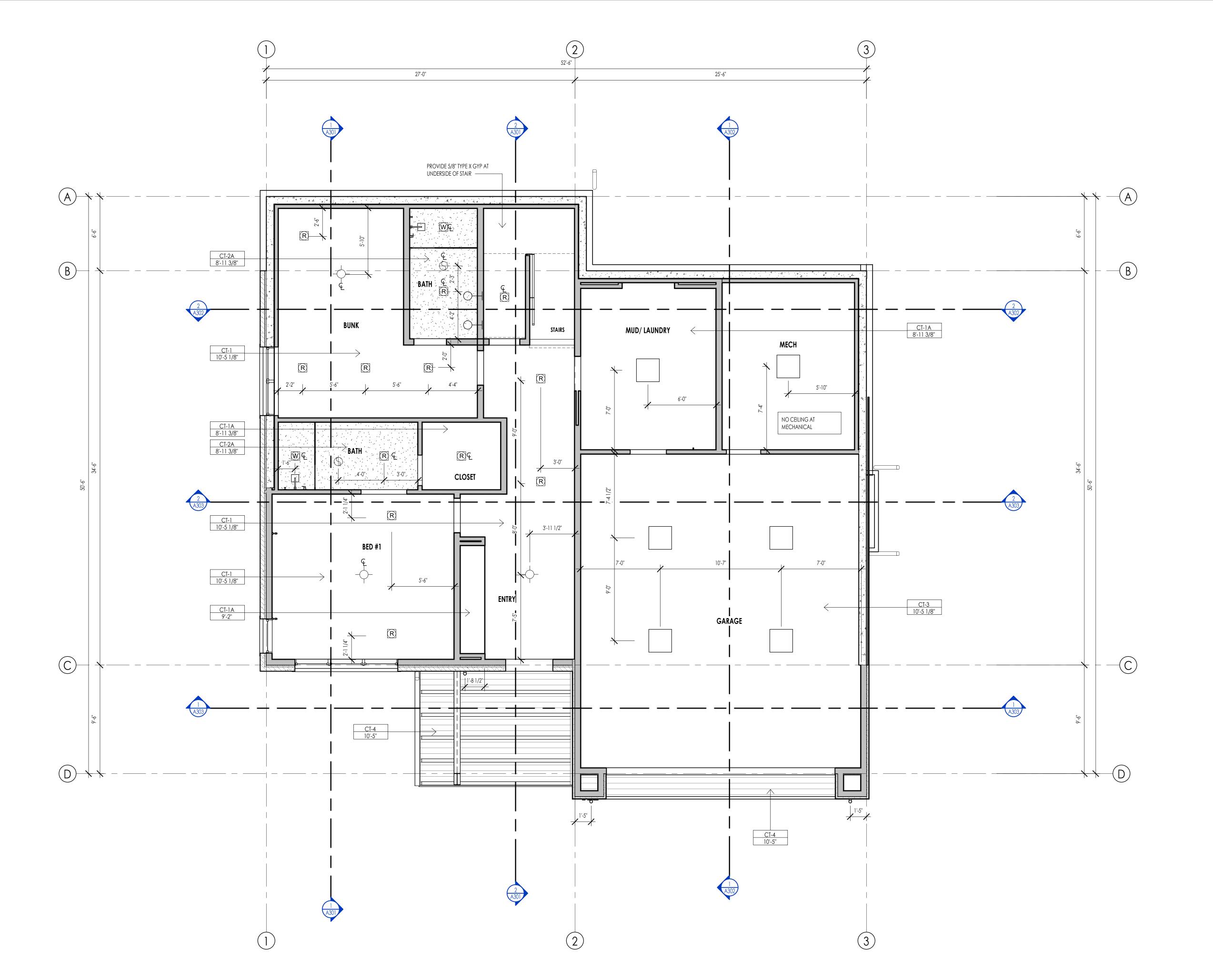


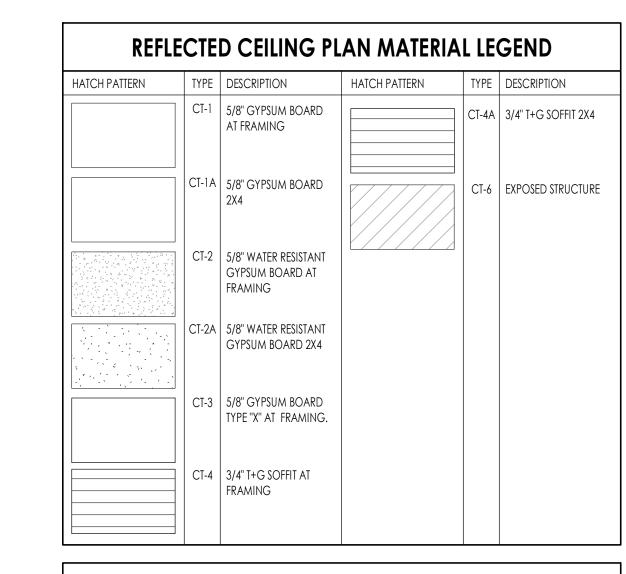
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REVISIONS:

WARM SPRINGS RESIDENCE

SHEET TITLE:
ROOF PLAN





REFLECTED CEILING PLAN GENERAL NOTES

1. ALL DIMENSIONS ARE TO INTERIOR FACE-OF-STUD (F.O.S.) UNLESS NOTED OTHERWISE. 2. ALL CEILING HEIGHTS MEASURED FROM TOP OF PLYWOOD OR CONCRETE SLAB TO BOTTOM OF CEILING FRAMING, U.N.O. - SEE SECTIONS.

3. REFER TO ENLARGED PLANS FOR ALL UNIT DIMENSIONS, WINDOW TYPES, DOORS AND WALLS.

4. REFER TO ENLARGED PLANS FOR ALL DECKS.

5. COORDINATE WITH ALL ENLARGED PLANS FOR ADDITIONAL INFORMATION AND DETAILS.

6. SEE SHEET G002 FOR PROJECT SPECIFICATION LIST. REVIEW ALL NOTES PRIOR TO CONSTRUCTION. 7. COORDINATE WITH ELECTRCIAL DRAWINGS FOR ALL LIGHTING, POWER AND DATA REQUIREMENTS.

8. ALL INTERIOR FINISHES ARE NOTED FOR CONCEPT ONLY. SEE INTERIOR DRAWINGS FOR MATERIAL SPECIFICATIONS, COLORS, PATTERNS, AND OTHER REQUIREMENTS PRIOR TO INSTALLATION.

CEILING TAG SYMBOL DESCRIPTION C1 1' - 0" CEILING TYPE

REFLECTED CEILING PLAN KEYNOTES

KEYNOTES

WARM SPRINGS RESIDENCE #33

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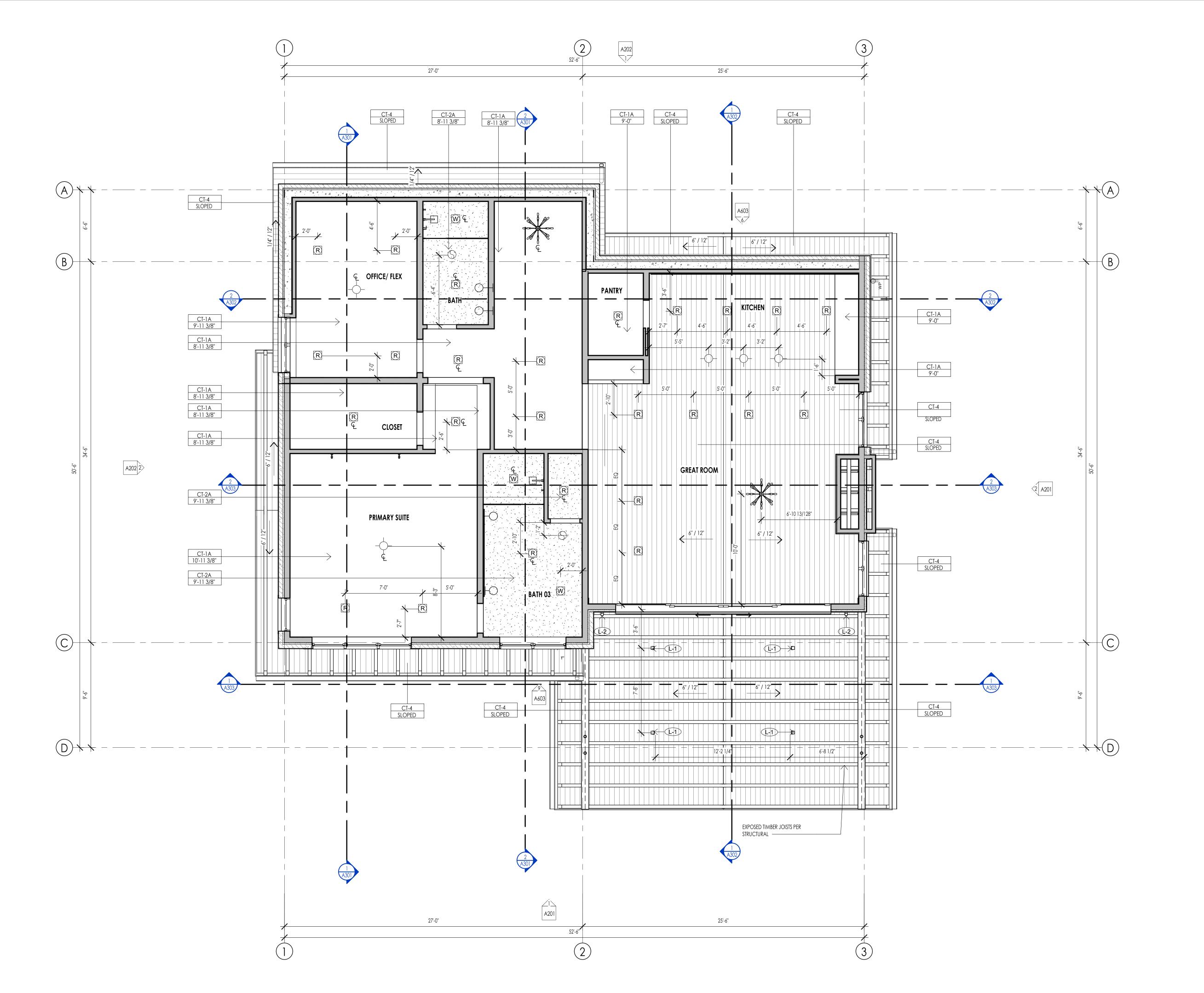
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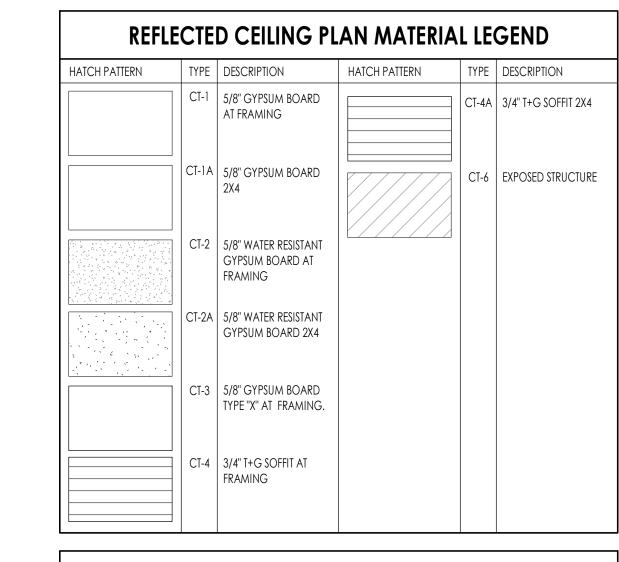
SHEET TITLE:

LEVEL 1 CEILING PLAN

LEVEL 1 - REFLECTED CEILING PLAN

1/4" = 1'-0"





REFLECTED CEILING PLAN GENERAL NOTES

1. ALL DIMENSIONS ARE TO INTERIOR FACE-OF-STUD (F.O.S.) UNLESS NOTED OTHERWISE. 2. ALL CEILING HEIGHTS MEASURED FROM TOP OF PLYWOOD OR CONCRETE SLAB TO BOTTOM OF CEILING FRAMING, U.N.O. - SEE SECTIONS.

3. REFER TO ENLARGED PLANS FOR ALL UNIT DIMENSIONS, WINDOW TYPES, DOORS AND WALLS.

4. REFER TO ENLARGED PLANS FOR ALL DECKS.

5. COORDINATE WITH ALL ENLARGED PLANS FOR ADDITIONAL INFORMATION AND DETAILS. 6. SEE SHEET G002 FOR PROJECT SPECIFICATION LIST. REVIEW ALL NOTES PRIOR TO CONSTRUCTION.

7. COORDINATE WITH ELECTRCIAL DRAWINGS FOR ALL LIGHTING, POWER AND DATA REQUIREMENTS.

8. ALL INTERIOR FINISHES ARE NOTED FOR CONCEPT ONLY. SEE INTERIOR DRAWINGS FOR MATERIAL SPECIFICATIONS, COLORS, PATTERNS, AND OTHER REQUIREMENTS PRIOR TO INSTALLATION.

CEILING TAG SYMBOL DESCRIPTION C1 1' - 0" CEILING TYPE - HEIGHT

REFLECTED CEILING PLAN KEYNOTES

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SHEET TITLE:
LEVEL 2 CEILING PLAN

LEVEL 2 - REFLECTED CEILING PLAN



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WARM SPRINGS RESIDENCE

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REVISIONS:

EXTERIOR ELEVATIONS



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REVISIONS:

EXTERIOR ELEVATIONS

S-34

S-04

SEE A/503 FOR

STAIR DETAILS

LEVEL 2 - T.O. GYP 112'-0"

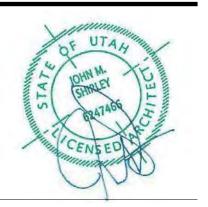
____ LEVEL 1 - T.O. FOOTING 96'-0"



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SHEET TITLE:
BUILDING SECTIONS

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LEVEL 2 - T.O. GYP

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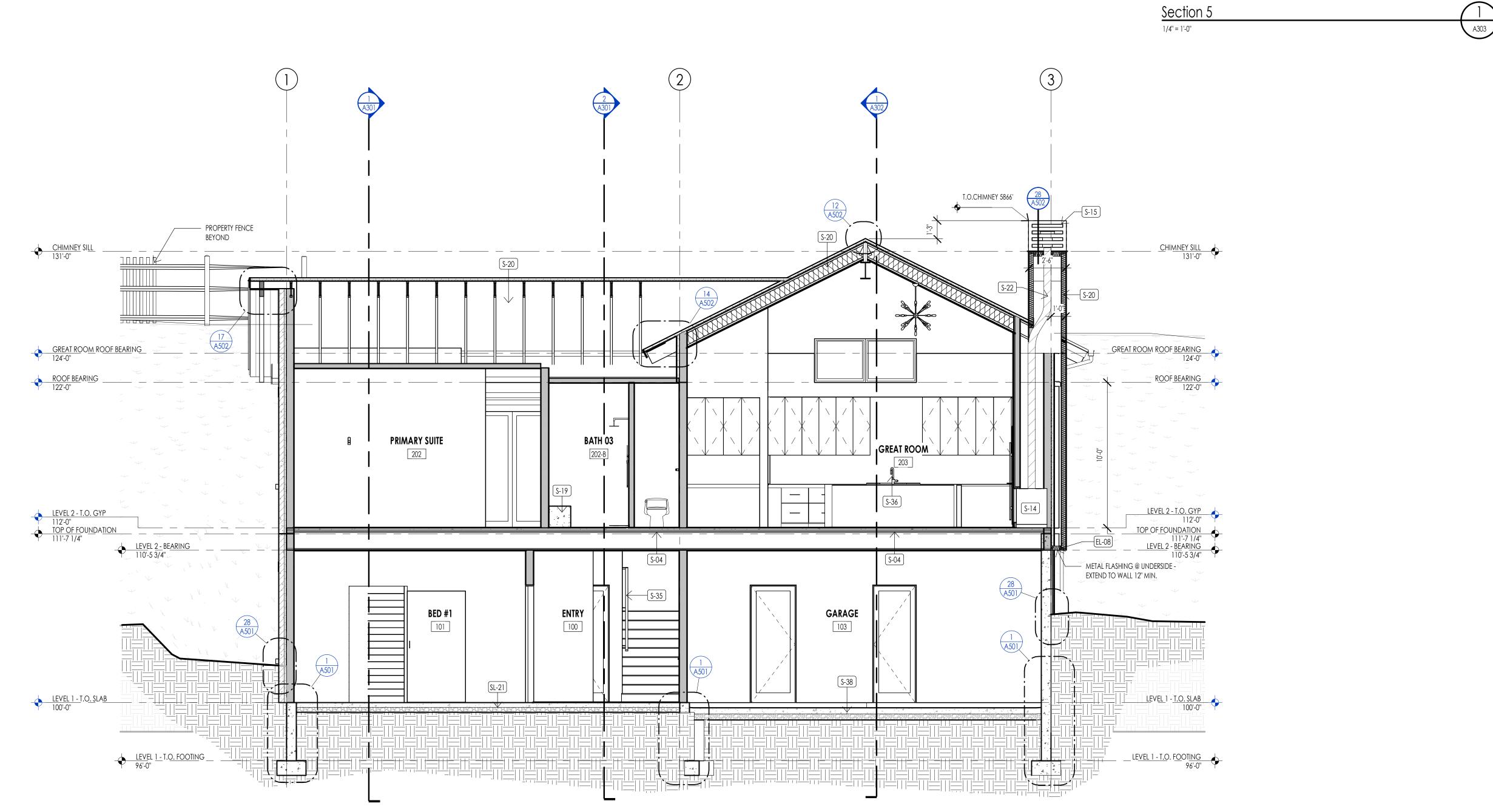
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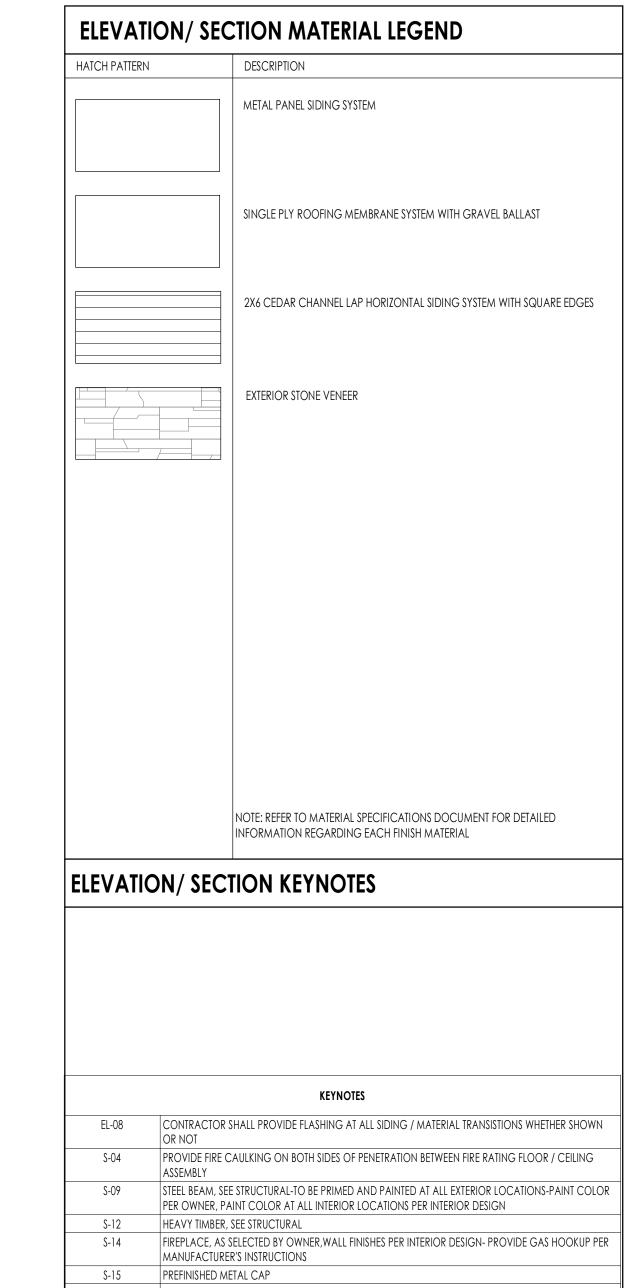
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BUILDING SECTIONS

SHEET NUMBER:

A302



Section 6





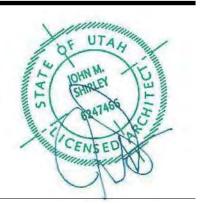
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SHOWER BENCH PER INTERIOR DESIGNER. CAVITY INSULATION PER SCHEDULE. DIRECT VENT FLEX FLUE PIPE-SEE SPECS. PER MECHANICAL. ELECTRICAL - MAIN ELECTRICAL PANEL WITH METER - INSTALLED AND COORDINATED AS REQUIRED BY UTILITY PROVIDER- SEE ELECTRICAL PLANS. STAINLESS-STEEL COUNTERTOP. CONNECT DOWNSPOUT TO STORM DRAIN CONNECTION AT GRADE. SEE CIVIL PLANS FOR HOOKUP. 36" CONTINOUS HANDRAIL SEE STAIR/ RAIL DETAILS SHEET. KITCHEN SINK - COORDINATE W/ PLUMBING. PROVIDE 100% SOLIDS EPOXY, HIGH PERFORMANCE COATING. PREFINISHED METAL GUTTER. WARP SLAB AT GARAGE DOORS TO PROVIDE DRAINAGE TOWARD THE DOOR OPENING PROVIDE RIGID FOAM INSULATION BELOW ENTIRE FLOOR SLAB AT LEVEL 0 - SEE SCHEDULE FOR R VALUES - PROVIDE ISULTARP FOR INSULATION AND VAPOR BARRIER ON TOP OF RIGID INSULATION, TAPE ALL SEAMS AND INSTALL PER MANUF. AND SPECS.

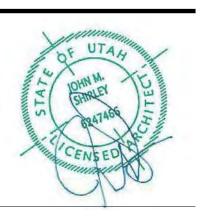
> PROJECT NC22023.33 DATE: 2023.12.27 REVISIONS:

WARM SPRINGS RESIDENCE

SHEET TITLE:
BUILDING SECTIONS

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WARM SPRINGS RESIDENCE

PROJECT NC22023.33

DATE: 2023.12.27

REVISIONS:

- WINDOW UNIT AS PER SCHEDULE

1 1/2" LIGHT WEIGHT TOPPING SLAB.

16" FLOOR TRUSSES AS PER STRUCTRUAL.

(1) LAYERS 5/8" TYPE "X" GYP. BD.. -PROVIDE (2) LAYERS AT GARAGE LOCATIONS.

MINIMUM 4 MIL. VAPOR BARRIER.

BEAM AS PER STRUCTRUAL.

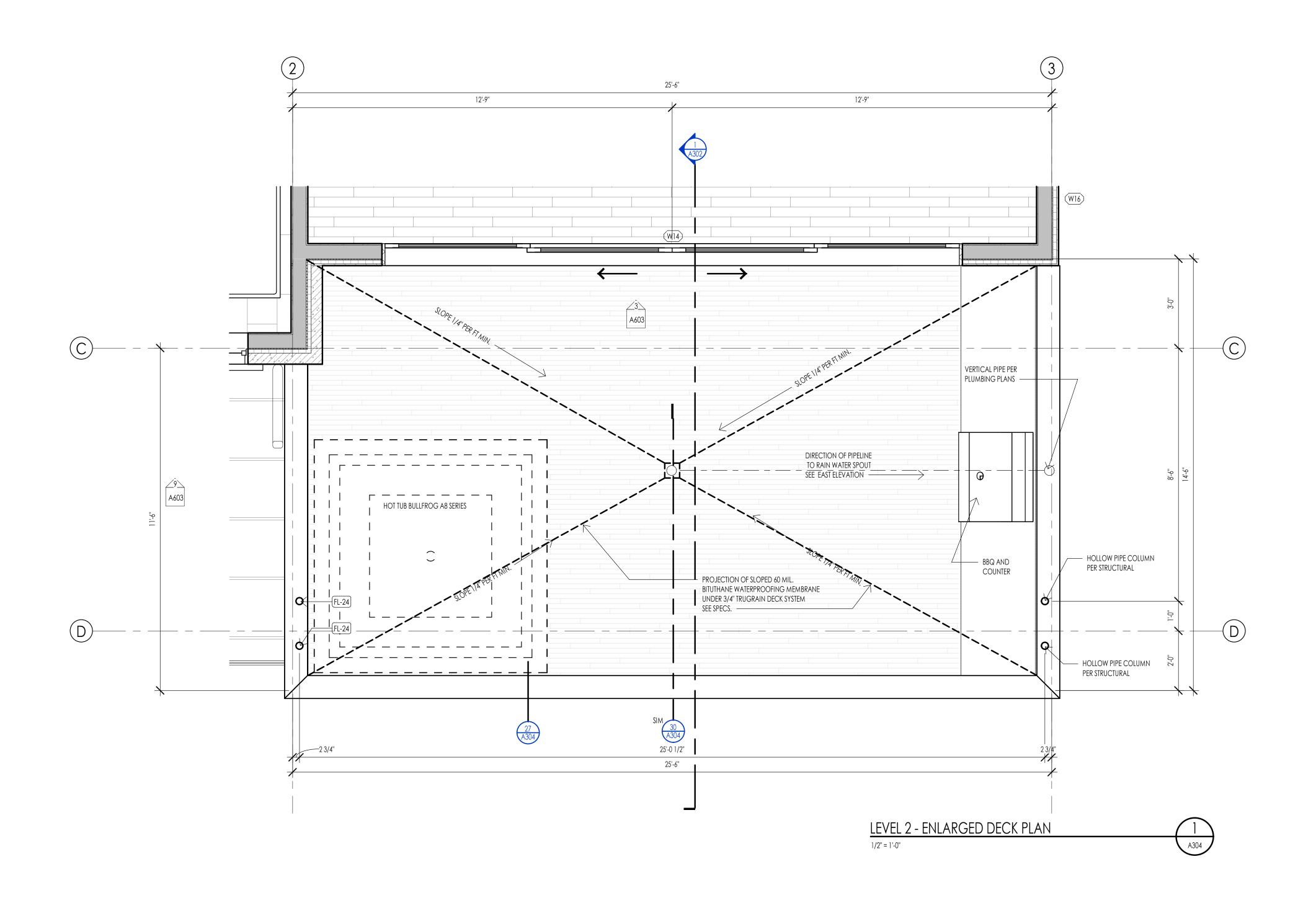
DECK - DRAINAGE DETAIL

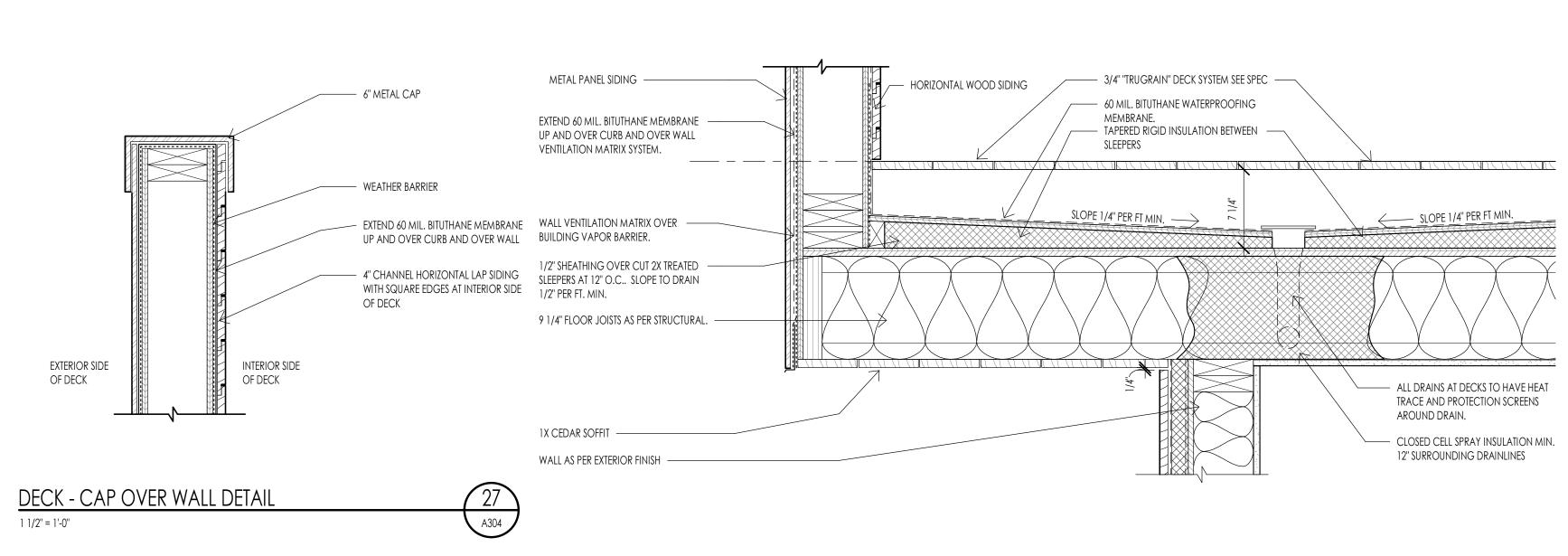
1 1/2" = 1'-0"

SHEET TITLE: ENLARGED DECK -

DETAILS









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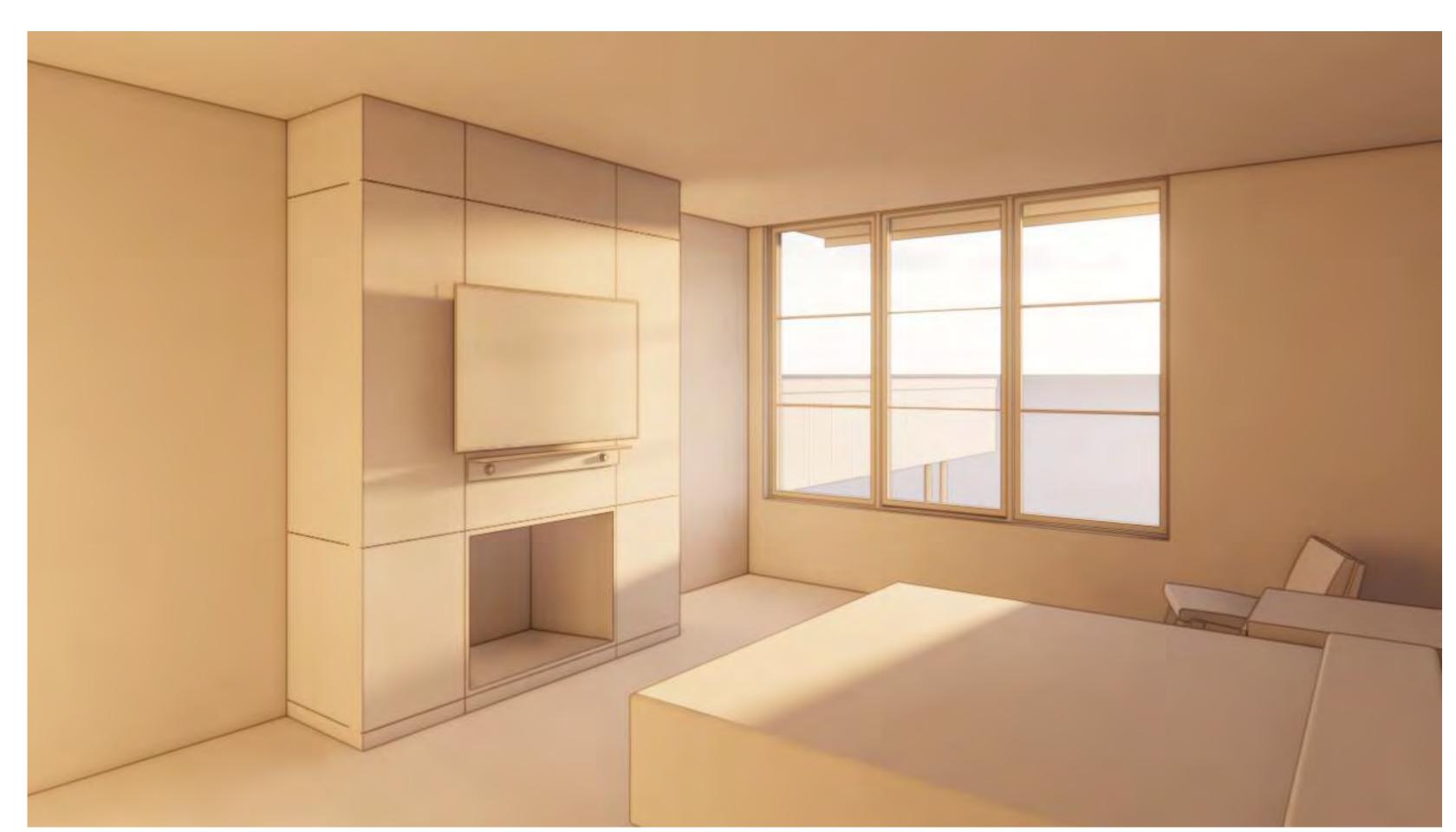
PROJECT NC22023.33 DATE: 2023.12.27

REVISIONS:

SHEET TITLE:
FIREPLACE ELEVATIONS



GREAT ROOM INTERIOR VIEW



OWNER SUITE INTERIOR VIEW



INTERIOR WOOD SLAT FINISH

STEEL FIREPLACE SURROUND

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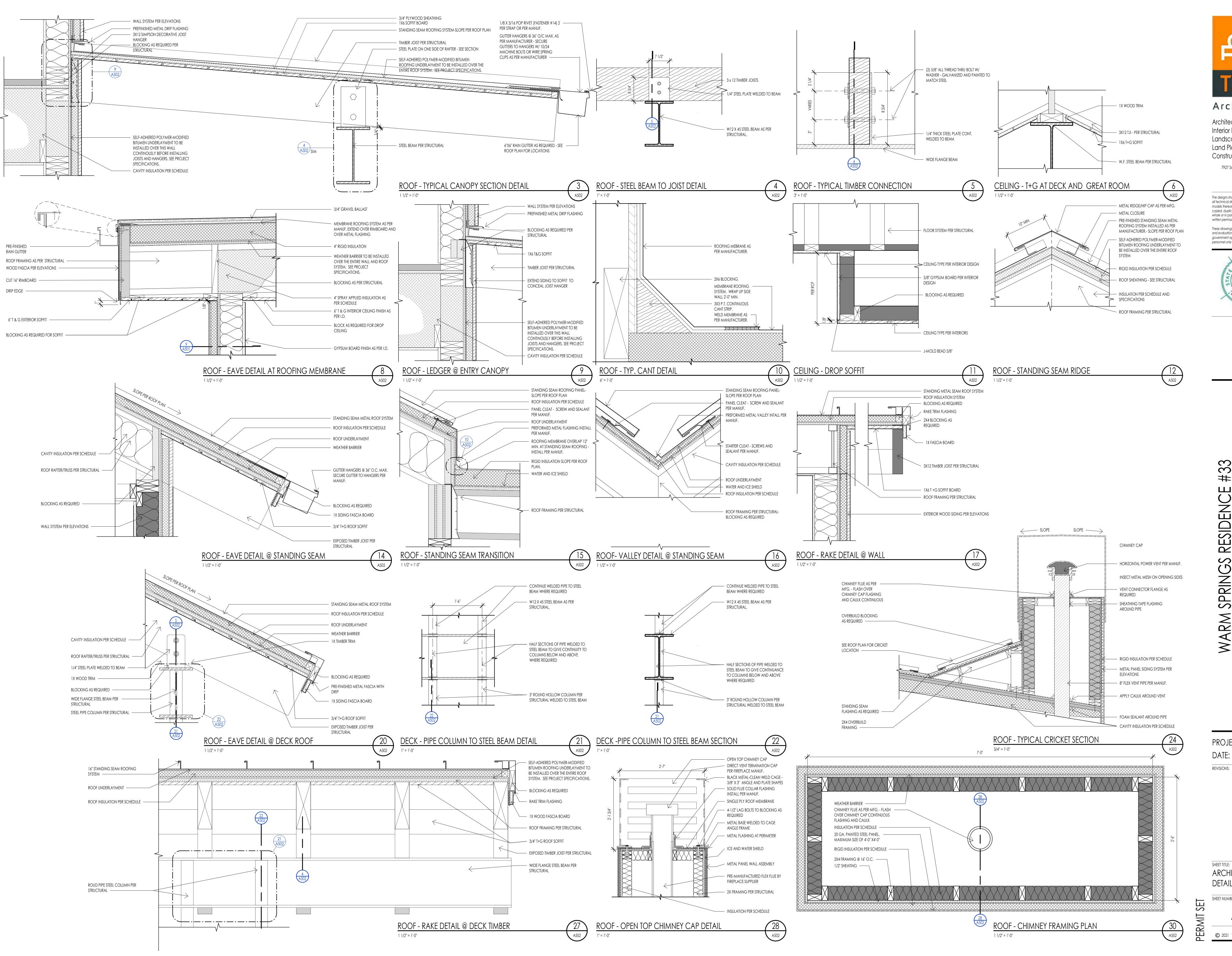
RESIDENCE SPRINGS

PROJECT NC22023.33 2023.12.27 **REVISIONS:**

SHEET TITLE:

SHEET NUMBER:

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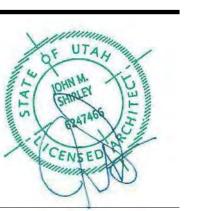


Architecture Interior Design Landscape Architecture Land Planning Construction Managemen

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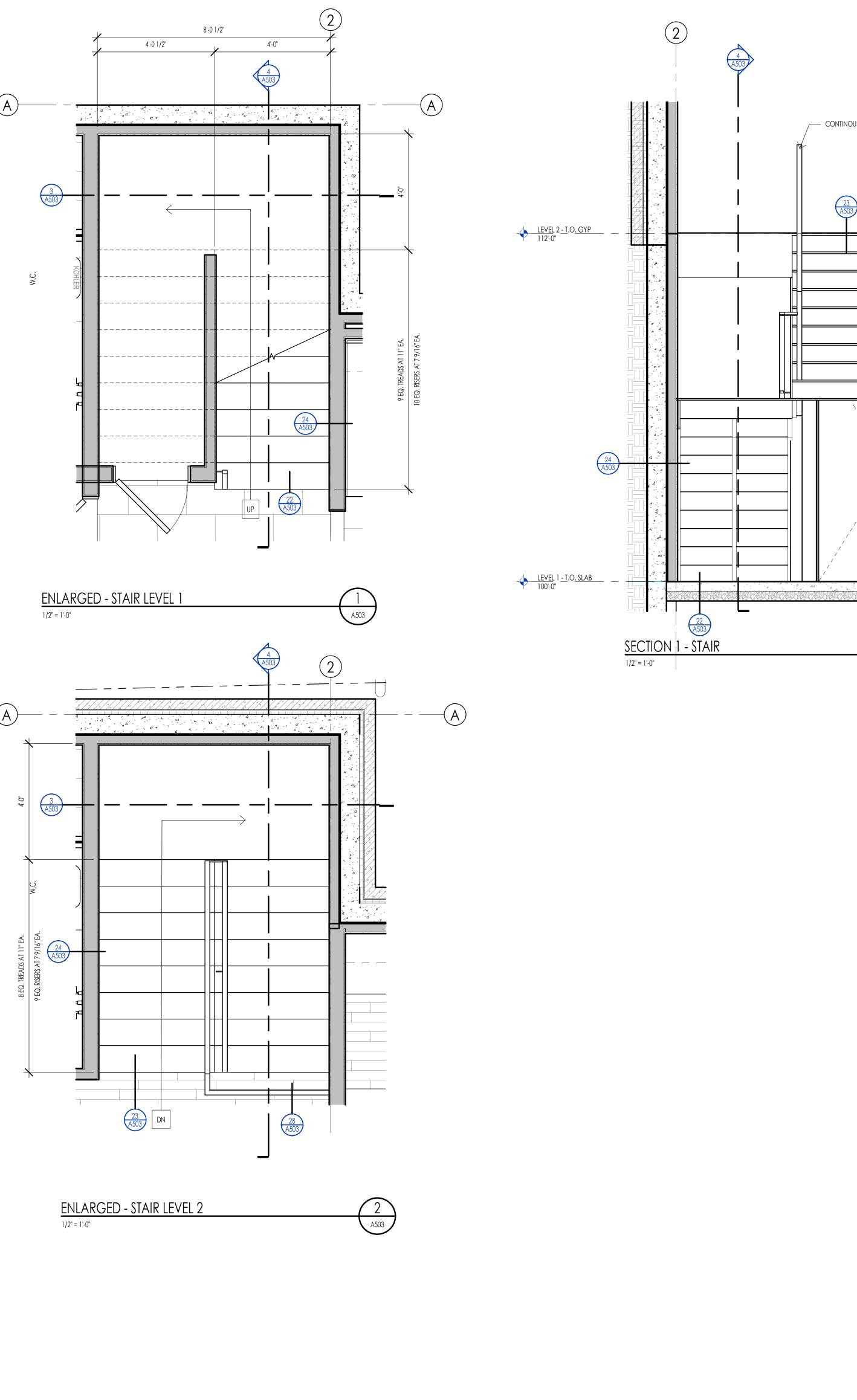
RESIDENCE SPRINGS

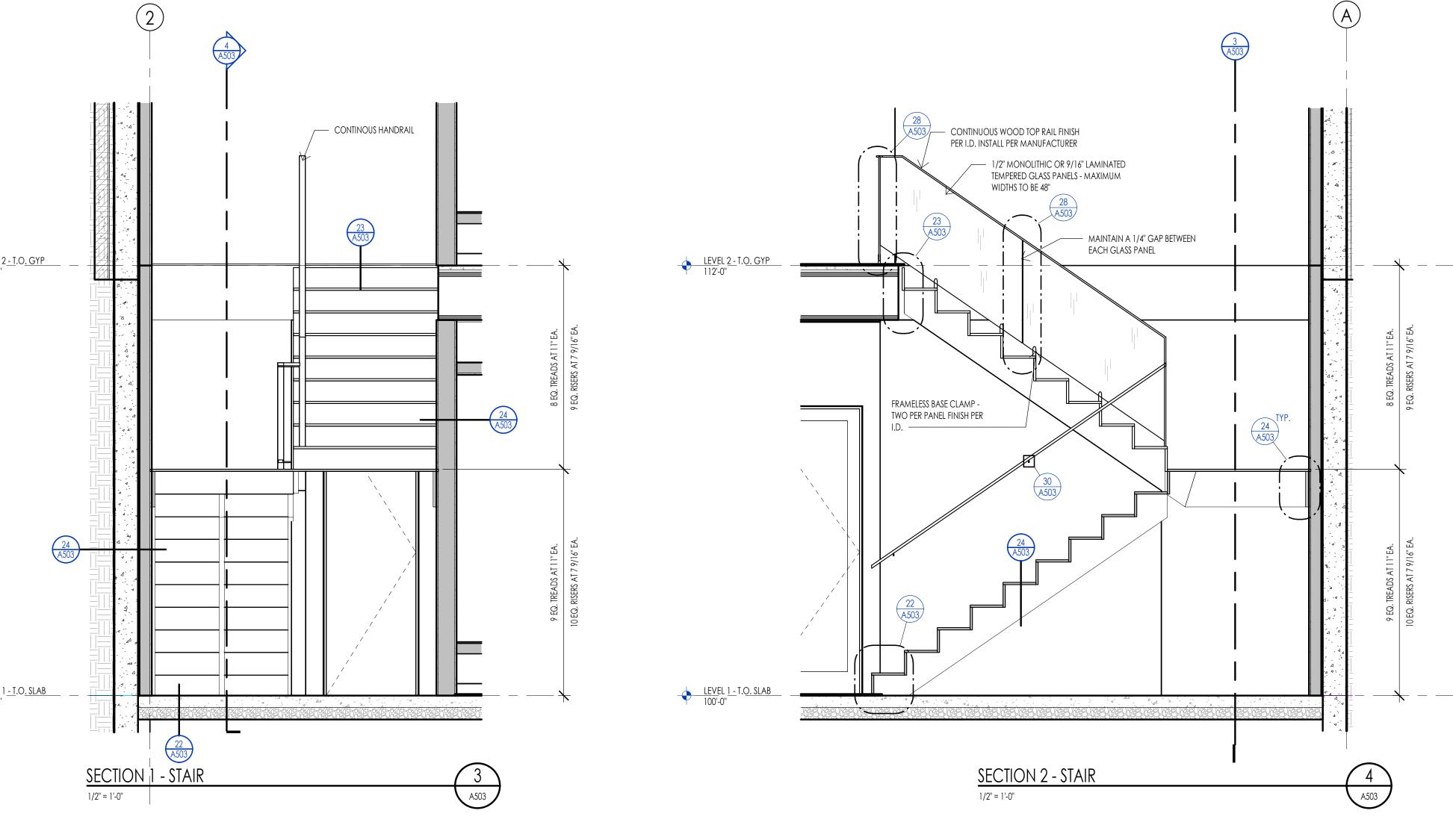
PROJECT NC22023.33

SHEET TITLE: ARCHITECTURAL DETAILS

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STAIR PLAN GENERAL NOTES

FOR SOME EXCEPTIONS/OPTIONS.

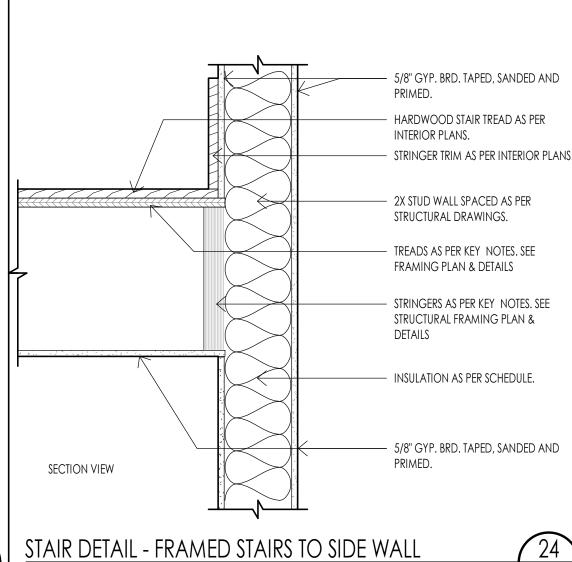
- STAIR CONSTRUCTION SHALL MEET THE FOLLOWING REQUIREMENTS. SEE I.R.C. SECTION R311.5.
- A. THE MINIMUM STAIRWAY WIDTH SHALL NOT BE LESS THAT 36 INCHES CLEAR WIDTH. HANDRAILS MAY PROJECT INTO THE REQUIRED WIDTH A DISTANCE OF 4 1/2 INCHES FROM EACH SIDE OF A STAIRWAY. IRC 311.7.1 FOR ADDITION WIDTH REQUIREMENTS OR FOR SPIRAL, CIRCULAR, WINDING STAIRS, ETC. REQUIREMENTS SEE I.R.C. SECTION R311.7.10.1
- THE MAXIMUM STAIR RISER HEIGHT SHALL NOT EXCEED 7-3/4 INCHES AND THE MINIMUM STAIR TREAD DEPTH SHALL BE 10 INCHES. THE TREAD DEPTH SHALL BE MEASURED HORIZONTALLY BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF ADJACENT TREADS. THE GREATEST RISER
 - HEIGHT OR TREAD DEPTH SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH. (UTAH STATE AMENDMENT (REPLACES R311.7.5 AND ALLOWS FOR 8" MAX RISERS AND 9 INCH MIN. TREADS) LANDINGS: EVERY LANDING SHALL HAVE A WIDTH DIMENSION OF NOT LESS THAN THE STAIRWAY SERVED. EVERY LANDING SHALL HAVE A MINIMUM DEPTH DIMENSION OF 36 INCHES MEASURED IN

THE DIRECTION OR TRAVEL. FOR LANDINGS WITH ADJOINING DOORS SEE I.R.C. SECTION R311.7.6

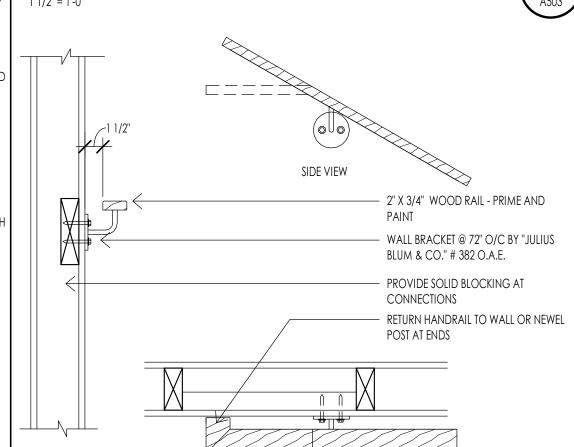
- ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2 INCH GYPSUM BOARD. (I.R.C. R302.7)
- HEADROOM: EVERY STAIRWAY SHALL HAVE A MINIMUM HEADROOM CLEARANCE IN ALL PARTS OF THE STAIR OF NOT LESS THAN 6 FEET 8 INCHES. SUCH CLEARANCES SHALL BE MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING OR FROM THE FLOOR SURFACE OF THE LANDING. (I.R.C. R311.7.2)
- HEADROOM: EVERY STAIRWAY SHALL HAVE A MINIMUM HEADROOM CLEARANCE IN ALL PARTS OF THE STAIR OF NOT LESS THAN 6 FEET 8 INCHES. SUCH CLEARANCES SHALL BE MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING OR FROM THE FLOOR SURFACE OF THE LANDING. (I.R.C.
- A. HANDRAILS SHALL BE MOUNTED A MINIMUM OF 34 INCHES AND A MAXIMUM OF 38 INCHES ABOVE THE NOSING OF THE TREAD AND SHALL BE PROVIDED ON A LEAST ONE SIDE OF STAIRWAYS. ALL REQUIRED HANDRAILS SHALL BE CONTINUOS THE FULL LENGTH OF THE STAIRS WITH FOUR OR MORE RISERS FROM A POINT DIRECTLY ABOVE THE TOP RISER OF THE FLIGHT TO A POINT DIRECTLY ABOVE THE LOWEST RISER. ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS. VOLUTES, TURNOUT OR STARTING EASING SHALL BE ALLOWED OVER THE LOWEST TREAD.
- MINIMUM TO 2 5/8 INCHES MAXIMUM. OTHER HANDRAIL SHAPES THAT HAVE AN EQUIVALENT GRASPING SURFACE ARE PERMISSIBLE, SEE BUILDING CODE. EDGES SHALL HAVE A MINIMUM RADIUS OF 0.01 INCH. R311.7.8.3.

THE HAND GRIP PORTION OF HANDRAILS SHALL HAVE A CIRCULAR CROSS SECTION OF 1 1/4 INCHES

- C. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1 1/2 INCHES BETWEEN THE WALL AND THE HANDRAIL.
- GUARD RAILS SHALL MEET THE FOLLOWING REQUIREMENTS. SEE I.R.C. SECTION R312.
- GUARDRAILS ARE REQUIRED AT ALL PORCHES, BALCONIES OR RAISED FLOOR SURFACES LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW AND SHALL BE NOT LESS THAN 36 INCHES IN HEIGHT. OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDS NOT LESS THAN 34 INCHES IN HEIGHT MEASURED VERTICALLY FROM THE NOSING OF THE TREAD.
- REQUIRED GUARDS ON OPEN SIDES OF STAIRWAYS, RAISED FLOOR AREAS, BALCONIES, ETC. SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL CLOSURES THAT DO NOT ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.
- C. THE TRIANGLE OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM RAIL OF A GUARD AT THE OPEN SIDE OF A STAIRWAY ARE PERMITTED TO BE OF SUCH A SIZE THAT A SPHERE 6 INCHES IN DIAMETER CANNOT PASS THROUGH.
- THE GUARDS AT SIDES OF STAIRS SHALL HAVE GUARD SUCH THAT A 4-3/8" SPHERE CANNOT PASS



1 1/2" = 1'-0"



TOP VIEW

SHEET NUMBER:

STAIR PLAN KEYNOTES HARDWOOD NOSING TO MATCH - FINISH FLOORING AS PER INTERIOR PROFILE OF OPEN STAIR TREADS. DESIGNER. (INSTALLER TO PROVIDE SHOP DRAWINGS.) 1X4 P.T. NAILING PLATE. 10 1/2" HARDWOOD NOSING TO MATCH PROFILE OF OPEN STAIR TREADS. (INSTALLER TO PROVIDE SHOP DRAWINGS.) - STAIR STRINGERS AS PER STRUCTURAL. - HARDWOOD STAIR TREADS AND RISERS AS PER INTERIOR PLANS. - 3/4" PLYWOOD STAIR TREADS AND RISERS ATTACHED TO STRINGERS. FLOOR SYSTEM AS PER STRUCTURAL. HARDWOOD STAIR TREADS AND RISERS - CONCRETE SLAB AS PER STRUCTURAL AS PER INTERIOR PLANS. 3/4" PLYWOOD STAIR TREADS AND RISERS ATTACHED TO STRINGERS. BEAM AS PER STRUCTURAL. — 5/8" GYP. BD., TAPED, SANDED, FINISHED AS PER INTERIOR DRAWINGS. STAIR STRINGERS AS PER STRUCTURAL. STRUCTURAL FOR ATTACHMENT TO STRINGER AND CONCRETE SLAB. STAIR DETAIL - FRAMED STAIRS TO LANDING STAIR DETAIL - FRAMED STAIRS TO BASEMENT FLOOR A503 A503 1 1/2" = 1'-0" 1 1/2" = 1'-0" - TOP OF RAIL TO BE MIN. 36" A.F.F. - 1/2" MONOLITHIC OR 9/16" LAMINATED CONTINUOUS WOOD TOP RAIL FINISH TEMPERED GLASS PANELS - MAXIMUM PER I.D. INSTALL PER MANUFACTURER WIDTHS TO BE 48" - 1/2" MONOLITHIC OR 9/16" LAMINATED TEMPERED GLASS PANELS - MAXIMUM WIDTHS TO BE 48" - Stainless Steel Glass Railing Base Clamp With (4) Lag Screws Per MAINTAIN A 1/4" GAP BETWEEN MANUFACTURER MIN. 3" EMBED. FINISH EACH GLASS PANEL PER INTERIOR DESIGN GYPSUM BOARD

FRAMELESS BASE CLAMP -TWO PER PANEL FINISH PER T.O. FINISH FLOOR OR STAIR

GLASS GUARDRAIL AT STAIR

GLASS GUARDRAIL - FLOOR CONNECTION
3" = 1'-0"

SECTION TYPICAL HANDRAIL DETAIL 1 1/2" = 1'-0"

FLOOR ASSEMBLY

A503

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REVISIONS:

PROJECT NC22023.33

Architecture

Landscape Architecture

Construction Management

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Architecture

Interior Design

Land Planning

RESIDENCE

SPRINGS

WARM

SHEET TITLE:

STAIR- PLAN- SECTIONS -DETAILS

DOOR SCHEDULE GENERAL NOTES

- SEE SHEET A601 FOR DOOR AND FRAME TYPES.
- CONTRACTOR SHALL FIELD VERIFY ALL DOOR OPENINGS PRIOR TO ORDERING ALL DOORS.
- CONTRACTOR SHALL SUBMIT COMPLETE DOOR AND HARDWARE SHOP DRAWINGS AND SUBMITTALS FOR APPROVAL FOR EACH BUILDING PRIOR TO ORDERING AND TAKING RECEIPT OF DOOR ORDER. ARCHITECT SHALL REVIEW ALL DOORS FOR COMPLIANCE SPECIFICATIONS AND BUILDING CODE.
- ALL DOORS REQUIRED TO BE RATED SHALL HAVE APPROPRIATE U.L. RATING AS INDICATED IN DOOR SCHEDULE AND SPECIFICATION. ALL DOORS SHALL HAVE LABEL ON DOOR AND FRAME FOR INSPECTION ON SITE, AND SHALL NOT BE REMOVED.
- ALL DOORS SHALL BE INSTALLED SO AS NOT TO HAVE MORE THAN 1/2" THRESHOLD AT EACH DOOR.
- REFER TO INTERIOR DESIGNER FOR CORRECT DOOR STYLES, SPECIES, AND FINISHES.
- OPENINGS BETWEEN GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOOR NOT LESS THAN 1 3/8 INCHES THICK, SOLID HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1 3/8 INCHES THICK, OR 20 MINUTE FIRE RATED DOORS. SEE I.R.C. SECTION R302.5.1.

HARDWARE GROUPS

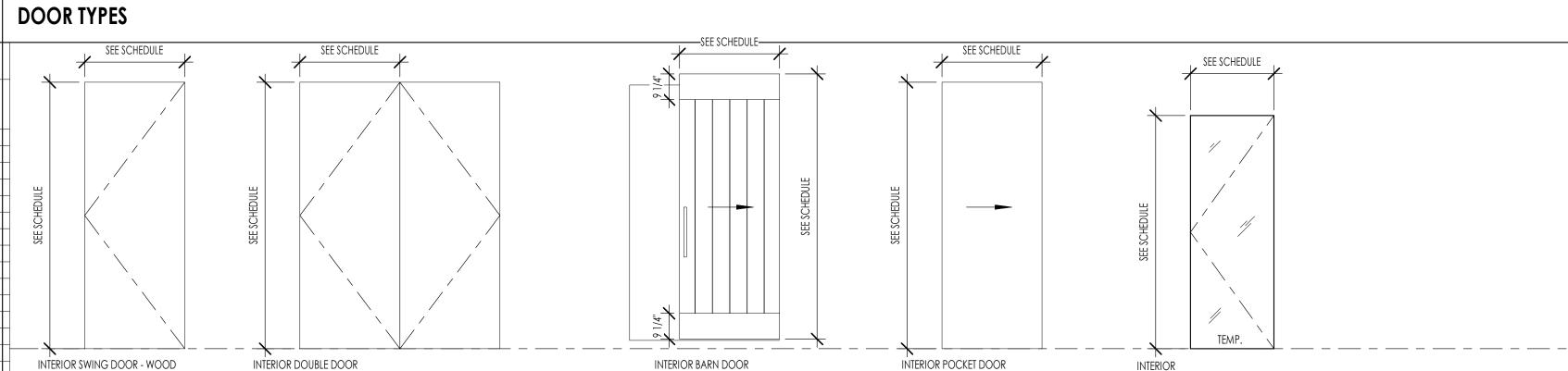
<u>MECHANICAL ROOM</u>PAIR SPRING HINGES

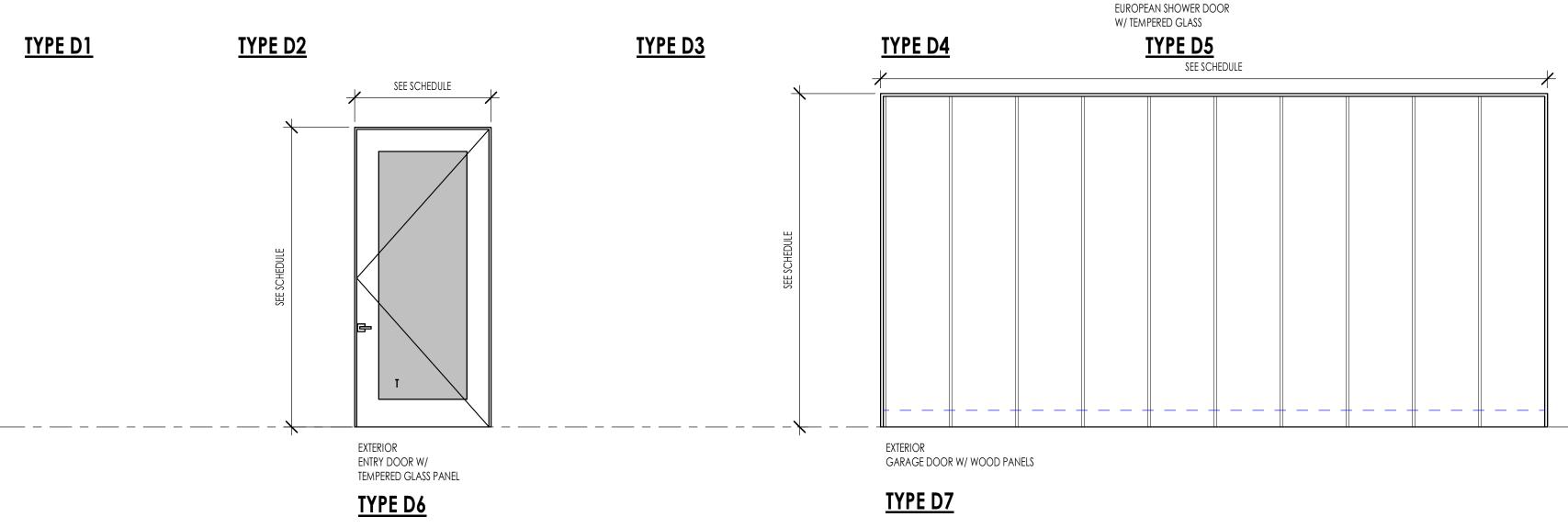
SMOKE SEAL

1 PASSAGE SET H2 OVERHEAD GARAGE DOORS GARAGE ENTRY PROVIDED BY

OVERHEAD DOOR MANUFACTURER

- H3 SECONDARY ENTRY DOOR 3 PAIR SPRING HINGES
- 1 SMOKE SEAL 1 LOCKSET
- 1 DEADBOLT
- 1 THRESHOLD
- H4 GARAGE/ HOUSE 3 PAIR HINGES
 - 1 WEATHER STRIP 1 LOCKSET 1 DEADBOLT
- H5 INTERIOR DOOR
 3 PAIR HINGES 1 PASSAGE SET
- H6 INTERIOR BARN DOOR
- H7 INTERIOR DOUBLE BARN DOOR
- H8 INTERIOR DOOR
 3 PAIR HINGES
- 1 PRIVACY SET H9 INTERIOR DOUBLE DOOR
- 6 PAIR HINGES - 2 KNOBS (SINGLE SIDE ONLY)
- H10 ENTRY DOOR
 1 WEATHER STRIP
- 1 THRESHOLD - 1 LOCKSET
- 1 DEADBOLT - 1 PIVOT HINGE (TOP AND BOTTOM)
- H11 INTERIOR DOUBLE DOOR
 6 PAIR HINGES - 2 PASAGE SET
- H12 POCKET DOOR









Architecture

Architecture Interior Design Landscape Architecture Land Planning

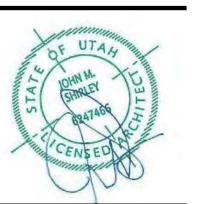
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Construction Management

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SPRINGS RESIDENCE

WARM

PROJECT NC22023.33

DOOR SCHEDULE & ELEVATIONS

REVISIONS:

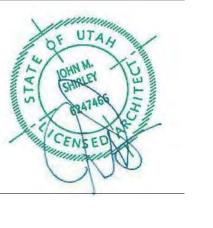


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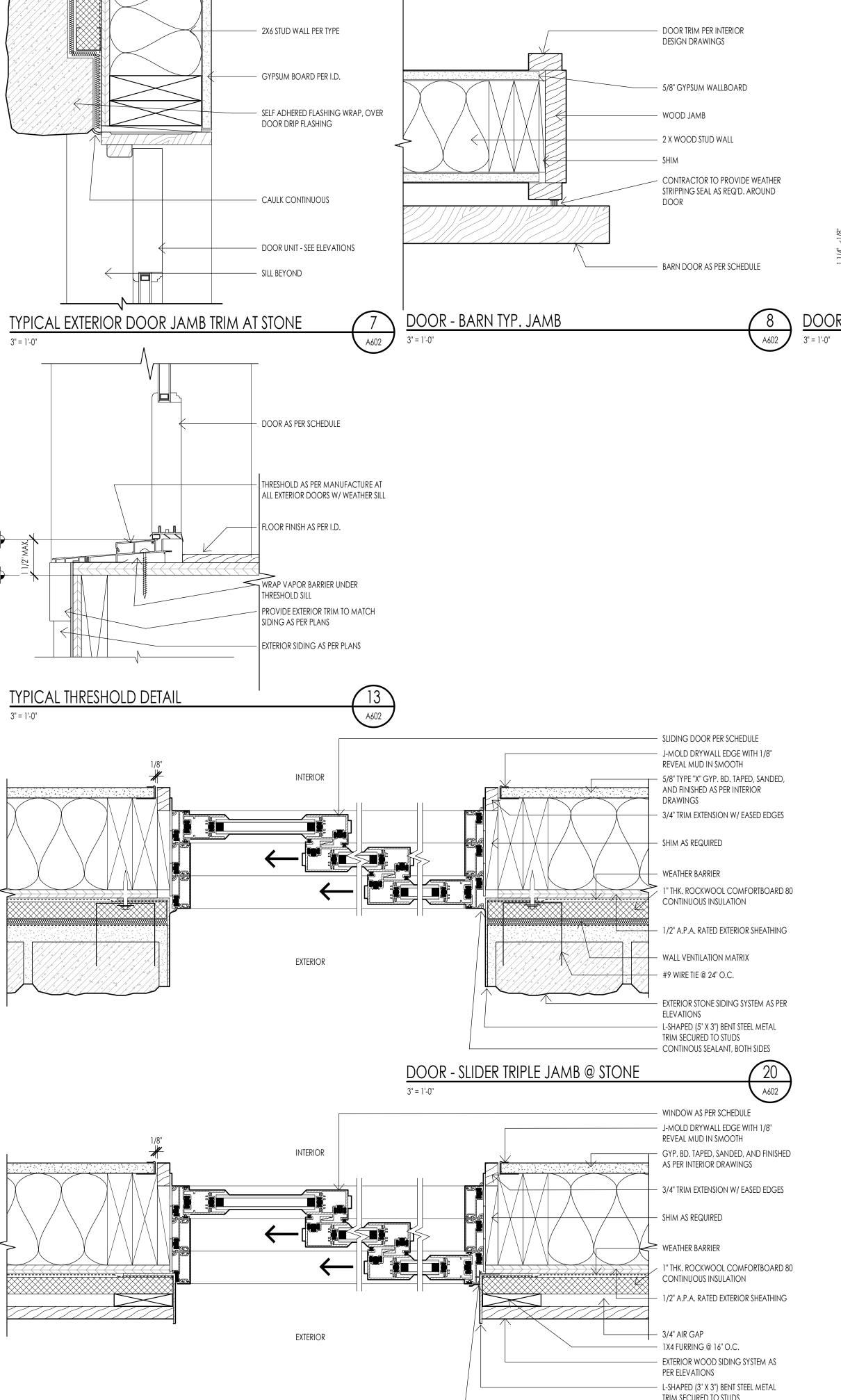
WARM SPRINGS RESIDENCE

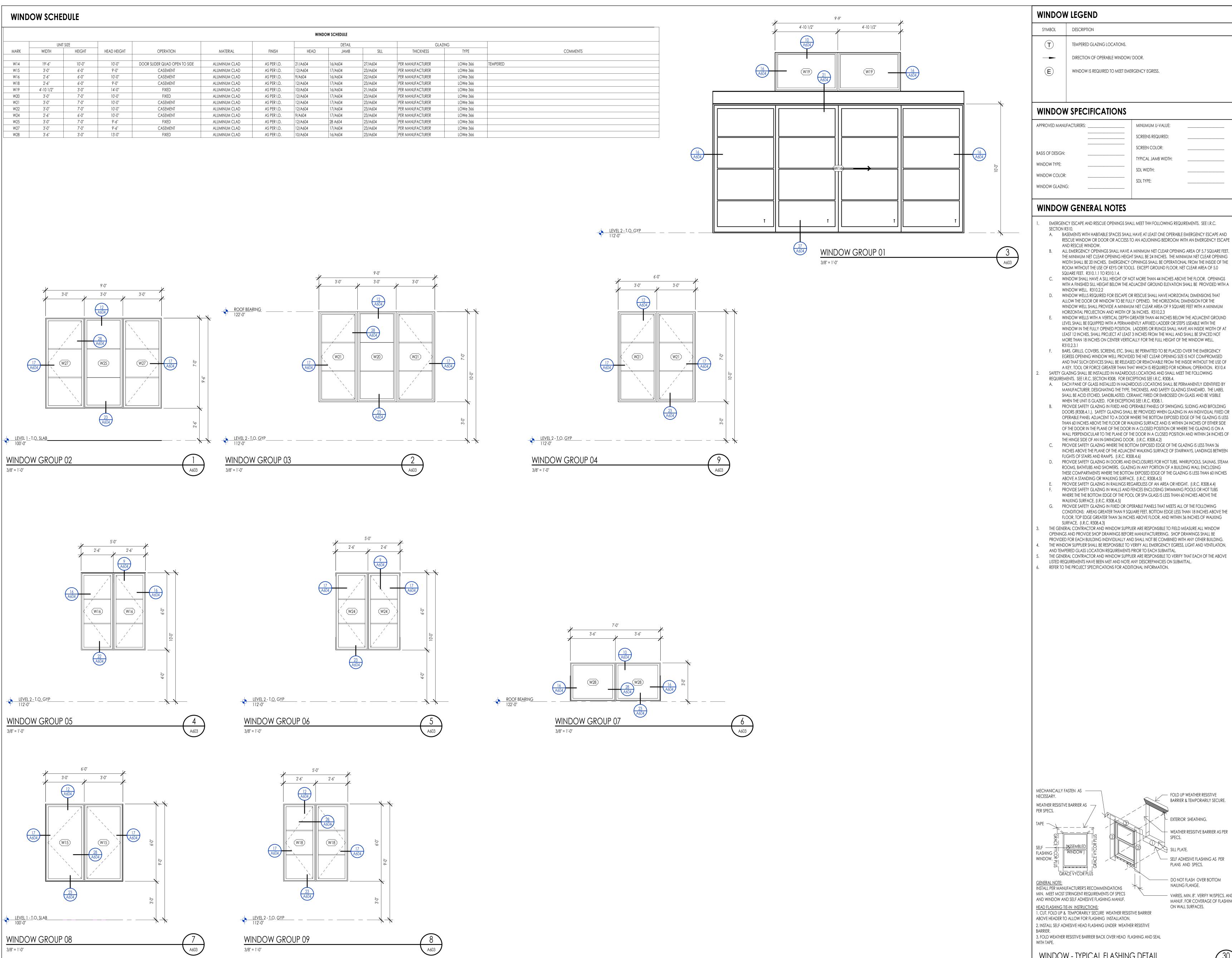
PROJECT NC22023.33 2023.12.27 **REVISIONS:**

DOOR DETAILS

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TRIM SECURED TO STUDS - CONTINOUS SEALANT, BOTH SIDES DOOR - SLIDER TRIPLE JAMB @ BOARD SIDING







Architecture Interior Design Landscape Architecture Land Planning Construction Management

MINUMUM U-VALUE:

SCREENS REQUIRED:

TYPICAL JAMB WIDTH:

SCREEN COLOR:

SDL WIDTH:

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RESIDENCE SPRINGS WARM

PROJECT NC22023.33

REVISIONS:

SHEET TITLE: WINDOW SCHEDULE & **ELEVATIONS**

SHEET NUMBER:

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WINDOW - TYPICAL FLASHING DETAIL

FOLD UP WEATHER RESISTIVE

- EXTERIOR SHEATHING.

SPECS.

SILL PLATE.

BARRIER & TEMPORARILY SECURE.

WEATHER RESISITVE BARRIER AS PER

SELF ADHESIVE FLASHING AS PER PLANS AND SPECS.

- DO NOT FLASH OVER BOTTOM

VARIES, MIN. 8". VERIFY W/SPECS. AND

MANUF. FOR COVERAGE OF FLASHING

NAILING FLANGE.

ON WALL SURFACES.

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SPRINGS RESIDENCE

PROJECT NC22023.33

REVISIONS:

SHEET TITLE: WINDOW DETAILS

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PLUMBING GENERAL NOTES

THE PLUMBING SYSTEM SHALL BE DESIGNED BY A LICENSED MECHANICAL CONTRACTOR/DESIGNER AND SHALL MEET ALL THE REQUIREMENTS OF THE 2015 IRC, IPC AND IECC. THE PLUMBING CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE PLUMBING SYSTEM INSTALLATION AND SHALL

PROVIDE A (1) ONE YEAR WARRANTY BEGINNING FROM THE TIME OF CERTIFICATE OF OCCUPANCY. THE

- CONTRACTOR IS RESPONSIBLE TO PROVIDE THE OWNER COMPLETE OPERATION AND MAINTENANCE MANUALS. THE CONTRACTOR SHALL ALSO SET UP A TIME TO PROVIDE COMPLETE TRAINING OF THE SYSTEM TO THE OWNER. THE PLUMBING CONTRACTOR SHALL REVIEW AND SHALL GANG ALL ROOF VENTS INTO SINGLE ROOF VENTS WHERE POSSIBLE, AND SHALL RUN THE VENTS OUT OF THE ROOF AT THE HIGHEST POINT POSSIBLE. ALL VENTS SHALL HAVE BLOCKING ON EACH SIDE OF THE VENT IN THE ROOF STRUCTURE TO ENSURE THE VENTS WILL NOT BE MOVED DUE TO SNOW ON THE ROOF. ALL VENTS SHALL BE SIZED PER THE BUILDING CODE, BUT SHALL NOT BE LESS THAN 3 INCH PIPES. THE PLUMBING CONTACTOR SHALL COORDINATE THAT THE PROPER FLASHING HAS BEEN INSTALLED
- FOR EACH VENT. THE ROOF VENTS SHALL EXTEND ABOVE THE ROOF AS REQUIRED BY THE LOCAL JURISDICTION AND BUILDING CODES. THE PLUMBING CONTRACTOR SHALL COORDINATE THIS INSTALLATION.
- ALL PLUMBING FIXTURES ARE SPECIFIED ON THE MECHANICAL DRAWINGS, AND ON THE INTERIOR DRAWINGS. THE PLUMBING CONTRACTOR SHALL PROVIDE FULL AND COMPLETE SHOP DRAWING SUBMITTAL ON ALL PLUMBING FIXTURE ITEMS FOR APPROVAL BY OWNER AND DESIGN TEAM.
- THE PLUMBING FIXTURES SHALL HAVE THE FOLLOWING REQUIREMENTS:
- a. Shower heads shall have a flow rate of 2.5 GPM or less WATER CLOSETS SHALL HAVE ECONO-FLUSH TANK 1.6 GAL MAX FLUSH
- C. ALL HOSE BIBS SHALL BE NON-FREEZE TYPE WITH BACK FLOW PREVENTERS. THE PLUMBING CONTRACTOR SHALL INSTALL ALL PLUMBING FIXTURES IN STRICT ACCORDANCE WITH THE MANUFACTURES ROUGHED IN INSTRUCTIONS. TAKE CARE DURING BUILDING CONSTRUCTION TO SEE THAT PROVISIONS ARE MADE FOR PROPOER FIXTURE SUPPORT AND THAT PROVISIONS ARE MADE FOR PROPER FIXUTRE SUPPORT. ROUGH IN PIPING IS ACCURATELY SET AND PROTECTED FROM MOVEMENT OF DAMAGE
- DURING CONSTRUCTION. THE PLUMBING CONTRACTOR SHALL MAKE SURE THAT NO PLUMBING WILL BE INSTALLED WITHIN THE EXTERIOR
- PLUMBING CONTRACTOR SHALL ASSESS WATER PRESSURE AND ENSURE ADEQUATE PRESSURE IS AVAILABLE FOR
- MULTIPLE FIXTURE USE SIMUTANEOULSLY WITH OUT PRESSURE DECREASE OR TEMPERATURE FLUCTUATION. PLUMBING CONTRACTOR SHALL PROVIDE A TURN OFF VALVE AND DRAIN AT THE LOWEST LEVEL OF THE FACILITY. ALL FIXUTRES SHALL BE ALBE TO DRAIN TO THIS POINT. PROVIDE A FLOOR DRAIN AT THE LOCATIONS OF PLUMBING SYSTEM DRAIN.
- ALL SUPPLY, WASTE AND GAS LINE MATERIALS, WORKMANSHIP, AND INSTALLATION AS PER INDUSTRY STANDARDS. ALL WATER SUPPLY LINES IN THE BUILDING SHALL BE TYPE "L" COPPER, TO INCLUDED PIPING TO MANIFOLDS, EQUIPMENT SHALL BE COPPER WITHIN THE BUILDING. ALL SUPPLY TO FIXTURES MAY BE POLYETHYLENE CROSS LINK PIPING FOR ABOVE GROUND AND BUILDING APPLICATIONS. INSTALL AS PER MANUFACTURERS SPECIFICATIONS. ALL CONNECTIONS FOR POLYETHYLENE PIPPING SHALL BE BRASS FITTINGS
- WITH COMPRESSION BAND FITTINGS. ALL WATER LINES UNDERGROUND SHALL BE TYPE "K" COPPER. ALL FITTINGS AND JOINTS SHALL BE SWEAT SOLDER JOINTS TOGETHER.
- WASTE LINES SHALL BE PROVIDED WITH CLEAN OUT AS REQUIRED. EXTEND CLEAN OUT TO ACCESSIBLE SURFACE. DO NOT PLACE CLEAN OUTS IN FLOORS UNLESS PREVIOUSLY APPROVED BY THE DESIGN TEAM AND OWNER. GAS PIPING SHALL BE INSTALLED AS PER THE LATEST CODE REQUIREMENTS FOR THIS TYPE OF PROJECT. ALL GAS PIPING SHALL BE FULLY TESTED AND INSPECTED FOR ANY LEAKS PRIOR TO FINAL COMPLETION OF THE PROJECT.
- THE CONTRACTOR SHALL INSTALL SHUT OFF VALVES AT EACH GAS APPLIANCE AND SHALL LOCATE THE VALVE TO HAVE ACCESS TO THE VALVE. PLUMBING CONTRACTOR SHALL TEST ALL PIPING INCLUDING DRAINAGE WASTE LINES, WATER PIPING, NATURAL
- GAS PIPING AND FITTINGS. ALL TEST SHALL BE PEFORMED TO MEET THE REQUIREMENTS OF THE APPLICABLE ALL WATER LINES SHALL FULLY DISINFECTED UPON THE FINAL COMPLETION OF THE PROJECT, AND BEFORE
- CERTIFICATE OF OCCUPANCY AND TURN OVER TO THE OWNER. ALL DRAINS SHALL HAVE A TRAP PRIMER OR EQUAL AS NECESSARY TO KEEP THE INTEGRITY OF THE PLUMBING TRAP.

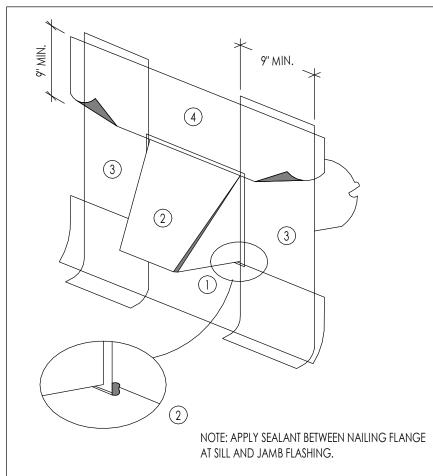
MECHANICAL GENERAL NOTES THE MECHANICAL SYSTEM SHALL BE DESIGNED BY A LICENSED MECHANICAL CONTRACTOR/

TIME TO PROVIDE COMPLETE TRAINING OF THE SYSTEM TO THE OWNER.

- DESIGNER AND SHALL MEET ALL THE REQUIREMENTS OF THE 2015 IRC, IMC AND IECC. THE MECHANICAL CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE MECHANICAL SYSTEM INSTALLATION AND SHALL PROVIDE A (1) ONE YEAR WARRANTY BEGINNING FROM THE TIME OF CERTIFICATE OF OCCUPANCY. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE OWNER COMPLETE OPERATION AND MAINTENANCE MANUALS. THE CONTRACTOR SHALL ALSO SET UP A
- THE CONTRACTOR IS RESPONSIBLE TO VISIT THE JOB SITE AND BECOME FAMILIAR WITH ALL EXISITNG CONDITIONS PRIOR TO STARTING THE WORK. THE MECHANICAL CONTRACTOR MUST ALSO PROVIDE NOTIFICATION TO THE ARCHITECT AND CONTRACTOR OF CONDITIONS THAT MAY BE DIFFERENT THAN EXPECTED DURING BIDDING.
- ALL LINE VOLTAGE AND LOW VOLTAGE CONTROL WIRING SHALL BE RAN, INSTALLED AND CONNECTED BY THE MECHANICAL CONTRACTOR OR THE MECHANICAL CONTRACTOR SHALL CONTRACT THE SCOPE OF WORK.
- ALL EQUIPMENT SPECIFICATIONS SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW. THE CONTRACTOR MUST PROVIDE THE DOCUMENTATION THAT IT MEETS THE REQUIREMENTS OF THE ENERGY LEVELS BEING ACHIEVED WITHIN THIS BUILDING. 6. THE MECHANICAL CONTRACTOR SHALL REVIEW AND COORDINATE WITH THE DRAWINGS FOR
- LOCATIONS OF ALL MECHANICAL ZONES. EXHAUST FANS WHERE SHOWN ON EITHER THE MECHANICAL OR ELECTRICAL PLANS SHALL BE SIZED FOR A MINIMAL RATE OF 50 CFM. ALL FANS SHALL BE HARD DUCTED WITH RIGID DUCT (NO FLEX DUCT SHALL BE ALLOWED), AND DIRECTED DIRECTLY TO THE EXTERIOR OF THE BUILDING IN A SOFFIT OR SIDE WALL. THE TERMINATION OF ALL EXHAUST FANS SHALL BE A MINIMUM OF 10'-0" AWAY FROM ANY OPERABLE WINDOW. TERMINATIONS SHALL BE INSTALLED AS NOT TO BE BLOCKED BY
- PROVIDE AN ACOUSTICAL INSULATION, GRIPS, CAPS, ETC AS REQUIRED. ALL GRILLS AND REGISTERS MUST BLEND TO THE ADJACENT FINISH, AND SHALL BE PROVIDED TO MEET THE REQUIREMENTS FOR THE FLOW RATE AS PER THE CFM REQUIREMENTS. ALL GRILLS SHALL BE EITHER PAINTED FOR METAL FINISH SELECTED.
- WATER HEATERS a. The required number of water heaters are shown on the mechanical plans. All WATER HEATERS SHALL BE 90% OR BETTER HIGH EFFICIENCY WATER HEATERS WITH RAPID RECOVERY. ALL WATER HEATERS SHALL BE INSTALLED WITH SEISMIC ANCHORING, AS PER

SNOW AND ICE. FANS SHALL BE A DIRECT DRIVE CENTRIFUGAL UNIT WITH SLOW SPEED MOTOR.

- ALL WATER HEATERS SHALL BE VENTED TO THE EXTEIOR. THE CONTRACTOR SHALL PROVIDE A FLOOR DRAIN WHETHER SHOWN OR NOT AT THE BASE OF ALL WATER HEATERS. THE FLOOR DRAIN MUST BE LOCATED, AND THE FLOOR MUST SLOPE
- TOWARD THE DRAIN IN A POSITIVE FLOW. GAS FIRED FURNANCES a. The required number of GAS fire furnaces shall be per the mechanical designer/ ENGINEER. THE LOCATION IS SHOWN ON THE MECHANICAL DRAWINGS WHERE THE
- LOCATIONS ARE PROVIDED FOR THE GAS FIRE FURNACES. b. THE GAS FIRED FURNACES SHALL BE A MINIMUM OF 90% OR BETTER HIGH EFFICIENCY FURNACE. THE EXACT SIZE OF EACH OF THESE UNITS SHALL BE PER THE MECHANICAL
- DESIGNER/ENGINEER. C. THE VENTING OF EACH GAS FIRE FURNACE SHALL BE PVE PIPE AND SHALL BE LOCATED AWAY FROM THE MAIN ENTRIES OF THE BUILDING, AND WINDOW LOCATIONS. COORDINATE THE
- EXACT LOCATION WITH THE OWNER AND ARCHITECT. d. THE CONTRACTOR SHALL PROVIDE A FLOOR DRAIN BY THE GAS FIRED FURNANCES FOR THE UNIT CONDESATE LINES. GAS FIRE BOILERS
- a. THE REQUIRED NUMBER OF GAS FIREBOILERS SHALL BE PER THE MECHANICAL DESIGNER/ ENGINEER. THE LOCATION IS SHOWN ON THE MECHANICAL DRAWINGS WHERE THE LOCATIONS ARE PROVIDED FOR THE GAS FIRE BOILERS.
- b. THE GAS FIRED BOILER SHALL BE A MINIMUM OF 90% OR BETTER HIGH EFFICIENCY FURNACE. THE EXACT SIZE OF EACH OF THESE UNITS SHALL BE PER THE MECHANICAL DESIGNER/
- THE VENTING OF EACH GAS FIRE BOILER SHALL BE PVE PIPE AND SHALL BE LOCATED AWAY FROM THE MAIN ENTRIES OF THE BUILDING, AND WINDOW LOCATIONS. COORDINATE THE
- EXACT LOCATION WITH THE OWNER AND ARCHITECT THE CONTRACTOR SHALL PROVIDE A FLOOR DRAIN BY THE GAS FIRED BOILER FOR THE UNIT CONDESATE LINES.
- DUCTWORK
- ALL DUCTWORK SHALL BE 26 GA. MINUMUM RIGID DUCT AND SHALL BE FULL SEALED AT
- EACH JOINT LOCATION. NO FLEXIBLE DUCT IS ALLOWED WITHIN THE INSTALLATION ALL DUCTWORK IN CEILINGS OF UNHEATED ROOM OR UNDER SLAB SHALL BE INSULATED DUCT WORK. ALL DUCTWORK WITHIN THE HEATING ENVELOPE OF THE STRUCTURE DOES NOT REQUIRED TO BE INSULATED, UNLESS SPECIFICALLY NOTED.
- ALL DUCTWORK SHALL BE IN THE SPACE ALLOCATED, AND SHALL NOT BE DROPPED BELOW FLOOR JOISTS, UNLESS NOTED ON DRAWINGS, OR PREVIOUSLY APPROVED BY THE ARCHITECT



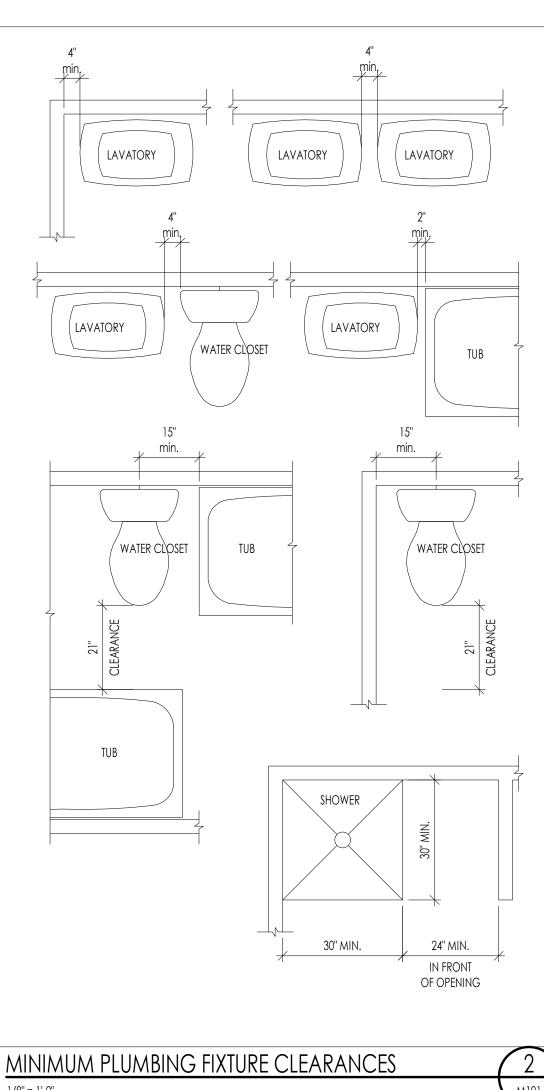
9 INCH MIN. WIDE SELF-ADHERED SELF-HEALING RUBBERIZED ELASTOMERIC ASPHALT FLASHING MEMBRANE INSTALLED A MIN. 9 INCHES BEYOND ROUGH OPENING

- -DO NOT OVERLAP THE TOP OF SILL FRAMING -ADHERE ONLY AT TOP EDGE. LEAVE UNATTACHED AT BOTTOM SO THAT THE PAPER CAN BE INSTALLED UNDERNEATH
- 26 GA. MIN. GALV. SHEET METAL VENT MUST BE INSTALLED OVER SILL FLASHING. INSTALL JAMB FLASHING OVER OR UNDER NAILING FLANGE. SET VENT IN A CONTINUOUS BED OF SEALANT.
- JAMB FLASHING 9 INCH MIN. WIDE SELF ADHERED SELF-HEALING RUBBERIZED ELASTOMERIC ASPHALT FLASHING MEMBRANE.

EXHAUST VENT DETAIL

1 1/2" = 1'-0"

- FLASHING INSTALLED OVER AND BELOW SILL FLASHING AND ABOVE TOP OF FUTURE HEAD FLASHING. -DO NOT FASTEN THE BOTTOM 9 INCHES OF THE JAMB FLASHING SO THE WEATHER-RESISTANT BARRIER APPLIED LATER MAY BE SLIPPED UNDERNEATH THE FLASHING IN A WEATHERBOARD FASHION.
- APPLY SELF-ADHERED SELF-HEALING RUBBERIZED ELASTOMERIC ASPHALT FLASHING MEMBRANE OVER DRYER VENT FLANGE. EXTEND HEAD FLASHING BEYOND EACH JAMB FLASHING.



- 5/8 "TYPE 'X' GYPSUM BOARD STUD WALL WESTERN ONE KOTE SYSTEM, PLYWOOD SHEATHING, SEE STRUCTURAL - EXTERIOR WALL FINISH SYSTEM SEE ELEVATIONS - SEALANT JOINT AT VENT DUCT TO SET FLANGE IN SEALANT HOUSEWRAP — DRYER VENT - 2" CONTINUOUS FLANGE AT PERIMETER OF HOOD - SEALANT AT PERIMETER OF - SEALANT w/ BACKER ROD PENETRATION - AIR SEAL DUCT JOINTS FASTENER THROUGH NYLON SLEEVE - 6 ML. VAPOR BARRIER FASTENER SET IN SEALANT - 2 LAYERS OF 30# BUILDING FELT OVER PLYWOOD



Architecture Interior Design

Landscape Architecture Land Planning Construction Managemen

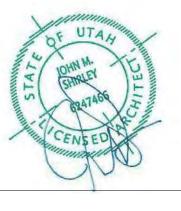
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WALL EXHAUST VENT

TYPICAL DRYER VENT (SHOWN WITH STUCCO)

GARAGE HEATER 60,000 BTU CONFIRM WITH CONTRACTOR WATER HEATER 36,000 BTU CONFIRM WITH CONTRACTOR GAS SCHEMATIC

PROJECT NC22023.33 **REVISIONS:**

WARM SPRINGS RESIDENCE

SHEET TITLE:
MECHANICAL GENERAL

2. MECHANICAL AND PLUMBING LAYOUTS ARE SHOWN IN SCHEMATIC. THE PLUMBING AND MECHANICAL CONTRACTORS ARE RESPONSIBLE TO DESIGN AND SIZE EQUIPMENT CAPACITY, PIPE AND DUCT LINES, PLUMBING LINES AND ALL OTHER EQUIPMENT AS PER NATIONAL, STATE AND LOCAL CODES AND AS PER THE GENERAL NOTE REQUIREMENTS. 3. THE CONTRACTOR IS RESPONSIBLE TO COORDINATE THE LAYOUT AND INSTALLATION OF ALL RELATED ITEMS WITH EXISTING CONDITIONS AND ALL OTHER TRADES.

4. COORDINATE WITH OWNER, INTERIOR DESIGNER AND/OR PLANS FOR FIXTURE SCHEDULES, STYLES, FINISHES, ETC.

5. ALL REGISTERS AT LOWER LEVEL TO BE CEILING MOUNT UNLESS OTHERWISE NOTED. 6. COORDINATE BETWEEN MECH. SUB AND ELECTRICAL SUB AT PRECONSTRUCTION MEETING FOR DUCT LOCATIONS AND

RECESSED CAN LOCATIONS.

MITIGATION SYSTEM.

BLDG. CODES AND MANUFACTURER.

7. ALL PLUMBING FIXTURE/MECHANICAL EQUIPMENT SELECTIONS TO BE APPROVED BY OWNER/DEVELOPER. 8. PROVIDE REQUIRED COMBUSTION AIR VENT DUCTS AT CEILING FOR WATER HEATER AND FURNACE AS REQUIRED BY

9. MECHANICAL DESIGN SHOULD BE IN ACCORDANCE WITH 2006 INTERNATIONAL RESIDENTIAL CODE.

10. DUCT PENETRATIONS IN GARAGES SHALL BE 26 GAUGE SHEET METAL MIN, AND SHALL HAVE NO OPENINGS INTO THE

11. FLUES SHALL NOT PENETRATE THE ROOF WITHIN 4'-0" OF PARTY WALLS.

12. RADON: THE MECHANICAL CONTRACTOR IS RESPONSIBLE TO PROVIDE RADON TESTING AND APPLY AN APPROPRIATE

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Architecture

Landscape Architecture

Construction Management

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Architecture

Interior Design

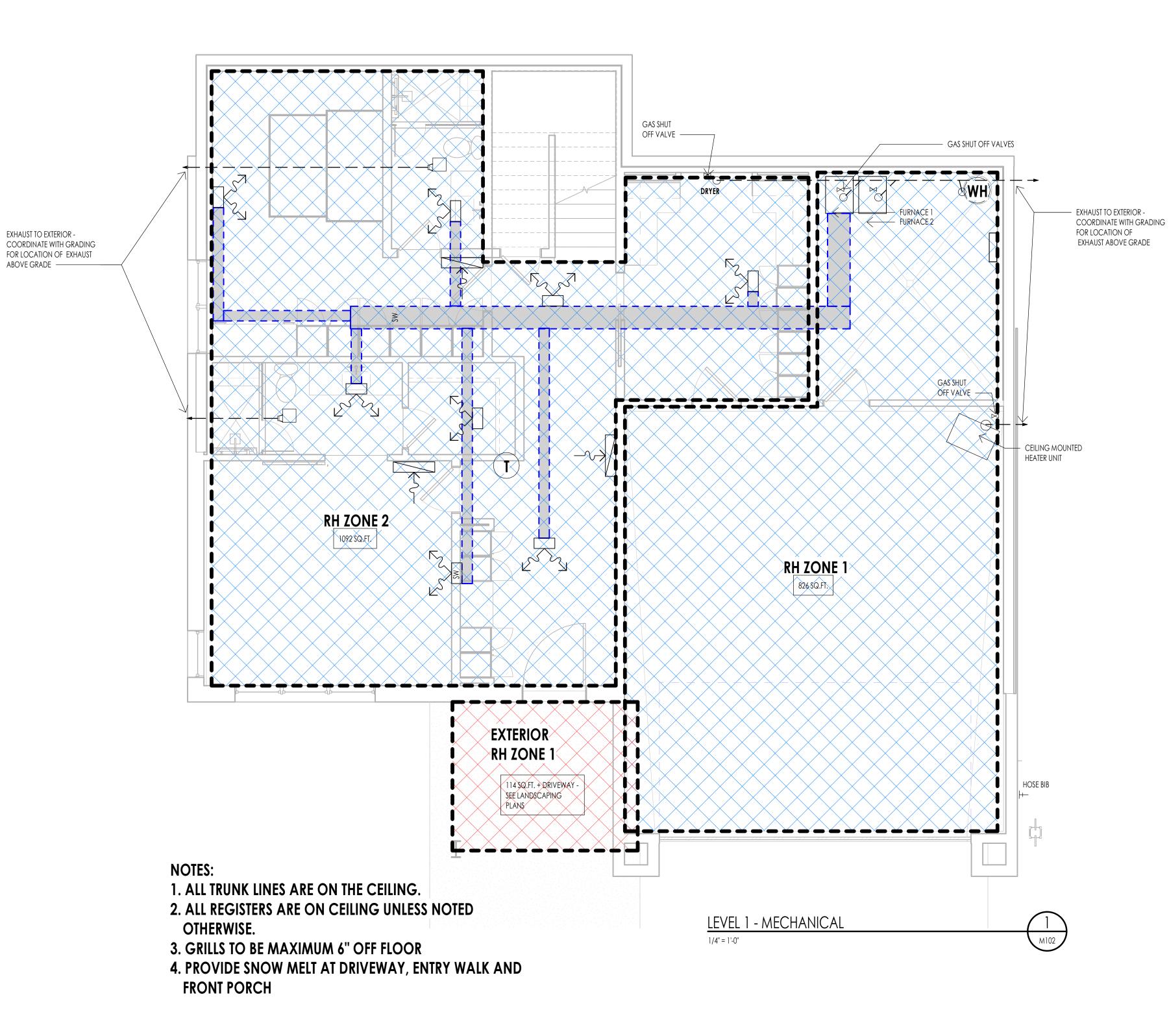
Land Planning

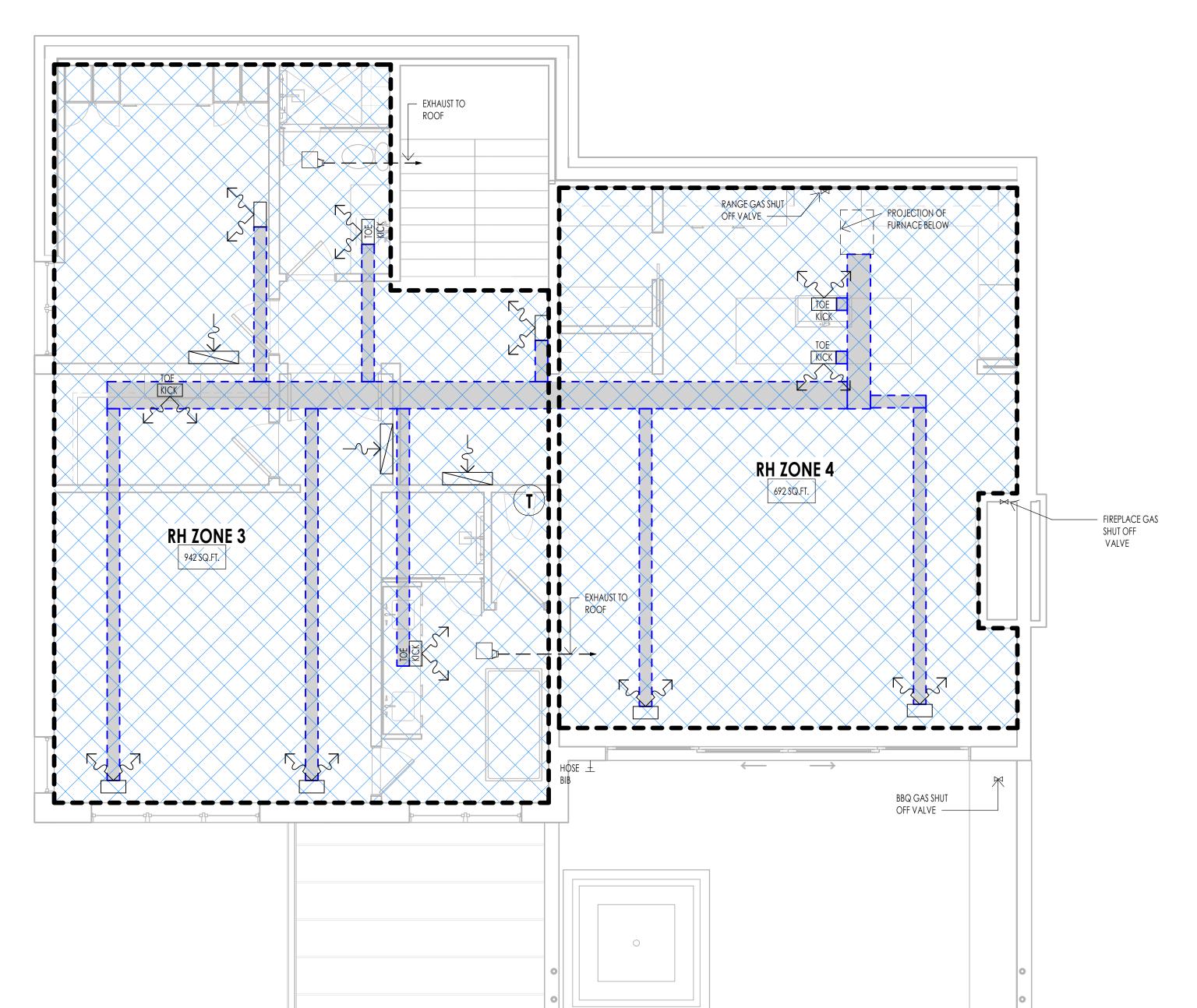
WARM SPRINGS RESIDENCE

PROJECT NC22023.33

2023.12.27 DATE: REVISIONS:

SHEET TITLE:
MECHANICAL PLAN





1. ALL REGISTERS ARE ON FLOOR UNLESS NOTED OTHERWISE.

2. GRILLS TO BE MAXIMUM 6" OFF FLOOR

NOTES:

LEVEL 2 - MECHANICAL

ELECTRICAL GENERAL NOTES

- ALL WORK DONE BY ELECTRICAL CONTRACTOR SHALL COMPLY WITH THE CURRENT ADOPTED EDITION OF THE NATIONAL ELECTRICAL CODE AND ALL LOCAL CODE REGULATIONS AND AMENDMENTS. THE CONTRACTOR SHALL PERFORM ALL WORK IN CONFORMITY WITH THESE REGULATIONS WHETHER OR NOT SUCH WORK IS SPECIFICALLY SHOWN ON THE DRAWINGS.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO FURNISH AND INSTALL FEEDERS, PANELS BOARDS, RELAY BRANCH CIRCUIT WIRING, CONDUITS, WIRE, METER BASES, COMPLETE WIRING FOR MOTORS, EXHAUST FANS, LINE VOLTAGE CONNECTIONS FOR HVAC EQUIPMENT SPECIALTY LIGHTING FIXTURES, OUTLET BOXES, COVER PLATES, WALL SWITCHES, FIXTURES RECEPTACLES, ETC.

3. ALL DRAWINGS INDICATE LOCATIONS AS DIAGRAMMATIC. LOCATIONS SHALL BE PER APPROPRIATE CODES AND OWNER. CONTRACTOR TO COORDINATE WITH MECHANICAL CONTRACTOR FOR ALL POWER

THE CONTRACTOR SHALL SET ALL THE BOXES AND NOTIFY THE ARCHITECT AND OWNER OF PLACEMENT OF BOXES. THE ARCHITECT, OWNER AND INTERIOR DESIGNER SHALL WALK THE HOUSE WITH THE ELECTRICAL CONTRACTOR AND SHALL VERIFY ALL THE LOCATIONS. THIS SHALL BE DONE PRIOR TO ANY WIRE BEING

IF WIRE IS PULLED, AND BOXES ARE REQUIRED TO BE MOVED, ALL COSTS SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR AND NOT THE OWNER/ DESIGN TEAM.

ELECTRICAL SERVICE CAPACITY AND SIZE SHALL BE COMPUTED BY METHOD INDICATED IN THE NATIONAL ELECTRICAL CODE. PANELS OR CABINETS ENCLOSING FUSES, CIRCUIT BREAKERS, SWITCHES OR OTHER ELECTRICAL SERVICE EQUIPMENT SHALL BE IN AN INCONSPICUOUS ACCESSIBLE AND PROTECTED LOCATION. ELECTRICAL PANEL CLEARANCE TO BE MINIMUM 30" WIDTH AND 6'-0" HEAD ROOM. ELECTRICAL TO COMPLY WITH N.E.C. 110-16. ELECTRICAL METER BASE SHALL BE LOCATED IN AN AREA THAT IS PROTECTED FROM OUTSIDE WEATHER.

5. ALL RECEPTACLES LOCATED WITH THE FOLLOWING CONDITIONS TO BE GFCI PROTECTED: ALL KITCHEN COUNTERS, IN BATHROOMS, OUTSIDE AT GRADE LEVEL, UNFINISHED BASEMENTS, AND IN GARAGES. GARAGE RECEPTACLES TO BE 18" ABOVE FINISHED FLOOR.

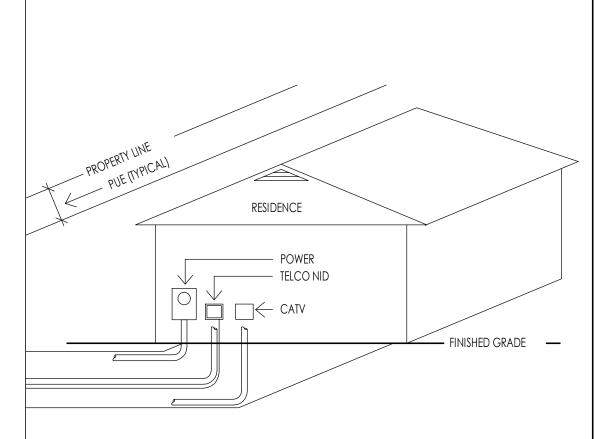
ALL SWITCHES, RECEPTACLES, TELEPHONE JACKS AND CATV JACKS TO BE "LEVITON" 5601 ROCKER SERIES IN WHITE. DIMMER SWITCHES TO BE "LUTRON" DIVA ROCKER SERIES IN WHITE. HEIGHT OF LIGHT SWITCHES FROM FINISHED FLOOR TO TOP OF SWITCH TO BE 48" TYPICAL UNLESS NOTED OTHERWISE. THE MOUNTING FROM THE FINISH FLOOR TO THE CENTER OF OUTLETS INCLUDING TELEPHONE, CATV, ETC. SHALL BE 12" TYPICAL. AT DESKS AND OTHER SURFACES THE OUTLETS SHALL BE 10" TO CENTERLINE ABOVE SURFACE. SWITCHES, OUTLETS, TELEPHONE, CATV, ETC. LOCATIONS SHALL BE APPROVED PRIOR TO COMMENCEMENT OF WIRING.

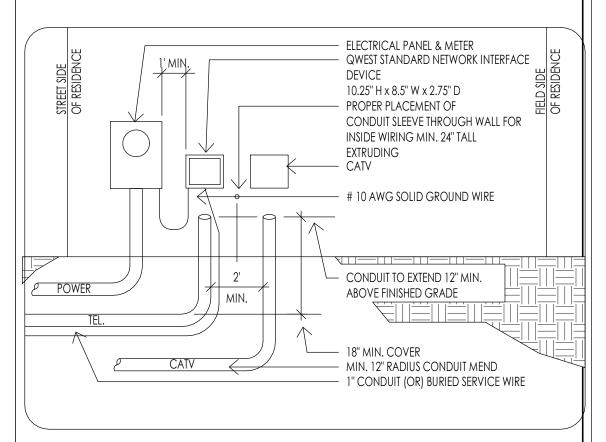
UNLESS NOTED OTHERWISE LOCATE AND INSTALL ONE (1) GFCI WEATHER PROTECTED RECEPTACLE AT GRADE LEVEL AND OUTSIDE AT SOFFIT AT EACH EXTERIOR DOOR WHETHER INDICATED ON DRAWINGS OR NOT.

- PLEASE REFER TO THE ELECTRICAL DRAWINGS FOR ADDITIONAL OUTLETS AT SOFFITS.
- ALL FIXTURES SHALL HAVE A U.L. LABEL LISTING. IF NOT U.L. LISTED FIXTURE SHALL NOT BE USED. ALL RECESS DOWN LIGHTS TO BE THERMAL RATED, AND ALL CAST IN PLACE FIXTURES TO BE INCLUDED IN BASE BID. ALL RECESSED DOWN LIGHTS TO BE INCLUDED IN BASE BID WITH TRIM RINGS AS SELECTED BY DESIGNER OR OWNER. ALL LIGHTS IN CLOSETS SHALL MEET N.E.C. 410.8 REQUIREMENTS. ALL LIGHTS LOCATED IN WET OR DAMP LOCATIONS SHALL MEET N.E.C. 410.4 REQUIREMENTS.
- SMOKE DETECTORS TO BE HARD WIRED TO BUILDING CIRCUIT WITH BATTERY BACK UP. PROVIDE SMOKE DETECTORS AT ALL BUILDING LEVELS, IN ALL BEDROOMS, ACCESS TO ALL BEDROOMS, ETC. (UBC 310.9)
- 10. ELECTRICAL PANEL (PANELBOARD/SWITCHBOARD) MAY NOT BE LOCATED BEHIND A DOOR OR IN A ROOM THAT MAY BE LOCKED AND MUST HAVE PROPER WORKING CLEARANCES. PLEASE REFER TO THE ELECTRICAL DRAWINGS FOR THE LOCATIONS FOR ALL ELECTRICAL PANELS. IF THE PANEL BOARD NEEDS TO BE RELOCATED, PLEASE CONSULT THE OWNER AND OR ARCHITECT PRIOR TO MOVING.
- 11. SMALL WALL SECTIONS 2' OR WIDER (INCLUDES BETWEEN DOORS) REQUIRE AN OUTLET.
- 12. GFCI PROTECTION MUST BE PROVIDED FOR ANY RECEPTACLE OUTLET IN THE FOLLOWING: A BATHROOM, ANY COUNTERTOP KITCHEN/LAUNDRY, GARAGE OUTLETS MINIMUM 18" ABOVE FINISHED FLOOR HEIGHT,
- 13. A RECEPTACLE OUTLET MUST BE PROVIDED AT EACH SECTION OF KITCHEN COUNTERTOP 12" OR WIDER: THERE MUST ALSO BE A MINIMUM OF TWO (2) DEDICATED COUNTERTOP CIRCUITS.

OUTSIDE FRONT AND REAR OUTLETS MUST HAVE WATERPROOF COVERPLATE.

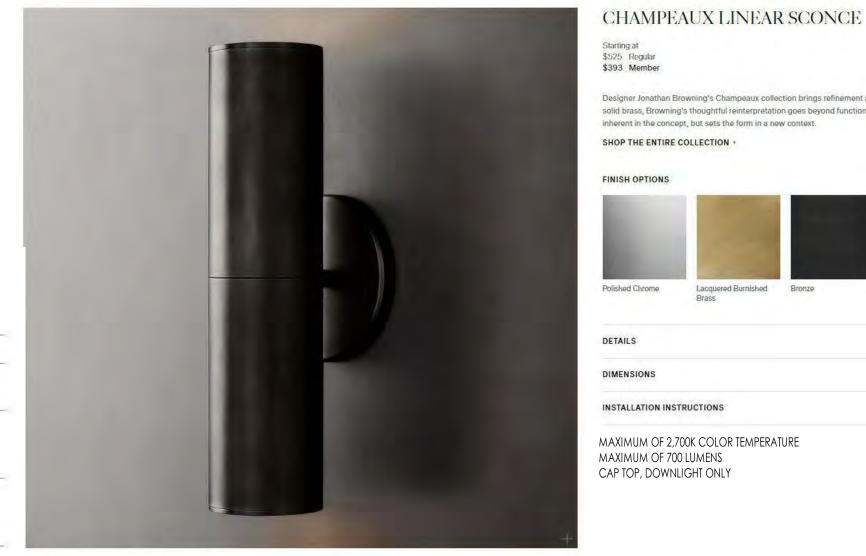
- 14. A SWITCH CONTROLLED LIGHT MUST BE PROVIDED AT HALLWAYS, STAIRWAYS, EXITS, AND EACH
- 15. A HARD-WIRED WITH BATTERY BACKUP SMOKE DETECTOR MUST BE INSTALLED IN ALL BEDROOMS (NEW AND EXISTING) IN THE ACCESS AREA TO ALL BEDROOMS, AND AT LEAST ONE PER FLOOR. TWO (2) FOOT CHANGES IN CEILING HEIGHT ALSO REQUIRE AN ADDITIONAL SMOKE DETECTOR. ALARM SOUND MUST BE AUDIBLE IN ALL AREAS OF HOME.
- 16. WHEN BEDROOMS OCCUR ON 2ND STORIES, THE DETECTOR SHOULD BE LOCATED AT THE TOP OF THE
- 17. KITCHEN OUTLETS REQUIRED TO BE GFCI PROTECTED, NOT MORE THAN 4'-0" APART.
- 18. CLOSET LIGHT FIXTURES MIN. 12" CLEARANCE TO SHELF (LATERAL MEASURED)







RH MODERN SKI HOUSE BEACH HOUSE BABY & CHILD TEEN RH INTERIOR DESIGN GALLERIES SHOP ROOMS Q SIGN IN CART 2



Designer Jonathan Browning's Champeaux collection brings refinement and luxe materials to the classic can light, a standard of 1970s utility. Crafted in solid brass, Browning's thoughtful reinterpretation goes beyond function to recast the can as a thing of beauty. The design maintains the clean lines inherent in the concept, but sets the form in a new context. SHOP THE ENTIRE COLLECTION FINISH OPTIONS

DETAILS DIMENSIONS INSTALLATION INSTRUCTIONS MAXIMUM OF 2,700K COLOR TEMPERATURE MAXIMUM OF 700 LUMENS CAP TOP, DOWNLIGHT ONLY

ED010 = UNV 120-277V, 50/60Hz leading or trailing edge phase cut 1% dimming at 120V only and UNV
120-277V 50/60Hz 0-10V 1% dimming
1ELTE = Lutron® Hi-Lume Forward Phase Dimming, 1% to 100%, 120V Only
DE010 = 0-10V Dimming, 0% to 100%, 120V-277V

L-1 RECESSED EXTERIOR SOFFIT LIGHT

Note: For use in shallow ceilings with 7' x 5' joist construction.

Ordering Information

HL36SA = 3-inch square shallow new construction directional housing

Wattage 10 = 10W (nominal) 15 = 15W (nominal) 20 = 20W (nominal)

SP = 15" beam NFL = 25" beam FL = 40" beam WFL = 55" beam

930 = 90 CRI, 3000K 935 = 90 CRI, 3500K

[blank] = Purchase optic separately

940 = 90 CRI, 4000K D2W = 90 CRI, 3000K CCT, dim to warm(1)

Housing Type ICAT= insulation contact and airtight

Optics & Media
TIR45SP15 = 15" beam
TIR45NFL25 = 25" beam
TIR45NFL40 = 40" beam
TIR45WFL55 = 55" beam
TIR45MH12PK = replacement media holder, package of 12
L100 Series = 2.0" lens and filters, see spec sheet

Oversized Trim Ring OTL3MW = oversized trim ring for TL3 trims

See page 19 for trim information.

(1) Only available in 10W and 15W

SAMPLE ORDER NUMBERS: HL36SA20SP927ED010ICAT, TIR45FL40, TLS3RMW

Accessories

RA3S = rimless adapter for HL36A housings and trims

CE3S = collar extender for HL36A housings, adjusts from 7/8" to 1-1/4" thick ceilings

HALO HL3 3-inch LED downlighting 15

L-2 DECORATIVE EXTERIOR WALL SCONCE



Architecture

Architecture Interior Design Landscape Architecture Land Planning Construction Managemen

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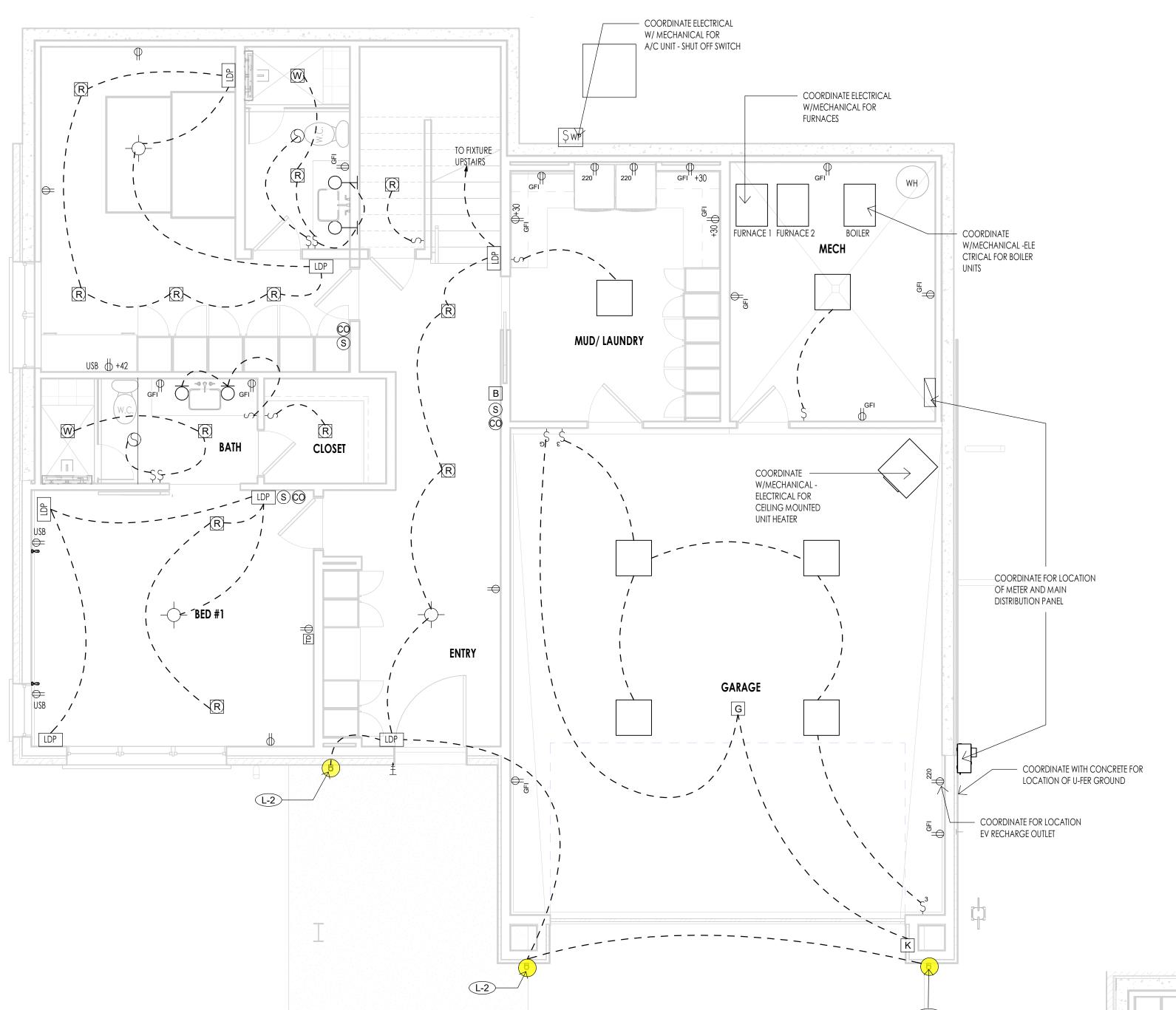
SHEET TITLE:
ELECTRICAL GENERAL
NOTES

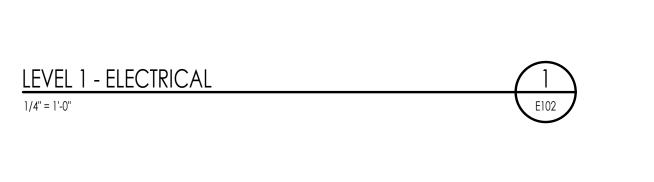
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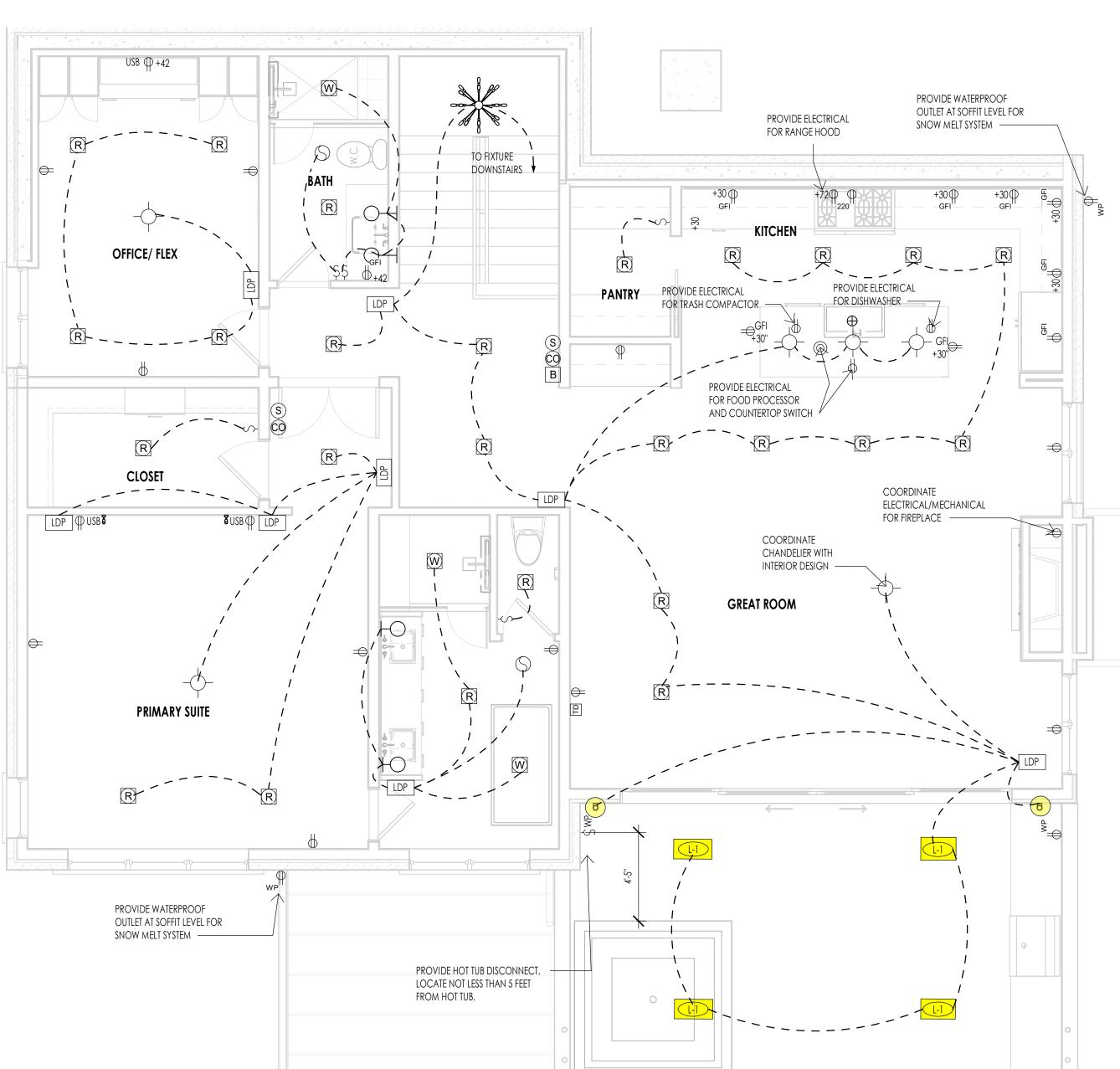
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SHEET TITLE:
ELECTRICAL PLANS









SYMBOL DESCRIPTION SINGLE POLE TOGGLE SWITCH THREE WAY TOGGLE SWITCH FOUR WAY TOGGLE SWITCH GARAGE DOOR OPENER DIMMER TOGGLE SWITCH 110 V DUPLEX OUTLET ON AN (AFP) ARC FAULT PROTECTED CIRCUIT 110 V GROUND FAULT INTERRUPTER 110 V WATERPROOF GFI OUTLET 220 V OUTLET QUADRUPLEX OUTLET igorplus110 V FLOOR DUPLEX OUTLET 110 V SMOKE DETECTOR W/BATT BACK-UP CARBON MONOXIDE DETECTOR (5) EXHAUST FAN EXHAUST FAN WITH LIGHT FIXTURE 4" LED RECESSED CAN (FIXTURE & TRIM PER SCHEDULE) 4" LED RECESSED CAN (CLOSET-FIXTURE & TRIM PER SCHEDULE) RECESSED CAN (WET LOCATION-FIXTURE & TRIM PER SCHEDULE) CEILING MOUNT FIXTURE WALL MOUNT FIXTURE 2X2 OR 2X4 FLUORESCENT CEILING FIXTURE FLUORESCENT STRIP LIGHT LED UNDERCOUNTER LIGHTING GARAGE DOOR OPENER KEYLESS ENTRY DOORBELL TELEPHONE (CAT 5E WIRING) SINGLE LINE UNLESS NOTED (NUMBER) DESIGNATES PORT OUTLETS REQUIRED MULTI-MEDIA NETWORK OUTLET (CAT 5E WIRE) W/(4) PORT OUTLET STRUCTURED WIRING (FUTURE SMART WIRING) IE (2) RG6 QUAD SHIELD, (3) CAT 6E WIRE - FOR CABLE TV, VIDEO, SATELITTE, ETC. (6) PORT OUTLET LOW VOLTAGE RECESSED CAN RECESSED EXTERIOR SOFFIT LIGHT - SEE SPECS ON SHEET E101 DECORATIVE EXTERIOR WALL SCONCE - SEE SPECS ON SHEET E101 MOTOR COURT EXTERIOR LIGHTING - SEE SPECS ON SHEET E101 LIGHTING DIGITAL PAD DOOR BELL SWITCH WALL MOUNTED BED LIGHT EXTERIOR LIGHTING - SEE SPECS. ON E /101

ELECTRICAL LEGEND

ELECTRICAL GENERAL NOTES

1. SEE SPECS FOR ELECTRICAL INFORMATION.

2. ELECTRICAL LAYOUTS ARE SHOWN IN SCHEMATIC. THE CONTRACTOR IS RESPONSIBLE TO COORDINATE THE LAYOUT AND INSTALLATION OF ALL RELATED ITEMS WITH EXISTING CONDITIONS AND RELATED TRADES.

3. COORDINATE WITH OWNER, INTERIOR DESIGNER AND/OR PLANS FOR FIXTURE SCHEDULES, STYLES, FINISHES, ETC.

4. ALL WORK TO COMPLY WITH 2014 N.E.C. CODES AND 2015 I.R.C. CODES. 5. CENTER OF ALL OUTLETS TO BE 18" ABOVE FINISH FLOOR UNLESS NOTED OTHERWISE. CENTER OF OUTLETS OVER

CABINETS, VANITIES, ETC. TO BE 12" ABOVE FINISH COUNTER HEIGHT UNLESS NOTED OTHERWISE. 6. CONTRACTOR TO FIELD VERIFY LOCATION OF ALL ELECTRICAL FIXTURES, SWITCHES, ETC. WITH OWNER AND

DESIGNER PRIOR TO WIRING.

7. PROVIDE SLOPED RECESSED CANS FOR SLOPED CEILING APPLICATIONS & THERMAL PROTECTION CANS WHERE IN CONTACT WITH INSULATION AS REQUIRED.

8. CONTRACTOR TO PROVIDE ELECTRICAL SERVICE TO MECHANICAL EQUIPMENT AS REQUIRED. 9. ALL BRANCH CIRCUITS BE PROTECTED BY AN ARCH-FAULT CIRCUIT INTERRUPTER LISTED TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT.

10. PROVIDE A U-FER GROUND. AN ELECTRODE ENCASED BY A LEAST 2" OF CONCRETE SHALL BE LOCATED NEAR THE BOTTOM OF THE CONCRETE FOUNDATION SYSTEM AND SHALL BE IN DIRECT CONTACT WITH THE EARTH, CONSISTING OF AT LEAST 20 FEET OF BARE ELECTRICALLY CONDUCTIVE ROD AT LEAST 1/2 INCH IN DIAMETER OR BARE COPPER CONDUCTOR NOT SMALLER THAN 4 AWG. (I.R.C. E3508.1.2 AND N.E.C. 250.50)

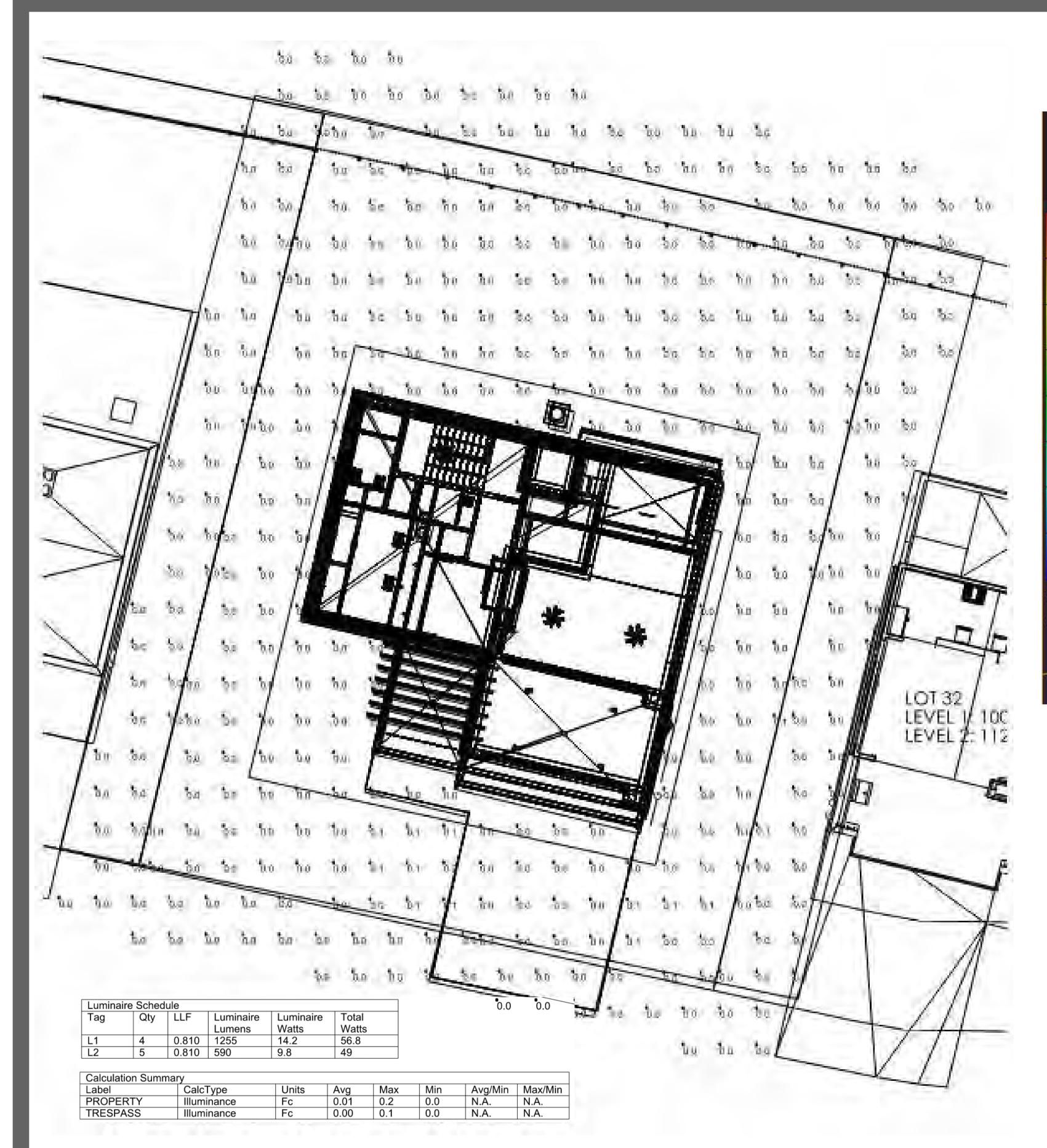
11. THE CONTRACTOR SHALL VERIFY OUTLET LOCATIONS AND VOLTAGE REQUIREMENTS AS PER APPLIANCE SPECIFICATIONS.

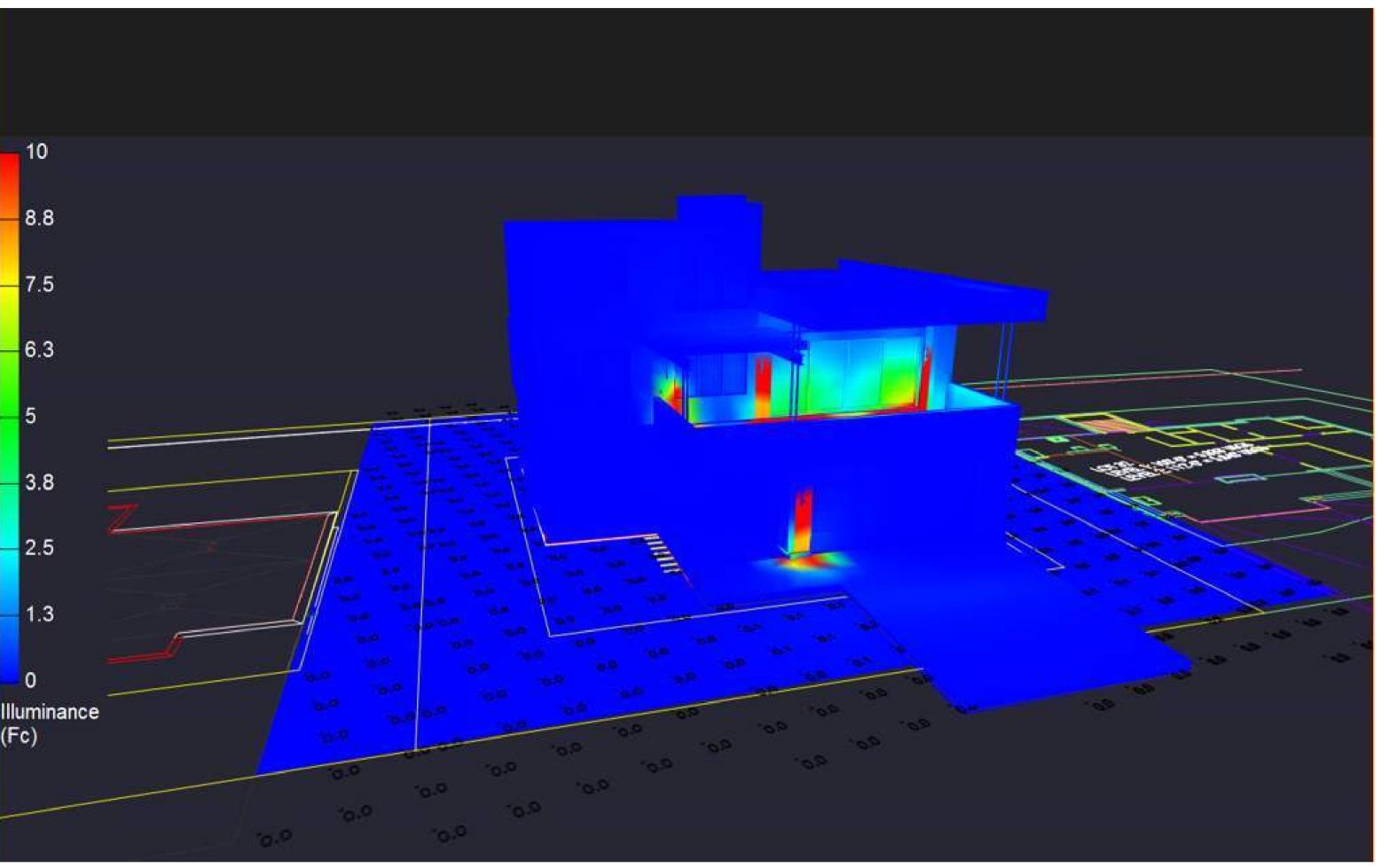
12. STRUCTURED WIRE MEDIA PANEL TO BE "LEVITON" (O.A.E.) AND INCLUDE:

A/C POWER MODULE, CAT 5 VOICE AND DATA MODULES, 10/100 MPS SATA HUB, CATV BOOSTER AND AUDIO / VIDEO CONTROL MODULES. 13. SMOKE AND/OR CARBON MONOXIDE DETECTORS ARE TO BE HARD WIRED TOGETHER IN SERIES WITH BATTERY

BACKUP AS PER CODE REQUIRMENTS. COMBINATION UNITS ARE PERMITTED AS APPROVED. 14. ALL EXTERIOR ELECTRICAL OUTLETS TO HAVE WEATHERPROOF COVERS.

15. ALL 125V 15 AND 20 AMP RECEPTACLES WITHIN DWELLING UNITS MUST BE TAMPER PROOF.





PSEUDO RENDERING WITH ILLUMINANCE SCALE





POINT-BY-POINT CALCUATION AND SUMMARIES (5 FOOT GRID)





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WARM SPRINGS RESIDENCE #33 R2

170 BALD MOUNTAIN ROAD KETCHUM, IDAHO 83340 MATERIAL BOARD

D202



STREET VIEW FROM BALD MOUNTAIN ROAD LOOKING NORTH





STREET VIEW FROM BALD MOUNTAIN ROAD LOOKING NORTH

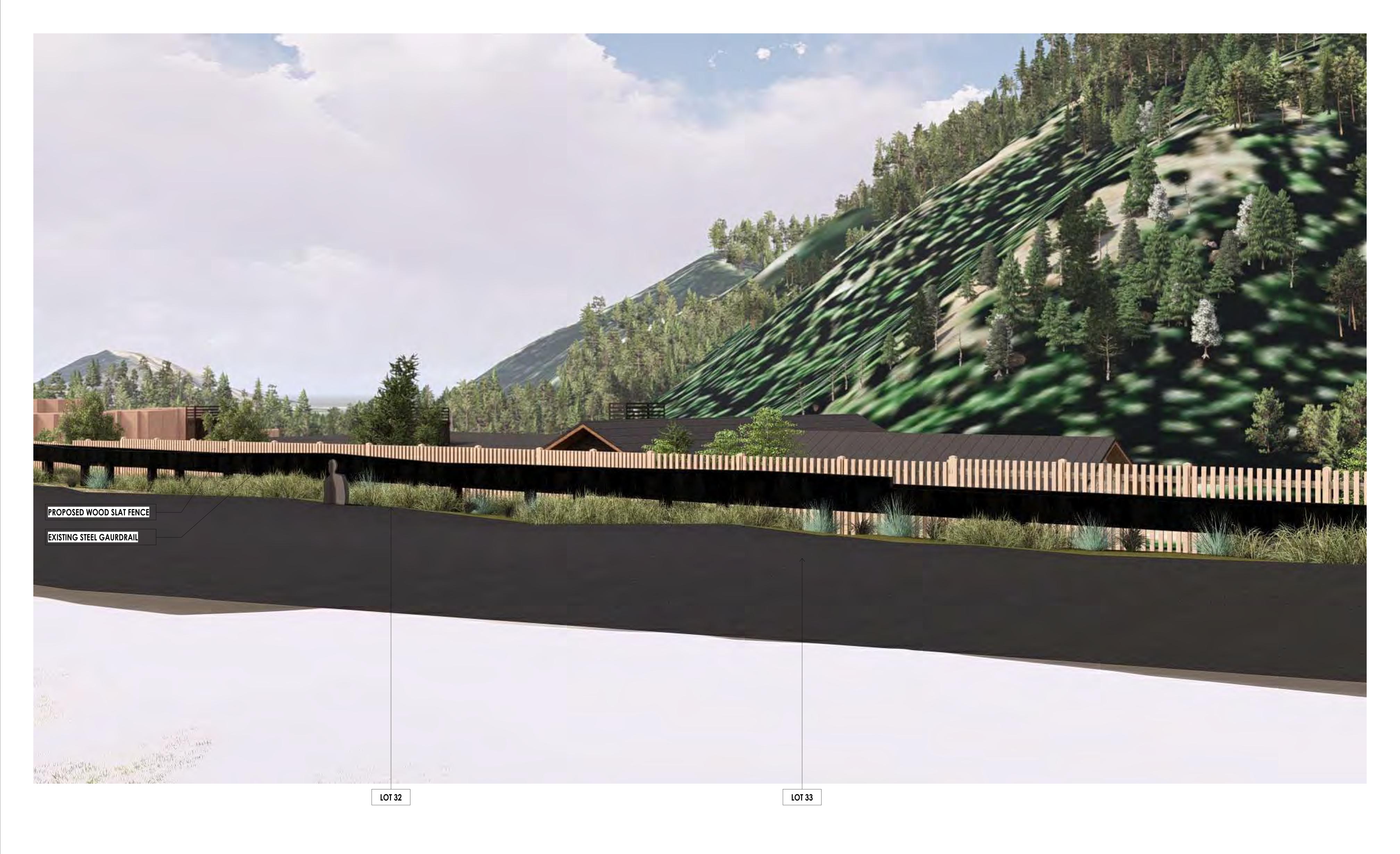


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BALD MOUNTAIN ROAD VIEW LOOKING NORTH EAST







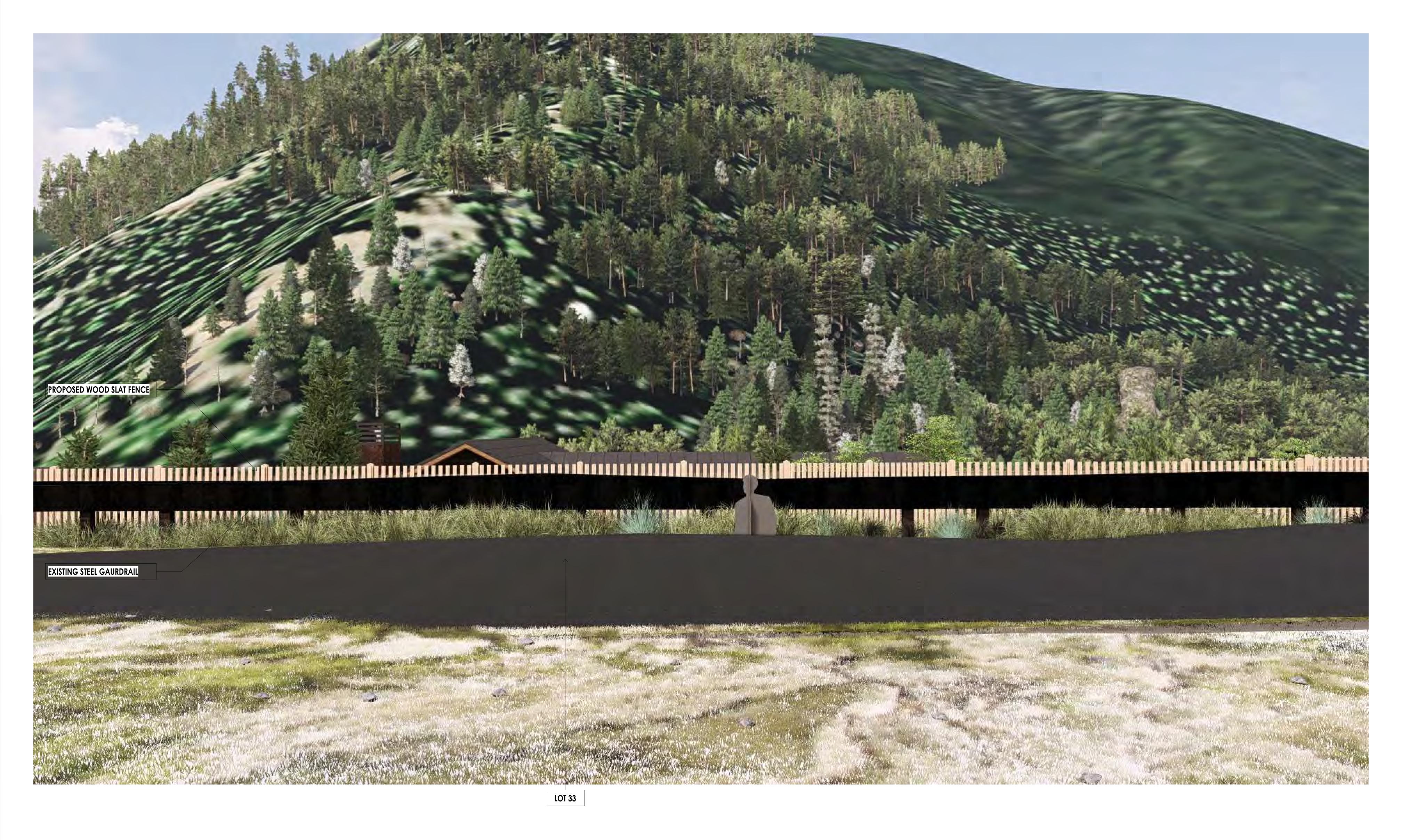
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WARM SPRINGS RESIDENCE #33 R2

170 BALD MOUNTAIN ROAD KETCHUM, IDAHO 83340 WARM SPRINGS ROAD LOOKING SOUTH

EXTERIOR VIEWS

D303



WARM SPRINGS ROAD LOOKING SOUTH

EXTERIOR VIEWS

D304

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BIRDS EYE VIEW LOOKING EAST OVER BALD MOUNTAIN ROAD

EXTERIOR VIEWS



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WARM SPRINGS RESIDENCE #33 R2

170 BALD MOUNTAIN ROAD KETCHUM, IDAHO 83340 EXTERIOR VIEWS

BALD MOUNTAIN ROAD

D306



VIEW FROM SECOND STORY WINDOW ON NORTH SIDE OF WARM SPRINGS ROAD LOOKING WEST



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WARM SPRINGS RESIDENCE #33 R2

170 BALD MOUNTAIN ROAD KETCHUM, IDAHO 83340





Attachment D: Redesign #1 and #2 Design Review Analysis



Redesign #1 and #2 – Lot 33, Block 4, Warm Springs Ranch Residences DESIGN REVIEW STANDARDS ANALYSIS

17.96.060.A.1 - Streets	Conformance
The applicant shall be responsible for all costs associated with providing a	YES
connection from an existing City street to their development.	

Finding: The project proposes to construct a new asphalt driveway to access Lot 33 from Bald Mountain Road. All project costs associated with the development, including the City street connection, are the responsibility of the applicant.

17.96.060.A.2 - Streets	Conformance
All street designs shall be approved by the City Engineer.	YES

Finding: The City Engineer has reviewed the proposed driveway design for Lot 33 and finds it to be sufficient for the project.

All street designs shall be reviewed and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project.

17.96.060.B.1 - Sidewalks	Conformance
All projects under subsection 17.96.010.A of this chapter that qualify as a	YES
"substantial improvement" shall install sidewalks as required by the Public	
Works Department.	

Finding: Sidewalks have already been installed along Bald Mountain Road adjacent to Lot 33 as part of the Warm Springs Ranch Residences Subdivision Development Agreement. Per Phase One Block 1 Infrastructure Improvements listed in the Warm Springs Ranch Subdivision Development Agreement, included as Attachment F, sidewalks were installed adjacent to Bald Mountain Road to Warm Springs Road to Lot 3 in Block 1. Staff recommend condition of approval #5 ensure any damage to the right-of-way, including sidewalks, be reconstructed to City standards at the owner's expense prior to issuance of Certificate of Occupancy.

17.96.060.B.2 - Sidewalks	Conformance
Sidewalk width shall conform to the City's right-of-way standards, however	YES
the City Engineer may reduce or increase the sidewalk width and design	
standard requirements at their discretion.	

Finding: Sidewalks have already been installed along Bald Mountain Road adjacent to Lot 33 as part of the Warm Springs Ranch Residences Subdivision Development Agreement. Per Phase One Block 1 Infrastructure Improvements listed in the Warm Springs Ranch Subdivision Development Agreement, sidewalks were installed adjacent to Bald Mountain Road to Warm Springs Road to Lot 3 in Block 1. Any damage to the right-of-way, including sidewalks, must be reconstructed to City standards at the owner's expense prior to issuance of Certificate of Occupancy.

17.96.060.B.3 - Sidewalks	Conformance
Sidewalks may be waived if one of the following criteria is met:	YES
a) The project comprises an addition of less than 250 square feet of conditioned space.	
b) The City Engineer finds that sidewalks are not necessary because of existing geographic limitations, pedestrian traffic on the street does not warrant a sidewalk, or if a sidewalk would not be beneficial to t general welfare and safety of the public.	5

Finding: Sidewalks have already been installed along Bald Mountain Road adjacent to Lot 33 as part of the Warm Springs Ranch Residences Subdivision Development Agreement. Per Phase One Block 1 Infrastructure Improvements listed in the Warm Springs Ranch Subdivision Development Agreement, sidewalks were installed adjacent to Bald Mountain Road to Warm Springs Road to Lot 3 in Block 1. Any damage to the right-of-way, including sidewalks, must be reconstructed to City standards at the owner's expense prior to issuance of Certificate of Occupancy.

17.96.060.B.4 - Sidewalks	Conformance
The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.	YES

Finding: Sidewalks have already been installed along Bald Mountain Road adjacent to Lot 33 as part of the Warm Springs Ranch Residences Subdivision Development Agreement. Per Phase One Block 1 Infrastructure Improvements listed in the Warm Springs Ranch Subdivision Development Agreement, sidewalks were installed adjacent to Bald Mountain Road to Warm Springs Road to Lot 3 in Block 1. Any damage to the right-of-way, including sidewalks, must be reconstructed to City standards at the owner's expense prior to issuance of Certificate of Occupancy.

17.96.060.B.5 – Sidewalks	Conformance
New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.	YES

Finding: Sidewalks have already been installed along Bald Mountain Road adjacent to Lot 33 as part of the Warm Springs Ranch Residences Subdivision Development Agreement. Per Phase One Block 1 Infrastructure Improvements listed in the Warm Springs Ranch Subdivision Development Agreement, sidewalks were installed adjacent to Bald Mountain Road to Warm Springs Road to Lot 3 in Block 1. Any damage to the right-of-way, including sidewalks, must be reconstructed to City standards at the owner's expense prior to issuance of Certificate of Occupancy.

17.96.060.B.6 - Sidewalks	Conformance
The City may approve and accept voluntary cash contributions in lieu of the	YES
above described improvements, which contributions must be segregated by	
the City and not used for any purpose other than the provision of these	
improvements. The contribution amount shall be 110 percent of the	
estimated costs of concrete sidewalk and drainage improvements provided by	
a qualified contractor, plus associated engineering costs, as approved by the	
City Engineer. Any approved in lieu contribution shall be paid before the City	
issues a certificate of occupancy.	

Finding: Sidewalks have already been installed along Bald Mountain Road adjacent to Lot 33 as part of the Warm Springs Ranch Residences Subdivision Development Agreement. Per Phase One Block 1 Infrastructure Improvements listed in the Warm Springs Ranch Subdivision Development Agreement, sidewalks were installed adjacent to Bald Mountain Road to Warm Springs Road to Lot 3 in Block 1. Any damage to the right-of-way, including sidewalks, must be reconstructed to City standards at the owner's expense prior to issuance of Certificate of Occupancy.

17.96.060.C.1 - Drainage	Conformance
All stormwater shall be retained on site.	YES

Finding: Pursuant to KMC §17.96.060.C.1, all storm water drainage shall be retained on site. Drainage improvements are specified on Sheet C-1 on both redesigned project plans for Lot 33. The drainage improvements include the installation of a trench drain bordering the width of the driveway. A combination of drywells and catch basins on the lot will be installed to collect stormwater from the rest of the property. The City Engineer has reviewed the proposed drainage plan and believes the trench drain and drywell improvements are sufficient to maintain all storm water drainage on the subject property.

All drainage plans and specifications shall be reviewed and approved by the City Engineer and Streets Department prior to issuance of a Building Permit.

17.96.060.C.2 - Drainage	Conformance
Drainage improvements constructed shall be equal to the length of the	YES
subject property lines adjacent to any public street or private street.	

Finding: Drainage improvements are specified on Sheet C-1 on both redesigned project plans for Lot 33. The drainage improvements include the installation of a trench drain bordering the width of the driveway. A combination of drywells and catch basins on the lot will be installed to collect stormwater from the rest of the property. The City Engineer has reviewed the proposed drainage plan and believes the trench drain and drywell improvements are sufficient to maintain all storm water drainage on the subject property.

All drainage plans and specifications shall be reviewed and approved by the City Engineer and Streets Department prior to issuance of a Building Permit.

17.96.060.C.3 - Drainage	Conformance
The City Engineer may require additional drainage improvements as	YES
necessary, depending on the unique characteristics of a site.	
necessary, depending on the unique characteristics of a site.	

Finding: The City Engineer has reviewed the proposed drainage plan for both redesigns on Lot 33 and believes the trench drain and drywell/catch basin improvements are sufficient to maintain storm water drainage on the subject property. The City Engineer may require additional drainage improvements if necessary. If approved, the applicant shall submit final civil drawings for all drainage improvements with the building permit application to be verified, reviewed, and approved by the City Engineer and Streets Department.

17.96.060.C.4 - Drainage	Conformance
Drainage facilities shall be constructed per City standards.	YES

Finding: The drainage improvements for both redesigns on Lot 33 include the installation of a trench drain bordering the width of the driveway along Bald Mountain Road. A combination of drywells and catch basins will be installed to collect stormwater from the rest of the property. The City Engineer has reviewed the proposed drainage plan and believes the proposed trench drain and drywell improvements meet city standards.

All drainage plans and specifications shall be reviewed and approved by the City Engineer and Streets Department prior to issuance of a Building Permit.

17.96.060.D.1 - Utilities	Conformance
All utilities necessary for the development shall be improved and installed at the sole expense of the applicant.	YES

Finding: All project costs associated with the development, including the installation of utilities, are the responsibility of the applicant. The applicant has not made requests for funding to the City for utility improvements. No funds have been provided by the City for the project.

17.96.060.D.2 - Utilities	Conformance
Utilities shall be located underground and utility, power, and	YES
communication lines within the development site shall be concealed from	
public view.	

Finding: As shown on Sheet C-1 of both redesigned plans for Lot 33, the applicant proposes connecting to the municipal water and sewer systems from existing lines on Bald Mountain Road. Requirements and specification for the water and sewer connections will be verified, reviewed, and approved by the Utilities Department prior to issuance of a Building Permit.

17.96.060.D.3 - Utilities	Conformance
When extension of utilities is necessary all developers will be required to	N/A
pay for and install two-inch SDR11 fiber optical conduit. The placement and construction of the fiber optical conduit shall be done in accordance with City of Ketchum standards and at the discretion of the City Engineer.	
Finding: N/A. Extension of utilities is not necessary to service the proposed residence.	

17.96.060.E.1 – Compatibility of Design	Conformance
The project's materials, colors and signing shall be complementary with the	YES
townscape, surrounding neighborhoods and adjoining structures.	

Finding: Pursuant to KMC §17.96.060.E.1, "The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures." The Warm Springs Ranch Subdivision was platted in 2021 and is in the process of being developed. Multiple single-family residences are currently being constructed on Bald Mountain Road and Mountain Creek Drive. All of which have similar, yet unique architectural styles that utilize both modern (flat and shed roofs with cold materials such as concrete and metal) and traditional (gabled roofs with warmer materials such as wood and stone) designs. Redesign #1 features flat roofs with large windows and a mix of cold and warm materials including wood, metal, and stone. Redesign #2 features pitched roofs with minor flat roof accent areas, large windows, and a mix of cold and warm materials including wood, metal, and stone.

17.96.060.E.2 – Compatibility of Design	Conformance
Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.	N/A
Finding: N/A. The subject property does not contain any significant landmarks.	

17.96.060.E.3 – Compatibility of Design	Conformance
Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to.	N/A
Finding: N/A. The subject property is vacant.	

17.96.060.F.1 – Architectural	Conformance
Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined.	YES

Finding: Sidewalks have already been installed along Bald Mountain Road adjacent to Lot 33 as part of the Warm Springs Ranch Residences Subdivision Development Agreement. Per Phase One Block 1 Infrastructure Improvements listed in the Warm Springs Ranch Subdivision

Development Agreement, sidewalks were installed adjacent to Bald Mountain Road to Warm Springs Road to Lot 3 in Block 1. Any damage to the right-of-way, including sidewalks, must be reconstructed to City standards at the owner's expense prior to issuance of Certificate of Occupancy.

17.96.060.F.2 – Architectural	Conformance
The building character shall be clearly defined by use of architectural	YES
features.	

Finding: As stated previously, Redesign #1 features a modern design of flat roofs, large windows, and wood, metal, and stone materials. Redesign #2 features a more traditional design of pitched roofs with minor flat roof accent areas, large windows, and wood, metal, and stone materials.

17.96.060.F.3 – Architectural	Conformance
There shall be continuity of materials, colors and signing within the project.	YES

Finding: Both redesigns feature the same materials which include dark bronze trimmed windows, metal siding chimney, and a mix of wood, stone, and metal siding materials.

17.96.060.F.4 – Architectural	Conformance
Accessory structures, fences, walls and landscape features within the project shall match or complement the principal building.	YES
project shall materi or complement the principal ballang.	

Finding: Both redesigns propose a 4' wooden fence on the rear of the lot along Warm Springs Road. No accessory structures are proposed. The project proposes landscaping improvements that complement and soften the visual appearance of the residence from Warm Springs Road. The landscaping includes trees, shrubs, and grasses. Utilities on the lot will be screened with shrubs. New Aspen, Crabapple, and Pine trees will be installed on the lot to provide screening for the residence from adjacent properties and Warm Springs Road.

17.96.060.F.5 – Architectural	Conformance
Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.	YES
oj buik una jiutness.	

Finding: The project plans for Redesigns #1 and #2 propose a two-story structure on Lot 33. Both redesigns feature multiple wall and deck pop-outs to provide undulation and reduce the appearance of flatness.

17.96.060.F.6 – Architectural	Conformance
Building(s) shall orient toward their primary street frontage.	YES

Finding: The structure in both redesigns is proposed to be oriented towards the primary street frontage along Bald Mountain Road.

17.96.060.F.7 – Architectural	Conformance
Garbage storage areas and satellite receivers shall be screened from public view and located off alleys.	YES

Finding: No satellite receivers are proposed for the project. Sheet A101 on both redesigned plans indicates that garbage bins will be stored within the attached garage and screened from public view.

17.96.060.F.8 – Architectural	Conformance
Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties.	YES

Finding: The roof plan on Sheet A107 for both redesigns indicates that gutters will be installed, and the roofs will be sloped to downspouts.

17.96.060.G.1 – Circulation Design	Conformance
Pedestrian, equestrian and bicycle access shall be located to connect with	YES
existing and anticipated easements and pathways.	

Finding: Sidewalks have already been installed along Bald Mountain Road adjacent to Lot 33 as part of the Warm Springs Ranch Residences Subdivision Development Agreement. Per Phase One Block 1 Infrastructure Improvements listed in the Warm Springs Ranch Subdivision Development Agreement, sidewalks were installed adjacent to Bald Mountain Road to Warm Springs Road to Lot 3 in Block 1. Any damage to the right-of-way, including sidewalks, must be reconstructed to City standards at the owner's expense prior to issuance of Certificate of Occupancy.

17.96.060.G.2 – Circulation Design	Conformance
Awnings extending over public sidewalks shall extend five feet or more across	YES
the public sidewalk but shall not extend within two feet of parking or travel	
lanes within the right-of-way.	

Finding: Sidewalks have already been installed along Bald Mountain Road adjacent to Lot 33 as part of the Warm Springs Ranch Residences Subdivision Development Agreement. Per Phase One Block 1 Infrastructure Improvements listed in the Warm Springs Ranch Subdivision Development Agreement, sidewalks were installed adjacent to Bald Mountain Road to Warm Springs Road to Lot 3 in Block 1. Any damage to the right-of-way, including sidewalks, must be reconstructed to City standards at the owner's expense prior to issuance of Certificate of Occupancy.

17.96.060.G.3 – Circulation Design	Conformance
Traffic shall flow safely within the project and onto adjacent streets.	YES
Traffic includes vehicle, bicycle, pedestrian and equestrian use.	
Consideration shall be given to adequate sight distances and proper	
signage.	

Finding: Sidewalks have already been installed along Bald Mountain Road adjacent to Lot 33 as part of the Warm Springs Ranch Residences Subdivision Development Agreement. Per Phase One Block 1 Infrastructure Improvements listed in the Warm Springs Ranch Subdivision Development Agreement, sidewalks were installed adjacent to Bald Mountain Road to Warm Springs Road to Lot 3 in Block 1. Any damage to the right-of-way, including sidewalks, must be reconstructed to City standards at the owner's expense prior to issuance of Certificate of Occupancy.

The City Engineer has reviewed the proposed driveway for Lot 33 and finds the circulation design to meet city standards. Final circulation design shall be reviewed and approved by the City Engineer and Streets Department prior to issuance of a Building Permit.

17.96.060.G.4 – Circulation Design	Conformance
Curb cuts and driveway entrances shall be no closer than 20 feet to the	YES
nearest intersection of two or more streets, as measured along the property	
line adjacent to the right-of-way. Due to site conditions or current/projected	
traffic levels or speed, the City Engineer may increase the minimum distance	
requirements.	

Finding: The proposed driveway for Lot 33 is located further than 20 feet away from the nearest intersection of Bald Mountain Road and Mountain Creek Drive.

17.96.060.G.5 – Circulation Design	Conformance
Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project.	YES
Finding : Access for emergency vehicles, snowplows, and garbage trucks is provided along Bald	

Finding: Access for emergency vehicles, snowplows, and garbage trucks is provided along Bald Mountain Road for Lot 33.

17.96.060.H.1 – Snow Storage	Conformance
Snow storage areas shall not be less than 30 percent of the improved parking and pedestrian circulation areas.	YES
Finding: In both redesigned plans, Sheet L3 shows the proposed snow storage areas to include	

a total of 275 square feet, greater than the required 30% (837 * .30 = 251 square feet).

17.96.060.H.2 – Snow Storage	Conformance
Snow storage areas shall be provided on site.	YES

Finding: The location of the snow storage area is indicated on Sheet L3 of both redesigned plan sets for Lot 33.

17.96.060.H.3 – Snow Storage	Conformance
A designated snow storage area shall not have any dimension less than five feet and shall be a minimum of 25 square feet.	YES

Finding: The snow storage area on both redesigns for Lot 33 does not have dimensions less than five feet.

17.96.060.H.4 – Snow Storage	Conformance
In lieu of providing snow storage areas, snowmelt and hauling of snow may be allowed.	YES

Finding: On both redesigns, the applicant is proposing a driveway snowmelt system within the property boundary and not within the Bald Mountain Road right-of-way for the driveway on Lot 33. In addition to the snowmelt system, the project also proposes a snow storage area onsite.

Conformance
YES

Finding: Landscaping has been provided for the project as indicated on Sheet L3 of both redesigned plan sets for Lot 33.

17.96.060.I.2 – Landscaping	Conformance
Landscape materials and vegetation types specified shall be readily adaptable	YES
to a site's microclimate, soil conditions, orientation and aspect, and shall	
serve to enhance and complement the neighborhood and townscape.	
, , , , , , , , , , , , , , , , , , , ,	

Finding: The landscape plan for both redesigns is the same. The front, side, and rear yard setback areas for Lot 33 will be vegetated with native grasses. Shrubs and trees are proposed along the sides of the residence, which will screen utilities. New pine, aspen, and crabapple trees will be installed to provide screening for the residence from Warm Springs Road and adjacent properties. Ornamental grasses and wildflowers are also proposed around the structure.

17.96.060.I.3 – Landscaping	Conformance
All trees, shrubs, grasses and perennials shall be drought tolerant. Native	YES
species are recommended but not required.	

Finding: The landscape plan for both redesigns is the same and it proposes drought-tolerant and native species, including pine trees, native shrubs, and drought tolerant grasses.

17.96.060.I.4 – Landscaping	Conformance
Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged.	YES

Finding: The lot is proposing landscaping along the rear to provide a buffer from Warm Springs Road and landscaping on the front and side yards to allow for privacy between adjacent properties.

17.96.060.J.1 – Public Amenities	Conformance
Where sidewalks are required, pedestrian amenities shall be installed.	YES
Amenities may include, but are not limited to, benches and other seating,	
kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All	
public amenities shall receive approval from the Public Works Department	
prior to design review approval from the Commission.	

Finding: Sidewalks have already been installed along Bald Mountain Road adjacent to Lot 33 as part of the Warm Springs Ranch Residences Subdivision Development Agreement. Per Phase One Block 1 Infrastructure Improvements listed in the Warm Springs Ranch Subdivision Development Agreement, sidewalks were installed adjacent to Bald Mountain Road to Warm Springs Road to Lot 3 in Block 1. Any damage to the right-of-way, including sidewalks, must be reconstructed to City standards at the owner's expense prior to issuance of Certificate of Occupancy.

Conformance
N/A
er redesign

17.96.060.K.2 – Underground Encroachments	Conformance
No below grade structure shall be permitted to encroach into the riparian setback.	N/A
Finding: N/A. No encroachments of below grade structures are proposed on eith	ner redesign,

and the structure is not located within the riparian setback.



Attachment E: Redesign #1 and #2 Zoning and Dimensional Standards Analysis



Redesign #1 and #2 – Lot 33, Block 4, Warm Springs Ranch Residences COMPLIANCE WITH ZONING REGULATIONS

Compliance with Zoning and Dimensional Standards				
Compliant Standards and Findings			Standards and Findings	
Yes	No	N/A	Ketchum Municipal Code	City Standards and Findings
\boxtimes			17.12.030	Minimum Lot Area
			Finding	Required: 8,000 square feet
				Existing: 8,429 square feet (.19 acres)
\boxtimes			17.12.030	Building Coverage
			Finding	Permitted: 35%
				Proposed:
				Redesign #1: 31% (2,579 square feet building coverage / 8,429 square feet
				lot area)
				Redesign #2: 28% (2,322 square feet building coverage / 8,429 square feet
				lot area)
\boxtimes			17.12.030	Minimum Building Setbacks
			Finding	Minimum Required Setbacks:
				Front: 15'
				Side: > of 1' for every 3' in building height, or 5'
				Rear: 15'
				Warm Springs Road: 30'
				Proposed:
				Redesign #1
				Front (south): 19'-6 27/256"
				Side (east): 14'-8 3/4"
				Side (west): 11'-10 69/128"
				Rear (north): 30'-2 49/64"
				110d (1101 d.11)1 30 2 1370 1
				Redesign #2
				Front (south): 21'-5 101/256"
				Side (east): 15'
				Side (west): 12'-4 215/256"
				Rear (north): 30'-9 17/64"
\boxtimes			17.12.030	Building Height
		Finding	Maximum Permitted: 35'	
				Proposed:
				Redesign #1: 29'-0 ½"



			Redesign #2: 31'-10 169/256"
\boxtimes		17.125.030.H	Curb Cut
		Finding	Permitted:
			A total of 35% of the linear footage of any street frontage can be devoted to
			access off street parking.
			Proposed:
			Redesign #1: 28% (22-foot-wide driveway/80 feet of property frontage along
			Bald Mountain Road Road).
			Redesign #2: 28% (22-foot-wide driveway/80 feet of property frontage along
			Bald Mountain Road Road).
\boxtimes		17.125.020.A.	Parking Spaces
		2 &	
		17.125.050	
		Finding	Off-street parking standards of this chapter apply to any new development
			and to any new established uses.
			Required:
			Residential (one family dwelling), in all applicable zoning districts require two
			parking spaces.
			Proposed:
			·
			, , , ,
			Both redesigned plan sets indicate 2 parking spaces within the attached enclosed garage.



Attachment F: Warm Springs Ranch Residences Development Agreement

RECORDING REQUESTED BY AND WHEN RECORDED RETURN TO:

OFFICE OF THE CITY CLERK CITY OF KETCHUM POST OFFICE BOX 2315 KETCHUM, IDAHO 83340 Instrument # 682013

HAILEY, BLAINE, IDAHO

4-28-2021 05:26:02 PM No. of Pages: 13
Recorded for : CITY OF KETCHUM
JOLYNN DRAGE Fee: 0.08

Ex-Officio Recorder Deputy_
Index to: AGREEMENT/CORRECTION

G

(SPACE ABOVE LINE FOR RECORDER'S USE)

DEVELOPMENT AND REZONING AGREEMENT 20609

THIS DEVELOPMENT AGREEMENT ("Agreement") is dated for reference purposes this day of we are 2020, by and between the CITY OF KETCHUM, IDAHO, a municipal corporation ("Ketchum" or "City") and BRENNAN HOLDINGS NO. 300, LLC, an Idaho limited liability company ("Owner", and together with the City, the "Parties").

BACKGROUND AND CONTEXT

- A. Ketchum is a municipal corporation possessing all powers granted to municipalities under the applicable provisions of the Idaho Code, including the power to grant conditional use permits, approve planned unit developments, subdivide real property and the power to contract. A development agreement between the Parties is a collaboration that will provide mutual benefit for the Parties and residents of the City.
- B. Owner owns the real property situated in the State of Idaho, County of Blaine, commonly known as the Warm Springs Ranch Resort, Ketchum, Idaho ("**Property**") and more particularly described as Blocks 1, 2, 3, 4, 5, 6, 7, and 8 of Warm Springs Ranch Resort P.U.D. Large Block Plat, according to the plat thereof, recorded as Instrument No. 576508, records of Blaine County, Idaho except for a parcel within Block 2 ("**Large Block Plat**").
- C. On August 11, 2009 Ketchum and Owner entered into the Warm Springs Ranch Resort Development Agreement ("Original Agreement"), recorded on August 13, 2009 in the records of Blaine County, Idaho as Instrument No. 570190, for the purpose of establishing certain rights and obligations of the Parties with regard to annexation of the real property and the development of the PUD Property, including limitations as to the use, development, design, phasing, construction of necessary improvements (on-site and off-site) and mitigating the impacts directly attributable to the PUD. The Original Agreement was first amended by Amendment dated May 10, 2010 and recorded on June 2, 2010 as Instrument No. 577973, records of Blaine County, Idaho and next amended by instrument entitled Second Amendment, dated January 18, 2011, and recorded on March 7, 2011, as Instrument No. 585686, records of Blaine County, Idaho. The Original Agreement was then restated, amended, and superseded on April 2, 2012 by mutual agreement of the Parties to the [First] Amended and Restated Warm Springs Ranch Resort Annexation and Development Agreement. ("First Amended Agreement"). On December 19, 2016 Ketchum and Owner

entered into the Second Amended and Restated Warm Springs Ranch Resort Development Agreement, recorded on January 11, 2017, in the records of Blaine County, Idaho as Instrument No. 640939.

- D. It is the intention of Ketchum and the Owner in this Development and Rezoning Agreement to rescind, and repeal:
 - i. The Second Amended and Restated Warm Springs Ranch Resort Development Agreement, recorded on January 11, 2017, in the records of Blaine County, Idaho as Instrument No. 640939 ("Existing Development Agreement") and all prior iterations of the Warm Springs Ranch Development Agreements.
 - ii. The Large Block Plat Planned Unit Development Conditional Use Permit LBP-08-008 as approved in the April 7, 2009 City Council Findings of Fact, Conclusions of Law and Decisions.
 - iii. The Planned Unit Development and Conditional Use Permit PUD-CUP-08-008 as approved in the April 7, 2009 City Council Findings of Fact
- E. It is the intention of Ketchum and the Owner to enter into a new Development and Rezoning Agreement and a new Warm Springs Ranch Large Block Plat Subdivision (Large Block Plat).
- F. Owner has applied for subdivision of Block 1 of the Large Block Plat consisting of thirty-six (35) residential single-family lots and parcels A, B, C, D and E.
- G. Ketchum and the Owner agree to rezone Block 1 from T-Tourist Zoning Designation to GR-L General Residential Low-Density Zoning and to retain the existing zoning on the remainder of the Property. It is the intention of Ketchum and Owner that Owner retain all rights incident to ownership of the Property except as otherwise expressly provided herein.
- H. The Parties agree that the Property shall be developed in accordance with this Agreement; all applicable City ordinances; and any additional conditions and requirements imposed upon the Property by the Ketchum Planning and Zoning Commission ("Commission") and/or City Council ("Council") during the design review approval process.
- I. The parties have agreed to enter into a separate Option Agreement for the purchase of Blocks 2-8. The Option Agreement shall be signed by both parties once the Development Agreement is signed.

AGREEMENT

NOW, THEREFORE, in consideration of the mutual covenants, promises, agreements, terms and conditions set forth herein, the Parties agree as hereinafter provided.

1. Incorporation of Recitals. The Recitals set forth above are hereby incorporated into and made an integral part of this Agreement.

- 2. Termination of Existing Development Agreement. The Property is encumbered by the Warm Springs Ranch Resort Annexation and Development Agreement by and between the City and Helios Development, LLC recorded August 13, 2009 as Instrument No. 570190, records of Blaine County, Idaho as amended by Amendment to Warm Springs Ranch Resort Annexation and Development Agreement, recorded June 2, 2010 as Instrument No. 577973 and Second Amendment to Warm Springs Ranch Resort Annexation and Development Agreement, recorded March 7, 2011 as Instrument No. 585686, records of Blaine County, Idaho and the Amended and Restated Warm Springs Ranch Resort Annexation and Development Agreement, dated April 2, 2012 a Memorandum of which was recorded on August 7, 2012 as Instrument No. 599902, records of Blaine County, Idaho and the Second Amended and Restated Warm Springs Ranch Resort Annexation and Development Agreement, dated December 19, 2016 a Memorandum of which was recorded on January 11, 2017 as Instrument No. 640939, records of Blaine County, Idaho. The Existing Development Agreement provides in paragraph 23 that it may be amended or cancelled in whole or in part by mutual written consent of the Parties. Pursuant to said paragraph 23, the City and Owner as successor in interest to Helios Development, LLC agree to and hereby do terminate, extinguish, cancel, and rescind the Existing Development Agreement and neither Party shall have any further rights or obligations thereunder. Notwithstanding the previous sentence, the Property shall remain annexed into the City with Blocks 3, 4, 5, 6, and 8 zoned Tourist and Blocks 2 and 7 zoned RU-Recreational Use and Block 1 rezoned from Tourist to GR-L, General Residential Low Density. The Parties agree to execute such documents as may be reasonably required to remove from the Property the encumbrance of the Existing Development Agreement and rescind and repeal the Warm Springs Ranch Resort PUD Large Block Plat and the Planned Unit Development and Conditional Use Permit PUD-CUP-08-008.
- 3. Incorporation of Related Agreements, Approvals, Plans, Permits and other documents. The following agreements, approvals, plans, permits, and other documents are hereby incorporated into and made an integral part of this Agreement by reference as if restated herein in full:

Warm Springs Ranch Preliminary Plat creating sublots 1-35 and parcels A, B, C, D and E.

Any material failure to comply with the terms and conditions of any of the above-referenced agreements, approvals, plans, permits and other documents shall constitute a breach of this Agreement. In the event of any inconsistency between the terms and conditions of this Agreement and the agreements, approvals, plans, permits and other documents listed above, the terms and conditions of this Agreement shall govern.

This Agreement shall vest the zoning designation for Block 1 of the Large Block Plat and the subdivision map for Block 1. All development within Block 1 shall be governed by the policies, procedures, guidelines, ordinances, codes, regulations, and fees of the City governing land use in effect at the time an application is filed for development.

4. Right to Develop.

This Agreement only authorizes development of Block 1 of the Large Block Plat. No development in Blocks 2, 3, 4, 5, 6, 7, and 8 shall be permitted until a PUD and preliminary plat application is submitted to Ketchum.

A. Phase One Block 1 Development

- 1. The City has approved of Owner's application for the subdivision of Block 1 of the Large Block Plat ("Block 1") into thirty-five (35) single family residential lots and parcels A, B, C, D and E as described and depicted in the preliminary plat of Warm Springs Ranch. Subject to the requirements of this Agreement, the Owner, and all future owners of some or all of Block 1 shall have the right to demolish all or any portion of existing structures and redevelop, construct, improve and use Block 1 and the lots and parcels located therein in accordance with this Agreement, the Large Block Plat and applicable zoning.
- 2. Owner shall have the right to develop Lots 32-35 for deed restricted multifamily units consistent with the GR-L General Residential Low Density development standards.
- 3. Owner shall have right to permit Accessory Dwelling Units subject to compliance with all requirements in the Ketchum Municipal Code.
- 4. Any application for a building permit shall comply with the requirements of applicable codes, agreements, approvals, plans, permits and other documents as such requirements exist on the day the building permit application is submitted.
- 5. A building permit application that does not comply with the requirements contained in applicable codes, agreements, approvals, plans, permits and other applicable project documents may be rejected by the City within a reasonable time after completing review of the application by providing notice describing the non-compliance in detail. The permit applicant shall have the right to cure any non-compliance. If a building permit application contains material changes to applicable codes, agreements, approvals, plans, permits and other documents an amendment to this Agreement must be applied for by Owner and considered by the Council. If such amendment is approved by the Council, all inconsistent terms and conditions of the approvals referenced herein shall be deemed to have been amended to conform the amendment to this Agreement.
- 6. Development on parcels 32, 33, 34, and 35 in the Block 1 subdivision shall be subject to the standards of Ketchum Municipal Code Chapter 17.96, Design Review. Driveway access to Lots 32, 33, 34, and 35 in Block 1 subdivision shall be restricted to Bald Mountain Road.
- 7. The public shall be permitted access on all private roads within the Block 1 subdivision for the purpose of walking and driving. No public parking or other use shall

be permitted on the private roads. Resident parking shall be permitted on the private roads.

- 8. A ten-foot (10') fisherman/sportsman access and nature study easement shall exist on both sides of the creek from the mean high-water mark on Warm Springs Creek as shown on the Block 1 subdivision plat and shall be open to the public after sunrise and before sunset in accordance with applicable regulations of the Idaho Department of Fish and Game. Public fishing access shall be available from Block 2 and accessed from Parcel D of the Block 1 subdivision.
- 9. Landscaping within parcels 1-35 and parcels A, B, C of the Block 1 subdivision shall consist of drought tolerant sustainable landscaping tailored to the specific climate zone of Ketchum. Existing trees shall be preserved as much as practicable.
- 10. Owner shall record the Large Block Plat, with the Office of the Blaine County Recorder within six (6) months after the date of its final approval.
- 11. No unauthorized construction activity shall occur within the riparian setbacks. Riparian setbacks shall be as follows: South side of Warm Springs Creek: fifty (50) feet from the MHW; North side of Warm Springs Creek: twenty-five (25) feet from the MHW.
- 12. The existing cottonwood riparian vegetation along Warm Springs Creek on the northern and southern portion of the Block 1 subdivision shall be undisturbed as much as practicable.
- 13. The riparian zone identified in Block 1 shall be designated as an easement governed and managed by an Owners Association (HOA) to ensure future modifications to the riparian zone and the stream bank do not occur individually but occur in a comprehensive coordinated approach. Prior to any modification to the riparian zone or stream bank, an overall plan must be developed and approved by Ketchum. Ketchum will not unreasonably withhold, condition, or delay approval of such plan. Any riparian and stream bank alternations must conform to the approved plan.
- 14. The Owners of Lots 1-13 and the Owner's Association (HOA) shall participate in the preparation of a Warm Springs Creek Restoration Plan for the portion of creek adjacent to the lots and shall not unreasonably withhold, condition, or delay approval of such plan.
- 15. Development in Block 1 shall not be eligible for variances or waivers due to the configuration, slope, or topography of the lot. All development shall comply with the development standards in place at the time the development is proposed. Lots 32-35 are not considered to have natural slopes or grades for purposes of subdivision and zoning standards.
- 16. Consolidation of lots shall be limited. A maximum of eight lots may be combined with only one other lot totaling 16 combined lots out of the 35 lots.

- B. Phase One Block 1 Infrastructure Improvements.
- 1. Owner requests water and sewer service from Ketchum for Block 1. Ketchum hereby agrees to provide domestic potable and irrigation water service and sewer service to properties in Block 1. Such water and sewer service shall be at the same fees as charged to equivalent users. Owner shall engineer, construct, and otherwise provide, at its sole expense, the improvements, facilities, and services (public and private) set forth in the engineering plans and specifications for such improvements.
- 2. Irrigation systems for each Lot and common landscape areas shall be equipped with a separate shut off so the irrigation system may be turned off without impacting water service to the residence or other development on the Lot.
- 3. The irrigation systems for all landscape zones shall be, to the greatest extent possible, water efficient, in- ground, and use rotor and drip irrigation technology. Monitoring technology shall be used to regulate irrigation rates to conserve water use.
- 4. At the time of recording the final plat for Block 1, Owner shall transfer and convey to City by quit claim deed its Water Right No. 37-11885.
- 5. All utilities, including water, sewer, gas, cable, phone and electric shall be installed underground within the street rights-of-way prior to completion of the construction of the roads or as otherwise shown on Block 1 subdivision plat map. Detailed engineered construction drawings and specifications for construction of such improvements shall be prepared by Owner and approved by City prior to construction. Prior to acceptance of any such improvements to be dedicated to City, City shall inspect and approve same, and Owner shall provide City with "as built" drawings thereof. Owner hereby warrants that to the best of its knowledge the "as built" drawings will be substantially correct and Owner shall be liable and hold City harmless from any damage which may result from material errors in said drawings for a period of one (1) year after acceptance by City of said utilities unless such damage is caused directly or indirectly by the acts or omissions of Ketchum, or its agents or contractors. Owner hereby warrants construction of the public streets, water system and sewer system improvements will be free from faulty materials and faulty workmanship for a period of eighteen months after the work is completed and accepted by the City. City shall give Owner written notification of any defect or nonconforming work. On receipt of notice from City, Owner agrees to remedy, by repair or replacement, without cost to City, all defects and non-conforming work appearing within a period of one (1) year after the work is completed. Except as expressly set forth in this Agreement, it is understood and agreed that Owner has not made and is not making, and Owner expressly disclaims, any warranties or representations, express or implied, with respect to the improvements described herein and that City shall accept said improvements, "AS-IS, WHERE IS, WITH ALL FAULTS", except to the extent expressly provided elsewhere in this Agreement. Owner agrees to assign any warranties accruing to it and arising out of construction of the improvements described in this Section remaining in effect at the time such improvements are transferred and/or dedicated to City, subject to all applicable state and federal laws.

- 6. Owner shall be responsible for the year-round maintenance of all private roadways, including, without limitation, snow removal to maintain access and parking, as well as emergency vehicle turnaround, within the Block 1 subdivision.
- 7. Without conferring any third-party beneficiary status on any person or entity not a party to this Agreement, and without waiving any claims, causes of action or other rights it may have against the Warm Springs Ranch Townhome Condominium Association ("WSRTCA") relating to access or other easements the WSRTCA may claim on or after the Effective Date, Owner agrees to provide an easement to WSRTCA for ingress and egress to and from Townhouse Lane to replace the existing easement.
- 8. Ketchum shall not issue any building permits for any building in Block 1 prior to completion of the components of the water system sufficient to provide portable water and fire flow protection for structures in Block 1. Ketchum shall not issue any Certificates of Occupancy for any building prior to completion of the water system and irrigation system for service of Block 1.
- 9. To provide pedestrian and bicycle access to the open space in Blocks 2, 3, 4, 5, 6, 7 and 8, an eight-foot-wide sidewalk separated from the street by a curb, shall be installed adjacent to Bald Mountain Road from Warm Springs Road to Lot 3 in Block 1. Bald Mountain Road shall be stiped with sharrows and signage for sharing the road with bicyclists.
- 10. Owner shall install an unimproved parking lot to accommodate a minimum of 12 and a maximum of 24 public parking spaces to access the south side of Warm Springs Creek. This area may be reconfigured and/or relocated as part of Phase 2 development. The parking lot shall be installed as part of the infrastructure improvements for the Block 1 subdivision and available for public use once Bald Mountain Road is open for access.
- 11. A bus stop shall be constructed by Owner, near the corner of Warm Springs Road and Bald Mountain Road within six months of recording the final map for Block 1. The design of the bus stop shall be similar to the bus shelter on Saddle Road near Zenergy and approved by Ketchum. Upon completion of the bus stop and acceptance thereof by Ketchum, Ketchum shall assume all responsibility for maintenance, repair, and replacement subject to Owner's warranty set forth above.
- 12. A detailed Construction Activity Plan shall be submitted and approved by Ketchum prior to commencing infrastructure construction and construction on any Lot in Block 1. Ketchum and the Owner shall mutually agree on the amount and form of financial assurance to mitigate all reasonably foreseeable impacts to Ketchum resulting from actual damage to water, sewer, streets and/or other city-owned systems during construction of the Project. The Construction Activity Plan shall identify mitigations to limit the impact on adjacent neighborhoods. Staging, material deliveries and all construction parking shall occur on site. Use of vacant lots shall be utilized to limit the impact of construction on adjacent neighborhoods.

- 13. Owner agrees to participate in the design, placement, and construction of the Bald Mountain Connector Trail at the sole expense of the City. The Owner agrees placement of the trail or public access to the trail may occur on the Property to the extent it does not impair development of Blocks 1 or 2. Development of the Bald Mountain Connector Trail shall be in collaboration with Owner and Ketchum Parks and Recreation. Notwithstanding any contrary provision of this Agreement the failure of the collaborative development effort shall have no impact on Owner's rights hereunder.
- 14. Owner shall install a right turn lane on Bald Mountain Road to facilitate right turns east bound on Warm Springs Road.
- 15. Lopey Lane shall become a public street, dedicated to the City of Ketchum if Blocks 2-8 are owned by the City of Ketchum.

5. Phase 2 Development

- 1. This Agreement only authorizes Owner to develop Block 1 of the Large Block Plat, install an unimproved parking lot with a minimum of 12 and a maximum of 24 public parking spaces on Block 2 accessed from Parcel D of the Block 1 subdivision, a Bald Mountain Connector Trail, a vault toilet near the parking lot on Block 2 and stream restoration of Warm Springs Creek. Future development proposed by the Owner in Blocks 2, 3, 4, 5, 6, 7, and 8 shall be considered in Phase 2 as part of a PUD and preliminary plat application filed with Ketchum.
- 2. Nothing contained in this Agreement including but not limited to the provisions of paragraphs 4B9 and 4B10 shall confer upon Ketchum or the general public any right to access or use Blocks 2, 3, 4, 5, 6, 7 and 8, or any part thereof. Owner may terminate the pedestrian access, parking, access to the south side of Warm Springs Creek and all rights of entry or use of Blocks 2, 3, 4, 5, 6, 7 and 8 at any time, for any reason whatsoever, without notice. Access restrictions identified in this Section (5. 2) shall no longer be in effect if Blocks 2-8 are owned by the City of Ketchum.
- 6. Covenants, Conditions and Restrictions. The covenants, conditions and restrictions recorded against Block 1 shall contain at least the following provisions:
- A. An allocation of responsibility for maintenance of all community and privately owned landscaping, streets and amenities; and
- B. No person or entity acquiring any portion of the Property shall be permitted to develop, construct, erect, or install any building, utility, improvement, or landscaping which does not conform in all respects to this Agreement and Block 1 subdivision plat as applicable.
- C. Any lot that is located within an avalanche zone, regardless of the building location, shall meet the notice requirements of Section 17.92.010E, KMC.
 - D. All private roads within Block 1 are subject to closure, in Owner's sole

discretion, during times of high avalanche danger. Owner shall work with Ketchum Emergency Services personnel to establish standard protocols to be followed during times of elevated avalanche danger. Owner and Ketchum acknowledge that the intent of such protocols is to reduce the risk to both the public and emergency responders during periods of increased avalanche danger, and such protocols will therefore include procedures for limiting or restricting access in avalanche zones to reduce these risks.

- 7. Term. The term of this Agreement shall be perpetual.
- 8. **Default and Enforcement**. In the event either Party, their respective heirs, successors, assigns or any other person acquiring an interest in the Property, fails to faithfully comply with all of the terms and conditions included herein, the same shall constitute a default entitling the non-defaulting party to all legal and equitable remedies available.
- A. A petition filed by Owner under any bankruptcy, reorganization, arrangement, insolvency, dissolution, or liquidation law of any jurisdiction, whether now or hereafter in effect, that is not dismissed within ninety (90) days after such filing shall constitute an event of default of this Agreement and shall entitle Ketchum to seek all available legal and equitable remedies.
- B. A waiver by a party of any default by the other party of any one or more of the covenants or conditions hereof shall apply solely to the breach or breaches so waived and shall not bar any other rights or remedies or apply to any subsequent breach of any such or other covenants and conditions.
- C. In the event of a material violation of this Agreement the Parties shall have the right, without prejudice, to specific performance, or any other rights or remedies available under the Ketchum Municipal Code or Idaho law, including but not limited to the right to demand the non-defaulting party to cure such default or enjoin violation and otherwise enforce the requirements contained in this Agreement.
- D. In the event of a material breach of this Agreement, the Parties agree that City and Owner shall have sixty (60) days after delivery of notice of said breach to cure and correct the same prior to the non-breaching party seeking any remedy provided for herein; provided, however, in the event that the default or breach cannot with diligence be cured within such 60-day period, if the defaulting party shall commence to cure the same within such 60-day period, and thereafter prosecute the cure of same with diligence, then the time within which such breach may be cured shall be extended for such period as necessary to complete the cure.
- E. Owner hereby grants City a license to enter upon the Property, during business hours and upon reasonable advance notice, with Owner or Owner's representatives having the right to be present during such times, to (a) inspect the same, (b) determine if Owner is complying with this Agreement, and (c) to undertake the cure of any default of Owner; provided, however, all such cures shall be performed as promptly as possible and so as to cause the least interference to guests, invitees and other occupants of property in the Project. Ketchum agrees to indemnify, defend, and hold harmless Owner from any and all liability, claims, damages, expenses, judgments, proceedings and causes of action of any kind whatsoever, arising

out of Ketchum's negligent exercise of the license granted herein.

9. Miscellaneous Provisions.

- A. <u>Police Powers</u>. Except as otherwise expressly provided herein, nothing contained herein is intended to limit the police powers of Ketchum or its discretion in review of subsequent applications regarding development of the Property. This Agreement shall not be construed to modify or waive any law, ordinance, rule, or regulation not expressly provided for herein, including, without limitation, applicable building codes, fire codes, Ketchum's Zoning Ordinance, and Ketchum's Subdivision Ordinance requirements for the Property.
- B. <u>Amendment</u>. This Agreement may be revised, amended, or canceled in whole or in part, only by means of a written instrument executed by both Parties and as evidenced by amended plats and development plans.
- C. <u>Specific Performance</u>. In the event of a breach of this Agreement, in addition to all other remedies at law or in equity, this Agreement shall be enforceable by specific performance by either party hereto. All remedies shall be cumulative.
- D. <u>Attorney's Fees</u>. In the event either party hereto is required to retain counsel to enforce a provision of this Agreement, or to recover damages resulting from a breach hereof, the prevailing party shall be entitled to recover from the other party all reasonable attorney's fees incurred, whether or not litigation is actually instituted or concluded.
- E. <u>Notices</u>. All notices required or provided for under this Agreement shall be in writing and deemed delivered upon delivery in person or upon mailing by certified mail, return receipt requested, postage prepaid. However, the time period in which a response to such notice must be given shall commence to run from the date of receipt on the return receipt of the notice. Rejection or refusal to accept, or the inability to deliver because of a change of address of which no notice was given shall be deemed to be receipt of the notice.

Notices to City shall be addressed as follows:

City of Ketchum
Post Office Box 2315
Ketchum, ID 83340
Attn: Planning and Building I

Attn: Planning and Building Director

Telephone: 208.726-7801

Notices given to Owner shall be addressed as follows:

Robert M. Brennan, Managing Member Brennan Holdings No. 300, LLC Post Office Box 1991 Sun Valley, ID 83353

Email: brennanholdings@gmail.com

with a copy to:

Lawson Laski Clark & Pogue, PLLC 675 Sun Valley Road, Suite A Post Office Box 3310 Ketchum, Idaho 83340 Attn.: Edward A. Lawson

Telephone: 208.725-0055 Email: eal@lawsonlaski.com

A party may change the address to which further notices are to be sent by notice in writing to the other party, and thereafter notices shall be addressed and transmitted to the new address.

- F. <u>Relationship of Parties</u>. It is understood that the contractual relationship between City and Owner is such that neither party is the agent, partner, or joint venturer of the other party.
- G. Successors and Assigns; Covenant Running With the Land. This Agreement shall inure to the benefit of City and Owner and their respective heirs, successors, and assigns. This Agreement, including all covenants, terms, and conditions set forth herein, shall be and is hereby declared a covenant running with the land with regard to the Property or any portion thereof, and is binding on both parties to this Agreement as well as their respective heirs, successors and assigns with the exception of the purchasers of lots, condominium, or townhouse units. Upon conveyance of a lot, condominium unit or townhouse unit to a third party. the lien and encumbrance of this Agreement shall be automatically released from said lot and unit and a prospective purchaser and all lenders and title insurers are entitled to rely upon said release. In the event that Owner or a successor in interest to Owner sells or transfers the Property written notice of said transaction shall be given to City no less than sixty (60) days prior to closing. This requirement shall not apply to the sale and/or transfer of individual lots, condominium units or townhouse units. Individual lots, townhouse, or condominium owners are not intended to have any ownership interest, third-party beneficiary, easement, or other interest in any of the terms, conditions or obligations of this Agreement.
- H. <u>Recordation and Release</u>. This Agreement shall be recorded with the Blaine County Recorder. City agrees to execute all appropriate documentation to cause the encumbrance of this Agreement to be terminated in the event of termination.
- I. No Waiver. In the event that City or Owner, or its successors and assigns, do not strictly comply with any of the obligations and duties set forth herein, thereby causing a default under this Agreement, any forbearance of any kind that may be granted or allowed by Owner, City, or their successors and assigns, to the other party under this Agreement shall not in any manner be deemed or construed as waiving or surrendering any of the conditions or covenants of this Agreement with regard to any subsequent default or breach.
- J. <u>Partial Invalidity</u>. In the event any portion of this Agreement, or part hereof, shall be determined by any court of competent jurisdiction to be invalid, void, or otherwise unenforceable, the remaining provisions of this Agreement, or parts hereof, shall remain in full force and effect and shall in no way be affected, impaired or invalidated, it being understood that such remaining provisions shall be construed in a manner most closely

approximating the intention of the parties with respect to the invalid, void, or unenforceable provision or part hereof.

- K. <u>Entire Agreement</u>. This Agreement constitutes the full and complete agreement and understanding between the parties hereto. Excluding formal conditions placed upon the design review approval, subsequent plat approvals or other matters related to the public process, no representations or warranties made by either party shall be binding unless contained in this Agreement or subsequent written amendments hereto.
- L. <u>Exhibits</u>. All exhibits referred to herein are incorporated in this Agreement by reference, whether or not actually attached.
- M. <u>Authority</u>. Each of the persons executing this Agreement represents and warrants that he or she has the lawful authority and authorization to execute this Agreement, as well as all deeds, easements, liens, and other documents required hereunder, for and on behalf of the entity executing this Agreement.
- N. Force Majeure. If either party hereto is delayed in the performance of any of its obligations hereunder because of inclement weather; material shortages; labor shortages; unavailability of gas, electric or other utilities through no fault of Owner; dispute or strike; civil strife; acts beyond the control of the delayed party including, acts of God; the Covid-19 virus or other pandemic; and actions by the United States of America or the State of Idaho, or Ketchum or any of their agencies, the time of performance for completion of such obligation shall be extended for the same time as lost by the cause hereinabove set forth.
- O. <u>Choice of Law.</u> This Agreement shall be governed by and construed in accordance with the laws of the state of Idaho, which shall be the sole jurisdiction and venue for any action which may be brought by either party with respect to this Agreement or the subject matter hereof.

IN WITNESS WHEREOF, the parties hereto have executed this Agreement the day and year first above written.

Brennan Holdings No. 300, LLC, an Idaho limited liability company

City of Ketchum, Idaho, a municipal corporation

By: Robert M. Brennan, Managing Member

Neil Bradshaw, Mayor

STATE OF IDAHO) ss. County of Blaine)

Subscribed and sworn before me on this Aday of April, 2021, before me a Notary Public in and for said State, personally appeared NEIL BRADSHAW, known to me to be the Mayor of the CITY OF KETCHUM, IDAHO, and the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same on behalf of the City of Ketchum, Idaho.

IN WITNESS WHEREOF, I have herefutto, set my hand and seal the day and year first written above.

Notary Public Residing at 12/25

STATE OF IDAHO
)
ss.

County of Blaine

Subscribed and sworn before me on this _____ day of _______, 2021, before me a Notary Public in and for said State, personally appeared ROBERT M. BRENNAN known or identified to me to be the Managing Member of BRENNAN HOLDINGS NO. 300, LLC, the limited liability company that executed the instrument or the person who executed the instrument on behalf of said limited liability company, and acknowledged to me that such limited liability company executed the same.

IN WITNESS WHEREOR! There hereunto set my hand and seal the day and year first written above.

Notary Public
Residing at Haug, 15
My Commission Expires 8/12/25



Attachment G: P&Z Staff Report September 12th, 2023



STAFF REPORT KETCHUM PLANNING AND ZONING COMMISSION REGULAR MEETING OF SEPTEMBER 12, 2023

PROJECT: Warm Springs Ranch Residences Lots 32-35

FILE NUMBER: P23-017, P23-018, P23-019, and P23-020

APPLICATION TYPE: Design Review

REPRESENTATIVE: John Shirley – Think Architecture (architect)

PROPERTY OWNER: Brennan Holdings No. 300 LLC

REQUEST: Design Review applications for the development of four (4) new single-family

residences, ranging in size from 3,505 square feet to 3,988 square feet.

LOCATION: 160 Bald Mountain Road (Lot 32, Block 4, Warm Springs Ranch Residences)

170 Bald Mountain Road (Lot 33, Block 4, Warm Springs Ranch Residences) 180 Bald Mountain Road (Lot 34, Block 4, Warm Springs Ranch Residences) 190 Bald Mountain Road (Lot 35, Block 4, Warm Springs Ranch Residences)

ZONING: General Residential – Low Density (GR-L)

OVERLAY: None

REVIEWER: Paige Nied – Associate Planner

NOTICE: A public hearing notice for the project was mailed to all owners of property

within 300 feet of the project site and all political subdivisions on August 23, 2023. The public hearing notice was published in the Idaho Mountain Express on August 23, 2023. A notice was posted on the project site and the City's website on September 5, 2023. Story poles were documented on the project site as of

September 6, 2023.

I. EXECUTIVE SUMMARY:

The applicant is proposing to construct four (4) single-family residences, ranging in size from 3,505 square feet to 3,988 square feet (the "project"), located at Lots 32-35, Block 4, Warm Springs Ranch Residences (the "subject properties"). The subject properties are zoned General Residential – Low Density (GR-L) and the lots are currently vacant. Pursuant to Ketchum Municipal Code (KMC) §17.96.010.B.1, single family residences (that are not within the Mountain Overlay Zone District) are

exempt from Design Review. However, the Warm Springs Ranch Residences Subdivision, which was platted in 2021, includes plat note #22 which states, "Development on Lots 32, 33, 34, and 35 shall be subject to the standards of Ketchum Municipal Code, Chapter 17.96, Design Review." This plat note was added to ensure that the development of Lots 32-35 will have a minimal visual impact to the view of Bald Mountain from Warm Springs Road. Each proposed residence is associated with an individual Design Review application, however, Planning staff felt it would be easier for the Commission and the public to review all the proposed residences concurrently and evaluate the full context of the potential visual impact of the project. A rendering of the proposed residences on Lots 32-35 can be seen in Figure 1 below.



Figure 1: Rendering of Proposed Residences on Lots 32-35

Based on a thorough review of the application materials and the standards within the KMC, staff believe the project to be in conformance with all requirements of the zoning code and all standards related to design review. Therefore, staff recommends approval with conditions of the design review applications.

II. BACKGROUND:

The Planning and Building Department received the Design Review applications on March 28, 2023. Following the receipt of the applications, staff routed the application materials to all City departments for review. The applications were reviewed concurrently, and the applications were deemed complete on July 28, 2023, after two rounds of review. As of the date of this letter, all department comments have been resolved or addressed through conditions of approval recommended below.

III. CONFORMANCE WITH ZONING AND DESIGN REVIEW STANDARDS:

Prior to granting Design Review approval, the Commission must determine that the application meets two criteria: (1) the project doesn't jeopardize the health, safety, or welfare of the public, and (2) the project conforms to all Design Review standards and zoning regulations (KMC §17.96.050.A).

Criteria #1: Health, Safety, and Welfare of the Public

The 2014 Comprehensive Plan contains the community's vision for Ketchum and sets goals and policies to guide future development. The vision is shaped by 10 core values identified by Ketchum residents as important to consider for all future land uses decisions. The community's core values include protecting the community character of Ketchum and preserving its environmental quality and scenic beauty. Ketchum's undeveloped hillsides are visual assets that define the character of our community. Protecting and preserving Ketchum's natural resources is critical to maintaining our economy, quality of life, and community identity. The comprehensive plan states:

Community Character: You know when you have entered Ketchum; this is a place centered on the "town" and identifiable from the "country" by distinct edges. Residents and visitors desire this clear division that has been lost in so many American cities through strip commercial development and sprawling residential subdivisions. Protecting and enhancing the visual character of our community gateways, the undeveloped hillsides, and night skies is a priority (page 9).

Environmental Quality and Scenic Beauty: Ketchum's citizens place great value on the exceptional natural setting and resources of the Wood River Valley. The community is surrounded by rugged alpine peaks, forested and sage-covered open spaces, pristine wildlife habitat, and beautiful rivers and riparian areas. Key open spaces create visual buffers between the built and natural environment. Unobstructed views exist in every direction in large part due to Ketchum's wide streets and lack of hillside development. These environmental features and resources sustain our economy and are why many people choose to live in Ketchum. We will be excellent stewards of these resources in order to preserve them for the future (page 10).

The comprehensive plan sets policies to guide land-use decisions and identifies the following objectives regarding hillside development:

- Goal CD-2: Protect and enhance views of the surrounding mountains and natural features.
- Policy OS-3.2: Establish and maintain open space buffers in important scenic areas to maintain the community's separate identity from surrounding communities and to protect views and open space.
- Policy OS-3.6: Establish, preserve, and enhance scenic entryways along major roadways entering the City.

The comprehensive plan's future land use map designates the future land use for Lots 32-35 as Low Density Residential. Desired primary uses within this future land use category include single-family residences and duplexes. The proposed single-family residences fall within the primary uses of the Low Density Residential land use category.

As previously mentioned, Goal CD-2 of the plan indicates that views of mountains and natural features need to be protected and enhanced. The impetus for design review of the new single-family residences on Lots 32-35 is to assess precisely that. Warm Springs Road is situated at a higher elevation of 5,859'-4" compared to Bald Mountain Road which sits at 5,832' (27'-4" height difference). Due to this topography, the proposed structures on Bald Mountain Road will be tucked into the hillside. The tallest structure proposed is on Lot 33 and has a maximum building height of 34'-0 ½", which is just 7'-4 ½" above the elevation of Warm Springs Road. All the structures propose roof appurtenances which extend above the roof ridges; however, staff believe the proposed building

heights on Lots 32-35 are reasonable because the structures will still have a lesser height than all the existing one- and two-story structures along Warm Springs Road before and after the Warm Springs Ranch Residences Subdivision. Further, the continuous 4' fence to the rear of Lots 32-34 along Warm Springs Road further mitigates the visual impacts of all the structures. The elevation sheet in Figure 2 below indicates the height of the roof ridge and fence (marked by red stars) on Lot 33 in comparison to the elevation of Warm Springs Road (marked by a blue star).

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Figure 2: Lot 33 Height of Roof Ridge and Fence in Comparison to Warm Springs Road Elevation

Staff believes that the goals and policies of the comprehensive plan related to the protection of mountain views and scenic areas are met with the project. The proposed structures achieve this by mitigating visual impact on the mountain view by being situated at a lower elevation on Bald Mountain Road and by the fence to the rear of the structures on Lots 32-34 along Warm Springs Road which buffers their visual appearance.

Criteria #2: Applicable Standards and Criteria

Conformance with Design Review Improvements and Standards

Plat Note #22 of the Warm Springs Ranch Residences requires Lots 32-35 be subject to the Design Review criteria outlined in 17.96.060. During department review, City staff reviewed the project for conformance with all design review standards and required improvements specified in KMC §17.96.060. Additionally, staff reviewed the project for conformance with all City code requirements for right-of-way improvements, utilities, and drainage. Staff believes the project meets the design review standards. Please see Attachment F for staff's comprehensive design review standards analysis. Below is an overview of some of the more noteworthy design review criteria for the proposed project.

Sidewalks (KMC 17.96.060.B)

Sidewalks have already been installed along Bald Mountain Road adjacent to Lots 32-35 as part of the Warm Springs Ranch Residences Subdivision Development Agreement. Per Phase One Block 1 Infrastructure Improvements listed in the Warm Springs Ranch Residences Subdivision Development Agreement, included as Attachment H, sidewalks were required to be installed adjacent to Bald Mountain Road to Warm Springs Road to Lot 3 in Block 1. Staff recommend condition of approval #5 to ensure any damage to the right-of-way, including sidewalks, be reconstructed to City standards at the owner's expense prior to issuance of Certificate of Occupancy.

Compatibility of Design (KMC 17.96.060.E) & Architectural Features (KMC 17.96.060.F)

Per KMC §17.96.060.E.1, "The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures." The Warm Springs Ranch Residences Subdivision was platted in 2021 and is in the process of being developed. Multiple single-family residences are currently being constructed on Bald Mountain Road and Mountain Creek Drive. All of which have similar, yet unique architectural styles that utilize both modern (flat and shed roofs with cold materials such as concrete and metal) and traditional (gabled roofs with warmer materials such as wood and stone) designs. The proposed residences feature flat, shed, and gabled roofs with large windows and a mix of cold and warm materials including wood, metal, and stone. Lots 32, 34, and 35 are two stories in height and Lot 33 is three stories in height. Additionally, per KMC §17.96.060.F.2 & 5, "The building character shall be clearly defined by the use of architectural features" and "Buildings walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness." Each of the proposed residences features multiple wall and deck pop-outs to provide undulation and reduce the appearance of flatness.

Conformance with Zoning Regulations

During City department review, planning staff reviewed the project for conformance with all applicable zoning code requirements including permitted uses, dimensional limitations, parking, development standards, and dark skies. Staff believes the project complies with all zoning code regulations and dimensional standards required in the GR-L Zone. Comprehensive analysis of the project's conformance with zoning code requirements and dimensional standards is provided in Attachment G. Below is an overview of the development standard related to fences, hedges, and walls for the project.

Fences, Hedges and Walls (KMC 17.124.130)

Staff identified inconsistencies in plan sets for Lots 32-34 regarding the location of the proposed 4' wooden fence. The plan sets indicate the fence in three different locations. Staff recommends the fence to be located offset from the property line and the public utility easement, to enable access for Idaho Power and other utility providers. In conversations between staff and the applicant, the applicant explained how the fence was intended to be aligned with other existing fences along Warm Springs Road. However, the applicant is supportive of relocating the fence to the south of the utility easement within the property boundary. To ensure the fence is relocated on the plan sets, staff recommend condition of approval #6, which states that prior to building permit application for Lots 32-35, the plan set shall be revised to locate the fence to the south of the public utility easement and shall have a consistent location throughout the plan set.

STAFF RECOMMENDATION

Staff recommends **approval** of the Design Review applications (File No. P23-017, P23-018, P23-019, and P23-020) subject to the following conditions:

- 1. This Design Review approval is based on the project plans for Lots 32-35 presented at the September 12, 2023, Planning and Zoning Commission meeting. The project plans for all on-site improvements submitted for the building permits must conform to the approved design review plans unless otherwise approved in writing by the Planning and Zoning Commission or Administrator. Any building or site discrepancies which do not conform to the approved plans will be subject to review by the Commission and/or removal.
- 2. The applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho which include specifications for right-of-way, circulation design, utilities, and drainage improvements for review and approval by the City Engineer, Streets, and Utilities departments prior to issuance of a building permit for the project.
- 3. The term of Design Review approval shall be twelve (12) months from the date that the Findings of Fact, Conclusions of Law, and Decision are adopted by the Commission or upon appeal, the date the approval is granted by the Council subject to changes in zoning regulations.
- 4. In addition to the requirements set forth in this Design Review approval, this project shall comply with all applicable local, state, and federal laws.
- 5. Any damage to the right-of-way, including sidewalks, must be reconstructed to City standards at the owner's expense prior to issuance of Certificate of Occupancy.
- 6. Prior to building permit application for Lots 32-34, the plan sets shall be revised to relocate the fence to the south of the public utilities easement and shall have a consistent location throughout the plan set.

IV. RECOMMENDED MOTIONS

Design Review:

"I move to approve the Lots 32-35, Block 4, Warm Springs Ranch Residences Design Review applications, as conditioned, and adopt the Findings of Fact, Conclusions of Law and Decision."

ATTACHMENTS:

- A. Design Review Applications for Lots 32-35 and Supplemental Documents
- B. Lot 32 Plan Set
- C. Lot 33 Plan Set
- D. Lot 34 Plan Set
- E. Lot 35 Plan Set
- F. Design Review Standards Analysis
- G. Zoning and Dimensional Standards Analysis
- H. Warm Springs Ranch Subdivision Development Agreement



Attachment H:
P&Z Staff Report
October 10th, 2023



CITY OF KETCHUM

Planning & Building
office: 208.726.7801
planningandbuilding@ketchumidaho.org
P.O. Box 2315, 191 5th Street West, Ketchum, ID 83340
ketchumidaho.org

STAFF REPORT KETCHUM PLANNING AND ZONING COMMISSION REGULAR MEETING OF OCTOBER 10, 2023

PROJECT: Warm Springs Ranch Residences Lots 32-34

FILE NUMBER: P23-017, P23-018, and P23-019

APPLICATION TYPE: Design Review

REPRESENTATIVE: John Shirley – Think Architecture (architect)

PROPERTY OWNER: Brennan Holdings No. 300 LLC

REQUEST: Design Review applications for the development of three (3) new single-family

residences, ranging in size from 3,505 square feet to 3,988 square feet.

LOCATION: 160 Bald Mountain Road (Lot 32, Block 4, Warm Springs Ranch Residences)

170 Bald Mountain Road (Lot 33, Block 4, Warm Springs Ranch Residences) 180 Bald Mountain Road (Lot 34, Block 4, Warm Springs Ranch Residences)

ZONING: General Residential – Low Density (GR-L)

OVERLAY: None

REVIEWER: Paige Nied – Associate Planner

NOTICE: A public hearing notice for the project was mailed to all owners of property

within 300 feet of the project site and all political subdivisions on August 23, 2023. The public hearing notice was published in the Idaho Mountain Express on August 23, 2023. A notice was posted on the project site and the City's website on September 5, 2023. Story poles were documented on the project site as of September 6, 2023. The public hearing for this project has been continued from

the Planning & Zoning Commission meeting on September 12, 2023.

I. EXECUTIVE SUMMARY:

The Planning and Zoning Commission reviewed the proposed development during their regular meeting on September 12, 2023 (see Attachment I for the staff report). At the meeting, concerns were raised by the public regarding the building height of the proposed residence on Lot 33. The Commission echoed these concerns regarding the height of the proposed residence on Lot 33 and its

visual impact along the Warm Spring Road view corridor. In addition, the Commission expressed concerns regarding the height of the proposed landscaping along Warm Springs Road on Lots 32-34.

Upon review of the application materials, staff and applicant presentation, and public comment, the Commission approved the Design Review application for Lot 35 only. The Commission moved to continue the Design Review applications for Lots 32-34 and requested the applicant provide the following information:

- A rendering of Lots 32-34 from the vantage point of the bike path on Warm Springs Road
- Comprehensive landscaping plan for Lots 32-34
- Specify the type of pine trees proposed on the plant legend for Lots 32-34
- Verify the roof materials for Lots 32-34
- Analyze the design of the roof on Lot 32 to mitigate the visual impact of bulk and flatness
- Evaluate the building height of the proposed home on Lot 33

The applicant has provided revised development proposals for Lots 32-34 (Attachments B, C, and D) and additional documentation (Attachments A and E) to address comments provided by the Commission. The following documents and development changes include:

- Comprehensive landscape plan for Lots 32-34
- Photomontage taken from the bike path looking east and west of the structures
- Renderings of the structures from Warm Springs Road
- Lot 32:
 - o Addition of a gable end to the north elevation of the roof facing Warm Springs Road
 - o Relocated rear fence to the south of the public utility easement and made the fence location consistent throughout the plan set
 - o Specified Mugo Pine and Subalpine Fir pine trees on the plant legend
 - o Added lilac shrubs to the rear of lot
- Lot 33:
 - o Building height reduced by 1'-6" (new maximum building height of 33'-2")
 - o Elevator shaft height reduced by 2'-2"
 - o Chimney height reduced by 2'
 - o Gravel ballast added to membrane roof
 - o Exterior siding color has been changed to a darker natural wood tone
 - o Relocated rear fence to the south of the public utility easement and made the fence location consistent throughout the plan set
 - o Specified Mugo Pine and Subalpine Fir pine trees on the plant legend
 - o Added lilac shrubs to the rear of lot
- Lot 34:
 - o Gravel ballast added to membrane roof
 - o Relocated rear fence to the south of the public utility easement and made the fence location consistent throughout the plan set
 - o Specified Mugo Pine and Subalpine Fir pine trees on the plant legend
 - o Added lilac shrubs to the rear of lot

Staff believes the applicant has adequately addressed the Commission's concerns and requests for clarifications in the revised plan sets and recommends approval of the Design Review applications.

II. BACKGROUND:

The Planning and Building Department received the Design Review applications on March 28, 2023. Following the receipt of the applications, staff routed the application materials to all City departments for review. The applications were reviewed concurrently, and the applications were deemed complete on July 28, 2023, after two rounds of review. The Planning and Zoning Commission conducted a public hearing and reviewed the Design Review applications for the proposed homes on Lots 32-35 during their regular meeting on September 12, 2023, and moved to continue the Design Review applications for the proposed residences on Lots 32-34.

III. CONFORMANCE WITH ZONING AND DESIGN REVIEW STANDARDS:

Prior to granting Design Review approval, the Commission must determine that the application meets two criteria: (1) the project doesn't jeopardize the health, safety, or welfare of the public, and (2) the project conforms to all Design Review standards and zoning regulations (KMC §17.96.050.A).

Criteria #1: Health, Safety, and Welfare of the Public

For a full review of Criteria #1, please see the staff report from the September 12 meeting, included as Attachment I. The Comprehensive Plan reads strongly about the protection and enhancement of mountain views and natural features. During the September 12th meeting, the Commission expressed concerns regarding the visual impact to the view corridor from Warm Springs Road due to the height of the structure on Lot 33. The revised plans indicate that the building height has been reduced by 1'-6" for a new maximum building height of 33'-2". The new building height projects just 6'-2" above the elevation of Warm Springs Road. Also, the height of the elevator shaft has been reduced by 2'-2" and the height of the chimney has been reduced by 2'. A new rendering of the structure on Lot 33, as shown in Figure 1 below, indicates how the structure on Lot 33 will be perceived from neighboring properties across Warm Springs Road and depicts a person for scale (indicated by a red star). Upon review of the rendering below, staff believes that the visual impact on Bald Mountain Road for neighboring properties will be minimal.

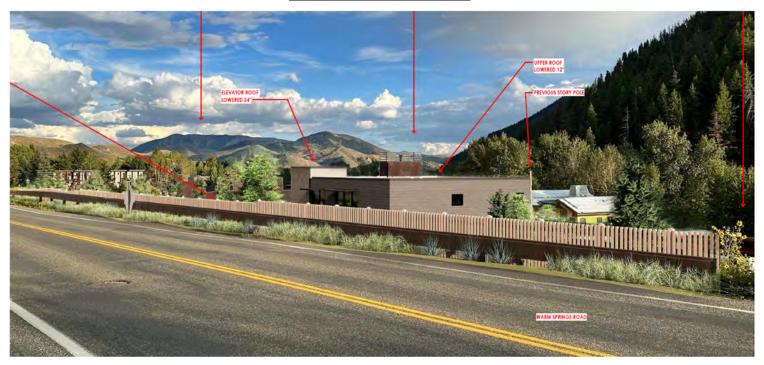
Figure 1: Rendering of Lot 33 Structure Across Warm Springs Road



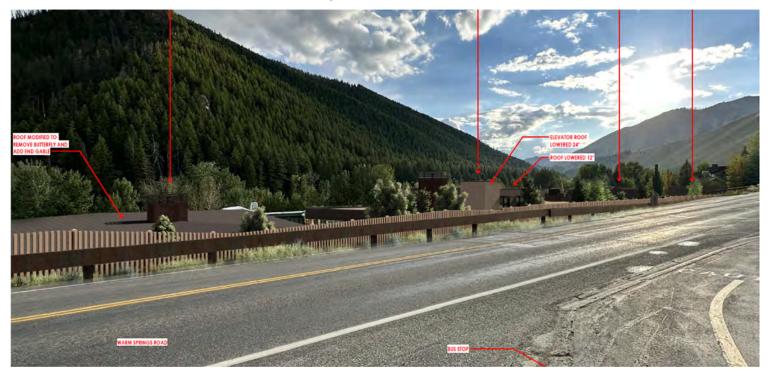
All four residences propose roof appurtenances which extend above the roof ridges; however, staff believes the proposed building heights on Lots 32-34 are reasonable because the visual impact on the Warm Springs Road view corridor is minimal. The structures' heights are well below the existing one-and two-story structures along Warm Springs Road to the east and west of the Warm Springs Ranch Residences Subdivision. The applicant included a photomontage looking east and west from the bike path within their resubmittal package. As shown in Figure 2 below, the photomontage provides a realistic representation of the minimal visual impact the structures will have on the view of Bald Mountain.

Figure 2: Photomontage of Lots 32-35 Looking East and West From Bike Path

Looking East From Bike Path



Looking West From Bike Path



The Commission also expressed concerns related to the height of the landscaping on the rear of Lots 32-34 impacting the view from Warm Springs Road. The Commission requested that the applicant specify the type of pine tree proposed and provide a comprehensive landscape plan for Lots 32-34. The revised landscape plan plant legends indicate that the proposed pine trees are Mugo Pine and

Subalpine Fir. The plan sets indicate that Mugo Pine trees (12'-16' in size) and Ginnala Maple trees (6' in size) will be planted in the rear yards, which slope downhill from Warm Springs Road. The landscaping is sited approximately 4'-8' feet lower than the elevation of Warm Springs Road. By planting these trees down the hillside, only the tops of the tree crowns will be seen from Warm Springs Road and neighboring properties. The full extent of the height of the trees at their maturity will not be visible from their lower elevation. The applicant also provided a comprehensive landscaping plan, which includes cross sections for Lots 32-34 to compare the proposed trees in relation to the new residences from the elevation of Warm Springs Road (please see Figure 3 below for details). Staff does not believe that the landscaping will have a significant impact on the view corridor from Warm Springs Road.

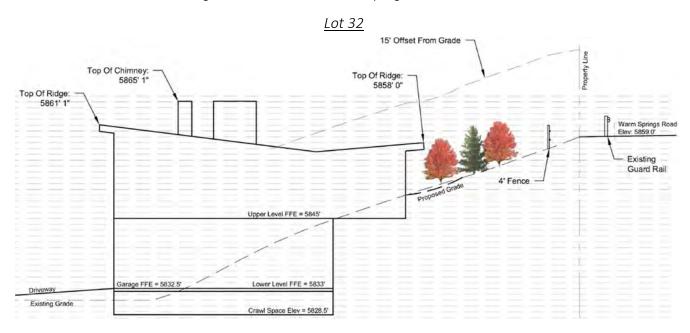
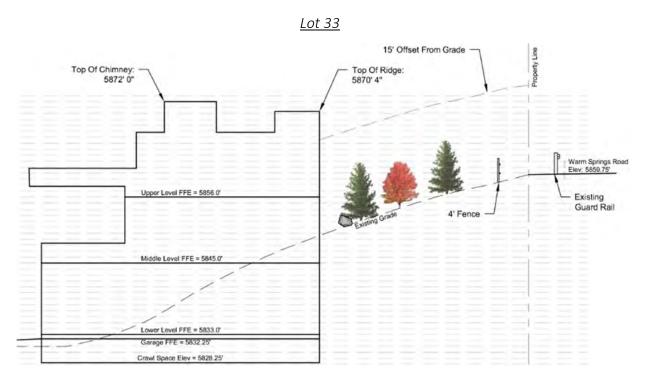
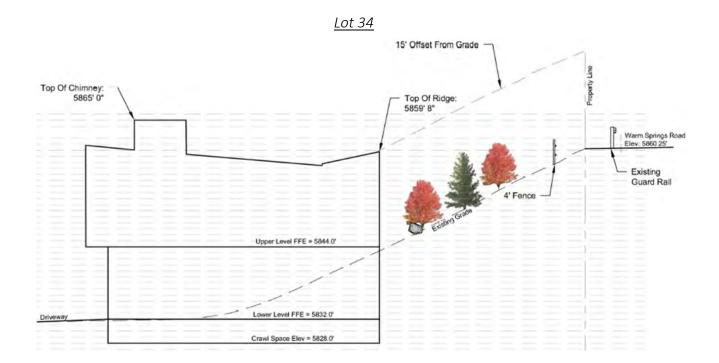


Figure 3: Lots 32-34 Landscaping Cross Section



Lots 32-34, Block 4, Warm Springs Ranch Residences – Design Review Planning & Zoning Commission Meeting of October 10, 2023



Upon review of the resubmittal package, staff believes that the goals and policies of the comprehensive plan related to the protection of mountain views and scenic areas are met with the project.

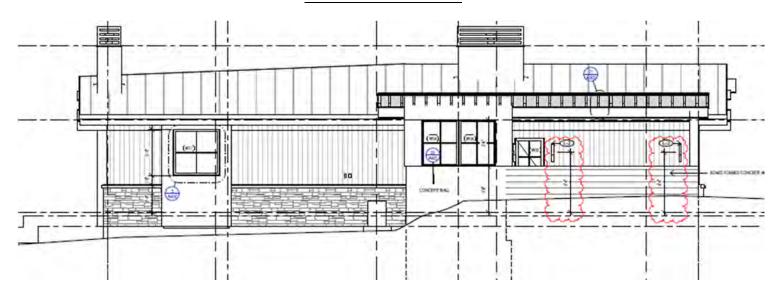
Criteria #2: Applicable Standards and Criteria

Conformance with Design Review Improvements and Standards

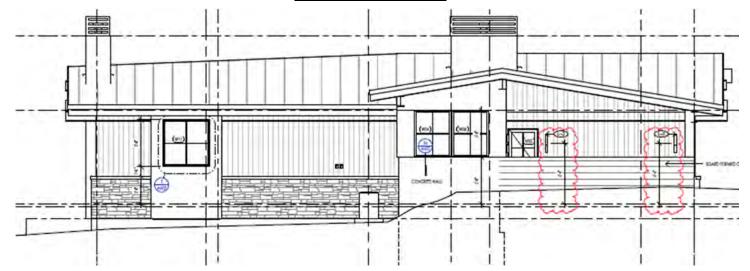
Due to the structures being situated at a lower elevation on Bald Mountain Road, all the roofs will be slightly visible along the Warm Springs Road view corridor. The Commission voiced concerns regarding the roof materials for Lots 32-34 and the appearance of bulk and flatness of the roof for the proposed residence on Lot 32. The Commission requested that for Lots 33 and 34 the roof material be verified and for Lot 32 verify that the roof material is nonreflective and to analyze the roof design. The revised plan set indicates that gravel ballast was added over the membrane roof for Lots 33 and 34. This was added in an effort to soften their visual appearance from Warm Springs Road. Also, the revised plan set for Lot 32 indicates that the roof material is a standing seam metal with a dark bronze color. As stated by the applicant in their response narrative, "This is a low reflectance color based on MBCI roofing color charts." Additionally, on the north elevation of Lot 32, the roof was modified to remove the butterfly and add a gable end to reduce the appearance of the roof's bulk and flatness from Warm Springs Road. Please see Figure 4 below for a comparison of the architectural plan's previous and revised illustration of the rear roof from the north elevation.

Figure 4: Lot 32 North Elevation Roof Comparison

Previous North Elevation



Revised North Elevation



Staff believes that the north elevation gable end reduces the roof's appearance of bulk and flatness on Lot 32 and that the addition of gravel ballast added to the roofs of Lots 33 and 34 softens their visual appearance. The project remains in conformance with all other Design Review improvements and standards requirements.

Conformance with Zoning Regulations

The initial plan sets for Lots 32-34 indicated that the 4' fence along the rear of the lots was on top of the public utility easement and that the locations of the fence shown on the plans were inconsistent. In the staff report from the September 12 meeting, staff recommended a condition of approval that stated all plan sets shall be revised to relocate the fence to the south of the public utility easement in a consistent location prior to building permit application. The applicant has revised all plan sets to show that the fence is located to the south of the public utility easement and is setback 5'-2" from the rear

property line. Therefore, staff no longer recommend the condition of approval related to the fence. The project remains in conformance with all other zoning regulations, including dimensional standards.

STAFF RECOMMENDATION

Staff recommends **approval** of the Design Review applications (File No. P23-017, P23-018, and P23-019) subject to the following conditions:

- 1. This Design Review approval is based on the project plans for Lots 32-34 presented at the October 10, 2023, Planning and Zoning Commission meeting. The project plans for all on-site improvements submitted for the building permits must conform to the approved design review plans unless otherwise approved in writing by the Planning and Zoning Commission or Administrator. Any building or site discrepancies which do not conform to the approved plans will be subject to review by the Commission and/or removal.
- 2. The applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho which include specifications for right-of-way, circulation design, utilities, and drainage improvements for review and approval by the City Engineer, Streets, and Utilities departments prior to issuance of a building permit for the project.
- 3. The term of Design Review approval shall be twelve (12) months from the date that the Findings of Fact, Conclusions of Law, and Decision are adopted by the Commission or upon appeal, the date the approval is granted by the Council subject to changes in zoning regulations.
- 4. In addition to the requirements set forth in this Design Review approval, this project shall comply with all applicable local, state, and federal laws.
- 5. Any damage to the right-of-way, including sidewalks, must be reconstructed to City standards at the owner's expense prior to issuance of Certificate of Occupancy.

IV. RECOMMENDED MOTIONS

Design Review:

"I move to approve the Lots 32-34, Block 4, Warm Springs Ranch Residences Design Review applications, as conditioned, and adopt the Findings of Fact, Conclusions of Law and Decision."

ATTACHMENTS:

- A. Design Review Applications for Lots 32-34 and Supplemental Documents
- B. Lot 32 Plan Set
- C. Lot 33 Plan Set
- D. Lot 34 Plan Set
- E. Lots 32-34 Renderings, Photomontage, and Comprehensive Landscaping Plan
- F. Design Review Standards Analysis
- G. Zoning and Dimensional Standards Analysis
- H. Warm Springs Ranch Subdivision Development Agreement
- I. Staff Report September 12, 2023
- J. Lot 32 Draft Findings of Fact, Conclusions of Law and Decision
- K. Lot 33 Draft Findings of Fact, Conclusions of Law and Decision
- L. Lot 34 Draft Findings of Fact, Conclusions of Law and Decision