



**CITY OF KETCHUM**

Planning & Building

office: 208.726.7801

planningandbuilding@ketchumidaho.org

P.O. Box 2315, 191 5th Street West, Ketchum, ID 83340

ketchumidaho.org

**STAFF REPORT  
KETCHUM PLANNING AND ZONING COMMISSION  
REGULAR MEETING OF APRIL 9, 2024**

**PROJECT:** Warm Springs Ranch Residences Lot 33

**FILE NUMBER:** P23-018

**APPLICATION TYPE:** Design Review

**REPRESENTATIVE:** John Shirley – Think Architecture (architect)

**PROPERTY OWNER:** Brennan Holdings No. 300 LLC

**REQUEST:** Design Review application for the development of a new single-family residence.

**LOCATION:** 170 Bald Mountain Road (Lot 33, Block 4, Warm Springs Ranch Residences)

**ZONING:** General Residential – Low Density (GR-L)

**OVERLAY:** None

**REVIEWER:** Paige Nied – Associate Planner

**NOTICE:** A public hearing notice for the project was mailed to all owners of property within 300 feet of the project site and all political subdivisions on March 20, 2024. The public hearing notice was published in the Idaho Mountain Express on March 20, 2024. A notice was posted on the project site and the City’s website on April 2, 2024. Story poles were documented on the project site as of April 2, 2024.

**I. EXECUTIVE SUMMARY:**

The initial design review application included four applications for single family residences on Lots 32-35 of the Warm Springs Ranch Residences Subdivision. Pursuant to Ketchum Municipal Code (KMC) §17.96.010.B.1, single family residences (that are not within the Mountain Overlay Zone District) are exempt from design review. However, the Warm Springs Ranch Residences Subdivision, which was platted in 2021, includes plat note #22 which states, “Development on Lots 32, 33, 34, and 35 shall be subject to the standards of Ketchum Municipal Code, Chapter 17.96, Design Review.” This plat note was added to ensure that the development of Lots 32-35 has a minimal visual impact to the Warm Springs Road view corridor. The Planning and Zoning Commission reviewed the proposed developments on Lots 32-35 for the first time during their regular meeting on September 12<sup>th</sup>, 2023 (see Attachment G for the staff report). The Commission and the public expressed concerns regarding visual impact to the Warm Springs Road view corridor from the height of the residence on Lot 33 and

the height of the landscaping on Lots 32-34. The Commission approved the design review application for Lot 35 only and moved to continue the design review applications for Lots 32-34.

The Commission reviewed the development proposals for Lots 32-34 for the second time during their regular meeting on October 10, 2023 (see Attachment H for the staff report). At the October 10<sup>th</sup> meeting, the public reiterated their concern from the first meeting regarding the building height of the structure on Lot 33 impacting the view corridor. Additionally, concerns were raised about the boxy design and lack of visual interest of the structure on Lot 33 from Warm Springs Road. The Commission felt that the height of the proposed landscaping was adequately addressed and was appreciative of the reduction in height of the structure on Lot 33. However, they remained of the opinion that its height continued to impact the Warm Springs Road view corridor. The Commission also concurred with the public's concerns regarding the design's massing and lack of visual relief on the rear of the structure.

Upon review of the application materials, staff and applicant presentation, and public comment, the Commission approved the Design Review applications for Lots 32 and 34. The Commission moved to continue the Design Review application for Lot 33 and requested the applicant provide the following information:

- Reduce the building height to mitigate the visual impact along the Warm Springs view corridor.
- Analyze the design to provide relief of bulk and flatness on the rear of the structure along Warm Springs Road.

The applicant has provided two redesigned development proposals for the Commission's consideration (Attachments B and C), along with supplemental documentation to address comments provided by the Commission (Attachment A). The development proposals herein are referred to as "Redesign #1" and "Redesign #2". Redesign #1 addresses the concerns regarding height and massing raised by the public and the Commission at the previous meeting. The second design option, Redesign #2, addresses the comments related to visual interest as it features a more traditional design, albeit with a slightly taller building height. The revised development proposals include the following changes:

#### Redesign #1

- Retains flat roofs
- Massing reduced from 3 stories to 2
- Building height reduced by 3'-8" (new maximum building height of 29'-0 ½")
- Chimney height reduced by 4'
- Elevator (and elevator shaft) removed
- Roof parapet is a maximum of 2' above Warm Springs Road curb
- Exterior materials revised to an over grouted natural stone and natural wood in a horizontal lap

#### Redesign #2

- Features traditional 6:12 pitched roofs with minor flat roof accent areas
- Massing reduced from 3 stories to 2
- Building height reduced by ~1'-4" (new maximum building height of 31'-10 169/256")
- Chimney height reduced by 4'
- Elevator (and elevator shaft) removed
- Roof parapet is a maximum of 5' above Warm Springs Road curb
- Exterior materials revised to an over grouted natural stone and natural wood in a horizontal lap

By providing two design options, the Commission has the opportunity to select a design that minimizes visual impact while maximizing architectural interest. Staff believes that both redesigns address the Commission’s concerns and requests for revisions in different ways. Redesign #1 addresses the comment related to height and visibility from Warm Springs Road. However, Redesign #2 provides a more visually interesting architectural design. Therefore, staff recommends the Commission select a design option that best addresses their concerns and approve the Design Review application with conditions.

**II. BACKGROUND:**

The Planning and Building Department received the Design Review application on March 28, 2023. Following the receipt of the application, staff routed the project plans to all City departments for review. The application was deemed complete on July 28, 2023, after two rounds of review. The Planning and Zoning Commission conducted a public hearing and reviewed the Design Review application for the proposed residence during their regular meetings on September 12, 2023, and October 10, 2023, and moved to continue the Design Review application for Lot 33. Since the hearing, staff have continued to work with the applicant to revise the development proposal.

**III. CONFORMANCE WITH ZONING AND DESIGN REVIEW STANDARDS:**

Prior to granting Design Review approval, the Commission must determine that the application meets two criteria: (1) the project doesn’t jeopardize the health, safety, or welfare of the public, and (2) the project conforms to all Design Review standards and zoning regulations (KMC §17.96.050.A).

***Criteria #1: Health, Safety, and Welfare of the Public***

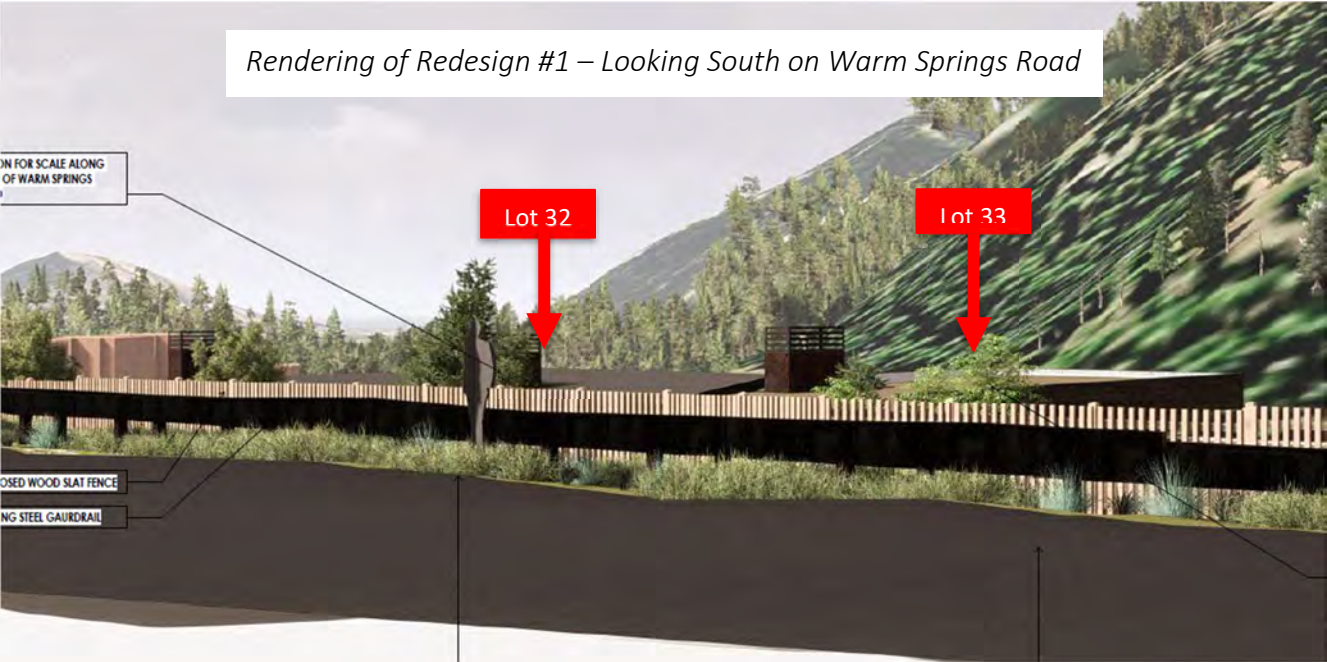
For a full review of Criteria #1, please see the staff report from the September 12<sup>th</sup> meeting, included as Attachment G. The Comprehensive Plan reads strongly about the protection and enhancement of mountain views and natural features. During the October 10<sup>th</sup> meeting, the Commission expressed concerns regarding the visual impact to the Warm Springs Road view corridor due to the height of the structure on Lot 33. The previous design for Lot 33 was a three story building with an overall height of 33’-2”. Both redesigns reduce the building from three stories to two with slightly different overall heights and roof designs. The plans for Redesign #1 indicate that the building height has been reduced by 3’-8” for a new maximum building height of 29’-0 ½”. The building height in Redesign #2 has been reduced by approximately ~1’-4” for a new maximum building height of 31’-10 169/256”.

By removing the third story and maintaining a flat roof, the upper roof parapet for Redesign #1 projects 2’ above the elevation of Warm Springs Road. For Redesign #2, the main roof gable projects 5’ above the elevation of Warm Springs Road and projects 3’-4” at the lower gable ridge line. Despite both redesigns projecting to some degree above Warm Springs Road, the visual impact of the structure will be mitigated in both designs by the existing 2’ guardrail along Warm Springs Road and the proposed 4’ fence to the rear of the structure. For comparison, the structures on Lots 32, 34, and 35 adjacent to the development, were approved at the previous meetings with the following height projections above the curb on Warm Springs Road:

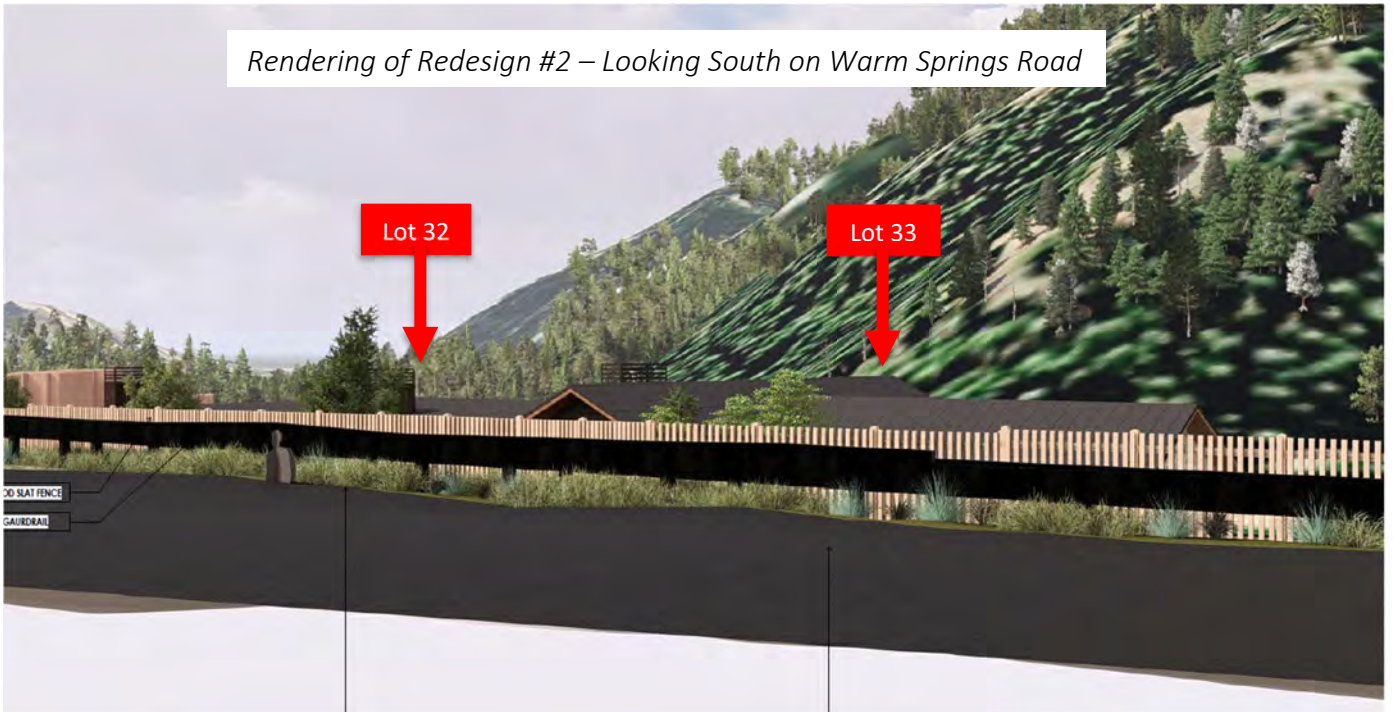
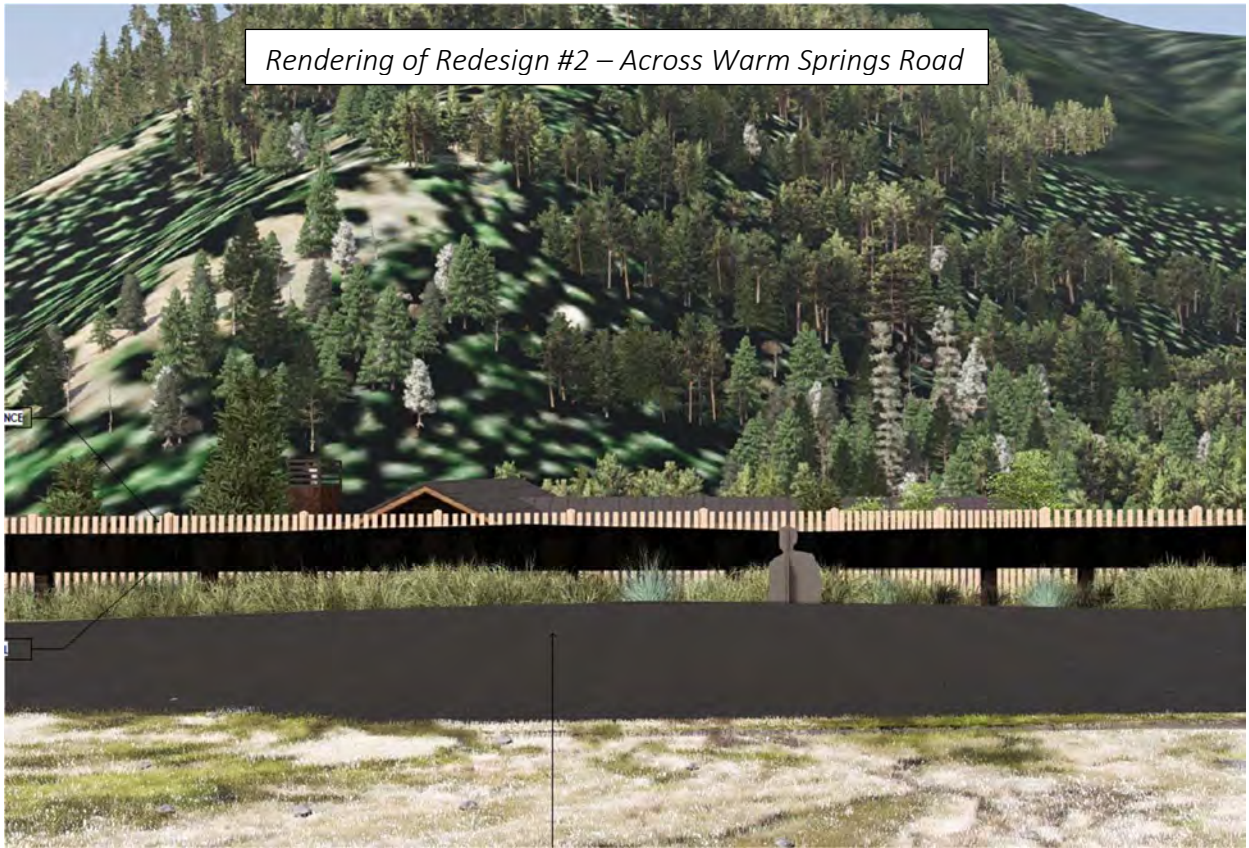
Lot #	Height Above Warm Springs Road Curb
32	1’-1”
34	1’
35	5’-8”

New renderings of Redesign #1 and #2 of Lot 33, as shown in Figures 1 and 2 below, indicate how the structure will be perceived from neighboring properties across the street as well as looking south on Warm Springs Road. Upon review of the renderings below, staff believes that the visual impact of both designs on Bald Mountain for neighboring properties and looking south will be minimal.

Figure 1



*Figure 2:*



The height of the roof appurtenances which extend above the roof ridges was also a point of concern and discussion during the previous meetings with the Commission. In conjunction with the reduction in massing and building height, the chimney has also been reduced in height by 4' on both redesigns. The chimney on Redesign #1 is 4'-0 1/2" above the roof ridge and the chimney on Redesign #2 is 1'-3" above the roof ridge. In addition, both redesigns indicate that the elevator has been removed. Therefore, there is no longer an elevator shaft which extends above the roof ridge on either design.

Upon review of the redesigned project plans, staff believes that the goals and policies of the comprehensive plan related to the protection of mountain views and scenic areas are met in both redesigns of the project.

**Criteria #2: Applicable Standards and Criteria**

Conformance with Design Review Improvements and Standards

In addition to building height concerns, the public and Commission expressed concerns regarding the appearance of bulk and flatness of the rear of the structure from the Warm Springs Road vantage point. As previously stated, both redesigns have removed the third story, which has significantly diminished the structure's perceived bulk. In addition, Redesign #2 features pitched roofs to mitigate the appearance of flatness and create more visual interest. This design choice stemmed from the Commission's unanimous support of the more traditional design with pitched roofs on Lot 35. The pitched roof in Redesign #2 will also break up the roof lines of the structures on Lots 32-35 as perceived from Warm Springs Road. This variation in roof design will mitigate a uniform appearance, as well as contribute to increased visual interest.

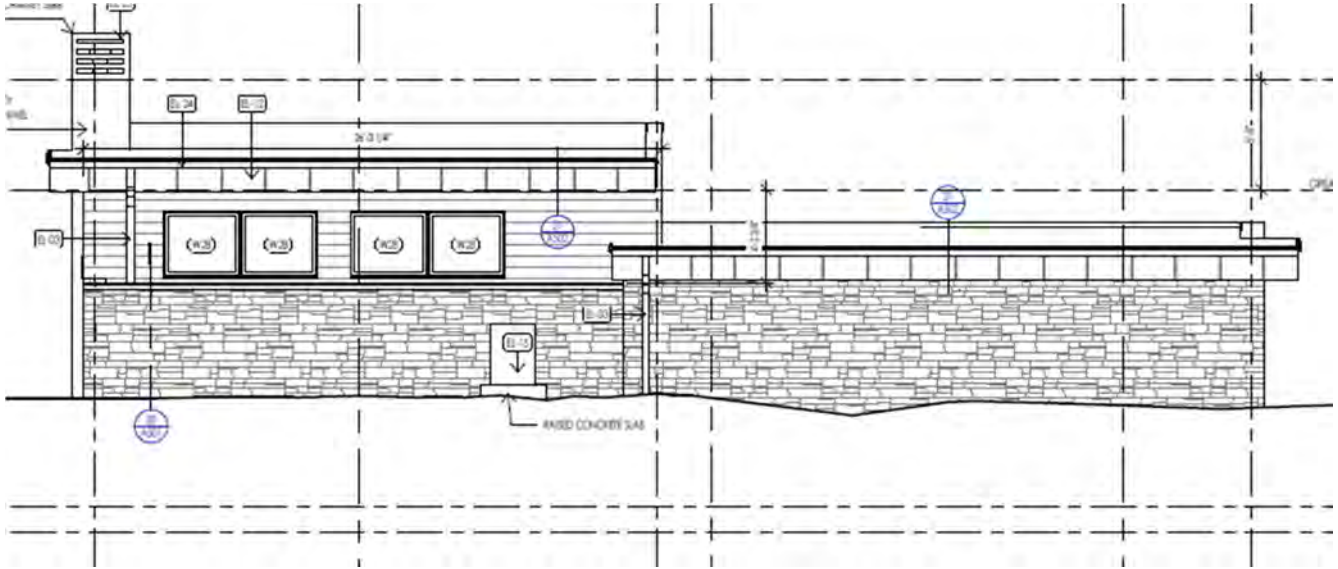
The comparison provided in Figure 3 below illustrates the improvements made to the rear of the structure in the redesigns from the previous iteration.

*Figure 3: Lot 33 Structure Rear Comparison*

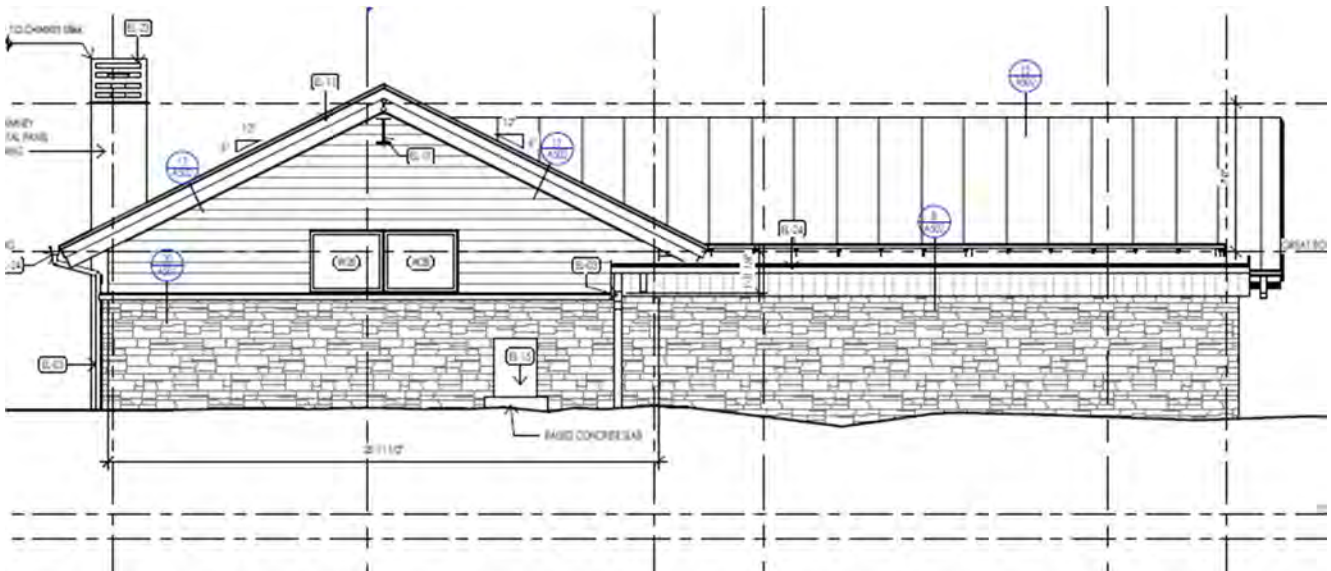
Previous Design – Rear of the Structure



Redesign #1 – Rear of the Structure



Redesign #2 – Rear of the Structure



Staff believes that both redesigns reduce the perceived bulk and flatness of the structure and have distinct architectural features that enhance the visual interest from the Warm Springs Road vantage point. The project remains in conformance with all other Design Review improvements and standards requirements.

Conformance with Zoning Regulations

The project plans for Redesigns #1 and #2 remain in conformance with all zoning regulations, including dimensional standards.

## STAFF RECOMMENDATION

Staff recommends **approval** of the Design Review application (File No. P23-018) subject to the following conditions:

1. This Design Review approval is based on the Redesign #\_\_ project plans for Lot 33 presented at the April 9, 2024, Planning and Zoning Commission meeting. The project plans for all on-site improvements submitted for the building permits must conform to the approved design review plans unless otherwise approved in writing by the Planning and Zoning Commission or Administrator. Any building or site discrepancies which do not conform to the approved plans will be subject to review by the Commission and/or removal.
2. The applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho which include specifications for right-of-way, circulation design, utilities, and drainage improvements for review and approval by the City Engineer, Streets, and Utilities departments prior to issuance of a building permit for the project.
3. The term of Design Review approval shall be twelve (12) months from the date that the Findings of Fact, Conclusions of Law, and Decision are adopted by the Commission or upon appeal, the date the approval is granted by the Council subject to changes in zoning regulations.
4. In addition to the requirements set forth in this Design Review approval, this project shall comply with all applicable local, state, and federal laws.
5. Any damage to the right-of-way, including sidewalks, must be reconstructed to City standards at the owner's expense prior to issuance of Certificate of Occupancy.

## IV. RECOMMENDED MOTIONS

"I move to approve Redesign #1 of the Lot 33, Block 4, Warm Springs Ranch Residences Design Review application, as conditioned, and direct staff to return with the Findings of Fact."

or

"I move to approve Redesign #2 of the Lot 33, Block 4, Warm Springs Ranch Residences Design Review application, as conditioned, and direct staff to return with the Findings of Fact."

## ATTACHMENTS:

- A. Design Review Application and Supplemental Documents
- B. Lot 33 Plan Set – Redesign #1
- C. Lot 33 Plan Set – Redesign #2
- D. Design Review Standards Analysis
- E. Zoning and Dimensional Standards Analysis
- F. Warm Springs Ranch Subdivision Development Agreement
- G. Staff Report – September 12, 2023 Planning and Zoning Meeting
- H. Staff Report – October 10, 2023 Planning and Zoning Meeting





City of Ketchum

# Attachment A: Design Review Application and Supplemental Documents



**City of Ketchum  
Planning & Building**

OFFICIAL USE ONLY	
File Number:	P23-018
Date Received:	3/28/23
By:	HLN
Pre-Application Fee Paid:	
Design Review Fee Paid:	\$1400
Approved Date:	
Denied Date:	
By:	
ADRE: Yes	<input type="checkbox"/> No <input type="checkbox"/>

**Design Review Application**

APPLICANT INFORMATION				
Project Name: Warm springs Lot 33		Phone: 208.1875		
Owner: WSR Development LLC		Mailing Address: PO Box 284 sun Valley, Idaho 83353		
Email: robert@vpcompanies.com				
Architect/Representative: Think Architecture, John Shirley		Phone: 801.269.0055		
Email: jmshirley@thinkaec.com		Mailing Address: 7927 S. High Point Pkwy, Ste 300 Salt Lake City, UT 84094		
Architect License Number: #6247466-0301				
Engineer of Record: Benchmark Associates		Phone: 208-726-9512		
Email: rob@bma5b.com		Mailing Address: 100 Bell Dr, Ketchum, ID 83340		
Engineer License Number:				
<i>All design review plans and drawings for public commercial projects, residential buildings containing more than four (4) dwelling units and development projects containing more than four (4) dwelling units shall be prepared by an Idaho licensed architect or an Idaho licensed engineer.</i>				
PROJECT INFORMATION				
Legal Land Description: Warm springs Residences Block 4, Lot 33 - RPK05790040330				
Street Address: 170 Bald Mountain Road				
Lot Area (Square Feet): 8,429 sq. ft.				
Zoning District: GR-L				
Overlay District: <input type="checkbox"/> Floodplain <input type="checkbox"/> Avalanche <input type="checkbox"/> Mountain				
Type of Construction: <input checked="" type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Remodel <input type="checkbox"/> Other				
Anticipated Use: Single Family Residence		Number of Residential Units: 1		
TOTAL FLOOR AREA				
	Proposed		Existing	
Basements	1,811	Sq. Ft.	0	Sq. Ft.
1 <sup>st</sup> Floor	1,514	Sq. Ft.		Sq. Ft.
2 <sup>nd</sup> Floor	663	Sq. Ft.		Sq. Ft.
3 <sup>rd</sup> Floor		Sq. Ft.		Sq. Ft.
Mezzanine		Sq. Ft.		Sq. Ft.
Total	3,988	Sq. Ft.		Sq. Ft.
FLOOR AREA RATIO				
Community Core:		Tourist:	General Residential-High:	
BUILDING COVERAGE/OPEN SPACE				
Percent of Building Coverage: 35% or 2,950 sq. ft. allowed, 2,060 proposed or 24.4% proposed				
DIMENSIONAL STANDARDS/PROPOSED SETBACKS				
Front: 15'-0"	Side: 10'-0"	Side: 10'-0"	Rear: 30'-0"	
Building Height: 35'-0" allowed: 34'-7" Proposed				
OFF STREET PARKING				
Parking Spaces Provided: (2) garage spaces. (2) driveway stalls				
Curb Cut: 20'-0"	Sq. Ft.	931 sq. ft.	%	
WATER SYSTEM				
<input checked="" type="checkbox"/> Municipal Service		<input type="checkbox"/> Ketchum Spring Water		

The Applicant agrees in the event of a dispute concerning the interpretation or enforcement of the Design Review Application in which the city of Ketchum is the prevailing party, to pay the reasonable attorney fees, including attorney fees on appeal and expenses of the city of Ketchum. I, the undersigned, certify that all information submitted with and upon this application form is true and accurate to the best of my knowledge and belief.



2023.03.01

Signature of Owner/Representative

Date

Once your application has been received, we will review it and contact you with next steps.  
No further action is required at this time.

## DESIGN REVIEW EVALUATION STANDARDS

(May not apply to Administrative Design Review):

### 17.96.060: IMPROVEMENTS AND STANDARDS FOR ALL PROJECTS

#### A. Streets:

1. The applicant shall be responsible for all costs associated with providing a connection from an existing city streets to their development.
2. All streets designs shall be in conformance with the right-of-way standards and approved by the Public Works Director.

#### B. Sidewalks:

1. All projects under 17.96.010(A) that qualify as a "Substantial Improvement" shall install sidewalks in conformance with the right-of-way standards. Sidewalk improvements may be waived for projects that qualify as a "Substantial Improvement" which comprise additions of less than 250 square feet of conditioned space.
2. The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.
3. New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.
4. The city may approve and accept voluntary cash contributions in-lieu of the above described improvements, which contributions must be segregated by the city and not used for any purpose other than the provision of these improvements. The contribution amount shall be one hundred ten percent (110%) of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the Public Works Director. Any approved in-lieu contribution shall be paid before the city issues a certificate of occupancy.

#### C. Drainage:

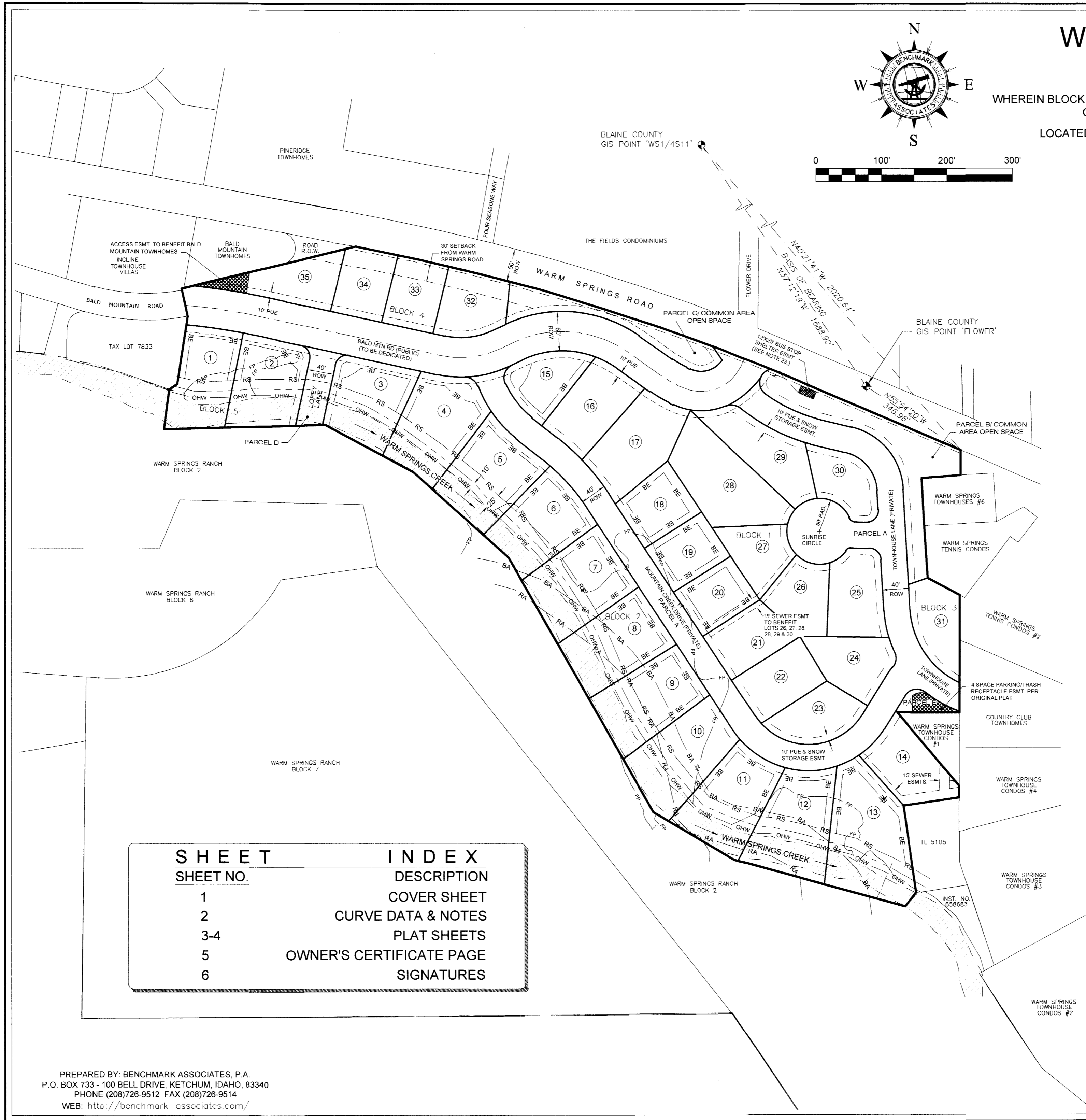
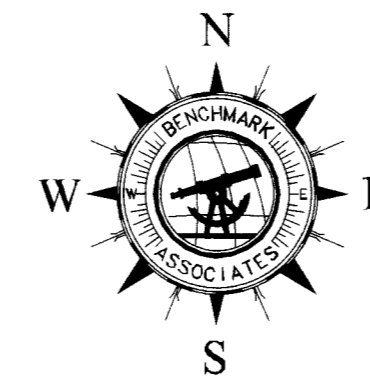
1. All storm water shall be retained on site.
2. Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.
3. The Public Works Director may require additional drainage improvements as necessary, depending on the unique characteristics of a site.

# WARM SPRINGS RANCH RESIDENCES

WHEREIN BLOCK 1, WARM SPRINGS RANCH LARGE BLOCK PLAT IS SUBDIVIDED,  
CREATING LOTS 1-35 & PARCELS A, B, C, D & E.

LOCATED WITHIN: SECTION 12, TOWNSHIP 4 NORTH, RANGE 17 EAST  
CITY OF KETCHUM, BLAINE COUNTY, IDAHO

OCTOBER 2021



## SURVEYOR'S NARRATIVE

1. THE PURPOSE OF THIS PLAT IS TO SUBDIVIDE BLOCK 1 OF WARM SPRINGS RANCH LARGE BLOCK PLAT, CREATING 35 LOTS & FIVE PARCELS. FOUND MONUMENTS WERE ACCEPTED AS EITHER ORIGINAL OR REPLACEMENTS OF ORIGINAL CORNERS. SET MONUMENT LOCATIONS WERE ESTABLISHED USING PROPORTIONED DISTANCES AND BEARINGS ADJUSTED TO BLAINE COUNTY GIS.

2. DOCUMENTS USED IN THE COURSE OF THIS SURVEY:

- A. FINAL PLAT OF "WARM SPRINGS RANCH RESORT PUD, INST. NO. 576508.
- B. FINAL PLAT OF WARM SPRINGS RANCH LARGE BLOCK PLAT, INST. NO. ~~618098~~

## LEGEND

	BLOCK BOUNDARY
	LOT/PARCEL BOUNDARY
	ADJOINING PROPERTY LINES
	BUILDING ENVELOPE
	CENTERLINE ROAD R.O.W.
	EASEMENT LINE - TYPE & WIDTH AS SHOWN
	10' PUE & SNOW STORAGE ESMT.
	1% ANNUAL CHANCE FLOOD LINE - PER FEMA 2010
	ORDINARY HIGH WATER (SEE NOTE 11)
	25' RIPARIAN SETBACK & SCENIC ESMT. (SEE NOTES 13 & 14)
	10' FISHERMAN'S & NATURE STUDY ESMT. (SEE NOTE 12)
	BLUE AVALANCHE LINE (SEE NOTE 10)
	RED AVALANCHE LINE (SEE NOTE 10)
	WARM SPRINGS CREEK
	LOT NUMBERS
	FOUND BRASS CAP

## HEALTH CERTIFICATE

Sanitary restrictions as required by Idaho Code Title 50, Chapter 13, have been satisfied. Sanitary restrictions may be reimposed, in accordance with Idaho Code Title 50, Chapter 13, Section 50-1326, by the issuance of a certificate of disapproval.

Dated: 11/01/2021

South Central Public Health District, REHS



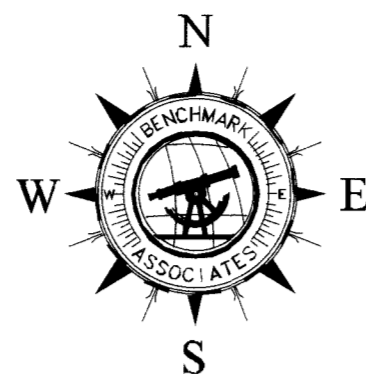
SHEET NO.	DESCRIPTION
1	COVER SHEET
2	CURVE DATA & NOTES
3-4	PLAT SHEETS
5	OWNER'S CERTIFICATE PAGE
6	SIGNATURES

PREPARED BY: BENCHMARK ASSOCIATES, P.A.  
P.O. BOX 733 - 100 BELL DRIVE, KETCHUM, IDAHO, 83340  
PHONE (208)726-9512 FAX (208)726-9514  
WEB: <http://benchmark-associates.com/>

<b>WARM SPRINGS RANCH RESIDENCES</b>		
LOCATED WITHIN SECTION 12, TOWNSHIP 4 NORTH, RANGE 17 EAST, B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO		
PREPARED FOR: BRENNAN HOLDINGS		
PROJECT NO. 20071	DWG BY: ROB/CPL	20071 BLOCK1-FINAL.DWG
FINAL PLAT	DATE: 10-29-2021	SHEET: 1 OF 6



# WARM SPRINGS RANCH RESIDENCES OCTOBER 2021



ACCESS EASEMENT TO  
BENEFIT BALD MOUNTAIN  
TOWNHOMES, GRANTED  
HEREON, DIMENSIONS IN  
PARENTHESES

INCLINE  
TOWNHOUSE  
VILLAS

BALD  
MOUNTAIN  
TOWNHOMES

ROAD  
R.O.W.

30' SETBACK  
FROM WARM  
SPRINGS ROAD

BALD MTN. ROAD

PARCEL A

LOT 15

DETAIL "B"  
NTS

FLOWER DRIVE

WARM SPRINGS ROAD

PARCEL C/ COMMON AREA  
OPEN SPACE

FD MAG NAIL  
W/BRASS TAG  
LS #9561

12' X 25' BUS STOP  
SHELTER ESMT.  
(PARALLEL TO R.)

ENCROACHMENT  
SEE DETAIL "A",  
SHEET 4

NO CAP

10' PUE

BALD MTN RD (PUBLIC)  
(TO BE DEDICATED)  
L30

L32 (SEE  
DETAIL "B")

5' PUE

LS #12723

S88°28'28"W 244.94'

PARCEL D

4802± SF  
0.11± AC

WARM SPRINGS RANCH  
BLOCK 2

WARM SPRINGS CREEK

N61°47'04"W 152.74'

LS #9561

53.54'

39.49'

N48°13'41"W 195.25'

104.57'

10' FISHERMAN'S &  
NATURE STUDY ESMT.

25' RIPARIAN SETBACK  
& SCENIC ESMT.

10' TYP. FRONT YARD

10' TYP. SIDE YARD

15' TYP. REAR YARD

15' TYP. REAR YARD

15' TYP. REAR YARD

15' TYP. REAR YARD

15' TYP. REAR YARD

15' TYP. REAR YARD

15' TYP. REAR YARD

15' TYP. REAR YARD

15' TYP. REAR YARD

15' TYP. REAR YARD

15' TYP. REAR YARD

15' TYP. REAR YARD

15' TYP. REAR YARD

15' TYP. REAR YARD

15' TYP. REAR YARD

15' TYP. REAR YARD

15' TYP. REAR YARD

15' TYP. REAR YARD

15' TYP. REAR YARD

15' TYP. REAR YARD

15' TYP. REAR YARD

15' TYP. REAR YARD

15' TYP. REAR YARD

15' TYP. REAR YARD

15' TYP. REAR YARD

15' TYP. REAR YARD

15' TYP. REAR YARD

15' TYP. REAR YARD

15' TYP. REAR YARD

15' TYP. REAR YARD

## LEGEND

	BLOCK BOUNDARY
	LOT/PARCEL BOUNDARY
	ADJOINING PROPERTY LINES
	BUILDING ENVELOPE
	CENTERLINE ROAD R.O.W.
	EASEMENT LINE - TYPE & WIDTH AS SHOWN
	10' PUE & SNOW STORAGE ESMT.
	1% ANNUAL CHANCE FLOOD LINE - PER FEMA 2010
	ORDINARY HIGH WATER (SEE NOTE 11)
	25' RIPARIAN SETBACK & SCENIC ESMT. (SEE NOTES 13 & 14)
	10' FISHERMAN'S & NATURE STUDY ESMT. (SEE NOTE 12)
	BLUE AVALANCHE LINE (SEE NOTE 10)
	RED AVALANCHE LINE (SEE NOTE 10)
	WARM SPRINGS CREEK
	LOT NUMBERS
	FOUND 1/2" REBAR
	FOUND 5/8" REBAR
	SET 1/2" REBAR, PLS #9561
	SET MAG NAIL W/BRASS CAP, PLS #9561
	SET 5/8" REBAR, PLS #9561
	FOUND ALUMINUM CAP
	FOUND BRASS CAP
	CALCULATED POINT - NO MONUMENT SET
	WITNESS CORNER
	W.C.

PREPARED BY: BENCHMARK ASSOCIATES, P.A.  
P.O. BOX 733 - 100 BELL DRIVE, KETCHUM, IDAHO, 83340  
PHONE (208)726-9512 FAX (208)726-9514  
WEB: <http://benchmark-associates.com/>



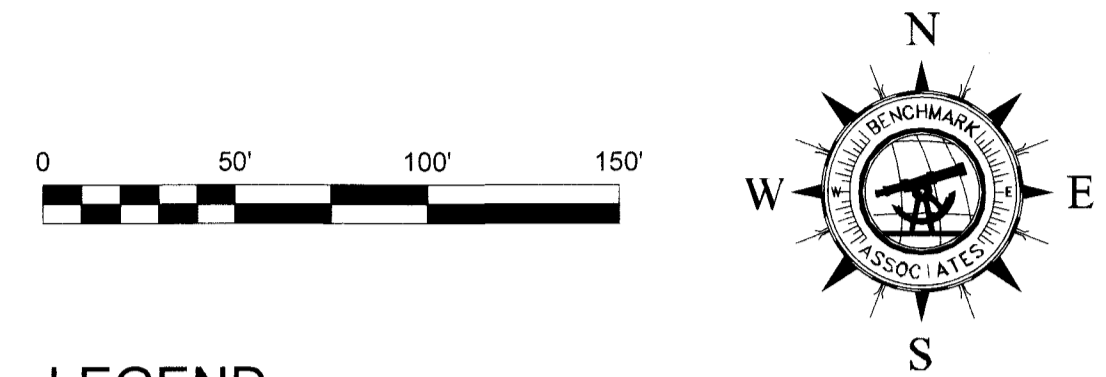
## WARM SPRINGS RANCH RESIDENCES

LOCATED WITHIN  
SECTION 12, TOWNSHIP 4 NORTH, RANGE 17 EAST, B.M.,  
CITY OF KETCHUM, BLAINE COUNTY, IDAHO

PREPARED FOR: BRENNAN HOLDINGS

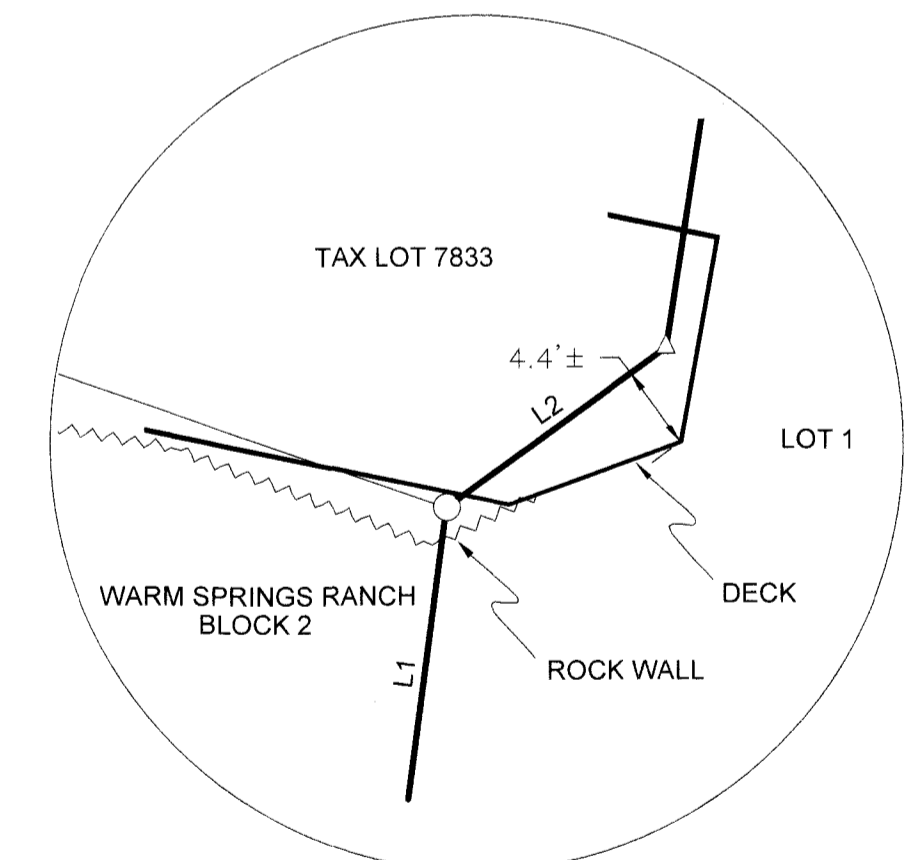
PROJECT NO. 20071	DWG BY: ROB/CPL	20071 BLOCK1-FINAL DWG
FINAL PLAT	DATE: 10-29-2021	SHEET: 3 OF 6

# WARM SPRINGS RANCH: RESIDENCES OCTOBER 2021

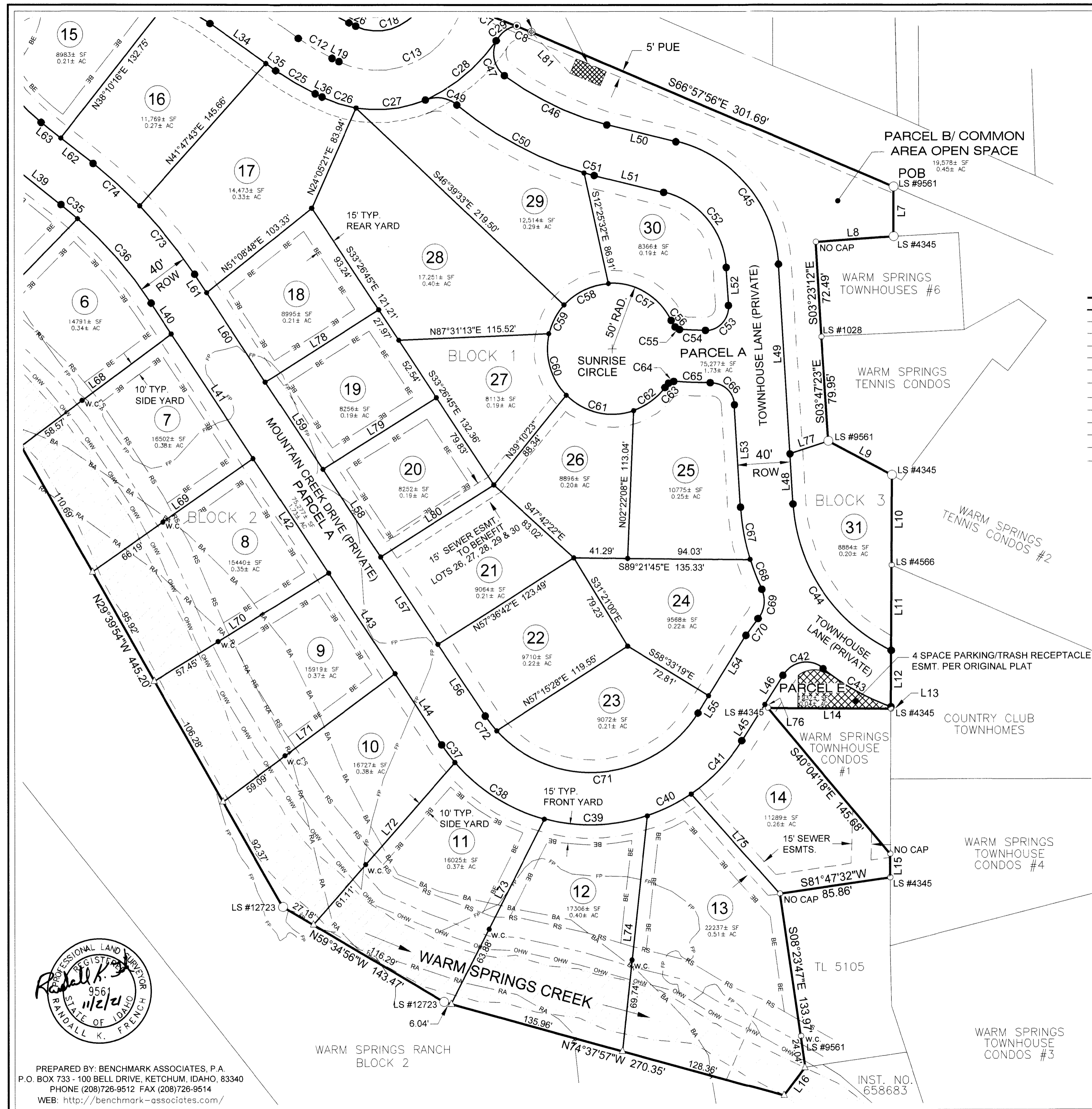


## LEGEND

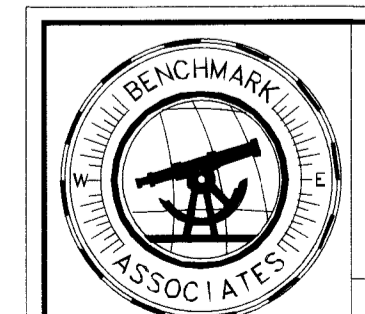
	BLOCK BOUNDARY
	LOT/PARCEL BOUNDARY
	ADJOINING PROPERTY LINES
	BUILDING ENVELOPE
	CENTERLINE ROAD R.O.W.
	EASEMENT LINE - TYPE & WIDTH AS SHOWN
	10' PUE & SNOW STORAGE ESMT.
	1% ANNUAL CHANCE FLOOD LINE - PER FEMA 2010
	ORDINARY HIGH WATER (SEE NOTE 11)
	25' RIPARIAN SETBACK & SCENIC ESMT. (SEE NOTES 13 & 14)
	10' FISHERMAN'S & NATURE STUDY ESMT. (SEE NOTE 12)
	BLUE AVALANCHE LINE (SEE NOTE 10)
	RED AVALANCHE LINE (SEE NOTE 10)
	WARM SPRINGS CREEK
	LOT NUMBERS
	FOUND 1/2" REBAR
	FOUND 5/8" REBAR
	SET 1/2" REBAR, PLS #9561
	SET MAG NAIL W/BRASS CAP, PLS #9561
	SET 5/8" REBAR, PLS #9561
	FOUND ALUMINUM CAP
	FOUND BRASS CAP
	CALCULATED POINT - NO MONUMENT SET
	WITNESS CORNER



DETAIL "A"  
SCALE: 1" = 10'



PREPARED BY: BENCHMARK ASSOCIATES, P.A.  
P.O. BOX 733 - 100 BELL DRIVE, KETCHUM, IDAHO, 83340  
PHONE (208)726-9512 FAX (208)726-9514  
WEB: <http://benchmark-associates.com/>



**WARM SPRINGS RANCH  
RESIDENCES**  
LOCATED WITHIN  
SECTION 12, TOWNSHIP 4 NORTH, RANGE 17 EAST, B.M.,  
CITY OF KETCHUM, BLAINE COUNTY, IDAHO

PROJECT NO. 20071	DWG BY: ROB/CPL	20071 BLOCK1-FINAL.DWG
FINAL PLAT	DATE: 10-29-2021	SHEET 4 OF 6





# WARM SPRINGS RANCH RESIDENCES

**SURVEYOR'S CERTIFICATE**

I, Randall K. French, a duly Registered Professional Land Surveyor in the State of Idaho, do hereby certify that this is a true and accurate map of the land surveyed under my direct supervision in accordance with the State of Idaho Code relating to plats and surveys.

RANDALL K. FRENCH, P.L.S. #9561



**COUNTY SURVEYOR'S APPROVAL**

This is to certify that I, SAM YOUNG, County Surveyor for Blaine County, Idaho, have checked the foregoing plat and computations for making the same and have determined that they comply with the laws of the State of Idaho relating thereto.

*Sam Young*  
BLAINE COUNTY SURVEYOR

11/1/21  
DATE

**CITY OF KETCHUM APPROVAL**

I, Abby Rivin, Planner in and for the City of Ketchum, do hereby certify that the foregoing plat was duly accepted and approved according to the Ketchum Subdivision Ordinance.

By: *Abigail Rivin*

Certified by: *Tara Fenwick*  
TARA FENWICK, City Clerk



**CITY ENGINEER'S APPROVAL**

I, Sherri Newland, City Engineer for Ketchum, Idaho do hereby approve the foregoing plat.

By: *Sherri Newland*

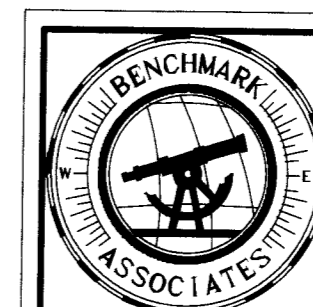
10/29/21  
DATE

**BLAINE COUNTY TREASURER'S CERTIFICATE**

On this 1 day of November, 2021, the foregoing plat was approved and accepted by the Blaine County Treasurer, Blaine County, Idaho.

By: *Janet Bunn*

Instrument # 688399  
HAILEY, BLAINE, IDAHO  
11-3-2021 12:15:08 PM No. of Pages: 6  
Recorded for: BENCHMARK ASSOCIATES  
STEPHEN MCDUGALL, GRAHAM Fee: 15.00  
Ex-Officio Recorder Deputy  
Index to: PLATS



## WARM SPRINGS RANCH RESIDENCES

SECTION 12, TOWNSHIP 4 NORTH, RANGE 17 EAST, B.M.,  
CITY OF KETCHUM, BLAINE COUNTY, IDAHO  
PREPARED FOR: BRENNAN HOLDINGS

PROJECT NO. 20071	DWG BY: CPL	FILE: 20071CRT.DWG	
FINAL PLAT	DATE: OCTOBER 2021	SHEET: 6 OF 6	



Architecture

+ Architecture

+ Landscape Architecture

+ Land Planning

+ Construction Management

+ Interior Design

2024.02.01

City of Ketchum  
P.O. Box 2315 | 191 5th St. West | Ketchum, ID 83340  
Planning Department

Attn:  
Paige Nied, MID  
Associate Planner

In regard to the Warm Springs Lot 33 Design review submittal.  
170 Bald Mountain Road  
Ketchum, Idaho 83340

The letter is in response to the November Planning commission response to the initial design submittal. It was determined in this meeting that the design submitted had too great a visual impact from the Warm Springs Road looking South. The 3<sup>rd</sup> story of the home was determined the visual impact and was to be removed.

It is our goal to submit (2) separate roof designs which will allow greater flexibility for a future buyer of the home.

(2) new and different designs have been submitted which will be explained here.

#### Design 1 with print date 2023.12.06

In this submittal the building mass has been reduced to (2) stories in total. The footprint of the building grew within the allowable buildable area. By removing the 3<sup>rd</sup> story and maintaining the low pitch roof, the roof parapet is a maximum of 2'-0" above the curb of Warm Springs road. The Warm Springs Road curb is set at 5860'-0". The Upper parapet is at 5862'-0". Warm springs has an existing guardrail of 2' in height. The proposed design maintains the 4'-0" wooden screen fence behind the guardrail. The Proposed building is screened from pedestrians on the North side of the road by the fence and guardrail.

With the lowered building mass, both the main level and upper level of the home are below grade at the north side of the home adjacent Warm Springs Road.

The materials have been revised to an over grouted natural stone in a random lay. Natural wood in a horizontal 6" lap with a dark transparent stain. Exposed steel, window trim, roof fascia are all to be dark bronze.

The civil and landscaping does not modify from the original submittal.

#### Design 2 with print date 2023.12.27

The footprint of the submittal date 2023.12.06 remains the same with the main difference focused on the roof structure. In this package a traditional 6/12 roof pitch makes up the predominant roof form with minor flat roof areas as accents. The main roof gable runs North to South with focus on the Mountain and forest across the river. This main roof line has a height of 5864'-11" which is roughly 5' above the Warm Springs Road Curb.

The smaller gable form runs East to West. This ridge line has a height of 5863'-4" which is roughly 3'-4" above the Warm Springs Road Curb.

The materials have been revised to an over grouted natural stone in a random lay. Natural wood in a horizontal 6" lap with a dark transparent stain. Exposed steel, window trim, roof fascia are all to be dark bronze.

7927 High Point Parkway

Suite 300

Sandy, Utah 84094

801-269-0055

[www.thinkaec.com](http://www.thinkaec.com)

It is our request to have the planning department review both design submissions and provide feedback. If there are any further questions, please reach out. We thank you for your time.

John M. Shirley AIA  
Principal  
Think Architecture



City of Ketchum

**Attachment B:  
Lot 33 Redesign #1  
Plan Set**



# WARM SPRINGS #33

170 BALD MOUNTAIN ROAD KETCHUM, ID 83340  
PROPERTY I.D. NUMBER:

## DRAWING INDEX

GENERAL				STRUCTURAL			
SHEET #	SHEET NAME	#	DATE	SHEET #	SHEET NAME	#	DATE
COVER	COVER SHEET			S101	Structural		
G002	GENERAL NOTES						
G003	BUILDING AREA ANALYSIS						
G004	SPECIFICATIONS						
G005	SPECIFICATIONS						
G006	SPECIFICATIONS						
G007	SPECIFICATIONS						
G008	SPECIFICATIONS						
CIVIL				MECHANICAL			
SHEET #	SHEET NAME	#	DATE	SHEET #	SHEET NAME	#	DATE
C101	Civil			M101	MECHANICAL GENERAL NOTES		
				M102	MECHANICAL PLAN		
LANDSCAPE				ELECTRICAL			
SHEET #	SHEET NAME	#	DATE	SHEET #	SHEET NAME	#	DATE
L101	Landscape			E101	ELECTRICAL GENERAL NOTES		
				E102	ELECTRICAL PLANS		
ARCHITECTURAL							
SHEET #	SHEET NAME	#	DATE				
A101	SITE PLAN						
A103	FOUNDATION PLAN						
A104	LEVEL 1 FLOOR PLAN						
A105	LEVEL 2 FLOOR PLAN						
A107	ROOF PLAN						
A109	LEVEL 1 CEILING PLAN						
A110	LEVEL 2 CEILING PLAN						
A201	EXTERIOR ELEVATIONS						
A202	EXTERIOR ELEVATIONS						
A301	BUILDING SECTIONS						
A302	BUILDING SECTIONS						
A303	BUILDING SECTIONS						
A304	ENLARGED DECK - DETAILS						
A401	FIREPLACE ELEVATIONS						
A501	ARCHITECTURAL DETAILS						
A502	ARCHITECTURAL DETAILS						
A503	STAIR-PLAN SECTIONS - DETAILS						
A601	DOOR SCHEDULE & ELEVATIONS						
A602	DOOR DETAILS						
A603	WINDOW SCHEDULE & ELEVATIONS						
A604	WINDOW DETAILS						



Architecture  
Interior Design  
Landscape Architecture  
Land Planning  
Construction Management

7927 So. Highpoint Parkway, Suite 300  
Sandy, Utah 84094  
ph. 801.269.0555  
fax 801.269.1425  
www.thinkaec.com

The designs shown and described herein including all technical drawings, graphic representation & models thereof, are proprietary & can not be copied, duplicated, or commercially reproduced in whole or in part without the sole and express written permission from THINK Architecture, Inc.  
These drawings are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors, and office personnel only in accordance with this notice.



WARM SPRINGS RESIDENCE #33

170 BALD MOUNTAIN ROAD  
KETCHUM, IDAHO 83340

PROJECT TEAM	SEAL	GOVERNING BUILDING CODES & INFORMATION	ABBREVIATIONS	GRAPHIC SYMBOLS/ MATERIAL LEGENDS	VICINITY MAP	
<b>ARCHITECT:</b> <b>THINK ARCHITECTURE:</b> 7927 SOUTH HIGHPOINT WAY, SUITE 300 SANDY, UT 84094 801.269.0555		<b>BUILDING CODE:</b> 2018 INTERNATIONAL RESIDENTIAL CODE (I.R.C.) WITH IDAHO STATE AMENDMENTS <b>PLUMBING CODE:</b> 2017 IDAHO STATE PLUMBING CODE (I.S.P.C.) <b>ELECTRICAL CODE:</b> 2017 IDAHO ELECTRICAL CODE (INFA 70) <b>ACCESSIBILITY:</b> 2009 ANSI 117.1 & 2018 I.B.C.	<b>#</b> NUMBER <b>AT</b> ANCHOR BOLT <b>A.B.</b> ABOVE <b>ADJ.</b> ADJUSTABLE <b>A.F.F.</b> ABOVE FINISHED FLOOR <b>ALUM.</b> ALUMINUM <b>BD.</b> BOARD <b>B.M.</b> BENCHMARK <b>B.O.</b> BOTTOM OF <b>BOT.</b> BOTTOM <b>B.P.</b> BASE PLATE <b>BRG.</b> BEARING <b>BTWN.</b> BETWEEN <b>C.J.</b> CONSTRUCTION JOINT <b>CLG.</b> CEILING <b>CLR.</b> CLEAR <b>CMU</b> CONCRETE MASONRY UNIT <b>COL.</b> COLUMN <b>CONC.</b> CONCRETE <b>CONT.</b> CONTINUOUS <b>CONSTR.</b> CONSTRUCTION <b>CONTRACT.</b> CONTRACTION JOINT <b>DBL.</b> DOUBLE <b>DFT./DITL.</b> DETAIL <b>DIA.</b> DIAMETER <b>DIL.</b> DETAIL <b>DWSG.</b> DRAWINGS <b>E.F.</b> EACH FACE <b>E.F.</b> EACH SIDE <b>E.W.</b> EACH WAY <b>EXIST.</b> EXISTING <b>EXPAN.</b> EXPANSION <b>EXT.</b> EXTERIOR <b>EXT. W.C.</b> EXTERIOR WATER COOLER <b>F.D.</b> FLOOR DRAIN <b>FON./FOTN.</b> FOUNDATION <b>F.F.</b> FINISH FLOOR <b>F.E.</b> FIRE EXTINGUISHER <b>F.C.F.</b> FIRE EXTINGUISHER CABINET <b>R.N.</b> FINISH <b>R.F.</b> FLOOR <b>FT.</b> FEET <b>FIG.</b> FOOTING <b>GA.</b> GAGE/GAUGE <b>GA/LV.</b> GALLONS PER MINUTE <b>GPM.</b> GALLONS PER MINUTE <b>GND.</b> GROUND <b>GOVT.</b> GOVERNMENT <b>GYP. BD.</b> GYPSUM WALL BOARD <b>HC</b> HANDICAPPED	<b>HDW.</b> HARDWARE <b>HOLLOW METAL</b> <b>HORIZ.</b> HORIZONTAL <b>HT.</b> HEIGHT <b>HVAC</b> HEATING/VENTILATION/AIR CONDITIONING <b>HYD.</b> HYDROBENT <b>ID.</b> INSIDE DIAMETER <b>INFO.</b> INFORMATION <b>INSUL.</b> INSULATION <b>LAV.</b> LAVATORY <b>LT.</b> LIGHT <b>LT WT.</b> LIGHT WEIGHT <b>MAINT.</b> MAINTENANCE <b>MANUF.</b> MANUFACTURER <b>MAX.</b> MAXIMUM <b>MAT.</b> MATERIAL <b>M.C.J.</b> MASONRY CONTROL JOINT <b>MECH.</b> MECHANICAL <b>MIN.</b> MINIMUM <b>MISC.</b> MISCELLANEOUS <b>M.O.</b> MASONRY OPENING <b>MTL.</b> METAL <b>NOT IN CONTRACT</b> <b>N.L.C.</b> NOT TO SCALE <b>N.T.S.</b> NOT TO SCALE <b>O.C.</b> ON CENTER <b>O.D.</b> OUTSIDE DIAMETER <b>O.F.</b> OUTSIDE FACE <b>PERP.</b> PERPENDICULAR <b>PL.</b> PLATE <b>PTD.</b> PAINTED <b>QTY.</b> QUANTITY <b>R.D.</b> ROOF DRAIN <b>RAD.</b> RADIUS <b>REIN.</b> REINFORCED <b>REQD.</b> REQUIRED <b>RM.</b> ROOM <b>R.O.</b> ROUGH OPENING <b>SCHED.</b> SCHEDULE <b>SHT.</b> SHEET <b>SM.</b> SIMILAR <b>SPEC.</b> SPECIFICATION <b>STC</b> SOUND TRANSMISSION COEFFICIENT <b>STRUCT.</b> STRUCTURAL <b>SUSP.</b> SUSPENDED <b>T.O.</b> TOP OF <b>T.O.C.</b> TOP OF CURB <b>T.O.F.</b> TOP OF FOOTING <b>T.O.S.</b> TOP OF SLAB OR SIDEWALK <b>T.O.W.</b> TOP OF WALL <b>TYP.</b> TYPICAL <b>UNL.</b> UNLESS NOTED OTHERWISE <b>VERT.</b> VERTICAL <b>W.</b> WITH <b>WB.</b> WOOD <b>W.W.F.</b> WELDED WIRE FABRIC	<b>FLOOR OR POINT ELEVATION</b> <b>KEY NOTE</b> <b>SPECIFICATION KEY NOTE</b> <b>WALL TYPE</b> <b>DOOR NUMBER</b> <b>WINDOW NUMBER</b> <b>FIXTURE TAG</b> <b>REVISION TAG</b> <b>DETAIL</b> <b>INTERIOR ELEVATION</b> <b>BUILDING ELEVATION</b> <b>ROOM NAME &amp; NUMBER</b> <b>BUILDING SECTION</b> <b>WALL SECTION</b> <b>CENTER LINE</b>	<b>MASTER GRID LINES</b> <b>PARKING GRID LINES</b> <b>BUILDING GRID LINES</b> <b>EL.F.S.</b> <b>CONCRETE MASONRY UNIT</b> <b>BRICK VENEER</b> <b>STONE VENEER</b> <b>CONCRETE</b> <b>GYPSUM BOARD OR GROUT</b> <b>MORTAR</b> <b>BATT INSULATION</b> <b>RIGID INSULATION</b> <b>PLYWOOD</b> <b>ROUGH WOOD-CONTINUOUS</b> <b>ROUGH WOOD-BLOCKING</b> <b>WOOD TRIM</b> <b>STEEL</b> <b>GRAVEL</b> <b>EARTH</b>
<b>STRUCTURAL ENGINEER:</b> <b>VECTOR ENGINEERS</b> 1555 S. CLOVERDALE ROAD, SUITE 315 BOISE, ID 83709 208.994.0303		<b>BUILDING TYPE:</b> TYPE V-8 <b>FIRE SPRINKLER:</b> YES <b>MONITORED SYSTEM:</b> NO <b>RISK CATEGORY (I.C. 104.5):</b> II <b>SITE EXPOSURE:</b> B <b>BASIC WIND SPEED:</b> 90 MPH <b>ULTIMATE WIND SPEED:</b> 115 MPH <b>MATERIALS:</b> CONCRETE FOUNDATIONS, WOOD FRAME W/ BRICK MASONRY & FIBER CEMENT PANELS, FEE MEMBRANE & METAL ROOFING				
<b>MECHANICAL ENGINEER:</b> <b>DESIGN BUILD</b>		<b>DEFERRED SUBMITTAL REQUIREMENTS</b> DEFERRED SUBMITTALS ARE THOSE PORTIONS OF DESIGN THAT ARE NOT SUBMITTED AT THE TIME OF THE PERMIT APPLICATION AND HAVE RECEIVED PRIOR APPROVAL FROM THE BUILDING OFFICIAL TO BE DEFERRED. THE DEFERRED SUBMITTALS SHALL BE SUBMITTED TO THE ARCHITECT AND GENERAL CONTRACTOR WITHIN SIX WEEKS TO COMMENCEMENT OF CONSTRUCTION TO THIS PORTION OF WORK.			<b>CITY APPROVAL STAMP</b>	
<b>ELECTRICAL ENGINEER:</b> <b>DESIGN BUILD</b>		<b>DEFERRED SUBMITTAL PROCESS:</b> 1. THE DEFERRED SUBMITTAL SHALL FIRST BE REVIEWED BY THE GENERAL CONTRACTOR FOR COMPLIANCE WITH THE CONSTRUCTION DOCUMENTS. THE SUBMITTAL MUST BE REVIEWED, APPROVED, STAMPED AND SIGNED BY THE GENERAL CONTRACTOR BEFORE BEING SUBMITTED TO THE ARCHITECT. 2. THE GENERAL CONTRACTOR SHALL DIGITALLY SUBMIT DEFERRED SUBMITTALS TO THE ARCHITECT. 3. THE DEFERRED SUBMITTAL ITEMS WILL BE REVIEWED BY THE ENGINEER OR ARCHITECT IN RESPONSIBLE CHARGE. THE ENGINEER OR ARCHITECT WILL ATTACH A LETTER TO THE SUBMITTAL STATING THAT THE DEFERRED ITEM IS IN CONFORMANCE WITH THE DESIGN OF THE STRUCTURE. 4. THE APPROVED SUBMITTALS WILL BE RETURNED TO THE GENERAL CONTRACTOR. TWO SETS OF THE DEFERRED SUBMITTAL ARE THEN SUBMITTED TO THE CITY FOR REVIEW. 5. THE GENERAL CONTRACTOR SHALL MAINTAIN ONE SET OF THE APPROVED SUBMITTAL ON SITE FOR REFERENCE BY THE CITY INSPECTOR. 6. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THE SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL. 7. SEE STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS FOR STRUCTURAL DEFERRED SUBMITTALS.				
<b>CIVIL ENGINEER:</b> <b>BENCHMARK ASSOCIATES PA</b> 100 BELL DRIVE KETCHUM, ID 83340 208.726.9512		<b>DEFERRED SUBMITTAL ITEMS</b> 1. EXTERIOR FRAMING, DESIGN, AND INSTALLATION DETAILS PER STRUCTURAL. 2. FIRE SPRINKLING DRAWINGS, INCLUDING DESIGN DRAWINGS AND CALCULATIONS. 3. FIRE ALARM DRAWINGS AND SPECIFICATIONS. 4. JACOZZI DRAWINGS AND SPECIFICATIONS. 5. CITY SECURITY CAMERAS AND SECURITY SYSTEM. 6. PROJECT TRIPLE PLAY - (PHONE, DATA, TV) SHALL BE PROVIDED BY DEFERRED SUBMITTAL. 7. CAST IN PLACE STORM WATER DETENTION SYSTEM				
<b>EGGERS ASSOCIATES, PA</b> 560 NORTH 2ND AVE KETCHUM, ID 83340 208.726.0988						
<b>GENERAL CONTRACTOR:</b> <b>MAGLEBY CONSTRUCTION SUN VALLEY</b> 511 EAST AVENUE NORTH SUITE 201 KETCHUM, IDAHO 83340 208.726.3923						
<b>OWNER:</b> <b>VP PROPERTIES</b> 240 LEADVILLE KETCHUM, IDAHO 83340 208.726.1873		<b>SPECIAL INSPECTIONS REQUIREMENTS</b> SPECIAL INSPECTIONS ARE REQUIRED IN ACCORDANCE WITH IBC 2015 CHAPTER 17, SECTION 1704. SPECIAL INSPECTORS SHALL KEEP RECORDS OF INSPECTIONS, THE SPECIAL INSPECTOR SHALL FURNISH INSPECTION REPORTS TO THE BUILDING OFFICIAL, AND TO THE REGISTERED DESIGN PROFESSIONALS IN RESPONSIBLE CHARGE, (2015 IBC SECTION 1704.2.4). SEE PROJECT MANUAL / SPECIFICATIONS, STRUCTURAL, MECHANICAL, PLUMBING, AND ELECTRICAL GENERAL NOTES FOR ADDITIONAL SPECIAL INSPECTION REQUIREMENTS.	<b>BUILDING AREAS</b> SEE SHEET G003 FOR AREA PLANS	<b>OWNER &amp; MUNICIPAL DRAWING APPROVALS</b> OWNER: _____ DATE: _____ CITY ENGINEER: _____ DATE: _____ CITY PLANNING & ZONING DEPARTMENT: _____ DATE: _____ CITY FIRE DEPARTMENT: _____ DATE: _____ CITY BUILDING DEPARTMENT: _____ DATE: _____ CITY POLICE DEPARTMENT: _____ DATE: _____		

PROJECT: 2/16/2024 11:46:19 AM

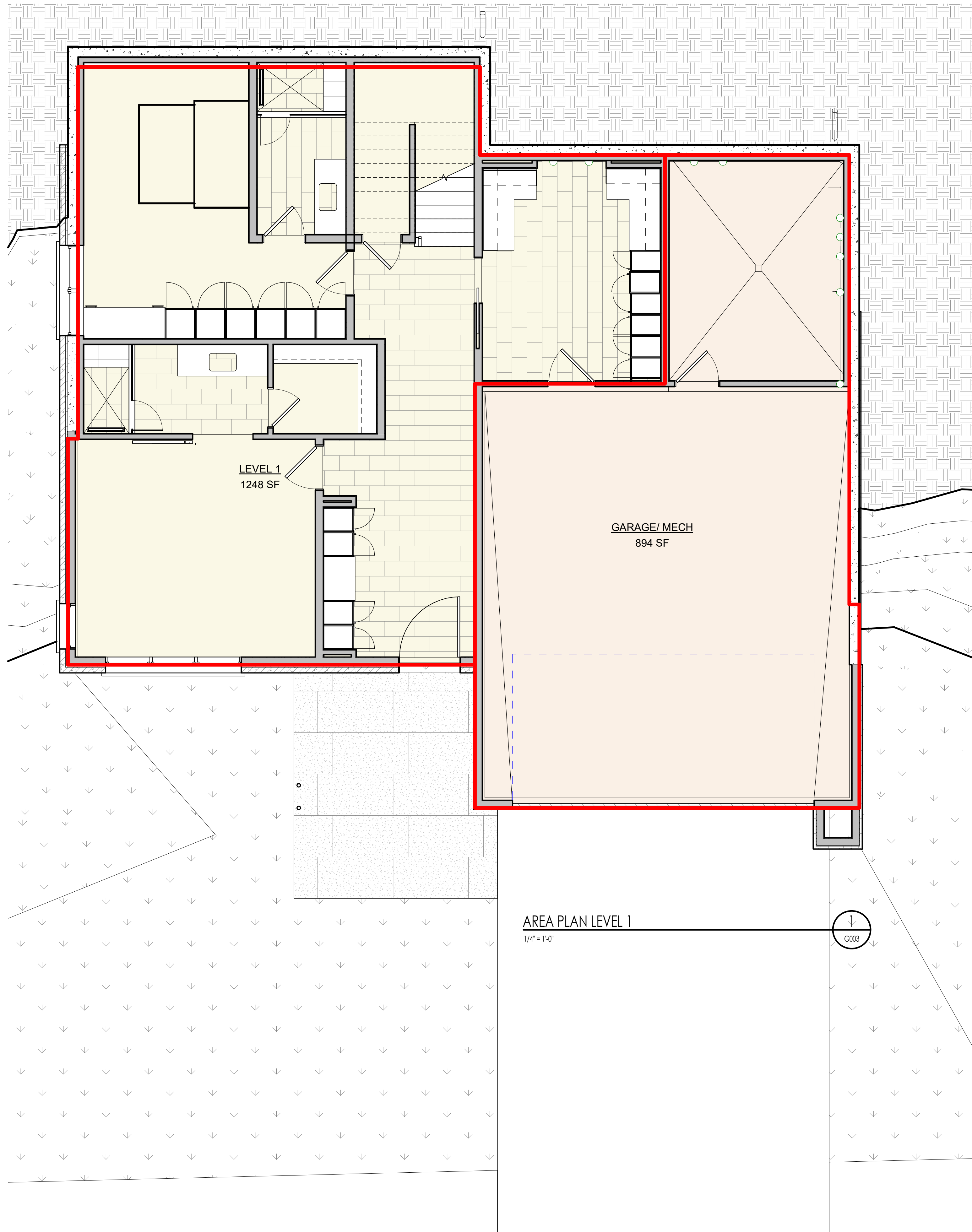
PROJECT NC22023.33  
DATE: 2023.11.06  
REVISIONS:

SHEET TITLE:  
COVER SHEET

SHEET NUMBER:  
COVER

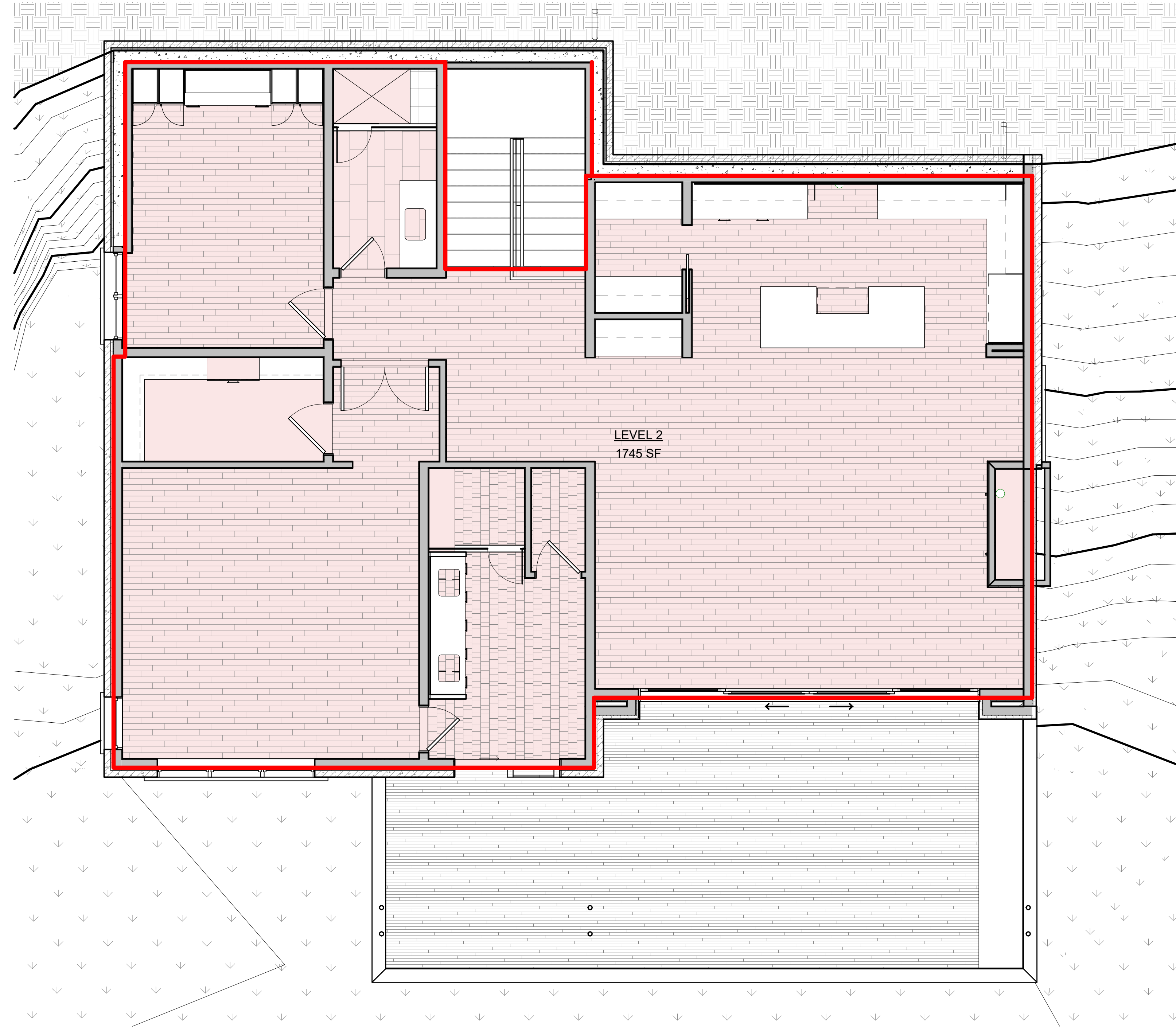
© 2021 THINK ARCHITECTURE, INC.





AREA PLAN LEVEL 1  
1/4" = 1'-0"

1  
G003



AREA PLAN LEVEL 2  
1/4" = 1'-0"

2  
G003

BUILDING AREA - FINISHED	
AREA	FINISHED
LEVEL 1	1248 SF
LEVEL 2	1745 SF
	2993 SF

BUILDING AREA - UNFINISHED	
AREA	UNFINISHED
GARAGE/MECH	894 SF
	894 SF

BUILDING AREA - TOTAL	
TOTAL	
	3887 SF



Architecture  
Interior Design  
Landscape Architecture  
Land Planning  
Construction Management

7927 So. Highpoint Parkway, Suite 300  
Sandwich, Utah 84094  
ph. 801.269.0555  
fax 801.269.1425  
www.thinkaec.com

The designs shown and described herein including all technical drawings, graphic representations & models thereof, are proprietary & can not be copied, duplicated, or commercially exploited in whole or in part without the sole and express written permission from THINK Architecture, Inc.  
These drawings are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors, and office personnel only in accordance with this notice.



WARM SPRINGS RESIDENCE #33

170 BALD MOUNTAIN ROAD  
KETCHUM, IDAHO 83340

PROJECT NC22023.33  
DATE: 2023.11.06  
REVISIONS:

SHEET TITLE:  
BUILDING AREA  
ANALYSIS

SHEET NUMBER:  
G003

© 2023 THINK ARCHITECTURE, INC.



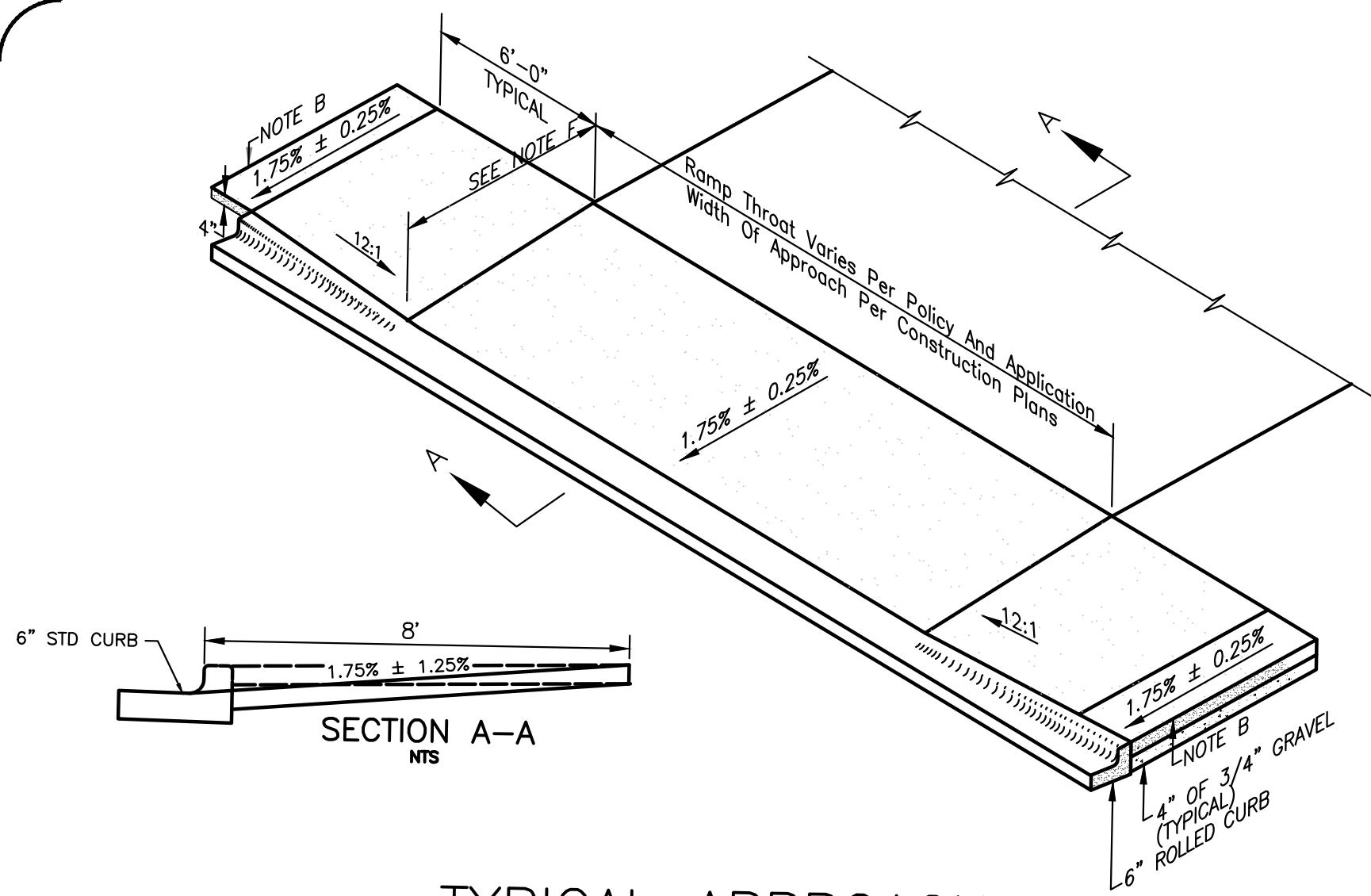








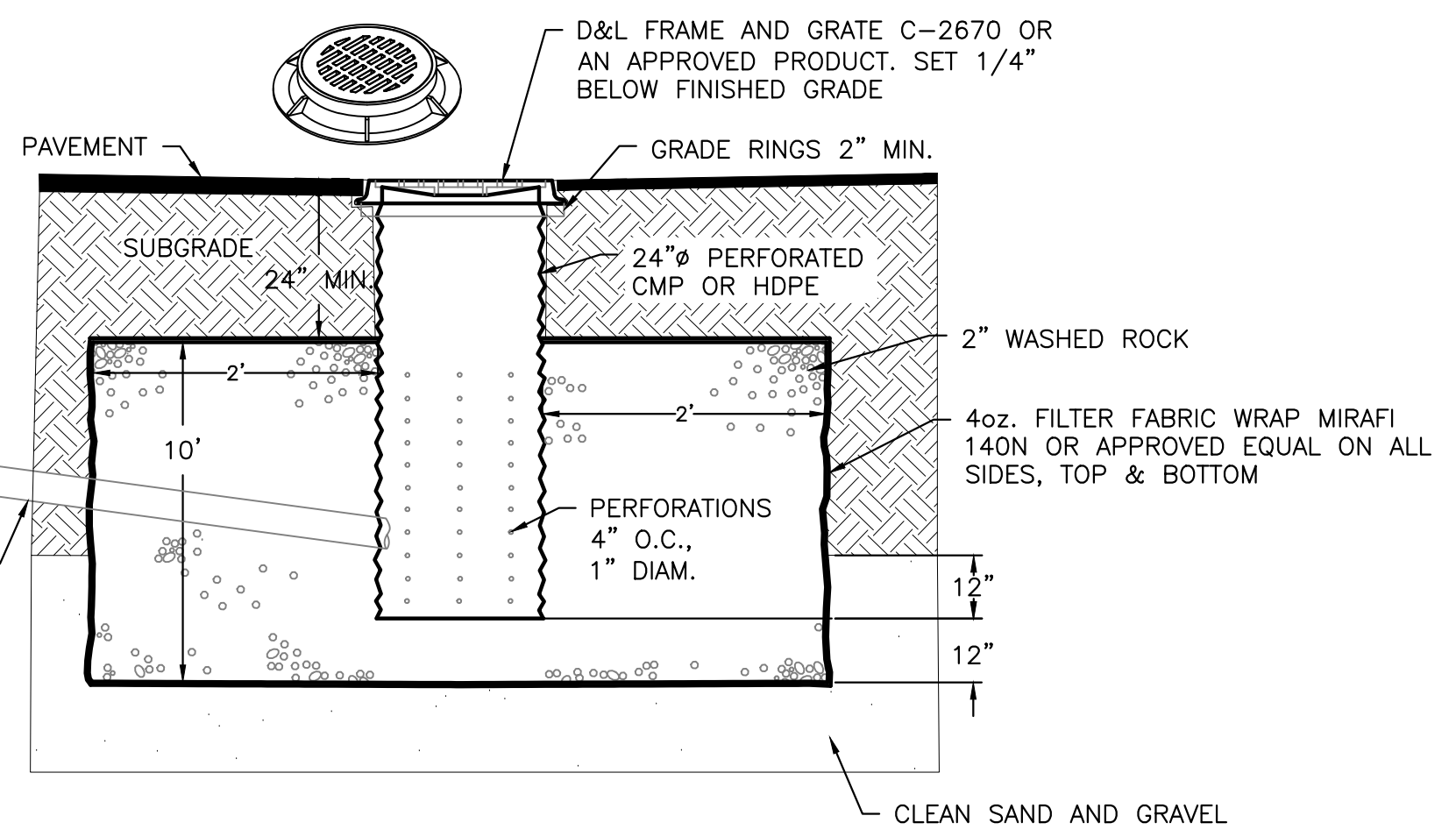




TYPICAL APPROACH

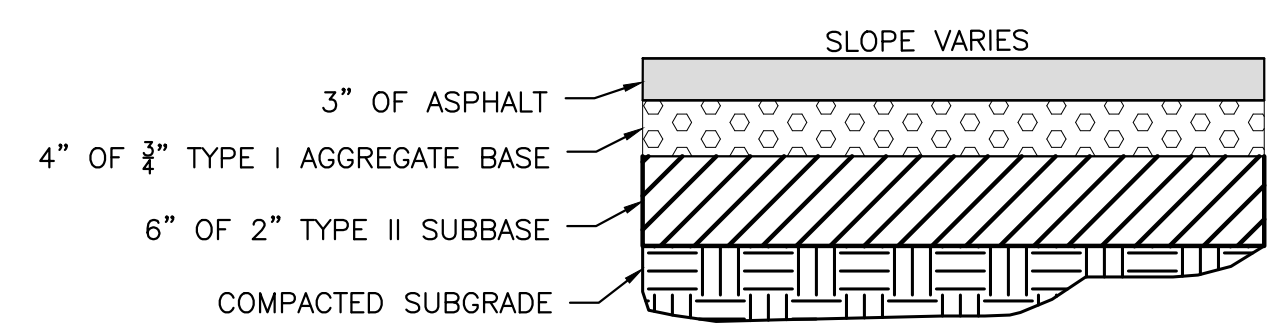
- NOTES:**
- (A) APPROACH TO CONFORM TO THE LATEST ADA STANDARDS.
  - (B) INSTALL EXPANSION JOINT AT TIP OF APPROACH WINGS WHERE SIDEWALK CHANGES THICKNESS.
  - (C) BASE TO BE A 4" THICKNESS OF 3/4" MINUS CRUSHED AGGREGATE PER SECTION-802.
  - (D) APPROACH THROAT WIDTHS SET BY POLICY AND APPLICATION. ALL CONCRETE TO BE 6" THICK FROM TIP OF WING TO TIP OF WING UP TO THE EXPANSION JOINT. WHEN SIDEWALK IS SEPARATE FROM CURB THE SIDEWALK IMMEDIATELY BEHIND THE APPROACH THROAT SHALL BE 6" THICK ALSO.
  - (E) ALL CONCRETE SHALL BE CLASS 3000 PER SECTION-703. SEE GENERAL NOTES 7 & 8.
  - (F) SIDEWALK WIDTH IS 8 FEET.

1 CONCRETE DRIVEWAY WITH RAMPED SIDEWALK  
SCALE: NONE



- NOTES:**
- 1. THE BED SHALL BE EXCAVATED A MINIMUM OF 24" INTO CLEAN SAND AND GRAVEL.
  - 2. MAXIMUM DEPTH SHALL NOT EXCEED 12 FEET.
  - 3. IF CLEAN SAND AND GRAVEL IS NOT ENCOUNTERED WITHIN 12 FEET, THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER.
  - 4. GRATE OR SOLID LID AS APPROVED BY CITY OF KETCHUM.

2 TYPICAL DRYWELL DETAIL  
SCALE: NONE

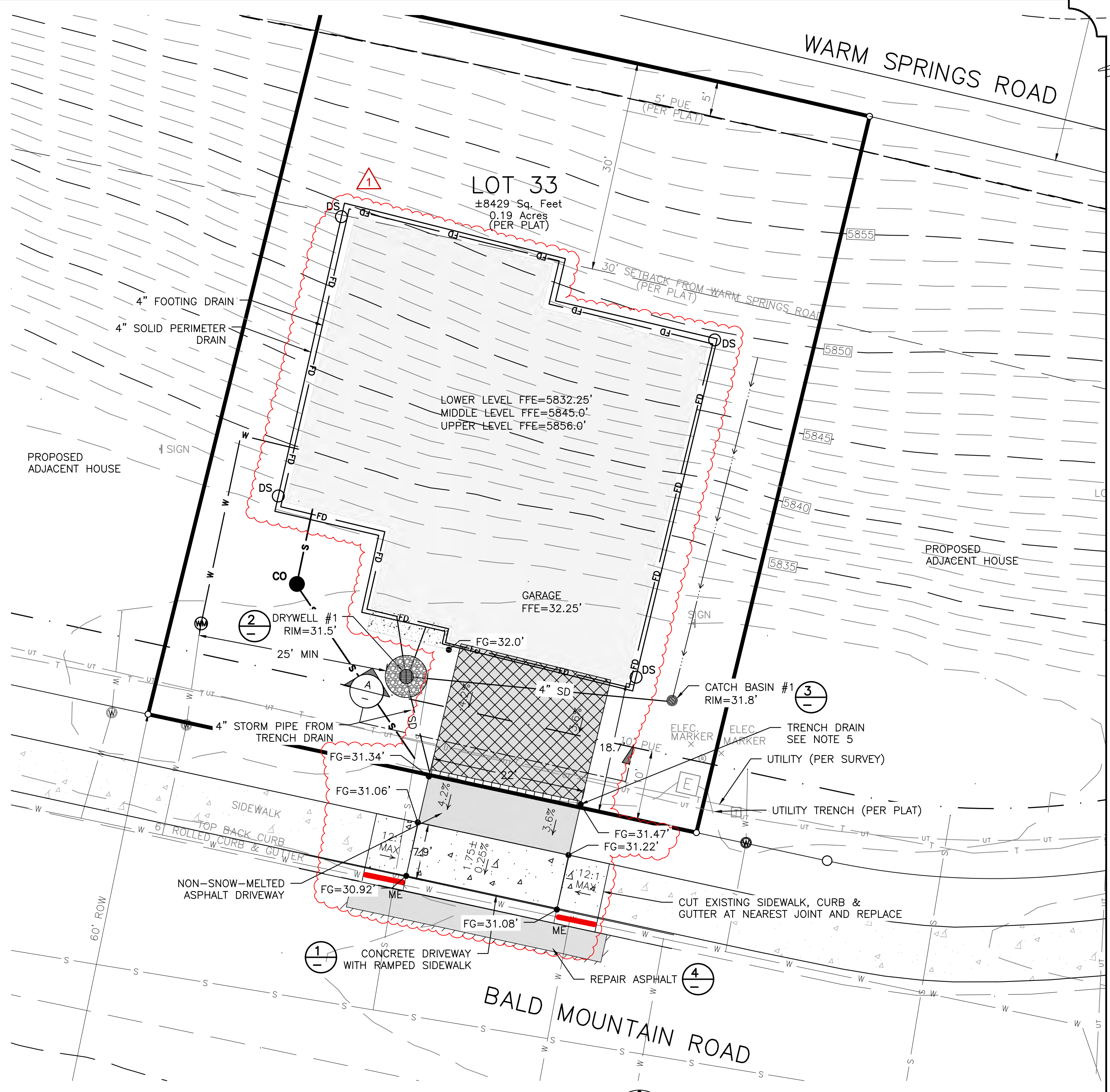


4 TYPICAL STREET ASPHALT SECTION  
SCALE: NONE

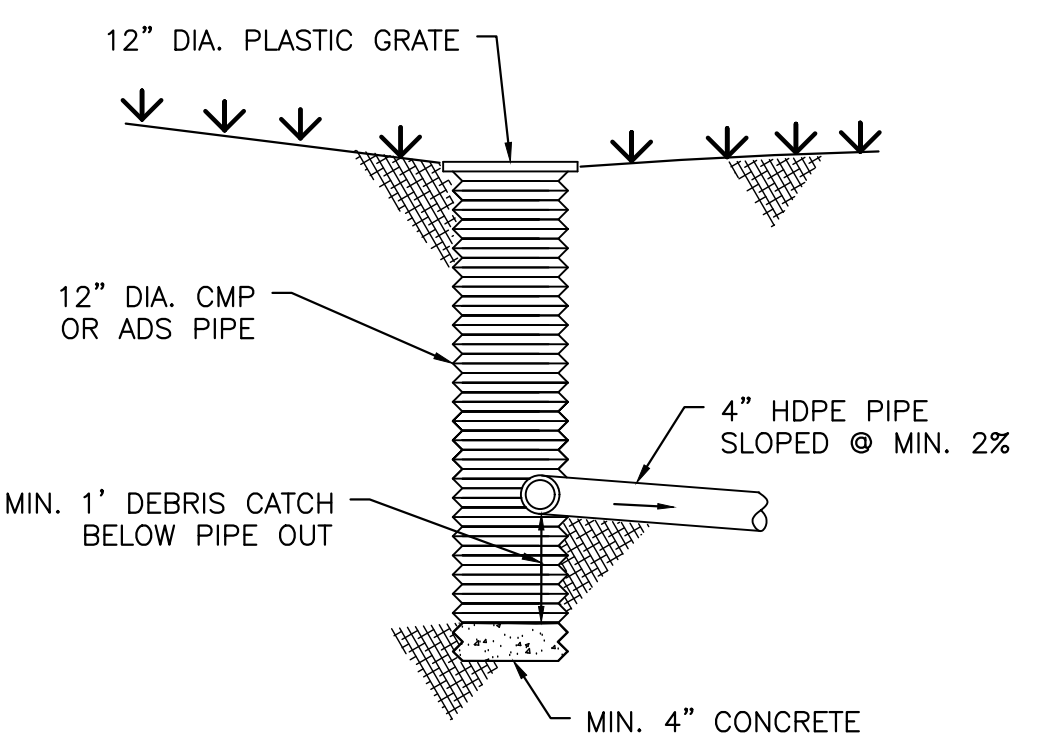
**LEGEND**

PROPERTY LINE	---
ADJOINING PROPERTY LINE	---
EASEMENT	---
FENCE	X
EDGE OF PAVEMENT	S
SEWER	W
SEWER MANHOLE (MH)	⊙
WATER	W
WATER GATE VALVE	⊙
HYDRANT	⊙
CURB STOP	⊙
TELEPHONE	T
UTILITY TRENCH	UT
ELEVATION CONTOUR	5775
PROPOSED ELEV CONTOUR	59
SAWCUT LINE	---
CURB TRANSITION	---
FLOW LINE	---
FOOTING DRAIN	FD
STORM DRAIN PIPE	---
DOWN SPOUT	---
CATCH BASIN-CITY	⊙
CATCH BASIN	⊙
DRYWELL	⊙
LANDSCAPE DRYWELL	⊙
ASPHALT PAVEMENT	---
ASPHALT PAVEMENT (SNOW MELTED)	---
PAVERS	---
CONCRETE	---
FG	---
EG	---
GB	---
ME	---
FINISHED GRADE	---
EXISTING GROUND	---
GRADE BREAK	---
MATCH EXISTING	---

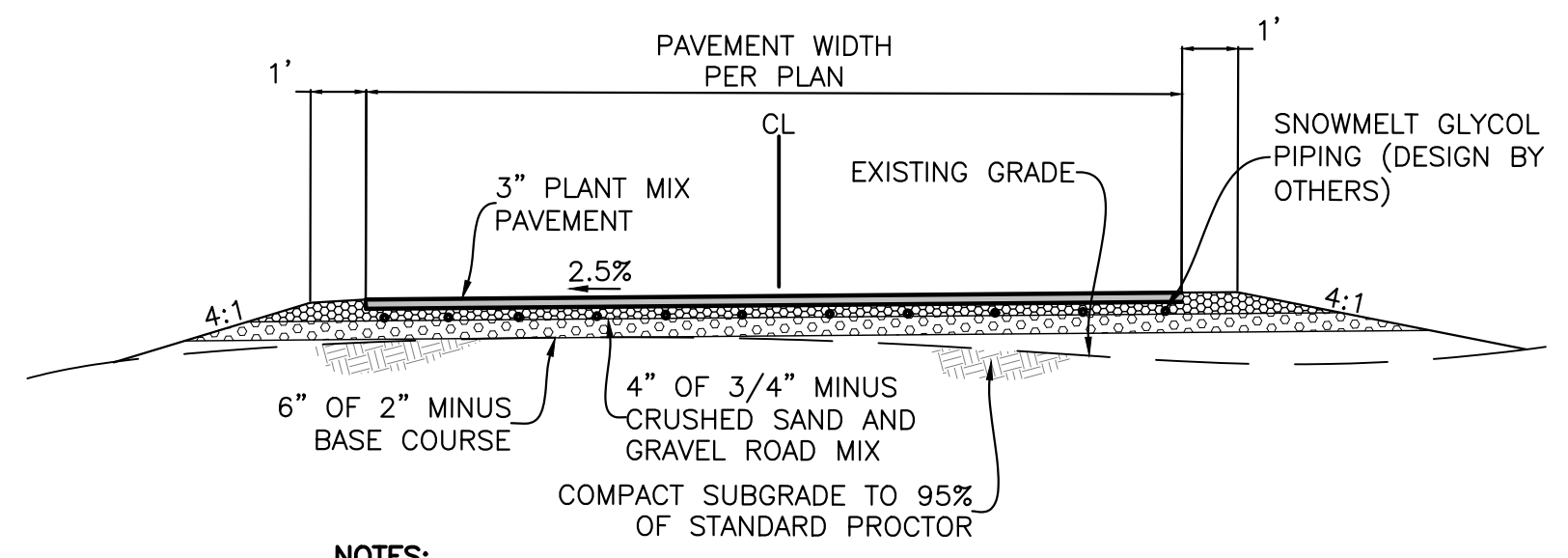
- GENERAL NOTES**
1. CONTRACTOR SHALL FIELD VERIFY LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING CONSTRUCTION. ANY CONFLICT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
  2. CONTRACTOR SHALL NOTIFY DIGLINE (1-800-342-1585) AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES ENCOUNTERED DURING CONSTRUCTION.
  3. CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL DURING THE CONSTRUCTION OF ALL ITEMS HEREON. DUST CONTROL SHALL BE CONTINUOUS DURING CONSTRUCTION, 24 HOURS PER DAY 7 DAYS PER WEEK.
  4. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM THE HOUSE.
  5. TRENCH DRAIN SHALL BE A 6" WIDE HDPE CHANNEL WITH A 0.75 BUILT IN CHANNEL SLOPE (ZURN FLO-THRU MODEL Z886 OR EQUIVALENT). GRATE SHALL BE DUCTILE IRON WITH A SLOTTED PATTERN. CATCH BASIN SHALL BE 6" WIDE X 20" LONG X 20" DEEP AND SHALL BE MADE OF HDPE. OUTLET PIPE SHALL BE 4" DIAMETER. (FLO-THRU MODEL Z887 OR EQUIVALENT). ALL COMPONENTS SHALL BE RATED FOR H2O LOADING.
  6. ALL WORK WITHIN THE CITY RIGHT OF WAY SHALL CONFORM TO CITY OF KETCHUM STANDARDS.
  7. CONCRETE WITHIN CITY RIGHT-OF-WAY SHALL BE TITAN MIX OR EQUAL. ALTERNATE COLD WEATHER MIX WILL NEED TO BE SUBMITTED TO THE CITY FOR REVIEW AND APPROVAL PRIOR TO PLACEMENT.
  8. CONCRETE SHALL BE SEALED WITH AN OPAQUE SEALER.
  9. 6" ROLLED CURB & GUTTER SHALL BE PER CITY OF KETCHUM STANDARD DETAIL #4.
  10. CONCRETE SIDEWALK SHALL BE PER CITY OF KETCHUM STANDARD DETAIL #7.



PLAN  
SCALE IN FEET  
0' 10' 20' 30'



3 12" CATCH BASIN PROFILE  
NOT TO SCALE



- NOTES:**
1. COMPACT DRIVEWAY SUBGRADE AND ALL STRUCTURAL FILL MATERIAL TO AT LEAST 95% OF THE MAXIMUM DENSITY OF EACH MATERIAL ACCORDING TO STANDARD PROCTOR ASTM D-698.

A DRIVEWAY SECTION WITH SNOW-MELTED PAVEMENT  
SCALE: NTS

PROFESSIONAL ENGINEER  
LICENSED SURVEYOR  
STATE OF IDAHO  
PROBIE JOHANNISSON  
17661  
3/12/2024

NO.	REVISIONS	DESCRIPTION	DATE	BY
1		CITY COMMENTS	3/12/24	PLJ

**GALENA-BENCHMARK ENGINEERING**  
Civil Engineers & Land Surveyors  
100 Bell Drive  
Ketchum, Idaho 83340  
(208) 725-9512  
www.benchmark-associates.com

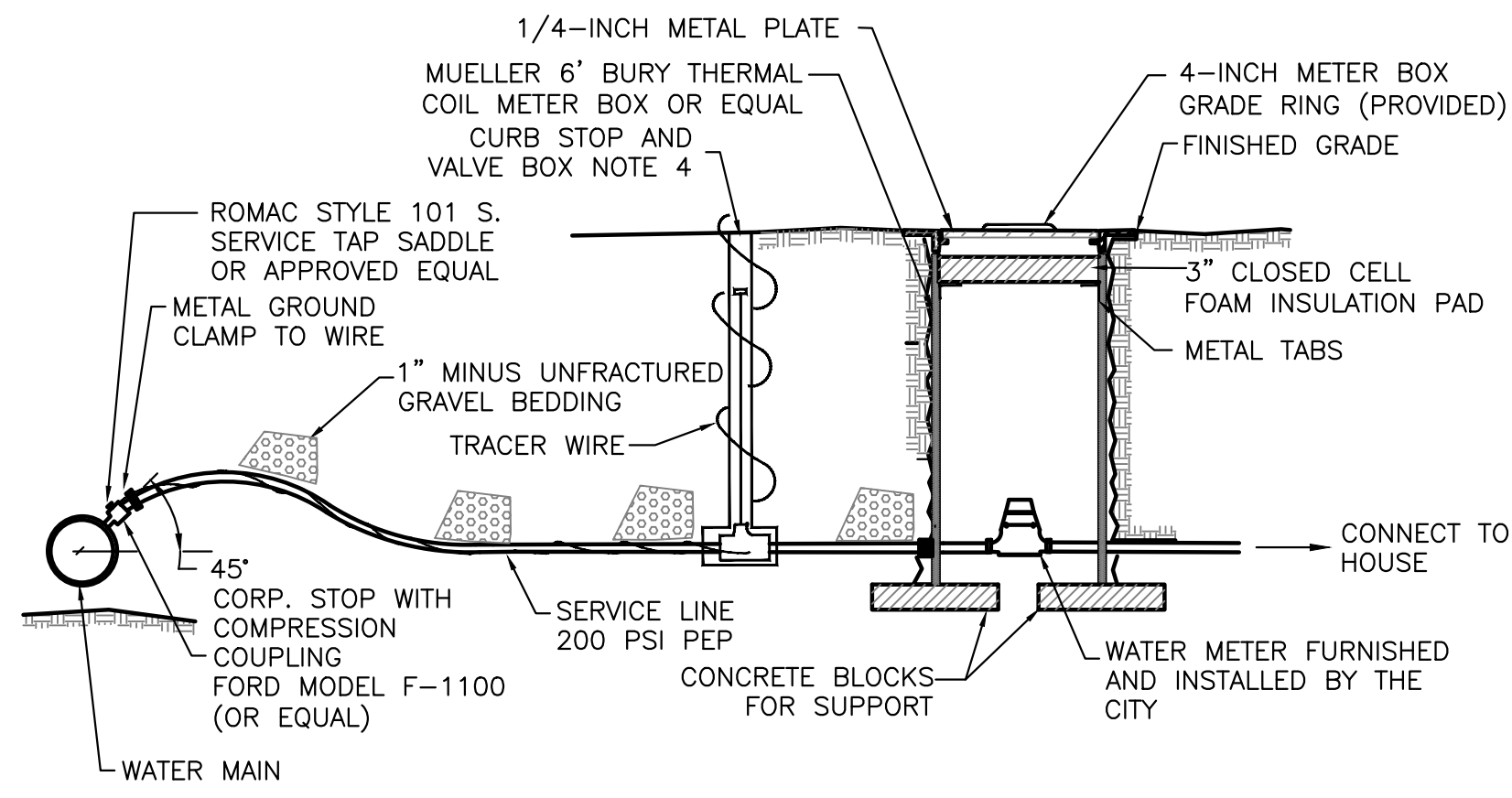
**GALENA ENGINEERING**  
SURVEYING ENGINEERING PLANNING  
ELEVATION  
4800 N. SEA  
622'±  
100'±  
BENCHMARK

**GRADING & DRAINAGE PLAN**  
WARM SPRINGS RANCH LOT 33  
T4N, R17E, SEC 12, B.M., BLAINE COUNTY, IDAHO  
PREPARED FOR: MAGLEBY CONSTRUCTION

DRAWN BY: SLS  
DESIGNED BY: SLS  
CHECKED BY: PLJ  
DATE: 3/12/2024  
PROJECT NO.: 22074

DRAWING NO.

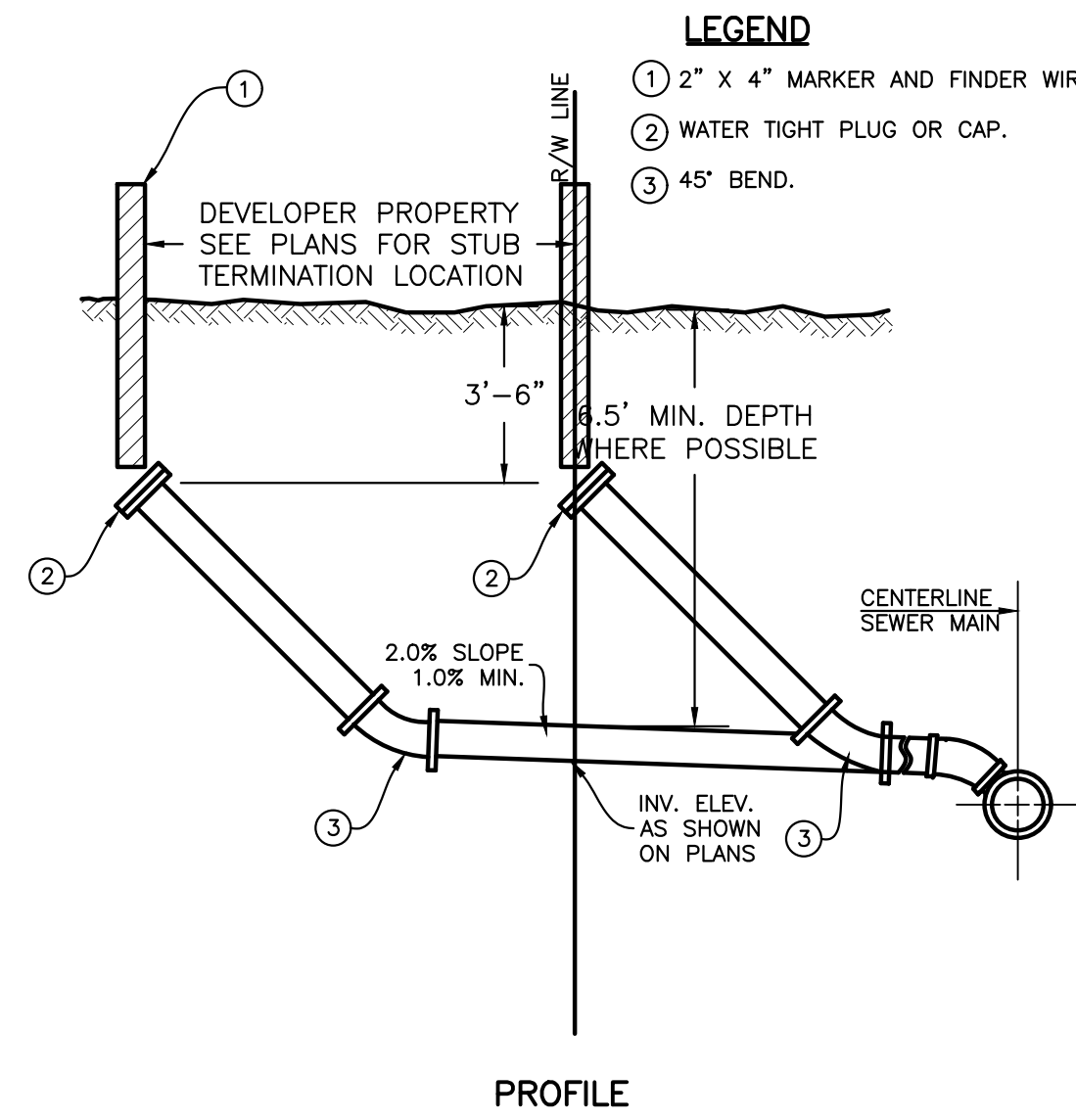
C-1



**NOTES**

1. WATER SERVICE LINE SHALL HAVE A 6" MIN. BURY DEPTH
2. SERVICE LINE SHALL BE 1" DIAMETER POLYETHYLENE PIPE UNLESS OTHERWISE SPECIFIED.
3. WATER SERVICE LINES SHALL BE BEDDED WITH 1" MINUS UNFRACTURED GRAVEL BEDDING SHALL BE INSTALLED 4" UNDER THE PIPE AND 6" OVER THE PIPE.
4. FORD MODEL B-111 RESILIENT SEAT, CURB BALL VALVE (OR EQUAL). FORD EXTENSION CURB BOX WITH ARCHED BASE, 1-INCH UPPER SECTION, AND 2 HOLE "ERIE" PATTERN LID.

**1 WATER SERVICE AND METER CONNECTION**  
SCALE: N.T.S.



**LEGEND**

- 1 2" X 4" MARKER AND FINDER WIRE PER SD-512.
- 2 WATER TIGHT PLUG OR CAP.
- 3 45° BEND.

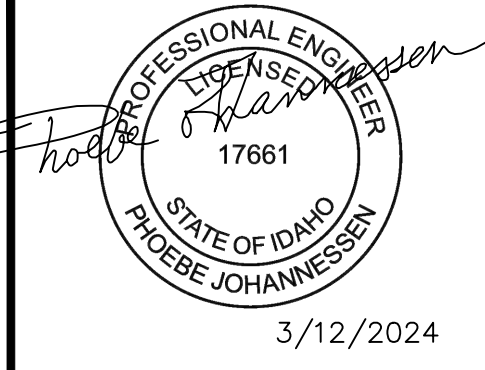
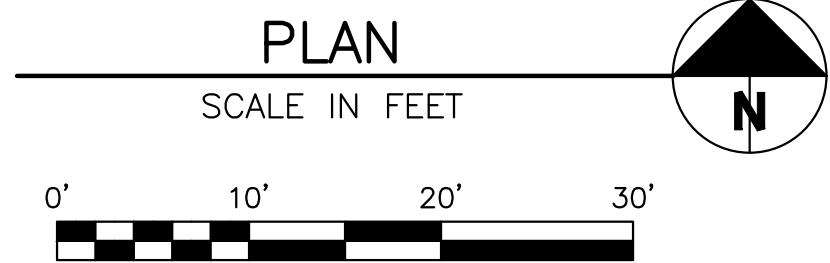
**NOTES**

1. INSULATION REQUIRED WHERE SEWER LINE BURY DEPTH IS LESS THAN 5'.

**2 STANDARD SEWER SERVICE CONNECTION DETAIL**  
SCALE: NONE

**UTILITY LEGEND**

- SEWER PROPOSED —
- SEWER CLEANOUT ●
- WATER PROPOSED —
- WATER METER PROPOSED ●



NO.	REVISIONS	DESCRIPTION	DATE	BY

**GALENA-BENCHMARK ENGINEERING**  
Civil Engineers & Land Surveyors  
100 Bell Drive  
Ketchikan, Idaho 83340  
(208) 725-9512  
www.benchmark-associates.com

**UTILITY PLAN**  
WARM SPRINGS RANCH LOT 33  
T4N, R17E, SEC 12, B.M., BLAINE COUNTY, IDAHO  
PREPARED FOR: MAGLEBY CONSTRUCTION

DRAWN BY:	SLS
DESIGNED BY:	SLS
CHECKED BY:	PLJ
DATE:	3/12/2024
PROJECT NO.:	22074

DRAWING NO.

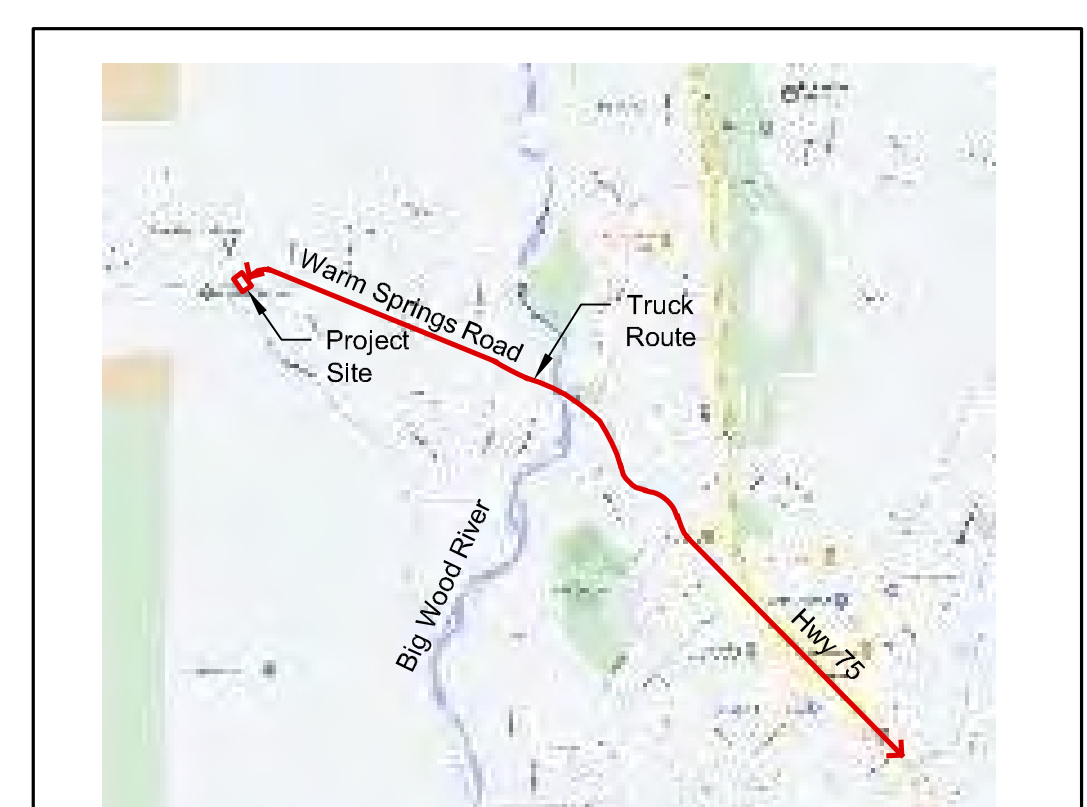
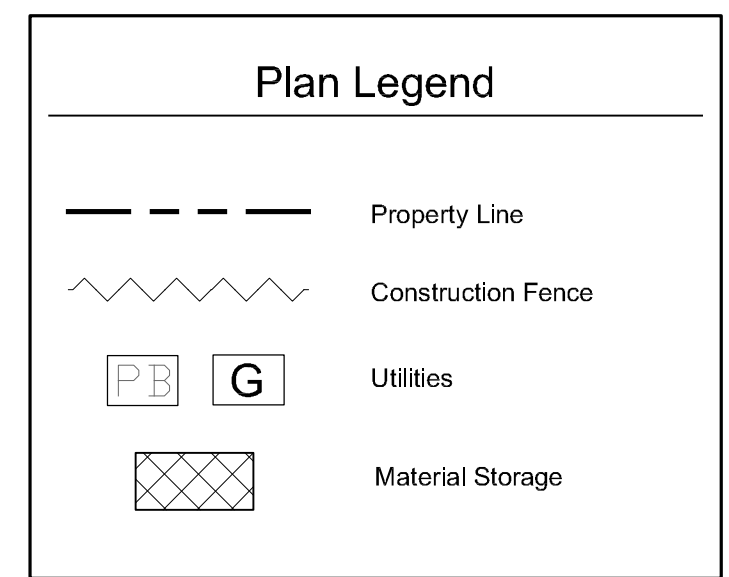
**C-2**

**General Notes**

1. Base map information taken from survey by Benchmark Associates dated 11/24/21 and from on-site information. Architectural information provided by Think Architecture dated 02/11/24. Contractor shall verify conditions in the field prior to construction.
2. Landscape architect is not responsible for any deviation from these plans, unless such changes are authorized by the landscape architect in writing.
3. All existing utilities are underground. All new utilities shall be underground.
4. Site serviced by City of Ketchum.

**Cut And Fill:**

Total Cut = 700 Cubic Yards  
Total Fill = 0 Cubic Yards  
Total Export = 700 Cubic Yards



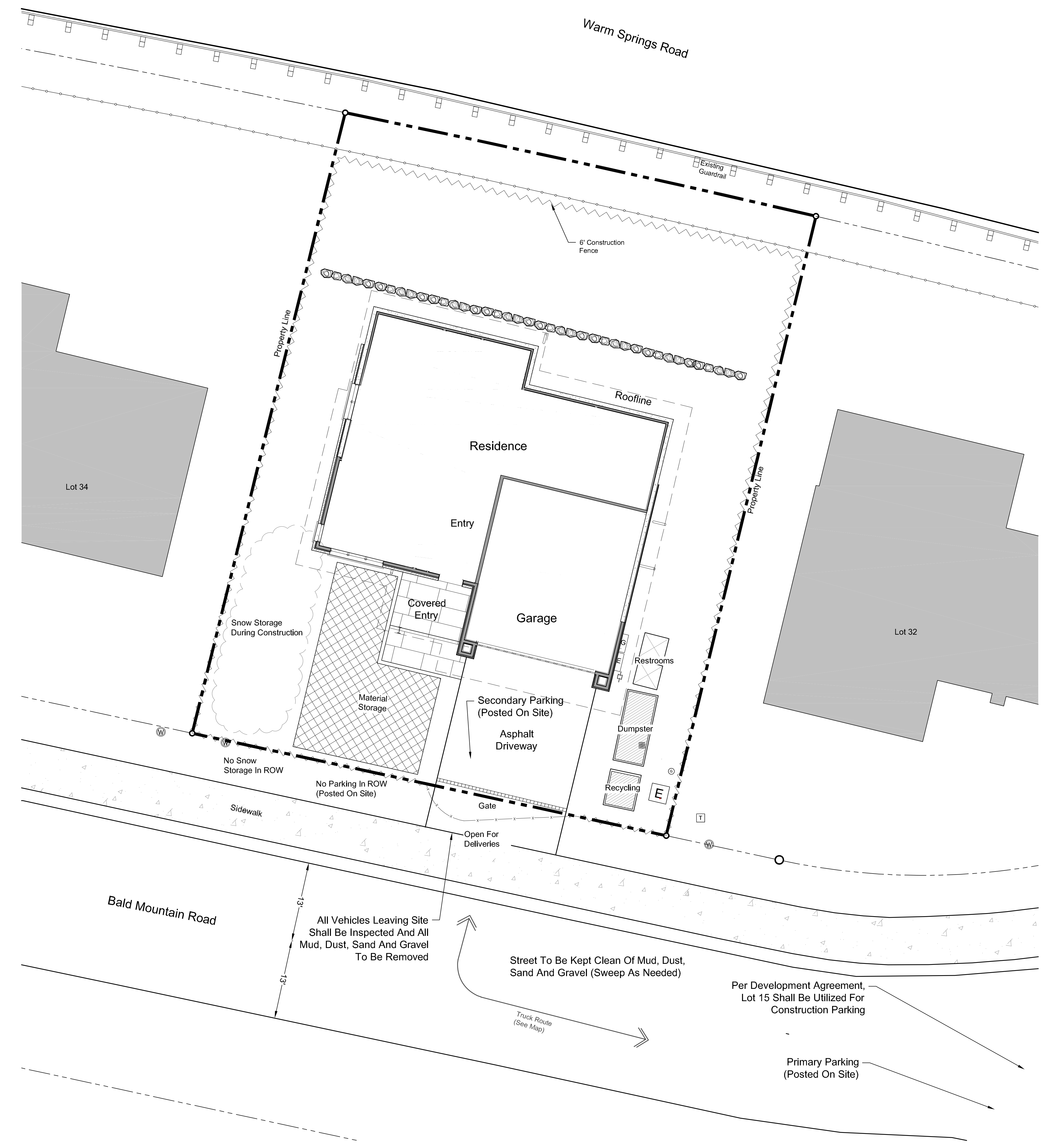
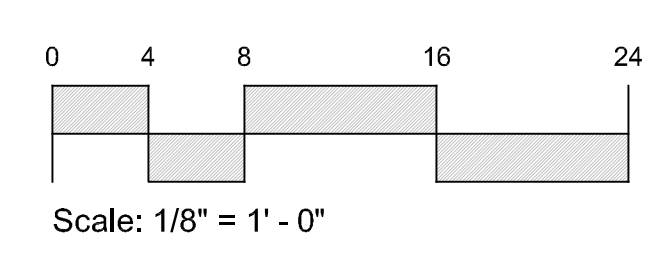
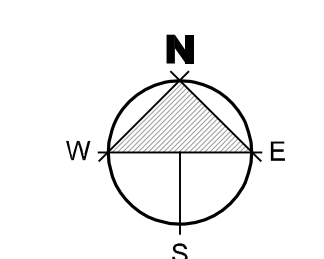
Truck Route Bald Mtn Road - Warm Springs Road - Hwy 75

**CONSTRUCTION ACTIVITY NOTES:**

- (1) Dust Control Using Water Truck as Needed.
- (2) No Job Shack/Trailer.
- (3) As Per The Development Agreement, Empty Lots Within WSRR Shall Be Used For Additional Construction Staging.
- (4) All Construction Traffic Shall Have Tires Inspected for Mud, Dust, Sand, and Gravel Prior to Leaving Site. Any Material Shall be Removed Prior to Entering City Streets.
- (5) Contractor is Responsible for Snow Removal of Site and Construction Parking.
- (6) All Neighbors In The Project Vicinity Shall be Provided Notice Of The Project, Schedule And The General Contractor's Contact Information In Advance Of Construction.
- (7) The Job Site Shall Be Kept In A Clean And Orderly Condition, Trash Shall Be Picked Up On The Site And Surrounding Areas On A Daily Basis, And Materials Shall Be Stored In Neat, Tidy Piles.
- (8) Manholes May Not Be Obstructed At Any Time. In Addition, Minimum Three Feet Clear Shall Be Maintained On Back And Sides Of Fire Hydrants, And Minimum 15 Feet Clear Shall Be Maintained On The Front, Street Side Of Fire Hydrants.
- (9) Speed Limits For Construction Vehicles Shall Be Limited To 15 MPH Within One Block Of The Construction Site, Unless Otherwise Determined Be The Ketchum Police Department.
- (10) Vehicle Parking And Material Storage During Construction Shall Not Restrict Or Obstruct Public Streets Or Access To Any Building. A Minimum 25 Foot Travel Lane For Emergency Vehicle Access Shall Be Maintained Clear And Unobstructed At All Times. All Required Fire Lanes, Including Within 15 Feet Of Fire Hydrants, Shall Be Maintained Clear And Unobstructed At All Times.
- (11) Contractor Is Responsible For Hauling Snow Off-site. No Snow Storage In R.O.W.



6' Construction Fence



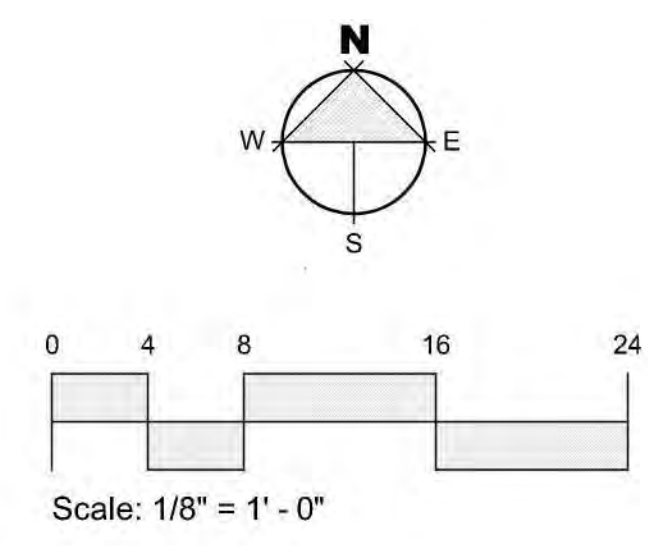
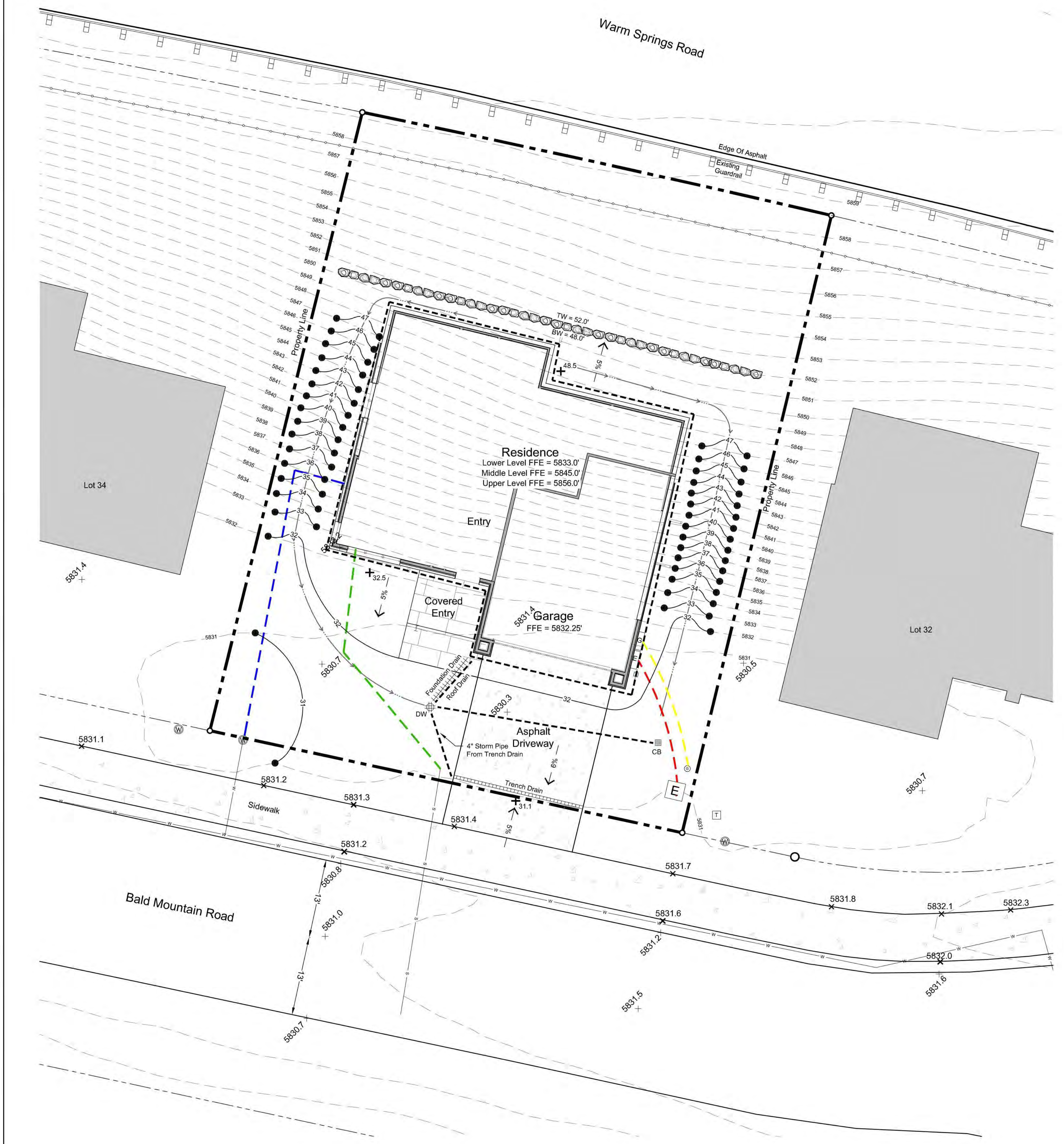
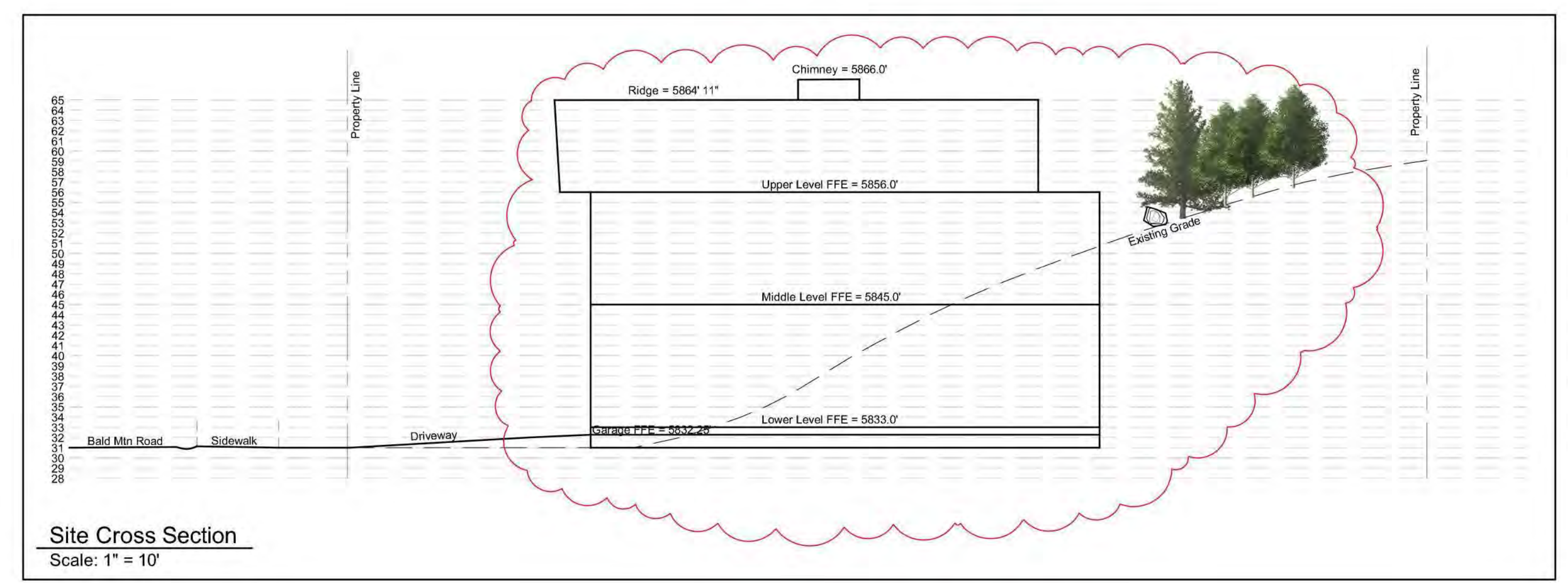
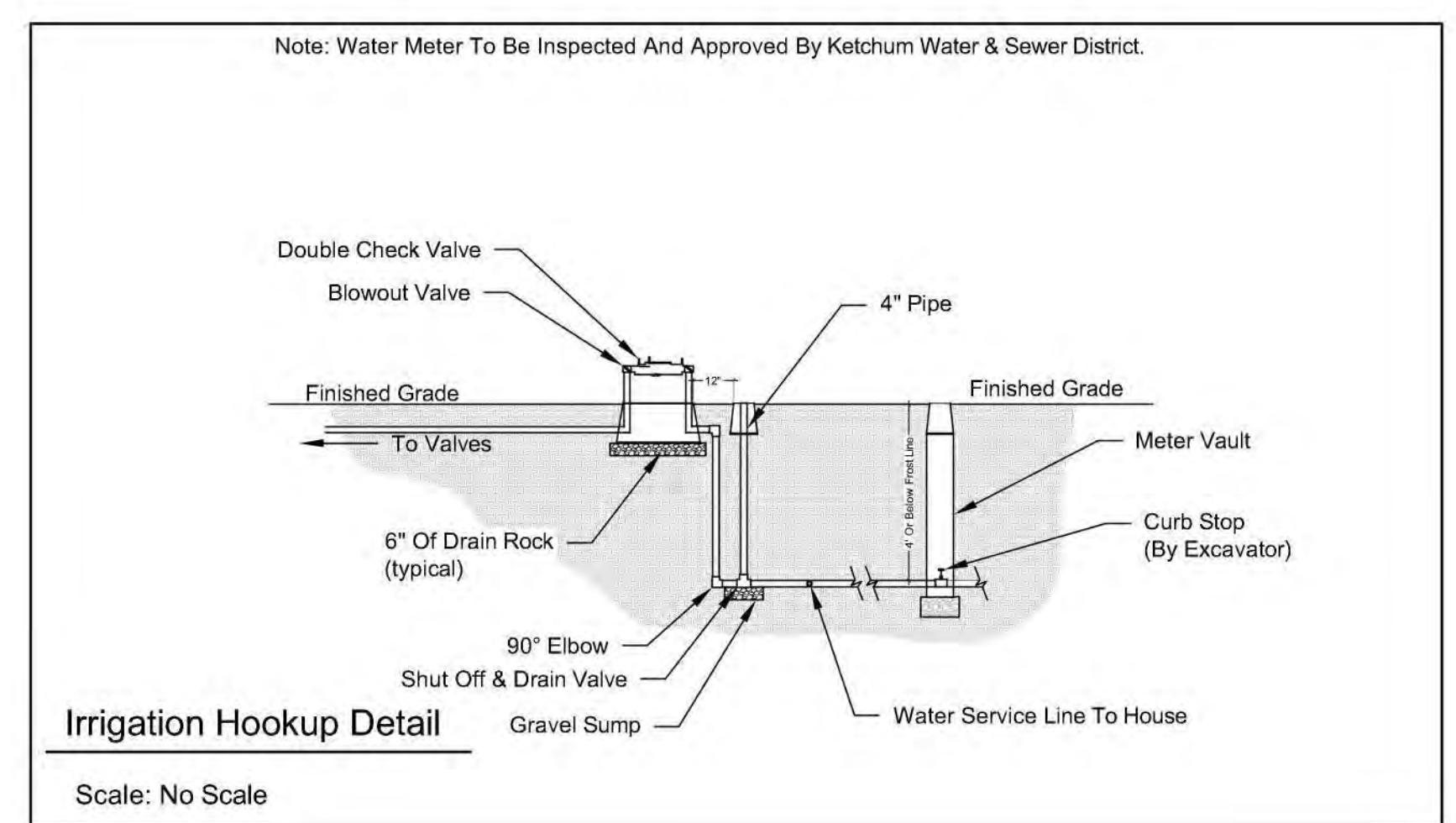
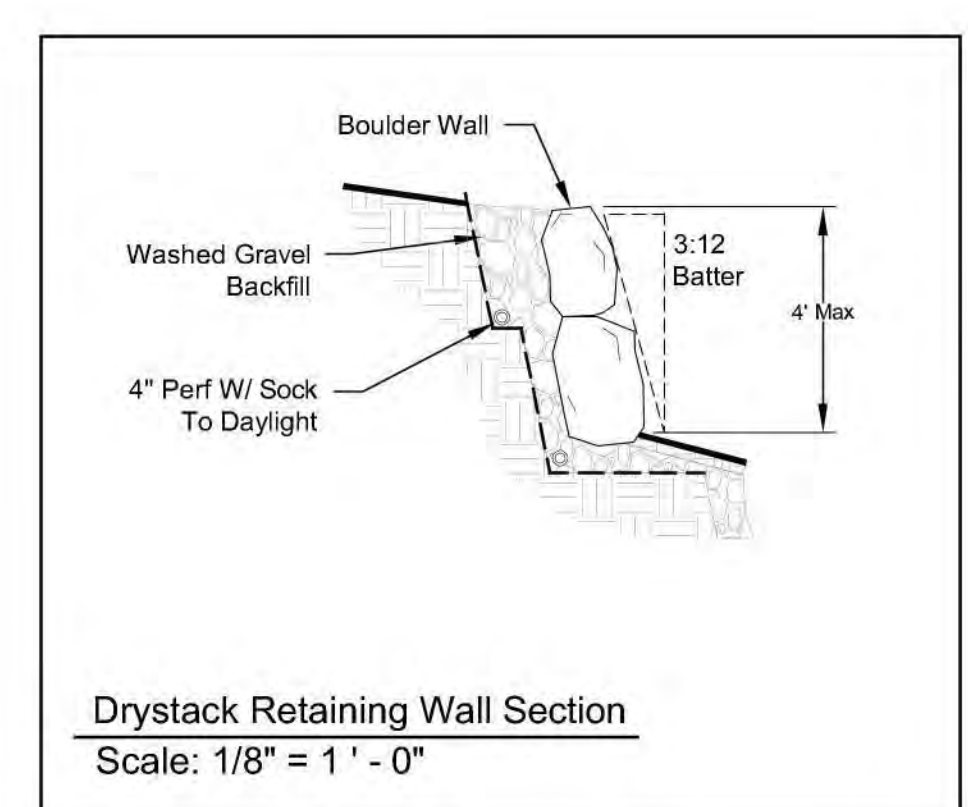
General Notes

1. Base map information taken from survey by Benchmark Associates dated 11/24/21 and from on-site information. Architectural information provided by Think Architecture dated 02/11/24. Contractor shall verify conditions in the field prior to construction.
2. Landscape architect is not responsible for any deviation from these plans, unless such changes are authorized by the landscape architect in writing.
3. All existing utilities are underground. All new utilities shall be underground.
4. Site serviced by City of Ketchum.

\*See Civil Plan (C1) For  
Site Grading And Drainage

Cut & Fill	
<b>Excavation:</b>	
Building/Garage:	700 Cu/Yds
Site:	0 Cu/Yds
<b>Total Cut:</b>	<b>700 Cu/Yds</b>
<b>Fill:</b>	
Site Landscape Fill:	0 Cu/Yds
Driveway:	0 Cu/Yds
<b>Total Fill:</b>	<b>0 Cu/Yds</b>
<b>Total Export:</b>	<b>700 Cu/Yds</b>

Plan Legend	
---	Property Line
- - - -	Existing Contour
X 92.7 (92.5)	Existing Spot Elevations
● 95	Proposed Contour
⊕	Landscape Drywell
■	Catch Basin
2% Slope	Proposed Drainage Direction With Slope Percentage
+ 92.5	Proposed Spot Elevations
	4" Perforated Footing Drain
---	4" Solid Drain Pipe (Roof & Downspouts)
⊗	Drystack Retaining Wall
—w—	Water Line
---	Electrical Service
---	Gas Service
---	Water Service
---	Sewer Service





General Notes

1. Base map information taken from survey by Benchmark Associates dated 11/24/21 and from on-site information. Architectural information provided by Think Architecture dated 02/11/24. Contractor shall verify conditions in the field prior to construction.
2. Landscape architect is not responsible for any deviation from these plans, unless such changes are authorized by the landscape architect in writing.
3. All existing utilities are underground. All new utilities shall be underground.
4. Site serviced by City of Ketchum.

Plan Legend

- Property Line
- - - PUE And Snow Storage Easement
- Proposed Contour
- 4' Fence
- ⊕ Landscape Drywell
- ▨ Concrete Pavers
- ▩ Asphalt
- ▧ Gravel

Irrigation Calculation

(Lot = ± .22 Acres)

Description	Square Footage
Natural Grass	5,300 sq.ft.
Planter Beds	100 sq.ft.
<b>Total Irrigated Area</b>	<b>5,400 sq.ft.</b>
	+/- .12 Acres

Snow Storage

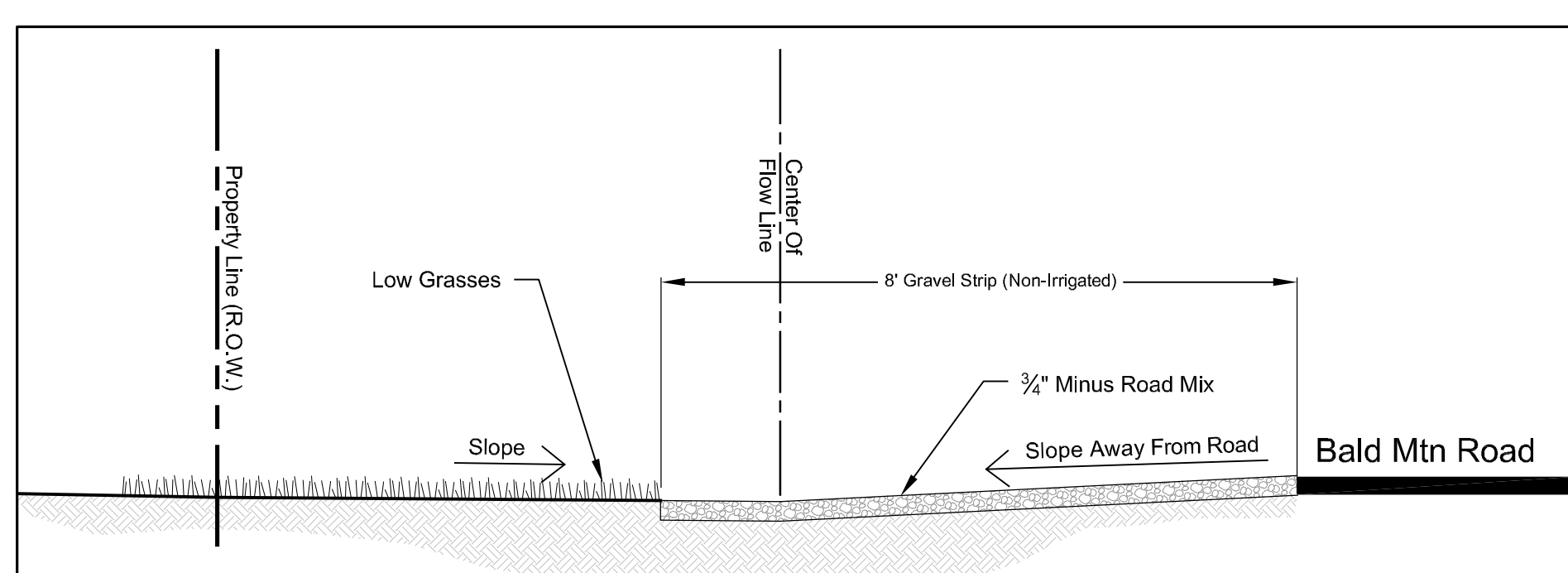
Driveway Area:	765 sq ft
Walkway Area:	72 sq ft x .30%
<b>Required Area:</b>	<b>251 sq ft</b>
<b>Snow Storage Provided:</b>	<b>275 sq ft</b>

Per Development Agreement:

- 1) Landscaping Shall Be Drought Tolerant
- 2) Irrigation System Shall Be Equipped With Shut Off Valve Not Impacting Water Service To Residence
- 3) Irrigation System Shall Be Water Efficient In Ground Components. Controller With Rain/Freeze Sensor.
- 4) Isolate Zones Per Plant Type And Exposure.

Landscape Notes:

- 1) The Area 12" Horizontal From The Base Of A Wall Shall Be Finished In A Way To Prevent Any Vegetation Growing, And For Vegetative Debris To Be Easily Removed.
- 2) Any Trees With Crowns Closer Than 30 Feet To Any Structure Shall Be Limbed Up A Minimum Of 6' From Ground Level.
- 3) Any Tree Crowns Shall Be Pruned To Have A Minimum 10' Horizontal Clearance From Any Structure.



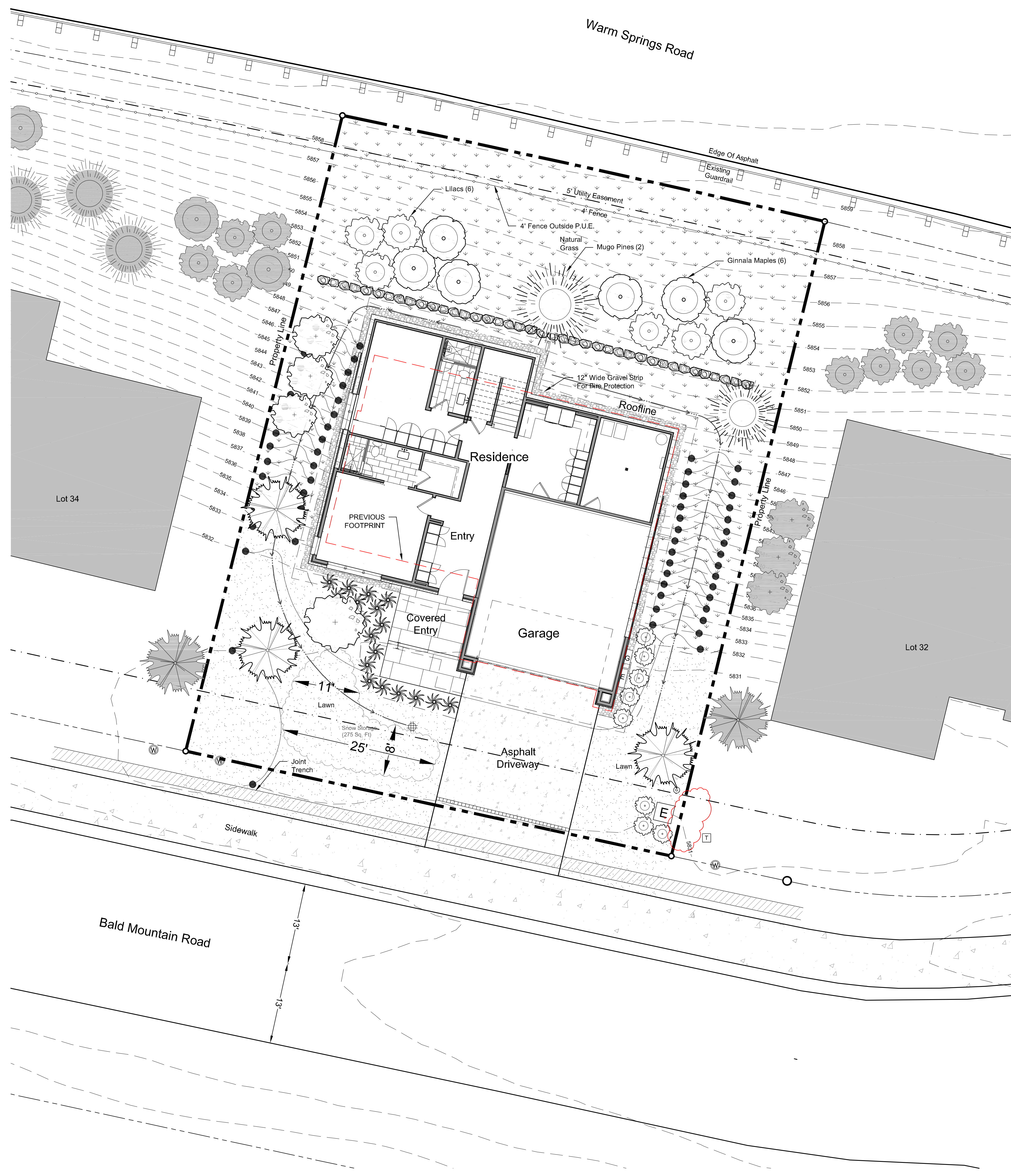
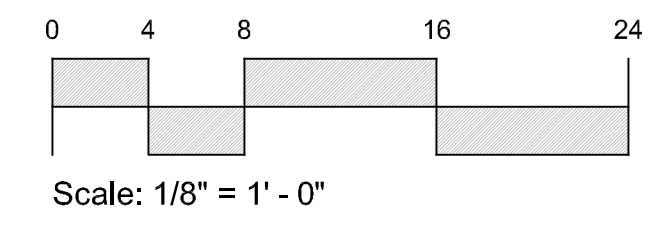
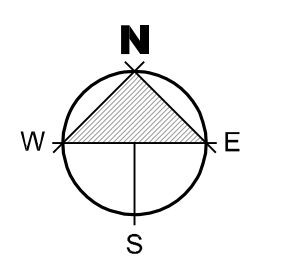
Note: No Sprinkler Heads In ROW.

Cross Section A - Right Of Way Scale: 1/2" = 1' - 0"

- A. Material shall be pervious/permeable to allow drainage
- B. Surface must allow for vehicle parking and be consistent along the entire property frontage
- C. Material within the first eight (8) feet from edge of asphalt shall be distinct from driveway and rest of property in order to visually appear to be available for parking
- D. Grading and drainage improvements as required by City Engineer - Minimum 5% slope
- E. No obstructions, such as boulders or berms
- F. No buried irrigation systems within the first eight (8) feet from the edge of asphalt (Street). Subsurface irrigation lines are permitted beyond the first eight (8) feet, however pop up heads are not permitted anywhere in the ROW.
- G. No live plant material within the first eight (8) feet from edge of asphalt (Street). Low ground cover plant material, such as turf grass, is permitted beyond the first eight (8) feet. Drought-tolerant species is preferred.
- H. No snow-melt system.

Plant Legend

Qty.	Common Name	Botanical Name	Size
<b>Conifer Trees</b>			
2	Mugo Pine	<i>Pinus mugo</i>	12'-16'
3	Subalpine Fir	<i>Abies lasiocarpa</i>	12'-14'
<b>Deciduous Trees</b>			
4	Aspen	<i>Populus tremuloides</i>	12'-14'
6	Ginnala Maple	<i>Acer spp.</i>	20 gal. (6')
14	<b>Deciduous Shrubs</b>		5-20 gal.
	Lilac	<i>Syringa spp.</i>	
	Alpine Currant	<i>Ribes alpinum</i>	
	Burning Bush	<i>Euonymus alatus</i>	
	Cotoneaster	<i>Cotoneaster spp.</i>	
	Dogwood	<i>Cornus spp.</i>	
	Mockorange	<i>Philadelphus spp.</i>	
	Ninebark	<i>Physocarpus spp.</i>	
	Snowberry	<i>Symphoricarpos spp.</i>	
	Spirea	<i>Spirea spp.</i>	
<b>Ornamental Grasses</b>			
30	Blue Fescue	<i>Festuca ovina glauca</i>	Flats
	Ribbon Grass	<i>Phalaris arundinacea 'Picata'</i>	
	Karl Foerster Feather Reed	<i>C. arundinacea 'Karl Foerster'</i>	
<b>Grasses &amp; Wildflowers</b>			
3,700 Sq.Ft.	Hard Fescue	<i>Festuca trachyphylla</i>	Sod or Seed
(20%)	Cheering Fescue	<i>Festuca rubra var. commutata</i>	
(20%)	Sheep Fescue	<i>Festuca ovina</i>	
(20%)	Creeching Red Fescue	<i>Festuca rubra</i>	
(20%)	Wildflowers	<i>Various</i>	
<b>Grasses - Lawn Mix</b>			
1,600 Sq.Ft.	Tall Fescue	<i>Festuca arundinacea</i>	Sod or Seed
(33%)	Hard Fescue	<i>Festuca trachyphylla</i>	
(33%)	Cheering Fescue	<i>Festuca rubra var. commutata</i>	



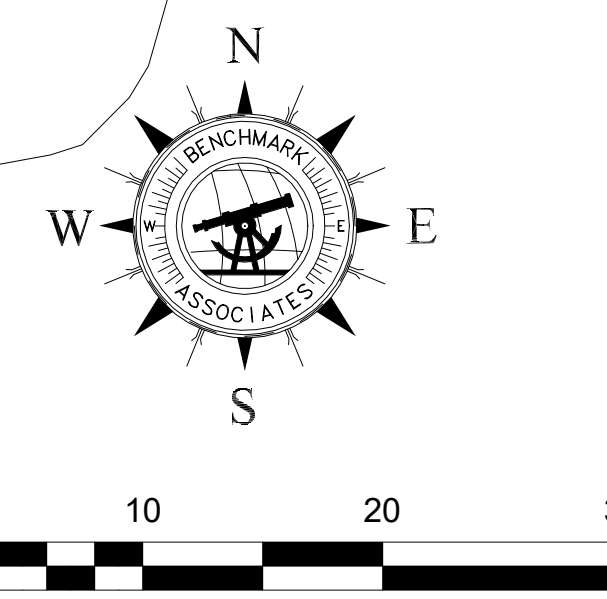


REAR FENCE EXAMPLE

WARM SPRINGS ROAD

SLOPE FINISH GRADE MIN 6" IN 10'-0" FROM BUILDING EDGE, FULL PERIMETER

EXISTING VEHICULAR GAUDDRAIL  
PROPERTY LINE  
5'-0" P.U.E.  
4'-0" WOOD SLAT FENCE OUTSIDE OF P.U.E.



MECHANICAL CONDENSER LOCATION

SLOPE FINISH GRADE MIN 6" IN 10'-0" FROM BUILDING EDGE, FULL PERIMETER

TRASH TO BE STORED WITHIN THE GARAGE

GAS AND ELECTRIC METERS, PROVIDE CLEARANCE AS REQUIRED

EXISTING TRANSFORMER TO BE LANDSCAPE SCREENED

20'-0" WIDE DRIVE AT SIDEWALK

TRASH TO BE STORED WITHIN THE GARAGE

NOTE:  
SEE CIVIL DOCUMENTS FOR UTILITIES  
SEE LANDSCAPE FOR GRADING

SITE PLAN  
1/8" = 1'-0"

SITE PLAN GENERAL NOTES

1. CONTRACTOR TO VERIFY ALL EXISTING UTILITIES AND LOCATIONS. PROTECT AS REQUIRED.
2. CONTRACTOR TO PROTECT EXISTING TREES TO BE PRESERVED.
3. UTILITY TRENCHING TO BE CONDUCTED IN A WAY TO NOT DISTURB EXISTING TREES.
4. ANY TREES LOCATED WITHIN 10'-0" HORIZONTAL OF THE STRUCTURE MUST BE MIN. 10'-0" HIGHER THAN THE ADJACENT STRUCTURE OR WILL NEED TO BE REMOVED IN ACCORDANCE TO THE FIRE CODE AS DEFENSIBLE SPACE.
5. ALL DEAD WOOD AND COMBUSTIBLE MATERIALS WITHIN 30'-0" OF THE STRUCTURE TO BE REMOVED BY CONTRACTOR AS PER THE FIRE CODE DEFENSIBLE SPACES.
6. INSTALL EROSION CONTROL MAT ON ALL SLOPES 3:1 AND GREATER.

DATUM:

LEVEL 1 100'-0" = 5,833.00 USGS  
LEVEL 2 112'-0" = 5,845.00 USGS  
LEVEL 3 124'-0" = 5,856.00 USGS

VERIFY FINISHED FLOOR HEIGHT WITH FINAL CIVIL ENGINEER'S DRAWINGS.

SITE PLAN KEY NOTES

LOT SIZE:

AREA = .19 ACRES OR 8,429 SQ. FT.  
ZONE: GR-1  
HEIGHT LIMIT: 35' MAX

BUILDING PAD:  
AREA = 3,384 SQ. FT.

PROPOSED BUILDING FOOTPRINT:  
AREA = 2,579 SQ. FT. - EQUALS 30%  
LOT COVERAGE ALLOWED: 35%, 2,950 SQ. FT.

- RECESSED LIGHT LOCATION
- WALL SCONCE LOCATION

LEGAL DESCRIPTION:  
LOT 33 BALD MOUNTAIN ROAD

SITE NOTES:

1. ALL CONSTRUCTION TO BE DONE ACCORDING TO TOWN STANDARDS AND SPECIFICATIONS.
2. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.
3. CONTRACTOR TO VERIFY PROPER DRAINAGE AWAY FROM HOUSE.
4. PROVIDE DRAINAGE SWALE FROM HIGH TO LOW SIDE OF HOUSE.
5. ZONING: GR-1
6. CONTRACTOR TO VERIFY EXISTING GRADES/TOPOGRAPHY PRIOR TO EXCAVATION AND/OR CONSTRUCTION. VERIFY DRIVEWAY DOES NOT EXCEED 10% GRADE.
7. EXISTING TOPOGRAPHY SHOWN IS BASED ON ROAD DESIGN GRADES & SITE OBSERVATIONS. CONTRACTORS/OWNER TO VERIFY.
8. HEIGHT LIMIT OF 35'-0" OVER EXISTING GRADE. 5'-0" ALLOWANCE FOR CHIMNEYS AND MECHANICAL.
9. SITE SETBACKS TO BE BASED ON 1/3 OF THE BUILDING HEIGHT

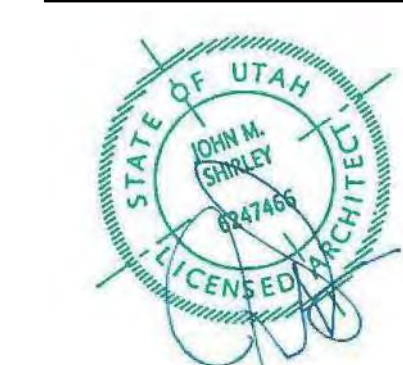


Architecture  
Interior Design  
Landscape Architecture  
Land Planning  
Construction Management

7927 So. Highpoint Parkway, Suite 300  
Scary, Utah 84094  
ph. 801.269.0555  
fax 801.269.1425  
www.thinkaec.com

The designs shown and described herein including all technical drawings, graphic representation & models thereof, are proprietary & can not be copied, duplicated, or commercially reproduced in whole or in part without the sole and express written permission from THINK Architecture, Inc.

These drawings are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors, and office personnel only in accordance with this notice.



WARM SPRINGS RESIDENCE #33

170 BALD MOUNTAIN ROAD  
KETCHUM, IDAHO 83340

PROJECT NC22023.33

DATE: 2023.11.06

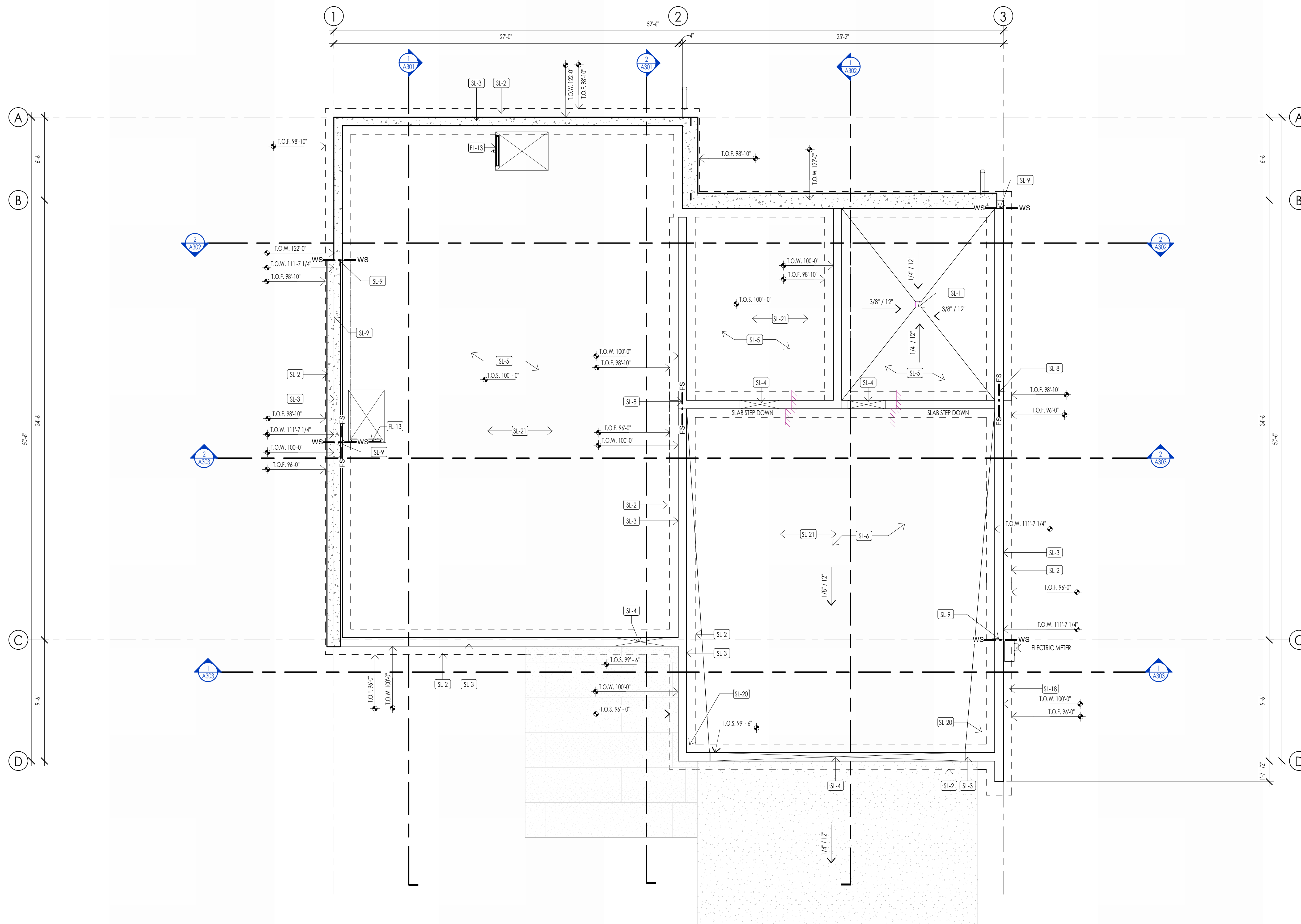
REVISIONS:

SHEET TITLE:  
SITE PLAN

SHEET NUMBER:  
A101

© 2021 THINK ARCHITECTURE, INC.

PERMIT SET



### FOUNDATION PLAN LEGEND

HATCH PATTERN	DESCRIPTION
[Hatch Pattern]	POURED IN PLACE CONCRETE
[Hatch Pattern]	2" RIGID FOAM INSULATION TO EXTEND FROM BOTTOM OF SLAB DOWN TO FOOTING AND HORIZONTALLY UNDER SLAB 4'-0" MIN. AT PERIMETER OF FOUNDATION.

### FOUNDATION PLAN SYMBOLS LEGEND

SYMBOL	DESCRIPTION
FS	FOOTING STEP
WS	WALL STEP
T.O.F.	TOP OF FOOTING ELEVATION
T.O.W.	TOP OF WALL ELEVATION
T.O.S.	TOP OF SLAB ELEVATION
T.O.PIER	TOP OF PIER ELEVATION

- ### FOUNDATION GENERAL NOTES
- COORDINATE ARCHITECTURAL FOUNDATION PLAN WITH STRUCTURAL FOUNDATION PLAN. CONTRACTOR SHALL REPORT ANY DISCREPANCIES IN THE PLANS TO THE ARCHITECT PRIOR TO COMMENCING RELATED WORK.
  - COORDINATE MECHANICAL, ELECTRICAL, & PLUMBING PRIOR TO CONSTRUCTION OF FOOTINGS & FOUNDATION.
  - VERIFY ELEVATIONS OF FOUNDATION WALLS & FOOTINGS. COORDINATE WITH SITE PLAN & PROPOSED CONTOURS.
  - CONCRETE FLOOR SLABS, EXCEPT THOSE IN UNHEATED ACCESSORY STRUCTURES, SHALL HAVE A VAPOR RETARDER CONSISTING OF 6 MIL POLYETHYLENE (OR APPROVED EQUAL) VAPOR RETARDER WITH JOINTS LAPPED NOT LESS THAN 6 INCHES PLACED BETWEEN THE CONCRETE FLOOR SLAB & THE BASE COURSE OF THE PREPARED SUB-GRADE WHERE NO BASE COURSE EXISTS.
  - FOUNDATION REBAR INSPECTIONS ARE REQUIRED FOR FOUNDATION WALLS OVER 8 FEET HIGH. FORMS ARE NOT TO BE INSTALLED ON ONE SIDE UNTIL AFTER THE REBAR HAS BEEN INSPECTED.

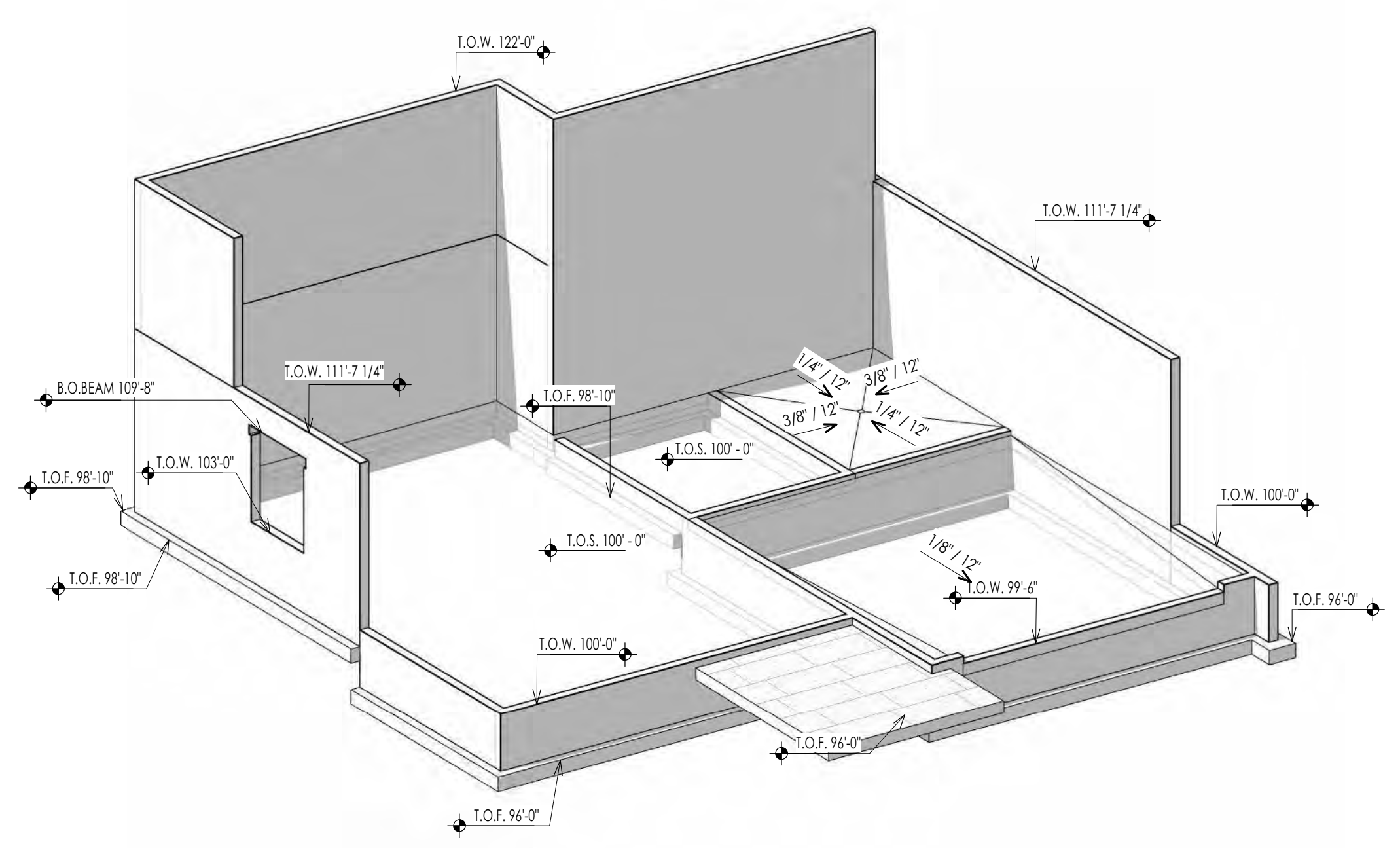
### DATUM ELEVATIONS

ARCHITECTURE	CIVIL	LEVEL
87'-6"	-	LEVEL 00 - TOP OF SLAB
88'-6"	-	LEVEL 0 - TOP OF SLAB
99'-0"	-	TOP OF SLAB AT FRONT OF GARAGE
100'-0"	-	LEVEL 1 - TOP OF PLYWOOD

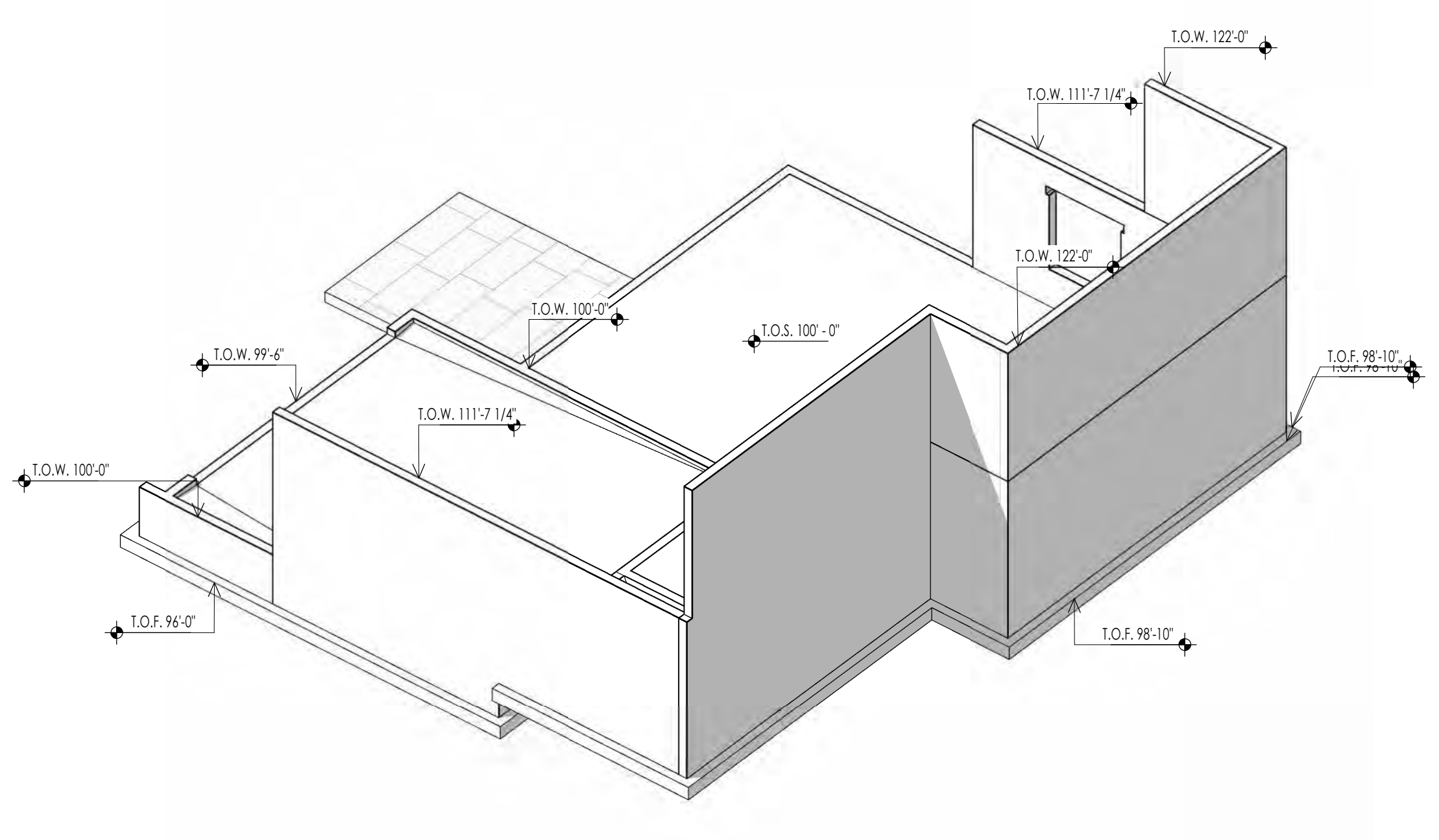
### FOUNDATION PLAN KEYNOTES

KEYNOTES
FL-13 PROVIDE "CHLITER" KERD-LINE LINEAR TRENCH DRAIN AGAINST BENCH. INTERIOR DESIGNER TO PROVIDE DRAIN COVER SPEC.
SL-1 CONTRACTOR TO COORDINATE LOCATION OF FLOOR DRAIN - SLOPE SLAB TOWARDS DRAIN AS REQUIRED
SL-2 CAST IN PLACE FOOTINGS TO BEAR ON UNDISTURBED SOIL OR ENG. COMPACTED FILL - SEE STRUCTURAL GENERAL NOTES & PROJECT MANUAL
SL-3 CAST IN PLACE FOUNDATION WALLS WITH WATER PROOFING AS NOTED - SEE STRUCTURAL NOTES AND DETAILS
SL-4 PROVIDE BLOCKOUT AT FOUNDATION WALL AT DOOR OPENINGS AND POUR SLAB OVER TOP OF WALL - SEE DETAILS
SL-5 CAST IN PLACE INTERIOR CONCRETE SLABS TO BE 4" CONCRETE SLAB REINFORCED WITH FIBER MESH OVER 4" GRAVEL BASE - SEE STRUCTURAL NOTES
SL-6 CAST IN PLACE GARAGE CONCRETE SLABS TO BE 5" CONCRETE SLAB OVER 4" GRAVEL BASE AND FINISH AS NOTED - SEE STRUCTURAL NOTES
SL-8 CONTRACTOR TO COORDINATE FOOTING STEPS TO ASSURE REQUIRED FROST PROTECTION AT EACH FOOTING - NOTIFY ARCHITECT IF FOOTING ELEVATIONS NEED TO CHANGE
SL-9 CONTRACTOR TO COORDINATE FOUNDATION WALL STEPS WITH FINAL GRADING SPECIFIED AND NOTIFY ARCHITECT OF CHANGES PRIOR TO POURING CONCRETE FOUNDATION
SL-18 PROVIDE A LIFER GROUND. AN ELECTRICAL BONDING BY A LEAST 2" OF CONCRETE SHALL BE LOCATED NEAR THE BOTTOM OF THE CONCRETE FOUNDATION SYSTEM AND SHALL BE IN DIRECT CONTACT WITH THE EARTH, CONSISTING OF AT LEAST 20 FEET OF BARE ELECTRICALLY CONDUCTIVE ROD AT LEAST 1/2 INCH IN DIAMETER OR BARE COPPER CONDUCTOR NOT SMALLER THAN 4 AWG. (I.R.C. E350.1.2 AND N.E.C. 250.50)
SL-20 WARP SLAB AT GARAGE DOORS TO PROVIDE DRAINAGE TOWARD THE DOOR OPENING
SL-21 PROVIDE RIGID FOAM INSULATION BELOW ENTIRE FLOOR SLAB AT LEVEL 0 - SEE SCHEDULE FOR R VALUES - PROVIDE SILL PAPER FOR INSULATION AND VAPOR BARRIER ON TOP OF RIGID INSULATION. TAPE ALL SEAMS AND INSTALL PER MANUF. AND SPECS.

LEVEL 1 - SLAB PLAN  
1/4" = 1'-0"



FOUNDATION ISOMETRIC A  
A103



FOUNDATION ISOMETRIC B  
A103

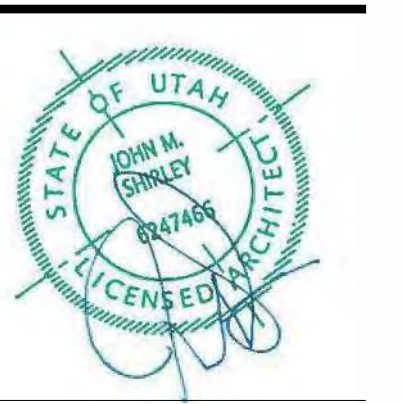


Architecture  
Interior Design  
Landscape Architecture  
Land Planning  
Construction Management

7927 So. Highpoint Parkway, Suite 300  
Scary, Utah 84094  
ph. 801.269.0555  
fax 801.269.1425  
www.thinkaec.com

The designs shown and described herein including all technical drawings, graphic representation & models thereof, are proprietary & can not be copied, duplicated, or commercially reproduced in whole or in part without the sole and express written permission from THINK Architecture, Inc.

These drawings are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors, and office personnel only in accordance with this notice.



WARM SPRINGS RESIDENCE #33

170 BALD MOUNTAIN ROAD  
KETCHUM, IDAHO 83340

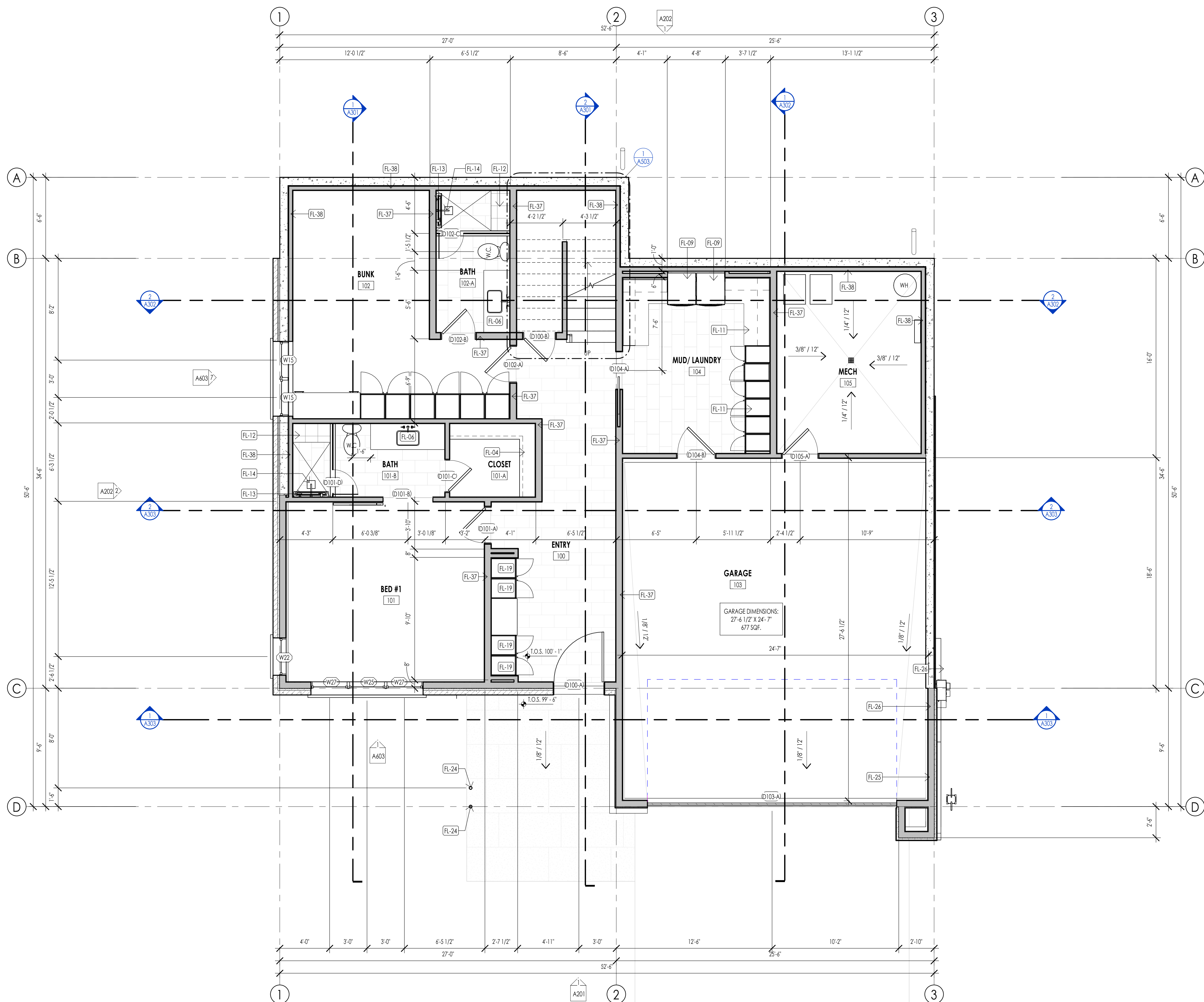
PROJECT NC22023.33  
DATE: 2023.11.06

REVISIONS:

SHEET TITLE:  
FOUNDATION PLAN

SHEET NUMBER:  
A103

© 2021 THINK ARCHITECTURE, INC.



FLOOR PLAN LEGEND			
HATCH PATTERN	DESCRIPTION	HATCH PATTERN	DESCRIPTION
[Hatch Pattern]	POURED IN PLACE CONCRETE WALL	[Hatch Pattern]	CARPET FINISH
[Hatch Pattern]	CMU BLOCK WALL	[Hatch Pattern]	TILE FINISH
[Hatch Pattern]	STONE VENEER	[Hatch Pattern]	EXTERIOR CONCRETE SLABS
[Hatch Pattern]	METAL STUD WALL		
[Hatch Pattern]	WOOD STUD WALL		

- FLOOR PLAN GENERAL NOTES**
- ALL DIMENSIONS ARE TO INTERIOR FACE-OF-STUD (F.O.S.) UNLESS NOTED OTHERWISE.
  - CEILING HEIGHTS MEASURED FROM PLYWOOD OR CONCRETE - SEE SECTIONS.
  - REFER TO ENLARGED PLANS FOR ALL UNIT DIMENSIONS, WINDOW TYPES, DOORS AND WALLS.
  - REFER TO ENLARGED PLANS FOR ALL DECKS/PATIOS.
  - COORDINATE WITH ALL ENLARGED PLANS FOR ADDITIONAL INFORMATION AND DETAILS.
  - ALL TOPPING SLABS MUST BE POURED AFTER ROOF IS COMPLETE AND BUILDING IS DRIED IN.
  - SEE SHEET A202 FOR PROJECT GENERAL NOTES AND SHEET A203 FOR PROJECT KEYNOTES. REVIEW ALL NOTES PRIOR TO CONSTRUCTION.
  - COORDINATE WITH STRUCTURAL FRAMING PLANS AND SHEAR WALL PLANS FOR LOCATIONS OF COLUMNS, BEAMS, SHEAR WALLS, ETC.
  - COORDINATE WITH BUILDER/OWNER FOR ALL INTERIOR FINISHES.
  - COORDINATE WITH ELECTRICAL DRAWINGS FOR ALL LIGHTING, POWER AND DATA REQUIREMENTS.
  - ALL EXTERIOR WALLS ARE ASSUMED TO BE 2X4 STUD WALLS UNLESS SHOWN/NOTED OTHERWISE.
  - ALL INTERIOR WALLS ARE ASSUMED TO BE 2X4 STUD WALLS UNLESS SHOWN/NOTED OTHERWISE.
  - ALL ROOF TRUSSES TO HAVE RAISED ENERGY HEEL CONSTRUCTION TO ALLOW FOR FULL DEPTH INSULATION OVER EXTERIOR WALLS (COORDINATE INSULATION REQUIREMENTS WITH RESCHECKS).

**FLOOR PLAN KEYNOTES**

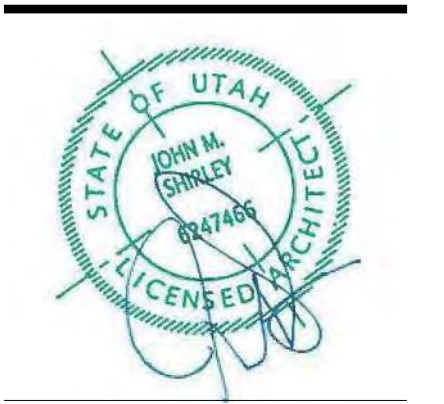
KEYNOTES	
FL-04	CLOSET SHELVING/ ROD - PER INTERIOR DESIGNER
FL-06	BATHROOM SINK - VANITY PER INTERIOR DESIGNER
FL-09	STACKED WASHER AND DRYER. CONTRACTOR TO COORDINATE WITH MECHANICAL AND ELECTRICAL
FL-11	CABINET SYSTEM/SHELVING PER INTERIOR DESIGNER
FL-12	PROVIDE SHOWER BENCH AS PER OWNER/ INTERIOR DESIGNER
FL-13	PROVIDE "SCHLITZ" KERDOLINE LINEAR TRENCH DRAIN AGAINST BENCH. INTERIOR DESIGNER TO PROVIDE DRAIN COVER SPEC.
FL-14	SHOWER HEAD PER INTERIOR DESIGNER
FL-19	BUILT IN MUD/GEAR CABINETS AS PER INTERIOR DESIGNER
FL-24	STRUCTURAL HOLLOW COLUMNS AS PER STRUCT.
FL-25	PROVIDE HOT/COLD HOOK UP
FL-26	PROVIDE 50 AMP EV CONNECTION POINT
FL-37	2X4 STUD WALL ROUGH FRAMING. 16" O.C. U.N.O. SEE DETAILS.
FL-38	2X4 BASEMENT STUD FURRING WALL. 16" O.C. SEE DETAILS.



**Think Architecture**  
 Architecture  
 Interior Design  
 Landscape Architecture  
 Land Planning  
 Construction Management

7927 So. Highpoint Parkway, Suite 300  
 Sandy, Utah 84094  
 ph. 801.269.0555  
 fax. 801.269.1425  
 www.thinkaia.com

The designs shown and described herein including all technical drawings, graphic representation & models thereof, are proprietary & can not be copied, duplicated, or commercially reproduced in whole or in part without the sole and express written permission from THINK Architecture, Inc.  
 These drawings are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors, and office personnel only in accordance with this notice.



WARM SPRINGS RESIDENCE #33

170 BALD MOUNTAIN ROAD  
 KETCHUM, IDAHO 83340

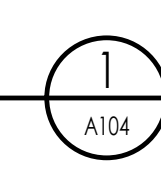
PROJECT NC22023.33  
 DATE: 2023.11.06  
 REVISIONS:

SHEET TITLE:  
 LEVEL 1 FLOOR PLAN

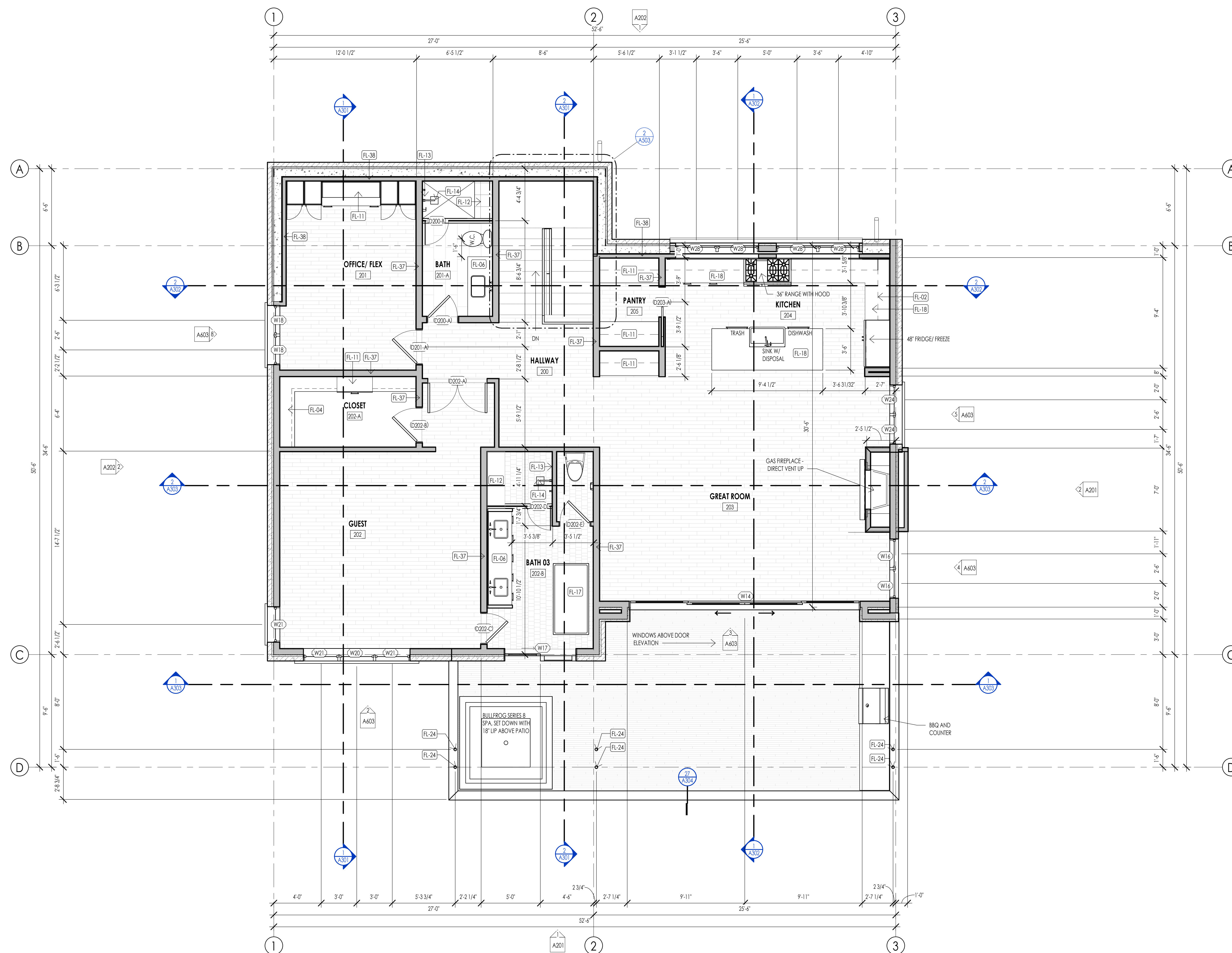
SHEET NUMBER:  
**A104**

© 2023 THINK ARCHITECTURE, INC.

LEVEL 1 - FLOOR PLAN  
 1/4" = 1'-0"



PERMIT SET



LEVEL 2 - FLOOR PLAN  
1/4" = 1'-0"

FLOOR PLAN LEGEND			
HATCH PATTERN	DESCRIPTION	HATCH PATTERN	DESCRIPTION
[Hatch Pattern]	POURED IN PLACE CONCRETE WALL	[Hatch Pattern]	CARPET FINISH
[Hatch Pattern]	CMU BLOCK WALL	[Hatch Pattern]	TILE FINISH
[Hatch Pattern]	STONE VENEER	[Hatch Pattern]	EXTERIOR CONCRETE SLABS
[Hatch Pattern]	METAL STUD WALL		
[Hatch Pattern]	WOOD STUD WALL		

- ### FLOOR PLAN GENERAL NOTES
- ALL DIMENSIONS ARE TO INTERIOR FACE-OF-STUD (F.O.S.) UNLESS NOTED OTHERWISE.
  - CEILING HEIGHTS MEASURED FROM FLYWOOD OR CONCRETE - SEE SECTIONS
  - REFER TO ENLARGED PLANS FOR ALL LINT DIMENSIONS, WINDOW TYPES, DOORS AND WALLS.
  - REFER TO ENLARGED PLANS FOR ALL DECKS/PATIOS.
  - COORDINATE WITH ALL ENLARGED PLANS FOR ADDITIONAL INFORMATION AND DETAILS.
  - ALL TOPPING SLABS MUST BE POURED AFTER ROOF IS COMPLETE AND BUILDING IS DRIED IN.
  - SEE SHEET A002 FOR PROJECT GENERAL NOTES AND SHEET A003 FOR PROJECT KEYNOTES. REVIEW ALL NOTES PRIOR TO CONSTRUCTION.
  - COORDINATE WITH STRUCTURAL FRAMING PLANS AND SHEAR WALL PLANS FOR LOCATIONS OF COLUMNS, BEAMS, SHEAR WALLS, ETC.
  - COORDINATE WITH BUILDER/OWNER FOR ALL INTERIOR FINISHES
  - COORDINATE WITH ELECTRICAL DRAWINGS FOR ALL LIGHTING, POWER AND DATA REQUIREMENTS.
  - ALL EXTERIOR WALLS ARE ASSUMED TO BE 2X6 STUD WALLS UNLESS SHOWN/NOTED OTHERWISE.
  - ALL INTERIOR WALLS ARE ASSUMED TO BE 2X4 STUD WALLS UNLESS SHOWN/NOTED OTHERWISE.
  - ALL ROOF TRUSSES TO HAVE RAISED ENERGY HEEL CONSTRUCTION TO ALLOW FOR FULL DEPTH INSULATION OVER EXTERIOR WALLS (COORDINATE INSULATION REQUIREMENTS WITH RESCHECKS).

### FLOOR PLAN KEYNOTES

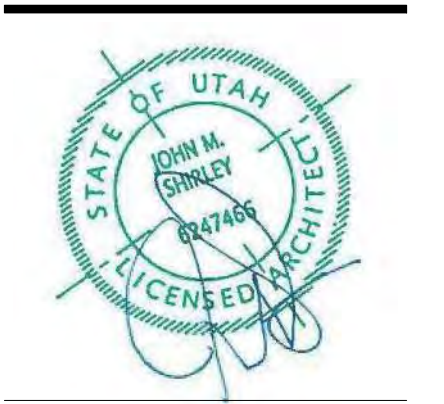
KEYNOTES	
FL-02	OVERHEAD CABINETS PROJECTION
FL-04	CLOSET SHELVING ROD - PER INTERIOR DESIGNER
FL-06	BATHROOM SINK - VANITY PER INTERIOR DESIGNER
FL-11	CABINET SYSTEMSHELVING PER INTERIOR DESIGNER
FL-12	PROVIDE SHOWER BENCH AS PER OWNER/ INTERIOR DESIGN
FL-13	PROVIDE "SCHLTER" KEROLINE LINEAR TRENCH DRAIN AGAINST BENCH. INTERIOR DESIGNER TO PROVIDE DRAIN COVER SPEC.
FL-14	SHOWER HEAD PER INTERIOR DESIGN
FL-17	TUB/ SOAKER TUB AS PER INTERIOR DESIGNER
FL-18	KITCHEN SINK W/DISPOSAL - COUNTERTOP - CABINETS PER INTERIOR DESIGN
FL-24	STRUCTURAL HOLLOW COLUMNS AS PER STRUCT.
FL-37	2X6 STUD WALL ROUGH FRAMING. 16" O.C. U.N.O. SEE DETAILS.
FL-38	2X4 BASEMENT STUD FURRING WALL. 16" O.C. SEE DETAILS.



**Think**  
Architecture  
Interior Design  
Landscape Architecture  
Land Planning  
Construction Management

7927 So. Highpoint Parkway, Suite 300  
Sandwich, Utah 84094  
ph. 801.269.0555  
fax 801.269.1425  
www.thinkarc.com

The designs shown and described herein including all technical drawings, graphics, representations & models thereof, are proprietary & can not be copied, duplicated, or commercially reproduced in whole or in part without the sole and express written permission from THINK Architecture, Inc.  
These drawings are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors, and office personnel only in accordance with this notice.



WARM SPRINGS RESIDENCE #33

170 BALD MOUNTAIN ROAD  
KETCHUM, IDAHO 83340

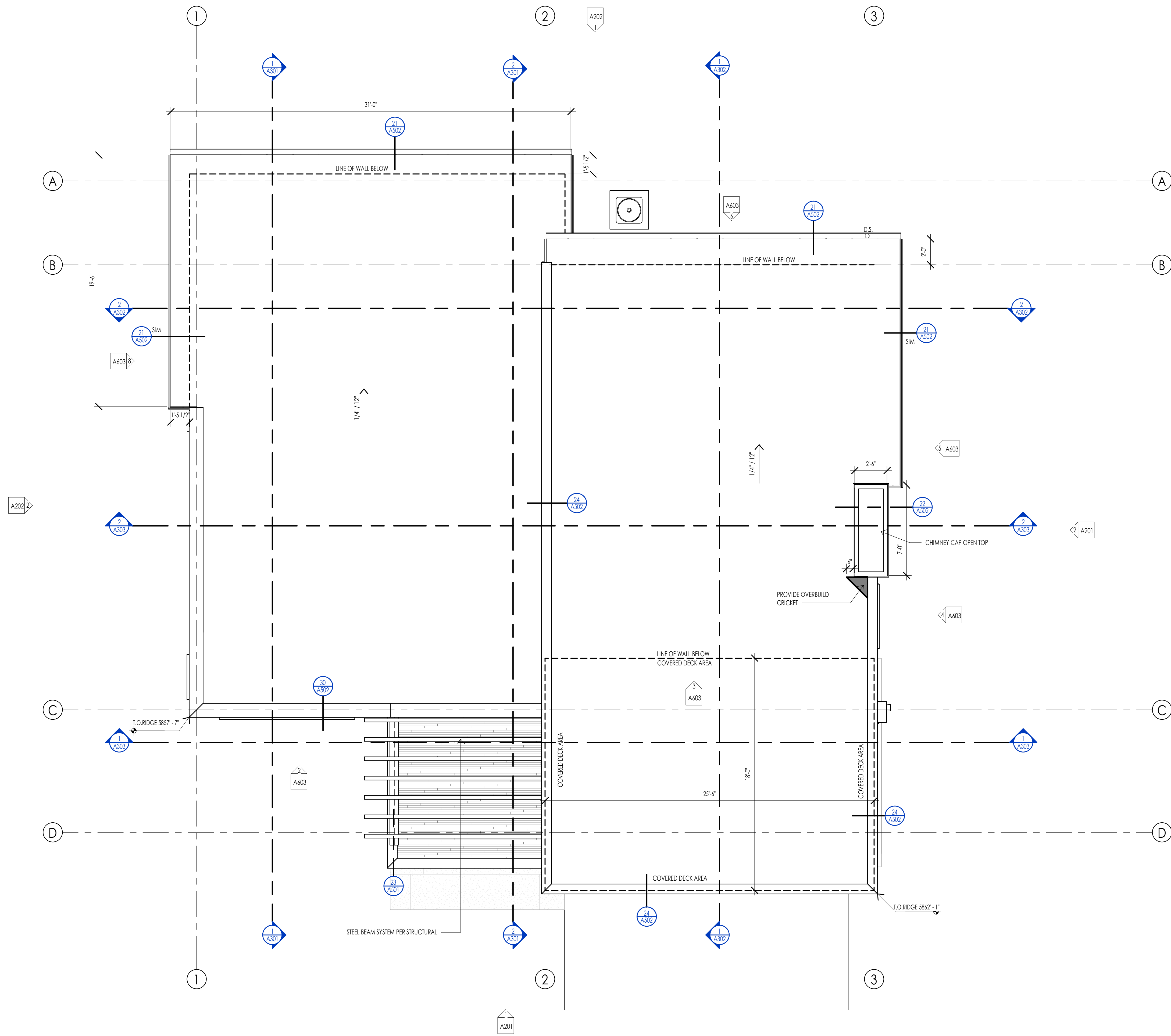
PROJECT NC22023.33  
DATE: 2023.11.06  
REVISIONS:

SHEET TITLE:  
LEVEL 2 FLOOR PLAN

SHEET NUMBER:  
A105

© 2021 THINK ARCHITECTURE, INC.

PERMIT SET



ROOF PLAN LEGEND			
HATCH PATTERN	DESCRIPTION	HATCH PATTERN	DESCRIPTION
[Hatch Pattern]	SINGLE PLY ROOFING MEMBRANE WITH GRAVEL BALLAST	[Hatch Pattern]	
[Hatch Pattern]	STANDING SEAM METAL ROOFING SYSTEM	[Hatch Pattern]	
[Hatch Pattern]	RAIN GUTTER WITH DOWN SPOUT	[Hatch Pattern]	

- ROOF PLAN GENERAL NOTES**
- SEE SHEET G002 FOR PROJECT GENERAL NOTES. REVIEW ALL NOTES PRIOR TO CONSTRUCTION.
  - FLASH ALL ROOF PENETRATIONS WHETHER SHOWN OR NOT.
  - COORDINATE WITH MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR ALL ROOF PENETRATIONS.
  - PROVIDE HEAT TRACE IN ALL RAIN GUTTERS, DOWN SPOUTS AND RAIN CHAINS.
  - ROOFING CONTRACTOR SHALL REVIEW ALL SUBSTRATES PRIOR TO BEGINNING WORK.
  - ALL ROOFING SHALL BE REVIEWED PRIOR TO INSTALLATION.
  - CONTRACTOR IS RESPONSIBLE TO ASSUME THAT NO ROOF SLOPES CREATE DEAD SPOTS OR LOW SPOTS THAT WILL PREVENT DRAINAGE.
  - ALL ROOF TRUSSES TO HAVE RAISED ENERGY HEEL CONSTRUCTION TO ALLOW FOR FULL DEPTH INSULATION OVER EXTERIOR WALLS (COORDINATE INSULATION REQUIREMENTS WITH RESCHECKS).
  - DIMENSIONS SHOWN ON THE ROOF PLAN ARE FROM THE EXTERIOR SIDE OF THE STUD FRAMING BELOW.

ROOF PLAN KEYNOTES	
KEYNOTES	



Architecture  
Interior Design  
Landscape Architecture  
Land Planning  
Construction Management

7927 So. Highpoint Parkway, Suite 300  
Sandwich, Utah 84094  
ph. 801.269.0555  
fax 801.269.1425  
www.thinkaec.com

The designs shown and described herein including all technical drawings, graphic representation & models thereof, are proprietary & can not be copied, duplicated, or commercially reproduced in whole or in part without the sole and express written permission from THINK ARCHITECTURE, INC.

These drawings are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors, and office personnel only in accordance with this notice.



WARM SPRINGS RESIDENCE #33

170 BALD MOUNTAIN ROAD  
KETCHUM, IDAHO 83340

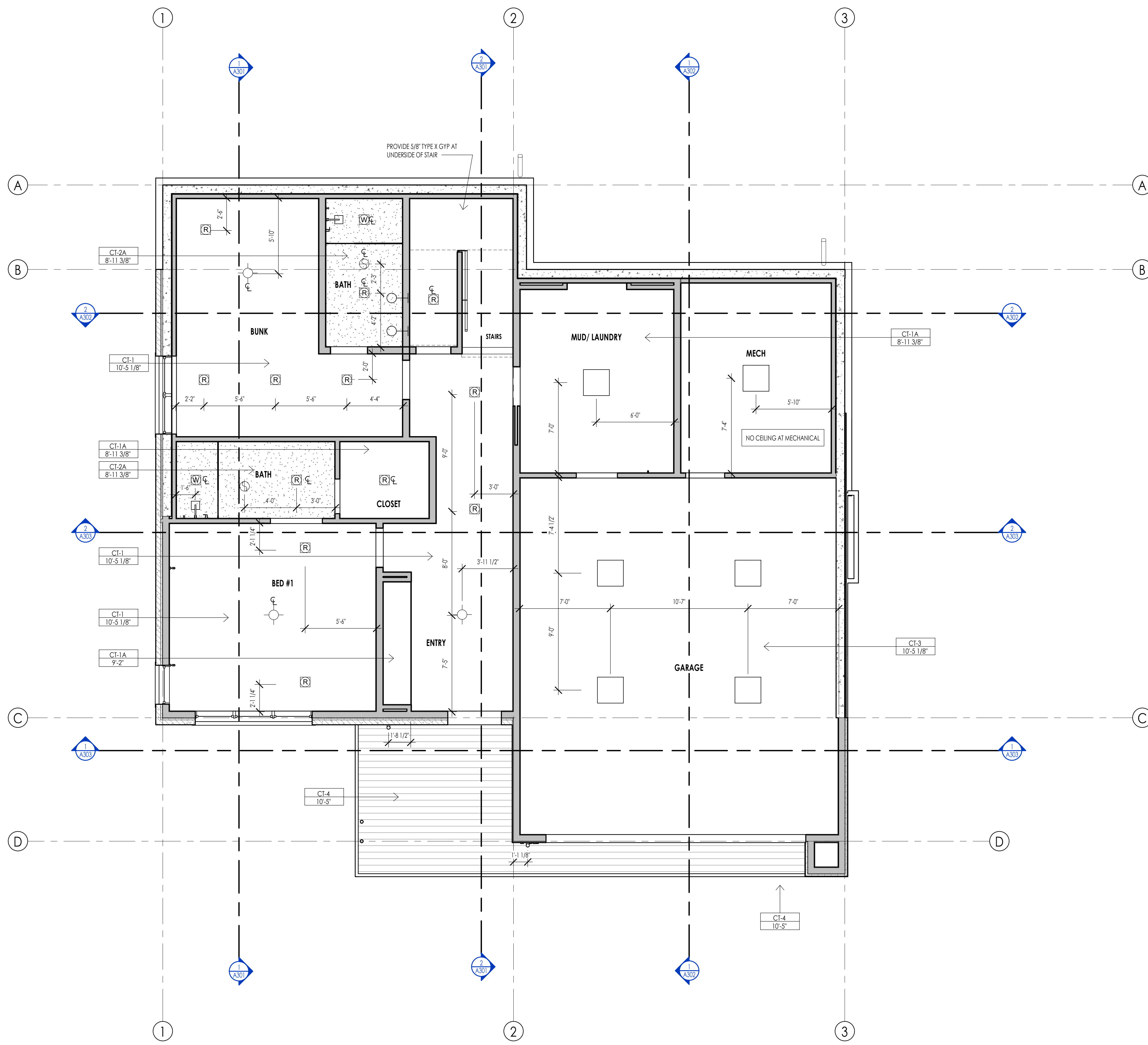
PROJECT NC22023.33  
DATE: 2023.11.06  
REVISIONS:

SHEET TITLE:  
ROOF PLAN

SHEET NUMBER:  
A107

© 2021 THINK ARCHITECTURE INC.

ROOF PLAN  
1/4" = 1'-0"



REFLECTED CEILING PLAN MATERIAL LEGEND					
HATCH PATTERN	TYPE	DESCRIPTION	HATCH PATTERN	TYPE	DESCRIPTION
[Hatch Pattern]	CT-1	5/8" GYPSUM BOARD AT FRAMING	[Hatch Pattern]	CT-4A	3/4" T+G SOFFIT ZK4
[Hatch Pattern]	CT-1A	5/8" GYPSUM BOARD ZK4	[Hatch Pattern]	CT-4	EXPOSED STRUCTURE
[Hatch Pattern]	CT-2	5/8" WATER RESISTANT GYPSUM BOARD AT FRAMING			
[Hatch Pattern]	CT-2A	5/8" WATER RESISTANT GYPSUM BOARD ZK4			
[Hatch Pattern]	CT-3	5/8" GYPSUM BOARD TYPE "X" AT FRAMING			
[Hatch Pattern]	CT-4	3/4" T+G SOFFIT AT FRAMING			

- REFLECTED CEILING PLAN GENERAL NOTES**
- ALL DIMENSIONS ARE TO INTERIOR FACE-OF-STUD (F.O.S.) UNLESS NOTED OTHERWISE.
  - ALL CEILING HEIGHTS MEASURED FROM TOP OF PLYWOOD OR CONCRETE SLAB TO BOTTOM OF CEILING FRAMING, U.N.O. - SEE SECTIONS.
  - REFER TO ENLARGED PLANS FOR ALL UNIT DIMENSIONS, WINDOW TYPES, DOORS AND WALLS.
  - REFER TO ENLARGED PLANS FOR ALL DECKS.
  - COORDINATE WITH ALL ENLARGED PLANS FOR ADDITIONAL INFORMATION AND DETAILS.
  - SEE SHEET G022 FOR PROJECT SPECIFICATION LIST. REVIEW ALL NOTES PRIOR TO CONSTRUCTION.
  - COORDINATE WITH ELECTRICAL DRAWINGS FOR ALL LIGHTING, POWER AND DATA REQUIREMENTS.
  - ALL INTERIOR FINISHES ARE NOTED FOR CONCEPT ONLY. SEE INTERIOR DRAWINGS FOR MATERIAL SPECIFICATIONS, COLORS, PATTERNS, AND OTHER REQUIREMENTS PRIOR TO INSTALLATION.
- | CEILING TAG SYMBOL | DESCRIPTION  |
|--------------------|--------------|
| CT-1               | CEILING TYPE |
| 1'-0"              | HEIGHT       |

**REFLECTED CEILING PLAN KEYNOTES**

KEYNOTES

---

PROJECT NC22023.33  
 DATE: 2023.11.06  
 REVISIONS:

---

SHEET TITLE:  
 LEVEL 1 CEILING PLAN

---

SHEET NUMBER:  
 A109

---

© 2021 THINK ARCHITECTURE INC.

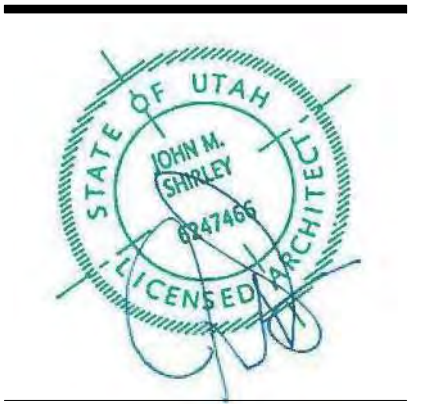


Architecture  
 Interior Design  
 Landscape Architecture  
 Land Planning  
 Construction Management

7927 So. Highpoint Parkway, Suite 300  
 Sandy, Utah 84094  
 ph. 801.269.0555  
 fax 801.269.1425  
 www.thinkaec.com

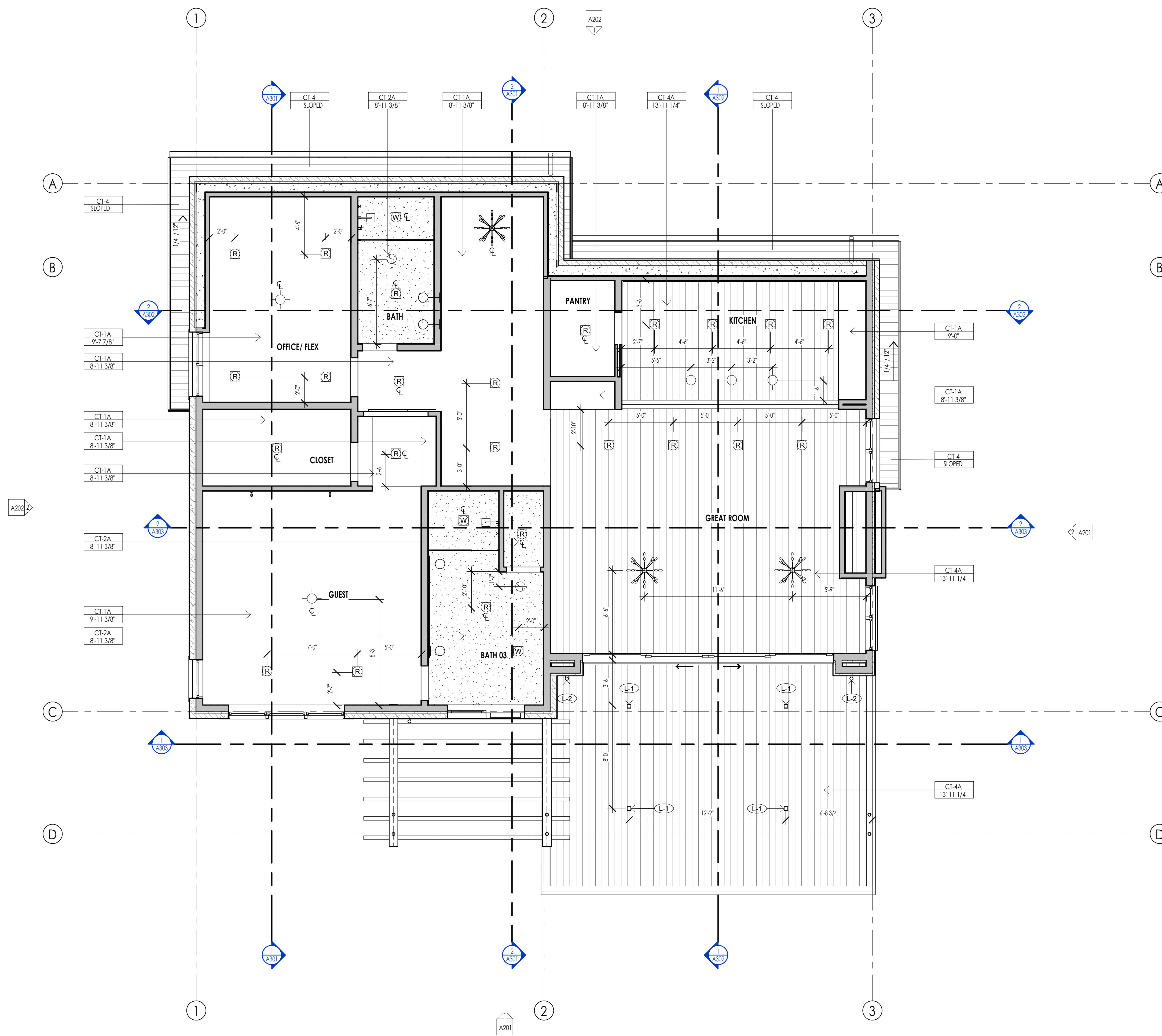
The designs shown and described herein including all technical drawings, graphic representations & models thereof, are proprietary & can not be copied, duplicated, or commercially exploited in whole or in part without the sole and express written permission from THINK ARCHITECTURE, INC.

These drawings are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors, and office personnel only in accordance with this notice.



WARM SPRINGS RESIDENCE #33

1770 BALD MOUNTAIN ROAD  
 KETCHUM, IDAHO 83340



REFLECTED CEILING PLAN MATERIAL LEGEND					
HATCH PATTERN	TYPE	DESCRIPTION	HATCH PATTERN	TYPE	DESCRIPTION
[Hatch Pattern]	CT-1	5/8" GYPSUM BOARD AT FRAMING	[Hatch Pattern]	CT-4A	3/4" T+G SOFFIT ZK4
[Hatch Pattern]	CT-1A	5/8" GYPSUM BOARD ZK4	[Hatch Pattern]	CT-4	EXPOSED STRUCTURE
[Hatch Pattern]	CT-2	5/8" WATER RESISTANT GYPSUM BOARD AT FRAMING			
[Hatch Pattern]	CT-2A	5/8" WATER RESISTANT GYPSUM BOARD ZK4			
[Hatch Pattern]	CT-3	5/8" GYPSUM BOARD TYPE "X" AT FRAMING			
[Hatch Pattern]	CT-4	3/4" T+G SOFFIT AT FRAMING			

- REFLECTED CEILING PLAN GENERAL NOTES**
- ALL DIMENSIONS ARE TO INTERIOR FACE-OF-STUD (F.O.S.) UNLESS NOTED OTHERWISE.
  - ALL CEILING HEIGHTS MEASURED FROM TOP OF PLYWOOD OR CONCRETE SLAB TO BOTTOM OF CEILING FRAMING, U.N.O. - SEE SECTIONS.
  - REFER TO ENLARGED PLANS FOR ALL UNIT DIMENSIONS, WINDOW TYPES, DOORS AND WALLS.
  - REFER TO ENLARGED PLANS FOR ALL DECKS.
  - COORDINATE WITH ALL ENLARGED PLANS FOR ADDITIONAL INFORMATION AND DETAILS.
  - SEE SHEET G002 FOR PROJECT SPECIFICATION LIST. REVIEW ALL NOTES PRIOR TO CONSTRUCTION.
  - COORDINATE WITH ELECTRICAL DRAWINGS FOR ALL LIGHTING, POWER AND DATA REQUIREMENTS.
  - ALL INTERIOR FINISHES ARE NOTED FOR CONCEPT ONLY. SEE INTERIOR DRAWINGS FOR MATERIAL SPECIFICATIONS, COLORS, PATTERNS, AND OTHER REQUIREMENTS PRIOR TO INSTALLATION.

CEILING TAG SYMBOL	DESCRIPTION
CT	CEILING TYPE
1'-0"	HEIGHT

**REFLECTED CEILING PLAN KEYNOTES**

PERMIT SET

PROJECT NC22023.33  
DATE: 2023.11.06  
REVISIONS:

SHEET TITLE:  
LEVEL 2 CEILING PLAN

SHEET NUMBER:  
A110

© 2021 THINK ARCHITECTURE, INC.



Architecture  
Interior Design  
Landscape Architecture  
Land Planning  
Construction Management

7927 So. Highpoint Parkway, Suite 300  
Sandwich, Utah 84094  
ph. 801.269.0555  
fax 801.269.1425  
www.thinkaec.com

The designs shown and described herein including all technical drawings, graphic representations & models thereof, are proprietary & can not be copied, duplicated, or commercially exploited in whole or in part without the sole and express written permission from THINK Architecture, Inc.

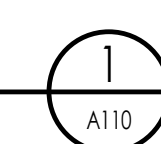
These drawings are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors, and office personnel only in accordance with this notice.



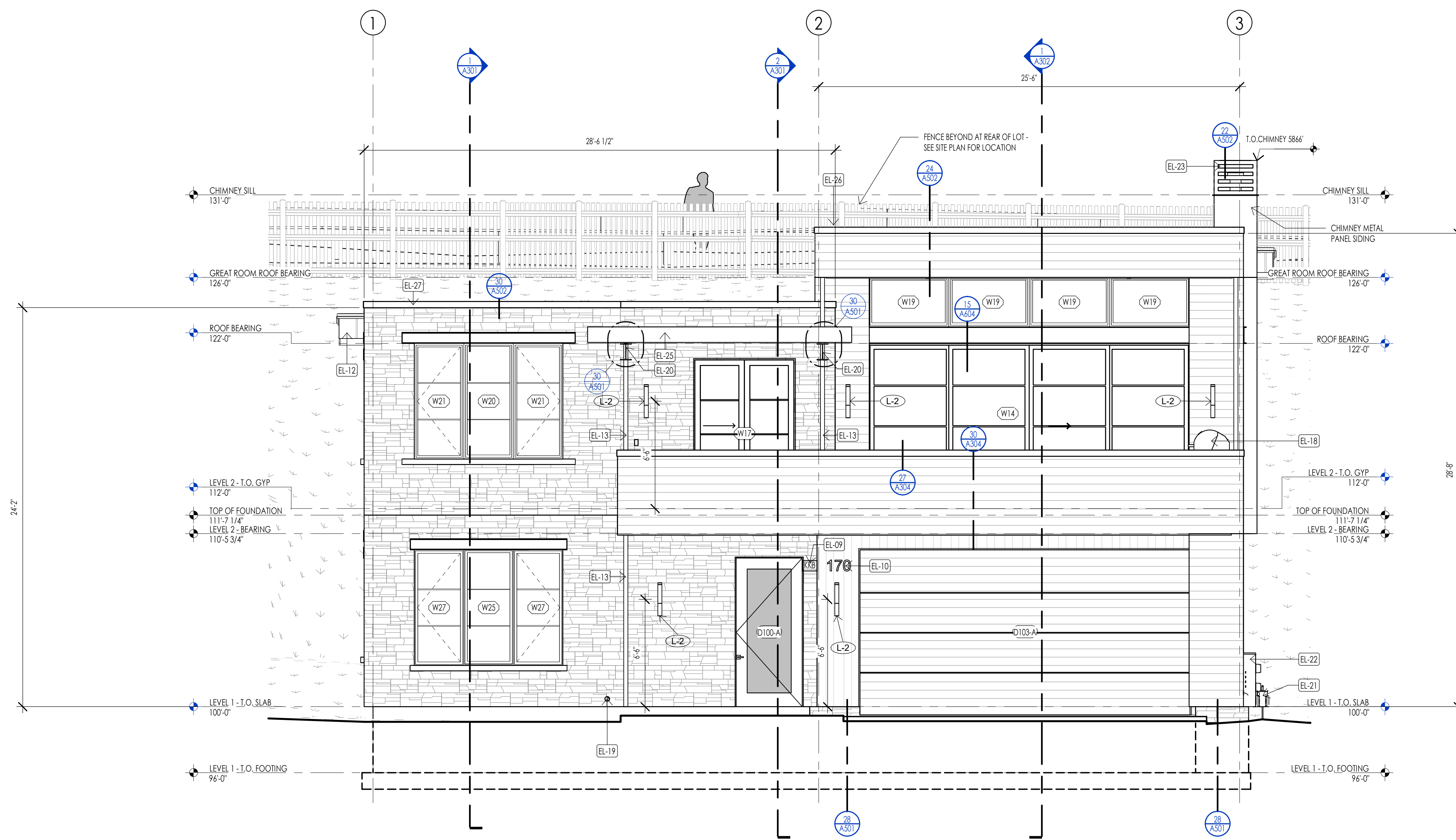
WARM SPRINGS RESIDENCE #33

170 BALD MOUNTAIN ROAD  
KETCHUM, IDAHO 83340

LEVEL 2 - REFLECTED CEILING PLAN  
1/4" = 1'-0"





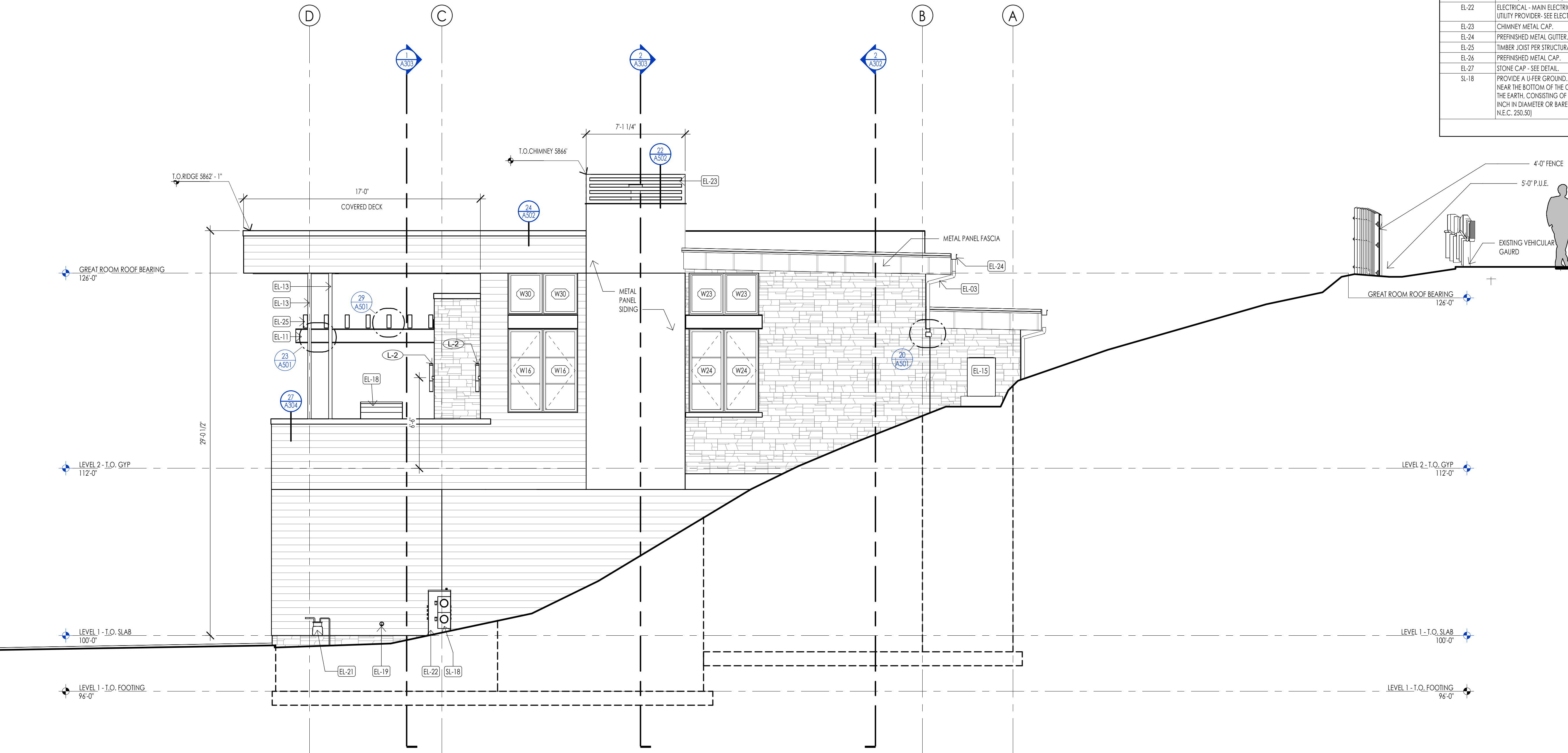


**SOUTH ELEVATION**  
1/4" = 1'-0"

ELEVATION/ SECTION MATERIAL LEGEND	
HATCH PATTERN	DESCRIPTION
[Hatch Pattern]	METAL PANEL SIDING SYSTEM
[Hatch Pattern]	SINGLE PLY ROOFING MEMBRANE SYSTEM WITH GRAVEL BALLAST
[Hatch Pattern]	2X4 CEDAR CHANNEL LAP HORIZONTAL SIDING SYSTEM WITH SQUARE EDGES
[Hatch Pattern]	EXTERIOR STONE VENEER

NOTE: REFER TO MATERIAL SPECIFICATIONS DOCUMENT FOR DETAILED INFORMATION REGARDING EACH FINISH MATERIAL.

ELEVATION/ SECTION KEYNOTES	
KEYNOTES	
EL-03	CONNECT DOWNSPOUT TO STORM DRAIN CONNECTION AT GRADE. SEE CIVIL PLANS FOR HOOKUP
EL-09	AN APPROVED KEY BOX SHALL BE INSTALLED, WITH THE APPROPRIATE KEYS FOR EMERGENCY FIRE DEPARTMENT ACCESS IN A LOCATION APPROVED BY THE FIRE DEPARTMENT. THE KEY BOX SHALL BE A 1/2" THICK BOX BRAND AND SIZED TO ACCOMMODATE KEYS TO EVERY DOOR OF THE PROJECT. LOCATION NO MORE THAN 3FT HOR. FROM MAIN DOOR AND NO MORE THAN 5.9FT VERTICAL. VERIFY LOCAL CODE.
EL-10	APPROVED ADDRESS NUMBERS SHALL BE PLACED IN SUCH A POSITION TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE ROAD FRONTING THE PROPERTY. NUMBERS AND LETTERS SHALL BE A MINIMUM OF FOUR (4) INCHES TALL, HAVE A MINIMUM 1/8" BRUSH STROKE, CONTRAST WITH THEIR BACKGROUND, AND BE POSITIONED A MINIMUM OF FORTY-EIGHT (48) INCHES ABOVE FINAL GRADE.
EL-11	STEEL BEAM. SEE STRUCTURAL TO BE PRIMED AND PAINTED AT ALL EXTERIOR LOCATIONS-PANT COLOR PER OWNER.
EL-12	PREFINISHED METAL FASCIA.
EL-13	STEEL PIPE COLUMN. SEE STRUCTURAL TO BE PRIMED AND PAINTED AT ALL EXTERIOR LOCATIONS-PANT COLOR PER OWNER.
EL-15	MECHANICAL AIR CONDITIONER UNIT- SEPARATION BETWEEN UNITS AND MAINTENANCE CLEARANCES PER MANUAL.
EL-18	BRO-GRILL AS SELECTED BY OWNER.
EL-19	OVERFLOW URN DOWNSPOUT- PLUMBING.
EL-20	PROVIDE WEB STIFFENER PLATES AT ALL WIDE FLANGE CONNECTIONS.
EL-21	GAS METER. INSTALLED AND COORDINATED AS REQUIRED BY UTILITY PROVIDER - PROVIDE PROTECTIVE COVER (SHOWN DASHED) AS REQUIRED BY UTILITY PROVIDER.
EL-22	ELECTRICAL - MAIN ELECTRICAL PANEL WITH METER - INSTALLED AND COORDINATED AS REQUIRED BY UTILITY PROVIDER-SEE ELECTRICAL.
EL-23	CHIMNEY METAL CAP.
EL-24	PREFINISHED METAL GUTTER.
EL-25	TIMBER JOIST PER STRUCTURAL.
EL-26	PREFINISHED METAL CAP.
EL-27	STONE CAP - SEE DETAIL.
SL-18	PROVIDE A U-FER GROUND. AN ELECTRODE ENCASED BY A LEAST 2" OF CONCRETE SHALL BE LOCATED NEAR THE BOTTOM OF THE CONCRETE FOUNDATION SYSTEM AND SHALL BE IN DIRECT CONTACT WITH THE EARTH, CONSISTING OF AT LEAST 20 FEET OF BARE ELECTRICALLY CONDUCTIVE ROD AT LEAST 1/2 INCH IN DIAMETER OR BARE COPPER CONDUCTOR NOT SMALLER THAN 4 AWG. (I.R.C. E338.1.2 AND N.E.C. 250.53)



**EAST ELEVATION**  
1/4" = 1'-0"



Architecture  
Interior Design  
Landscape Architecture  
Land Planning  
Construction Management

7927 So. Highpoint Parkway, Suite 300  
Sandwich, Utah 84094  
ph. 801.269.0555  
fax 801.269.1425  
www.thinkaec.com

The designs shown and described herein including all technical drawings, graphic representation & models thereof, are proprietary & can not be copied, duplicated, or commercially reproduced in whole or in part without the sole and express written permission from THINK Architecture, Inc.

These drawings are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors, and office personnel only in accordance with this notice.



WARM SPRINGS RESIDENCE #33

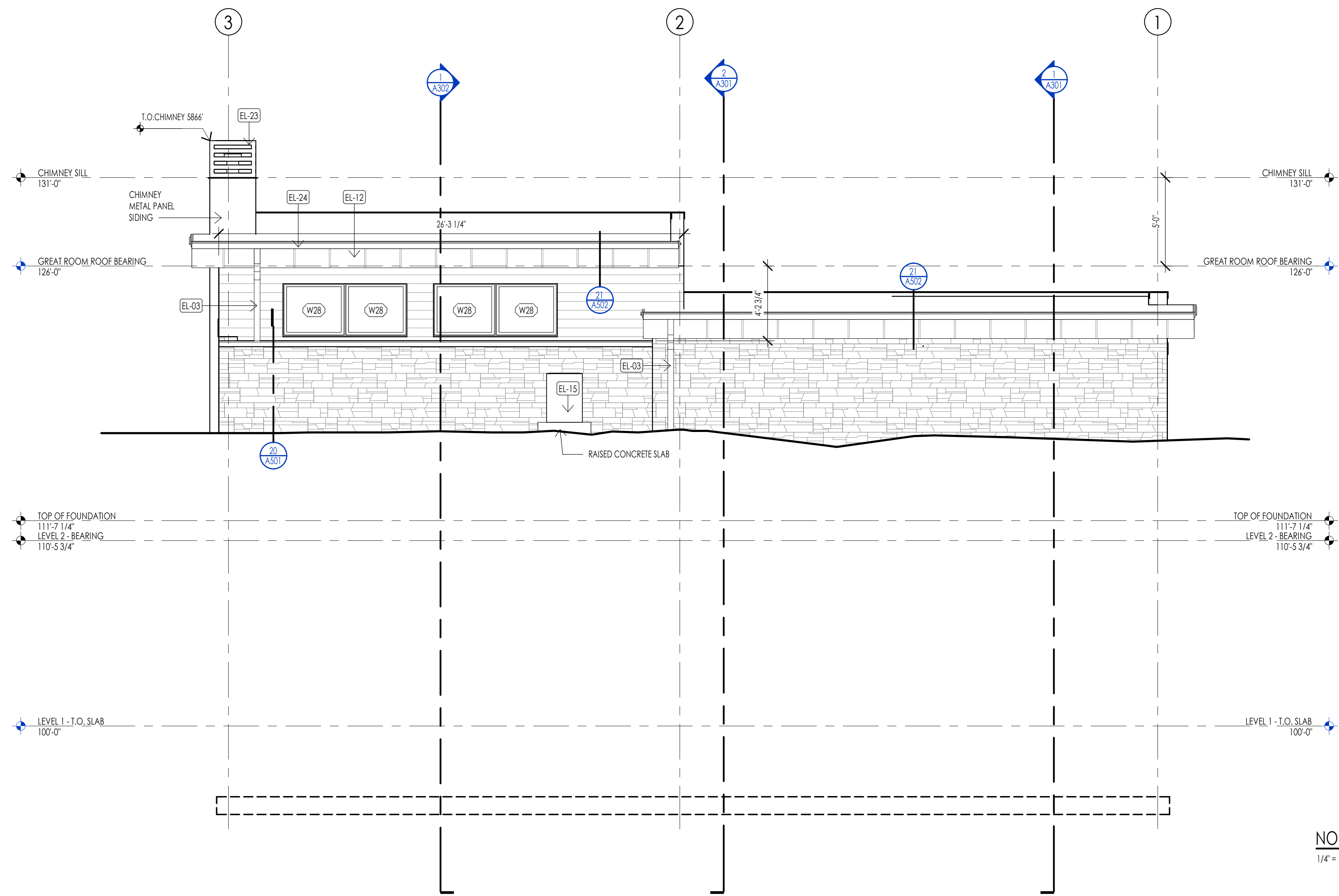
170 BALD MOUNTAIN ROAD  
KETCHUM, IDAHO 83340

PROJECT NC22023.33  
DATE: 2023.11.06  
REVISIONS:

SHEET TITLE:  
EXTERIOR ELEVATIONS

SHEET NUMBER:  
A201

© 2021 THINK ARCHITECTURE, INC.

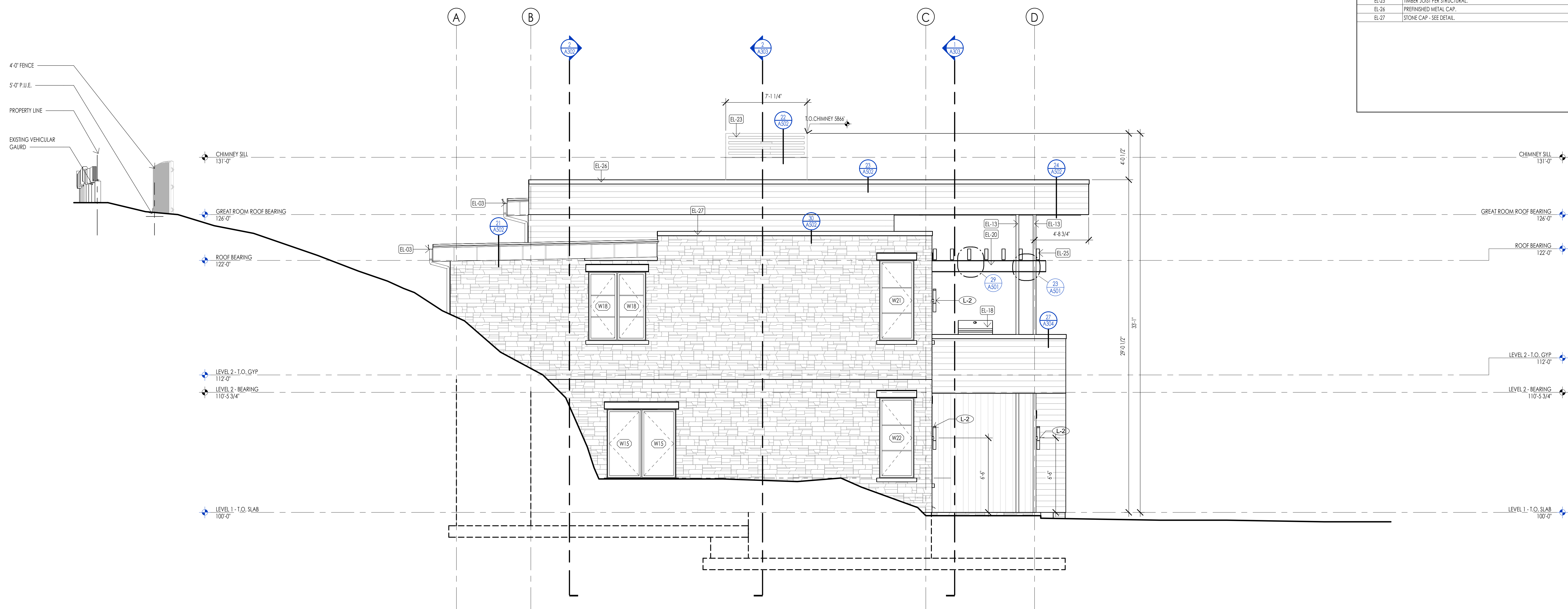


ELEVATION/ SECTION MATERIAL LEGEND	
HATCH PATTERN	DESCRIPTION
[Hatch Pattern]	METAL PANEL SIDING SYSTEM
[Hatch Pattern]	SINGLE PLY ROOFING MEMBRANE SYSTEM WITH GRAVEL BALLAST
[Hatch Pattern]	2X4 CEDAR CHANNEL LAP HORIZONTAL SIDING SYSTEM WITH SQUARE EDGES
[Hatch Pattern]	EXTERIOR STONE VENEER

NOTE: REFER TO MATERIAL SPECIFICATIONS DOCUMENT FOR DETAILED INFORMATION REGARDING EACH FINISH MATERIAL.

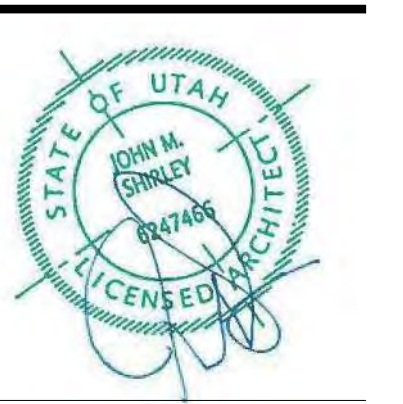
  

ELEVATION/ SECTION KEYNOTES	
KEYNOTES	
EL-03	CONNECT DOWNPOL TO STORM DRAIN CONNECTION AT GRADE. SEE CIVIL PLANS FOR HOOKUP
EL-12	PREFINISHED METAL FASCIA
EL-13	STEEL PIPE COLUMN. SEE STRUCTURAL TO BE PRIMED AND PAINTED AT ALL EXTERIOR LOCATIONS. PAINT COLOR PER OWNER.
EL-15	MECHANICAL AIR CONDITIONER UNIT. SEPARATION BETWEEN UNITS AND MAINTENANCE CLEARANCES PER MANUF.
EL-18	BRQ GRILL AS SELECTED BY OWNER.
EL-20	PROVIDE WEB STIFFENER PLATES AT ALL WIDE FLANGE CONNECTIONS.
EL-23	CHIMNEY METAL CAP.
EL-24	PREFINISHED METAL GUTTER.
EL-25	THIMBER JOIST PER STRUCTURAL.
EL-26	PREFINISHED METAL CAP.
EL-27	STONE CAP - SEE DETAIL.



**Think Architecture**  
 Interior Design  
 Landscape Architecture  
 Land Planning  
 Construction Management

7927 So. Highpoint Parkway, Suite 300  
 Sandy, Utah 84094  
 ph. 801.269.0555  
 fax 801.269.1425  
 www.thinkaec.com



**WARM SPRINGS RESIDENCE #33**  
 170 BALD MOUNTAIN ROAD  
 KETCHUM, IDAHO 83340

PROJECT NC22023.33  
 DATE: 2023.11.06  
 REVISIONS:

SHEET TITLE:  
 EXTERIOR ELEVATIONS

SHEET NUMBER:  
**A202**

© 2021 THINK ARCHITECTURE, INC.

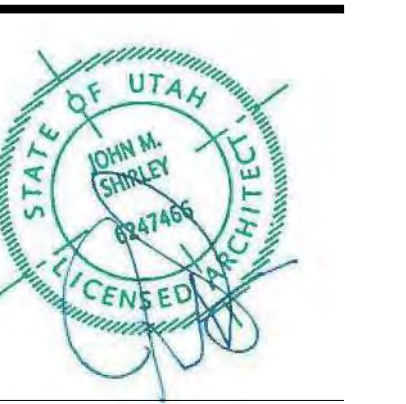


Architecture  
Interior Design  
Landscape Architecture  
Land Planning  
Construction Management

7927 So. Highpoint Parkway, Suite 300  
Sandwich, Utah 84094  
ph. 801.269.0555  
fax 801.269.1425  
www.thinkaec.com

The designs shown and described herein including all technical drawings, graphic representation & models thereof, are proprietary & can not be copied, duplicated, or commercially reproduced in whole or in part without the sole and express written permission from THINK Architecture, Inc.

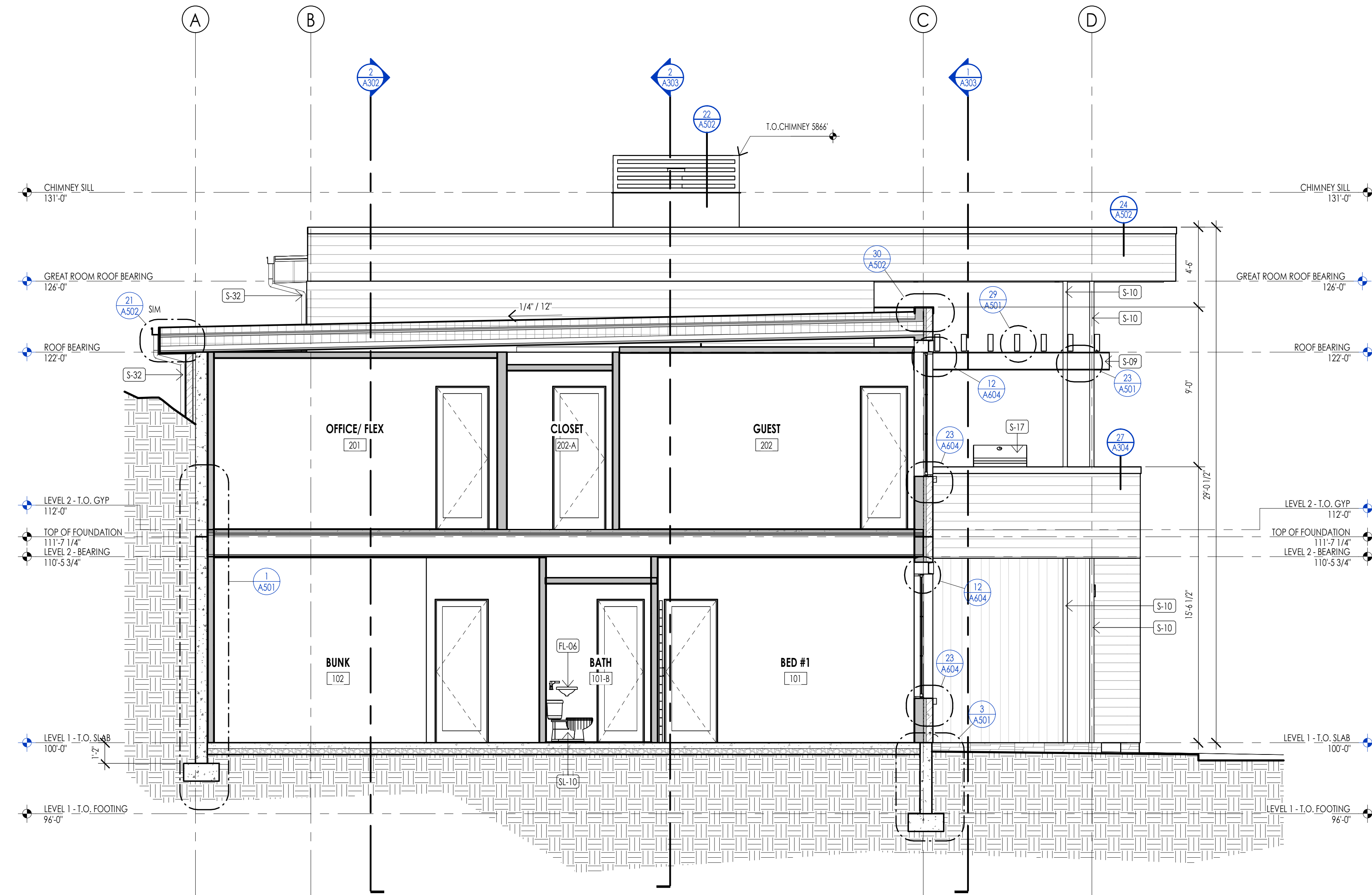
These drawings are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors, and office personnel only in accordance with this notice.



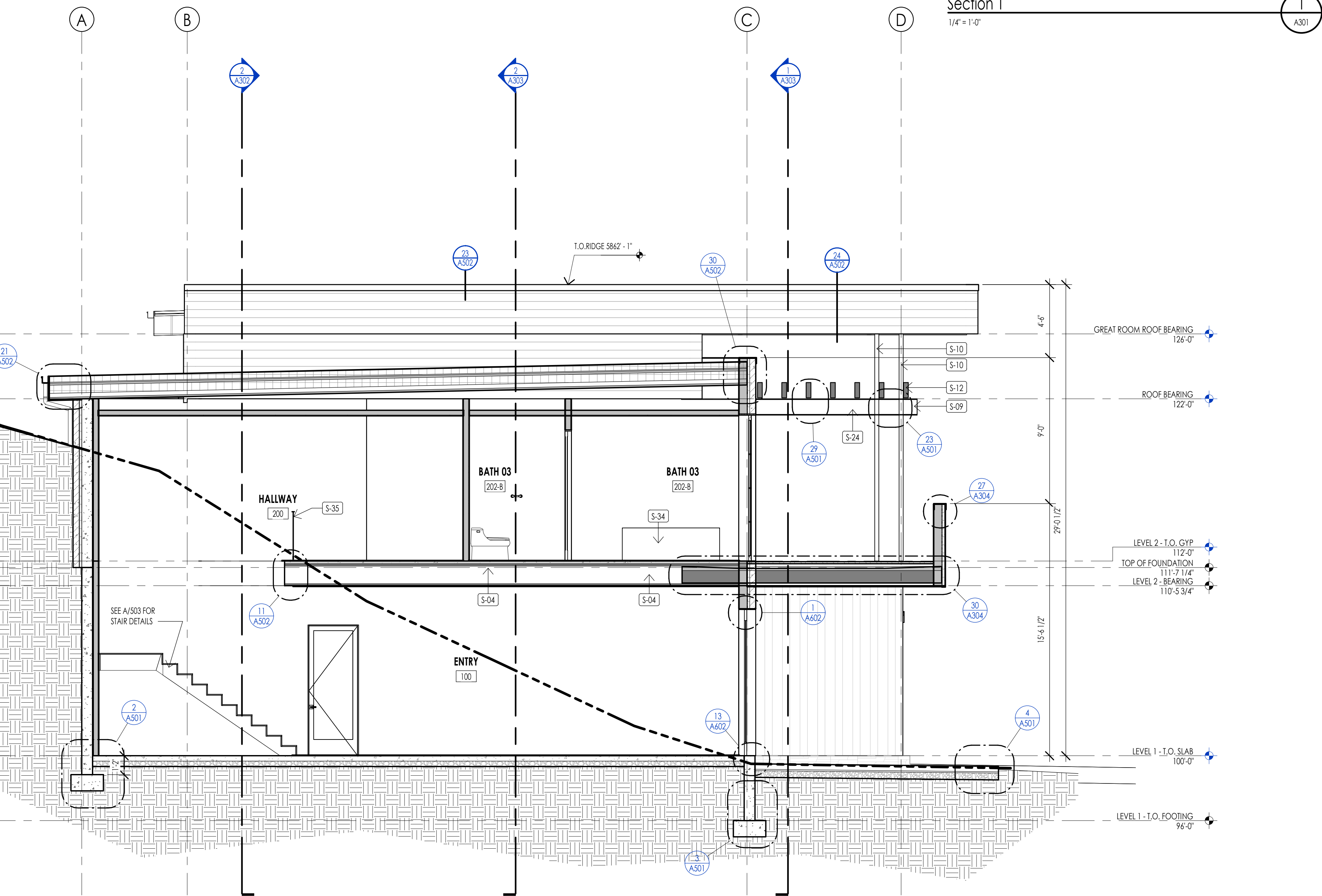
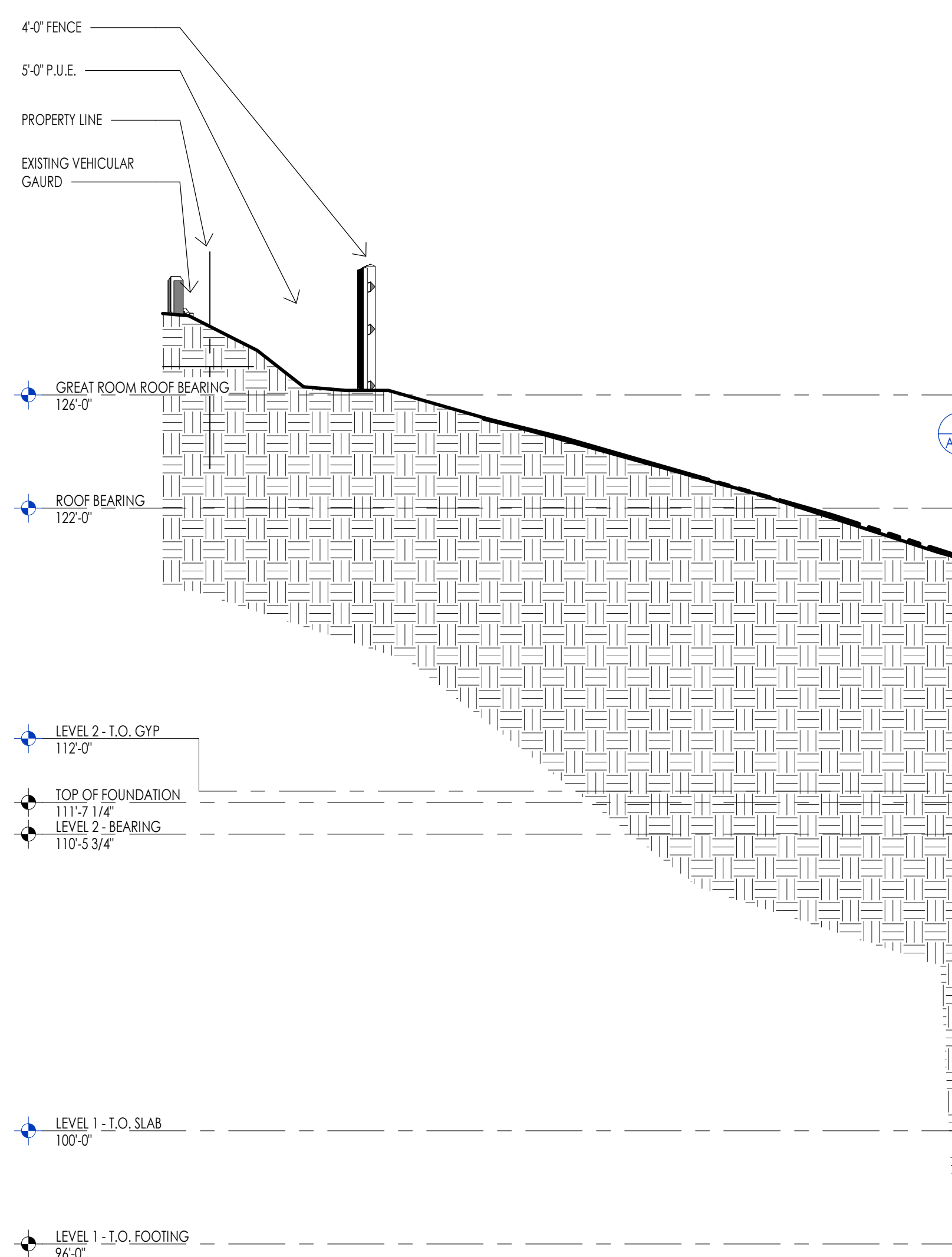
ELEVATION/ SECTION MATERIAL LEGEND	
HATCH PATTERN	DESCRIPTION
[Hatch Pattern]	METAL PANEL SIDING SYSTEM
[Hatch Pattern]	SINGLE PLY ROOFING MEMBRANE SYSTEM WITH GRAVEL BALLAST
[Hatch Pattern]	2X4 CEDAR CHANNEL LAP HORIZONTAL SIDING SYSTEM WITH SQUARE EDGES
[Hatch Pattern]	EXTERIOR STONE VENEER

NOTE: REFER TO MATERIAL SPECIFICATIONS DOCUMENT FOR DETAILED INFORMATION REGARDING EACH FINISH MATERIAL

ELEVATION/ SECTION KEYNOTES	
KEYNOTES	
FL-06	BATHROOM SINK - VANITY PER INTERIOR DESIGNER
S-04	PROVIDE FIRE CALKING ON BOTH SIDES OF PENETRATION BETWEEN FIRE RATING FLOOR / CEILING ASSEMBLY
S-09	STEEL BEAM. SEE STRUCTURAL TO BE PRIMED AND PAINTED AT ALL EXTERIOR LOCATIONS - PAINT COLOR PER OWNER. PAINT COLOR AT ALL INTERIOR LOCATIONS PER INTERIOR DESIGNER
S-10	STEEL PIPE COLUMN. SEE STRUCTURAL TO BE PRIMED AND PAINTED AT ALL EXTERIOR LOCATIONS - PAINT COLOR PER OWNER. PAINT COLOR AT ALL INTERIOR LOCATIONS PER INTERIOR DESIGNER
S-12	HEAVY TIMBER. SEE STRUCTURAL
S-17	BRO GRILL AS SELECTED BY OWNER - PROVIDE GAS HOOKUP PER MANUFACTURER'S INSTRUCTIONS.
S-24	PROVIDE WEB STIFFENER PLATES AT ALL WIDE FLANGE CONNECTIONS.
S-32	CONNECT DOWNSPOUT TO DRAIN CONNECTION AT GRADE. SEE CIVIL PLANS FOR HOOKUP.
S-34	TUB/FREE STANDING TUB/ SHOWER TRIS AS PER INTERIOR DESIGNER.
S-35	3/4" CONTINUOUS HANDRAIL SEE STAIR/ RAIL DETAILS SHEET.
SL-10	PROVIDE BLOCKOUT IN STRUCTURAL SLAB FOR PLUMBING - COORDINATE WITH PLUMBING DRAWINGS



Section 1  
1/4" = 1'-0"



Section 2  
1/4" = 1'-0"

WARM SPRINGS RESIDENCE #33

170 BALD MOUNTAIN ROAD  
KETCHUM, IDAHO 83340

PROJECT NC22023.33  
DATE: 2023.11.06  
REVISED:

SHEET TITLE:  
BUILDING SECTIONS

SHEET NUMBER:  
A301

© 2021 THINK ARCHITECTURE, INC.

PERMIT SET

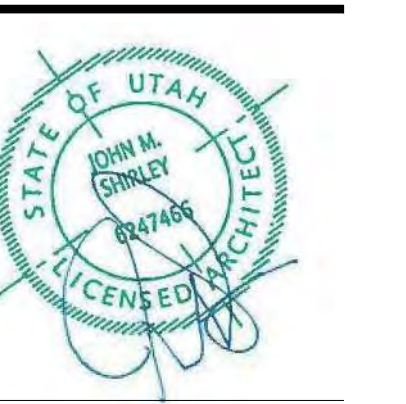


Architecture  
Interior Design  
Landscape Architecture  
Land Planning  
Construction Management

7927 So. Highpoint Parkway, Suite 300  
Scary, Utah 84094  
ph. 801.269.0555  
fax 801.269.1425  
www.thinkaec.com

The designs shown and described herein including all technical drawings, graphic representation & models thereof, are proprietary & can not be copied, duplicated, or commercially reproduced in whole or in part without the sole and express written permission from THINK Architecture, Inc.

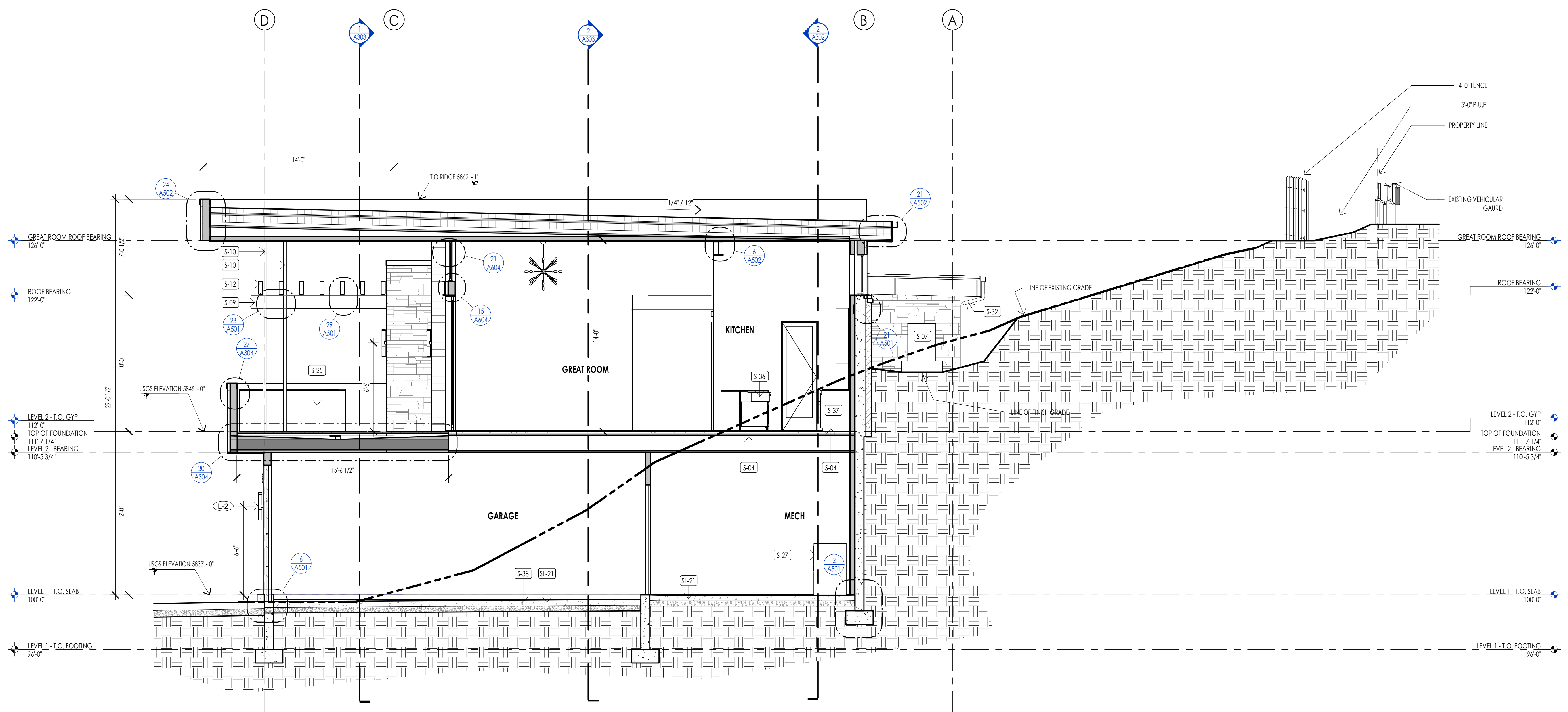
These drawings are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors, and office personnel only in accordance with this notice.



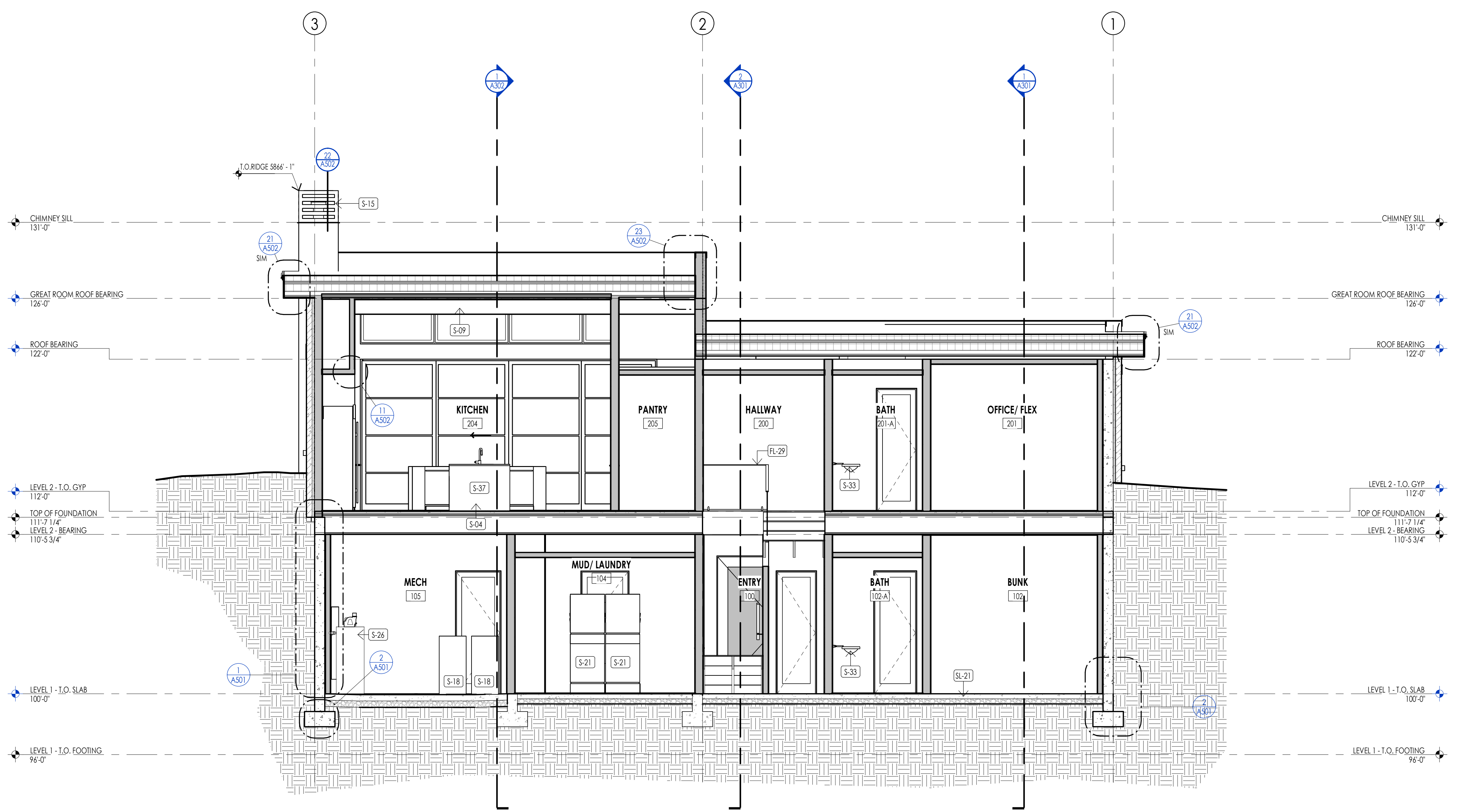
ELEVATION/ SECTION MATERIAL LEGEND	
HATCH PATTERN	DESCRIPTION
[Hatch Pattern]	METAL PANEL SIDING SYSTEM
[Hatch Pattern]	SINGLEPLY ROOFING MEMBRANE SYSTEM WITH GRAVEL BALLAST
[Hatch Pattern]	2X4 CEDAR CHANNEL LAP HORIZONTAL SIDING SYSTEM WITH SQUARE EDGES
[Hatch Pattern]	EXTERIOR STONE VENEER

ELEVATION/ SECTION KEYNOTES	
KEYNOTES	
FL-29	3" HANDRAIL, SEE STAIR/ RAIL DETAILS SHEET.
S-04	PROVIDE FIRE CALLING ON BOTH SIDES OF PENETRATION BETWEEN FIRE RATING FLOOR / CEILING ASSEMBLY.
S-07	MECHANICAL AIR CONDITIONER UNIT - SEPARATION BETWEEN UNITS AND MAINTENANCE CLEARANCES PER MANUF.
S-09	STEEL BEAM, SEE STRUCTURAL TO BE PRIMED AND PAINTED AT ALL EXTERIOR LOCATIONS - PAINT COLOR PER OWNER, PAINT COLOR AT ALL INTERIOR LOCATIONS PER INTERIOR DESIGN.
S-10	STEEL PIPE COLUMN, SEE STRUCTURAL TO BE PRIMED AND PAINTED AT ALL EXTERIOR LOCATIONS - PAINT COLOR PER OWNER, PAINT COLOR AT ALL INTERIOR LOCATIONS PER INTERIOR DESIGN.
S-12	HEAVY TIMBER, SEE STRUCTURAL.
S-15	PREFINISHED METAL CAP.
S-18	GAS FIRED FURNACE PER MECHANICAL.
S-21	STACKABLE WASHER/ DRYER, COORDINATE W/ INTERIOR DESIGNER & CONSTRUCTION TRADES AS REQUIRED.
S-25	SPA, BULLFROG AB SERIES COORDINATE FOR SHUT OFF SWITCH AND HOT-COLD HOOK UP PER MANUF.
S-26	MECHANICAL - HOT WATER BOILER.
S-27	MECHANICAL - GAS FIRED FURNACE.
S-32	CONNECT DOWNSPOUT TO STORM DRAIN CONNECTION AT GRADE. SEE CIVIL PLANS FOR HOOKUP.
S-33	BATHROOM SINK - VANITY PER INTERIOR DESIGNER.
S-36	KITCHEN SINK - COORDINATE W/ PLUMBING.
S-37	KITCHEN RANGE - COORDINATE FOR GAS AND ELECTRICAL - RANGE HOOD PER I.D.
S-38	PROVIDE 100% SOLIDS EPOXY, HIGH PERFORMANCE COATING.
SL-21	PROVIDE RIGID FOAM INSULATION BELOW ENTIRE FLOOR SLAB AT LEVEL 0. SEE SCHEDULE FOR R-VALUES. PROVIDE SULTARP FOR INSULATION AND VAPOR BARRIER ON TOP OF RIGID INSULATION. TAPE ALL SEAMS AND INSTALL PER MANUF. AND SPECS.



Section 3  
1/4" = 1'-0"



Section 4  
1/4" = 1'-0"

WARM SPRINGS RESIDENCE #33

170 BALD MOUNTAIN ROAD  
KETCHUM, IDAHO 83340

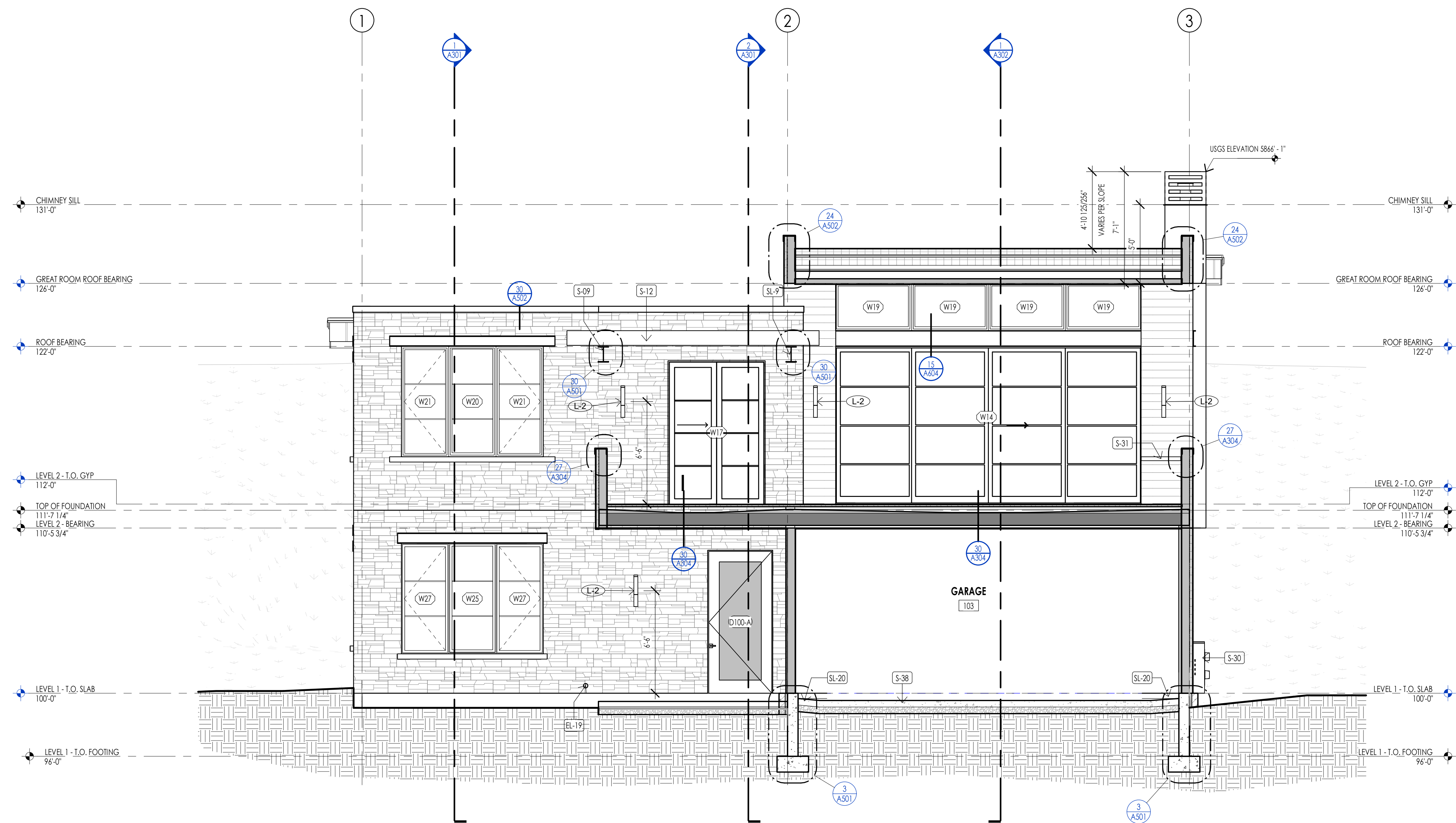
PROJECT NC22023.33  
DATE: 2023.11.06

REVISIONS:

SHEET TITLE:  
BUILDING SECTIONS

SHEET NUMBER:  
A302

© 2021 THINK ARCHITECTURE, INC.

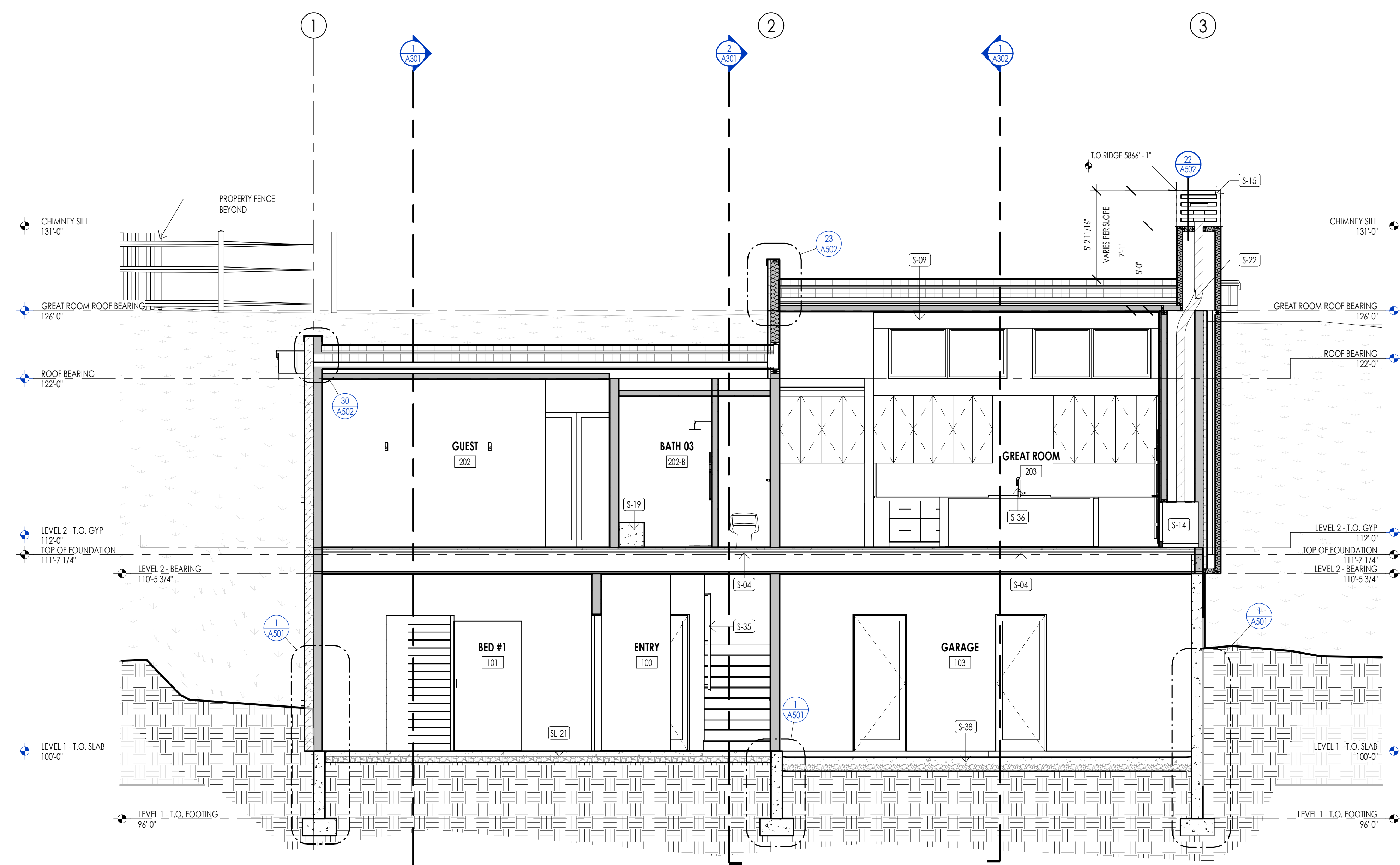


Section 5  
1/4" = 1'-0"

ELEVATION/ SECTION MATERIAL LEGEND	
HATCH PATTERN	DESCRIPTION
[Hatch Pattern]	METAL PANEL SIDING SYSTEM
[Hatch Pattern]	SINGLEPLY ROOFING MEMBRANE SYSTEM WITH GRAVEL BALLAST
[Hatch Pattern]	2X4 CEDAR CHANNEL LAP HORIZONTAL SIDING SYSTEM WITH SQUARE EDGES
[Hatch Pattern]	EXTERIOR STONE VENEER

ELEVATION/ SECTION KEYNOTES	
KEYNOTES	
EL-19	OVERFLOW URN DOWNSPOUT- PLUMBING.
S-04	PROVIDE FIRE CAULKING ON BOTH SIDES OF PENETRATION BETWEEN FIRE RATING FLOOR / CEILING ASSEMBLY.
S-09	STEEL BEAM. SEE STRUCTURAL TO BE PRIMED AND PAINTED AT ALL EXTERIOR LOCATIONS-PAINT COLOR PER OWNER. PAINT COLOR AT ALL INTERIOR LOCATIONS PER INTERIOR DESIGN.
S-12	HEAVY TIMBER. SEE STRUCTURAL.
S-14	FIREPLACE. AS SELECTED BY OWNER WALL FINISHES PER INTERIOR DESIGN- PROVIDE GAS HOOKUP PER MANUFACTURER'S INSTRUCTIONS.
S-15	PREFINISHED METAL CAP.
S-19	SHOWER BENCH PER INTERIOR DESIGNER.
S-22	DIRECT VENT FLEX FLUE PIPE-SEE SPECS. PER MECHANICAL.
S-30	ELECTRICAL - MAIN ELECTRICAL PANEL WITH METER - INSTALLED AND COORDINATED AS REQUIRED BY ULILITY PROVIDER. SEE ELECTRICAL PLAN.
S-31	STAINLESS-STEEL COUNTERTOP.
S-35	36" CONTINUOUS HANDRAIL SEE STAIR/ RAIL DETAILS SHEET.
S-36	KITCHEN SINK - COORDINATE W/ PLUMBING.
S-38	PROVIDE 100% SOLIDS EPOXY. HIGH PERFORMANCE COATING.
SL-9	CONTRACTOR TO COORDINATE FOUNDATION WALL STEPS WITH FINAL GRADING SPECIFIED AND NOTIFY ARCHITECT OF CHANGES PRIOR TO POURING CONCRETE FOUNDATION.
SL-20	WARP SLAB AT GARAGE DOORS TO PROVIDE DRAINAGE TOWARD THE DOOR OPENING.
SL-21	PROVIDE RIGID FOAM INSULATION BELOW ENTIRE FLOOR SLAB AT LEVEL 0 - SEE SCHEDULE FOR R-VALUES - PROVIDE BUILTUP FOR INSULATION AND VAPOR BARRIER ON TOP OF RIGID INSULATION. TAPE ALL SEAMS AND INSTALL PER MANUF. AND SPECS.

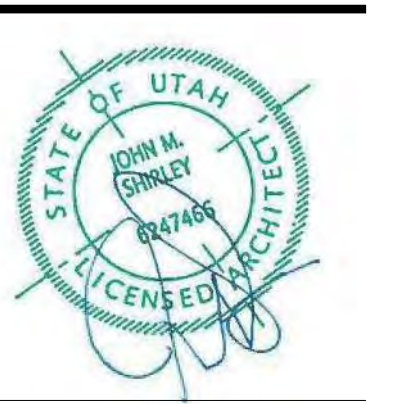


Section 6  
1/4" = 1'-0"



**Think**  
Architecture  
Interior Design  
Landscape Architecture  
Land Planning  
Construction Management

7927 So. Highpoint Parkway, Suite 300  
Sandwich, Utah 84094  
ph. 801.269.0555  
fax 801.269.1425  
www.thinkaec.com



WARM SPRINGS RESIDENCE #33

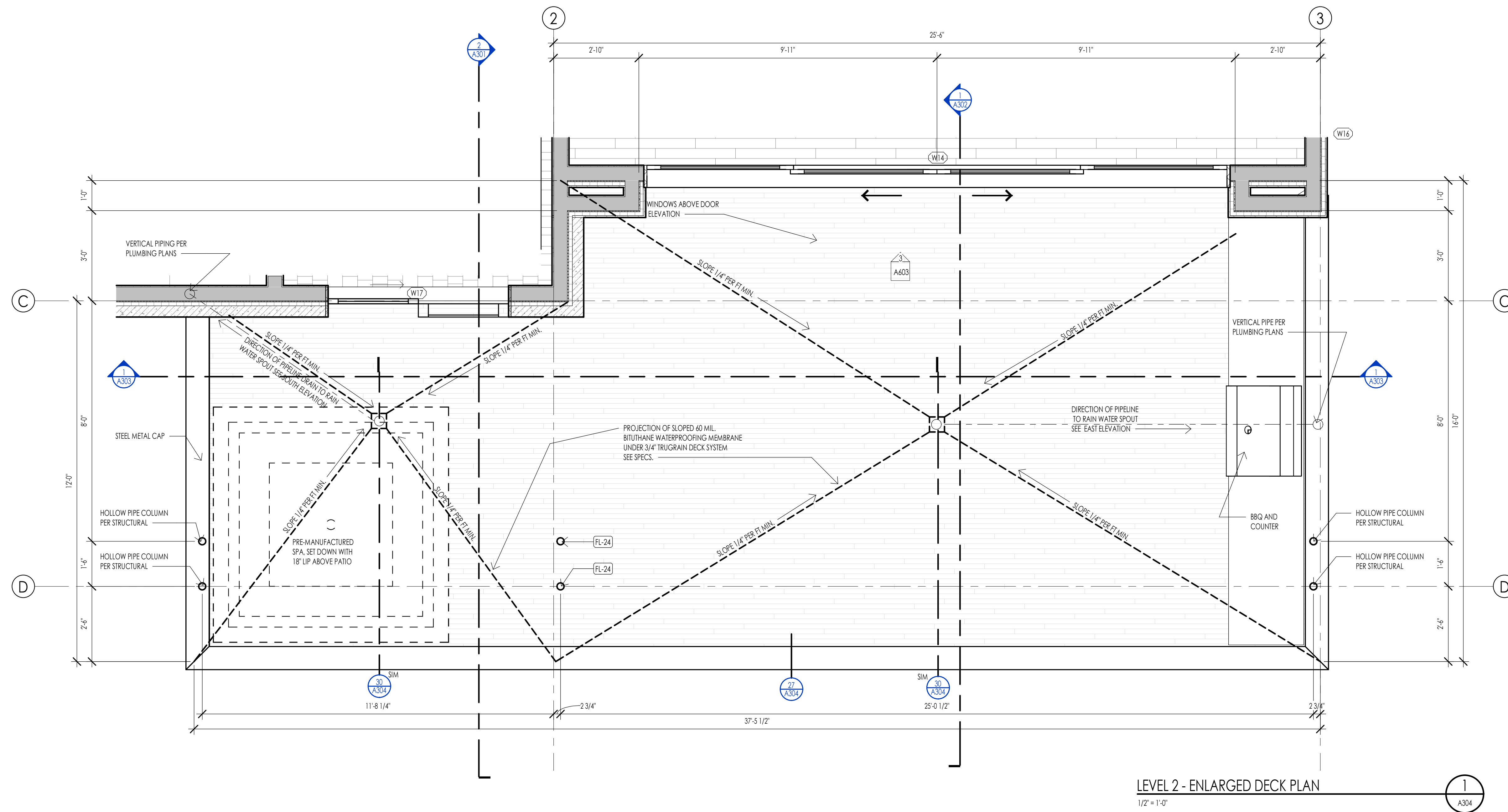
170 BALD MOUNTAIN ROAD  
KETCHUM, IDAHO 83340

PROJECT NC22023.33  
DATE: 2023.11.06

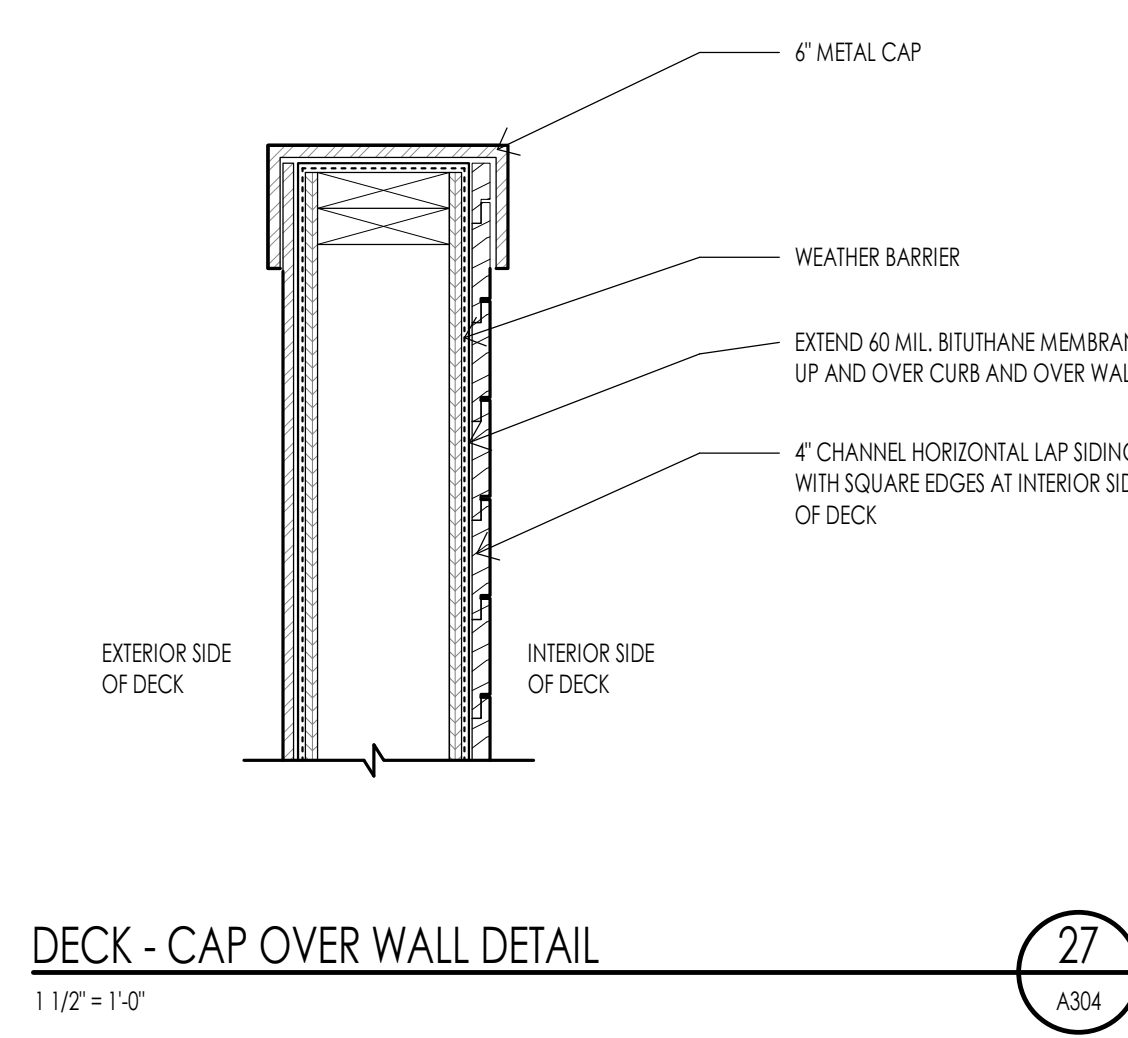
SHEET TITLE:  
BUILDING SECTIONS

SHEET NUMBER:  
A303

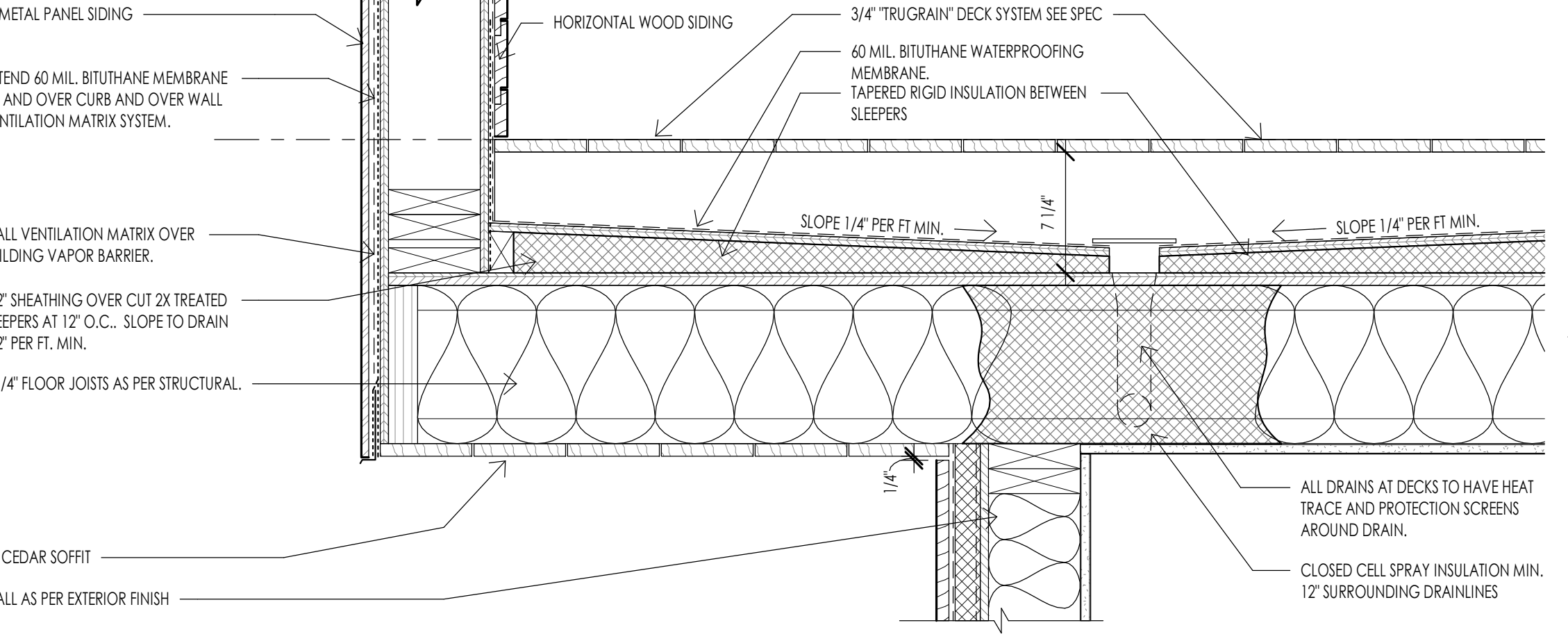
© 2021 THINK ARCHITECTURE, INC.



LEVEL 2 - ENLARGED DECK PLAN  
1/2" = 1'-0"



DECK - CAP OVER WALL DETAIL  
1 1/2" = 1'-0"



DECK - DRAINAGE DETAIL  
1 1/2" = 1'-0"

WARM SPRINGS RESIDENCE #33

170 BALD MOUNTAIN ROAD  
KETCHUM, IDAHO 83340

PROJECT NC22023.33  
DATE: 2023.11.06

REVISIONS:

SHEET TITLE:  
ENLARGED DECK -  
DETAILS

SHEET NUMBER:  
A304

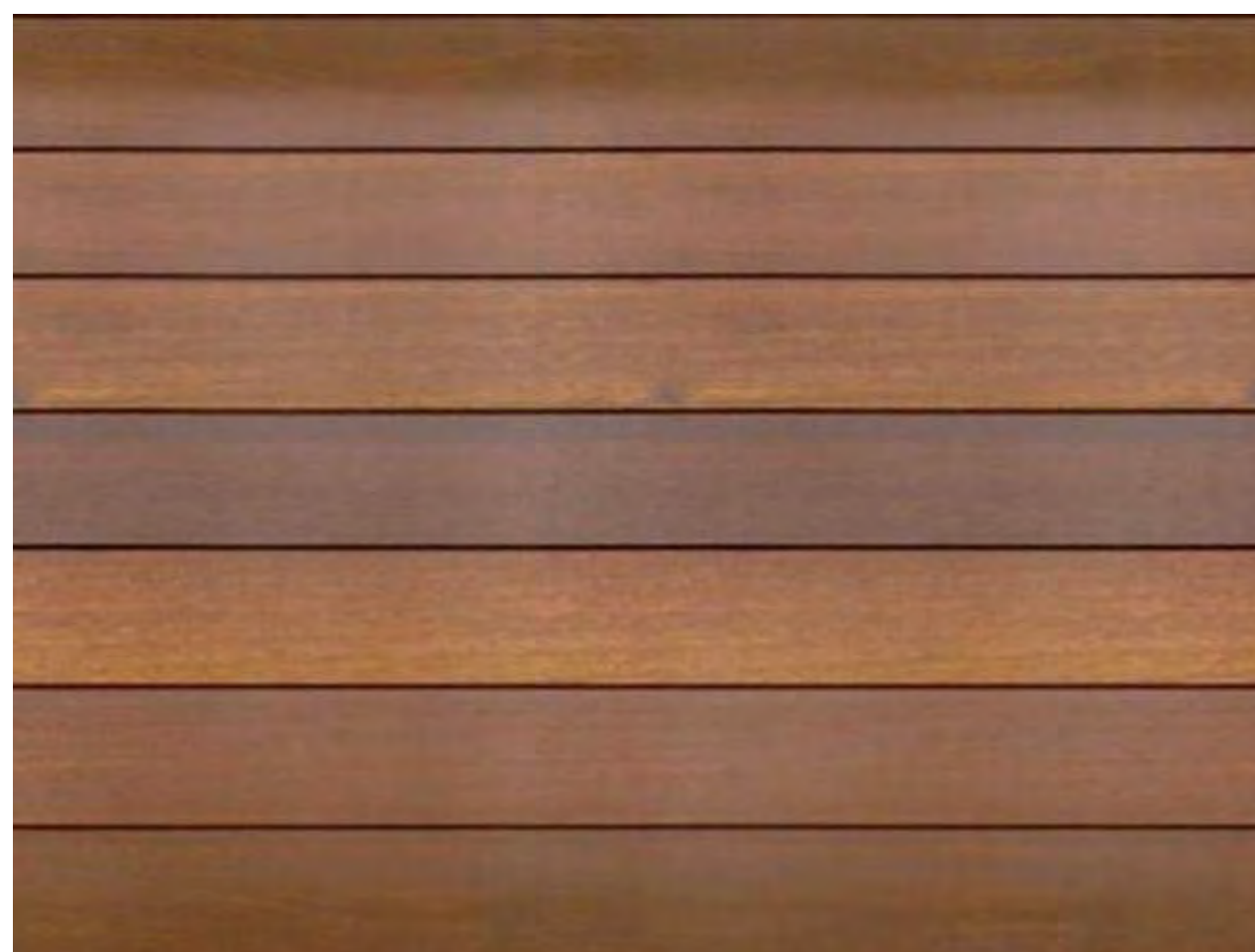
© 2021 THINK ARCHITECTURE, INC.



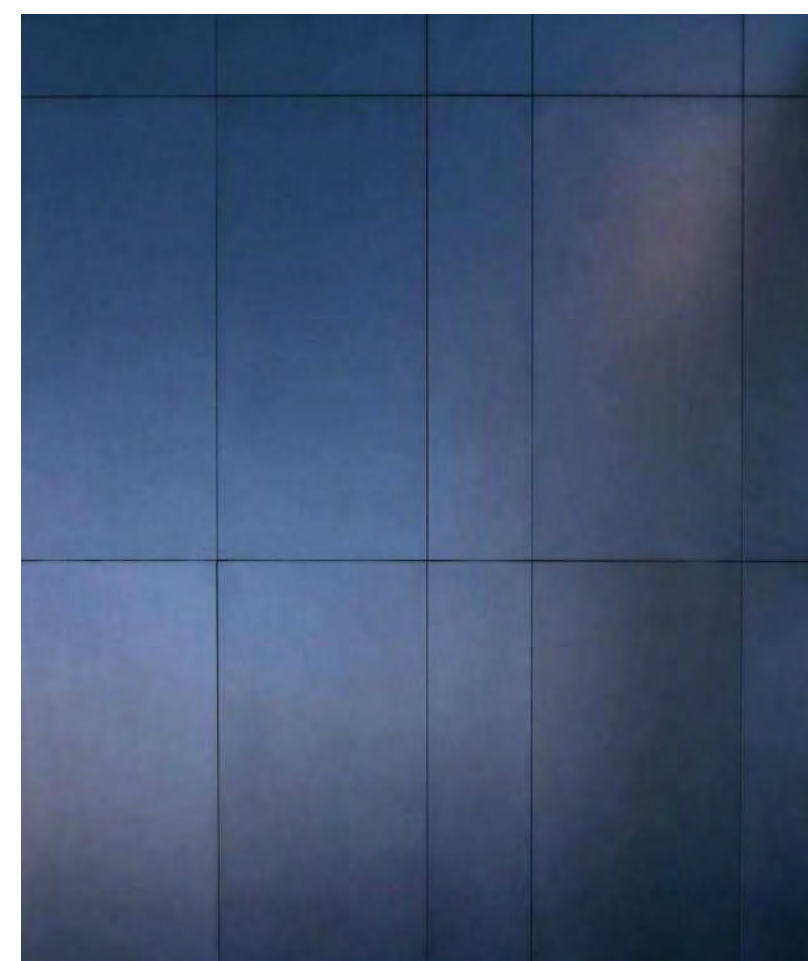
GREAT ROOM INTERIOR VIEW



OWNER SUITE INTERIOR VIEW



INTERIOR WOOD SLAT FINISH



STEEL FIREPLACE SURROUND



Architecture

Interior Design  
Landscape Architecture  
Land Planning  
Construction Management

7927 So. Highpoint Parkway, Suite 300  
Sandy, Utah 84094  
ph. 801.269.0555  
fax 801.269.1425  
www.thinkaec.com

The designs shown and described herein including all technical drawings, graphic representations & models thereof, are proprietary & can not be copied, duplicated, or commercially exploited in whole or in part without the sole and express written permission from THINK ARCHITECTURE, INC.

These drawings are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors, and office personnel only in accordance with this notice.



WARM SPRINGS RESIDENCE #33

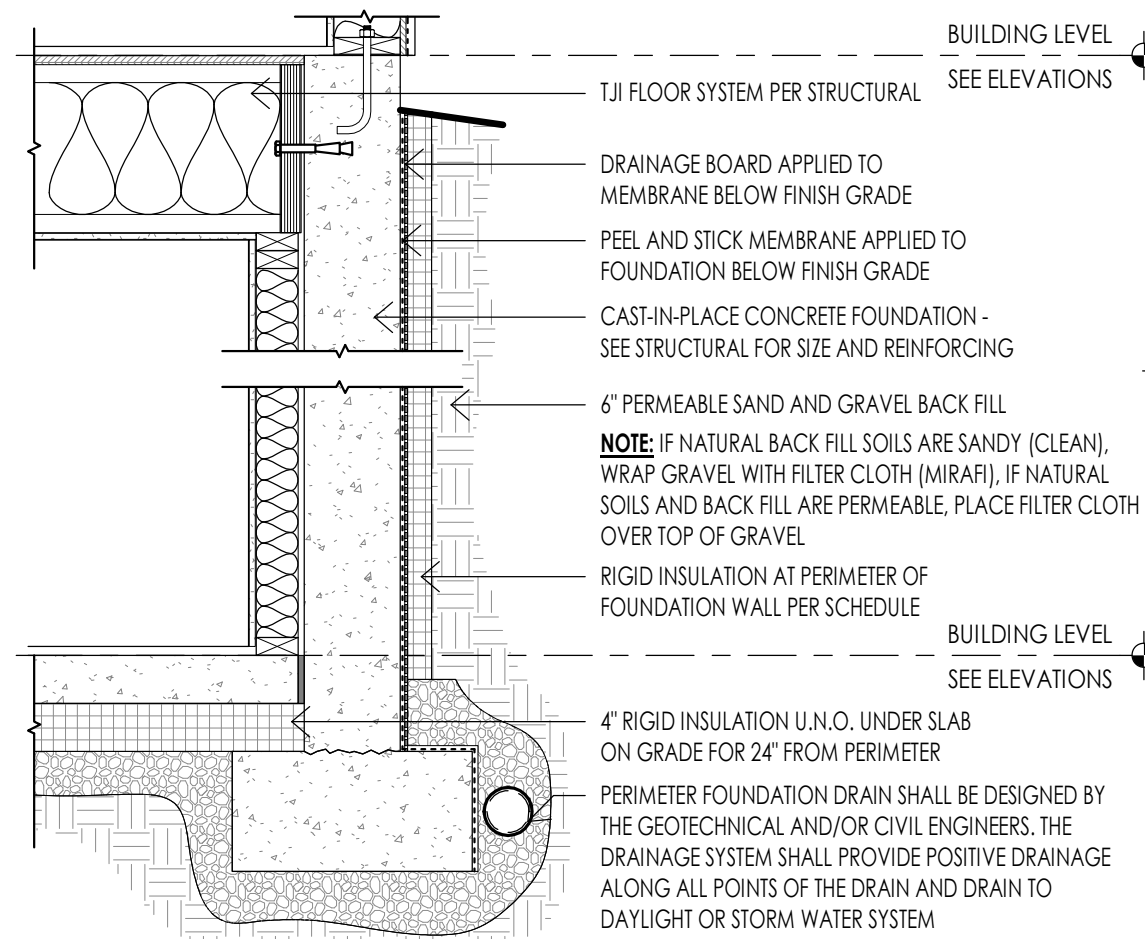
170 BALD MOUNTAIN ROAD  
KETCHUM, IDAHO 83340

PROJECT NC22023.33  
DATE: 2023.11.06  
REVISIONS:

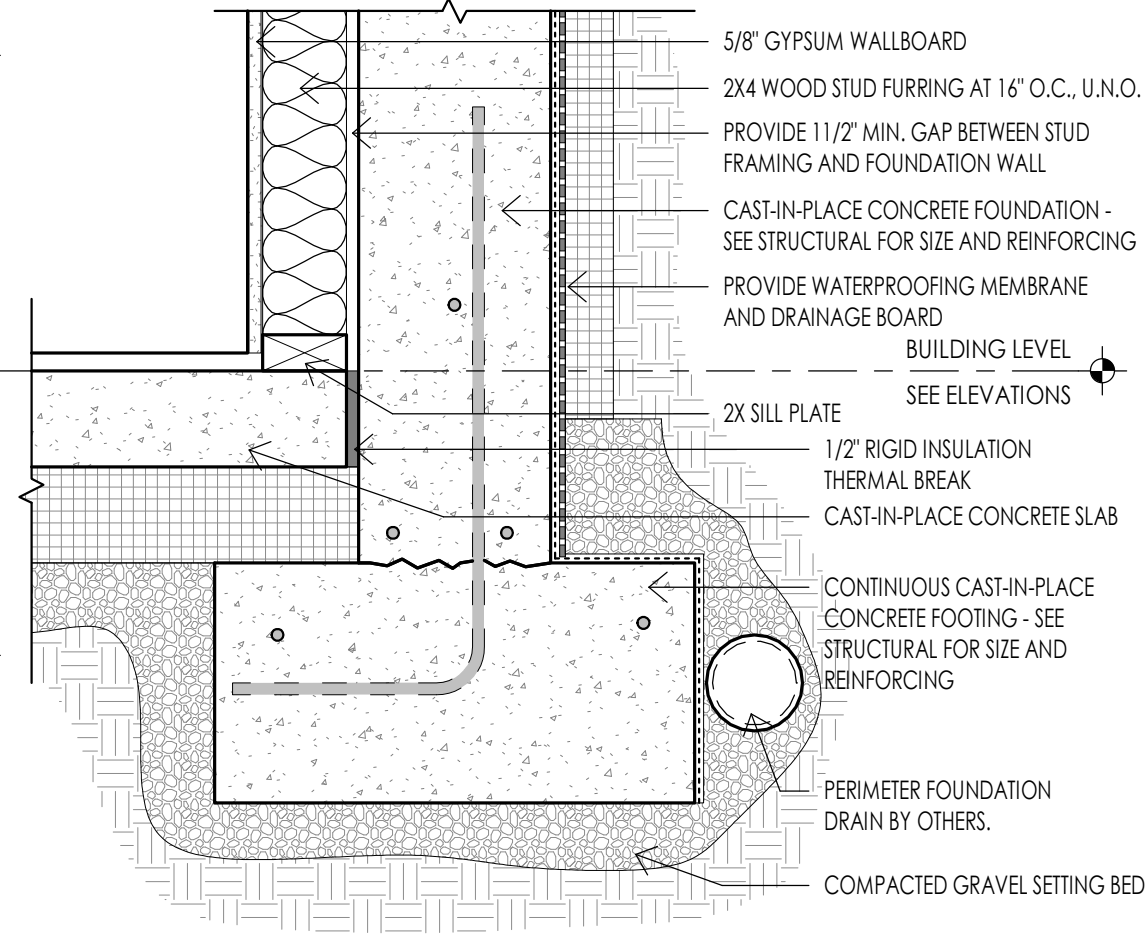
SHEET TITLE:  
FIREPLACE ELEVATIONS

SHEET NUMBER:  
A401

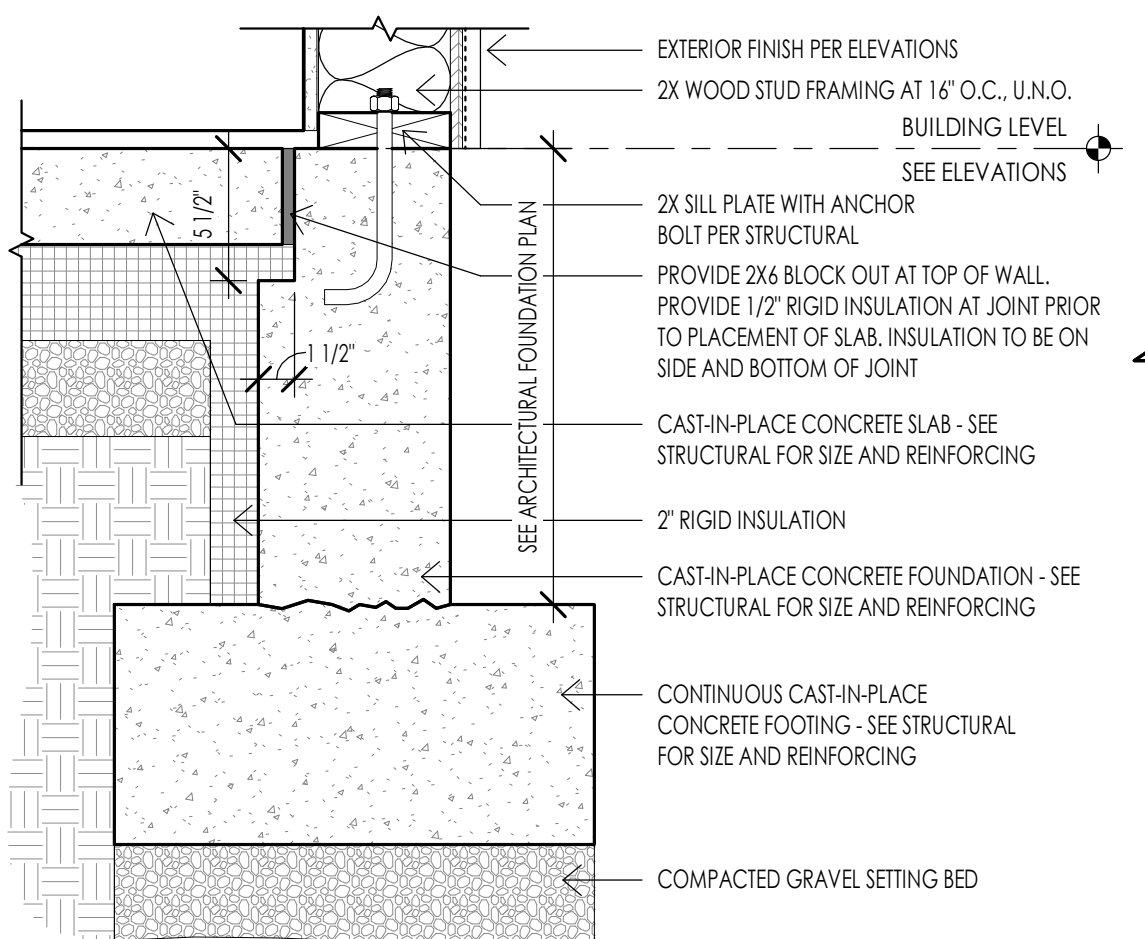
© 2021 THINK ARCHITECTURE, INC.



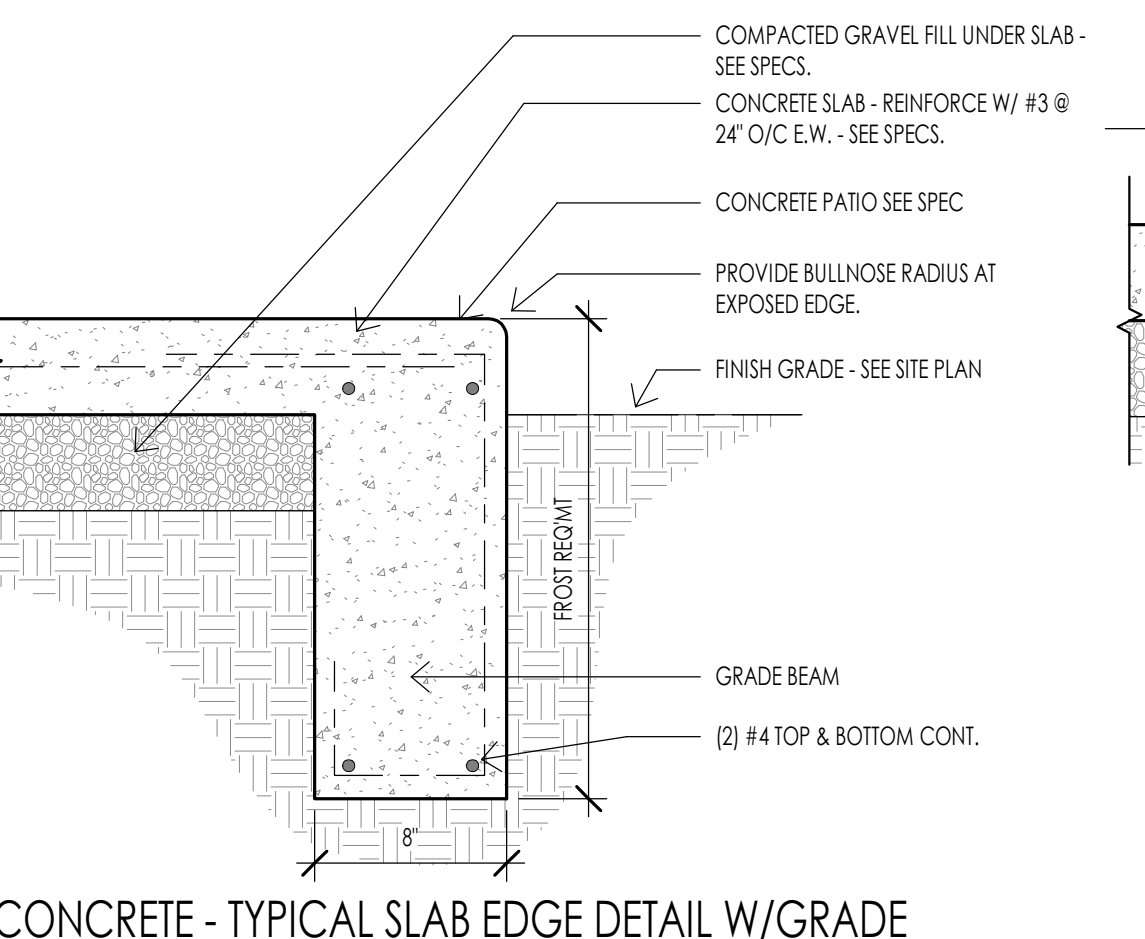
**CONCRETE - TYPICAL FOUNDATION WATERPROOFING** 1  
3/4" = 1'-0"



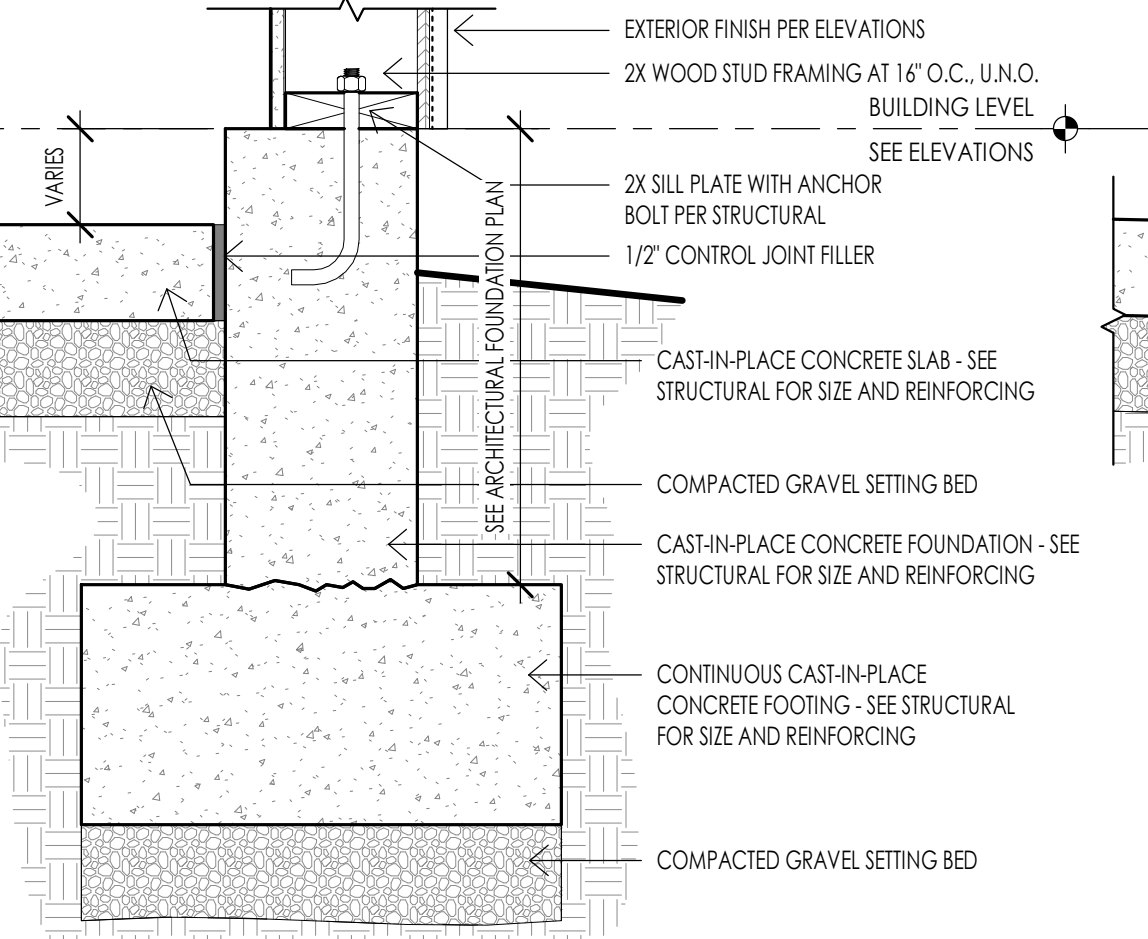
**CONCRETE - TYPICAL FOUNDATION FURR OUT WALL** 2  
1 1/2" = 1'-0"



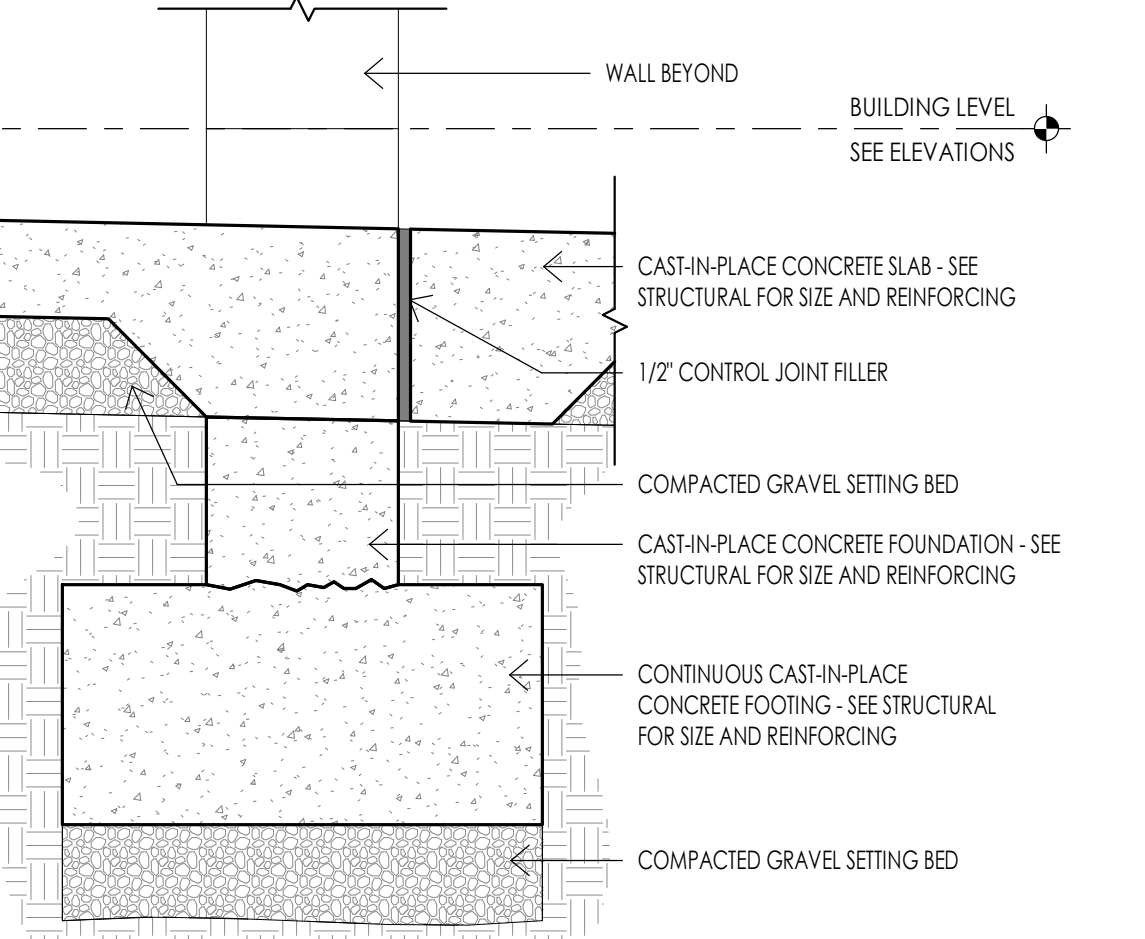
**CONCRETE - FOUNDATION DETAIL AT WALKOUT** 3  
1 1/2" = 1'-0"



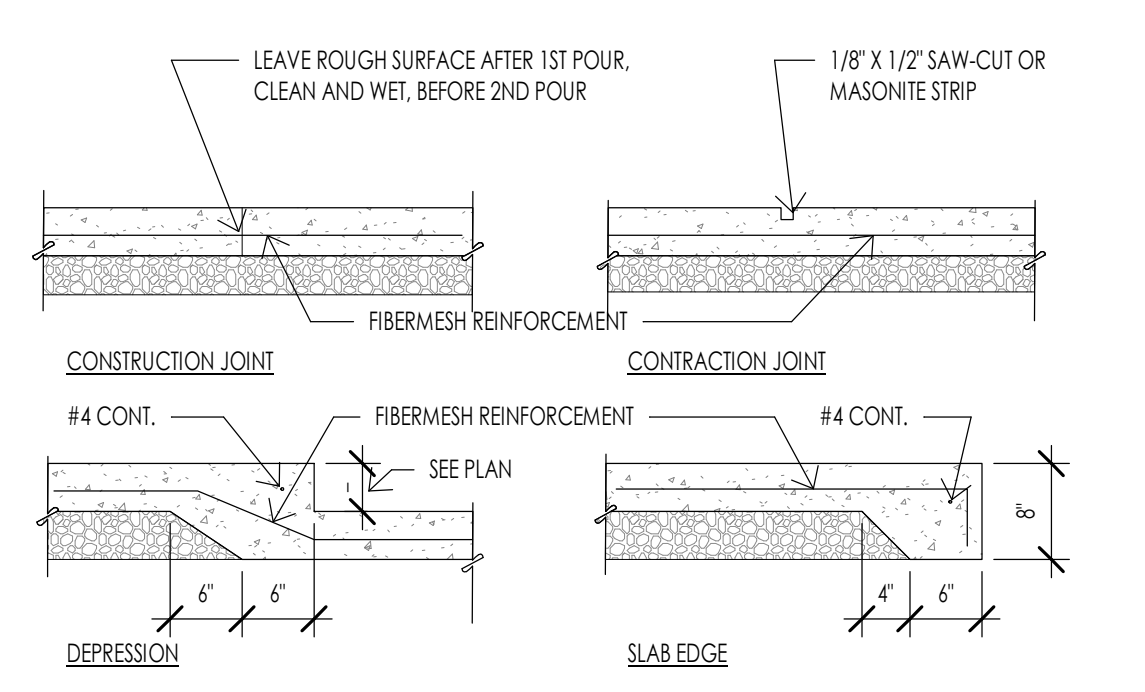
**CONCRETE - TYPICAL SLAB EDGE DETAIL W/GRADE BEAM** 4  
1 1/2" = 1'-0"



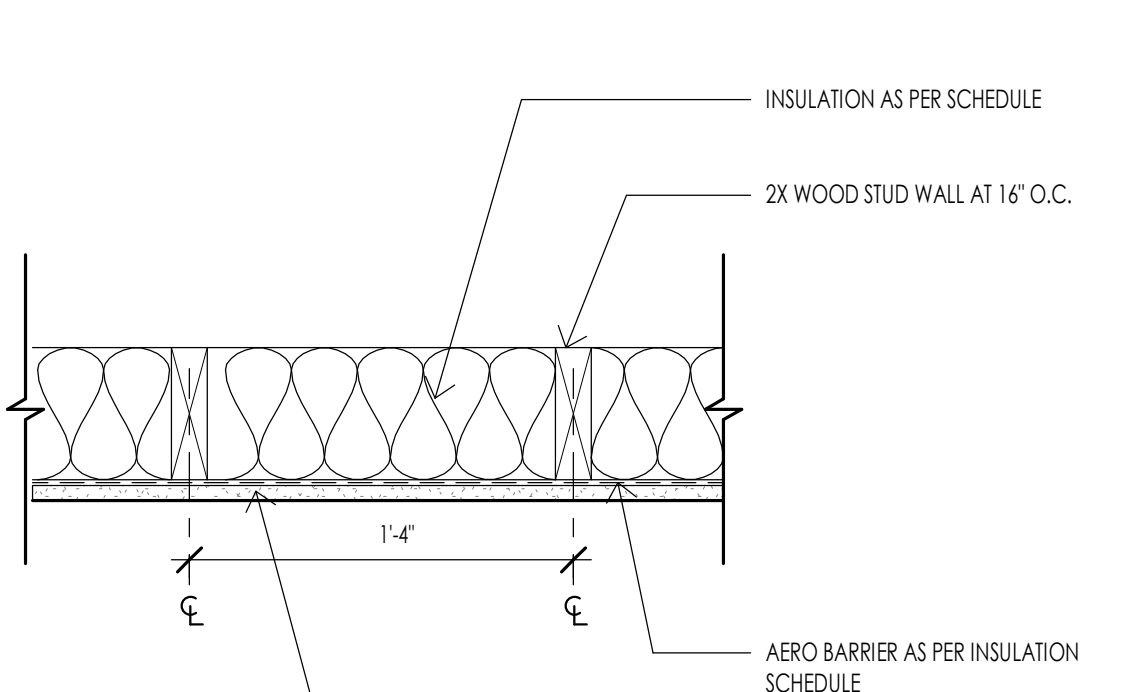
**CONCRETE - FOUNDATION DETAIL AT GARAGE** 5  
1 1/2" = 1'-0"



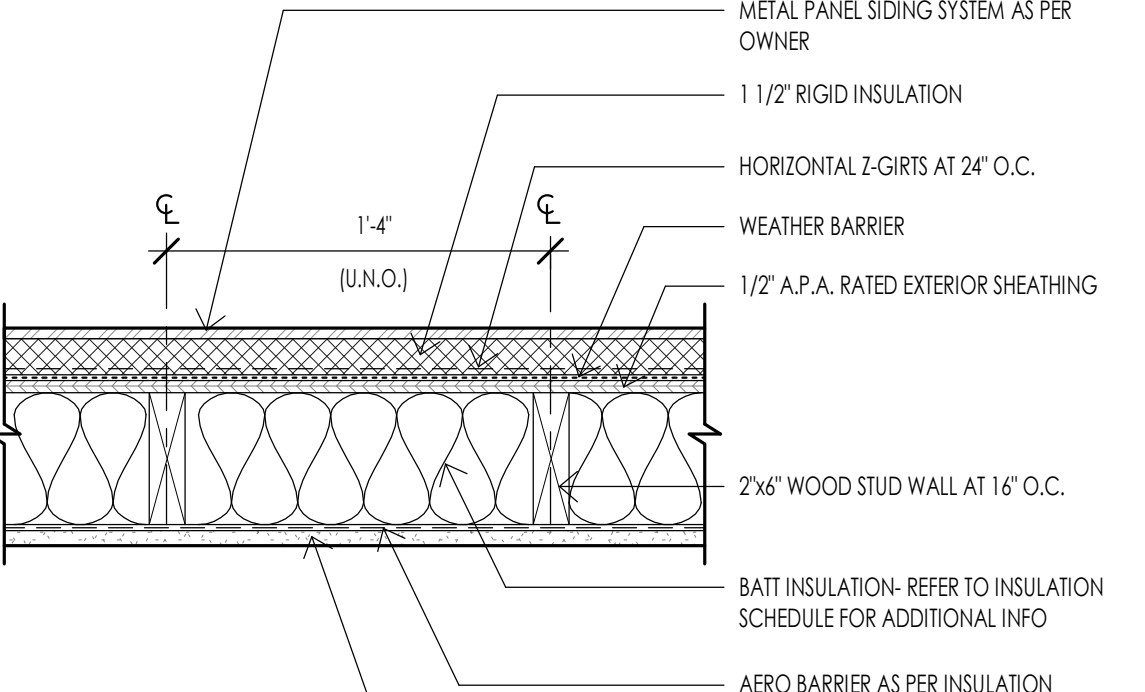
**CONCRETE - FOUNDATION DETAIL AT GARAGE DOOR** 6  
1 1/2" = 1'-0"



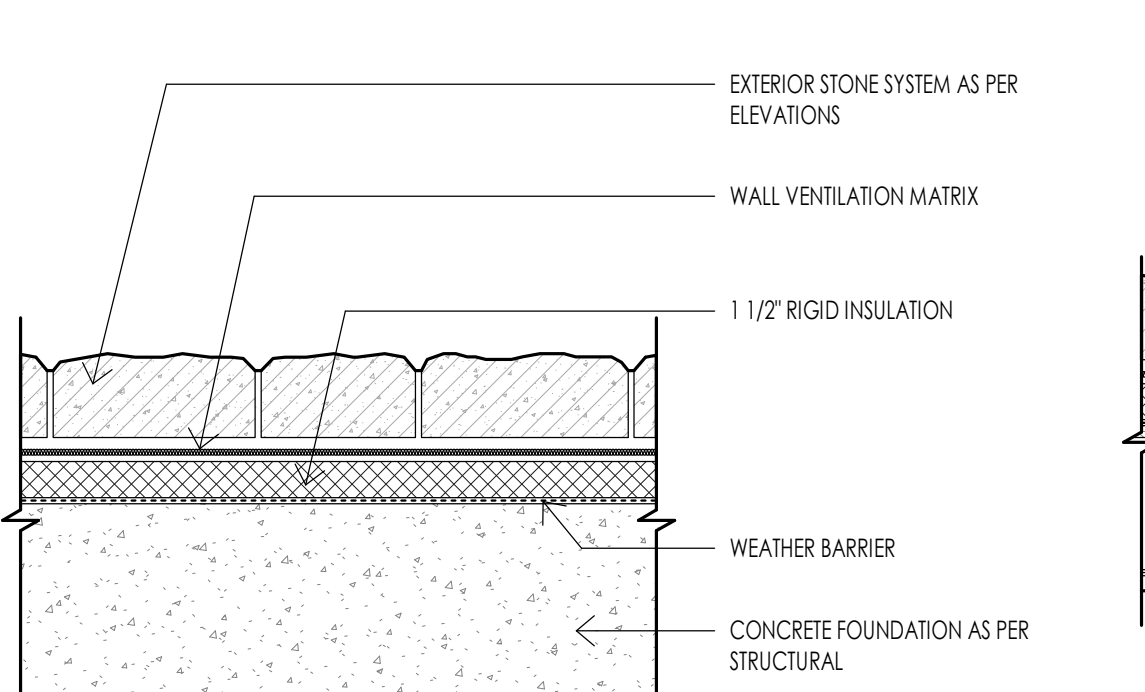
**CONCRETE - TYPICAL SLAB DETAILS** 7  
3/4" = 1'-0"



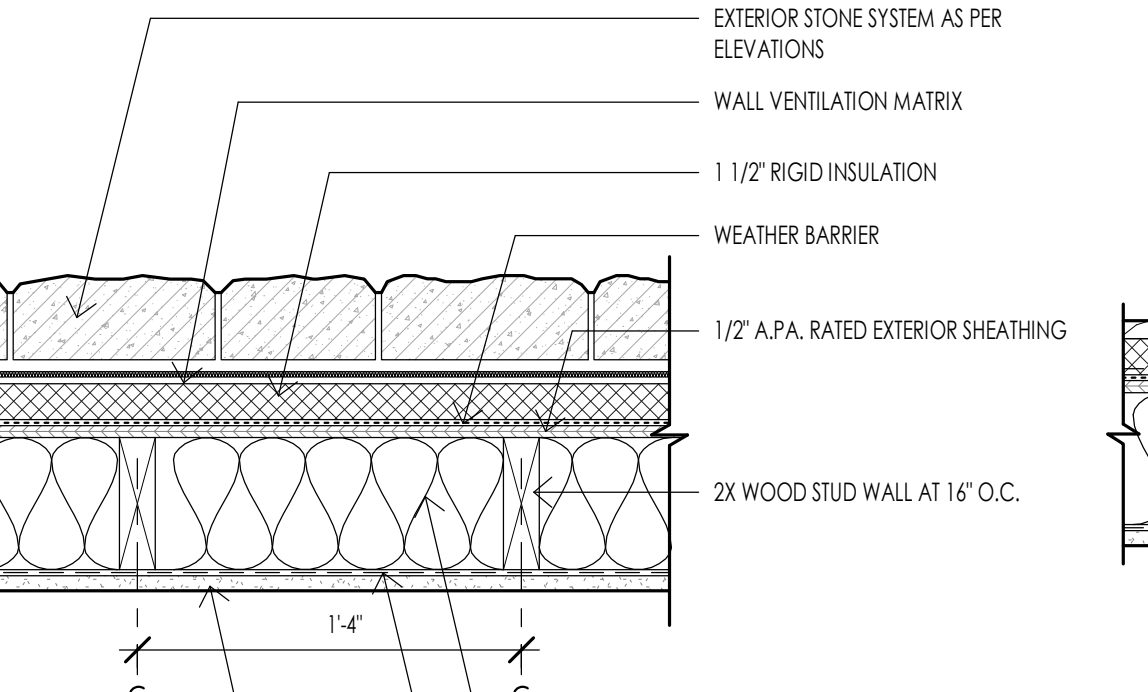
**FRAMING - FURR OUT WALL ASSEMBLY** 8  
1 1/2" = 1'-0"



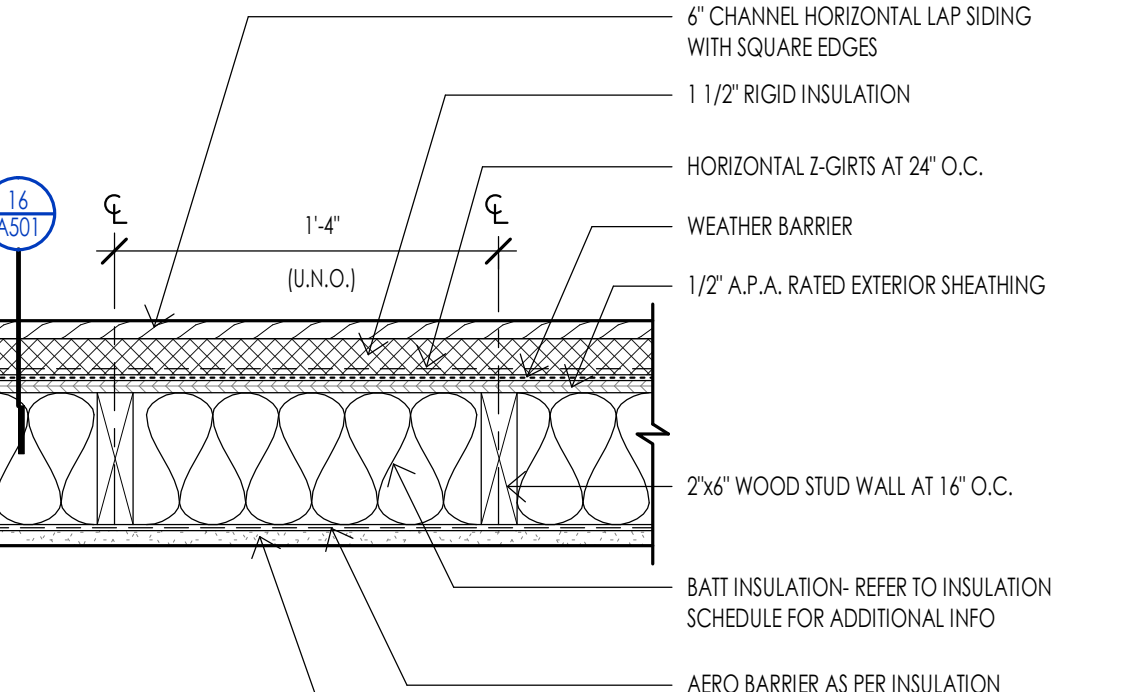
**FRAMING - METAL PANEL WALL ASSEMBLY** 9  
1 1/2" = 1'-0"



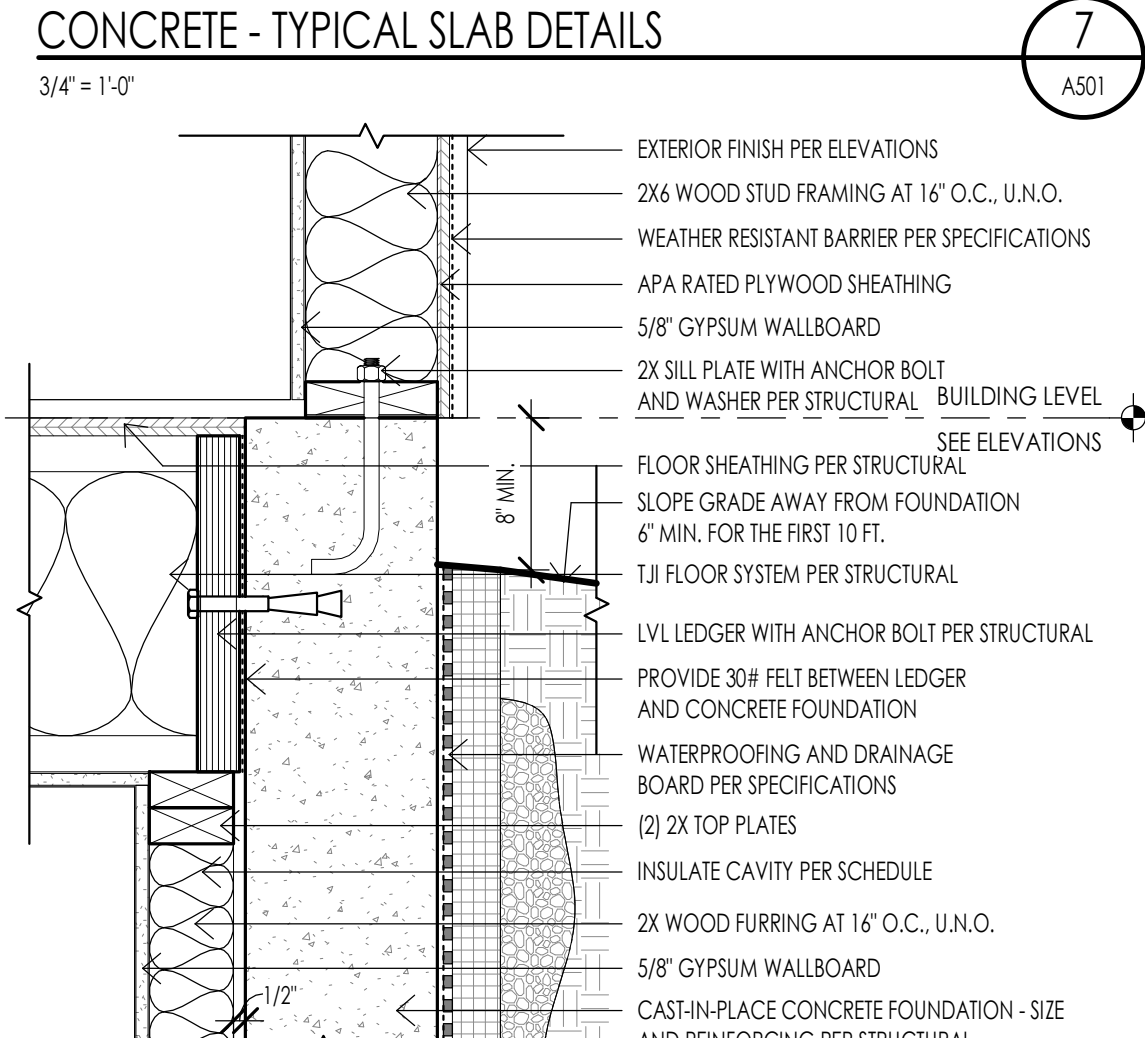
**FRAMING - STONE ASSEMBLY W/INSULATION** 10  
1 1/2" = 1'-0"



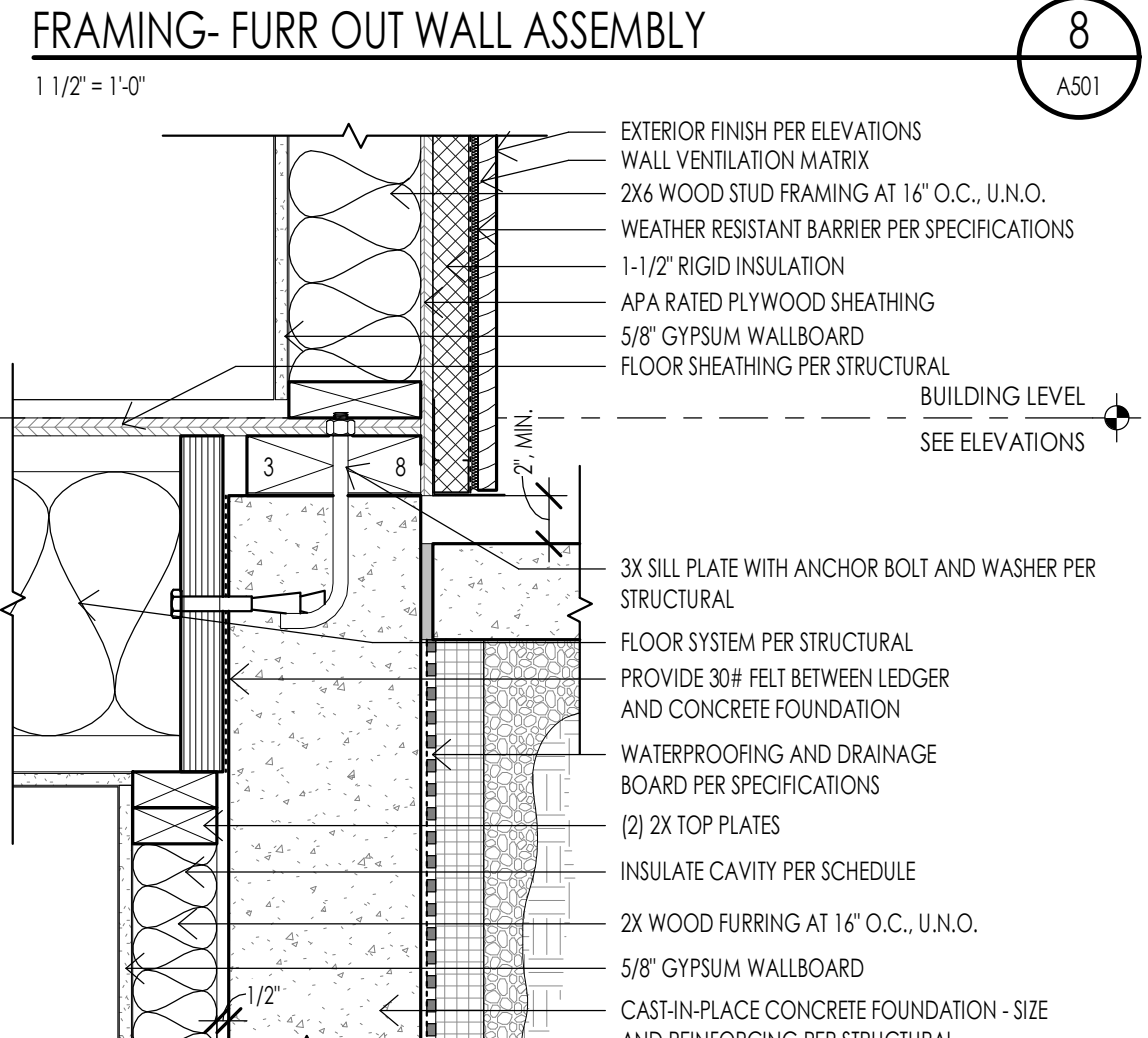
**FRAMING - STONE MASONRY WALL ASSEMBLY** 11  
1 1/2" = 1'-0"



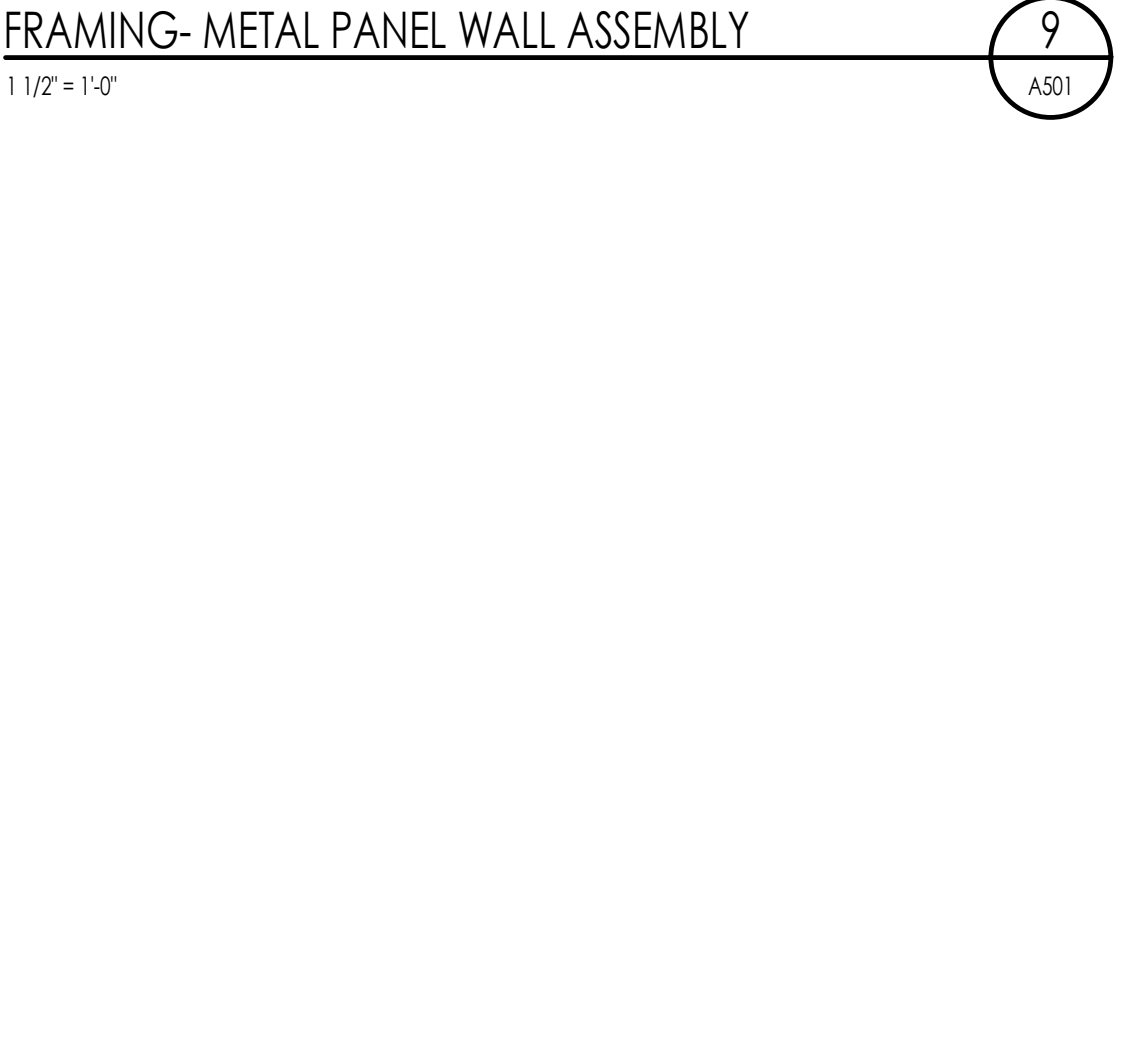
**FRAMING - WOOD SIDING WALL ASSEMBLY** 12  
1 1/2" = 1'-0"



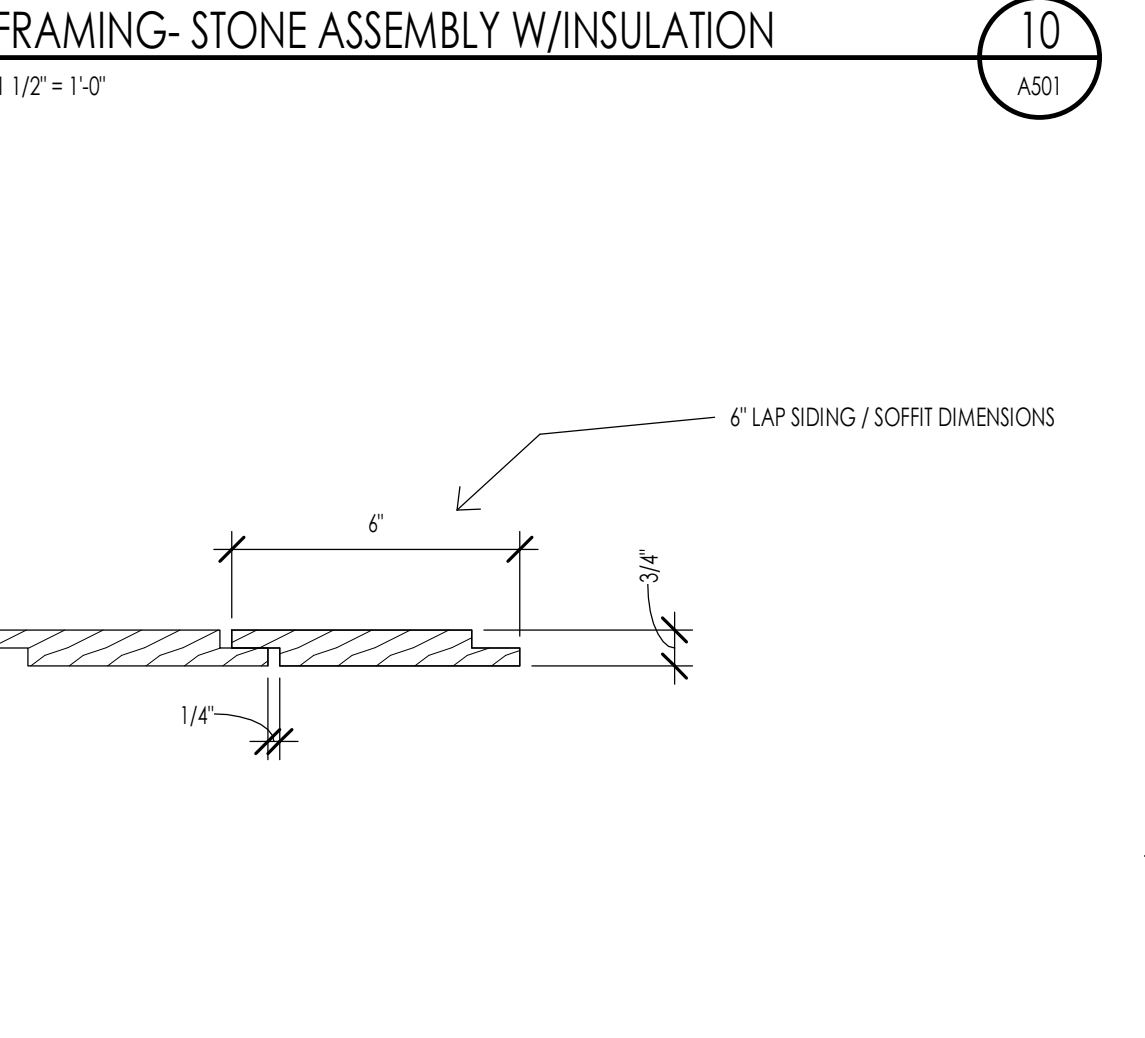
**TYPICAL FLOOR DETAIL AT FOUNDATION** 13  
1 1/2" = 1'-0"



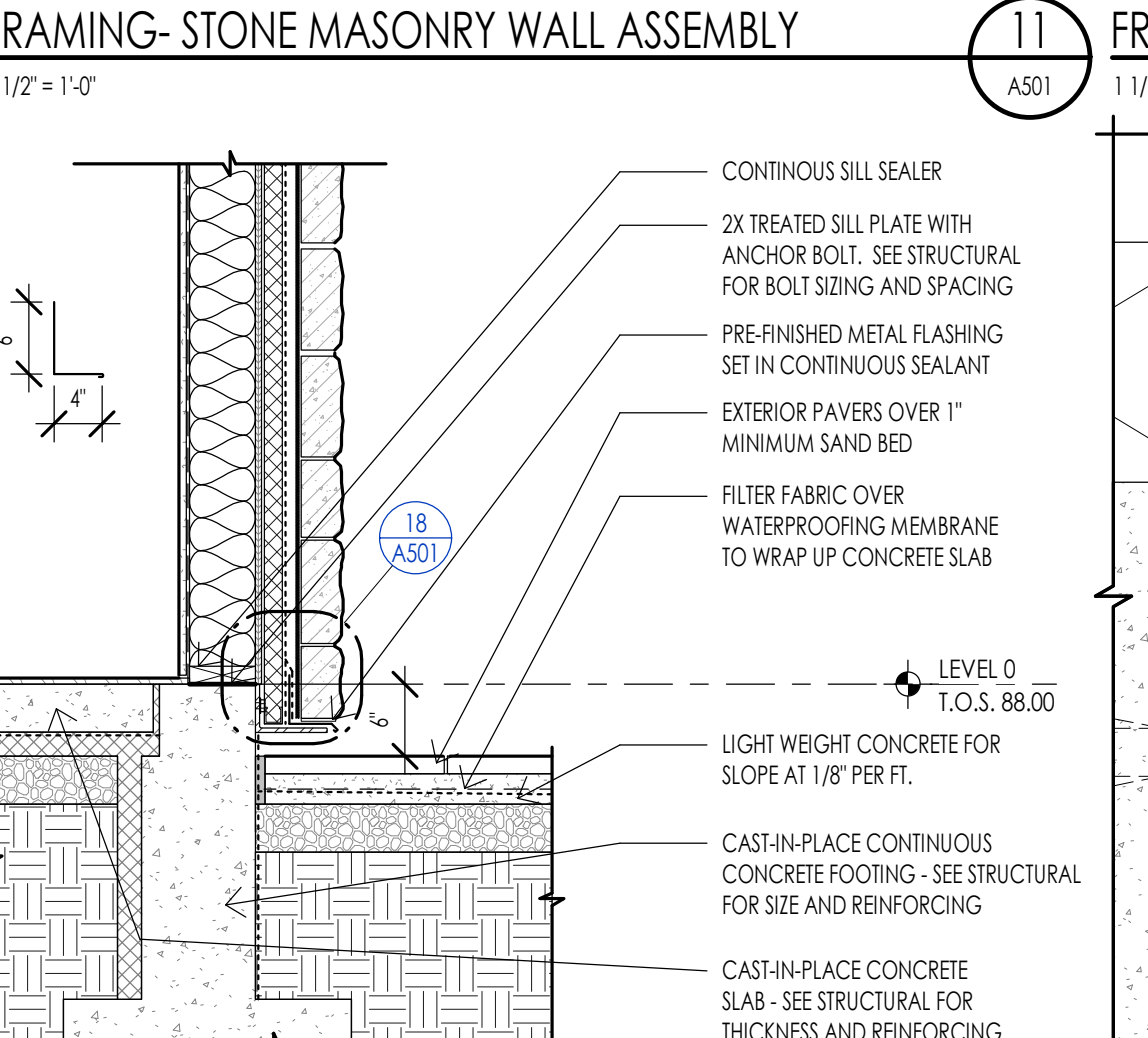
**FLOOR DETAIL AT FOUNDATION/PATIO** 14  
1 1/2" = 1'-0"



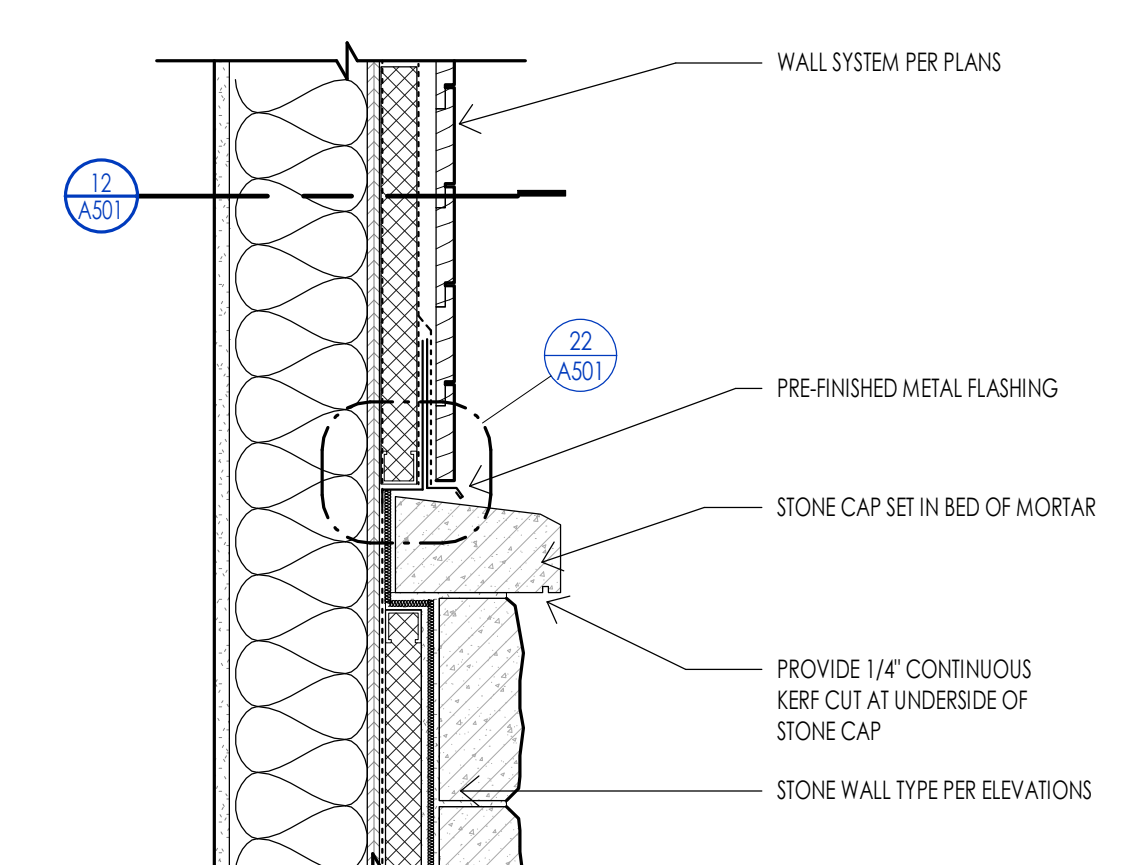
**FRAMING - TYPICAL WOOD SIDING DETAIL** 16  
3" = 1'-0"



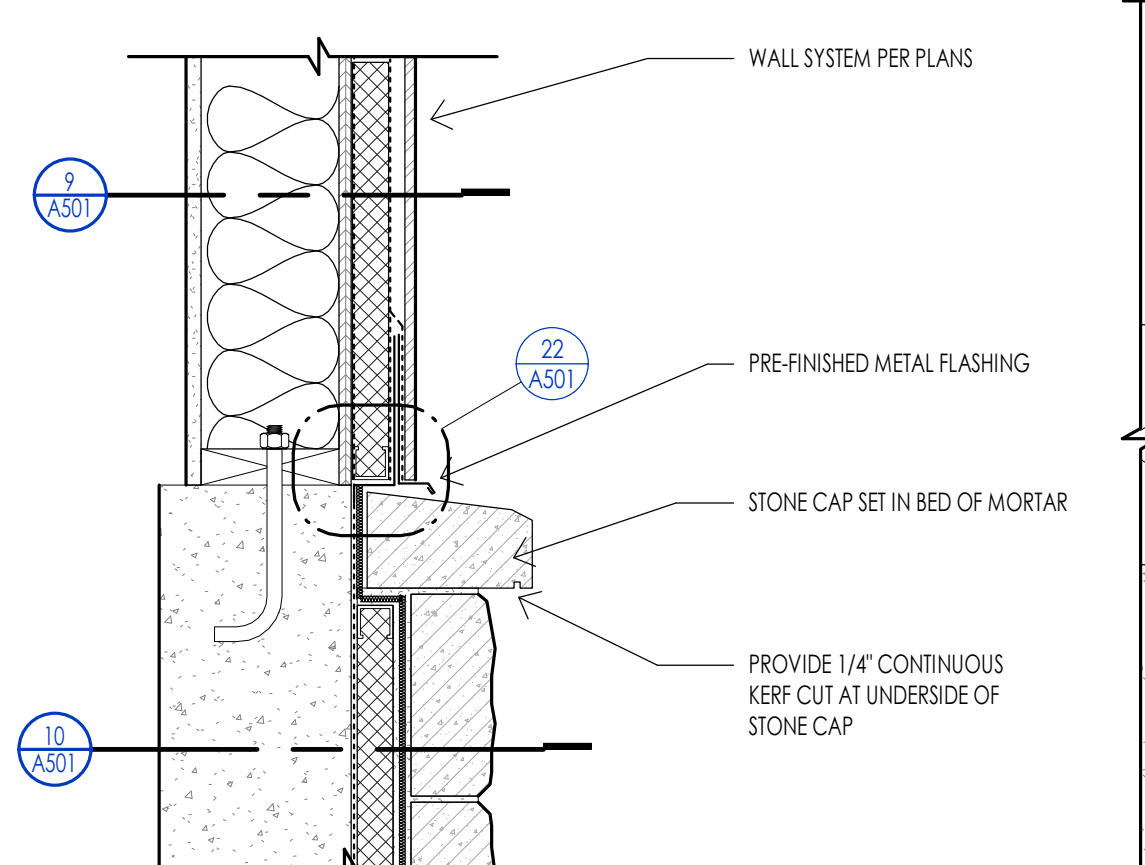
**CONCRETE - FOUNDATION AT PAVERS** 17  
3/4" = 1'-0"



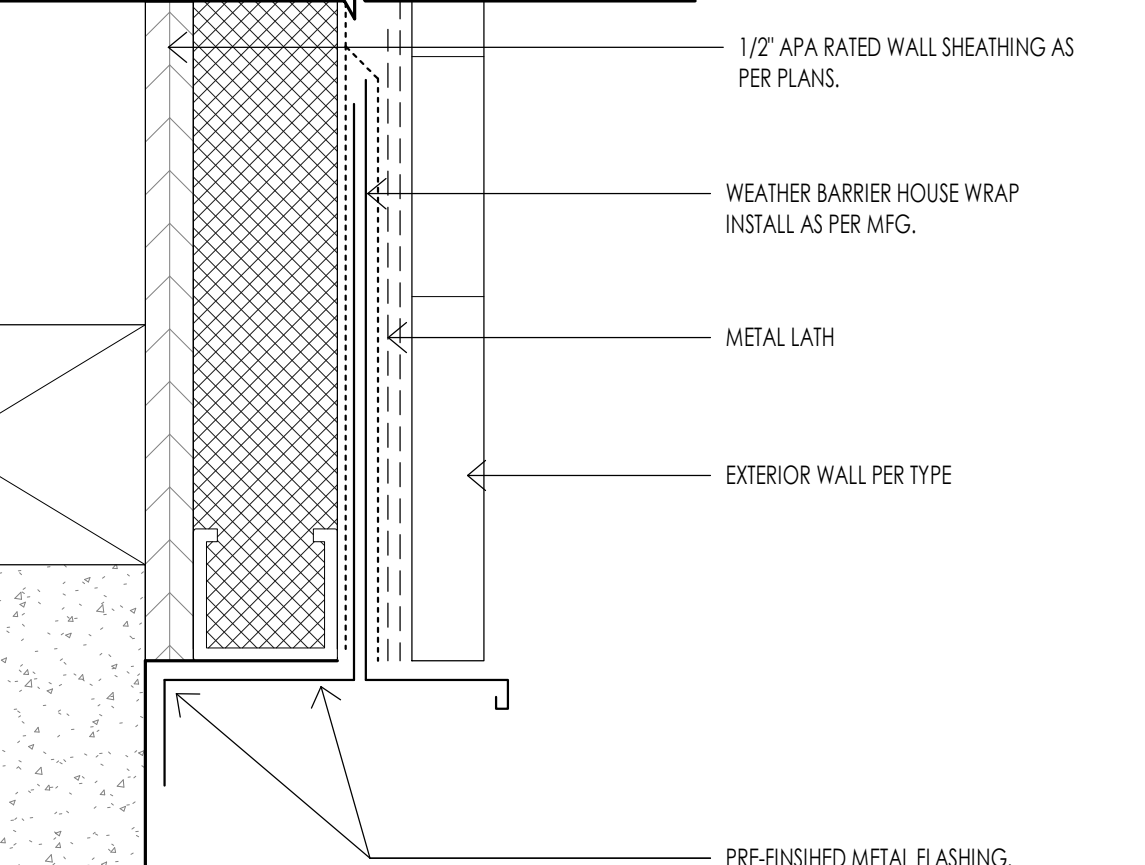
**MASONRY - STONE BASE FLASHING** 18  
6" = 1'-0"



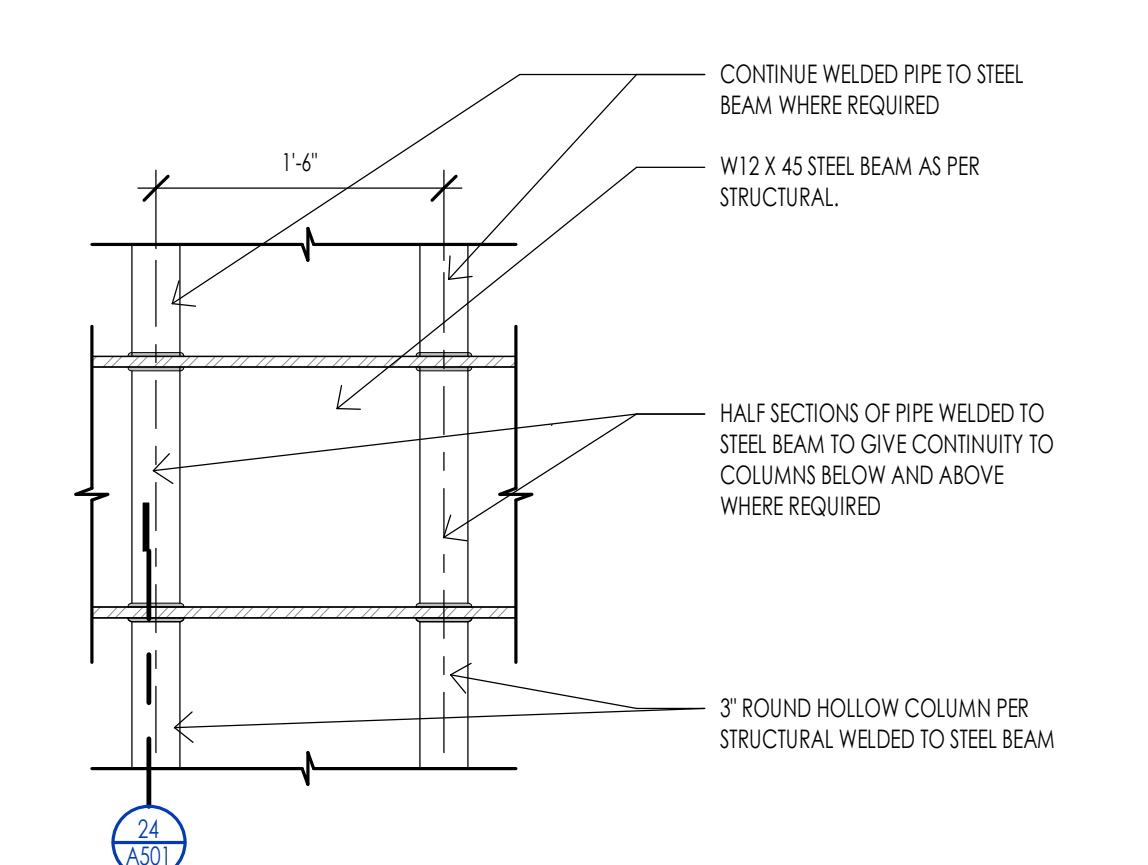
**MASONRY - TRANSITION STONE WALL TO SIDING** 20  
1 1/2" = 1'-0"



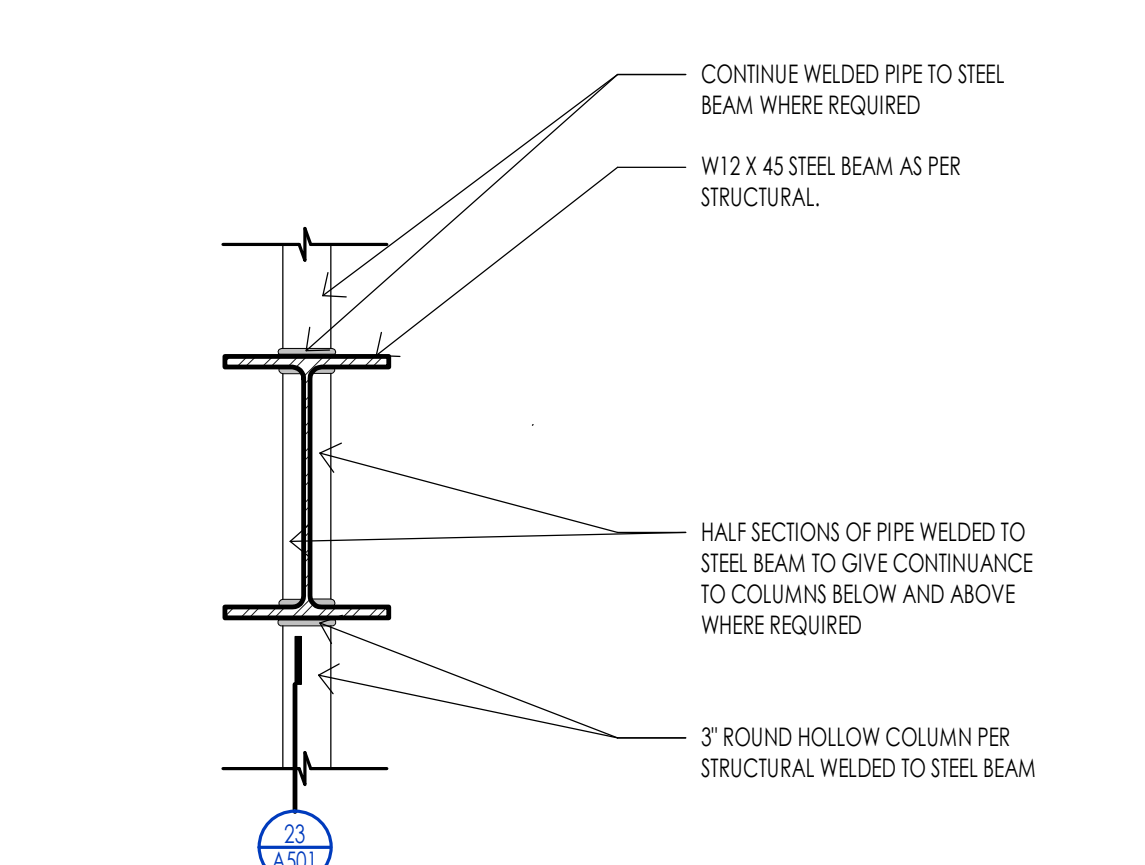
**MASONRY - STONE WALL TO METAL PANEL WALL** 21  
1 1/2" = 1'-0"



**CONCRETE - WOOD SIDING BASE FLASHING** 22  
6" = 1'-0"



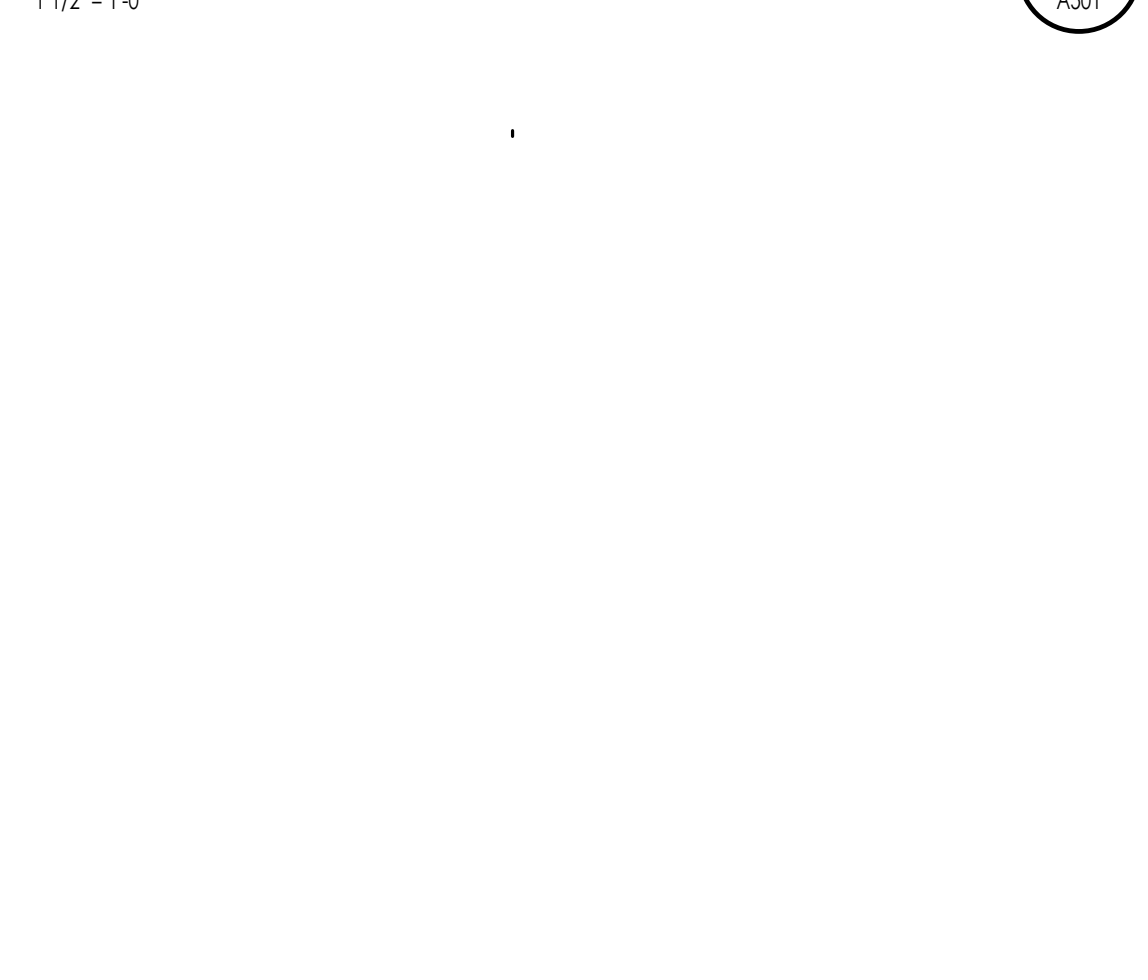
**DECK - PIPE COLUMN TO STEEL BEAM DETAIL** 23  
1" = 1'-0"



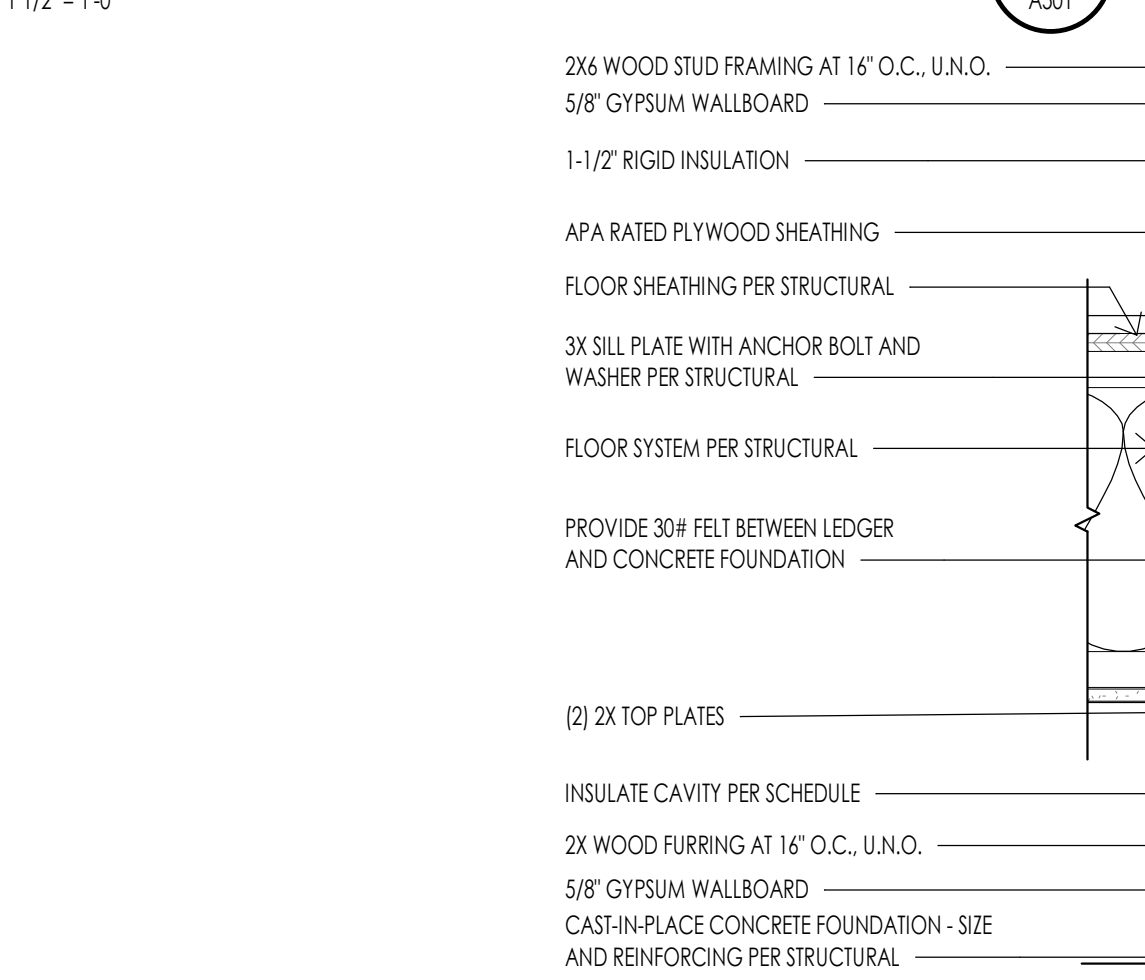
**DECK - PIPE COLUMN TO STEEL BEAM SECTION** 24  
1" = 1'-0"



**FRAMING - FLASHING DETAIL - SIDING AT GRADE** 28  
1 1/2" = 1'-0"



**DECK - TYPICAL TIMBER CONNECTION** 29  
3" = 1'-0"



**DECK - STEEL BEAM TO JOIST DETAIL** 30  
1" = 1'-0"

WARM SPRINGS RESIDENCE #33

170 BALD MOUNTAIN ROAD  
KETCHUM, IDAHO 83340

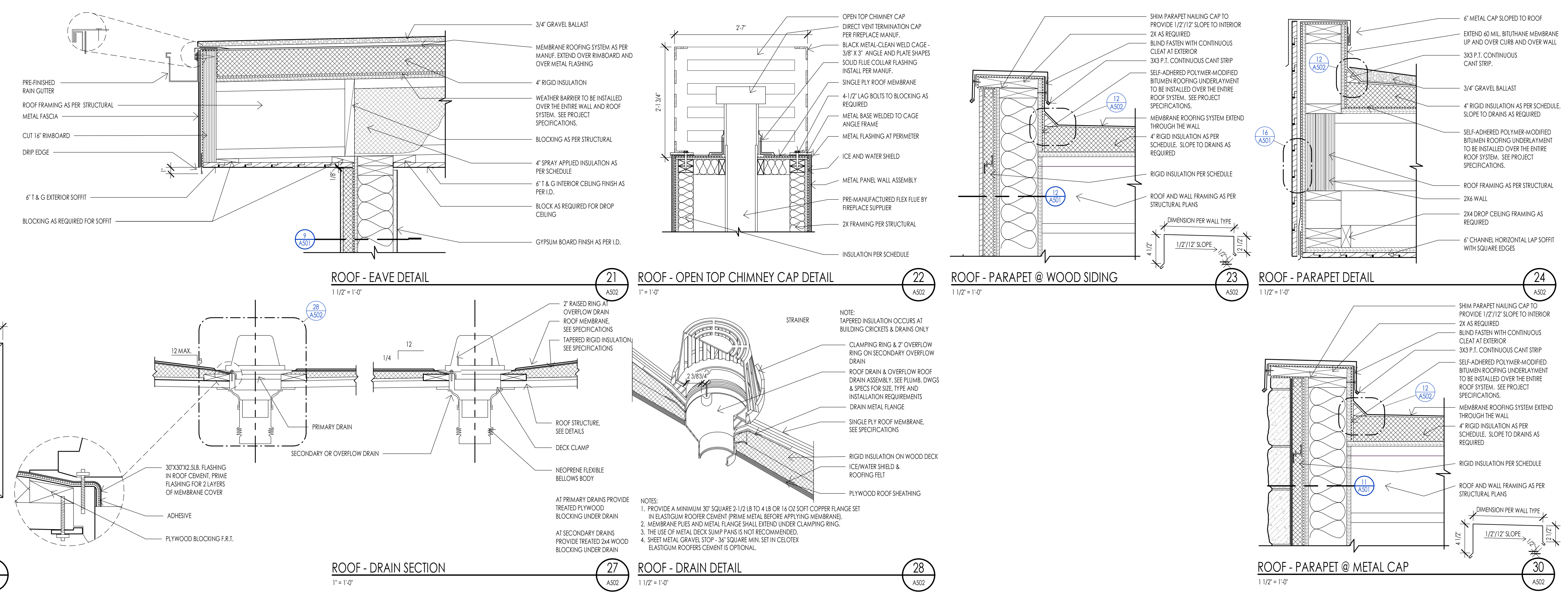
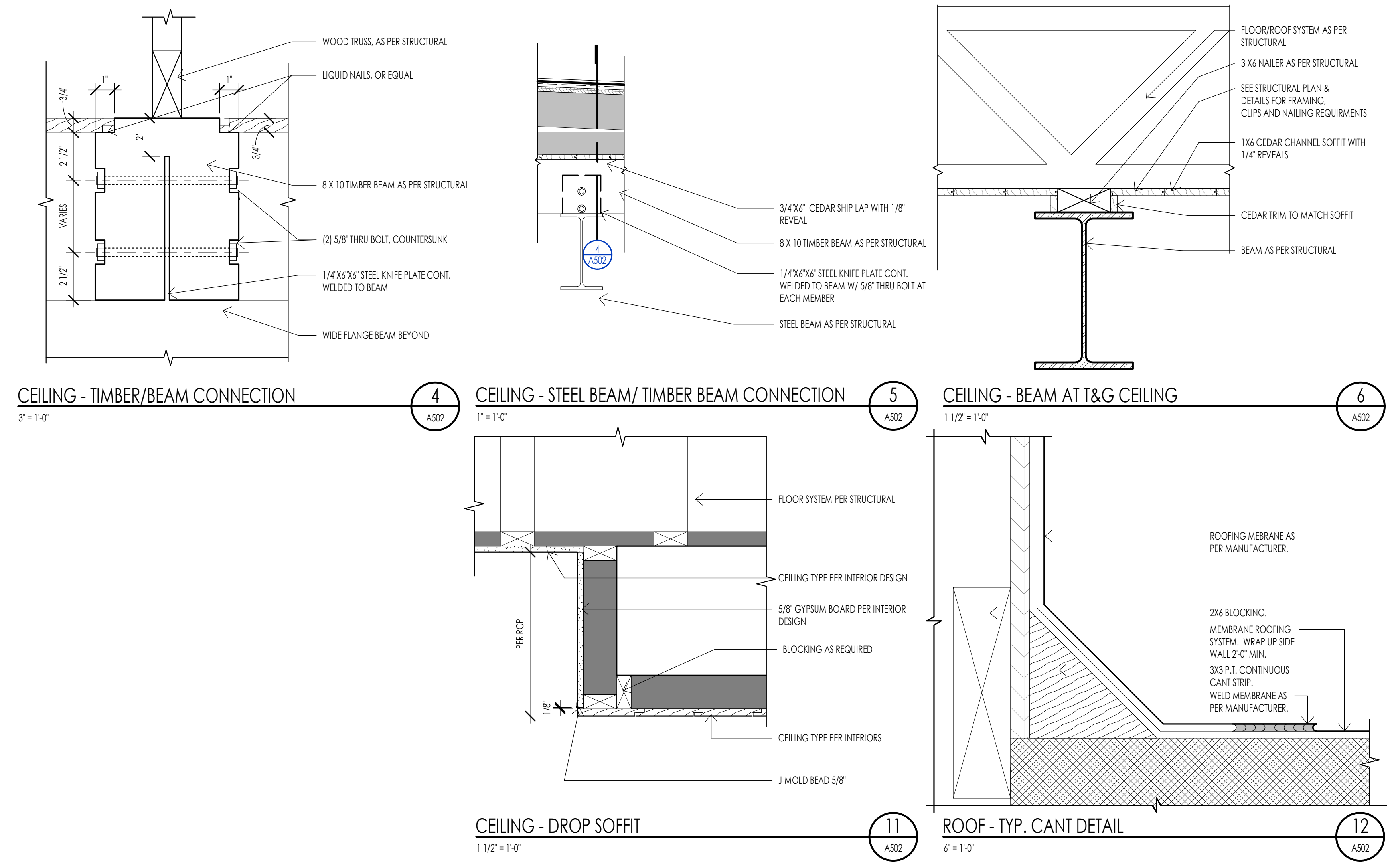
PROJECT NC22023.33  
DATE: 2023.11.06  
REVISIONS:

SHEET TITLE:  
**ARCHITECTURAL  
DETAILS**

SHEET NUMBER:  
**A501**

© 2021 THINK ARCHITECTURE, INC.





NOTES:  
1. PROVIDE A MINIMUM 30" SQUARE 2-1/2" LB TO 4 LB OR 16 OZ SOFT COPPER FLANGE SET IN ELASTICUM ROOFER CEMENT (PRIME METAL BEFORE APPLYING MEMBRANE).  
2. MEMBRANE FLIES AND METAL FLANGE SHALL EXTEND UNDER CLAMPING RING.  
3. THE USE OF METAL DECK SUMP PANS IS NOT RECOMMENDED.  
4. SHEET METAL GRAVEL STOP- 36" SQUARE MIN. SET IN CELOTEX ELASTICUM ROOFERS CEMENT IS OPTIONAL.

WARM SPRINGS RESIDENCE #33

170 BALD MOUNTAIN ROAD  
KETCHUM, IDAHO 83340

PROJECT NC22023.33  
DATE: 2023.11.06  
REVISIONS:

SHEET TITLE:  
ARCHITECTURAL  
DETAILS

SHEET NUMBER:  
A502

© 2021 THINK ARCHITECTURE, INC.



Think

Architecture  
Interior Design  
Landscape Architecture  
Land Planning  
Construction Management

7927 So. Highpoint Parkway, Suite 300  
Scotty, Utah 84094  
ph. 801.269.0555  
fax 801.269.1425  
www.thinkarch.com

The designs shown and described herein including all technical drawings, graphic representation & models thereof, are proprietary & can not be copied, duplicated, or commercially exploited in whole or in part without the sole and express written permission from THINK Architecture, Inc. These drawings are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors, and office personnel only in accordance with this notice.

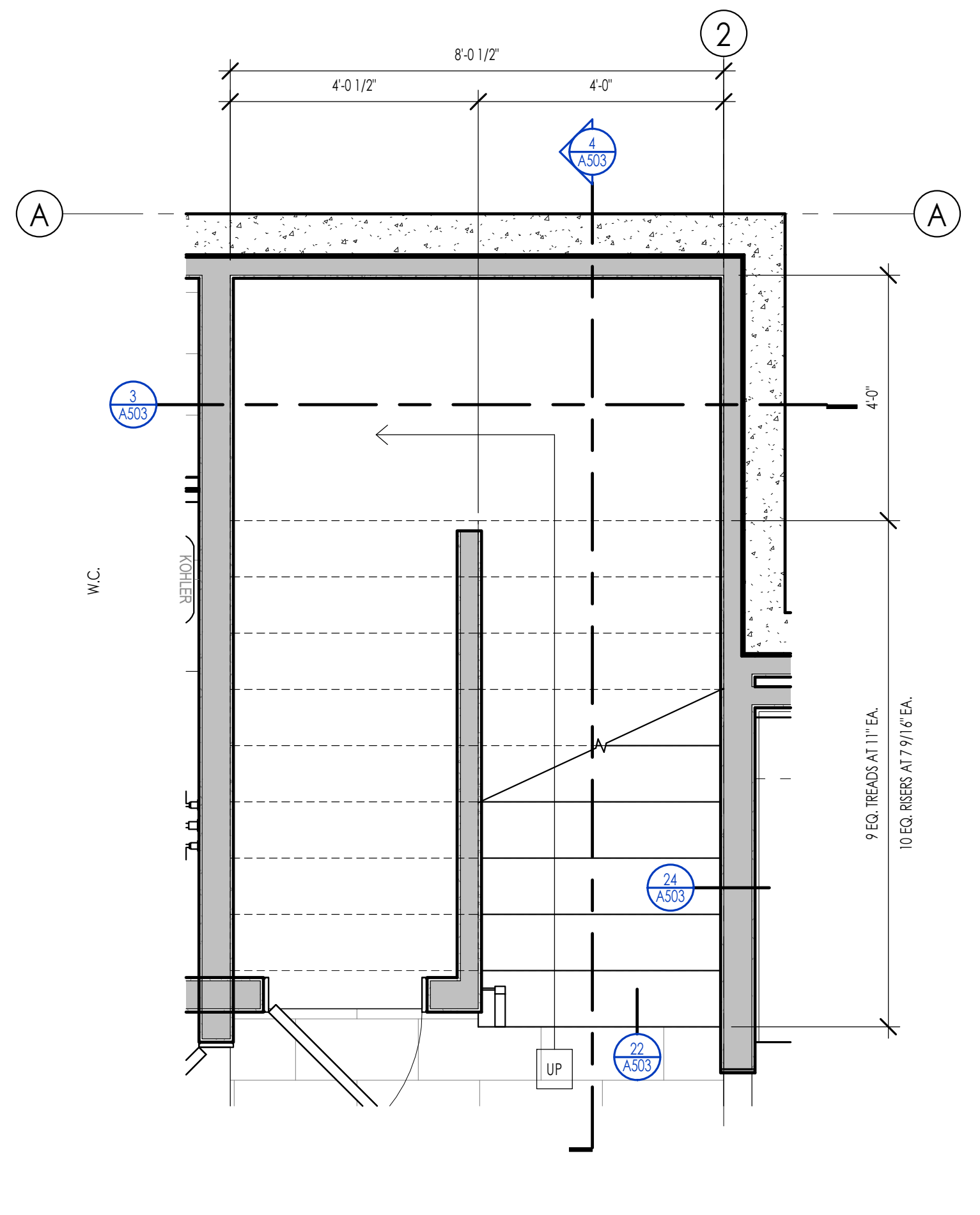


### STAIR PLAN GENERAL NOTES

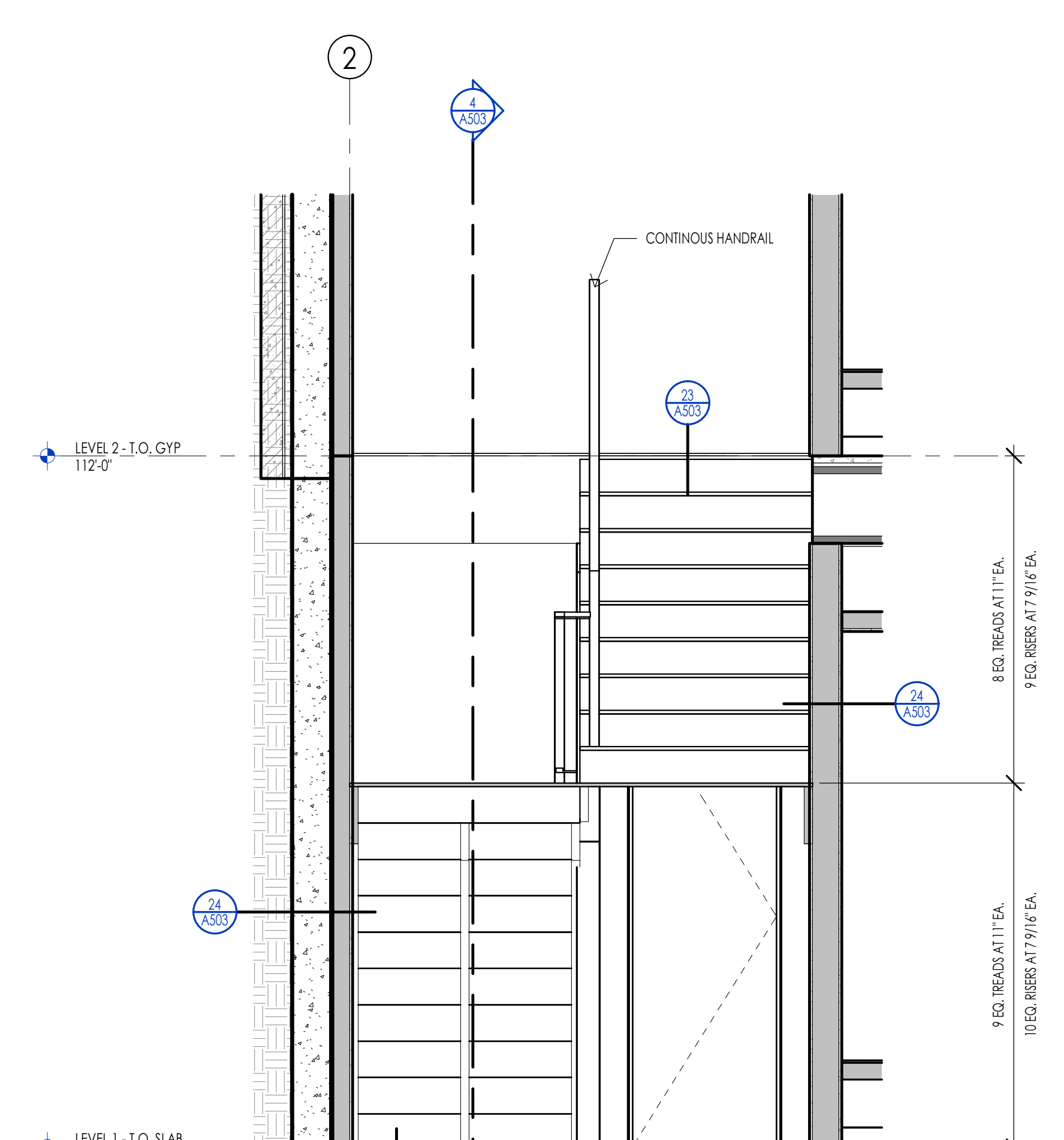
- STAIR CONSTRUCTION SHALL MEET THE FOLLOWING REQUIREMENTS. SEE I.R.C. SECTION R311.5.
  - THE MINIMUM STAIRWAY WIDTH SHALL NOT BE LESS THAN 36 INCHES CLEAR WIDTH. HANDRAILS MAY PROJECT INTO THE REQUIRED WIDTH A DISTANCE OF 4 1/2 INCHES FROM EACH SIDE OF A STAIRWAY. (I.R.C. R311.7.1 FOR ADDITIONAL WIDTH REQUIREMENTS OR FOR SPIRAL, CIRCULAR, WINDING STAIRS, ETC. REQUIREMENTS SEE I.R.C. SECTION R311.7.1.0.1)
  - THE MAXIMUM STAIR RISER HEIGHT SHALL NOT EXCEED 7 3/4 INCHES AND THE MINIMUM STAIR TREAD DEPTH SHALL BE 10 INCHES. THE TREAD DEPTH SHALL BE MEASURED HORIZONTALLY BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF ADJACENT TREADS. THE GREATEST RISER HEIGHT OR TREAD DEPTH SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH. (UTAH STATE AMENDMENT (REPLACES R311.7.5 AND ALLOWS FOR 8" MAX RISERS AND 9" MIN. TREADS))
  - LANDINGS: EVERY LANDING SHALL HAVE A WIDTH DIMENSION OF NOT LESS THAN THE STAIRWAY SERVED. EVERY LANDING SHALL HAVE A MINIMUM DEPTH DIMENSION OF 36 INCHES MEASURED IN THE DIRECTION OF TRAVEL. FOR LANDINGS WITH ADJOINING DOORS SEE I.R.C. SECTION R311.7.6 FOR SOME EXCEPTIONS/OPTIONS.
  - ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER STAIR SURFACE AND ANY SORTITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2 INCH GYPSUM BOARD. (I.R.C. R302.7)
  - HEADROOM: EVERY STAIRWAY SHALL HAVE A MINIMUM HEADROOM CLEARANCE IN ALL PARTS OF THE STAIR OF NOT LESS THAN 6 FEET 8 INCHES. SUCH CLEARANCES SHALL BE MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING OR FROM THE FLOOR SURFACE OF THE LANDING. (I.R.C. R311.7.2)
- HEADROOM: EVERY STAIRWAY SHALL HAVE A MINIMUM HEADROOM CLEARANCE IN ALL PARTS OF THE STAIR OF NOT LESS THAN 6 FEET 8 INCHES. SUCH CLEARANCES SHALL BE MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING OR FROM THE FLOOR SURFACE OF THE LANDING. (I.R.C. R311.7.2)
  - HANDRAILS SHALL BE MOUNTED A MINIMUM OF 34 INCHES AND A MAXIMUM OF 38 INCHES ABOVE THE NOSING OF THE TREAD AND SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS. ALL REQUIRED HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS WITH FOUR OR MORE RISERS FROM A POINT DIRECTLY ABOVE THE TOP RISER OF THE FLIGHT TO A POINT DIRECTLY ABOVE THE LOWEST RISER. HANDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS. TURNOUT OR STARTING EASING SHALL BE ALLOWED OVER THE LOWEST TREAD.
  - THE HAND GRIP PORTION OF HANDRAILS SHALL HAVE A CIRCULAR CROSS SECTION OF 1 1/4 INCHES MINIMUM TO 2 5/8 INCHES MAXIMUM. OTHER HANDRAIL SHAPES THAT HAVE AN EQUIVALENT GRASPING SURFACE ARE PERMISSIBLE. SEE BUILDING CODE. EDGES SHALL HAVE A MINIMUM RADIUS OF 0.031 INCH. R311.7.8.3.
  - HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1 1/2 INCHES BETWEEN THE WALL AND THE HANDRAIL.
- GUARD RAILS SHALL MEET THE FOLLOWING REQUIREMENTS. SEE I.R.C. SECTION R312.
  - GUARDRAILS ARE REQUIRED AT ALL PORCHES, BALCONIES OR RAISED FLOOR SURFACES LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW AND SHALL BE NOT LESS THAN 36 INCHES IN HEIGHT. OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDS NOT LESS THAN 34 INCHES IN HEIGHT MEASURED VERTICALLY FROM THE NOSING OF THE TREAD.
  - REQUIRED GUARDS ON OPEN SIDES OF STAIRWAYS, RAISED FLOOR AREAS, BALCONIES, ETC. SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL CLOSURES THAT DO NOT ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.
  - THE TRIANGLE OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM RAIL OF A GUARD AT THE OPEN SIDE OF A STAIRWAY ARE PERMITTED TO BE OF SUCH A SIZE THAT A SPHERE 6 INCHES IN DIAMETER CANNOT PASS THROUGH.
  - THE GUARDS AT SIDES OF STAIRS SHALL HAVE GUARD SUCH THAT A 4-3/8" SPHERE CANNOT PASS THROUGH IT.

### STAIR PLAN KEYNOTES

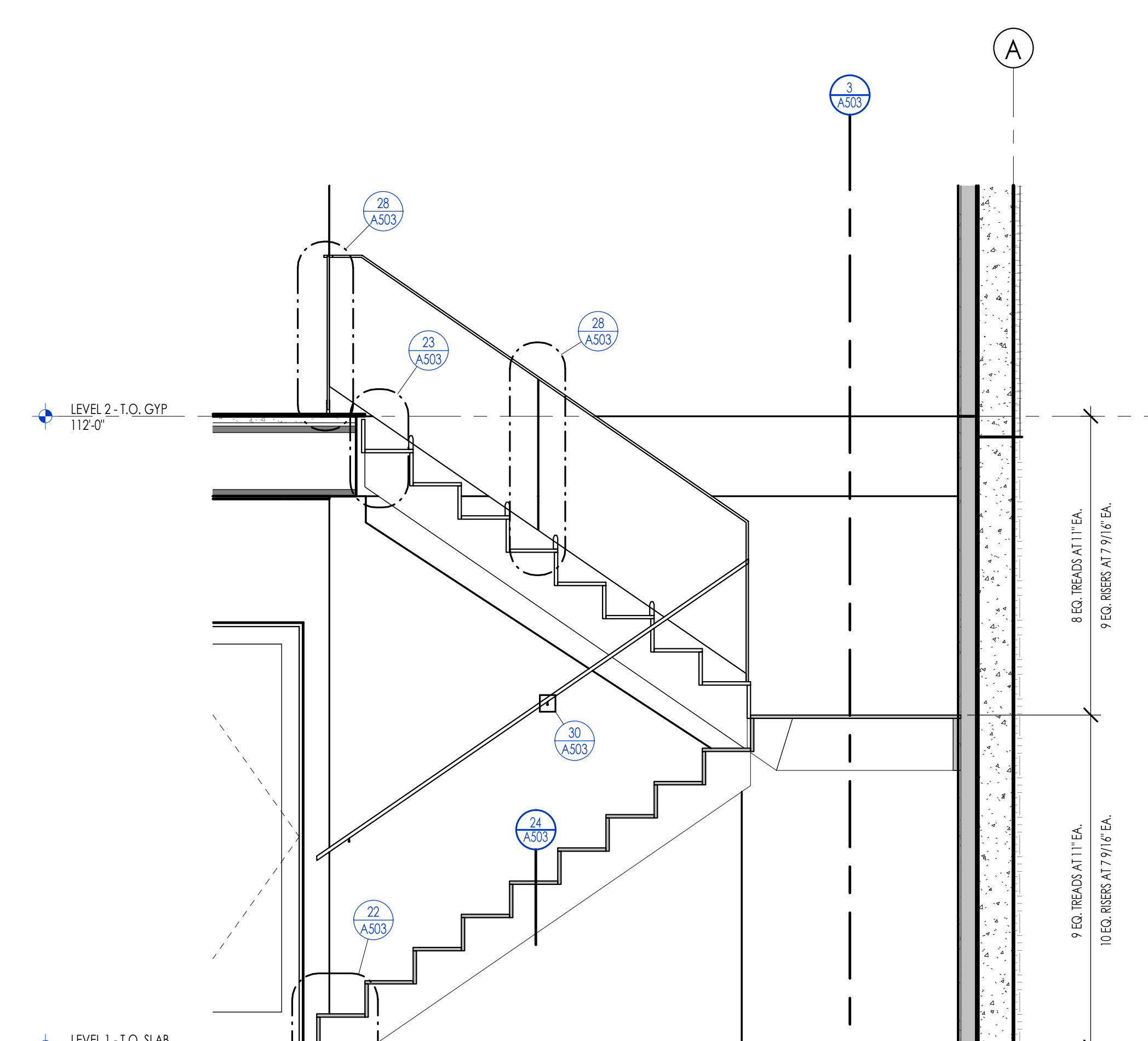
- SECTION VIEW
  - 5/8" GYP. BRD. TAPED, SANDED AND PRIMED.
  - HARDWOOD STAIR TREAD AS PER INTERIOR PLANS.
  - STRINGER TRIM AS PER INTERIOR PLANS.
  - 2" STUD WALL SPACED AS PER STRUCTURAL DRAWINGS.
  - TREADS AS PER KEY NOTES. SEE FRAMING PLAN & DETAILS.
  - STRINGERS AS PER KEY NOTES. SEE STRUCTURAL FRAMING PLAN & DETAILS.
  - INSULATION AS PER SCHEDULE.
  - 5/8" GYP. BRD. TAPED, SANDED AND PRIMED.



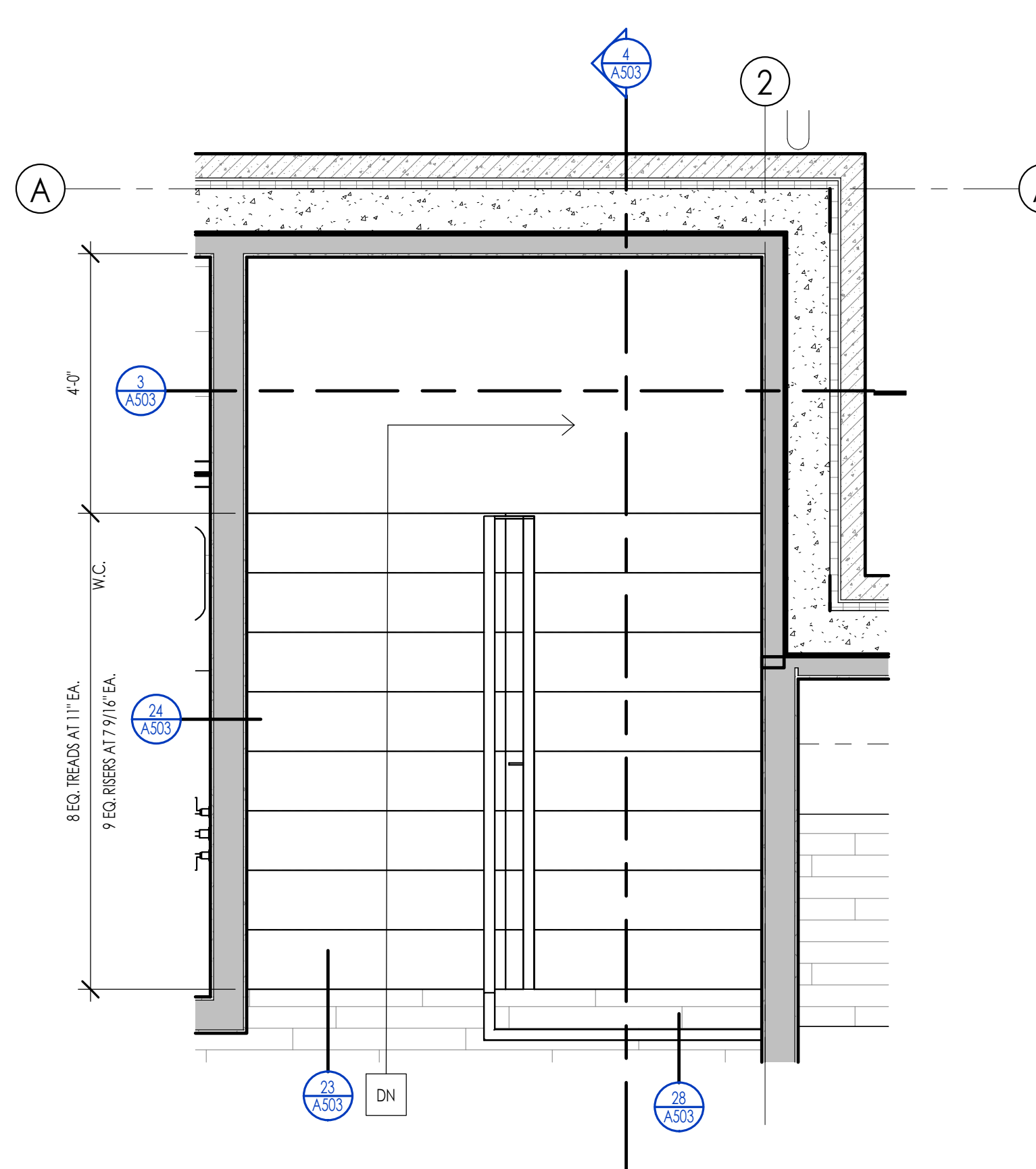
ENLARGED - STAIR LEVEL 1  
1/2" = 1'-0"



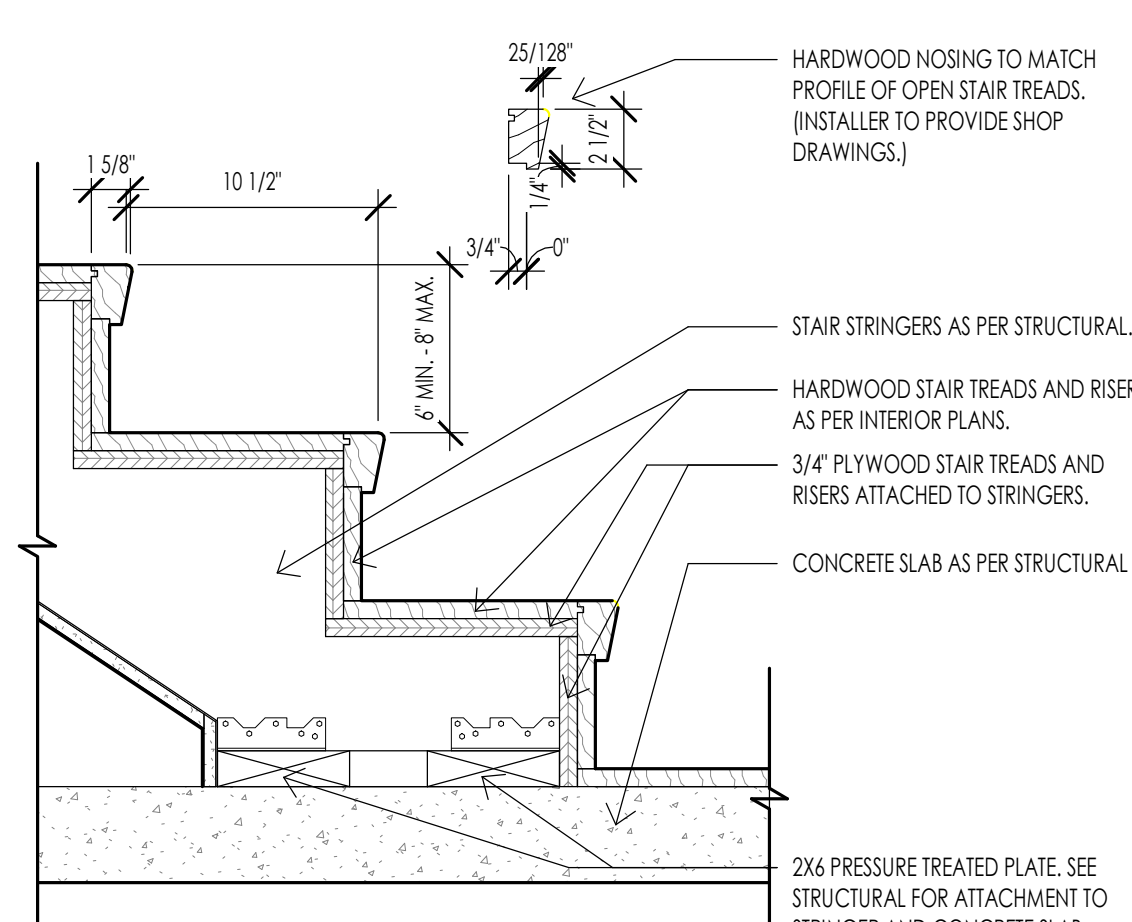
SECTION 1 - STAIR  
1/2" = 1'-0"



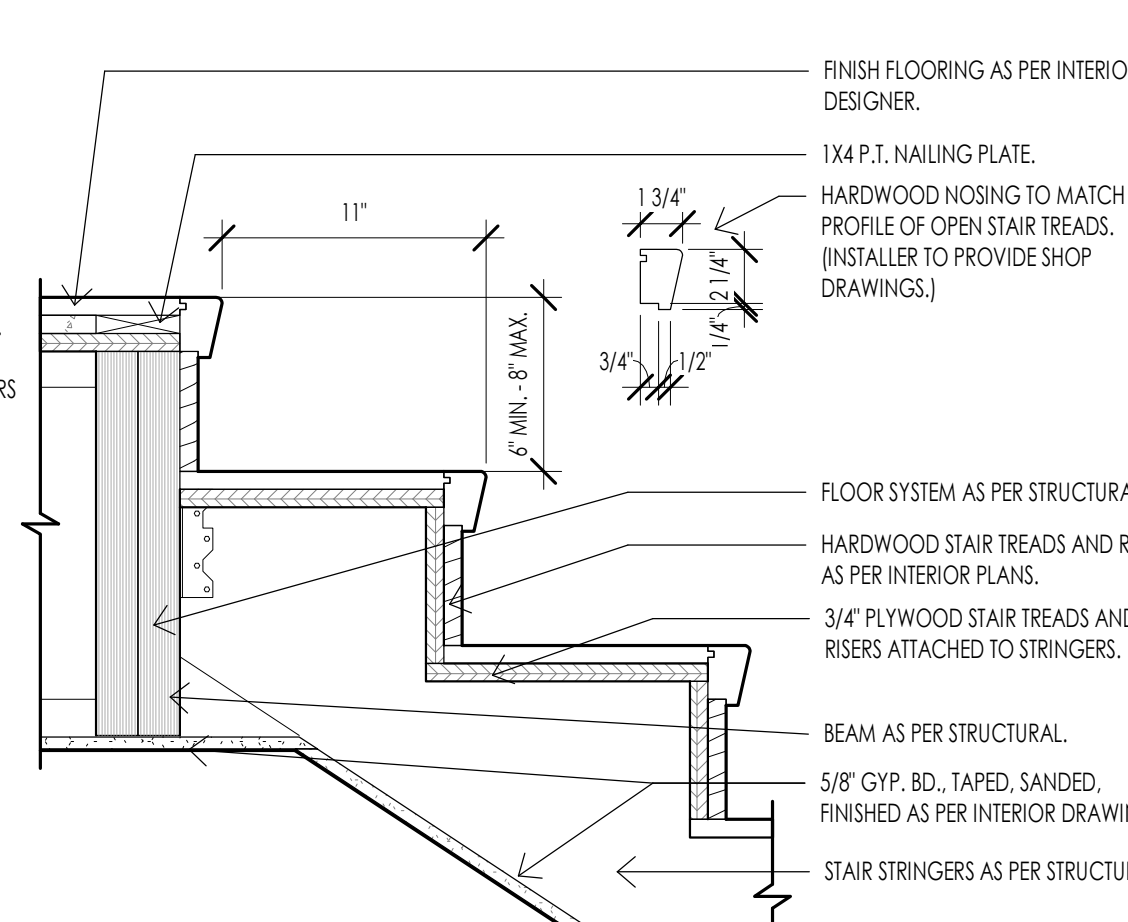
SECTION 2 - STAIR  
1/2" = 1'-0"



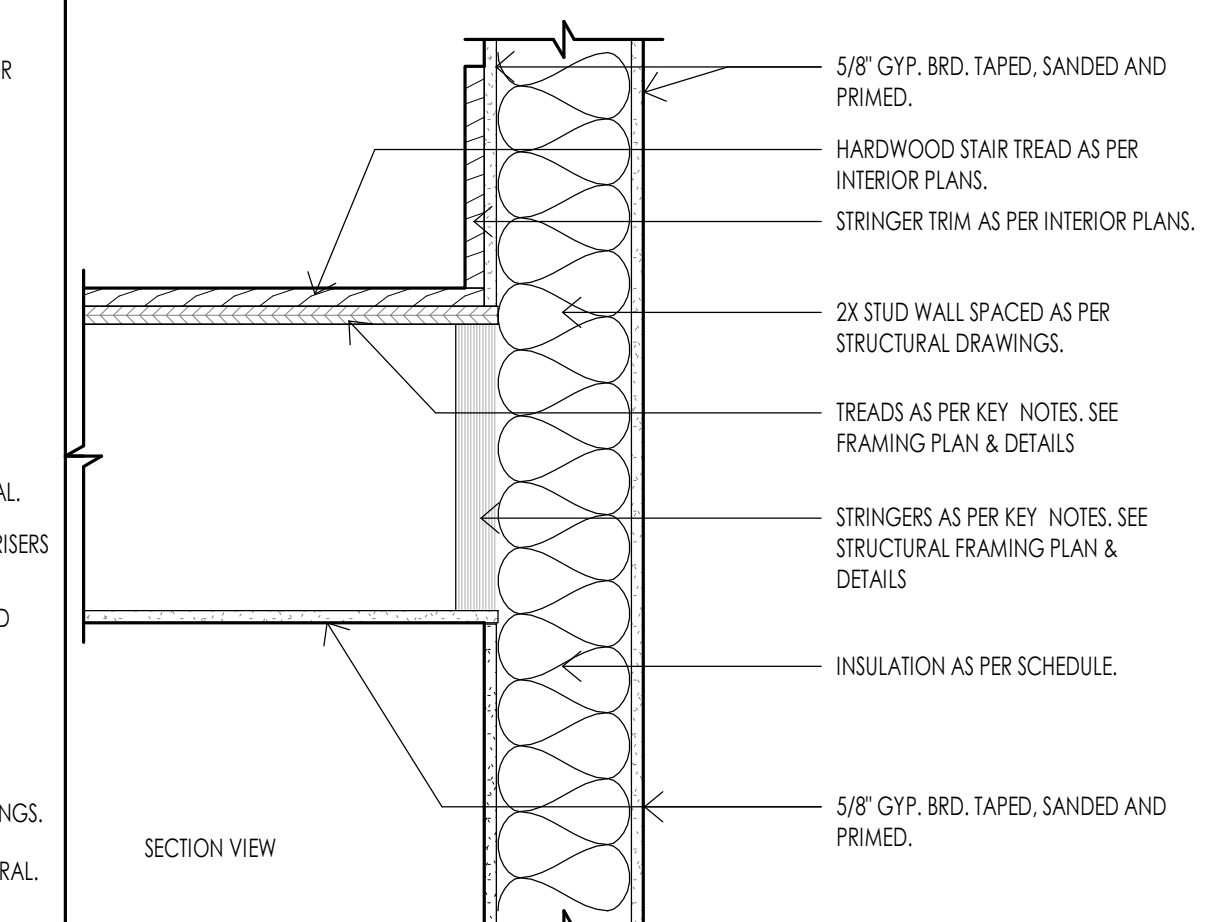
ENLARGED - STAIR LEVEL 2  
1/2" = 1'-0"



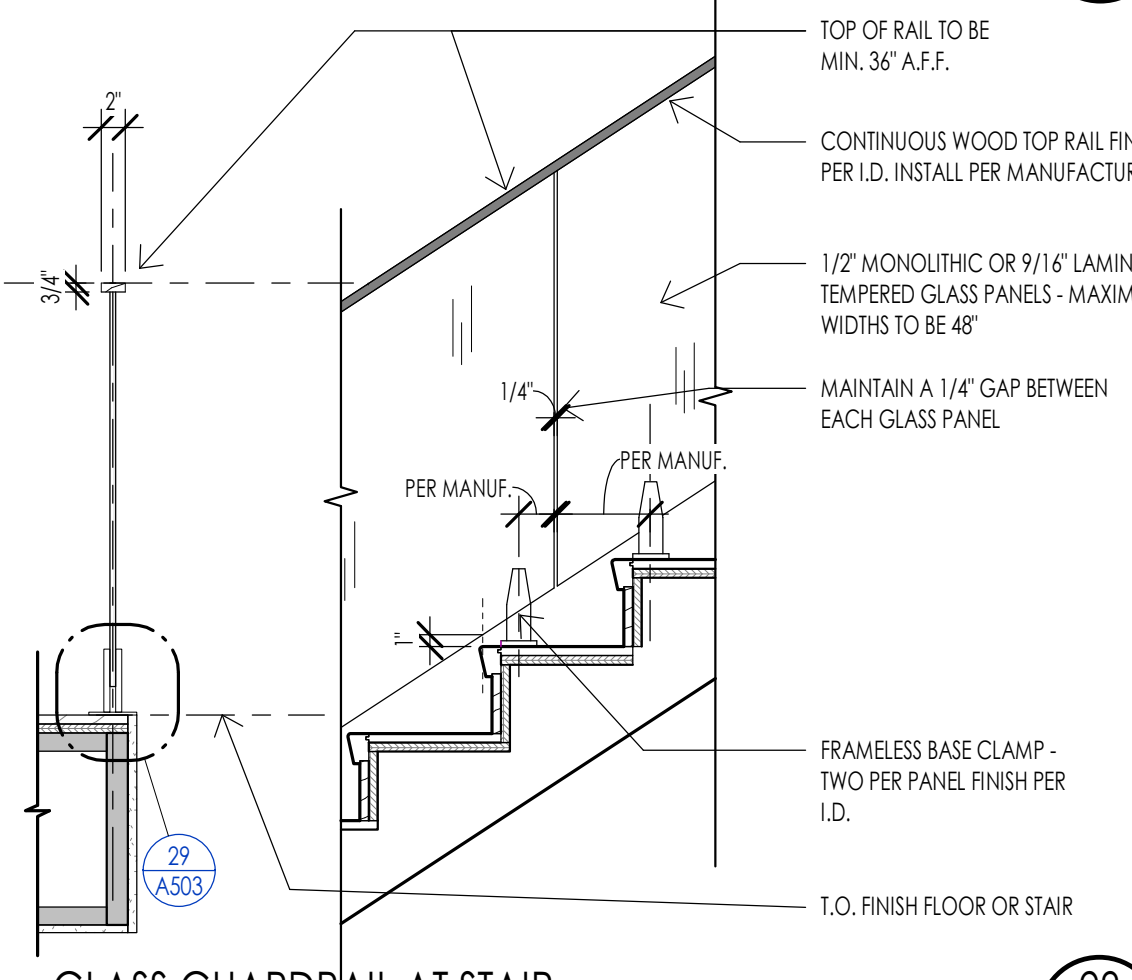
STAIR DETAIL - FRAMED STAIRS TO BASEMENT FLOOR  
1 1/2" = 1'-0"



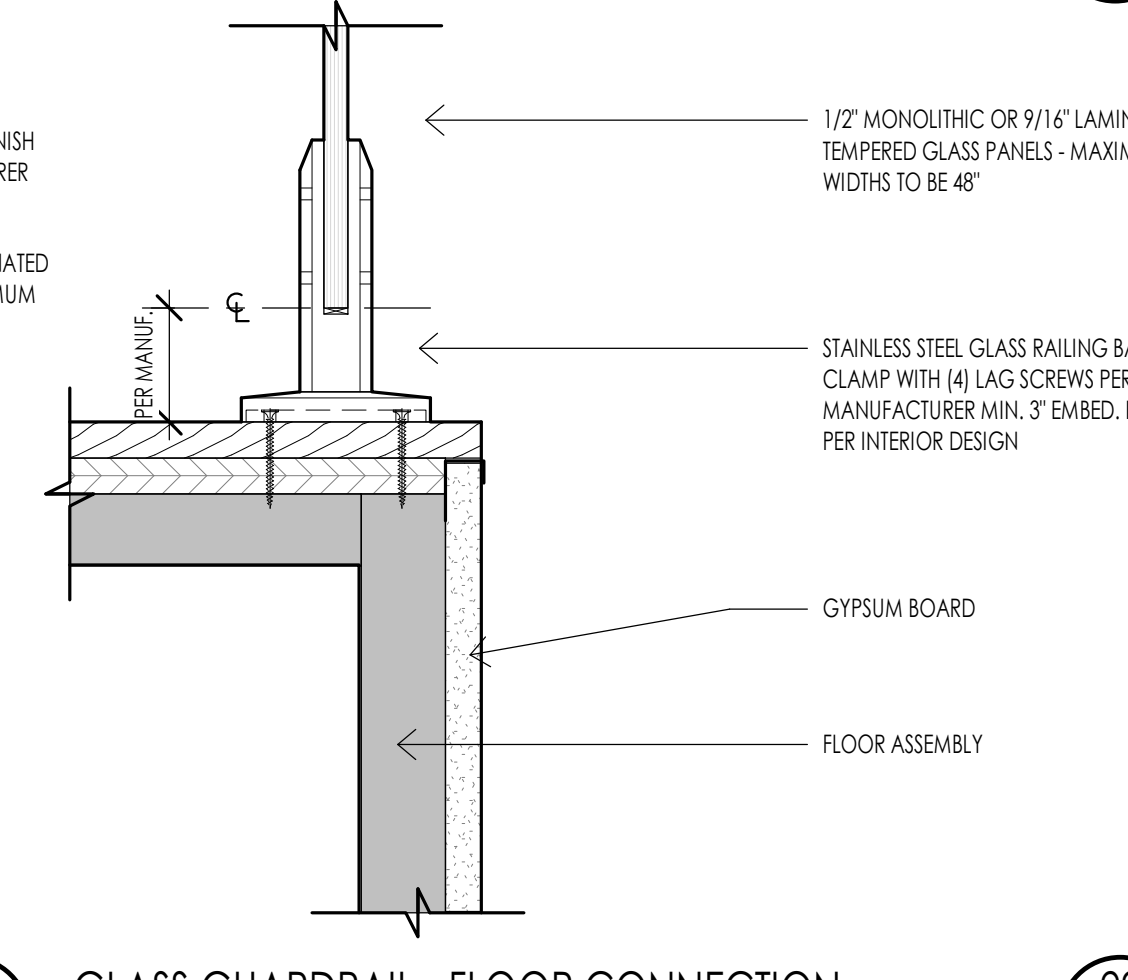
STAIR DETAIL - FRAMED STAIRS TO LANDING  
1 1/2" = 1'-0"



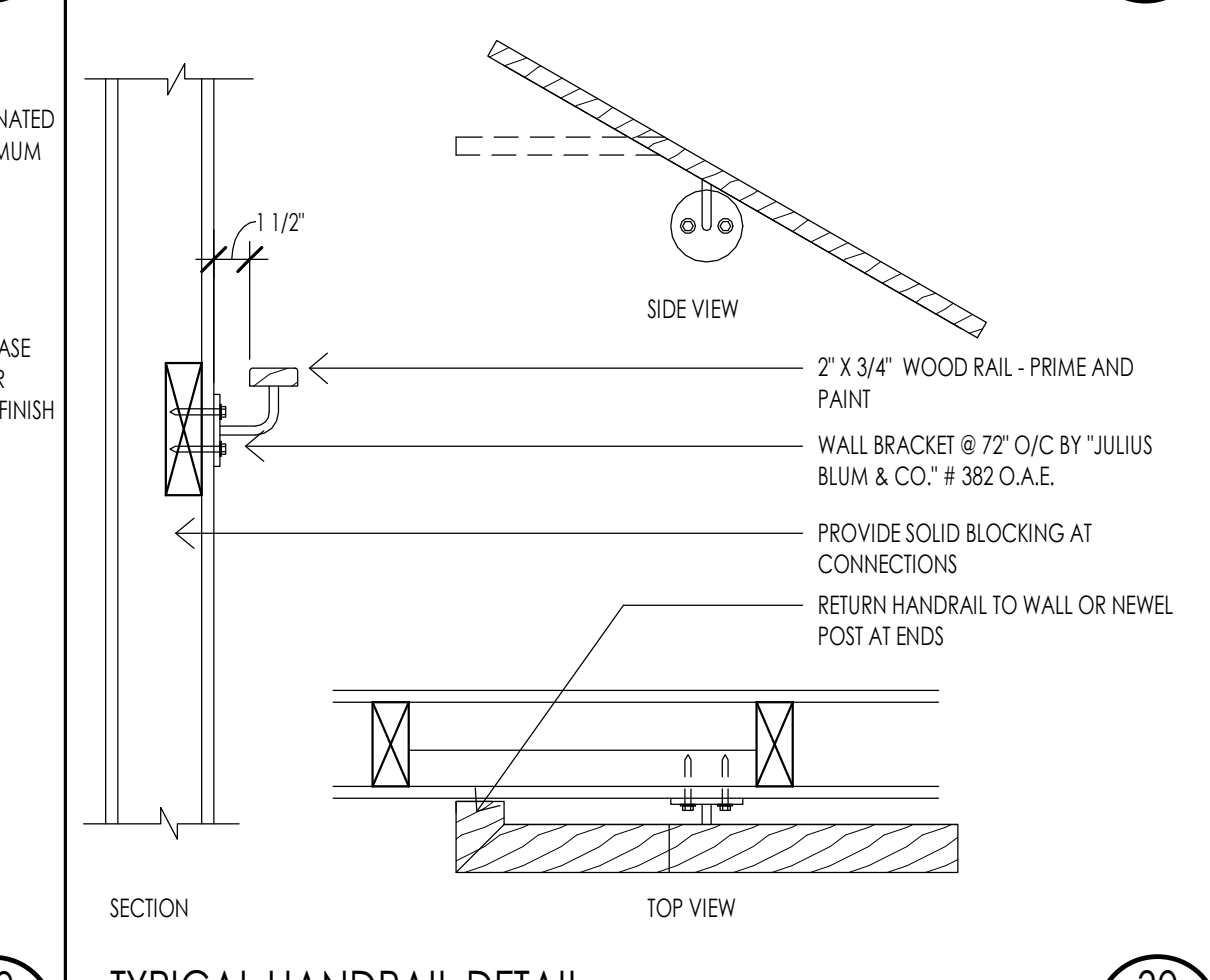
STAIR DETAIL - FRAMED STAIRS TO SIDE WALL  
1 1/2" = 1'-0"



GLASS GUARDRAIL AT STAIR  
3/4" = 1'-0"



GLASS GUARDRAIL - FLOOR CONNECTION  
3" = 1'-0"



TYPICAL HANDRAIL DETAIL  
1 1/2" = 1'-0"

WARM SPRINGS RESIDENCE #33

170 BALD MOUNTAIN ROAD  
KETCHUM, IDAHO 83340

PROJECT NC22023.33  
DATE: 2023.11.06

REVISIONS:

SHEET TITLE:  
STAIR- PLAN- SECTIONS -  
DETAILS

SHEET NUMBER:

A503

© 2021 THINK ARCHITECTURE, INC.

**DOOR SCHEDULE**

MARK	DOOR					FRAME							FIRE RATING	HARDWARE	REMARKS
	SIZE			MATERIAL	TYPE	FINISH	DETAILS			MATERIAL	TYPE	FINISH			
	WIDTH	HEIGHT	THICKNESS				HEAD	JAMB	SILL						
D102-A	4'-0"	9'-0"	1 3/4"	WOOD-GLASS	D6	PER OWNER	1/A602	7/A602	13/A602	WOOD/GLASS	FI	PER I.D.	NON-RATED	H10	TEMPERED GLASS/WOOD FRAME
D102-B	2'-4"	8'-0"	2"	WOOD	D1	PER I.D.	4/A602	10/A602	-	WOOD	FI	PER I.D.	NON-RATED	H5	
D101-A	2'-10"	8'-0"	2"	WOOD	D1	PER I.D.	4/A602	10/A602	-	WOOD	FI	PER I.D.	NON-RATED	H8	
D101-B	4'-0"	8'-0"	1 3/4"	WOOD	D3	PER I.D.	2/A602	8/A602	-	WOOD	FI	PER I.D.	NON-RATED	H6	BARN DOOR
D101-C	2'-4"	8'-0"	2"	WOOD	D1	PER I.D.	4/A602	10/A602	-	WOOD	FI	PER I.D.	NON-RATED	H5	
D101-D	2'-0"	7'-0"	1/4"	GLASS	D5	-	-	-	-	-	-	-	-	-	TEMPERED
D102-A	2'-10"	8'-0"	2"	WOOD	D1	PER I.D.	4/A602	10/A602	-	WOOD	FI	PER I.D.	NON-RATED	H8	
D102-B	2'-6"	8'-0"	2"	WOOD	D1	PER I.D.	4/A602	10/A602	-	WOOD	FI	PER I.D.	NON-RATED	H8	
D102-C	2'-0"	7'-0"	1/4"	GLASS	D5	-	-	-	-	-	-	-	-	-	TEMPERED
D103-A	20'-0"	10'-0"	-	WOOD/METAL	D7	PER OWNER	6/A602	12/A602	6/A601	METAL	-	-	-	H2	GARAGE DOOR WOOD PANELS
D104-A	3'-0"	8'-0"	1 1/2"	WOOD	D4	PER I.D.	3/A602	9/A602	-	-	-	NON-RATED	H12	POCKET DOOR	
D104-B	3'-0"	8'-0"	2"	WOOD	D1	PER I.D.	4/A602	10/A602	-	WOOD	FI	PER I.D.	20 MIN.	H1	FIRE RATED
D105-A	2'-10"	8'-0"	2"	WOOD	D1	PER I.D.	4/A602	10/A602	-	WOOD	FI	PER I.D.	NON-RATED	H1	
D200-A	2'-4"	8'-0"	2"	WOOD	D1	PER I.D.	4/A602	10/A602	-	WOOD	FI	PER I.D.	NON-RATED	H8	
D200-B	2'-0"	7'-0"	1/4"	GLASS	D5	-	-	-	-	-	-	-	-	-	TEMPERED
D201-A	2'-10"	8'-0"	2"	WOOD	D1	PER I.D.	4/A602	10/A602	-	WOOD	FI	PER I.D.	NON-RATED	H8	
D202-A	3'-0"	8'-0"	2"	WOOD	D2	PER I.D.	4/A602	10/A602	-	WOOD	FI	PER I.D.	NON-RATED	H11	DOUBLE DOOR
D202-B	2'-10"	8'-0"	2"	WOOD	D1	PER I.D.	4/A602	10/A602	-	WOOD	FI	PER I.D.	NON-RATED	H5	
D202-C	2'-4"	8'-0"	2"	WOOD	D1	PER I.D.	4/A602	10/A602	-	WOOD	FI	PER I.D.	NON-RATED	H5	
D202-D	2'-0"	7'-0"	1/4"	GLASS	D5	-	-	-	-	-	-	-	-	-	TEMPERED
D202-E	2'-4"	8'-0"	2"	WOOD	D1	PER I.D.	4/A602	10/A602	-	WOOD	FI	PER I.D.	NON-RATED	H5	
D203-A	2'-4"	8'-0"	1 1/2"	WOOD	D4	PER I.D.	3/A602	9/A602	-	-	-	PER I.D.	NON-RATED	H12	POCKET DOOR

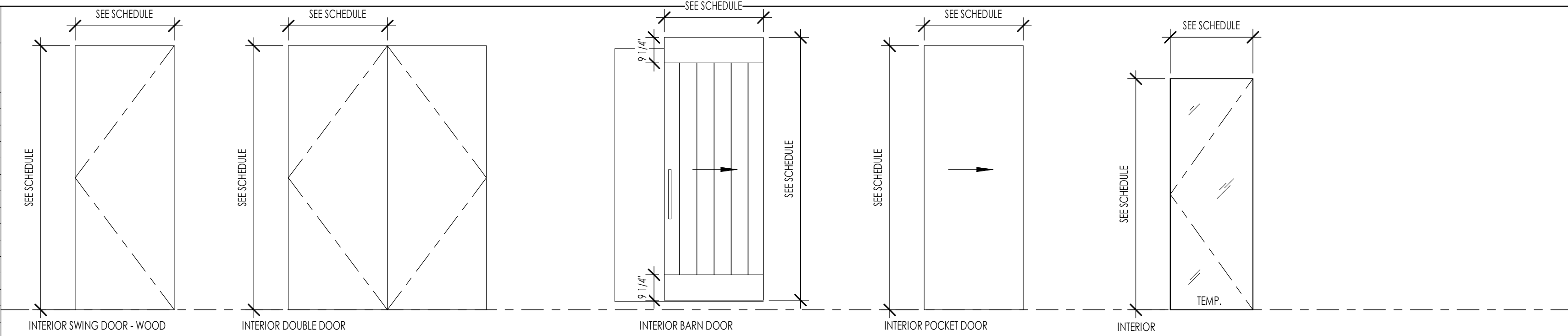
**DOOR SCHEDULE GENERAL NOTES**

- SEE SHEET A601 FOR DOOR AND FRAME TYPES.
- CONTRACTOR SHALL FIELD VERIFY ALL DOOR OPENINGS PRIOR TO ORDERING ALL DOORS.
- CONTRACTOR SHALL SUBMIT COMPLETE DOOR AND HARDWARE SHOP DRAWINGS AND SUBMITTALS FOR APPROVAL FOR EACH BUILDING PRIOR TO ORDERING AND TAKING RECEIPT OF DOOR ORDER. ARCHITECT SHALL REVIEW ALL DOORS FOR COMPLIANCE SPECIFICATIONS AND BUILDING CODE.
- ALL DOORS REQUIRED TO BE RATED SHALL HAVE APPROPRIATE U.L. RATING AS INDICATED IN DOOR SCHEDULE AND SPECIFICATION. ALL DOORS SHALL HAVE LABEL ON DOOR AND FRAME FOR INSPECTION ON SITE, AND SHALL NOT BE REMOVED.
- ALL DOORS SHALL BE INSTALLED SO AS NOT TO HAVE MORE THAN 1/2" THRESHOLD AT EACH DOOR.
- REFER TO INTERIOR DESIGNER FOR CORRECT DOOR STYLES, SPECIES, AND FINISHES.
- OPENINGS BETWEEN GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOOR NOT LESS THAN 1 3/8" INCHES THICK, SOLID HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1 3/8" INCHES THICK, OR 20 MINUTE FIRE RATED DOORS. SEE I.R.C. SECTION R302.5.1.

**HARDWARE GROUPS**

- H1 MECHANICAL ROOM**
  - 1 PAIR SPRING HINGES
  - 1 SMOKE SEAL
  - 1 PASSAGE SET
- H2 OVERHEAD GARAGE DOORS**
  - GARAGE ENTRY PROVIDED BY OVERHEAD DOOR MANUFACTURER
- H3 SECONDARY ENTRY DOOR**
  - 3 PAIR SPRING HINGES
  - 1 SMOKE SEAL
  - 1 LOCKSET
  - 1 DEADBOLT
  - 1 THRESHOLD
- H4 GARAGE/HOUSE**
  - 3 PAIR HINGES
  - 1 WEATHER STRIP
  - 1 LOCKSET
  - 1 DEADBOLT
- H5 INTERIOR DOOR**
  - 3 PAIR HINGES
  - 1 PASSAGE SET
- H6 INTERIOR BARN DOOR**
- H7 INTERIOR DOUBLE BARN DOOR**
- H8 INTERIOR DOOR**
  - 3 PAIR HINGES
  - 1 PRIVACY SET
- H9 INTERIOR DOUBLE DOOR**
  - 6 PAIR HINGES
  - 2 KNOBS (SINGLE SIDE ONLY)
- H10 ENTRY DOOR**
  - 1 WEATHER STRIP
  - 1 THRESHOLD
  - 1 LOCKSET
  - 1 DEADBOLT
  - 1 PIVOT HINGE (TOP AND BOTTOM)
- H11 INTERIOR DOUBLE DOOR**
  - 6 PAIR HINGES
  - 2 PASSAGE SET
- H12 POCKET DOOR**

**DOOR TYPES**



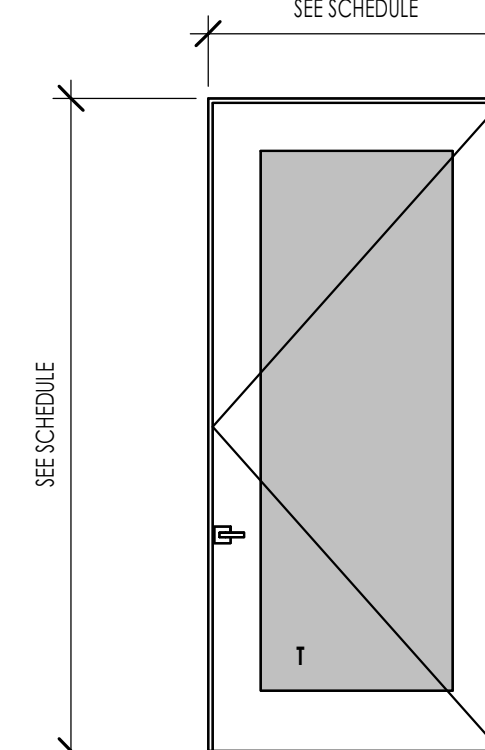
**TYPE D1**

**TYPE D2**

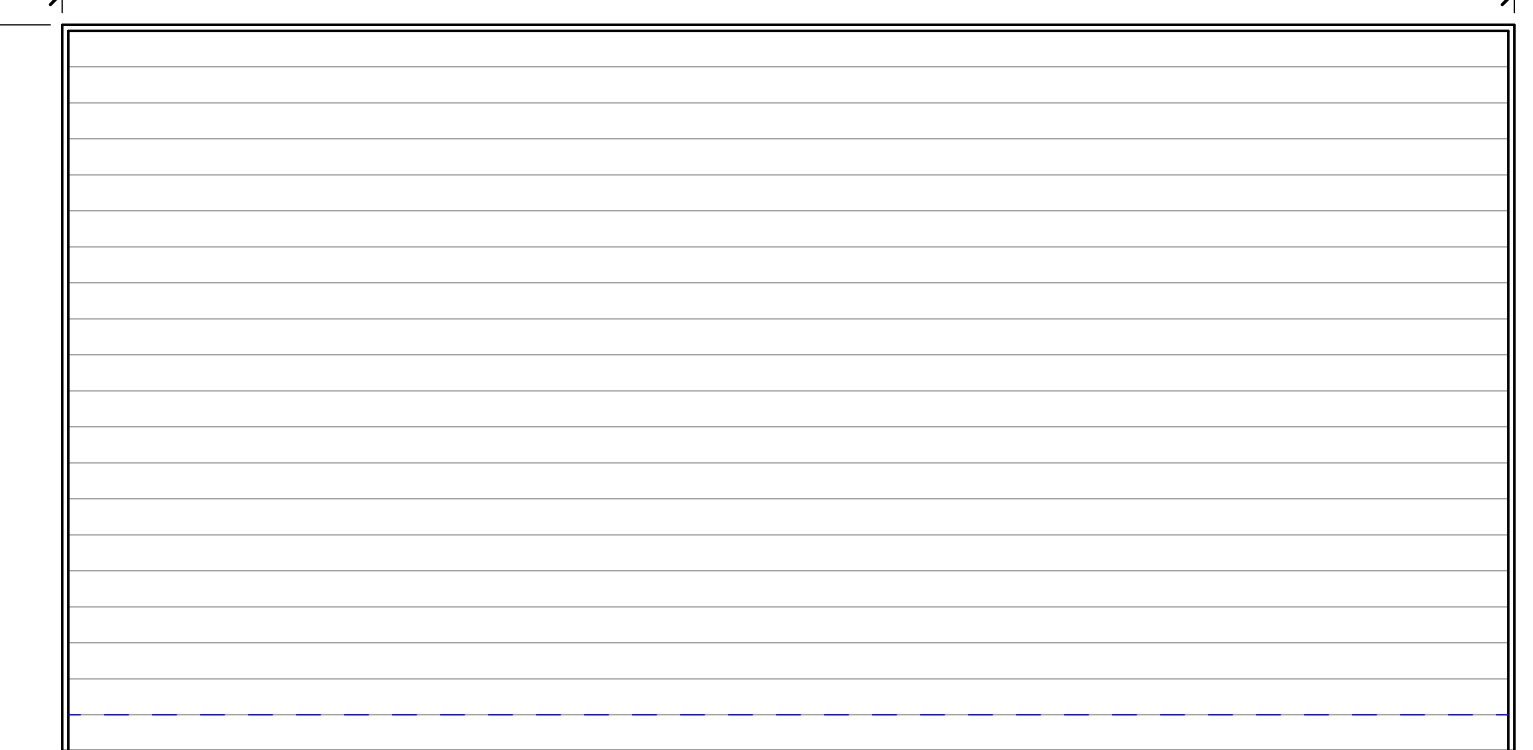
**TYPE D3**

**TYPE D4**

**TYPE D5**

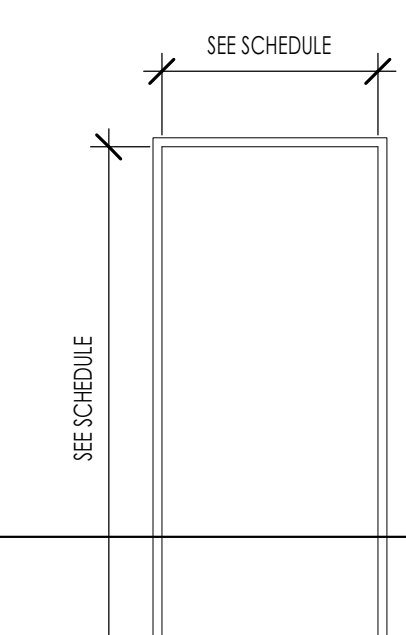


**TYPE D6**



**TYPE D7**

**FRAME TYPES**



**TYPE F1**



Architecture  
Interior Design  
Landscape Architecture  
Land Planning  
Construction Management

7927 So. Highpoint Parkway, Suite 300  
Sandwich, Utah 84094  
ph. 801.269.0555  
fax 801.269.1425  
www.thinka602.com

The designs shown and described herein including all technical drawings, graphic representations & models thereof, are proprietary & can not be copied, duplicated, or commercially exploited in whole or in part without the sole and express written permission from THINK ARCHITECTURE, INC.

These drawings are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors, and office personnel only in accordance with this notice.



WARM SPRINGS RESIDENCE #33

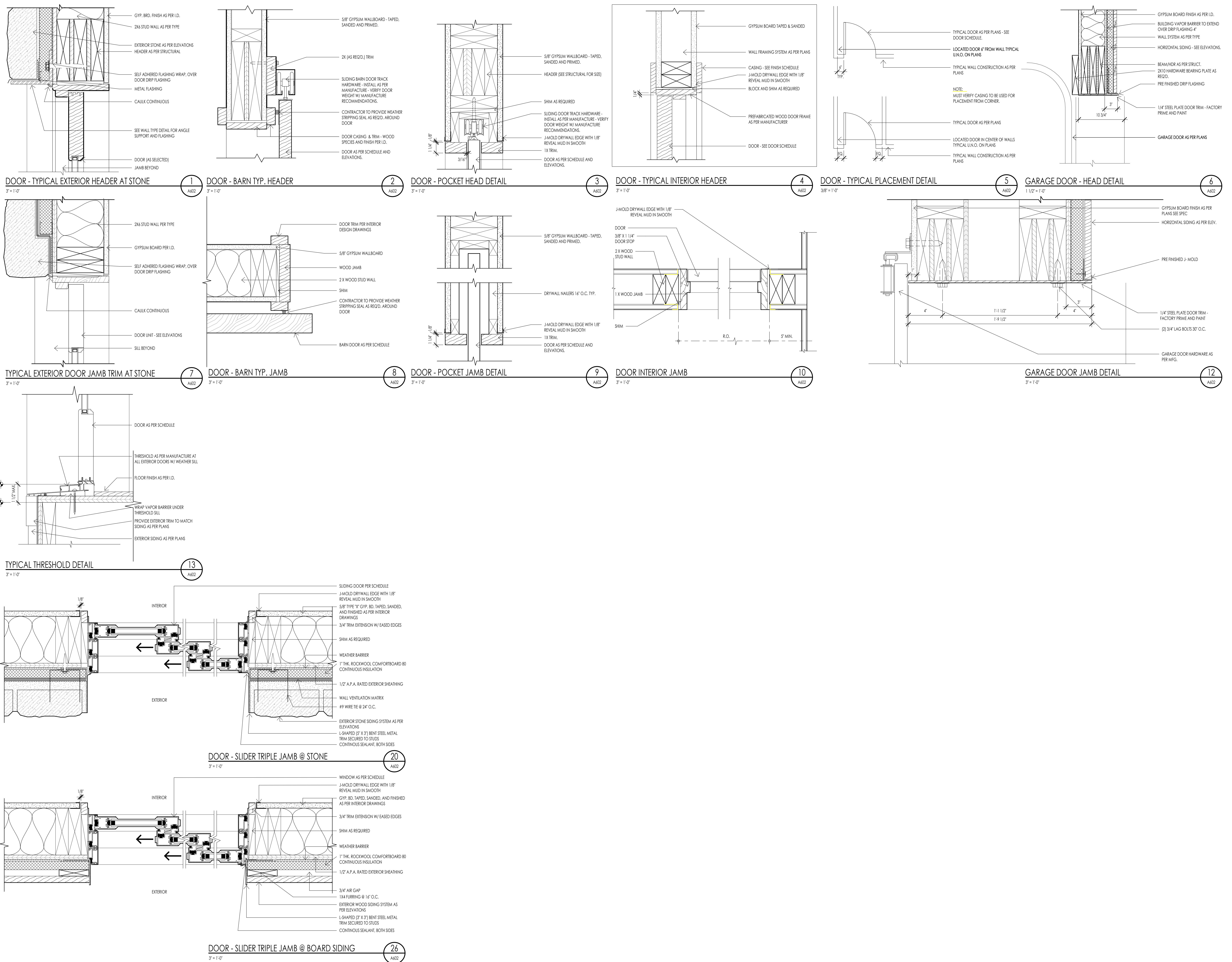
170 BALD MOUNTAIN ROAD  
KETCHUM, IDAHO 83340

PROJECT NC22023.33  
DATE: 2023.11.06  
REVISIONS:

SHEET TITLE:  
DOOR SCHEDULE & ELEVATIONS

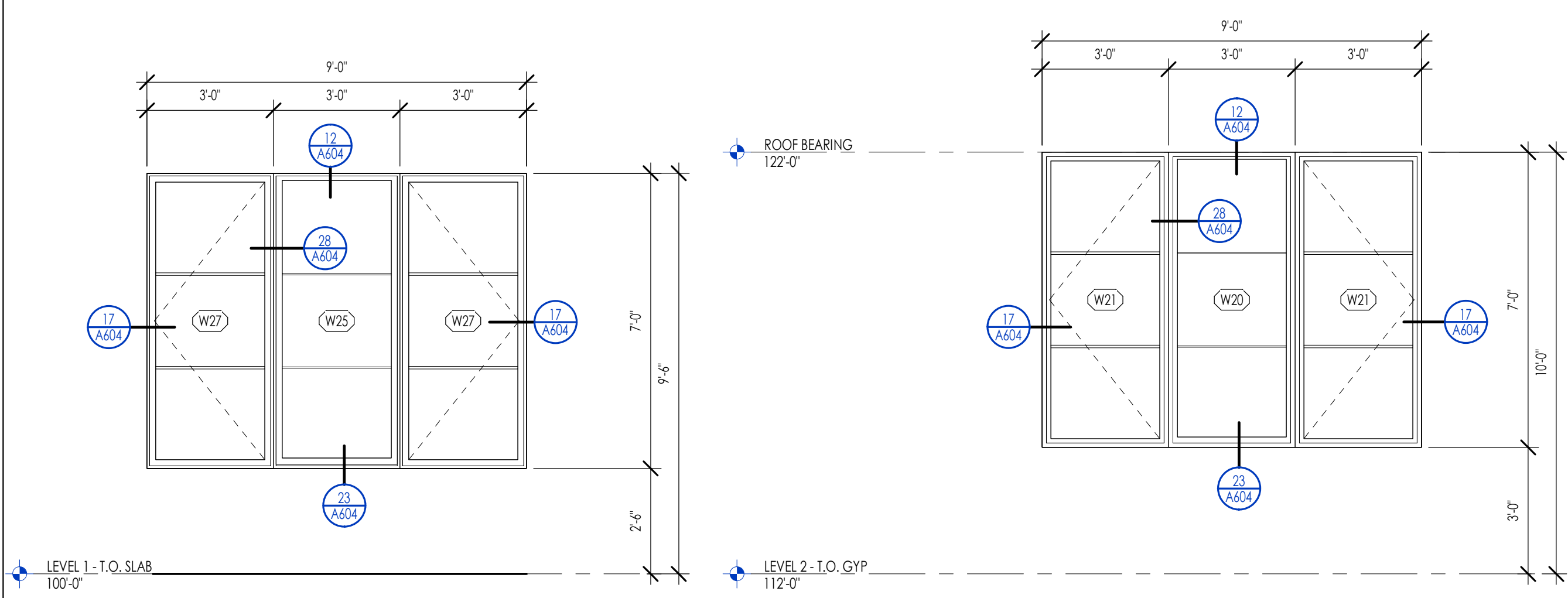
SHEET NUMBER:  
**A601**

© 2021 THINK ARCHITECTURE, INC.



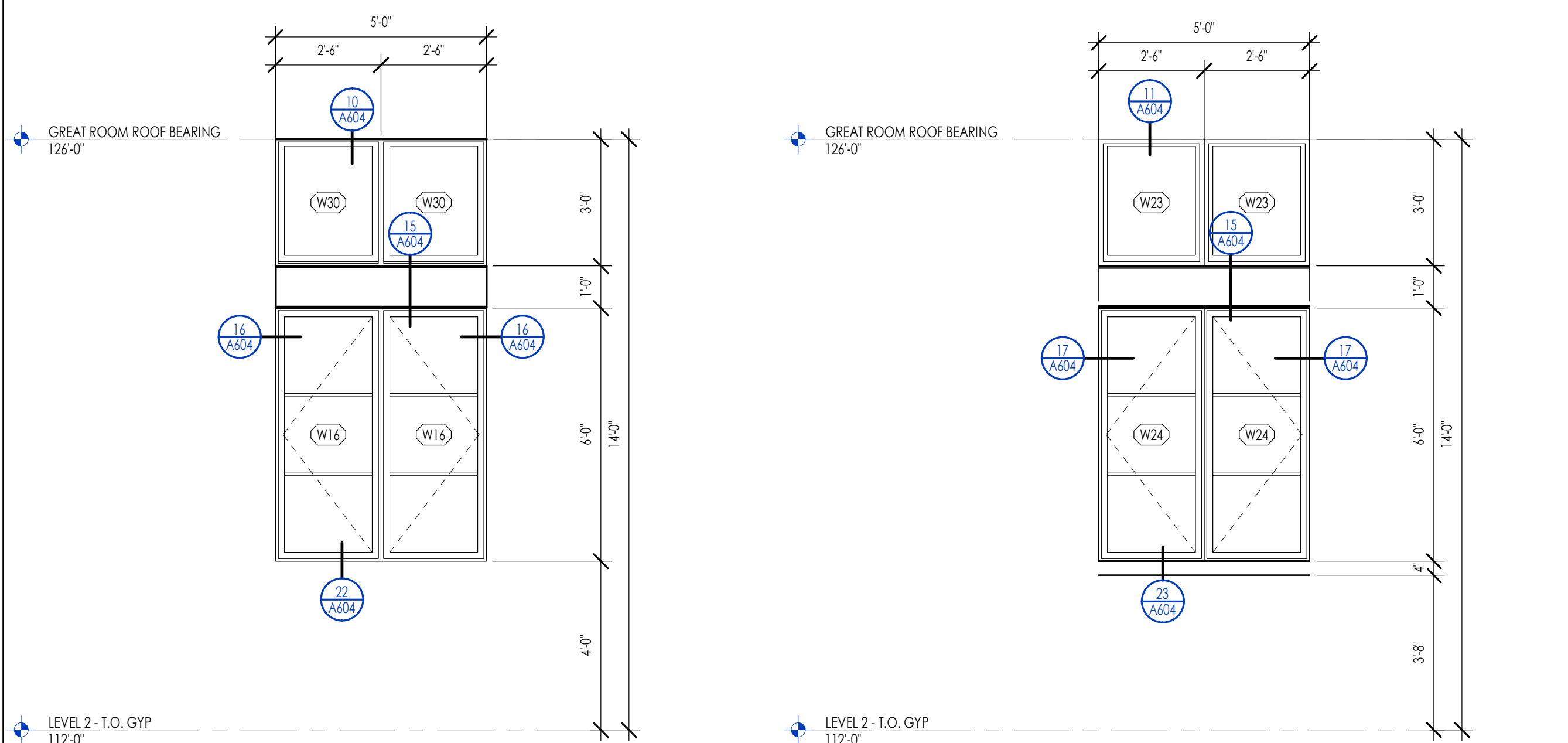
**WINDOW SCHEDULE**

MARK	UNIT SIZE			OPERATION	MATERIAL	FINISH	DETAIL			GLAZING		COMMENTS
	WIDTH	HEIGHT	HEAD HEIGHT				HEAD	JAMB	SILL	THICKNESS	TYPE	
W14	19'-6"	10'-0"	10'-0"	DOOR SLIDER QUAD OPEN TO SIDE	ALUMINUM CLAD	AS PER I.D.	15/A604	26/A602	27/A604	PER MANUFACTURER	LOWE 366	TEMPERED
W15	3'-0"	6'-0"	9'-0"	CASEMENT	ALUMINUM CLAD	AS PER I.D.	12/A604	17/A604	23/A604	PER MANUFACTURER	LOWE 366	
W16	2'-4"	6'-0"	10'-0"	CASEMENT	ALUMINUM CLAD	AS PER I.D.	15/A604	16/A604	22/A604	PER MANUFACTURER	LOWE 366	
W17	6'-0"	9'-0"	9'-0"	DOOR SLIDER DOUBLE	ALUMINUM CLAD	AS PER I.D.	11/A604	20/A602	27/A604	PER MANUFACTURER	LOWE 366	TEMPERED
W18	2'-4"	6'-0"	9'-0"	CASEMENT	ALUMINUM CLAD	AS PER I.D.	12/A604	17/A604	23/A604	PER MANUFACTURER	LOWE 366	
W19	4'-10 1/2"	3'-0"	14'-0"	FIXED	ALUMINUM CLAD	AS PER I.D.	21/A604	16/A604	15/A604	PER MANUFACTURER	LOWE 366	
W20	3'-0"	7'-0"	10'-0"	FIXED	ALUMINUM CLAD	AS PER I.D.	12/A604	28/A604	23/A604	PER MANUFACTURER	LOWE 366	
W21	3'-0"	7'-0"	10'-0"	CASEMENT	ALUMINUM CLAD	AS PER I.D.	12/A604	17/A604	23/A604	PER MANUFACTURER	LOWE 366	
W22	3'-0"	7'-0"	10'-0"	CASEMENT	ALUMINUM CLAD	AS PER I.D.	12/A604	17/A604	23/A604	PER MANUFACTURER	LOWE 366	
W23	2'-4"	3'-0"	14'-0"	FIXED	ALUMINUM CLAD	AS PER I.D.	11/A604	17/A604	15/A604	PER MANUFACTURER	LOWE 366	
W24	2'-4"	6'-0"	10'-0"	CASEMENT	ALUMINUM CLAD	AS PER I.D.	15/A604	17/A604	23/A604	PER MANUFACTURER	LOWE 366	
W25	3'-0"	7'-0"	9'-6"	FIXED	ALUMINUM CLAD	AS PER I.D.	12/A604	28/A604	23/A604	PER MANUFACTURER	LOWE 366	
W27	3'-0"	7'-0"	9'-6"	CASEMENT	ALUMINUM CLAD	AS PER I.D.	12/A604	17/A604	23/A604	PER MANUFACTURER	LOWE 366	
W28	3'-4"	3'-0"	13'-0"	FIXED	ALUMINUM CLAD	AS PER I.D.	10/A604	16/A604	22/A604	PER MANUFACTURER	LOWE 366	
W30	2'-4"	3'-0"	14'-0"	FIXED	ALUMINUM CLAD	AS PER I.D.	10/A604	16/A604	15/A604	PER MANUFACTURER	LOWE 366	



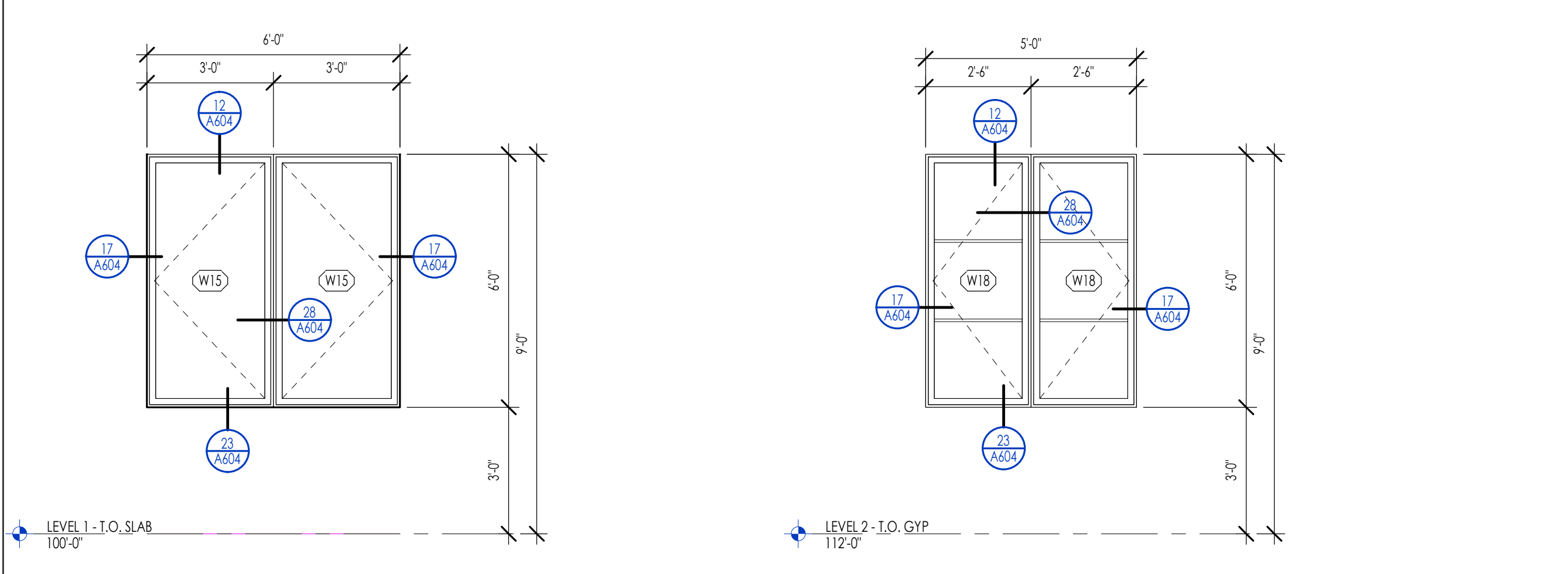
**WINDOW GROUP 01**  
3/8" = 1'-0"

**WINDOW GROUP 02**  
3/8" = 1'-0"



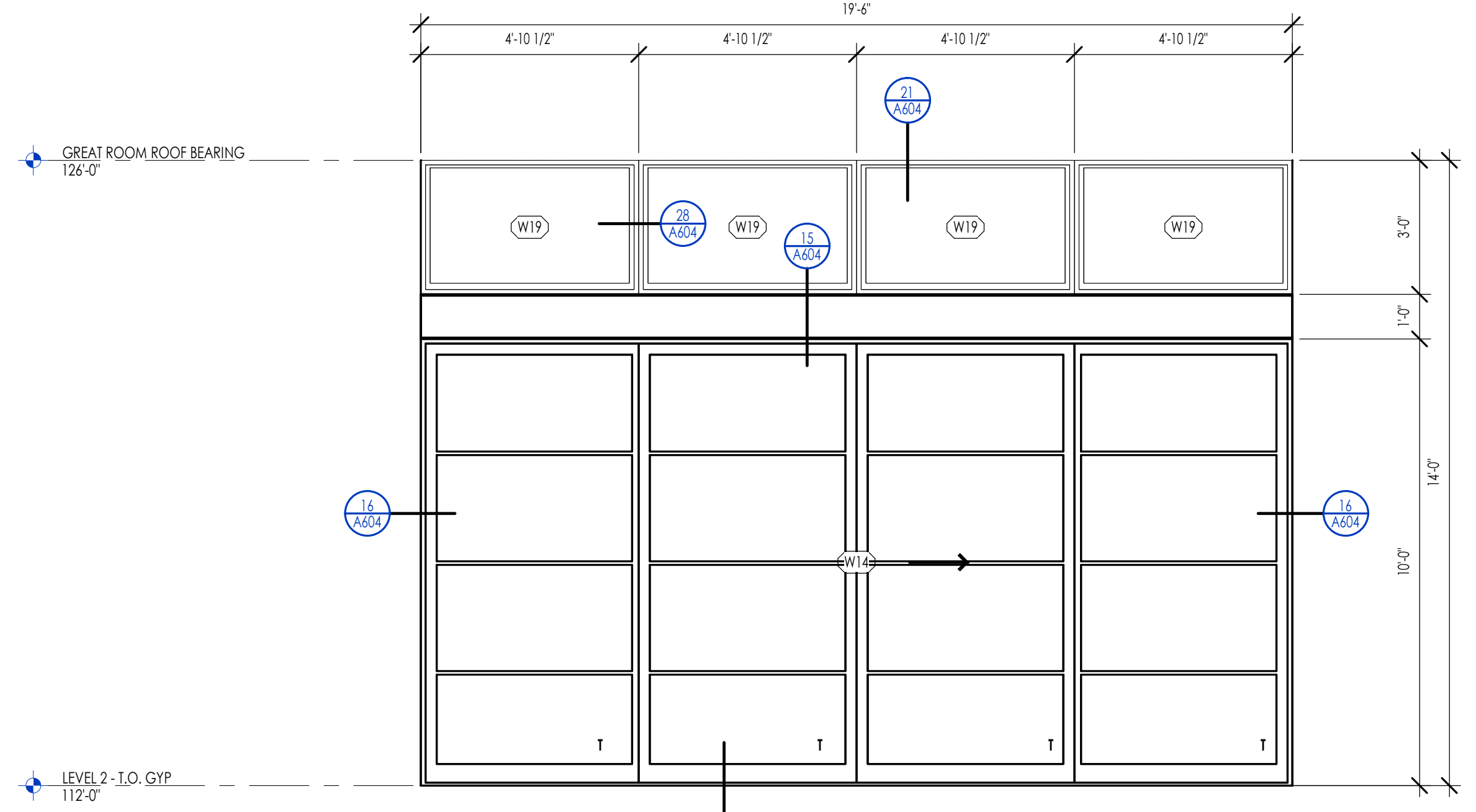
**WINDOW GROUP 04**  
3/8" = 1'-0"

**WINDOW GROUP 05**  
3/8" = 1'-0"

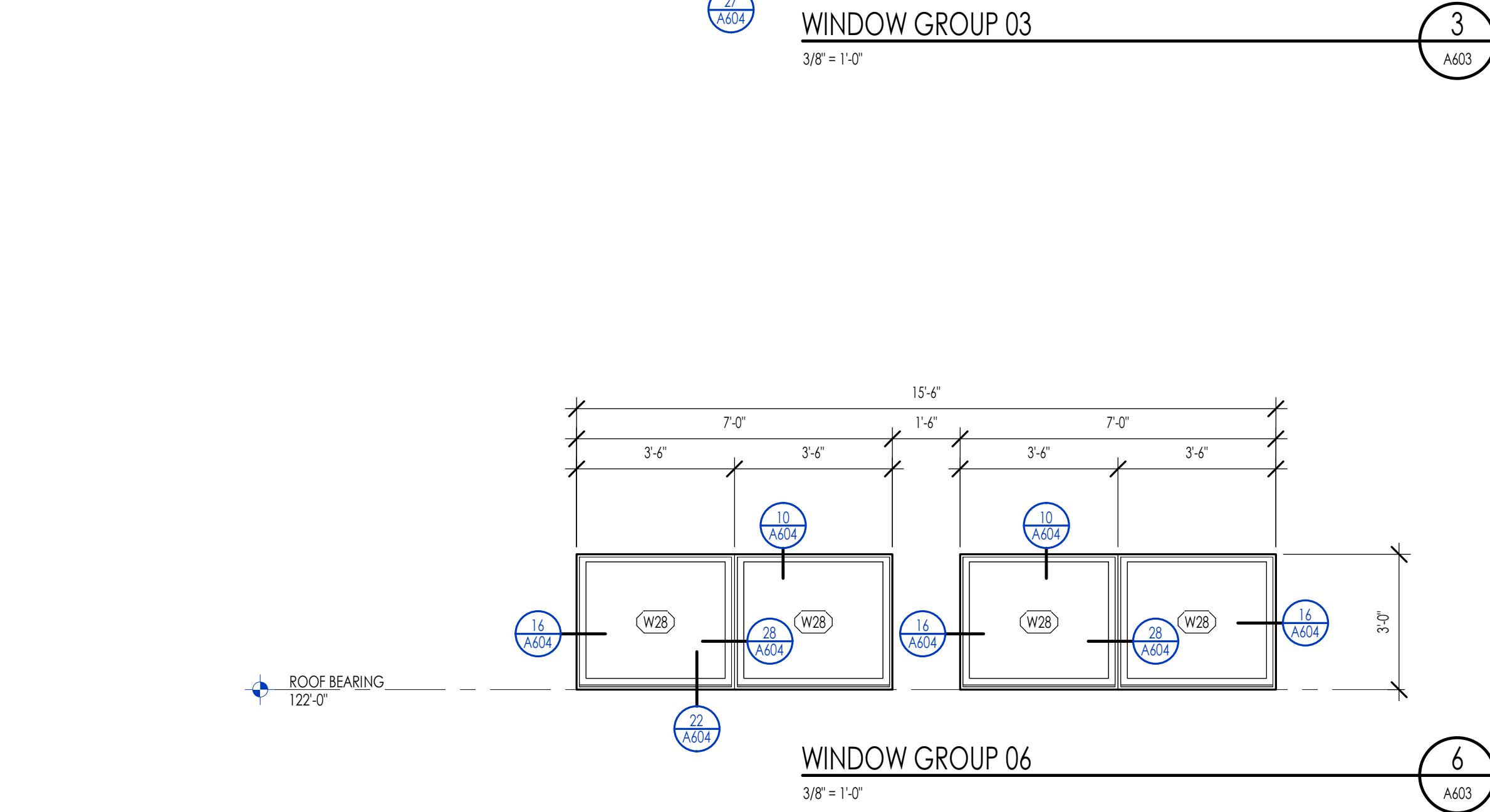


**WINDOW GROUP 07**  
3/8" = 1'-0"

**WINDOW GROUP 08**  
3/8" = 1'-0"



**WINDOW GROUP 03**  
3/8" = 1'-0"



**WINDOW GROUP 06**  
3/8" = 1'-0"

**WINDOW LEGEND**

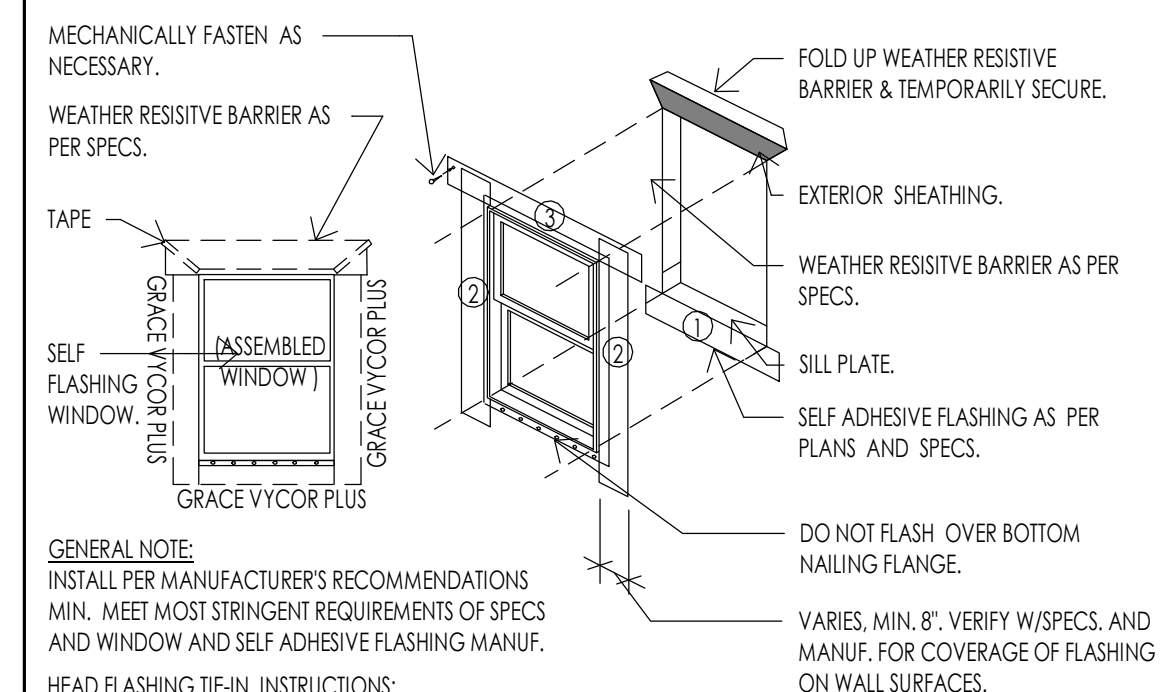
SYMBOL	DESCRIPTION
(T)	TEMPERED GLAZING LOCATIONS.
→	DIRECTION OF OPERABLE WINDOW/DOOR.
(E)	WINDOW IS REQUIRED TO MEET EMERGENCY EGRESS.

**WINDOW SPECIFICATIONS**

APPROVED MANUFACTURERS:	MINIMUM U-VALUE:
BASIS OF DESIGN:	SCREENS REQUIRED:
WINDOW TYPE:	SCREEN COLOR:
WINDOW COLOR:	TYPICAL JAMB WIDTH:
WINDOW GLAZING:	SDL WIDTH:
	SDL TYPE:

**WINDOW GENERAL NOTES**

- EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL MEET THE FOLLOWING REQUIREMENTS. SEE I.R.C. SECTION R310.
  - BASINETS WITH HABITABLE SPACES SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE WINDOW OR DOOR OR ACCESS TO AN ADJOINING BERGROOM WITH AN EMERGENCY ESCAPE AND RESCUE WINDOW.
  - ALL EMERGENCY OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING AREA OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 20 INCHES. THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20 INCHES. EMERGENCY OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS OR TOOLS. EXCEPT GROUND FLOOR, NET CLEAR AREA OF 5.0 SQUARE FEET. R310.1.1 TO R310.1.4.
  - WINDOW SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR. OPENINGS WITH A FINISHED SILL HEIGHT BELOW THE ADJACENT GROUND ELEVATION SHALL BE PROVIDED WITH A WINDOW WELL. R310.2.2
  - WINDOW WELLS REQUIRED FOR ESCAPE OR RESCUE SHALL HAVE HORIZONTAL DIMENSIONS THAT ALLOW THE DOOR OR WINDOW TO BE FULLY OPENED. THE HORIZONTAL DIMENSION FOR THE WINDOW WELL SHALL PROVIDE A MINIMUM NET CLEAR AREA OF 9 SQUARE FEET WITH A MINIMUM HORIZONTAL PROJECTION AND WIDTH OF 36 INCHES. R310.2.3
  - WINDOW WELLS WITH A VERTICAL DEPTH GREATER THAN 44 INCHES BELOW THE ADJACENT GROUND LEVEL SHALL BE EQUIPPED WITH A PERMANENTLY AFFIXED LADDER OR STEPS USABLE WITH THE WINDOW IN THE FULLY OPENED POSITION. LADDERS OR RUNGS SHALL HAVE AN INSIDE WIDTH OF AT LEAST 12 INCHES. SHALL PROJECT AT LEAST 3 INCHES FROM THE WALL AND SHALL BE SPACED NOT MORE THAN 18 INCHES ON CENTER VERTICALLY FOR THE FULL HEIGHT OF THE WINDOW WELL. R310.2.3.1
  - BARS, GRILLS, COVERS, SCREENS, ETC. SHALL BE PERMITTED TO BE PLACED OVER THE EMERGENCY EGRESS OPENING WINDOW WELL PROVIDED THE NET CLEAR OPENING SIZE IS NOT COMPROMISED AND THAT SUCH DEVICES SHALL BE RELEASED OR REMOVABLE FROM THE INSIDE WITHOUT THE USE OF A KEY, TOOL, OR FORCE GREATER THAN THAT WHICH IS REQUIRED FOR NORMAL OPERATION. R310.4
- SAFETY GLAZING SHALL BE INSTALLED IN HAZARDOUS LOCATIONS AND SHALL MEET THE FOLLOWING REQUIREMENTS. SEE I.R.C. SECTION R308. FOR EXCEPTIONS SEE I.R.C. R308.4.
  - EACH PANE OF GLASS INSTALLED IN HAZARDOUS LOCATIONS SHALL BE PERMANENTLY IDENTIFIED BY MANUFACTURER DESIGNATING THE TYPE, THICKNESS, AND SAFETY GLAZING STANDARD. THE LABEL SHALL BE ACID ETCHED, SANDBLASTED, CERAMIC FRIED OR EMBOSSED ON GLASS AND BE VISIBLE WHEN THE UNIT IS GLAZED. FOR EXCEPTIONS SEE I.R.C. R308.1.
  - PROVIDE SAFETY GLAZING IN FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND FOLDING DOORS (R308.4.1). SAFETY GLAZING SHALL BE PROVIDED WHEN GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 40 INCHES ABOVE THE FLOOR OR WALKING SURFACE AND IS WITHIN 24 INCHES OF EITHER SIDE OF THE DOOR IN THE PLANE OF THE DOOR IN A CLOSED POSITION OR WHERE THE GLAZING IS ON A WALL PERPENDICULAR TO THE PLANE OF THE DOOR IN A CLOSED POSITION AND WITHIN 24 INCHES OF THE HINGE SIDE OF AN IN SWINGING DOOR. (I.R.C. R308.4.2)
  - PROVIDE SAFETY GLAZING WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 36 INCHES ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE OF STAIRWAYS, LANDINGS BETWEEN FLIGHTS OF STAIRS AND RAMPS. (I.R.C. R308.4.6)
  - PROVIDE SAFETY GLAZING IN DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS. GLAZING IN ANY PORTION OF A BUILDING WALL ENCLOSING THESE COMPARTMENTS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 40 INCHES ABOVE A STANDING OR WALKING SURFACE. (I.R.C. R308.4.5)
  - PROVIDE SAFETY GLAZING IN RAILINGS REGARDLESS OF AN AREA OR HEIGHT. (I.R.C. R308.4.I)
  - PROVIDE SAFETY GLAZING IN WALLS AND FENCES ENCLOSING SWIMMING POOLS OR HOT TUBS WHERE THE BOTTOM EDGE OF THE POOL OR SPA GLASS IS LESS THAN 40 INCHES ABOVE THE WALKING SURFACE. (I.R.C. R308.4.5)
  - PROVIDE SAFETY GLAZING IN FIXED OR OPERABLE PANELS THAT MEETS ALL OF THE FOLLOWING CONDITIONS: AREAS GREATER THAN 9 SQUARE FEET; BOTTOM EDGE LESS THAN 18 INCHES ABOVE THE FLOOR; TOP EDGE GREATER THAN 36 INCHES ABOVE FLOOR; AND WITHIN 36 INCHES OF WALKING SURFACE. (I.R.C. R308.4.3)
- THE GENERAL CONTRACTOR AND WINDOW SUPPLIER ARE RESPONSIBLE TO FIELD MEASURE ALL WINDOW OPENINGS AND PROVIDE SHOP DRAWINGS BEFORE MANUFACTURING. SHOP DRAWINGS SHALL BE PROVIDED FOR EACH BUILDING INDIVIDUALLY AND SHALL NOT BE COMBINED WITH ANY OTHER BUILDING. THE WINDOW SUPPLIER SHALL BE RESPONSIBLE TO VERIFY ALL EMERGENCY EGRESS, LIGHT AND VENTILATION, AND TEMPERED GLASS LOCATION REQUIREMENTS PRIOR TO EACH SUBMITTAL.
- THE GENERAL CONTRACTOR AND WINDOW SUPPLIER ARE RESPONSIBLE TO VERIFY THAT EACH OF THE ABOVE LISTED REQUIREMENTS HAVE BEEN MET AND NOTE ANY DISCREPANCIES ON SUBMITTAL.
- REFER TO THE PROJECT SPECIFICATIONS FOR ADDITIONAL INFORMATION.



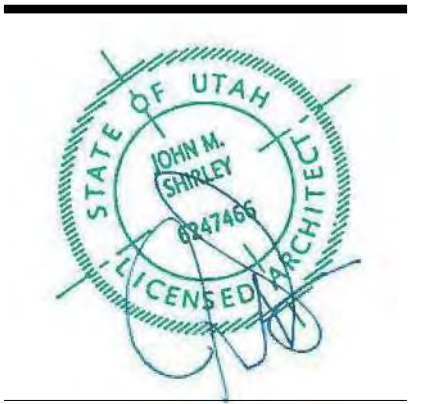
**WINDOW - TYPICAL FLASHING DETAIL**  
1 1/2" = 1'-0"



Architecture  
Interior Design  
Landscape Architecture  
Land Planning  
Construction Management

7927 So. Highpoint Parkway, Suite 300  
Scottsdale, AZ 85260  
ph. 801.269.0555  
fax 801.269.1425  
www.thinkaec.com

The designs shown and described herein including all technical drawings, graphics, representations & models thereof, are proprietary & can not be copied, duplicated, or commercially exploited in whole or in part without the sole and express written permission from THINK Architecture, Inc. These drawings are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors, and office personnel only in accordance with this notice.



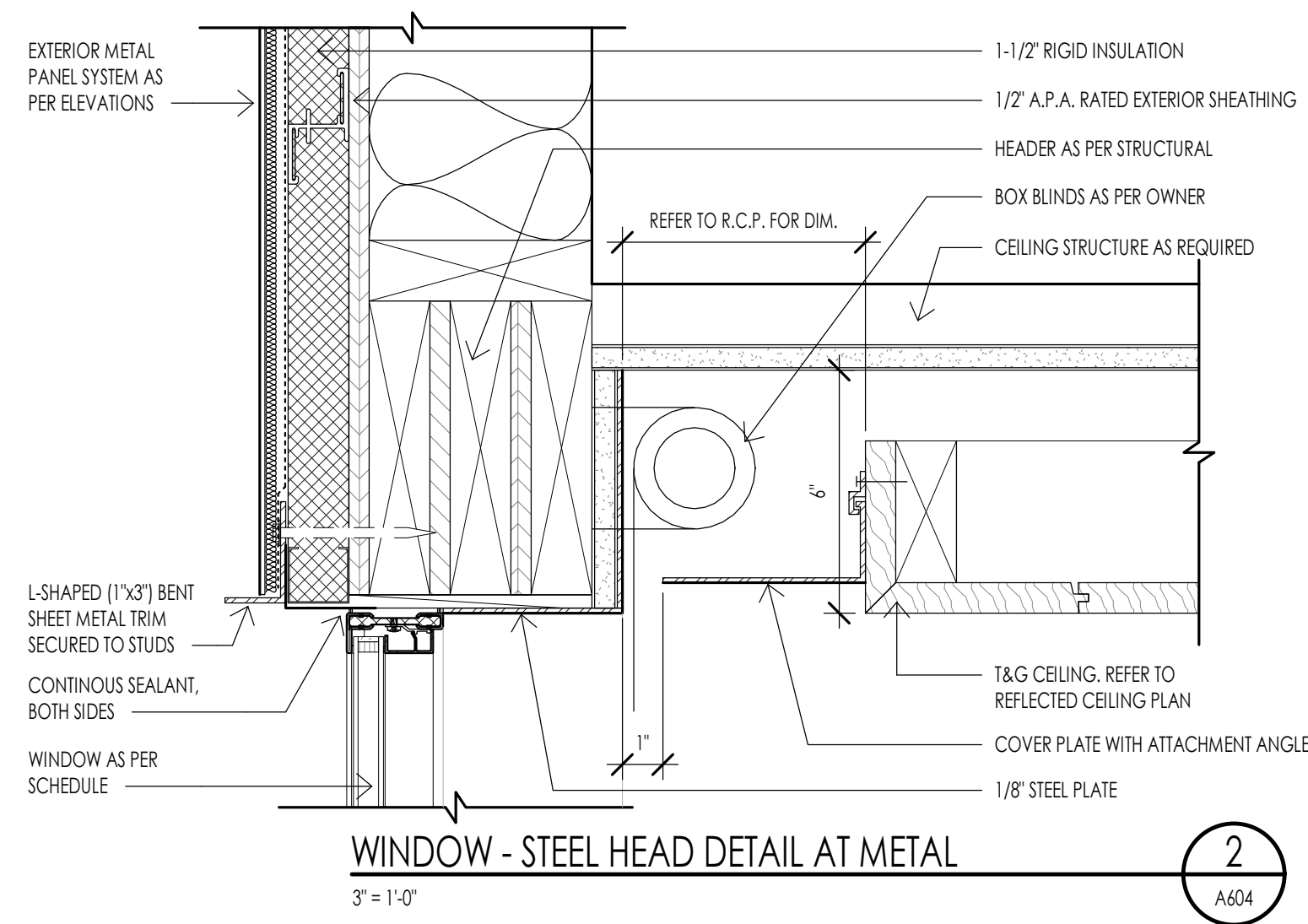
**WARM SPRINGS RESIDENCE #33**  
 170 BALD MOUNTAIN ROAD  
 KETCHUM, IDAHO 83340

PROJECT NC22023.33  
DATE: 2023.11.06

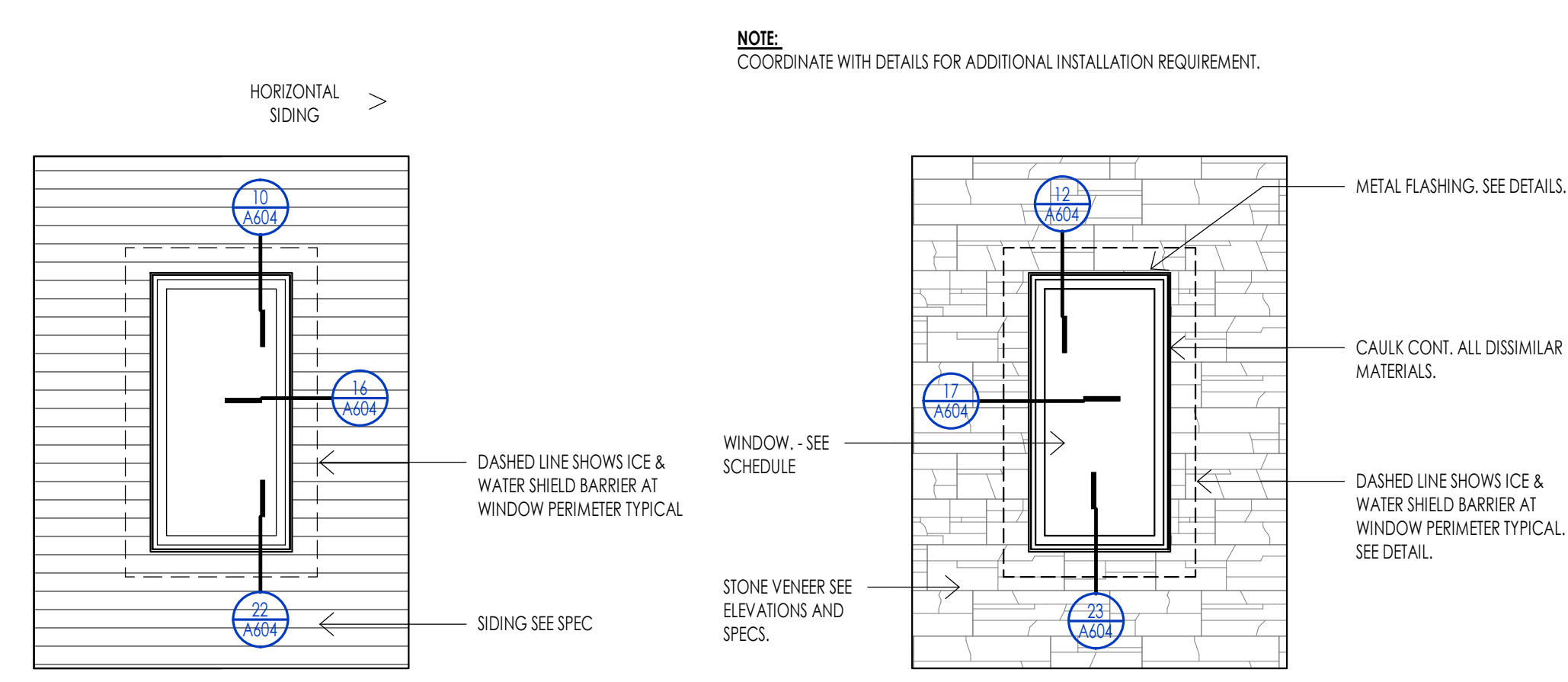
SHEET TITLE:  
**WINDOW SCHEDULE & ELEVATIONS**

SHEET NUMBER:  
**A603**

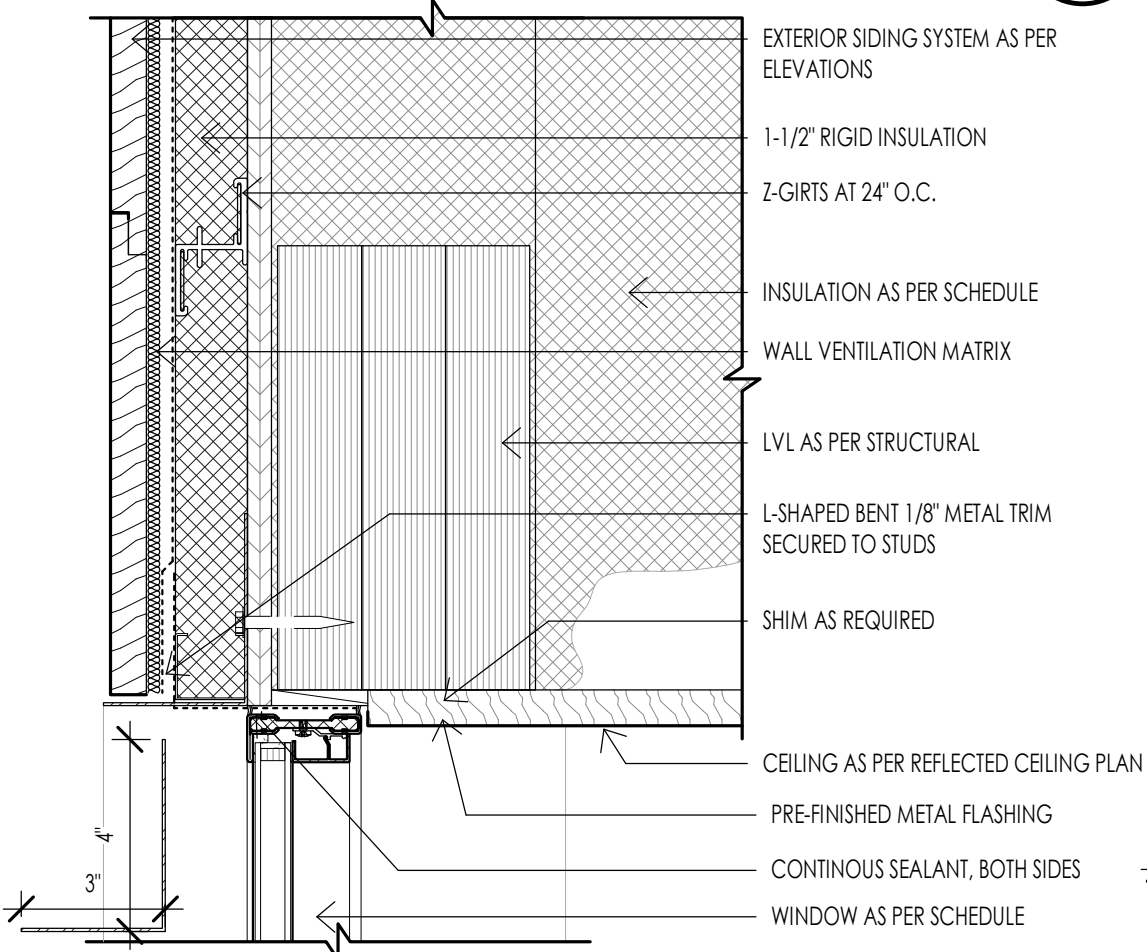
© 2021 THINK ARCHITECTURE, INC.



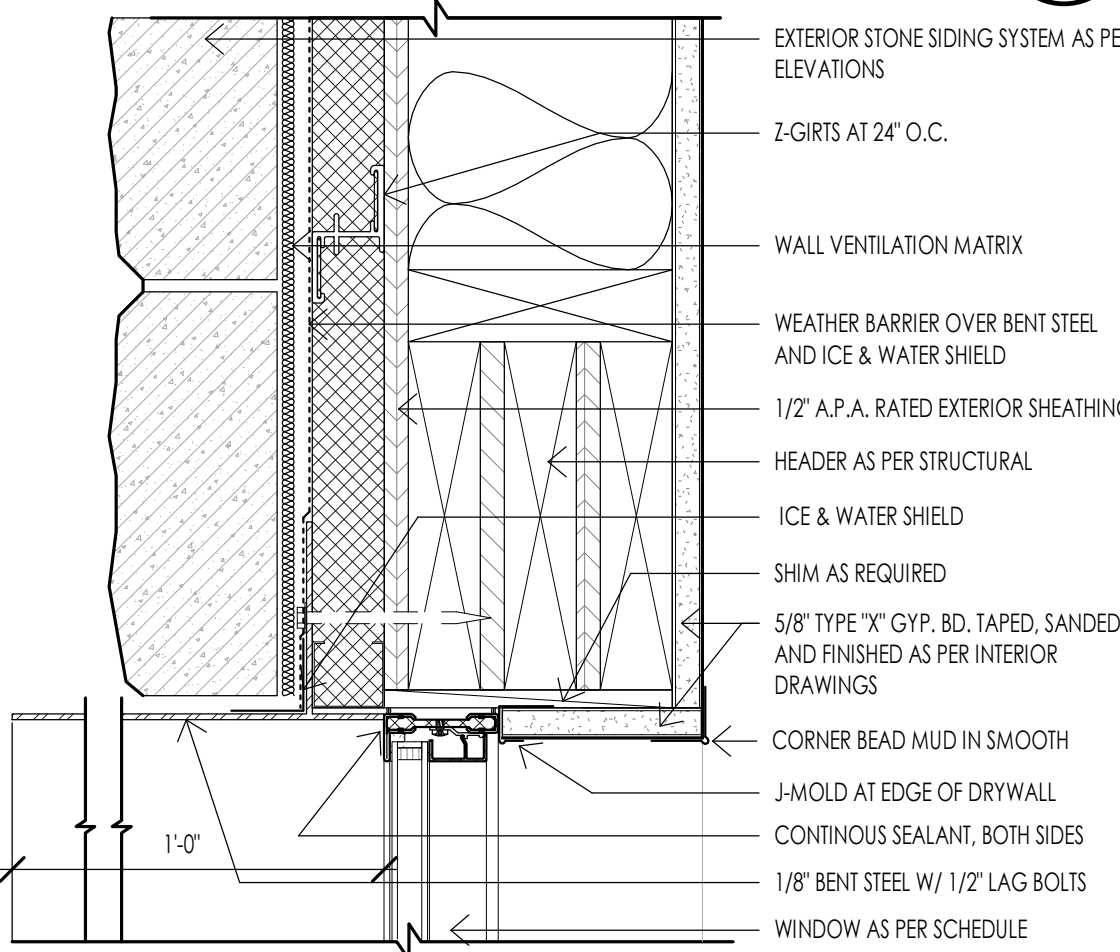
WINDOW - STEEL HEAD DETAIL AT METAL  
3\"/>



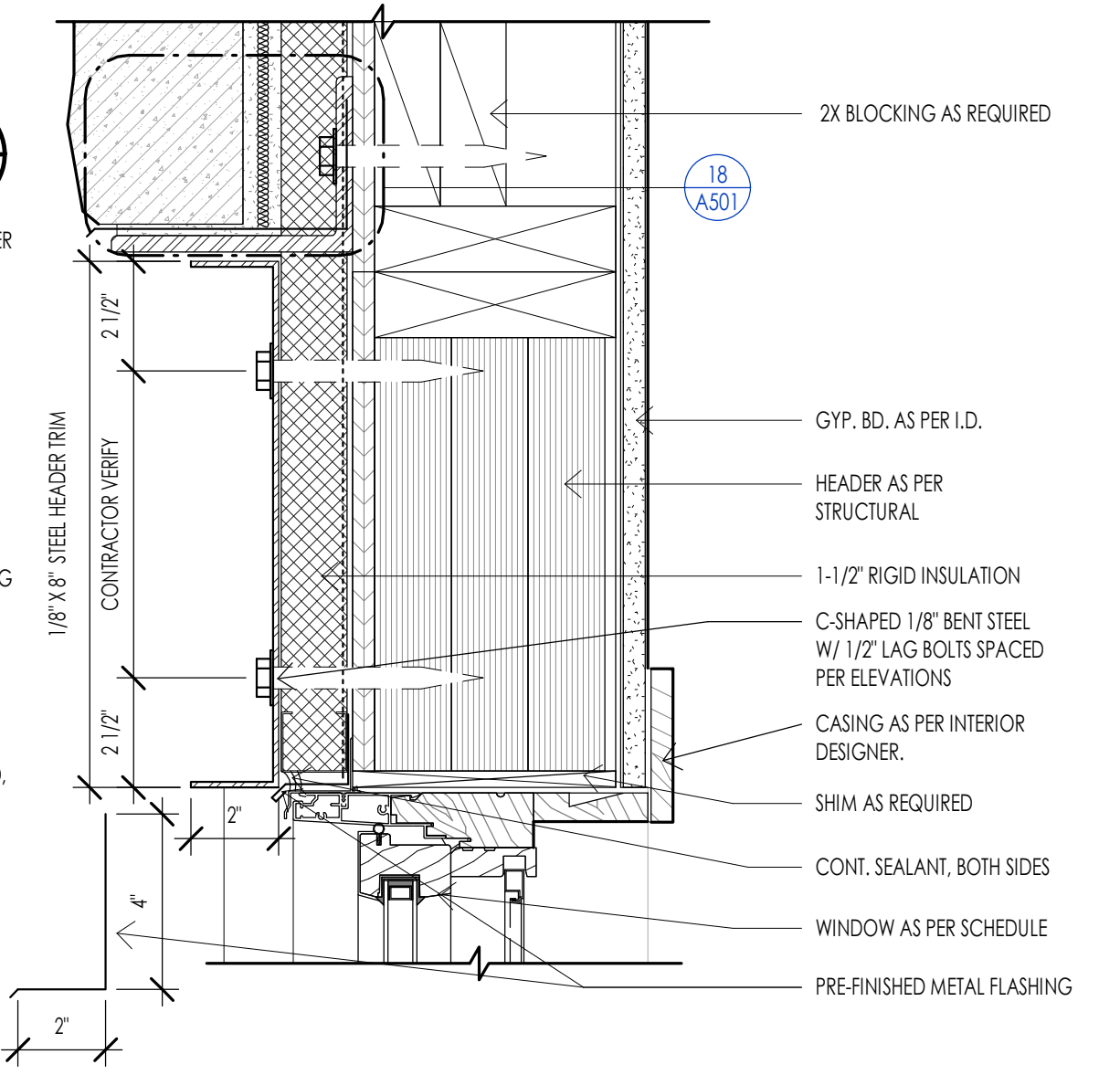
WINDOW - ELEVATION SIDING AT WOOD SIDING  
3\"/>



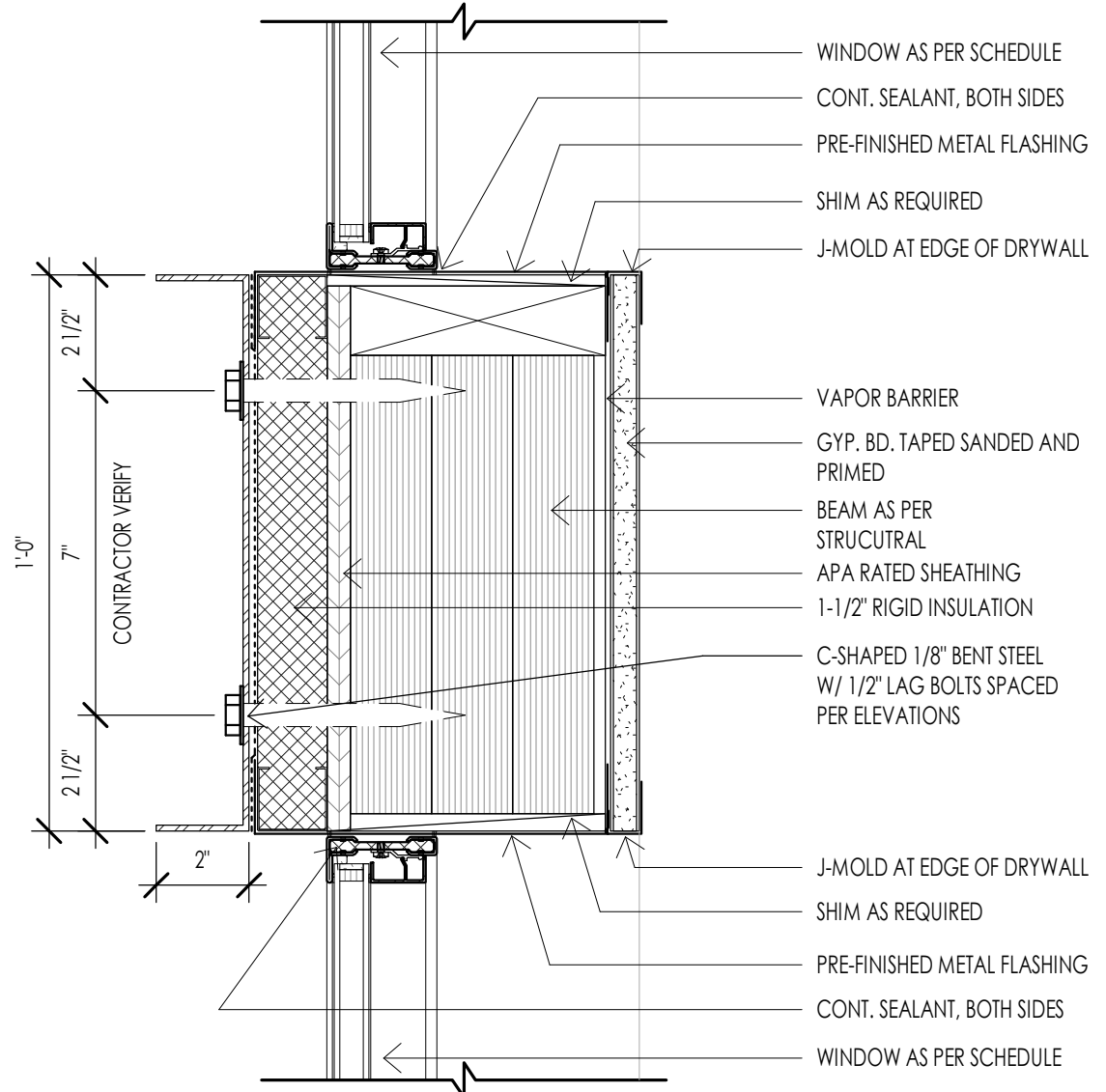
WINDOW - STEEL HEAD DETAIL AT SIDING  
3\"/>



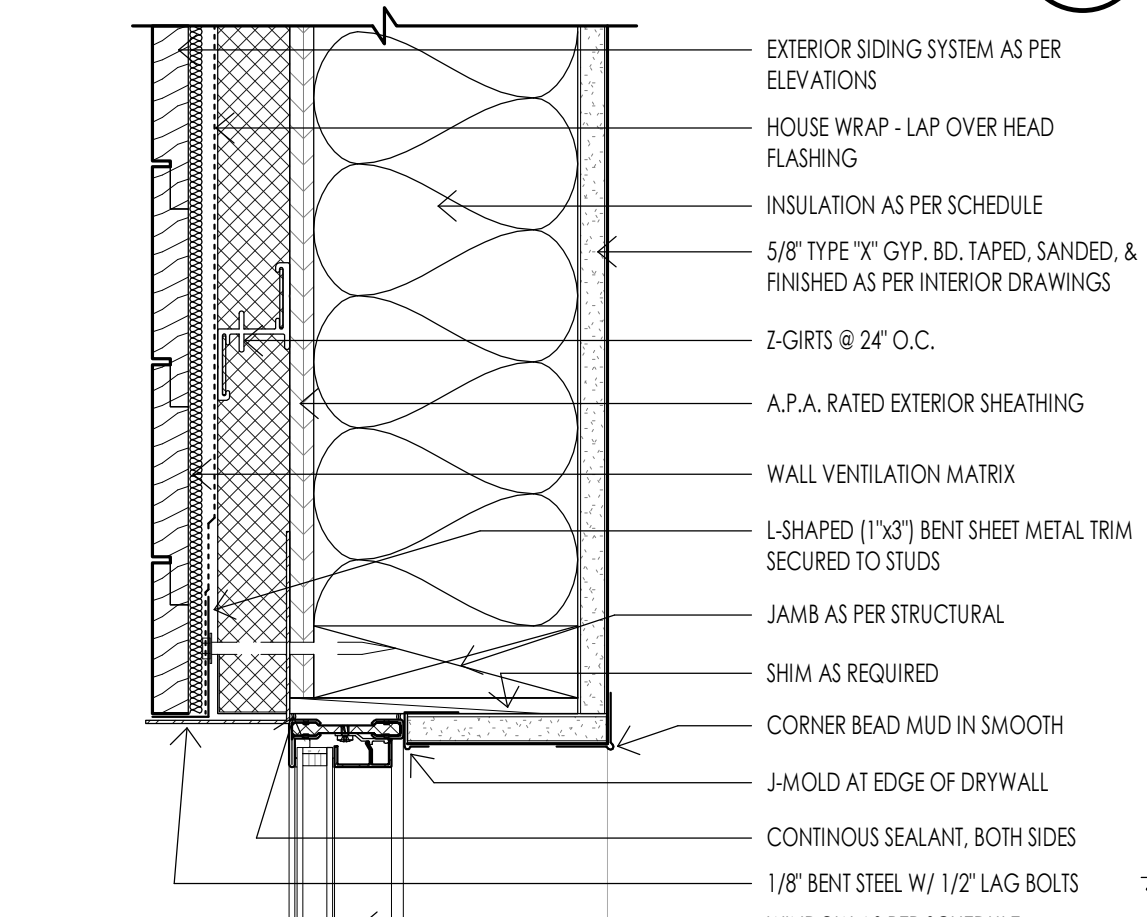
WINDOW - STEEL HEAD DETAIL AT STONE  
3\"/>



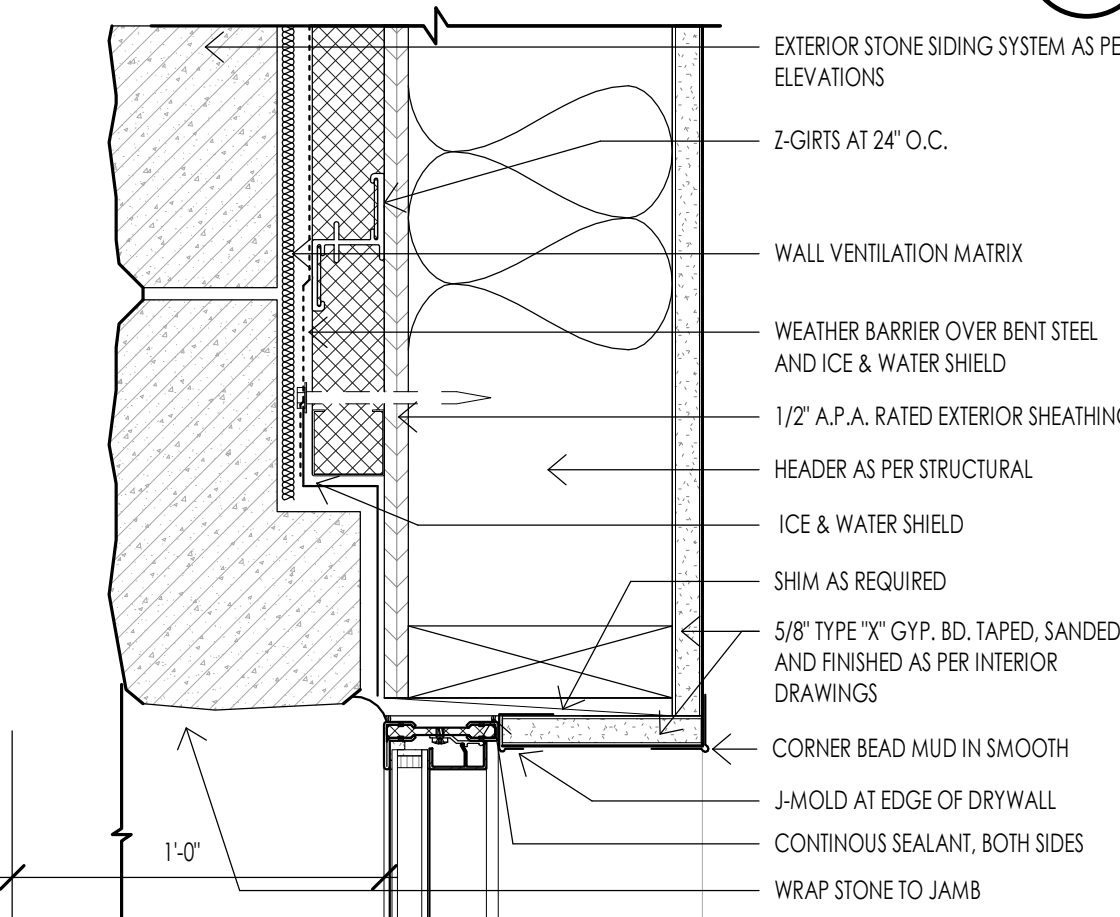
WINDOW - STEEL HEADER TRIM BAND/ STONE  
3\"/>



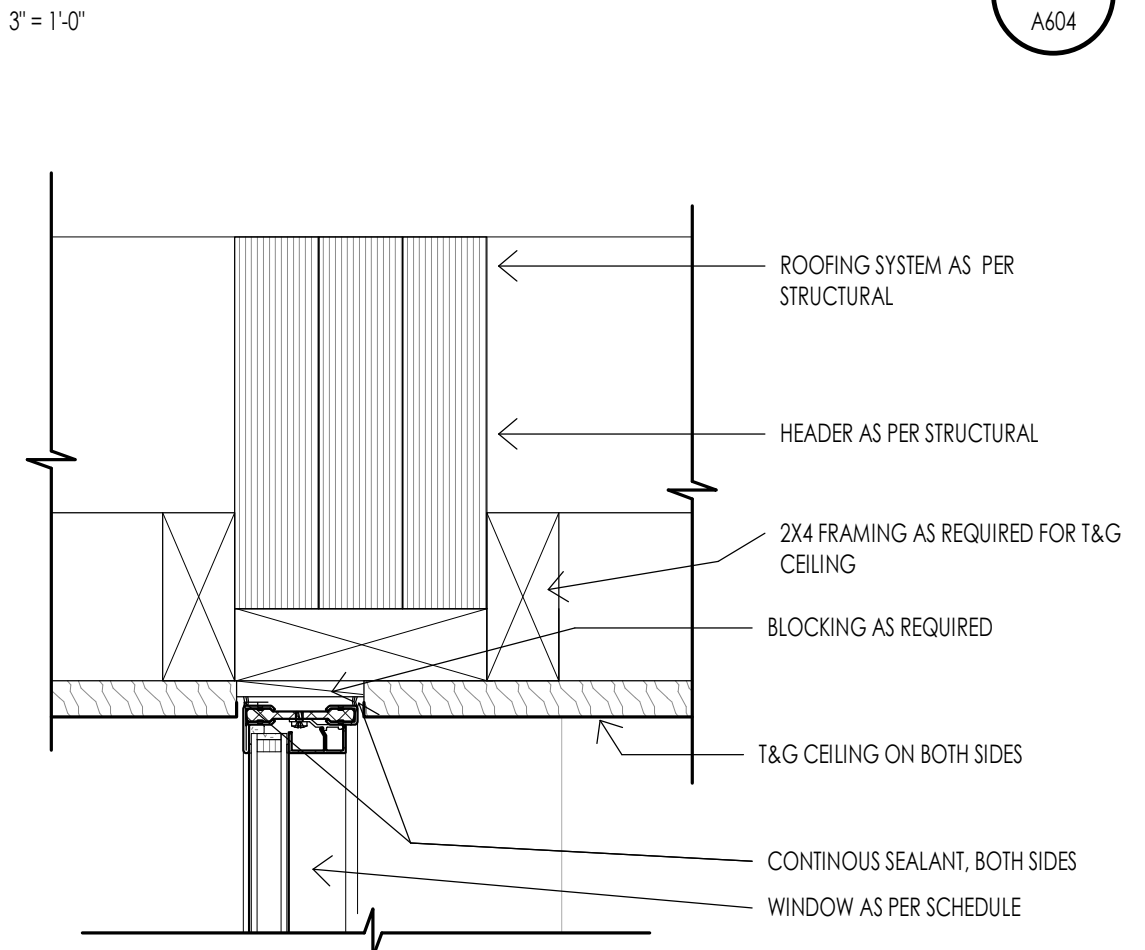
WINDOW - STEEL JAMB DETAIL AT SIDING  
3\"/>



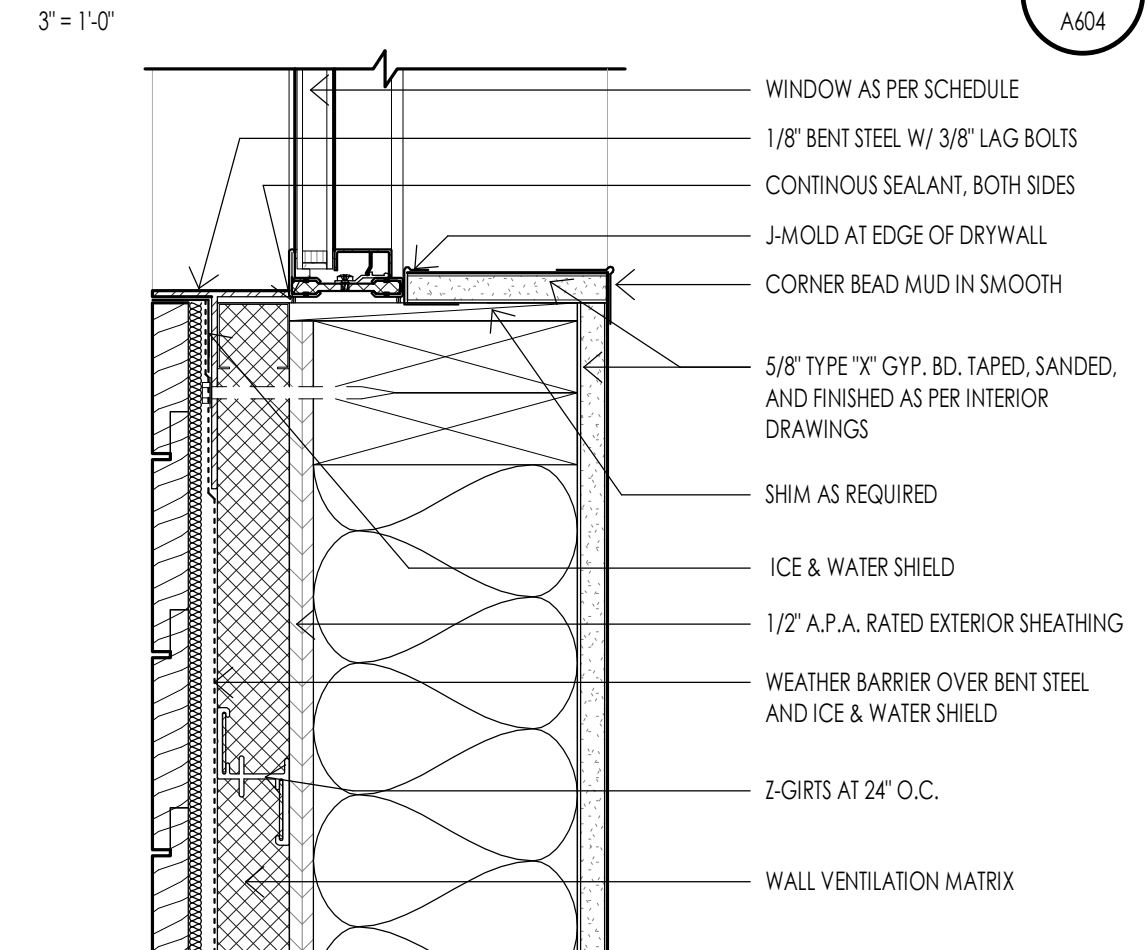
WINDOW - STEEL JAMB DETAIL AT STONE  
3\"/>



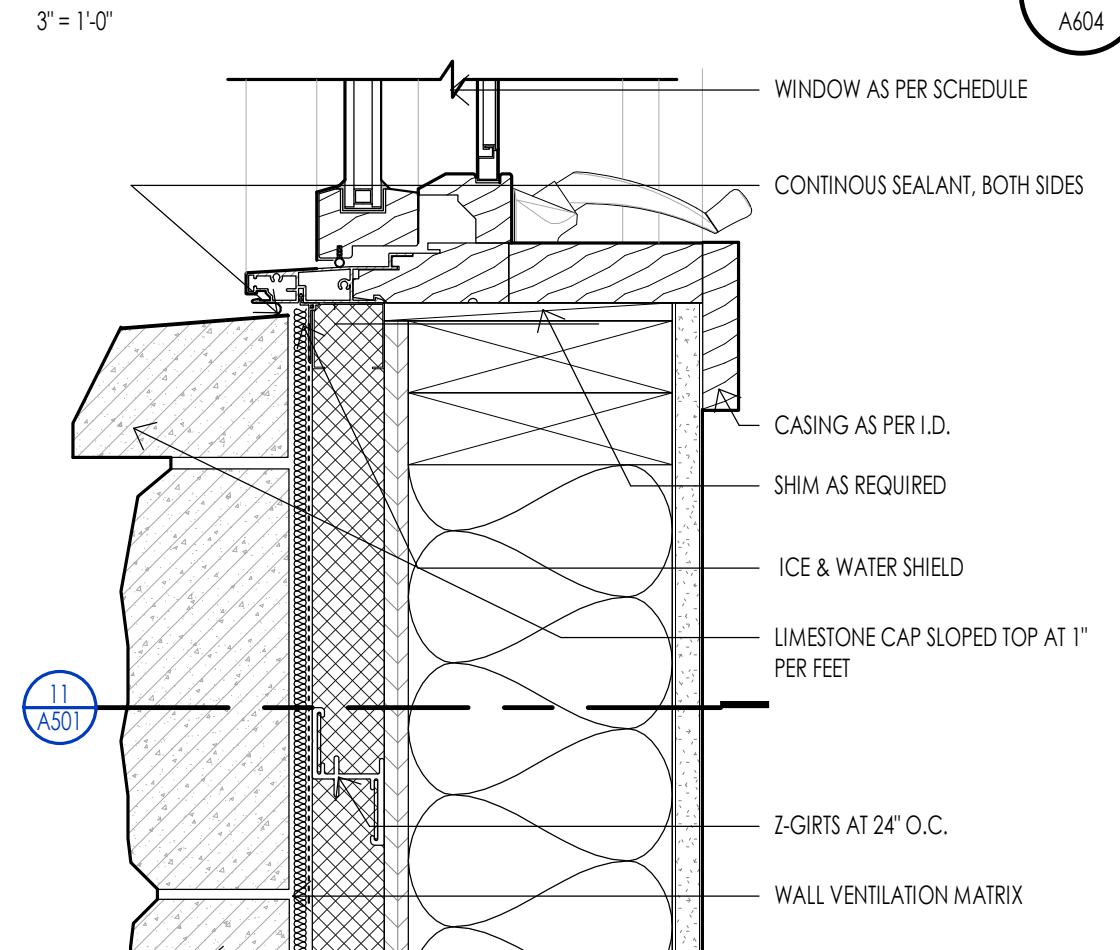
WINDOW - STEEL JAMB DETAIL AT STONE  
3\"/>



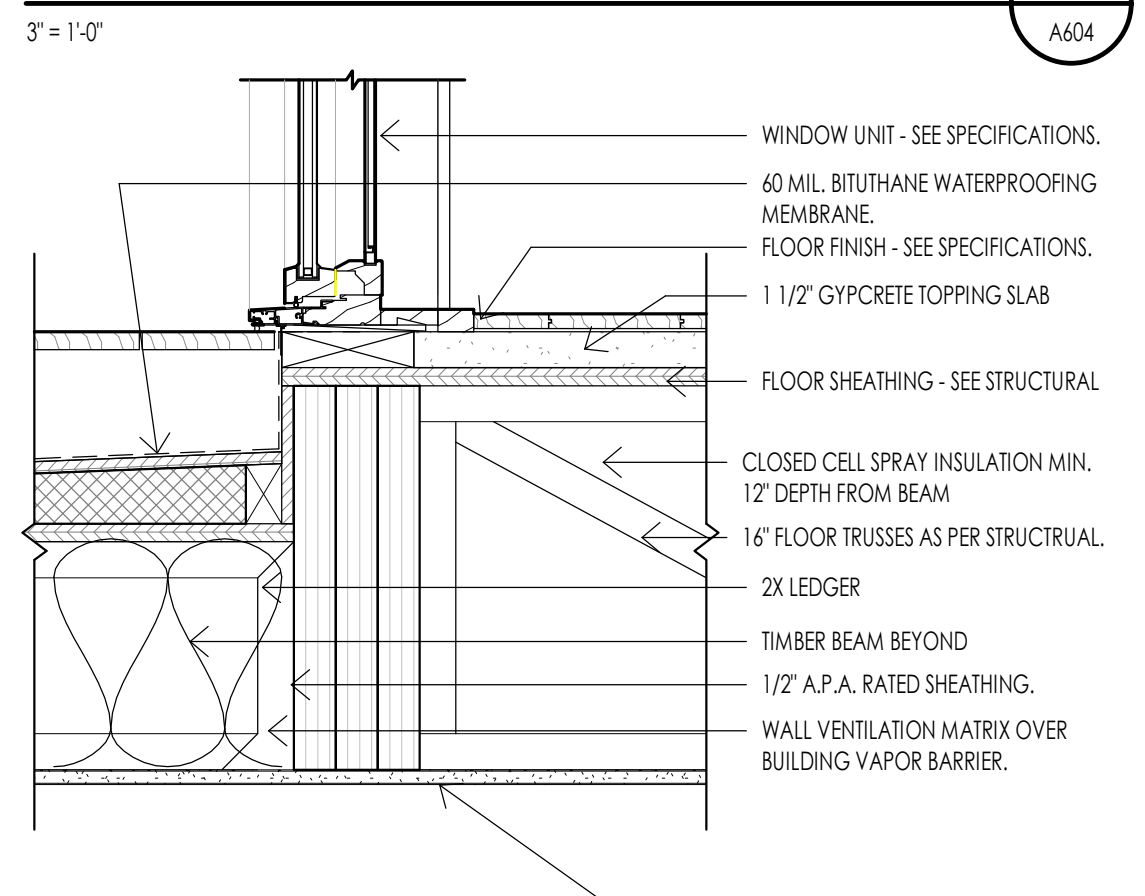
WINDOW - STEEL JAMB DETAIL AT SIDING  
3\"/>



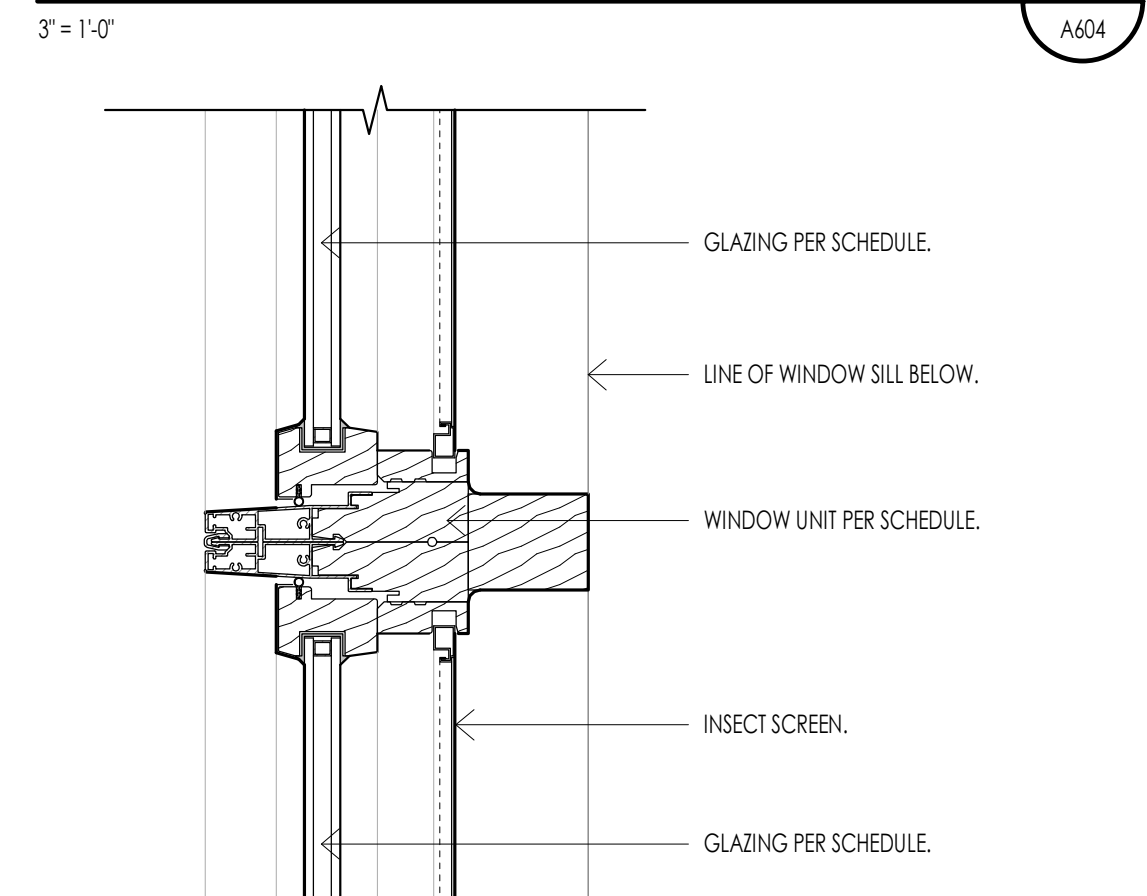
WINDOW - STEEL JAMB DETAIL AT STONE  
3\"/>



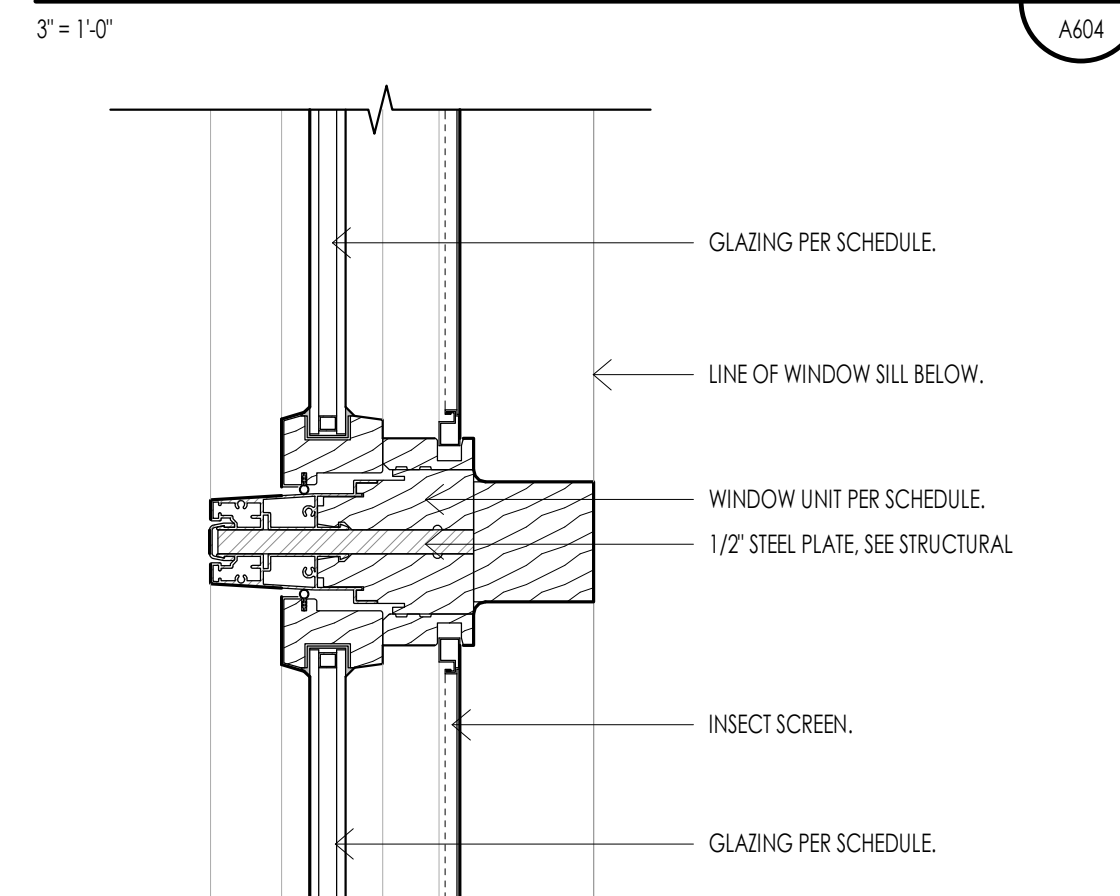
WINDOW - STEEL JAMB DETAIL AT STONE  
3\"/>



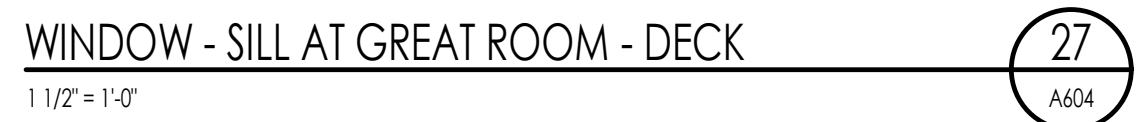
WINDOW - STEEL HEAD DETAIL AT T&G CEILING  
3\"/>



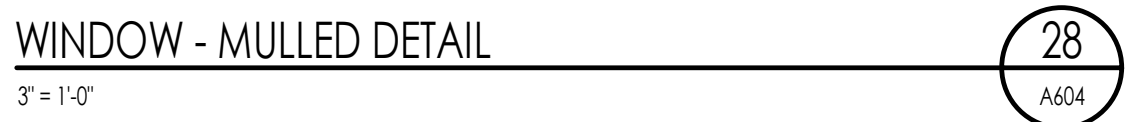
WINDOW - STEEL SILL DETAIL AT SIDING  
3\"/>



WINDOW - SILL DETAIL AT STONE  
3\"/>



WINDOW - SILL AT GREAT ROOM - DECK  
1-1/2\"/>



WINDOW - MULLED DETAIL  
3\"/>



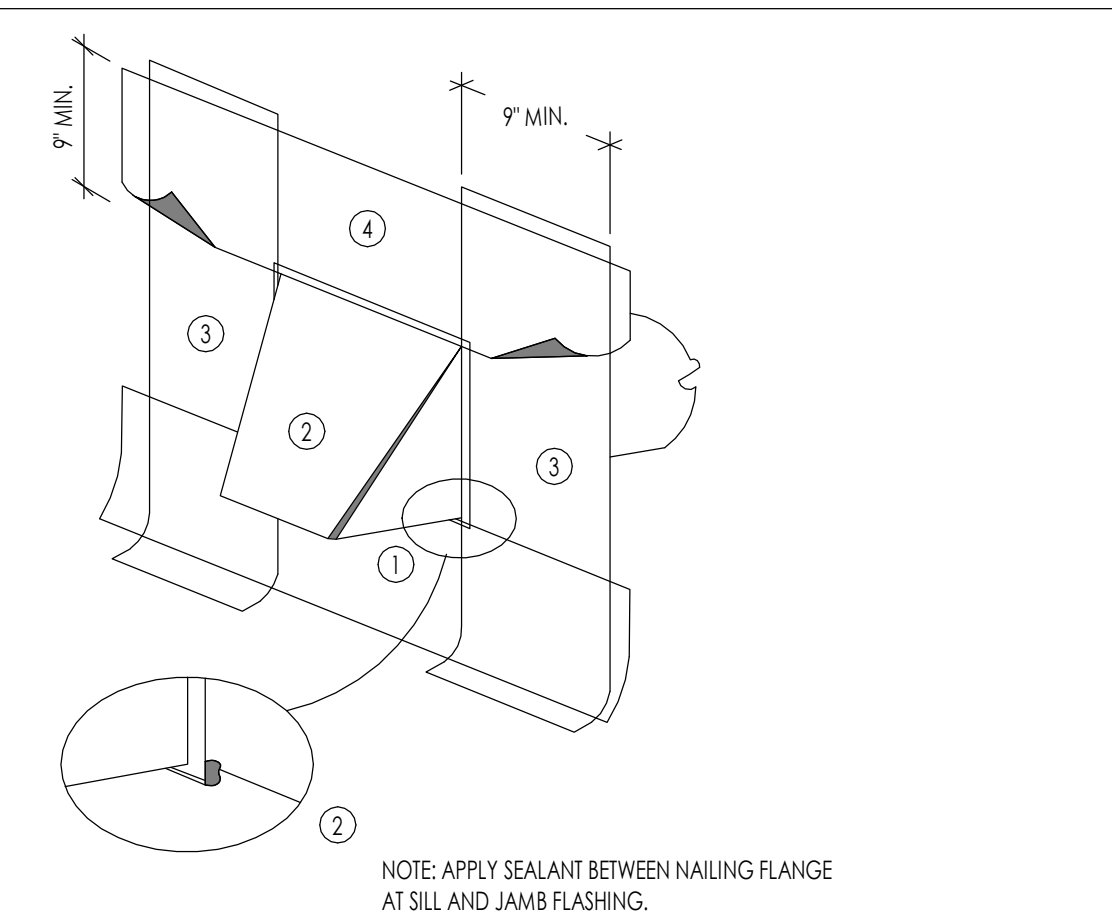
WINDOW - MULLED DETAIL STIFFENED  
3\"/>



**MECHANICAL GENERAL NOTES**

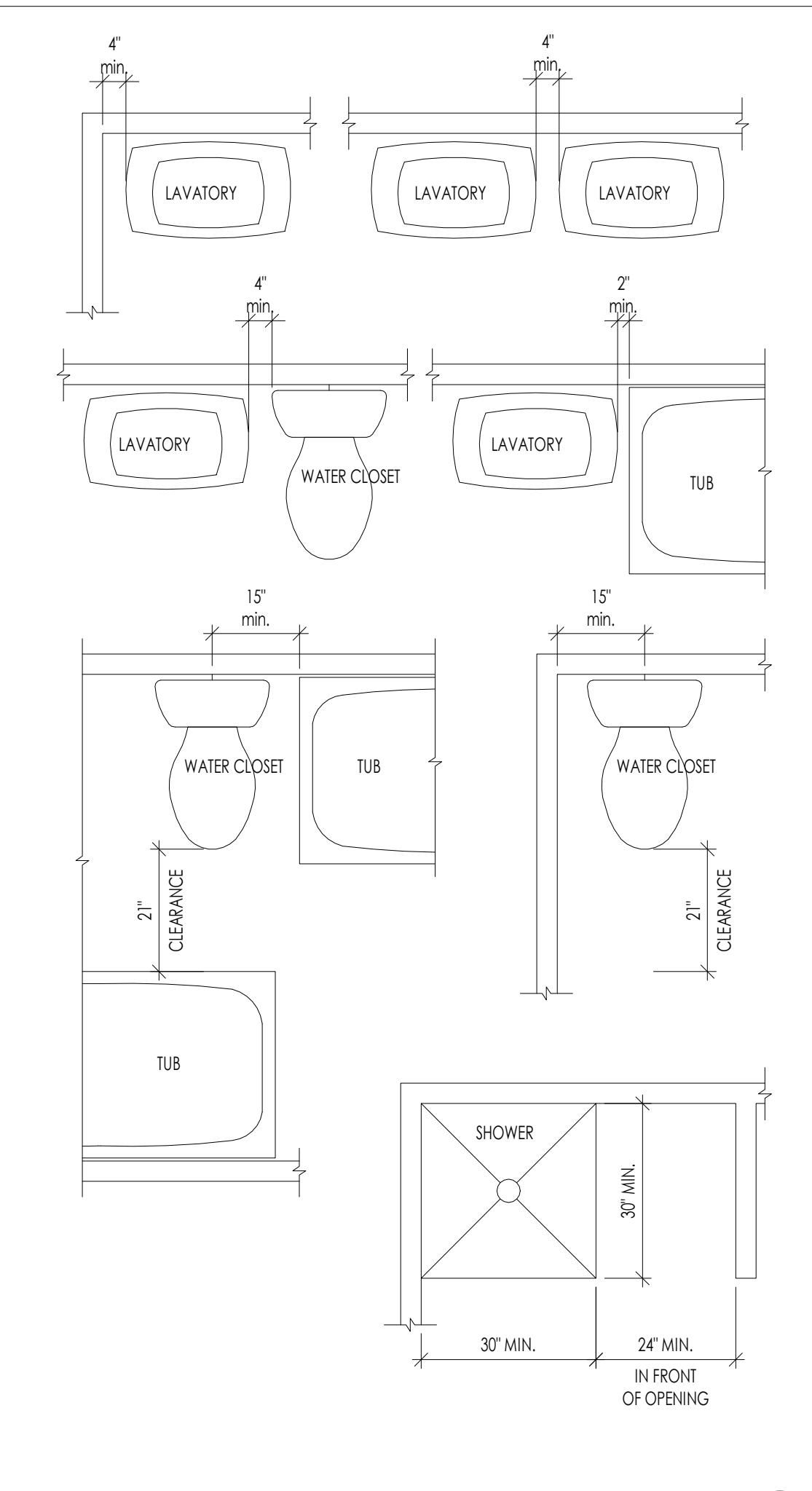
- PLUMBING GENERAL NOTES**
- THE PLUMBING SYSTEM SHALL BE DESIGNED BY A LICENSED MECHANICAL CONTRACTOR/ DESIGNER AND SHALL MEET ALL THE REQUIREMENTS OF THE 2015 IRC, IPC AND IECC.
  - THE PLUMBING CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE PLUMBING SYSTEM INSTALLATION AND SHALL PROVIDE A (1) ONE YEAR WARRANTY BEGINNING FROM THE TIME OF CERTIFICATE OF OCCUPANCY. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE OWNER COMPLETE OPERATION AND MAINTENANCE MANUALS. THE CONTRACTOR SHALL ALSO SET UP A TIME TO PROVIDE COMPLETE TRAINING OF THE SYSTEM TO THE OWNER.
  - THE PLUMBING CONTRACTOR SHALL REVIEW AND SHALL GANG ALL ROOF VENTS INTO SINGLE ROOF VENTS WHERE POSSIBLE, AND SHALL RUN THE VENTS OUT OF THE ROOF AT THE HIGHEST POINT POSSIBLE. ALL VENTS SHALL HAVE BLOCKING ON EACH SIDE OF THE VENT IN THE ROOF STRUCTURE TO ENSURE THE VENTS WILL NOT BE MOVED DUE TO SNOW ON THE ROOF. ALL VENTS SHALL BE SIZED PER THE BUILDING CODE, BUT SHALL NOT BE LESS THAN 3 INCH PIPES. THE PLUMBING CONTRACTOR SHALL COORDINATE THAT THE PROPER FLASHING HAS BEEN INSTALLED FOR EACH VENT.
  - THE ROOF VENTS SHALL EXTEND ABOVE THE ROOF AS REQUIRED BY THE LOCAL JURISDICTION AND BUILDING CODES. THE PLUMBING CONTRACTOR SHALL COORDINATE THIS INSTALLATION.
  - ALL PLUMBING FIXTURES ARE SPECIFIED ON THE MECHANICAL DRAWINGS, AND ON THE INTERIOR DRAWINGS. THE PLUMBING CONTRACTOR SHALL PROVIDE FULL AND COMPLETE SHOP DRAWINGS SUBMITTAL ON ALL PLUMBING FIXTURE ITEMS FOR APPROVAL BY OWNER AND DESIGN TEAM.
  - THE PLUMBING FIXTURES SHALL HAVE THE FOLLOWING REQUIREMENTS:
    - SHOWER HEADS SHALL HAVE A FLOW RATE OF 2.5 GPM OR LESS
    - WATER CLOSETS SHALL HAVE ECONO-FLUSH TANK 1.6 GAL. MAX. FLUSH
    - ALL NOSE BIBS SHALL BE NON-FREEZE TYPE WITH BACK FLOW PREVENTERS
  - THE PLUMBING CONTRACTOR SHALL INSTALL ALL PLUMBING FIXTURES IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. TAKE CARE DURING BUILDING CONSTRUCTION TO SEE THAT PROVISIONS ARE MADE FOR PROPER FUTURE SUPPORT AND THAT PROVISIONS ARE MADE FOR PROPER FUTURE SUPPORT. ROUGH IN PIPING IS ACCURATELY SET AND PROTECTED FROM MOVEMENT OF DAMAGE DURING CONSTRUCTION.
  - THE PLUMBING CONTRACTOR SHALL MAKE SURE THAT NO PLUMBING WILL BE INSTALLED WITHIN THE EXTERIOR WALL.
  - PLUMBING CONTRACTOR SHALL ASSESS WATER PRESSURE AND ENSURE ADEQUATE PRESSURE IS AVAILABLE FOR MULTIPLE FUTURE USE SIMULTANEOUSLY WITH OUT PRESSURE DECREASE OR TEMPERATURE FLUCTUATION.
  - PLUMBING CONTRACTOR SHALL PROVIDE A TURN OFF VALVE AND DRAIN AT THE LOWEST LEVEL OF THE FACILITY. ALL FIXTURES SHALL BE ABLE TO DRAIN TO THIS POINT. PROVIDE A FLOOR DRAIN AT THE LOCATIONS OF PLUMBING SYSTEM DRAIN.
  - ALL SUPPLY WASTE AND GAS LINE MATERIALS, WORKMANSHIP, AND INSTALLATION AS PER INDUSTRY STANDARDS. ALL WATER SUPPLY LINES IN THE BUILDING SHALL BE TYPE "1" COPPER. TO INCLUDE PIPING TO MANFOLDS. EQUIPMENT SHALL BE COPPER WITHIN THE BUILDING. ALL SUPPLY TO FIXTURES MAY BE POLYETHYLENE CROSS LINK PIPING FOR ABOVE GROUND AND BUILDING APPLICATIONS. INSTALL AS PER MANUFACTURER'S SPECIFICATIONS. ALL CONNECTIONS FOR POLYETHYLENE PIPING SHALL BE BRASS FITTINGS WITH COMPRESSION BAND FITTINGS.
  - ALL WATER LINES UNDERGROUND SHALL BE TYPE "1" COPPER. ALL FITTINGS AND JOINTS SHALL BE SWEAT SOLDER JOINTS TOGETHER.
  - WASTE LINES SHALL BE PROVIDED WITH CLEAN OUT AS REQUIRED. EXTEND CLEAN OUT TO ACCESSIBLE SURFACE. DO NOT PLACE CLEAN OUTS IN FLOORS UNLESS PREVIOUSLY APPROVED BY THE DESIGN TEAM AND OWNER.
  - GAS PIPING SHALL BE INSTALLED AS PER THE LATEST CODE REQUIREMENTS FOR THIS TYPE OF PROJECT. ALL GAS PIPING SHALL BE FULLY TESTED AND INSPECTED FOR ANY LEAKS PRIOR TO FINAL COMPLETION OF THE PROJECT. THE CONTRACTOR SHALL INSTALL SHUT OFF VALVES AT EACH GAS APPLIANCE AND SHALL LOCATE THE VALVE TO HAVE ACCESS TO THE VALVE.
  - PLUMBING CONTRACTOR SHALL TEST ALL PIPING INCLUDING DRAINAGE WASTE LINES, WATER PIPING, NATURAL GAS PIPING AND FITTINGS. ALL TEST SHALL BE PERFORMED TO MEET THE REQUIREMENTS OF THE APPLICABLE BUILDING CODE.
  - ALL WATER LINES SHALL FULLY DISINFECTED UPON THE FINAL COMPLETION OF THE PROJECT, AND BEFORE CERTIFICATE OF OCCUPANCY AND TURN OVER TO THE OWNER.
  - ALL DRAINS SHALL HAVE A TRAP PRIMER OR EQUIVALENT NECESSARY TO KEEP THE INTEGRITY OF THE PLUMBING TRAP.

- MECHANICAL GENERAL NOTES**
- THE MECHANICAL SYSTEM SHALL BE DESIGNED BY A LICENSED MECHANICAL CONTRACTOR/ DESIGNER AND SHALL MEET ALL THE REQUIREMENTS OF THE 2015 IRC, IMC AND IECC. THE MECHANICAL CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE MECHANICAL SYSTEM INSTALLATION AND SHALL PROVIDE A (1) ONE YEAR WARRANTY BEGINNING FROM THE TIME OF CERTIFICATE OF OCCUPANCY. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE OWNER COMPLETE OPERATION AND MAINTENANCE MANUALS. THE CONTRACTOR SHALL ALSO SET UP A TIME TO PROVIDE COMPLETE TRAINING OF THE SYSTEM TO THE OWNER.
  - THE MECHANICAL CONTRACTOR IS RESPONSIBLE TO VISIT THE JOB SITE AND BECOME FAMILIAR WITH ALL EXISTING CONDITIONS PRIOR TO STARTING THE WORK. THE MECHANICAL CONTRACTOR MUST ALSO PROVIDE NOTIFICATION TO THE ARCHITECT AND CONTRACTOR OF CONDITIONS THAT MAY BE DIFFERENT THAN EXPECTED DURING BIDDING.
  - ALL LINE VOLTAGE AND LOW VOLTAGE CONTROL WIRING SHALL BE RAN, INSTALLED AND CONNECTED BY THE MECHANICAL CONTRACTOR OR THE MECHANICAL CONTRACTOR SHALL CONTRACT THE SCOPE OF WORK.
  - ALL EQUIPMENT SPECIFICATIONS SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW. THE CONTRACTOR MUST PROVIDE THE DOCUMENTATION THAT IT MEETS THE REQUIREMENTS OF THE ENERGY LEVELS BEING ACHIEVED WITHIN THIS BUILDING.
  - THE MECHANICAL CONTRACTOR SHALL REVIEW AND COORDINATE WITH THE DRAWINGS FOR LOCATIONS OF ALL MECHANICAL ZONES.
  - EXHAUST FANS WHERE SHOWN ON EITHER THE MECHANICAL OR ELECTRICAL PLANS SHALL BE SIZED FOR A MINIMAL RATE OF 50 CFM. ALL FANS SHALL BE HARD DUCTED WITH RIGID DUCT (NO FLEX DUCT SHALL BE ALLOWED), AND DIRECTED DIRECTLY TO THE EXTERIOR OF THE BUILDING IN A SOFFIT OR SIDE WALL. THE TERMINATION OF ALL EXHAUST FANS SHALL BE A MINIMUM OF 10'-0" AWAY FROM ANY OPERABLE WINDOW. TERMINATIONS SHALL BE INSTALLED AS NOT TO BE BLOCKED BY SNOW AND ICE. FANS SHALL BE A DIRECT DRIVE CENTRIFUGAL UNIT WITH SLOW SPEED MOTOR. PROVIDE AN ACOUSTICAL INSULATION, GRIPS, CAPS, ETC. AS REQUIRED.
  - ALL GRILLS AND REGISTERS MUST BLEND TO THE ADJACENT FINISH, AND SHALL BE PROVIDED TO MEET THE REQUIREMENTS FOR THE FLOW RATE AS PER THE CFM REQUIREMENTS. ALL GRILLS SHALL BE EITHER PAINTED FOR METAL FINISH SELECTED.
  - WATER HEATERS
    - THE REQUIRED NUMBER OF WATER HEATERS ARE SHOWN ON THE MECHANICAL PLANS. ALL WATER HEATERS SHALL BE 90% OR BETTER HIGH EFFICIENCY WATER HEATERS WITH RAPID RECOVERY. ALL WATER HEATERS SHALL BE INSTALLED WITH SEISMIC ANCHORING, AS PER DETAILS.
    - ALL WATER HEATERS SHALL BE VENTED TO THE EXTERIOR.
    - THE CONTRACTOR SHALL PROVIDE A FLOOR DRAIN WHETHER SHOWN OR NOT AT THE BASE OF ALL WATER HEATERS. THE FLOOR DRAIN MUST BE LOCATED, AND THE FLOOR MUST SLOPE TOWARD THE DRAIN IN A POSITIVE FLOW.
  - GAS FIRED FURNACES
    - THE REQUIRED NUMBER OF GAS FIRE FURNACES SHALL BE PER THE MECHANICAL DESIGNER/ ENGINEER. THE LOCATION IS SHOWN ON THE MECHANICAL DRAWINGS WHERE THE LOCATIONS ARE PROVIDED FOR THE GAS FIRE FURNACES.
    - THE GAS FIRED FURNACES SHALL BE A MINIMUM OF 90% OR BETTER HIGH EFFICIENCY FURNACE. THE EXACT SIZE OF EACH OF THESE UNITS SHALL BE PER THE MECHANICAL DESIGNER/ ENGINEER.
    - THE VENTING OF EACH GAS FIRE FURNACE SHALL BE PVE PIPE AND SHALL BE LOCATED AWAY FROM THE MAIN ENTRIES OF THE BUILDING, AND WINDOW LOCATIONS. COORDINATE THE EXACT LOCATION WITH THE OWNER AND ARCHITECT.
    - THE CONTRACTOR SHALL PROVIDE A FLOOR DRAIN BY THE GAS FIRED FURNACES FOR THE UNIT CONDENSATE LINES.
  - GAS FIRE BOILERS
    - THE REQUIRED NUMBER OF GAS FIREBOILERS SHALL BE PER THE MECHANICAL DESIGNER/ ENGINEER. THE LOCATION IS SHOWN ON THE MECHANICAL DRAWINGS WHERE THE LOCATIONS ARE PROVIDED FOR THE GAS FIRE BOILERS.
    - THE GAS FIRED BOILER SHALL BE A MINIMUM OF 90% OR BETTER HIGH EFFICIENCY FURNACE. THE EXACT SIZE OF EACH OF THESE UNITS SHALL BE PER THE MECHANICAL DESIGNER/ ENGINEER.
    - THE VENTING OF EACH GAS FIRE BOILER SHALL BE PVE PIPE AND SHALL BE LOCATED AWAY FROM THE MAIN ENTRIES OF THE BUILDING, AND WINDOW LOCATIONS. COORDINATE THE EXACT LOCATION WITH THE OWNER AND ARCHITECT.
    - THE CONTRACTOR SHALL PROVIDE A FLOOR DRAIN BY THE GAS FIRED BOILER FOR THE UNIT CONDENSATE LINES.
  - DUCTWORK
    - ALL DUCTWORK SHALL BE 26 GA. MINIMUM RIGID DUCT AND SHALL BE FULL SEALED AT EACH JOINT LOCATION. NO FLEXIBLE DUCT IS ALLOWED WITHIN THE INSTALLATION.
    - ALL DUCTWORK IN CEILINGS OF UNHEATED ROOM OR UNDER SLAB SHALL BE INSULATED DUCTWORK. ALL DUCTWORK WITHIN THE HEATING ENVELOPE OF THE STRUCTURE DOES NOT REQUIRE TO BE INSULATED, UNLESS SPECIFICALLY NOTED.
    - ALL DUCTWORK SHALL BE IN THE SPACE ALLOCATED, AND SHALL NOT BE DROPPED BELOW FLOOR JOISTS, UNLESS NOTED ON DRAWINGS, OR PREVIOUSLY APPROVED BY THE ARCHITECT AND OWNER.

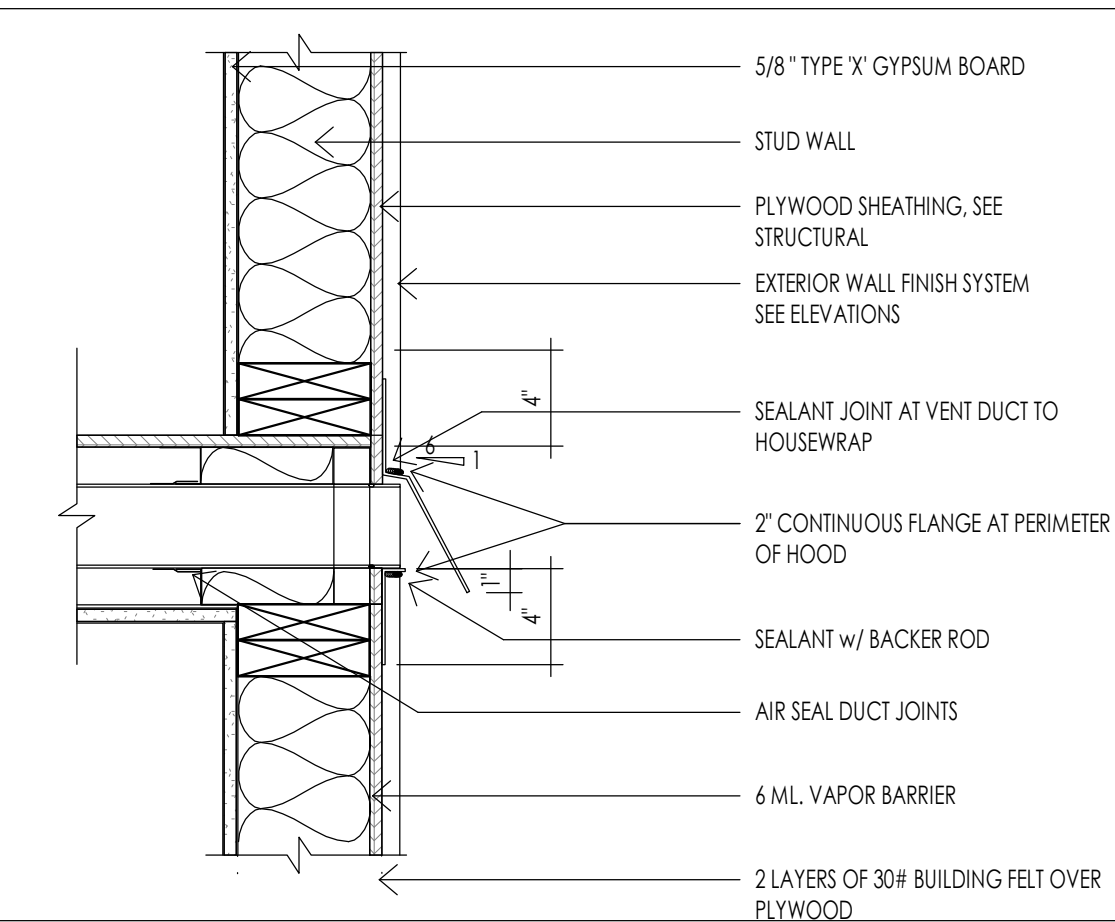


- SILL FLASHING**  
9 INCH MIN. WIDE SELF-ADHERED SELF-HEALING RUBBERIZED ELASTOMERIC ASPHALT FLASHING MEMBRANE INSTALLED A MIN. 9 INCHES BEYOND ROUGH OPENING  
-DO NOT OVERLAP THE TOP OF SILL FRAMING  
-ADHERE ONLY AT TOP EDGE. LEAVE UNATTACHED AT BOTTOM SO THAT THE PAPER CAN BE INSTALLED UNDERNEATH
- METAL EXTERIOR VENT**  
26 GA. MIN. GALV. SHEET METAL VENT MUST BE INSTALLED OVER SILL FLASHING. INSTALL JAMB FLASHING OVER OR UNDER NAILING FLANGE. SET VENT IN A CONTINUOUS BED OF SEALANT.
- JAMB FLASHING**  
9 INCH MIN. WIDE SELF-ADHERED SELF-HEALING RUBBERIZED ELASTOMERIC ASPHALT FLASHING MEMBRANE FLASHING INSTALLED OVER AND BELOW SILL FLASHING AND ABOVE TOP OF FUTURE HEAD FLASHING.  
-DO NOT FASTEN THE BOTTOM 9 INCHES OF THE JAMB FLASHING SO THE WEATHER-RESISTANT BARRIER APPLIED LATER MAY BE SUPPLIED UNDERNEATH THE FLASHING IN A WEATHERBOARD FASHION.
- HEAD FLASHING**  
APPLY SELF-ADHERED SELF-HEALING RUBBERIZED ELASTOMERIC ASPHALT FLASHING MEMBRANE OVER DRYER VENT FLANGE. EXTEND HEAD FLASHING BEYOND EACH JAMB FLASHING.

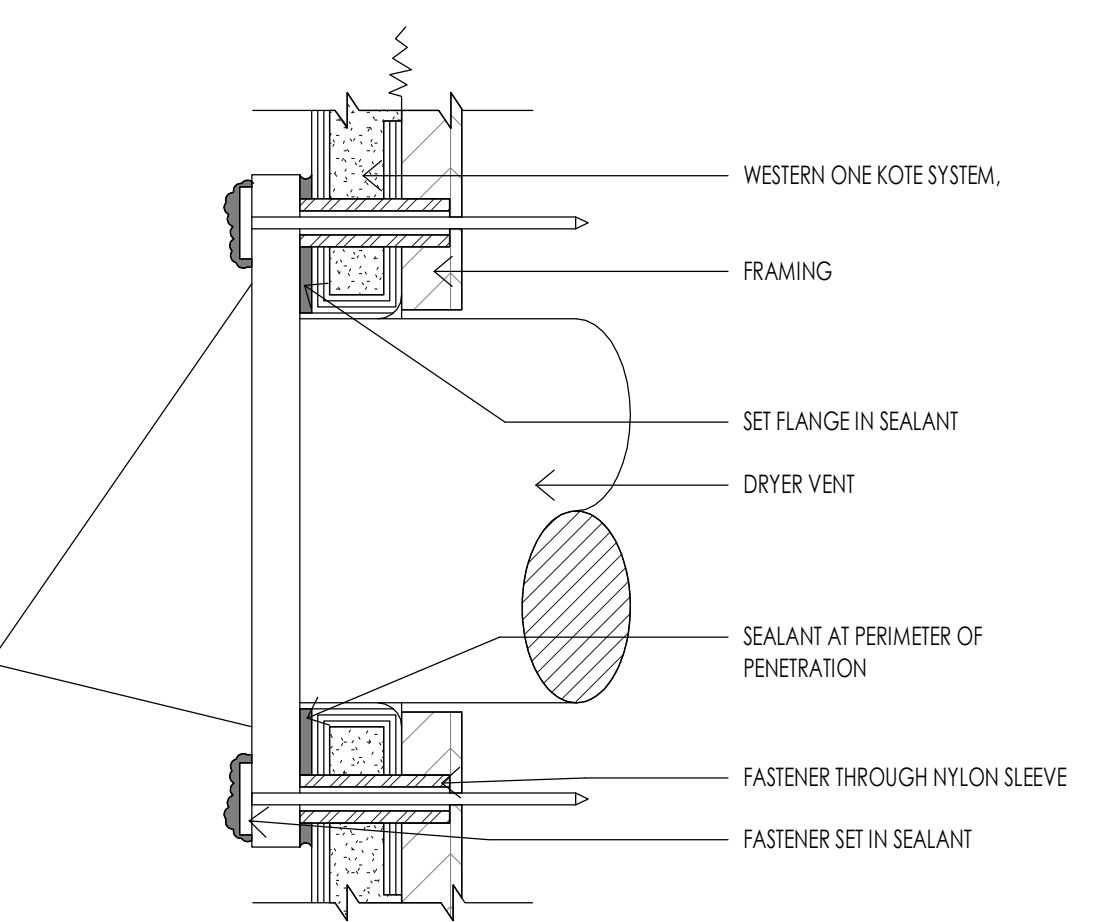
**EXHAUST VENT DETAIL** 1/1/2" = 1'-0" M101



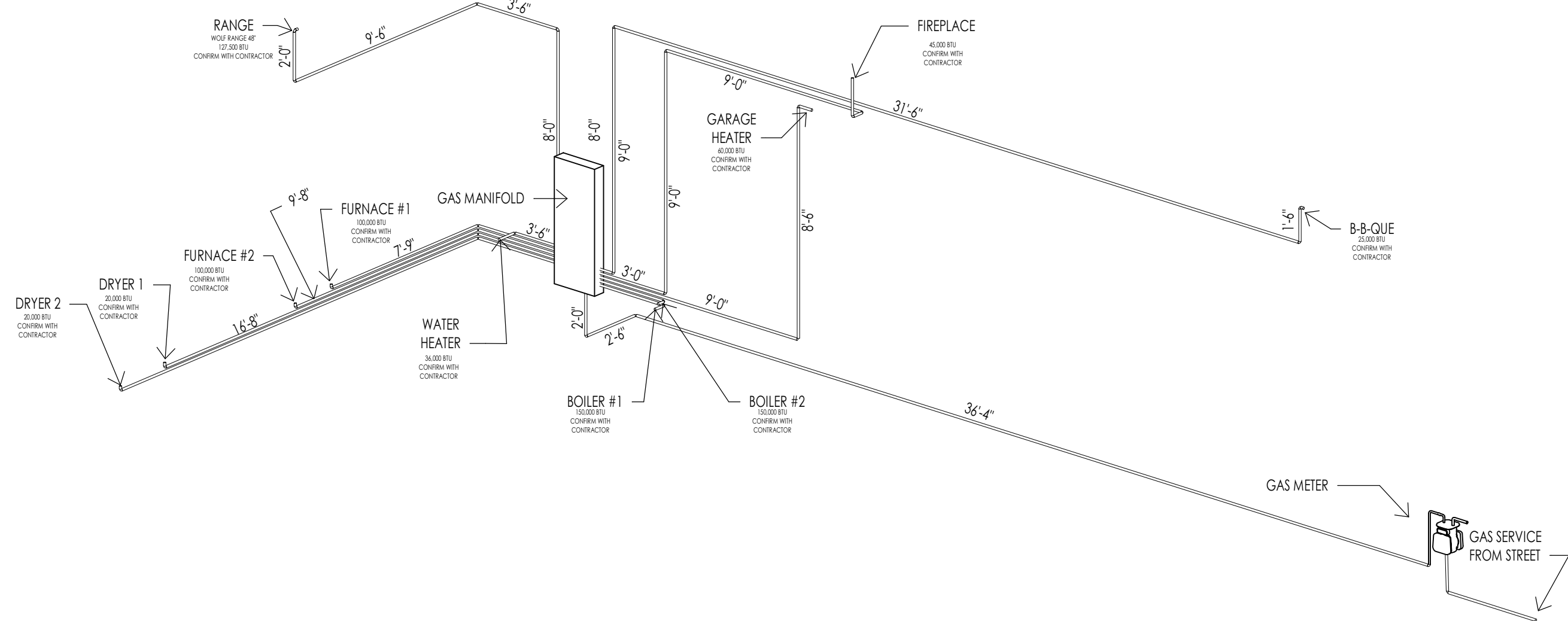
**MINIMUM PLUMBING FIXTURE CLEARANCES** 1/8" = 1'-0" M101



**WALL EXHAUST VENT** 1/1/2" = 1'-0" M101



**TYPICAL DRYER VENT (SHOWN WITH STUCCO)** 6" = 1'-0" M101



**GAS SCHEMATIC** 5 M101



Architecture  
Interior Design  
Landscape Architecture  
Land Planning  
Construction Management

7927 So. Highpoint Parkway, Suite 300  
Sandys, Utah 84094  
ph. 801.269.0555  
fax 801.269.1425  
www.thinkarc.com

The designs shown and described herein including all technical drawings, graphic representation & models thereof, are proprietary & can not be copied, duplicated, or commercially reproduced in whole or in part without the sole and express written permission from THINK Architecture, Inc.

These drawings are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors, and office personnel only in accordance with this notice.



WARM SPRINGS RESIDENCE #33  
170 BALD MOUNTAIN ROAD  
KETCHUM, IDAHO 83340

PROJECT NC22023.33  
DATE: 2023.11.06  
REVISIONS:

SHEET TITLE:  
MECHANICAL GENERAL NOTES

SHEET NUMBER:  
M101

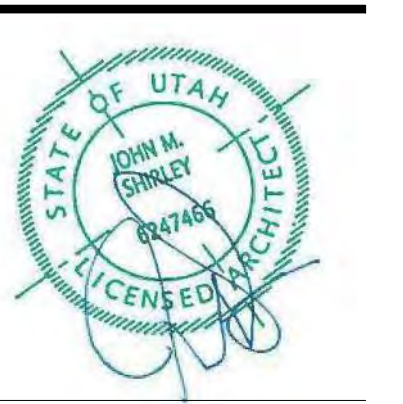
© 2021 THINK ARCHITECTURE INC.



Think  
Architecture  
Interior Design  
Landscape Architecture  
Land Planning  
Construction Management

7927 So. Highpoint Parkway, Suite 300  
Scotty, Utah 84094  
ph. 801.269.0555  
fax 801.269.1425  
www.thinkaec.com

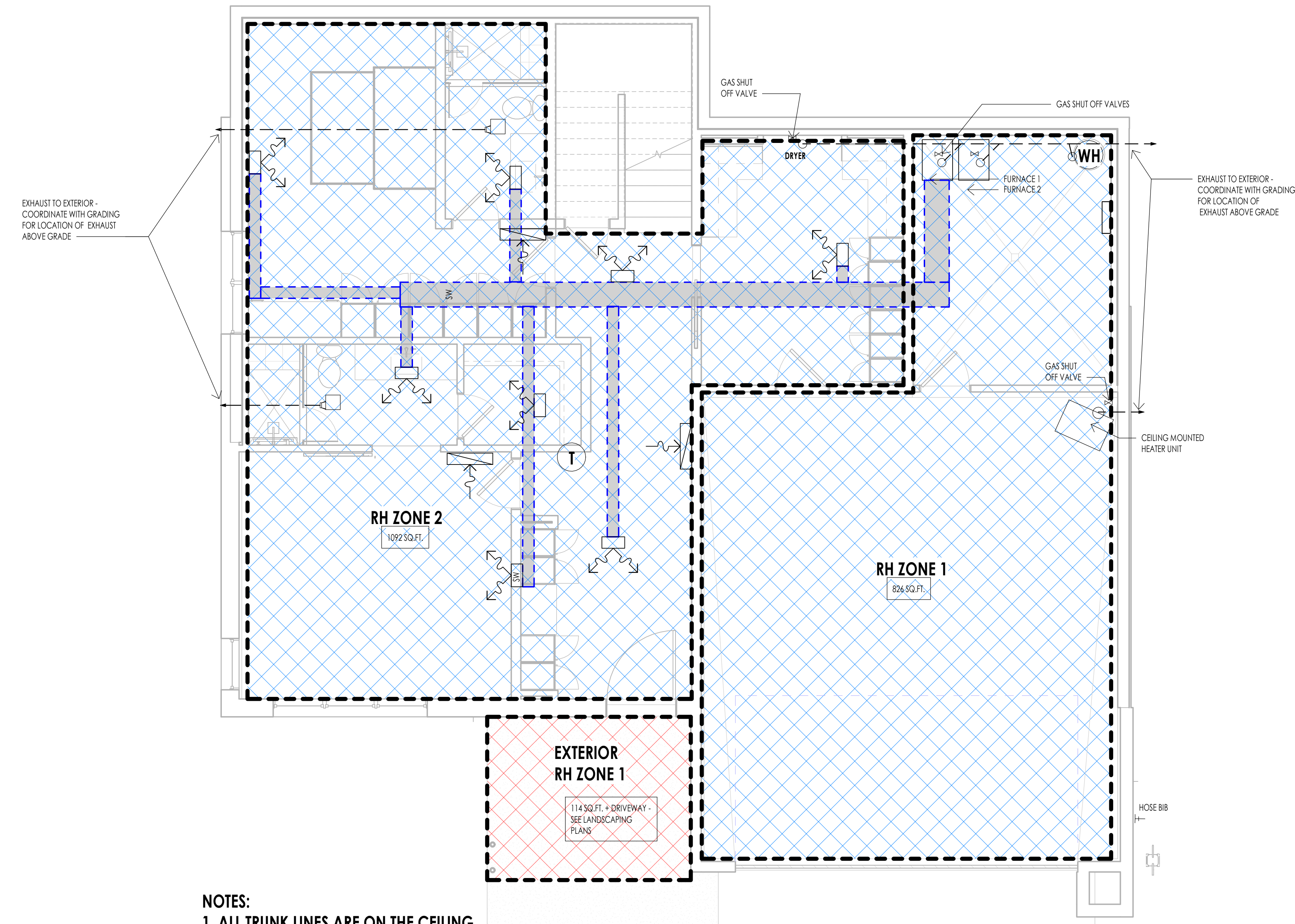
The designs shown and described herein including all technical drawings, graphic representation & models thereof, are proprietary & can not be copied, duplicated, or commercially exploited in whole or in part without the sole and express written permission from THINK Architecture, Inc.  
These drawings are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors, and office personnel only in accordance with this notice.



MECHANICAL LEGEND	
SYMBOL	TYPE
	FLOOR OR CEILING MOUNTED HVAC REGISTER
	SW = SIDE WALL T.K. = TOE KICK
	HVAC RETURN AIR REGISTER
	HOSE BIB
	GAS SHUT OFF VALVE
	BATHROOM EXHAUST FAN
	THERMOSTAT
	WATER HEATER

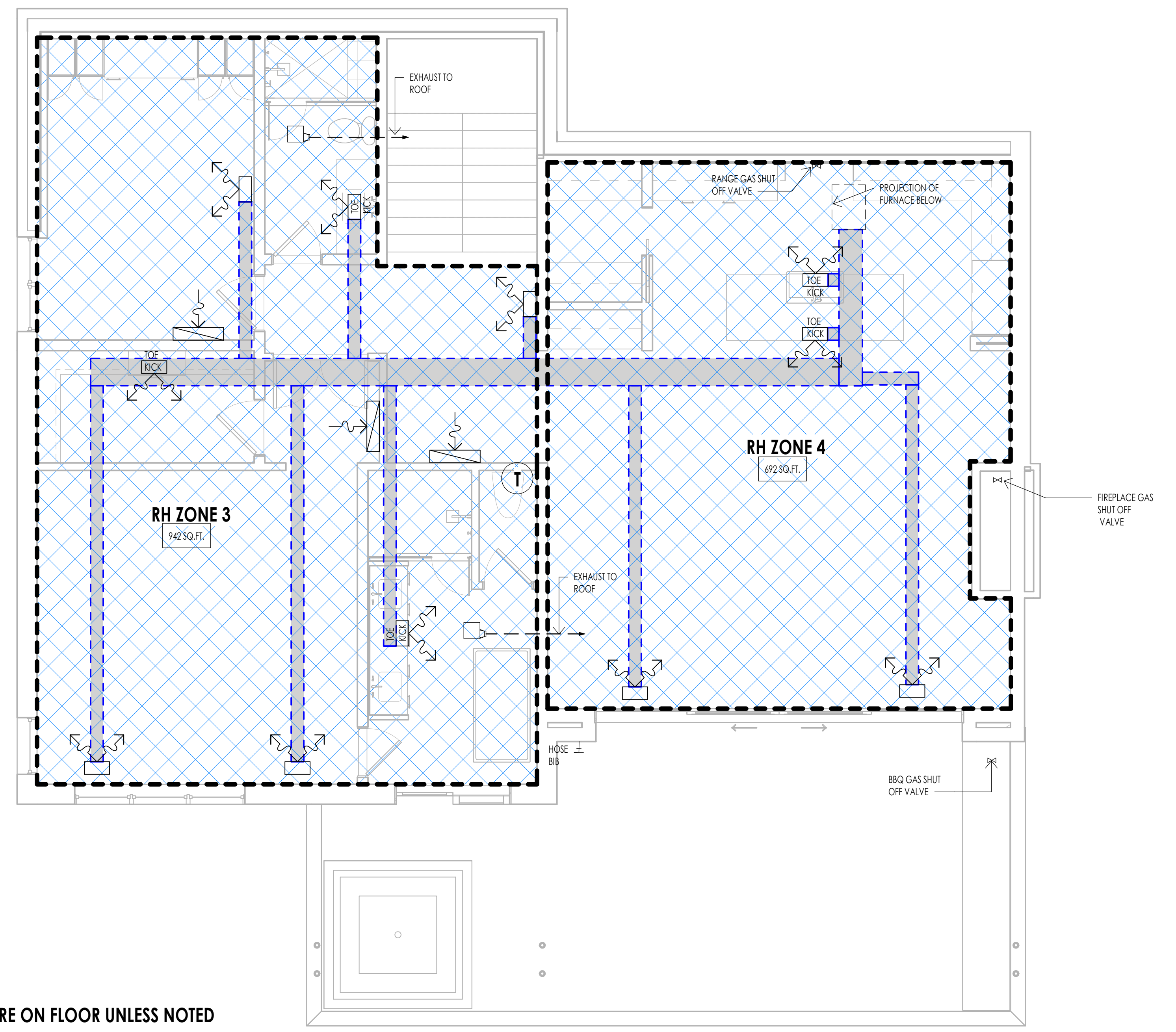
  

MECHANICAL GENERAL NOTES	
1.	SEE SHEETS AD.3 FOR MECHANICAL AND PLUMBING PROJECT KEY NOTES AND MECHANICAL/PLUMBING INFORMATION.
2.	MECHANICAL AND PLUMBING LAYOUTS ARE SHOWN IN SCHEMATIC. THE PLUMBING AND MECHANICAL CONTRACTORS ARE RESPONSIBLE TO DESIGN AND SIZE EQUIPMENT CAPACITY, PIPE AND DUCT LINES, PLUMBING LINES AND ALL OTHER EQUIPMENT AS PER NATIONAL, STATE AND LOCAL CODES AND AS PER THE GENERAL NOTE REQUIREMENTS.
3.	THE CONTRACTOR IS RESPONSIBLE TO COORDINATE THE LAYOUT AND INSTALLATION OF ALL RELATED ITEMS WITH EXISTING CONDITIONS AND ALL OTHER TRADES.
4.	COORDINATE WITH OWNER, INTERIOR DESIGNER AND/OR PLANS FOR FIXTURE SCHEDULES, STYLES, FINISHES, ETC.
5.	ALL REGISTERS AT LOWER LEVEL TO BE CEILING MOUNT UNLESS OTHERWISE NOTED.
6.	COORDINATE BETWEEN MECH. SUB AND ELECTRICAL SUB AT PRECONSTRUCTION MEETING FOR DUCT LOCATIONS AND RECESSED CAN LOCATIONS.
7.	ALL PLUMBING FIXTURE/MECHANICAL EQUIPMENT SELECTIONS TO BE APPROVED BY OWNER/DEVELOPER.
8.	PROVIDE REQUIRED COMBUSTION AIR VENT DUCTS AT CEILING FOR WATER HEATER AND FURNACE AS REQUIRED BY BLDG. CODES AND MANUFACTURER.
9.	MECHANICAL DESIGN SHOULD BE IN ACCORDANCE WITH 2006 INTERNATIONAL RESIDENTIAL CODE.
10.	DUCT PENETRATIONS IN GARAGES SHALL BE 26-GAUGE SHEET METAL MIN. AND SHALL HAVE NO OPENINGS INTO THE GARAGE.
11.	FLUES SHALL NOT PENETRATE THE ROOF WITHIN 4'-0" OF PARTY WALLS.
12.	RADON: THE MECHANICAL CONTRACTOR IS RESPONSIBLE TO PROVIDE RADON TESTING AND APPLY AN APPROPRIATE MITIGATION SYSTEM.



- NOTES:**
1. ALL TRUNK LINES ARE ON THE CEILING.
  2. ALL REGISTERS ARE ON CEILING UNLESS NOTED OTHERWISE.
  3. GRILLS TO BE MAXIMUM 6" OFF FLOOR
  4. PROVIDE SNOW MELT AT DRIVEWAY, ENTRY WALK AND FRONT PORCH

LEVEL 1 - MECHANICAL  
1/4" = 1'-0" (1) M102



- NOTES:**
1. ALL REGISTERS ARE ON FLOOR UNLESS NOTED OTHERWISE.
  2. GRILLS TO BE MAXIMUM 6" OFF FLOOR

LEVEL 2 - MECHANICAL  
1/4" = 1'-0" (2) M102

WARM SPRINGS RESIDENCE #33

170 BALD MOUNTAIN ROAD  
KETCHUM, IDAHO 83340

PROJECT NC22023.33  
DATE: 2023.11.06  
REVISIONS:

SHEET TITLE:  
MECHANICAL PLAN

SHEET NUMBER:  
M102

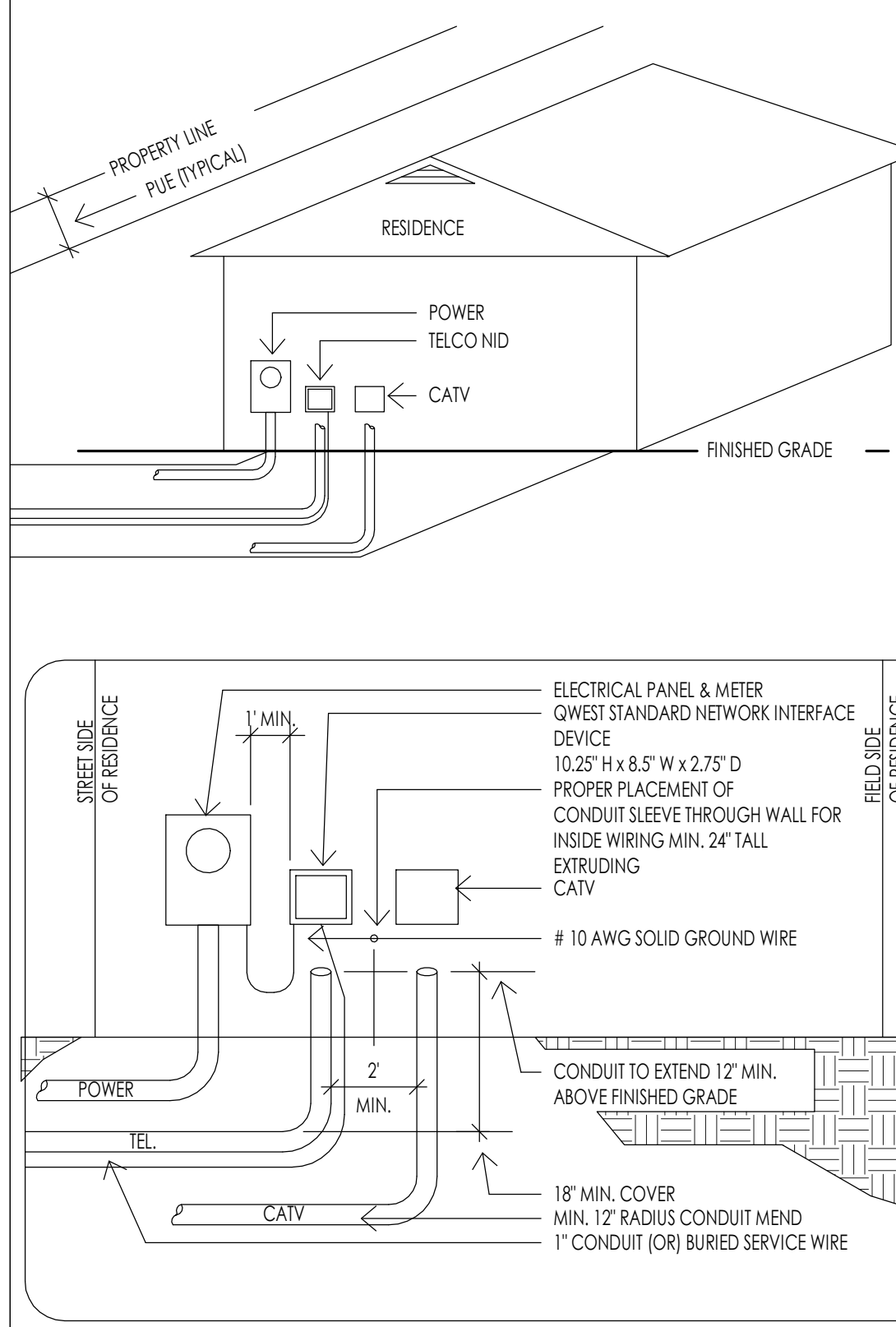
© 2021 THINK ARCHITECTURE, INC.

PERMIT SET



**ELECTRICAL GENERAL NOTES**


- ALL WORK DONE BY ELECTRICAL CONTRACTOR SHALL COMPLY WITH THE CURRENT ADOPTED EDITION OF THE NATIONAL ELECTRICAL CODE AND ALL LOCAL CODE REGULATIONS AND AMENDMENTS. THE CONTRACTOR SHALL PERFORM ALL WORK IN CONFORMANCE WITH THESE REGULATIONS WHETHER OR NOT SUCH WORK IS SPECIFICALLY SHOWN ON THE DRAWINGS.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO FURNISH AND INSTALL FEEDERS, PANELS, BOARDS, RELAY BRANCH CIRCUIT WIRING, CONDUITS, WIRE, METER BASES, COMPLETE WIRING FOR MOTORS, EXHAUST FANS, LINE VOLTAGE CONNECTIONS FOR HVAC EQUIPMENT, SPECIALTY LIGHTING, FIXTURES, OUTLET BOXES, COVER PLATES, WALL SWITCHES, FIXTURES, RECEPTACLES, ETC.
- ALL DRAWINGS INDICATE LOCATIONS AS DIAGRAMMATIC. LOCATIONS SHALL BE PER APPROPRIATE CODES AND OWNER. CONTRACTOR TO COORDINATE WITH MECHANICAL CONTRACTOR FOR ALL POWER REQUIREMENTS.  
  
THE CONTRACTOR SHALL SET ALL THE BOXES AND NOTIFY THE ARCHITECT AND OWNER OF PLACEMENT OF BOXES. THE ARCHITECT, OWNER AND INTERIOR DESIGNER SHALL WALK THE HOUSE WITH THE ELECTRICAL CONTRACTOR AND SHALL VERIFY ALL THE LOCATIONS. THIS SHALL BE DONE PRIOR TO ANY WIRE BEING PULLED.  
  
IF WIRE IS PULLED, AND BOXES ARE REQUIRED TO BE MOVED, ALL COSTS SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR AND NOT THE OWNER'S DESIGN TEAM.
- ELECTRICAL SERVICE CAPACITY AND SIZE SHALL BE COMPUTED BY METHOD INDICATED IN THE NATIONAL ELECTRICAL CODE. PANELS OR CABINETS INCLUDING FUSES, CIRCUIT BREAKERS, SWITCHES OR OTHER ELECTRICAL SERVICE EQUIPMENT SHALL BE IN AN INCONSPICUOUS, ACCESSIBLE AND PROTECTED LOCATION. ELECTRICAL PANEL CLEARANCE TO BE MINIMUM 30" WIDTH AND 6" HEAD ROOM. ELECTRICAL TO COMPLY WITH N.E.C. 110.16. ELECTRICAL METER BASE SHALL BE LOCATED IN AN AREA THAT IS PROTECTED FROM OUTSIDE WEATHER.
- ALL RECEPTACLES LOCATED WITH THE FOLLOWING CONDITIONS TO BE GFCI PROTECTED: ALL KITCHEN COUNTERS, IN BATHROOMS, OUTSIDE AT GRADE LEVEL, UNFINISHED BASEMENTS, AND IN GARAGES. GARAGE RECEPTACLES TO BE 18" ABOVE FINISHED FLOOR.
- ALL SWITCHES, RECEPTACLES, TELEPHONE JACKS AND CATV JACKS TO BE "LEVITON" 5601 ROCKER SERIES IN WHITE. DIMMER SWITCHES TO BE "LUTRON" DIMVA ROCKER SERIES IN WHITE. HEIGHT OF LIGHT SWITCHES FROM FINISHED FLOOR TO TOP OF SWITCH TO BE 48" TYPICAL UNLESS NOTED. OTHERWISE, THE MOUNTING FROM THE FINISH FLOOR TO THE CENTER OF OUTLETS INCLUDING TELEPHONE, CATV, ETC. SHALL BE 12" TYPICAL. AT DESKS AND OTHER SURFACES THE OUTLETS SHALL BE 10" TO CENTERLINE ABOVE SURFACE. SWITCHES, OUTLETS, TELEPHONE, CATV, ETC. LOCATIONS SHALL BE APPROVED PRIOR TO COMMENCEMENT OF WIRING.
- UNLESS NOTED OTHERWISE LOCATE AND INSTALL ONE (1) GFCI WEATHER PROTECTED RECEPTACLE AT GRADE LEVEL AND OUTSIDE AT SOFFIT AT EACH EXTERIOR DOOR WHETHER INDICATED ON DRAWINGS OR NOT. PLEASE REFER TO THE ELECTRICAL DRAWINGS FOR ADDITIONAL OUTLETS AT SOFFITS.
- ALL FIXTURES SHALL HAVE A U.L. LABEL LISTING. IF NOT U.L. LISTED FIXTURE SHALL NOT BE USED. ALL RECESS DOWN LIGHTS TO BE THERMAL RATED, AND ALL CAST IN PLACE FIXTURES TO BE INCLUDED IN BASE BID. ALL RECESS DOWN LIGHTS TO BE INCLUDED IN BASE BID WITH TRIM RINGS AS SELECTED BY DESIGNER OR OWNER. ALL LIGHTS IN CLOSETS SHALL MEET N.E.C. 410.8 REQUIREMENTS. ALL LIGHTS LOCATED IN WET OR DAMP LOCATIONS SHALL MEET N.E.C. 410.4 REQUIREMENTS.
- SMOKE DETECTORS TO BE HARD WIRED TO BUILDING CIRCUIT WITH BATTERY BACK UP. PROVIDE SMOKE DETECTORS AT ALL BUILDING LEVELS, IN ALL BEDROOMS, ACCESS TO ALL BEDROOMS, ETC. (UBC 310.9)
- ELECTRICAL PANEL (PANELBOARD/SWITCHBOARD) MAY NOT BE LOCATED BEHIND A DOOR OR IN A ROOM THAT MAY BE LOCKED AND MUST HAVE PROPER WORKING CLEARANCES. PLEASE REFER TO THE ELECTRICAL DRAWINGS FOR THE LOCATIONS FOR ALL ELECTRICAL PANELS. IF THE PANEL BOARD NEEDS TO BE RELOCATED, PLEASE CONSULT THE OWNER AND OR ARCHITECT PRIOR TO MOVING.
- SMALL WALL SECTIONS 2' OR WIDER (INCLUDES BETWEEN DOORS) REQUIRE AN OUTLET.
- GFCI PROTECTION MUST BE PROVIDED FOR ANY RECEPTACLE OUTLET IN THE FOLLOWING: A BATHROOM, ANY COUNTERTOP KITCHEN/LAUNDRY, GARAGE OUTLETS MINIMUM 18" ABOVE FINISHED FLOOR HEIGHT, OUTSIDE FRONT AND REAR OUTLETS MUST HAVE WATERPROOF COVERPLATE.
- A RECEPTACLE OUTLET MUST BE PROVIDED AT EACH SECTION OF KITCHEN COUNTERTOP 12' OR WIDER. THERE MUST ALSO BE A MINIMUM OF TWO (2) DEDICATED COUNTERTOP CIRCUITS.
- A SWITCH CONTROLLED LIGHT MUST BE PROVIDED AT HALLWAYS, STAIRWAYS, EXITS, AND EACH ROOM.
- A HARD-WIRED WITH BATTERY BACKUP SMOKE DETECTOR MUST BE INSTALLED IN ALL BEDROOMS (NEW AND EXISTING) IN THE ACCESS AREA TO ALL BEDROOMS, AND AT LEAST ONE PER FLOOR. TWO (2) FOOT CHANGES IN CEILING HEIGHT ALSO REQUIRE AN ADDITIONAL SMOKE DETECTOR. ALARM SOUND MUST BE AUDIBLE IN ALL AREAS OF HOME.
- WHEN BEDROOMS OCCUR ON 2ND STORES, THE DETECTOR SHOULD BE LOCATED AT THE TOP OF THE STAIRWAY.
- KITCHEN OUTLETS REQUIRED TO BE GFCI PROTECTED, NOT MORE THAN 4'-0" APART.
- CLOSET LIGHT FIXTURES MIN. 12" CLEARANCE TO SHELF (LATERAL MEASURED)



**TYPICAL DRY UTILITY LOCATION DETAIL**  
1/2" = 1'-0"

1  
E101

**HL36SA**



**Ordering Information**

**SAMPLE ORDER NUMBERS:** HL36SA2P927001CAT, TR45FL40, TL353M4W

**Series:**  
HL36SA = 3-inch square shallow new construction directional housing

**Options:**  
10 = 10W (nominal)  
15 = 15W (nominal)  
20 = 20W (nominal)

**Accessories:**  
[blank] = Purchase optic separately  
SP = 1" beam  
RFL = 2" beam  
FL = 4" beam  
WFL = 5" beam

**Light Output:**  
927 = 90 CRI, 2700K  
102 = 90 CRI, 3000K  
935 = 90 CRI, 3500K  
840 = 90 CRI, 4000K  
820W = 90 CRI, 3000K CCT, dim to warm\*\*

**Input/Output:**  
LED010 = 0-10V, 120-277V, 50/60Hz leading or trailing edge phase out 1% dimming at 120V only and 0-10V  
120-277V 50/60Hz 0-10V 1% dimming  
RELE = 4-wire 0-10V Leading Phase Dimming, 1% to 100%, 120V Only  
LED10 = 0-10V Dimming, 0% to 100%, 120V/277V

**Housing Type:**  
ICAT = insulation contact and airtight


**Accessories:**  
BASE = recess adapter for HL36SA housings and trims  
CESS = color extender for HL36SA housings, adjusts from 7/8" to 1-1/4" thick ceilings  
OPTIC & MEDIA  
TR45FL40 = 4" beam  
TR45FL20 = 2" beam  
TR45FL10 = 1" beam  
TR45FL05 = .5" beam  
TR45FL02.5 = .25" beam and filters, see spec sheet  
Optimized Trim Ring  
OVL36M = concealed trim ring for TL3 trims

See page 19 for trim information.  
\*1% dimming available in 0-10V and 0-10V


**L-1 RECESSED EXTERIOR SOFFIT LIGHT**

RI MODERN SKI HOUSE BEACH HOUSE BABY & CHILD TEEN 3D INTERIOR DESIGN GALLERIES
SHOP ROOMS SIGN IN CART 2

LIVING DINING BED BATH LIGHTING TEXTILES RUGS
WINDOWS HARDWARE DECOR ART OUTDOOR SALE



Shown in Black.




**CHAMPEAUX LINEAR SCONCE**

Starting at \$275. Member \$292. Member


Designer Jonathan Browning's Champeaux collection brings refinement and luxe materials to the classic can light, a standard of 1970s utility crafted in solid brass. Browning's thoughtful reinterpretation gave beyond function to reveal the can as a thing of beauty. The design maintains the clean lines inherent in the concept, but sets the form in a new context.

[SHOP THE ENTIRE COLLECTION >](#)


**FINISH OPTIONS**



Polished Chrome



Lacquered Burnished Brass



Bronze

**DETAILS**

**DIMENSIONS**

**INSTALLATION INSTRUCTIONS**

**MAXIMUM OF 2,700K COLOR TEMPERATURE  
MAXIMUM OF 700 LUMENS  
CAP TOP DOWNLIGHT ONLY**

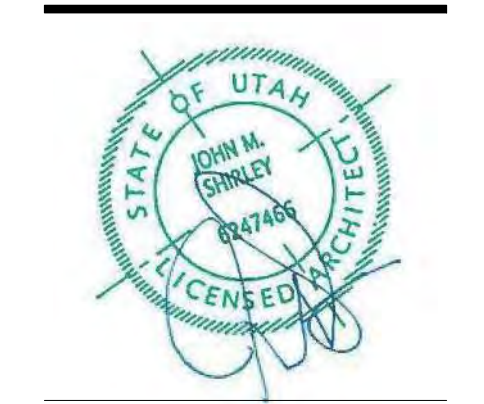
CHAT WITH A D&W MEMBER TO HELP

**L-2 DECORATIVE EXTERIOR WALL SCONCE**



The designs shown and described herein including all technical drawings, graphic representation & models thereof, are proprietary & can not be copied, duplicated, or commercially exploited in whole or in part without the sole and express written permission from THINK Architecture, Inc.

These drawings are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors, and office personnel only in accordance with this notice.



**WARM SPRINGS RESIDENCE #33**

170 BALD MOUNTAIN ROAD  
KETCHUM, IDAHO 83340

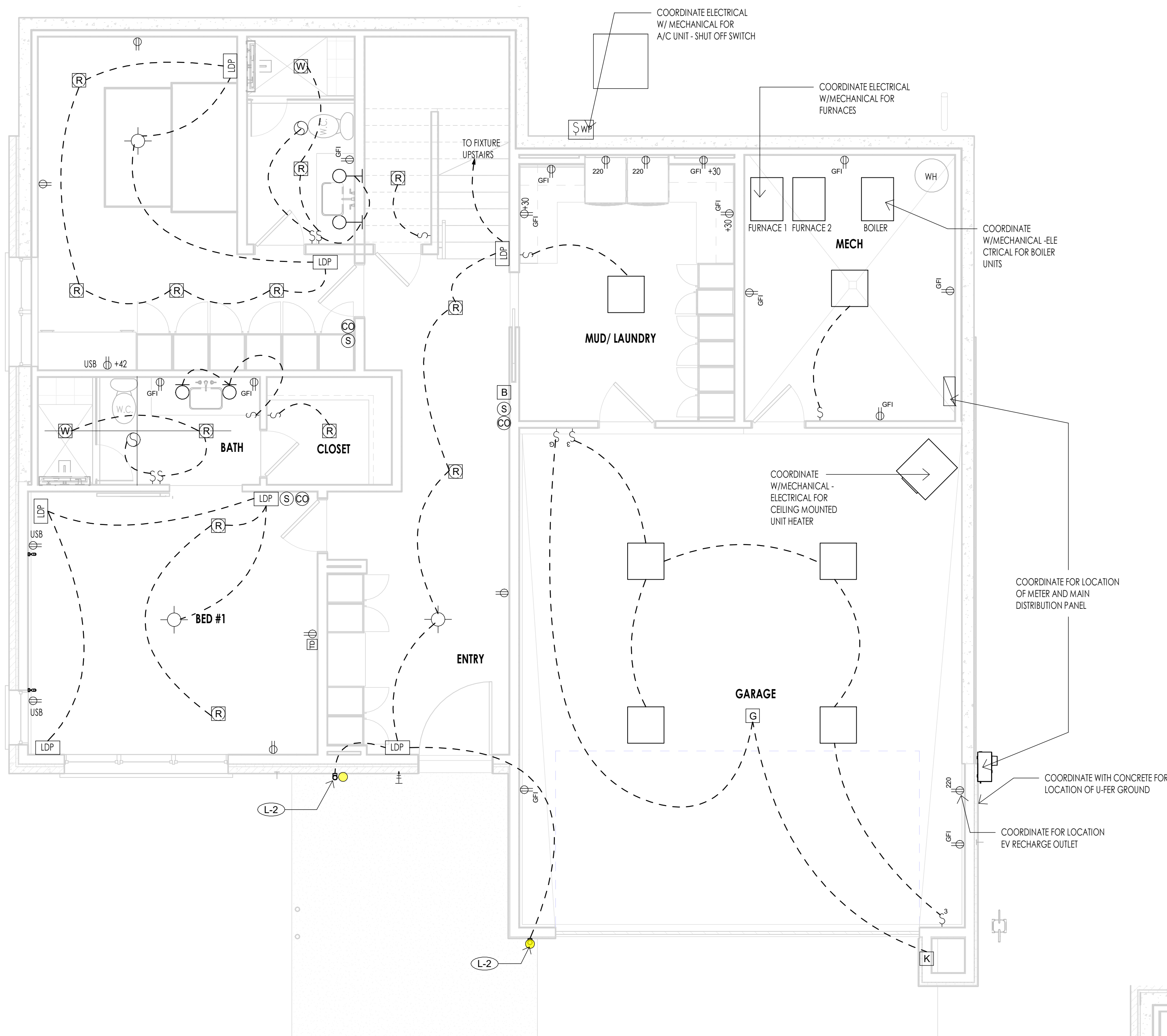
PROJECT NC22023.33  
DATE: 2023.11.06  
REVISIONS:

SHEET TITLE:  
**ELECTRICAL GENERAL NOTES**

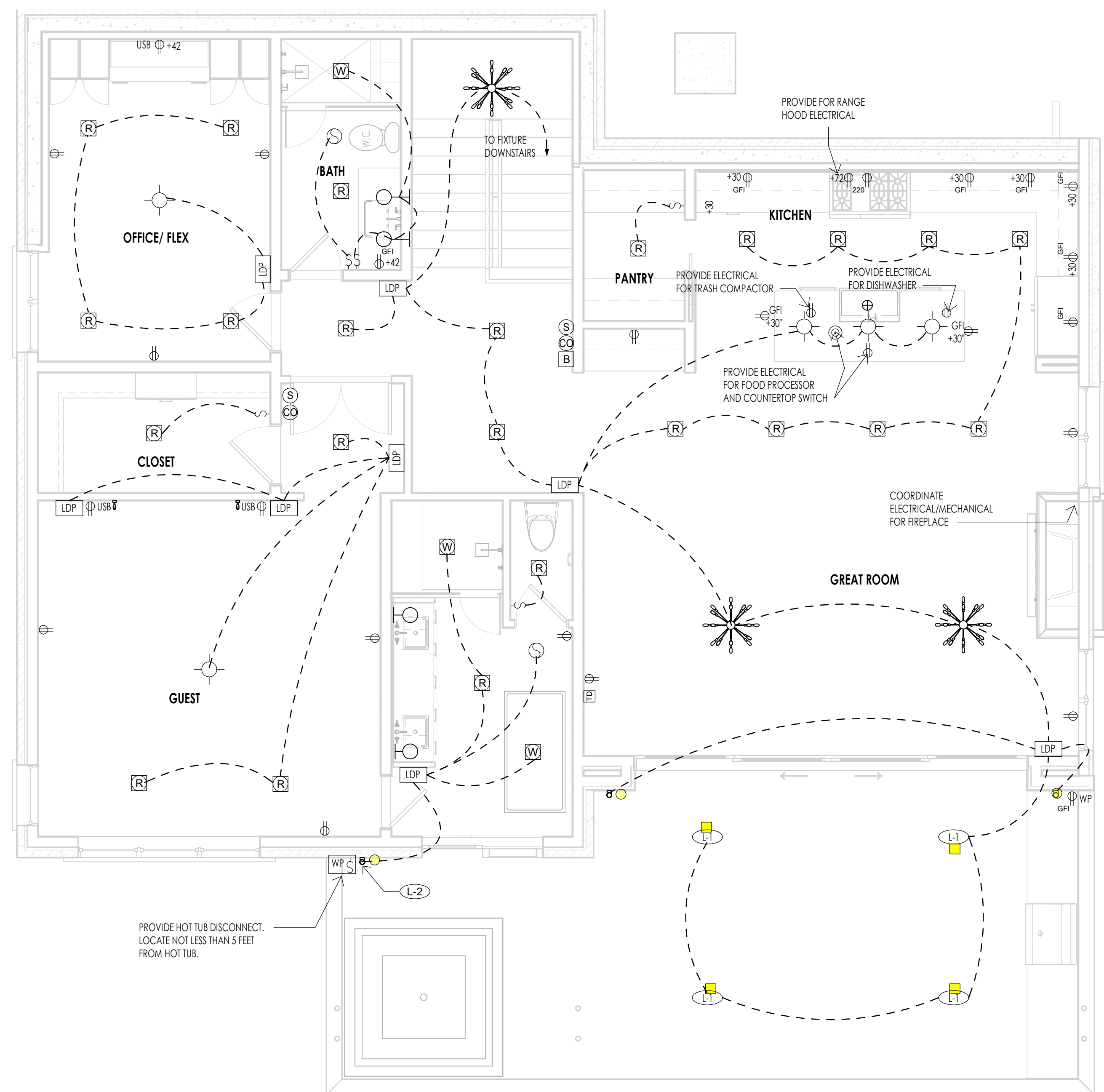
SHEET NUMBER:  
**E101**

© 2021 THINK ARCHITECTURE INC.

PERMIT SET



LEVEL 1 - ELECTRICAL  
1/4" = 1'-0"



LEVEL 2 - ELECTRICAL  
1/4" = 1'-0"

ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION
S	SINGLE POLE TOGGLE SWITCH
S <sup>3</sup>	THREE WAY TOGGLE SWITCH
S <sup>4</sup>	FOUR WAY TOGGLE SWITCH
S <sup>G</sup>	GARAGE DOOR OPENER
S <sup>D</sup>	DIMMER TOGGLE SWITCH
Ⓛ	110 V DUPLEX OUTLET ON AN (AFP) ARC FAULT PROTECTED CIRCUIT
Ⓛ <sup>GFI</sup>	110 V GROUND FAULT INTERRUPTER
Ⓛ <sup>WP</sup>	110 V WATERPROOF GFI OUTLET
Ⓛ <sup>220</sup>	220 V OUTLET
Ⓛ <sup>4</sup>	QUADRUPLUX OUTLET
Ⓛ <sup>FD</sup>	110 V FLOOR DUPLEX OUTLET
Ⓛ <sup>S</sup>	110 V SMOKE DETECTOR W/BATT BACK-UP
Ⓛ <sup>CD</sup>	CARBON MONOXIDE DETECTOR
Ⓛ <sup>E</sup>	EXHAUST FAN
Ⓛ <sup>EL</sup>	EXHAUST FAN WITH LIGHT FIXTURE
Ⓛ <sup>R</sup>	4" LED RECESSED CAN (FIXTURE & TRIM PER SCHEDULE)
Ⓛ <sup>C</sup>	4" LED RECESSED CAN (CLOSET FIXTURE & TRIM PER SCHEDULE)
Ⓛ <sup>W</sup>	RECESSED CAN (WET LOCATION-FIXTURE & TRIM PER SCHEDULE)
Ⓛ <sup>CM</sup>	CEILING MOUNT FIXTURE
Ⓛ <sup>TL</sup>	TRACK LIGHTING
Ⓛ <sup>WM</sup>	WALL MOUNT FIXTURE
Ⓛ <sup>2X2</sup>	2X2 OR 2X4 FLUORESCENT CEILING FIXTURE
Ⓛ <sup>FL</sup>	FLUORESCENT STRIP LIGHT
Ⓛ <sup>UL</sup>	LED UNDERCOUNTER LIGHTING
Ⓛ <sup>G</sup>	GARAGE DOOR OPENER
Ⓛ <sup>K</sup>	KEYLESS ENTRY
Ⓛ <sup>B</sup>	DOORBELL
Ⓛ <sup>T</sup>	TELEPHONE (CAT SE WIRING) SINGLE LINE UNLESS NOTED (NUMBER) DESIGNATES PORT OUTLETS REQUIRED
Ⓛ <sup>MN</sup>	MULTI-MEDIA NETWORK OUTLET (CAT SE WIRE) W/4 PORT OUTLET
Ⓛ <sup>SW</sup>	STRUCTURED WIRING (FUTURE SMART WIRING) (E) (2) RG6 QUAD SHIELD, (3) CAT 6E WIRE - FOR CABLE TV, VIDEO, SATELLITE, ETC. (4) PORT OUTLET
Ⓛ <sup>GD</sup>	GARBAGE DISPOSAL
Ⓛ <sup>LV</sup>	LOW VOLTAGE RECESSED CAN
Ⓛ <sup>L1</sup>	RECESSED EXTERIOR SOFFIT LIGHT - SEE SPECS ON SHEET E101
Ⓛ <sup>L2</sup>	DECORATIVE EXTERIOR WALL SCENE - SEE SPECS ON SHEET E101
Ⓛ <sup>L3</sup>	MOTOR COURT EXTERIOR LIGHTING - SEE SPECS ON SHEET E101
Ⓛ <sup>LDP</sup>	LIGHTING DIGITAL PAD
Ⓛ <sup>DB</sup>	DOOR BELL SWITCH
Ⓛ <sup>WBL</sup>	WALL MOUNTED BED LIGHT

- ELECTRICAL GENERAL NOTES**
- SEE SPECS FOR ELECTRICAL INFORMATION.
  - ELECTRICAL LAYOUTS ARE SHOWN IN SCHEMATIC. THE CONTRACTOR IS RESPONSIBLE TO COORDINATE THE LAYOUT AND INSTALLATION OF ALL RELATED ITEMS WITH EXISTING CONDITIONS AND RELATED TRADES.
  - COORDINATE WITH OWNER, INTERIOR DESIGNER AND/OR PLANS FOR FIXTURE SCHEDULES, STYLES, FINISHES, ETC.
  - ALL WORK TO COMPLY WITH 2014 N.E.C. CODES AND 2015 I.R.C. CODES.
  - CENTER OF ALL OUTLETS TO BE 18" ABOVE FINISH FLOOR UNLESS NOTED OTHERWISE. CENTER OF OUTLETS OVER CABINETS, VANITIES, ETC. TO BE 12" ABOVE FINISH COUNTER HEIGHT UNLESS NOTED OTHERWISE.
  - CONTRACTOR TO FIELD VERIFY LOCATION OF ALL ELECTRICAL FIXTURES, SWITCHES, ETC. WITH OWNER AND DESIGNER PRIOR TO WIRING.
  - PROVIDE SLOPED RECESSED CANS FOR SLOPED CEILING APPLICATIONS & THERMAL PROTECTION CANS WHERE IN CONTACT WITH INSULATION AS REQUIRED.
  - CONTRACTOR TO PROVIDE ELECTRICAL SERVICE TO MECHANICAL EQUIPMENT AS REQUIRED.
  - ALL BRANCH CIRCUITS BE PROTECTED BY AN ARCH-FAULT CIRCUIT INTERRUPTER LISTED TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT.
  - PROVIDE A U-FER GROUND. AN ELECTRODE ENCASED BY AT LEAST 2" OF CONCRETE SHALL BE LOCATED NEAR THE BOTTOM OF THE CONCRETE FOUNDATION SYSTEM. AND SHALL BE IN DIRECT CONTACT WITH THE EARTH, CONSISTING OF AT LEAST 20 FEET OF BARE ELECTRICALLY CONDUCTIVE ROD AT LEAST 1/2 INCH IN DIAMETER OR BARE COPPER CONDUCTOR NOT SMALLER THAN 4 AWG. (I.R.C. E358B.1.2 AND N.E.C. 250.30)
  - THE CONTRACTOR SHALL VERIFY OUTLET LOCATIONS AND VOLTAGE REQUIREMENTS AS PER APPLIANCE SPECIFICATIONS.
  - STRUCTURED WIRE MEDIA PANEL TO BE "TELEVISION" (O.A.E.) AND INCLUDE: A/C POWER MODULE, CAT 5 VOICE AND DATA MODULES, 10/100 Mbps SATA HUB, CATV BOOSTER AND AUDIO / VIDEO CONTROL MODULES.
  - SMOKE AND/OR CARBON MONOXIDE DETECTORS ARE TO BE HARD WIRED TOGETHER IN SERIES WITH BATTERY BACKUP AS PER CODE REQUIREMENTS. COMBINATION UNITS ARE PERMITTED AS APPROVED.
  - ALL EXTERIOR ELECTRICAL OUTLETS TO HAVE WEATHERPROOF COVERS.
  - ALL 125V 15 AND 20 AMP RECEPTACLES WITHIN DWELLING UNITS MUST BE TAMPER PROOF.

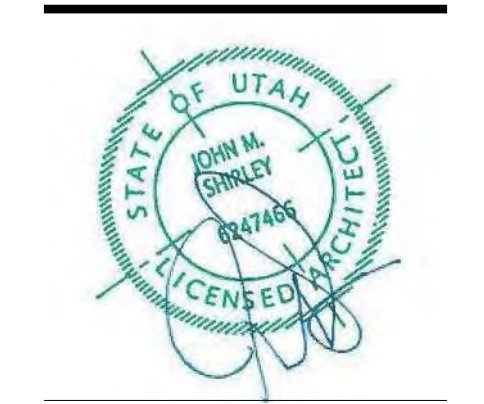


Architecture  
Interior Design  
Landscape Architecture  
Land Planning  
Construction Management

7927 So. Highpoint Parkway, Suite 300  
Scary, Utah 84094  
ph. 801.269.0555  
fax 801.269.1425  
www.thinkaec.com

The designs shown and described herein including all technical drawings, graphic representation & models thereof, are proprietary & can not be copied, duplicated, or commercially reproduced in whole or in part without the sole and express written permission from THINK Architecture, Inc.

These drawings are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors, and office personnel only in accordance with this notice.



WARM SPRINGS RESIDENCE #33

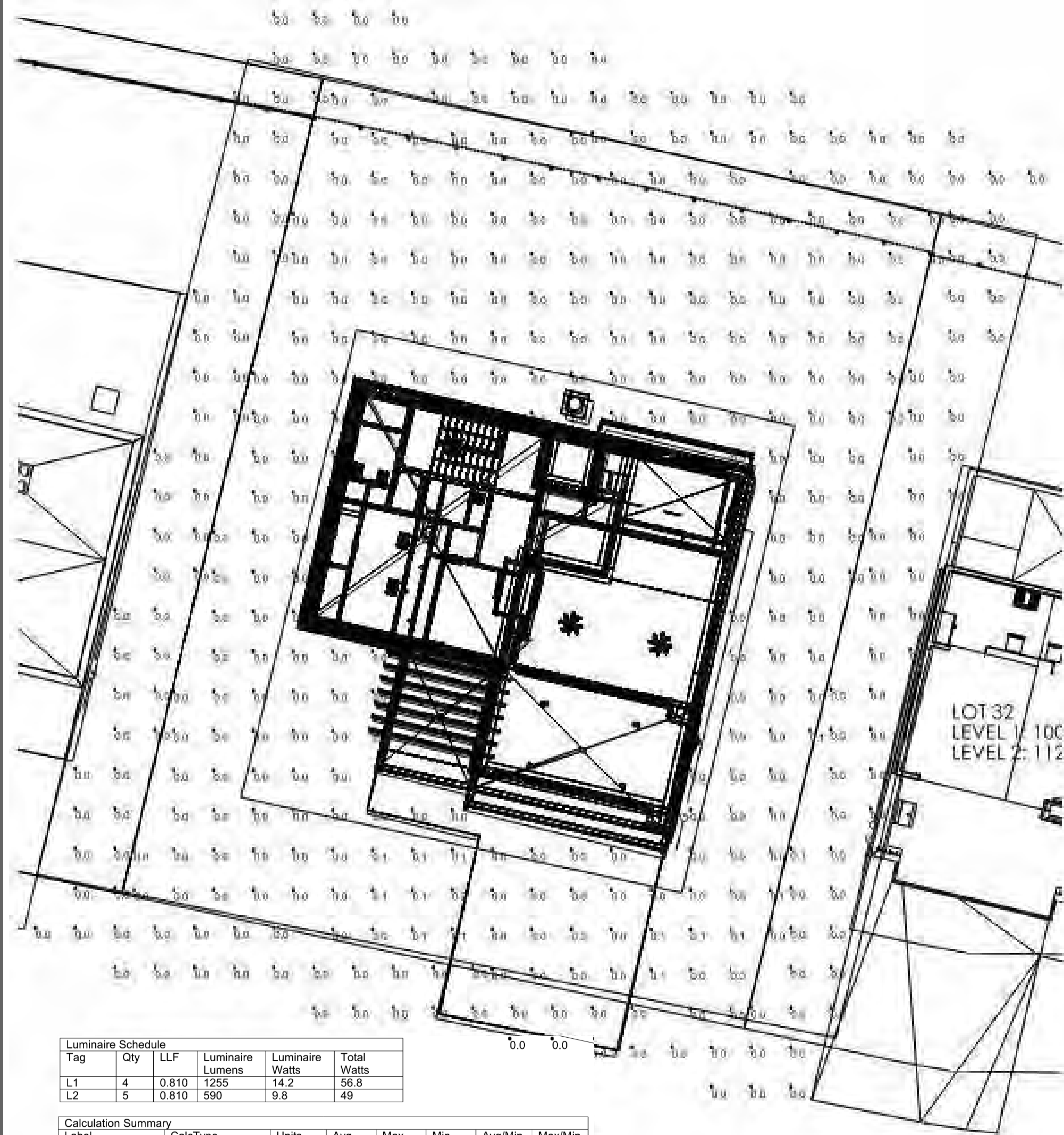
170 BALD MOUNTAIN ROAD  
KETCHUM, IDAHO 83340

PROJECT NC22023.33  
DATE: 2023.11.06  
REVISIONS:

SHEET TITLE:  
ELECTRICAL PLANS

SHEET NUMBER:  
E102

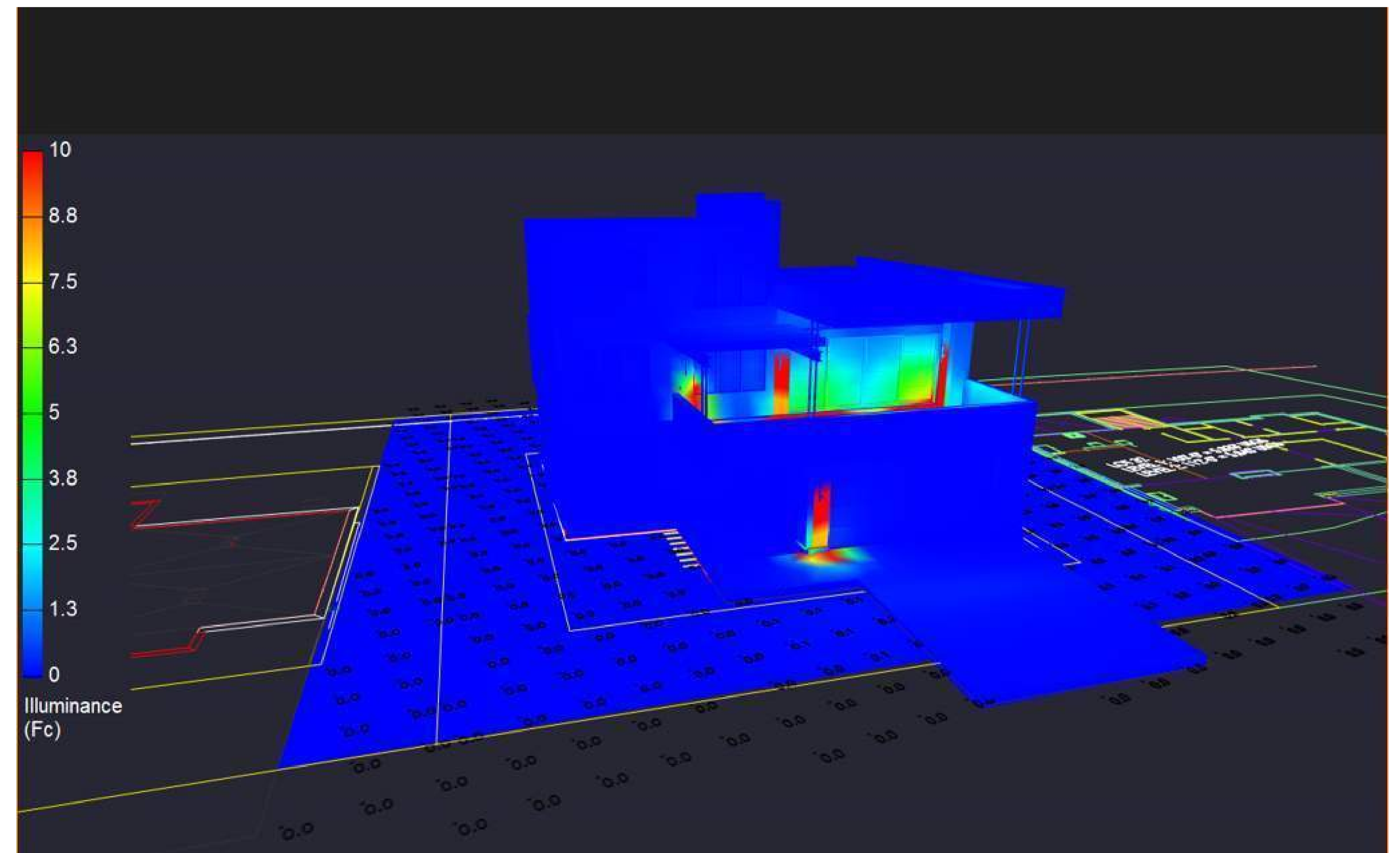
© 2021 THINK ARCHITECTURE INC.



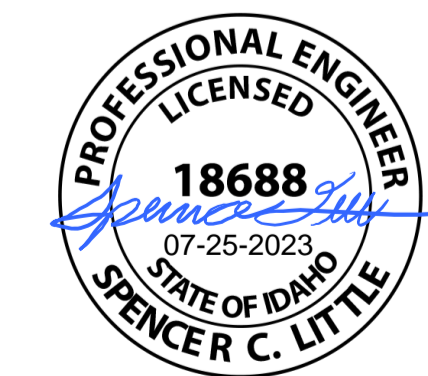
Luminaire Schedule					
Tag	Qty	LLF	Luminaire Lumens	Luminaire Watts	Total Watts
L1	4	0.810	1255	14.2	56.8
L2	5	0.810	590	9.8	49

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PROPERTY	Illuminance	Fc	0.01	0.2	0.0	N.A.	N.A.
TRESPASS	Illuminance	Fc	0.00	0.1	0.0	N.A.	N.A.

POINT-BY-POINT CALCULATION AND SUMMARIES  
(5 FOOT GRID)



PSEUDO RENDERING WITH ILLUMINANCE SCALE



WARM SPRING RESIDENCES  
KETCHUM, ID

---

LOT 33 CALCULATIONS AND  
RENDERINGS

**SPECTRUM**  
ENGINEERS



WOOD SIDING

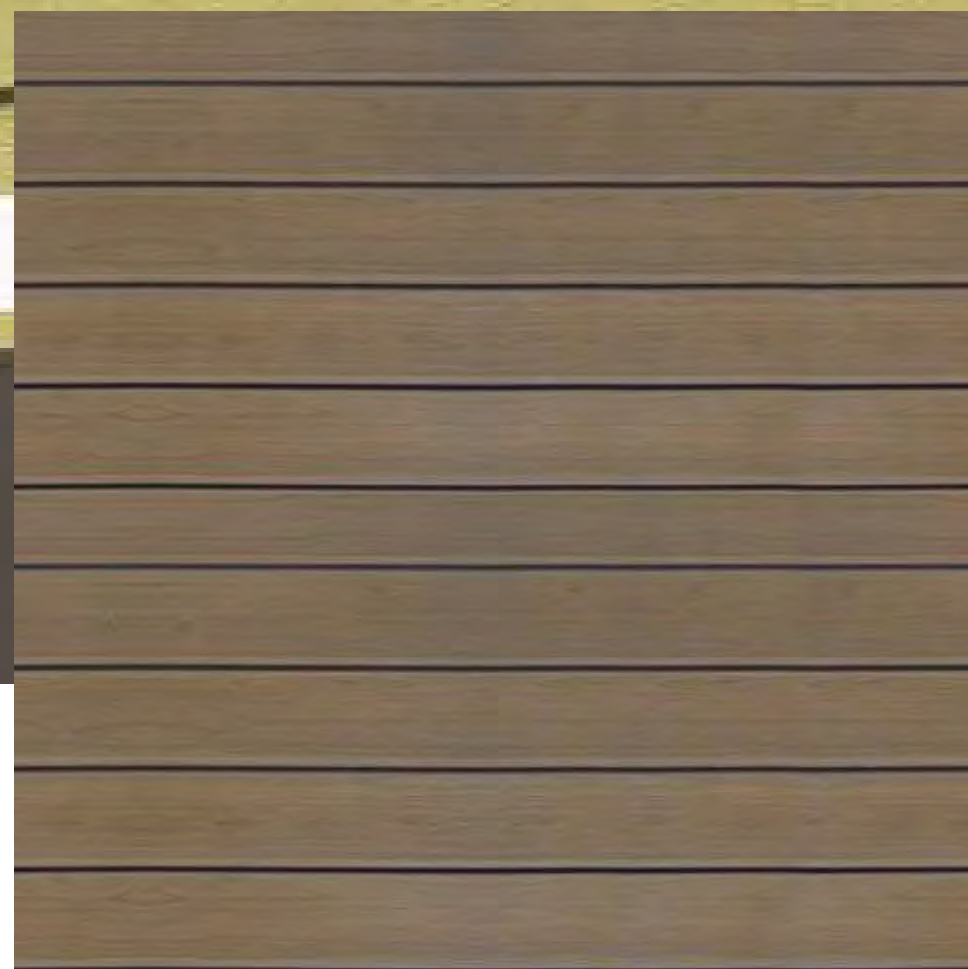
STONE VENEER

METAL SIDING

GARAGE DOOR TO MATCH SIDING



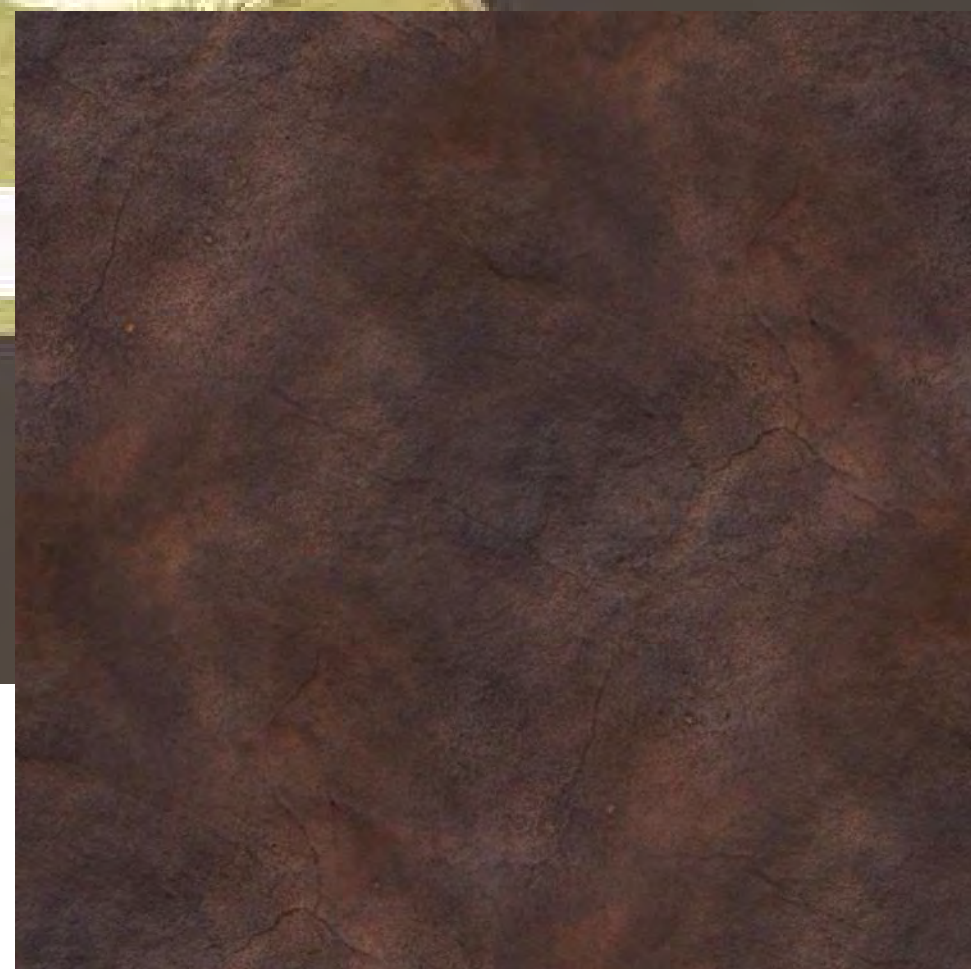
**THINSET MASONRY:**  
MOUNTAIN VALLEY SANDSTONE WITH OVER GROUTING



**HORIZONTAL SHIP LAP CEDAR SIDING:**  
PRESTAINED CEDAR SIDING



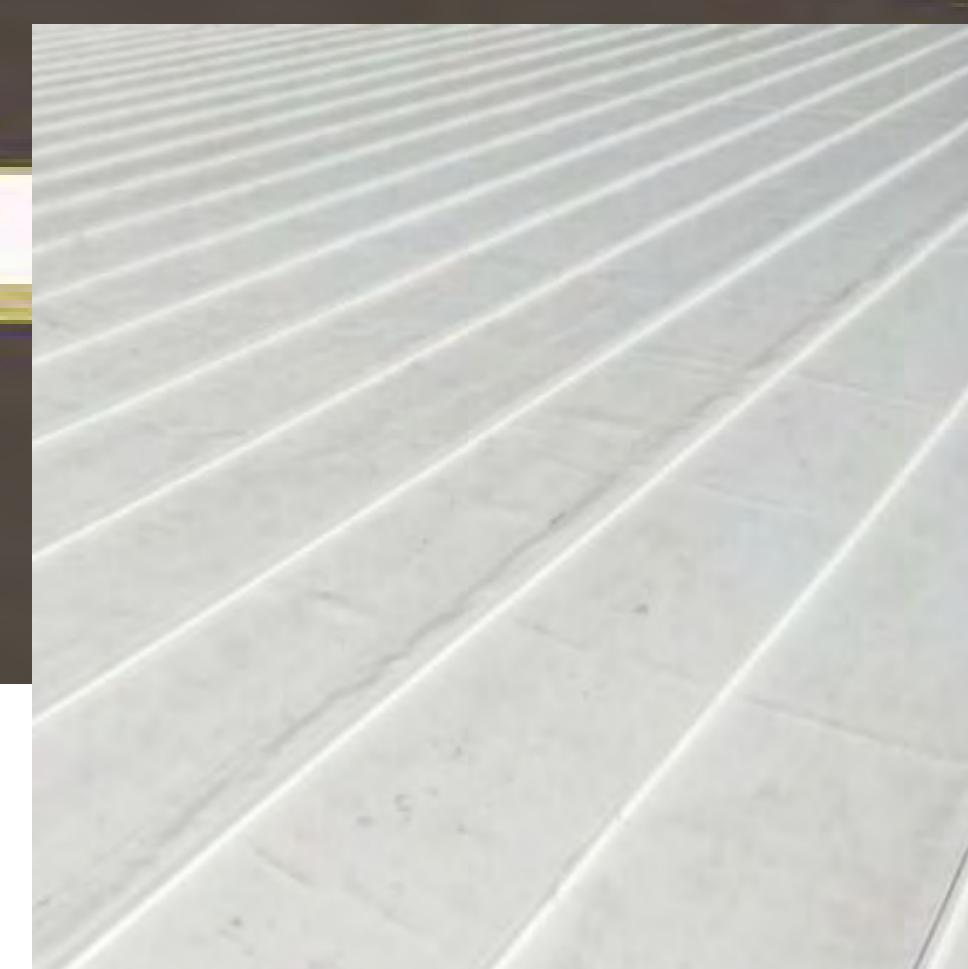
**VERTICAL SHIP LAP CEDAR SIDING:**  
PRESTAINED CEDAR SIDING



**METAL SIDING AT CHIMNEY:**  
STEEL TRIM  
COLOR: AGED STEEL, LIGHT RUST FINISH



**WINDOWS:**  
ALUMINUM CLAD WOOD WINDOWS  
COLOR: DARK BRONZE



**TPO WITH GRAVEL BALLAST:**  
ROOFING MEMBRANE



**GRAVEL BALLAST OVER MEMBRANE:**  
3/4" SMOOTH GRAVEL



The designs shown and described herein including all technical drawings, graphic representation & models thereof, are the copyrighted work of Think Architecture, Inc. and cannot be copied, duplicated, or commercially exploited in whole or in part without the sole and express written permission from THINK Architecture, Inc.

# WARM SPRINGS RESIDENCE #33 R1

170 BALD MOUNTAIN ROAD  
KETCHUM, IDAHO 83340

MATERIAL BOARD

D202

2024.02.20



LOT 33

BALD MOUNTAIN ROAD

STREET VIEW FROM BALD MOUNTAIN ROAD LOOKING NORTH

# WARM SPRINGS RESIDENCE #33 R1

170 BALD MOUNTAIN ROAD  
KETCHUM, IDAHO 83340



LOT 33

BALD MOUNTAIN ROAD

STREET VIEW FROM BALD MOUNTAIN ROAD LOOKING NORTH



The designs shown and described herein including all technical drawings, graphic representation & models thereof, are the copyrighted work of Think Architecture, Inc. and cannot be copied, duplicated, or commercially exploited in whole or in part without the sole and express written permission from Think Architecture, Inc.

# WARM SPRINGS RESIDENCE #33 R1

170 BALD MOUNTAIN ROAD  
KETCHUM, IDAHO 83340

EXTERIOR VIEWS

D301

2024.02.20



LOT 33

STREET ADDRESS

BALD MOUNTAIN ROAD VIEW LOOKING NORTH EAST



The designs shown and described herein including all technical drawings, graphic representation & models thereof, are the copyrighted work of Think Architecture, Inc. and cannot be copied, duplicated, or commercially exploited in whole or in part without the sole and express written permission from THINK Architecture, Inc.

## WARM SPRINGS RESIDENCE #33 R1

170 BALD MOUNTAIN ROAD  
KETCHUM, IDAHO 83340

EXTERIOR VIEWS

D302

2024.02.20



LOT 32

LOT 33

PROPOSED LANDSCAPING TO SCREEN ROAD FROM WINDOWS

PERSON FOR SCALE ALONG EDGE OF WARM SPRINGS ROAD

PROPOSED WOOD SLAT FENCE

EXISTING STEEL GAURDRAIL

WARM SPRINGS ROAD LOOKING SOUTH



The designs shown and described herein including all technical drawings, graphic representation & models thereof, are the copyrighted work of Think Architecture, Inc. and cannot be copied, duplicated, or commercially exploited in whole or in part without the sole and express written permission from Think Architecture, Inc.

# WARM SPRINGS RESIDENCE #33 R1

170 BALD MOUNTAIN ROAD  
KETCHUM, IDAHO 83340

EXTERIOR VIEWS

D303

2024.02.20





PROPOSED WOOD SLAT FENCE

PERSON FOR SCALE ALONG  
EDGE OF WARM SPRINGS  
ROAD

EXISTING STEEL GAURDRAIL

LOT 33

WARM SPRINGS ROAD LOOKING SOUTH



The designs shown and described herein including all technical drawings, graphic representation & models thereof, are the copyrighted work of Think Architecture, Inc. and cannot be copied, duplicated, or commercially exploited in whole or in part without the sole and express written permission from THINK Architecture, Inc.

# WARM SPRINGS RESIDENCE #33 R1

170 BALD MOUNTAIN ROAD  
KETCHUM, IDAHO 83340

EXTERIOR VIEWS

## D304

2024.02.20



WARM SPRINGS ROAD

BUS STOP

GRAVEL BALLAST OVER MEMBRANE

LOT 34

LOT 33

LOT 32

BIRDS EYE VIEW LOOKING EAST OVER BALD MOUNTAIN ROAD



The designs shown and described herein including all technical drawings, graphic representation & models thereof, are the copyrighted work of Think Architecture, Inc. and cannot be copied, duplicated, or commercially exploited in whole or in part without the sole and express written permission from THINK Architecture, Inc.

# WARM SPRINGS RESIDENCE #33 R1

170 BALD MOUNTAIN ROAD  
KETCHUM, IDAHO 83340

EXTERIOR VIEWS

D305

2024.02.20



LOT 33

LOT 33

LOT 32

BALD MOUNTAIN ROAD



The designs shown and described herein including all technical drawings, graphic representation & models thereof, are the copyrighted work of Think Architecture, Inc. and cannot be copied, duplicated, or commercially exploited in whole or in part without the sole and express written permission from Think Architecture, Inc.

# WARM SPRINGS RESIDENCE #33 R1

170 BALD MOUNTAIN ROAD  
KETCHUM, IDAHO 83340

EXTERIOR VIEWS

D306

2024.02.20



LOT 32

LOT 33

LOT 34

LOT 35

WARM SPRINGS BUS STOP

VIEW FROM SECOND STORY WINDOW ON NORTH SIDE OF WARM SPRINGS ROAD LOOKING WEST



The designs shown and described herein including all technical drawings, graphic representation & models thereof, are the copyrighted work of Think Architecture, Inc. and cannot be copied, duplicated, or commercially exploited in whole or in part without the sole and express written permission from THINK Architecture, Inc.

# WARM SPRINGS RESIDENCE #33 R1

170 BALD MOUNTAIN ROAD  
KETCHUM, IDAHO 83340

EXTERIOR VIEWS

D307

2024.02.20

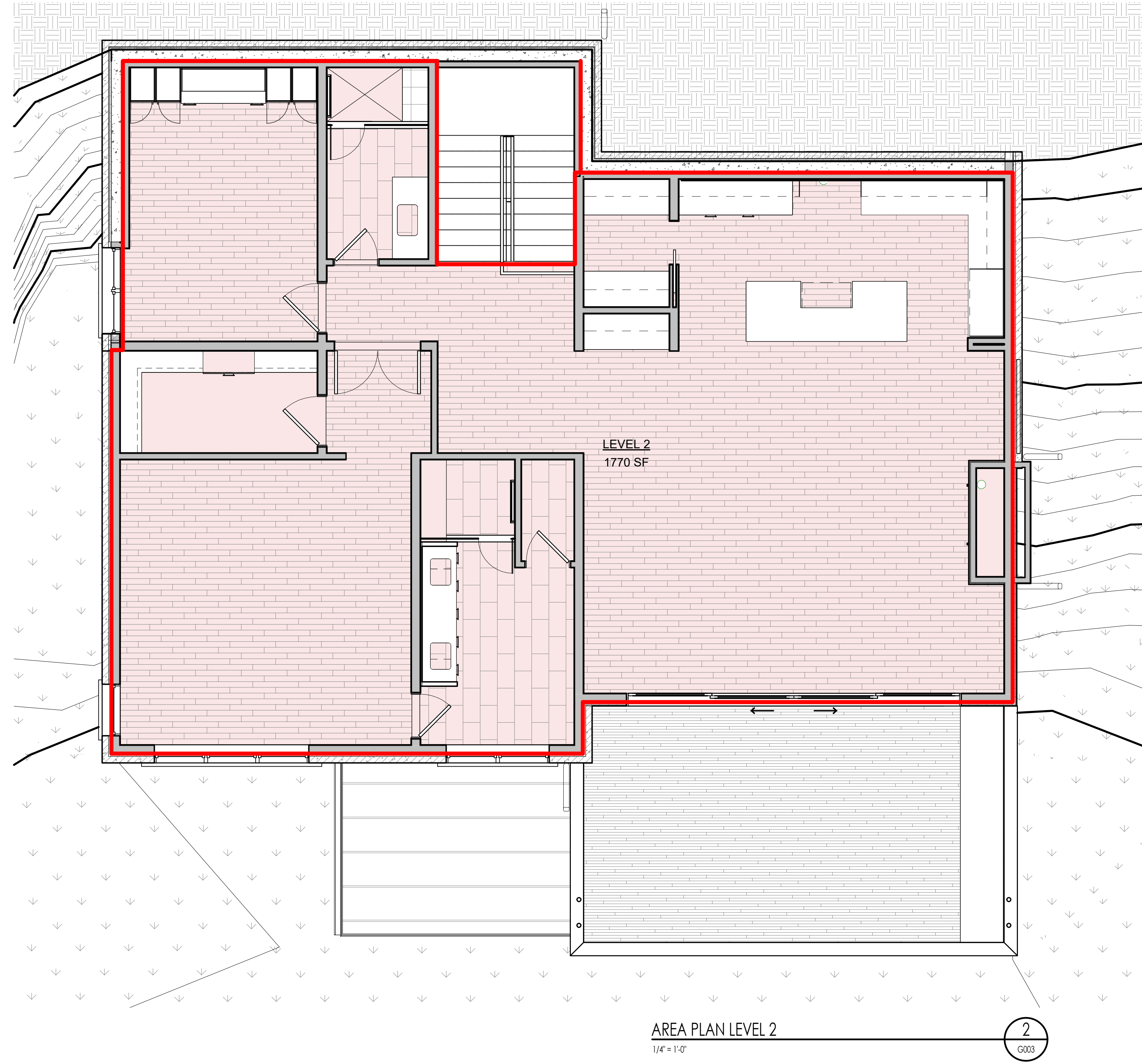
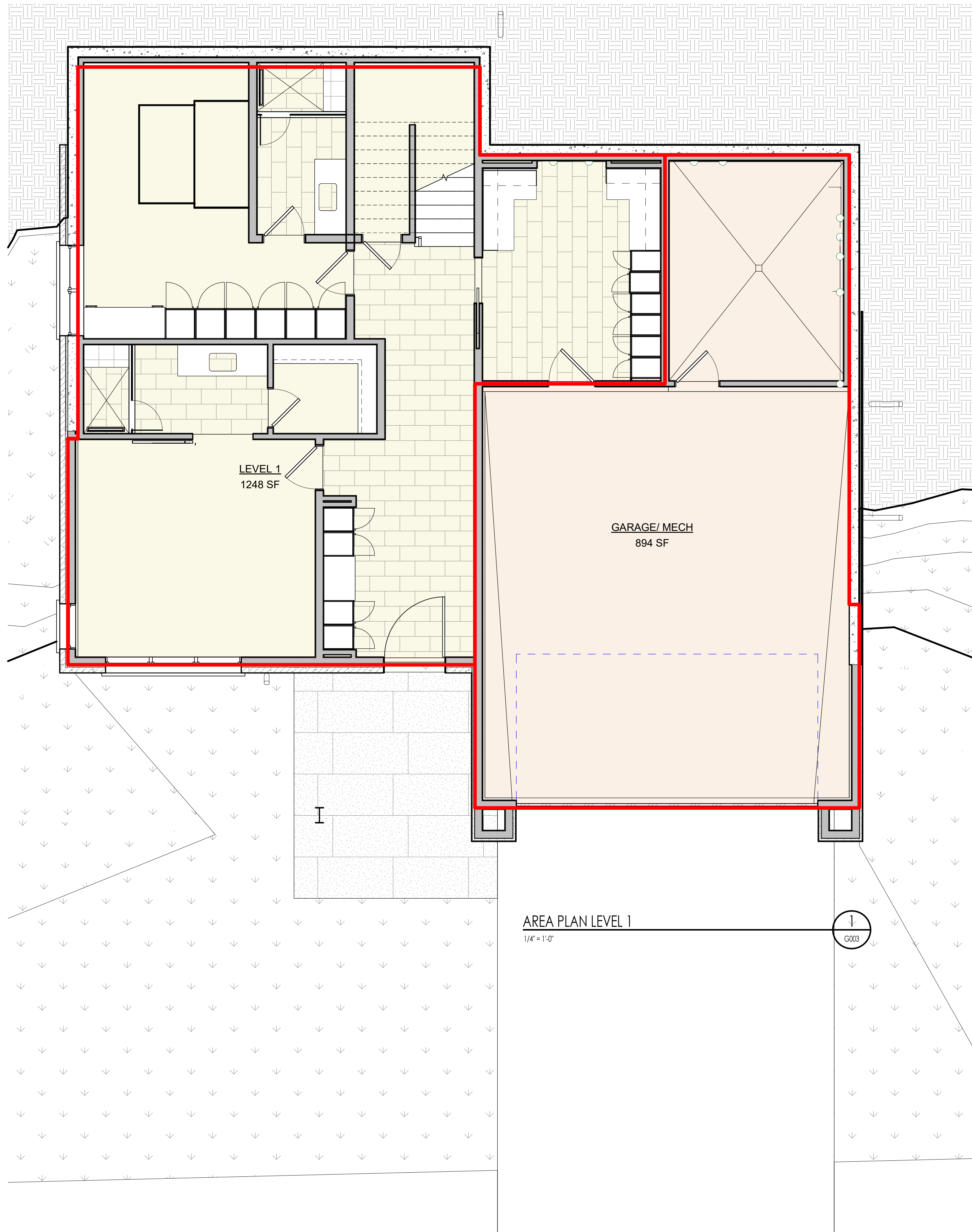


City of Ketchum

Attachment C:  
Lot 33 Redesign #2  
Plan Set







BUILDING AREA - FINISHED	
AREA	FINISHED
LEVEL 1	1248 SF
LEVEL 2	1770 SF
	3018 SF

BUILDING AREA - UNFINISHED	
AREA	UNFINISHED
GARAGE/MECH	894 SF
	894 SF

BUILDING AREA - TOTAL	
TOTAL	
	3912 SF



WARM SPRINGS RESIDENCE #33

1770 BALD MOUNTAIN ROAD  
KETCHUM, IDAHO 83340

PROJECT NC22023.33  
DATE: 2023.12.27

REVISIONS:

SHEET TITLE:  
BUILDING AREA  
ANALYSIS

SHEET NUMBER:  
G003

© 2021 THINK ARCHITECTURE, INC.



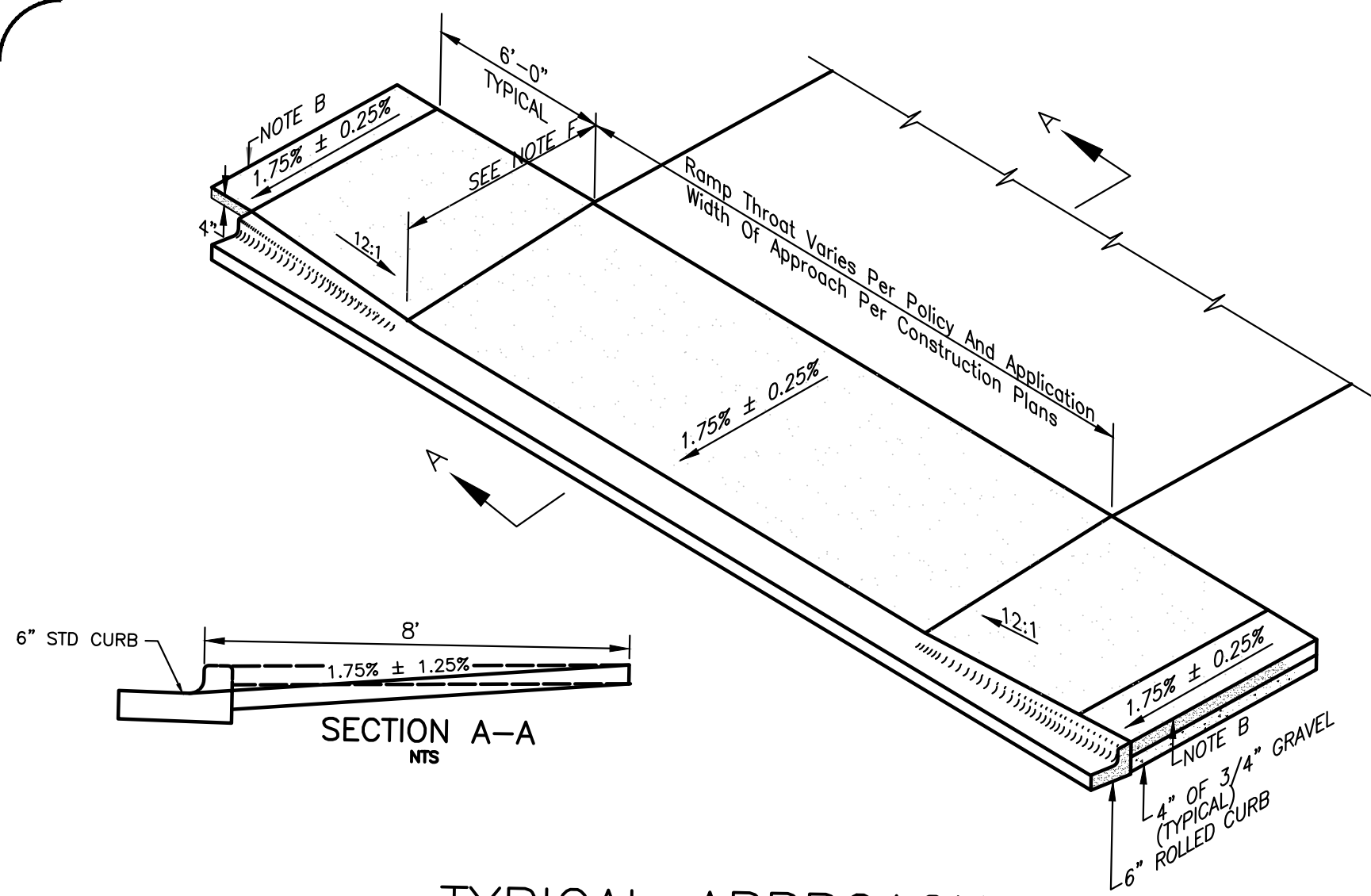








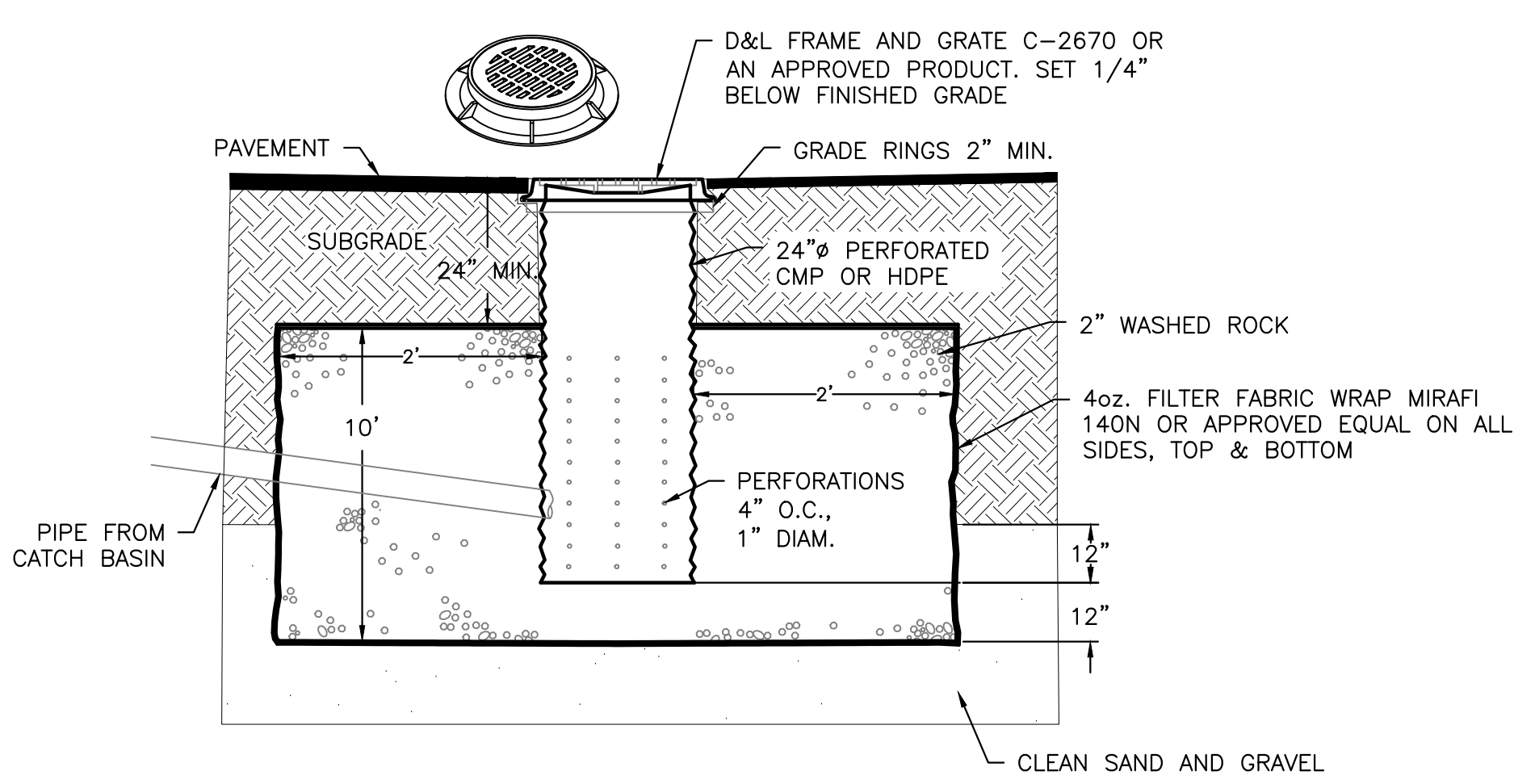




TYPICAL APPROACH

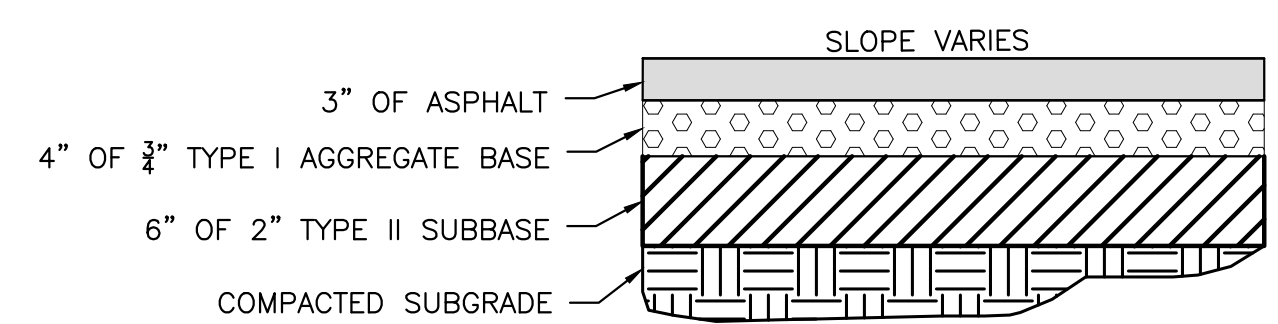
- NOTES:**
- (A) APPROACH TO CONFORM TO THE LATEST ADA STANDARDS.
  - (B) INSTALL EXPANSION JOINT AT TIP OF APPROACH WINGS WHERE SIDEWALK CHANGES THICKNESS.
  - (C) BASE TO BE A 4" THICKNESS OF 3/4" MINUS CRUSHED AGGREGATE PER SECTION-802.
  - (D) APPROACH THROAT WIDTHS SET BY POLICY AND APPLICATION. ALL CONCRETE TO BE 6" THICK FROM TIP OF WING TO TIP OF WING UP TO THE EXPANSION JOINT. WHEN SIDEWALK IS SEPARATE FROM CURB THE SIDEWALK IMMEDIATELY BEHIND THE APPROACH THROAT SHALL BE 6" THICK ALSO.
  - (E) ALL CONCRETE SHALL BE CLASS 3000 PER SECTION-703. SEE GENERAL NOTES 7 & 8.
  - (F) SIDEWALK WIDTH IS 8 FEET.

1 CONCRETE DRIVEWAY WITH RAMPED SIDEWALK  
SCALE: NONE



- NOTES:**
- 1. THE BED SHALL BE EXCAVATED A MINIMUM OF 24" INTO CLEAN SAND AND GRAVEL.
  - 2. MAXIMUM DEPTH SHALL NOT EXCEED 12 FEET.
  - 3. IF CLEAN SAND AND GRAVEL IS NOT ENCOUNTERED WITHIN 12 FEET, THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER.
  - 4. GRATE OR SOLID LID AS APPROVED BY CITY OF KETCHUM.

2 TYPICAL DRYWELL DETAIL  
SCALE: NONE



4 TYPICAL STREET ASPHALT SECTION  
SCALE: NONE

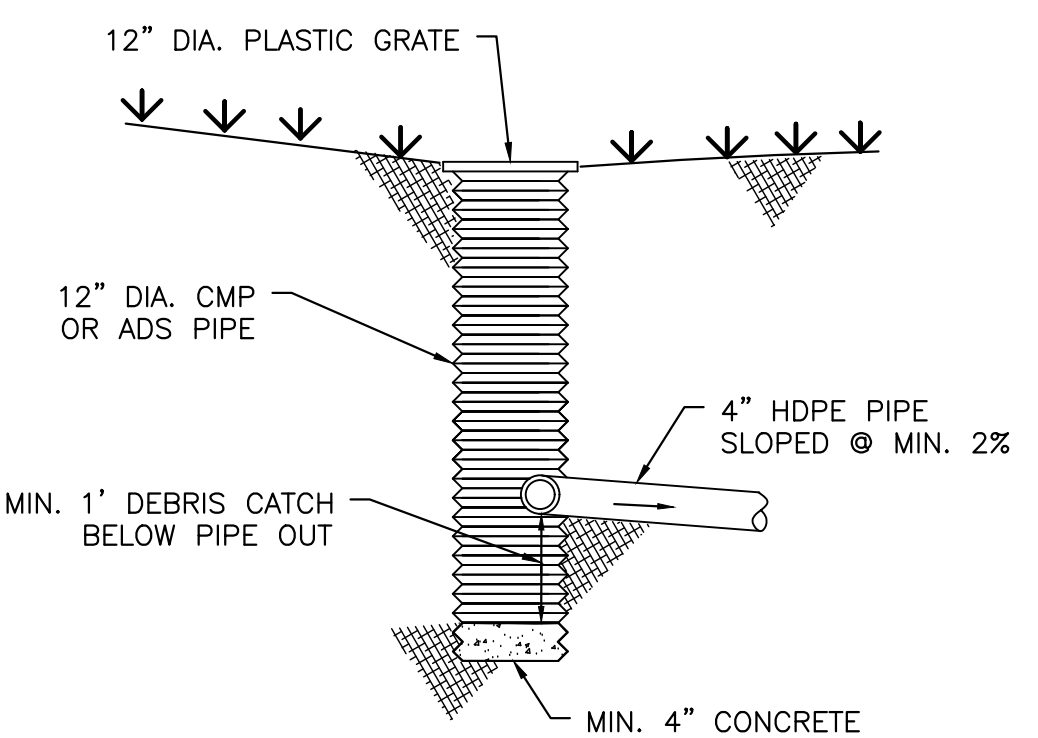
**LEGEND**

PROPERTY LINE	---
ADJOINING PROPERTY LINE	---
EASEMENT	X
FENCE	- - -
EDGE OF PAVEMENT	S
SEWER	W
SEWER MANHOLE (MH)	⊙
WATER	W
WATER GATE VALVE	⊕
HYDRANT	⊕
CURB STOP	⊕
TELEPHONE	T
UTILITY TRENCH	UT
ELEVATION CONTOUR	5775
PROPOSED ELEV CONTOUR	59
SAWCUT LINE	---
CURB TRANSITION	---
FLOW LINE	---
FOOTING DRAIN	FD
STORM DRAIN PIPE	---
DOWN SPOUT	---
CATCH BASIN-CITY	⊙
CATCH BASIN	⊙
DRYWELL	⊙
LANDSCAPE DRYWELL	⊙
ASPHALT PAVEMENT	---
ASPHALT PAVEMENT (SNOW MELTED)	---
PAVERS	---
CONCRETE	---
FG	---
EG	---
GB	---
ME	---
FINISHED GRADE	---
EXISTING GROUND	---
GRADE BREAK	---
MATCH EXISTING	---

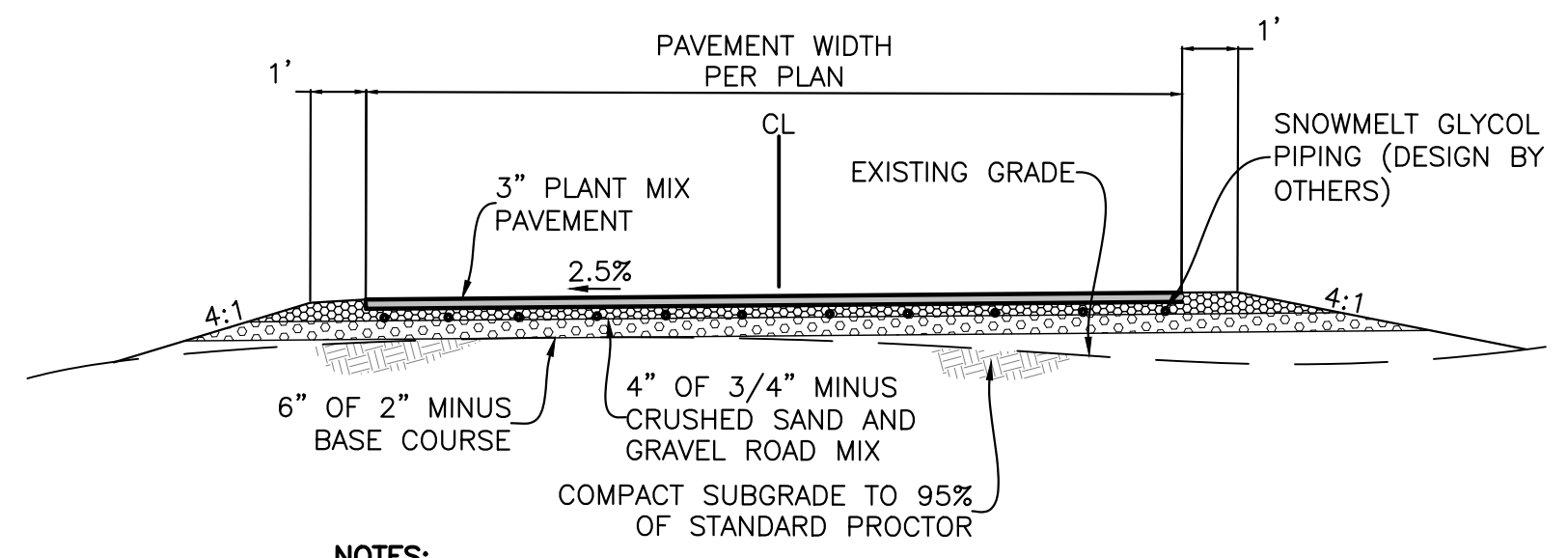
- GENERAL NOTES**
1. CONTRACTOR SHALL FIELD VERIFY LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING CONSTRUCTION. ANY CONFLICT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
  2. CONTRACTOR SHALL NOTIFY DIGLINE (1-800-342-1585) AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES ENCOUNTERED DURING CONSTRUCTION.
  3. CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL DURING THE CONSTRUCTION OF ALL ITEMS HEREON. DUST CONTROL SHALL BE CONTINUOUS DURING CONSTRUCTION, 24 HOURS PER DAY 7 DAYS PER WEEK.
  4. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM THE HOUSE.
  5. TRENCH DRAIN SHALL BE A 6" WIDE HDPE CHANNEL WITH A 0.75 BUILT IN CHANNEL SLOPE (ZURN FLO-THRU MODEL Z886 OR EQUIVALENT). GRATE SHALL BE DUCTILE IRON WITH A SLOTTED PATTERN. CATCH BASIN SHALL BE 6" WIDE X 20" LONG X 20" DEEP AND SHALL BE MADE OF HDPE. OUTLET PIPE SHALL BE 4" DIAMETER. (FLO-THRU MODEL Z887 OR EQUIVALENT). ALL COMPONENTS SHALL BE RATED FOR H2O LOADING.
  6. ALL WORK WITHIN THE CITY RIGHT OF WAY SHALL CONFORM TO CITY OF KETCHUM STANDARDS.
  7. CONCRETE WITHIN CITY RIGHT-OF-WAY SHALL BE TITAN MIX OR EQUAL. ALTERNATE COLD WEATHER MIX WILL NEED TO BE SUBMITTED TO THE CITY FOR REVIEW AND APPROVAL PRIOR TO PLACEMENT.
  8. CONCRETE SHALL BE SEALED WITH AN OPAQUE SEALER.
  9. 6" ROLLED CURB & GUTTER SHALL BE PER CITY OF KETCHUM STANDARD DETAIL #4.
  10. CONCRETE SIDEWALK SHALL BE PER CITY OF KETCHUM STANDARD DETAIL #7.



PLAN  
SCALE IN FEET  
0' 10' 20' 30'



3 12" CATCH BASIN PROFILE  
NOT TO SCALE



- NOTES:**
1. COMPACT DRIVEWAY SUBGRADE AND ALL STRUCTURAL FILL MATERIAL TO AT LEAST 95% OF THE MAXIMUM DENSITY OF EACH MATERIAL ACCORDING TO STANDARD PROCTOR ASTM D-698.

A DRIVEWAY SECTION WITH SNOW-MELTED PAVEMENT  
SCALE: NTS

PROFESSIONAL ENGINEER  
LICENSED SURVEYOR  
STATE OF IDAHO  
PROBIE JOHANNESSEN  
17661  
3/12/2024

NO.	REVISIONS	DESCRIPTION	DATE	BY
1		CITY COMMENTS	3/12/24	PLJ

**GALENA-BENCHMARK ENGINEERING**  
Civil Engineers & Land Surveyors  
100 Bell Drive  
Ketchum, Idaho 83340  
(208) 725-9512  
www.benchmark-associates.com

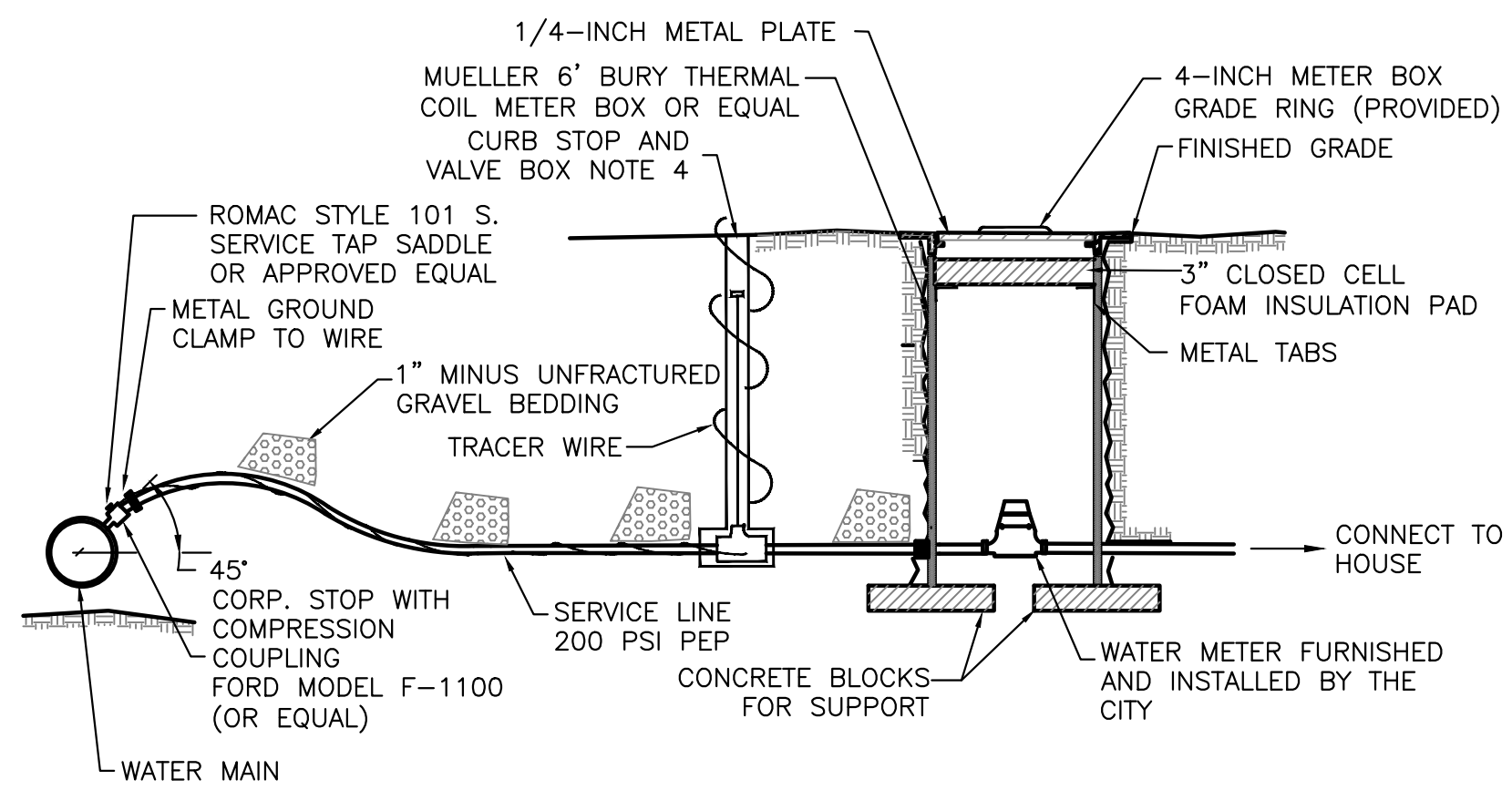
**GALENA ENGINEERING PLANNING**  
ELEVATION  
4800' AS SEA  
622' AS SEA  
822' AS SEA

**GRADING & DRAINAGE PLAN**  
WARM SPRINGS RANCH LOT 33  
T4N, R17E, SEC 12, B.M., BLAINE COUNTY, IDAHO  
PREPARED FOR: MAGLEBY CONSTRUCTION

DRAWN BY: SLS  
DESIGNED BY: SLS  
CHECKED BY: PLJ  
DATE: 3/12/2024  
PROJECT NO.: 22074

DRAWING NO.

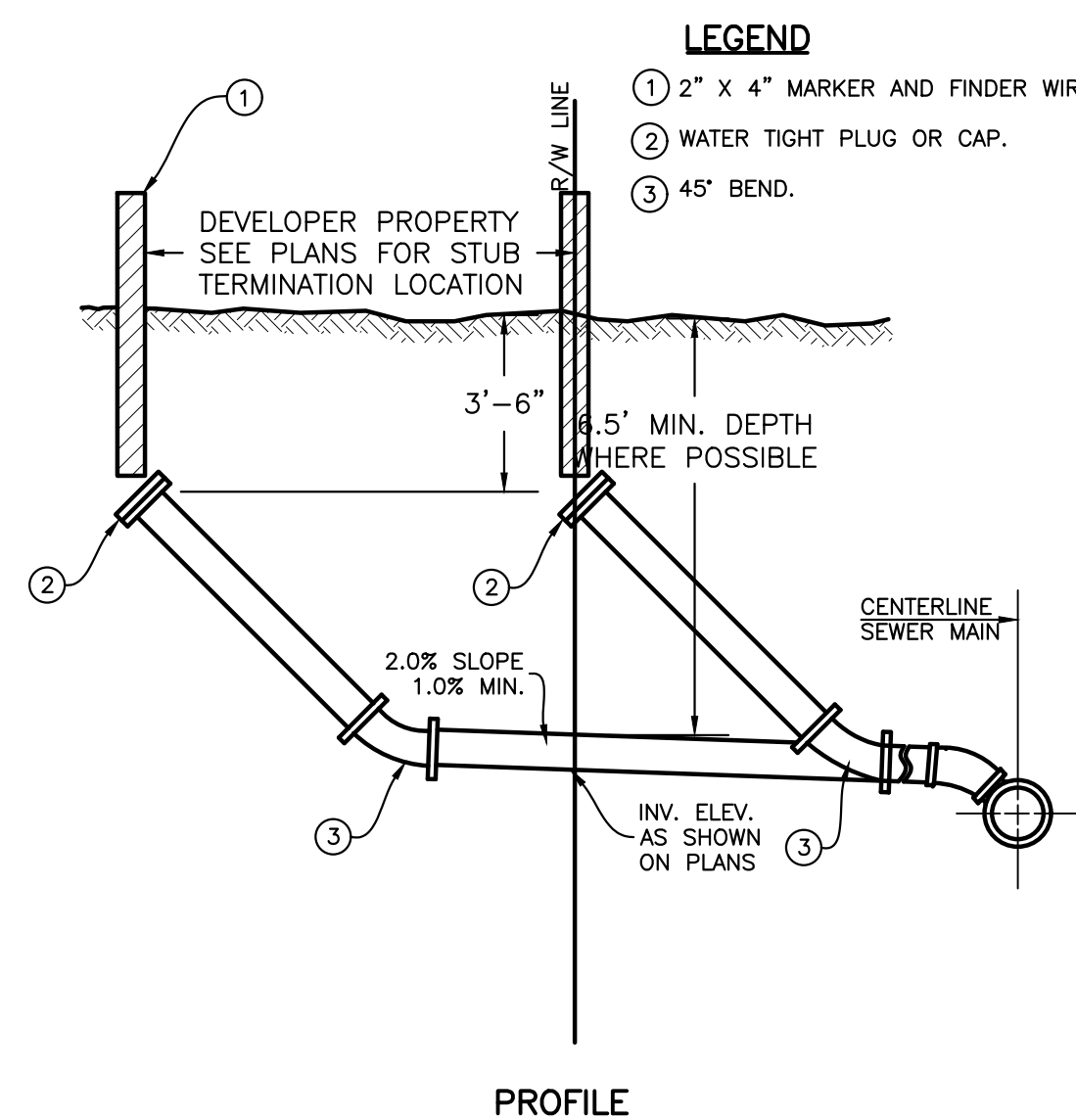
**C-1**



**NOTES**

1. WATER SERVICE LINE SHALL HAVE A 6" MIN. BURY DEPTH
2. SERVICE LINE SHALL BE 1" DIAMETER POLYETHYLENE PIPE UNLESS OTHERWISE SPECIFIED.
3. WATER SERVICE LINES SHALL BE BEDDED WITH 1" MINUS UNFRACTURED GRAVEL BEDDING SHALL BE INSTALLED 4" UNDER THE PIPE AND 6" OVER THE PIPE.
4. FORD MODEL B-111 RESILIENT SEAT, CURB BALL VALVE (OR EQUAL). FORD EXTENSION CURB BOX WITH ARCHED BASE, 1-INCH UPPER SECTION, AND 2 HOLE "ERIE" PATTERN LID.

**1 WATER SERVICE AND METER CONNECTION**  
SCALE: N.T.S.



**LEGEND**

- 1 2" X 4" MARKER AND FINDER WIRE PER SD-512.
- 2 WATER TIGHT PLUG OR CAP.
- 3 45° BEND.

**NOTES**

1. INSULATION REQUIRED WHERE SEWER LINE BURY DEPTH IS LESS THAN 5'.

**2 STANDARD SEWER SERVICE CONNECTION DETAIL**  
SCALE: NONE

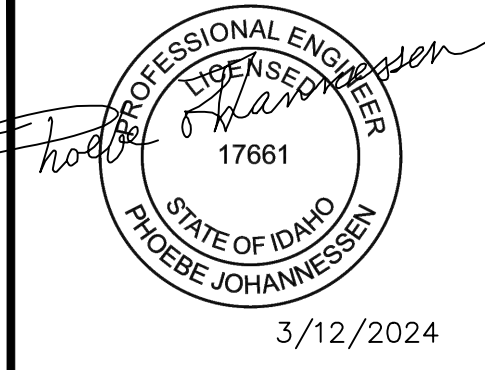
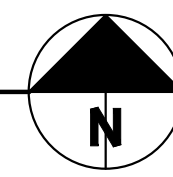
**UTILITY LEGEND**

- SEWER PROPOSED —
- SEWER CLEANOUT ●
- WATER PROPOSED —
- WATER METER PROPOSED ●



**PLAN**

SCALE IN FEET



NO.	REVISIONS	DESCRIPTION	DATE	BY

**GALENA-BENCHMARK ENGINEERING**  
Civil Engineers & Land Surveyors  
100 Bell Drive  
Ketchikan, Idaho 83340  
(208) 725-9512  
www.benchmark-associates.com

**UTILITY PLAN**  
WARM SPRINGS RANCH LOT 33  
T4N, R17E, SEC 12, B.M., BLAINE COUNTY, IDAHO  
PREPARED FOR: MAGLEBY CONSTRUCTION

DRAWN BY:	SLS
DESIGNED BY:	SLS
CHECKED BY:	PLJ
DATE:	3/12/2024
PROJECT NO.:	22074

DRAWING NO.

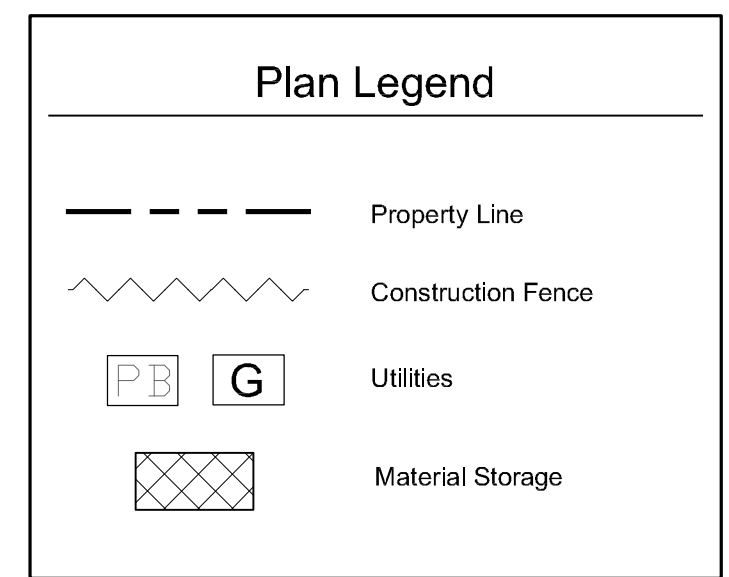
**C-2**

**General Notes**

1. Base map information taken from survey by Benchmark Associates dated 11/24/21 and from on-site information. Architectural information provided by Think Architecture dated 02/11/24. Contractor shall verify conditions in the field prior to construction.
2. Landscape architect is not responsible for any deviation from these plans, unless such changes are authorized by the landscape architect in writing.
3. All existing utilities are underground. All new utilities shall be underground.
4. Site serviced by City of Ketchum.

**Cut And Fill:**

Total Cut = 700 Cubic Yards  
Total Fill = 0 Cubic Yards  
Total Export = 700 Cubic Yards



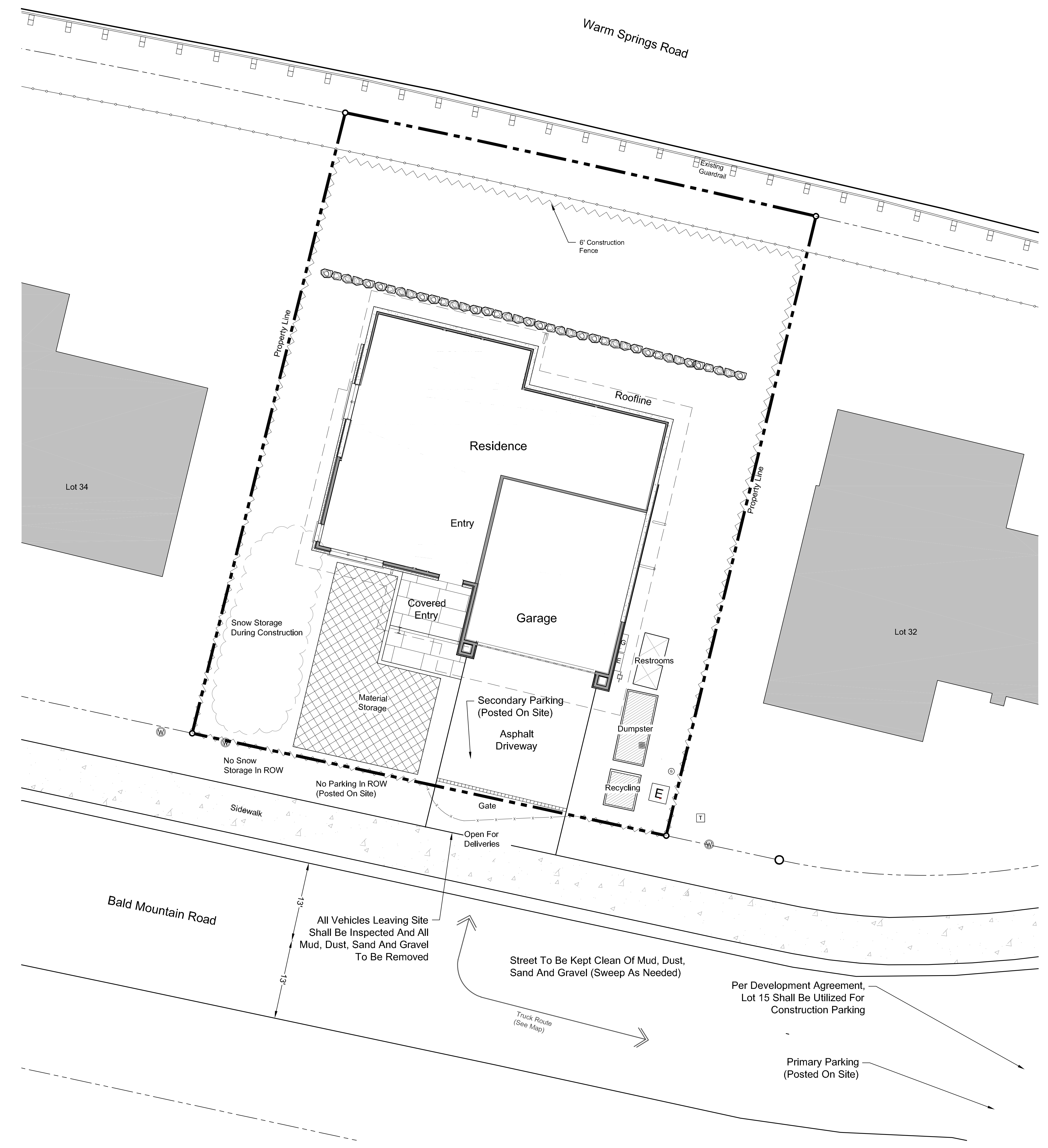
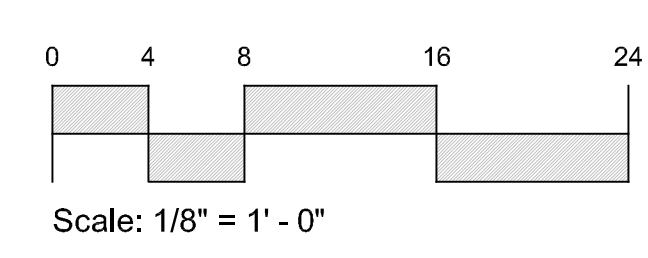
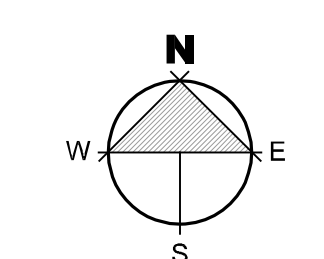
Truck Route Bald Mtn Road - Warm Springs Road - Hwy 75

**CONSTRUCTION ACTIVITY NOTES:**

- (1) Dust Control Using Water Truck as Needed.
- (2) No Job Shack/Trailer.
- (3) As Per The Development Agreement, Empty Lots Within WSRR Shall Be Used For Additional Construction Staging.
- (4) All Construction Traffic Shall Have Tires Inspected for Mud, Dust, Sand, and Gravel Prior to Leaving Site. Any Material Shall be Removed Prior to Entering City Streets.
- (5) Contractor is Responsible for Snow Removal of Site and Construction Parking.
- (6) All Neighbors In The Project Vicinity Shall be Provided Notice Of The Project, Schedule And The General Contractor's Contact Information In Advance Of Construction.
- (7) The Job Site Shall Be Kept In A Clean And Orderly Condition, Trash Shall Be Picked Up On The Site And Surrounding Areas On A Daily Basis, And Materials Shall Be Stored In Neat, Tidy Piles.
- (8) Manholes May Not Be Obstructed At Any Time. In Addition, Minimum Three Feet Clear Shall Be Maintained On Back And Sides Of Fire Hydrants, And Minimum 15 Feet Clear Shall Be Maintained On The Front, Street Side Of Fire Hydrants.
- (9) Speed Limits For Construction Vehicles Shall Be Limited To 15 MPH Within One Block Of The Construction Site, Unless Otherwise Determined Be The Ketchum Police Department.
- (10) Vehicle Parking And Material Storage During Construction Shall Not Restrict Or Obstruct Public Streets Or Access To Any Building. A Minimum 25 Foot Travel Lane For Emergency Vehicle Access Shall Be Maintained Clear And Unobstructed At All Times. All Required Fire Lanes, Including Within 15 Feet Of Fire Hydrants, Shall Be Maintained Clear And Unobstructed At All Times.
- (11) Contractor Is Responsible For Hauling Snow Off-site. No Snow Storage In R.O.W.



6' Construction Fence





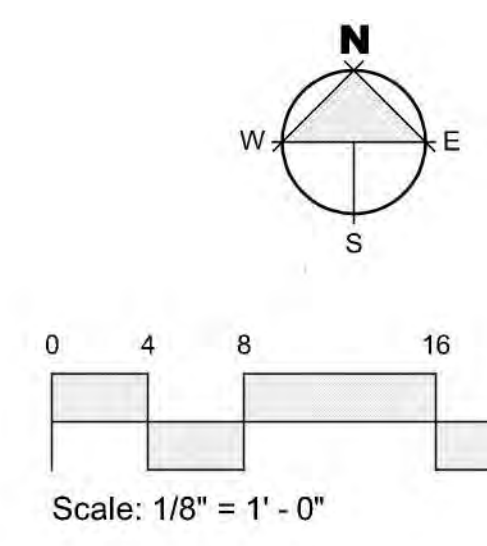
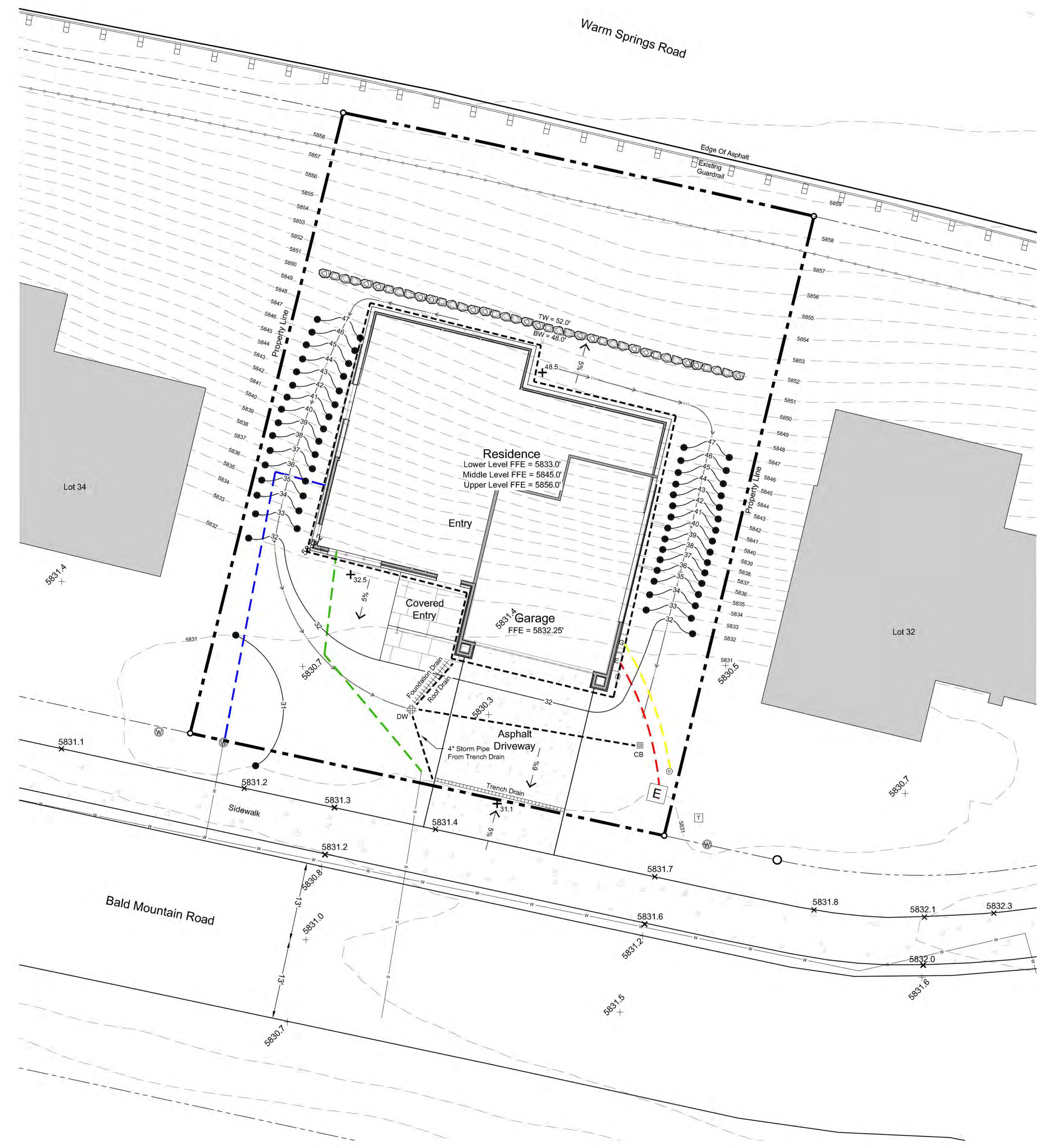
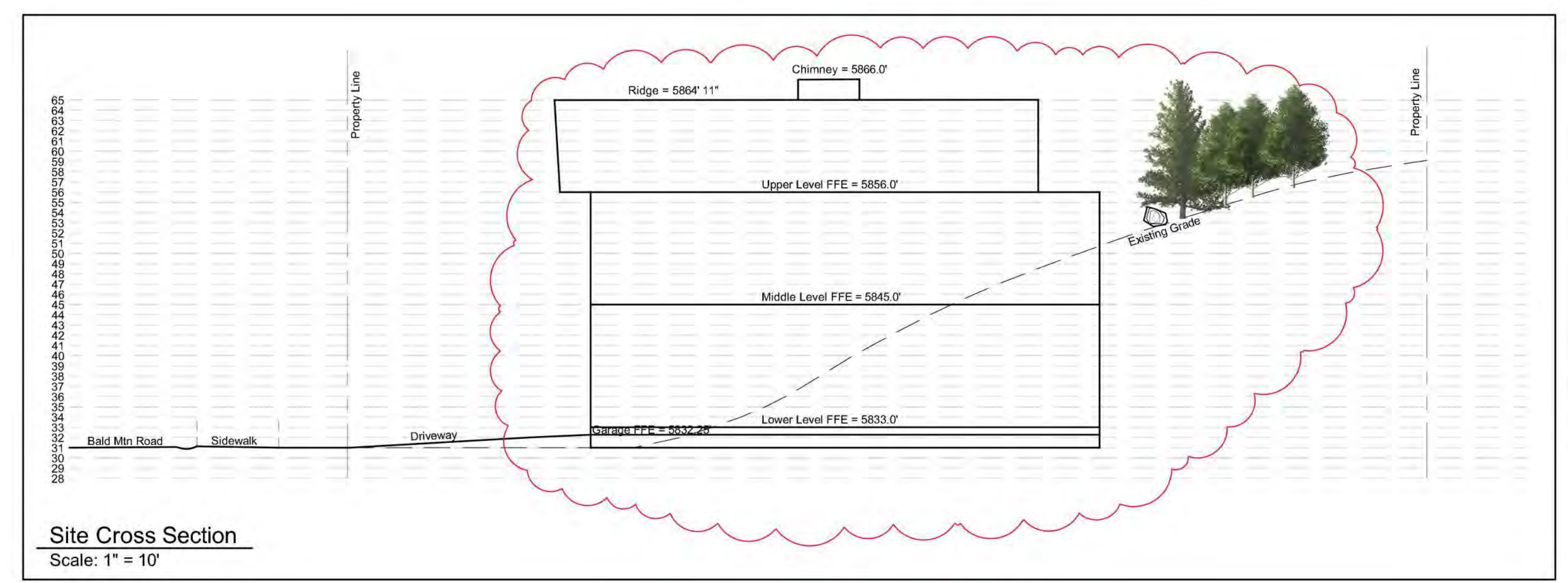
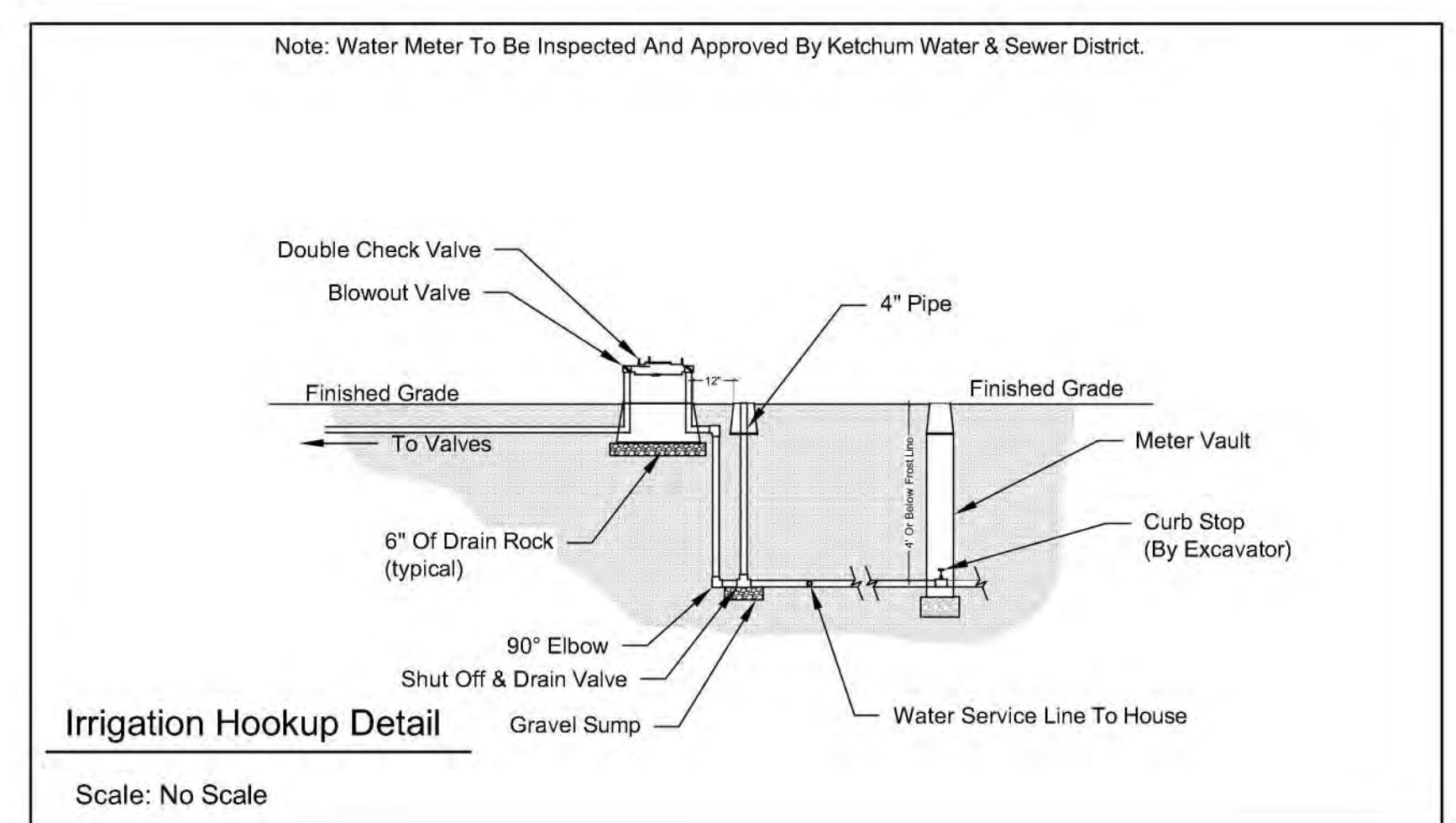
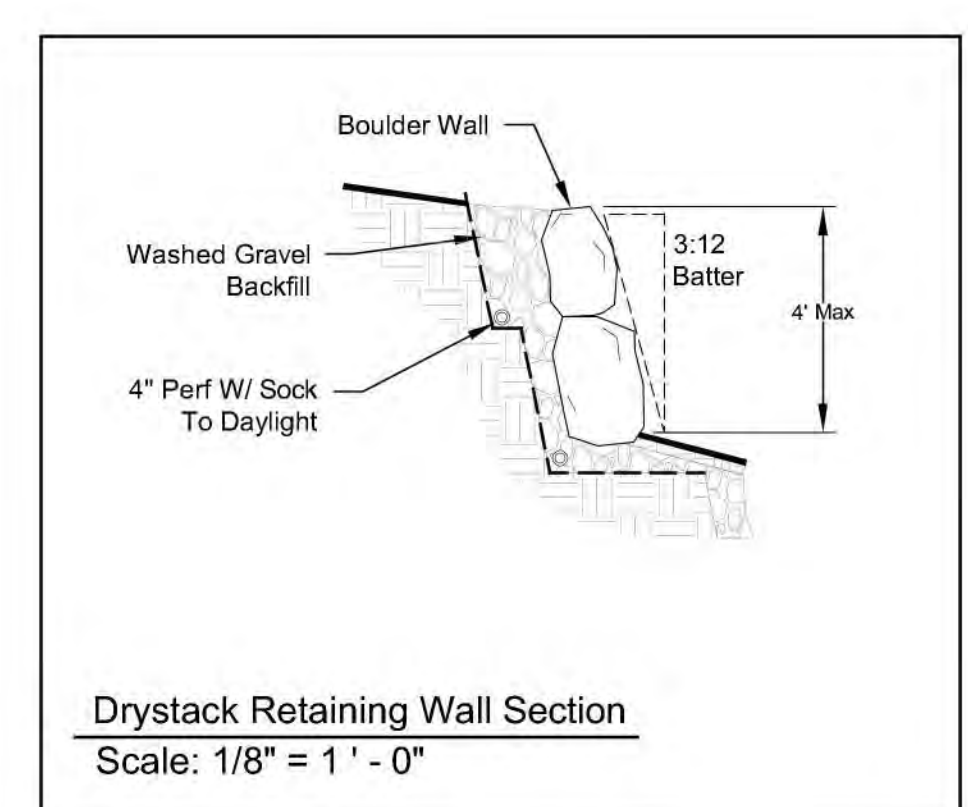
General Notes

1. Base map information taken from survey by Benchmark Associates dated 11/24/21 and from on-site information. Architectural information provided by Think Architecture dated 02/11/24. Contractor shall verify conditions in the field prior to construction.
2. Landscape architect is not responsible for any deviation from these plans, unless such changes are authorized by the landscape architect in writing.
3. All existing utilities are underground. All new utilities shall be underground.
4. Site serviced by City of Ketchum.

\*See Civil Plan (C1) For  
Site Grading And Drainage

Cut & Fill	
<b>Excavation:</b>	
Building/Garage:	700 Cu/Yds
Site:	0 Cu/Yds
<b>Total Cut:</b>	<b>700 Cu/Yds</b>
<b>Fill:</b>	
Site Landscape Fill:	0 Cu/Yds
Driveway:	0 Cu/Yds
<b>Total Fill:</b>	<b>0 Cu/Yds</b>
<b>Total Export:</b>	<b>700 Cu/Yds</b>

Plan Legend	
--- Property Line	
- - - - - Existing Contour	
X 92.7 (92.5')	Existing Spot Elevations
● 95	Proposed Contour
⊕	Landscape Drywell
■	Catch Basin
2% Slope	Proposed Drainage Direction With Slope Percentage
+ 92.5'	Proposed Spot Elevations
	4" Perforated Footing Drain
- - - - -	4" Solid Drain Pipe (Roof & Downspouts)
⊗	Drystack Retaining Wall
- - - - -	Water Line
- - - - -	Electrical Service
- - - - -	Gas Service
- - - - -	Water Service
- - - - -	Sewer Service



General Notes

1. Base map information taken from survey by Benchmark Associates dated 11/24/21 and from on-site information. Architectural information provided by Think Architecture dated 02/11/24. Contractor shall verify conditions in the field prior to construction.
2. Landscape architect is not responsible for any deviation from these plans, unless such changes are authorized by the landscape architect in writing.
3. All existing utilities are underground. All new utilities shall be underground.
4. Site serviced by City of Ketchum.

Plan Legend

- Property Line
- PUE And Snow Storage Easement
- Proposed Contour
- 4' Fence
- Landscape Drywell
- Concrete Pavers
- Asphalt
- Gravel

Irrigation Calculation

(Lot = ± .22 Acres)

Description	Square Footage
Natural Grass	5,300 sq.ft.
Planter Beds	100 sq.ft.
<b>Total Irrigated Area</b>	<b>5,400 sq.ft.</b>
	+/- .12 Acres

Snow Storage

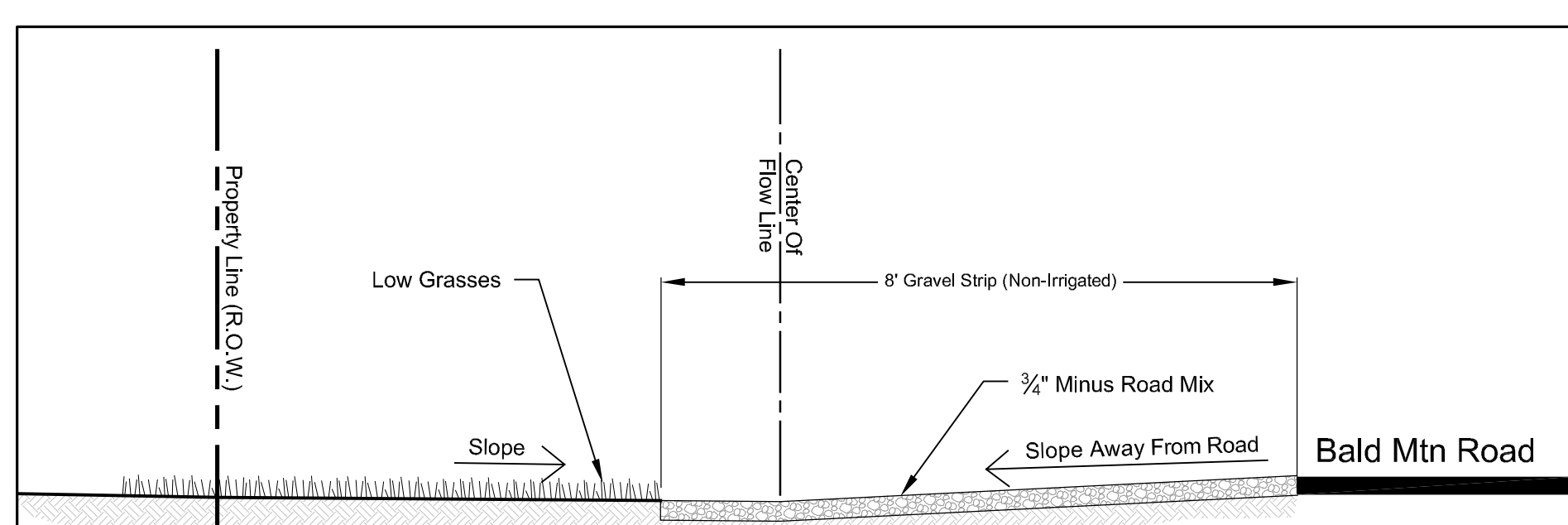
Driveway Area:	765 sq ft
Walkway Area:	72 sq ft x .30%
<b>Required Area:</b>	<b>251 sq ft</b>
<b>Snow Storage Provided:</b>	<b>275 sq ft</b>

Per Development Agreement:

- 1) Landscaping Shall Be Drought Tolerant
- 2) Irrigation System Shall Be Equipped With Shut Off Valve Not Impacting Water Service To Residence
- 3) Irrigation System Shall Be Water Efficient In Ground Components, Controller With Rain/Freeze Sensor.
- 4) Isolate Zones Per Plant Type And Exposure.

Landscape Notes:

- 1) The Area 12" Horizontal From The Base Of A Wall Shall Be Finished In A Way To Prevent Any Vegetation Growing, And For Vegetative Debris To Be Easily Removed.
- 2) Any Trees With Crowns Closer Than 30 Feet To Any Structure Shall Be Limbed Up A Minimum Of 6' From Ground Level.
- 3) Any Tree Crowns Shall Be Pruned To Have A Minimum 10' Horizontal Clearance From Any Structure.

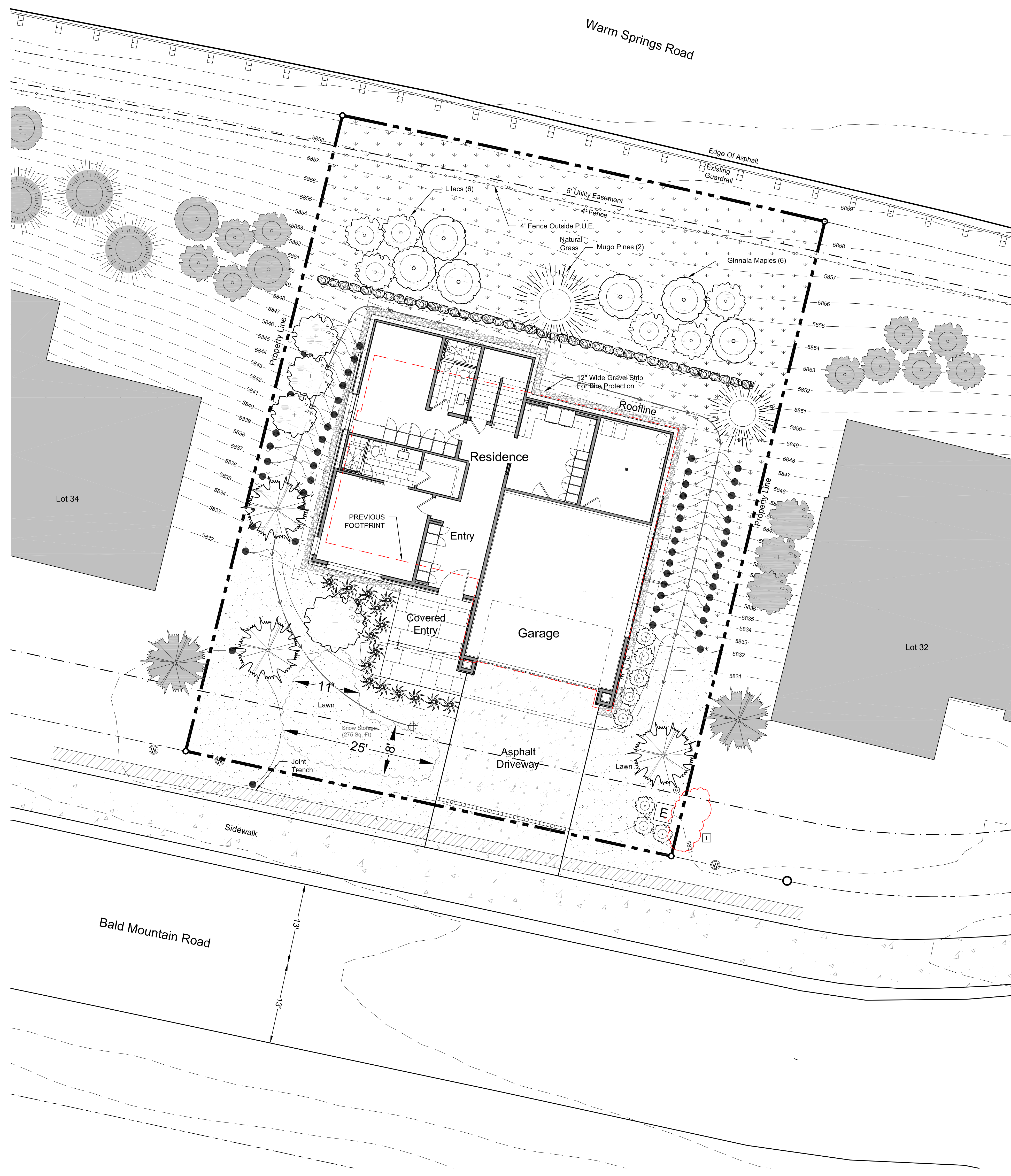
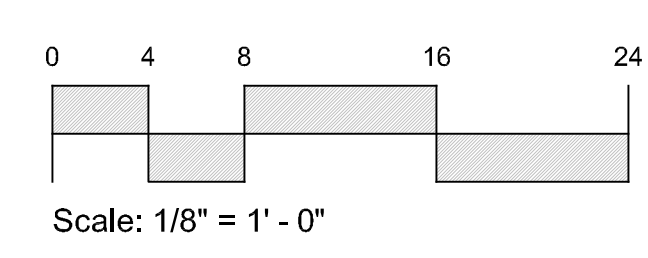
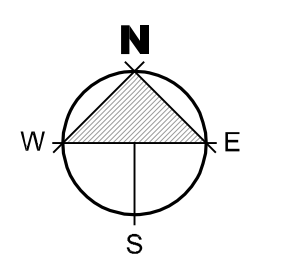


Note: No Sprinkler Heads In ROW.  
Cross Section A - Right Of Way  
Scale: 1/2" = 1' - 0"

- A. Material shall be pervious/permeable to allow drainage
- B. Surface must allow for vehicle parking and be consistent along the entire property frontage
- C. Material within the first eight (8) feet from edge of asphalt shall be distinct from driveway and rest of property in order to visually appear to be available for parking
- D. Grading and drainage improvements as required by City Engineer - Minimum 5% slope
- E. No obstructions, such as boulders or berms
- F. No buried irrigation systems within the first eight (8) feet from the edge of asphalt (Street). Subsurface irrigation lines are permitted beyond the first eight (8) feet, however pop up heads are not permitted anywhere in the ROW.
- G. No live plant material within the first eight (8) feet from edge of asphalt (Street). Low ground cover plant material, such as turf grass, is permitted beyond the first eight (8) feet. Drought-tolerant species is preferred.
- H. No snow-melt system.

Plant Legend

Qty.	Common Name	Botanical Name	Size
<b>Conifer Trees</b>			
2	Mugo Pine	<i>Pinus mugo</i>	12'-16'
3	Subalpine Fir	<i>Abies lasiocarpa</i>	12'-14'
<b>Deciduous Trees</b>			
4	Aspen	<i>Populus tremuloides</i>	12'-14'
6	Ginnala Maple	<i>Acer spp.</i>	20 gal. (6')
14	<b>Deciduous Shrubs</b>		5-20 gal.
Lilac			
Alpine Currant			
Burning Bush			
Cotoneaster			
Dogwood			
Mockorange			
Ninebark			
Snowberry			
Spirea			
<b>Ornamental Grasses</b>			
30	Blue Fescue	<i>Festuca ovina glauca</i>	Flats
	Ribbon Grass	<i>Phalaris arundinacea 'Picata'</i>	
	Karl Foerster Feather Reed	<i>C. arundinacea 'Karl Foerster'</i>	
<b>Grasses &amp; Wildflowers</b>			
3,700 Sq.Ft.	Hard Fescue	<i>Festuca trachyphylla</i>	Sod or Seed
(20%)	Cheering Fescue	<i>Festuca rubra var. commutata</i>	
(20%)	Sheep Fescue	<i>Festuca ovina</i>	
(20%)	Creeeping Red Fescue	<i>Festuca rubra</i>	
(20%)	Wildflowers	<i>Various</i>	
<b>Grasses - Lawn Mix</b>			
1,600 Sq.Ft.	Tall Fescue	<i>Festuca arundinacea</i>	Sod or Seed
(33%)	Hard Fescue	<i>Festuca trachyphylla</i>	
(33%)	Cheering Fescue	<i>Festuca rubra var. commutata</i>	



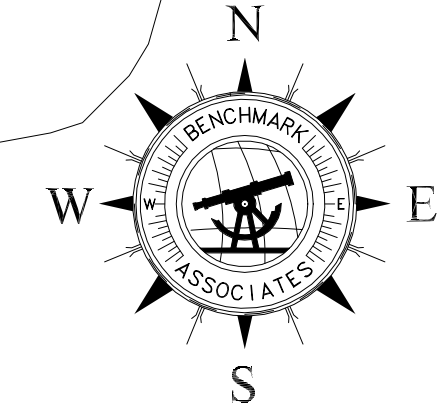


REAR FENCE EXAMPLE

WARM SPRINGS ROAD

SLOPE FINISH GRADE MIN 6" IN 10'-0" FROM BUILDING EDGE, FULL PERIMETER

EXISTING VEHICULAR GAUDDRAIL  
PROPERTY LINE  
5'-0" P.U.E.  
4'-0" WOOD SLAT FENCE OUTSIDE OF P.U.E.



MECHANICAL CONDENSER LOCATION

SLOPE FINISH GRADE MIN 6" IN 10'-0" FROM BUILDING EDGE, FULL PERIMETER

TRASH TO BE STORED WITHIN THE GARAGE

GAS AND ELECTRIC METERS, PROVIDE CLEARANCE AS REQUIRED

EXISTING TRANSFORMER TO BE LANDSCAPE SCREENED

20'-0" WIDE DRIVE AT SIDEWALK

TRASH TO BE STORED WITHIN THE GARAGE

NOTE:  
SEE CIVIL DOCUMENTS FOR UTILITIES  
SEE LANDSCAPE FOR GRADING

SITE PLAN  
1/8" = 1'-0"

SITE PLAN GENERAL NOTES

1. CONTRACTOR TO VERIFY ALL EXISTING UTILITIES AND LOCATIONS. PROTECT AS REQUIRED.
2. CONTRACTOR TO PROTECT EXISTING TREES TO BE PRESERVED.
3. UTILITY TRENCHING TO BE CONDUCTED IN A WAY TO NOT DISTURB EXISTING TREES.
4. ANY TREES LOCATED WITHIN 10'-0" HORIZONTAL OF THE STRUCTURE MUST BE MIN. 10'-0" HIGHER THAN THE ADJACENT STRUCTURE OR WILL NEED TO BE REMOVED IN ACCORDANCE TO THE FIRE CODE AS DEFENSIBLE SPACE.
5. ALL DEAD WOOD AND COMBUSTIBLE MATERIALS WITHIN 30'-0" OF THE STRUCTURE TO BE REMOVED BY CONTRACTOR AS PER THE FIRE CODE DEFENSIBLE SPACES.
6. INSTALL EROSION CONTROL MAT ON ALL SLOPES 3:1 AND GREATER.

DATUM:

LEVEL 1 100'-0" = 5,833.00 USGS  
LEVEL 2 112'-0" = 5,845.00 USGS  
LEVEL 3 124'-0" = 5,856.00 USGS

VERIFY FINISHED FLOOR HEIGHT WITH FINAL CIVIL ENGINEER'S DRAWINGS.

SITE PLAN KEY NOTES

LOT SIZE:

AREA = .19 ACRES OR 8,429 SQ. FT.  
ZONE: GR-1  
HEIGHT LIMIT: 35' MAX

BUILDING PAD:

AREA = 3,384 SQ. FT.

PROPOSED BUILDING FOOTPRINT:

AREA = 2,322 SQ. FT. - EQUALS 27%

LOT COVERAGE ALLOWED: 35%, 2,950 SQ. FT.

- RECESSED LIGHT LOCATION
- WALL SCONCE LOCATION

LEGAL DESCRIPTION:  
LOT 33 BALD MOUNTAIN ROAD

SITE NOTES:

1. ALL CONSTRUCTION TO BE DONE ACCORDING TO TOWN STANDARDS AND SPECIFICATIONS.
2. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.
3. CONTRACTOR TO VERIFY PROPER DRAINAGE AWAY FROM HOUSE.
4. PROVIDE DRAINAGE SWALE FROM HIGH TO LOW SIDE OF HOUSE.
5. ZONING: GR-1
6. CONTRACTOR TO VERIFY EXISTING GRADES/TOPOGRAPHY PRIOR TO EXCAVATION AND/OR CONSTRUCTION. VERIFY DRIVEWAY DOES NOT EXCEED 10% GRADE.
7. EXISTING TOPOGRAPHY SHOWN IS BASED ON ROAD DESIGN GRADES & SITE OBSERVATIONS. CONTRACTORS/OWNER TO VERIFY.
8. HEIGHT LIMIT OF 35'-0" OVER EXISTING GRADE. 5'-0" ALLOWANCE FOR CHIMNEYS AND MECHANICAL.
9. SITE SETBACKS TO BE BASED ON 1/3 OF THE BUILDING HEIGHT



Architecture  
Interior Design  
Landscape Architecture  
Land Planning  
Construction Management

7927 So. Highpoint Parkway, Suite 300  
Scary, Utah 84094  
ph. 801.269.0555  
fax 801.269.1425  
www.thinka2c.com

The designs shown and described herein including all technical drawings, graphic representations & models thereof, are proprietary & can not be copied, duplicated, or commercially reproduced in whole or in part without the sole and express written permission from THINK ARCHITECTURE, INC.

These drawings are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors, and office personnel only in accordance with this notice.



WARM SPRINGS RESIDENCE #33 R2

170 BALD MOUNTAIN ROAD  
KETCHUM, IDAHO 83340

PROJECT NC22023.33

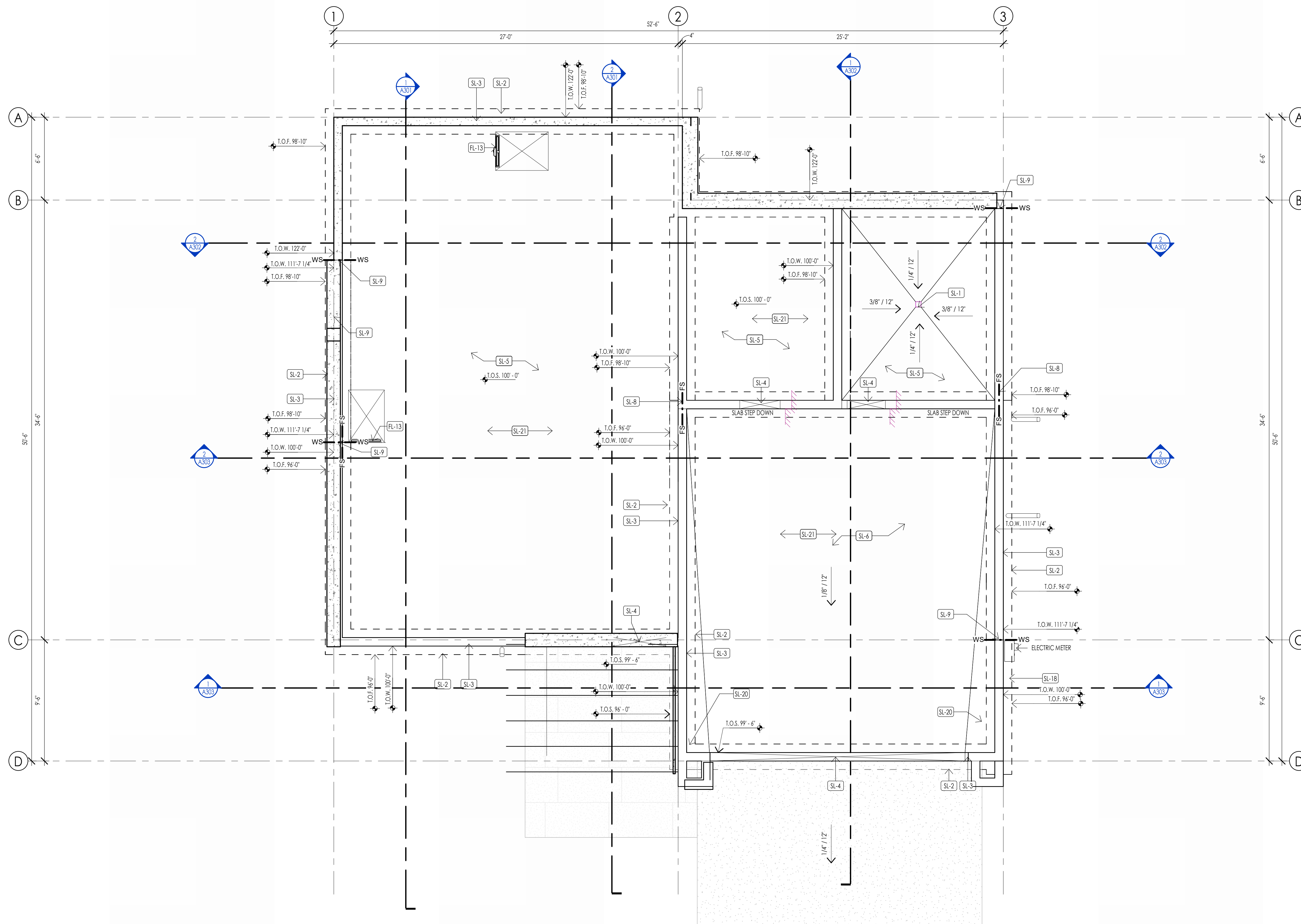
DATE: 2024.02.15

REVISIONS:

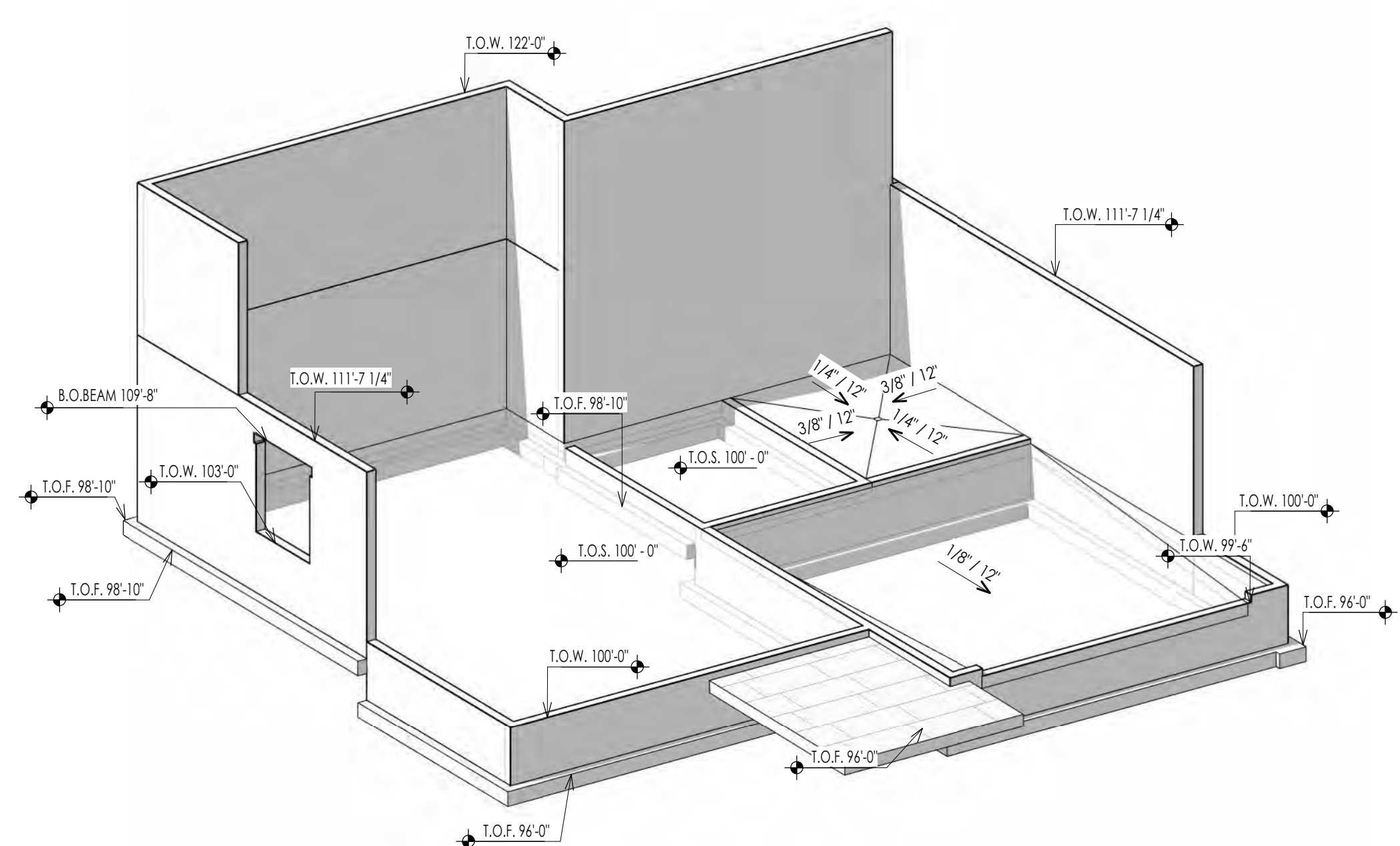
SHEET TITLE:  
SITE PLAN

SHEET NUMBER:  
A101

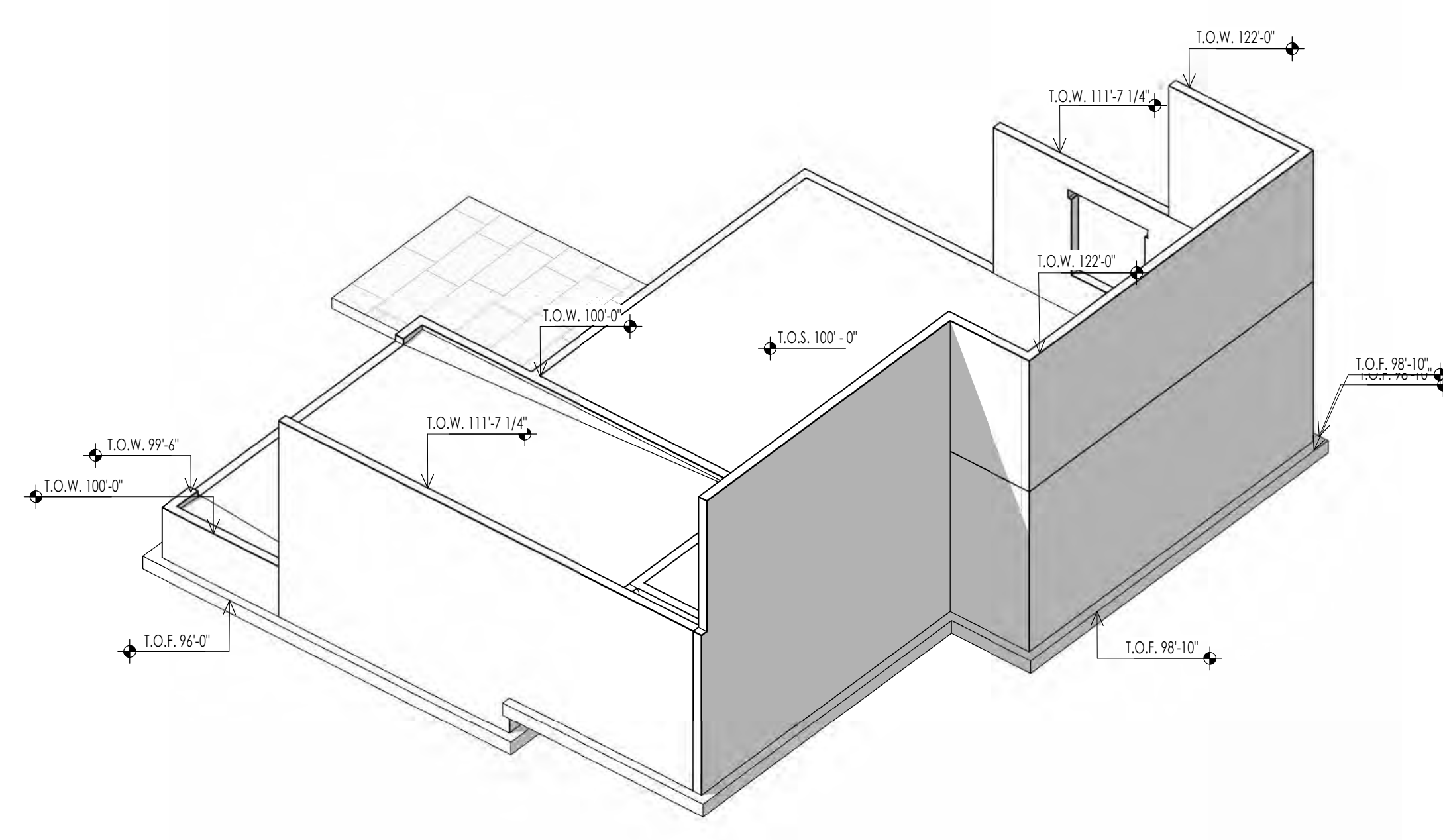
© 2021 THINK ARCHITECTURE, INC.



LEVEL 1 - SLAB PLAN  
1/4" = 1'-0"



FOUNDATION ISOMETRIC A  
2  
A103



FOUNDATION ISOMETRIC B  
3  
A103

FOUNDATION PLAN LEGEND	
HATCH PATTERN	DESCRIPTION
[Hatch Pattern]	POURED IN PLACE CONCRETE
[Hatch Pattern]	2" RIGID FOAM INSULATION TO EXTEND FROM BOTTOM OF SLAB DOWN TO FOOTING AND HORIZONTALLY UNDER SLAB 4'-0" MIN. AT PERIMETER OF FOUNDATION.

FOUNDATION PLAN SYMBOLS LEGEND	
SYMBOL	DESCRIPTION
FS	FOOTING STEP
WS	WALL STEP
T.O.F.	TOP OF FOOTING ELEVATION
T.O.W.	TOP OF WALL ELEVATION
T.O.S.	TOP OF SLAB ELEVATION
T.O. PIER	TOP OF PIER ELEVATION

- FOUNDATION GENERAL NOTES**
- COORDINATE ARCHITECTURAL FOUNDATION PLAN WITH STRUCTURAL FOUNDATION PLAN. CONTRACTOR SHALL REPORT ANY DISCREPANCIES IN THE PLANS TO THE ARCHITECT PRIOR TO COMMENCING RELATED WORK.
  - COORDINATE MECHANICAL, ELECTRICAL, & PLUMBING PRIOR TO CONSTRUCTION OF FOOTINGS & FOUNDATION.
  - VERIFY ELEVATIONS OF FOUNDATION WALLS & FOOTINGS. COORDINATE WITH SITE PLAN & PROPOSED CONTOURS.
  - CONCRETE FLOOR SLABS, EXCEPT THOSE IN UNHEATED ACCESSORY STRUCTURES, SHALL HAVE A VAPOR RETARDER CONSISTING OF 6 MIL POLYETHYLENE (OR APPROVED EQUAL) VAPOR RETARDER WITH JOINTS LAPPED NOT LESS THAN 6 INCHES PLACED BETWEEN THE CONCRETE FLOOR SLAB & THE BASE COURSE OF THE PREPARED SUB-GRADE WHERE NO BASE COURSE EXISTS.
  - FOUNDATION REBAR INSPECTIONS ARE REQUIRED FOR FOUNDATION WALLS OVER 8 FEET HIGH. FORMS ARE NOT TO BE INSTALLED ON ONE SIDE UNTIL AFTER THE REBAR HAS BEEN INSPECTED.

DATUM ELEVATIONS		
ARCHITECTURE	CIVIL	LEVEL
87'-6"	-	LEVEL 00 - TOP OF SLAB
88'-6"	-	LEVEL 0 - TOP OF SLAB
99'-0"	-	TOP OF SLAB AT FRONT OF GARAGE
100'-0"	-	LEVEL 1 - TOP OF PLYWOOD

FOUNDATION PLAN KEYNOTES	
KEYNOTES	
FL-13	PROVIDE "CHITLIK" KEROLINE LINEAR TRENCH DRAIN AGAINST BENCH. INTERIOR DESIGNER TO PROVIDE DRAIN COVER SPEC.
SL-1	CONTRACTOR TO COORDINATE LOCATION OF FLOOR DRAIN - SLOPE SLAB TOWARDS DRAIN AS REQUIRED
SL-2	CAST IN PLACE FOOTINGS TO BEAR ON UNDISTURBED SOIL OR ENG COMPACTED FILL - SEE STRUCTURAL GENERAL NOTES & PROJECT MANUAL
SL-3	CAST IN PLACE FOUNDATION WALLS WITH WATER PROOFING AS NOTED - SEE STRUCTURAL NOTES AND DETAILS
SL-4	PROVIDE BLOCKOUT AT FOUNDATION WALL AT DOOR OPENINGS AND POUR SLAB OVER TOP OF WALL - SEE DETAILS
SL-5	CAST IN PLACE INTERIOR CONCRETE SLABS TO BE 4" CONCRETE SLAB REINFORCED WITH FIBER MESH OVER 4" GRAVEL BASE - SEE STRUCTURAL NOTES
SL-6	CAST IN PLACE GARAGE CONCRETE SLABS TO BE 5" CONCRETE SLAB OVER 4" GRAVEL BASE AND FINISH AS NOTED - SEE STRUCTURAL NOTES
SL-8	CONTRACTOR TO COORDINATE FOOTING STEPS TO ASSURE REQUIRED FROST PROTECTION AT EACH FOOTING - NOTIFY ARCHITECT IF FOOTING ELEVATIONS NEED TO CHANGE
SL-9	CONTRACTOR TO COORDINATE FOUNDATION WALL STEPS WITH FINAL GRADING SPECIFIED AND NOTIFY ARCHITECT OF CHANGES PRIOR TO POURING CONCRETE FOUNDATION
SL-18	PROVIDE A LIFER GROUND. AN ELECTRICAL BONDING BY A LEAST 2" OF CONCRETE SHALL BE LOCATED NEAR THE BOTTOM OF THE CONCRETE FOUNDATION SYSTEM AND SHALL BE IN DIRECT CONTACT WITH THE EARTH, CONSISTING OF AT LEAST 20 FEET OF BARE ELECTRICALLY CONDUCTIVE ROD AT LEAST 1/2 INCH IN DIAMETER OR BARE COPPER CONDUCTOR NOT SMALLER THAN 4 AWG. (I.R.C. E350.1.2 AND N.E.C. 250.50)
SL-20	WARP SLAB AT GARAGE DOORS TO PROVIDE DRAINAGE TOWARD THE DOOR OPENING
SL-21	PROVIDE RIGID FOAM INSULATION BELOW ENTIRE FLOOR SLAB AT LEVEL 0 - SEE SCHEDULE FOR R VALUES - PROVIDE SILLBAP FOR INSULATION AND VAPOR BARRIER ON TOP OF RIGID INSULATION. TAPE ALL SEAMS AND INSTALL PER MANUF. AND SPECS.



Architecture  
Interior Design  
Landscape Architecture  
Land Planning  
Construction Management

7927 So. Highpoint Parkway, Suite 300  
Scary, Utah 84094  
ph. 801.269.0555  
fax 801.269.1425  
www.thinkaec.com

The designs shown and described herein including all technical drawings, graphic representation & models thereof, are proprietary & can not be copied, duplicated, or commercially reproduced in whole or in part without the sole and express written permission from THINK Architecture, Inc.

These drawings are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors, and office personnel only in accordance with this notice.



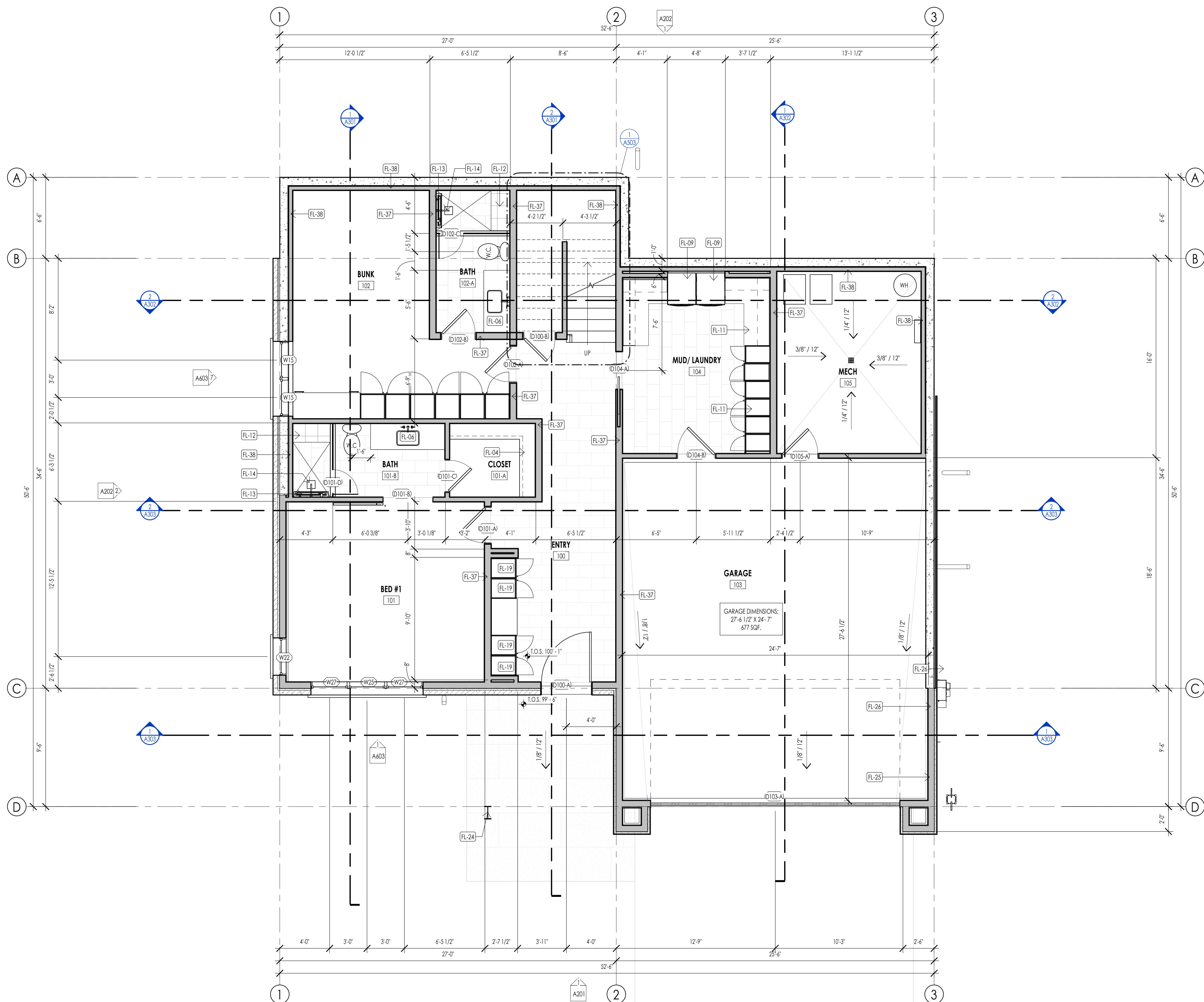
WARM SPRINGS RESIDENCE #33

170 BALD MOUNTAIN ROAD  
KETCHUM, IDAHO 83340

PROJECT NC22023.33  
DATE: 2023.12.27

FOUNDATION PLAN

A103



FLOOR PLAN LEGEND			
HATCH PATTERN	DESCRIPTION	HATCH PATTERN	DESCRIPTION
[Hatch Pattern]	POURED IN PLACE CONCRETE WALL	[Hatch Pattern]	CARPET FINISH
[Hatch Pattern]	CMU BLOCK WALL	[Hatch Pattern]	TILE FINISH
[Hatch Pattern]	STONE VENEER	[Hatch Pattern]	EXTERIOR CONCRETE SLABS
[Hatch Pattern]	METAL STUD WALL		
[Hatch Pattern]	WOOD STUD WALL		

- FLOOR PLAN GENERAL NOTES**
- ALL DIMENSIONS ARE TO INTERIOR FACE-OF-STUD (F.O.S.) UNLESS NOTED OTHERWISE.
  - CEILING HEIGHTS MEASURED FROM PLYWOOD OR CONCRETE - SEE SECTIONS.
  - REFER TO ENLARGED PLANS FOR ALL UNIT DIMENSIONS, WINDOW TYPES, DOORS AND WALLS.
  - REFER TO ENLARGED PLANS FOR ALL DECK/PATIOS.
  - COORDINATE WITH ALL ENLARGED PLANS FOR ADDITIONAL INFORMATION AND DETAILS.
  - ALL TOPPING SLABS MUST BE POURED AFTER ROOF IS COMPLETE AND BUILDING IS DRIED IN.
  - SEE SHEET A002 FOR PROJECT GENERAL NOTES AND SHEET A003 FOR PROJECT KEYNOTES. REVIEW ALL NOTES PRIOR TO CONSTRUCTION.
  - COORDINATE WITH STRUCTURAL FRAMING PLANS AND SHEAR WALL PLANS FOR LOCATIONS OF COLUMNS, BEAMS, SHEAR WALLS, ETC.
  - COORDINATE WITH BUILDER/OWNER FOR ALL INTERIOR FINISHES.
  - COORDINATE WITH ELECTRICAL DRAWINGS FOR ALL LIGHTING, POWER AND DATA REQUIREMENTS.
  - ALL EXTERIOR WALLS ARE ASSUMED TO BE 2X4 STUD WALLS UNLESS SHOWN/NOTED OTHERWISE.
  - ALL INTERIOR WALLS ARE ASSUMED TO BE 2X4 STUD WALLS UNLESS SHOWN/NOTED OTHERWISE.
  - ALL ROOF TRUSSES TO HAVE RAISED ENERGY HEEL CONSTRUCTION TO ALLOW FOR FULL DEPTH INSULATION OVER EXTERIOR WALLS (COORDINATE INSULATION REQUIREMENTS WITH RESCHECKS).

**FLOOR PLAN KEYNOTES**

KEYNOTES	
FL-04	CLOSET SHELVING/ ROD - PER INTERIOR DESIGNER
FL-06	BATHROOM SINK - VANITY PER INTERIOR DESIGNER
FL-09	STACKED WASHER AND DRYER. CONTRACTOR TO COORDINATE WITH MECHANICAL AND ELECTRICAL
FL-11	CABINET SYSTEM/SHELVING PER INTERIOR DESIGNER
FL-12	PROVIDE SHOWER BENCH AS PER OWNER/ INTERIOR DESIGNER
FL-13	PROVIDE "SCHLERT" KEROLINE LINEAR TRENCH DRAIN AGAINST BENCH. INTERIOR DESIGNER TO PROVIDE DRAIN COVER SPEC.
FL-14	SHOWER HEAD PER INTERIOR DESIGNER
FL-19	BUILT IN MUD/GEAR CABINETS AS PER INTERIOR DESIGNER
FL-24	STRUCTURAL HOLLOW COLUMNS AS PER STRUCT.
FL-25	PROVIDE HOT/COLD HOOK UP
FL-26	PROVIDE 20 AMP EV CONNECTION POINT
FL-37	2X4 STUD WALL ROUGH FRAMING. 16" O.C. U.N.O. SEE DETAILS.
FL-38	2X4 BASEMENT STUD FURRING WALL. 16" O.C. SEE DETAILS.

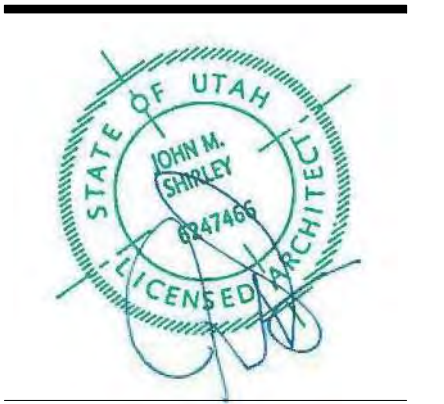


Architecture  
Interior Design  
Landscape Architecture  
Land Planning  
Construction Management

7927 So. Highpoint Parkway, Suite 300  
Sandwich, Utah 84094  
ph. 801.269.0555  
fax 801.269.1425  
www.thinkaia.com

The designs shown and described herein including all technical drawings, graphic representation & models thereof, are proprietary & can not be copied, duplicated, or commercially reproduced in whole or in part without the sole and express written permission from THINK Architecture, Inc.

These drawings are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors, and office personnel only in accordance with this notice.



WARM SPRINGS RESIDENCE #33

170 BALD MOUNTAIN ROAD  
KETCHUM, IDAHO 83340

PROJECT NC22023.33  
DATE: 2023.12.27  
REVISIONS:

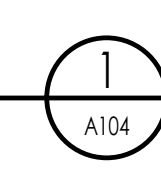
SHEET TITLE:  
LEVEL 1 FLOOR PLAN

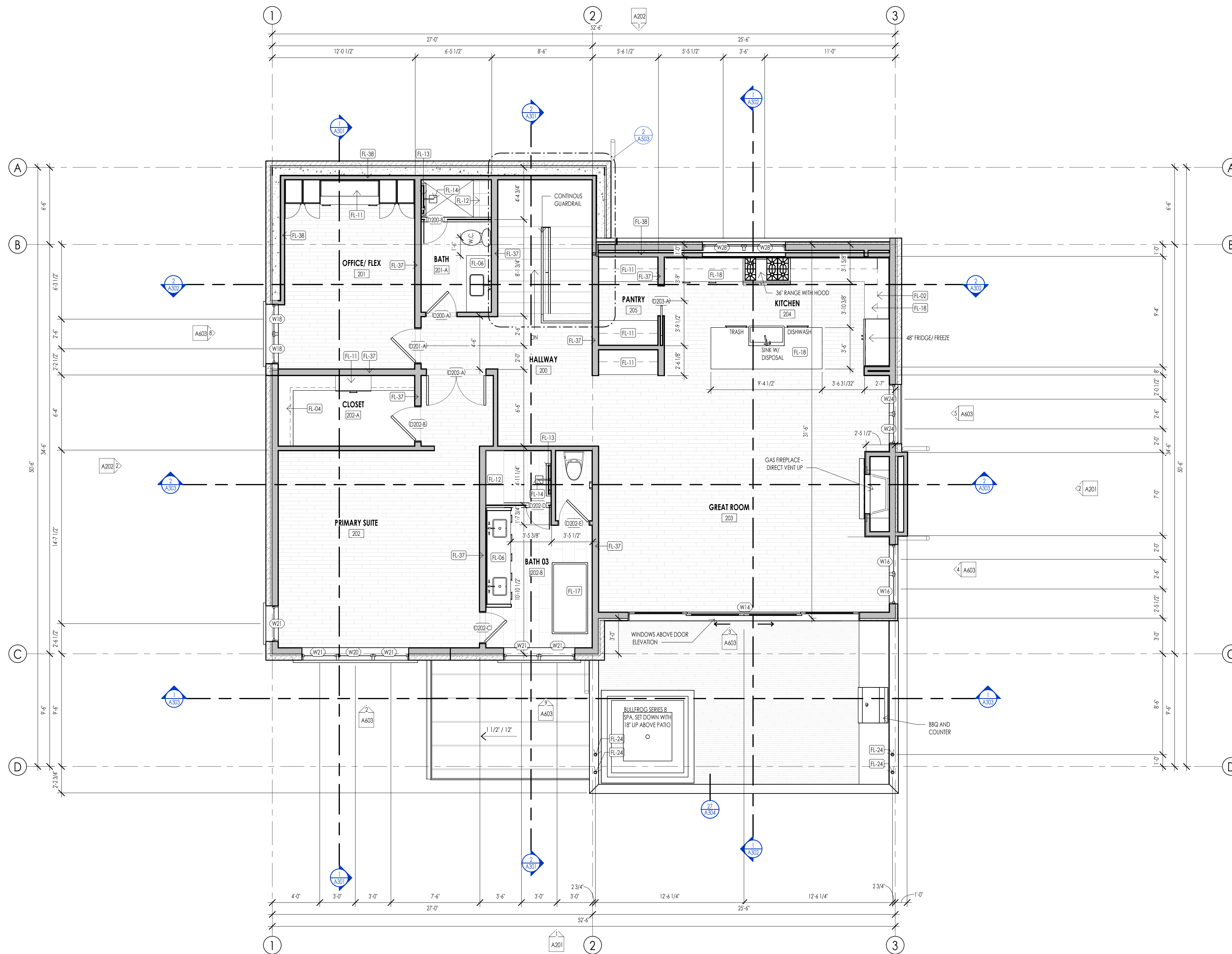
SHEET NUMBER:  
A104

PERMIT SET

© 2023 THINK ARCHITECTURE, INC.

LEVEL 1 - FLOOR PLAN  
1/4" = 1'-0"





LEVEL 2 - FLOOR PLAN  
1/4" = 1'-0"

FLOOR PLAN LEGEND			
HATCH PATTERN	DESCRIPTION	HATCH PATTERN	DESCRIPTION
[Hatch Pattern]	POURED IN PLACE CONCRETE WALL	[Hatch Pattern]	CARPET FINISH
[Hatch Pattern]	CMU BLOCK WALL	[Hatch Pattern]	TILE FINISH
[Hatch Pattern]	STONE VENEER	[Hatch Pattern]	EXTERIOR CONCRETE SLABS
[Hatch Pattern]	METAL STUD WALL		
[Hatch Pattern]	WOOD STUD WALL		

- FLOOR PLAN GENERAL NOTES**
- ALL DIMENSIONS ARE TO INTERIOR FACE-OF-STUD (F.O.S.) UNLESS NOTED OTHERWISE.
  - CEILING HEIGHTS MEASURED FROM FLYWOOD OR CONCRETE - SEE SECTIONS.
  - REFER TO ENLARGED PLANS FOR ALL UNIT DIMENSIONS, WINDOW TYPES, DOORS AND WALLS.
  - REFER TO ENLARGED PLANS FOR ALL DECKS/PATIOS.
  - COORDINATE WITH ALL ENLARGED PLANS FOR ADDITIONAL INFORMATION AND DETAILS.
  - ALL TOPPING SLABS MUST BE POURED AFTER ROOF IS COMPLETE AND BUILDING IS DRIED IN.
  - SEE SHEET A002 FOR PROJECT GENERAL NOTES AND SHEET A003 FOR PROJECT KEYNOTES. REVIEW ALL NOTES PRIOR TO CONSTRUCTION.
  - COORDINATE WITH STRUCTURAL FRAMING PLANS AND SHEAR WALL PLANS FOR LOCATIONS OF COLUMNS, BEAMS, SHEAR WALLS, ETC.
  - COORDINATE WITH BUILDER/OWNER FOR ALL INTERIOR FINISHES.
  - COORDINATE WITH ELECTRICAL DRAWINGS FOR ALL LIGHTING, POWER AND DATA REQUIREMENTS.
  - ALL EXTERIOR WALLS ARE ASSUMED TO BE 2X6 STUD WALLS UNLESS SHOWN/NOTED OTHERWISE.
  - ALL INTERIOR WALLS ARE ASSUMED TO BE 2X4 STUD WALLS UNLESS SHOWN/NOTED OTHERWISE.
  - ALL ROOF TRUSSES TO HAVE RAISED ENERGY HEEL CONSTRUCTION TO ALLOW FOR FULL DEPTH INSULATION OVER EXTERIOR WALLS (COORDINATE INSULATION REQUIREMENTS WITH RESCHECKS).

**FLOOR PLAN KEYNOTES**

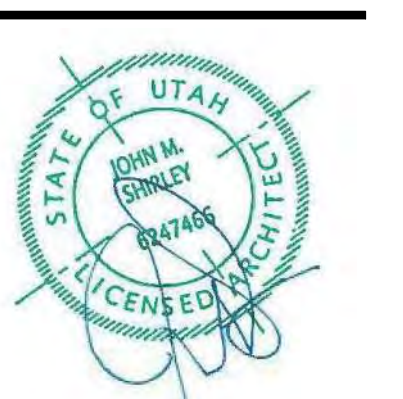
KEYNOTES	
FL-02	OVERHEAD CABINETS PROJECTION
FL-04	CLOSET SHELVING ROD - PER INTERIOR DESIGNER
FL-06	BATHROOM SINK - VANITY PER INTERIOR DESIGNER
FL-11	CABINET SYSTEM SHELVING PER INTERIOR DESIGNER
FL-12	PROVIDE SHOWER BENCH AS PER OWNER/INTERIOR DESIGNER
FL-13	PROVIDE "SCHLTER" KEROLINE LINEAR TRENCH DRAIN AGAINST BENCH, INTERIOR DESIGNER TO PROVIDE DRAIN COVER SPEC.
FL-14	SHOWER HEAD PER INTERIOR DESIGNER
FL-17	TUB/ SOAKER TUB AS PER INTERIOR DESIGNER
FL-18	KITCHEN SINK W/DISPOSAL - COUNTERTOP - CABINETS PER INTERIOR DESIGNER
FL-24	STRUCTURAL HOLLOW COLUMNS AS PER STRUCT.
FL-37	2X6 STUD WALL ROUGH FRAMING, 16" O.C. U.N.O. SEE DETAILS.
FL-38	2X4 BASEMENT STUD FURRING WALL, 16" O.C. SEE DETAILS.



**Think Architecture**  
 Architecture  
 Interior Design  
 Landscape Architecture  
 Land Planning  
 Construction Management

7927 So. Highpoint Parkway, Suite 300  
 Sandy, Utah 84094  
 ph. 801.269.0555  
 fax 801.269.1425  
 www.thinkaec.com

The designs shown and described herein including all technical drawings, graphic representations & models thereof, are proprietary & can not be copied, duplicated, or commercially reproduced in whole or in part without the sole and express written permission from THINK Architecture, Inc.  
 These drawings are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors, and office personnel only in accordance with this notice.



WARM SPRINGS RESIDENCE #33

170 BALD MOUNTAIN ROAD  
 KETCHUM, IDAHO 83340

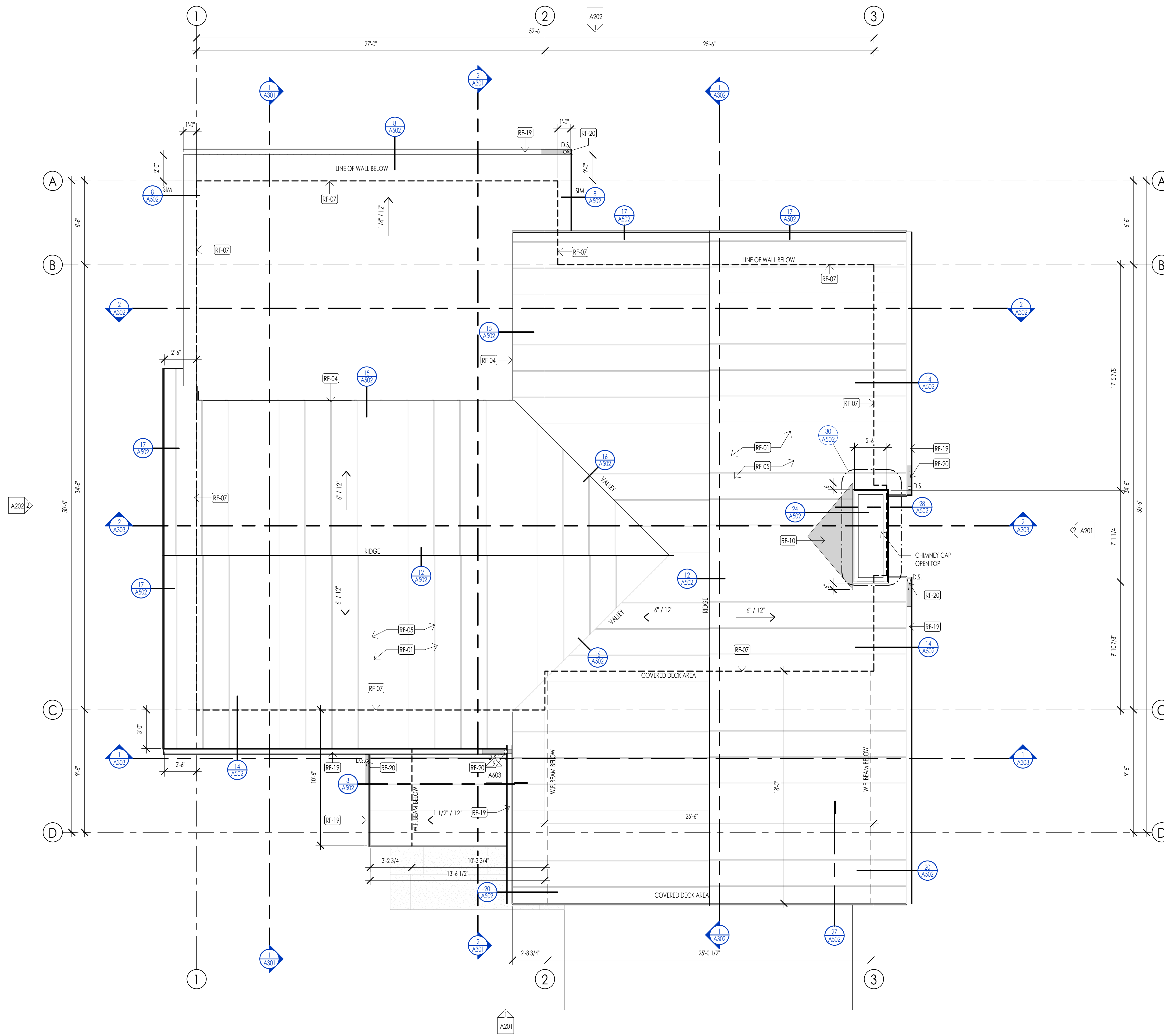
PROJECT NC22023.33  
 DATE: 2023.12.27  
 REVISIONS:

SHEET TITLE:  
 LEVEL 2 FLOOR PLAN

SHEET NUMBER:  
 A105

PERMIT SET

© 2021 THINK ARCHITECTURE, INC.



ROOF PLAN LEGEND			
HATCH PATTERN	DESCRIPTION	HATCH PATTERN	DESCRIPTION
[Hatch Pattern]	SINGLE PLY ROOFING MEMBRANE WITH GRAVEL BALLAST	[Hatch Pattern]	
[Hatch Pattern]	STANDING SEAM METAL ROOFING SYSTEM	[Hatch Pattern]	
[Hatch Pattern]	RAIN GUTTER WITH DOWN SPOUT	[Hatch Pattern]	

- ROOF PLAN GENERAL NOTES**
- SEE SHEET C002 FOR PROJECT GENERAL NOTES. REVIEW ALL NOTES PRIOR TO CONSTRUCTION.
  - FLASH ALL ROOF PENETRATIONS WHETHER SHOWN OR NOT.
  - COORDINATE WITH MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR ALL ROOF PENETRATIONS.
  - PROVIDE HEAT TRACE IN ALL RAIN GUTTERS, DOWN SPOUTS AND RAIN CHAINS.
  - ROOFING CONTRACTOR SHALL REVIEW ALL SUBSTRATES PRIOR TO BEGINNING WORK.
  - ALL ROOFING SHALL BE REVIEWED PRIOR TO INSTALLATION.
  - CONTRACTOR IS RESPONSIBLE TO ASSUME THAT NO ROOF SLOPES CREATE DEAD SPOTS OR LOW SPOTS THAT WILL PREVENT DRAINAGE.
  - ALL ROOF TRUSSES TO HAVE RAISED ENERGY HEEL CONSTRUCTION TO ALLOW FOR FULL DEPTH INSULATION OVER EXTERIOR WALLS (COORDINATE INSULATION REQUIREMENTS WITH RESCHECKS).
  - DIMENSIONS SHOWN ON THE ROOF PLAN ARE FROM THE EXTERIOR SIDE OF THE STUD FRAMING BELOW.

**ROOF PLAN KEYNOTES**

KEYNOTES	
RF-01	ROOFING SHALL BE INSTALLED OVER CONTINUOUS BITUMENE UNDERLAYMENT AND 30# SLIP SHEET AT METAL ROOF - 8500 INSULATION PER SCHEDULE.
RF-04	CONTRACTOR SHALL EXTEND UNDERLAYMENT AND BITUMENE WATERPROOFING UP VERTICAL WALLS ADJACENT TO ROOF A MINIMUM OF 2' U.N.O. ON DETAILS.
RF-05	ALL PENETRATIONS BY MECHANICAL DUCTWORK OR VENTING SHALL BE FLASHED AS PER MANUFACTURER SPECIFICATIONS - CONTRACTOR TO COORDINATE.
RF-07	LINE OF WALL BELOW ROOF - SEE OVERALL AND ENLARGED PLANS.
RF-10	CRICKET, AS INDICATED BY HATCHED AREA - MAINTAIN DRAINAGE AWAY FROM ALL CHIMNEY PENETRATIONS. SLOPE AND ROOFING MATERIAL OF CRICKETS SHALL MATCH THAT OF PRIMARY ROOF (MIN).
RF-19	CONTINUOUS METAL GUTTER TO SLOPE TO DOWNSPOUTS - CONTRACTOR TO COORDINATE.
RF-20	ROOF DOWNSPOUT - SEE DETAILS AND SPECIFICATIONS.



Architecture  
Interior Design  
Landscape Architecture  
Land Planning  
Construction Management

7927 So. Highpoint Parkway, Suite 300  
Sandwich, Utah 84094  
ph. 801.269.0555  
fax 801.269.1425  
www.thinkaec.com

The designs shown and described herein including all technical drawings, graphic representation & models thereof, are proprietary & can not be copied, duplicated, or commercially exploited in whole or in part without the sole and express written permission from THINK Architecture, Inc.

These drawings are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors, and office personnel only in accordance with this notice.



WARM SPRINGS RESIDENCE #33  
 170 BALD MOUNTAIN ROAD  
 KETCHUM, IDAHO 83340

PROJECT NC22023.33  
DATE: 2023.12.27  
REVISIONS:

SHEET TITLE:  
ROOF PLAN

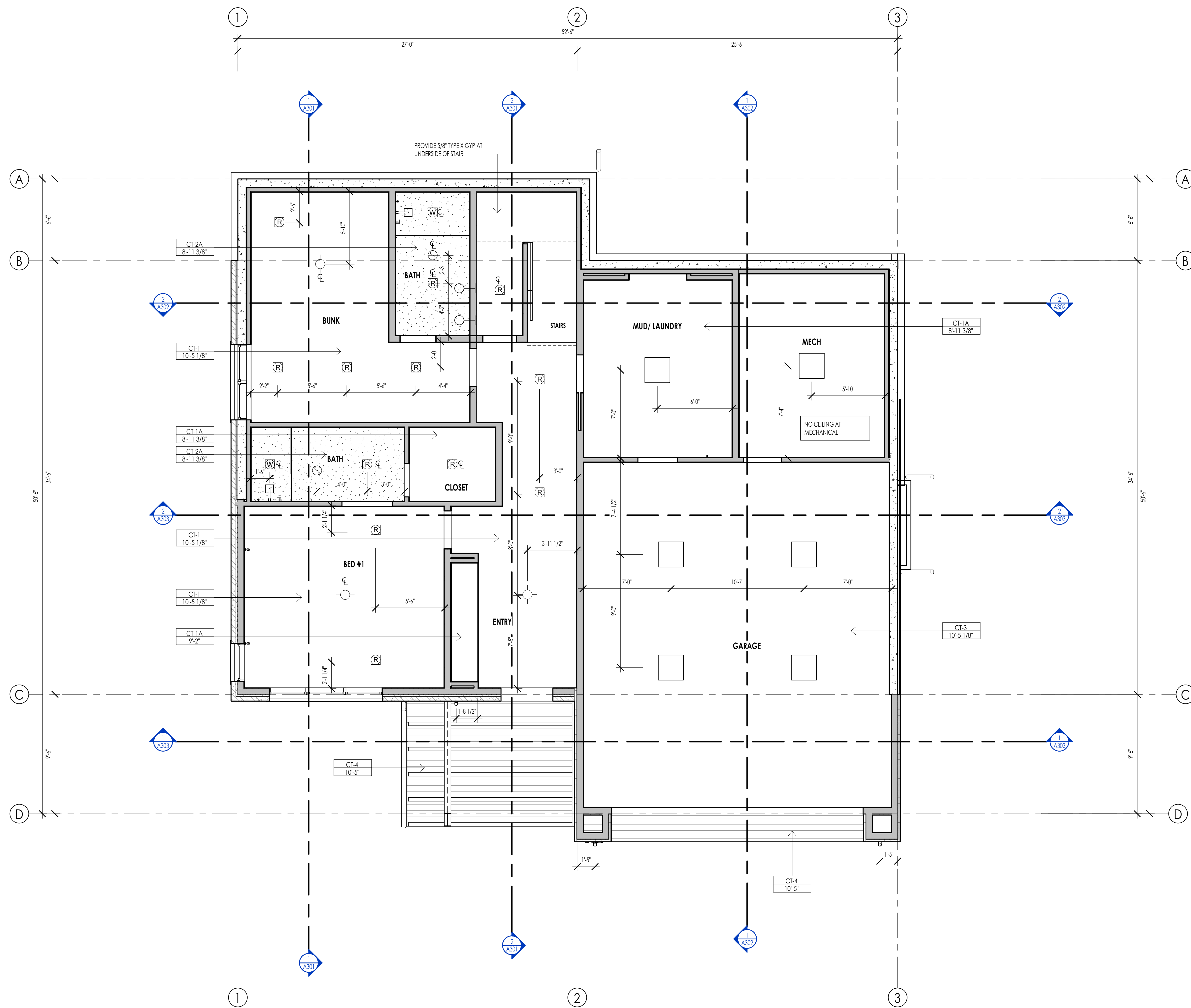
SHEET NUMBER:  
A107

© 2021 THINK ARCHITECTURE, INC.

ROOF PLAN  
1/4" = 1'-0"



PERMIT SET



REFLECTED CEILING PLAN MATERIAL LEGEND					
HATCH PATTERN	TYPE	DESCRIPTION	HATCH PATTERN	TYPE	DESCRIPTION
[Hatch Pattern]	CT-1	5/8" GYPSUM BOARD AT FRAMING	[Hatch Pattern]	CT-4A	3/4" T+G SOFFIT Z44
[Hatch Pattern]	CT-1A	5/8" GYPSUM BOARD Z44	[Hatch Pattern]	CT-4	EXPOSED STRUCTURE
[Hatch Pattern]	CT-2	5/8" WATER RESISTANT GYPSUM BOARD AT FRAMING			
[Hatch Pattern]	CT-2A	5/8" WATER RESISTANT GYPSUM BOARD Z44			
[Hatch Pattern]	CT-3	5/8" GYPSUM BOARD TYPE "X" AT FRAMING			
[Hatch Pattern]	CT-4	3/4" T+G SOFFIT AT FRAMING			

- REFLECTED CEILING PLAN GENERAL NOTES**
1. ALL DIMENSIONS ARE TO INTERIOR FACE-OF-STUD (F.O.S.) UNLESS NOTED OTHERWISE.
  2. ALL CEILING HEIGHTS MEASURED FROM TOP OF PLYWOOD OR CONCRETE SLAB TO BOTTOM OF CEILING FRAMING, U.N.O. - SEE SECTIONS.
  3. REFER TO ENLARGED PLANS FOR ALL UNIT DIMENSIONS, WINDOW TYPES, DOORS AND WALLS.
  4. REFER TO ENLARGED PLANS FOR ALL DECKS.
  5. COORDINATE WITH ALL ENLARGED PLANS FOR ADDITIONAL INFORMATION AND DETAILS.
  6. SEE SHEET G002 FOR PROJECT SPECIFICATION LIST. REVIEW ALL NOTES PRIOR TO CONSTRUCTION.
  7. COORDINATE WITH ELECTRICAL DRAWINGS FOR ALL LIGHTING, POWER AND DATA REQUIREMENTS.
  8. ALL INTERIOR FINISHES ARE NOTED FOR CONCEPT ONLY. SEE INTERIOR DRAWINGS FOR MATERIAL SPECIFICATIONS, COLORS, PATTERNS, AND OTHER REQUIREMENTS PRIOR TO INSTALLATION.
- | CEILING TAG SYMBOL | DESCRIPTION  |
|--------------------|--------------|
| CT-1               | CEILING TYPE |
| 1'-0"              | HEIGHT       |

**REFLECTED CEILING PLAN KEYNOTES**

KEYNOTES

---

PROJECT NC22023.33  
 DATE: 2023.12.27  
 REVISIONS:

---

SHEET TITLE:  
 LEVEL 1 CEILING PLAN

---

SHEET NUMBER:  
 A109

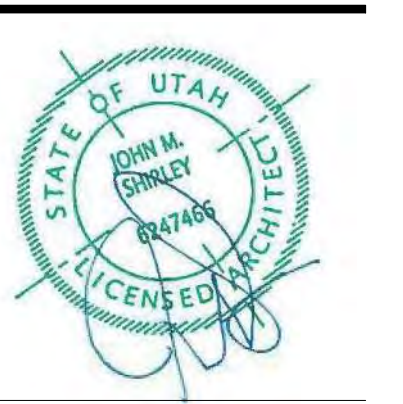
---

© 2021 THINK ARCHITECTURE INC.



Architecture  
 Interior Design  
 Landscape Architecture  
 Land Planning  
 Construction Management

7927 So. Highpoint Parkway, Suite 300  
 Sandy, Utah 84094  
 ph. 801.269.0555  
 fax 801.269.1425  
 www.thinkaec.com



WARM SPRINGS RESIDENCE #33

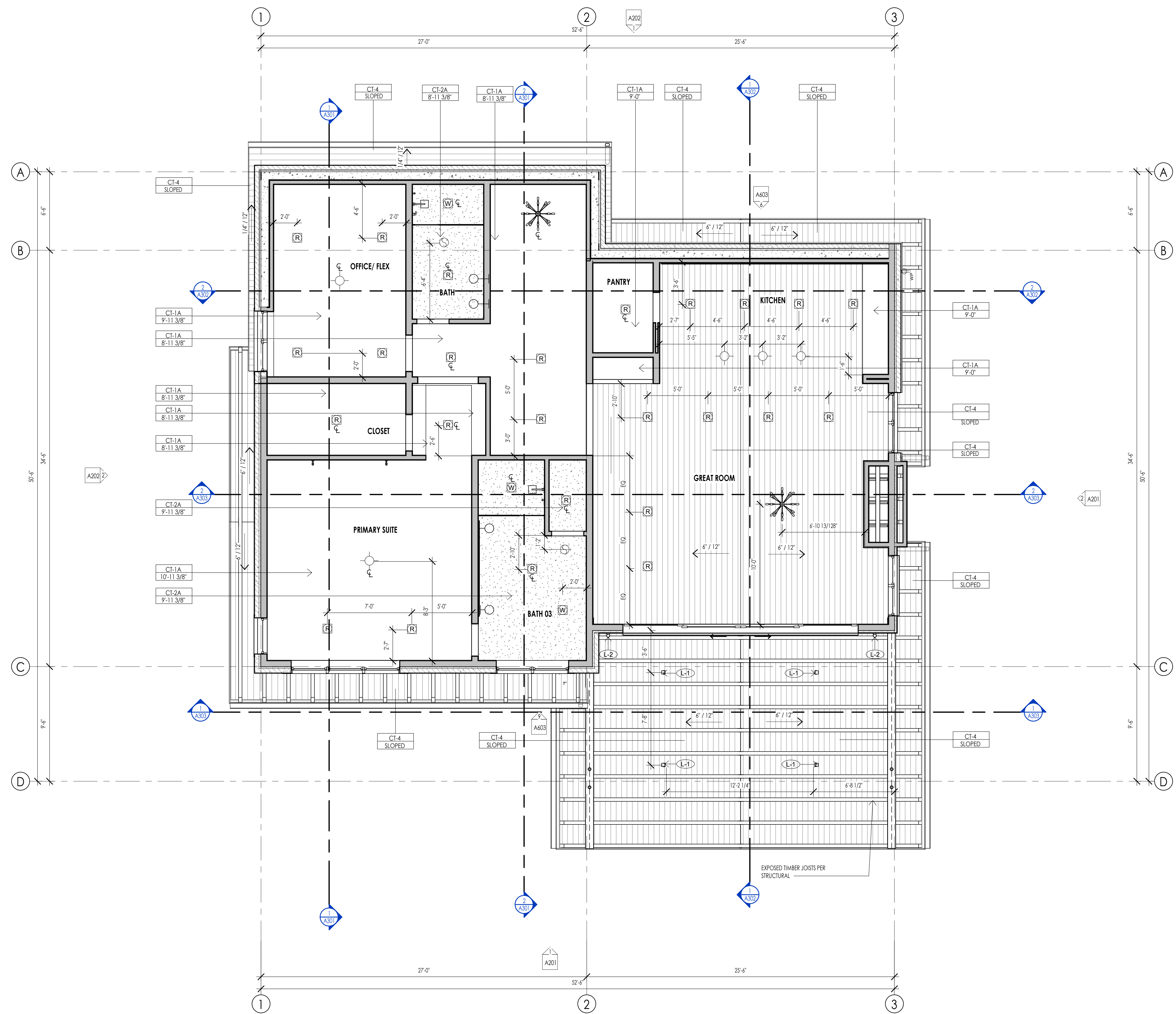
170 BALD MOUNTAIN ROAD  
 KETCHUM, IDAHO 83340

LEVEL 1 - REFLECTED CEILING PLAN  
 1/4" = 1'-0"

1  
 A109

PERMIT SET





REFLECTED CEILING PLAN MATERIAL LEGEND					
HATCH PATTERN	TYPE	DESCRIPTION	HATCH PATTERN	TYPE	DESCRIPTION
[Hatch Pattern]	CT-1	5/8" GYPSUM BOARD AT FRAMING	[Hatch Pattern]	CT-4A	3/4" T+G SOFFIT ZK4
[Hatch Pattern]	CT-1A	5/8" GYPSUM BOARD ZK4	[Hatch Pattern]	CT-4	EXPOSED STRUCTURE
[Hatch Pattern]	CT-2	5/8" WATER RESISTANT GYPSUM BOARD AT FRAMING			
[Hatch Pattern]	CT-2A	5/8" WATER RESISTANT GYPSUM BOARD ZK4			
[Hatch Pattern]	CT-3	5/8" GYPSUM BOARD TYPE "X" AT FRAMING			
[Hatch Pattern]	CT-4	3/4" T+G SOFFIT AT FRAMING			

- REFLECTED CEILING PLAN GENERAL NOTES**
1. ALL DIMENSIONS ARE TO INTERIOR FACE-OF-STUD (F.O.S.) UNLESS NOTED OTHERWISE.
  2. ALL CEILING HEIGHTS MEASURED FROM TOP OF PLYWOOD OR CONCRETE SLAB TO BOTTOM OF CEILING FRAMING, U.N.O. - SEE SECTIONS.
  3. REFER TO ENLARGED PLANS FOR ALL UNIT DIMENSIONS, WINDOW TYPES, DOORS AND WALLS.
  4. REFER TO ENLARGED PLANS FOR ALL DECKS.
  5. COORDINATE WITH ALL ENLARGED PLANS FOR ADDITIONAL INFORMATION AND DETAILS.
  6. SEE SHEET G002 FOR PROJECT SPECIFICATION LIST. REVIEW ALL NOTES PRIOR TO CONSTRUCTION.
  7. COORDINATE WITH ELECTRICAL DRAWINGS FOR ALL LIGHTING, POWER AND DATA REQUIREMENTS.
  8. ALL INTERIOR FINISHES ARE NOTED FOR CONCEPT ONLY. SEE INTERIOR DRAWINGS FOR MATERIAL SPECIFICATIONS, COLORS, PATTERNS, AND OTHER REQUIREMENTS PRIOR TO INSTALLATION.
- | CEILING TAG SYMBOL | DESCRIPTION  |
|--------------------|--------------|
| CT-1               | CEILING TYPE |
| 1'-0"              | HEIGHT       |

**REFLECTED CEILING PLAN KEYNOTES**

WARM SPRINGS RESIDENCE #33

170 BALD MOUNTAIN ROAD  
KETCHUM, IDAHO 83340

PROJECT NC22023.33  
DATE: 2023.12.27  
REVISIONS:

SHEET TITLE:  
LEVEL 2 CEILING PLAN

SHEET NUMBER:  
A110

© 2021 THINK ARCHITECTURE, INC.



WARM SPRINGS RESIDENCE #33

170 BALD MOUNTAIN ROAD  
KETCHUM, IDAHO 83340

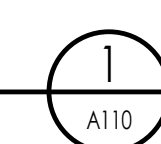
PROJECT NC22023.33  
DATE: 2023.12.27  
REVISIONS:

SHEET TITLE:  
LEVEL 2 CEILING PLAN

SHEET NUMBER:  
A110

© 2021 THINK ARCHITECTURE, INC.

LEVEL 2 - REFLECTED CEILING PLAN  
1/4" = 1'-0"





Architecture  
Interior Design  
Landscape Architecture  
Land Planning  
Construction Management

7927 So. Highpoint Parkway, Suite 300  
Scotty, Utah 84094  
ph. 801.269.0555  
fax 801.269.1425  
www.thinkaec.com

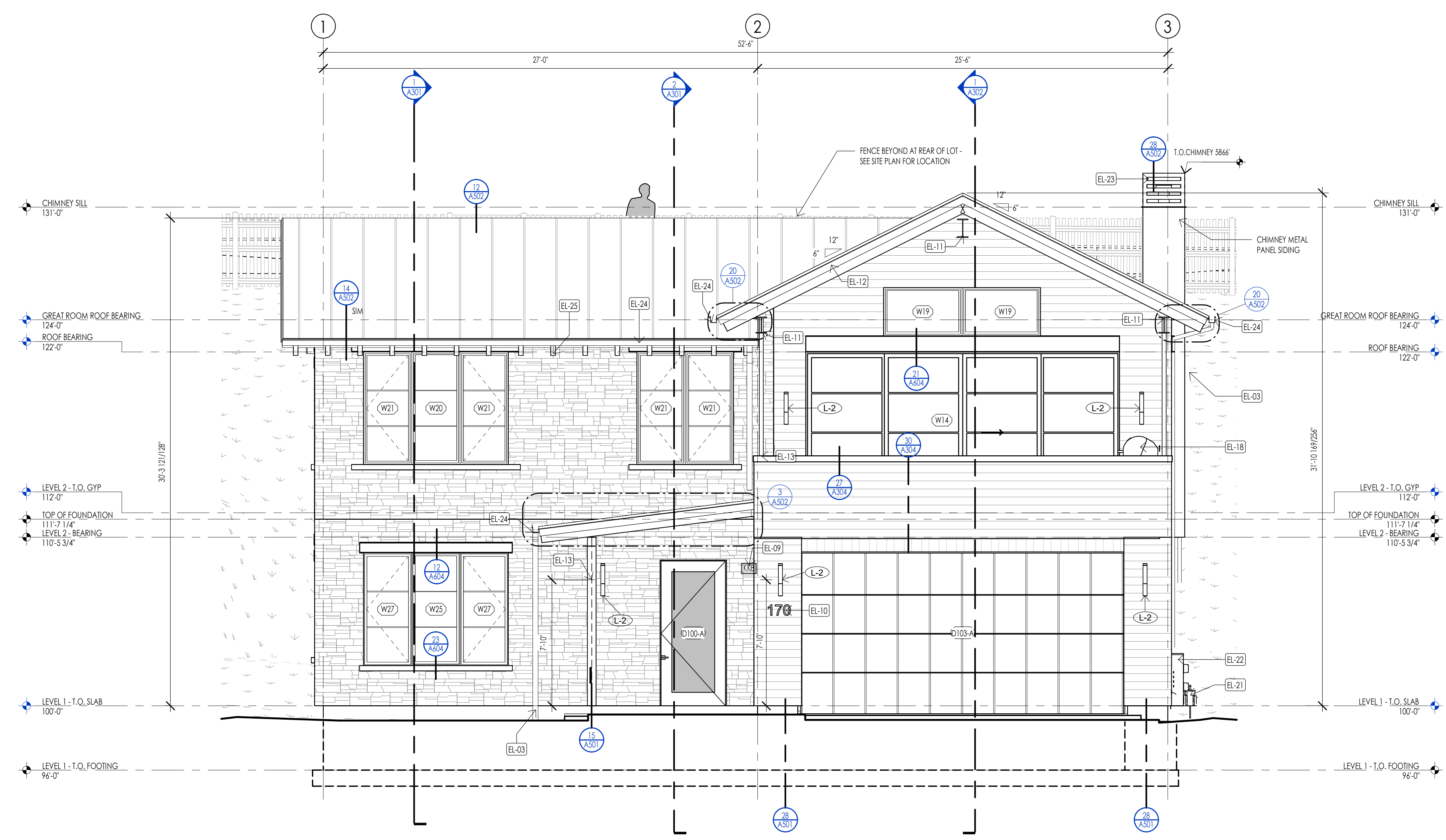
The designs shown and described herein including all technical drawings, graphic representation & models thereof, are proprietary & can not be copied, duplicated, or commercially reproduced in whole or in part without the sole and express written permission from THINK Architecture, Inc.  
These drawings are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors, and office personnel only in accordance with this notice.



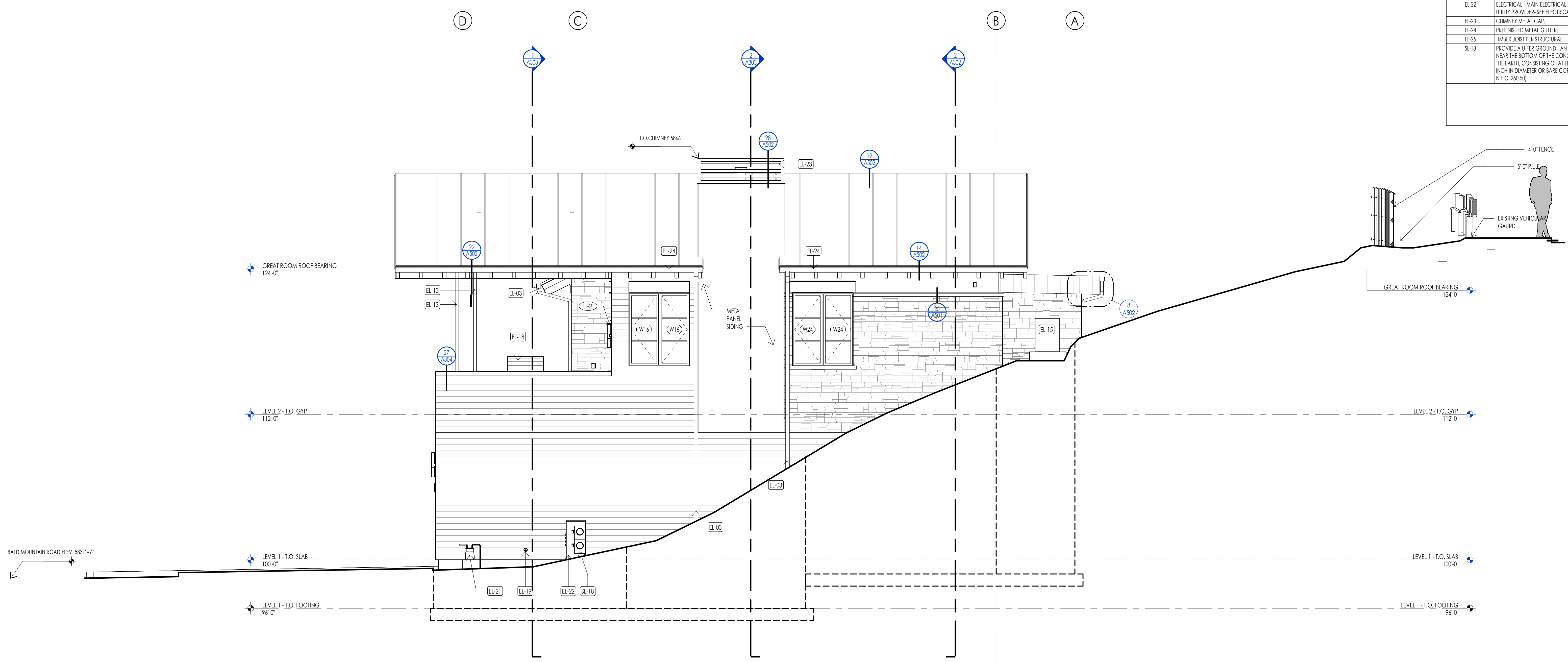
ELEVATION/ SECTION MATERIAL LEGEND	
HATCH PATTERN	DESCRIPTION
	METAL PANEL SIDING SYSTEM
	SINGLE PLY ROOFING MEMBRANE SYSTEM WITH GRAVEL BALLAST
	2x4 CEDAR CHANNEL LAP HORIZONTAL SIDING SYSTEM WITH SQUARE EDGES
	EXTERIOR STONE VENEER

NOTE: REFER TO MATERIAL SPECIFICATIONS DOCUMENT FOR DETAILED INFORMATION REGARDING EACH FINISH MATERIAL.

ELEVATION/ SECTION KEYNOTES	
KEYNOTES	
EL-03	CONNECT DOWNSPOUT TO STORM DRAIN CONNECTION AT GRADE. SEE CIVIL PLANS FOR HOOKUP
EL-09	AN APPROVED KEY BOX SHALL BE INSTALLED, WITH THE APPROPRIATE KEYS FOR EMERGENCY FIRE DEPARTMENT ACCESS IN A LOCATION APPROVED BY THE FIRE DEPARTMENT. THE KEY BOX SHALL BE A 1/2" THICK BOX BRAND AND SIZED TO ACCOMMODATE KEYS TO EVERY DOOR OF THE PROJECT. LOCATION NO MORE THAN 3FT HOR. FROM MAIN DOOR AND NO MORE THAN 5.9FT VERTICAL. VERIFY LOCAL CODE.
EL-10	APPROVED ADDRESS NUMBERS SHALL BE PLACED IN SUCH A POSITION TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE ROAD FRONTING THE PROPERTY. NUMBERS AND LETTERS SHALL BE A MINIMUM OF FOUR (4) INCHES TALL, HAVE A MINIMUM 1/8" BRUSH STROKE, CONTRAST WITH THEIR BACKGROUND, AND BE POSITIONED A MINIMUM OF FORTY-EIGHT (48) INCHES ABOVE FINAL GRADE.
EL-11	STEEL BEAM. SEE STRUCTURAL TO BE PRIMED AND PAINTED AT ALL EXTERIOR LOCATIONS-PAIN COLOR PER OWNER.
EL-12	PREFINISHED METAL FASCIA.
EL-13	STEEL PIPE COLUMN. SEE STRUCTURAL TO BE PRIMED AND PAINTED AT ALL EXTERIOR LOCATIONS-PAIN COLOR PER OWNER.
EL-15	MECHANICAL AIR CONDITIONER UNIT- SEPARATION BETWEEN UNITS AND MAINTENANCE CLEARANCES PER MANUF.
EL-18	BRO-GRILL AS SELECTED BY OWNER.
EL-19	OVERFLOW URN DOWNSPOUT- PLUMBING.
EL-21	GAS METER. INSTALLED AND COORDINATED AS REQUIRED BY UTILITY PROVIDER - PROVIDE PROTECTIVE COVER (SHOWN DASHED) AS REQUIRED BY UTILITY PROVIDER.
EL-22	ELECTRICAL - MAIN ELECTRICAL PANEL WITH METER - INSTALLED AND COORDINATED AS REQUIRED BY UTILITY PROVIDER-SEE ELECTRICAL.
EL-23	CHIMNEY METAL CAP.
EL-24	PREFINISHED METAL GUTTER.
EL-25	TIMBER JOIST PER STRUCTURAL.
SL-18	PROVIDE A U-FER GROUND. AN ELECTRODE ENCASED BY A LEAST 2" OF CONCRETE SHALL BE LOCATED NEAR THE BOTTOM OF THE CONCRETE FOUNDATION SYSTEM AND SHALL BE IN DIRECT CONTACT WITH THE EARTH, CONSISTING OF AT LEAST 20 FEET OF BARE ELECTRICALLY CONDUCTIVE ROD AT LEAST 1/2" INCH IN DIAMETER OR BARE COPPER CONDUCTOR NOT SMALLER THAN #4 AWG. (I.R.C. E3308.1.2 AND N.E.C. 250.50)



**SOUTH ELEVATION**  
1/4" = 1'-0" 1 A201



**EAST ELEVATION**  
1/4" = 1'-0" 2 A201

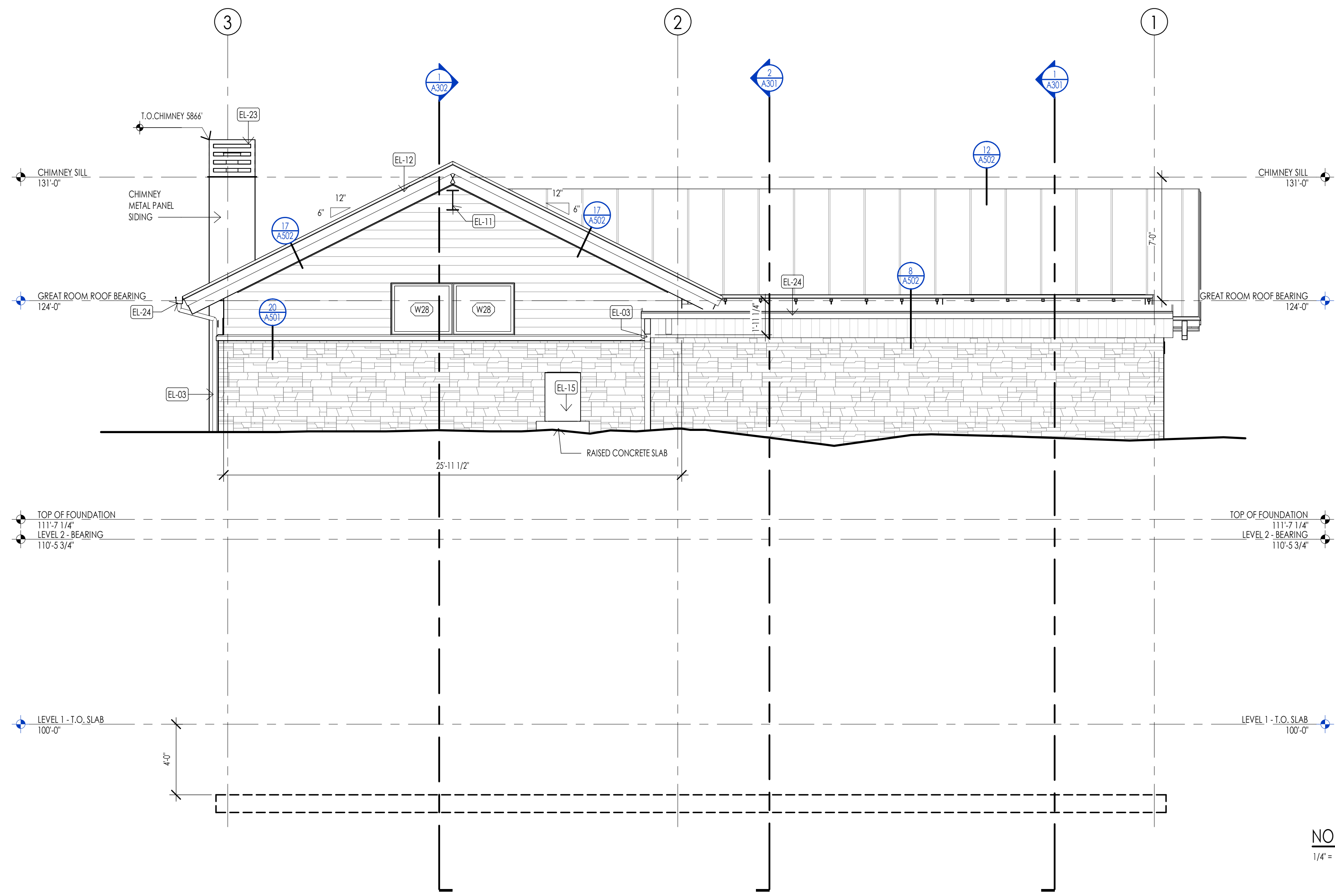
**WARM SPRINGS RESIDENCE #33**  
170 BALD MOUNTAIN ROAD  
KETCHUM, IDAHO 83340

PROJECT NC22023.33  
DATE: 2023.12.27  
REVISIONS:

SHEET TITLE:  
EXTERIOR ELEVATIONS

SHEET NUMBER:  
**A201**

© 2021 THINK ARCHITECTURE, INC.

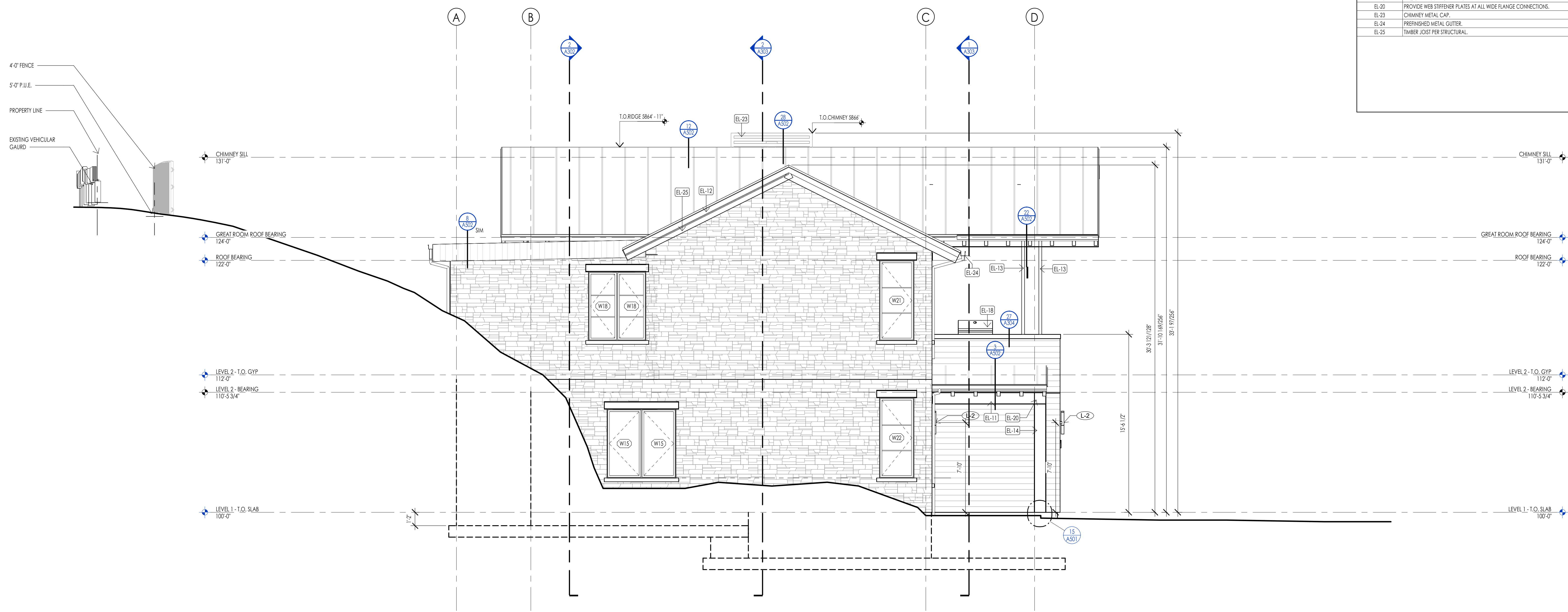


NORTH ELEVATION  
1/4" = 1'-0"

ELEVATION/ SECTION MATERIAL LEGEND	
HATCH PATTERN	DESCRIPTION
[Hatch Pattern]	METAL PANEL SIDING SYSTEM
[Hatch Pattern]	SINGLE PLY ROOFING MEMBRANE SYSTEM WITH GRAVEL BALLAST
[Hatch Pattern]	2X4 CEDAR CHANNEL LAP HORIZONTAL SIDING SYSTEM WITH SQUARE EDGES
[Hatch Pattern]	EXTERIOR STONE VENEER

ELEVATION/ SECTION KEYNOTES	
KEYNOTES	
EL-03	CONNECT DOWNPOL TO STORM DRAIN CONNECTION AT GRADE. SEE CIVIL PLANS FOR HOOKUP PER OWNER.
EL-11	STEEL BEAM. SEE STRUCTURAL TO BE PRIMED AND PAINTED AT ALL EXTERIOR LOCATIONS PAINT COLOR PER OWNER.
EL-12	PREFINISHED METAL FASCIA.
EL-13	STEEL PIPE COLUMN. SEE STRUCTURAL TO BE PRIMED AND PAINTED AT ALL EXTERIOR LOCATIONS PAINT COLOR PER OWNER.
EL-14	STEEL COLUMN. SEE STRUCTURAL TO BE PRIMED AND PAINTED AT ALL EXTERIOR LOCATIONS PAINT COLOR PER OWNER.
EL-15	MECHANICAL AIR CONDITIONER UNIT. SEPARATION BETWEEN UNITS AND MAINTENANCE CLEARANCES PER MANUF.
EL-18	BIG GRILL AS SELECTED BY OWNER.
EL-20	PROVIDE WEB STIFFENER PLATES AT ALL WIDE RANGE CONNECTIONS.
EL-23	CHIMNEY METAL CAP.
EL-24	PREFINISHED METAL GUTTER.
EL-25	TIMBER JOIST PER STRUCTURAL.



WEST ELEVATION  
1/4" = 1'-0"

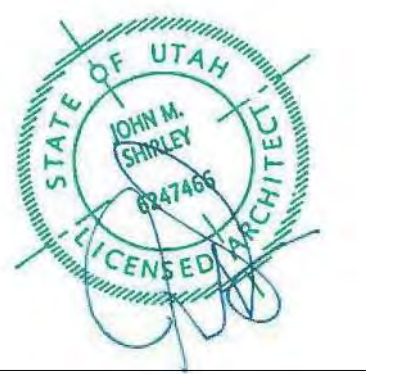


Architecture  
Interior Design  
Landscape Architecture  
Land Planning  
Construction Management

7927 So. Highpoint Parkway, Suite 300  
Sandwich, Utah 84094  
ph. 801.269.0555  
fax 801.269.1425  
www.thinkaec.com

The designs shown and described herein including all technical drawings, graphic representation & models thereof, are proprietary & can not be copied, duplicated or commercially reproduced in whole or in part without the sole and express written permission from THINK ARCHITECTURE, INC.

These drawings are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors, and office personnel only in accordance with this notice.



WARM SPRINGS RESIDENCE #33

170 BALD MOUNTAIN ROAD  
KETCHUM, IDAHO 83340

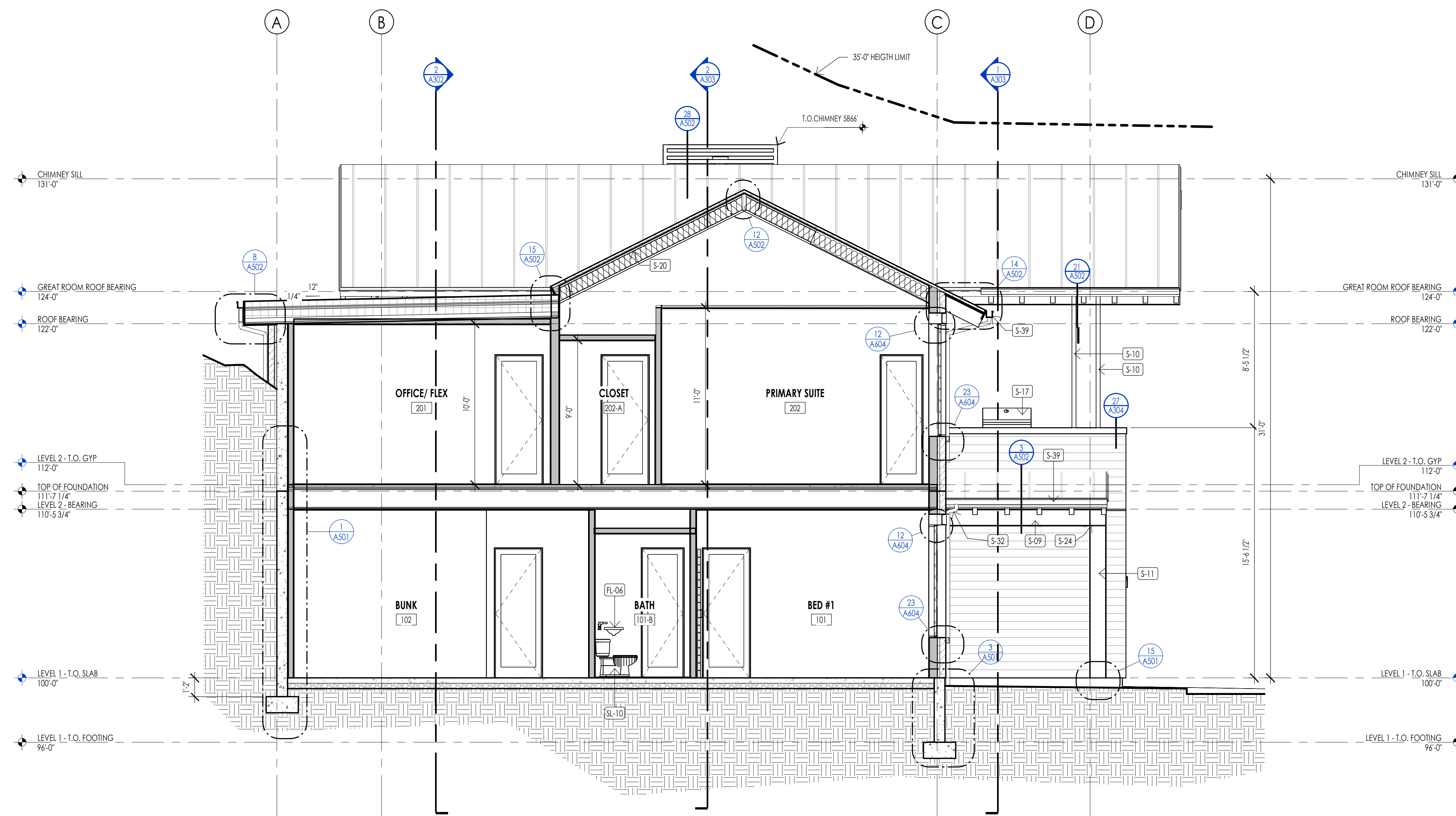
PROJECT NC22023.33  
DATE: 2023.12.27  
REVISIONS:

SHEET TITLE:  
EXTERIOR ELEVATIONS

SHEET NUMBER:  
A202

© 2021 THINK ARCHITECTURE, INC.

PERMIT SET

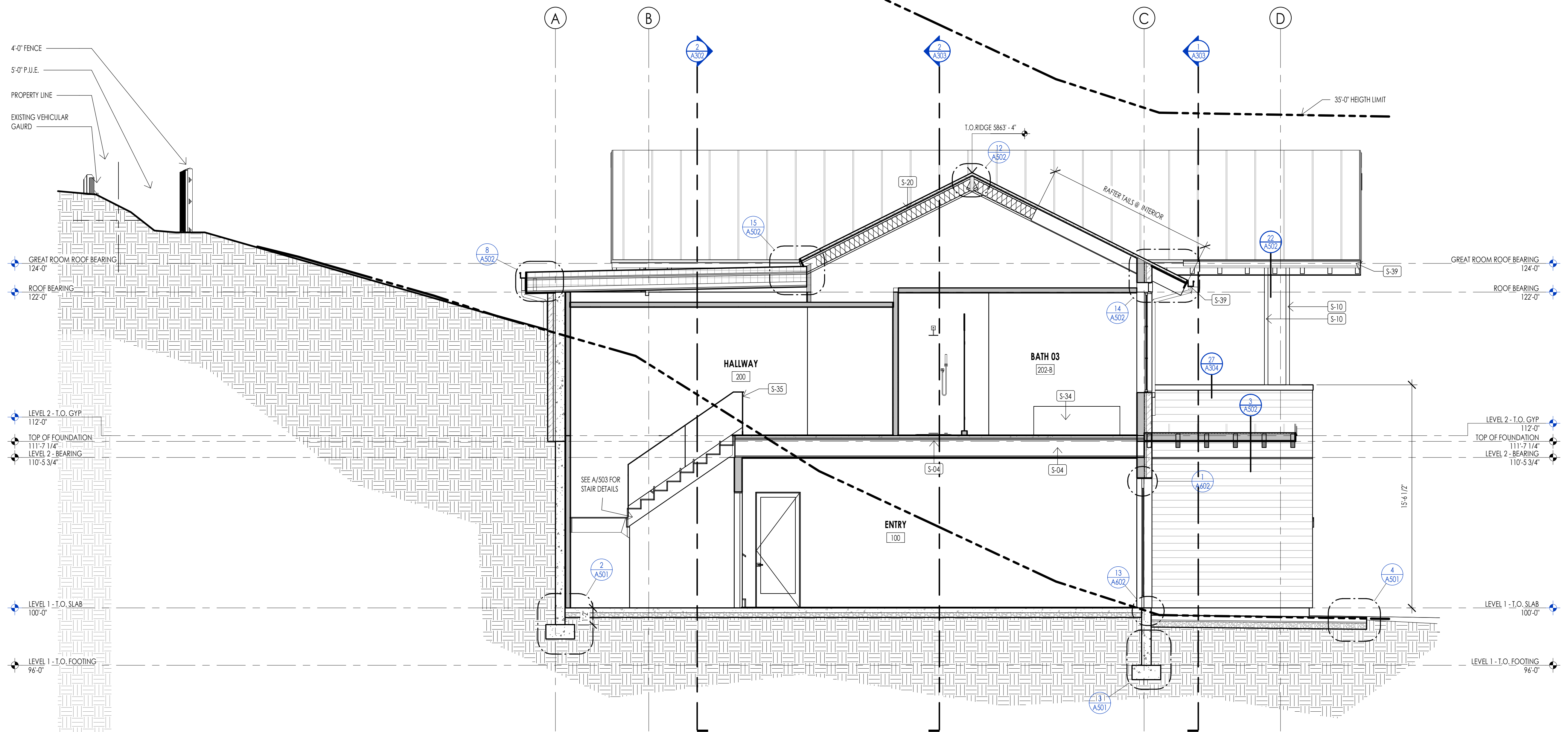


Section 1  
1/4" = 1'-0"

ELEVATION/ SECTION MATERIAL LEGEND	
HATCH PATTERN	DESCRIPTION
[Hatch Pattern]	METAL PANEL SIDING SYSTEM
[Hatch Pattern]	SINGLEPLY ROOFING MEMBRANE SYSTEM WITH GRAVEL BALLAST
[Hatch Pattern]	2X4 CEDAR CHANNEL LAP HORIZONTAL SIDING SYSTEM WITH SQUARE EDGES
[Hatch Pattern]	EXTERIOR STONE VENEER

ELEVATION/ SECTION KEYNOTES	
KEYNOTES	
FL-04	BATHROOM SINK - VANITY PER INTERIOR DESIGNER
S-04	PROVIDE FIRE CALULING ON BOTH SIDES OF PENETRATION BETWEEN FIRE RATING FLOOR / CEILING ASSEMBLY
S-09	STEEL BEAM. SEE STRUCTURAL TO BE PRIMED AND PAINTED AT ALL EXTERIOR LOCATIONS-PAIN COLOR PER OWNER. PAINT COLOR AT ALL INTERIOR LOCATIONS PER INTERIOR DESIGN
S-10	STEEL PIPE COLUMN. SEE STRUCTURAL TO BE PRIMED AND PAINTED AT ALL EXTERIOR LOCATIONS-PAIN COLOR PER OWNER. PAINT COLOR AT ALL INTERIOR LOCATIONS PER INTERIOR DESIGN
S-11	STEEL COLUMN. SEE STRUCTURAL TO BE PRIMED AND PAINTED AT ALL EXTERIOR LOCATIONS-PAIN COLOR PER OWNER. PAINT COLOR AT ALL INTERIOR LOCATIONS PER INTERIOR DESIGN
S-17	BIG GRILL AS SELECTED BY OWNER-PROVIDE GAS HOOKUP PER MANUFACTURER'S INSTRUCTIONS.
S-20	CAVITY INSULATION PER SCHEDULE.
S-24	PROVIDE WEB STIFFENER PLATES AT ALL WIDE FLANGE CONNECTIONS.
S-32	CONNECT DOWNSPOUT TO STORM DRAIN CONNECTION AT GRADE. SEE CIVIL PLANS FOR HOOKUP.
S-34	TUB/FREE STANDING TUB/ SHOWER TUB AS PER INTERIOR DESIGNER.
S-35	3"X CONTINUOUS HANDRAIL. SEE STAIR RAIL DETAILS SHEET.
S-39	PREFINISHED METAL GUTTER.
SL-10	PROVIDE BLOCKOUT IN STRUCTURAL SLAB FOR PLUMBING. COORDINATE WITH PLUMBING DRAWINGS

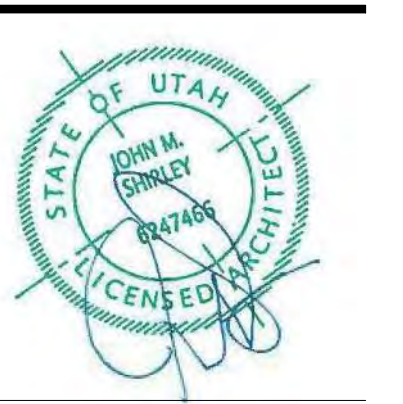


Section 2  
1/4" = 1'-0"



Architecture  
Interior Design  
Landscape Architecture  
Land Planning  
Construction Management

7927 So. Highpoint Parkway, Suite 300  
Sandwich, Utah 84094  
ph. 801.269.0555  
fax 801.269.1425  
www.thinkaiaec.com



WARM SPRINGS RESIDENCE #33  
170 BALD MOUNTAIN ROAD  
KETCHUM, IDAHO 83340

PROJECT NC22023.33  
DATE: 2023.12.27

SHEET TITLE:  
BUILDING SECTIONS

SHEET NUMBER:  
A301

© 2021 THINK ARCHITECTURE INC.



Architecture  
Interior Design  
Landscape Architecture  
Land Planning  
Construction Management

7927 So. Highpoint Parkway, Suite 300  
Scary, Utah 84094  
ph. 801.269.0555  
fax 801.269.1425  
www.thinkaoc.com

The designs shown and described herein including all technical drawings, graphic representation & models thereof, are proprietary & can not be copied, duplicated or commercially reproduced in whole or in part without the sole and express written permission from THINK ARCHITECTURE, INC.

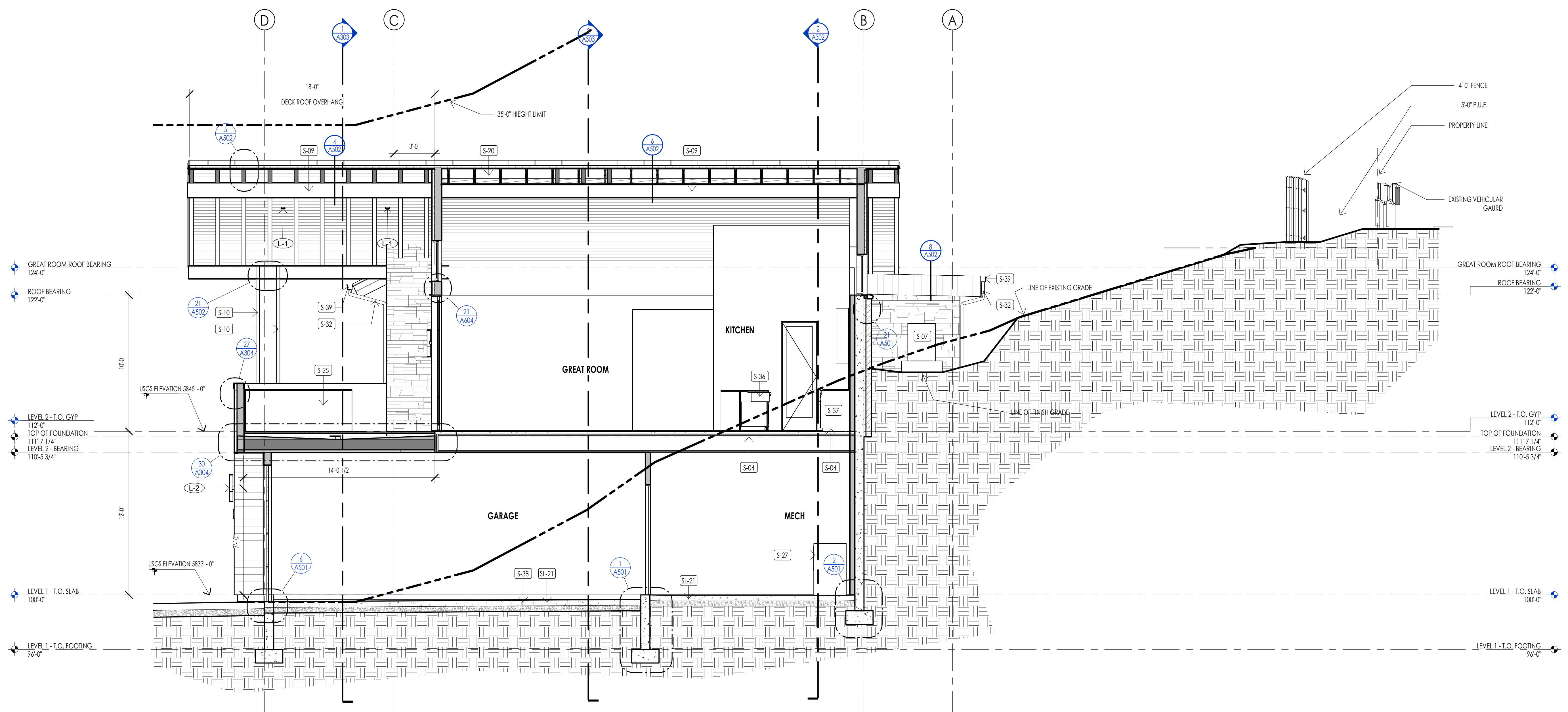
These drawings are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors, and office personnel only in accordance with this notice.



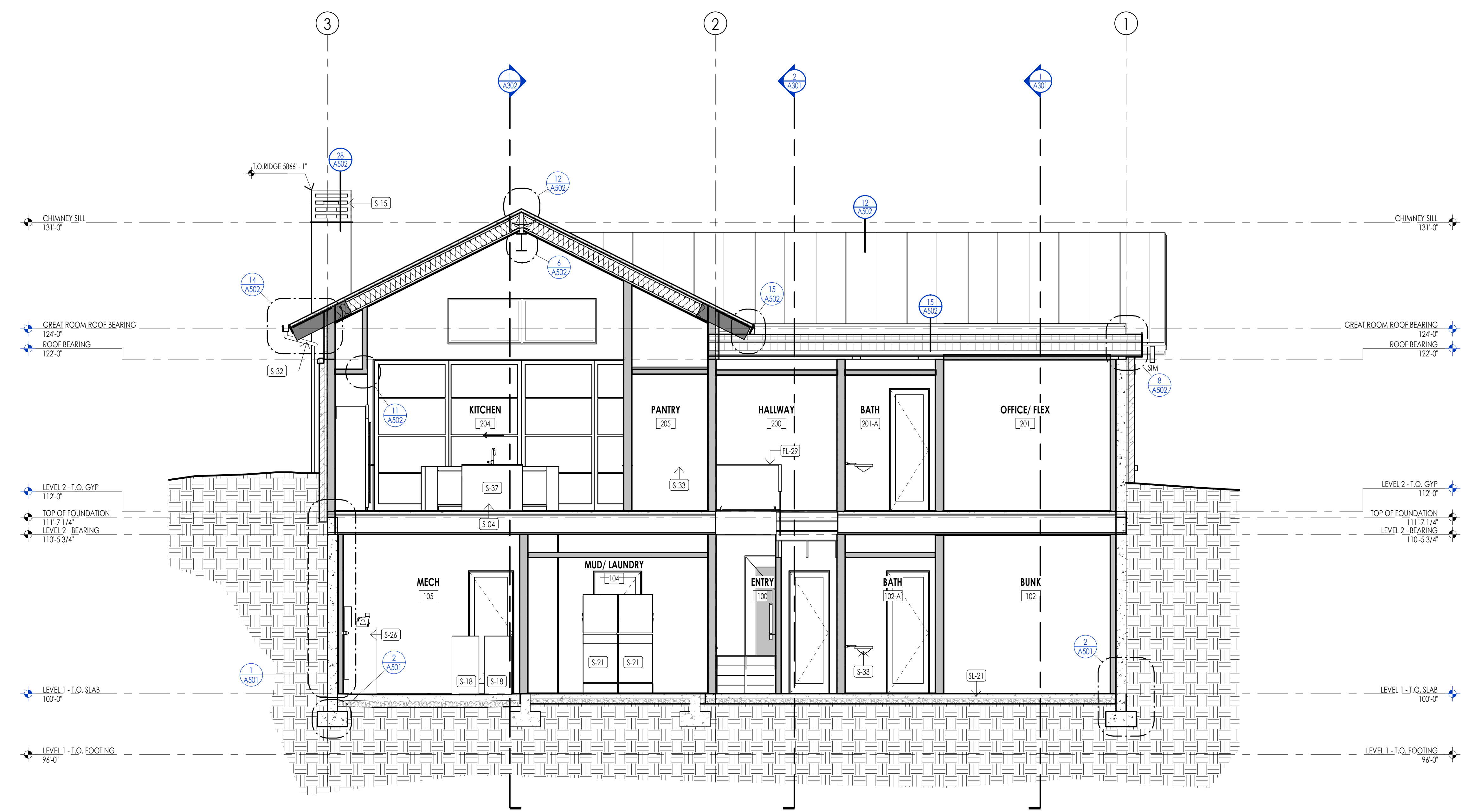
ELEVATION/ SECTION MATERIAL LEGEND	
HATCH PATTERN	DESCRIPTION
[Hatch Pattern]	METAL PANEL SIDING SYSTEM
[Hatch Pattern]	SINGLEPLY ROOFING MEMBRANE SYSTEM WITH GRAVEL BALLAST
[Hatch Pattern]	2X4 CEDAR CHANNEL LAP HORIZONTAL SIDING SYSTEM WITH SQUARE EDGES
[Hatch Pattern]	EXTERIOR STONE VENEER

ELEVATION/ SECTION KEYNOTES	
KEYNOTES	
FL-29	3/4" HANDRAIL, SEE STAIR/ RAIL DETAILS SHEET.
S-04	PROVIDE FIRE CALLING ON BOTH SIDES OF PENETRATION BETWEEN FIRE RATING FLOOR / CEILING ASSEMBLY.
S-07	MECHANICAL-AIR CONDITIONER UNIT-SEPARATION BETWEEN UNITS AND MAINTENANCE CLEARANCES PER MANUF.
S-09	STEEL BEAM, SEE STRUCTURAL TO BE PRIMED AND PAINTED AT ALL EXTERIOR LOCATIONS-PANT COLOR PER OWNER, PAINT COLOR AT ALL INTERIOR LOCATIONS PER INTERIOR DESIGN.
S-10	STEEL PIPE COLUMN, SEE STRUCTURAL TO BE PRIMED AND PAINTED AT ALL EXTERIOR LOCATIONS-PANT COLOR PER OWNER, PAINT COLOR AT ALL INTERIOR LOCATIONS PER INTERIOR DESIGN.
S-15	PREFINISHED METAL CAP.
S-18	GAS FIRED FURNACE PER MECHANICAL.
S-20	CAVITY INSULATION PER SCHEDULE.
S-21	STACKABLE WASHER/ DRYER, COORDINATE W/ INTERIOR DESIGNER & CONSTRUCTION TRADES AS REQUIRED.
S-25	SPA, BULLFROG AB SERIES COORDINATE FOR SHUT OFF SWITCH AND HOT-COLD HOOK UP PER MANUF.
S-26	MECHANICAL - HOT WATER BOILER.
S-27	MECHANICAL - GAS FIRED FURNACE.
S-32	CONNECT DOWNSPOUT TO STORM DRAIN CONNECTION AT GRADE. SEE CIVIL PLANS FOR HOOKUP.
S-33	BATHROOM SINK - VANITY PER INTERIOR DESIGNER.
S-36	KITCHEN SINK - COORDINATE W/ PLUMBING.
S-37	KITCHEN RANGE - COORDINATE FOR GAS AND ELECTRICAL - RANGE HOOD PER I.D.
S-38	PROVIDE 100% SOLIDS EPOXY, HIGH PERFORMANCE COATING.
S-39	PREFINISHED METAL CHIMNEY.
SL-21	PROVIDE RIGID FOAM INSULATION BELOW ENTIRE FLOOR SLAB AT LEVEL 0 - SEE SCHEDULE FOR R VALUES - PROVIDE SILLTAMP FOR INSULATION AND VAPOR BARRIER ON TOP OF RIGID INSULATION, TAPE ALL SEAMS AND INSTALL PER MANUF. AND SPECS.



Section 3  
1/4" = 1'-0"



Section 4  
1/4" = 1'-0"

WARM SPRINGS RESIDENCE #33

170 BALD MOUNTAIN ROAD  
KETCHUM, IDAHO 83340

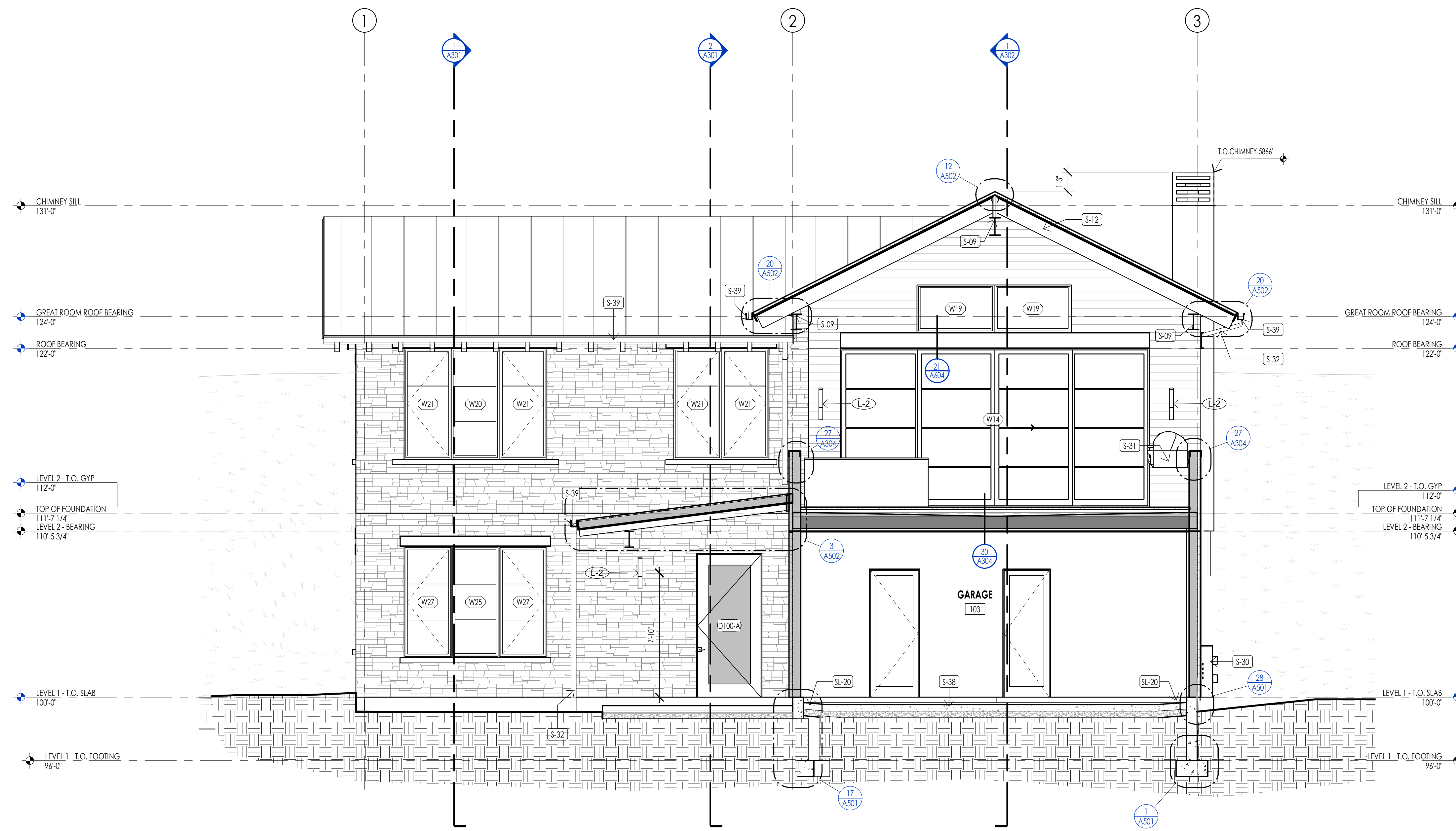
PROJECT NC22023.33  
DATE: 2023.12.27

SHEET TITLE:  
BUILDING SECTIONS

SHEET NUMBER:  
A302

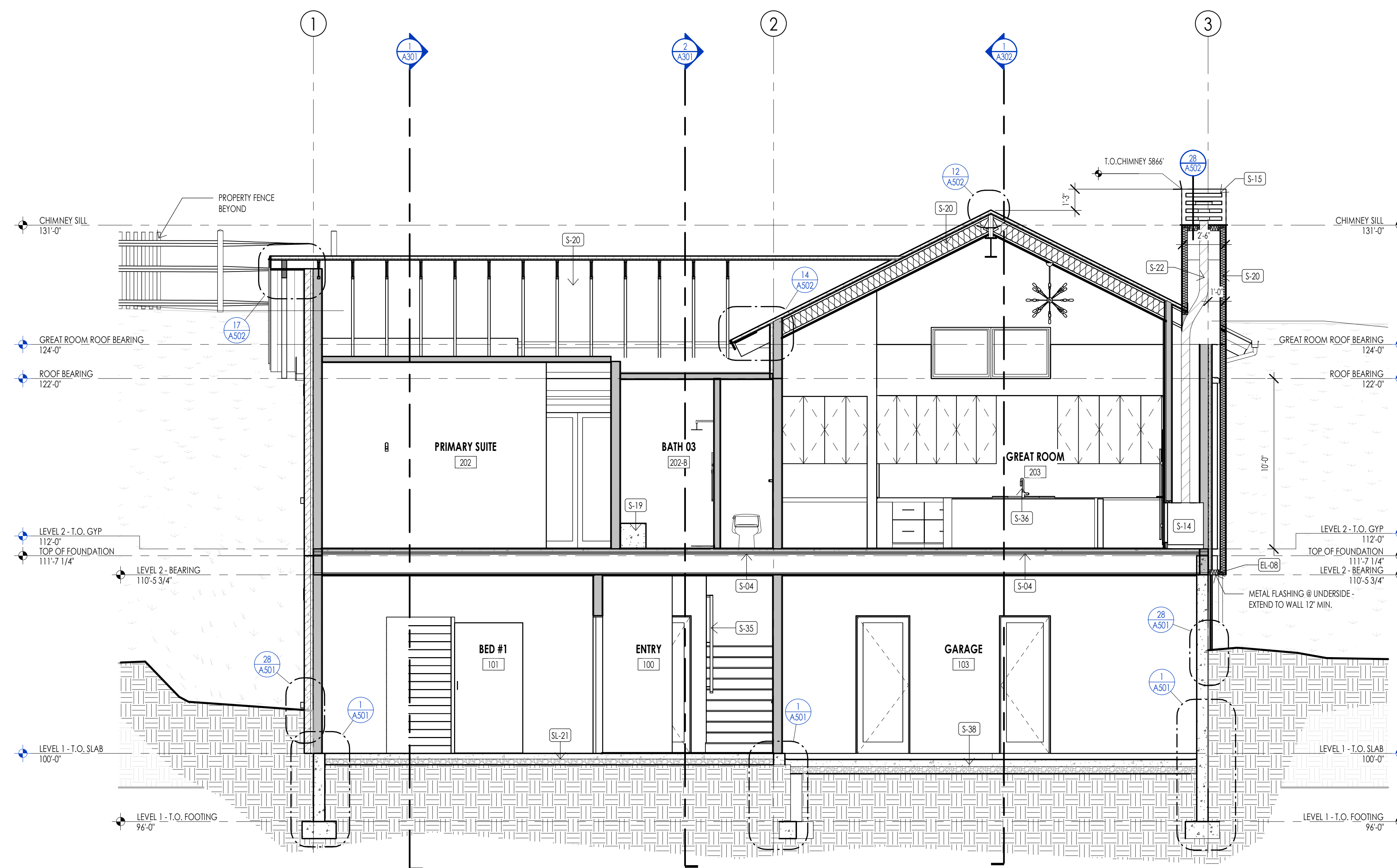
© 2021 THINK ARCHITECTURE, INC.

PERMIT SET



Section 5  
1/4" = 1'-0"

1  
A303



Section 6  
1/4" = 1'-0"

2  
A303

ELEVATION/ SECTION MATERIAL LEGEND	
HATCH PATTERN	DESCRIPTION
[Hatch Pattern]	METAL PANEL SIDING SYSTEM
[Hatch Pattern]	SINGLY RLY ROOFING MEMBRANE SYSTEM WITH GRAVEL BALLAST
[Hatch Pattern]	2X4 CEDAR CHANNEL LAP HORIZONTAL SIDING SYSTEM WITH SQUARE EDGES
[Hatch Pattern]	EXTERIOR STONE VENEER

NOTE: REFER TO MATERIAL SPECIFICATIONS DOCUMENT FOR DETAILED INFORMATION REGARDING EACH FINISH MATERIAL

ELEVATION/ SECTION KEYNOTES	
KEYNOTES	
EL-08	CONTRACTOR SHALL PROVIDE FLASHING AT ALL SIDING / MATERIAL TRANSITIONS WHETHER SHOWN OR NOT
S-04	PROVIDE FIRE CALKING ON BOTH SIDES OF PENETRATION BETWEEN FIRE RATING FLOOR / CEILING ASSEMBLY
S-09	STEEL BEAM. SEE STRUCTURAL-TO BE PRIMED AND PAINTED AT ALL EXTERIOR LOCATIONS-PAIN COLOR PER OWNER. PAINT COLOR AT ALL INTERIOR LOCATIONS PER INTERIOR DESIGN
S-12	HEAVY TIMBER. SEE STRUCTURAL
S-14	PREPLACE. AS SELECTED BY OWNER WALL FINISHES PER INTERIOR DESIGN. PROVIDE GAS HOOKUP PER MANUFACTURER'S INSTRUCTIONS
S-15	PREFINISHED METAL CAP
S-19	SHOWER BENCH PER INTERIOR DESIGNER.
S-20	CAVITY INSULATION PER SCHEDULE.
S-22	DIRECT VENT FLEX PIPE. SEE SPECS. PER MECHANICAL.
S-30	ELECTRICAL - MAIN ELECTRICAL PANEL WITH METER - INSTALLED AND COORDINATED AS REQUIRED BY UTILITY PROVIDER. SEE ELECTRICAL PLANS.
S-31	STAINLESS-STEEL COUNTERTOP.
S-32	CONNECT DOWNSPOUT TO STORM DRAIN CONNECTION AT GRADE. SEE CIVIL PLANS FOR HOOKUP.
S-35	3" CONTINUOUS HANDRAIL SEE STAIR/ RAIL DETAILS SHEET.
S-36	KITCHEN SINK - COORDINATE W/ PLUMBING.
S-38	PROVIDE 100% SOLIDS EPOXY. HIGH PERFORMANCE COATING.
S-39	PREFINISHED METAL GUTTER.
SL-20	WARP SLAB AT GARAGE DOORS TO PROVIDE DRAINAGE TOWARD THE DOOR OPENING
SL-21	PROVIDE RIGID FOAM INSULATION BELOW ENTIRE FLOOR SLAB AT LEVEL 0. - SEE SCHEDULE FOR R VALUES - PROVIDE BULTARP FOR INSULATION AND VAPOR BARRIER ON TOP OF RIGID INSULATION. TAPE ALL SEAMS AND INSTALL PER MANUF. AND SPECS.

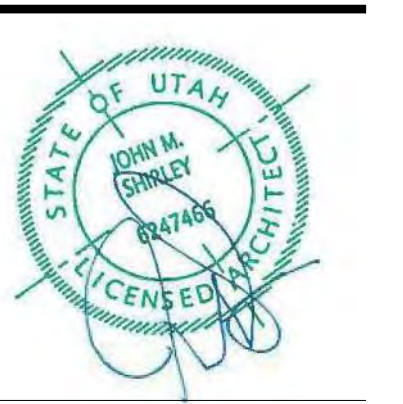


Architecture  
Interior Design  
Landscape Architecture  
Land Planning  
Construction Management

7927 So. Highpoint Parkway, Suite 300  
Scary, Utah 84094  
ph. 801.269.0555  
fax 801.269.1425  
www.thinkaoc.com

The designs shown and described herein including all technical drawings, graphic representation & models thereof, are proprietary & can not be copied, duplicated, or commercially reproduced in whole or in part without the sole and express written permission from THINK ARCHITECTURE, INC.

These drawings are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors, and office personnel only in accordance with this notice.



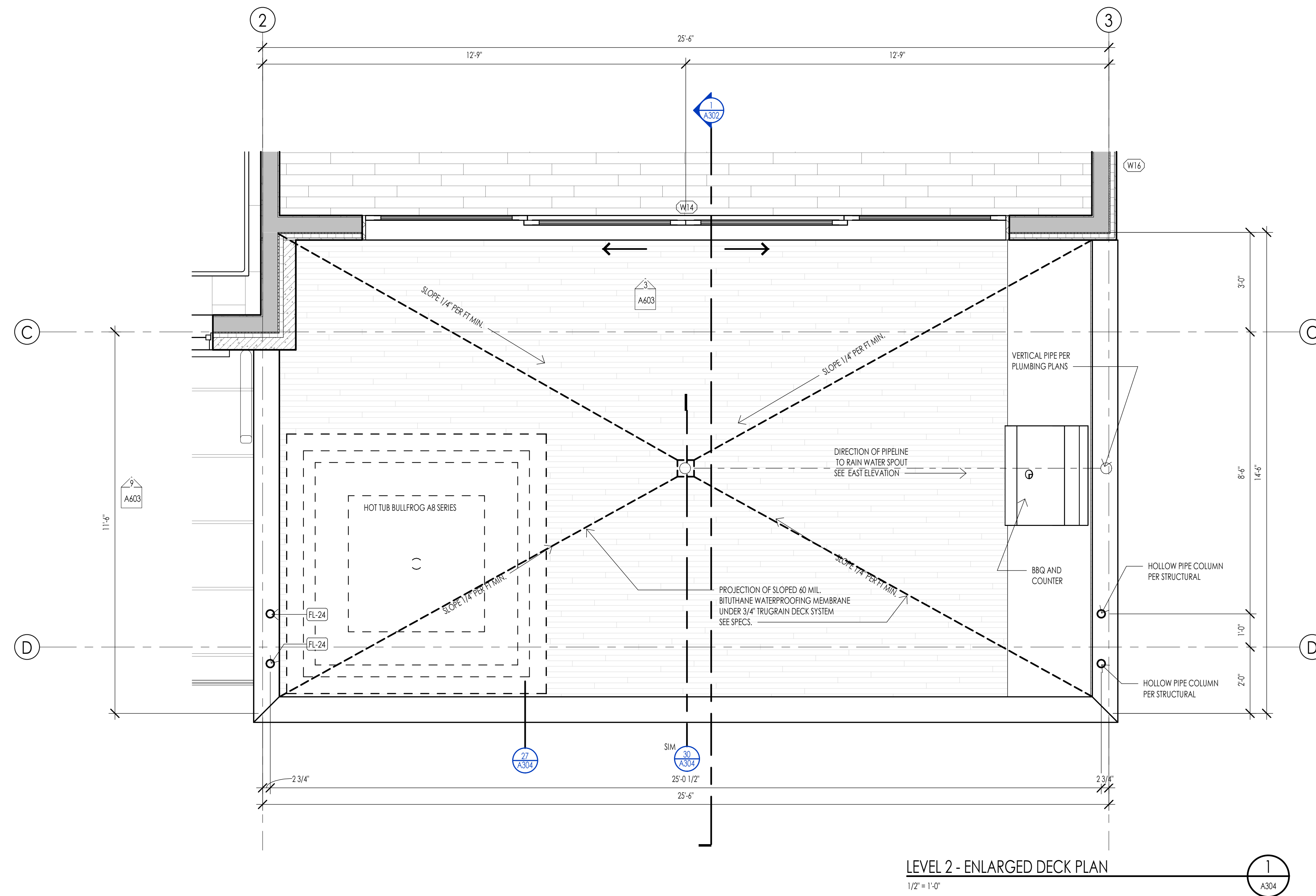
WARM SPRINGS RESIDENCE #33  
170 BALD MOUNTAIN ROAD  
KETCHUM, IDAHO 83340

PROJECT NC22023.33  
DATE: 2023.12.27  
REVISIONS:

SHEET TITLE:  
BUILDING SECTIONS

SHEET NUMBER:  
A303

© 2021 THINK ARCHITECTURE, INC.



WARM SPRINGS RESIDENCE #33

1770 BALD MOUNTAIN ROAD  
KETCHUM, IDAHO 83340

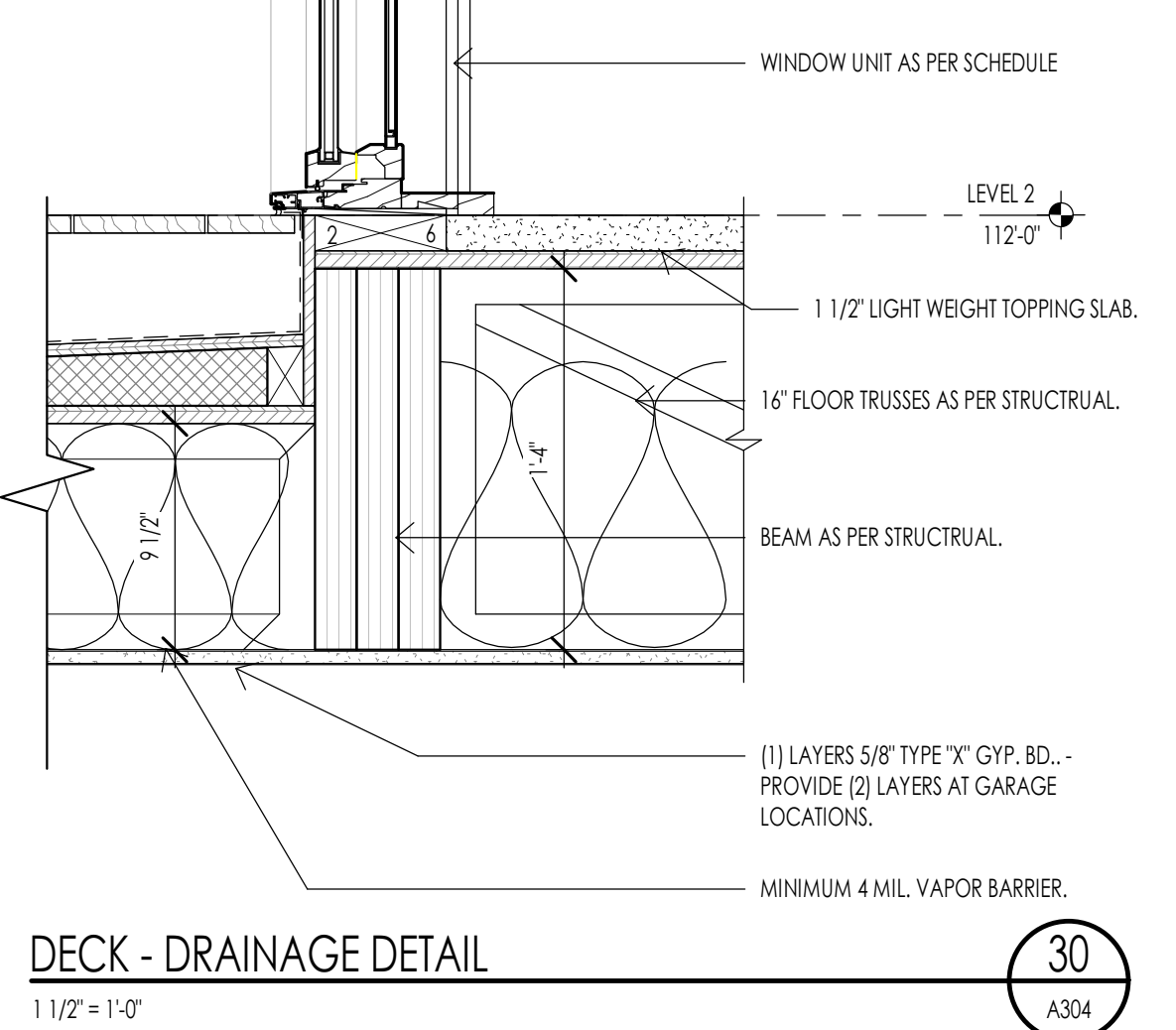
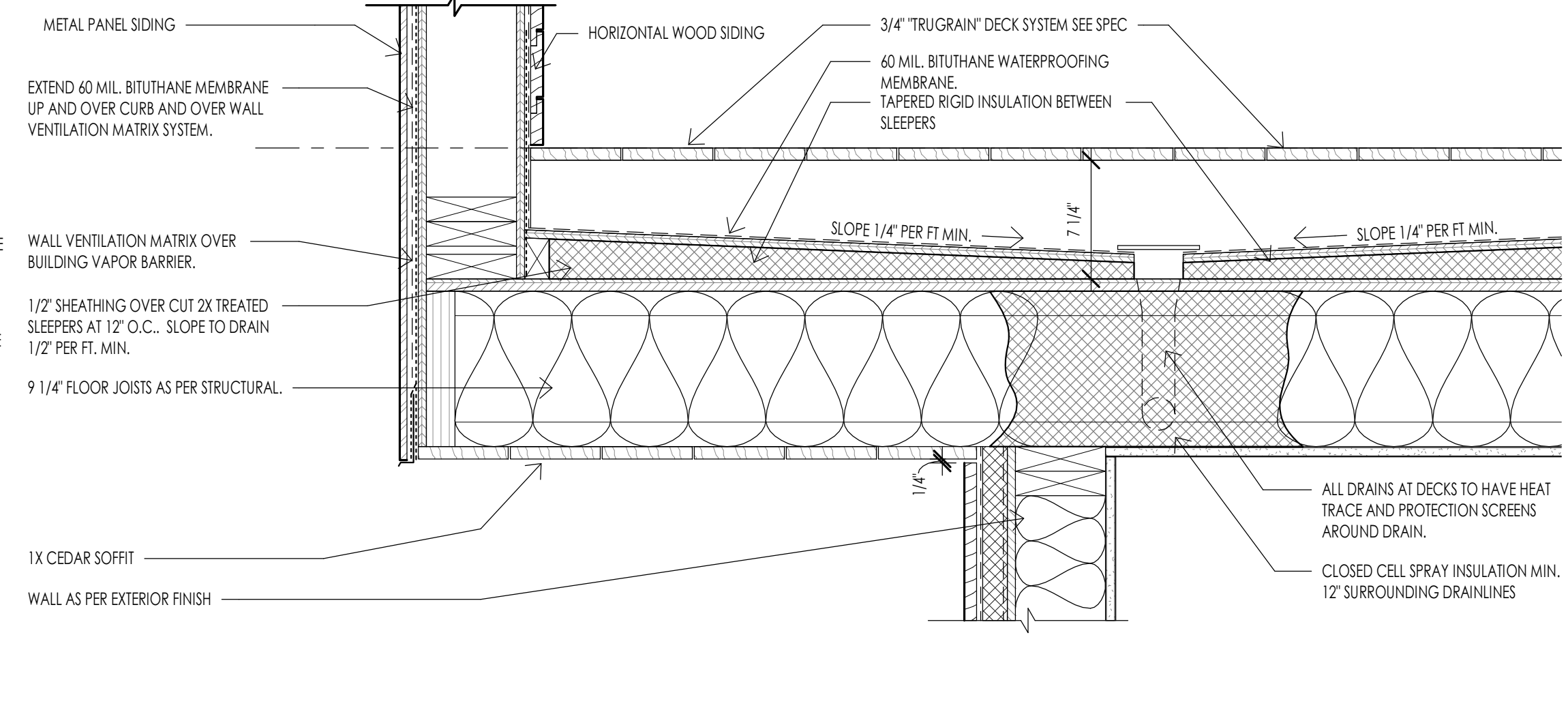
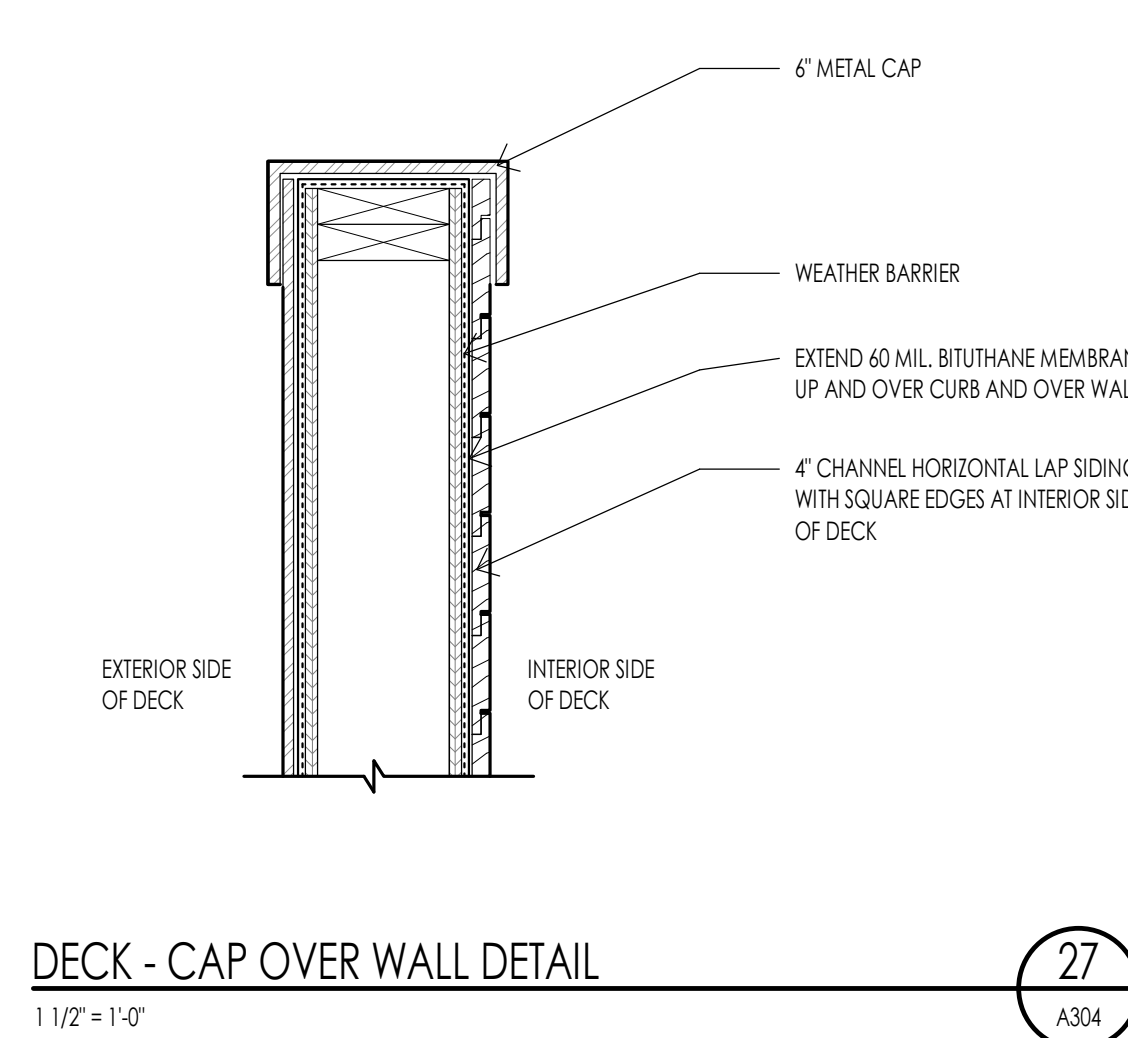
PROJECT NC22023.33  
DATE: 2023.12.27

REVISIONS:

SHEET TITLE:  
ENLARGED DECK - DETAILS

SHEET NUMBER:  
A304

© 2021 THINK ARCHITECTURE, INC.

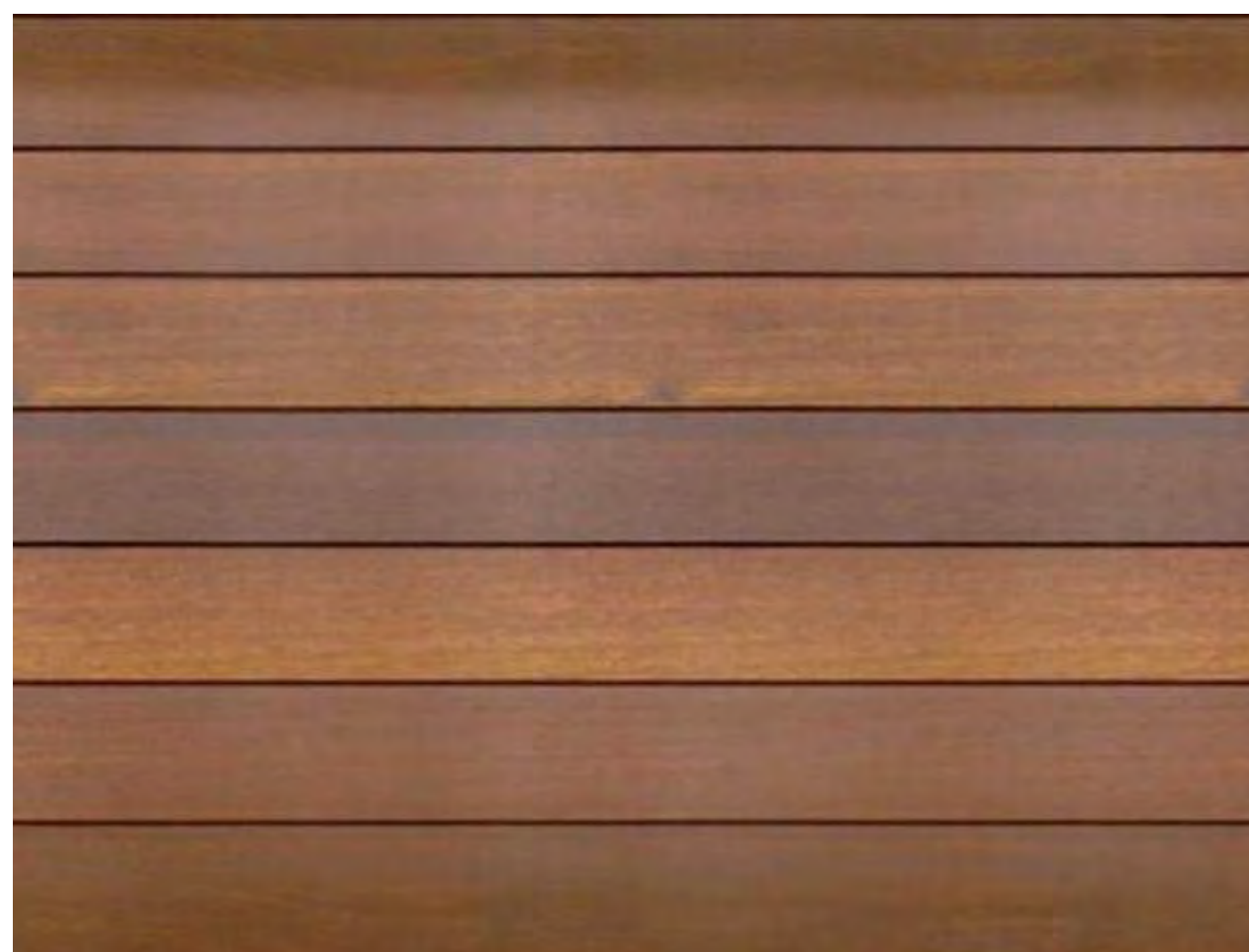




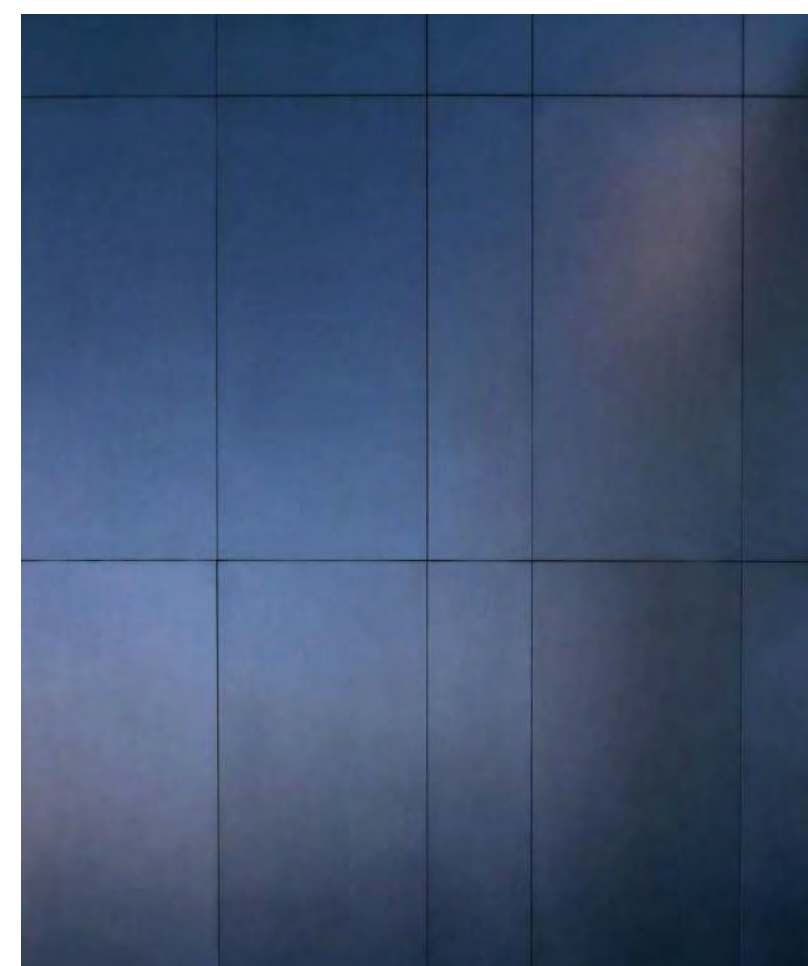
GREAT ROOM INTERIOR VIEW



OWNER SUITE INTERIOR VIEW



INTERIOR WOOD SLAT FINISH



STEEL FIREPLACE SURROUND



Architecture

Interior Design  
Landscape Architecture  
Land Planning  
Construction Management

7927 So. Highpoint Parkway, Suite 300  
Sandwich, Utah 84094  
ph. 801.269.0555  
fax 801.269.1425  
www.thinkaec.com

The designs shown and described herein including all technical drawings, graphic representations & models thereof, are proprietary & can not be copied, duplicated, or commercially exploited in whole or in part without the sole and express written permission from THINK ARCHITECTURE, INC.

These drawings are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors, and office personnel only in accordance with this notice.



WARM SPRINGS RESIDENCE #33

170 BALD MOUNTAIN ROAD  
KETCHUM, IDAHO 83340

PROJECT NC22023.33  
DATE: 2023.12.27  
REVISIONS:

SHEET TITLE:  
FIREPLACE ELEVATIONS

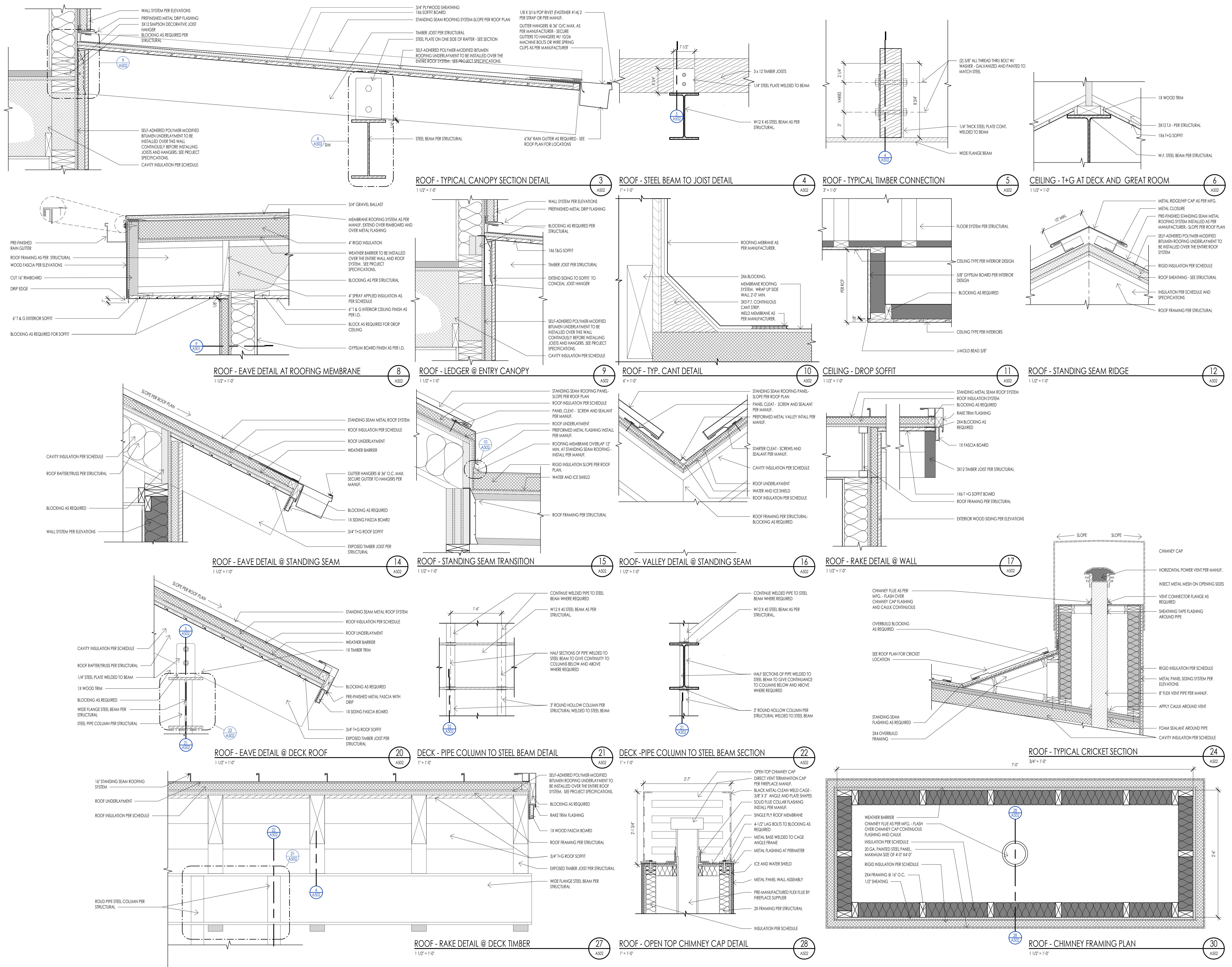
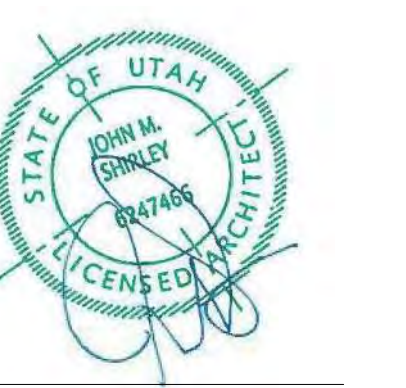
SHEET NUMBER:  
A401

© 2021 THINK ARCHITECTURE, INC.

PERMIT SET







WARM SPRINGS RESIDENCE #33

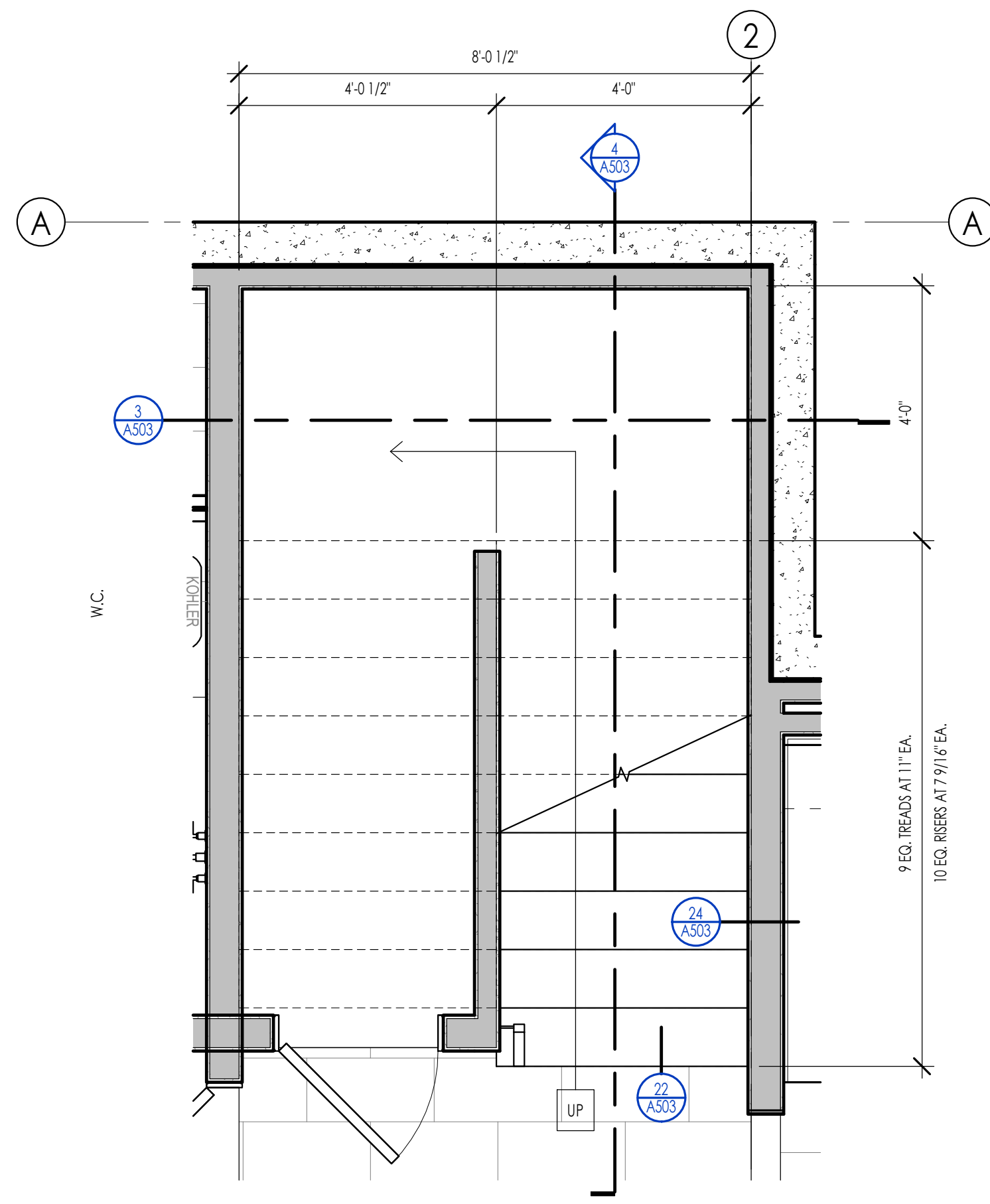
170 BALD MOUNTAIN ROAD  
KETCHUM, IDAHO 83340

PROJECT NC22023.33  
DATE: 2023.12.27  
REVISIONS:

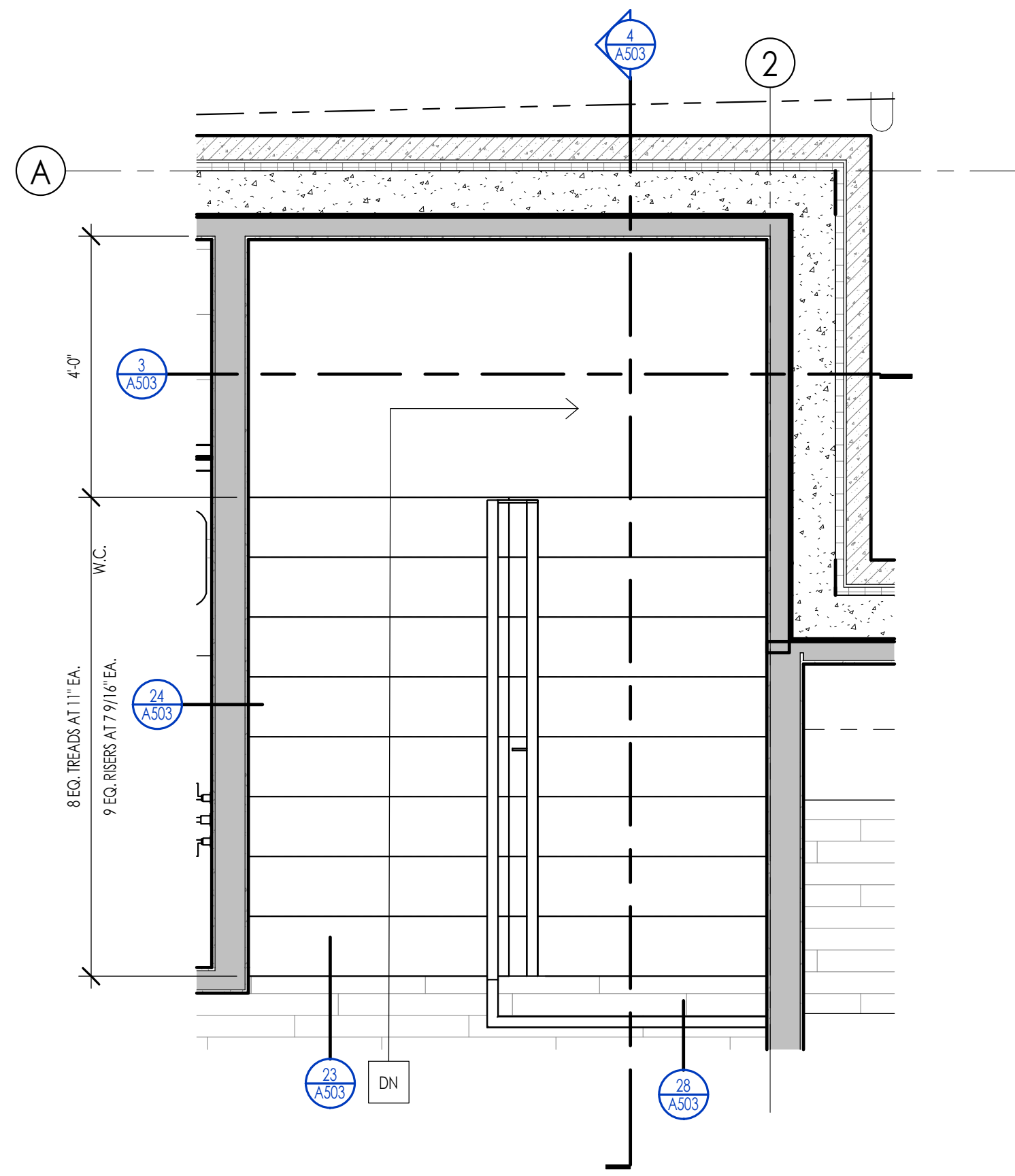
SHEET TITLE:  
ARCHITECTURAL  
DETAILS

SHEET NUMBER:  
**A502**

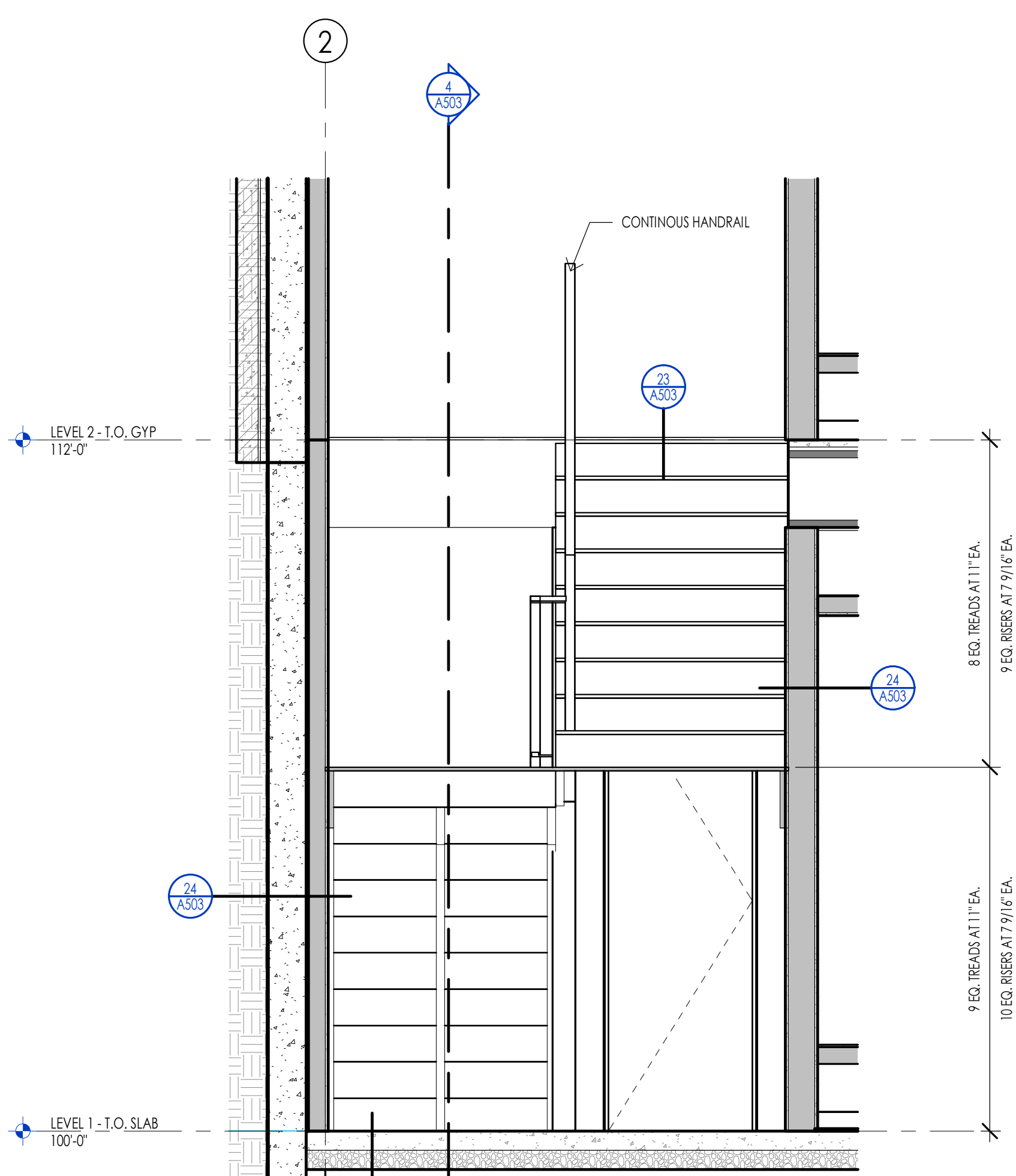
© 2021 THINK ARCHITECTURE, INC.



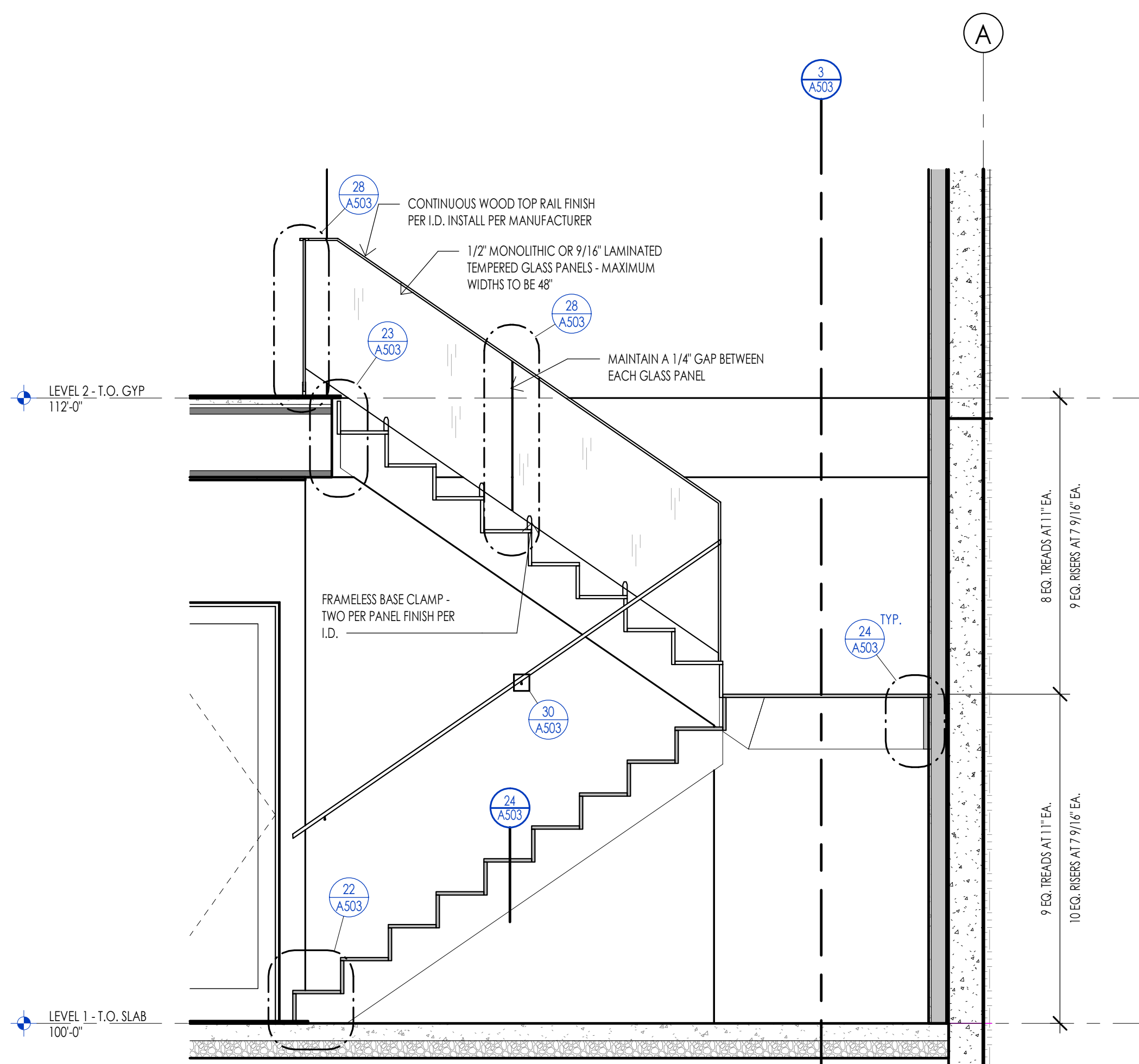
ENLARGED - STAIR LEVEL 1  
1/2" = 1'-0"



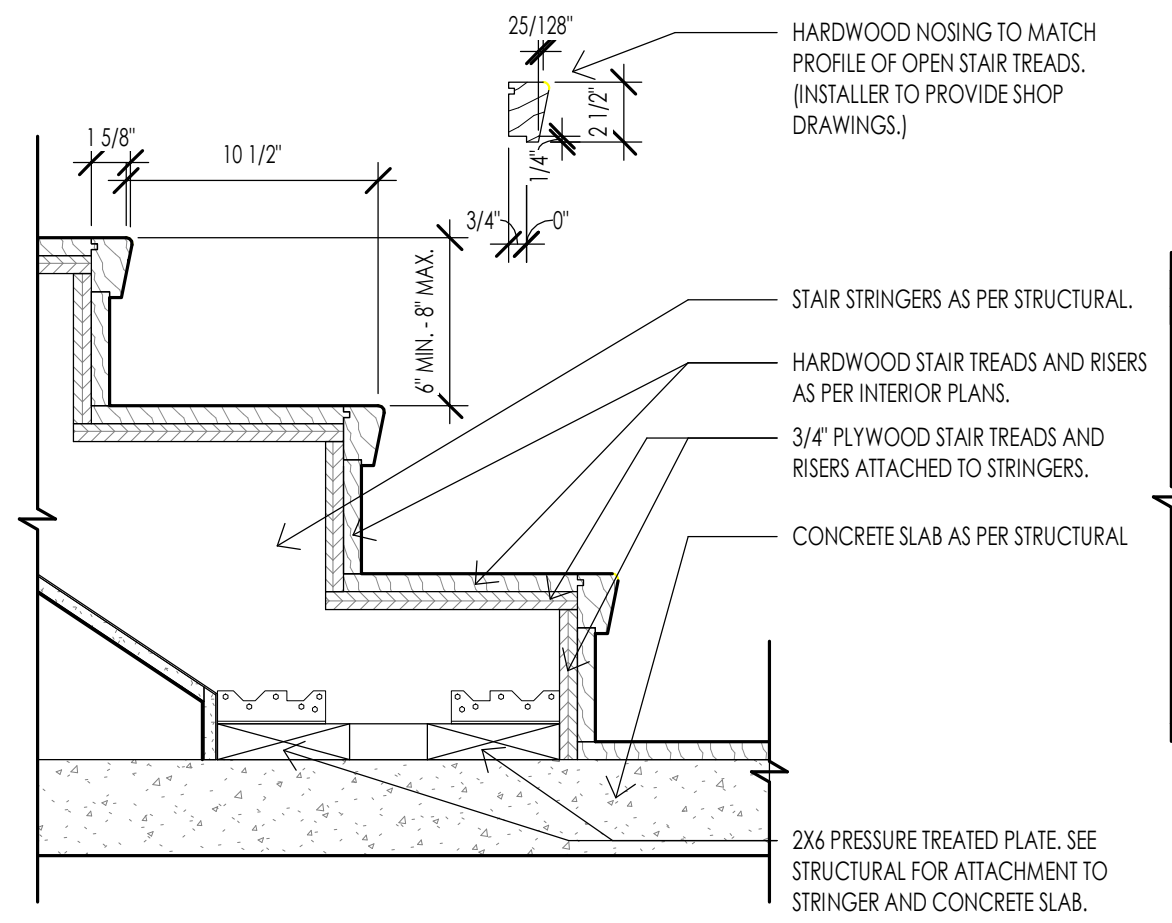
ENLARGED - STAIR LEVEL 2  
1/2" = 1'-0"



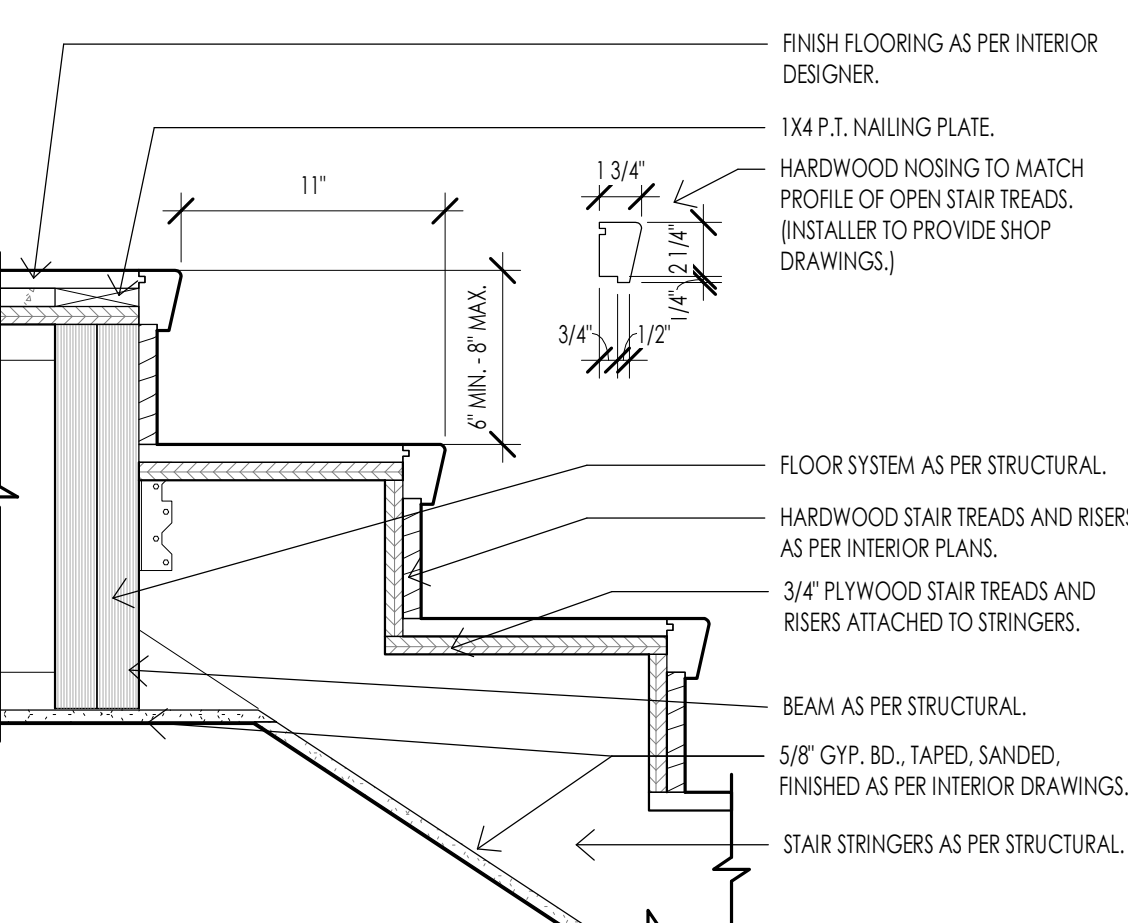
SECTION 1 - STAIR  
1/2" = 1'-0"



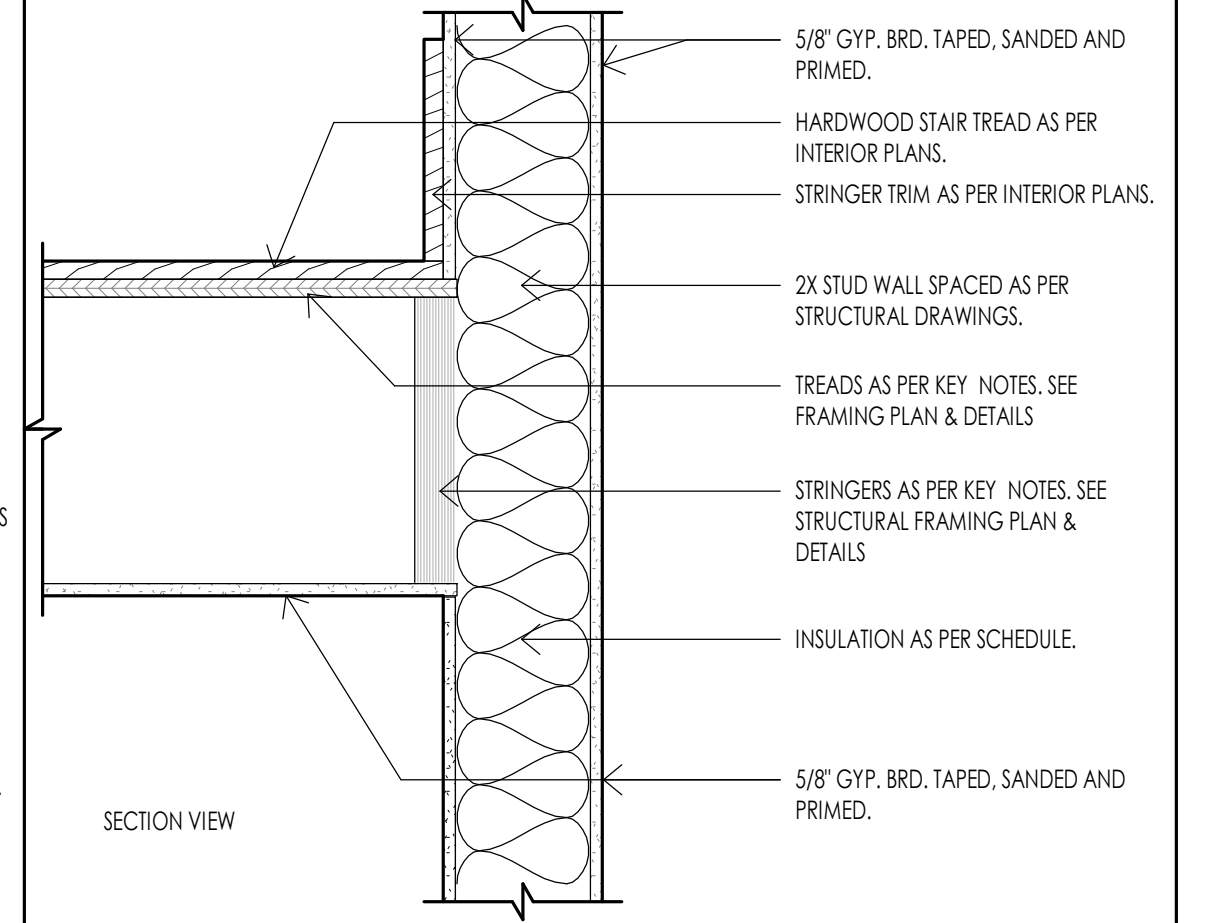
SECTION 2 - STAIR  
1/2" = 1'-0"



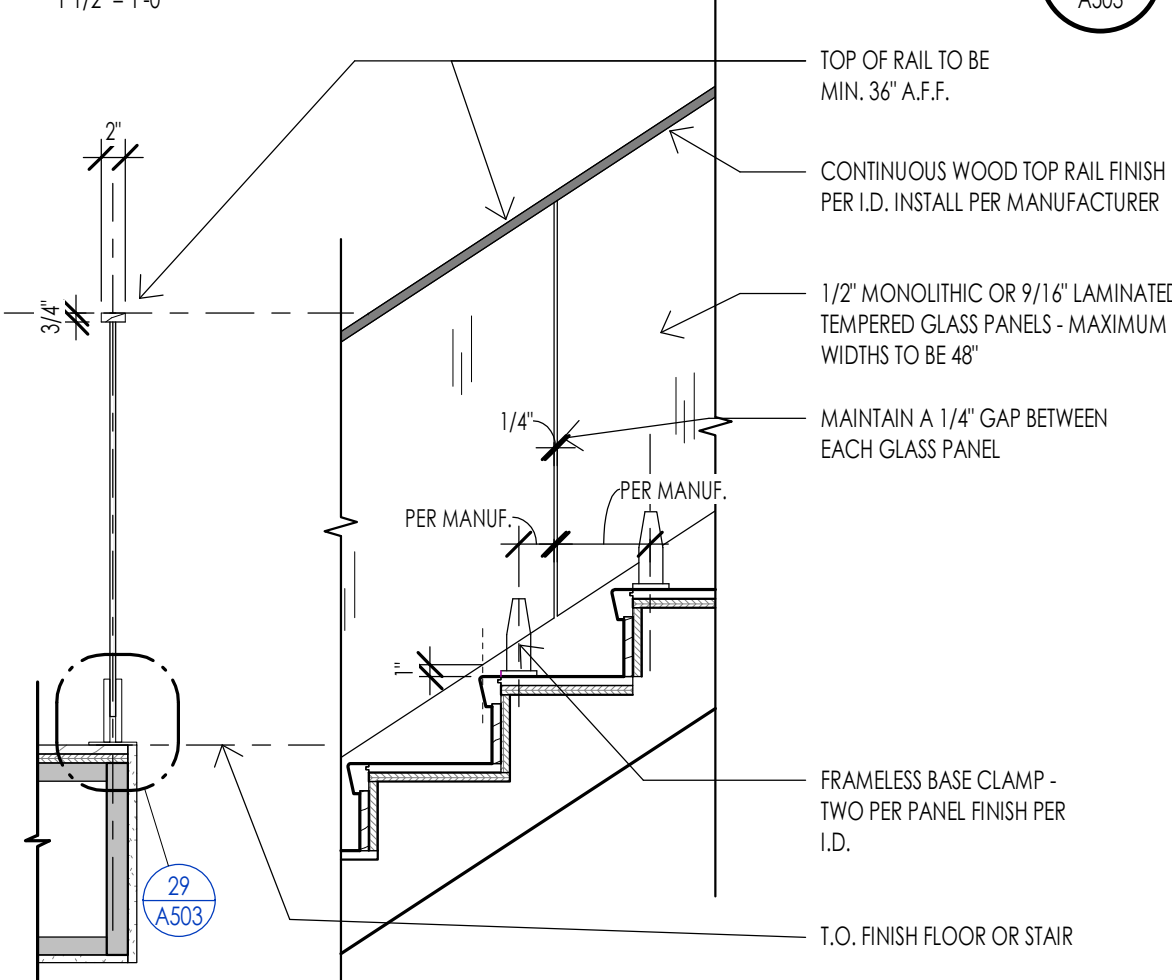
STAIR DETAIL - FRAMED STAIRS TO BASEMENT FLOOR  
1 1/2" = 1'-0"



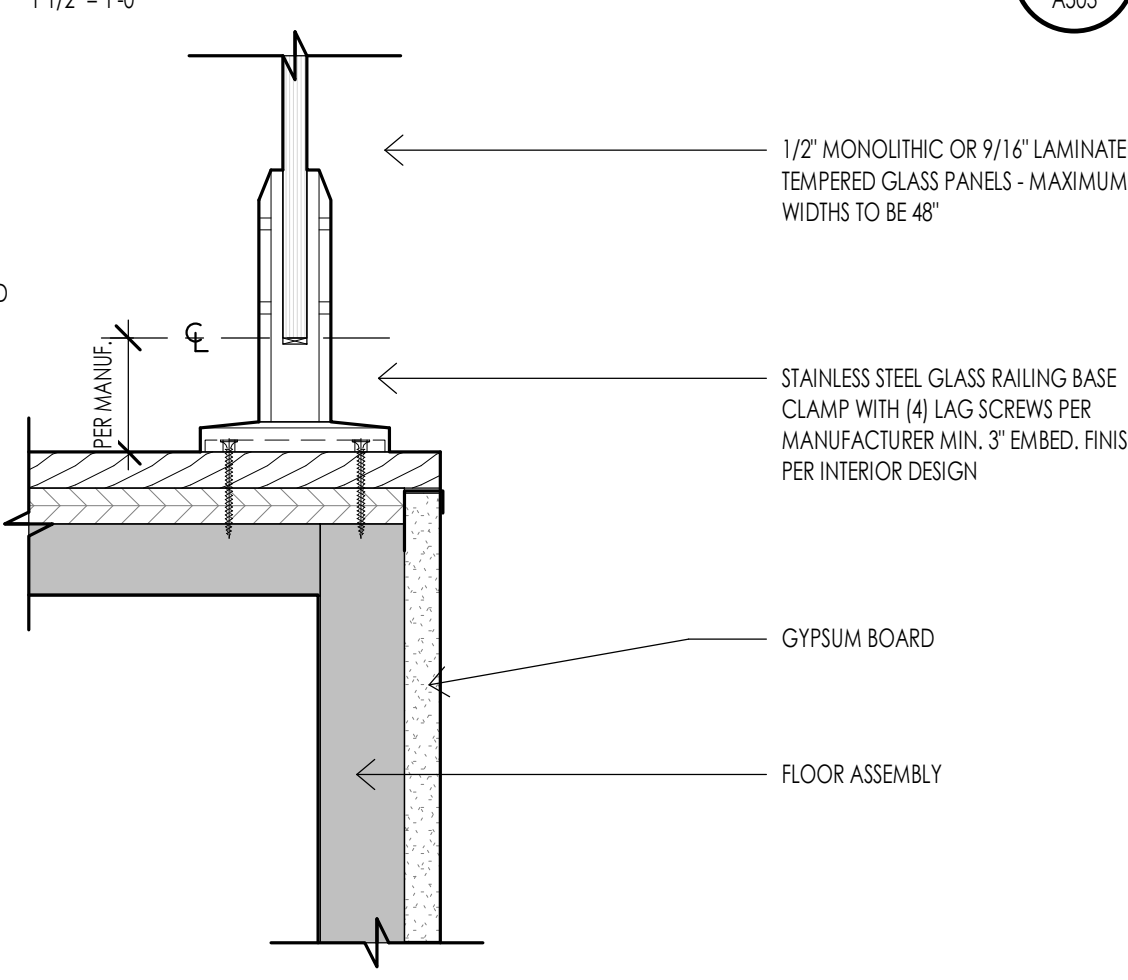
STAIR DETAIL - FRAMED STAIRS TO LANDING  
1 1/2" = 1'-0"



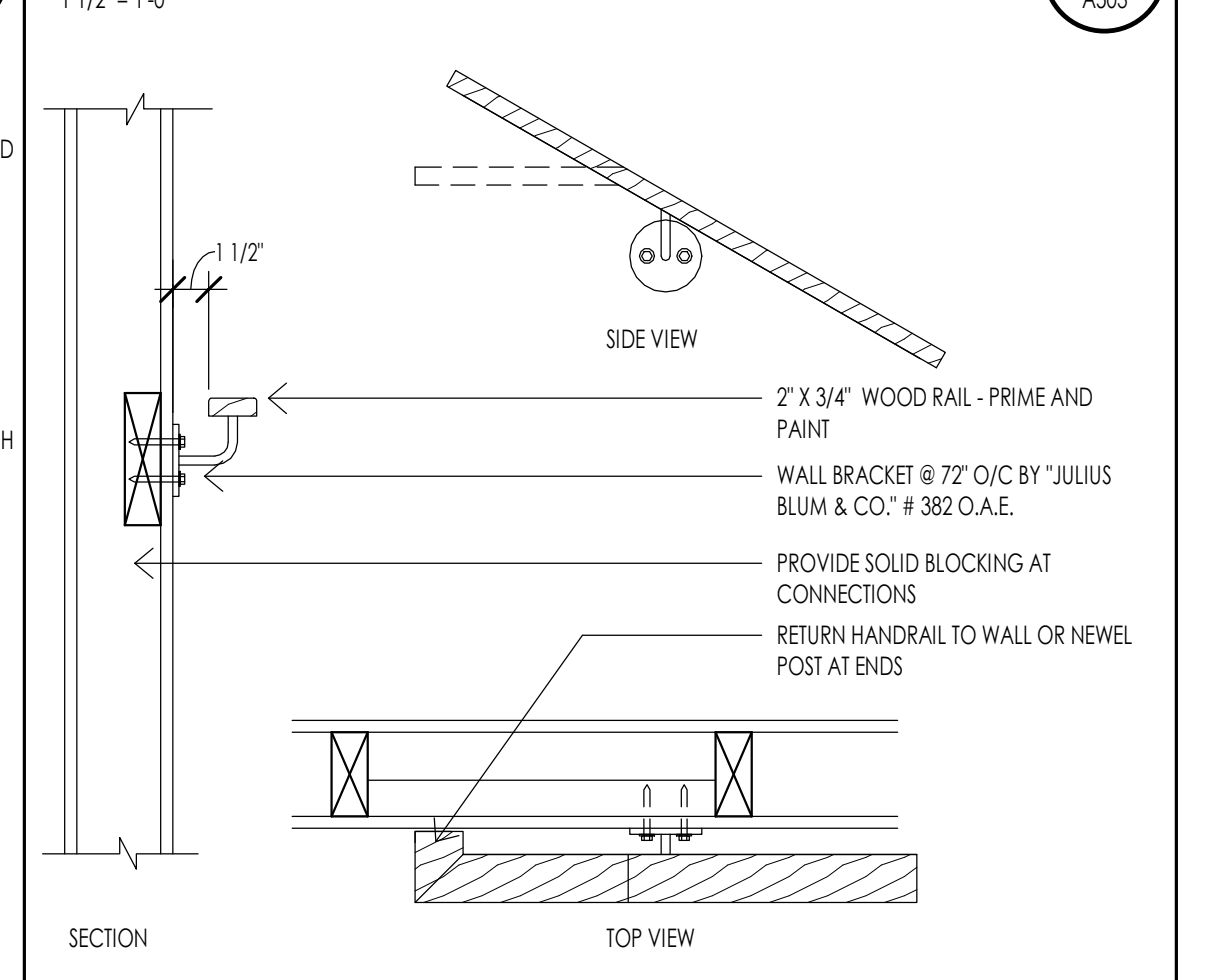
STAIR DETAIL - FRAMED STAIRS TO SIDE WALL  
1 1/2" = 1'-0"



GLASS GUARDRAIL AT STAIR  
3/4" = 1'-0"



GLASS GUARDRAIL - FLOOR CONNECTION  
3\"/>



TYPICAL HANDRAIL DETAIL  
1 1/2" = 1'-0"

**STAIR PLAN GENERAL NOTES**

- STAIR CONSTRUCTION SHALL MEET THE FOLLOWING REQUIREMENTS. SEE I.R.C. SECTION R311.5.
  - THE MINIMUM STAIRWAY WIDTH SHALL NOT BE LESS THAN 36 INCHES CLEAR WIDTH. HANDRAILS MAY PROJECT INTO THE REQUIRED WIDTH A DISTANCE OF 4 1/2 INCHES FROM EACH SIDE OF A STAIRWAY. (I.R.C. R311.7.1 FOR ADDITIONAL WIDTH REQUIREMENTS OR FOR SPIRAL, CIRCULAR, WINDING STAIRS, ETC. REQUIREMENTS SEE I.R.C. SECTION R311.7.10.1)
  - THE MAXIMUM STAIR RISER HEIGHT SHALL NOT EXCEED 7 3/4 INCHES AND THE MINIMUM STAIR TREAD DEPTH SHALL BE 10 INCHES. THE TREAD DEPTH SHALL BE MEASURED HORIZONTALLY BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF ADJACENT TREADS. THE GREATEST RISER HEIGHT OR TREAD DEPTH SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH. (UTAH STATE AMENDMENT (REPLACES R311.7.5 AND ALLOWS FOR 8\"/>
- HEADROOM: EVERY STAIRWAY SHALL HAVE A MINIMUM HEADROOM CLEARANCE IN ALL PARTS OF THE STAIR OF NOT LESS THAN 6 FEET 8 INCHES. SUCH CLEARANCES SHALL BE MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING THE TREAD NOSING OR FROM THE FLOOR SURFACE OF THE LANDING. (I.R.C. R311.7.2)
  - HANDRAILS SHALL BE MOUNTED A MINIMUM OF 34 INCHES AND A MAXIMUM OF 38 INCHES ABOVE THE NOSING OF THE TREAD AND SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS. ALL REQUIRED HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS WITH FOUR OR MORE RISERS FROM A POINT DIRECTLY ABOVE THE TOP RISER OF THE FLIGHT TO A POINT DIRECTLY ABOVE THE LOWEST RISER. HANDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS. TURNOUT OR STARTING EASING SHALL BE ALLOWED OVER THE LOWEST TREAD.
  - THE HAND GRIP PORTION OF HANDRAILS SHALL HAVE A CIRCULAR CROSS SECTION OF 1 1/4 INCHES MINIMUM TO 2 5/8 INCHES MAXIMUM. OTHER HANDRAIL SHAPES THAT HAVE AN EQUIVALENT GRASPING SURFACE ARE PERMISSIBLE. SEE BUILDING CODE. EDGES SHALL HAVE A MINIMUM RADIUS OF 0.01 INCH. R311.7.8.3.
  - HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1 1/2 INCHES BETWEEN THE WALL AND THE HANDRAIL.
- GUARD RAILS SHALL MEET THE FOLLOWING REQUIREMENTS. SEE I.R.C. SECTION R312.
  - GUARDRAILS ARE REQUIRED AT ALL PORCHES, BALCONIES OR RAISED FLOOR SURFACES LOCATED MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW AND SHALL BE NOT LESS THAN 36 INCHES IN HEIGHT. OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN 30 INCHES ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDS NOT LESS THAN 34 INCHES IN HEIGHT MEASURED VERTICALLY FROM THE NOSING OF THE TREAD.
  - REQUIRED GUARDS ON OPEN SIDES OF STAIRWAYS, RAISED FLOOR AREAS, BALCONIES, ETC. SHALL HAVE INTERMEDIATE RAILS OR ORNAMENTAL CLOSURES THAT DO NOT ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.
  - THE TRIANGLE OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM RAIL OF A GUARD AT THE OPEN SIDE OF A STAIRWAY ARE PERMITTED TO BE OF SUCH A SIZE THAT A SPHERE 6 INCHES IN DIAMETER CANNOT PASS THROUGH.
  - THE GUARDS AT SIDES OF STAIRS SHALL HAVE GUARD SUCH THAT A 4-3/8\"/>

**STAIR PLAN KEYNOTES**

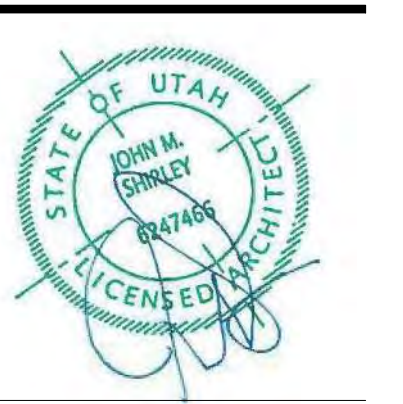
- STAIR CONSTRUCTION SHALL MEET THE FOLLOWING REQUIREMENTS. SEE I.R.C. SECTION R311.5.



Architecture  
Interior Design  
Landscape Architecture  
Land Planning  
Construction Management

7927 So. Highpoint Parkway, Suite 300  
Sandwich, Utah 84094  
ph. 801.269.0555  
fax 801.269.1425  
www.thinkarc.com

The designs shown and described herein including all technical drawings, graphic representation & models thereof, are proprietary & can not be copied, duplicated, or commercially exploited in whole or in part without the sole and express written permission from THINK Architecture, Inc.  
These drawings are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors, and office personnel only in accordance with this notice.



**WARM SPRINGS RESIDENCE #33**  
170 BALD MOUNTAIN ROAD  
KETCHUM, IDAHO 83340

PROJECT NC22023.33  
DATE: 2023.12.27  
REVISIONS:

SHEET TITLE:  
**STAIR-PLAN-SECTIONS-DETAILS**

SHEET NUMBER:  
**A503**

© 2021 THINK ARCHITECTURE, INC.

**DOOR SCHEDULE**

MARK	DOOR						FRAME						FIRE RATING	HARDWARE	REMARKS
	SIZE			MATERIAL	TYPE	FINISH	DETAILS			MATERIAL	TYPE	FINISH			
	WIDTH	HEIGHT	THICKNESS				HEAD	JAMB	SILL						
D100-A	4'-0"	9'-0"	1 3/4"	WOOD/GLASS	D6	PER OWNER	1/A602	7/A602	13/A602	WOOD/GLASS	FI	PER I.D.	NON-RATED	H10	TEMPERED GLASS/WOOD FRAME
D100-B	2'-4"	8'-0"	2"	WOOD	D1	PER I.D.	4/A602	10/A602	-	WOOD	FI	PER I.D.	NON-RATED	H5	
D101-A	2'-10"	8'-0"	2"	WOOD	D1	PER I.D.	4/A602	10/A602	-	WOOD	FI	PER I.D.	NON-RATED	H8	
D101-B	4'-0"	8'-0"	1 3/4"	WOOD	D3	PER I.D.	2/A602	8/A602	-	WOOD	FI	PER I.D.	NON-RATED	H6	BARN DOOR
D101-C	2'-4"	8'-0"	2"	WOOD	D1	PER I.D.	4/A602	10/A602	-	WOOD	FI	PER I.D.	NON-RATED	H5	
D101-D	2'-0"	7'-0"	1/4"	GLASS	D5	-	-	-	-	-	-	PER I.D.	NON-RATED	H5	TEMPERED
D102-A	2'-10"	8'-0"	2"	WOOD	D1	PER I.D.	4/A602	10/A602	-	WOOD	FI	PER I.D.	NON-RATED	H8	
D102-B	2'-5"	8'-0"	2"	WOOD	D1	PER I.D.	4/A602	10/A602	-	WOOD	FI	PER I.D.	NON-RATED	H8	
D102-C	2'-0"	7'-0"	1/4"	GLASS	D5	-	-	-	-	-	-	PER I.D.	NON-RATED	H5	TEMPERED
D103-A	20'-0"	10'-0"	-	WOOD/METAL	D7	PER OWNER	6/A602	12/A602	6/A601	METAL	-	-	-	H2	GARAGE DOOR WOOD PANELS
D104-A	3'-0"	8'-0"	1 1/2"	WOOD	D4	PER I.D.	3/A602	9/A602	-	-	-	PER I.D.	NON-RATED	H12	POCKET DOOR
D104-B	3'-0"	8'-0"	2"	WOOD	D1	PER I.D.	4/A602	10/A602	-	WOOD	FI	PER I.D.	20 MIN.	H1	POCKET DOOR FIRE RATED
D105-A	2'-10"	8'-0"	2"	WOOD	D1	PER I.D.	4/A602	10/A602	-	WOOD	FI	PER I.D.	NON-RATED	H1	
D200-A	2'-4"	8'-0"	2"	WOOD	D1	PER I.D.	4/A602	10/A602	-	WOOD	FI	PER I.D.	NON-RATED	H8	
D200-B	2'-0"	7'-0"	1/4"	GLASS	D5	-	-	-	-	-	-	PER I.D.	NON-RATED	H5	TEMPERED
D201-A	2'-10"	8'-0"	2"	WOOD	D1	PER I.D.	4/A602	10/A602	-	WOOD	FI	PER I.D.	NON-RATED	H8	
D202-A	3'-0"	8'-0"	2"	WOOD	D2	PER I.D.	4/A602	10/A602	-	WOOD	FI	PER I.D.	NON-RATED	H11	DOUBLE DOOR
D202-B	2'-10"	8'-0"	2"	WOOD	D1	PER I.D.	4/A602	10/A602	-	WOOD	FI	PER I.D.	NON-RATED	H5	
D202-C	2'-4"	8'-0"	2"	WOOD	D1	PER I.D.	4/A602	10/A602	-	WOOD	FI	PER I.D.	NON-RATED	H5	
D202-D	2'-0"	7'-0"	1/4"	GLASS	D5	-	-	-	-	-	-	PER I.D.	NON-RATED	H5	TEMPERED
D202-E	2'-4"	8'-0"	2"	WOOD	D1	PER I.D.	4/A602	10/A602	-	WOOD	FI	PER I.D.	NON-RATED	H5	
D203-A	2'-4"	8'-0"	1 1/2"	WOOD	D4	PER I.D.	3/A602	9/A602	-	-	-	PER I.D.	NON-RATED	H12	POCKET DOOR

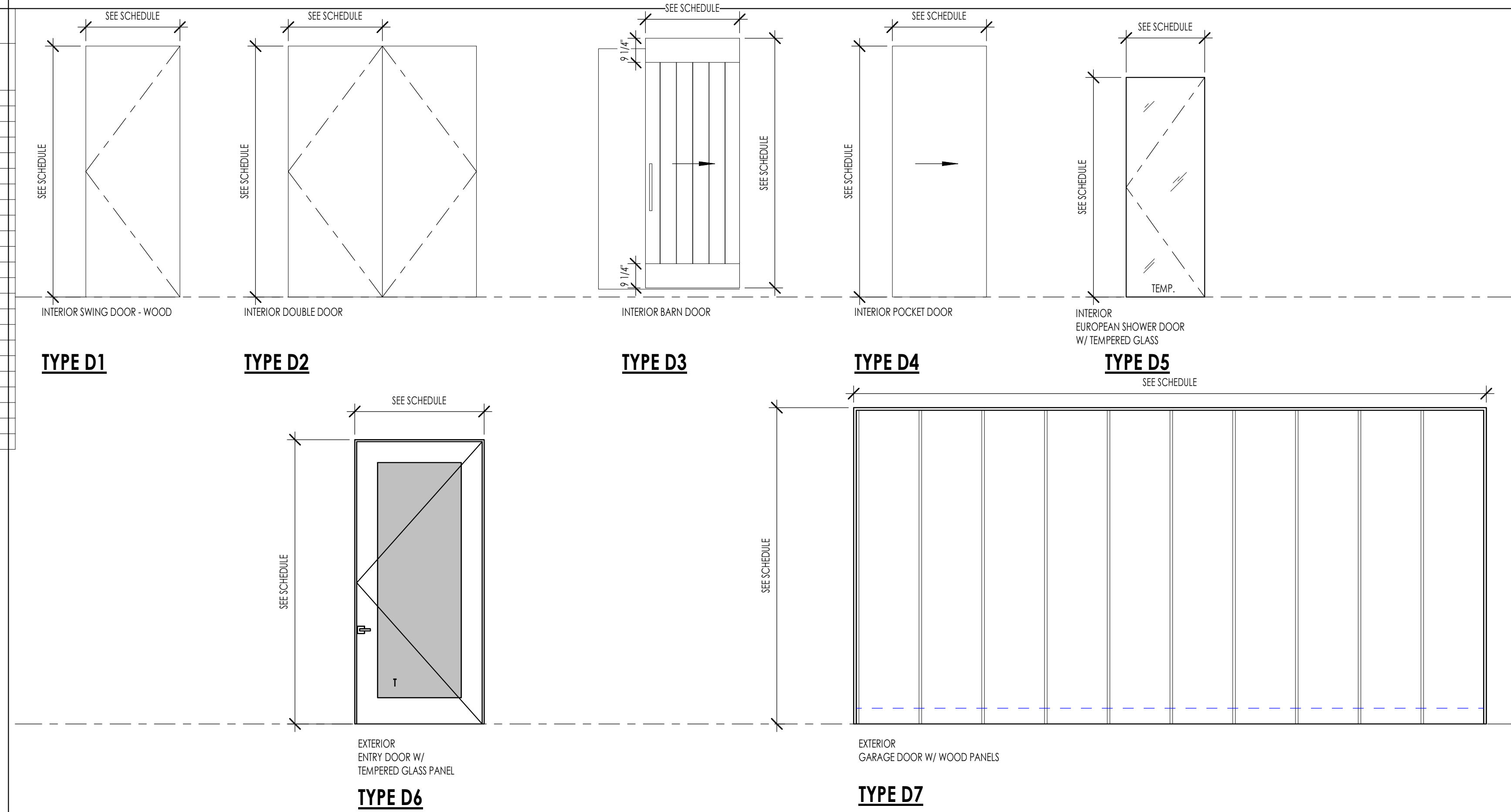
**DOOR SCHEDULE GENERAL NOTES**

- SEE SHEET A601 FOR DOOR AND FRAME TYPES.
- CONTRACTOR SHALL FIELD VERIFY ALL DOOR OPENINGS PRIOR TO ORDERING ALL DOORS.
- CONTRACTOR SHALL SUBMIT COMPLETE DOOR AND HARDWARE SHOP DRAWINGS AND SUBMITTALS FOR APPROVAL FOR EACH BUILDING PRIOR TO ORDERING AND TAKING RECEIPT OF DOOR ORDER. ARCHITECT SHALL REVIEW ALL DOORS FOR COMPLIANCE SPECIFICATIONS AND BUILDING CODE.
- ALL DOORS REQUIRED TO BE RATED SHALL HAVE APPROPRIATE U.L. RATINGS AS INDICATED IN DOOR SCHEDULE AND SPECIFICATION. ALL DOORS SHALL HAVE LABEL ON DOOR AND FRAME FOR INSPECTION ON SITE, AND SHALL NOT BE REMOVED.
- ALL DOORS SHALL BE INSTALLED SO AS NOT TO HAVE MORE THAN 1/2" THRESHOLD AT EACH DOOR.
- REFER TO INTERIOR DESIGNER FOR CORRECT DOOR STYLES, SPECIES, AND FINISHES.
- OPENINGS BETWEEN GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOOR NOT LESS THAN 1 3/8 INCHES THICK, SOLID HONEYCOMB CORE STEEL DOORS NOT LESS THAN 1 3/8 INCHES THICK, OR 20 MINUTE FIRE RATED DOORS. SEE I.R.C. SECTION R602.3.1.

**HARDWARE GROUPS**

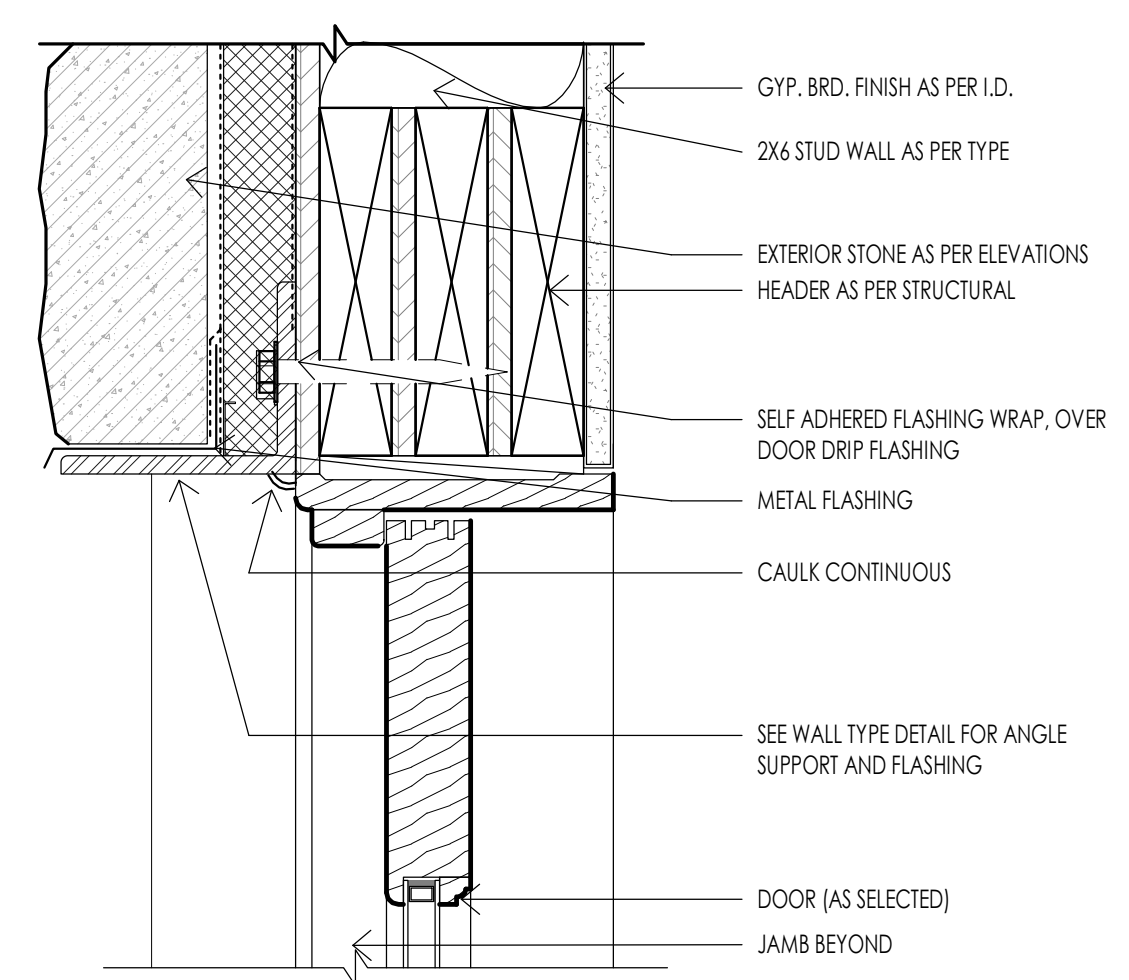
- H1 MECHANICAL ROOM**
  - 1 PAIR SPRING HINGES
  - 1 SMOKE SEAL
  - 1 PASSAGE SET
- H2 OVERHEAD GARAGE DOORS**
  - GARAGE ENTRY PROVIDED BY OVERHEAD DOOR MANUFACTURER
- H3 SECONDARY ENTRY DOOR**
  - 3 PAIR SPRING HINGES
  - 1 SMOKE SEAL
  - 1 LOCKSET
  - 1 THRESHOLD
- H4 GARAGE/HOUSE**
  - 3 PAIR HINGES
  - 1 WEATHER STRIP
  - 1 LOCKSET
  - 1 DEADBOLT
- H5 INTERIOR DOOR**
  - 3 PAIR HINGES
  - 1 PASSAGE SET
- H6 INTERIOR BARN DOOR**
- H7 INTERIOR DOUBLE BARN DOOR**
- H8 INTERIOR DOOR**
  - 3 PAIR HINGES
  - 1 PRIVACY SET
- H9 INTERIOR DOUBLE DOOR**
  - 6 PAIR HINGES
  - 2 KNOBS (SINGLE SIDE ONLY)
- H10 ENTRY DOOR**
  - 1 WEATHER STRIP
  - 1 THRESHOLD
  - 1 LOCKSET
  - 1 DEADBOLT
  - 1 PIVOT HINGE (TOP AND BOTTOM)
- H11 INTERIOR DOUBLE DOOR**
  - 6 PAIR HINGES
  - 2 PASSAGE SET
- H12 POCKET DOOR**

**DOOR TYPES**

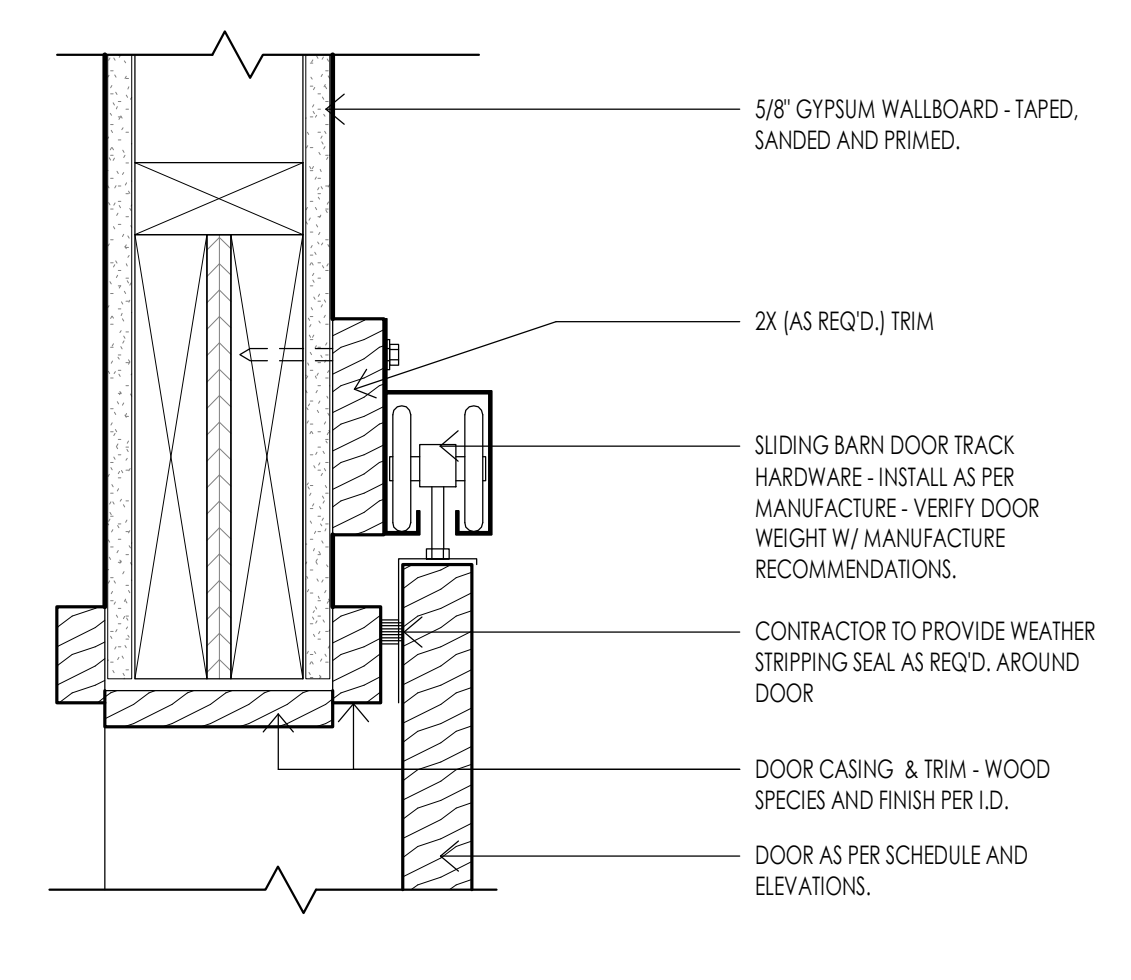


**FRAME TYPES**

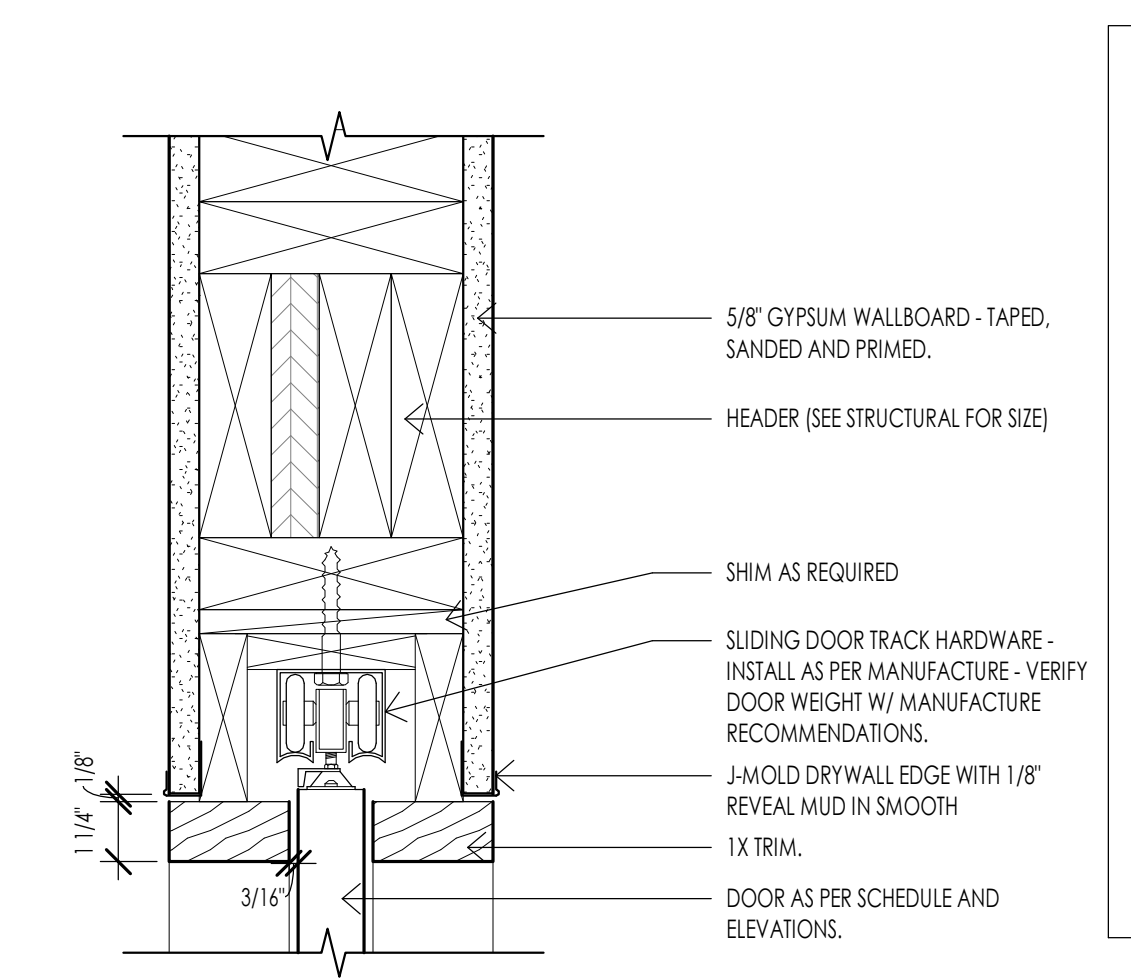




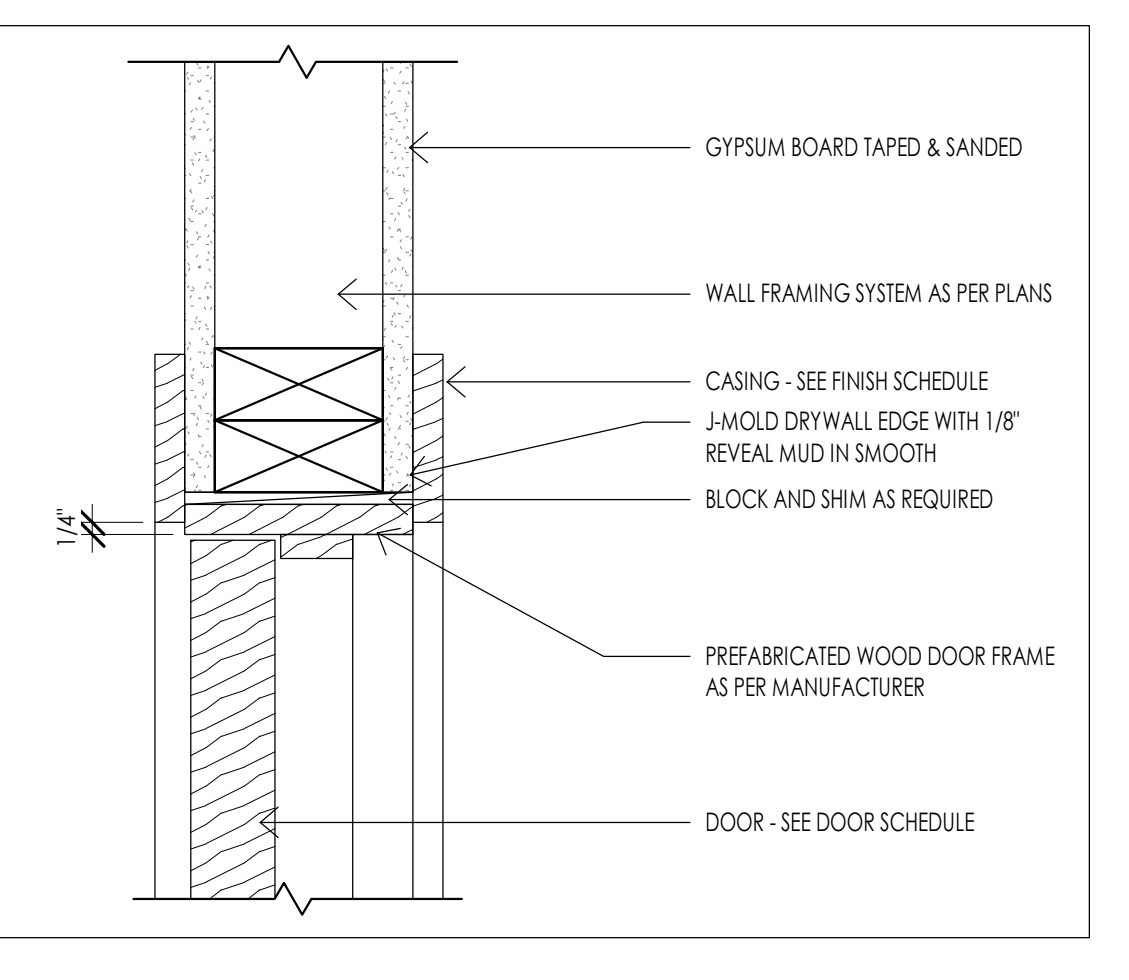
DOOR - TYPICAL EXTERIOR HEADER AT STONE  
3" = 1'-0"



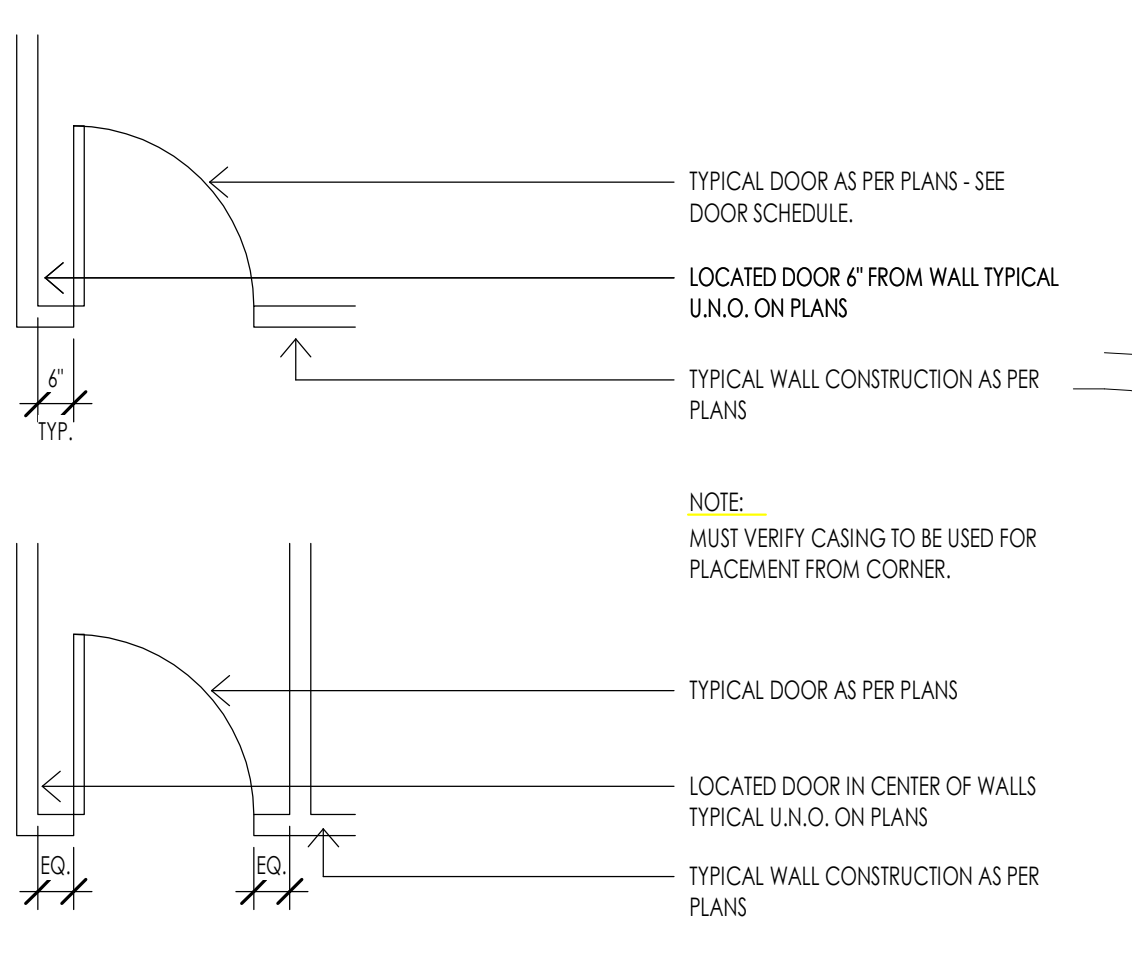
DOOR - BARN TYP. HEADER  
3" = 1'-0"



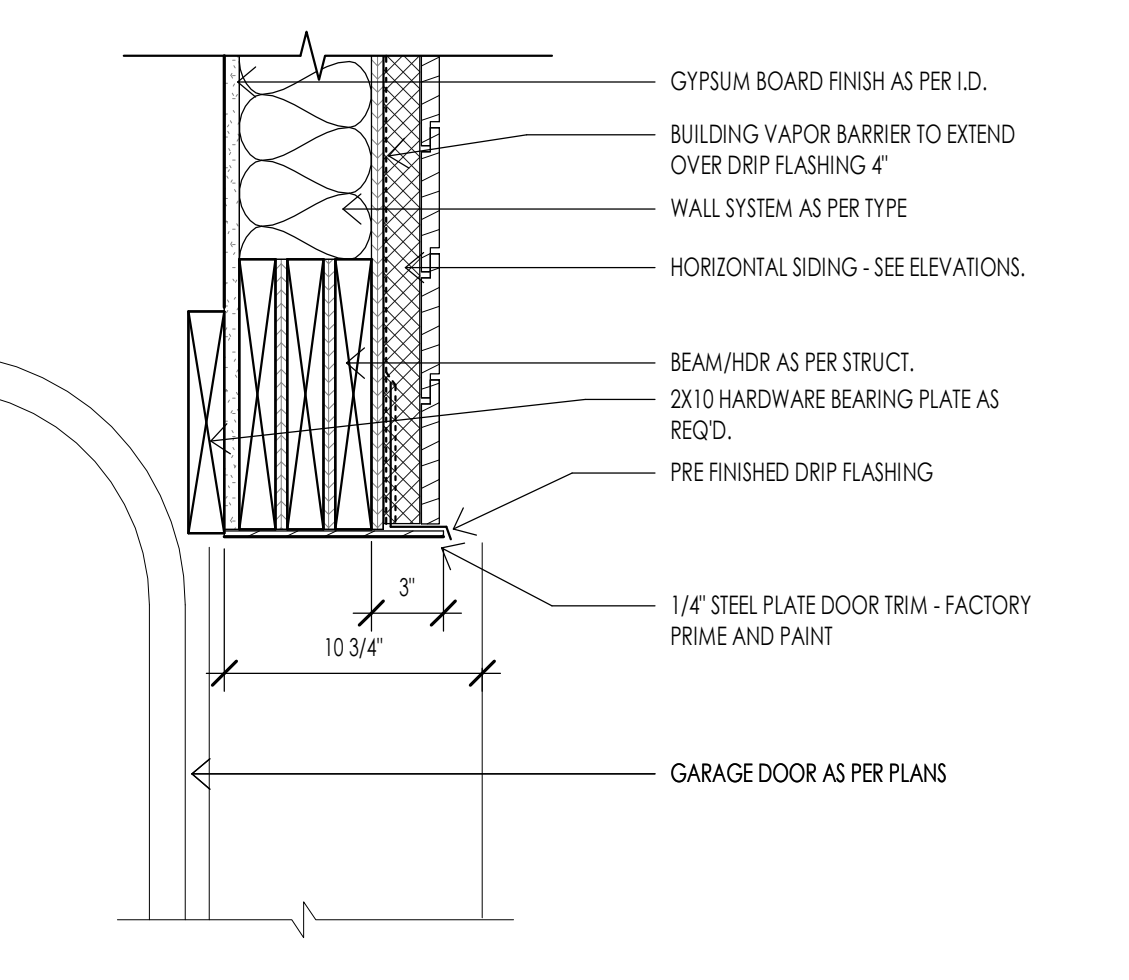
DOOR - POCKET HEAD DETAIL  
3" = 1'-0"



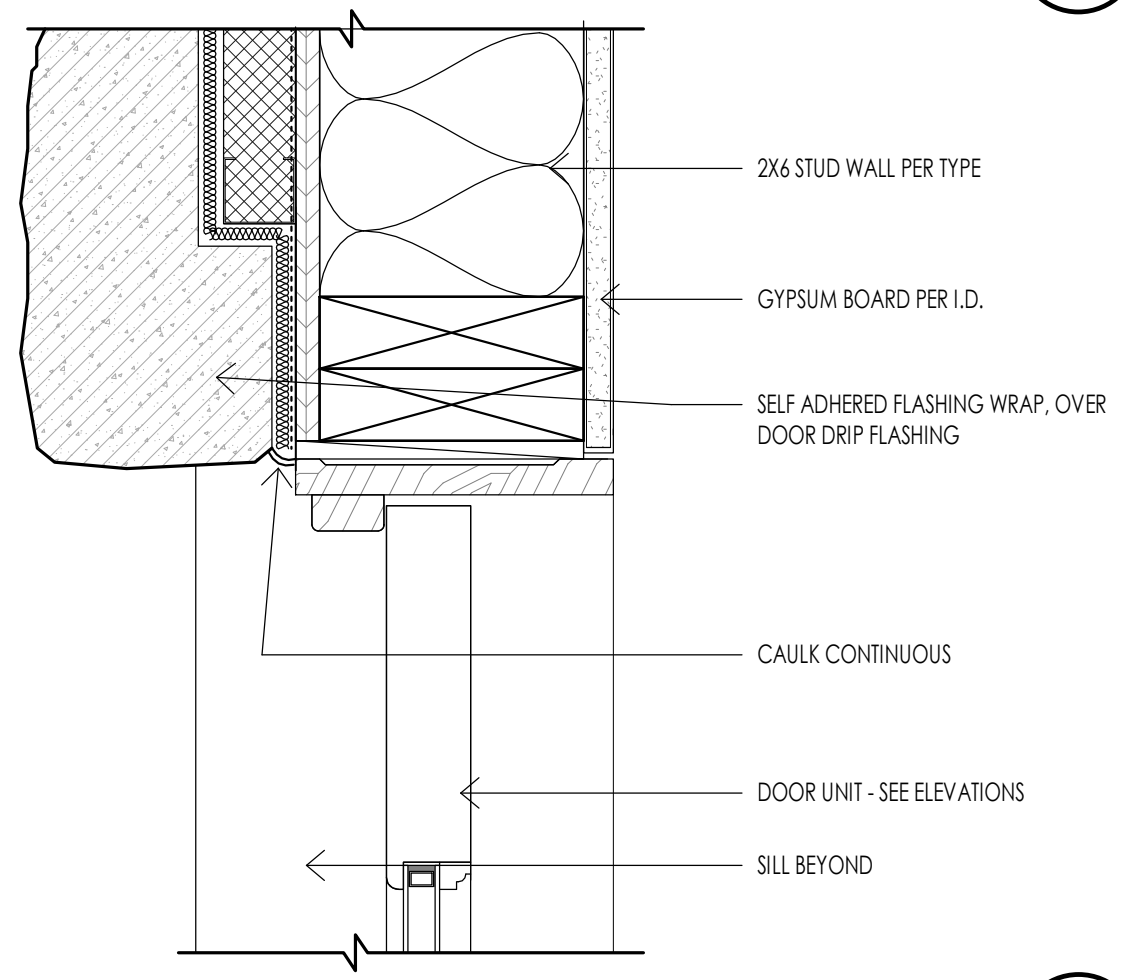
DOOR - TYPICAL INTERIOR HEADER  
3" = 1'-0"



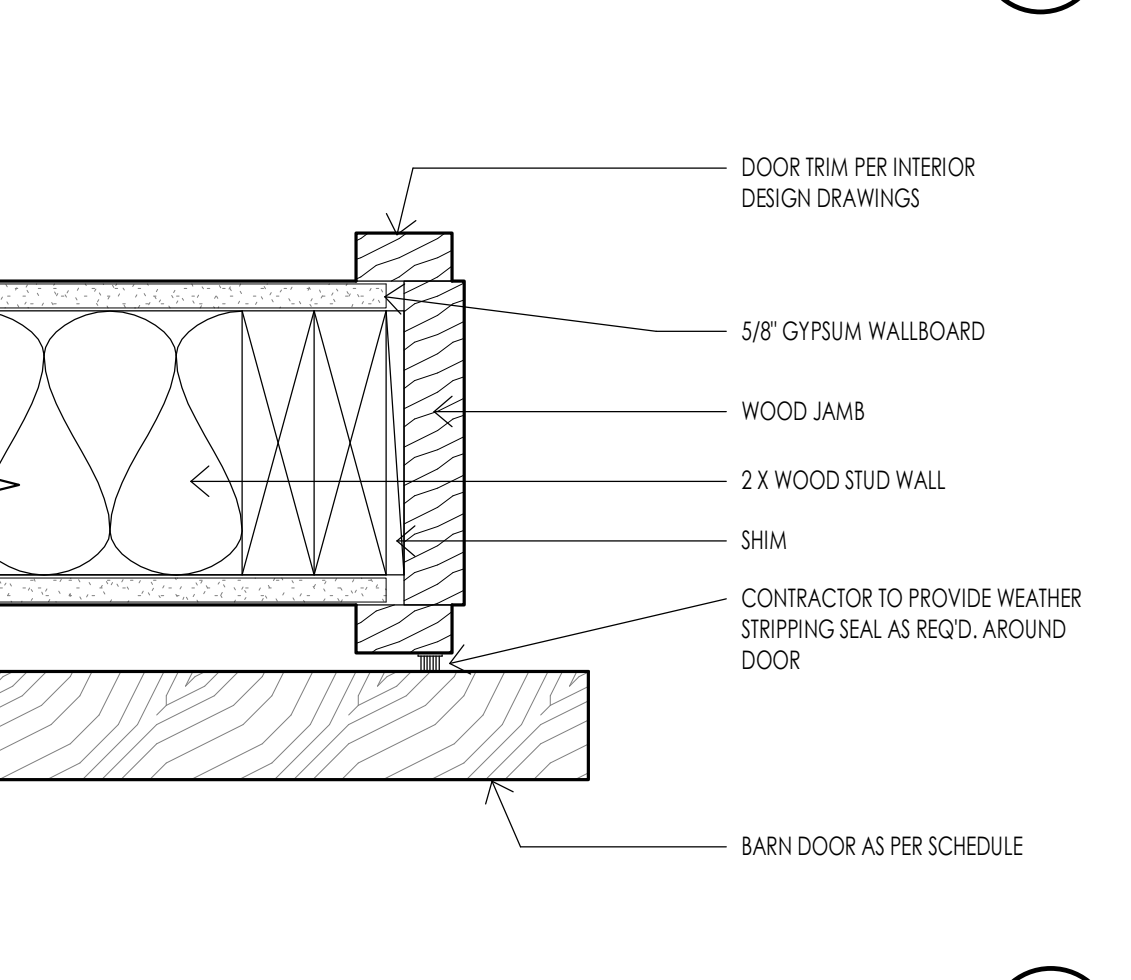
DOOR - TYPICAL PLACEMENT DETAIL  
3/8" = 1'-0"



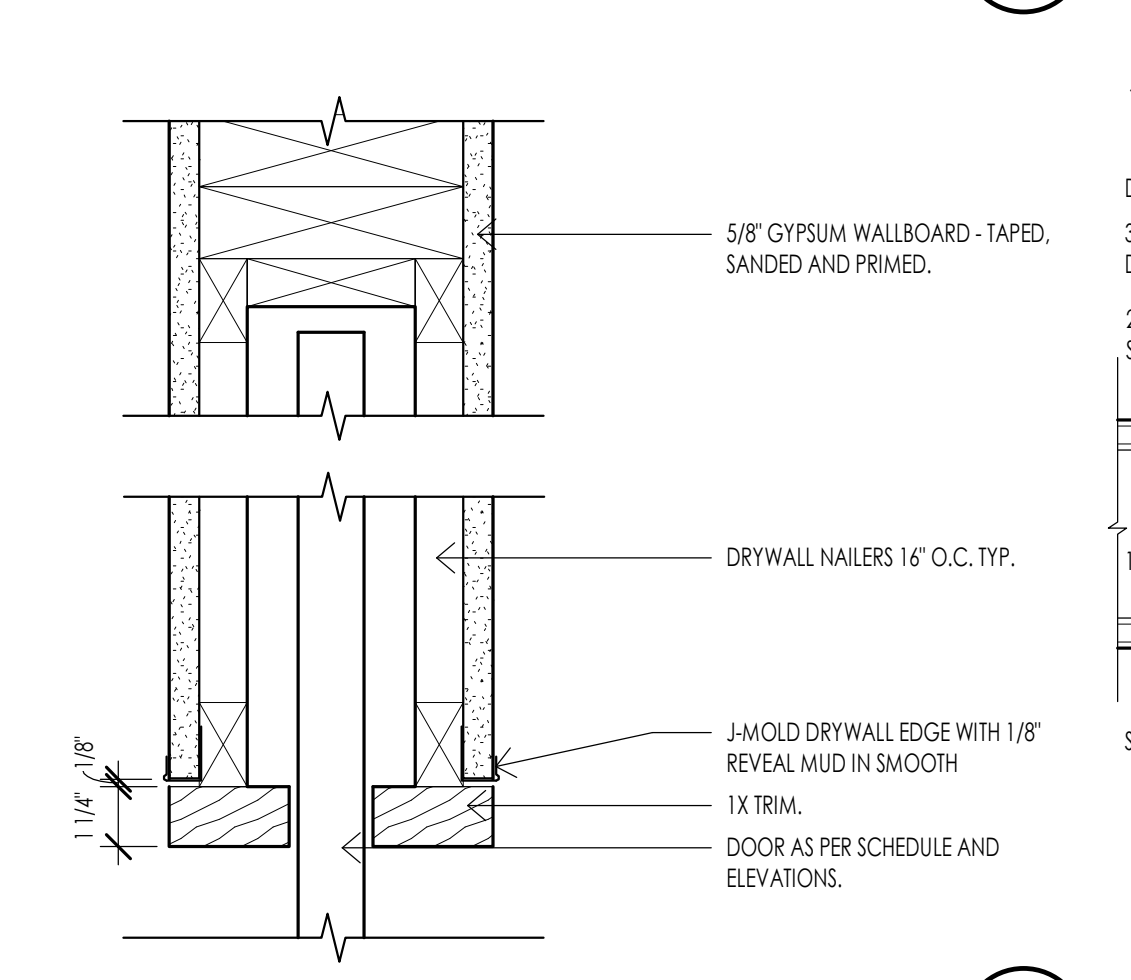
GARAGE DOOR - HEAD DETAIL  
1 1/2" = 1'-0"



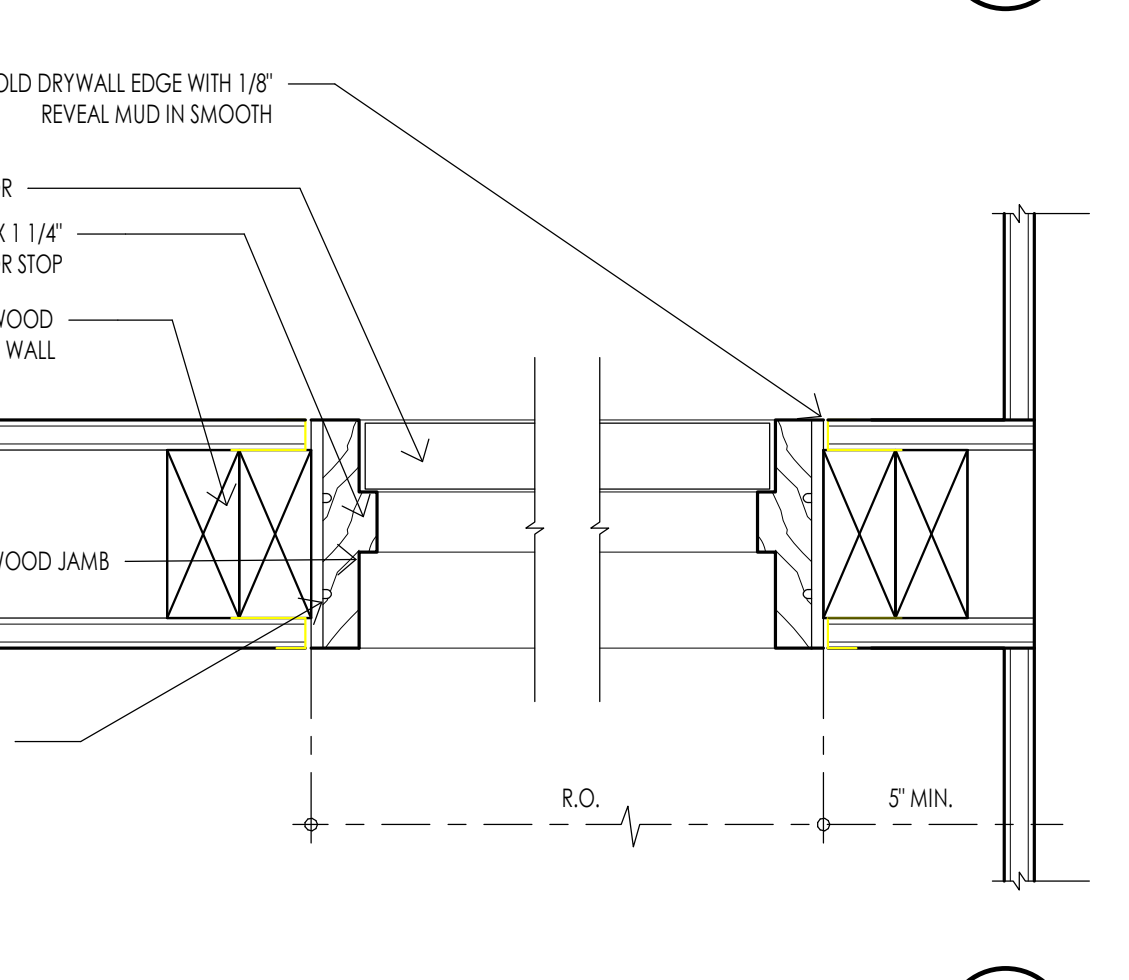
TYPICAL EXTERIOR DOOR JAMB TRIM AT STONE  
3" = 1'-0"



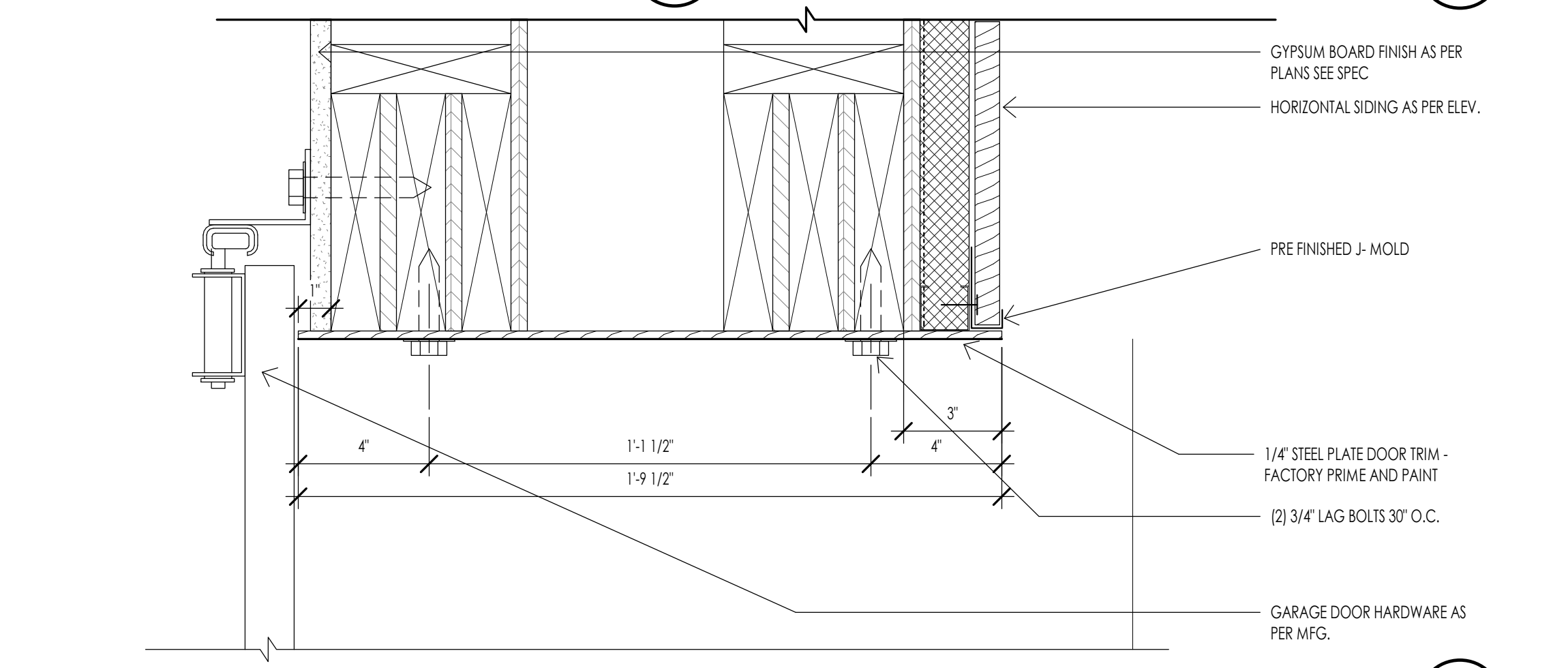
DOOR - BARN TYP. JAMB  
3" = 1'-0"



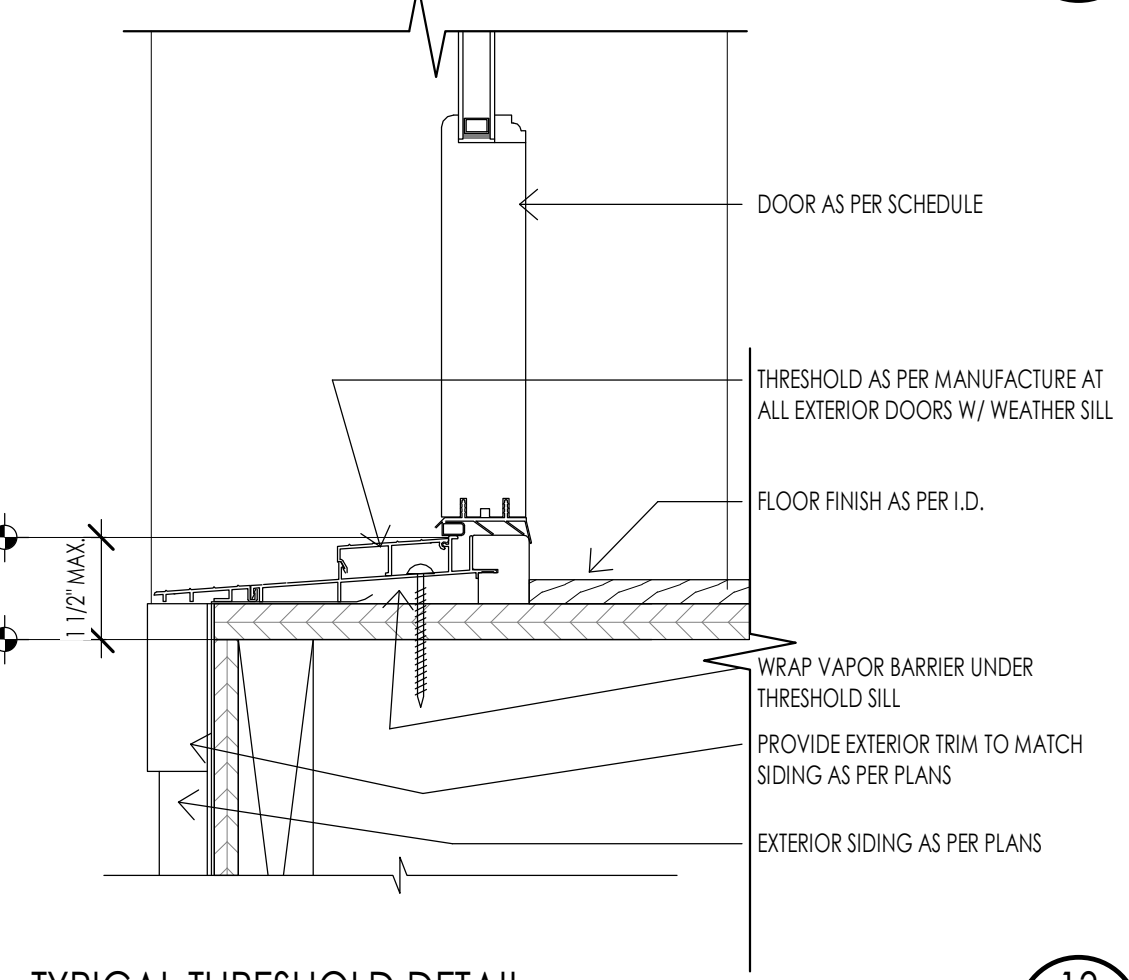
DOOR - POCKET JAMB DETAIL  
3" = 1'-0"



DOOR INTERIOR JAMB  
3" = 1'-0"



GARAGE DOOR JAMB DETAIL  
3" = 1'-0"



TYPICAL THRESHOLD DETAIL  
3" = 1'-0"



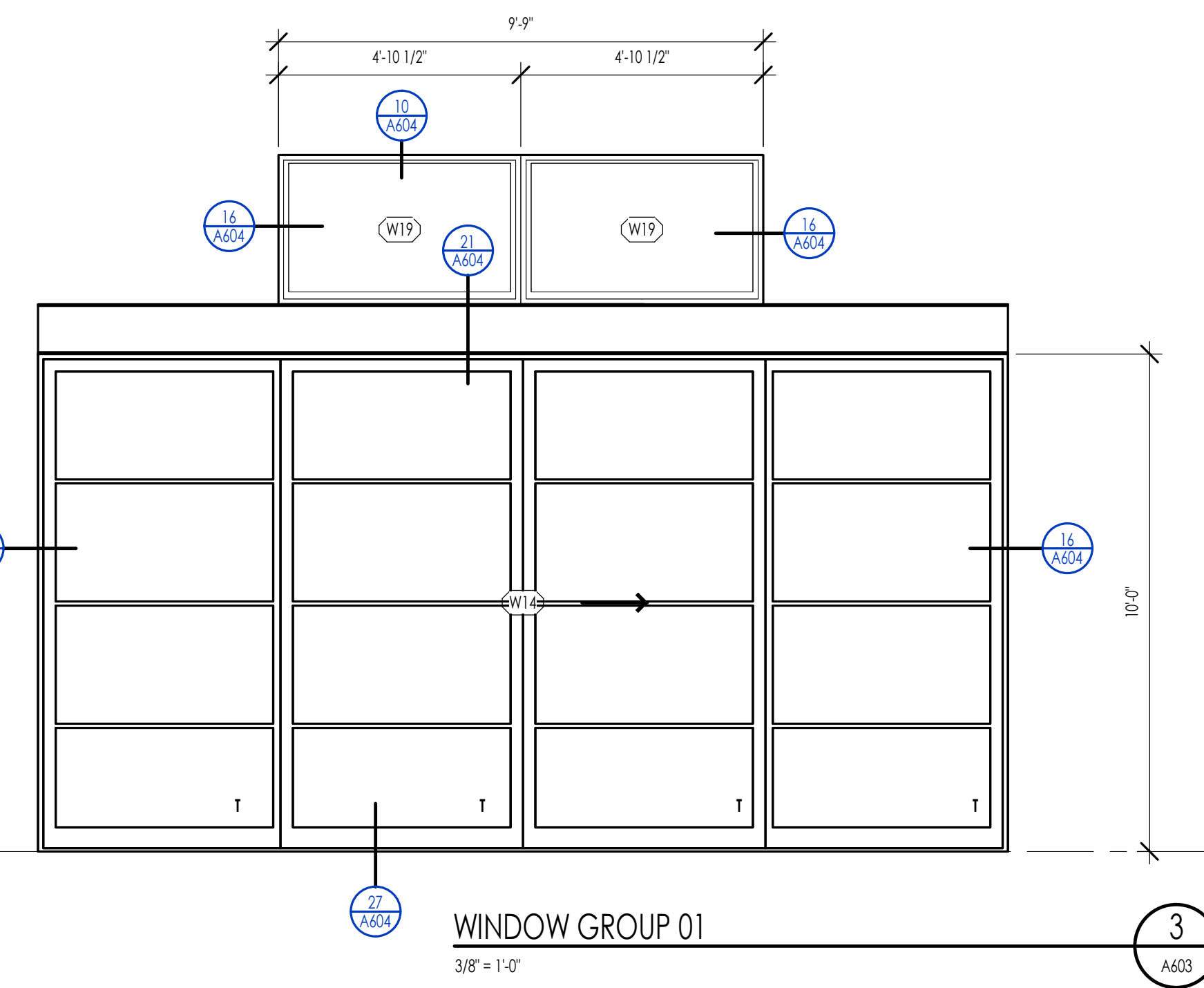
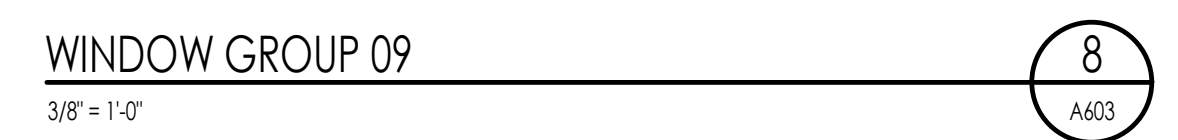
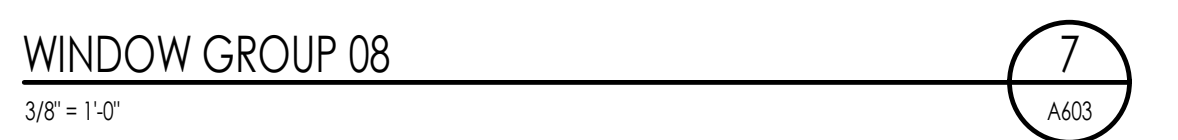
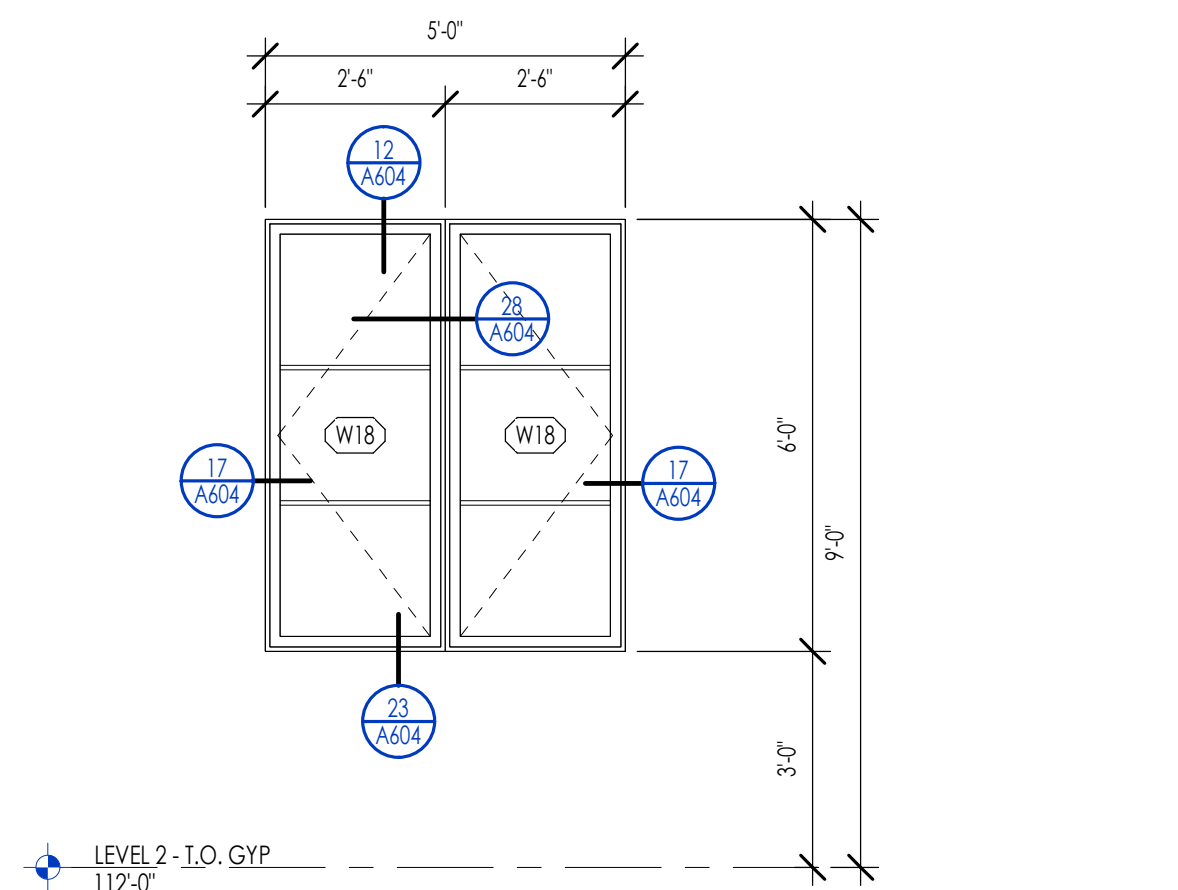
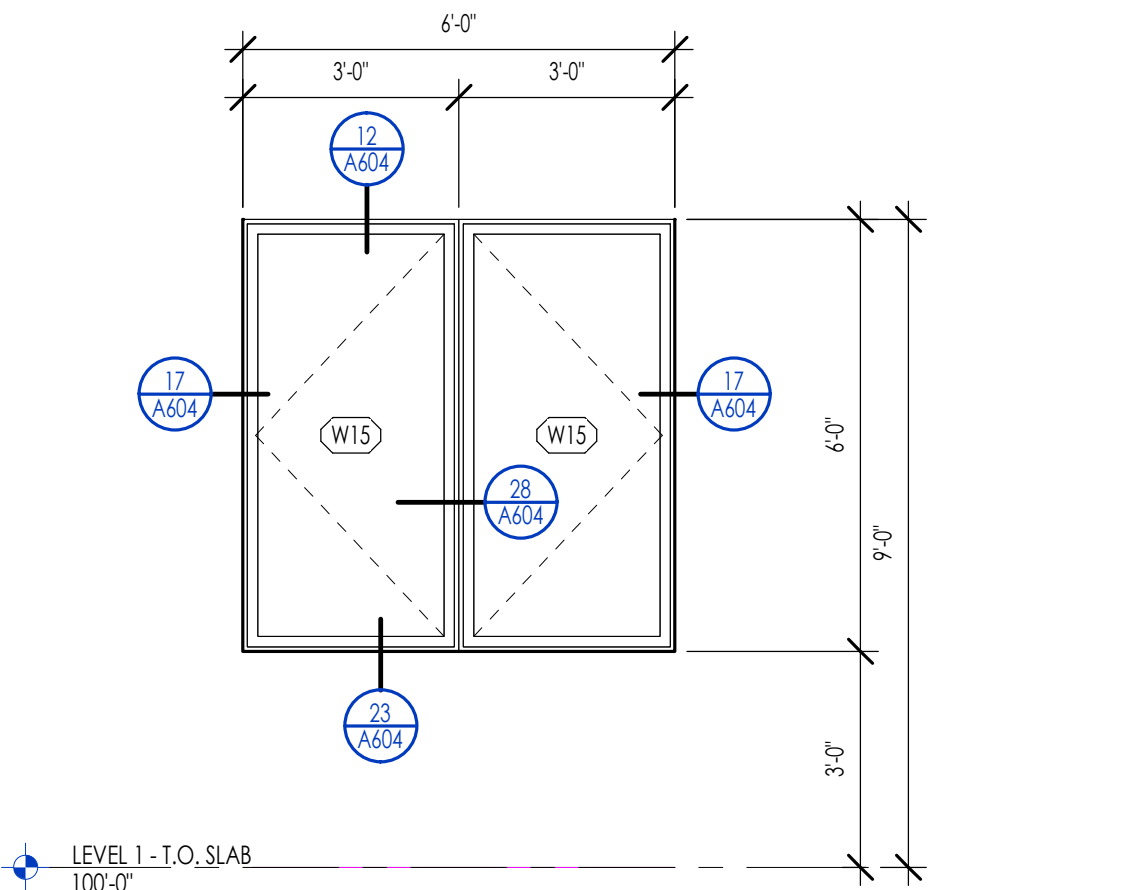
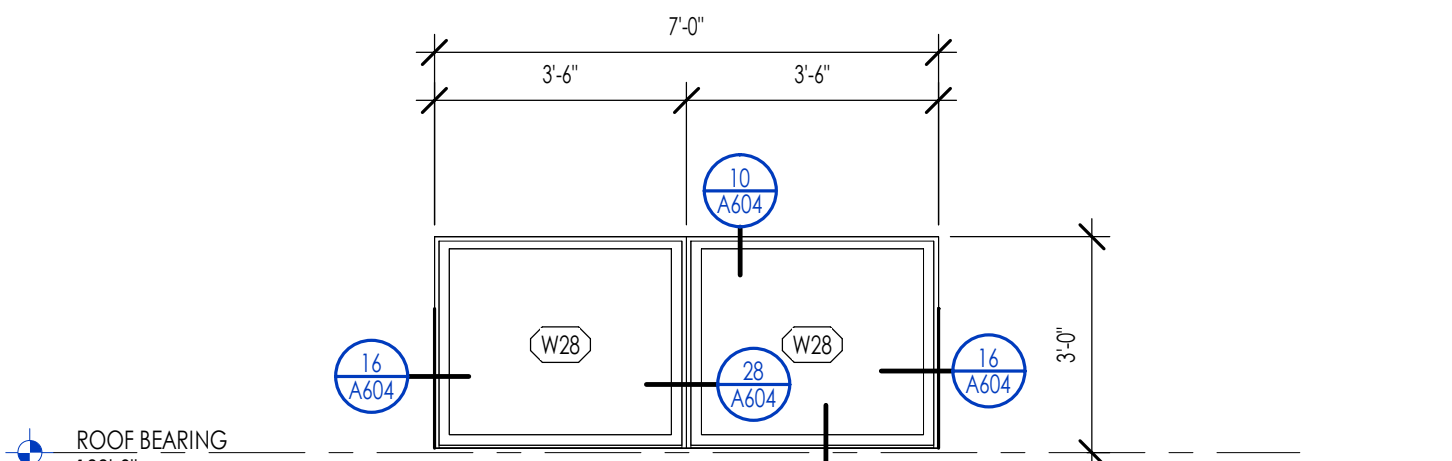
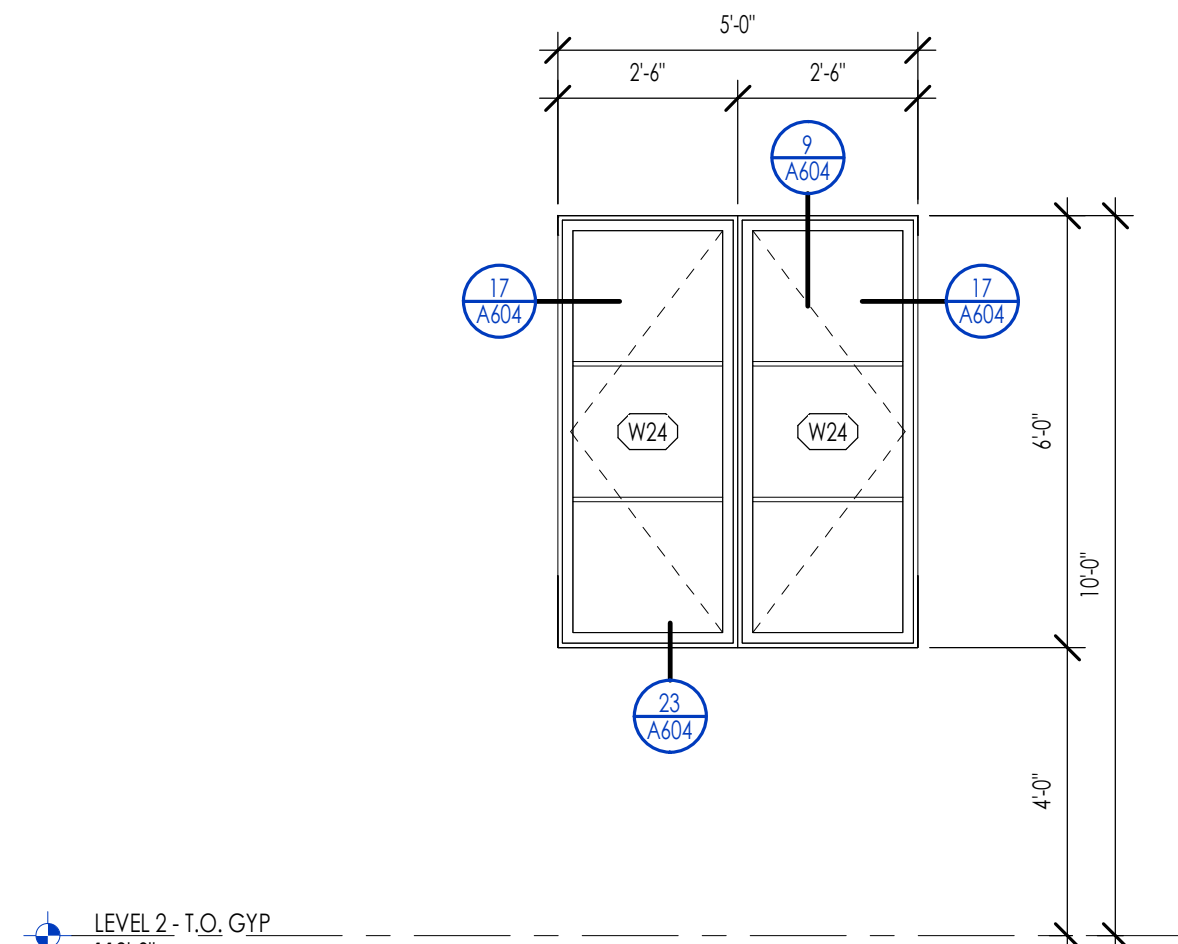
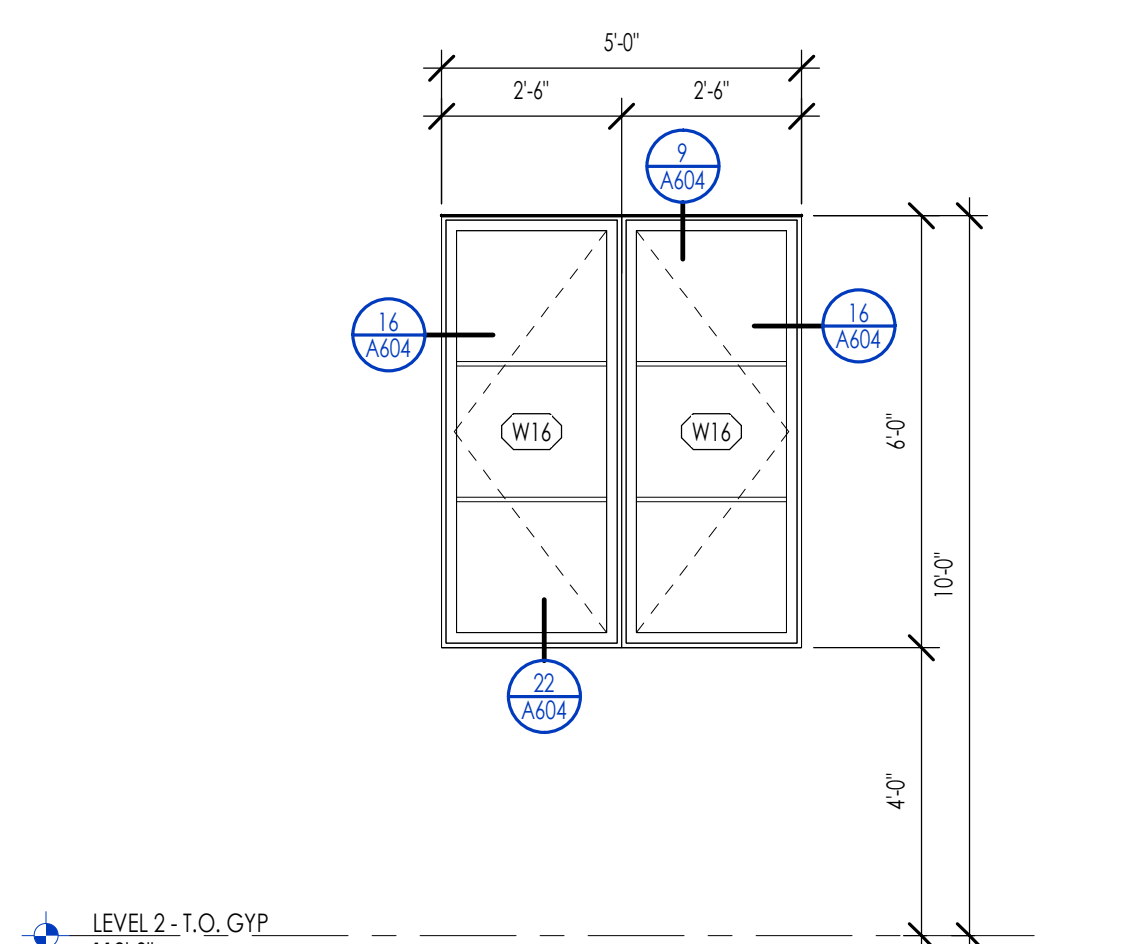
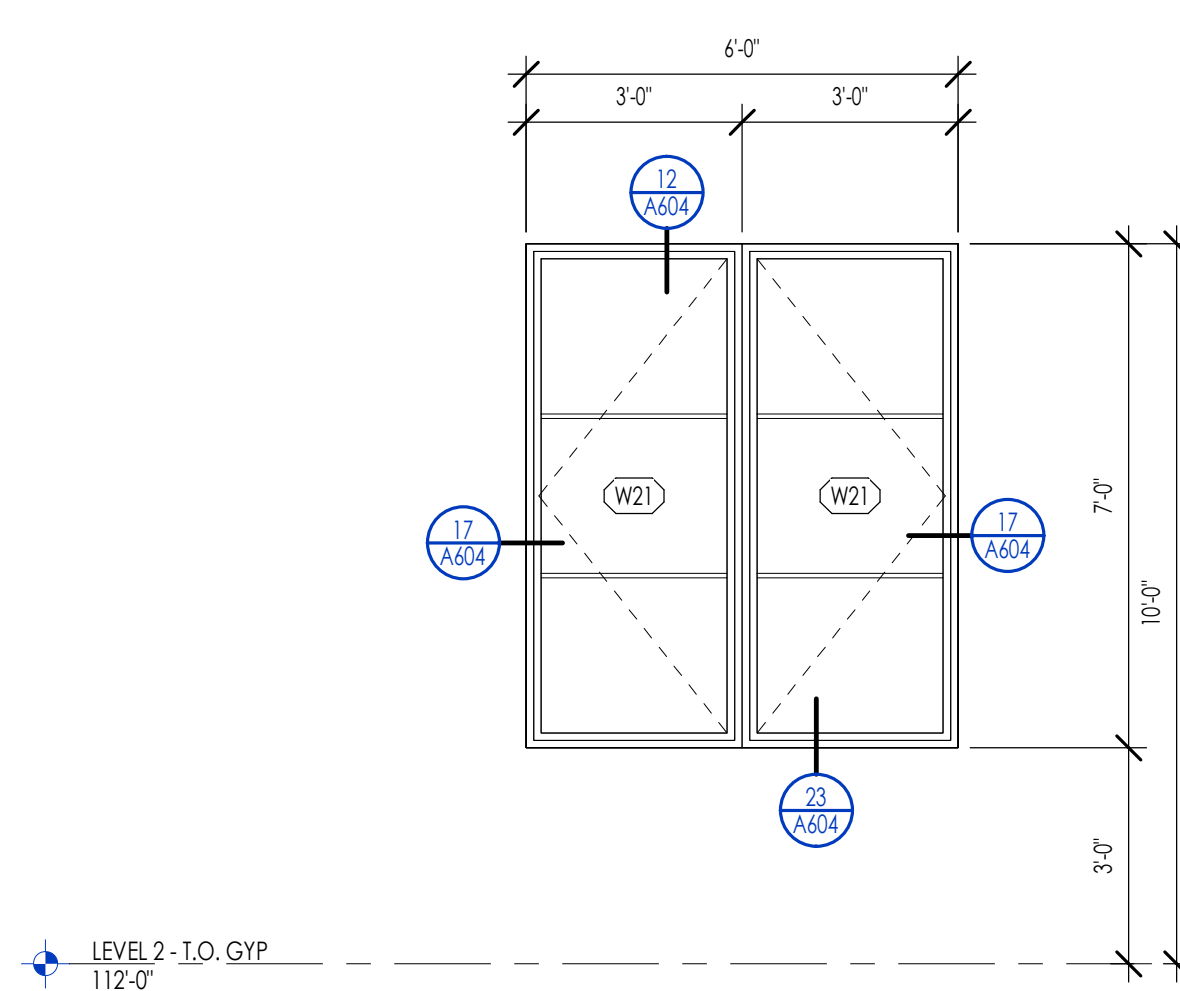
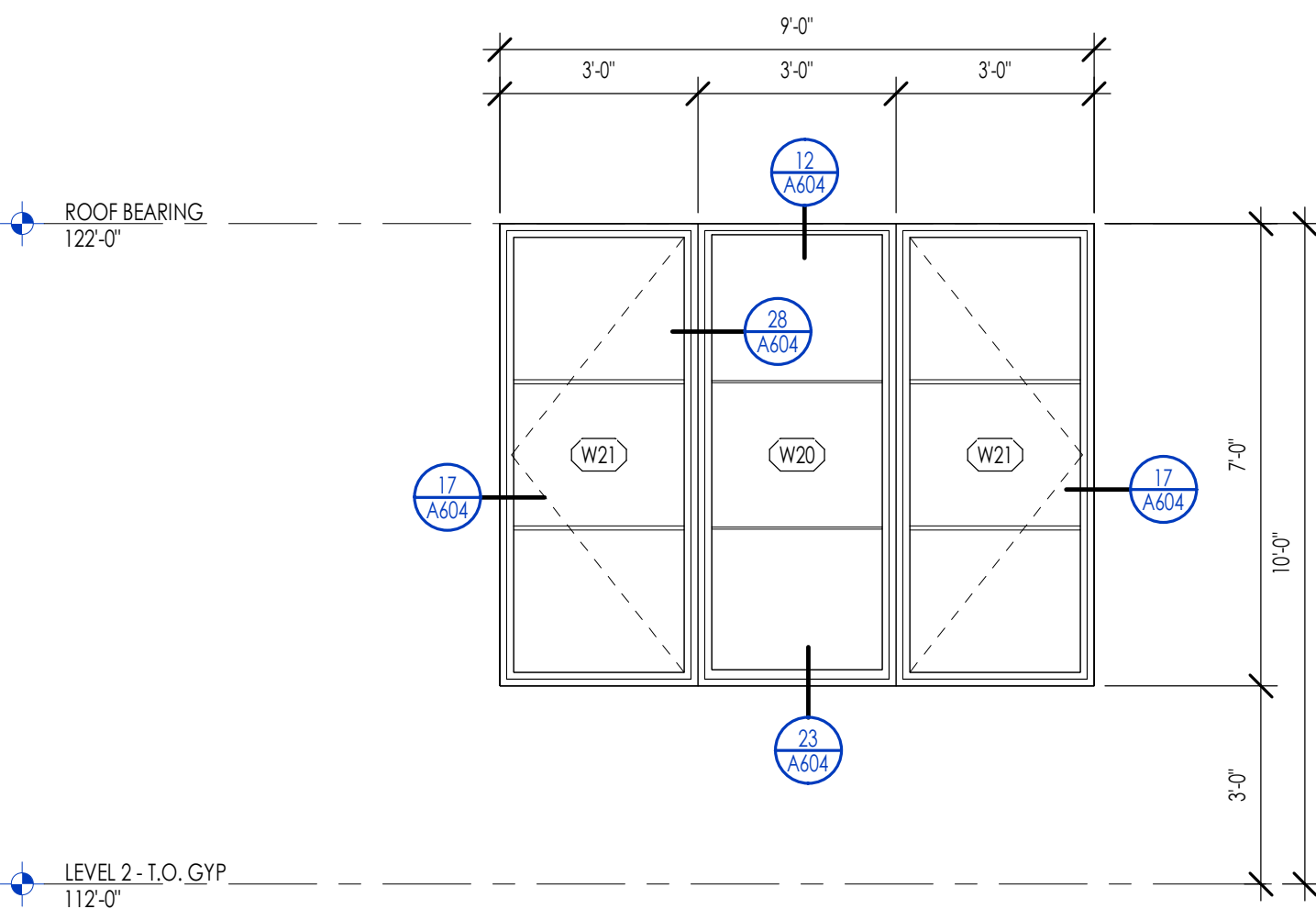
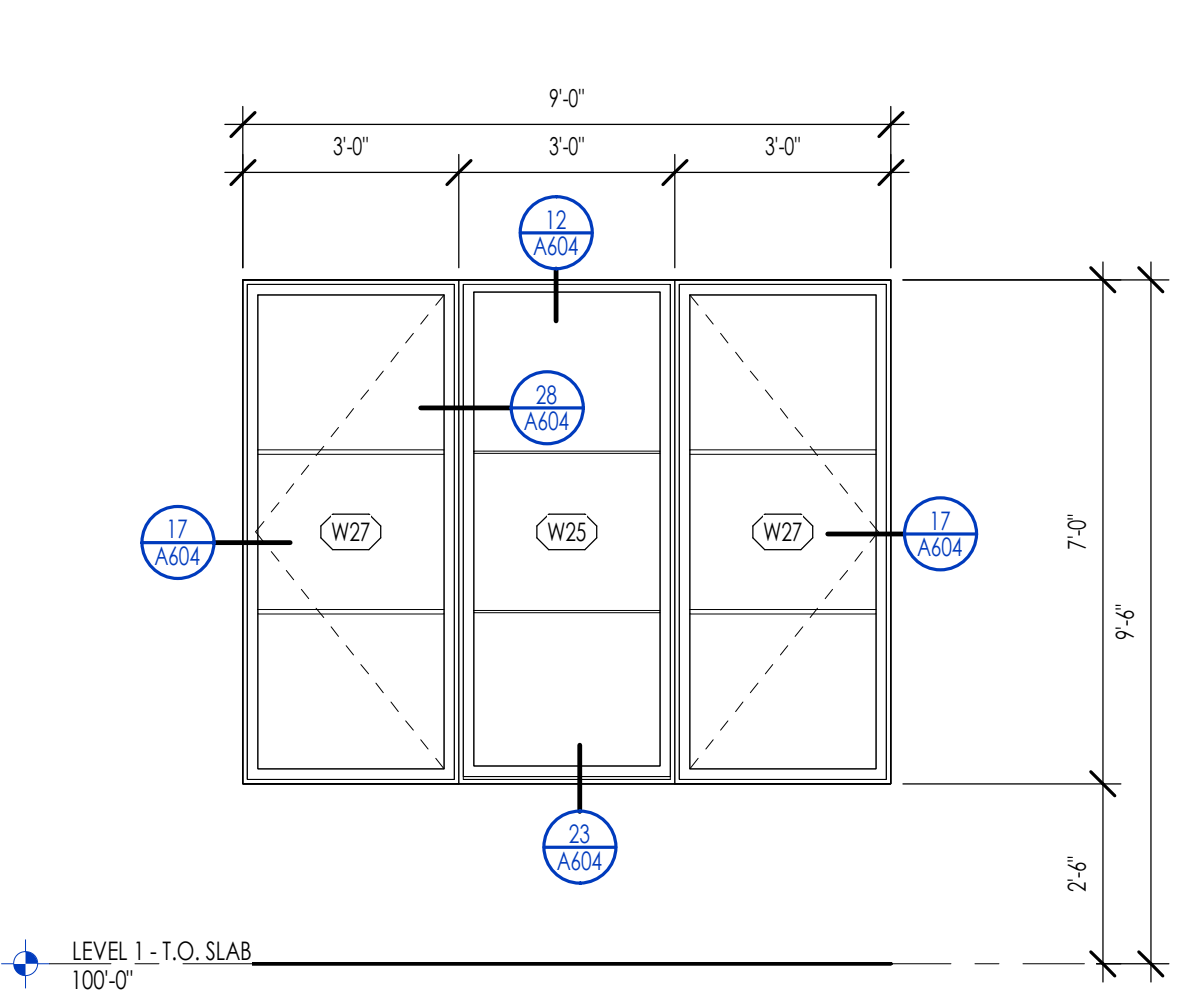
DOOR - SLIDER TRIPLE JAMB @ STONE  
3" = 1'-0"



DOOR - SLIDER TRIPLE JAMB @ BOARD SIDING  
3" = 1'-0"

WINDOW SCHEDULE

MARK	UNIT SIZE		HEAD HEIGHT	OPERATION	MATERIAL	FINISH	DETAIL			GLAZING		COMMENTS
	WIDTH	HEIGHT					HEAD	JAMB	SILL	THICKNESS	TYPE	
W14	19'-6"	10'-0"	10'-0"	DOOR SLIDER QUAD OPEN TO SIDE	ALUMINUM CLAD	AS PER I.D.	21/A604	16/A604	27/A604	PER MANUFACTURER	LOWE 366	TEMPERED
W15	3'-0"	6'-0"	7'-0"	CASEMENT	ALUMINUM CLAD	AS PER I.D.	12/A604	17/A604	23/A604	PER MANUFACTURER	LOWE 366	
W16	2'-4"	6'-0"	10'-0"	CASEMENT	ALUMINUM CLAD	AS PER I.D.	9/A604	16/A604	21/A604	PER MANUFACTURER	LOWE 366	
W18	2'-4"	6'-0"	9'-0"	CASEMENT	ALUMINUM CLAD	AS PER I.D.	12/A604	17/A604	23/A604	PER MANUFACTURER	LOWE 366	
W19	4'-10 1/2"	3'-0"	14'-0"	FIXED	ALUMINUM CLAD	AS PER I.D.	10/A604	16/A604	21/A604	PER MANUFACTURER	LOWE 366	
W20	3'-0"	7'-0"	10'-0"	FIXED	ALUMINUM CLAD	AS PER I.D.	12/A604	17/A604	23/A604	PER MANUFACTURER	LOWE 366	
W21	3'-0"	7'-0"	10'-0"	CASEMENT	ALUMINUM CLAD	AS PER I.D.	12/A604	17/A604	23/A604	PER MANUFACTURER	LOWE 366	
W22	3'-0"	7'-0"	10'-0"	CASEMENT	ALUMINUM CLAD	AS PER I.D.	12/A604	17/A604	23/A604	PER MANUFACTURER	LOWE 366	
W24	2'-4"	6'-0"	10'-0"	CASEMENT	ALUMINUM CLAD	AS PER I.D.	9/A604	16/A604	21/A604	PER MANUFACTURER	LOWE 366	
W25	3'-0"	7'-0"	9'-6"	FIXED	ALUMINUM CLAD	AS PER I.D.	12/A604	28/A604	23/A604	PER MANUFACTURER	LOWE 366	
W27	3'-0"	7'-0"	9'-6"	CASEMENT	ALUMINUM CLAD	AS PER I.D.	12/A604	17/A604	23/A604	PER MANUFACTURER	LOWE 366	
W28	3'-4"	3'-0"	13'-0"	FIXED	ALUMINUM CLAD	AS PER I.D.	10/A604	16/A604	23/A604	PER MANUFACTURER	LOWE 366	



WINDOW LEGEND

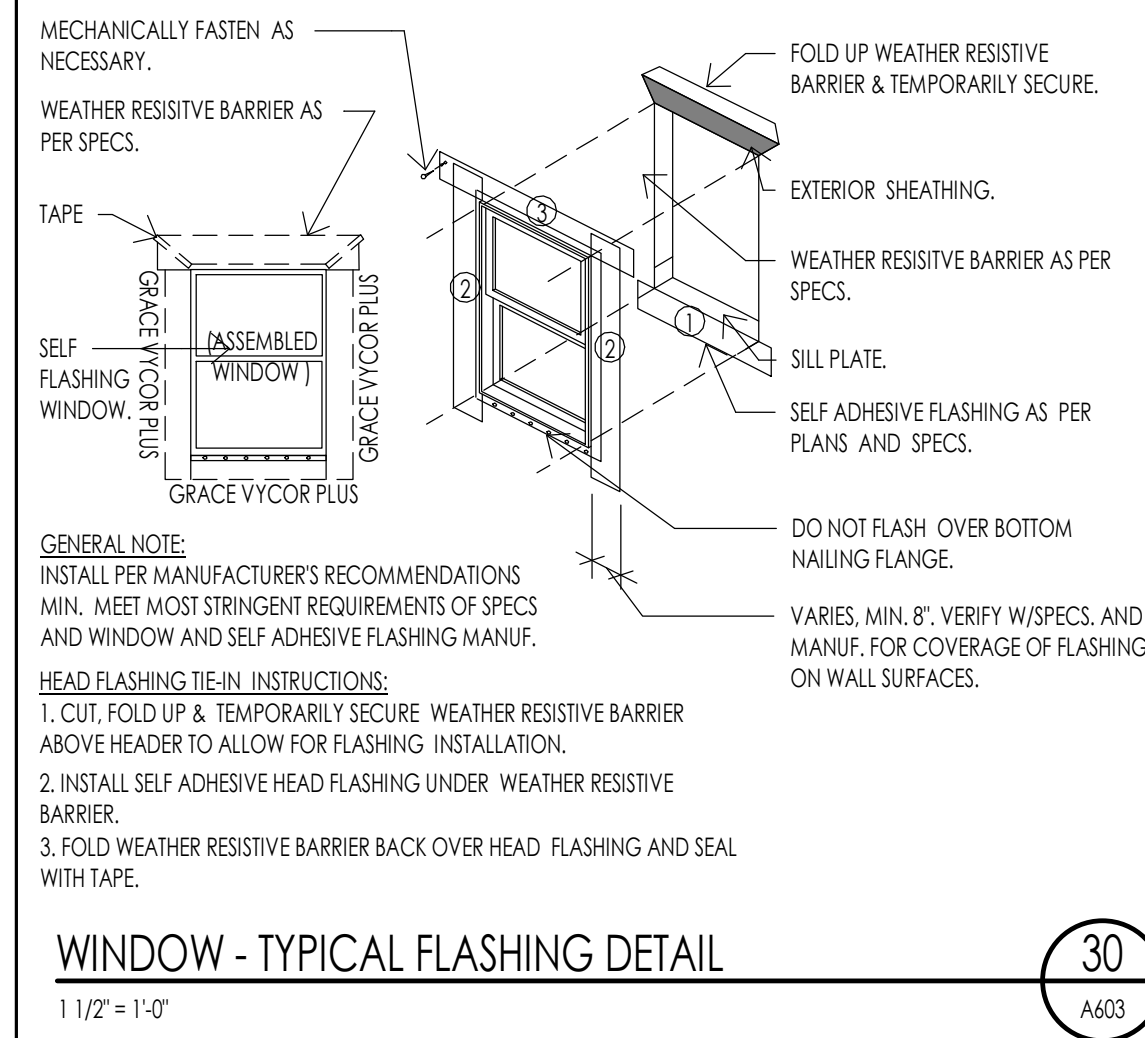
SYMBOL	DESCRIPTION
T	TEMPERED GLAZING LOCATIONS.
→	DIRECTION OF OPERABLE WINDOW/DOOR.
E	WINDOW IS REQUIRED TO MEET EMERGENCY EGRESS.

WINDOW SPECIFICATIONS

APPROVED MANUFACTURERS:	MINIMUM U-VALUE:
SCREENS REQUIRED:	
SCREEN COLOR:	
TYPICAL JAMB WIDTH:	
SDI WIDTH:	
SDI TYPE:	

WINDOW GENERAL NOTES

- EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL MEET THE FOLLOWING REQUIREMENTS. SEE I.R.C. SECTION R310.
  - BASEMENTS WITH HABITABLE SPACES SHALL HAVE AT LEAST ONE OPERABLE EMERGENCY ESCAPE AND RESCUE WINDOW OR DOOR OR ACCESS TO AN ADJOINING BERGROM WITH AN EMERGENCY ESCAPE AND RESCUE WINDOW.
  - ALL EMERGENCY OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING AREA OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 20 INCHES. THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20 INCHES. EMERGENCY OPENINGS SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS OR TOOLS. EXCEPT GROUND FLOOR, NET CLEAR AREA OF 5.0 SQUARE FEET. R310.1.1 TO R310.1.4.
  - WINDOW SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR. OPENINGS WITH A FINISHED SILL HEIGHT BELOW THE ADJACENT GROUND ELEVATION SHALL BE PROVIDED WITH A WINDOW WELL. R310.2.2
  - WINDOW WELLS REQUIRED FOR ESCAPE OR RESCUE SHALL HAVE HORIZONTAL DIMENSIONS THAT ALLOW THE DOOR OR WINDOW TO BE FULLY OPENED. THE HORIZONTAL DIMENSION FOR THE WINDOW WELL SHALL PROVIDE A MINIMUM NET CLEAR AREA OF 9 SQUARE FEET WITH A MINIMUM HORIZONTAL PROJECTION AND WIDTH OF 36 INCHES. R310.2.3
  - WINDOW WELLS WITH A VERTICAL DEPTH GREATER THAN 44 INCHES BELOW THE ADJACENT GROUND LEVEL SHALL BE EQUIPPED WITH A PERMANENTLY AFFIXED LADDER OR STEPS USABLE WITH THE WINDOW IN THE FULLY OPENED POSITION. LADDERS OR RUNGS SHALL HAVE AN INSIDE WIDTH OF AT LEAST 12 INCHES. SHALL PROJECT AT LEAST 3 INCHES FROM THE WALL AND SHALL BE SPACED NOT MORE THAN 18 INCHES ON CENTER VERTICALLY FOR THE FULL HEIGHT OF THE WINDOW WELL. R310.2.3.1
  - BARS, GRILLS, COVERS, SCREENS, ETC. SHALL BE PERMITTED TO BE PLACED OVER THE EMERGENCY EGRESS OPENING WINDOW WELL PROVIDED THE NET CLEAR OPENING SIZE IS NOT COMPROMISED AND THAT SUCH DEVICES SHALL BE RELEASED OR REMOVABLE FROM THE INSIDE WITHOUT THE USE OF A KEY, TOOL, OR FORCE GREATER THAN THAT WHICH IS REQUIRED FOR NORMAL OPERATION. R310.4
- SAFETY GLAZING SHALL BE INSTALLED IN HAZARDOUS LOCATIONS AND SHALL MEET THE FOLLOWING REQUIREMENTS. SEE I.R.C. SECTION R308. FOR EXCEPTIONS SEE I.R.C. R308.4.
  - EACH PANE OF GLASS INSTALLED IN HAZARDOUS LOCATIONS SHALL BE PERMANENTLY IDENTIFIED BY MANUFACTURER DESIGNATING THE TYPE, THICKNESS, AND SAFETY GLAZING STANDARD. THE LABEL SHALL BE ACID ETCHED, SANDBLASTED, CERAMIC FIRED OR EMBOSSED ON GLASS AND BE VISIBLE WHEN THE UNIT IS GLAZED. FOR EXCEPTIONS SEE I.R.C. R308.1.
  - PROVIDE SAFETY GLAZING IN FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND FOLDING DOORS (R308.4.1). SAFETY GLAZING SHALL BE PROVIDED WHEN GLAZING AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 40 INCHES ABOVE THE FLOOR OR WALKING SURFACE AND IS WITHIN 24 INCHES OF EITHER SIDE OF THE DOOR IN THE PLANE OF THE DOOR IN A CLOSED POSITION OR WHERE THE GLAZING IS ON A WALL PERPENDICULAR TO THE PLANE OF THE DOOR IN A CLOSED POSITION AND WITHIN 24 INCHES OF THE HINGE SIDE OF AN IN SWINGING DOOR. (I.R.C. R308.4.2)
  - PROVIDE SAFETY GLAZING WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 36 INCHES ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE OF STAIRWAYS, LANDINGS BETWEEN FLIGHTS OF STAIRS AND RAMPS. (I.R.C. R308.4.6)
  - PROVIDE SAFETY GLAZING IN DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS. GLAZING IN ANY PORTION OF A BUILDING WALL ENCLOSING THESE COMPARTMENTS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 40 INCHES ABOVE A STANDING OR WALKING SURFACE. (I.R.C. R308.4.3)
  - PROVIDE SAFETY GLAZING IN RAILINGS REGARDLESS OF AN AREA OR HEIGHT. (I.R.C. R308.4.I)
  - PROVIDE SAFETY GLAZING IN WALLS AND FENCES ENCLOSING SWIMMING POOLS OR HOT TUBS WHERE THE BOTTOM EDGE OF THE POOL OR SPA GLASS IS LESS THAN 40 INCHES ABOVE THE WALKING SURFACE. (I.R.C. R308.4.5)
  - PROVIDE SAFETY GLAZING IN FIXED OR OPERABLE PANELS THAT MEETS ALL OF THE FOLLOWING CONDITIONS: AREAS GREATER THAN 9 SQUARE FEET; BOTTOM EDGE LESS THAN 36 INCHES ABOVE THE FLOOR; TOP EDGE GREATER THAN 36 INCHES ABOVE FLOOR; AND WITHIN 36 INCHES OF WALKING SURFACE. (I.R.C. R308.4.3)
- THE GENERAL CONTRACTOR AND WINDOW SUPPLIER ARE RESPONSIBLE TO FIELD MEASURE ALL WINDOW OPENINGS AND PROVIDE SHOP DRAWINGS BEFORE MANUFACTURING. SHOP DRAWINGS SHALL BE PROVIDED FOR EACH BUILDING INDIVIDUALLY AND SHALL NOT BE COMBINED WITH ANY OTHER BUILDING.
- THE WINDOW SUPPLIER SHALL BE RESPONSIBLE TO VERIFY ALL EMERGENCY EGRESS, LIGHT AND VENTILATION, AND TEMPERED GLASS LOCATION REQUIREMENTS PRIOR TO EACH SUBMITTAL.
- THE GENERAL CONTRACTOR AND WINDOW SUPPLIER ARE RESPONSIBLE TO VERIFY THAT EACH OF THE ABOVE LISTED REQUIREMENTS HAVE BEEN MET AND NOTE ANY DISCREPANCIES ON SUBMITTAL.
- REFER TO THE PROJECT SPECIFICATIONS FOR ADDITIONAL INFORMATION.



Architecture  
Interior Design  
Landscape Architecture  
Land Planning  
Construction Management

7927 So. Highpoint Parkway, Suite 300  
Sandys, Utah 84094  
ph. 801.269.0555  
fax 801.269.1425  
www.thinkaec.com

The designs shown and described herein including all technical drawings, graphics, representations & models thereof, are proprietary & can not be copied, duplicated or commercially reproduced in whole or in part without the sole and express written permission from THINK Architecture, Inc. These drawings are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors, and office personnel only in accordance with this notice.



WARM SPRINGS RESIDENCE #33

170 BALD MOUNTAIN ROAD  
KETCHUM, IDAHO 83340

PROJECT NC22023.33

DATE: 2023.12.27

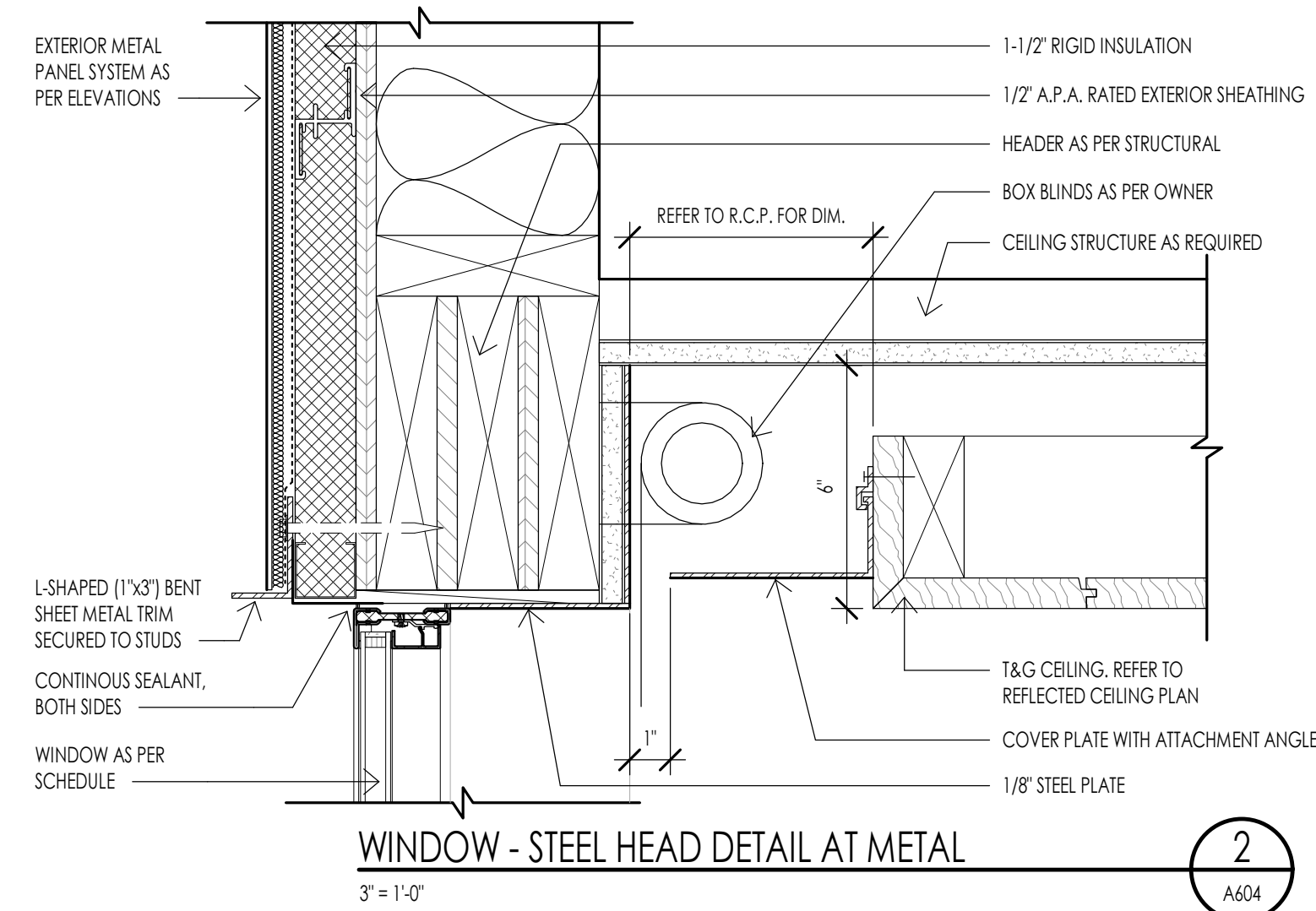
REVISIONS:

SHEET TITLE:  
WINDOW SCHEDULE &  
ELEVATIONS

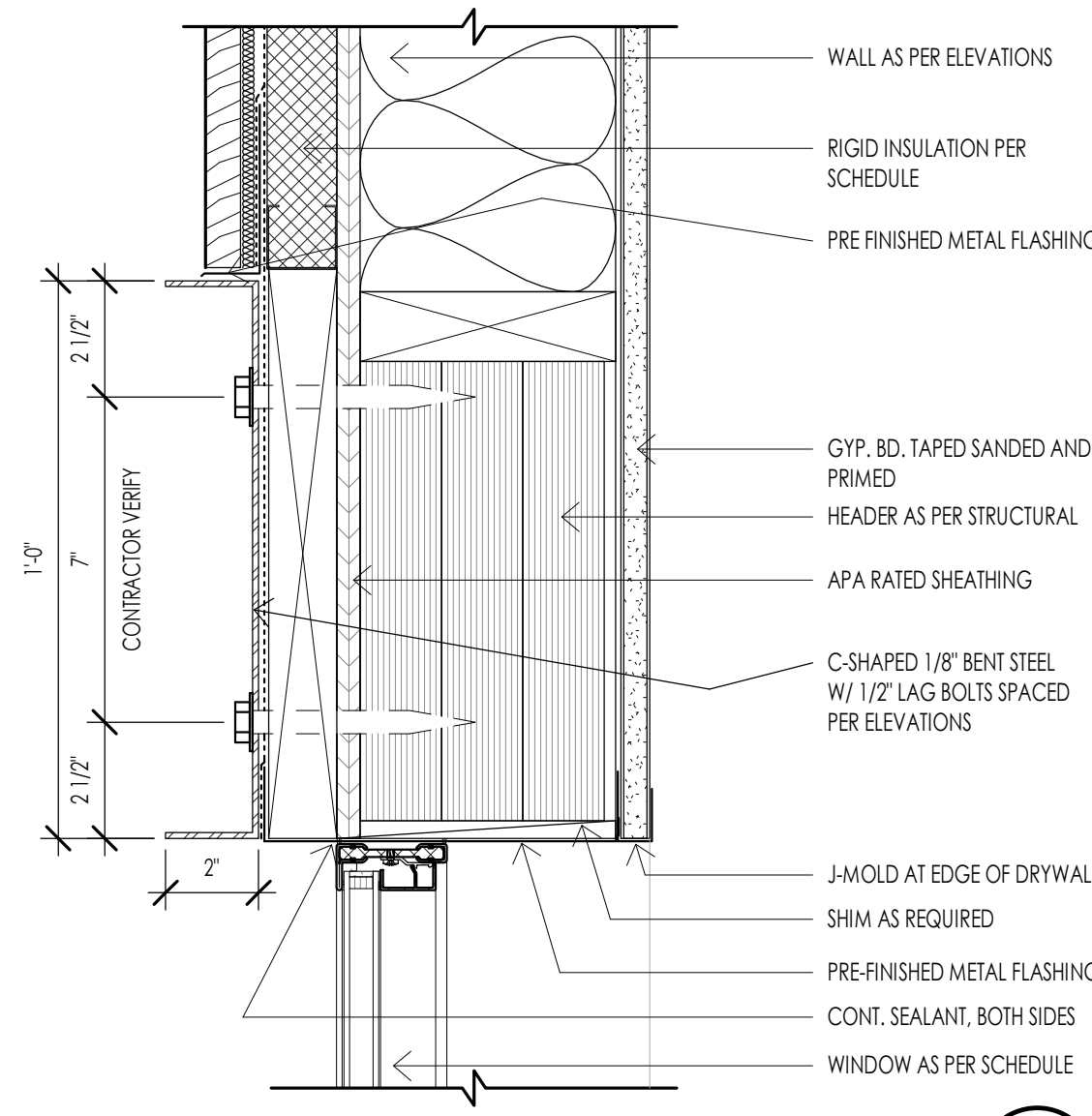
SHEET NUMBER:

A603

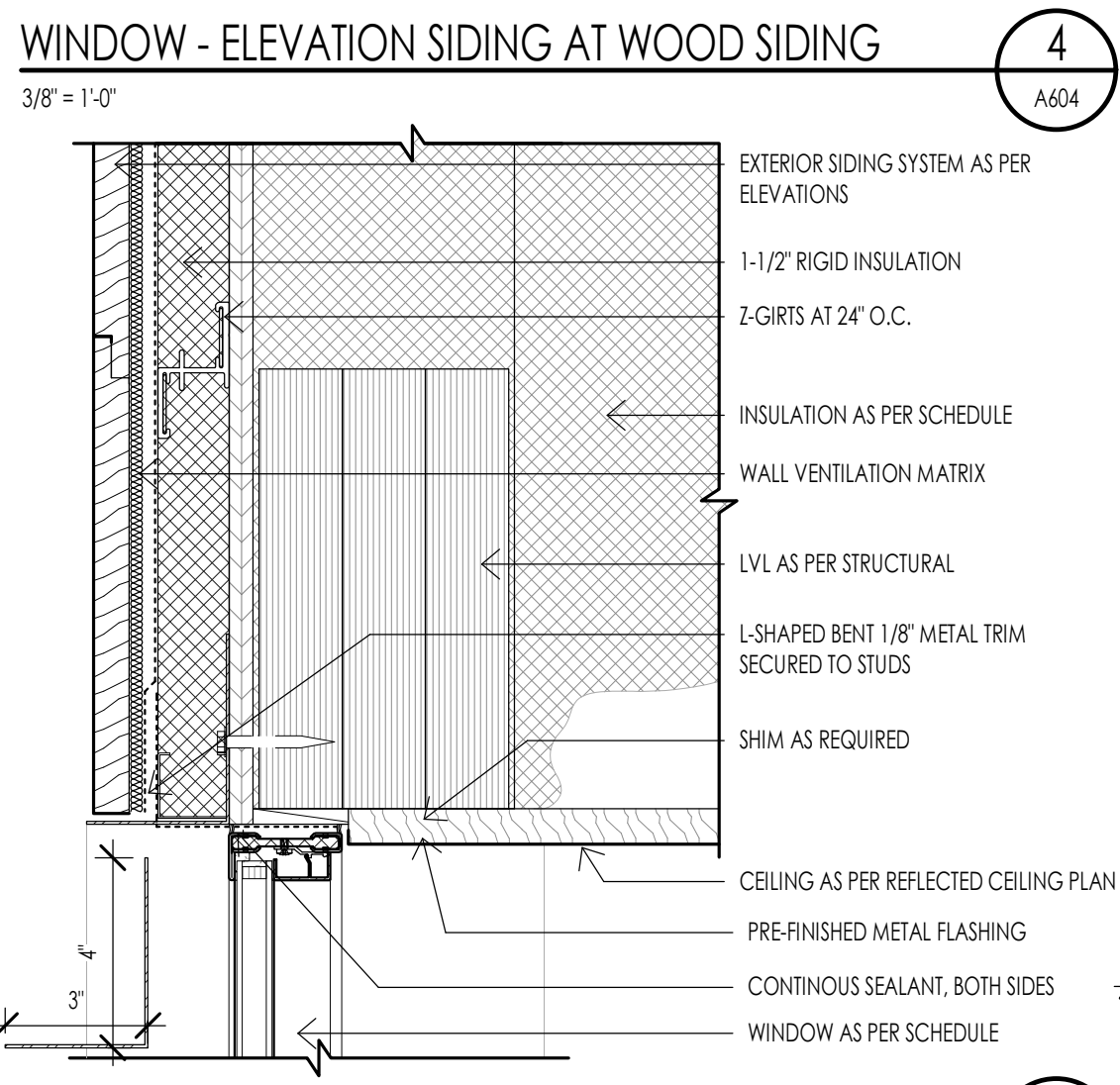
© 2021 THINK ARCHITECTURE, INC.



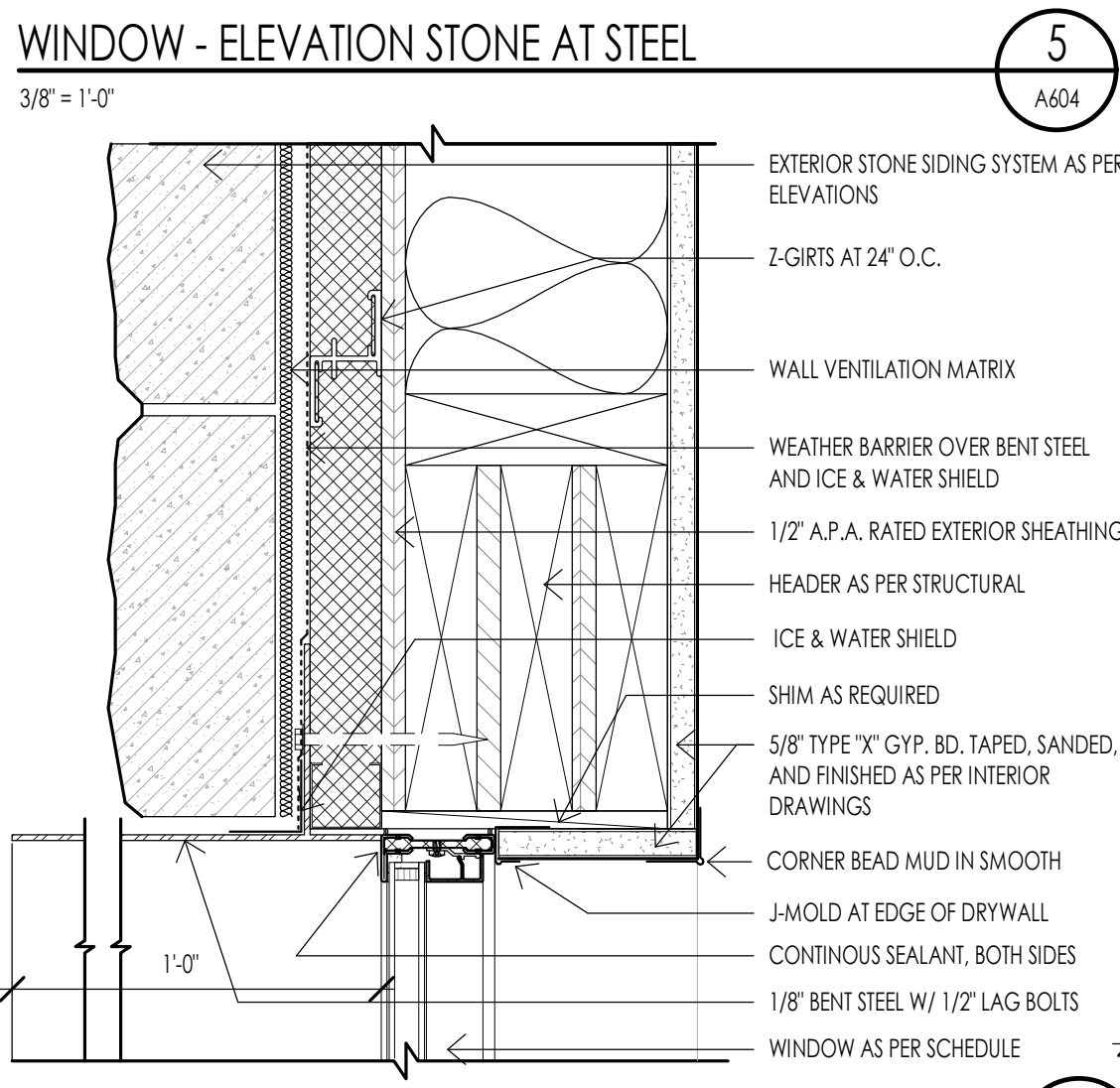
WINDOW - STEEL HEAD DETAIL AT METAL  
3\"/>



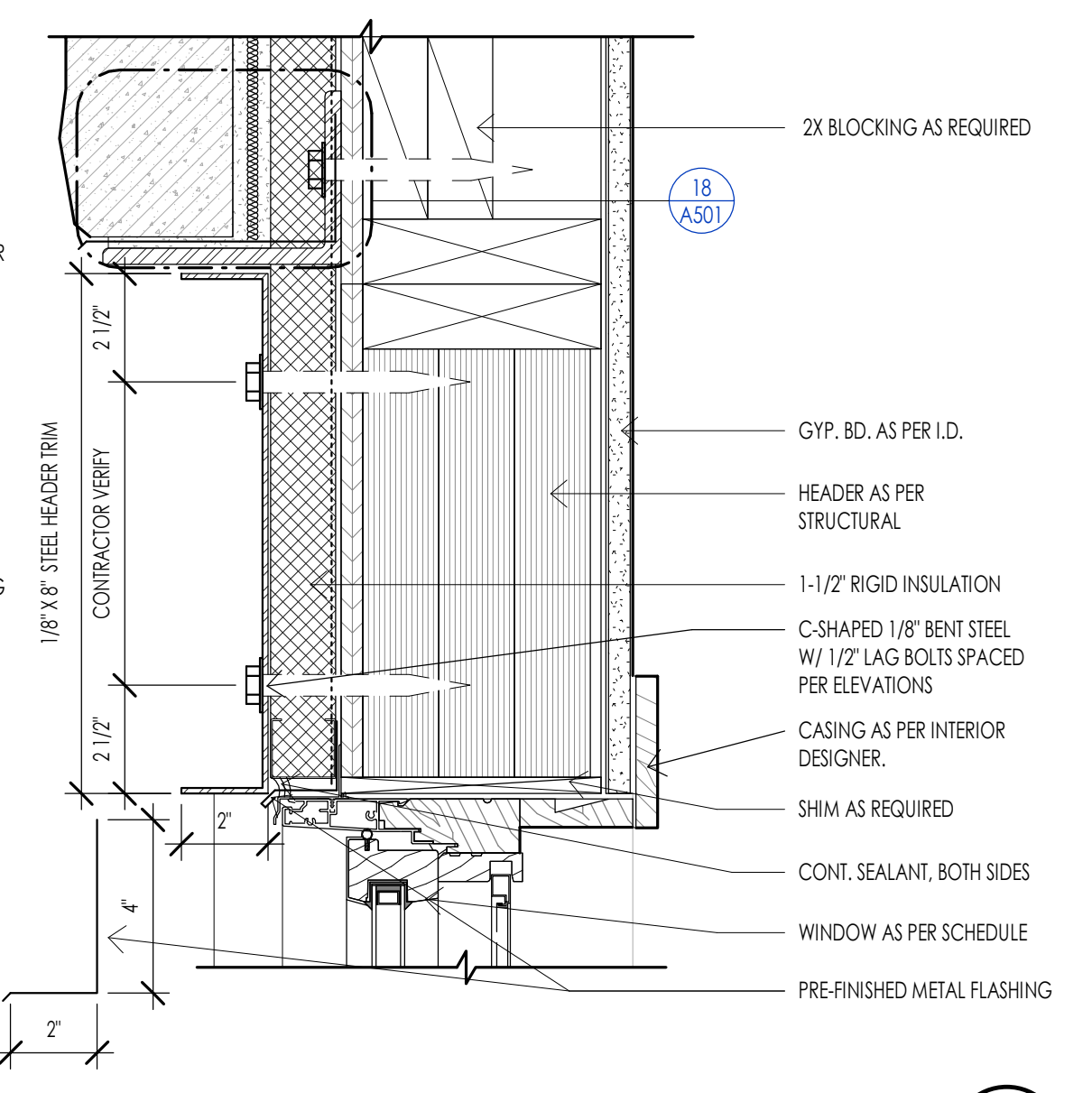
WINDOW - STEEL HEADER TRIM BAND / WOOD  
3\"/>



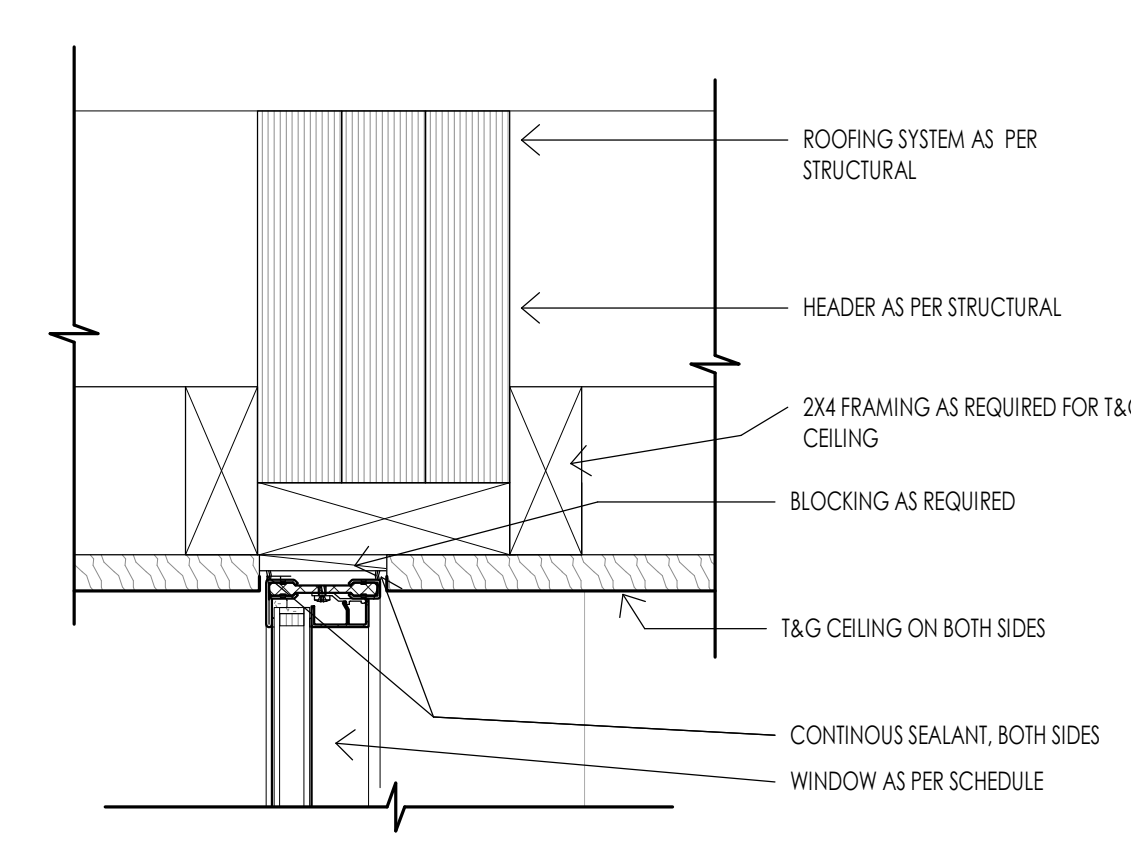
WINDOW - ELEVATION SIDING AT WOOD SIDING  
3\"/>



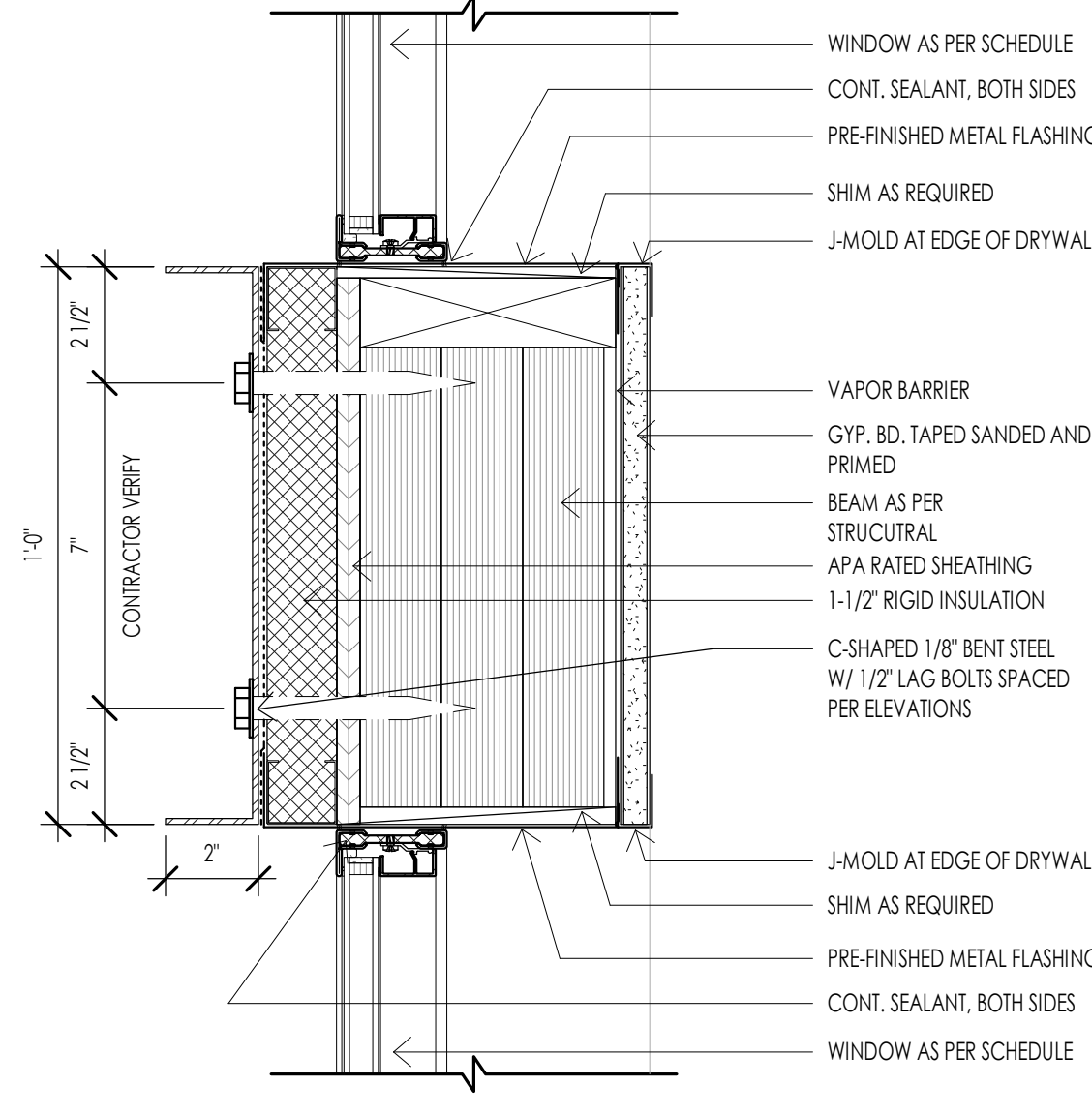
WINDOW - ELEVATION STONE AT STEEL  
3\"/>



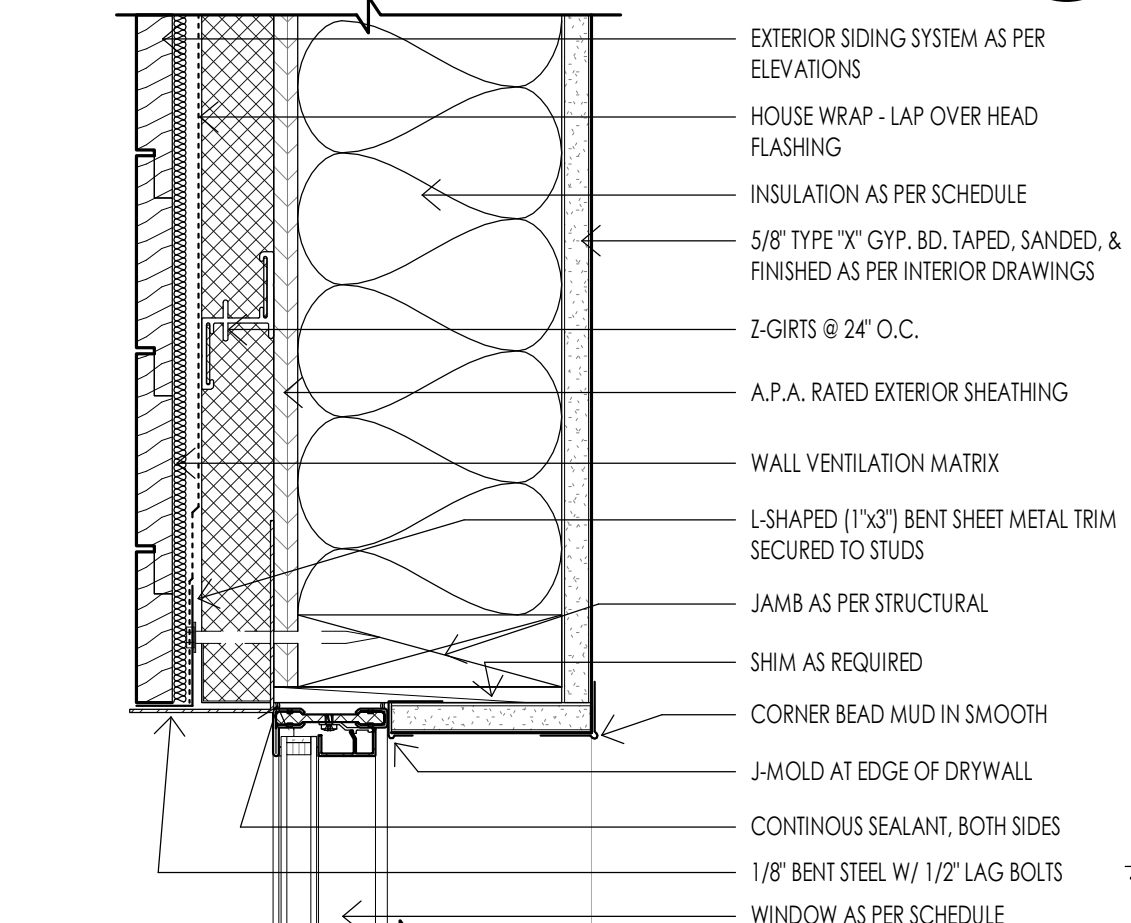
WINDOW - STEEL HEADER TRIM BAND / STONE  
3\"/>



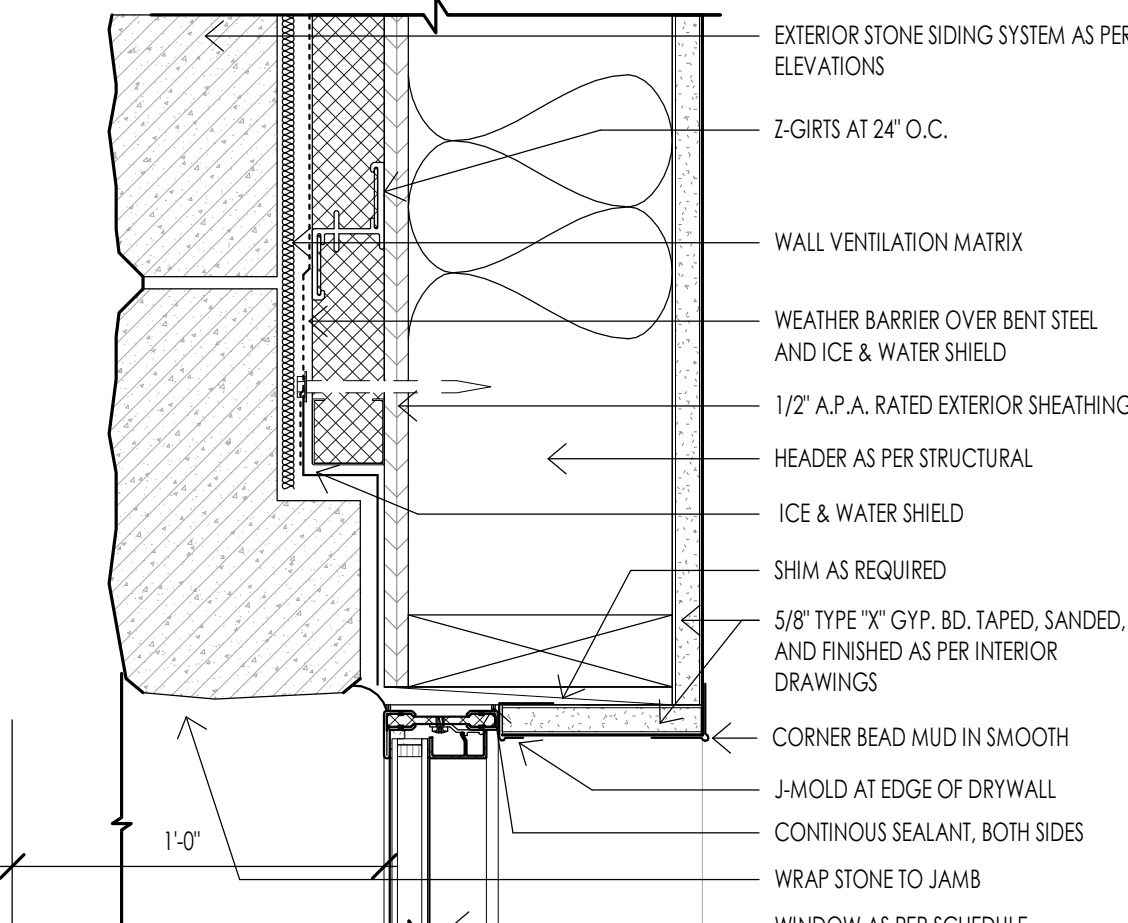
WINDOW - STEEL HEAD DETAIL AT T&G CEILING  
3\"/>



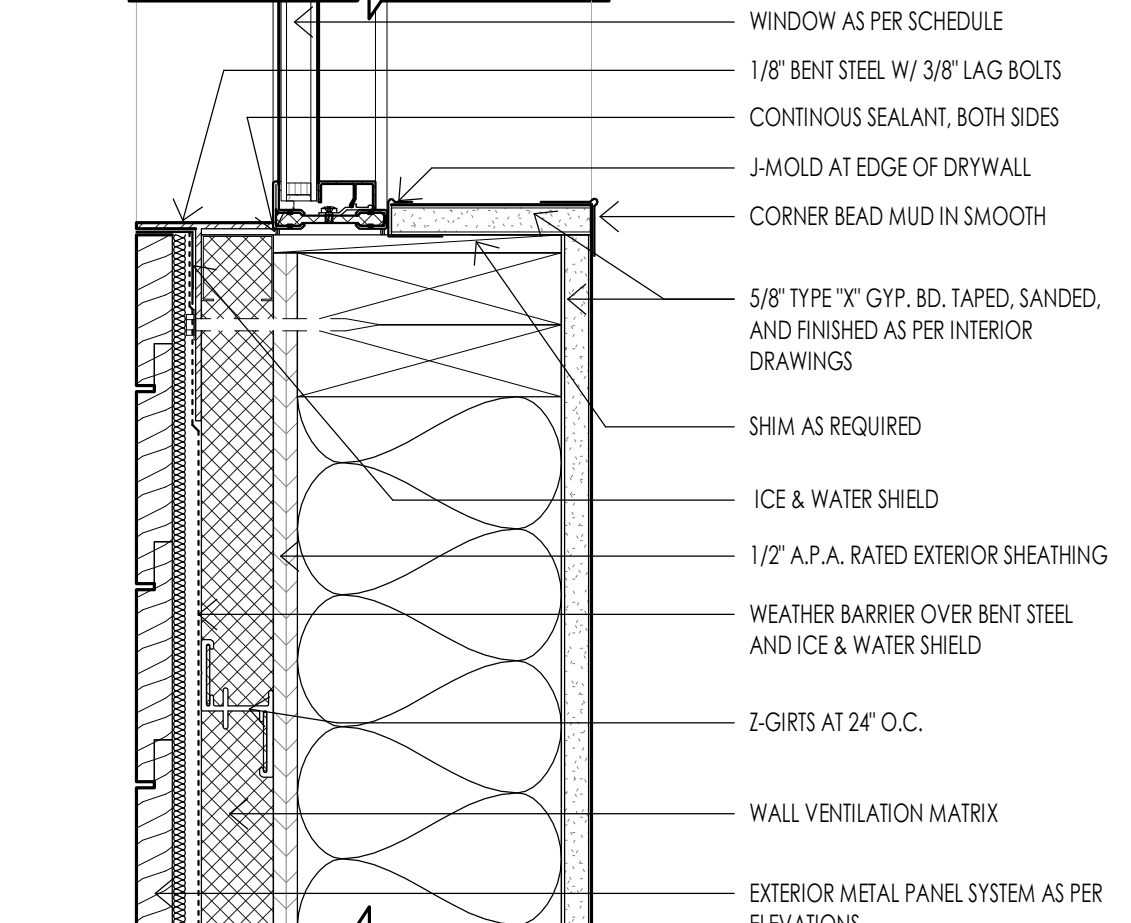
WINDOW - STEEL HEADER / SILL TRIM BAND  
3\"/>



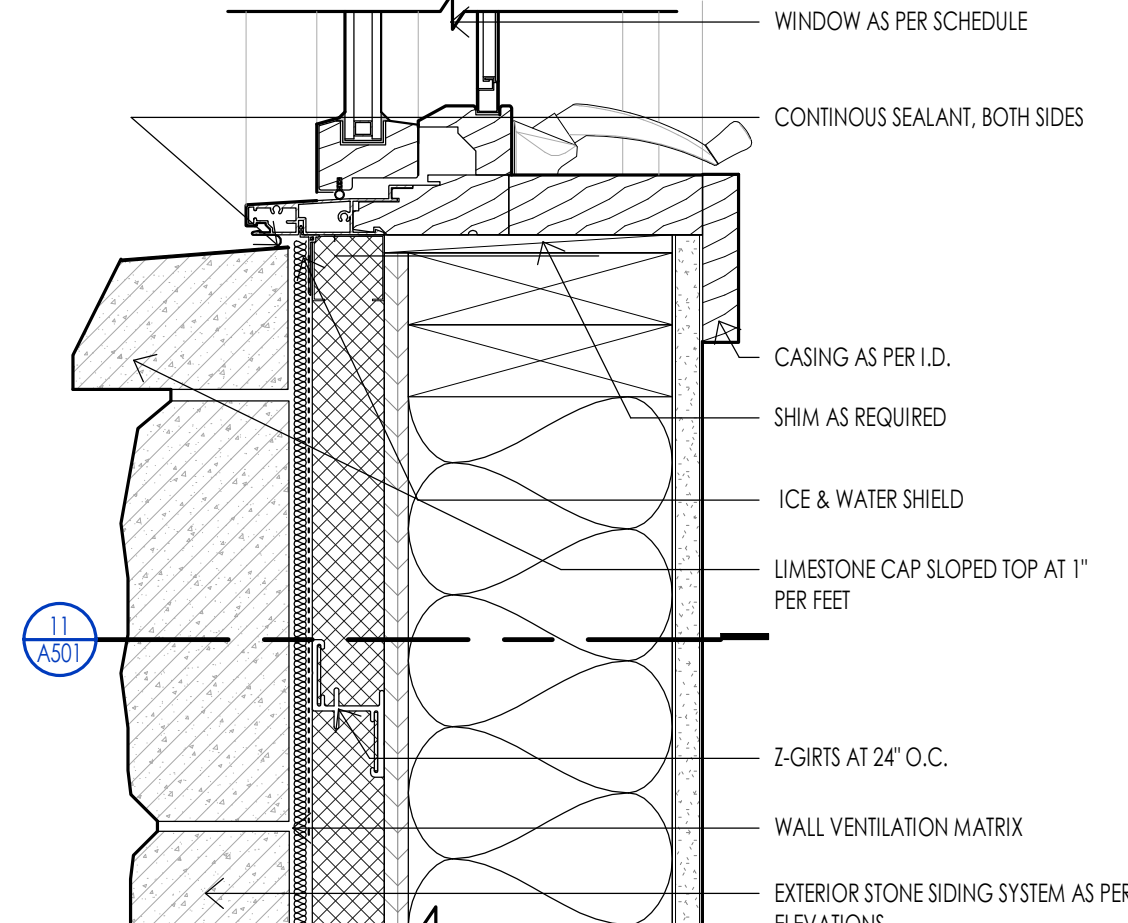
WINDOW - STEEL JAMB DETAIL AT SIDING  
3\"/>



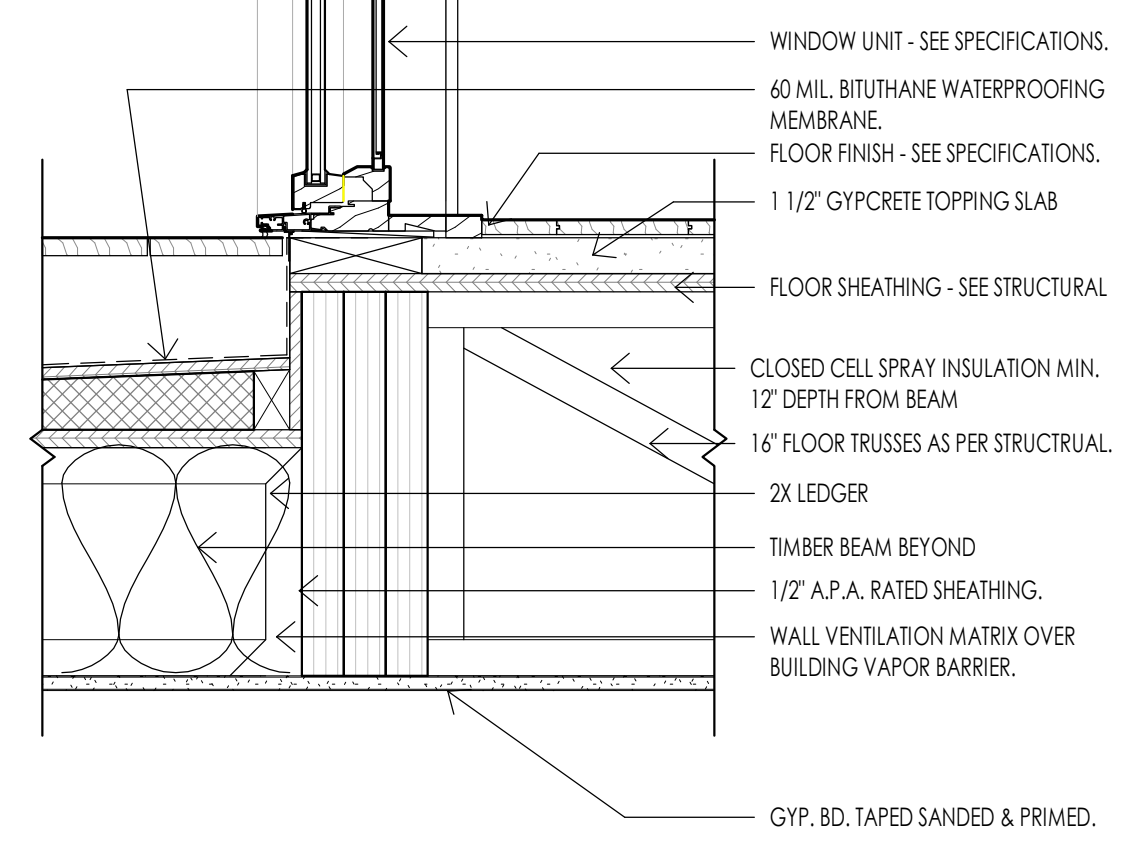
WINDOW - STEEL JAMB DETAIL AT STONE  
3\"/>



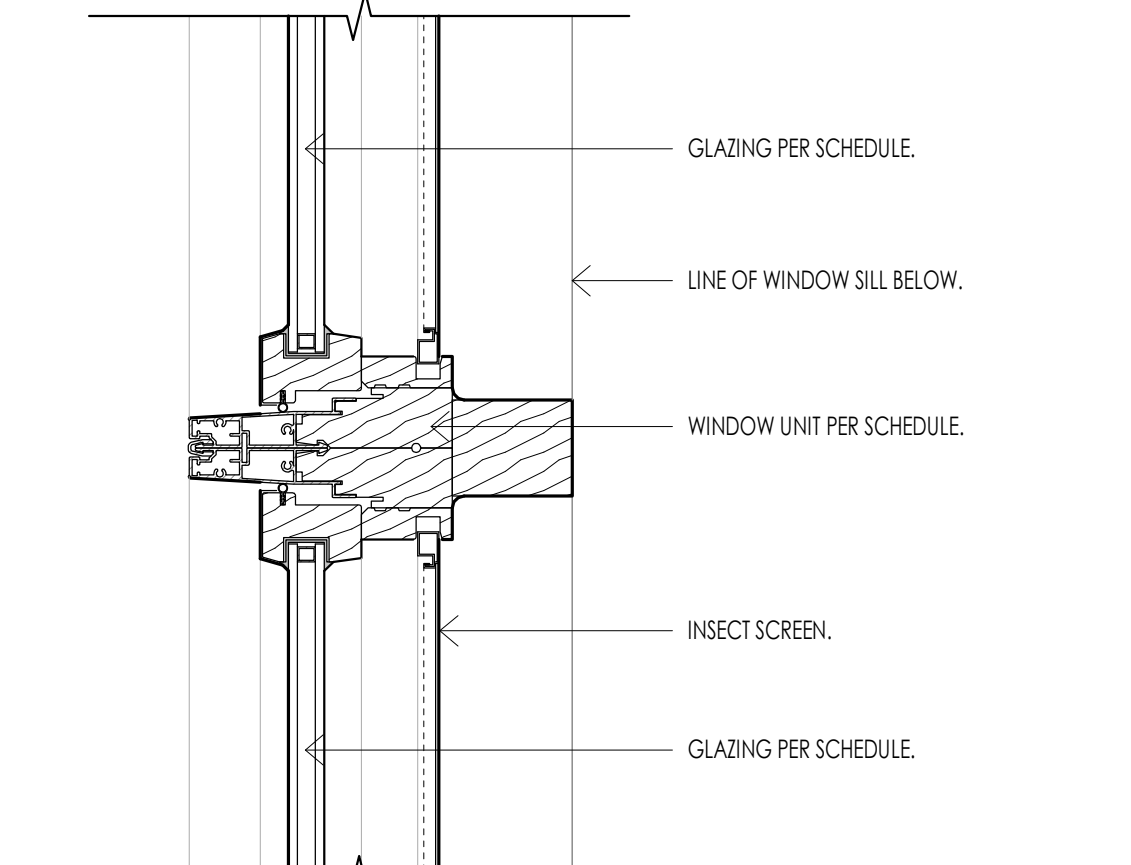
WINDOW - STEEL SILL DETAIL AT SIDING  
3\"/>



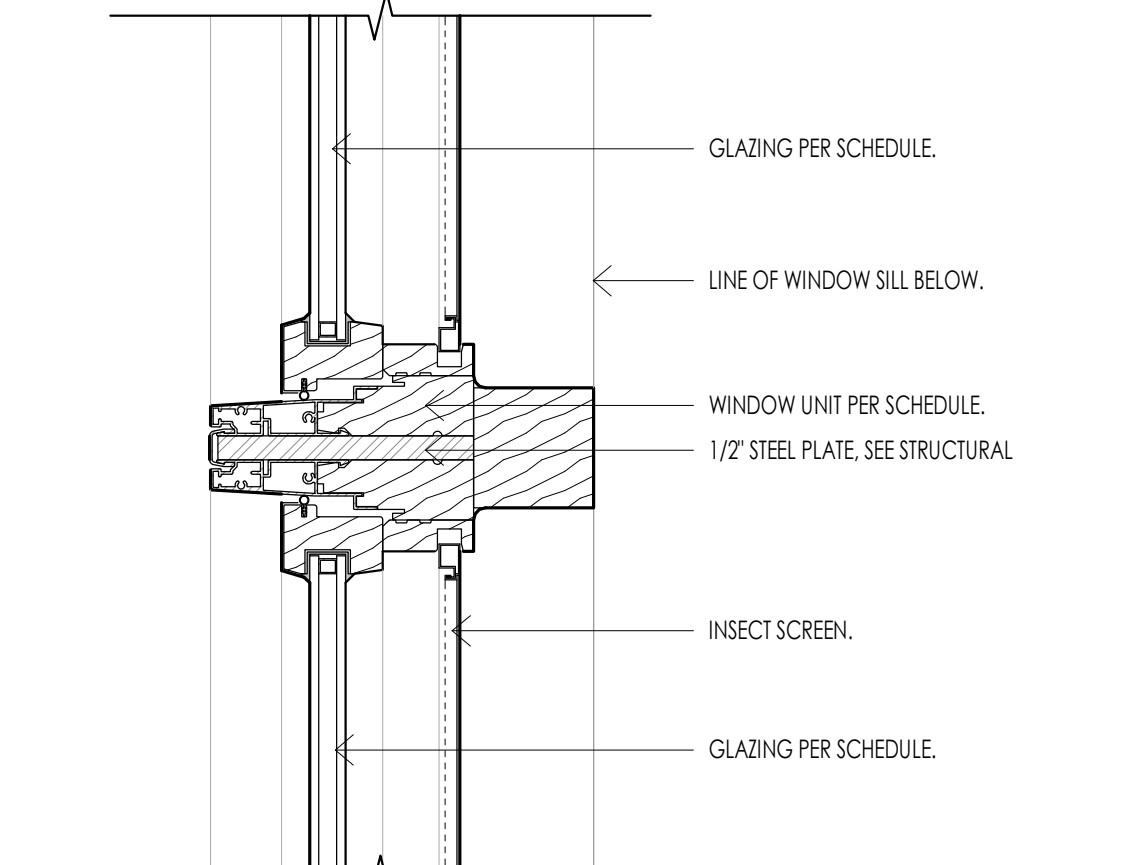
WINDOW - SILL DETAIL AT STONE  
3\"/>



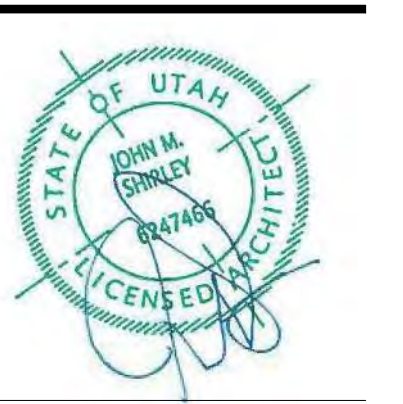
WINDOW - SILL AT GREAT ROOM - DECK  
1 1/2\"/>



WINDOW - MULLER DETAIL  
3\"/>



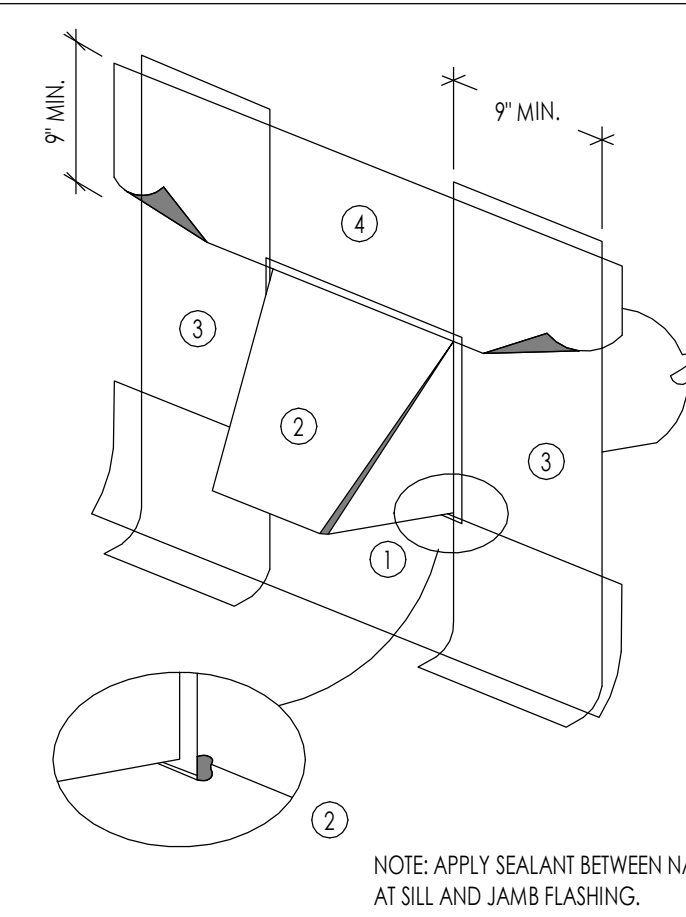
WINDOW - MULLER DETAIL STIFFENED  
3\"/>



**MECHANICAL GENERAL NOTES**

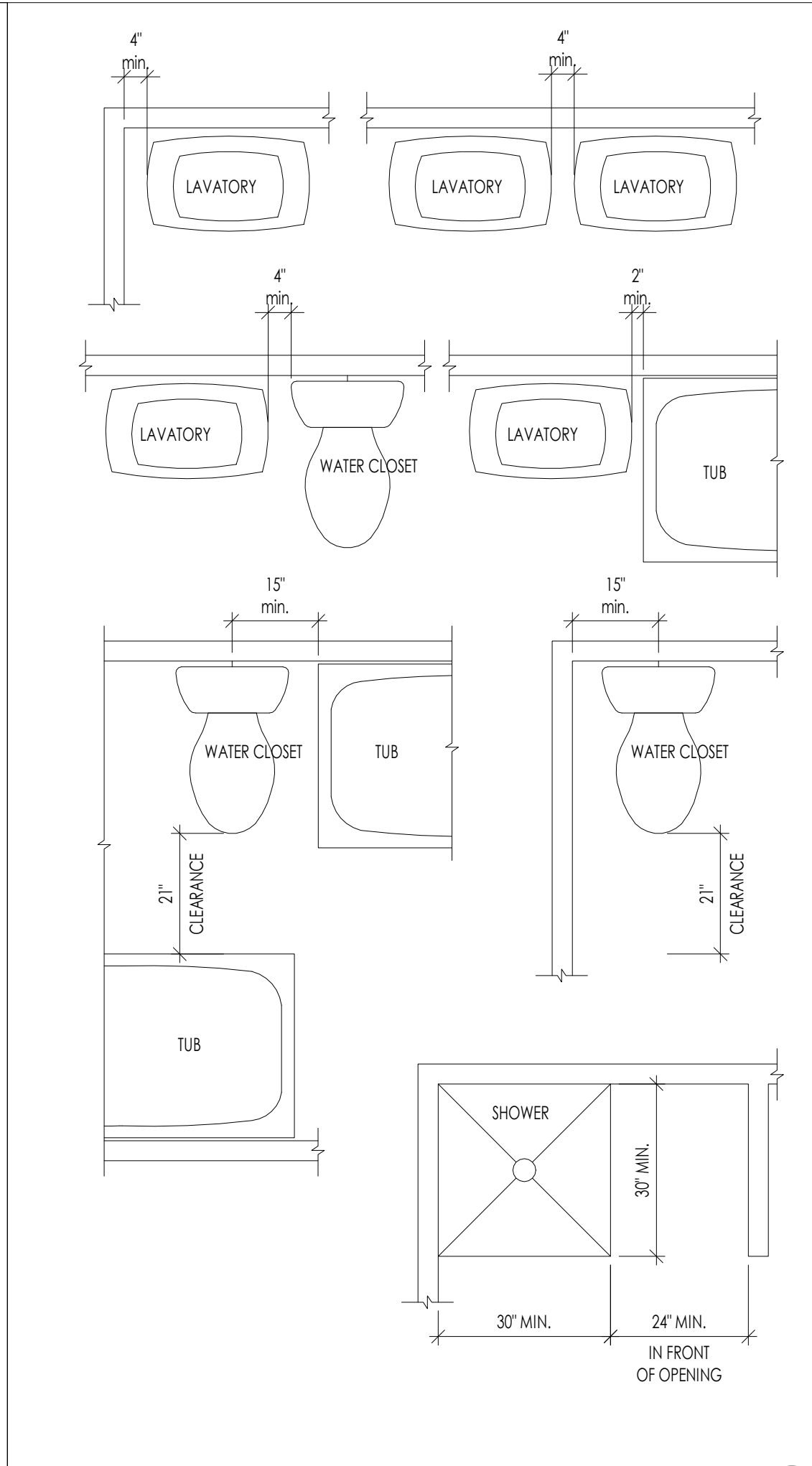
- PLUMBING GENERAL NOTES**
- THE PLUMBING SYSTEM SHALL BE DESIGNED BY A LICENSED MECHANICAL CONTRACTOR/ DESIGNER AND SHALL MEET ALL THE REQUIREMENTS OF THE 2015 IRC, IPC AND IECC.
  - THE PLUMBING CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE PLUMBING SYSTEM INSTALLATION AND SHALL PROVIDE A (1) ONE YEAR WARRANTY BEGINNING FROM THE TIME OF CERTIFICATE OF OCCUPANCY. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE OWNER COMPLETE OPERATION AND MAINTENANCE MANUALS. THE CONTRACTOR SHALL ALSO SET UP A TIME TO PROVIDE COMPLETE TRAINING OF THE SYSTEM TO THE OWNER.
  - THE PLUMBING CONTRACTOR SHALL REVIEW AND SHALL GANG ALL ROOF VENTS INTO SINGLE ROOF VENTS WHERE POSSIBLE AND SHALL RUN THE VENTS OUT OF THE ROOF AT THE HIGHEST POINT POSSIBLE. ALL VENTS SHALL HAVE BLOCKING ON EACH SIDE OF THE VENT IN THE ROOF STRUCTURE TO ENSURE THE VENTS WILL NOT BE MOVED DUE TO SNOW ON THE ROOF. ALL VENTS SHALL BE SIZED PER THE BUILDING CODE BUT SHALL NOT BE LESS THAN 3 INCH PIPES. THE PLUMBING CONTRACTOR SHALL COORDINATE THAT THE PROPER FLASHING HAS BEEN INSTALLED FOR EACH VENT.
  - THE ROOF VENTS SHALL EXTEND ABOVE THE ROOF AS REQUIRED BY THE LOCAL JURISDICTION AND BUILDING CODES. THE PLUMBING CONTRACTOR SHALL COORDINATE THIS INSTALLATION.
  - ALL PLUMBING FIXTURES ARE SPECIFIED ON THE MECHANICAL DRAWINGS, AND ON THE INTERIOR DRAWINGS. THE PLUMBING CONTRACTOR SHALL PROVIDE FULL AND COMPLETE SHOP DRAWINGS SUBMITTAL ON ALL PLUMBING FIXTURE ITEMS FOR APPROVAL BY OWNER AND DESIGN TEAM.
  - THE PLUMBING FIXTURES SHALL HAVE THE FOLLOWING REQUIREMENTS:
    - SHOWER HEADS SHALL HAVE A FLOW RATE OF 2.5 GPM OR LESS
    - WATER CLOSETS SHALL HAVE ECONO-FLUSH TANK 1.6 GAL. MAX. FLUSH
    - ALL NOSE BIBS SHALL BE NON-FREEZE TYPE WITH BACK FLOW PREVENTERS
  - THE PLUMBING CONTRACTOR SHALL INSTALL ALL PLUMBING FIXTURES IN STRICT ACCORDANCE WITH THE MANUFACTURERS ROUGHED IN INSTRUCTIONS. TAKE CARE DURING BUILDING CONSTRUCTION TO SEE THAT PROVISIONS ARE MADE FOR PROPER FUTURE SUPPORT AND THAT PROVISIONS ARE MADE FOR PROPER FUTURE SUPPORT. ROUGH IN PIPING IS ACCURATELY SET AND PROTECTED FROM MOVEMENT OF DAMAGE DURING CONSTRUCTION.
  - THE PLUMBING CONTRACTOR SHALL MAKE SURE THAT NO PLUMBING WILL BE INSTALLED WITHIN THE EXTERIOR WALL.
  - PLUMBING CONTRACTOR SHALL ASSESS WATER PRESSURE AND ENSURE ADEQUATE PRESSURE IS AVAILABLE FOR MULTIPLE FUTURE USE SIMULTANEOUSLY WITH OUT PRESSURE DECREASE OR TEMPERATURE FLUCTUATION.
  - PLUMBING CONTRACTOR SHALL PROVIDE A TURN OFF VALVE AND DRAIN AT THE LOWEST LEVEL OF THE FACILITY. ALL FIXTURES SHALL BE ABLE TO DRAIN TO THIS POINT. PROVIDE A FLOOR DRAIN AT THE LOCATIONS OF PLUMBING SYSTEM DRAIN.
  - ALL SUPPLY WASTE AND GAS LINE MATERIALS, WORKMANSHIP, AND INSTALLATION AS PER INDUSTRY STANDARDS. ALL WATER SUPPLY LINES IN THE BUILDING SHALL BE TYPE "1" COPPER. TO INCLUDE PIPING TO MANFOLDS. EQUIPMENT SHALL BE COPPER WITHIN THE BUILDING. ALL SUPPLY TO FIXTURES MAY BE POLYETHYLENE CROSS LINE PIPING FOR ABOVE GROUND AND BUILDING APPLICATIONS. INSTALL AS PER MANUFACTURERS SPECIFICATIONS. ALL CONNECTIONS FOR POLYETHYLENE PIPING SHALL BE BRASS. FITTINGS WITH COMPRESSION BAND FITTINGS.
  - ALL WATER LINES UNDERGROUND SHALL BE TYPE "1" COPPER. ALL FITTINGS AND JOINTS SHALL BE SWEAT SOLDER JOINTS TOGETHER.
  - WASTE LINES SHALL BE PROVIDED WITH CLEAN OUT AS REQUIRED. EXTEND CLEAN OUT TO ACCESSIBLE SURFACE. DO NOT PLACE CLEAN OUTS IN FLOORS UNLESS PREVIOUSLY APPROVED BY THE DESIGN TEAM AND OWNER.
  - GAS PIPING SHALL BE INSTALLED AS PER THE LATEST CODE REQUIREMENTS FOR THIS TYPE OF PROJECT. ALL GAS PIPING SHALL BE FULLY TESTED AND INSPECTED FOR ANY LEAKS PRIOR TO FINAL COMPLETION OF THE PROJECT. THE CONTRACTOR SHALL INSTALL SHUT OFF VALVES AT EACH GAS APPLIANCE AND SHALL LOCATE THE VALVE TO HAVE ACCESS TO THE VALVE.
  - PLUMBING CONTRACTOR SHALL TEST ALL PIPING INCLUDING DRAINAGE WASTE LINES, WATER PIPING, NATURAL GAS PIPING AND FITTINGS. ALL TEST SHALL BE PERFORMED TO MEET THE REQUIREMENTS OF THE APPLICABLE BUILDING CODE.
  - ALL WATER LINES SHALL FULLY DISINFECTED UPON THE FINAL COMPLETION OF THE PROJECT, AND BEFORE CERTIFICATE OF OCCUPANCY AND TURN OVER TO THE OWNER.
  - ALL DRAINS SHALL HAVE A TRAP PRIMER OR EQUIVALENT NECESSARY TO KEEP THE INTEGRITY OF THE PLUMBING TRAP.

- MECHANICAL GENERAL NOTES**
- THE MECHANICAL SYSTEM SHALL BE DESIGNED BY A LICENSED MECHANICAL CONTRACTOR/ DESIGNER AND SHALL MEET ALL THE REQUIREMENTS OF THE 2015 IRC, IMC AND IECC.
  - THE MECHANICAL CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE MECHANICAL SYSTEM INSTALLATION AND SHALL PROVIDE A (1) ONE YEAR WARRANTY BEGINNING FROM THE TIME OF CERTIFICATE OF OCCUPANCY. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE OWNER COMPLETE OPERATION AND MAINTENANCE MANUALS. THE CONTRACTOR SHALL ALSO SET UP A TIME TO PROVIDE COMPLETE TRAINING OF THE SYSTEM TO THE OWNER.
  - THE MECHANICAL CONTRACTOR IS RESPONSIBLE TO VISIT THE JOB SITE AND BECOME FAMILIAR WITH ALL EXISTING CONDITIONS PRIOR TO STARTING THE WORK. THE MECHANICAL CONTRACTOR MUST ALSO PROVIDE NOTIFICATION TO THE ARCHITECT AND CONTRACTOR OF CONDITIONS THAT MAY BE DIFFERENT THAN EXPECTED DURING BIDDING.
  - ALL LINE VOLTAGE AND LOW VOLTAGE CONTROL WIRING SHALL BE RAN, INSTALLED AND CONNECTED BY THE MECHANICAL CONTRACTOR OR THE MECHANICAL CONTRACTOR SHALL CONTRACT THE SCOPE OF WORK.
  - ALL EQUIPMENT SPECIFICATIONS SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW. THE CONTRACTOR MUST PROVIDE THE DOCUMENTATION THAT IT MEETS THE REQUIREMENTS OF THE ENERGY LEVELS BEING ACHIEVED WITHIN THIS BUILDING.
  - THE MECHANICAL CONTRACTOR SHALL REVIEW AND COORDINATE WITH THE DRAWINGS FOR LOCATIONS OF ALL MECHANICAL ZONES.
  - EXHAUST FANS WHERE SHOWN ON EITHER THE MECHANICAL OR ELECTRICAL PLANS SHALL BE SIZED FOR A MINIMAL RATE OF 50 CFM. ALL FANS SHALL BE HARD DUCTED WITH RIGID DUCT (NO FLEX DUCT SHALL BE ALLOWED), AND DIRECTED DIRECTLY TO THE EXTERIOR OF THE BUILDING IN A SOFFIT OR SIDE WALL. THE TERMINATION OF ALL EXHAUST FANS SHALL BE A MINIMUM OF 10'-0" AWAY FROM ANY OPERABLE WINDOW. TERMINATIONS SHALL BE INSTALLED AS NOT TO BE BLOCKED BY SNOW AND ICE. FANS SHALL BE A DIRECT DRIVE CENTRIFUGAL UNIT WITH SLOW SPEED MOTOR. PROVIDE AN ACOUSTICAL INSULATION, GRIPS, CAPS, ETC AS REQUIRED.
  - ALL GRILLS AND REGISTERS MUST BLEND TO THE ADJACENT FINISH AND SHALL BE PROVIDED TO MEET THE REQUIREMENTS FOR THE FLOW RATE AS PER THE CFM REQUIREMENTS. ALL GRILLS SHALL BE EITHER PAINTED FOR METAL FINISH SELECTED.
  - WATER HEATERS
    - THE REQUIRED NUMBER OF WATER HEATERS ARE SHOWN ON THE MECHANICAL PLANS. ALL WATER HEATERS SHALL BE 90% OR BETTER HIGH EFFICIENCY WATER HEATERS WITH RAPID RECOVERY. ALL WATER HEATERS SHALL BE INSTALLED WITH SEISMIC ANCHORING, AS PER DETAILS.
    - ALL WATER HEATERS SHALL BE VENTED TO THE EXTERIOR.
    - THE CONTRACTOR SHALL PROVIDE A FLOOR DRAIN WHETHER SHOWN OR NOT AT THE BASE OF ALL WATER HEATERS. THE FLOOR DRAIN MUST BE LOCATED, AND THE FLOOR MUST SLOPE TOWARD THE DRAIN IN A POSITIVE FLOW.
  - GAS FIRED FURNACES
    - THE REQUIRED NUMBER OF GAS FIRE FURNACES SHALL BE PER THE MECHANICAL DESIGNER/ ENGINEER. THE LOCATION IS SHOWN ON THE MECHANICAL DRAWINGS WHERE THE LOCATIONS ARE PROVIDED FOR THE GAS FIRE FURNACES.
    - THE GAS FIRED FURNACES SHALL BE A MINIMUM OF 90% OR BETTER HIGH EFFICIENCY FURNACE. THE EXACT SIZE OF EACH OF THESE UNITS SHALL BE PER THE MECHANICAL DESIGNER/ ENGINEER.
    - THE VENTING OF EACH GAS FIRE FURNACE SHALL BE PVE PIPE AND SHALL BE LOCATED AWAY FROM THE MAIN ENTRIES OF THE BUILDING, AND WINDOW LOCATIONS. COORDINATE THE EXACT LOCATION WITH THE OWNER AND ARCHITECT.
    - THE CONTRACTOR SHALL PROVIDE A FLOOR DRAIN BY THE GAS FIRED FURNACES FOR THE UNIT CONDENSATE LINES.
  - GAS FIRE BOILERS
    - THE REQUIRED NUMBER OF GAS FIREBOILERS SHALL BE PER THE MECHANICAL DESIGNER/ ENGINEER. THE LOCATION IS SHOWN ON THE MECHANICAL DRAWINGS WHERE THE LOCATIONS ARE PROVIDED FOR THE GAS FIRE BOILERS.
    - THE GAS FIRED BOILER SHALL BE A MINIMUM OF 90% OR BETTER HIGH EFFICIENCY FURNACE. THE EXACT SIZE OF EACH OF THESE UNITS SHALL BE PER THE MECHANICAL DESIGNER/ ENGINEER.
    - THE VENTING OF EACH GAS FIRE BOILER SHALL BE PVE PIPE AND SHALL BE LOCATED AWAY FROM THE MAIN ENTRIES OF THE BUILDING, AND WINDOW LOCATIONS. COORDINATE THE EXACT LOCATION WITH THE OWNER AND ARCHITECT.
    - THE CONTRACTOR SHALL PROVIDE A FLOOR DRAIN BY THE GAS FIRED BOILER FOR THE UNIT CONDENSATE LINES.
  - DUCTWORK
    - ALL DUCTWORK SHALL BE 24 GA. MINIMUM RIGID DUCT AND SHALL BE FULL SEALED AT EACH JOINT LOCATION. NO FLEXIBLE DUCT IS ALLOWED WITHIN THE INSTALLATION.
    - ALL DUCTWORK IN CEILINGS OF UNHEATED ROOM OR UNDER SLAB SHALL BE INSULATED DUCT WORK. ALL DUCTWORK WITHIN THE HEATING ENVELOPE OF THE STRUCTURE DOES NOT REQUIRE TO BE INSULATED, UNLESS SPECIFICALLY NOTED.
    - ALL DUCTWORK SHALL BE IN THE SPACE ALLOCATED, AND SHALL NOT BE DROPPED BELOW FLOOR JOISTS, UNLESS NOTED ON DRAWINGS, OR PREVIOUSLY APPROVED BY THE ARCHITECT AND OWNER.

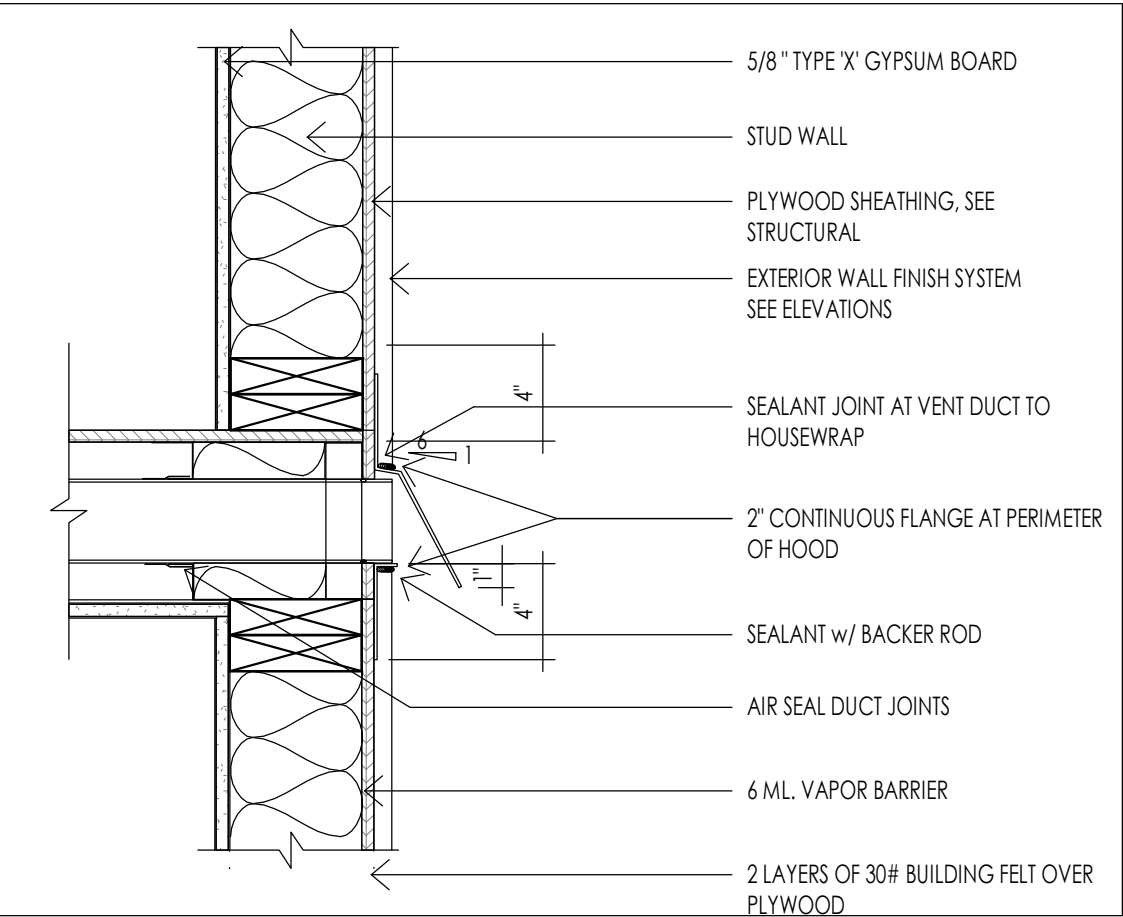


- SILL FLASHING**  
9 INCH MIN. WIDE SELF-ADHERED SELF-HEALING RUBBERIZED ELASTOMERIC ASPHALT FLASHING MEMBRANE INSTALLED A MIN. 9 INCHES BEYOND ROUGH OPENING  
-DO NOT OVERLAP THE TOP OF SILL FRAMING  
-ADHERE ONLY AT TOP EDGE. LEAVE UNATTACHED AT BOTTOM SO THAT THE PAPER CAN BE INSTALLED UNDERNEATH
- METAL EXTERIOR VENT**  
24 GA. MIN. GALV. SHEET METAL VENT MUST BE INSTALLED OVER SILL FLASHING. INSTALL JAMB FLASHING OVER OR UNDER NAILING FLANGE. SET VENT IN A CONTINUOUS BED OF SEALANT.
- JAMB FLASHING**  
9 INCH MIN. WIDE SELF-ADHERED SELF-HEALING RUBBERIZED ELASTOMERIC ASPHALT FLASHING MEMBRANE. FLASHING INSTALLED OVER AND BELOW SILL FLASHING AND ABOVE TOP OF FUTURE HEAD FLASHING. -DO NOT FASTEN THE BOTTOM 9 INCHES OF THE JAMB FLASHING SO THE WEATHER-RESISTANT BARRIER APPLIED LATER MAY BE SUPPED UNDERNEATH THE FLASHING IN A WEATHERBOARD FASHION.
- HEAD FLASHING**  
APPLY SELF-ADHERED, SELF-HEALING RUBBERIZED ELASTOMERIC ASPHALT FLASHING MEMBRANE OVER DRYER VENT FLANGE. EXTEND HEAD FLASHING BEYOND EACH JAMB FLASHING.

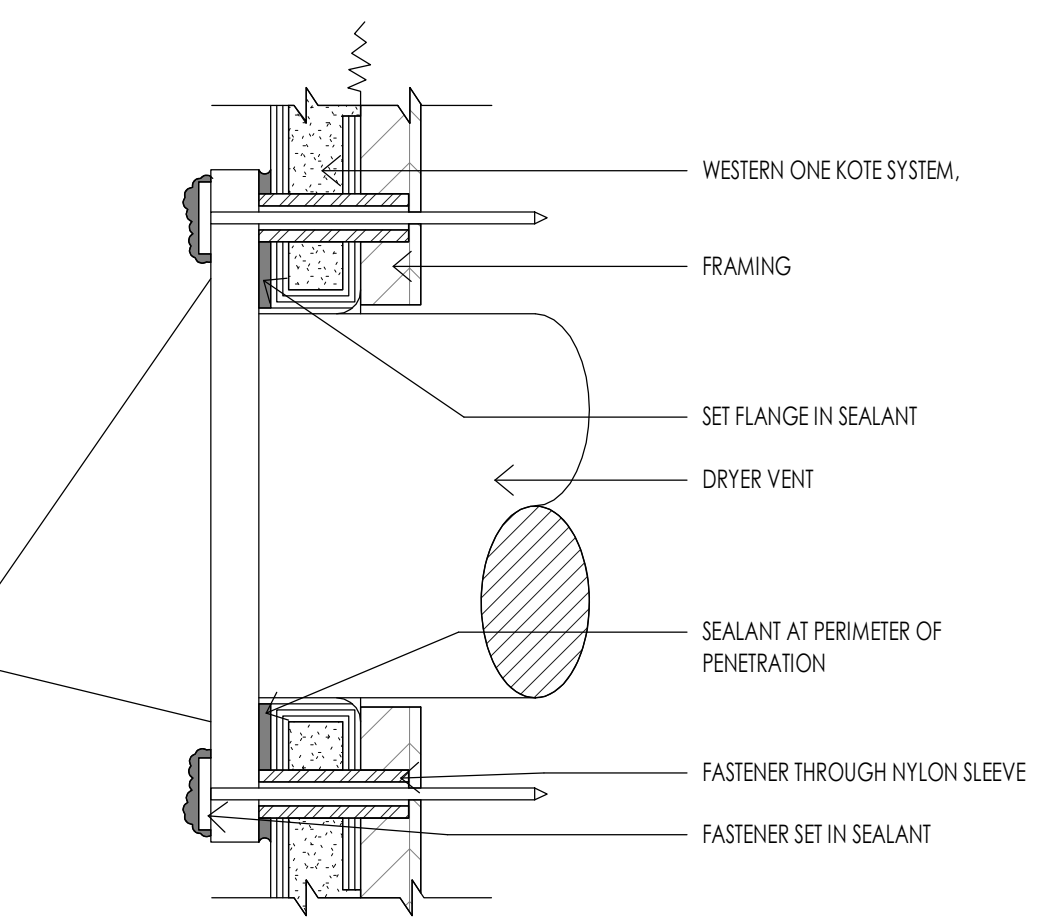
**EXHAUST VENT DETAIL** 1/1/2" = 1'-0"



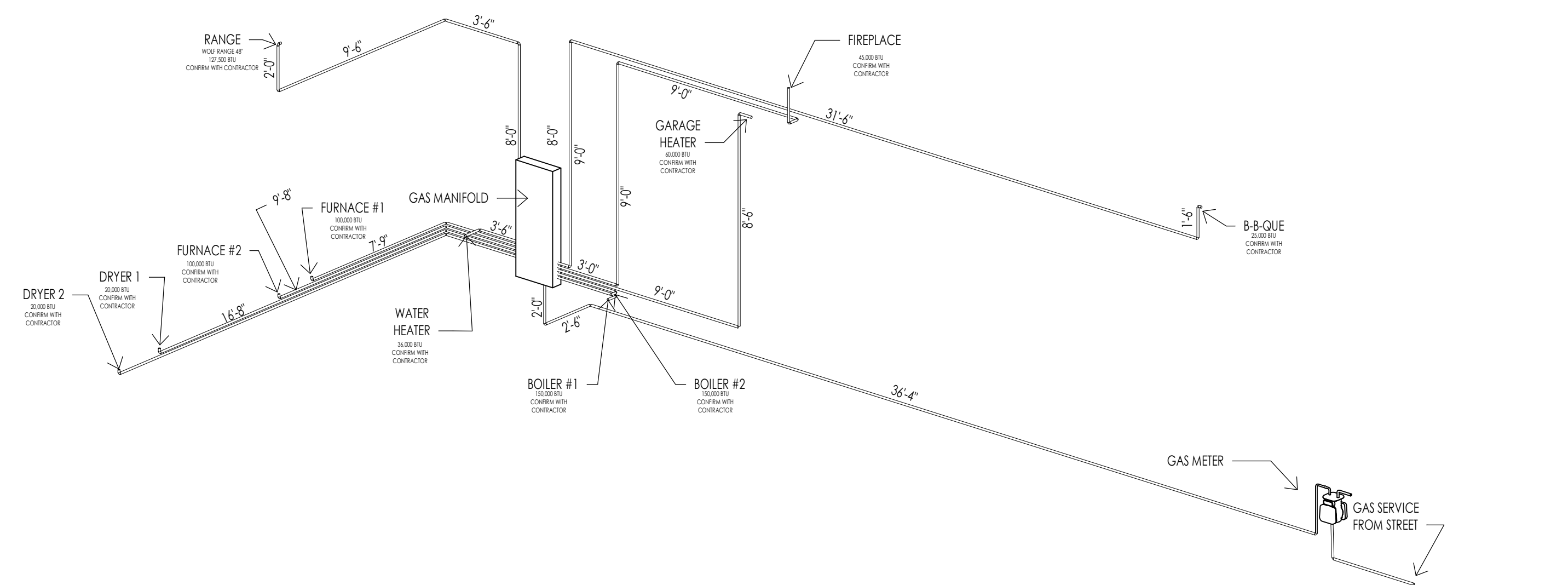
**MINIMUM PLUMBING FIXTURE CLEARANCES** 1/8" = 1'-0"



**WALL EXHAUST VENT** 1/1/2" = 1'-0"



**TYPICAL DRYER VENT (SHOWN WITH STUCCO)** 6" = 1'-0"



**GAS SCHEMATIC** 5/1/1" = 1'-0"



Architecture  
Interior Design  
Landscape Architecture  
Land Planning  
Construction Management

7927 So. Highpoint Parkway, Suite 300  
Sandwich, Utah 84094  
ph. 801.269.0555  
fax 801.269.1425  
www.thinkae.com

The designs shown and described herein including all technical drawings, graphic representations & models thereof, are proprietary & can not be copied, duplicated, or commercially exploited in whole or in part without the sole and express written permission from THINK Architecture, Inc.

These drawings are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors, and office personnel only in accordance with this notice.

**WARM SPRINGS RESIDENCE #33**

170 BALD MOUNTAIN ROAD  
KETCHUM, IDAHO 83340

PROJECT NC22023.33  
DATE: 2023.12.27

REVISIONS:

SHEET TITLE:  
**MECHANICAL GENERAL NOTES**

SHEET NUMBER:  
**M101**

© 2021 THINK ARCHITECTURE INC.

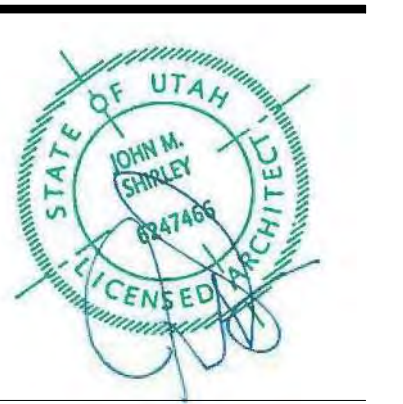




Architecture  
Interior Design  
Landscape Architecture  
Land Planning  
Construction Management

7927 So. Highpoint Parkway, Suite 300  
Scotty, Utah 84094  
ph. 801.269.0555  
fax 801.269.1425  
www.thinkaec.com

The designs shown and described herein including all technical drawings, graphic representation & models thereof, are proprietary & can not be copied, duplicated, or commercially reproduced in whole or in part without the sole and express written permission from THINK Architecture, Inc.  
These drawings are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors, and office personnel only in accordance with this notice.

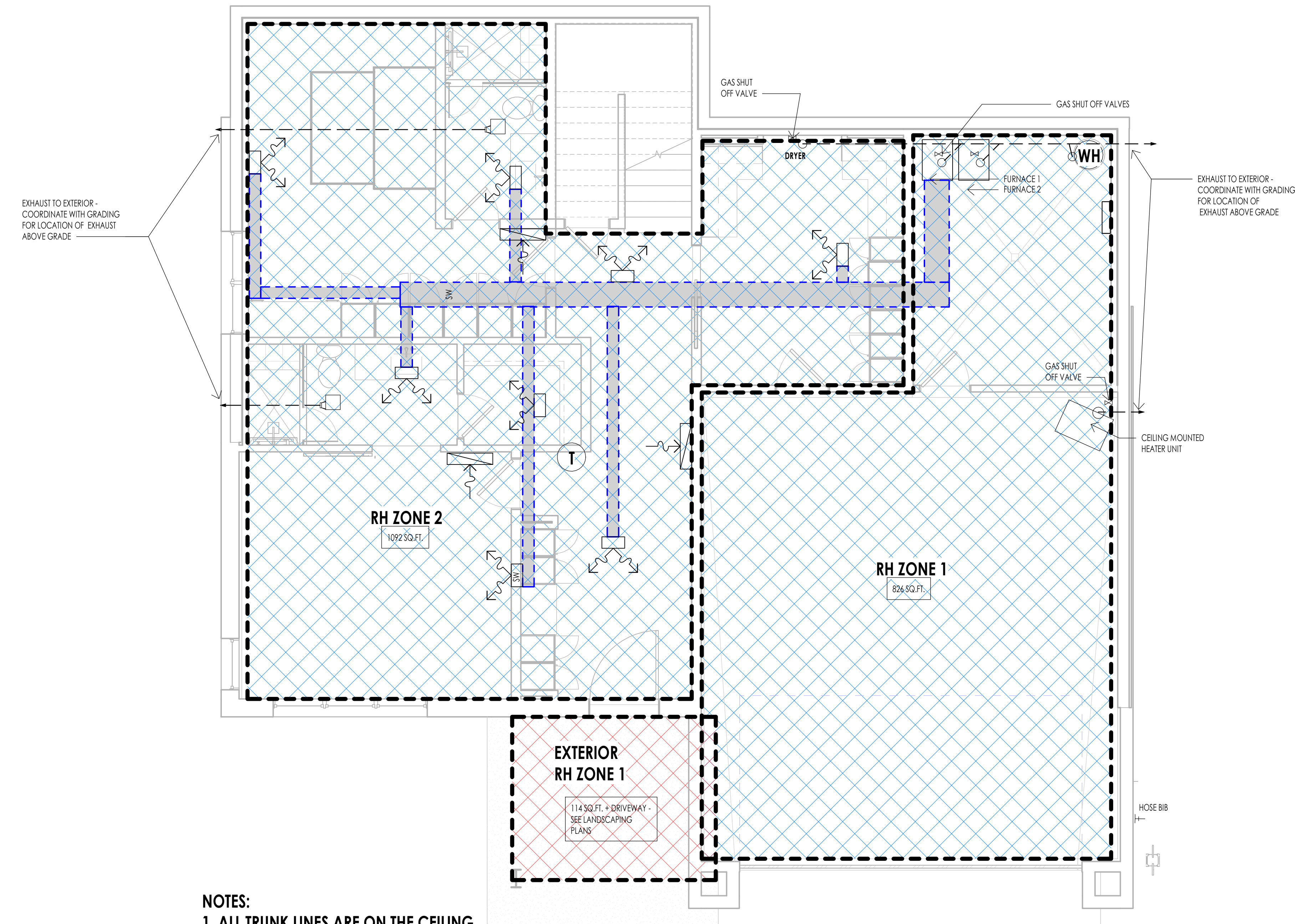


**MECHANICAL LEGEND**

SYMBOL	TYPE
	FLOOR OR CEILING MOUNTED HVAC REGISTER SW = SIDE WALL T.K. = TOE KICK
	HVAC RETURN AIR REGISTER
	HOSE BIB
	GAS SHUT OFF VALVE
	BATHROOM EXHAUST FAN
	THERMOSTAT
	WATER HEATER

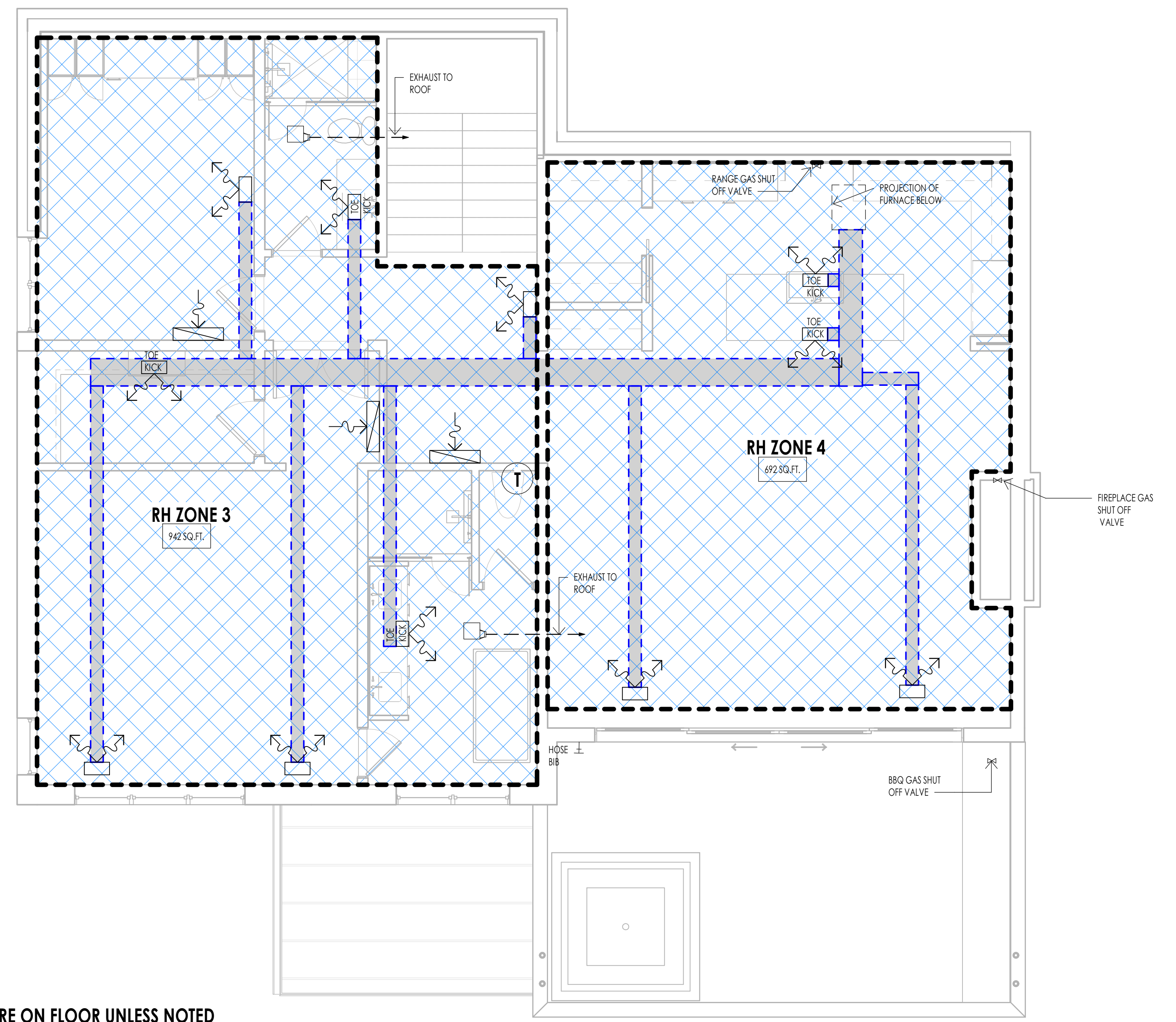
**MECHANICAL GENERAL NOTES**

- SEE SHEETS AD.3 FOR MECHANICAL AND PLUMBING PROJECT KEY NOTES AND MECHANICAL/PLUMBING INFORMATION.
- MECHANICAL AND PLUMBING LAYOUTS ARE SHOWN IN SCHEMATIC. THE PLUMBING AND MECHANICAL CONTRACTORS ARE RESPONSIBLE TO DESIGN AND SIZE EQUIPMENT CAPACITY, PIPE AND DUCT LINES, PLUMBING LINES AND ALL OTHER EQUIPMENT AS PER NATIONAL, STATE AND LOCAL CODES AND AS PER THE GENERAL NOTE REQUIREMENTS.
- THE CONTRACTOR IS RESPONSIBLE TO COORDINATE THE LAYOUT AND INSTALLATION OF ALL RELATED ITEMS WITH EXISTING CONDITIONS AND ALL OTHER TRADES.
- COORDINATE WITH OWNER, INTERIOR DESIGNER AND/OR PLANS FOR FIXTURE SCHEDULES, STYLES, FINISHES, ETC.
- ALL REGISTERS AT LOWER LEVEL TO BE CEILING MOUNT UNLESS OTHERWISE NOTED.
- COORDINATE BETWEEN MECH. SUB AND ELECTRICAL SUB AT PRECONSTRUCTION MEETING FOR DUCT LOCATIONS AND RECESSED CAN LOCATIONS.
- ALL PLUMBING FIXTURE/MECHANICAL EQUIPMENT SELECTIONS TO BE APPROVED BY OWNER/DEVELOPER.
- PROVIDE REQUIRED COMBUSTION AIR VENT DUCTS AT CEILING FOR WATER HEATER AND FURNACE AS REQUIRED BY BLDG. CODES AND MANUFACTURER.
- MECHANICAL DESIGN SHOULD BE IN ACCORDANCE WITH 2006 INTERNATIONAL RESIDENTIAL CODE.
- DUCT PENETRATIONS IN GARAGES SHALL BE 26-GAUGE SHEET METAL MIN. AND SHALL HAVE NO OPENINGS INTO THE GARAGE.
- FLUES SHALL NOT PENETRATE THE ROOF WITHIN 4'-0" OF PARTY WALLS.
- RADON: THE MECHANICAL CONTRACTOR IS RESPONSIBLE TO PROVIDE RADON TESTING AND APPLY AN APPROPRIATE MITIGATION SYSTEM.



- NOTES:**
- ALL TRUNK LINES ARE ON THE CEILING.
  - ALL REGISTERS ARE ON CEILING UNLESS NOTED OTHERWISE.
  - GRILLS TO BE MAXIMUM 6" OFF FLOOR
  - PROVIDE SNOW MELT AT DRIVEWAY, ENTRY WALK AND FRONT PORCH

LEVEL 1 - MECHANICAL  
1/4" = 1'-0" (1) M102



- NOTES:**
- ALL REGISTERS ARE ON FLOOR UNLESS NOTED OTHERWISE.
  - GRILLS TO BE MAXIMUM 6" OFF FLOOR

LEVEL 2 - MECHANICAL  
1/4" = 1'-0" (2) M102

WARM SPRINGS RESIDENCE #33

170 BALD MOUNTAIN ROAD  
KETCHUM, IDAHO 83340

PROJECT NC22023.33  
DATE: 2023.12.27  
REVISIONS:

SHEET TITLE:  
MECHANICAL PLAN

SHEET NUMBER:  
M102

© 2021 THINK ARCHITECTURE, INC.

PERMIT SET

**ELECTRICAL GENERAL NOTES**

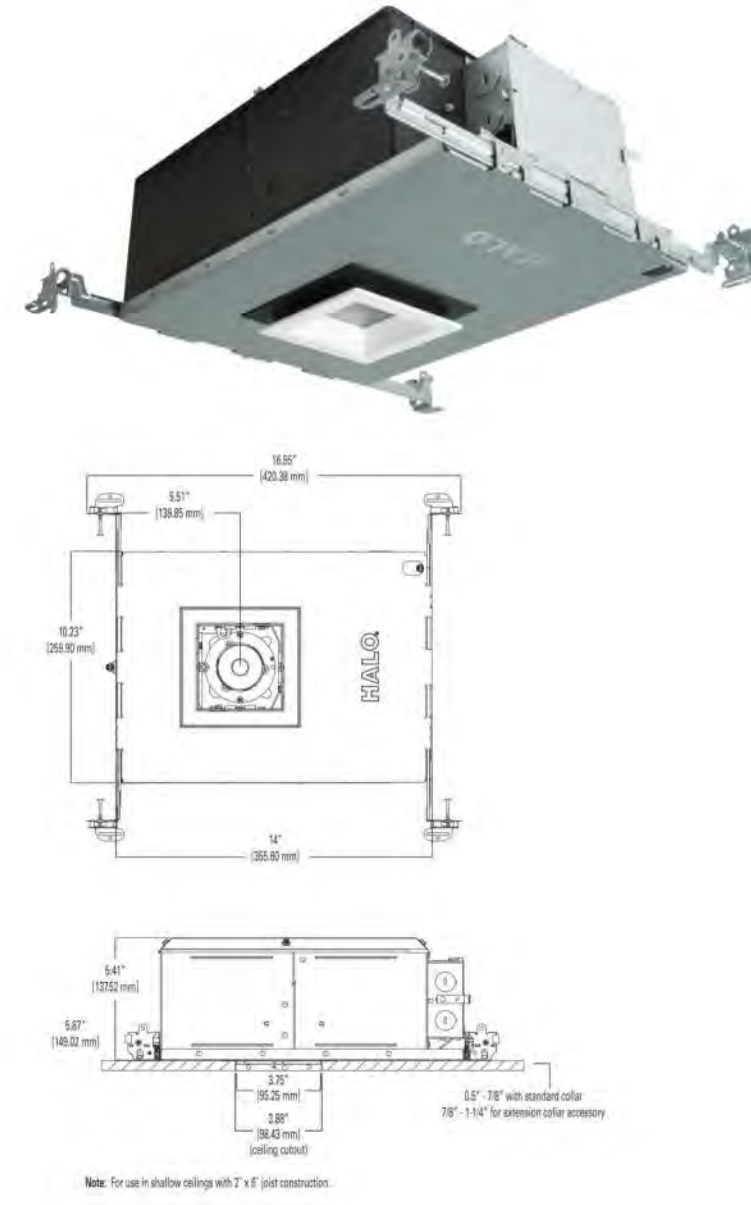
- ALL WORK DONE BY ELECTRICAL CONTRACTOR SHALL COMPLY WITH THE CURRENT ADOPTED EDITION OF THE NATIONAL ELECTRICAL CODE AND ALL LOCAL CODE REGULATIONS AND AMENDMENTS. THE CONTRACTOR SHALL PERFORM ALL WORK IN CONFORMITY WITH THESE REGULATIONS WHETHER OR NOT SUCH WORK IS SPECIFICALLY SHOWN ON THE DRAWINGS.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO FURNISH AND INSTALL FEEDERS, PANELS, BOARDS, RELAY BRANCH CIRCUIT WIRING, CONDUITS, WIRE, METER BASES, COMPLETE WIRING FOR MOTORS, EXHAUST FANS, LINE VOLTAGE CONNECTIONS FOR HVAC EQUIPMENT, SPECIALTY LIGHTING, FIXTURES, OUTLET BOXES, COVER PLATES, WALL SWITCHES, FIXTURES, RECEPTACLES, ETC.
- ALL DRAWINGS INDICATE LOCATIONS AS DIAGRAMMATIC. LOCATIONS SHALL BE PER APPROPRIATE CODES AND OWNER. CONTRACTOR TO COORDINATE WITH MECHANICAL CONTRACTOR FOR ALL POWER REQUIREMENTS.  
  
THE CONTRACTOR SHALL SET ALL THE BOXES AND NOTIFY THE ARCHITECT AND OWNER OF PLACEMENT OF BOXES. THE ARCHITECT, OWNER AND INTERIOR DESIGNER SHALL WALK THE HOUSE WITH THE ELECTRICAL CONTRACTOR AND SHALL VERIFY ALL THE LOCATIONS. THIS SHALL BE DONE PRIOR TO ANY WIRE BEING PULLED.  
  
IF WIRE IS PULLED, AND BOXES ARE REQUIRED TO BE MOVED, ALL COSTS SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR AND NOT THE OWNER'S DESIGN TEAM.
- ELECTRICAL SERVICE CAPACITY AND SIZE SHALL BE COMPUTED BY METHOD INDICATED IN THE NATIONAL ELECTRICAL CODE. PANELS OR CABINETS ENCLOSING FUSES, CIRCUIT BREAKERS, SWITCHES OR OTHER ELECTRICAL SERVICE EQUIPMENT SHALL BE IN AN INCONSPICUOUS, ACCESSIBLE AND PROTECTED LOCATION. ELECTRICAL PANEL CLEARANCE TO BE MINIMUM 30" WIDTH AND 6'-0" HEAD ROOM. ELECTRICAL TO COMPLY WITH N.E.C. 110-16. ELECTRICAL METER BASE SHALL BE LOCATED IN AN AREA THAT IS PROTECTED FROM OUTSIDE WEATHER.
- ALL RECEPTACLES LOCATED WITH THE FOLLOWING CONDITIONS TO BE GFCI PROTECTED: ALL KITCHEN COUNTERS, IN BATHROOMS, OUTSIDE AT GRADE LEVEL, UNFINISHED BASEMENTS, AND IN GARAGES. GARAGE RECEPTACLES TO BE 18" ABOVE FINISHED FLOOR.
- ALL SWITCHES, RECEPTACLES, TELEPHONE JACKS AND CATV JACKS TO BE "LEVITON" 5601 ROCKER SERIES IN WHITE. DIMMER SWITCHES TO BE "LUTRON" DIMVA ROCKER SERIES IN WHITE. HEIGHT OF LIGHT SWITCHES FROM FINISHED FLOOR TO TOP OF SWITCH TO BE 48" TYPICAL UNLESS NOTED. OTHERWISE, THE MOUNTING FROM THE FINISH FLOOR TO THE CENTER OF OUTLETS INCLUDING TELEPHONE, CATV, ETC. SHALL BE 12" TYPICAL. AT DESKS AND OTHER SURFACES THE OUTLETS SHALL BE 10" TO CENTERLINE ABOVE SURFACE. SWITCHES, OUTLETS, TELEPHONE, CATV, ETC. LOCATIONS SHALL BE APPROVED PRIOR TO COMMENCEMENT OF WIRING.
- UNLESS NOTED OTHERWISE LOCATE AND INSTALL ONE (1) GFCI WEATHER PROTECTED RECEPTACLE AT GRADE LEVEL AND OUTSIDE AT SOFFIT AT EACH EXTERIOR DOOR WHETHER INDICATED ON DRAWINGS OR NOT. PLEASE REFER TO THE ELECTRICAL DRAWINGS FOR ADDITIONAL OUTLETS AT SOFFITS.
- ALL FIXTURES SHALL HAVE A U.L. LABEL LISTING. IF NOT U.L. LISTED FIXTURE SHALL NOT BE USED. ALL RECESS DOWN LIGHTS TO BE THERMAL RATED, AND ALL CAST IN PLACE FIXTURES TO BE INCLUDED IN BASE BID. ALL RECESS DOWN LIGHTS TO BE INCLUDED IN BASE BID WITH TRIM RINGS AS SELECTED BY DESIGNER OR OWNER. ALL LIGHTS IN CLOSETS SHALL MEET N.E.C. 410.8 REQUIREMENTS. ALL LIGHTS LOCATED IN WET OR DAMP LOCATIONS SHALL MEET N.E.C. 410.4 REQUIREMENTS.
- SMOKE DETECTORS TO BE HARD WIRED TO BUILDING CIRCUIT WITH BATTERY BACK UP. PROVIDE SMOKE DETECTORS AT ALL BUILDING LEVELS, IN ALL BEDROOMS, ACCESS TO ALL BEDROOMS, ETC. (UBC 310.7)
- ELECTRICAL PANEL (PANELBOARD/SWITCHBOARD) MAY NOT BE LOCATED BEHIND A DOOR OR IN A ROOM THAT MAY BE LOCKED AND MUST HAVE PROPER WORKING CLEARANCES. PLEASE REFER TO THE ELECTRICAL DRAWINGS FOR THE LOCATIONS FOR ALL ELECTRICAL PANELS. IF THE PANEL BOARD NEEDS TO BE RELOCATED, PLEASE CONSULT THE OWNER AND OR ARCHITECT PRIOR TO MOVING.
- SMALL WALL SECTIONS 2" OR WIDER (INCLUDES BETWEEN DOORS) REQUIRE AN OUTLET.
- GFCI PROTECTION MUST BE PROVIDED FOR ANY RECEPTACLE OUTLET IN THE FOLLOWING: A. BATHROOM, ANY COUNTERTOP KITCHEN/LAUNDRY, GARAGE OUTLETS MINIMUM 18" ABOVE FINISHED FLOOR HEIGHT, OUTSIDE FRONT AND REAR OUTLETS MUST HAVE WATERPROOF COVERPLATE.
- A RECEPTACLE OUTLET MUST BE PROVIDED AT EACH SECTION OF KITCHEN COUNTERTOP 12" OR WIDER. THERE MUST ALSO BE A MINIMUM OF TWO (2) DEDICATED COUNTERTOP CIRCUITS.
- A SWITCH CONTROLLED LIGHT MUST BE PROVIDED AT HALLWAYS, STAIRWAYS, EXITS, AND EACH ROOM.
- A HARD-WIRED WITH BATTERY BACKUP SMOKE DETECTOR MUST BE INSTALLED IN ALL BEDROOMS (NEW AND EXISTING) IN THE ACCESS AREA TO ALL BEDROOMS, AND AT LEAST ONE PER FLOOR. TWO (2) FOOT CHANGES IN CEILING HEIGHT ALSO REQUIRE AN ADDITIONAL SMOKE DETECTOR. ALARM SOUND MUST BE AUDIBLE IN ALL AREAS OF HOME.
- WHEN BEDROOMS OCCUR ON 2ND STORES, THE DETECTOR SHOULD BE LOCATED AT THE TOP OF THE STAIRWAY.
- KITCHEN OUTLETS REQUIRED TO BE GFCI PROTECTED, NOT MORE THAN 4'-0" APART.
- CLOSET LIGHT FIXTURES MIN. 12" CLEARANCE TO SHELF (LATERAL MEASURED)

**TYPICAL DRY UTILITY LOCATION DETAIL**

1/2" = 1'-0"

1  
E101

**HL36SA**



**Ordering Information**

**SAMPLE ORDER NUMBERS:** HL36SA2P927E001CAT, TR45FL40, TL53BMW

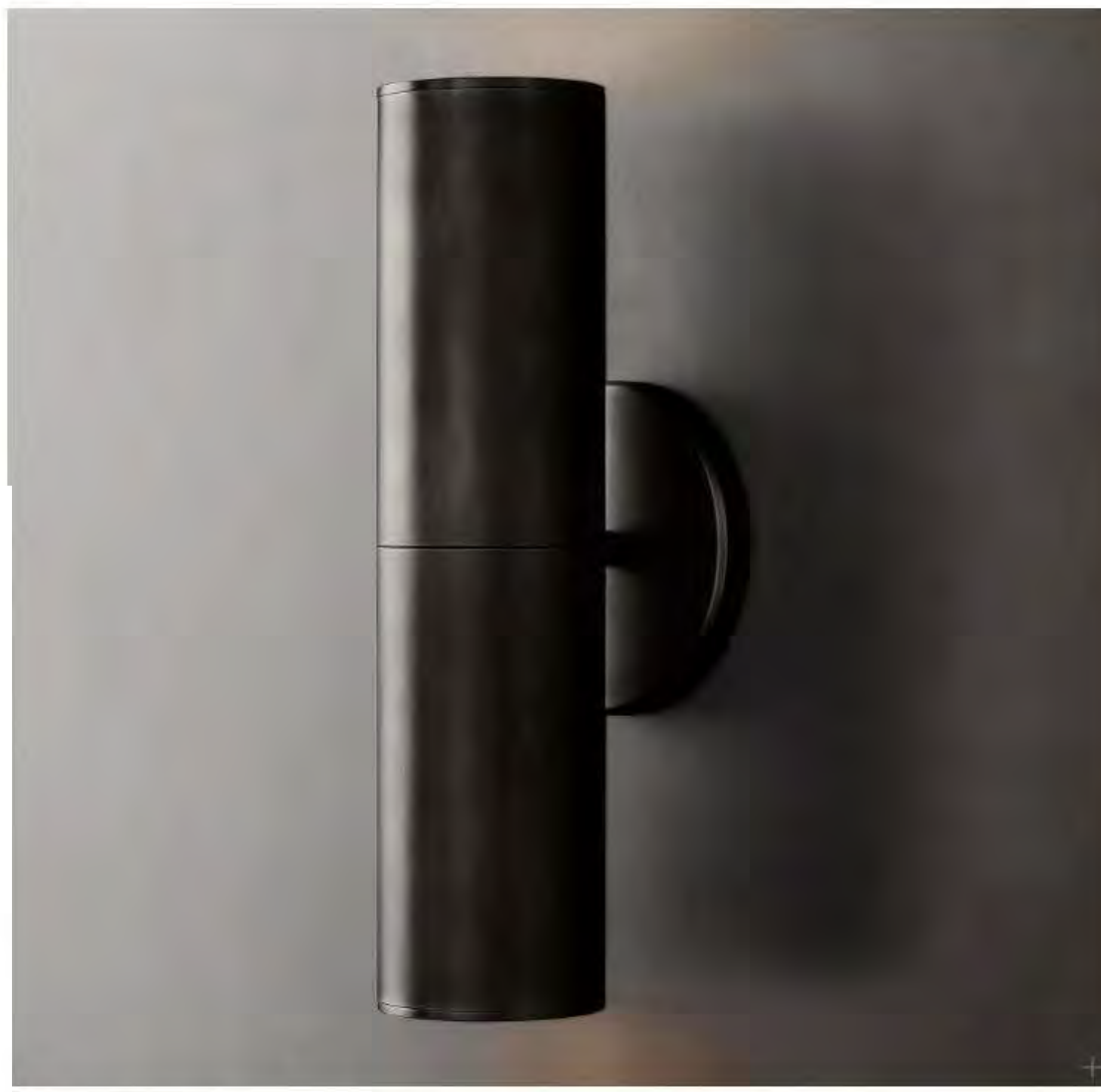
**Series:**  
HL36SA - 3-inch square shallow new construction directional lighting

**Options:**  
10 = 10W (nominal)  
15 = 15W (nominal)  
20 = 20W (nominal)

**Accessories:**  
[blank] - Purchase separately  
SPL = 1\"/>

HALO HL3 3-inch LED downlighting 15

**L-1 RECESSED EXTERIOR SOFFIT LIGHT**



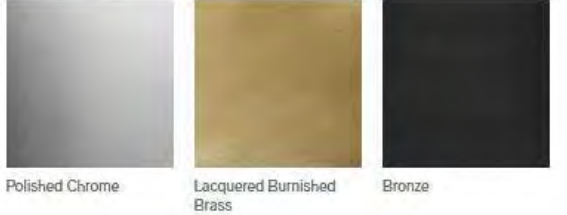
**CHAMPEAUX LINEAR SCONCE**

Starting at \$275. Member \$292. Member

Designer Jonathan Browning's Champeaux collection brings refinement and luxe materials to the classic sconce, a standard of 1970s utility crafted in solid brass. Browning's thoughtful reinterpretation goes beyond function to reveal the sconce as a thing of beauty. The design maintains the clean lines inherent in the concept, but sets the form in a new context.

[SHOP THE ENTIRE COLLECTION](#)

**FINISH OPTIONS**

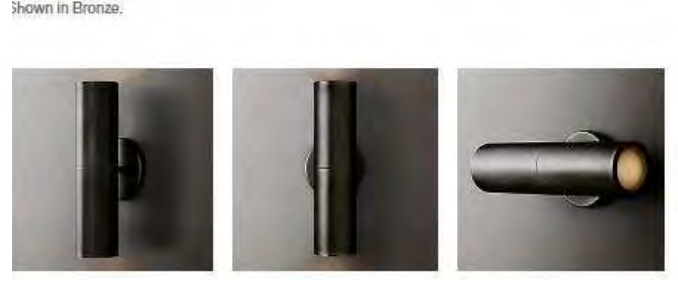


**DETAILS**

**DIMENSIONS**

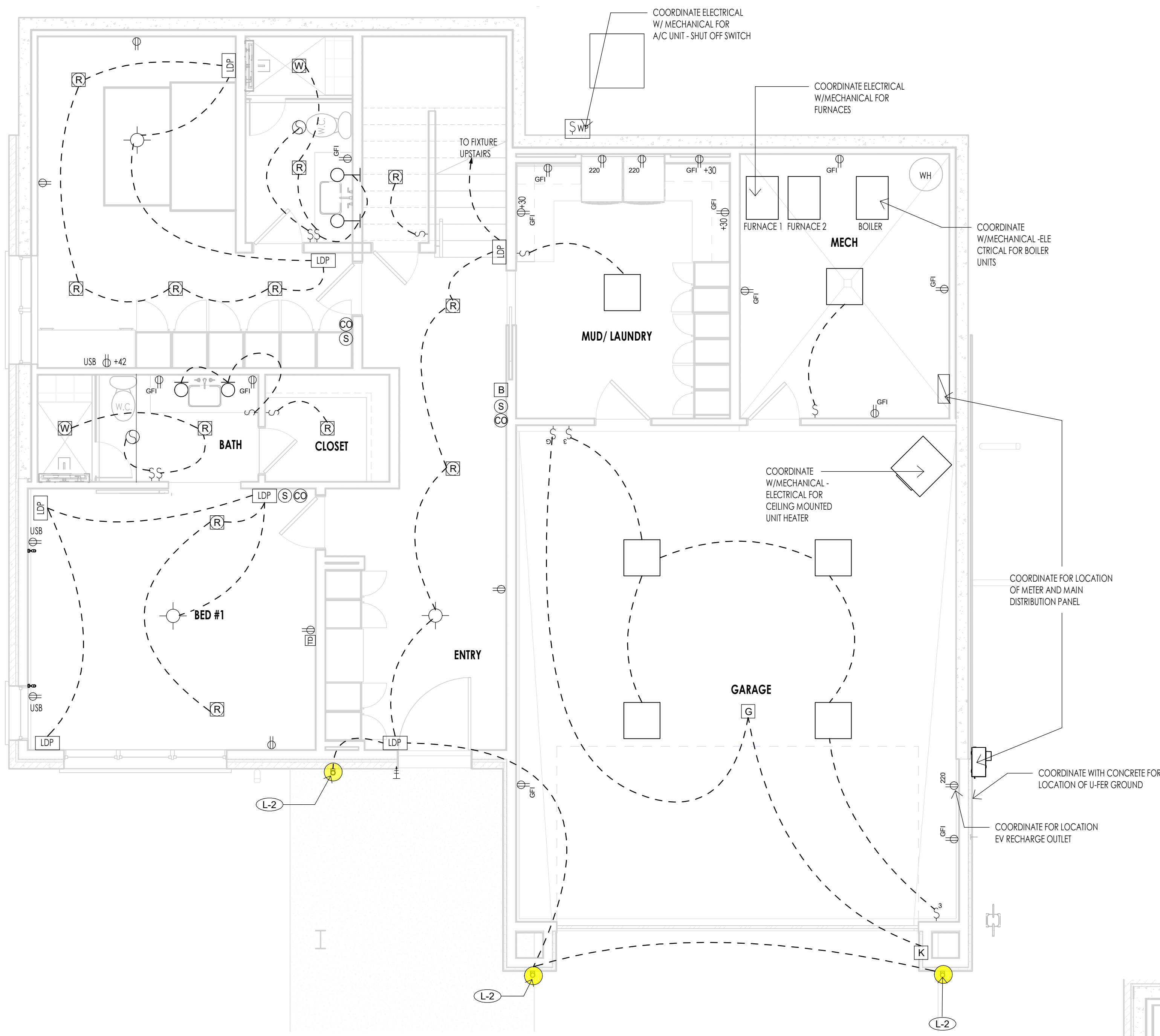
**INSTALLATION INSTRUCTIONS**

MAXIMUM OF 2.78K COLOR TEMPERATURE  
MAXIMUM OF 700 LUMENS  
CAP TOP DOWNLIGHT ONLY

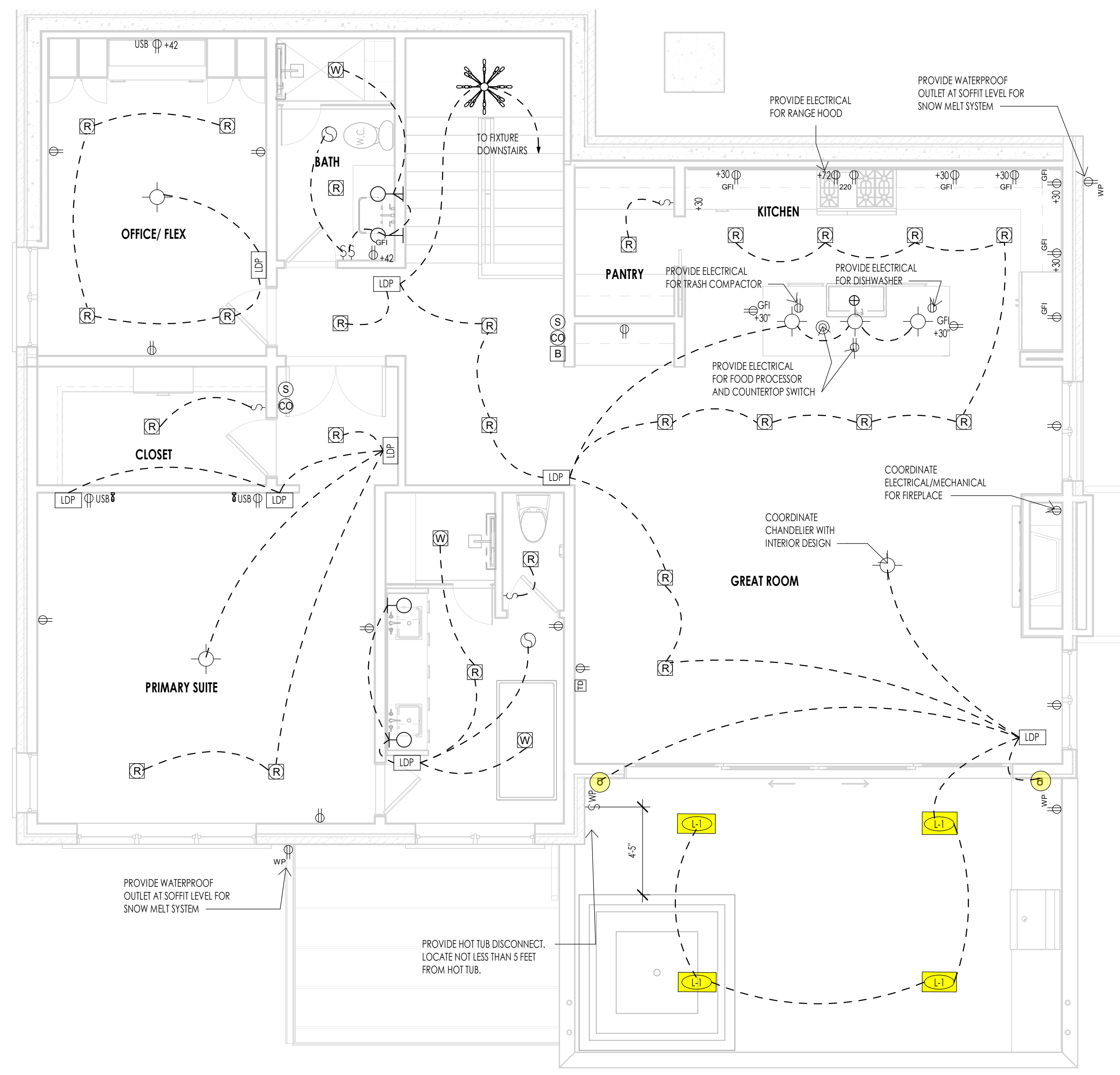


**L-2 DECORATIVE EXTERIOR WALL SCONCE**





LEVEL 1 - ELECTRICAL  
1/4" = 1'-0"



LEVEL 2 - ELECTRICAL  
1/4" = 1'-0"

ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION
S	SINGLE POLE TOGGLE SWITCH
S <sup>3</sup>	THREE WAY TOGGLE SWITCH
S <sup>4</sup>	FOUR WAY TOGGLE SWITCH
S <sup>G</sup>	GARAGE DOOR OPENER
S <sup>D</sup>	DIMMER TOGGLE SWITCH
Ⓛ	110 V DUPLEX OUTLET ON AN (AFP) ARC FAULT PROTECTED CIRCUIT
Ⓛ <sup>GFI</sup>	110 V GROUND FAULT INTERRUPTER
Ⓛ <sup>WP</sup>	110 V WATERPROOF GFI OUTLET
Ⓛ <sup>220</sup>	220 V OUTLET
Ⓛ <sup>Q</sup>	QUADRUPLUX OUTLET
Ⓛ <sup>F</sup>	110 V FLOOR DUPLEX OUTLET
Ⓛ <sup>S</sup>	110 V SMOKE DETECTOR W/BATT BACK-UP
Ⓛ <sup>CD</sup>	CARBON MONOXIDE DETECTOR
Ⓛ <sup>E</sup>	EXHAUST FAN
Ⓛ <sup>EL</sup>	EXHAUST FAN WITH LIGHT FIXTURE
Ⓛ <sup>R</sup>	4" LED RECESSED CAN (FIXTURE & TRIM PER SCHEDULE)
Ⓛ <sup>C</sup>	4" LED RECESSED CAN (CLOSET FIXTURE & TRIM PER SCHEDULE)
Ⓛ <sup>W</sup>	RECESSED CAN (WET LOCATION-FIXTURE & TRIM PER SCHEDULE)
Ⓛ <sup>CM</sup>	CEILING MOUNT FIXTURE
Ⓛ <sup>TL</sup>	TRACK LIGHTING
Ⓛ <sup>WM</sup>	WALL MOUNT FIXTURE
Ⓛ <sup>2X2</sup>	2X2 OR 2X4 FLUORESCENT CEILING FIXTURE
Ⓛ <sup>FL</sup>	FLUORESCENT STRIP LIGHT
Ⓛ <sup>UL</sup>	LED UNDERCOUNTER LIGHTING
Ⓛ <sup>G</sup>	GARAGE DOOR OPENER
Ⓛ <sup>K</sup>	KEYLESS ENTRY
Ⓛ <sup>B</sup>	DOORBELL
Ⓛ <sup>T</sup>	TELEPHONE (CAT 5E WIRING)
Ⓛ <sup>SL</sup>	SINGLE LINE UNLESS NOTED (NUMBER) DESIGNATES PORT OUTLETS REQUIRED
Ⓛ <sup>MN</sup>	MULTI-MEDIA NETWORK OUTLET (CAT 5E WIRE) W/4 PORT OUTLET
Ⓛ <sup>SW</sup>	STRUCTURED WIRING (FUTURE SMART WIRING) (E) (2) RG6 QUAD SHIELD, (3) CAT 6E WIRE - FOR CABLE TV, VIDEO, SATELLITE, ETC. (4) PORT OUTLET
Ⓛ <sup>GD</sup>	GARBAGE DISPOSAL
Ⓛ <sup>LV</sup>	LOW VOLTAGE RECESSED CAN
Ⓛ <sup>L1</sup>	RECESSED EXTERIOR SOFFIT LIGHT - SEE SPECS ON SHEET E101
Ⓛ <sup>L2</sup>	DECORATIVE EXTERIOR WALL SCONCE - SEE SPECS ON SHEET E101
Ⓛ <sup>L3</sup>	MOTOR COURT EXTERIOR LIGHTING - SEE SPECS ON SHEET E101
Ⓛ <sup>LDP</sup>	LIGHTING DIGITAL PAD
Ⓛ <sup>DB</sup>	DOOR BELL SWITCH
Ⓛ <sup>WBL</sup>	WALL MOUNTED BED LIGHT
Ⓛ <sup>EL</sup>	EXTERIOR LIGHTING - SEE SPECS. ON E/101

- ELECTRICAL GENERAL NOTES**
- SEE SPECS FOR ELECTRICAL INFORMATION.
  - ELECTRICAL LAYOUTS ARE SHOWN IN SCHEMATIC. THE CONTRACTOR IS RESPONSIBLE TO COORDINATE THE LAYOUT AND INSTALLATION OF ALL RELATED ITEMS WITH EXISTING CONDITIONS AND RELATED TRADES.
  - COORDINATE WITH OWNER, INTERIOR DESIGNER AND/OR PLANS FOR FIXTURE SCHEDULES, STYLES, FINISHES, ETC.
  - ALL WORK TO COMPLY WITH 2014 N.E.C. CODES AND 2015 I.R.C. CODES.
  - CENTER OF ALL OUTLETS TO BE 18" ABOVE FINISH FLOOR UNLESS NOTED OTHERWISE. CENTER OF OUTLETS OVER CABINETS, VANITIES, ETC. TO BE 12" ABOVE FINISH COUNTER HEIGHT UNLESS NOTED OTHERWISE.
  - CONTRACTOR TO FIELD VERIFY LOCATION OF ALL ELECTRICAL FIXTURES, SWITCHES, ETC. WITH OWNER AND DESIGNER PRIOR TO WIRING.
  - PROVIDE SLOPED RECESSED CANS FOR SLOPED CEILING APPLICATIONS & THERMAL PROTECTION CANS WHERE IN CONTACT WITH INSULATION AS REQUIRED.
  - CONTRACTOR TO PROVIDE ELECTRICAL SERVICE TO MECHANICAL EQUIPMENT AS REQUIRED.
  - ALL BRANCH CIRCUITS BE PROTECTED BY AN ARCH-Fault CIRCUIT INTERRUPTER LISTED TO PROVIDE PROTECTION OF THE ENTIRE BRANCH CIRCUIT.
  - PROVIDE A U-FER GROUND. AN ELECTRODE ENCASED BY A LEAST 2" OF CONCRETE SHALL BE LOCATED NEAR THE BOTTOM OF THE CONCRETE FOUNDATION SYSTEM. AND SHALL BE IN DIRECT CONTACT WITH THE EARTH, CONSISTING OF AT LEAST 20 FEET OF BARE ELECTRICALLY CONDUCTIVE ROD AT LEAST 1/2 INCH IN DIAMETER OR BARE COPPER CONDUCTOR NOT SMALLER THAN 4 AWG. (I.R.C. E555B.1.2 AND N.E.C. 250.30)
  - THE CONTRACTOR SHALL VERIFY OUTLET LOCATIONS AND VOLTAGE REQUIREMENTS AS PER APPLIANCE SPECIFICATIONS.
  - STRUCTURED WIRE MEDIA PANEL TO BE "TELEVISION" (O.A.E.) AND INCLUDE: A/C POWER MODULE, CAT 5 VOICE AND DATA MODULES, 10/100/1000 Mbps SATA HUB, CATV BOOSTER AND AUDIO / VIDEO CONTROL MODULES.
  - SMOKE AND/OR CARBON MONOXIDE DETECTORS ARE TO BE HARD WIRED TOGETHER IN SERIES WITH BATTERY BACKUP AS PER CODE REQUIREMENTS. COMBINATION UNITS ARE PERMITTED AS APPROVED.
  - ALL EXTERIOR ELECTRICAL OUTLETS TO HAVE WEATHERPROOF COVERS.
  - ALL 125V 15 AND 20 AMP RECEPTACLES WITHIN DWELLING UNITS MUST BE TAMPER PROOF.

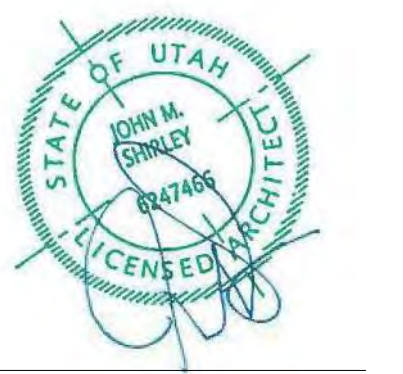


Architecture  
Interior Design  
Landscape Architecture  
Land Planning  
Construction Management

7927 So. Highpoint Parkway, Suite 300  
Sandwich, Utah 84094  
ph. 801.269.0555  
fax 801.269.1425  
www.thinkaec.com

The designs shown and described herein including all technical drawings, graphic representation & models thereof, are proprietary & can not be copied, duplicated, or commercially reproduced in whole or in part without the sole and express written permission from THINK Architecture, Inc.

These drawings are available for limited review and evaluation by clients, consultants, contractors, government agencies, vendors, and office personnel only in accordance with this notice.



WARM SPRINGS RESIDENCE #33

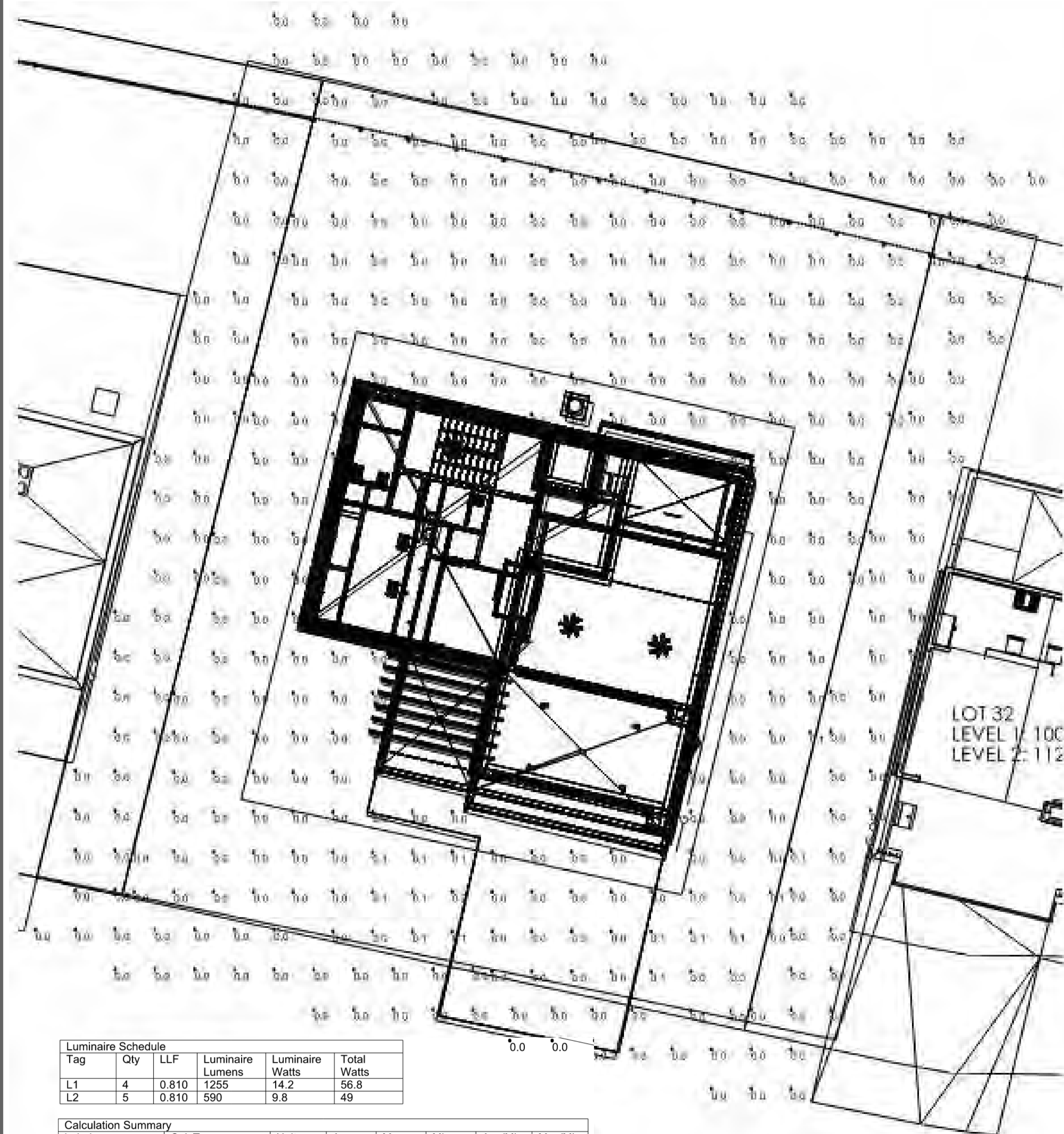
170 BALD MOUNTAIN ROAD  
KETCHUM, IDAHO 83340

PROJECT NC22023.33  
DATE: 2023.12.27

SHEET TITLE:  
ELECTRICAL PLANS

SHEET NUMBER:  
E102

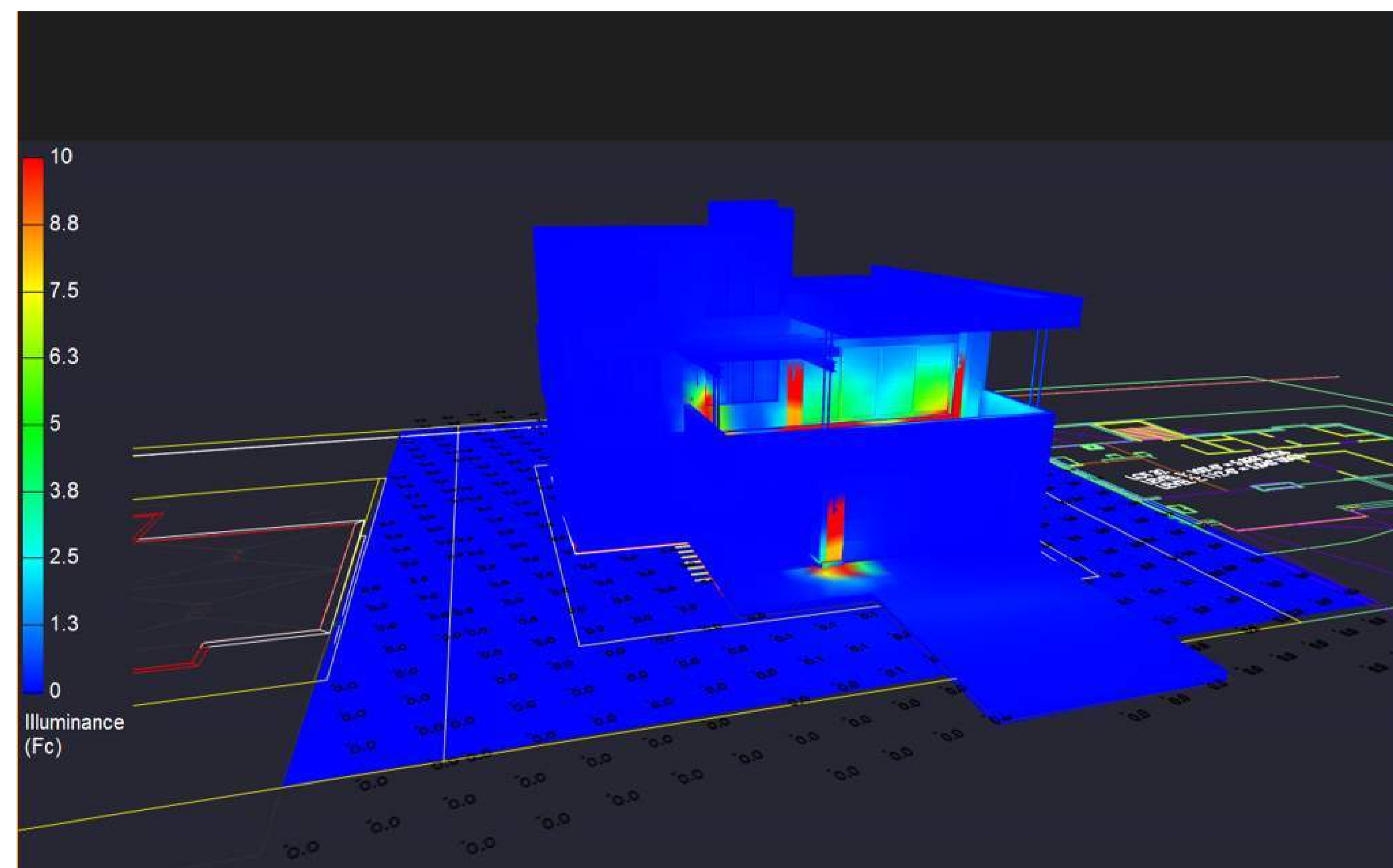
© 2021 THINK ARCHITECTURE, INC.



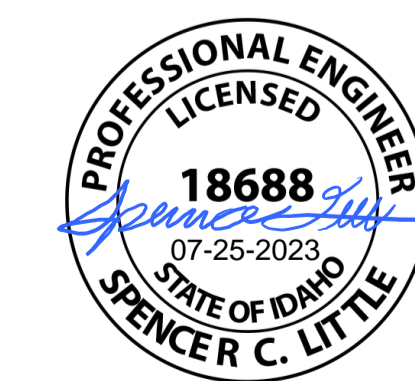
Luminaire Schedule					
Tag	Qty	LLF	Luminaire Lumens	Luminaire Watts	Total Watts
L1	4	0.810	1255	14.2	56.8
L2	5	0.810	590	9.8	49


Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PROPERTY	Illuminance	Fc	0.01	0.2	0.0	N.A.	N.A.
TRESPASS	Illuminance	Fc	0.00	0.1	0.0	N.A.	N.A.

POINT-BY-POINT CALCULATION AND SUMMARIES  
(5 FOOT GRID)



PSEUDO RENDERING WITH ILLUMINANCE SCALE




**WARM SPRING RESIDENCES**  
 KETCHUM, ID  


---

**LOT 33 CALCULATIONS AND**  
 RENDERINGS  
**SPECTRUM**  
 ENGINEERS



**WOOD SIDING**

**STONE VENEER**

**METAL SIDING**

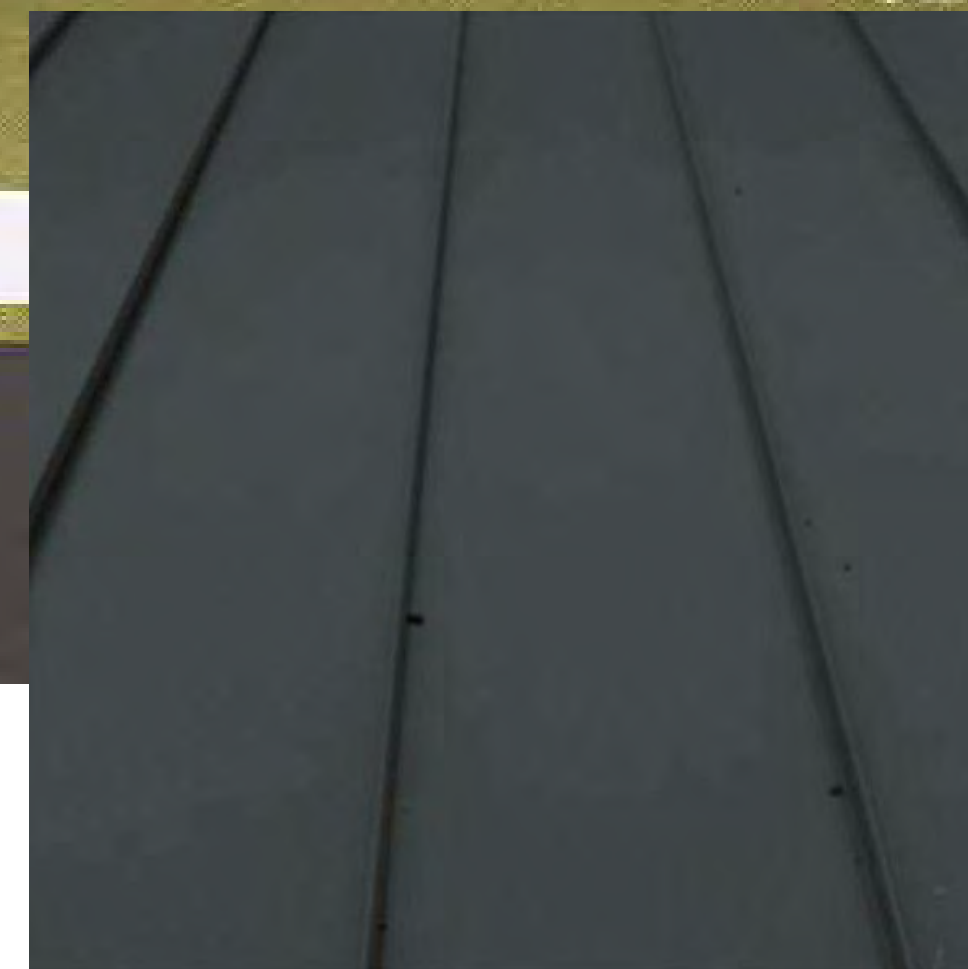
**GARAGE DOOR TO MATCH SIDING**



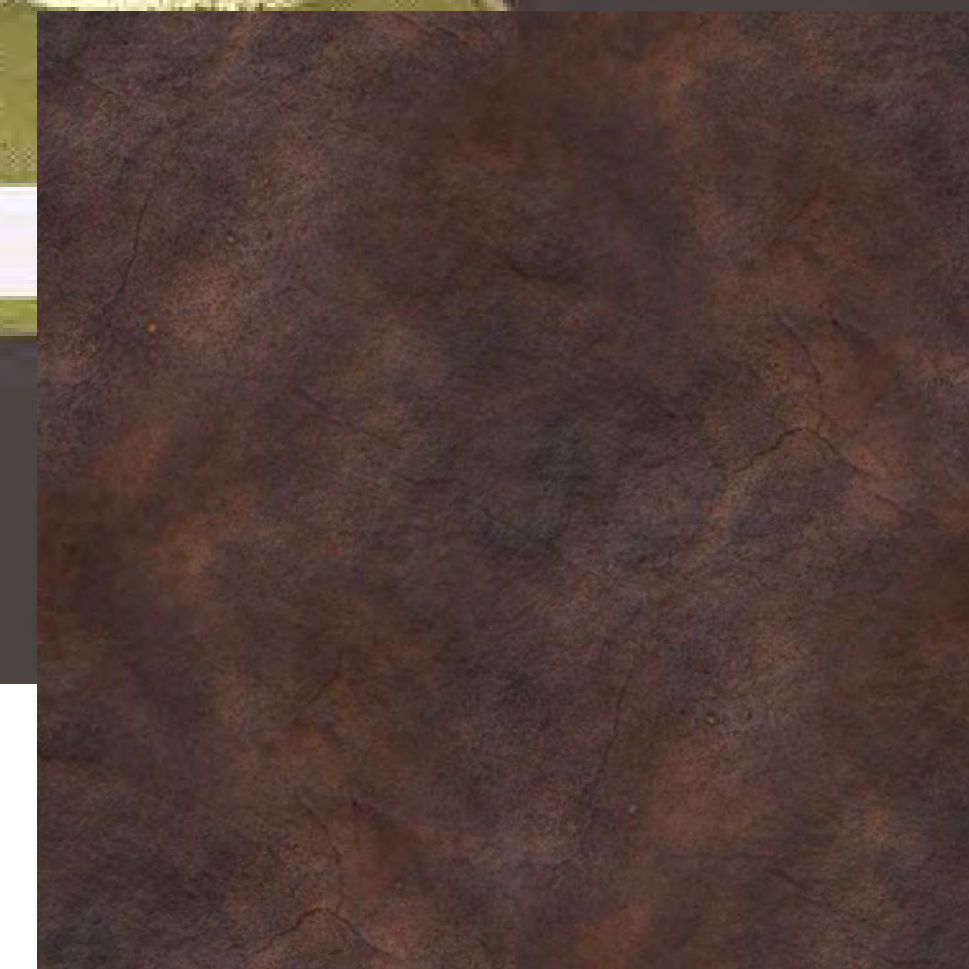
**THINSET MASONRY:**  
MOUNTAIN VALLEY SANDSTONE WITH OVER GROUTING



**HORIZONTAL SHIP LAP CEDAR SIDING:**  
PRE-STAINED CEDAR SIDING



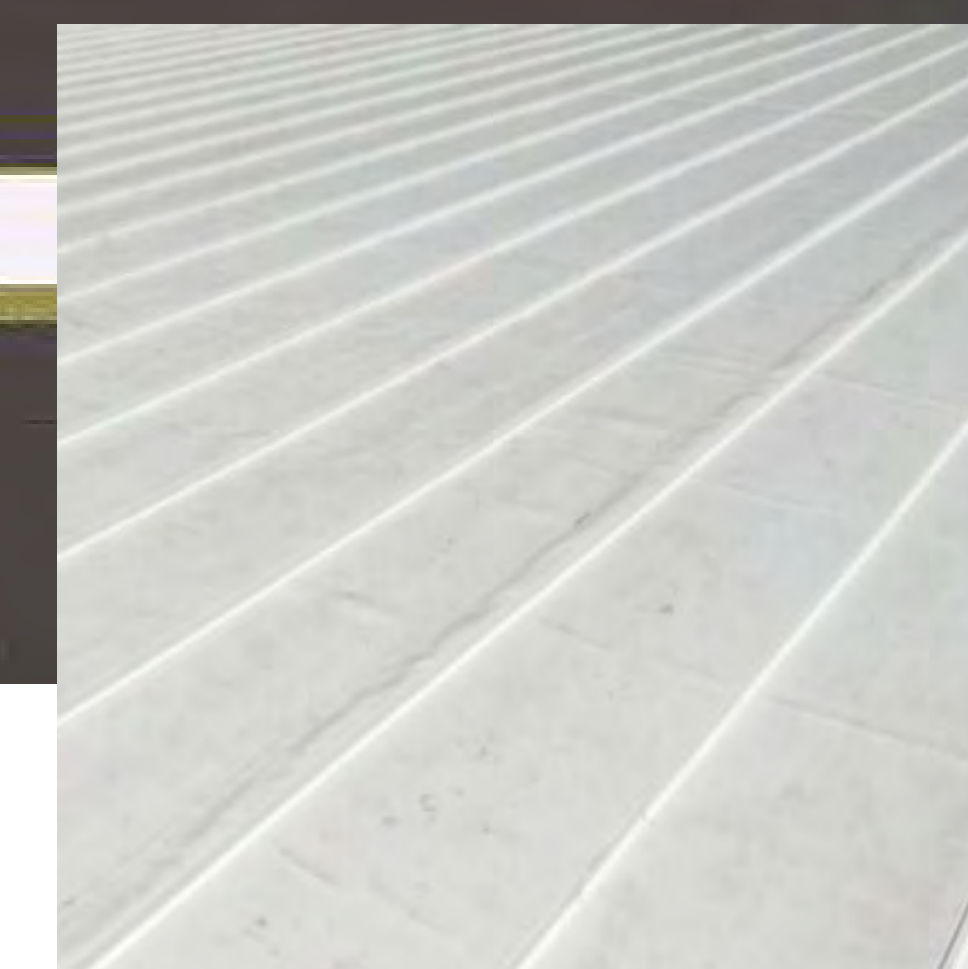
**METAL STANDING SEAM ROOFING:**  
STEEL TRIM  
COLOR: DARK GRAY



**METAL SIDING AT CHIMNEY:**  
STEEL TRIM  
COLOR: AGED STEEL, LIGHT RUST FINISH



**WINDOWS:**  
ALUMINUM CLAD WOOD WINDOWS  
COLOR: DARK BRONZE



**TPO WITH GRAVEL BALLAST**  
ROOFING MEMBRANE



**GRAVEL BALLAST OVER MEMBRANE:**  
3/4" SMOOTH GRAVEL



The designs shown and described herein including all technical drawings, graphic representation & models thereof, are the copyrighted work of Think Architecture, Inc. and cannot be copied, duplicated, or commercially exploited in whole or in part without the sole and express written permission from THINK Architecture, Inc.

# WARM SPRINGS RESIDENCE #33 R2

170 BALD MOUNTAIN ROAD  
KETCHUM, IDAHO 83340

MATERIAL BOARD

D202

2024.02.15



LOT 33

BALD MOUNTAIN ROAD

STREET VIEW FROM BALD MOUNTAIN ROAD LOOKING NORTH

# WARM SPRINGS RESIDENCE #33 R2

170 BALD MOUNTAIN ROAD  
KETCHUM, IDAHO 83340



STREET VIEW FROM BALD MOUNTAIN ROAD LOOKING NORTH



BALD MOUNTAIN ROAD VIEW LOOKING NORTH EAST



The designs shown and described herein including all technical drawings, graphic representation & models thereof, are the copyrighted work of Think Architecture, Inc. and cannot be copied, duplicated, or commercially exploited in whole or in part without the sole and express written permission from Think Architecture, Inc.

## WARM SPRINGS RESIDENCE #33 R2

170 BALD MOUNTAIN ROAD  
KETCHUM, IDAHO 83340

EXTERIOR VIEWS

D302

2024.02.15





PROPOSED WOOD SLAT FENCE

EXISTING STEEL GAURDRAIL

LOT 32

LOT 33

WARM SPRINGS ROAD LOOKING SOUTH



The designs shown and described herein including all technical drawings, graphic representation & models thereof, are the copyrighted work of Think Architecture, Inc. and cannot be copied, duplicated, or commercially exploited in whole or in part without the sole and express written permission from Think Architecture, Inc.

# WARM SPRINGS RESIDENCE #33 R2

170 BALD MOUNTAIN ROAD  
KETCHUM, IDAHO 83340

EXTERIOR VIEWS

D303

2024.02.15



PROPOSED WOOD SLAT FENCE

EXISTING STEEL GAURDRAIL

LOT 33

WARM SPRINGS ROAD LOOKING SOUTH



The designs shown and described herein including all technical drawings, graphic representation & models thereof, are the copyrighted work of Think Architecture, Inc. and cannot be copied, duplicated, or commercially exploited in whole or in part without the sole and express written permission from THINK Architecture, Inc.

# WARM SPRINGS RESIDENCE #33 R2

170 BALD MOUNTAIN ROAD  
KETCHUM, IDAHO 83340

EXTERIOR VIEWS

## D304

2024.02.15



WARM SPRINGS ROAD

BUS STOP

GRAVEL BALLAST OVER MEMBRANE

LOT 34

LOT 33

LOT 32

BIRDS EYE VIEW LOOKING EAST OVER BALD MOUNTAIN ROAD



The designs shown and described herein including all technical drawings, graphic representation & models thereof, are the copyrighted work of Think Architecture, Inc. and cannot be copied, duplicated, or commercially exploited in whole or in part without the sole and express written permission from THINK Architecture, Inc.

# WARM SPRINGS RESIDENCE #33 R2

170 BALD MOUNTAIN ROAD  
KETCHUM, IDAHO 83340

EXTERIOR VIEWS

D305

2024.02.15



LOT 33

LOT 33

LOT 32

BALD MOUNTAIN ROAD



The designs shown and described herein including all technical drawings, graphic representation & models thereof, are the copyrighted work of Think Architecture, Inc. and cannot be copied, duplicated, or commercially exploited in whole or in part without the sole and express written permission from THINK Architecture, Inc.

# WARM SPRINGS RESIDENCE #33 R2

170 BALD MOUNTAIN ROAD  
KETCHUM, IDAHO 83340

EXTERIOR VIEWS

## D306

2024.02.15



VIEW FROM SECOND STORY WINDOW ON NORTH SIDE OF WARM SPRINGS ROAD LOOKING WEST



The designs shown and described herein including all technical drawings, graphic representation & models thereof, are the copyrighted work of Think Architecture, Inc. and cannot be copied, duplicated, or commercially exploited in whole or in part without the sole and express written permission from THINK Architecture, Inc.

# WARM SPRINGS RESIDENCE #33 R2

170 BALD MOUNTAIN ROAD  
KETCHUM, IDAHO 83340

EXTERIOR VIEWS

D307

2024.02.15



City of Ketchum

# Attachment D: Redesign #1 and #2 Design Review Analysis



Redesign #1 and #2 – Lot 33, Block 4, Warm Springs Ranch Residences  
DESIGN REVIEW STANDARDS ANALYSIS

17.96.060.A.1 - Streets	Conformance
<i>The applicant shall be responsible for all costs associated with providing a connection from an existing City street to their development.</i>	YES
<p><b>Finding:</b> The project proposes to construct a new asphalt driveway to access Lot 33 from Bald Mountain Road. All project costs associated with the development, including the City street connection, are the responsibility of the applicant.</p>	

17.96.060.A.2 - Streets	Conformance
<i>All street designs shall be approved by the City Engineer.</i>	YES
<p><b>Finding:</b> The City Engineer has reviewed the proposed driveway design for Lot 33 and finds it to be sufficient for the project.</p> <p>All street designs shall be reviewed and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project.</p>	

17.96.060.B.1 - Sidewalks	Conformance
<i>All projects under subsection 17.96.010.A of this chapter that qualify as a "substantial improvement" shall install sidewalks as required by the Public Works Department.</i>	YES
<p><b>Finding:</b> Sidewalks have already been installed along Bald Mountain Road adjacent to Lot 33 as part of the Warm Springs Ranch Residences Subdivision Development Agreement. Per Phase One Block 1 Infrastructure Improvements listed in the Warm Springs Ranch Subdivision Development Agreement, included as Attachment F, sidewalks were installed adjacent to Bald Mountain Road to Warm Springs Road to Lot 3 in Block 1. Staff recommend condition of approval #5 ensure any damage to the right-of-way, including sidewalks, be reconstructed to City standards at the owner's expense prior to issuance of Certificate of Occupancy.</p>	

17.96.060.B.2 - Sidewalks	Conformance
<i>Sidewalk width shall conform to the City's right-of-way standards, however the City Engineer may reduce or increase the sidewalk width and design standard requirements at their discretion.</i>	YES
<p><b>Finding:</b> Sidewalks have already been installed along Bald Mountain Road adjacent to Lot 33 as part of the Warm Springs Ranch Residences Subdivision Development Agreement. Per Phase One Block 1 Infrastructure Improvements listed in the Warm Springs Ranch Subdivision Development Agreement, sidewalks were installed adjacent to Bald Mountain Road to Warm Springs Road to Lot 3 in Block 1. Any damage to the right-of-way, including sidewalks, must be reconstructed to City standards at the owner's expense prior to issuance of Certificate of Occupancy.</p>	

17.96.060.B.3 - Sidewalks	Conformance
<p><i>Sidewalks may be waived if one of the following criteria is met:</i></p> <ul style="list-style-type: none"> <li><i>a) The project comprises an addition of less than 250 square feet of conditioned space.</i></li> <li><i>b) The City Engineer finds that sidewalks are not necessary because of existing geographic limitations, pedestrian traffic on the street does not warrant a sidewalk, or if a sidewalk would not be beneficial to the general welfare and safety of the public.</i></li> </ul>	<p>YES</p>
<p><b>Finding:</b> Sidewalks have already been installed along Bald Mountain Road adjacent to Lot 33 as part of the Warm Springs Ranch Residences Subdivision Development Agreement. Per Phase One Block 1 Infrastructure Improvements listed in the Warm Springs Ranch Subdivision Development Agreement, sidewalks were installed adjacent to Bald Mountain Road to Warm Springs Road to Lot 3 in Block 1. Any damage to the right-of-way, including sidewalks, must be reconstructed to City standards at the owner’s expense prior to issuance of Certificate of Occupancy.</p>	

17.96.060.B.4 - Sidewalks	Conformance
<p><i>The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.</i></p>	<p>YES</p>
<p><b>Finding:</b> Sidewalks have already been installed along Bald Mountain Road adjacent to Lot 33 as part of the Warm Springs Ranch Residences Subdivision Development Agreement. Per Phase One Block 1 Infrastructure Improvements listed in the Warm Springs Ranch Subdivision Development Agreement, sidewalks were installed adjacent to Bald Mountain Road to Warm Springs Road to Lot 3 in Block 1. Any damage to the right-of-way, including sidewalks, must be reconstructed to City standards at the owner’s expense prior to issuance of Certificate of Occupancy.</p>	

17.96.060.B.5 – Sidewalks	Conformance
<p><i>New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.</i></p>	<p>YES</p>
<p><b>Finding:</b> Sidewalks have already been installed along Bald Mountain Road adjacent to Lot 33 as part of the Warm Springs Ranch Residences Subdivision Development Agreement. Per Phase One Block 1 Infrastructure Improvements listed in the Warm Springs Ranch Subdivision Development Agreement, sidewalks were installed adjacent to Bald Mountain Road to Warm Springs Road to Lot 3 in Block 1. Any damage to the right-of-way, including sidewalks, must be reconstructed to City standards at the owner’s expense prior to issuance of Certificate of Occupancy.</p>	



17.96.060.B.6 - Sidewalks	Conformance
<p><i>The City may approve and accept voluntary cash contributions in lieu of the above described improvements, which contributions must be segregated by the City and not used for any purpose other than the provision of these improvements. The contribution amount shall be 110 percent of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the City Engineer. Any approved in lieu contribution shall be paid before the City issues a certificate of occupancy.</i></p>	<p>YES</p>
<p><b>Finding:</b> Sidewalks have already been installed along Bald Mountain Road adjacent to Lot 33 as part of the Warm Springs Ranch Residences Subdivision Development Agreement. Per Phase One Block 1 Infrastructure Improvements listed in the Warm Springs Ranch Subdivision Development Agreement, sidewalks were installed adjacent to Bald Mountain Road to Warm Springs Road to Lot 3 in Block 1. Any damage to the right-of-way, including sidewalks, must be reconstructed to City standards at the owner’s expense prior to issuance of Certificate of Occupancy.</p>	

17.96.060.C.1 - Drainage	Conformance
<p><i>All stormwater shall be retained on site.</i></p>	<p>YES</p>
<p><b>Finding:</b> Pursuant to KMC §17.96.060.C.1, all storm water drainage shall be retained on site. Drainage improvements are specified on Sheet C-1 on both redesigned project plans for Lot 33. The drainage improvements include the installation of a trench drain bordering the width of the driveway. A combination of drywells and catch basins on the lot will be installed to collect stormwater from the rest of the property. The City Engineer has reviewed the proposed drainage plan and believes the trench drain and drywell improvements are sufficient to maintain all storm water drainage on the subject property.</p> <p>All drainage plans and specifications shall be reviewed and approved by the City Engineer and Streets Department prior to issuance of a Building Permit.</p>	

17.96.060.C.2 - Drainage	Conformance
<p><i>Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.</i></p>	<p>YES</p>
<p><b>Finding:</b> Drainage improvements are specified on Sheet C-1 on both redesigned project plans for Lot 33. The drainage improvements include the installation of a trench drain bordering the width of the driveway. A combination of drywells and catch basins on the lot will be installed to collect stormwater from the rest of the property. The City Engineer has reviewed the proposed drainage plan and believes the trench drain and drywell improvements are sufficient to maintain all storm water drainage on the subject property.</p>	

All drainage plans and specifications shall be reviewed and approved by the City Engineer and Streets Department prior to issuance of a Building Permit.

17.96.060.C.3 - Drainage	Conformance
<i>The City Engineer may require additional drainage improvements as necessary, depending on the unique characteristics of a site.</i>	YES
<p><b>Finding:</b> The City Engineer has reviewed the proposed drainage plan for both redesigns on Lot 33 and believes the trench drain and drywell/catch basin improvements are sufficient to maintain storm water drainage on the subject property. The City Engineer may require additional drainage improvements if necessary. If approved, the applicant shall submit final civil drawings for all drainage improvements with the building permit application to be verified, reviewed, and approved by the City Engineer and Streets Department.</p>	

17.96.060.C.4 - Drainage	Conformance
<i>Drainage facilities shall be constructed per City standards.</i>	YES
<p><b>Finding:</b> The drainage improvements for both redesigns on Lot 33 include the installation of a trench drain bordering the width of the driveway along Bald Mountain Road. A combination of drywells and catch basins will be installed to collect stormwater from the rest of the property. The City Engineer has reviewed the proposed drainage plan and believes the proposed trench drain and drywell improvements meet city standards.</p> <p>All drainage plans and specifications shall be reviewed and approved by the City Engineer and Streets Department prior to issuance of a Building Permit.</p>	

17.96.060.D.1 - Utilities	Conformance
<i>All utilities necessary for the development shall be improved and installed at the sole expense of the applicant.</i>	YES
<p><b>Finding:</b> All project costs associated with the development, including the installation of utilities, are the responsibility of the applicant. The applicant has not made requests for funding to the City for utility improvements. No funds have been provided by the City for the project.</p>	

17.96.060.D.2 - Utilities	Conformance
<i>Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view.</i>	YES
<p><b>Finding:</b> As shown on Sheet C-1 of both redesigned plans for Lot 33, the applicant proposes connecting to the municipal water and sewer systems from existing lines on Bald Mountain Road. Requirements and specification for the water and sewer connections will be verified, reviewed, and approved by the Utilities Department prior to issuance of a Building Permit.</p>	

17.96.060.D.3 - Utilities	Conformance
<i>When extension of utilities is necessary all developers will be required to pay for and install two-inch SDR11 fiber optical conduit. The placement and construction of the fiber optical conduit shall be done in accordance with City of Ketchum standards and at the discretion of the City Engineer.</i>	N/A
<b>Finding:</b> N/A. Extension of utilities is not necessary to service the proposed residence.	

17.96.060.E.1 – Compatibility of Design	Conformance
<i>The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures.</i>	YES
<b>Finding:</b> Pursuant to KMC §17.96.060.E.1, “The project’s materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures.” The Warm Springs Ranch Subdivision was platted in 2021 and is in the process of being developed. Multiple single-family residences are currently being constructed on Bald Mountain Road and Mountain Creek Drive. All of which have similar, yet unique architectural styles that utilize both modern (flat and shed roofs with cold materials such as concrete and metal) and traditional (gabled roofs with warmer materials such as wood and stone) designs. Redesign #1 features flat roofs with large windows and a mix of cold and warm materials including wood, metal, and stone. Redesign #2 features pitched roofs with minor flat roof accent areas, large windows, and a mix of cold and warm materials including wood, metal, and stone.	

17.96.060.E.2 – Compatibility of Design	Conformance
<i>Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.</i>	N/A
<b>Finding:</b> N/A. The subject property does not contain any significant landmarks.	

17.96.060.E.3 – Compatibility of Design	Conformance
<i>Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to.</i>	N/A
<b>Finding:</b> N/A. The subject property is vacant.	

17.96.060.F.1 – Architectural	Conformance
<i>Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined.</i>	YES
<b>Finding:</b> Sidewalks have already been installed along Bald Mountain Road adjacent to Lot 33 as part of the Warm Springs Ranch Residences Subdivision Development Agreement. Per Phase One Block 1 Infrastructure Improvements listed in the Warm Springs Ranch Subdivision	

Development Agreement, sidewalks were installed adjacent to Bald Mountain Road to Warm Springs Road to Lot 3 in Block 1. Any damage to the right-of-way, including sidewalks, must be reconstructed to City standards at the owner’s expense prior to issuance of Certificate of Occupancy.

17.96.060.F.2 – Architectural	Conformance
<i>The building character shall be clearly defined by use of architectural features.</i>	YES
<p><b>Finding:</b> As stated previously, Redesign #1 features a modern design of flat roofs, large windows, and wood, metal, and stone materials. Redesign #2 features a more traditional design of pitched roofs with minor flat roof accent areas, large windows, and wood, metal, and stone materials.</p>	

17.96.060.F.3 – Architectural	Conformance
<i>There shall be continuity of materials, colors and signing within the project.</i>	YES
<p><b>Finding:</b> Both redesigns feature the same materials which include dark bronze trimmed windows, metal siding chimney, and a mix of wood, stone, and metal siding materials.</p>	

17.96.060.F.4 – Architectural	Conformance
<i>Accessory structures, fences, walls and landscape features within the project shall match or complement the principal building.</i>	YES
<p><b>Finding:</b> Both redesigns propose a 4’ wooden fence on the rear of the lot along Warm Springs Road. No accessory structures are proposed. The project proposes landscaping improvements that complement and soften the visual appearance of the residence from Warm Springs Road. The landscaping includes trees, shrubs, and grasses. Utilities on the lot will be screened with shrubs. New Aspen, Crabapple, and Pine trees will be installed on the lot to provide screening for the residence from adjacent properties and Warm Springs Road.</p>	

17.96.060.F.5 – Architectural	Conformance
<i>Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.</i>	YES
<p><b>Finding:</b> The project plans for Redesigns #1 and #2 propose a two-story structure on Lot 33. Both redesigns feature multiple wall and deck pop-outs to provide undulation and reduce the appearance of flatness.</p>	

17.96.060.F.6 – Architectural	Conformance
<i>Building(s) shall orient toward their primary street frontage.</i>	YES
<p><b>Finding:</b> The structure in both redesigns is proposed to be oriented towards the primary street frontage along Bald Mountain Road.</p>	

17.96.060.F.7 – Architectural	Conformance
<i>Garbage storage areas and satellite receivers shall be screened from public view and located off alleys.</i>	YES
<b>Finding:</b> No satellite receivers are proposed for the project. Sheet A101 on both redesigned plans indicates that garbage bins will be stored within the attached garage and screened from public view.	

17.96.060.F.8 – Architectural	Conformance
<i>Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties.</i>	YES
<b>Finding:</b> The roof plan on Sheet A107 for both redesigns indicates that gutters will be installed, and the roofs will be sloped to downspouts.	

17.96.060.G.1 – Circulation Design	Conformance
<i>Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.</i>	YES
<b>Finding:</b> Sidewalks have already been installed along Bald Mountain Road adjacent to Lot 33 as part of the Warm Springs Ranch Residences Subdivision Development Agreement. Per Phase One Block 1 Infrastructure Improvements listed in the Warm Springs Ranch Subdivision Development Agreement, sidewalks were installed adjacent to Bald Mountain Road to Warm Springs Road to Lot 3 in Block 1. Any damage to the right-of-way, including sidewalks, must be reconstructed to City standards at the owner’s expense prior to issuance of Certificate of Occupancy.	

17.96.060.G.2 – Circulation Design	Conformance
<i>Awnings extending over public sidewalks shall extend five feet or more across the public sidewalk but shall not extend within two feet of parking or travel lanes within the right-of-way.</i>	YES
<b>Finding:</b> Sidewalks have already been installed along Bald Mountain Road adjacent to Lot 33 as part of the Warm Springs Ranch Residences Subdivision Development Agreement. Per Phase One Block 1 Infrastructure Improvements listed in the Warm Springs Ranch Subdivision Development Agreement, sidewalks were installed adjacent to Bald Mountain Road to Warm Springs Road to Lot 3 in Block 1. Any damage to the right-of-way, including sidewalks, must be reconstructed to City standards at the owner’s expense prior to issuance of Certificate of Occupancy.	

17.96.060.G.3 – Circulation Design	Conformance
<p><i>Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage.</i></p>	<p>YES</p>
<p><b>Finding:</b> Sidewalks have already been installed along Bald Mountain Road adjacent to Lot 33 as part of the Warm Springs Ranch Residences Subdivision Development Agreement. Per Phase One Block 1 Infrastructure Improvements listed in the Warm Springs Ranch Subdivision Development Agreement, sidewalks were installed adjacent to Bald Mountain Road to Warm Springs Road to Lot 3 in Block 1. Any damage to the right-of-way, including sidewalks, must be reconstructed to City standards at the owner’s expense prior to issuance of Certificate of Occupancy.</p> <p>The City Engineer has reviewed the proposed driveway for Lot 33 and finds the circulation design to meet city standards. Final circulation design shall be reviewed and approved by the City Engineer and Streets Department prior to issuance of a Building Permit.</p>	

17.96.060.G.4 – Circulation Design	Conformance
<p><i>Curb cuts and driveway entrances shall be no closer than 20 feet to the nearest intersection of two or more streets, as measured along the property line adjacent to the right-of-way. Due to site conditions or current/projected traffic levels or speed, the City Engineer may increase the minimum distance requirements.</i></p>	<p>YES</p>
<p><b>Finding:</b> The proposed driveway for Lot 33 is located further than 20 feet away from the nearest intersection of Bald Mountain Road and Mountain Creek Drive.</p>	

17.96.060.G.5 – Circulation Design	Conformance
<p><i>Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project.</i></p>	<p>YES</p>
<p><b>Finding:</b> Access for emergency vehicles, snowplows, and garbage trucks is provided along Bald Mountain Road for Lot 33.</p>	

17.96.060.H.1 – Snow Storage	Conformance
<p><i>Snow storage areas shall not be less than 30 percent of the improved parking and pedestrian circulation areas.</i></p>	<p>YES</p>
<p><b>Finding:</b> In both redesigned plans, Sheet L3 shows the proposed snow storage areas to include a total of 275 square feet, greater than the required 30% (837 * .30 = 251 square feet).</p>	

17.96.060.H.2 – Snow Storage	Conformance
<i>Snow storage areas shall be provided on site.</i>	YES
<b>Finding:</b> The location of the snow storage area is indicated on Sheet L3 of both redesigned plan sets for Lot 33.	

17.96.060.H.3 – Snow Storage	Conformance
<i>A designated snow storage area shall not have any dimension less than five feet and shall be a minimum of 25 square feet.</i>	YES
<b>Finding:</b> The snow storage area on both redesigns for Lot 33 does not have dimensions less than five feet.	

17.96.060.H.4 – Snow Storage	Conformance
<i>In lieu of providing snow storage areas, snowmelt and hauling of snow may be allowed.</i>	YES
<b>Finding:</b> On both redesigns, the applicant is proposing a driveway snowmelt system within the property boundary and not within the Bald Mountain Road right-of-way for the driveway on Lot 33. In addition to the snowmelt system, the project also proposes a snow storage area on-site.	

17.96.060.I.1 – Landscaping	Conformance
<i>Landscaping is required for all projects.</i>	YES
<b>Finding:</b> Landscaping has been provided for the project as indicated on Sheet L3 of both redesigned plan sets for Lot 33.	

17.96.060.I.2 – Landscaping	Conformance
<i>Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape.</i>	YES
<b>Finding:</b> The landscape plan for both redesigns is the same. The front, side, and rear yard setback areas for Lot 33 will be vegetated with native grasses. Shrubs and trees are proposed along the sides of the residence, which will screen utilities. New pine, aspen, and crabapple trees will be installed to provide screening for the residence from Warm Springs Road and adjacent properties. Ornamental grasses and wildflowers are also proposed around the structure.	

17.96.060.I.3 – Landscaping	Conformance
<i>All trees, shrubs, grasses and perennials shall be drought tolerant. Native species are recommended but not required.</i>	YES

**Finding:** The landscape plan for both redesigns is the same and it proposes drought-tolerant and native species, including pine trees, native shrubs, and drought tolerant grasses.

17.96.060.I.4 – Landscaping	Conformance
<i>Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged.</i>	YES
<p><b>Finding:</b> The lot is proposing landscaping along the rear to provide a buffer from Warm Springs Road and landscaping on the front and side yards to allow for privacy between adjacent properties.</p>	

17.96.060.J.1 – Public Amenities	Conformance
<i>Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All public amenities shall receive approval from the Public Works Department prior to design review approval from the Commission.</i>	YES
<p><b>Finding:</b> Sidewalks have already been installed along Bald Mountain Road adjacent to Lot 33 as part of the Warm Springs Ranch Residences Subdivision Development Agreement. Per Phase One Block 1 Infrastructure Improvements listed in the Warm Springs Ranch Subdivision Development Agreement, sidewalks were installed adjacent to Bald Mountain Road to Warm Springs Road to Lot 3 in Block 1. Any damage to the right-of-way, including sidewalks, must be reconstructed to City standards at the owner’s expense prior to issuance of Certificate of Occupancy.</p>	

17.96.060.K.1 – Underground Encroachments	Conformance
<i>Encroachments of below grade structures into required setbacks are subject to subsection 17.128.020.K of this title and shall not conflict with any applicable easements, existing underground structures, sensitive ecological areas, soil stability, drainage, other sections of this Code or other regulating codes such as adopted International Code Council Codes, or other site features concerning health, safety, and welfare.</i>	N/A
<p><b>Finding:</b> N/A. No encroachments of below grade structures are proposed on either redesign.</p>	

17.96.060.K.2 – Underground Encroachments	Conformance
<i>No below grade structure shall be permitted to encroach into the riparian setback.</i>	N/A
<p><b>Finding:</b> N/A. No encroachments of below grade structures are proposed on either redesign, and the structure is not located within the riparian setback.</p>	





City of Ketchum

Attachment E:  
Redesign #1 and #2  
Zoning and Dimensional  
Standards Analysis



Redesign #1 and #2 – Lot 33, Block 4, Warm Springs Ranch Residences  
COMPLIANCE WITH ZONING REGULATIONS

Compliance with Zoning and Dimensional Standards				
Compliant			Standards and Findings	
Yes	No	N/A	Ketchum Municipal Code	City Standards and Findings
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	<b>Minimum Lot Area</b>
			<b>Finding</b>	<b>Required:</b> 8,000 square feet <b>Existing:</b> 8,429 square feet (.19 acres)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	<b>Building Coverage</b>
			<b>Finding</b>	<b>Permitted:</b> 35% <b>Proposed:</b> Redesign #1: 31% (2,579 square feet building coverage / 8,429 square feet lot area)  Redesign #2: 28% (2,322 square feet building coverage / 8,429 square feet lot area)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	<b>Minimum Building Setbacks</b>
			<b>Finding</b>	<b>Minimum Required Setbacks:</b> Front: 15' Side: > of 1' for every 3' in building height, or 5' Rear: 15' Warm Springs Road: 30'  <b>Proposed:</b> Redesign #1 Front (south): 19'-6 27/256" Side (east): 14'-8 3/4" Side (west): 11'-10 69/128" Rear (north): 30'-2 49/64"  Redesign #2 Front (south): 21'-5 101/256" Side (east): 15' Side (west): 12'-4 215/256" Rear (north): 30'-9 17/64"
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	<b>Building Height</b>
			<b>Finding</b>	<b>Maximum Permitted:</b> 35'  <b>Proposed:</b> Redesign #1: 29'-0 1/2"




				Redesign #2: 31'-10 169/256"
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.125.030.H	<b>Curb Cut</b>
			<b>Finding</b>	<p><b>Permitted:</b> A total of 35% of the linear footage of any street frontage can be devoted to access off street parking.</p> <p><b>Proposed:</b> Redesign #1: 28% (22-foot-wide driveway/80 feet of property frontage along Bald Mountain Road Road).  Redesign #2: 28% (22-foot-wide driveway/80 feet of property frontage along Bald Mountain Road Road).</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.125.020.A. 2 & 17.125.050	<b>Parking Spaces</b>
			<b>Finding</b>	<p>Off-street parking standards of this chapter apply to any new development and to any new established uses.</p> <p><b>Required:</b> Residential (one family dwelling), in all applicable zoning districts require two parking spaces.</p> <p><b>Proposed:</b> Both redesigned plan sets indicate 2 parking spaces within the attached enclosed garage.</p>



City of Ketchum

**Attachment F:  
Warm Springs Ranch  
Residences Development  
Agreement**

<p>RECORDING REQUESTED BY AND WHEN RECORDED RETURN TO:</p> <p>OFFICE OF THE CITY CLERK CITY OF KETCHUM POST OFFICE BOX 2315 KETCHUM, IDAHO 83340</p>	<p><b>Instrument # 682013</b>  <b>HAILEY, BLAINE, IDAHO</b>  4-28-2021 06:28:02 PM No. of Pages: 13  Recorded for : CITY OF KETCHUM  JOLYNN DRAGE Fee: 0.00  Ex-Officio Recorder Deputy  Index to: AGREEMENT/CORRECTION</p> 
--	---

(SPACE ABOVE LINE FOR RECORDER'S USE)

**DEVELOPMENT AND REZONING AGREEMENT 20609**

THIS DEVELOPMENT AGREEMENT (“**Agreement**”) is dated for reference purposes this 28 day of April, 2020, by and between the CITY OF KETCHUM, IDAHO, a municipal corporation (“**Ketchum**” or “**City**”) and BRENNAN HOLDINGS NO. 300, LLC, an Idaho limited liability company (“**Owner**”, and together with the City, the “**Parties**”).

**BACKGROUND AND CONTEXT**

A. Ketchum is a municipal corporation possessing all powers granted to municipalities under the applicable provisions of the Idaho Code, including the power to grant conditional use permits, approve planned unit developments, subdivide real property and the power to contract. A development agreement between the Parties is a collaboration that will provide mutual benefit for the Parties and residents of the City.

B. Owner owns the real property situated in the State of Idaho, County of Blaine, commonly known as the Warm Springs Ranch Resort, Ketchum, Idaho (“**Property**”) and more particularly described as Blocks 1, 2, 3, 4, 5, 6, 7, and 8 of Warm Springs Ranch Resort P.U.D. Large Block Plat, according to the plat thereof, recorded as Instrument No. 576508, records of Blaine County, Idaho except for a parcel within Block 2 (“**Large Block Plat**”).

C. On August 11, 2009 Ketchum and Owner entered into the Warm Springs Ranch Resort Development Agreement (“**Original Agreement**”), recorded on August 13, 2009 in the records of Blaine County, Idaho as Instrument No. 570190, for the purpose of establishing certain rights and obligations of the Parties with regard to annexation of the real property and the development of the PUD Property, including limitations as to the use, development, design, phasing, construction of necessary improvements (on-site and off-site) and mitigating the impacts directly attributable to the PUD. The Original Agreement was first amended by Amendment dated May 10, 2010 and recorded on June 2, 2010 as Instrument No. 577973, records of Blaine County, Idaho and next amended by instrument entitled Second Amendment, dated January 18, 2011, and recorded on March 7, 2011, as Instrument No. 585686, records of Blaine County, Idaho. The Original Agreement was then restated, amended, and superseded on April 2, 2012 by mutual agreement of the Parties to the [First] Amended and Restated Warm Springs Ranch Resort Annexation and Development Agreement. (“**First Amended Agreement**”). On December 19, 2016 Ketchum and Owner

entered into the Second Amended and Restated Warm Springs Ranch Resort Development Agreement, recorded on January 11, 2017, in the records of Blaine County, Idaho as Instrument No. 640939.

D. It is the intention of Ketchum and the Owner in this Development and Rezoning Agreement to rescind, and repeal:

- i. The Second Amended and Restated Warm Springs Ranch Resort Development Agreement, recorded on January 11, 2017, in the records of Blaine County, Idaho as Instrument No. 640939 (“Existing Development Agreement”) and all prior iterations of the Warm Springs Ranch Development Agreements.
- ii. The Large Block Plat Planned Unit Development Conditional Use Permit LBP-08-008 as approved in the April 7, 2009 City Council Findings of Fact, Conclusions of Law and Decisions.
- iii. The Planned Unit Development and Conditional Use Permit PUD-CUP-08-008 as approved in the April 7, 2009 City Council Findings of Fact

E. It is the intention of Ketchum and the Owner to enter into a new Development and Rezoning Agreement and a new Warm Springs Ranch Large Block Plat Subdivision (Large Block Plat).

F. Owner has applied for subdivision of Block 1 of the Large Block Plat consisting of thirty-six (35) residential single-family lots and parcels A, B, C, D and E.

G. Ketchum and the Owner agree to rezone Block 1 from T-Tourist Zoning Designation to GR-L General Residential Low-Density Zoning and to retain the existing zoning on the remainder of the Property. It is the intention of Ketchum and Owner that Owner retain all rights incident to ownership of the Property except as otherwise expressly provided herein.

H. The Parties agree that the Property shall be developed in accordance with this Agreement; all applicable City ordinances; and any additional conditions and requirements imposed upon the Property by the Ketchum Planning and Zoning Commission (“**Commission**”) and/or City Council (“**Council**”) during the design review approval process.

I. The parties have agreed to enter into a separate Option Agreement for the purchase of Blocks 2-8. The Option Agreement shall be signed by both parties once the Development Agreement is signed.

## **AGREEMENT**

NOW, THEREFORE, in consideration of the mutual covenants, promises, agreements, terms and conditions set forth herein, the Parties agree as hereinafter provided.

**1. Incorporation of Recitals.** The Recitals set forth above are hereby incorporated into and made an integral part of this Agreement.

**2. Termination of Existing Development Agreement.** The Property is encumbered by the Warm Springs Ranch Resort Annexation and Development Agreement by and between the City and Helios Development, LLC recorded August 13, 2009 as Instrument No. 570190, records of Blaine County, Idaho as amended by Amendment to Warm Springs Ranch Resort Annexation and Development Agreement, recorded June 2, 2010 as Instrument No. 577973 and Second Amendment to Warm Springs Ranch Resort Annexation and Development Agreement, recorded March 7, 2011 as Instrument No. 585686, records of Blaine County, Idaho and the Amended and Restated Warm Springs Ranch Resort Annexation and Development Agreement, dated April 2, 2012 a Memorandum of which was recorded on August 7, 2012 as Instrument No. 599902, records of Blaine County, Idaho and the Second Amended and Restated Warm Springs Ranch Resort Annexation and Development Agreement, dated December 19, 2016 a Memorandum of which was recorded on January 11, 2017 as Instrument No. 640939, records of Blaine County, Idaho. The Existing Development Agreement provides in paragraph 23 that it may be amended or cancelled in whole or in part by mutual written consent of the Parties. Pursuant to said paragraph 23, the City and Owner as successor in interest to Helios Development, LLC agree to and hereby do terminate, extinguish, cancel, and rescind the Existing Development Agreement and neither Party shall have any further rights or obligations thereunder. Notwithstanding the previous sentence. the Property shall remain annexed into the City with Blocks 3, 4, 5, 6, and 8 zoned Tourist and Blocks 2 and 7 zoned RU-Recreational Use and Block 1 rezoned from Tourist to GR-L, General Residential Low Density. The Parties agree to execute such documents as may be reasonably required to remove from the Property the encumbrance of the Existing Development Agreement and rescind and repeal the Warm Springs Ranch Resort PUD Large Block Plat and the Planned Unit Development and Conditional Use Permit PUD-CUP-08-008.

**3. Incorporation of Related Agreements, Approvals, Plans, Permits and other documents.** The following agreements, approvals, plans, permits, and other documents are hereby incorporated into and made an integral part of this Agreement by reference as if restated herein in full:

Warm Springs Ranch Preliminary Plat creating sublots 1-35 and parcels A, B, C, D and E.

Any material failure to comply with the terms and conditions of any of the above-referenced agreements, approvals, plans, permits and other documents shall constitute a breach of this Agreement. In the event of any inconsistency between the terms and conditions of this Agreement and the agreements, approvals, plans, permits and other documents listed above, the terms and conditions of this Agreement shall govern.

This Agreement shall vest the zoning designation for Block 1 of the Large Block Plat and the subdivision map for Block 1. All development within Block 1 shall be governed by the policies, procedures, guidelines, ordinances, codes, regulations, and fees of the City governing land use in effect at the time an application is filed for development.

#### 4. Right to Develop.

This Agreement only authorizes development of Block 1 of the Large Block Plat. No development in Blocks 2, 3, 4, 5, 6, 7, and 8 shall be permitted until a PUD and preliminary plat application is submitted to Ketchum.

##### A. Phase One Block 1 Development

1. The City has approved of Owner's application for the subdivision of Block 1 of the Large Block Plat ("**Block 1**") into thirty-five (35) single family residential lots and parcels A, B, C, D and E as described and depicted in the preliminary plat of Warm Springs Ranch. Subject to the requirements of this Agreement, the Owner, and all future owners of some or all of Block 1 shall have the right to demolish all or any portion of existing structures and redevelop, construct, improve and use Block 1 and the lots and parcels located therein in accordance with this Agreement, the Large Block Plat and applicable zoning.

2. Owner shall have the right to develop Lots 32-35 for deed restricted multifamily units consistent with the GR-L General Residential Low Density development standards.

3. Owner shall have right to permit Accessory Dwelling Units subject to compliance with all requirements in the Ketchum Municipal Code.

4. Any application for a building permit shall comply with the requirements of applicable codes, agreements, approvals, plans, permits and other documents as such requirements exist on the day the building permit application is submitted.

5. A building permit application that does not comply with the requirements contained in applicable codes, agreements, approvals, plans, permits and other applicable project documents may be rejected by the City within a reasonable time after completing review of the application by providing notice describing the non-compliance in detail. The permit applicant shall have the right to cure any non-compliance. If a building permit application contains material changes to applicable codes, agreements, approvals, plans, permits and other documents an amendment to this Agreement must be applied for by Owner and considered by the Council. If such amendment is approved by the Council, all inconsistent terms and conditions of the approvals referenced herein shall be deemed to have been amended to conform the amendment to this Agreement.

6. Development on parcels 32, 33, 34, and 35 in the Block 1 subdivision shall be subject to the standards of Ketchum Municipal Code Chapter 17.96, Design Review. Driveway access to Lots 32, 33, 34, and 35 in Block 1 subdivision shall be restricted to Bald Mountain Road.

7. The public shall be permitted access on all private roads within the Block 1 subdivision for the purpose of walking and driving. No public parking or other use shall



be permitted on the private roads. Resident parking shall be permitted on the private roads.

8. A ten-foot (10') fisherman/sportsman access and nature study easement shall exist on both sides of the creek from the mean high-water mark on Warm Springs Creek as shown on the Block 1 subdivision plat and shall be open to the public after sunrise and before sunset in accordance with applicable regulations of the Idaho Department of Fish and Game. Public fishing access shall be available from Block 2 and accessed from Parcel D of the Block 1 subdivision.

9. Landscaping within parcels 1-35 and parcels A, B, C of the Block 1 subdivision shall consist of drought tolerant sustainable landscaping tailored to the specific climate zone of Ketchum . Existing trees shall be preserved as much as practicable.

10. Owner shall record the Large Block Plat, with the Office of the Blaine County Recorder within six (6) months after the date of its final approval.

11. No unauthorized construction activity shall occur within the riparian setbacks. Riparian setbacks shall be as follows: South side of Warm Springs Creek: fifty (50) feet from the MHW; North side of Warm Springs Creek: twenty-five (25) feet from the MHW.

12. The existing cottonwood riparian vegetation along Warm Springs Creek on the northern and southern portion of the Block 1 subdivision shall be undisturbed as much as practicable.

13. The riparian zone identified in Block 1 shall be designated as an easement governed and managed by an Owners Association (HOA) to ensure future modifications to the riparian zone and the stream bank do not occur individually but occur in a comprehensive coordinated approach. Prior to any modification to the riparian zone or stream bank, an overall plan must be developed and approved by Ketchum. Ketchum will not unreasonably withhold, condition, or delay approval of such plan. Any riparian and stream bank alternations must conform to the approved plan.

14. The Owners of Lots 1-13 and the Owner's Association (HOA) shall participate in the preparation of a Warm Springs Creek Restoration Plan for the portion of creek adjacent to the lots and shall not unreasonably withhold, condition, or delay approval of such plan.

15. Development in Block 1 shall not be eligible for variances or waivers due to the configuration, slope, or topography of the lot. All development shall comply with the development standards in place at the time the development is proposed. Lots 32-35 are not considered to have natural slopes or grades for purposes of subdivision and zoning standards.

16. Consolidation of lots shall be limited. A maximum of eight lots may be combined with only one other lot totaling 16 combined lots out of the 35 lots.

B. Phase One Block 1 Infrastructure Improvements.

1. Owner requests water and sewer service from Ketchum for Block 1. Ketchum hereby agrees to provide domestic potable and irrigation water service and sewer service to properties in Block 1. Such water and sewer service shall be at the same fees as charged to equivalent users. Owner shall engineer, construct, and otherwise provide, at its sole expense, the improvements, facilities, and services (public and private) set forth in the engineering plans and specifications for such improvements.

2. Irrigation systems for each Lot and common landscape areas shall be equipped with a separate shut off so the irrigation system may be turned off without impacting water service to the residence or other development on the Lot.

3. The irrigation systems for all landscape zones shall be, to the greatest extent possible, water efficient, in- ground, and use rotor and drip irrigation technology. Monitoring technology shall be used to regulate irrigation rates to conserve water use.

4. At the time of recording the final plat for Block 1, Owner shall transfer and convey to City by quit claim deed its Water Right No. 37-11885.

5. All utilities, including water, sewer, gas, cable, phone and electric shall be installed underground within the street rights-of-way prior to completion of the construction of the roads or as otherwise shown on Block 1 subdivision plat map. Detailed engineered construction drawings and specifications for construction of such improvements shall be prepared by Owner and approved by City prior to construction. Prior to acceptance of any such improvements to be dedicated to City, City shall inspect and approve same, and Owner shall provide City with "*as built*" drawings thereof. Owner hereby warrants that to the best of its knowledge the "*as built*" drawings will be substantially correct and Owner shall be liable and hold City harmless from any damage which may result from material errors in said drawings for a period of one (1) year after acceptance by City of said utilities unless such damage is caused directly or indirectly by the acts or omissions of Ketchum, or its agents or contractors. Owner hereby warrants construction of the public streets, water system and sewer system improvements will be free from faulty materials and faulty workmanship for a period of eighteen months after the work is completed and accepted by the City. City shall give Owner written notification of any defect or nonconforming work. On receipt of notice from City, Owner agrees to remedy, by repair or replacement, without cost to City, all defects and non-conforming work appearing within a period of one (1) year after the work is completed. Except as expressly set forth in this Agreement, it is understood and agreed that Owner has not made and is not making, and Owner expressly disclaims, any warranties or representations, express or implied, with respect to the improvements described herein and that City shall accept said improvements, "AS-IS, WHERE IS, WITH ALL FAULTS", except to the extent expressly provided elsewhere in this Agreement. Owner agrees to assign any warranties accruing to it and arising out of construction of the improvements described in this Section remaining in effect at the time such improvements are transferred and/or dedicated to City, subject to all applicable state and federal laws.

6. Owner shall be responsible for the year-round maintenance of all private roadways, including, without limitation, snow removal to maintain access and parking, as well as emergency vehicle turnaround, within the Block 1 subdivision.

7. Without conferring any third-party beneficiary status on any person or entity not a party to this Agreement, and without waiving any claims, causes of action or other rights it may have against the Warm Springs Ranch Townhome Condominium Association (“WSRTCA”) relating to access or other easements the WSRTCA may claim on or after the Effective Date, Owner agrees to provide an easement to WSRTCA for ingress and egress to and from Townhouse Lane to replace the existing easement.

8. Ketchum shall not issue any building permits for any building in Block 1 prior to completion of the components of the water system sufficient to provide portable water and fire flow protection for structures in Block 1. Ketchum shall not issue any Certificates of Occupancy for any building prior to completion of the water system and irrigation system for service of Block 1.

9. To provide pedestrian and bicycle access to the open space in Blocks 2, 3, 4, 5, 6, 7 and 8, an eight-foot-wide sidewalk separated from the street by a curb, shall be installed adjacent to Bald Mountain Road from Warm Springs Road to Lot 3 in Block 1. Bald Mountain Road shall be stiped with sharrows and signage for sharing the road with bicyclists.

10. Owner shall install an unimproved parking lot to accommodate a minimum of 12 and a maximum of 24 public parking spaces to access the south side of Warm Springs Creek. This area may be reconfigured and/or relocated as part of Phase 2 development. The parking lot shall be installed as part of the infrastructure improvements for the Block 1 subdivision and available for public use once Bald Mountain Road is open for access.

11. A bus stop shall be constructed by Owner, near the corner of Warm Springs Road and Bald Mountain Road within six months of recording the final map for Block 1. The design of the bus stop shall be similar to the bus shelter on Saddle Road near Zenergy and approved by Ketchum. Upon completion of the bus stop and acceptance thereof by Ketchum, Ketchum shall assume all responsibility for maintenance, repair, and replacement subject to Owner’s warranty set forth above.

12. A detailed Construction Activity Plan shall be submitted and approved by Ketchum prior to commencing infrastructure construction and construction on any Lot in Block 1. Ketchum and the Owner shall mutually agree on the amount and form of financial assurance to mitigate all reasonably foreseeable impacts to Ketchum resulting from actual damage to water, sewer, streets and/or other city-owned systems during construction of the Project. The Construction Activity Plan shall identify mitigations to limit the impact on adjacent neighborhoods. Staging, material deliveries and all construction parking shall occur on site. Use of vacant lots shall be utilized to limit the impact of construction on adjacent neighborhoods.

13. Owner agrees to participate in the design, placement, and construction of the Bald Mountain Connector Trail at the sole expense of the City. The Owner agrees placement of the trail or public access to the trail may occur on the Property to the extent it does not impair development of Blocks 1 or 2. Development of the Bald Mountain Connector Trail shall be in collaboration with Owner and Ketchum Parks and Recreation. Notwithstanding any contrary provision of this Agreement the failure of the collaborative development effort shall have no impact on Owner's rights hereunder.

14. Owner shall install a right turn lane on Bald Mountain Road to facilitate right turns east bound on Warm Springs Road.

15. Lopey Lane shall become a public street, dedicated to the City of Ketchum if Blocks 2-8 are owned by the City of Ketchum.

## **5. Phase 2 Development**

1. This Agreement only authorizes Owner to develop Block 1 of the Large Block Plat, install an unimproved parking lot with a minimum of 12 and a maximum of 24 public parking spaces on Block 2 accessed from Parcel D of the Block 1 subdivision, a Bald Mountain Connector Trail, a vault toilet near the parking lot on Block 2 and stream restoration of Warm Springs Creek. Future development proposed by the Owner in Blocks 2, 3, 4, 5, 6, 7, and 8 shall be considered in Phase 2 as part of a PUD and preliminary plat application filed with Ketchum.

2. Nothing contained in this Agreement including but not limited to the provisions of paragraphs 4B9 and 4B10 shall confer upon Ketchum or the general public any right to access or use Blocks 2, 3, 4, 5, 6, 7 and 8, or any part thereof. Owner may terminate the pedestrian access, parking, access to the south side of Warm Springs Creek and all rights of entry or use of Blocks 2, 3, 4, 5, 6, 7 and 8 at any time, for any reason whatsoever, without notice. Access restrictions identified in this Section (5. 2) shall no longer be in effect if Blocks 2-8 are owned by the City of Ketchum.

**6. Covenants, Conditions and Restrictions.** The covenants, conditions and restrictions recorded against Block 1 shall contain at least the following provisions:

A. An allocation of responsibility for maintenance of all community and privately owned landscaping, streets and amenities; and

B. No person or entity acquiring any portion of the Property shall be permitted to develop, construct, erect, or install any building, utility, improvement, or landscaping which does not conform in all respects to this Agreement and Block 1 subdivision plat as applicable.

C. Any lot that is located within an avalanche zone, regardless of the building location, shall meet the notice requirements of Section 17.92.010E, KMC.

D. All private roads within Block 1 are subject to closure, in Owner's sole

discretion, during times of high avalanche danger. Owner shall work with Ketchum Emergency Services personnel to establish standard protocols to be followed during times of elevated avalanche danger. Owner and Ketchum acknowledge that the intent of such protocols is to reduce the risk to both the public and emergency responders during periods of increased avalanche danger, and such protocols will therefore include procedures for limiting or restricting access in avalanche zones to reduce these risks.

7. **Term.** The term of this Agreement shall be perpetual.

8. **Default and Enforcement.** In the event either Party, their respective heirs, successors, assigns or any other person acquiring an interest in the Property, fails to faithfully comply with all of the terms and conditions included herein, the same shall constitute a default entitling the non-defaulting party to all legal and equitable remedies available.

A. A petition filed by Owner under any bankruptcy, reorganization, arrangement, insolvency, dissolution, or liquidation law of any jurisdiction, whether now or hereafter in effect, that is not dismissed within ninety (90) days after such filing shall constitute an event of default of this Agreement and shall entitle Ketchum to seek all available legal and equitable remedies.

B. A waiver by a party of any default by the other party of any one or more of the covenants or conditions hereof shall apply solely to the breach or breaches so waived and shall not bar any other rights or remedies or apply to any subsequent breach of any such or other covenants and conditions.

C. In the event of a material violation of this Agreement the Parties shall have the right, without prejudice, to specific performance, or any other rights or remedies available under the Ketchum Municipal Code or Idaho law, including but not limited to the right to demand the non-defaulting party to cure such default or enjoin violation and otherwise enforce the requirements contained in this Agreement.

D. In the event of a material breach of this Agreement, the Parties agree that City and Owner shall have sixty (60) days after delivery of notice of said breach to cure and correct the same prior to the non-breaching party seeking any remedy provided for herein; provided, however, in the event that the default or breach cannot with diligence be cured within such 60-day period, if the defaulting party shall commence to cure the same within such 60-day period, and thereafter prosecute the cure of same with diligence, then the time within which such breach may be cured shall be extended for such period as necessary to complete the cure.

E. Owner hereby grants City a license to enter upon the Property, during business hours and upon reasonable advance notice, with Owner or Owner's representatives having the right to be present during such times, to (a) inspect the same, (b) determine if Owner is complying with this Agreement, and (c) to undertake the cure of any default of Owner; provided, however, all such cures shall be performed as promptly as possible and so as to cause the least interference to guests, invitees and other occupants of property in the Project. Ketchum agrees to indemnify, defend, and hold harmless Owner from any and all liability, claims, damages, expenses, judgments, proceedings and causes of action of any kind whatsoever, arising

out of Ketchum's negligent exercise of the license granted herein.

**9. Miscellaneous Provisions.**

A. Police Powers. Except as otherwise expressly provided herein, nothing contained herein is intended to limit the police powers of Ketchum or its discretion in review of subsequent applications regarding development of the Property. This Agreement shall not be construed to modify or waive any law, ordinance, rule, or regulation not expressly provided for herein, including, without limitation, applicable building codes, fire codes, Ketchum's Zoning Ordinance, and Ketchum's Subdivision Ordinance requirements for the Property.

B. Amendment. This Agreement may be revised, amended, or canceled in whole or in part, only by means of a written instrument executed by both Parties and as evidenced by amended plats and development plans.

C. Specific Performance. In the event of a breach of this Agreement, in addition to all other remedies at law or in equity, this Agreement shall be enforceable by specific performance by either party hereto. All remedies shall be cumulative.

D. Attorney's Fees. In the event either party hereto is required to retain counsel to enforce a provision of this Agreement, or to recover damages resulting from a breach hereof, the prevailing party shall be entitled to recover from the other party all reasonable attorney's fees incurred, whether or not litigation is actually instituted or concluded.

E. Notices. All notices required or provided for under this Agreement shall be in writing and deemed delivered upon delivery in person or upon mailing by certified mail, return receipt requested, postage prepaid. However, the time period in which a response to such notice must be given shall commence to run from the date of receipt on the return receipt of the notice. Rejection or refusal to accept, or the inability to deliver because of a change of address of which no notice was given shall be deemed to be receipt of the notice.

Notices to City shall be addressed as follows:

City of Ketchum  
Post Office Box 2315  
Ketchum, ID 83340  
Attn: Planning and Building Director  
Telephone: 208.726-7801

Notices given to Owner shall be addressed as follows:

Robert M. Brennan, Managing Member  
Brennan Holdings No. 300, LLC  
Post Office Box 1991  
Sun Valley, ID 83353  
Email: [brennanholdings@gmail.com](mailto:brennanholdings@gmail.com)

with a copy to:

Lawson Laski Clark & Pogue, PLLC  
675 Sun Valley Road, Suite A  
Post Office Box 3310  
Ketchum, Idaho 83340  
Attn.: Edward A. Lawson  
Telephone: 208.725-0055  
Email: [eal@lawsonlaski.com](mailto:eal@lawsonlaski.com)

A party may change the address to which further notices are to be sent by notice in writing to the other party, and thereafter notices shall be addressed and transmitted to the new address.

F. Relationship of Parties. It is understood that the contractual relationship between City and Owner is such that neither party is the agent, partner, or joint venturer of the other party.

G. Successors and Assigns; Covenant Running With the Land. This Agreement shall inure to the benefit of City and Owner and their respective heirs, successors, and assigns. This Agreement, including all covenants, terms, and conditions set forth herein, shall be and is hereby declared a covenant running with the land with regard to the Property or any portion thereof, and is binding on both parties to this Agreement as well as their respective heirs, successors and assigns with the exception of the purchasers of lots, condominium, or townhouse units. Upon conveyance of a lot, condominium unit or townhouse unit to a third party, the lien and encumbrance of this Agreement shall be automatically released from said lot and unit and a prospective purchaser and all lenders and title insurers are entitled to rely upon said release. In the event that Owner or a successor in interest to Owner sells or transfers the Property written notice of said transaction shall be given to City no less than sixty (60) days prior to closing. This requirement shall not apply to the sale and/or transfer of individual lots, condominium units or townhouse units. Individual lots, townhouse, or condominium owners are not intended to have any ownership interest, third-party beneficiary, easement, or other interest in any of the terms, conditions or obligations of this Agreement.

H. Recordation and Release. This Agreement shall be recorded with the Blaine County Recorder. City agrees to execute all appropriate documentation to cause the encumbrance of this Agreement to be terminated in the event of termination.

I. No Waiver. In the event that City or Owner, or its successors and assigns, do not strictly comply with any of the obligations and duties set forth herein, thereby causing a default under this Agreement, any forbearance of any kind that may be granted or allowed by Owner, City, or their successors and assigns, to the other party under this Agreement shall not in any manner be deemed or construed as waiving or surrendering any of the conditions or covenants of this Agreement with regard to any subsequent default or breach.

J. Partial Invalidity. In the event any portion of this Agreement, or part hereof, shall be determined by any court of competent jurisdiction to be invalid, void, or otherwise unenforceable, the remaining provisions of this Agreement, or parts hereof, shall remain in full force and effect and shall in no way be affected, impaired or invalidated, it being understood that such remaining provisions shall be construed in a manner most closely

approximating the intention of the parties with respect to the invalid, void, or unenforceable provision or part hereof.

K. Entire Agreement. This Agreement constitutes the full and complete agreement and understanding between the parties hereto. Excluding formal conditions placed upon the design review approval, subsequent plat approvals or other matters related to the public process, no representations or warranties made by either party shall be binding unless contained in this Agreement or subsequent written amendments hereto.

L. Exhibits. All exhibits referred to herein are incorporated in this Agreement by reference, whether or not actually attached.

M. Authority. Each of the persons executing this Agreement represents and warrants that he or she has the lawful authority and authorization to execute this Agreement, as well as all deeds, easements, liens, and other documents required hereunder, for and on behalf of the entity executing this Agreement.

N. Force Majeure. If either party hereto is delayed in the performance of any of its obligations hereunder because of inclement weather; material shortages; labor shortages; unavailability of gas, electric or other utilities through no fault of Owner; dispute or strike; civil strife; acts beyond the control of the delayed party including, acts of God; the Covid-19 virus or other pandemic; and actions by the United States of America or the State of Idaho, or Ketchum or any of their agencies, the time of performance for completion of such obligation shall be extended for the same time as lost by the cause hereinabove set forth.


O. Choice of Law. This Agreement shall be governed by and construed in accordance with the laws of the state of Idaho, which shall be the sole jurisdiction and venue for any action which may be brought by either party with respect to this Agreement or the subject matter hereof.

IN WITNESS WHEREOF, the parties hereto have executed this Agreement the day and year first above written.

Brennan Holdings No. 300, LLC, an Idaho limited liability company

By:   
Robert M. Brennan, Managing Member

City of Ketchum, Idaho, a municipal corporation

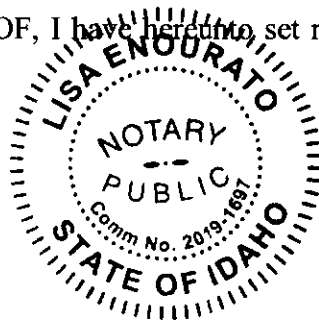
By:   
Neil Bradshaw, Mayor

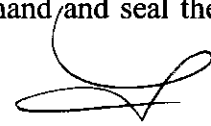


STATE OF IDAHO )  
 )ss.  
County of Blaine )

Subscribed and sworn before me on this 28 day of April, 2021, before me a Notary Public in and for said State, personally appeared NEIL BRADSHAW, known to me to be the Mayor of the CITY OF KETCHUM, IDAHO, and the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same on behalf of the City of Ketchum, Idaho.

IN WITNESS WHEREOF, I have hereunto set my hand and seal the day and year first written above.

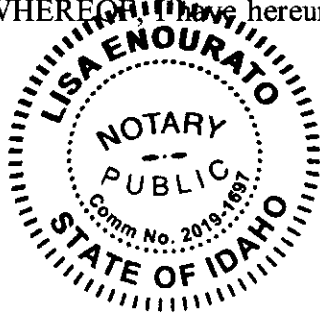


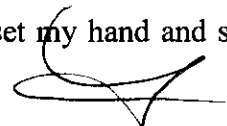
  
\_\_\_\_\_  
Notary Public  
Residing at Harvey, ID  
My Commission Expires 8/12/25

STATE OF IDAHO )  
 )ss.  
County of Blaine )

Subscribed and sworn before me on this 28 day of April, 2021, before me a Notary Public in and for said State, personally appeared ROBERT M. BRENNAN known or identified to me to be the Managing Member of BRENNAN HOLDINGS NO. 300, LLC, the limited liability company that executed the instrument or the person who executed the instrument on behalf of said limited liability company, and acknowledged to me that such limited liability company executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and seal the day and year first written above.



  
\_\_\_\_\_  
Notary Public  
Residing at Harvey, ID  
My Commission Expires 8/12/25



City of Ketchum

Attachment G:  
P&Z Staff Report  
September 12<sup>th</sup>, 2023



**City of Ketchum  
Planning & Building**

**STAFF REPORT  
KETCHUM PLANNING AND ZONING COMMISSION  
REGULAR MEETING OF SEPTEMBER 12, 2023**

**PROJECT:** Warm Springs Ranch Residences Lots 32-35

**FILE NUMBER:** P23-017, P23-018, P23-019, and P23-020

**APPLICATION TYPE:** Design Review

**REPRESENTATIVE:** John Shirley – Think Architecture (architect)

**PROPERTY OWNER:** Brennan Holdings No. 300 LLC

**REQUEST:** Design Review applications for the development of four (4) new single-family residences, ranging in size from 3,505 square feet to 3,988 square feet.

**LOCATION:** 160 Bald Mountain Road (Lot 32, Block 4, Warm Springs Ranch Residences)  
170 Bald Mountain Road (Lot 33, Block 4, Warm Springs Ranch Residences)  
180 Bald Mountain Road (Lot 34, Block 4, Warm Springs Ranch Residences)  
190 Bald Mountain Road (Lot 35, Block 4, Warm Springs Ranch Residences)

**ZONING:** General Residential – Low Density (GR-L)

**OVERLAY:** None

**REVIEWER:** Paige Nied – Associate Planner

**NOTICE:** A public hearing notice for the project was mailed to all owners of property within 300 feet of the project site and all political subdivisions on August 23, 2023. The public hearing notice was published in the Idaho Mountain Express on August 23, 2023. A notice was posted on the project site and the City’s website on September 5, 2023. Story poles were documented on the project site as of September 6, 2023.

**I. EXECUTIVE SUMMARY:**

The applicant is proposing to construct four (4) single-family residences, ranging in size from 3,505 square feet to 3,988 square feet (the “project”), located at Lots 32-35, Block 4, Warm Springs Ranch Residences (the “subject properties”). The subject properties are zoned General Residential – Low Density (GR-L) and the lots are currently vacant. Pursuant to Ketchum Municipal Code (KMC) §17.96.010.B.1, single family residences (that are not within the Mountain Overlay Zone District) are

exempt from Design Review. However, the Warm Springs Ranch Residences Subdivision, which was platted in 2021, includes plat note #22 which states, "Development on Lots 32, 33, 34, and 35 shall be subject to the standards of Ketchum Municipal Code, Chapter 17.96, Design Review." This plat note was added to ensure that the development of Lots 32-35 will have a minimal visual impact to the view of Bald Mountain from Warm Springs Road. Each proposed residence is associated with an individual Design Review application, however, Planning staff felt it would be easier for the Commission and the public to review all the proposed residences concurrently and evaluate the full context of the potential visual impact of the project. A rendering of the proposed residences on Lots 32-35 can be seen in Figure 1 below.

*Figure 1: Rendering of Proposed Residences on Lots 32-35*



Based on a thorough review of the application materials and the standards within the KMC, staff believe the project to be in conformance with all requirements of the zoning code and all standards related to design review. Therefore, staff recommends approval with conditions of the design review applications.

## **II. BACKGROUND:**

The Planning and Building Department received the Design Review applications on March 28, 2023. Following the receipt of the applications, staff routed the application materials to all City departments for review. The applications were reviewed concurrently, and the applications were deemed complete on July 28, 2023, after two rounds of review. As of the date of this letter, all department comments have been resolved or addressed through conditions of approval recommended below.

## **III. CONFORMANCE WITH ZONING AND DESIGN REVIEW STANDARDS:**

Prior to granting Design Review approval, the Commission must determine that the application meets two criteria: (1) the project doesn't jeopardize the health, safety, or welfare of the public, and (2) the project conforms to all Design Review standards and zoning regulations (KMC §17.96.050.A).

### **Criteria #1: Health, Safety, and Welfare of the Public**

The 2014 Comprehensive Plan contains the community's vision for Ketchum and sets goals and policies to guide future development. The vision is shaped by 10 core values identified by Ketchum residents as important to consider for all future land uses decisions. The community's core values include protecting the community character of Ketchum and preserving its environmental quality and scenic beauty. Ketchum's undeveloped hillsides are visual assets that define the character of our community. Protecting and preserving Ketchum's natural resources is critical to maintaining our economy, quality of life, and community identity. The comprehensive plan states:

*Community Character: You know when you have entered Ketchum; this is a place centered on the "town" and identifiable from the "country" by distinct edges. Residents and visitors desire this clear division that has been lost in so many American cities through strip commercial development and sprawling residential subdivisions. Protecting and enhancing the visual character of our community gateways, the undeveloped hillsides, and night skies is a priority (page 9).*

*Environmental Quality and Scenic Beauty: Ketchum's citizens place great value on the exceptional natural setting and resources of the Wood River Valley. The community is surrounded by rugged alpine peaks, forested and sage-covered open spaces, pristine wildlife habitat, and beautiful rivers and riparian areas. Key open spaces create visual buffers between the built and natural environment. Unobstructed views exist in every direction in large part due to Ketchum's wide streets and lack of hillside development. These environmental features and resources sustain our economy and are why many people choose to live in Ketchum. We will be excellent stewards of these resources in order to preserve them for the future (page 10).*

The comprehensive plan sets policies to guide land-use decisions and identifies the following objectives regarding hillside development:

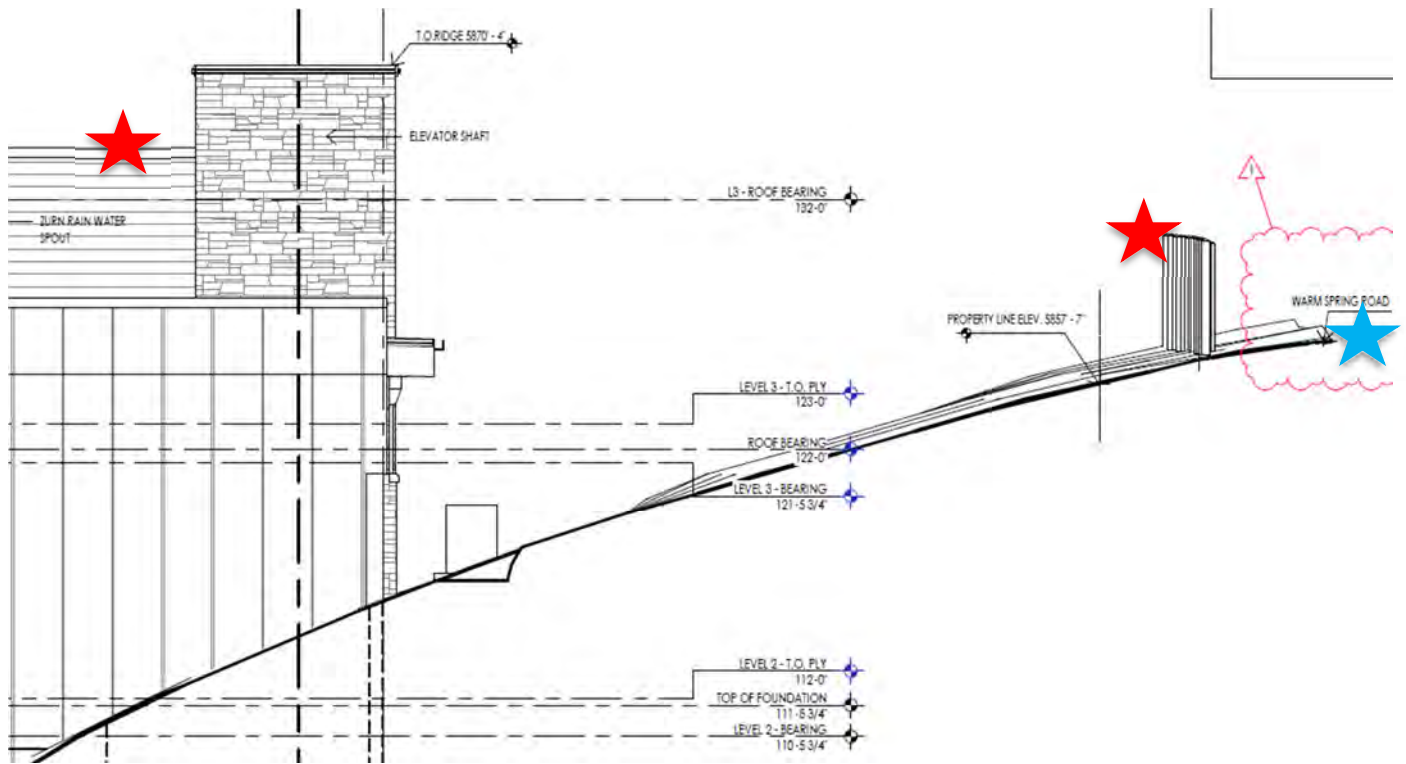
- Goal CD-2: Protect and enhance views of the surrounding mountains and natural features.
- Policy OS-3.2: Establish and maintain open space buffers in important scenic areas to maintain the community's separate identity from surrounding communities and to protect views and open space.
- Policy OS-3.6: Establish, preserve, and enhance scenic entryways along major roadways entering the City.

The comprehensive plan's future land use map designates the future land use for Lots 32-35 as Low Density Residential. Desired primary uses within this future land use category include single-family residences and duplexes. The proposed single-family residences fall within the primary uses of the Low Density Residential land use category.

As previously mentioned, Goal CD-2 of the plan indicates that views of mountains and natural features need to be protected and enhanced. The impetus for design review of the new single-family residences on Lots 32-35 is to assess precisely that. Warm Springs Road is situated at a higher elevation of 5,859'-4" compared to Bald Mountain Road which sits at 5,832' (27'-4" height difference). Due to this topography, the proposed structures on Bald Mountain Road will be tucked into the hillside. The tallest structure proposed is on Lot 33 and has a maximum building height of 34'-0 ½", which is just 7'-4 ½" above the elevation of Warm Springs Road. All the structures propose roof appurtenances which extend above the roof ridges; however, staff believe the proposed building

heights on Lots 32-35 are reasonable because the structures will still have a lesser height than all the existing one- and two-story structures along Warm Springs Road before and after the Warm Springs Ranch Residences Subdivision. Further, the continuous 4' fence to the rear of Lots 32-34 along Warm Springs Road further mitigates the visual impacts of all the structures. The elevation sheet in Figure 2 below indicates the height of the roof ridge and fence (marked by red stars) on Lot 33 in comparison to the elevation of Warm Springs Road (marked by a blue star).

Figure 2: Lot 33 Height of Roof Ridge and Fence in Comparison to Warm Springs Road Elevation



Staff believes that the goals and policies of the comprehensive plan related to the protection of mountain views and scenic areas are met with the project. The proposed structures achieve this by mitigating visual impact on the mountain view by being situated at a lower elevation on Bald Mountain Road and by the fence to the rear of the structures on Lots 32-34 along Warm Springs Road which buffers their visual appearance.

**Criteria #2: Applicable Standards and Criteria**

Conformance with Design Review Improvements and Standards

Plat Note #22 of the Warm Springs Ranch Residences requires Lots 32-35 be subject to the Design Review criteria outlined in 17.96.060. During department review, City staff reviewed the project for conformance with all design review standards and required improvements specified in KMC §17.96.060. Additionally, staff reviewed the project for conformance with all City code requirements for right-of-way improvements, utilities, and drainage. Staff believes the project meets the design review standards. Please see Attachment F for staff’s comprehensive design review standards analysis. Below is an overview of some of the more noteworthy design review criteria for the proposed project.

### *Sidewalks (KMC 17.96.060.B)*

Sidewalks have already been installed along Bald Mountain Road adjacent to Lots 32-35 as part of the Warm Springs Ranch Residences Subdivision Development Agreement. Per Phase One Block 1 Infrastructure Improvements listed in the Warm Springs Ranch Residences Subdivision Development Agreement, included as Attachment H, sidewalks were required to be installed adjacent to Bald Mountain Road to Warm Springs Road to Lot 3 in Block 1. Staff recommend condition of approval #5 to ensure any damage to the right-of-way, including sidewalks, be reconstructed to City standards at the owner's expense prior to issuance of Certificate of Occupancy.

### *Compatibility of Design (KMC 17.96.060.E) & Architectural Features (KMC 17.96.060.F)*

Per KMC §17.96.060.E.1, "The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures." The Warm Springs Ranch Residences Subdivision was platted in 2021 and is in the process of being developed. Multiple single-family residences are currently being constructed on Bald Mountain Road and Mountain Creek Drive. All of which have similar, yet unique architectural styles that utilize both modern (flat and shed roofs with cold materials such as concrete and metal) and traditional (gabled roofs with warmer materials such as wood and stone) designs. The proposed residences feature flat, shed, and gabled roofs with large windows and a mix of cold and warm materials including wood, metal, and stone. Lots 32, 34, and 35 are two stories in height and Lot 33 is three stories in height. Additionally, per KMC §17.96.060.F.2 & 5, "The building character shall be clearly defined by the use of architectural features" and "Buildings walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness." Each of the proposed residences features multiple wall and deck pop-outs to provide undulation and reduce the appearance of flatness.

### Conformance with Zoning Regulations

During City department review, planning staff reviewed the project for conformance with all applicable zoning code requirements including permitted uses, dimensional limitations, parking, development standards, and dark skies. Staff believes the project complies with all zoning code regulations and dimensional standards required in the GR-L Zone. Comprehensive analysis of the project's conformance with zoning code requirements and dimensional standards is provided in Attachment G. Below is an overview of the development standard related to fences, hedges, and walls for the project.

### *Fences, Hedges and Walls (KMC 17.124.130)*

Staff identified inconsistencies in plan sets for Lots 32-34 regarding the location of the proposed 4' wooden fence. The plan sets indicate the fence in three different locations. Staff recommends the fence to be located offset from the property line and the public utility easement, to enable access for Idaho Power and other utility providers. In conversations between staff and the applicant, the applicant explained how the fence was intended to be aligned with other existing fences along Warm Springs Road. However, the applicant is supportive of relocating the fence to the south of the utility easement within the property boundary. To ensure the fence is relocated on the plan sets, staff recommend condition of approval #6, which states that prior to building permit application for Lots 32-35, the plan set shall be revised to locate the fence to the south of the public utility easement and shall have a consistent location throughout the plan set.

### **STAFF RECOMMENDATION**

Staff recommends **approval** of the Design Review applications (File No. P23-017, P23-018, P23-019, and P23-020) subject to the following conditions:

1. This Design Review approval is based on the project plans for Lots 32-35 presented at the September 12, 2023, Planning and Zoning Commission meeting. The project plans for all on-site improvements submitted for the building permits must conform to the approved design review plans unless otherwise approved in writing by the Planning and Zoning Commission or Administrator. Any building or site discrepancies which do not conform to the approved plans will be subject to review by the Commission and/or removal.
2. The applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho which include specifications for right-of-way, circulation design, utilities, and drainage improvements for review and approval by the City Engineer, Streets, and Utilities departments prior to issuance of a building permit for the project.
3. The term of Design Review approval shall be twelve (12) months from the date that the Findings of Fact, Conclusions of Law, and Decision are adopted by the Commission or upon appeal, the date the approval is granted by the Council subject to changes in zoning regulations.
4. In addition to the requirements set forth in this Design Review approval, this project shall comply with all applicable local, state, and federal laws.
5. Any damage to the right-of-way, including sidewalks, must be reconstructed to City standards at the owner's expense prior to issuance of Certificate of Occupancy.
6. Prior to building permit application for Lots 32-34, the plan sets shall be revised to relocate the fence to the south of the public utilities easement and shall have a consistent location throughout the plan set.

#### **IV. RECOMMENDED MOTIONS**

Design Review:

"I move to approve the Lots 32-35, Block 4, Warm Springs Ranch Residences Design Review applications, as conditioned, and adopt the Findings of Fact, Conclusions of Law and Decision."

#### **ATTACHMENTS:**

- A. Design Review Applications for Lots 32-35 and Supplemental Documents
- B. Lot 32 Plan Set
- C. Lot 33 Plan Set
- D. Lot 34 Plan Set
- E. Lot 35 Plan Set
- F. Design Review Standards Analysis
- G. Zoning and Dimensional Standards Analysis
- H. Warm Springs Ranch Subdivision Development Agreement





City of Ketchum

Attachment H:  
P&Z Staff Report  
October 10<sup>th</sup>, 2023



**CITY OF KETCHUM**

Planning & Building  
office: 208.726.7801  
planningandbuilding@ketchumidaho.org  
P.O. Box 2315, 191 5th Street West, Ketchum, ID 83340  
ketchumidaho.org

**STAFF REPORT  
KETCHUM PLANNING AND ZONING COMMISSION  
REGULAR MEETING OF OCTOBER 10, 2023**

- PROJECT:** Warm Springs Ranch Residences Lots 32-34
- FILE NUMBER:** P23-017, P23-018, and P23-019
- APPLICATION TYPE:** Design Review
- REPRESENTATIVE:** John Shirley – Think Architecture (architect)
- PROPERTY OWNER:** Brennan Holdings No. 300 LLC
- REQUEST:** Design Review applications for the development of three (3) new single-family residences, ranging in size from 3,505 square feet to 3,988 square feet.
- LOCATION:** 160 Bald Mountain Road (Lot 32, Block 4, Warm Springs Ranch Residences)  
170 Bald Mountain Road (Lot 33, Block 4, Warm Springs Ranch Residences)  
180 Bald Mountain Road (Lot 34, Block 4, Warm Springs Ranch Residences)
- ZONING:** General Residential – Low Density (GR-L)
- OVERLAY:** None
- REVIEWER:** Paige Nied – Associate Planner
- NOTICE:** A public hearing notice for the project was mailed to all owners of property within 300 feet of the project site and all political subdivisions on August 23, 2023. The public hearing notice was published in the Idaho Mountain Express on August 23, 2023. A notice was posted on the project site and the City’s website on September 5, 2023. Story poles were documented on the project site as of September 6, 2023. The public hearing for this project has been continued from the Planning & Zoning Commission meeting on September 12, 2023.

**I. EXECUTIVE SUMMARY:**

The Planning and Zoning Commission reviewed the proposed development during their regular meeting on September 12, 2023 (see Attachment I for the staff report). At the meeting, concerns were raised by the public regarding the building height of the proposed residence on Lot 33. The Commission echoed these concerns regarding the height of the proposed residence on Lot 33 and its

visual impact along the Warm Spring Road view corridor. In addition, the Commission expressed concerns regarding the height of the proposed landscaping along Warm Springs Road on Lots 32-34.

Upon review of the application materials, staff and applicant presentation, and public comment, the Commission approved the Design Review application for Lot 35 only. The Commission moved to continue the Design Review applications for Lots 32-34 and requested the applicant provide the following information:

- A rendering of Lots 32-34 from the vantage point of the bike path on Warm Springs Road
- Comprehensive landscaping plan for Lots 32-34
- Specify the type of pine trees proposed on the plant legend for Lots 32-34
- Verify the roof materials for Lots 32-34
- Analyze the design of the roof on Lot 32 to mitigate the visual impact of bulk and flatness
- Evaluate the building height of the proposed home on Lot 33

The applicant has provided revised development proposals for Lots 32-34 (Attachments B, C, and D) and additional documentation (Attachments A and E) to address comments provided by the Commission. The following documents and development changes include:

- Comprehensive landscape plan for Lots 32-34
- Photomontage taken from the bike path looking east and west of the structures
- Renderings of the structures from Warm Springs Road
- Lot 32:
  - o Addition of a gable end to the north elevation of the roof facing Warm Springs Road
  - o Relocated rear fence to the south of the public utility easement and made the fence location consistent throughout the plan set
  - o Specified Mugo Pine and Subalpine Fir pine trees on the plant legend
  - o Added lilac shrubs to the rear of lot
- Lot 33:
  - o Building height reduced by 1'-6" (new maximum building height of 33'-2")
  - o Elevator shaft height reduced by 2'-2"
  - o Chimney height reduced by 2'
  - o Gravel ballast added to membrane roof
  - o Exterior siding color has been changed to a darker natural wood tone
  - o Relocated rear fence to the south of the public utility easement and made the fence location consistent throughout the plan set
  - o Specified Mugo Pine and Subalpine Fir pine trees on the plant legend
  - o Added lilac shrubs to the rear of lot
- Lot 34:
  - o Gravel ballast added to membrane roof
  - o Relocated rear fence to the south of the public utility easement and made the fence location consistent throughout the plan set
  - o Specified Mugo Pine and Subalpine Fir pine trees on the plant legend
  - o Added lilac shrubs to the rear of lot

Staff believes the applicant has adequately addressed the Commission's concerns and requests for clarifications in the revised plan sets and recommends approval of the Design Review applications.

## II. BACKGROUND:

The Planning and Building Department received the Design Review applications on March 28, 2023. Following the receipt of the applications, staff routed the application materials to all City departments for review. The applications were reviewed concurrently, and the applications were deemed complete on July 28, 2023, after two rounds of review. The Planning and Zoning Commission conducted a public hearing and reviewed the Design Review applications for the proposed homes on Lots 32-35 during their regular meeting on September 12, 2023, and moved to continue the Design Review applications for the proposed residences on Lots 32-34.

## III. CONFORMANCE WITH ZONING AND DESIGN REVIEW STANDARDS:

Prior to granting Design Review approval, the Commission must determine that the application meets two criteria: (1) the project doesn't jeopardize the health, safety, or welfare of the public, and (2) the project conforms to all Design Review standards and zoning regulations (KMC §17.96.050.A).

### ***Criteria #1: Health, Safety, and Welfare of the Public***

For a full review of Criteria #1, please see the staff report from the September 12 meeting, included as Attachment I. The Comprehensive Plan reads strongly about the protection and enhancement of mountain views and natural features. During the September 12<sup>th</sup> meeting, the Commission expressed concerns regarding the visual impact to the view corridor from Warm Springs Road due to the height of the structure on Lot 33. The revised plans indicate that the building height has been reduced by 1'-6" for a new maximum building height of 33'-2". The new building height projects just 6'-2" above the elevation of Warm Springs Road. Also, the height of the elevator shaft has been reduced by 2'-2" and the height of the chimney has been reduced by 2'. A new rendering of the structure on Lot 33, as shown in Figure 1 below, indicates how the structure on Lot 33 will be perceived from neighboring properties across Warm Springs Road and depicts a person for scale (indicated by a red star). Upon review of the rendering below, staff believes that the visual impact on Bald Mountain Road for neighboring properties will be minimal.

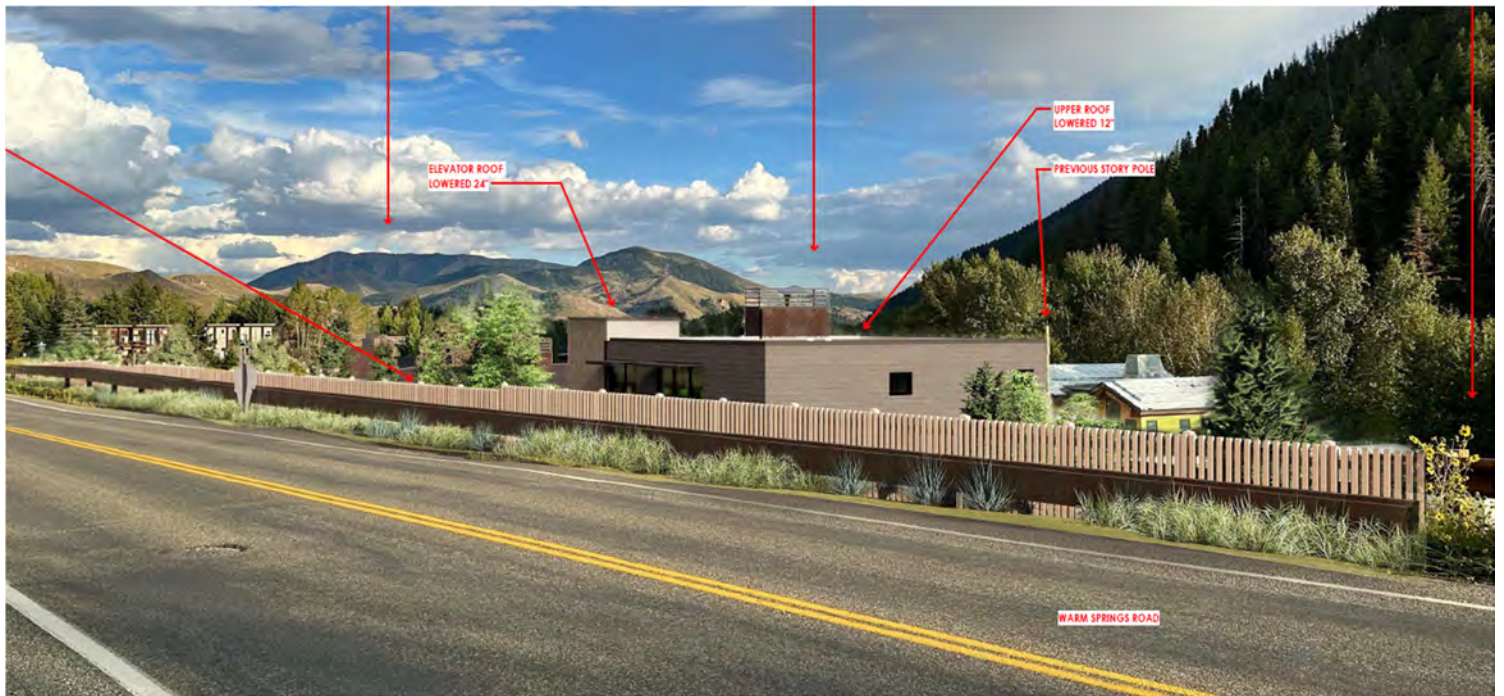
Figure 1: Rendering of Lot 33 Structure Across Warm Springs Road



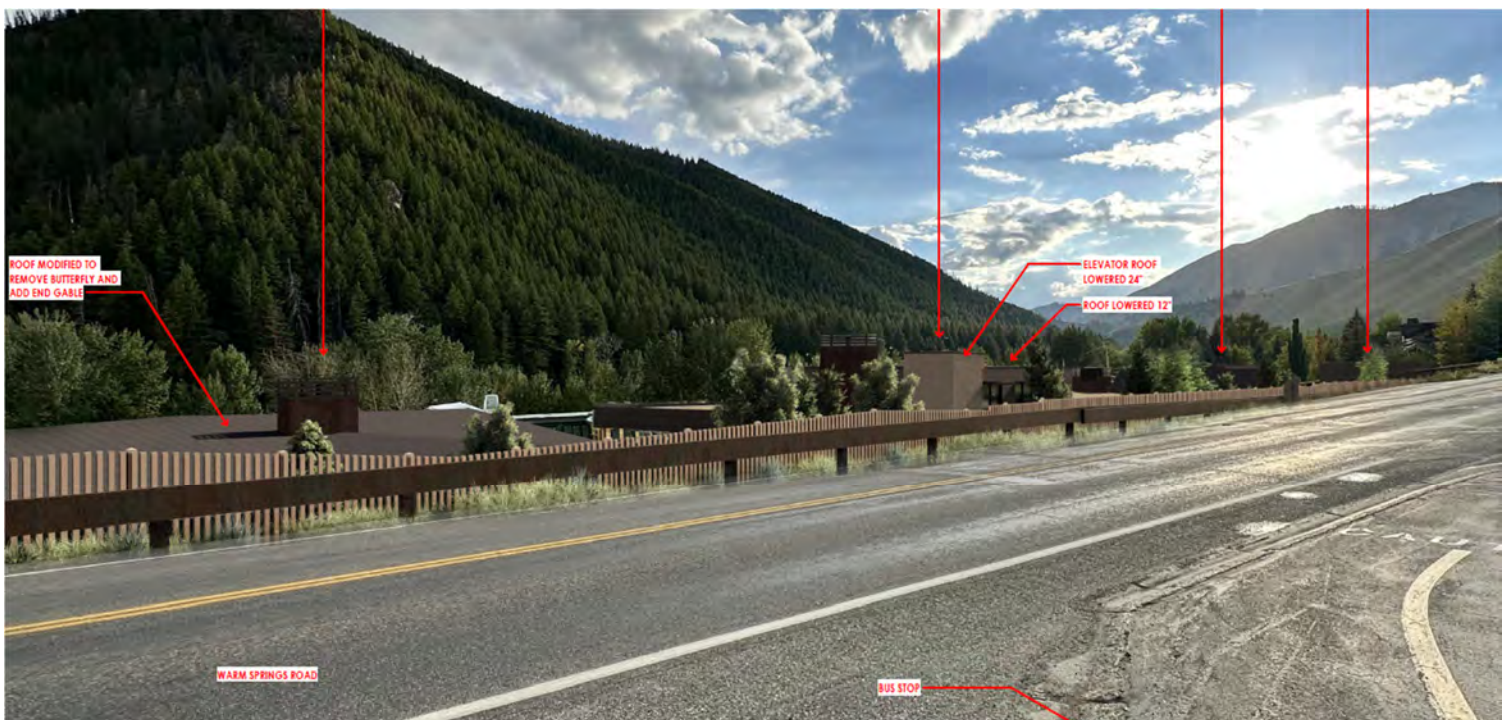
All four residences propose roof appurtenances which extend above the roof ridges; however, staff believes the proposed building heights on Lots 32-34 are reasonable because the visual impact on the Warm Springs Road view corridor is minimal. The structures' heights are well below the existing one- and two-story structures along Warm Springs Road to the east and west of the Warm Springs Ranch Residences Subdivision. The applicant included a photomontage looking east and west from the bike path within their resubmittal package. As shown in Figure 2 below, the photomontage provides a realistic representation of the minimal visual impact the structures will have on the view of Bald Mountain.

Figure 2: Photomontage of Lots 32-35 Looking East and West From Bike Path

Looking East From Bike Path



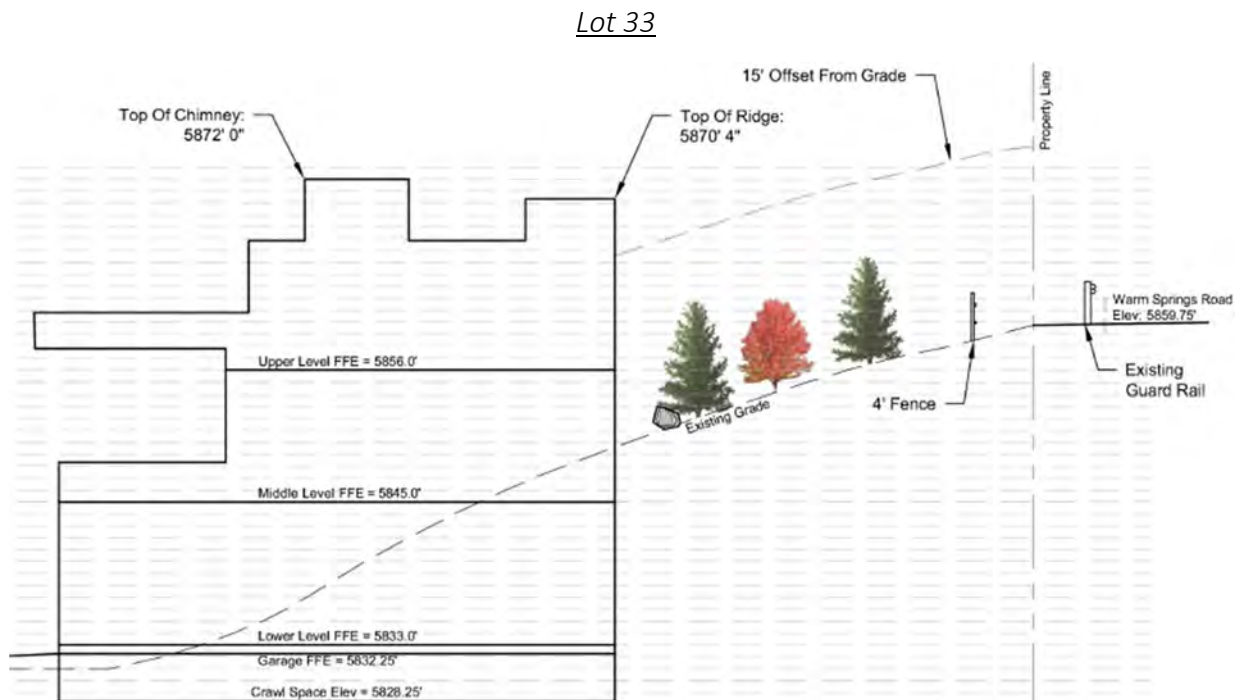
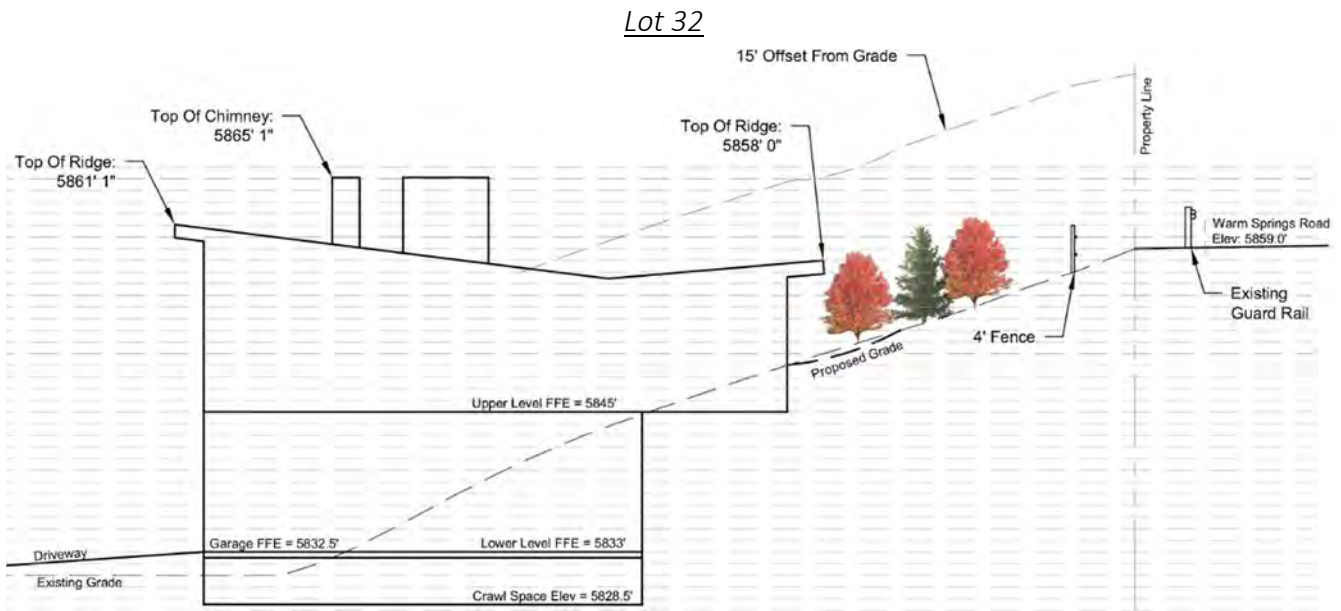
Looking West From Bike Path



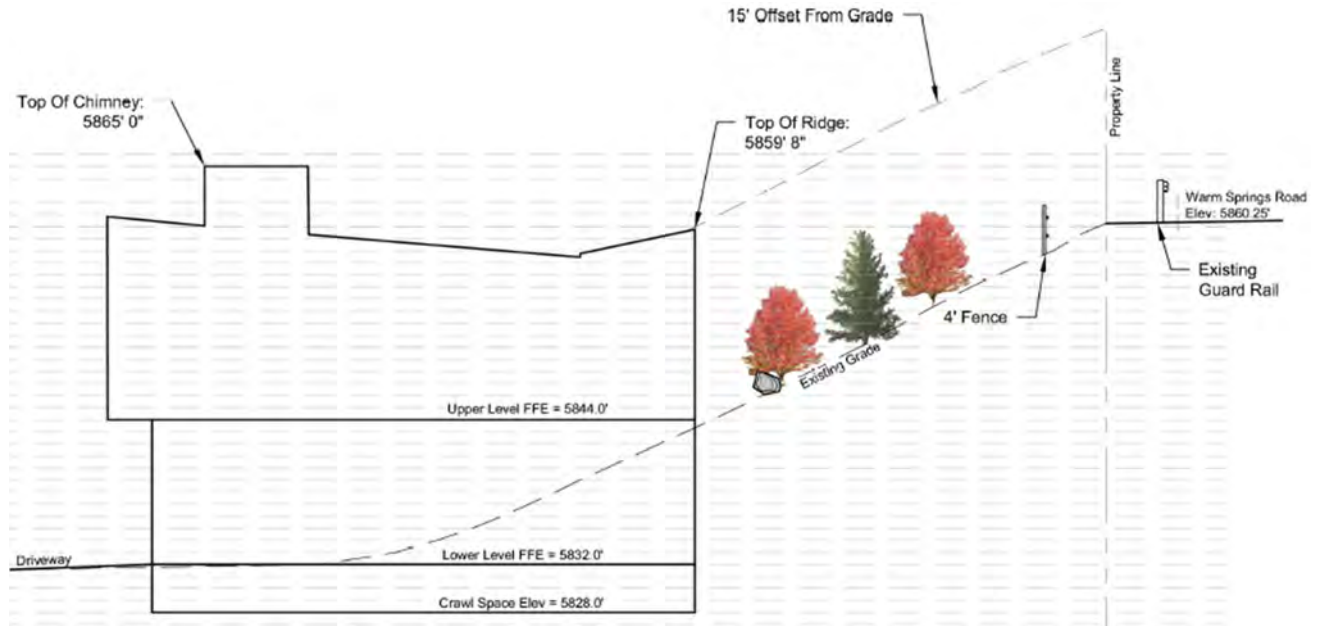
The Commission also expressed concerns related to the height of the landscaping on the rear of Lots 32-34 impacting the view from Warm Springs Road. The Commission requested that the applicant specify the type of pine tree proposed and provide a comprehensive landscape plan for Lots 32-34. The revised landscape plan plant legends indicate that the proposed pine trees are Mugo Pine and

Subalpine Fir. The plan sets indicate that Mugo Pine trees (12'-16' in size) and Ginnala Maple trees (6' in size) will be planted in the rear yards, which slope downhill from Warm Springs Road. The landscaping is sited approximately 4'-8' feet lower than the elevation of Warm Springs Road. By planting these trees downhill, only the tops of the tree crowns will be seen from Warm Springs Road and neighboring properties. The full extent of the height of the trees at their maturity will not be visible from their lower elevation. The applicant also provided a comprehensive landscaping plan, which includes cross sections for Lots 32-34 to compare the proposed trees in relation to the new residences from the elevation of Warm Springs Road (please see Figure 3 below for details). Staff does not believe that the landscaping will have a significant impact on the view corridor from Warm Springs Road.

Figure 3: Lots 32-34 Landscaping Cross Section



Lot 34



Upon review of the resubmittal package, staff believes that the goals and policies of the comprehensive plan related to the protection of mountain views and scenic areas are met with the project.

***Criteria #2: Applicable Standards and Criteria***

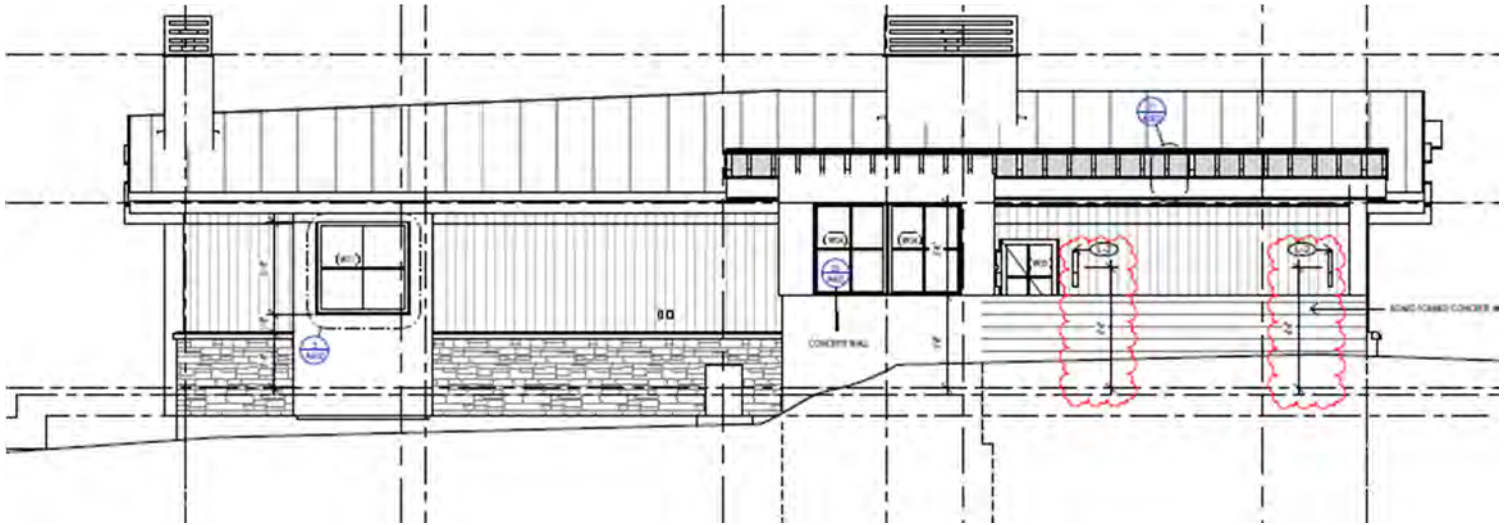
Conformance with Design Review Improvements and Standards

Due to the structures being situated at a lower elevation on Bald Mountain Road, all the roofs will be slightly visible along the Warm Springs Road view corridor. The Commission voiced concerns regarding the roof materials for Lots 32-34 and the appearance of bulk and flatness of the roof for the proposed residence on Lot 32. The Commission requested that for Lots 33 and 34 the roof material be verified and for Lot 32 verify that the roof material is nonreflective and to analyze the roof design. The revised plan set indicates that gravel ballast was added over the membrane roof for Lots 33 and 34. This was added in an effort to soften their visual appearance from Warm Springs Road. Also, the revised plan set for Lot 32 indicates that the roof material is a standing seam metal with a dark bronze color. As stated by the applicant in their response narrative, "This is a low reflectance color based on MBCI roofing color charts." Additionally, on the north elevation of Lot 32, the roof was modified to remove the butterfly and add a gable end to reduce the appearance of the roof's bulk and flatness from Warm Springs Road. Please see Figure 4 below for a comparison of the architectural plan's previous and revised illustration of the rear roof from the north elevation.

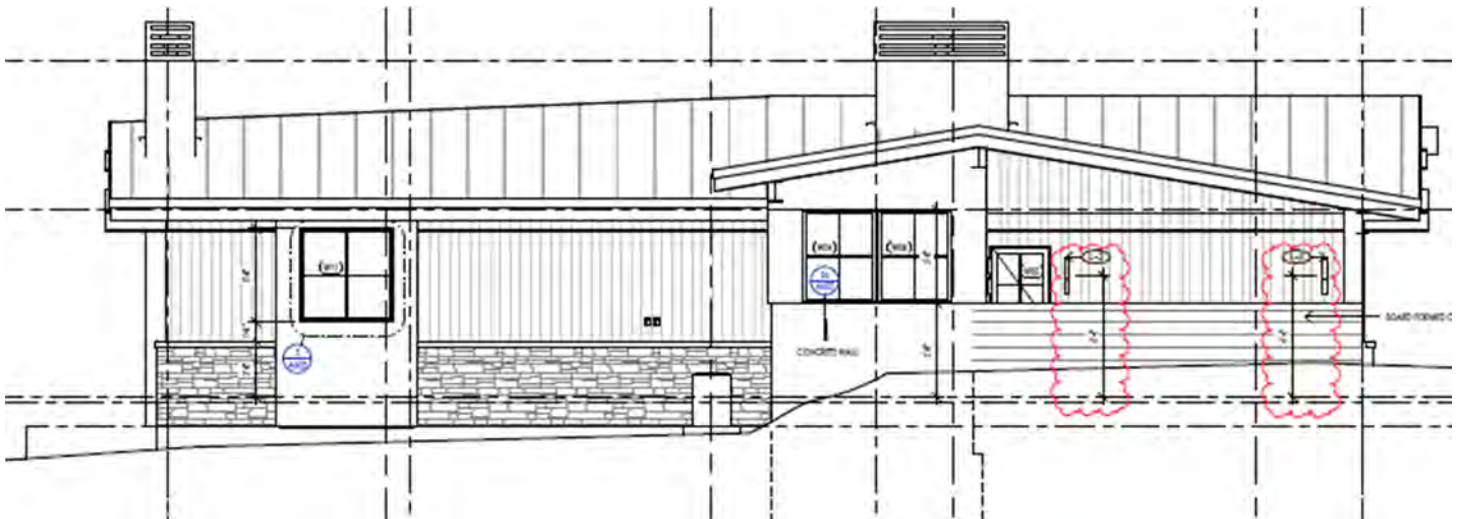


Figure 4: Lot 32 North Elevation Roof Comparison

Previous North Elevation



Revised North Elevation



Staff believes that the north elevation gable end reduces the roof's appearance of bulk and flatness on Lot 32 and that the addition of gravel ballast added to the roofs of Lots 33 and 34 softens their visual appearance. The project remains in conformance with all other Design Review improvements and standards requirements.

Conformance with Zoning Regulations

The initial plan sets for Lots 32-34 indicated that the 4' fence along the rear of the lots was on top of the public utility easement and that the locations of the fence shown on the plans were inconsistent. In the staff report from the September 12 meeting, staff recommended a condition of approval that stated all plan sets shall be revised to relocate the fence to the south of the public utility easement in a consistent location prior to building permit application. The applicant has revised all plan sets to show that the fence is located to the south of the public utility easement and is setback 5'-2" from the rear

property line. Therefore, staff no longer recommend the condition of approval related to the fence. The project remains in conformance with all other zoning regulations, including dimensional standards.

#### **STAFF RECOMMENDATION**

Staff recommends **approval** of the Design Review applications (File No. P23-017, P23-018, and P23-019) subject to the following conditions:

1. This Design Review approval is based on the project plans for Lots 32-34 presented at the October 10, 2023, Planning and Zoning Commission meeting. The project plans for all on-site improvements submitted for the building permits must conform to the approved design review plans unless otherwise approved in writing by the Planning and Zoning Commission or Administrator. Any building or site discrepancies which do not conform to the approved plans will be subject to review by the Commission and/or removal.
2. The applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho which include specifications for right-of-way, circulation design, utilities, and drainage improvements for review and approval by the City Engineer, Streets, and Utilities departments prior to issuance of a building permit for the project.
3. The term of Design Review approval shall be twelve (12) months from the date that the Findings of Fact, Conclusions of Law, and Decision are adopted by the Commission or upon appeal, the date the approval is granted by the Council subject to changes in zoning regulations.
4. In addition to the requirements set forth in this Design Review approval, this project shall comply with all applicable local, state, and federal laws.
5. Any damage to the right-of-way, including sidewalks, must be reconstructed to City standards at the owner's expense prior to issuance of Certificate of Occupancy.

#### **IV. RECOMMENDED MOTIONS**

Design Review:

"I move to approve the Lots 32-34, Block 4, Warm Springs Ranch Residences Design Review applications, as conditioned, and adopt the Findings of Fact, Conclusions of Law and Decision."

#### **ATTACHMENTS:**

- A. Design Review Applications for Lots 32-34 and Supplemental Documents
- B. Lot 32 – Plan Set
- C. Lot 33 – Plan Set
- D. Lot 34 – Plan Set
- E. Lots 32-34 – Renderings, Photomontage, and Comprehensive Landscaping Plan
- F. Design Review Standards Analysis
- G. Zoning and Dimensional Standards Analysis
- H. Warm Springs Ranch Subdivision Development Agreement
- I. Staff Report – September 12, 2023
- J. Lot 32 – Draft Findings of Fact, Conclusions of Law and Decision
- K. Lot 33 – Draft Findings of Fact, Conclusions of Law and Decision
- L. Lot 34 – Draft Findings of Fact, Conclusions of Law and Decision