

Project Information

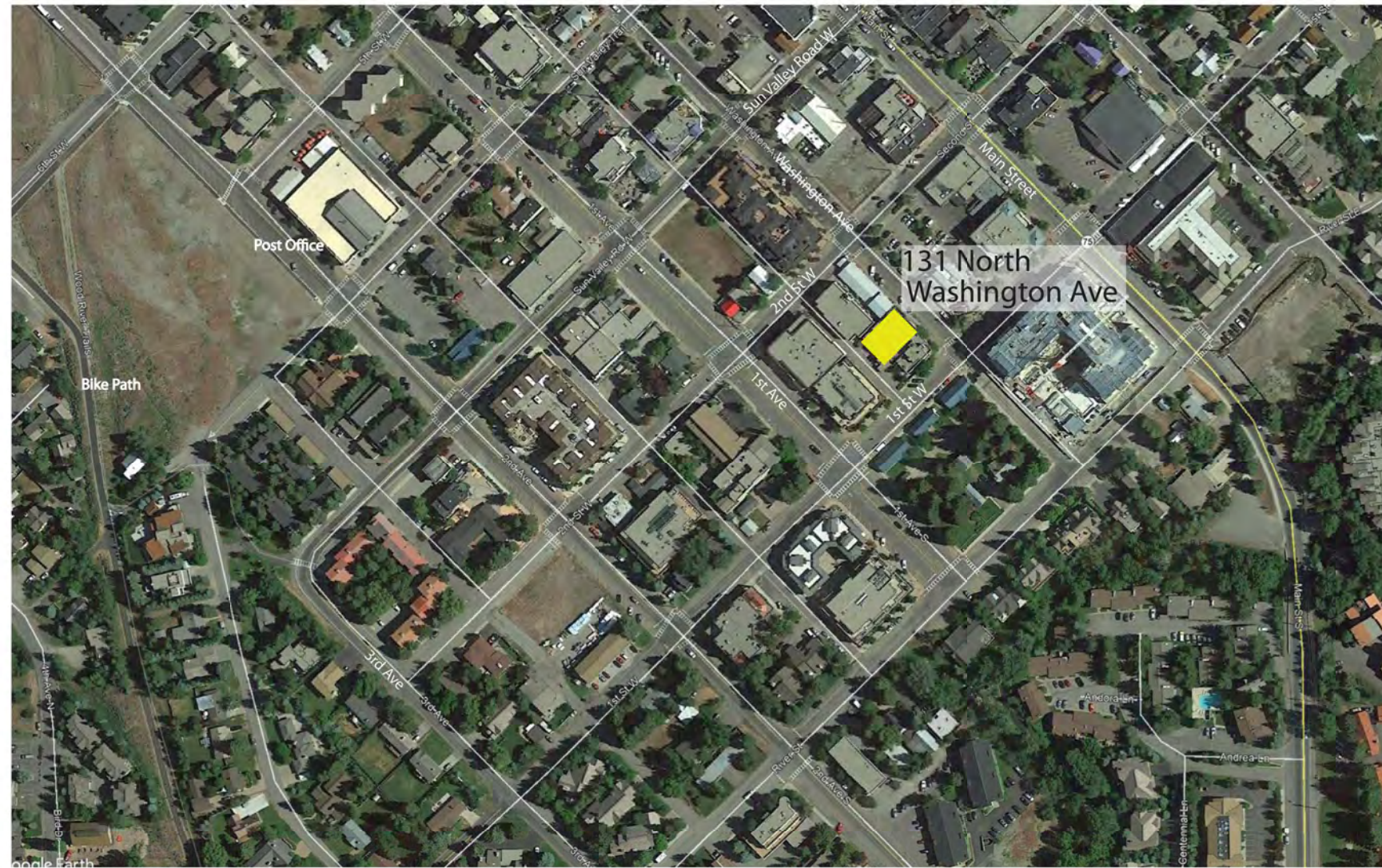
Address: 131 N Washington Ave, Ketchum, Idaho 83340
Parcel Number: RPK0000390030
Legal Description: Ketchum Lot 3, Block 39
Lot Size: 5500 sf
Building Department: City of Ketchum
County: Blaine
Building Code (per City Code 15.04 .010)
 • International Building Code (IBC) 2018 Edition, Appendices A, B, C, E, G, I, and J and revised section 903 and excluding section 101.4.3
 • International Energy Conservation Code (IECC) 2018 Edition, Including the appendix
 • International Existing Building Code (IEBC), 2018 Edition
 • International Property Maintenance Code (IPMC), 2018 Edition
 • International Residential Code (IRC), 2018 Edition, Parts 1 through IV and IX, including appendices D, E, F, G, H, J, K, and M.
 • International Building Code (IBC), Water conservation provisions of Appendix M
 • Ketchum Municipal Code, Chapter 15.08

Property Zoning (per official zoning district map)
 Community Core (CC) - Subdistrict 2 (Mixed Use)

Permitted Use (per City Code 17.12.020. Table):
 Residential: Dwelling, multi-family
 Commercial: Retail Trade, Retail Commercial

Setbacks / Height (per City Code 17.12.040. Table, Subdistrict 2: Mixed Use):
 Front and street side = 5'-0" average
 Side (Interior side) = 0'
 Rear = 3'
 Setback for 4th floor = 10'
 Cantilevered decks/overhangs = 0'

Maximum Building heights
 Cantilevered decks and overhangs = 8'-0"
 Building Height = 42'-0"
 Non-habitable structures on roof top = 10'-0"
 Perimeter walls enclosing roof top deck = 4'-0" abv roof surface ht. (min. 75% transparent)
 Roof top solar and mechanical equipment = 5'-0"



Planning Code Compliance

FLOOR AREA, GROSS. The sum of the horizontal area of the building measured along the outside walls of each floor of a building or portion of a building, including stair towers and elevators on the ground floor only, and fifty percent (50%) of atriums over eighteen feet (18') plate height, but not including basements, underground parking areas or open unenclosed decks. Parking areas covered by a roof or portion of the building and enclosed on three (3) or more sides by building walls are included.

FLOOR AREA INCREASE. The gross and net floor area of a building allowed in addition to the permitted floor area in exchange for the provision of community housing units within the project, all of which are considered to be a public benefit.

FLOOR AREA, NET. The sum of the horizontal areas of all floors in a building including basements but not including open unenclosed decks, interior or exterior circulation, mechanical equipment rooms, parking areas, common areas, public bathrooms or storage areas in basements.

	Residence	Apartment	Studio	Common	Commercial	Garage	Circulation	Mech
Level 1 (ground level)	0 sf	102 sf	739 sf	851 sf	1422 sf	866 sf	161 sf	236 sf
Level 2 (second level)	1365 sf	1721 sf	0 sf	338 sf	0 sf	0 sf	202 sf	42 sf
Level 3 (third level)	2140 sf	0 sf	0 sf	0 sf	0 sf	0 sf	186 sf	0 sf
Total By Use	3505 sf	1823 sf	739 sf	1189 sf	1422 sf	866 sf	549 sf	278 sf

Parking Calculations
 Residential multiple-family dwelling within the Community Core (CC) District :
 Units 750 square feet or less 0 parking spaces
 Units 751 square feet to 2,000 square feet 1 space
 Units 2,001 square feet and above 2 parking spaces
3 parking spaces provided

Floor Area Ratio (F.A.R.) (17.124.040)
 FLOOR AREA RATIO: The product of the floor area divided by the lot area.

Property 100' x 55' = 5505 sf (per sheet C0.2, Permitted by right, 1.0)
 Community Core Housing Incentive (2.25) = 5505 x 2.25 = 12,386 sf

Basic FAR allowance	Proposed FAR	Max. FAR allowed with inclusionary housing
1.0 (5,505 gsf)	1.8 (9,983gsf / 5,505 gsf)	2.25 (12,386 gsf)

Community Housing calculation
 9893 gsf - 486 sf (parking discount, (3)-9x18) = 9497 sf
 9497 sf - 5505 sf = 3992 sf
 3992 sf x 20% = 798 sf
 798 sf - 15% (gross sf discount) = 678 sf (net sf (inside face of finish sf) Community Housing requirement)
 678 sf (req. Community Housing) - 739 sf (provided Community Housing) = -61 sf
 In-lieu payment = \$238/sf x xxx sf = \$xxx,xxx (in-lieu payment) - NA

- Drip Lines / Drainage - No drip lines or snow shedding occur on public sidewalks. Roof and canopy drainage collected and directed by internal gutters into drywell located on property.
- Site Lighting Plan - All lighting and illumination to conform to dark sky ordinance.
- Mechanical Screening - Mechanical units located on roof to be screened as per elevations.
- Green Building - Project to be constructed to USGBC standards.
- Public Open Space - Trash receptacles, benches and gathering spaces are provided along public streets.
- Snow Storage Calculation - There are no viable snow storage areas located on site. All snow management will be accomplished by snowmelt and hauling snow off-site.
- Storm Water - On-site storm water shall be directed to internal roof drains, drain leaders, and trench drain grates and retained on site through an underground infiltration system designed by Galena Engineers.
- Drainage improvements will be made equal to the length of the subject property lines adjacent to public streets.
- All utility improvements necessary for the development will be provided and made to meet City of Ketchum standards.
- Garbage will be collected in rolling carts and stored in a closed garbage closet adjacent to the alley. No satellite receivers are proposed.
- Existing sidewalks will be replaced with new 8-foot wide sidewalks per city standards. One bicycle rack for (2) bicycles will be provided adjacent to the entry with direct access to the sidewalk.

Retail Commercial - Use of this space will be restricted to only uses that do not require additional on-site parking. Exempt uses include food service, the first 5,500 SF of retail, and the first 5,500 SF of assembly uses.



Index of Drawings

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C0.2	Existing Site Conditions
C1.0	Site Grading and Drainage
C1.1	Detail Sheet - Civil
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L1	Landscape Site Plan
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A-002	as-built drawings
A-003	code analysis
A-004	floor areas
A-101	setback sections
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A-103	floor plan
A-104	floor plan
A-105	roof plan
A-200	renderings
A-201	elevations
A-202	elevations
A-203	elevations
E-101	electrical - exterior

131 N Washington Ave
 PO BOX 3204
 Hailey, Idaho
 83333-3204
 © 2022 BRUNELLE ARCHITECTS, INC.

PROJECT:
Bohica Building

131 N Washington Ave
 Ketchum, ID 83340

DATE: 03/15/22

PROJECT NO:

REVISION: DATE:

NOTES:

Project Team

Developer / Owner

Bohica Idaho, LLC.
 216 East Spruce
 Hailey, ID 83333
 208/720-0438
 ktritzau@gmail.com

Landscape Architect

Eggers Associates P.A.
 Kurt Eggers
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 P. O. Box 953
 Ketchum, ID 83340
 208/725-0988
 kurt@eggersassociates.com

General Contractor

H.L. Fieguth Construction, Inc.
 Lee Fieguth
 O: 208/788-6064
 C: 208/309-53333

Architect

Brunelle Architects, Inc.
 Mike Brunelle
 190 Cranbrook Rd
 P. O. Box 3204
 Hailey, ID 83333
 208/589-0771
 mike@brunellearchitects.com

Surveyor/Civil

Galena Engineering, INC
 Sean M. Flynn, PE
 317 North River St
 Hailey, ID 83333
 208/481-0306
 sflynn@galena-engineering.com

Structural Engineer

FROST Structural Engineering
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 1020 Lincoln Road
 Idaho Falls, ID 83401
 208/227-8404
 markell.bateman@frost-structural.com

Energy Consultation

John Reuter Greenworks
 John Reuter
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 Hailey, ID 83333
 PO Box 4714
 Ketchum, ID 83340
 208/721-2922
 john@johnreutergreenworks.com

Electrical Engineer

Musgrove Engineering
 Matt Bradley
 645 WEst 25th Street
 Idaho Falls, ID 83402
 208/523-2862
 mattb@musgrovepa.com



Bohica Building

131 N Washington Ave

Ketchum, ID 83340

BRUNELLE ARCHITECTS, INC

MIKE BRUNELLE
 190 CRANBROOK RD
 PO BOX 3204
 HAILEY, IDAHO
 833333
 P. 208.589.0771
 MIKE@BRUNELLEARCHITECTS.COM

Cover Sheet

SCALE: As Indicated

CS

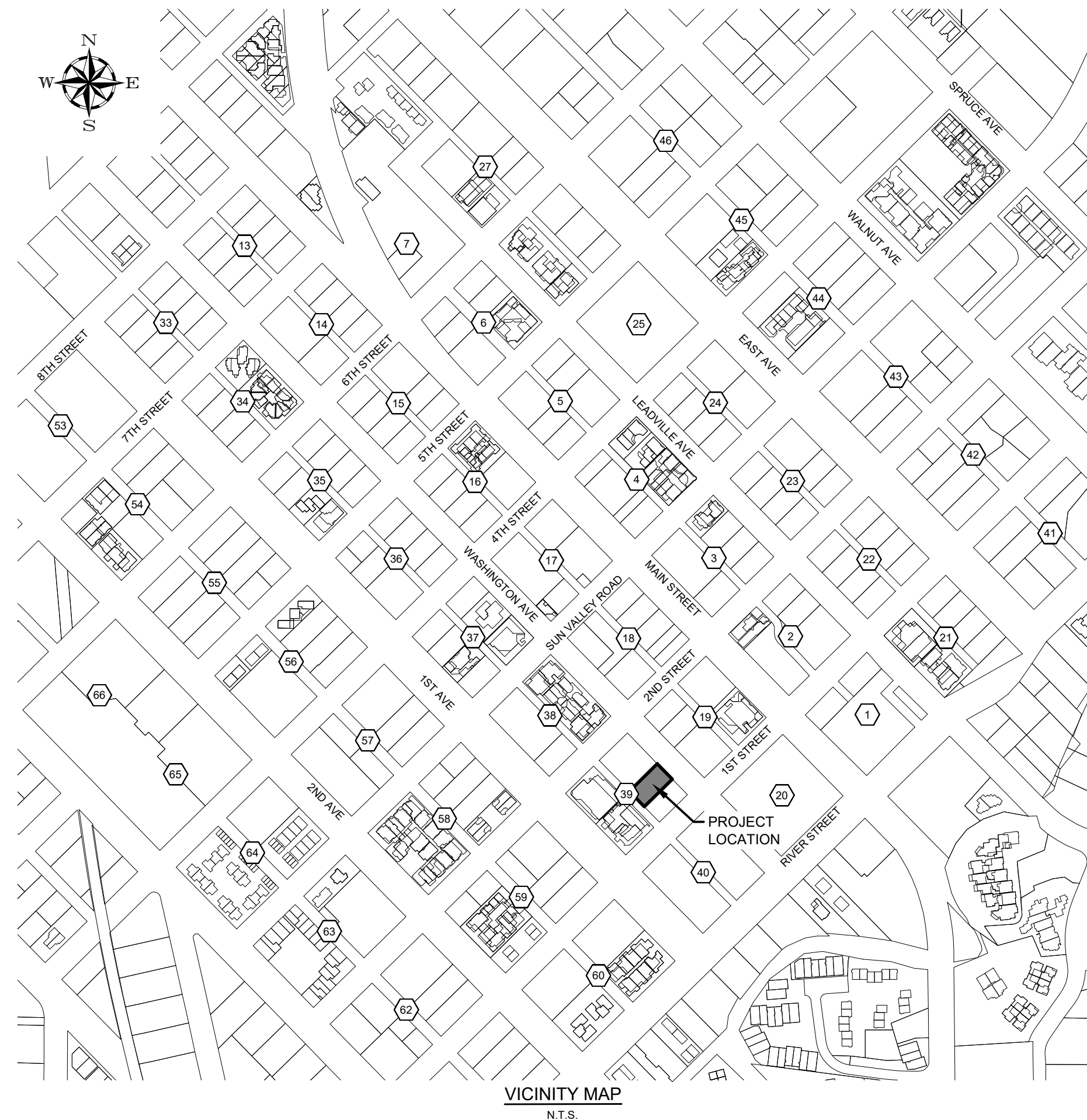
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BOHICA MULTI-USE 131 WASHINGTON AVE KETCHUM, IDAHO FEBRUARY 2022

CONSTRUCTION NOTES

1. ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE "IDAHO REGULATIONS FOR PUBLIC DRINKING WATER SYSTEMS," THE CURRENT EDITION OF THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISPMC), AND CITY OF KETCHUM STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ISPMC ON SITE DURING CONSTRUCTION.
2. THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES PRIOR TO COMMENCING AND DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL CALL DIGLINE (1-800-342-1585) TO LOCATE ALL EXISTING UNDERGROUND UTILITIES.
3. THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION, INCLUDING BUT NOT LIMITED TO, EPA'S NPDES CONSTRUCTION GENERAL PERMIT.
4. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION.
5. CONSTRUCTION OF WATER MAINS AND ALL OTHER RELATED APPURTENANCES SHALL BE IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPMC), IDAPA 58.01.08, IDAHO RULES FOR PUBLIC DRINKING WATER SYSTEMS AND THE CITY OF KETCHUM UTILITIES DEPARTMENT STANDARDS.
6. CONTRACTOR SHALL PRESSURE TEST, DISINFECT, AND CONDUCT BIOLOGICAL TESTING IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPMC), AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS, AND THE PRESSURE TESTING, DISINFECTION, AND MICROBIOLOGICAL TESTING PROCEDURES.
7. ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL BE ANSINFS STD. 61 COMPLIANT.
8. ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL COMPLY WITH THE LOW LEAD ACT REQUIRING ALL MATERIALS TO HAVE A LEAD CONTENT EQUAL TO OR LESS THAN 0.25%.
9. THE CONTRACTOR SHALL USE ANSINFS STANDARD 60 CHEMICALS AND COMPOUNDS DURING INSTALLATION & DISINFECTION OF POTABLE WATER MAIN.
10. CONTRACTOR SHALL COORDINATE LOCATIONS OF DRY UTILITY FACILITIES (POWER, CABLE, PHONE, TV) NOT SHOWN ON THE DRAWING WITH IDAHO POWER.
11. ALL CLEARING & GRUBBING SHALL CONFORM TO ISPMC SECTION 201.
12. ALL EXCAVATION & EMBANKMENT SHALL CONFORM TO ISPMC SECTION 202. EXCAVATED SUBGRADE SHALL BE COMPACTED AND ALL UNSUITABLE SECTIONS REMOVED AND REPLACED WITH STRUCTURAL FILL AS DETERMINED BY THE ENGINEER. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
13. ALL 2" MINUS GRAVEL SHALL CONFORM TO ISPMC 802, TYPE II (ITD STANDARD 703.04, 2"), SHALL BE PLACED IN CONFORMANCE WITH ISPMC SECTION 801 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99.
14. ALL 3/4" MINUS CRUSHED GRAVEL SHALL CONFORM TO ISPMC 802, TYPE I (ITD STANDARD 703.04, 3/4" B), SHALL BE PLACED IN CONFORMANCE WITH ISPMC SECTION 802 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
15. ALL ASPHALTIC CONCRETE PAVEMENT WORK SHALL CONFORM TO ISPMC SECTION(S) 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (13MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPMC SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPMC SECTION 805.
16. ALL EDGES OF EXISTING ASPHALT PAVING SHALL BE SAW CUT 24" TO PROVIDE A CLEAN PAVEMENT EDGE FOR MATCHING. NO WHEEL CUTTING SHALL BE ALLOWED.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL PER THE CURRENT EDITION OF THE US DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
18. ALL CONCRETE FORM WORK SHALL CONFORM TO ISPMC SECTION 701 AND 703. ALL CONCRETE SHALL BE 3,000 PSI MINIMUM, 28 DAY, AS DEFINED IN ISPMC SECTION 703, TABLE 1.C.
19. ALL TRENCHING SHALL CONFORM TO ISPMC STANDARD DRAWING SD-301. TRENCHES SHALL BE BACKFILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
20. TOPOGRAPHIC, SITE, AND BOUNDARY SURVEYS SHOWN HEREON WERE CONDUCTED BY GALENA ENGINEERING, INC. 08/18/2021. REFER TO TOPOGRAPHIC MAP FOR NOTES.
21. PER IDAHO CODE § 55-1613, THE CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS; ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS THAT ARE LOST OR DISTURBED BY CONSTRUCTION SHALL BE REESTABLISHED AND RE-MONUMENTED, AT THE EXPENSE OF THE AGENCY OR PERSON CAUSING THEIR LOSS OR DISTURBANCE AT THEIR ORIGINAL LOCATION OR BY SETTING OF A WITNESS CORNER OR REFERENCE POINT OR A REPLACEMENT BENCHMARK OR CONTROL POINT, BY OR UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR.



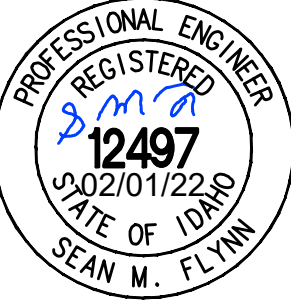
SHEET INDEX

SHEET# DESCRIPTION

C0.1	COVER SHEET
C0.2	EXISTING SITE CONDITIONS
C1.0	SITE GRADING AND DRAINAGE
C1.1	DETAIL SHEET

**BOHICA MULTI-USE
131 WASHINGTON AVE
COVER SHEET**
 LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
 PREPARED FOR BOHICA IDAHO, LLC

PROJECT INFORMATION
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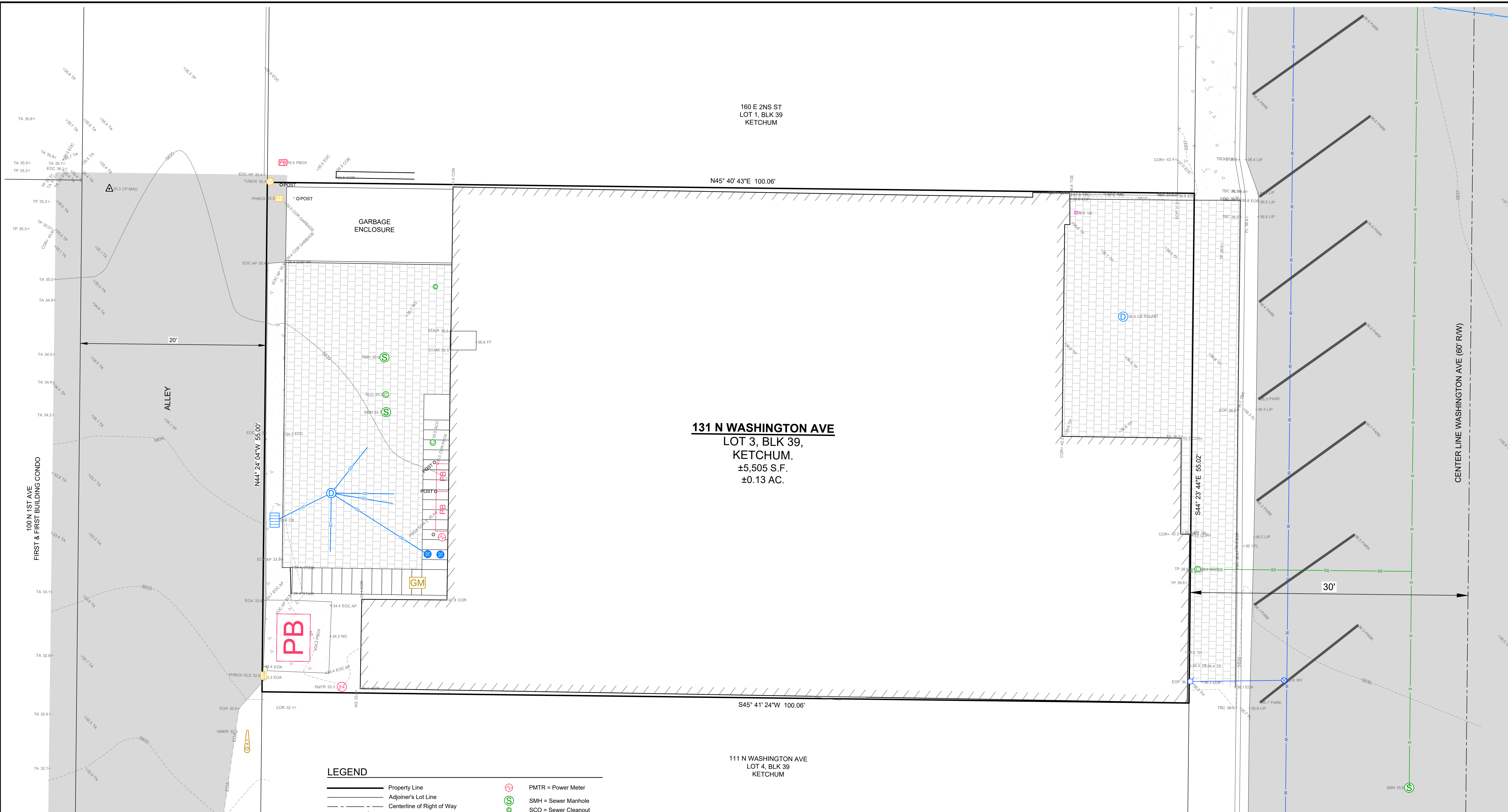


DESIGNED BY _____
 CT
 DRAWN BY _____
 SMF
 CHECKED BY _____

GALENA
ENGINEERING, INC.
 Civil Engineers & Land Surveyors
 317 N. River Street
 Hailey, Idaho 83433
 (208) 788-1705
 email: galena@galena-engineering.com

PURPOSE:	NO.	DATE	BY	REVISIONS

REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any project or extension of this project except by agreement in writing with Galena Engineering, Inc.



131 N WASHINGTON AVE
 LOT 3, BLK 39,
 KETCHUM.
 ±5,505 S.F.
 ±0.13 AC.

160 E 2NS ST
 LOT 1, BLK 39
 KETCHUM

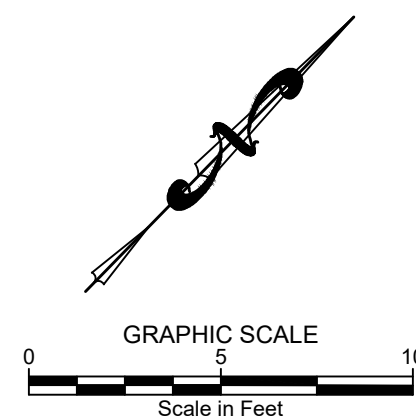
111 N WASHINGTON AVE
 LOT 4, BLK 39
 KETCHUM

LEGEND

- | | | | |
|--|----------------------------|--|--------------------------|
| | Property Line | | PMTR = Power Meter |
| | Adjoiner's Lot Line | | SMH = Sewer Manhole |
| | Centerline of Right of Way | | SCO = Sewer Cleanout |
| | FDAC = Found Aluminum Cap | | CB = Catch Basin |
| | FD5/8 = Found 5/8" Rebar | | DWELL = Drywell |
| | FD1/2 = Found 1/2" Rebar | | FH = Fire Hydrant |
| | CNTRL = Survey Control | | WV = Water Valve |
| | 5' Contour Interval | | VB = Valve Box |
| | 1' Contour Interval | | Vent/Drain, type unknown |
| | Curb & Gutter | | Post/Bollard |
| | Building | | AP = Angle Point |
| | Asphalt | | COR = Corner |
| | Concrete Sidewalk | | EOA = Edge of Asphalt |
| | Pavers | | EOC = Edge of Concrete |
| | GMTR = Gas Meter | | EOP = Edge of Pavers |
| | GMKR = Gas Marker | | FF = Finished Floor |
| | TVBOX = Cable TV Riser | | FL = Flow Line |
| | PHBOX = Telephone Riser | | LIP = Lip of Gutter |
| | PBOX = Power Box | | NG = Natural Ground |
| | Water Main | | RP = Reference point |
| | Sewer Main | | TBC = Top Back of Curb |
| | Sewer Service | | TOE = Toe of Slope |
| | Storm Drain | | TP = Top of Pavement |

NOTES

- The purpose of this map is to show topographical information as it existed on the date the field survey was performed. Changes may have occurred to site conditions since survey date (08/18/2021).
- Boundary information is based on Found Centerline Monumentation. Please refer to the Official Map of the Village of Ketchum, Instrument No. 302967, records of Blaine County, Idaho.
- Underground utility locations are based on above ground appurtenances, utilities visible at the time of the survey, and City maps. Utilities should be located prior to any excavation.
- Galena Engineering Inc. has not received a Title Policy from the client and has not been requested to obtain one. Relevant information that may be contained within a Title Policy may therefore not appear on this map and may affect items shown hereon. It is the responsibility of the client to determine the significance of the Title Policy information and determine whether it should be included. If the client desires for the information to be included they must furnish said information to Galena Engineering, Inc. and request it be added to this map.
- Benchmark is top of CP MAG TBC on the north east of property, elevation = 5837.4 Vertical Datum is NAVD 1988.



PURPOSE:

NO.	DATE	BY	REVISIONS

C0.2

LOT 3, BLK 39, KETCHUM
131 WASHINGTON AVE
EXISTING SITE CONDITIONS

LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
 PREPARED FOR: KKL, LLC

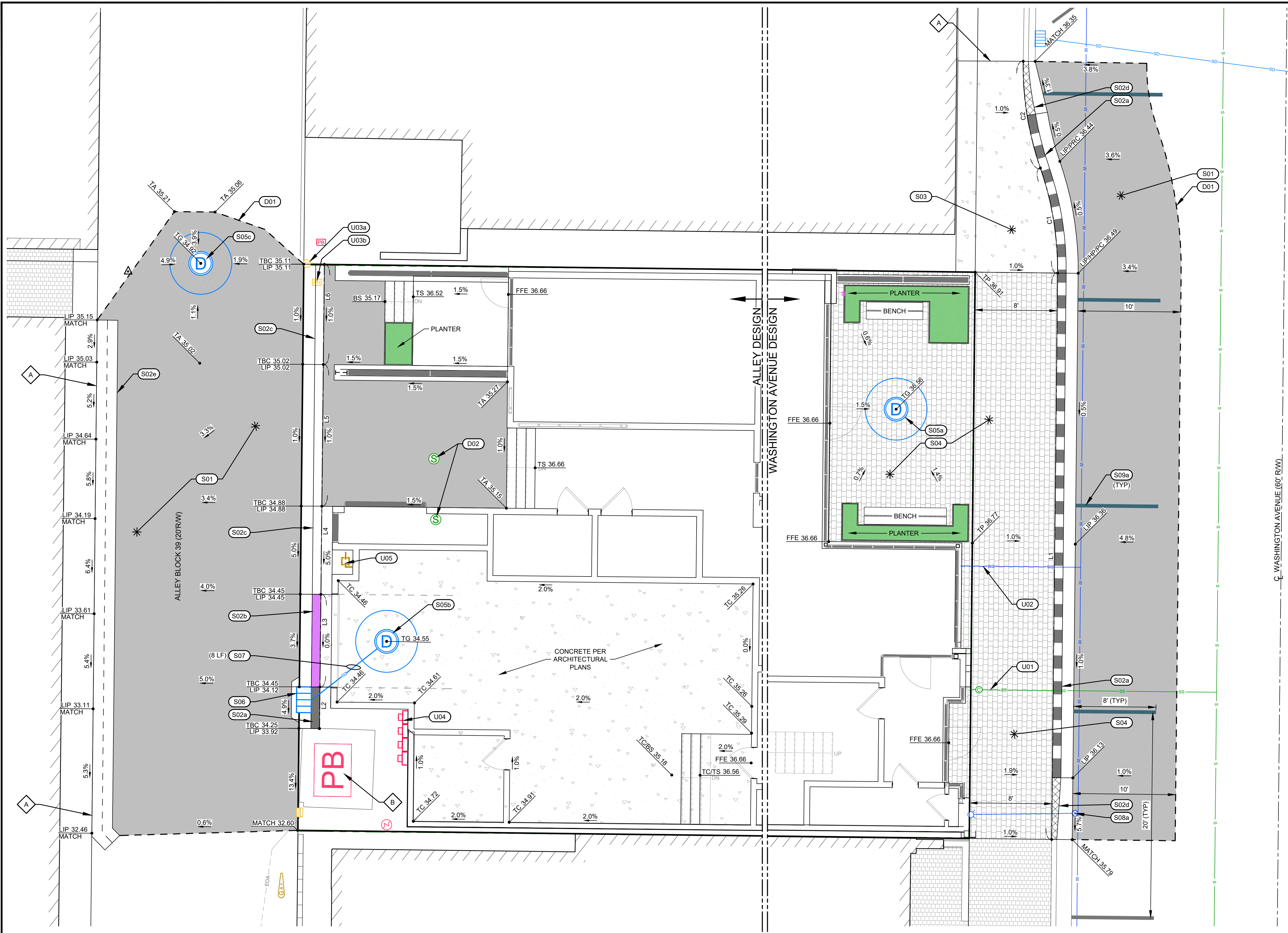
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PROFESSIONAL LAND SURVEYOR
16670
 09/28/21
 STATE OF IDAHO
MARK E. PHILLIPS

DESIGNED BY _____
 DRAWN BY _____
 SMF/MEP _____
 CHECKED BY _____

GALENA
ENGINEERING, INC.
 Civil Engineers & Land Surveyors
 317 N. River Street
 Hailey, Idaho 83433
 (208) 768-1705
 email: galena@galena-engineering.com

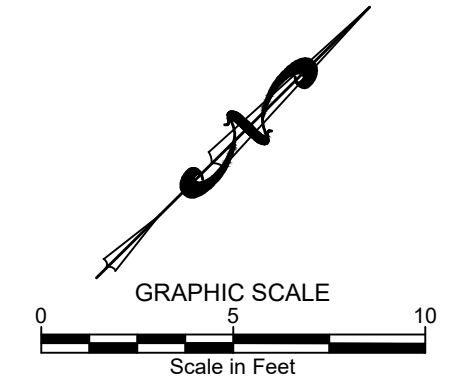
REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any project or extension of this project except by agreement in writing with Galena Engineering, Inc.



Line	Direction	Length	Start Northing	Start Easting
L1	N44° 23' 44"W	55.02'	733836.648	1544628.846
L2	S44° 21' 43"E	4.04'	733772.523	1544543.199
L3	S44° 24' 04"E	9.00'	733778.953	1544536.902
L4	S44° 24' 04"E	8.56'	733785.071	1544530.911
L5	S44° 24' 04"E	13.77'	733794.910	1544521.278
L6	S44° 24' 04"E	9.72'	733801.855	1544514.475

Curve	Radius	Length	Delta	Chord Direction	Chord Length	Start Northing	Start Easting
C1	30.00'	10.38'	19° 49' 43"	N54° 18' 36"W	10.33'	733875.965	1544590.350
C2	30.00'	10.56'	20° 10' 39"	N54° 08' 08"W	10.51'	733881.992	1544581.960

ABBREVIATIONS
 BS = BOTTOM OF STEP
 EG = EXISTING GRADE
 FF = FINISHED FLOOR
 FFE = FINISHED FLOOR AT ENTRY
 LF = LINEAL FEET
 LIP = LIP OF GUTTER
 HP = HIGH POINT
 PC = POINT OF CURVATURE
 PRC = POINT OF REVERSE CURVE
 PT = POINT OF TANGENCY
 TBC = TOP BACK OF CURB
 TC = TOP OF CONCRETE
 TG = TOP OF GRATE
 TP = TOP OF PAVERS
 TS = TOP OF STEP



- DEMOLITION KEY NOTES**
- D01 SAWCUT ASPHALT TO PROVIDE FOR A CLEAN VERTICAL EDGE.
 - D02 REMOVE AND DISPOSE OF GREASE TRAP.
- SITE IMPROVEMENT KEY NOTES**
- S01 CONSTRUCT ASPHALT ROADWAY / ASPHALT REPAIR. SEE DETAIL 1 / C1.1.
 - S02 CONSTRUCT CONCRETE CURB AND GUTTER
 - a. 6" ROLLED C&G PER DETAIL 3 / C1.1.
 - b. CURB TRANSITION PER DETAIL 4 / C1.1.
 - c. ZERO REVEAL CURB AND GUTTER PER DETAIL 4 / C1.1.
 - d. ±6" OF CURB TRANSITION (BETWEEN 6" VERTICAL C&G AND 6" ROLLED C&G).
 - e. 24" WIDE CONCRETE VALLEY GUTTER. PER DETAIL 9 / C1.1
 - S03 CONSTRUCT CONCRETE SIDEWALK. WIDTH AS SHOWN HEREON. SEE DETAIL 5 / C1.1.
 - S04 CONSTRUCT HEATED PAVEMENT SIDEWALK. WIDTH AS SHOWN HEREON. SEE DETAIL 2 / C1.1.
 - S05 DRYWELL. SEE DETAIL 7 / C1.1.
 - a. CONTRACTOR TO CLEAN EXISTING DRYWELL. CONNECT ROOF DRAIN AND FOUNDATION DRAIN TO DRYWELL. RIM = 5836.56 (WITH GRATE)
 - b. CONTRACTOR TO CLEAN EXISTING DRYWELL. CONNECT ROOF DRAIN, FOUNDATION DRAIN, AND CATCH BASIN TO DRYWELL. RIM = 5834.58 (WITH SOLID LID) I.E. (IN - S09) = 5930.76
 - c. CONSTRUCT NEW DRYWELL. RIM = 5834.92 (WITH GRATE)
 - S06 INSTALL CATCH BASIN WITH MINIMUM SUMP DEPTH OF 12" SEE DETAIL 6 / C1.1. RIM = 5833.92 INV. OUT = 5830.92 SUMP = 5828.92
 - S07 INSTALL STORM DRAIN PIPE WITH A MINIMUM SLOPE OF 2.0%. SEE DETAIL 10 / C1.1 FOR TRENCHING.
 - S08 RESET UTILITY BOX LID ELEVATION.
 - a. WATER VALVE BOX ORIGINAL RIM = 5835.81 NEW RIM = 5835.94
 - S09 INSTALL ROAD STRIPING / PAINT
 - a. YELLOW ASPHALT PARKING STRIPING (4" WIDE). MATCH CITY PATTERNS.

- UTILITY KEY NOTES**
- U01 UTILIZE EXISTING SEWER SERVICE.
 - U02 UTILIZE EXISTING WATER SERVICE.
 - U03 RELOCATE UTILITY RISERS / BOXES. CONTRACTOR TO COORDINATE ACTIVITY WITH UTILITY FRANCHISES.
 - a. CABLE TV RISER
 - b. TELEPHONE RISER
 - U04 POWER METER. REFER TO ARCHITECTURAL AND UTILITY FRANCHISE PLANS FOR FINAL PLACEMENT.
 - U05 GAS METER. REFER TO ARCHITECTURAL AND UTILITY FRANCHISE PLANS FOR FINAL PLACEMENT.
- A MATCH EXISTING LINES AND GRADES
 B RETAIN AND PROTECT POWER TRANSFORMER.

- GENERAL NOTES:**
- SEE SHEET C0.1 FOR CONSTRUCTION NOTES.
 - SEE SHEET C0.2 FOR LEGEND.

BOHICA MULTI-USE
131 WASHINGTON AVE
SITE GRADING AND DRAINAGE PLAN
 LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
 PREPARED FOR BOHICA IDAHO, LLC

PROJECT INFORMATION
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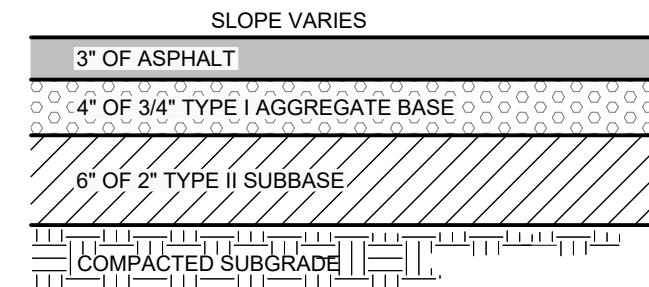
GALENA ENGINEERING, INC.
 Civil Engineers & Land Surveyors
 317 N. River Street
 Halley, Idaho 83333
 (208) 768-1705
 email: galena@galena-engineering.com

DESIGNED BY _____
 CT
 DRAWN BY _____
 SMF
 CHECKED BY _____

PROFESSIONAL ENGINEER
 REGISTERED
12497
 5/02/01/22/MD
 STATE OF IDAHO
 SEAN M. FLANN

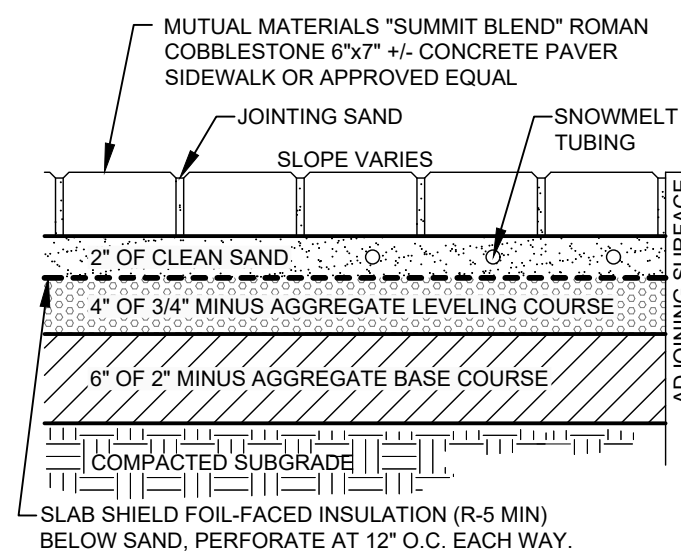
NO.	DATE	BY	REVISIONS

PURPOSE: _____
C1.0

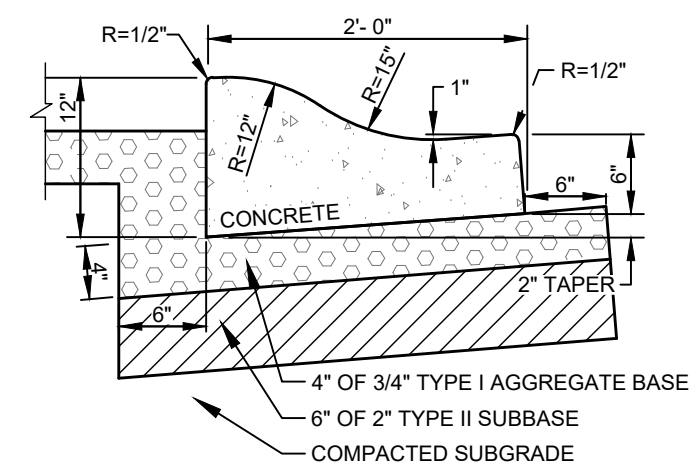


- NOTES:**
- SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
 - MATERIALS SHALL CONFORM WITH CURRENT ISPCW STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.

1
C1.1 **TYPICAL ASPHALT SECTION**
N.T.S.

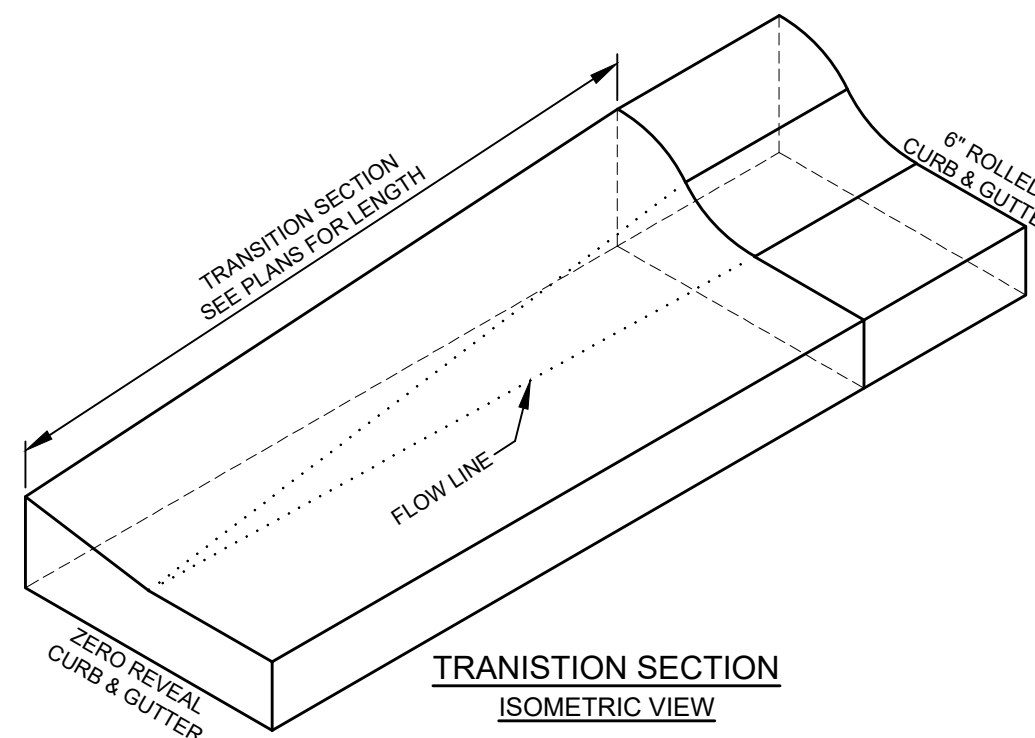


2
C1.1 **PAVER DETAIL**
N.T.S.



- NOTES:**
- SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
 - MATERIALS SHALL CONFORM WITH CURRENT ISPCW STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
 - 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADI.
 - CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FEET MAXIMUM SPACING (8-FEET W/SIDEWALK).

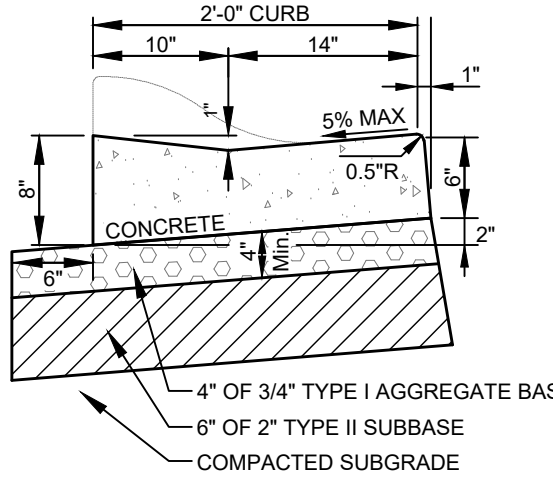
3
C1.1 **6" CONCRETE ROLLED CURB & GUTTER**
N.T.S.



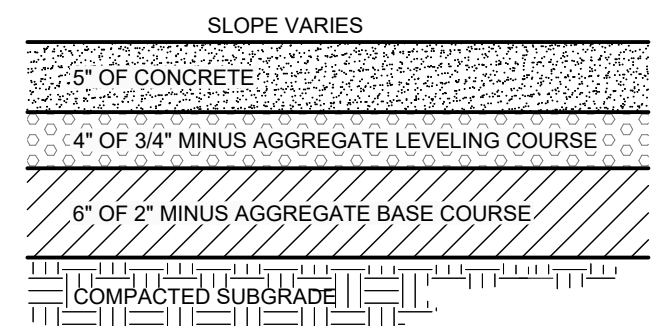
TRANSITION SECTION
ISOMETRIC VIEW

- NOTES:**
- SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
 - MATERIALS SHALL CONFORM WITH CURRENT ISPCW STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
 - 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADI.
 - CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FEET MAXIMUM SPACING (8-FEET W/SIDEWALK).

4
C1.1 **TYPICAL CURB TRANSITION DETAIL**
N.T.S.

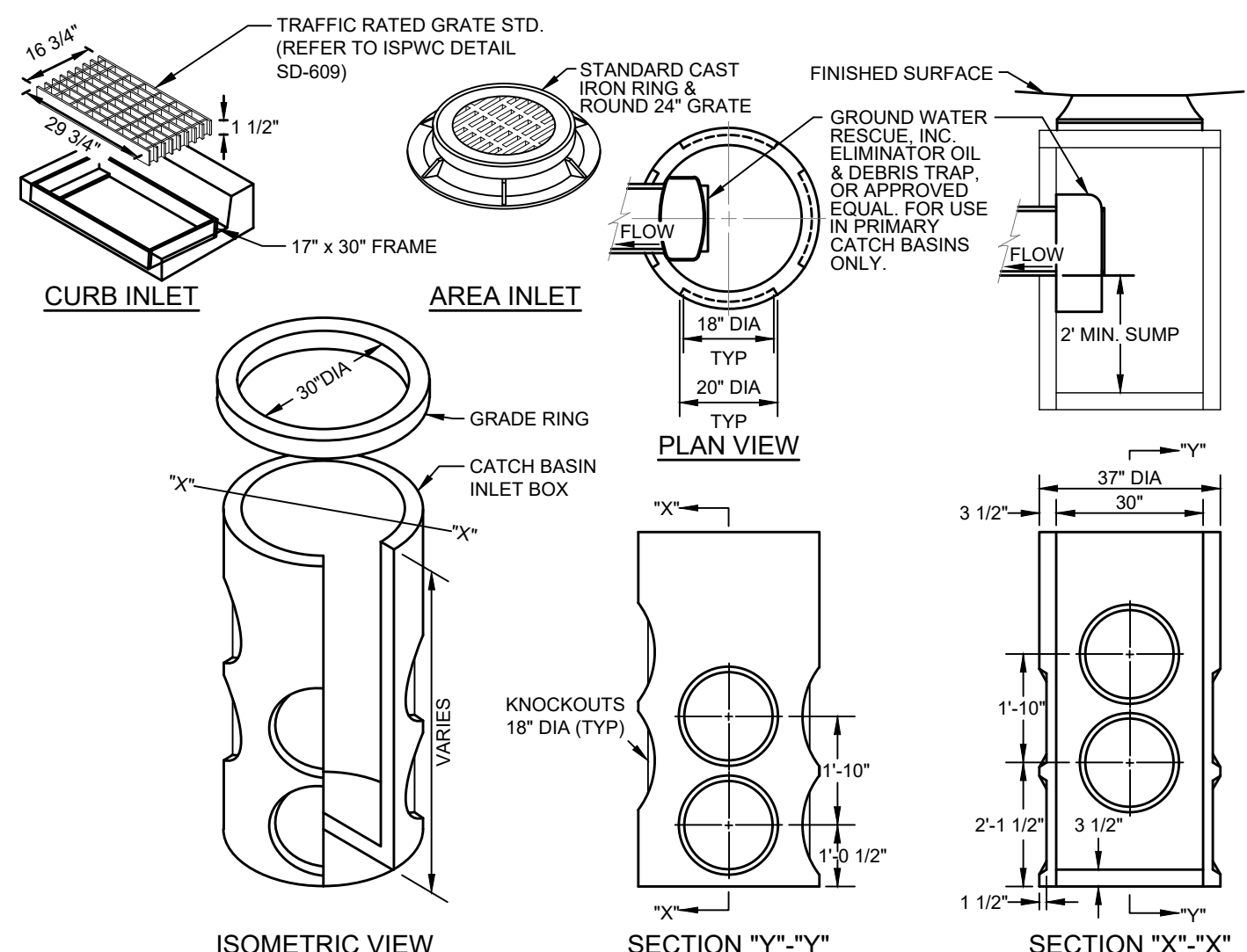


ZERO REVEAL CURB & GUTTER



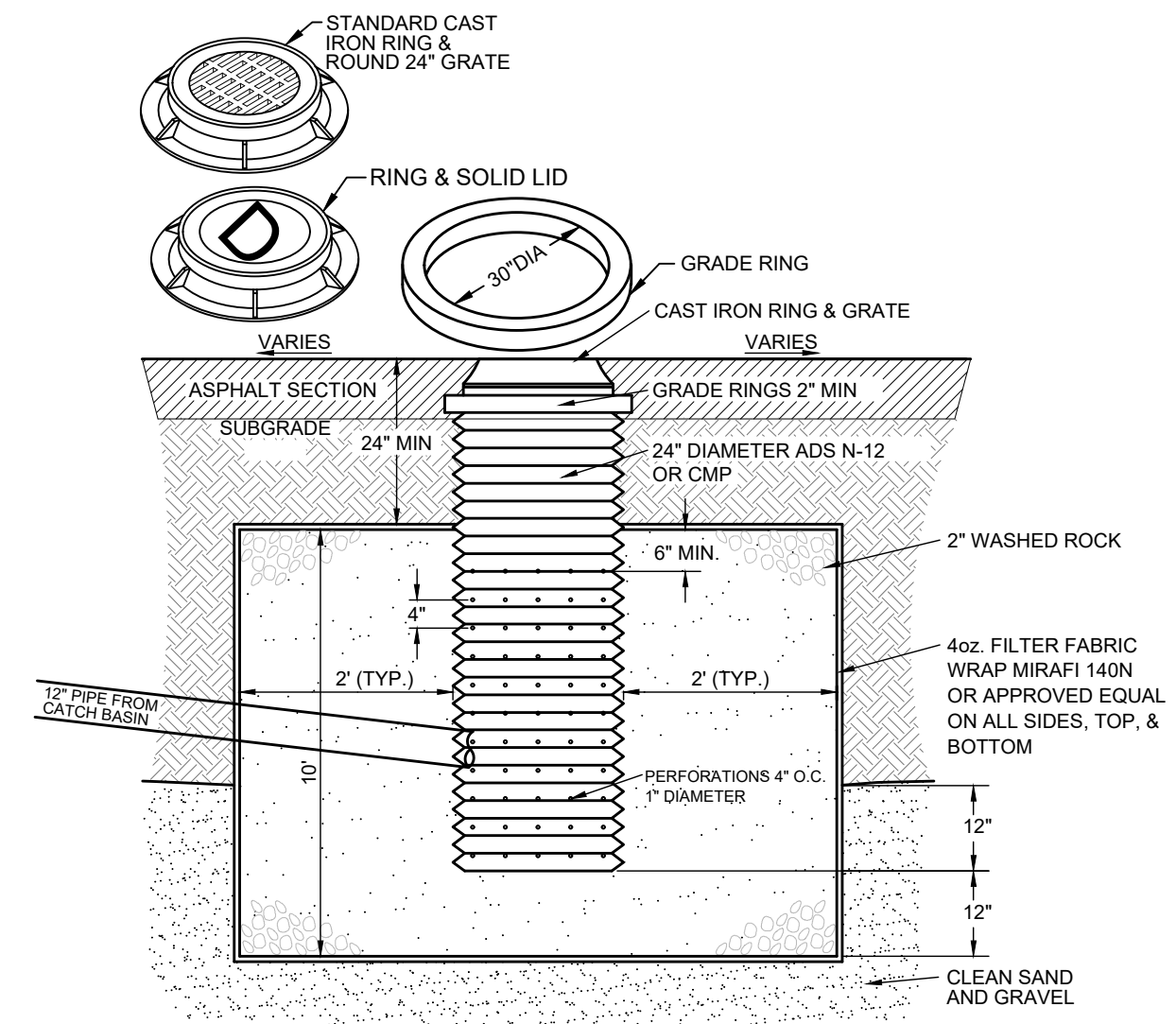
- NOTES:**
- INSTALL SCORE JOINTS AT INTERVALS TO MATCH WIDTH OF WALK NOT TO EXCEED 5 FEET SPACING IN BOTH THE LONGITUDINAL AND TRANSVERSE DIRECTION FOR SIDEWALK GREATER THAN 5 FEET IN WIDTH. INSTALL EXPANSION JOINTS EVERY 10 FEET IN LONGITUDINAL DIRECTION.
 - 1/2" TRANSVERSE PREFORMED BITUMINOUS JOINTS AT THE TERMINUS POINTS FOR CURVE AND WHERE SIDEWALK IS PLACED BETWEEN TWO PERMANENT FOUNDATIONS OR ADJACENT TO THE STRUCTURE. PLACE 1/2" EXPANSION JOINT MATERIAL ALONG THE BACK OF WALK THE FULL LENGTH.
 - SIDEWALK CONSTRUCTION JOINTS SHALL BE CONSTRUCTED APPROXIMATELY 1/2" WIDE, 3/4" IN DEPTH AND FINISHED AND EDGED SMOOTH. A PREFORMED EXPANSION JOINT FILLER SHALL BE PLACED EVERY 40' FOR NEW SIDEWALK CONSTRUCTION.
 - WHEN TRANSITIONING NEW SIDEWALK TO EXISTING, A MINIMUM 5' TRANSITIONAL PANEL SHALL BE SEPARATED AND ISOLATED WITH EXPANSION MATERIAL.
 - SIDEWALK ALIGNMENT TRANSITIONS SHALL HAVE A MINIMUM RADIUS OF 30' TO THE FACE OF CURB.
 - MATERIALS SHALL CONFORM WITH CURRENT ISPCW STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 - CONCRETE THICKNESS PER THIS DETAIL OR MATCH EXISTING, WHICHEVER IS GREATER.

5
C1.1 **TYPICAL CONCRETE SECTION**
N.T.S.



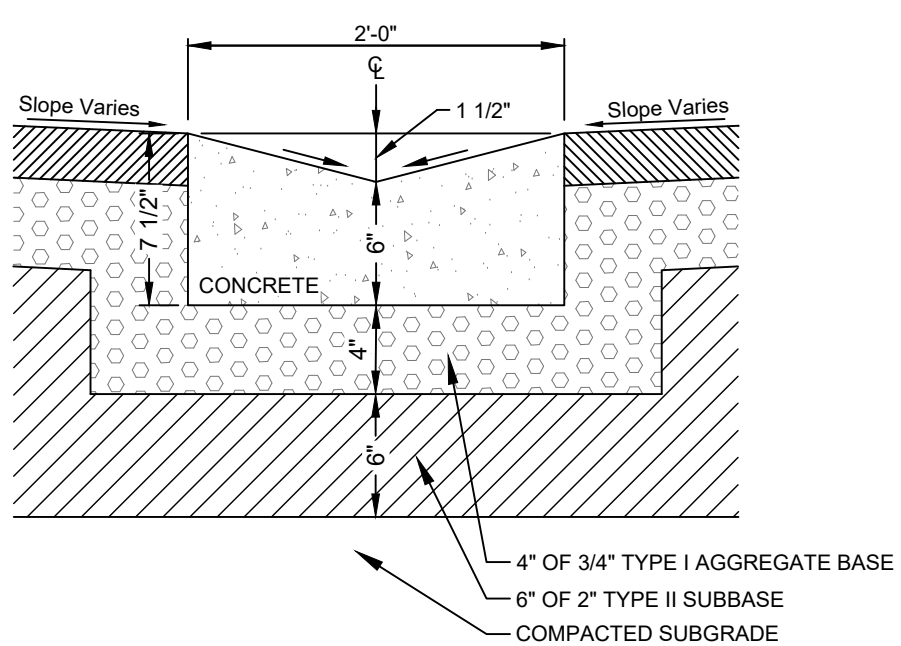
- CATCH BASIN INSTALLATION NOTES:**
- A PRIMARY CATCH BASIN IS DEFINED AS THE FIRST STORM STRUCTURE UPSTREAM OF A DRYWELL. A SATELLITE CATCH BASIN IS DEFINED AS THE STORM STRUCTURE UPSTREAM OF THE PRIMARY CATCH BASIN.
 - THE OIL & DEBRIS TRAP SHALL BE INSTALLED ON THE OUTLET OF THE PRIMARY CATCH BASIN ONLY, NOT ON SATELLITE CATCH BASINS.
 - PLACE A MINIMUM OF 4" OF COMPACTED BEDDING ON PREPARED SUBGRADE AS SPECIFIED IN ISPCW SECTION 305 - PIPE BEDDING. EXTEND BEDDING EITHER TO THE LIMITS OF THE EXCAVATION OR AT LEAST 12" OUTSIDE THE LIMITS OF THE BASE SECTION.
 - FILL THE BALANCE OF THE EXCAVATED AREA WITH SELECT MATERIAL COMPACTED LEVEL TO THE TOP OF THE BEDDING.
 - PROVIDE A SMOOTH AND LEVEL BEARING SURFACE ON THE BEDDING SURFACE.

6
C1.1 **30\"/>**



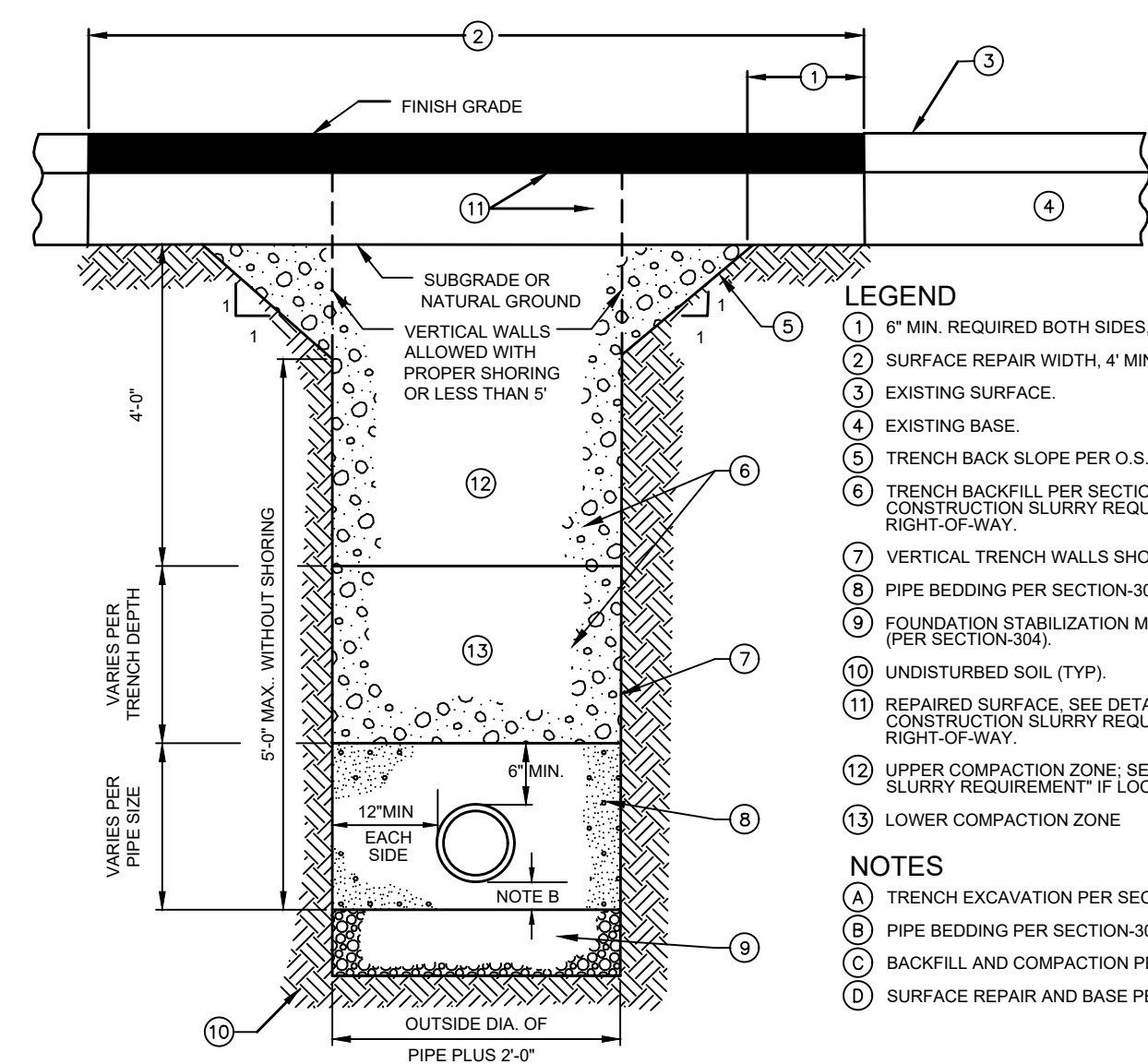
- NOTES:**
- THE BED SHALL BE EXCAVATED A MINIMUM OF 24" INTO CLEAN SAND AND GRAVEL.
 - MAXIMUM DEPTH SHALL NOT EXCEED 12 FEET.
 - IF CLEAN SAND AND GRAVEL IS NOT ENCOUNTERED WITHIN 12 FEET, THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER.
 - GRATE OR SOLID LID AS APPROVED BY CITY OF KETCHUM.

7
C1.1 **DRYWELL DETAIL (6' Ø)**
N.T.S.



- NOTES:**
- SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
 - MATERIALS SHALL CONFORM WITH CURRENT ISPCW STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
 - 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADI.
 - CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FEET MAXIMUM SPACING (8-FEET W/SIDEWALK).

9
C1.1 **24\"/>**



- LEGEND**
- 6" MIN. REQUIRED BOTH SIDES, SAWCUT REQUIRED.
 - SURFACE REPAIR WIDTH, 4" MINIMUM.
 - EXISTING SURFACE.
 - EXISTING BASE.
 - TRENCH BACK SLOPE PER O.S.H.A. OR SUITABLE SHORING.
 - TRENCH BACKFILL PER SECTION-306 OR SEE "KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT" IF LOCATED WITHIN PUBLIC RIGHT-OF-WAY.
 - VERTICAL TRENCH WALLS SHORING PER O.S.H.A.
 - PIPE BEDDING PER SECTION-305 (SEE SD-302).
 - FOUNDATION STABILIZATION MAY VARY PER SOIL TYPE AND STABILITY (PER SECTION-304).
 - UNDISTURBED SOIL (TYP).
 - REPAIRED SURFACE, SEE DETAILS 1 AND 2, SEE "KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT" IF LOCATED WITHIN PUBLIC RIGHT-OF-WAY.
 - UPPER COMPACTION ZONE, SEE "KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT" IF LOCATED WITHIN PUBLIC RIGHT-OF-WAY.
 - LOWER COMPACTION ZONE.
- NOTES**
- TRENCH EXCAVATION PER SECTION-301.
 - PIPE BEDDING PER SECTION-305.
 - BACKFILL AND COMPACTION PER SECTION-306.
 - SURFACE REPAIR AND BASE PER DETAIL 3/C20.

KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT
IN AREAS WHERE IT IS NECESSARY TO CUT THE ASPHALT AND DIG A TRENCH FOR BURIAL OF CONDUIT CABLE OR OTHER CITY UTILITY, THE TRENCH SHALL BE BACKFILLED WITH A LEAN CONCRETE MIX TO THE BOTTOM OF FINISH SURFACE MATERIAL WITH THE FOLLOWING PROPORTIONS OF MATERIALS:

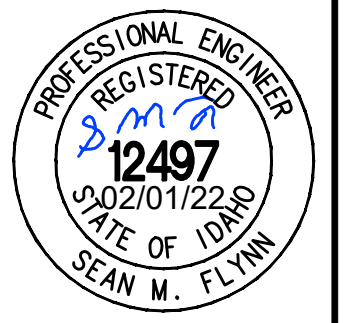
COARSE AGGREGATE (1/2" MINUS)	2,600 LBS.
SAND	800 LBS.
PORTLAND CEMENT	94 LBS.
WATER	11 GAL (MAX.)

WATER CONTENT IS MAXIMUM AND MAY BE REDUCING DOWNWARD. CARES SHALL BE TAKEN TO ASSURE THAT EXCESS WATER IS NOT PRESENT IN THE MIXING DRUM PRIOR TO CHARGING THE MIXER WITH MATERIALS. THOROUGH MIXING WILL BE REQUIRED PRIOR TO DISCHARGE.

NO COMPACTION, VIBRATION OR FINISHING IS REQUIRED. THE LEAN CONCRETE MIX SHALL BE STRUCK OFF AT OR BELOW THE ELEVATION OF THE PLANT MIX SURFACING WITH A SQUARE-NOSE SHOVEL OR SIMILAR HAND TOOL. THE BACKFILL MIX SHALL BE ALLOWED TO SET FOR A MINIMUM OF 2 HOURS BEFORE THE PERMANENT PLANT MIX SURFACING IS PLACED TO COMPLETE THE TRENCH REPAIR. TEMPORARY PLACEMENT OF ASPHALT COLD MIX SURFACING MAY BE NECESSARY TO ACCOMMODATE TRAFFIC WITHIN THE FIRST 2 HOURS OF BACKFILL PLACEMENT PRIOR TO COMPLETING THE PERMANENT REPAIR.

10
C1.1 **TYPICAL TRENCH SECTION**
N.T.S.

BOHICA MULTI-USE
131 WASHINGTON AVE
DETAIL SHEET
LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR BOHICA IDAHO, LLC



DESIGNED BY
CT
DRAWN BY
SMF
CHECKED BY

GALENA
ENGINEERING, INC.
Civil Engineers & Land Surveyors
317 N. River Street
Halley, Idaho 83333
(208) 768-1705
email: galena@galena-engineering.com

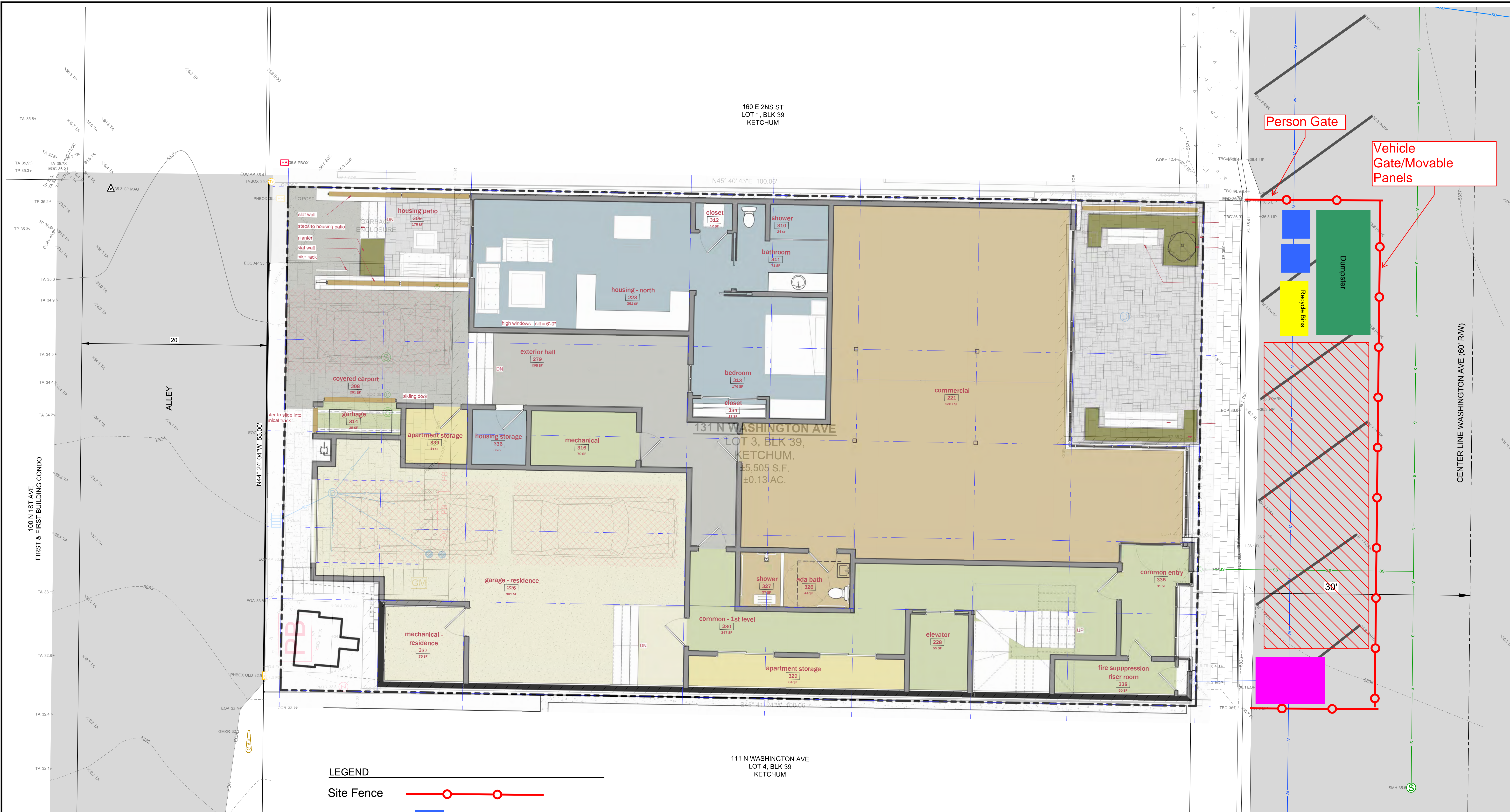
NO.	DATE	BY	REVISIONS

C1.1

REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any project or extension of this project except by agreement in writing with Galena Engineering, Inc.

PROJECT INFORMATION
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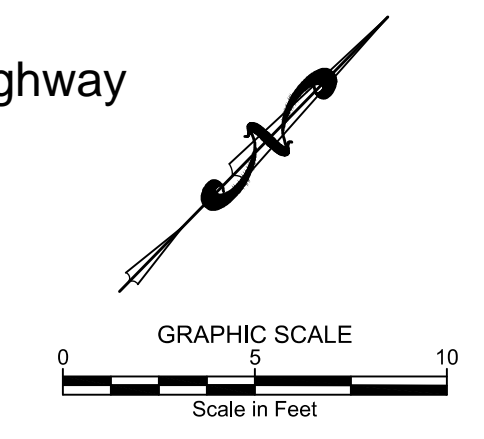
REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any project or extensions of this Project except by agreement in writing with Calvea Engineering, Inc.



LEGEND

Site Fence	
Temp. Toilet	
Dumpster	
Recycle Bins	
Construction Staging Area	
Concrete Washout	

- NOTES**
- 1) Parking off-site and at Washington & 1st pay parking lot.
 - 2) Trucking route will be via Streets through 2nd Ave. to Highway



**LOT 3, BLK 39, KETCHUM
131 WASHINGTON AVE
Construction Activity Plan**

LF DESIGNED BY
AM
DRAWN BY
LF
CHECKED BY

H. L. Fieguth Construction, Inc.
Office: (208) 788-6064 Call: (208) 306-5333

PURPOSE:	NO.	DATE	BY	REVISIONS
	00	12/28/21	AM	Construction Activity Plan

CA-001

General Notes

1. Base map information taken from survey by Galena Engineering dated 12/12/21 and from on-site information. Architectural information provided by Brunelle Architects dated 02/01/22. Contractor shall verify conditions in the field prior to construction.
2. Landscape architect is not responsible for any deviation from these plans, unless such changes are authorized by the landscape architect in writing.
3. All existing utilities are underground. All new utilities shall be underground.
4. Site serviced by City of Ketchum.

Bike Rack, R-8224-FL

Drop-In Anchor Installation:
 1) Use a cordless drill (conforming to ANSI B 232.15) to drill 5/8" x 2" hole (dia. x depth)
 2) Clean drill hole of debris
 3) Insert anchor into drill hole
 4) Use hammer and proper setting tool (for 1/2" Drop-In Anchor from UCAW) to drive plug down
 5) Puller button head screw (Maximum torque 22 ft. x 100)
 * Substitute a narrow punch tool at installer's risk.

General Description:
 The R-8224-FL Circular Bike Rack offers a narrow design, making it suitable for sidewalks and other pedestrian areas. The round, ring shape offers 2-point contact with bike frames to avoid tipping and is long enough to accommodate a U-lock or cable through each tire and bike frame. Small circular bike racks in series for custom, high-capacity bike corrals. Circular bike racks are made from carbon steel and feature durable powder coating to prevent corrosion and wear. Select from 1 of 6 custom colors. Roll-down flanges for existing concrete surfaces.

Specifications:
 Height: 32 1/2"
 Cross Span: 35 1/2"
 Weight: 32 lbs
 Material: Steel

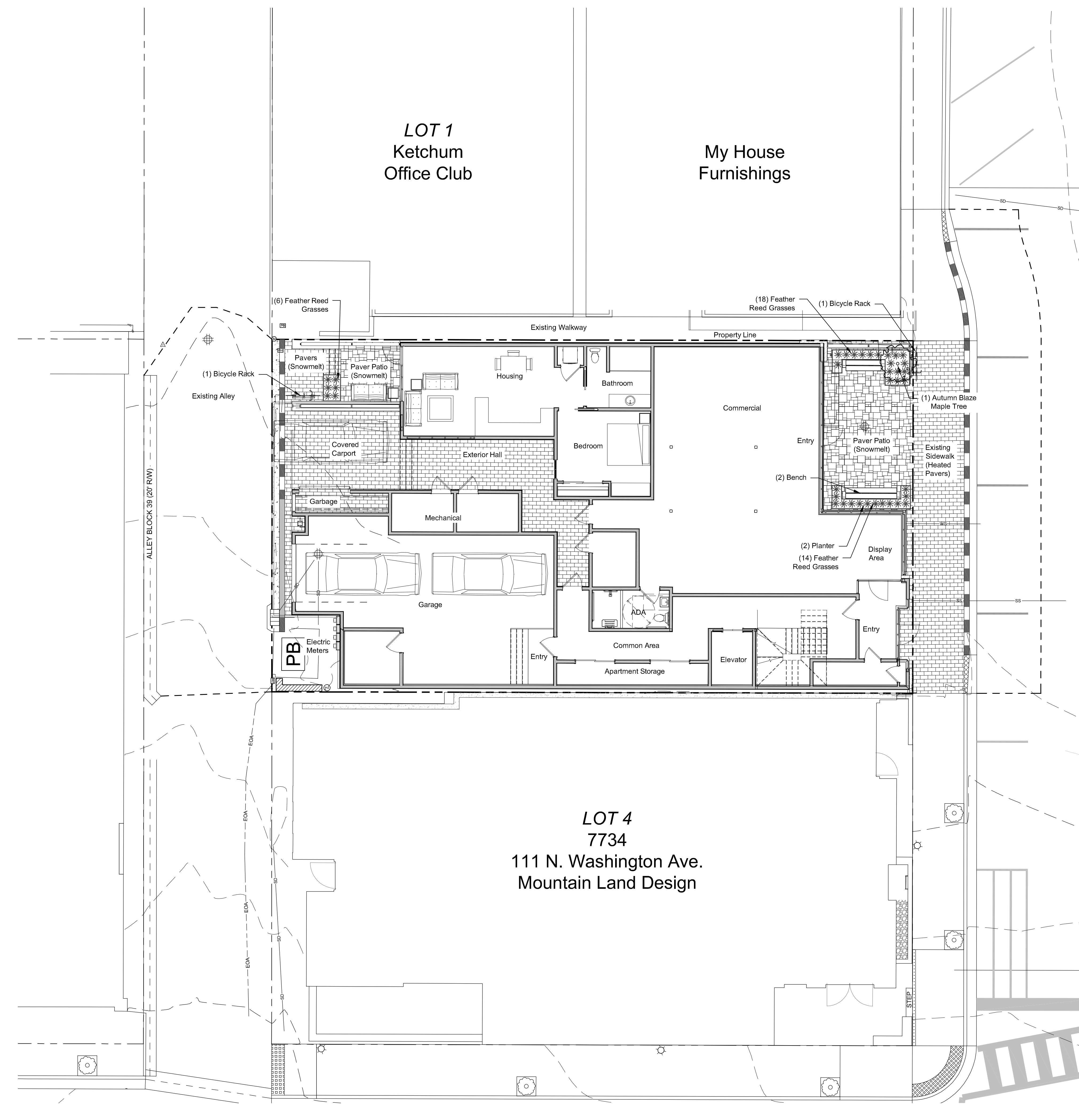
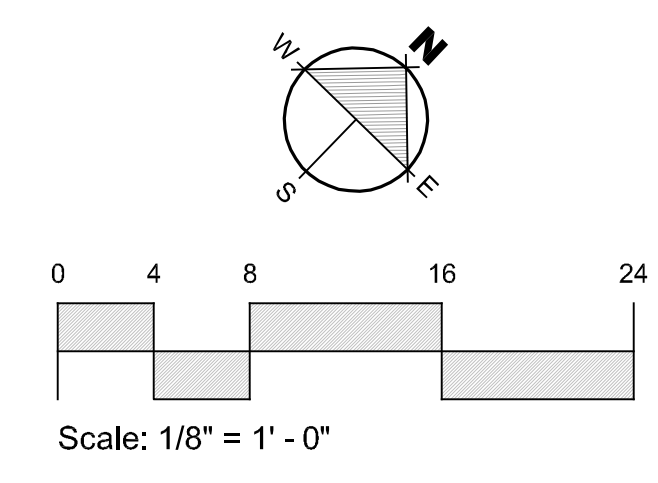
Finish Options:
 ✓ Polyester Powdercoated
 See Reliance Foundry's website color options at www.reliance-foundry.com/color-options-selects

Notes:
 • Embedment details are for reference illustration only. Minimum foundation sizes depend on local soil conditions, weather conditions and engineering requirements.
 • Bike rack is provided as shown with parts listed below. Concrete foundation and/or installation not provided by Reliance Foundry.
 • This drawing is not drawn to scale. Dimensions provided herein are for reference only. Please consult Reliance Foundry sales professionals if any dimension is critical to your particular installation.
 • Reliance Foundry reserves the right to amend design and specifications without prior notice for product improvement.

RELIANCE FOUNDRY
 USA 203 4160 - 148 Street, Surry, NC 27577, Canada 1-877-989-1245 info@reliance-foundry.com www.reliance-foundry.com

Plan Legend

- Property Line
- Existing Contour
- Utilities (PB, G)
- Drywell
- Pavers
- Patio Pavers
- Asphalt





existing north elevation



existing east elevation



existing north east view



existing north west view



existing south west view



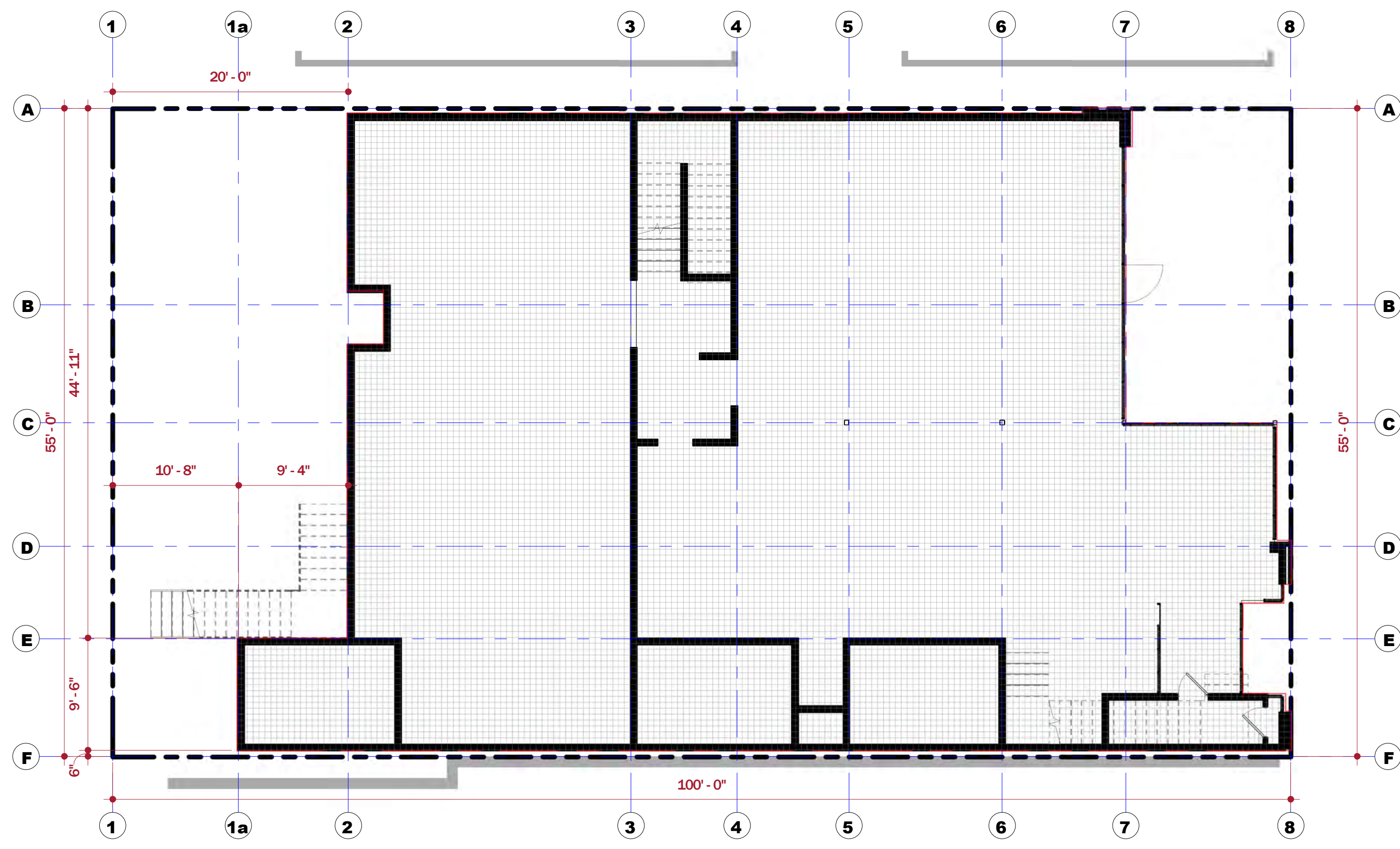
myhouse furnishings



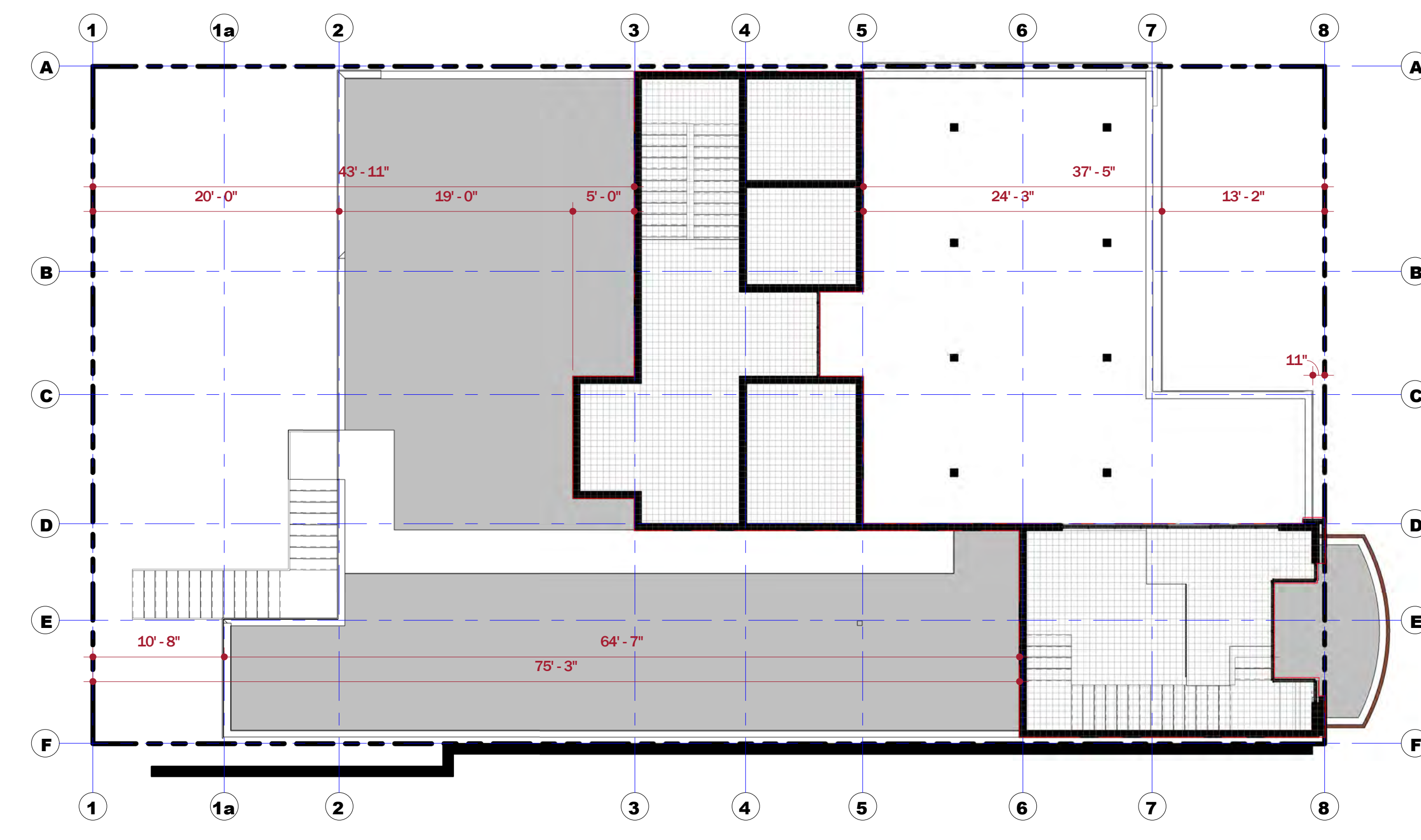
myhouse furnishings / Ketchum Office Club



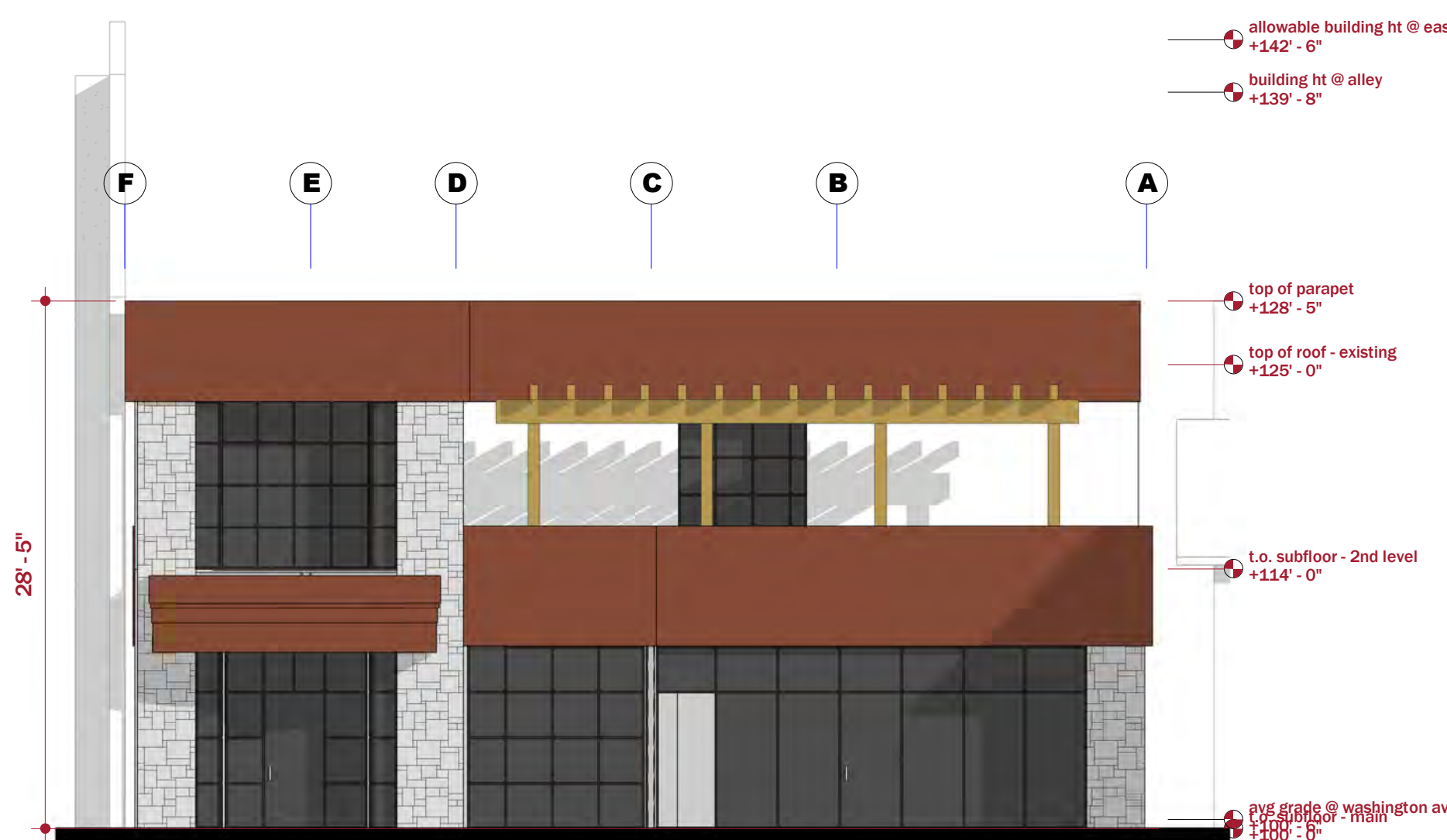
Mountain Land Design



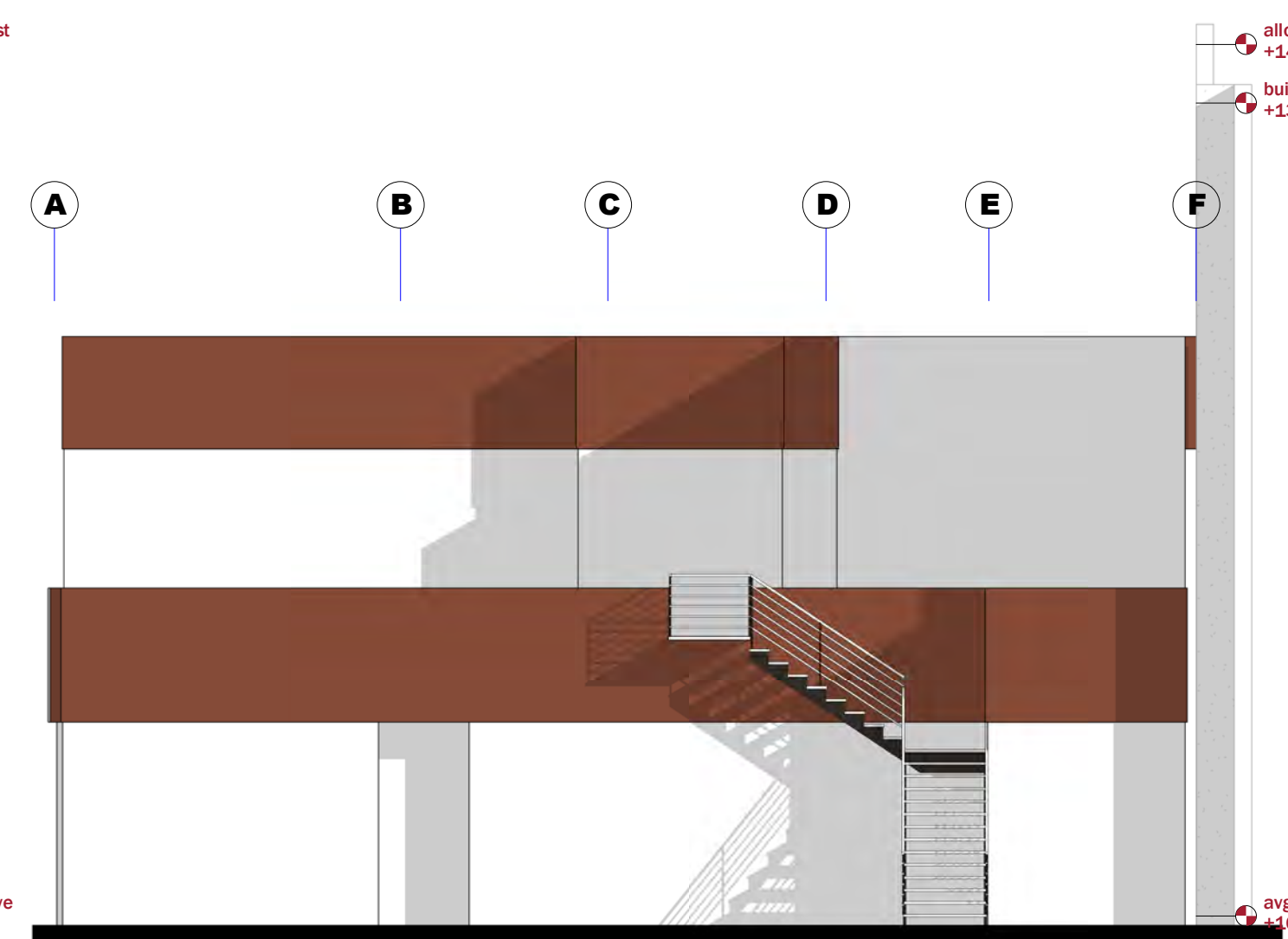
1 Floor Plan - 1st Floor - Existing
A-002 1/8" = 1'-0"



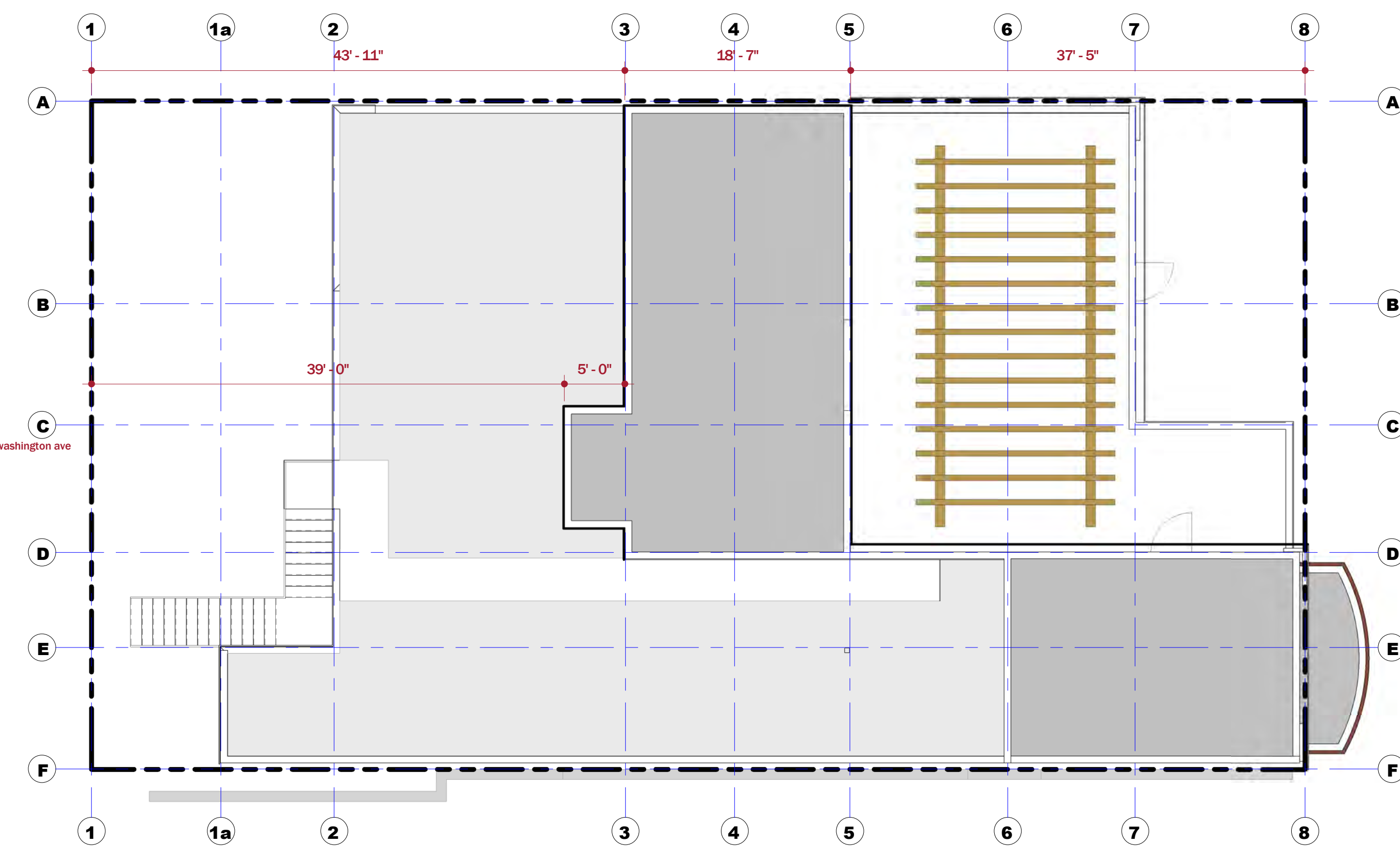
2 Floor Plan - 2nd Floor - Existing
A-002 1/8" = 1'-0"



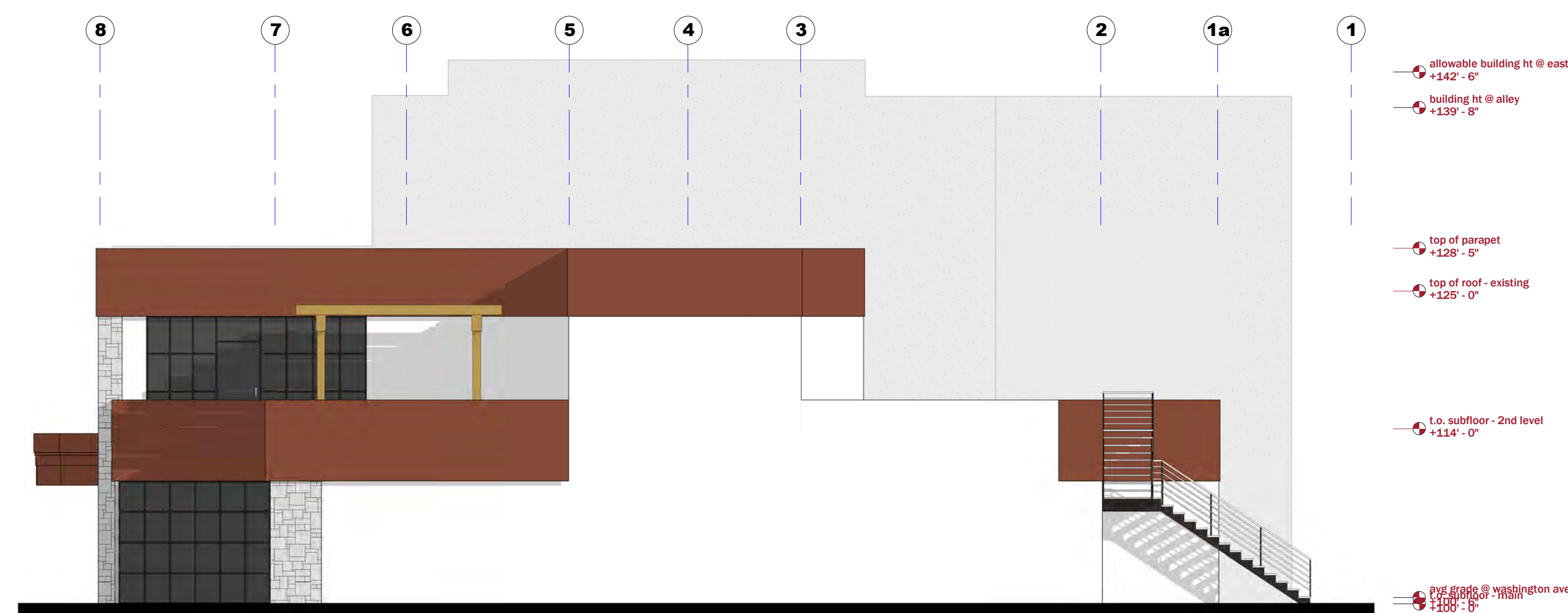
4 exterior elevation - existing - east
A-002 1/8" = 1'-0"



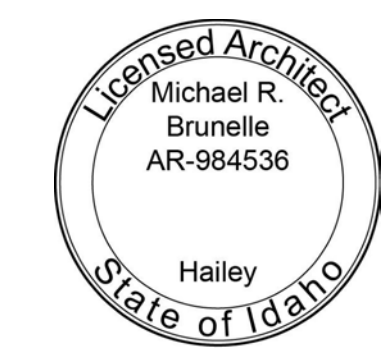
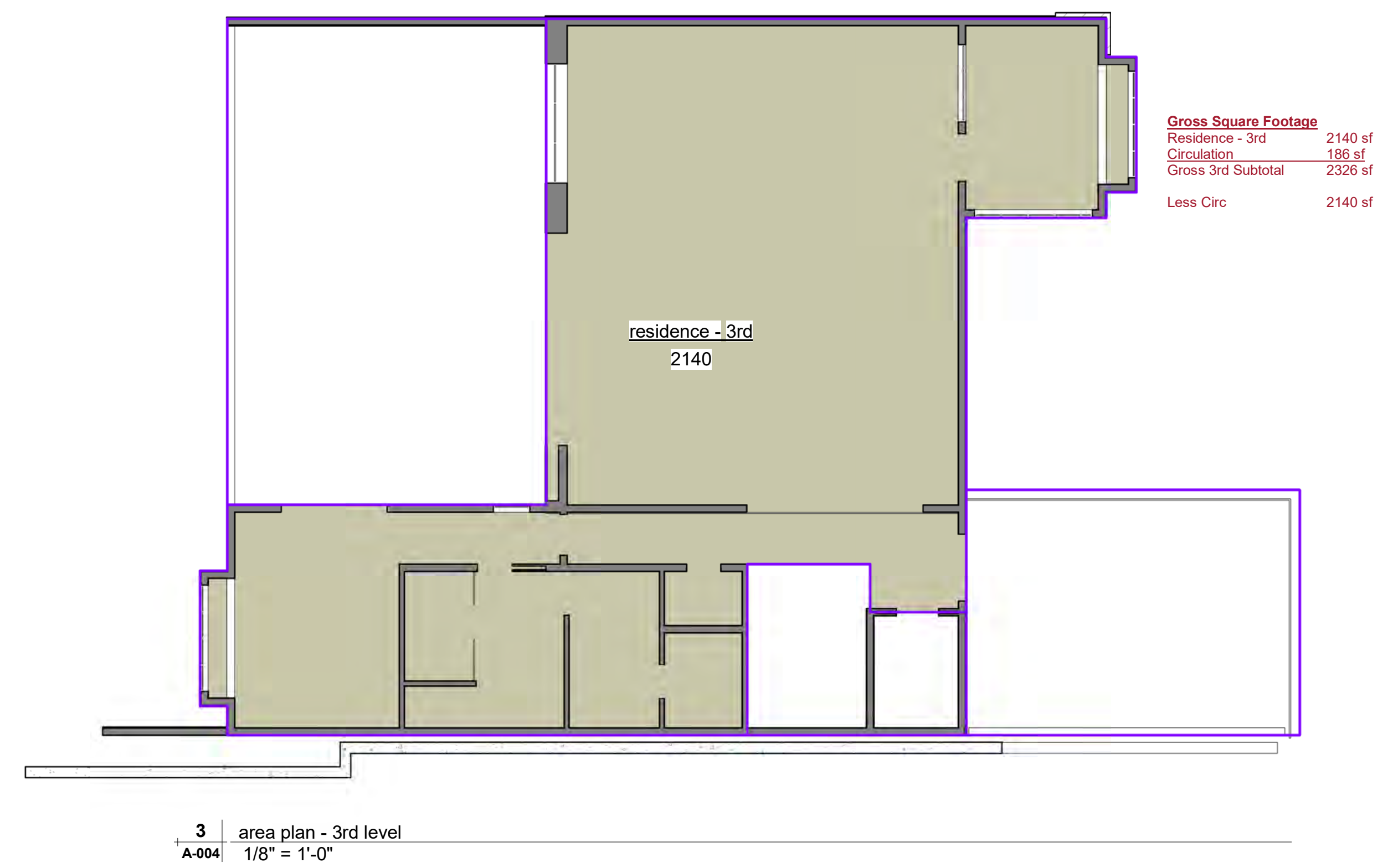
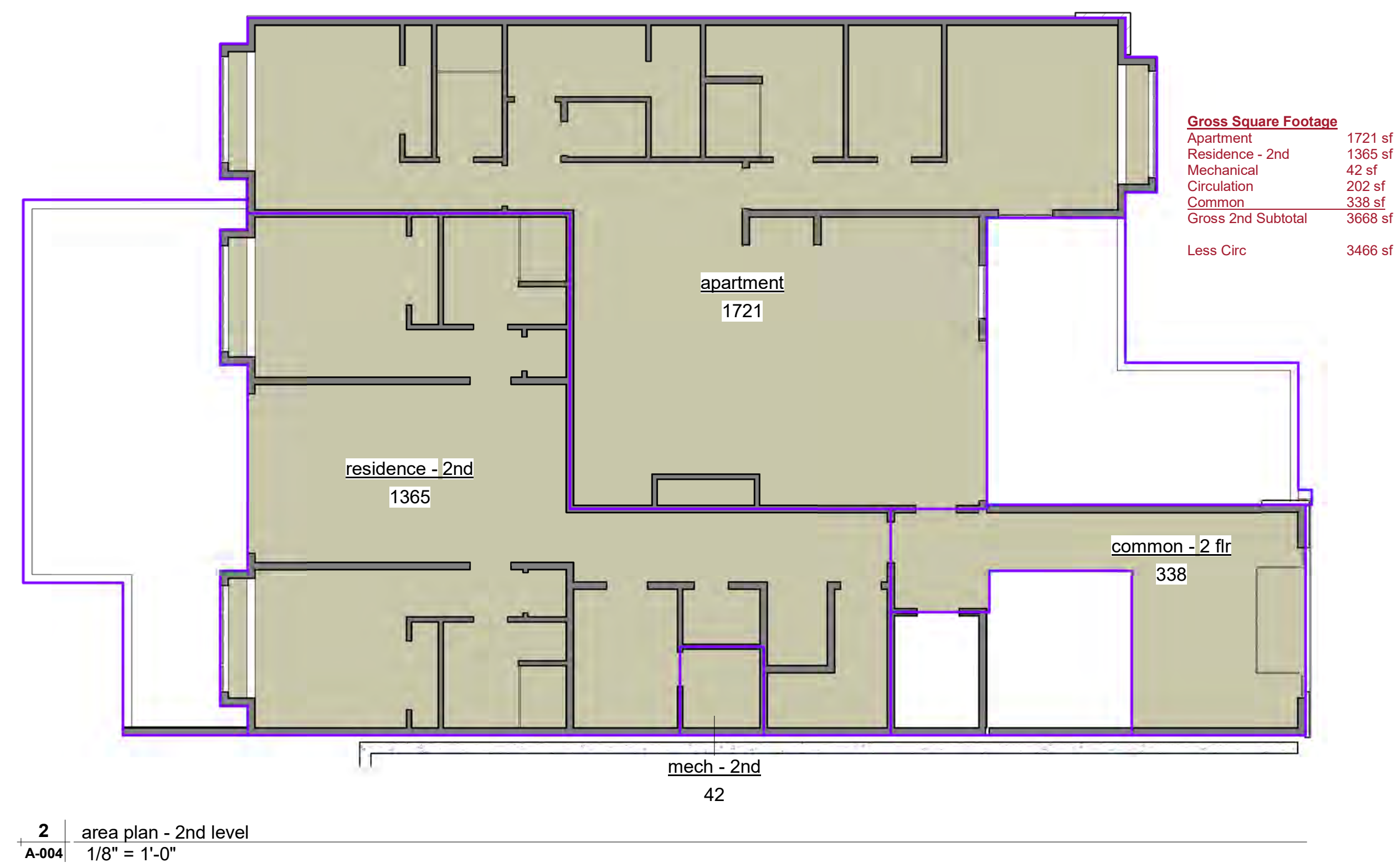
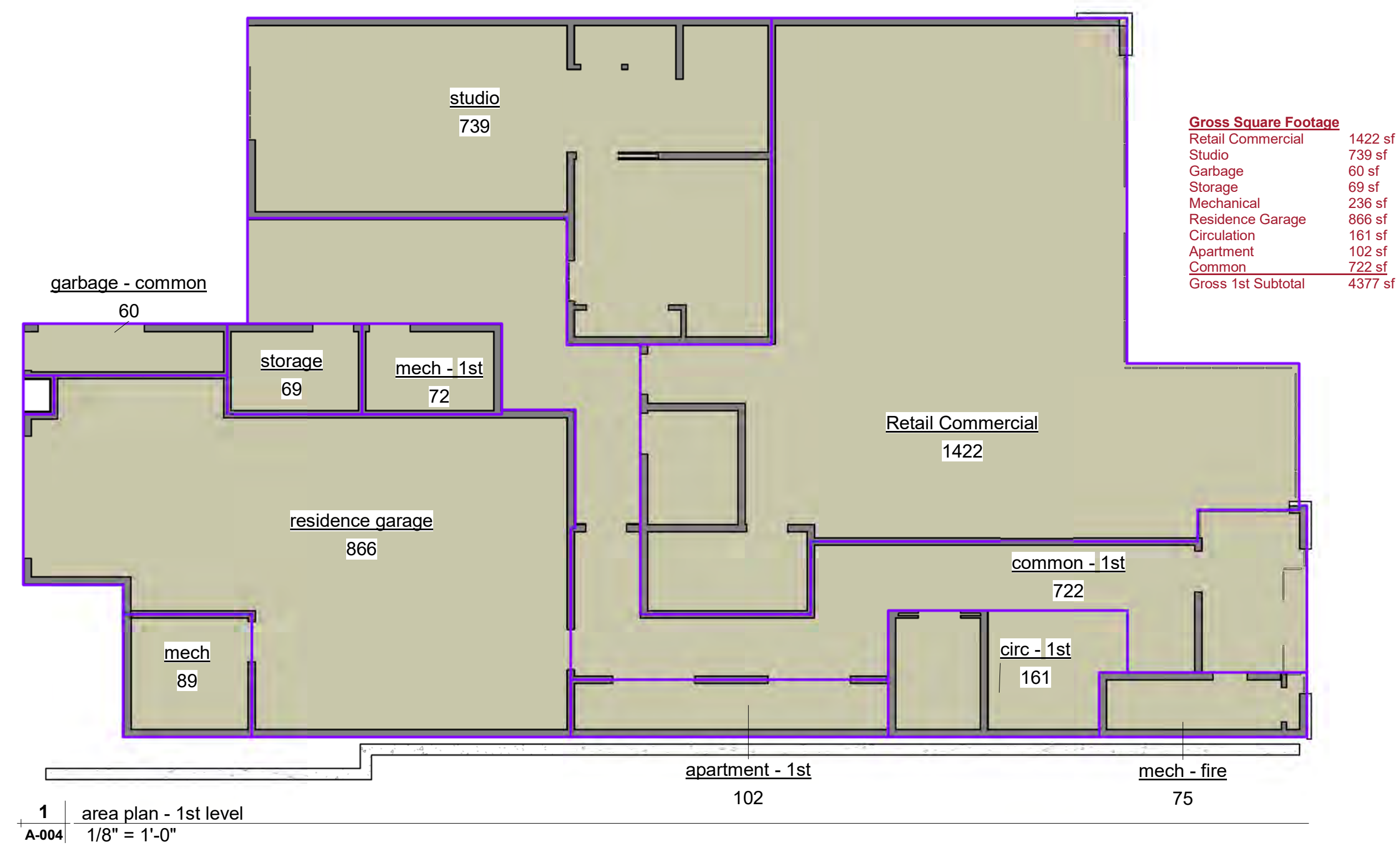
6 exterior elevation - existing - west
A-002 1/8" = 1'-0"



3 Roof Plan - Existing
A-002 1/8" = 1'-0"



5 exterior elevation - existing - north
A-002 1/8" = 1'-0"



floor areas

SCALE: 1/8" = 1'-0"

A-004

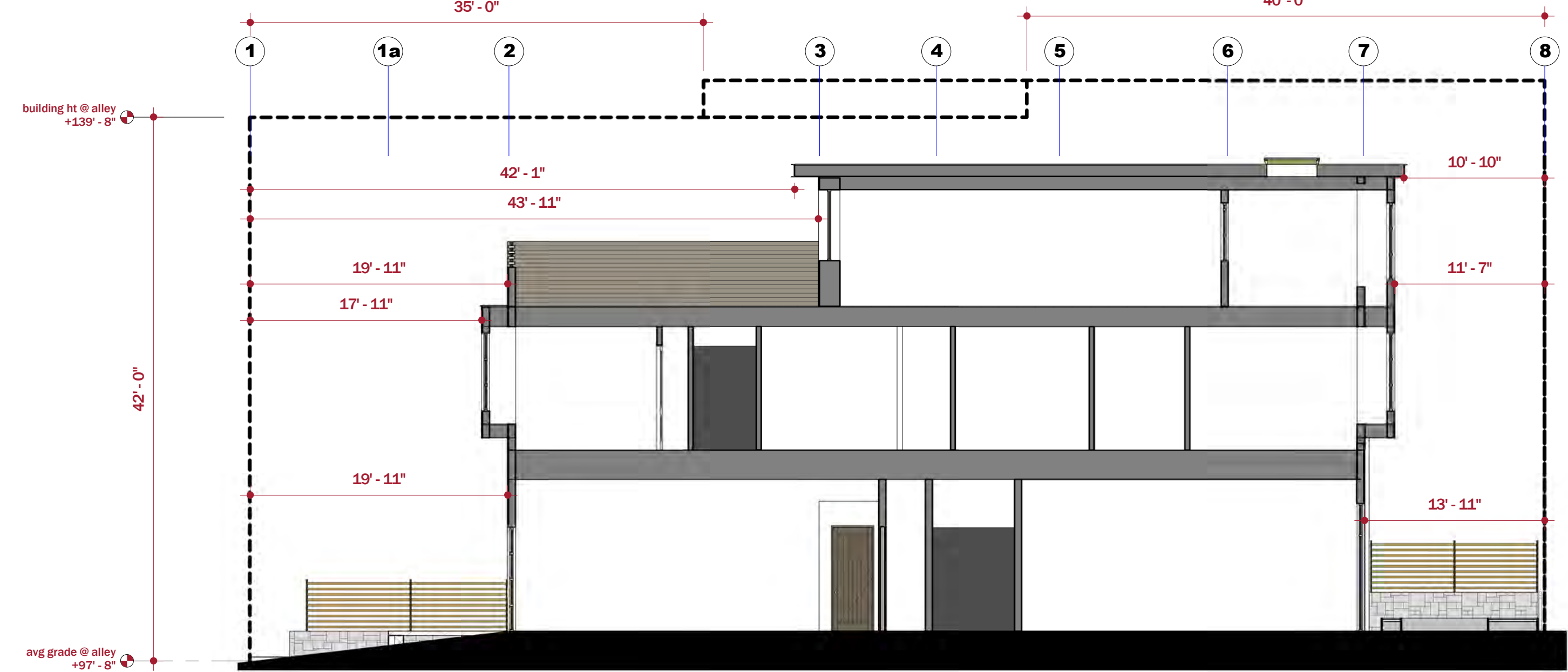
DRAWN BY: Author

Average Grade Calculation

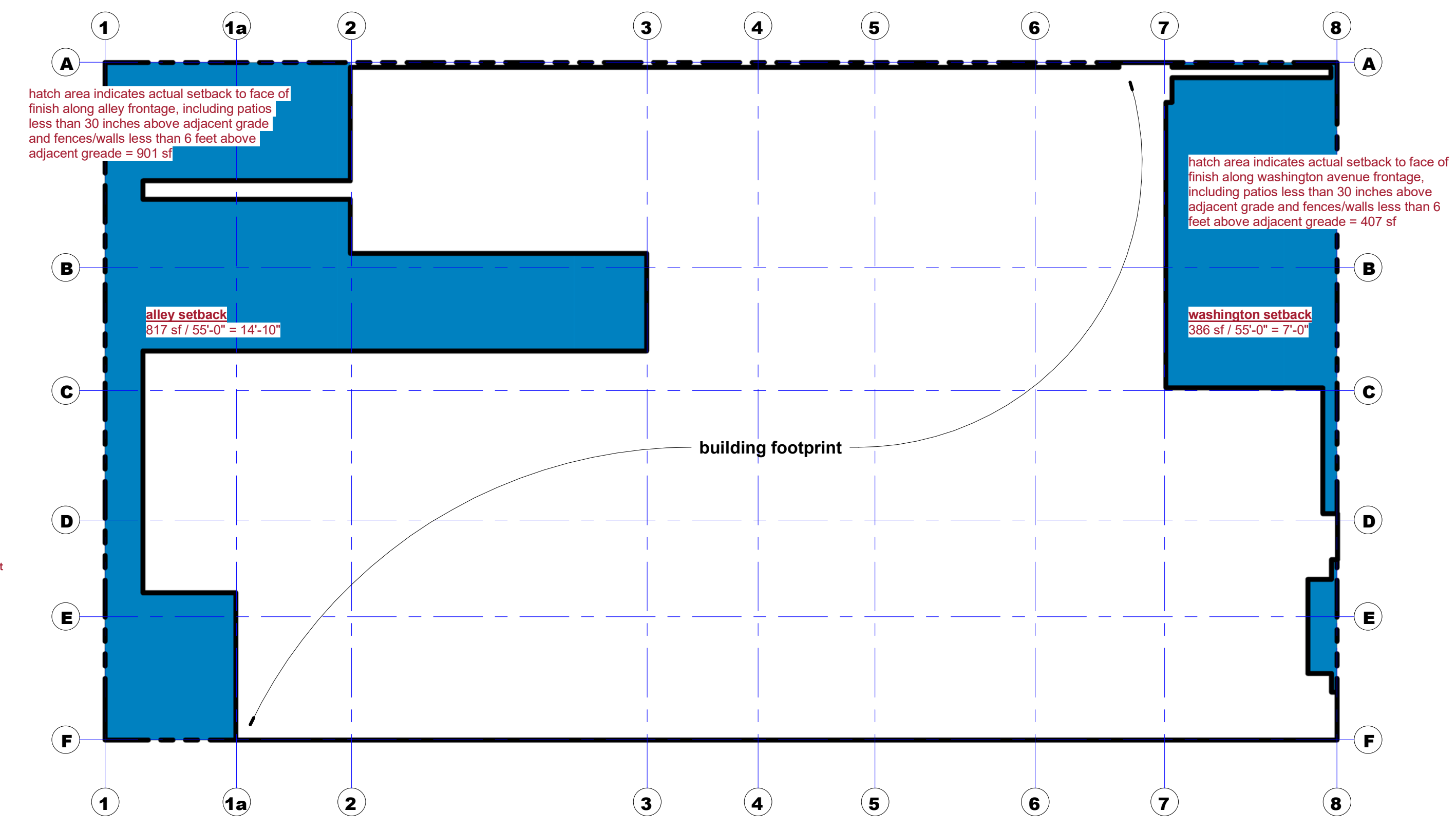
Grade 5836.0 ft = 100'-0"

Alley (West)
Grade @ Grid 1/A = 5835.4
Grade @ Grid 1/F = 5833.0
11668.4 / 2 = 5834.2 ft (97'-8")

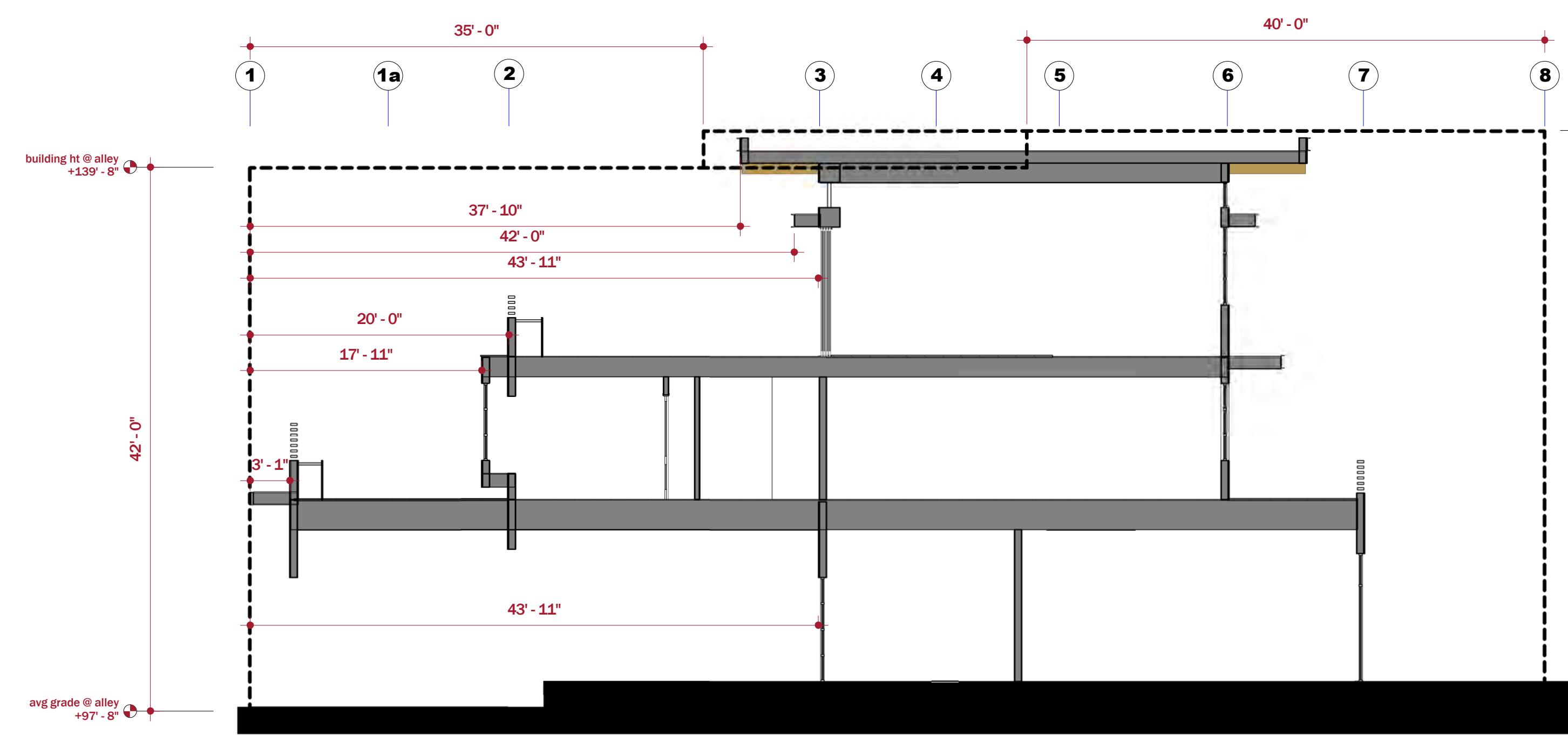
Washington Ave (East)
Grade @ Grid 8/A = 5837.0
Grade @ Grid 8/F = 5836.0
11673 / 2 = 5836.5 ft (100'-6")



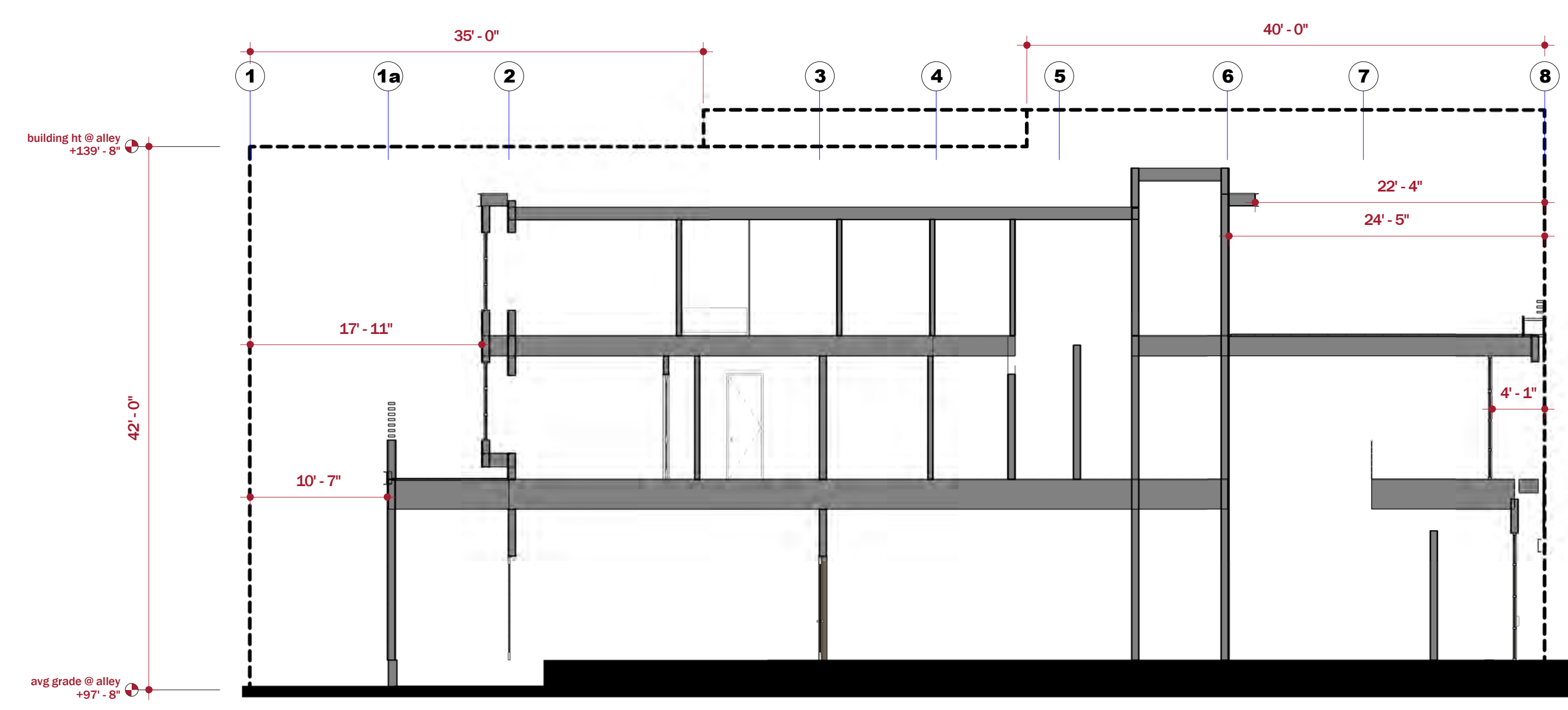
1 setback section - 1
A-101 1/8" = 1'-0"



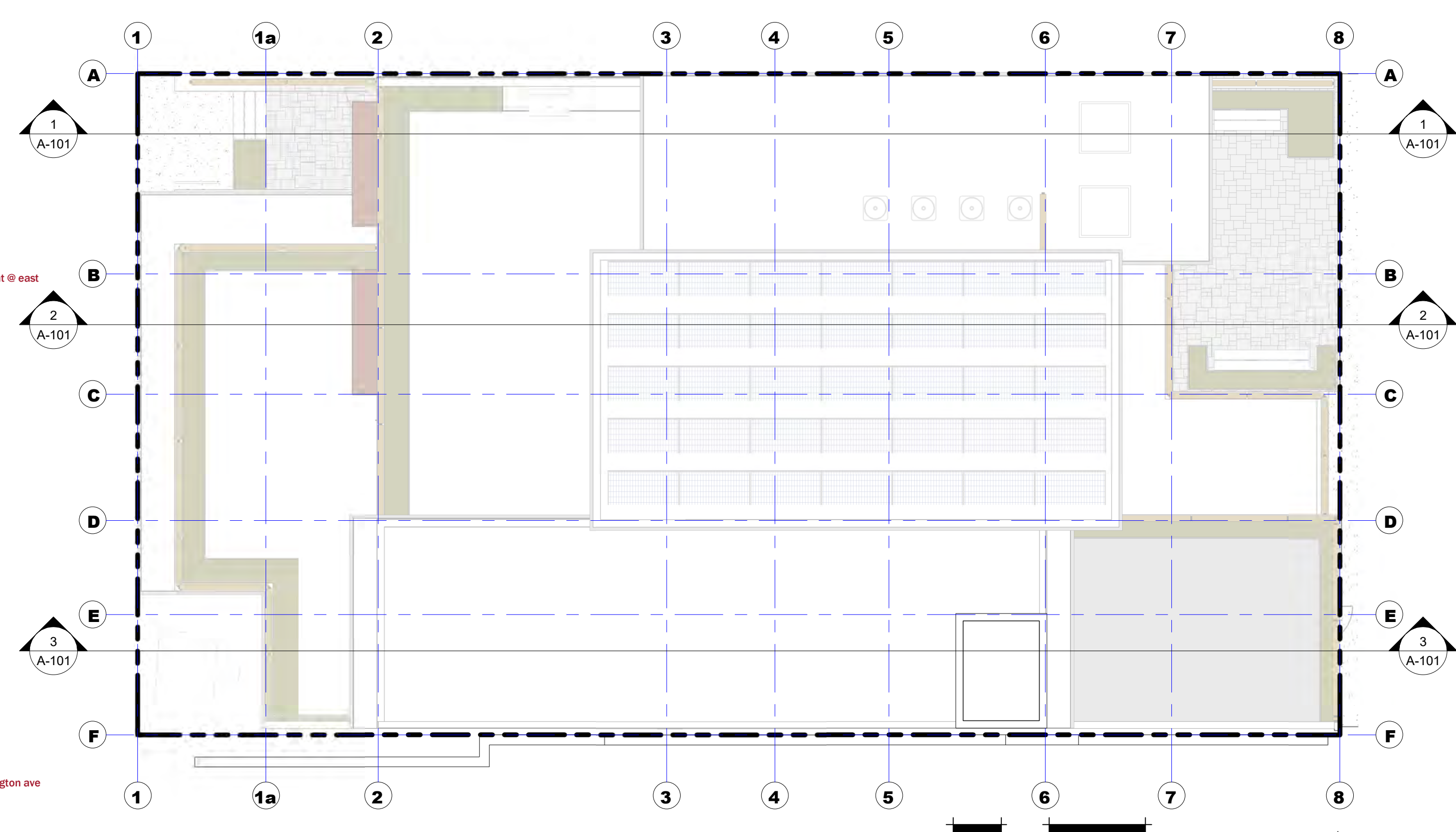
5 Average Frontage Calculation
A-101 1/8" = 1'-0"



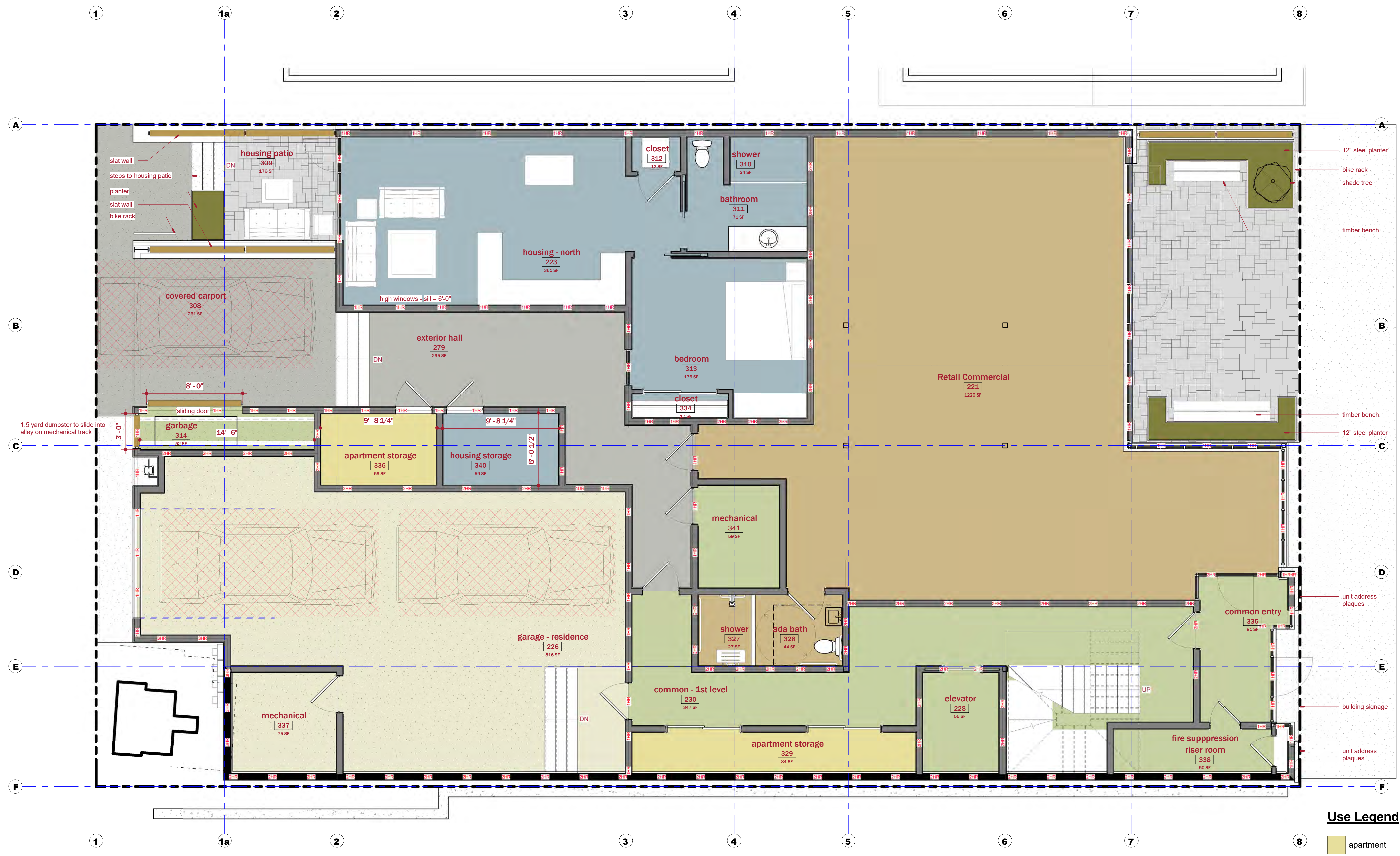
2 setback section - 2
A-101 1/8" = 1'-0"



3 setback section - 3
A-101 1/8" = 1'-0"



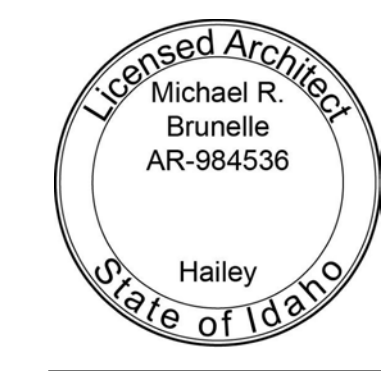
4 setback section diagram
A-101 1/8" = 1'-0"



Use Legend

- apartment
- commercial
- common
- exterior spaces
- residence
- studio

1 floor plan - 1st level
A-102 1/4" = 1'-0"



floor plan

SCALE: 1/4" = 1'-0"

A-102

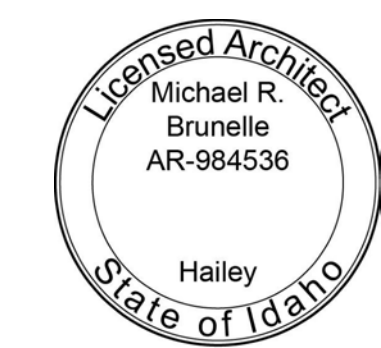
DRAWN BY: Author



Use Legend

- apartment
- common
- exterior spaces
- residence

1 floor plan - 2nd level
A-103 1/4" = 1'-0"



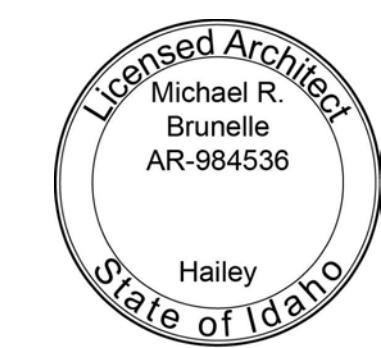
floor plan



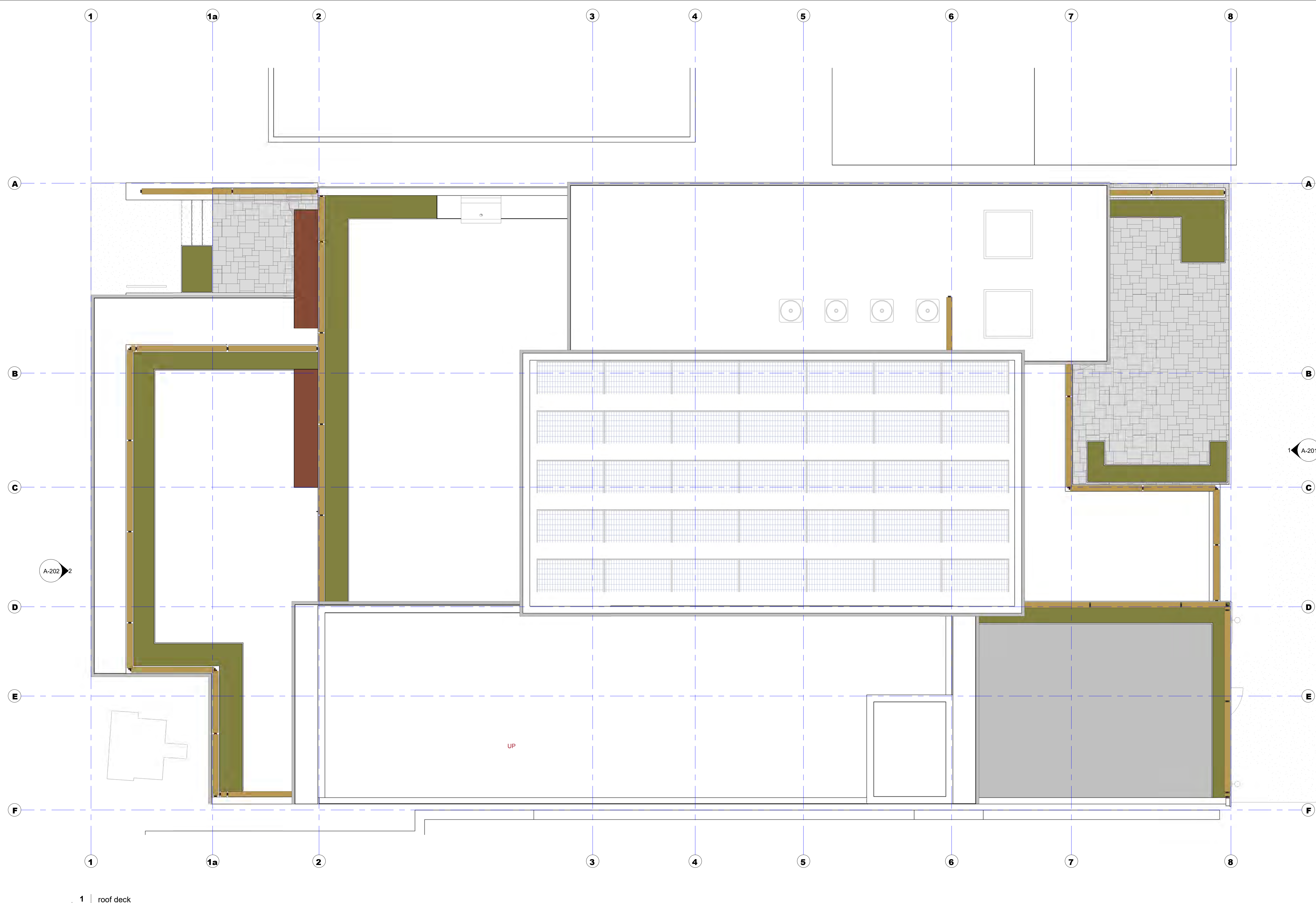
Use Legend

- common
- exterior spaces
- residence

1 floor plan - 3rd level
A-104 1/4" = 1'-0"



floor plan



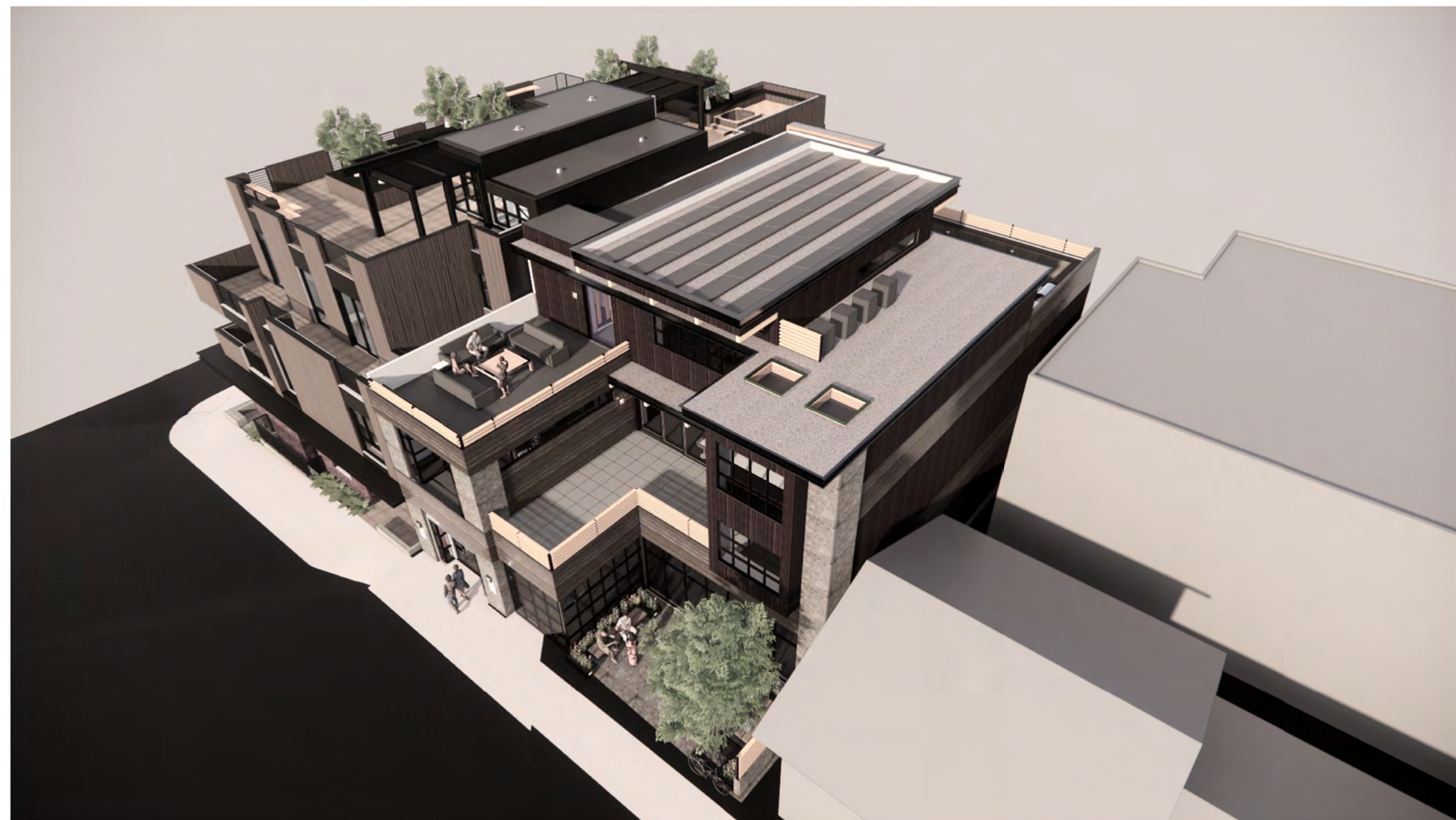
1 roof deck
A-105 1/4" = 1'-0"



1 East Perspective
A-200 12" = 1'-0"



2 ne perspective
A-200 12" = 1'-0"



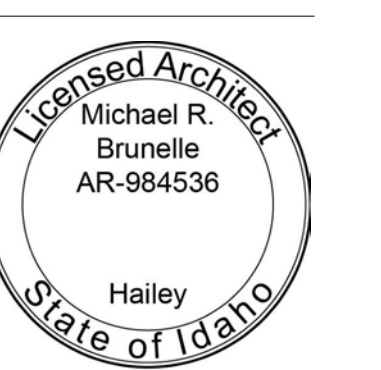
3 ne birdseye
A-200 12" = 1'-0"



4 nw birdseye
A-200 12" = 1'-0"



5 nw perspective
A-200 12" = 1'-0"



renderings

SCALE: 12" = 1'-0"

A-200

DRAWN BY: Author

PROJECT:
Bohica Building

131 N Washington Ave
Ketchum, ID 83340

DATE: 03/15/22
PROJECT NO:
REVISION: DATE:

NOTES:



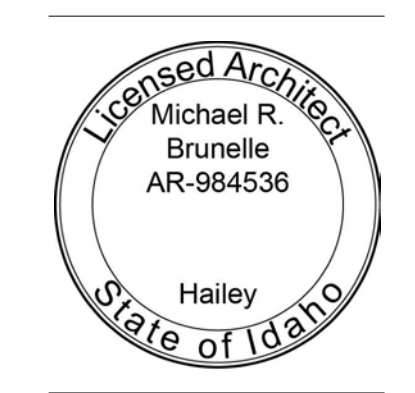
1 housing patio
A-200a 12" = 1'-0"



2 East Perspective
A-200a 12" = 1'-0"



3 east patio perspective
A-200a 12" = 1'-0"



renderings

SCALE: 12" = 1'-0"

A-200a

DRAWN BY: Author



1 Elevation - East
A-201 1/4" = 1'-0"



MAT 1 - Metal - unpainted, sealed steel



MAT 2 - Drystack stone veneer



MAT 3 - Timbers / Handrail (horizontal members) - rough sawn, cedar, stained Hewn.com 'Saddle'



MAT 4 - Wood siding, Kebony, 1x6 vertical shiplap, color to be Hewn.com Krakatoa



MAT 5 - Roofing - stone ballasted



MAT 6 - Wood siding, Kebony, 1x4 horizontal shiplap, color to be Hewn.com Peruvian



MAT 7 - Metal cladding, match existing (windows and doors), Handrail posts



MAT 8 - Stucco, match existing





2 | Elevation - West
A-202 | 1/4" = 1'-0"



MAT 1 - Metal - unpainted, sealed steel



MAT 2 - Drystack stone veneer



MAT 3 - Timbers / Handrail (horizontal members) - rough sawn, cedar, stained Hewn.com 'Saddle'



MAT 4 - Wood siding, Kebony, 1x6 vertical shiplap, color to be Hewn.com Krakatoa



MAT 5 - Roofing - stone ballasted



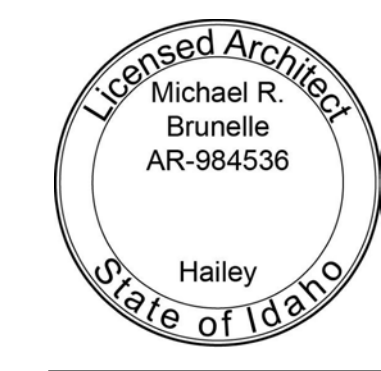
MAT 6 - Wood siding, Kebony, 1x4 horizontal shiplap, color to be Hewn.com Peruvian

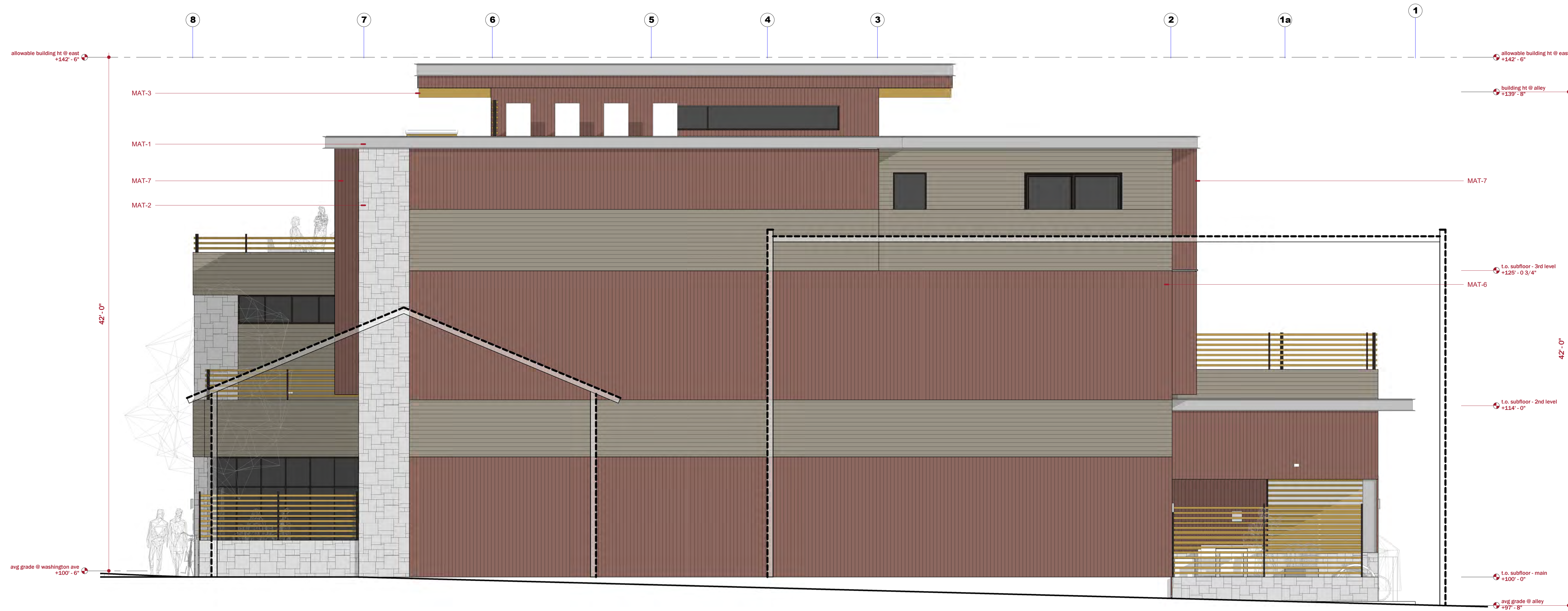


MAT 7 - Metal cladding, match existing (windows and doors), Handrail posts



MAT 8 - Stucco, match existing





1 Elevation - North
A-203 1/4" = 1'-0"



MAT 1 - Metal - unpainted, sealed steel



MAT 2 - Drystack stone veneer



MAT 3 - Timbers / Handrail (horizontal members) - rough sawn, cedar, stained Hewn.com 'Saddle'



MAT 4 - Wood siding, Kebony, 1x6 vertical shiplap, color to be Hewn.com Krakatoa



MAT 5 - Roofing - stone ballasted



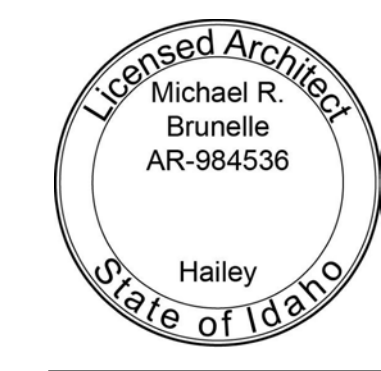
MAT 6 - Wood siding, Kebony, 1x4 horizontal shiplap, color to be Hewn.com Peruvian



MAT 7 - Metal cladding, match existing (windows and doors), Handrail posts



MAT 8 - Stucco, match existing



elevations

SCALE: 1/4" = 1'-0"

A-203

DRAWN BY: Author

A PRELIMINARY CONDOMINIUM PLAT SHOWING BOHICA MULTI-USE CONDOMINIUMS

WHEREIN THE BUILDING ON LOT 3, BLOCK 39, KETCHUM TOWNSITE IS CONVERTED TO CONDOMINIUMS
LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO

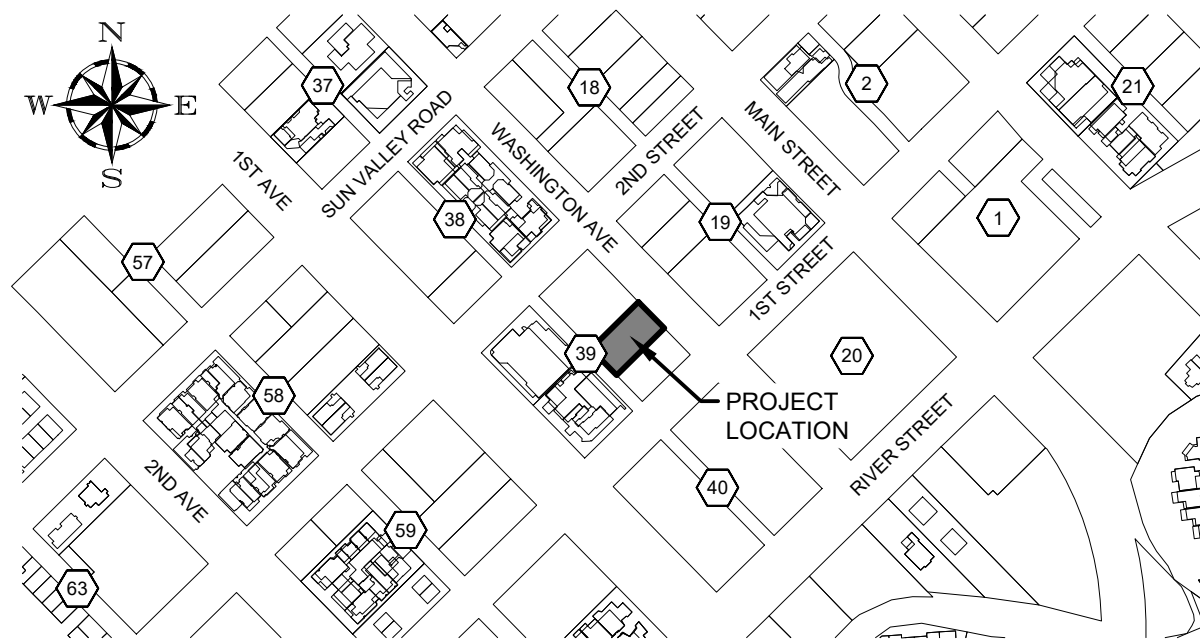
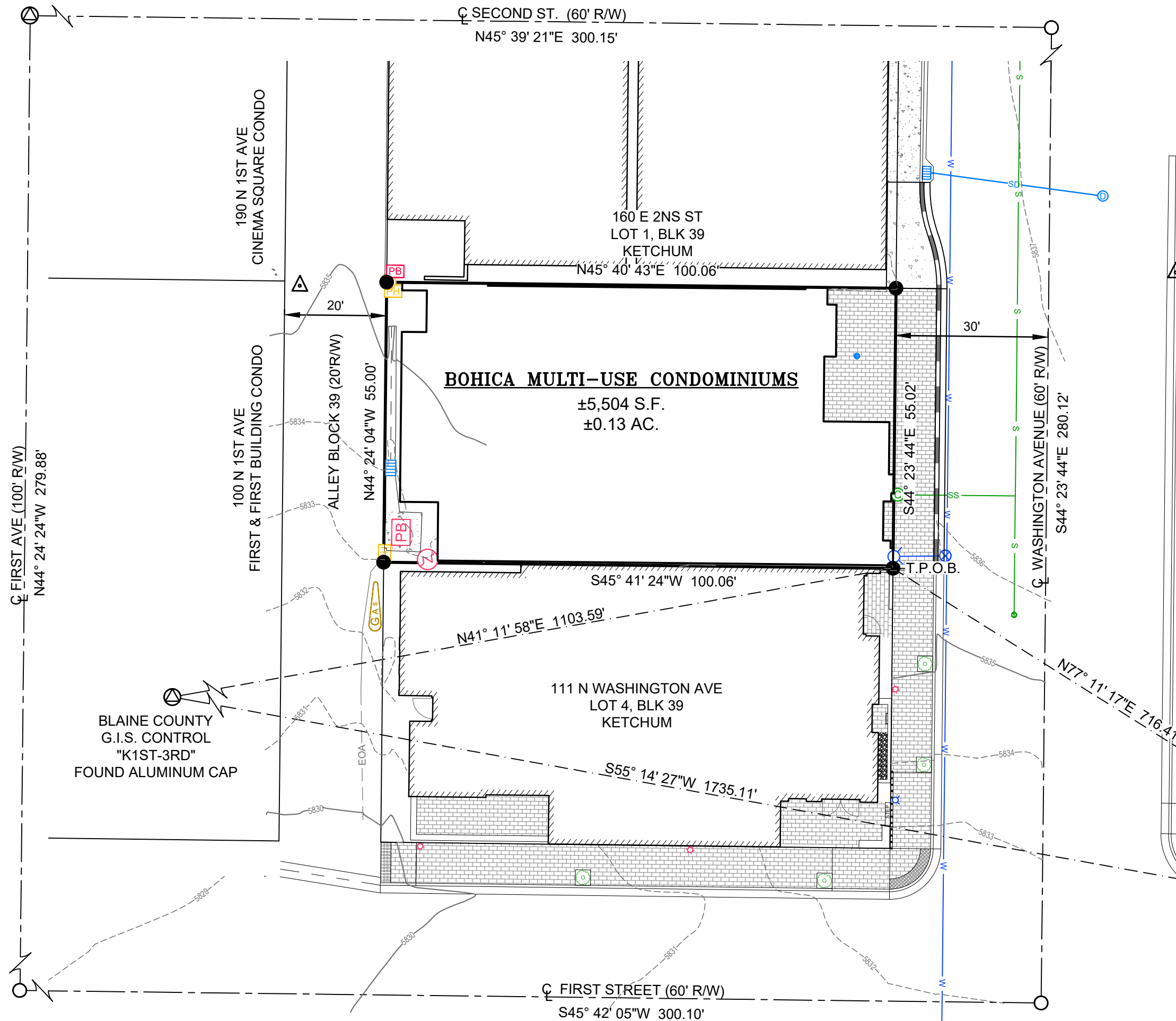
MARCH 2022



SCALE: 1" = 20'

SURVEY NARRATIVE & NOTES

- The purpose of this survey is to show the monuments found and set during the boundary retracement of Lot 3, Block 39, Ketchum Townsite, Instrument Number 302967, records of Blaine County, Idaho, and to condominiumize said property as shown hereon. All found monuments have been accepted. Lot corner monuments were set by block breakdown and proportioning record distances. Vertical Datum is NAVD 1988.
- The distances shown are measured. Refer to the above referenced survey for previous record data.
- Unless shown hereon, this survey does not purport to reflect any of the following which may be applicable to subject real property: natural hazards, encroachments, wetlands, easements, building setbacks, restrictive covenants, subdivision restrictions, zoning or any other land-use regulations.
- A Title Commitment has been issued by Stewart Title Guaranty Company, File Number 2123662, with a Date of Guarantee of January 14, 2022. Certain information contained in said title policy may not appear on this map or may affect items shown hereon. It is the responsibility of the owner or agent to review said title policy. All plottable encumbrances and easements listed in the title report are shown hereon. Review of specific documents is required, if further information is desired.
- In interpreting the Declaration, Plat or Plats, and Deeds, the existing physical boundaries of the unit as originally constructed, or reconstructed in lieu thereof, shall be conclusively presumed to be its boundaries rather than the metes and bounds expressed or depicted in the declaration, plat or plats, and/or deeds, regardless of settling or lateral movement of the building and regardless of minor variances between boundaries shown in the declaration, plat or plats, and/or deeds, and the actual boundaries of the units in the buildings.
- Dimensions shown hereon will be subject to slight variations, owing to normal construction tolerances.
- Horizontal or sloping planes shown hereon are top of finished subfloor and bottom of finished ceiling; vertical planes are finished surfaces of interior walls. Some structural members extend into units, limited common areas and parking spaces.
- Property shown hereon is subject to terms, provisions, covenants, conditions, restrictions, easements, charges, assessments and liens provided by applicable Condominium Law or the Condominium Declaration recorded under Instrument Number _____, records of Blaine County, Idaho. Consult the Condominium Declarations for the definition of common and limited common area.
- All area outside of units that is not designated as limited common is common area. areas of "common" or "limited common" are shown by diagram.
- Building ties are to the interior corners of unit walls.
- Utility easements necessary to allow for access and maintenance of utilities serving units other than the unit they are located in are hereby granted by this plat.
- No garage may be condominiumized or sold separate from a condominium unit.
- The current zoning is Community Core - Subdistrict 2 - Mixed Use. Refer to the City of Ketchum Zoning Ordinance for specific information about this zone.
- The owner of the property is Bohica Idaho LLC, PO Box 1129, Ketchum, ID. The surveyor/representative is Mark E. Phillips, Galena Engineering, Inc., 317 N. River St., Hailey, Idaho 83333.



LEGEND

- Property Line
- Adjoiner's Lot Line
- - - Centerline of Right-of-way
- - - Blaine County G.I.S. Tie
- ⊙ Found Aluminum Cap
- Found 5/8" Rebar
- Found 1/2" Rebar
- Set 5/8" Rebar
- △ Survey Control
- Existing Building
- Edge of Asphalt
- Existing Concrete Curb, Gutter, & Sidewalk
- Existing Paver Sidewalk
- Proposed Curb and Gutter
- Concrete Valley Gutter
- GMTR = Gas Meter
- GMKR = Gas Marker
- TVBOX = Cable TV Riser
- PHBOX = Telephone Riser
- PBOX = Power Box
- W Water Main
- S Sewer Main
- SS Sewer Service
- SD Storm Drain
- Power Meter
- Sewer Manhole
- Sewer Cleanout
- Catch Basin
- Drywell
- Fire Hydrant
- Water Valve
- 1' Contour Interval
- 5' Contour Interval
- CA = Common Area
- ELEV. = Elevator
- LC = Limited Common Area
- MECH. = mechanical Room
- T.P.O.B. = True Point of Beginning

HEALTH CERTIFICATE: Sanitary restrictions as required by Idaho Code Title 50, Ch. 13, have been satisfied. Sanitary restrictions may be reimposed in accordance with Idaho Code Title 50, Ch. 13, Sec. 50-1326, by issuance of a Certificate of Disapproval.

Date _____ South Central District Health Dept., EHS



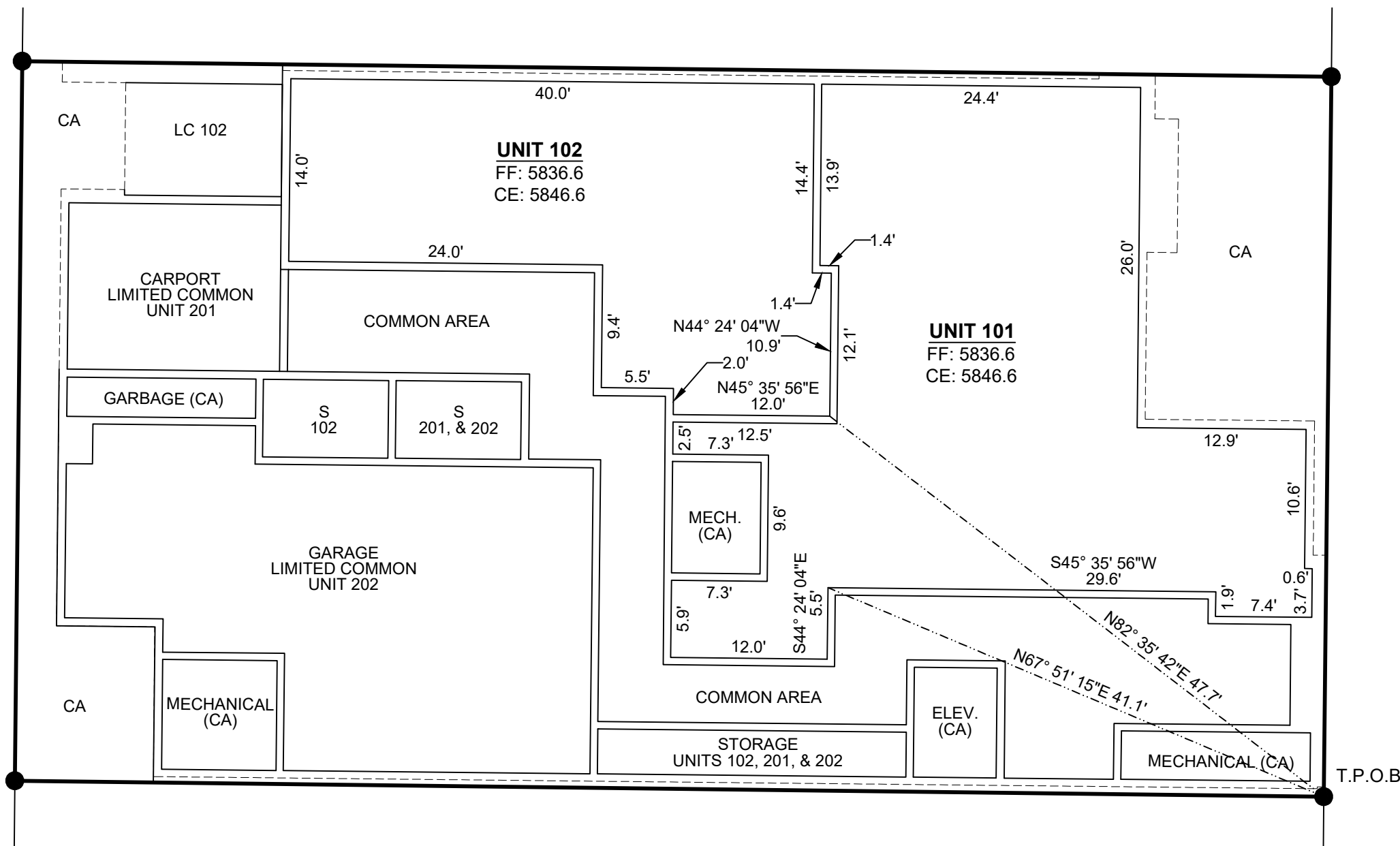
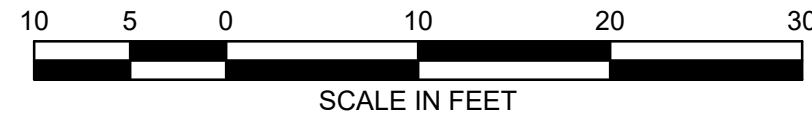
MARK E. PHILLIPS, P.L.S. 16670

BOHICA MULTI-USE CONDO'S
GALENA ENGINEERING, INC.
HAILEY, IDAHO

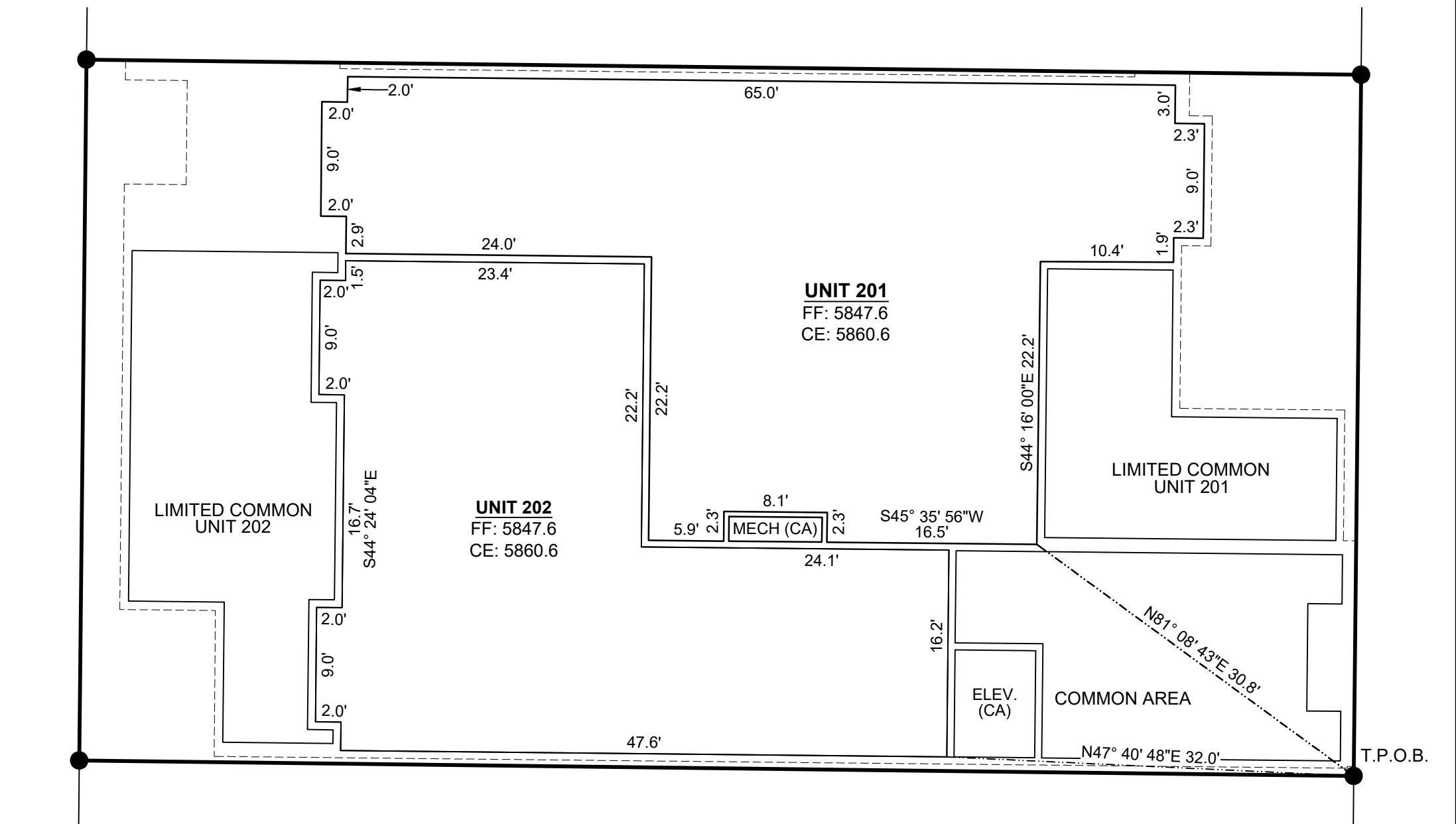
1 OF 3
Job No. 8229

VICINITY MAP
N.T.S.

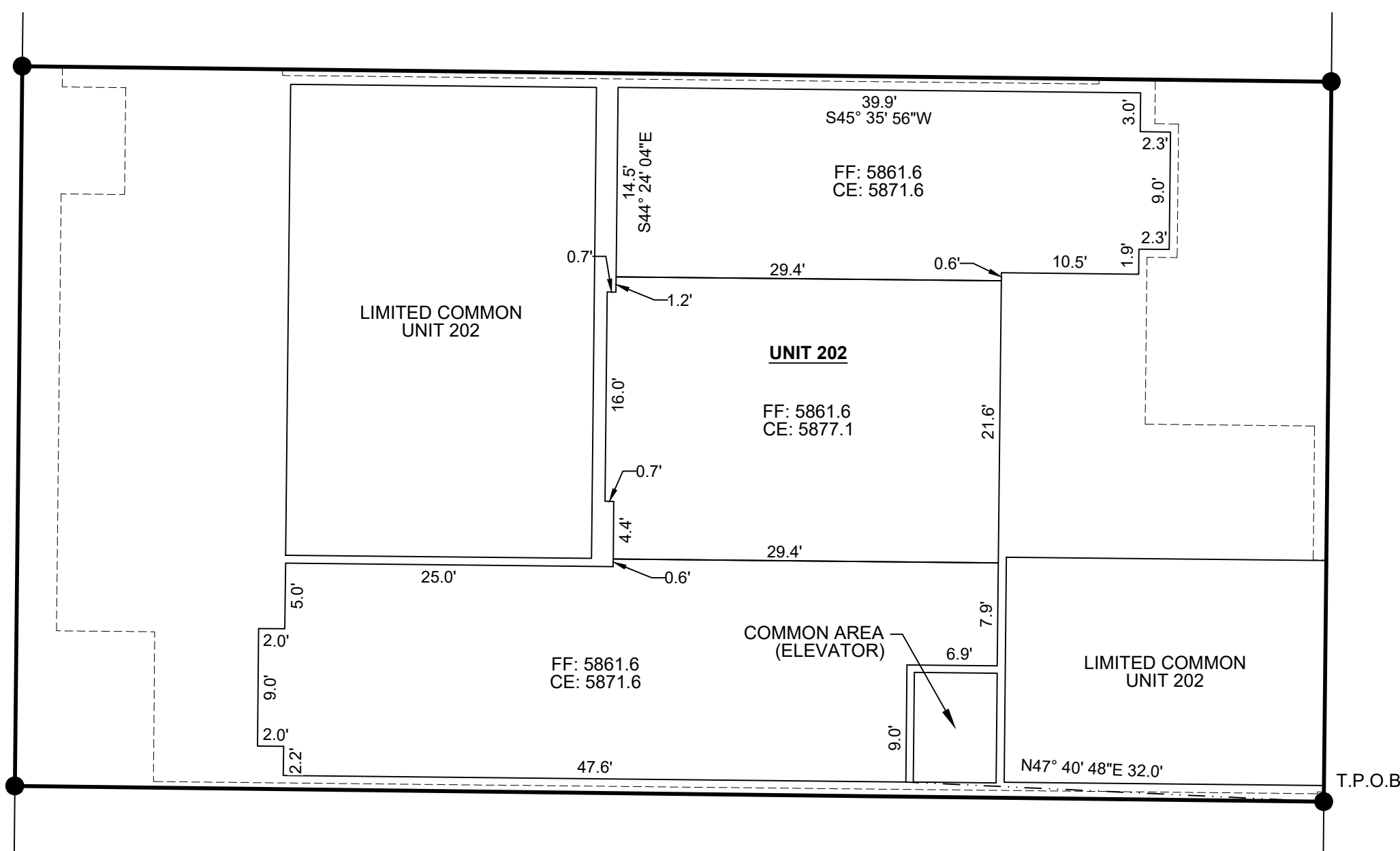
A PRELIMINARY CONDOMINIUM PLAT SHOWING
BOHICA MULTI-USE CONDOMINIUMS
 MARCH 2022



FIRST FLOOR

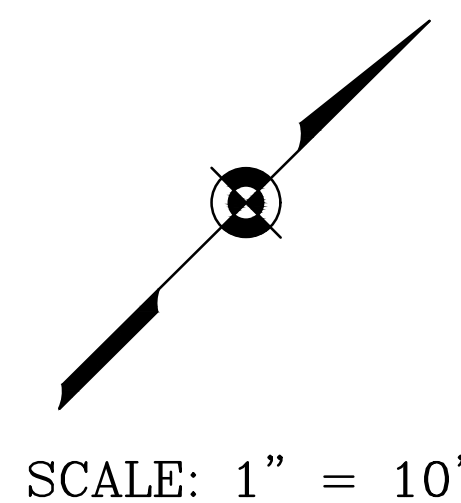


SECOND FLOOR



THIRD FLOOR

- LEGEND**
- Property Line
 - Unit Boundary
 - - - Building Footprint
 - - - Survey Tie Line
 - Set 5/8" Rebar, P.L.S. 16670
 - FE Floor Elevation
 - CE Ceiling Elevation
 - CA Common Area
 - S Storage



BOHICA MULTI-USE CONDO'S
 GALENA ENGINEERING, INC.
 HAILEY, IDAHO

CERTIFICATE OF OWNERSHIP

This is to certify that the undersigned are the owners in fee simple of the following described condominium property:

A parcel of land located within Section 18, T.4N., R.18E., B.M., City of Ketchum, Blaine County, Idaho, more particularly described as follows:

LOT 3, BLOCK 39, KETCHUM TOWNSITE

The easements indicated hereon are not dedicated to the public, but the right to use said easements is hereby reserved for the public utilities and for any other uses indicated hereon and no permanent structures are to be erected within the lines of said easements. I do hereby certify that all units within this condominium plat will be eligible to receive water service from an existing water distribution system and that the existing water distribution system has agreed in writing to serve all of units shown within this plat.

It is the intent of the owners to hereby include said condominium property in this plat.

Bohica Idaho LLC, An Idaho Limited Liability Company

BY: Kirsten Ritzau, Member

ACKNOWLEDGMENT

STATE OF _____ }
COUNTY OF _____ } ss

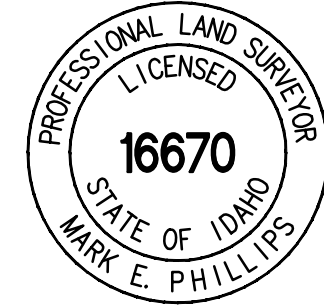
On this ____ day of _____, 2022, before me, a Notary Public in and for said State, personally appeared Kirsten Ritzau, known or identified to me to be the Governor of the limited liability company that executed the foregoing instrument, and acknowledged to me that such limited liability company executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

Notary Public in and for said State
Residing in _____
My Commission Expires _____

SURVEYOR'S CERTIFICATE

I, Mark E. Phillips, a duly Licensed Professional Land Surveyor in the State of Idaho, do hereby certify that this plat is a true and accurate map of the land and points surveyed under my direct supervision and that it is in accordance with the Idaho State Code relating to Plats, Surveys, and Condominiums and the Corner Perpetuation and Filing Act, 55-1601 through 55-1612.



BLAINE COUNTY SURVEYOR'S APPROVAL

I, Sam Young County Surveyor for Blaine County, Idaho, do hereby certify that I have checked the foregoing Plat and computations for making the same and have determined that they comply with the laws of the State of Idaho relating to Plats and Surveys.

Sam Young, P.L.S. 11577
Blaine County Surveyor

KETCHUM CITY COUNCIL CERTIFICATE

I, the undersigned, City Clerk, in and for the City of Ketchum, Blaine County, Idaho, do hereby certify that at a regular meeting of the City Council held on the ____ day of _____, 2022, this plat was duly accepted and approved.

Tara Fenwick, City Clerk, City of Ketchum

KETCHUM CITY ENGINEER CERTIFICATE

I, the undersigned, City Engineer in and for the City of Ketchum, Blaine County, Idaho, do hereby approve this plat on this ____ day of _____, 2022, and certify that it is in accordance with the City of Ketchum subdivision ordinance.

Sherri Newland, City Engineer, City of Ketchum

KETCHUM CITY PLANNER CERTIFICATE

I, the undersigned, Planner in and for the City of Ketchum, Blaine County, Idaho, do hereby approve this plat on this ____ day of _____, 2022, and certify that it is in accordance with the City of Ketchum subdivision ordinance.

_____, City of Ketchum

BLAINE COUNTY TREASURER'S APPROVAL

I, the undersigned County Treasurer in and for Blaine County, State of Idaho per the requirements of Idaho Code 50-1308, do hereby certify that any and all current and/or delinquent county property taxes for the property included in this subdivision have been paid in full. This certification is valid for the next thirty (30) days only.

Blaine County Treasurer

Date

BLAINE COUNTY RECORDER'S CERTIFICATE

BOHICA MULTI-USE CONDO'S
GALENA ENGINEERING, INC.
HAILEY, IDAHO
3 OF 3
Job No. 8229