



STAFF REPORT
KETCHUM PLANNING AND ZONING COMMISSION
SPECIAL MEETING ON NOVEMBER 8, 2022

PROJECT: 691 N Spruce Avenue Residence

FILE NUMBER: P22-042

APPLICATION: Pre-Application Mountain Overlay Design Review

PROPERTY OWNER: Spruce and 6th LLC

REPRESENTATIVE: Jake Watkins, Roger Ferris + Partners (Architect)

LOCATION: 691 N Spruce Avenue (Ketchum Townsite: Block 91: Lots 7 & 8)

ZONING: Limited Residential (LR)

OVERLAY: Mountain Overlay

REVIEWER: Abby Rivin - Senior Planner

Introduction and Background

The applicant, property owner 6th and Spruce LLC represented by architect Jake Watkins, has submitted a Pre-Application Mountain Overlay Design Review for the development of a new-single family residence and associated site improvements located at 691 N Spruce Avenue (Ketchum Townsite: Block 91: Lots 7 & 8) within the Limited Residential (LR) Zoning District and the Mountain Overlay.

Pursuant to Ketchum Municipal Code (KMC) §17.104.050, Design Review is required for new development within the Mountain Overlay. Pre-Application is not required for projects in the Mountain Overlay but may be requested by the applicant pursuant to KMC §17.104.060.A. The Pre-Application is an opportunity for the Commission to give the applicant feedback on the proposed project. This preliminary review allows the Commission to ask questions, identify code compliance issues or design concerns, and provide recommendations to the applicant.

The following analysis provides an overview of the project, assesses the proposed development in relation to Mountain Overlay Design Review criteria and standards, identifies outstanding action items that the applicant must resolve for the final Mountain Overlay Design Review application, and highlights key issues for the Commission’s consideration and further discussion with the applicant.

Analysis

Project Site

The property located at 691 N Spruce Avenue is comprised of separate Ketchum Townsite lots as shown in Figure 1. The property is developed with an existing single-family home that was constructed in 1977. The City issued the building permit for the construction of the original home (Application File No. 77-29) on both lots without requiring consolidation of the development parcel. The building permit was issued prior to the City's adoption Ordinance No. 316 in 1979 that implemented subdivision standards for boundary modifications between existing lots. Prior to 1979, lot line adjustments were exempt from the City's subdivision regulations (Ordinance No. 252).

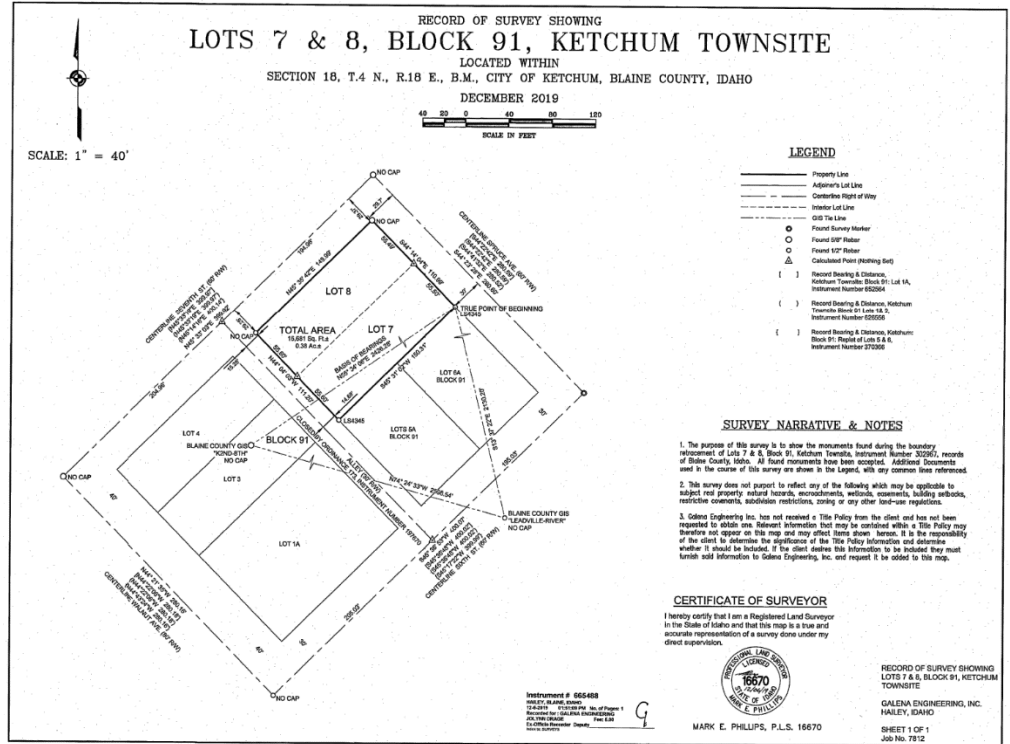


Figure 1: Survey Showing Lots 7 & 8, Block 91, Ketchum Townsite

The existing home's building footprint, driveway, and site improvements are contained on Lot 7 (See Figure 2). The grading for the construction of the original home encroached slightly over the north side property line disturbed a portion of Lot 8.

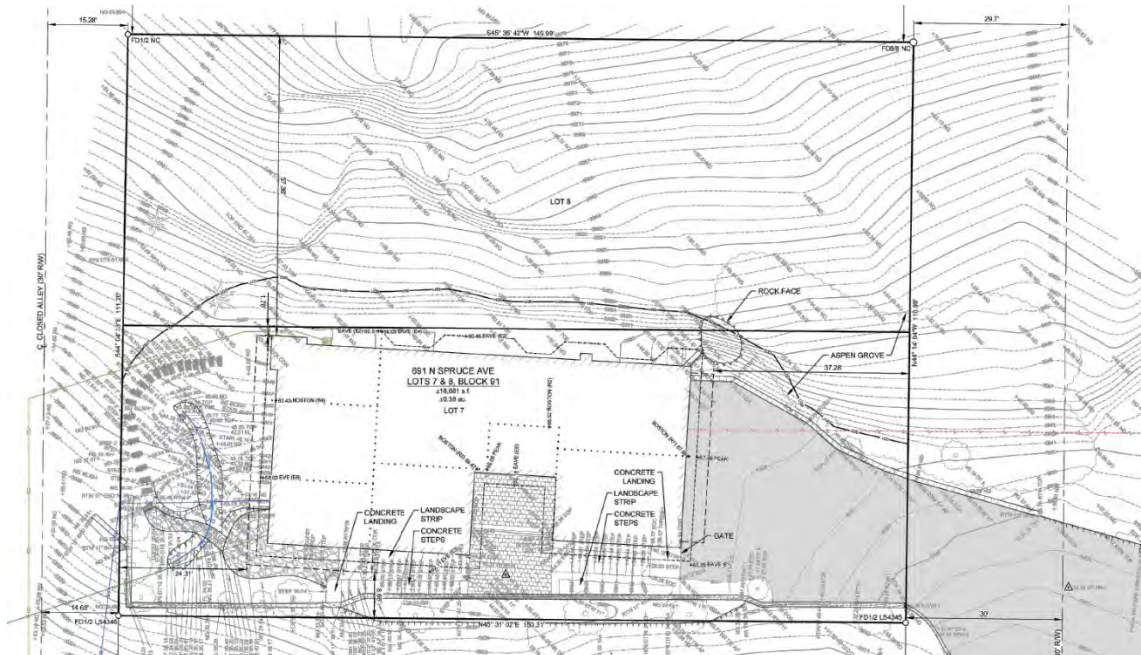


Figure 2: Existing Site Survey (Sheet C1.0)

The existing home was developed prior to the City's establishment of the Mountain Overlay Zoning District in 1989 and does not comply with current hillside development standards. Current code requires new building to be constructed in areas that have less than 25% slope (KMC §16.04.020). The topographical survey shows 25% and greater slopes surrounding the limits of disturbance of the existing nonconforming home. The contours of the site and the adjacent undisturbed hillside show that the original natural slope of the development parcel was exceeded 25% slope prior to the construction of the existing nonconforming home in 1977.

Additionally, the existing home and structures, including retaining walls, encroach within the front, rear, and side yard setback areas and are nonconforming with the dimensional standards required in the LR Zone. The existing nonconforming home is proposed to be demolished. Since the existing nonconforming home is proposed to be demolished, the new development, including all existing and proposed site improvements, must comply with all current code standards.

The existing site survey on Sheet C1.0 shows that the existing nonconforming home encroaches within required setback areas—the home is setback only 1.78 feet from the north interior side property line adjacent to Lot 8. The applicant has proposed consolidating the two lots so that the new home will comply with the setbacks required in the LR Zone. The lot consolidation must comply with all subdivision design and development standards specified in KMC §16.04.040. Building envelopes are required to be established on lots that contain areas of 25% or greater slope based on natural contours. These building envelopes must be established outside of hillsides greater than 25% (KMC §16.04.040.F2). A waiver to this standard may only be considered for lot line shifts of parcels that are entirely within slopes of 25% or greater to create a reasonable building envelope provided that the project complies with Mountain Overlay Design Review standards and all other City requirements.

Should the Commission support the project proposed with the Pre-Application, the subdivision application for the lot consolidation preliminary plat and associated waiver request will be considered concurrently with the final Mountain Overlay Design Review application.

Zoning Code Interpretation 22-001

The Planning and Zoning Commission considered the question of whether nonconforming properties on hillsides of 25% and greater slope would be permitted to be redeveloped if the existing nonconforming home were to be demolished during their special meeting on February 15th, 2022. The Planning and Zoning Commission Zoning Code Interpretation 22-001 is attached to the staff report as Exhibit B.

The Commission determined that existing nonconforming properties may be redeveloped under the following conditions:

- A. If the property configuration is proposed to be modified (lot line adjustment, lot consolidation etc.), then the new property configuration must establish a building envelope on the lowest portion of the property. Existing non-conforming building footprints are not permitted to be redeveloped outright. If a more compliant alternative at a lower elevation on the hillside property exists, then the new home must be sited in the more suitable area for redevelopment.
- B. If the property configuration is not being altered or changed, then a new home may be constructed at the Commission's discretion through Mountain Overlay Design Review provided

that the project does not exceed the height or limits of disturbance of the existing nonconforming home. The building footprint shall conform as close as possible to the existing building.

The 691 N Spruce Avenue Residence project proposes to configure the property by consolidating Lot 7 and Lot 8. The proposed building envelope has been established at the lower elevation of the development parcel and to comply with the minimum setbacks required in the LR Zone. Mountain Overlay Design Review criteria KMC §17.104.070.A10 directs the Commission to consider if there are other sites on the parcel more suitable for the proposed development in order to carry out the purposes of the Mountain Overlay. The new home is sited within the most suitable area for development at the lower elevation of the parcel. The building envelope conforms to the building footprint of the existing nonconforming home.

Limits of Disturbance

The site survey on Sheet C1.0 of the project plans attached as Exhibit A show the limits of disturbance of the existing nonconforming development. The total area of existing site disturbance is 8,469 square feet. The construction of the existing nonconforming development in 1977 disturbed a majority of Lot 7 except for a small area at the northeast corner of the property. The site photos on Sheets EX003 and EX004 of the project plans show the existing disturbed areas on the development parcel. Driveway improvements and retaining walls disturbed the natural hillside within the front (east/Spruce Ave) setback area. Drystack retaining walls, landscape steps, a paver patio, and a drainage swale disturbed the natural hillside within the rear setback area (See Figure 3). Grading improvements and the construction of railroad tie retainage and a tall concrete retaining wall disturbed the natural hillside within the south (interior) side yard setback area (See Figure 4).



Figure 3: Existing Rear Yard Disturbance (Sheet EX004)



Figure 4: Existing South Side Yard Disturbance (Sheet EX004)

The building footprint of the existing nonconforming home is setback less than 2 feet from the north (interior) property line disturbing a majority of the natural hillside within the side yard setback area adjacent to Lot 8. The remainder of the north side yard setback area has been graded and improved with gravel. The gravel grading improvements extend slightly over the shared property line onto Lot 8. The existing site survey on Sheet C1.0 shows that the existing disturbance extends slightly beyond the gravel grading improvements into the areas of 25% and greater slope on Lot 8. The applicant has indicated that grading required for the construction of the original home disturbed the natural hillside on Lot 8. The existing limits of disturbance indicated on Sheet L1.0 of the project plans does not match the civil site survey. The existing landscape conditions on Sheet L1.0 indicate that the existing limits of disturbance do not extend beyond the gravel grading improvements. The applicant must resolve this discrepancy between the existing civil site survey (Sheet C1.0) and the existing landscaping conditions (Sheet L1.0) on the project plans submitted with the final Mountain Overlay Design Review application. In addition to resolving this discrepancy, the applicant must submit more material documenting the existing disturbance that extends onto Lot 8 as well as the area to the north of the driveway retaining wall on Lot 7.

Sheet C1.1 shows that the disturbance proposed for the new home does not exceed the existing limits of disturbance on the site. The proposed limits of disturbance indicated on Sheet C1.1 includes the gravel grading improvements bordering the north property line separating the two lots but does not extend into the 25% and greater slope area on Lot 8.

The maximum height of the proposed home is 33 feet, which is 1.22 feet less than the maximum height of the existing nonconforming home. The total building coverage of the existing nonconforming home is 4,084 square feet. The proposed development's building coverage is 2,478 square feet, which is 1,606 square feet less than existing. Sheet C1.1 shows the building footprint of the existing home overlaid onto the site plan for the proposed residence. The proposed building envelope is contained within the footprint of the existing nonconforming home.

Driveway Improvements

The applicant has proposed regrading and resurfacing the existing driveway access and installing a snowmelt system. The proposed improvements decrease the width of the driveway slightly from 25' to 23'-4". The grade of the existing driveway slopes uphill towards the garage from its access along Spruce Avenue. The applicant has proposed lowering the finished grade of driveway and sloping the driveway down 7.6% towards the garage from its access along Spruce Avenue (See Figure 5).

Retaining walls border the north and south sides of the existing driveway. These existing driveway retaining walls encroach within the front and side yard setback areas and are required to be removed. Staff asked the applicant to explain how the slope of the hillside will be stabilized with the removal of the existing retaining walls and proposed driveway improvements. The applicant responded: *The retaining walls will be removed in areas where the grade is already stabilized due to the existence of exposed ledge. In areas where ledge is not present, we have introduced a sloped grade that will be permanently stabilized by banked slopes with vegetative cover.* The applicant has submitted a civil grading and drainage plan prepared by an Idaho-licensed engineer included on Sheet C1.1 of the project plans. Sheet C1.1 does not provide sufficient detail for the proposed driveway improvements and adjacent hillside stabilization. The applicant is required to submit engineered plans that provide sufficient detail for all proposed grading improvements on the development parcel as well as

engineered structural drawings for the building foundation with the final Mountain Overlay Design Review application.

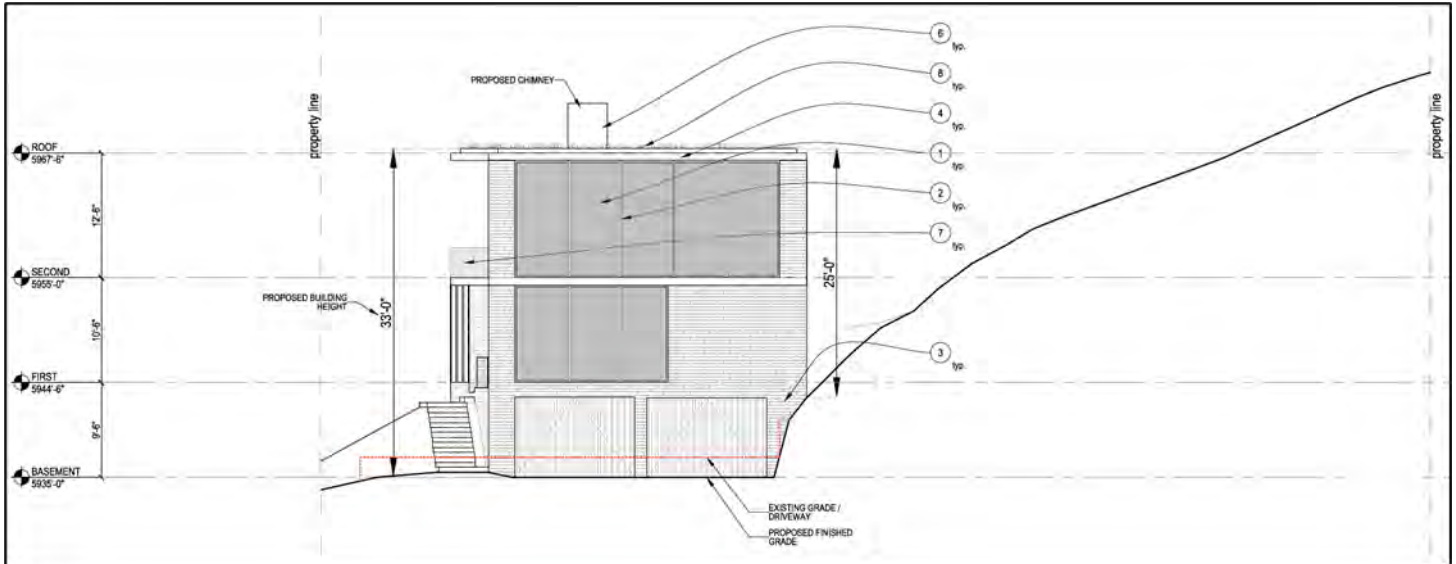


Figure 3: Existing and Proposed Driveway Grade (Sheet A201)

Landscaping and Revegetation on Hillsides

Pursuant to KMC §17.104.070.A9, all cuts and fills shall be concealed with landscaping, revegetation, and/or natural stone materials. Revegetation with a clear zone of 30 feet around all structures is recommended, should include low combustible irrigated vegetation with appropriate species, and should be harmonious with the surrounding hillside. The landscape plan on Sheet L2.0 indicates that the rear yard setback area and south interior side yard setback area will be restored and revegetated with native grasses and sage brush. New proposed vegetation includes enhancing the existing aspen tree groves on the property and the installation of new serviceberry and snowberry plantings. Adjustments to the landscape plan on Sheet L2.0 would be required if the Commission recommends a 30-foot-clear zone around the new home. In addition to the recommended 30-foot-clear zone, Fire Protection Ordinance No. 1217 requires that: (1) tree crowns extending within 10 feet of any structure shall be pruned to maintain a minimum horizontal clearance of 10 feet, (2) tree crowns within 30 feet of any structure shall be pruned to remove limbs less than 6 feet above the ground surface adjacent to trees, and (3) non-fire resistive vegetation or growth shall be kept clear of buildings and structures in order to provide a clear area for fire suppression operations. The new landscaping proposed in the rear (west) and south side yard setback area must be modified and setback sufficiently to comply with Fire Department requirements.

Staff Recommendation

After considering the project plans attached as Exhibit A, the applicant's presentation, and any public comment received, staff recommends the Commission provide feedback to the applicant and move to advance the 691 N Spruce Ave Residence project to final Mountain Overlay Design Review.

Exhibits:

- A. 691 N Spruce Ave Residence Pre-Application Mountain Overlay Design Review Submittal
- B. Planning and Zoning Commission Zoning Code Interpretation 22-001

Exhibit A

691 N Spruce Ave Residence

Pre-Application

Mountain Overlay Design

Review Submittal



City of Ketchum
Planning & Building

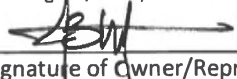
PRE -

Mountain Overlay Design Review Application

OFFICIAL USE ONLY	
Permit Number:	P22-042
Date Received:	7/1/22
By:	[Signature]
Approved Date:	
Denied Date:	
By:	

OWNER INFORMATION			
Project Name: RESIDENCE - 691 NORTH SPRUCE AVENUE			
Owner Name: SPRUCE AND 6TH LLC.			
Mailing Address: ATTN: INEZ D'ARCANGELO 611 NORTH ST, GREENWICH, CT 06830			
Phone: SEE REPRESENTATIVE			
Email: SEE REPRESENTATIVE			
PROJECT INFORMATION			
Architect/Representative: ROGER FERRIS + PARTNERS			
Phone: 203.222.4848			
Mailing Address: 11 WILTON ROAD, WESTPORT, CT 06880			
Email: WATKINS@FERRISARCH.COM (JAKE WATKINS)			
Engineer of Record: GALENA ENGINEERING			
Engineer Email: SFLYNN@GALENA-ENGINEERING.COM (SEAN FLYNN)			
Legal Land Description: LOTS 7 & 8 OF BLOCK 91 - CITY OF KETCHUM, BLAINE COUNTY, IDAHO - RPK000091007A			
Project Address: 691 NORTH SPRUCE AVENUE			
Lot Area: 16,681 SF			
Zoning District: LR - LIMITED RESIDENTIAL			
Anticipated Use: SINGLE FAMILY DWELLING			
Number of Residential Units: 1			
TYPE OF CONSTRUCTION			
<input checked="" type="checkbox"/> New	<input type="checkbox"/> Remodel	<input type="checkbox"/> Addition	<input type="checkbox"/> Other, please explain:
TOTAL FLOOR AREA			
	Proposed		Existing
Basement:	527 gross SF		1,020 gross SF
1 st Floor:	2,750 gross SF		1,508 gross SF
2 nd Floor:	2,419 gross SF		2,324 gross SF
3 rd Floor:	-		-
Decks:	297 SF		394 SF
Mezzanine:	-		-
Total:	5,696 SF		4,852 SF
Building Coverage:	2,881 SF	17.2% (224 SF reduction)	Curb Cut: 24 LF SF
			21.5% (no change)
PROPOSED SETBACKS			
Front: 41.6' (4.3' reduction)	Side: 12.2' (3.5' reduction)	Side: 58.7' (1.3' reduction)	Rear: 28.2' (3.9' reduction)
ADDITIONAL INFORMATION			
Building Height: 33'-6"		Parking Spaces Provided: 2	
Will Fill or Excavation Be Required?	Yes X	No	
If Yes, Amount in Cubic Yards	Fill: 35	Excavation: 90	
Will Existing Trees or Vegetation Be Removed?	Yes	No X	

Applicant agrees in the event of a dispute concerning the interpretation or enforcement of the Mountain Overlay Design Review Application, in which the City of Ketchum is the prevailing party, to pay reasonable attorney fees, including attorney fees on appeal, and expenses of the City of Ketchum. I, the undersigned, certify that all information submitted with and upon this application form is true and accurate to the best of my knowledge and belief.


Signature of Owner/Representative

MAY 10, 2022

Date

Residence

691 North Spruce Ave.
Ketchum, ID 83340

Pre-Application - Mountain Overlay Design Review - Revision #3 October 11, 2022



Residence - 691 North Spruce Ave				RF+P Project # 21-002				
Ketchum, ID				Master Drawing List				
Drawing Number	Drawing Name	Consultant	Scale	Date of Issue				
				10	16	26	06	11
				05	06	08	10	10
				2022	2022	2022	2022	2022
				Issued for Pre-App - MODR	Issued for Pre-App - MODR Revision #1	Issued for Pre-App - MODR Revision #2	Issued for Pre-App - MODR Revision #3	Issued for Pre-App - MODR Revision #4
Cover								
A000	Cover Sheet and Drawing Index	RF+P	N/A	■	■	■	■	■
Existing Conditions								
EX001	Vicinity Map	RF+P	N/A	■	■	■	■	■
EX002	Vantage Points	RF+P	N/A	■	■	■	■	■
EX003	Existing Site Photos	RF+P	N/A	■	■	■	■	■
EX004	Existing Site Photos	RF+P	N/A	■	■	■	■	■
EX005	Existing Site Photos	RF+P	N/A	■	■	■	■	■
Civil								
-	Subdivision Plat Lots 7_8_Block 91	GE	1" = 40'	■	■	■	■	■
-	Subdivision Plat Lot 7a_Block 91	GE	1" = 30'	■	■	■	■	■
-	Existing Site Conditions	GE	1" = 10'	■	■	■	■	■
C1.1	Proposed Site Grading and Drainage Plan	GE	1" = 10'	■	■	■	■	■
C1.2	Notes & Details	GE	Varies	■	■	■	■	■
Landscape								
L1.0	Landscape Existing Conditions	BYLA	1/8" = 1'-0"	■	■	■	■	■
L1.1	Landscape Grading Plan	BYLA	1/8" = 1'-0"	■	■	■	■	■
L2.0	Landscape Plan	BYLA	1/8" = 1'-0"	■	■	■	■	■
Architectural								
A101	Basement Plan	RF+P	1/8" = 1'-0"	■	■	■	■	■
A102	First Level Plan	RF+P	1/8" = 1'-0"	■	■	■	■	■
A103	Second Level Plan	RF+P	1/8" = 1'-0"	■	■	■	■	■
A104	Roof Plan	RF+P	1/8" = 1'-0"	■	■	■	■	■
A112	First Level Reflected Ceiling Plan	RF+P	1/8" = 1'-0"	■	■	■	■	■
A201	Building Elevations	RF+P	1/8" = 1'-0"	■	■	■	■	■
A202	Building Elevations	RF+P	1/8" = 1'-0"	■	■	■	■	■
A301	Site/Building Sections	RF+P	1/8" = 1'-0"	■	■	■	■	■
Miscellaneous								
G001	Proposed Lighting Fixtures	RF+P	N/A	■	■	■	■	■
G002	Proposed Material Palette	RF+P	N/A	■	■	■	■	■
G003	3D Comparison	RF+P	N/A	■	■	■	■	■
-	Construction Staging Plans	RF+P	N/A	■	■	■	■	■

Residence

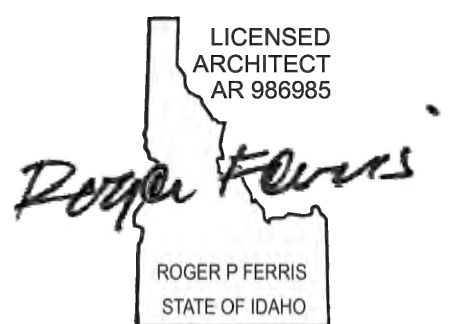
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Architect
Roger Ferris + Partners
11 Wilton Road • Westport, Connecticut 06880
tel. 203.222.4848 • www.ferrisarch.com

Civil Engineer/Surveyor
Galena Engineering
317 N. River Street • Hailey, ID 83333
tel. 208.788.1705 • www.galena-engineering.com

Landscape Architect
BYLA Landscape Architects
323 Lewis Street, Suite N • Ketchum, ID 83340
tel. 208.726.5907 • www.byla.us

ARCHITECT'S SEAL



KEY PLAN

PROJECT PHASE - PERMITTING

REVISIONS

NO.	DESCRIPTION	DATE	ISSUED TO
1	PRE-APP - MODR	MAY 10, 2022	CITY
2	MODR - REV #1	JUNE 16, 2022	CITY
3	MODR - REV #2	AUGUST 26, 2022	CITY
4	MODR - REV #3	OCTOBER 6, 2022	CITY
5	MODR - REV#4	OCTOBER 11, 2022	CITY

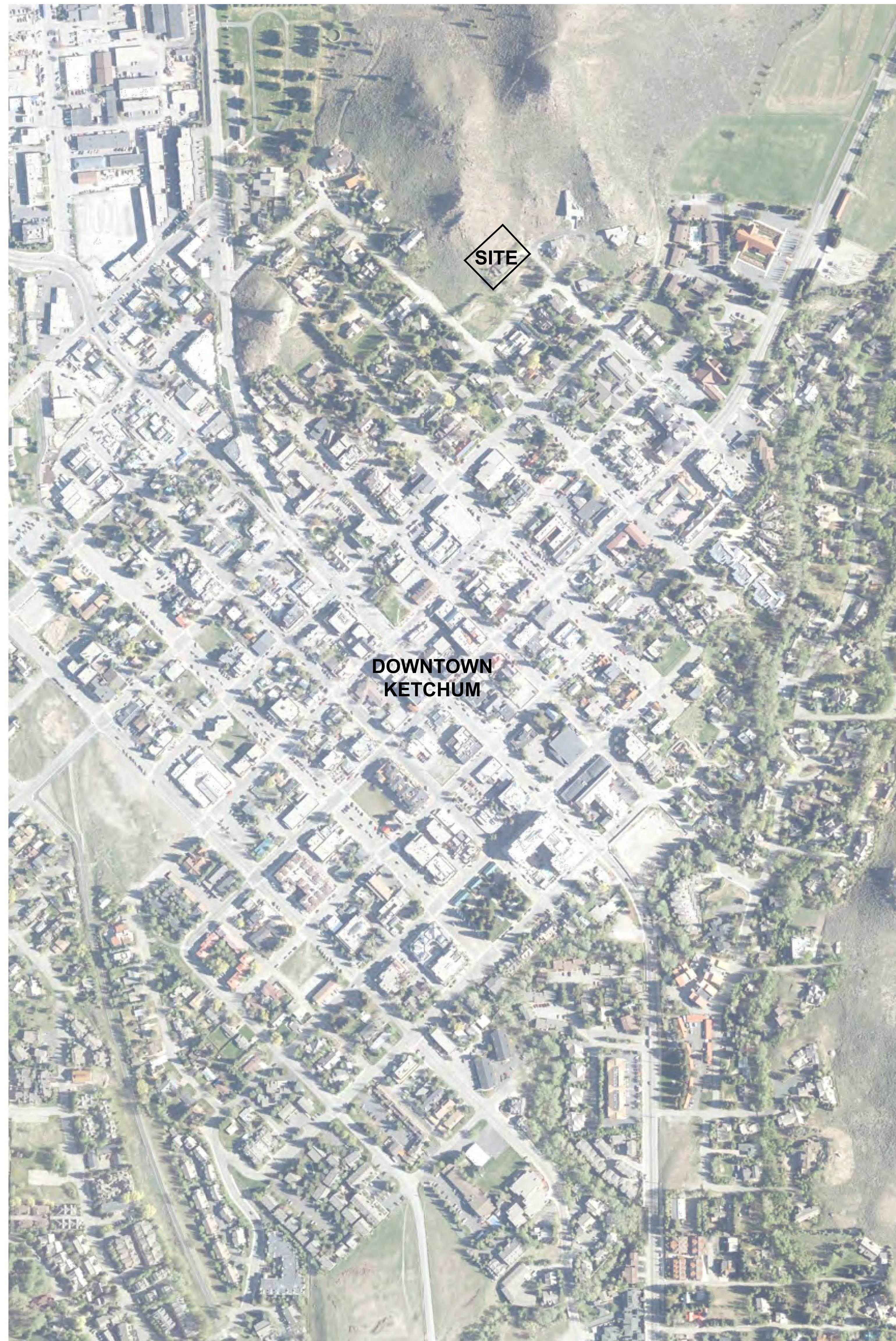
SHEET NAME

COVER SHEET

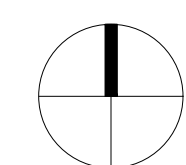
PROJECT NUMBER: 21-002
DATE: JULY 14, 2021
SCALE: N/A

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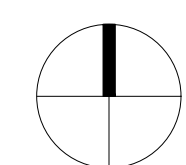
Vicinity Map



City Aerial



Neighborhood Aerial



Residence

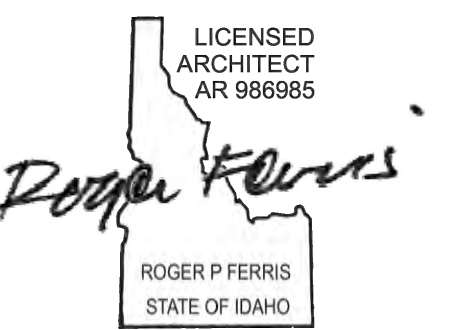
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SHEET NAME

VICINITY MAP

PROJECT NUMBER: 21-002
DATE: JULY 14, 2021
SCALE: N/A

EX001

Vantage Points



1) View from North Spruce Ave



2) View from Intersection of North Spruce Ave & East 5th St



3) View from North Walnut Ave



4) View from intersection of North Walnut Ave & East 6th St



Neighborhood Aerial

Residence

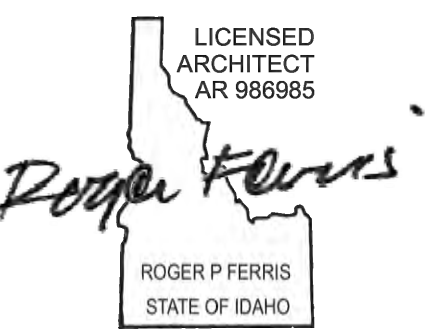
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SHEET NAME

VANTAGE POINTS

PROJECT NUMBER: 21-002
DATE: JULY 14, 2021
SCALE: N/A

EX002

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Existing Site Photos



1) View at back of existing house



2) View from driveway



3) View from 671 East 6th St



4) View from 671 East 6th St



Neighborhood Aerial

Residence

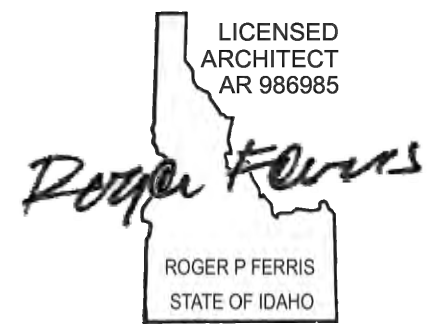
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SHEET NAME

EXISTING SITE PHOTOS

PROJECT NUMBER: 21-002
DATE: JULY 14, 2021
SCALE: N/A

EX003

Existing Site Photos



Residence

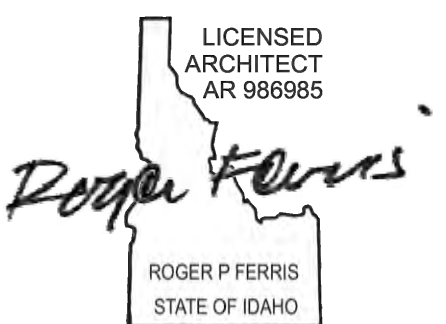
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SHEET NAME

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SCALE: N/A

EX004

Existing Site Photos



Residence

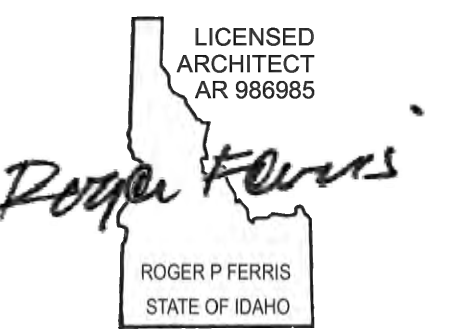
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323 Lewis Street, Suite N • Ketchum, ID 83340
tel. 208.726.5907 • www.byla.us

ARCHITECT'S SEAL



KEY PLAN

PROJECT PHASE - PERMITTING

REVISIONS

NO.	DESCRIPTION	DATE	ISSUED TO
1	PRE-APP - MODR	MAY 10, 2022	CITY
2	MODR - REV #1	JUNE 16, 2022	CITY
3	MODR - REV #2	AUGUST 26, 2022	CITY
4	MODR - REV #3	OCTOBER 6, 2022	CITY
5	MODR - REV#4	OCTOBER 11, 2022	CITY

SHEET NAME

EXISTING SITE PHOTOS

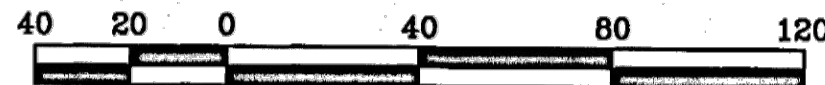
PROJECT NUMBER: 21-002
DATE: JULY 14, 2021
SCALE: N/A

EX005

RECORD OF SURVEY SHOWING LOTS 7 & 8, BLOCK 91, KETCHUM TOWNSITE

LOCATED WITHIN
SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO

DECEMBER 2019



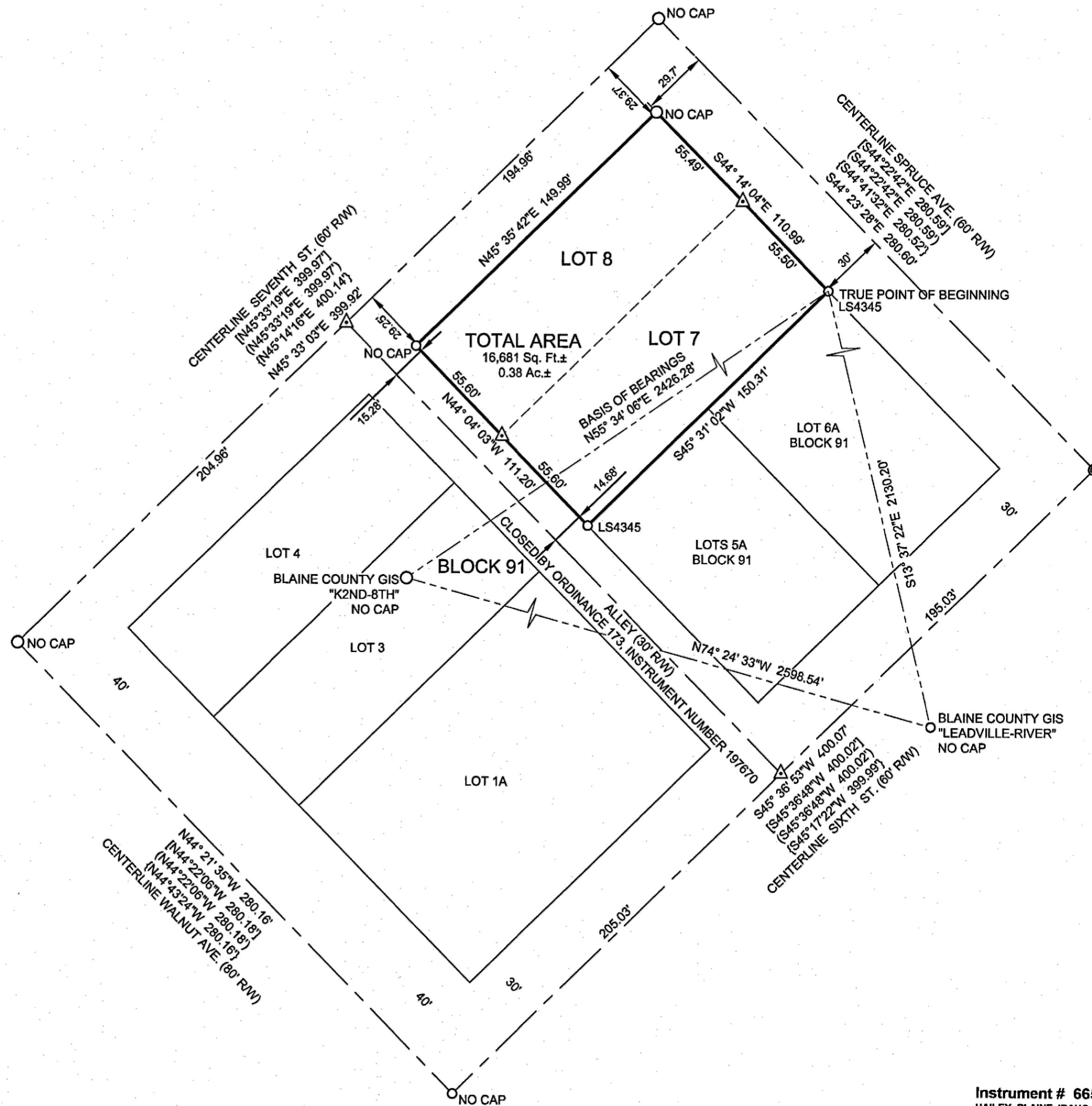
SCALE IN FEET



SCALE: 1" = 40'

LEGEND

- Property Line
- Adjoiner's Lot Line
- Centerline Right of Way
- Interior Lot Line
- GIS Tie Line
- ⊙ Found Survey Marker
- Found 5/8" Rebar
- Found 1/2" Rebar
- △ Calculated Point (Nothing Set)
- [] Record Bearing & Distance, Ketchum Townsite: Block 91: Lot 1A, Instrument Number 652564
- () Record Bearing & Distance, Ketchum Townsite: Block 91 Lots 1 & 2, Instrument Number 626556
- { } Record Bearing & Distance, Ketchum: Block 91: Replat of Lots 5 & 6, Instrument Number 370366

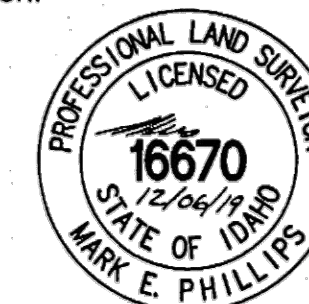


SURVEY NARRATIVE & NOTES

1. The purpose of this survey is to show the monuments found during the boundary retracement of Lots 7 & 8, Block 91, Ketchum Townsite, Instrument Number 302967, records of Blaine County, Idaho. All found monuments have been accepted. Additional Documents used in the course of this survey are shown in the Legend, with any common lines referenced.
2. This survey does not purport to reflect any of the following which may be applicable to subject real property: natural hazards, encroachments, wetlands, easements, building setbacks, restrictive covenants, subdivision restrictions, zoning or any other land-use regulations.
3. Galena Engineering Inc. has not received a Title Policy from the client and has not been requested to obtain one. Relevant information that may be contained within a Title Policy may therefore not appear on this map and may affect items shown hereon. It is the responsibility of the client to determine the significance of the Title Policy information and determine whether it should be included. If the client desires this information to be included they must furnish said information to Galena Engineering, Inc. and request it be added to this map.

CERTIFICATE OF SURVEYOR

I hereby certify that I am a Registered Land Surveyor in the State of Idaho and that this map is a true and accurate representation of a survey done under my direct supervision.



MARK E. PHILLIPS, P.L.S. 16670

Instrument # 665488
HAILEY, BLAINE, IDAHO
12-6-2019 01:51:09 PM No. of Pages: 1
Recorded for: GALENA ENGINEERING
JOLYNN DRAGE Fee: 5.00
Ex-Officio Recorder Deputy
Index to: SURVEYS

RECORD OF SURVEY SHOWING
LOTS 7 & 8, BLOCK 91, KETCHUM
TOWNSITE

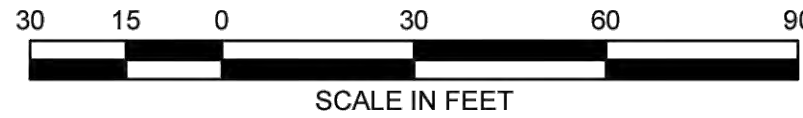
GALENA ENGINEERING, INC.
HAILEY, IDAHO

SHEET 1 OF 1
Job No. 7812

A PLAT SHOWING
LOT 7A, BLOCK 91, KETCHUM TOWNSITE
 WHEREIN THE LOT LINE BETWEEN LOTS 7 & 8, BLOCK 91 IS VACATED AS SHOWN HEREON
 LOCATED WITHIN SECTION 18, T.4N., R.18E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
 OCTOBER 2022



SCALE: 1" = 30'

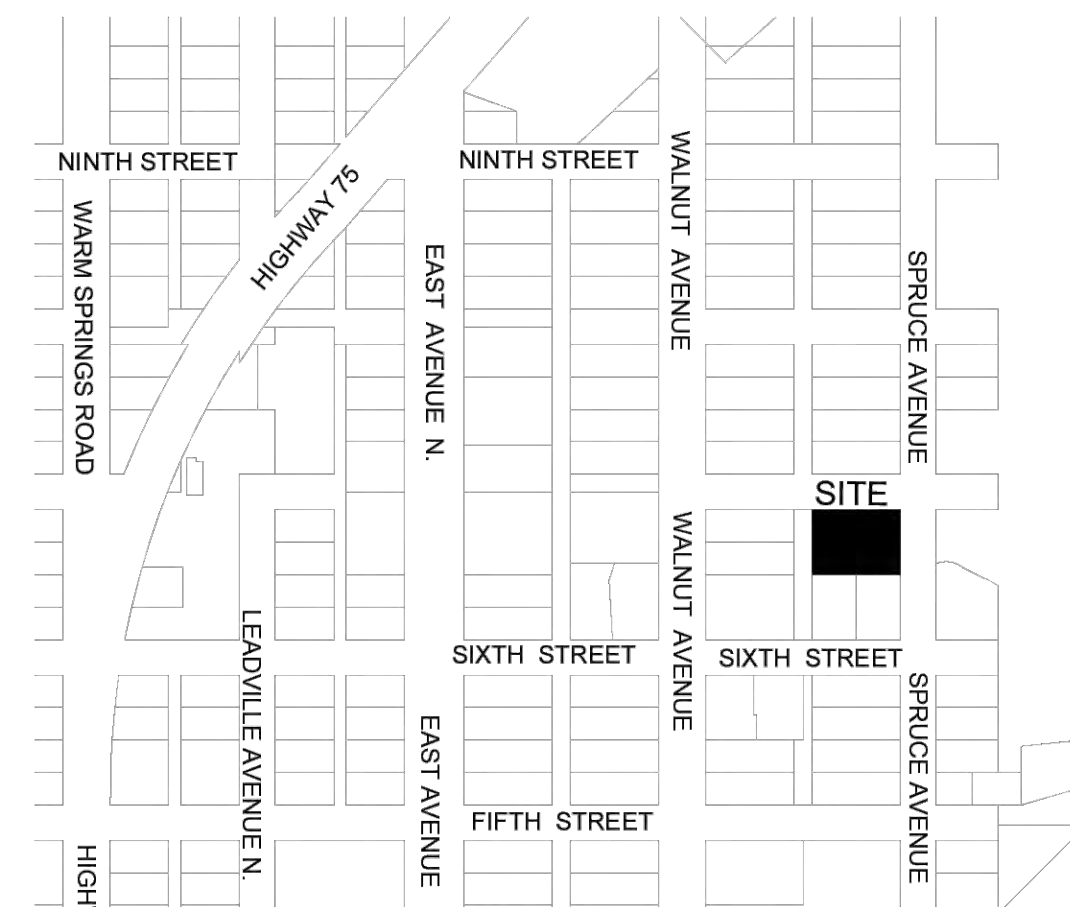


LEGEND

- Property Line
- Lot Line Vacated Hereon
- Adjoiner's Lot Line
- Centerline of Right of Way
- GIS Tie Line
- Survey Tie Line
- Building Envelope
- 25% Slope Boundary
- Found Survey Marker
- Found 5/8" Rebar
- Found 1/2" Rebar
- Calculated Point, Nothing Set
- Aspen Grove
- Conifer Tree
- Deciduous Tree

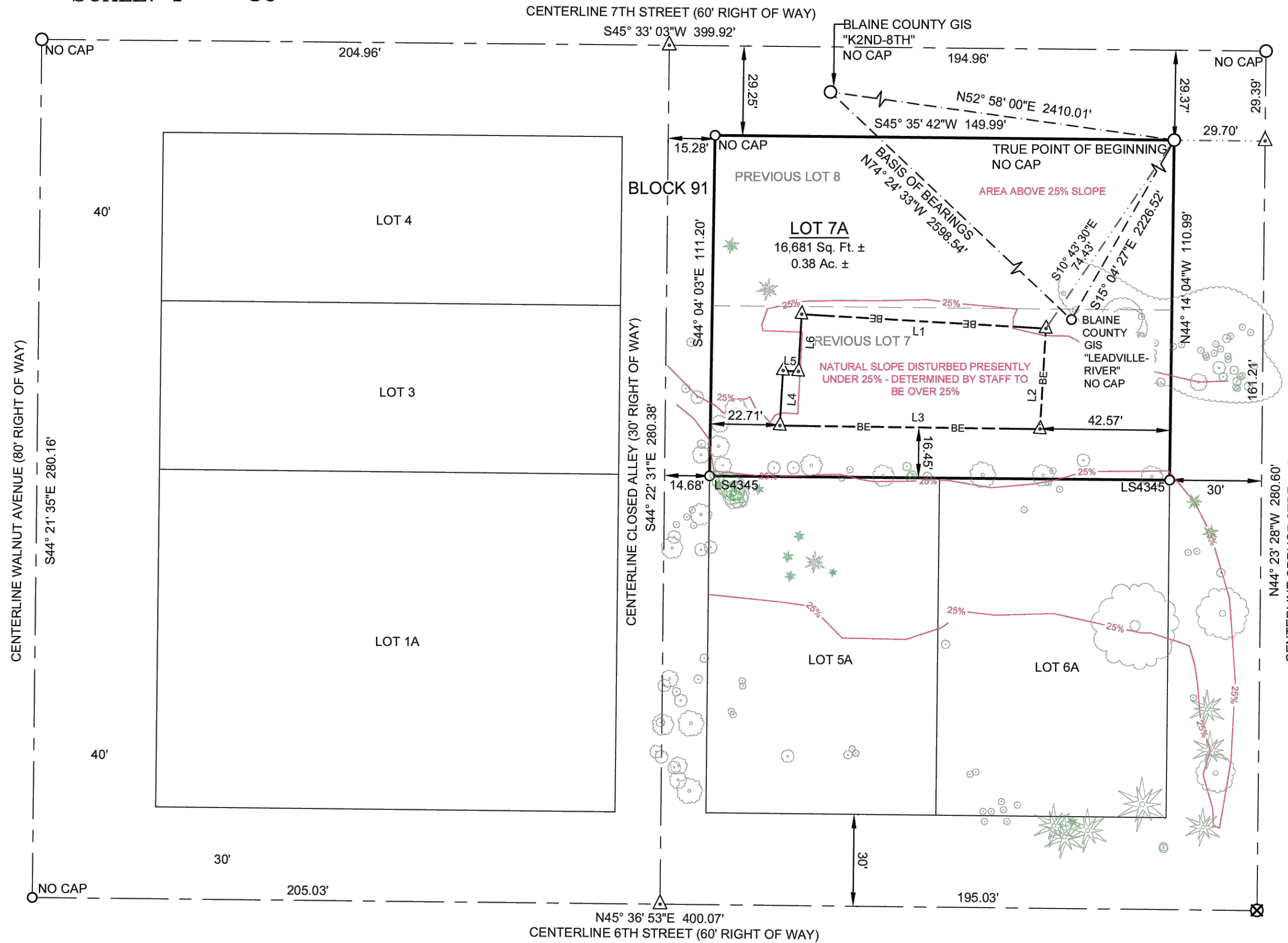
SURVEY NARRATIVE & NOTES

1. The purpose of this survey is to show the monuments found and set during the boundary retracement of Lots 7 & 8, Block 91, Ketchum Townsite and vacate the interior line creating Lot 7A, Block 91, Ketchum Townsite. The boundary shown is based on found lot corner monuments and the Official Map of the Village of Ketchum, Instrument Number 302967, records of Blaine County, Idaho. All found monuments have been accepted. Additional documents used during the course of this survey include the Plat of Ketchum: Block 91: Replat of Lots 5 & 6, Instrument Number 370366 and the Record of Survey showing Lots 7 & 8, Block 91, Ketchum Townsite, Instrument Number 665488, both records of Blaine County, Idaho.
2. The distances shown are measured. Refer to the above referenced documents for previous record data.
3. See Ketchum Ordinance 173, recorded as Instrument Number 197670, records of Blaine County, Idaho for conditions/restrictions regarding Block 91 Alley.
4. A Title Commitment for Lots 7 & 8, Block 91, Village of Ketchum, Blaine County, Idaho, has been issued by Sun Valley Title Guaranty Company, File Number 19349503, with a Date of Guarantee of May 29, 2020. Certain information contained in said title policy may not appear on this map or may affect items shown hereon. It is the responsibility of the owner or agent to review said title policy. All plottable encumbrances and easements listed in the title report are shown hereon. Review of specific documents is required, if further information is desired.
5. Zoning is LR, Limited Residential Use Zone. Refer to City of Ketchum Zoning Ordinance for more specific information about this zone.
6. The owner/subdivider is Spruce and 6th. L.L.C., c/o Jake Watkins at Roger Ferris Partners, 11 Wilton Road, Westport, CT 06880. The surveyor/representative is Mark E. Phillips, Galena Engineering, Inc., 317 N. River St., Hailey, Idaho 83333.



VICINITY MAP
NOT TO SCALE

LOT 7A, BLOCK 91,
KETCHUM TOWNSITE
 GALENA ENGINEERING, INC.
 HAILEY, IDAHO
 SHEET 1 OF 2
 Job No. 7932



Line Table		
Line #	Length	Direction
L1	79.90'	S48°20'34"W
L2	32.89'	N41°39'27"W
L3	84.98'	N45°46'41"E
L4	18.00'	S41°39'27"E
L5	5.00'	S48°20'33"W
L6	18.69'	S41°39'27"E



MARK E. PHILLIPS, P.L.S. 16670

HEALTH CERTIFICATE: Sanitary restrictions as required by Idaho Code Title 50, Ch. 13, have been satisfied. Sanitary restrictions may be reimposed in accordance with Idaho Code Title 50, Ch. 13, Sec. 50-1326, by issuance of a Certificate of Disapproval.

REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any project or extension of this project without the written consent of Galena Engineering, Inc.

LEGEND

- Property Line
- Adjacent Lot Line
- Centerline
- FNDGEAR = Found Gear Survey Marker
- FD5/8 = Found 5/8" Rebar
- FD1/2 = Found 1/2" Rebar
- CP / CNTRL = Survey Control
- 5' Contour Interval
- 1' Contour Interval
- FL = Flow Line
- Limits of Disturbance
- Building
- Above Ground Deck
- Roof Outline
- Edge of Asphalt
- Flat Stone Pavers
- Pavers
- RTW = Concrete Retaining Wall
- Drystack or Railroad Tie Retaining Wall
- Rock Face
- Aspen Grove
- CT = Conifer Tree
- DT = Deciduous Tree
- Landscape Steps
- GMTR = Gas Meter
- Overhead Power Line
- Buried Power Line
- FP = Power Pole
- GLY = GUYE
- Approximate Gas Service
- SS = Sewer Service
- CB = Catch Basin
- Culvert
- WS = Water Service
- AP = Angle Point
- BEG = Beginning
- BCW = Back of Walk
- CMP = Corrugated Metal Pipe
- ECA = Edge of Asphalt
- ECC = Edge of Concrete
- EOP = Edge of Pavers
- EOST = Edge of Flat Stone
- FF = Finished Floor
- GB = Grate Break
- GFF = Garage Finished Floor
- INT = Intersection
- NC = No Cap
- NG = Natural Ground
- PVC = Polyvinyl Chloride Pipe
- RP = Reference Point
- RR TIE = Railroad Tie
- TA = Top of Asphalt
- THRESH = Threshold of Door
- TOE = Top of Slope
- TOP = Top of Slope
- TW = Top of Wall
- WTR TOP = Top of Water Fall

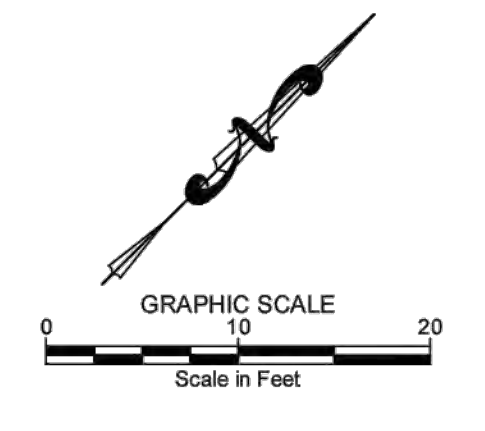


NOTES

1. The purpose of this map is to show topographical information as it existed on the date the field survey was performed. Changes may have occurred to site conditions since survey date (11/20/2019).
2. Boundary information is based on Found Monumentation.
3. Underground utilities were not located. Water and sewer services shown herein are per the City of Ketchum utility maps. Utilities should be located prior to any excavation.
4. Galena Engineering Inc. has not received a Title Policy from the client and has not been requested to obtain one. Relevant information that may be contained within a Title Policy may therefore not appear on this map and may affect items shown hereon. It is the responsibility of the client to determine the significance of the Title Policy information and determine whether it should be included. If the client desires for the information to be included they must furnish said information to Galena Engineering, Inc. and request it be added to this map.
5. Benchmark is top of found 1/2" rebar located at the common property corner of 691 N. Spruce Ave. and 671 E. 6th St. along Spruce Ave., elevation = 5934.10. Vertical Datum is NAVD 1988.
6. This Lot is within the Mountain Overlay Zoning District. Please Refer to Ketchum Zoning Ordinance 17.104 for use conditions and restrictions.

Height Calculations

5969.47	High point of Roof
5935.25	Lowest Adjacent Grade
34.22	Height of Existing House



EXISTING SITE CONDITIONS
691 NORTH SPRUCE
 LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M. CITY OF KETCHUM, BLAINE COUNTY, IDAHO
 PREPARED FOR 891 NORTH SPRUCE LLC

ORIGINAL ON FILE AT
 OFFICE OF GALENA
 ENGINEERING
 (HAILEY, ID)

DESIGNED BY
 DRAWN BY
 SMF/MEP
 CHECKED BY

GALENA
 ENGINEERING, INC.
 Civil Engineers & Land Surveyors
 317 N. River Street
 Hailey, Idaho 83433
 email: galena@galena-engineering.com

NO.	DATE	BY	REVISIONS

PURPOSE: NOTE
 NO. DATE BY REVISIONS
C1.0

REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any project or extension of this project except by agreement in writing with Galena Engineering, Inc.

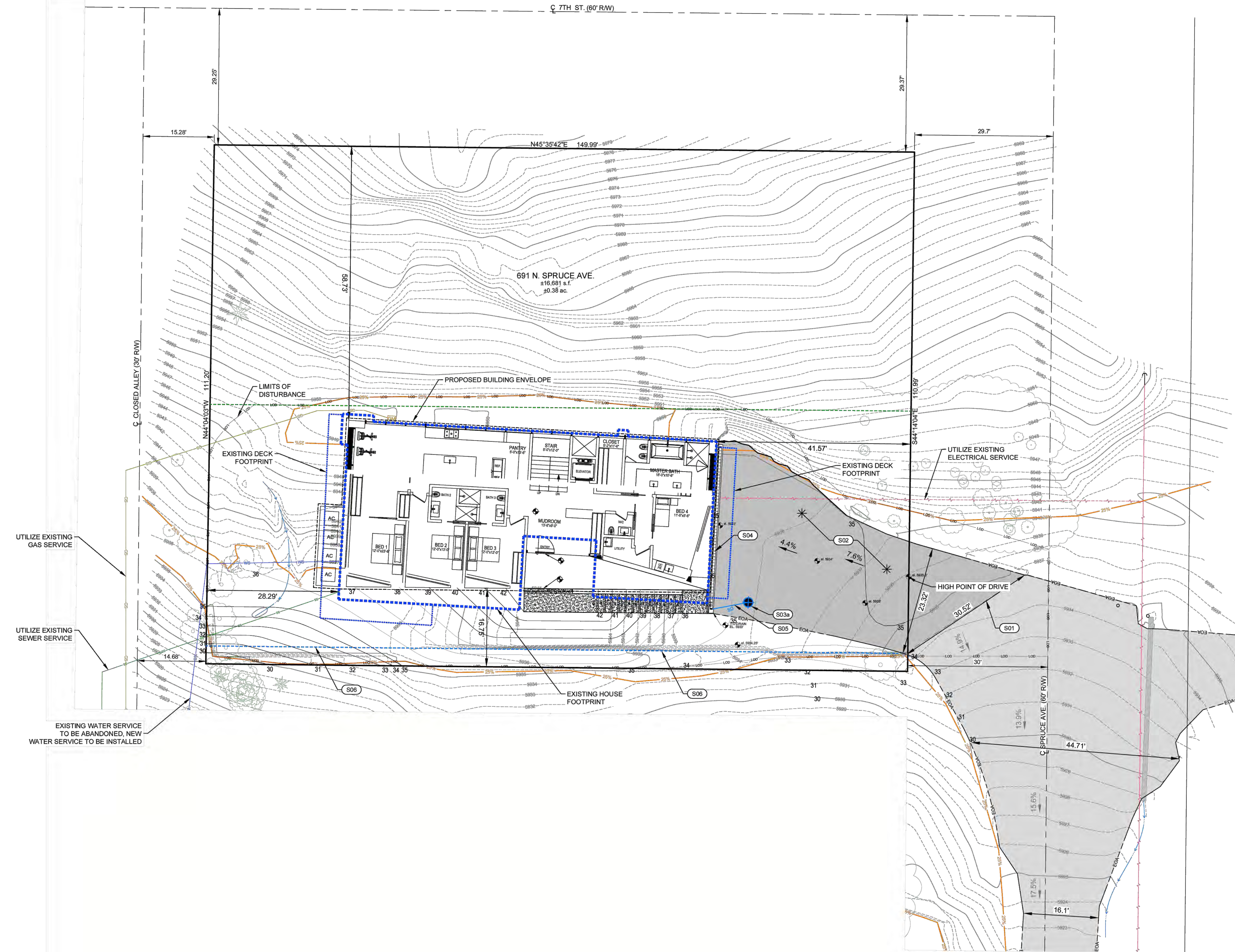
LEGEND

EXISTING ITEMS

- Property Line
- Adjacent's Lot Line
- Centerline of Right of Way
- Existing House Footprint
- Existing Deck Footprint
- 5' Contour Interval
- 1' Contour Interval
- Flow Line
- Asphalt
- Aspen Grove
- Conifer Tree
- Deciduous Tree
- Gas Meter
- Gas Marker
- Telephone Riser
- Overhead Power Line
- Power Box
- Power Pole
- Guywire
- Sewer Main
- Sewer Service
- Sewer Manhole
- Catch Basin
- Culvert
- Water Main
- Water Service
- 4.4%
- Existing Grade

PROPOSED ITEMS

- 1' Contour Interval
- Building Setback
- Interior Lot Line to be Abandoned
- Asphalt
- Landscape Drywell
- Trench Drain
- 6" Storm Drain
- French Drain
- Spot Elevations
- Proposed Grade
- 25% Slope Line
- New Building Envelope

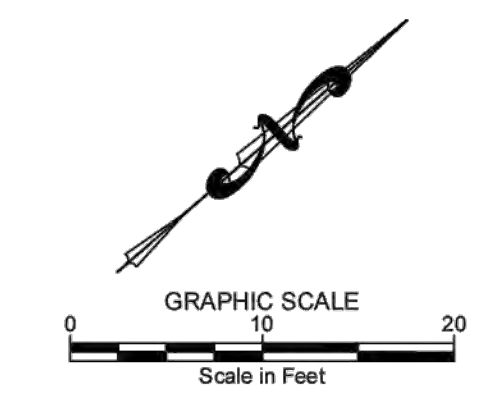


- #### SITE IMPROVEMENT KEY NOTES
- S01 SAWCUT EXISTING ASPHALT TO PROVIDE FOR A CLEAN VERTICAL EDGE.
 - S02 CONSTRUCT ASPHALT DRIVEWAY. SEE DETAIL 1 / C1.2.
 - S03 INSTALL LANDSCAPE DRYWELL. SEE DETAIL 3 / C1.2. a. RIM = 5032.5 +/- (8" under driveway)
 - S04 INSTALL TRENCH DRAIN. SEE DETAIL 2 / C1.2.
 - S05 INSTALL 6" Ø D3034 PVC PIPE @ 5+2.0% MIN. 3.0' MINIMUM COVER. SEE DETAIL 4 / C1.2.
 - S06 INSTALL FRENCH DRAIN

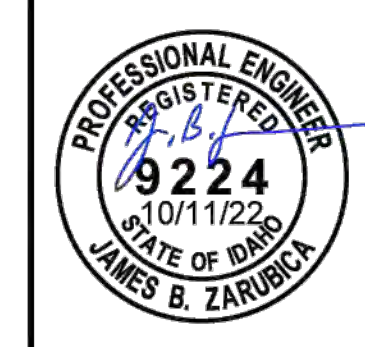
- #### GRADING AND DRAINAGE NOTES
- ALL DRAINAGE IS TO BE RETAINED ONSITE.
 - GRADE AWAY FROM FOUNDATION AT 5%.

Calculations

Existing Site Disturbance	8,469 SF
Proposed Site Disturbance	no change
Existing Bldg. Coverage	4,084 SF
-House	2,711 SF
-Deck 1	254 SF
-Deck 2	140 SF
-Front Stair	763 SF
-Front Wall	157 SF
-Back Wall	39 SF
Proposed Bldg. Coverage	2,748 SF
-House	2,663 SF
-AC Pad	85 SF



PROPOSED SITE GRADING AND DRAINAGE PLAN
691 NORTH SPRUCE
 LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M. CITY OF KETCHUM, BLAINE COUNTY, IDAHO
 PREPARED FOR 891 NORTH SPRUCE LLC

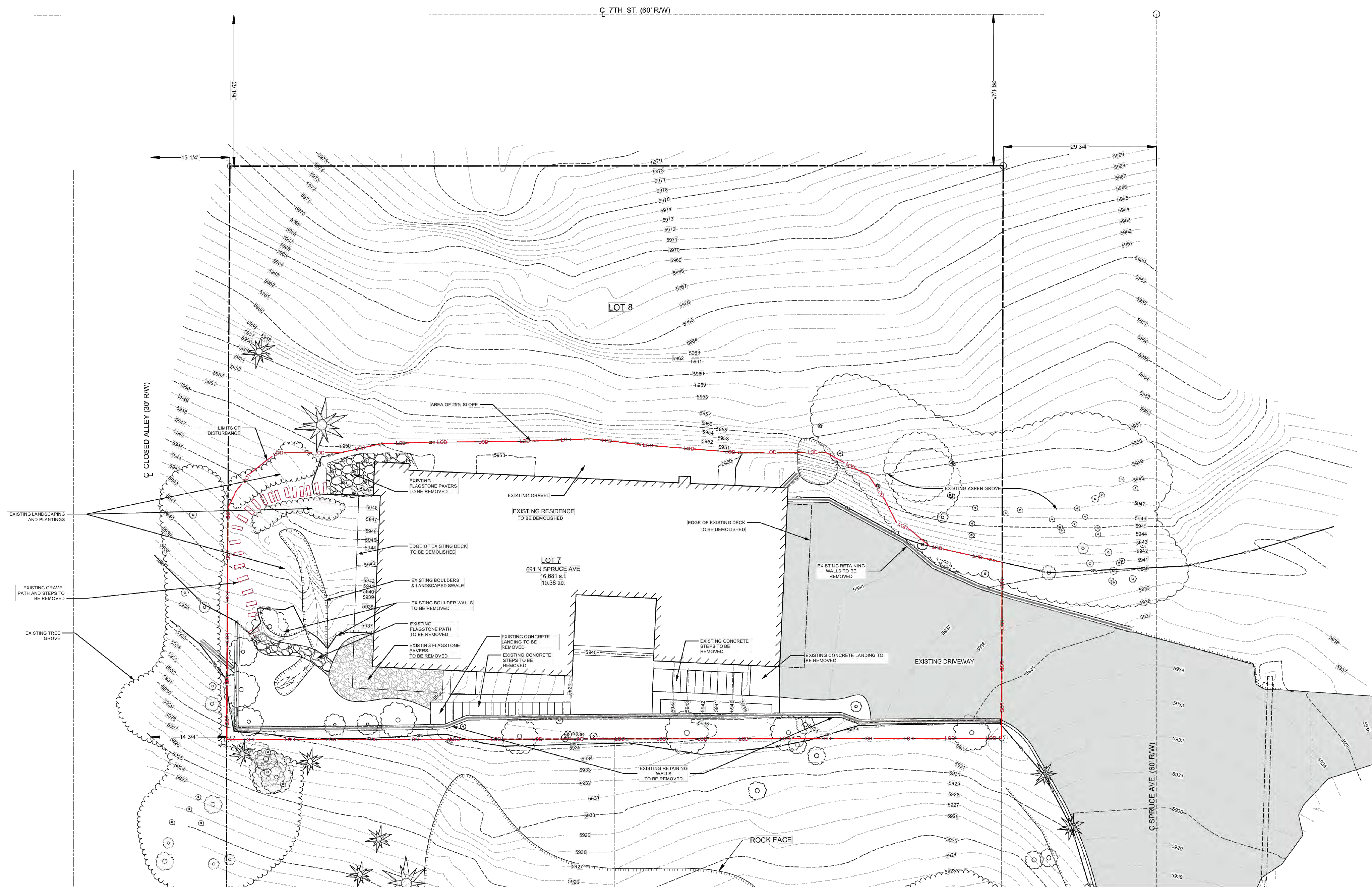


DESIGNED BY
 CT/MS
 DRAWN BY
 SMF/JBZ
 CHECKED BY

GALENA
ENGINEERING, INC.
 Civil Engineers & Land Surveyors
 317 N. River Street
 Hailey, Idaho 83333
 email: galena@galena-engineering.com

NO.	DATE	BY	REVISIONS
1	08/25/22	JBZ	REVISE PER NEW ARCHITECTURAL LAYOUT
2	10/11/22	JBZ	REVISE PER NEW ARCHITECTURAL LAYOUT

C1.1

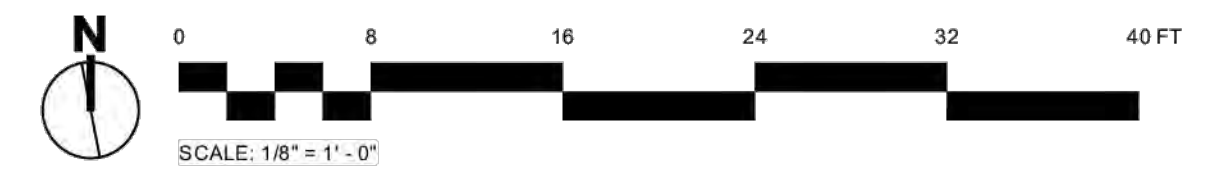


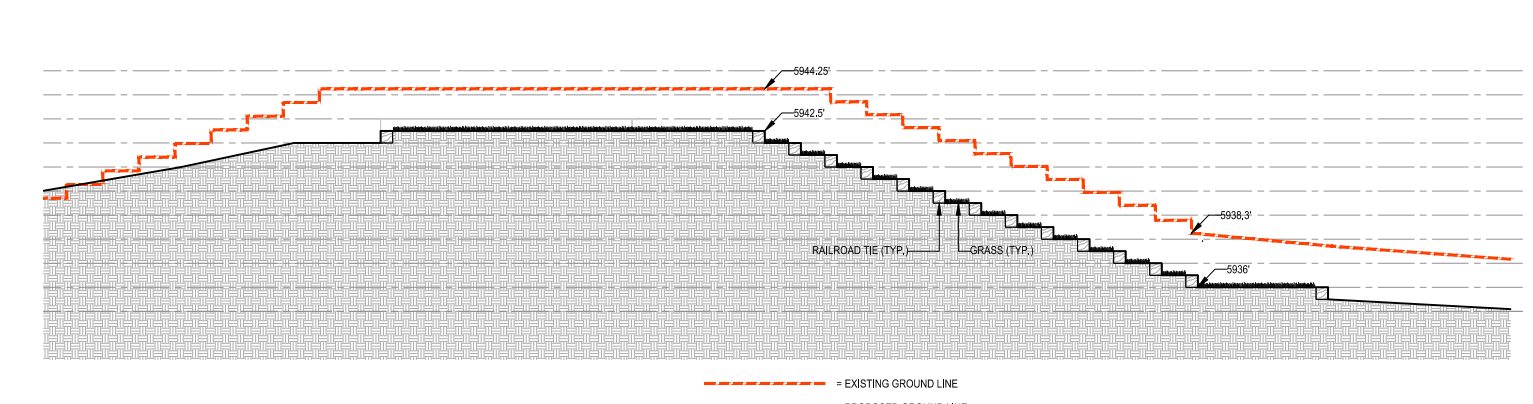
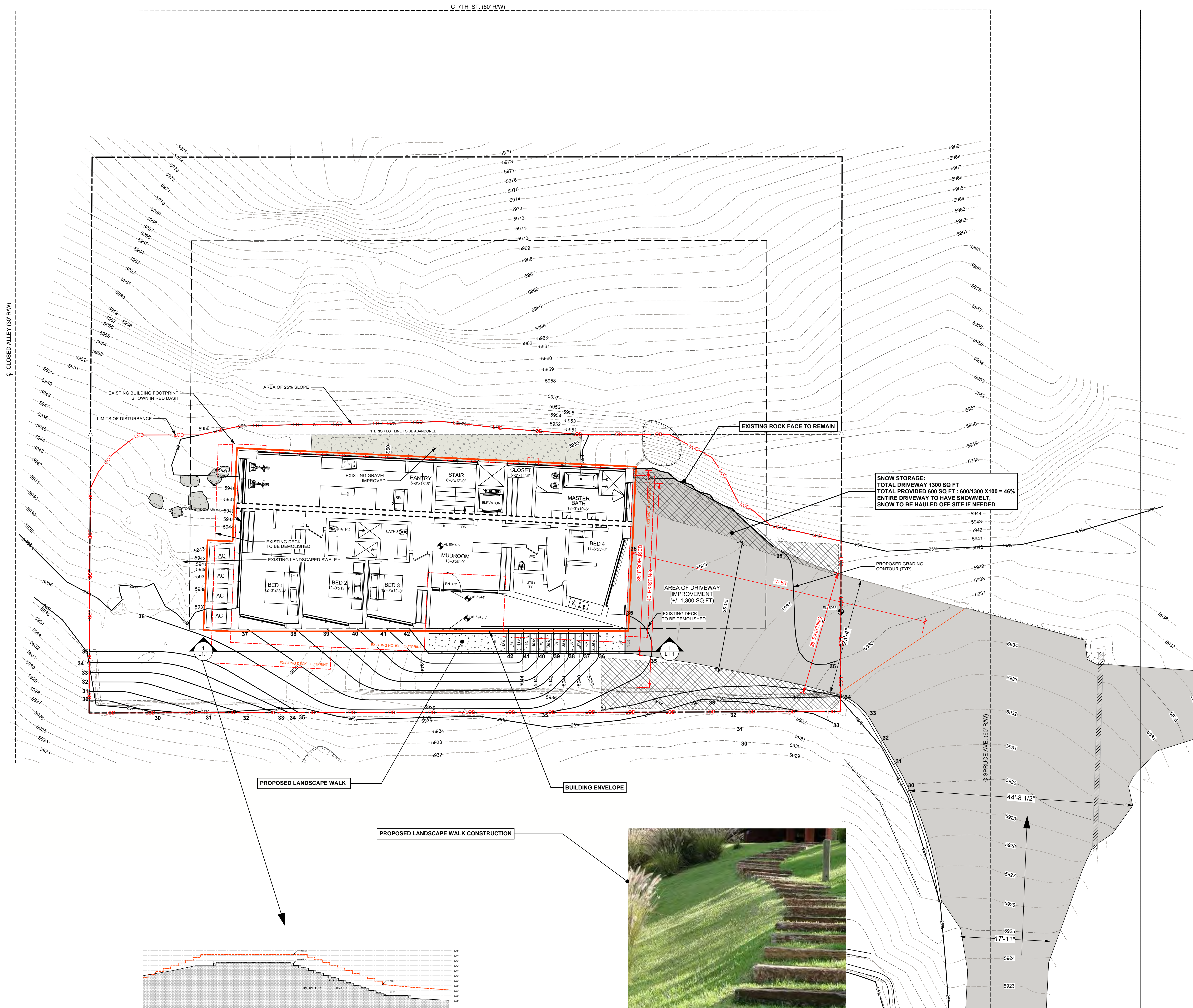
LANDSCAPE PLAN
RESIDENCE
 691 N. SPRUCE AVE, KETCHUM, IDAHO

691 N
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 PROJECT MANAGER: XX
 DRAWN BY: XX
 ISSUE DATE: 10/4/2022
 PLOT DATE: 10/4/22 1:44:55 PM

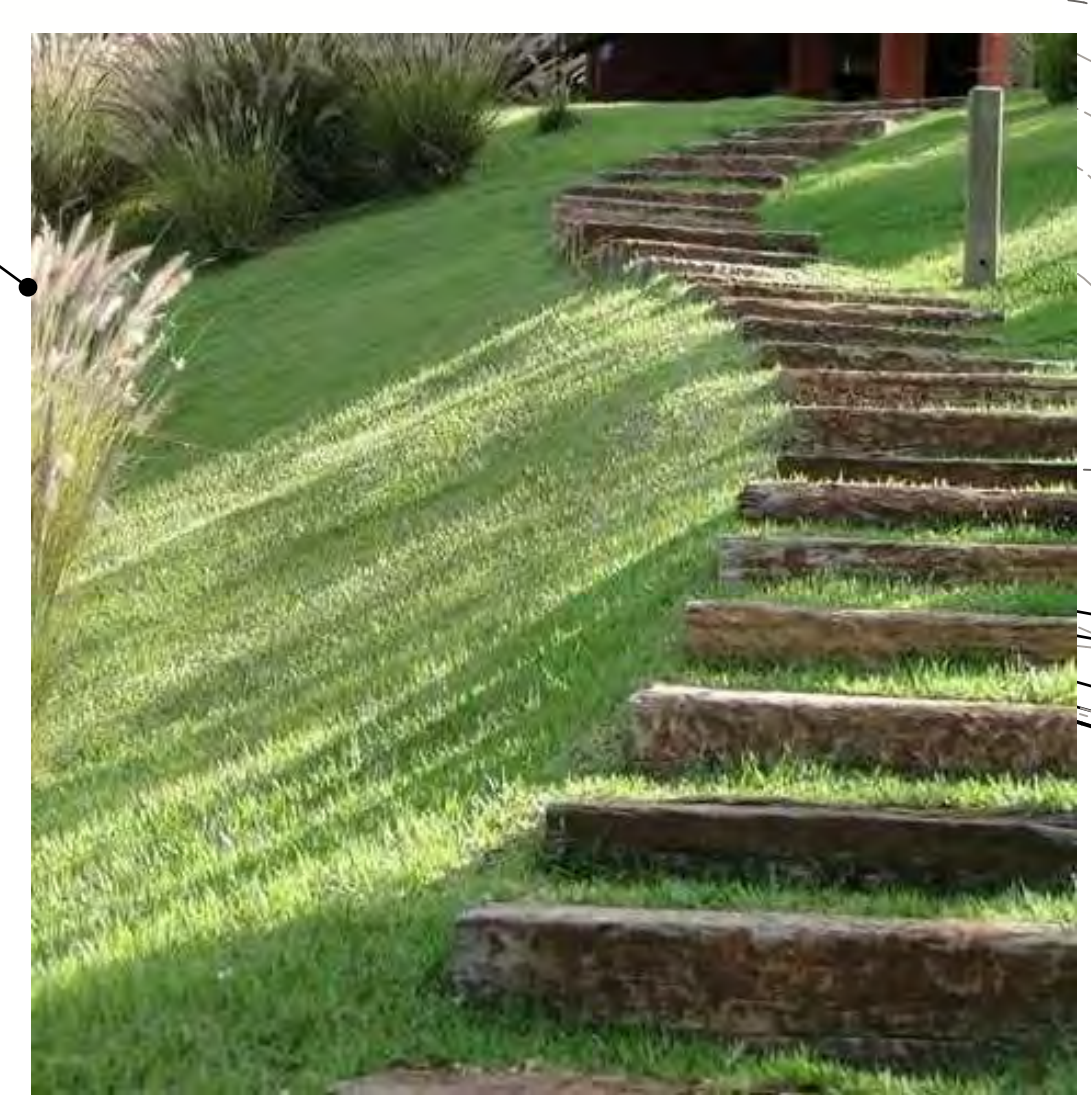
**LANDSCAPE
 EXISTING
 CONDITIONS**

SHEET NO.
L1.0





1 ENTRY WALK AND LANDING SECTION
Scale: 1/8" = 1'-0"



PROPOSED LANDSCAPE WALK CONSTRUCTION

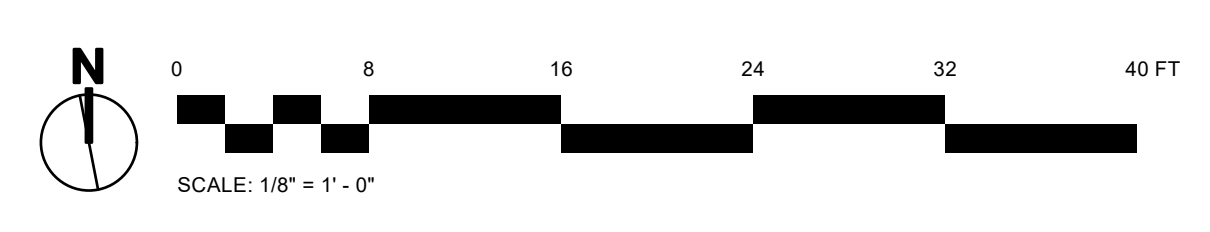
LANDSCAPE PLAN
RESIDENCE
691 N. SPRUCE AVE, KETCHUM, IDAHO

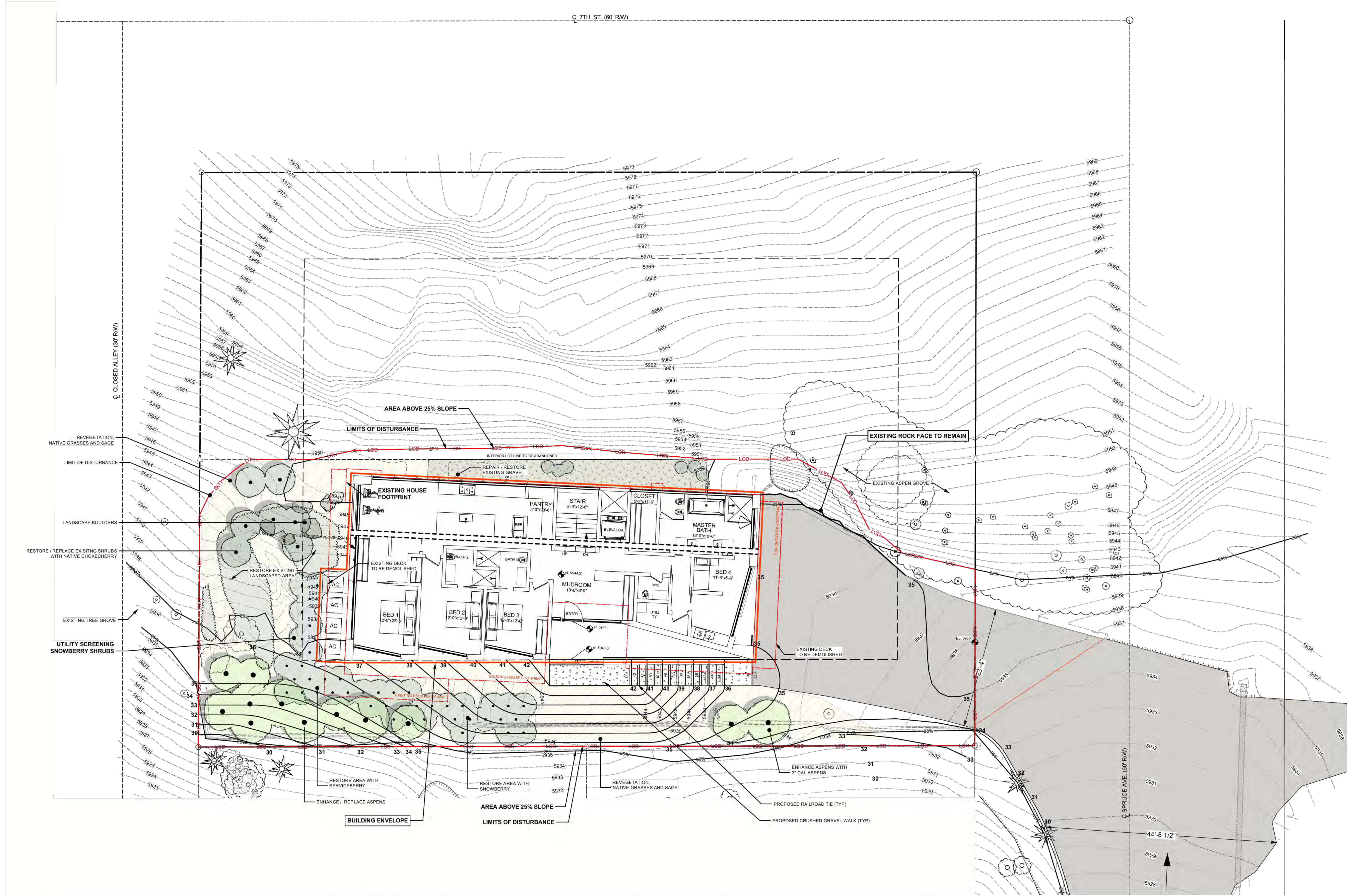
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DRAWN BY: XX
ISSUE DATE: 10/4/2022
PLOT DATE: 10/4/22 1:44:55 PM

GRADING PLAN

SHEET NO.

L1.1





LANDSCAPE PLAN
RESIDENCE
691 N. SPRUCE AVE, KETCHUM, IDAHO

691 N
FILENAME: SPRUCE-v2023.vwx
PROJECT MANAGER: XX
DRAWN BY: XX
ISSUE DATE: 10/4/2022
PLOT DATE: 10/4/22 1:44:56 PM

LANDSCAPE
PLAN

SHEET NO.

L2.0

General Notes

-The existing home will be demolished and a new home will be constructed in place

Calculations - Proposed

Basement Gross	232 SF
Total Building Gross	4,534 SF

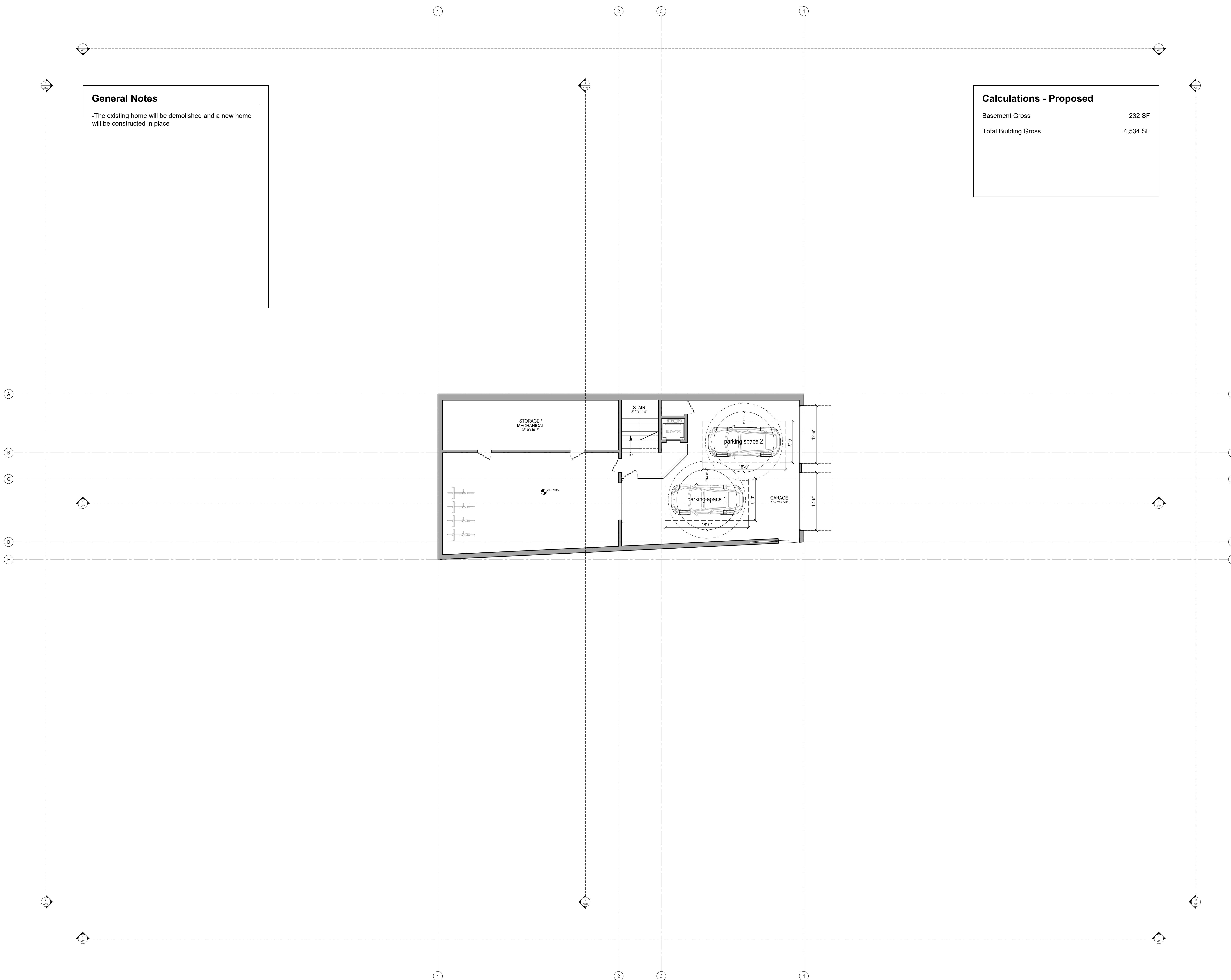
Residence

691 North Spruce Ave.
Ketchum, ID 83340

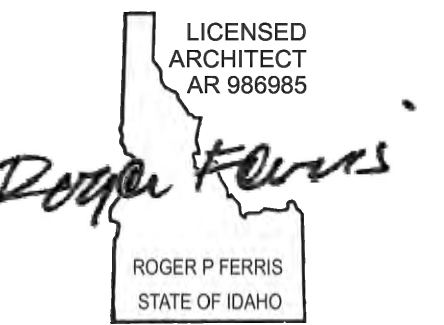
Architect
Roger Ferris + Partners
11 Wilton Road • Westport, Connecticut 06880
tel. 203.222.4848 • www.ferrisarch.com

Civil Engineer/Surveyor
Galena Engineering
317 N. River Street • Hailey, ID 83333
tel. 208.788.1705 • www.galena-engineering.com

Landscape Architect
BYLA Landscape Architects
323 Lewis Street, Suite N • Ketchum, ID 83340
tel. 208.726.5907 • www.byla.us



ARCHITECT'S SEAL



KEY PLAN

PROJECT PHASE - PERMITTING

REVISIONS

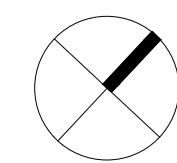
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3	MODR - REV #2	AUGUST 26, 2022	CITY
4	MODR - REV #3	OCTOBER 6, 2022	CITY
5	MODR - REV#4	OCTOBER 11, 2022	CITY

SHEET NAME

BASEMENT PLAN

PROJECT NUMBER: 21-002
DATE: JUNE 30, 2021
SCALE: AS NOTED

1 Basement Plan
1/8"=1'-0"



A101

General Notes

-The existing home will be demolished and a new home will be constructed in place

Calculations - Proposed

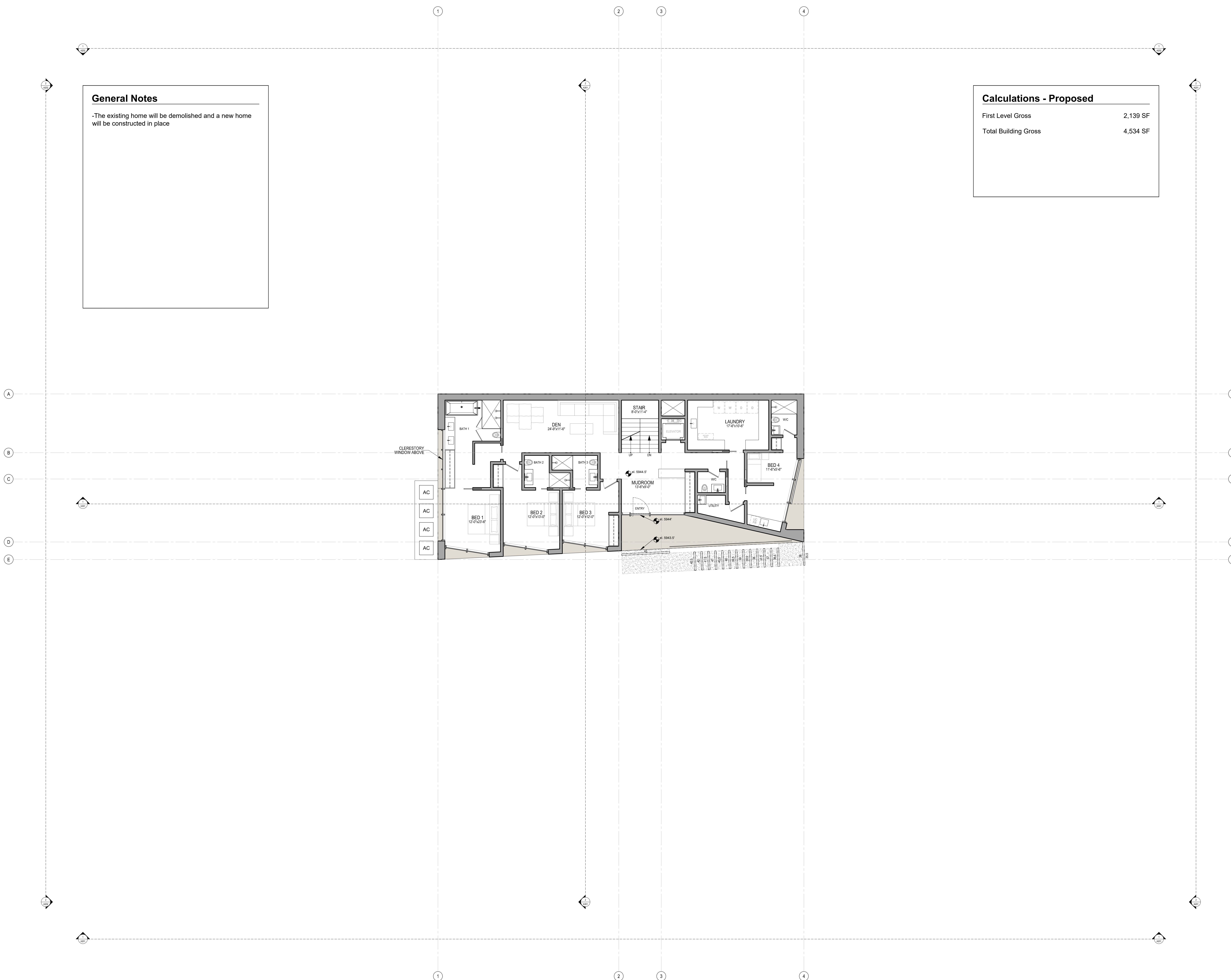
First Level Gross	2,139 SF
Total Building Gross	4,534 SF

Residence
691 North Spruce Ave.
Ketchum, ID 83340

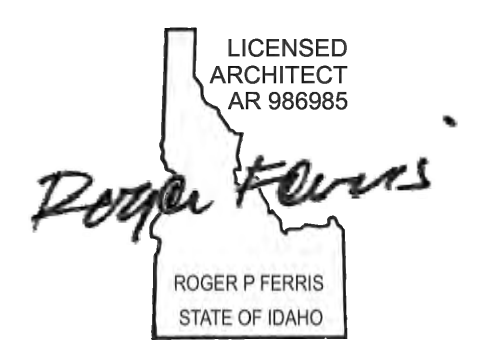
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ARCHITECT'S SEAL



KEY PLAN

PROJECT PHASE - PERMITTING

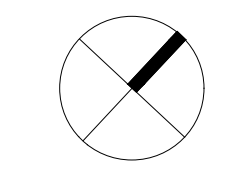
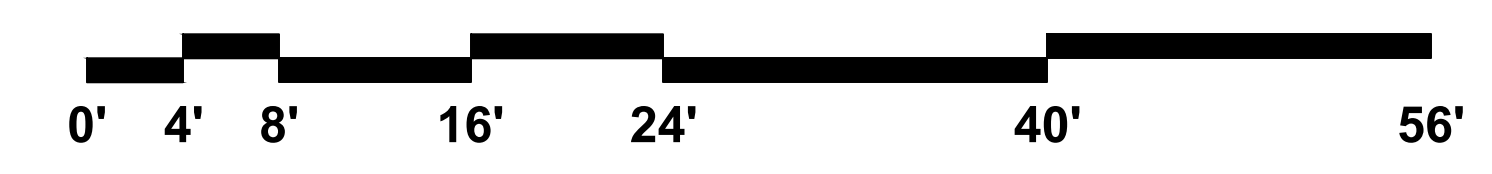
REVISIONS

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5	MODR - REV#4	OCTOBER 11, 2022	CITY

SHEET NAME
FIRST LEVEL PLAN

PROJECT NUMBER: 21-002
DATE: JUNE 30, 2021
SCALE: AS NOTED

1 First Level Plan
1/8"=1'-0"



A102

General Notes

-The existing home will be demolished and a new home will be constructed in place

Calculations - Proposed

Second Level Gross	2,163 SF
Total Building Gross	4,534 SF

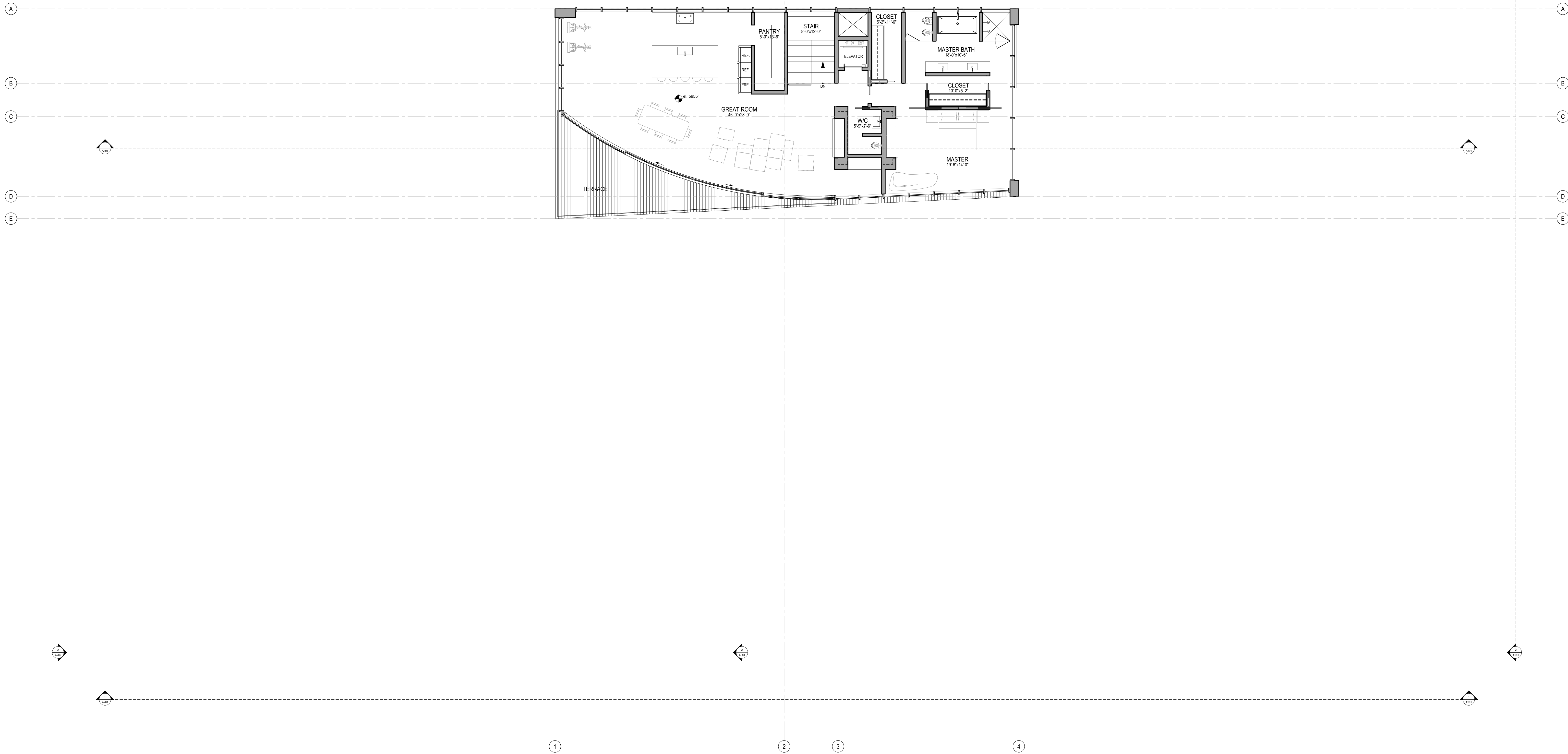
Residence

691 North Spruce Ave.
Ketchum, ID 83340

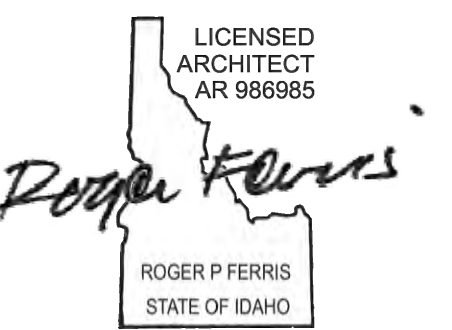
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ARCHITECT'S SEAL



KEY PLAN

PROJECT PHASE - PERMITTING

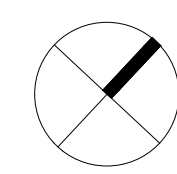
REVISIONS

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5	MODR - REV#4	OCTOBER 11, 2022	CITY

SHEET NAME
SECOND LEVEL PLAN

PROJECT NUMBER: 21-002
DATE: JUNE 30, 2021
SCALE: AS NOTED

1 Second Level Plan
1/8"=1'-0"



A103

Residence

691 North Spruce Ave.
Ketchum, ID 83340

Architect
Roger Ferris + Partners
11 Wilton Road • Westport, Connecticut 06880
tel. 203.222.4848 • www.ferrisarch.com

Civil Engineer/Surveyor
Galena Engineering
317 N. River Street • Hailey, ID 83333
tel. 208.788.1705 • www.galena-engineering.com

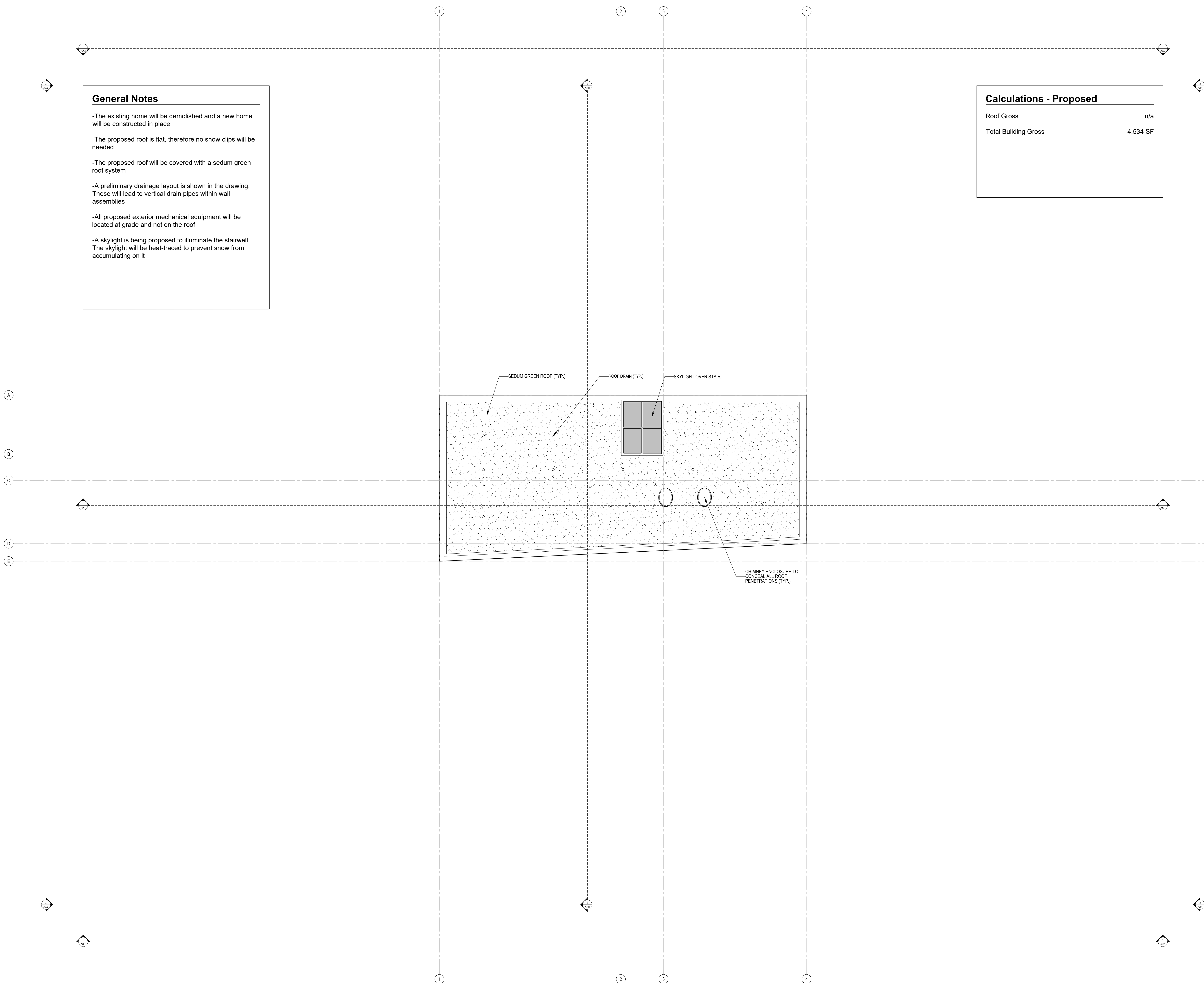
Landscape Architect
BYLA Landscape Architects
323 Lewis Street, Suite N • Ketchum, ID 83340
tel. 208.726.5907 • www.byla.us

General Notes

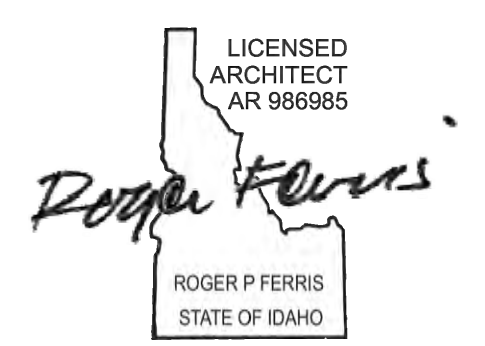
- The existing home will be demolished and a new home will be constructed in place
- The proposed roof is flat, therefore no snow clips will be needed
- The proposed roof will be covered with a sedum green roof system
- A preliminary drainage layout is shown in the drawing. These will lead to vertical drain pipes within wall assemblies
- All proposed exterior mechanical equipment will be located at grade and not on the roof
- A skylight is being proposed to illuminate the stairwell. The skylight will be heat-traced to prevent snow from accumulating on it

Calculations - Proposed

Roof Gross	n/a
Total Building Gross	4,534 SF



ARCHITECT'S SEAL



KEY PLAN

PROJECT PHASE - PERMITTING

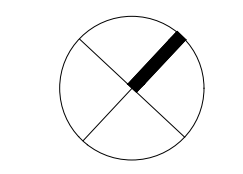
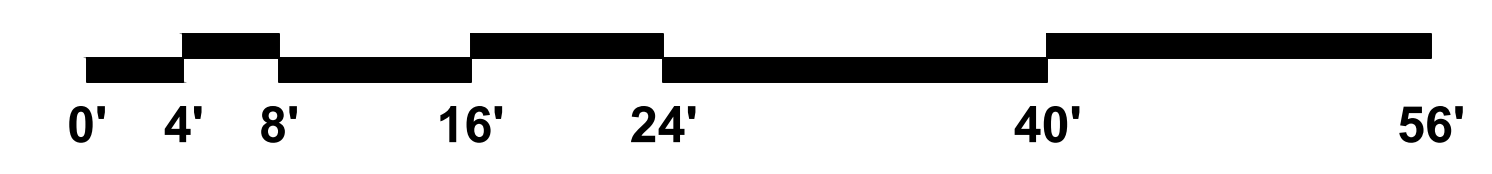
REVISIONS

NO.	DESCRIPTION	DATE	ISSUED TO
1	MODR - REV #1	JUNE 16, 2022	CITY
2	MODR - REV #2	AUGUST 26, 2022	CITY
3	MODR - REV #3	OCTOBER 6, 2022	CITY
4	MODR - REV#4	OCTOBER 11, 2022	CITY

SHEET NAME
ROOF PLAN

PROJECT NUMBER: 21-002
DATE: JUNE 30, 2021
SCALE: AS NOTED

1 Roof Plan
1/8"=1'-0"



A104

Material Legend

- 1) Wood Windows & Doors
- 2) Wood Louvers
- 3) Stone Cladding
- 4) Stone Fascias
- 5) Wood Soffits
- 6) Zinc Chimney
- 7) Glass Guardrail
- 8) Green Roof

See Proposed Material Palette

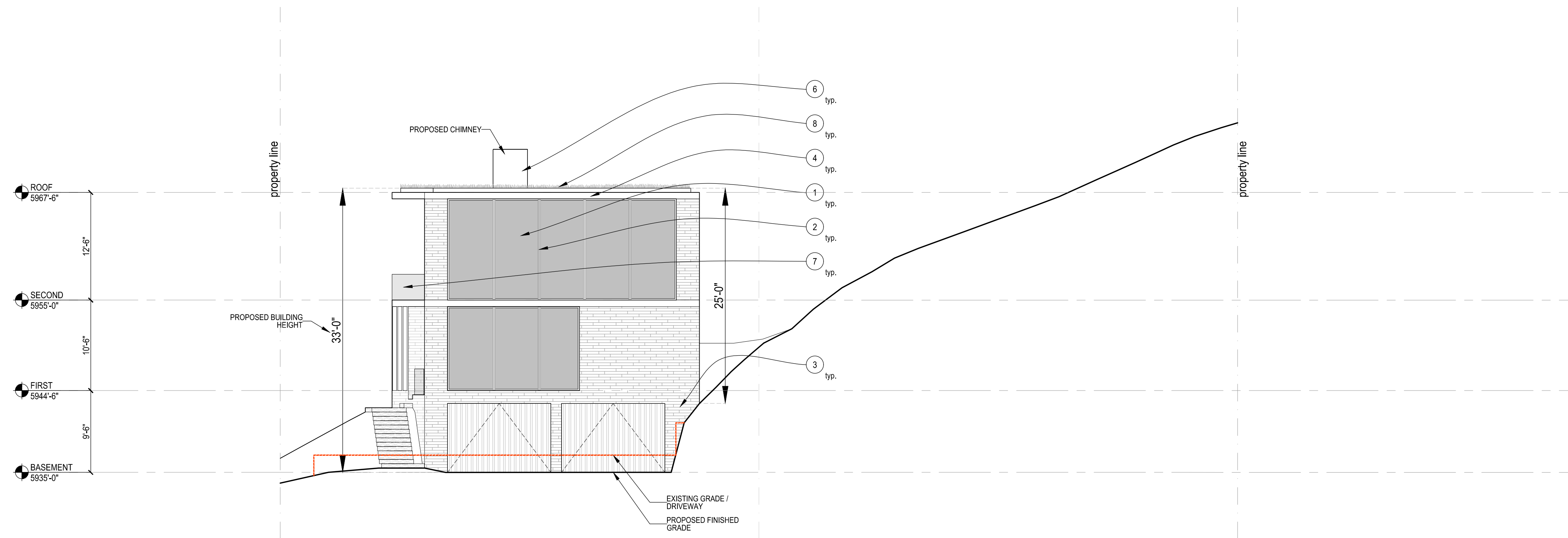
Residence

691 North Spruce Ave.
Ketchum, ID 83340

Architect
Roger Ferris + Partners
11 Wilton Road • Westport, Connecticut 06880
tel. 203.222.4848 • www.ferrisarch.com

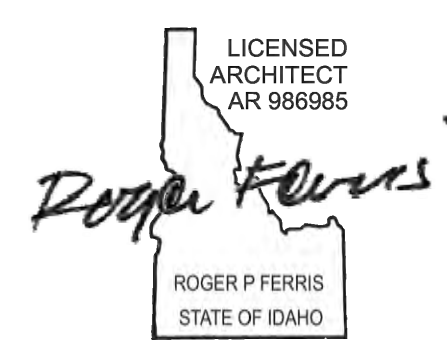
Civil Engineer/Surveyor
Galena Engineering
317 N. River Street • Halley, ID 83333
tel. 208.788.1705 • www.galena-engineering.com

Landscape Architect
BYLA Landscape Architects
323 Lewis Street, Suite N • Ketchum, ID 83340
tel. 208.726.5907 • www.byla.us

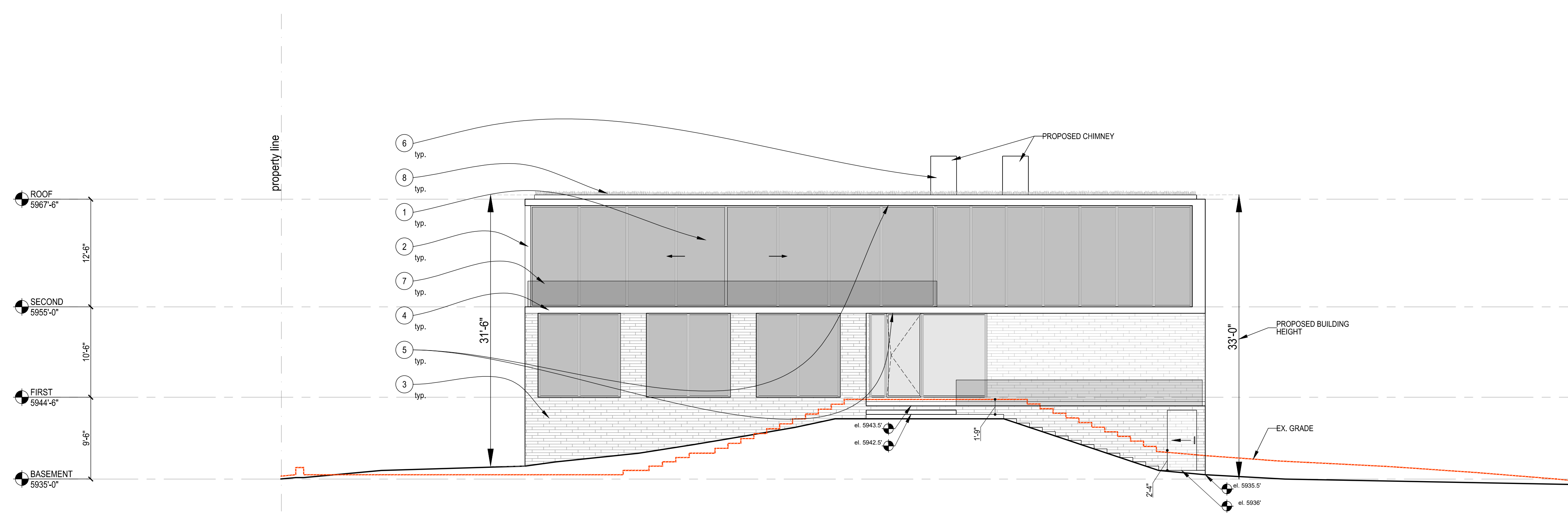


2 East Elevation - Proposed
1/8"=1'-0"

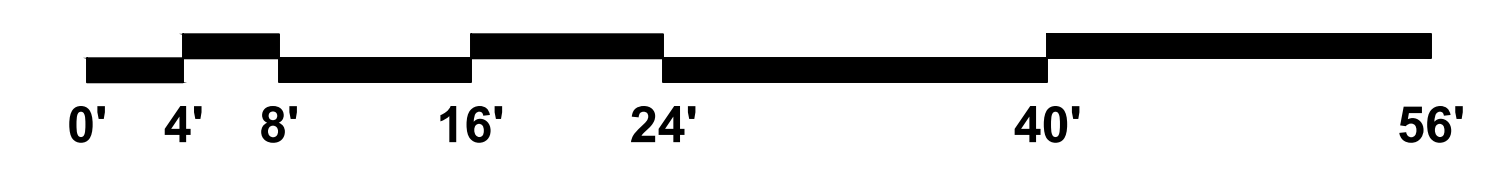
ARCHITECT'S SEAL



KEY PLAN



1 South Elevation - Proposed
1/8"=1'-0"



PROJECT PHASE - PERMITTING

REVISIONS			
NO.	DESCRIPTION	DATE	ISSUED TO
1	PRE-APP - MODR	MAY 10, 2022	CITY
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4	MODR - REV #3	OCTOBER 6, 2022	CITY
5	MODR - REV#4	OCTOBER 11, 2022	CITY

SHEET NAME

ELEVATIONS

PROJECT NUMBER: 21-002
DATE: JULY 06, 2021
SCALE: AS NOTED

A201

Material Legend

- 1) Wood Windows & Doors
- 2) Wood Louvers
- 3) Stone Cladding
- 4) Stone Fascias
- 5) Wood Soffits
- 6) Zinc Chimney
- 7) Glass Guardrail
- 8) Green Roof

See Proposed Material Palette

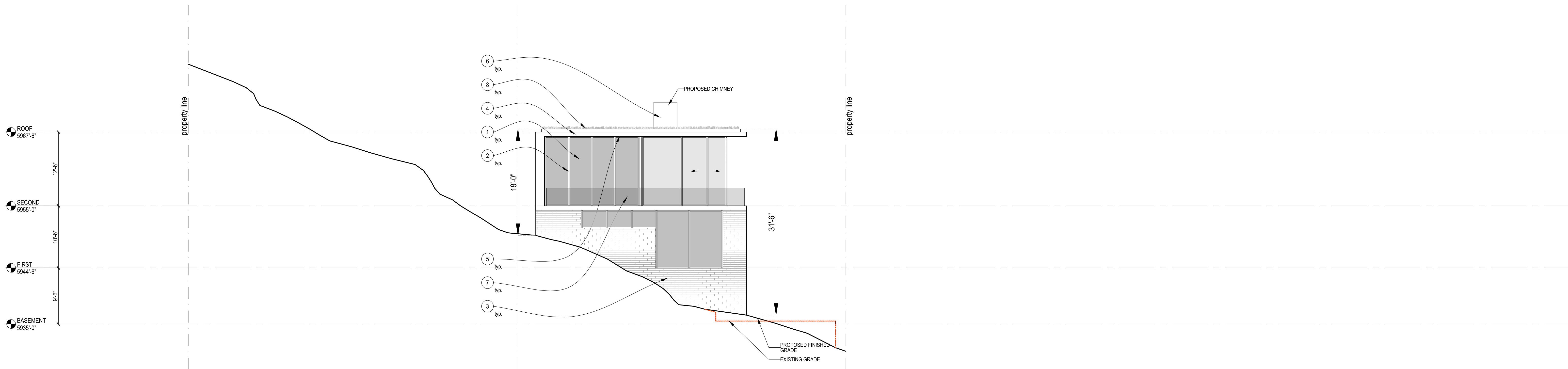
Residence

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Roger Ferris + Partners
11 Wilton Road • Westport, Connecticut 06880
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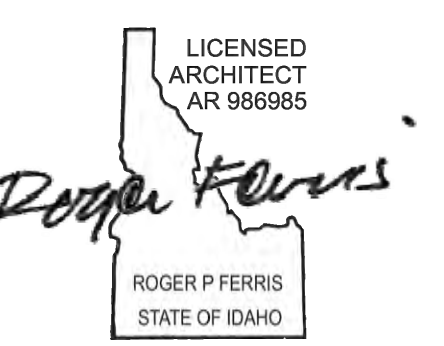
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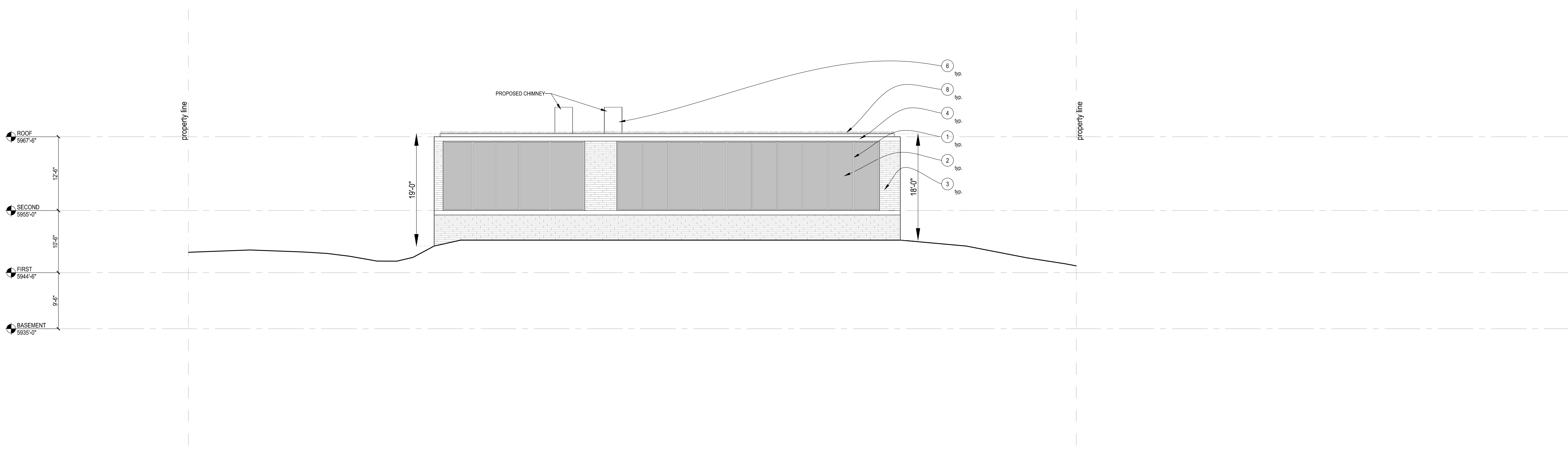


2 West Elevation - Proposed
1/8"=1'-0"

ARCHITECT'S SEAL



KEY PLAN



1 North Elevation - Proposed
1/8"=1'-0"

PROJECT PHASE - PERMITTING

REVISIONS

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5	MODR - REV#4	OCTOBER 11, 2022	CITY

SHEET NAME
ELEVATIONS

PROJECT NUMBER: 21-002
DATE: JULY 06, 2021
SCALE: AS NOTED



A202

Residence

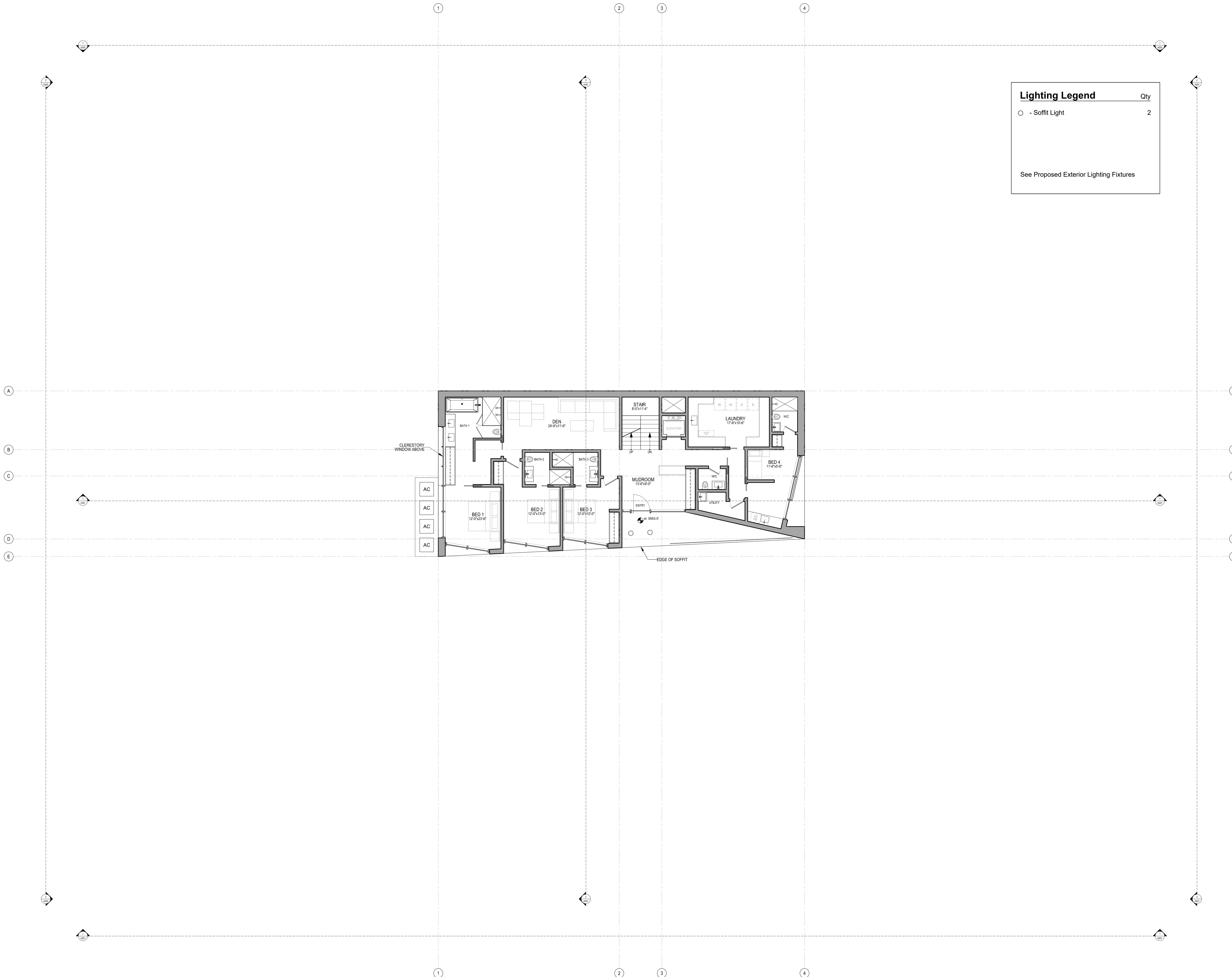
691 North Spruce Ave.
Ketchum, ID 83340

Architect
Roger Ferris + Partners
11 Wilton Road • Westport, Connecticut 06880
tel. 203.222.4848 • www.ferrisarch.com

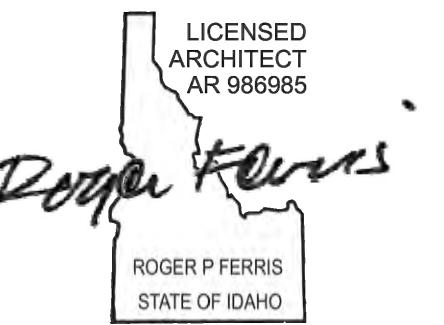
Civil Engineer/Surveyor
Galena Engineering
317 N. River Street • Hailey, ID 83333
tel. 208.788.1705 • www.galena-engineering.com

Landscape Architect
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tel. 208.726.5907 • www.byla.us

Lighting Legend		Qty
○	- Soffit Light	2
See Proposed Exterior Lighting Fixtures		



ARCHITECT'S SEAL



KEY PLAN

PROJECT PHASE - PERMITTING

REVISIONS

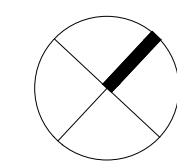
NO.	DESCRIPTION	DATE	ISSUED TO
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4	MODR - REV #3	OCTOBER 6, 2022	CITY
5	MODR - REV#4	OCTOBER 11, 2022	CITY

SHEET NAME

FIRST LEVEL REFLECTED CEILING PLAN

PROJECT NUMBER: 21-002
DATE: JUNE 30, 2021
SCALE: AS NOTED

1 First Level Reflected Ceiling Plan
1/8"=1'-0"



A112

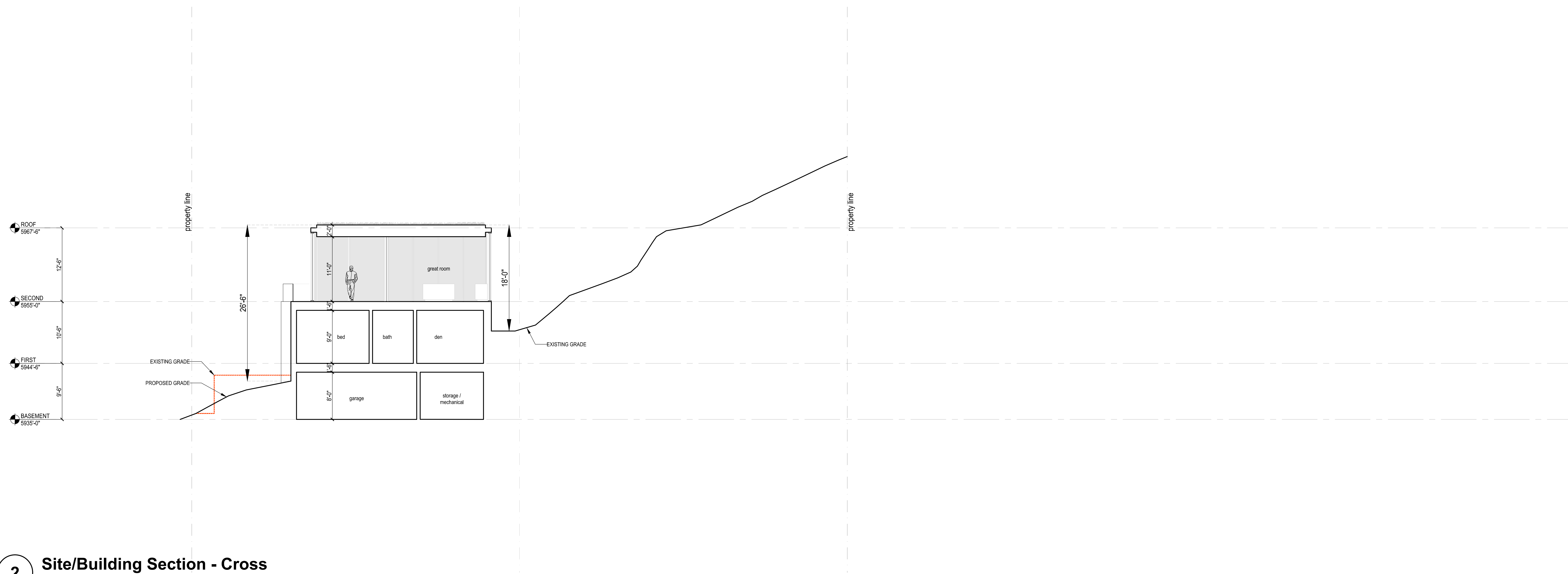
Residence

691 North Spruce Ave.
Ketchum, ID 83340

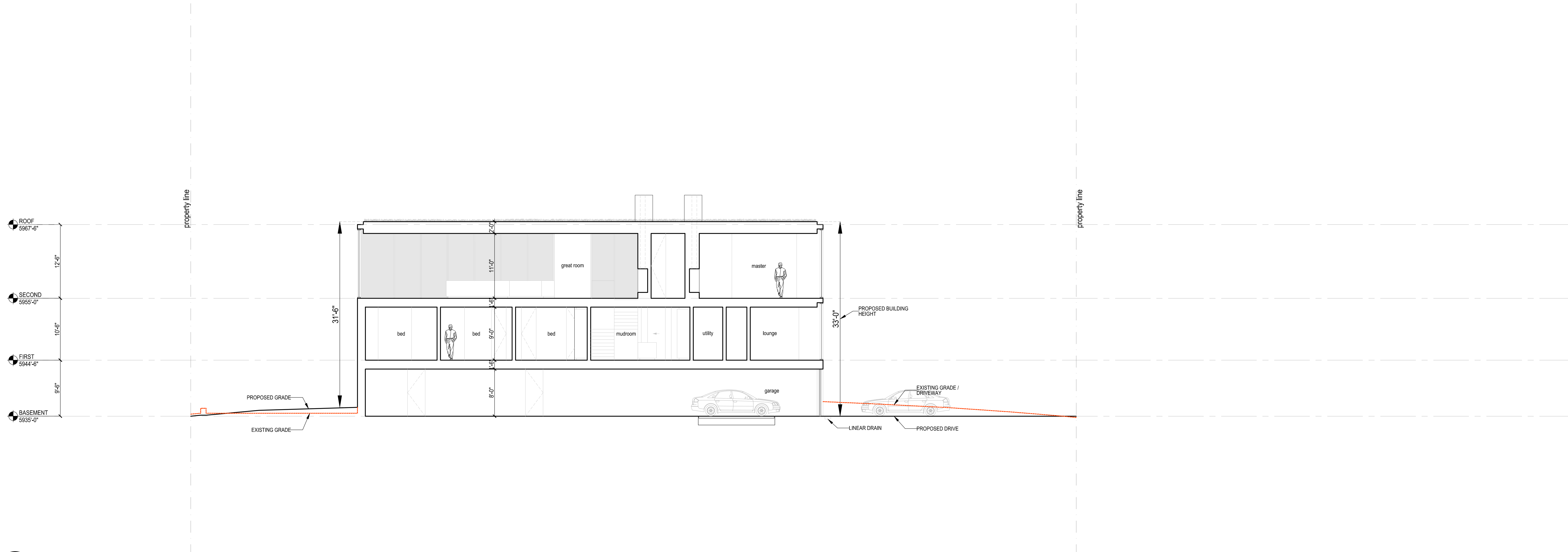
Architect
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tel. 203.222.4848 • www.ferrisarch.com

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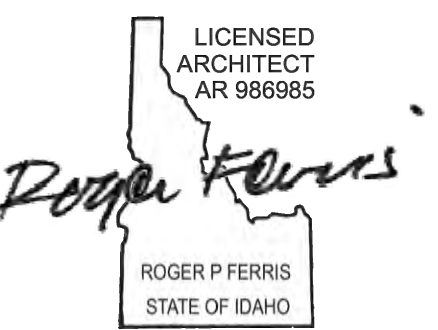


2 Site/Building Section - Cross
1/8"=1'-0"



1 Site/Building Section - Longitudinal
1/8"=1'-0"

ARCHITECT'S SEAL



KEY PLAN

PROJECT PHASE - PERMITTING

REVISIONS

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4	MODR - REV #3	OCTOBER 6, 2022	CITY
5	MODR - REV#4	OCTOBER 11, 2022	CITY

SHEET NAME

SITE/BUILDING SECTION

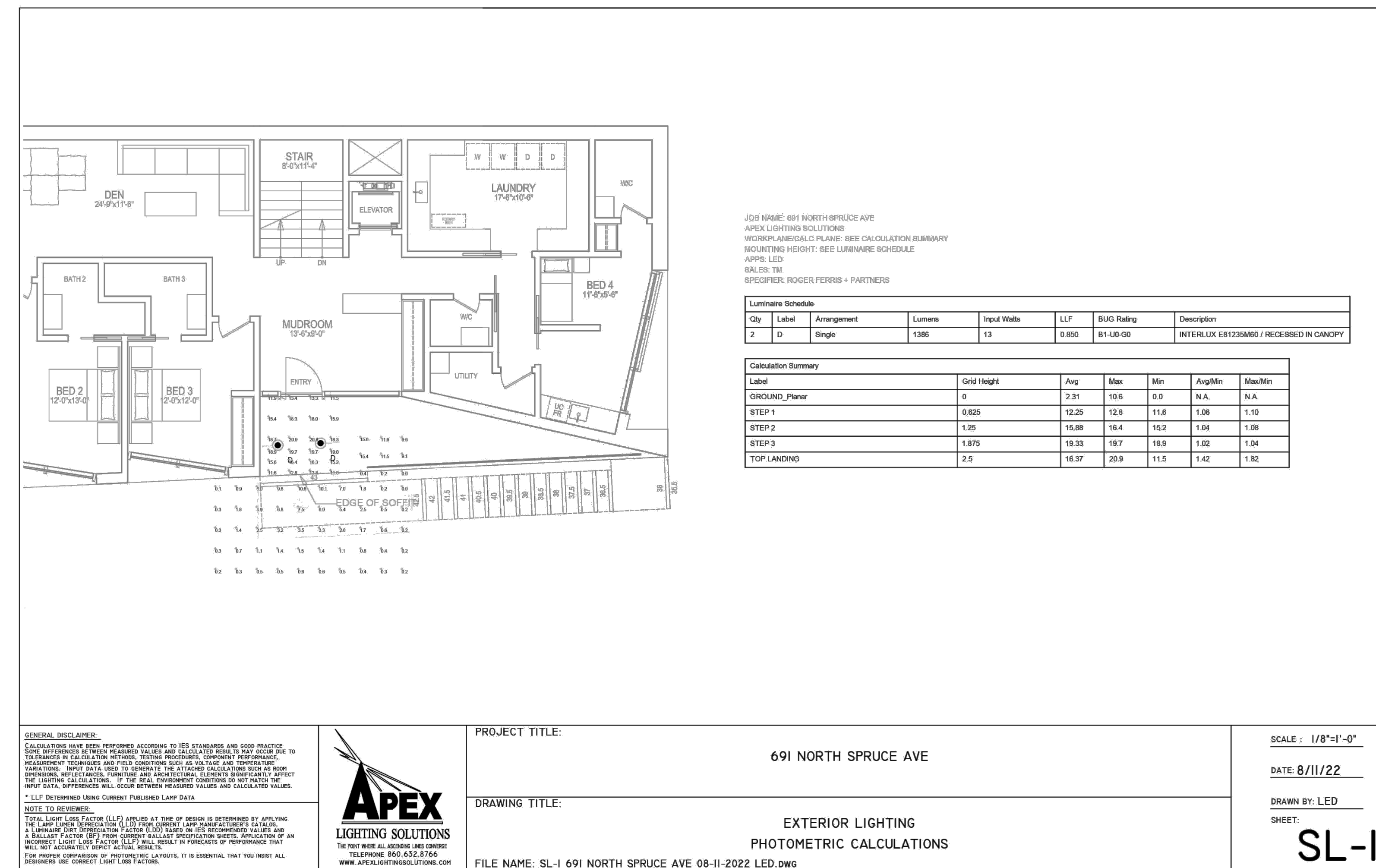
PROJECT NUMBER: 21-002
DATE: JULY 06, 2021
SCALE: AS NOTED



A301

Proposed Exterior Lighting Fixtures & Photometric Plan

All fixtures to comply with City of Ketchum Dark Sky Ordinance - Chapter 17.132



Note: Source lumens shown

Model	Beam Angle	Beam Diameter	Beam Length	Beam Type	Spot Diameter	Spot Length	Spot Type	Spot Diameter	Spot Length	Spot Type
EB1235	36.4	2700 K	1724 lm	M	Spot	15	15	15	15	15
EB1236	36.4	3000 K	1724 lm	W	Medium Flood	30	30	30	30	30
EB1237	36.4	4000 K	1854 lm	N	Flood	60	60	60	60	60

Power supply options (remote only):
ECC09W-310 500 lux 1.5 fixtures
SOL09W-310 500 lux 1.5 fixtures
SOL018W-310 1000 lux 1.4 fixtures

Lighting Fixture - Soffit Light

Recessed
2700K Color Temperature

Residence

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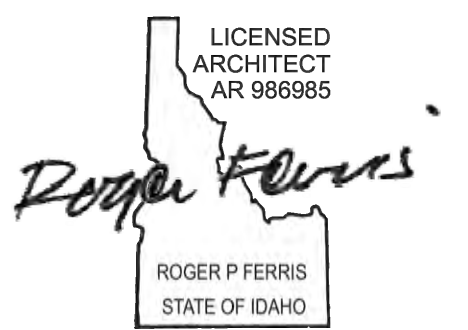
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tel. 208.788.1705 • www.galena-engineering.com

Landscape Architect

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ARCHITECT'S SEAL



KEY PLAN

PROJECT PHASE - PERMITTING

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5	MODR - REV#4	OCTOBER 11, 2022	CITY

SHEET NAME

PROPOSED EXTERIOR LIGHTING FIXTURES

PROJECT NUMBER: 21-002
DATE: JULY 14, 2021
SCALE: N/A

G001

Proposed Material Palette



1) Wood Windows & Doors
At exterior glazing locations



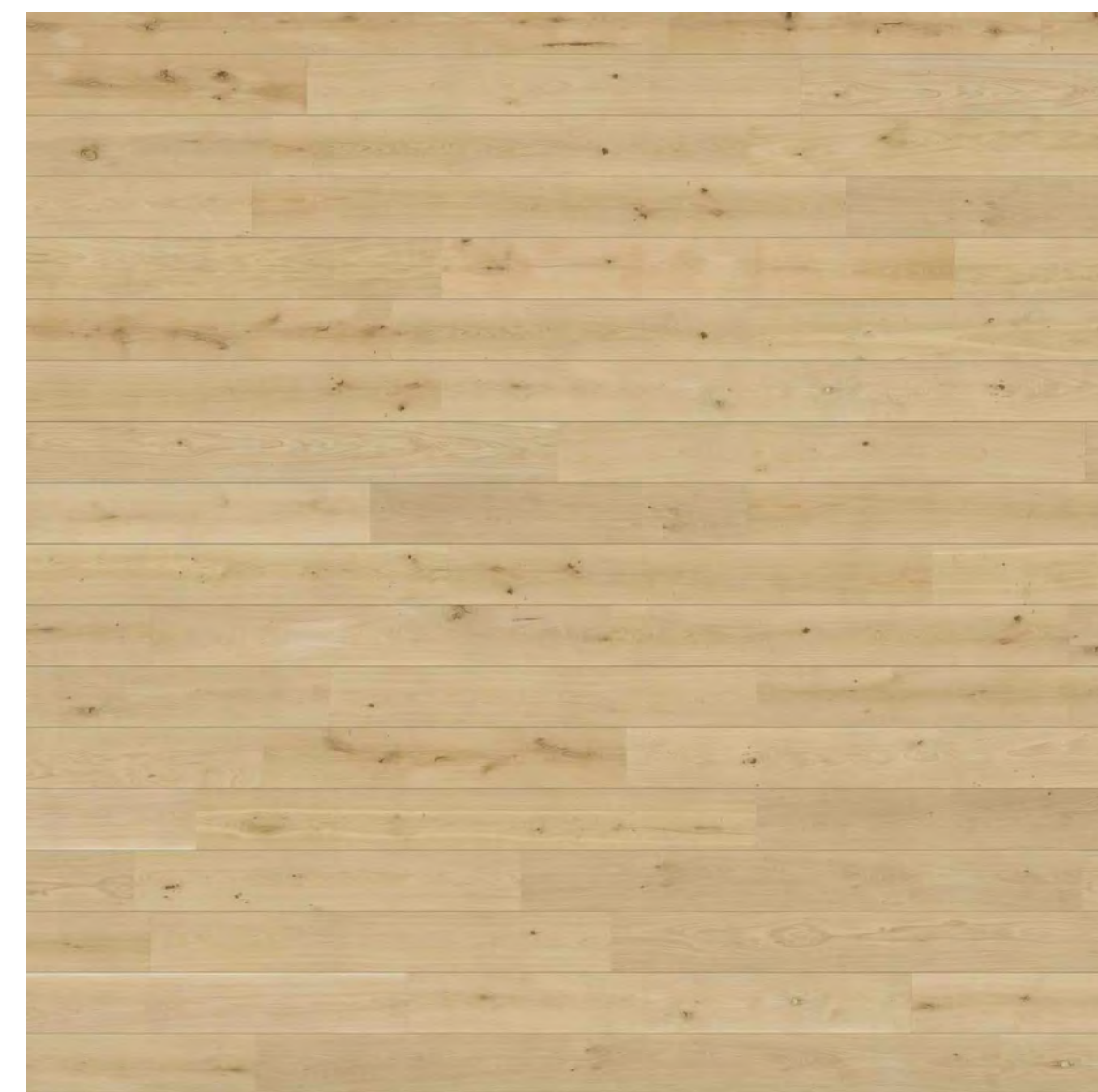
2) Wood Louvers
At exterior glazed locations



3) Stone Cladding
At exterior walls



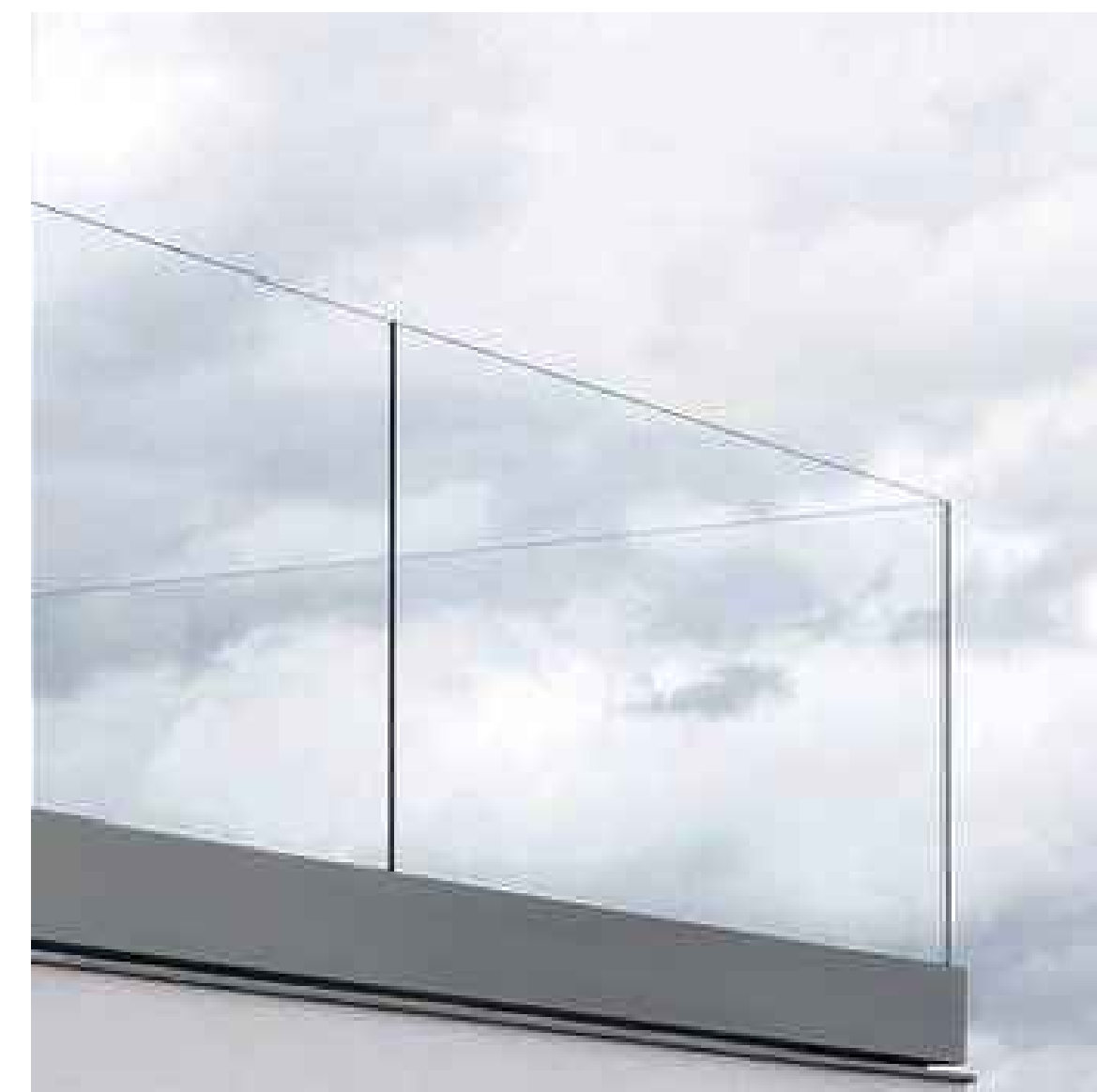
4) Stone Slabs
At exterior terraces & fascias



5) Wood Soffits
At exterior soffit locations



6) Zinc
At chimneys & parapet caps



7) Glass Guardrail
At exterior terraces



8) Green Roof
Sedum green roof w/native vegetation
(TBD by Landscape Architect)

Residence

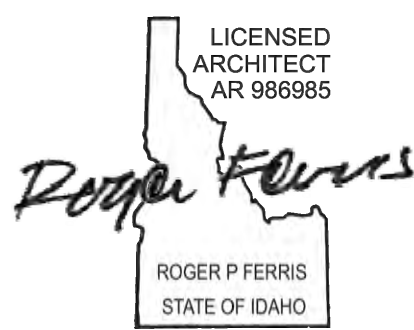
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ARCHITECT'S SEAL



KEY PLAN

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5	MODR - REV#4	OCTOBER 11, 2022	CITY

SHEET NAME

PROPOSED MATERIAL PALETTE

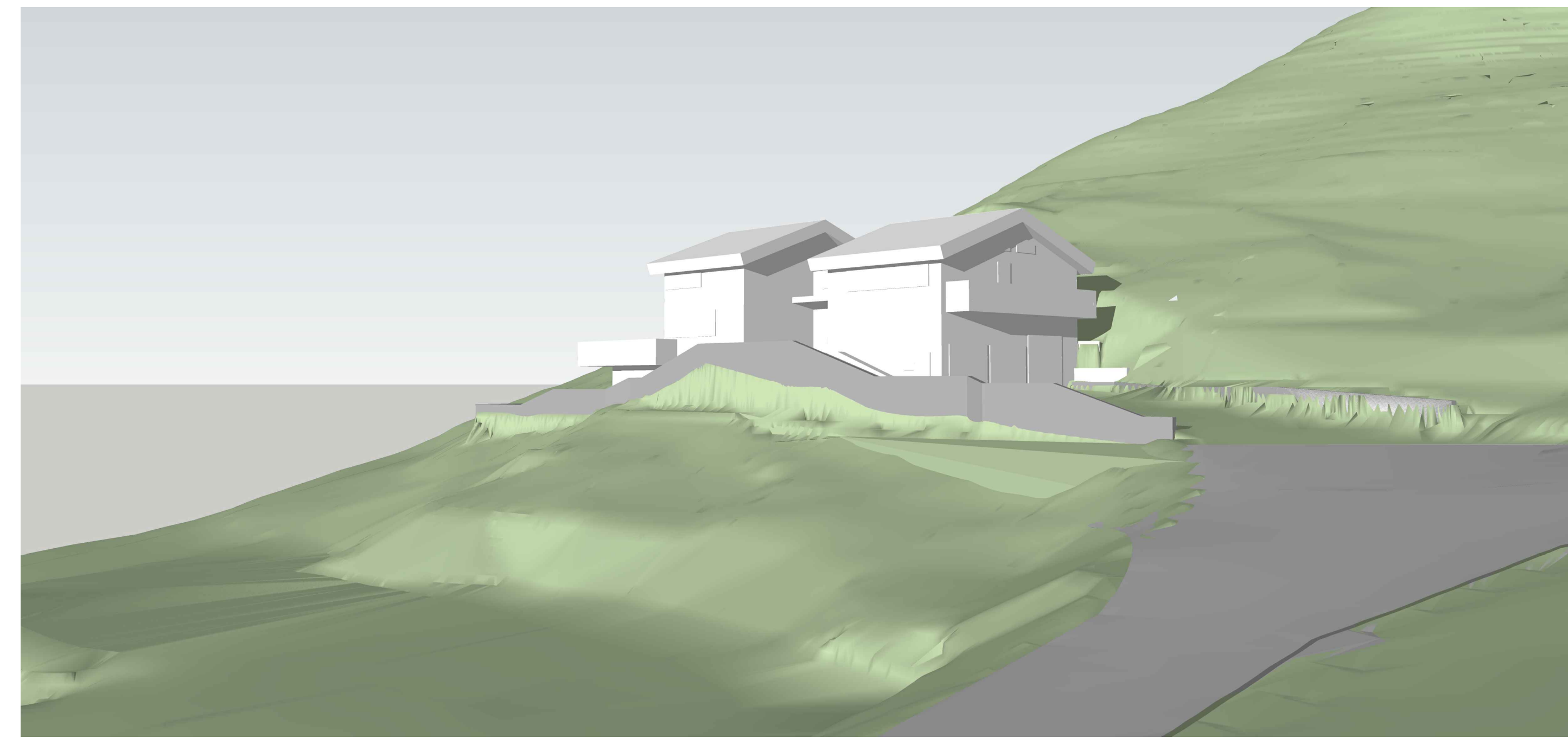
PROJECT NUMBER: 21-002
DATE: JULY 14, 2021
SCALE: N/A

G002

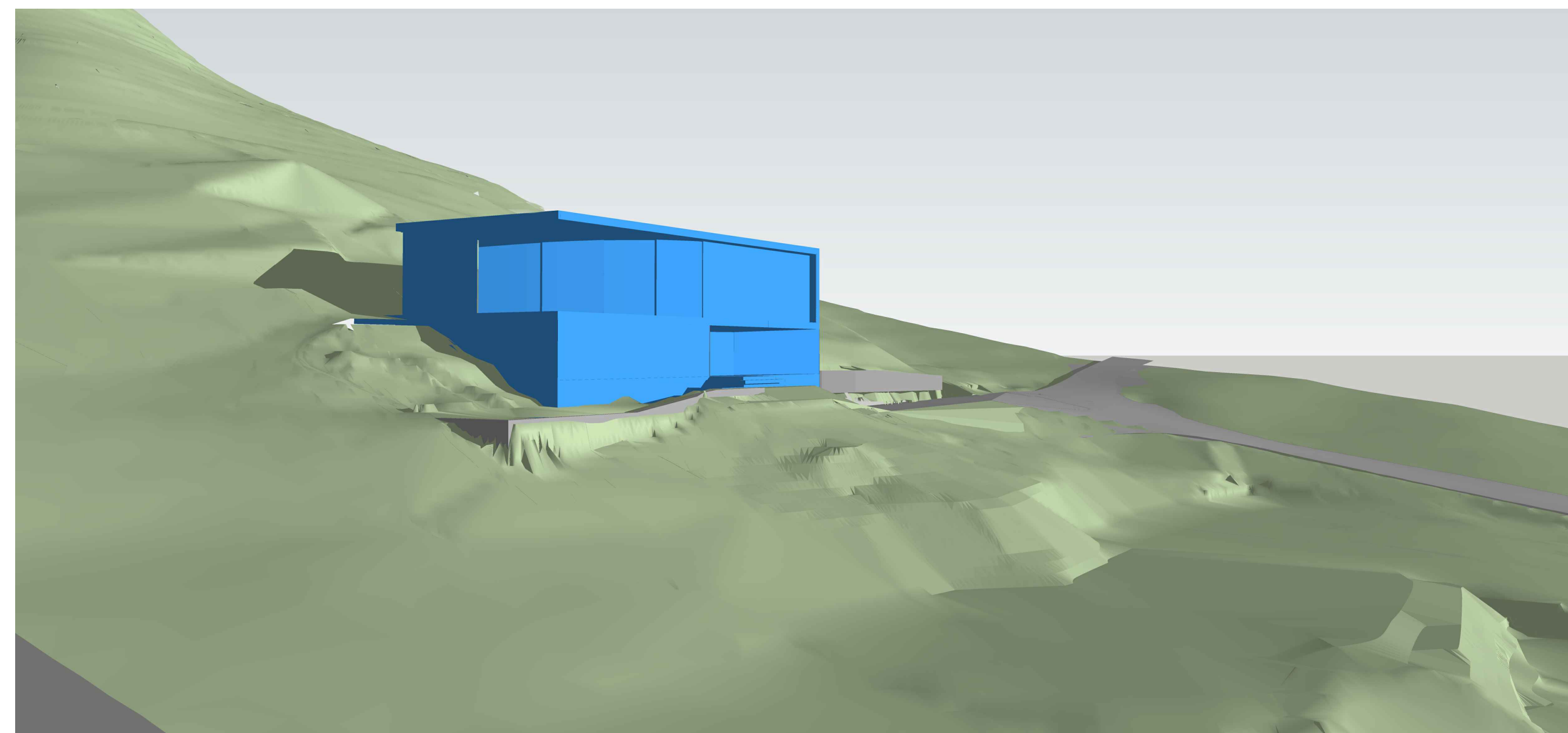
3D Comparison



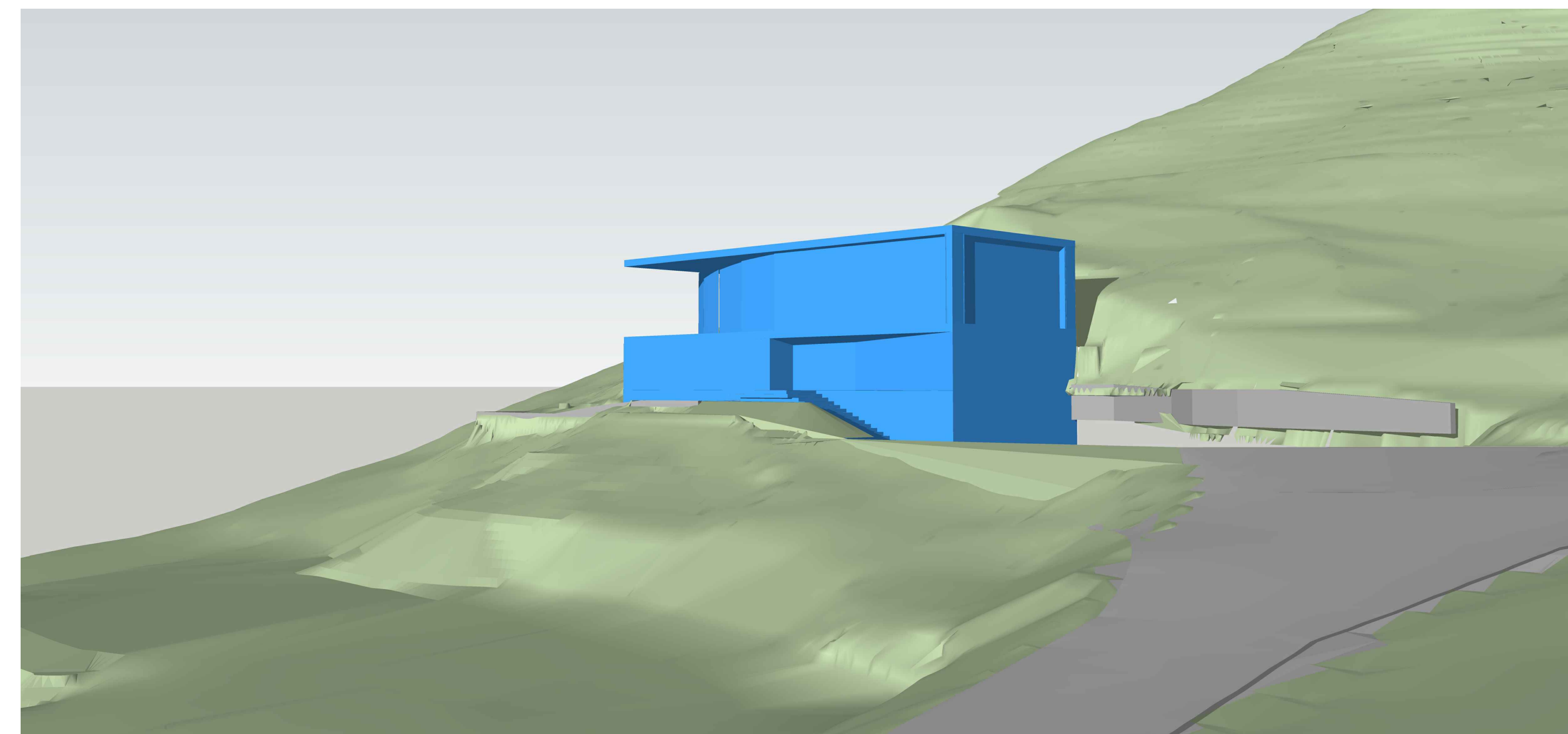
EXISTING RESIDENCE MASSING - VIEW 1



EXISTING RESIDENCE MASSING - VIEW 2



PROPOSED RESIDENCE MASSING - VIEW 1



PROPOSED RESIDENCE MASSING - VIEW 2



PROPOSED RESIDENCE MASSING OVERLAYED ON EXISTING MASSING - VIEW 1



PROPOSED RESIDENCE MASSING OVERLAYED ON EXISTING MASSING - VIEW 2

Residence

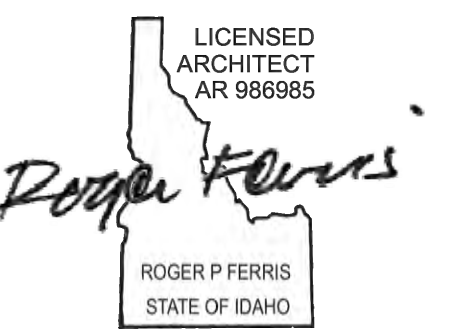
691 North Spruce Ave.
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ARCHITECT'S SEAL



KEY PLAN

PROJECT PHASE - PERMITTING

REVISIONS

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4	MODR - REV #3	OCTOBER 6, 2022	CITY
5	MODR - REV#4	OCTOBER 11, 2022	CITY

SHEET NAME

3D Comparison

PROJECT NUMBER: 21-002
DATE: JULY 14, 2021
SCALE: N/A

G003

August 26, 2022

Abby Rivin, AICP
Senior Planner
City of Ketchum Department of Planning and Building

Re: 691 N Spruce Ave Residence Pre-Application Mountain Overlay Design Review-Completeness Review

Dear Abby,

We have prepared this document in response to #18 on the list of comments issued by the City Planning Staff. This document explains how the project complies with all Mountain Overlay Design Review standards. Our responses are indicated with red, italicized font.

17.104.070 - Mountain Overlay Design Review

Design review applications shall be made and processed according to the regulations contained in chapter 17.96 of this title and as follows:

A.

Criteria and standards. The following list of criteria and those contained in chapter 17.96 of this title must be considered and addressed by each applicant seeking design review approval. The Commission will use this list of design review criteria along with that contained in chapter 17.96 of this title as a basis to determine whether a project is to be approved, approved with conditions or denied:

1.

There shall be no building on ridges or knolls which would have a material visual impact on a significant skyline visible from a public vantage point entering the City or within the City. "Material", as the term is used herein, shall be construed in light of the magnitude of the negative impact on the objectives of this section;

The proposed home is shorter and smaller than the existing home. The home cannot be seen from beyond it's immediate neighborhood. It can only be seen from N Spruce Ave (north of East 5th St only), East 6th St (from N Spruce Ave to the Walnut Ave intersection only) and Walnut Ave (around the East 6th St intersection only).

2.

Building, excavating, filling and vegetation disturbance on hillsides which would have a material visual impact visible from a public vantage point entering the City or within the City shall be minimized. "Material", as the term is used herein, shall be construed in light of the magnitude of the negative impact on the objectives of this section;

The limit of disturbance will not go beyond the existing limit of disturbance.

3.

Driveway standards as well as other applicable standards contained in title 12, chapter 12.04 of this Code shall be met;

The proposed project will be accessed via a new driveway which will fall within the footprint of the existing driveway. The proposed driveway will be less steep, will better address fire safety standards and will contain drainage on site.

4.

All development shall have access for fire and other emergency vehicles to within 150 feet of the furthest exterior wall of any building;

The proposed project was reviewed with Assistant Fire Chief, Seth Martin, who stated that the project was an improvement by providing emergency access along with a parking area for the fire apparatus. Additionally, the proposed project will include a fire sprinkler system, further reducing the risk of fire.

5.

Significant rock outcroppings shall not be disturbed;

No significant rock outcroppings will be disturbed.

6.

International Building Code (IBC) and International Fire Code (IFC) and Ketchum Fire Department requirements shall be met;

The proposed project will be designed in accordance with all currently adopted codes.

7.

Public water and sewer service shall comply with the requirements of the City;

The proposed project will include a new water service and an updated sewer system that will comply with all applicable codes.

8.

Drainage shall be controlled and maintained to not adversely affect other properties;

The proposed project will include drainage measures to ensure that it will not adversely impact other properties. All drainage will be contained on site and all drainage systems will comply with all applicable codes.

9.

Cuts and fills allowed for roadways shall be minimized; lengths of driveways allowed shall be minimized; all cuts and fills shall be concealed with landscaping, revegetation and/or natural stone materials. Revegetation on hillsides with a clear zone of 30 feet around all structures is recommended. Said clear zone shall include low combustible irrigated vegetation with appropriate species, on file with the Ketchum Planning Department. Revegetation outside of this clear zone should be harmonious with the surrounding hillsides;

The driveway for the proposed project will be in the same location as the existing driveway, minimizing the need for additional earthwork on the site. All landscaping and civil work needed to complete the construction of the proposed driveway will comply with all applicable codes.

10.

Are there other sites on the parcel more suitable for the proposed development in order to carry out the purposes of this section;

The proposed structure is located entirely within the boundary of the currently disturbed zone of the existing house.

11.

Access traversing 25 percent or greater slopes does not have significant impact on drainage, snow and earthslide potential and erosion as it relates to the subject property and to adjacent properties;

The proposed project does not introduce any new site access that traverse's slopes of 25% or greater.

12.

Utilities shall be underground;

The proposed project will include all underground utilities.

13.

Limits of disturbance shall be established on the plans and protected by fencing on the site for the duration of construction;

The proposed project plans delineate a limit of disturbance line. This entire area will be enclosed by fencing for the duration of construction.

14.

Excavations, fills and vegetation disturbance on hillsides not associated with the building construction shall be minimized; and

Excavation, fill and vegetation disturbance on hillsides not associated with the building construction will be minimized. Additionally, the proposed project will restore the currently scarred site back to a more natural state. This will primarily be achieved by removing many large site walls and introducing minimal grading. The landscape architect will revegetate all areas disrupted during construction and the final design will feature native species, aiming to blend the proposed structure into its natural surroundings.

15.

Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.

No significant landmarks have been identified on this site.

16.

Encroachments of below grade structures into required setbacks are subject to subsection 17.128.020.K of this title and shall not conflict with any applicable easements, existing

Roger Ferris + Partners

underground structures, sensitive ecological areas, soil stability, drainage, other sections of this Code or other regulating codes such as adopted International Code Council Codes, or other site features concerning health, safety, and welfare.

No encroachments of below grade structures into setbacks are proposed.

Please do not hesitate to contact us with any questions.

Best,

Jake Watkins, AIA

Exhibit B

Planning and Zoning Commission
Zoning Code Interpretation 22-001



**KETCHUM PLANNING AND ZONING COMMISSION
ZONING CODE INTERPRETATION 22-001
NONCONFORMING BUILDING FOOTPRINTS IN MOUNTAIN OVERLAY**

INTERPRETATION QUESTION

This zoning code interpretation addresses redeveloping nonconforming properties within the Mountain Overlay. Current code requires new buildings to be constructed in areas that have less than 25% slope (Ketchum Municipal Code §16.04.020) and building envelopes on new parcels to be located outside of a 25% slope. Existing homes on hillsides that were developed prior to the City's establishment of the Mountain Overlay Zoning District in 1989 may not comply with current development standards. These homes are considered non-conforming buildings and may be maintained in their current condition. Nonconforming buildings and uses are governed under Chapter 17.136 of Ketchum Municipal Code. If a non-conforming structure is demolished, or a new parcel is created, then the new building and parcel must comply with all current development standards. Certain non-conforming building footprints and properties can not be brought into compliance with code. The fundamental question before the Commission was whether these non-conforming properties may be developed with a new home or if these non-conforming properties would not be permitted to be redeveloped if the existing non-conforming home were to be demolished. If redevelopment was prohibited, property owners would only be able to repair, maintain, and enlarge their existing nonconforming homes in accordance with the standards specified in Chapter 17.136 of Ketchum Municipal Code.

MOUNTAIN OVERLAY PURPOSE

Hillside development standards protect the community character and health and safety by ensuring the adequate provision of public services and facilities, including fire protection. The Mountain Overlay standards prohibit the detrimental alteration of hillside that would adversely impact existing soils, drainage, and vegetation. The undeveloped hillsides surrounding Ketchum are one of Ketchum's character-defining features. The Mountain Overlay Zoning District ensures the preservation of these hills, ridgelines, and natural features. The standards minimize the visual impact of development by directing building sites away from higher elevations and keeping hillsides open and unobstructed.

ZONING NONCONFORMITIES

Nonconformities are existing uses, buildings, lots, or site features that were legally established at the time they were created but no longer comply with current zoning code regulations. When land use regulations change, existing developments may not comply with the amended zoning code standards. Requiring owners to immediately bring their non-conforming buildings and uses into compliance following land use regulation changes would be a hardship. To mitigate this hardship, zoning codes set specific standards to address nonconformities. These standards generally allow owners to maintain nonconformities in their current condition but prohibit or limit substantial modifications and expansions. This approach assumes all nonconformities will

be phased out over time. Standards regulating zoning nonconformities balance the community's interests in new land use objectives with private property interests in existing development.

ZONING CODE INTERPRETATION IMPLICATIONS: HILLSIDE DISTURBANCE

Redeveloping nonconforming building footprints may result in even more disturbance to the hillside. New single-family homes in Ketchum have trended towards replacing existing, smaller buildings with larger structures, which would have a greater impact on the hillside. Redeveloping these nonconforming properties to comply with current City building, fire, zoning, and streets standards could result in more hillside disturbance. For example, widening an existing street that accesses a nonconforming property would result in significantly more disturbance to the hillside.

ZONING CODE INTERPRETATION IMPLICATIONS: VISIBILITY ON HILLSIDES

Many non-conforming buildings in the Mountain Overlay are sited on prominent ridgelines and hilltops and are highly visible. Allowing these non-conforming building footprints to be redeveloped with new homes would perpetuate a condition that is no longer allowed.

PLANNING AND ZONING COMMISSION INTERPRETATION

The Commission determined that the redevelopment of existing non-conforming properties may be redeveloped under the following conditions:

- A. If the property configuration is proposed to be modified (lot line adjustment, lot consolidation etc.), then the new property configuration must establish a building envelope on the lowest portion of the property. Existing non-conforming building footprints are not permitted to be redeveloped outright. If a more compliant alternative at a lower elevation on the hillside property exists, the new home must be sited in the more suitable area for redevelopment.
- B. If the property configuration is not being altered or changed, then a new home may be constructed at the Commission's discretion through Mountain Overlay Design Review provided that the project does not exceed the height or limits of disturbance of the existing non-conforming home. The building footprint shall conform as close as possible to the existing building.

This determination will apply to all existing non-conforming properties in hillside areas.

Zoning Code Interpretation adopted this 8th day of March 2022.



Neil Morrow, Chair
City of Ketchum
Planning and Zoning Commission