



City of Ketchum

CITY COUNCIL MEETING AGENDA MEMO

Meeting Date:	January 21, 2025	Staff Member/Dept:	Abby Rivin, Senior Planner Planning and Building Department
---------------	------------------	--------------------	--

Agenda Item:	Recommendation to Approve Amended Right-of-Way Encroachment Agreement 22779A for the Bluebird Village Community Housing Project.
--------------	--

Recommended Motion:

I move to authorize the Mayor to sign Amended Right-of-Way Encroachment Agreement 22794A with 4% Bluebird Housing Partners LLC.

Reasons for Recommendation:

- | |
|---|
| <ul style="list-style-type: none"> The Ketchum City Council approved Right-of-Way Encroachment Agreement 22779 for the Bluebird Village Community Housing Project on August 1, 2022. The approved in the original agreement included the sidewalk snowmelt system, skybridge connecting the two buildings over the alleyway, metal canopies, window shades, an irrigation line, and building footing foundations encroaching within the East Avenue and 5th Street rights-of-way. |
| <ul style="list-style-type: none"> Amended Right-of-Way Encroachment Agreement 22779A modifies the original agreement to include a planter that encroaches 3 inches into the public right-of-way along the 5th Street sidewalk. No other changes or modifications to the design of the sidewalks, alley, or right-of-way improvements are proposed. |
| <ul style="list-style-type: none"> The encroachments specified in Amended Right-of-Way Encroachment Agreement 22779A comply with all standards for permanent right-of-way encroachments specified in Ketchum Municipal Code §12.12.060. |

Policy Analysis and Background (non-consent items only):

--

Sustainability Impact:

None OR state impact here: The snowmelt system for the right-of-way improvements associated with the Bluebird Village Community Housing Project meets the city’s snowmelt requirements for commercial projects. Exhibit A includes the applicant’s narrative response explaining how the snowmelt system complies with the city’s requirements.

Financial Impact:

None OR Adequate funds exist in account:	There is no financial requirement from the city for this action.
--	--

Attachments:

- | |
|---|
| 1. Amended Right-of-Way Encroachment Agreement 22779A |
|---|

WHEN RECORDED, PLEASE RETURN TO:

**OFFICE OF THE CITY CLERK
CITY OF KETCHUM
POST OFFICE BOX 2315
KETCHUM, IDAHO 83340**

RIGHT-OF-WAY ENCROACHMENT AGREEMENT 22779A

THIS AGREEMENT, made and entered into this ____ day of _____, 2025, by and between the CITY OF KETCHUM, IDAHO, a municipal corporation ("Ketchum"), whose address is Post Office Box 2315, Ketchum, Idaho 83340 and Greg Dunfield, representing 4% Bluebird Housing Partners LLC and GMD Development, whose address is 520 Pike Street Suite 1010, Seattle, WA 98101, and Charles Friedman, representing 4% Bluebird Housing Partners LLC and Ketchum Community Development Corporation (collectively referred to as "Owner"), whose address is whose address is Post Office Box 6452, Ketchum, Idaho 83340.

RECITALS

WHEREAS, Owner wishes to permit the construction, installation, and placement of a hydronic snowmelt system, pavers, metal shades, window shade boxes, an irrigation line, building foundation footings, and a planter t for the development of the Bluebird Village Community Housing Project within the public rights-of-way on East Avenue, 5th Street, and the Ketchum Townsite Block 45 alleyway. These improvements are shown in Exhibit A attached hereto and incorporated herein (collectively referred to as the "Improvements") and are described in Exhibit B attached hereto.

WHEREAS, Ketchum finds that said Improvements will not impede the use of said public right-of-way at this time subject to the terms and provisions of this Agreement;

WHEREAS, the Owner will restore the street, alley, sidewalk, curb, and gutter and any landscaping back to the original condition acceptable to the Streets and Facilities Director;

NOW, THEREFORE, in contemplation of the above stated facts and objectives, it is hereby agreed as follows:

TERMS AND CONDITIONS

1. Ketchum shall permit Owner to construct, install, maintain, and repair the Improvements identified in Exhibit A within within the public rights-of-way on East Avenue, 5th Street, and the Ketchum Townsite Block 45 alleyway until notified by Ketchum to remove the infrastructure at which time Owner shall remove infrastructure at Owner's expense.

2. Owner shall be responsible for the maintenance of said Improvements and shall repair said improvements within 48 hours upon notice from Ketchum that repairs are needed.

3. Snowmelt systems installed in the public right-of-way shall be installed and operate at all times during the winter according to the following:
- The system shall meet the requirements of the International Energy Conservation Code (2018 IECC, 403.12.2)

- The system shall have an electronic main control board to operate the system that is programmable and optimizes the way the system functions.
- Installation of in-ground control sensors linked to the main control board that detect snow and ice on the surface, monitor the the sidewalk or driveway temperature, and automatically activates the system to be turned on or off based on the snow condition and air temperature.

4. Owner shall be responsible for restoring the alley, sidewalk, curb, and gutter and landscaping that is altered due to the construction and installation of the vault, to the satisfaction of the Director of Streets and Facilities.

5. In consideration of Ketchum allowing Owner to maintain the Improvements in the public right-of-way, Owner agrees to indemnify and hold harmless Ketchum from and against any and all claims of liability for any injury or damage to any person or property arising from the Improvements constructed, installed and maintained in the public right-of-way. Owner shall further indemnify and hold Ketchum harmless from and against any and all claims arising from any breach or default in the performance of any obligation on Owner's part to be performed under this Agreement, or arising from any negligence of Owner or Owner's agents, contractors or employees and from and against all costs, attorney's fees, expenses and liabilities incurred in the defense of any such action or proceeding brought thereon. In the event any action or proceeding is brought against Ketchum by reason of such claim, Owner, upon notice from Ketchum, shall defend Ketchum at Owner's expense by counsel satisfactory to Ketchum. Owner, as a material part of the consideration to Ketchum, hereby assumes all risk of damages to property or injury to persons in, upon or about the Improvements constructed, installed and maintained in the public right-of-way arising from the construction, installation and maintenance of said Improvements and Owner hereby waives all claims in respect thereof against Ketchum.

6. Ketchum shall not be liable for injury to Owner's business or loss of income therefrom or for damage which may be sustained by the person, goods, wares, merchandise or property of Owner, its tenants, employees, invitees, customers, agents or contractors or any other person in or about the Subject Property caused by or resulting from the Improvements constructed, installed, removed or maintained in the public right-of-way.

7. Owner understands and agrees that by maintaining the Improvements in the public right-of-way pursuant to this Agreement, Owner obtains no claim or interest in said public right-of-way which is adverse to that of Ketchum and that Owner obtains no exclusive right to said public right-of-way nor any other right to use the public right-of-way not specifically described herein.

8. In the event either party hereto retains an attorney to enforce any of the rights, duties and obligations arising out of this Agreement, the prevailing party shall be entitled to recover from the non-prevailing party reasonable attorney's fees at the trial and appellate levels and, whether or not litigation is actually instituted.

9. This Agreement shall be governed by, construed, and enforced in accordance with the laws and decisions of the State of Idaho. Venue shall be in the District Court of the fifth Judicial District of the State of Idaho.

10. This Agreement sets forth the entire understanding of the parties hereto and shall not be changed or terminated orally. It is understood and agreed by the parties hereto that there are no verbal promises or implied promises, agreements, stipulations or other

representations of any kind or character pertaining to the Improvements maintained in the public right-of-way other than as set forth in this Agreement.

11. No presumption shall exist in favor of or against any party to this Agreement as the result of the drafting and preparation of this document.

12. This Agreement shall be recorded with the Blaine County Recorder by Ketchum.

13. The parties fully understand all of the provisions of this Agreement, and believe them to be fair, just, adequate, and reasonable, and accordingly accept the provisions of this Agreement freely and voluntarily.

OWNER:

CITY OF KETCHUM:

By: ID 4% Bluebird KCDC LLC,
an Idaho limited liability company
its Managing Member

By: _____
Neil Bradshaw
Its: Mayor

By: Ketchum Community Development Corporation
an Idaho nonprofit corporation
its Sole Member and Manager

Attest:

By: _____
Name: Charles Friedman
Its: Executive Director

By: _____
Trent Donat, City Clerk

By: ID 4% Bluebird GMD LLC,
an Idaho limited liability company
its Non-Managing Member

By: GMD Development LLC
A Washington limited liability company
Its Sole Member and Manager

By: _____
Name: Gregory M. Dunfield
Its: Manager

STATE OF _____,)
) ss.
County of _____)

On this ____ day of _____, 2025, before me, the undersigned Notary Public in and for said State, personally appeared Charles Friedman, known or identified to me to be the Managing Member of 4% Bluebird KCDC LCC, and the person who executed the foregoing instrument and acknowledged to me that he executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year first above written.

Notary Public for _____
Residing at _____
Commission expires _____

STATE OF _____,)
County of _____.) ss.

On this _____ day of _____, 2025, before me, the undersigned Notary Public in and for said State, personally appeared Gregory M. Dunfield, known or identified to me to be the Non-Managing Member of 4% Bluebird GMD LLC, and the person who executed the foregoing instrument and acknowledged to me that he executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year first above written.

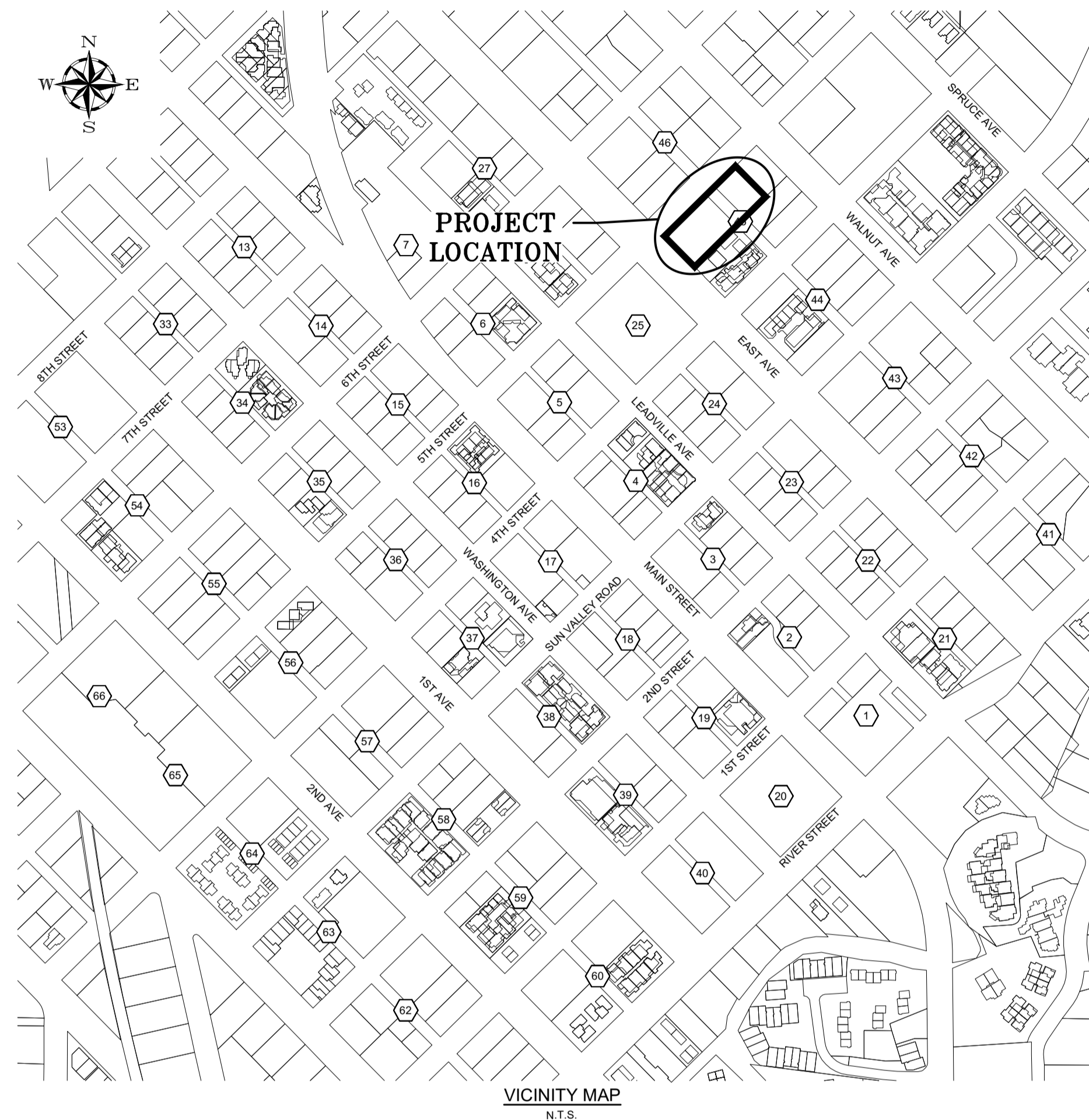
Notary Public for _____
Residing at _____
Commission expires _____

EXHIBIT A

BLUEBIRD VILLAGE CITY OF KETCHUM, BLAINE COUNTY, IDAHO JULY 2022

CONSTRUCTION NOTES

- ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISPMC) AND CITY OF KETCHUM STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ISPMC AND CITY OF KETCHUM STANDARDS ON SITE DURING CONSTRUCTION.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES PRIOR TO COMMENCING AND DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL CALL DIGLINE (1-800-342-1585) TO LOCATE ALL EXISTING UNDERGROUND UTILITIES A MINIMUM OF 48 HOURS IN ADVANCE OF EXCAVATION.
- CONTRACTOR SHALL COORDINATE RELOCATIONS OF DRY UTILITY FACILITIES (POWER, CABLE, PHONE, TV) WITH THE APPROPRIATE UTILITY FRANCHISE.
- THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION (THIS MAY INCLUDE ENCROACHMENT PERMITS AND NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION GENERAL PERMIT (CGP) PERMIT COVERAGE).
- ALL CLEARING & GRUBBING SHALL CONFORM TO ISPMC SECTION 201.
- ALL EXCAVATION & EMBANKMENT SHALL CONFORM TO ISPMC SECTION 202. SUBGRADE SHALL BE EXCAVATED AND SHAPED TO LINE, GRADE, AND CROSS-SECTION SHOWN ON THE PLANS. THE SUBGRADE SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-698. THE CONTRACTOR SHALL WATER OR AERATE SUBGRADE AS NECESSARY TO OBTAIN OPTIMUM MOISTURE CONTENT. IN-LIEU OF DENSITY MEASUREMENTS, THE SUBGRADE MAY BE PROOF-ROLLED TO THE APPROVAL OF THE ENGINEER.
 - PROOF-ROLLING:** AFTER EXCAVATION TO THE SUBGRADE ELEVATION AND PRIOR TO PLACING COURSE GRAVEL, THE CONTRACTOR SHALL PROOF ROLL THE SUBGRADE WITH A 5-TON SMOOTH DRUM ROLLER, LOADED WATER TRUCK, OR LOADED DUMP TRUCK, AS ACCEPTED BY THE ENGINEER. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF UNSUITABLE SUBGRADE MATERIAL AREAS, AND/OR AREAS NOT CAPABLE OF COMPACTION ACCORDING TO THESE SPECIFICATIONS. UNSUITABLE OR DAMAGED SUBGRADE IS WHEN THE SOIL MOVES, PUMPS AND/OR DISPLACES UNDER ANY TYPE OF PRESSURE INCLUDING FOOT TRAFFIC LOADS.
 - IF, IN THE OPINION OF THE ENGINEER, THE CONTRACTOR'S OPERATIONS RESULT IN DAMAGE TO, OR PROTECTION OF, THE SUBGRADE, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, REPAIR THE DAMAGED SUBGRADE BY OVER-EXCAVATION OF UNSUITABLE MATERIAL TO FIRM SUBSOIL, LINE EXCAVATION WITH GEOTEXTILE FABRIC, AND BACKFILL WITH PIT RUN GRAVEL.
- ALL 2" MINUS GRAVEL SHALL CONFORM TO ISPMC 802, TYPE II (ITD STANDARD 703.04, 2"), SHALL BE PLACED IN CONFORMANCE WITH ISPMC SECTION 801 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99.
- ALL 3/4" MINUS CRUSHED GRAVEL SHALL CONFORM TO ISPMC 802, TYPE I (ITD STANDARD 703.04, 3/4" B), SHALL BE PLACED IN CONFORMANCE WITH ISPMC SECTION 802 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
- ALL ASPHALTIC CONCRETE PAVEMENT WORK SHALL CONFORM TO ISPMC SECTION(S) 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (13MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPMC SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPMC SECTION 805.
- ASPHALT SAWCUTS SHALL BE AS INDICATED ON THE DRAWINGS, OR 24" INCHES FROM EDGE OF EXISTING ASPHALT, IF NOT INDICATED OTHERWISE SO AS TO PROVIDE A CLEAN PAVEMENT EDGE FOR MATCHING. NO WHEEL CUTTING SHALL BE ALLOWED.
- TRAFFIC CONTROL SHALL BE PER THE TRAFFIC CONTROL PLAN. CONTRACTOR WILL NEED TO MAINTAIN ACCESS TO ALL PRIVATE PROPERTIES, UNLESS OTHERWISE COORDINATE WITH THE PROPERTY OWNER THROUGH THE CITY ENGINEER.
- ALL CONCRETE WORK SHALL CONFORM TO ISPMC SECTIONS 701, 703, AND 705. ALL CONCRETE SHALL BE 3,000 PSI MINIMUM, 28 DAY, AS DEFINED IN ISPMC SECTION 703, TABLE 1. IMMEDIATELY AFTER PLACEMENT PROTECT CONCRETE BY APPLYING MEMBRANE-FORMING CURING COMPOUND, TYPE 2, CLASS A PER ASTM C 309-94. APPLY CURING COMPOUND PER MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS.
- ALL TRENCHING SHALL CONFORM TO ISPMC STANDARD DRAWING SD-301. TRENCHES SHALL BE BACKFILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
- PER IDAHO CODE § 55-1613, THE CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS; ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS THAT ARE LOST OR DISTURBED BY CONSTRUCTION SHALL BE REESTABLISHED AND RE-MONUMENTED, AT THE EXPENSE OF THE AGENCY OR PERSON CAUSING THEIR LOSS OR DISTURBANCE AT THEIR ORIGINAL LOCATION OR BY SETTING OF A WITNESS CORNER OR REFERENCE POINT OR A REPLACEMENT BENCHMARK OR CONTROL POINT, BY OR UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR.
- CONSTRUCTION OF WATER MAINS AND ALL OTHER RELATED APPURTENANCES SHALL BE IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPMC), IDAPA 58.01.08, IDAHO RULES FOR PUBLIC DRINKING WATER SYSTEMS AND THE CITY OF KETCHUM UTILITIES DEPARTMENT STANDARDS.
- CONTRACTOR SHALL PRESSURE TEST, DISINFECT, AND CONDUCT BIOLOGICAL TESTING IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPMC), AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS, AND THE PRESSURE TESTING, DISINFECTION, AND MICROBIOLOGICAL TESTING PROCEDURES.
- ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL BE ANSI/NSF STD. 61 COMPLIANT.
- ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL COMPLY WITH THE LOW LEAD ACT REQUIRING ALL MATERIALS TO HAVE A LEAD CONTENT EQUAL TO OR LESS THAN 0.25%.
- THE CONTRACTOR SHALL USE ANSI/NSF STANDARD 60 CHEMICALS AND COMPOUNDS DURING INSTALLATION & DISINFECTION OF POTABLE WATER MAIN.
- EXISTING CONDITIONS AND BOUNDARY INFORMATION SHOWN HEREON ARE PER A SURVEY CONDUCTED BY GALENA ENGINEERING. TOPOGRAPHIC INFORMATION IS AS IT EXISTED ON THE DATE THE FIELD SURVEY WAS PERFORMED (05/22/19).
- DOCUMENTATION OF TESTING FOR WORK IN ROW MEETING SECTION 12.04.040 D WILL BE REQUIRED FOR ASPHALT, CONCRETE, AND BASE MATERIALS AND WILL BE NECESSARY FOR C OF O.

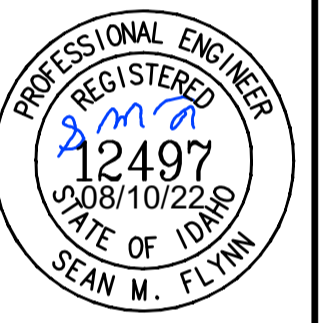


SHEET INDEX

SHEET#	DESCRIPTION
C0.1	COVER SHEET
C0.2	DETAIL SHEET
C0.3	DETAIL SHEET
C0.4	SURVEY
C1.0	GRADING, DRAINAGE, AND UTILITY PLAN

COVER SHEET
BLUEBIRD VILLAGE
(480 N EAST AVE)

LOCATED WITHIN SECTION 18, T.4 N., R. 18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
 PREPARED FOR GMD DEVELOPMENT, LLC
 PROJECT INFORMATION
 P:\shelton\060607\060607\Construction\060607 Eng\blue 2022-08-09.dwg 08/09/22 4:48:48 PM



DESIGNED BY _____
 CT
 DRAWN BY _____
 SMF
 CHECKED BY _____

GALENA
ENGINEERING, INC.
 Civil Engineers & Land Surveyors
 317 N. River Street
 Hailey, Idaho 83433
 (208) 788-1705
 email: galena@galena-engineering.com

LEGEND

EXISTING ITEMS		PROPOSED ITEMS	
	Property Line		NEW ASPHALT
	Adjoiner's Lot Line		CONCRETE SIDEWALK
	Centerline		ADA COMPLIANT RAMP
	Idaho Power Easement		CONCRETE 6" ROLLED C & G
	FD5/8 = Found 5/8" Rebar		ROLLED CURB W/ VERTICAL CURB
	FD1/2 = Found 1/2" Rebar		CURB TRANSITION ZERO REVEAL TO 6" ROLLED CURB
	CNTRL = Survey Control		ZERO REVEAL CURB & GUTTER
	5' Contour Interval		REVERSE PAN ROLLED CURB & GUTTER
	1' Contour Interval		CURB TRANSITION REVERSE PAN ROLLED TO 6" VERTICAL C & G
	Curb & Gutter		ADA ACCESS TRUNCATED DOME
	FNC = Fence Line		SIGN
	Building		FIRE HYDRANT
	Asphalt		WATER VALVE
	Boll = Bollard		HAND RAIL
	SGN = Sign		4" PVC SEWER SERVICE
	GM = Gas Main		UTILITY SCREEN
	TVB = Cable TV Buried		
	TVBOX = Cable TV Riser		
	PHB = Buried Telephone Line		
	PHBOX = Telephone Riser		
	SYR MH = Syringa Manhole		
	PB = Buried Power Line		AP = Angle Point
	Overhead Power Line		BEG = Beginning
	Light		BS = Bottom of Step
	PBOX = Power Box		CC = Curb Cut
	PP = Power Pole		CL = Centerline
	EVAULT = Power Vault		COR = Corner
	OUT = Power Outlet		EOA = Edge of Asphalt
	S = Sewer Main		EOC = Edge of Concrete
	SS = Sewer Service		EOP = Edge of Pavers
	SMH = Sewer Manhole		FFE = Finished Floor @ Entry
	Roof Drain		GFF = Garage Finished Floor
	Storm Drain		IC = Illegible Cap
	DWELL = Dry Well		LIP = Lip of Gutter
	Ketchum City Line (8")		LP = Low Point
	Abandoned Ketchum Spring Line (10")		NC = No Cap
	Abandoned Ketchum Spring Line (4")		NG = Natural Ground
	Abandoned Water Service		PC = Point of Curvature
	WMTR = Water Meter		PT = Point of Tangent
	Abandoned Fire Hydrant		TA = Top of Asphalt
	WV = Water Valve		TBC = Top Back of Curb
			TBRC = Top Back of Rolled Curb
			TBVC = Top Back of Vertical Curb
			TC = Top of Concrete
			TP = Top of Pavers
			TS = Top of Step

NO.	DATE	BY	REVISIONS
1	04/04/22	SMF	ADDENDUM #1 SET
2	05/04/22	SMF	ADDENDUM #2 SET
3	06/13/22	SMF	CITY SECOND ROUND COMMENTS
4	08/10/22	SMF	RELOCATE STORM STRUCTURES DUE TO STRUCTURAL FOOTING PLAN
5			CITY THIRD ROUND COMMENTS

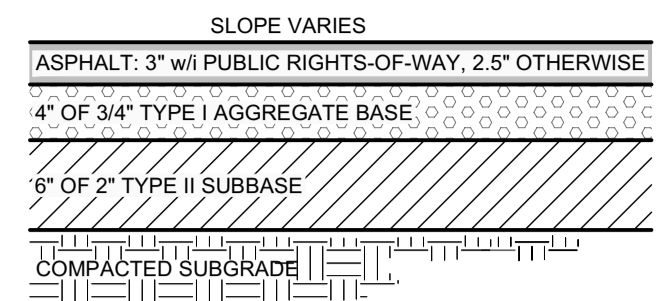
C0.1

REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any project or extension of this Project except by agreement in writing with Galena Engineering, Inc.

City of Ketchum
 Approved
 BLD2221-0067
 08/19/22

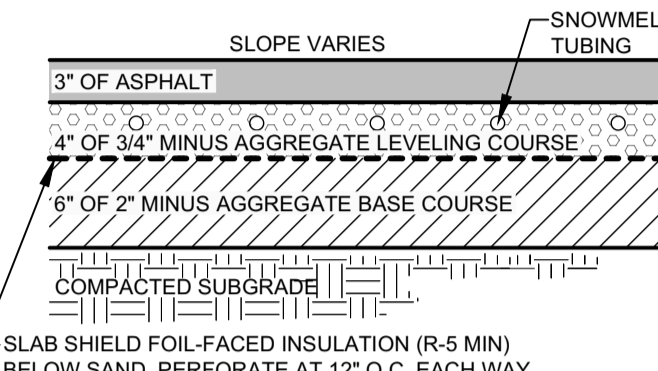
These drawings are the property of Galena Engineering, Inc. and shall not be used on any project or extension of this project without the written consent of Galena Engineering, Inc. If these drawings are to be used on any project or extension of this project, the user shall obtain the written consent of Galena Engineering, Inc. before any reproduction, distribution, or use of these drawings. The user shall indemnify and hold Galena Engineering, Inc. harmless from and against all claims, damages, and expenses, including reasonable attorneys' fees, arising out of or from the use of these drawings on any project or extension of this project.

REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any project or extension of this project without the written consent of Galena Engineering, Inc.



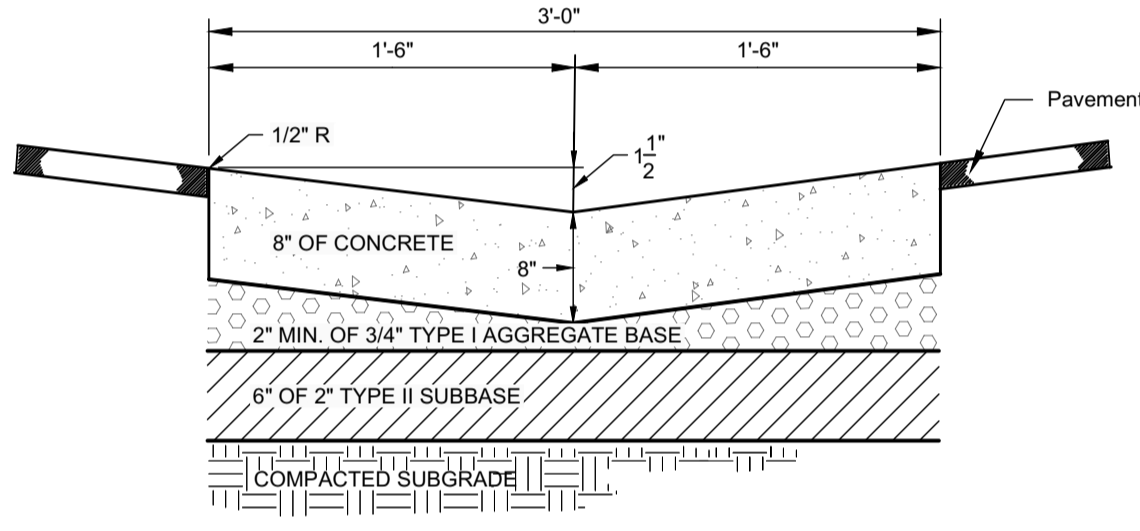
- NOTES:
- SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
 - MATERIALS SHALL CONFORM WITH CURRENT ISPEC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.

1a
C0.2 TYPICAL STREET ASPHALT SECTION
N.T.S.



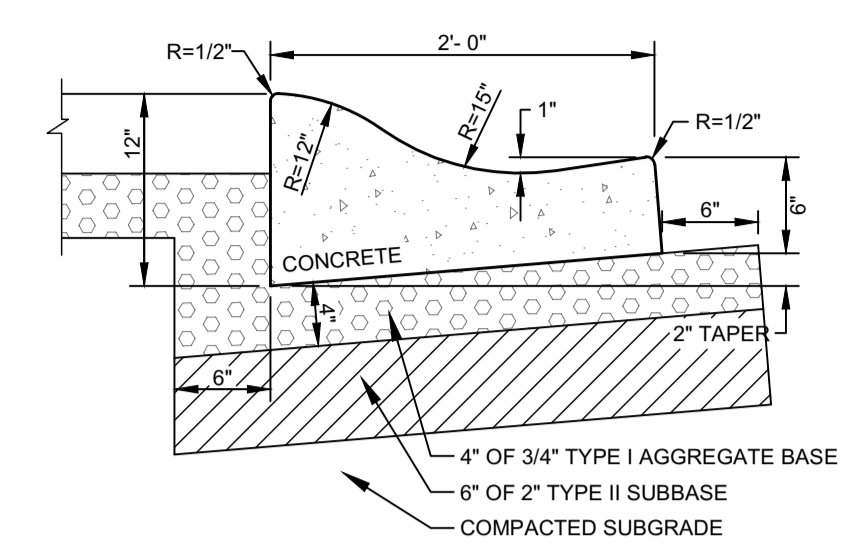
- NOTES:
- SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
 - MATERIALS SHALL CONFORM WITH CURRENT ISPEC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.

1b
C0.2 TYPICAL HEATED ASPHALT SECTION
N.T.S.



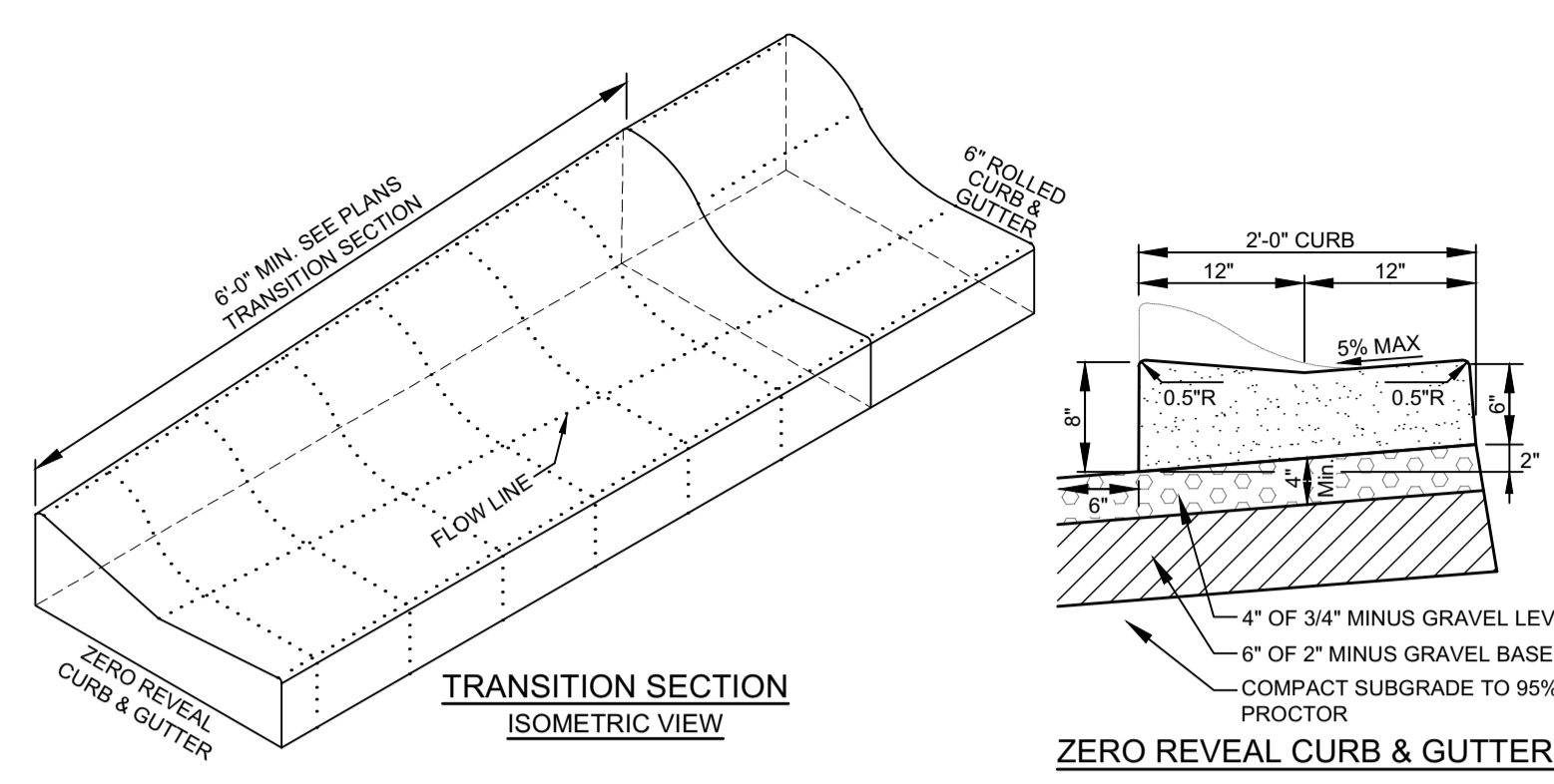
- NOTES:
- SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
 - MATERIALS SHALL CONFORM WITH CURRENT ISPEC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
 - 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADII.
 - CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FEET MAXIMUM SPACING.

2d
C0.2 36" CONCRETE VALLEY GUTTER
N.T.S.



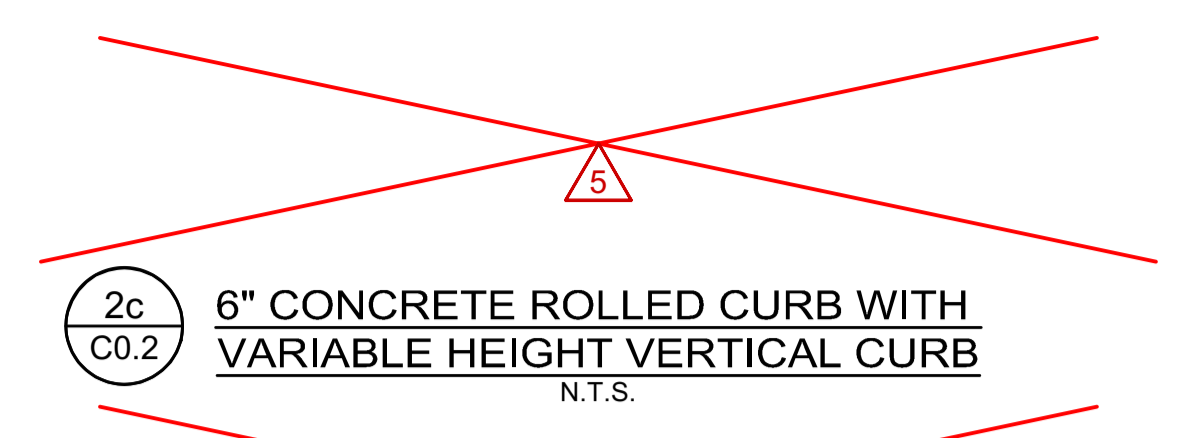
- NOTES:
- SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
 - MATERIALS SHALL CONFORM WITH CURRENT ISPEC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
 - 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADII.
 - CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FEET MAXIMUM SPACING (8-FEET WISIDEWALK).

2a
C0.2 6" CONCRETE ROLLED CURB & GUTTER
N.T.S.



- NOTES:
- 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADII.
 - CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS TO MATCH SIDEWALK WITH 10-FEET MAXIMUM SPACING.
 - MATERIALS SHALL CONFORM WITH CURRENT ISPEC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.

2b
C0.2 TYPICAL ROLLED CURB TRANSITION DETAIL
N.T.S.



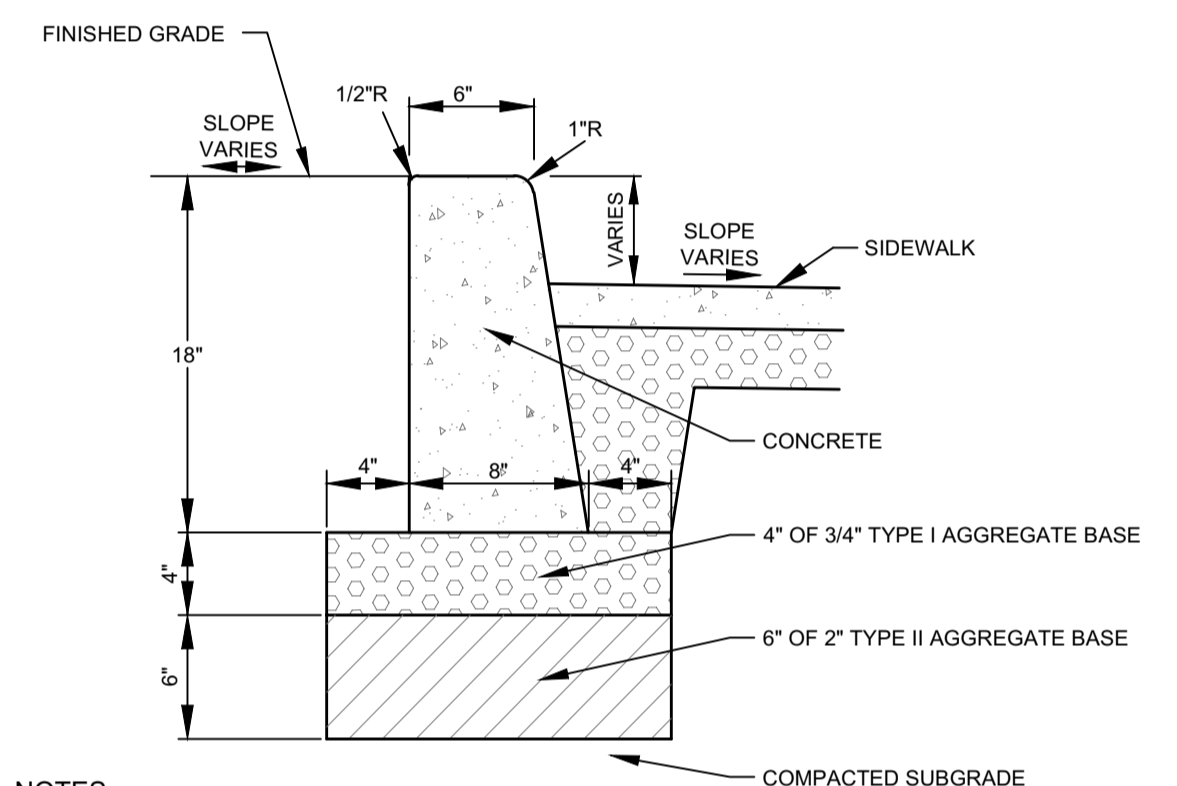
2c
C0.2 6" CONCRETE ROLLED CURB WITH VARIABLE HEIGHT VERTICAL CURB
N.T.S.



2f
C0.2 6" CONCRETE REVERSE GUTTER PAN ROLLED CURB & GUTTER
N.T.S.

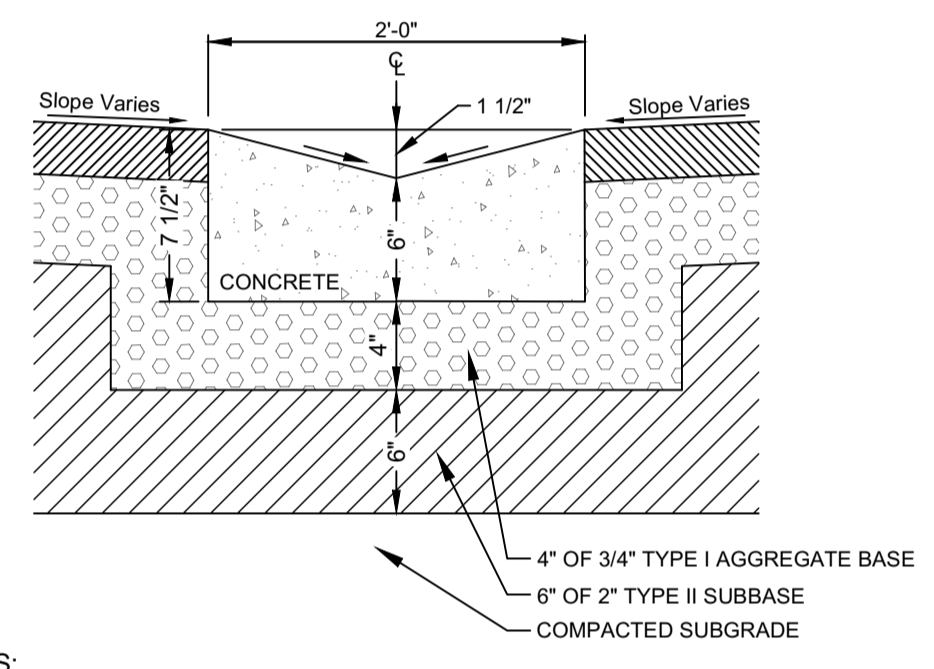


2g
C0.2 ZERO REVEAL CURB WITH REVERSE GUTTER PAN
N.T.S.



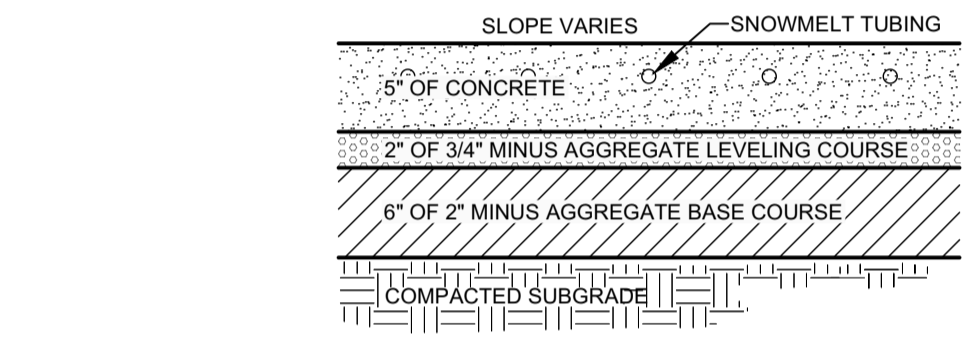
- NOTES:
- SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
 - MATERIALS SHALL CONFORM WITH CURRENT ISPEC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
 - 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADII.
 - CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FEET MAXIMUM SPACING (8-FEET WISIDEWALK).

2e
C0.2 CONCRETE VERTICAL CURB
N.T.S.



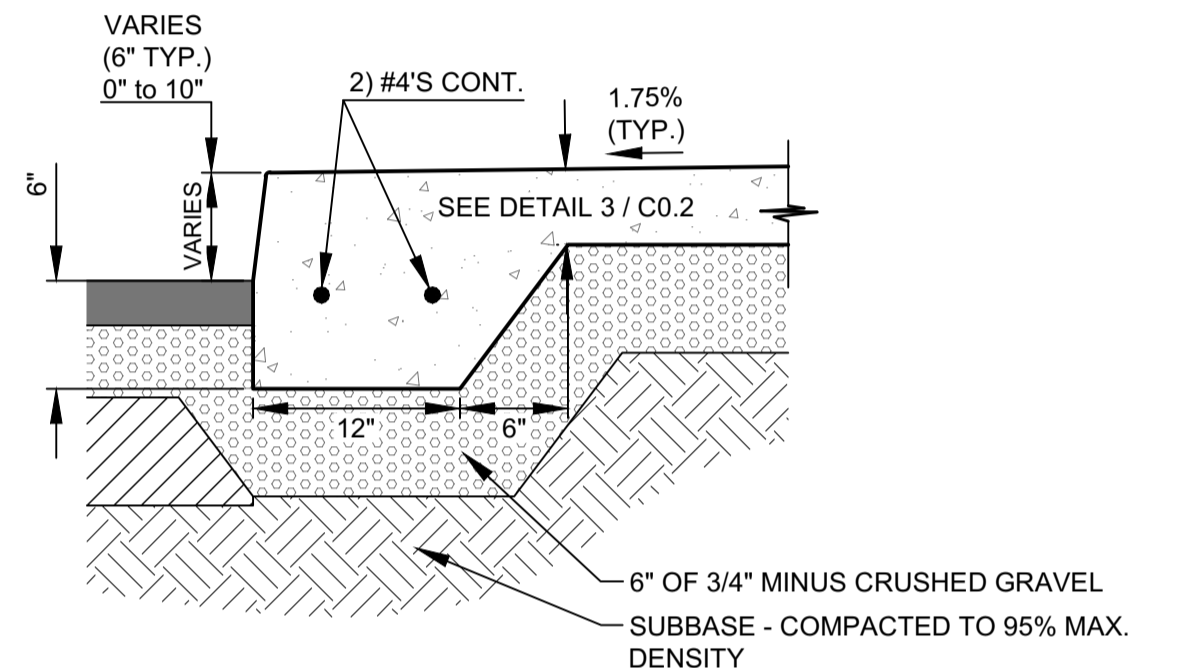
- NOTES:
- SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
 - MATERIALS SHALL CONFORM WITH CURRENT ISPEC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
 - 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADII.
 - CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FEET MAXIMUM SPACING (8-FEET WISIDEWALK).

2h
C0.2 24" WIDE CONCRETE VALLEY GUTTER
N.T.S.



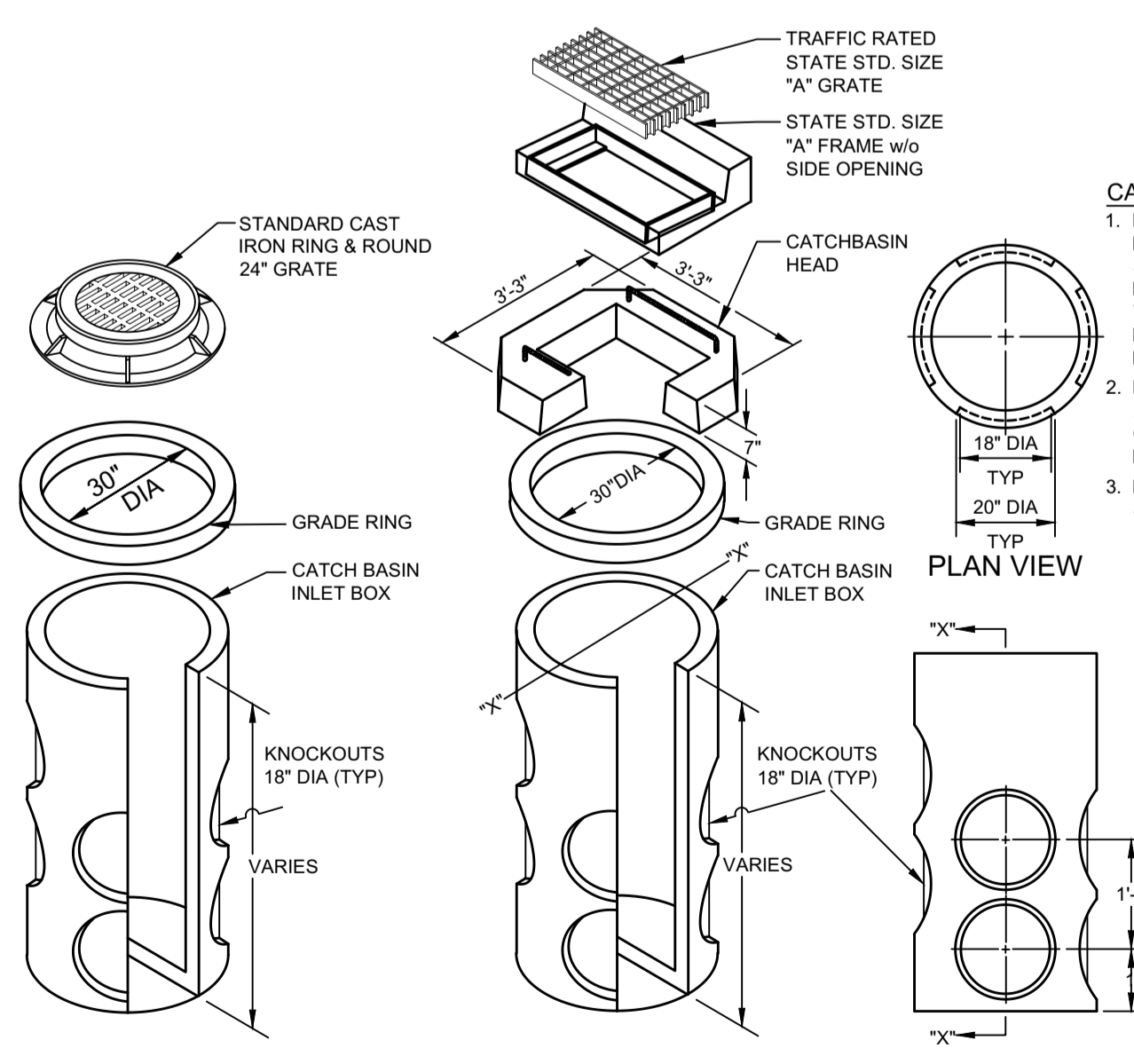
- NOTES:
- 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADII.
 - CONTINUOUS PLACEMENT PREFERRED, SCORE AT INTERVALS TO MATCH WIDTH OF WALK NOT TO EXCEED 5 FEET SPACING.
 - 1/2" TRANSVERSE PREFORMED BITUMINOUS JOINTS AT THE TERMINUS POINTS FOR CURVE AND WHERE SIDEWALK IS PLACED BETWEEN TWO PERMANENT FOUNDATIONS.
 - MATERIALS AND CONSTRUCTION IN COMPLIANCE WITH ISPEC SPECIFICATIONS.
 - SURFACING MATERIAL FOR THE NEW SIDEWALKS ALONG EAST AVENUE AND 5TH STREET SHALL BE TITAN CONCRETE MIX.

3
C0.2 TYPICAL CONCRETE SIDEWALK SECTION
N.T.S.



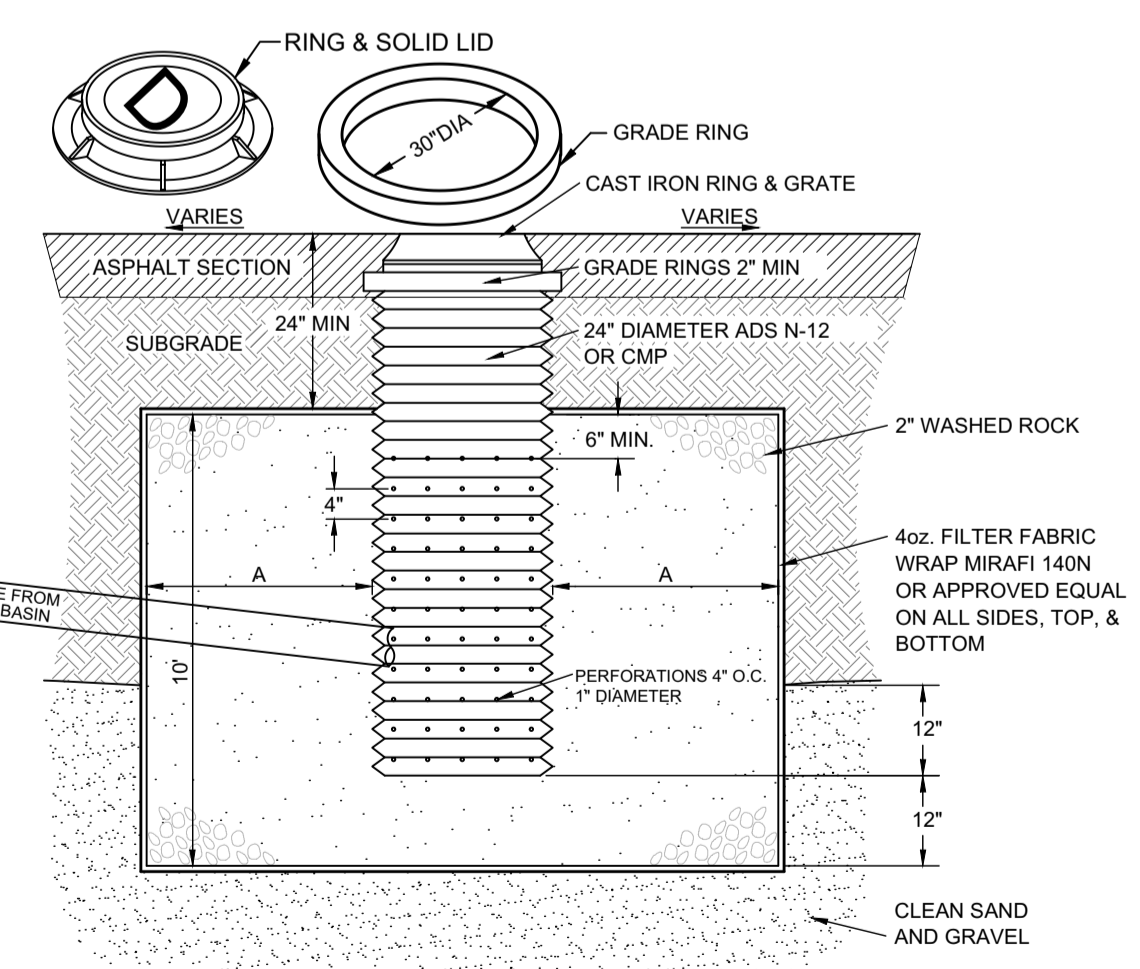
- NOTES:
- 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADII.
 - CONTINUOUS PLACEMENT PREFERRED, SCORE AT INTERVALS TO MATCH WIDTH OF WALK NOT TO EXCEED 5 FEET SPACING.
 - 1/2" TRANSVERSE PREFORMED BITUMINOUS JOINTS AT THE TERMINUS POINTS FOR CURVE AND WHERE SIDEWALK IS PLACED BETWEEN TWO PERMANENT FOUNDATIONS.
 - MATERIALS AND CONSTRUCTION IN COMPLIANCE WITH ISPEC SPECIFICATIONS.

4
C0.2 THICKENED SIDEWALK EDGE
N.T.S.



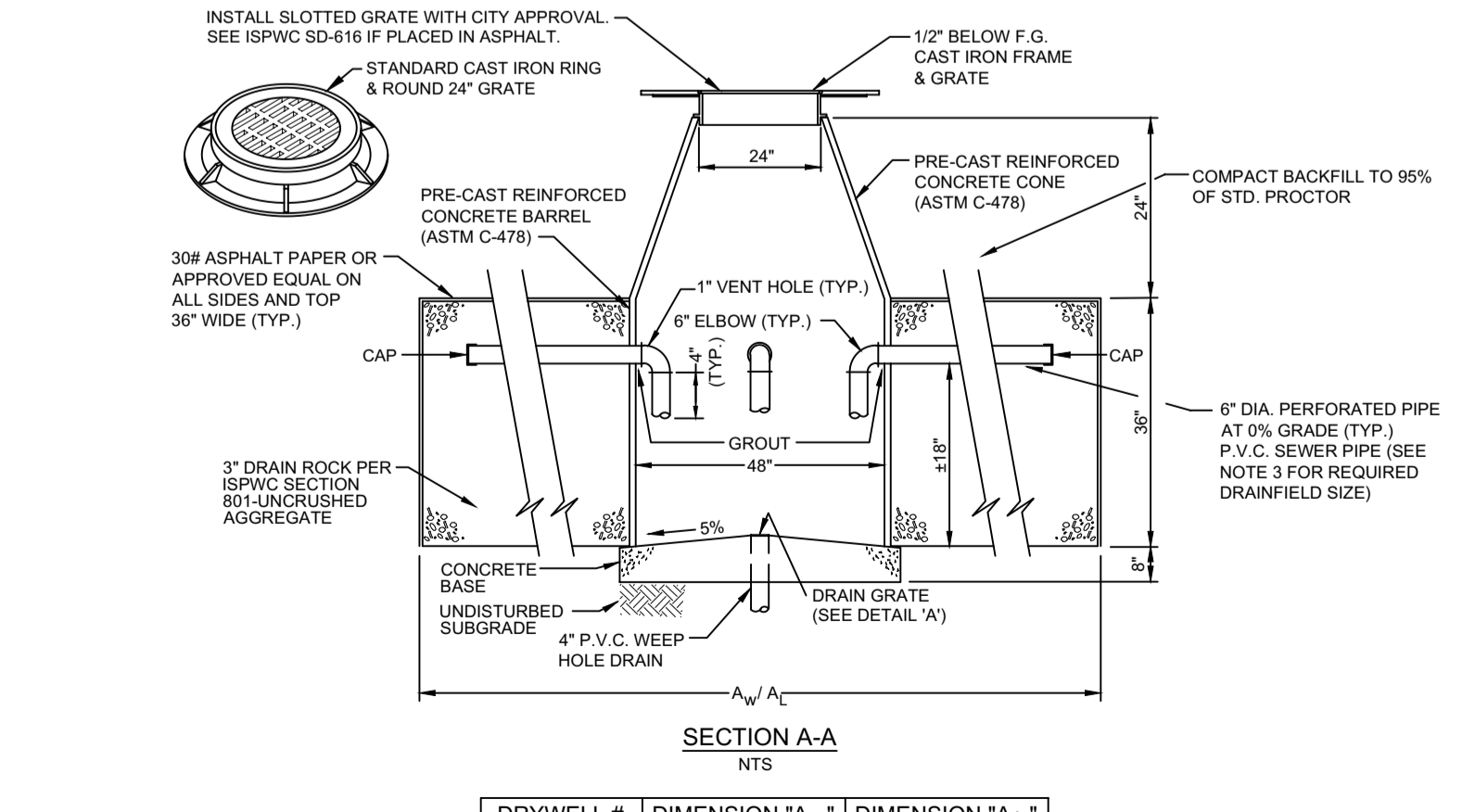
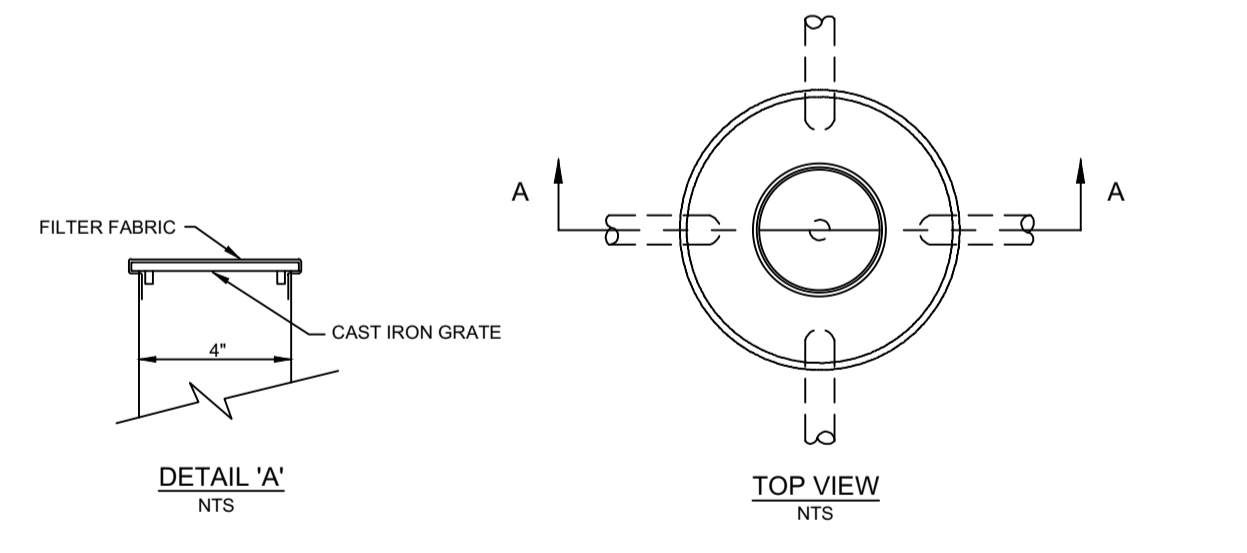
- CATCH BASIN INSTALLATION NOTES:
- PLACE A MINIMUM OF 4" OF COMPACTED BEDDING ON PREPARED SUBGRADE AS SPECIFIED IN ISPEC SECTION 915 - PIPE BEDDING. EXTEND BEDDING EITHER TO THE LIMITS OF THE EXCAVATION OR AT LEAST 12" OUTSIDE THE LIMITS OF THE BASE SECTION.
 - FILL THE BALANCE OF THE EXCAVATED AREA WITH SELECT MATERIAL COMPACTED LEVEL TO THE TOP OF THE BEDDING.
 - PROVIDE A SMOOTH AND LEVEL BEARING SURFACE ON THE BEDDING SURFACE.

5
C0.2 30" DIAMETER CATCH BASIN
N.T.S.

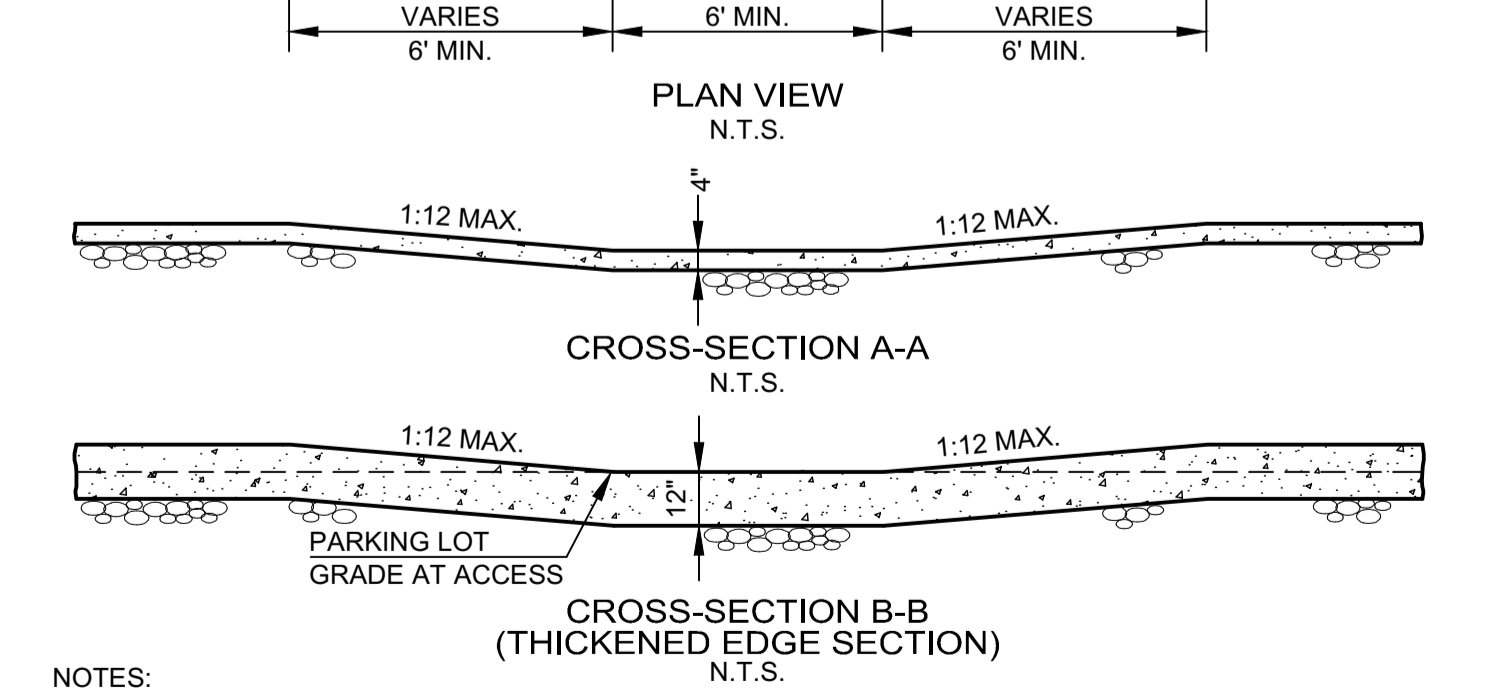
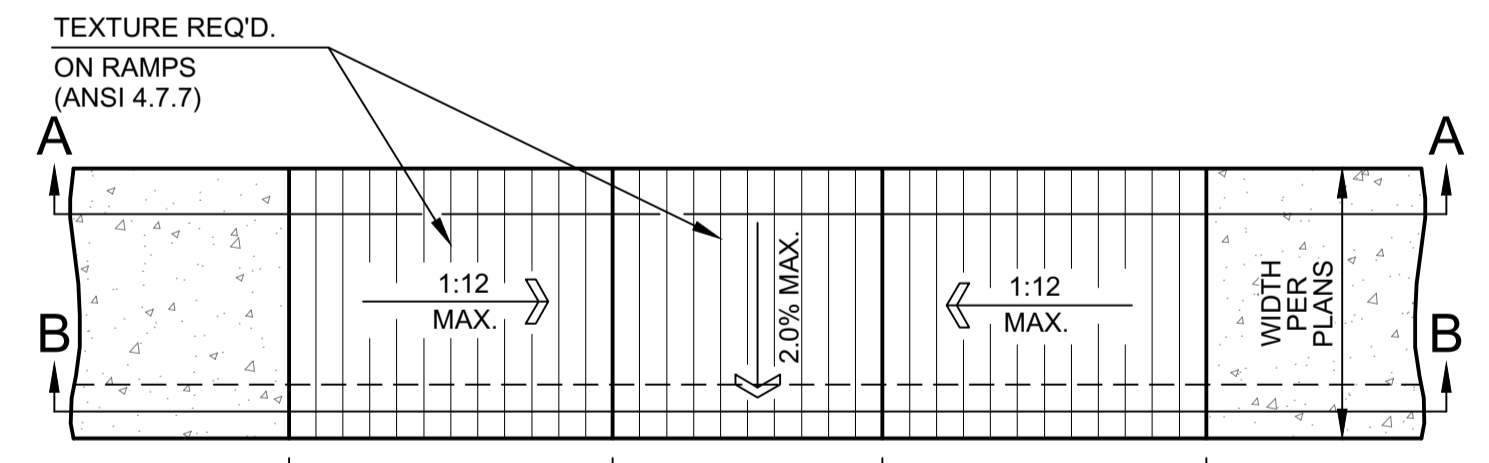


- NOTES:
- THE BED SHALL BE EXCAVATED A MINIMUM OF 24" INTO CLEAN SAND AND GRAVEL.
 - MAXIMUM DEPTH SHALL NOT EXCEED 12 FEET.
 - IF CLEAN SAND AND GRAVEL IS NOT ENCOUNTERED WITHIN 12 FEET, THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER.
 - GRATE OR SOLID LID AS APPROVED BY CITY OF KETCHUM.

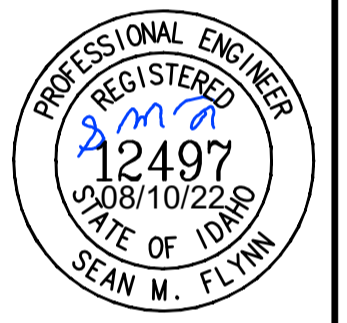
6
C0.2 DRYWELL DETAIL
N.T.S.



7
C0.2 MANHOLE STYLE DRYWELL DETAIL
N.T.S.



8
C0.2 PARKING AREA ADA ACCESS RAMP DETAIL
N.T.S.



DESIGNED BY
CT
DRAWN BY
SMF
CHECKED BY

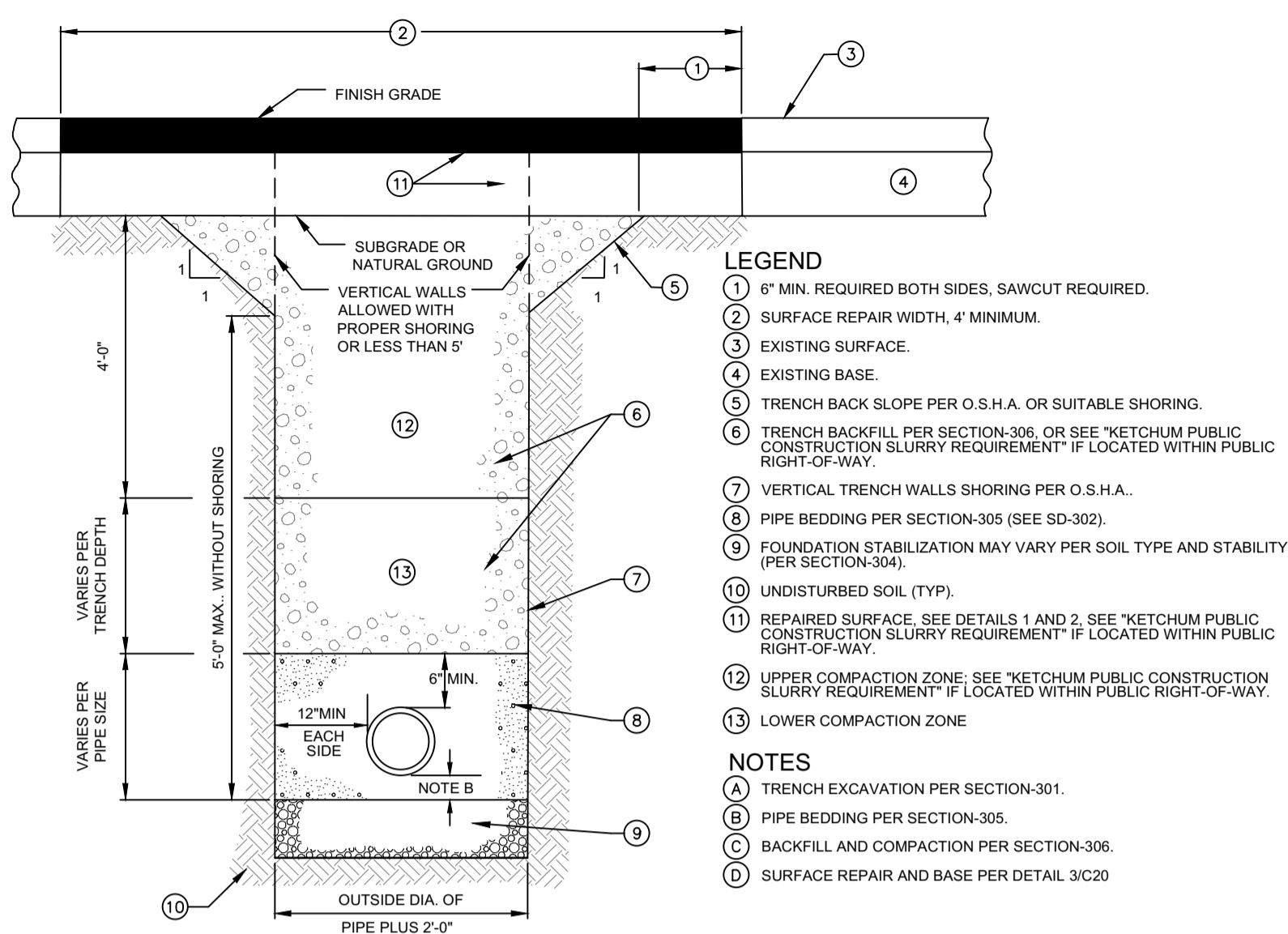
GALENA
ENGINEERING, INC.
Civil Engineers & Land Surveyors
317 N. River Street
Halley, Idaho 83333
(208) 768-1705
email: galena@galena-engineering.com

NO.	DATE	BY	REVISIONS
A	04/04/22	SMF	ADDENDUM #1 SET
A	05/04/22	SMF	ADDENDUM #2 SET
A	06/13/22	SMF	CITY SECOND ROUND COMMENTS
A	08/10/22	SMF	RELOCATE STORM STRUCTURES DUE TO STRUCTURAL FOOTING PLAN
A	09/10/22	SMF	CITY THIRD ROUND COMMENTS

C0.2

PROJECT INFORMATION
 Prepared by: galena@galena-engineering.com
 Engineer: 2022-08-09 (smf)
 08/09/22 4:48:48 PM
 LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
 PREPARED FOR: GMD DEVELOPMENT, LLC
DETAIL SHEET
BLUEBIRD VILLAGE
(480 N EAST AVE)

City of Ketchum
Approved
BLD2201-0067
08/19/22
These drawings are the property of the City of Ketchum. They are to be used only for the project and location specified. Any reuse or modification of these drawings without the written consent of the City of Ketchum is strictly prohibited. The City of Ketchum is not responsible for any errors or omissions in these drawings. The user of these drawings is advised to verify all dimensions and specifications before construction. The City of Ketchum is not responsible for any damages or injuries resulting from the use of these drawings. The City of Ketchum is not responsible for any changes to these drawings without the written consent of the City of Ketchum. The City of Ketchum is not responsible for any delays or costs resulting from the use of these drawings. The City of Ketchum is not responsible for any other matters related to the use of these drawings.



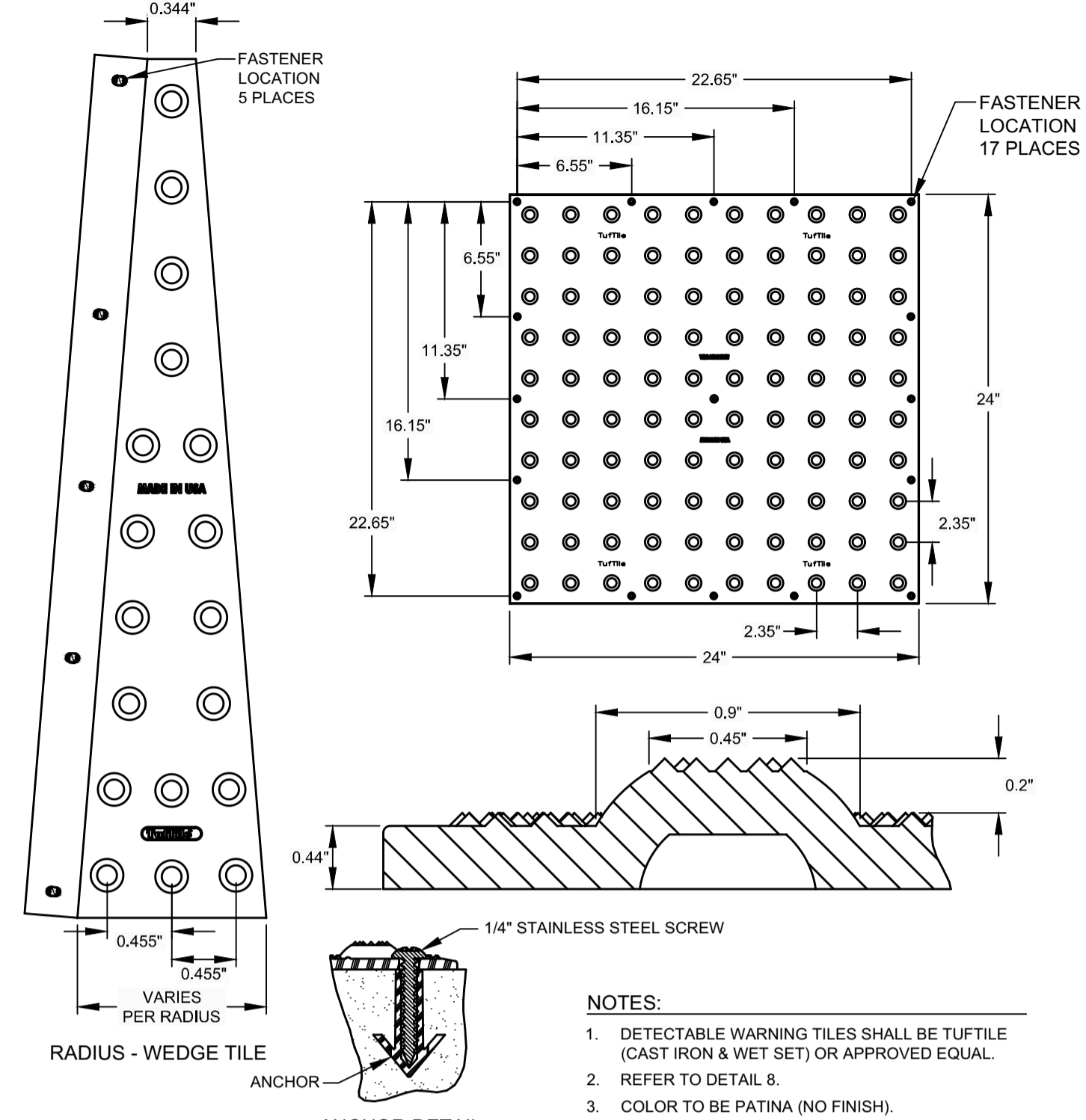
KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT
IN AREAS WHERE IT IS NECESSARY TO CUT THE ASPHALT PAVEMENT AND DIG A TRENCH FOR BURIAL OF CONDUIT CABLE OR OTHER CITY UTILITY, THE TRENCH SHALL BE BACKFILLED WITH A LEAN CONCRETE MIX TO THE BOTTOM OF FINISH SURFACE MATERIAL, WITH THE FOLLOWING PROPORTIONS OF MATERIALS:

COARSE AGGREGATE (1/2" MINUS)	2,600 LBS
SAND	800 LBS
PORTLAND CEMENT	94 LBS
WATER	11 GAL. (MAX.)

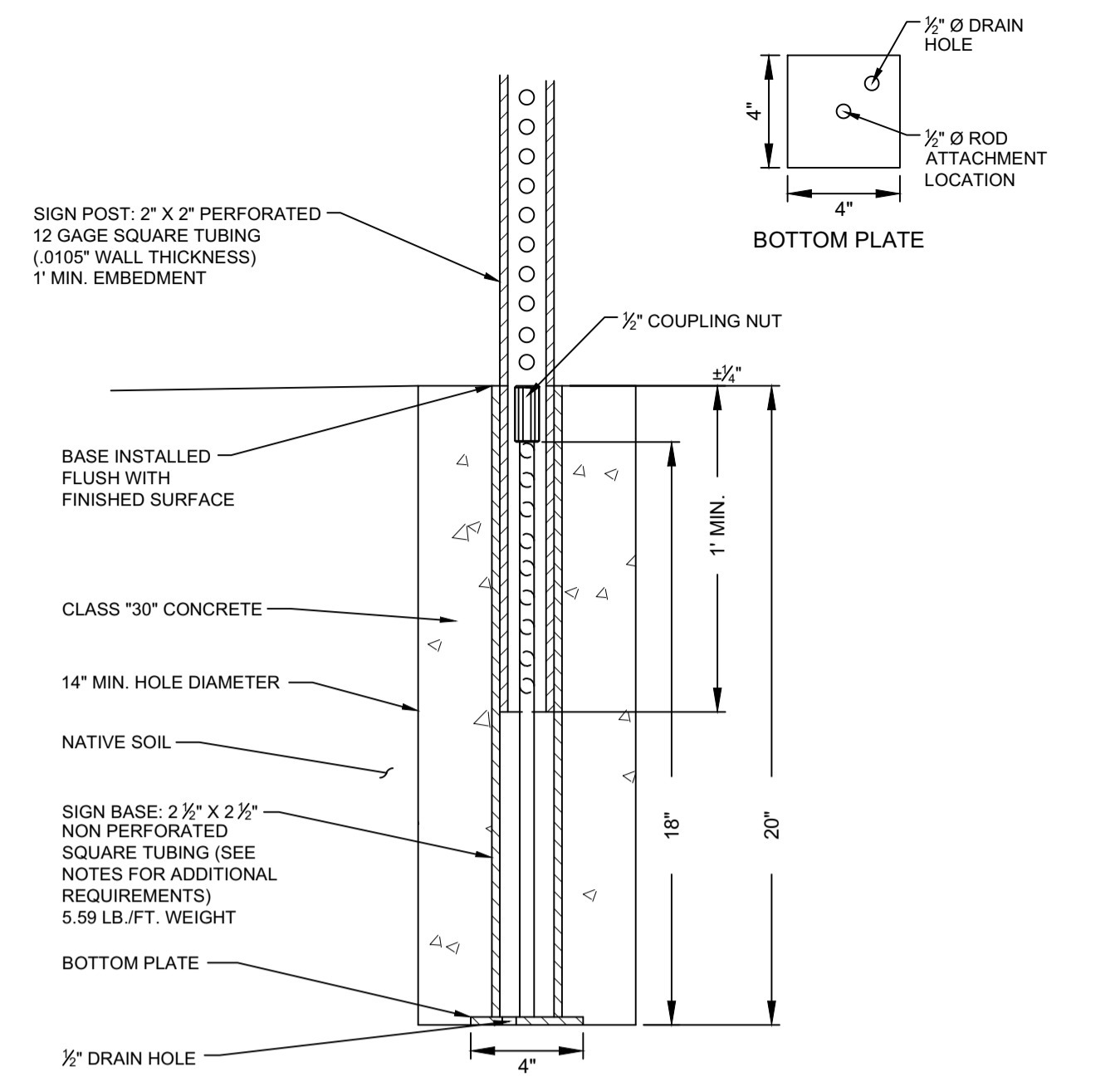
WATER CONTENT IS MAXIMUM AND MAY BE REDUCING DOWNWARD. CARES SHALL BE TAKEN TO ASSURE THAT EXCESS WATER IS NOT PRESENT IN THE MIXING DRUM PRIOR TO CHARGING THE MIXER WITH MATERIALS. THOROUGH MIXING WILL BE REQUIRED PRIOR TO DISCHARGE.

NO COMPACTION, VIBRATION OR FINISHING IS REQUIRED. THE LEAN CONCRETE MIX SHALL BE STRUCK OFF AT OR BELOW THE ELEVATION OF THE PLANTMIX SURFACING WITH A SQUARE-NOSE SHOVEL OR SIMILAR HAND TOOL. THE BACKFILL MIX SHALL BE ALLOWED TO SET FOR A MINIMUM OF 2 HOURS BEFORE THE PERMANENT PLANTMIX SURFACING IS PLACED TO COMPLETE THE TRENCH REPAIR. TEMPORARY PLACEMENT OF ASPHALT COLD MIX SURFACING MAY BE NECESSARY TO ACCOMMODATE TRAFFIC WITHIN THE FIRST 2 HOURS OF BACKFILL PLACEMENT PRIOR TO COMPLETING THE PERMANENT REPAIR.

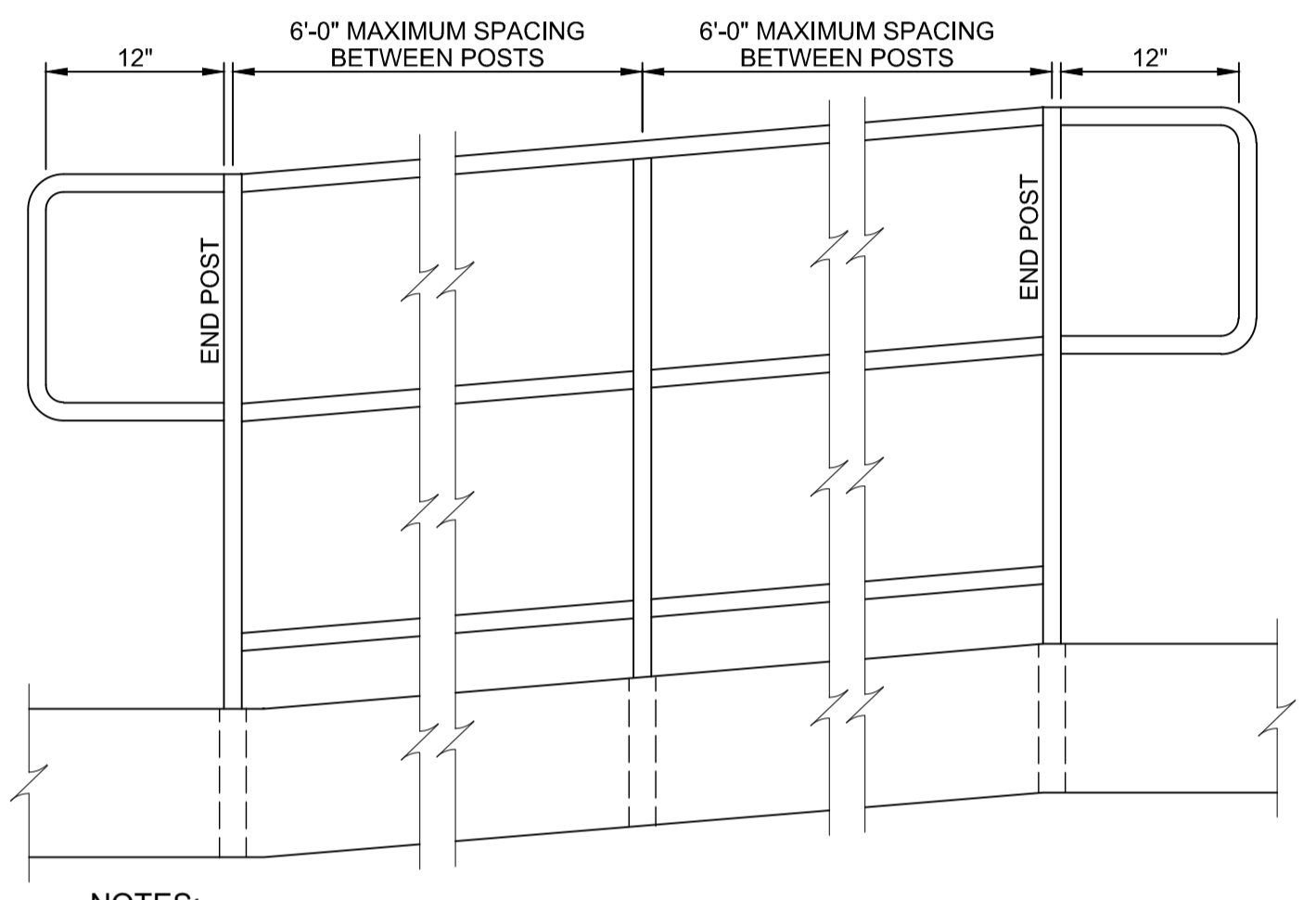
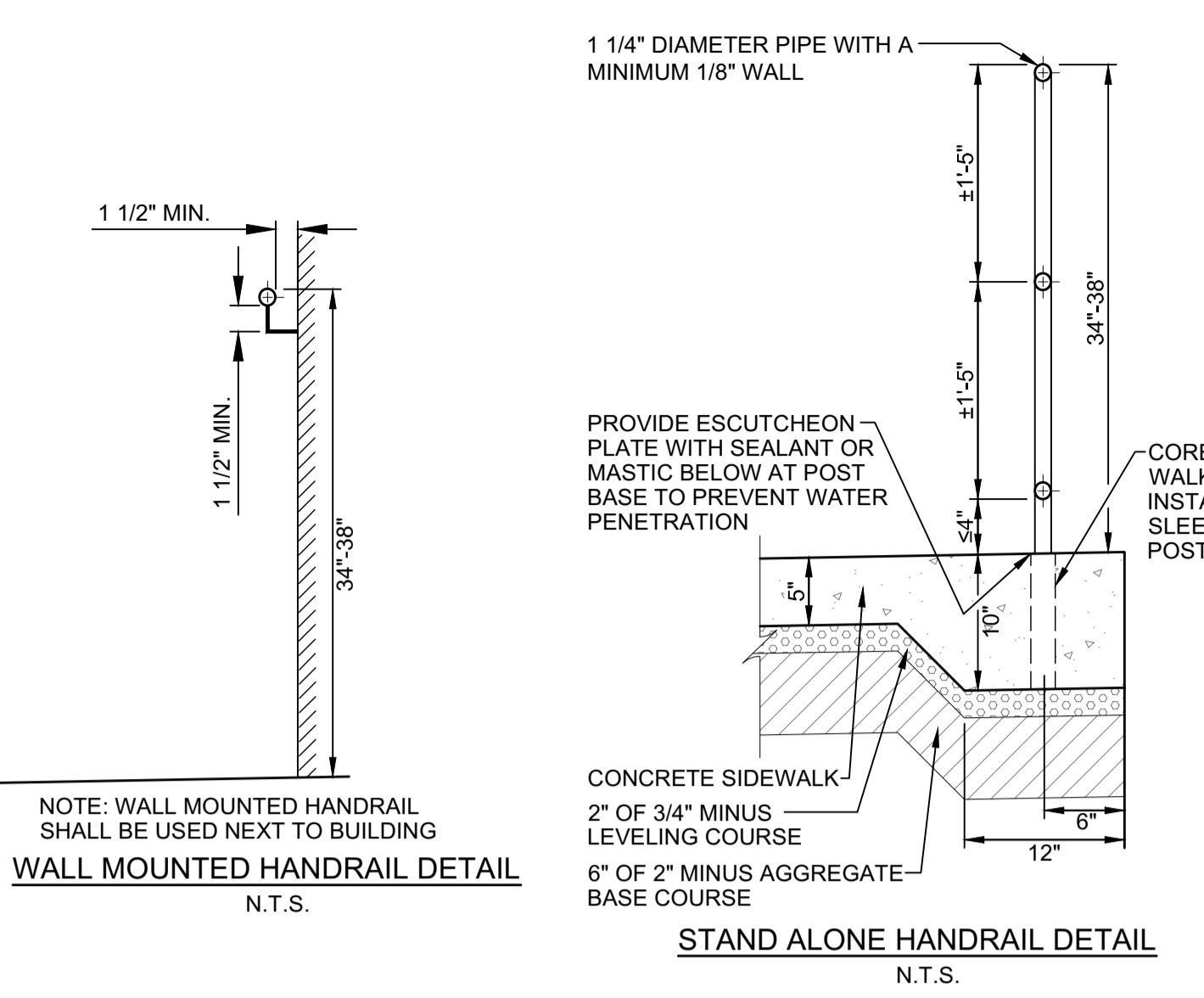
1 C0.3 **TYPICAL TRENCH SECTION**
N.T.S.



2 C0.3 **DETECTABLE WARNING PLATE**
N.T.S.



3 C0.3 **TYPICAL SIGN BASE**
N.T.S.



4 C0.3 **TYPICAL HANDRAIL DETAIL**
N.T.S.

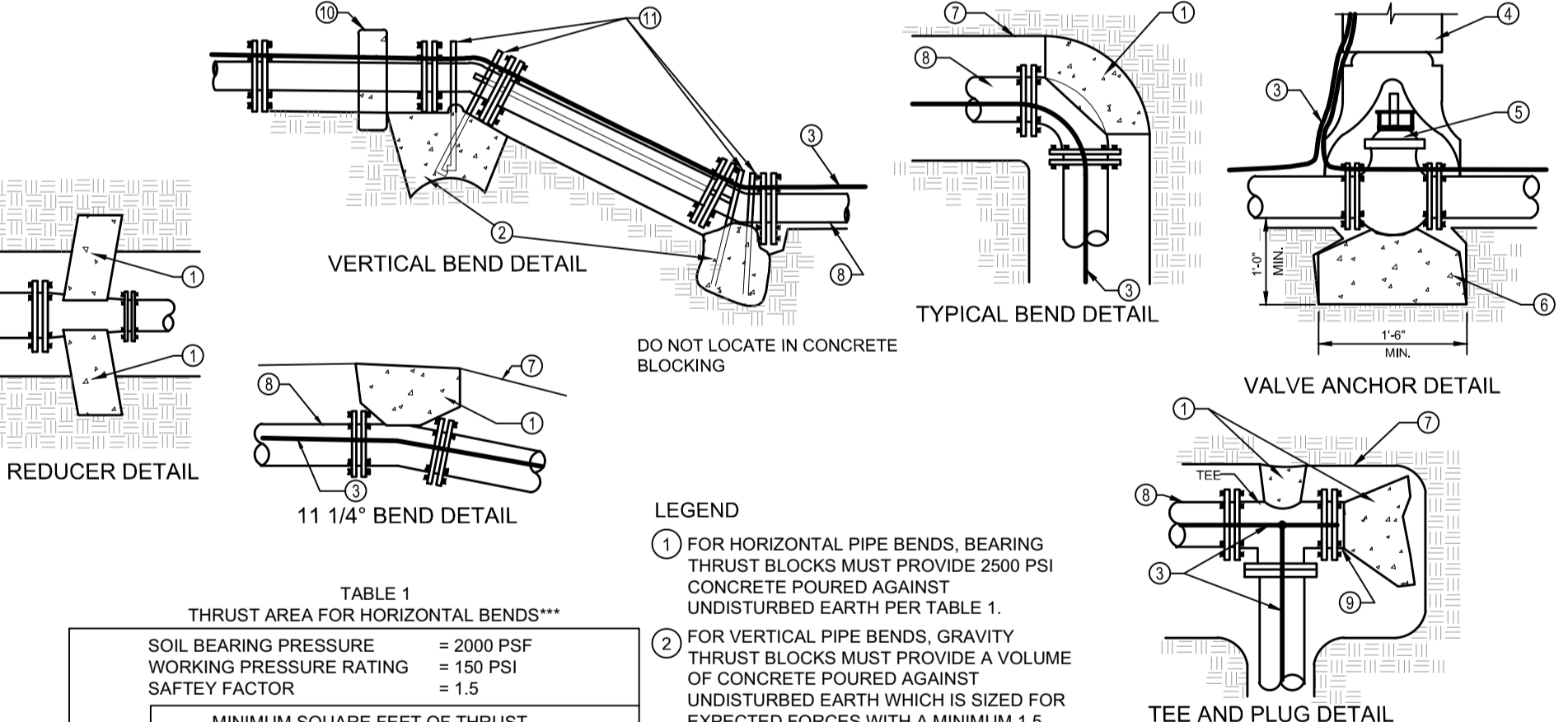
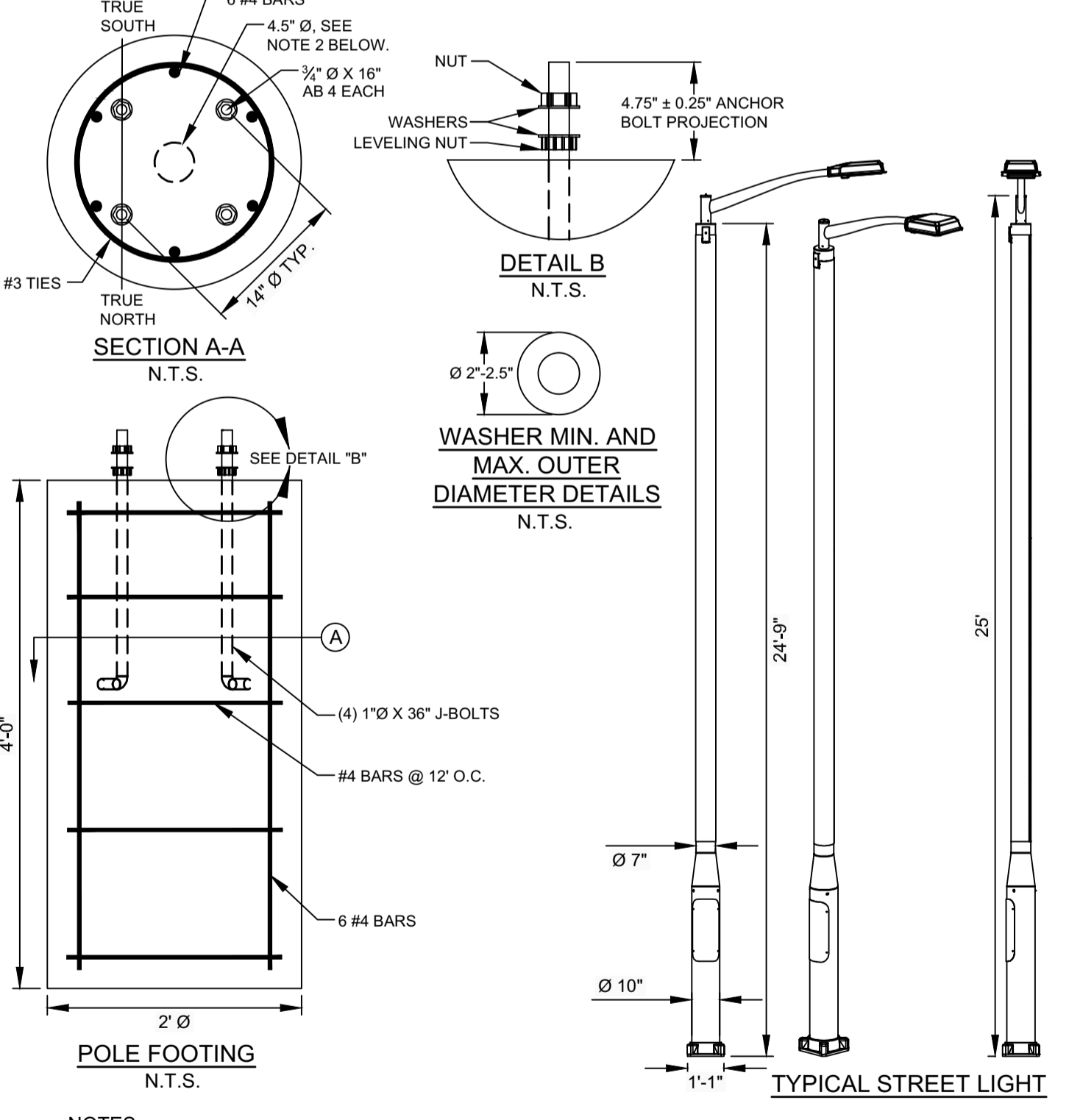


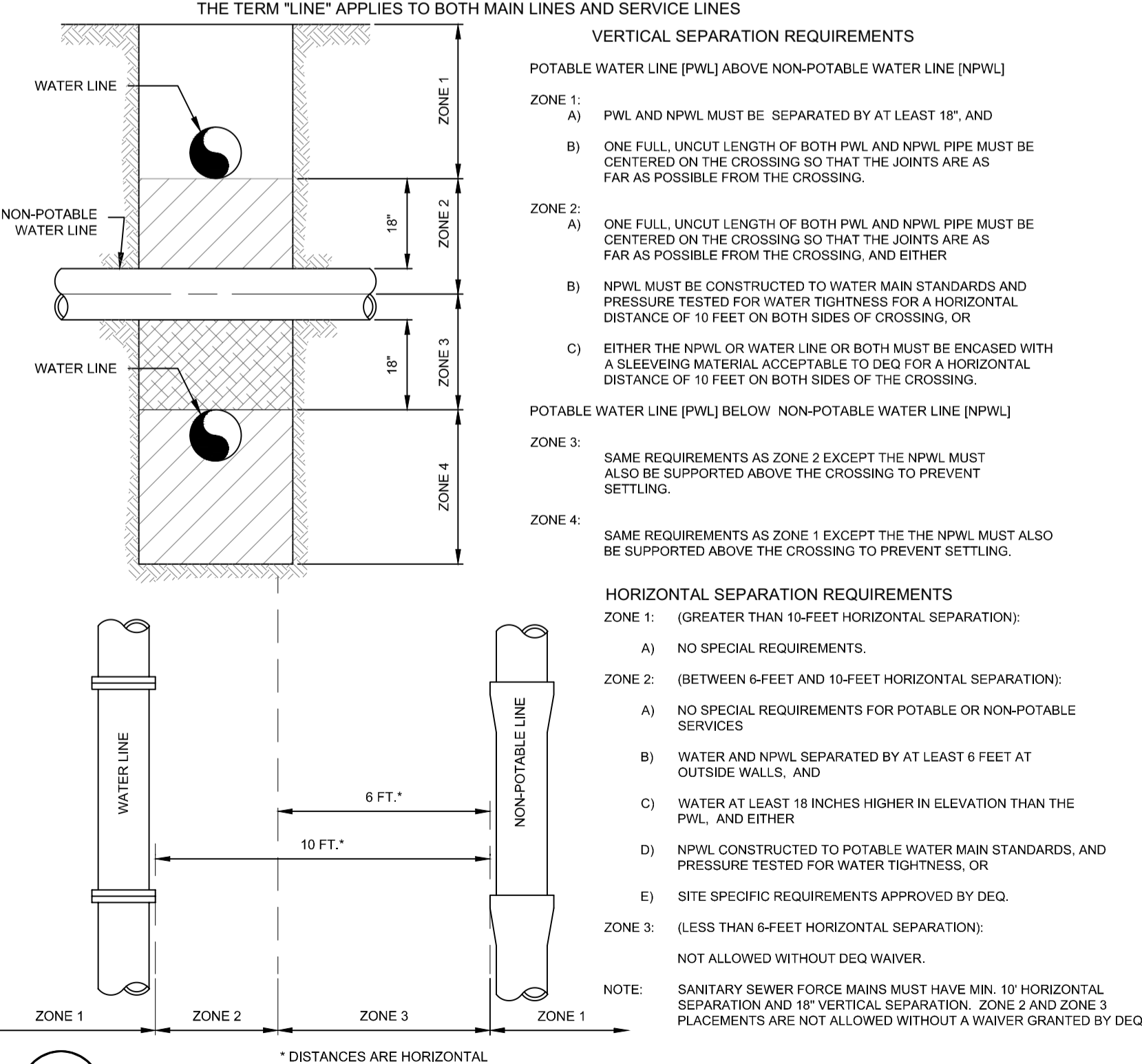
TABLE 1
THRUST AREA FOR HORIZONTAL BENDS***

PIPE SIZE	TEE, PLUG OF VALVE	90° BEND**	45° BEND	22.5°, 11.25° BENDS OR REDUCER
3"	0.8	1.1	0.6	0.3
4"	1.4	2.0	1.1	0.6
6"	3.2	4.5	2.4	1.2
8"	5.7	8.0	4.3	2.2
10"	8.8	12.5	6.8	3.4
12"	12.7	18.0	9.7	5.0
14"	17.3	24.5	13.3	6.8
16"	22.6	32.0	17.3	8.8
18"	28.6	40.5	21.9	11.2

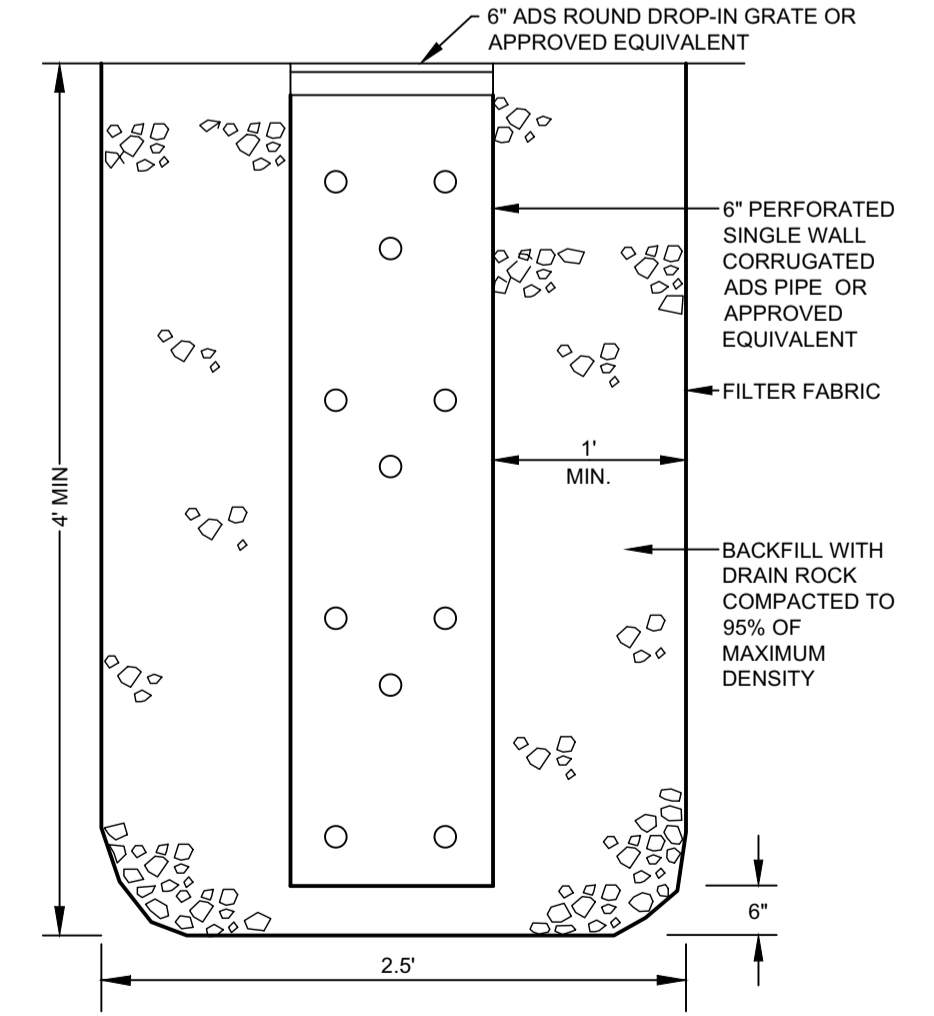
5 C0.3 **THRUST BLOCK AND ANCHOR DETAILS**
N.T.S.



6 C0.3 **TYPICAL STREET LIGHT**
N.T.S.



7 C0.3 **POTABLE AND NON-POTABLE WATER LINE (NPWL) SEPARATION**
N.T.S.



8 C0.3 **LANDSCAPE / PLANTER DRAIN**
N.T.S.

DETAIL SHEET
BLUEBIRD VILLAGE
(480 N EAST AVE)
LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR GMD DEVELOPMENT, LLC

PROJECT INFORMATION
Professional Engineer License: 2022-08-09-09w EngBase: 08/09/22 4:48:48 PM
Project: 2022-08-09-09w

PROFESSIONAL ENGINEER
REGISTERED
12497
5/08/10/22/MD
STATE OF IDAHO
SEAN M. FLANN

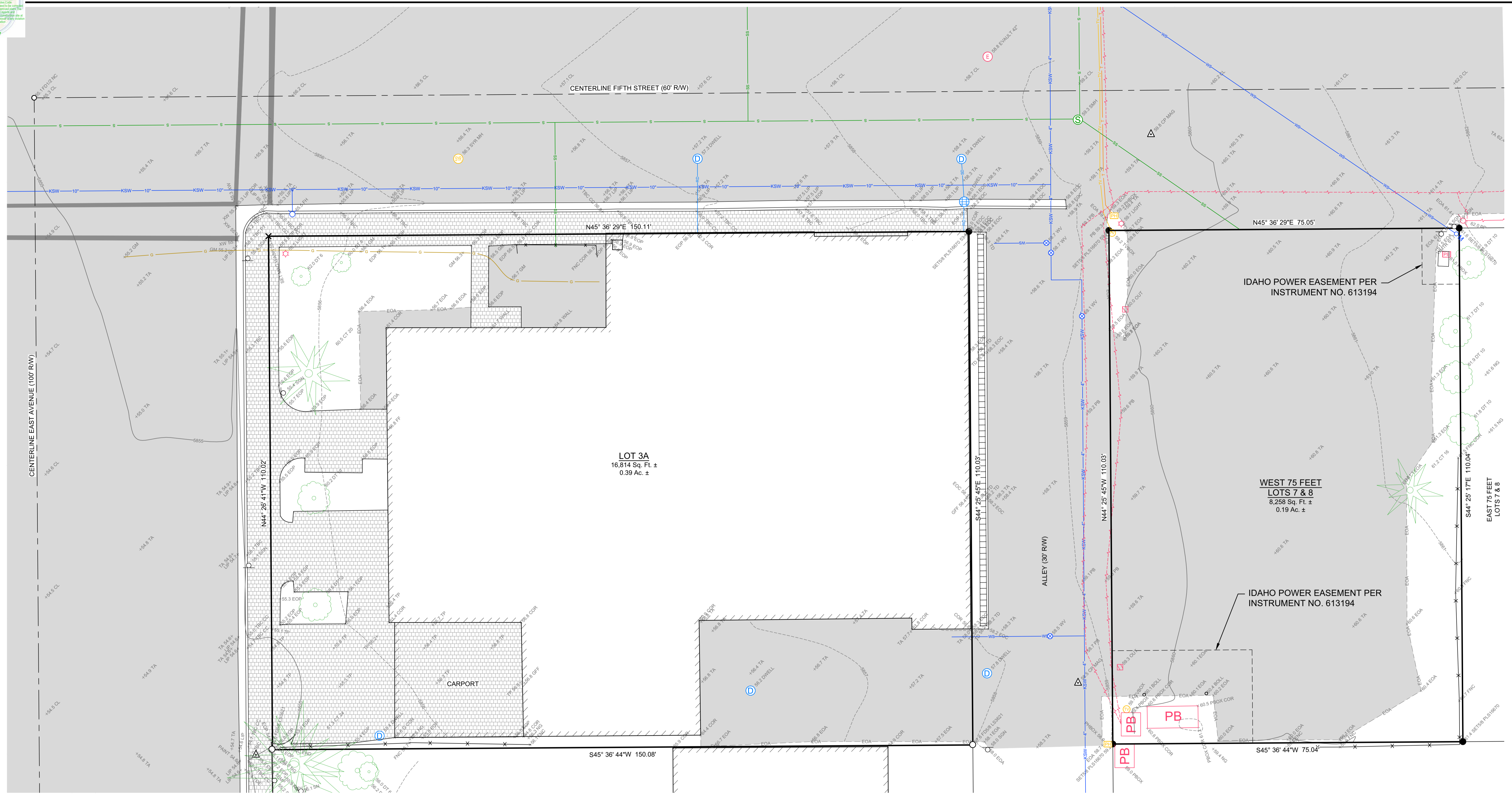
DESIGNED BY: _____
DRAWN BY: SMF
CHECKED BY: _____

GALENA ENGINEERING, INC.
Civil Engineers & Land Surveyors
317 N. River Street
Halley, Idaho 83333
email: galena@galena-engineering.com
(208) 768-1705

PURPOSE: ADDENDUM #1 SET (04/04/22)

NO.	DATE	BY	REVISIONS
A	04/04/22	SMF	ADDENDUM #1 SET
A	05/04/22	SMF	ADDENDUM #2 SET
A	06/13/22	SMF	CITY SECOND ROUND COMMENTS
A	08/10/22	SMF	RELOCATE STORM STRUCTURES DUE TO STRUCTURAL FOOTING PLAN
A			CITY THIRD ROUND COMMENTS

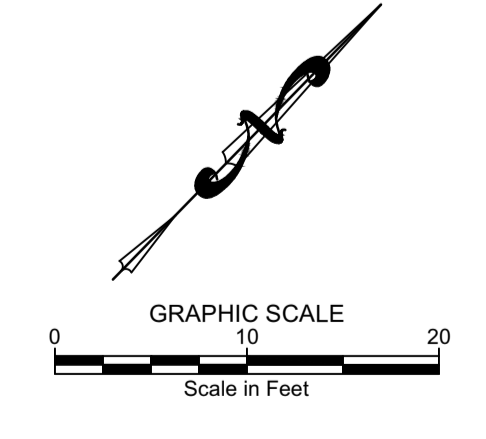
C0.3



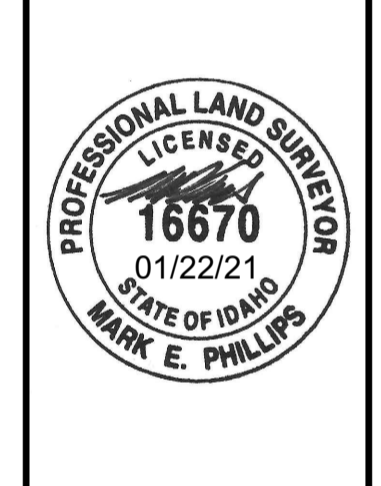
LEGEND			
	Property Line		SGN = Sign
	Adjoiner's Lot Line		GM = Gas Main
	Centerline		TVB = Cable TV Buried
	Idaho Power Easement		TVR = Cable TV Riser
	FD5/8 = Found 5/8" Rebar		PHB = Buried Telephone Line
	FD1/2 = Found 1/2" Rebar		PHBOX = Telephone Riser
	CNTRL = Survey Control		SYR MH = Syringa Manhole
	SET5/8 = Set 5/8" Rebar		PB = Buried Power Line
	SET MAG = Set Mag Nail		Overhead Power Line
	5' Contour Interval		Light
	1' Contour Interval		PBOX = Power Box
	Curb & Gutter		PP = Power Pole
	TD = Trench Drain		EVAULT = Power Vault
	FNC = Fence Line		OUT = Power Outlet
	Building		Sewer Main
	Asphalt		SS = Sewer Service
	Concrete		SMH = Sewer Manhole
	Pavers		RD = Roof Drain
	CT = Conifer Tree		SD = Storm Drain
	DT = Deciduous Tree		CB = Catch Basin
	Boll = Bollard		DWELL = Dry Well
	XW = Crosswalk		Ketchum Spring Line (10")
			Ketchum Spring Line (4")
			WS = Water Service
			WMTR = Water Meter
			FH = Fire Hydrant
			WV = Water Valve
			AP = Angle Point
			BEG = Beginning
			CC = Curb Cut
			CL = Centerline
			COR = Corner
			EOA = Edge of Asphalt
			EOC = Edge of Concrete
			EOP = Edge of Pavers
			FF = Finished Floor
			GFF = Garage Finished Floor
			IC = Illegible Cap
			LIP = Lip of Gutter
			NC = No Cap
			NG = Natural Ground
			PC = Point of Curvature
			PT = Point of Tangent
			TA = Top of Asphalt
			TBC = Top Back of Curb
			TP = Top of Pavers

NOTES

- The purpose of this map is to show topographical information as it existed on the date the field survey was performed. Changes may have occurred to site conditions since survey date (12/22/2020).
- Boundary information is based on Found Monumentation. Please refer to the recorded map of the Official Map of the Village of Ketchum, Instr # 302967, records of Blaine County, Idaho. Refer to the Plat Notes, Conditions, Covenants, and Restrictions on Original Plat.
- Underground utility locations are based on above ground appurtenances / utilities visible at the time of the survey, and City Maps. Utilities should be located prior to any excavation.
- Galena Engineering Inc. has not received a Title Policy from the client and has not been requested to obtain one. Relevant information that may be contained within a Title Policy may therefore not appear on this map and may affect items shown hereon. It is the responsibility of the client to determine the significance of the Title Policy information and determine whether it should be included. If the client desires for the information to be included they must furnish said information to Galena Engineering, Inc. and request it be added to this map.
- Benchmark is top of 1/2" rebar marking the intersection of Fifth Street and East Avenue, elevation = 5855.13. Point elevations shown are truncated (i.e. 19.2 is 5819.2). Vertical Datum is NAVD 1988.



**A TOPOGRAPHIC MAP SHOWING
 LOT 3A AND THE WEST 75' OF LOTS 7 & 8
 BLOCK 45, KETCHUM TOWNSITE (480 N EAST AVE)**
 LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
 PREPARED FOR GMD DEVELOPMENT, LLC



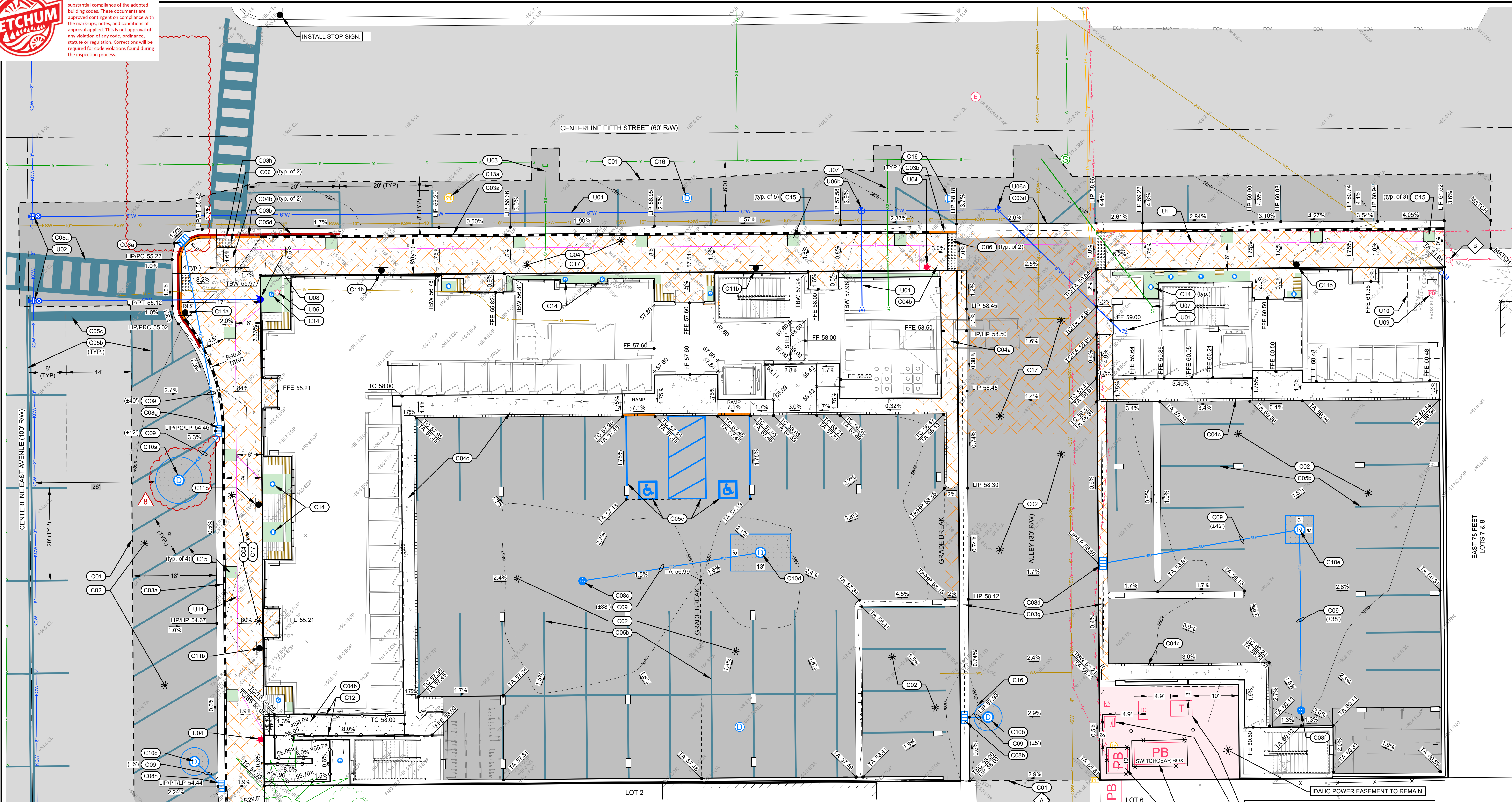
DESIGNED BY _____
 DRAWN BY _____
 SMF
 CHECKED BY _____

GALENA ENGINEERING, INC.
 Civil Engineers & Land Surveyors
 317 N. River Street
 Hailey, Idaho 83433
 (208) 768-1705
 email: galena@galena-engineering.com

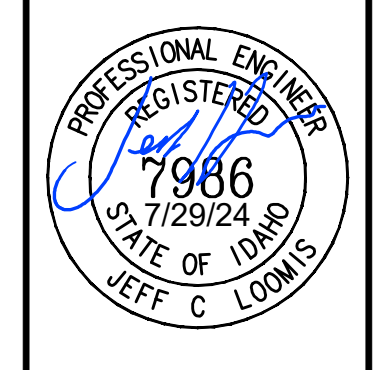
PURPOSE:	NO.	DATE	BY	REVISIONS
C0.4				



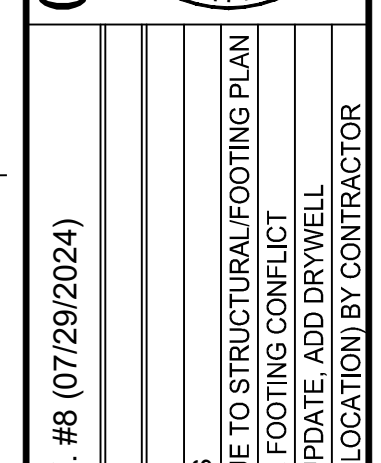
APPROVED
 These plans have been found to be in substantial compliance with the adopted building codes. These documents are approved contingent on compliance with the mark-ups, notes, and conditions of approval applied. This is not approval of any violation of any code, ordinance, statute or regulation. Corrections will be required for code violations found during the inspection process.



GRADING, DRAINAGE, AND UTILITY PLAN SHOWING BLUEBIRD VILLAGE (480 N EAST AVE)
 LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
 PROJECT INFORMATION
 (S:\MARKETING\BluebirdVillage\Book 44\Lot 5a\050 BluebirdVillage\Construction\0500 English 2024-07-28.dwg 07/29/24 10:10:19 AM)



DESIGNED BY: CT/MS
 DRAWN BY: SMF/JCL
 CHECKED BY: SMF/JCL
 SURVEY DATE:
GALENA-BENCHMARK ENGINEERING
 Civil Engineers & Land Surveyors
 100 Bell Drive
 P.O. Box 233
 Ketchum, ID 83340
 (208) 726-9512
 www.benchmark-associates.com

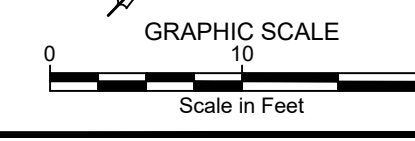


PURPOSE: ISSUE FOR CONSTRUCTION - REV. #8 (07/29/2024)
 NO. DATE BY REVISIONS
 1 05/04/22 SMF ADDENDUM #2 SET
 2 08/13/22 SMF CITY SECOND ROUND COMMENTS
 3 09/12/22 SMF RELOCATE STORM STRUCTURES DUE TO STRUCTURAL/FOOTING PLAN
 4 09/29/22 JCL RFI #11 BUILDING B: STORM DRAIN & FOOTING CONFLICT
 5 10/26/22 JCL RFI #26 BUILDING B: STORM DRAIN UPGRADE. ADD DRYWELL
 6 07/29/24 JCL MINOR MODIFICATION (DRYWELL RELOCATION) BY CONTRACTOR

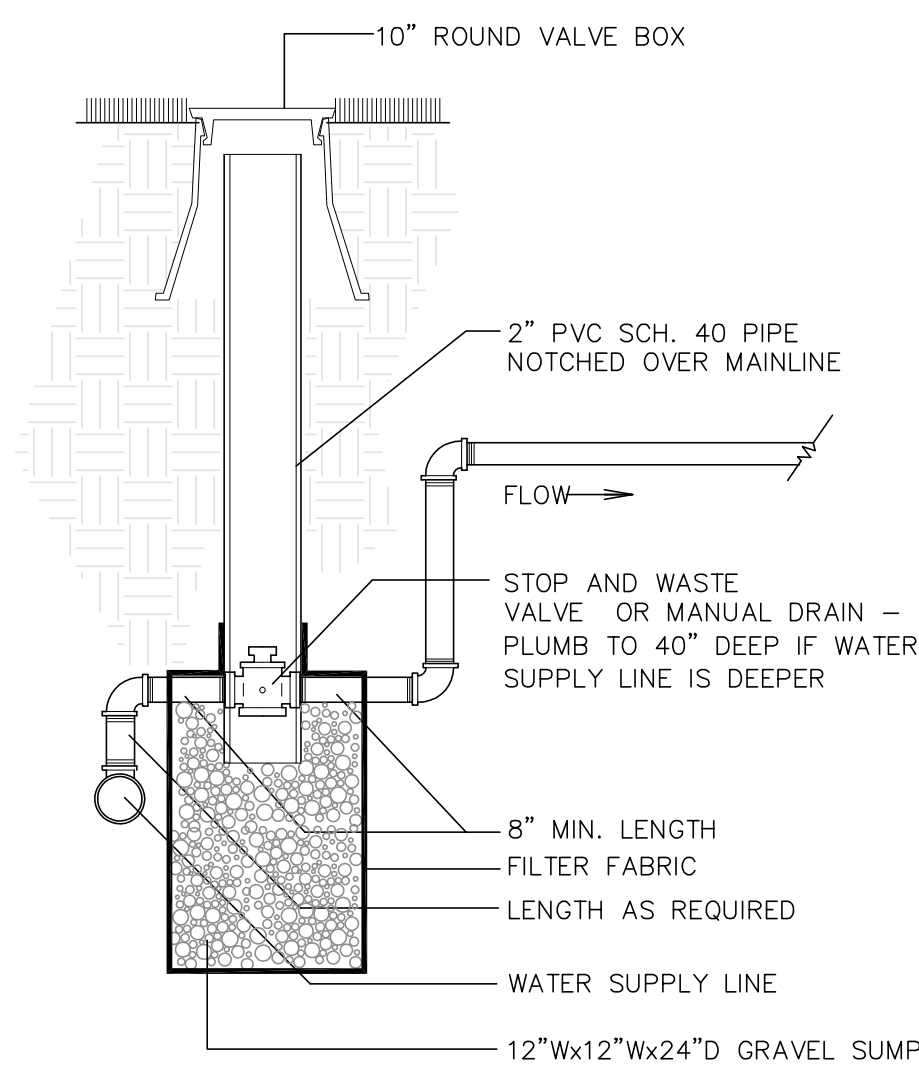
- ### UTILITY IMPROVEMENT KEY NOTES
- U01 INSTALL 6" C-900 PVC WATER LINE. SEE DETAIL 1 / CO.3 FOR TRENCHING STANDARDS.
 - U02 INSTALL 6" STAINLESS STEEL TAPPING SADDLE W/ THRUST BLOCKS. SEE DETAIL 5 / CO.3.
 - U03 EXISTING SEWER SERVICE TO BE EXPOSED TO SEWER MAIN CUT AND PLUGGED.
 - U04 INSTALL KETCHUM STANDARD STREET LIGHT: SOLAR (OFF-GRID). SEE DETAIL 6 / CO.3.
 - U05 RETAIN AND PROTECT STREET LIGHT.
 - U06 INSTALL 6" D.I. FITTING WITH THRUST BLOCKS. a. 45° BEND b. 6" D.I. TEE
 - U07 INSTALL 4" PVC SEWER SERVICE
 - U08 REMOVE EXISTING FIRE HYDRANT. INSTALL CITY APPROVED WATEROUS MOUNTAIN STYLE FIRE HYDRANT ASSEMBLY. CONTRACTOR TO COORDINATE WITH WATER AND FIRE DEPARTMENTS. SEE DETAIL 1 / CO.3 FOR TYPICAL TRENCH SECTION.
 - U09 TRANSFORMER TO BE RELOCATED BY IDAHO POWER ACROSS FIFTH ST TO LITTLE PARK. THIS TRANSFORMER LOCATION IS TEMPORARY UNTIL THE PROPERTY LOCATED AT 580 E 5TH STREET IS REDEVELOPED. WHEN THIS PROPERTY IS REDEVELOPED, THE TRANSFORMER WILL BE REQUIRED TO BE RELOCATED FROM ITS TEMPORARY LOCATION AT LITTLE PARK TO THE PROPERTY LOCATED AT 580 E 5TH STREET.
 - U10 EXISTING EASEMENT WILL BE VACATED ONCE TRANSFORMER IS RELOCATED TO LITTLE PARK.
 - U11 INSTALL 1" PVC IRRIGATION LINE. SEE IRRIGATION DETAILS ON SHEET L5.1.

- ### CONSTRUCTION (SITE, GRADING, & DRAINAGE) KEY NOTES
- C01 SAWCUT EXISTING ASPHALT TO PROVIDE FOR A CLEAN VERTICAL EDGE.
 - C02 CONSTRUCT ASPHALT ROADWAY / ASPHALT PAVEMENT. SEE DETAIL 1a / CO.2.
 - C03 CONSTRUCT CONCRETE CURB AND GUTTER.
 - a. 6" ROLLED PER DETAIL 2a / CO.2.
 - b. CURB TRANSITION PER DETAIL 2b / CO.2.
 - c. N/A
 - d. 36" WIDE CONCRETE VALLEY GUTTER PER DETAIL 2d / CO.2.
 - e. N/A
 - f. N/A
 - g. 24" WIDE CONCRETE VALLEY GUTTER PER DETAIL 2h / CO.2.
 - h. ZERO REVEAL CURB AND GUTTER PER DETAIL 2i / CO.2.
 - i. CURB TRANSITION FROM 6" VERTICAL TO 6" ROLLED.
 - C04 CONSTRUCT CONCRETE SIDEWALK. WIDTH AS SHOWN HEREON.
 - a. FLAT WORK. SEE DETAIL 3a / CO.2.
 - b. ADA COMPLIANT RAMP, SEE DETAIL 3a / CO.2.
 - c. THICKENED EDGE SIDEWALK. SEE DETAIL 4 AND 8 / CO.2.
 - C05 INSTALL ROAD STRIPING / PAINT.
 - a. WHITE CROSSWALK STRIPING (12" WIDE STRIPES AND 24" CROSS BARS).
 - b. YELLOW ASPHALT PARKING STRIPING (4" WIDE). MATCH CITY PATTERNS.
 - c. WHITE CROSSWALK / STOP BAR STRIPING (24" WIDE).
 - d. RED "NO PARKING" STRIPING ON CURB. MATCH CITY PATTERNS.
 - e. BLUE ADA PARKING STRIPING AND/OR PARKING SYMBOL (44" WIDE)
 - C06 INSTALL CITY OF KETCHUM APPROVED CAST IRON TRUNCATED DOME DETECTABLE WARNING INSERT. SEE DETAIL 2 / CO.3.
 - C07 N/A
 - C08 INSTALL CATCH BASIN. SEE DETAIL 5 / CO.2.
 - a. RIM (R) = 5855.12
 - b. RIM (C) = 5857.7
 - c. RIM (C) = 5856.51
 - d. RIM (R) = 5858.37
 - e. N/A
 - C09 CONTINUED.
 - a. RIM (R) = 5854.26
 - b. RIM (C) = 5855.32
 - c. RIM (R) = 5854.24
 - d. RIM (C) = 5851.24
 - C10 INSTALL 12" ADS N-12 STORM DRAIN PIPE WITH A MINIMUM SLOPE OF 2.0%. SEE DETAIL 1 / CO.3 FOR TRENCHING SECTION.
 - a. CIRCULAR DRYWELL. SEE DETAIL 6 / CO.2.
 - b. RIM (R) = 5854.57
 - c. RIM (C) = 5857.95
 - d. RIM (C) = 5854.6
 - e. RIM (C) = 5854.49
 - f. RIM (C) = 5851.1
 - C11 SIGNS: SEE DETAIL 3 / CO.3 FOR SIGN BASE DETAIL.
 - a. INSTALL STOP / STREET SIGN. USE PREVIOUSLY REMOVED SIGN. COORDINATE FINAL LOCATION WITH CITY OF KETCHUM.
 - b. INSTALL REGULATORY SIGN. COORDINATE TYPE AND FINAL LOCATION WITH CITY OF KETCHUM STREET DEPARTMENT.
 - C12 INSTALL ADA COMPLIANT HAND RAIL PAINTED PER ARCHITECTS SPECIFICATIONS. SEE DETAIL 4 / CO.3.
 - C13 RESET UTILITY BOX LID ELEVATION.
 - a. ORIGINAL RIM = 5856.28
 - b. NEW RIM = 5856.36
 - C14 INSTALL LANDSCAPE / PLANTER DRAIN. SEE DETAIL 8 / CO.3.
 - C15 INSTALL KETCHUM STANDARD TREE WELL.
 - C16 ABANDON DRYWELL IN PLACE.
 - C17 INSTALL SNOW MELT SYSTEM. REFER TO DETAILS 1b / CO.2 AND 3 / CO.2.
 - A MATCH EXISTING LINES AND GRADES
 - B RETAIN AND PROTECT UTILITY POLE

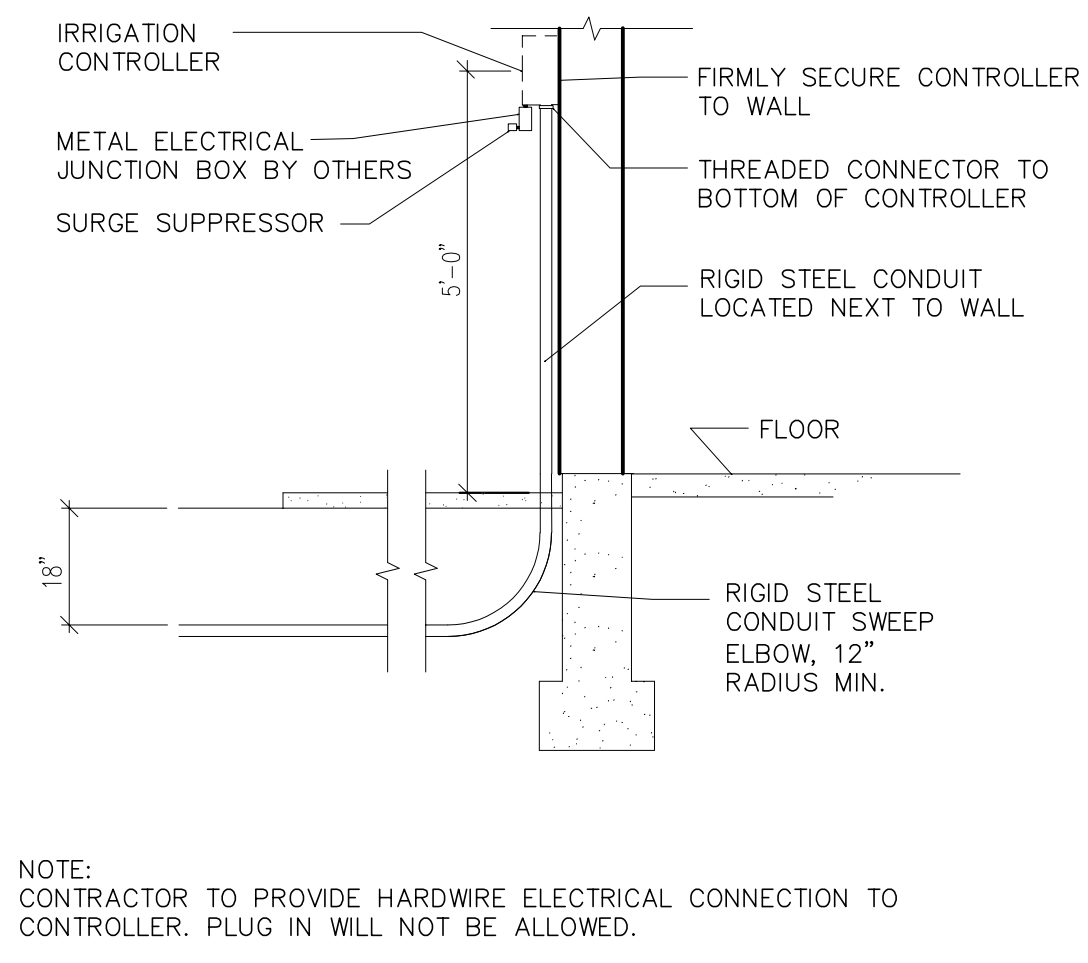
- ### NOTES
- ALL SIDEWALKS WITHIN RIGHT-OF-WAY ADJACENT PROPERTY TO BE HEATED.
 - SURFACING MATERIAL FOR THE NEW SIDEWALKS ALONG EAST AVENUE AND 5TH STREET WILL BE TITAN CONCRETE MIX OR APPROVED EQUAL.
 - A REVISED ILLUMINATION STUDY AND FINAL PLACEMENT OF THE STREETLIGHTS MUST BE SUBMITTED TO THE CITY FOR FINAL REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- DRY TYPE TRANSFORMER - 480-120240 - NEMA Type 2 - 750 KVA-2421604
 PANEL SL-1 MOUNTED ON METER PEDESTAL
 EXISTING SINGLE-PHASE TRANSFORMER WILL BE REMOVED AND REPLACED BY A 3 PHASE TRANSFORMER TO SERVE THE BLUEBIRD DEVELOPMENT. THE SWITCHGEAR BOX WILL REMAIN.



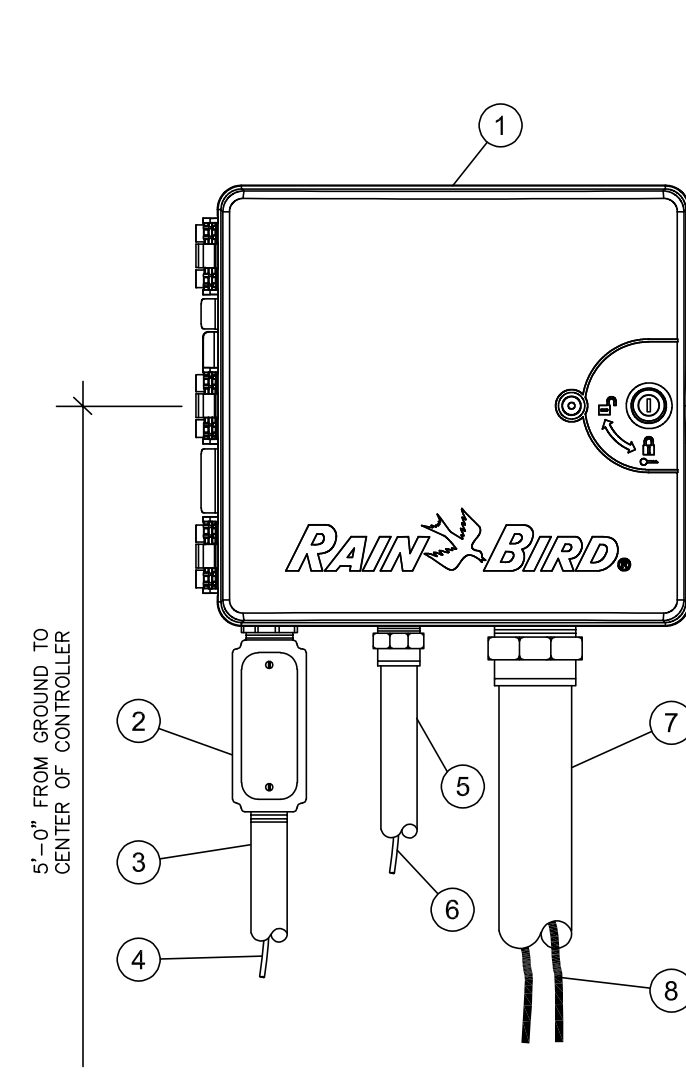
C1.0



A Stop and Waste Valve
NO SCALE

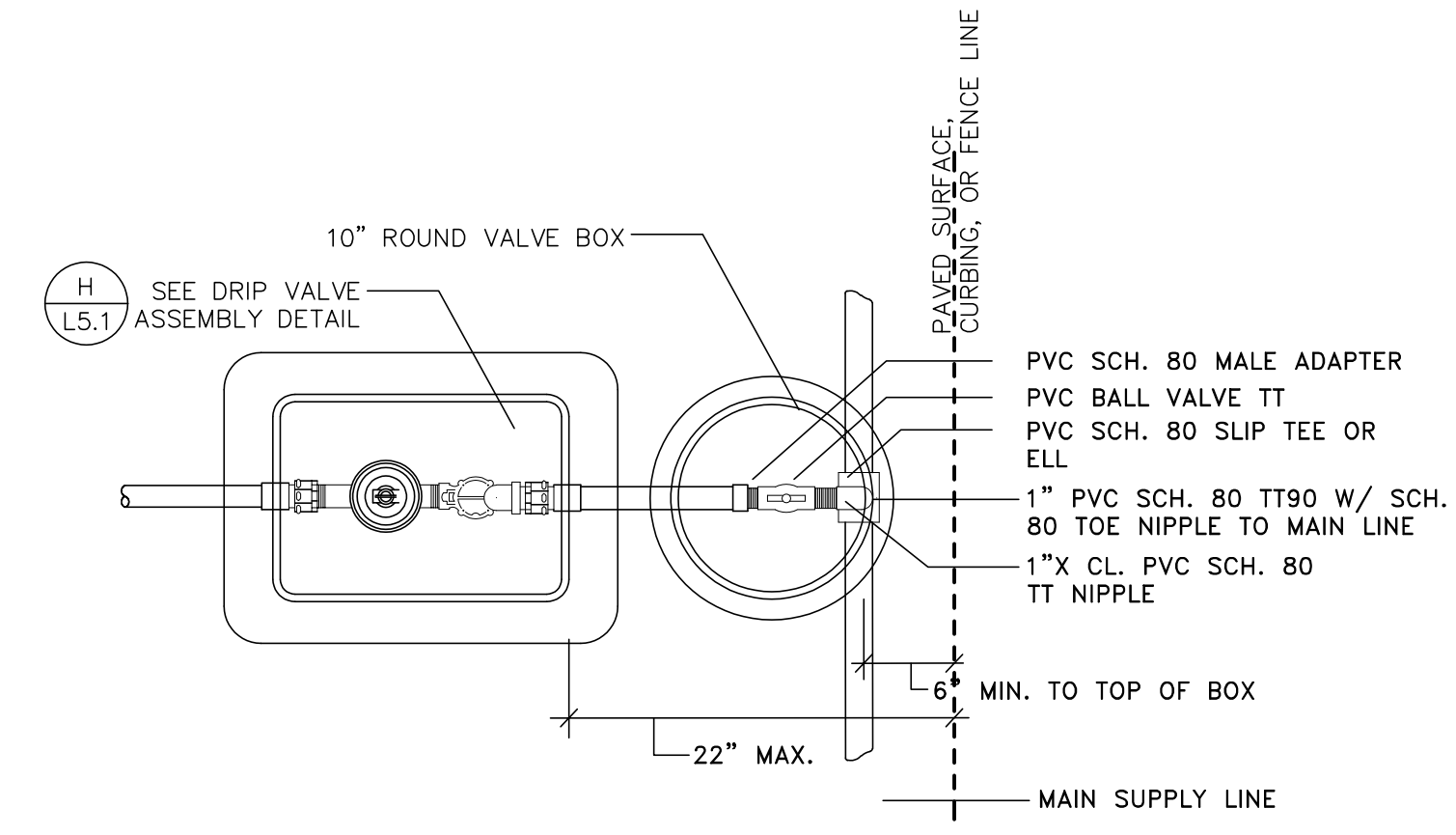


B Exterior Wall Mounted Controller
NO SCALE

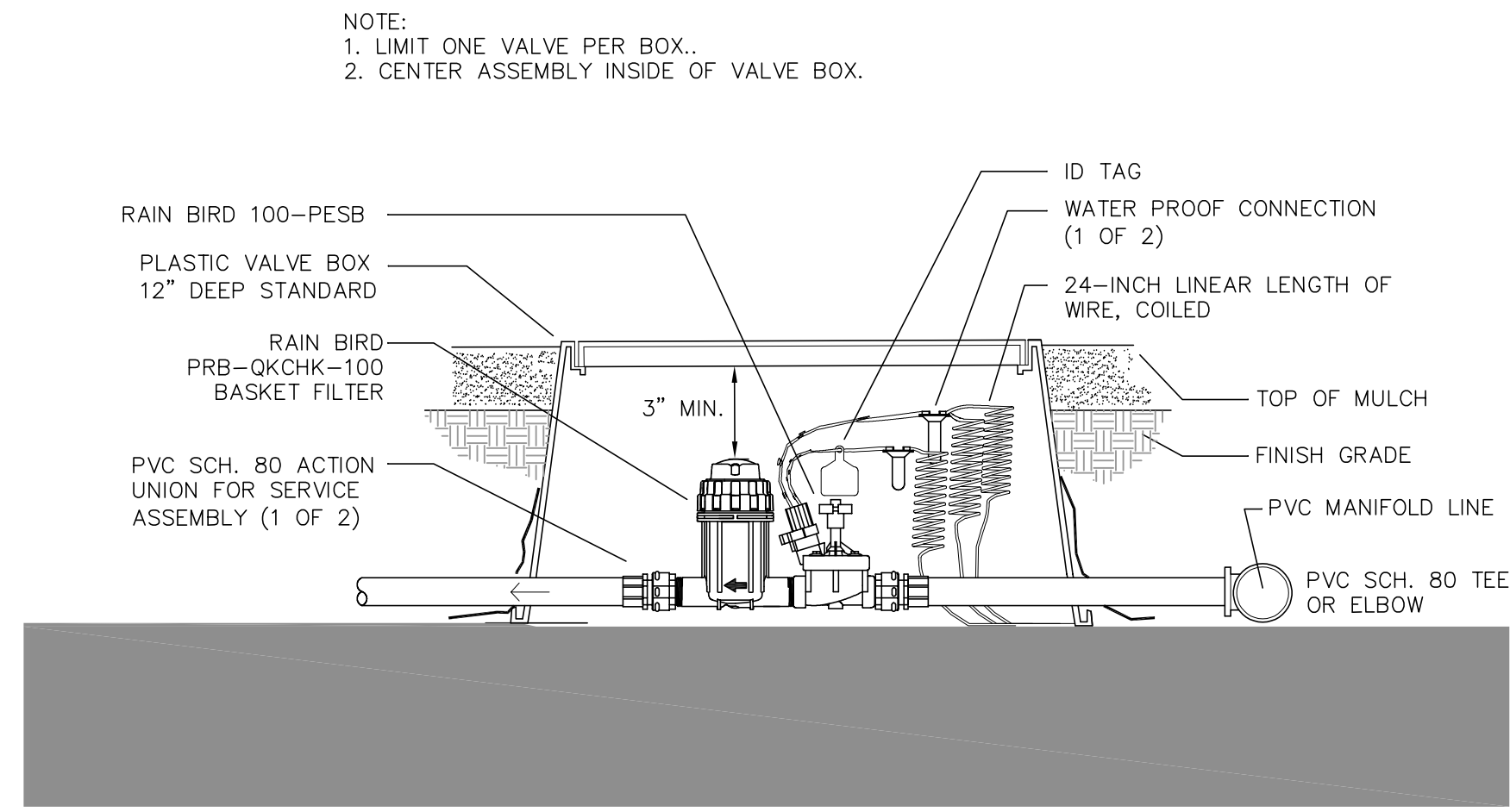


C Rain Bird ESP-ME Controller with Wi-Fi
NO SCALE

- 1 TWO-WIRE DECODER CONTROLLER: RAIN BIRD ESP-ME CONTROLLER WITH LNKWFI MODULE IN PLASTIC CABINET WITH WALL MOUNT. INSTALL CONTROLLER AND CABINET ON WALL PER MANUFACTURER'S RECOMMENDATIONS. ENSURE CONTROLLER IS FAR ENOUGH FROM WALL TO OPEN CABINET DOOR COMPLETELY.
 - 2 JUNCTION BOX
 - 3 1-INCH CONDUIT AND FITTINGS TO POWER SUPPLY
 - 4 POWER SUPPLY WIRE
 - 5 1-INCH CONDUIT AND FITTINGS FOR COMMUNICATION WIRE
 - 6 COMMUNICATION WIRE - SEE SPECIFICATIONS
 - 7 2-INCH CONDUIT AND FITTINGS FOR CONTROL WIRES
 - 8 CONTROL WIRES
- NOTES:
1. PROVIDE PROPER GROUNDING COMPONENTS TO ACHIEVE GROUND RESISTANCE OF 10 OHMS OR LESS.

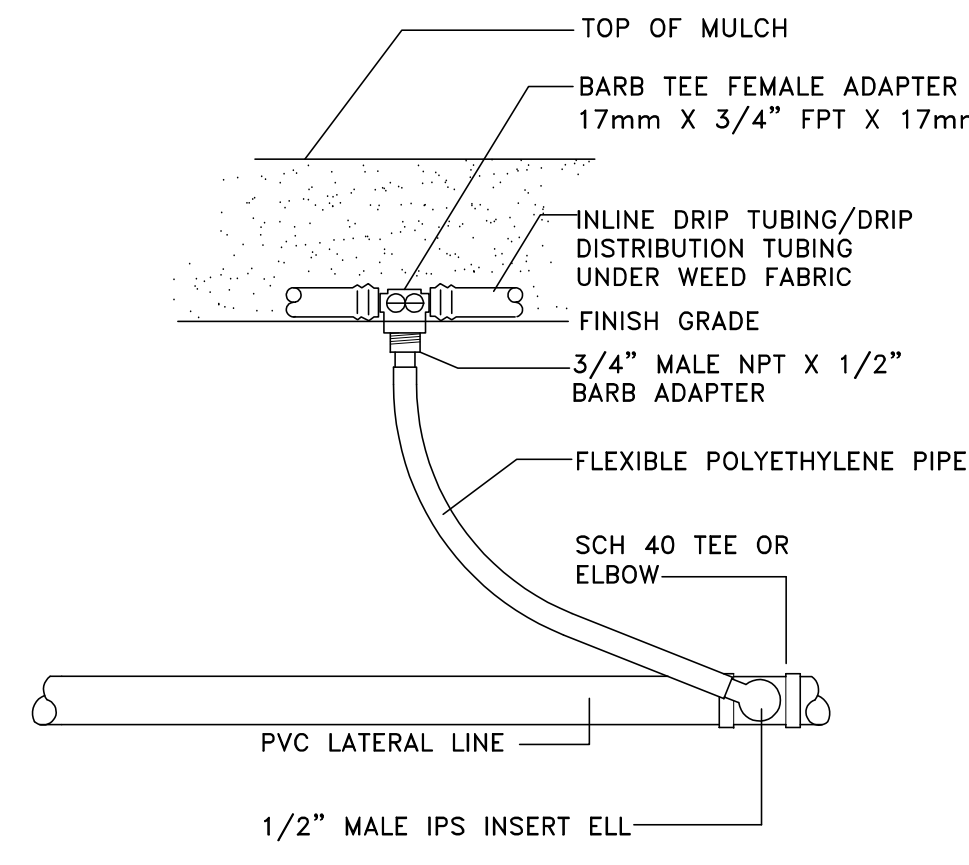


D Single Drip Valve Assembly - Plan
NO SCALE

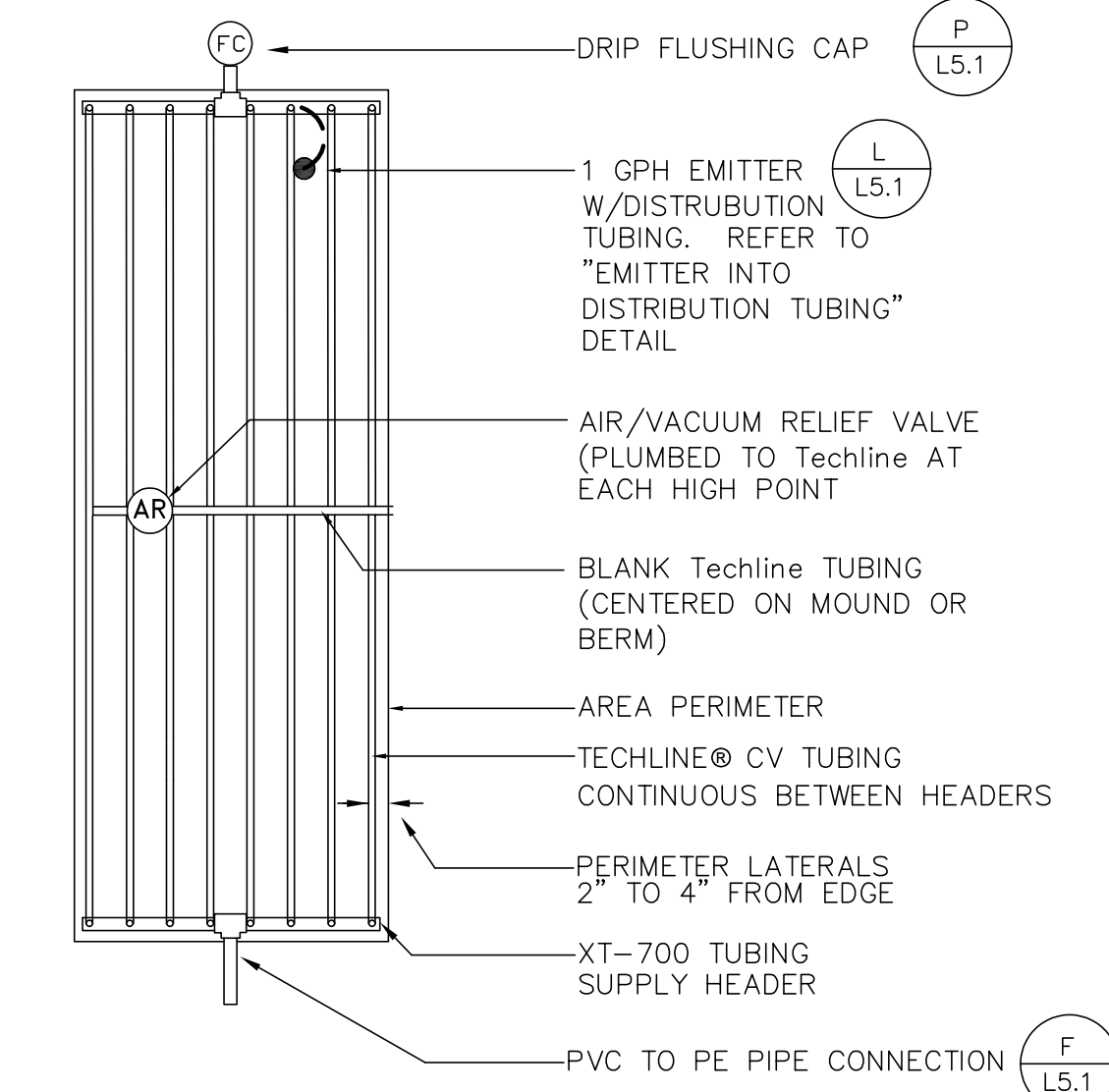


E Drip Valve Assembly
NO SCALE

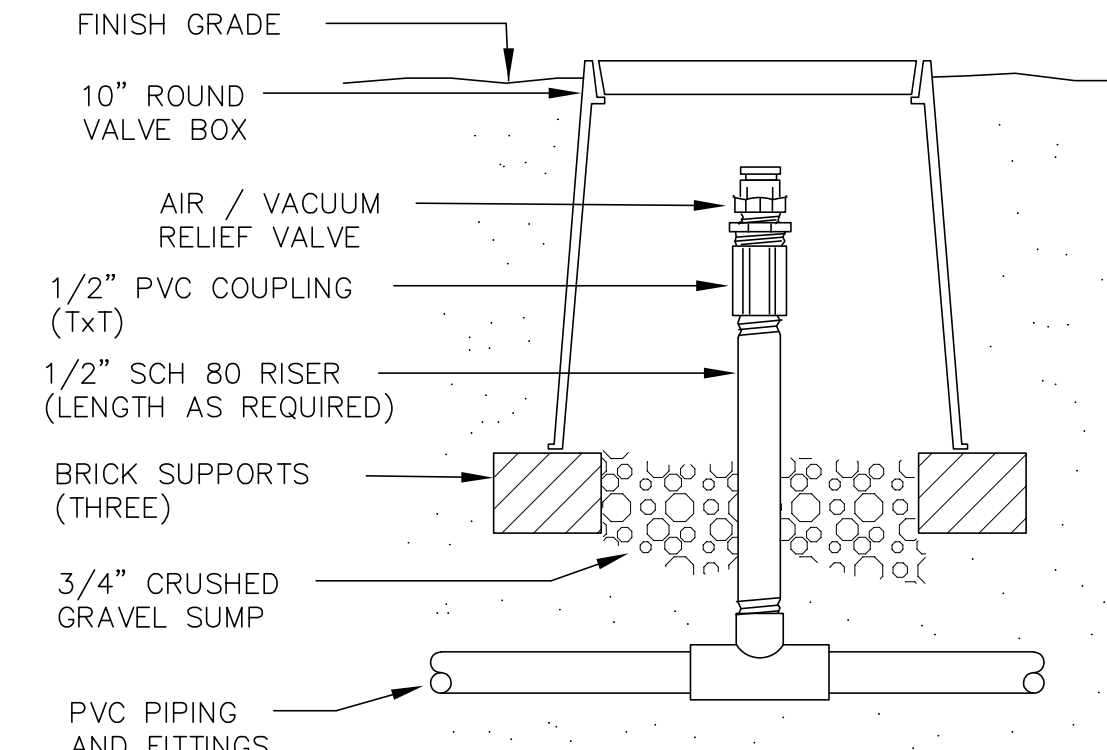
NOTE:
1. LIMIT ONE VALVE PER BOX.
2. CENTER ASSEMBLY INSIDE OF VALVE BOX.



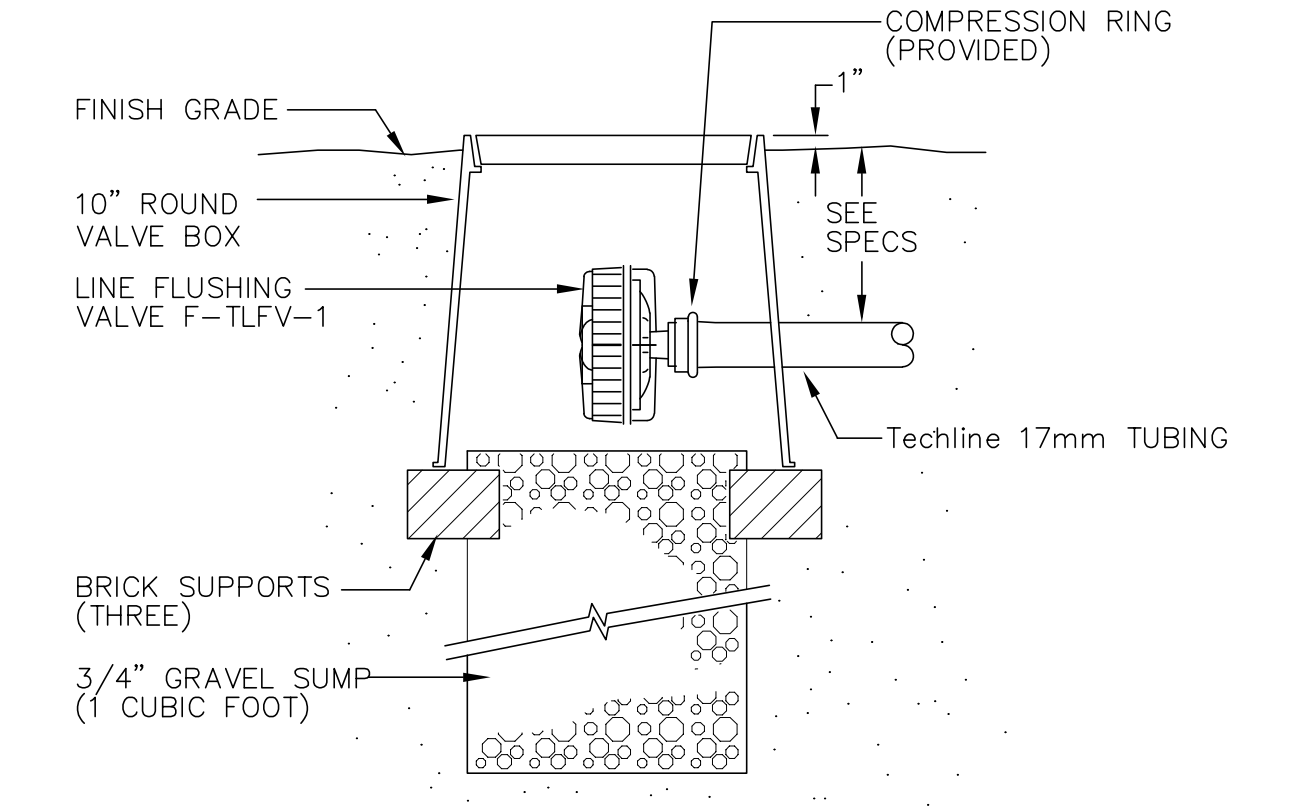
F PVC to PE Pipe Connection
NO SCALE



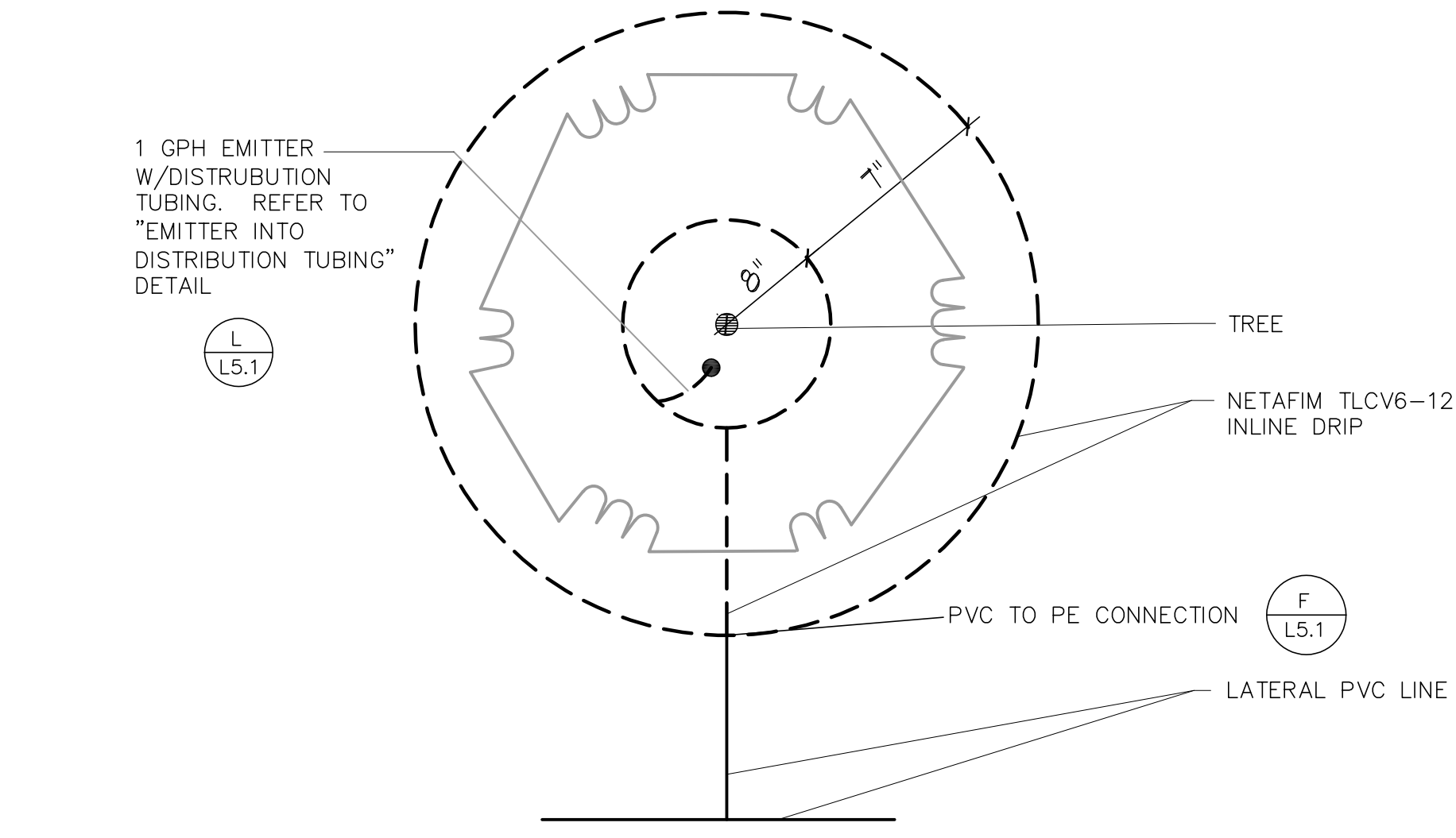
G Inline Drip Layout for Small Areas
NO SCALE



H Techline Air/Vacuum Relief
Not to Scale

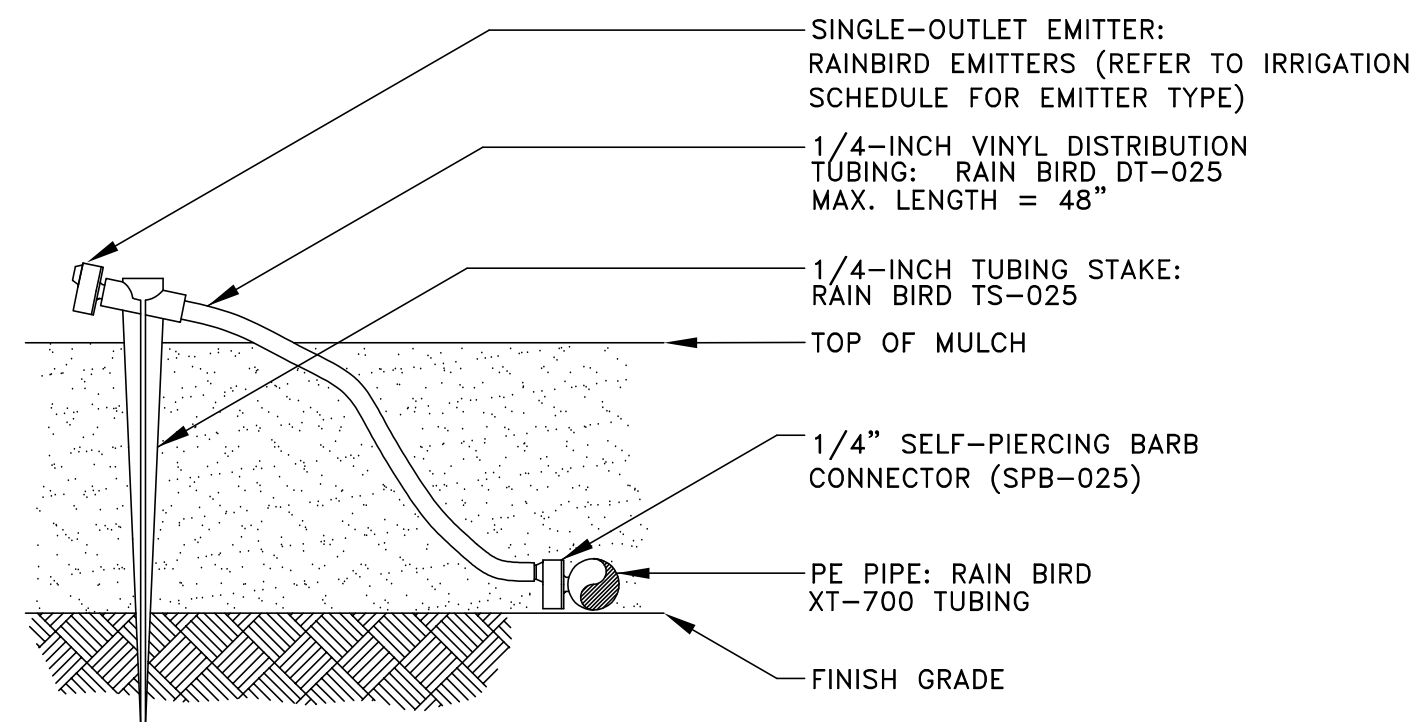


J Techline Line Flushing Valve
Not to Scale



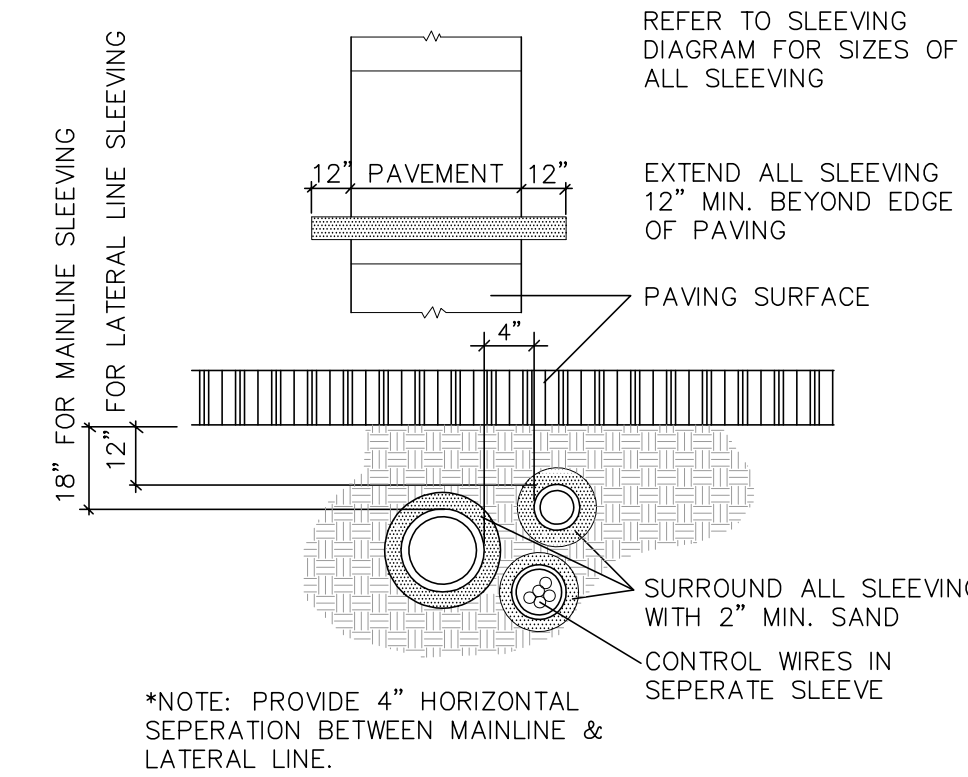
K Tree Drip (New Tree) Plan View
NO SCALE

NOTE:
1. SET NETAFIM DRIP LINE ON TOP OF FINISH GRADE. STAPLE TO GROUND AND COVER WITH WEED BARRIER AND MULCH.
2. LOCATE INDICATOR EMITTER ON OUTSIDE OF OUTER DRIP RING ON EVERGREEN TREES ONLY.



L Emitter into Distribution Tubing (Tree Drip)
NO SCALE

NOTE:
1. USE RAIN BIRD BUG GUN MODEL EMA-BG TO INSERT EMITTER DIRECTLY INTO XERI-TUBE TUBING.
2. INSTALL PE PIPE UNDER WEED BARRIER.
3. INSTALL PC DIFFUSER CAP WITH PC EMITTERS.

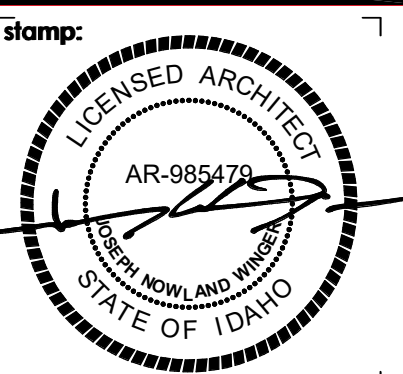


M Typical Sleeving Detail
NO SCALE

NOTE: PROVIDE 4" HORIZONTAL SEPARATION BETWEEN MAINLINE & LATERAL LINE.

revision:	description	date
1		

date: 02.14.2022
project number: 216572
project status: Permit & Bid Set
original drawing is 30" x 42"
current as of 2/26/2022 6:04:40 PM
The manufacturer and component manufacturers are considered to be the architects instrument of service and are the property of Babcock Design. They are provided for informational purposes only and are not to be used for any other project without the express written consent of Babcock Design. Copyright © 2019 BABCOCK DESIGN





**MUSGROVE
ENGINEERING, P.A.**

Bill A. Carter, P.E. – Principal
Todd D. Nelson, P.E. – Principal
Kurt E. Lechtenberg, P.E. – Principal
Jason A. Rice, P.E. – Principal
Thad S. Mason, P.E. – Principal
Matthew N. Bradley, P.E. – Principal

July 27, 2022

Bluebird Village – GMD Development LLC

City Review Comments:

The following Narrative for the Snow Melt System and requirements:

Snow Melt System:

- Please provide a narrative response explaining how snowmelt system complies with these snowmelt requirements for commercial project:*
 - All sidewalks and alley way will have snow melt per cities requirements.
- Snowmelt systems installed in the public right-of-way shall be installed and operate at all times during the winter according to the following:*
 - A snow melt controller is installed along with outside air temperature sensors and snow/ice sensors for each zone.
- The system shall meet the requirements of the International Energy Conservation Code (2018 IECC, 403.12.2)*
 - The snow melt system meets the required code.
 - See Sequence of Operation below:

GENERAL:

The Snowmelt System shall consist of snow / ice melt sensors, slab sensors, lead/lag heating water pumps, two control valve at each snow melt manifold, natural gas boiler and snow melt radiant in-slab pipe.

OPERATION:

The Snowmelt System shall be enabled to idle mode whenever the outside air temperature is 40°F (adjustable) or lower and no moisture is detected. In idle mode, the heating water pump and boiler system shall be enabled. The Snowmelt System shall maintain a slab temperature of 40°F (adjustable) in idle mode. The boiler system shall maintain supply temperature of 90°F (adjustable) in idle mode.

When the outside air temperature is above 40°F (adjustable) the Snowmelt System shall stop the heating pumps and boiler system.

When the Snowmelt System detects moisture, and the outside air temperature is below 40°F (adjustable) the Snowmelt System shall start in melting mode. In melting mode, the heating water pump and boiler system shall be enabled. The Snowmelt System shall maintain a slab temperature of 38°F (adjustable) until the moisture sensor does not detect moisture. The boiler system shall maintain a supply temperature of 130°F (adjustable) in melting mode. The Snowmelt System shall return to idle mode when the moisture sensor is not sensing moisture.

If lead heater water pump fails, the lag heater water pump shall start. An alarm shall be sent to the operator's workstation on failure of pump to start.

- The system shall have an electronic main control board to operate the system that is programmable and optimizes the way the system functions.*
 - A snow melt controller is installed along with outside air temperature sensors and snow/ice sensors for each zone.
- Installation of in-ground control sensors linked to the main control board that detect snow and ice on the surface, monitor the sidewalk or driveway temperature, and automatically activates the system to be turned on or off based on the snow condition and air temperature.*
 - A snow melt controller is installed along with outside air temperature sensors and snow/ice sensors for each zone.
- See attached sheets for more information.

BOISE OFFICE:

234 S. Whisperwood Way
Boise, Idaho 83709
208-384-0585

IDAHO FALLS OFFICE:

645 W. 25TH Street
Idaho Falls, Idaho 83402
208-523-2862



MUSGROVE
ENGINEERING, P.A.
234 S. Whisperwood Way
Boise, Idaho 83709
208.384.0585
www.musgrovepa.com
OVER 40 YEARS OF EXCELLENCE
Project No. 21-449



Babcock Design

Boise
800 W MAIN STREET
SUITE 940
BOISE, ID 83702
208.424.7675

Salt Lake City
52 Exchange Place
Salt Lake City, UT 84111
801.531.1144

babcockdesign.com

KEYED NOTES:

- ① SYMBOL USED FOR CALLOUT
- 1. MANIFOLD LOCATION.

Revisions:

num.	description	date
4	City 3rd Rnd Comments	7.12.22

date: 02.14.2022

project number: 216572

project status: PERMIT SET

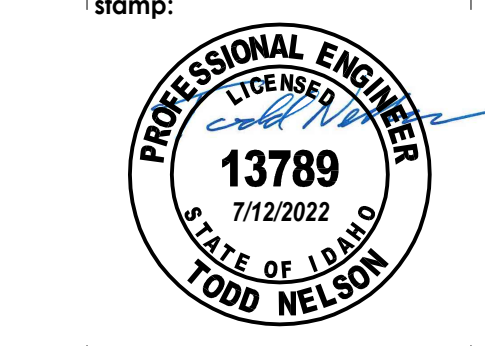
original drawing is 30" x 42"

current as of: 7/12/2022 2:32:15 PM

The information and content represented herein is considered to be the property of Babcock Design, Inc. and is not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written consent of Babcock Design, Inc. This information is provided for the project and is not to be used for any other purpose or project without the prior written consent of Babcock Design, Inc. The information is provided for the project and is not to be used for any other purpose or project without the prior written consent of Babcock Design, Inc. The information is provided for the project and is not to be used for any other purpose or project without the prior written consent of Babcock Design, Inc.

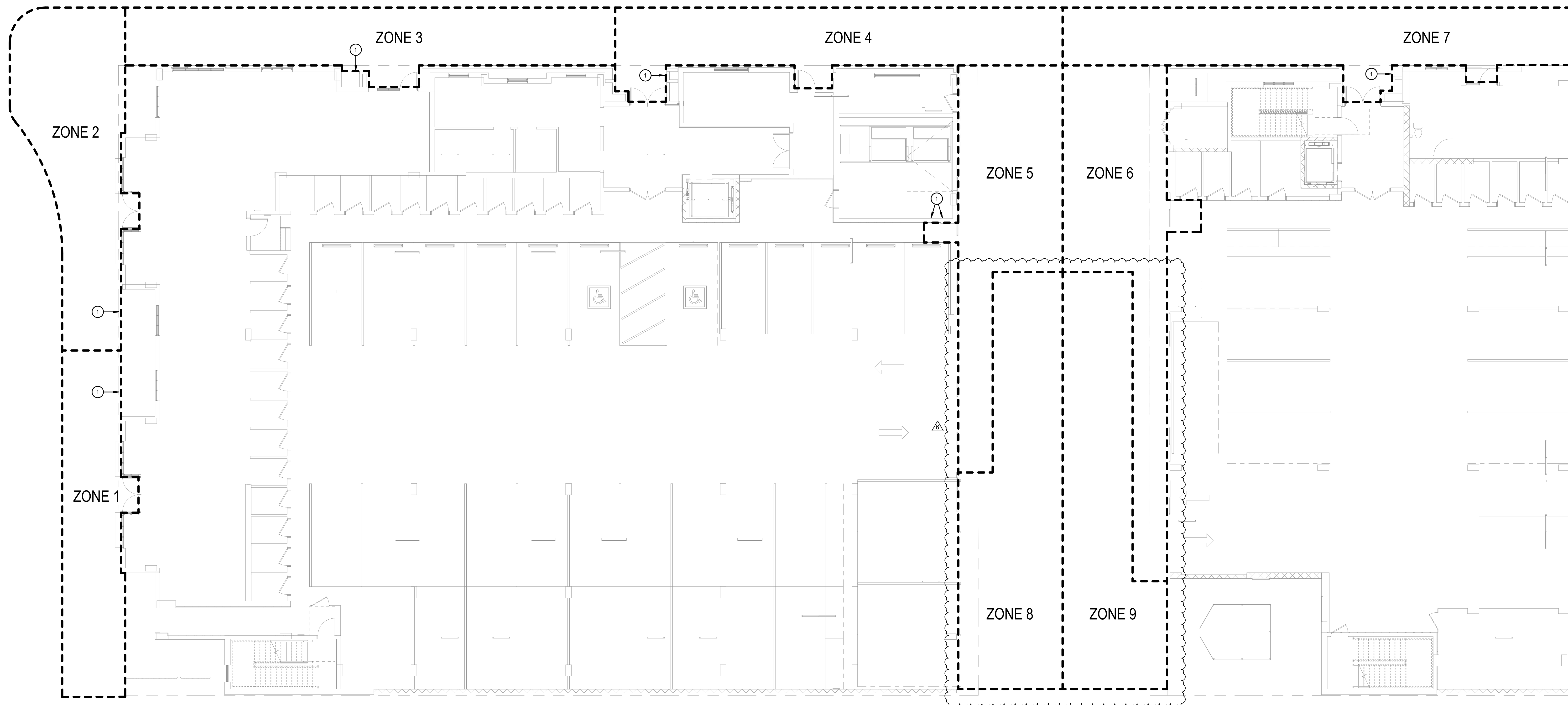
COMPILED © 2019 BABCOCK DESIGN

stamp:



project information:

BLUEBIRD VILLAGE
for
GMD DEVELOPMENT LLC
480 N. EAST AVE. KETCHUM, ID 83340



1 SNOW MELT ZONE PLAN
1/8" = 1'-0"

sheet number:

M301

SNOW MELT FLOOR PLAN

CONDENSING HOT WATER BOILER SCHEDULE											
SYMBOL	AREA SERVED	THERMAL EFFICIENCY	FUEL	EWT (°F)	LWT (°F)	BOILER FLOW (GPM)	MAX P.D. (FT HD)	CAPACITY		MANUFACTURER AND MODEL	REMARKS
								INPUT MBH	OUTPUT MBH		
B-101	SNOW MELT SYSTEM	95%	NAT. GAS	110	130	69.0	5.3	705	613	LOCKINVAR MODEL FTXL-725	1, 2, 3
B-102	SNOW MELT SYSTEM	95%	NAT. GAS	110	130	69.0	5.3	705	613	LOCKINVAR MODEL FTXL-725	1, 2, 3

- REMARKS:
- APPROVED ALTERNATE MANUFACTURERS: SUBMIT FOR APPROVAL.
 - PROVIDE BOILER VENTING KIT, NEUTRALIZING KIT, COMBUSTION AIR INTAKE KIT, SEISMIC VIBRATION ISOLATORS, LOW WATER CUT-OFF, FLOW SWITCH, MODULATING GAS BURNER, CONDENSATE TRAP, 316L STAINLESS STEEL COMBUSTION CHAMBER, EXHAUST PIPE, CSD-1 AND OSA RESET.
 - BOILER SHALL BE PROVIDED W/FACTORY START-UP. START-UP IS NOT COMPLETE UNTIL ALL BURNERS AND BLOWER ARE CALIBRATED FOR PEAK PERFORMANCE AND AT COMPLETION OF PROJECT ALL BURNERS, BLOWERS, HEAT EXCHANGERS, AND OTHER INTERNAL PARTS SHALL BE THOROUGHLY CLEANED OF CONSTRUCTION DEBRIS.

BOILER PUMP SCHEDULE													
SYMBOL	AREA SERVED	TYPE	CAPACITY			MOTOR			SUCTION DIFFUSER	TRIPLE DUTY VALVE	OPERATING WEIGHT (LBS)	MANUFACTURER AND MODEL	REMARKS
			FLOW (GPM)	HEAD (FT)	MIN EFF	AMPS	RPM	V/Ø					
BP-101	SNOW MELT SYSTEM	INLINE	69.0	30	---	2.5	---	115/1	N/A	N/A	50	GRUNDFOS MAGNA3 40-80	1, 2
BP-102	SNOW MELT SYSTEM	INLINE	69.0	30	---	2.5	---	115/1	N/A	N/A	50	GRUNDFOS MAGNA3 40-80	1, 2

- REMARKS:
- APPROVED ALTERNATE MANUFACTURERS: ARMSTRONG, B & G, TACO, WILO, PACO, PEERLESS, PATTERSON.
 - CONTROL PUMP THROUGH CONDENSING BOILER.

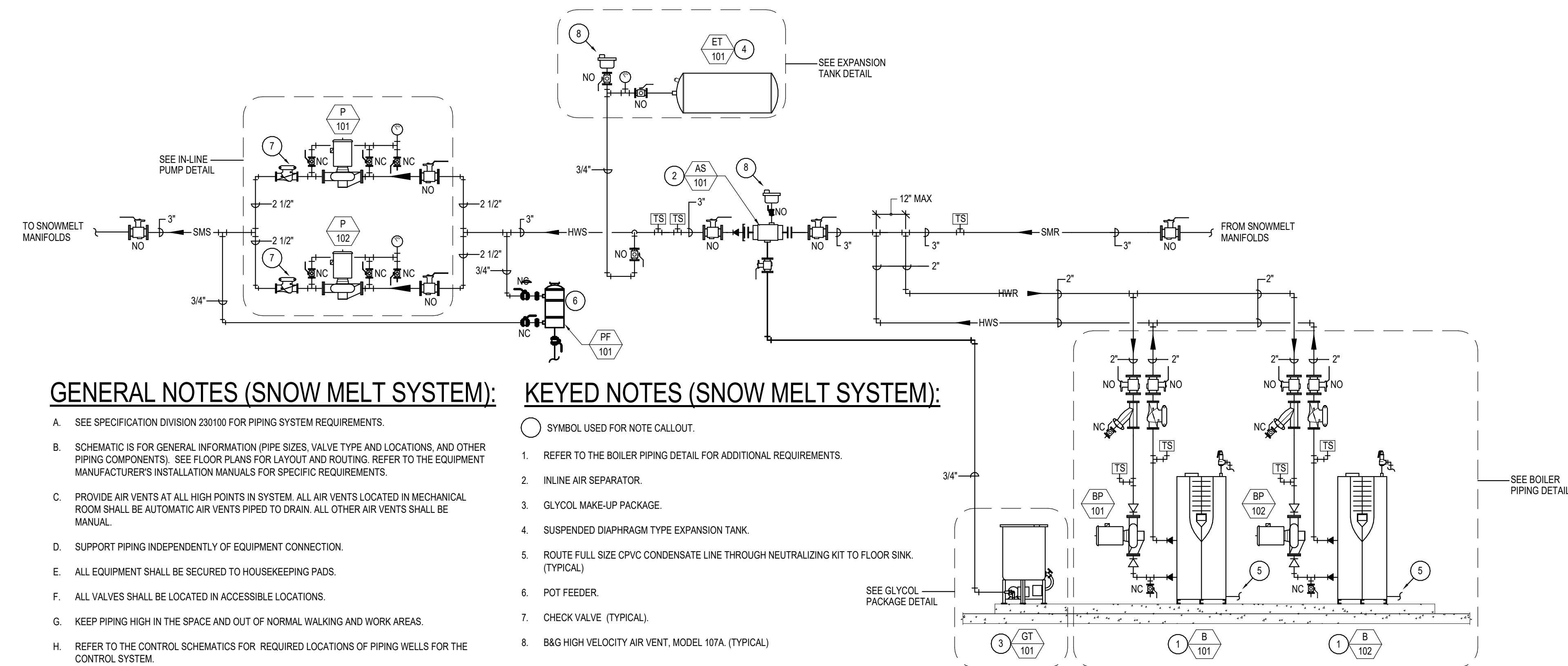
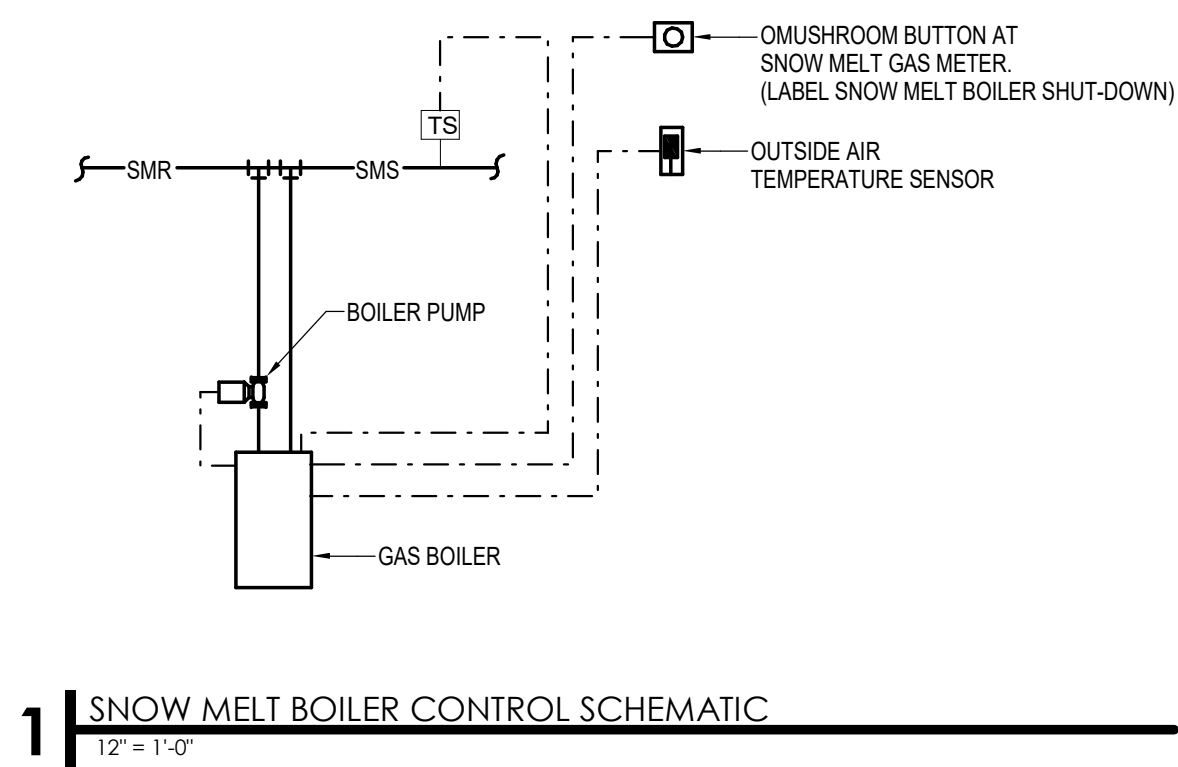
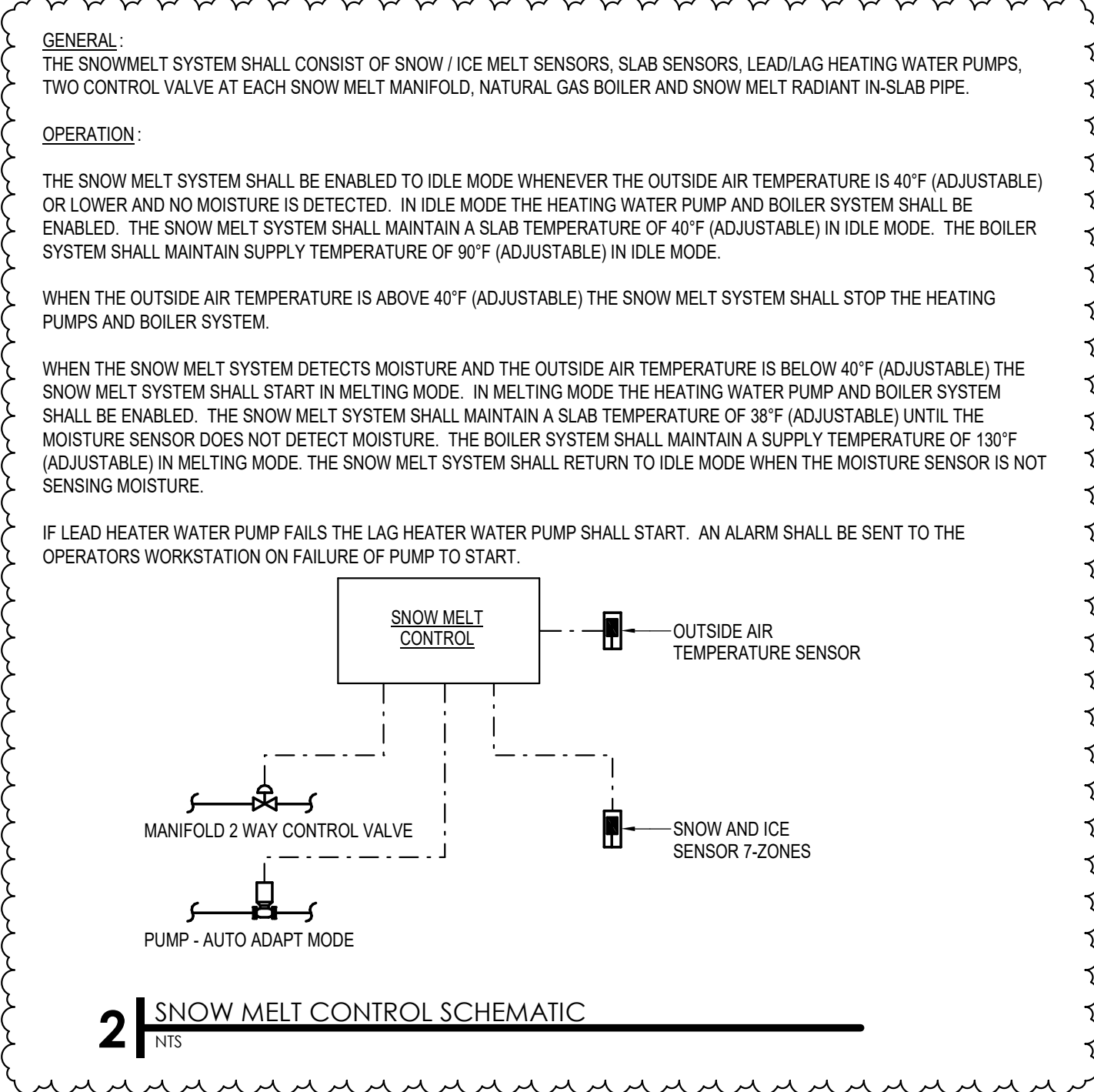
PUMP SCHEDULE													
SYMBOL	AREA SERVED	TYPE	CAPACITY			MOTOR			SUCTION DIFFUSER	TRIPLE DUTY VALVE	OPERATING WEIGHT (LBS)	MANUFACTURER AND MODEL	REMARKS
			FLOW (GPM)	HEAD (FT)	MIN EFF	HP	RPM	V/Ø					
P-101	SNOW MELT SECONDARY LOOP	INLINE	50	35	---	3/4	---	208/1	N/A	N/A	30	BELL AND GOSSET ECOCIRC XL MODEL 65-130	1, 2, 3, 4, 5
P-102	SNOW MELT SECONDARY LOOP	INLINE	50	35	---	3/4	---	208/1	N/A	N/A	30	BELL AND GOSSET ECOCIRC XL MODEL 65-130	1, 2, 3, 4, 5

- REMARKS:
- APPROVED ALTERNATE MANUFACTURERS: ARMSTRONG, GRUNDFOS, TACO, WILO, PACO, PEERLESS, PATTERSON.
 - PROVIDE UNIT WITH PREMIUM EFFICIENCY MOTOR WITH INTEGRAL VFD.
 - PUMP SEALS SHALL BE COMPATIBLE WITH PROPYLENE GLYCOL.
 - NOTE CONTROL BASED PRESSURE. DIFFERENTIAL (VARIABLE FLOW). PUMPS TO OPERATE IN PARALLEL. BOTH PUMPS SHALL START ON CALL FOR HEATING.
 - SUPPORT PUMP FROM STRUCTURE.

SNOW MELT MANIFOLD SCHEDULE												
ZONE #	AREA (ft ²)	INSULATION Rv (°F x ft ² x hr/Btu)	HEAT LOAD (Btu/hr-ft ²)	# OF LOOPS	TUBE TYPE & SIZE	TUBE SPACING (in)	SUPPLY WATER (°F)	DESIGN TEMP. DROP (°F)	SURFACE TEMP (°F)	FLOW RATE (GPM)	HEAD LOSS (PSI)	REMARKS
SNOWMELT ZONE 1	495	10.0	130	4	hdPEX 3/4"	9" O.C.	130	25	35	6.5	3.5	1, 2, 3, 4, 5
SNOWMELT ZONE 2	765	10.0	130	6	hdPEX 3/4"	9" O.C.	130	25	35	10.1	3.8	1, 2, 3, 4, 5
SNOWMELT ZONE 3	775	10.0	130	6	hdPEX 3/4"	9" O.C.	130	25	35	10.2	3.9	1, 2, 3, 4, 5
SNOWMELT ZONE 4	735	10.0	130	6	hdPEX 3/4"	9" O.C.	130	25	35	9.7	3.4	1, 2, 3, 4, 5
SNOWMELT ZONE 5	790	10.0	130	6	hdPEX 3/4"	9" O.C.	130	25	35	10.4	4.1	1, 2, 3, 4, 5
SNOWMELT ZONE 6	920	10.0	130	7	hdPEX 3/4"	9" O.C.	130	25	35	12.1	4.1	1, 2, 3, 4, 5
SNOWMELT ZONE 7	810	10.0	130	7	hdPEX 3/4"	9" O.C.	130	25	35	10.7	2.9	1, 2, 3, 4, 5
SNOWMELT ZONE 8	1,160	10.0	130	9	hdPEX 3/4"	9" O.C.	130	25	35	15.3	3.9	1, 2, 3, 4, 5
SNOWMELT ZONE 9	1,050	10.0	130	8	hdPEX 3/4"	9" O.C.	130	25	35	13.8	4.1	1, 2, 3, 4, 5

- REMARKS:
- SNOW MELT CIRCUITS TO BE EQUAL LENGTHS OFF EACH MANIFOLD WITH A 300 FT MAXIMUM TUBE LENGTH. PROVIDE A BALL VALVE FOR EACH OF THE LOOPS. RADIANT FLOOR MANIFOLD DESIGN BASED ON UPONOR STAINLESS STEEL MANIFOLD WITH ISOLATION VALVES AND VISUAL FLOW GAUGES. ALTERNATES SHALL BE EQUAL IN QUALITY AND PERFORMANCE.
 - PANEL TUBING TO BE WITHIN 4" OF PERIMETER.
 - PROVIDE A 35% PROPYLENE GLYCOL 65% WATER SOLUTION.
 - TUBING TO BE RATED FOR 180°F AT 100 PSI SERVICE.
 - TUBING FOR SNOW MELT SYSTEM MUST BE LAID OUT IN A COUNTER FLOW PATTERN. SEE DETAIL ON SHEET MA.3.

MECHANICAL SPECIALTY EQUIPMENT SCHEDULE				
SYMBOL	EQUIPMENT DESCRIPTION	SYSTEM SERVED	DESCRIPTION	MANUFACTURER AND MODEL
AS-101	INLINE AIR SEDIMENT SEPARATOR	HYDRONIC SYSTEM	DESIGN FLOW IS 75 GPM WITH A DESIGN PD OF 1.0 FT-H ₂ O	B & G MODEL 3" ALTERNATE APPROVED MANUFACTURERS: TACO, ARMSTRONG, AND PACO
ET-101	EXPANSION TANK (HORIZONTAL DIAPHRAGM TYPE)	HYDRONIC SYSTEM	21.7 GAL. CAPACITY, 11.3 ACCEPTANCE GAL., BALLADDER TYPE EXPANSION TANK. (PRE-CHARGED TO 12 PSI)	BELL AND GOSSET HORIZONTAL D-40 ALTERNATE APPROVED MANUFACTURERS: TACO, ARMSTRONG, AND PACO
GT-101	SINGLE PUMP GLYCOL FEEDER	HYDRONIC SYSTEM	PROVIDE WITH LOW LEVEL CUT-OFF AND ALARM ARRANGEMENT INCLUDING A 110V SIGNAL FOR REMOTE ALARM. ISOLATION VALVES, STRAINER, PRESSURE TANK WITH PRESSURE CONTROL, PRESSURE REDUCING VALVE AND GAUGE, 55 GAL. TRANSLUCENT POLYETHYLENE SOLUTION CONTAINER WITH LID TO ACCOMMODATE RELIEF VALVE PIPING (110V, 60 HZ MOTOR AND CONTROLS WITH PLUG AND CORD). PRESET SYSTEM TO 12 PSI. SOLUTION SHALL BE 40% DOWFROST PROPYLENE GLYCOL WITH INHIBITOR AND 60% WATER.	AXIOM MODEL SF100 ALTERNATE APPROVED MANUFACTURERS: WESSELS
PF-101	POT FEEDER	HYDRONIC SYSTEM	5 GALLON POT FEEDER MOUNTED ON WALL 36" A.F.F.	JL WINGERT ALTERNATE APPROVED MANUFACTURERS: SUBMIT FOR APPROVAL

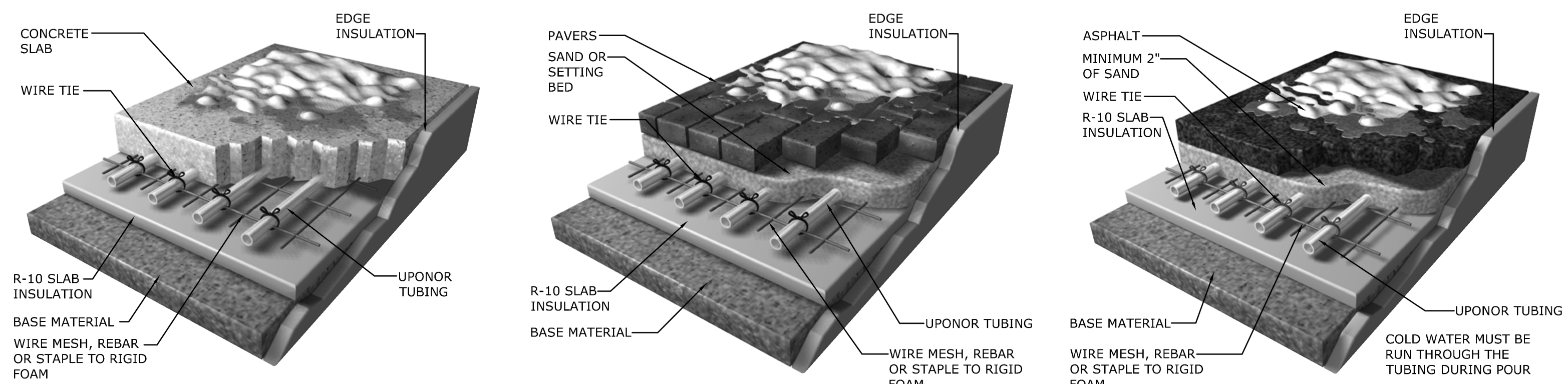


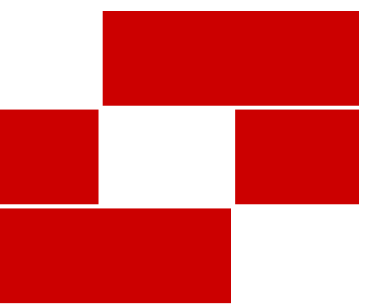
GENERAL NOTES (SNOW MELT SYSTEM):

- SEE SPECIFICATION DIVISION 230100 FOR PIPING SYSTEM REQUIREMENTS.
- SCHEMATIC IS FOR GENERAL INFORMATION (PIPE SIZES, VALVE TYPE AND LOCATIONS, AND OTHER PIPING COMPONENTS). SEE FLOOR PLANS FOR LAYOUT AND ROUTING. REFER TO THE EQUIPMENT MANUFACTURER'S INSTALLATION MANUALS FOR SPECIFIC REQUIREMENTS.
- PROVIDE AIR VENTS AT ALL HIGH POINTS IN SYSTEM. ALL AIR VENTS LOCATED IN MECHANICAL ROOM SHALL BE AUTOMATIC AIR VENTS PIPED TO DRAIN. ALL OTHER AIR VENTS SHALL BE MANUAL.
- SUPPORT PIPING INDEPENDENTLY OF EQUIPMENT CONNECTION.
- ALL EQUIPMENT SHALL BE SECURED TO HOUSEKEEPING PADS.
- ALL VALVES SHALL BE LOCATED IN ACCESSIBLE LOCATIONS.
- KEEP PIPING HIGH IN THE SPACE AND OUT OF NORMAL WALKING AND WORK AREAS.
- REFER TO THE CONTROL SCHEMATICS FOR REQUIRED LOCATIONS OF PIPING WELLS FOR THE CONTROL SYSTEM.

KEYED NOTES (SNOW MELT SYSTEM):

- REFER TO THE BOILER PIPING DETAIL FOR ADDITIONAL REQUIREMENTS.
- INLINE AIR SEPARATOR.
- GLYCOL MAKE-UP PACKAGE.
- SUSPENDED DIAPHRAGM TYPE EXPANSION TANK.
- ROUTE FULL SIZE CPVC CONDENSATE LINE THROUGH NEUTRALIZING KIT TO FLOOR SINK. (TYPICAL).
- POT FEEDER.
- CHECK VALVE (TYPICAL).
- B&G HIGH VELOCITY AIR VENT, MODEL 107A. (TYPICAL)





Babcock Design

Boise
800 W MAIN STREET
SUITE 940
BOISE, ID 83702
208.424.7675
Salt Lake City
52 Exchange Place
Salt Lake City, UT 84111
801.531.1144

babcockdesign.com



sheet information:

num.	description	date
4	City 2nd Rnd Comments	04.14.22
5	City 3rd Rnd Comments	7.12.22

date: 02.14.2022

project number: 216572

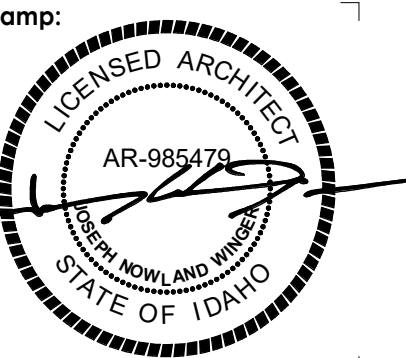
project status: Permit Set

original drawing is 36" x 42"

current as of: 7/27/2022 3:45:08 PM

The information and content herein are intended to be used by the architect, engineer, contractor, government agencies, vendors, and other professionals in accordance with the contract documents. They are not intended for use by any other party. The user of this information is responsible for obtaining all necessary permits and approvals. The user of this information is responsible for obtaining all necessary permits and approvals. The user of this information is responsible for obtaining all necessary permits and approvals.

stamp:



project information:

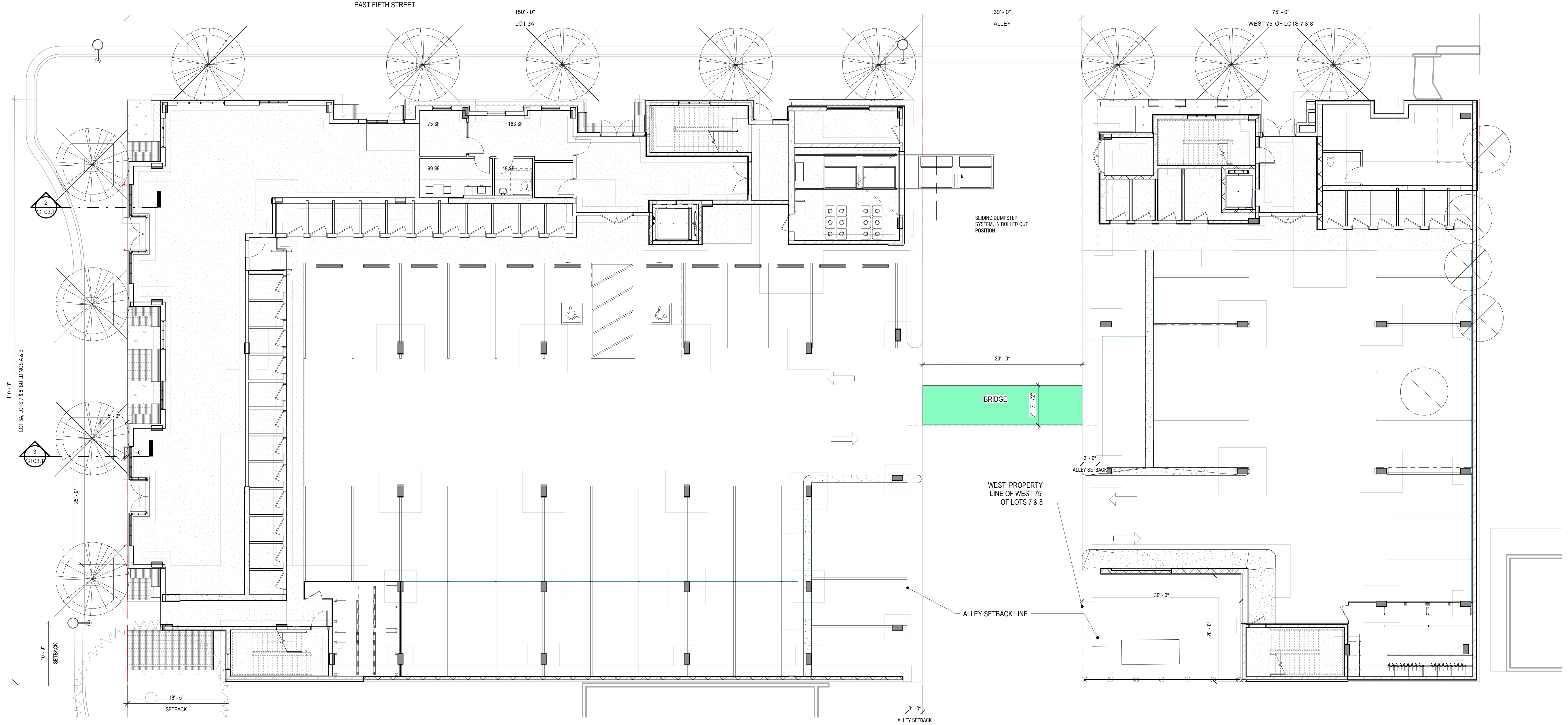
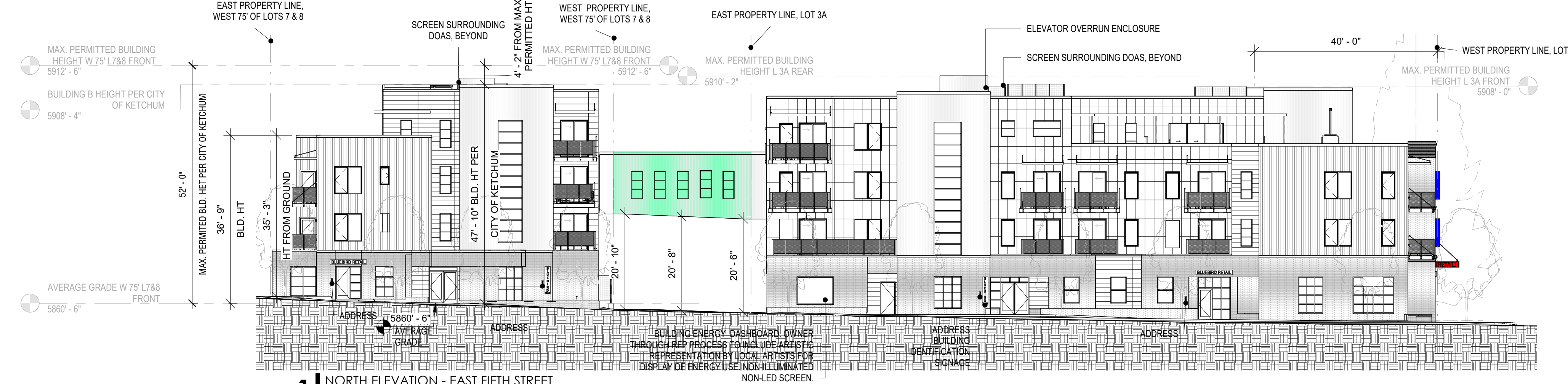
BLUEBIRD VILLAGE
for
GMD DEVELOPMENT LLC
480 N. EAST AVE. KETCHUM, ID 83340

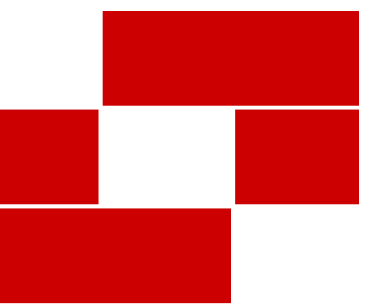
RIGHT OF WAY ENCROACHMENT ELEVATIONS AND SECTIONS

sheet title:

sheet number:

G103.0





Babcock Design

Boise
800 W MAIN STREET
SUITE 940
BOISE, ID 83702
208.424.7675

Salt Lake City
52 Exchange Place
Salt Lake City, UT 84111
801.531.1144

babcockdesign.com



Michael City Architects
111 West Valley
Boise, ID 83702
208.333.1111
www.mca-ut.com

sheet information:

num.	description	date
5	City 3rd Rnd Comments	7.12.22

date: 02.14.2022

project number: 216572

project status: Permit Set

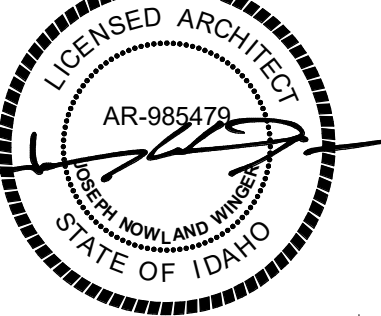
original drawing is 30" x 42"

current as of: 7/27/2022 3:45:14 PM

The information and content herein are intended to be used by the architect's instruments of service and are the property of Babcock Design. They are provided to the client for their use only and are not to be used for any other purpose without the written consent of Babcock Design. They are intended for use by the client, contractor, government agencies, vendors, and other project participants. They are not to be used for any other purpose without the written consent of Babcock Design. They are not to be used for any other purpose without the written consent of Babcock Design. They are not to be used for any other purpose without the written consent of Babcock Design.

Copyright © 2023 BABCOCK DESIGN

stamp:



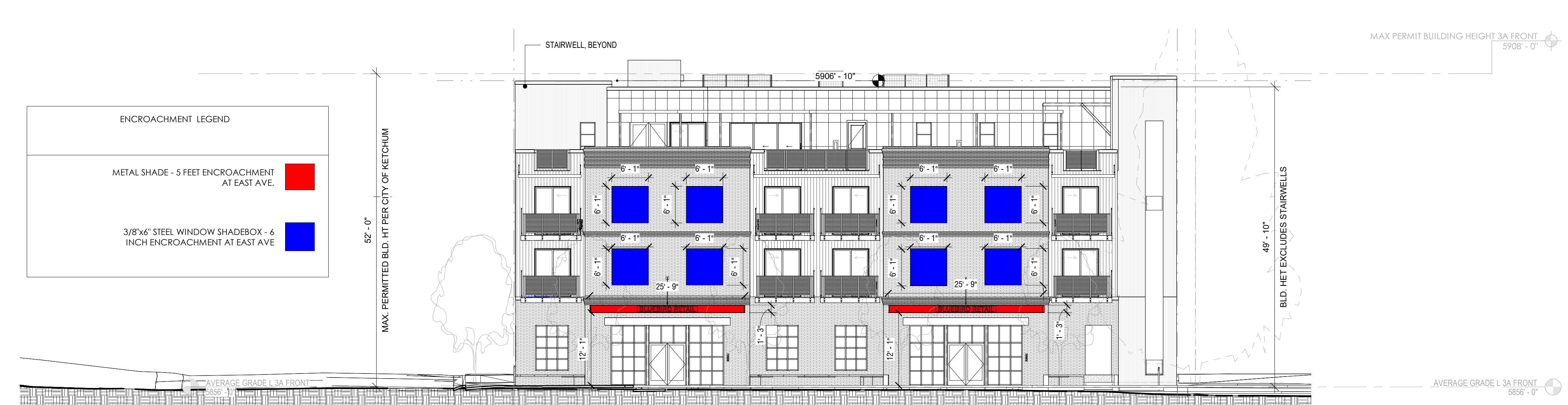
project information:

BLUEBIRD VILLAGE
for:
GMD DEVELOPMENT LLC
480 N. EAST AVE. KETCHUM, ID
83340

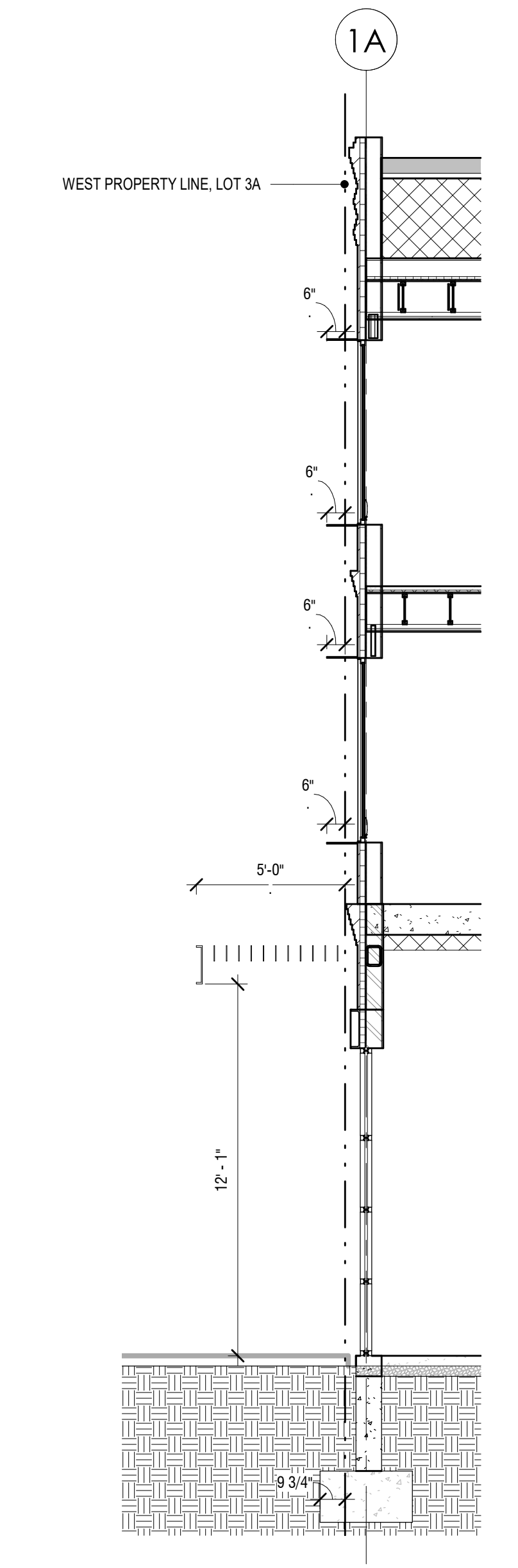
RIGHT OF WAY ENCROACHMENT ELEVATIONS AND SECTIONS

sheet number:

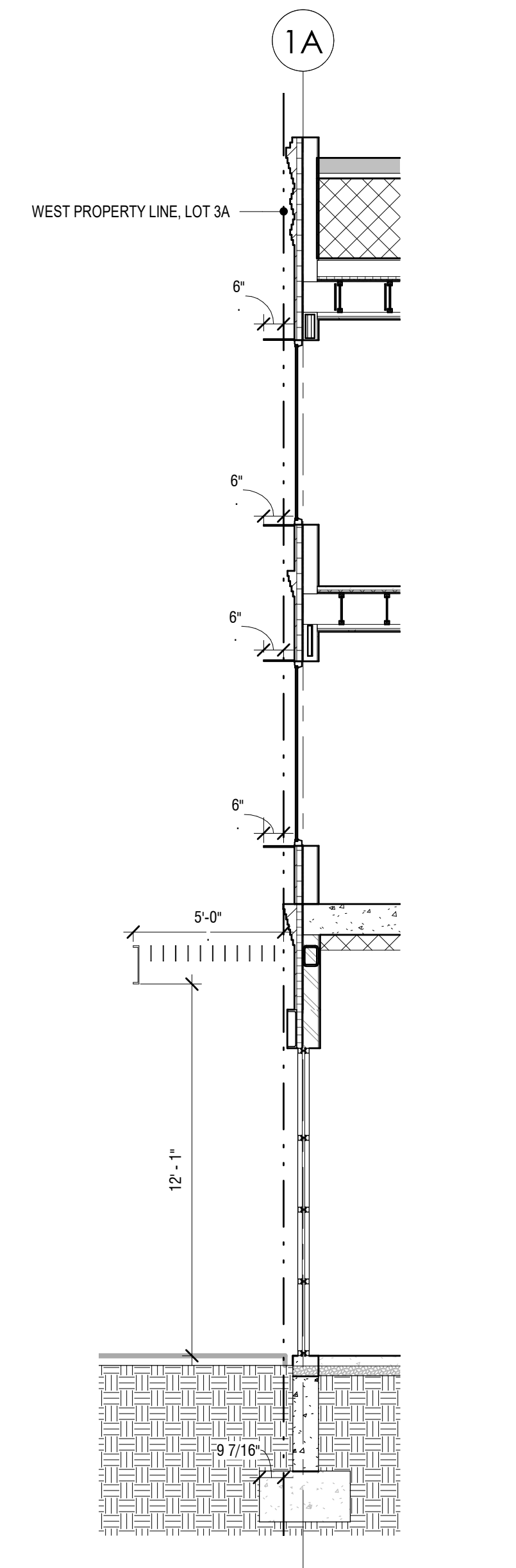
G103.1



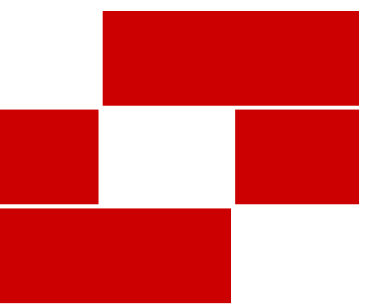
1 WEST ELEVATION - NORTH EAST AVENUE
3/32" = 1'-0"



2 ENCROACHMENT SECTION
1/4" = 1'-0"



3 ENCROACHMENT SECTION
1/4" = 1'-0"



Babcock Design

Boise
800 W MAIN STREET
SUITE 940
BOISE, ID 83702
208.424.7675

Salt Lake City
52 Exchange Place
Salt Lake City, UT 84111
801.531.1144

babcockdesign.com



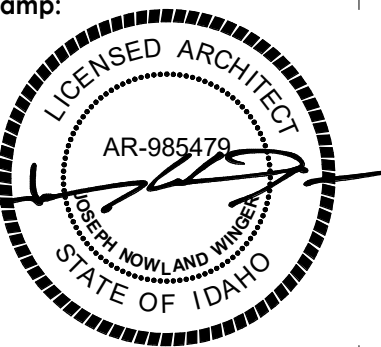
Michael Chay
Professional Engineer
No. 10000
No. 10000
No. 10000

sheet information:

num.	description	date
5	City 3rd Rnd Comments	7.12.22

date: 02.14.2022
 project number: 216572
 project status: Permit Set
 original drawing is 36" x 48"
 current as of: 7/27/2022 3:45:18 PM

The information and content herein are intended to be used by the architect, engineer, contractor, government agencies, vendors, and other professionals in accordance with this contract. They are not to be used for any other project or purpose without the written consent of Babcock Design. All rights reserved. © 2023 BABCOCK DESIGN



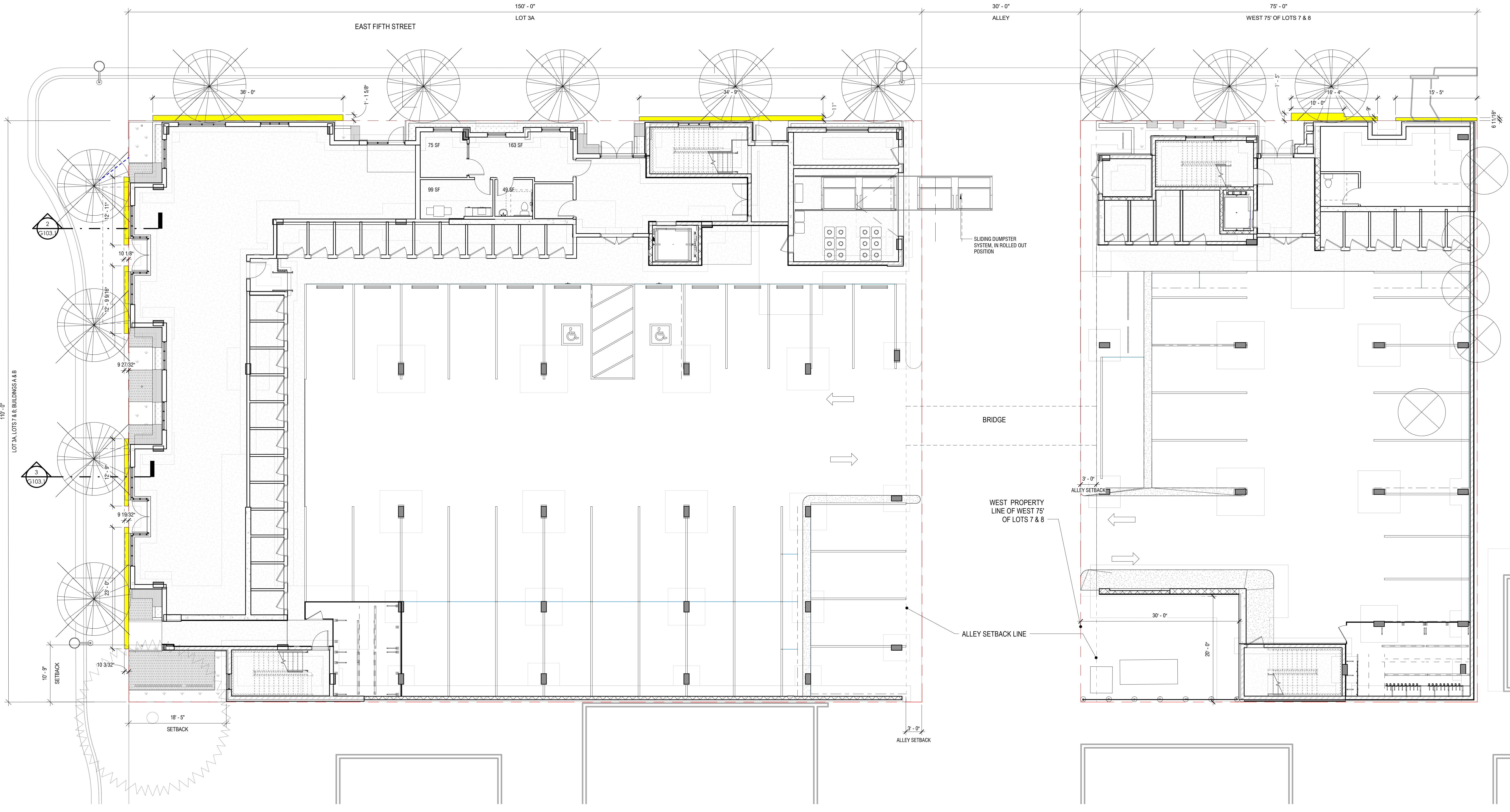
project information:

BLUEBIRD VILLAGE
 for:
GMD DEVELOPMENT LLC
 480 N. EAST AVE. KETCHUM, ID 83340

RIGHT OF WAY ENCROUCHMENT PLAN - FOOTING AND FOUNDATION

ENCROACHMENT LEGEND

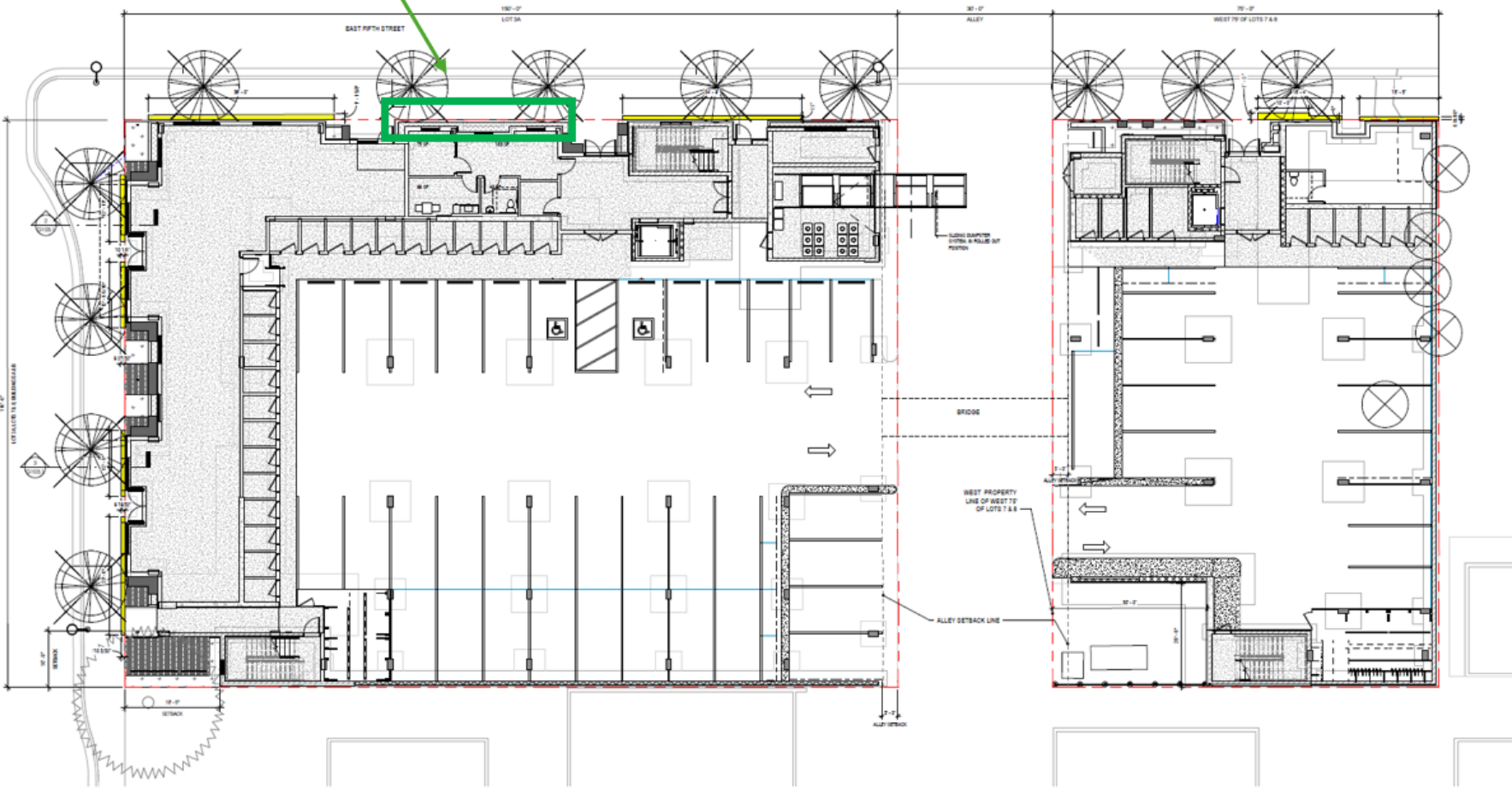
FOOTING FOUNDATION ENCROACHMENT	
---------------------------------	--



2 | FIRST FLOOR ENCROUCHMENT PLAN - FOOTINGS
 1/8" = 1'-0"

sheet number:
G103.3

Planter encroaches 3'' into 5th Street ROW



Babcock Design
 Boise
 800 W MAIN STREET
 SUITE 740
 BOISE, ID 83702
 208.424.7475
 Salt Lake City
 52 Exchange Place
 Salt Lake City, UT 84111
 801.531.1144
 babcockdesign.com



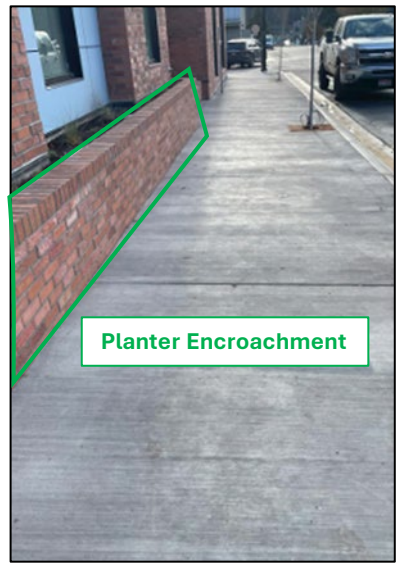
Project Information
 Job No. 210017
 Client City School District 7100

Date: 03.04.2022
 Project Number: 210017
 Project Name: Parcel 541
 Drawing Title: Right of Way
 Drawing Scale: 1/8" = 1'-0"



Project Information
 BLUEBIRD VILLAGE
 GMD DEVELOPMENT LLC
 483 N. EAST AVE. SHELTON, ID 83142

RIGHT OF WAY ENCROUCHMENT PLAN - FOOTING AND FOUNDATION



Planter Encroachment

EXHIBIT B

EXHIBIT B

1. Installation of a hydronic snow melt system in all surfaces as outlined on sheet G103.2 and as further described:
 - a. From the outermost bounds of the property line along East avenue to the back of curb within the City right-of-way, excluding tree wells.
 - b. From the outermost bounds of the property line along Fifth Street to the back of curb within the City right-of-way, excluding the tree wells.
 - c. From the outermost bounds of the property line along the alley within the City right-of-way.

2. Encroachment for (2) metal shades 5 foot encroachment at east ave. as outlined on sheet G103.1. (8) 3/8" x 6" steel window shade-boxes 6" encroachment at east avenue as outlined on sheet G103.1 and as further described below.
 - a. (2) Metal shades, as referenced on sheet G103.1, projects 5'-0" west of the property line. Length of metal shades is 25'-9". Bottom of awning is approximately 12'-1" above finished grade at sidewalk below. Top of awning is approximately 13'-4" above finished grade at sidewalk below. Height varies slightly with sidewalk grade.

 - b. (8) 3/8" x 6" steel window shade boxes project 6" west of property line as referenced on sheet G103.1 Length of architectural features is 6'-1". The height of the architectural features is 6'-1". The bottom of the lower architectural features, is 16'-7" above finished grade at sidewalk below. Top of the lower architectural feature is 22'-8" above finished grade at sidewalk below. Height varies with sidewalk grade. The bottom of the upper architectural features is 27'-0" above finished grade at sidewalk below. Top of upper architectural feature is 33'-1" above finished grade at sidewalk below. Height varies with sidewalk grade.

3. Encroachment for bridge at alley within the City right-of-way as outlined on sheet G103.0. and as further described below.
 - a. (1) bridge, as referenced on sheet G103.0, projects 30'-0" west to east, by 7'-7 1/2" north to south past the property line into the city right-of-way. Bottom of bridge varies from east to west and is approximately 20'-10" and 20'-6" respectively above finished grade at alley below. Top of bridge varies from west to east and is approximately 34'-7 5/8" and 35'-1 3/4" respectively above finished grade at alley below.

4. Encroachment for building footings within the City right-of-way as outlined on sheet G103.3 at east avenue and fifth street. Footings vary in size and length. Refer to sheet G103.3, footing encroachment into the ROW. Footings do not encroach into city ROW more than 1'-1 5/8"

5. Planter encroaches 3 inches into 5th Street ROW along sidewalk.