



**City of Ketchum  
Planning & Building**

**STAFF REPORT  
KETCHUM PLANNING AND ZONING COMMISSION  
REGULAR MEETING OF December 14, 2021**

**PROJECT:** Grossman Residence – Remodel/Addition

**FILE NUMBER:** P21-89

**APPLICATION TYPE:** Mountain Overlay Design Review

**REPRESENTATIVE:** Steve Cook, Steve Cook Architect

**OWNER:** Jill Grossman

**REQUEST:** Mountain Overlay Design Review

**LOCATION:** 215 Gem Street (Syringa Springs Sub Lot 6)

**ZONING:** Limited Residential District (LR)

**OVERLAY:** Mountain Overlay (MO)

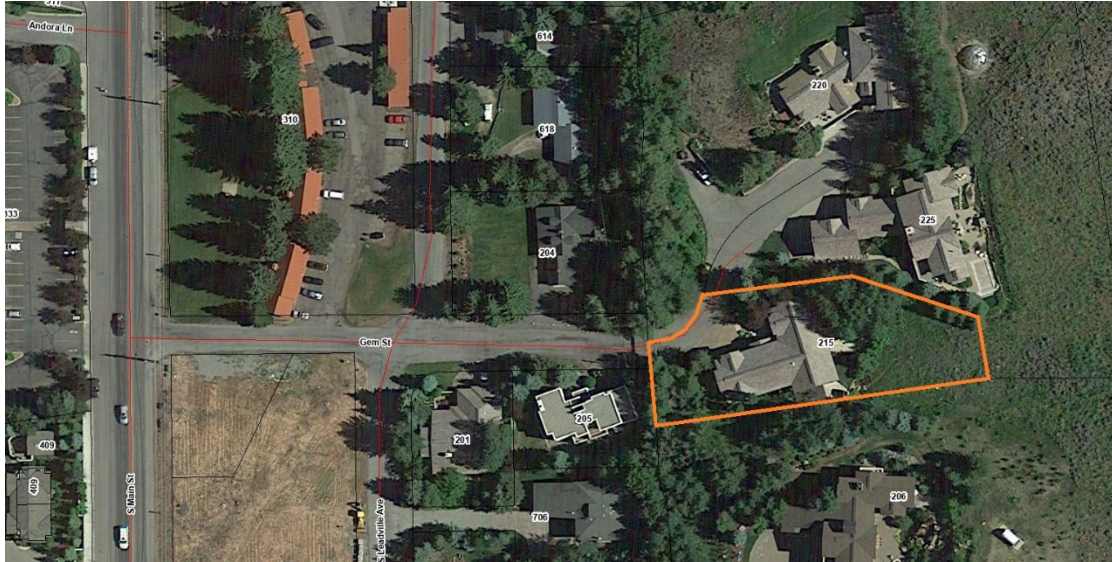
**NOTICE:** Notice for the subject public hearing was mailed to all adjacent property owners on November 24<sup>th</sup>, 2021.

**REVIEWER:** Adam Crutcher, Associate Planner

**BACKGROUND**

The subject Mountain Overlay (MO) Design Review is for the development of an office addition and landscaping project at 215 Gem St (Syringa Springs Sub Lot 6). The site is located in the Limited Residential (LR) Zoning District and also within the Mountain Overlay. The subject property is currently occupied by a single family residence and the site is characterized by approximately 86 ft grade change from the Gem Street right-of-way to the rear property line. The subject property is 0.526 acres in size (22,937 square feet) and is 272.95' deep with a minimum elevation of approximately 5835' and a maximum elevation of approximately 5870', a slope of 13% on the southern property boundary (35' of elevation gain), and 14% on the northern property boundary (28' of elevation gain). There is a lot line shift application associated with the project that proposes to extend the building envelope for the property into the rear yard to allow for the construction of the addition and pergola.

Pursuant to Ketchum Municipal Code (KMC) §17.104.050.A, the construction or placement of structures within the MO District is subject to all applicable Design Review improvements and standards (KMC §17.96.060) as well as subject to the Mountain Overlay Design Review requirements set forth in KMC §17.104.070. The purpose of the MO Zoning District is to encourage land uses harmonious with existing natural resources, protect natural land features and wildlife habitat, prohibit detrimental alteration and minimize impacts to the existing topography, preserve hillsides and ridges, and minimize the visual impact of building sites by siting building footprint away from higher elevations.



**Figure 1. Location Context: 215 Gem Street**

## ANALYSIS

Staff recommends the Planning & Zoning Commission consider the analysis contained in the Staff Report, the applicant's presentation, and any public comment received, deliberate, and move to approve the design of the proposed addition and landscape project located at 215 Gem St. A full analysis of this recommendation is detailed within the Staff Report.

The proposed design of the addition and landscaping fulfills the purpose of the Mountain Overlay Zoning District to minimize the visual impact of building sites, limit alterations to the existing topography, and to preserve hills and ridgelines. The total building coverage for the proposed residence is 23% (5,329 sq ft building coverage/22,933 sq ft lot area), which is 2,697 sq ft less than the maximum allowable building coverage (35%) permitted in the LR Zone. The maximum building height is 28', which is 7' less than the maximum height (35') permitted in the LR Zone.

## COMPREHENSIVE PLAN ANALYSIS

The proposed addition and landscaping located at 215 Gem St is consistent with the uses, goals, and policies listed below as specified within the 2014 Comprehensive Plan.

**Table 1: Comprehensive Plan Compliance Analysis**

SUPPORTING SECTION	SUMMARY OF COMPLIANCE WITH THE 2014 COMPREHENSIVE PLAN
<b>Future Land Use</b>	
<b>Low Density Residential</b>	<p><b>Primary Uses:</b> Single-family and duplex residences and accessory units.</p> <p><b>Secondary Uses:</b> Supporting and complementary uses, including open space and recreation, agriculture/gardens, schools, places of worship, and other public uses. Senior housing facilities are also appropriate if compatible with the surrounding areas.</p> <p>The intent is for the average density of a residential area in this category is not to exceed about five units per acre.</p> <p><b>Characteristics and Location:</b> New residences should be within neighborhoods that have pedestrian-oriented, connected local streets and sidewalks. New housing should also have access to parks, open space, schools, and other civic activities. Neighborhoods within this category should be accessible via local streets with access to collector streets for circulation.</p>
<b>Community Design and Neighborhoods</b>	
<b>Goal CD-2 Protect and enhance views of the surrounding mountains and natural features.</b>	<p>Policy CD-2.2 - Mountain Overlay Zone</p> <p>Continue to protect hillsides within the City and the Area of City Impact from further development. Enforce and encourage strengthening of the Mountain Overlay standards of the City and County, by using a variety of techniques; such as clustering at lower elevations, creating conservation easements, or purchasing private property on hillsides.</p>
<b>Policy CD-2.4 Development Designed for Natural Feature Preservation</b>	<p>Protect and incorporate natural features into newly developing areas. Conserve the natural patterns of streams, ridgelines, topography, riparian areas, and wildlife habitat areas.</p>

**Table 2: Zoning Standards Analysis**

Compliance with Zoning Standards				
Compliant			Standards and Staff Comments	
Yes	No	N/A	Guideline	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.040	<b>Minimum Lot Area</b>
			<i>Staff Comment</i>	<b>Required:</b> 9,000 square feet minimum. <b>Existing (Lot 6):</b> 22,933 sq ft
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.040	<b>Building Coverage</b>
			<i>Staff Comment</i>	<b>Permitted:</b> 35% <b>Proposed:</b> 23% (5,329 sq ft building coverage/22,933 sq ft lot area)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.040	<b>Minimum Building Setbacks</b>

			<b>Staff Comment</b>	<b>Minimum:</b> Front: 15' Side: > of 1' for every 2' in building height, or 10' Rear: 20'  <b>Proposed:</b> Front: 15' Side (N): 14' Side (S): 14' Rear: 20'
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.040	<b>Building Height</b>
			<b>Staff Comment</b>	<b>Maximum Permitted:</b> 35' <b>Proposed:</b> 15' addition (27' existing residence)
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.125.030.H	<b>Curb Cut</b>
			<b>Staff Comment</b>	<b>Permitted:</b> A total of 35% of the linear footage of any street frontage can be devoted to access off street parking. <b>Proposed:</b> Existing residence has driveway. No modifications are proposed to the driveway
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.125.040.B	<b>Parking Spaces</b>
			<b>Staff Comment</b>	Off-street parking standards of this chapter apply to any new development and to any new established uses. <b>Required:</b> One-Family Dwelling: 2 spaces per dwelling unit <b>Existing:</b> 2 spaces (Garage)

**Table 3: Mountain Overlay Design Review Standards**

<b>IMPROVEMENTS AND STANDARDS: 17.104.070 – Mountain Overlay Design Review:</b>				
The following list of criteria and those contained in section 17.96.080 of this title must be considered and addressed by each applicant seeking design review approval.				
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (1)	<b>There shall be no building on ridges or knolls which would have a material visual impact on a significant skyline visible from a public vantage point entering the city or within the city. "Material", as the term is used herein, shall be construed in light of the magnitude of the negative impact on the objectives of this section.</b>
			<b>Staff Comment</b>	No ridges or knolls have been identified on the subject parcel—the ridge line is located beyond the extent of the rear property line.  The property is not located adjacent to an identified or protected view corridor. Vegetation and existing development sufficiently screens Gem Street from the Highway 75 corridor.  As the proposed building footprint is sited at the lower elevation of the site, the applicant has minimized visual impact to the Gem Street ridgeline. The proposed siting and design of the single-family residence protects the visual integrity of the hillside.



<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (2)	<b>Building, excavating, filling and vegetation disturbance on hillsides which would have a material visual impact visible from a public vantage point entering the city or within the city shall be minimized. "Material", as the term is used herein, shall be construed in light of the magnitude of the negative impact on the objectives of this section.</b>
			<i>Staff Comment</i>	<i>Building, excavation, filling, and vegetation disturbance will not have a material visual impact visible from a public vantage point entering into or within the city due to the siting of the building footprint and limits of disturbance sited at the lower elevation portion of the site. Outside of the limits of disturbance associated with the building and associated site improvements, the project will retain the site's existing grade and vegetation.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.104.070 A (3)	<b>Driveway standards as well as other applicable standards contained in chapter 12.04 of this code shall be met.</b>
			<i>Staff Comment</i>	<i>Existing driveway approved by Mountain Overlay Design Review (MO 94-05) and Building Permit (94063) in 1994. No work to be done on existing driveway.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (4)	<b>All development shall have access for fire and other emergency vehicles to within one hundred fifty feet (150') of the furthest exterior wall of any building.</b>
			<i>Staff Comment</i>	<i>Sufficient access is provided for fire and emergency apparatus to reach within 150 ft of the furthest exterior wall of the building. The Fire Department has reviewed the proposed design and has found that all access requirements for emergency vehicles has been met.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (5)	<b>Significant rock outcroppings shall not be disturbed.</b>
			<i>Staff Comment</i>	<i>No significant rock outcroppings have been identified on the subject site.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (6)	<b>International building code (IBC) and international fire code (IFC) and Ketchum fire department requirements shall be met.</b>
			<i>Staff Comment</i>	<i>The project must comply with the 2018 International Building Code, the 2018 International Fire Code and Ketchum Fire Department requirements, as well as Title 15 of Ketchum Municipal Code. All IBC, IFC, and Ketchum Fire Department requirements shall be verified and met prior to the issuance of a Building Permit for the project.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (7)	<b>Public water and sewer service shall comply with the requirements of the city.</b>
			<i>Staff Comment</i>	<i>Existing water and sewer stubs serve the subject property located at 215 Gem Street. Requirements and specifications for the water and sewer connections will be verified, reviewed, and approved by the Utilities Department prior to issuance of a Building Permit for the project.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (8)	<b>Drainage shall be controlled and maintained to not adversely affect other properties.</b>
			<i>Staff Comment</i>	<i>As indicated on Sheet L-3.0 of the Design Review submittal, drainage is proposed to be maintained and controlled through a system of drywells.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (9)	Cuts and fills allowed for roadways shall be minimized; lengths of driveways allowed shall be minimized; all cuts and fills shall be concealed with landscaping, revegetation and/or natural stone materials. Revegetation on hillsides with a clear zone of thirty feet (30') around all structures is recommended. Said clear zone shall include low combustible irrigated vegetation with appropriate species, on file with the Ketchum planning department. Revegetation outside of this clear zone should be harmonious with the surrounding hillsides.
			<i>Staff Comment</i>	No new roadway or driveway is proposed with the project. Both roadway and driveway are existing.  As indicated on Sheet L-3.0, the eastern portion of the lot will remain undisturbed with native vegetation. KMC §17.104.070.A9 recommends that revegetation of hillsides maintain a 30 ft clear zone around all structures in order to serve as defensible space to reduce the potential for damage to homes from wildfires. In this zone, plant species should be low-growing and fire-resistant. The proposed landscape plan (Sheet L-5.0) includes shrub groupings comprised of five (5) Serviceberry as well as five (5) Diabolo Purple Ninebark. Fourteen (14) Quaking Aspen are proposed to be planted as to replace the existing aspens that are proposed for removal. While Serviceberry and Ninebark are appropriate species, the applicant is encouraged to use hardscapes and minimize overlapping shrub groupings within the defensible space zone.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (10)	No other sites on the parcel are more suitable for the proposed development in order to carry out the purposes of this section.
			<i>Staff Comment</i>	The existing building was built on the most downward site of the lot leaving the rear yard the only remaining developable land. The applicant has utilized the area of the property most suitable for development, which is characterized by a more gradual slope compared to steep grade at the eastern portion of the site.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (11)	Access traversing twenty five percent (25%) or greater slopes does not have significant impact on drainage, snow and earthslide potential and erosion as it relates to the subject property and to adjacent properties.
			<i>Staff Comment</i>	The existing driveway access does not traverse 25% or greater slopes.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.104.070 A (12)	Utilities shall be underground.
			<i>Staff Comment</i>	Existing utilities are located underground to serve the existing residence.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (13)	Limits of disturbance shall be established on the plans and protected by fencing on the site for the duration of construction.
			<i>Staff Comment</i>	Sheet L-3.0 indicates the limits of disturbance associated with the project.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (14)	Excavations, fills and vegetation disturbance on hillsides not associated with the building construction shall be minimized.
			<i>Staff Comment</i>	The project scope does not propose any cuts or fills other than those required for building construction—all excavation, fill, and vegetation disturbance is associated with the construction of the office addition and landscaping.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.104.070 A (15)	Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.

**Table 4: Design Review Standards for all projects**

Design Review Requirements IMPROVEMENTS AND STANDARDS: 17.96.060				
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(A)(1) Streets	The applicant shall be responsible for all costs associated with providing a connection from an existing city street to their development.
			<i>Staff Comments</i>	<i>Existing driveway connects to Gem Street.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(A)(2) Streets	All street designs shall be approved by the City Engineer.
			<i>Staff Comments</i>	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(B)(1)	All projects under 17.96.010(A) that qualify as a "Substantial Improvement" shall install sidewalks as required by the Public Works Department.
			<i>Staff Comments</i>	<i>N/A as sidewalks are not required or existing in the subject low density residential area.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060 (B)(2)c	Sidewalk width shall conform to the City's right-of-way standards, however the City Engineer may reduce or increase the sidewalk width and design standard requirements at their discretion.
			<i>Staff Comments</i>	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060 (B)(3)	Sidewalks may be waived if one of the following criteria is met: a. The project comprises an addition of less than 250 square feet of conditioned space. b. The City Engineer finds that sidewalks are not necessary because of existing geographic limitations, pedestrian traffic on the street does not warrant a sidewalk, or if a sidewalk would not be beneficial to the general welfare and safety of the public.
			<i>Staff Comments</i>	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060 (B)(4)	The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.
			<i>Staff Comments</i>	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060 (B)(5)	New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.
			<i>Staff Comments</i>	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060 (B)(6)	The City may approve and accept voluntary cash contributions in-lieu of the above described improvements, which contributions must be segregated by the City and not used for any purpose other than the provision of these improvements. The contribution amount shall be one hundred ten percent (110%) of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the City Engineer. Any approved in-lieu contribution shall be paid before the City issues a certificate of occupancy.
			<i>Staff Comments</i>	N/A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(1)	All storm water shall be retained on site.
			<i>Staff Comments</i>	<i>All storm water shall be retained on site. As indicated on Sheet L-3.0 of the Design Review submittal, drainage is proposed to be maintained and controlled through a system of drywells.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(2)	Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.

			<i>Staff Comments</i>	<i>The proposed drainage improvements span the width of the subject lot. See above analysis for KMC §17.96.060(C)(1).</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(3)	<b>The City Engineer may require additional drainage improvements as necessary, depending on the unique characteristics of a site.</b>
			<i>Staff Comments</i>	<i>Drainage facilities shall be constructed per City standards. All drainage improvements shall be verified, reviewed, and approved by the City Engineer prior to issuance of a Building Permit for the project.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(4)	<b>Drainage facilities shall be constructed per City standards.</b>
			<i>Staff Comments</i>	<i>Drainage facilities shall be constructed per City standards. All drainage improvements shall be verified, reviewed, and approved by the City Engineer prior to issuance of a Building Permit for the project.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(D)(1)	<b>All utilities necessary for the development shall be improved and installed at the sole expense of the applicant.</b>
			<i>Staff Comments</i>	<i>All utilities for the development shall be improved and installed at the expense of the applicant.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(D)(2)	<b>Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view.</b>
			<i>Staff Comments</i>	<i>All on-site utilities shall be located underground. The project will connect to existing power and gas lines within the existing residence and the associated existing infrastructure is underground.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(D)(3)	<b>When extension of utilities is necessary all developers will be required to pay for and install two (2") inch SDR11 fiber optical conduit. The placement and construction of the fiber optical conduit shall be done in accordance with city of Ketchum standards and at the discretion of the City Engineer.</b>
			<i>Staff Comments</i>	<i>Extension of utilities shall be done in accordance with the City of Ketchum standards and at the discretion of the City Engineer.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(E)(1)	<b>The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures.</b>
			<i>Staff Comments</i>	<i>As indicated on Sheet A.7, the proposed office addition will be composed of stucco and composite roofing material that will match the existing residence. The proposed materials and colors are complementary to both existing homes within the Gem Street neighborhood and also to the adjacent hillside.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(E)(2)	<b>Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.</b>
			<i>Staff Comments</i>	<i>N/A. There are no identified landmarks on the property.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(E)(3)	<b>Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to.</b>
			<i>Staff Comments</i>	<i>N/A. Residence built in 1994.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(F)(1)	<b>Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined.</b>
			<i>Staff Comments</i>	<i>N/A as sidewalks are not required to be installed within low density residential street right-of-ways.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(2)	<b>The building character shall be clearly defined by use of architectural features.</b>
			<i>Staff Comments</i>	<i>Building elevations are included on Sheet A.7 of the Design Review submittal. The addition uses the same architectural features as the existing building with the same roof form and materials. The addition uses windows to break up the stucco material. Architectural features of the addition will only be seen by the adjacent property owners as the addition is small in nature and located on the rear of the building.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(3)	<b>There shall be continuity of materials, colors and signing within the project.</b>
			<i>Staff Comments</i>	<i>The proposed materials and color palette match the existing residence. The materials and colors complement the surrounding landscape.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(4)	<b>Accessory structures, fences, walls and landscape features within the project shall match or complement the principal building.</b>

			<b>Staff Comments</b>	<i>The addition complements the existing structure by using the same stucco and roofing materials. The landscape features include an outdoor dining area, pathway, and trellis with a fire pit that complement the single-family residence. Retaining walls, decks/patios, and boulders complement the outdoor living areas and enhance the landscaping.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(5)	<b>Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.</b>
			<b>Staff Comments</b>	<i>The design incorporates variation in architectural features and materials along all facades. The proposed elevation views provided by the applicant show that all building walls provide undulation and relief, serving to reduce the appearance of flatness at all facades.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(F)(6)	<b>Building(s) shall orient towards their primary street frontage.</b>
			<b>Staff Comments</b>	<i>N/A. Existing residence faces Gem Street.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(F)(7)	<b>Garbage storage areas and satellite receivers shall be screened from public view and located off alleys.</b>
			<b>Staff Comments</b>	<i>N/A. The project does not propose a satellite receiver. The project is located within a low density residential zoning district, which does not include an exterior commercial garage receptacle requiring screening.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(8)	<b>Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties.</b>
			<b>Staff Comments</b>	<i>The roof design as indicated on Sheet A.7 includes gutters, which will prevent water from dripping on residents. Roof overhangs will also serve as weather protection.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(G)(1)	<b>Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.</b>
			<b>Staff Comments</b>	<i>N/A. The subject property is a site located within a residential neighborhood. The site is not contiguous to an existing pedestrian, equestrian, or bicycle access.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(G)(2)	<b>Awnings extending over public sidewalks shall extend five (5') feet or more across the public sidewalk but shall not extend within two (2') feet of parking or travel lanes within the right of way.</b>
			<b>Staff Comments</b>	<i>N/A.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(3)	<b>Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage.</b>
			<b>Staff Comments</b>	<i>The proposed single-family residence will be accessed from Gem Street. The private driveway serves is low traffic as it serves two other residences.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(4)	<b>Curb cuts and driveway entrances shall be no closer than twenty (20') feet to the nearest intersection of two or more streets, as measured along the property line adjacent to the right of way. Due to site conditions or current/projected traffic levels or speed, the City Engineer may increase the minimum distance requirements.</b>
			<b>Staff Comments</b>	<i>The driveway is located over 200 ft away from the nearest intersection of Gem Street and Leadville Avenue.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(5)	<b>Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project.</b>
			<b>Staff Comments</b>	<i>Unobstructed access to the site is provided through Gem Street.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(H)(1)	<b>Snow storage areas shall not be less than thirty percent (30%) of the improved parking and pedestrian circulation areas.</b>
			<b>Staff Comments</b>	<i>N/A as no change to existing snow storage is proposed</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(H)(2)	<b>Snow storage areas shall be provided on-site.</b>
			<b>Staff Comments</b>	<i>See above Staff comment for Ketchum City Code 17.96.060.H(1)</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(H)(3)	<b>A designated snow storage area shall not have any dimension less than five (5') feet and shall be a minimum of twenty five (25) square feet.</b>
			<b>Staff Comments</b>	<i>See above Staff comment for Ketchum City Code 17.96.060.H(1)</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(H)(4)	In lieu of providing snow storage areas, snow melt and hauling of snow may be allowed.
			Staff Comments	N/A

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(1)	Landscaping is required for all projects.
			Staff Comments	The required landscape plan is indicated on Sheet L-5.0 of the Design Review submittal.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(2)	Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape.
			Staff Comments	The proposed landscape plan (Sheet L-5.0) includes shrub groupings comprised of five (5) Serviceberry as well as five (5) Diabolo Purple Ninebark. Fourteen (14) Quaking Aspen are proposed to be planted as to replace the existing aspens that are proposed for removal. Serviceberry, ninebark and aspen are all drought tolerant species and adaptable to the Wood River Valley climate. The landscape plan complements the single-family residence and adjacent neighborhood.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(3)	All trees, shrubs, grasses and perennials shall be drought tolerant. Native species are recommended but not required.
			Staff Comments	See above Staff analysis for Ketchum Municipal Code §17.96.060(I)(2).
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(4)	Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged.
			Staff Comments	The landscaping will be provide a buffer between the adjacent dwelling units and complements existing landscaping in the neighborhood as well as the native vegetation of the adjacent hillside.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(J)(1)	Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All public amenities shall receive approval from the Public Works Department prior to design review approval from the Commission.
			Staff Comments	N/A. Sidewalks are not required for the project.



**STAFF RECOMMENDATION:**

Staff recommends the Planning & Zoning Commission consider the analysis contained in the Staff Report, the applicant's presentation, and any public comment received, deliberate, and move to approve the design of the proposed office addition and landscaping located at 215 Gem Street and adopt the attached findings of fact for the project.

**RECOMMENDED CONDITIONS**

1. The applicant shall comply with all City Department conditions as described in Tables 2, 3, and 4.
2. All governing ordinances pertinent to the Fire Department, Building Department, Utilities Department, Street Department and Ketchum City Engineer shall be met prior to Certificate of Occupancy.
3. Design review approval shall expire one (1) year from the date the Findings of Fact, Conclusions of Law, and Decision are adopted by the Planning & Zoning Commission, unless an extension is requested and granted consistent with KMC §17.96.090.
4. Design review elements shall be completed prior to final inspection and issuance of a Certificate of Completion for the project.
5. This Design Review approval is based on the plans and information presented and approved at the meeting on the date noted herein. Building Permit plans must conform to the approved Mountain Overlay Design Review Plans unless otherwise approved in writing by the Commission or Planning & Building Department. Any building or site discrepancies which do not conform to the approved plans will be subject to removal.
6. Construction fencing at the limits of disturbance shall be located on the site prior to any excavation or earthwork.
7. A final drainage/grading plan for the subject property and the City right-of-way shall be submitted to the Planning & Building Department for review and approval by the Planning Department, Streets Department, and City Engineer prior to the issuance of a Building Permit for the project.
8. All exterior lighting must comply with City Code, Chapter 17.132 Dark Skies.
9. In addition to the requirements set forth in this Design Review approval, this project shall comply with all applicable local, state, and federal laws.
10. Fencing around the limit of disturbance will be installed during the construction period.
11. The proposed bench and retaining walls as indicated on sheets A.7 and L-3.0 of the MO Design Review submittal shall not exceed 30 inches from existing grade when located outside of the building envelope.

**ATTACHMENTS:**

- A. Application
- B. Mountain Overlay Design Review Submittal
- C. Draft Findings of Fact, Conclusions of Law, and Decision

# Attachment A.

## Application



City of Ketchum  
Planning & Building

OFFICIAL USE ONLY	
File Number:	
Date:	10/12/2021
By:	S. Butcher
Fee Paid:	
Approved Date:	
Denied Date:	
By:	

Mountain Overlay Design Review Application

OWNER INFORMATION			
Project Name:	GROSSMAN RESIDENCE - REMODEL/ADDITION		
Owner Name:	JILL M. GROSSMAN		
Mailing Address:	P.O. BOX 6638 KETCHUM, ID 83340		
Phone:	415.990.7437		
Email:	Jillgrossman1@comcast.net		
PROJECT INFORMATION			
Architect/Representative:	STEVE R COOK		
Phone:	208.720.2117		
Mailing Address:	P.O. BOX 680 KETCHUM, ID. 83340		
Email:	STEVE@STEVECOOKARCHITECT.COM		
Engineer of Record:	TBD		
Engineer Email:	TBD		
Legal Land Description:	SYRINGA SPRINGS SUBDIVISION BLOCK 1, LOT 6		
Project Address:	215 GEM STREET KETCHUM, ID		
Lot Area:	.53 ACRES - 22,933 S.F.		
Zoning District:	LR-MO		
Anticipated Use:	EXISTING SINGLE FAMILY RESIDENCE		
Number of Residential Units:			
TYPE OF CONSTRUCTION			
<input type="checkbox"/> New	<input checked="" type="checkbox"/> Remodel	<input checked="" type="checkbox"/> Addition	<input type="checkbox"/> Other, please explain:
TOTAL FLOOR AREA			
Proposed		Existing	
Basement:		975 s.f.	
1 <sup>st</sup> Floor:	267 s.f.	3,615 s.f.	
2 <sup>nd</sup> Floor:			
3 <sup>rd</sup> Floor:			
Decks:			
Mezzanine:			
Total:	267 s.f.	4,590 s.f.	
Building Coverage:	5,329 SF 23 %	Curb Cut:	NA SF % EXISTING
PROPOSED SETBACKS			
Front:	NA	Side:	17'
		Side:	55'
		Rear:	39'
ADDITIONAL INFORMATION			
Building Height:	15'	Parking Spaces Provided:	3 + 5 GUEST
Will Fill or Excavation Be Required?	Yes	No	
If Yes, Amount in Cubic Yards	Fill: 14	Excavation:	68
Will Existing Trees or Vegetation Be Removed?	Yes	No	

Applicant agrees in the event of a dispute concerning the interpretation or enforcement of the Mountain Overlay Design Review Application, in which the City of Ketchum is the prevailing party, to pay reasonable attorney fees, including attorney fees on appeal, and expenses of the City of Ketchum. I, the undersigned, certify that all information submitted with and upon this application form is true and accurate to the best of my knowledge and belief.

SR. COOK  
Signature of Owner/Representative

10.12.2021  
Date

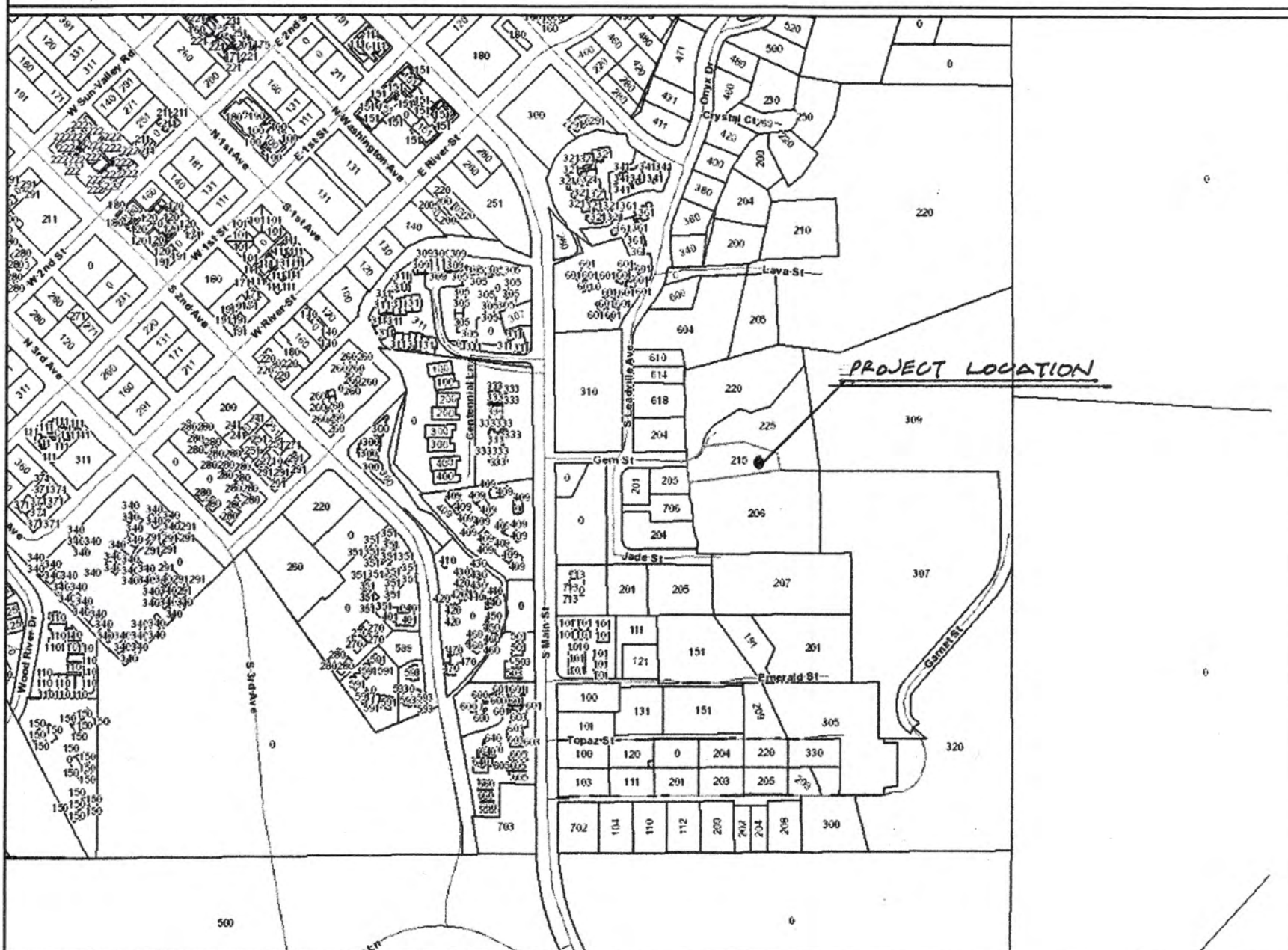
Attachment B.  
Mountain Overlay  
Design Review  
Submittal



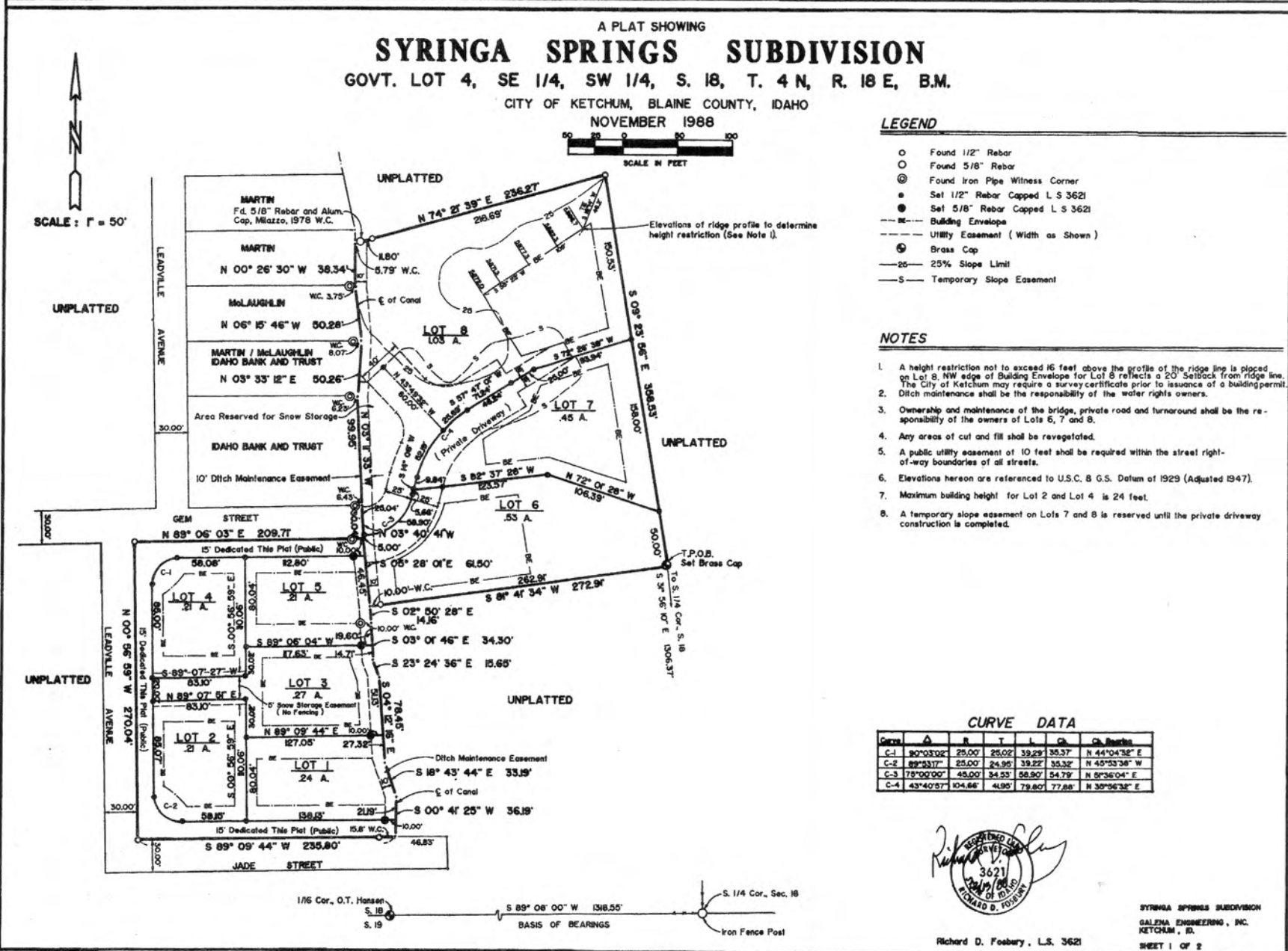
# GROSSMAN RESIDENCE - REMODEL

SYRINGA SPRINGS - LOT 6  
215 GEM STREET - KETCHUM, ID.  
ZONE LR / MOD.

## VICINITY MAP



## PLAT MAP



## DRAWING INDEX

SHEET NO.	DRAWING NAME
A.0	COVER PAGE
A.1	EXISTING UPPER LEVEL FLOOR PLAN
A.2	PROPOSED UPPER LEVEL FLOOR PLAN
A.3	EXISTING LOWER LEVEL FLOOR PLAN
A.4	PROPOSED LOWER LEVEL FLOOR PLAN
A.5	EXISTING EXTERIOR ELEVATIONS - EAST / WEST
A.6	EXISTING EXTERIOR ELEVATIONS - NORTH / SOUTH
A.7	PROPOSED EXTERIOR ELEVATIONS - EAST / NORTH
A.8	EXISTING M.BEDROOM CROSS SECTION
A.9	PROPOSED M.BEDRM/OFFICE SECTIONS
A.10	ROOF FRAMING PLAN
C.1	SITE SURVEY - EXISTING
C.2	AERIAL OVERLAY - SITE PLAN
C.3	PRELIMINARY PLAT - ENLARGED BDDG ENVL

## PROJECT TEAM

ARCHITECT:	- STEVE COOK ARCHITECT - 208.720.2117
LANDSCAPE ARCHITECT:	- BYLA, CHASE GOULEY - 208.721.8931
STRUCTURAL ENGINEER:	- K & S ENGINEERING, DAVE CONRAD - 208.928.7810
GENERAL CONTRACTOR:	- ADAM ELIAS - 208.725.5400
CIVIL ENGINEER:	- BENCHMARK ASSOC., - 208.726.9512

### ADDITION/REMODEL TO SINGLE FAMILY RESIDENCE ZONE LR-MO

#### EXISTING RESIDENCE - Overall SF Calculations

Upper Level	- 3,615 S.F.
Lower Level	- 975 S.F.
Sub Total	4,590 S.F. Living Area
Garage: 3 Bay	- 920 S.F.
	5,510 S.F.

#### PROPOSED ADDITION

Office 16'x16' 8"	- 267 S.F.
Home Total	5,777 S.F.

#### SET BACKS

Side Yds.	18 Ft., 65 Ft.
Rear Yd.	43 Ft

#### BUILDING COVERAGE AREA/PERCENTAGE:

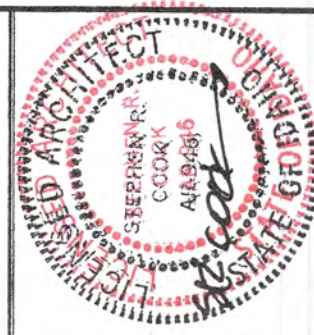
Existing Residence	- 4,535 SF (Less Bsmnt)
Decks above 30"	- 614 SF
Proposed Trellis	- 180 SF
Total Lot Coverage	- 5,329 SF

#### PERCENT OF LOT COVERAGE

5,329 SF div by .53 Acres 22,933 SF = 23% Actual
35% Allowable

#### CUT AND FILL:

Excavation of Addition	= 68 Cu. Yds.
Fill at Addition	= 14 Cu. Yds



GROSSMAN - REMODEL  
215 GEM STREET  
KETCHUM, IDAHO  
ZONE LR / MOD.  
LOT 6 SYRINGA SUB.

PHONE (208) 725-5566  
FAX (208) 725-5566

steve r. cook, architect  
323 south lewis st. suite H, P.O. box 680, Ketchum ID, 83340  
member american institute of architects

#### revision record

no.	date	by

DRAWING NAME:  
COVER PAGE /  
DRAWING  
INDEX /  
LOCATOR MAP

scale: NA

date of issue:

plot date:

sheet no.

A.0  
8.25.21



1,075 S.F.



GROSSMAN - REMODEL  
215 GEM STREET  
KETCHUM, IDAHO  
ZONE SPRING SUB.

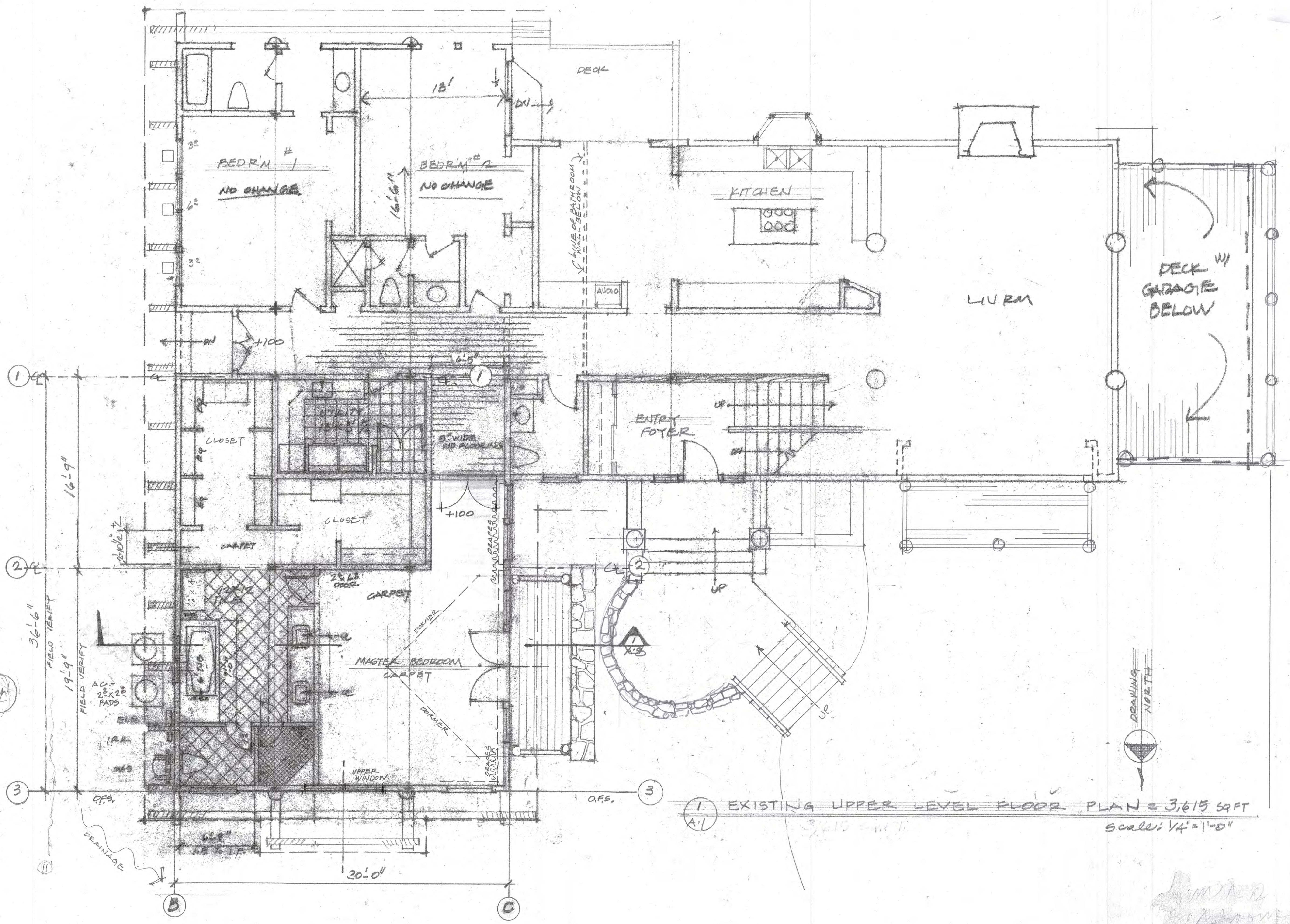
PH: (208) 725-5556  
FAX: (208) 725-5556

steve r. cook, architect  
323 south lewis st. suite h, P.O. box 680, Ketchum ID, 83340  
member american institute of architects

revision record		
no.	date	by

DRAWING NAME:  
EXISTING  
UPPER  
FLOOR

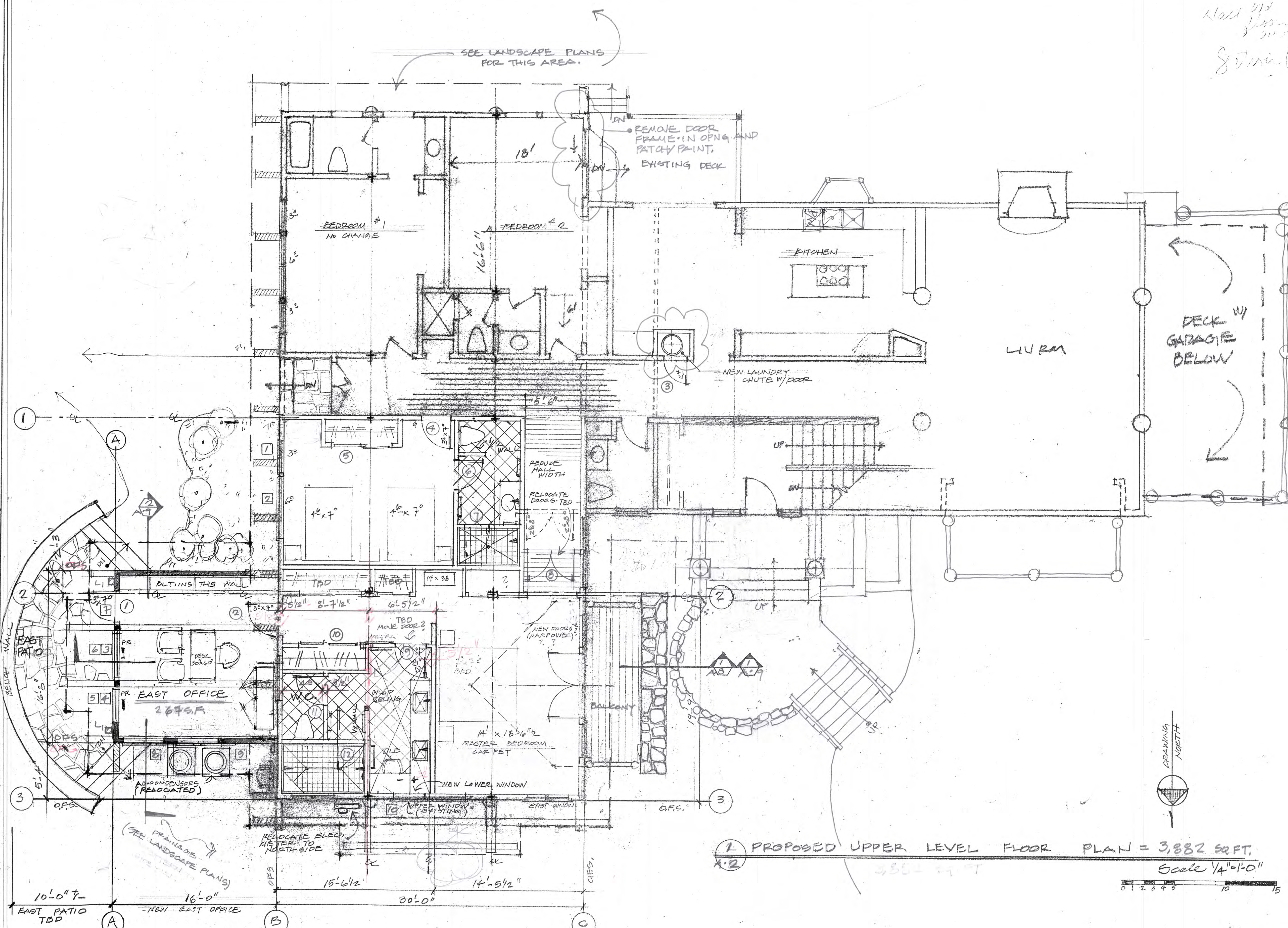
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5.27.21  
plot date:  
sheet no.  
A-1  
8.25.21



1 EXISTING UPPER LEVEL FLOOR PLANE = 3,615 SQFT  
Scale: 1/4" = 1'-0"

10.12.21





Hold old  
line  
Set in line



GEOSMAN - REMODEL  
215 GEM STREET  
KETCHUM, IDAHO  
ZONE LR  
LOT 6 SYRINGA SUB

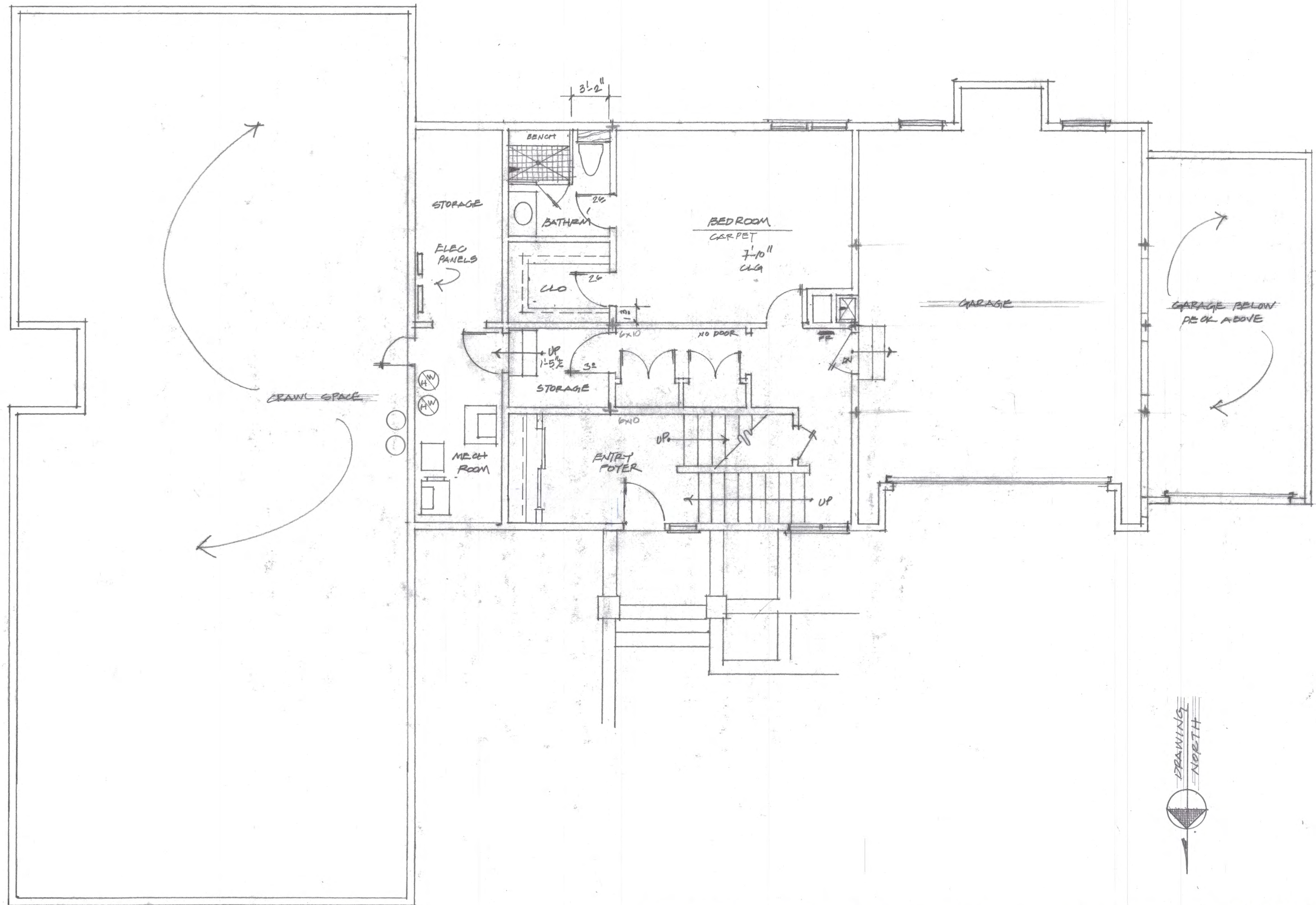
steve r. cook, architect  
323 south lewis st. suite H, P.O. box 680, Ketchum ID, 83340  
member american institute of architects  
PH: (208) 725-5556  
FAX: (208) 725-5556

revision record		
no.	date	by
1	6.2.21	
DRAWING NAME: PROPOSED UPPER FLOOR		
scale: 1/4"=1'-0"		
date of issue: 5.27.21		
plot date:		
sheet no.		
A.2 8.25.21		

1 PROPOSED UPPER LEVEL FLOOR PLAN = 3,882 SQ. FT.  
Scale 1/4"=1'-0"

10.12.21





1 EXISTING LOWER LEVEL FLOOR PLAN = 975 SQ. FT.  
A.3 EXISTING 3 CAR GARAGE = 920 S.F. Scale: 1/4" = 1'-0"



REMODEL

215 GEM STREET

KETCHUM IDAHO

ZONE LR

LOT 6 SYRINGA SUB.

PROFESSIONAL ARCHITECT

STEPHEN R. COOK

50421

STATE OF IDAHO

steve r. cook, architect

323 south lewis st. suite H, P.O. box 680, Ketchum ID, 83340

member american institute of architects

PH# (208) 725-5566

MF# (208) 725-5568

GENERAL CONTRACTOR AND ALL SUBCONTRACTORS TO ASSURE ALL WORK CONFORMS TO NATIONAL, STATE AND LOCAL CODES THAT APPLY TO THIS PROJECT. WHEN INCONFLICTS EXIST BETWEEN DRAWINGS OR SPECIFICATIONS AND APPLICABLE CODE REQUIREMENTS, CONFORMANCE TO ALL CODES SHALL HAVE PRECEDENCE OVER DRAWINGS AND SPECIFICATIONS.

revision record

no.	date	by

DRAWING NAME:

EXISTING LOWER FLOOR

scale:

1/4" = 1'-0"

date of issue:

5.27.21

plot date:

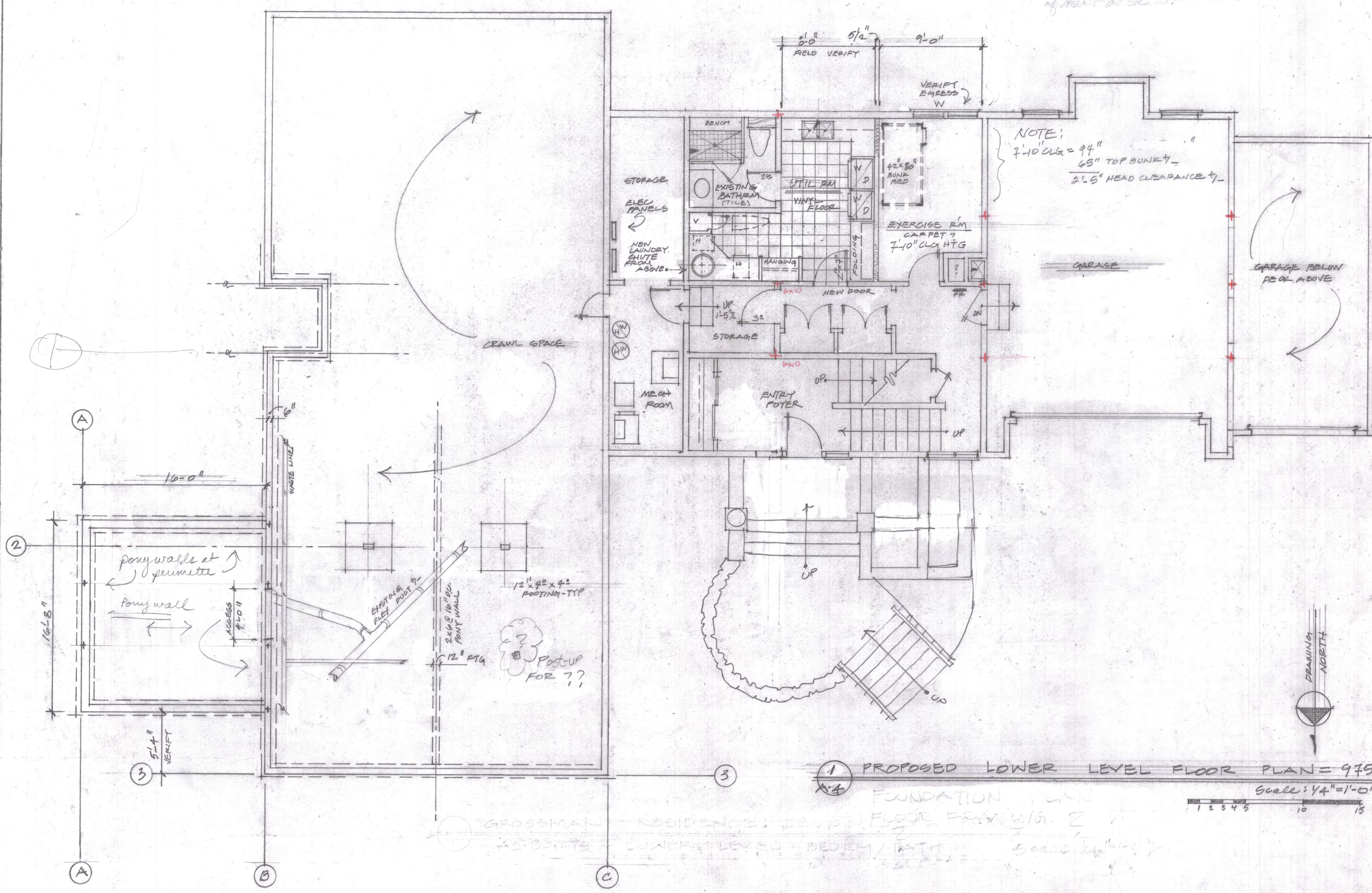
sheet no.

A.3

6.25.21

10.12.21





PROPOSED LOWER LEVEL FLOOR PLAN = 975 SQFT

FOUNDATION PLAN

Scale: 1/4" = 1'-0"

GROSSMAN RESIDENCE: 2ND FLOOR FRAMING 2  
AS-BUILT CONCRETE LEVEL - BEDRM / BATH



GROSSMAN REMODEL  
215 GEM STREET  
KETCHUM IDAHO  
ZONE LR  
LOT 6 SYRINGA SUB

PH: (208) 725-5565  
TF: (208) 725-5565

steve r. cook, architect  
323 south lewis st. suite H, P.O. box 680, Ketchum ID, 83340  
member american institute of architects

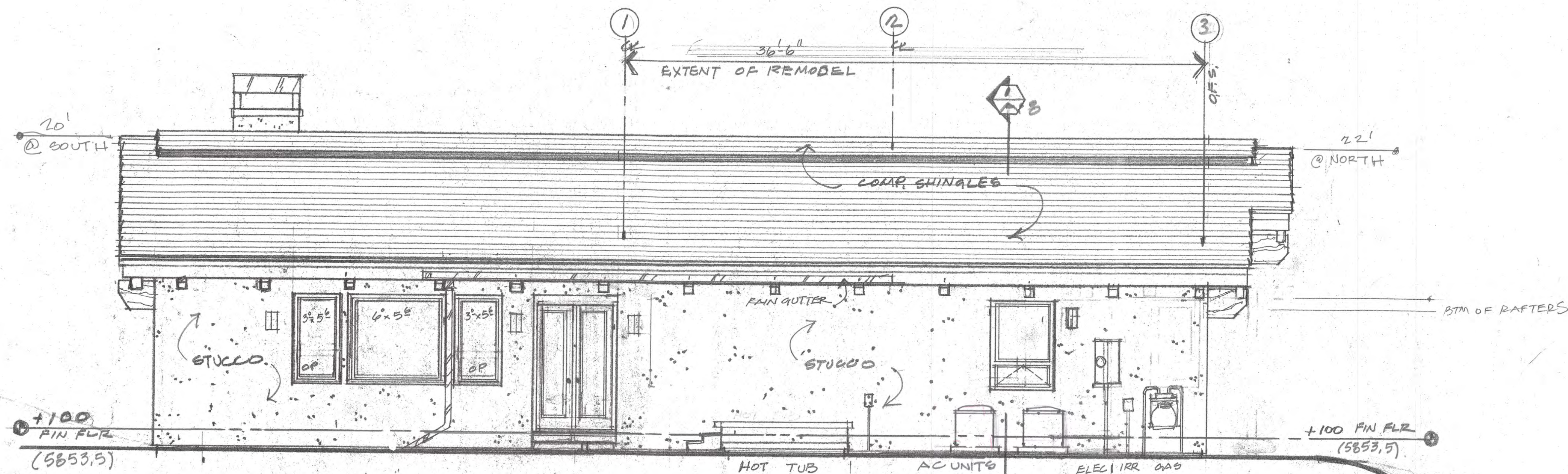
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PROPOSED  
LOWER  
FLOOR

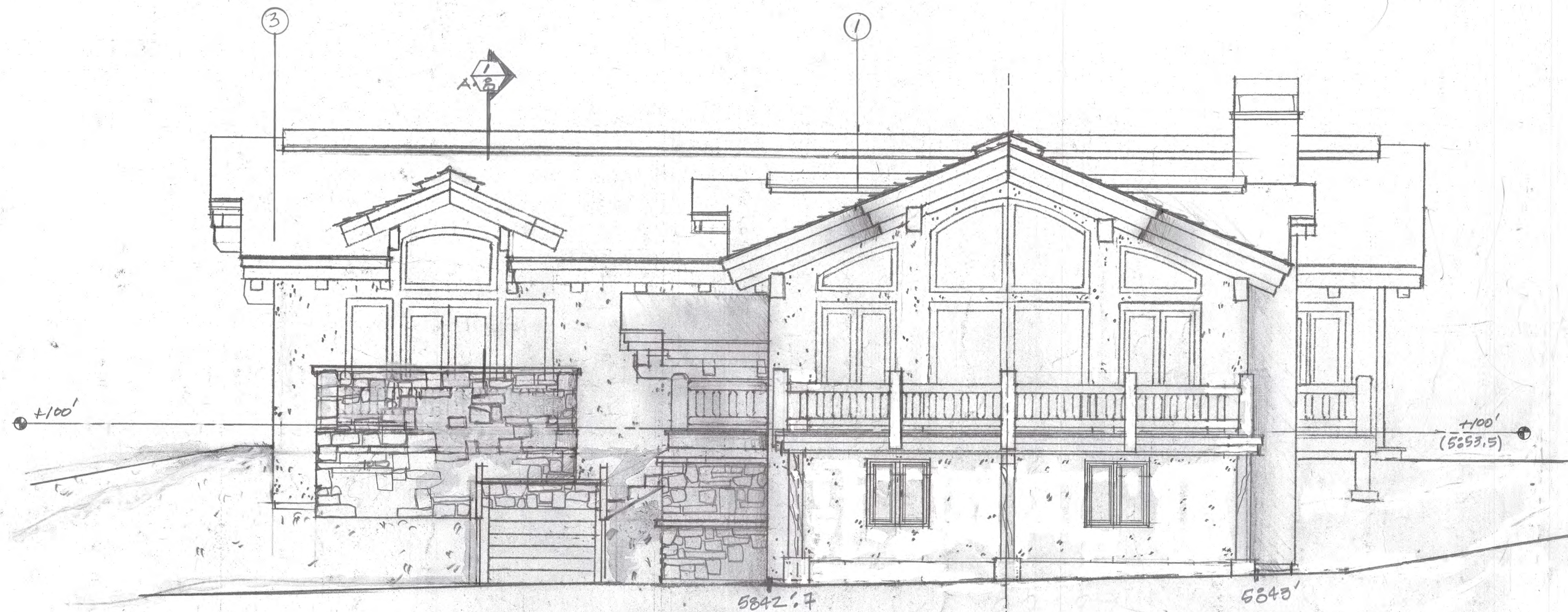
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sheet no.  
A-4  
6.25.21

10.12.21

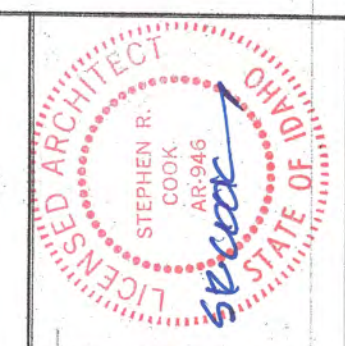




1 EXISTING EAST ELEVATION  
A.5 (SEE SHEET A.7 FOR PROPOSED) Scale: 1/4" = 1'-0"



2 EXISTING WEST ELEVATION  
A.5 (NO REVISIONS) Scale: 1/4" = 1'-0"



GROSSMAN REMODEL  
215 GEM STREET  
KETCHUM - IDAHO  
LOT 6 STRINGA GLB

PH: (208) 725-5555  
FAX: (208) 725-5555

steve r. cook, architect  
323 south lewis st. suite H, P.O. box 680, Ketchum ID, 83340

member american institute of architects

revision record

no. date by

DRAWING NAME:  
EXISTING  
EXTERIOR  
ELEVATIONS  
- EAST  
- WEST

scale:  
1/4" = 1'-0"

date of issue:  
5.7.21  
plot date:

sheet no.

A.5  
8.25.21

10.12.21





REMODEL  
215 GEM STREET  
KETCHUM, IDAHO  
LOT 6 SYRINGA SUB.

PH: (208) 725-5566  
FAX: (208) 725-5568  
steve r. cook, architect  
323 south lewis st. suite H, P.O. box 680, Ketchum ID, 83340  
member american institute of architects

revision record		
no.	date	by
DRAWING NAME: EXISTING EXTERIOR ELEVATIONS: • NORTH • SOUTH		
scale: 1/4"=1'-0"		
date of issue:		
plot date:		
sheet no. A-6 8.25.21		



1  
A-6 EXISTING NORTH ELEVATION

Scale: 1/4"=1'-0"

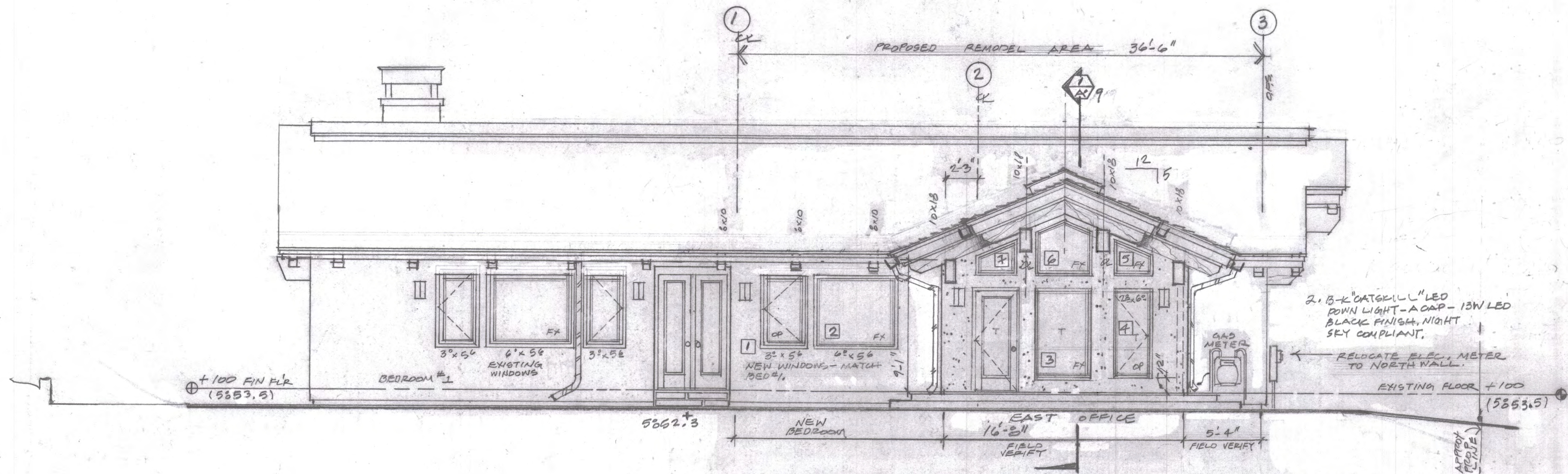


2  
A-6 EXISTING SOUTH ELEVATION

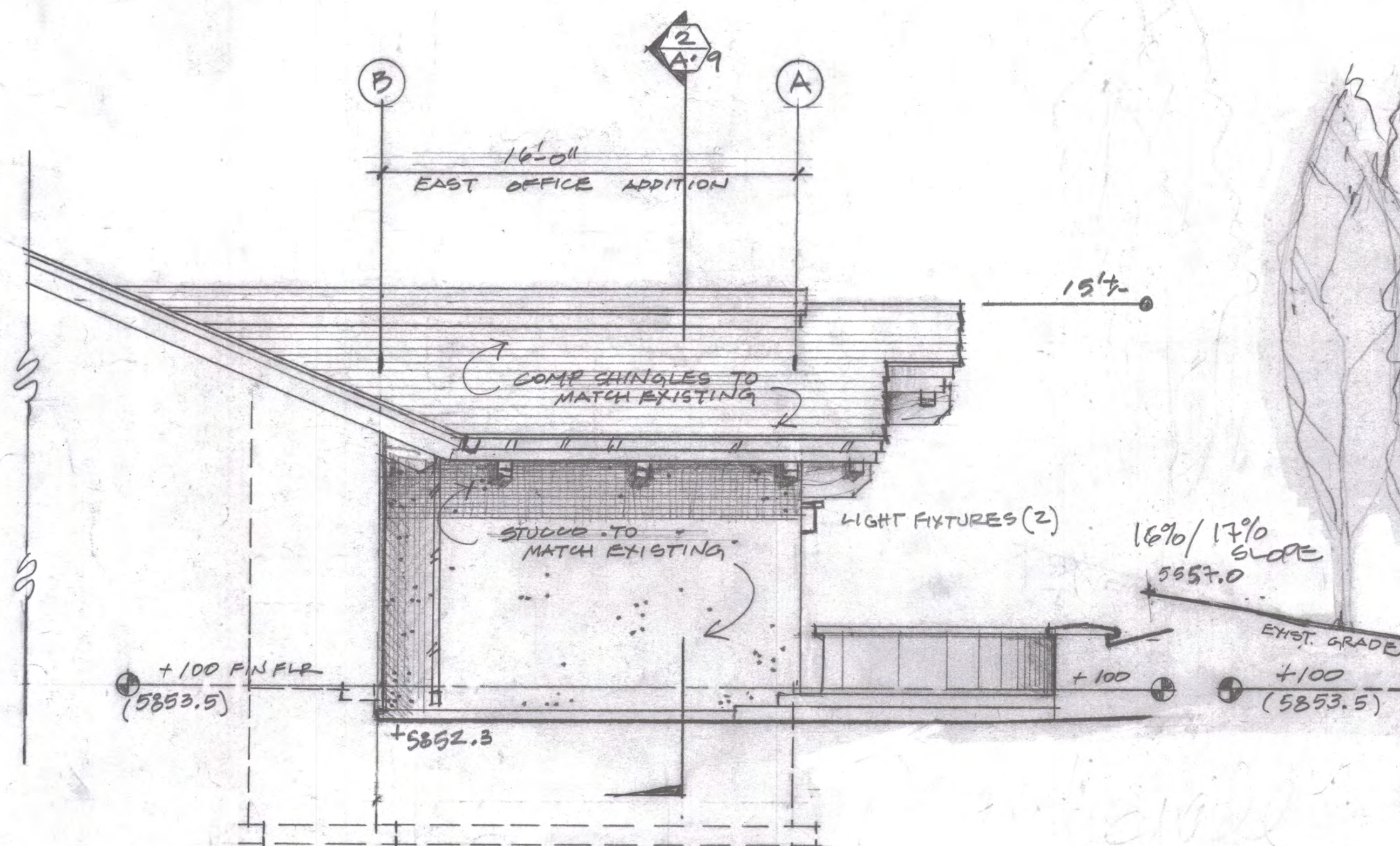
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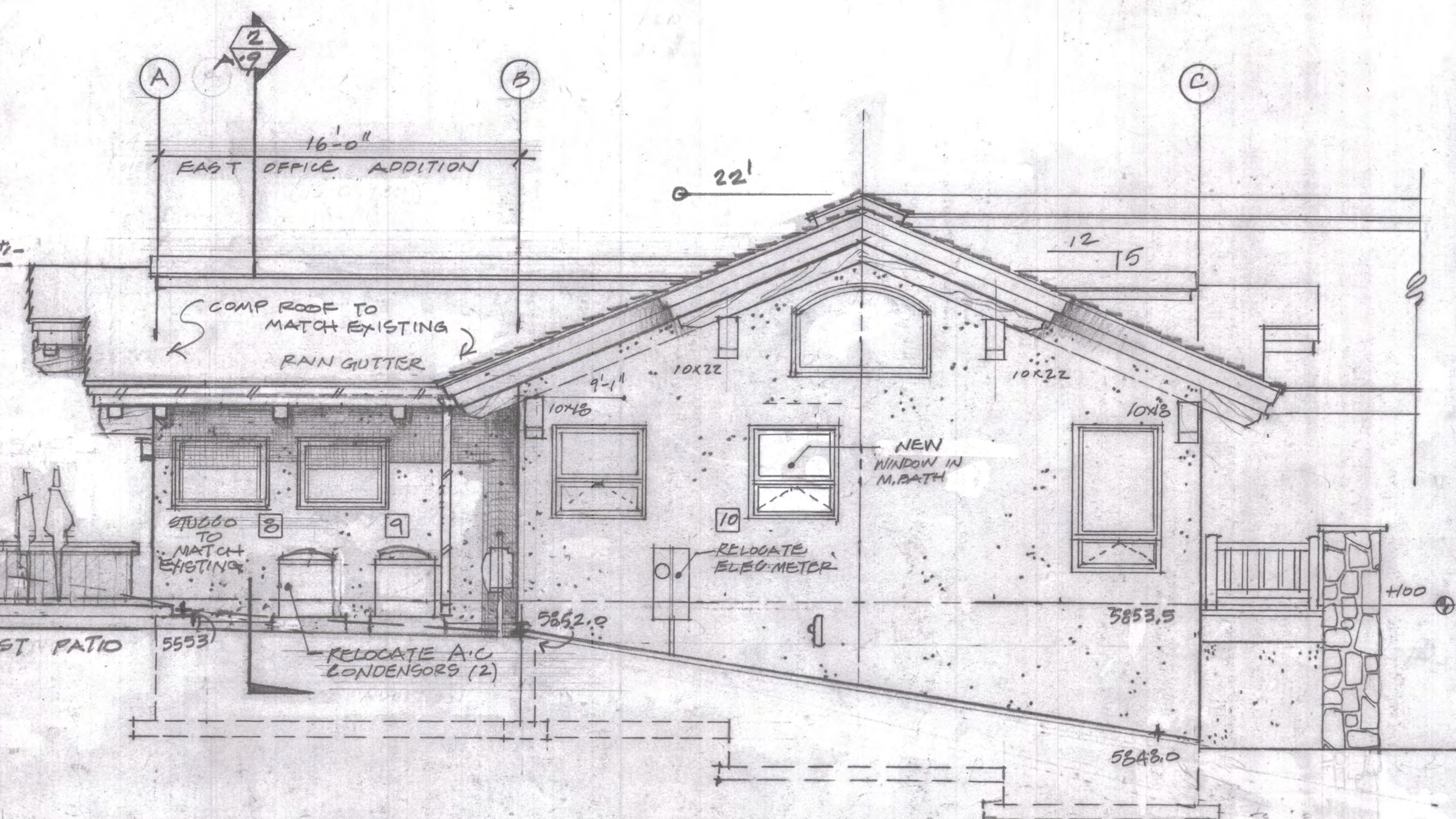




**1 PROPOSED EAST ELEVATION**  
 NOTE: SEE SHEET A.2 FOR EAST PATIO PLAN  
 SEE L.S. FOR STONE RETAINING BENCH AT PATIO.  
 Scale: 1/4" = 1'-0"



**3 PROPOSED SOUTH ELEVATION**  
 Scale: 1/4" = 1'-0"



**2 PROPOSED NORTH ELEVATION**  
 Scale: 1/4" = 1'-0"



GROSSMAN - REMODEL  
 215 GEM STREET  
 KETCHUM, PAHO  
 ZONE LFRINGA SUB.

STEVE R. COOK, ARCHITECT  
 323 SOUTH LEWIS STREET, SUITE 100, BOX 680, KETCHUM, ID 83340  
 PH: 208-725-5566  
 FX: 208-725-5568  
 MEMBER AMERICAN INSTITUTE OF ARCHITECTS

REVISION RECORD		
NO.	DATE	BY
1	6.2.21	SL

DRAWING NAME:  
 PROPOSED EXTERIOR ELEVATIONS  
 EAST  
 SOUTH  
 NORTH  
 DATE:  
 5.27.21  
 SCALE:  
 1/4" = 1'-0"  
 SHEET NO.  
**A.7**  
 8.25.21

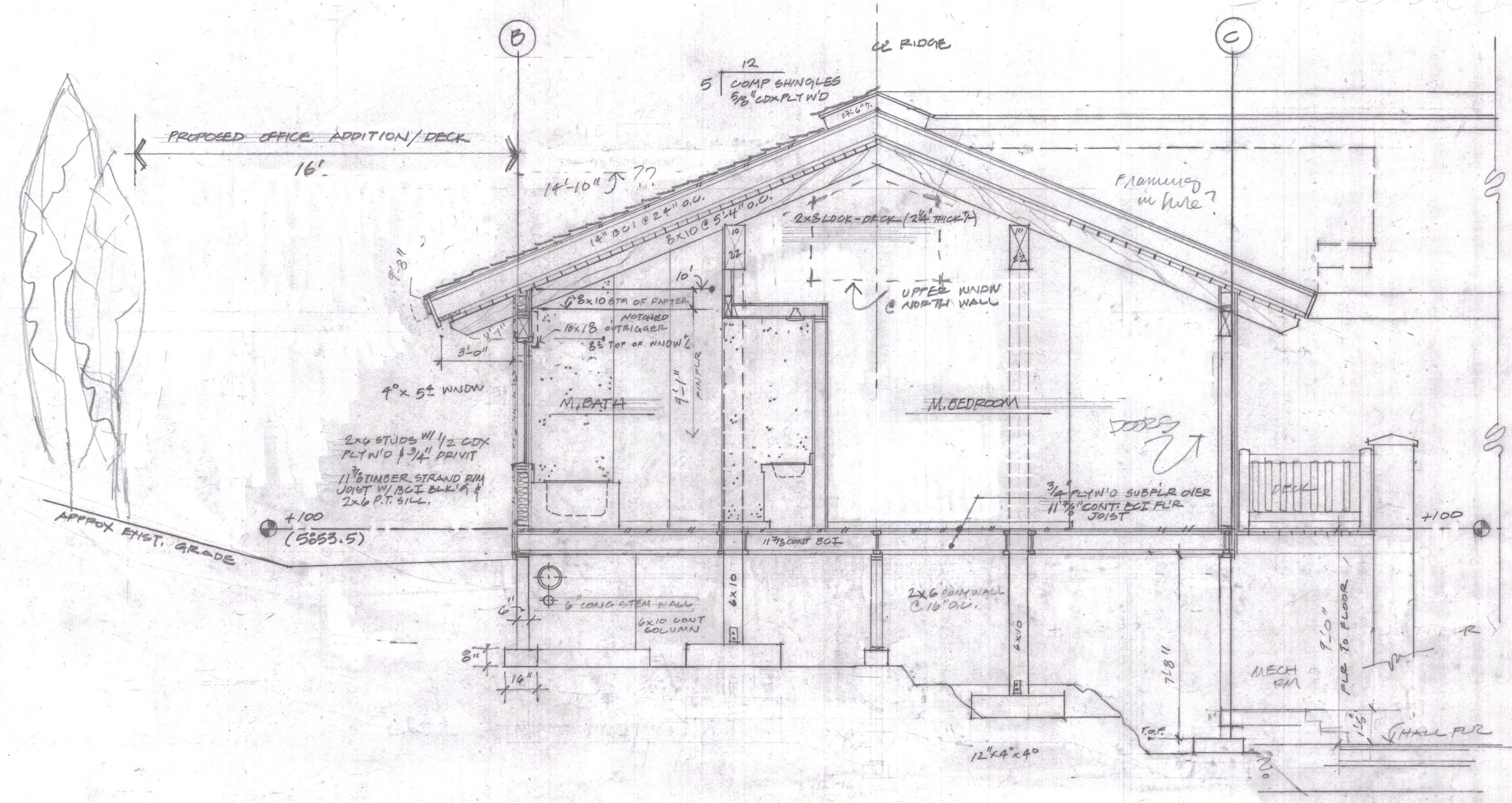
10.12.21



2x8 decking  
Mech cly htg  
M. Bed Rm door htg  
M. Bed Rm deck  
M. Hall doors

STAIR RISERS COUNT

to the right  
E: 3' from E.W.



1 EXISTING CROSS SECTION

Scale: 3/8" = 1'-0"

10.12.21



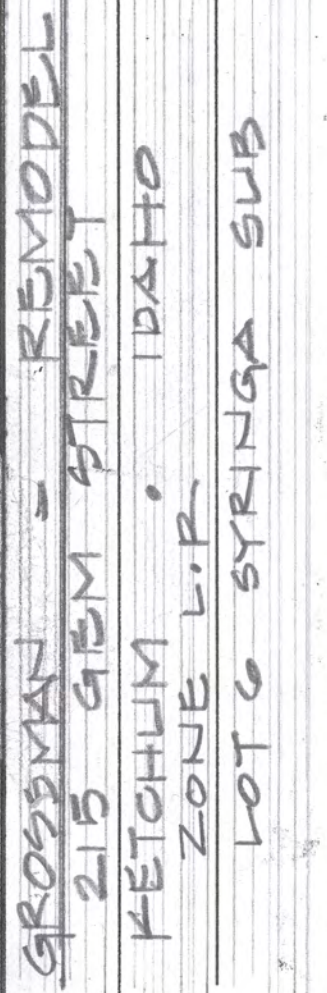
GROSSMAN REMODEL  
215 GEM STREET  
KETCHUM IDAHO  
ZONE LR  
LOT 6 SPRING SUB

STEVE R. COOK, ARCHITECT  
323 SOUTHWEST ST. SUITE 11, P.O. BOX 680, KETCHUM, ID, 83340  
PH: 208/725-5566  
FAX: 208/725-5568  
MEMBER AMERICAN INSTITUTE OF ARCHITECTS  
DESIGN, CONSTRUCTION AND RELATED SERVICES ARE PROVIDED BY THE ARCHITECT. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT. THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OR CONSTRUCTION OF ANY OTHER WORK OR FOR THE DESIGN OR CONSTRUCTION OF ANY OTHER WORK OR FOR THE DESIGN OR CONSTRUCTION OF ANY OTHER WORK.

REVISION RECORD		
NO.	DATE	BY

DRAWING NAME  
EXISTING  
CROSS  
SECTION  
SCALE  
3/8" = 1'-0"  
DATE OF ISSUE  
SUPERSEDES ALL PREVIOUS DRAWINGS  
PLOT DATE  
SHEET NO.  
A-8  
0.25.21



[illegible]

A-9  
8.25.21

CROSS SECTION @ OFFICE

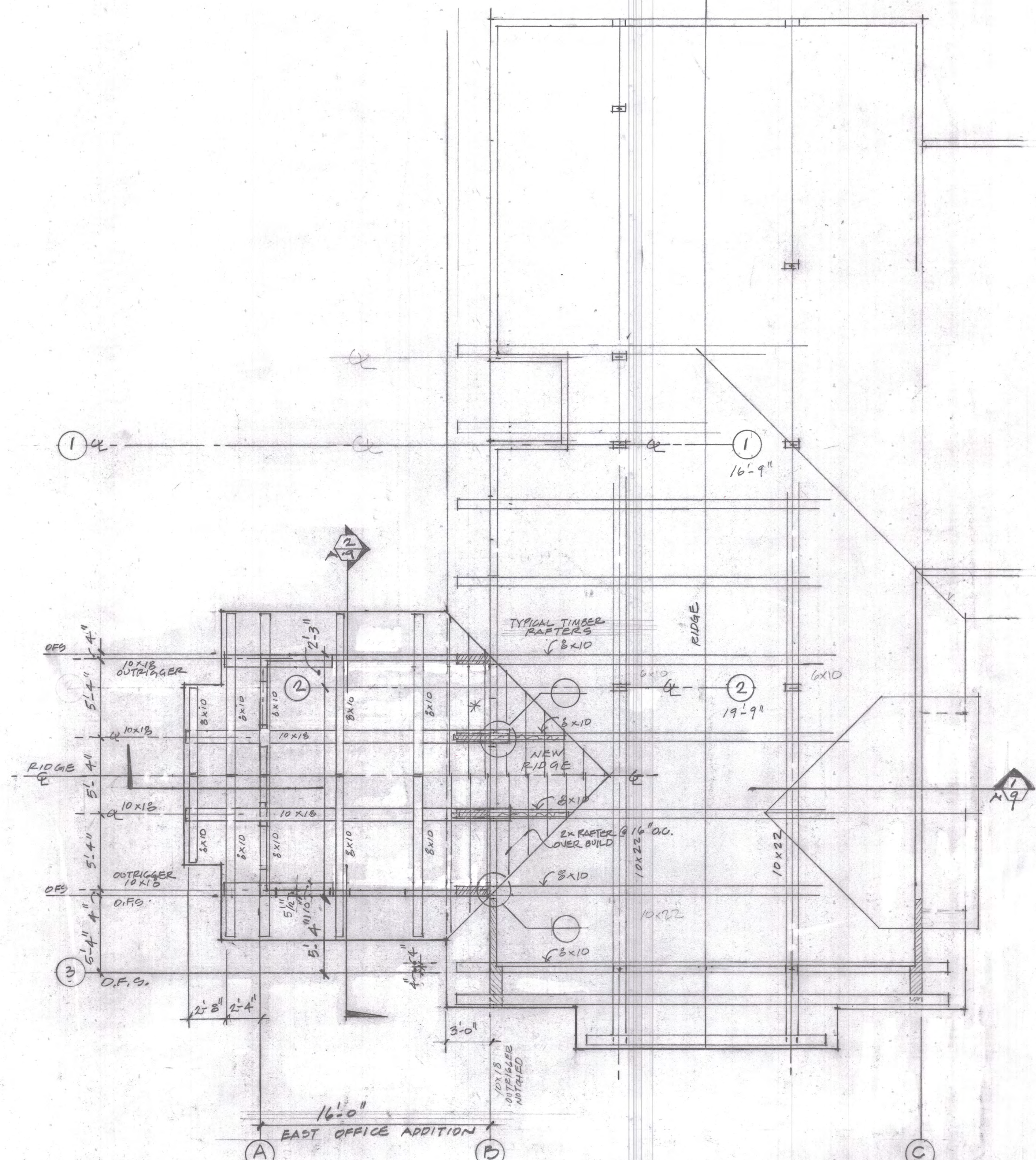
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PROPOSED LONGITUDINAL CROSS SECTION

Scale:  $\frac{3}{8}'' = 1'-0''$

10.12.21





1 ROOF FRAMING PLAN @ EAST OFFICE  
 10 Scale: 1/4" = 1'-0"  
 10.12.21

**steve r. cook, architect**  
 323 south lewis st. suite H, P.O. box 680, Ketchum ID, 83340  
 member american institute of architects

**GROSSEMAN - REMODEL**  
 215 GEM STREET  
 KETCHUM IDAHO  
 ZONE L.R.  
 LOT 6 SPRING SPRINGS SUB

PHONE (208) 725-5595  
 FAX (208) 725-5595

DATE: 10.12.21

revision record		
no.	date	by

**DRAWING NAME:**  
 ROOF FRAMING PLAN

**scale:**  
 1/4" = 1'-0"

**date of issue:**

**plot date:**

**sheet no.**  
 A-10  
 8.25.21



# NOTES

## SURVEY NARRATIVE:

1. THE PURPOSE OF THIS MAP IS TO SHOW 1' CONTOUR LINES, EDGE OF ASPHALT AND SELECT VISIBLE FEATURES IN RELATION TO PLATTED LOT LINES AND EASEMENTS. LOT LINES ARE BASED ON FOUND MONUMENTS. ALL FOUND MONUMENTS WERE ACCEPTED AS EITHER ORIGINAL CORNERS, OR REPLACEMENTS OF ORIGINAL CORNERS. SET MONUMENTS WERE ESTABLISHED USING PROPORTIONED DISTANCES AND BEARINGS ADJUSTED TO BLAINE COUNTY GIS.
2. REFERENCED SURVEYS: SYRINGA SPRINGS SUBDIVISION, INST. #302320
3. BOUNDARY DIMENSIONS SHOWN HEREON ARE MEASURED, FOR RECORD DIMENSIONS, SEE REFERENCED SURVEYS.
4. VERTICAL DATUM: ELEVATIONS BASED ON ASSUMED OR NAVD 88 (GEOID03) DATUM UTILIZING SMARTNET CORRS STATION IDKM.
5. UNDERGROUND UTILITIES WERE NOT LOCATED AND ARE NOT SHOWN HEREON.
6. THIS MAP WAS PREPARED FOR THE EXPRESS USE OF THE CLIENT AND IS NOT TRANSFERABLE TO OTHERS WITHOUT WRITTEN CONSENT.
7. A TITLE POLICY HAS NOT BEEN SUBMITTED TO BENCHMARK ASSOCIATES, NOR HAS A TITLE SEARCH BEEN REQUESTED. CERTAIN INFORMATION CONTAINED WITHIN SAID POLICY MAY NOT APPEAR ON THIS MAP OR MAY AFFECT ITEMS SHOWN ON THIS MAP.
8. ELECTRONIC DATA: BENCHMARK ASSOCIATES ACCEPTS NO RESPONSIBILITY OR LIABILITY FOR THE REUSE, DISTRIBUTION OR ACCURACY OF DATA CONTAINED ON ELECTRONIC COPIES OF THIS DRAWING. THE STAMPED HARD COPY OF THIS DRAWING IS THE FINAL PRODUCT.
9. THIS DRAWING IS VOID AFTER 2 YEARS AND NO FURTHER COPIES OR DIGITAL FILES WILL BE TRANSMITTED.

## EASEMENTS, ENCUMBRANCES AND RESTRICTIONS:

10. BUILDING AREA: BUILDING ENVELOPE IF SHOWN, IS PER PLAT. SETBACK AND FOOTPRINT REQUIREMENTS PER CURRENT CITY/COUNTY ORDINANCES MAY VARY FROM PLAT. IT IS RECOMMENDED THAT SAID ORDINANCES BE REVIEWED PRIOR TO DESIGN.
11. GENERAL RESTRICTIONS: EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS MAP, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY APPLICABLE TO THE SUBJECT OF REAL ESTATE: EASEMENTS, OTHER THAN THOSE SHOWN OR LISTED HEREON, BUILDING SETBACK LINES, RESTRICTIVE COVENANTS, SUBDIVISION RESTRICTIONS, ZONING, WETLANDS, AVALANCHE OR ANY OTHER LAND-USE REGULATIONS OR HAZARDS.

## SURVEY AND SITE FEATURES:

12. BASIS OF BEARINGS IS PER BLAINE COUNTY CONTROL MONUMENTS LEADVILLE RIVER TO K2ND-8TH. ALL DISTANCES SHOWN ARE GROUND DISTANCES IN U.S. SURVEY FEET.
13. BOUNDARY LINES AND CERTAIN EASEMENTS SHOWN HEREON ARE PER PLAT. REFER TO PLAT & CC&R'S FOR CONDITIONS AND/OR RESTRICTIONS REGARDING THIS PROPERTY.
14. UTILITIES AND DRAIN PIPES IF SHOWN HEREON ARE PER SURFACE EVIDENCE ONLY. OTHER UNDERGROUND UTILITIES MAY EXIST. LOCATION OF UNDERGROUND UTILITIES AND SERVICES SHOULD BE CONFIRMED PRIOR TO EXCAVATION OR DESIGN.
15. BUILDING WALLS IF SHOWN HEREON ARE OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
16. SPRINKLER HEADS AND IRRIGATION LINES ARE NOT SHOWN HEREON.
17. TREE LOCATIONS AND DRIP LINES IF SHOWN HEREON ARE APPROXIMATE.
18. ORTHOPHOTOGRAPHY: PHOTO RECTIFIED AT GROUND LEVEL ONLY. IMAGES OF OBJECTS ABOVE GROUND LEVEL (TREES, BUILDINGS, POWER POLES, ETC.,) MAY BE DISPLACED. DATE OF PHOTOGRAPHY: N/A.
19. CONTOUR INTERVAL: 1' - CONTOURS IN AREAS OF DENSE VEGETATION MAY DEVIATE FROM TRUE ELEVATION BY ONE HALF THE HEIGHT OF THE VEGETATION. DATE OF LIDAR FLIGHT FOR CONTOURS: 2017.
20. MAP SCALE: DUE TO ELECTRONIC MAP DELIVERY AND ALTERNATE PRINTING METHODS, PLEASE USE BAR SCALE TO DETERMINE ACTUAL PRINTED SCALE.
21. FEATURES OBSCURED FROM VIEW BY DEBRIS, SNOW, VEGETATION OR VEHICLES AT THE TIME OF SURVEY, DO NOT APPEAR ON THIS MAP.

## PREPARED BY:

BENCHMARK ASSOCIATES, P.A.  
P.O. BOX 733 - 100 BELL DRIVE, KETCHUM, IDAHO, 83340  
PHONE (208)726-9512 FAX (208)726-9514 EMAIL: mail@bma5b.com  
WEB: http://benchmark-associates.com/  
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PRELIMINARY  
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WORKSHEET

## PREPARED BY:

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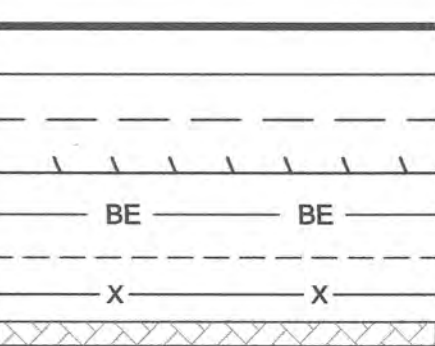
## SYRINGA SPRINGS LOT 6

LOCATED WITHIN  
SECTION 18, TOWNSHIP 4 NORTH, RANGE 18 EAST, B.M.,  
CITY OF KETCHUM, BLAINE COUNTY, IDAHO

PREPARED FOR: JILL GROSSMAN

PROJECT NO. 21113 DWG BY: ROB CRD: 21113.CRD 21113.DWG  
A TOPOGRAPHIC MAP DATE OF SURVEY: 7/1/2021 SHEET: 1 OF 1

## LEGEND



PROPERTY LINE  
ADJOINING PROPERTY LINE  
EDGE PAVEMENT  
EXTERIOR BUILDING FOOTPRINT  
BUILDING ENVELOPE  
EASEMENT  
FENCE  
PAVERS

XXX°XX'XX"E XX.XX'



MEASURED BEARINGS AND DISTANCES  
FOUND 1/2" REBAR  
FOUND 5/8" REBAR  
SET 1/2" REBAR  
CALCULATED POINT (PER PLAT)  
CONTROL POINT  
SEWER MANHOLE  
ELECTRIC METER  
GAS METER  
POWER BOX  
CABLE TV RISER  
TELEPHONE RISER  
WATER VALVE  
DECIDUOUS TREE  
CONIFER TREE

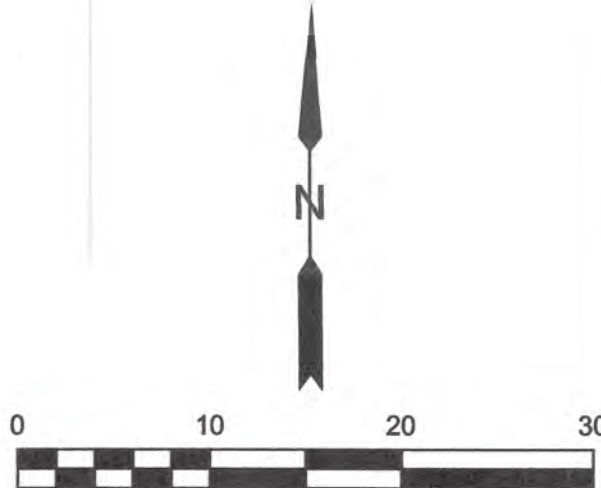
TAX LOT 8439 SEC 18 4N 18E

## LINE TABLE

LINE	BEARING	DISTANCE
L1	N03°29'38"W	5.00'
L2	N14°16'07"E	5.66'

## CURVE TABLE

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	58.87'	45.00'	74°57'18"	N51°50'31"E	54.76'







LEGEND

	PROPERTY LINE		MEASURED BEARINGS AND DISTANCES
	ADJOINING PROPERTY LINE		FOUND 1/2" REBAR
	EDGE PAVEMENT		FOUND 5/8" REBAR
	EXTERIOR BUILDING FOOTPRINT		SET 1/2" REBAR
	BUILDING ENVELOPE		CALCULATED POINT (PER PLAT)
	EASEMENT		CONTROL POINT
	FENCE		SEWER MANHOLE
	PAVERS		ELECTRIC METER
			GAS METER
			POWER BOX
			CABLE TV RISER
			TELEPHONE RISER
			WATER VALVE
			DECIDUOUS TREE
			CONIFER TREE

NOTES

- SURVEY NARRATIVE:
- THE PURPOSE OF THIS MAP IS TO SHOW 1" CONTOUR LINES, EDGE OF ASPHALT AND SELECT VISIBLE FEATURES IN RELATION TO PLATTED LOT LINES AND EASEMENTS. LOT LINES ARE BASED ON FOUND MONUMENTS. ALL FOUND MONUMENTS WERE ACCEPTED AS EITHER ORIGINAL CORNERS, OR REPLACEMENTS OF ORIGINAL CORNERS. SET MONUMENTS WERE ESTABLISHED USING PROPORTIONED DISTANCES AND BEARINGS ADJUSTED TO BLAINE COUNTY GIS.
  - REFERENCED SURVEYS: SYRINGA SPRINGS SUBDIVISION, INST. #302320
  - BOUNDARY DIMENSIONS SHOWN HEREON ARE MEASURED, FOR RECORD DIMENSIONS, SEE REFERENCED SURVEYS.
  - VERTICAL DATUM: ELEVATIONS BASED ON ASSUMED OR NAVD 88 (GEOID03) DATUM UTILIZING SMARTNET CORS STATION 1DKM.
  - UNDERGROUND UTILITIES WERE NOT LOCATED AND ARE NOT SHOWN HEREON.
  - THIS MAP WAS PREPARED FOR THE EXPRESS USE OF THE CLIENT AND IS NOT TRANSFERABLE TO OTHERS WITHOUT WRITTEN CONSENT.
  - A TITLE POLICY HAS NOT BEEN SUBMITTED TO BENCHMARK ASSOCIATES, NOR HAS A TITLE SEARCH BEEN REQUESTED. CERTAIN INFORMATION CONTAINED WITHIN SAID POLICY MAY NOT APPEAR ON THIS MAP OR MAY AFFECT ITEMS SHOWN ON THIS MAP.
  - ELECTRONIC DATA: BENCHMARK ASSOCIATES ACCEPTS NO RESPONSIBILITY OR LIABILITY FOR THE REUSE, DISTRIBUTION OR ACCURACY OF DATA CONTAINED ON ELECTRONIC COPIES OF THIS DRAWING. THE STAMPED HARD COPY OF THIS DRAWING IS THE FINAL PRODUCT.
  - THIS DRAWING IS VOID AFTER 2 YEARS AND NO FURTHER COPIES OR DIGITAL FILES WILL BE TRANSMITTED.
- EASEMENTS, ENCUMBRANCES AND RESTRICTIONS:
- BUILDING AREA: BUILDING ENVELOPE IF SHOWN, IS PER PLAT. SETBACK AND FOOTPRINT REQUIREMENTS PER CURRENT CITY/COUNTY ORDINANCES MAY VARY FROM PLAT. IT IS RECOMMENDED THAT SAID ORDINANCES BE REVIEWED PRIOR TO DESIGN.
  - GENERAL RESTRICTIONS : EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS MAP, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY BE APPLICABLE TO THE SUBJECT OF REAL ESTATE: EASEMENTS, OTHER THAN THOSE SHOWN OR LISTED HEREON, BUILDING SETBACK LINES, RESTRICTIVE COVENANTS, SUBDIVISION RESTRICTIONS, ZONING, WETLANDS, AVALANCHE OR ANY OTHER LAND-USE REGULATIONS OR HAZARDS.

- SURVEY AND SITE FEATURES:
- BASIS OF BEARINGS IS PER BLAINE COUNTY CONTROL MONUMENTS LEADVILLE RIVER TO K2ND-8TH. ALL DISTANCES SHOWN ARE GROUND DISTANCES IN U.S. SURVEY FEET.
  - BOUNDARY LINES AND CERTAIN EASEMENTS SHOWN HEREON ARE PER PLAT. REFER TO PLAT & CC&R'S FOR CONDITIONS AND/OR RESTRICTIONS REGARDING THIS PROPERTY.
  - UTILITIES AND DRAIN PIPES IF SHOWN HEREON ARE PER SURFACE EVIDENCE ONLY. OTHER UNDERGROUND UTILITIES MAY EXIST. LOCATION OF UNDERGROUND UTILITIES AND SERVICES SHOULD BE CONFIRMED PRIOR TO EXCAVATION OR DESIGN.
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  - TREE LOCATIONS AND DRIP LINES IF SHOWN HEREON ARE APPROXIMATE.
  - ORTHO PHOTOGRAPHY: PHOTO RECTIFIED AT GROUND LEVEL ONLY. IMAGES OF OBJECTS ABOVE GROUND LEVEL (TREES, BUILDINGS, POWER POLES, ETC.) MAY BE DISPLACED. DATE OF PHOTOGRAPHY: MAY 2017.
  - CONTOUR INTERVAL: 1' - CONTOURS IN AREAS OF DENSE VEGETATION MAY DEVIATE FROM TRUE ELEVATION BY ONE HALF THE HEIGHT OF THE VEGETATION. DATE OF LIDAR FLIGHT FOR CONTOURS: 2017.
  - MAP SCALE: DUE TO ELECTRONIC MAP DELIVERY AND ALTERNATE PRINTING METHODS, PLEASE USE BAR SCALE TO DETERMINE ACTUAL PRINTED SCALE.
  - FEATURES OBSCURED FROM VIEW BY DEBRIS, SNOW, VEGETATION OR VEHICLES AT THE TIME OF SURVEY, DO NOT APPEAR ON THIS MAP.

PREPARED BY :  
BENCHMARK ASSOCIATES, P.A.  
P.O. BOX 733 - 100 BELL DRIVE, KETCHUM, IDAHO, 83340  
PHONE (208)726-9512 FAX (208)726-9514 EMAIL: mail@bma5b.com  
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PRELIMINARY  
DRAFT  
WORKSHEET

C-2



SYRINGA SPRINGS  
LOT 6

LOCATED WITHIN  
SECTION 18, TOWNSHIP 4 NORTH, RANGE 18 EAST, B.M.,  
CITY OF KETCHUM, BLAINE COUNTY, IDAHO

PREPARED FOR : JILL GROSSMAN

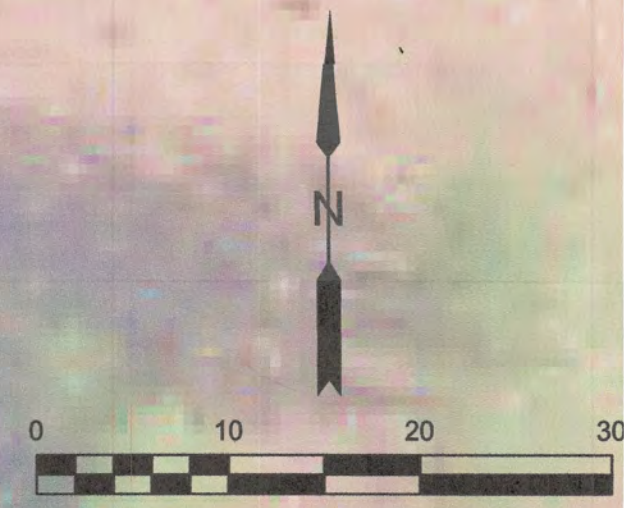
PROJECT NO. 21113	DWG BY: ROB	CRD: 21113.CRD	21113.DWG
A TOPOGRAPHIC MAP	DATE OF SURVEY: 7/1/2021		SHEET: 1 OF 1

LINE TABLE

LINE	BEARING	DISTANCE
L1	N03°29'38"W	5.00'
L2	N14°16'07"E	5.66'

CURVE TABLE

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	58.87'	45.00'	74°57'18"	N51°50'31"E	54.76'



8.25.21  
10.12.21



### LEGEND

BE BE

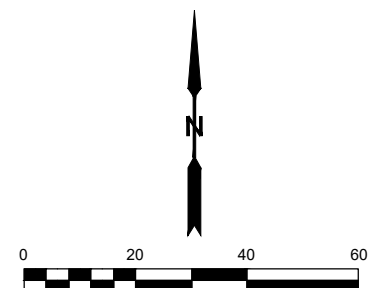
PROPERTY LINE  
ADJOINING PROPERTY LINE  
PROPOSED BUILDING ENVELOPE  
EXISTING BUILDING ENVELOPE PER PLAT ELIMINATED  
EASEMENT  
BUILDING ENVELOPE & BLAINE COUNTY GIS TIES  
FOUND 1/2" REBAR  
FOUND 5/8" REBAR  
FOUND ALUMINUM CAP  
CALCULATED POINT, PER PLAT  
FOUND SURVEY MARKER  
WITNESS CORNER

SYRINGA SPRINGS SUBDIVISION:  
BLOCK 1, LOT 6A

WHEREIN THE BUILDING ENVELOPE ON LOT 6 SYRINGA SPRINGS SUBDIVISION IS AMENDED, CREATING LOT 6A.

LOCATED WITHIN: SECTION 18, TOWNSHIP 4 NORTH, RANGE 17 EAST, B.M.,  
CITY OF KETCHUM, BLAINE COUNTY, IDAHO

NOVEMBER 2021

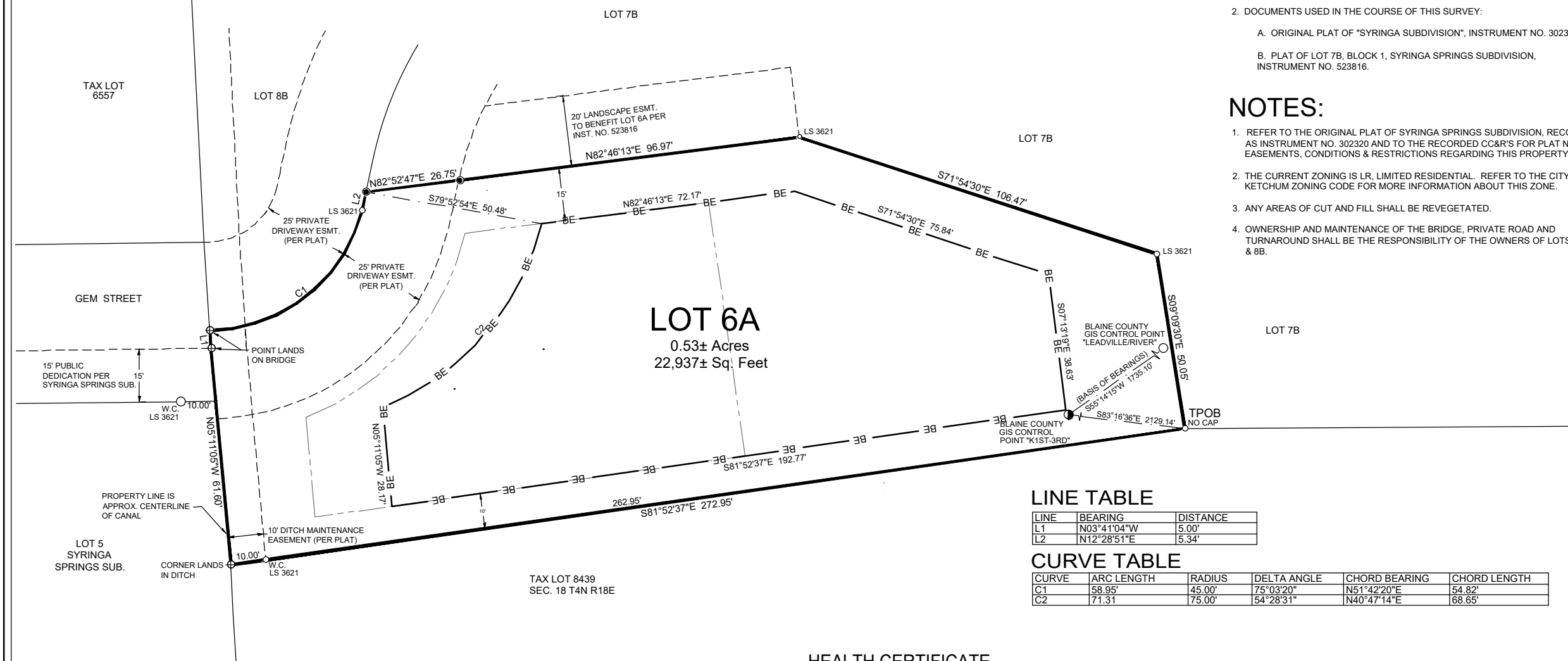


**SURVEYOR'S NARRATIVE:**

1. THE PURPOSE OF THIS PLAT IS TO AMEND THE BUILDING ENVELOPE ON LOT 6, SYRINGA SPRINGS SUBDIVISION.  
FOUND MONUMENTS WERE ACCEPTED AS EITHER ORIGINAL, OR REPLACEMENTS OF ORIGINAL CORNERS.
2. DOCUMENTS USED IN THE COURSE OF THIS SURVEY:
  - A. ORIGINAL PLAT OF "SYRINGA SUBDIVISION", INSTRUMENT NO. 302320.
  - B. PLAT OF LOT 7B, BLOCK 1, SYRINGA SPRINGS SUBDIVISION, INSTRUMENT NO. 523816.

NOTES:

1. REFER TO THE ORIGINAL PLAT OF SYRINGA SPRINGS SUBDIVISION, RECORDED AS INSTRUMENT NO. 302,320 AND TO THE RECORDED CCR&S FOR PLAT NOTES, EASEMENTS, CONDITIONS & RESTRICTIONS REGARDING THIS PROPERTY.
2. THE CURRENT ZONING IS LR, LIMITED RESIDENTIAL. REFER TO THE CITY OF KETCHUM ZONING CODE FOR MORE INFORMATION ABOUT THIS ZONE.
3. ANY AREAS OF CUT AND FILL SHALL BE REVEGETATED.
4. OWNERSHIP AND MAINTENANCE OF THE BRIDGE, PRIVATE ROAD AND TURNAROUND SHALL BE THE RESPONSIBILITY OF THE OWNERS OF LOTS 6A, 7B & 8B.



## LINE TABLE

LINE	BEARING	DISTANCE
L1	N03°41'04"W	5.00'
L2	N12°28'51"E	5.34'

## CURVE TABLE

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	58.95'	45.00'	75°03'20"	N51°42'20"E	54.82'
C2	71.31'	75.00'	54°28'31"	N40°47'14"E	68.65'

# HEALTH CERTIFICATE

Sanitary restrictions as required by Idaho Code Title 50, Chapter 13, have been satisfied. Sanitary restrictions may be reimposed, in accordance with Idaho Code Title 50, Chapter 13, Section 50-1326, by the issuance of a certificate of disapproval.

Dated: \_\_\_\_\_

South Central Public Health District, REHS



PREPARED BY :  
BENCHMARK ASSOCIATES, P.A.  
P.O. BOX 733 - 100 BELL DRIVE, KETCHUM, IDAHO, 83340  
PHONE (208)726-9512 FAX (208)726-9514



SYRINGA SPRINGS SUBD.:  
BLOCK 1, LOT 6A

LOCATED WITHIN: SECTION 18, T4N, R18RE, B.M.,  
CITY OF KETCHUM, BLAINE COUNTY, IDAHO

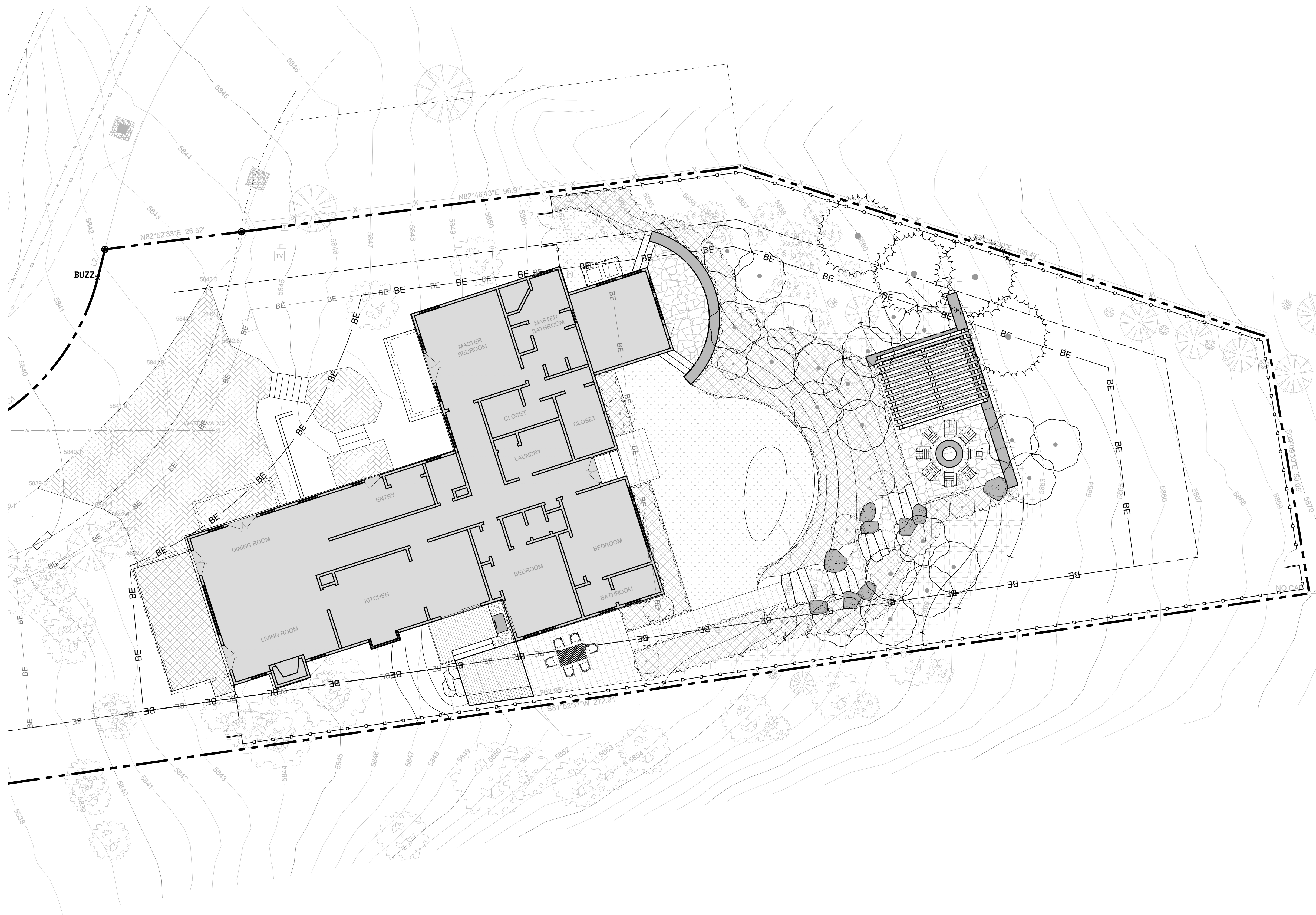
PREPARED FOR: JILL GROSSMAN

PROJECT NO. 21113	DWG BY: ROB/CPL	FILE: 21113PG1.DWG
FINAL PLAT	DATE: 11-24-2021	SHEET: 1 OF 2



# 215 GEM STREET

## KETCHUM, ID 83340



SHEET INDEX	
SHEET TITLE	SHEET NO.
COVER	L-0.0
SURVEY	L-1.0
SITE DEMOLITION PLAN	L-1.1
SITE OVERVIEW PLAN	L-2.0
SITE GRADING PLAN	L-3.0
SITE MATERIALS AND LAYOUT PLAN	L-4.0
SITE PLAN ENLARGEMENT - UPPER TERRACE	L-4.1
UPPER TERRACE ELEVATIONS	L-4.2
SITE PLAN ENLARGEMENT - OUTDOOR DINING	L-4.3
PLANTING PLAN, NOTES, AND SCHEDULE	L-5.0
LIGHTING AND UTILITY PLAN	L-6.0
FIXTURE SPECIFICATION SHEET	L-6.1
SITE DETAILS	L-7.1
SITE DETAILS	L-7.2
SITE DETAILS	L-7.3
SITE DETAILS	L-7.4

### PROJECT INFORMATION

#### OWNER

JILL GROSSMAN + ANDY FRADKIN

#### PROJECT ADDRESS

215 GEM ST.  
KETCHUM, ID 83340

#### LEGAL DESCRIPTION

XXXXXX

#### PARCEL NUMBER

RPK05560000060

#### LANDSCAPE ARCHITECT

BYLA  
323 LEWIS ST.  
SUITE N  
KETCHUM, ID 83340

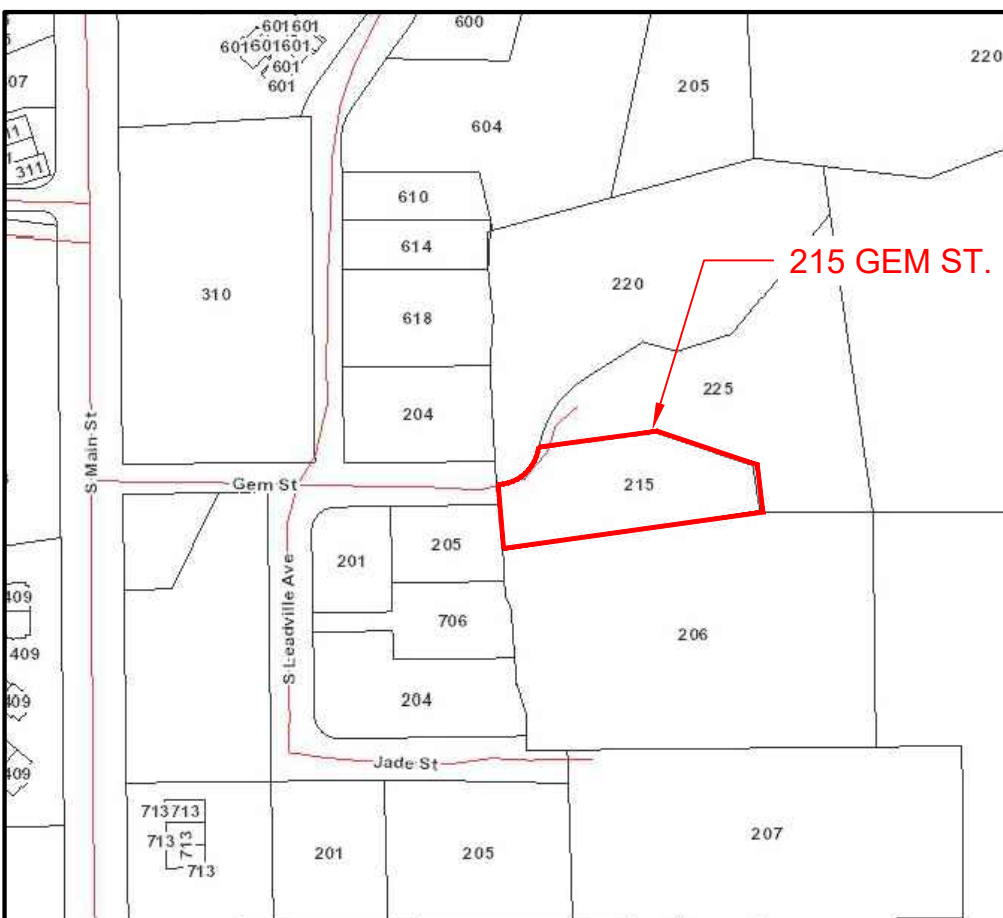
#### CONTRACTOR/BUILDER

### VICINITY MAP



NOT TO SCALE

### SITE LOCATOR



NOT TO SCALE

**BYLA**  
LANDSCAPE ARCHITECTS

ISSUE  
1 10/11/2021 DESIGN REVIEW SET  
REVISIONS

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BYLA Landscape Architects



**LANDSCAPE REMODEL**  
**GROSSMAN / FRADKIN RESIDENCE**  
**215 GEM ST., KETCHUM, ID 83340**

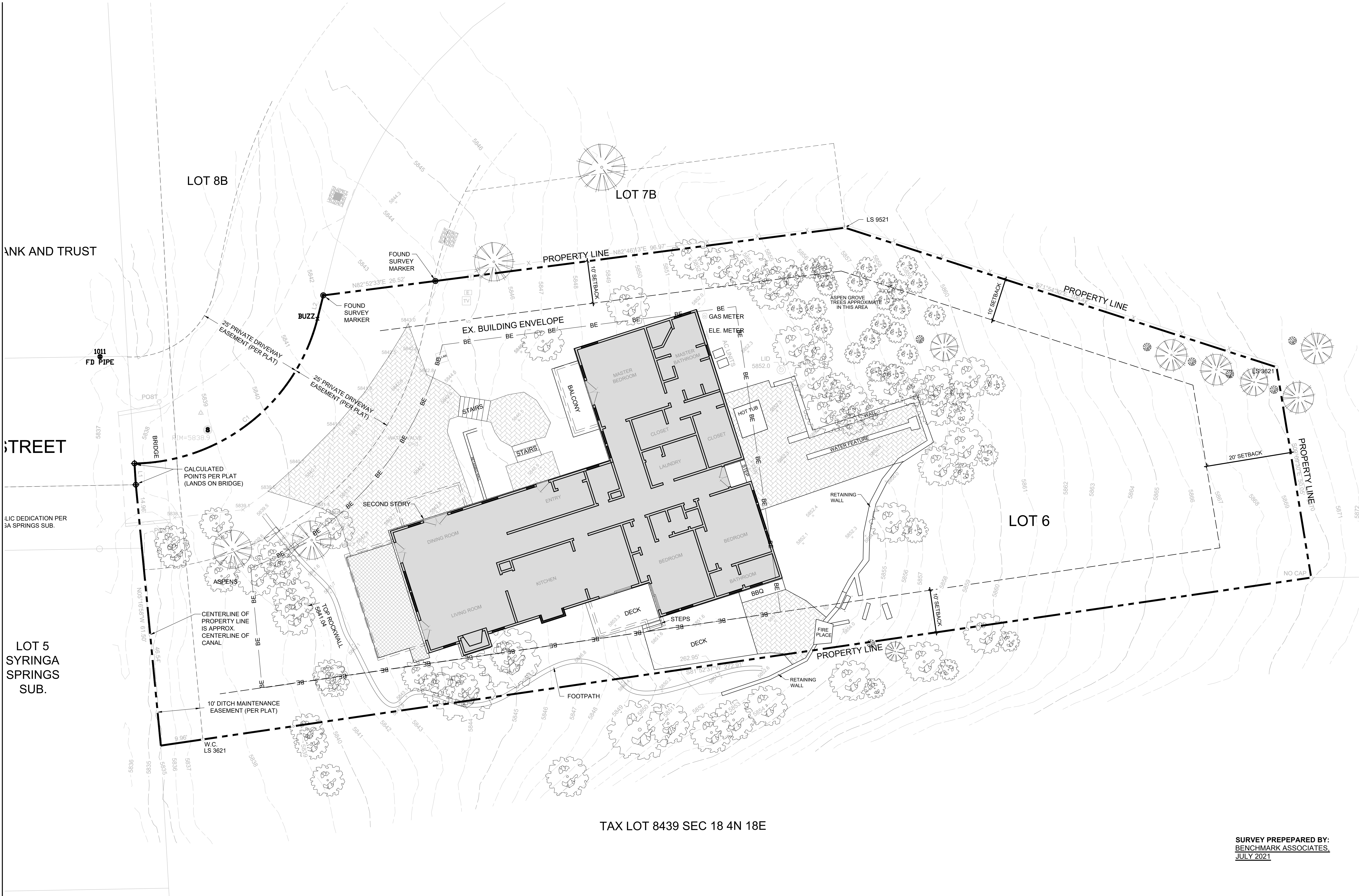
FILENAME:  
PROJECT MANAGER: **EM**  
DRAWN BY: **KP**  
ISSUE DATE: 11/02/2021  
PLOT DATE:

**COVER SHEET**

SHEET NO.

**L-0.0**





ANK AND TRUST

STREET

UBLIC DEDICATION PER  
SA SPRINGS SUB.

LOT 5  
SYRINGA  
SPRINGS  
SUB.

TAX LOT 8439 SEC 18 4N 18E

SURVEY PREPARED BY:  
BENCHMARK ASSOCIATES,  
JULY 2021



**LANDSCAPE REMODEL**  
**GROSSMAN / FRADKIN RESIDENCE**  
**215 GEM ST., KETCHUM, ID 83340**

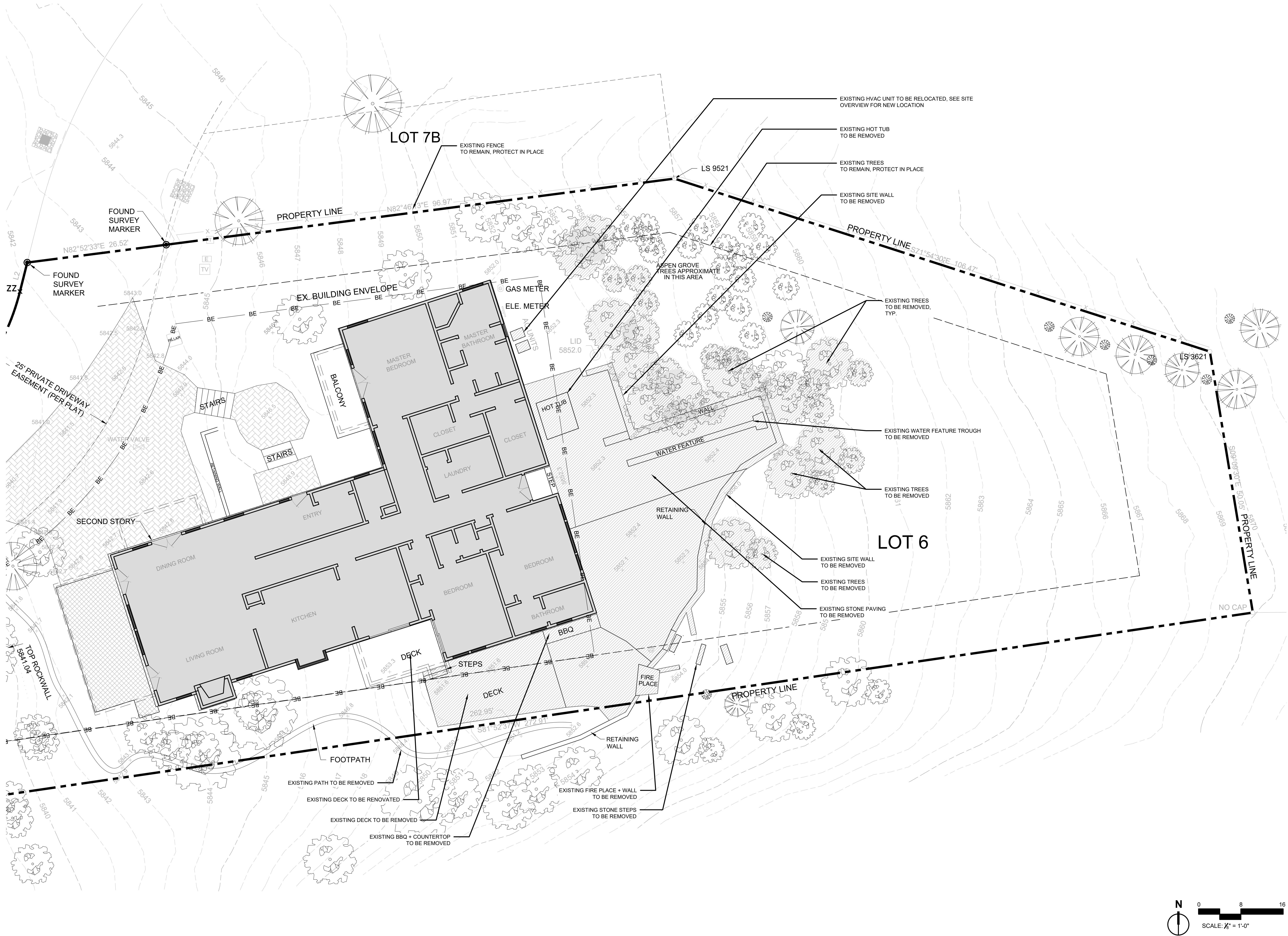
FILENAME:  
PROJECT MANAGER: **EM**  
DRAWN BY: **KP**  
ISSUE DATE: **11/02/2021**  
PLOT DATE:

**SITE SURVEY**

SHEET NO.

**L-1.0**





# LANDSCAPE REMODEL

## GROSSMAN / FRADKIN RESIDENCE

215 GEM ST., KETCHUM, ID 83340

FILENAME:	
PROJECT MANAGER:	EM
DRAWN BY:	KP
ISSUE DATE:	11/02/2021
PLOT DATE:	

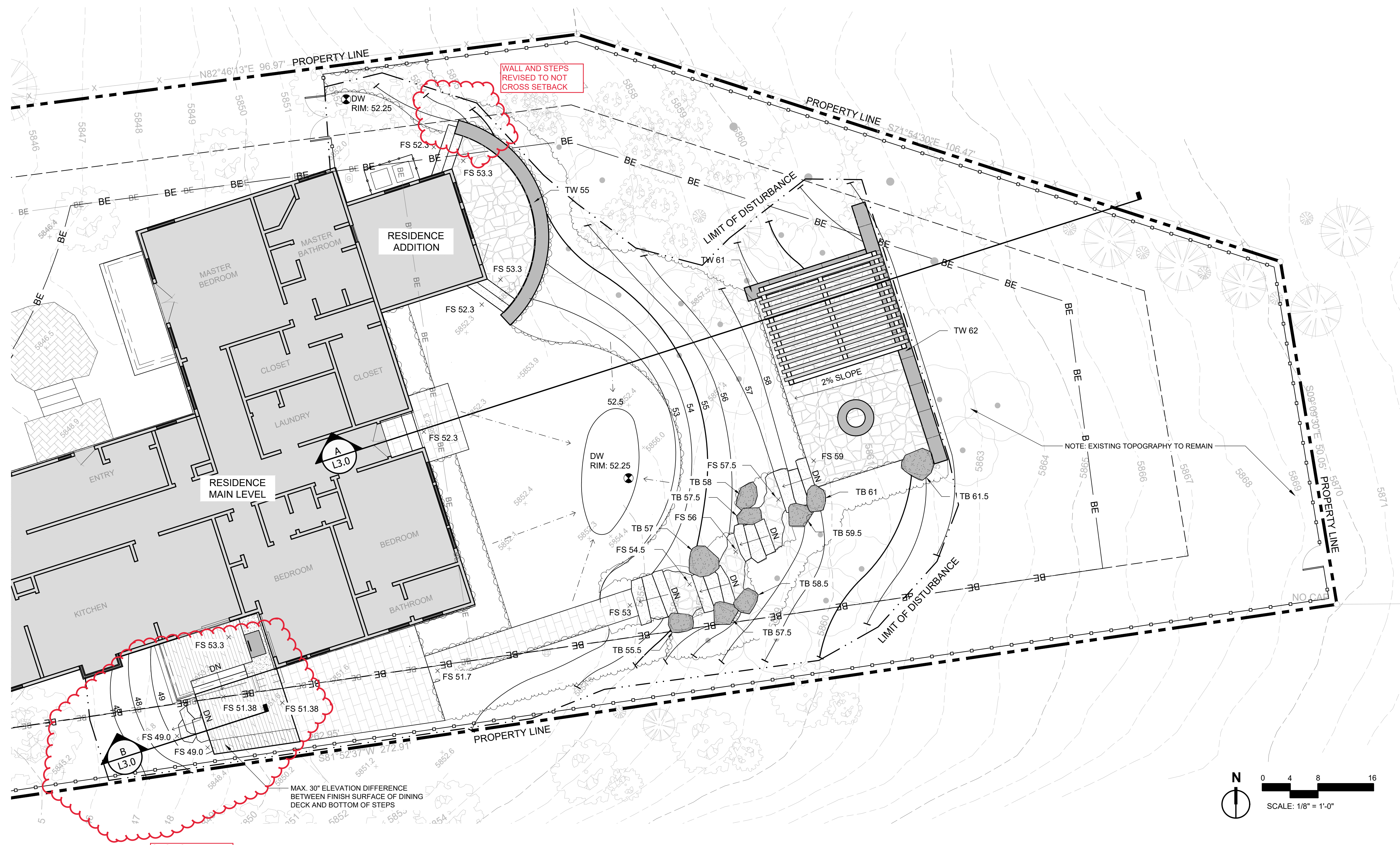
### SITE DEMOLITION PLAN

SHEET NO.





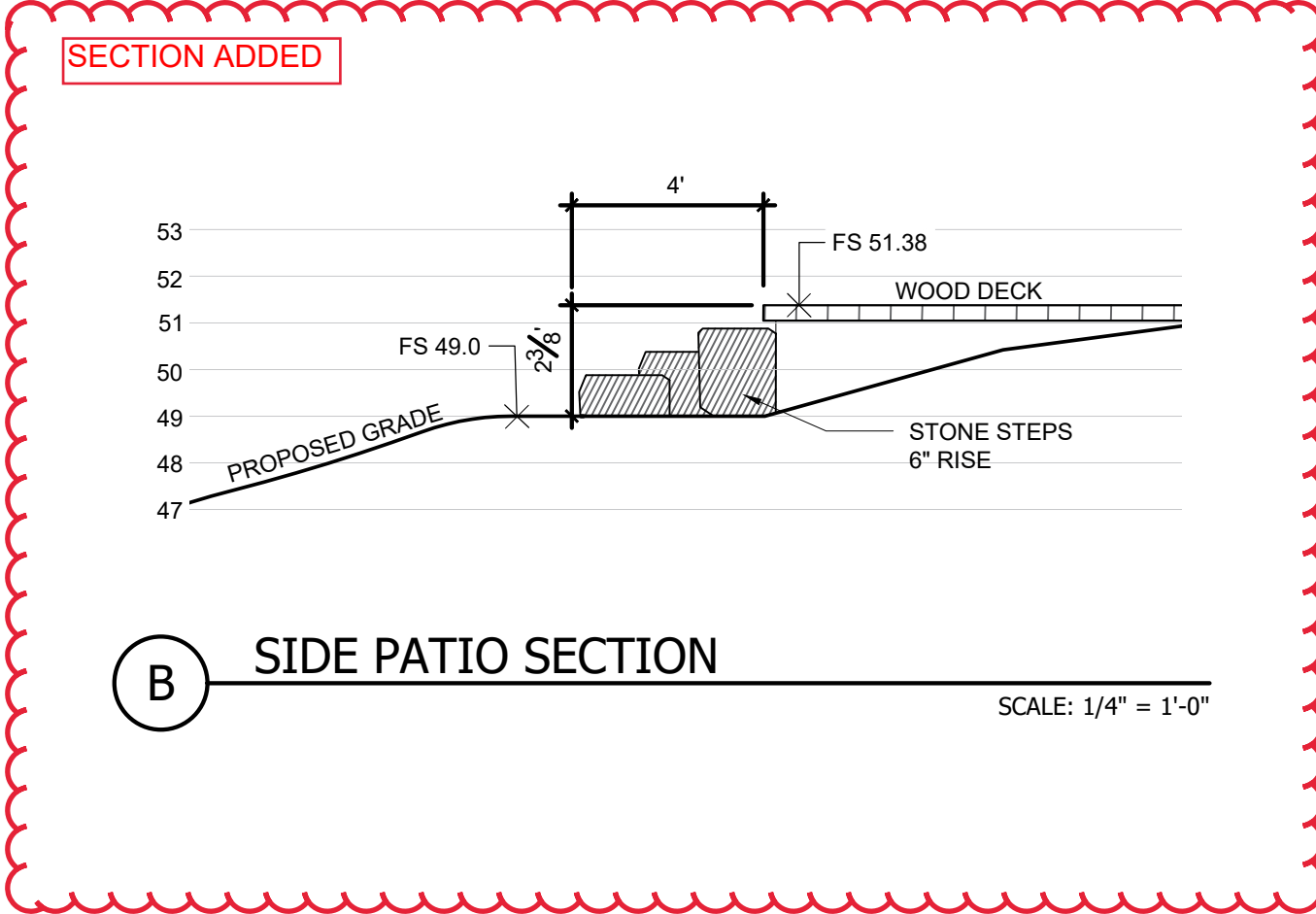
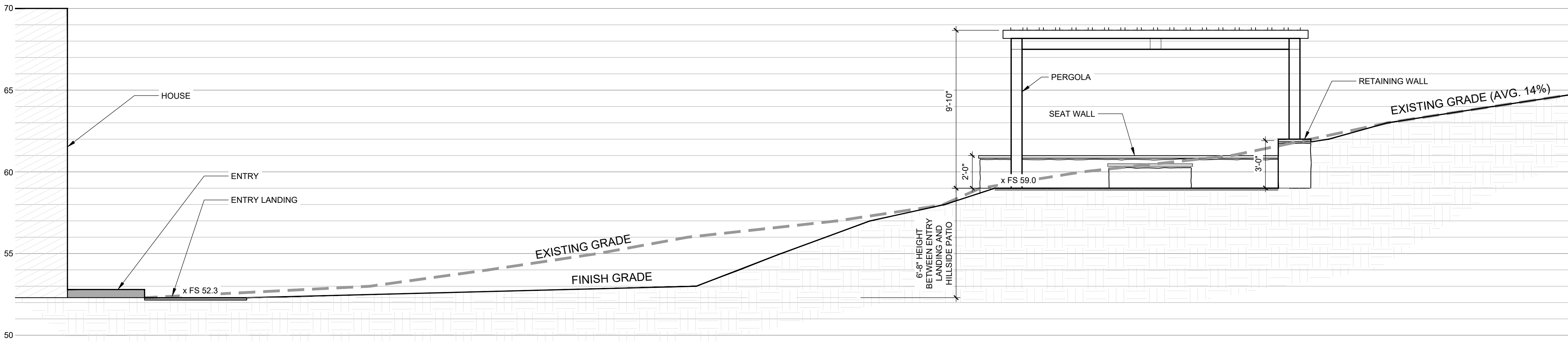




GRADING + DRAINAGE LEGEND	
SYMBOL	DESCRIPTION
---	Property Line
BE	Building Envelope
---	Setbacks / Easements
(XXXX)	Existing Contours
XXXX	Proposed Contours
---	Limit of Disturbance
X.X%	Grade Pitch
---	Drainage Flow Line
⊙	Dry Well Drainage Structure
+H.P.S	High Point of Swale
FFE	Finished Floor Elevation
x 10.50	Spot Elevation
FG	Finished Grade
FS	Finished Surface
TS	Top of Step
BS	Bottom of Step
TW	Top of Wall
BW	Bottom of Wall
DW	Dry Well
LP	Low Point
HP	High Point
TB	Top of Boulder

GRADING NOTES

- SEE CIVIL PLAN FOR ALL UTILITY LOCATIONS; CONTRACTOR TO VERIFY SITE UTILITIES AND INFRASTRUCTURE LOCATIONS PER CIVIL ENGINEER AS-BUILT DRAWINGS PRIOR TO CONSTRUCTION.
- CONTRACTOR TO VERIFY TOP OF WALL ELEVATIONS WITH LANDSCAPE ARCHITECT PRIOR TO STARTING CONSTRUCTION.
- REFER TO ARCHITECTURAL AND STRUCTURAL ENGINEERING PLANS FOR ALL FINISHED FLOOR ELEVATIONS (FEE).
- GRADING SHOWN ON PLAN IS CONCEPTUAL AS SHOWN FOR DESIGN PURPOSED ONLY. LANDSCAPE ARCHITECT TO VERIFY FINAL GRADING ONSITE WITH CONTRACTOR.
- CONTRACTOR SHALL UTILIZE 'BEST MANAGEMENT PRACTICES' (BMP) TO CONTROL EROSION AND SEDIMENTATION BEFORE AND DURING CONSTRUCTION.
- CATCH BASINS AND DRYWELLS TO BE INSTALLED PER GEO-TECHNICAL ENGINEER RECOMMENDATIONS.
- ALL GRADING AND TRENCHING WITHIN THE DRIPLINE OF EXISTING TREES TO BE DONE BY HAND WITH CARE TAKEN NOT TO CUT OR DAMAGE ROOTS OVER 1-INCH DIAMETER. TREES TO REMAIN SHALL BE FENCED WITH TEMPORARY FENCING, SUCH AS STEEL STAKES (MAX. 5 FEET O.C.) WITH WIRE MESH FABRICS (6X6 OPEN), CHAINLINK OR SIMILAR - HEIGHT TO BE 5-FEET MINIMUM. TEMPORARY IRRIGATION IS REQUIRED TO ALL EXISTING TREES TO REMAIN DURING CONSTRUCTION.
- EXCAVATION CONTRACTOR TO LEAVE ALL REGIONS OF DISTURBED NATIVE AREA WITHIN 4" OF FINISHED GRADE. LANDSCAPER TO SUPPLY 4" OF TOP SOIL THROUGHOUT NATIVE PLANTING AND REHABILITATION AREA.
- ALL RECLAIMED SLOPES GREATER THAN 3:1 MUST UTILIZE BIODEGRADABLE EROSION CONTROL MAT.



A SITE SECTION

B SIDE PATIO SECTION



LANDSCAPE REMODEL  
GROSSMAN / FRADKIN RESIDENCE  
215 GEM ST., KETCHUM, ID 83340

FILENAME:  
PROJECT MANAGER: EM  
DRAWN BY: KP

ISSUE DATE: 11/02/2021

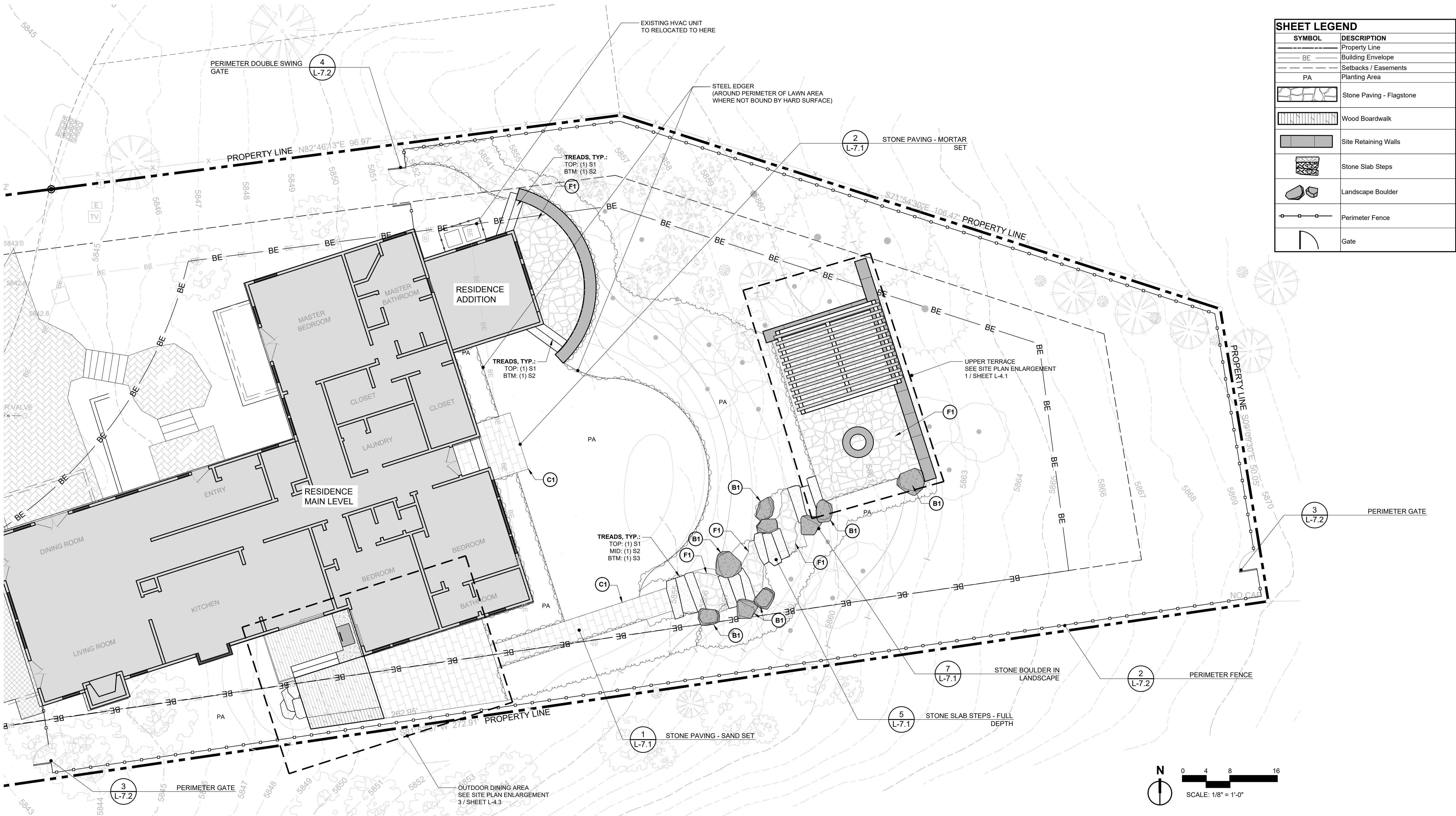
PLOT DATE:

SITE GRADING  
PLAN

SHEET NO.

L-3.0





SHEET LEGEND	
SYMBOL	DESCRIPTION
	Property Line
	Building Envelope
	Setbacks / Easements
	Planting Area
	Stone Paving - Flagstone
	Wood Boardwalk
	Site Retaining Walls
	Stone Slab Steps
	Landscape Boulder
	Perimeter Fence
	Gate

- GENERAL NOTES**
- WORK PERFORMED SHALL COMPLY WITH GENERAL NOTES, CONSTRUCTION DOCUMENTS, APPLICABLE LOCAL, STATE, AND FEDERAL CODES, AND APPLICABLE REQUIREMENT FROM ANY REGULATORY AGENCY.
  - COMPOSITE BASE SHEET: THE PROPOSED IMPROVEMENT SHOWN ON THESE DRAWINGS ARE SUPERIMPOSED ON A BASE SHEET. THIS BASE SHEET IS COMPILED FROM THE TOPOGRAPHIC SURVEY, OTHER ARCHITECTURAL AND/OR ENGINEERING DOCUMENTS, AND OTHER DATA AS MADE AVAILABLE TO THE LANDSCAPE ARCHITECT. THIS BASE SHEET INFORMATION IS SHOWN IN HALF TONE ON THE PLANS. THE LANDSCAPE ARCHITECT SHALL NOT BE HELD LIABLE FOR CHANGES, INACCURACIES, OMISSIONS, OR OTHER ERRORS ON THESE DOCUMENTS. THE COMPOSITE BASE SHEET IS PROVIDED AS AN AID ONLY AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING THESE DOCUMENTS AND INCORPORATING/INTEGRATING ALL CONSTRUCTION AS REQUIRED TO ACCOMMODATE SAME. IF ANY PART OF THIS PLAN CANNOT BE FOLLOWED DUE TO SITE CONDITIONS, CONTACT OWNER'S REPRESENTATIVE FOR INSTRUCTIONS PRIOR TO COMMENCING WORK.
  - EXISTING SURVEY MARKER PROTECTION: THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SURVEY MONUMENTS OR MARKERS DURING CONSTRUCTION.
  - EXISTING DRAINAGE PROTECTION: THE CONTRACTOR SHALL MAINTAIN ALL EXISTING DRAINAGE AND SEWER FACILITIES WITHIN THE CONSTRUCTION AREA UNTIL NEW DRAINAGE AND SEWER IMPROVEMENT ARE IN PLACE AND FUNCTIONING.
  - STORM WATER PERMIT: A STORM WATER PERMIT MUST BE OBTAINED WHEN CONSTRUCTION ACTIVITY RESULTS IN SOIL DISTURBANCE AS DETERMINED BY LOCAL CODE.
  - WALL VERIFICATION: CONTRACTOR TO VERIFY TOP AND BOTTOM OF WALL ELEVATIONS, WALL HEIGHT AND LOCATION ONSITE WITH OWNER'S REPRESENTATIVE PRIOR TO BEGINNING CONSTRUCTION.
  - ALL FOUNDATIONS AND FOOTINGS, TO BE VERIFIED BY ENGINEER PRIOR TO CONSTRUCTION.
  - TREE DAMAGE MITIGATION: WHEN EXCAVATION NEAR A TREE TO BE PROTECTED MUST BE CARRIED OUT, DAMAGE CAN BE LIMITED BY ROOT PRUNING. ROOT PRUNING SHALL BE COMPLETED BEFORE GRADING IS STARTED AND SHALL OCCUR BENEATH THE PROTECTIVE FENCING AS SHOWN ON THE PLAN. ROOT PRUNING SHALL BE PERFORMED, WHEN REQUIRED, WITH A TRENCHER SUCH AS A TELEPHONE CABLE PULLER OR A "DITCH WITCH" PRIOR TO ADJACENT EXCAVATION. THE TRENCHING SHALL BE TO A MINIMUM DEPTH OF 24" OR THE DEPTH OF EXCAVATION. THE CONTRACTOR SHALL STAKE THE LIMIT OF ROOT PRUNING AS PER THE PLAN. LIMITS OF TRENCHING SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ANY TRENCHING IN THE FIELD. DO NOT TRENCH FOR IRRIGATION OR ELECTRICAL WITHIN DRIP LINES OF EXISTING TREES. COORDINATE ALL TRENCHING REQUIRED FOR UTILITY WORK WITH THE LANDSCAPE PLANS.

STONE VENEER SCHEDULE				
SITE RETAINING WALL				
KEYNOTE	STONE TYPE	QTY	DIMENSIONS	NOTES
V1	Buffalo Jump Moss Rock	XX FF	Ashlar pattern	See reference picture

STONE CAP SCHEDULE				
SITE RETAINING WALL CAPS				
KEYNOTE	STONE TYPE	QTY	DIMENSIONS	NOTES
C1	Frontier - Cut Stone	470 SF	24" x 48"	Dimensions to be confirmed.

HARDSCAPE SCHEDULE				
UPPER TERRACE AND LANDINGS				
KEYNOTE	STONE TYPE	QTY	DIMENSIONS	NOTES
F1	Frontier Sandstone	730 SF	Flagstone	See plans for sand set vs mortar set areas

STONE BOULDER SCHEDULE				
STONE BOULDERS IN LANDSCAPE				
KEYNOTE	STONE TYPE	QTY	DIMENSIONS	NOTES
B1	Deep Creek	9	Vary	Size TBD

STEP / TREAD SCHEDULE				
STONE SLAB STEPS				
KEYNOTE	STONE TYPE	QTY	DIMENSIONS	NOTES
S1	Landscape Top Step	6	60"L x 14"W x 6"T	Natural tread
S2	Landscape Mid Step	6	60"L x 16"W x 6"T	Natural tread
S3	Landscape Bottom Step	4	60"L x 16"W x 8"T	Natural tread

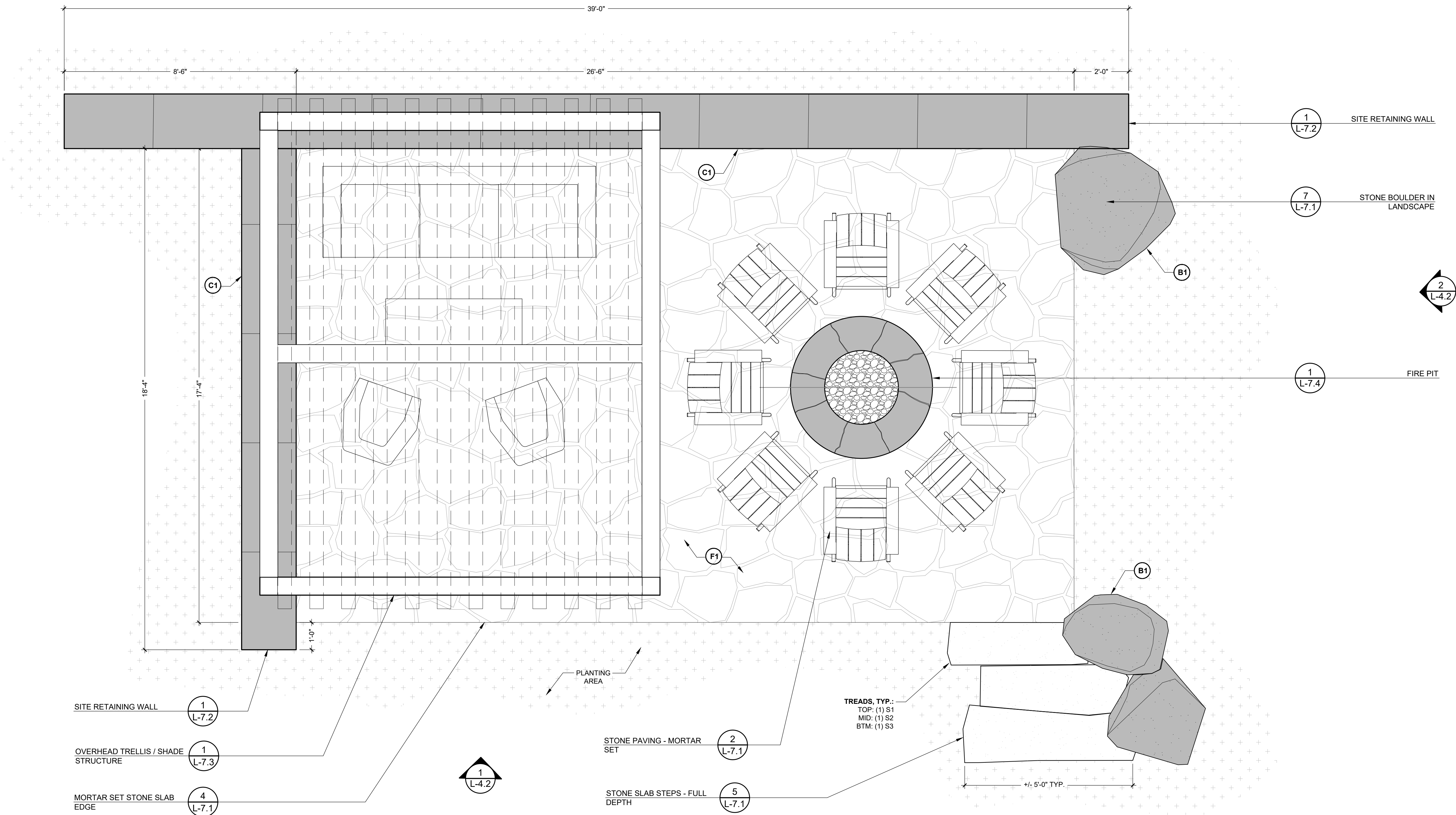
**LANDSCAPE REMODEL**  
**GROSSMAN / FRADKIN RESIDENCE**  
**215 GEM ST., KETCHUM, ID 83340**

FILENAME:  
PROJECT MANAGER: **EM**  
DRAWN BY: **KP**  
ISSUE DATE: **11/02/2021**  
PLOT DATE:

**SITE MATERIALS  
AND LAYOUT  
PLAN**

SHEET NO.





**LANDSCAPE REMODEL**  
**GROSSMAN / FRADKIN RESIDENCE**  
**215 GEM ST., KETCHUM, ID 83340**

FILENAME:  
PROJECT MANAGER: EM  
DRAWN BY: KP  
ISSUE DATE: 11/02/2021  
PLOT DATE:

**UPPER TERRACE**  
**SITE PLAN**  
**ENLARGEMENT**

SHEET NO.

**L-4.1**

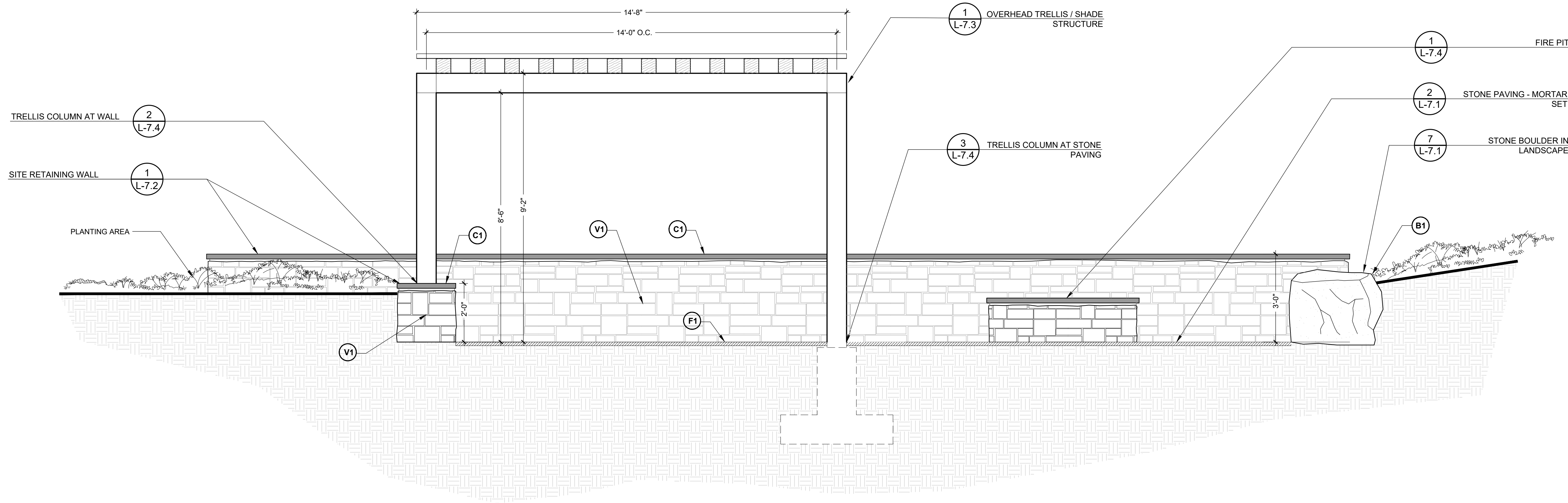
**LANDSCAPE REMODEL**  
**GROSSMAN / FRADKIN RESIDENCE**  
**215 GEM ST., KETCHUM, ID 83340**

FILENAME:  
PROJECT MANAGER: **EM**  
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ISSUE DATE: **11/02/2021**  
PLOT DATE:

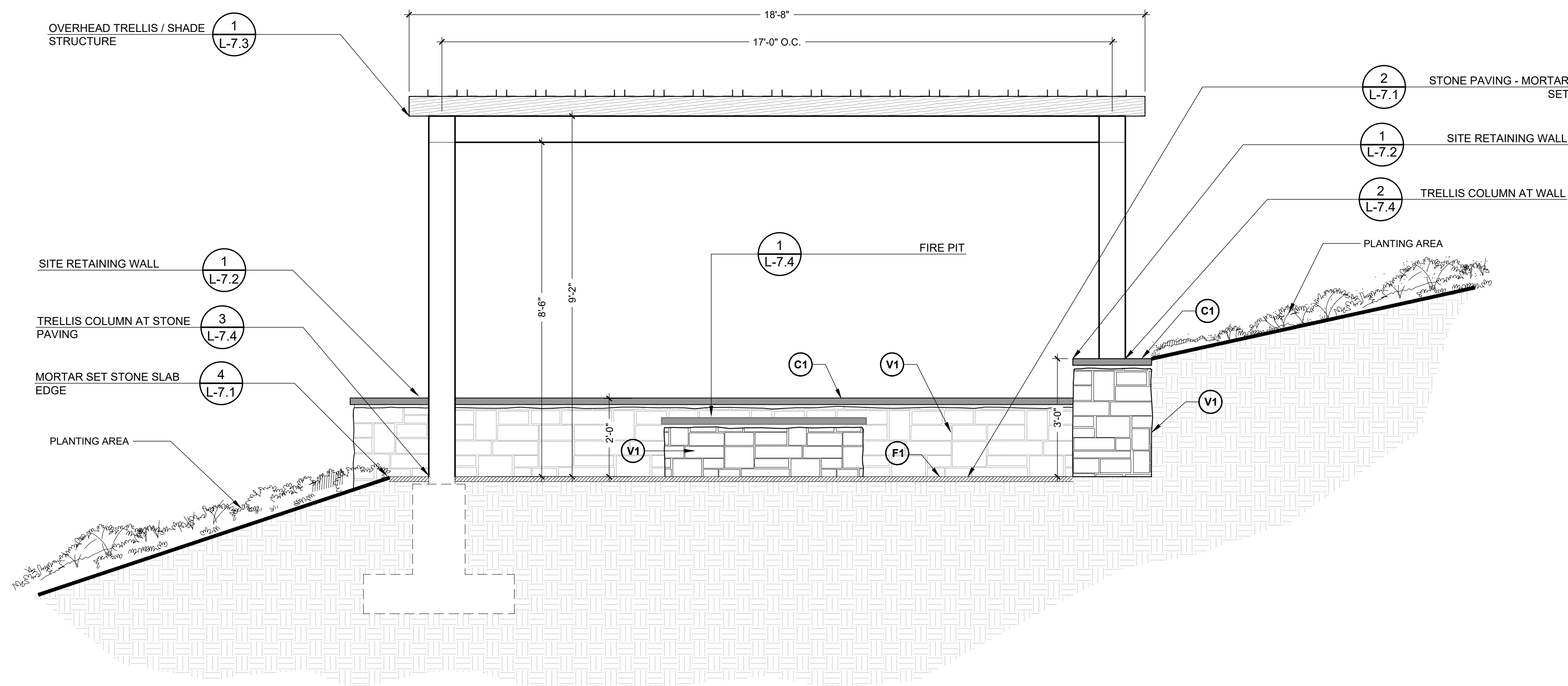
**UPPER TERRACE ELEVATIONS**

SHEET NO.

**L-4.2**

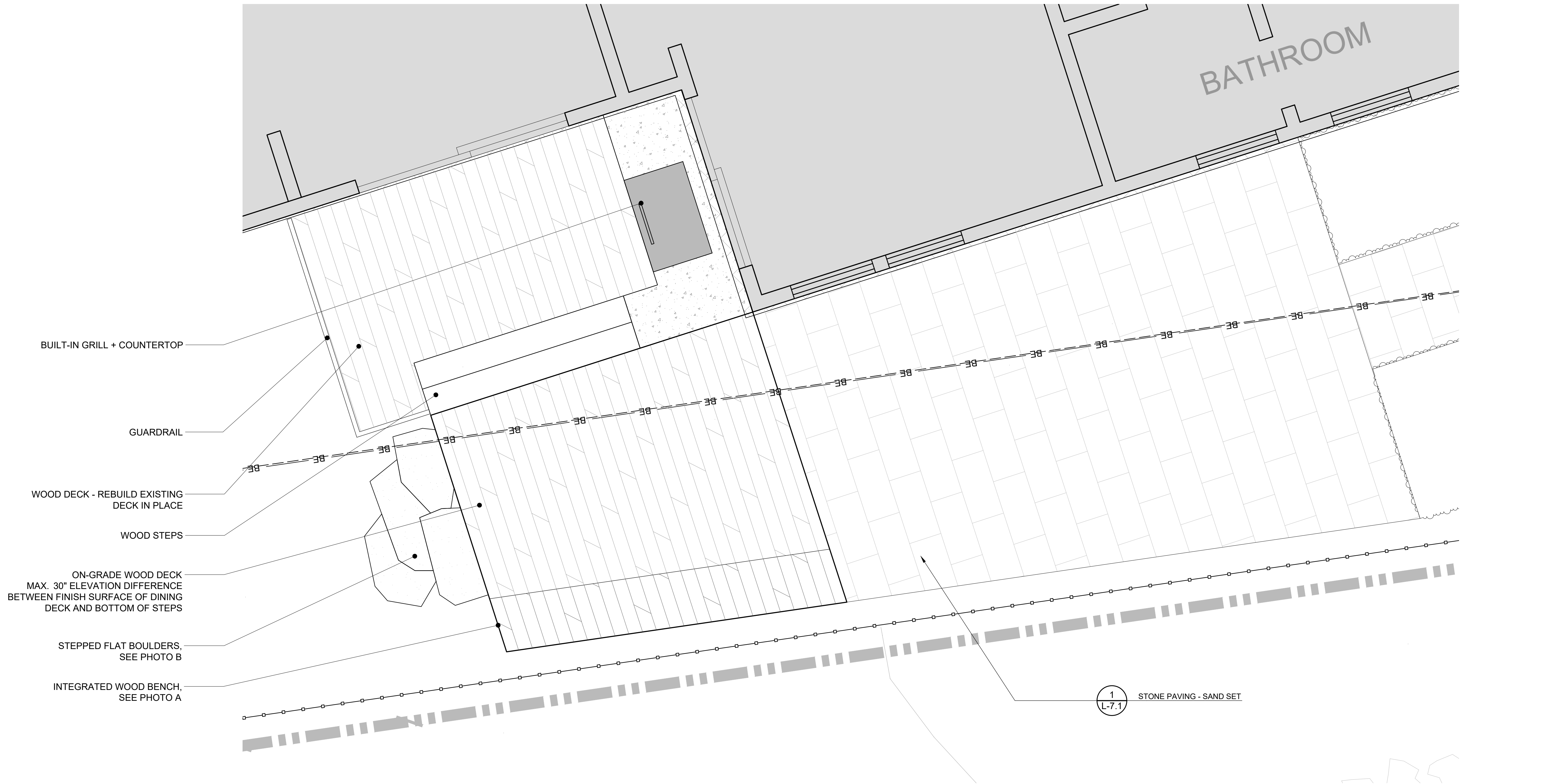


**1** UPPER TERRACE - EAST ELEVATION  
1/2" = 1'-0"



**2** UPPER TERRACE - NORTH ELEVATION  
1/2" = 1'-0"





3 OUTDOOR DINING AREA - PLAN ENLARGEMENT

Scale 1/2" = 1'-0"



A INTEGRATED WOOD BENCH



B STEPPED FLAT BOULDERS



**LANDSCAPE REMODEL**  
**GROSSMAN / FRADKIN RESIDENCE**  
**215 GEM ST., KETCHUM, ID 83340**

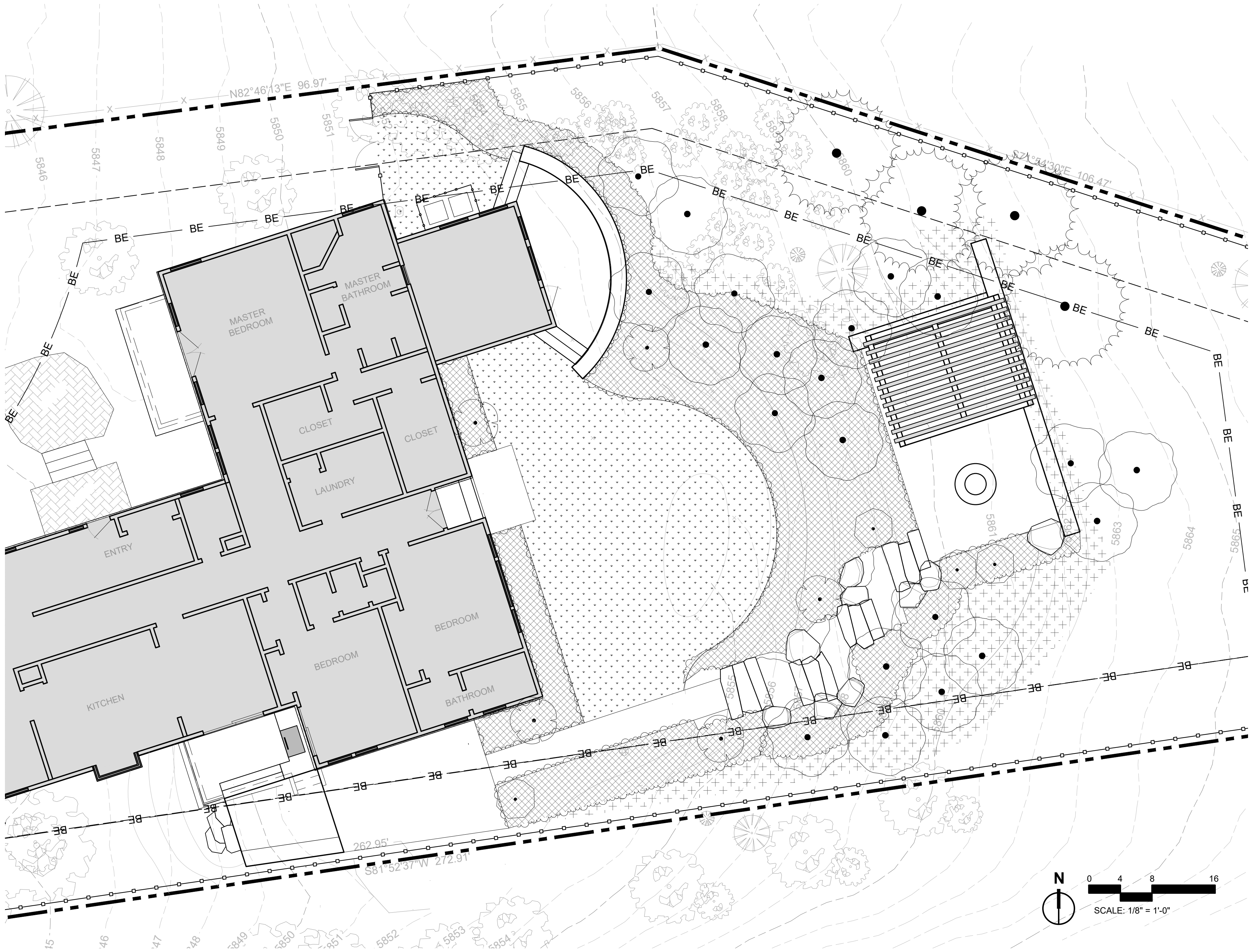
FILENAME:  
PROJECT MANAGER: **EM**  
DRAWN BY: **KP**  
ISSUE DATE: **11/02/2021**  
PLOT DATE:

**OUTDOOR DINING**  
**SITE PLAN**  
**ENLARGEMENT**

SHEET NO.

**L-4.3**





PLANTING NOTES:

- ALL SOIL PREPARATION AND PLANTING OPERATIONS SHALL BE CONDUCTED UNDER FAVORABLE WEATHER CONDITIONS ONLY. SOIL SHALL NOT BE WORKED WHEN EXCESSIVELY DRY OR WET, AND THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO STOP ANY WORK TAKING PLACE DURING A PERIOD WHEN CONDITIONS ARE CONSIDERED DETRIMENTAL TO SOIL STRUCTURE OR PLANT GROWTH.
  - MULCH: INSTALL A MIN 3" LAYER OF MULCH AROUND ALL TREES AND SHRUBS AND IN ALL PLANTING AREAS UNLESS OTHERWISE NOTED. CREATE A NATURAL SPADED EDGE WHERE PLANTING BEDS MEET TURF AREAS.
  - FINISH GRADE VERIFICATION: FINISH GRADE TO BE 1" BELOW FINISH PAVING SURFACE IN LAWN AREAS AND 2" BELOW IN PLANTING AREAS. VERIFY PLANTING AREAS ARE GRADED AT +/- 0.2 FOOT TO FINISH GRADE, PRIOR TO LANDSCAPE INSTALLATION.
  - PLANT MATERIAL AND ACQUISITION: PROVIDE SINGLE TRUNK STANDARD TREES UNLESS NOTED OTHERWISE. NOTIFY THE OWNER'S REPRESENTATIVE AT THE TIME OF DELIVERY OF ANY PLANT MATERIAL THAT IS DAMAGED OR IN POOR CONDITION. OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO INSPECT ALL PLANT MATERIALS BEFORE PLANTING. MATERIAL MAY BE REJECTED AT ANY TIME DUE TO CONDITION, FORM OR DAMAGE BEFORE OR AFTER PLANTING. PROVIDE IDENTIFICATION TAG FROM THE SUPPLYING NURSERY SHOWING COMMON AND BOTANICAL PLANT NAMES FOR AT LEAST ONE PLANT OF EACH SPECIES DELIVERED TO THE SITE. PROTECT ALL PLANTS AGAINST HEAT, SUN, WIND AND FROST DURING TRANSPORTATION TO THE SITE AND WHILE BEING HELD AT THE SITE. DO NOT STORE PLANTS IN TOTAL DARKNESS MORE THAN ONE DAY. CONTRACTOR IS RESPONSIBLE FOR WATERING ALL PLANT MATERIALS ON-SITE DURING CONSTRUCTION.
  - PLANT PACKAGING: ALL CONTAINERS/PACKAGING SHALL REMAIN IN PLACE UNTIL IMMEDIATELY PRIOR TO PLANTING. ANY STOCK IN CONTAINERS SHALL BE REMOVED FROM CONTAINERS AND THE CONTAINER BALL SHALL BE CUT VERTICALLY AS NECESSARY TO LOOSEN ROOTS. REMOVE ALL PLANT TAGS, TYING MATERIAL AND MARKING TAPES AT THE TIME OF PLANTING.
  - PLANT QUALITY: ALL PLANT MATERIAL SHALL BE SELECTED AT NURSERY BY OWNER'S REPRESENTATIVE. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO INSPECT AND REJECT PLANT MATERIAL AT ANY POINT FROM DELIVERY THROUGH WARRANTY PERIOD, CONTRACTOR TO REPLACE MATERIAL DURING CURRENT PLANTING WINDOW. ALL MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STANDARD FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
  - PLANT QUANTITIES: THE PLANT SCHEDULE IS PROVIDED AS AN AID ONLY. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN ON ALL DRAWINGS.
- PLANTING DETAILS: REFER TO PLANTING DETAILS AND OR SPECIFICATIONS FOR PLANT INSTALLATION REQUIREMENTS.
- PLANTING LAYOUT: THE PLANTING PLANS ARE DIAGRAMMATIC. SITE PLANT MATERIALS APPROXIMATELY AS SHOWN ON THE LANDSCAPE DRAWING AND NOTIFY OWNER'S REPRESENTATIVE FOR REVIEW, PRIOR TO PLANTING. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO ADJUST PLANTS TO EXACT LOCATION IN FIELD.
  - INITIAL PRUNING: PRUNE ONLY DEAD OR DAMAGED LIMBS, OR AS DIRECTED BY LANDSCAPE ARCHITECT.
  - STAKING: TREE STAKING SHALL BE AT THE CONTRACTOR'S DISCRETION, BUT CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE, AND OR REPLACEMENT/REPLANTING NECESSARY DUE TO WIND DISPLACEMENT OF PLANT MATERIALS.
  - WATERING REQUIREMENTS: ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL THEN BE WATERED AS NECESSARY, DURING THE FIRST GROWING SEASON.
  - WORK ORDER: ALL SUBSURFACE WORK, INCLUDING UTILITY AND IRRIGATION SHALL BE INSTALLED AND FUNCTIONAL, PRIOR TO THE INSTALLATION OF ANY PROPOSED LANDSCAPING. STAKE LOCATION OF ALL TREES, HEDGE LINES AND PLANTING BEDS AND NOTIFY OWNER'S REPRESENTATIVE FOR REVIEW PRIOR TO PLANTING. TREES AND SHRUBS MUST BE INSTALLED PRIOR TO PERENNIALS AND GRASSES TO ESTABLISH PROPER LAYOUT AND TO AVOID DAMAGE TO SMALLER PLANTINGS.

SOIL PREPARATION NOTES:

- BED PREPARATION: PREPARE SOILS IN PLANTING AREAS BY ROTO-TILLING AMENDMENT AND TOPSOIL TO A DEPTH OF 8" BELOW FINISHED SOIL SURFACE IN ALL PLANTED AREAS. TREES WILL REQUIRE OVER-EXCAVATION AND BACKFILL WITH AMENDED SOIL.
- DE-COMPACTION: SUBSOILING IN PLANTING AREAS SHOULD BE PERFORMED AS REQUIRED, AT A DEPTH OF 12-24 INCHES IN SUCH A MANNER AS WILL FRACTURE COMPACTED SOIL WITHOUT ADVERSELY DISPLACING SURFACE SOIL, OR DISTURBING PLANT LIFE, TOPSOIL AND SURFACE RESIDUE. MULTIPLE PASSES AT VARYING ANGLES ARE REQUIRED TO ENSURE SUITABILITY FOR GROWTH. WHEN USING DISC OR RIPPING EQUIPMENT, IT IS REQUIRED THAT THE FINAL PASSES OVER THE AREA BE MADE WITH A ROTO-TILLER TO BREAK UP ANY LARGE CLUMPS TO MAKE FINAL GRADING EASIER. PROPER EQUIPMENT, AND METHOD ARE CRITICAL.
- LANDSCAPE CONSTRUCTION COMPACTION MITIGATION: COMPACTION DURING CONSTRUCTION SHOULD BE MINIMIZED AS POSSIBLE AND REMEDIATED AS REQUIRED TO LESS THAN 80% USING METHODS DESCRIBED, PRIOR TO PLANT INSTALLATION.
- THE LANDSCAPE CONTRACTOR SHALL COMPLETE THE FOLLOWING. STRIP EXISTING TOPSOIL AND STOCKPILE ON SITE FOR LATER USE. CONDUCT A SOIL EVALUATION AND PROVIDE WRITTEN LAB REPORT TO DETERMINE THE EXISTING SOILS: COMPOSITION, COMPACTION RATE, NUTRIENT QUALITIES, ORGANIC CONTENT, PH LEVELS, AND WATER HOLDING CAPABILITIES
- THE IDEAL PARTICLE SOIL MIX FOR THIS PROJECT IS APPROXIMATELY 45% SAND, 40% SILT, 10% CLAY AND 5% ORGANIC MATERIAL WITH A PH LEVEL NEAR SEVEN. PRIOR TO THE INSTALLATION OF THE LANDSCAPE AND IRRIGATION SYSTEM, CONTRACTOR TO PREPARE SOIL TO ENSURE A PROPER ENVIRONMENT FOR PLANT ROOT DEVELOPMENT.
- SOIL AMENDMENT: AFTER INITIAL SOIL DE-COMPACTION PROCEDURES ARE PERFORMED, SOIL AMENDMENTS SHOULD BE ADDED. THE ADDITION OF SOIL AMENDMENTS IS DETERMINED FROM SOIL TESTS CONDUCTED PRIOR TO WORK COMMENCING. SOIL AMENDMENT MAY INCLUDE INORGANIC MATERIAL SUCH AS SAND, SILT OR CLAY, WHICH HELP IMPROVE SOIL TEXTURE. ORGANIC MATERIAL SUCH AS COMPOST, MANURE, AND PEAT MOSS MAY ALSO BE USED AND HELP IMPROVE SOIL STRUCTURE. OTHER AMENDMENTS SHALL BE ADDED AS SPECIFIED IN REQUIRED SOILS REPORT. ALL AMENDMENTS SHOULD BE MIXED THOROUGHLY WITH EXISTING SOIL AND AN ADDITIONAL SOIL TEST WILL BE TAKEN TO ENSURE PROPER SOIL CONDITIONS PRIOR TO PLANTING.
- SUPPLEMENTAL TOPSOIL: IF NECESSARY, PROVIDE NEW TOPSOIL THAT IS FERTILE, FRIABLE AND NATURAL LOAM SURFACE SOIL, REASONABLY FREE OF SUBSOIL, CLAY, CLAY LUMPS, BRUSH WEEDS, AND OTHER LITTER AND FREE OF ROOTS, STUMPS, STONES LARGER THAN 2" IN ANY DIMENSION AND OTHER EXTRANEEOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH. OBTAIN TOPSOIL FROM LOCAL SOURCES OR FROM AREAS HAVING SIMILAR SOIL CHARACTERISTICS TO THAT NECESSARY FOR VIGOROUS GROWTH OF SPECIFIED PLANTINGS. OBTAIN TOPSOIL THAT OCCURS IN A DEPTH OF NOT LESS THAN 6". DO NOT OBTAIN SOIL FROM BOGS OR MARSHES.
- TURF/SOD PREPARATION: PREPARE SOILS IN SEED AND SOD AREAS BY ROTO-TILLING AMENDMENT AND TOPSOIL TO A DEPTH OF 4" BELOW FINISHED SOIL SURFACE

PLANT SCHEDULE

TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
	PP	Picea pungens	Colorado Spruce	---		4
	PT	Populus tremuloides	Quaking Aspen	2" Cal.	B&B	14
	PT1	Populus tremuloides `Clump Form`	Clump Form Quaking Aspen	12` Ht.	B&B	7
SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
	AA	Amelanchier alnifolia	Serviceberry	4` Ht.	B&B	5
	PO	Physocarpus opulifolius `Monlo` TM	Diabolo Purple Ninebark	4` Ht.	B&B	5
GROUND COVERS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY
	TUR SOD	Turf Sod	Drought Tolerant Fescue Blend	---		1,274 sf

PLANT AREA SCHEDULE

	SHRUB + PERENNIALS	1,707 sf
	NATIVE SEED	838 sf

IRRIGATION NOTES:

- CODES: IRRIGATION SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH ALL LOCAL CODES AND MANUFACTURER'S SPECIFICATIONS. NOTIFY LANDSCAPE ARCHITECT BY TELEPHONE AND IN WRITING OF ANY CONFLICTS PRIOR TO INSTALLATION.
- SEEDED & REVEGETATED AREAS: SHALL BE IRRIGATED BY TEMPORARY OVERHEAD SPRAY WITH AN AUTOMATIC SYSTEM. THIS SYSTEM MAY BE ABANDONED WHEN PLANTINGS HAVE BEEN CLEARLY ESTABLISHED AFTER A MINIMUM OF TWO GROWING SEASONS
- LAWN AREAS: SHALL BE IRRIGATED BY OVERHEAD SPRAY WITH A PERMANENT AUTOMATIC SYSTEM.
- SHRUB, TREE, AND GROUNDCOVER AREAS: SHALL BE DRIP IRRIGATED WITH A PERMANENT AUTOMATIC SYSTEM.
- DRIP TO BE ON SEPARATE ZONE, COORDINATE ALL SLEEVING WITH APPROPRIATE CONTRACTORS.
- SLEEVING: TO BE INSTALLED BY LANDSCAPE CONTRACTOR PRIOR TO IRRIGATION WORK - CONTRACTOR SHALL ADEQUATELY SIZE ALL SLEEVES SHOWN ON PLAN. SLEEVES SHALL BE INSTALLED AT THE NECESSARY DEPTHS PRIOR TO PAVEMENT CONSTRUCTION. SLEEVING SHALL EXTEND 1'-0" FROM EDGE OF PAVEMENT INTO LAWN OR PLANTING AREA, AND SHALL HAVE ENDS CLEARLY MARKED ABOVE GRADE.
- SYSTEM DAMAGE: SHOULD THE MAINLINE OR OTHER COMPONENTS BREAK OR BE SHUT OFF FOR ANY REASON DURING THE COURSE OF CONSTRUCTION THAT CONTRACTOR SHALL HANDWATER ANY INSTALLED PLANTS. THE CONTRACTOR SHALL CONTINUE TO DO SO UNTIL THE IRRIGATION SYSTEM IS OPERABLE.
- UTILITIES: CONTRACTOR SHALL VERIFY LOCATION OF ALL ON-SITE UTILITIES. RESTORATION OF DAMAGED UTILITIES SHALL BE MADE AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER.
- NEW IRRIGATION SYSTEM TO BE RETROFITTED TO EXISTING IRRIGATION SYSTEM.



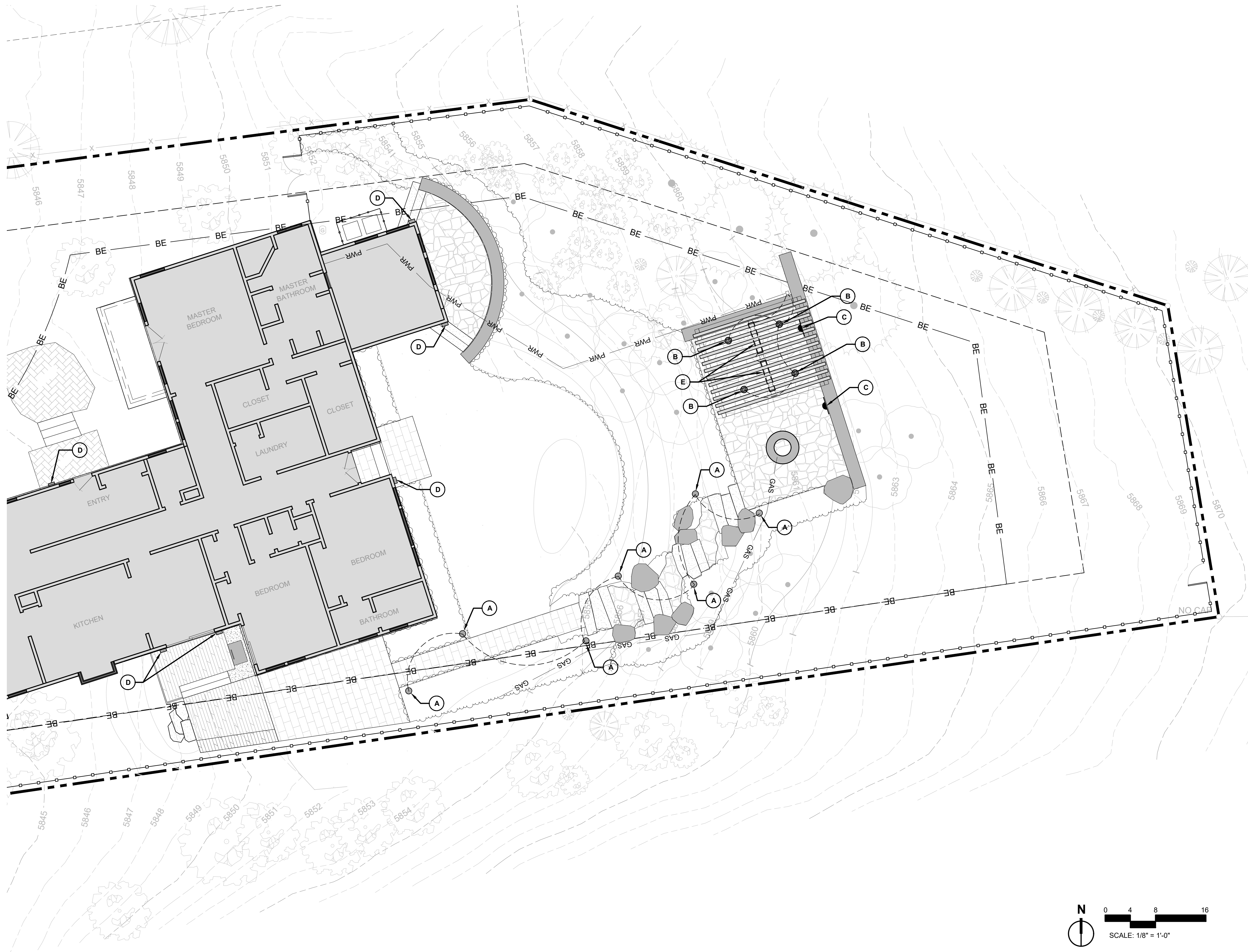
LANDSCAPE REMODEL  
GROSSMAN / FRADKIN RESIDENCE  
215 GEM ST., KETCHUM, ID 83340

FILENAME:	
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
PLANTING PLAN,  
NOTES, &  
SCHEDULE

SHEET NO.





LIGHTING AND UTILITY LEGEND	
SYMBOL	DESCRIPTION
	Zoning / Conduit
	Gas Line
	Power
	Light Fixtures

LIGHTING ZONE SCHEDULE				
ZONE 1   LANDSCAPE PATH				
CALLOUT	FIXTURE TYPE	QTY	MAKE	MODEL
<div><div>A</div><div></div></div>	Path Light	7	WAC	Ledge LED Path Light
ZONE 2   TRELLIS   SWITCH CONTROL				
<div><div>B</div><div></div></div>	Down Lighting	4	FX Luminarie	PO Wall Light Finish: TBD
ZONE 3   UPPER TERRACE   GFCI OUTLETS				
CALLOUT	FIXTURE TYPE	QTY	NOTES	
<div><div>C</div><div></div></div>	GFCI Outlet	2	Final Location TBD with Owner	
ZONE 4   WALL SCONCES				
CALLOUT	FIXTURE TYPE	QTY	NOTES	
<div><div>D</div><div></div></div>	Wall Sconce	6	Replace All Existing Wall Sconces	

HEAT FIXTURE SCHEDULE				
TRELLIS				
SYMBOL	FIXTURE TYPE	QTY	MAKE	MODEL
E	Overhead Heater	2	Infratech	SL Series Heater

NOTES:  
1. ALL LIGHTS COMPLY WITH DARK SKY ORDINANCE  
2. ALL EXISTING SCONCES ON HOUSE TO BE REPLACED WITH NEW FIXTURE



# LANDSCAPE REMODEL

## GROSSMAN / FRADKIN RESIDENCE

215 GEM ST., KETCHUM, ID 83340

FILENAME:  
PROJECT MANAGER: **EM**  
DRAWN BY: **KP**  
ISSUE DATE: **11/02/2021**  
PLOT DATE:

### SITE LIGHTING AND UTILITY PLAN

SHEET NO.



LEDGE LED PATH LIGHT  
6081



**PRODUCT DESCRIPTION**  
Sleek linear design blends seamlessly into pathways while providing soft, directional illumination

- FEATURES**
- IP66 rated. Protected against powerful water jets
  - Factory sealed water tight fixtures
  - Translucent lens provides uniform light distribution
  - Mounting stake, 6 foot lead wire, and direct burial gel filled wire nuts are included
  - Recommended spacing for installation: Residential: 8 to 10ft; Commercial: 5 to 7ft
  - Maintains constant lumen output against voltage drop
  - UL & cUL 1838 Listed

ORDERING NUMBER		Color Temp	Finish
6081	Linear Path	27	2700K Warm White
		30	3000K Pure White
		BK	Black on Aluminum
		BZ	Bronze on Aluminum

6081-\_\_BK

Example: 6081-30BK

WAC  
LANDSCAPE LIGHTING

Fixture Type:

Catalog Number:

Project:

Location:

**SPECIFICATIONS**  
Input: 9-15VAC (Transformer is required)  
Power: 3.0W / 4.5VA  
Brightness: Up to 105 lm  
CRI: 90  
Rated Life: 60,000 hours



wacighting.com | Phone (800) 526.2588 | Fax (800) 526.2585 | Headquarters/Eastern Distribution Center 44 Harbor Park Drive Port Washington, NY 11050 | Central Distribution Center 1600 Distribution Ct Lithia Springs, GA 30122 | Western Distribution Center 1750 Archibald Avenue Ontario, CA 91760

WAC Lighting retains the right to modify the design of our products at any time as part of the company's continuous improvement program.

A LANDSCAPE PATH LIGHT

FXLuminaire

LED Wall Lights



PROJECT:

CATALOG #:

TYPE:

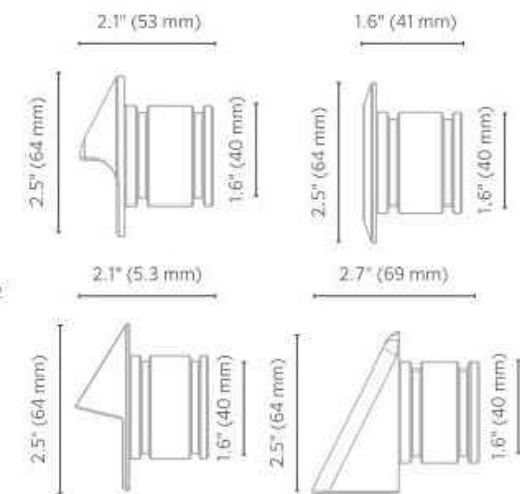
NOTES:

PO Wall Light DESIGNER PREMIUM

1 LED recessed wall light available in four brass faceplate styles for any application.

Quick Facts

- Die-cast brass or aluminum
- Natural, powder-coated, or antique brass
- Cree® integrated LEDs
- Color temperature filters
- Compatible with Luxor® technology
- Phase and PWM dimmable
- Input voltage: 10-15V



LANDSCAPE & ARCHITECTURAL LIGHTING

PO Wall Light ORDERING INFORMATION

Fixture	Luxor Option	Output	Faceplate	Finish
PO*	[default] Zone	1LED 4-39 Lumens	RD Round	BS Natural Brass
	ZD Zone/Dim		SQ Square	BZ Bronze Metallic
			ST Spot	DG Desert Granite
			WW Wall Wash	WI Weathered Iron
				SB Sedona Brown
				FB Black
				WG White Gloss
				FW Flat White
				AL Almond
				SV Silver
				NP Nickel Plate
				AB Antique Bronze
				AT Antique Tumbled

EXAMPLE FIXTURE CONFIGURATION:  
PO-ZD-1LED-RD-BZ  
\*Includes 1.5" (38 mm) Conduit Sleeve (25001859000)

PO -  - 1LED -  -

ACCESSORIES: Specify Separately

Accessories	Code
PO MOUNTING BRACKET 1.3" H x 2.5" W (33 mm x 64 mm)	POBRKT
STANDARD OPTICS KIT	1LEDOPTICKIT
WALL LIGHT CONNECTION KIT	EKITWALL

LANDSCAPE & ARCHITECTURAL LIGHTING

WAC LIGHTING

Icon

Outdoor Wall Sconce 3000K

Model & Size	Color Temp & CRI	Finish	Watt	LED Lumens	Delivered Lumens
WS-W54614 14"	3000K 90	Brushed Aluminum Black Bronze	10.9W	845	458
WS-W54614		BZ			

Example: WS-W54614-BZ

For custom requests please contact [customs@wacighting.com](mailto:customs@wacighting.com)

DESCRIPTION

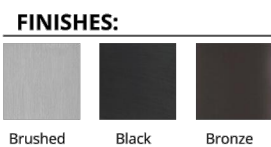
Like a simple reference to something greater, the up and down lights accentuate linear architectural forms. A simple shape, with infinite applications, the Icon features a shielded light source for great low glare illumination. Constructed with a solid die-cast aluminum and powder coated finish. The light engine is factory sealed for maximum protection against the

FEATURES

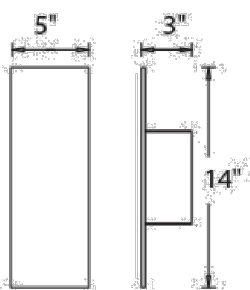
- Weather resistant powder coat finish
- Simple shape, simple idea, infinite applications
- Up & down light
- Shielded light source for great low glare illumination
- Driver concealed within the fixture
- 5 year warranty

SPECIFICATIONS

Color Temp: 3000K  
Input: 120-277 VAC/50/60Hz  
CRI: 90  
Dimming: ELV: 100-10%  
Rated Life: 54000 Hours  
Mounting: Can be mounted on wall in all orientations  
Standards: ETL, cETL, UL65  
Wet Location Listed  
Construction: Aluminum hardware with glass diffuser



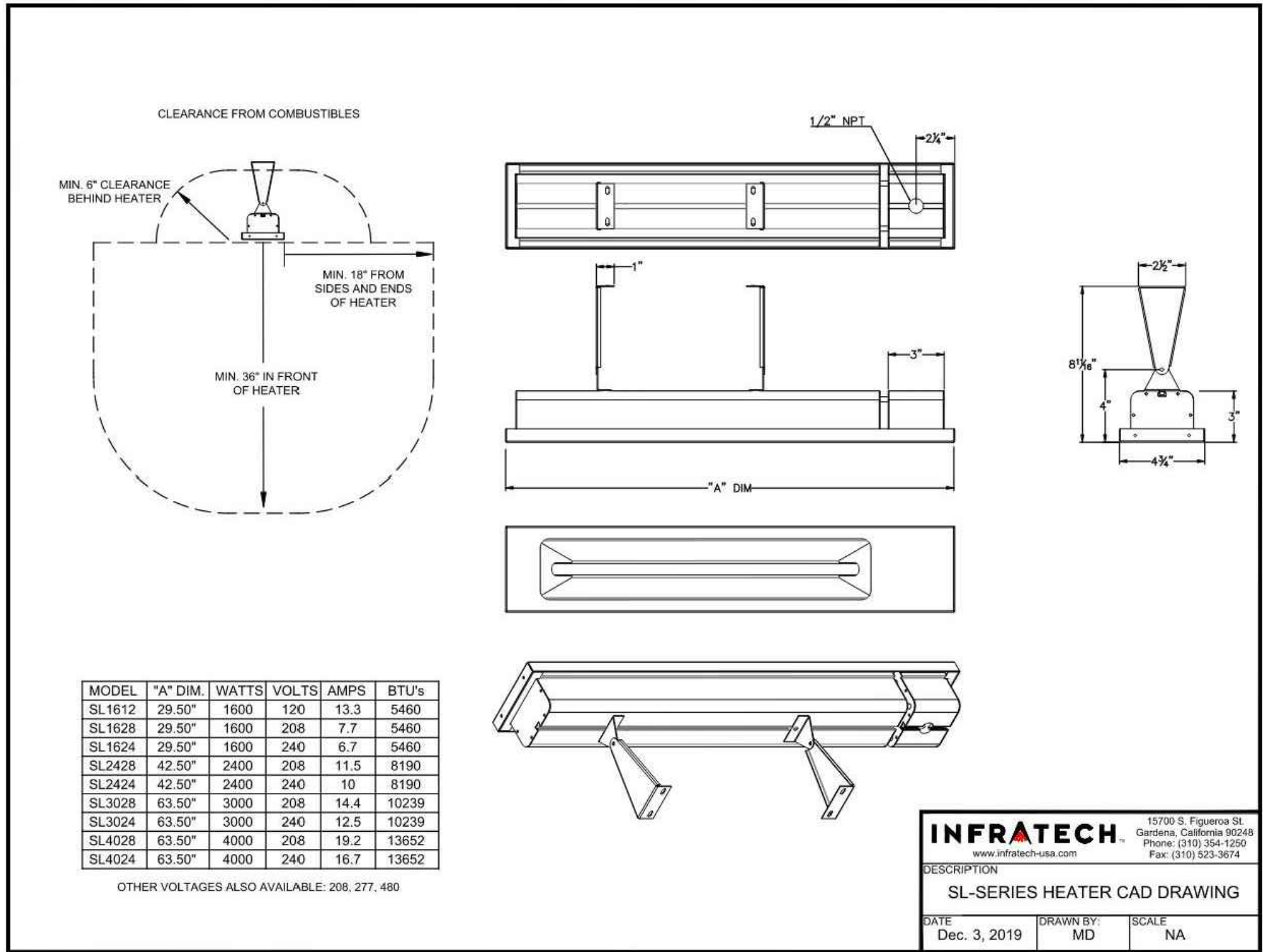
LINE DRAWING:



wacighting.com | Phone (800) 526.2588 | Fax (800) 526.2585 | Headquarters/Eastern Distribution Center 44 Harbor Park Drive Port Washington, NY 11050  
WAC Lighting retains the right to modify the design of our products at any time as part of the company's continuous improvement program. August 2021

D WALL SCONCE

B TRELLIS - DOWN LIGHT



MODEL	*A\" DIM.	WATTS	VOLTS	AMPS	BTU's
SL1612	29.50"	1600	120	13.3	5460
SL1628	29.50"	1600	208	7.7	5460
SL1624	29.50"	1600	240	6.7	5460
SL2428	42.50"	2400	208	11.5	8190
SL2424	42.50"	2400	240	10	8190
SL3028	63.50"	3000	208	14.4	10239
SL3024	63.50"	3000	240	12.5	10239
SL4028	63.50"	4000	208	19.2	13652
SL4024	63.50"	4000	240	16.7	13652

OTHER VOLTAGES ALSO AVAILABLE: 208, 277, 480

**INFRATECH**  
www.infratech-usa.com  
15700 S. Figueroa St.  
Gardena, California 90248  
Phone: (310) 354-1250  
Fax: (310) 323-3074

DESCRIPTION  
SL-SERIES HEATER CAD DRAWING

DATE: Dec. 3, 2019 | DRAWN BY: MD | SCALE: NA

E TRELLIS - HEAT FIXTURE

BYLA  
LANDSCAPE ARCHITECTS

323 Lewis - I Ketchum, ID  
(208) 726 5907 • (208) 720 0215  
[www.byla.us](http://www.byla.us)

ISSUE: 1 10/1/2021  
DESIGN REVIEW SET  
REVISIONS:

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LANDSCAPE REMODEL  
GROSSMAN / FRADKIN RESIDENCE  
215 GEM ST., KETCHUM, ID 83340

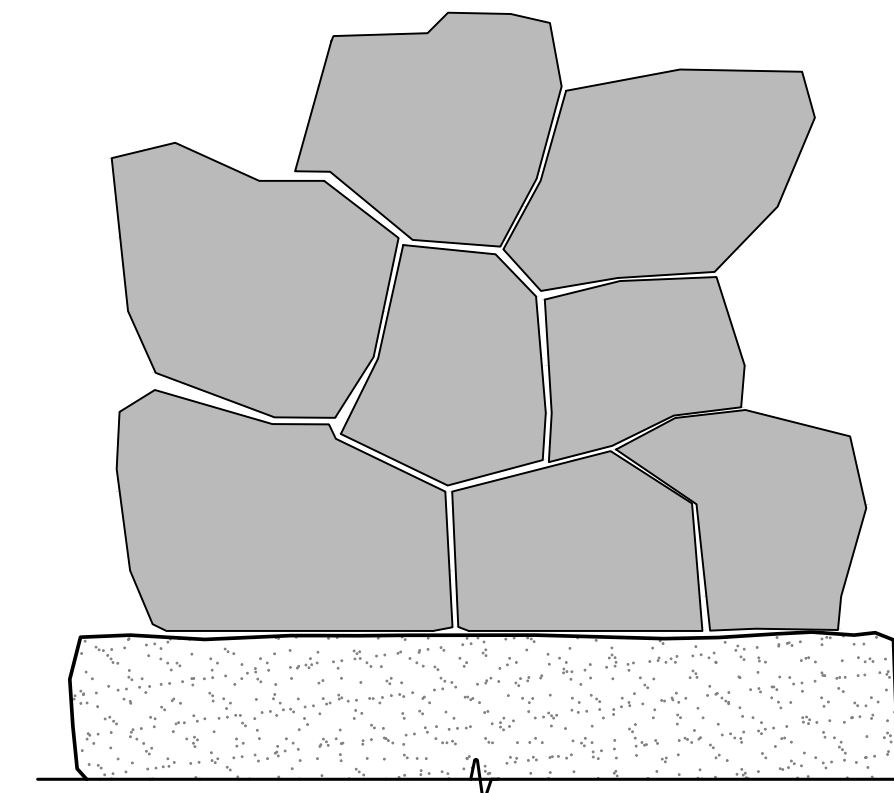
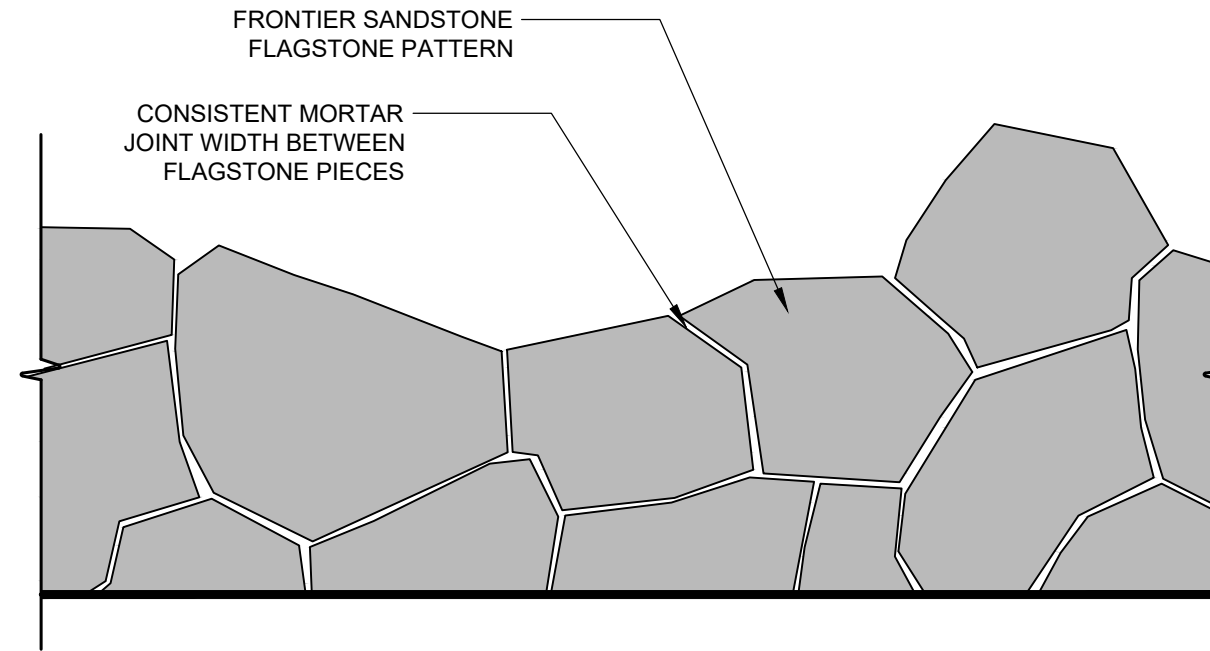
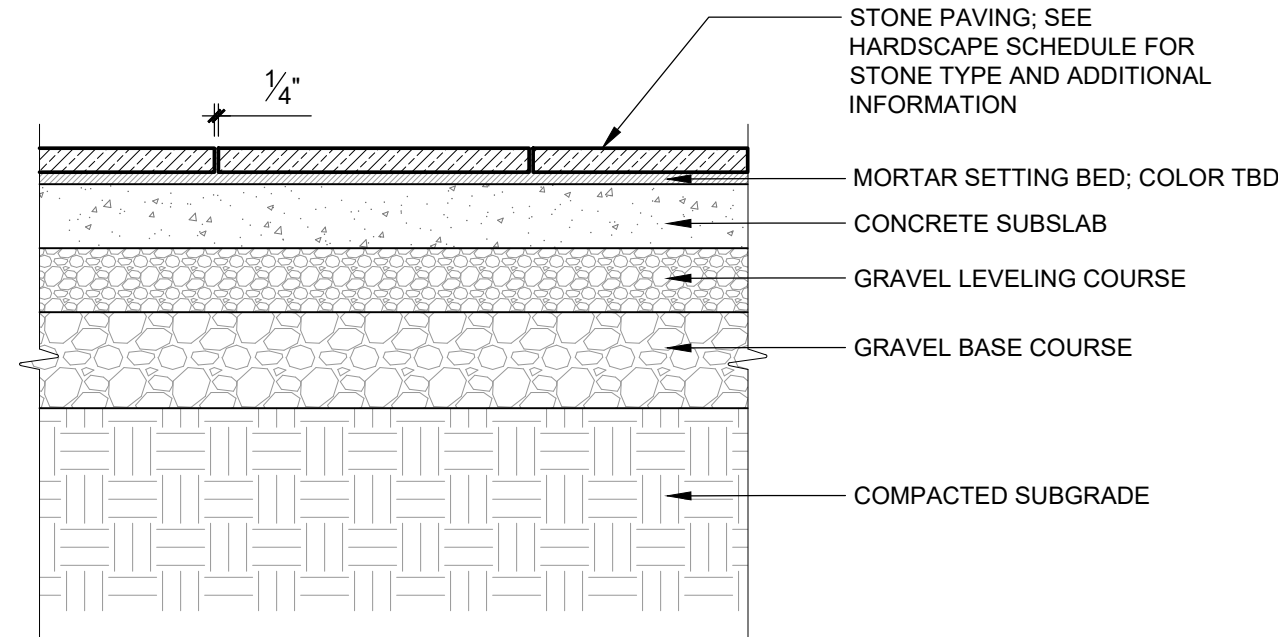
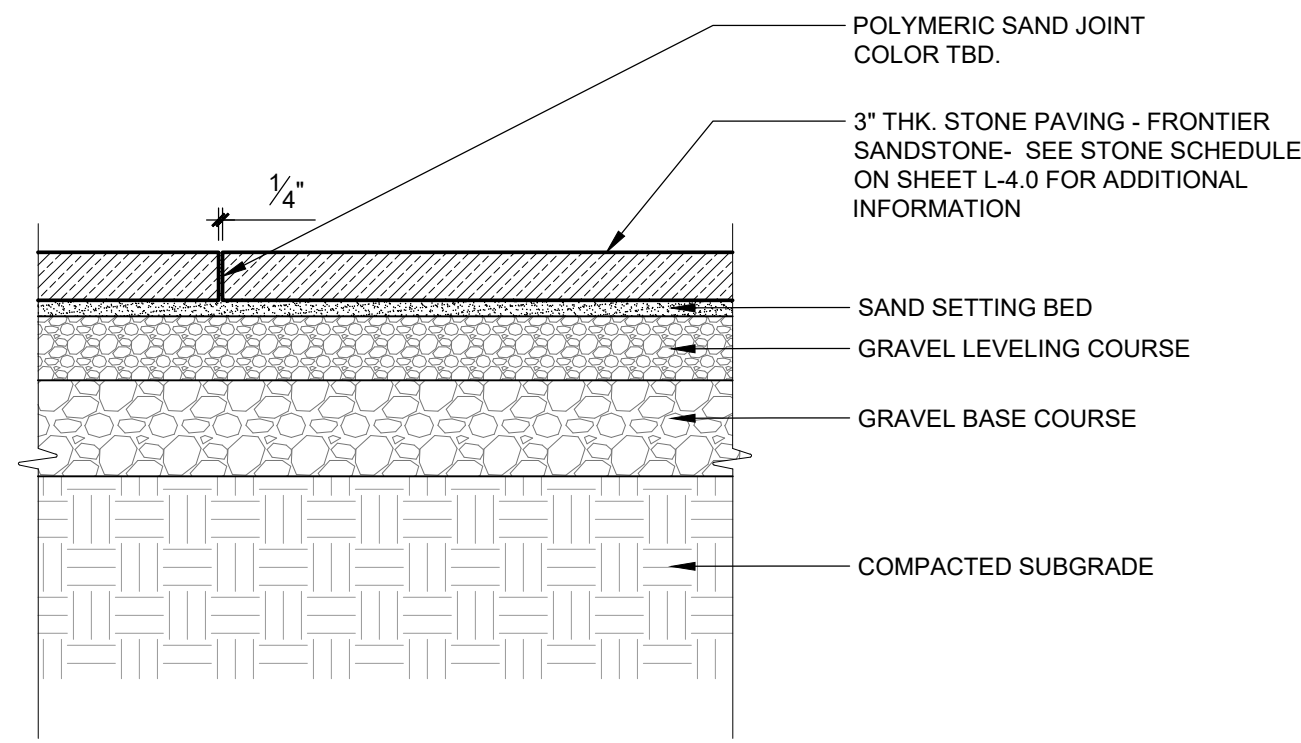
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PROJECT MANAGER: EM  
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ISSUE DATE: 11/02/2021  
PLOT DATE:

FIXTURE  
SPEC SHEET

SHEET NO.

L-6.1





## 1 STONE PAVING - SAND SET

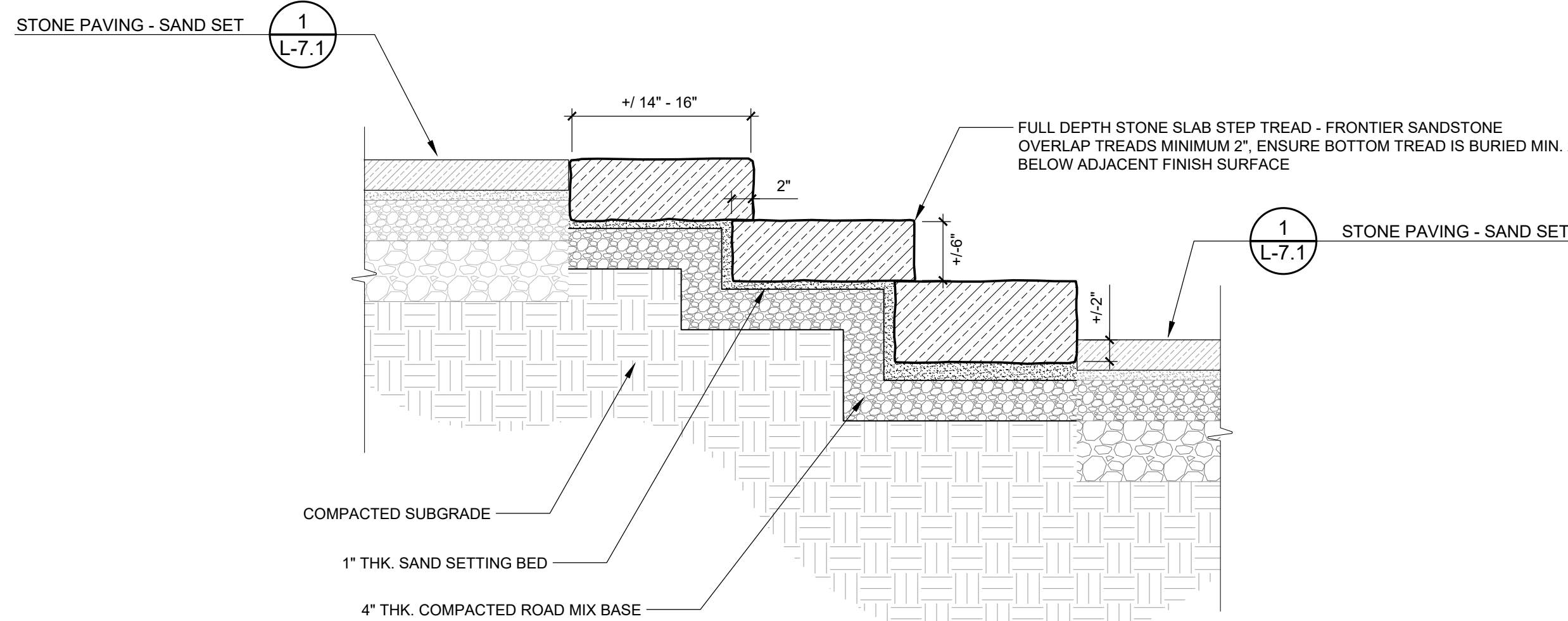
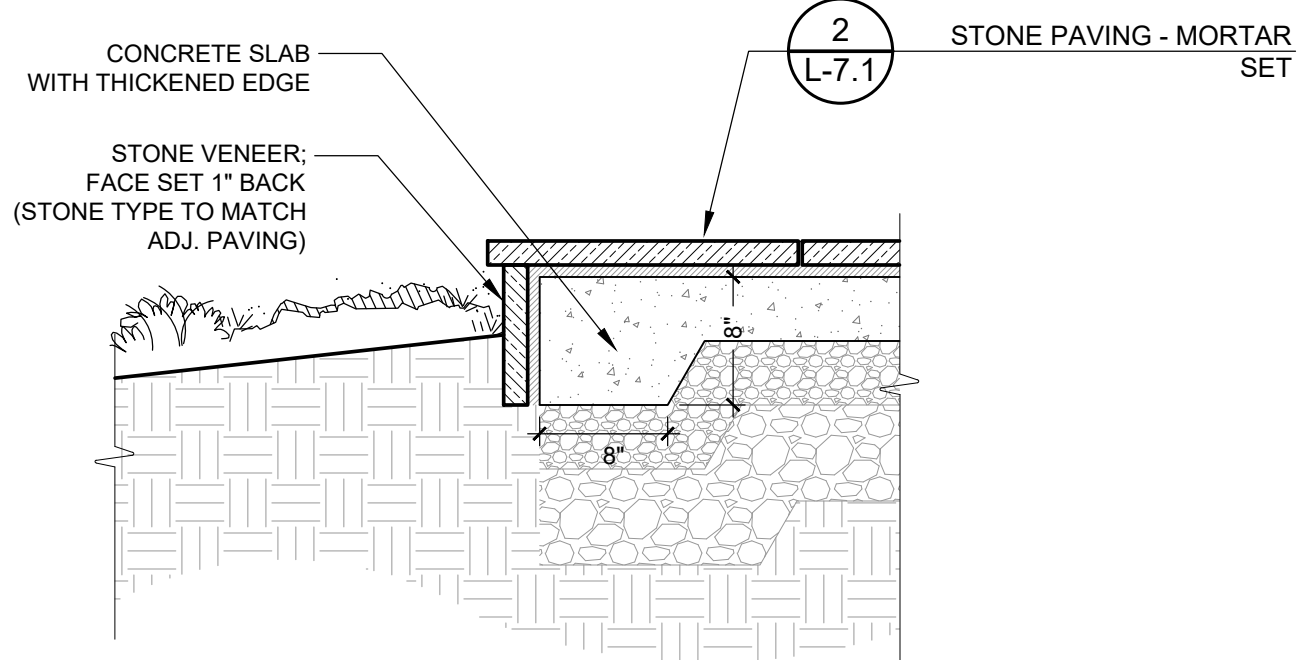
1" = 1'-0"

## 2 STONE PAVING - MORTAR SET

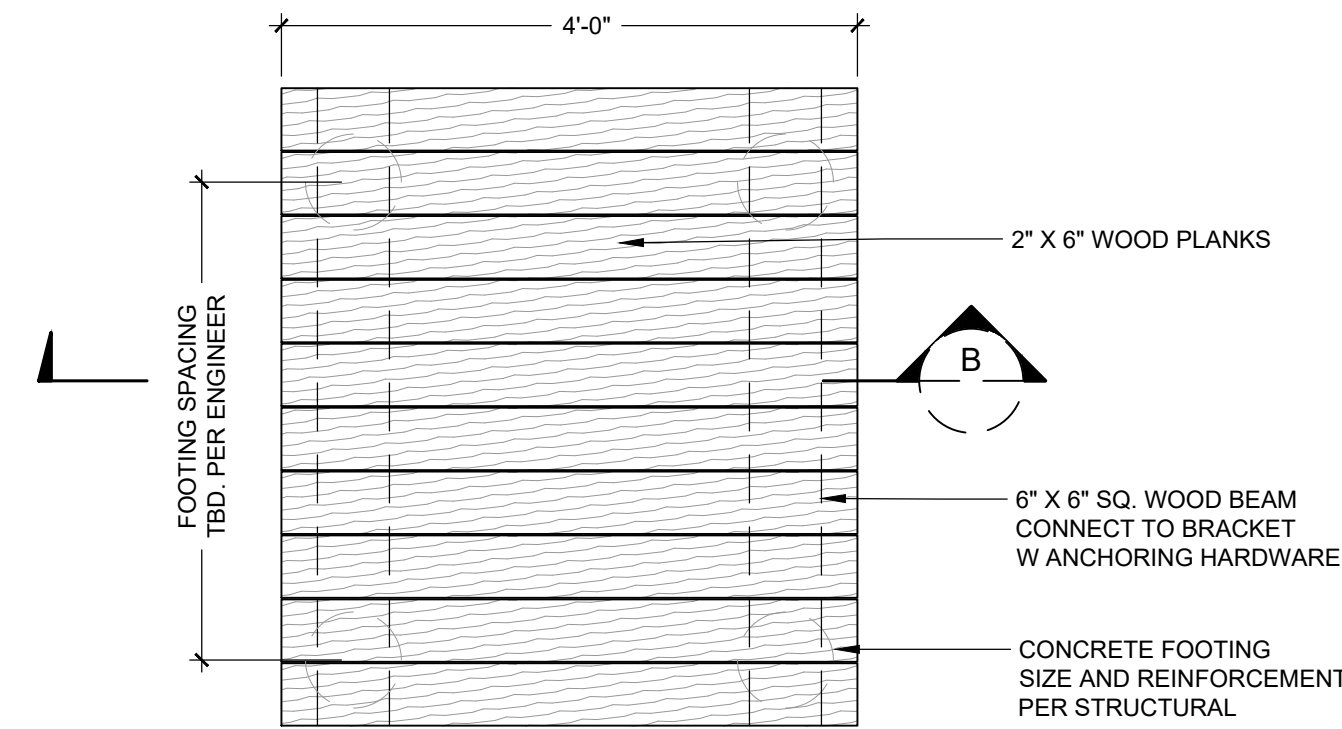
1" = 1'-0"

## 3 STONE PAVING - PLAN LAYOUT

1" = 1'-0"



NOTES:  
1. STONE STEP SLAB TO HAVE CONSISTENT SMOOTH FINISH ON TREAD AND RISER SURFACES



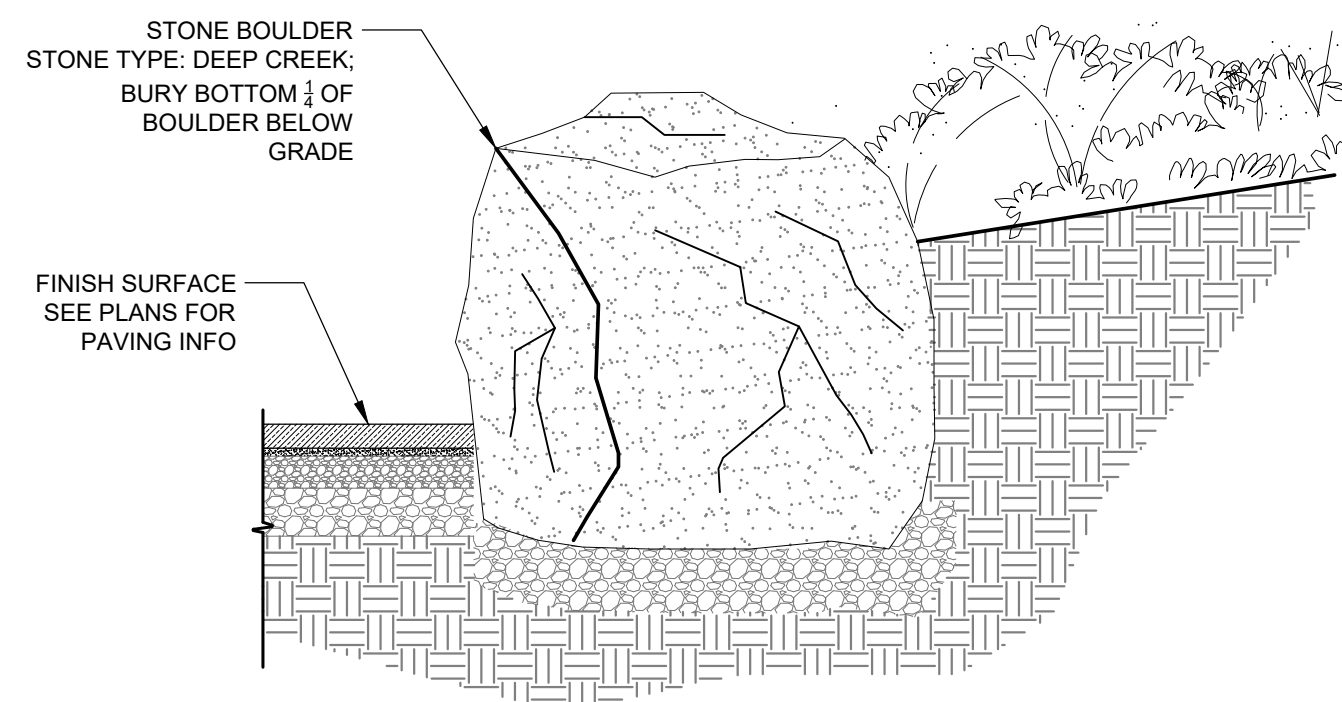
A. PLAN VIEW

## 4 MORTAR SET STONE SLAB EDGE

1" = 1'-0"

## 5 STONE SLAB STEPS - FULL DEPTH

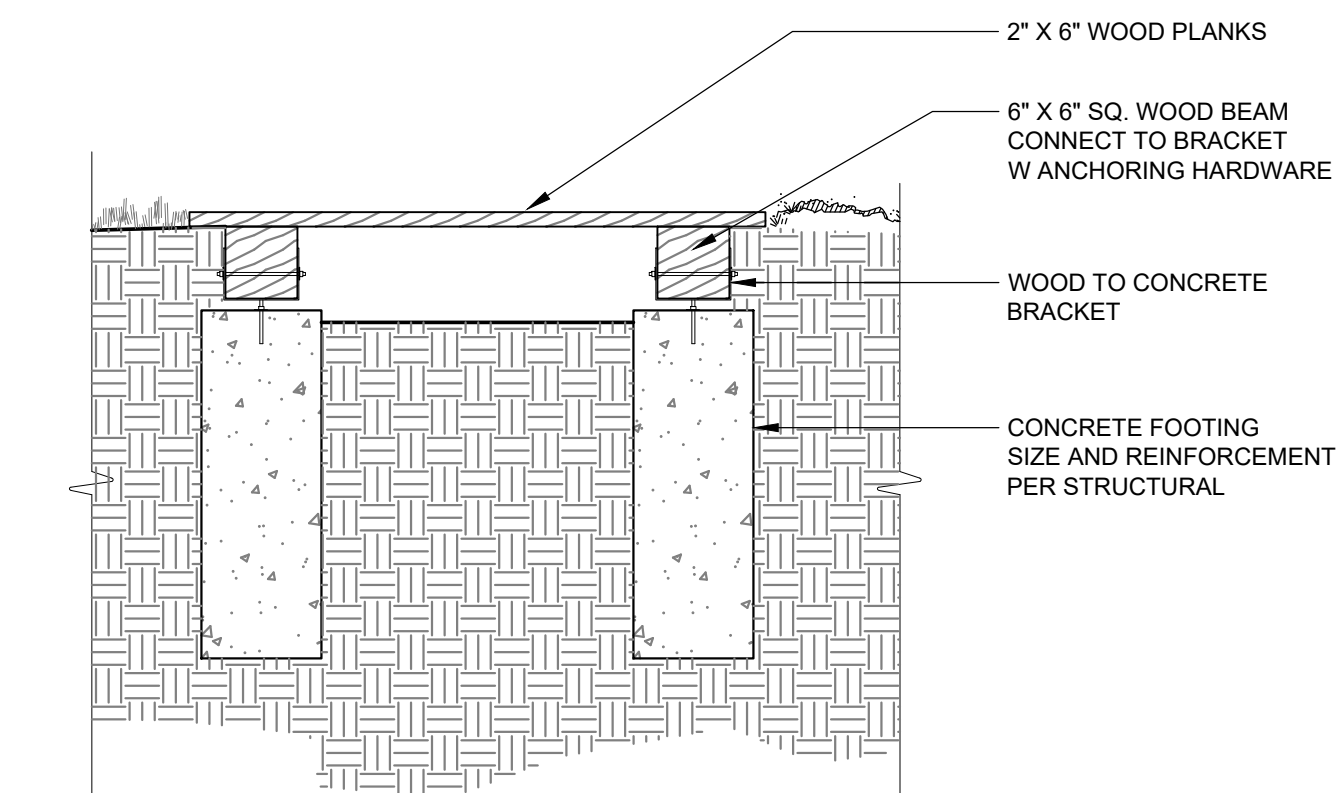
1" = 1'-0"



NOTE:  
1. LANDSCAPE ARCHITECT TO HELP SITE BOULDER LOCATIONS AND ORIENTATIONS

## 7 STONE BOULDER IN LANDSCAPE

1/2" = 1'-0"

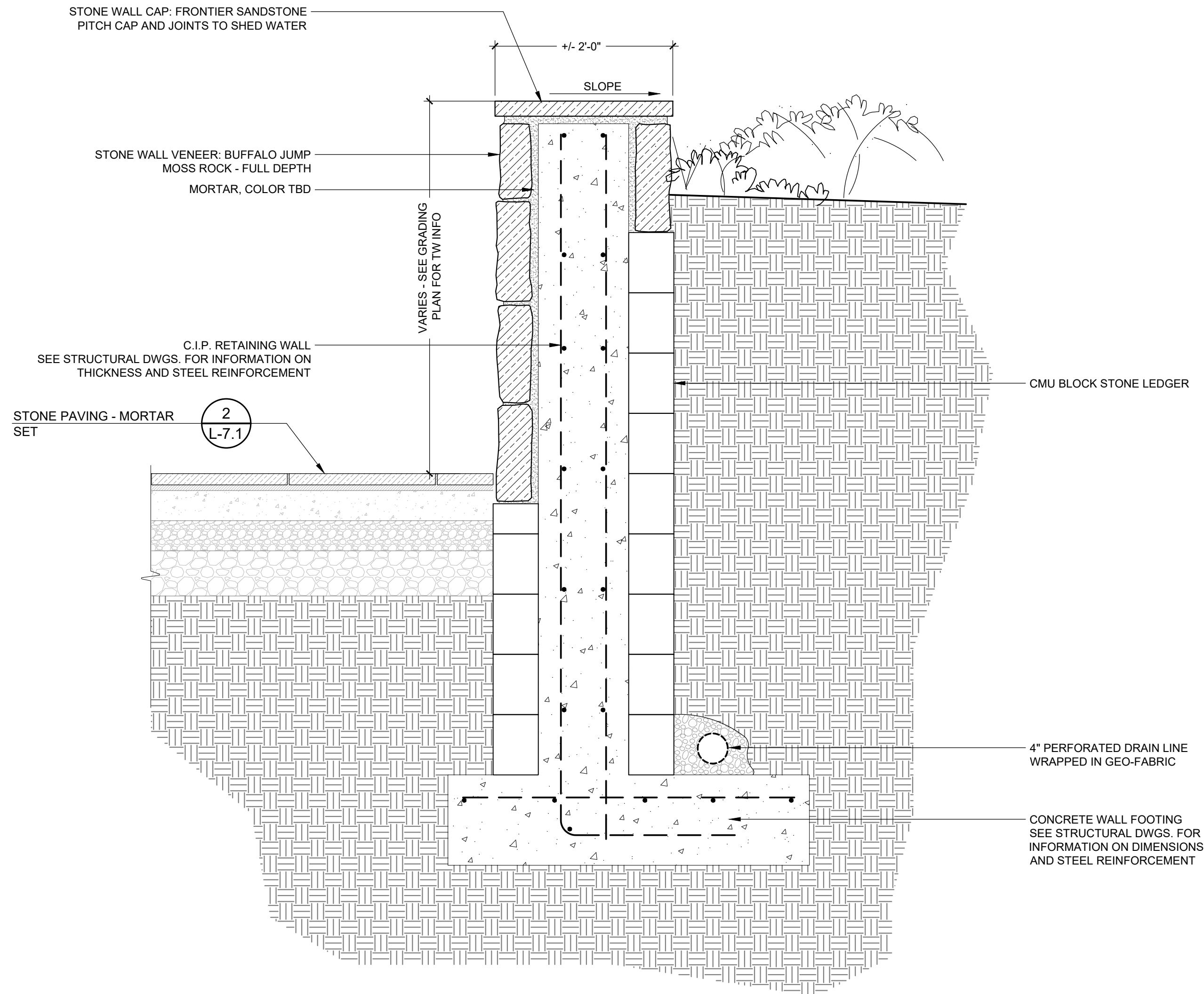


B. SECTION

## 6 WOOD BOARDWALK

3/4" = 1'-0"

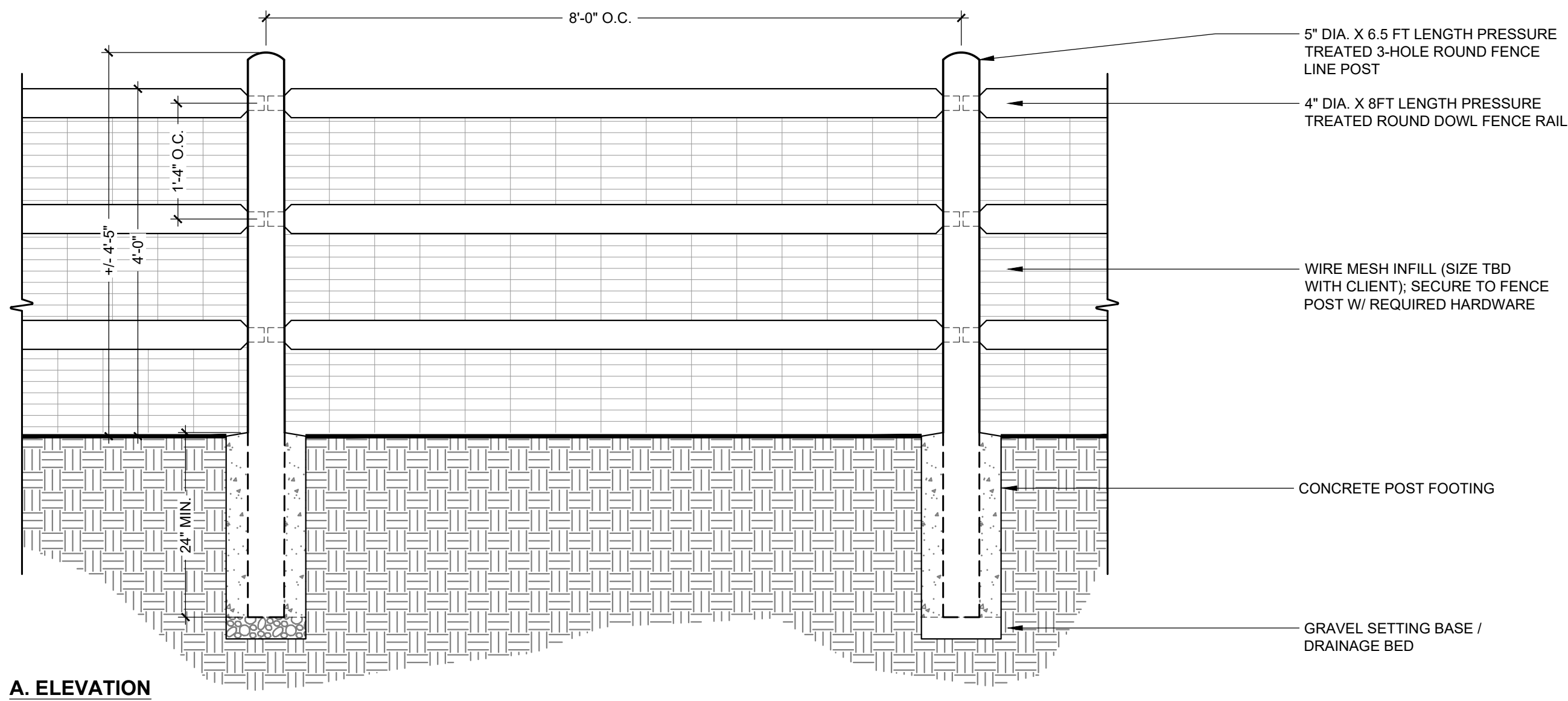




A. SECTION

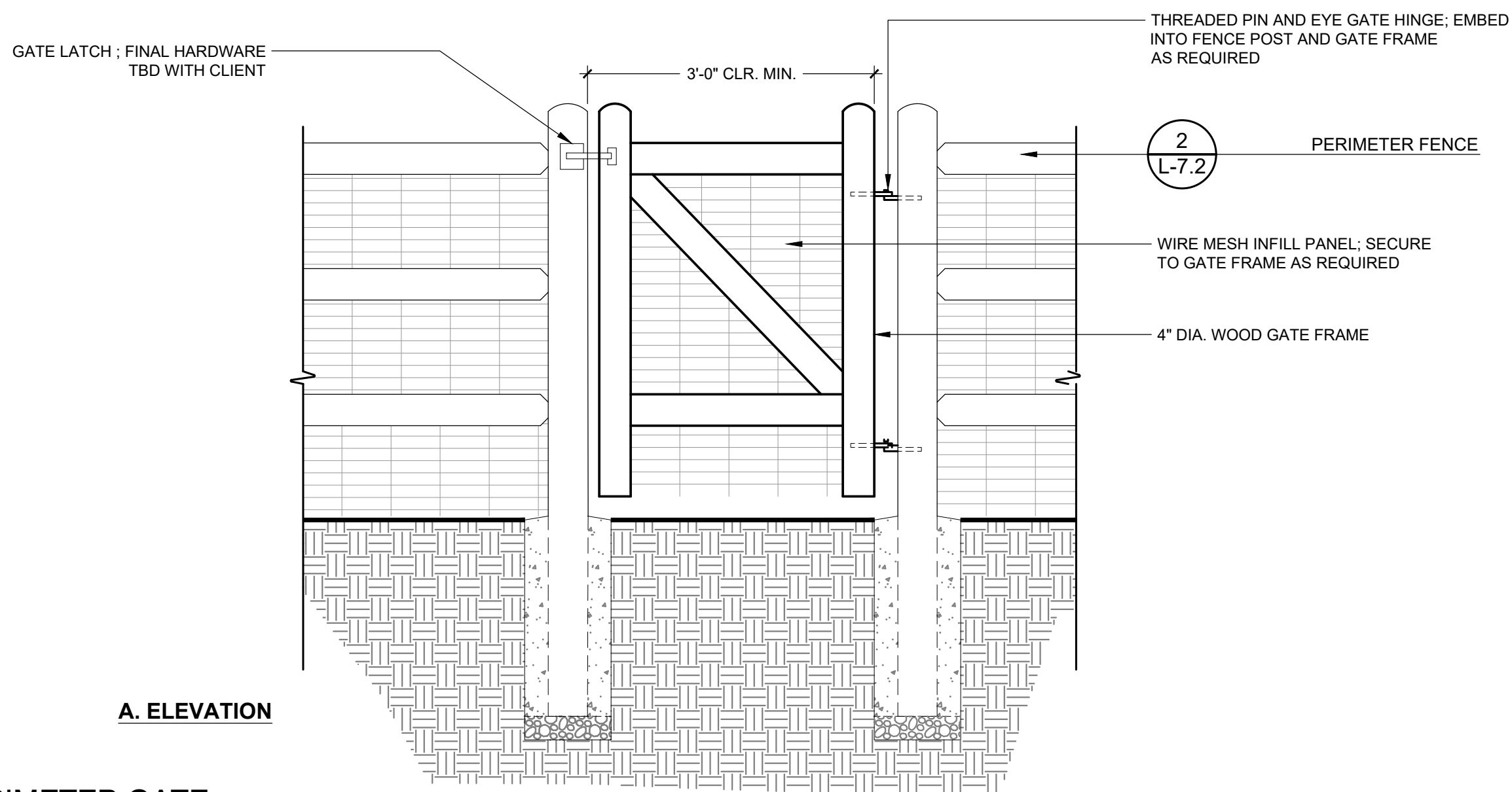
NOTES:  
1. SEE STONE SCHEDULE ON SITE MATERIALS PLAN SHEET L-4.0 FOR MORE INFORMATION ON STONE TYPE AND DIMENSIONS RELATED TO STONE WALL VENEER AND CAP STONE.

1 SITE RETAINING WALL  
1" = 1'-0"



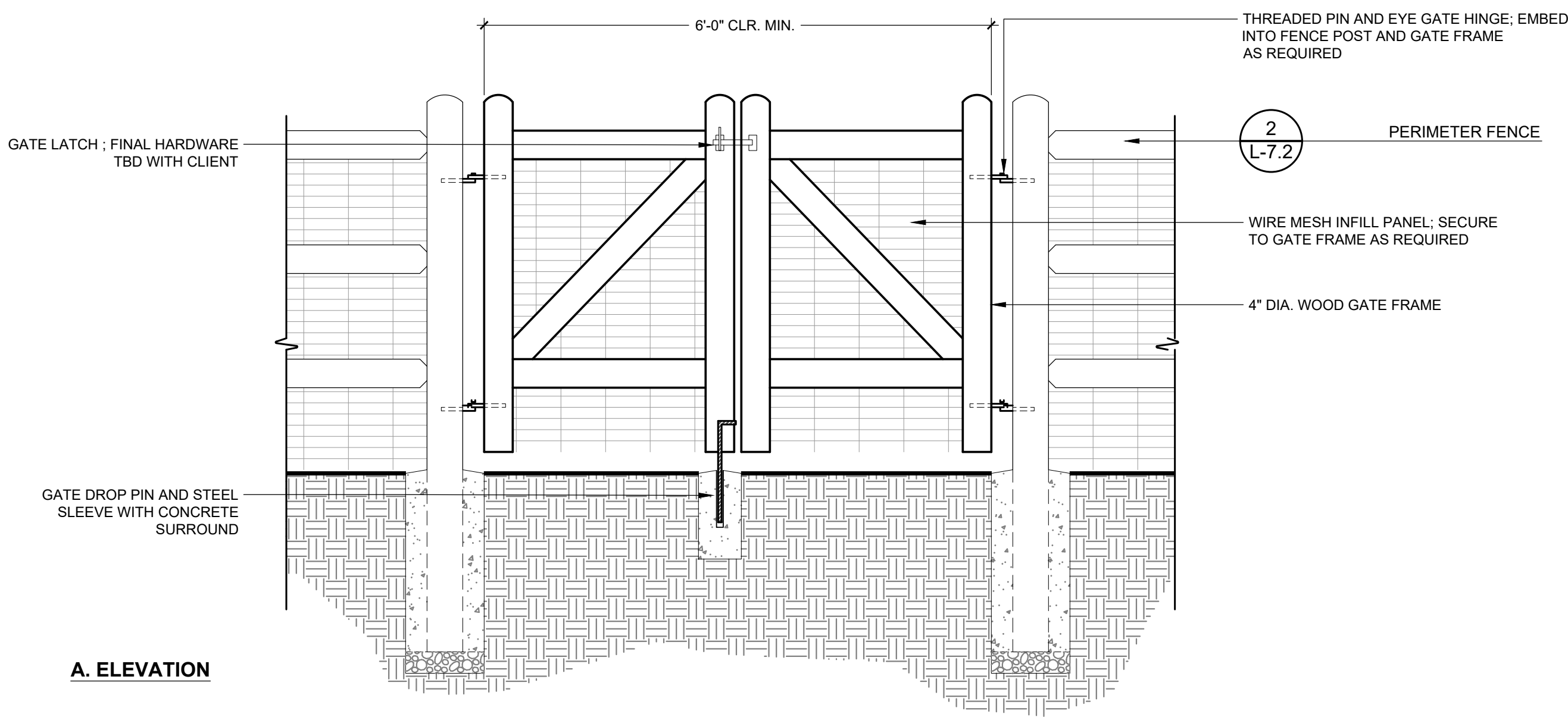
A. ELEVATION

2 PERIMETER FENCE  
3/4" = 1'-0"



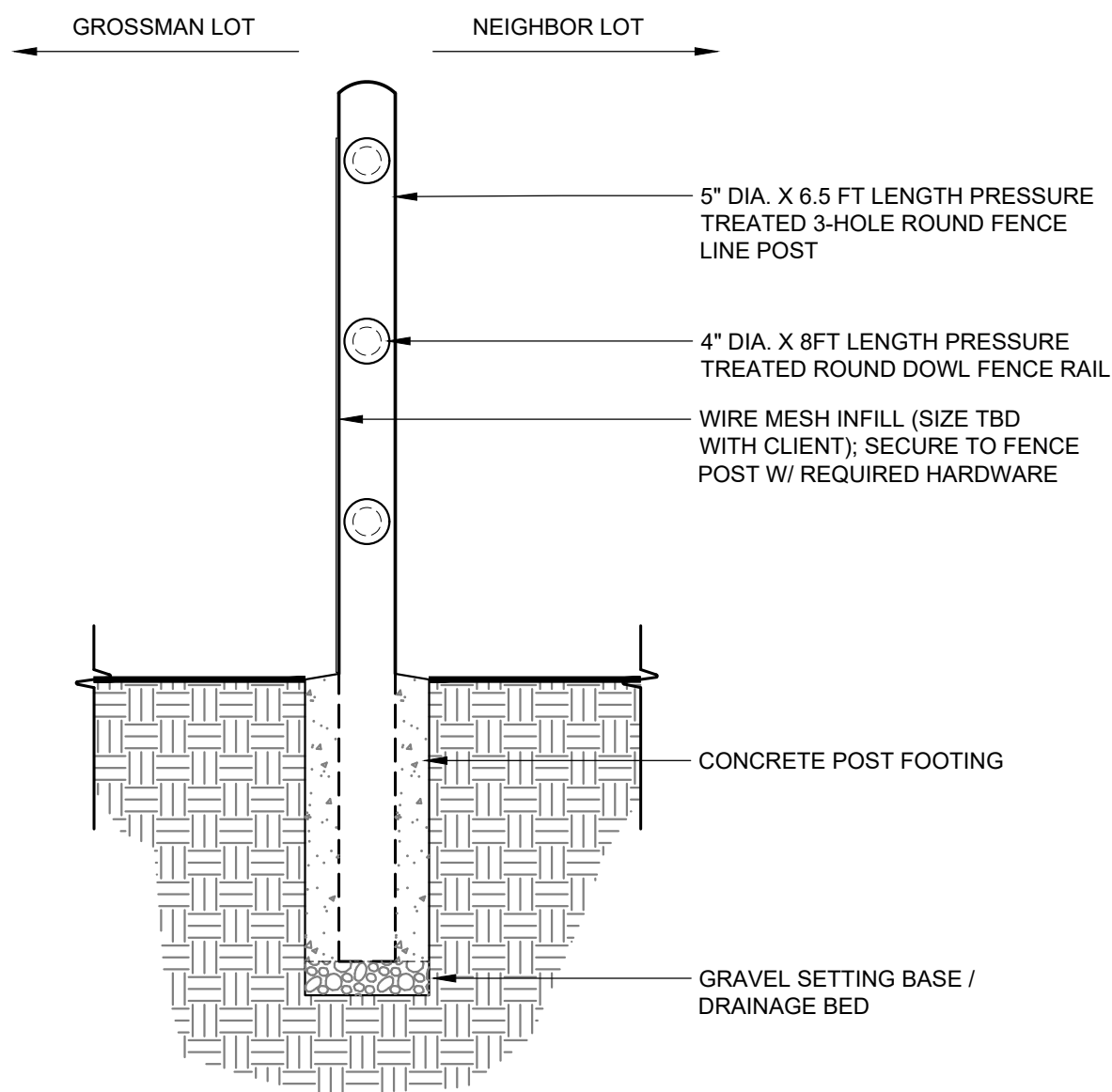
A. ELEVATION

3 PERIMETER GATE  
3/4" = 1'-0"



A. ELEVATION

4 PERIMETER DOUBLE SWING GATE  
3/4" = 1'-0"



B. SECTION

**LANDSCAPE REMODEL**  
**GROSSMAN / FRADKIN RESIDENCE**  
**215 GEM ST., KETCHUM, ID 83340**

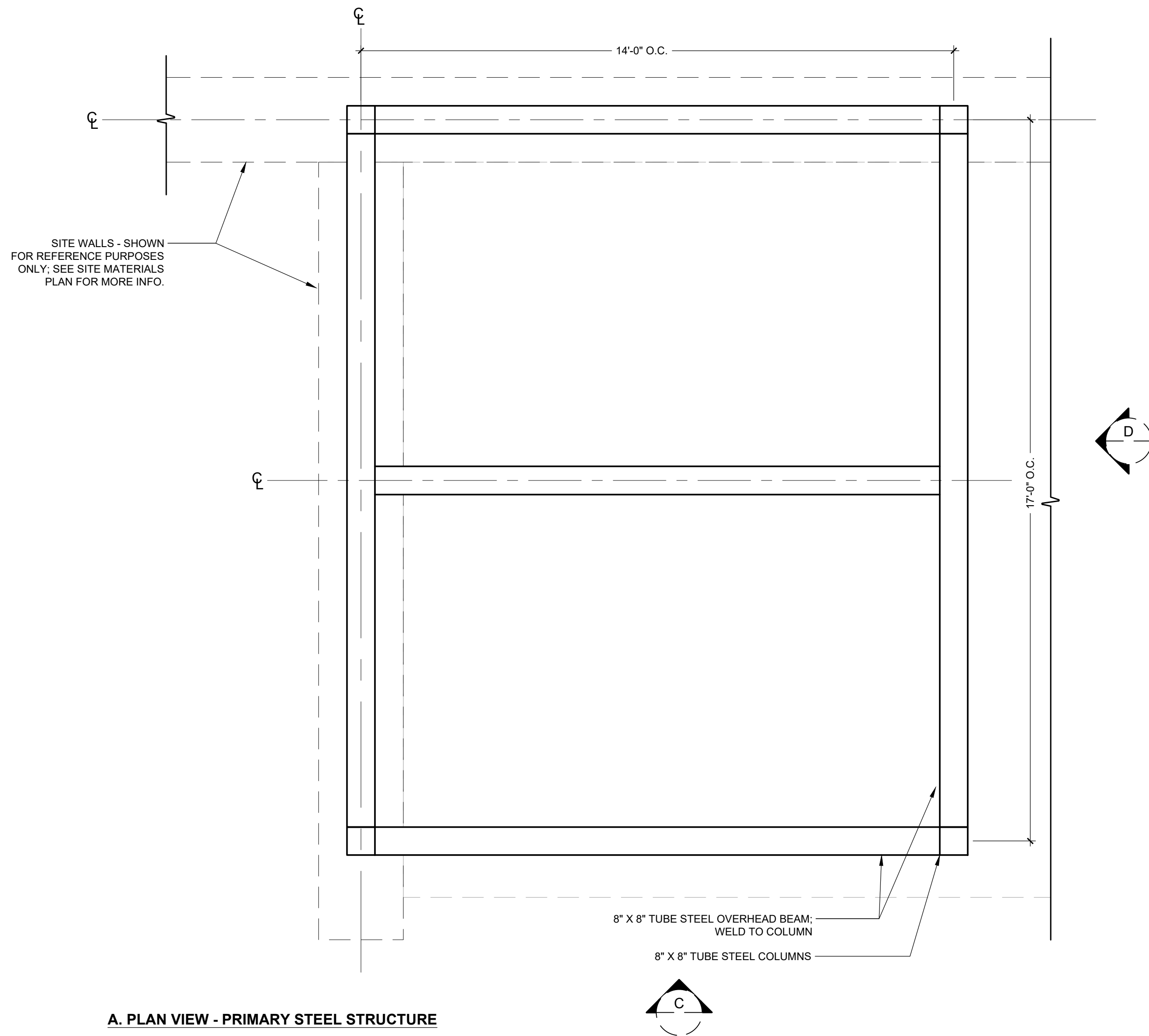
FILENAME:  
PROJECT MANAGER: **EM**  
DRAWN BY: **KP**  
ISSUE DATE: **11/02/2021**  
PLOT DATE:

**SITE DETAILS**

SHEET NO.

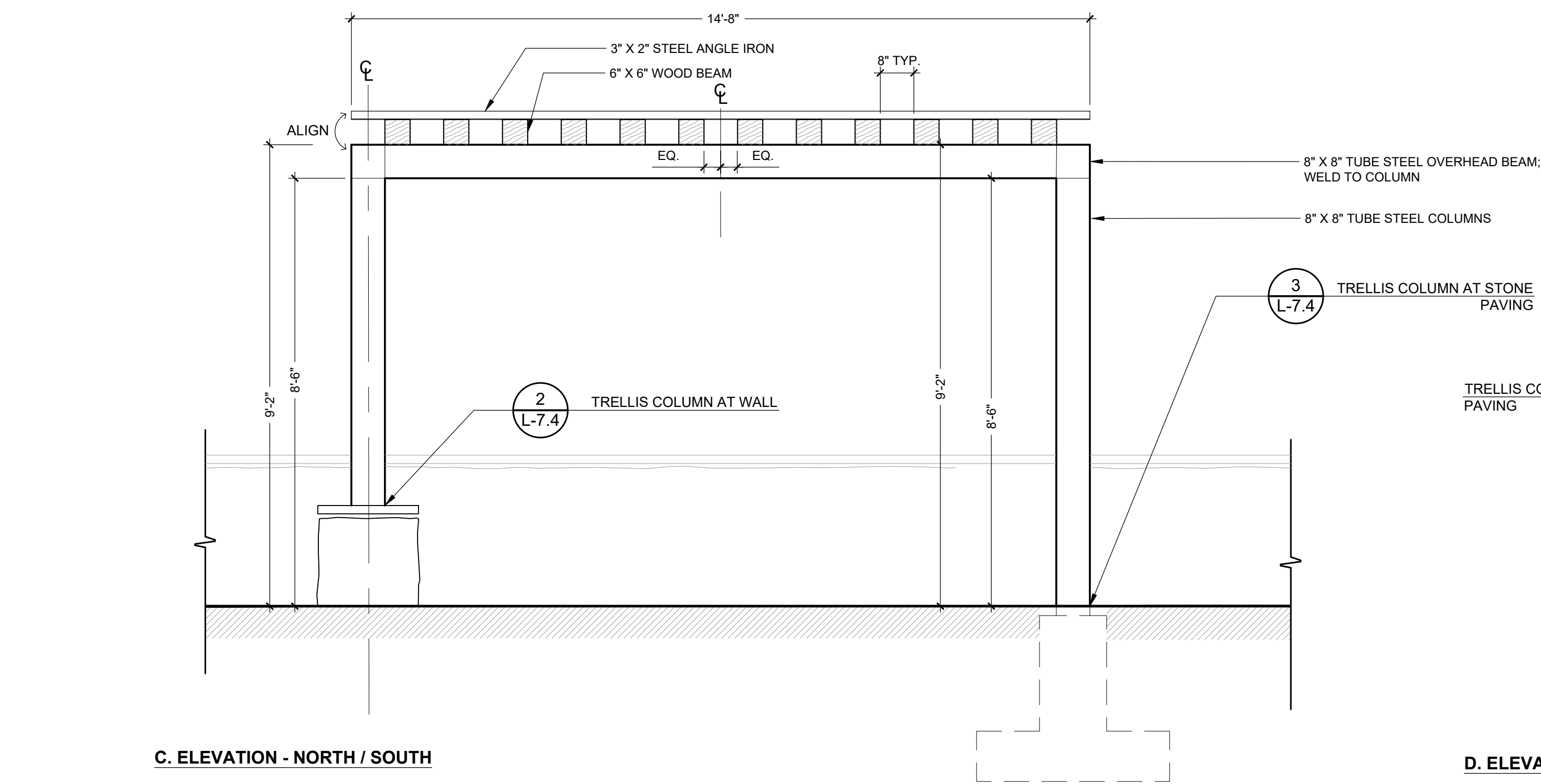
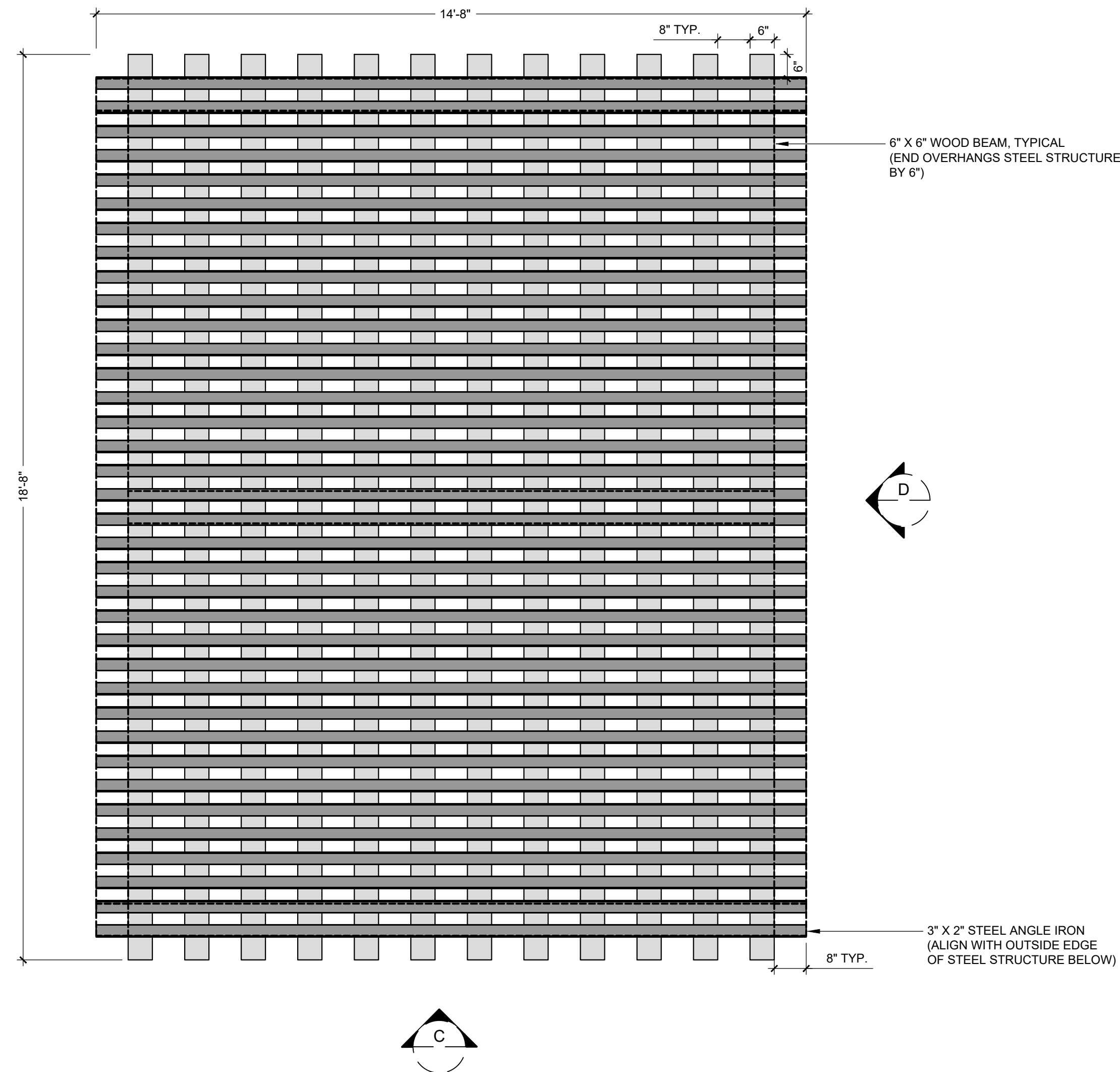
**L-7.2**





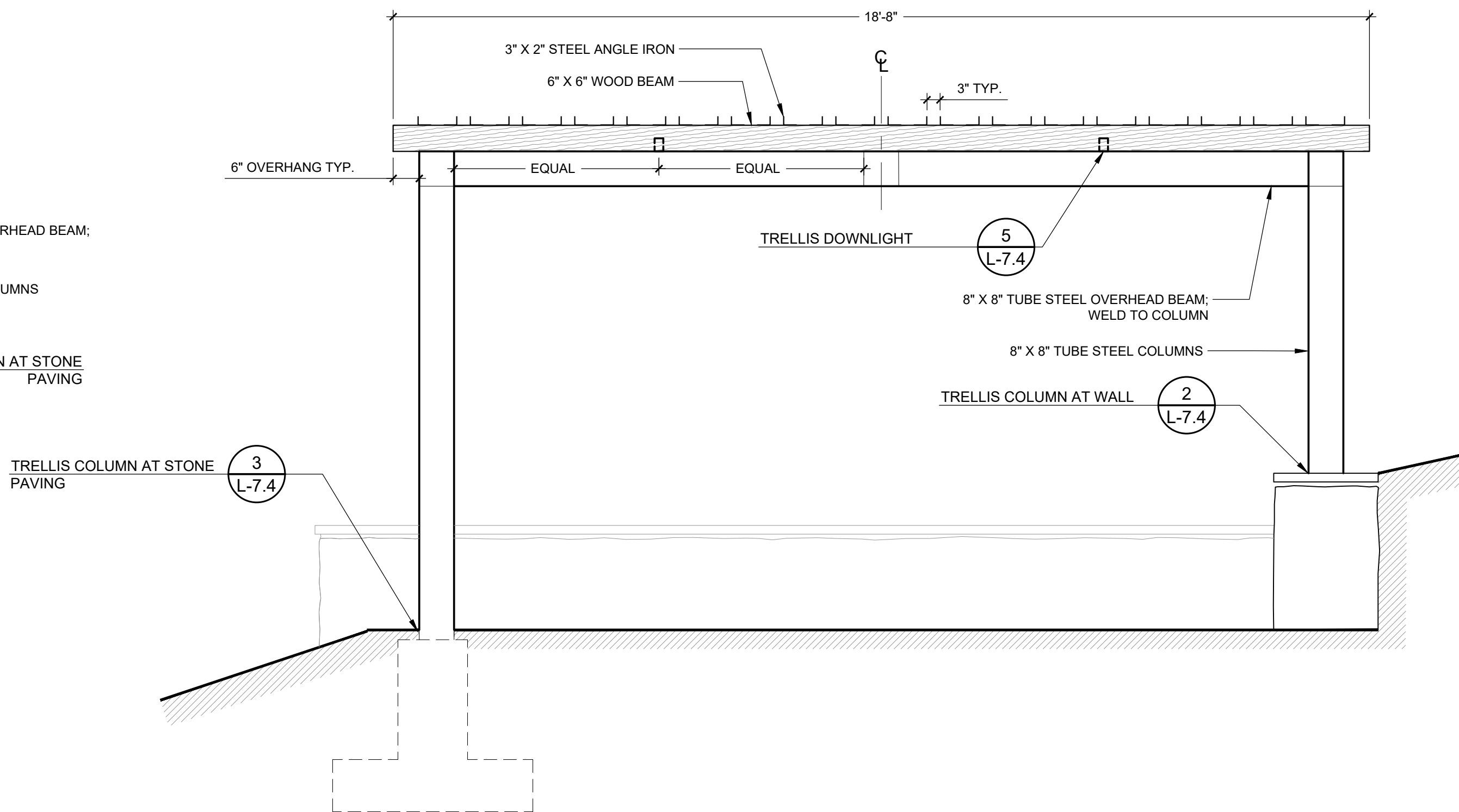
A. PLAN VIEW - PRIMARY STEEL STRUCTURE

B. PLAN VIEW - STRUCTURE OVERHEAD ELEMENTS



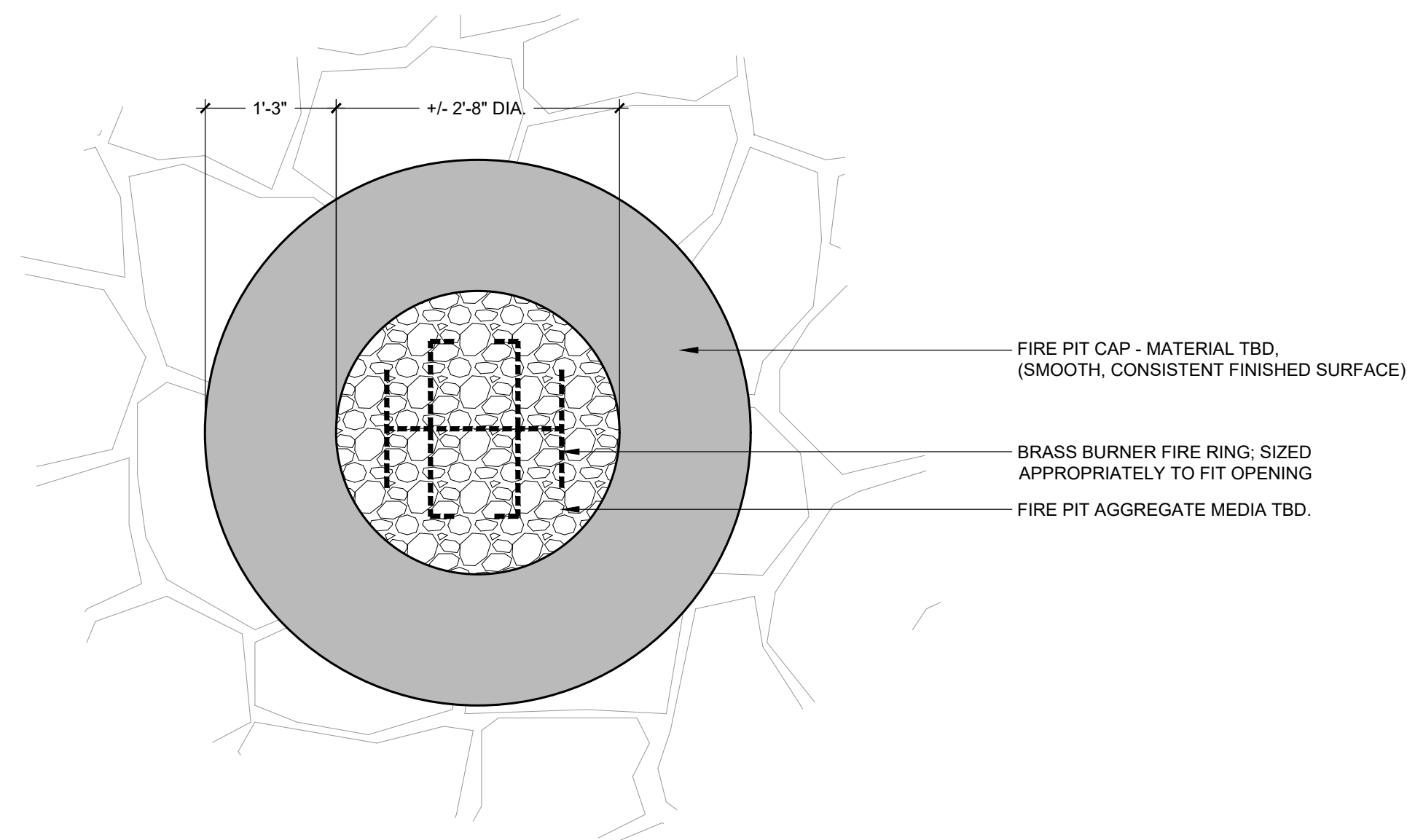
C. ELEVATION - NORTH / SOUTH

D. ELEVATION - EAST / WEST

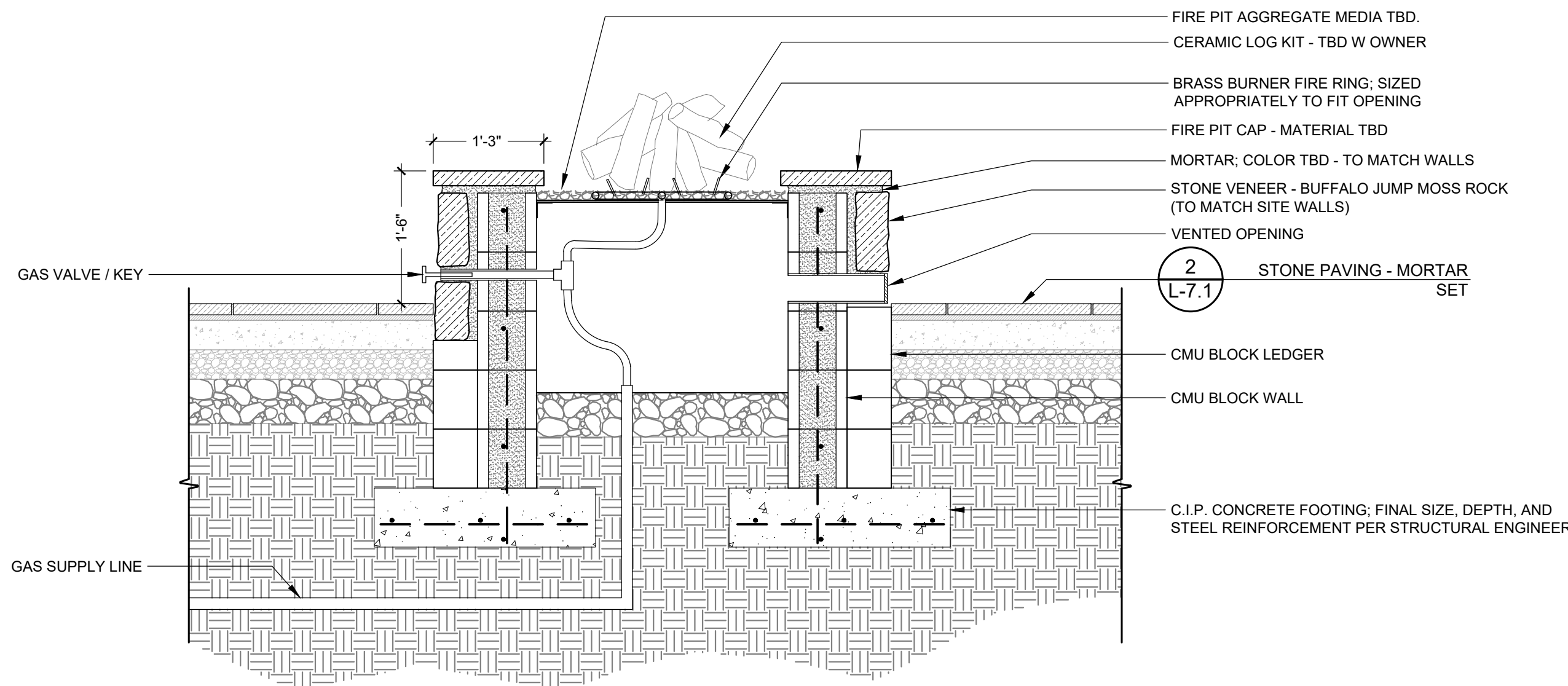


NOTES:  
1. FINISH AND COLOR OF ALL TRELLIS MATERIALS TO BE DETERMINED



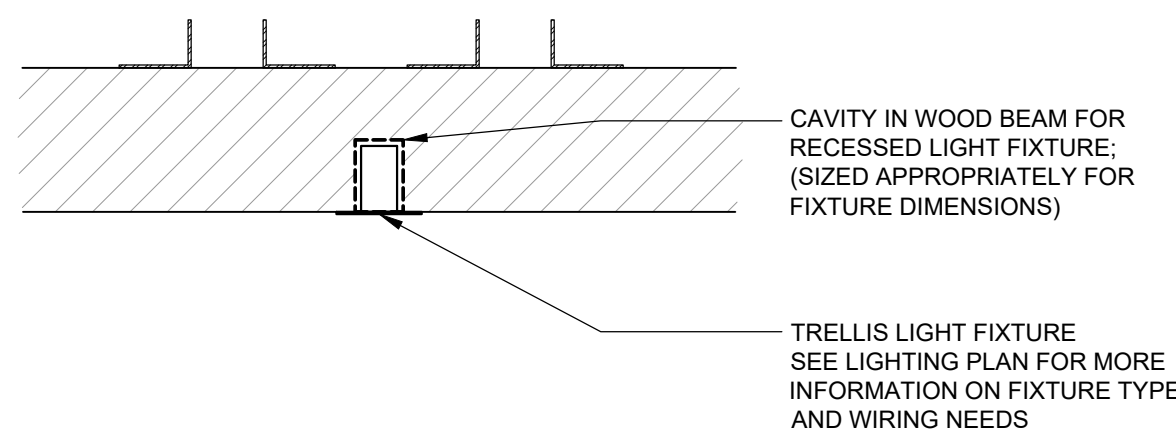


A. PLAN VIEW

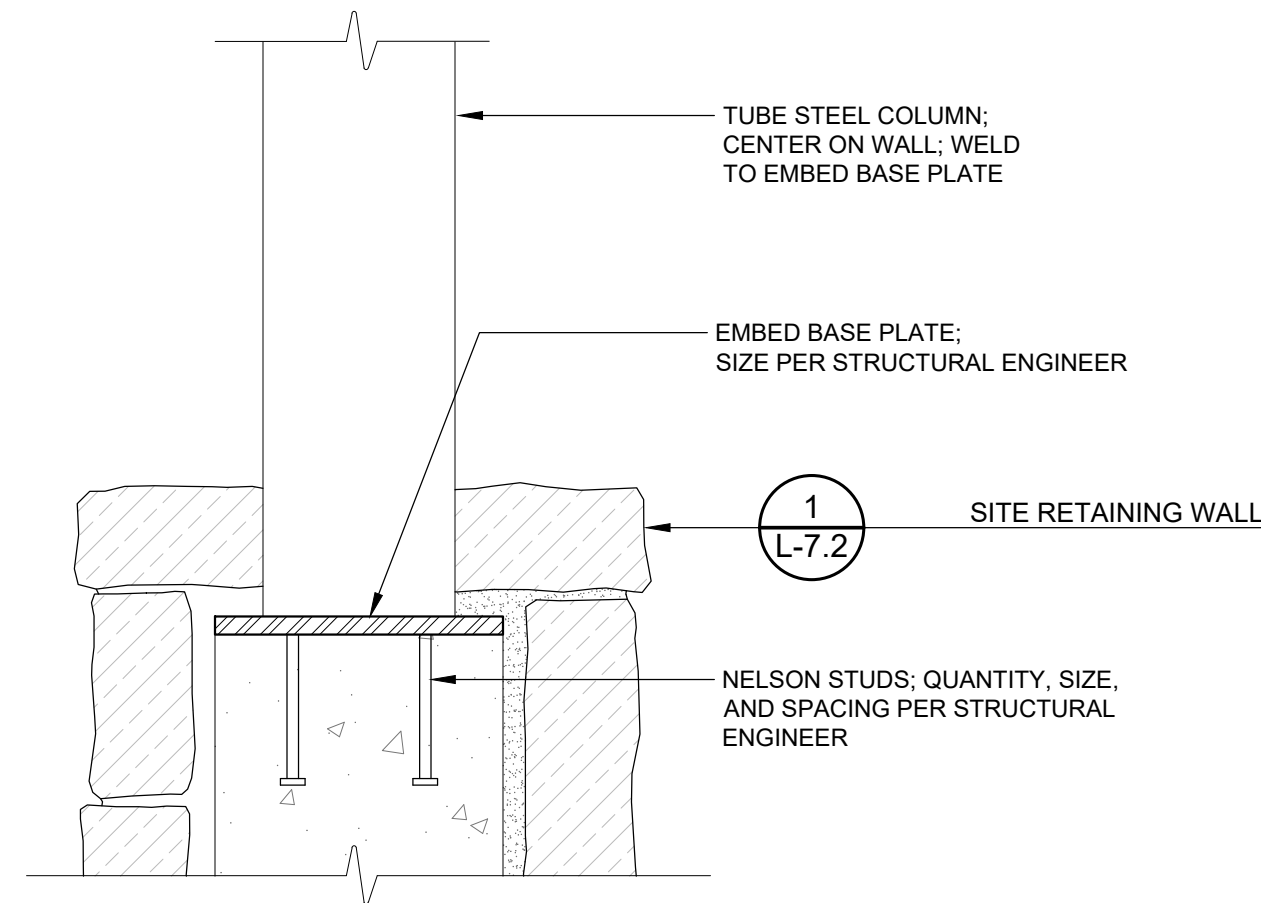


B. SECTION

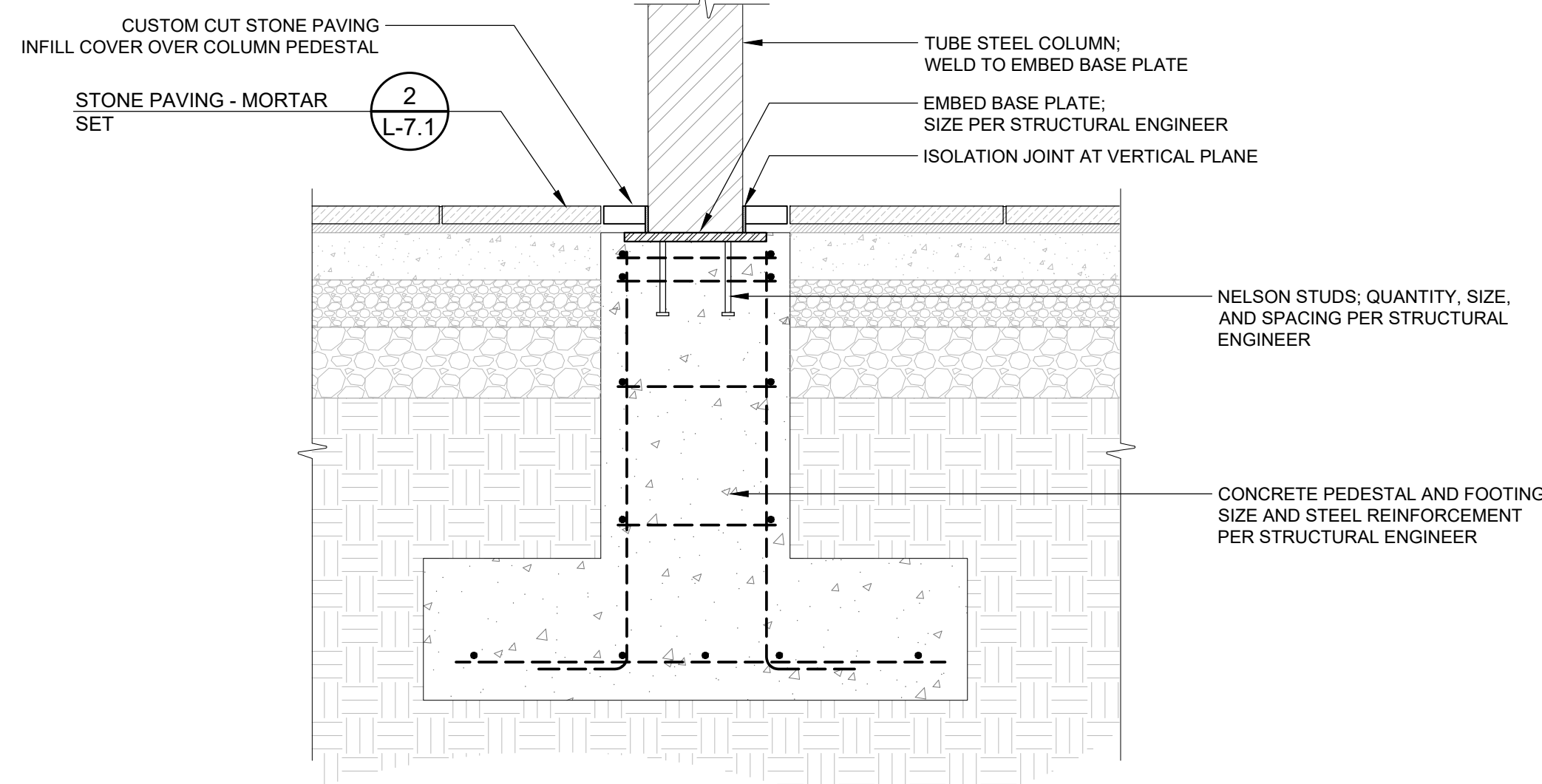
1 FIRE PIT  
3/4" = 1'-0"



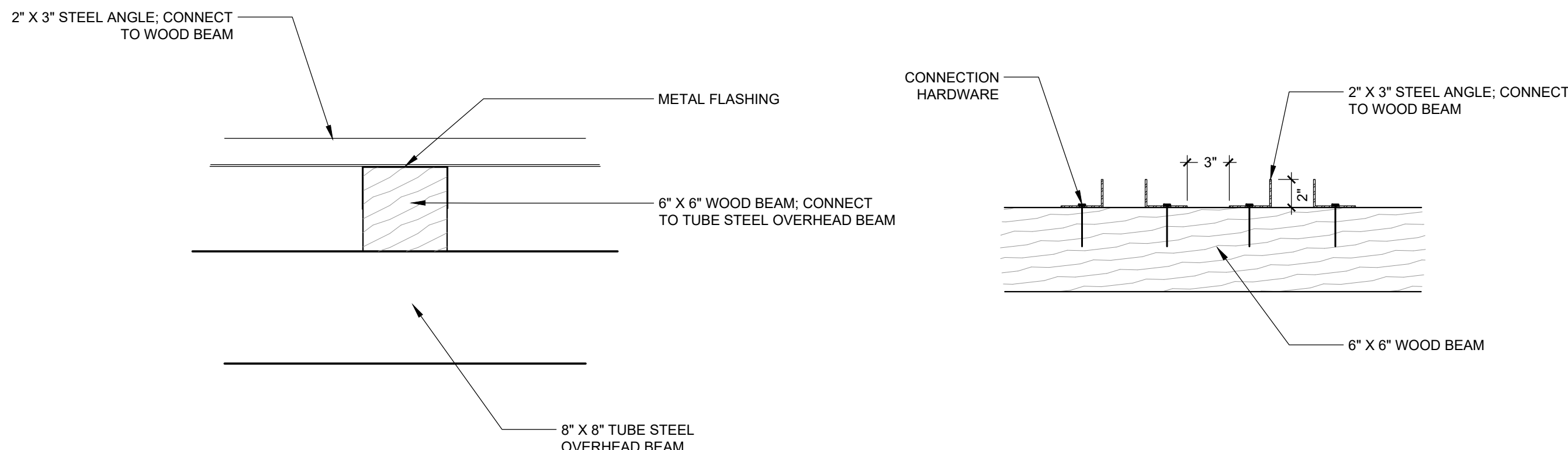
5 TRELLIS DOWNLIGHT  
1 1/2" = 1'-0"



2 TRELLIS COLUMN AT WALL  
1 1/2" = 1'-0"



3 TRELLIS COLUMN AT STONE PAVING  
1" = 1'-0"



4 TRELLIS OVERHEAD ELEMENTS CONNECTION  
1 1/2" = 1'-0"



Attachment C.

Draft Findings of Fact,  
Conclusions of Law, and  
Decision





## City of Ketchum Planning & Building

IN RE: )  
)  
215 Gem Street Addition & Landscaping) **KETCHUM PLANNING AND ZONING COMMISSION**  
Mountain Overlay Design Review ) **FINDINGS OF FACT, CONCLUSIONS OF LAW, AND**  
Date: November 1, 2021 ) **DECISION**  
)  
File Number: P21-089 )

**PROJECT:** 215 Gem St Addition & Landscaping

**APPLICATION TYPE:** Mountain Overlay Design Review

**FILE NUMBER:** P21-089

**OWNER:** Jill Grossman

**REPRESENTATIVE:** Steve Cook, Steve Cook Architect

**REQUEST:** Mountain Overlay Design Review

**LOCATION:** 215 Gem Street (Syringa Springs Sub Lot 6)

**NOTICE:** A public hearing notice was mailed to all property owners within 300 feet of the project site and political subdivisions on November 24, 2021. The public hearing notice was published in the Idaho Mountain Express on November 19, 2021.

**ZONING:** Limited Residential District (LR) Zoning District

### BACKGROUND FACTS

The subject Mountain Overlay (MO) Design Review is for the development of an office addition and landscaping project at 215 Gem St (Syringa Springs Sub Lot 6). The site is located in the Limited Residential (LR) Zoning District and also within the Mountain Overlay. The subject property is currently occupied by a single-family residence and the site is characterized by approximately 86 ft grade change from the Gem Street right-of-way to the rear property line. The subject property is 0.526 acres in size (22,937 square feet) and is 272.95' deep with a minimum elevation of approximately 5835' and a maximum elevation of approximately 5870', a slope of 13% on the southern property boundary (35' of elevation gain), and 14% on the northern property boundary (28' of elevation gain). There is a lot line shift application associated with the project that proposes to extend the building envelope for the property into the rear yard to allow for the construction of the addition and pergola..

Pursuant to Ketchum Municipal Code (KMC) §17.104.050.A, the construction or placement of structures within the MO District is subject to all applicable Design Review improvements and standards (KMC §17.96.060) as well as subject to the Mountain Overlay Design Review requirements set forth in KMC §17.104.070. The purpose of the MO Zoning District is to encourage land uses harmonious with existing natural resources, protect natural land features and wildlife habitat, prohibit detrimental alteration, and minimize impacts to the existing



topography, preserve hillsides and ridges, and minimize the visual impact of building sites by siting building footprint away from higher elevations.

### Findings of Fact

**Table 1: Findings Regarding Zoning and Dimensional Standards**

Compliance with Zoning and Dimensional Standards				
Compliant			Standards and Commission Findings	
Yes	No	N/A	Ketchum Municipal Code Standard	City Standards and Commission Findings
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.12.030</b>	<b>Minimum Lot Area</b>
			<b>Commission Finding</b>	<b>Required:</b> 9,000 square feet minimum. <b>Existing (Lot 6):</b> 22,933 sq ft
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.12.030</b>	<b>Building Coverage</b>
			<b>Commission Finding</b>	<b>Permitted:</b> 35% <b>Proposed:</b> 23% (5,329 sq ft building coverage/22,933 sq ft lot area)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.12.030</b>	<b>Minimum Building Setbacks</b>
			<b>Commission Finding</b>	<b>Minimum:</b> Front: 15' Side: > of 1' for every 2' in building height, or 10' Rear: 20'  <b>Proposed:</b> Front: 15' Side (N): 14' Side (S): 14' Rear: 20'
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.12.030</b>	<b>Building Height</b>
			<b>Commission Finding</b>	<b>Maximum Permitted:</b> 35' <b>Proposed:</b> 15' addition (27' existing residence)
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.125.030.H</b>	<b>Curb Cut</b>
			<b>Commission Finding</b>	<b>Permitted:</b> A total of 35% of the linear footage of any street frontage can be devoted to access off street parking. <b>Proposed:</b> Existing residence has driveway that was approved by Mountain Overlay Design Review and Building Permit in 1994. No modifications are proposed to the driveway
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.125.020.A.2 &amp; 17.125.050</b>	<b>Parking Spaces</b>
			<b>Commission Finding</b>	Off-street parking standards of this chapter apply to any new development and to any new established uses. <b>Required:</b> One-Family Dwelling: 2 spaces per dwelling unit <b>Existing:</b> 2 spaces (Garage)

**Table 2: Findings Regarding Mountain Overlay Design Review Standards**

Mountain Overlay Design Review Standards (KMC §17.107.070.A)				
Compliant			Standards and Commission Findings	
Yes	No	N/A	Reference	City Standards and Commission Findings



<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.104.070.A.1</b>	<b>There is no building on ridges or knolls which would have a material visual impact on a significant skyline visible from a public vantage point entering the City or within the City. Material, as the term is used herein, shall be construed in light of the magnitude of the negative impact on the objectives of this Ordinance.</b>
			<b>Commission Findings</b>	<p>No ridges or knolls have been identified on the subject parcel—the ridge line is located beyond the extent of the rear property line.</p> <p>The property is not located adjacent to an identified or protected view corridor. Vegetation and existing development sufficiently screens Gem Street from the Highway 75 corridor.</p> <p>As the proposed building footprint is sited at the lower elevation of the site, the applicant has minimized visual impact to the Gem Street ridgeline. The proposed siting and design of the single-family residence protects the visual integrity of the hillside.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.104.070.A.2</b>	<b>Building, excavating, filling and vegetation disturbance on hillsides which would have a material visual impact visible from a public vantage point entering the City or within the City is minimized. Material, as the term is used herein, shall be construed in light of the magnitude of the negative impact on the objectives of this Ordinance.</b>
			<b>Commission Findings</b>	Building, excavation, filling, and vegetation disturbance will not have a material visual impact visible from a public vantage point entering into or within the city due to the siting of the building footprint and limits of disturbance sited at the lower elevation portion of the site. Outside of the limits of disturbance associated with the building and associated site improvements, the project will retain the site's existing grade and vegetation.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.104.070.A.3</b>	<b>Driveway standards as well as other applicable standards contained in Street Standards Chapter 12.04 are met.</b>
			<b>Commission Findings</b>	Existing driveway approved by Mountain Overlay Design Review (MO 94-05) and Building Permit (94063) in 1994. No work to be done on existing driveway.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.104.070.A.4</b>	<b>All development shall have access for fire and other emergency vehicles to within one hundred fifty feet (150') of the furthest exterior wall of any building.</b>
			<b>Commission Findings</b>	Sufficient access is provided for fire and emergency apparatus to reach within 150 ft of the furthest exterior wall of the building. The Fire Department has reviewed the proposed design and has found that all access requirements for emergency vehicles has been met.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.104.070.A.5</b>	<b>Significant rock outcroppings are not disturbed.</b>
			<b>Commission Findings</b>	No significant rock outcroppings have been identified on the subject site.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.104.070.A.6</b>	<b>International Building Code (IBC) and International Fire Code (IFC) and Ketchum Fire Department requirements shall be met.</b>
			<b>Commission Findings</b>	The project must comply with the 2018 International Building Code, the 2018 International Fire Code and Ketchum Fire Department requirements, as well as Title 15 of Ketchum Municipal Code. All IBC, IFC, and Ketchum Fire Department requirements shall be verified and met prior to the issuance of a Building Permit for the project.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.104.070.A.7</b>	<b>Public water and sewer service comply with the requirements of the City.</b>
			<b>Commission Findings</b>	Existing water and sewer stubs serve the subject property located at 215 Gem Street. Requirements and specifications for the water and sewer connections will be verified, reviewed, and approved by the Utilities Department prior to issuance of a Building Permit for the project.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.104.070.A.8</b>	<b>Drainage is controlled and maintained to not adversely affect other properties.</b>
			<b>Commission Findings</b>	As indicated on Sheet L-3.0 of the Design Review submittal, drainage is proposed to be maintained and controlled through a system of drywells. Prior to issuance of a Building Permit, the applicant shall submit a final drainage and grading plan stamped by an Idaho licensed engineer with associated specifications and details for the proposed drywells and catch basins. All drainage plans and specifications shall be reviewed and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project.



			<b>17.104.070.A.9</b>	<p>Cuts and fills allowed for roadways shall be minimized; lengths of driveways allowed shall be minimized; all cuts and fills shall be concealed with landscaping, revegetation and/or natural stone materials.</p> <p>Revegetation on hillsides with a clear zone of thirty feet (30') around all structures is recommended. Said clear zone shall include low combustible irrigated vegetation with appropriate species, on file with the Ketchum planning department. Revegetation outside of this clear zone should be harmonious with the surrounding hillsides.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>Commission Findings</b>	<p>No new roadway or driveway is proposed with the project. Both roadway and driveway are existing.</p> <p>As indicated on Sheet L-3.0, the eastern portion of the lot will remain undisturbed with native vegetation. KMC §17.104.070.A9 recommends that revegetation of hillsides maintain a 30 ft clear zone around all structures in order to serve as defensible space to reduce the potential for damage to homes from wildfires. In this zone, plant species should be low-growing and fire-resistant. The proposed landscape plan (Sheet L-5.0) includes shrub groupings comprised of five (5) Serviceberry as well as five (5) Diabolo Purple Ninebark. Fourteen (14) Quaking Aspen are proposed to be planted as to replace the existing aspens that are proposed for removal. While Serviceberry and Ninebark are appropriate species, the applicant is encouraged to use hardscapes and minimize overlapping shrub groupings within the defensible space zone.</p>
			<b>17.104.070.A.10</b>	<b>There are not other sites on the parcel more suitable for the proposed development in order to carry out the purposes of this Ordinance.</b>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>Commission Findings</b>	The existing building was built on the most downward site of the lot leaving the rear yard the only remaining developable land. The applicant has utilized the area of the property most suitable for development, which is characterized by a more gradual slope compared to steep grade at the northern portion of the site.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.104.070.A.11</b>	<b>Access traversing 25% or greater slopes does not have significant impact on drainage, snow and earth slide potential and erosion as it relates to the subject property and to adjacent properties.</b>
			<b>Commission Findings</b>	The existing driveway access does not traverse 25% or greater slopes.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.104.070.A.12</b>	<b>Utilities shall be underground.</b>
			<b>Commission Findings</b>	All on-site utilities shall be located underground.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.104.070.A.13</b>	<b>Limits of disturbance shall be established on the plans and protected by fencing on the site for the duration of construction.</b>
			<b>Commission Findings</b>	Sheet L-3.0 indicates the limits of disturbance associated with the project.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.104.070.A.14</b>	<b>Excavations, fills and vegetation disturbance on hillsides not associated with the building construction shall be minimized.</b>
			<b>Commission Findings</b>	The project scope does not propose any cuts or fills other than those required for building construction—all excavation, fill, and vegetation disturbance is associated
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.104.070.A.15</b>	<b>Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.</b>
			<b>Commission Findings</b>	No significant landmarks have been identified on-site.



**Table 3: Findings Regarding Design Review Standards**

Design Review Requirements				
IMPROVEMENTS AND STANDARDS: 17.96.060				
Yes	No	N/A	City Code	City Standards and <i>Commission Findings</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(A)(1) Streets	The applicant shall be responsible for all costs associated with providing a connection from an existing city street to their development.
			<i>Commission Findings</i>	Existing driveway connects to Gem Street.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(A)(2) Streets	All street designs shall be approved by the City Engineer.
			<i>Commission Findings</i>	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(B)(1)	All projects under 17.96.010(A) that qualify as a “Substantial Improvement” shall install sidewalks as required by the Public Works Department.
			<i>Commission Findings</i>	N/A as sidewalks are not required or existing in the subject low density residential area.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060 (B)(2)c	Sidewalk width shall conform to the City’s right-of-way standards, however the City Engineer may reduce or increase the sidewalk width and design standard requirements at their discretion.
			<i>Commission Findings</i>	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060 (B)(3)	Sidewalks may be waived if one of the following criteria is met: a. The project comprises an addition of less than 250 square feet of conditioned space. b. The City Engineer finds that sidewalks are not necessary because of existing geographic limitations, pedestrian traffic on the street does not warrant a sidewalk, or if a sidewalk would not be beneficial to the general welfare and safety of the public.
			<i>Commission Findings</i>	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060 (B)(4)	The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.
			<i>Commission Findings</i>	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060 (B)(5)	New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.
			<i>Commission Findings</i>	N/A
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060 (B)(6)	The City may approve and accept voluntary cash contributions in-lieu of the above described improvements, which contributions must be segregated by the City and not used for any purpose other than the provision of these improvements. The contribution amount shall be one hundred ten percent (110%) of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the City Engineer. Any approved in-lieu contribution shall be paid before the City issues a certificate of occupancy.
			<i>Commission Findings</i>	N/A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(1)	All storm water shall be retained on site.
			<i>Commission Findings</i>	All storm water shall be retained on site. As indicated on Sheet L-3.0 of the Design Review submittal, drainage is proposed to be maintained and controlled through a system of drywells.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(2)	Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.



			<b>Commission Findings</b>	<i>The proposed shall drainage improvements span the width of the subject lot. See above analysis for KMC §17.96.060(C)(1).</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060(C)(3)</b>	<b>The City Engineer may require additional drainage improvements as necessary, depending on the unique characteristics of a site.</b>
			<b>Commission Findings</b>	<i>The final drainage plan shall be submitted with the Building Permit to be verified, reviewed, and approved by the City Engineer and the Streets Department prior to issuance of a Building Permit for the project.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060(C)(4)</b>	<b>Drainage facilities shall be constructed per City standards.</b>
			<b>Commission Findings</b>	<i>Drainage facilities shall be constructed per City standards. All drainage improvements shall be verified, reviewed, and approved by the City Engineer prior to issuance of a Building Permit for the project.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060(D)(1)</b>	<b>All utilities necessary for the development shall be improved and installed at the sole expense of the applicant.</b>
			<b>Commission Findings</b>	<i>All utilities for the development shall be improved and installed at the expense of the applicant.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060(D)(2)</b>	<b>Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view.</b>
			<b>Commission Findings</b>	<i>All on-site utilities shall be located underground. The project will connect to existing water and sewer lines within Gem Street and the associated existing infrastructure is underground.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.96.060(D)(3)</b>	<b>When extension of utilities is necessary all developers will be required to pay for and install two (2") inch SDR11 fiber optical conduit. The placement and construction of the fiber optical conduit shall be done in accordance with city of Ketchum standards and at the discretion of the City Engineer.</b>
			<b>Commission Findings</b>	<i>N/A</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060(E)(1)</b>	<b>The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures.</b>
			<b>Commission Findings</b>	<i>As indicated on Sheet A.7, the proposed office addition will be composed of stucco and composite roofing material that will match the existing residence. The proposed materials and colors are complementary to both existing homes within the Gem Street neighborhood and also to the adjacent hillside.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.96.060(E)(2)</b>	<b>Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.</b>
			<b>Commission Findings</b>	<i>N/A. There are no identified landmarks on the property.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.96.060(E)(3)</b>	<b>Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to.</b>
			<b>Commission Findings</b>	<i>N/A. Residence built in 1994.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060(F)(1)</b>	<b>Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined.</b>
			<b>Commission Findings</b>	<i>N/A as sidewalks are not required to be installed within low density residential street right-of-ways.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060(F)(2)</b>	<b>The building character shall be clearly defined by use of architectural features.</b>
			<b>Commission Findings</b>	<i>Building elevations are included on Sheet A.7 of the Design Review submittal. The addition uses the same architectural features as the existing building with the same roof form and materials. The addition uses windows to break up the stucco material. Architectural features of the addition will only be seen by the adjacent property owners as the addition is small in nature and located on the rear of the building.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060(F)(3)</b>	<b>There shall be continuity of materials, colors and signing within the project.</b>
			<b>Commission Findings</b>	<i>The proposed materials and color palette match the existing residence. The materials and colors complement the surrounding landscape.</i>



<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(4)	Accessory structures, fences, walls and landscape features within the project shall match or complement the principal building.
			<b>Commission Findings</b>	The addition complements the existing structure by using the same stucco and roofing materials. The landscape features include an outdoor dining area, pathway, and trellis with a fire pit that complement the single-family residence. Retaining walls, decks/patios, and boulders complement the outdoor living areas and enhance the landscaping.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(5)	Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.
			<b>Commission Findings</b>	The design incorporates variation in architectural features and materials across all facades. The proposed elevation views provided by the applicant show that all building walls provide undulation and relief, serving to reduce the appearance of flatness at all facades.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(F)(6)	Building(s) shall orient towards their primary street frontage.
			<b>Commission Findings</b>	N/A. Existing residence faces Gem Street.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(F)(7)	Garbage storage areas and satellite receivers shall be screened from public view and located off alleys.
			<b>Commission Findings</b>	N/A. The project does not propose a satellite receiver. The project is located within a low density residential zoning district, which does not include an exterior commercial garage receptacle requiring screening.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(8)	Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties.
			<b>Commission Findings</b>	The roof design as indicated on Sheet A.7 includes gutters, which will prevent water from dripping on residents. Roof overhangs will also serve as weather protection.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(1)	Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.
			<b>Commission Findings</b>	N/A. The subject property is a site located within a residential neighborhood. The site is not contiguous to an existing pedestrian, equestrian, or bicycle access.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(G)(2)	Awnings extending over public sidewalks shall extend five (5') feet or more across the public sidewalk but shall not extend within two (2') feet of parking or travel lanes within the right of way.
			<b>Commission Findings</b>	N/A.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(3)	Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage.
			<b>Commission Findings</b>	The proposed single-family residence will be accessed from Gem Street. The private driveway serves is low traffic as it serves two other residences.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(4)	Curb cuts and driveway entrances shall be no closer than twenty (20') feet to the nearest intersection of two or more streets, as measured along the property line adjacent to the right of way. Due to site conditions or current/projected traffic levels or speed, the City Engineer may increase the minimum distance requirements.
			<b>Commission Findings</b>	The driveway is located over 200 ft away from the nearest intersection of Gem Street and Leadville Avenue.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(5)	Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project.
			<b>Commission Findings</b>	Unobstructed access to the site is provided through Gem Street.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(H)(1)	Snow storage areas shall not be less than thirty percent (30%) of the improved parking and pedestrian circulation areas.



			<b>Commission Findings</b>	<i>Pursuant to Fire Department requirements, the driveway shall be heated. As indicated on Sheet L2, the applicant has also provided 2,300 sq ft of snow storage on site.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060(H)(2)</b>	<b>Snow storage areas shall be provided on-site.</b>
			<b>Commission Findings</b>	<i>The applicant has proposed both a snowmelt system and 2,300 sq ft of snow storage on site.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060(H)(3)</b>	<b>A designated snow storage area shall not have any dimension less than five (5') feet and shall be a minimum of twenty five (25) square feet.</b>
			<b>Commission Findings</b>	<i>The designated snow storage exceed these dimensions.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060(H)(4)</b>	<b>In lieu of providing snow storage areas, snow melt and hauling of snow may be allowed.</b>
			<b>Commission Findings</b>	<i>The applicant has proposed a snow melt system for all vehicular circulation areas.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060(I)(1)</b>	<b>Landscaping is required for all projects.</b>
			<b>Commission Findings</b>	<i>The required landscape plan is indicated on Sheet L-5.0 of the Design Review submittal.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060(I)(2)</b>	<b>Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape.</b>
			<b>Commission Findings</b>	<i>The proposed landscape plan (Sheet L-5.0) includes shrub groupings comprised of five (5) Serviceberry as well as five (5) Diabolo Purple Ninebark. Fourteen (14) Quaking Aspen are proposed to be planted as to replace the existing aspens that are proposed for removal. Serviceberry, ninebark and aspen are all drought tolerant species and adaptable to the Wood River Valley climate. The landscape plan complements the single-family residence and adjacent neighborhood.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060(I)(3)</b>	<b>All trees, shrubs, grasses and perennials shall be drought tolerant. Native species are recommended but not required.</b>
			<b>Commission Findings</b>	<i>See above Staff analysis for Ketchum Municipal Code §17.96.060(I)(2).</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.96.060(I)(4)</b>	<b>Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged.</b>
			<b>Commission Findings</b>	<i>The landscaping will be provide a buffer between the adjacent dwelling units and complements existing landscaping in the neighborhood as well as the native vegetation of the adjacent hillside.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.96.060(J)(1)</b>	<b>Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All public amenities shall receive approval from the Public Works Department prior to design review approval from the Commission.</b>
			<b>Commission Findings</b>	<i>N/A. Sidewalks are not required for the project.</i>



### **CONCLUSIONS OF LAW**

1. The City of Ketchum is a municipal corporation established in accordance with Article XII of the Constitution of the State of Idaho and Title 50 Idaho Code and is required and has exercised its authority pursuant to the Local Land Use Planning Act codified at Chapter 65 of Title 67 Idaho Code and pursuant to Chapters 3, 9 and 13 of Title 50 Idaho Code to enact the ordinances and regulations, which ordinances are codified in the Ketchum City Code ("KMC") and are identified in the Findings of Fact and which are herein restated as Conclusions of Law by this reference and which city ordinances govern the applicant's application for the development and use of the project site.
2. The Commission has authority to hear the applicant's Design Review Application pursuant to Chapter 17.96 of Ketchum Code Title 17.
3. The City of Ketchum Planning Department provided adequate notice for the review of this application.
4. The Mountain Overlay Design Review Application is governed under Ketchum Municipal Code Chapters 17.96, 17.104, 17.92, 17.124, and 17.128.
5. The project does meet the standards of approval under Chapter 17.104 of Zoning Code Title 17 subject to conditions of approval.

### **DECISION**

**THEREFORE**, the Ketchum Planning & Zoning Commission **approves** the 215 Gem Street Mountain Overlay Design Review Application this Tuesday, December 14<sup>th</sup>, 2021 subject to the following conditions:

### **CONDITIONS OF APPROVAL**

1. The applicant shall comply with all City Department conditions as described in Tables 2, 3, and 4.
2. All governing ordinances pertinent to the Fire Department, Building Department, Utilities Department, Street Department and Ketchum City Engineer shall be met prior to Certificate of Occupancy.
3. Design review approval shall expire one (1) year from the date the Findings of Fact, Conclusions of Law, and Decision are adopted by the Planning & Zoning Commission, unless an extension is requested and granted consistent with KMC §17.96.090.
4. Design review elements shall be completed prior to final inspection and issuance of a Certificate of Completion for the project.
5. This Design Review approval is based on the plans and information presented and approved at the meeting on the date noted herein. Building Permit plans must conform to the approved Mountain Overlay Design Review Plans unless otherwise approved in writing by the Commission or Planning & Building Department. Any building or site discrepancies which do not conform to the approved plans will be subject to removal.
6. Construction fencing at the limits of disturbance shall be located on the site prior to any excavation or earthwork.
7. A final drainage/grading plan for the subject property and the City right-of-way shall be submitted to the Planning & Building Department for review and approval by the Planning Department, Streets Department, and City Engineer prior to the issuance of a Building Permit for the project.
8. All exterior lighting must comply with City Code, Chapter 17.132 Dark Skies.
9. In addition to the requirements set forth in this Design Review approval, this project shall comply with all applicable local, state, and federal laws.
10. Fencing around the limit of disturbance will be installed during the construction period.
11. The proposed bench and retaining walls as indicated on sheets A.7 and L-3.0 of the MO Design



Review submittal shall not exceed 30 inches from existing grade when located outside of the building envelope.

Findings of Fact **adopted** this 14<sup>th</sup> day of December 2021

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Neil Morrow, Chair  
City of Ketchum  
Planning & Zoning Commission

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Suzanne Frick, Planning & Building Director