

# ATTACHMENT B



# KETCHUM TRIBUTE

MAY 27, 2022 | DESIGN REVIEW APPLICATION  
UPDATE





## **DESIGN REVIEW APPLICATION DRAWINGS**

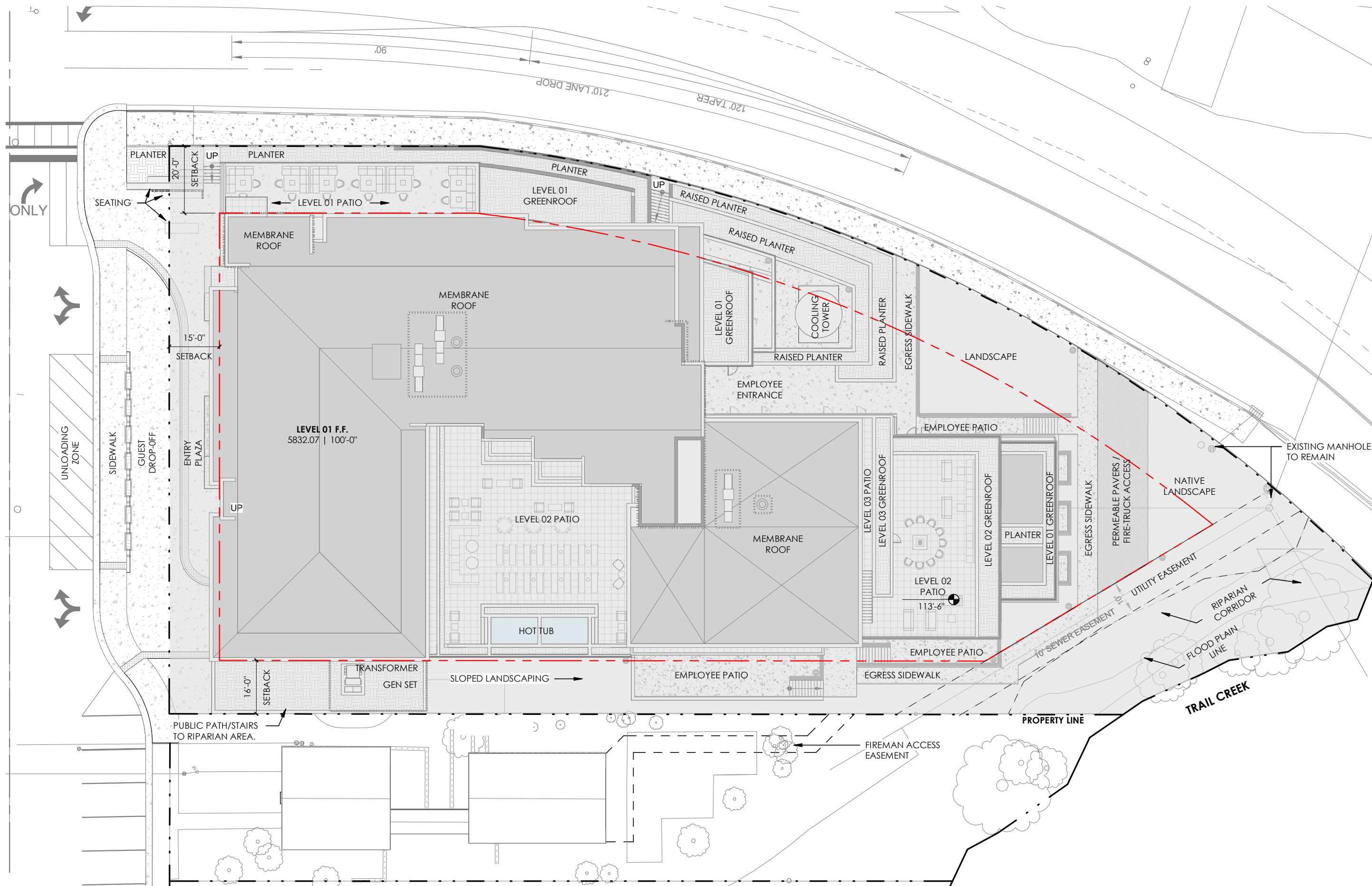
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**SITE PLANS**  
**ARCHITECTURAL | LANDSCAPE | CIVIL**









# ARCHITECTURAL SITE PLAN

TRIBUTE PORTFOLIO | KETCHUM, IDAHO

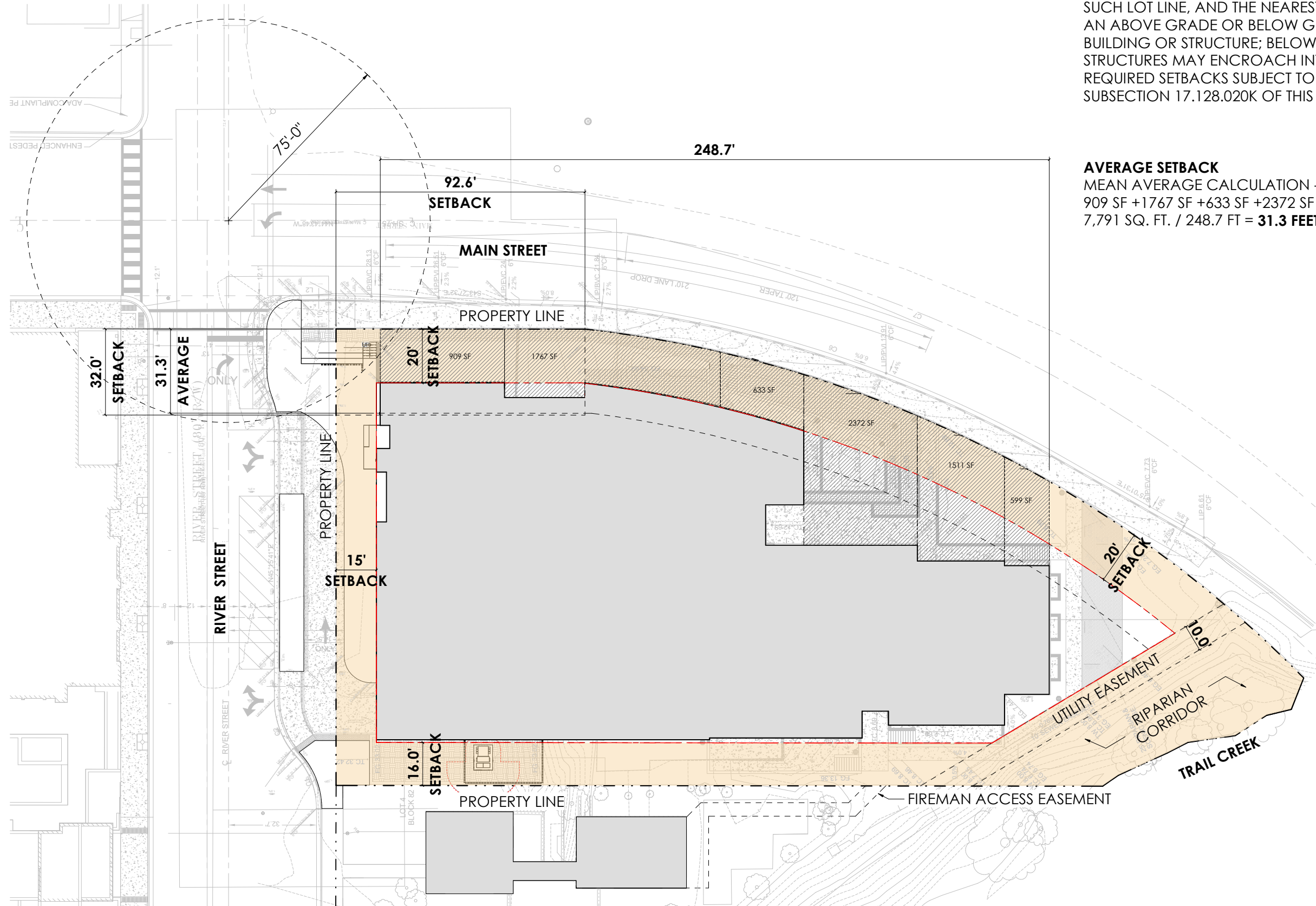


**CHAPTER 17.08: DEFINITIONS**

**SETBACK:** THE MINIMUM HORIZONTAL DISTANCE BETWEEN A SPECIFIED LOT LINE (FRONT, SIDE, REAR), MEASURED ALONG A STRAIGHT LINE AND AT A RIGHT ANGLE TO SUCH LOT LINE, AND THE NEAREST POINT OF AN ABOVE GRADE OR BELOW GRADE BUILDING OR STRUCTURE; BELOW GRADE STRUCTURES MAY ENCROACH INTO REQUIRED SETBACKS SUBJECT TO SUBSECTION 17.128.020K OF THIS TITLE.

**AVERAGE SETBACK**

MEAN AVERAGE CALCULATION - EAST  
909 SF + 1767 SF + 633 SF + 2372 SF + 1511 SF + 599 SF =  
7,791 SQ. FT. / 248.7 FT = **31.3 FEET**

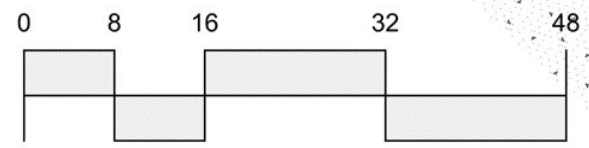
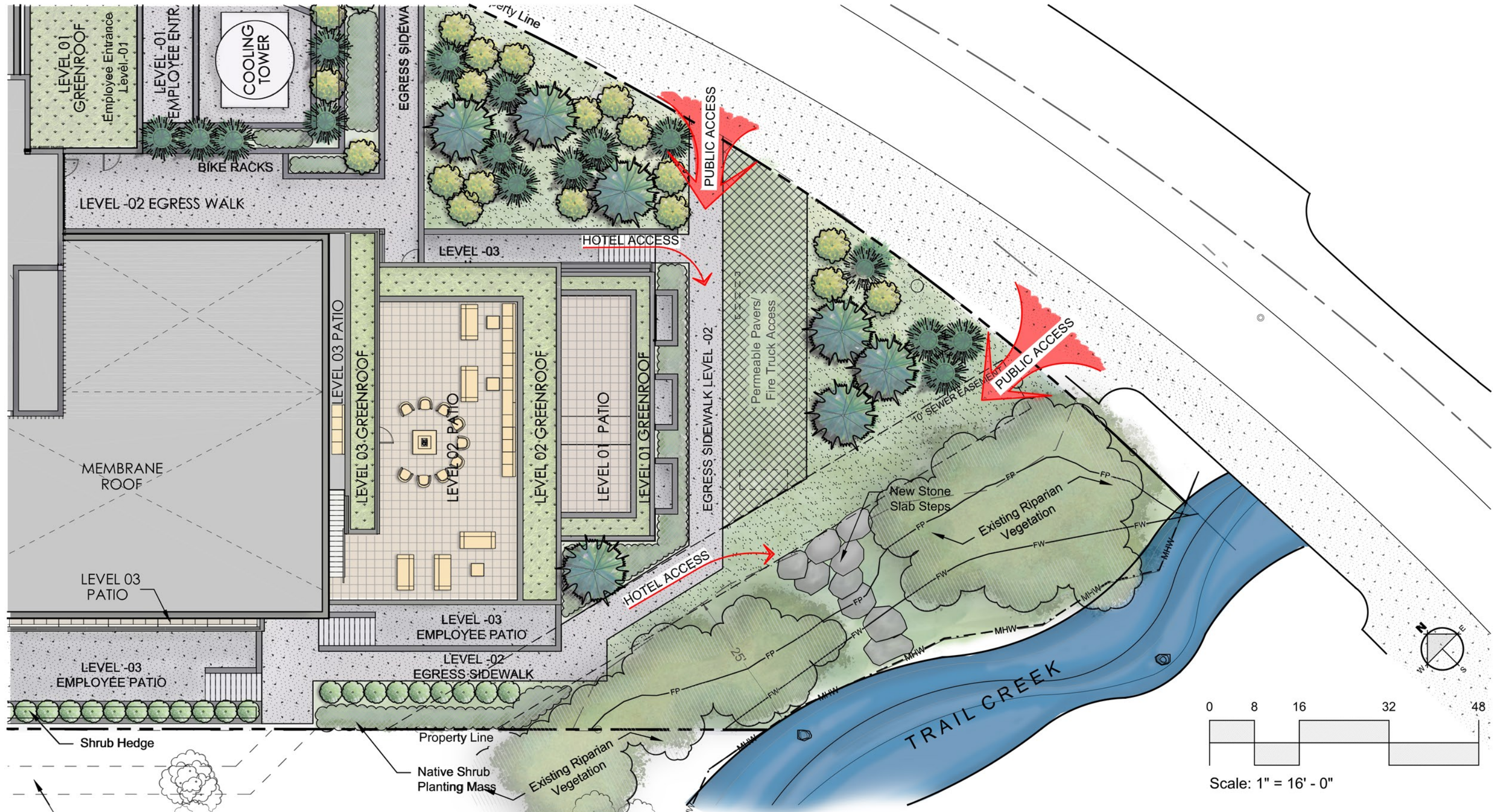


**SETBACKS - ARCHITECTURAL SITE PLAN**







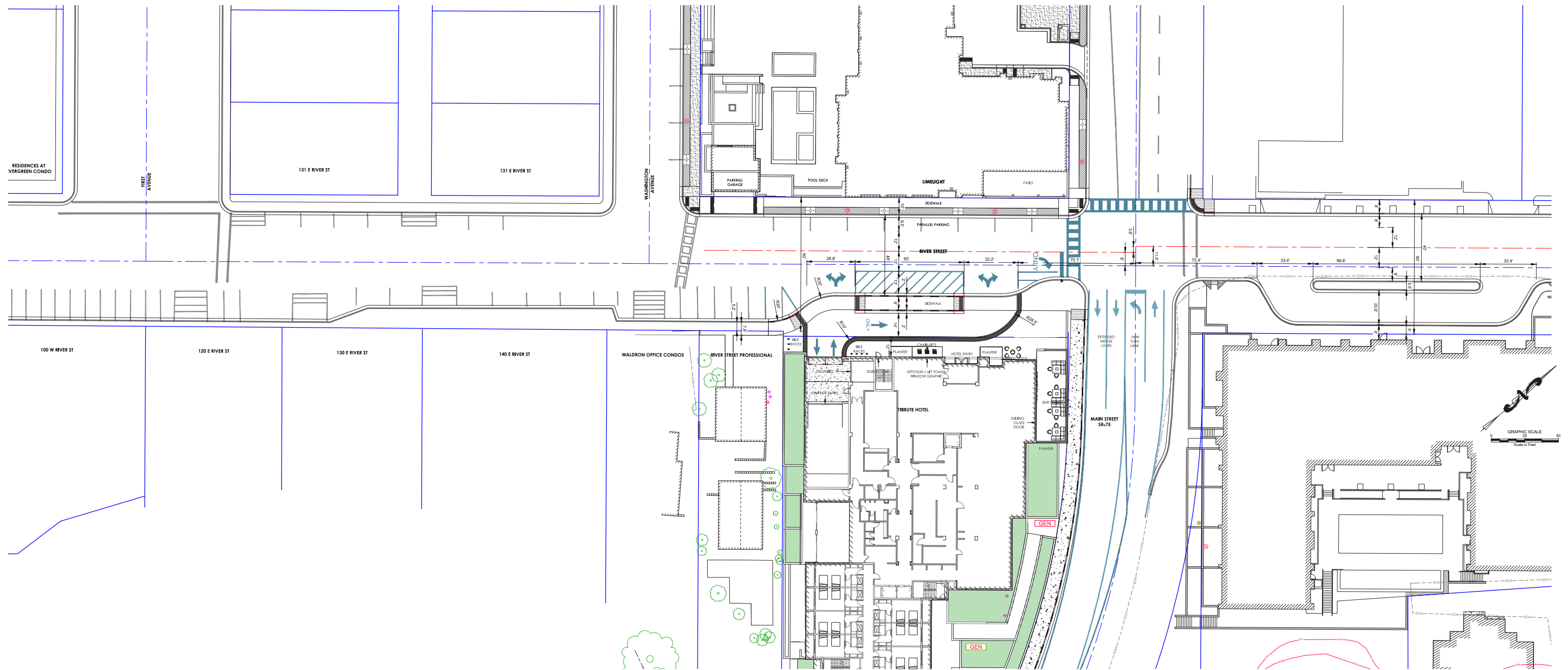


Scale: 1" = 16' - 0"



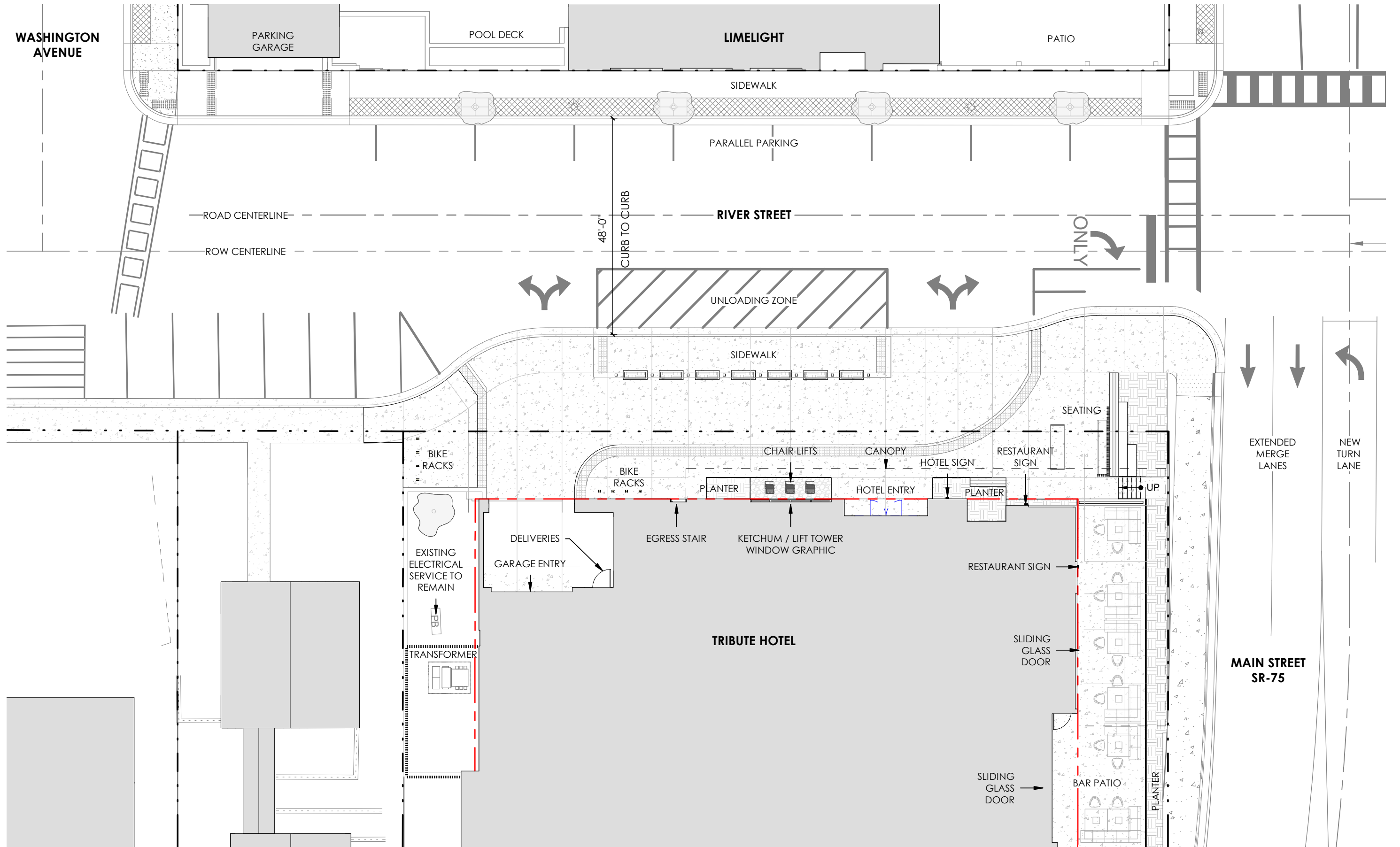
# TRAIL CREEK ACCESS - LANDSCAPE PLAN



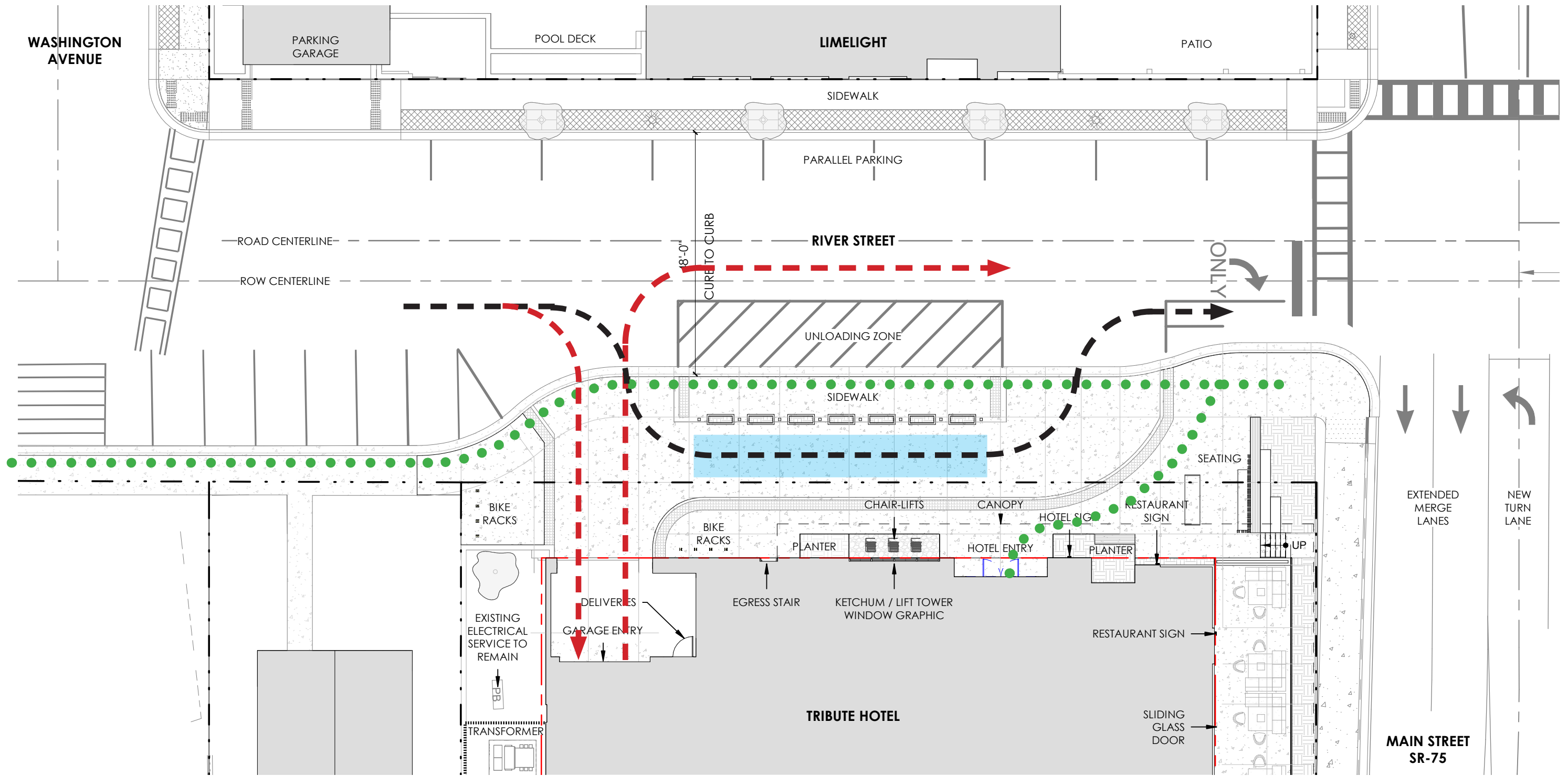


# RIVER STREET CONTEXTUAL EXHIBIT





RIVER STREET ENTRY PLAZA



- PEDESTRIAN PATH
- GUEST DROP-OFF & PICK-UP / VEHICULAR PATH
- GARAGE ENTRY / VEHICULAR PATH
- GUEST DROP-OFF & PICK-UP ZONE

## ACTIVITIES - RIVER STREET ENTRY PLAZA

# THE KETCHUM PROLOGUE HOTEL

## AUGUST 2021

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 703 east 1700 south  
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 ajcarchitects.com

ARCHITECT / CONSULTANT  
 ORIGINAL SIGNED BY JEFF C. LOOMIS  
 DATE ORIGINAL SIGNED: 08/06/2021



ORIGINAL ON FILE AT OFFICE OF  
 GALENA ENGINEERING (HAILEY, ID)  
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PROJECT DESCRIPTION  
**KETCHUM PROLOGUE  
 HOTEL**

River & Main  
 Ketchum, ID 83353

SHEET NAME:  
**CIVIL COVER SHEET**

REVISIONS

MARK	DATE	DESCRIPTION

ISSUE DATE: 08/06/2021  
 ISSUE TYPE: Permit Set  
 DRAWN BY: CT  
 CHECKED BY: JL | SF  
 PROJECT#: 6003.05

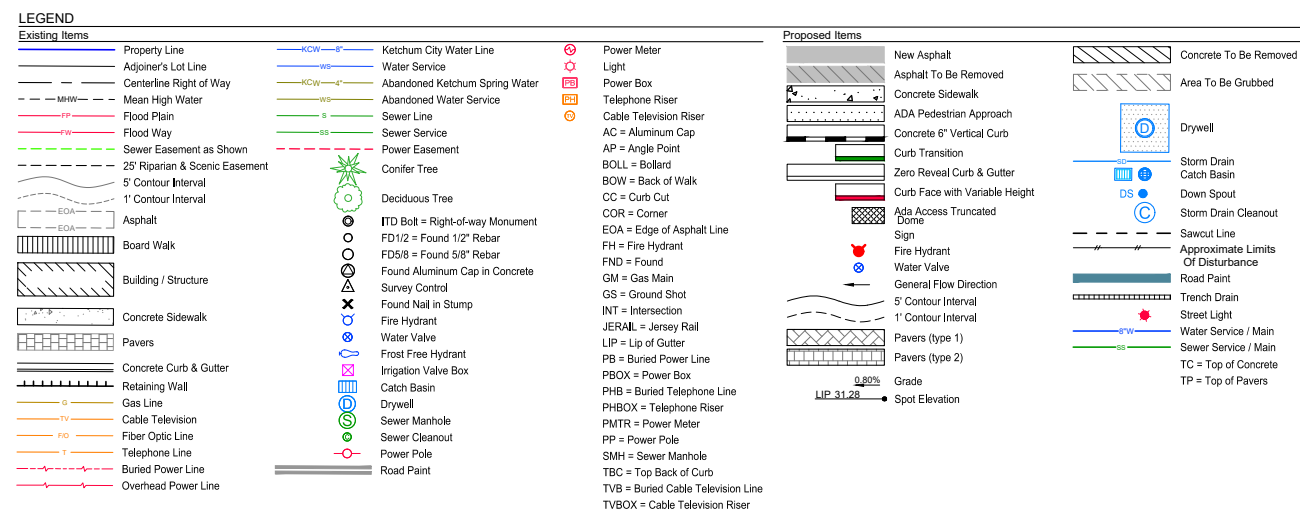
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# C0.1

## CIVIL DRAWINGS

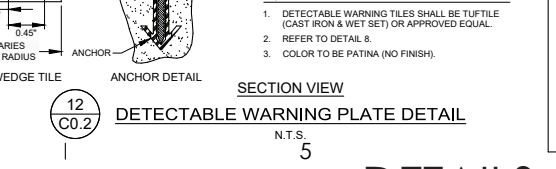
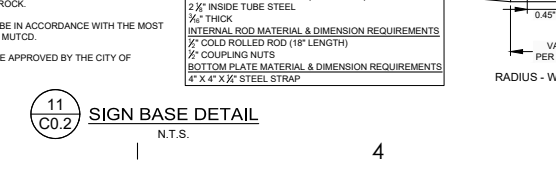
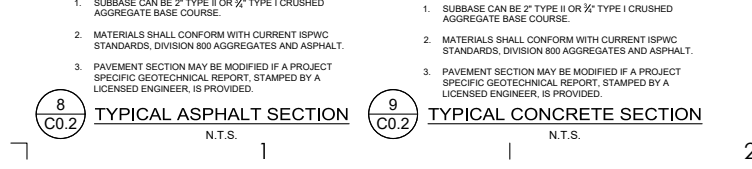
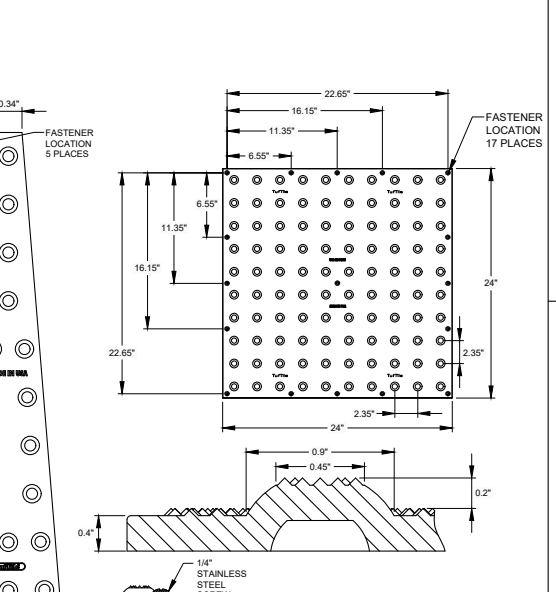
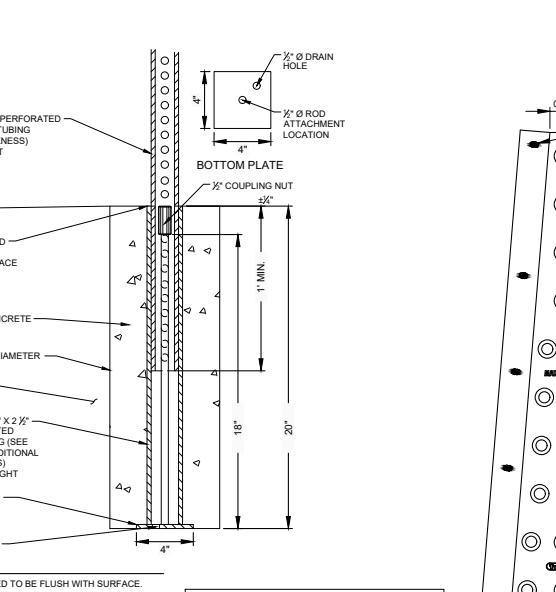
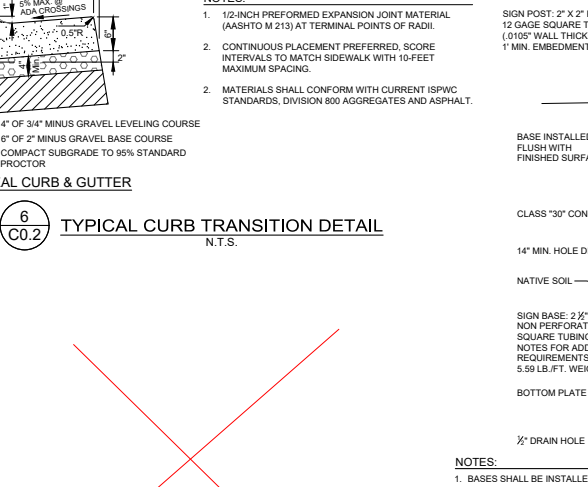
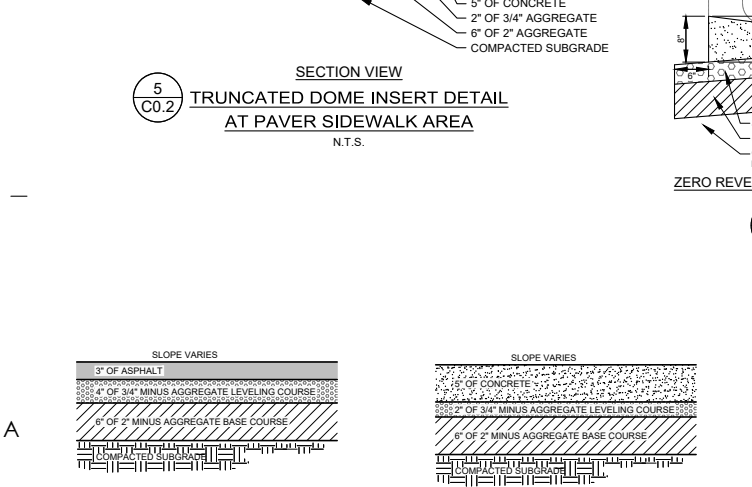
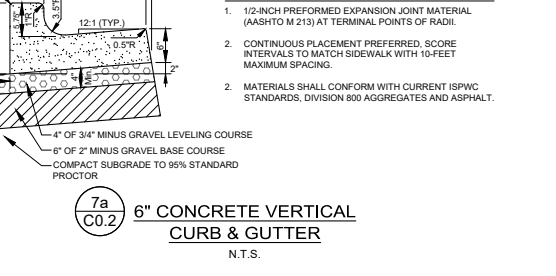
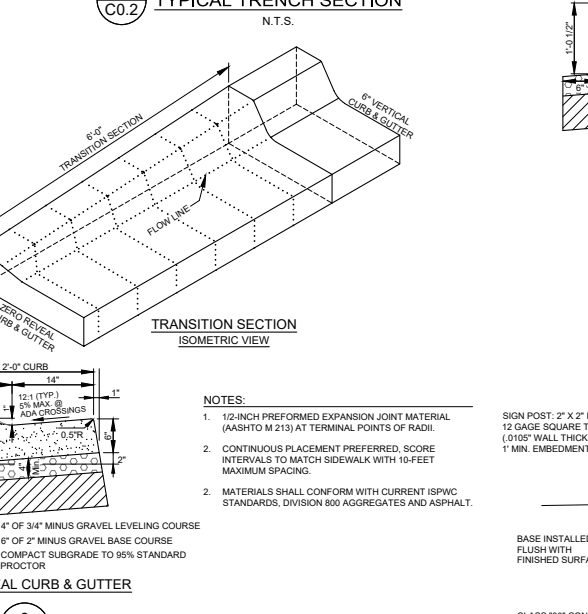
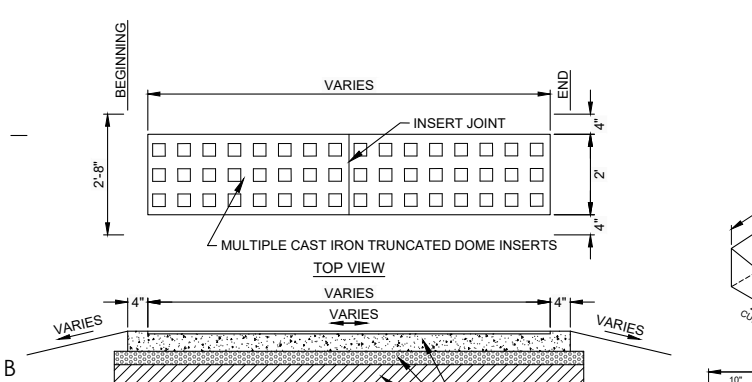
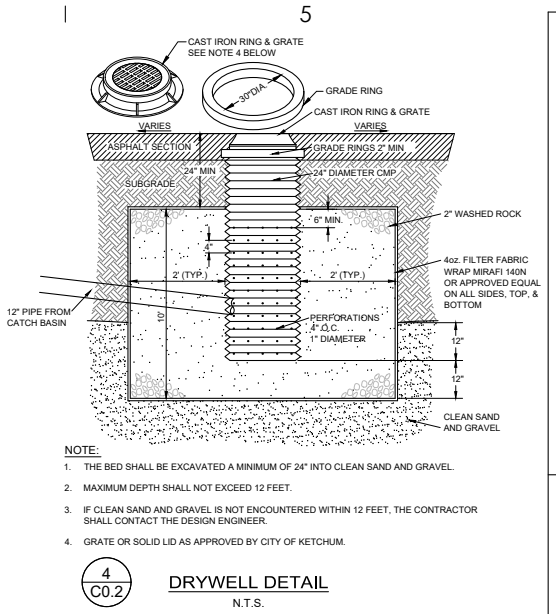
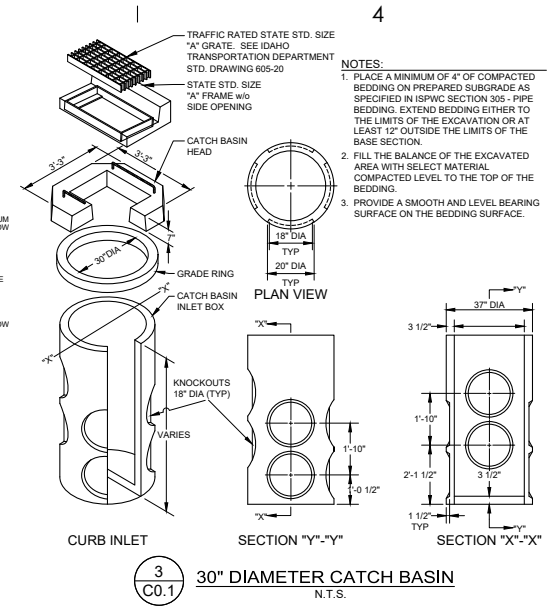
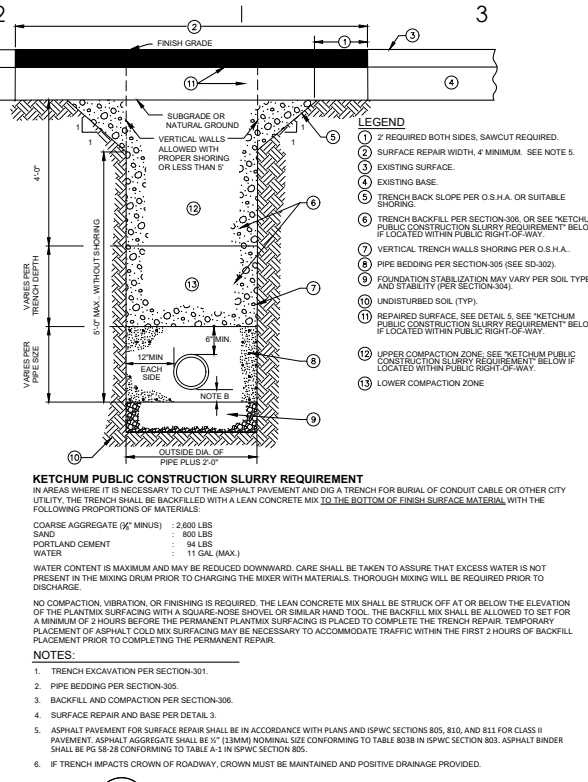
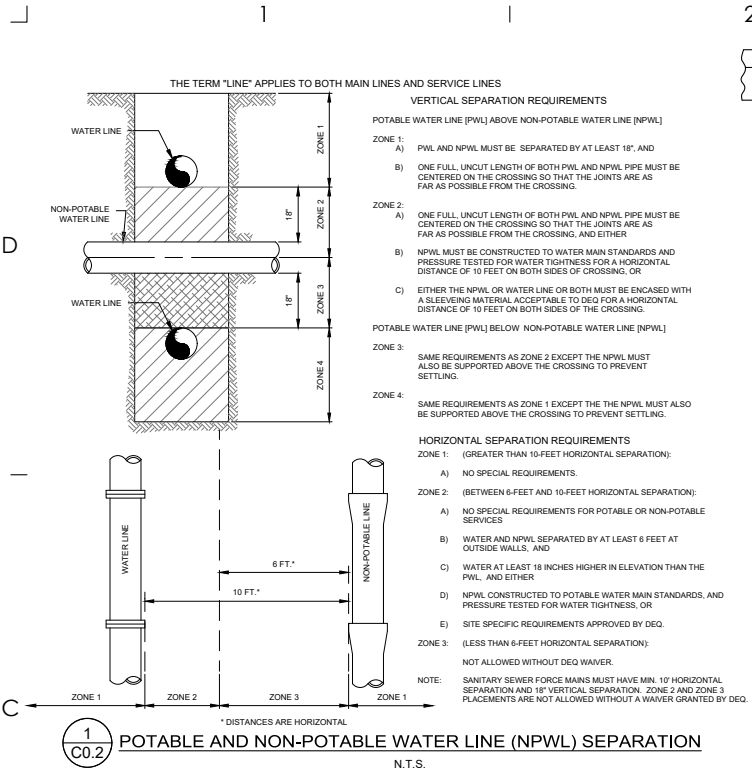
### CONSTRUCTION NOTES

- ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISPCW) AND CITY OF KETCHUM STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ISPCW AND CITY OF KETCHUM STANDARDS ON SITE DURING CONSTRUCTION.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES PRIOR TO COMMENCING AND DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL CALL DIGLINE (1-800-342-1585) TO LOCATE ALL EXISTING UNDERGROUND UTILITIES A MINIMUM OF 48 HOURS IN ADVANCE OF EXCAVATION.
- CONTRACTOR SHALL COORDINATE LOCATIONS OF DRY UTILITY FACILITIES (POWER, CABLE, PHONE, TV) NOT SHOWN ON THE DRAWING WITH IDAHO POWER.
- THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION (THIS MAY INCLUDE CITY DIG PERMITS AND NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION GENERAL PERMIT (CGP) PERMIT COVERAGE).
- ALL CLEARING & GRUBBING SHALL CONFORM TO ISPCW SECTION 201.
- ALL EXCAVATION & EMBANKMENT SHALL CONFORM TO ISPCW SECTION 202. EXCAVATED SUBGRADE SHALL BE COMPACTED AND ALL UNSUITABLE SECTIONS REMOVED AND REPLACED WITH STRUCTURAL FILL AS DETERMINED BY THE ENGINEER. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
- ALL 2" MINUS GRAVEL SHALL CONFORM TO ISPCW 802, TYPE II (ITD STANDARD 703.04, 2"), SHALL BE PLACED IN CONFORMANCE WITH ISPCW SECTION 801 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99.
- ALL 3/4" MINUS CRUSHED GRAVEL SHALL CONFORM TO ISPCW 802, TYPE I (ITD STANDARD 703.04, 3/4" B), SHALL BE PLACED IN CONFORMANCE WITH ISPCW SECTION 802 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
- ALL ASPHALTIC CONCRETE PAVEMENT WORK SHALL CONFORM TO ISPCW SECTION(S) 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (13MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPCW SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPCW SECTION 805.
- ASPHALT SAWCUTS SHALL BE AS INDICATED ON THE DRAWINGS, OR 24" INCHES FROM EDGE OF EXISTING ASPHALT, IF NOT INDICATED OTHERWISE SO AS TO PROVIDE A CLEAN PAVEMENT EDGE FOR MATCHING. NO WHEEL CUTTING SHALL BE ALLOWED.
- TRAFFIC CONTROL SHALL BE PER THE TRAFFIC CONTROL PLAN. CONTRACTOR WILL NEED TO MAINTAIN ACCESS TO ALL PRIVATE PROPERTIES.
- ALL CONCRETE FORM WORK SHALL CONFORM TO ISPCW SECTION 701 AND 703. ALL CONCRETE SHALL BE 3,000 PSI MINIMUM, 28 DAY, AS DEFINED IN ISPCW SECTION 703, TABLE 1.C.
- ALL TRENCHING SHALL CONFORM TO ISPCW STANDARD DRAWING SD-301. TRENCHES SHALL BE BACKFILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
- THE CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND/OR SURVEY CONTROL POINTS. THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND ALLOW FOR PRESERVATION OR RESETTING OF ANY SURVEY MONUMENT PRIOR TO ANY DISTURBANCE TO THE SURVEY MONUMENT.



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DATE ORIGINAL SIGNED: 08/06/2021

PROFESSIONAL ENGINEER  
REGISTERED  
7986  
08/06/2021  
JEFF C. LOOMIS

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PROJECT DESCRIPTION  
**KETCHUM PROLOGUE HOTEL**

River & Main  
Ketchum, ID 83353

SHEET NAME:  
**DETAIL SHEET**

REVISIONS

MARK	DATE	DESCRIPTION

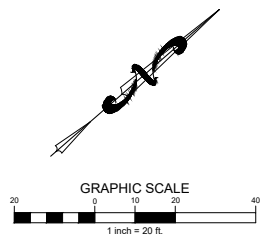
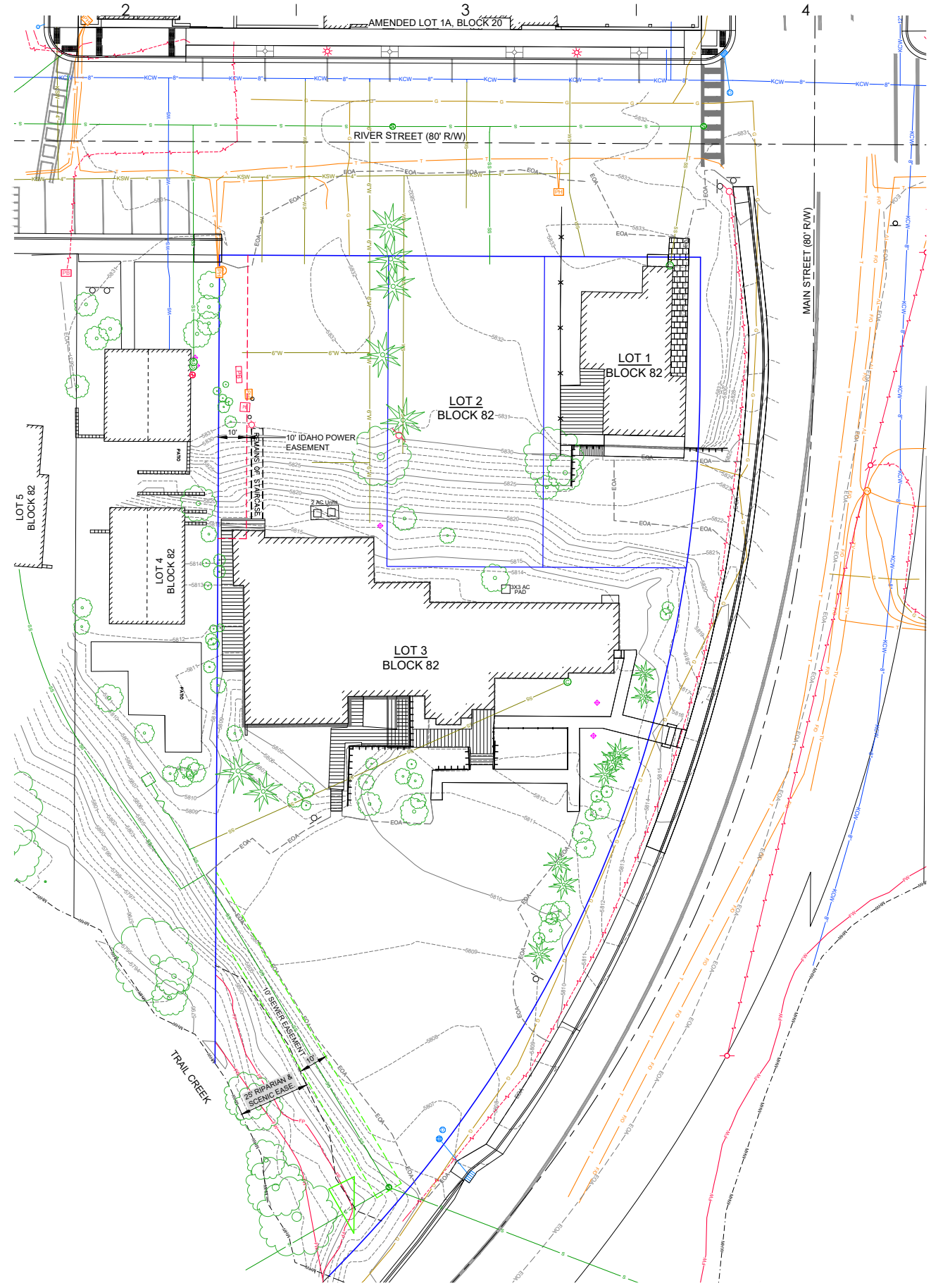
ISSUE DATE: 08/06/2021  
ISSUE TYPE: Permit Set  
DRAWN BY: CT  
CHECKED BY: JL | SF  
PROJECT#: 6003.05

SHEET NUMBER:  
**C0.2**

**DETAILS - CIVIL DRAWINGS**  
TRIBUTE PORTFOLIO | KETCHUM, IDAHO

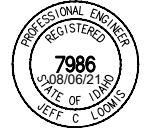


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PROJECT DESCRIPTION  
**KETCHUM PROLOGUE  
HOTEL**

River & Main  
Ketchum, ID 83353

SHEET NAME:  
**EXISTING SITE  
CONDITIONS**

REVISIONS

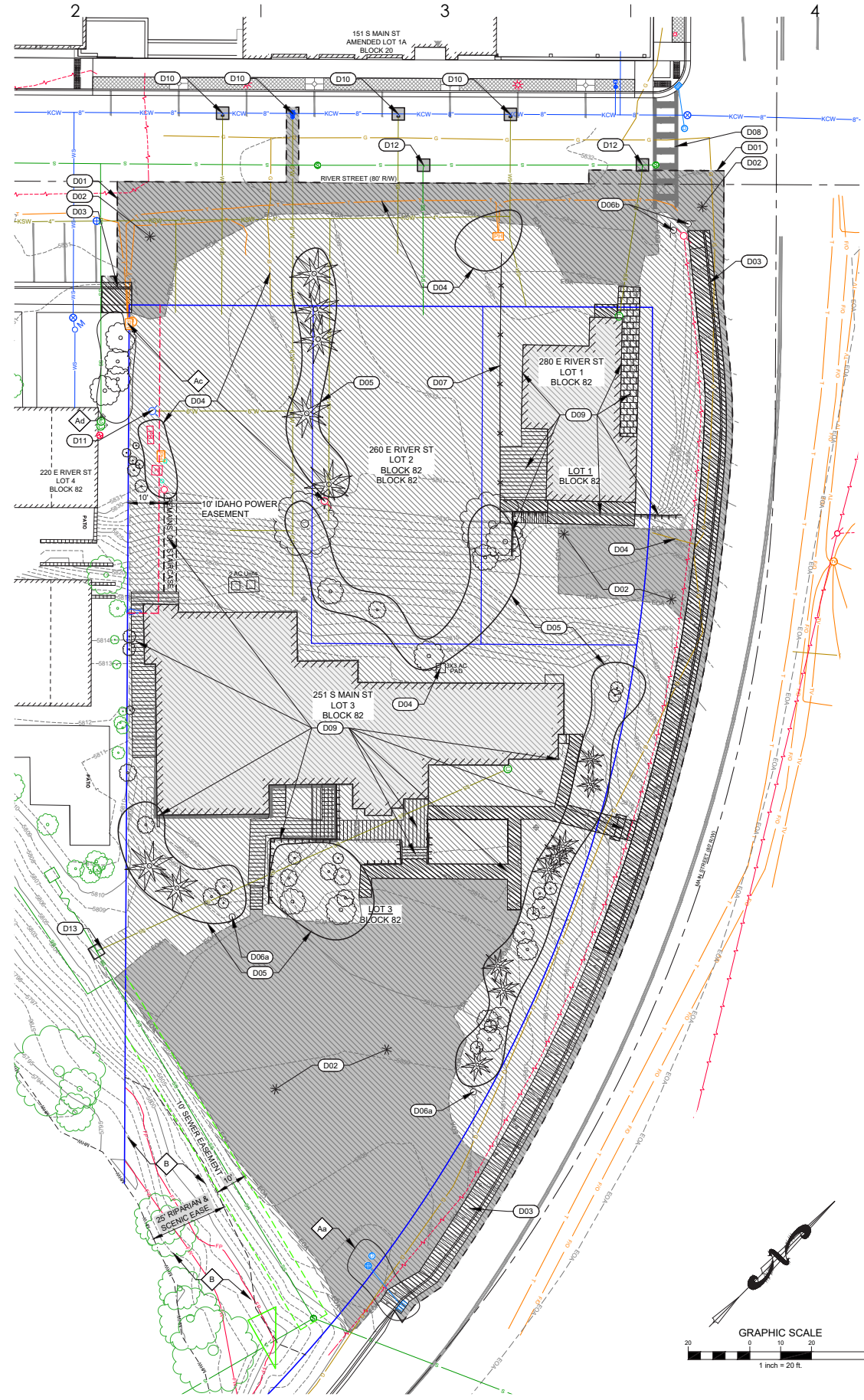
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ISSUE DATE: 08/06/2021  
ISSUE TYPE: Permit Set  
DRAWN BY: CT  
CHECKED BY: JL | SF  
PROJECT#: 6003.05

SHEET NUMBER:  
**C0.3**

# EXISTING SITE CONDITIONS - CIVIL DRAWINGS

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- DEMOLITION SCHEDULE**
- D01 SAWCUT A MINIMUM OF 24" OF ASPHALT TO PROVIDE CLEAN VERTICAL EDGE.
  - D02 REMOVE AND DISPOSE OF ASPHALT.
  - D03 REMOVE AND DISPOSE OF CONCRETE CURB / SIDEWALK (UTILIZE EXISTING JOINTS WHERE POSSIBLE)
  - D04 CONTRACTOR TO COORDINATE THE REMOVAL, AND/OR RELOCATION, AND/OR RETAIN AND PROTECT (REMAIN-IN-PLACE) OF DRY UTILITIES, TO INCLUDE POWER (IDAHO POWER), GAS (INTERMOUNTAIN GAS), AND ALL COMMUNICATIONS.
  - D05 REMOVE AND DISPOSE OF TREE AND ROOT BALL SYSTEM
  - D06 REMOVE SIGN:
    - a. DISPOSE OF SIGN.
    - b. RETAIN SIGN. TO BE RELOCATED TO NEW SIDEWALK (SEE CORRESPONDING SIDEWALK DESIGN SHEET).
  - D07 REMOVE AND DISPOSE OF FENCE.
  - D08 OBLITERATE PAVEMENT MARKINGS
  - D09 DEMOLISH HOUSE / STRUCTURE AND ASSOCIATED RETAINING WALLS, SIDEWALKS, BOARD WALKS, AND STAIR CASES. CONTRACTOR TO ENSURE ALL CONNECTING UTILITIES ARE DISCONNECTED PRIOR TO DEMOLITION.
  - D10 CONTRACTOR TO LOCATE AND DISCONNECT WATER SERVICE AT WATER MAIN AND TURN OFF CURB STOP. CONTRACTOR SHALL NOTIFY KETCHUM WATER DEPARTMENT FOR INSPECTION PRIOR TO BACKFILLING. ROAD REPAIR SHALL CONFORM TO DETAIL 2 / C0.2. THE REMAINDER OF WATER SERVICE SHALL BE ABANDONED IN PLACE WITHIN RIGHT-OF-WAY.
  - D11 REMOVE FIRE HYDRANT. RETURN FIRE HYDRANT TO CITY WATER DEPARTMENT.
  - D12 CONTRACTOR TO LOCATE AND DISCONNECT SEWER SERVICE AT SEWER MAIN AND INSTALL PLUG PER KETCHUM WASTEWATER DIVISION STANDARDS. CONTRACTOR SHALL NOTIFY KETCHUM WASTEWATER DEPARTMENT FOR INSPECTION PRIOR TO BACKFILLING. ROAD REPAIR SHALL CONFORM TO DETAIL 2 / C0.2. THE REMAINDER OF SEWER SERVICE SHALL BE ABANDONED IN PLACE WITHIN RIGHT-OF-WAY.
  - D13 CONTRACTOR TO LOCATE AND DISCONNECT SEWER SERVICE AT SEWER MAIN AND INSTALL PLUG PER KETCHUM WASTEWATER DIVISION STANDARDS. CONTRACTOR SHALL NOTIFY KETCHUM WASTEWATER DEPARTMENT FOR INSPECTION PRIOR TO BACKFILLING. THE REMAINDER OF SEWER SERVICE SHALL BE ABANDONED IN PLACE WHERE APPLICABLE.
- A RETAIN AND PROTECT:
  - a. STORM DRAINAGE STRUCTURES
  - b. N/A
  - c. TELEPHONE RISER
  - d. TREES
- B AREA WITHIN RIPARIAN EASEMENT NOT TO BE DISTURBED BY CONSTRUCTION ACTIVITIES. SEE LANDSCAPE PLAN FOR RIPARIAN AREA 'CLEAN-UP' PLAN



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PROJECT DESCRIPTION  
**KETCHUM PROLOGUE HOTEL**

River & Main  
 Ketchum, ID 83353

SHEET NAME:  
**DEMOLITION PLAN**

REVISIONS

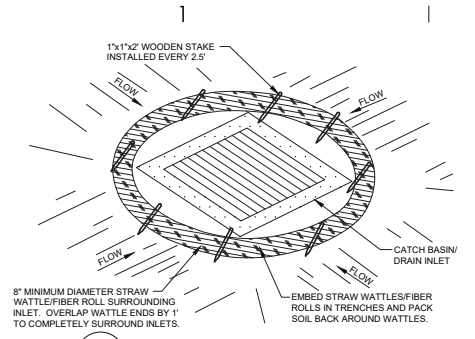
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ISSUE DATE: 08/06/2021  
 ISSUE TYPE: Permit Set  
 DRAWN BY: CT  
 CHECKED BY: JL | SF  
 PROJECT#: 6003.05

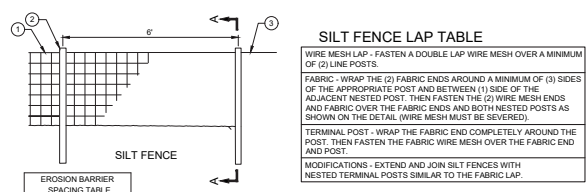
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**C1.0**

**DEMOLITION PLAN - CIVIL DRAWINGS**



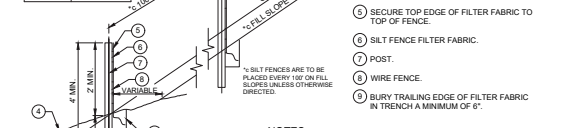


**1**  
C2.0  
**AREA DRAIN INLET PROTECTION DETAIL (BMP #31)**  
N.T.S.

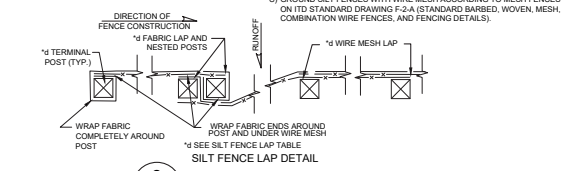


**SILT FENCE LAP TABLE**  
N.T.S.

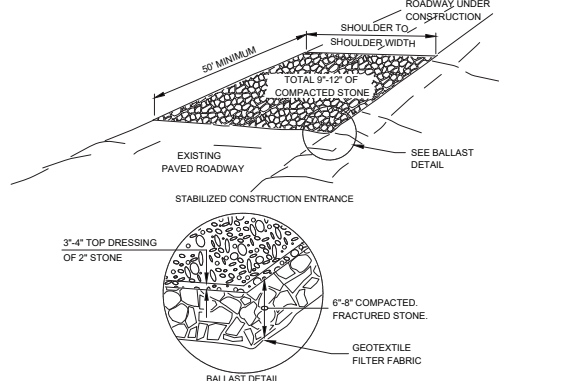
EROSION BARRIER	SPACING	SPACING RATIO	DIST. (MAX.)
1	2:1	4:1	45'
2	3:1	5:1	50'
3	4:1	7:1	75'
4	6:1	11:1	110'
5	10:1	22:1	220'
6	20:1	50:1	500'



**SECTION A-A**  
N.T.S.

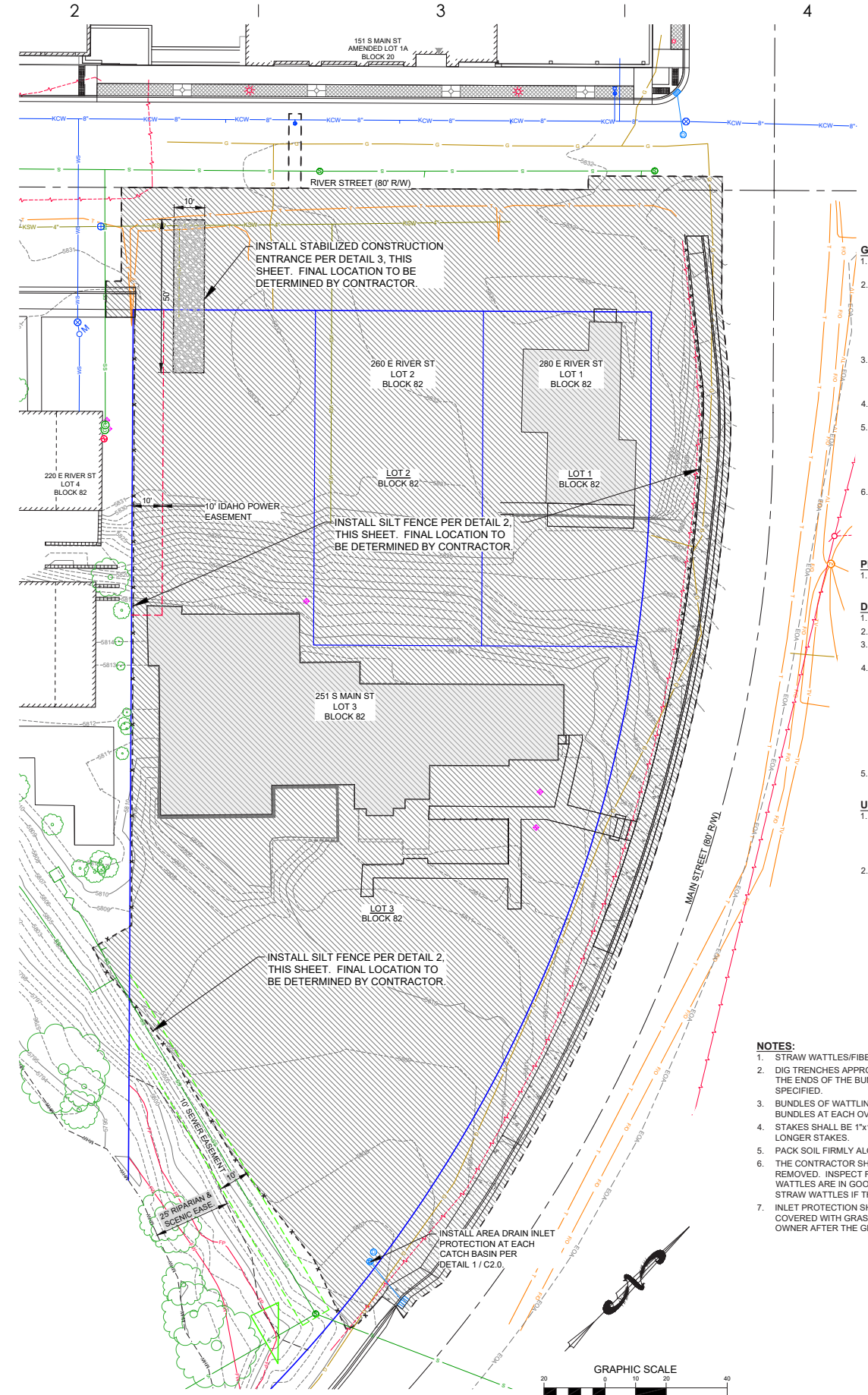


**2**  
C2.0  
**SILT FENCE DETAIL (BMP #36)**  
N.T.S.



**3**  
C2.0  
**STABILIZED CONSTRUCTION ENTRANCE (BMP #5)**  
N.T.S.

- NOTES:**
1. STONE SIZE-USE 2" STONE OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
  2. LENGTH-AS REQUIRED, BUT NOT LESS THAN 50 FEET.
  3. THICKNESS-NOT LESS THAN 6 INCHES.
  4. WIDTH-10 FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
  5. FILTER CLOTH-WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
  6. SURFACE WATER-ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
  7. MAINTENANCE-THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
  8. WASHING-WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
  9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.



- GENERAL NOTES**
1. THE CONTRACTOR SHALL OBTAIN ALL APPLICABLE EROSION CONTROL PERMITS PRIOR TO CONSTRUCTION.
  2. THE CONTRACTOR SHALL INSTALL TEMPORARY SEDIMENT AND EROSION CONTROL DEVICES PRIOR TO AND CONCURRENT WITH ANY FILL OR GRADING ACTIVITIES IN ACCORDANCE WITH THE MOST CURRENT EDITION OF THE IDAHO DEPARTMENT OF ENVIRONMENTAL QUALITY CATALOG OF STORM WATER BEST MANAGEMENT PRACTICES FOR IDAHO CITIES AND COUNTIES AND THIS EROSION CONTROL AND BMP PLAN AND ASSOCIATED SWPPP DOCUMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ABOVE STANDARDS AND SPECIFICATIONS AND THE SWPPP DOCUMENTS ON SITE AT ALL TIMES DURING CONSTRUCTION.
  3. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH ALL PROJECT PERMITS AND SWPPP DOCUMENTS. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED AS SPECIFIED ON THIS PLAN OR AS DETERMINED BY THE ARCHITECT/ENGINEER AND MUST BE MAINTAINED IN EFFECTIVE OPERATING CONDITIONS THROUGHOUT THE LIFE OF THE PROJECT.
  4. CONSTRUCTION ACTIVITY SHALL CEASE DURING PERIODS OF INTENSE RAINFALL AND SHALL NOT RECONVENE UNTIL THE EROSION OF SEDIMENT FROM THE SITE HAS BEEN SUFFICIENTLY STABILIZED.
  5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING CONSTRUCTION VEHICLES LEAVING THE SITE TO PREVENT DUST, SILT AND DIRT FROM BEING RELEASED OR TRACKED OFF-SITE. CONSTRUCTION VEHICLES SHALL ENTER AND EXIT SITE ONLY THROUGH A PROPERLY INSTALLED CONSTRUCTION ENTRANCE/EXIT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CLEAN-UP OF THE PUBLIC RIGHTS OF WAY OR ADJACENT PRIVATE PROPERTY FROM ANY TRACKING OR DEPOSITING OF MUD, DIRT, SAND, GRAVEL, ROCK OR DEBRIS.
  6. BMPs SHALL BE INSPECTED AT LEAST EVERY 14 CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM EVENT THAT IS 0.25 INCHES OR GREATER TO IDENTIFY BMP EFFECTIVENESS AND IMPLEMENT REPAIRS OR DESIGN CHANGES AS SOON AS FEASIBLE, DEPENDING ON FIELD CONDITIONS. EQUIPMENT, MATERIALS AND WORKERS MUST BE AVAILABLE FOR RAPID RESPONSE TO FAILURES AND EMERGENCIES. ALL CORRECTIVE MAINTENANCE TO BMPs SHALL BE PERFORMED AS SOON AS POSSIBLE AFTER THE CONCLUSION OF EACH STORM, DEPENDING ON WORKER SAFETY.

- PRIOR TO CONSTRUCTION ACTIVITIES**
1. IMPLEMENT PERIMETER EROSION AND SEDIMENT CONTROL MEASURES AS SPECIFIED ON THIS PLAN (SILT FENCE, INLET PROTECTION, CONSTRUCTION ENTRANCE, ETC.)

- DURING CONSTRUCTION ACTIVITIES AND WINTER SHUTDOWN AS NECESSARY**
1. SPRAY WATER ON DISTURBED AREAS TO CONTROL DUST DURING DRY SEASON.
  2. PROTECT NEWLY CONSTRUCTED STORM DRAINAGE FACILITIES PER DETAIL ON THIS SHEET.
  3. AREAS WHERE GRADING IS COMPLETED TO FINISHED GRADES SHALL BE SEEDED AND MULCHED ACCORDING TO OWNER'S LANDSCAPING PLAN. COORDINATE THIS WORK WITH LANDSCAPE ARCHITECT.
  4. DISTURBED AREAS LEFT DISTURBED OVER WINTER SHUTDOWN OR OTHER EXTENDED PERIODS OF TIME, SHALL BE PROTECTED FROM EROSION ACCORDING TO THE FOLLOWING:  
DISTURBED AREAS WITH SLOPES OF 4:1 OR STEEPER SHALL BE SEEDED WITH "GRASSLAND WEST LOGRO" MIX AT 125 LBS/ACRE, OR APPROVED EQUIVALENT, FERTILIZE WITH 16/20/0/14 (SULFUR) AT 400 LBS/ACRE. MULCH WITH EITHER "S1 GEOSOLUTIONS LANDLOK S2" AT 2000 LBS/ACRE WITH 1% TACKIFIER OR WITH DRY STRAW SPREAD TO COMPLETELY COVER MOISTENED SOIL AND TRACKED INTO SOIL. "CAT TRACK" SLOPES PERPENDICULAR TO RUNOFF FLOW DIRECTION. CONTRACTOR SHALL FOLLOW MANUFACTURER'S APPLICATION INSTRUCTIONS FOR ALL SEED, MULCH, AND FERTILIZER MIXES. IF ADDITIONAL STEEP SLOPE PROTECTION IS NEEDED INSTALL MATTING (BMP 18) AND FIBER ROLLS (BMP 35) PER THE CATALOG OF STORM WATER BEST MANAGEMENT PRACTICES FOR IDAHO CITIES AND COUNTIES, VOLUME 2.
  5. AT A MINIMUM, THE CONTRACTOR'S "RESPONSIBLE PERSON" SHALL INSPECT THE SITE BEFORE AND AFTER STORM EVENTS AND AT 24 HOUR INTERVALS DURING EXTENDED STORMS.

- UPON COMPLETION OF CONSTRUCTION ACTIVITIES**
1. PERIODIC MAINTENANCE OF EROSION CONTROL MEASURES IS REQUIRED UNTIL STORM DRAINAGE FACILITIES ARE OPERATIONAL AND STABILIZING VEGETATION IS ESTABLISHED. SUCH MAINTENANCE INCLUDES CLEANING CATCH BASINS AND DRYWELLS, MAINTAINING CHECK DAMS AND OTHER BARRIERS, REMOVAL OF ACCUMULATED SILT IN SENSITIVE AREAS, AND STREET CLEANING. A TYPICAL SCHEDULE FOR SUCH MAINTENANCE WOULD BE ONCE A WEEK AND AFTER EACH SIGNIFICANT STORM EVENT.
  2. UPON ESTABLISHMENT OF STABILIZING VEGETATION AND PERMANENT DRAINAGE FACILITIES OPERATIONS, REMOVE TEMPORARY EROSION CONTROL MEASURES AND CLEAR STREETS OF ACCUMULATED SILT, MUD AND DEBRIS.

- NOTES:**
1. STRAW WATTLES/FIBER ROLLS TO BE PLACED AROUND INLETS INDICATED ON THE PLANS OR AS DIRECTED BY ENGINEER.
  2. DIG TRENCHES APPROXIMATELY 2-4 INCHES DEEP BY 8-10 INCHES WIDE. THEN PLACE WATTLE BUNDLES IN TRENCH SO THAT THE ENDS OF THE BUNDLES OVERLAP AT LEAST 1'. THE OVERLAP SHOULD BE AS LONG AS NEEDED TO PERMIT STAKING SPECIFIED.
  3. BUNDLES OF WATTLES SHALL BE STAKED THROUGH THE CENTER ON 2.5' CENTERS. PLACE EXTRA STAKES THROUGH THE BUNDLES AT EACH OVERLAP.
  4. STAKES SHALL BE 1x1/2" WOODEN STAKES. DRIVE STAKES INTO A FIRM HOLD OF 1.5' DEEP. WHERE SOILS ARE SOFT USE LONGER STAKES.
  5. PACK SOIL FIRMLY ALONG THE OUTSIDE OF THE INLET PROTECTION BY TAMPING OR WALKING ON SOIL.
  6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FOLLOWING MAINTENANCE ITEMS UNTIL THE STRAW WATTLES ARE REMOVED. INSPECT REGULARLY AND AFTER EVERY STORM. MAKE ANY REPAIRS NECESSARY TO ENSURE THAT STRAW WATTLES ARE IN GOOD WORKING ORDER. REMOVE AND DISPOSE OF ANY ACCUMULATED SEDIMENT OFF-SITE. REPLACE STRAW WATTLES IF THEY BEGIN TO DETERIORATE.
  7. INLET PROTECTION SHALL REMAIN IN PLACE AND OPERATIONAL UNTIL THE DRAINAGE AREA IS COMPLETELY STABILIZED AND COVERED WITH GRASS. THE CONTRACTOR SHALL REMOVE THE FIBER ROLLS AT THE REQUEST OF THE ENGINEER OR OWNER AFTER THE GRASS IS ESTABLISHED AND ACCEPTED BY THE ENGINEER OR OWNER.

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ARCHITECT / CONSULTANT

ORIGINAL SIGNED BY JEFF C. LOOMIS  
DATE ORIGINAL SIGNED: 08/06/2021

REGISTERED ENGINEER  
7986  
08/06/21  
JEFF C. LOOMIS

ORIGINAL ON FILE AT OFFICE OF  
GALENA ENGINEERING (HAILEY, ID)  
**PERMIT SET**

AUTHORITY HAVING JURISDICTION

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PROJECT DESCRIPTION  
**KETCHUM PROLOGUE HOTEL**

River & Main  
Ketchum, ID 83335

SHEET NAME:  
**STORM WATER POLLUTION PREVENTION PLAN**

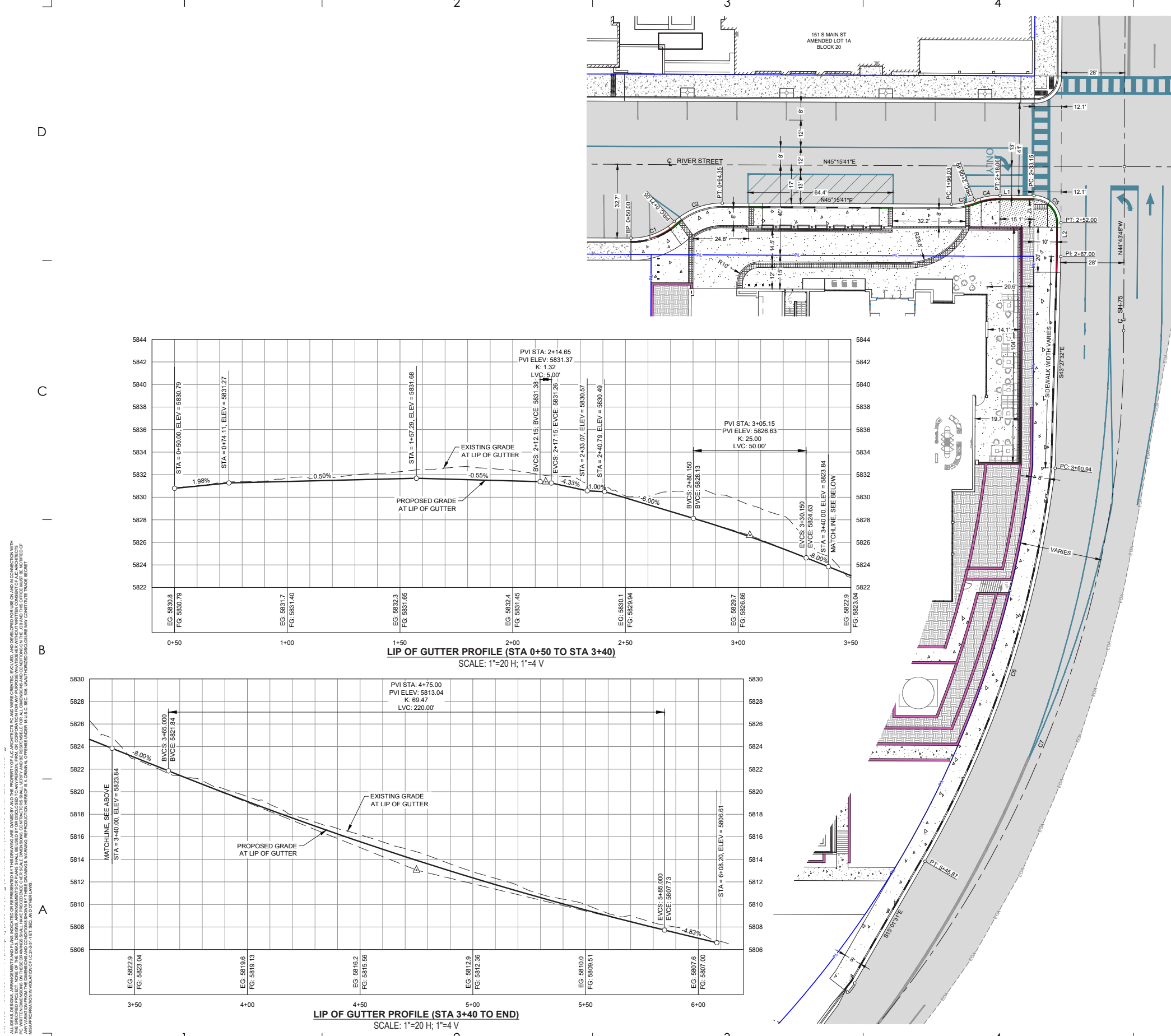
REVISIONS

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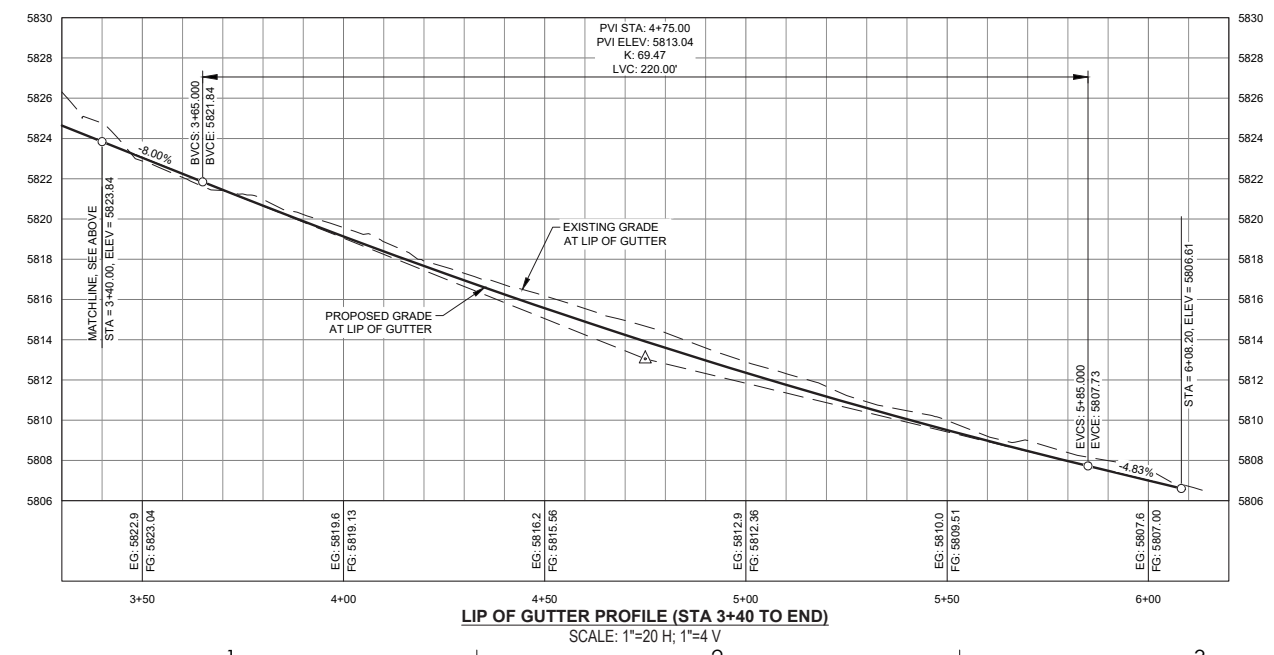
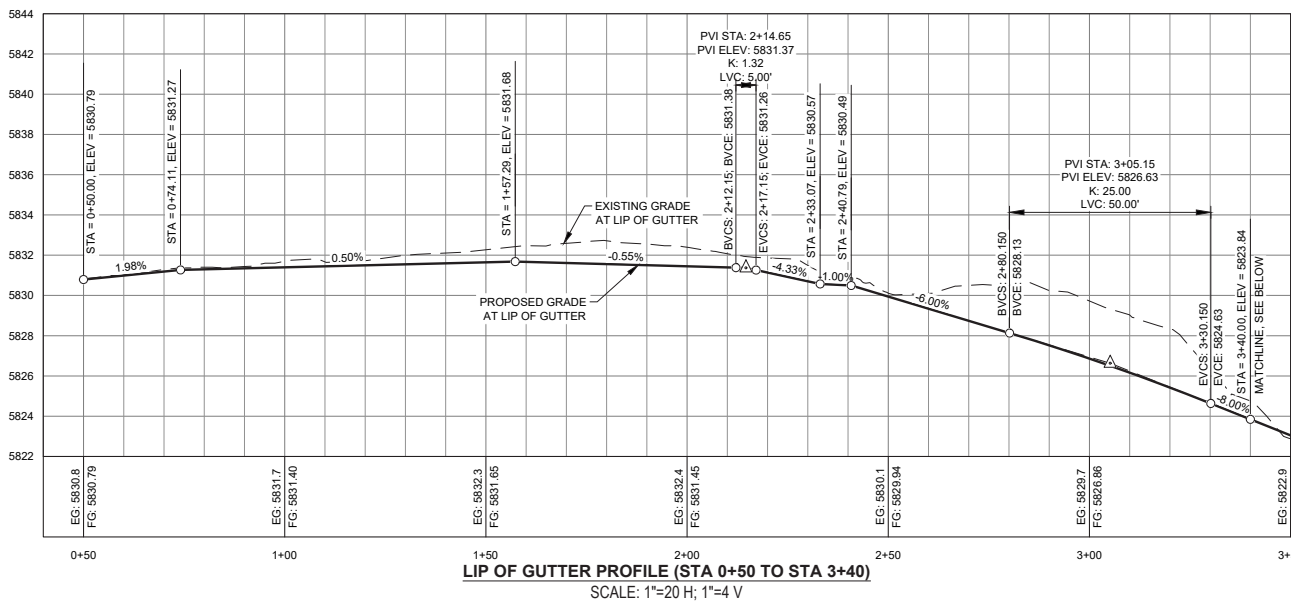
ISSUE DATE: 08/06/2021  
ISSUE TYPE: Permit Set  
DRAWN BY: CT  
CHECKED BY: JL | SF  
PROJECT#: 6003.05

SHEET NUMBER:  
**C2.0**

**STORM WATER POLLUTION PREVENTION PLAN - CIVIL DRAWINGS**



- LEGEND**
- Existing Items**
- Property Line
  - Adjoiner's Lot Line
  - Centerline Right of Way
  - Mean High Water
  - Flood Plain
  - Flood Way
  - Sewer Easement as Shown
  - 25' Riparian & Scenic Easement
  - 5' Contour Interval
  - 1' Contour Interval
  - Asphalt
  - Building / Structure
  - Concrete Sidewalk
  - Concrete Curb & Gutter
  - Power Easement
  - Conifer Tree
  - Deciduous Tree
- Proposed Items**
- Concrete Sidewalk
  - ADA Pedestrian Approach
  - Concrete 6" Vertical Curb
  - Curb Transition
  - Zero Reveal Curb & Gutter
  - Curb Face with Variable Height
  - Curb Painted No Parking
  - ADA Access Truncated Dome
  - Sand Blasted Concrete
  - Road Paint
  - Trench Drain
  - Landscaping
  - Retaining Wall

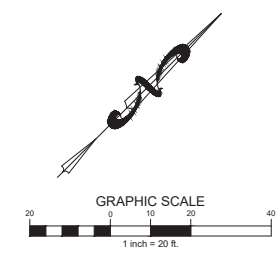


**Line Table**

Line	Length	Direction
L1	15.09'	N45°15'41"E
L2	15.00'	S44°43'48"W

**Curve Table**

Curve	Radius	Length	Delta	Chord Direction	Chord Length
C1	28.50	21.05	42°18'31"	N24°0'103"E	20.57
C2	31.50	23.31	42°23'54"	N24°03'44"E	22.78
C3	28.50	10.47	21°02'22"	N34°44'30"E	10.41
C4	31.50	11.57	21°02'22"	N34°44'30"E	11.50
C5	12.00	18.85	90°00'31"	S89°44'03"E	16.97
C6	454.50	184.93	23°18'46"	S26°40'54"E	183.66
C7	477.50	376.65	45°11'42"	N22°52'43"W	366.96



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ORIGINAL ON FILE AT OFFICE OF  
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PROJECT DESCRIPTION  
**KETCHUM PROLOGUE  
HOTEL**

River & Moin  
Ketchum, ID 83353

SHEET NAME:  
**SITE GEOMETRY PLAN &  
LIP OF GUTTER PROFILE**

REVISIONS

MARK	DATE	DESCRIPTION

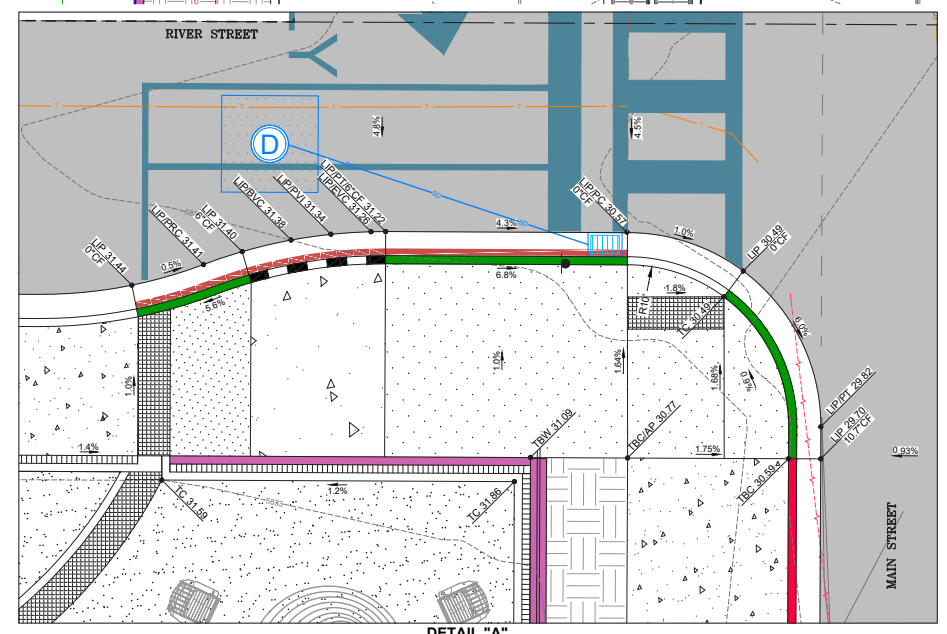
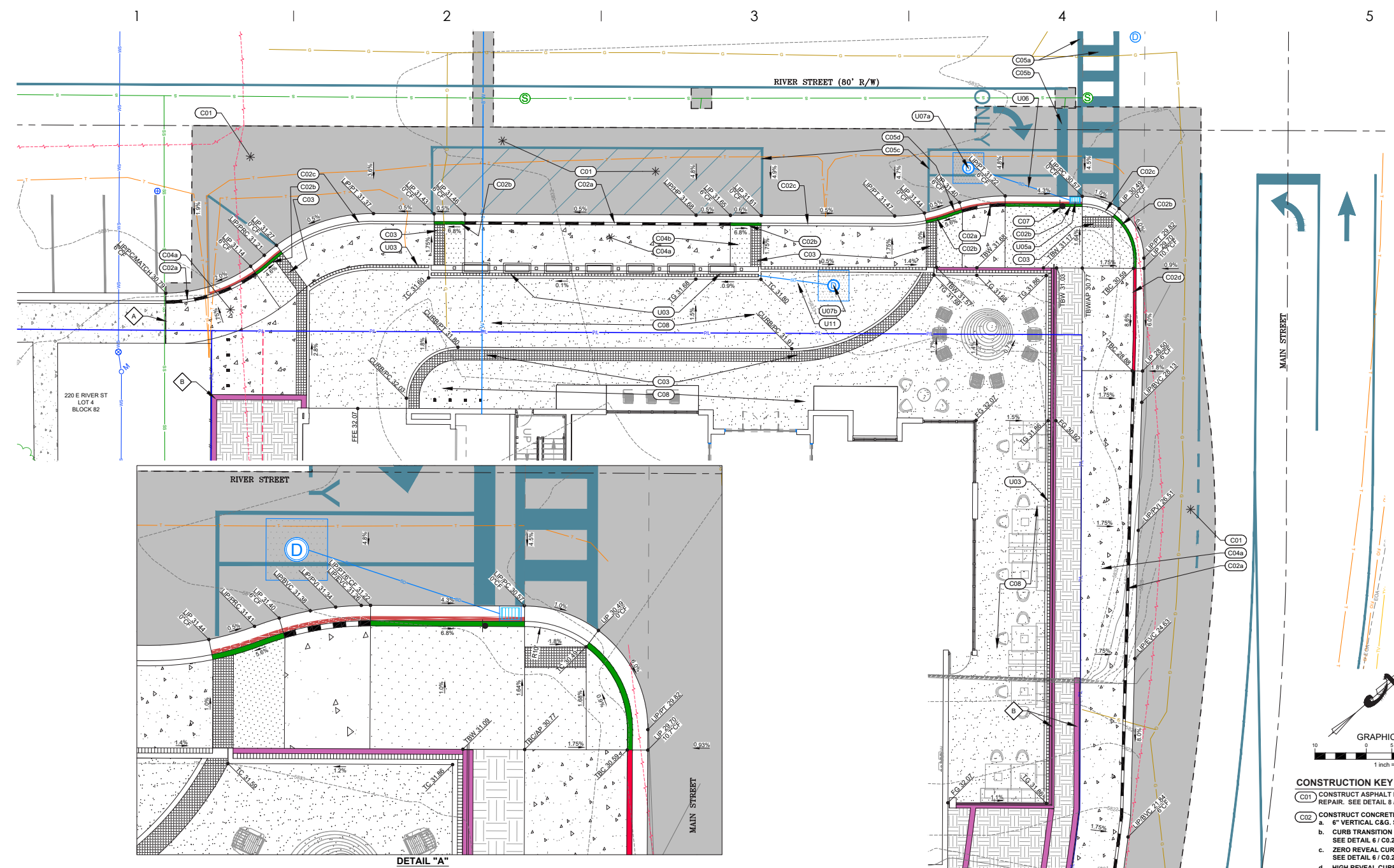
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ISSUE TYPE: Permit Set  
DRAWN BY: CT  
CHECKED BY: JL / SF  
PROJECT#: 6003.05

SHEET NUMBER:  
**C3.0**

**SITE GEOMETRY PLAN - CIVIL DRAWINGS**







LEGEND		Proposed Items	
	Property Line		New Asphalt
	Adjoiner's Lot Line		Concrete Sidewalk
	Centerline Right of Way		ADA Pedestrian Approach
	Mean High Water		Concrete 6" Vertical Curb
	Flood Plain		Curb Transition
	Flood Way		Zero Reveal Curb & Gutter
	Sewer Easement as Shown		Curb Face with Variable Height
	25' Riparian & Scenic Easement		Curb Painted No Parking
	5' Contour Interval		Curb Painted No Parking
	1' Contour Interval		Ada Access Truncated Dome
	Asphalt		Sign
	Board Walk		Fire Hydrant
	Building / Structure		Water Valve
	Pavers		Sewer Service / Main
	Concrete Curb & Gutter		Curb Face
	Cable Television		FG = Finished Grade
	Fiber Optic Line		HP = High Point
	Buried Power Line		TBC = Top Back of Curb
	Buried Telephone Line		TBW = Top Back of Walk
	Ketchum City Water Line		TC = Top of Concrete
	Water Service		TP = Top of Pavers
	Sewer Line		Landscaping
	Sewer Service		Retaining Wall
	Power Easement		
	Conifer Tree		
	Deciduous Tree		
	ITD Bolt = Right-of-way Monument		
	FD12 = Found 1/2" Rebar		
	FD5/8 = Found 5/8" Rebar		
	Found Aluminum Cap in Concrete		
	Survey Control		
	Found Nail in Stump		
	Fire Hydrant		
	Water Valve		
	Frost Free Hydrant		
	Irrigation Valve Box		
	Catch Basin		
	Drywell		
	Sewer Manhole		
	Sewer Cleanout		
	Power Pole		
	Power Meter		
	Light		
	Power Box		
	Telephone Riser		
	AC = Aluminum Cap		
	AP = Angle Point		
	BOLL = Bollard		
	BOW = Back of Walk		
	CC = Curb Cut		
	COR = Corner		
	EOA = Edge of Asphalt Line		
	FH = Fire Hydrant		
	FND = Found		
	GM = Gas Main		
	GS = Ground Shot		
	INT = Intersection		
	JERAIL = Jersey Rail		
	LIP = Lip of Gutter		
	PB = Buried Power Line		
	PBOX = Power Box		
	PHB = Buried Telephone Line		
	PHBOX = Telephone Riser		
	PMTR = Power Meter		
	PP = Power Pole		
	SMH = Sewer Manhole		
	TBC = Top Back of Curb		
	TBW = Top Back of Walk		
	TVBOX = Cable Television Riser		
	New Asphalt		
	Concrete Sidewalk		
	ADA Pedestrian Approach		
	Concrete 6" Vertical Curb		
	Curb Transition		
	Zero Reveal Curb & Gutter		
	Curb Face with Variable Height		
	Curb Painted No Parking		
	Ada Access Truncated Dome		
	Sign		
	Fire Hydrant		
	Water Valve		
	Sewer Service / Main		
	Curb Face		
	FG = Finished Grade		
	HP = High Point		
	TBC = Top Back of Curb		
	TBW = Top Back of Walk		
	TC = Top of Concrete		
	TP = Top of Pavers		
	Landscaping		
	Retaining Wall		

- CONSTRUCTION KEY NOTES**
- C01 CONSTRUCT ASPHALT ROADWAY / ASPHALT REPAIR. SEE DETAIL 8 / C0.2.
  - C02 CONSTRUCT CONCRETE CURB AND GUTTER
    - a. 6" VERTICAL C&G. SEE DETAIL 7a / C0.2.
    - b. CURB TRANSITION (6"CF TO 6"CF). SEE DETAIL 6 / C0.2.
    - c. ZERO REVEAL CURB AND GUTTER. SEE DETAIL 6 / C0.2.
    - d. HIGH REVEAL CURB FACE CURB AND GUTTER (6"CF TO 10.7"CF). SEE DETAIL 7b / C0.2.
  - C03 INSTALL CITY OF KETCHUM APPROVED CAST IRON TRUNCATED DOME DETECTABLE WARNING INSERT. SEE DETAIL 5 / C0.2 FOR INSTALLATION IN AREAS WITHOUT CONCRETE SIDEWALK AND DETAIL 12 / C0.2 FOR GENERAL PLATE DETAILS.
  - C04 CONSTRUCT CONCRETE SIDEWALK, WIDTH AS SHOWN HEREON. SEE DETAIL 9 / C0.2.
    - a. FLAT WORK.
    - b. ADA COMPLIANT RAMPS AND LANDING.
  - C05 INSTALL ROAD STRIPING / PAINT
    - a. WHITE CROSSWALK STRIPING (12" WIDE BARS WITH 24" WIDE CROSS BARS WITH GLASS BEADS).
    - b. WHITE STOP BAR STRIPING (24" WIDE).
    - c. YELLOW STRIPING (4" WIDE).
    - d. RED "NO PARKING" STRIPING ON CURB. MATCH CITY PATTERNS.
  - C06 INSTALL HEATED PAVER SIDEWALK / ROADWAY. SEE DETAIL 9 / C0.2.
  - C07 INSTALL STOP / STREET SIGN. USE PREVIOUSLY REMOVED SIGN. SEE DETAIL 11 / C0.2 FOR SIGN BASE DETAIL.
  - C08 CONSTRUCT SAND-BLASTED CONCRETE SIDEWALK ENTRY.
    - a. MATCH EXISTING LINES AND GRADES.
    - b. SEE ARCHITECTURAL DRAWINGS FOR RETAINING WALL DESIGN.

- UTILITY KEY NOTES**
- U03 INSTALL TRENCH DRAIN. SEE DETAIL 2 / C0.0.
  - U05 INSTALL CATCH BASIN. SEE DETAIL 3 / C0.2.
    - a. RIM = 5830.47
    - INV. OUT = 5827.47
  - U06 INSTALL 12" ADS N-12 STORM DRAIN PIPE WITH A MINIMUM SLOPE OF 2.0%. SEE DETAIL 2 / C0.2 FOR TRENCHING.
  - U07 CONSTRUCT DRYWELL. SEE DETAIL 4 / C0.2.
    - a. RIM = 5831.80
    - INV. IN = 5827.47
    - b. RIM = 5831.62
    - INV. IN = 5828.6
  - U11 INSTALL 6" PVC STORM DRAIN PIPE WITH A MINIMUM SLOPE OF 2.0%. SEE DETAIL 2 / C0.2 FOR TRENCHING.

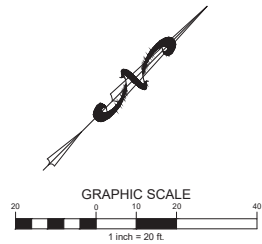
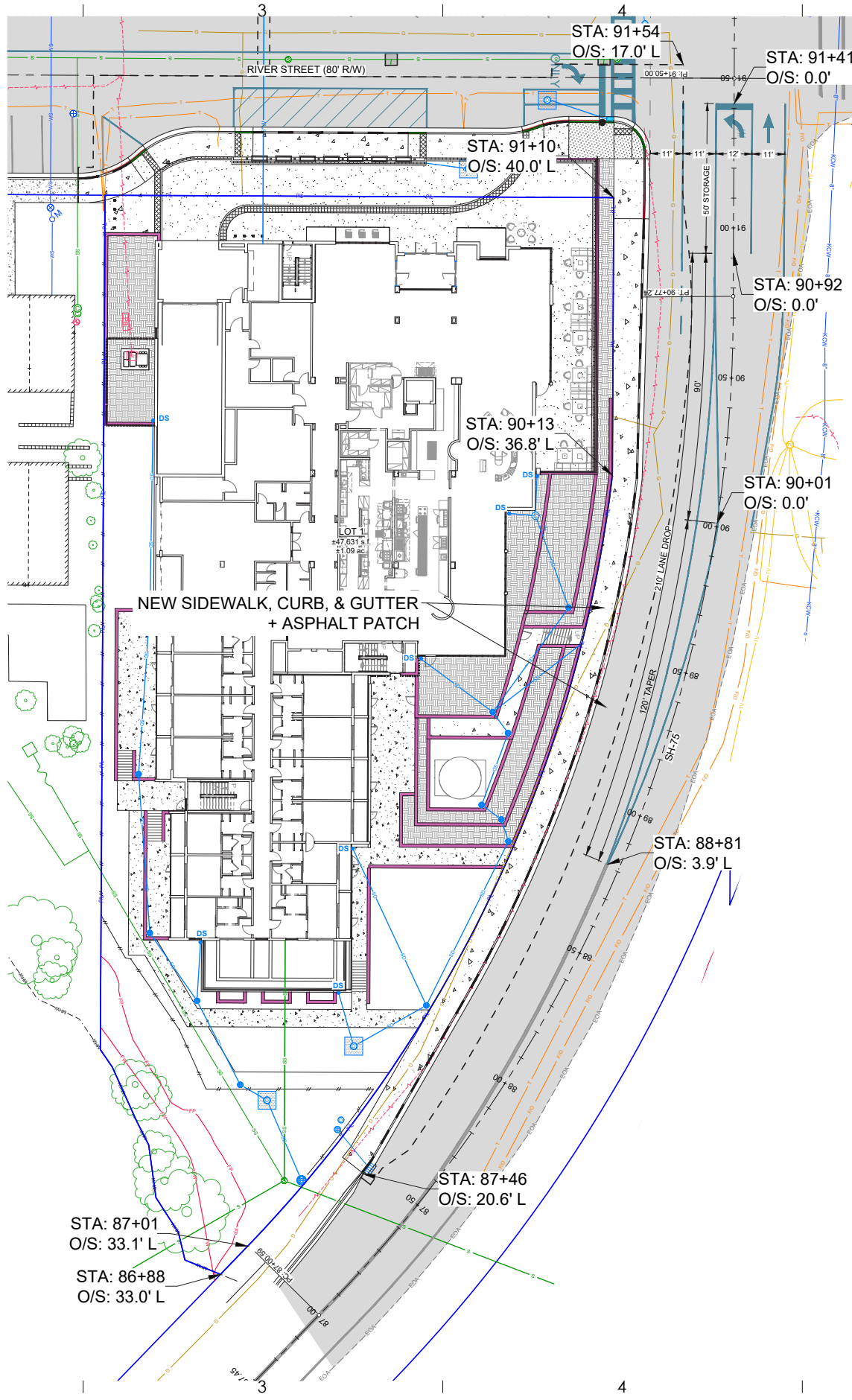
RIVER STREET RIGHT-OF-WAY IMPROVEMENT PLAN - CIVIL DRAWINGS







ALL IDEAS, DESIGN ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF AJC ARCHITECTS PC AND WERE CREATED, EVOLVED, AND DEVELOPED FOR USE IN CONNECTION WITH THE PROJECT DESCRIBED HEREIN. ANY REUSE OR REPRODUCTION OF THIS DRAWING OR ANY PART THEREOF WITHOUT THE WRITTEN PERMISSION OF AJC ARCHITECTS PC IS STRICTLY PROHIBITED. ANY UNAUTHORIZED REPRODUCTION OR REUSE OF THIS DRAWING OR ANY PART THEREOF IS A VIOLATION OF U.S. COPYRIGHT LAW AND MAY CONSTITUTE A CRIMINAL OFFENSE UNDER 18 U.S.C. SEC. 506. UNAUTHORIZED DISCLOSURE MAY CONSTITUTE TRADE SECRET VIOLATION UNDER 18 U.S.C. SEC. 1836 AND OTHER LAWS. DRAWINGS, WARNINGS, REPRODUCTION HEREOF IS A CRIMINAL OFFENSE UNDER 18 U.S.C. SEC. 506. UNAUTHORIZED DISCLOSURE MAY CONSTITUTE TRADE SECRET VIOLATION UNDER 18 U.S.C. SEC. 1836 AND OTHER LAWS.



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PROJECT DESCRIPTION

KETCHUM PROLOGUE  
 HOTEL

River & Main  
 Ketchum, ID 83353

SHEET NAME:

ITD PERMIT

REVISIONS

MARK	DATE	DESCRIPTION
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ISSUE DATE: 08/03/2021  
 ISSUE TYPE:  
 DRAWN BY: CT  
 CHECKED BY: JL | SF  
 PROJECT#: 6003.05

SHEET NUMBER:

**i0.2**

ITD

## FLOOR PLANS

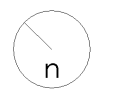
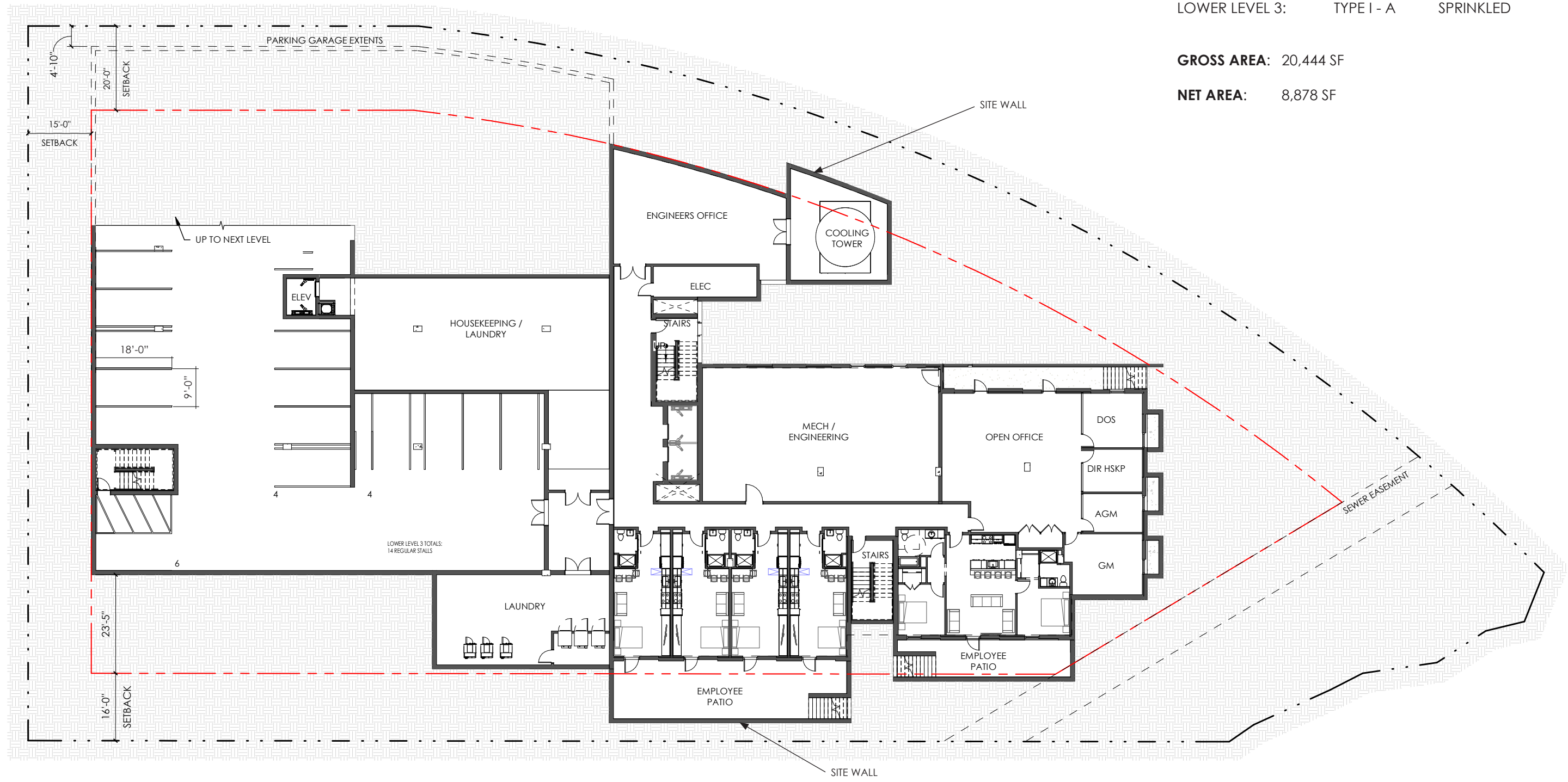


**OCCUPANCY CLASSIFICATION** – IBC CHAPTER 3  
 'B' - BUSINESS  
 'R' - RESIDENTIAL GROUP R-2  
 'S' - STORAGE GROUP S-2

**TYPE OF CONSTRUCTION** – IBC CHAPTER 6  
 LOWER LEVEL 3: TYPE I - A      SPRINKLED

**GROSS AREA:** 20,444 SF

**NET AREA:** 8,878 SF



**LEVEL -03 | FLOOR PLAN**

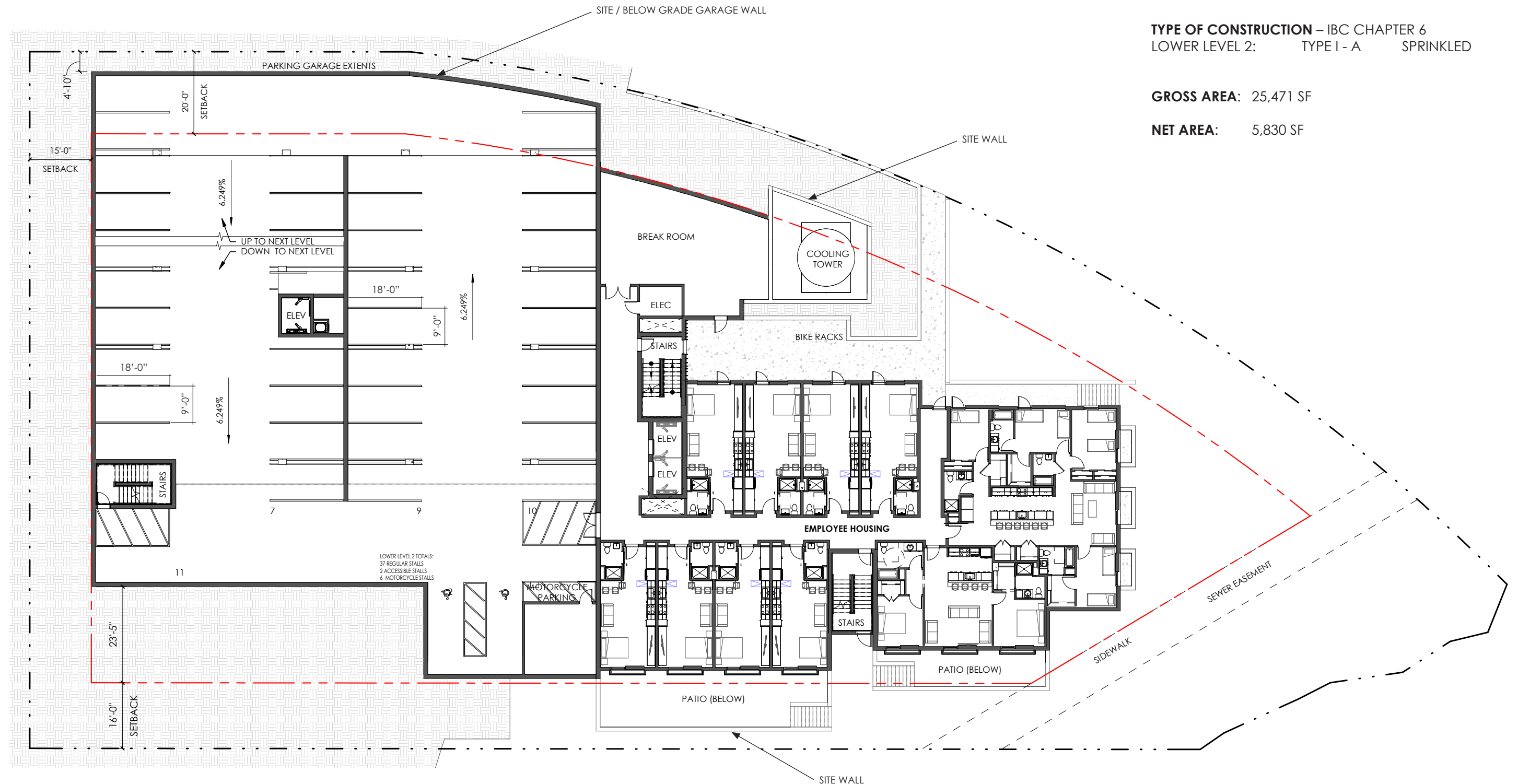
TRIBUTE PORTFOLIO | KETCHUM, IDAHO

**OCCUPANCY CLASSIFICATION** – IBC CHAPTER 3  
 'B' - BUSINESS  
 'R' - RESIDENTIAL GROUP R-2  
 'S' - STORAGE GROUP S-2

**TYPE OF CONSTRUCTION** – IBC CHAPTER 6  
 LOWER LEVEL 2: TYPE I - A SPRINKLED

**GROSS AREA:** 25,471 SF

**NET AREA:** 5,830 SF



LEVEL -02 | FLOOR PLAN

TRIBUTE PORTFOLIO | KETCHUM, IDAHO

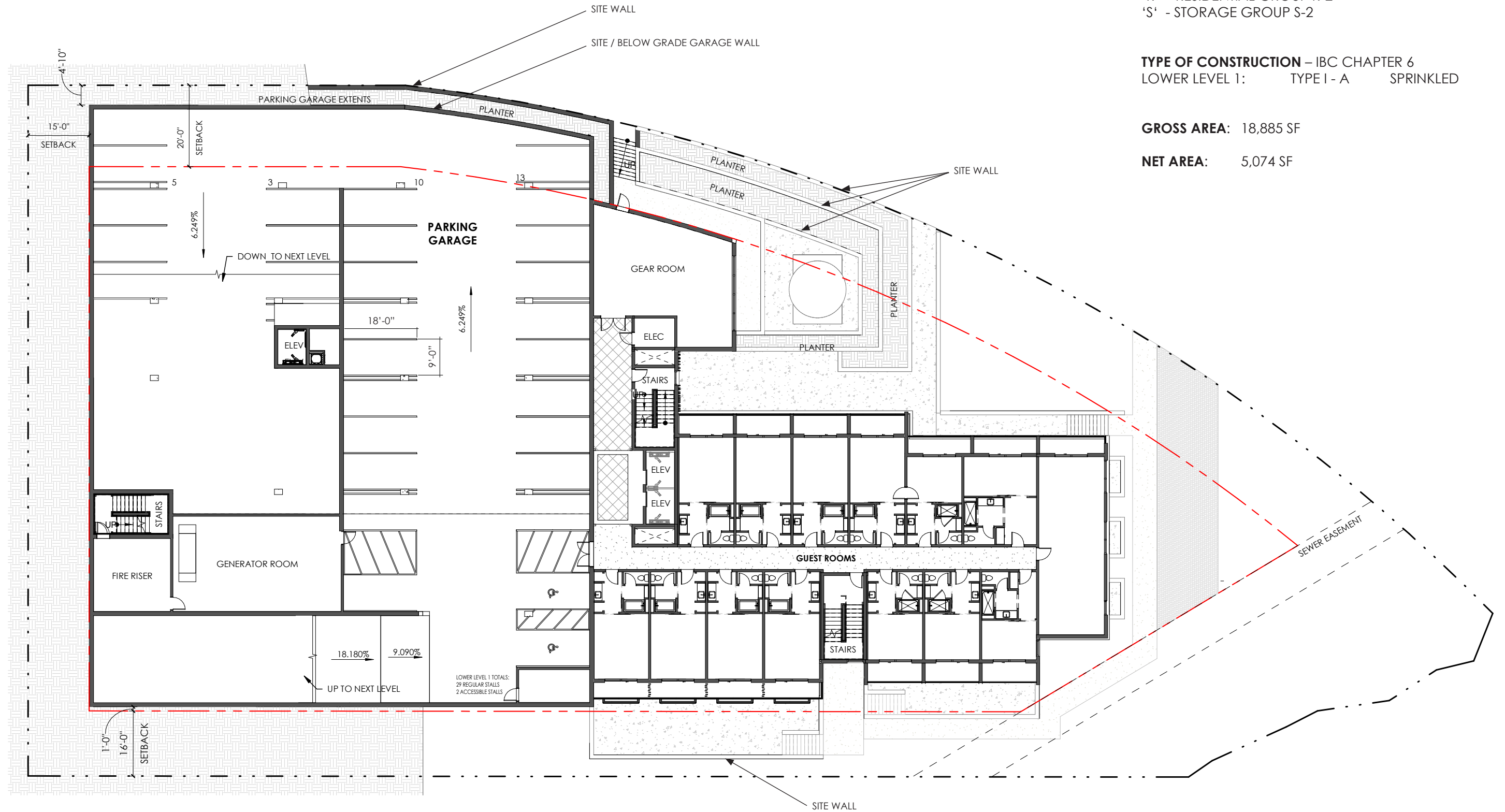


**OCCUPANCY CLASSIFICATION** – IBC CHAPTER 3  
 'B' - BUSINESS  
 'R' - RESIDENTIAL GROUP R-2  
 'S' - STORAGE GROUP S-2

**TYPE OF CONSTRUCTION** – IBC CHAPTER 6  
 LOWER LEVEL 1: TYPE I - A SPRINKLED

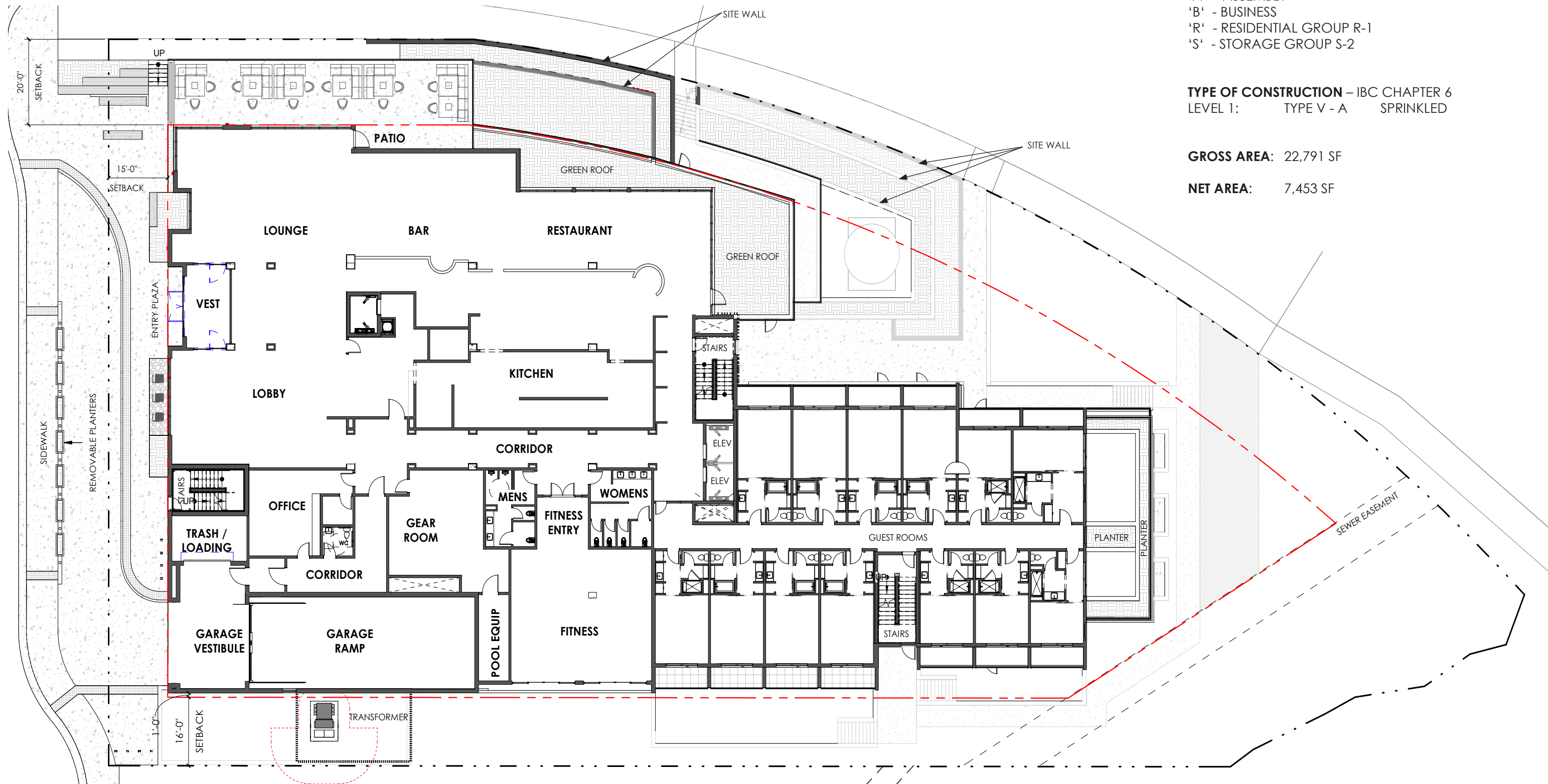
**GROSS AREA:** 18,885 SF

**NET AREA:** 5,074 SF



**LEVEL -01 | FLOOR PLAN**

TRIBUTE PORTFOLIO | KETCHUM, IDAHO



**OCCUPANCY CLASSIFICATION – IBC CHAPTER 3**

- 'A' - ASSEMBLY
- 'B' - BUSINESS
- 'R' - RESIDENTIAL GROUP R-1
- 'S' - STORAGE GROUP S-2

**TYPE OF CONSTRUCTION – IBC CHAPTER 6**

LEVEL 1: TYPE V - A SPRINKLED

**GROSS AREA:** 22,791 SF

**NET AREA:** 7,453 SF



**LEVEL 01 | FLOOR PLAN**



**OCCUPANCY CLASSIFICATION – IBC CHAPTER 3**

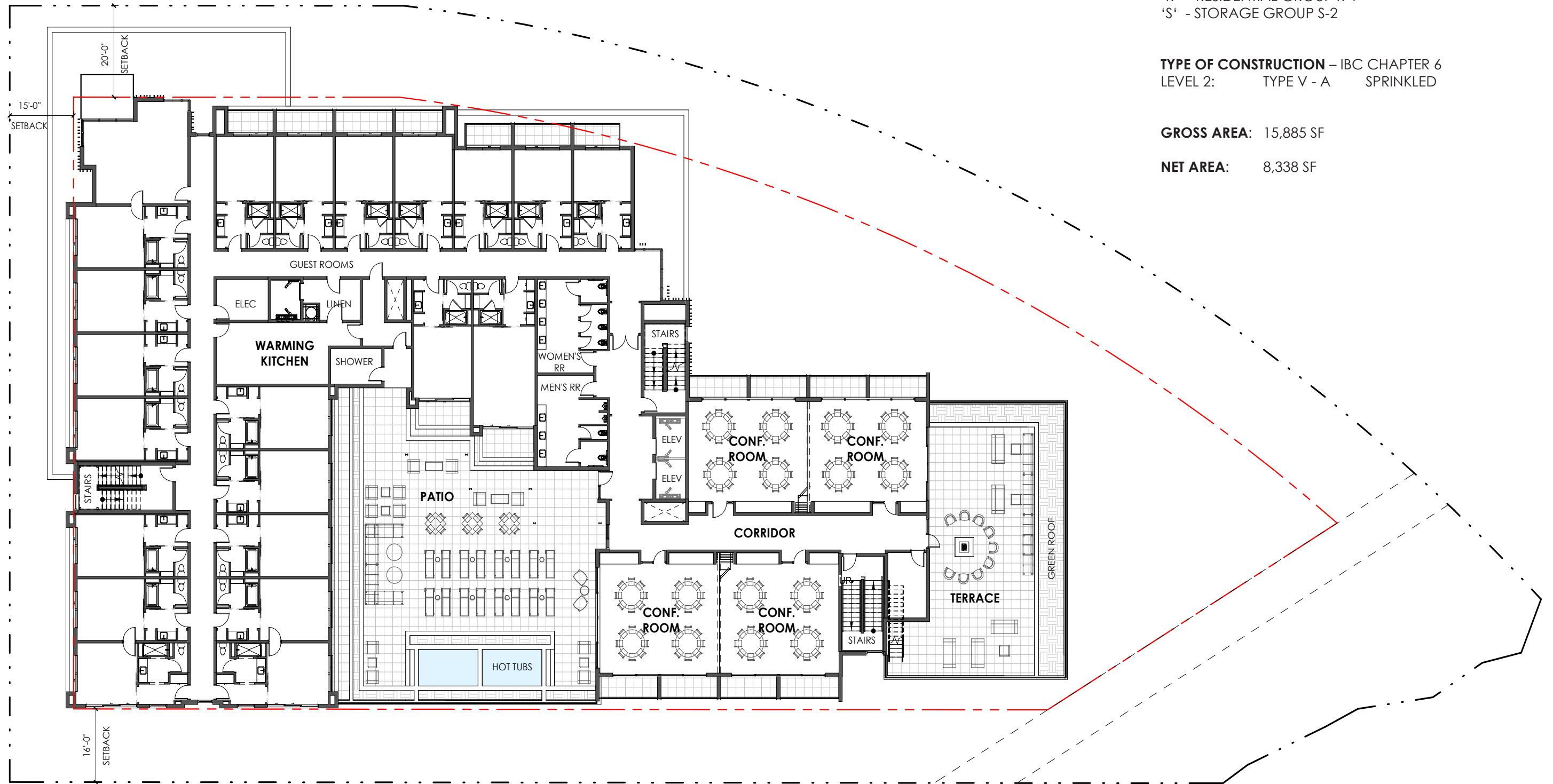
- 'A' - ASSEMBLY
- 'B' - BUSINESS
- 'R' - RESIDENTIAL GROUP R-1
- 'S' - STORAGE GROUP S-2

**TYPE OF CONSTRUCTION – IBC CHAPTER 6**

LEVEL 2: TYPE V - A SPRINKLED

**GROSS AREA:** 15,885 SF

**NET AREA:** 8,338 SF



**LEVEL 02 | FLOOR PLAN**

TRIBUTE PORTFOLIO | KETCHUM, IDAHO

**OCCUPANCY CLASSIFICATION – IBC CHAPTER 3**

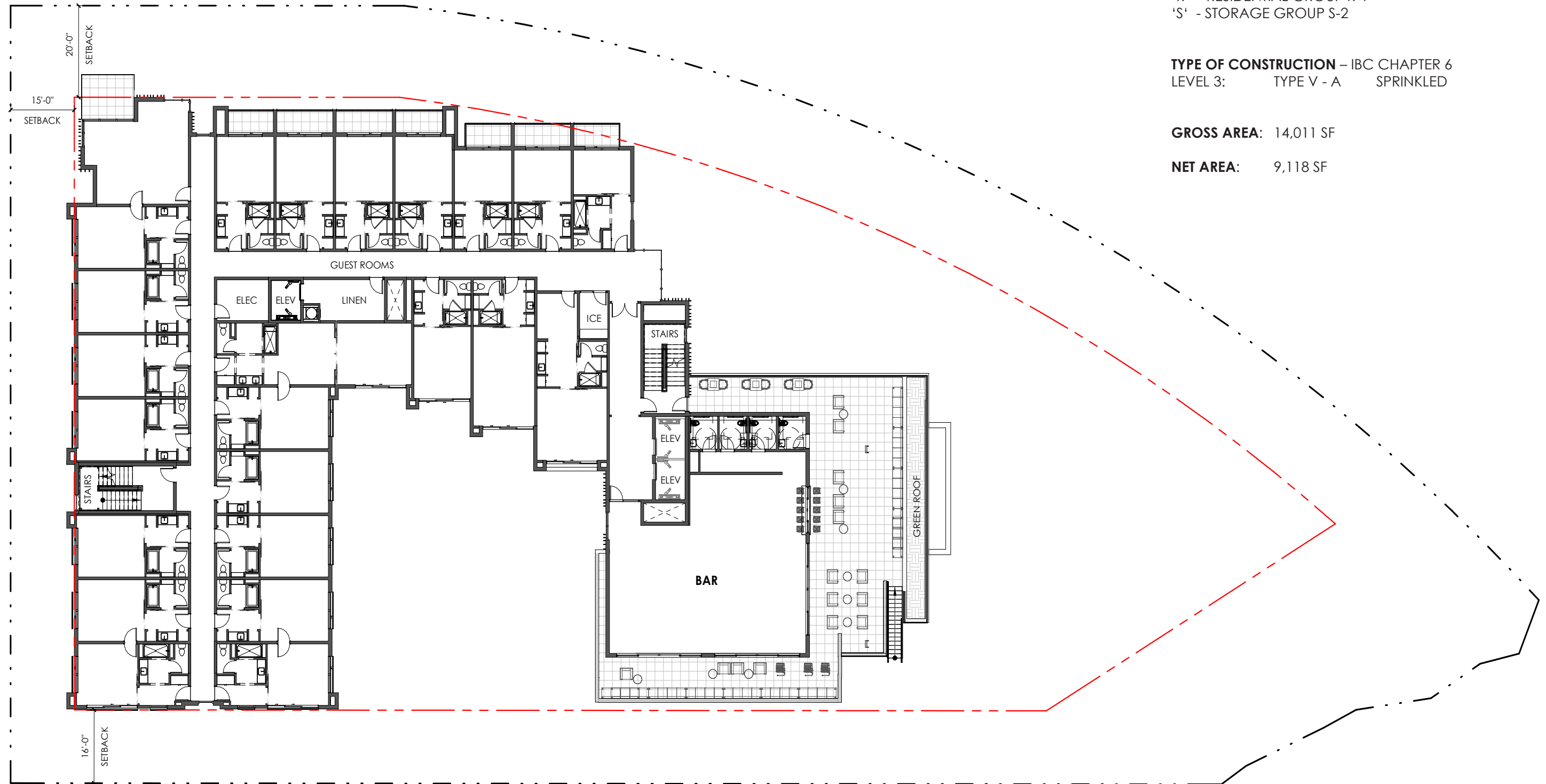
- 'A' - ASSEMBLY
- 'B' - BUSINESS
- 'R' - RESIDENTIAL GROUP R-1
- 'S' - STORAGE GROUP S-2

**TYPE OF CONSTRUCTION – IBC CHAPTER 6**

LEVEL 3: TYPE V - A SPRINKLED

**GROSS AREA:** 14,011 SF

**NET AREA:** 9,118 SF



**LEVEL 03 | FLOOR PLAN**

TRIBUTE PORTFOLIO | KETCHUM, IDAHO



**OCCUPANCY CLASSIFICATION** – IBC CHAPTER 3

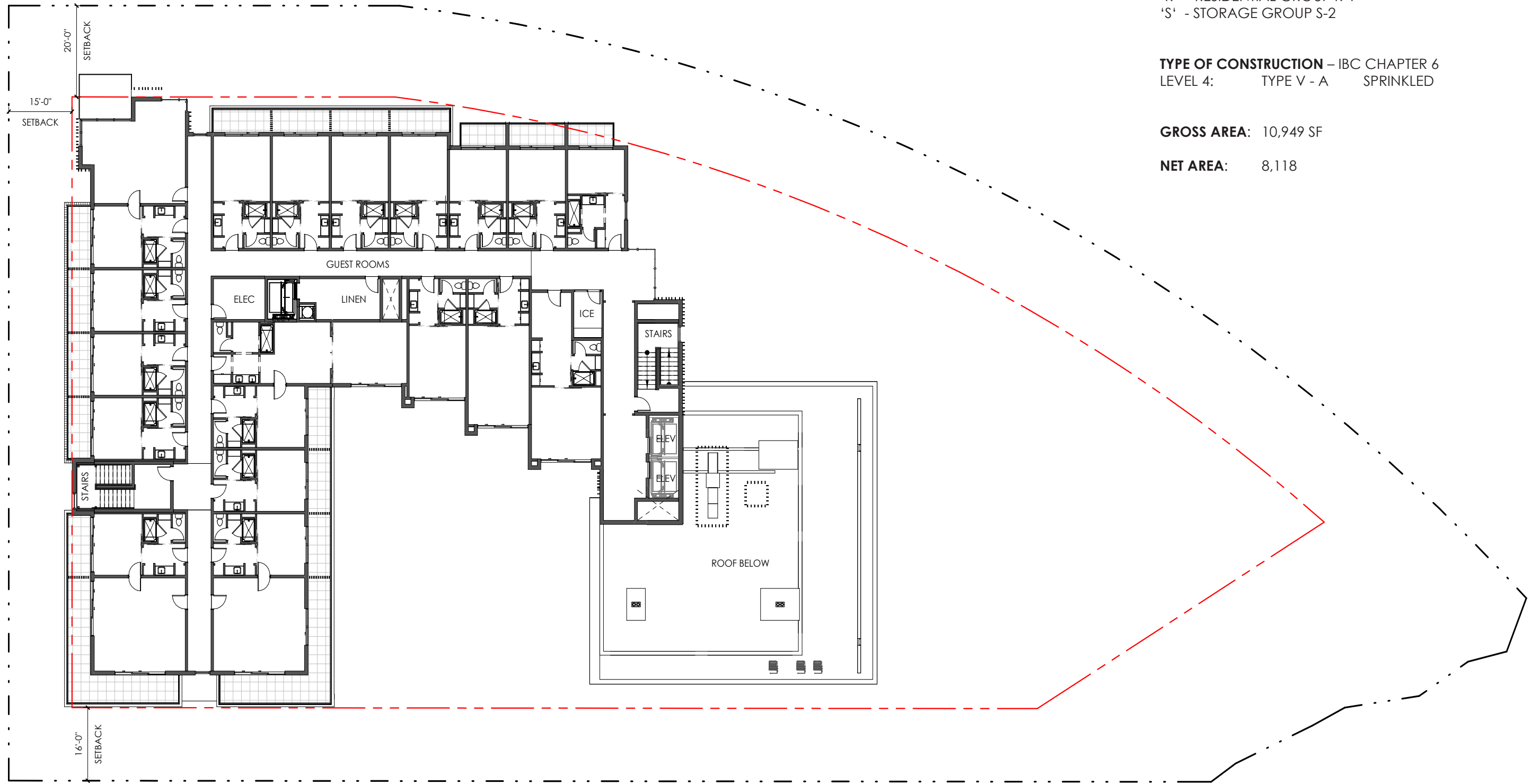
- 'A' - ASSEMBLY
- 'B' - BUSINESS
- 'R' - RESIDENTIAL GROUP R-1
- 'S' - STORAGE GROUP S-2

**TYPE OF CONSTRUCTION** – IBC CHAPTER 6

LEVEL 4: TYPE V - A SPRINKLED

**GROSS AREA:** 10,949 SF

**NET AREA:** 8,118



**LEVEL 04 | FLOOR PLAN**

TRIBUTE PORTFOLIO | KETCHUM, IDAHO

## EXTERIOR ELEVATIONS | MATERIALS

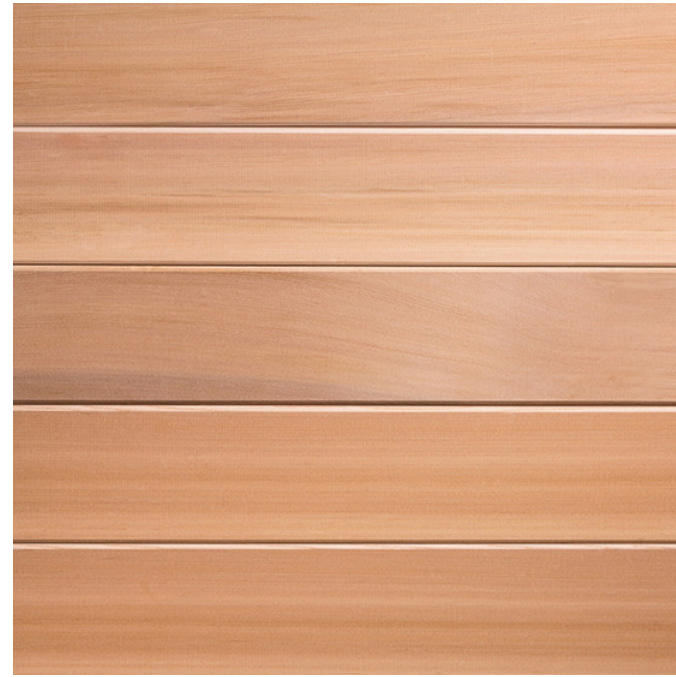




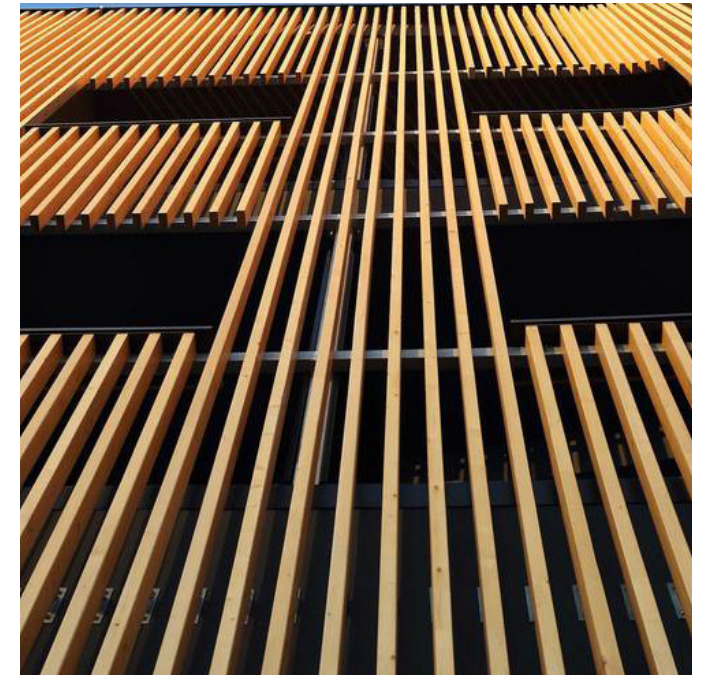
BOARD-FORMED CONCRETE



SHOU-SUGI BAN WOOD



CLEAR CEDAR T&G



CLEAR CEDAR SCREEN



DRY-STACKED STONE



BLACK STEEL TRIM

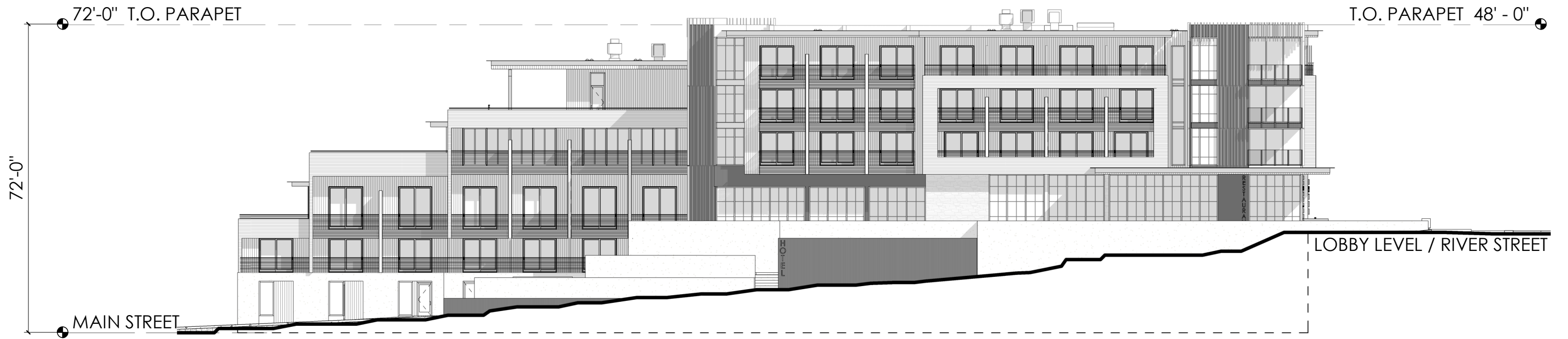


SAND-BLASTED CONCRETE



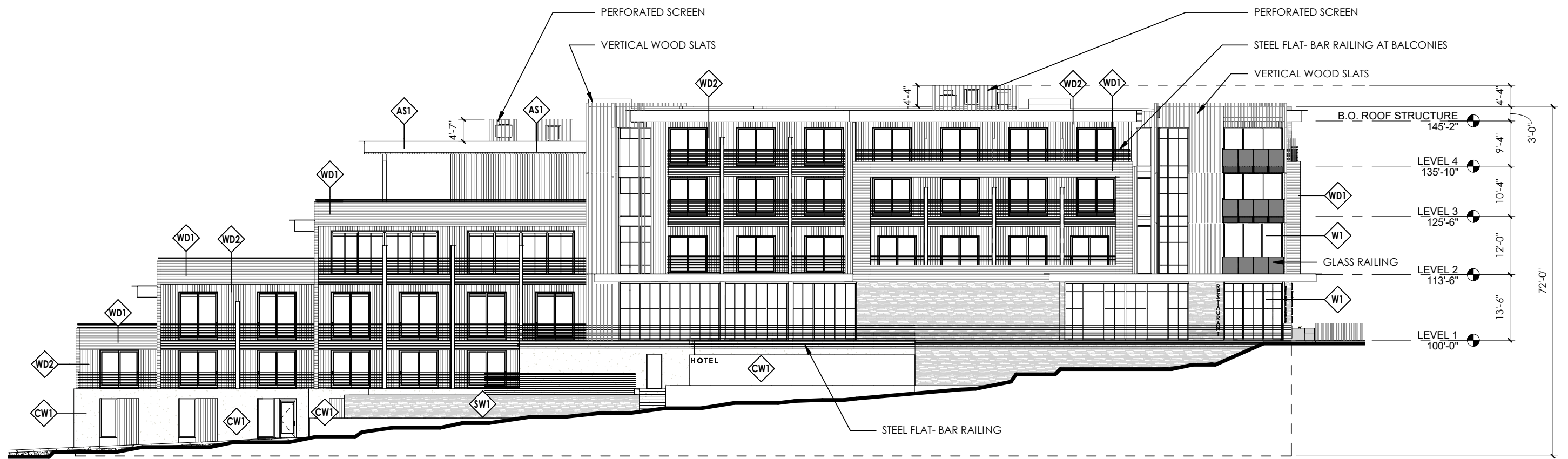
FLAT-BAR RAILING





EAST ELEVATION | HWY 75 | MAIN STREET





### ELEVATION FINISHES

EXPOSED STRUCTURAL STEEL - PAINT- HIGH PERFORMANCE COATING	AS1	
EXTERIOR WOOD SIDING - HORIZONTAL PATTERN - SEALED	WD1	
EXTERIOR WOOD SIDING - VERTICAL PATTERN - SEALED	WD2	
EXTERIOR METAL WALL PANELS - RUSTED LOOK	MP1	
EXTERIOR WOOD SLAT CANOPY - SEALED	WS1	
EXTERIOR VERTICAL WOOD SLAT - SEALED	WS2	
CONCRETE WALL - ARCHITECTURAL FINISH - SEALED	CW1	
EXTERIOR STONE - NATURAL STONE VENEER	SW1	
EXTERIOR WINDOW SYSTEM	W1	

EAST ELEVATION | HWY 75 | MAIN STREET

TRIBUTE PORTFOLIO | KETCHUM, IDAHO





Subalpine Fir  
(14'-18')



Quaking Aspen  
(15'-20')



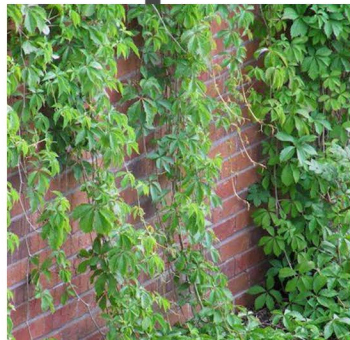
Lodgepole Pine  
(14'-18')



Swedish Aspen  
(15'-20')



Flowering Crab Tree  
(10'-15')



Overhanging Vines

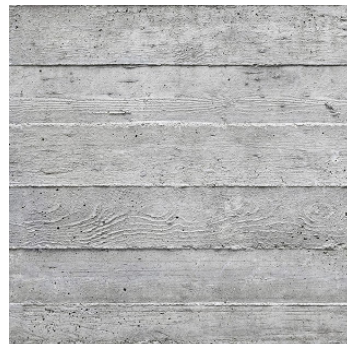


Blue Oat Grass

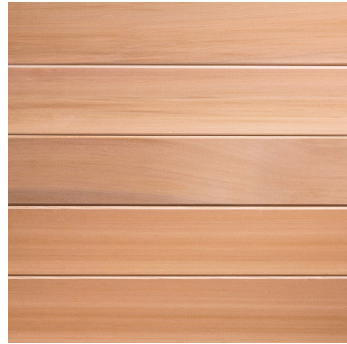
EAST ELEVATION | HWY 75 | MAIN STREET

TRIBUTE PORTFOLIO | KETCHUM, IDAHO





BOARD-FORMED CONCRETE



CLEAR CEDAR T&G



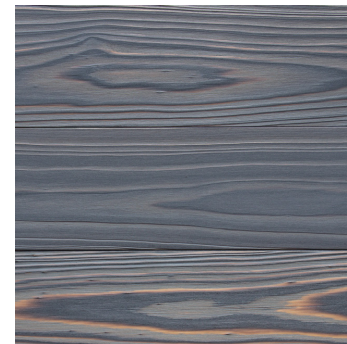
BLACK STEEL TRIM



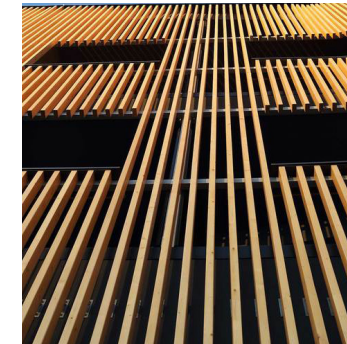
FLAT-BAR RAILING



DRY-STACKED STONE



SHOU-SUGI BAN WOOD



CLEAR CEDAR SCREEN



SAND-BLASTED CONCRETE

EAST ELEVATION | HWY 75 | MAIN STREET

TRIBUTE PORTFOLIO | KETCHUM, IDAHO





SITE WALL WITHIN THE SETBACK

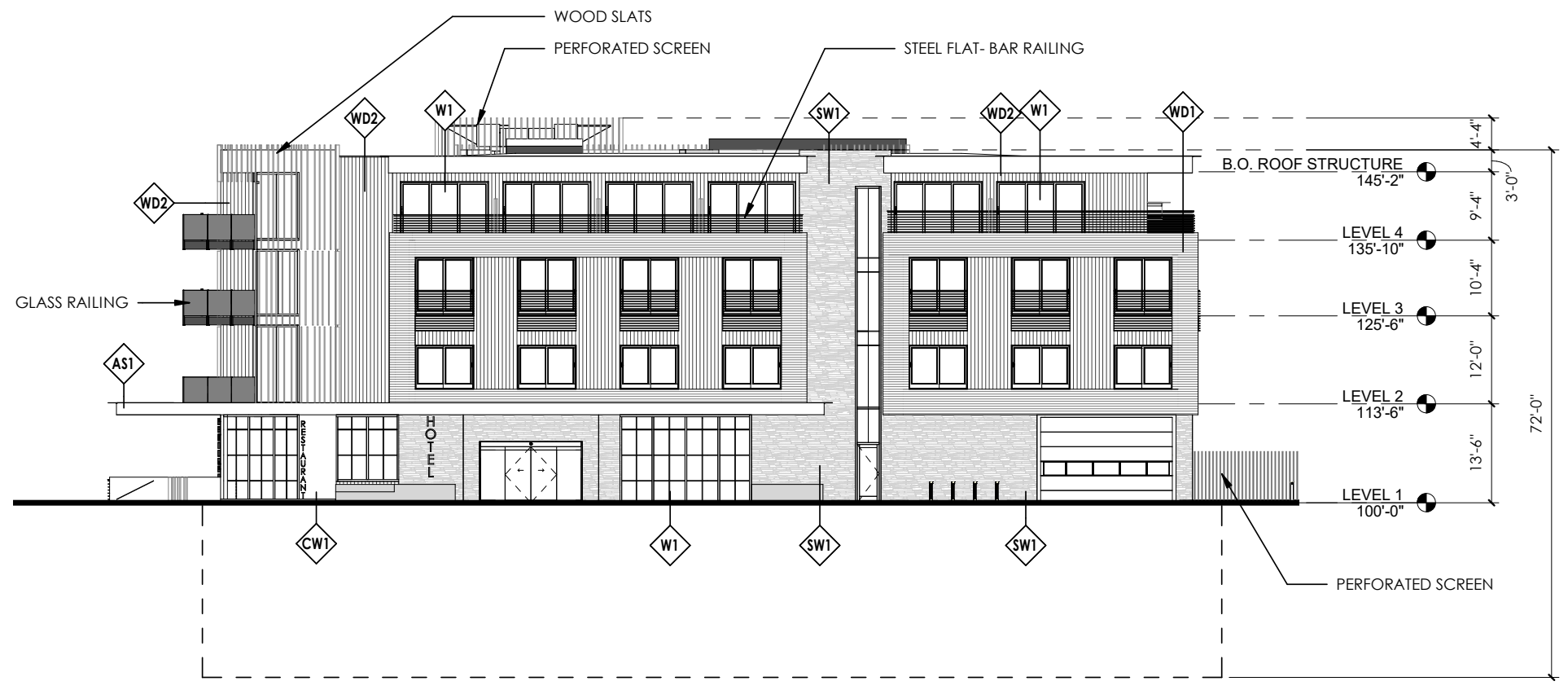
EAST ELEVATION | HWY 75 | MAIN STREET | SITE WALLS & SETBACK EXHIBIT





NORTH ELEVATION | RIVER STREET

TRIBUTE PORTFOLIO | KETCHUM, IDAHO



**ELEVATION FINISHES**

EXPOSED STRUCTURAL STEEL - PAINT- HIGH PERFORMANCE COATING	AS1	
EXTERIOR WOOD SIDING - HORIZONTAL PATTERN - SEALED	WD1	
EXTERIOR WOOD SIDING - VERTICAL PATTERN - SEALED	WD2	
EXTERIOR METAL WALL PANELS - RUSTED LOOK	MP1	
EXTERIOR WOOD SLAT CANOPY - SEALED	WS1	
EXTERIOR VERTICAL WOOD SLAT - SEALED	WS2	
CONCRETE WALL - ARCHITECTURAL FINISH - SEALED	CW1	
EXTERIOR STONE - NATURAL STONE VENEER	SW1	
EXTERIOR WINDOW SYSTEM	W1	

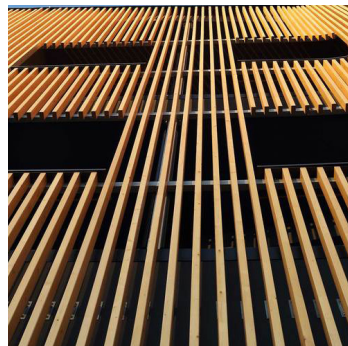
NORTH ELEVATION | RIVER STREET

TRIBUTE PORTFOLIO | KETCHUM, IDAHO

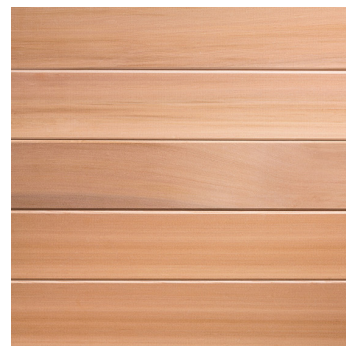




SAND-BLASTED CONCRETE



CLEAR CEDAR SCREEN



CLEAR CEDAR T&G



SHOU-SUGI BAN WOOD



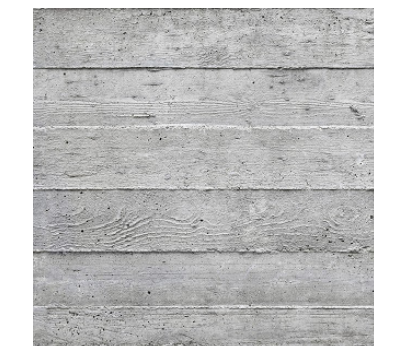
BLACK STEEL TRIM



DRY-STACKED STONE



FLAT-BAR RAILING



BOARD-FORMED CONCRETE

NORTH ELEVATION | RIVER STREET

TRIBUTE PORTFOLIO | KETCHUM, IDAHO

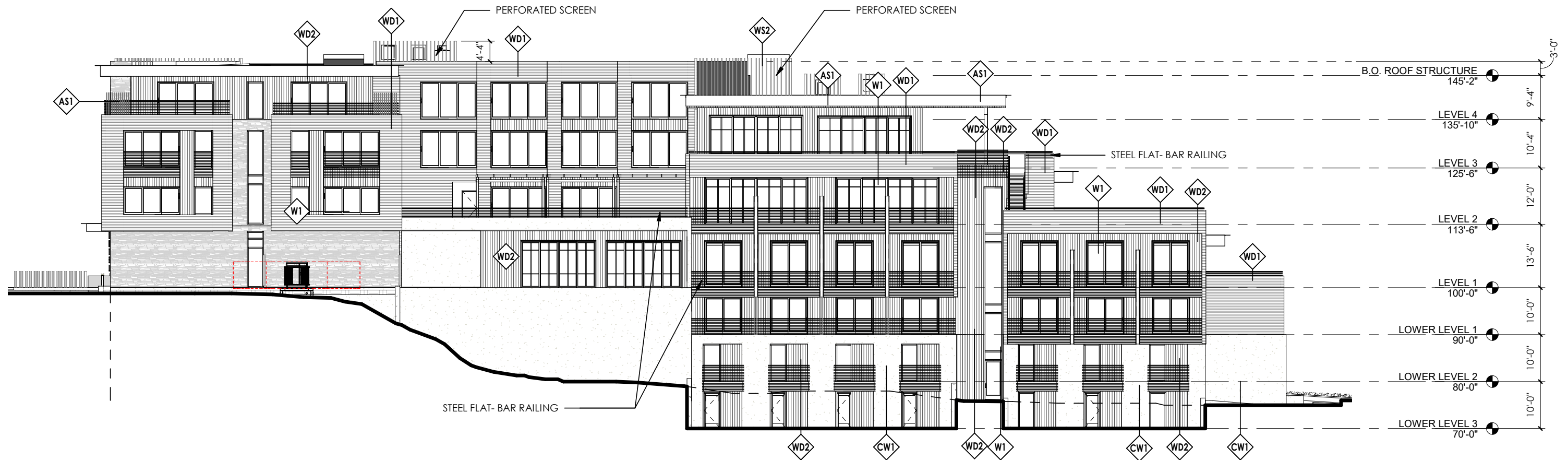




WEST ELEVATION | TRAIL CREEK

TRIBUTE PORTFOLIO | KETCHUM, IDAHO



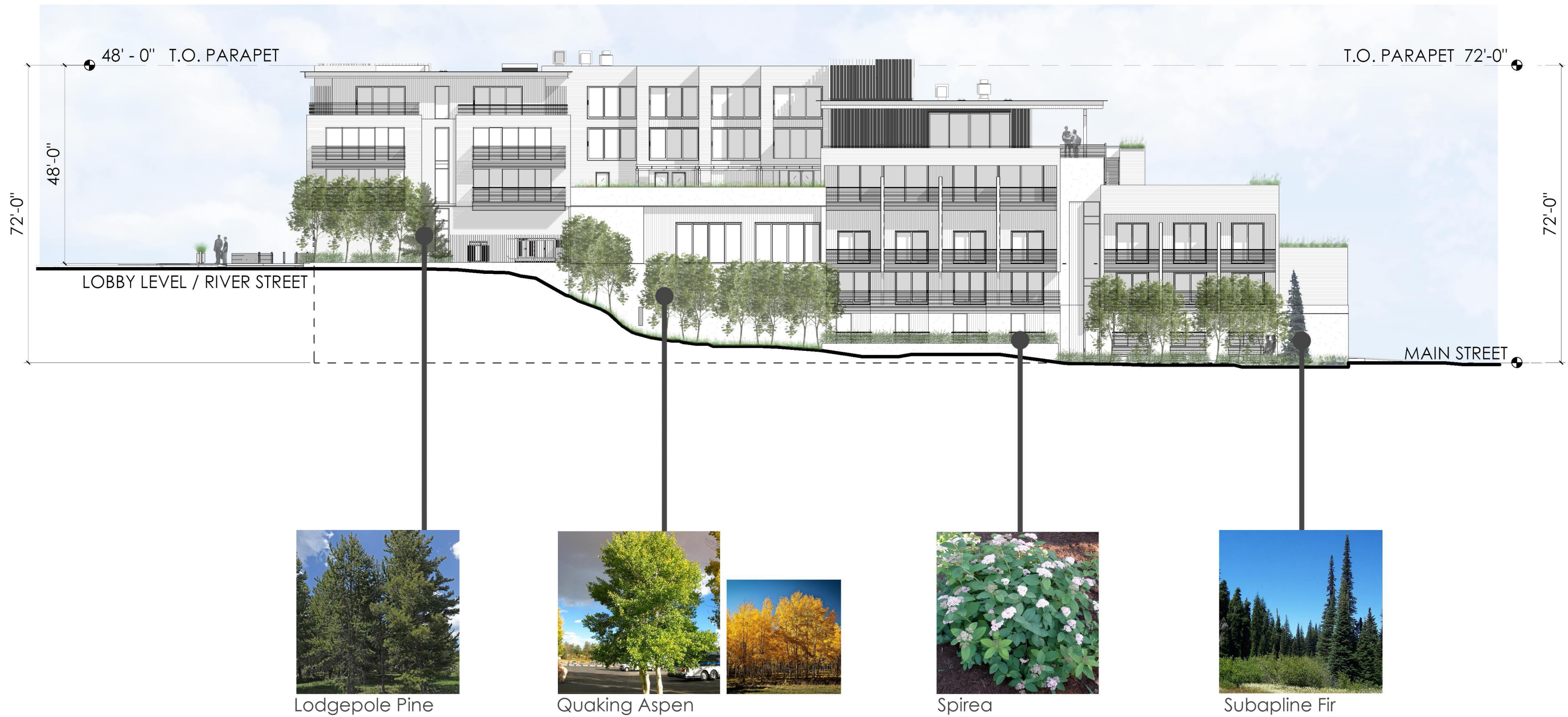


### ELEVATION FINISHES

EXPOSED STRUCTURAL STEEL - PAINT- HIGH PERFORMANCE COATING	AS1	
EXTERIOR WOOD SIDING - HORIZONTAL PATTERN - SEALED	WD1	
EXTERIOR WOOD SIDING - VERTICAL PATTERN - SEALED	WD2	
EXTERIOR METAL WALL PANELS - RUSTED LOOK	MP1	
EXTERIOR WOOD SLAT CANOPY - SEALED	WS1	
EXTERIOR VERTICAL WOOD SLAT - SEALED	WS2	
CONCRETE WALL - ARCHITECTURAL FINISH - SEALED	CW1	
EXTERIOR STONE - NATURAL STONE VENEER	SW1	
EXTERIOR WINDOW SYSTEM	W1	

WEST ELEVATION | TRAIL CREEK

TRIBUTE PORTFOLIO | KETCHUM, IDAHO



Lodgepole Pine

Quaking Aspen

Spirea

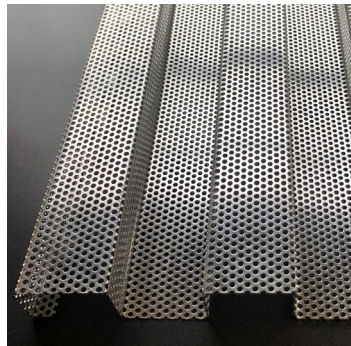
Subalpine Fir

WEST ELEVATION | TRAIL CREEK





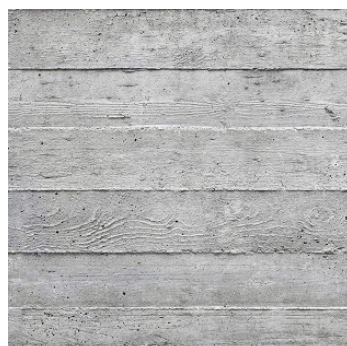
DRY-STACKED STONE



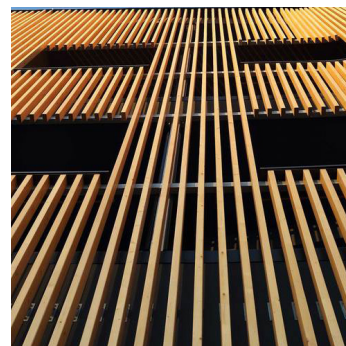
MECHANICAL EQUIPMENT  
PERFORATED SCREEN



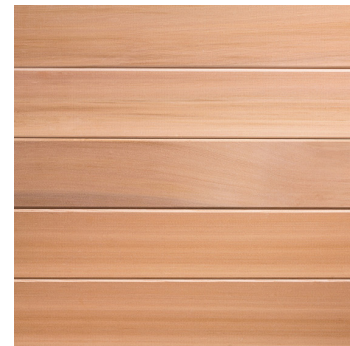
SHOU-SUGI BAN WOOD



BOARD-FORMED CONCRETE



CLEAR CEDAR SCREEN



CLEAR CEDAR T&G



BLACK STEEL TRIM



FLAT-BAR RAILING

WEST ELEVATION | TRAIL CREEK

TRIBUTE PORTFOLIO | KETCHUM, IDAHO





SITE WALL WITHIN THE SETBACK

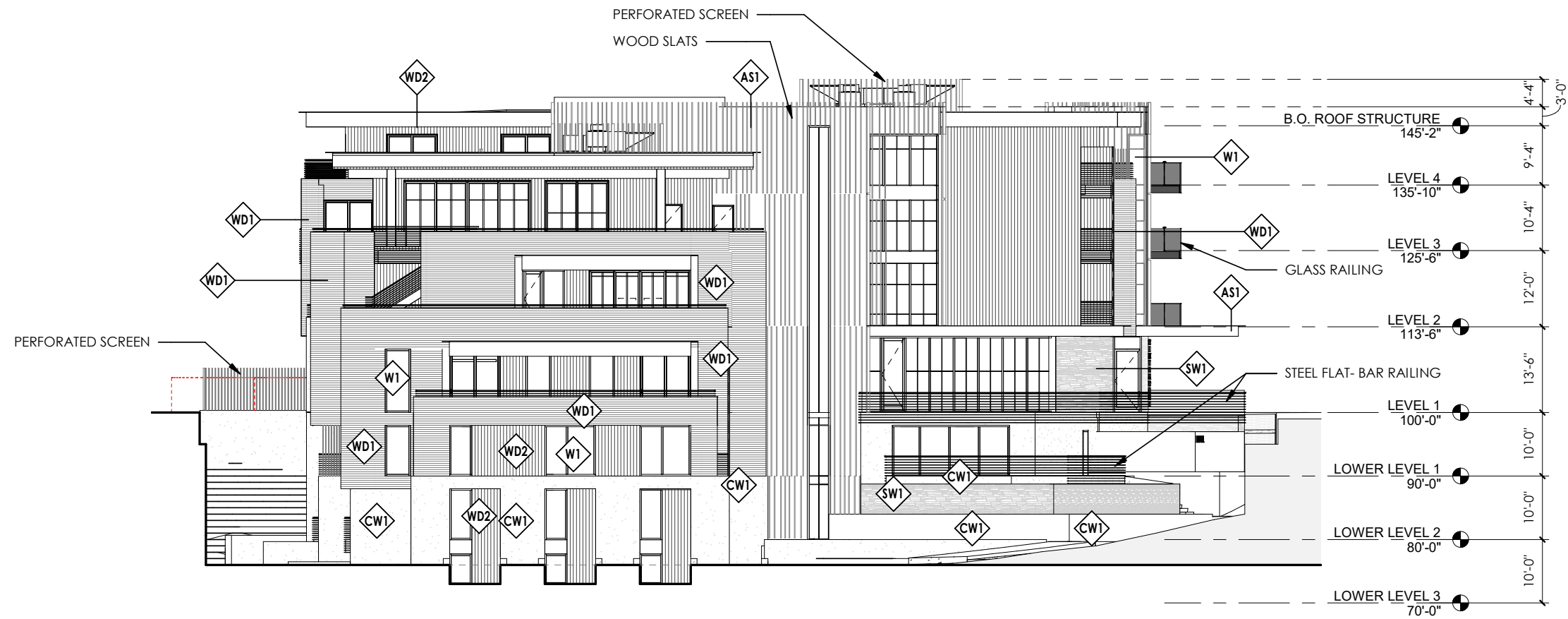
WEST ELEVATION | TRAIL CREEK | SITE WALLS & SETBACK EXHIBIT





SOUTH ELEVATION | TRAIL CREEK

TRIBUTE PORTFOLIO | KETCHUM, IDAHO



### ELEVATION FINISHES

EXPOSED STRUCTURAL STEEL - PAINT- HIGH PERFORMANCE COATING	AS1	
EXTERIOR WOOD SIDING - HORIZONTAL PATTERN - SEALED	WD1	
EXTERIOR WOOD SIDING - VERTICAL PATTERN - SEALED	WD2	
EXTERIOR METAL WALL PANELS - RUSTED LOOK	MP1	
EXTERIOR WOOD SLAT CANOPY - SEALED	WS1	
EXTERIOR VERTICAL WOOD SLAT - SEALED	WS2	
CONCRETE WALL - ARCHITECTURAL FINISH - SEALED	CW1	
EXTERIOR STONE - NATURAL STONE VENEER	SW1	
EXTERIOR WINDOW SYSTEM	W1	

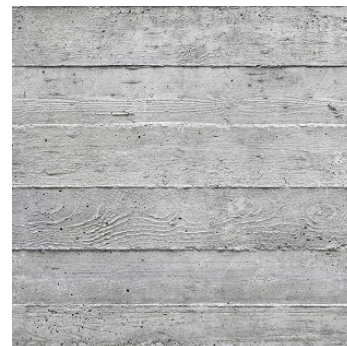
## SOUTH ELEVATION | TRAIL CREEK

TRIBUTE PORTFOLIO | KETCHUM, IDAHO

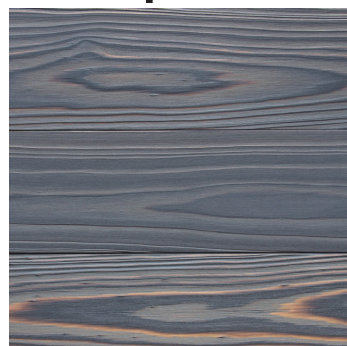




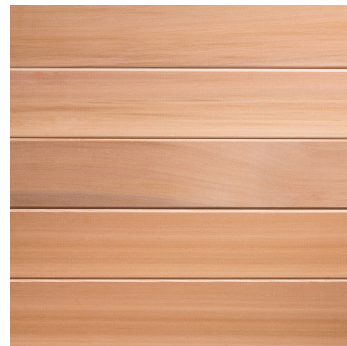
BLACK STEEL TRIM



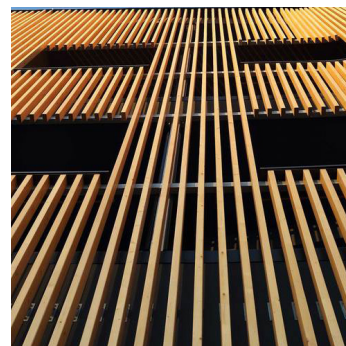
BOARD-FORMED CONCRETE



SHOU-SUGI BAN WOOD



CLEAR CEDAR T&G



CLEAR CEDAR SCREEN



DRY-STACKED STONE



FLAT-BAR RAILING



SAND-BLASTED CONCRETE

SOUTH ELEVATION | TRAIL CREEK

TRIBUTE PORTFOLIO | KETCHUM, IDAHO



## PERSPECTIVE RENDERS

















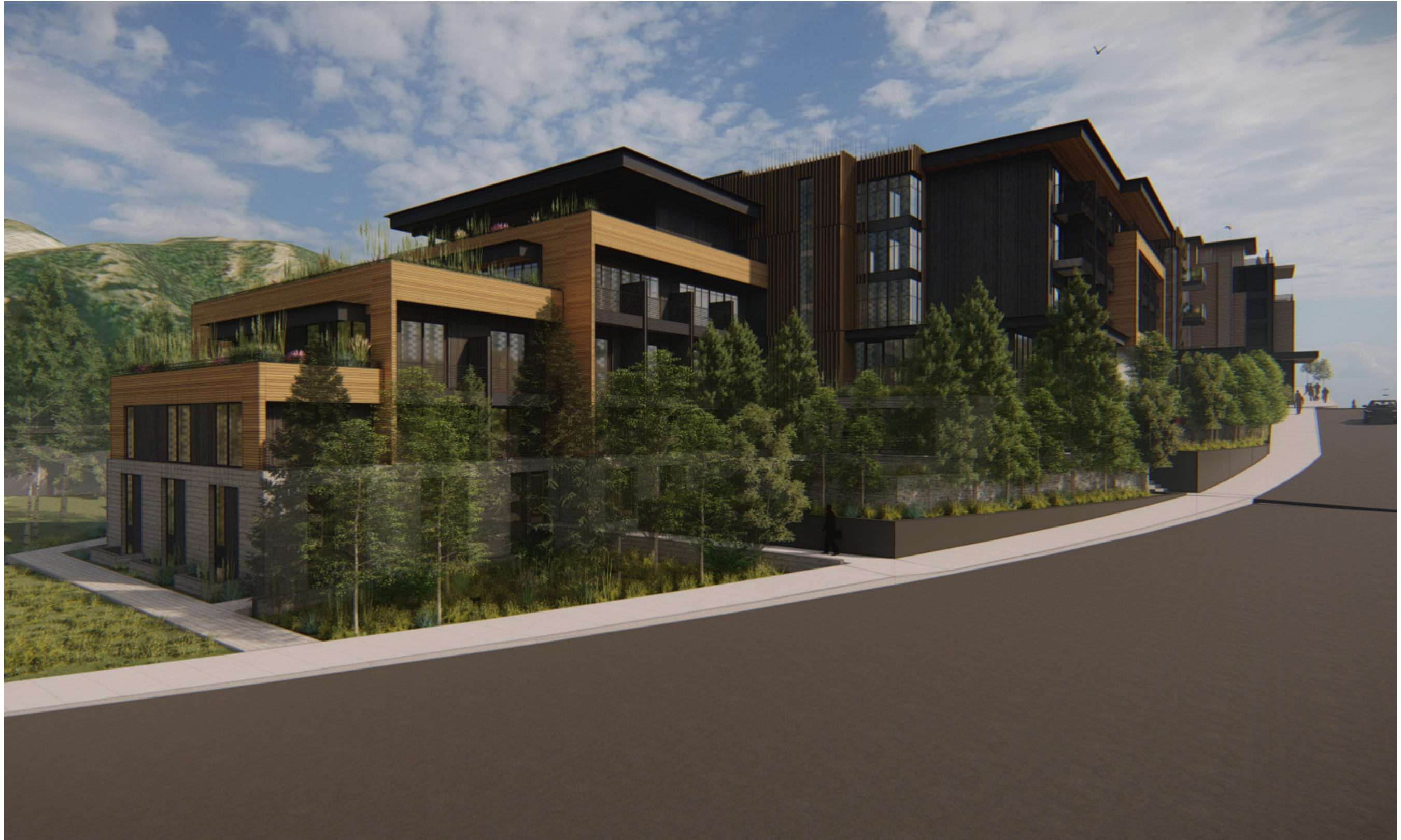








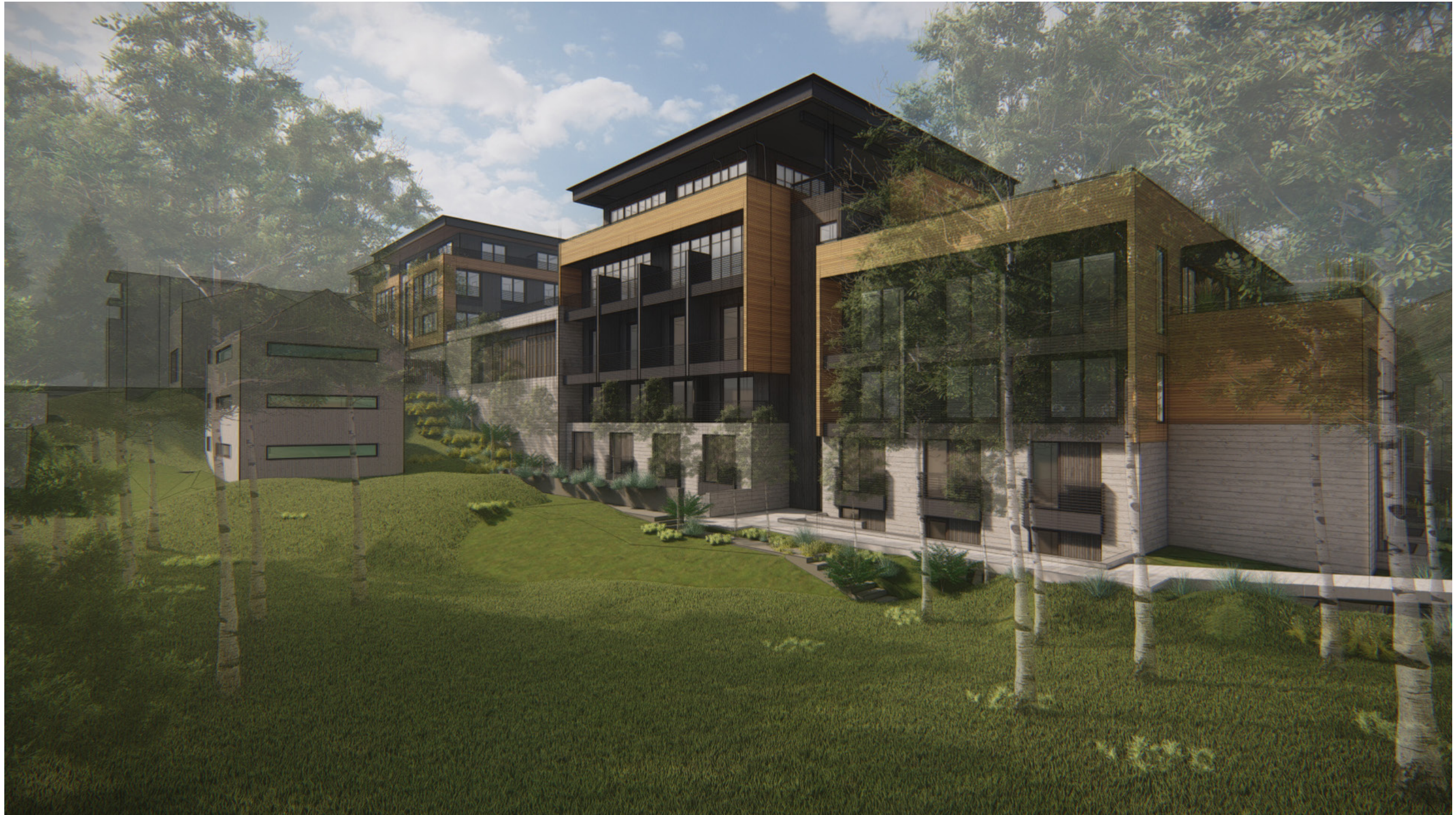












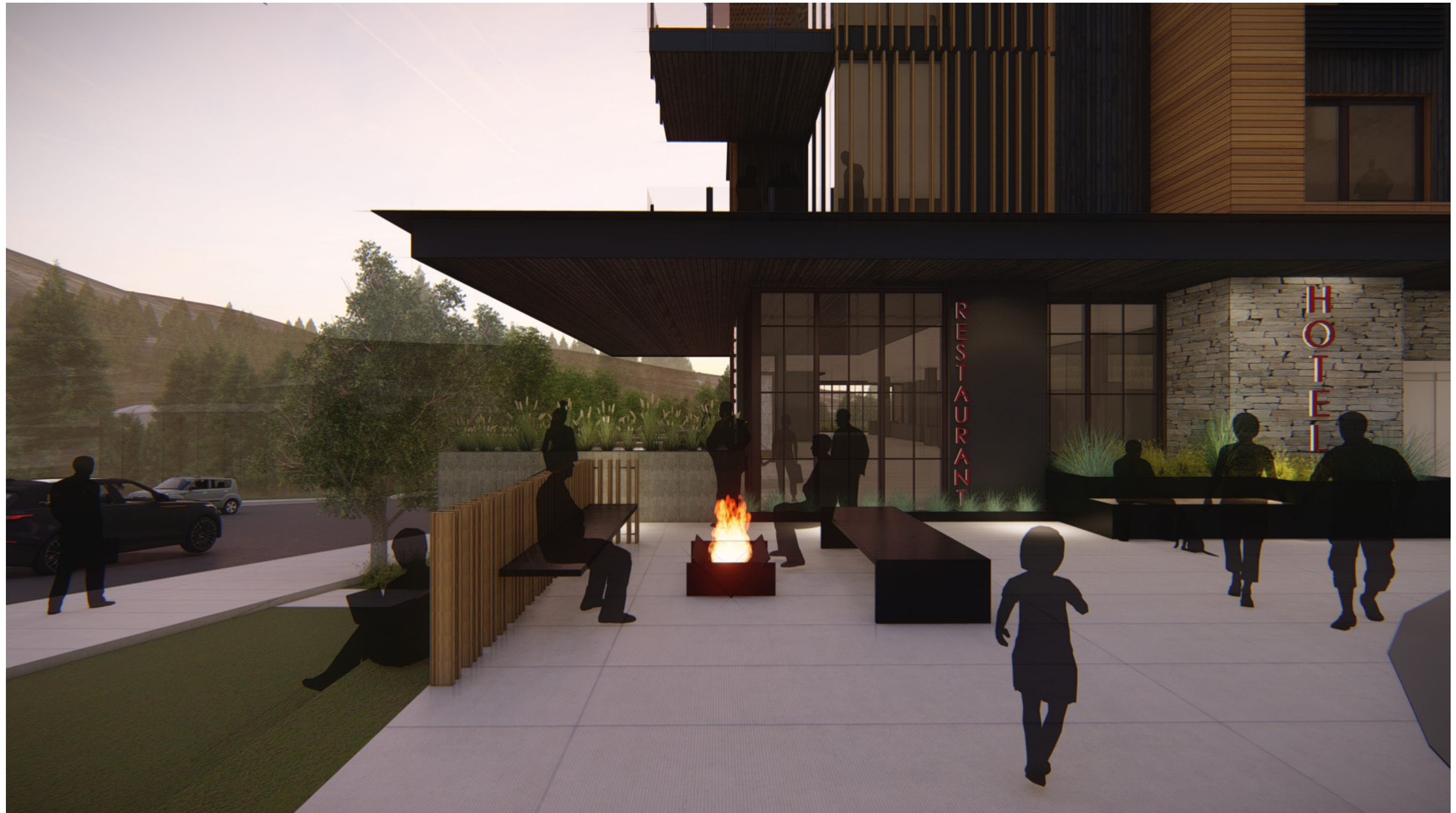




**PROJECT PERSPECTIVE | ENTRY PLAZA - HOTEL SIGNAGE**

TRIBUTE PORTFOLIO | KETCHUM, IDAHO





**PROJECT PERSPECTIVE | ENTRY PLAZA - HOTEL SIGNAGE**

TRIBUTE PORTFOLIO | KETCHUM, IDAHO





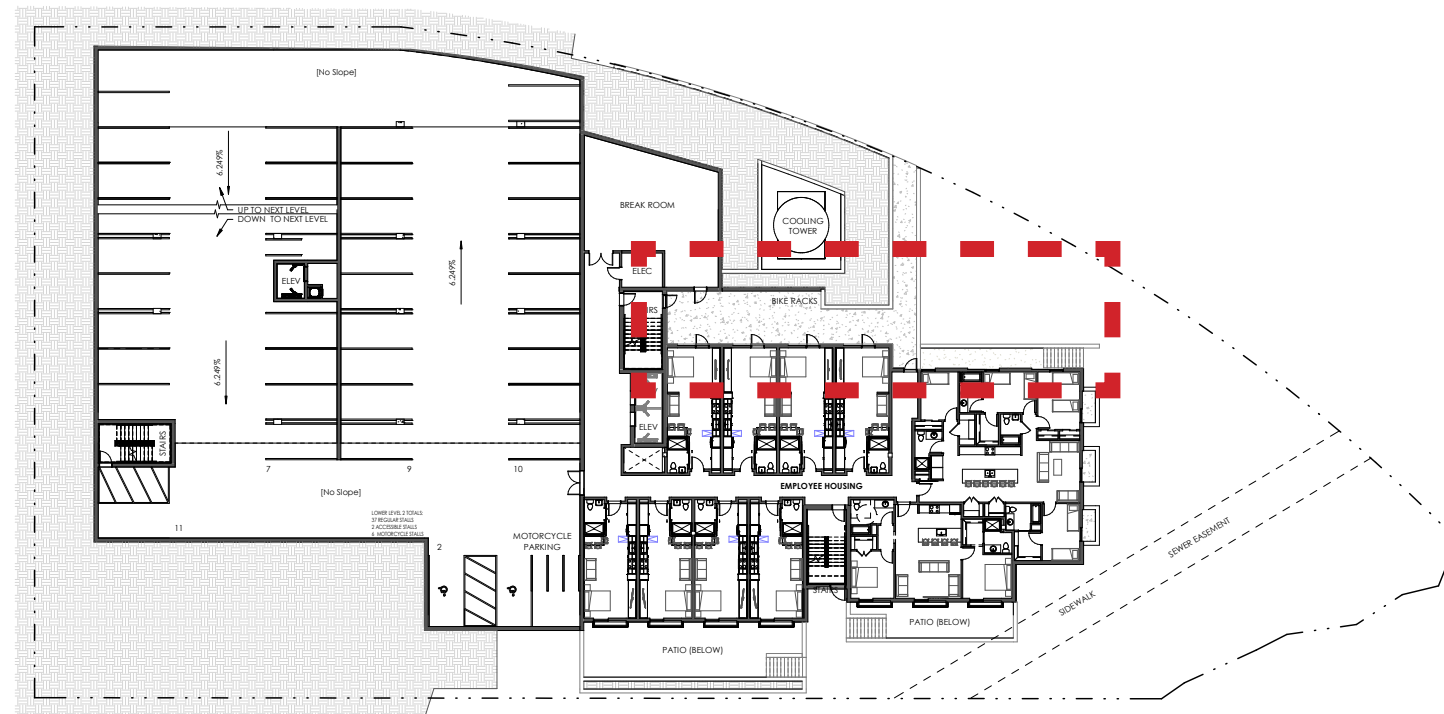
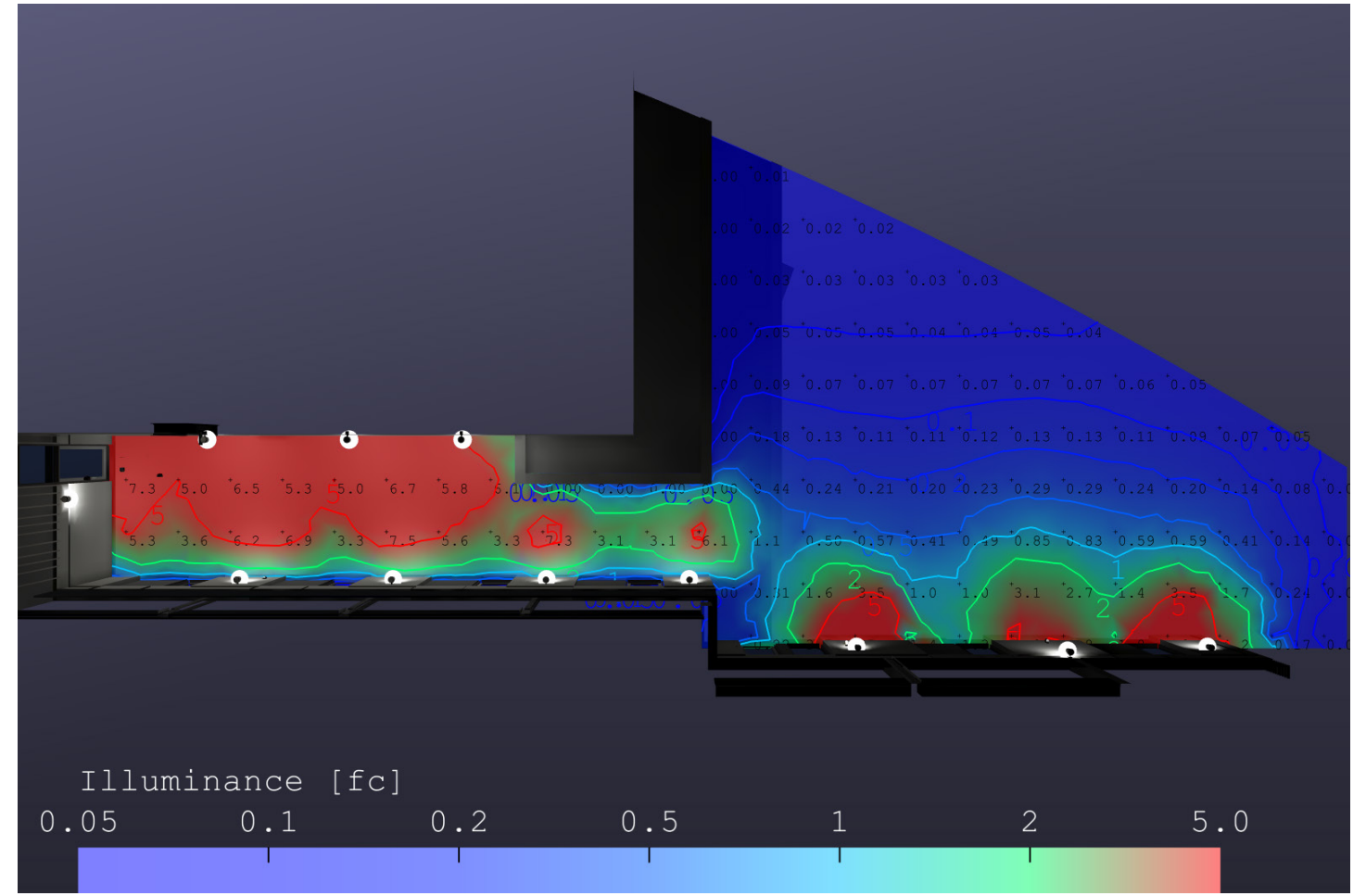
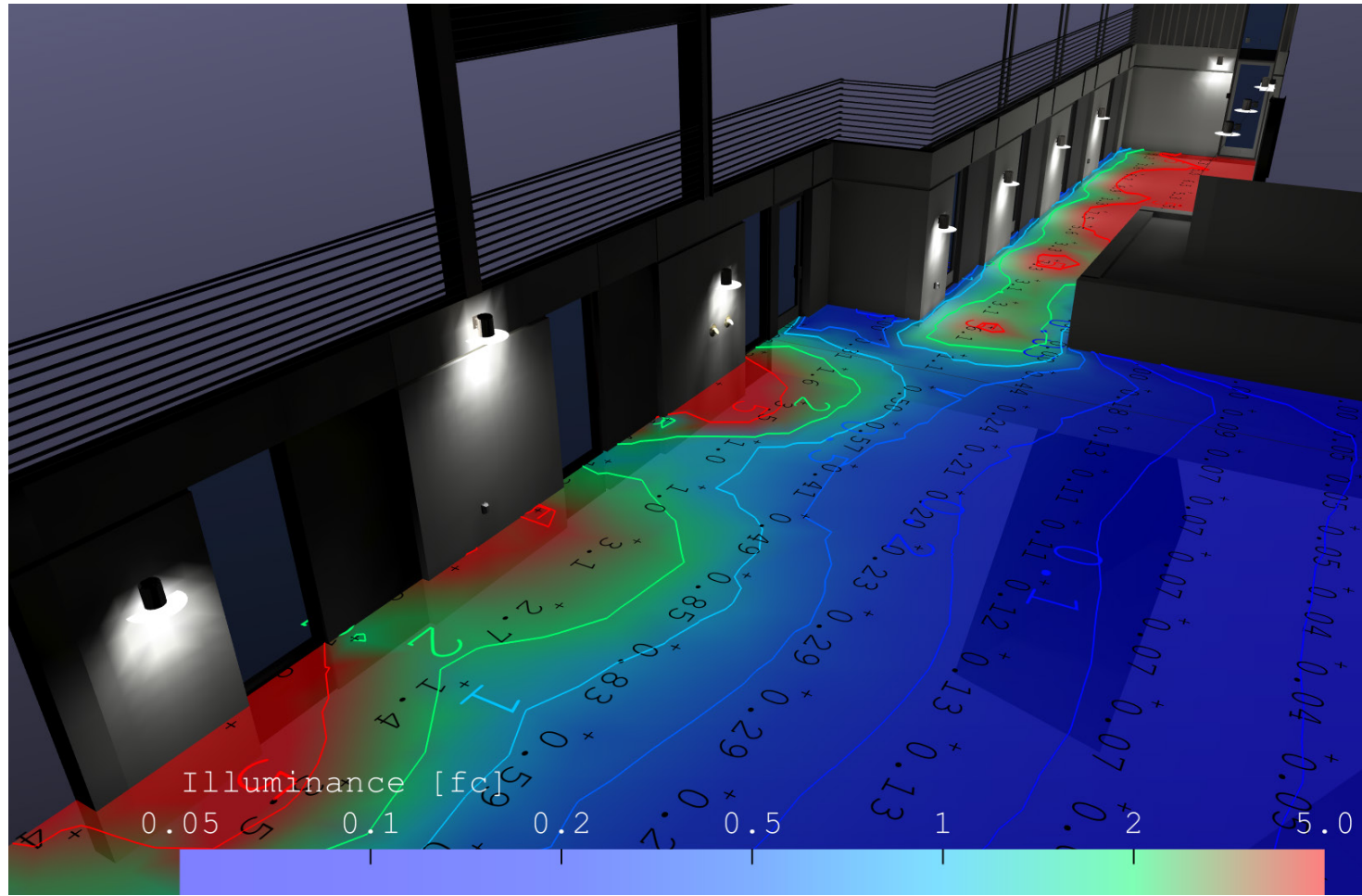


**EXTERIOR LIGHTING PLANS | PHOTOMETRICS**





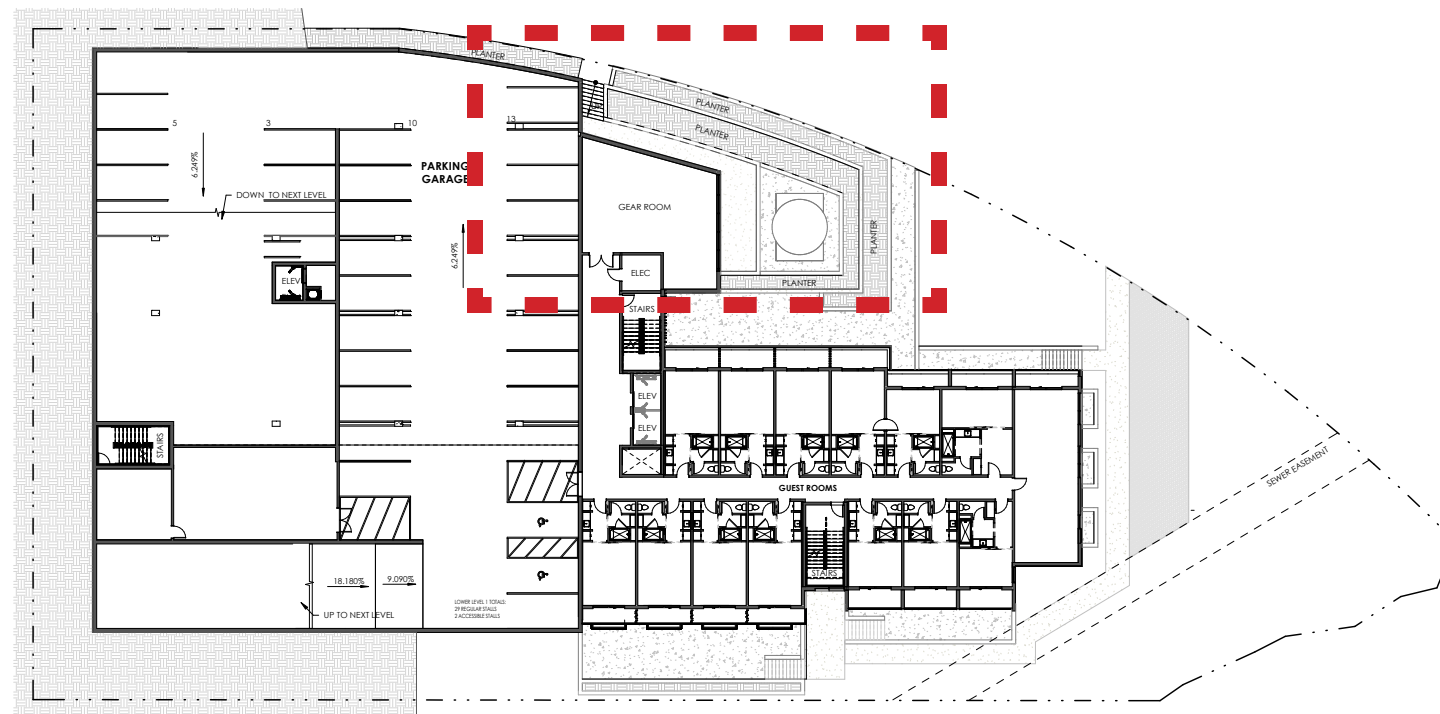
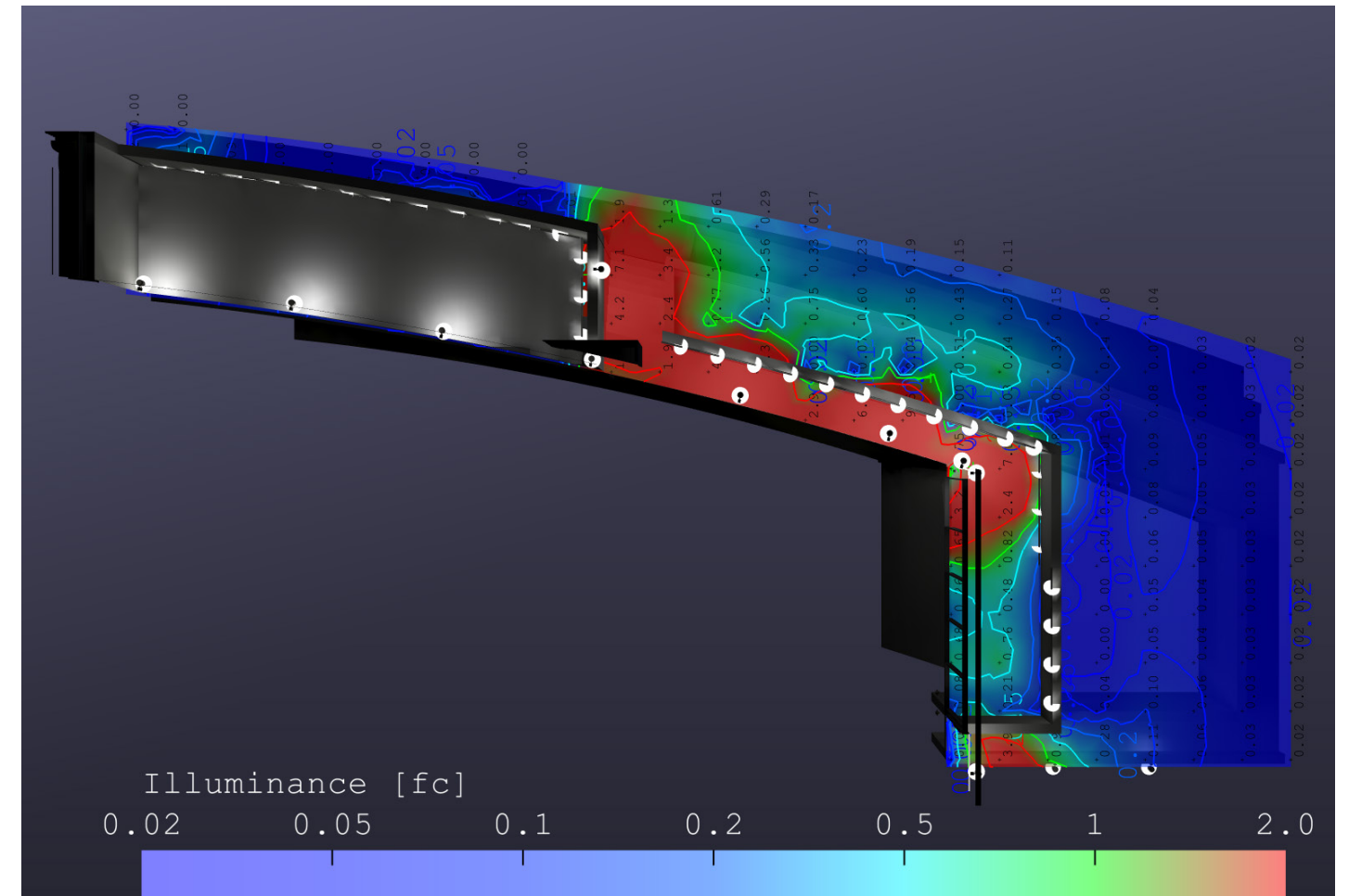
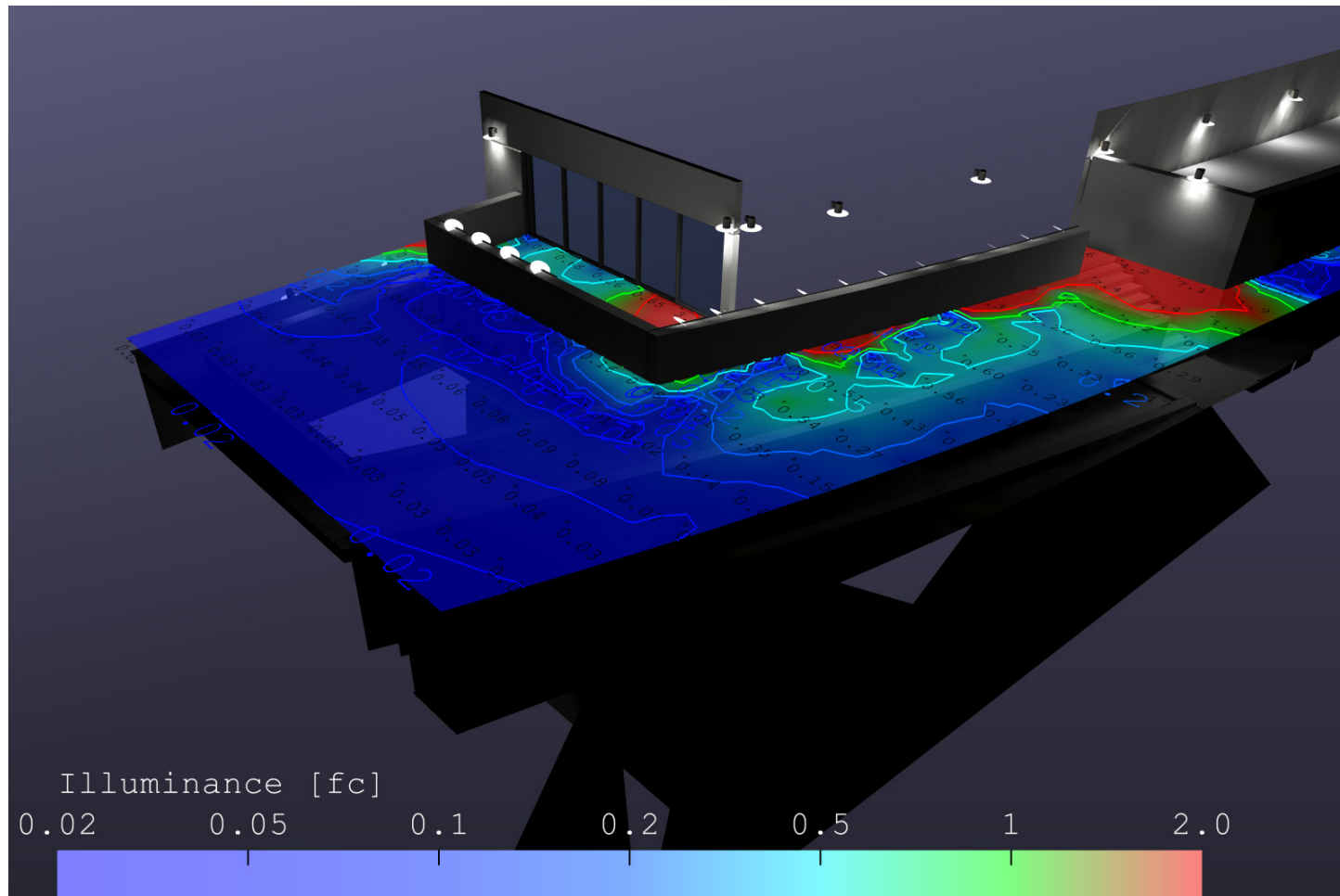




LEVEL -02 | SITE LIGHTING PLAN

TRIBUTE PORTFOLIO | KETCHUM, IDAHO

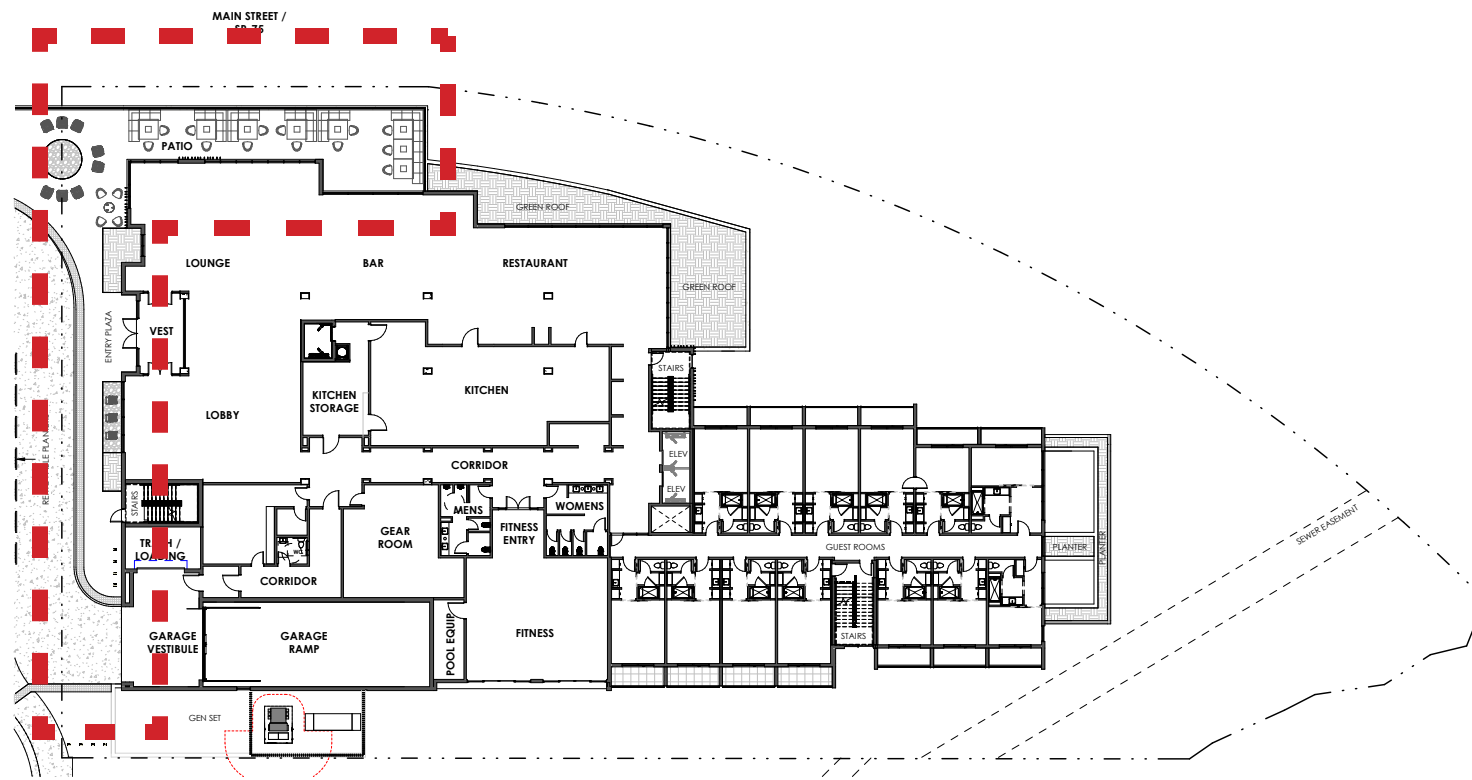
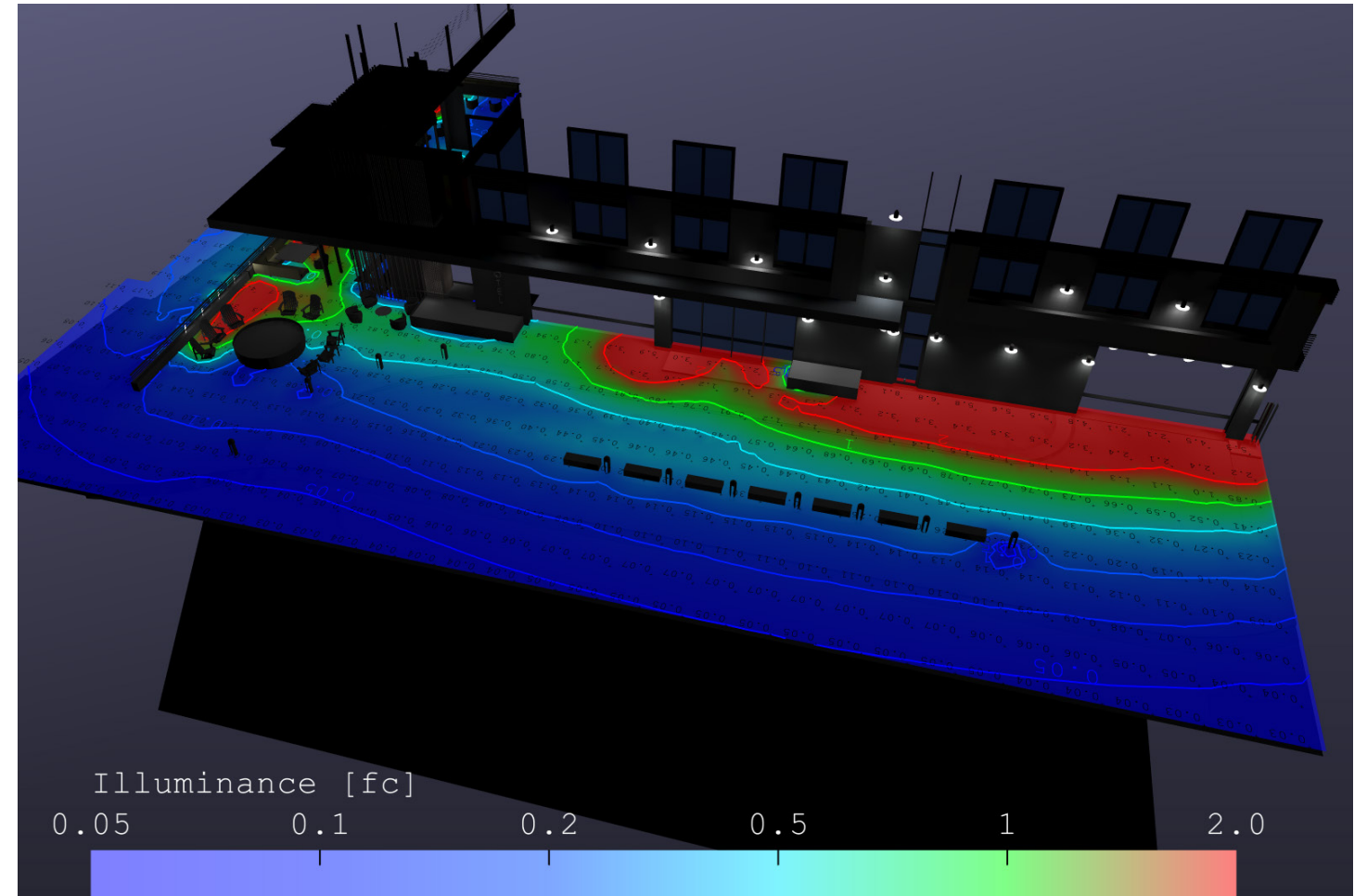
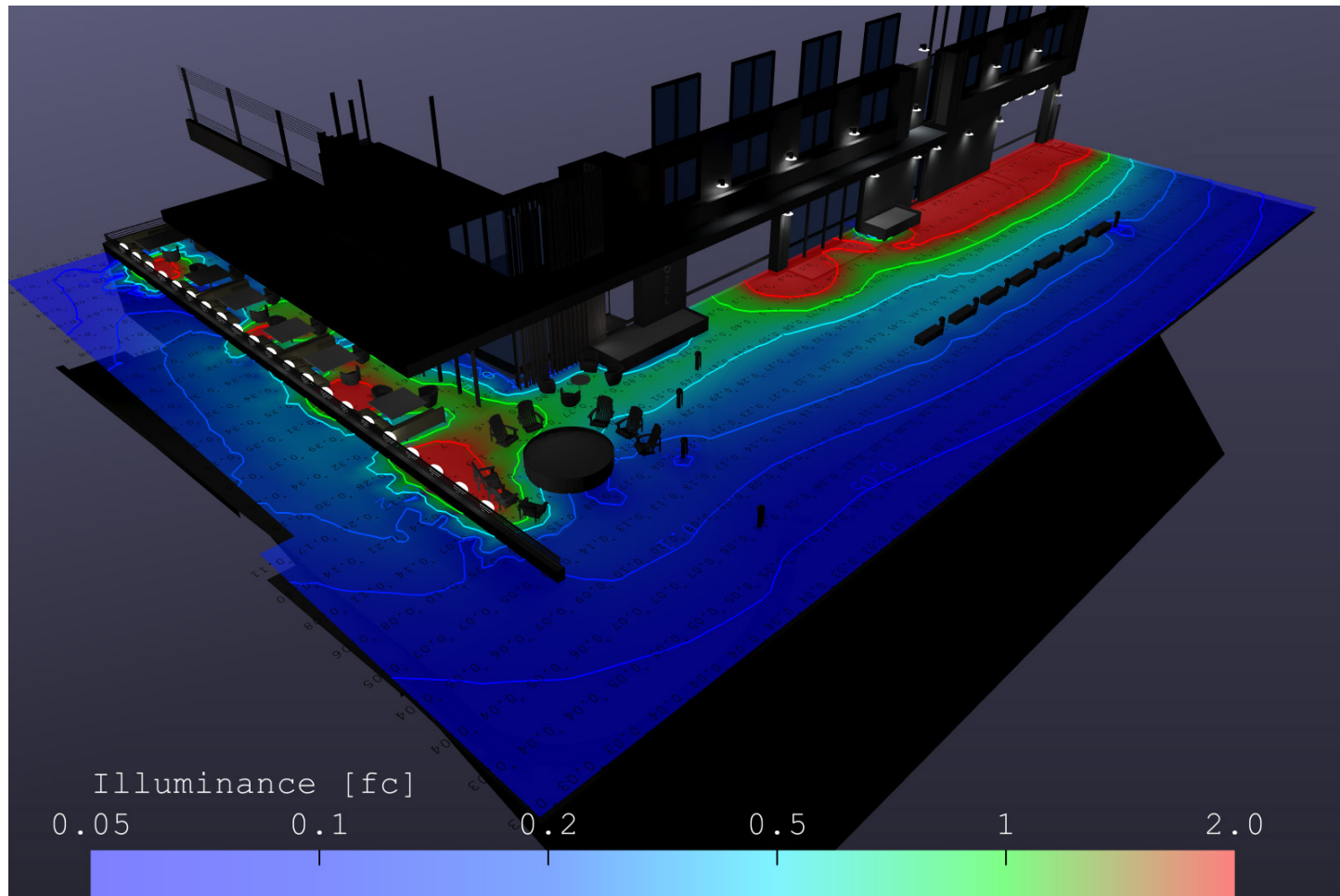




LEVEL -01 | SITE LIGHTING PLAN

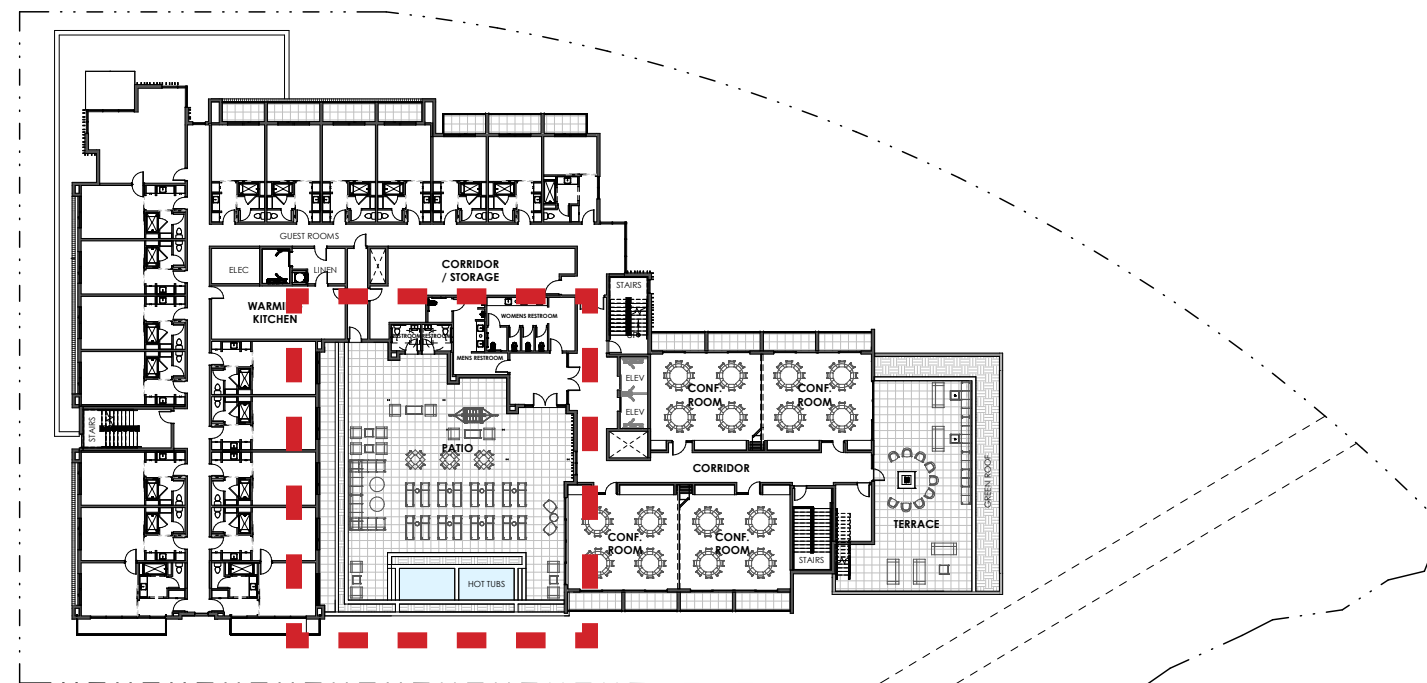
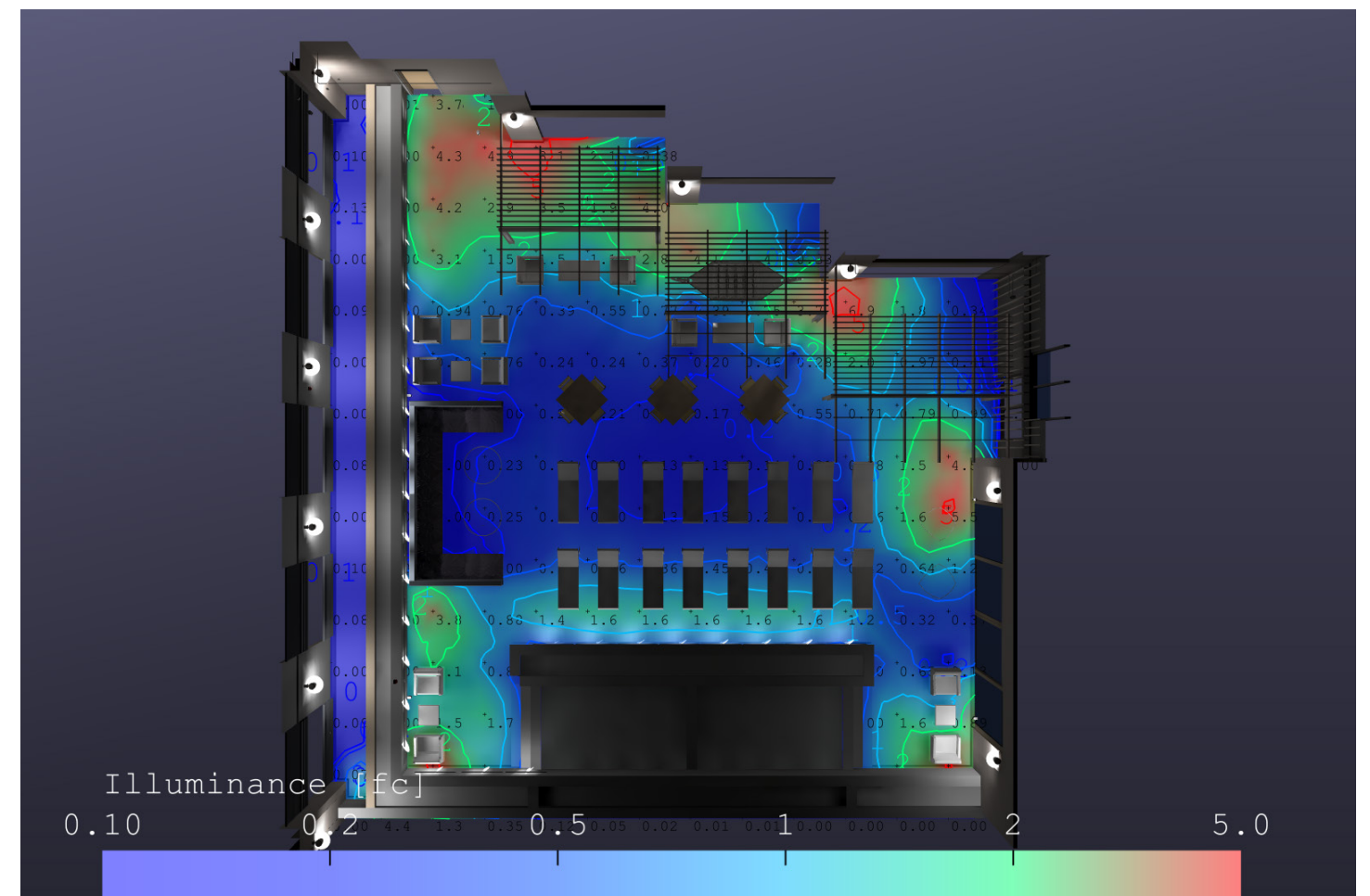
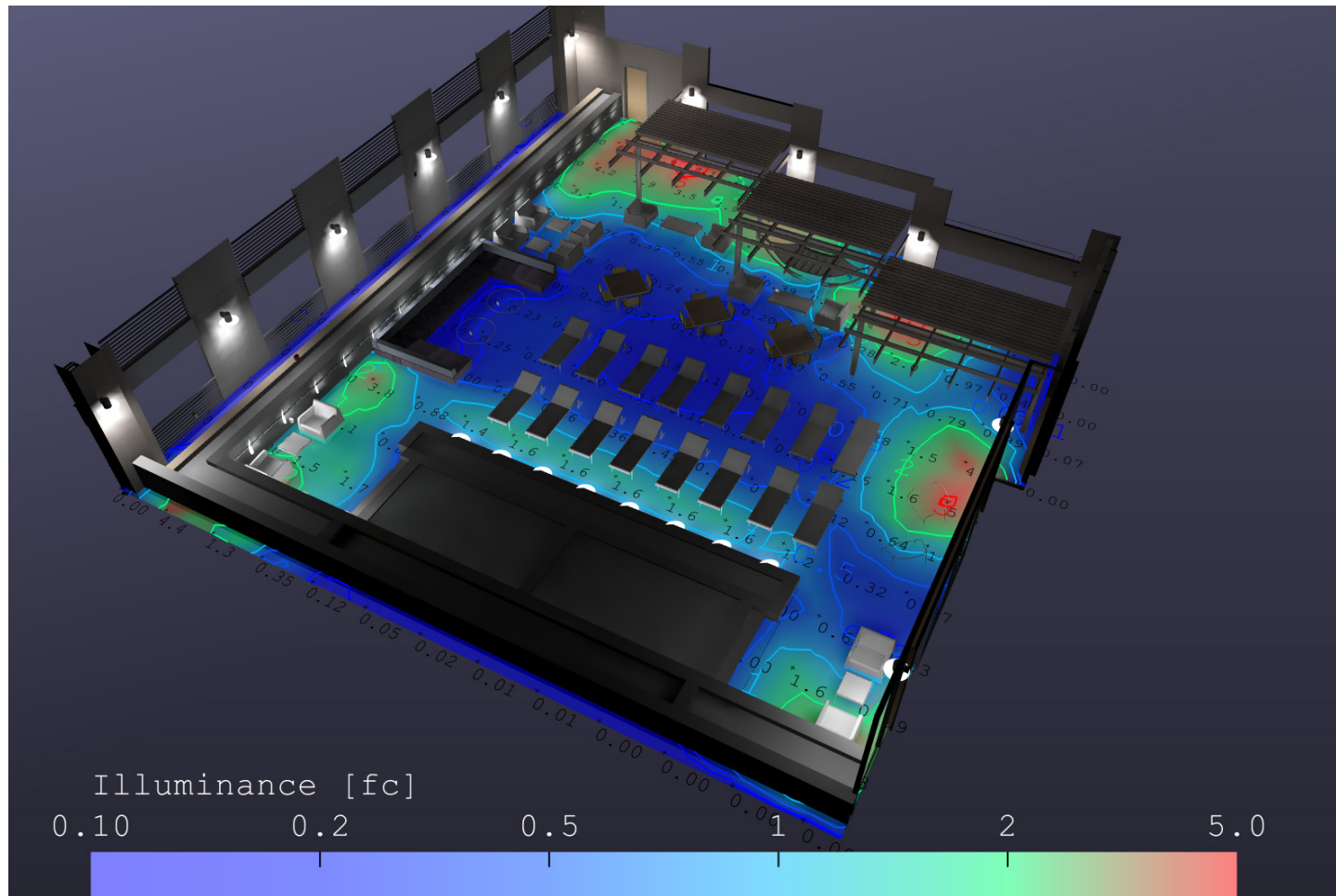
TRIBUTE PORTFOLIO | KETCHUM, IDAHO





LEVEL 01 | SITE LIGHTING PLAN  
 TRIBUTE PORTFOLIO | KETCHUM, IDAHO

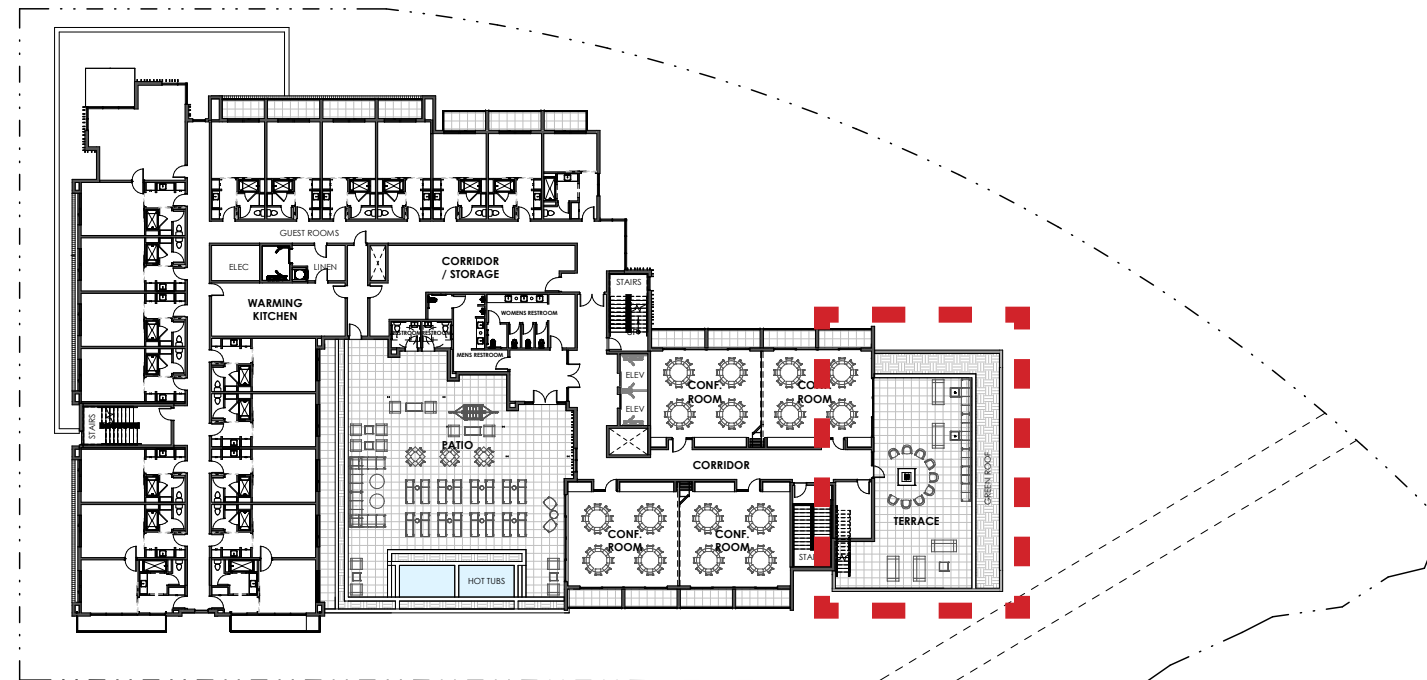
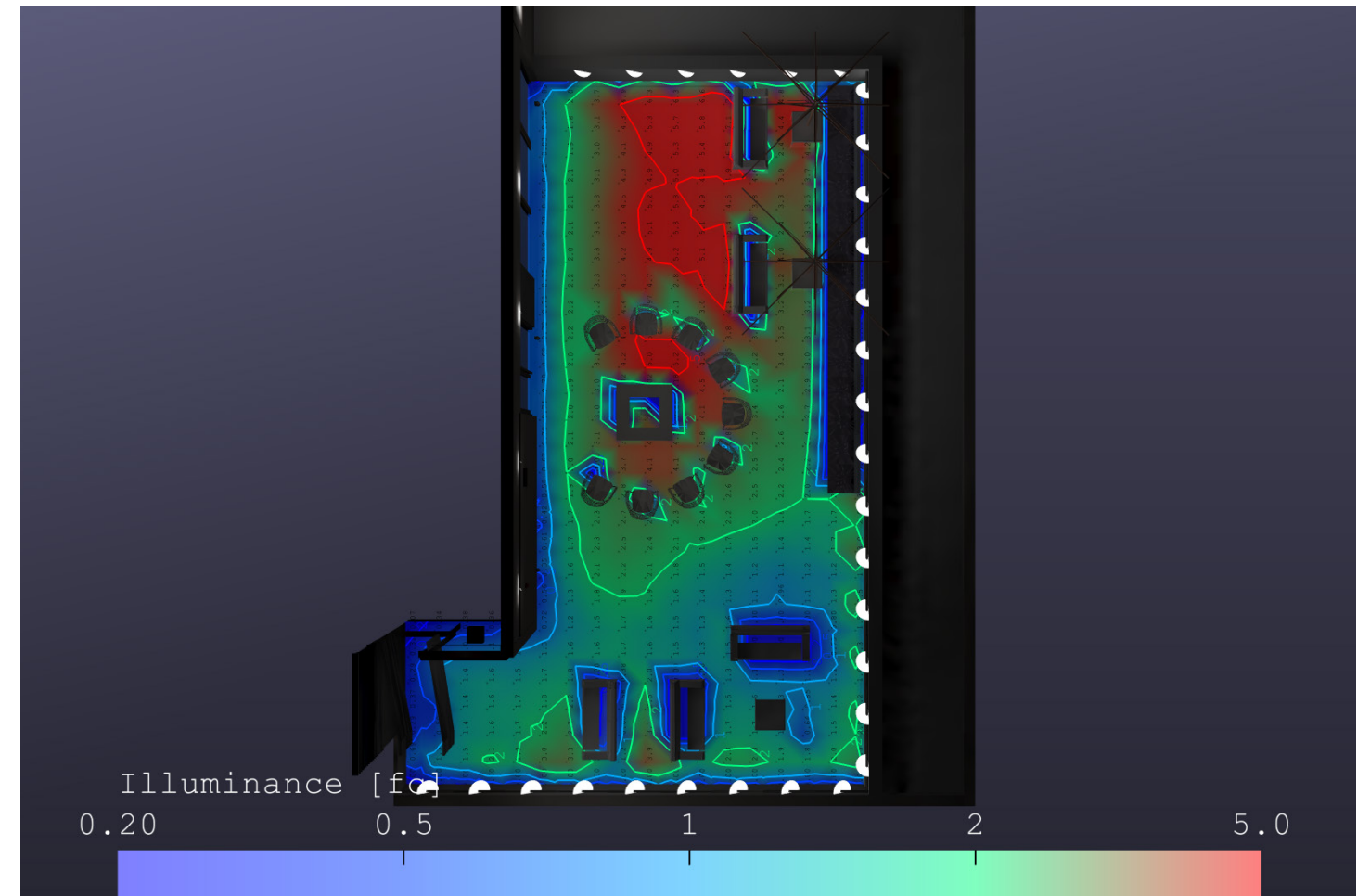
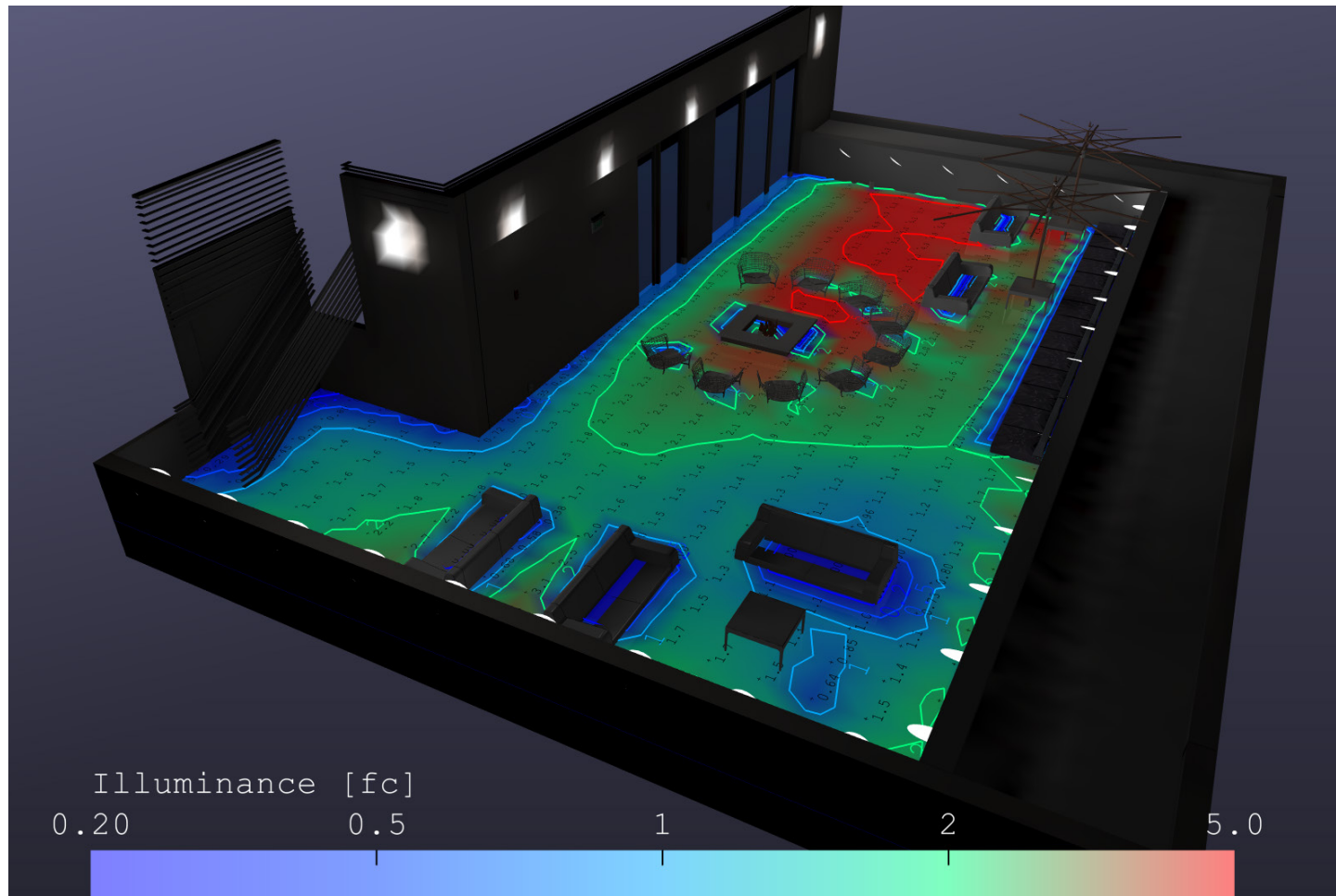




LEVEL 02 | SITE LIGHTING PLAN

TRIBUTE PORTFOLIO | KETCHUM, IDAHO

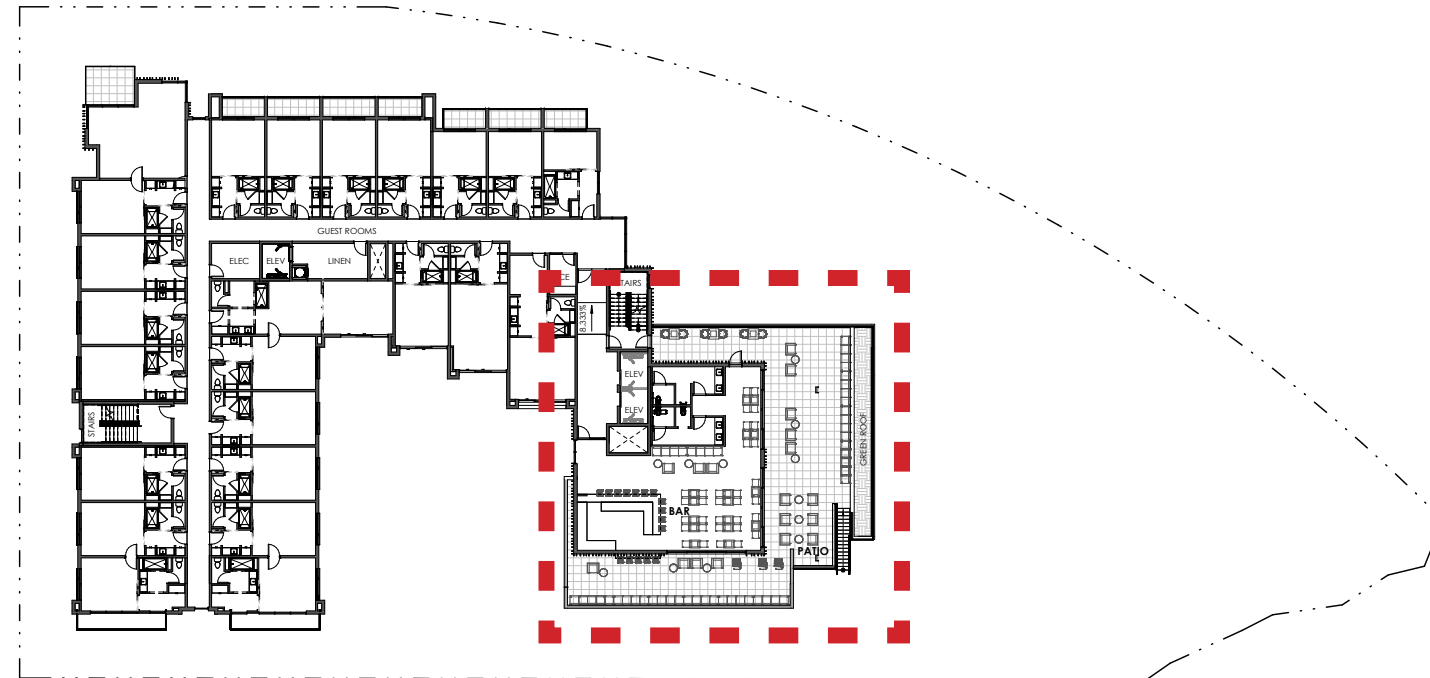
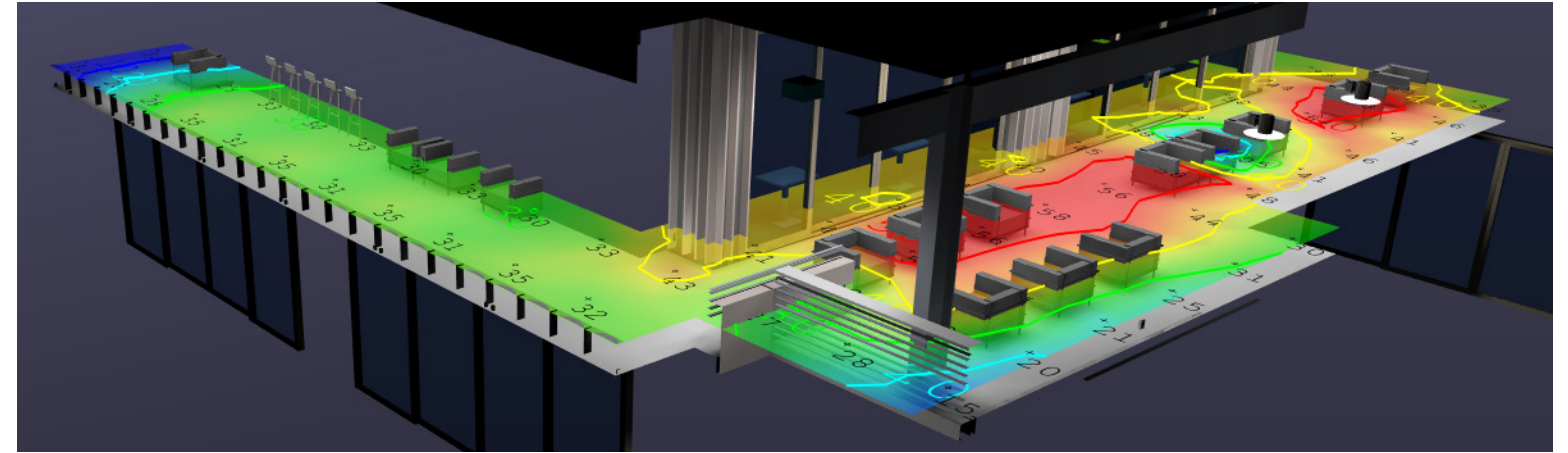
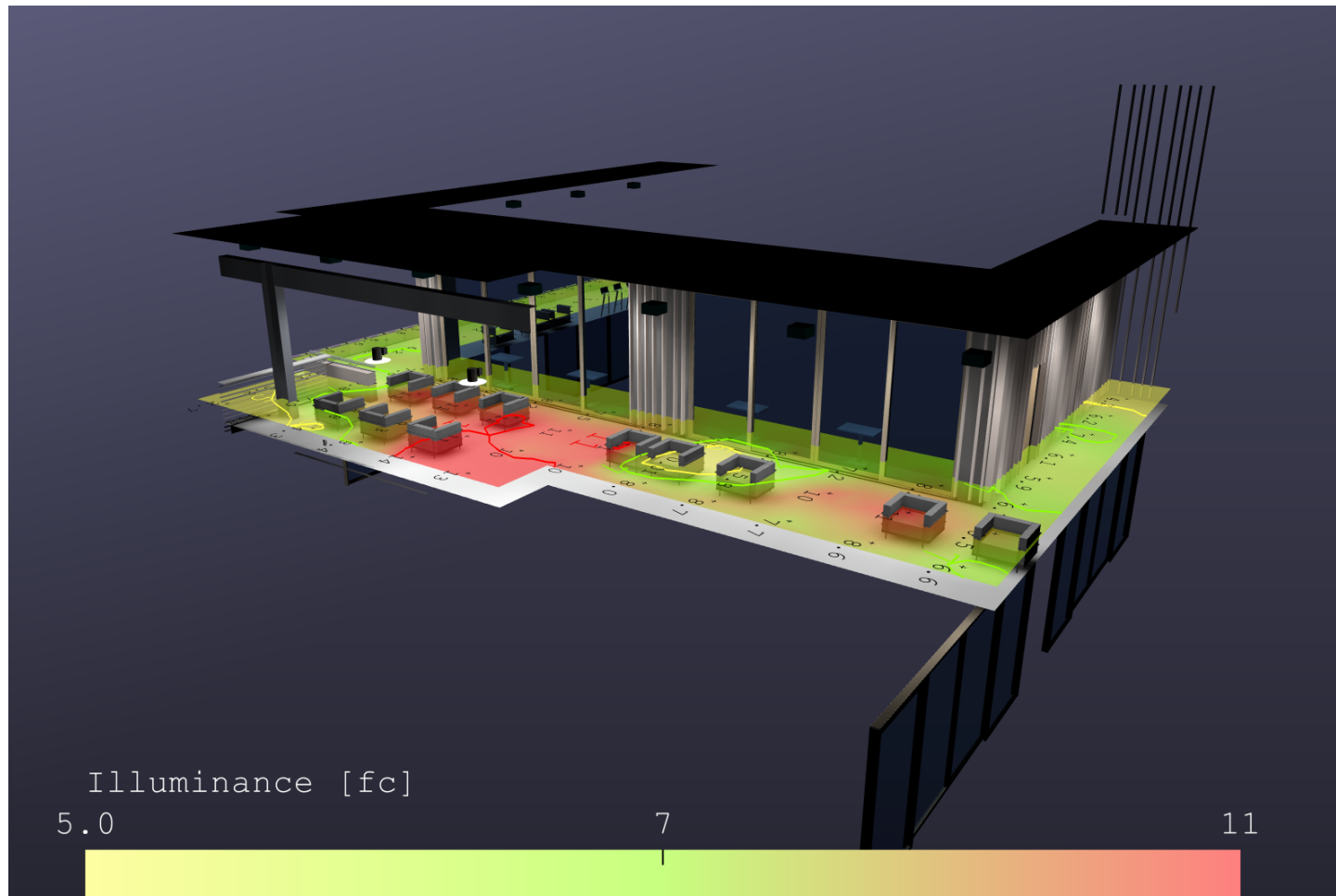




LEVEL 02 | SITE LIGHTING PLAN

TRIBUTE PORTFOLIO | KETCHUM, IDAHO





LEVEL 03 | SITE LIGHTING PLAN

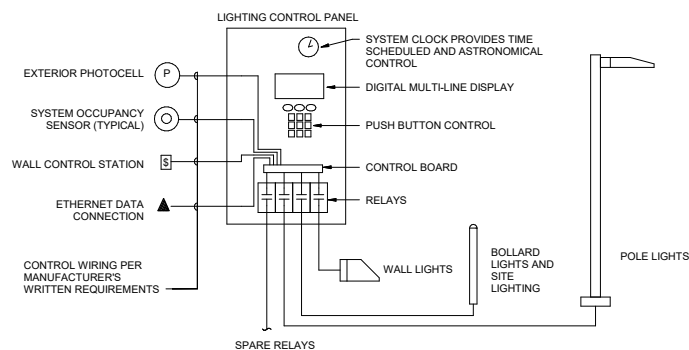
TRIBUTE PORTFOLIO | KETCHUM, IDAHO

## EXTERIOR LIGHTING FIXTURE SCHEDULE

### ABBREVIATIONS

LUMINAIRE	EMERGENCY	BALLAST	FINISH	LENS	MOUNTING	CONFIGURATION	NOTES	
<b>ARRR</b> - AIR RETURN AND HEAT REJECTION <b>DL</b> - DAMP LOCATION <b>ECC</b> - EARTHQUAKE CLIPS <b>F</b> - FUSING <b>HLD</b> - HINGED AND LATCHED DOOR <b>HS</b> - HOUSE SIDE SHIELD <b>PS</b> - PHOTOCELL SWITCH <b>QRS</b> - QUARTZ RESTRIKE <b>ST</b> - STATIC <b>WG</b> - WIRE GUARD <b>WL</b> - WET LOCATION	<b>NE</b> - NORMAL AND EMERGENCY CONNECTIONS <b>EB</b> - EMERGENCY BATTERY PACK <b>ET</b> - EMERGENCY TRANSFER DEVICE	<b>IS</b> - INSTANT START <b>RS</b> - RAPID START <b>PS</b> - PROGRAM START, PARALLEL LAMP OPERATION <b>PSM</b> - PULSE START METAL HALIDE (CWA OR ELECTRONIC) <b>PPLF</b> - PROVIDE POWER LINE FILTER <b>LVTM</b> - LOW VOLTAGE TRANSFORMER (MAGNETIC) <b>LVTE</b> - LOW VOLTAGE TRANSFORMER (ELECTRONIC)	<b>MW</b> - MATTE WHITE <b>BL</b> - BLACK <b>SL</b> - SILVER <b>GN</b> - GOLD <b>CL</b> - CLEAR <b>PW</b> - PAINTED WHITE <b>EA</b> - EXTRUDED ALUMINUM <b>S</b> - STEEL <b>GS</b> - GALVANIZED STEEL <b>C</b> - CAST <b>CBA</b> - COLOR BY ARCHITECT <b>SCBA</b> - STANDARD COLOR BY ARCHITECT <b>CCA</b> - CUSTOM COLOR BY ARCHITECT <b>FS</b> - MEETS FEDERAL STANDARD 2050 <b>TP</b> - THERMALLY PROTECTED <b>FL</b> - FLUSH <b>R</b> - REGRESS <b>M</b> - MITERED	<b>BA</b> - ACRYLIC #THICK <b>DA</b> - ACRYLIC #THICK (OPAL) <b>GC</b> - GLASS (CLEAR) <b>GO</b> - GLASS (OPAL) <b>GF</b> - GLASS (FROSTED) <b>SGL</b> - SOFT GLOW LENS <b>HPL</b> - HIGH PERFORMANCE LENS <b>DO</b> - DROP OPAL <b>CGL</b> - CONVEX GLASS LENS <b>S</b> - SATIN LENS	<b>B</b> - BASE <b>C</b> - CEILING <b>F</b> - FLANGE <b>G</b> - GRID <b>P</b> - PENDANT <b>PL</b> - POLE <b>R</b> - RECESSED <b>S</b> - SURFACE <b>W</b> - WALL	<b>BA</b> - BANNER ARMS <b>BH</b> - BULL HORN <b>DL</b> - 2 1/2" SHAPE <b>DS</b> - 2 @ 180 <b>PT</b> - INLINE POST TOP <b>Q</b> - QUAD <b>SH</b> - SHEPHERDS HOOK <b>SL</b> - SINGLE <b>T</b> - 3" T-SHAPE	<b>RS</b> - ROUND STRAIGHT <b>RT</b> - ROUND TAPERED <b>SS</b> - SQUARE STRAIGHT <b>ST</b> - SQUARE TAPERED	<ol style="list-style-type: none"> <li>PROVIDE UNIT PRICES AND FIXTURE BRAND SELECTED FOR ADD/DELETE CHANGES FOR EACH FIXTURE TYPES SHOWN WITHIN 48 BUSINESS HOURS OF THE BID DATE. FAILURE TO COMPLY WITH THIS REQUIREMENT MAY DISQUALIFY THE PRODUCTS AND EMPOWER THE ENGINEER TO DETERMINE FAIR VALUE FOR FIXTURE AND INSTALLATION CHANGES, WITHOUT FURTHER INPUT FROM THE CONTRACTOR OR INSTALLER.</li> <li>CONTRACTOR ALLOWANCE PRICES ARE ACCURATE WHEN THIS JOB WAS SPECIFIED. CONTRACTOR AND ELECTRICAL DISTRIBUTOR SHALL VERIFY THIS ALLOWANCE AND REPORT ANY PROBLEMS TO THE ENGINEER BEFORE THE BID. ALLOWANCE PRICE MAY OR MAY NOT INCLUDE LAMP(S) OR FREIGHT AS NOTED, AND DO NOT INCLUDE ANY TAXES.</li> </ol>
<ol style="list-style-type: none"> <li>VERIFY THE PROPER MOUNTING KITS OR ACCESSORIES TO FACILITATE INSTALLATION AS SHOWN AT EACH LOCATION ON THE DRAWINGS.</li> <li>COMPLY WITH THE "EXTERIOR LIGHTING" SECTION OF THE SPECIFICATIONS.</li> <li>REFER TO SPECIFICATIONS FOR IMPORTANT TECHNICAL REQUIREMENTS FOR LIGHTING FIXTURES, BALLASTS, AND LAMPS.</li> <li>ALL FIXTURES SHALL BE APPROVED BY UL OR ANOTHER ACCEPTABLE TESTING LAB FOR THE PURPOSE INTENDED AND WITH THE LAMP AND BALLAST PROPOSED.</li> </ol>								

ID	IMAGE	TYPE	LUMINAIRE							LAMP	BALLAST		FINISH			DIFFUSER			REFLECTOR			MOUNTING					MANUFACTURER (CATALOG SERIES)			ALLOWANCE					
			BUG RATING	SIZE (NOMINAL)	LENGTH	WIDTH	DEPTH	DIAMETER	APERTURE		OPTIONS	COLOR	TYPE	LUMINAIRE LUMENS	INPUT VOLTS	ANSI WATTS	HOUSING	TRIM	OTHER	TYPE	FINISH	CONFIGURATION	OPTIONS	DISTRIBUTION TYPE	FINISH	EFFICIENCY	TYPE	CONFIGURATION	POLE BASE HEIGHT		POLE HEIGHT	WIND RATING	OPTIONS	OPTION 1	OPTION 2
(CX4)		LOW PROFILE LED ADJUSTIBLE COVE, WET LISTED FOR EXTERIOR APPLICATIONS			48"	2"				RGBW	LED	4400	0	40	SCBA	SCBA	SCBA															LUMENPULSE (LCS2-277-48-RGBHO-DMX1-FX-CL)	PHILIPS (COLORGRAZE MX4 POWERCORE)	COOPER LIGHTING	
(D4W)		4" ROUND RECESSED DOWNLIGHT, LED, WETLISTED, FULL CUT OFF					7"			2700K	LED (0-10V DIMMING)	1000		21	SCBA	SCBA	SCBA														PRESCOLITE (LF4LED)	LITHONIA (LP4NF)	LITON (LHALD)		
(WS1)		RECTANGULAR EXTERIOR WALL LIGHT, LED, WET LISTED,			4"	2"	4"			2700K	LED	500	0	9	SCBA	SCBA	SCBA													SLV (QUAD 2 XL)	MODERN FORMS (WS-W30507 ORB)	V2 LIGHTING (Q2SS)			
(WS2)							4"			2700K		0			SCBA																				
(WS3)		WALL SCONCE, FULL CUT OFF, FULL PERIMETER GASKETING, WET LOCATION, STAINLESS STEEL HINGES AND LATCHES, 7' AFF			12"	8"	4"			2700K	LED (0-10V DIMMING)	1000	0	20	SCBA															WAC LIGHTING (WS - W65607)	HUBBELL LIGHTING	COOPER LIGHTING			
OJ1		STEP LIGHT, LED, FULL CUT-OFF,			9"	5"	3.75"			2700K	LED (0-10V DIMMING)	153	0	8	SCBA															DESIGNPLAN (ALICE)					



MANUFACTURER'S:  
 WATTSTOPPER - LPX PEANUT LIGHTING CONTROL PANELS  
 HUBBELL - CX LIGHTING CONTROL PANELS  
 OR APPROVED EQUAL

**1** LIGHTING CONTROL PANEL RISER DIAGRAM (TYPICAL)  
 SCALE: NTS



# KETCHUM CITY BUILDING ORDINANCE COMPLIANCE MATRIX LIGHTING REQUIREMENTS PER CHAPTER 17.132 "DARK SKIES"

<b>LEGEND</b>	Y	ENGINEER, CONTRACTOR, INSTALLER, AND ALL OTHER PARTIES SHALL COMPLY WITH ORDINANCE/REQUIREMENT/SPECIFICATION.
	N	ENGINEER, CONTRACTOR, INSTALLER, AND ALL OTHER PARTIES WILL NOT COMPLY WITH ORDINANCE/REQUIREMENT/SPECIFICATION.
	N/A	THE ORDINANCE/REQUIREMENT/SPECIFICATION DOES NOT APPLY TO THE DESIGN.

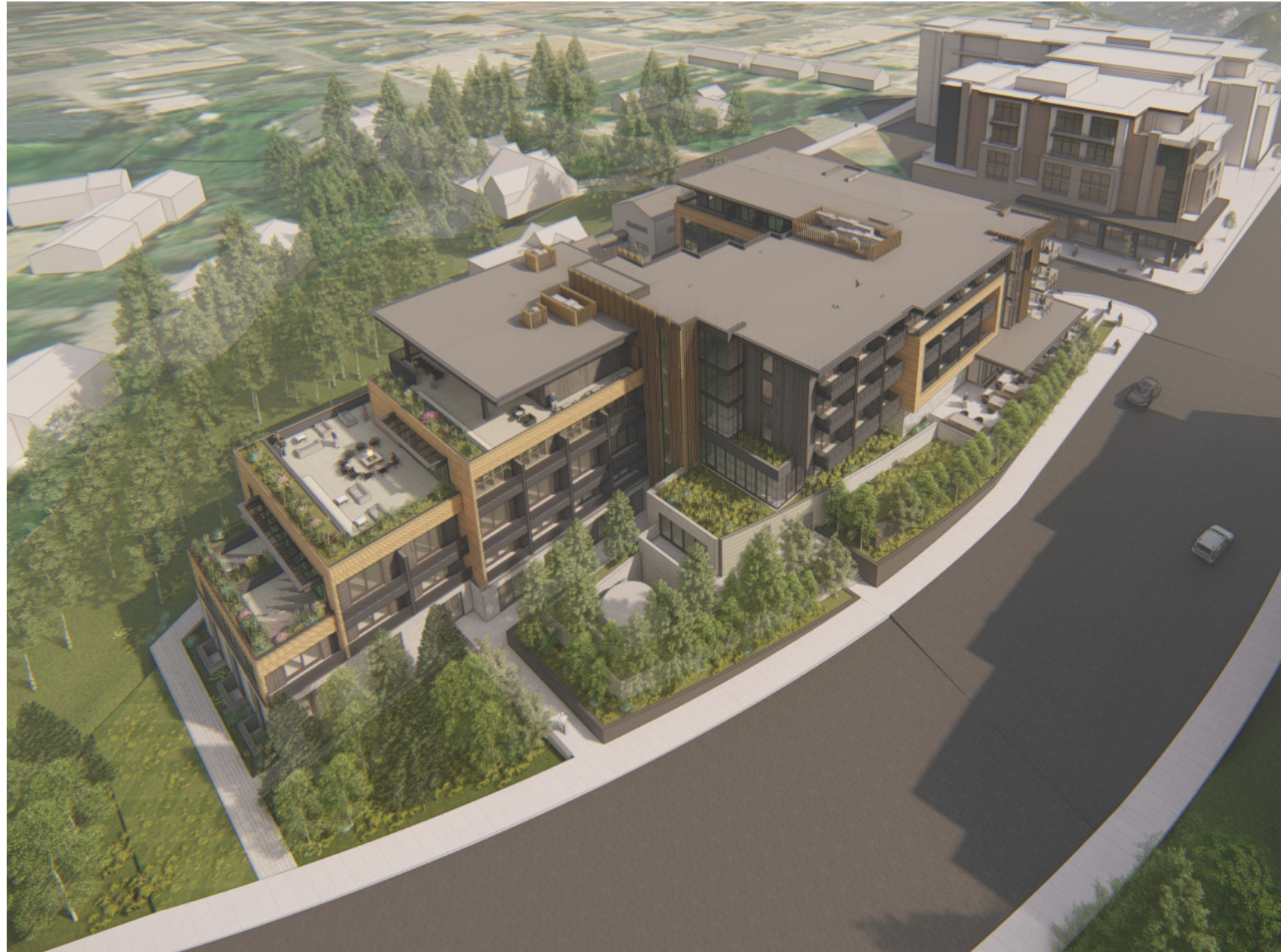
ORDINANCE:	COMPLIANCE:
<b>17.132.010 - GENERAL PROVISIONS:</b>	<b>REVIEWED.</b>
1. To protect against direct glare and excessive lighting;	Y
2. To provide safe roadways for motorists, cyclists and pedestrians;	Y
3. To protect and reclaim the ability to view the night sky, and help preserve the quality of life and the tourist experience;	Y
4. To prevent light trespass in all areas of the City;	Y
5. To promote efficient and cost effective lighting;	Y
6. To ensure that sufficient lighting can be provided where needed to promote safety and security;	Y
7. To allow for flexibility in the style of lighting fixtures;	Y
8. To provide lighting guidelines;	Y
9. To provide assistance to property owners and occupants in bringing nonconforming lighting into conformance with this chapter; and	Y
10. To work with other jurisdictions within Blaine County to meet the purposes of this chapter.	Y
<b>17.132.020.B: APPLICABILITY:</b>	<b>REVIEWED.</b>
Lighting Plans Required: All applications for design review, conditional use, subdivision and/or building permits shall include lighting plans showing location, type, height, color temperature, lumen output and amount of all proposed and existing fixtures. The applicant shall provide enough information to verify that lighting conforms to the provisions of this chapter. The Administrator, commission and/or building official shall have the authority to request additional information in order to achieve the purposes of this chapter. (Ord. 1171, 2017)	Y
<b>17.132.030: LIGHTING STANDARDS:</b>	<b>REVIEWED.</b>
A. Color Temperature: All exterior lighting shall utilize light sources not to exceed two thousand seven hundred (2,700) Kelvin.	Y
B. Light Trespass And Overlighting: All existing and/or new exterior lighting shall not cause light trespass and shall protect adjacent properties from glare and excessive lighting. All vehicle lighting originating from a commercial property shall be shielded from other adjacent properties. Incidental light trespass (lighting emanating from turning motor vehicles or motion sensor lighting) is permitted.	Y
1. All lighting emitting from any zoning lot shall not cause the light level along any property line, as measured at a height of sixty inches (60") above grade in a plane at any angle of inclination, to exceed the limitations listed in figure 1, "Light Trespass And Overlighting Matrix", of this subsection. [Commercial zones (CC, T, T-3000, T-4000, LI-1, LI-2, LI-3) Non-commercial (LR, LR-1, LR-2, GR-L, GR-H, STO-4, STO-1, STO-H, RU, AF) 0.1 foot-candle]	Y
C. IESNA Guidelines: The commission or Administrator may require that any new lighting or existing lighting that comes before them meet the standards for maximum illuminance output as established by IESNA.	N/A
D. Nonessential Exterior Commercial And Residential Lighting: All nonessential exterior commercial and residential lighting shall be turned off after business hours and/or when not in use. Lights on a timer shall be used. Sensor activated lights shall be used to replace existing lighting that is desired for security purposes.	Y
E. Area Lights:	
1. All area lights, including streetlights and parking area lighting, shall be level mounted and eighty five degrees (85°) full cutoff type fixtures.	Y
2. Residential streetlights shall be limited to one thousand one hundred twenty five (1,125) lumens, unless otherwise recommended by the Public Works Department.	N/A
3. Nonresidential streetlights shall be limited to one thousand five hundred (1,500) lumens, unless otherwise recommended by the Public Works Department.	Y
4. Lights on major intersections on State highways shall be limited to three thousand (3,000) lumens, unless otherwise recommended by the Public Works Department.	N/A
5. Parking area lights are encouraged to be greater in number, lower in height and lower in light level, as opposed to fewer in number, higher in height and higher in light level. Parking lot lighting shall not exceed IESNA recommended illuminance (foot-candle) level and are encouraged to utilize the lowest range available.	N/A
6. All freestanding area lights within a residential zone, except streetlights, shall be mounted at a height equal to or less than the value 3 + (D/3), where D is the distance in feet to the nearest property boundary.	N/A
7. Freestanding luminaires shall be no higher than twenty five feet (25') above the stand/pole base; except, that luminaires used for playing fields shall be exempt from the height restriction, provided all other provisions of this chapter are met and the light is used only while the field is in use; and except, that streetlights used on major roads may exceed this standard if necessary as determined by the City Council, as advised by a lighting engineer. Building mounted luminaires shall be attached only to walls, and the top of the fixture shall not exceed the height of the parapet or roof, whichever is greater.	Y
8. Area lights on a timer, sensor activated, or turned off at ten thirty o'clock (10:30) P.M. are exempt from subsection B of this section, provided all other standards of this section are met.	Y
F. Uplighting: Uplighting is prohibited in all zoning districts, except as where permitted in this chapter. G. Public Outdoor Lighting: Public outdoor lighting, including holiday lighting, shall be permitted to ensure the safety and enjoyment of the intended public use. All public lighting shall comply with the standards established herein and shall be turned off after hours of operation or when not in use. When practically possible, motion sensors may be used. Public outdoor lighting is exempt from lighting curfews and exempt from subsection B of this section.	Y
CONTINUED ON COMPLIANCE CHART LOCATED ADJACET TO THIS CHART. —————>	

ORDINANCE:				COMPLIANCE:
H. Lighting Fixtures:				
1. All exterior lighting shall comply with the acceptable lighting fixtures located in figure 2 of this subsection H. All exterior lighting fixtures shall be full cutoff fixtures with the light source fully shielded, except as exempted in this chapter.				Y
2. The following figure and information sheets shall be incorporated into this chapter as guidelines for the public and the City for use in meeting the intent of this chapter. The figure and information sheets only serve as examples. The City does not endorse or discriminate against any manufacturer or company that may be shown, portrayed or mentioned by the examples. Additional information is provided at the Ketchum Planning Department.				Y
Lighting Fixture Exceptions And Additional Requirements Matrix - Directly From 17.132.030: LIGHTING STANDARDS:				
<b>TYPE OF LIGHTING :</b>	<b>FULL CUTOFF LIGHT FIXTURE:</b>	<b>LIGHT TRESPASS STANDARDS:</b>	<b>ADDITIONAL REQUIREMENTS:</b>	<b>REVIEWED.</b>
Canopy Lighting	Required	Non-exempt	All canopy lighting shall be recessed sufficiently so as to ensure that no light source is visible from or causes glare on public rights-of-way or adjacent property.	Y
Flagpole Lighting	Not Required	Exempt	Upward flagpole lighting is permitted for governmental flags only. The maximum lumen output shall be 1,300Lm.	N/A
Flood Lights	Not Required	Non-exempt	Floodlights with external shielding shall be angled provided that no light escapes above a 25-degree angle measured from the vertical line from the center of the light extended to the ground. Floodlights shall not cause glare or light to shine directly on adjacent property or public rights-of-way.	N/A
Highway 75 Lighting	Required	Exempt	Correlated color temp. 2700k.	N/A
Holiday Lights	Not Required	Exempt	Shall only be displayed from November 20th to March 20th. Exempt from color temperature requirements set forth in this chapter. All new holiday lighting shall be LED lighting, or bulb that has been demonstrated to be the most energy efficient technology available. Flashing holiday lighting is permitted. All private holiday lighting shall be turned off at the close of business hours in the Community Core Zoning District, and after 10:30 P.M. in all other zoning districts. Outdoor public lighting shall not be subject to holiday lighting curfew.	N/A
Neon Lights	Required	Exempt	Neon lights are only permitted pursuant to chapter 17.127 of this title.	N/A
Sensor Activated Lighting	Required	Exempt	Shall be located so as to prevent lighting into adjacent properties or into a public right-of-way. Lighting shall activate only when motion on the property is detected and shall deactivate within no more than 5 minutes. Lighting shall not be triggered by any activity off the property or in the public right-of-way. The maximum lumen output shall be 600 lumens.	Y
Temporary Emergency Lighting	Not Required	Exempt	Utilized by public safety services. Exempt from provisions of this chapter.	N/A
Temporary Lighting	Required	Exempt	Lumens output shall be approved by the administrator.	Y
<b>17.132.040: PROHIBITED LIGHTING:</b>				
A. Any light source that does not meet the requirements of this chapter.				
B. Searchlights, beacons, laser source, and other high-intensity light fixtures.				
<b>17.132.050: NOTIFICATION:</b>				
A. The City Building and Planning Department permits shall include a statement asking whether the subject property of the proposed work includes any exterior lighting. (Ord. 1171, 2017)				
<b>17.132.060: THE CITY'S ROLE:</b>				
A. The City will commit to changing all lighting within the City rights-of-way and on City owned property to meet the requirements of this chapter when luminaires expire. (Ord. 1171, 2017)				

**REVIEWED FOR ACCURACY AND COMPLETNESS ON:  
02-03/2020 SPENCER C. LITTLE, P.E.**

## SUSTAINABILITY INTEGRATION





## BUILDING SYSTEMS

### HVAC SYSTEM

- AIR OR WATER SOURCED LOOP SYSTEM (T.B.D.)
- ENERGY RECOVERY VENTILATION SYSTEM
- AUTOMATICALLY TURN OFF HVAC IF NO OCCUPANTS ARE IN GUESTROOMS

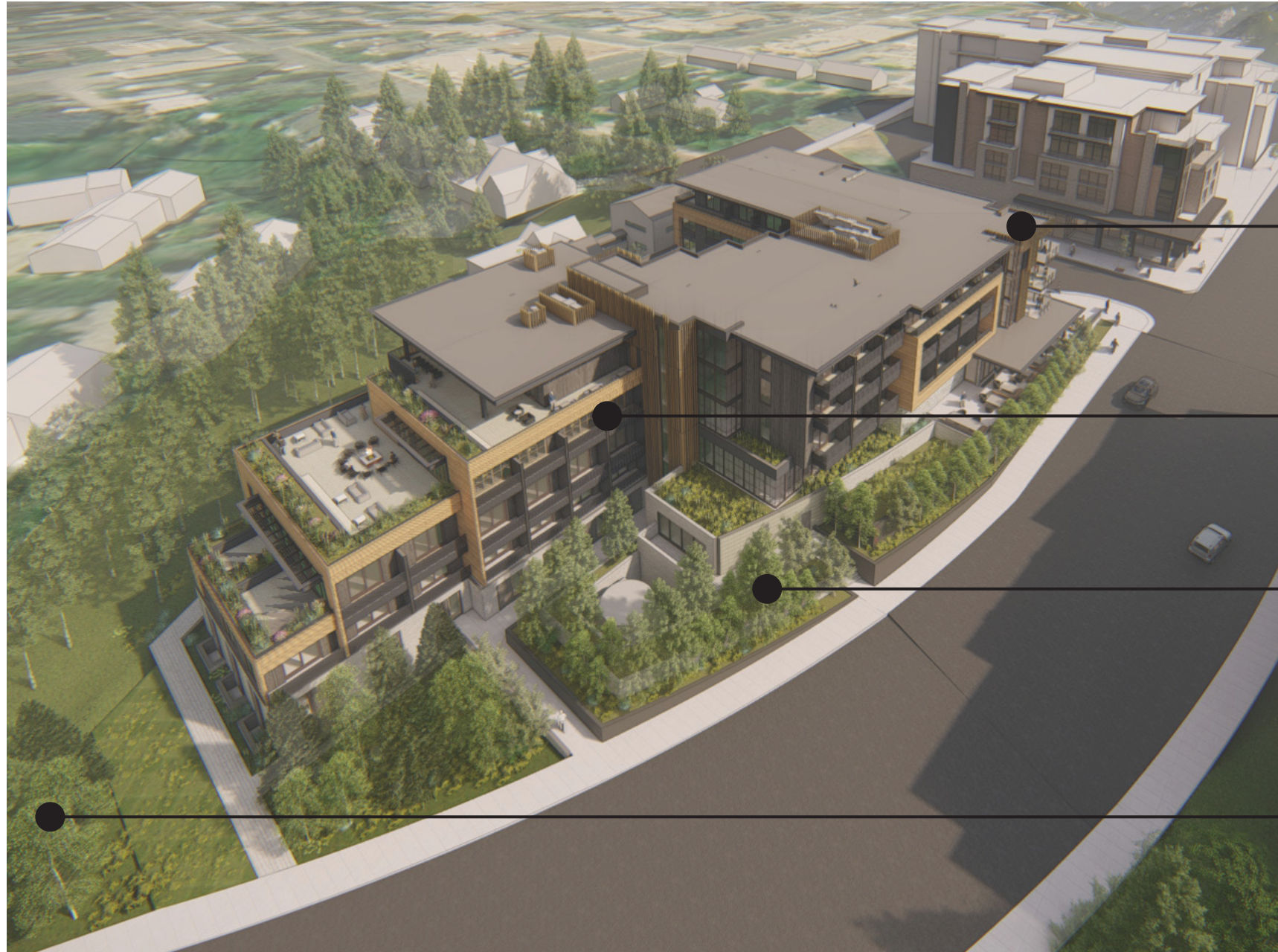
### PLUMBING

- INSTANTANEOUS WATER HEATER ON DEMAND
- RECIRCULATING HOT WATER SYSTEM TO LIMIT WATER WASTE
- LOW FLOW AND SENSOR OPERATED PLUMBING FIXTURES TO REDUCE WATER USAGE

### LIGHTING

- ENERGY EFFICIENT LED LIGHTING
- OUTDOOR DARK SKY LIGHTING
- AUTOMATICALLY TURN OFF LIGHTS IF NO OCCUPANTS ARE IN GUESTROOMS
- DAYLIGHT HARVESTING IN COMMON SPACES
- OCCUPANCY SENSORS TO AUTOMATICALLY TURN OFF LIGHTS IN BACK OF HOUSE AREAS





## HIGH PERFORMANCE BUILDING & SITE

### INDOOR AIR QUALITY - LOW VOC

- PAINTS
- PRIMERS
- STAINS
- ADHESIVES

### BUILDING ENVELOPE ASSEMBLY

- WALLS, DECKS AND ROOF INSULATION
- HIGH EFFICIENCY GLAZING & WINDOW SYSTEM
- REDUCED AIR INFILTRATION
- COOL ROOF

### LANDSCAPE & WATER CONSERVATION

- NATIVE AND DROUGHT TOLERANT SPECIES (TREES, SHRUBS, AND GRASSES)
- DRIP AND WATER EFFICIENT IRRIGATION
- LOW MAINTENANCE LANDSCAPE
- LANDSCAPING IRRIGATION WILL MEET EPA WATER SENSE PROGRAM REQUIREMENTS

### SITE PRESERVATION

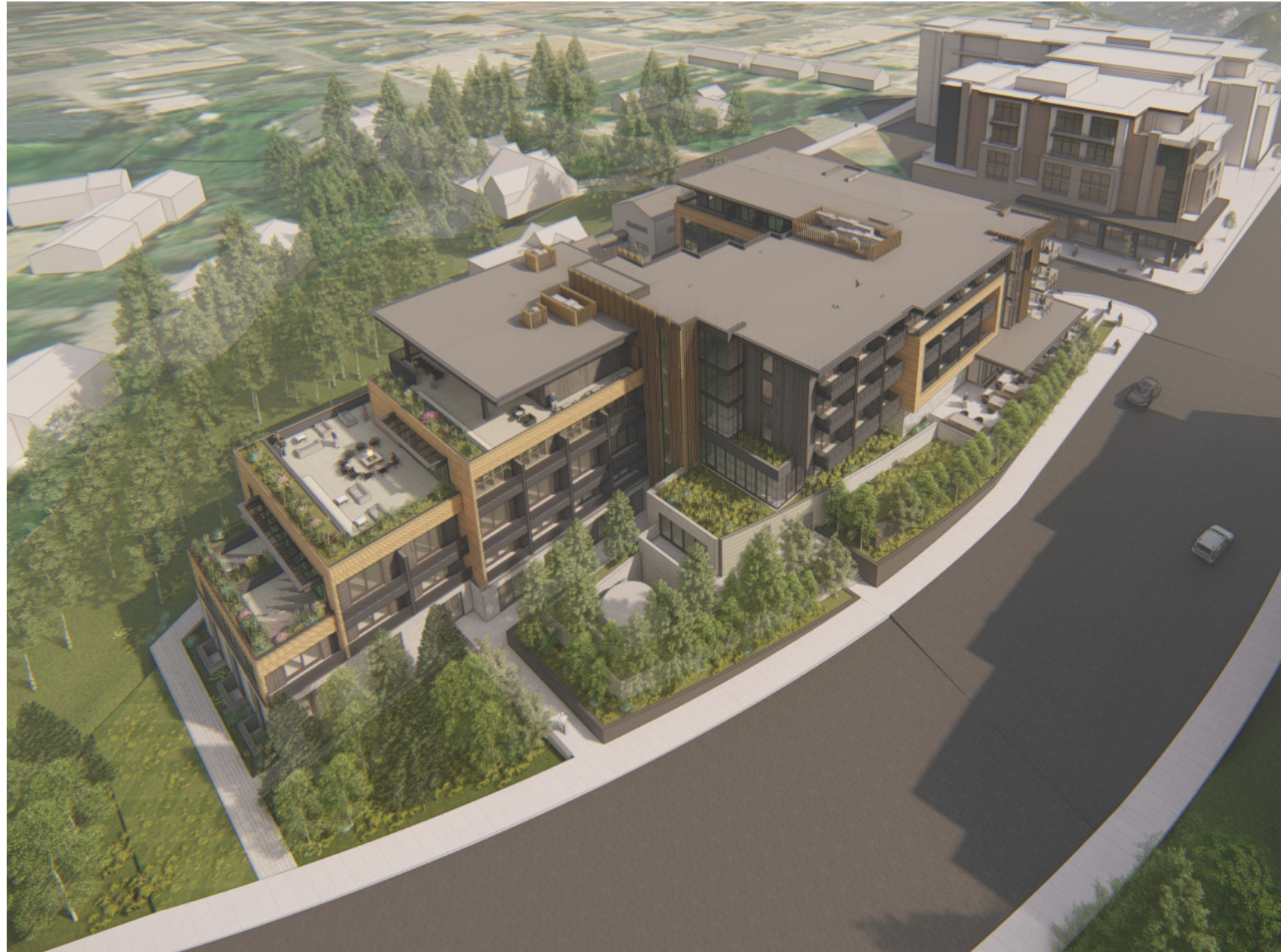
- PRESERVED RIPARIAN ZONE

### TRAIL CREEK BUFFER

- "IN KEEPING WITH THE INTENT OF THE KETCHUM CODE (CHAPTER 17.88) THAT AREA WILL BE ENCOURAGED TO BE AN EFFECTIVE RIPARIAN ZONE RATHER THAN AN URBANIZED DEVELOPED AREA."

## SUSTAINABILITY - HIGH PERFORMANCE





## MATERIAL & PRODUCT SUSTAINABILITY ASSESSMENT

MATERIALS RECYCLED CONTENT

RAPIDLY RENEWABLE MATERIALS

SUSTAINABILITY HARVESTED MATERIALS

PRODUCT REUSABILITY AND RECYCLABILITY

AIR INDOOR QUALITY

- REDUCING OR ELIMINATING HARMFUL CHEMICALS
- IMPROVED INDOOR AIR QUALITY
- REDUCED TOXINS

MANUFACTURING ENVIRONMENTAL PRACTICES

- REDUCING ENERGY, WATER, WASTE
- AND GREENHOUSE GAS EMISSION

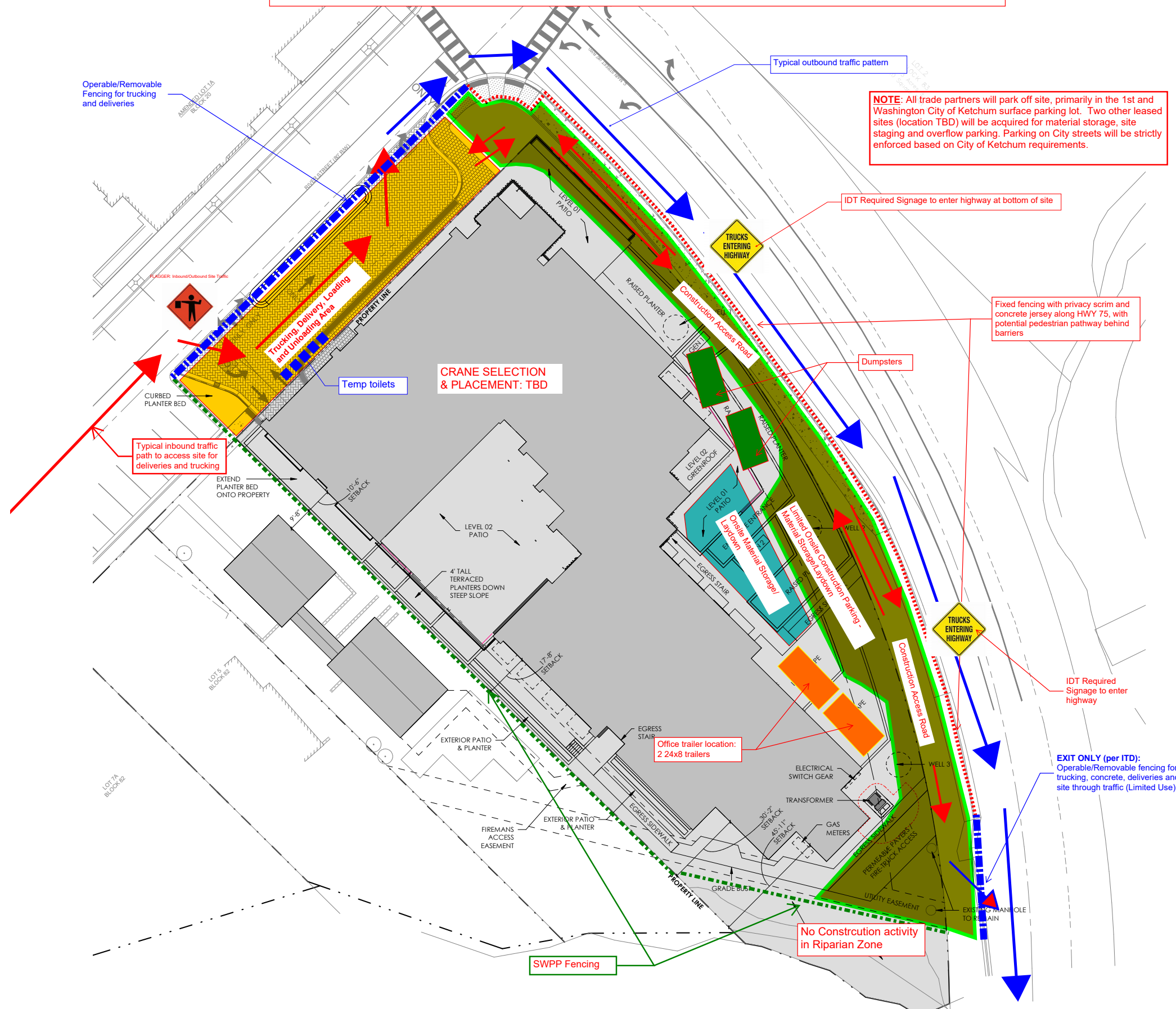
OPERATIONAL PRACTICE

- FAIR LABOR
- HUMAN RIGHTS PRACTICES
- REDUCED OR OPTIMIZED PACKAGING
- SUSTAINABLE RAW PACKAGING MATERIALS

## CONSTRUCTION MANAGEMENT PLAN



# CONSTRUCTION MANAGEMENT SITE PLAN



## CONSTRUCTION MANAGEMENT PLAN

### GENERAL SITE MANAGEMENT

The Tribute Portfolio Hotel Ketchum is being designed as a multi-year project consisting of four below grade parking facilities with commercial/residential structures above. Associated roadway and subsurface utility improvements will also be phased throughout the duration of the project. In the pages that follow you will find information about safety and security measures to be taken at each individual site, where vehicles will load and unload, how soil export and below grade shoring activities will take place, where and when roadway and utility improvements are anticipated to occur, how the Construction Manager proposes to operate administratively, and the timeline and phasing of the construction project overall.

### HOURS OF OPERATION

ADMINISTRATION	7:00a – 1:00a
BUILDING CONSTRUCTION	7:00a – 9:00p Monday – Saturday 9:00a – 6:00p Sunday

No exterior work of any kind will be proposed or undertaken outside of the hours identified above. Construction will be suspended or restricted at the request of the Building Official to accommodate special events.

### SITE LOGISTICS

#### CONSTRUCTION ADMINISTRATION

An administrative area will be established for the use of all construction personnel actively working on site.

Construction office – due to space constraints on site Okland and our trade partners will seek construction offices at an off-site location. If a suitable location cannot be identified two construction trailers will be sited within the construction zone.

Parking – if an onsite office is necessary a parking area will be established for the use of personnel assigned to work in the construction office complex. Parking in the administrative area will be limited to administrative personnel; all parking for trade personnel will be off-site.

### OKLAND TRADE MANAGEMENT

### PARKING AND TRANSPORTATION

Off-site parking will be provided by the Construction Manager for all trade employees. Bus service to transport employees from distal parking to the job site will be available for one hour before the start of shift and for one hour at the conclusion of the workday. Emergency transportation will be provided to employees by site safety/security personnel as needed throughout the day. For those trade employees that prefer, significant public parking and transportation options exist. The Construction Manager will develop and make available to all trade employees a written transportation plan to inform workers of the available options as they develop their personal strategy for arriving for work.

### RESTROOMS

Separate men's, women's, and unisex accessible restrooms will be provided at individual work locations throughout the job site. Restrooms will also be available in the construction office facility, staff facility, and in restroom trailers in the administrative area parking lot. Restrooms will be maintained periodically to assure that employees have sanitary facilities at their disposal.

### BREAK ROOM

A break room will be provided for employees within the construction zone. Although employees are free to avail themselves of public food service and grocery outlets, employees will be encouraged to utilize the heated and well-lit on-site break facility. The employee break facility will offer refrigeration, microwaves, seating accommodations, refuse removal, etc.

### COMMUNICATIONS WITH EXTERNAL PARTIES

Because the active construction zone is in close proximity to adjacent landowners and the general public, and is of interest to members of the community, a communication tool will be established by the Construction Manager to disseminate information and receive public feedback in real time regarding the construction. With the goal bring to provide an open conduit for information flow regarding the project, an individual will be assigned from the project management team to manage all external communication and assure open interaction between the project and the public.

### WEBCAM

Camera locations will be established to provide interested parties with a real time look at construction activities as they progress.

### CONSTRUCTION COMMUNICATIONS

A Facebook page will be established for the duration of the project to keep interested parties informed about work taking place on the job site. The page will include the following:

- A link to webcams.
- A weekly schedule of activities including a rolling three week look ahead.
- Notice of road and walkway construction impacts.
- Notice of delivery activities and any associated hoisting activity adjacent to roadways.
- A blog that will provide a weekly update of work accomplished, work in progress, and work anticipated.
- A spot devoted to receiving feedback from the public.
- Project photos.
- Other items of interest to those community members or area guests that are impacted by the project.

### BI-MONTHLY PUBLIC FORUM

The construction manager will conduct a bi-monthly public forum that is open to all interested parties. The meeting will be focused on receiving feedback from the public, discussion of mitigation measures should concerns arise, and to share directly with interested parties the course of construction for the upcoming month.

### MONTHLY PROGRESS UPDATE TO THE CITY

The construction manager will provide a written monthly progress update to the Ketchum Planning and Building Department outlining current project status. A document disclosing all public feedback received during the month will be compiled to keep city officials well-informed as to public sentiment regarding the project. Along with current progress a one-month schedule look-ahead focused on work to be performed during the succeeding month will be attached.



## CONSTRUCTION STAGING

### LOCATIONS

Off-site – all project participants supplying materials to the construction will be required to store their materials off site for just in time delivery. Limited local storage will be established at a site yet to be determined. Delivery zones will be established and monitored throughout the duration of the construction. Forklift and crane service will be provided with trained rigging and flagging personnel available to assist in loading and unloading operations.

On-site – although every effort will be made to limit staging of construction materials and equipment on site, some storage will be required. Storage in the construction zone will be limited to areas with the security fence perimeter. It is inevitable that some storage will be in areas visible to individuals passing the site however the Construction Manager will keep the jobsite orderly and free of excessive debris. To the extent possible every attempt will be made to keep materials and equipment shielded from view. When practical, storage will be shifted to completed portions of the building. Stored material and equipment will be kept in an orderly fashion.

### DELIVERY OF MATERIALS

Receiving areas for materials and equipment will be established for each parcel. Appropriate traffic control devices will be provided at vehicle approaches and adjacent to any delivery operations. Traffic control personnel will be provided during loading and unloading operations.

### CONSTRUCTION WASTE

Waste materials will be confined to on-site general waste and recycle containers. Containers will be of the 30-yard open roll-off type container and will be kept in good condition. Containers will be emptied periodically when containers become full.

### CONCRETE SLURRY

Concrete wash out activities for concrete delivery and placement vehicles will be confined to the construction zone within the security fence perimeter. Eco-pan concrete recycling containers will be provided, no concrete slurry will be disposed of on site.

## SITE SAFETY

### SITE

PERIMETER FENCING – for the purpose of security and safety the construction zone will be enclosed with removable construction fencing. The fencing will be specifically designed for use during construction activities, will offer ingress and egress paths, and will be maintained daily throughout the course of construction in any given area.

Long-term fencing will be installed with pins drilled into the ground, have permanent gates installed; all gates will be lockable. Fence will be maintained in a locked condition during off hour periods.

Short-term safety fencing will be installed where improvements, reconfigurations, or new site utility infrastructure is being constructed such that the construction activities interface with the public. This fence will be held in place with bases placed on top of the ground and weighted with sandbags. Openings in the short-term fence will be informal to allow for access options. Fence will be maintained in a locked condition during off hour periods.

### TRAFFIC

Patterns during construction – road access and circulation in areas adjacent to construction zones are not anticipated to change during the course of building construction. Periodic interruptions for utility reconfiguration or connections are anticipated at some points throughout the construction. Applications and approvals required by the city or pertinent utility providers will be requested a minimum of 30 days prior to the anticipated commencement the of work. Adjacent landowners will be informed of changes to traffic patterns 30 days prior to the commencement of the work.

General maintenance – where roadways are impacted by construction activities once backfilled all road surfaces will be restored to a paved condition with line markings restored. At all times, but particularly during shoring and mass excavation activities, streets and sidewalks associated with the construction areas will be swept daily or more frequently if needed. A wheel wash will be established at all egress points where construction vehicle movements are taking place.

Snow removal – in areas not impacted by construction, roadways and walkways accessible to the public will be maintained as they would be normally. In areas where construction is present, project personnel and equipment will be utilized to keep roadways and the public way open for pedestrians and resort patrons. Snow will not be stored on site.

### PEDESTRIAN CIRCULATION

Safe pathways – to the extent possible the means of pedestrian circulation will remain as it exists currently. During periods where sidewalks and roadways are being reconfigured and the typical circulation patterns is disrupted, temporary alternate pathways will be provided. Alternate pathways will be defined by temporary safety fencing or movable concrete barricades. In areas where pedestrian circulation is proximal to ongoing construction activities a lighted covered walkway will be provided.

Way finding – temporary directional signage specifically targeted at pedestrians will be provided as the situation requires.

### CONSTRUCTION SIGNAGE

Scrim will cover the long-term site security fence to provide a visual barrier between the construction and the public. Danger signs will be placed at 50' intervals along the entire length of the fence. Material delivery areas will have signs noting their use. All entry gates will have signs noting the name of the construction manager, requirements for proper PPE, site access requirements, and contact information.

### PHYSICAL BARRIERS

physical barriers will be provided as required at all times during the construction. Physical barriers will take the form of temporary fencing, movable concrete highway barricades, or wood framed covered walkways.

## CONSTRUCTION PHASING & MITIGATION

### TEMPORARY SITE LIGHTING

As required, portable light plants will be provided to assure a safe environment for the public and construction personnel. To the extent possible solar powered portable light plants will be used in lieu of fossil fueled light stands.

### FIRE PROTECTION

A fully functional system of fire hydrants will be maintained throughout the construction site. Where it becomes necessary to reconfigure water lines, a construction mitigation plan will be developed showing temporary measures including hydrant location, materials, sequence of construction, schedule, etc. The construction mitigation plan will be submitted to the municipality for approval.

### **ADDITIONAL INFORMATION**

#### STORM WATER MITIGATION AND MANAGEMENT

Consistent with requirements, a SWPPP program will be developed and operationalized by the excavation contractor. The construction manager will ultimately hold responsible for SWPPP compliance.

#### GROUNDWATER MANAGEMENT

While not anticipated, should groundwater be present the construction manager will immediately contact the soils engineer and, in conjunction with the civil engineer, develop a groundwater mitigation plan for review and acceptance by the municipality.

#### DRILLING AND BLASTING

While not anticipated, should blasting become necessary the construction manager will immediately contact the soils engineer and, in conjunction with the civil engineer, develop a blasting plan showing the extents of blasting, establish pay limits, and identify adjacent landowners that may be impacted by blasting activities. The construction manager will establish a seismic monitoring program and site safety protocol prior to the commencement of blasting activities. If blasting is required, a mitigation plan would be developed and presented to the municipality and adjacent landowners for review and acceptance.

#### GENERAL APPROACH TO SHORING

Shoring will be required to enable safe entry to subsurface areas of all building sites. The construction manager will utilize a pile and lagging system to shore excavations. The pile and lagging system require the installation of a series of wide flange steel piles that are inserted vertically into the ground. Steel piles are placed in drilled holes and then grouted into place with concrete. Once piles are in place wood planks, lagging, is installed between the piles to support the side walls of the excavation.

#### GENERAL APPROACH TO MASS EXCAVATION AND EXPORT

Mass excavation activities begin as the lagging is installed. Material exported from the site may be placed on mountain in fill locations identified as suitable by the resort owner. Alternatively, exported materials may be transported through the city to a fill location in Brown's Canyon. Where exported materials are required to transit through the city a schedule and material movement plan will be developed for approval by the municipality.



## UTILITY WILL-SERVE LETTERS



City of Ketchum  
Planning & Building

January 25, 2019

Destry Simpson  
Magleby Construction  
PO Box 494  
Sun Valley, ID 83353

Dear Mr. Simpson:

The properties located at 251 S Main Street (Ketchum Townsite: Block 82: Lots 3, 21, and Former Lot 22), 260 E River St (Ketchum Townsite: Block 82: Lot 2), and 280 E River Street (Ketchum Townsite: Block 82: Lot 1) have existing connections to municipal water and sewer services. As the existing meters are brass, the Idaho Department of Environmental Quality (DEQ) requires that the meters to be replaced prior to reconnection.

The domestic service for the property located at 250 S Main St comes from an existing fire line and will require extensive flushing as well as bacteria testing prior to reconnection. Due to deterioration, the City anticipates that some pipes may be damaged. Any broken pipes must be replaced by the developer.

DEQ approval is required for all water and sewer lines serving the properties. Water service and main lines are private to all properties from the point of connection with city water. Water infrastructure maintenance and repair will be the responsibility of the property owners.

If you have any questions, please do not hesitate to contact the Planning & Building Department at (208)726-7801.

Abby Rivin, AICP  
Associate Planner  
City of Ketchum Department of Planning and Building




DATE: February 6, 2020

To Whom it May Concern:

The City of Ketchum has both the capacity and is willing to serve, or continue to serve, the proposed Marriott Tribute Hotel at the corner of River Street and Highway 75 in Ketchum.

Sincerely,

  
Pat Cooley  
Ketchum City Water



April 1, 2021

Nick Blayden  
180 N University Ave, Ste 200  
Provo, Ut 84601

To whom it may concern,

Thank you for your inquiry about electrical service at 260 E River St, Ketchum, Idaho

This property is located within Idaho Power's service area in the state of Idaho .

Idaho Power will provide electrical service to this location once any required easement or right of way are obtained by Idaho Power and/or the Customer, and in compliance with the statutes of the State of Idaho/Oregon and the Idaho Power tariffs on file with our regulators. Tariffs include the General Rules and Regulations that covers new service attachments and distribution line installations or alterations.

To start new service or obtain more information about new service, visit our website:  
<https://www.idahopower.com/service-and-billing/> . You may also contact Idaho Power's Customer Care Team at 208-388-2323, or 1-800-488-6151 (outside the Treasure Valley).

Sincerely,

Cyndi Bradshaw  
Distribution Designer  
Cbradshaw@idahopower.Com  
208-788-8002





451 Alan Dr. Jerome Idaho 83338 • (208) 737-6300 FAX (208)737-6342

[www.intgas.com](http://www.intgas.com)

AJC Architects  
Ryan McMullen, AIA Leed Green Associate  
703 East 1700 South  
Salt Lake City Utah 84105

March 24, 2021

RE: 251 S. Main St. Ketchum Idaho 83340. Ketchum Prologue Hotel

This letter is to serve as verification of the availability of natural gas currently to the above referenced project in Ketchum, Idaho.

The total estimated cost of extending our natural gas infrastructure and satisfying current tariffs in order to serve the above entity is the responsibility of the contractor/ owner of said project and must be paid in advance of construction.

Extensions of our natural gas mains and services will be provided and installed in accordance with our current tariffs, guidelines, policies and provisions on file with the Idaho Public Utilities Commission.

If you need further information regarding this project, please call me at 208-737-6314.

Sincerely,

*Lance D. McBride*

Lance D. McBride  
Energy Services Representative Sr.  
[lance.mcbride@intgas.com](mailto:lance.mcbride@intgas.com)  
208-737-6314



401 N 117th St  
Omaha, NE 68154

January 18, 2019

Ms. Vicki Pitcairn  
Magleby Construction  
511 East Avenue  
Ketchum, ID 83340

RE: Marriott Hotel – 251 S Main Street

Dear Vicki,

This letter is written in response to your request for information regarding available Cox Communications (“Cox”) telecommunications services for the Marriott Hotel. The subject property (the “Property”) is located at 251 S Main Street Ketchum, ID. Cox is a licensed telecommunications operator for the City of Ketchum, Idaho. We currently have HFC & Fiber services in this approximate area.

Before Cox can make a commitment to provide these telecommunications services, the owner of the above-referenced Property, or the owner’s agent, must execute Cox Telecommunications Facilities License Agreement. If you will provide Cox with the name and address of the owner of the Property, a representative of Cox will contact the owner to obtain execution of the Telecommunications Facilities License Agreement.

This letter is not intended as and shall not be construed as a legally binding contract for the provision of telecommunications services. No course of conduct by the parties following the signing of this letter shall create or be deemed to create a contract for the provision of telecommunications services between Cox and the owner of the Property, it being the overriding intent of the parties that neither party shall be under any contractual obligation to the other until and unless a definitive Telecommunications Facilities License Agreement and Cox Commercial Services Agreement has been agreed to and signed by both Cox and the owner of the Property. Any expenses incurred or other actions taken by either Cox or the owner of the Property or any third party in reliance on the preliminary understandings expressed in this letter shall be at such party's own risk.

Thank you for your interest in Cox as a possible communications services provider to Marriott Hotel. Should you have additional questions you may reach me at 402-934-0252.

Sincerely,

A handwritten signature in blue ink that reads "Jackie Owens".

Jackie Owens  
Cox Business  
O – 402.934.0252  
M – 402.350.0096



C L E A R   C R E E K   D I S P O S A L

PO Box 130 • Ketchum, ID 83340 • Phone 208.726.9600 • www.ccdisposal.com

April 6, 2021

City of Ketchum  
P O Box 2315  
Ketchum, ID 83340-2215

Re: Ketchum Prologue Hotel

To Whom it May Concern,

Please let this letter serve for the purposes of approved garbage service to be provided at the proposed Prologue Hotel. Service at the site as shown on pdf 210322 – Ketchum Prologue Hotel -Siteplans.pdf & 210322 - Ketchum Prologue Hotel – Level 01 Plan.pdf show an area for dumpster(s) to be located. And hotel staff will locate the dumpster(s) to the pad adjacent to River St for servicing on appropriate days. The dumpsters will need to block the garage access during this time.

Please allow this letter for a will serve for the hotel project at per the above-mentioned plans.

Respectfully,



Mike Goitiandia  
Clear Creek Disposal

.Prologue



