



City of Ketchum  
Planning & Building

**STAFF REPORT**  
**KETCHUM PLANNING AND ZONING COMMISSION**  
**June 14, 2022 MEETING**

**PROJECT:** McDermott Residence Mountain Overlay Design Review

**FILE NUMBER:** P22-002

**REPRESENTATIVE:** Jeffrey Johnston, CLB Architects

**OWNER:** Ed McDermott, Betsy McDermott

**REQUEST:** Mountain Overlay Design Review

**LOCATION:** 600 Walnut Avenue (Ketchum Townsite: Block 91, Lot 1A)

**ZONING:** Limited Residential District (LR)

**OVERLAY:** Mountain Overlay (MO)

**NOTICE:** Notice was mailed to adjacent property owners on May 25, 2022

**REVIEWER:** Adam Crutcher, Associate Planner

**EXECUTIVE SUMMARY**

The subject Mountain Overlay (MO) Design Review is for the development of a new 10,760 sq ft single-family residence known as the McDermott Residence (the “project”) at 600 N. Walnut Avenue (the “subject property”). The subject property, Lot 1A of Block 91 Ketchum Townsite, is a vacant 16,523 square foot lot within the Mountain Overlay (MO) District and the underlying zoning is Limited Residential (LR). The subject property previously contained a residence which was demolished in 2015 and has since then been used for construction staging. The property was formed through a lot line shift, consolidating two Ketchum Townsite lots, in 2018 and is currently undeveloped. In 2018 the Planning & Zoning Commission approved a residence on the subject property through Mountain Overlay Design Review, but the project never continued to building permit. The subject property is relatively flat with the only remaining natural hillside locate on the northern side property boundary and rear property boundary. Staff researched what may have been the cause of this but was unable to determine whether it was due to the previous development located on the property, demolition of the structure, or reconfiguration of the lot when in use as construction staging, or some other activity.

Pursuant to Ketchum Municipal Code (KMC) 17.104.050.A, the construction or placement of structures within the MO District is subject to all applicable Design Review improvements and standards (KMC 17.96.060) as well as subject to the Mountain Overlay Design Review requirements set forth in KMC 17.104.070. The purpose of the MO Zoning District is to encourage development to be harmonious with existing natural resources, protect natural land features and wildlife habitat, prohibit detrimental alteration and minimize impacts to the existing topography, preserve hillsides and ridges, and minimize the visual impact of building sites by siting building footprint away from higher elevations.



- B. “To encourage land uses harmonious with existing natural resources”
- C. “To prohibit detrimental alteration of existing topography and terrain, leaving hillsides generally open and unobstructed, to prohibit scarring by roadways”
- D. “To protect natural land features and wildlife habitat”
- G. “To minimize or prohibit detrimental effects on the natural topography, geology, soils, drainage, wildlife and vegetation”
- H. “To carry out provisions contained in Ketchum’s comprehensive plan”

The City of Ketchum encourages development that is sustainable and attentive of the surrounding natural resources, particularly the use/consumption of water. Mountain Overlay purpose statements B and H speak to development that reduces the usage of water. The comprehensive plan identifies development that incorporates water conservation measures. Staff believes a pool in the Mountain Overlay is not sustainable development. The water required for pools is inconsistent with basic sustainable design and is not harmonious with existing natural features.

The Knob Hill area is also a known wildlife corridor used by many wildlife including elk and deer. The Mountain Overlay contains multiple purpose statements related to the protection or minimizing disturbance of wildlife and their habitat. Staff believes that a pool is not a feature that protects and respects wildlife habitat as it reduces the available habitat for elk and deer along with creating a possible hazard to their health if they fall into the pool. No pool cover can withstand the weight of an elk or deer.

Lastly, staff views the installation of a pool as having a negative impact to the hillside due to the necessary excavation required to set the pool into the existing grade. As pools require the flattening of hillsides as well as excavation staff believes a pool does not meet the purpose statements C and G which speak to minimizing disturbance and prohibiting detrimental alterations to hillsides.

The project plans include a backyard alternative on Sheets L3-01B & L3-01B.1 which do not include a pool & spa. With this alternative, staff would recommend approval of the project and has listed this in the conditions of approval as item #8.

## **CONFORMANCE WITH COMPREHENSIVE PLAN**

The City of Ketchum’s 2014 Comprehensive Plan is the guiding document to assist the city in decision making when addressing population growth and the systems that support that growth, such as housing, transportation, and the economy. The comprehensive plan contains the community’s vision for Ketchum and sets goals and policies to guide future development. This vision is shaped by 10 core values identified by Ketchum residents as important to consider for all future land use decision. Values which apply to this project include:

- **COMMUNITY CHARACTER** - You know when you have entered Ketchum; this is a place centered on the “town” and identifiable from the “country” by distinct edges. Residents and visitors desire this clear division that has been lost in so many American cities through strip commercial development and sprawling residential subdivisions. Protecting and enhancing the visual character of our community gateways, the undeveloped hillsides, and night skies is a priority. Geographically, downtown is a focal point and plays a key role in how our community looks and feels to locals and visitors. People value the opportunity to come together in the city’s well-defined community spaces.
- **ENVIRONMENTAL QUALITY AND SCENIC BEAUTY** - Ketchum’s citizens place great value on the exceptional natural setting and resources of the Wood River Valley. The community is surrounded by rugged alpine peaks, forested and sage-covered open spaces, pristine wildlife habitat, and beautiful rivers and riparian areas. Key open spaces create visual buffers between the built and natural environment. Unobstructed views exist in every direction in large part due to Ketchum’s wide streets and lack of hillside development. These environmental features and resources sustain our economy

and are why many people choose to live in Ketchum. We will be excellent stewards of these resources in order to preserve them for the future. We will do so by raising awareness and collaborating with other regional entities that care for our natural resources.

- A “GREENER” COMMUNITY - Ketchum understands that there are global challenges too large for any one community to solve, but believes in doing its share to address them. We will strive to integrate best practices in energy conservation, renewable energy use, multimodal transportation, waste reduction and recycling, low-impact development, storm water management, tree preservation, and local food production, among other areas. We value the quality and quantity of our water resources that we have and will work to conserve them. We will work to build partnerships with businesses, the resort and lodging industry, the development sector, and others in order to raise awareness about the importance of being a “greener” community.

The comprehensive plan includes numerous goals and objectives related to development that protects the values of Ketchum and promotes sustainability including:

- Goal CD-2: Protect and enhance views of the surrounding mountains and natural features
- Policy CD-2.2 Mountain Overlay Zone: Continue to protect hillsides within the City and the Area of City Impact from future development. Enforce and encourage strengthening of the Mountain Overlay standards of the City and County, by using a variety of techniques; such as clustering at lower elevations, creating conservation easements, or purchasing private property on hillsides
- Policy CD-2.4 Development Designed for Natural Feature Preservation: Protect and incorporate natural features into newly developing areas. Conserve the natural patterns of streams, ridgelines, topography, riparian areas, and wildlife habitat areas.
- Policy NR6.4 Energy Conservation in New Construction: Promote energy conservation features in residential and commercial development
- Goal NR8: Reduce water consumption in new and existing development
- Policy NR8.1 Water Conservation Features: Require water conservation features, including, but not limited to, native, drought-tolerant plant materials, and high-efficiency plumbing fixtures, and irrigation systems in all new construction and site development.

The proposed project meets the goals and objectives of the comprehensive plan forward with the exception of the proposed pool. The project reduces water consumption with the implementation of native and drought-tolerant plant species. The site is at the lowest point of the Knob Hill section of the Mountain Overlay, reducing the visual material impact the residence may have.

#### **CONFORMANCE WITH MOUNTAIN OVERLAY STANDARDS**

During Department Review, staff reviewed the Mountain Overlay Design Review application for conformance with KMC 17.104.070 – *Mountain Overlay design review*. With the exception of the pool, staff believes that project either meets the criteria and standards or that they do not apply to this project. Please see Attachment B for a review of all Mountain Overlay standards and criteria.

#### **CONFORMANCE WITH ZONING AND DESIGN REVIEW STANDARDS**

Per Ketchum Municipal Code (KMC) §17.104.050.A – *Use Restrictions*, design review is required for all new construction of buildings within the Mountain Overlay Zoning District. Before granting Design Review approval, the Commission must determine that the application meets two criteria: (1) the project doesn’t jeopardize the health, safety, or welfare of the public, and (2) the project conforms to all Design Review standards and zoning regulations (KMC §17.96.050.A).

Conformance with Zoning Regulations

During department review, city staff reviewed the project for conformance with all applicable zoning code requirements including uses, dimensional limitations, parking, development standards, and dark skies. The project is in conformance with all applicable zoning code requirements and standards. Please see Attachment C for a full review of dimensional standards.

#### Conformance with Design Review Improvements and Standards

During department review, city staff reviewed the project for conformance with all applicable design review improvements and standards outlined in KMC §17.96.060 – *Improvements and Standards*. Staff believes that either a requirement is not applicable due to the scope of the project, or requirements are met. Please see Attachment D for a review of all design review improvements and standards.

#### **STAFF RECOMMENDATION:**

Staff recommends that the design review application for the McDermott Residence be approved by the Planning and Zoning Commission, subject to conditions 1-8 listed below.

#### **RECOMMENDED MOTION:**

“I move to approve the Mountain Overlay Design Review application of the McDermott Residence, subject to conditions 1-8.”

#### RECOMMENDED CONDITIONS

1. This Design Review approval is based on the plans and information presented and approve at the meeting the date noted herein. Building Permit plans must conform to the approved Design Review plans unless otherwise approved in writing by the Planning and Zoning Commission or Administrator. Any building or site discrepancies which do not conform to the approved plans will be subject to removal;
2. The term of Design Review approval shall be twelve (12) months from the date that the Findings of Fact, Conclusions of Law, and Decision are adopted by the Commission or upon appeal, the date the approval is granted by the Council subject to changes in zoning regulations.
3. In addition to the requirements set forth in this Design Review approval, this project shall comply with all applicable local, state, and federal laws.
4. Limits of disturbance/construction fencing indicated on the Construction Activity Plan shall remain in place for the duration of construction;
5. All building and fire code requirements as dictated by 2018 family of international codes and Title 15 of Ketchum Municipal shall apply to all construction onsite;
6. All Design Review elements shall be completed prior to final inspection;
7. All exterior lighting shall be in compliance with Ketchum Municipal Code, Chapter 17.132, Dark Skies, and approved prior the issuance of a Certificate of Completion;
8. The backyard alternative shown on Sheets L3-01B & L3-01B.1 shall be considered the backyard space for the project

#### **ATTACHMENTS:**

- A. Application & Plans
- B. Mountain Overlay Standards Evaluation
- C. Zoning and Dimensional Standards Evaluation
- D. Design Review Standards Evaluation

Attachment A  
Application & Plan Set



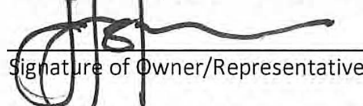
City of Ketchum  
Planning & Building

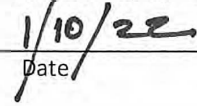
OFFICIAL USE ONLY
File Number:
Date Received:
By:
Fee Paid:
Approved Date:
Denied Date:
By:

**Mountain Overlay Design Review Application**

OWNER INFORMATION			
Project Name: McDermott Residence			
Owner Name: Ed McDermott, Betsy McDermott			
Mailing Address: PO Box 1788 Ross CA, 94957			
Phone: 415-518-7540			
Email: ehmcdermott@gmail.com, mcdermottbetsy@yahoo.com			
PROJECT INFORMATION			
Architect/Representative: CLB Architects, Jeffrey Johnston			
Phone: 307-413-0462			
Mailing Address: PO Box 9218 Jackson WY, 83002			
Email: jjohnston@clbarchitects.com			
Engineer of Record: KL&A Engineers and Builders, Rachel Harper PE			
Engineer Email: rharper@klaa.com			
Legal Land Description: Lot 1A BLK 91			
Project Address: 600 Walnut Avenue, Ketchum ID 83440			
Lot Area: .38 Acres			
Zoning District: LR			
Anticipated Use: Single Family Residential			
Number of Residential Units: 1			
TYPE OF CONSTRUCTION			
<input checked="" type="checkbox"/> New	<input type="checkbox"/> Remodel	<input type="checkbox"/> Addition	<input type="checkbox"/> Other, please explain:
TOTAL FLOOR AREA			
Proposed		Existing	
Basement: 1117.5			
1 <sup>st</sup> Floor: 4286			
2 <sup>nd</sup> Floor: 3861			
3 <sup>rd</sup> Floor: N/A			
Decks: 1107			
Mezzanine: 362			
Total: 10,760.5			
Building Coverage: 4344 SF 32 %		Curb Cut: 0 SF 0 %	
PROPOSED SETBACKS			
Front: 15	Side: 1 6.25 @ South	Side: 1 6.25 @ North	Rear: 20
ADDITIONAL INFORMATION			
Building Height: 32' 4.75"		Parking Spaces Provided: 3	
Will Fill or Excavation Be Required? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>			
If Yes, Amount in Cubic Yards Fill: none		Excavation: 2000 cy	
Will Existing Trees or Vegetation Be Removed? Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>			

Applicant agrees in the event of a dispute concerning the interpretation or enforcement of the Mountain Overlay Design Review Application, in which the City of Ketchum is the prevailing party, to pay reasonable attorney fees, including attorney fees on appeal, and expenses of the City of Ketchum. I, the undersigned, certify that all information submitted with and upon this application form is true and accurate to the best of my knowledge and belief.

  
Signature of Owner/Representative

  
Date

# MOUNTAIN OVERLAY DESIGN REVIEW EVALUATION STANDARDS

Design review applications shall be made and processed according to the regulations contained in Chapter 17.96 of this title and as follows:

Criteria and Standards: The following list of criteria and those contained in Section 17.96.090 of this Title must be considered and addressed by each applicant seeking Design Review approval. The Commission will use this list of Design Review criteria along with that contained in Section 17.96.090 of this title as a basis to determine whether a project is to be approved, approved with conditions or denied:

1. There shall be no building on ridges or knolls which would have a material visual impact on a significant skyline visible from a public vantage point entering the City or within the City. "Material", as the term is used herein, shall be construed in light of the magnitude of the negative impact on the objectives of this section;
2. Building, excavating, filling and vegetation disturbance on hillsides which would have a material visual impact visible from a public vantage point entering the City or within the City shall be minimized. "Material", as the term is used herein, shall be construed in light of the magnitude of the negative impact on the objectives of this section;
3. Driveway standards as well as other applicable standards contained in title 12, Chapter 12.04 of this code shall be met;
4. All development shall have access for fire and other emergency vehicles to within one hundred fifty feet (150') of the furthest exterior wall of any building;
5. Significant rock outcroppings shall not be disturbed;
6. International Building Code (IBC) and International Fire Code (IFC) and Ketchum Fire Department requirements shall be met;
7. Public water and sewer service shall comply with the requirements of the City;
8. Drainage shall be controlled and maintained to not adversely affect other properties;
9. Cuts and fills allowed for roadways shall be minimized; lengths of driveways allowed shall be minimized; all cuts and fills shall be concealed with landscaping, revegetation and/or natural stone materials. Revegetation on hillsides with a clear zone of thirty feet (30') around all structures is recommended. Said clear zone shall include low combustible irrigated vegetation with appropriate species, on file with the Ketchum Planning Department. Revegetation outside of this clear zone should be harmonious with the surrounding hillsides;
10. Are there other sites on the parcel more suitable for the proposed development in order to carry out the purposes of this section;
11. Access traversing twenty five percent (25%) or greater slopes does not have significant impact on drainage, snow and earthslide potential and erosion as it relates to the subject property and to adjacent properties;
12. Utilities shall be underground;
13. Limits of disturbance shall be established on the plans and protected by fencing on the site for the duration of construction;



14. Excavations, fills and vegetation disturbance on hillsides not associated with the building construction shall be minimized; and
  15. Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.
  16. Encroachments of below grade structures into required setbacks are subject to subsection 17.128.0250K of this title and shall not conflict with any applicable easements, existing underground structures, sensitive ecological areas, soil stability, drainage, other sections of the Code or other regulating codes such as International Code Council Codes, or other site features concerning health, safety, and welfare.
- On Site Review: On site review by the members of the commission is required prior to taking action on said design review application. Extreme weather conditions or inordinate depth of snow may cause the commission to delay said on site review not more than one hundred eighty (180) days.

# APPLICATION CHECKLIST

Please utilize and submit the checklist on the following pages to ensure a complete application.

## MOUNTAIN OVERLAY DESIGN REVIEW APPLICATION CERTIFICATION OF COMPLETENESS

Project Name: McDermott Residence

Date: 01.10.22

Reviewed by:

### DOCUMENTS

Application form

### SETS OF PLANS

One (1) copy of full-sized; One (1) 11x17 reduced; and CD, flash drive or email (.pdf) of plans

### EXISTING SITE CONDITIONS

- Survey of exterior boundary lines of the property together with dimensions, produced by a licensed engineer or surveyor;
  - Topographic survey of the real property at a minimum of two (2) foot contour intervals, significant hillsides may be a minimum of ten (10) foot contour intervals;
  - Location of any existing dwelling units, other structures and all improved areas (pavement) with dimensions thereof showing the setback of each structure from the nearest property line;
  - Location and rights-of-way of adjacent streets and public rights-of-way;
  - Location and dimensions of easements, private and public, within and adjacent to the proposed project together with the purpose thereof;
  - Location of existing sewer, water, drainage and other utility lines indicating size and depth;
  - Location of all existing significant trees, conifers six (6) inches dbh and deciduous two (2) inch caliper and greater;
  - Location and dimensions of easements, private and public, within and adjacent to the proposed project together with the purpose thereof;
  - Indication of any zoning district overlay which effects the property (flood or avalanche); Location of existing structures on adjacent properties; and,
  - The subdivision plat of the property certified by a licensed engineer or surveyor, except tax lots;

### PROPOSED SITE PLAN

- Vicinity map;
  - Contour lines of two (2) foot intervals to show existing and proposed topography of the property;
  - Location of all proposed structures (buildings) and all improved areas (pavement, sidewalk) with dimensions thereof showing the setback of each structure from the

- nearest property line;
- Drip line of all buildings;
- Location of on-site parking spaces and access thereto including the dimensions of the spaces and the width and length of access and curb cuts;
- Location and dimensions of snow storage areas;
- Location and type of all heating, ventilation, air conditioning and other mechanical units;
- Percentage of the lot coverage by proposed building and parking areas together with the total square footage of the parcel of property; and,
- Location of all existing trees to be preserved and significant trees to be removed;

**ENGINEERING PLAN:**

- ✓ Engineering plans, prepared by a licensed engineer, not less than one (1) inch equals ten (10) feet;
  - Proposed utility improvements including water, sewer, power, cable, telephone and all other utilities;
  - Proposed grading plan with minimum two foot contours and amount of cut and fill in cubic yards;
  - Proposed drainage plan including adjacent public rights-of-way. Provide calculations and test pit information to support design of conveyance and disposal systems;
  - Proposed designs for all public and private vehicular and pedestrian circulation including curb cuts, parking lot layout, curb and gutter and sidewalks. This information should include elevations, slopes, aisle and parking dimensions and turning radii. Other information to support the proposed design should be submitted; and,
  - Drainage plan for any underground parking garage.

**LANDSCAPE PLAN**

- ✓ All existing vegetation over 2 inches in caliper, including size and species;
  - Proposed landscaping of the project including types, quantities and sizes of trees, shrubs, ground cover and other vegetation;
  - Proposed landscaping or other improvements within any public rights-of-way;
  - Location, type (materials and colors) and height of walls or fences;
  - Location of parking areas;
  - Location of vehicular and pedestrian circulation patterns, easements and proposed improvements with regard thereto;
  - Irrigation system for landscaping; and,
  - Drainage plan including off-site improvements.

**ARCHITECTURAL PLANS**

- Floor plans of all floors at not less than one-eighth (1/8) scale;
- All exterior elevations;
- Roof plan including direction of snow sliding and snow clips if applicable. Location and type of all mechanical equipment and rooftop appurtenances;
- Cross-section(s) of the property and proposed building adequately establishing the natural grade, finished grade, slope of land, slope of proposed accesses and

- grades to all public rights-of-way;
- Location and type (cut sheets) of all exterior lighting; and,
- A model or computer simulation renderings, if required at preapplication design review meeting

#### **GENERAL INFORMATION**

- ✓ Building corners for all proposed buildings and additions shall be staked on the site and all trees proposed to be removed shall be flagged at least one week prior to the Commission meeting. Story poles may be required to be installed one week prior to the Commission meeting.
- ✓ All commercial projects; all residential projects with 4 or more units - Stamp: Licensed architect or engineer.

# MCDERMOTT RESIDENCE

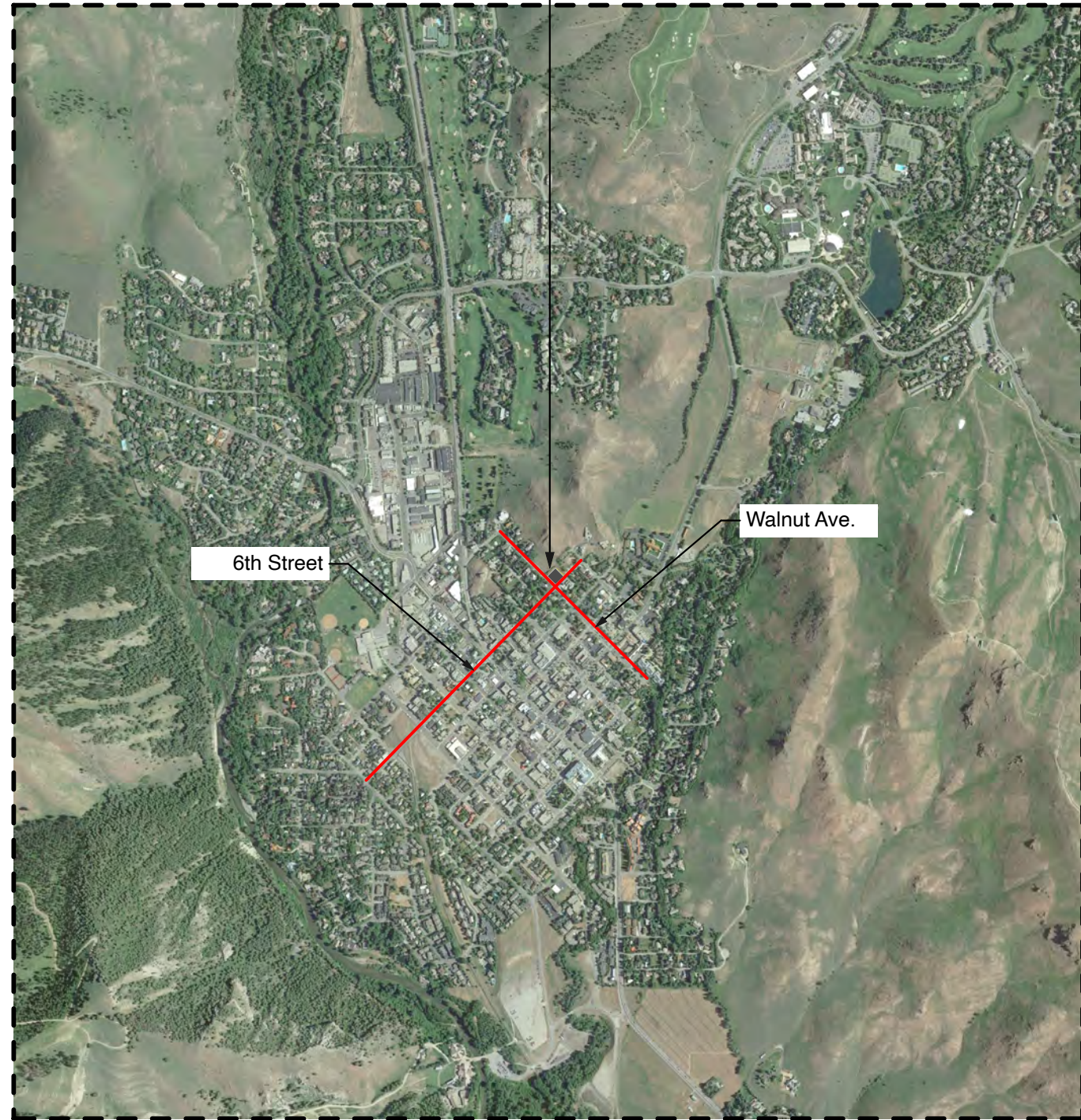
## Ketchum, ID

# PROJECT ADDRESS

600 Walnut Ave  
 Lot 1A Blk 91  
 Ketchum, Idaho, 83340

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- Vicinity Map and Table of Contents
- Existing Site Conditions: Survey
- Engineering Plan: Grading and Drainage Plan
- Engineering Plan: Utility Plan
- Engineering Plan: Details
- Engineering Plan: Details
- Landscape: Cover Page
- Proposed Site Plan: Hardscape Ref
- Proposed Site Plan: Softscape Ref
- Landscape: General Information
- Landscape: General Information
- Landscape: Plant Protection and Removal Plan
- Landscape: Site Materials Plan
- Landscape: Site Materials Palette
- Landscape: Site Rendering
- Landscape: Site Rendering
- Landscape: Slope Analysis
- Landscape: Site Layout Plan
- Landscape: Conceptual Site Grading/Drainage Plan
- Landscape: Site Details
- Landscape: Site Details
- Landscape: Site Details
- Landscape: Site Details
- Landscape: Site Details
- Landscape: Site Details
- Landscape: Site Details
- Landscape: Site Planting Plan
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- Architectural: Lower Level Lighting Plan
- Architectural: Upper Level Lighting Plan
- Architectural: Landscape Lighting Plan
- Architectural: Lighting Schedule
- Architectural: Lighting Cut Sheets
- Contractor: Construction Activity Plan and Summary



# CLB

ARCHITECTS

King Street Studio 307 733 4000  
 215 South King St.  
 Jackson, WY 83001

Cannery District Studio 406 206 5554  
 109 E. Oak St., Ste. 1C  
 Bozeman, MT 59715

www.clbarchitects.com

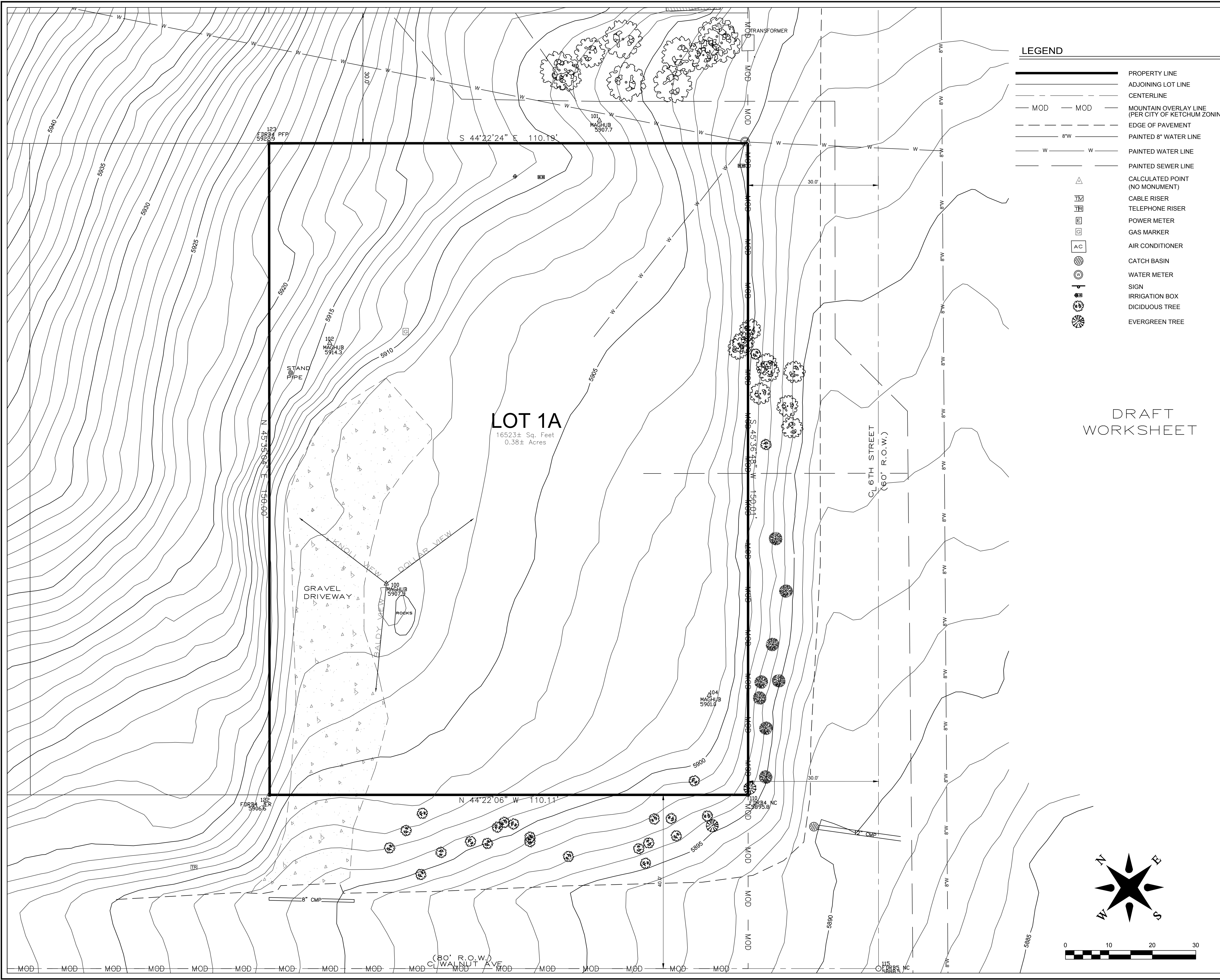
Project Name: McDermott Residence

Project Number: 2028.00

Date: 3/29/22

## A1.2

### Vicinity Map



**LEGEND**

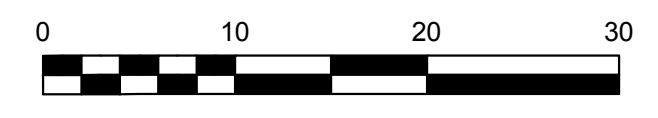
	PROPERTY LINE
	ADJOINING LOT LINE
	CENTERLINE
	MOUNTAIN OVERLAY LINE (PER CITY OF KETCHUM ZONING)
	EDGE OF PAVEMENT
	PAINTED 8" WATER LINE
	PAINTED WATER LINE
	PAINTED SEWER LINE
	CALCULATED POINT (NO MONUMENT)
	CABLE RISER
	TELEPHONE RISER
	POWER METER
	GAS MARKER
	AIR CONDITIONER
	CATCH BASIN
	WATER METER
	SIGN
	IRRIGATION BOX
	DICIDUOUS TREE
	EVERGREEN TREE

DRAFT  
WORKSHEET

**NOTES**

- SURVEY NARRATIVE:**
- THE PURPOSE OF THIS MAP IS TO SHOW 1' CONTOUR LINES, EDGE OF ASPHALT AND SELECT VISIBLE FEATURES IN RELATION TO PLATTED LOT LINES AND EASEMENTS. LOT LINES ARE BASED ON FOUND MONUMENTS. ALL FOUND MONUMENTS WERE ACCEPTED AS EITHER ORIGINAL CORNERS, OR REPLACEMENTS OF ORIGINAL CORNERS.
  - REFERENCED SURVEYS: KETCHUM TOWNSITE; BLOCK 91, LOT 1A, INST. # 652564.
  - BOUNDARY DIMENSIONS SHOWN HEREON ARE MEASURED. FOR RECORD DIMENSIONS, SEE REFERENCED SURVEYS.
  - VERTICAL DATUM: ELEVATIONS BASED ON ASSUMED DATUM.
  - UNDERGROUND UTILITIES WERE NOT LOCATED AND ARE NOT SHOWN HEREON.
  - THIS MAP WAS PREPARED FOR THE EXPRESS USE OF THE CLIENT AND IS NOT TRANSFERABLE TO OTHERS WITHOUT WRITTEN CONSENT.
  - A TITLE POLICY HAS NOT BEEN SUBMITTED TO BENCHMARK ASSOCIATES, NOR HAS A TITLE SEARCH BEEN REQUESTED. CERTAIN INFORMATION CONTAINED WITHIN SAID POLICY MAY NOT APPEAR ON THIS MAP OR MAY AFFECT ITEMS SHOWN ON THIS MAP.
  - ELECTRONIC DATA: BENCHMARK ASSOCIATES ACCEPTS NO RESPONSIBILITY OR LIABILITY FOR THE REUSE, DISTRIBUTION OR ACCURACY OF DATA CONTAINED ON ELECTRONIC COPIES OF THIS DRAWING. THE STAMPED HARD COPY OF THIS DRAWING IS THE FINAL PRODUCT.
  - THIS DRAWING IS VOID AFTER 2 YEARS AND NO FURTHER COPIES OR DIGITAL FILES WILL BE TRANSMITTED.
- EASEMENTS, ENCUMBRANCES AND RESTRICTIONS:**
- BUILDING AREA: A BUILDING ENVELOPE IS NOT SHOWN ON PLAT. SETBACK AND FOOTPRINT REQUIREMENTS ARE PER CURRENT CITY OF KETCHUM ORDINANCES. IT IS RECOMMENDED THAT SAID ORDINANCES BE REVIEWED PRIOR TO DESIGN.
  - GENERAL RESTRICTIONS: EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS MAP, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY APPLICABLE TO THE SUBJECT OF REAL ESTATE: EASEMENTS, OTHER THAN THOSE SHOWN OR LISTED HEREON, BUILDING SETBACK LINES, RESTRICTIVE COVENANTS, SUBDIVISION RESTRICTIONS, ZONING, WETLANDS, AVALANCHE OR ANY OTHER LAND-USE REGULATIONS OR HAZARDS.
- SURVEY AND SITE FEATURES:**
- BASIS OF BEARINGS IS PER PLAT.
  - BOUNDARY LINES AND CERTAIN EASEMENTS SHOWN HEREON ARE PER PLAT. REFER TO PLAT & CC&R'S FOR CONDITIONS AND/OR RESTRICTIONS REGARDING THIS PROPERTY.
  - UTILITIES AND DRAIN PIPES IF SHOWN HEREON ARE PER SURFACE EVIDENCE ONLY. OTHER UNDERGROUND UTILITIES MAY EXIST. LOCATION OF PAINTED UNDERGROUND UTILITIES AND SERVICES SHOULD BE CONFIRMED PRIOR TO EXCAVATION OR DESIGN.
  - BUILDING WALLS IF SHOWN HEREON ARE OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
  - SPRINKLER HEADS AND IRRIGATION LINES ARE NOT SHOWN HEREON.
  - TREE LOCATIONS AND DRIP LINES IF SHOWN HEREON ARE APPROXIMATE.
  - ORTHO PHOTOGRAPHY: PHOTO RECTIFIED AT GROUND LEVEL ONLY. IMAGES OF OBJECTS ABOVE GROUND LEVEL (TREES, BUILDINGS, POWER POLES, ETC.) MAY BE DISPLACED. DATE OF PHOTOGRAPHY: MAY 2017.
  - CONTOUR INTERVAL: 1' - CONTOURS IN AREAS OF DENSE VEGETATION MAY DEVIATE FROM TRUE ELEVATION BY ONE HALF THE HEIGHT OF THE VEGETATION. DATE OF LIDAR FLIGHT FOR CONTOURS: 2017.
  - MAP SCALE: DUE TO ELECTRONIC MAP DELIVERY AND ALTERNATE PRINTING METHODS, PLEASE USE BAR SCALE TO DETERMINE ACTUAL PRINTED SCALE.
  - FEATURES OBSCURED FROM VIEW BY DEBRIS, SNOW, VEGETATION OR VEHICLES AT THE TIME OF SURVEY, DO NOT APPEAR ON THIS MAP.
  - MAP UPDATED 2/18/2021 TO SHOW 2017 LIDAR CONTOURS AND UPDATED LOT LINES. CHANGES MAY HAVE OCCURRED SINCE 2017.
- PREPARED BY:  
BENCHMARK ASSOCIATES, P.A.  
P.O. BOX 733 - 100 BELL DRIVE, KETCHUM, IDAHO, 83340  
PHONE (208)726-9512 FAX (208)726-9514  
WEB: <http://benchmark-associates.com>  
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DRAFT  
WORKSHEET

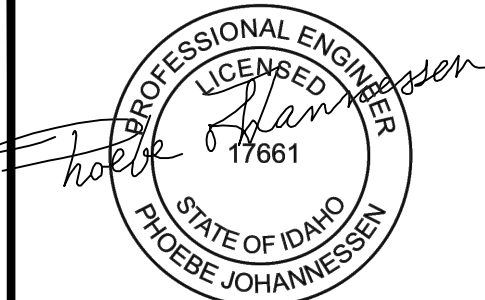


**KETCHUM TOWNSITE  
BLOCK 91, LOT 1A**

LOCATED WITHIN  
SECTION 18, TOWNSHIP 4 NORTH, RANGE 18 EAST, B.M.,  
CITY OF KETCHUM, BLAINE COUNTY, IDAHO

PREPARED FOR :

PROJECT NO. 21012	DWG BY: DWS	CRD: 21012.CRD	21012 TOPO.DWG
A TOPOGRAPHIC MAP	DATE OF SURVEY: 7/06/2016		SHEET: 1 OF 1



5/4/22

**GENERAL NOTES**

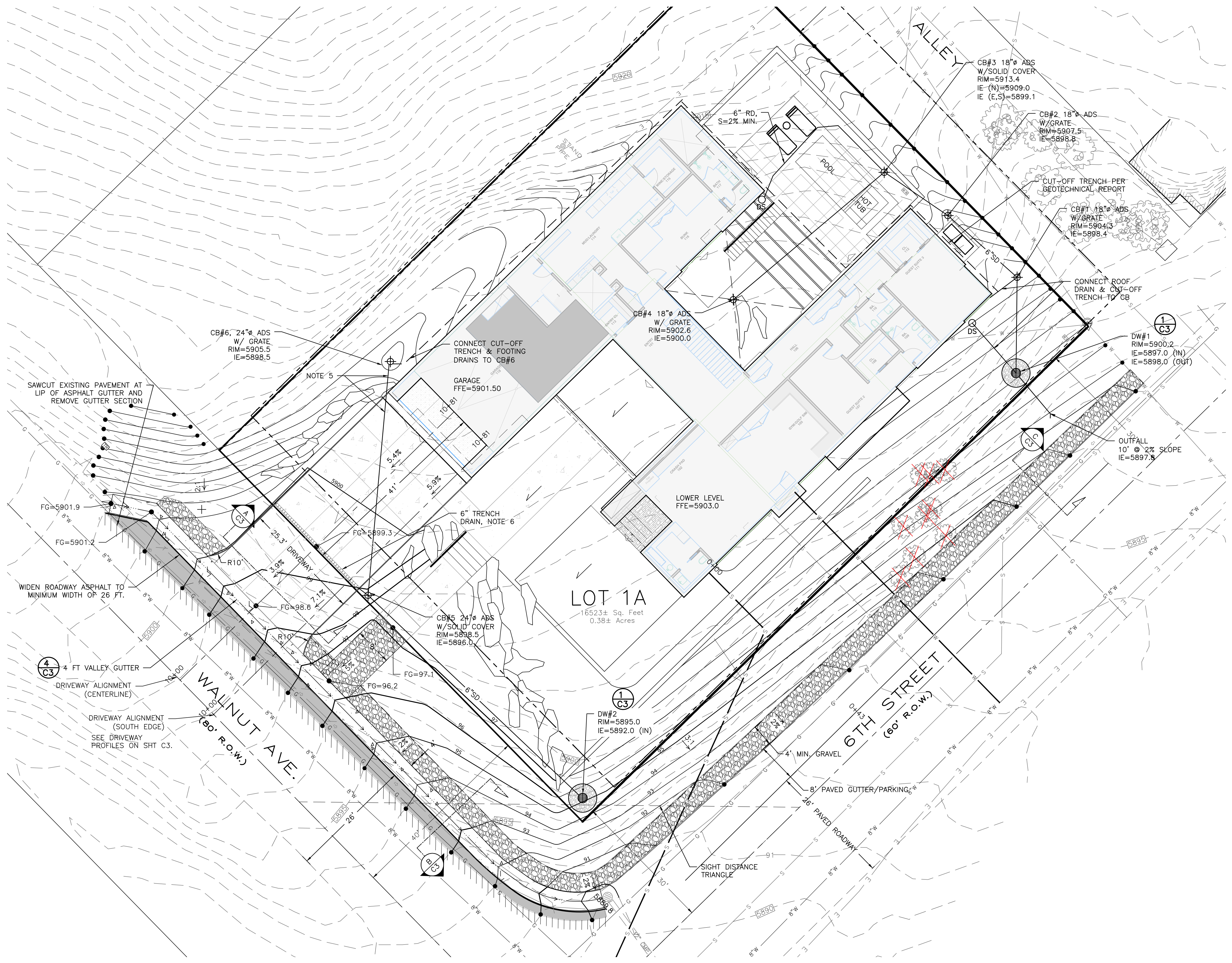
- CONTRACTOR SHALL FIELD VERIFY LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING CONSTRUCTION. ANY CONFLICT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
- CONTRACTOR SHALL NOTIFY DIGLINE (1-800-342-1585) AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES ENCOUNTERED DURING CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL DURING THE CONSTRUCTION OF ALL ITEMS HEREON. DUST CONTROL SHALL BE CONTINUOUS DURING CONSTRUCTION, 24 HOURS PER DAY 7 DAYS PER WEEK.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM THE HOUSE.
- SLEEVE STORM DRAIN UNDER WALL WITH 10-FT SECTION OF PVC PIPE CENTERED UNDER WALL.
- TRENCH DRAIN SHALL BE A 6" WIDE HDPE CHANNEL WITH A 0.75" BUILT IN CHANNEL SLOPE (ZURN FLO-THRU MODEL Z886 OR EQUIVALENT). GRATE SHALL BE DUCTILE IRON WITH A SLOTTED PATTERN. CATCH BASIN SHALL BE 6' WIDE X 20" LONG X 20" DEEP AND SHALL BE MADE OF HDPE. OUTLET PIPE SHALL BE 4" DIAMETER. (FLO-THRU MODEL Z887 OR EQUIVALENT). ALL COMPONENTS SHALL BE RATED FOR H2O LOADING.
- 24" ADS CATCH BASINS SHALL BE PER DETAIL 2, SHT C3.
- 18" ADS CATCH BASINS SHALL BE PER DETAIL 3, SHT C3.
- REFER TO LANDSCAPING PLANS FOR ON-SITE GRADING.
- ALL WORK WITHIN THE CITY RIGHT OF WAY SHALL CONFORM TO CITY OF KETCHUM STANDARDS.

**ESTIMATE OF CUT/FILL VOLUMES:**

CUT: 2,000 CY  
FILL: 0 CY

**LEGEND**

PROPERTY LINE	---
ADJOINING PROPERTY LINE	---
CENTERLINE	---
SEWER	---
SEWER MANHOLE	⊙
WATER	---
GAS	---
POWER	---
TELEPHONE	---
EXISTING CONTOUR	---5775---
PROPOSED CONTOUR	---5775---
SAWCUT LINE	---/---/---
FLOW LINE	→
DRYWELL	⊙
STORM DRAIN PIPE	4"SD
CUT-OFF TRENCH	DS
DOWN SPOUT	⊙
ADS CATCH BASIN	⊕
EXIST TREE TO BE REMOVED	⊗
EXIST IRRIGATION BOX	⊕
ASPHALT PAVEMENT	▨
CONCRETE PAVEMENT	▩
GRAVEL	▨
FG	---
EG	---
ME	---
IPCO	---



NO.	REVISIONS	DESCRIPTION	DATE	BY



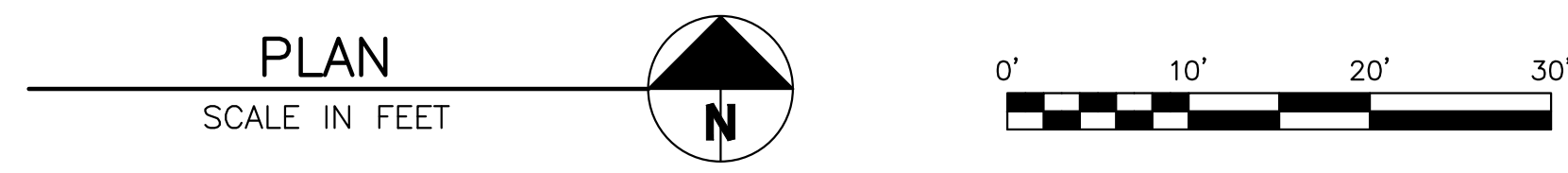
PREPARED BY:  
BENCHMARK ASSOCIATES, P.A.  
P.O. BOX 733 100 BELL DRIVE  
KETCHUM, IDAHO 83340  
(208) 726-9512  
FAX 726-9514  
WEB: WWW.BMASB.COM  
MAIL: WWW.BMASB.COM

**GRADING & DRAINAGE PLAN**  
KETCHUM TOWNSITE BL 91, LOT 1A  
T4N, R18E, SEC 18, B.M., KETCHUM, IDAHO  
PREPARED FOR: CLB ARCHITECTS

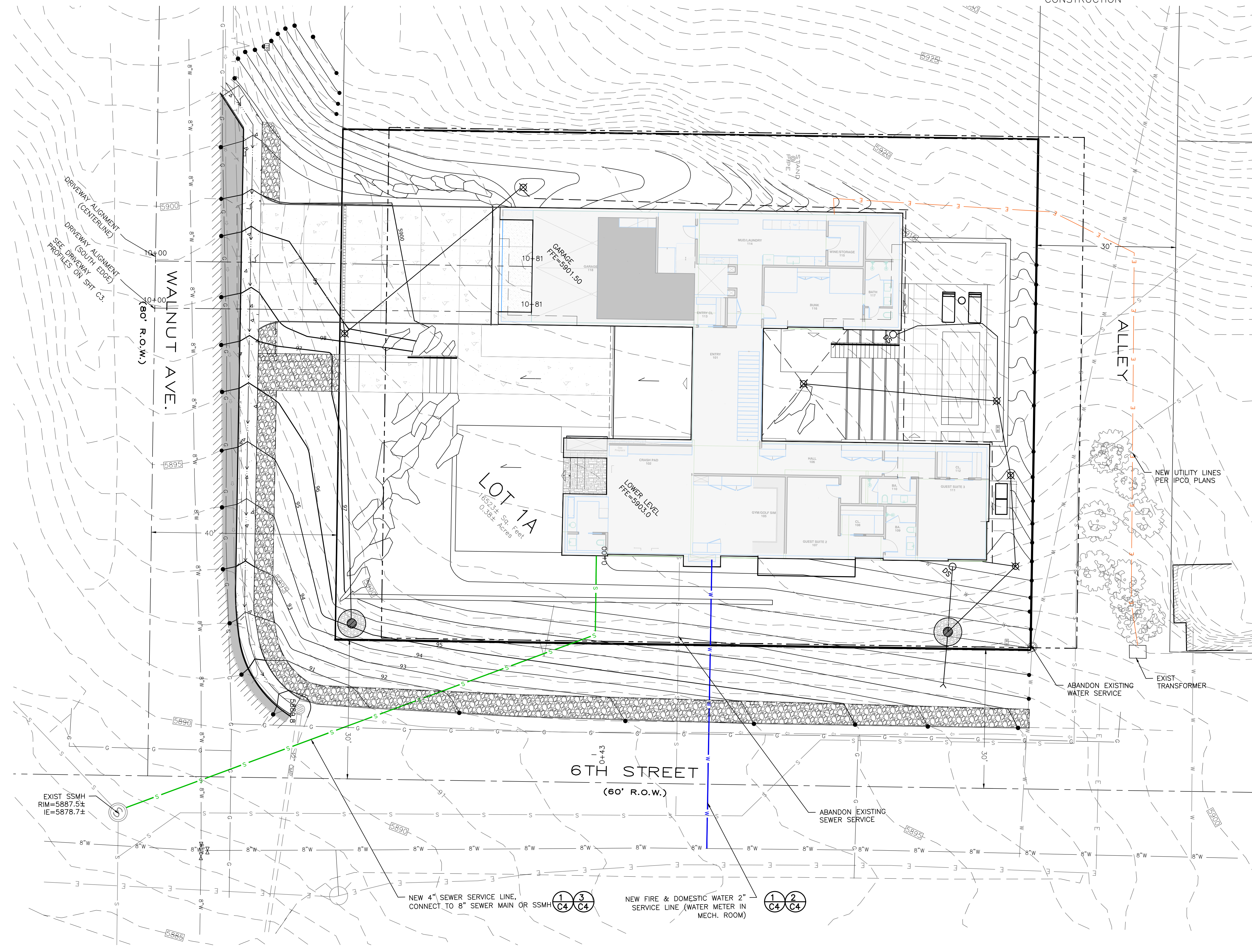
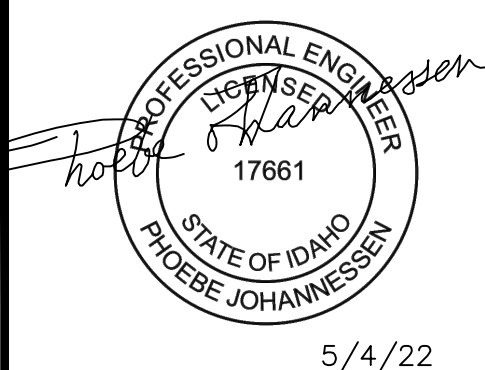
DRAWN BY: PLJ  
DESIGNED BY: PLJ  
CHECKED BY: SB  
DATE: 5/4/2022  
PROJECT NO.: 21047

DRAWING NO.

**C1**



PERMIT SET - NOT FOR CONSTRUCTION



REVISIONS	NO.	DESCRIPTION	DATE	BY
	1			

**BENCHMARK ASSOCIATES**

PREPARED BY:  
BENCHMARK ASSOCIATES, P.A.  
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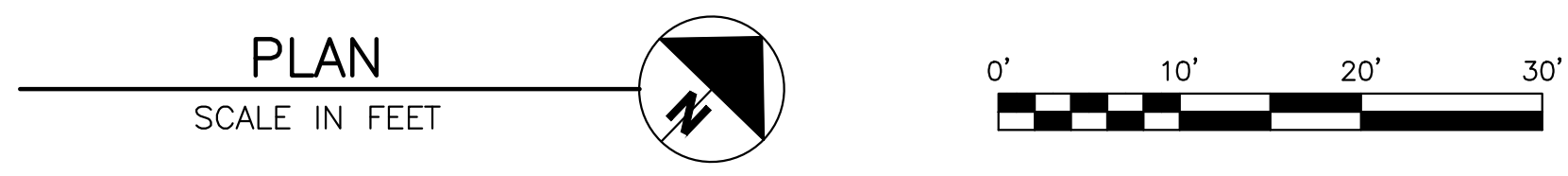
**UTILITY PLAN**

KETCHUM TOWNSITE BL 91, LOT 1A  
T4N, R18E, SEC 18, B.M., KETCHUM, IDAHO

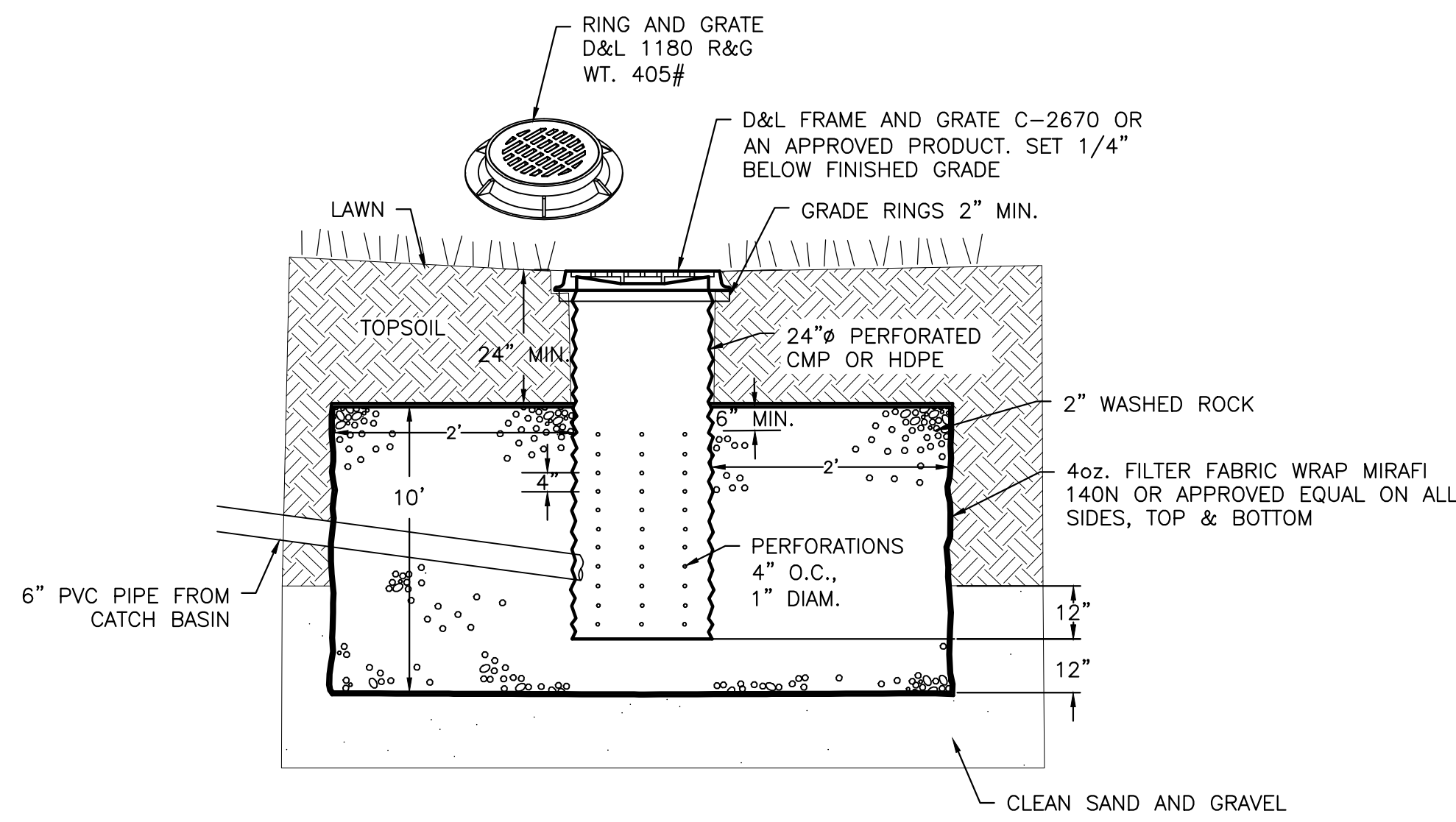
PREPARED FOR: CLB ARCHITECTS

DRAWN BY:	PLJ
DESIGNED BY:	PLJ
CHECKED BY:	
DATE:	5/4/2022
PROJECT NO.:	21047

DRAWING NO.  
**C2**



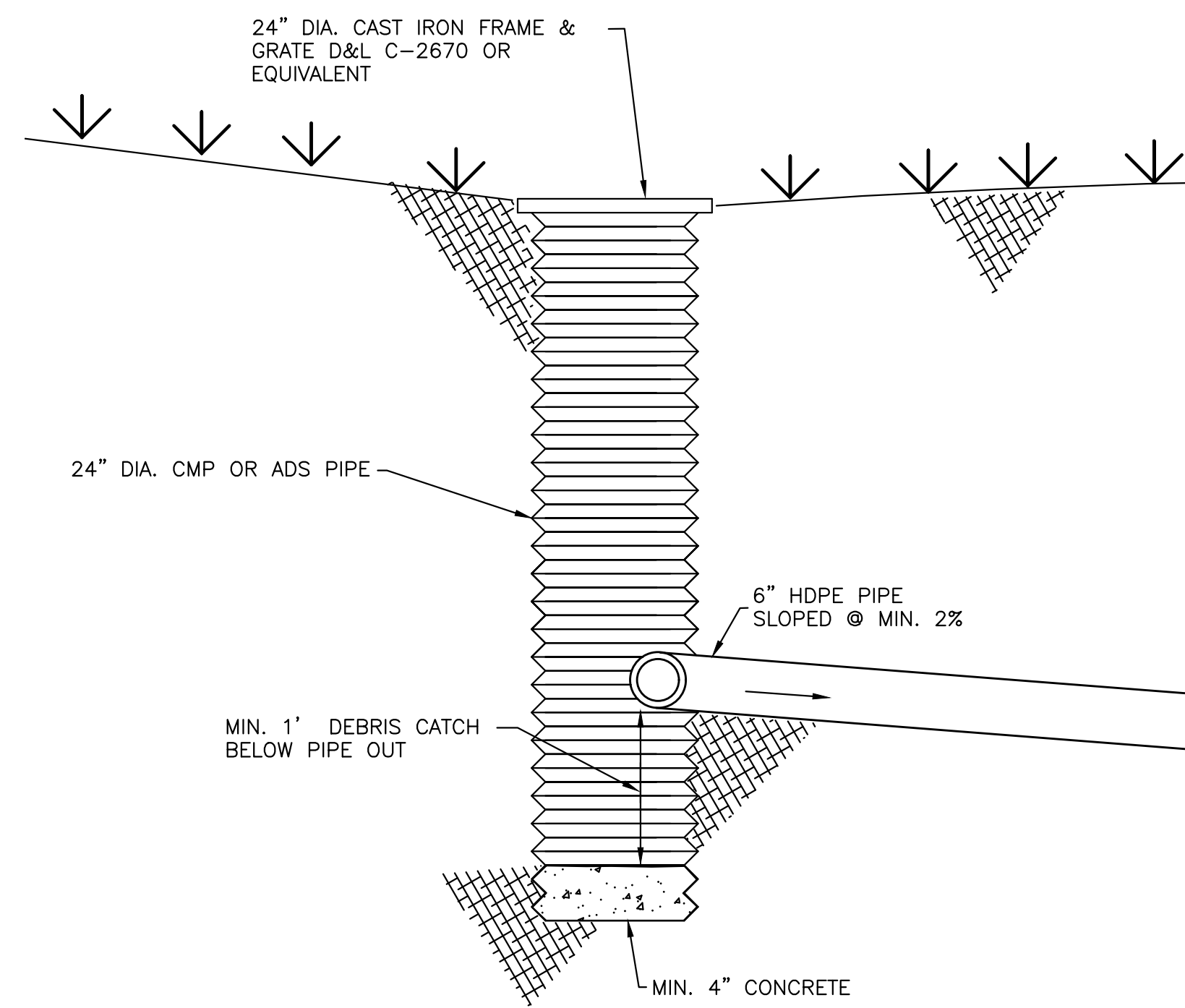




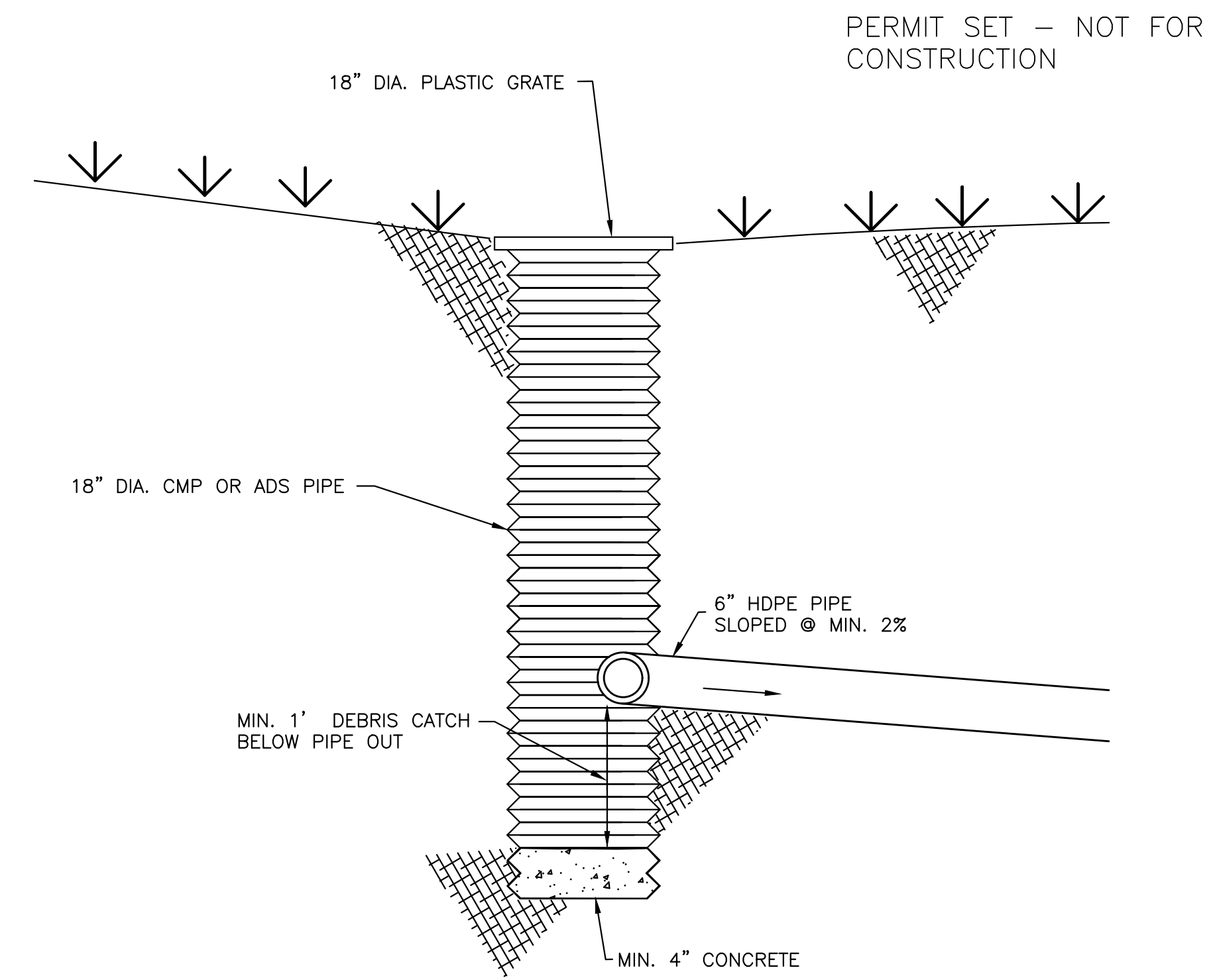
**NOTES:**

1. THE BED SHALL BE EXCAVATED A MINIMUM OF 24" INTO CLEAN SAND AND GRAVEL.
2. MAXIMUM DEPTH SHALL NOT EXCEED 12 FEET.
3. IF CLEAN SAND AND GRAVEL IS NOT ENCOUNTERED WITHIN 12 FEET, THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER.
4. GRATE OR SOLID LID AS APPROVED BY CITY OF KETCHUM.

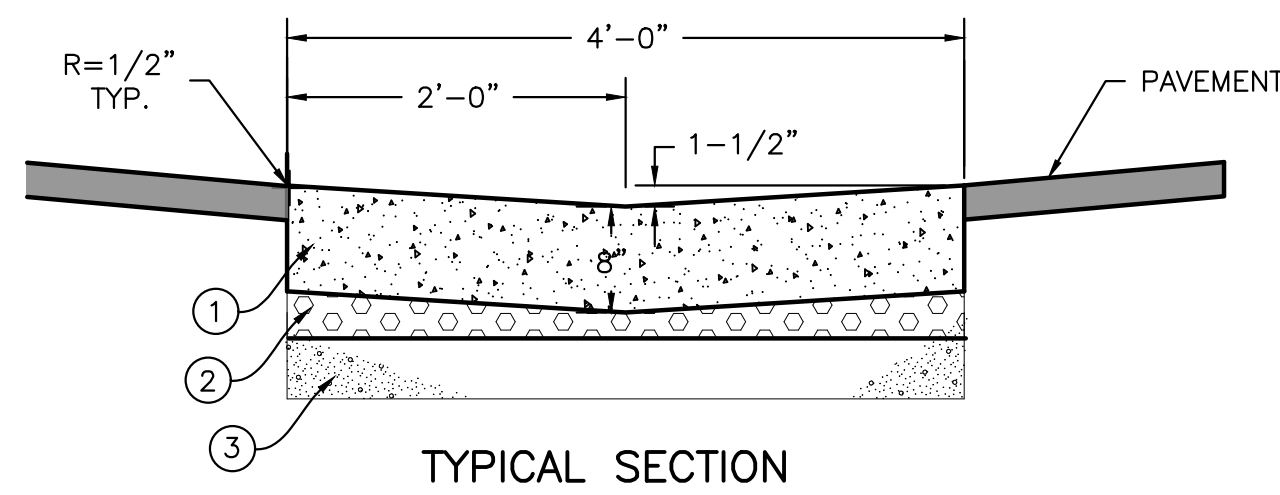
**1** TYPICAL DRYWELL DETAIL  
C1 SCALE: NONE



**2** 24-INCH ADS CATCH BASIN  
C1 SCALE: NONE



**3** 18-INCH ADS CATCH BASIN  
C1 SCALE: NONE



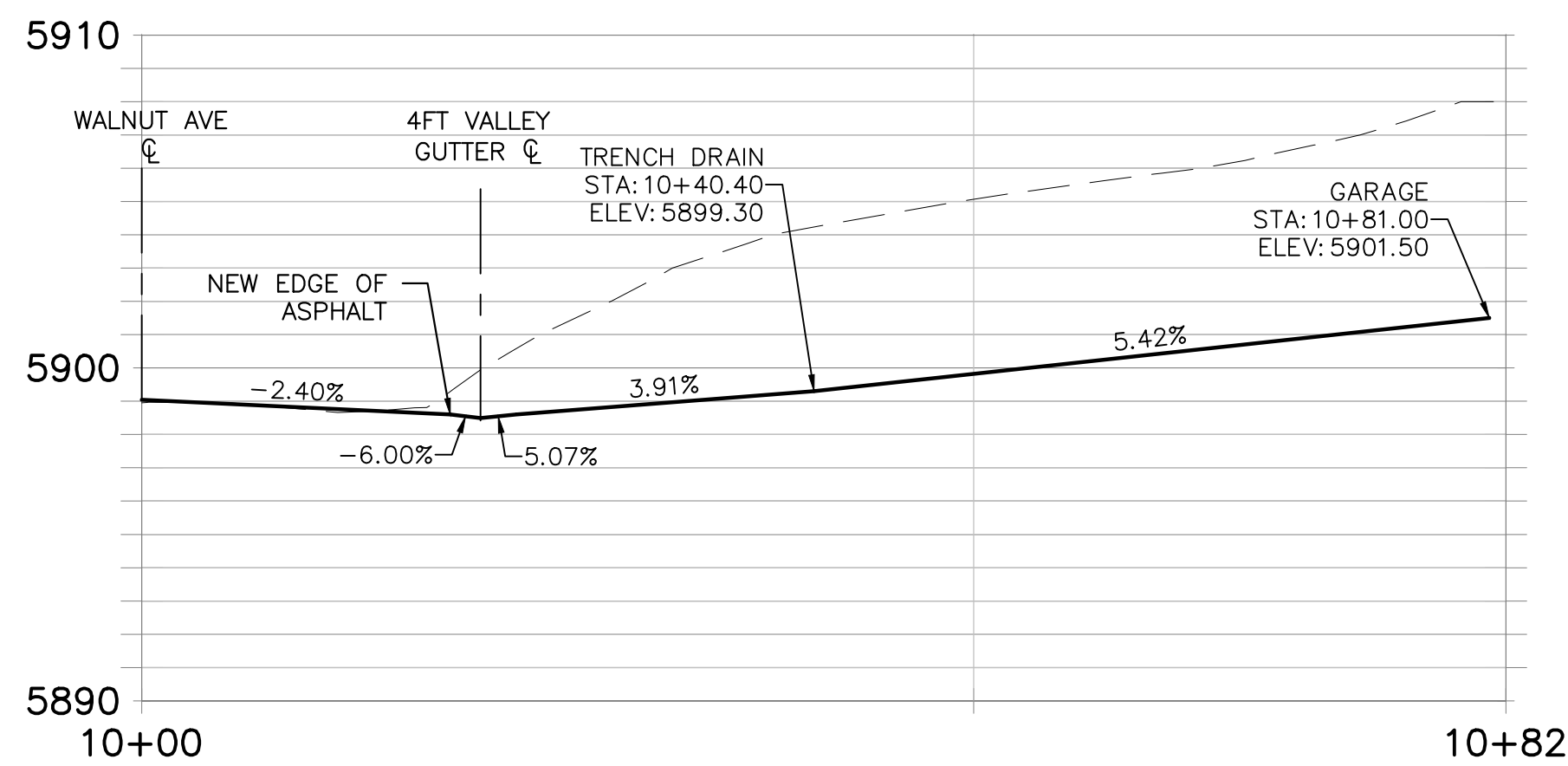
**LEGEND**

- 1 8-INCH THICK CONCRETE
- 2 2" MIN. OF 3/4" TYPE 1 AGGREGATE BASE
- 3 6" OF 2" TYPE II SUBBASE

**NOTES:**

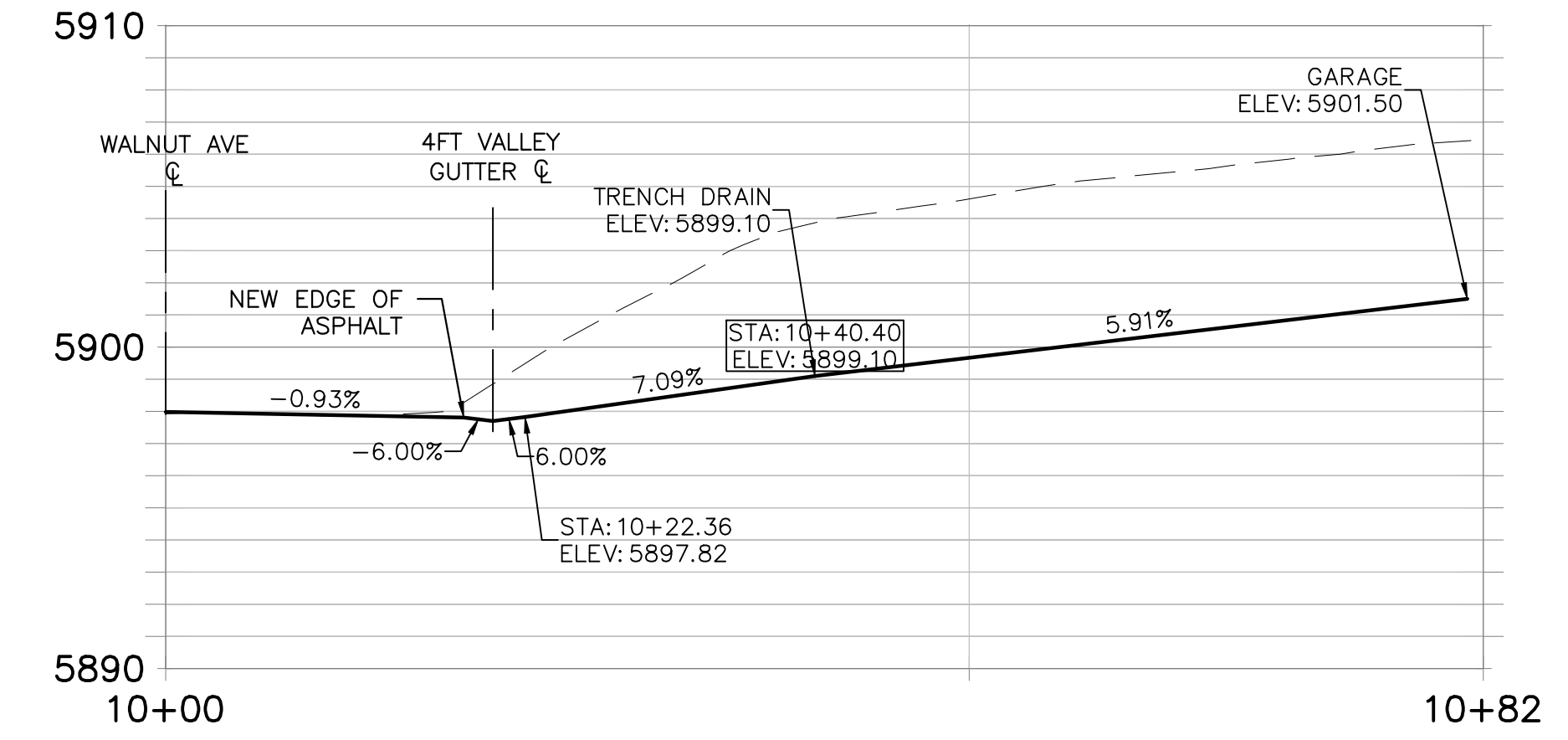
1. 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADII.
2. CONTINUOUS PLACEMENT PREFERRED. SCORE INTERVALS TO MATCH SIDEWALK WITH 10-FOOT MAXIMUM SPACING.
3. MATERIALS SHALL CONFORM WITH CURRENT ISPCW STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.

**4** 4 FT CONCRETE VALLEY GUTTER  
C1 SCALE: N.T.S.



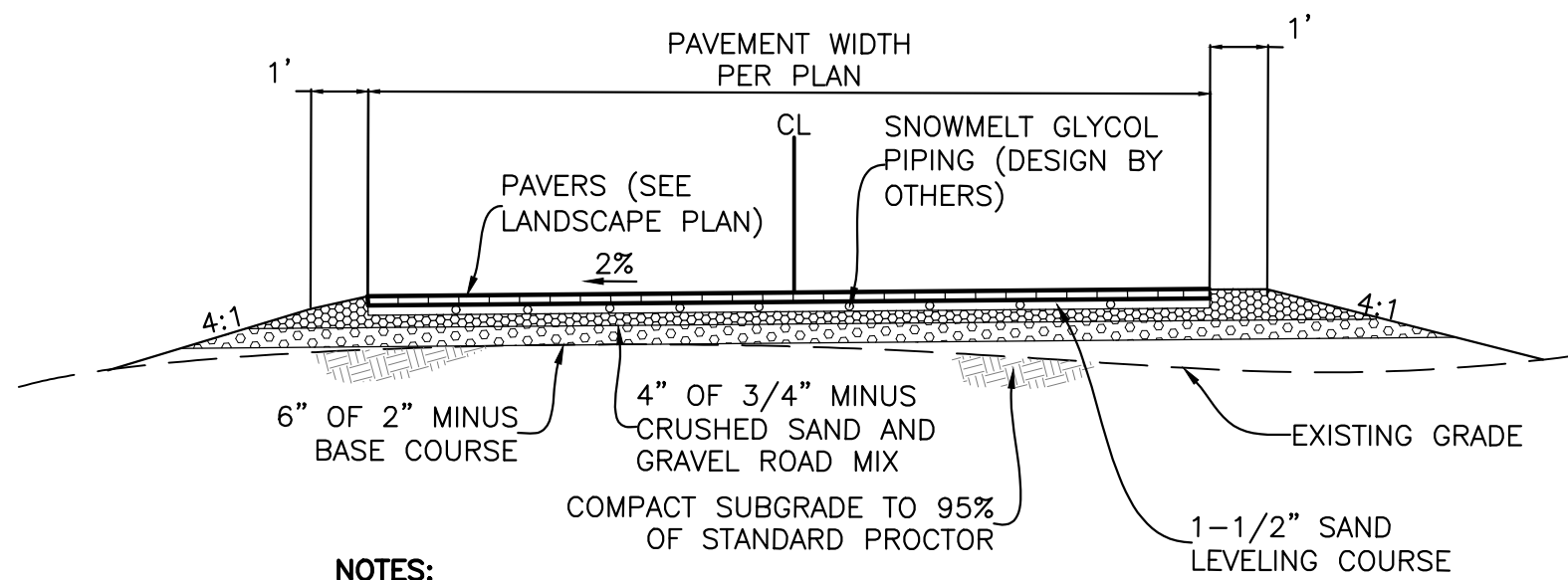
CENTERLINE DRIVEWAY PROFILE

HORIZ: 1"=10'  
VERT: 1"=5'



DRIVEWAY PROFILE (SOUTH EDGE)

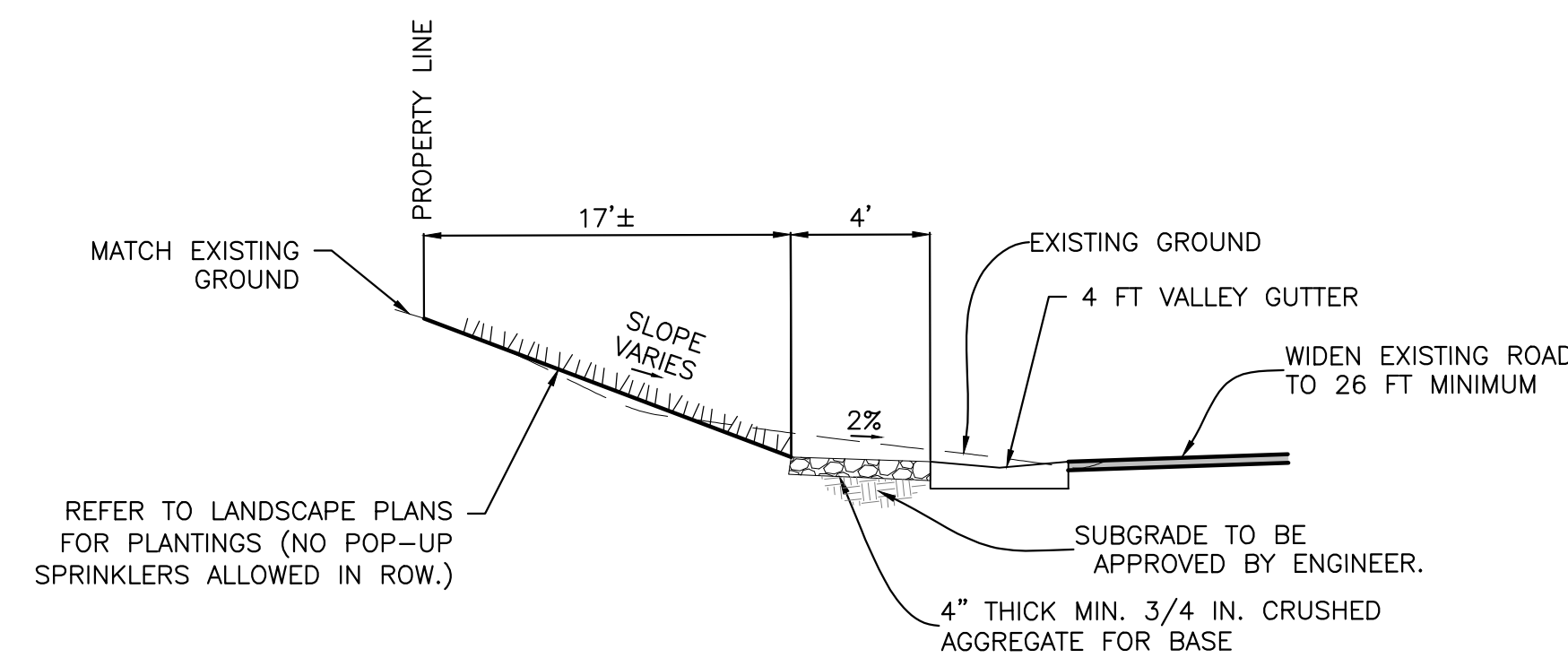
HORIZ: 1"=10'  
VERT: 1"=5'



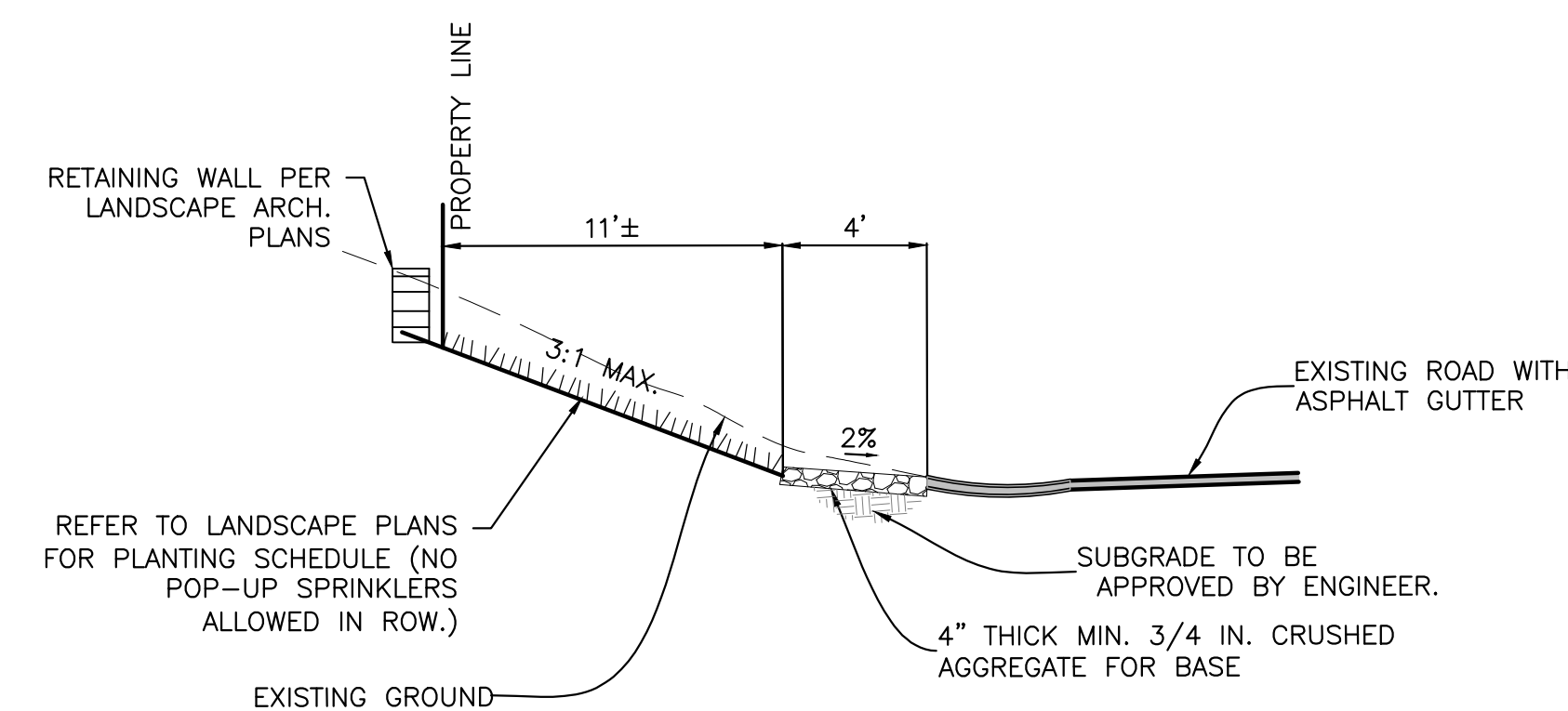
**NOTES:**

1. COMPACT DRIVEWAY SUBGRADE AND ALL STRUCTURAL FILL MATERIAL TO AT LEAST 95% OF THE MAXIMUM DENSITY OF EACH MATERIAL ACCORDING TO STANDARD PROCTOR ASTM D-698.

**A** DRIVEWAY SECTION  
C1 SCALE: NONE

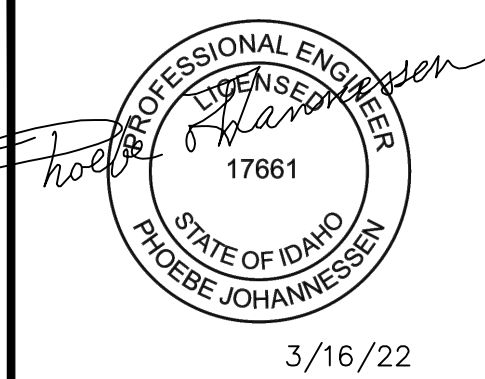


**B** ROAD SHOULDER SECTION (WALNUT AVE)  
C1 SCALE: NONE

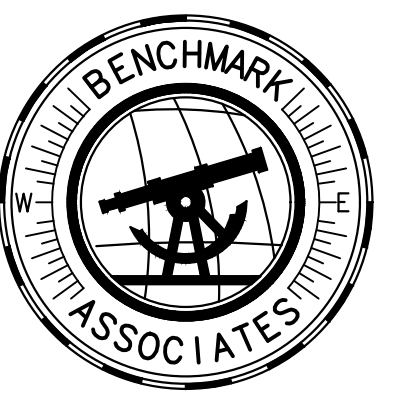


**C** ROAD SHOULDER SECTION (6TH STREET)  
C1 SCALE: NONE

PERMIT SET - NOT FOR CONSTRUCTION



REVISIONS	DESCRIPTION	DATE	BY
No. 1			



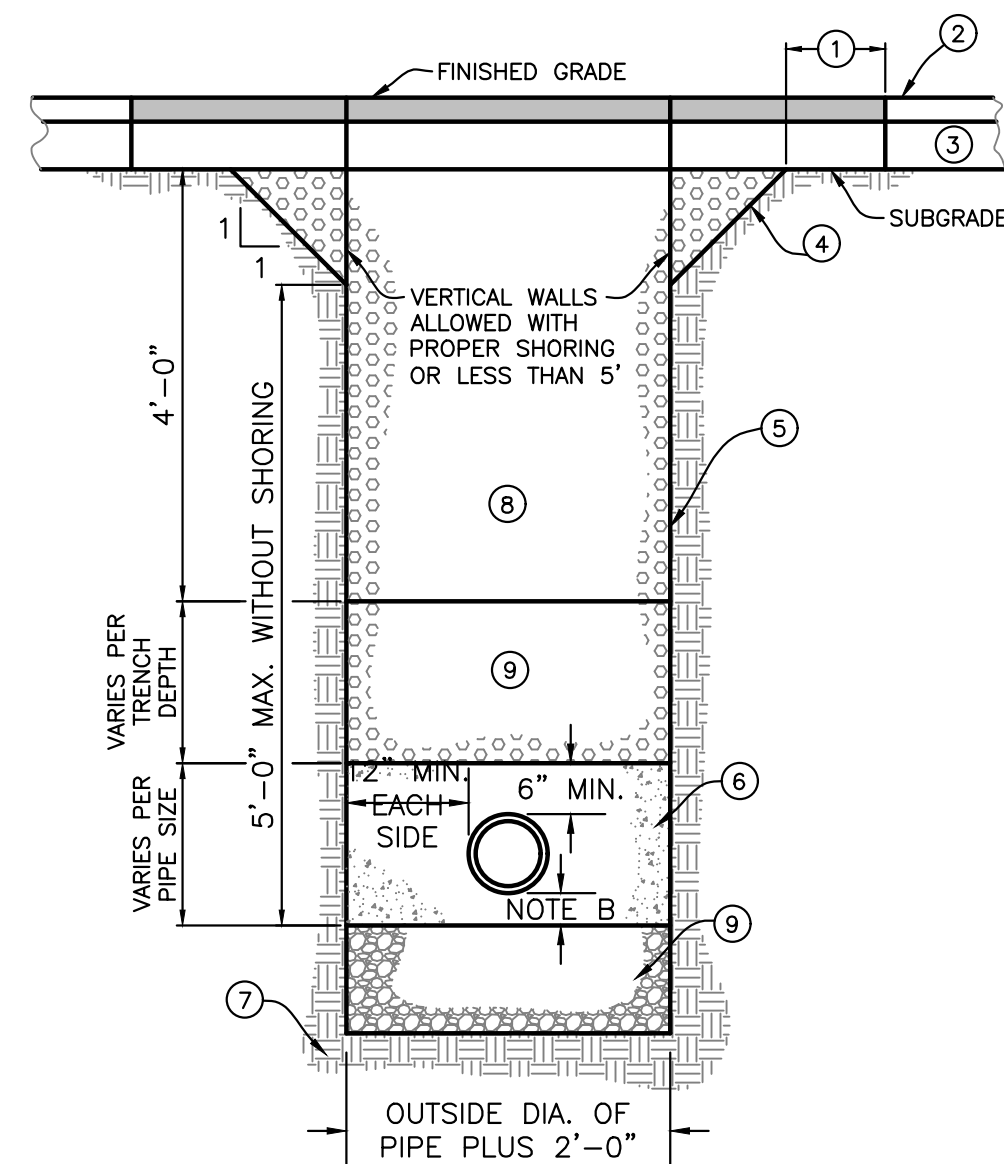
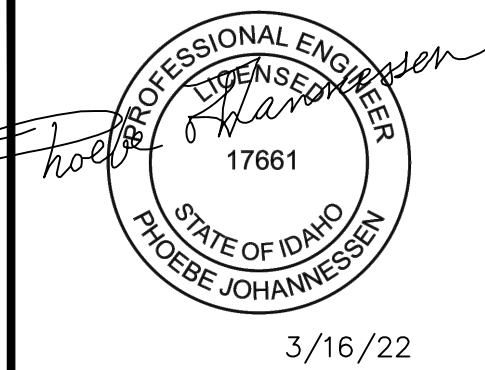
PREPARED BY:  
BENCHMARK ASSOCIATES, P.A.  
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MAIL: WWW.BMASB.COM

**ROAD & DRAINAGE DETAILS**  
KETCHUM TOWNSITE BL 91, LOT 1A  
T4N, R18E, SEC 18, B.M., KETCHUM, IDAHO  
PREPARED FOR: CLB ARCHITECTS

DRAWN BY: PLJ  
DESIGNED BY: PLJ  
CHECKED BY:  
DATE: 3/16/2022  
PROJECT NO.: 21012

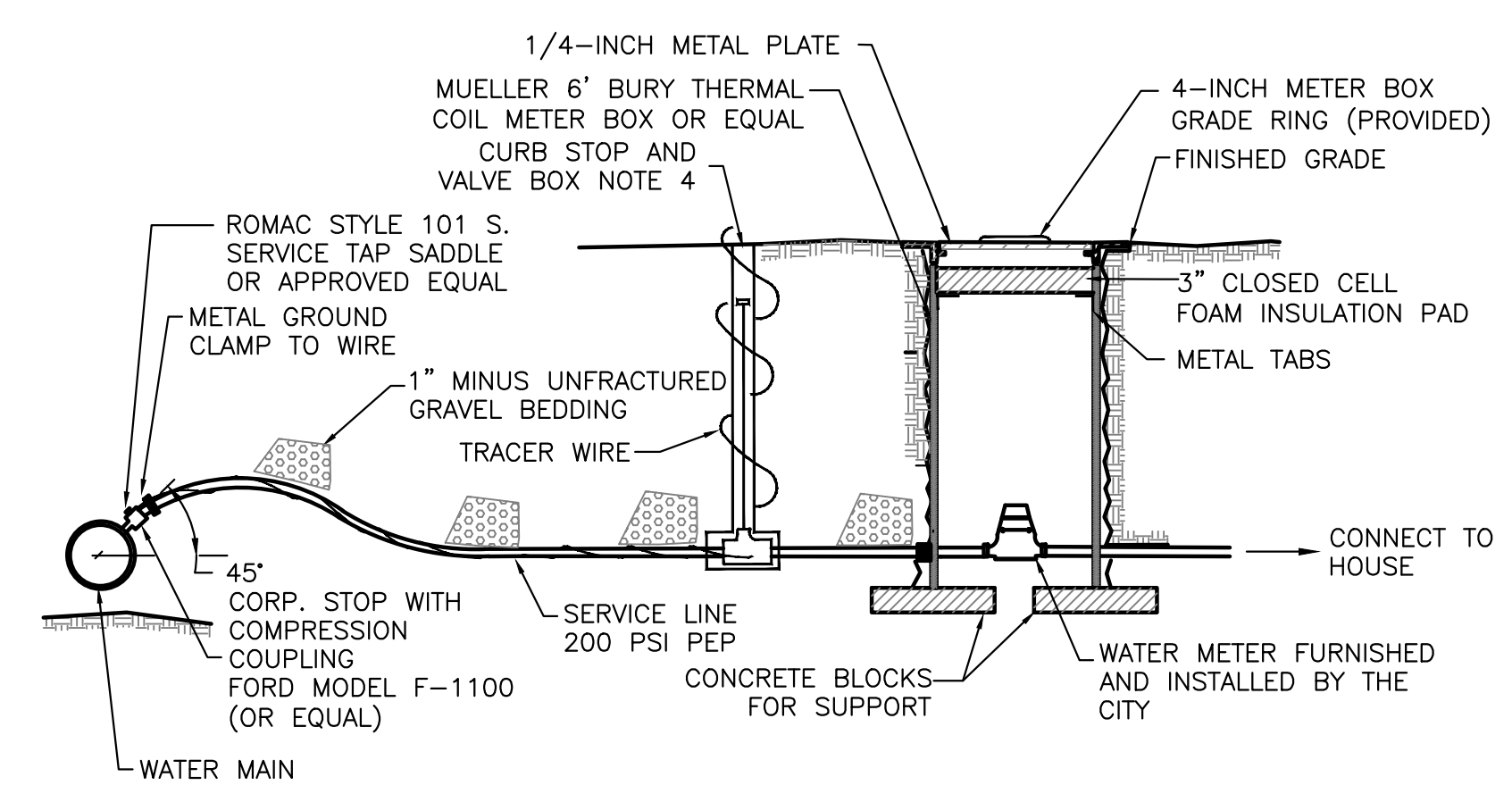
DRAWING NO.

**C3**



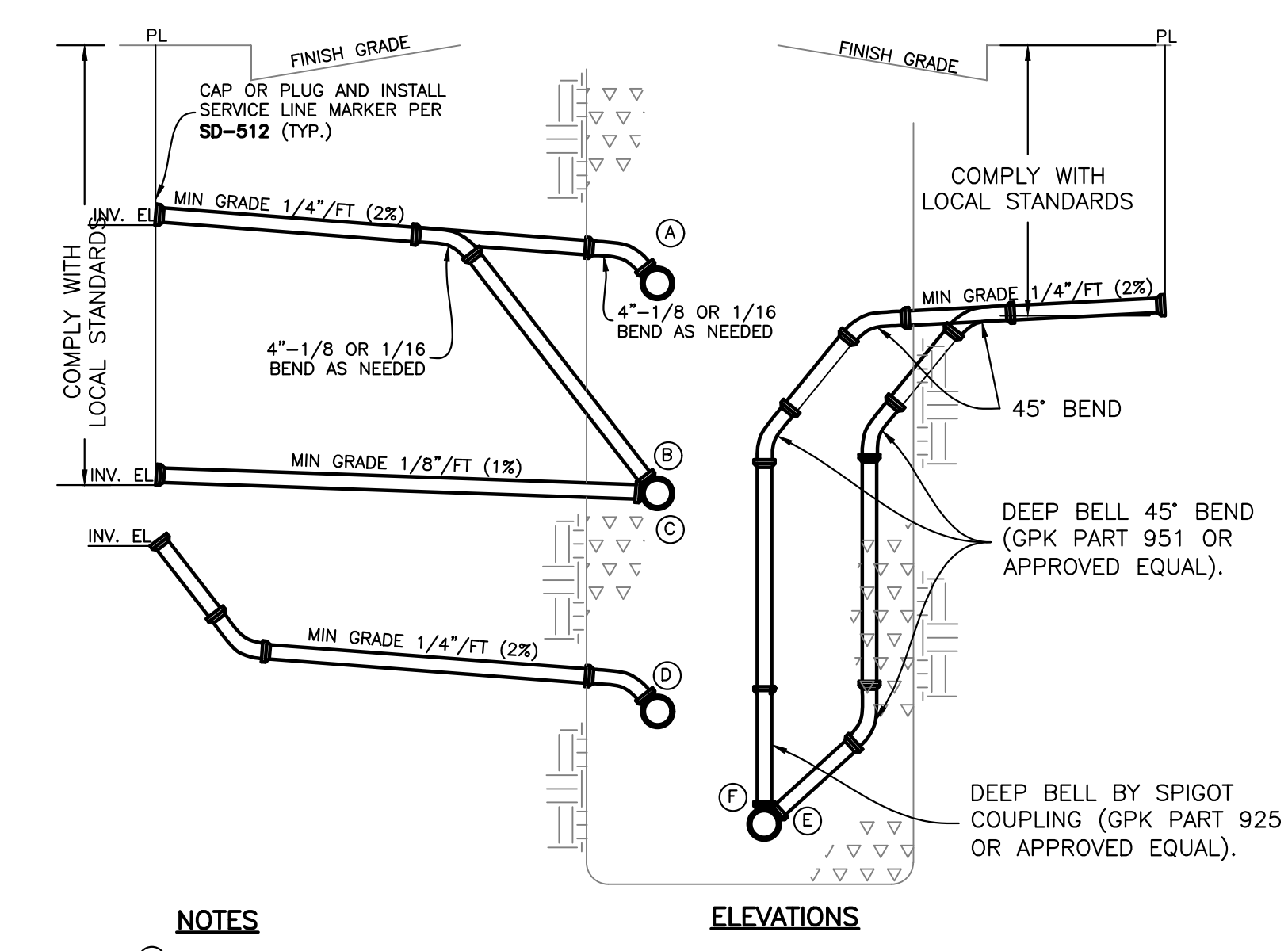
- LEGEND**
- ① 6" MIN. REQUIRED BOTH SIDES & SHALL BE SAWCUT.
  - ② EXISTING SURFACE. (REPAIR ASPHALT TO MATCH EXISTING. (3" MINIMUM COMPACTED)
  - ③ EXISTING BASE.
  - ④ TRENCH BACK SLOPE
  - ⑤ VERTICAL TRENCH WALLS, SHORING PER O.S.H.A.
  - ⑥ PIPE BEDDING PER ISWPC SECTION-305 (SEE SD-302).
  - ⑦ UNDISTURBED SOIL
  - ⑧ LEAN CONCRETE
  - ⑨ LOWER COMPACTION ZONE
- NOTES**
- (A) TRENCH EXCAVATION PER ISWPC SECTION-301.
  - (B) BACKFILL AND COMPACTION PER ISWPC SECTION-306.
- DESCRIPTION AND CONSTRUCTION REQUIREMENTS:**
- IN AREAS WHERE IT IS NECESSARY TO CUT THE ASPHALT PAVEMENT AND DIG A TRENCH FOR BURIAL OF CONDUIT CABLE OR OTHER CITY UTILITY, THE TRENCH SHALL BE BACKFILLED WITH A LEAN CONCRETE MIX WITH THE FOLLOWING PROPORTIONS OF MATERIALS -
- |                               |                |
|-------------------------------|----------------|
| COARSE AGGREGATE (3/4" MINUS) | 2,600 LBS      |
| SAND                          | 800 LBS        |
| PORTLAND CEMENT               | 94 LBS         |
| WATER                         | 11 GAL. (MAX.) |
- WATER CONTENT IS MAXIMUM AND MAY BE REDUCED. CARE SHALL BE TAKEN TO ASSURE THAT EXCESS WATER IS NOT PRESENT IN THE MIXING DRUM PRIOR TO CHARGING THE MIXER WITH MATERIALS. THOROUGH MIXING WILL BE REQUIRED PRIOR TO DISCHARGE.
- NO COMPACTION, VIBRATION OR FINISHING IS REQUIRED. THE LEAN CONCRETE MIX SHALL BE STRUCK OFF AT OR BELOW THE ELEVATION OF THE PLANT MIX SURFACING WITH A SQUARE-NOSE SHOVEL OR SIMILAR HAND TOOL. THE BACKFILL MIX SHALL BE ALLOWED TO SET FOR A MINIMUM OF 2 HOURS BEFORE THE PERMANENT PLANT MIX SURFACING IS PLACED TO COMPLETE THE TRENCH REPAIR.
- TEMPORARY PLACEMENT OF ASPHALT COLD MIX SURFACING MAY BE NECESSARY TO ACCOMMODATE TRAFFIC WITHIN THE FIRST 2 HOURS OF BACKFILL PLACEMENT PRIOR TO COMPLETING THE PERMANENT REPAIR.

① TRENCH REPAIR IN CITY STREET  
SCALE: NONE

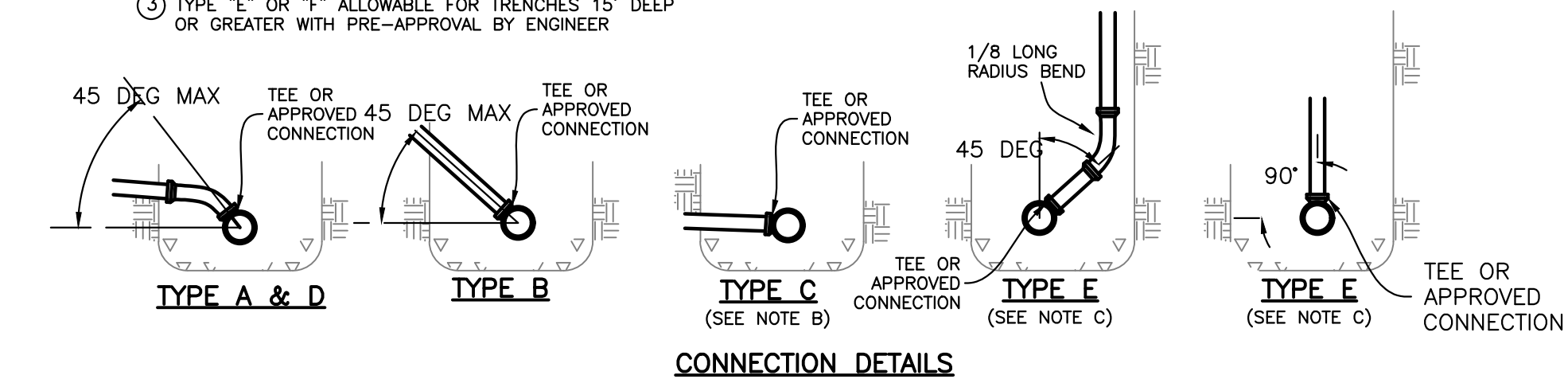


- NOTES**
1. WATER SERVICE LINE SHALL HAVE A 6' MIN. BURY DEPTH
  2. SERVICE LINE SHALL BE 1" DIAMETER POLYETHYLENE PIPE UNLESS OTHERWISE SPECIFIED.
  3. WATER SERVICE LINES SHALL BE BEDDED WITH 1" MINUS UNFRACTURED GRAVEL. BEDDING SHALL BE INSTALLED 4" UNDER THE PIPE AND 6" OVER THE PIPE.
  4. FORD MODEL B-111 RESILIENT SEAT, CURB BALL VALVE (OR EQUAL). FORD EXTENSION CURB BOX WITH ARCHED BASE, 1-INCH UPPER SECTION, AND 2 HOLE "ERIE" PATTERN LID.

② WATER SERVICE AND METER CONNECTION  
SCALE: N.T.S.



- NOTES**
- ① ALL SERVICE LINES TO BE 4" INSIDE DIAMETER UNLESS OTHERWISE NOTED.
  - ② TYPE "C" CONNECTION WILL ONLY BE ALLOWED IF SHOWN ON THE PLANS OR OTHERWISE APPROVED BY THE ENGINEER
  - ③ TYPE "E" OR "F" ALLOWABLE FOR TRENCHES 15' DEEP OR GREATER WITH PRE-APPROVAL BY ENGINEER



③ STANDARD SEWER SERVICE LINES  
SCALE: NONE

REVISIONS	NO.	DESCRIPTION	DATE	BY
	1			

**BENCHMARK ASSOCIATES**

PREPARED BY:  
BENCHMARK ASSOCIATES, P.A.  
P.O. BOX 733 100 BELL DRIVE  
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(208) 726-9512  
FAX 726-9514  
WEB: WWW.BMASB.COM  
MAIL: WWW.BMASB.COM

**UTILITY DETAILS**

KETCHUM TOWNSITE BL 91, LOT 1A  
T4N, R18E, SEC 18, B.M., KETCHUM, IDAHO

PREPARED FOR: CLB ARCHITECTS

DRAWN BY: PLJ  
DESIGNED BY: PLJ  
CHECKED BY:  
DATE: 3/16/2022  
PROJECT NO.: 21012

DRAWING NO.

C4

**Vicinity Map**



# McDermott Residence

## 600 Walnut Ave.

### Ketchum, Idaho

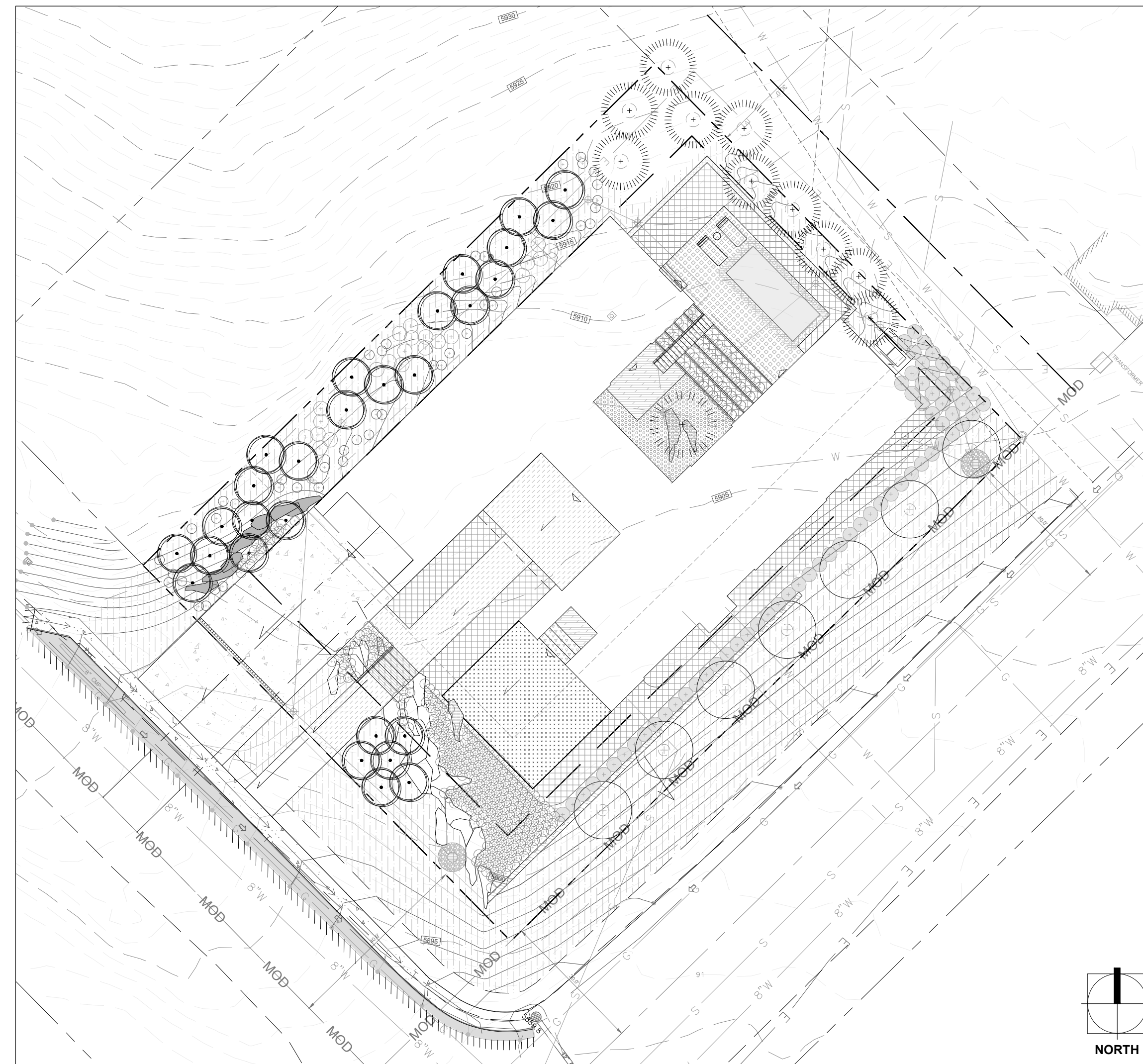
# 100% DESIGN DEVELOPMENT

MAY 4, 2022  
NOT FOR CONSTRUCTION

**Project Description or Supplemental Information**

Lot 1A, Block 91 - Ketchum, Idaho. Parcel ID: RPK000091001A.  
New single family residence, landscape improvements. Site work shall include tree protection and removal; site preparation including earthwork, driveways, fire feature, pool, spa, hardscaping, landscape features, planting, and irrigation of disturbed area. Design and Engineering drawings and specifications associated with the residence are per the architect's drawings.

**Location Map**



**OWNER**  
600 Walnut Ave.  
Ketchum, Idaho 83340

**ARCHITECTS:**  
**CLB Architects**  
109 E. Oak Street, Suite 1C  
Bozeman, MT 59715  
Contact: Jeffrey Johnson  
Tel: (406) 206-5554

**LANDSCAPE ARCHITECT:**  
**DESIGNWORKSHOP**  
120 East Main Street  
Aspen, Colorado 81611  
Contact: Jennifer Wang  
Tel: (213) 921-4612

**CIVIL ENGINEER:**  
Benchmark Associates, P.A.  
PO Box 733  
Ketchum, Idaho  
Contact: Phoebe Johannessen  
Tel: (208) 726-9512

**STRUCTURAL ENGINEER:**  
KL&A  
1717 Washington Ave Golden  
CO 80401  
Contact: RACHEL Harper  
Tel: (303)384-9910

**IRRIGATION:**  
Azure Drone Engineering LLC  
Contact: Ed Price  
Tel: (970) 980-8533

**POOL AND SPA DESIGNER:**  
Water Design Inc.  
6740 S. 1300 E., Suite 110  
Salt Lake City, Utah 84121  
Contact: Jim Redman  
Tel: (801) 261-4009

**Sheet Index**

Sheet No.	Sheet Title	December 17, 2021 MOR - Revision - 01, MAY 04, 2022	Sheet No.	Sheet Title	December 17, 2021 MOR - Revision - 01, MAY 04, 2022
<b>Landscape Drawings:</b>			<b>Consultant Drawings:</b>		
<b>GENERAL INFORMATION:</b>			<b>IRRIGATION SYSTEM SERIES:</b>		
L0-00	Cover	• ○	IR1-01	Irrigation Legend and Notes	• ○ ○ ○
L0-01	Hardscape Reference Plan	• ○ ○	IR1-02	Irrigation Plan	• ○ ○ ○
L0-02	Softscape Reference Plan	• ○ ○	IR2-01	Irrigation Details	• ○ ○ ○
L0-03	General Information	• ○	IR2-02	Irrigation Details	• ○ ○ ○
L0-04	General Information	• ○	<b>SPA AND POOL SERIES:</b>		
<b>PLANT PROTECTION AND REMOVAL SERIES:</b>			SP100	Overall Pool and Spa Plan	• ○
L1-01	Plant Protection and Removal Plan	• ○	SP200	Pool Plan	• ○
<b>SITE DEMOLITION SERIES:</b>			SP210	Spa Plan	• ○
<i>Not used at this time</i>			SP400	Equipment Room Plan	• ○
<b>SITE MATERIALS SERIES:</b>			SP401	Equipment Room Schedule	• ○
L3-01A	Site Materials Plan	• ○	SP410	Equipment Room Details	• ○
L3-01A.1	Site Rendering	• ○ ○	SP500	Sections and Structural Details	• ○
L3-01B	Site Materials Plan-ALTERNATIVE	• ○ ○			
L3-01B.1	Site Rendering	• ○ ○			
L3-01C	Site Rendering	• ○ ○			
L3-01D	Slope Analysis	• ○ ○			
L3-01E	Site Material Palette	• ○ ○			
<b>SITE LAYOUT SERIES:</b>					
L4-01	Site Layout Plan	• ○			
<b>SITE GRADING AND DRAINAGE SERIES:</b>					
L5-01	Conceptual Site Grading and Drainage	• ○			
<b>SITE LIGHTING SERIES:</b>					
<i>Not used at this time.</i>					
<b>SITE DETAILS SERIES:</b>					
L7-01	Site Details	• ○			
L7-02	Site Details	• ○			
L7-03	Site Details	• ○			
L7-04	Site Details	• ○			
L7-05	Site Details	• ○			
L7-06	Site Details	• ○			
L7-07	Site Details	• ○			
<b>SITE PLANTING SERIES:</b>					
L8-01	Site Planting Plan	• ○			
<b>PLANTING DETAILS SERIES:</b>					
L9-01	Planting Detail	• ○			
L9-02	Planting Detail	• ○			
L9-03	Planting Detail	• ○			
<b>SHEET LEGEND KEY:</b>					
• Indicates included sheet					
○ Indicates included but revised sheet					

Note: As part of this project, the Contractor shall maintain a complete, up-to-date set of all Drawings and Specifications available for review at the construction site by the Owner's Representative and Landscape Architect. In addition, the Contractor shall ensure all installations and coordination by all trades occurs in accordance with the above revisions.

**MCDERMOTT RESIDENCE**  
**600 WALNUT AVE.**  
**KETCHUM, IDAHO**

**NOT FOR  
CONSTRUCTION**

ISSUE DATE: MAY 04, 2022

REVISIONS		
#	DATE	DESCRIPTION

DRAWN: JW, JP    REVIEWED: MA

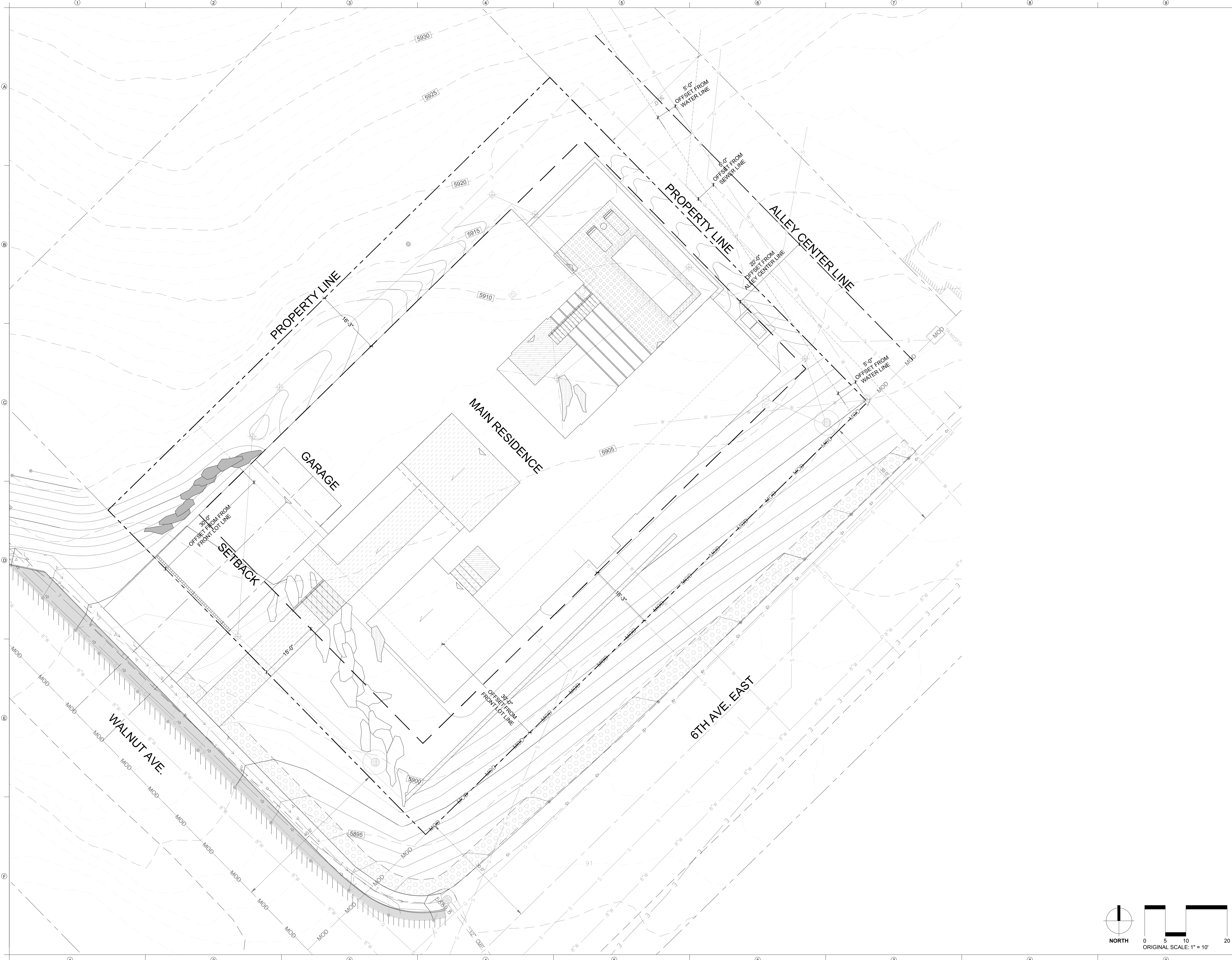
**100% DESIGN  
DEVELOPMENT**

PROJECT NUMBER: 6530

**HARDSCAPE  
REFERENCE  
PLAN**

SHEET NUMBER

**L0-01**



May 04, 2022 - 12:13pm  
P:\PROJECTS\JW\6530-McDermott Residence\CAD\02\_Siteplan.dwg  
Sheet: 6530\_L0\_General\_Series.dwg

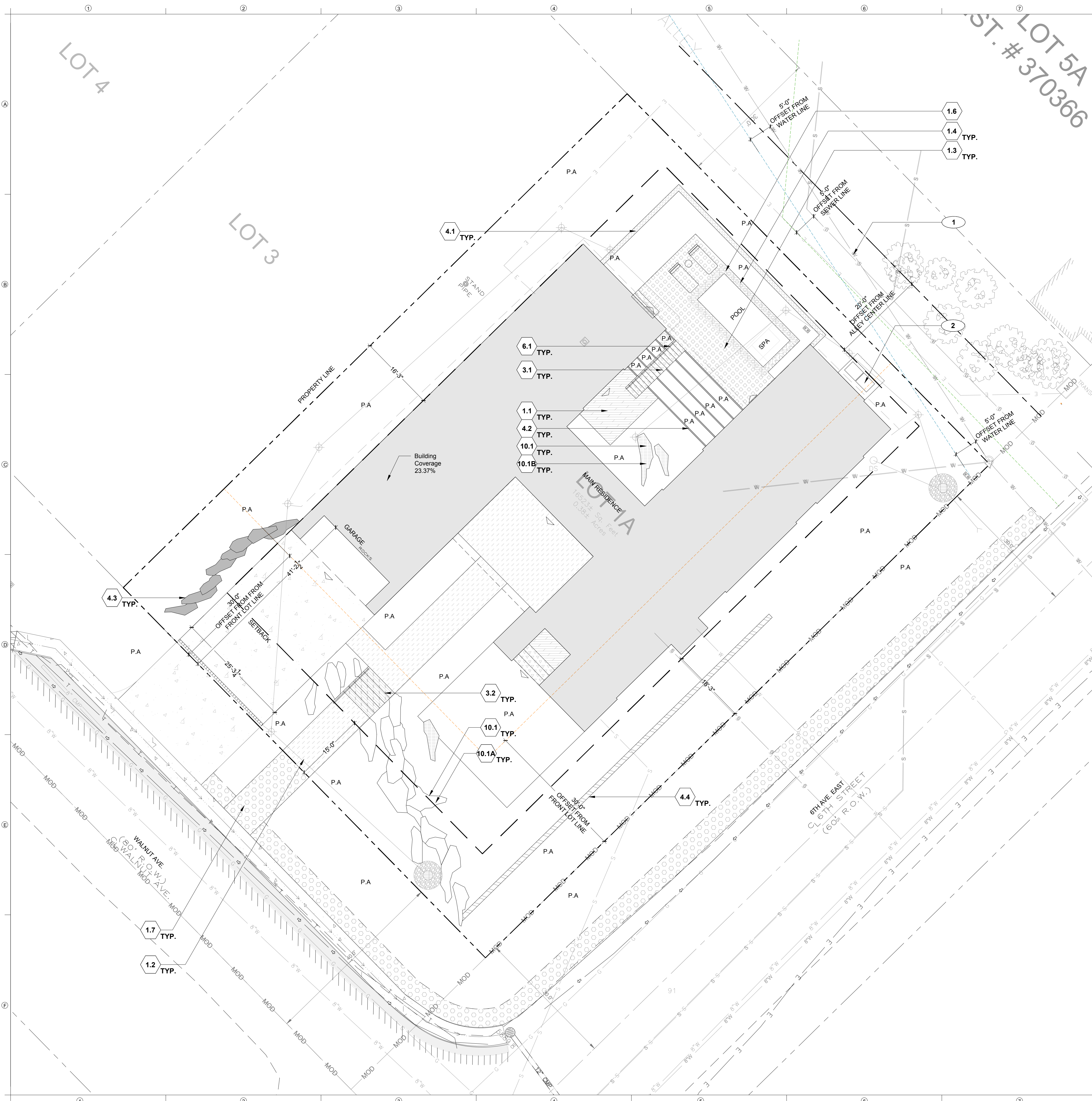












**SITE KEYNOTES:**

DETAIL / SHEET	RELATED DETAILS	SPEC. SECTION
<b>1.0 PAVEMENTS, RAMPS, CURBS</b>		
1.1	Stone Paving Type 1 - Ped.	1 / L7-01
1.2	Stone Paving Type 2 - Ped. (Snowmelted)	2 / L7-01
1.3	Stone Paving Type 3 - On Pedestal	3 / L7-01
1.4	Stone Paving Type 4 - Ped. (Autocover Vault) Type 1	4 / L7-01
1.5	Stone Paving Type 5 - Ped. (Autocover Vault) Type 2	5 / L7-01
1.6	Stone Paving Type 6 - Ped. (Coping)	6 / L7-01
1.7	Gravel - Ped	7 / L7-01
<b>2.0 JOINTING</b>		
2.1	Mortar Joint	1 / L7-02
2.2	Control Joint	2 / L7-02
2.3	Expansion Joint	3 / L7-02
2.4	Expansion Joint-Doweled	4 / L7-02
<b>3.0 STEPS</b>		
3.1	Stone Steps Type 1	1 / L7-03
3.2	Stone Steps Type 2 (Snowmelted)	2 / L7-03
<b>4.0 SITE WALLS/ EMBANKMENTS</b>		
4.1	Stone Veneer Wall	1 / L7-04
4.2	Steel Wall	2 / L7-04
4.3	Boulder Wall	1 / L7-05
4.4	Dry Stack Wall	2 / L7-05
<b>5.0 SITE FURNITURE</b>		
Not used at this time.		
<b>6.0 RAILINGS, BARRIERS, FENCING</b>		
6.1	Stair Hand Railing	1 / L7-06 1 / L7-03
<b>7.0 SITE LIGHTING</b>		
Not used at this time.		
<b>8.0 DRAINAGE</b>		
See Civil's Drawings		
<b>9.0 PLANTING AND LANDSCAPE</b>		
<b>10.0 MISCELLANEOUS ELEMENTS</b>		
10.1	Landscape Boulder	1 / L7-07
10.1a	Landscape Boulder on a Slope	1 / L7-07
10.1b	Landscape Boulder on a Flat Plain	1 / L7-07

**SITE MATERIALS REFERENCE NOTES**

P.A. Planting Area

1 Existing Site Utilities, see sheet L0-03 for linetype.

2 Heat Pumps - See CLB and MEP drawings.

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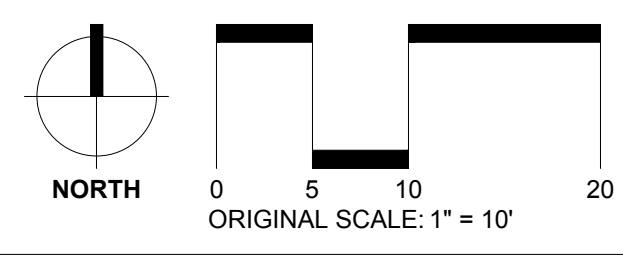
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**SITE MATERIALS PLAN**

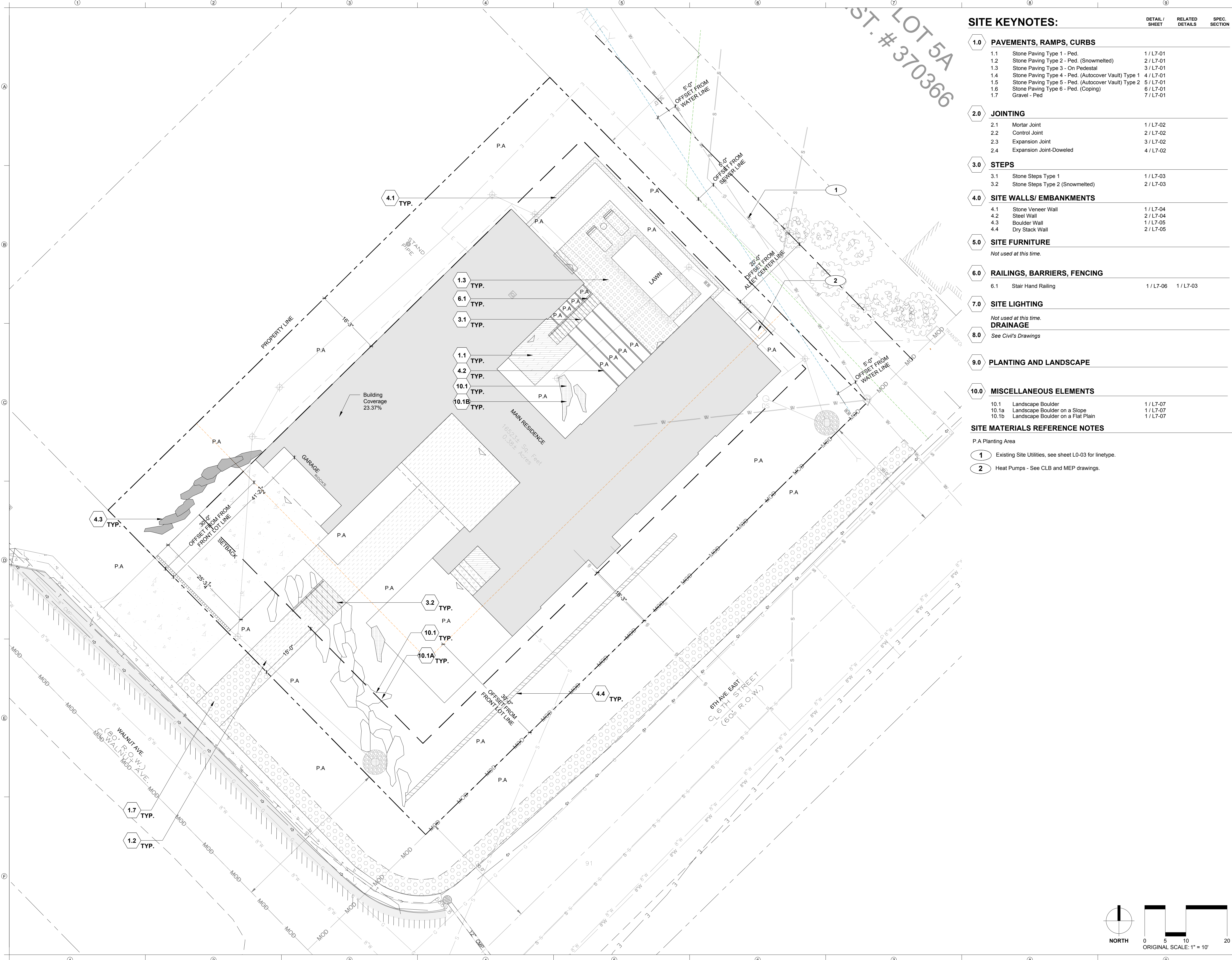
SHEET NUMBER  
**L3-01A**

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**SITE KEYNOTES:**

DETAIL / SHEET	RELATED DETAILS	SPEC. SECTION
<b>1.0 PAVEMENTS, RAMPS, CURBS</b>		
1.1	Stone Paving Type 1 - Ped.	1 / L7-01
1.2	Stone Paving Type 2 - Ped. (Snowmelted)	2 / L7-01
1.3	Stone Paving Type 3 - On Pedestal	3 / L7-01
1.4	Stone Paving Type 4 - Ped. (Autocover Vault) Type 1	4 / L7-01
1.5	Stone Paving Type 5 - Ped. (Autocover Vault) Type 2	5 / L7-01
1.6	Stone Paving Type 6 - Ped. (Coping)	6 / L7-01
1.7	Gravel - Ped	7 / L7-01
<b>2.0 JOINTING</b>		
2.1	Mortar Joint	1 / L7-02
2.2	Control Joint	2 / L7-02
2.3	Expansion Joint	3 / L7-02
2.4	Expansion Joint-Doweled	4 / L7-02
<b>3.0 STEPS</b>		
3.1	Stone Steps Type 1	1 / L7-03
3.2	Stone Steps Type 2 (Snowmelted)	2 / L7-03
<b>4.0 SITE WALLS/ EMBANKMENTS</b>		
4.1	Stone Veneer Wall	1 / L7-04
4.2	Steel Wall	2 / L7-04
4.3	Boulder Wall	1 / L7-05
4.4	Dry Stack Wall	2 / L7-05
<b>5.0 SITE FURNITURE</b>		
Not used at this time.		
<b>6.0 RAILINGS, BARRIERS, FENCING</b>		
6.1	Stair Hand Railing	1 / L7-06 1 / L7-03
<b>7.0 SITE LIGHTING</b>		
Not used at this time.		
<b>8.0 DRAINAGE</b>		
See Civil's Drawings		
<b>9.0 PLANTING AND LANDSCAPE</b>		
<b>10.0 MISCELLANEOUS ELEMENTS</b>		
10.1	Landscape Boulder	1 / L7-07
10.1a	Landscape Boulder on a Slope	1 / L7-07
10.1b	Landscape Boulder on a Flat Plain	1 / L7-07

**SITE MATERIALS REFERENCE NOTES**

P.A. Planting Area

1 Existing Site Utilities, see sheet L0-03 for linetype.

2 Heat Pumps - See CLB and MEP drawings.

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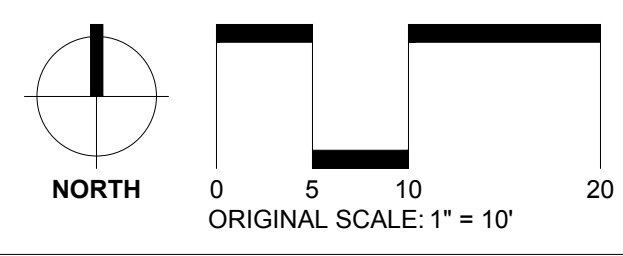
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**SITE MATERIALS PLAN**  
**ALTERNATIVE**

SHEET NUMBER  
**L3-01B**

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# BACKYARD VIEW-ALTERNATIVE

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**SITE  
RENDERING**

SHEET NUMBER

**L3-01B.1**

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# FRONT VIEW

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**SITE  
RENDERING**

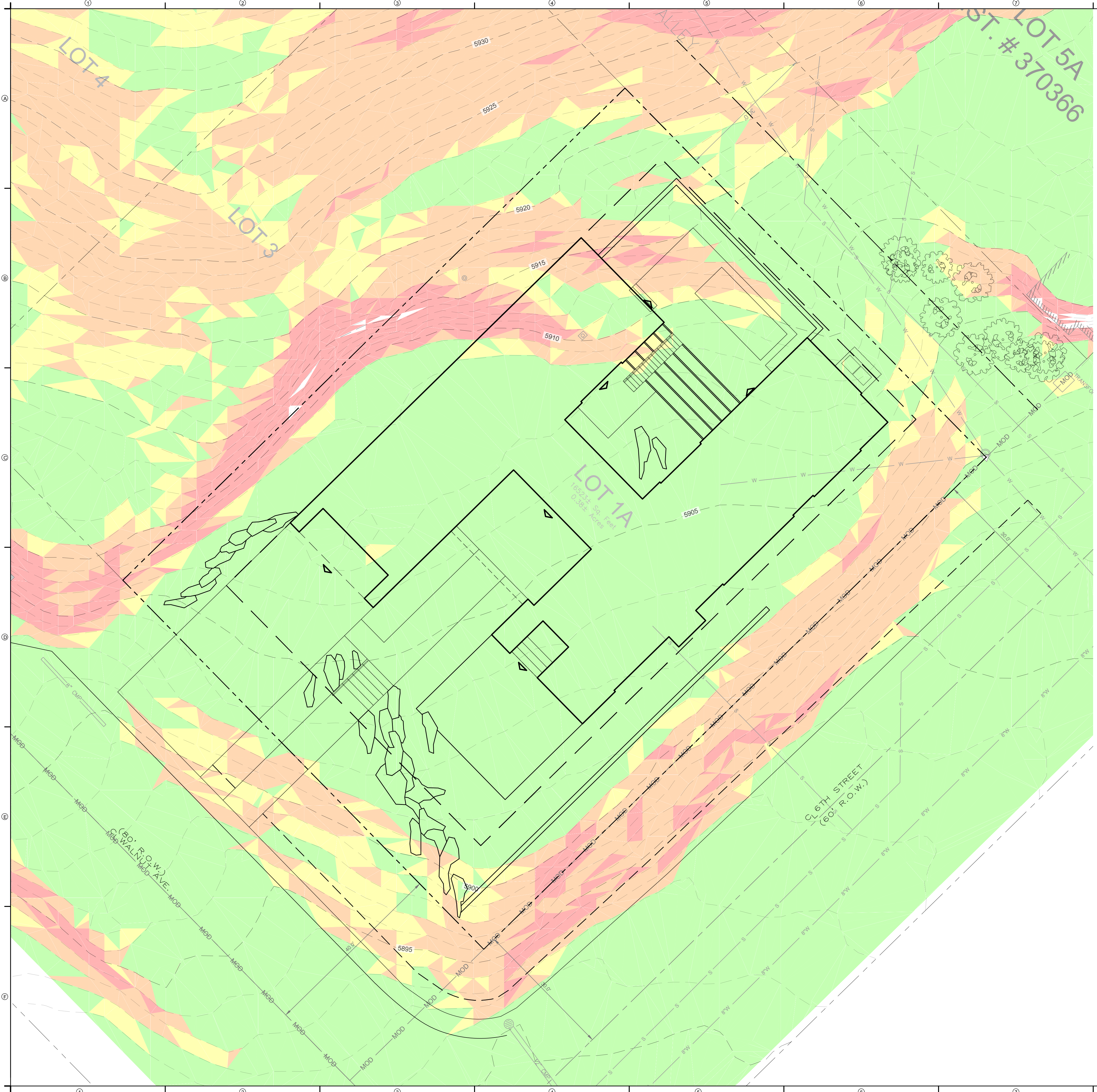
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**L3-1C**

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Slopes Table			
Number	Minimum Slope	Maximum Slope	Color
1	0.00%	25.00%	Green
2	25.00%	30.00%	Yellow
3	30.00%	45.00%	Orange
4	45.00%	100.00%	Red

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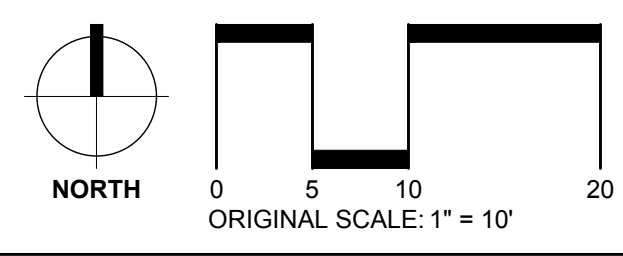
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**SLOPE ANALYSIS**

SHEET NUMBER  
**L3-01D**

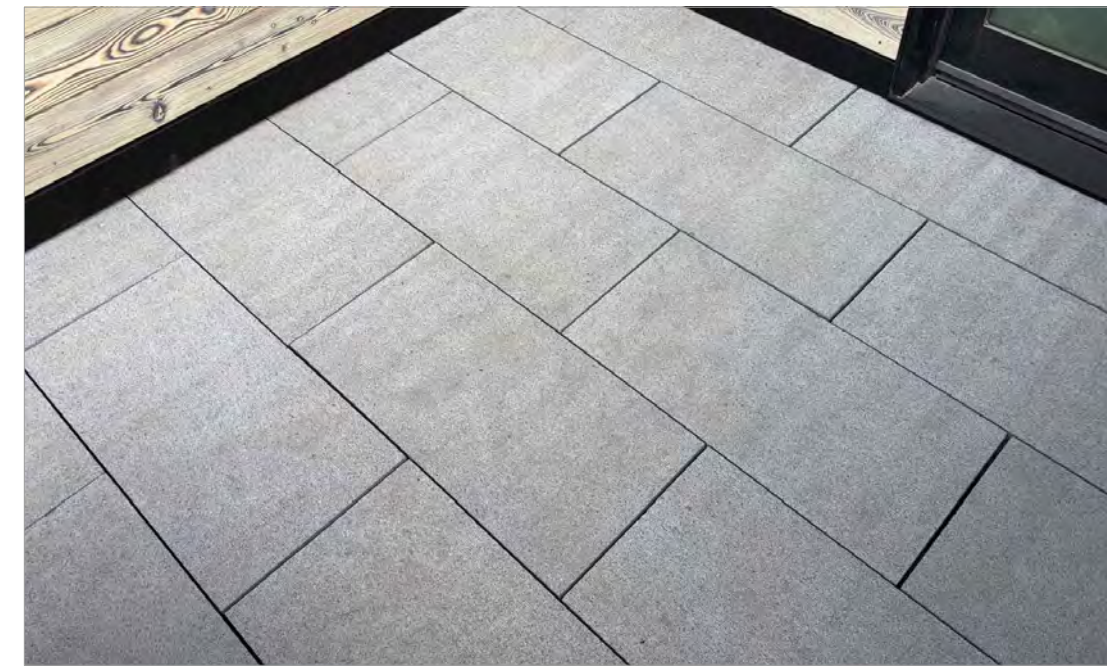


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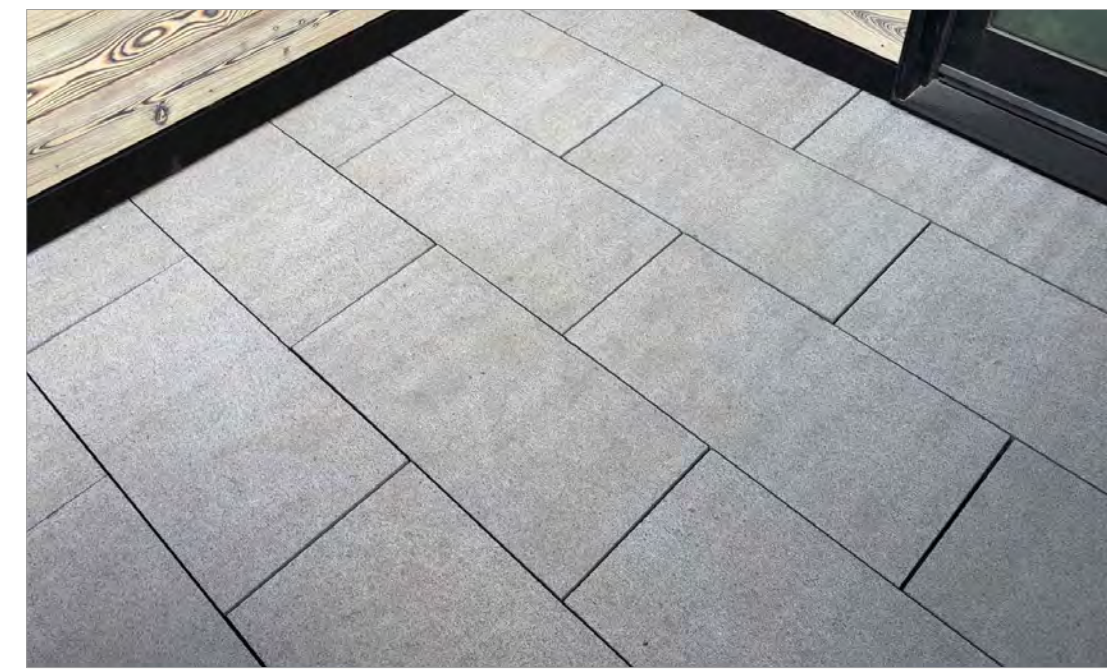
# Exterior Material Palette



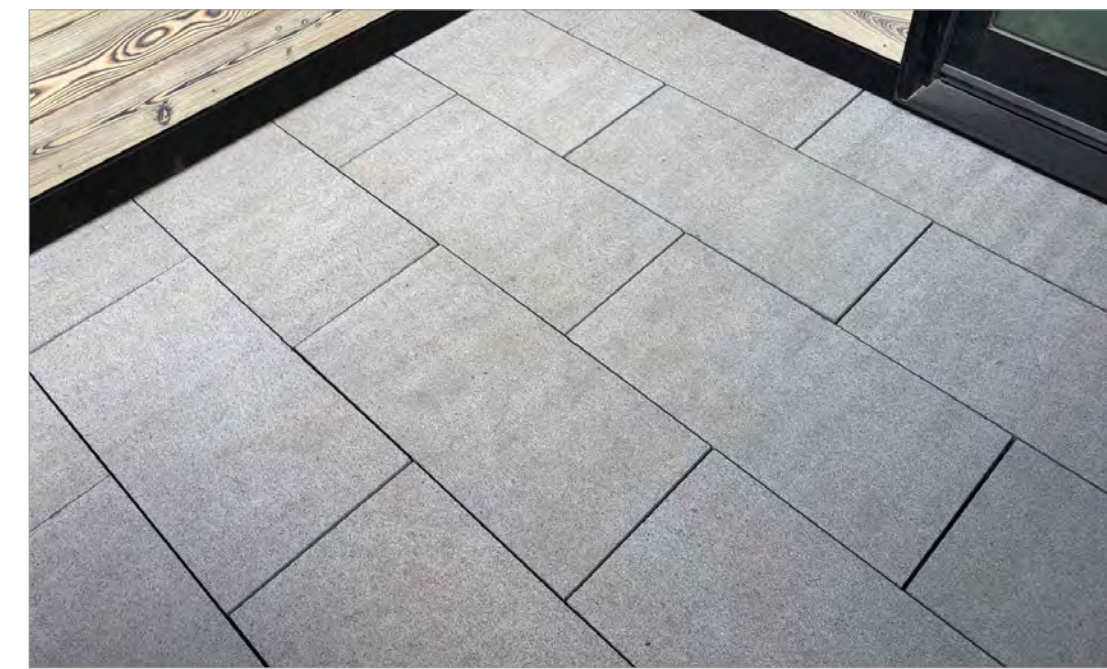
Concrete  
Refer to Civil drawings.



Stone Paving:  
Bridgeport Stone  
Keynotes: 1.1, 1.2, 1.4, 1.5, and 1.6



Pedestal Paving:  
To match stone paving or approved equal  
by Landscape Architect.  
Keynote: 1.3



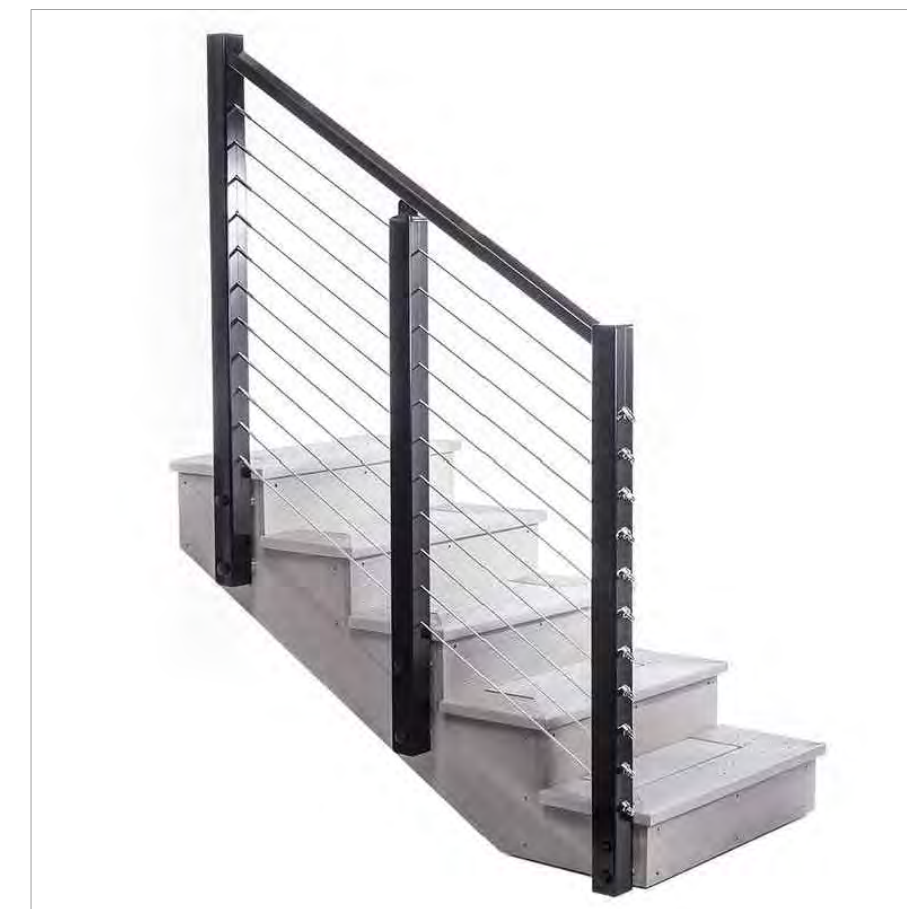
Stairs:  
Bridgeport Stone  
Keynotes: 3.1 and 3.2



Wall Type 1 - Stone Wall Veneer:  
Atlas Granite  
Keynote: 4.1



Wall Type 2 - Steel Wall:  
Corten Steel  
Keynote: 4.2



Hand Railing:  
Stainless Steel and Cable Railing  
Keynote: 6.1

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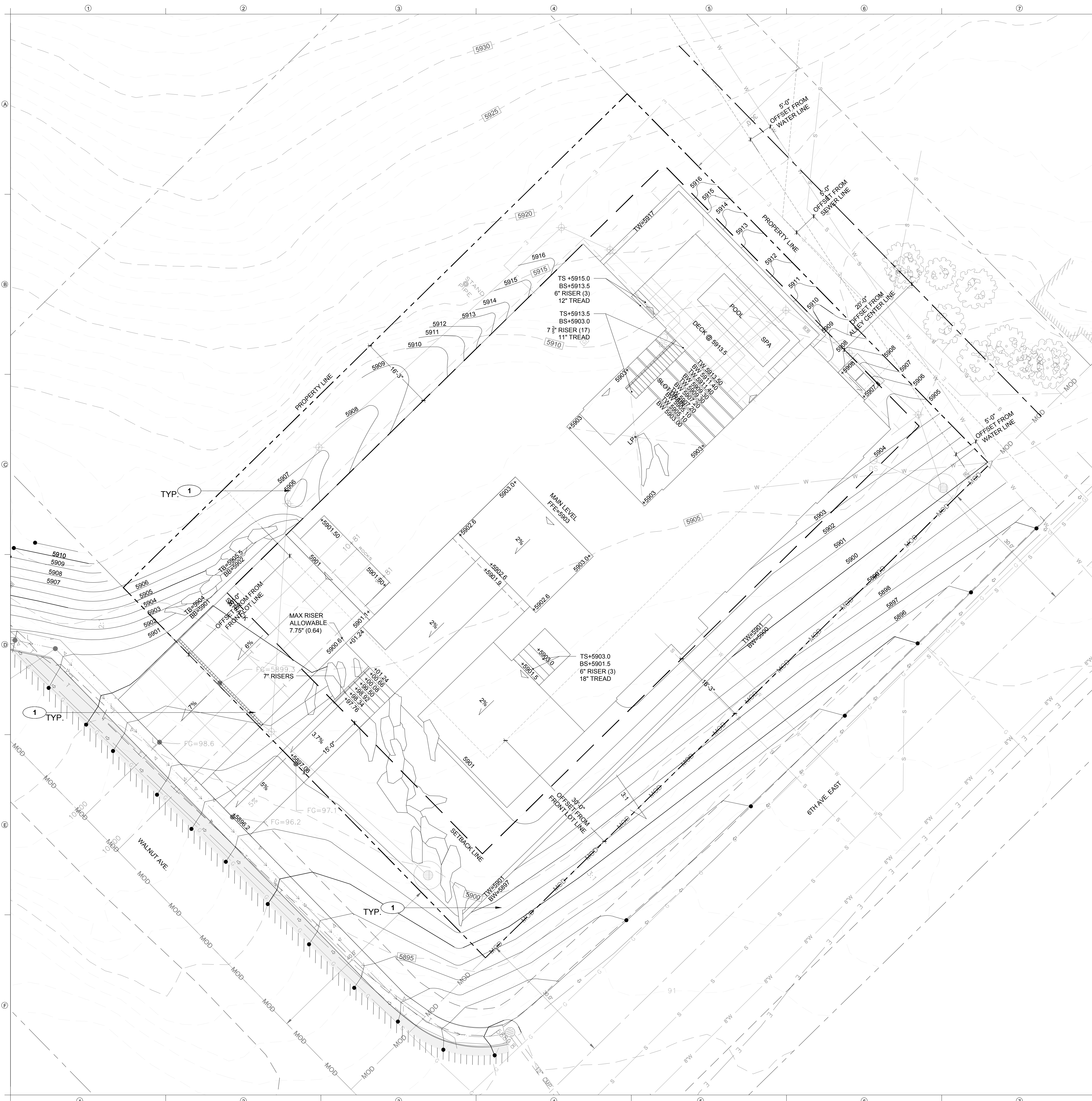
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**SITE  
MATERIALS  
PALETTE**

SHEET NUMBER

**L3-01E**



**GRADE LEGEND**

- Existing Contour
- Proposed Contour

NOTE: THIS GRADING PLAN IS CONCEPTUAL. FINAL SITE GRADING AND DRAINAGE PLAN REFER TO CIVIL DRAWINGS.

**SITE GRADING REFERENCE NOTES**

- ① Drainage - See Civil Drawings

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**CONCEPTUAL SITE GRADING AND DRAINAGE PLAN**

SHEET NUMBER

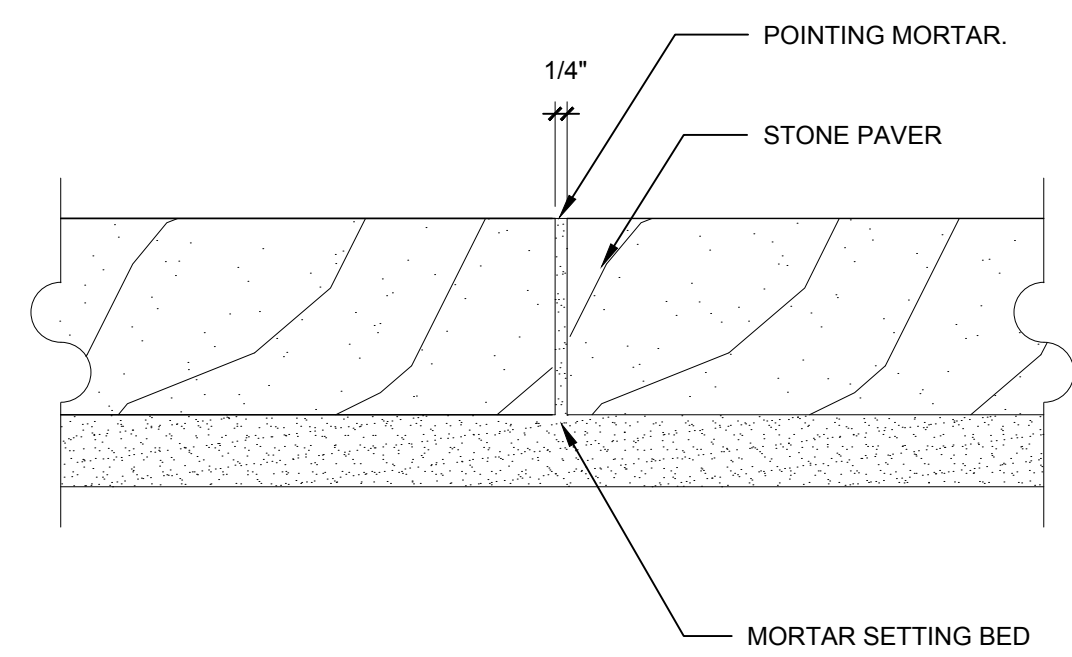
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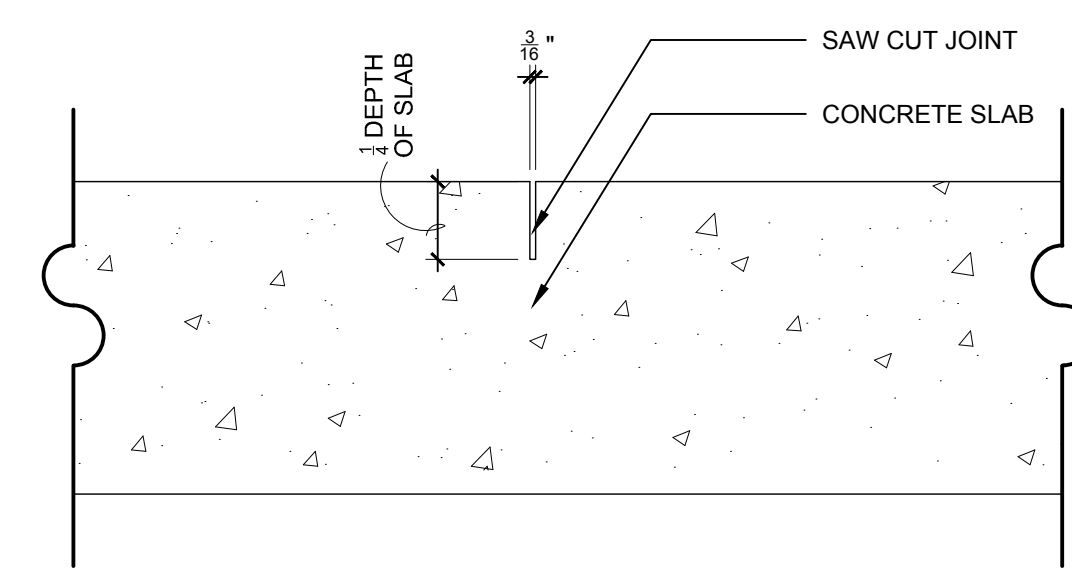
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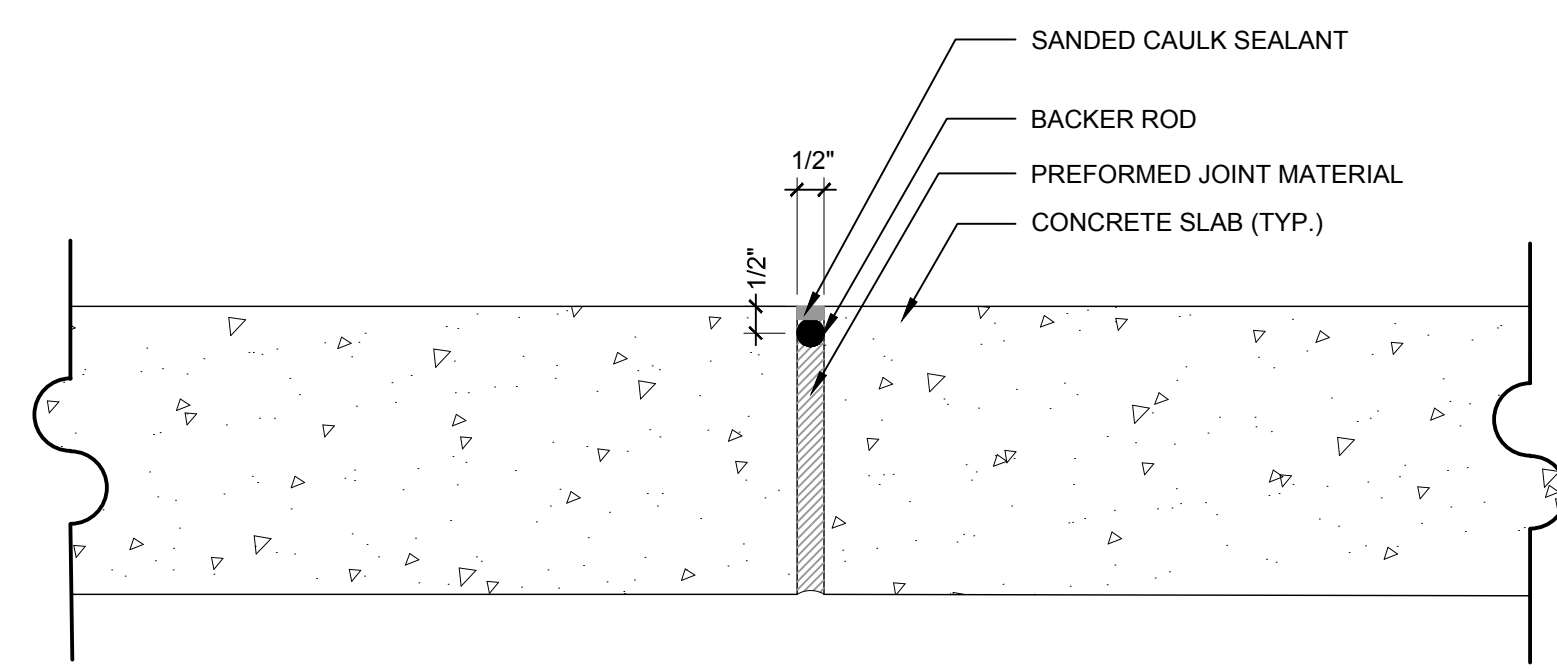




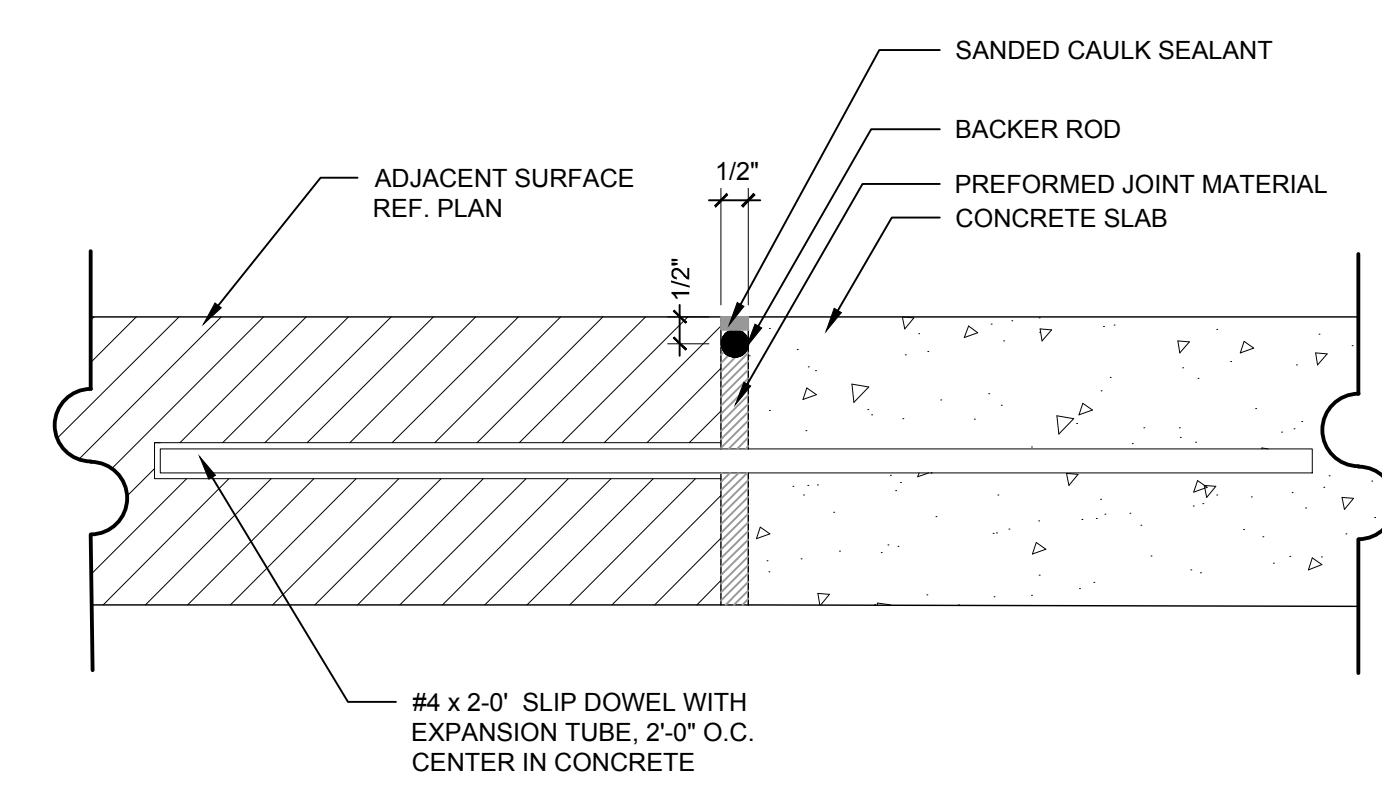
**1** **MOTAR JOINT**  
3"=1'-0" 2.1



**2** **CONTROL JOINT**  
3"=1'-0" 2.2



**3** **EXPANSION JOINT**  
3"=1'-0" 2.3



**4** **EXPANSION JOINT-DOWLED**  
3"=1'-0" 2.4

**SITE KEYNOTES:**

	DETAIL / SHEET	RELATED DETAILS	SPEC. SECTION
<b>1.0 PAVEMENTS, RAMPS, CURBS</b>			
1.1 Stone Paving Type 1 - Ped.	1 / L7-01		
1.2 Stone Paving Type 2 - Ped. (Snowmelted)	2 / L7-01		
1.3 Stone Paving Type 3 - On Pedestal	3 / L7-01		
1.4 Stone Paving Type 4 - Ped. (Autocover Vault) Type 1	4 / L7-01		
1.5 Stone Paving Type 5 - Ped. (Autocover Vault) Type 2	5 / L7-01		
1.6 Stone Paving Type 6 - Ped. (Coping)	6 / L7-01		
1.7 Gravel - Ped	7 / L7-01		
<b>2.0 JOINTING</b>			
2.1 Mortar Joint	1 / L7-02		
2.2 Control Joint	2 / L7-02		
2.3 Expansion Joint	3 / L7-02		
2.4 Expansion Joint-Doweled	4 / L7-02		
<b>3.0 STEPS</b>			
3.1 Stone Steps Type 1	1 / L7-03		
3.2 Stone Steps Type 2 (Snowmelted)	2 / L7-03		
<b>4.0 SITE WALLS/ EMBANKMENTS</b>			
4.1 Stone Veneer Wall	1 / L7-04		
4.2 Steel Wall	2 / L7-04		
4.3 Boulder Wall	1 / L7-05		
4.4 Dry Stack Wall	2 / L7-05		
<b>5.0 SITE FURNITURE</b>			
<i>Not used at this time.</i>			
<b>6.0 RAILINGS, BARRIERS, FENCING</b>			
6.1 Stair Hand Railing	1 / L7-06	1 / L7-03	
<b>7.0 SITE LIGHTING</b>			
<i>Not used at this time.</i>			
<b>8.0 DRAINAGE</b>			
<i>See Civil's Drawings</i>			
<b>9.0 PLANTING AND LANDSCAPE</b>			
<b>10.0 MISCELLANEOUS ELEMENTS</b>			
10.1 Landscape Boulder	1 / L7-07		
10.1a Landscape Boulder on a Slope	1 / L7-07		
10.1b Landscape Boulder on a Flat Plain	1 / L7-07		

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**SITE DETAILS**

SHEET NUMBER  
**L7-02**

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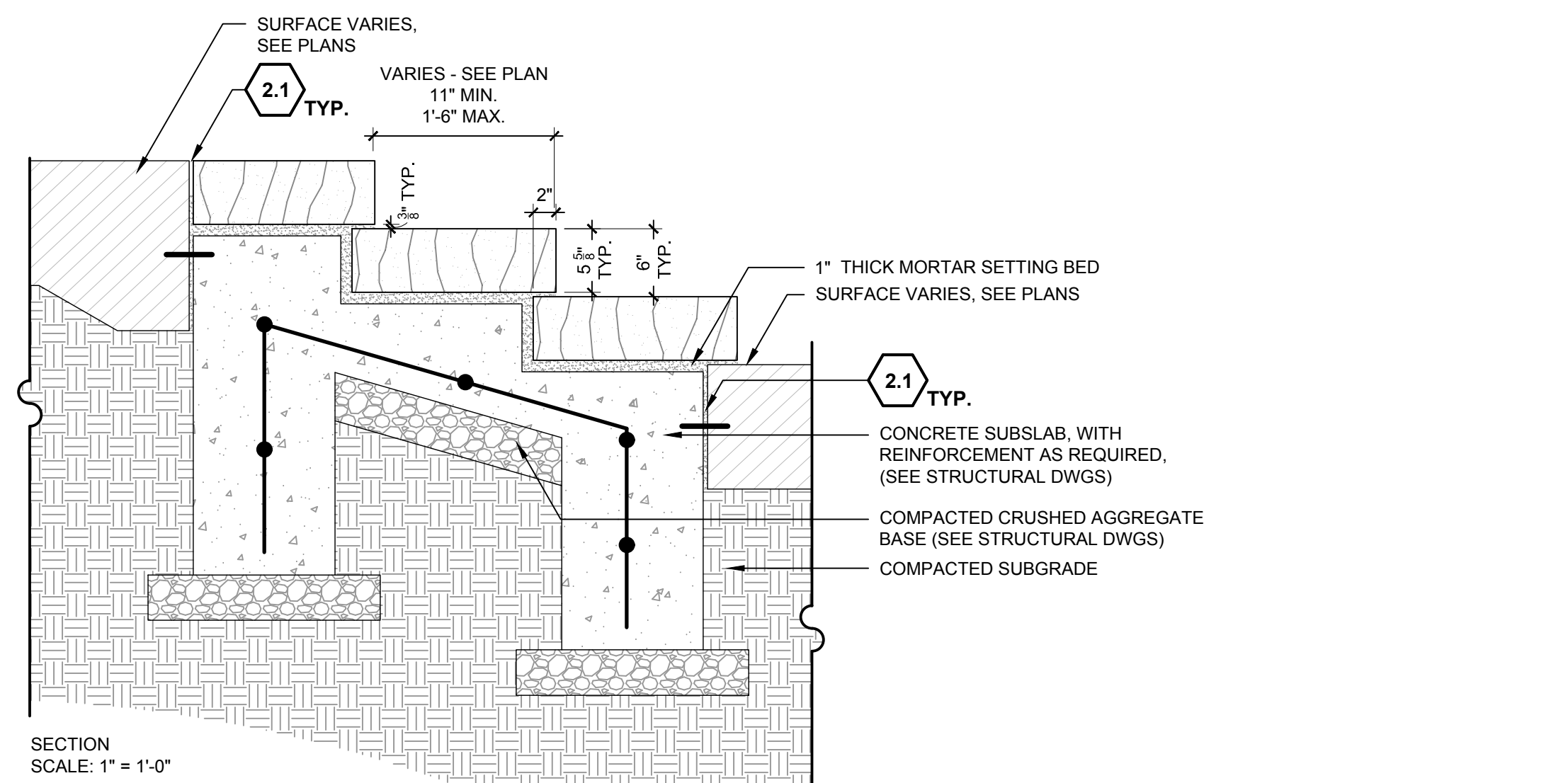
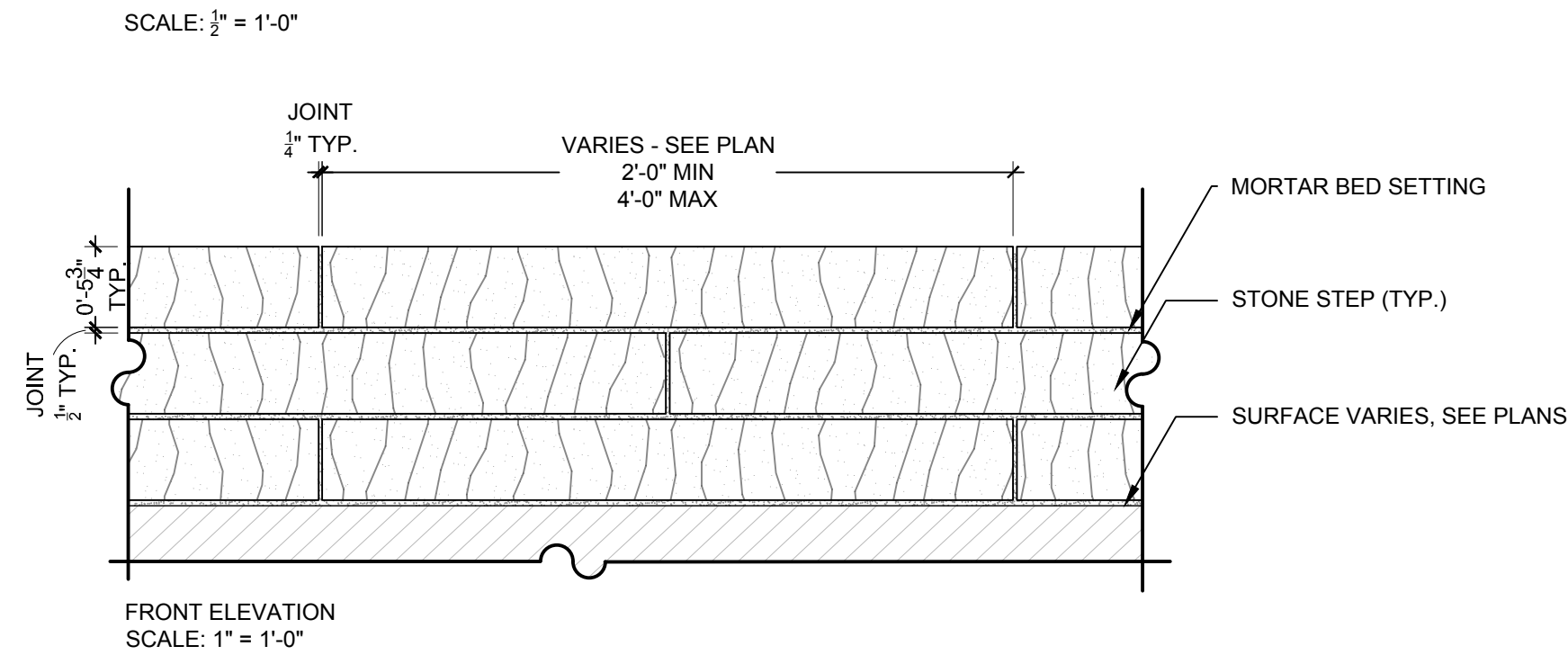
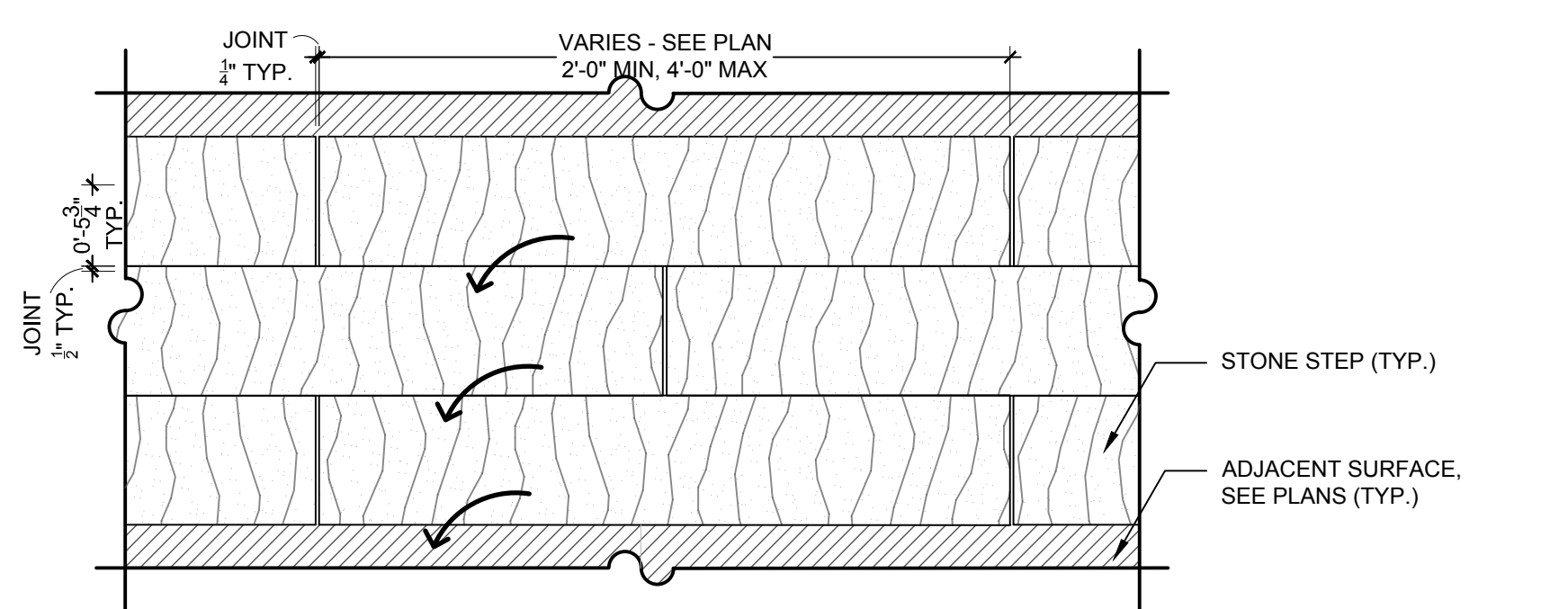
SITE DETAILS

SHEET NUMBER

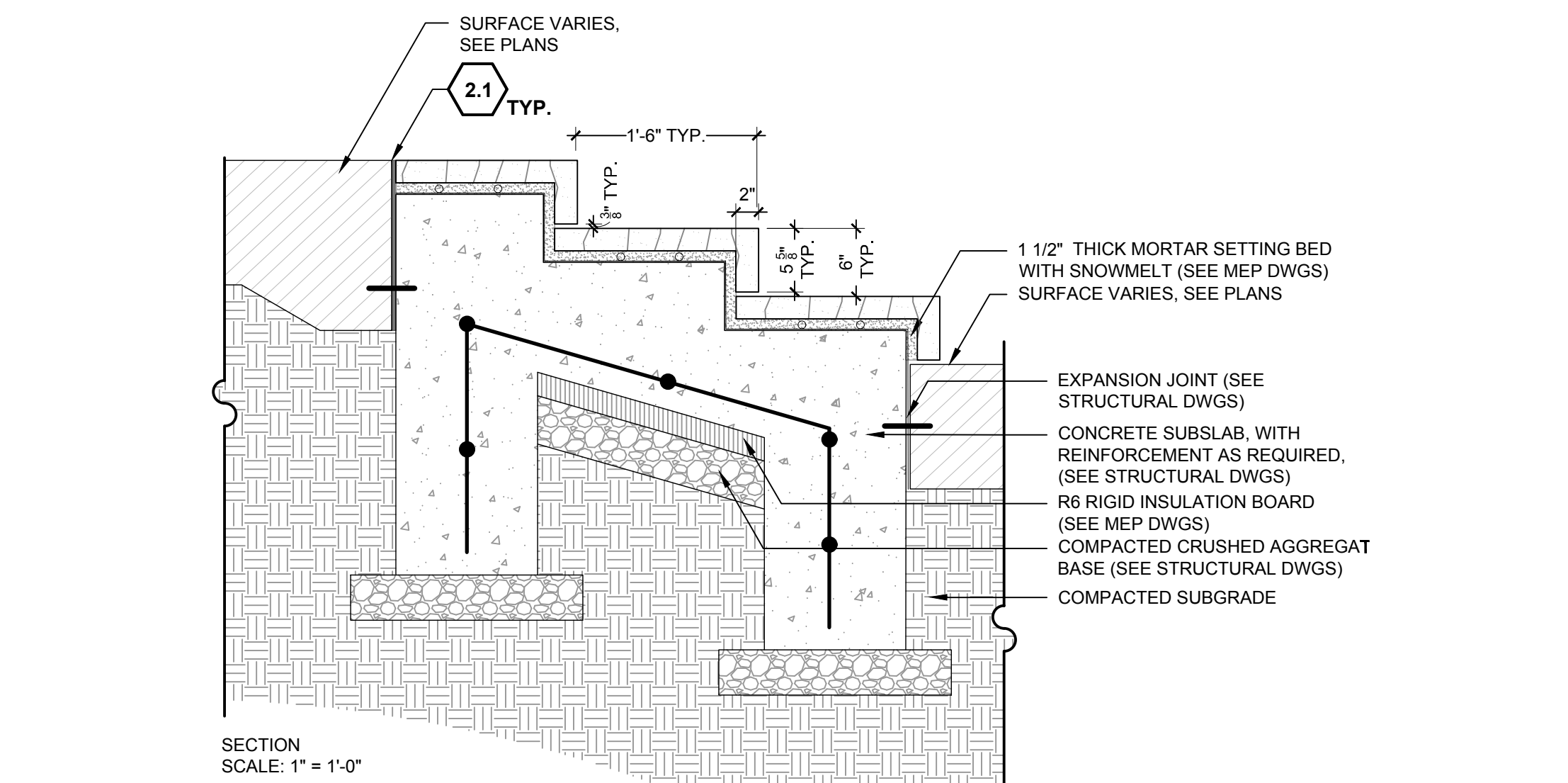
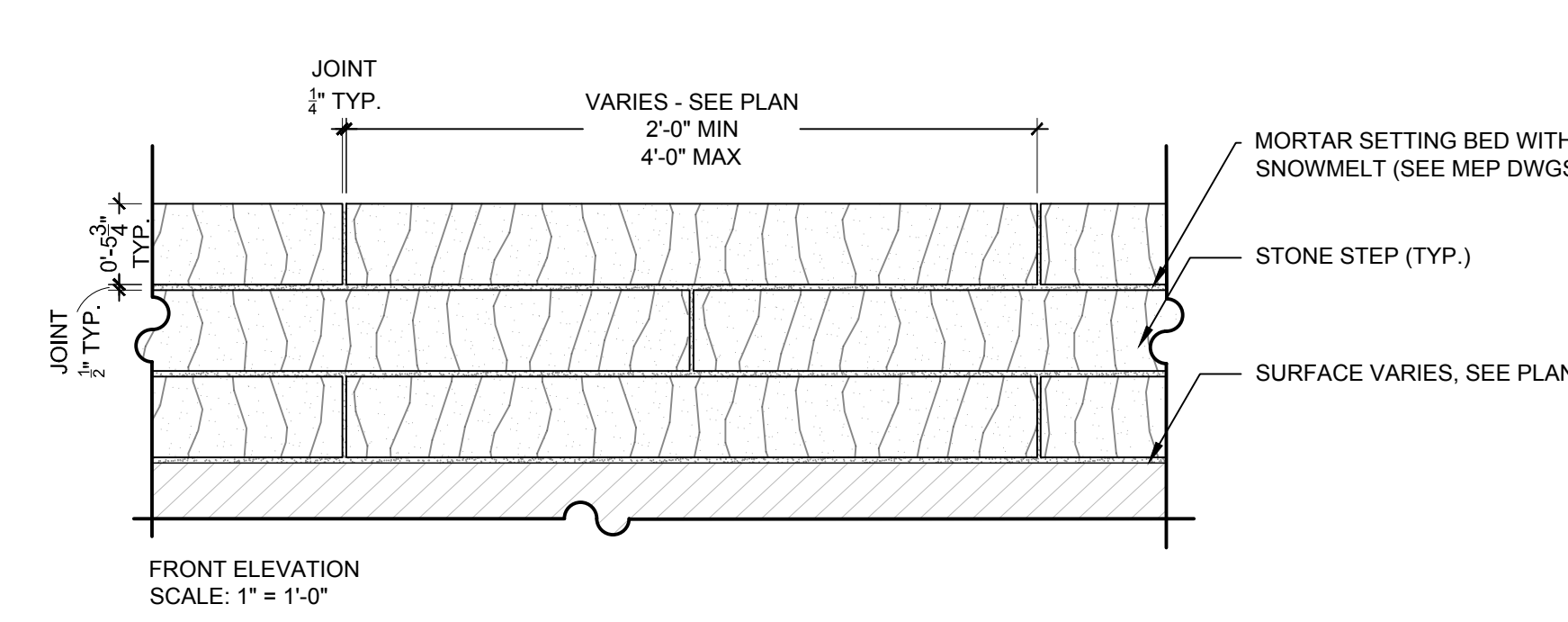
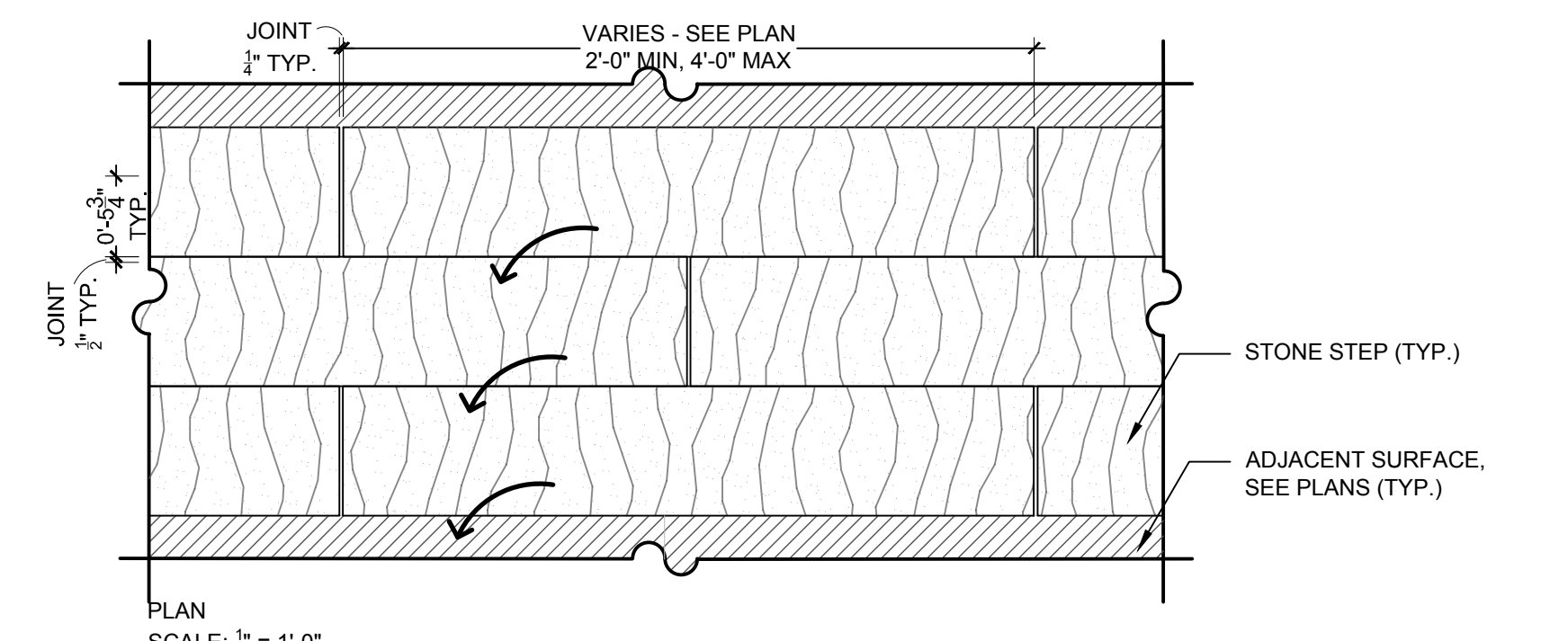
L7-03

**SITE KEYNOTES:**

	DETAIL / SHEET	RELATED DETAILS	SPEC. SECTION
<b>1.0 PAVEMENTS, RAMPS, CURBS</b>			
1.1 Stone Paving Type 1 - Ped.	1 / L7-01		
1.2 Stone Paving Type 2 - Ped. (Snowmelted)	2 / L7-01		
1.3 Stone Paving Type 3 - On Pedestal	3 / L7-01		
1.4 Stone Paving Type 4 - Ped. (Autocover Vault) Type 1	4 / L7-01		
1.5 Stone Paving Type 5 - Ped. (Autocover Vault) Type 2	5 / L7-01		
1.6 Stone Paving Type 6 - Ped. (Coping)	6 / L7-01		
1.7 Gravel - Ped	7 / L7-01		
<b>2.0 JOINTING</b>			
2.1 Mortar Joint	1 / L7-02		
2.2 Control Joint	2 / L7-02		
2.3 Expansion Joint	3 / L7-02		
2.4 Expansion Joint-Doweled	4 / L7-02		
<b>3.0 STEPS</b>			
3.1 Stone Steps Type 1	1 / L7-03		
3.2 Stone Steps Type 2 (Snowmelted)	2 / L7-03		
<b>4.0 SITE WALLS/ EMBANKMENTS</b>			
4.1 Stone Veneer Wall	1 / L7-04		
4.2 Steel Wall	2 / L7-04		
4.3 Boulder Wall	1 / L7-05		
4.4 Dry Stack Wall	2 / L7-05		
<b>5.0 SITE FURNITURE</b>			
<i>Not used at this time.</i>			
<b>6.0 RAILINGS, BARRIERS, FENCING</b>			
6.1 Stair Hand Railing	1 / L7-06	1 / L7-03	
<b>7.0 SITE LIGHTING</b>			
<i>Not used at this time.</i>			
<b>8.0 DRAINAGE</b>			
<i>See Civil's Drawings</i>			
<b>9.0 PLANTING AND LANDSCAPE</b>			
<b>10.0 MISCELLANEOUS ELEMENTS</b>			
10.1 Landscape Boulder	1 / L7-07		
10.1a Landscape Boulder on a Slope	1 / L7-07		
10.1b Landscape Boulder on a Flat Plain	1 / L7-07		



**1 STONE STEP TYPE 1**  
 VARIES



**2 STONE STEP TYPE 2 (SNOWMELTED)**  
 VARIES

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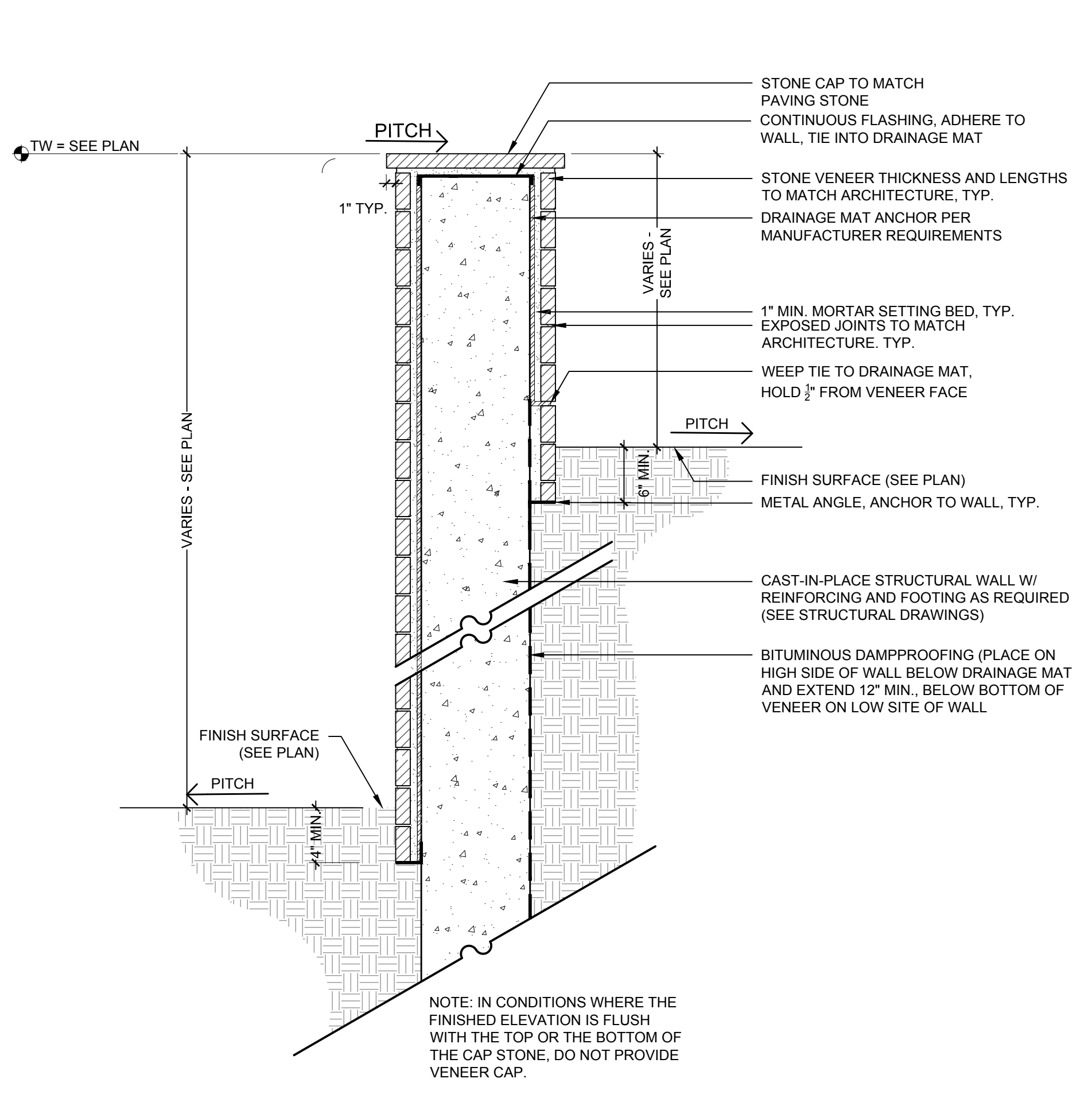
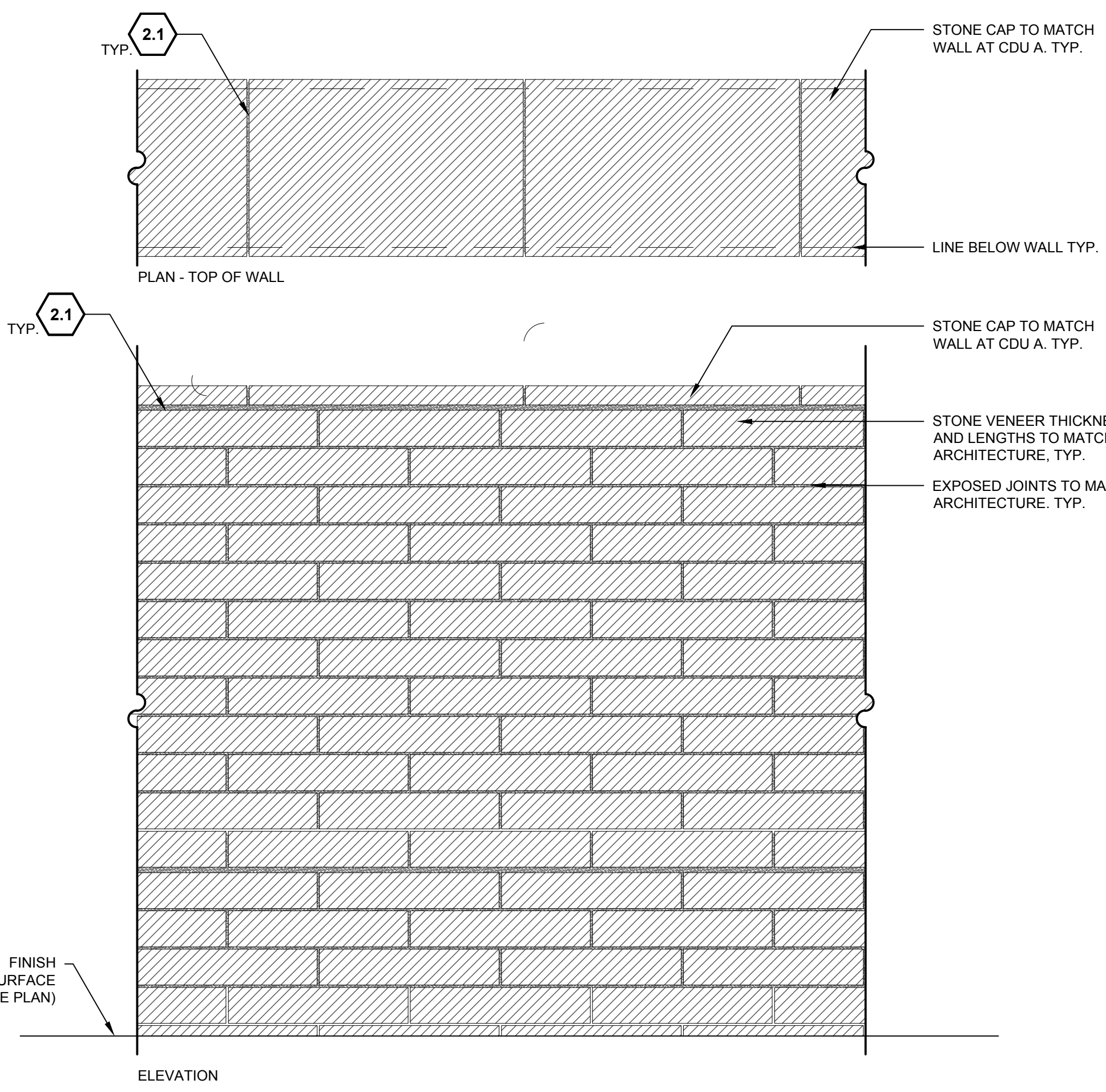
SITE DETAILS

SHEET NUMBER

L7-04

**SITE KEYNOTES:**

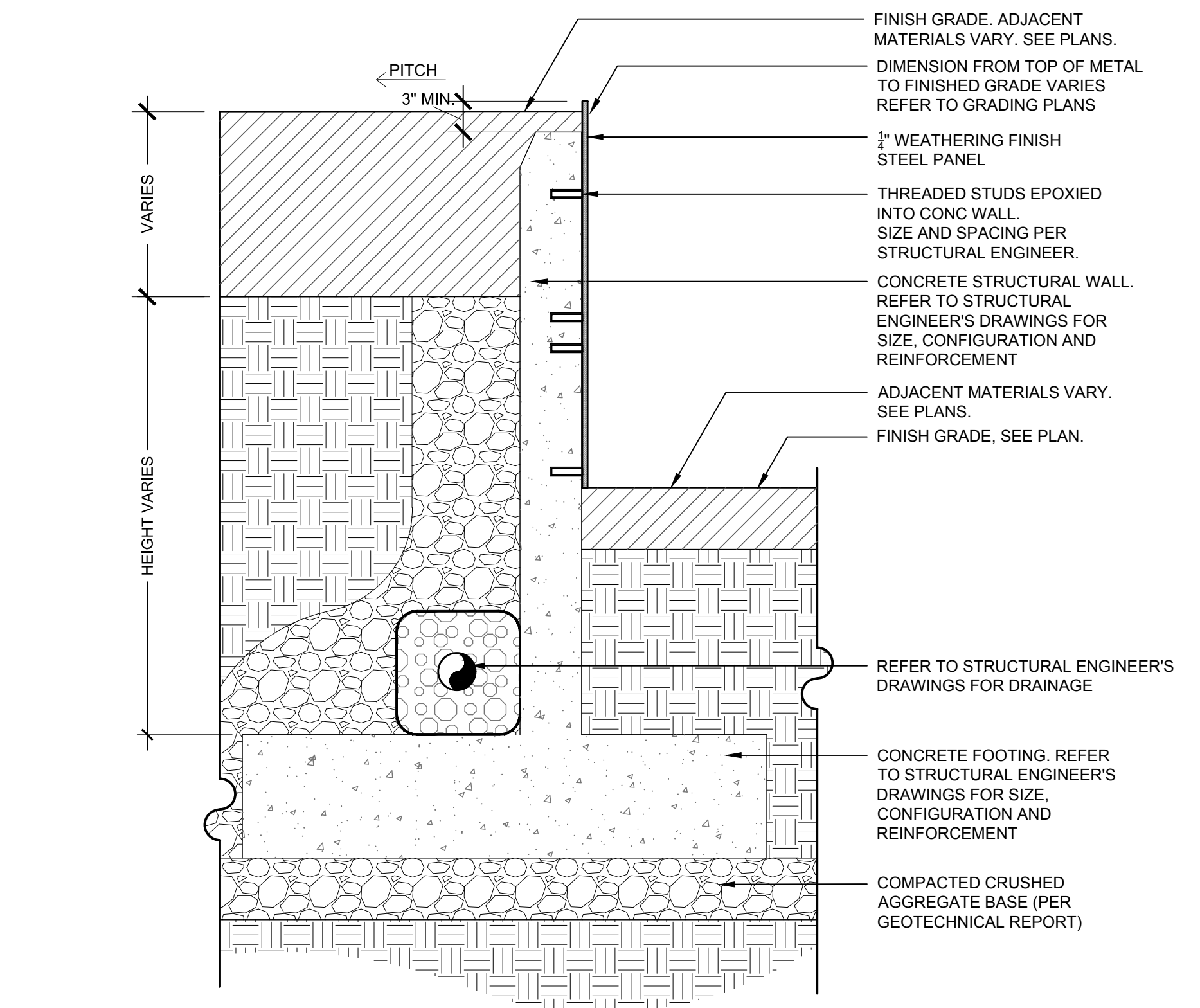
DETAIL / SHEET	RELATED DETAILS	SPEC. SECTION
<b>1.0 PAVEMENTS, RAMPS, CURBS</b>		
1.1	Stone Paving Type 1 - Ped.	1 / L7-01
1.2	Stone Paving Type 2 - Ped. (Snowmelted)	2 / L7-01
1.3	Stone Paving Type 3 - On Pedestal	3 / L7-01
1.4	Stone Paving Type 4 - Ped. (Autocover Vault) Type 1	4 / L7-01
1.5	Stone Paving Type 5 - Ped. (Autocover Vault) Type 2	5 / L7-01
1.6	Stone Paving Type 6 - Ped. (Coping)	6 / L7-01
1.7	Gravel - Ped	7 / L7-01
<b>2.0 JOINTING</b>		
2.1	Mortar Joint	1 / L7-02
2.2	Control Joint	2 / L7-02
2.3	Expansion Joint	3 / L7-02
2.4	Expansion Joint-Doweled	4 / L7-02
<b>3.0 STEPS</b>		
3.1	Stone Steps Type 1	1 / L7-03
3.2	Stone Steps Type 2 (Snowmelted)	2 / L7-03
<b>4.0 SITE WALLS/ EMBANKMENTS</b>		
4.1	Stone Veneer Wall	1 / L7-04
4.2	Steel Wall	2 / L7-04
4.3	Boulder Wall	1 / L7-05
4.4	Dry Stack Wall	2 / L7-05
<b>5.0 SITE FURNITURE</b>		
Not used at this time.		
<b>6.0 RAILINGS, BARRIERS, FENCING</b>		
6.1	Stair Hand Railing	1 / L7-06 1 / L7-03
<b>7.0 SITE LIGHTING</b>		
Not used at this time.		
<b>8.0 DRAINAGE</b>		
See Civil's Drawings		
<b>9.0 PLANTING AND LANDSCAPE</b>		
<b>10.0 MISCELLANEOUS ELEMENTS</b>		
10.1	Landscape Boulder	1 / L7-07
10.1a	Landscape Boulder on a Slope	1 / L7-07
10.1b	Landscape Boulder on a Flat Plain	1 / L7-07



**1 STONE VENEER WALL**

1"=1'-0"

4.1



**2 STEEL WALL**

1"=1'-0"

4.2



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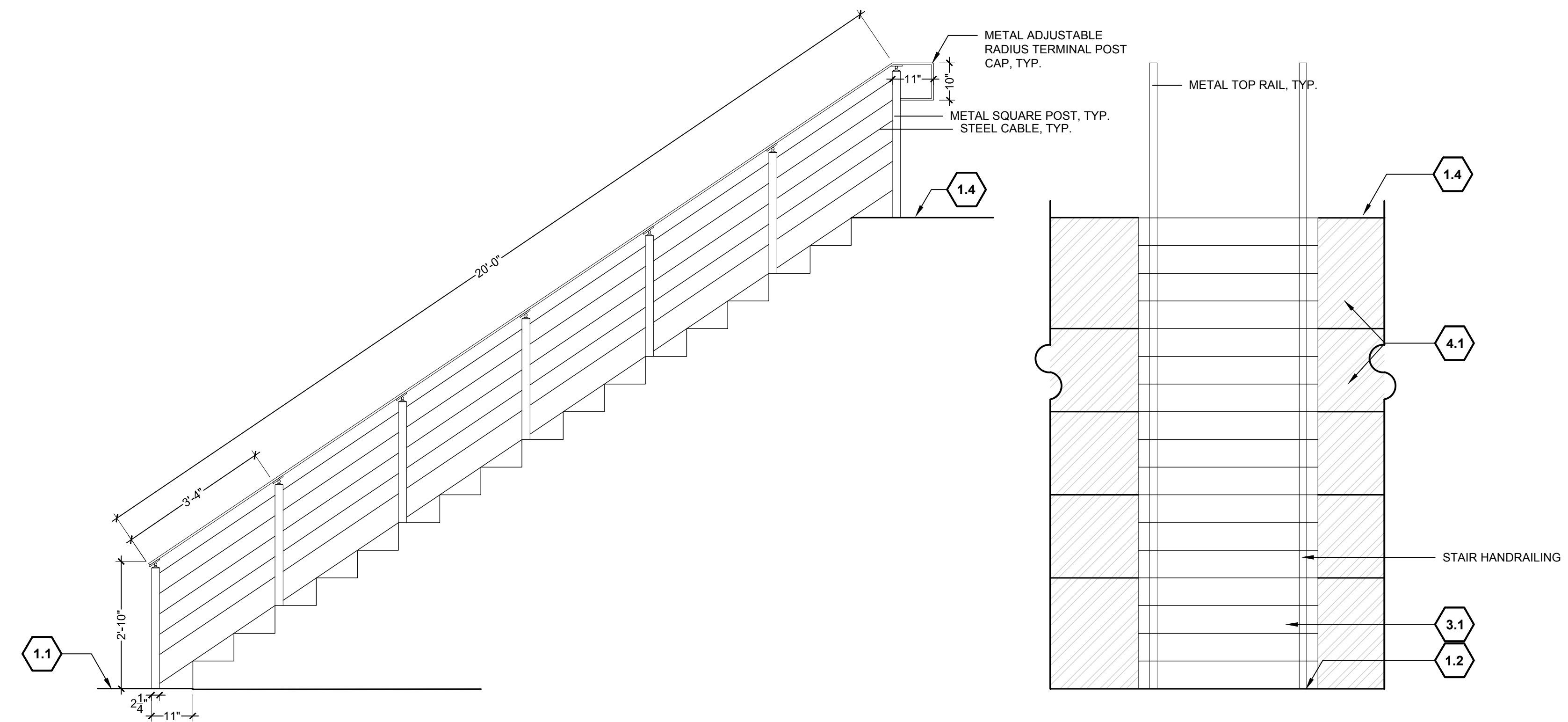
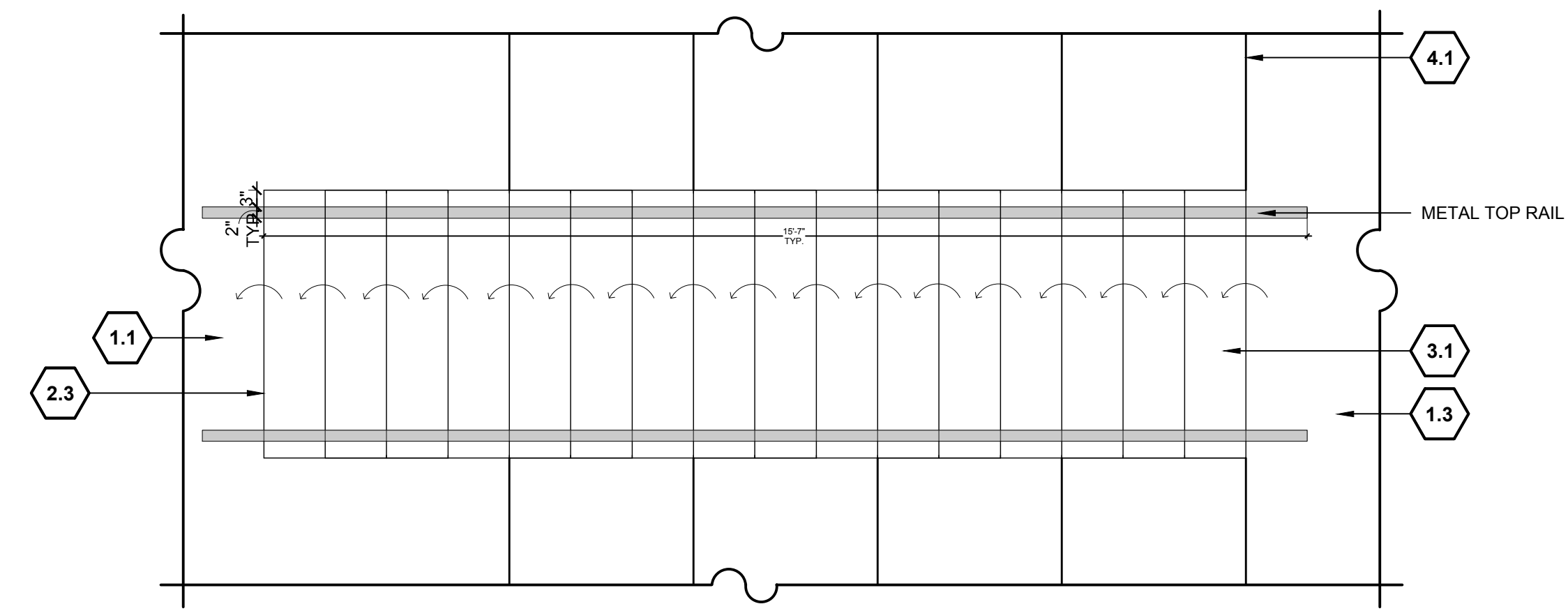
**SITE DETAILS**

SHEET NUMBER

**L7-06**

**SITE KEYNOTES:**

DETAIL / SHEET	RELATED DETAILS	SPEC. SECTION
<b>1.0 PAVEMENTS, RAMPS, CURBS</b>		
1.1	Stone Paving Type 1 - Ped.	1 / L7-01
1.2	Stone Paving Type 2 - Ped. (Snowmelted)	2 / L7-01
1.3	Stone Paving Type 3 - On Pedestal	3 / L7-01
1.4	Stone Paving Type 4 - Ped. (Autocover Vault) Type 1	4 / L7-01
1.5	Stone Paving Type 5 - Ped. (Autocover Vault) Type 2	5 / L7-01
1.6	Stone Paving Type 6 - Ped. (Coping)	6 / L7-01
1.7	Gravel - Ped	7 / L7-01
<b>2.0 JOINTING</b>		
2.1	Mortar Joint	1 / L7-02
2.2	Control Joint	2 / L7-02
2.3	Expansion Joint	3 / L7-02
2.4	Expansion Joint-Doweled	4 / L7-02
<b>3.0 STEPS</b>		
3.1	Stone Steps Type 1	1 / L7-03
3.2	Stone Steps Type 2 (Snowmelted)	2 / L7-03
<b>4.0 SITE WALLS/ EMBANKMENTS</b>		
4.1	Stone Veneer Wall	1 / L7-04
4.2	Steel Wall	2 / L7-04
4.3	Boulder Wall	1 / L7-05
4.4	Dry Stack Wall	2 / L7-05
<b>5.0 SITE FURNITURE</b>		
Not used at this time.		
<b>6.0 RAILINGS, BARRIERS, FENCING</b>		
6.1	Stair Hand Railing	1 / L7-06 1 / L7-03
<b>7.0 SITE LIGHTING</b>		
Not used at this time.		
<b>8.0 DRAINAGE</b>		
See Civil's Drawings		
<b>9.0 PLANTING AND LANDSCAPE</b>		
<b>10.0 MISCELLANEOUS ELEMENTS</b>		
10.1	Landscape Boulder	1 / L7-07
10.1a	Landscape Boulder on a Slope	1 / L7-07
10.1b	Landscape Boulder on a Flat Plain	1 / L7-07



**1 STAIR HANDRAILING**  
 1/2"=1'-0"

6.1

**MCDERMOTT RESIDENCE**  
**600 WALNUT AVE.**  
**KETCHUM, IDAHO**

NOT FOR  
 CONSTRUCTION

ISSUE DATE: MAY 04, 2022

REVISIONS

#	DATE	DESCRIPTION

DRAWN: JW, JP      REVIEWED: MA

100% DESIGN  
 DEVELOPMENT

PROJECT NUMBER: 6530

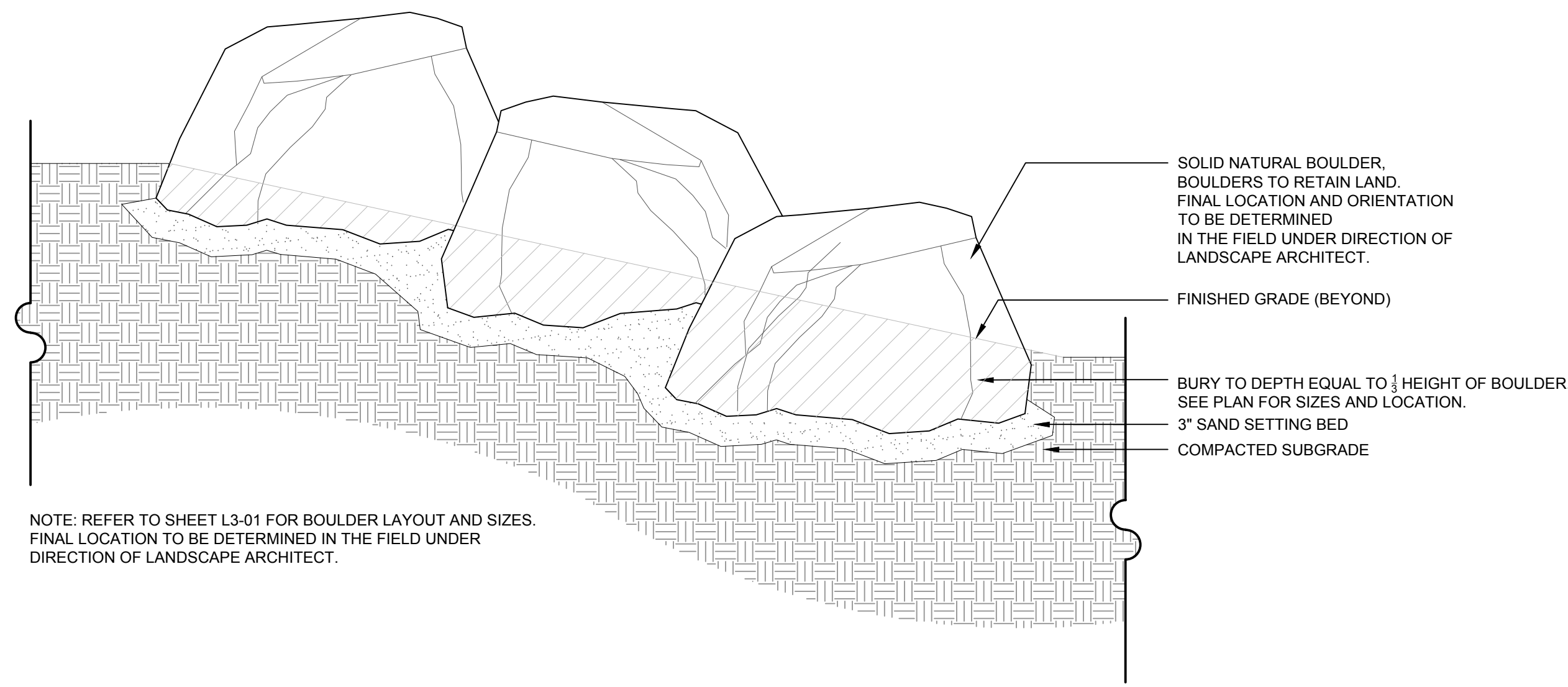
SITE  
 DETAILS

SHEET NUMBER

L7-07

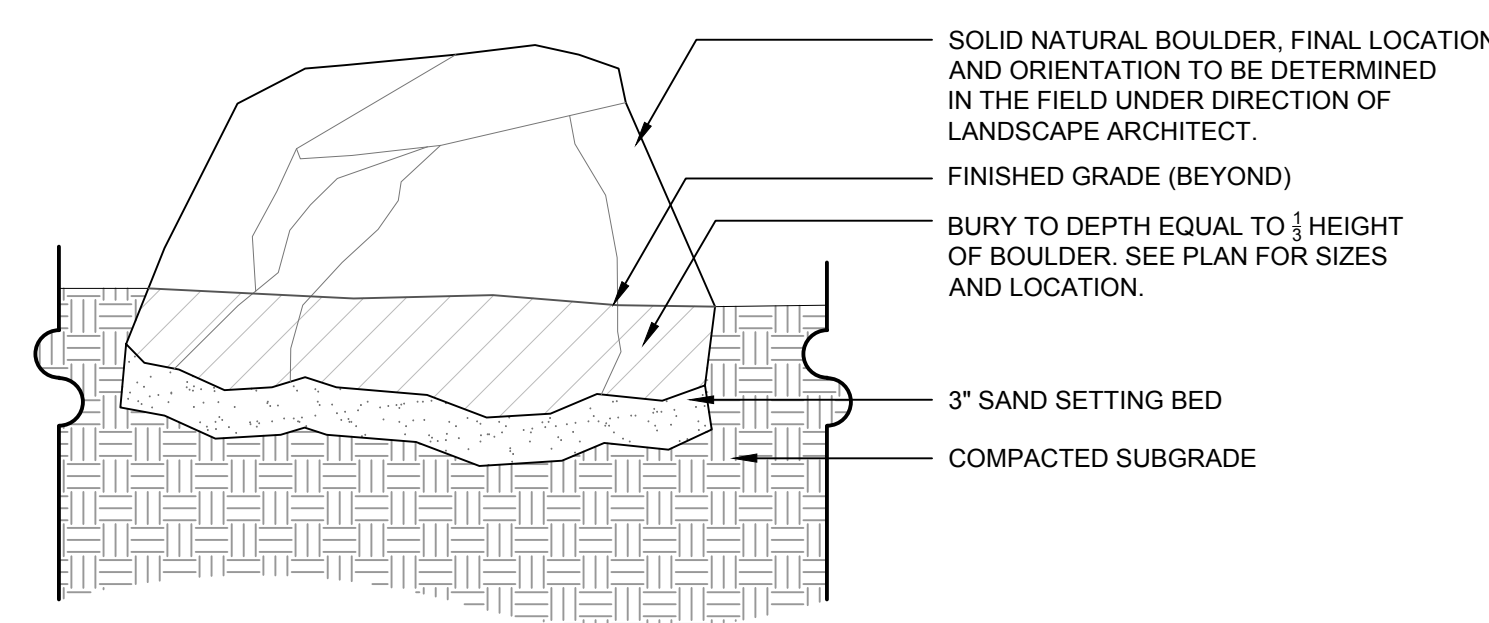
SITE KEYNOTES:

	DETAIL / SHEET	RELATED DETAILS	SPEC. SECTION
<b>1.0 PAVEMENTS, RAMPS, CURBS</b>			
1.1 Stone Paving Type 1 - Ped.	1 / L7-01		
1.2 Stone Paving Type 2 - Ped. (Snowmelted)	2 / L7-01		
1.3 Stone Paving Type 3 - On Pedestal	3 / L7-01		
1.4 Stone Paving Type 4 - Ped. (Autocover Vault) Type 1	4 / L7-01		
1.5 Stone Paving Type 5 - Ped. (Autocover Vault) Type 2	5 / L7-01		
1.6 Stone Paving Type 6 - Ped. (Coping)	6 / L7-01		
1.7 Gravel - Ped	7 / L7-01		
<b>2.0 JOINTING</b>			
2.1 Mortar Joint	1 / L7-02		
2.2 Control Joint	2 / L7-02		
2.3 Expansion Joint	3 / L7-02		
2.4 Expansion Joint-Doweled	4 / L7-02		
<b>3.0 STEPS</b>			
3.1 Stone Steps Type 1	1 / L7-03		
3.2 Stone Steps Type 2 (Snowmelted)	2 / L7-03		
<b>4.0 SITE WALLS/ EMBANKMENTS</b>			
4.1 Stone Veneer Wall	1 / L7-04		
4.2 Steel Wall	2 / L7-04		
4.3 Boulder Wall	1 / L7-05		
4.4 Dry Stack Wall	2 / L7-05		
<b>5.0 SITE FURNITURE</b>			
<i>Not used at this time.</i>			
<b>6.0 RAILINGS, BARRIERS, FENCING</b>			
6.1 Stair Hand Railing	1 / L7-06	1 / L7-03	
<b>7.0 SITE LIGHTING</b>			
<i>Not used at this time.</i>			
<b>8.0 DRAINAGE</b>			
<i>See Civil's Drawings</i>			
<b>9.0 PLANTING AND LANDSCAPE</b>			
<b>10.0 MISCELLANEOUS ELEMENTS</b>			
10.1 Landscape Boulder	1 / L7-07		
10.1a Landscape Boulder on a Slope	1 / L7-07		
10.1b Landscape Boulder on a Flat Plain	1 / L7-07		



**LANDSCAPE BOULDER A**

10.1A

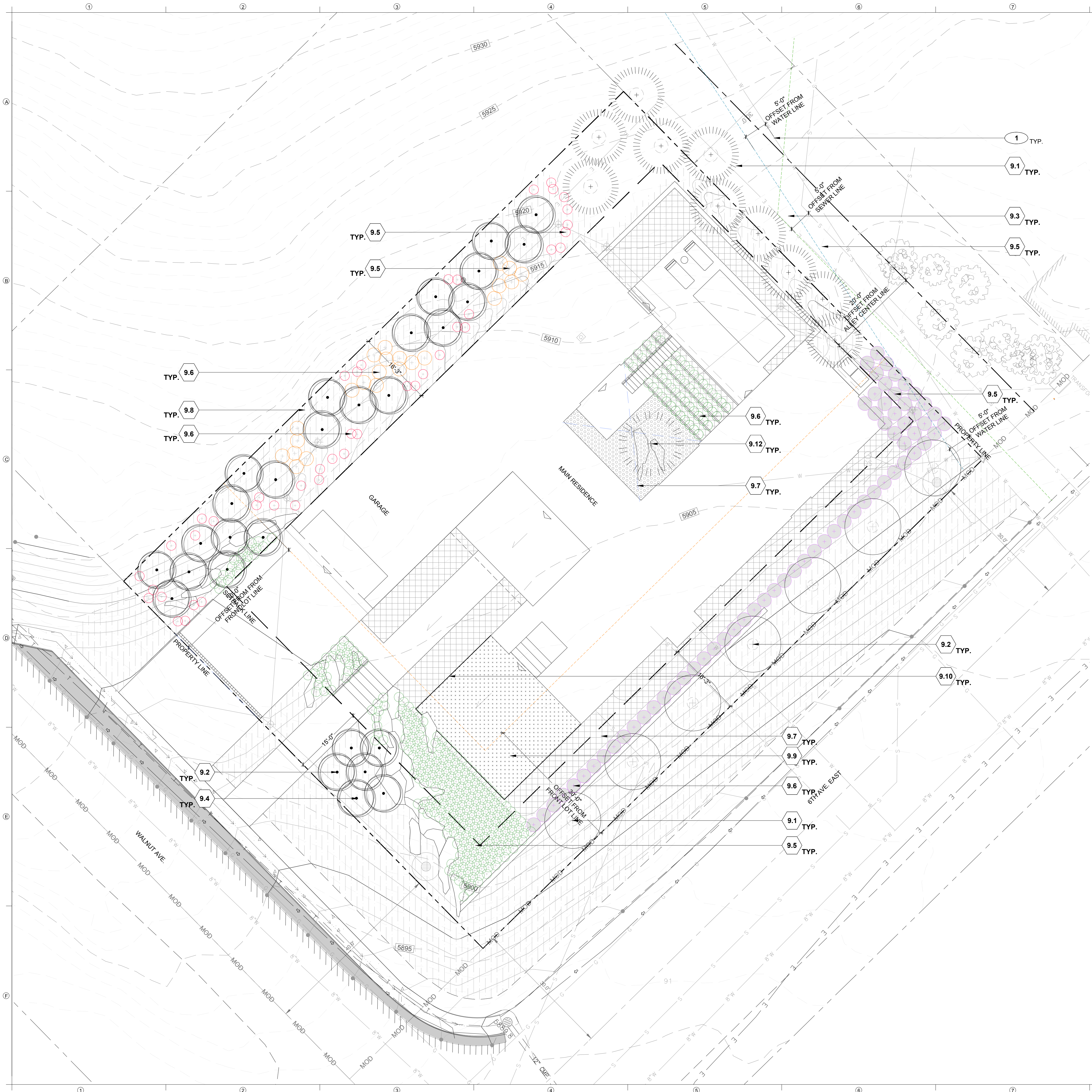


**LANDSCAPE BOULDER B**

10.1B

**1 LANDSCAPE BOULDER**  
 1"=1'-0"

10.1 10.1A 10.1B



**SITE KEYNOTES:**

9.0	DETAIL / SHEET	RELATED DETAIL(S)	SPEC. SECTION
9.1	1 / L9-01	-----	329300
9.2	2 / L9-01	-----	329300
9.3	3 / L9-01	-----	329300
9.4	4 / L9-01	-----	329300
9.5	1 / L9-02	-----	329300
9.6	2 / L9-02	-----	329300
9.7	3 / L9-02	-----	329300
9.8	4 / L9-02	-----	329200
9.9	5 / L9-02	-----	329200
9.10	1 / L9-03	-----	329200
9.11	2 / L9-03	-----	329200
9.12	3 / L9-03	-----	329200

**PLANTING REFERENCE NOTES**

- 1 Existing site utilities, see sheet L0-04 for linetype.
- 2 Existing tree to remain in place. Do not disturb.

**PLANT LIST**

SYMBOL/ABBR.	QTY.	BOTANICAL NAME	COMMON NAME	TYPE
<b>CONIFEROUS TREES</b>				
	1	<i>Pinus parviflora</i>	Japanese White Pine	B&B
	3	<i>Pinus ponderosa</i>	Ponderosa Pine	B&B
	3	<i>Pinus ponderosa</i>	Ponderosa Pine	B&B
	1	<i>Pinus ponderosa</i>	Ponderosa Pine	B&B
	1	<i>Pinus ponderosa</i>	Ponderosa Pine	B&B
Proposed coniferous caliper total = 39" (Note for trees up to 20' ht., 3 caliper inches per tree is used in calculation. For trees 20' and above in height, 9 caliper inches is used per tree in the calculation.)				
<b>DECIDUOUS TREES</b>				
	6	<i>Populus tremuloides</i>	Quaking Aspen (Single-Stem)	B&B
	9	<i>Populus tremuloides</i>	Quaking Aspen (Single-Stem)	B&B
	7	<i>Populus tremuloides</i>	Quaking Aspen (Multi-Stem)	B&B
	9	<i>Populus tremuloides</i>	Quaking Aspen (Multi-Stem)	B&B
	7	<i>Malus Radiant</i>	Radiant Crabapple	B&B
Proposed deciduous total caliper inches = 139" (Note: For multi-stem trees, only one trunk is included in calculations.)				
<b>SHRUBS</b>				
	22	<i>Pinus mugo</i> var. <i>rostrata</i>	Rostrata Mugo Pine	B&B
	23	<i>Amelanchier alnifolia</i>	Western Serviceberry	B&B
	70	<i>Cotoneaster acutifolia</i>	Peking Cotoneaster	B&B
	373	<i>Rhus aromatica</i> 'Gro-Low'	Fragrant Sumac	Container
	61	<i>Artemisia tridentata</i>	Western Sagebrush	Container
<b>PERENNIALS &amp; GROUNDCOVERS</b>				
	770	<i>Achillea millefolium</i>	Yarrow	Container
	770	<i>Penstemon eastonii</i>	Firecracker Penstemon	Container
	770	<i>Penstemon fruticosus</i>	Shrubby Penstemon	Container
	770	<i>Oenothera macrocarpa</i> ssp. <i>Fremonti</i> 'shimmer'	Fremont's Evening Primrose	Container
	770	<i>Sphaeralcea murroana</i>	Orange Globe Marrow	Container
	400	<i>Sedum spurius</i> 'Dragon's Blood'	Dragon's Blood Sedum	Container
	1,307	<i>Vinca minor</i>	Common Periwinkle	Container
<b>TURF AND GRASSES</b>				
	637 SF	No Mow Fescue		
		<i>Festuca rubra</i>	Red Fescue	
		<i>Festuca rubra commutata</i>	Chewings Fescue	
		<i>Festuca ovina</i>	Sheep Fescue	
	7,385 SF	Native Revegetation		
		<i>Bromus carinatus</i>	Mountain Brome	
		<i>Festuca ovina distachyoides</i>	Hard Fescue	
		<i>Pseudoroegneria spicata</i>	Blue Bunch Wheatgrass	

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**600 WALNUT AVE.**  
**KETCHUM, IDAHO**

**NOT FOR CONSTRUCTION**

ISSUE DATE: MAY 04, 2022

REVISIONS	#	DATE	DESCRIPTION

DRAWN: JW, JP    REVIEWED: MA

**100% DESIGN DEVELOPMENT**

PROJECT NUMBER: 6530

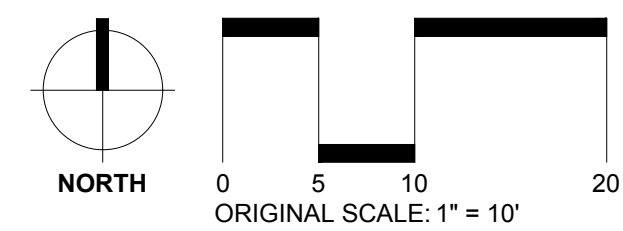
**SITE PLANTING PLAN**

SHEET NUMBER

**L8-01**

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NOTE: PRINT PAGE IN COLOR



May 04, 2022 12:29pm  
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**SITE KEYNOTES:**

9.0	PLANTING AND LANDSCAPE	DETAIL / SHEET	RELATED DETAIL(S)	SPEC. SECTION
9.1	Deciduous Tree Planting on Slope	1 / L9-01		329300
9.2	Deciduous Tree Planting	2 / L9-01		329300
9.3	Deciduous Multi-Stem Tree Planting on Slope	3 / L9-01		329300
9.4	Deciduous Multi-Stem Tree Planting	4 / L9-01		329300
9.5	Shrub Planting on Slope	1 / L9-02		329300
9.6	Shrub Planting	2 / L9-02		329300
9.7	Perennial and Groundcover Planting	3 / L9-02		329300
9.8	Native Seeding	4 / L9-02		329200
9.9	Lawn Turf	5 / L9-02		329200
9.10	Metal Edging	1 / L9-03		329200
9.11	Coniferous Tree Planting on Slope	2 / L9-03		329200
9.12	Coniferous Tree Planting	3 / L9-03		329200

**11.0 PLANT PROTECTION**

11.1	Tree Protection Fence	4 / L9-03	015639
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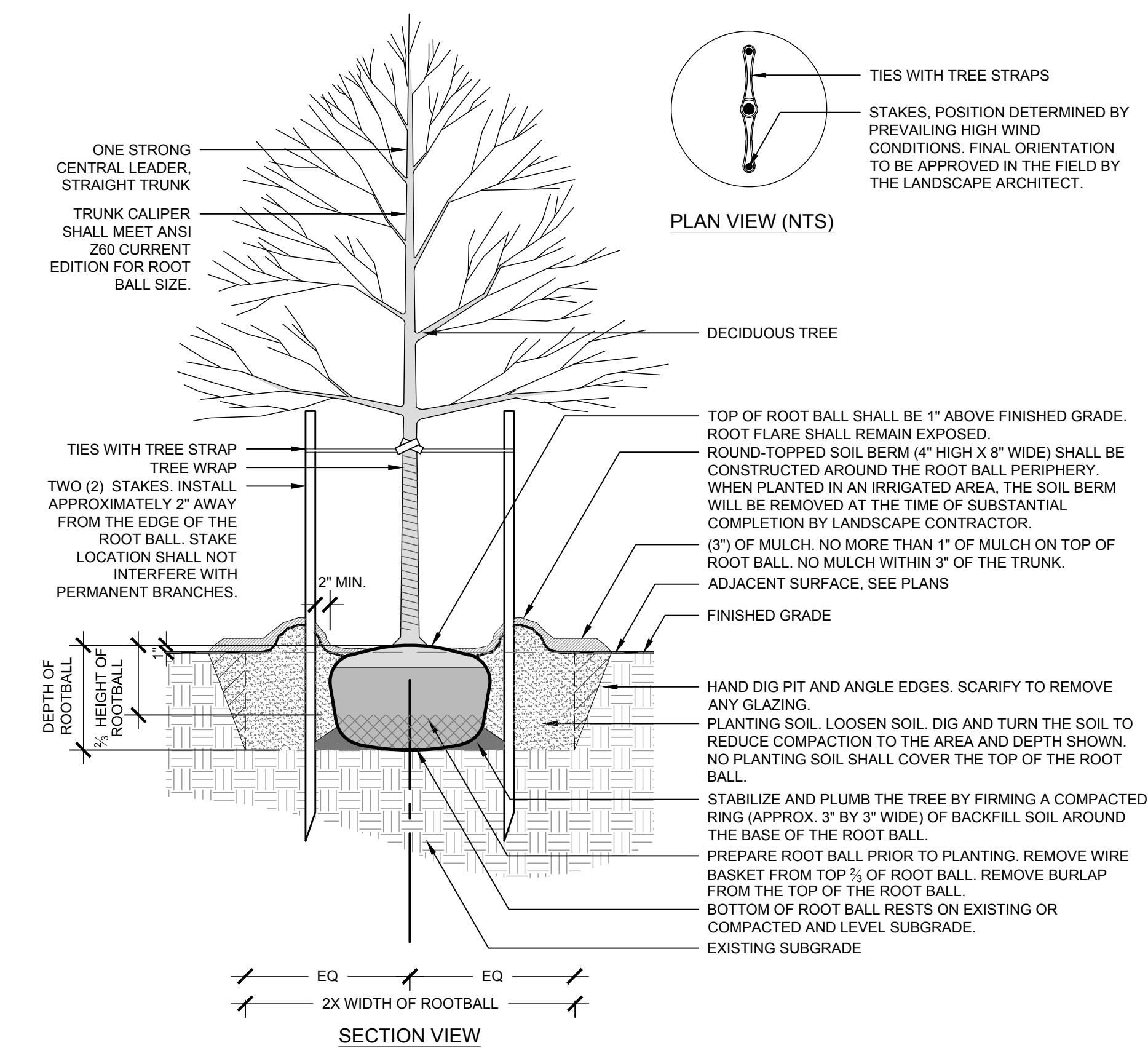
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**PLANTING DETAILS**

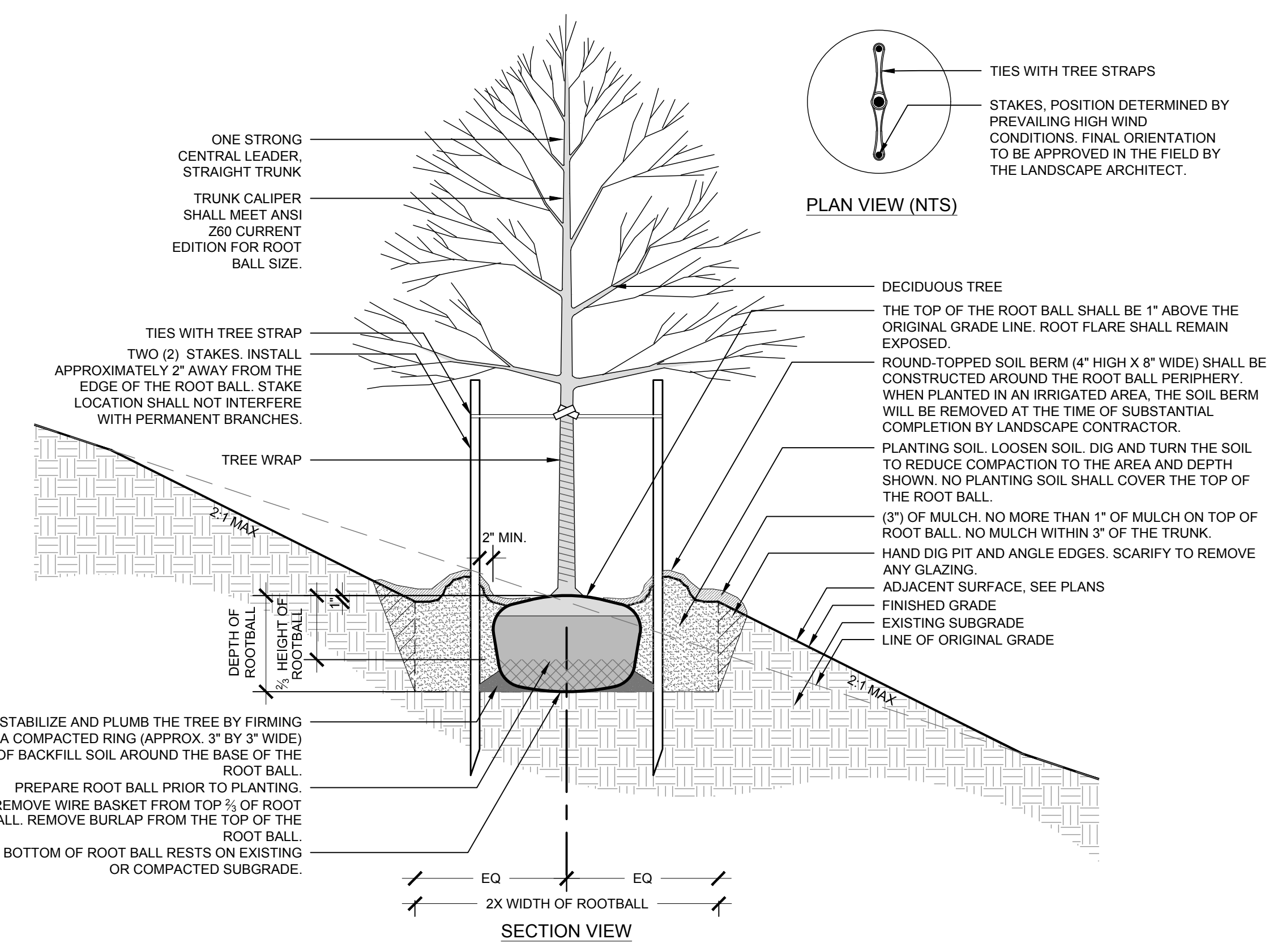
SHEET NUMBER

**L9-01**

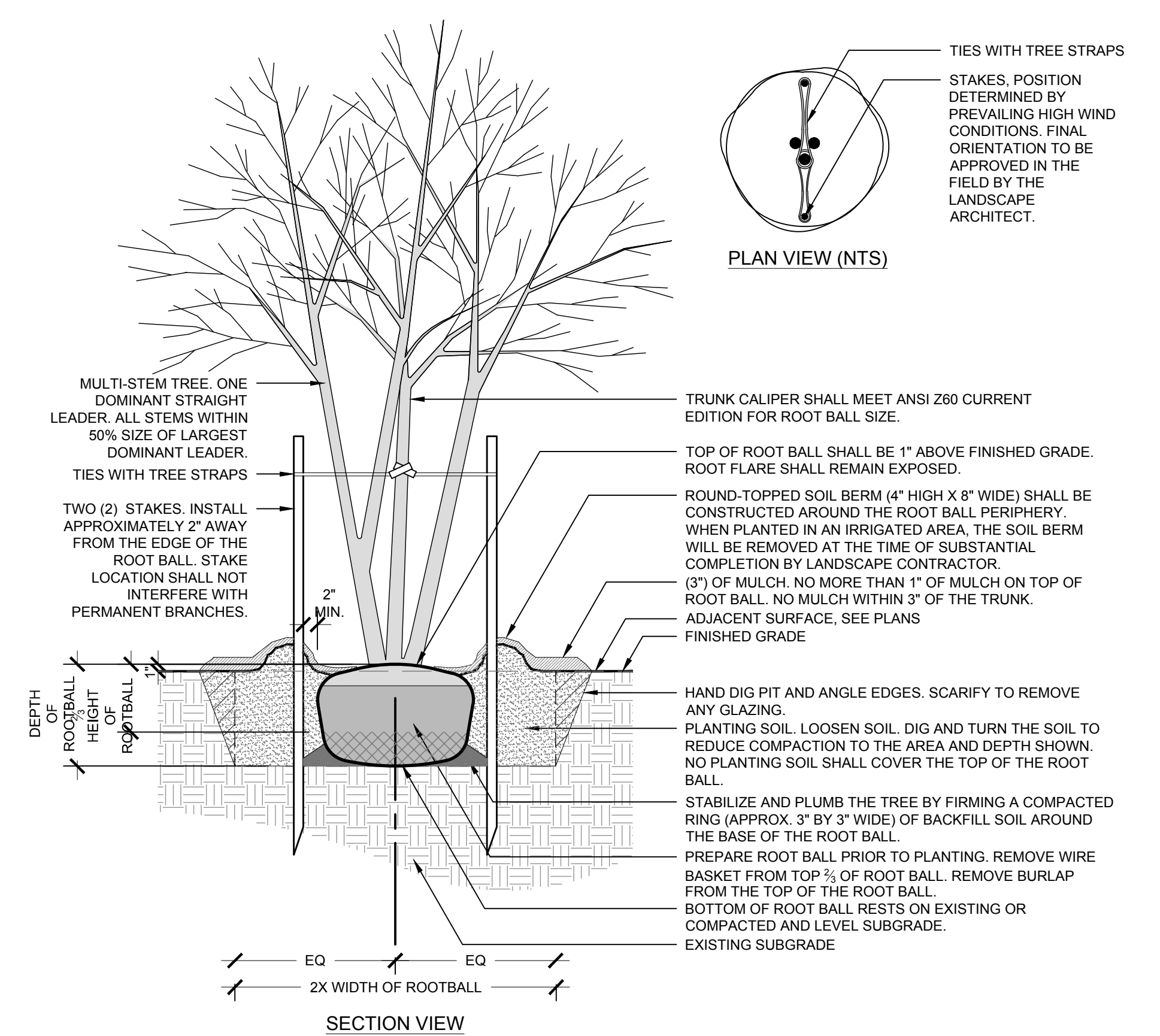
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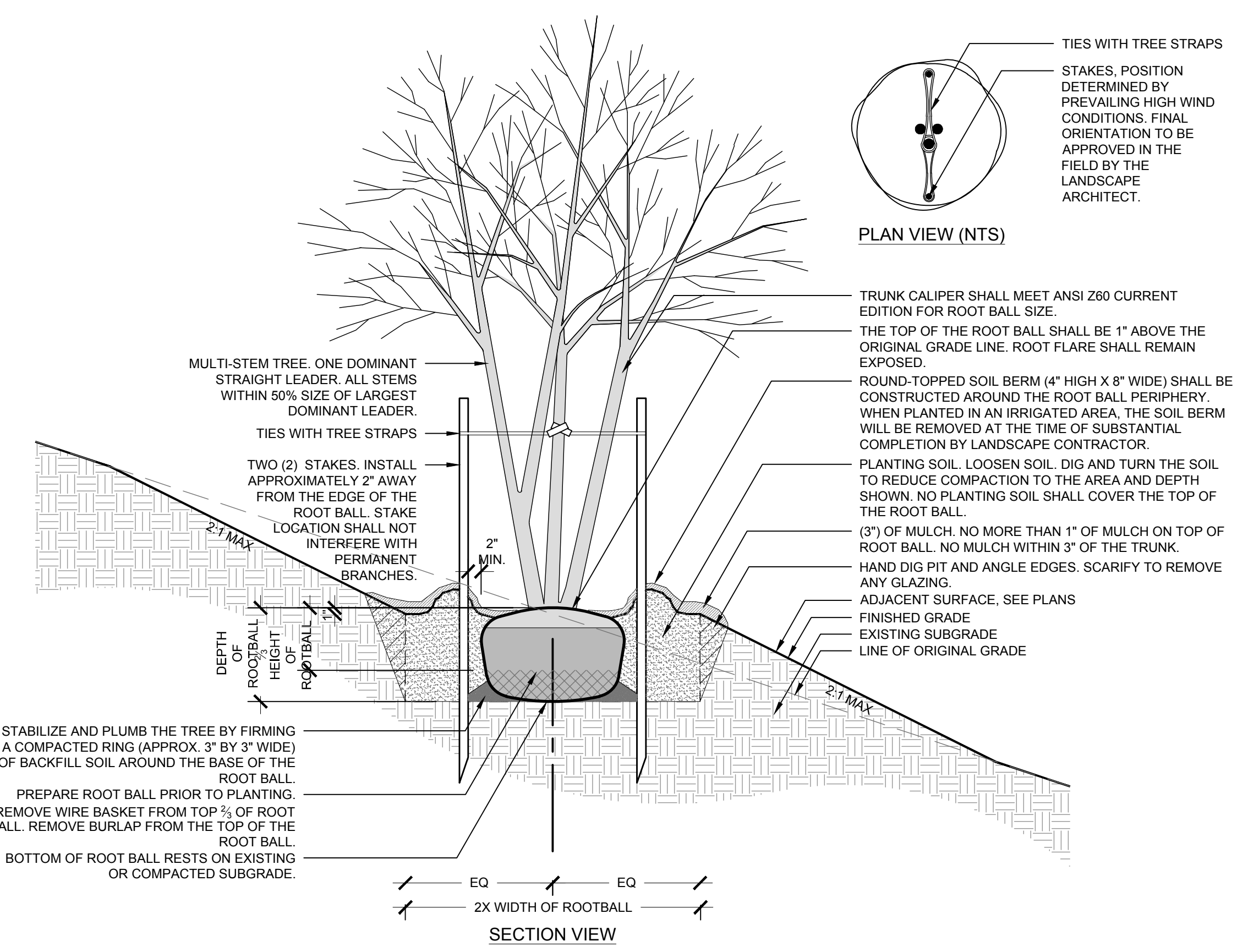
**2 DECIDUOUS TREE PLANTING**  
NOT TO SCALE



**1 DECIDUOUS TREE PLANTING ON SLOPE**  
NOT TO SCALE



**4 DECIDUOUS MULTI-STEM PLANTING**  
NOT TO SCALE



**3 DECIDUOUS MULTI-STEM PLANTING ON SLOPE**  
NOT TO SCALE

**SITE KEYNOTES:**

DETAIL / SHEET	RELATED DETAIL(S)	SPEC. SECTION
<b>9.0 PLANTING AND LANDSCAPE</b>		
9.1	Deciduous Tree Planting on Slope	1 / L9-01 ----- 329300
9.2	Deciduous Tree Planting	2 / L9-01 ----- 329300
9.3	Deciduous Multi-Stem Tree Planting on Slope	3 / L9-01 ----- 329300
9.4	Deciduous Multi-Stem Tree Planting	4 / L9-01 ----- 329300
9.5	Shrub Planting on Slope	1 / L9-02 ----- 329300
9.6	Shrub Planting	2 / L9-02 ----- 329300
9.7	Perennial and Groundcover Planting	3 / L9-02 ----- 329300
9.8	Native Seeding	4 / L9-02 ----- 329200
9.9	Lawn Turf	5 / L9-02 ----- 329200
9.10	Metal Edging	1 / L9-03 ----- 329200
9.11	Coniferous Tree Planting on Slope	2 / L9-03 ----- 329200
9.12	Coniferous Tree Planting	3 / L9-03 ----- 329200

**11.0 PLANT PROTECTION**

11.1	Tree Protection Fence	4 / L9-03 ----- 015639
------	-----------------------	------------------------

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**600 WALNUT AVE.**  
**KETCHUM, IDAHO**

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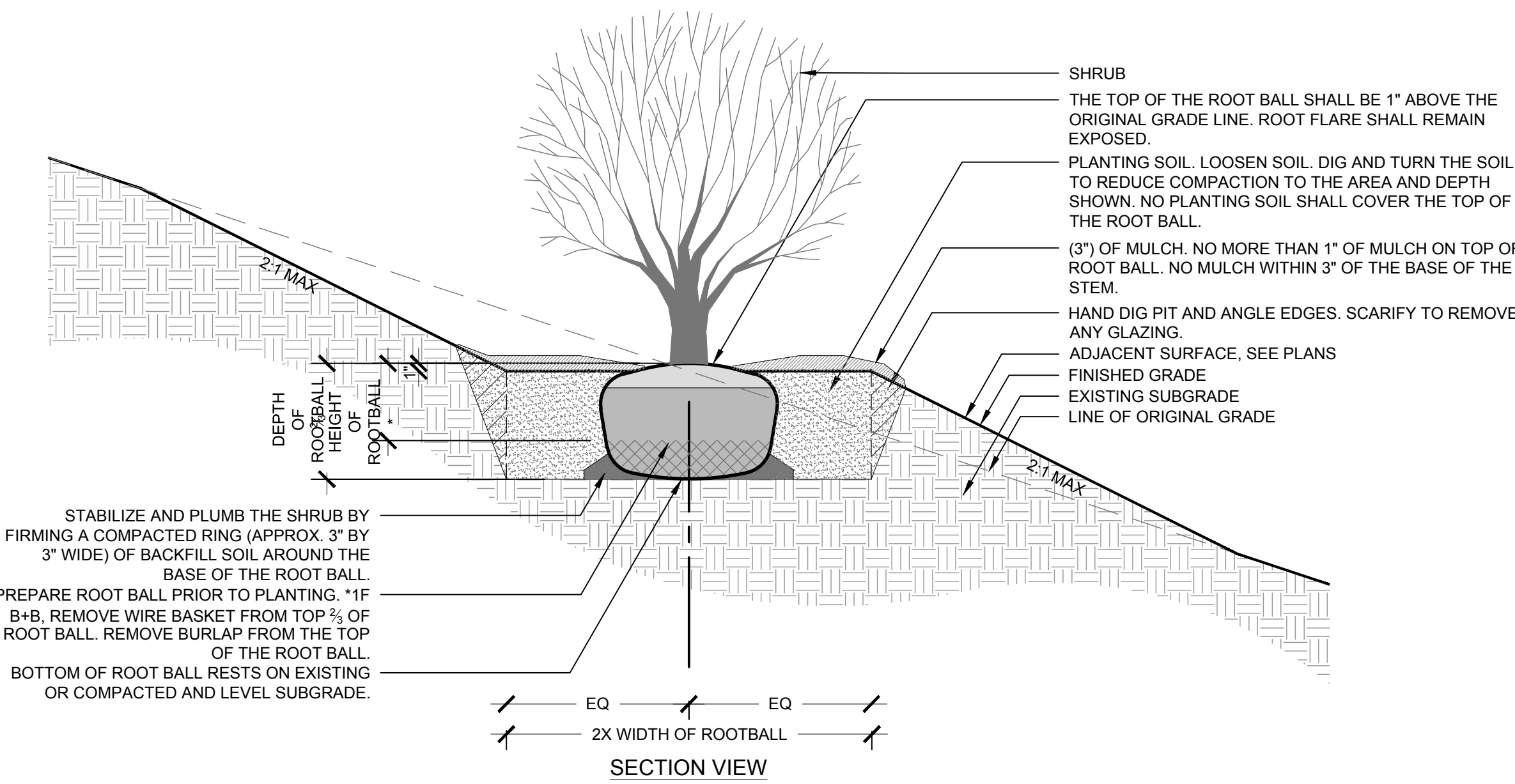
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**PLANTING DETAILS**

SHEET NUMBER

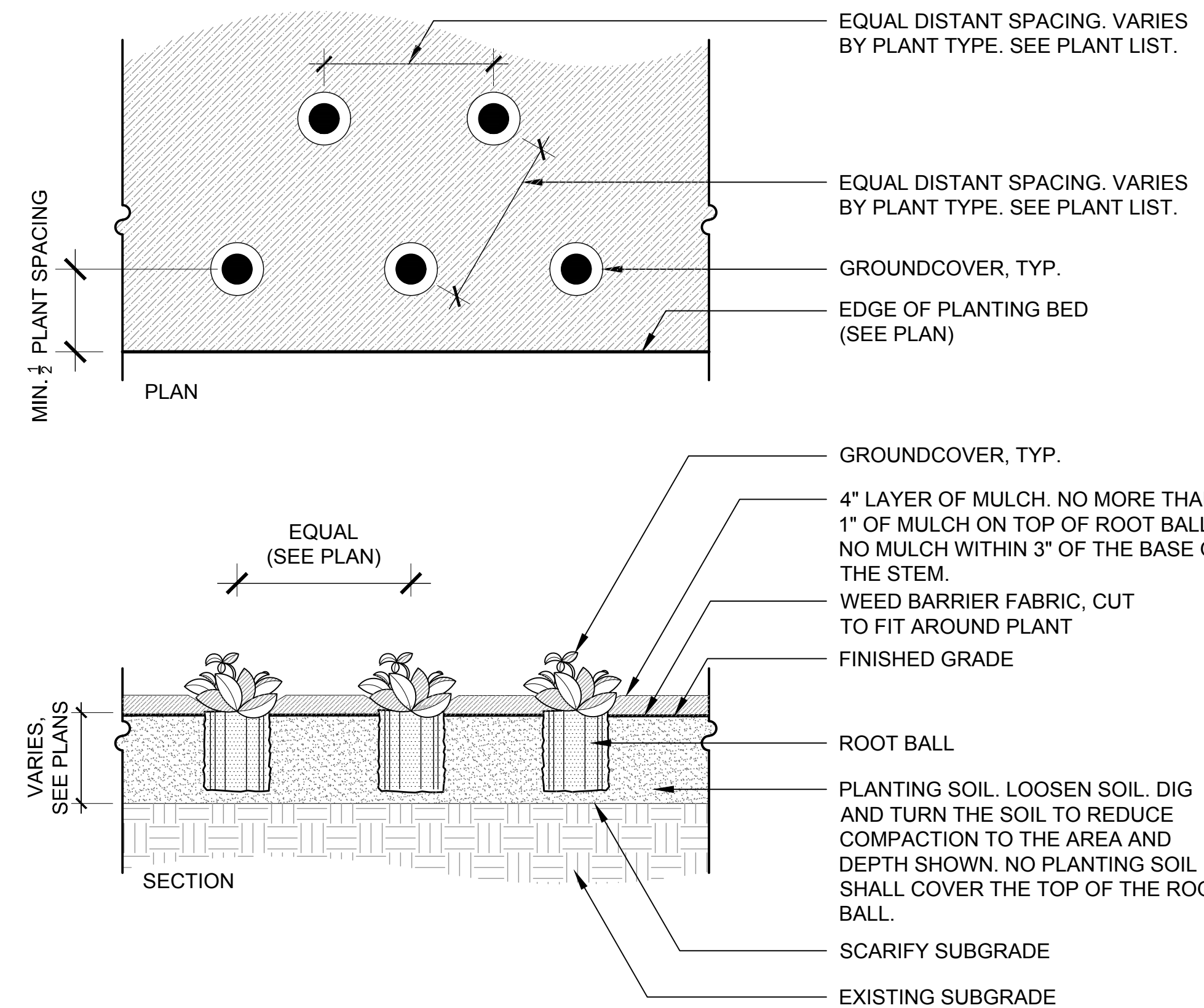
**L9-02**



**1 SHRUB PLANTING ON SLOPE**

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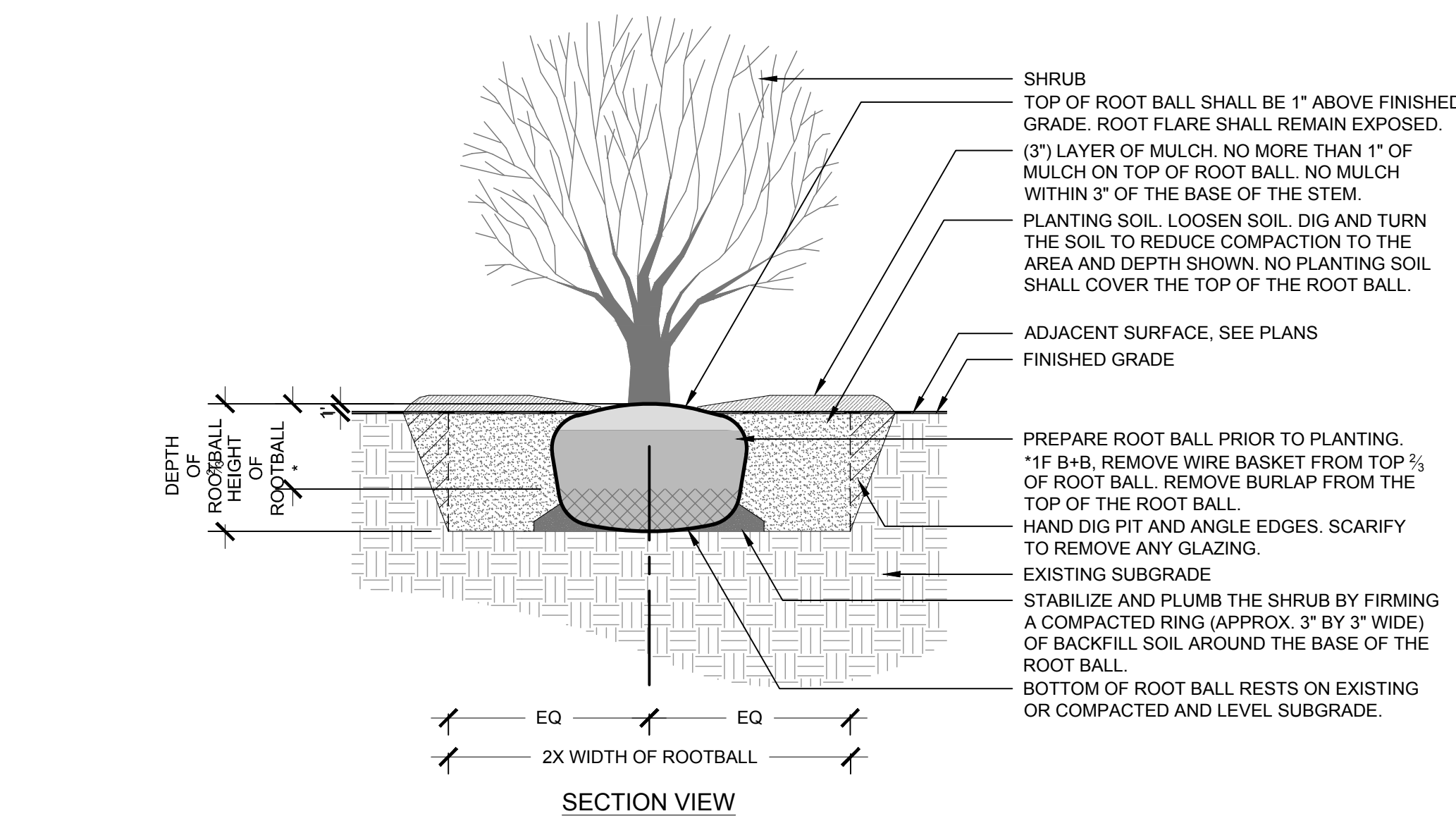
9.5



**3 PERENNIAL AND GROUNDCOVER PLANTING**

NOT TO SCALE

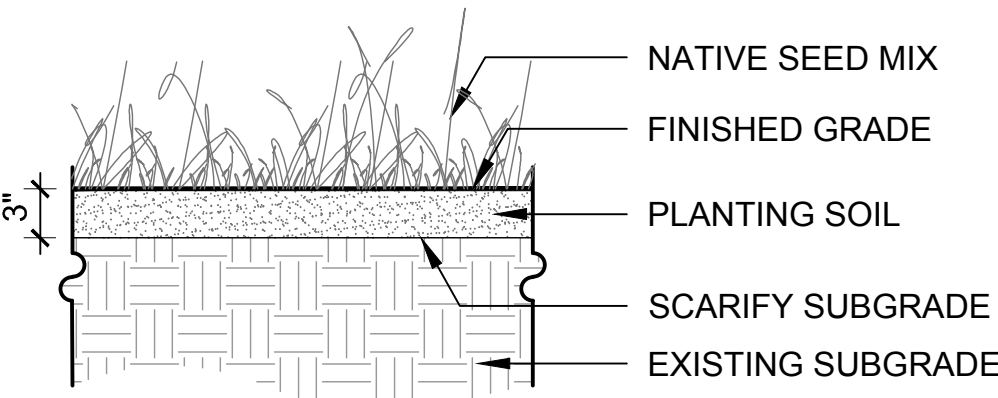
9.7



**2 SHRUB PLANTING**

NOT TO SCALE

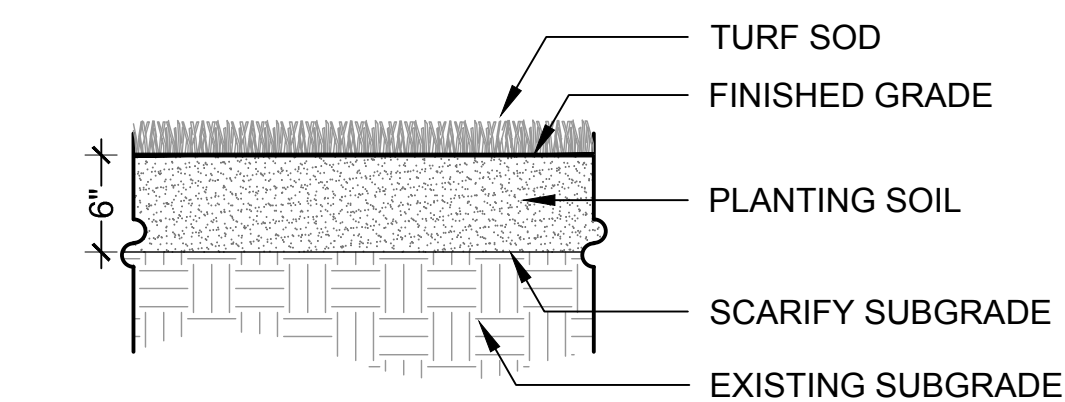
9.6



**4 NATIVE SEEDING**

NOT TO SCALE

9.8



**5 LAWN TURF SODDING**

NOT TO SCALE

9.9



**MCDERMOTT RESIDENCE**  
**600 WALNUT AVE.**  
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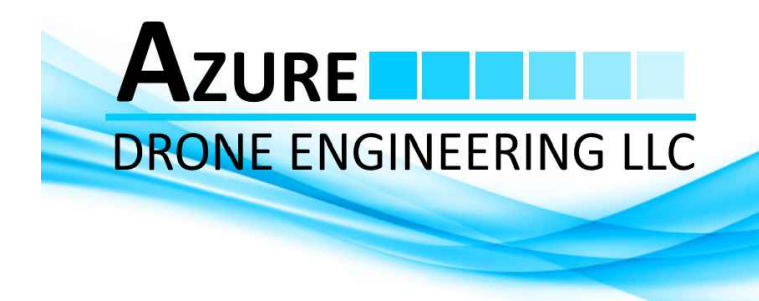
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DEVELOPMENT

PROJECT NUMBER: 0530

IRRIGATION  
LEGEND AND  
NOTES

SHEET NUMBER

IR1-01



IRRIGATION LEGEND AND SCHEDULE

- SLEEVES: CLASS 200 PVC
- POINT-OF-CONNECTION
- MAINLINE PIPE: CLASS 200 PVC  
1 1/4-INCH SIZE UNLESS OTHERWISE INDICATED
- LATERAL PIPE: CLASS 200 PVC  
1-INCH SIZE UNLESS OTHERWISE INDICATED
- POLYETHYLENE DRIP PIPE TO TREES: UV RADIATION RESISTANT  
3/4-INCH UNLESS OTHERWISE INDICATED, 30 PSI REQUIRED
- POLYETHYLENE DRIP PIPE: UV RADIATION RESISTANT  
3/4-INCH UNLESS OTHERWISE INDICATED, 30 PSI REQUIRED
- REMOTE CONTROL VALVE ASSEMBLY FOR SPRINKLER  
LATERALS: RAIN BIRD PEB (SEE PLAN FOR SIZES)
- REMOTE CONTROL DRIP VALVE ASSEMBLY:  
RAIN BIRD XCZ-PRB-100-COM
- QUICK COUPLING VALVE ASSEMBLY: RAIN BIRD 5RC
- LOCKABLE ISOLATION GATE VALVE ASSEMBLY: MATCO 514
- FLOW SENSOR ASSEMBLY: RAIN BIRD FS100B
- BACKFLOW PREVENTION ASSEMBLY: FEBCO 765
- MASTER VALVE ASSEMBLY: RAIN BIRD PESB
- FLUSH CAP ASSEMBLY
- UNCONNECTED PIPE CROSSING
- CONTROLLER AND STATION NUMBER  
A1  
1" 12  
1.4  
VALVE SIZE (INCHES)
- IRRIGATION CONTROLLER UNIT WITH: RAIN/FREEZE SENSOR, FLOW SMART MODULE,  
WIFI MODULE FOR WEATHER SCHEDULING, TWO (2) 12 STATION EXPANSION MODULES  
CONTROLLER A: RAIN BIRD ESP12LXMEF, 36 STATIONS USED
- RAIN/FREEZE SENSOR: RAIN BIRD WR2-RFC
- POP-UP SPRAY SPRINKLER: RAIN BIRD RD1806-S-P30 W/U-SERIES 8 NOZZLE  
PRESSURE: 30 PSI RADIUS: 8 FEET
- POP-UP SPRAY SPRINKLER: RAIN BIRD RD1806-S-P30 W/U-SERIES 10 NOZZLE  
PRESSURE: 30 PSI RADIUS: 10 FEET
- POP-UP SPRAY SPRINKLER: RAIN BIRD RD1806-S-P30 W/U-SERIES 12 NOZZLE  
PRESSURE: 30 PSI RADIUS: 12 FEET
- POP-UP SPRAY SPRINKLER: RAIN BIRD RD1806-S-P30 W/HE-VAN NOZZLE  
PRESSURE: 30 PSI RADIUS: 15 FEET
- POP-UP SPRAY SPRINKLER: RAIN BIRD RD1806-S-P30 W/HE-VAN NOZZLE  
PRESSURE: 30 PSI RADIUS: VARIES
- POP-UP SPRAY SPRINKLER: RAIN BIRD RD1806-S-P30 W/EST OR SST NOZZLE  
PRESSURE: 30 PSI RADIUS: 4 FEET X 15 FEET
- POP-UP ROTATING SPRAY SPRINKLER: RAIN BIRD RD1806-S-P45 W/RVAN 14 NOZZLE  
PRESSURE: 45 PSI RADIUS: 8 FEET TO 14 FEET
- POP-UP ROTATING SPRAY SPRINKLER: RAIN BIRD RD1806-S-P45 W/RVAN 18 NOZZLE  
PRESSURE: 45 PSI RADIUS: 13 FEET TO 18 FEET
- POP-UP ROTATING SPRAY SPRINKLER: RAIN BIRD RD1806-S-P45 W/RVAN 24 NOZZLE  
PRESSURE: 45 PSI RADIUS: 17 FEET TO 24 FEET
- INLINE DRIP TUBING: NETAFIM TLCV6-18, 18-INCH ROW SPACING
- INLINE DRIP HEADER: RAIN BIRD XQF HEADER

INSTALLATION NOTES

- THE REQUIRED SYSTEM DESIGN DYNAMIC PRESSURE FOR THE IRRIGATION SYSTEM IS 65 PSI, AT A MAXIMUM FLOW RATE OF 13 GPM FROM THE 3/4-INCH IRRIGATION POINT-OF-CONNECTION (POC). ASPEN FIRE DEPARTMENT HAS NOT CONFIRMED PRESSURE FOR THIS AND A PRESSURE BOOSTER PUMP MAY BE REQUIRED TO OPERATE THE IRRIGATION SYSTEM. CONTRACTOR SHALL VERIFY PRESSURE AND FLOW RATE ON SITE PRIOR TO CONSTRUCTION.
- IF OBSTRUCTIONS OR GRADE DIFFERENCES EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE SITE ENGINEERING AND/OR ARE NOT AS SHOWN ON PLANS, DO NOT PROCEED WITH THE IRRIGATION SYSTEM INSTALLATION.
- IF DISCREPANCIES IN THE IRRIGATION CONSTRUCTION DETAILS, LEGEND, NOTES, OR SPECIFICATIONS ARE DISCOVERED BRING DISCREPANCIES TO THE ATTENTION OF THE IRRIGATION ENGINEER.
- THESE DRAWINGS ARE DIAGRAMMATIC. THEREFORE, NOTE THE FOLLOWING:
  - EQUIPMENT LOCATIONS AND PIPE ROUTING ARE SHOWN FOR CLARITY AND ALL EQUIPMENT SHALL BE INSTALLED WITHIN LANDSCAPED AREAS AND LOCATED AS POSSIBLE TO BE MASKED FROM VIEW.
  - SPECIFIC PIPE ROUTING, TEES AND ELBOWS SHALL BE INSTALLED AS SHOWN, BUT MAY BE LOCATED AS REASONABLY POSSIBLE IN THE FIELD.
  - TREE AND SHRUB LOCATIONS AS SHOWN ON LANDSCAPE PLANS TAKE PRECEDENCE OVER IRRIGATION EQUIPMENT LOCATIONS. DO NOT ROUTE PIPES OR INSTALL IRRIGATION EQUIPMENT, OTHER THAN DRIP PIPE OR BUBBLERS, WITHIN 8' OF A TREE ROOT BALL OR UNDER PROPOSED SHRUB LOCATIONS.
  - USE ONLY STANDARD TEES AND ELBOW FITTINGS. USE OF TEES IN THE BULLNOSE CONFIGURATION, OR CROSS TYPE FITTINGS IS NOT PERMITTED. SEE SPECIFICATIONS.
- SEE SPECIFICATIONS FOR ADDITIONAL IRRIGATION SPARE PARTS, VALVE KEYS AND ADJUSTMENT TOOLS TO BE TURNED OVR TO THE OWNER'S REPRESENTATIVE PRIOR TO SUBSTANTIAL COMPLETION OR FINAL SYSTEM INSPECTIONS.
- SPRINKLER NOZZLES AND LOCATIONS SHOWN ON THIS PLAN ARE BASED STANDARD CONFIGURATION NOZZLES AND PROPOSED LANDSCAPE AREA CONFIGURATION. FIELD ADJUSTS MAY BE NECESSARY OR DIFFERENT NOZZLES SELECTED WHICH PROVIDE COMPLETE AND ADEQUATE COVERAGE WITH MINIMUM OVERSPRAY FOR THE SITE CONDITIONS. CAREFULLY ADJUST THE RADIUS OF THROW AND ARC OF COVERAGE OF EACH SPRINKLER TO PROVIDE THE BEST LANDSCAPE COVERAGE.
- SLEEVES ARE REQUIRED FOR BOTH PIPING AND ELECTRICAL WIRING AT EACH HARDSCAPE CROSSING. COORDINATE INSTALLATION OF SLEEVING WITH OWNER'S REPRESENTATIVE OR GENERAL CONTRACTOR PRIOR TO COMMENCEMENT OF SITE WORK. SEE PIPE SLEEVING TABLE FOR REQUIRED SLEEVE SIZES FOR ASSOCIATED PIPE AND WIRE.
- INSTALL ALL ELECTRICAL POWER TO THE IRRIGATION CONTROL SYSTEM IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE AND ALL APPLICABLE LOCAL ELECTRIC UTILITY CODES.
- PIPE SIZES ON THIS PLAN ARE IDENTIFIED AS FOLLOWS: IF A SECTION OF UNSIZED PIPE IS LOCATED BETWEEN THE IDENTICALLY SIZED SECTIONS, THE UNSIZED PIPE IS THE SAME NOMINAL SIZE AS THE TWO SIZED SECTIONS. MINIMUM SPRINKLER LATERAL SIZE IS 1-INCH.
- INSTALL TWO (2) #14 AWG CONTROL WIRES ON STANDARD WIRE SYSTEMS OR ONE (1) #14 AWG TWO-WIRE PAIR ON TWO-WIRE SYSTEMS. FOR USE AS SPARES. INSTALL SPARE WIRES FROM CONTROLLER LOCATION TO EACH DEAD-END OF MAINLINE. COIL 3 FEET OF WIRE IN VALVE BOX.
- CONTRACTOR SHALL, AT ALL TIMES WHILE ON SITE, HAVE A COPY OF AND BECOME FAMILIAR WITH THE SPECIFICATIONS AND INSTALLATION DETAILS FOR THIS PROJECT AND RELATED WORK PRIOR TO CONSTRUCTION.
- COORDINATE UTILITY LOCATES ("CALL BEFORE YOU DIG") OF UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
- THE IRRIGATION CONTRACTOR SHALL USE FLOW CONTROL ON ALL ZONE CONTROL VALVES TO ACHIEVE DESIGN PRESSURE AT MOST REMOTE OR HIGHEST ELEVATION EMISSION DEVICE ON EACH ZONE. SEE LEGEND AND VALVE DESIGNATORS FOR EQUIPMENT DESIGN PRESSURE.
- TREES AND SHRUBS WITH DIFFERENT WATER REQUIREMENTS ARE IRRIGATED ON SHARED DRIP ZONES ON THIS PLAN. THE CONTRACTOR SHALL REFER TO THE EMITTER SCHEDULE IN THE IRRIGATION DETAILS TO INSTALL THE CORRECT SIZE AND QUANTITY OF EMITTERS PER PLANT WATER REQUIREMENTS. REFER TO LANDSCAPE PLANS FOR SPECIFIC PLANT SPECIES AND WATER REQUIREMENTS.
- SENSORS (E.G., RAIN, FREEZE, WIND, AND/OR SOIL MOISTURE ETC.), EITHER INTEGRAL OR AUXILIARY, THAT SUSPEND OR ALTER IRRIGATION OPERATION DURING UNFAVORABLE WEATHER CONDITIONS OR WHEN SUFFICIENT SOIL MOISTURE IS PRESENT SHALL BE REQUIRED ON ALL IRRIGATION SYSTEMS.

CONSTRUCTION NOTES

- FIELD LOCATE DOMESTIC WATER PIPE DOWNSTREAM OF WATER METER AND MAKE 1-INCH COPPER PIPE CONNECTION AND INSTALL BACKFLOW PREVENTER PER LOCAL CODES AND AS INDICATED ON INSTALLATION DETAILS. INSTALL MASTER VALVE, FLOW SENSOR, ALL 1-INCH SIZE. VERIFY LOCATION OF POC OR EXISTING BACKFLOW PREVENTER WITH OWNER'S REPRESENTATIVE OR GENERAL CONTRACTOR.
- INSTALL IRRIGATION CONTROLLER AT THE APPROXIMATE LOCATION SHOWN. VERIFY LOCATION WITH THE OWNER'S REPRESENTATIVE OR GENERAL CONTRACTOR. FINAL LOCATION TO BE APPROVED BY OWNER'S REPRESENTATIVE. COORDINATE 120V POWER WITH THE OWNER'S REPRESENTATIVE OR GENERAL CONTRACTOR. INSTALL WEATHER/RAIN SENSOR IN PROXIMITY ON CLOSEST BUILDING ROOF LINE AS INDICATED BY SENSOR SYMBOL, UNOBSTRUCTED FOR 10' IN ALL DIRECTIONS.
- COORDINATE INSTALLATION OF RAIN/FREEZE SENSOR WITH ARCHITECT. INSTALLATION LOCATION SHALL BE UNOBSTRUCTED FOR 10-FEET IN ALL DIRECTIONS, PREFERABLY THE BUILDING AT ROOF LINE.
- THIS TREE DRIP IRRIGATION VALVE WILL BE USED FOR 2-3 YEARS TO ESTABLISH FIVE (5) TREES AND THEN DRIP IRRIGATION WILL BE REMOVED.

**MCDERMOTT RESIDENCE**  
**600 WALNUT AVE.**  
 KETCHUM, IDAHO

NOT FOR  
 CONSTRUCTION

ISSUE DATE: MAY 4, 2022

REVISIONS		
#	DATE	DESCRIPTION

DRAWN: EWP      REVIEWED: GG

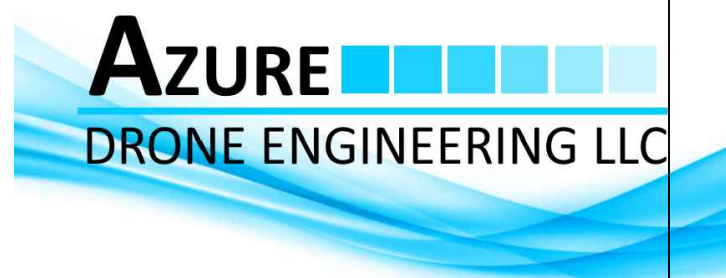
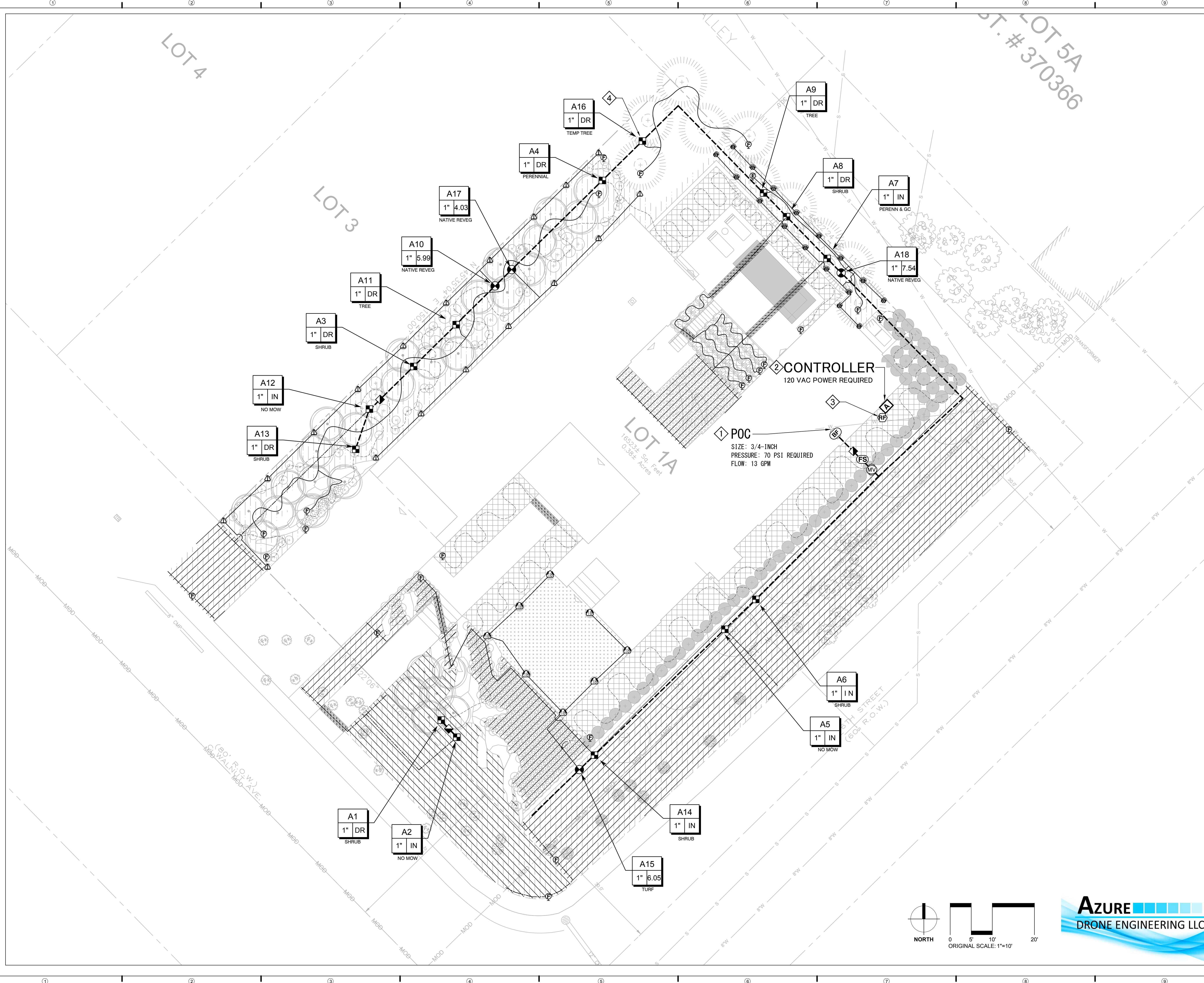
100% DESIGN  
 DEVELOPMENT

PROJECT NUMBER: 6530

IRRIGATION  
 PLAN

SHEET NUMBER

IR1-02



May 04, 2022 - 1:56pm  
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**MCDERMOTT RESIDENCE**  
**600 WALNUT AVE.**  
**KETCHUM, IDAHO**

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CONSTRUCTION

ISSUE DATE: MAY 4, 2022

REVISIONS	#	DATE	DESCRIPTION

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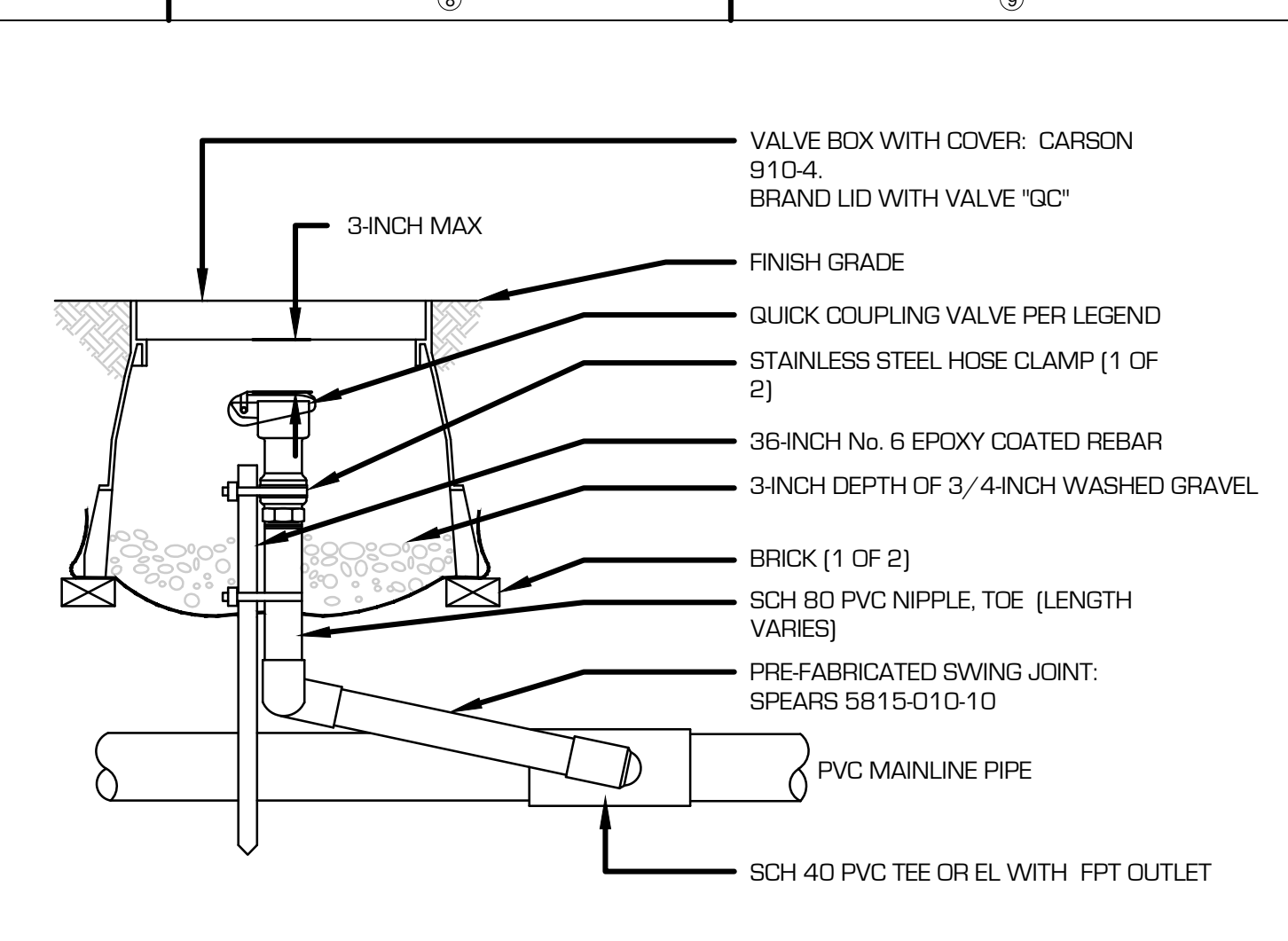
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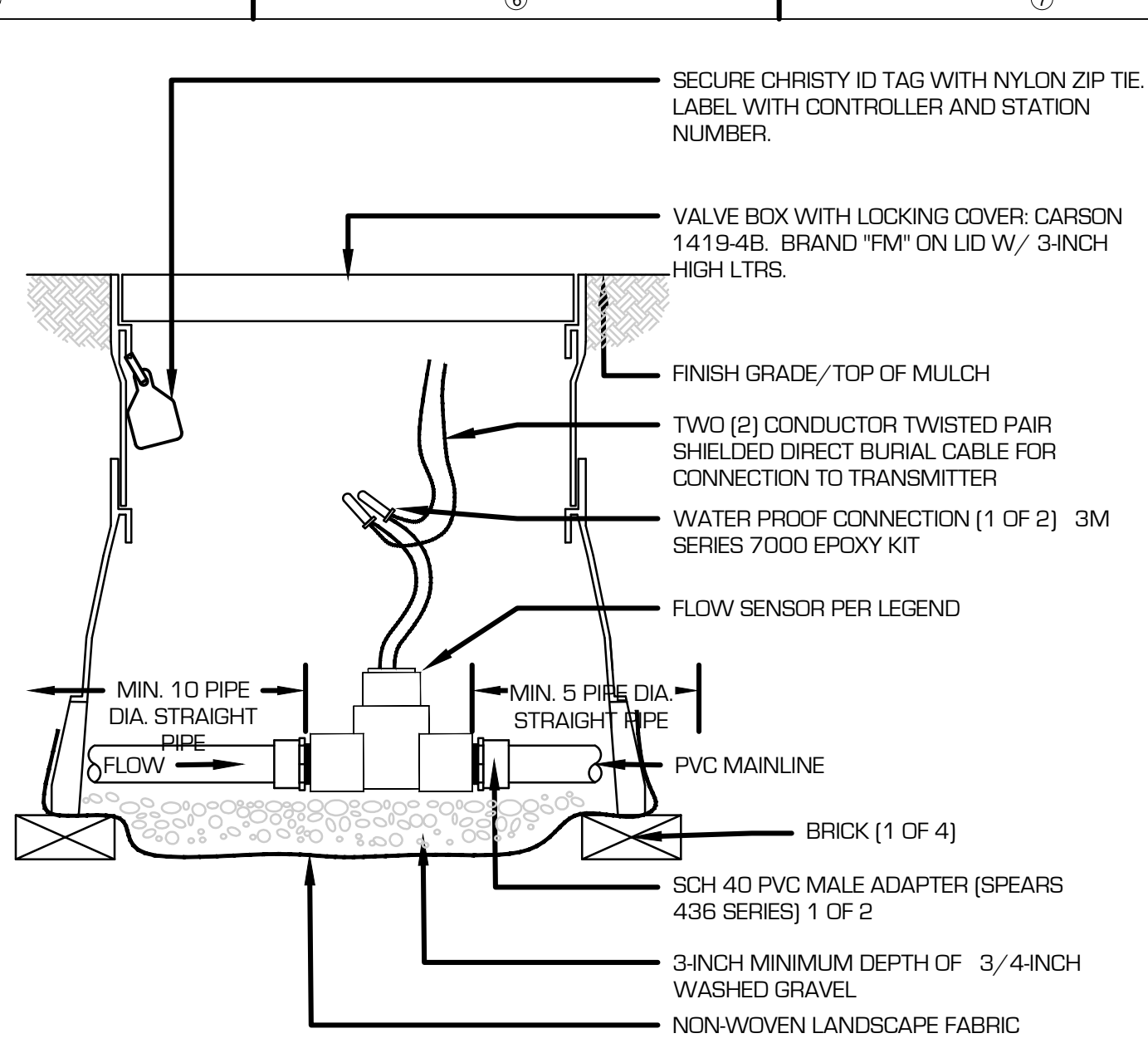
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DETAILS

SHEET NUMBER

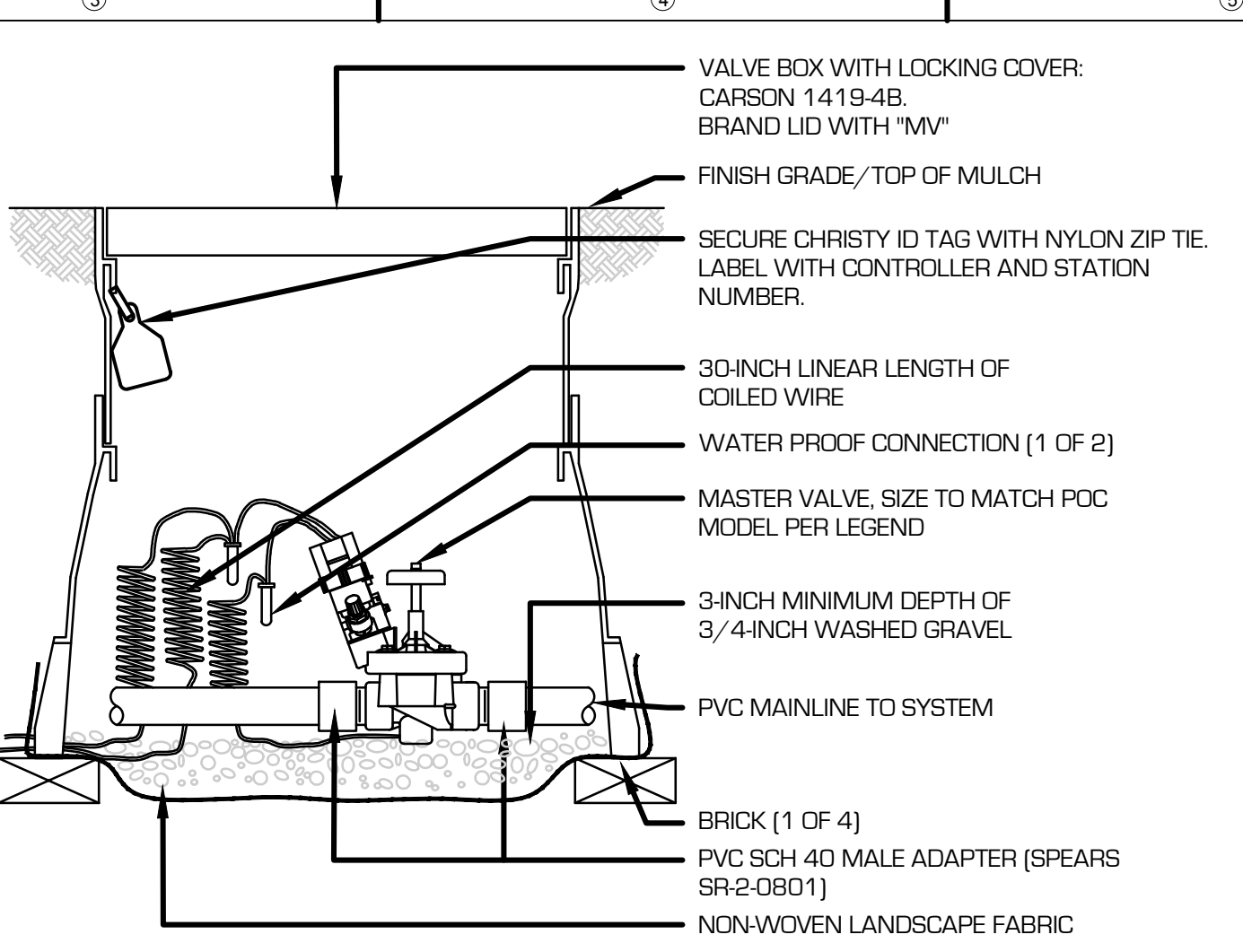
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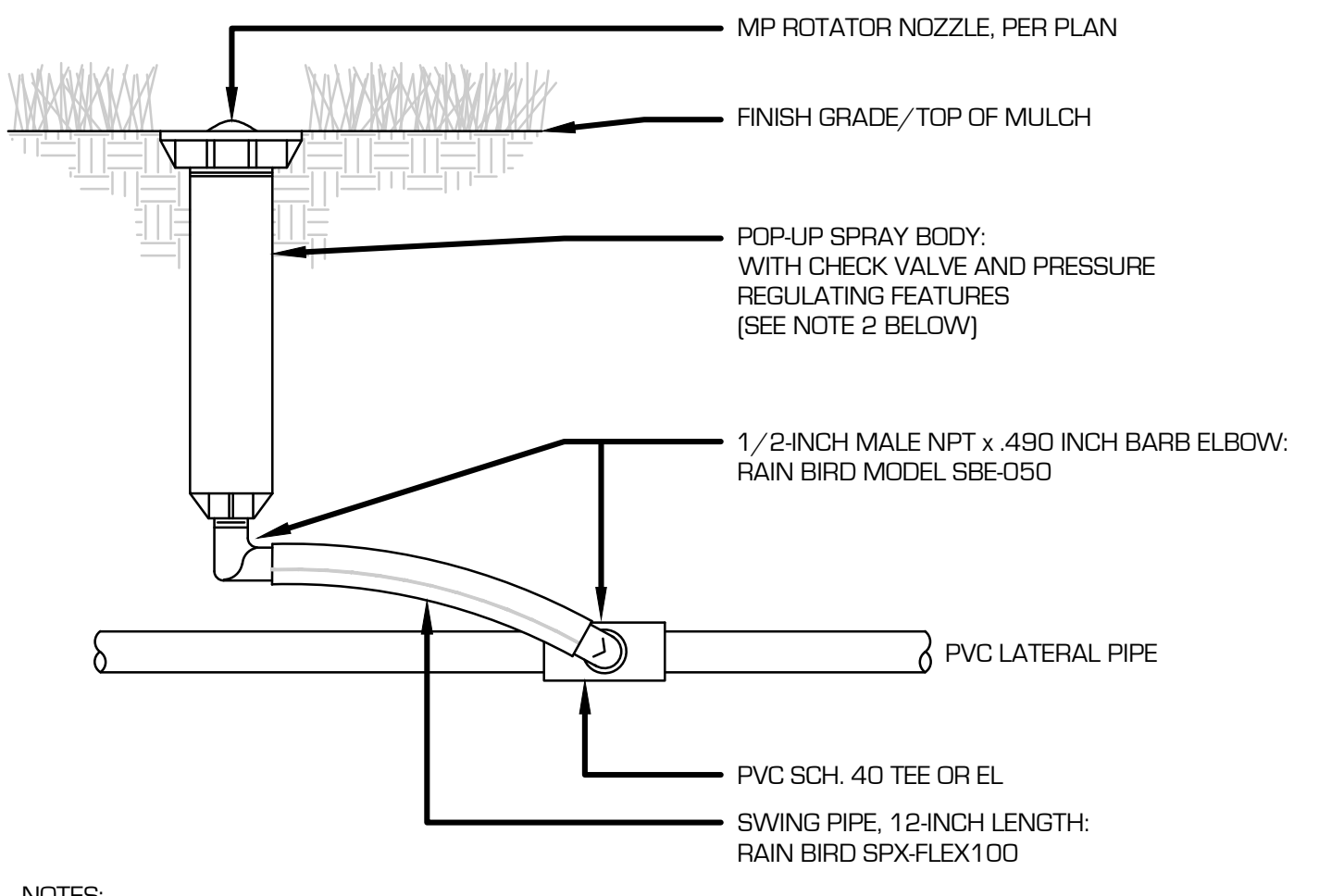
**4 QUICK COUPLING VALVE ASSEMBLY**



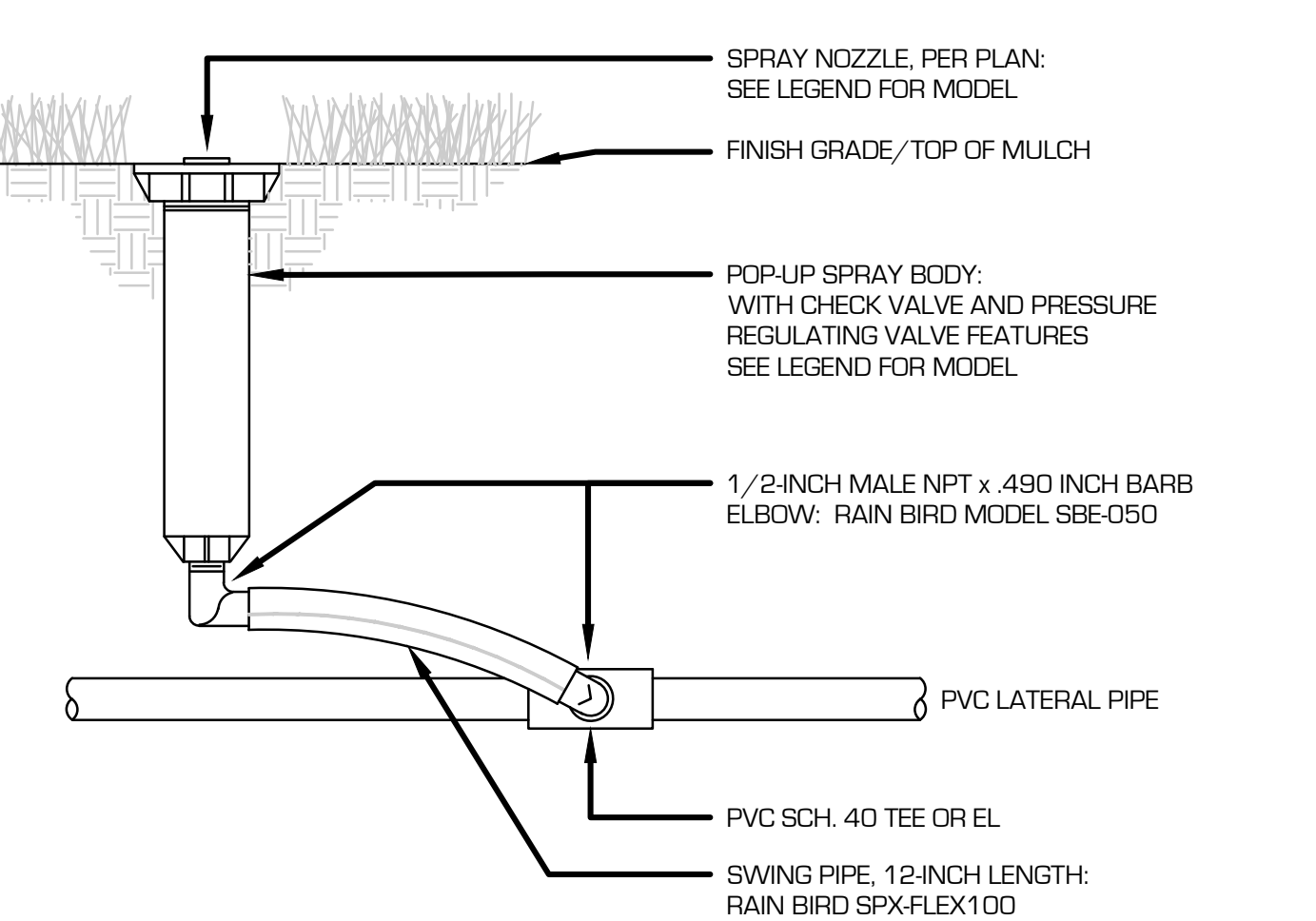
**3 FLOW SENSOR ASSEMBLY**



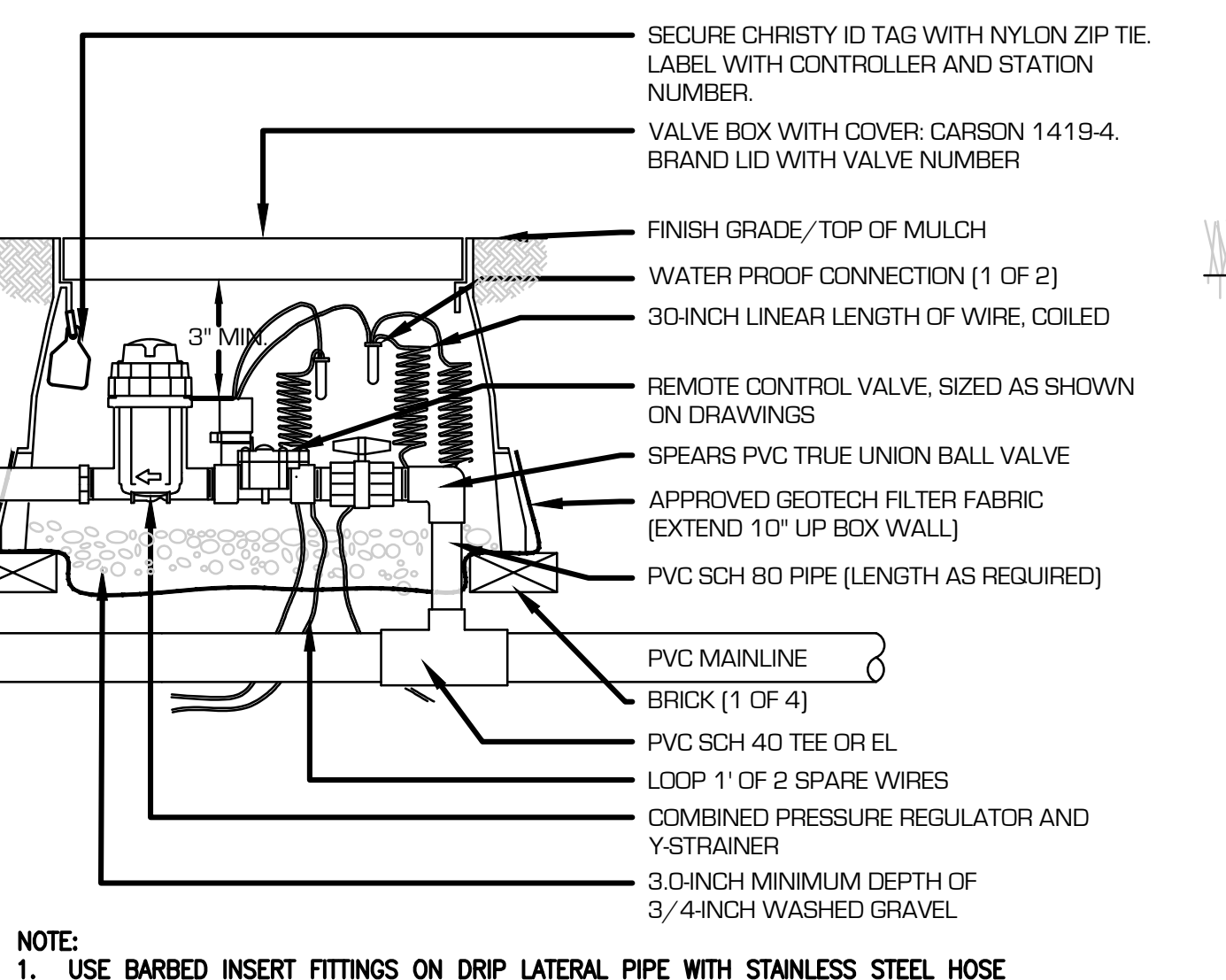
**2 MASTER VALVE ASSEMBLY**



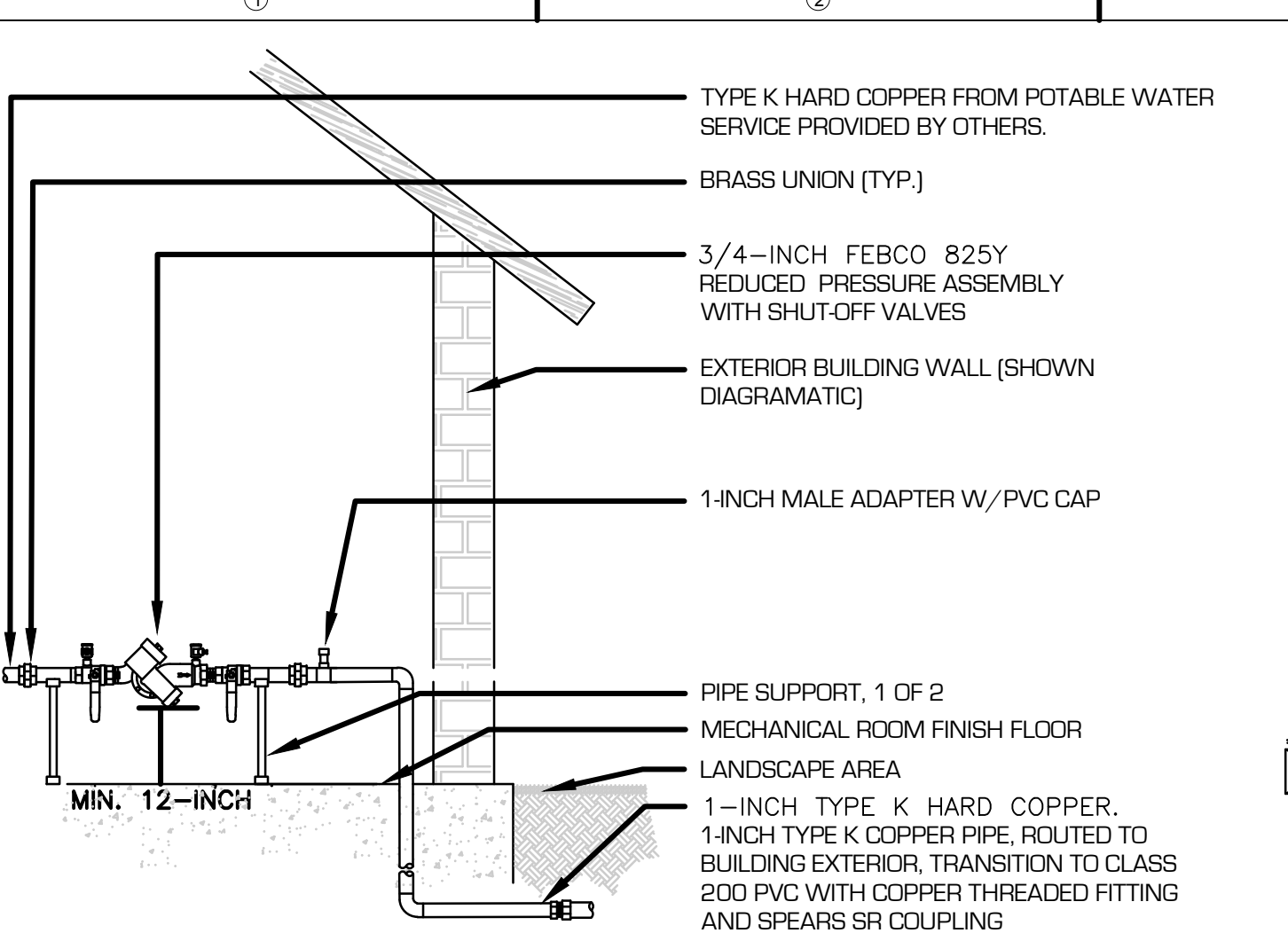
**8 6-INCH POP UP MP-ROTATOR ASSEMBLY**



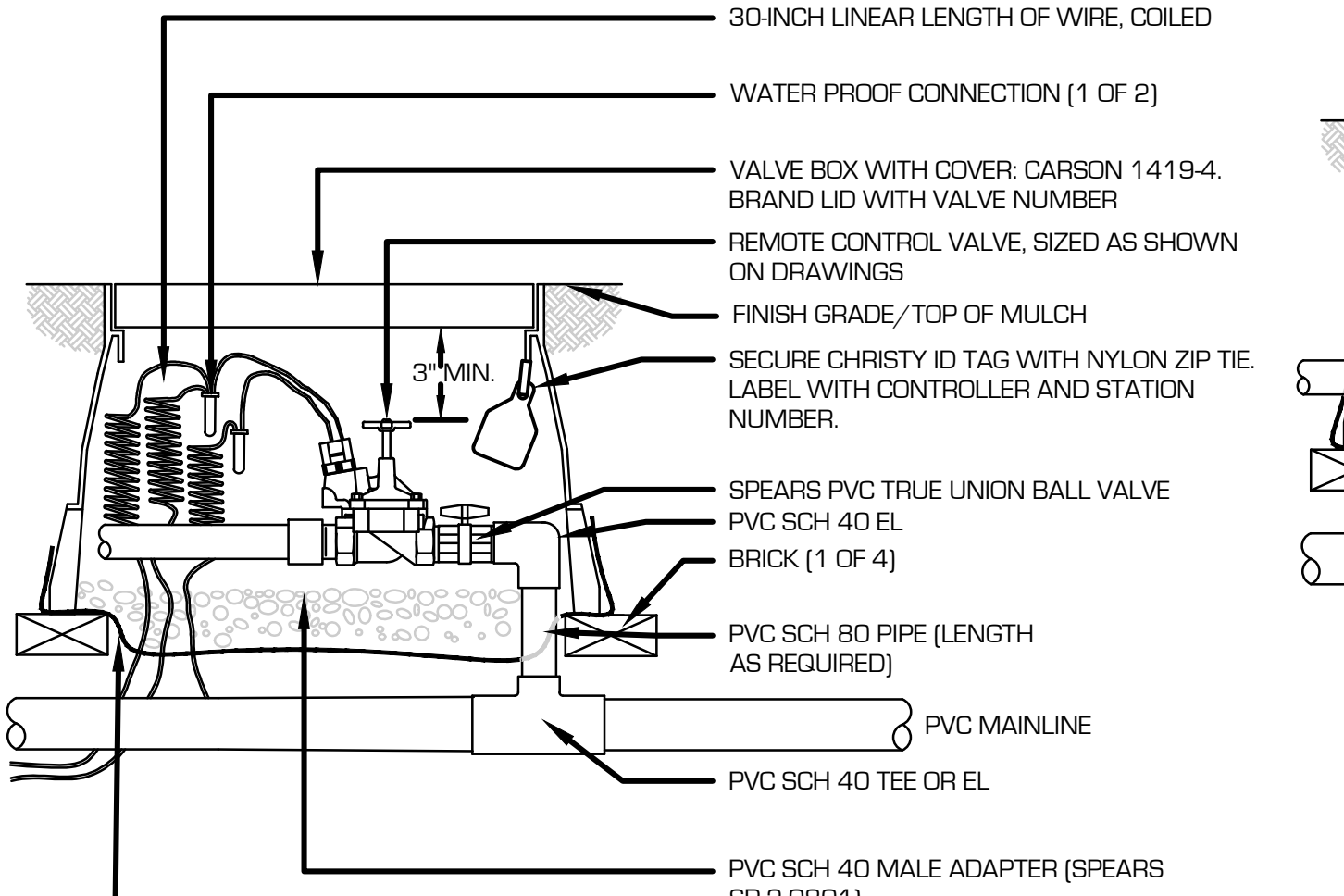
**7 6-INCH POP UP SPRINKLER ASSEMBLY**



**6 REMOTE CONTROL DRIP VALVE ASSEMBLY**



**1 BACKFLOW PREVENTION UNIT ASSEMBLY IN MECHANICAL ROOM**

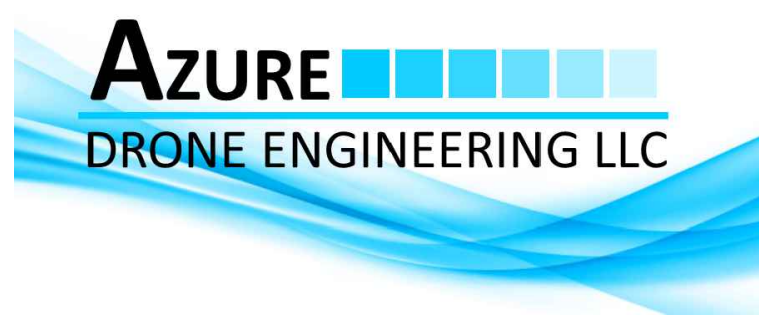


**5 REMOTE CONTROL TURF VALVE ASSEMBLY**

NOTES:  
1. INSTALL BACKFLOW DEVICE IN ACCORDANCE WITH ALL LOCAL AND STATE CODE REQUIREMENTS.  
2. PROVIDE SHOP DRAWING OF BACKFLOW ASSEMBLY AND PIPE ROUTING WITHIN MECHANICAL ROOM FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.

NOTES:  
1. IF POLYETHYLENE PIPE IS USED FOR LATERAL PIPE, SUBSTITUTE INSERT TEE OR EL WITH STAINLESS STEEL CLAMPS FOR PVC SLIP TEE OR EL SHOWN ABOVE.  
2. TO ACHIEVE MINIMUM RADIUS WITH ANY MP ROTATOR MODEL, USE HUNTER PRS30 BODY

NOTE:  
1. USE BARBED INSERT FITTINGS ON DRIP LATERAL PIPE WITH STAINLESS STEEL HOSE CLAMPS. PLACE CLAMPS ON DRIP TUBING DIRECTLY OVER BARBED AREA OF FITTING. PINCH CLAMPS ARE NOT ACCEPTABLE.



**MCDERMOTT RESIDENCE**  
**600 WALNUT AVE.**  
**KETCHUM, IDAHO**

**NOT FOR CONSTRUCTION**

ISSUE DATE: MAY 4, 2022

REVISIONS  
# DATE DESCRIPTION

#	DATE	DESCRIPTION

DRAWN: EWP REVIEWED: GG

**100% DESIGN DEVELOPMENT**

PROJECT NUMBER: 6530

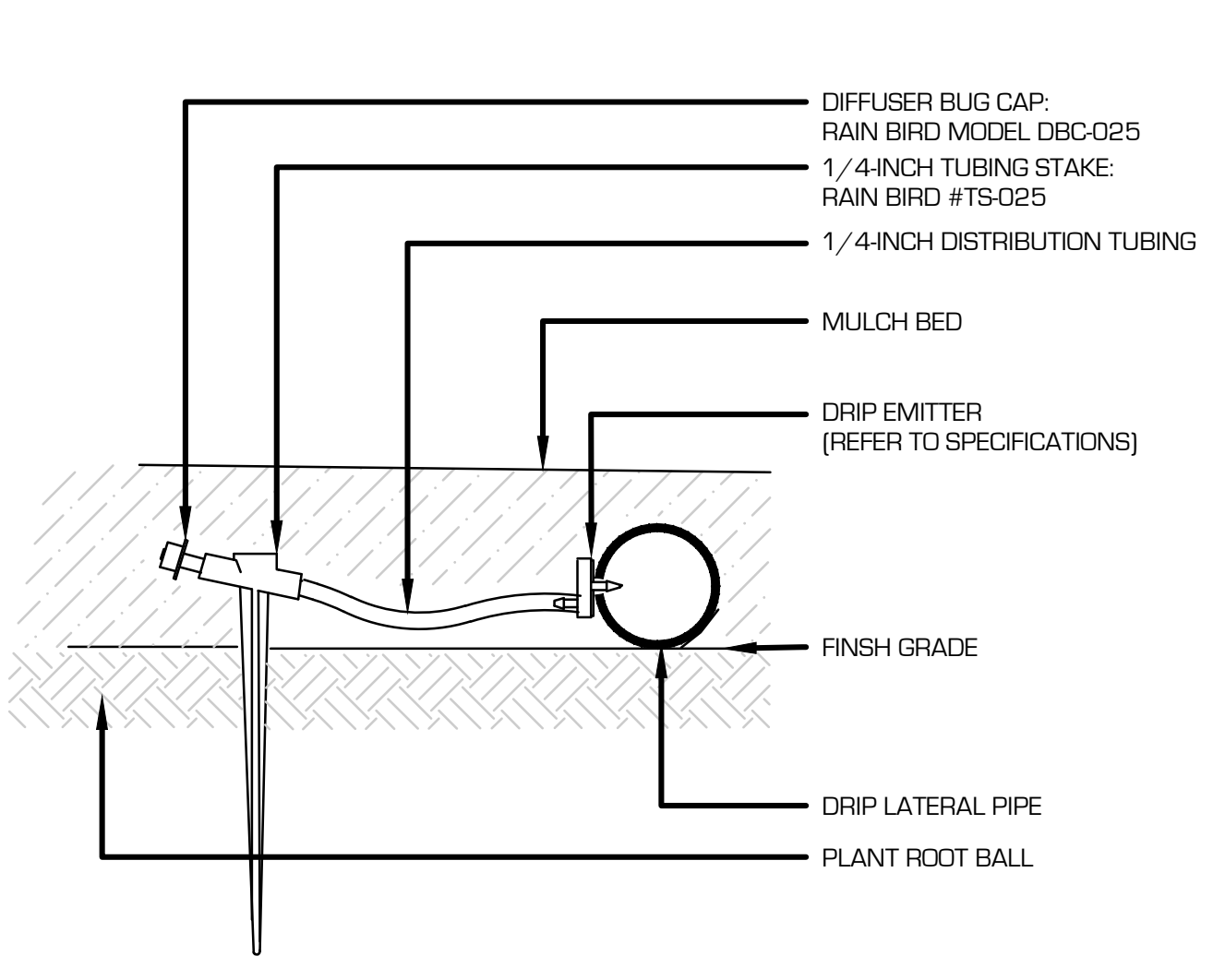
**IRRIGATION DETAILS**

SHEET NUMBER

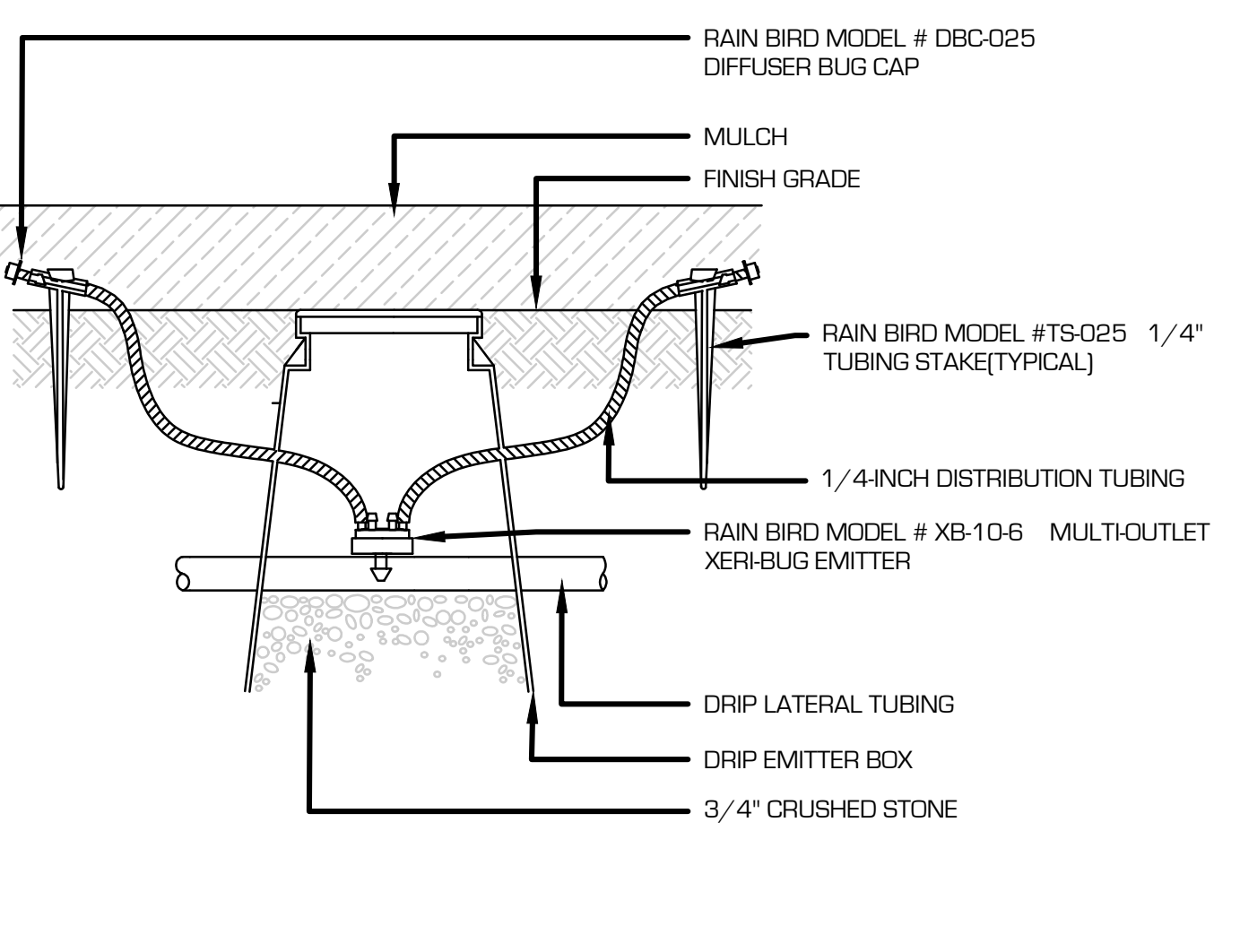
**IR2-02**

PLANT TYPE BY HYDROZONE	EMITTERS PER PLANT	GPH PER EMITTER	TOTAL GPH PER PLANT
LOW WATER USE TREE	3 SINGLE	1 GPH	3 GPH
MED WATER USE TREE	4 SINGLE	1 GPH	4 GPH
HIGH WATER USE TREE	3 SINGLE	2 GPH	6 GPH
LOW WATER USE SHRUBS	1 SINGLE	1 GPH	1 GPH
MED WATER USE SHRUBS	2 SINGLE	1 GPH & 0.5 GPH	1.5 GPH
HIGH WATER USE SHRUBS	2 SINGLE	1 GPH	2 GPH
LOW WATER USE PERENNIAL	1 SINGLE	1 GPH	1 GPH
MED WATER USE PERENNIAL	2 SINGLE	1 GPH & 0.5 GPH	1.5 GPH
HIGH WATER USE PERENNIAL	2 SINGLE	1 GPH	2 GPH

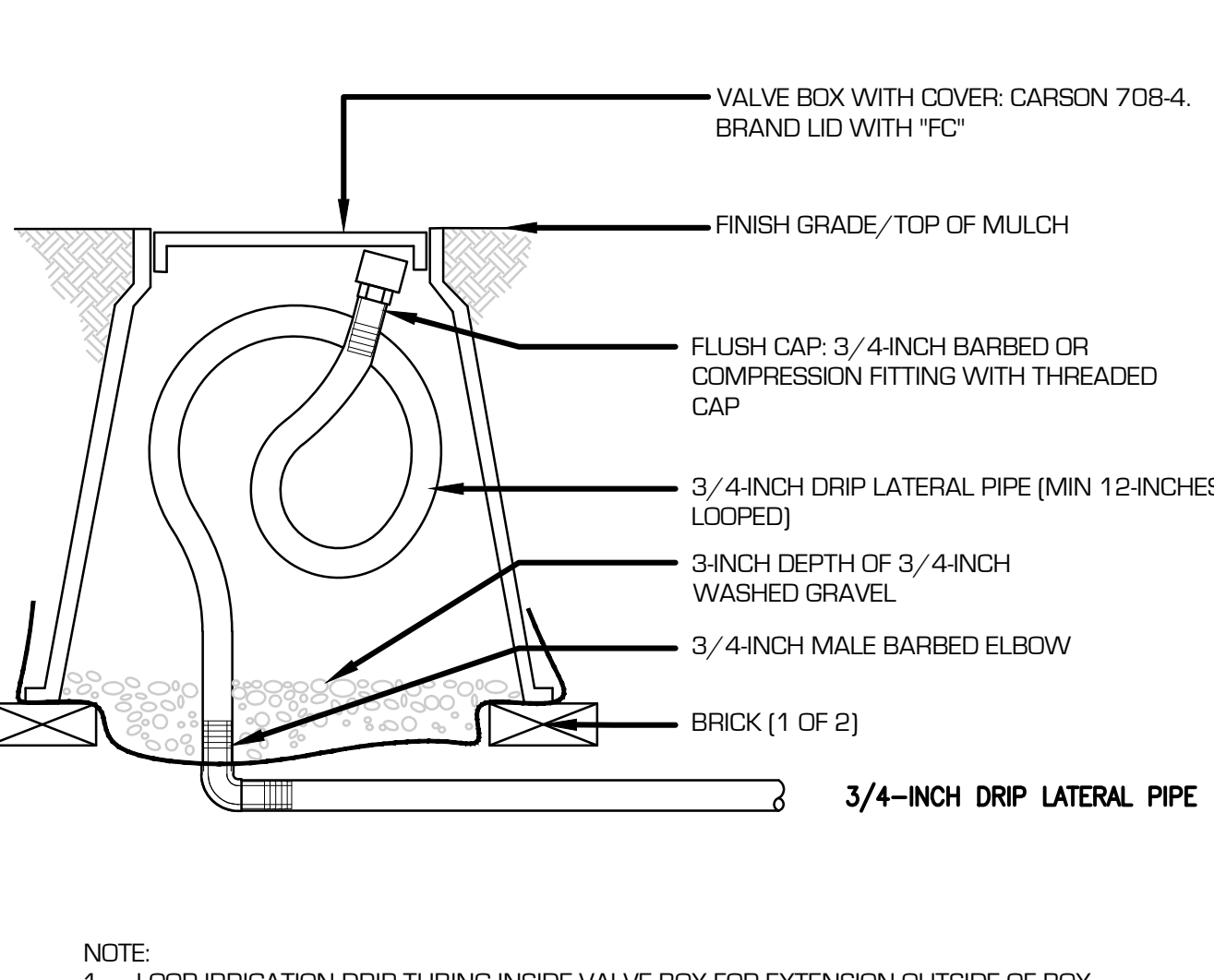
NOTES:  
1. ALL EMISSION POINTS TO BE LOCATED ON THE UPHILL SIDE OF PLANT MATERIAL.  
2. ALL EMITTER QUANTITIES AND FLOW RATES ARE FOR RECOMMENDATION ONLY. THE CONTRACTOR SHALL CONSULT AND CONFIRM WITH LOCAL PRACTICE PRIOR TO INSTALLATION.



**9 SINGLE OUTLET DRIP EMITTER ASSEMBLY**

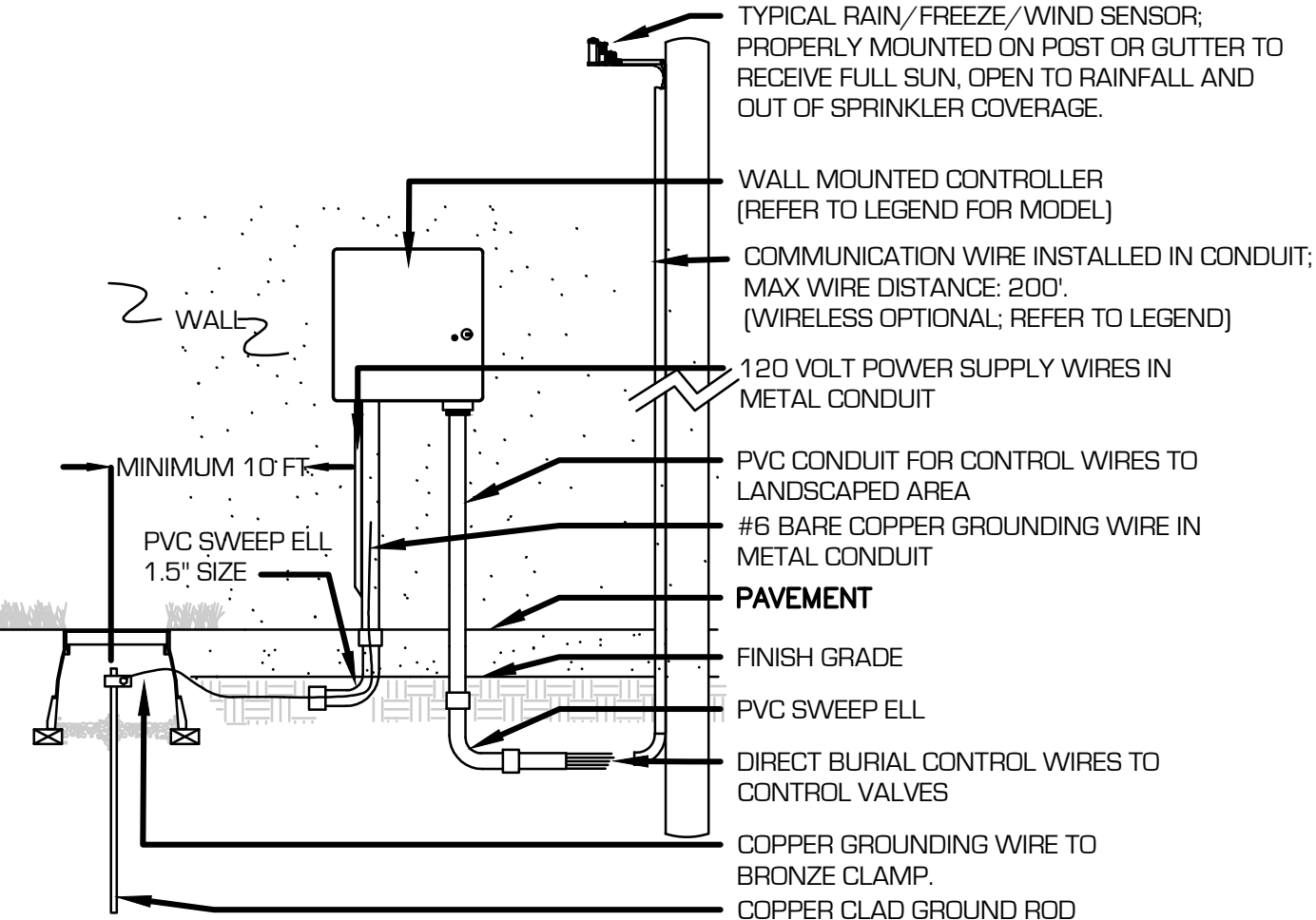


**10 MULTI-OUTLET DRIP EMITTER ASSEMBLY FOR TREES IN BEDS**



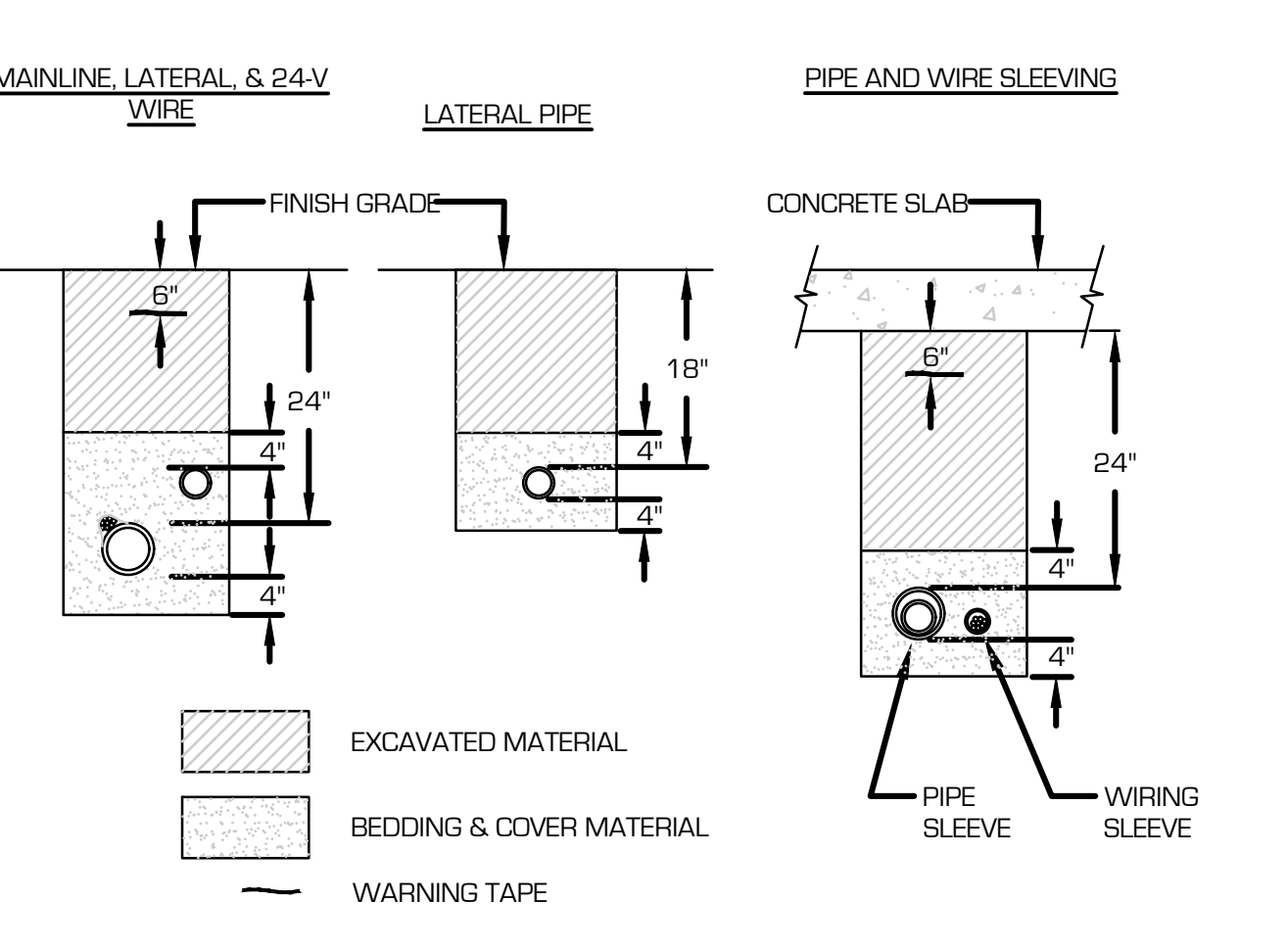
**11 DRIP FLUSH CAP ASSEMBLY**

**12 EMITTER SCHEDULE**



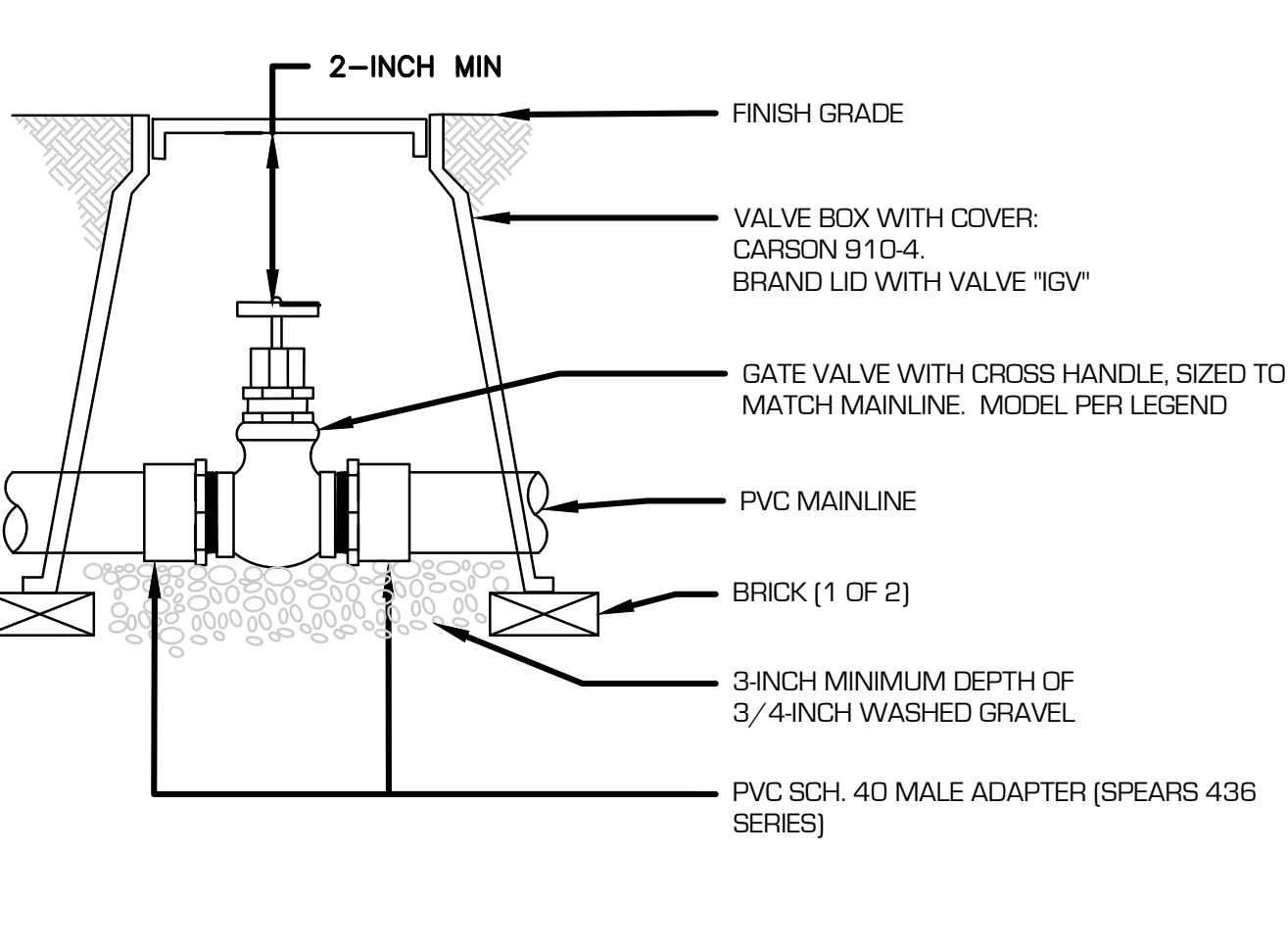
NOTES:  
1. INSTALL ALL WIRING PER LOCAL ELECTRICAL CODES.  
2. INSTALL GROUND ROD WITHIN IRRIGATED TURF AREA. IF IRRIGATED TURF AREA IS NOT IN CLOSE PROXIMITY TO CONTROLLER, INSTALL ONE (1) DRIP EMITTER FROM NEAREST DRIP VALVE IN VALVE BOX HOUSING GROUNDING ROD.

**13 WALL MOUNT CONTROLLER ASSEMBLY**



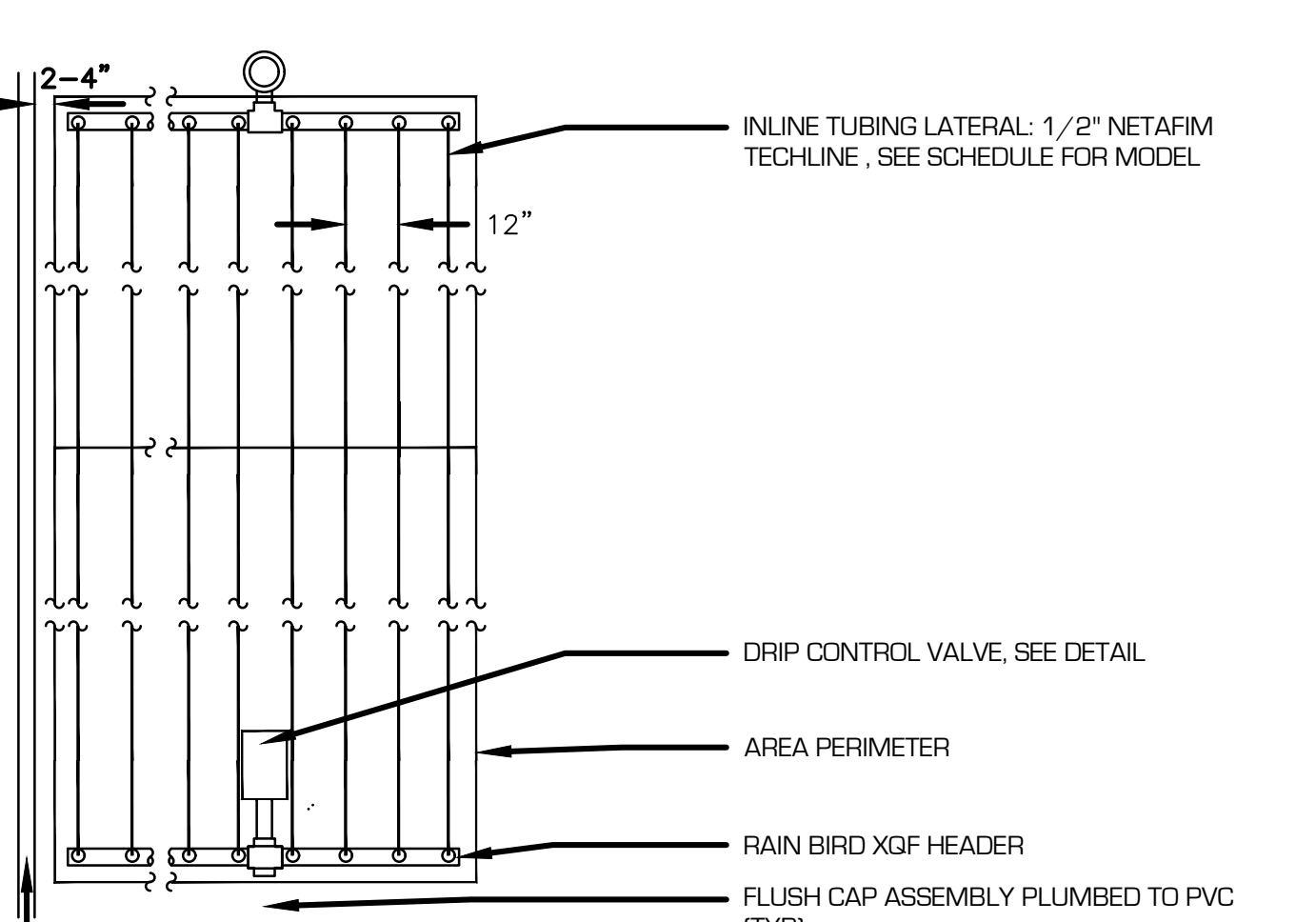
NOTES:  
1. SLEEVE ALL PIPE AND WIRE SEPARATELY.  
2. ALL PIPE TO BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS. \"SNAKE\" UNSLEEVED PLASTIC PIPE IN TRENCH. PROVIDE A MINIMUM OF 2\"/>

**14 TYPICAL TRENCHING DETAIL**



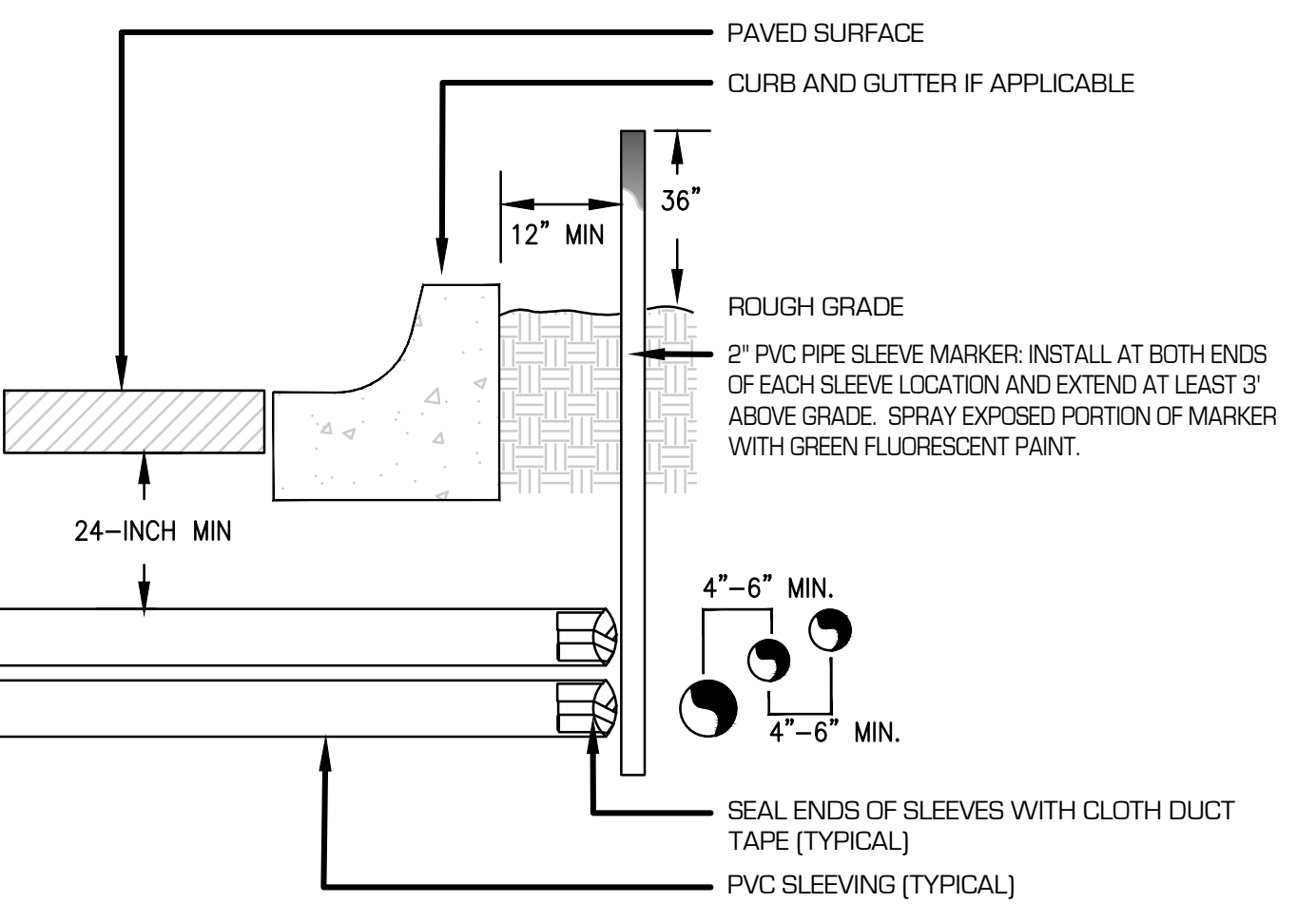
NOTES:  
1. NOMINAL SIZE OF GATE VALVE TO MATCH NOMINAL MAINLINE SIZE.

**15 LOCKABLE GATE VALVE ASSEMBLY 2.5-INCH MAINLINE AND SMALLER**



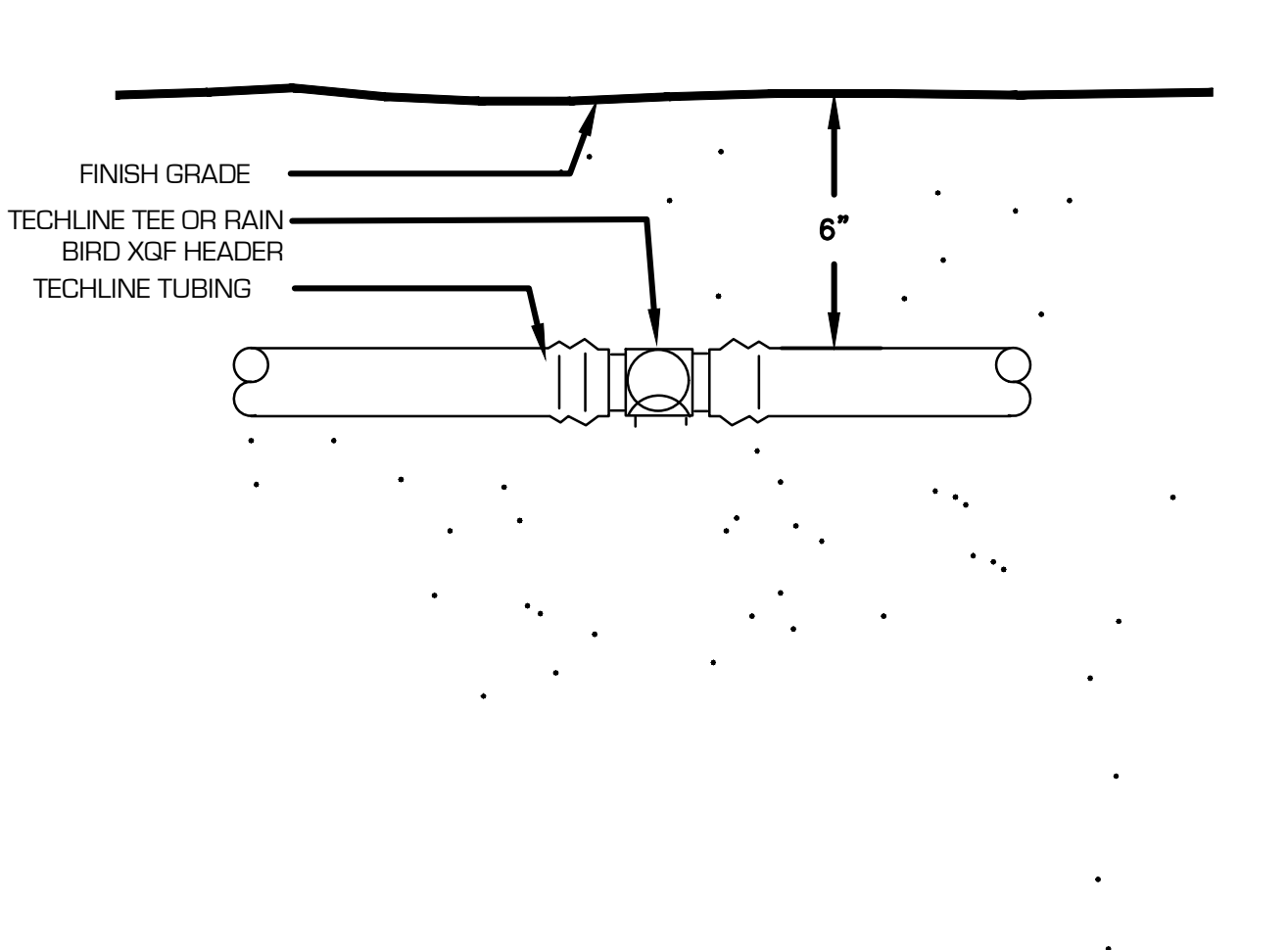
NOTES:  
1. INSTALL SYSTEM PER MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS FOR EQUIPMENT APPLICATION AND INSTALLATION.  
2. MAXIMUM FLOW FOR 1-INCH REMOTE CONTROL VALVE ASSEMBLY IS 10 GPM.  
3. INSTALL AT A DEPTH OF 4\"/>

**16 SUBSURFACE DRIP ASSEMBLY IN TURF AREAS**

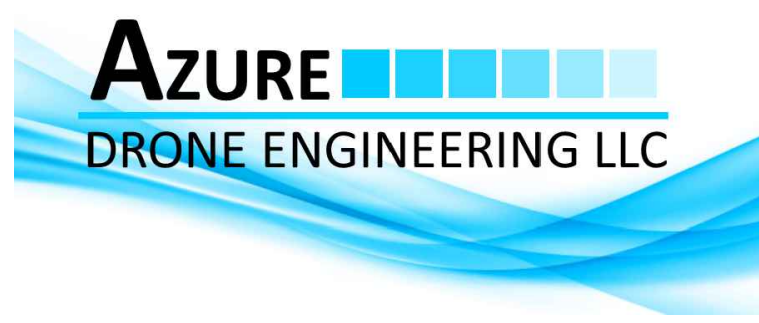


NOTE:  
1) ALL SLEEVING TO BE CLASS 200 BE PVC, SIZED AS NOTED.  
2) INSTALL SLEEVES IN SIDE-BY-SIDE CONFIGURATION WHERE MULTIPLE SLEEVES ARE TO BE INSTALLED. SPACE SLEEVES 4\"/>

**17 TYPICAL SLEEVING DETAIL**



**18 NETAFIM TECHLINE SECTION VIEW**



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McDermott Residence

2028.00

Issue/Revision Date  
03.25.22 MODR

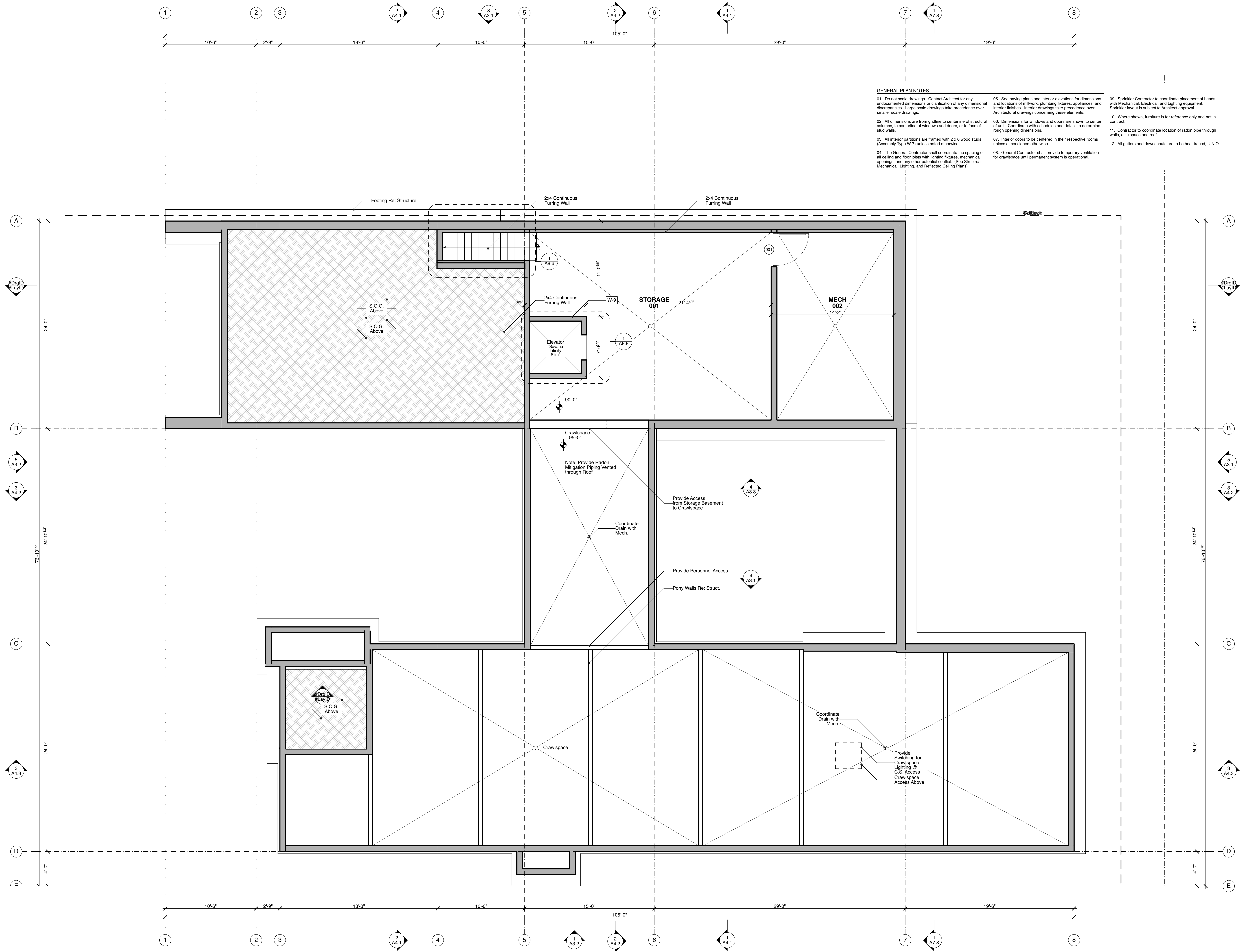
Drawn By: DP Checked By: JJ

Basement Level Plan

A2.1

GENERAL PLAN NOTES

- 01. Do not scale drawings. Contact Architect for any undocumented dimensions or clarification of any dimensional discrepancies. Large scale drawings take precedence over smaller scale drawings.
- 02. All dimensions are from gridline to centerline of structural columns, to centerline of windows and doors, or to face of stud walls.
- 03. All interior partitions are framed with 2 x 6 wood studs (Assembly Type W7) unless noted otherwise.
- 04. The General Contractor shall coordinate the spacing of all ceiling and floor joists with lighting fixtures, mechanical openings, and any other potential conflict. (See Structural, Mechanical, Lighting, and Reflected Ceiling Plans)
- 05. See paving plans and interior elevations for dimensions and locations of masonry, plumbing fixtures, appliances, and interior finishes. Interior drawings take precedence over Architectural drawings concerning these elements.
- 06. Dimensions for windows and doors are shown to center of unit. Coordinate with schedules and details to determine rough opening dimensions.
- 07. Interior doors to be centered in their respective rooms unless dimensioned otherwise.
- 08. General Contractor shall provide temporary ventilation for crawlspace until permanent system is operational.
- 09. Sprinkler Contractor to coordinate placement of heads with Mechanical, Electrical, and Lighting equipment. Sprinkler layout is subject to Architect approval.
- 10. Where shown, furniture is for reference only and not in contract.
- 11. Contractor to coordinate location of radon pipe through walls, attic space and roof.
- 12. All gutters and downspouts are to be heat traced, U.N.O.

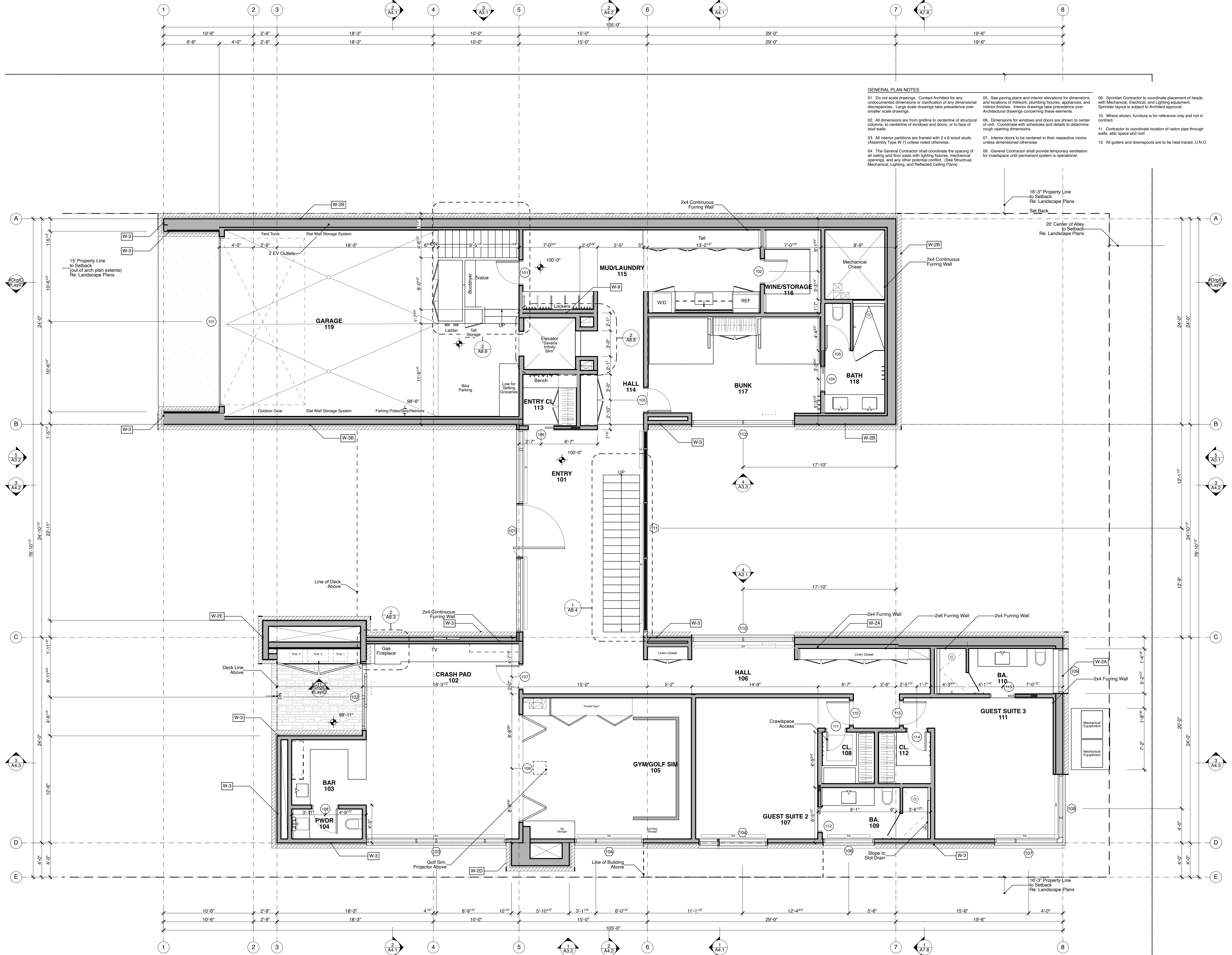


1 T.O. Garage Slab  
SCALE: 1/4" = 1'-0"



GENERAL PLAN NOTES

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- 05. See paving plans and interior elevations for dimensions and locations of millwork, plumbing fixtures, appliances, and interior finishes. Interior drawings take precedence over Architectural drawings concerning these elements.
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Issue/Revision Date  
03.25.22 MODR

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Lower Level Plan

1 Lower Level Plan  
SCALE: 1/4" = 1'-0"

A2.2



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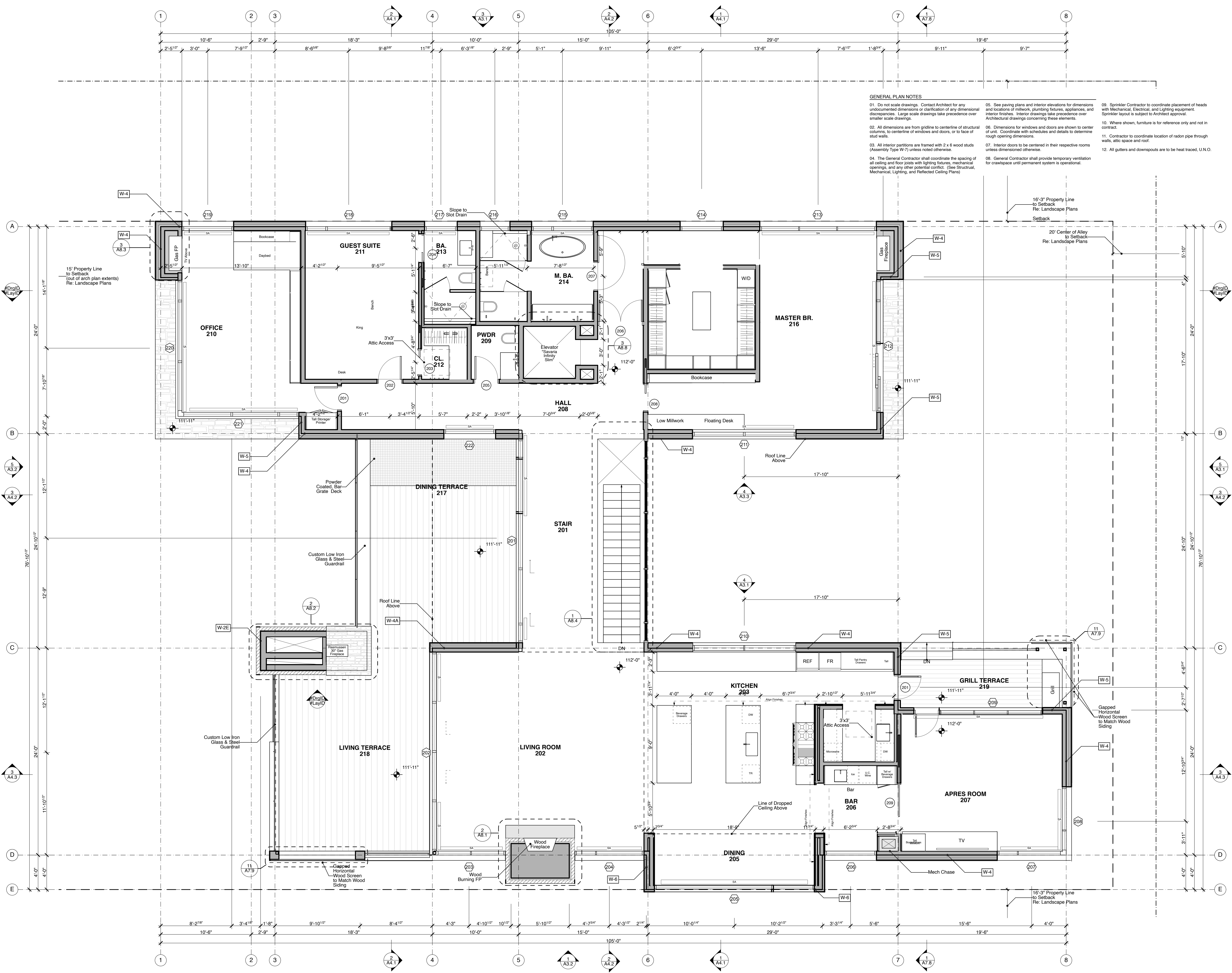
McDermott Residence

2028.00

Issue/Revision Date  
03.25.22 MODR

Drawn By: DP Checked By: JJ  
Upper Level Plan

A2.3



- GENERAL PLAN NOTES**
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  05. See paving plans and interior elevations for dimensions and locations of millwork, plumbing fixtures, appliances, and interior finishes. Interior drawings take precedence over Architectural drawings concerning these elements.
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  10. Where shown, furniture is for reference only and not in contract.
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1 Upper Level Plan  
SCALE: 1/4" = 1'-0"



PRELIMINARY - NOT FOR CONSTRUCTION

McDermott Residence

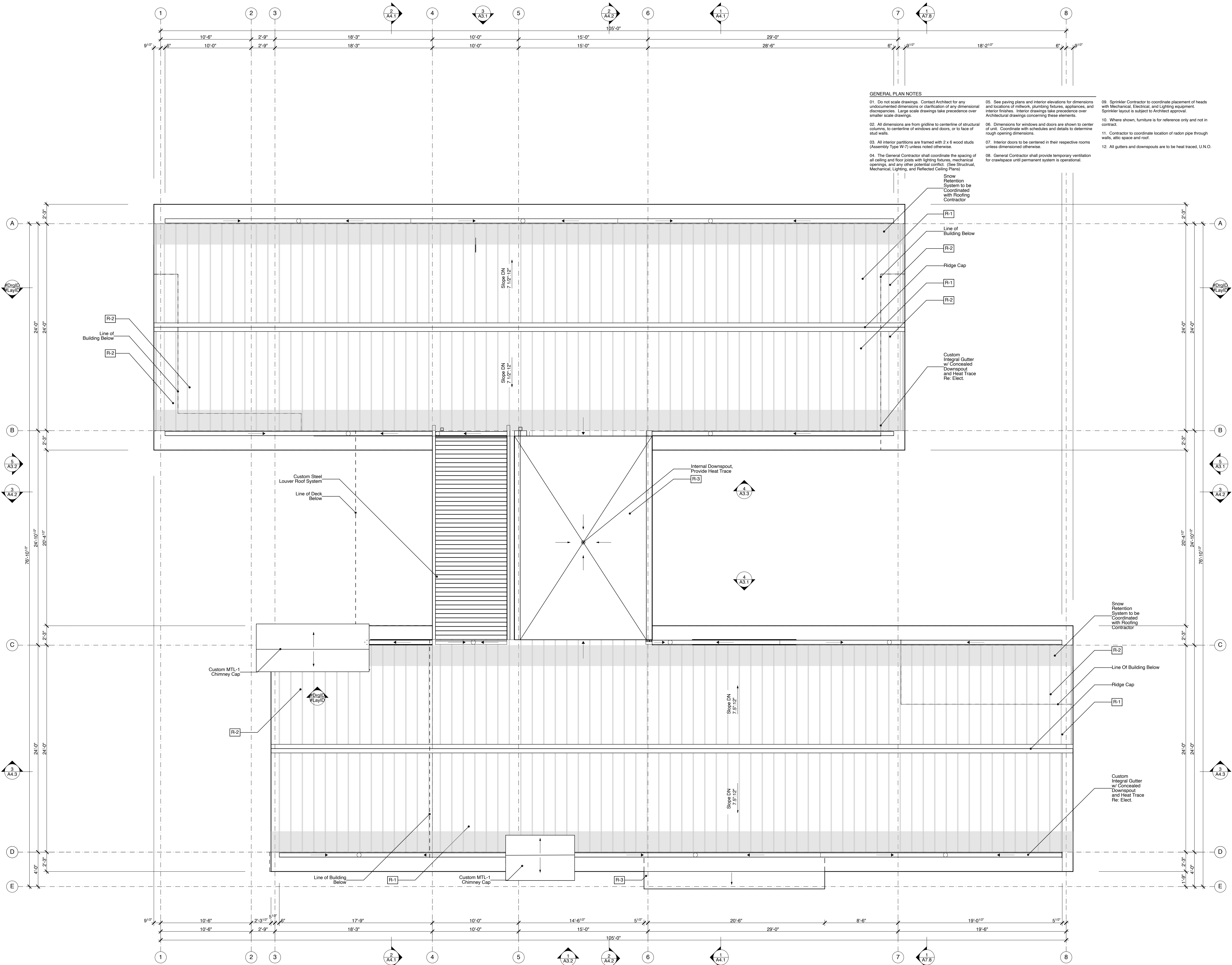
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Issue/Revision Date  
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Roof Level Plan

A2.4



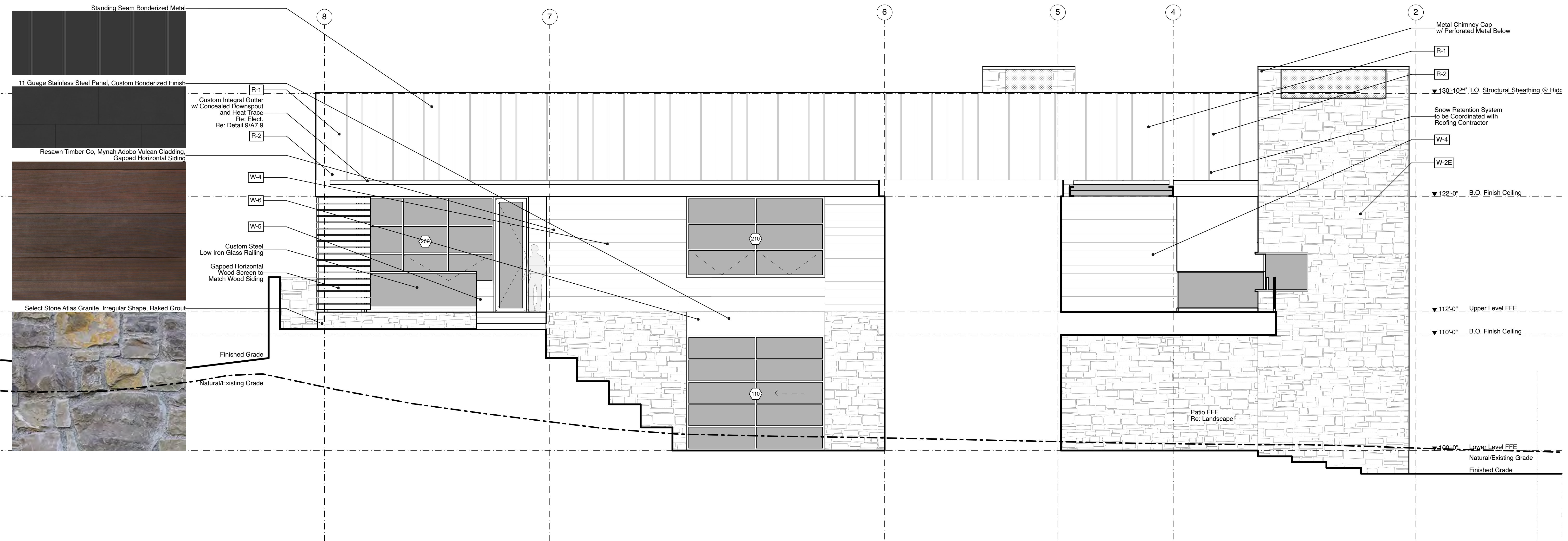
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  12. All gutters and downspouts are to be heat traced, U.N.O.

1 Roof Level Plan  
SCALE: 1/4" = 1'-0"

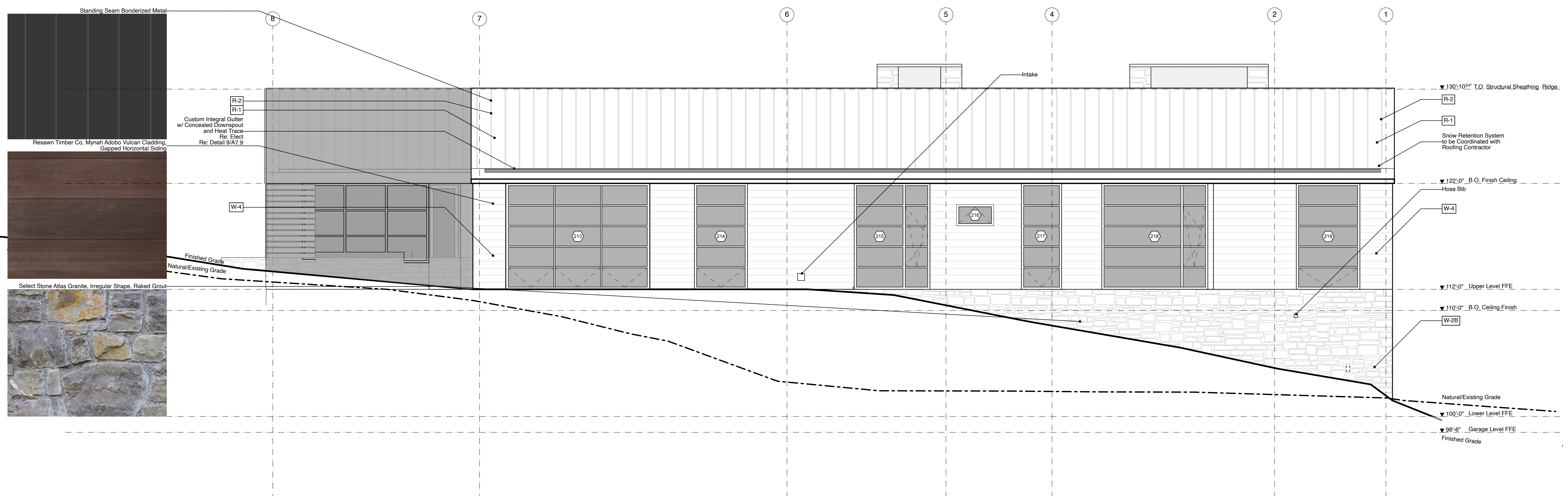


**ASSEMBLY FINISH TYPES**

- F-1 Slab on Grade at Crawlspace/Basement, CONC-1
- F-2 Slab on Grade at Garage, CONC-1
- F-3 Finish Floor at Wood Framing
- F-4 Wood Deck Over Conditioned Space, WD-EX3
- F-5 Wood Deck Over Unconditioned Space, WD-EX3
- F-6 Finish Floor at Steel Composite Framing
- F-7 Finish Floor at Wood Framing Over Unconditioned Space
- W-1 Foundation Wall
- W-2 Stone Veneer on Concrete, STN-EX1
- W-3 Stone Veneer on 2x Framing, STN-EX1
- W-4 Horizontal Wood Siding on Wood Framing, WD-EX1
- W-5 Horizontal Wood Siding on Wood Framing, Not Furred, WD-EX1
- W-6 Metal Siding on Wood Framing, MTL-EX1
- W-7 Typical Interior Wall
- W-8 (Not Used)
- W-9 2 hr Rated Elevator Shaft Wall
- R-1 Metal Standing Seam over Interior, MTL-EX2
- R-2 Metal Standing Seam over Exterior MTL-EX2
- R-3 EPDM Roof



**2 Southwest Courtyard Elevation**  
SCALE: 1/4" = 1'-0"



**1 Northeast Back Lot Elevation**  
SCALE: 1/4" = 1'-0"

**PRELIMINARY - NOT FOR CONSTRUCTION**

**McDermott Residence**

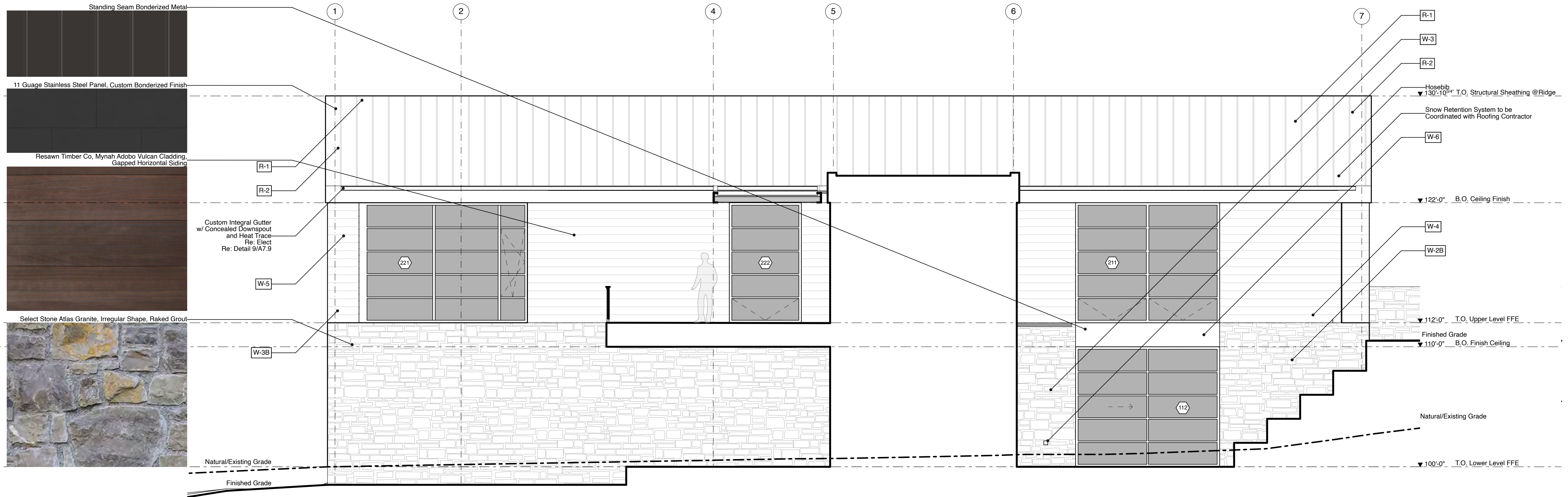
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Issue/Revision Date	MODR
03.25.22	MODR

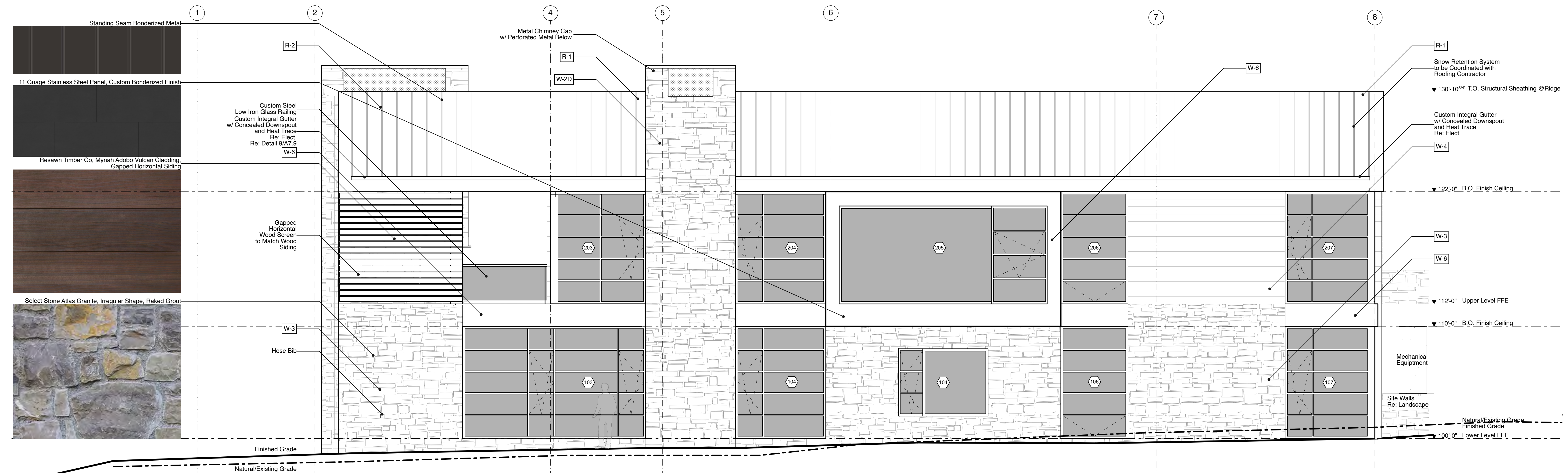
Drawn By: DP      Checked By: JJ

**ASSEMBLY FINISH TYPES**

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- F-2 Slab on Grade at Garage, CONC-1
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- F-5 Wood Deck Over Unconditioned Space, WD-EX3
- F-6 Finish Floor at Steel Composite Framing
- F-7 Finish Floor at Steel Framing Over Unconditioned Space
- W-1 Foundation Wall
- W-2 Stone Veneer on Concrete, STN-EX1
- W-3 Stone Veneer on 2x Framing, STN-EX1
- W-4 Horizontal Wood Siding on Wood Framing, WD-EX1
- W-5 Horizontal Wood Siding on Wood Framing, Not Furred, WD-EX1
- W-6 Metal Siding on Wood Framing, MTL-EX1
- W-7 Typical Interior Wall
- W-8 (Not Used)
- W-9 2 hr Rated Elevator Shaft Wall
- R-1 Metal Standing Seam over Interior, MTL-EX2
- R-2 Metal Standing Seam over Exterior MTL-EX2
- R-3 EPDM Roof



**2 Northwest Courtyard Elevation**  
SCALE: 1/4" = 1'-0"



**1 Southeast 6th Street Elevation**  
SCALE: 1/4" = 1'-0"



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 CONSTRUCTION

McDermott Residence

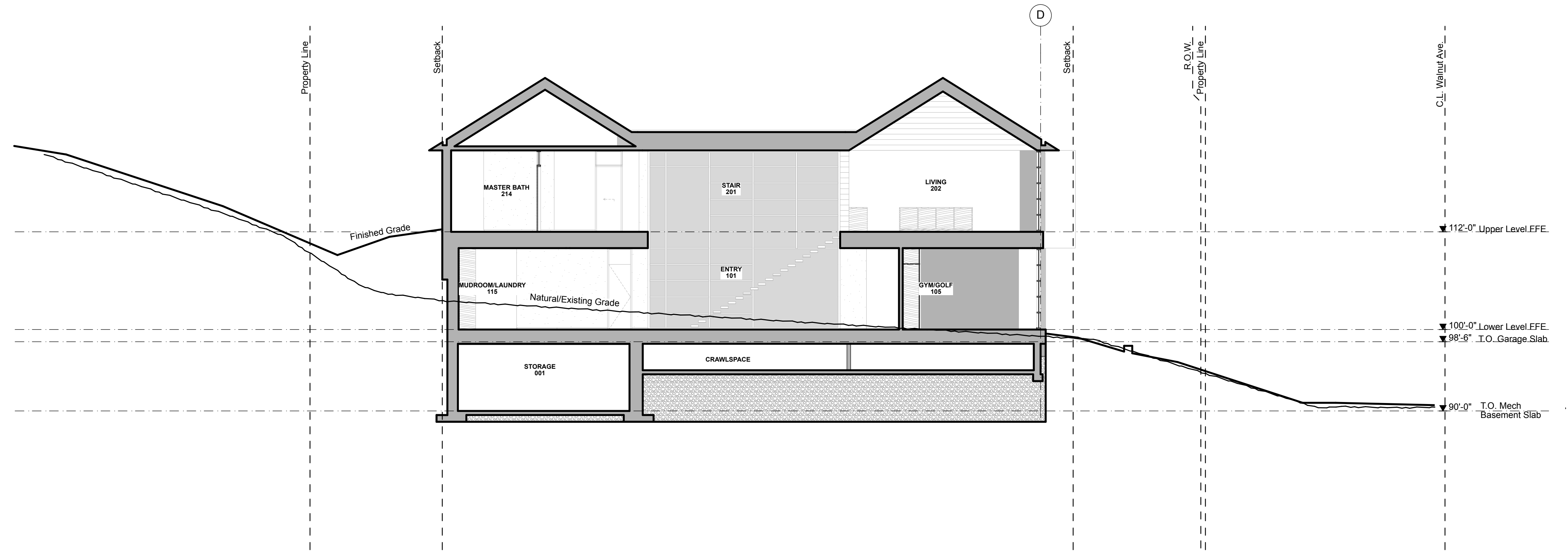
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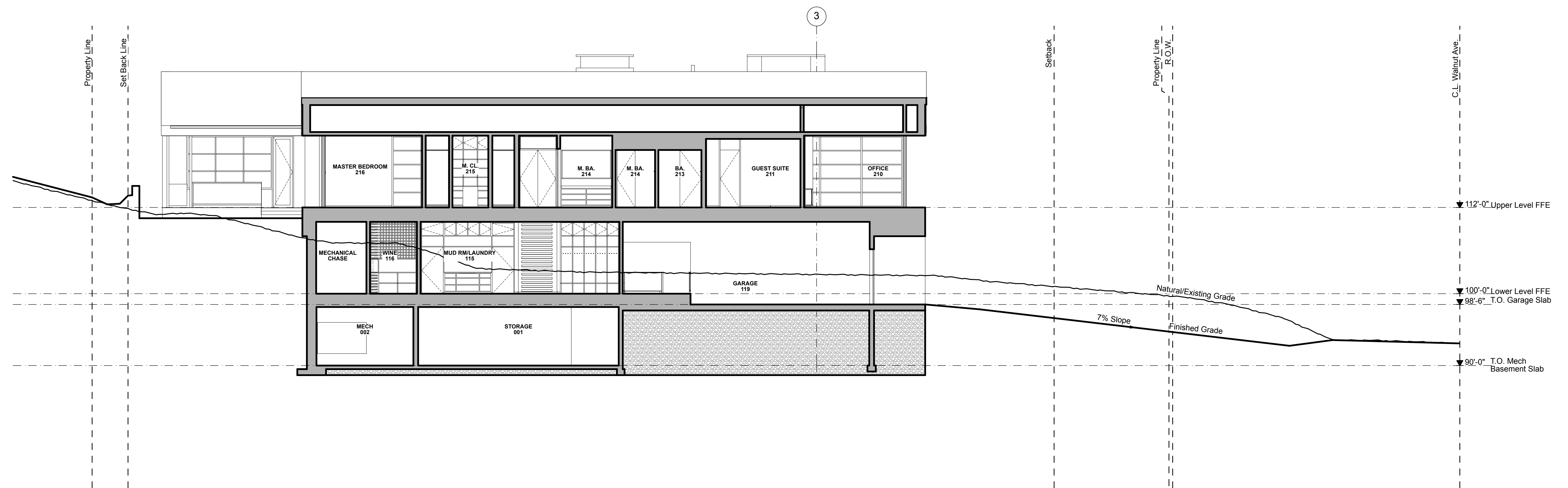
Drawn By: DP Checked By: JJ

Property Sections

A4.1



2 Property Cross Section Northwest/Southeast  
 SCALE: 1/8" = 1'-0"



1 Property Cross Section Northeast/Southwest  
 SCALE: 1/8" = 1'-0"

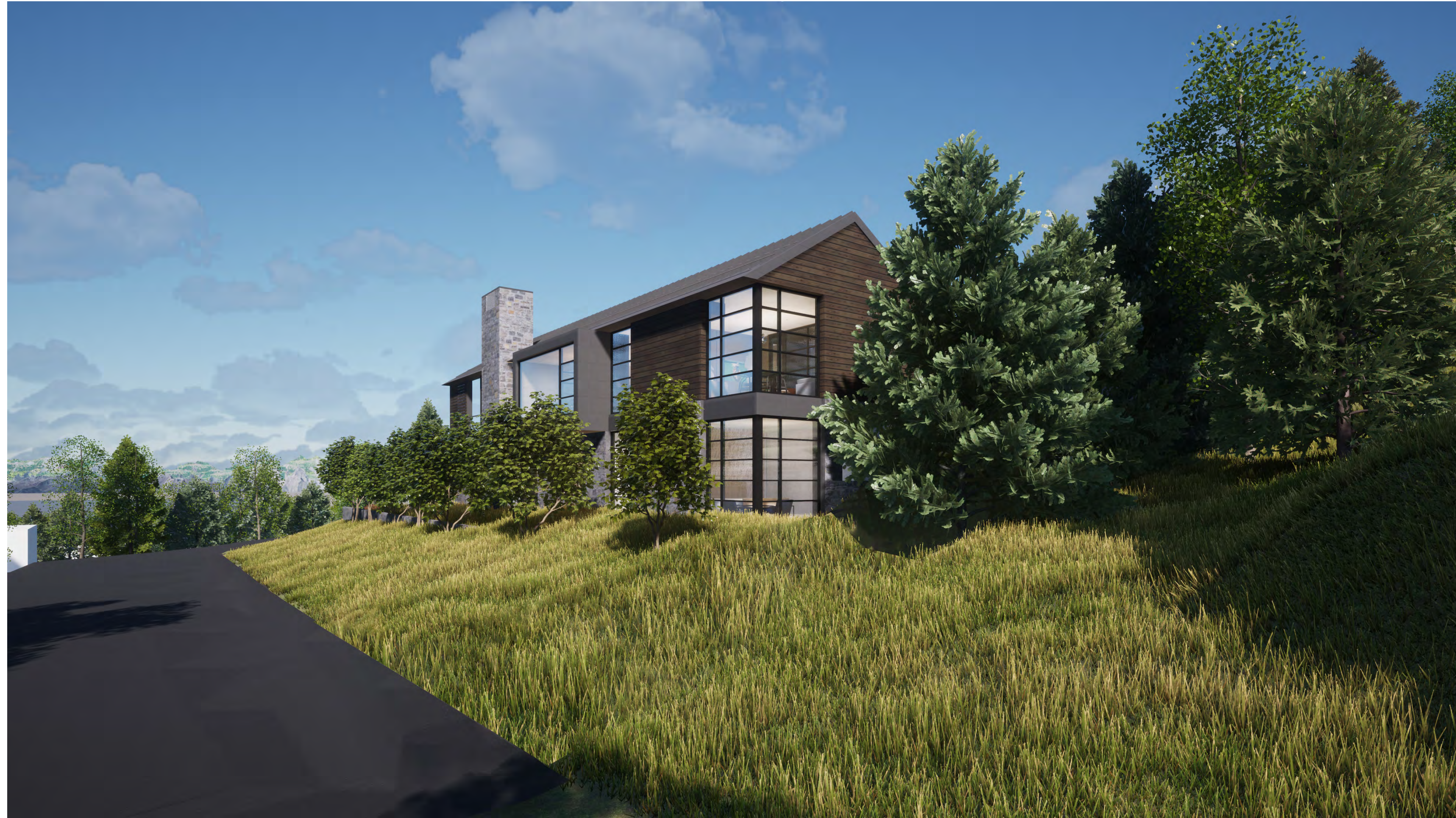
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McDermott Residence

Issue/Revision Date  
03.25.22 MODR

Drawn By: DP Checked By: JJ

Exterior Renders



4 View From 6th  
SCALE: 1:2,990



3 View From Alley



2 View From Corner of 6th and Walnut



1 View From Walnut Ave.



**LEGEND**

	IF PRESENT, ARROW INDICATES DIRECTION OF AIMING FOR ADJUSTABLE LIGHT FIXTURE
	LIGHT FIXTURE SYMBOL
	LIGHT FIXTURE CONTROL ZONE
	LIGHT FIXTURE TYPE DESIGNATION
	S SINGLE POLE SWITCH - DIVA STYLE SWITCH. VERIFY COLOR.
	S <sub>A</sub> SINGLE POLE SWITCH - LETTER INDICATES SWITCH LEG. DIVA STYLE SWITCH. VERIFY COLOR.
	S <sub>A</sub> <sup>D</sup> SINGLE POLE 3-WAY SWITCH - LETTER INDICATES SWITCH LEG. DIVA STYLE SWITCH. VERIFY COLOR.
	S <sub>D</sub> DIMMER SWITCH. DIVA STYLE SWITCH. VERIFY COLOR.
	S <sub>A</sub> <sup>D</sup> 3-WAY DIMMER SWITCH. DIVA STYLE SWITCH. VERIFY COLOR.
	KEYPAD LIGHTING CONTROL STATION. VERIFY CONFIGURATION.
	CEILING MOUNTED MOTION SENSOR. OCCUPANCY OR VACANCY PER CODE.
	LUTRON RECESSED 1/2 HOT FLOOR BOX RECEPTACLE WITH FLUSH STAINLESS STEEL COVER.
	LUTRON 1/2 HOT DUPLEX RECEPTACLE.

**SHEET INDEX**

- LT000 - GENERAL NOTES, FIXTURE SCHEDULE, LEGEND, AND SHEET INDEX
- LT001 - LIGHT FIXTURE DETAILS AND CONTROL ZONE SCHEDULE
- LT100 - BASEMENT LEVEL LIGHTING RCP
- LT200 - LOWER LEVEL LIGHTING RCP
- LT300 - UPPER LEVEL LIGHTING RCP
- LT400 - LANDSCAPE LIGHTING PLAN

**LIGHT FIXTURE SCHEDULE**

TYPE	SYMBOL	VOLTAGE	LIGHT SOURCE	DIMMING	EFFICACY	DESCRIPTION	MANUFACTURER	PART NUMBER
F1.1		110	18W LED 2100K	ELV	✓	3" SQUARE RECESSED ADJUSTABLE LED DOWN LIGHT WITH FLANGELESS MID-IN FINHOLE 40 DEG WIDE FLOOD, NEW CONSTRUCTION ICAIRTIGHT, HEX LOUVER, FROSTED TRIM LENS. VERIFY FINISH W/ ID.	SPECIALTY LIGHTING	CR4D-8A-FL-Z-AU-C20-21-55-C1-D-93A
F1.1.1		110	18W LED 2100K	ELV	✓	3" SQUARE RECESSED ADJUSTABLE LED DOWN LIGHT WITH FLANGELESS MID-IN FINHOLE 40 DEG WIDE FLOOD, NEW CONSTRUCTION ICAIRTIGHT, HEX LOUVER, FROSTED TRIM LENS. WOOD TRIM.	SPECIALTY LIGHTING	CR4D-8A-FL-Z-AU-C20-21-55-C1-D-93A
F1.2		110	18W LED 2100K	ELV	✓	3" SQUARE RECESSED ADJUSTABLE LED DOWN LIGHT WITH FLANGELESS HIGH-OUTPUT SPOT OPTIC, NEW CONSTRUCTION ICAIRTIGHT, HEX LOUVER, FROSTED TRIM LENS. VERIFY FINISH W/ ID.	SPECIALTY LIGHTING	CR4D-8A-FL-Z-AU-C20-21-15-C1-VERIFY-93A
F1.2.1		110	18W LED 2100K	ELV	✓	3" SQUARE RECESSED ADJUSTABLE LED DOWN LIGHT WITH FLANGELESS HIGH-OUTPUT SPOT OPTIC, NEW CONSTRUCTION ICAIRTIGHT, HEX LOUVER, FROSTED TRIM LENS. WOOD TRIM.	SPECIALTY LIGHTING	CR4D-8A-FL-Z-AU-C20-21-15-C1-D-93A
F1.3		110	18W LED 2100K	ELV	✓	3" SQUARE RECESSED ADJUSTABLE LED DOWN LIGHT WITH FLANGELESS HIGH-OUTPUT MEDIUM FLOOD OPTIC, NEW CONSTRUCTION ICAIRTIGHT, HEX LOUVER, FROSTED TRIM LENS. VERIFY FINISH W/ ID.	SPECIALTY LIGHTING	CR4D-8A-FL-Z-AU-C20-21-24-C1-VERIFY-93A
F1.3.1		110	18W LED 2100K	ELV	✓	3" SQUARE RECESSED ADJUSTABLE LED DOWN LIGHT WITH FLANGELESS HIGH-OUTPUT MEDIUM OPTIC, NEW CONSTRUCTION ICAIRTIGHT, HEX LOUVER, FROSTED TRIM LENS. WOOD TRIM.	SPECIALTY LIGHTING	CR4D-8A-FL-Z-AU-C20-21-24-C1-D-93A
F1.4		110	12W LED 2100K	0-10V	✓	3" SQUARE RECESSED ADJUSTABLE LED DOWN LIGHT WITH FLANGELESS WHITE BEVELED SHOWER RATED TRIM, 40° FLOOD OPTICS, AND I.C. RATED HOUSING.	SPECIALTY LIGHTING	CR4D-8A-FL-ZS-AU-C20-21-40-C1-VERIFY-93A
F1.5		110	32W LED 2100K	0-10V	✓	Q) LIGHT SQUARE RECESSED ADJUSTABLE LED DOWN LIGHT WITH FLANGELESS WHITE TRIM, WIDE FLOOD OPTICS, I.C. RATED HOUSING AND ELV DIMMING TRANSFORMER.	SPECIALTY LIGHTING	CR4D-THCA-DR2-Z-AU-C20-21-55-C1-VERIFY-93A
F1.6		120	12W LED 2100K	ELV	✓	3" SQUARE FIXED RECESSED LED DOWN LIGHT WITH FLANGELESS, BEVELED TRIM, LINEAR SPREAD DIFFUSION LENS, FLOOD OPTICS, I.C. RATED SHALLOW HOUSING AND ELV DIMMING TRANSFORMER. VERIFY FINISH (TBD).	ENTRA	EN35-LO921-A-A-1   EN35-L-B-9-W EL29LL
F1.7		110	12W LED 2100K	ELV	✓	5" SQUARE SURFACE MOUNTED WARM WHITE LED DOWN LIGHT WITH WHITE FINISH.	DMP	DRD4-N-JO DRD58-4-9-10-9-21-
F1.8		110	20W LED 2100K	0-10V	✓	1" x 1" SQUARE SURFACE MOUNTED WARM WHITE LED CLOSET LIGHT WITH BRUSHED NICKEL FINISH.	WAC LIGHTING	FW-015Q-930-BN
F2.1		24	4.5W/FT LED 2100K	ELV	✓	WARM WHITE LED TAPE LIGHTING SYSTEM WITH LENSED, LOW PROFILE EXTRUSION AND REMOTE DIMMABLE POWER SOURCE.	ACOLYTE	CH45309-11-8V-RB-90-SUM269-4-8-21-VERIFY-FI-VERIFY
F2.2		24	3W/FT LED 2100K	ELV	✓	WARM WHITE LED WET LISTED TAPE LIGHTING SYSTEM WITH MEDIUM SCALE 45° EXTRUSION AND REMOTE DIMMABLE POWER SOURCE.	ACOLYTE	CH45309-11-8V-RB-90-SUM269-3-0-21-VERIFY-FI-VERIFY
F2.3		24	12W INTEGRAL LED 2100K	0-10V	✓	WARM WHITE HIGH CRI LED GRAZE LIGHT W/ GRAZE OPTICS AND LOUVER CHANNEL. PROVIDE MANUFACTURER'S RECOMMENDED REMOTE DIMMABLE TRANSFORMER AS REQUIRED.	ACOLYTE	ATOM-80-24-12-G5-21-20X35-VERIFY-010
F2.4		110	36W LED 3000K	PER XPMR	✓	4" WARM WHITE LED DRIVE-OVER IN-GRADE LINEAR GRAZE FIXTURE.	INTERLUX	FBU-40-H-30-LL-24-5048 D-520-24006
F2.5		24	3W LED 2100K	ELV	✓	WARM WHITE LED TAPE LIGHTING SYSTEM WITH 15° GRAZE CLEAR LENS, EXTRUSION, AND REMOTE DIMMABLE POWER SOURCE.	ACOLYTE	CH45309-11-8V-RB-90-SUM269-3-0-21-VERIFY-FI-VERIFY
F3.1		12	2W LED 3000K	NON DIM	✓	DISCRETE ADJUSTABLE BEAM MOUNTED ACCENT LIGHT W/ WIDE FLOOD OPTICS.	HK LIGHTING	ZXL08-50-65A-12V-3-30-26-VERIFY-LVR-CM2
F3.2		120	6W LED 2100K	0-10V	✓	EXTERIOR RECTANGULAR WALL RECESSED PATH LIGHT.	BEGA	33 093 + K21
F3.3		120	4W LED 2100K	0-10V	✓	RECTANGULAR WALL RECESSED PATH LIGHT. VERIFY SPEC WITH BOCCO BALL CURB DESIGN.	LIGHT & GREEN	LG-4002-CL2-MRI1-5L-7K-90-38-0-10
F4.1		110	12W LED 2100K	0-10V	✓	SMALL SCALE ADJUSTABLE, FLANGELESS ACCENT LIGHT W/ FLOOD OPTICS.	DESIGN PLAN	LT510-11-F-Q-NV-VERIFY
L1.1		12	6W LED 2100K			SMALL SCALE STAKE MOUNTED ADJUSTABLE LOW OUTPUT WARM WHITE LANDSCAPE LED ACCENT LIGHT. CAST BRONZE HOUSING. WIDE FLOOD OPTICS. BRONZE LIVING PATINA FINISH.	AURORA LIGHT	H8L1-LM-60-6-WF-30-H-AGS-BLP-XD
L1.2		12	4W LED 2100K			SMALL SCALE STAKE MOUNTED ADJUSTABLE MEDIUM OUTPUT WARM WHITE LANDSCAPE LED ACCENT LIGHT. CAST BRONZE HOUSING. WIDE FLOOD OPTICS. BRONZE LIVING PATINA FINISH.	AURORA LIGHT	H8L1-LM-60-4-WF-30-H-AGS-BLP-XD
DL						WALL MOUNTED LUMINOUS MIRROR	BY ARCHITECT.	
DL						WALL MOUNTED ART LIGHT.	BY ARCHITECT.	
DL						DECORATIVE SUSPENDED PENDANT	BY ARCHITECT.	
DL						CORDLESS TABLE LAMP	BY ARCHITECT.	
DL						NIGHT STAND TABLE LAMP.	BY ARCHITECT.	

**LIGHTING SPECIFICATIONS AND GENERAL REQUIREMENTS**

- GENERAL RESPONSIBILITIES**
- ALL LOCAL AND NATIONAL BUILDING CODES AND REGULATIONS SHALL GOVERN AND BE APPLIED TO ALL THE WORK REQUIRED TO COMPLETE THE DOCUMENTED LIGHTING DESIGN, INCLUDING BUT NOT LIMITED TO THE NEC AND TITLE 24.
  - IT IS THE GENERAL AND ELECTRICAL CONTRACTOR'S/ELECTRICAL ENGINEER'S RESPONSIBILITY TO ENSURE THAT THE COMPLETE INSTALLATION IS IN COMPLIANCE WITH ALL CODES, INCLUDING ITEMS SUCH AS BUT NOT LIMITED TO TITLE 24, GFCI AND AFCI LIGHTING CIRCUITS, THE GROUNDING OF ALL FIXTURES AND PROPER VOLTAGE DROP CALCULATIONS.
  - BOTH THE GENERAL AND ELECTRICAL CONTRACTORS SHALL FIELD VERIFY AND COORDINATE THE LOCATIONS OF ALL LIGHTING FIXTURES AND DETAILS WITH ALL DISCIPLINES PRIOR TO ROUGH-IN AND PURCHASE OF ANY FIXTURES.
  - ANY CONFLICTS BETWEEN THE LIGHTING DESIGN AND ALL OTHER DISCIPLINES INCLUDING BUT NOT LIMITED TO FRAMING, STRUCTURAL, HVAC AND PLUMBING SHALL BE IDENTIFIED AND COORDINATED WITH THE ARCHITECT, RNLD AND THE CONFLICTING DISCIPLINE.
  - THE GENERAL AND ELECTRICAL CONTRACTOR SHALL COORDINATE LIGHT FIXTURE MOUNTING/INSTALLATION REQUIREMENTS LOCATED IN MILLWORK WITH THE MILLWORK CONTRACTOR TO ENSURE CONCEALMENT OF LIGHTING SOURCES AND CONDUCTORS AS REQUIRED.
  - THE ELECTRICAL CONTRACTOR PROVIDE AND SIZE ALL REMOTE LOW VOLTAGE TRANSFORMERS AND POWER SOURCES AS REQUIRED PER THE SPECIFIED MANUFACTURER'S INSTALLATION INSTRUCTIONS.
  - THE ELECTRICAL CONTRACTOR TO PROVIDE ALL CABLE POWER FEEDS AND CONNECTORS FOR LINEAR LED SYSTEMS AS REQUIRED PER THE SPECIFIED MANUFACTURER'S INSTALLATION INSTRUCTIONS.

- ARCHITECTURAL LIGHTING FIXTURE SPECIFICATIONS**
- ANY CONFLICTS AND/OR DISCREPANCIES WITH THE SPECIFIED CATALOG NUMBERS WHEN ORDERING THE FIXTURES SHALL BE REVIEWED WITH RNLD PRIOR TO COMPLETING THE ORDER.
  - EXACT FINISHES OF DOWN LIGHT TRIMS AND REFLECTORS, FLOOD LIGHT TRIMS, STEP LIGHT FACEPLATES, GLASS ELEMENTS, METAL COMPONENTS AND ALL OTHER VISIBLE FIXTURE ELEMENTS SHALL BE REVIEWED AND APPROVED BY THE ARCHITECT, INTERIOR DESIGNER, AND THE CLIENT REPRESENTATIVE PRIOR TO FINAL SPECIFICATION AND PURCHASING.
  - RNLD RECOMMENDS THAT ALL DOWN LIGHT TRIM RINGS BE PAINTED TO MATCH THE CEILING FINISH. IN CEILING CONDITIONS WITH WOOD OR PATTERNED FINISH, THE FAUX PAINTING SHOULD BE COMPLETED AFTER THE CUSTOM FINAL AIM AND FOCUS OF THE LIGHT FIXTURES.

- DECORATIVE LIGHTING FIXTURE SPECIFICATIONS**
- ALL DECORATIVE FIXTURE SIZES AND WEIGHTS TO BE COORDINATED WITH THE GENERAL AND ELECTRICAL CONTRACTORS TO ENSURE THAT PROPER BLOCKING IS IN PLACE TO SUPPORT AND MOUNT THE FIXTURES.
  - ALL DECORATIVE FIXTURES TO BE DIMMABLE.

- SUBMITTALS AND SUBSTITUTIONS**
- THE ELECTRICAL CONTRACTOR SHALL PROVIDE LIGHTING FIXTURE SUBMITTALS FOR REVIEW AND APPROVAL BY RNLD.
  - ALL SPECIFICATIONS PROVIDED BY RNLD SHALL BE ADHERED TO BY ALL PARTIES AND MAY NOT BE SUBSTITUTED FOR ANY REASON WITHOUT PRIOR APPROVAL.
  - IN ANY CASE REQUIRING A CHANGE TO THE LIGHTING FIXTURE SPECIFICATIONS AND/OR A SUBSTITUTION, ALL INFORMATION SHALL BE PROVIDED TO RNLD FOR REVIEW AND APPROVAL PRIOR TO PURCHASE.
  - RNLD SHALL NOT BE HELD RESPONSIBLE FOR ANY UNAPPROVED SUBSTITUTIONS AND/OR CHANGES TO THE LIGHTING PLANS, SPECIFICATIONS, CONTROL LOAD SCHEDULES, AND PROGRAMMING THAT ARE MADE WITHOUT THE APPROPRIATE APPROVALS.
  - IN THE CASE OF A DISCREPANCY, THE FIXTURE DESCRIPTION LISTED ON THE FIXTURE SCHEDULE SHALL TAKE PRECEDENT OVER ANY APPROVED SUBMITTAL UNLESS OTHERWISE NOTED.

- LIGHTING PLAN FIXTURE LOCATIONS AND DIMENSIONS**
- ALL INTEGRATED LIGHTING IN THE MILLWORK AND OTHER DETAILS SHALL BE COORDINATED WITH THE ARCHITECT AND INTERIOR DESIGNER. ANY AND ALL SHOP DRAWINGS THAT RELATE TO LOCATIONS WHERE LIGHTING IS TO BE INTEGRATED SHALL BE PROVIDED TO RNLD FOR REVIEW AND COMMENT.
  - GENERAL AND ELECTRICAL CONTRACTORS TO REFER TO EXACT DIMENSIONING AND CENTERLINES INDICATED ON THE LIGHTING PLANS PRIOR TO FRAMING AND COORDINATE ALL FIXTURE LOCATIONS WITH FRAMING, AS BUILT CONDITIONS AND ALL OTHER DISCIPLINES INCLUDING HVAC PLUMBING AND A/V TO AVOID CONFLICTS. ANY REQUIRED CHANGES SHALL BE REVIEWED BY RNLD.

- LIGHTING CONTROL DEVICES**
- ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR ORDERING THE PROPER SWITCHES AS SPECIFIED DEPENDANT ON LOAD TYPE, WATTAGE, MULTIPLE WAY SWITCHING AND DIMMING, AND DE-RATING FOR MULTIPLE GANGING OF SWITCHES AS DETERMINED BY THE MANUFACTURER.
  - ELECTRICAL CONTRACTOR TO GANG MULTIPLE SWITCHES AND WIRE ALL MULTIPLE WAY SWITCHES AND DIMMERS AS INDICATED ON PLAN.
  - EXACT LOCATIONS FOR ALL SWITCHES TO BE VERIFIED WITH ARCHITECT, INTERIOR DESIGNER AND CLIENT PRIOR TO ROUGH-IN. RNLD RECOMMENDS THAT STANDARD SWITCHES BE MOUNTED AT 48" ABOVE FINISHED FLOOR TO THE CENTERLINE OF SWITCH EXCEPT AT SPECIAL LOCATIONS.
  - EXACT FINISHES FOR ALL STANDARD LIGHTING TOGGLE AND DIMMING SWITCHES AND THEIR ASSOCIATED FACEPLATES TO BE DETERMINED BY THE ARCHITECT, INTERIOR DESIGNER, CLIENTS AND/OR CLIENT REPRESENTATIVE.

- LIGHTING CONTROL SYSTEM**
- SYSTEMS CONTRACTOR TO INSTALL A LUTRON HOMEWORKS LIGHTING CONTROL SYSTEM AS PRESCRIBED BY THE CLIENTS. RNLD SHALL NOT SPECIFY ANY COMPONENTS OF CONTROL SYSTEM OTHER THAN CONTROL ZONES.
  - SYSTEMS CONTRACTOR TO VERIFY EXACT QUANTITY, LOCATION, CONFIGURATION AND MOUNTING HEIGHTS FOR ALL LIGHTING CONTROL SYSTEM KEYPADS.
  - SYSTEMS CONTRACTOR TO VERIFY FINISH AND COLOR OF ALL KEYPADS WITH ARCHITECT AND INTERIOR DESIGNER.
  - SYSTEMS CONTRACTOR TO VERIFY MANUFACTURER'S CERTIFICATION TO INSTALL THE SPECIFIED LIGHTING CONTROL SYSTEM, AND REGISTER FOR TRAINING IF NOT ALREADY CERTIFIED.
  - SYSTEMS CONTRACTOR TO ENSURE THAT ALL PROPER WIRING IS IN PLACE FOR COMMUNICATION BETWEEN MULTIPLE ENCLOSURE LOCATIONS.
  - SYSTEMS CONTRACTOR SHALL COORDINATE THE ENTIRE LIGHTING CONTROL SYSTEM WITH THE A/V CONSULTANT, MEP AND ARCHITECT TO DETERMINE EXACT LOCATIONS FOR ALL ENCLOSURES, MAIN CCU AND COMMUNICATION BETWEEN ALL SYSTEMS.
  - SYSTEMS CONTRACTOR TO VERIFY CONFIGURATION OF ALL CONTROL DEVICES WITH OWNER.
  - SYSTEMS CONTRACTOR TO BE AVAILABLE DURING BOTH DAYTIME AND NIGHTTIME HOURS TO PROGRAM FINAL LIGHT LEVELS AS PRESCRIBED BY RNLD.

- TITLE 24**
- THE PROPOSED LIGHTING DESIGN SHALL COMPLY WITH THE FOLLOWING LIGHTING MEASURES:
    - A. MANDATORY (CBEE5 150.0 (K))
  - OUTDOOR LIGHTING: ALL LUMINAIRES MOUNTED TO THE BUILDING OR TO OTHER BUILDINGS ON THE SAME LOT SHALL BE HIGH EFFICACY LUMINAIRES OR MUST BE CONTROLLED BY A MOTION SENSOR AND CONTROLLED BY PHOTOCONTROL, ASTRONOMIC TIME CLOCK, OR ENERGY MANAGEMENT CONTROL SYSTEM.

- CUSTOM FINAL ADJUSTMENTS, ON SITE AIMING AND FINAL FOCUS**
- ELECTRICAL CONTRACTOR IS TO PROVIDE NEW LAMPS FOR ALL LIGHTING FIXTURES AS SPECIFIED BY RNLD DURING THE TRIM OUT OF ALL FIXTURES.
  - ELECTRICAL CONTRACTOR TO PRE-AIM ALL LIGHT FIXTURES AS INDICATED ON LIGHTING PLANS BY RNLD.
  - RNLD SHALL COORDINATE WITH THE GENERAL AND ELECTRICAL CONTRACTORS TO SCHEDULE A FINAL AIM AND FOCUS DURING NIGHT TIME HOURS AFTER ALL ART WORK AND FURNISHINGS ARE IN PLACE, AT WHICH TIME ADDITIONAL MATERIALS SUCH AS LAMPS, SCAFFOLDING, LADDERS AND ADDITIONAL PERSONNEL MAY BE REQUIRED TO ADJUST FIXTURES.



527 N HIGHWAY 101 SUITE A  
SOLANA BEACH, CA 92075  
RNLD.COM

**MCDERMOTT RESIDENCE**  
KETCHUM, ID

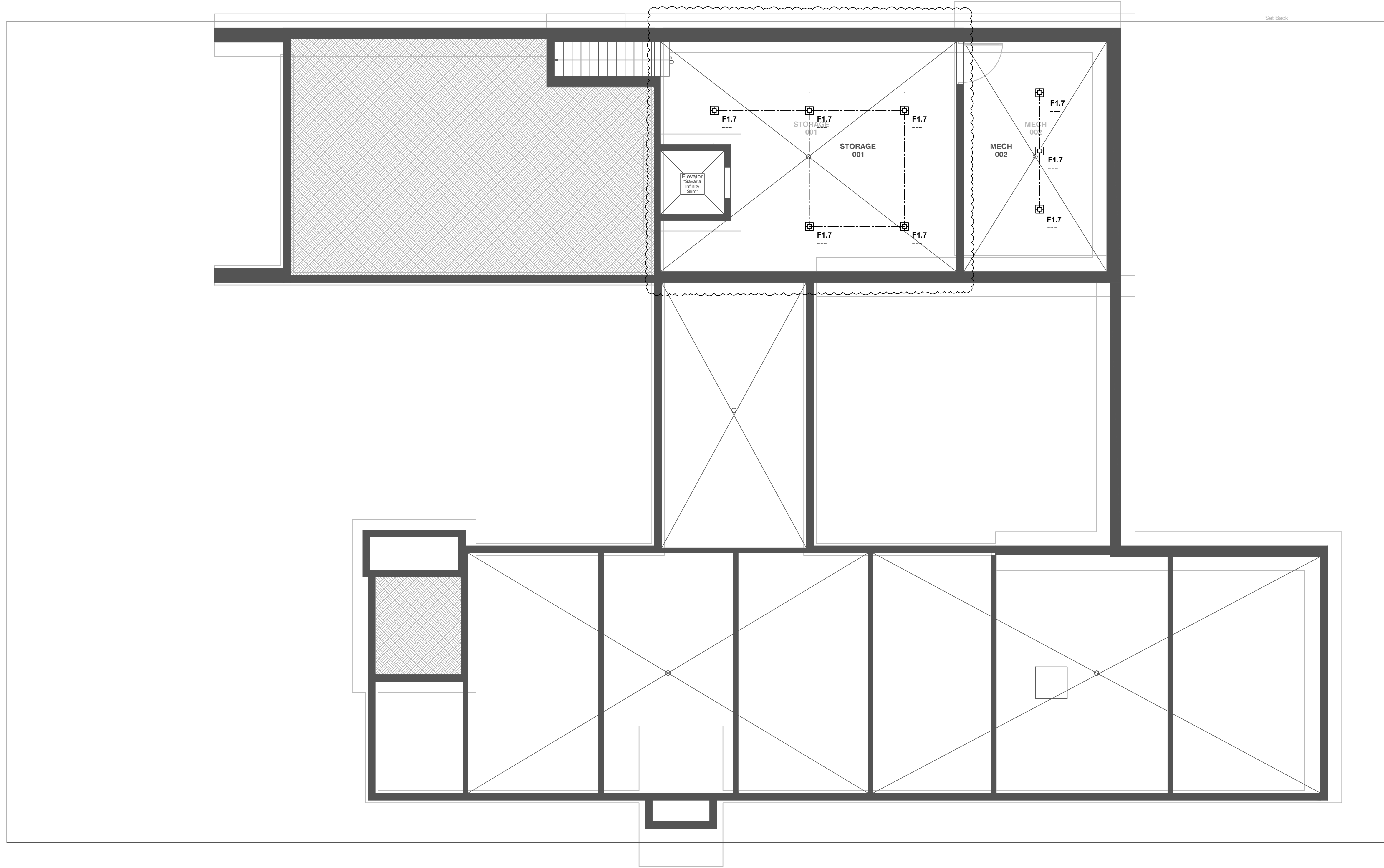
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DRAWN: A.M./G.N.  
DATE: 03/15/22

**LT000**

GENERAL NOTES, FIXTURE SCHEDULE, LEGEND, AND SHEET INDEX

**BASEMENT LEVEL LIGHTING RCP**

3/16" = 1'-0"



**MCDERMOTT RESIDENCE**

KETCHUM, ID

**BASEMENT LEVEL LIGHTING RCP**

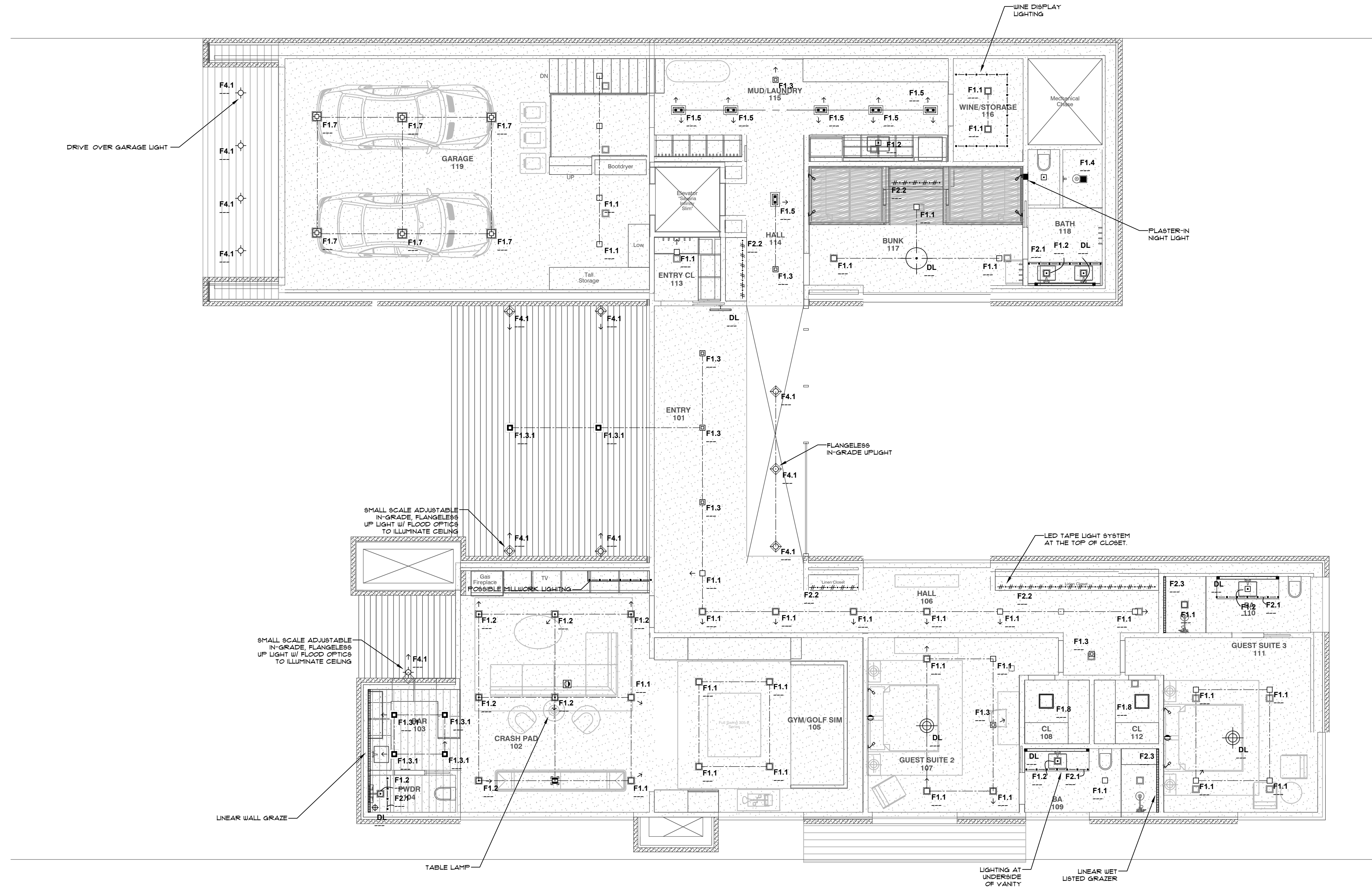
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 DRAWN: A.M./G.N.  
 DATE: 03/15/22

**LT100**



**RON NEAL  
 LIGHTING DESIGN**

527 N HIGHWAY 101 SUITE A  
 SOLANA BEACH, CA 92075  
 RNL.D.COM



MAIN LEVEL LIGHTING RCP  
3/16" = 1'-0"

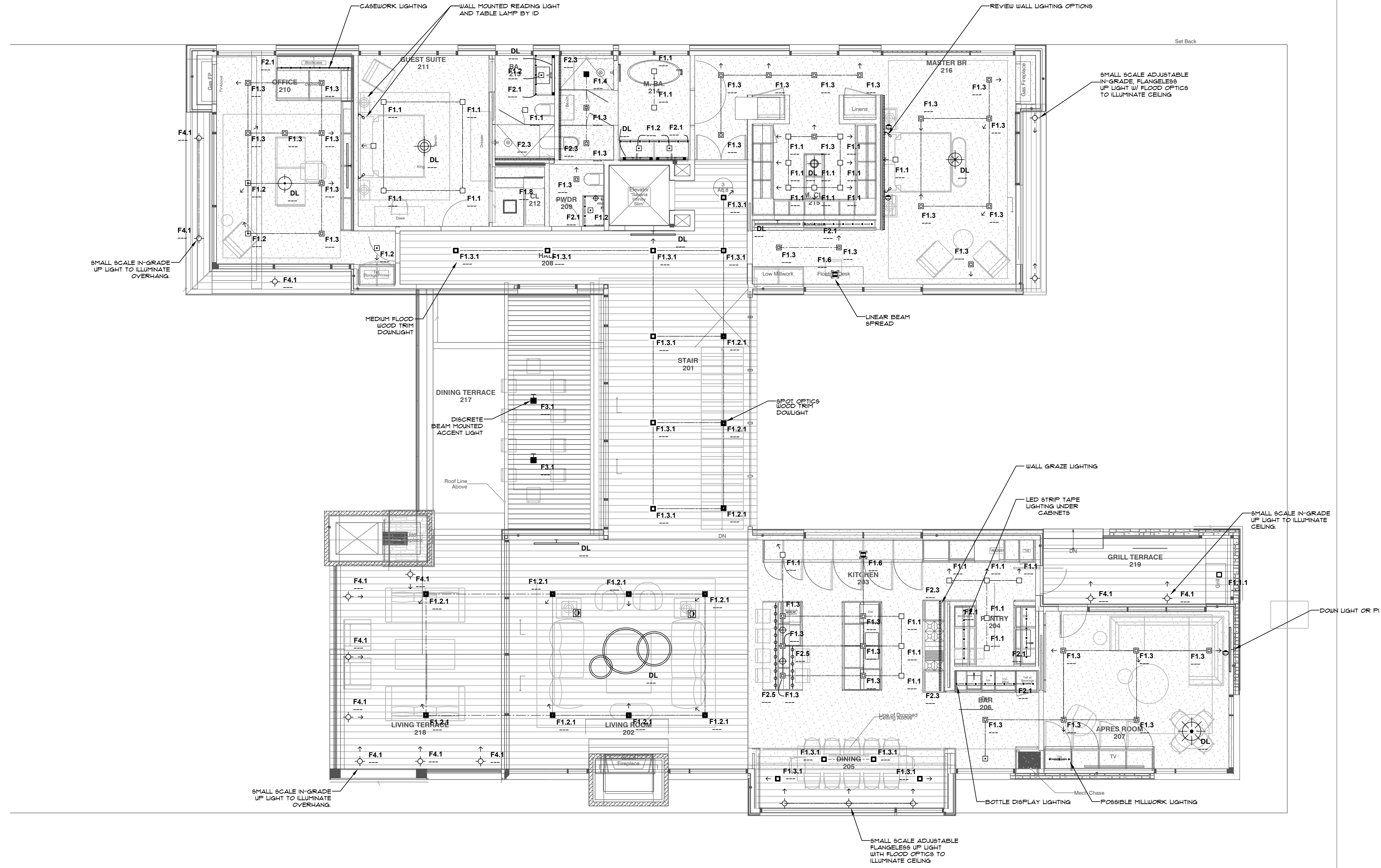
**MCDERMOTT RESIDENCE**

KETCHUM, ID

MAIN LEVEL LIGHTING RCP

SCALE: AS SHOWN  
DRAWN: A.M./G.N.  
DATE: 03/15/22

LT200



UPPER LEVEL LIGHTING RCP PLAN  
3/16" = 1'-0"

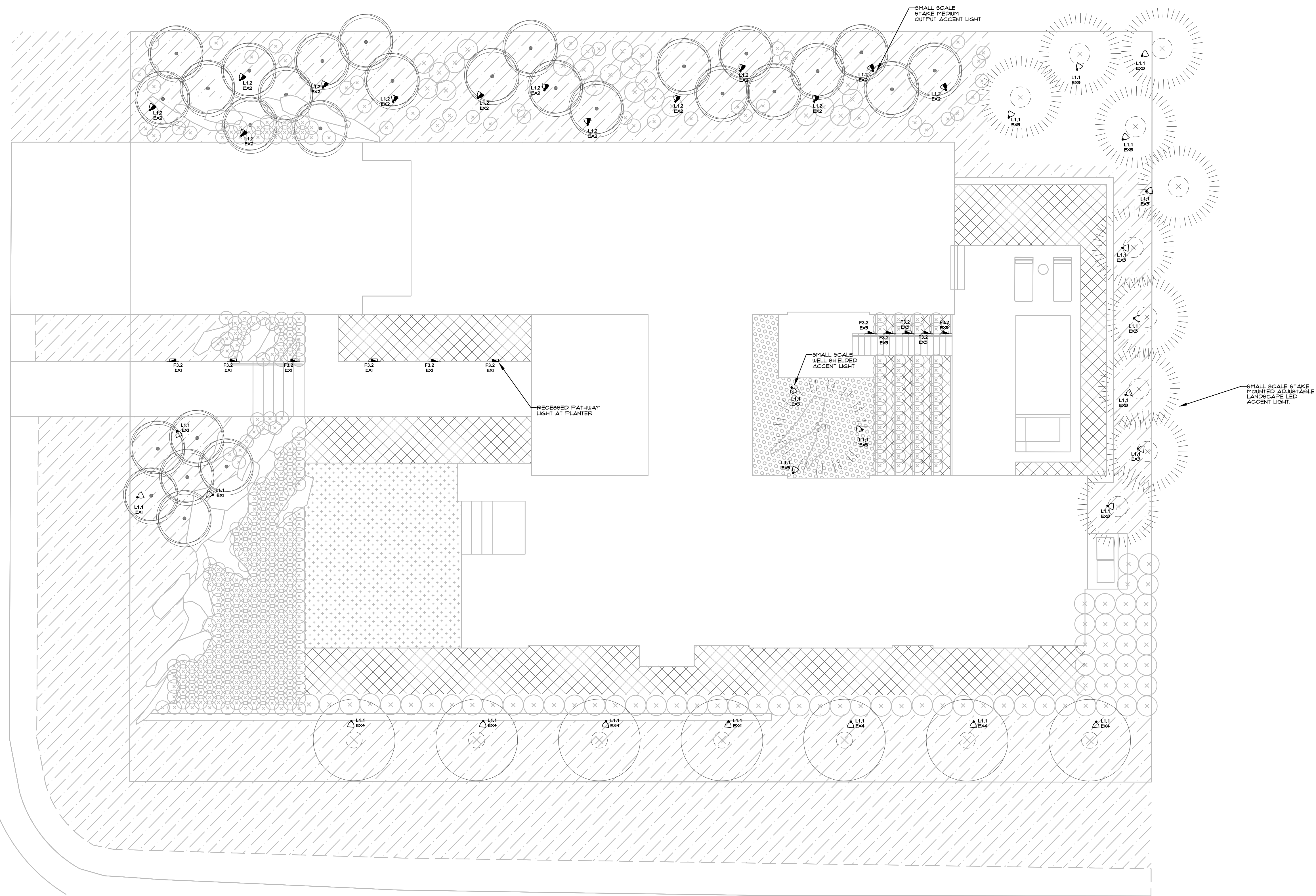
**MCDERMOTT RESIDENCE**  
KETCHUM, ID  
UPPER LEVEL LIGHTING RCP PLAN

SCALE	AS SHOWN
DRAWN	A.M./G.N.
DATE	03/15/22

LT300

LANDSCAPE LIGHTING PLAN

1/8" = 1'-0"



**MCDERMOTT RESIDENCE**

KETCHUM, ID

LANDSCAPE LIGHTING PLAN

SCALE: AS SHOWN  
DRAWN: A.M./G.N.  
DATE: 05/17/22

**LT400**











Lighting Specifications and System Instructions  
for  
**McDermott Residence**




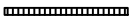



San Diego, CA

Prepared  
January 07, 2021

# LIGHT FIXTURE SCHEDULE










TYPE	SYMBOL	VOLTAGE	LIGHT SOURCE	DIMMING	EFFICACY	DESCRIPTION	MANUFACTURER	PART NUMBER
Fl.1		110	18W LED 2700K	ELV	✓	3" SQUARE RECESSED ADJUSTABLE LED DOWN LIGHT WITH FLANGELESS MUD-IN PINHOLE 40 DEG WIDE FLOOD, NEW CONSTRUCTION IC/AIRTIGHT, HEX LOUVER, FROSTED TRIM LENS. VERIFY FINISH W/ ID.	SPECIALTY LIGHTING	CR4D-6A-FL-Z-AU-C20-2T-55-CI-VERIFY-93A
Fl.1.1		110	18W LED 2700K	ELV	✓	3" SQUARE RECESSED ADJUSTABLE LED DOWN LIGHT WITH FLANGELESS MUD-IN PINHOLE 40 DEG WIDE FLOOD, NEW CONSTRUCTION IC/AIRTIGHT, HEX LOUVER, FROSTED TRIM LENS. WOOD TRIM.	SPECIALTY LIGHTING	CR4D-6A-FL-Z-AU-C20-2T-55-CI-D-93A
Fl.2		110	18W LED 2700K	ELV	✓	3" SQUARE RECESSED ADJUSTABLE LED DOWN LIGHT WITH FLANGELESS HIGHOUTPUT SPOT OPTIC, NEW CONSTRUCTION IC/AIRTIGHT, HEX LOUVER, FROSTED TRIM LENS. VERIFY FINISH W/ ID.	SPECIALTY LIGHTING	CR4D-6A-FL-Z-AU-C20-2T-15-CI-VERIFY-93A
Fl.2.1		110	18W LED 2700K	ELV	✓	3" SQUARE RECESSED ADJUSTABLE LED DOWN LIGHT WITH FLANGELESS HIGHOUTPUT SPOT OPTIC, NEW CONSTRUCTION IC/AIRTIGHT, HEX LOUVER, FROSTED TRIM LENS. WOOD TRIM..	SPECIALTY LIGHTING	CR4D-6A-FL-Z-AU-C20-2T-15-CI-D-93A
Fl.3		110	18W LED 2700K	ELV		3" SQUARE RECESSED ADJUSTABLE LED DOWN LIGHT WITH FLANGELESS HIGHOUTPUT MEDIUM FLOOD OPTIC, NEW CONSTRUCTION IC/AIRTIGHT, HEX LOUVER, FROSTED TRIM LENS. VERIFY FINISH W/ ID.	SPECIALTY LIGHTING	CR4D-6A-FL-Z-AU-C20-2T-24-CI-VERIFY-93A
Fl.3.1		110	18W LED 2700K	ELV		3" SQUARE RECESSED ADJUSTABLE LED DOWN LIGHT WITH FLANGELESS HIGHOUTPUT MEDIUM OPTIC, NEW CONSTRUCTION IC/AIRTIGHT, HEX LOUVER, FROSTED TRIM LENS. WOOD TRIM.	SPECIALTY LIGHTING	CR4D-6A-FL-Z-AU-C20-2T-24-CI-D-93A
Fl.4		110	12W LED 2700K	0-10V	✓	3" SQUARE RECESSED ADJUSTABLE LED DOWN LIGHT WITH FLANGELESS WHITE BEVELED SHOWER RATED TRIM, 40° FLOOD OPTICS, AND I.C. RATED HOUSING.	SPECIALTY LIGHTING	CR4D-6A-FL-Z6-AU-C20-2T-40-CI-VERIFY-93A
Fl.5		110	32W LED 2700K	0-10V	✓	(2) LIGHT SQUARE RECESSED ADJUSTABLE LED DOWN LIGHT WITH FLANGELESS WHITE TRIM, WIDE FLOOD OPTICS, I.C. RATED HOUSING AND ELV DIMMING TRANSFORMER.	SPECIALTY LIGHTING	CR4MD-TMCA-DR2-Z-AU-C20-2T-55-CI-VERIFY-VERIFY-93A
Fl.6		120	12W LED 2700K	ELV	✓	3" SQUARE FIXED RECESSED LED DOWN LIGHT WITH FLANGELESS, BEVELED TRIM, LINEAR SPREAD DIFFUSION LENS, FLOOD OPTICS, I.C. RATED SHALLOW HOUSING AND ELV DIMMING TRANSFORMER. VERIFY FINISH (TBD).	ENTRA	EN36-LO92T-A-A-1   EN36-L-B-S-W EL26LL

# LIGHT FIXTURE SCHEDULE

TYPE	SYMBOL	VOLTAGE	LIGHT SOURCE	DIMMING	EFFICACY	DESCRIPTION	MANUFACTURER	PART NUMBER
F1.1		110	12W LED 2700K	ELV	✓	5" SQUARE SURFACE MOUNTED WARM WHITE LED DOWN LIGHT WITH WHITE FINISH.	DMF	DRDH-N-JO DRD56-4-6-10-9-21-
F1.8		110	20W LED 2700K	0-10V	✓	1" X 1" SQUARE SURFACE MOUNTED WARM WHITE LED CLOSET LIGHT WITH BRUSHED NICKEL FINISH.	WAC LIGHTING	FM-076Q-930-BN
F2.1		24	4.5W/FT LED 2700K	ELV	✓	WARM WHITE LED TAPE LIGHTING SYSTEM, WITH LENSED, LOW PROFILE EXTRUSION AND REMOTE DIMMABLE POWER SOURCE.	ACOLYTE	CHAS9-M-5V-RB-90- SWM65-4.5-21-VERIFY- FI-VERIFY
F2.2		24	3W/FT LED 2700K	ELV	✓	WARM WHITE LED WET LISTED TAPE LIGHTING SYSTEM WITH MEDIUM SCALE 45° EXTRUSION AND REMOTE DIMMABLE POWER SOURCE.	ACOLYTE	CHAC5-F-5V-RB-90- SWS265-3.0-21-VERIFY- FI-VERIFY
F2.3		24	12W INTEGRAL LED 2700K	0-10V	✓	WARM WHITE HIGH CRI LED GRAZE LIGHT W/ GRAZE OPTICS AND LOUVER CHANNEL PROVIDE MANUFACTURER'S RECOMMENDED REMOTE DIMMABLE TRANSFORMER AS REQUIRED.	ACOLYTE	ATOM-80-24-12-GS-21- 20X35-VERIFY-010
F2.4		110	36W LED 3000K	PER XFMR	✓	4' WARM WHITE LED DRIVE-OVER IN-GRADE LINEAR GRAZE FIXTURE.	INTERLUX	F8U-48-H-30-LL-24_-SU48 D-520-24006
F2.5		24	3W LED 2700K	ELV	✓	WARM WHITE LED TAPE LIGHTING SYSTEM WITH 15° GRAZE CLEAR LENS, EXTRUSION, AND REMOTE DIMMABLE POWER SOURCE.	ACOLYTE	CHAS20G-G-5V-RB- 90-3.0-21-VERIFY-FI- VERIFY
F3.1		12	2W LED 3000K	NON DIM	✓	DISCRETE ADJUSTABLE BEAM MOUNTED ACCENT LIGHT W/WIDE FLOOD OPTICS.	HK LIGHTING	ZXL08-SQ- -GSA-12V-3- 30-26-VERIFY-LVR +CM2
F3.2		120	6W LED 2700K	0-10V	✓	EXTERIOR RECTANGULAR WALL RECESSED PATH LIGHT.	BEGA	33 053 + K21



# LIGHT FIXTURE SCHEDULE

TYPE	SYMBOL	VOLTAGE	LIGHT SOURCE	DIMMING	EFFICACY	DESCRIPTION	MANUFACTURER	PART NUMBER
F3.3		120	4W LED 2700K	0-10V	✓	RECTANGULAR WALL RECESSED PATH LIGHT. VERIFY SPEC WITH BOCCIE BALL CURB DESIGN.	LIGHT & GREEN	LG-4002-CL2-MR11-9L- 27K-90-38-0-10
F4.1		110	12W LED 2700K	0-10V	✓	SMALL SCALE ADJUSTABLE, FLANGELESS ACCENT LIGHT W/ FLOOD OPTICS.	DESIGN PLAN	LT570-1-1-F-Q-NV-VERIFY
LI.1		12	6W LED 2700K			SMALL SCALE STAKE MOUNTED ADJUSTABLE LOW OUTPUT WARM WHITE LANDSCAPE LED ACCENT LIGHT. CAST BRONZE HOUSING. WIDE FLOOD OPTICS. BRONZE LIVING PATINA FINISH.	AURORA LIGHT	HSL11-LM-60-6-WF-30- H-AGS-BLP-XD
LI.2		12	4W LED 2700K			SMALL SCALE STAKE MOUNTED ADJUSTABLE MEDIUM OUTPUT WARM WHITE LANDSCAPE LED ACCENT LIGHT. CAST BRONZE HOUSING. WIDE FLOOD OPTICS. BRONZE LIVING PATINA FINISH.	AURORA LIGHT	HSL11-LM-60-4-WF-30- H-AGS-BLP-XD
DL						WALL MOUNTED LUMINOUS MIRROR	BY ARCHITECT.	
DL						WALL MOUNTED ART LIGHT.	BY ARCHITECT.	
DL						DECORATIVE SUSPENDED PENDANT	BY ARCHITECT.	
DL						CORDLESS TABLE LAMP	BY ARCHITECT.	
DL						NIGHT STAND TABLE LAMP.	BY ARCHITECT.	

**Core 4" Square Downlight (102mm)**  
Formerly known as 1009, 1012 and 1017  
Adjustable Recessed Accent Light



**The Core Family**

Welcome to the Core line of fixtures. You will find a rich diversity of technical and aesthetic options including 3 trim apertures, over 14 finishes including custom wood trims, flux and source selections featuring 90+ CRI fixed white and our world class Ambient Dim (Warm Dim), multiple beam spreads and plethora of driver and control choices. The Core downlight is created on a platform allowing a high degree of modification, so if you don't see what you are looking for, just ask. We are here to make your project right. You have found the Core 4" Square Adjustable Downlight and hope you enjoy the details

PROJECT:  TYPE:   
SPECIFIER:  DATE:

**Key Points (CR4D-SA)**

**Trim**

- Flanged or Flangeless
- One-piece die cast aluminum or machined wood trim
- 14 color options + custom RAL or wood available
- Flangeless includes plaster flange with lip

**Source / Optics**

- 4 beamspreads available- 15°, 24°, 40°, and 55°
- Adjustable to 45° with 358° of rotation
- Up to 2100 delivered lumens
- <2 MacAdam Steps (<2SDCM) for fixed white
- 90 CRI , 60+ R9 Standard- 95 CRI 90+R9 Optional with Ambient Dim
- 2700, 3000, 3500, 4000K, Ambient Dim standard. Tunable White and RGBW upon request
- Lifetime: L87B3>55,000 hours at 40°C Ambient

**Housing**

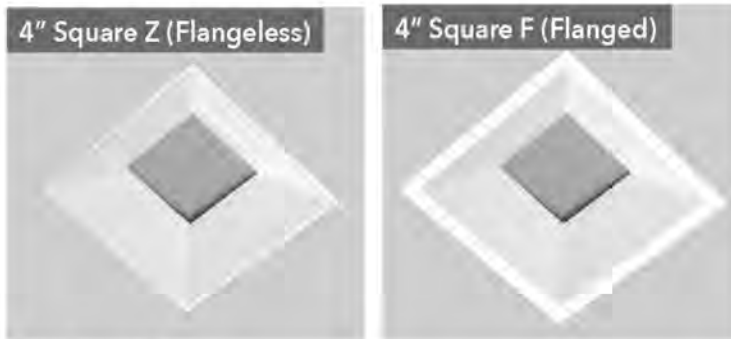
- Heavy gauge aluminum for new construction or remodel
- IC Rated / Airtight Housing approved for use in direct contact with insulation – Chicago Plenum Available
- Approved for 8 (4-in / 4-out) #12 AWG conductors rated for 90°C through wiring

- us Listed – Damp or wet with shower trim

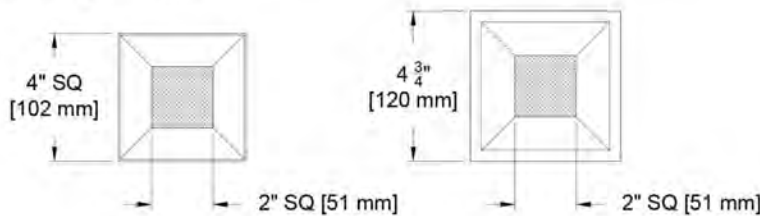
- Compliant to with Airtight Housing

**Driver**

- Universal 120-277v
- Prewired and integral to housing
- Flicker free to IEEE 1798-2015
- Phase, 0-10, DALI, Ecosystem or Wireless Control



Deep Regress Shown



**Aperture Options**



**Deep Regress (DR)**  
2" Optical Aperture  
Formerly known as 1009

**FL- Flat (Pin Hole)**  
2" Optical Aperture  
Formerly known as 1012

**Open Regress (OR)**  
3" Optical Aperture  
Formerly known as 1017

**Wood Finish**  
All apertures options

SQUARE Beamspreads	15°					24°					40°					55°				
	Source	System watts (W)	Delivered Lumens (lm)	Lumens/Watt	Peak CD	10% Field	Delivered Lumens (lm)	Lumens/Watt	Peak CD	10% Field	Delivered Lumens (lm)	Lumens/Watt	Peak CD	10% Field	Delivered Lumens (lm)	Lumens/Watt	Peak CD	10% Field		
Citizen C14	15	1068	71	7642	42°	995	66	4174	46°	1037	69	3429	51°	996	66	1402	71°			
Citizen C20	21	1424	68	10190	40°	1326	63	5562	39°	1382	66	4570	55°	1328	63	1870	73°			
Citizen C28*	30	1848	62	13223	44°	1857	62	7791	47°	1916	64	6336	54°	1816	61	2556	69°			
Ambient Dim A14	15	694	46	6220	43°	656	44	3189	44°	656	44	1827	53°	643	43	1028	70°			

All Measurements delivered or derived delivered lumens based on 3000K with Deep Regress. Ambient dim at full output. C28 source requires active cooling and must be used with NIC housing.

**Core 4" Square Downlight (102mm)**  
Formerly known as 1009, 1012 and 1017  
Adjustable Recessed Accent Light



## Ordering Codes

PROJECT: \_\_\_\_\_ SPECIFIER: \_\_\_\_\_  
DATE: \_\_\_\_\_ TYPE: \_\_\_\_\_ QUANTITY: \_\_\_\_\_

Ordering Code Example: CR4D-SA-DR-Z-AU-C20-35-24-E2-P16-91A-91L-97L-CP-LR

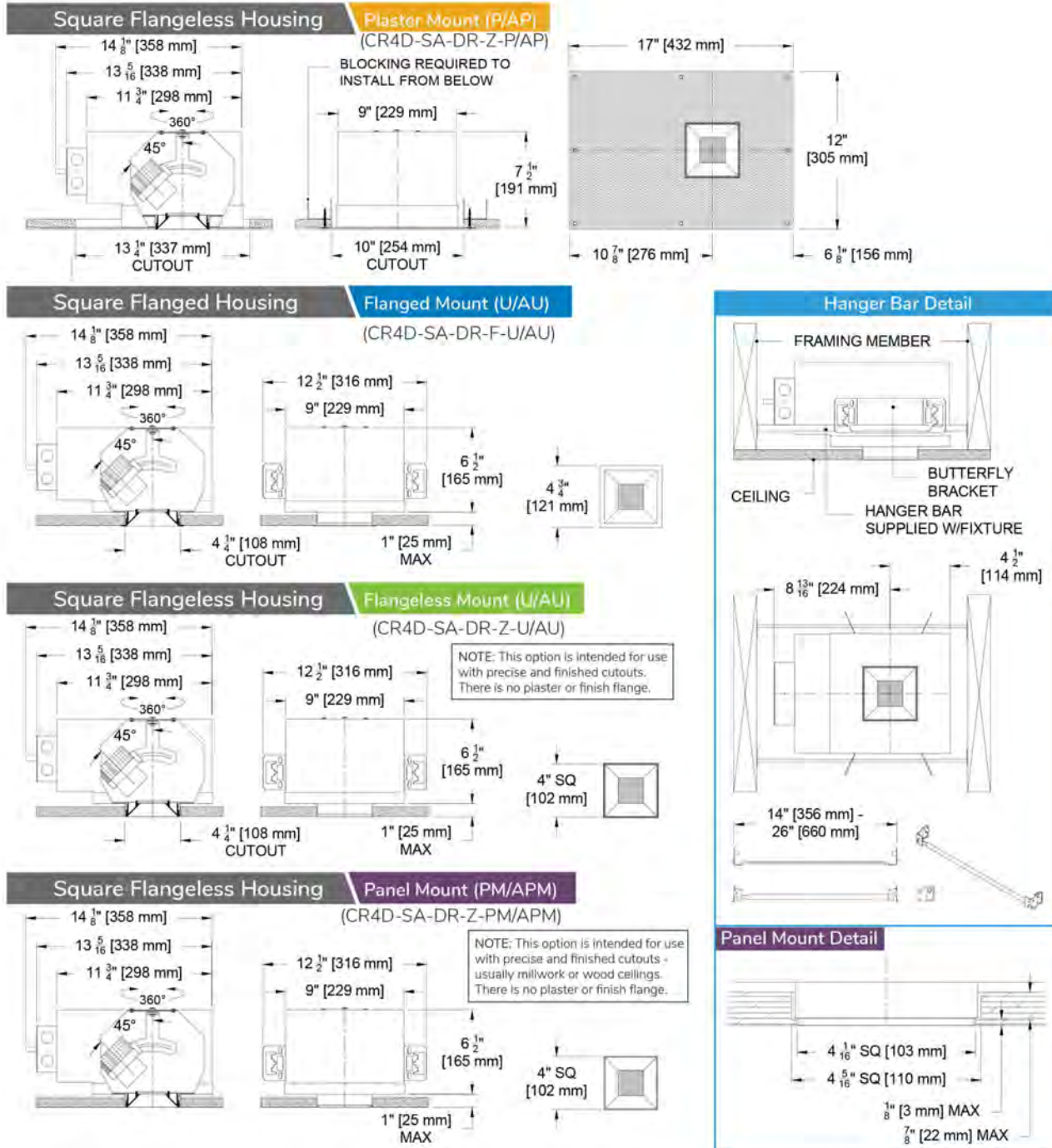
FIXTURE	APERTURE	TRIM	MOUNTING	SOURCE / WATTS	CCT	BEAM	DRIVER / CONTROL	TRIM FINISH	LENS ACCESSORY	ACCESSORIES
CR4D-SA										
Core 4" Square Adjustable Downlight	DR Deep Regress	F Flanged Trim	U Universal - Non IC Housing	Citizen	27 2700K	15 Spot	C1 0-10 1.0% UNV (120-277V) linear	P14 White Matte Paint	Aperture Lens	EM Emergency Pack
	OR Open Regress	Z Flangeless Trim	AU Universal IC/Airtight*	C14 15W 995Lm** 90+CRI, 60+R9	30 3000K	24 Narrow Flood	C2 ELV/Triac 1.0% (120V) linear	P16 Black Paint	91A Solite	EMP Emergency Pack with phase cut control system utilizing C1 driver
	FL Flat (Pin Hole)	FS Flanged Shower Trim*	P Plaster	C20 21W 1326Lm** 90+CRI, 60+R9	35 3500K	40 Flood	EldoLED		93A Frosted	CP Chicago Plenum
		ZS Flangeless Shower Trim*	AP Plaster IC/Airtight*	C28 30W*† 1857Lm** 90+CRI, 60+R9	40 4000K	55 Wide Flood	E1 0-10 0.1% UNV (120-277V) log	D Wood*	XXA Other Aperture Lens Treatments*	LR Lutron Wireless RF PowPak
		* Aperture Lens Required	PM Panel Mount	Ambient Dim	AD 3000-1900K		E2 DALI 0.1% UNV (120-277V) log	PXX Specialty Paint Color**	Reflector (lamp) Media	
			APM Panel Mount Airtight/IC*	A14 15W 656Lm 95+CRI, 90+R9 3000 to 1900K			E3 0-10 0.1% UNV (120-277V) linear	P01-P24	91L Solite	93L Frosted
			California Title Compliant *Cannot be used with C28 Source	Tunable White 90+CRI, 70+R9 1800-4000K or 2700-6500K*			Lutron	C Custom/RAL Color**	97L Black Hexcel Louver	XXL Other reflector (lamp) media*
				RGBW 90+CRI, 60+R9 A			L2 Forward Phase 1.0% (120V) Hi-Lume 2 Wire LTEA	*Wood "D" Selection to be used with Z trim and PM mounting **See Specialty Finish Guide	1 piece of Media per opening (aperture or reflector) can be selected *See Lens Accessory Guide	
				California Title 24 Compliant to JAB * Requires Active Cooling. Not compatible with LP driver. Must be used with Non IC housing †Does not Meet CA Title 24 with Flat aperture ** Based on Deep Regress 24" beam * Available upon request. Contact your regional sales manager			LD Digital Ecosystem 1.0% UNV (120-277V) ECO Hi-Lume SoftOn/Fade-to-Black LDE1			
							LP Digital Ecosystem* 0.1% UNV (120-277V) ECO Premier Hi-Lume SoftOn/Fade-to-Black, PEO0, 20W max			
							CA Wireless BLE 0.1% UNV (120-277V) log Casambi			
							* Not compatible with C28 Source			

**Core 4" Square Downlight (102mm)**  
Formerly known as 1009, 1012 and 1017  
Adjustable Recessed Accent Light



## Ceiling Cutouts and Dimensions

Deep Recess Shown - other apertures similar



**Core 4" Square Downlight (102mm)**  
Formerly known as 1009, 1012 and 1017  
Adjustable Recessed Accent Light



**Photometric Table**

All data is based from goniometer measurements of production representative product. All lumen values can vary +/- 10% from LED manufacturer rated flux range. Measurements at 3000 CCT

SQUARE Beamspreads		15°				24°				40°				55°				
Source	System watts (W)	Delivered Lumens (lm)	Lumens/Watt	Peak CD	10% Field	Delivered Lumens (lm)	Lumens/Watt	Peak CD	10% Field	Delivered Lumens (lm)	Lumens/Watt	Peak CD	10% Field	Delivered Lumens (lm)	Lum/Watt	Peak CD	10% Field	
Deep Regress	Citizen C14	15	1068	71	7642	42°	995	66	4174	46°	1037	69	3429	51°	996	66	1402	71°
	Citizen C20	21	1424	68	10190	40°	1326	63	5562	39°	1382	66	4570	55°	1328	63	1870	73°
	Citizen C28*	30	1848	62	13223	44°	1857	62	7791	47°	1916	64	6336	54°	1816	61	2556	69°
	Ambient Dim A14	15	694	46	6220	43°	656	44	3189	44°	656	44	1827	53°	643	43	1028	70°
Open Regress	Citizen C14	15	1173	78	7776	42°	1091	73	4167	52°	1112	74	2422	66°	1058	71	1357	74°
	Citizen C20	21	1564	74	10369	41°	1455	69	5559	57°	1482	71	3199	63°	1411	67	1810	76°
	Citizen C28*	30	2158	72	14306	44°	2008	67	7669	55°	2045	68	4455	67°	1947	65	2496	72°
	Ambient Dim A14	15	810	54	5857	39°	779	52	3270	56°	779	52	1829	60°	764	51	1058	72°
Flat (Pin Hole)	Citizen C14	15	829	55	7740	37°	737	49	1436	46°	719	48	2379	51°	661	44	1357	64°
	Citizen C20	21	1105	53	10321	35°	982	47	5513	42°	958	46	3169	49°	881	42	1808	62°
	Citizen C28*	30	1525	51	14258	32°	1355	45	7604	44°	1322	44	4375	53°	1216	41	2496	59°
	Ambient Dim A14	15	539	36	4828	36°	479	32	2326	42°	467	31	1301	50°	429	29	689	63°
CCT Multiplier																		
CCT	Citizen																	
2700	0.95																	
3000	1.00																	
3500	1.02																	
4000	1.03																	
All measurements based on 3000 CCT.																		

All Measurements delivered or derived delivered lumens based on 3000K. ISO CD plots based on Open Regress Ambient dim at full output. C28 source requires active cooling and must be used with NIC housing. Flat (Pin Hole) at wider beam angles experience significant beam clipping - refer to PDF report for exact FWHM beam angle.

**Core 4" Square Downlight (102mm)**  
Formerly known as 1009, 1012 and 1017  
Adjustable Recessed Accent Light

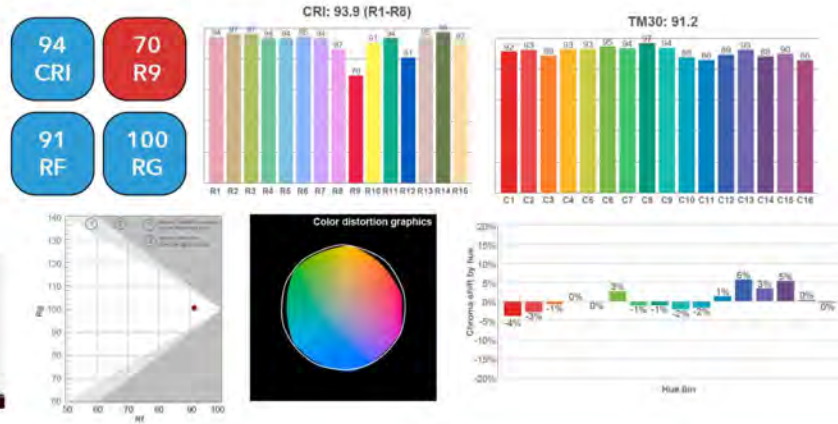


**Color Data**

All data is based from goniometer measurements of production representative product. All values can vary +/- 10% from LED manufacturer rated data range. Measurements at 3000 CCT

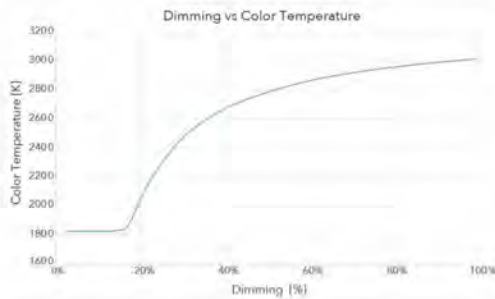
**Citizen Source C14, C20 and C28**

- <2 MacAdam Ellipse (<2 SDCM)
- 90+ CRI and RF
- 60+R9, Hue Bin 1

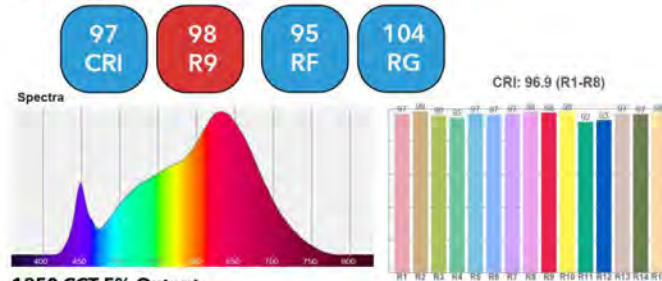


**Ambient Dim 3000k to 1900k**

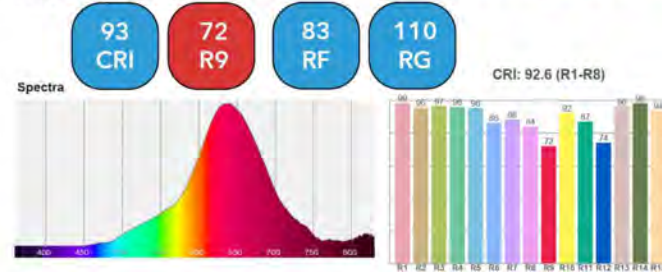
- <3 MacAdam Ellipse (<3 SDCM)
- 95+ CRI and RF
- 90+R9, Hue Bin 1
- Follows Black Body Locus through dimming range



**3000 CCT Full Output**



**1850 CCT 5% Output**



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PROJECT:  TYPE:   
SPECIFIER:  DATE:

**Key Points (CR4D-SA)**

**Trim**

- Flanged or Flangeless
- One-piece die cast aluminum or machined wood trim
- 14 color options + custom RAL or wood available
- Flangeless includes plaster flange with lip

**Source / Optics**

- 4 beamspreads available- 15°, 24°, 40°, and 55°
- Adjustable to 45° with 358° of rotation
- Up to 2100 delivered lumens
- <2 MacAdam Steps (<2SDCM) for fixed white
- 90 CRI , 60+ R9 Standard- 95 CRI 90+R9 Optional with Ambient Dim
- 2700, 3000, 3500, 4000K, Ambient Dim standard. Tunable White and RGBW upon request
- Lifetime: L87B3>55,000 hours at 40°C Ambient

**Housing**

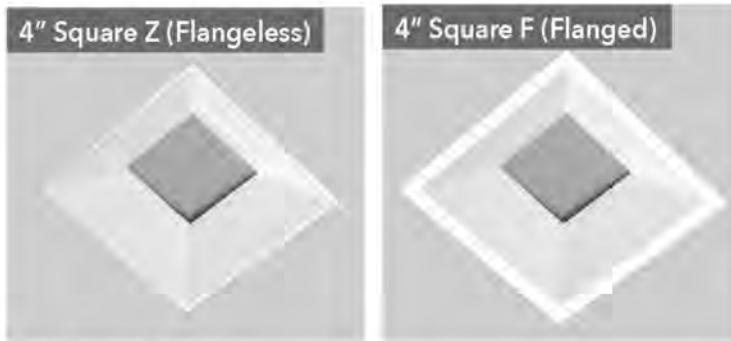
- Heavy gauge aluminum for new construction or remodel
- IC Rated / Airtight Housing approved for use in direct contact with insulation – Chicago Plenum Available
- Approved for 8 (4-in / 4-out) #12 AWG conductors rated for 90°C through wiring

- us Listed – Damp or wet with shower trim

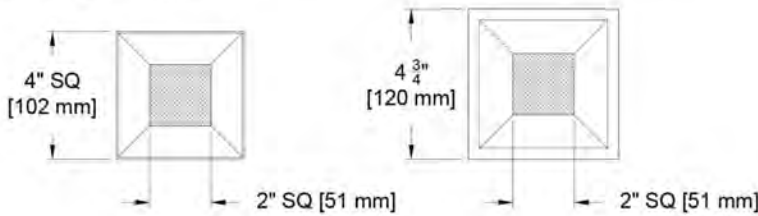
- Compliant to with Airtight Housing

**Driver**

- Universal 120-277v
- Prewired and integral to housing
- Flicker free to IEEE 1798-2015
- Phase, 0-10, DALI, Ecosystem or Wireless Control



Deep Regress Shown



**Aperture Options**



**Deep Regress (DR)**  
2" Optical Aperture  
Formerly known as 1009

**FL- Flat (Pin Hole)**  
2" Optical Aperture  
Formerly known as 1012

**Open Regress (OR)**  
3" Optical Aperture  
Formerly known as 1017

**Wood Finish**  
All apertures options

SQUARE Beamspreads	15°					24°					40°					55°				
	Source	System watts (W)	Delivered Lumens (lm)	Lumens/Watt	Peak CD	10% Field	Delivered Lumens (lm)	Lumens/Watt	Peak CD	10% Field	Delivered Lumens (lm)	Lumens/Watt	Peak CD	10% Field	Delivered Lumens (lm)	Lumens/Watt	Peak CD	10% Field		
Citizen C14	15	1068	71	7642	42°	995	66	4174	46°	1037	69	3429	51°	996	66	1402	71°			
Citizen C20	21	1424	68	10190	40°	1326	63	5562	39°	1382	66	4570	55°	1328	63	1870	73°			
Citizen C28*	30	1848	62	13223	44°	1857	62	7791	47°	1916	64	6336	54°	1816	61	2556	69°			
Ambient Dim A14	15	694	46	6220	43°	656	44	3189	44°	656	44	1827	53°	643	43	1028	70°			

All Measurements delivered or derived delivered lumens based on 3000K with Deep Regress. Ambient dim at full output. C28 source requires active cooling and must be used with NIC housing.

**Core 4" Square Downlight (102mm)**  
Formerly known as 1009, 1012 and 1017  
Adjustable Recessed Accent Light



**Ordering Codes**

PROJECT: \_\_\_\_\_ SPECIFIER: \_\_\_\_\_  
DATE: \_\_\_\_\_ TYPE: \_\_\_\_\_ QUANTITY: \_\_\_\_\_

Ordering Code Example: **CR4D-SA-DR-Z-AU-C20-35-24-E2-P16-91A-91L-97L-CP-LR**

FIXTURE	APERTURE	TRIM	MOUNTING	SOURCE / WATTS	CCT	BEAM	DRIVER / CONTROL	TRIM FINISH	LENS ACCESSORY	ACCESSORIES
<b>CR4D-SA</b>										
Core 4" Square Adjustable Downlight	DR Deep Regress	F Flanged Trim	U Universal - Non IC Housing	Citizen	27 2700K	15 Spot	C1 0-10 1.0% UNV (120-277V) linear	P14 White Matte Paint	Aperture Lens	EM Emergency Pack
	OR Open Regress	Z Flangeless Trim	AU Universal IC/Airtight*	C14 15W 995Lm** 90+CRI, 60+R9	30 3000K	24 Narrow Flood	C2 ELV/Triac 1.0% (120V) linear	P16 Black Paint	91A Solite	EMP Emergency Pack with phase cut control system utilizing C1 driver
	FL Flat (Pin Hole)	FS Flanged Shower Trim*	P Plaster	C20 21W 1326Lm** 90+CRI, 60+R9	35 3500K	40 Flood	EldoLED	D Wood*	93A Frosted	CP Chicago Plenum
		ZS Flangeless Shower Trim*	AP Plaster IC/Airtight*	C28 30W*† 1857Lm** 90+CRI, 60+R9	40 4000K	55 Wide Flood	E1 0-10 0.1% UNV (120-277V) log	PXX Specialty Paint Color**	XXA Other Aperture Lens Treatments*	LR Lutron Wireless RF PowPak
		* Aperture Lens Required	PM Panel Mount	Ambient Dim	AD 3000-1900K		E2 DALI 0.1% UNV (120-277V) log	P01-P24	Reflector (lamp) Media	
			APM Panel Mount Airtight/IC*	A14 15W 656Lm 95+CRI, 90+R9 3000 to 1900K			E3 0-10 0.1% UNV (120-277V) linear	C Custom/RAL Color**	91L Solite	93L Frosted
			California Title Compliant *Cannot be used with C28 Source	Tunable White 90+CRI, 70+R9 1800-4000K or 2700-6500K*			Lutron	*Wood "D" Selection to be used with Z trim and PM mounting **See Specialty Finish Guide	97L Black Hexcel Louver	XXL Other reflector (lamp) media*
				RGBW 90+CRI, 60+R9 A			L2 Forward Phase 1.0% (120V) Hi-Lume 2 Wire LTEA	1 piece of Media per opening (aperture or reflector) can be selected *See Lens Accessory Guide		
				California Title 24 Compliant to JAB * Requires Active Cooling. Not compatible with LP driver. Must be used with Non IC housing †Does not Meet CA Title 24 with Flat aperture ** Based on Deep Regress 24" beam * Available upon request. Contact your regional sales manager			LD Digital Ecosystem 1.0% UNV (120-277V) ECO Hi-Lume SoftOn/Fade-to-Black LDE1			
							LP Digital Ecosystem* 0.1% UNV (120-277V) ECO Premier Hi-Lume SoftOn/Fade-to-Black, PEO0, 20W max			
							CA Wireless BLE 0.1% UNV (120-277V) log Casambi			
							* Not compatible with C28 Source			

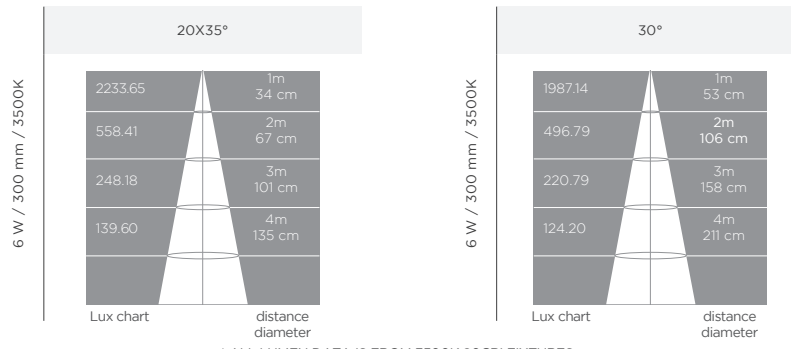




ATOM LINEAR FIXTURE

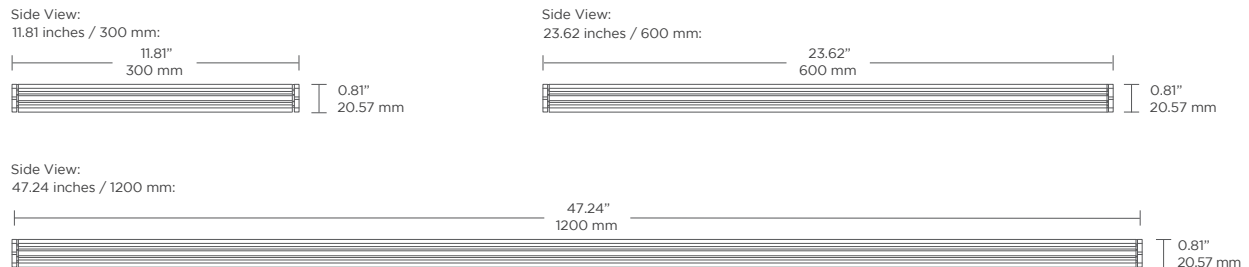
SPECIFICATIONS / DIMENSIONS

Operating Voltage	24V DC					
Amperage	257 mA/ft					
Length	11.81" / 300 mm	23.62" / 600 mm		47.24" / 1200 mm		
Power Consumption	6 W	12 W		24 W		
LEDs per Fixture	6 LEDs	12 LEDs		24 LEDs		
Max. Run Length	Up to 12 fixtures	Up to 6 fixtures		Up to 4 fixtures		
Weight	6.9 oz (0.20 kg)	13.8 oz (0.39 kg)		27.6 oz (0.78 kg)		
Color Temperature	2700K, 3000K, 3500K, 4000K, 5000K, 6000K					
Beam Angle	20x35°	30°	20x35°	30°	20x35°	30°
Lumen Output / Foot	663.5 lm/ft	657.9 lm/ft	663.5 lm/ft	657.9 lm/ft	663.5 lm/ft	657.9 lm/ft
Total Lumens	653.1 lm	647.6 lm	1306.2 lm	1295.2 lm	2612.4 lm	2590.4 lm
CRI	80+					
LED Binning SDCM	3-step					
Dimming Options	0-10V, Triac, DALI					
Ambient Temperature	-40° F to 122° F (-40° C to 50° C)					
Housing / Lens	Housing: Extruded Aluminum / Lens: UV Protected PMMA / Cover: Acrylic					
Connector	2 pin power connector					
Cable Length	11.81" (300 mm), 19.68" (500 mm)					
Protection Rating	IP40 (Indoor only)					
UGR Rating	<7.8	<7.2	<7.8	<7.2	<7.8	<7.2
Mounting Options	Tilttable stand, Symmetric Clip, Quick Release Clip					
Fixture Color Finish	Black (Standard), Custom colors available (Minimum quantities apply)					
Certifications	ETL Listed: UL 2108 Issued: 2004/02/27 Ed: 1 Rev: 2014/02/24 Low Voltage Lighting Systems CSA C22.2#9.0 Issued: 1996/06/01 Ed: 1 (R2011) General Requirements for Luminaires; with Gen. Inst. 1: 1997, Gen Inst. 2: 1998. ROHS compliant					



\* ALL LUMEN DATA IS FROM 3500K 80CRI FIXTURES.

DIMENSIONS



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**ATOM LINEAR FIXTURE**

**DIMENSIONS / MOUNTING HARDWARE / ACCESSORIES**

**MOUNTING HARDWARE**

**Tilttable Stand**  
For adjustable mounting angles

**Symmetric Clip**  
For narrow installations where mounting clips need to be installed first

**Quick Release Clip**  
For quick, one step release of fixture

**ACCESSORIES**

**Asymmetric Louver**  
For glare reduction  
Note: This will affect beam angle

**Top View**

Use 2 x 23.62"/600 mm Louvers for each 47.24"/1200 mm fixture  
Not recommended for exterior applications

**Side View**

**Glare Shield**  
To reduce glare or direct light

Glare shield is part of the extrusion and cannot be removed. It extends the entire length of the fixture.

**2 Pin Female Cable To Bare Wire**  
To bare wire for incoming power  
Default cable lengths: 11.81 inches / 30 cm and 19.7 inches / 50 cm  
(Consult factory for custom length)

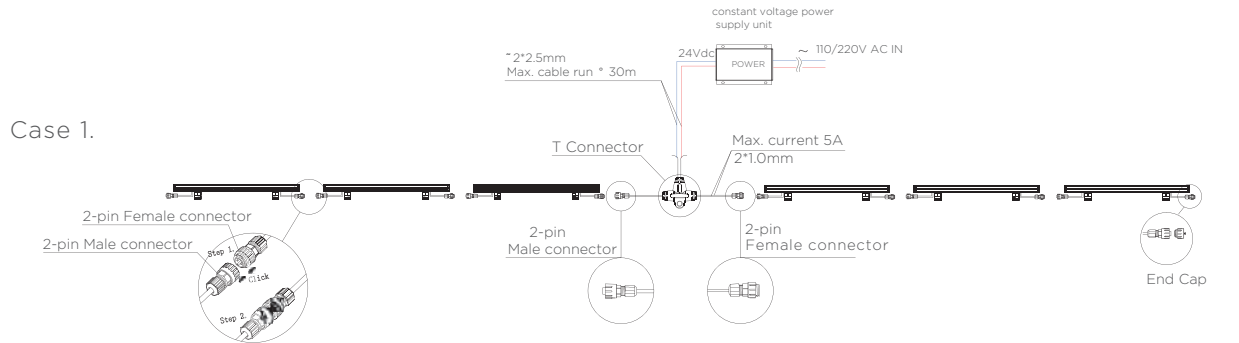
**2 Pin Male To Female Jumper Cable**  
To connect 2 pin male connector to 2 pin female connector  
Default cable length: 39.4 inches / 1 m  
(Consult factory for custom length)



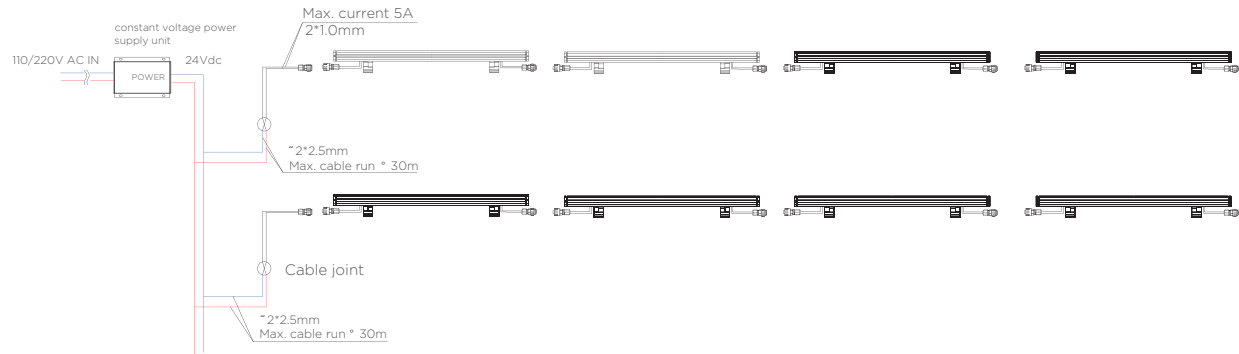
ATOM LINEAR FIXTURE

CONNECTION

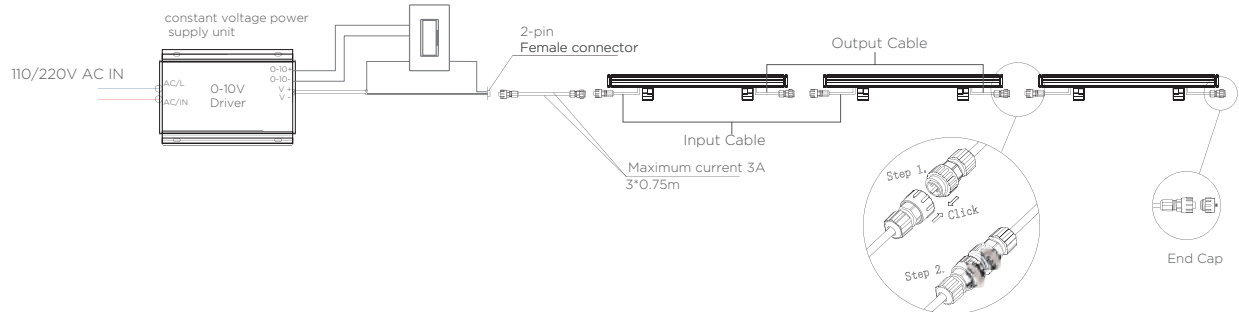
NON DIMMING:



Case 2.



0-10V DIMMING:

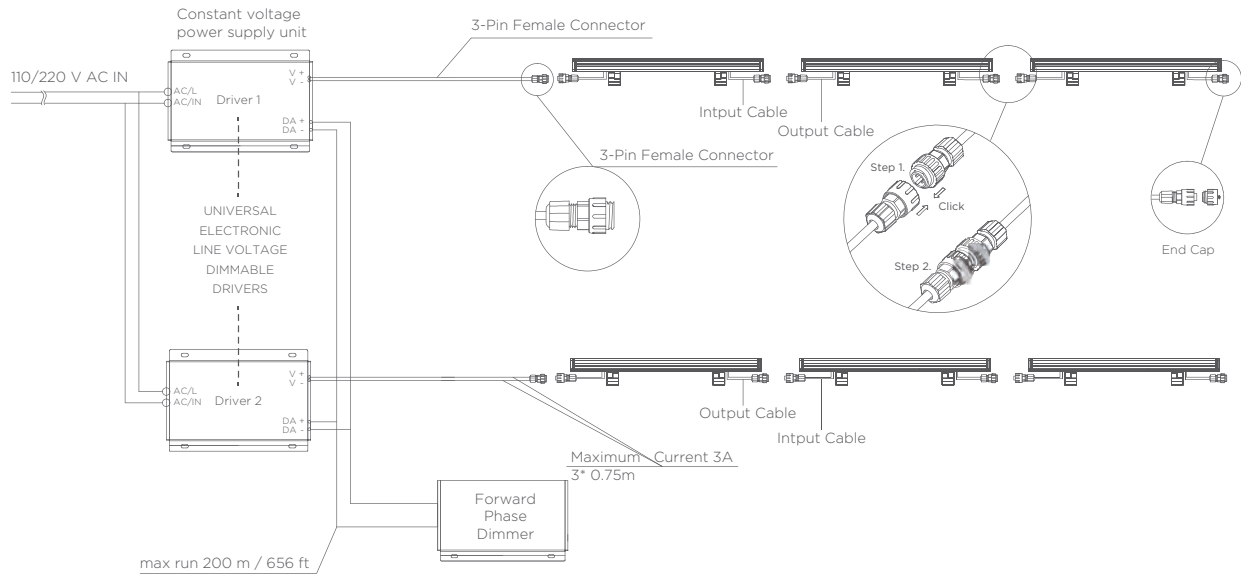




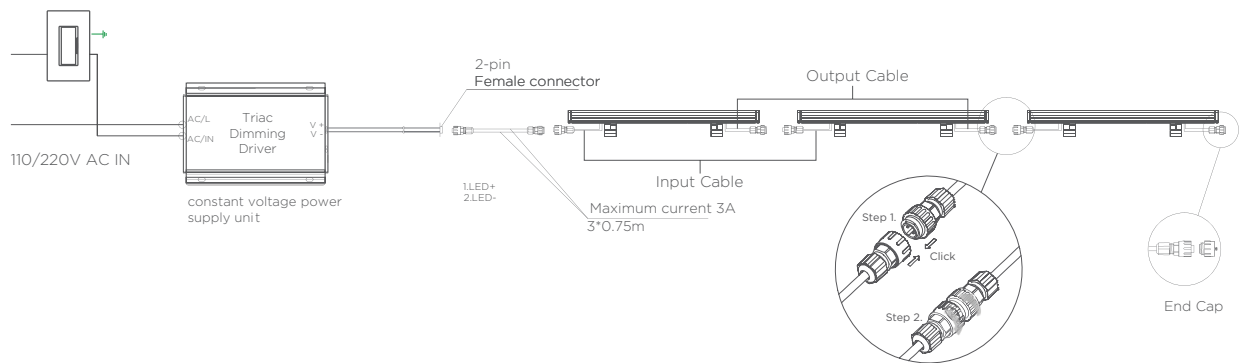
ATOM LINEAR FIXTURE

CONNECTION

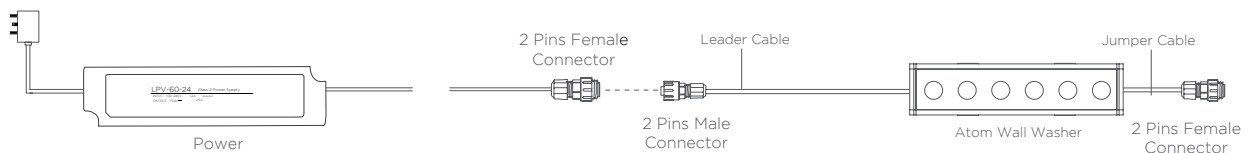
DALI DIMMING:



TRIAC DIMMING:



CONNECTORS:





Project Name \_\_\_\_\_  
Fixture Type \_\_\_\_\_

## ZXL08-SQ-NF

LED Area Accent · ZX08 Series



### Product Features

- Area accent lighting for architectural and landscape application.
- ETL outdoor wet location listed. IP67 standard.
- Machined from solid billet 6061-T6 corrosion resistant aluminum.
- 180° vertical adjustment.
- Modular components - field changeable LED module & beam spread reflectors.

### Specification

**Materials:** Machined from billet 6061-T6 corrosion resistant aluminum with 304 stainless steel hardware. Available in 304/316 stainless steel or 360 brass upon request.

**Glare Shield:** 3 optional glare shields(GSL-long, GSA-angled GSS-short) for additional glare control. See page 3 for details.

**Voltage:** 12V AC/DC. Requires remote step down transformer.

**Wattage:** 2W HK LED.

**Light Source:** CRI 83. Available in CRI95 upon request. The chromaticity range is within a 3-step McAdam Ellipse. Standard CCT options are 2700K, 3000K, 4000K.

**Lamp Base/Socket:** Innovative cone-shaped lamp base and receptacle socket maximize the surface contact area to dissipate heat more effectively. See "Resources" for details.

**Dimmability:** MLV or ELV.

**Finish:** Polyester powder coat on all aluminum materials with RoHS compliant procedures. Anodized finish is available. Stainless steel and brass models are provided with brushed surface.

**Optical Accessories:** Accepts up to 3 accessories (hexcel louver, optical lenses, dichroic color filters, etc.). Secured in place with metal snap ring.

**Mounting Method:** Mounts using 1/2"-14 NPS male fitting compatible with all HK Lighting Group mounting devices.

### Ordering Guide

EXAMPLE: ZXL08-SQ-NF - GSL - 12V - 2 - 27-21 - BK - LVR - MH02

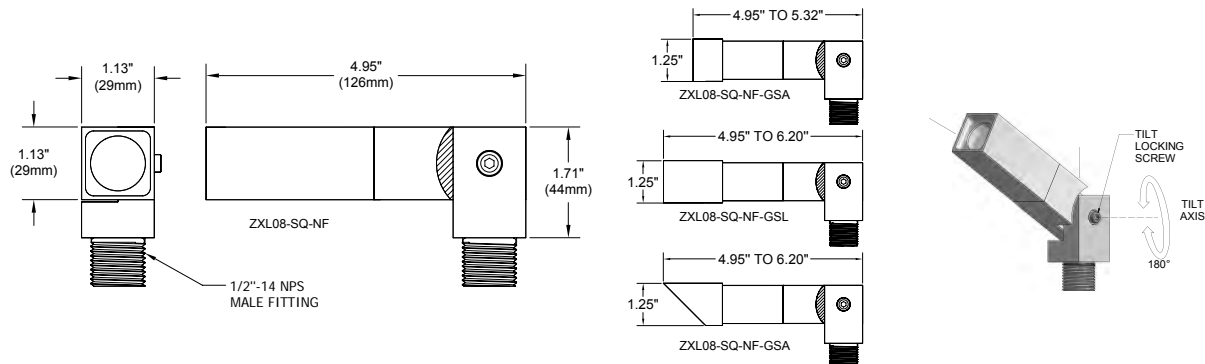
SERIES	MATERIAL	OPTIONAL GLARE SHIELD	VOLTAGE	WATTAGE	CCT	OPTICS	FINISH	OPTIONAL SELECT UP TO 3 OPTIC ACCESSORIES	OPTIONAL MOUNTING ACCESSORIES
ZXL08-SQ-NF	BLANK Aluminum(Standard) NBR Natural Brass NSS Natural Stainless Steel CU Natural Copper	GSL GSA GSS	12V	2 2W	27 2700K 30 3000K 40 4000K	21 21° 27 27° 39 39°	VERIFY Standard BK Black Powder Coat BZ Bronze Powder Coat WT White Powder Coat Premium ABK Anodized Black ACL Anodized Clear CC Custom Powder Coat	LVR Hexcel Louver OSL Overall Spread Lens LSL Linear Spread Lens SOL Solite Soft Focus DF Dichroic Filter	VERIFY See page 3 for quick reference, or "Accessories" link for detailed specification.

Remote Step Down Transformer (Optional).  
See "Accessories" link for detailed specification.

Model	Wattage(VA)	Primary Voltage(VAC)	Secondary Volt(VAC)	Dimming Method	Characters
TXM	20 40 50 60 100 150 300	120 or 277	12	MLV	Outdoor, Wall Mount, Compact
TXS	150 300 600	120	Multi-tap of 12, 13, 14, 15 VAC	MLV	Outdoor, Wall mount, Stainless Steel Case
IGT	50 100 300 600	120	12	MLV	in grade
TXE	60	120, 230, or 277	12	ELV	Needs Enclosure, 6ft working distance

### Product Drawings

NOTE: Specification and dimensions subject to change without notice.

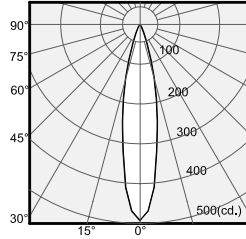


Photometry & Energy Data

MODEL ZXL08-SQ-NF-2W-N

Input Power	2.0W
Color Temperature (CCT)	3000K
Color Rendering Index (Ra)	80
Beam Angle	21.4°
Max. Candlepower	497cd
Delivered Lumens	92lm
Efficacy	46lm/W

Polar Graph - Intensity



Cone of Light - Illuminance

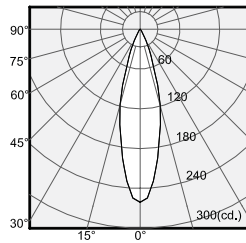
Center Beam (fc)	Beam Diameter	Distance
124	0.8'	2.0'
31	1.5'	4.0'
14	2.3'	6.0'
8	3.0'	8.0'
5	3.8'	10.0'

1/2 Beam Angle: 21.4°

MODEL ZXL08-SQ-NF-2W-M

Input Power	2.0W
Color Temperature (CCT)	3000K
Color Rendering Index (Ra)	80
Beam Angle	27.3°
Max. Candlepower	266cd
Delivered Lumen	72lm
Efficacy	36lm/W

Polar Graph - Intensity



Cone of Light - Illuminance

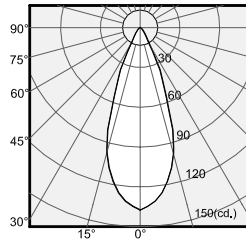
Center Beam (fc)	Beam Diameter	Distance
67	1.0'	2.0'
17	1.9'	4.0'
7	2.9'	6.0'
4	3.9'	8.0'
3	4.9'	10.0'

1/2 Beam Angle: 27.3°

MODEL ZXL08-SQ-NF-2W-W

Input Power	2.0W
Color Temperature (CCT)	3000K
Color Rendering Index (Ra)	80
Beam Angle	38.9°
Max. Candlepower	138cd
Delivered Lumen	63lm
Efficacy	32lm/W

Polar Graph - Intensity



Cone of Light - Illuminance

Center Beam (fc)	Beam Diameter	Distance
34	1.4'	2.0'
9	2.8'	4.0'
4	4.2'	6.0'
2	5.7'	8.0'
1	7.1'	10.0'

1/2 Beam Angle: 38.9°

Wattage Multiplier Table

Wattage	Multiplier
2Watt	1.00

CCT Multiplier Table

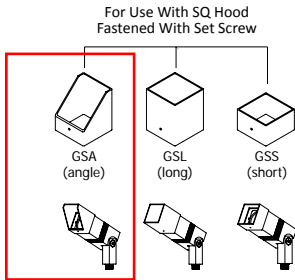
Color Temp.	Multiplier
2700k	0.96
3000k	1.00
4000k	1.03



ZXL08-SQ-NF  
LED Area Accent . ZX08 Series

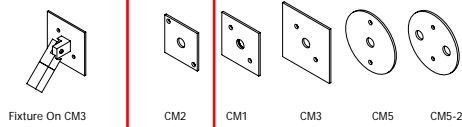
Product Options & Accessories

Optional Glare Shield

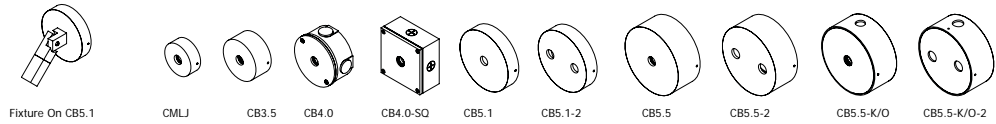


Mounting Accessories

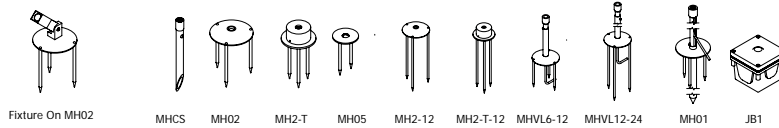
Canopy Plate:



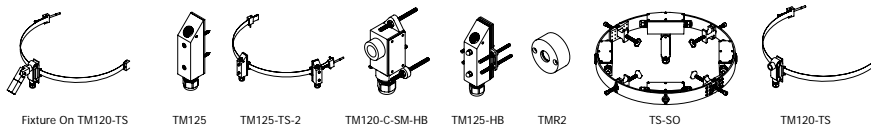
Surface Mount Box:



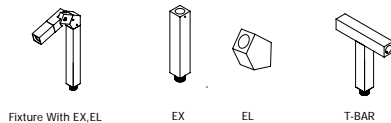
Ground Mount:



Tree Mount:

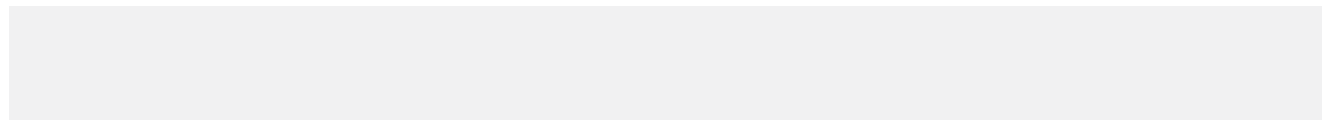


Extension:



Sign Light Arm: Please See The Sign Light Section

Notes



LED recessed wall luminaires - asymmetrical

BEGA

**Application**

LED recessed wall luminaire with asymmetrical light distribution for the illumination of ground surfaces, building entrances, stairs and footpaths.

**Materials**

Luminaire housing constructed of die-cast aluminum marine grade, copper free ( $\leq 0.3\%$  copper content) A360.0 aluminum alloy  
Clear safety glass  
Silicone applied robotically to casting, plasma treated for increased adhesion  
High temperature silicone gasket  
Mechanically captive stainless steel fasteners  
Stainless steel screw clamps  
Composite installation housing

**NRTL** listed to North American Standards, suitable for wet locations  
Protection class IP65  
Weight: 1.5 lbs

**Electrical**

Operating voltage 120-277VAC  
Minimum start temperature  $-40^{\circ}\text{C}$   
LED module wattage 4.1 W  
System wattage 6.0 W  
Controllability 0-10V dimmable  
Color rendering index  $R_a > 80$   
Luminaire lumens 231 lumens (3000K)  
LED service life (L70) 60,000 hours

**LED color temperature**

- 4000K - Product number + **K4**
- 3500K - Product number + **K35**
- 3000K - Product number + **K3**
- 2700K - Product number + **K27**
- Amber - Product number + **AMB**

**Wildlife friendly amber LED - Optional**

Luminaire is optionally available with a narrow bandwidth, amber LED source (585-600nm) approved by the FWC. This light output is suggested for use within close proximity to sea turtle nesting and hatching habitats. Electrical and control information may vary from standard luminaire.

LED module wattage 3.6 W (Amber)  
System wattage 4.6 W (Amber)  
Luminaire lumens 56 lumens (Amber)

**BEGA** can supply you with suitable LED replacement modules for up to 20 years after the purchase of LED luminaires - see website for details

**Finish**

All BEGA standard finishes are matte, textured polyester powder coat with minimum 3 mil thickness.

- Available colors  Black (BLK)  White (WHT)  RAL:  
 Bronze (BRZ)  Silver (SLV)  CUS:

Verify w/Architect



**LED recessed wall luminaires - asymmetrical**

	LED	A	B	C
<b>33053</b>	4.1 W	6 <sup>5</sup> / <sub>8</sub>	2 <sup>3</sup> / <sub>4</sub>	5

Type:

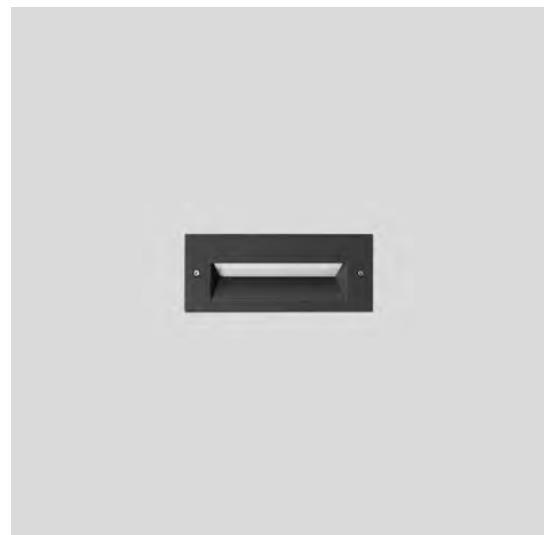
BEGA Product:

Project:

Modified:



Fully enclosed luminaire with installation housing ensures seamless integration and weathertight operation.





# LITUS 5.7



datasheet

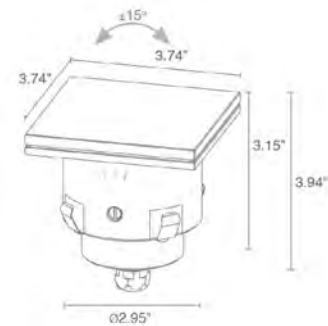
The Litus 5 series features a sophisticated flush/trimless moun design. With a wide selection of optic options these fixtures are highly versatile or both general and more dynamic lighting. The square version can be used for downlight applications as well. **The Bright 3, Smoothy 5 and Litus 5 series all use the same LED.**

## TECHNICAL DATA

<b>Wattage / Input</b>	3.5W, 5W, 7W (24VDC); 7W RGB (700mA)
<b>Power Supply</b>	Remote, not included. See page 2
<b>Construction</b>	Body: Aluminum Alloy EN AW 6082 Lens: Tempered, Serigraphed-gray, and Transparent Extra-clear Glass
<b>CCT</b>	2700K, 3000K, 4000K, RGB
<b>CRI</b>	CRI >80, CRI >90
<b>Delivered Lumens</b>	See chart - below right for static white RGB: 235 lm: (R) 92 lm, (G) 105 lm, (B) 38 lm
<b>Efficacy</b>	70.4 lm/W (34°, 5W), 56.8 lm/W (34°, 5W) 66.1 lm/W (34°, 7W), 53.4 lm/W (34°, 7W) 33.6 lm/W (RGB)
<b>Optics</b>	9 Standard (white), 4 Standard (RGB) <i>The diffused light is made by an opal acrylic under the glass - no optic inside.</i>
<b>Finishes</b>	Glass
<b>Fixture Dimensions</b>	3.79" w x 3.79" h
<b>Fixture Weight</b>	1.54 lbs
<b>LED Source</b>	1 High Intensity Power LED; RGB: 3 Power LEDs
<b>Lumen Maintenance</b>	L90,B10>50,000hrs (Ta 25°C)
<b>Color Consistency</b>	3-Step MacAdam (white LED color)
<b>Operating Temp.</b>	-4°F to +113°F
<b>IP Rating</b>	IP67
<b>IK Rating</b>	IK08
<b>Driveover</b>	2205 lbs



Fixture Dimensions



<b>Delivered Lumens (3000K)</b>	<b>5W</b> 34°	<b>7W</b> 34°
<b>CRI 80</b>	352 lm	463 lm
<b>CRI 90</b>	284 lm	374 lm

## ORDERING INFORMATION

Example: LT57010FLNV or LT57010FLNV-2. Accessories / Power Supplies ordered separately.

					NV	
<b>Model #</b>	<b>Wattage</b>	<b>CRI</b>	<b>CCT</b>	<b>Optics - tiltable ±15°</b>	<b>Finish</b>	<b>Cable Length</b>
LT570	0 - 3.5W only 5° optics 1 - 5W 2 - 7W	0 - 80 CRI 1 - 90 CRI	F - 2700K 5 - 3000K 9 - 4000K	U - 5° only 3.5W M - 34° V - 8° L - 45° T - 11° Q - 61° sharp S - 17° W - 13°x52° P - 21° sharp	NV - Glass	0 - 4.92' standard 1 - 16.40' 2 - 32.81' 3 - 49.21' 4 - 65.62'
<b>Model #</b>	<b>Wattage</b>	<b>CRI</b>	<b>CCT</b>	<b>Optics - tiltable ±15°</b>	<b>Finish</b>	
LT5732	2 - 7W		6 - RGB	S - 20° L - 45° M - 34° W - 21°x42°	NV - Glass	Verify w/ Electrician

Job Name/Date:

Fixture Type Designation:

# LITUS 5.7



datasheet

## SUGGESTED POWER SUPPLIES

24VDC

Part Number	Description	Input/Output	# of Fixtures		
			3.5W	5W	7W
<a href="#">PPLT00056</a>	Non-Dim	120-277VAC to 24VDC, 26W, Class 2, IP66	1-5	1-4	1-2
<a href="#">PPLT00157</a>	Non-Dim	120VAC to 24VDC, 60W, Class 2	1-13	1-9	1-6
<a href="#">PPLT00599</a>	ELV / TRIAC & 0-10V Dimming (100 to 0%)	120-277VAC to 24VDC, 96W, Class 2	1-21	1-15	1-10
<a href="#">PPLT00158</a>	Non-Dim	120VAC to 24VDC, 100W, Class 2	1-22	1-16	1-11
<a href="#">PPLT00543</a>	0-10V Dimming to 15% (-40°C / -40°F cold weather start)	120-277VAC to 24VDC, 100W, Class 2	1-22	1-16	1-11

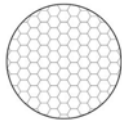
700mA - RGB

Part Number	Description	Input/Output	# of Fixtures
			7W
<a href="#">PPLT00244-P</a>	DMX / RDM (Must advise DMX addresses if not using RDM)	120-277VAC to 700mA, 50W, Class 2	1-5
<a href="#">PPLT00129-P</a>	DMX / RDM (Field Addressable)	120-277VAC to 700mA, 100W, Class 2	1-9

For other power supply options consult factory.

### ACCESSORIES

#### Anti-Glare



#### WH0205

Honeycomb Louvre  
 Not available for sharp optics (P, Q) and on 5° (U) and 8° (V) optics on request.

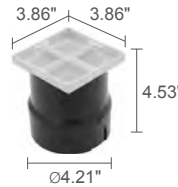


#### WE0605S

Anti-glare lens, half transparent and half serigraphed black  
 Can be fitted on all optics except for RGB version

### ACCESSORIES

#### Installation



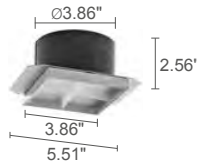
#### WC4051

Outer Casing  
 For ingrade use



#### WL0500

Suction cup



#### WC4551

Outer Casing  
 For plasterboard/ceiling use

Job Name/Date:

Fixture Type Designation:

**LITUS 5.7**

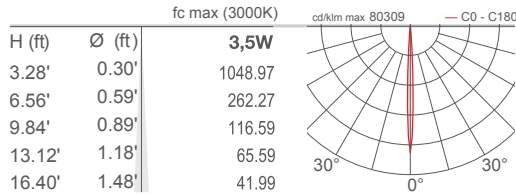


datasheet

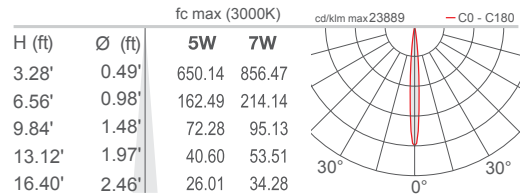
**PHOTOMETRIC DATA**

Note all Photometry is CRI 80, 3000K

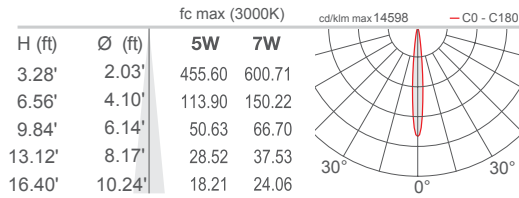
**U - 5° CRI 80**



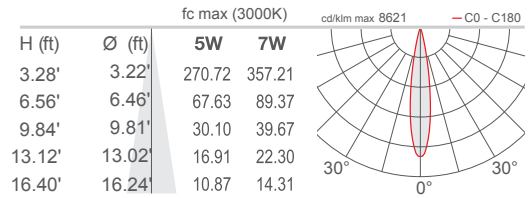
**V - 8° CRI 80**



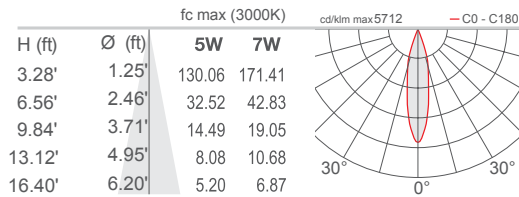
**T - 11° CRI 80**



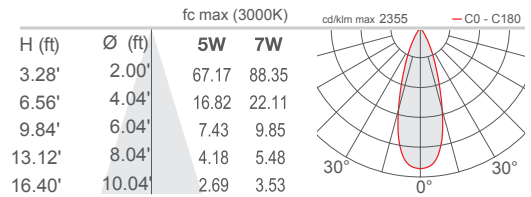
**S - 17° CRI 80**



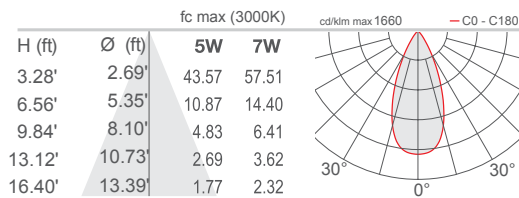
**P - 21° sharp CRI 80**



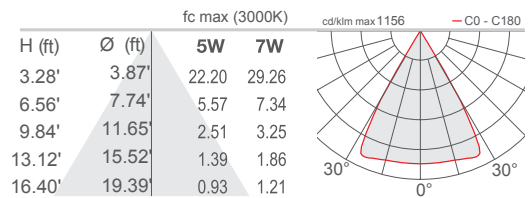
**M - 34° CRI 80**



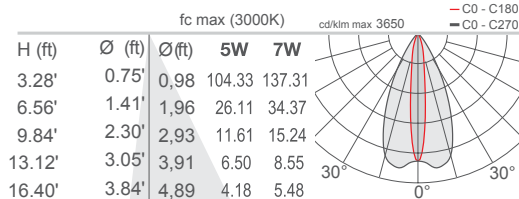
**L - 45° CRI 80**



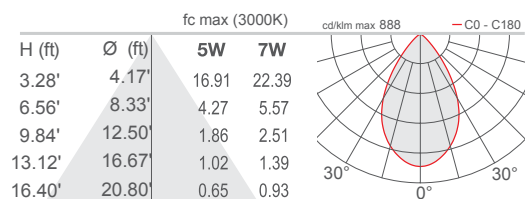
**Q - 61° sharp CRI 80**



**W - 13°x52° CRI 80**



**D - Diffusa CRI 80 (Litus 2.4 / 2.5)**



Job Name/Date:

Fixture Type Designation:



TYPE:
CAT. #:HSL11-LM-



## HSL11-LM TAOS

The compact **HSL11-LM** is engineered around Auroralight's interchangeable LED module to deliver brilliant LED performance in a small package. Storm Drain™ lensing prevents water and dirt from collecting on the lens for maximum illumination. Our exclusive AMS™ system offers an extensive choice of mounting options making this elegant accent-light ideal for any lighting task; landscape or architecture, inside or out, the HSL11 is up to the task; Proudly made in San Diego, CA USA.

See *LSL10* and *HSL16* for additional size and wattage options.

**Features include:**

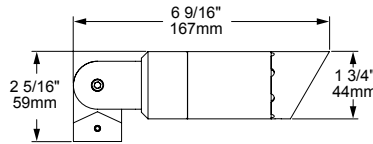
- Interchangeable LED Module in 2, 4 or 6 Watts and up to 370 lumens
- Cree XLAMP® High Density (XHP) LED
- Interchangeable UV & Shock Resistant Silicone Optic
- 2700K (80 & 90 CRI) or 3000K (80 CRI)
- Thermally Integrated® w/ Copper Core Technology®
- Storm Drain™ Lens Drainage System
- Aurora Mount System (AMS™) Compatible
- 12V Integral Constant Current Driver (Remote 12V AC/DC Transformer Required)
- Dimmable to <10% (TRIAC/Forward Phase) via Compatible Transformer
- Compatible w/ 12V AC/DC MLV or ELV Transformers
- Solid Brass Construction



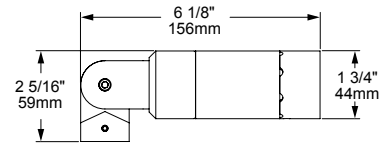
HSL11-LM-60-BLP



HSL11-LM-60-NI



60° Angled Shield



90° Straight Shield

**FIELD-INTERCHANGEABLE TECHNOLOGY**

The FIT™ IP67 module is built on Auroralight's Copper Core Technology® platform and includes FIT™ Acrylic Optics.

Precision Machined Brass Body  
Internal Driver and LED  
Interchangeable UV & Shock Resistant Silicone Optic  
Threaded Compression Cap

**COPPER CORE TECHNOLOGY®**

**AURORA MOUNT SYSTEM**

The Aurora Mount System (AMS™) features 2 axis of adjustment – 360° of fixture rotation at the mount and 230° at the solid brass knuckle. The ultimate in precision aiming without twisting or compromising wire integrity.

**12V**

**THERMALLY INTEGRATED**

**STORM DRAIN**

**SEE NEXT PAGE FOR ORDERING INFORMATION**





TYPE:
CAT. #:HSL11-LM-



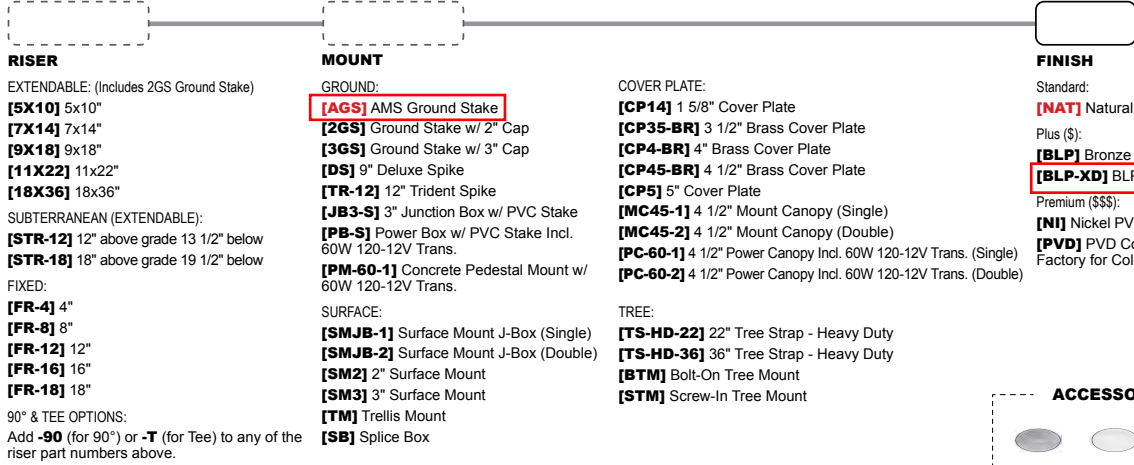
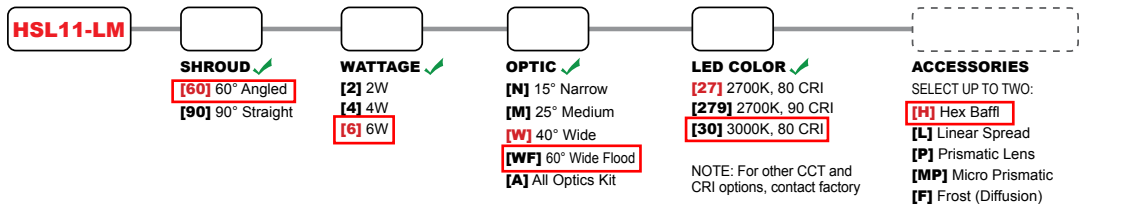
## HSL11-LM TAOS

For smaller wattage and size options see **LSL6, LSL10, and LSL8**  
For larger wattage and size options see **LSL4, HSL16-LM, and HSL20-LM**  
For retrofit lamp options see **HSL20-X, HSL16-X and SLX16**

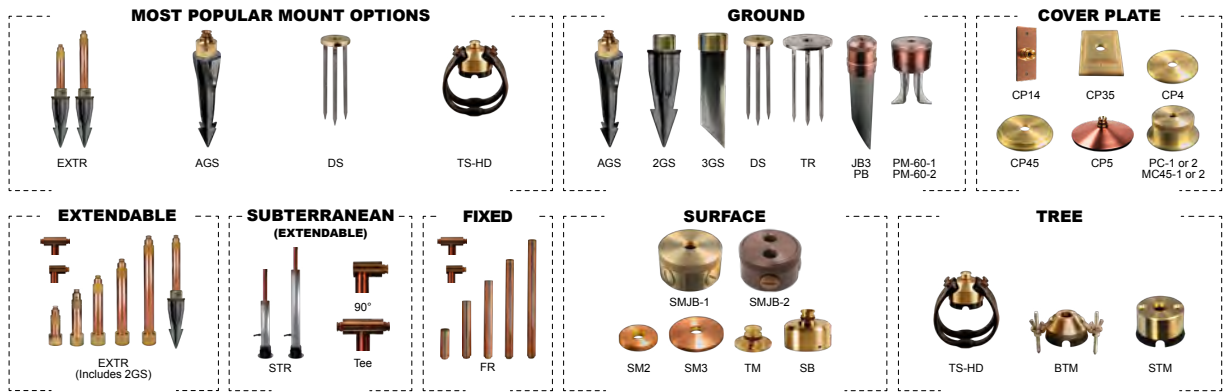
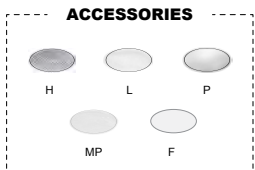
**ORDERING GUIDE:** <sup>Prefi</sup> **HSL11-LM** H (HIGH PERFORMANCE) SL (SPOTLIGHT) 11 (SERIES) L (LED) M (MODULE)

☐ INDICATES REQUIRED FIELD    ☐ INDICATES OPTIONAL FIELD    ✓ INCLUDED    [ \_ ] QUICK SPEC (See Below)

**QUICK SPEC SKU HSL11-LM-60-6-W-27-H-AGS-NAT**



NOTE: Universal Adapter Included w/ Fixture. Most common configurations listed above. See product cut sheets for all options.





TYPE:
CAT. #:HSL11-LM-

## HSL11-LM TAOS

### PHOTOMETRIC OVERVIEW

Information based on 6W 2700K. To download more in-depth IES photometric data, visit [auroralight.com/product/hsl11-taos/](http://auroralight.com/product/hsl11-taos/)

6W 2700K 15° (NARROW) 349.7 LUMENS • CBCP 2928 AURORALIGHT HSL11-LM-6-N-27		
30 FT	3.25	8.58
26 FT	4.33	7.43
22 FT	6.05	6.29
18 FT	9.04	5.15
14 FT	14.9	4.00
10 FT	29.3	2.86
6 FT	81.3	1.72
Distance From Fixture	Footcandles	Beam Width

6W 2700K 25° (MEDIUM) 369.3 LUMENS • CBCP 1591 AURORALIGHT HSL11-LM-6-M-27		
30 FT	1.74	13.2
26 FT	2.32	11.4
22 FT	3.23	9.67
18 FT	4.83	7.91
14 FT	7.99	6.16
10 FT	15.7	4.40
6 FT	43.5	2.64
Distance From Fixture	Footcandles	Beam Width

6W 2700K 40° (WIDE) 297.0 LUMENS • CBCP 996 AURORALIGHT HSL11-LM-6-W-27		
30 FT	1.10	14.9
26 FT	1.47	12.9
22 FT	2.05	10.9
18 FT	3.07	8.96
14 FT	5.07	6.97
10 FT	9.94	4.98
6 FT	27.6	2.99
Distance From Fixture	Footcandles	Beam Width

6W 2700K 60° (WIDE FLOOD) 197.9 LUMENS • CBCP 440 AURORALIGHT HSL11-LM-6-WF-27		
30 FT	0.488	18.5
26 FT	0.650	16.0
22 FT	0.908	13.5
18 FT	1.36	11.1
14 FT	2.24	8.62
10 FT	4.40	6.15
6 FT	12.2	3.69
Distance From Fixture	Footcandles	Beam Width





TYPE:
CAT. #:HSL11-LM-



## HSL11-LM TAOS

The compact **HSL11-LM** is engineered around Auroralight's interchangeable LED module to deliver brilliant LED performance in a small package. Storm Drain™ lensing prevents water and dirt from collecting on the lens for maximum illumination. Our exclusive AMS™ system offers an extensive choice of mounting options making this elegant accent-light ideal for any lighting task; landscape or architecture, inside or out, the HSL11 is up to the task; Proudly made in San Diego, CA USA.

See *LSL10* and *HSL16* for additional size and wattage options.

### Features include:

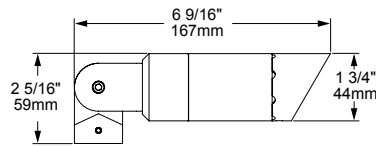
- Interchangeable LED Module in 2, 4 or 6 Watts and up to 370 lumens
- Cree XLAMP® High Density (XHP) LED
- Interchangeable UV & Shock Resistant Silicone Optic
- 2700K (80 & 90 CRI) or 3000K (80 CRI)
- Thermally Integrated® w/ Copper Core Technology®
- Storm Drain™ Lens Drainage System
- Aurora Mount System (AMS™) Compatible
- 12V Integral Constant Current Driver (Remote 12V AC/DC Transformer Required)
- Dimmable to <10% (TRIAC/Forward Phase) via Compatible Transformer
- Compatible w/ 12V AC/DC MLV or ELV Transformers
- Solid Brass Construction



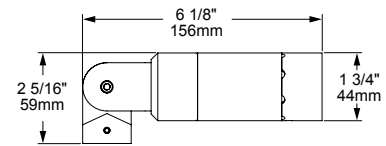
HSL11-LM-60-BLP



HSL11-LM-60-NI



60° Angled Shield



90° Straight Shield

**FIELD-INTERCHANGEABLE TECHNOLOGY**

The FIT™ IP67 module is built on Auroralight's Copper Core Technology® platform and includes FIT™ Acrylic Optics.

**COPPER CORE TECHNOLOGY®**

**AURORA MOUNT SYSTEM**

The Aurora Mount System (AMS™) features 2 axis of adjustment – 360° of fixture rotation at the mount and 230° at the solid brass knuckle. The ultimate in precision aiming without twisting or compromising wire integrity.

**12V**

**THERMALLY INTEGRATED**

**STORM DRAIN**

**SEE NEXT PAGE FOR ORDERING INFORMATION**





TYPE:
CAT. #:HSL11-LM-



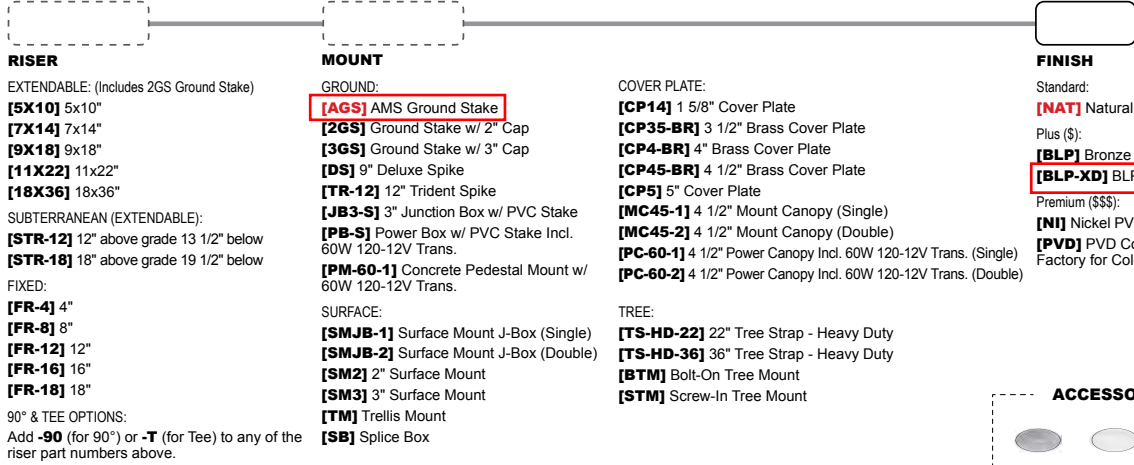
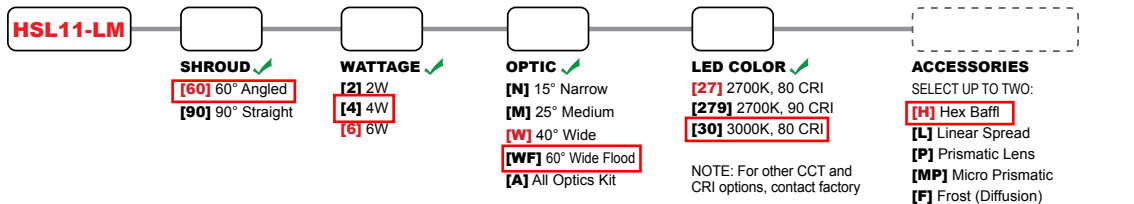
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For larger wattage and size options see **LSL4, HSL16-LM, and HSL20-LM**  
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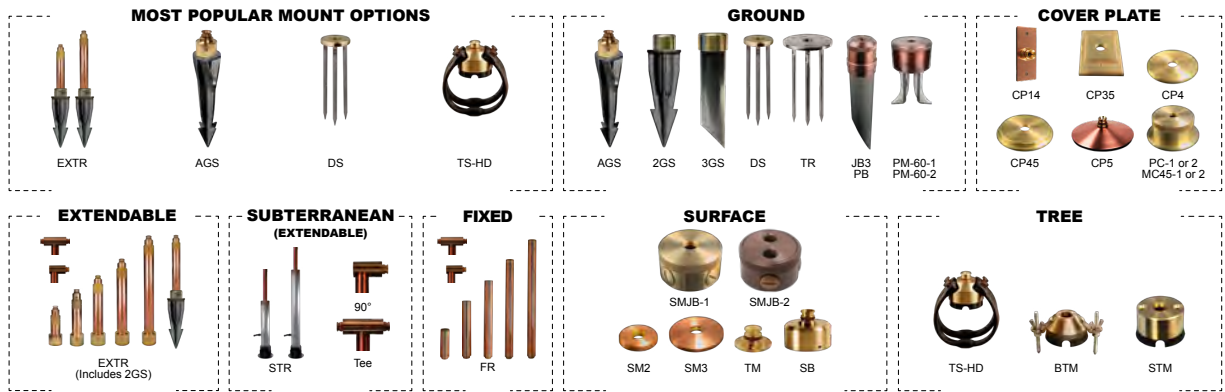
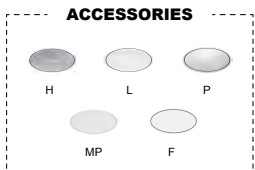
**ORDERING GUIDE:** <sup>Prefi</sup> **HSL11-LM** H (HIGH PERFORMANCE) SL (SPOTLIGHT) 11 (SERIES) L (LED) M (MODULE)

☐ INDICATES REQUIRED FIELD    ☐ INDICATES OPTIONAL FIELD    ✓ INCLUDED    [ ] QUICK SPEC (See Below)

**QUICK SPEC SKU HSL11-LM-60-6-W-27-H-AGS-NAT**



NOTE: Universal Adapter Included w/ Fixture. Most common configurations listed above. See product cut sheets for all options.







TYPE:
CAT. #:HSL11-LM-

## HSL11-LM TAOS

### PHOTOMETRIC OVERVIEW

Information based on 6W 2700K. To download more in-depth IES photometric data, visit [auroralight.com/product/hsl11-taos/](http://auroralight.com/product/hsl11-taos/)

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6 FT	12.2	3.69
Distance From Fixture	Footcandles	Beam Width





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**McDermott Residence**

**600 Walnut Ave.**

**Ketchum, ID 83340**

**Construction Activity Plan:**

*\*Please refer to attached Construction Activity Plan for details*

Lee Gilman Builders plans to start construction on June 1<sup>st</sup> upon permit approval from the City of Ketchum. The approximate project duration is estimated at 24-28 months, with a projected project completion date of Summer 2024.

Excavation/fill calculations are estimated at 5960 yards of export, and 3,200 yards of import as per our excavator, Jonathan Lunceford. Trucking route will be 5<sup>th</sup> St. to Walnut Ave, and back out the same way to the redlight on Main St. All site spoils not being re-used will be hauled offsite accordingly.

Any and all construction debris will be disposed of in a Clear Creek dumpster stored onsite, which will be emptied as required by Clear Creek Disposal. Temporary restrooms will also be provided and regularly maintained by Clear Creek Disposal. We will have a designated material storage/delivery staging area onsite, in addition to jobsite fencing/screening.

As for parking, there will be some onsite parking for our employees, which will be supplemented by R.O.W. parking on 6<sup>th</sup> Ave. East for any overflow parking. Upon project completion, Lee Gilman Builders will ensure the city streets adjacent to the jobsite are cleaned/restored accordingly.

Lee Gilman Builders will notify neighbors of the construction activity plan and will provide the superintendent's direct contact phone number as to be considerate to their needs during the course of construction.

Please let us know if you need any further information, and thank you for your consideration.

Sincerely,








Wes Powell

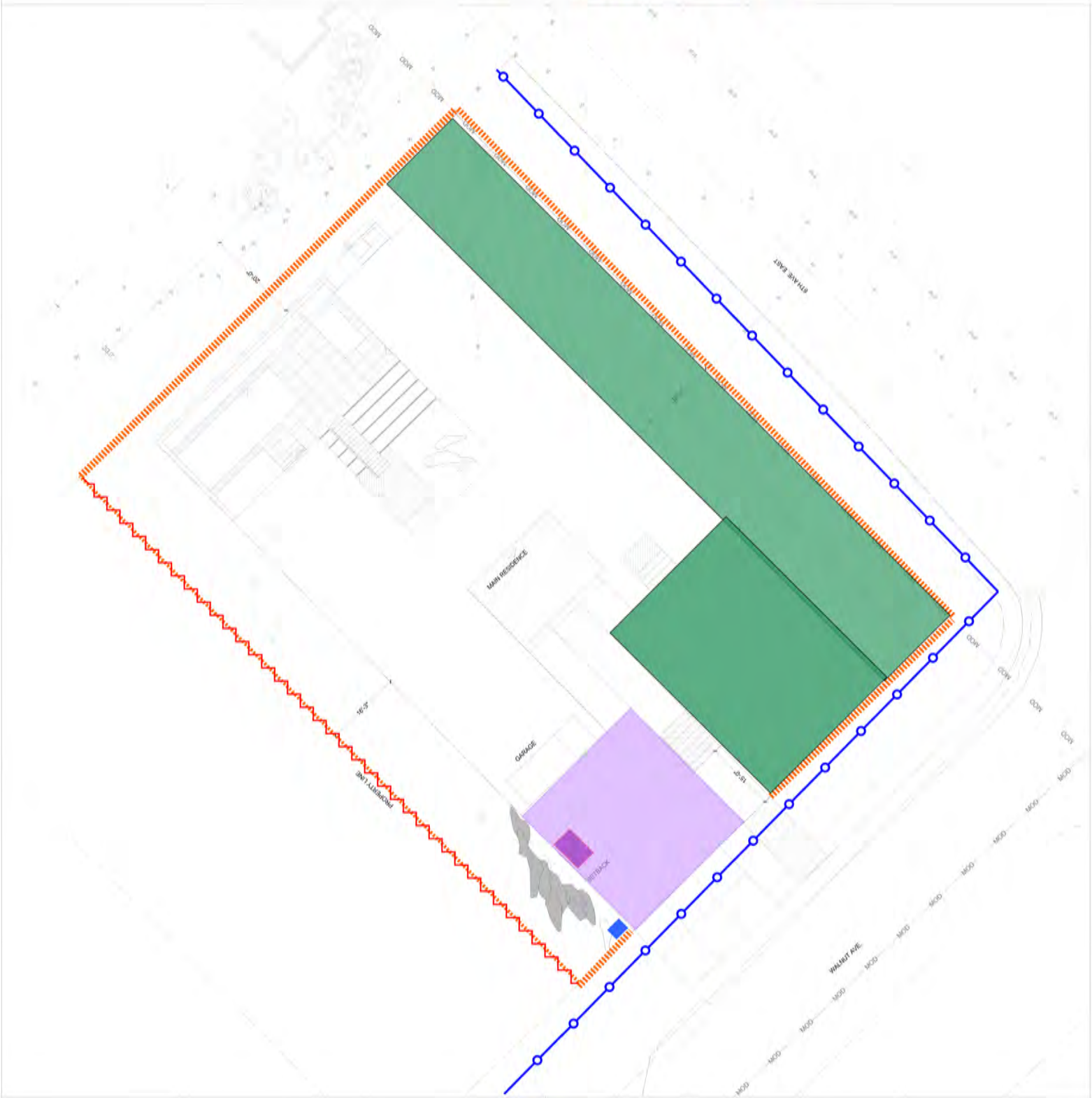
Lee Gilman Builders

208-726-3300

# CONSTRUCTION ACTIVITY PLAN

## CONSTRUCTION ACTIVITY PLAN LEGEND:

-  = Post-pity
-  = dumpster
-  = materials storage/deliveries
-  = site fencing/enclosure
-  = R.O.W. parking
-  = inside site fence
-  = onsite parking



# Benchmark Associates

ENGINEERING, PLANNING, SURVEYING & MAPPING  
PO Box 733 : 100 Bell Drive  
Ketchum, Idaho 83340  
208-726-9512 : Facsimile 208-726-9514

Attn: Adam Crutcher,  
Associate Planner  
City of Ketchum  
City Hall, Planning Department  
191 5<sup>th</sup> St. W.  
Ketchum, ID 83340

RE: Ketchum Townsite BL 91, Lot 1A – wall assessment

May 4, 2022

This letter is regarding the proposed development application for Lot 1A of Ketchum Townsite Block 91. The project is proposing landscape walls within the 30-foot building setback from the front property line. A comment was received from city staff questioning the structural or non-structural nature of this wall.

*“Sheet L7-05 of the MODR plans shows a cross section of the dry stack wall. It appears that a structural engineer has designed the wall which indicates its serving a purpose of holding back the hillside. If the wall cannot be removed without compromising the hillside it is considered a permanent wall which is not permitted within setbacks per the Planning & Zoning Commission interpretation.”*

The drystack wall along the 6<sup>th</sup> Street side of the property is not a structurally designed wall, nor is it stamped and signed by a structural engineer. Additionally, the wall is not holding up the house. The wall is approximately 9 feet from the house. Based on the structural foundation plans prepared by KLAA for the proposed residence, the elevation at the bottom of footing adjacent to the wall will be 5893.8 feet. The bottom of the proposed wall is 5,897.0. Since the bottom of the wall is above the level of the foundation, the wall is not supporting the house foundation and will have no effect on the house should it be removed. The wall will be less than 4 feet in height and will not be surcharged. As shown on the dry stack wall detail on sheet L7-05, the proposed grade will be flat behind the wall for a distance equal to the height of the wall – indicating no surcharge forces on the wall.

The boulder wall on the north side of the driveway is also not a structurally designed wall. This wall will be a maximum of 4 feet high. The geotechnical report shows test pit #4 in the location of this wall. The test pit log shows 2 feet of clay material over bedrock. There is already a steep slope cut into the bedrock at this location. The new boulder wall will be built as a decorative feature in front of the existing steep bedrock slope and is not needed to retain the hillside.

Sincerely,



Phoebe Johannessen, P.E.  
Benchmark Associates

Attachment B  
Mountain Overlay Standards Evaluation

### Mountain Overlay Design Review Standards

<b>IMPROVEMENTS AND STANDARDS: 17.104.070 – Mountain Overlay Design Review:</b>				
The following list of criteria and those contained in section 17.96.080 of this title must be considered and addressed by each applicant seeking design review approval.				
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (1)	<p><b>There shall be no building on ridges or knolls which would have a material visual impact on a significant skyline visible from a public vantage point entering the city or within the city. "Material", as the term is used herein, shall be construed in light of the magnitude of the negative impact on the objectives of this section.</b></p> <p><i>The proposed residence complies with this requirement as the structure is not located on a ridge or knoll that would have a material visual impact on a significant skyline visible from a public vantage point entering or within the city. The overall design will serve to protect the visual integrity of the adjacent hillside.</i></p>
			<i>Staff Comment</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (2)	<p><b>Building, excavating, filling and vegetation disturbance on hillsides which would have a material visual impact visible from a public vantage point entering the city or within the city shall be minimized. "Material", as the term is used herein, shall be construed in light of the magnitude of the negative impact on the objectives of this section.</b></p> <p><i>Hillside disturbance has been minimized and the project will not have a material visual impact from a public vantage point within or upon entering the city.</i></p>
			<i>Staff Comment</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (3)	<p><b>Driveway standards as well as other applicable standards contained in chapter 12.04 of this code shall be met.</b></p> <p><i>The proposed paver driveway is sited in the same location as the existing, gravel driveway. The City Engineer and Fire Department have approved the proposed design of the paver driveway. The driveway must meet all applicable standards and shall receive approval from the City Engineer and Fire Department prior to the issuance of a building permit for the project.</i></p>
			<i>Staff Comment</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (4)	<p><b>All development shall have access for fire and other emergency vehicles to within one hundred fifty feet (150') of the furthest exterior wall of any building.</b></p> <p><i>The Fire Department has reviewed the proposed design and has found that all access requirements for emergency vehicles has been met</i></p>
			<i>Staff Comment</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (5)	<p><b>Significant rock outcroppings shall not be disturbed.</b></p> <p><i>There are no significant rock outcroppings within the property boundary of the subject property.</i></p>
			<i>Staff Comment</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (6)	<p><b>International building code (IBC) and international fire code (IFC) and Ketchum fire department requirements shall be met.</b></p> <p><i>The project must comply with the International Building Code 2018 and the Ketchum Fire Department requirements. All IBC, IFC, and Ketchum Fire Department requirements shall be verified and met prior to the issuance of a building permit for the project.</i></p>
			<i>Staff Comment</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (7)	<p><b>Public water and sewer service shall comply with the requirements of the city.</b></p> <p><i>As indicated on Sheet C2 of the submittal, the applicant has proposed connecting to the municipal water and sewer systems from existing lines within 6<sup>th</sup> Street. Requirements and specification for the water and sewer connections will be verified, reviewed, and approved by the Utilities Department prior to issuance of a Building Permit for the project.</i></p>
			<i>Staff Comment</i>	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (8)	<p><b>Drainage shall be controlled and maintained to not adversely affect other properties.</b></p>

			<i>Staff Comment</i>	<i>As indicated on Sheet C2 of the submittal, the applicant has proposed a system of drywells to control drainage on the site. Pursuant to KMC 17.96.060.C.1, all storm water drainage shall be retained on site. All drainage plans and specifications shall be reviewed and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (9)	<b>Cuts and fills allowed for roadways shall be minimized; lengths of driveways allowed shall be minimized; all cuts and fills shall be concealed with landscaping, revegetation and/or natural stone materials. Revegetation on hillsides with a clear zone of thirty feet (30') around all structures is recommended. Said clear zone shall include low combustibile irrigated vegetation with appropriate species, on file with the Ketchum planning department. Revegetation outside of this clear zone should be harmonious with the surrounding hillsides.</b>
			<i>Staff Comment</i>	<i>The proposed paver driveway will not require significant cuts or fill as it is sited in the same location as the existing, gravel driveway.</i>  <i>An existing cut on the northern side of the property where the proposed driveway is located will be concealed with boulders and vegetation. Revegetation of the hillside includes species such as native grasses, serviceberry, sagebrush, sumac, pines, aspen and other drought tolerant plants.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (10)	<b>No other sites on the parcel are more suitable for the proposed development in order to carry out the purposes of this section.</b>
			<i>Staff Comment</i>	<i>No alternative site for the residence exists on the property. The proposed residence will not have a material visual impact on a significant skyline, does not impact a significant rock outcropping, and will minimize the disturbance to native and natural vegetation. The residence is situated at the rear of the subject property resulting in the building tucking into the hillside.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (11)	<b>Access traversing twenty five percent (25%) or greater slopes does not have significant impact on drainage, snow and earthslide potential and erosion as it relates to the subject property and to adjacent properties.</b>
			<i>Staff Comment</i>	<i>Access will not traverse slopes greater than 25%. The proposed driveway will be situated over the existing gravel driveway and will not traverse additional areas of the hillside.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (12)	<b>Utilities shall be underground.</b>
			<i>Staff Comment</i>	<i>All utilities shall be undergrounded.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (13)	<b>Limits of disturbance shall be established on the plans and protected by fencing on the site for the duration of construction.</b>
			<i>Staff Comment</i>	<i>The applicant has provided fencing around the property on the Construction Activity Plan. The final construction management plan shall be approved by the City Engineer, Streets Department, and Planning Department prior to issuance of a building permit for the project.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (14)	<b>Excavations, fills and vegetation disturbance on hillsides not associated with the building construction shall be minimized.</b>
			<i>Staff Comment</i>	<i>With the exception of the proposed pool excavation and fill is limited to the proposed residence.</i>  <i>Vegetation on the hillside has been minimized with this proposal.</i>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.104.070 A (15)	<b>Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.</b>
			<i>Staff Comment</i>	<i>No significant landmarks have been identified on-site.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.104.070 A (16)	<b>Encroachments of below grade structures into required setbacks are subject to subsection 17.128.020K of this title and shall not conflict with any applicable easements, existing underground structures, sensitive ecological areas, soil stability, drainage, other sections of this Code or other regulating codes such as adopted International Code Council Codes, or other site features concerning health, safety, and welfare.</b>
				<i>No encroachments of below grade structures into setbacks are proposed.</i>



## Attachment C

# Zoning & Dimensional Standards Evaluation

### Zoning Standards Analysis

Compliance with Zoning Standards				
Compliant			Standards and Staff Comments	
Yes	No	N/A	Guideline	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.040	<b>Minimum Lot Area</b>
			<i>Staff Comment</i>	<i>Required: 9,000 square feet minimum. Existing (Lot 1A): 16,523 sf</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.040	<b>Building Coverage</b>
			<i>Staff Comment</i>	<i>Permitted: 35% Proposed: 26% (4344 sf)</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.040	<b>Minimum Building Setbacks</b>
			<i>Staff Comment</i>	<i>Minimum: Front: 15' Side: &gt; of 1' for every 2' in building height, or 10' (16.19' required) Rear: 20'  Proposed: Front: 15' Side: 16.25' Side: 16.25' Rear: 20' as measured from alley centerline</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.040	<b>Building Height</b>
			<i>Staff Comment</i>	<i>Maximum Permitted: 35'  Proposed: 32.475'</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.125. 030.H	<b>Curb Cut</b>
			<i>Staff Comment</i>	<i>Permitted: 35% or street frontage or 38.5' for the subject property (street frontage 110.11') Proposed: 25.3'</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.125.040.B	<b>Parking Spaces</b>
			<i>Staff Comment</i>	<i>Required: Residential one family: 2 parking spaces per dwelling unit Proposed: The applicant is proposing a two (2) car garage. One (1) additional parking space is proposed for the driveway.</i>

Attachment D  
Design Review Standards Evaluation

**Design Review Standards for all projects**

Design Review Requirements				
IMPROVEMENTS AND STANDARDS: 17.96.060				
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(A)(1) Streets	<b>The applicant shall be responsible for all costs associated with providing a connection from an existing city street to their development.</b>
			<i>Staff Comments</i>	<i>The proposed project connects the residence to Walnut Ave. The applicant is aware that construction of the driveways is their expense.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(A)(2) Streets	<b>All street designs shall be approved by the City Engineer.</b>
			<i>Staff Comments</i>	<i>N/A. No new street is proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(B)(1)	<b>All projects under 17.96.010(A) that qualify as a “Substantial Improvement” shall install sidewalks as required by the Public Works Department.</b>
			<i>Staff Comments</i>	<i>N/A. Sidewalks are not required in this zoning district, LR.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060 (B)(2)c	<b>Sidewalk width shall conform to the City’s right-of-way standards, however the City Engineer may reduce or increase the sidewalk width and design standard requirements at their discretion.</b>
			<i>Staff Comments</i>	<i>N/A. Subject property is located within the LR zone which does not require sidewalks. Project to meet right-of-way standards for 60’ &amp; 80 ROW which include supplying areas for on-street parking. ROW improvements will be verified at building permit submittal.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060 (B)(3)	<b>Sidewalks may be waived if one of the following criteria is met:</b> <ul style="list-style-type: none"> <li>a. <b>The project comprises an addition of less than 250 square feet of conditioned space.</b></li> <li>b. <b>The City Engineer finds that sidewalks are not necessary because of existing geographic limitations, pedestrian traffic on the street does not warrant a sidewalk, or if a sidewalk would not be beneficial to the general welfare and safety of the public.</b></li> </ul>
			<i>Staff Comments</i>	<i>N/A. See above Staff comment for Ketchum Municipal Code §17.96.060(B)(2).</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060 (B)(4)	<b>The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.</b>
			<i>Staff Comments</i>	<i>N/A. See above Staff comment for Ketchum Municipal Code §17.96.060(B)(2).</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060 (B)(5)	<b>New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.</b>
			<i>Staff Comments</i>	<i>N/A. See above Staff comment for Ketchum Municipal Code §17.96.060(B)(2).</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060 (B)(6)	<b>The City may approve and accept voluntary cash contributions in-lieu of the above described improvements, which contributions must be segregated by the City and not used for any purpose other than the provision of these improvements. The contribution amount shall be one hundred ten percent (110%) of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the City Engineer. Any approved in-lieu contribution shall be paid before the City issues a certificate of occupancy.</b>
			<i>Staff Comments</i>	<i>N/A. See above Staff comment for Ketchum Municipal Code §17.96.060(B)(2).</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(1)	<b>All storm water shall be retained on site.</b>
			<i>Staff Comments</i>	<i>The applicant proposes to retain all stormwater on site. See sheet C1. The drainage and grading plan will be reviewed and approved by the City Engineer and Streets Department Director through the Building Permit review and approval process.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(2)	<b>Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.</b>
			<i>Staff Comments</i>	<i>See sheet C1. Drainage improvements constructed along Walnut Ave &amp; 6<sup>th</sup> St property lines.</i>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(C)(3)	<b>The City Engineer may require additional drainage improvements as necessary, depending on the unique characteristics of a site.</b>
			<i>Staff Comments</i>	N/A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(4)	<b>Drainage facilities shall be constructed per City standards.</b>
			<i>Staff Comments</i>	The specifications for the drywells and catch basins are included on Sheet C3. The drainage plan and associated specifications shall be reviewed and approved by the City Engineer prior to issuance of a Building Permit for the project.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(D)(1)	<b>All utilities necessary for the development shall be improved and installed at the sole expense of the applicant.</b>
			<i>Staff Comments</i>	All project costs associated with the development, including installation of utilities are the responsibility of the applicant. The applicant has not made requests for funding to the City, and no funds have been provided by the city for the project.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(D)(2)	<b>Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view.</b>
			<i>Staff Comments</i>	All utilities are proposed to be located underground.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(D)(3)	<b>When extension of utilities is necessary all developers will be required to pay for and install two (2") inch SDR11 fiber optical conduit. The placement and construction of the fiber optical conduit shall be done in accordance with city of Ketchum standards and at the discretion of the City Engineer.</b>
			<i>Staff Comments</i>	Any extension of utilities will be done in accordance with the city of Ketchum standards and at the discretion of the City Engineer.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(E)(1)	<b>The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures.</b>
			<i>Staff Comments</i>	As indicated on Sheet A3.1, the proposed materials for the project include stone, horizontal wood siding, steel panel, and bonderized metal roof. The proposed materials and colors are complementary to existing homes around 6 <sup>th</sup> St and Walnut Ave.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(E)(2)	<b>Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.</b>
			<i>Staff Comments</i>	N/A. There are no identified landmarks on the property.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(E)(3)	<b>Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to.</b>
			<i>Staff Comments</i>	N/A. The proposal is for new construction.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(F)(1)	<b>Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined.</b>
			<i>Staff Comments</i>	N/A. Sidewalks do not exist in this zoning district.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(2)	<b>The building character shall be clearly defined by use of architectural features.</b>
			<i>Staff Comments</i>	Building elevations are included on Sheets A3.1, A3.2, A3.3 of the Design Review Submittal. Chimneys, bump outs, balconies and undulation help to provide visual interest. The use of windows on the Walnut Ave & 6 <sup>th</sup> St frontages assists in breaking up the buildings façade.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(3)	<b>There shall be continuity of materials, colors and signing within the project.</b>
			<i>Staff Comments</i>	The proposed materials and color palette enhance the mountain modern design of the single-family residence. The natural materials and colors complement the surrounding landscape.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(4)	<b>Accessory structures, fences, walls and landscape features within the project shall match or complement the principal building.</b>
			<i>Staff Comments</i>	The proposed boulders and retaining wall in the front yard connect to the residence by using a similar color palette. Plant species and boulders for the project provides a natural appearance in which the residence sits within.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(5)	<b>Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.</b>
			<i>Staff Comments</i>	<i>The Walnut Ave elevation of the proposed residence provides undulation through a recessed entry between the two main wings of the residence. From 6<sup>th</sup> St the Chimney and bump out on the second floor help to provide variation and reduce flatness on that side of the building. The</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(F)(6)	<b>Building(s) shall orient towards their primary street frontage.</b>
			<i>Staff Comments</i>	<i>Both buildings orient towards Walnut Ave.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(F)(7)	<b>Garbage storage areas and satellite receivers shall be screened from public view and located off alleys.</b>
			<i>Staff Comments</i>	<i>N/A. Satellite receivers are not proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(F)(8)	<b>Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties.</b>
			<i>Staff Comments</i>	<i>N/A.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(1)	<b>Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.</b>
			<i>Staff Comments</i>	<i>The alley behind the property will remain open and unobstructed to allow for pedestrian use</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(G)(2)	<b>Awnings extending over public sidewalks shall extend five (5') feet or more across the public sidewalk but shall not extend within two (2') feet of parking or travel lanes within the right of way.</b>
			<i>Staff Comments</i>	<i>N/A.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(G)(3)	<b>Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage.</b>
			<i>Staff Comments</i>	<i>N/A.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(4)	<b>Curb cuts and driveway entrances shall be no closer than twenty (20') feet to the nearest intersection of two or more streets, as measured along the property line adjacent to the right of way. Due to site conditions or current/projected traffic levels or speed, the City Engineer may increase the minimum distance requirements.</b>
			<i>Staff Comments</i>	<i>The proposed driveway entrance is further than 20' to the intersection of Walnut Ave &amp; 6<sup>th</sup> Street.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(5)	<b>Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project.</b>
			<i>Staff Comments</i>	<i>Access for emergency vehicles, snowplows, and garbage trucks is provided from Walnut Avenue &amp; 6<sup>th</sup> Street.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(H)(1)	<b>Snow storage areas shall not be less than thirty percent (30%) of the improved parking and pedestrian circulation areas.</b>
			<i>Staff Comments</i>	<i>Proposed parking and pedestrian circulation areas are snowmelted</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(H)(2)	<b>Snow storage areas shall be provided on-site.</b>
			<i>Staff Comments</i>	<i>Proposed parking and pedestrian circulation areas are snowmelted</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(H)(3)	<b>A designated snow storage area shall not have any dimension less than five (5') feet and shall be a minimum of twenty five (25) square feet.</b>
			<i>Staff Comments</i>	<i>Proposed parking and pedestrian circulation areas are snowmelted</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(H)(4)	<b>In lieu of providing snow storage areas, snow melt and hauling of snow may be allowed.</b>
			<i>Staff Comments</i>	<i>Proposed parking and pedestrian circulation areas are snowmelted</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(1)	<b>Landscaping is required for all projects.</b>
			<i>Staff Comments</i>	<i>See sheet L0-02.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(2)	<b>Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape.</b>
			<i>Staff Comments</i>	<i>Proposed landscape plan (Sheet L0-02) includes native drought tolerant trees such as Ponderosa Pine, Quaking Aspen and radiant Crabapple. Shrubs include drought tolerant species like western sagebrush, serviceberry, and fragrant sumac. Ground covers and grasses which are proposed are also drought tolerant species.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(3)	<b>All trees, shrubs, grasses and perennials shall be drought tolerant. Native species are recommended but not required.</b>
			<i>Staff Comments</i>	<i>See above Staff comment for Ketchum Municipal Code §17.96.060(I)(2).</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(4)	<b>Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged.</b>
			<i>Staff Comments</i>	<i>Proposed landscape plan (Sheet L0-02) indicates planting surrounding the residence so as to provide a buffer between streets and any future development on the lots to the north or across the alley.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(J)(1)	<b>Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All public amenities shall receive approval from the Public Works Department prior to design review approval from the Commission.</b>
			<i>Staff Comments</i>	<i>N/A.</i>