



City of Ketchum
Planning & Building

STAFF REPORT
KETCHUM PLANNING AND ZONING COMMISSION
SPECIAL MEETING OF MAY 7, 2025

PROJECT: 120 N East Ave Addition

APPLICATION TYPE: Design Review (Application File No. P24-074)

PROPERTY OWNER: 120 East LLC

REPRESENTATIVE: Mike Brunelle, Brunelle Architects

REQUEST: Design Review for a proposed 2,270-square-foot addition to an existing commercial building

LOCATION: 120 N East Avenue (Ketchum Townsite: Block 42: Lot 2)

ZONING: Mixed-Use Subdistrict of the Community Core (CC-2 Zone)

REVIEWER: Abby Rivin – Senior Planner

NOTICE: A public hearing notice for the project was mailed to all owners of property within 300 feet of the project site on April 16, 2025. The public hearing notice was published in the Idaho Mountain Express on April 16, 2025. A notice was posted on the project site on April 30, 2025. The public hearing was published on the city's website on April 22, 2025. The building corners were staked and the story pole was installed on the project site on April 29, 2025.

I. EXECUTIVE SUMMARY

The applicant is proposing a 2,279-square-foot addition to the existing commercial building located at 120 N East Avenue (the "subject property") in the Mixed-Use Subdistrict of the Community Core ("CC-2 Zone"). The proposed 2,279 square-foot addition will accommodate an expansion of the existing commercial area, a new attached garage, and two new multi-family dwelling units. The proposed mixed-use building has a total FAR is 0.99 and with a maximum height of 39'-7". The project plans are included as Attachment B.

The proposed addition is subject to Design Review pursuant to Ketchum Municipal Code ("KMC") §17.96.010.A4, which requires Design Review for substantially altering the exterior of commercial and mixed-use buildings. The Planning and Zoning Commission (the "Commission") has the authority to review and approve the applicant's Design Review request pursuant to KMC §17.96.030.B. As conditioned, staff believes the project complies with all zoning code requirements and Design Review standards.

II. CONFORMANCE WITH ZONING AND DESIGN REVIEW STANDARDS

Pursuant to KMC §17.96.050.A, the Commission shall determine the following before granting Design Review approval:

1. The project does not jeopardize the health, safety or welfare of the public.
2. The project generally conforms with the goals, policies, and objectives of the adopted comprehensive plan.
3. The project conforms to all applicable standards and criteria as set forth in this chapter, this title, and any other standards as adopted or amended by the City of Ketchum from time to time.

Criteria 1 & Criteria 2: Public Health, Safety, and Welfare & Comprehensive Plan Conformance Future Land Use

The subject property is designated as Mixed-Use Commercial on the future land use map of the 2104 Comprehensive Plan ("2014 Plan"). The Mixed-Use Commercial promotes a wide range of commercial and residential uses and mixed-use development. The 2014 Plan supports redevelopment and the intensification of land uses downtown. Goal LU-1 promotes, "a functional, compact, and mixed-use pattern that integrates and balances residential and non-residential land uses." Goal LU-2 supports, "infill and redevelopment in the downtown, major activity areas and specific areas that can take advantage of proximity to services and transportation" (page 71). As noted in the 2014 Plan, redevelopment, "means the more intensive use of existing or underused buildings and sites or the replacement of buildings with larger buildings" (page 71). Policy LU-2.1 supports the intensification of land uses on appropriate redevelopment sites downtown (page 71).

The project will expand the existing commercial space in the 120 N East Ave building and add two new housing units. By intensifying the existing commercial use and adding residential use, the project meets the 2014 Plan policies supporting a mixture of uses and the intensification of land uses through redevelopment downtown.

Housing

The 2014 Plan identifies downtown as an appropriate place for housing density due to its proximity to jobs and transportation options. Policy H-1.4 of the comprehensive plan states that, "housing should be integrated into the downtown core" (page 20), and Policy H-3.1 encourages the siting of housing in new developments near public transportation and retail districts (page 21). The project will provide two new housing units located within the downtown core within walking distance to the Mountain Rides bus stop Visitor Center on Sun Valley Road, which provides access to all major transit routes connecting riders to other areas of Ketchum and the Wood River Valley.

Compatibility with the Surrounding Neighborhood

The 2014 Plan provides the following policies regarding design and compatibility with the surrounding neighborhood:

- Policy CD-1.3: "Infill and redevelopment projects should be contextually appropriate to the neighborhood and development in which they occur. Context refers to the natural and manmade features adjoining a development site; it does not imply a certain style" (page 26).

- Policy CD-1.4: “Each new project should be well-designed and attractive, and should complement surrounding land uses and existing neighborhood character”(page 26).

While infill and redevelopment has intensified downtown, this area has not experienced the same degree of change. The proposed three-story mixed-use building has maximum height of 38’-5”, is 8,134 gross square feet, and has a total Floor Area Ratio (FAR) of 0.99. The natural materials and earthtone colors will complement the adjacent buildings and surrounding buildings. Staff believes the project provides a high-quality design that complements adjacent buildings and is contextually appropriate for this area of downtown.

Conformance with Zoning Regulations and Design Review Standards

Conformance with Zoning Regulations

During city department review, planning staff reviewed the project for conformance with all applicable zoning code requirements, including permitted uses, dimensional standards, signage, parking, and dark skies. Staff believes the project, as conditioned, complies with all zoning and dimensional standards required in the CC-2 Zone. Please see further staff analysis in the Zoning and Dimensional Standards Evaluation included as Attachment C.

Snow Storage

Pursuant to KMC §17.96.060.H1, “Snow storage areas shall not be less than 30 percent of the improved parking and pedestrian circulation areas.” The total parking and pedestrian circulation area is 4,122 square feet. 1,237 square feet of snow storage is required based on parking and pedestrian circulation area. As shown on sheet L-100 of the project plans, only 471 square feet of snow storage is provided on the subject property. The applicant has indicated that additional snow management will be accomplished by hauling snow off-site. KMC §17.96.060.H4 states that, “In lieu of providing snow storage areas, snowmelt and hauling of snow may be allowed.”

The applicant has indicated that the owners have an existing agreement with the adjacent property owner to the south to store snow but intend to utilize Joe’s Backhoe Service to haul snow off-site once the surface parking area improvements are complete.

Staff recommends the following condition of approval to ensure the project complies with snow storage requirements:

Recommended Condition of Approval No. 2: Prior to issuance of a building permit, the applicant shall submit a copy of the snow hauling agreement with Joe’s Backhoe Service to ensure compliance with the snow storage standards specified in KMC §17.96.060.H1.

Conformance with Design Review Standards

During city department review, planning staff reviewed the project for conformance with all design review standards and required improvements (KMC §17.96.060) and requirements for developments within the Community Core specified (KMC §17.96.070). Additionally, staff reviewed the project for conformance with all city code requirements for right-of-way improvements, including but not limited to sidewalks, streetlights, and drainage. Staff believes that these requirements are either: (a) met, (b) not applicable, or (c) have been addressed by conditions of approval. Please see Attachment D for staff’s comprehensive analysis of all design review standards.

Staff believes the proposed addition project improves the design and architectural features of the existing building. Pursuant to KMC §17.96.060.F5, "Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness." The existing horizontal banding at the top of the first, second, and third floors is proposed to be modified by replacing the existing material with wood siding and metal paneling. Staff believes the proposed modifications decrease the visual prominence of these horizontal bands and reduce the appearance of building bulk at the front façade along East Avenue. In addition, the third-floor's varying roof heights and setback from the front property line help reduce the visual appearance of building mass.

STAFF RECOMMENDATION

Staff believes the project, as conditioned, all zoning code requirements and Design Review standards. Staff recommends approval of the applications with the following recommended conditions of approval:

Recommended Conditions of Approval

1. This Design Review approval is based on the plans dated February 6, 2025 and the information presented and approved at the May 7, 2025 Planning and Zoning Commission Special Meeting included as Exhibit A. The building permit plans must conform to the approved Design Review plans unless otherwise approved in writing by the Planning and Zoning Commission or Administrator. Any building or site discrepancies which do not conform to the approved plans will be subject to removal.
2. Prior to issuance of a building permit, the applicant shall submit a copy of the snow hauling agreement with Joe's Backhoe Service to ensure compliance with the snow storage standards specified in KMC §17.96.060.H1.
3. At time of building permit, the applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for all right-of-way improvements, including sidewalks, alley asphalt, streetlights, utilities, and drainage facilities, for final review and approval by the City Engineer, Streets Department, Utilities Department, and Planning Department.
4. Pursuant to Ketchum Municipal Code §17.127.030.B, separate sign permits shall be required for all new signs prior to installation.
5. The term of Design Review approval shall be twelve (12) months from the date that the Findings of Fact, Conclusions of Law, and Decision are adopted by the Planning and Zoning Commission or upon appeal, the date the approval is granted by the Council subject to changes in zoning regulations (KMC §17.96.090). Any extension shall comply with KMC §17.96.090.
6. In addition to the requirements set forth in this Design Review approval, this project shall comply with all applicable local, state, and federal laws.

Recommended Motion

"I move to approve the 120 N East Ave Addition Design Review Application subject to conditions 1-6 and direct staff to return with findings of fact."

III. ATTACHMENTS:

- A. Application Materials: Design Review Application & Supplemental Materials
- B. Application Materials: Design Review Plan Set
- C. Zoning and Dimensional Standards Evaluation
- D. Design Review Standards Evaluation

Attachment A

Application Materials:
Design Review Application
&
Supplemental Materials



City of Ketchum
Planning & Building

Design Review Application

OFFICIAL USE ONLY

File Number: P24-074

Date Received: 8/14/24

By: GB

Pre-Application Fee Paid: \$3900

Design Review Fee Paid:

By:

Submit completed application and documentation to planningandbuilding@ketchumidaho.org Or hand deliver to Ketchum City Hall, 191 5th St. W. Ketchum, ID If you have questions, please contact the Planning and Building Department at (208) 726-7801. To view the Development Standards, visit the City website at: www.ketchumidaho.org and click on Municipal Code. You will be contacted and invoiced once your application package is complete.

APPLICANT INFORMATION			
Project Name: 120 N East Ave		Phone:	
Owner: 120 N East LLC		Mailing Address: 1911 E 42nd Ave	
Email: bourekis@comcast.net		Spokane, WA 99203	
Architect/Representative: Brunelle Architects		Phone: 208/589-0771	
Email: mike@brunellearchitects.com		Mailing Address: PO Box 3204	
Architect License Number: AR-984536		Hailey, ID 83333	
Engineer of Record: Galena Benchmark		Phone: 208/726-9512	
Email: dave@galena-benchmark.com		Mailing Address: PO Box 733	
Engineer License Number:		Ketchum, ID 83340	
Primary Contact Name and Phone Number: Mike Brunelle - 208/589-0771			
PROJECT INFORMATION			
Legal Land Description: Ketchum Lot 2 Blk 42		Street Address: 120 N East Ave	
Lot Area (Square Feet): 8250 sf	Zoning District: CC, Subdistrict 2	RPK #: RPK00000420020	
Overlay District:	<input type="checkbox"/> Floodplain	<input type="checkbox"/> Avalanche	<input type="checkbox"/> Mountain <input checked="" type="checkbox"/> None
Type of Construction:	<input type="checkbox"/> New	<input checked="" type="checkbox"/> Addition	<input checked="" type="checkbox"/> Remodel <input type="checkbox"/> Other
Anticipated Use: Office, Residential	Number of Residential Units: 2		
GROSS FLOOR AREA			
	Proposed	Existing	
Basements	Sq. Ft.	1069 Sq. Ft.	
1 st Floor	2939 Sq. Ft.	1878 Sq. Ft.	
2 nd Floor	3061 Sq. Ft.	2908 Sq. Ft.	
3 rd Floor	2134 Sq. Ft.	0 Sq. Ft.	
Mezzanine	Sq. Ft.	Sq. Ft.	
Total	8134 Sq. Ft.	5855 Sq. Ft.	
FLOOR AREA RATIO			
Community Core: .98	Tourist:	General Residential-High:	
BUILDING COVERAGE/OPEN SPACE			
Percent of Building Coverage: 35.6 %			
DIMENSIONAL STANDARDS/PROPOSED SETBACKS			
Front: 5ft average	Side: 0ft	Side: 0ft	Rear: 3ft
Building Height: 42ft			
OFF STREET PARKING			
Parking Spaces Provided: 8 spaces	Curb Cut:	Sq. Ft.	%
WATER SYSTEM			
<input checked="" type="checkbox"/> Municipal Service		<input type="checkbox"/> Ketchum Spring Water	

The Applicant agrees in the event of a dispute concerning the interpretation or enforcement of the Design Review Application in which the city of Ketchum is the prevailing party, to pay the reasonable attorney fees, including attorney fees on appeal and expenses of the city of Ketchum. I, the undersigned, certify that all information submitted with and upon this application form is true and accurate to the best of my knowledge and belief.

Mike Brunelle

8/9/24

Signature of Owner/Representative

Date

January 17, 2025

Cody Colombo
Peak Venture Group
120 N Leadville Ave
Ketchum, ID 83340

Subject: 120 N East Ave, Ketchum

Dear Cody:

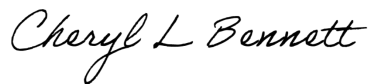
I have reviewed the proposed project at the above-named address for power requirements. Due to the additional electrical load, we will require a new single-phase transformer sited on the property. The transformer can be located on either lot side, but as we discussed, it may make the most sense to have it located at the NE property corner near the dumpster area.

We require 3' from rear and sides of our device and 10' from the front. We can face the device either toward Alpine Ln (east) or south, depending on the requirements from the city for any screening, if we have the 10' of operable distance for the front of the device. We do require 10' of clearance from any combustible structure. We will set the device 3' back from the property line as required by the City.

Idaho Power Company (IPCO) will provide electrical service to the above location subject to obtaining of any required easements, rights of way, and in compliance with the statutes of the State of Idaho and the tariffs of IPCO on file with the Idaho Public Utilities Commission (PUC), and in particular, the General Rules and Regulations, covering new service attachments and distribution line installations or alterations. The tariff is subject to change from time to time upon approval by the PUC.

If you or the City have any questions, please do not hesitate to contact me.

Best Regards,



Cheryl Bennett

Senior Distribution Designer

Idaho Power | COBD

Office 208-788-8058 | Mobile 208-721-8822

11831 Highway 75 | Hailey, ID | 83333

C L E A R C R E E K D I S P O S A L

PO Box 130 • Ketchum, ID 83340 • Phone 208.726.9600 • www.ccdisposal.com

November 25, 2024

Planning & Building
City of Ketchum
P O Box 2315
Ketchum, ID 83340-2315

Re: 120 East Ave N

To Whom It May Concern,

I have engaged in conversation with Mike Brunelle, Project Architect regarding the above address; a remodel construction of an existing building. The new version of the building will serve as:

- 1st floor – office/business
- 2nd floor – office/business and 620sf residential
- 3rd floor – 2100 residential

Please let this letter serve as to the following:

An enclosure per the attached pdf will be built and will suffice adequately for refuse collection service for the remodeled building.

If you have any concerns, please call me at your earliest convenience.

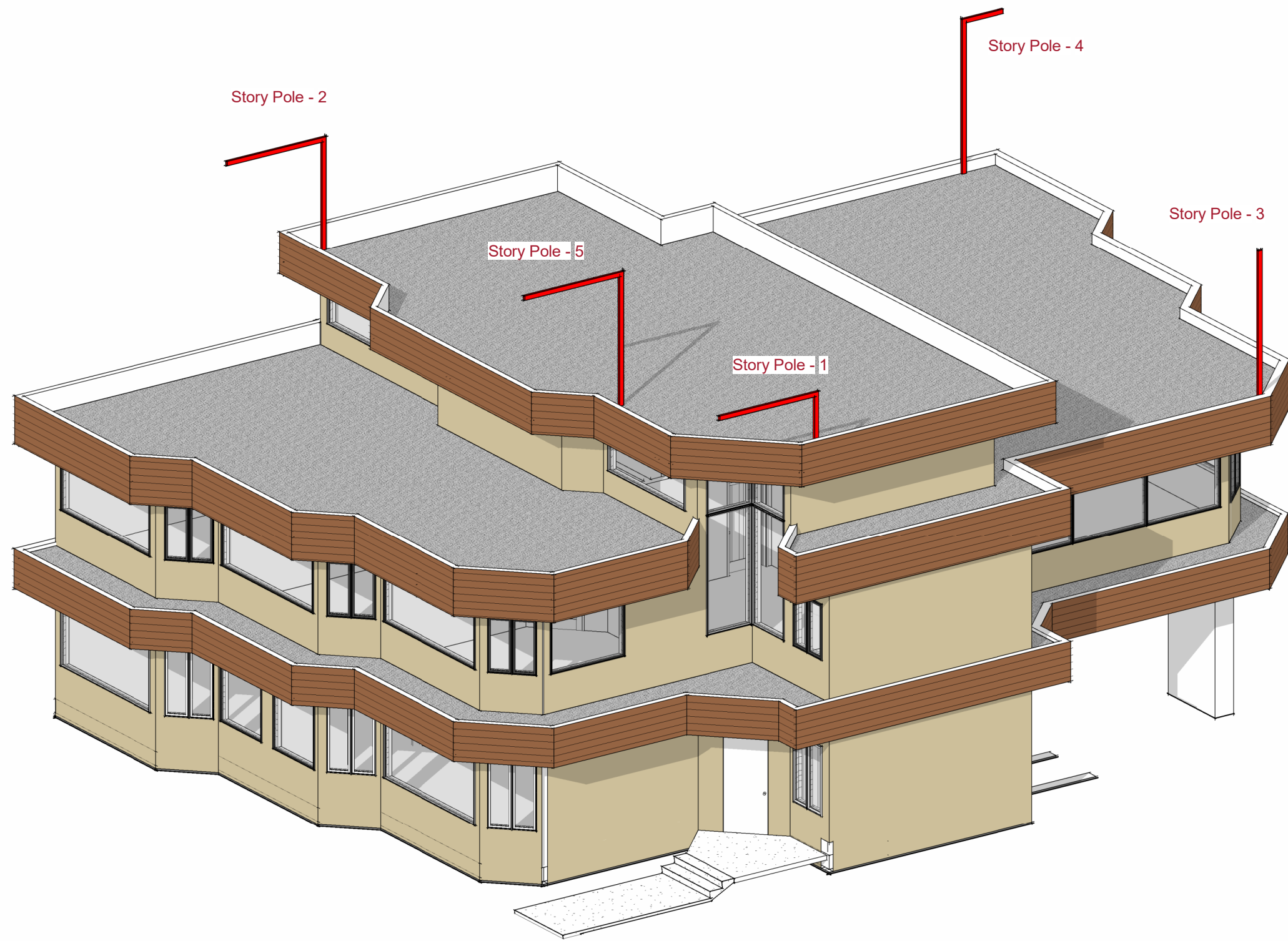
Respectfully,



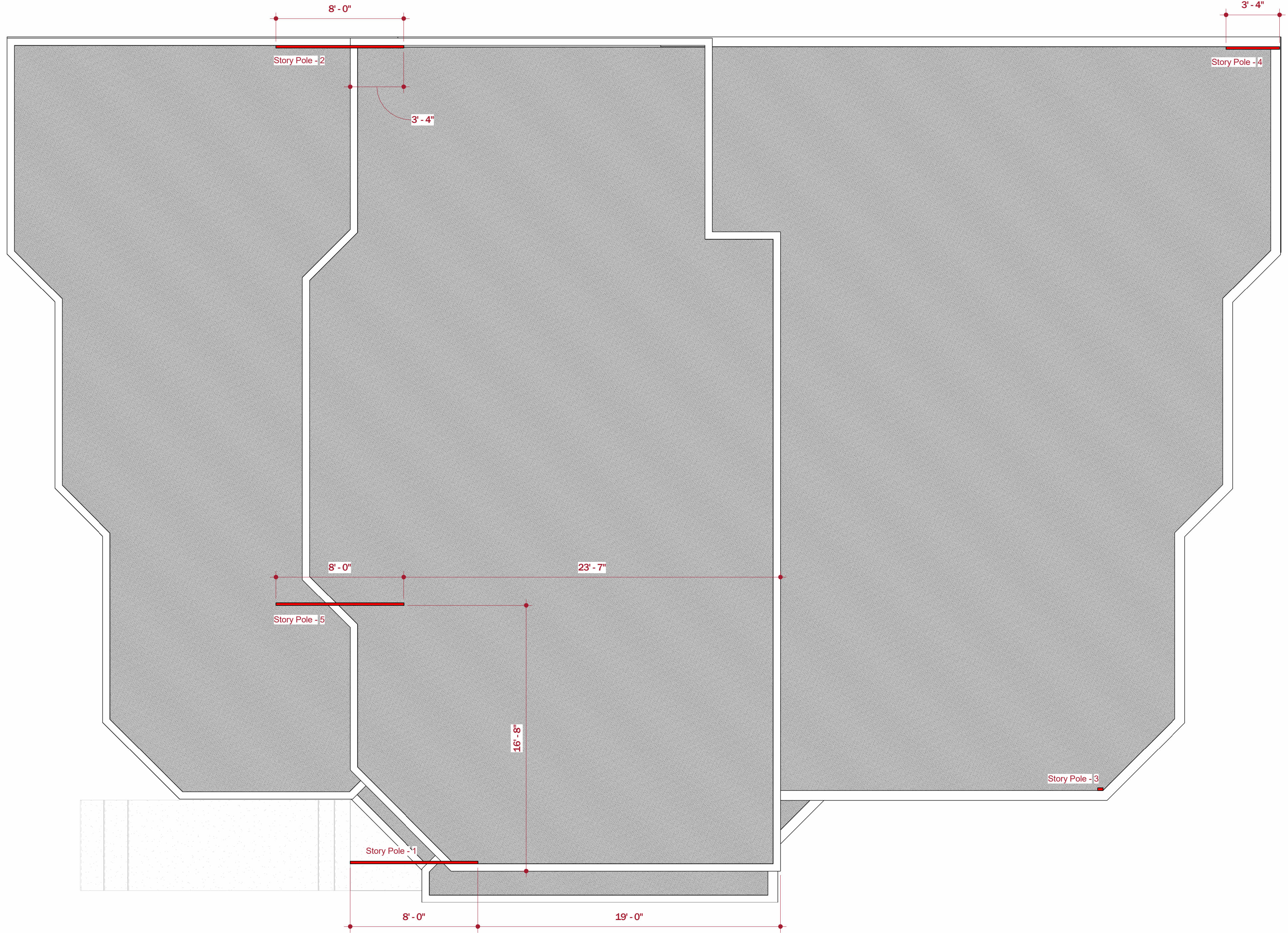
Mike Goitiandia
Clear Creek Disposal

.120 East Ave - 1

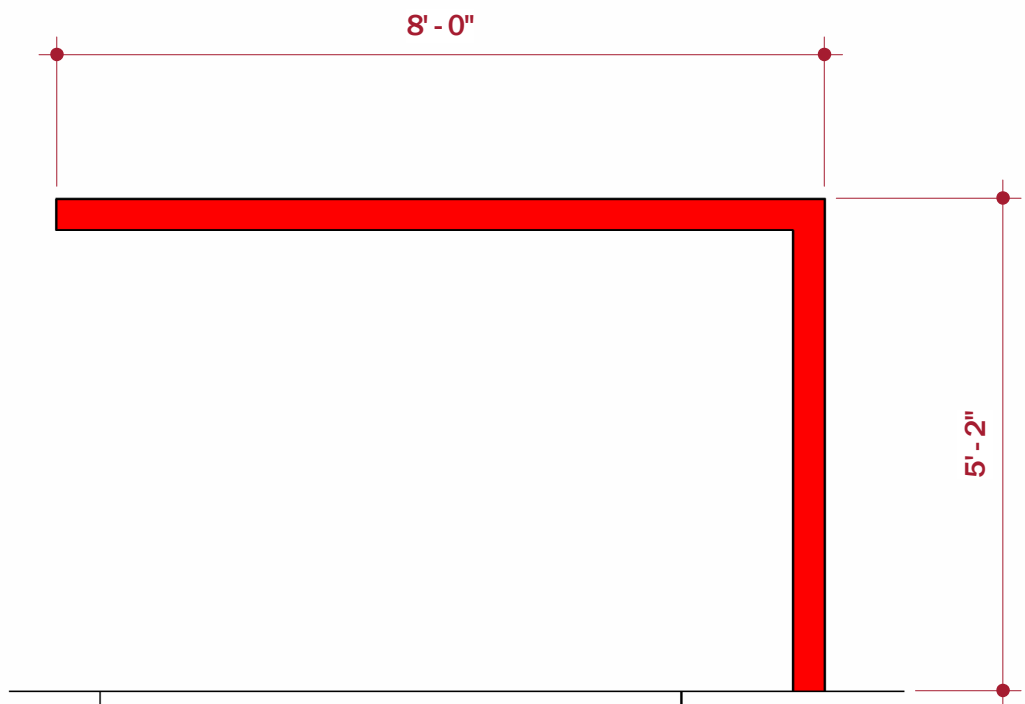




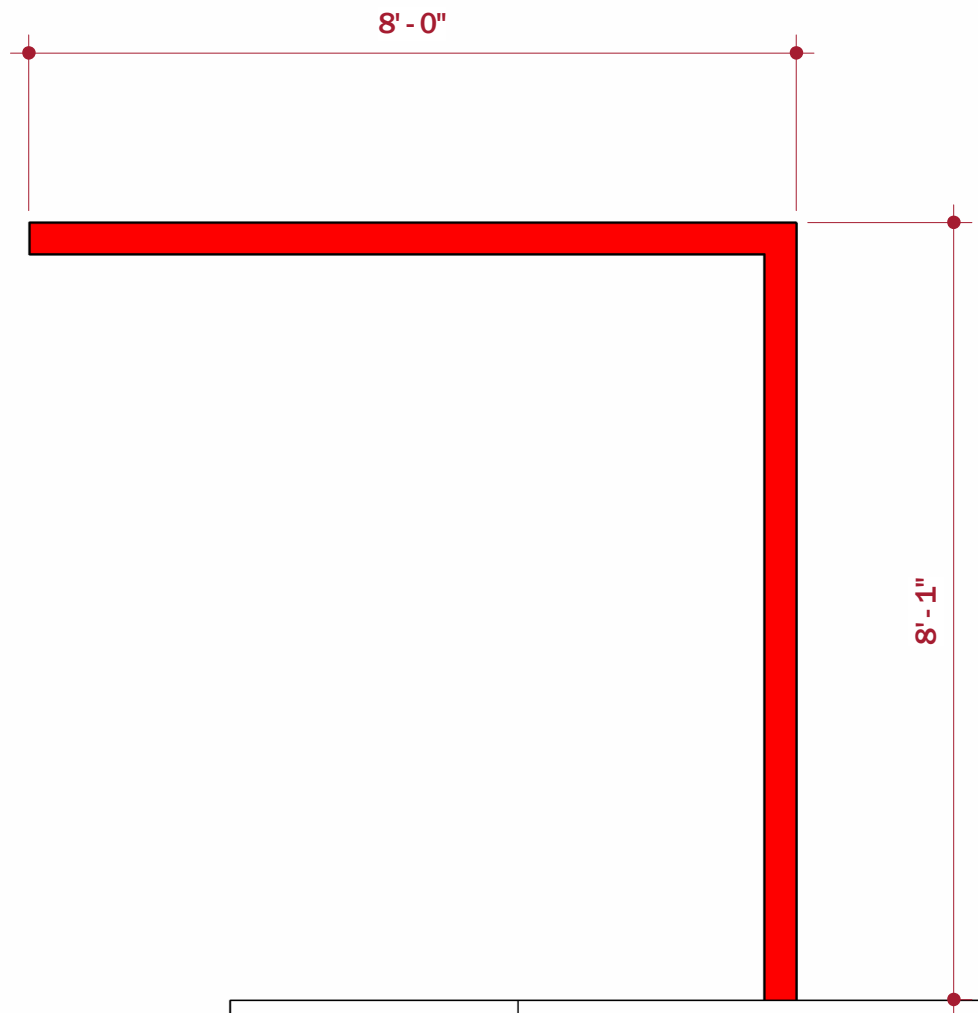
1 | 3d - story poles
sk-001



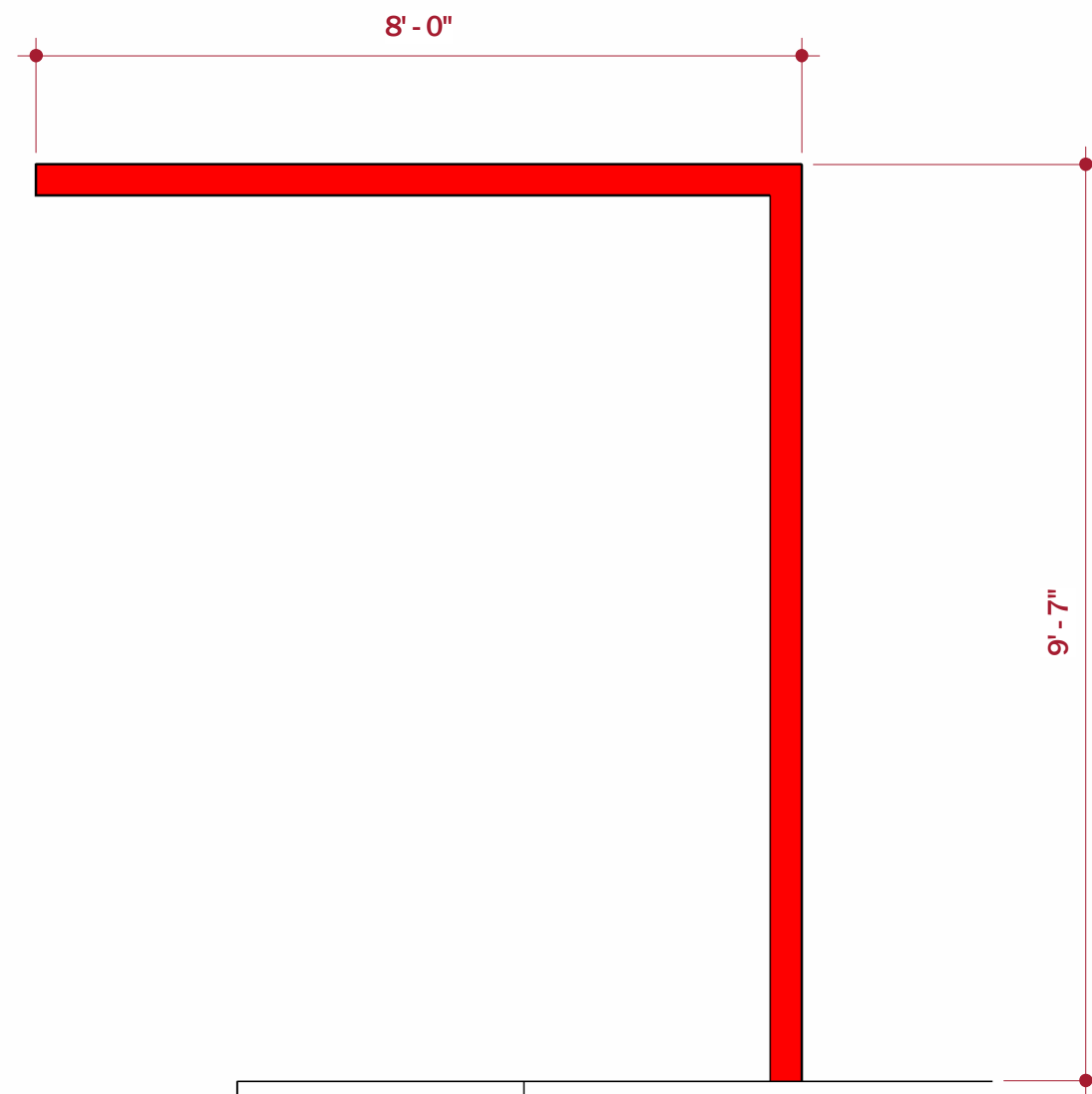
2 | roof plan - as-builts
sk-001 1/4" = 1'-0"



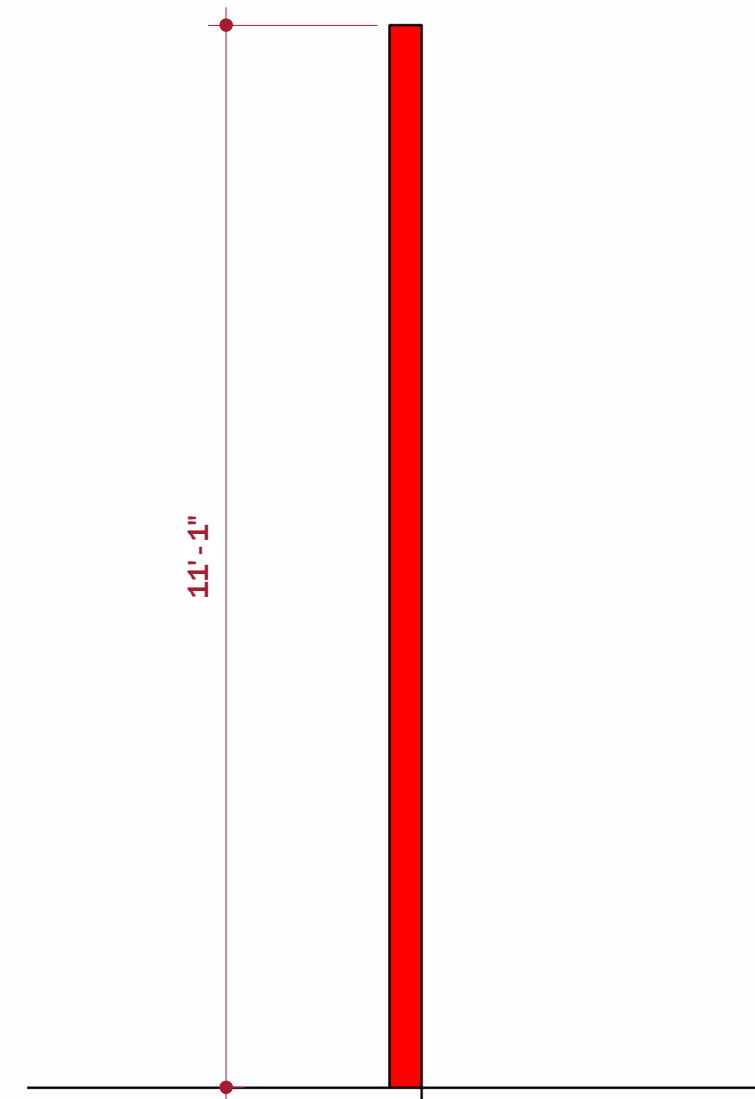
3 | elevation - story pole - 1
sk-001 1/2" = 1'-0"



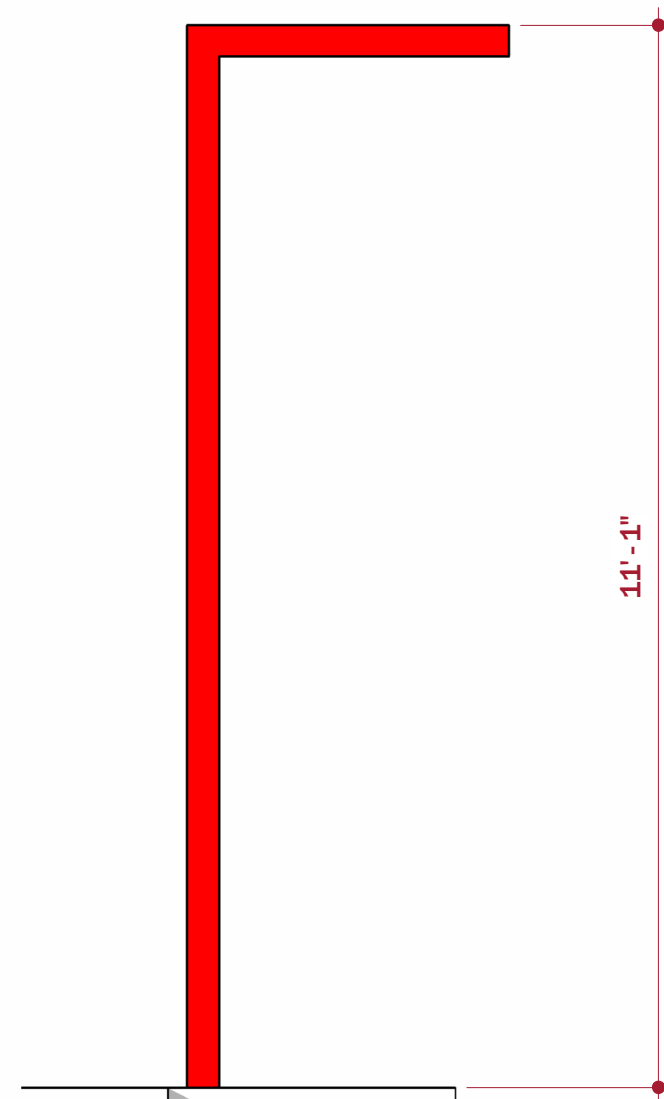
4 | elevation - story pole - 2
sk-001 1/2" = 1'-0"



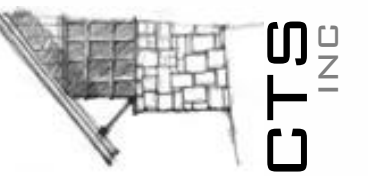
7 | elevation - story pole - 5
sk-001 1/2" = 1'-0"



5 | elevation - story pole - 3
sk-001 1/2" = 1'-0"



6 | elevation - story pole - 4
sk-001 1/2" = 1'-0"



BRUNELLE ARCHITECTS
INC

© 2020

120 N East LLC
PO Box 1204
Ketchum, Idaho
83340

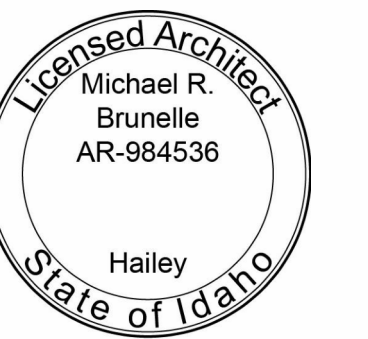
PROJECT:
120 N East LLC

120 N East Ave
Ketchum, Idaho
83340

Permit Set: 03/17/25
Construction Set: xx/xx/xx

REVISION DATE

NOTES:



story poles

SCALE: As indicated

sk-001

DRAWN BY: Author

Plot Date: 3/17/2025 12:46:54 PM

Attachment B

Application Materials:
Design Review Plan Set

Project Team

Owner

120 N East LLC
120 N East Avenue
Ketchum, ID 83340

Contractor

Peak Venture Group, LLC
Cody Colombo
120 N. Leadville
Ketchum, ID 83340
208/481-1189
cody@peakvg.com

Architect

Brunelle Architects
Mike Brunelle
190 Cranbrook Rd
P.O. Box 3204
Hailey, ID 83333
208/589-0771
mike@brunellearchitects.com

Civil Engineering

Galena-Benchmark Engineering
Contact - David Patrie
P.O. Box 733
Ketchum, ID 83340
208/726-9512
208/481-8287
dave@galena-benchmark.com

Structural Engineer

Maxwell Structural Design Studio
Craig Maxwell P.E.
105 Lewis Street, Unit 205
Ketchum, ID 83340
P.O. Box 1911
Sun Valley, ID 83353
208/721-2171
craig@maxwellsds.com

Index of Drawings

CS	cover sheet
TOPO	Survey
C1.00	Site Improvement Plan
L-100	Site Plan
A-000	as-builts images
A-000a	site panoramas
A-001	as-builts
A-002	project/FAR information
A-003	photometric study - building
A-004	photometric study - roadway
A-100a	floor plan - basement
A-101a	floor plan - 1st floor
A-102a	floor plan - 2nd floor
A-103a	floor plan - 3rd floor
A-104	roof plan
A-201	elevations
A-202	elevations
A-203	elevations
A-204	elevations
E-100	electrical

120 Cranbrook Rd
P.O. Box 3204
Hailey, Idaho
83333-0204
p. 208.589.0771

1/2025

PROJECT:
120 N East LLC

120 N East Ave
Ketchum, Idaho
83340

Permit Set: 02/06/2025

Construction Set: xx/xx/xx

REVISION DATE

NOTES:



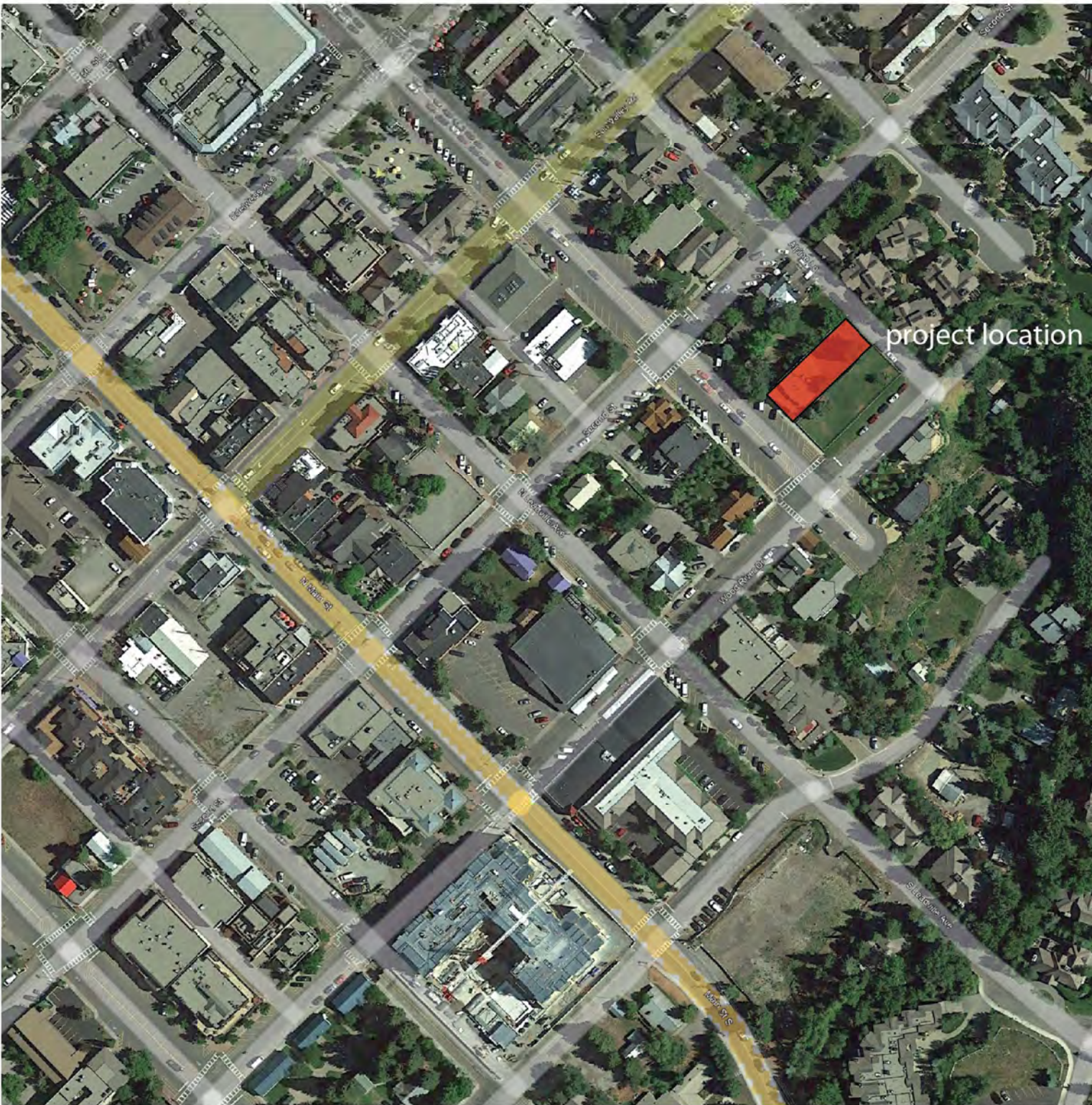
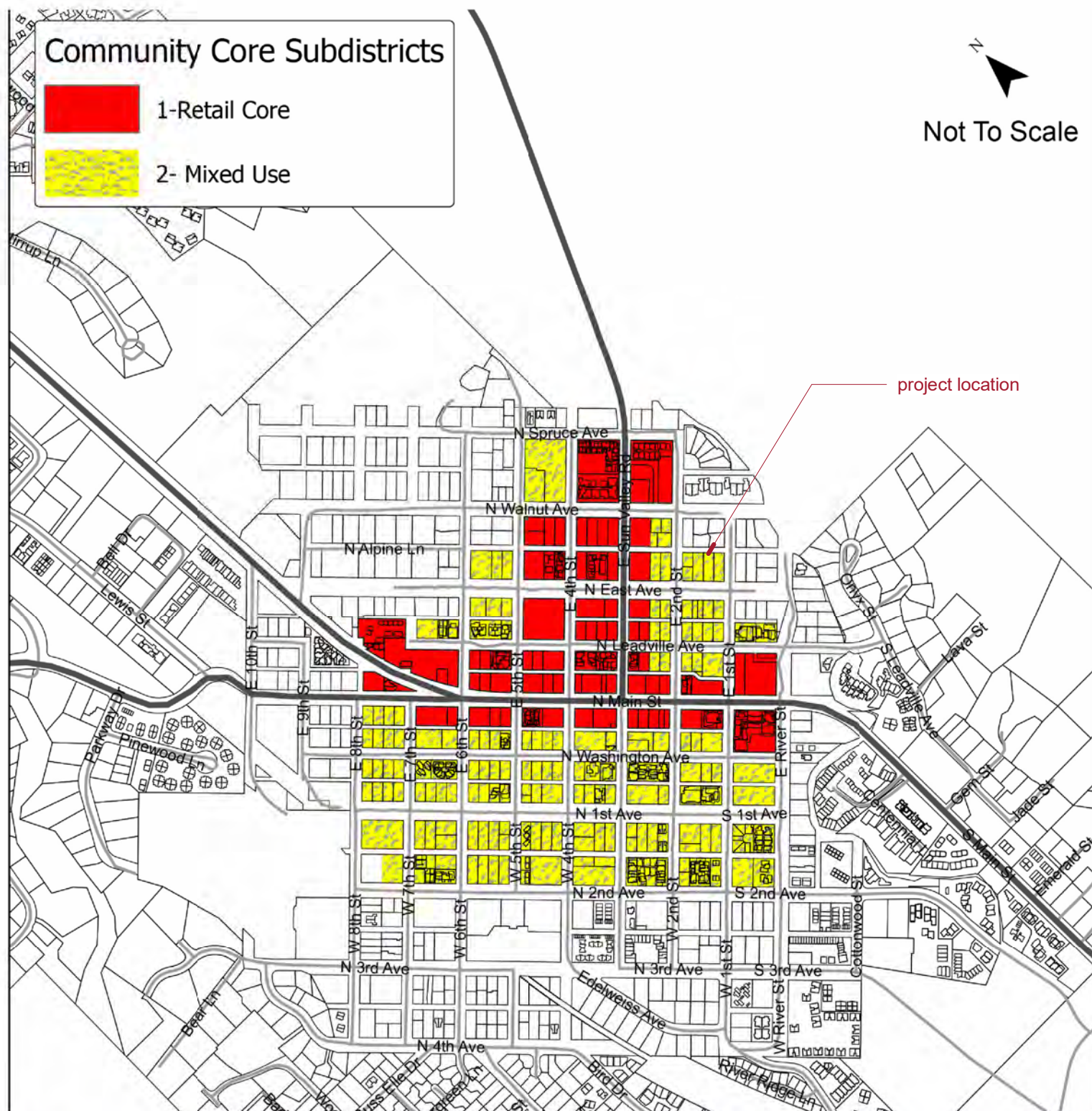
cover sheet

SCALE: As indicated

CS

DRAWN BY: Author

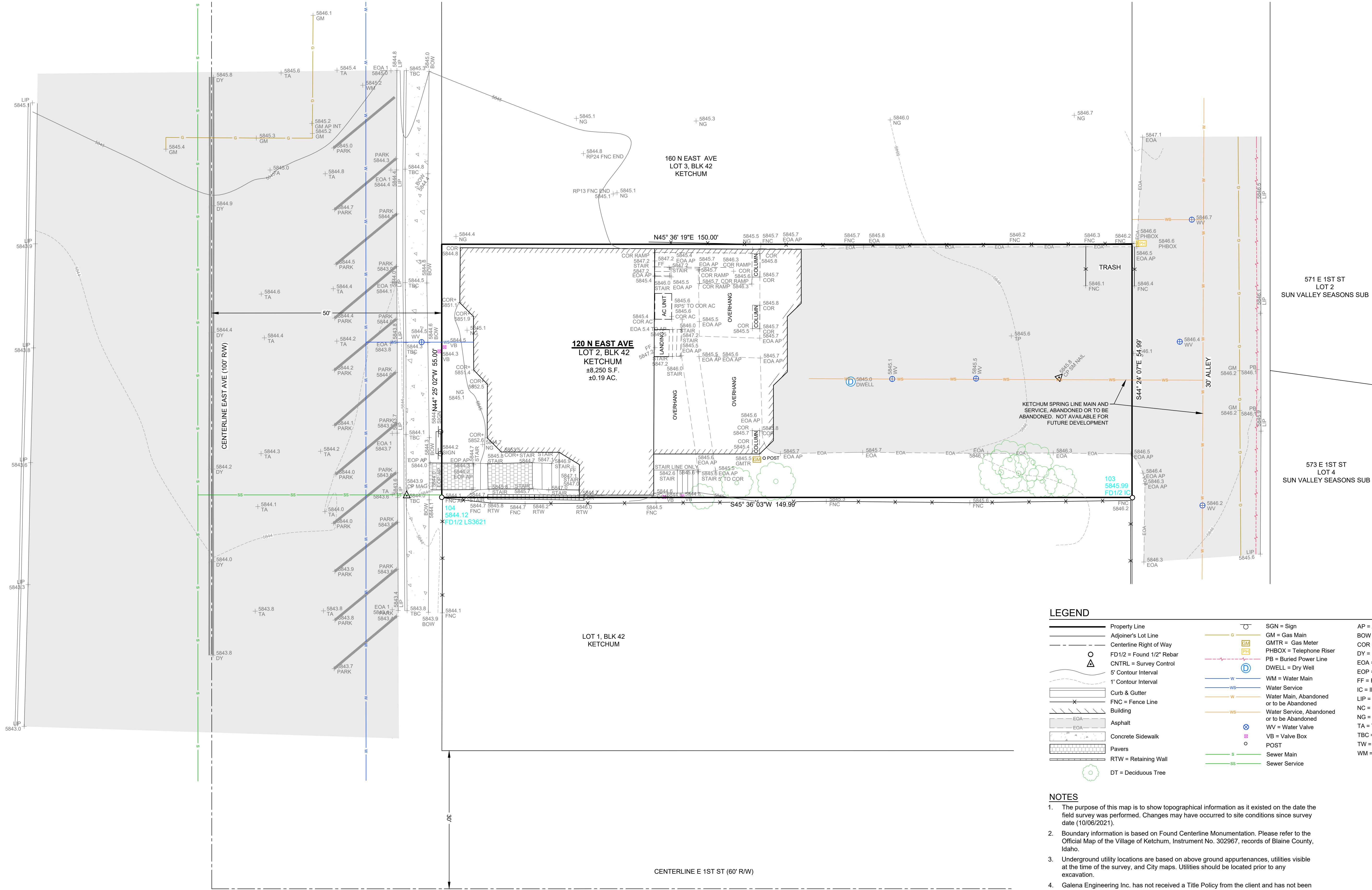
PLOT DATE: 2/6/2025 3:58:29 PM



120 N East LLC
120 N East Ave
Ketchum, Idaho
83340

BRUNELLE ARCHITECTS, INC
MIKE BRUNELLE
190 CRANBROOK RD
PO BOX 3204
HAILEY, IDAHO
83333
P. 208.589.0771
MIKE@BRUNELLEARCHITECTS.COM

REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any Project or extensions of this Project except by agreement in writing with Galena Engineering, Inc..

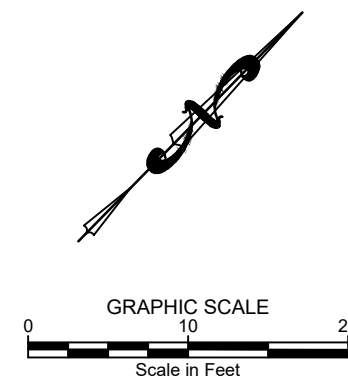


LEGEND

Property Line	SGN = Sign	AP = Angle Point
Adjoiner's Lot Line	GM = Gas Main	BOW = Back of Walk
Centerline Right of Way	GMTR = Gas Meter	COR = Corner
FD1/2 = Found 1/2" Rebar	PHBOX = Telephone Riser	DY = Double Yellow Paint Line
CNTRL = Survey Control	PB = Buried Power Line	EOA = Edge of Asphalt
5' Contour Interval	DWELL = Dry Well	EOP = Edge of Pavers
1' Contour Interval	WM = Water Main	FF = Finished Floor
Curb & Gutter	Water Service	IC = Illegible Cap
FNC = Fence Line	Water Main, Abandoned or to be Abandoned	LIP = Lip of Gutter
Building	Water Service, Abandoned or to be Abandoned	NC = No Cap
Asphalt	WV = Water Valve	NG = Natural Ground
Concrete Sidewalk	VB = Valve Box	TA = Top of Asphalt
Pavers	POST	TBC = Top Back of Curb
RTW = Retaining Wall	Sewer Main	TW = Top of Wall
DT = Deciduous Tree	Sewer Service	WM = Watermain

NOTES

- The purpose of this map is to show topographical information as it existed on the date the field survey was performed. Changes may have occurred to site conditions since survey date (10/06/2021).
- Boundary information is based on Found Centerline Monumentation. Please refer to the Official Map of the Village of Ketchum, Instrument No. 302967, records of Blaine County, Idaho.
- Underground utility locations are based on above ground appurtenances, utilities visible at the time of the survey, and City maps. Utilities should be located prior to any excavation.
- Galena Engineering Inc. has not received a Title Policy from the client and has not been requested to obtain one. Relevant information that may be contained within a Title Policy may therefore not appear on this map and may affect items shown hereon. It is the responsibility of the client to determine the significance of the Title Policy information and determine whether it should be included. If the client desires for the information to be included they must furnish said information to Galena Engineering, Inc. and request it be added to this map.
- Benchmark is top of 1/2" rebar marking the southwest corner of lot elevation = 5844.12. Vertical Datum is NAVD 1988.



A TOPOGRAPHIC MAP SHOWING 120 N EAST AVE, LOT 2, BLK 42 KETCHUM TOWNSITE

LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR GEORGE & CRISTINA BOURKIS

PROJECT INFORMATION
P:\ssk\proj\57121\10671\Topo\FS 1201-1067.dwg 10/24/21 10:45:55 AM



DESIGNED BY
IDV
DRAWN BY
SMF/MEP
CHECKED BY

GALENA
ENGINEERING, INC.
Civil Engineers & Land Surveyors
317 N. River Street
Hailey, Idaho 83333
(208) 788-1705
email galena@galena-engineering.com

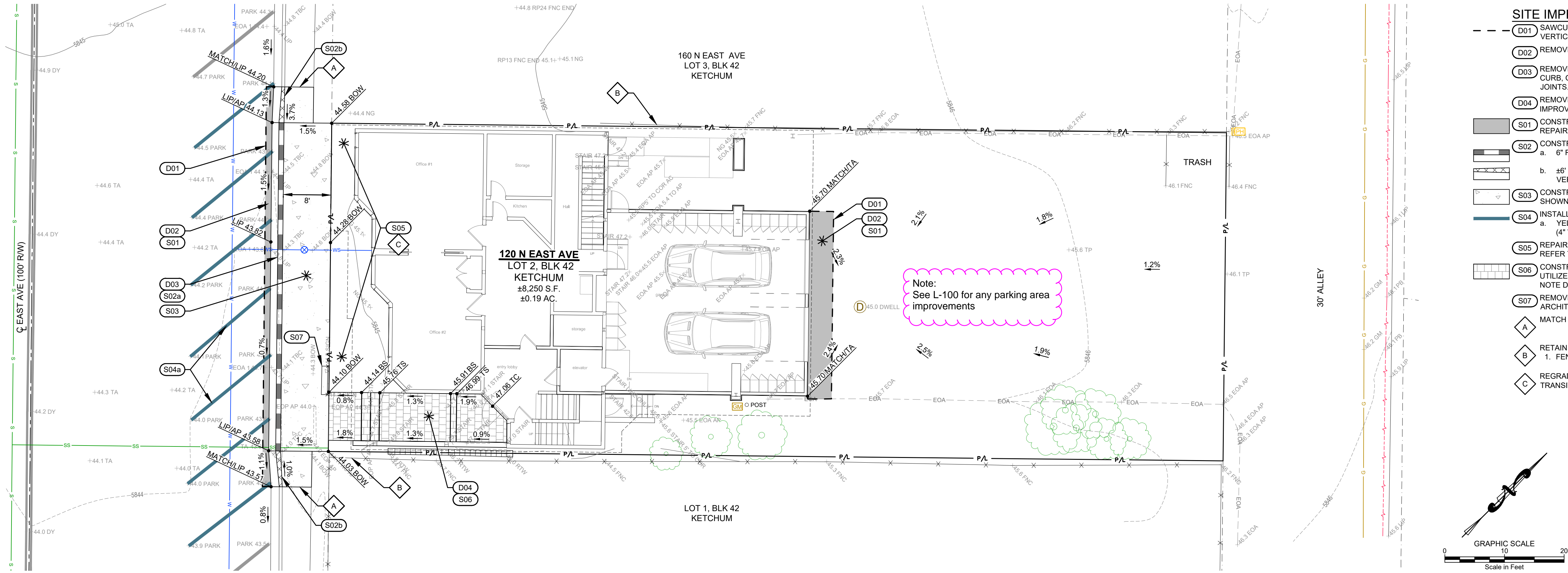
PURPOSE:		REVISIONS	
NO	DATE	BY	

TOPO

GENERAL CONSTRUCTION NOTES

- ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISPMC) AND CITY OF KETCHUM STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ISPMC AND CITY OF KETCHUM STANDARDS ON SITE DURING CONSTRUCTION.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES PRIOR TO COMMENCING AND DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL CALL DIGLINE (1-800-342-1585) TO LOCATE ALL EXISTING UNDERGROUND UTILITIES A MINIMUM OF 48 HOURS IN ADVANCE OF EXCAVATION.
- CONTRACTOR SHALL COORDINATE RELOCATIONS OF DRY UTILITY FACILITIES (POWER, CABLE, PHONE, TV) WITH THE APPROPRIATE UTILITY FRANCHISE.
- THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION (THIS MAY INCLUDE ENCROACHMENT PERMITS AND NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION GENERAL PERMIT (CGP) PERMIT COVERAGE).
- ALL CLEARING & GRUBBING SHALL CONFORM TO ISPMC SECTION 201.
- ALL EXCAVATION & EMBANKMENT SHALL CONFORM TO ISPMC SECTION 202. SUBGRADE SHALL BE EXCAVATED AND SHAPED TO LINE, GRADE, AND CROSS-SECTION SHOWN ON THE PLANS. THE SUBGRADE SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-698. THE CONTRACTOR SHALL WATER OR AERATE SUBGRADE AS NECESSARY TO OBTAIN OPTIMUM MOISTURE CONTENT. IN-LIEU OF DENSITY MEASUREMENTS, THE SUBGRADE MAY BE PROOF-ROLLED TO THE APPROVAL OF THE ENGINEER.
- PROOF-ROLLING: AFTER EXCAVATION TO THE SUBGRADE ELEVATION AND PRIOR TO PLACING COURSE GRAVEL, THE CONTRACTOR SHALL PROOF ROLL THE SUBGRADE WITH A 5-TON SMOOTH DRUM ROLLER, LOADED WATER TRUCK, OR LOADED DUMP TRUCK, AS ACCEPTED BY THE ENGINEER. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF UNSUITABLE SUBGRADE MATERIAL AREAS, AND/OR AREAS NOT CAPABLE OF COMPACTION ACCORDING TO THESE SPECIFICATIONS. UNSUITABLE OR DAMAGED SUBGRADE IS WHEN THE SOIL MOVES, PUMPS AND/OR DISPLACES UNDER ANY TYPE OF PRESSURE INCLUDING FOOT TRAFFIC LOADS.
- IF, IN THE OPINION OF THE ENGINEER, THE CONTRACTOR'S OPERATIONS RESULT IN DAMAGE TO, OR PROTECTION OF, THE SUBGRADE, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, REPAIR THE DAMAGED SUBGRADE BY OVER-EXCAVATION OF UNSUITABLE MATERIAL TO FIRM SUBSOIL, LINE EXCAVATION WITH GEOTEXTILE FABRIC, AND BACKFILL WITH PIT RUN GRAVEL.
- ALL 2" MINUS GRAVEL SHALL CONFORM TO ISPMC 802, TYPE II (ITD STANDARD 703.04, 2") SHALL BE PLACED IN CONFORMANCE WITH ISPMC SECTION 801 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99.
- ALL 3/4" MINUS CRUSHED GRAVEL SHALL CONFORM TO ISPMC 802, TYPE I (ITD STANDARD 703.04, 3/4" B), SHALL BE PLACED IN CONFORMANCE WITH ISPMC SECTION 802 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
- ALL ASPHALTIC CONCRETE PAVEMENT WORK SHALL CONFORM TO ISPMC SECTION(S) 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (13MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPMC SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPMC SECTION 805.
- ASPHALT SAWCUTS SHALL BE AS INDICATED ON THE DRAWINGS, OR 24" INCHES FROM EDGE OF EXISTING ASPHALT, IF NOT INDICATED OTHERWISE SO AS TO PROVIDE A CLEAN PAVEMENT EDGE FOR MATCHING. NO WHEEL CUTTING SHALL BE ALLOWED. PRIOR TO REPLACING ASPHALT, THE UNDERLYING SURFACE INCLUDING VERTICAL SAWCUT JOINTS SHALL BE CLEANED OF ALL DEBRIS AND A TACK COAT SHALL BE APPLIED TO ALL CURBS, SAWCUTS, OR OVERLAY SURFACES.

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A TRAFFIC CONTROL PLAN FOR APPROVAL BY THE CITY OF KETCHUM PRIOR TO CONSTRUCTION. THE TRAFFIC CONTROL PLAN SHALL BE PER THE CURRENT EDITION OF THE US DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL CONCRETE WORK SHALL CONFORM TO ISPMC SECTIONS 701, 703, AND 705. ALL CONCRETE SHALL BE 3,000 PSI MINIMUM, 28 DAY, AS DEFINED IN ISPMC SECTION 703, TABLE 1. IMMEDIATELY AFTER PLACEMENT PROTECT CONCRETE BY APPLYING MEMBRANE-FORMING CURING COMPOUND, TYPE 2, CLASS A PER ASTM C 309-04. APPLY CURING COMPOUND PER MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS.
- PER IDAHO CODE § 55-1613, THE CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS; ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS THAT ARE LOST OR DISTURBED BY CONSTRUCTION SHALL BE REESTABLISHED AND RE-MONUMENTED, AT THE EXPENSE OF THE AGENCY OR PERSON CAUSING THEIR LOSS OR DISTURBANCE AT THEIR ORIGINAL LOCATION OR BY SETTING OF A WITNESS CORNER OR REFERENCE POINT OR A REPLACEMENT BENCHMARK OR CONTROL POINT, BY OR UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIRING A MATERIALS TESTING COMPANY DURING CONSTRUCTION TO VERIFY ALL COMPACTION AND MATERIAL PLAN AND SPECIFICATION REQUIREMENTS ARE MET. QUALITY CONTROL DOCUMENTATION OF TESTING FOR WORK IN RIGHT-OF-WAY MEETING CITY OF KETCHUM CODE SECTION 12.04.040 (CONCRETE, AGGREGATE BASE COMPACTION, ASPHALT COMPACTION) WILL BE NECESSARY FOR CERTIFICATE OF OCCUPANCY.
- NO SNOWMELT INSTALLATIONS ARE TO OCCUR WITHIN CITY OF KETCHUM ROW.
- BOUNDARY INFORMATION AND TOPOGRAPHIC DATA SHOWN HEREON ARE PER A SURVEY CONDUCTED BY GALENA ENGINEERING 10/06/2021. SITE CONDITIONS MAY HAVE CHANGED SINCE THE DATE OF SURVEY. CONTRACTOR TO NOTIFY ENGINEER OF ANY DISCREPANCIES THAT AFFECT THE SCOPE OF WORK.



- SITE IMPROVEMENT KEY NOTES**
- D01 SAWCUT ASPHALT TO PROVIDE FOR A CLEAN VERTICAL EDGE.
 - D02 REMOVE AND DISPOSE OF EXISTING ASPHALT.
 - D03 REMOVE AND DISPOSE OF EXISTING CONCRETE CURB, GUTTER, AND SIDEWALK. UTILIZE EXISTING JOINTS.
 - D04 REMOVE AND RETAIN PAVERS. REFER TO SITE IMPROVEMENT KEY NOTE S06.
 - S01 CONSTRUCT ASPHALT ROADWAY / ASPHALT REPAIR. SEE DETAIL 1, THIS SHEET.
 - S02 CONSTRUCT CONCRETE CURB AND GUTTER
 - a. 6" ROLLED C&G PER DETAIL 2, THIS SHEET.
 - b. ±6" OF CURB TRANSITION (BETWEEN 6" VERTICAL C&G AND 6" ROLLED C&G).
 - S03 CONSTRUCT CONCRETE SIDEWALK. WIDTH AS SHOWN HEREON. SEE DETAIL 3, THIS SHEET.
 - S04 INSTALL ROAD STRIPING / PAINT
 - a. YELLOW ASPHALT PARKING STRIPING (4" WIDE). MATCH CITY PATTERNS.
 - S05 REPAIR IRRIGATION SYSTEM AND LANDSCAPING. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
 - S06 CONSTRUCT PAVEMENT SIDEWALK AND STEPS. UTILIZE PAVERS FROM SITE IMPROVEMENT KEY NOTE D04. REFER TO DETAIL 4, THIS SHEET.
 - S07 REMOVE, RETAIN, AND RELOCATE SIGN. SEE ARCHITECTURAL PLANS FOR DETAILS.
 - A MATCH EXISTING LINES AND GRADES
 - B RETAIN AND PROTECT
 - 1. FENCE
 - C REGRADE AREA TO PROVIDE FOR A SMOOTH TRANSITION.

LEGEND

- | | |
|-------------------------|-------------------------|
| Property Line | GM = Gas Main |
| Adjoiner's Lot Line | GMTR = Gas Meter |
| Centerline Right of Way | PHBOX = Telephone Riser |
| 5' Contour Interval | PB = Buried Power Line |
| 1' Contour Interval | DWELL = Dry Well |
| Curb & Gutter | WM = Water Main |
| FNC = Fence Line | Water Service |
| Asphalt | WV = Water Valve |
| Concrete Sidewalk | POST |
| RTW = Retaining Wall | S = Sewer Main |
| Deciduous Tree | SS = Sewer Service |
| Building Overhead Line | |

ABBREVIATIONS

- | | |
|-------------------------------|------------------------|
| AP = Angle Point | NC = No Cap |
| BOW = Back of Walk | NG = Natural Ground |
| BS = Bottom of Step | TA = Top of Asphalt |
| COR = Corner | TBC = Top Back of Curb |
| DY = Double Yellow Paint Line | TC = Top of Concrete |
| EOA = Edge of Asphalt | TS = Top of Step |
| EOP = Edge of Pavers | TW = Top of Wall |
| FF = Finished Floor | WM = Watermain |
| IC = Illegible Cap | |
| LIP = Lip of Gutter | |

NOTES:

- SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
- MATERIALS SHALL CONFORM WITH CURRENT ISPMC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
- PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.

1 TYPICAL ASPHALT SECTION
N.T.S.

NOTES:

- SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
- MATERIALS SHALL CONFORM WITH CURRENT ISPMC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
- PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
- 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADI.
- CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FOOT MAXIMUM SPACING (8-FOOT WISIDEWALK).

2 6" CONCRETE ROLLED CURB & GUTTER
N.T.S.

NOTES:

- SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
- MATERIALS SHALL CONFORM WITH CURRENT ISPMC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
- PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
- 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADI.
- CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FOOT MAXIMUM SPACING (8-FOOT WISIDEWALK).

3 TYPICAL CONCRETE SIDEWALK SECTION
N.T.S.

4 PAVER DETAIL
N.T.S.

SITE IMPROVEMENT PLAN
120 N EAST AVE

WITHIN LOT 2, BLK 42, KETCHUM TOWNSHIP, SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR: CHRISTINA & GEORGE BOURKES

PROJECT INFORMATION
G:\BNA\Ketchum Village\block 42\Lot 224\008 - 120 N East Ave\Work\Construction\0408 ENG 2024-05-18.dwg 001/024 10-17-24 AM

PRELIMINARY
NOT FOR
CONSTRUCTION

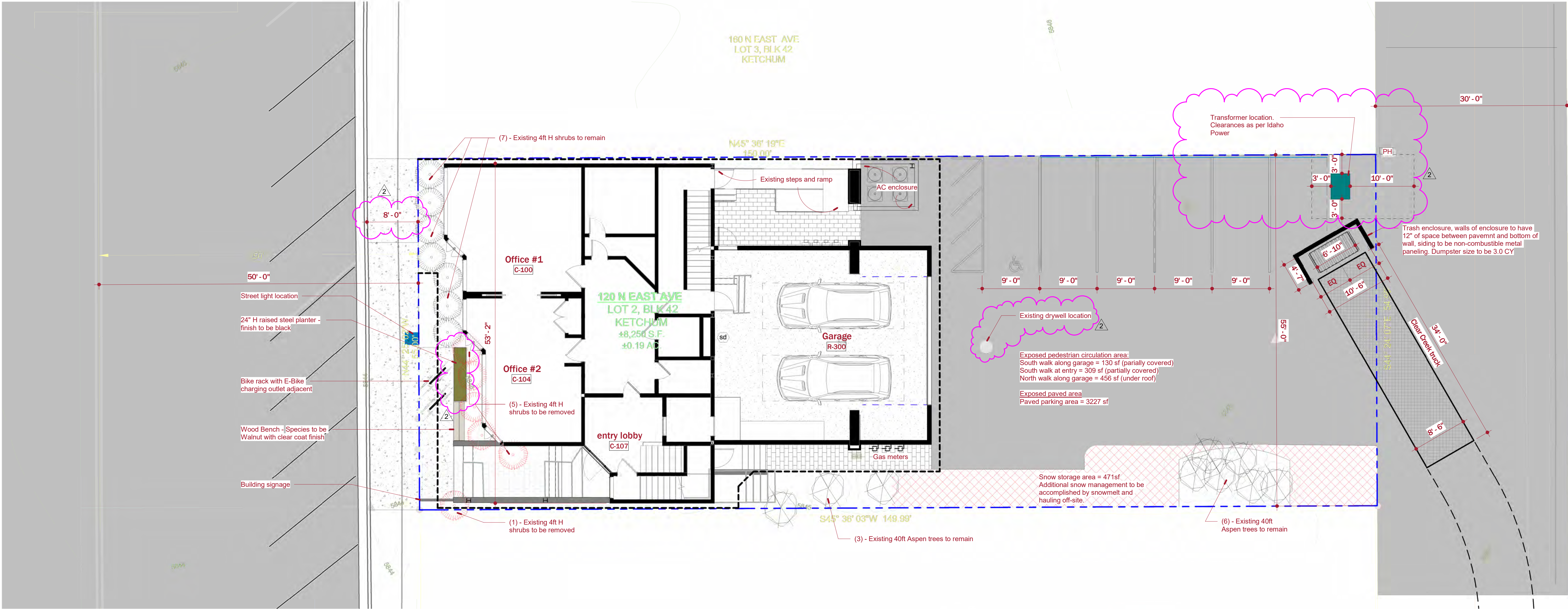
DESIGNED BY:
DRAWN BY:
CHECKED BY:
SURVEY DATE:

GALENA-BENCHMARK ENGINEERING
Civil Engineers & Land Surveyors
100 Bell Drive
Ketchum, ID 83340
(208) 726-9512
www.benchmark-associates.com

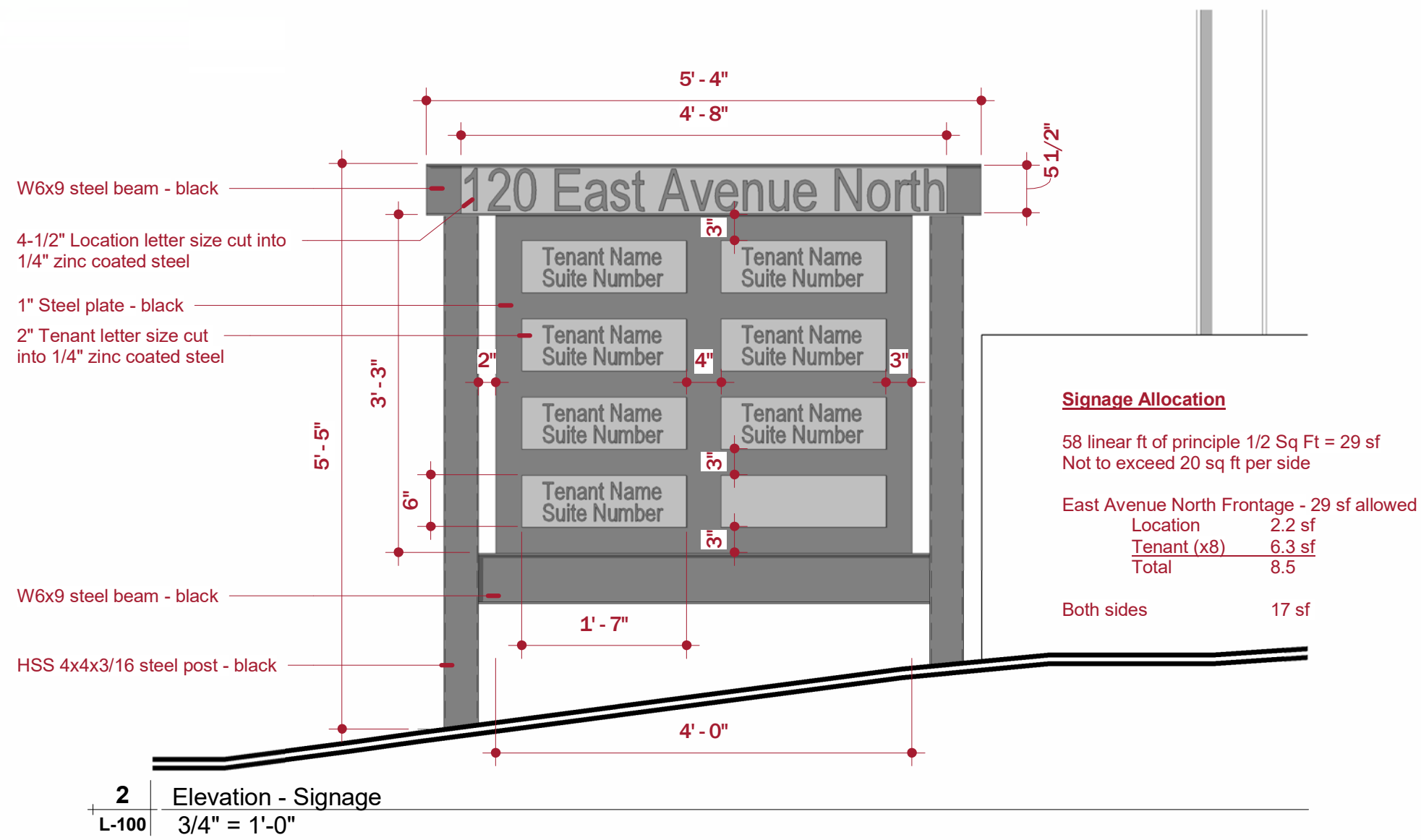
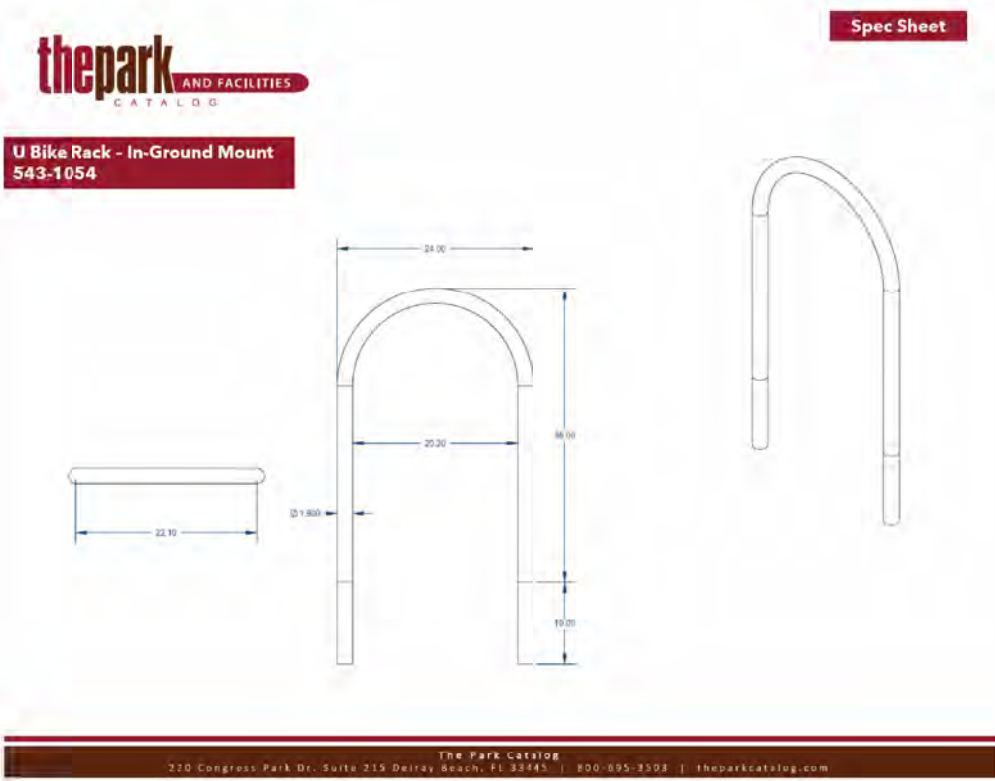
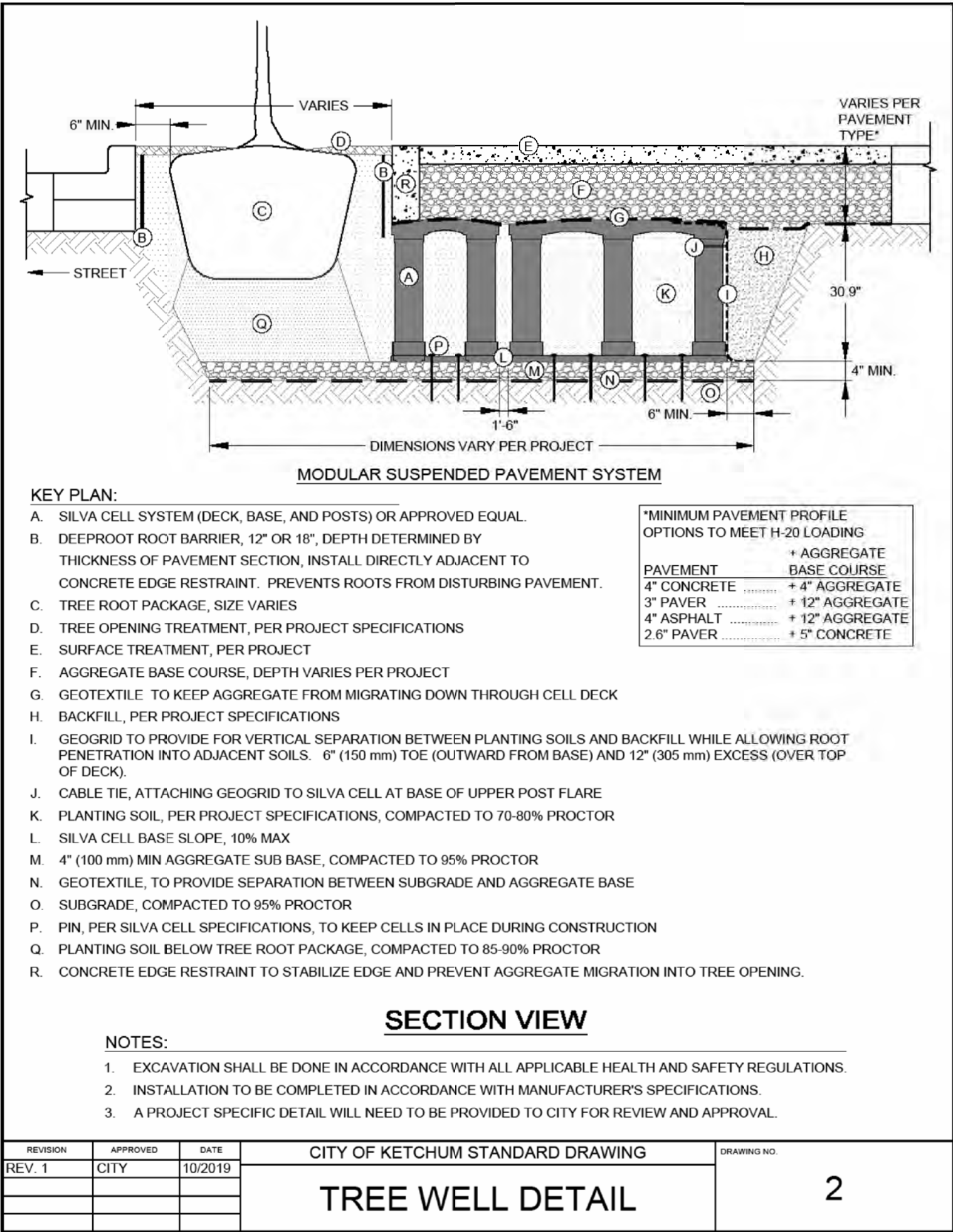
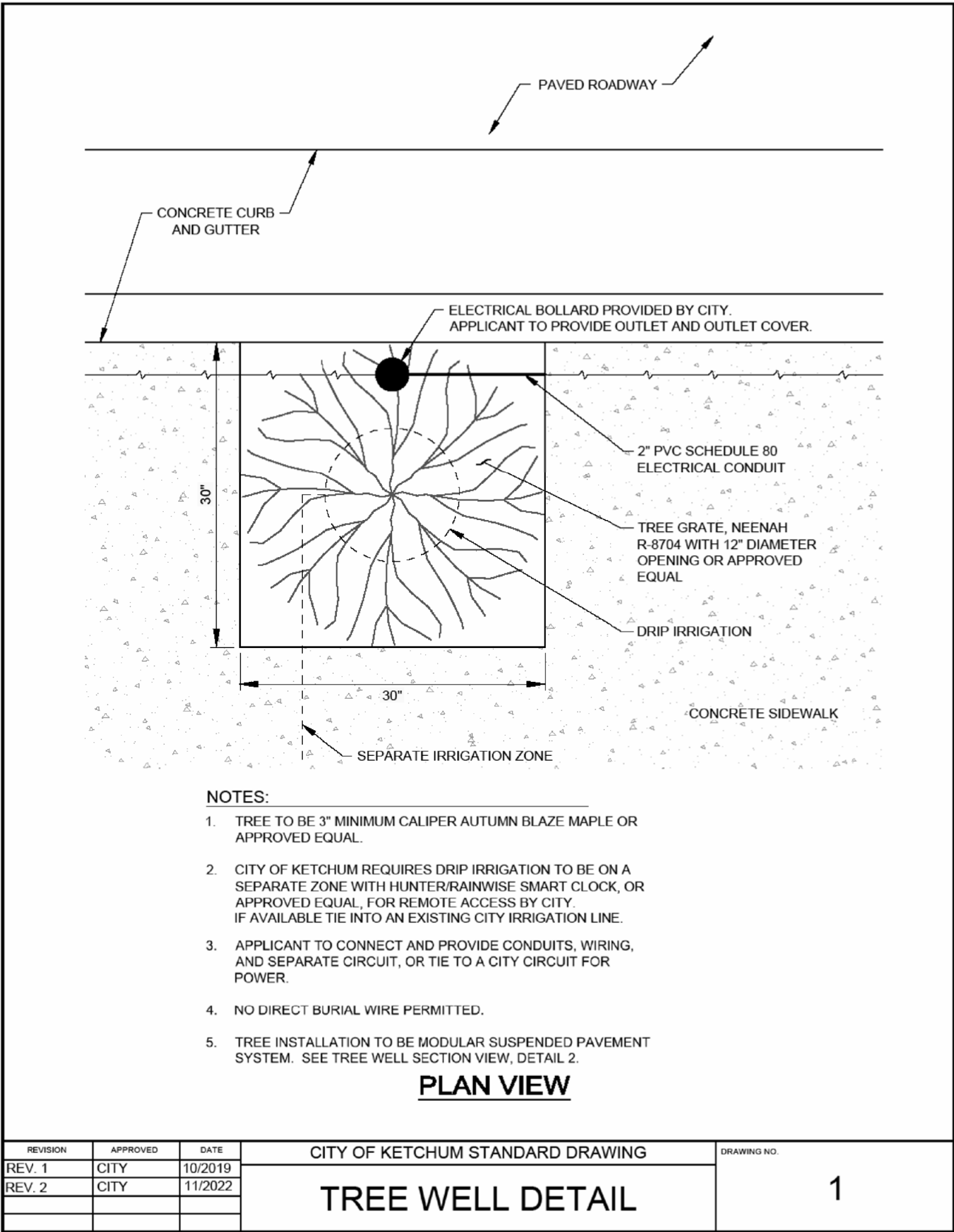
GALENA-BENCHMARK ENGINEERING PLANS
ELEVATION ABOVE SEA LEVEL IN FEET

PURPOSE: ISSUE FOR REVIEW		REVISIONS	
NO.	DATE	BY	

C1.00



1 Site Plan
1/8" = 1'-0"





PROJECT:
120 N East LLC

120 N East Ave
Ketchum, Idaho
83340

Permit Set: 02/06/2025
Construction Set: xx/xx/xx

REVISION DATE

NOTES:



as-builts
images

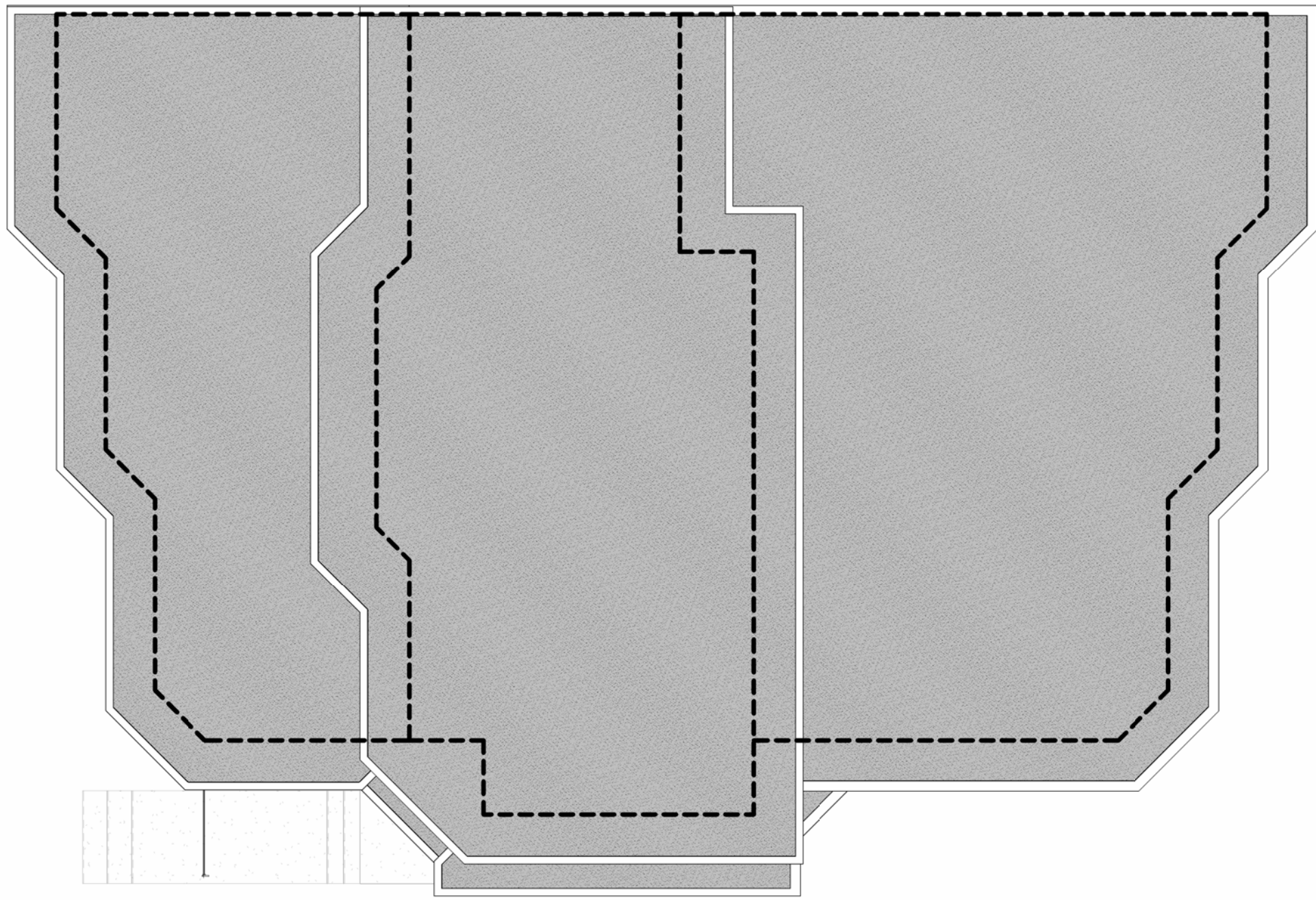
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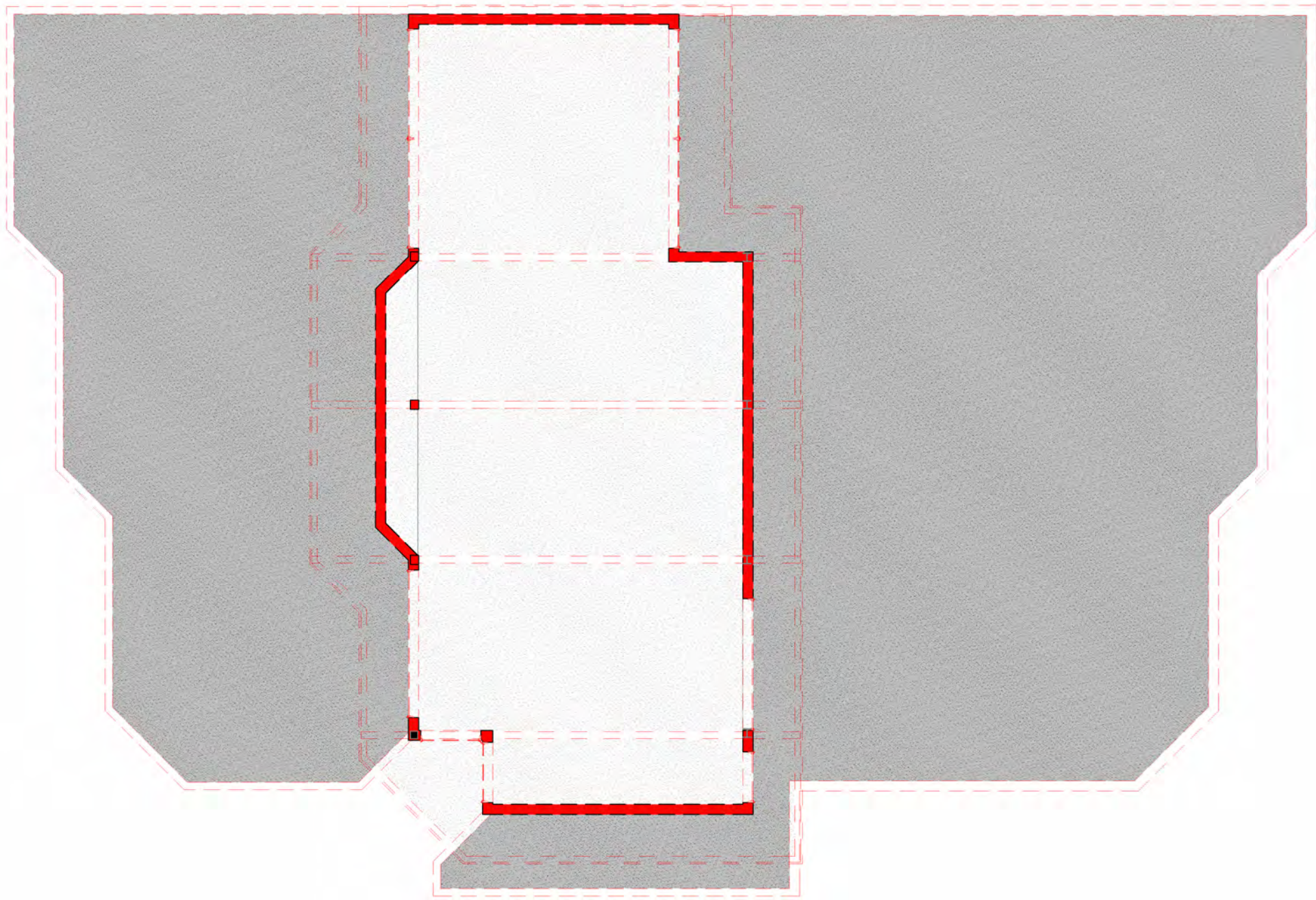
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Plot Date: 2/6/2025 3:59:37 PM





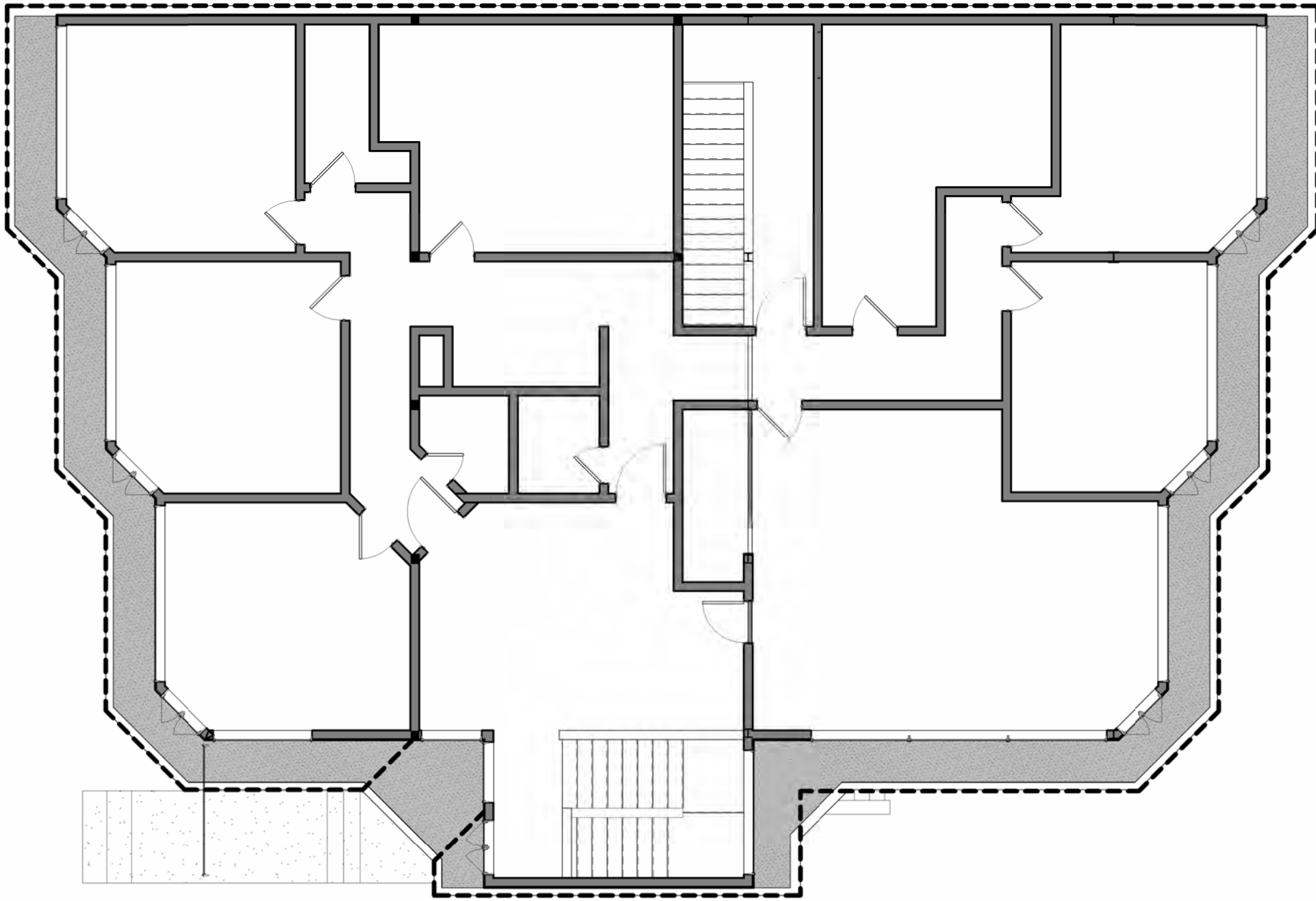
1 | roof plan - as-builts
A-001 | 1/8" = 1'-0"



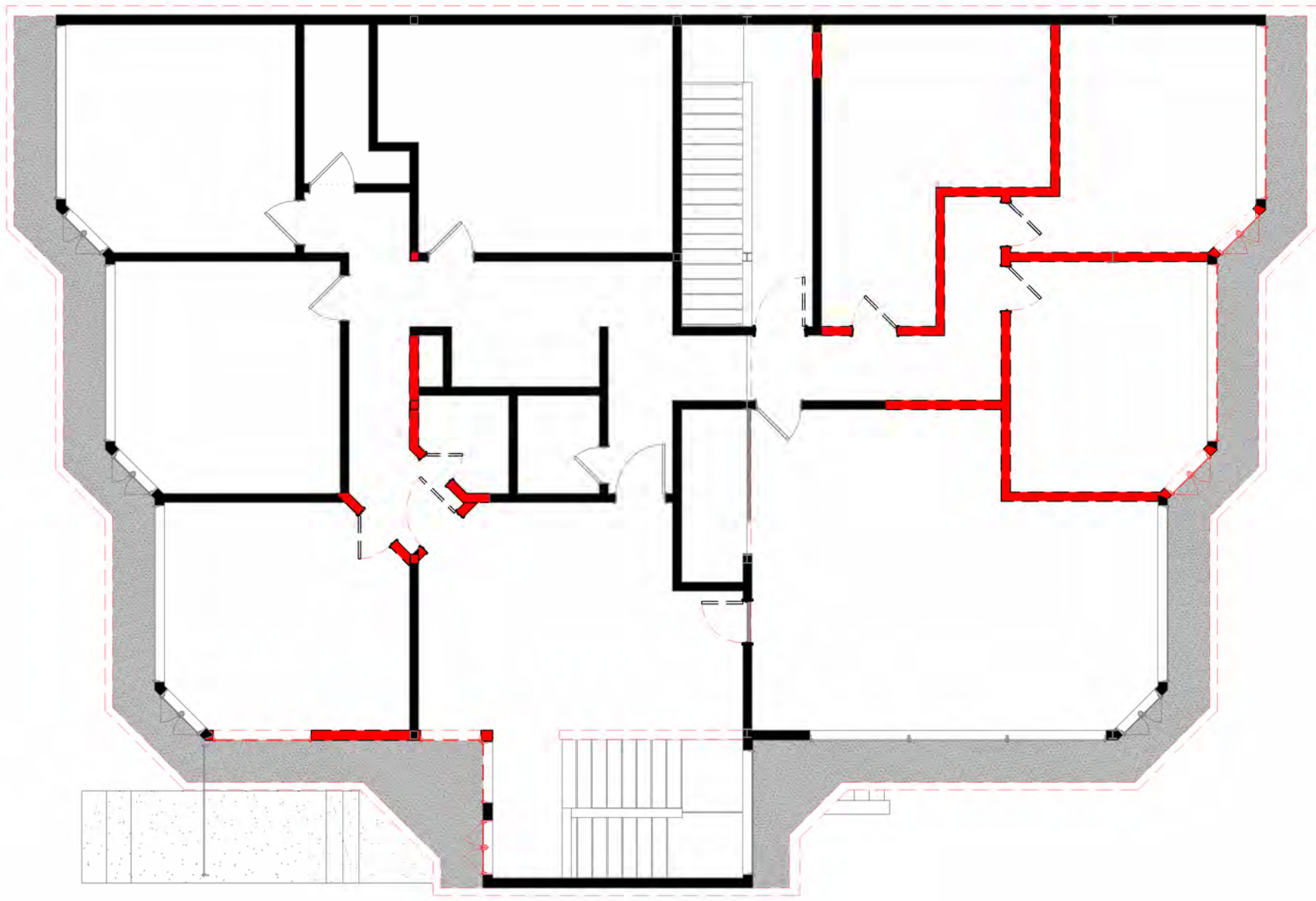
2 | demolition plan - 3rd level
A-001 | 1/8" = 1'-0"



3 | floor plan - 3rd floor - remodel
A-001 | 1/8" = 1'-0"



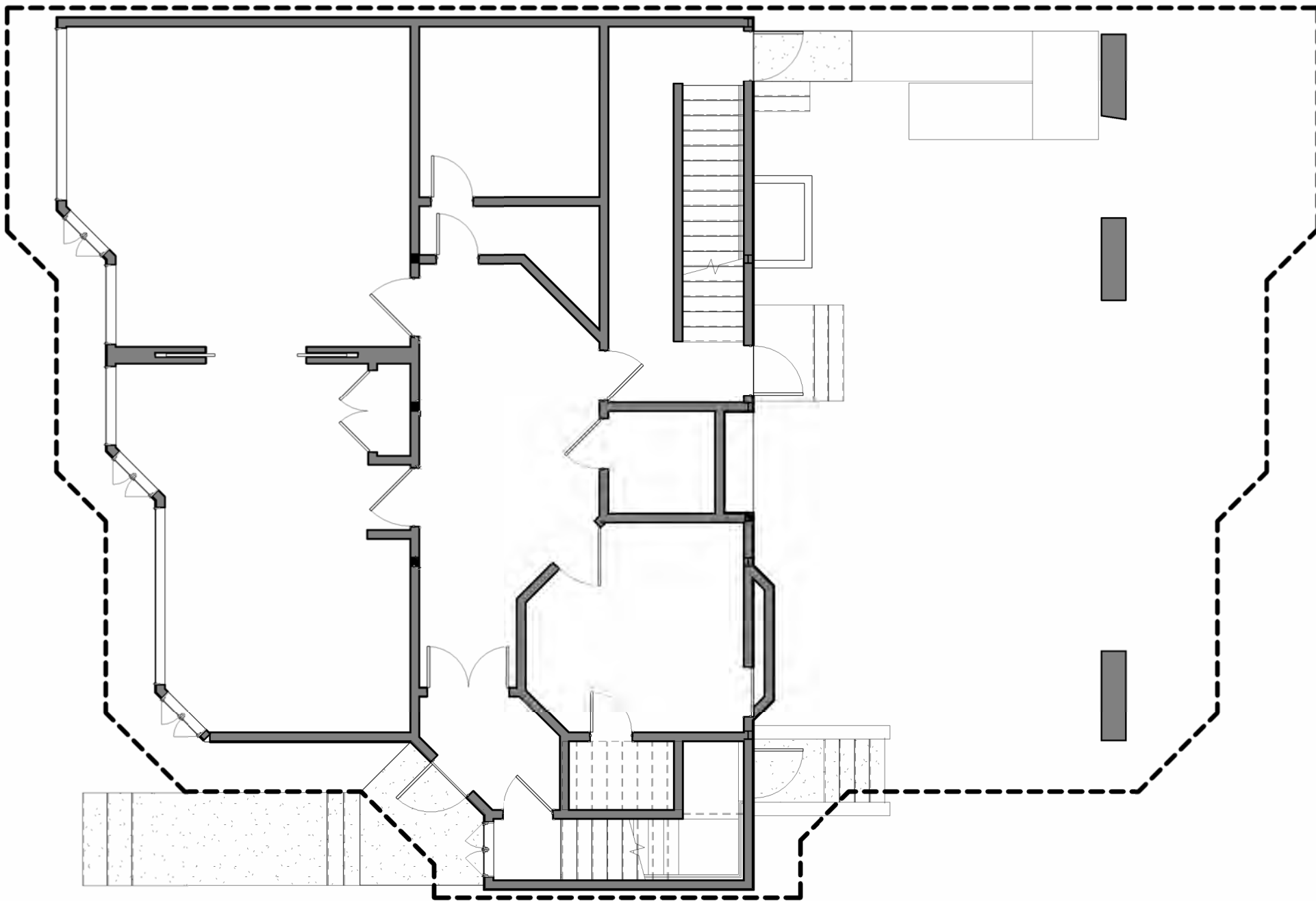
4 | floor plan - 2nd level - as-builts
A-001 | 1/8" = 1'-0"



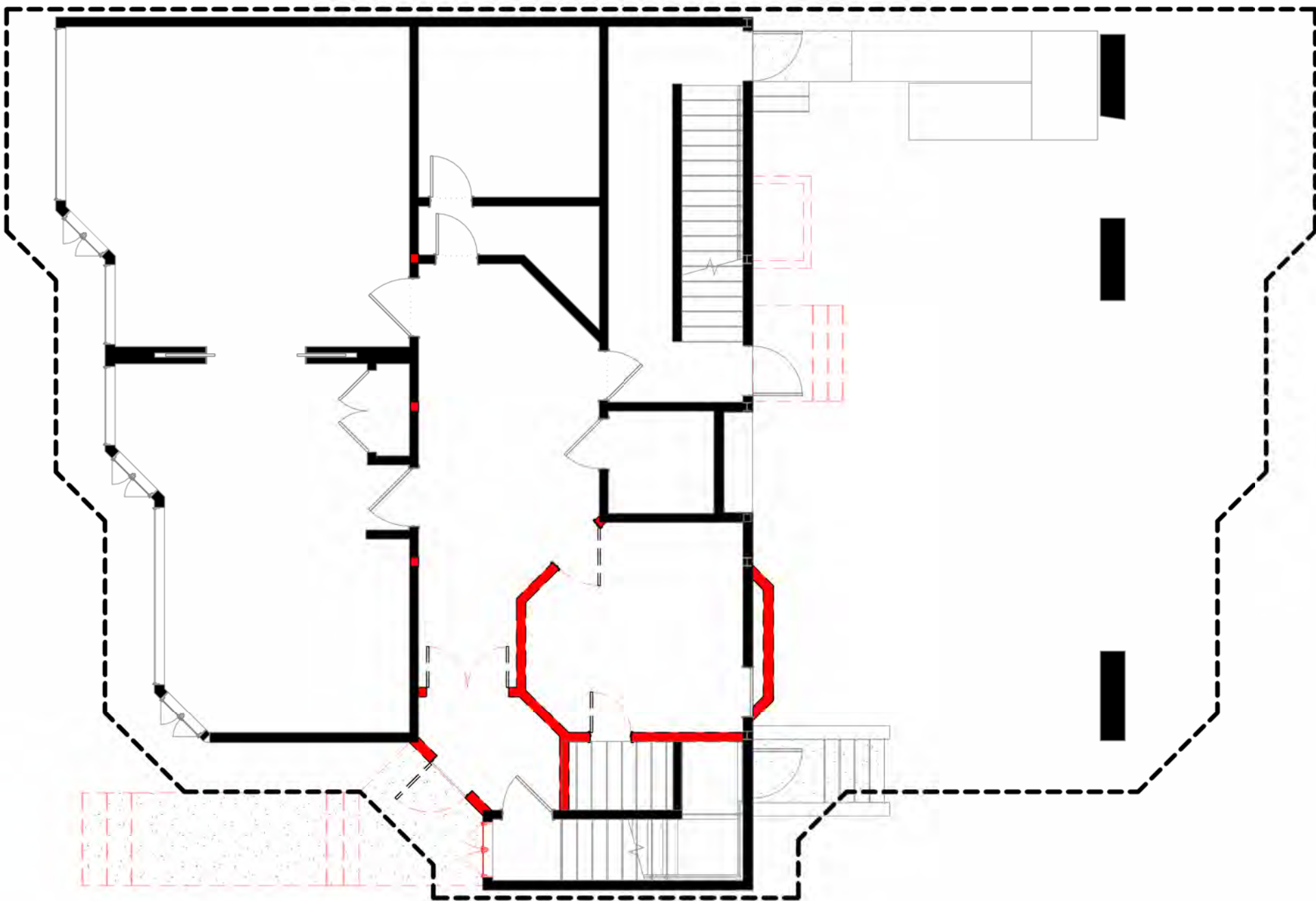
5 | demolition plan - 2nd floor
A-001 | 1/8" = 1'-0"



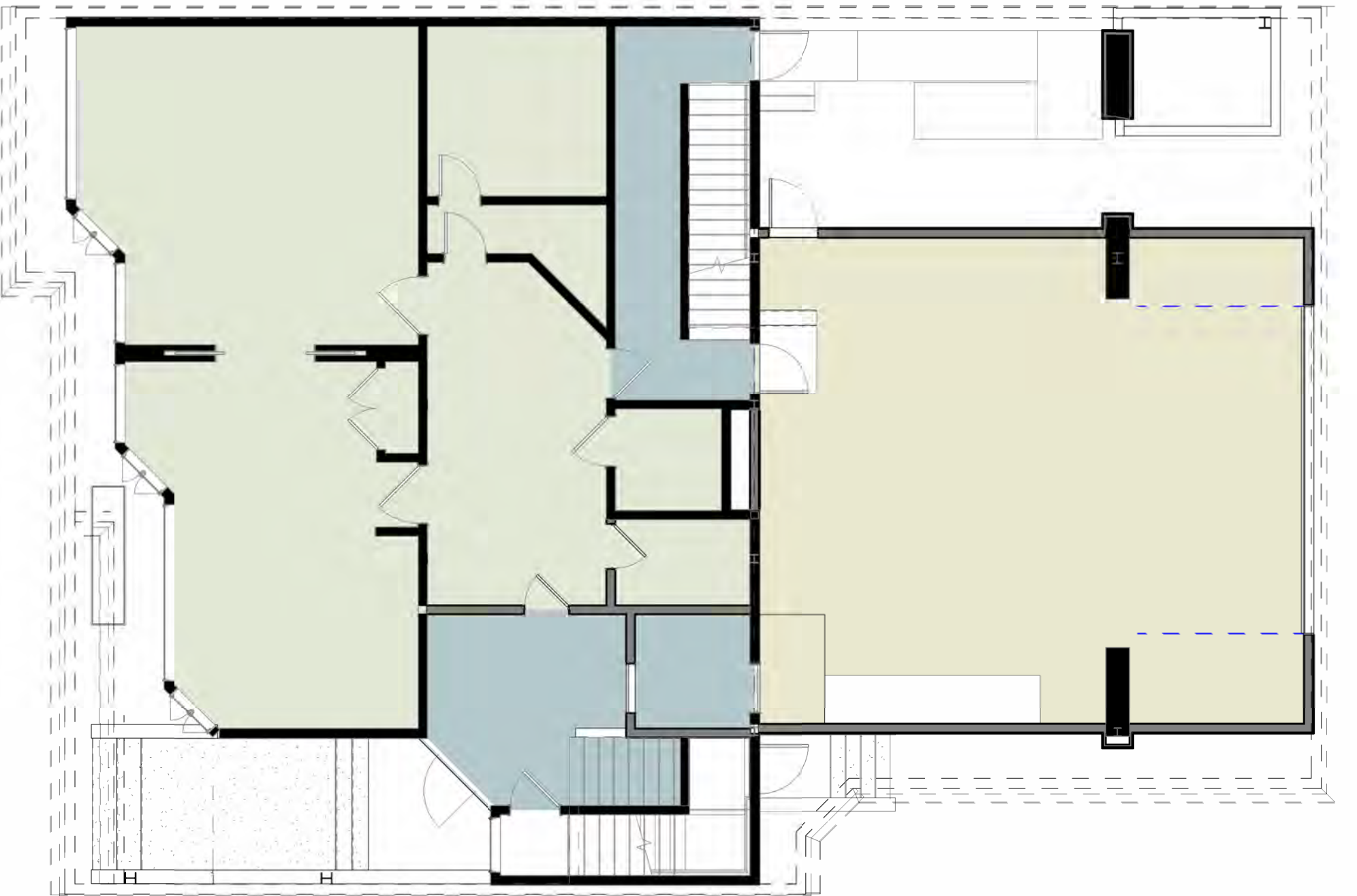
6 | floor plan - 2nd floor - remodel
A-001 | 1/8" = 1'-0"



7 | floor plan - 1st level - as-builts
A-001 | 1/8" = 1'-0"



8 | demolition plan - 1st level
A-001 | 1/8" = 1'-0"



9 | floor plan - 1st floor - remodel
A-001 | 1/8" = 1'-0"



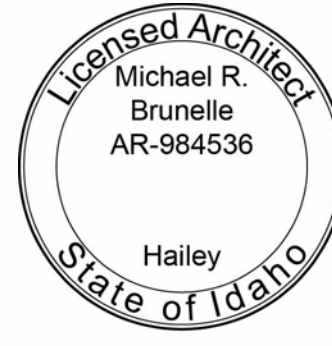
PROJECT:
120 N East LLC

120 N East Ave
Ketchum, Idaho
83340

Permit Set: 02/06/2025
Construction Set: xx/xx/xx

REVISION	DATE
1	12/5/24
2	2/6/25

NOTES:



project/FAR
information

SCALE: As indicated

A-002

Project Information

Address: 120 N East Ave, Ketchum, Idaho 83340
Parcel Number: RPK00000420020
Legal Description: Ketchum Lot 2, Block 42
Lot Size: 8250 sf
Building Department: City of Ketchum
County: Blaine
Building Code (per City Code 15.04.010)

- International Building Code (IBC) 2018 edition, as amended by the Idaho Building Code Board and including new Appendix O
- International Residential Code (IRC), 2018 edition, as amended by the Idaho Building Code Board, parts I—III and IX, including appendix F, radon control methods
- International Energy Conservation Code (IECC) 2018 edition, as amended by the Idaho Building Code Board
- International Existing Building Code (IEBC), 2018 edition, as amended by the Idaho Building Code Board
- International Property Maintenance Code (IPMC), 2018 edition
- International Building Code (IBC), Water conservation provisions of Appendix M
- Ketchum Municipal Code, Chapter 15.08

Property Zoning (per official zoning district map)
Community Core (CC) - Subdistrict 2 (Mixed Use)

Permitted Use (per City Code 17.12.020, Table):
Residential: Dwelling, multi-family
Commercial: Office, business

Setbacks / Height (per City Code 17.12.040, Table, Subdistrict 2: Mixed Use):
Front and street side = 5'-0" average
Side (Interior side) = 0'
Rear = 3'
Setback for 4th floor = 10'
Cantilevered decks/overhangs = 0'

Maximum Building heights
Cantilevered decks and overhangs = 8'-0" above grade and/or walking surface
Building Height = 42'-0"
Non-habitable structures on roof top = 10'-0"
Perimeter walls enclosing roof top deck = 4'-0" abv roof surface ht.(min. 75% transparent)
Roof top solar and mechanical equipment = 5'-0"

Planning Code Compliance

Floor Area, Gross: The sum of the horizontal area of the building measured along the outside walls of each floor of a building or portion of a building, including stair towers and elevators on the ground floor only, and fifty percent (50%) of atriums over eighteen feet (18') plate height, but not including basements, underground parking areas or open unclosed decks. Parking areas covered by a roof or portion of the building and enclosed on three (3) or more sides by building walls are included.

Floor Area, Net: The sum of the horizontal areas of all floors in a building including basements but not including open unclosed decks, interior or exterior circulation, mechanical equipment rooms, parking areas, common areas, public bathrooms or storage areas in basements.

Parking Calculations
Residential multiple-family dwelling within the Community Core (CC) District :
Units 750 square feet or less 0 parking spaces
Units 751 square feet to 2,000 square feet 1 space
Units 2,001 square feet and above 2 parking spaces
Nonresidential 1 parking space per 1,000 gross sf
17,125.040 C.1.f - *Exemption: The first 5,500 sf of office and personal service uses.*

Office, business 5 parking spaces
Residential 2 parking spaces

Net floor area 2nd floor residence = 574sf
Net floor area 3rd floor residence = 2185sf

7 parking spaces provided

Floor Area Ratio (F.A.R.) (17.124.040)
FLOOR AREA RATIO: The product of the floor area divided by the lot area.

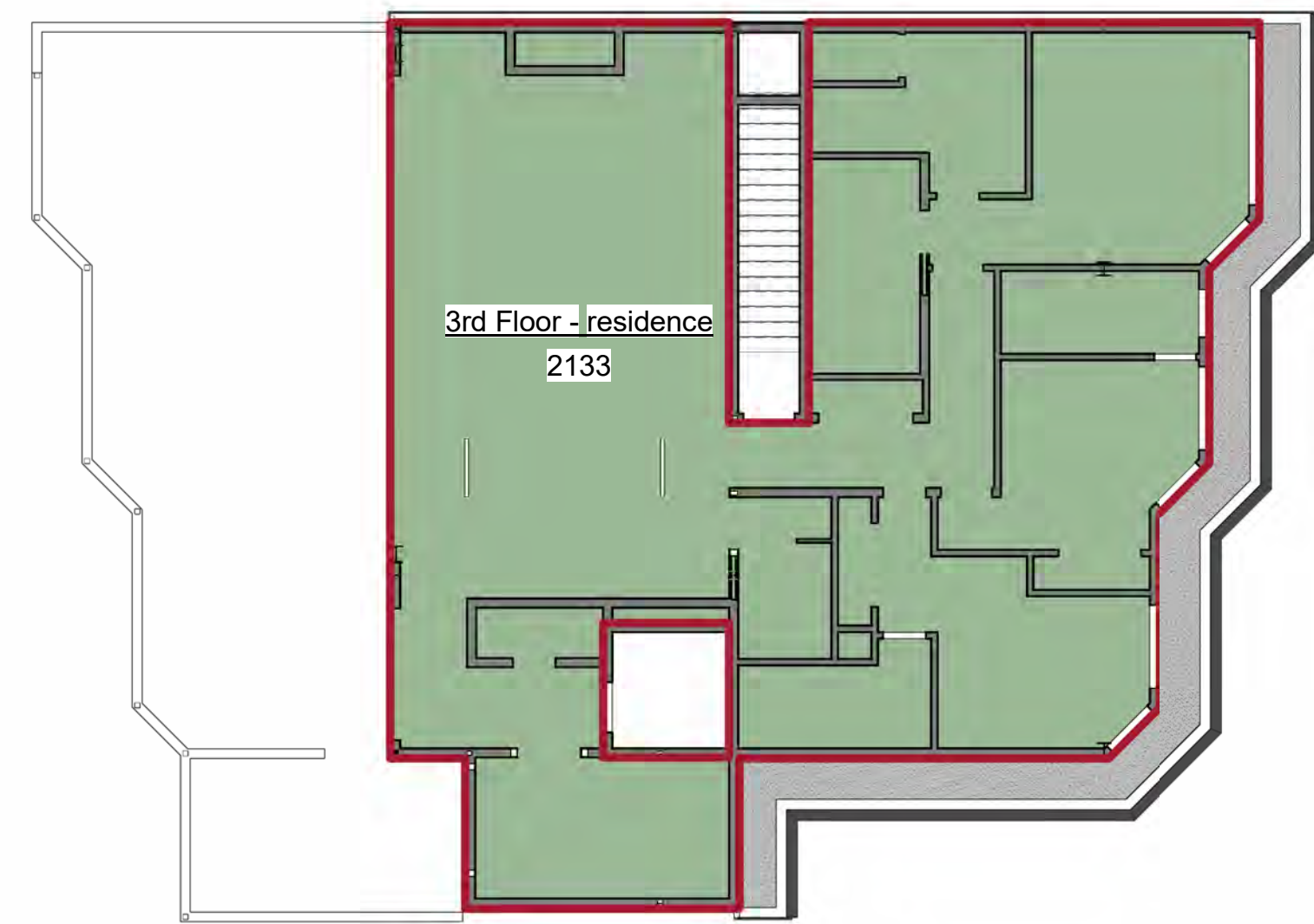
Property 150' x 55' = 8250 sf (per sheet C0.2, Permitted by right, 1.0)

Basic FAR allowance 1.0 (8,250 gsf)
Proposed FAR .98 (8,134 gsf / 8,250 gsf)

- Drip Lines / Drainage - No drop lines or snow shedding occur on public sidewalks. Roof and canopy drainage collected and directed by internal gutters into drywell located on property.
- Site Lighting Plan - All lighting and illumination to conform to dark sky ordinance.
- Mechanical Screening - Mechanical units located on roof to be screened as per elevations.
- Green Building - Project to be constructed to USGBC standards.
- Public Open Space - Trash receptacles, benches and gathering spaces are provided along public streets.
- Snow Storage Calculation - All snow management will be accomplished by snowmelt and hauling snow off-site.
- Storm Water - On-site storm water shall be directed to internal roof drains, drain leaders, and trench drain grates and retained on site through an underground infiltration system designed by Galena Engineers.
- Drainage improvements will be made equal to the length of the subject property lines adjacent to public streets.
- All utility improvements necessary for the development will be provided and made to meet City of Ketchum standards.
- Garbage will be collected in rolling carts and stored in a closed garbage closet adjacent to the alley. No satellite receivers are proposed.
- Existing sidewalks will be replaced with new 8-foot wide sidewalks per city standards. Two bicycle racks for (4) bicycles will be provided adjacent to the entry with direct access to the sidewalk.

Floor Area, Gross

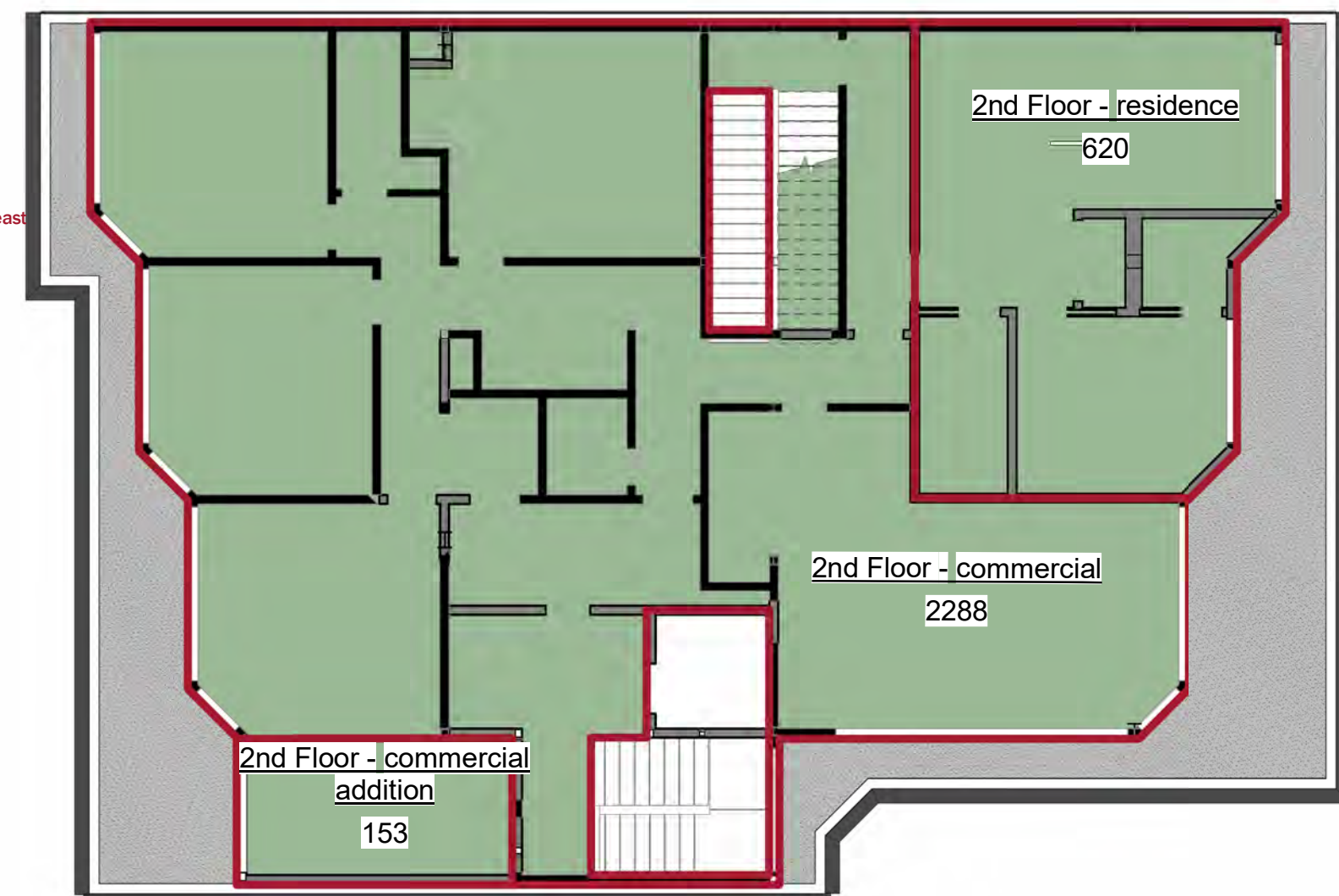
Level	Area Type	Type	Area
1st Floor - commercial	Gross Building Area	a	1878 SF
1st Floor - garage addition	Gross Building Area	a	1061 SF
2nd Floor - commercial	Gross Building Area	a	2288 SF
2nd Floor - commercial addition	Gross Building Area	a	153 SF
2nd Floor - residence	Gross Building Area	a	620 SF
3rd Floor - residence	Gross Building Area	a	2133 SF
			8134 SF



Building Area Legend

Gross Building Area

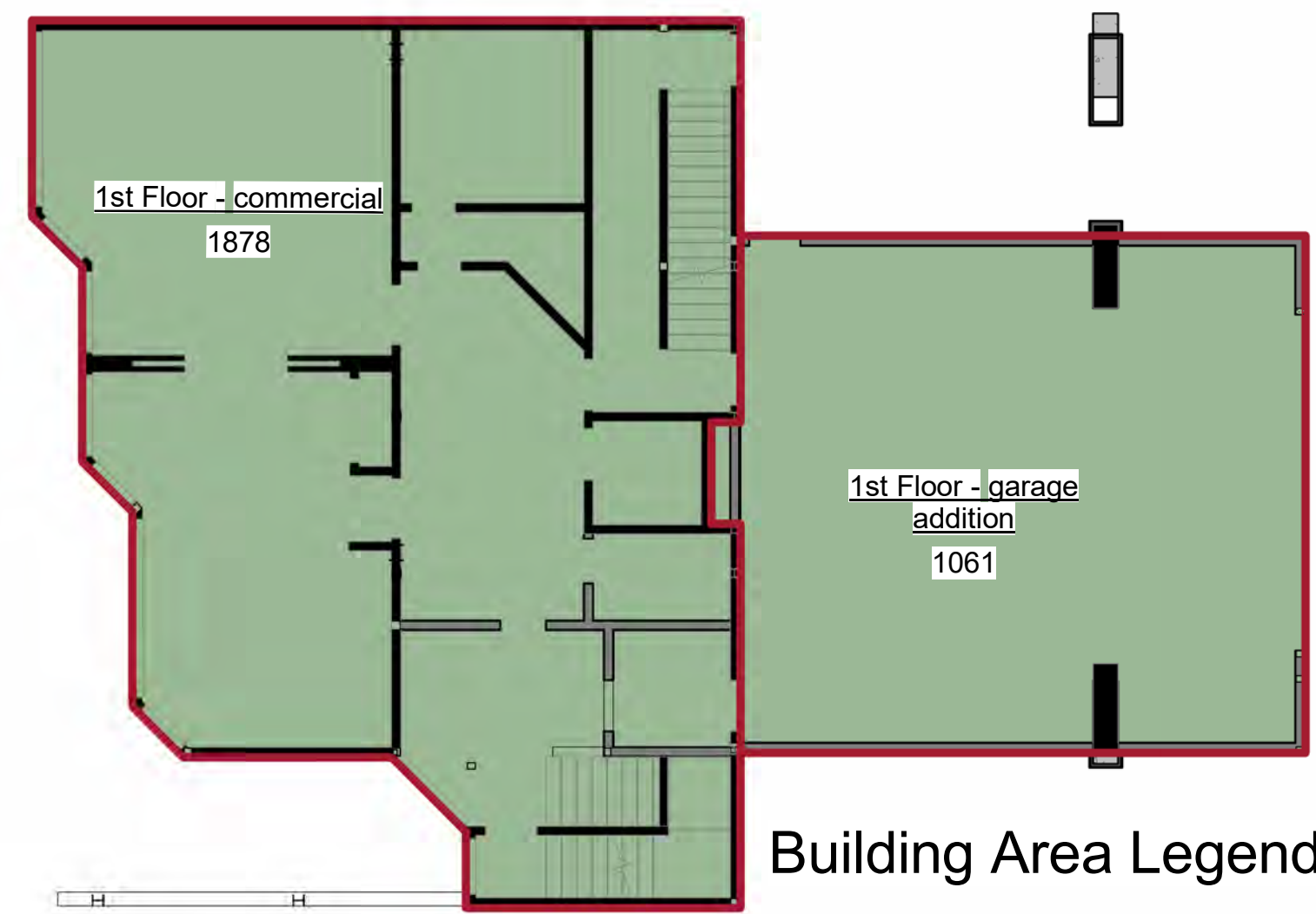
6 area - 3rd floor - remodel
A-002 1" = 10'-0"



Building Area Legend

Gross Building Area

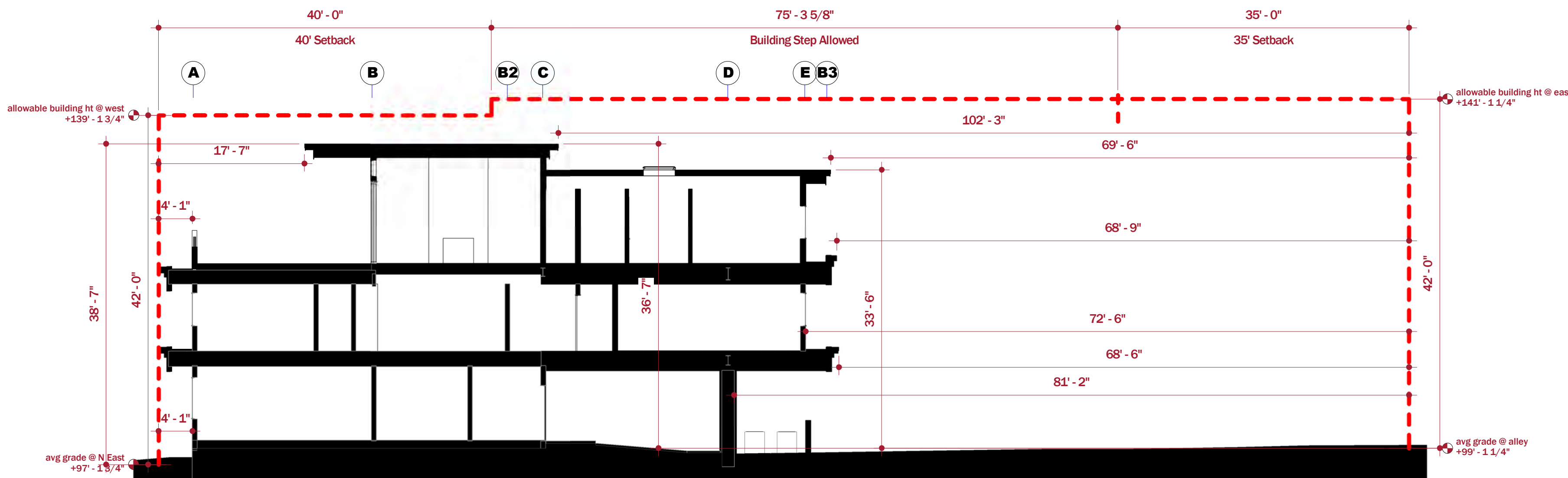
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A-002 1" = 10'-0"



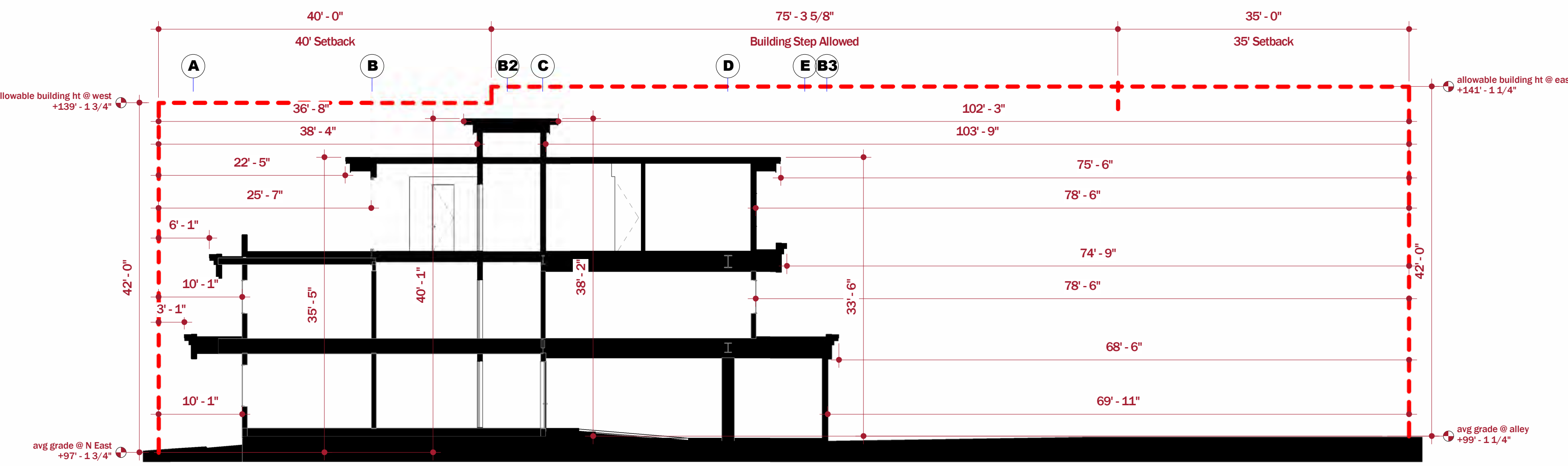
Building Area Legend

Gross Building Area

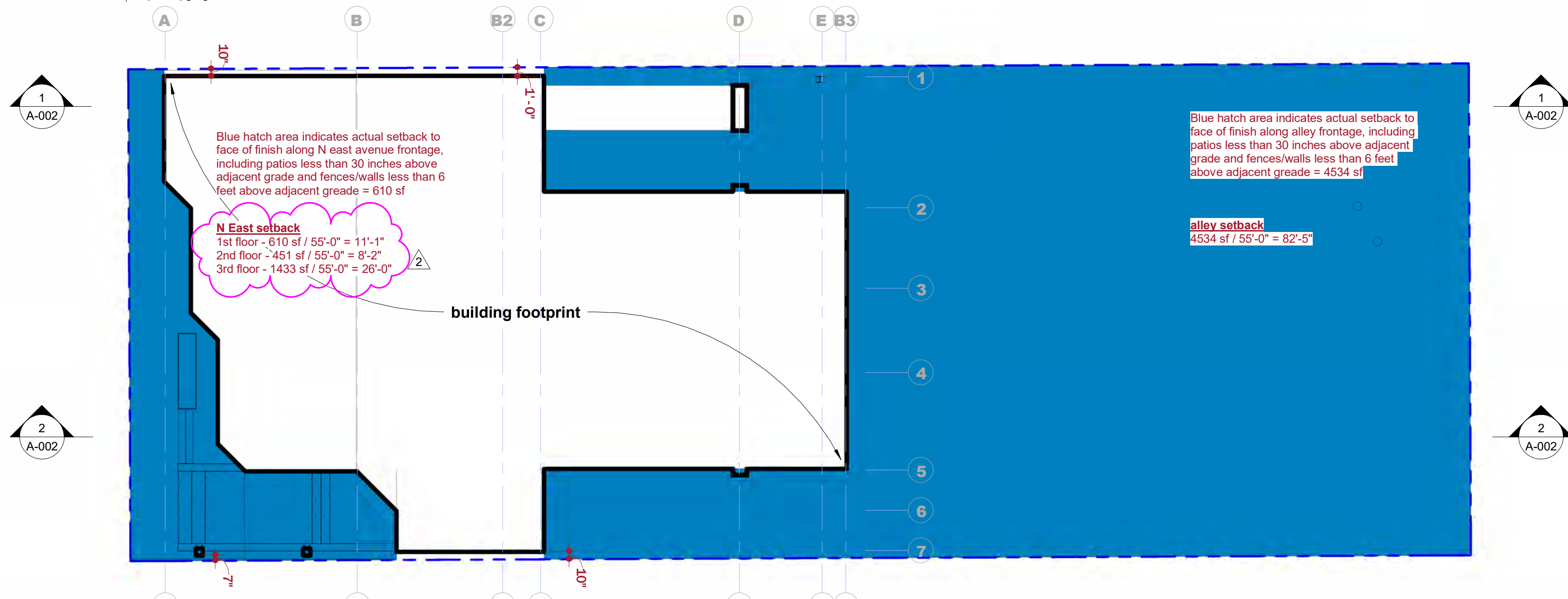
4 area - 1st floor - remodel
A-002 1" = 10'-0"



1 Section - Setback Section - North
A-002 1" = 10'-0"



2 Section - Setback Section - South
A-002 1" = 10'-0"



3 Setback Diagram
A-002 1" = 10'-0"




2020

NOTES:



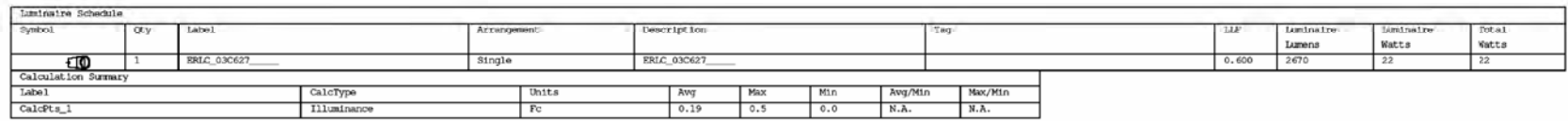
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Plot Date: **2/6/2025 3:59:55 PM**



Luminaire Schedule									
Symbol	Qty	Label	Arrangement	Description	Tag	LLF	Luminaire Lumens	Luminaire Watts	Total Watts
	4	B Ferona	Single	1	B	0.900	70	2	8
	6	WCED3D-13W-830-W	Single	CCT 2986K, CRI 82 0Ra		1.000	844	13.2	79.2

1	photometric study
A-003	1/4" = 1'-0"

A-003





120 N East Ave
Ketchum, Idaho
83340

NOTES:



A-100a

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Plot Date: **2/6/2025 4:00:00 PM**



Commercial - existing
Common

1 floor plan - basement
A-100a 1/4" = 1'-0"

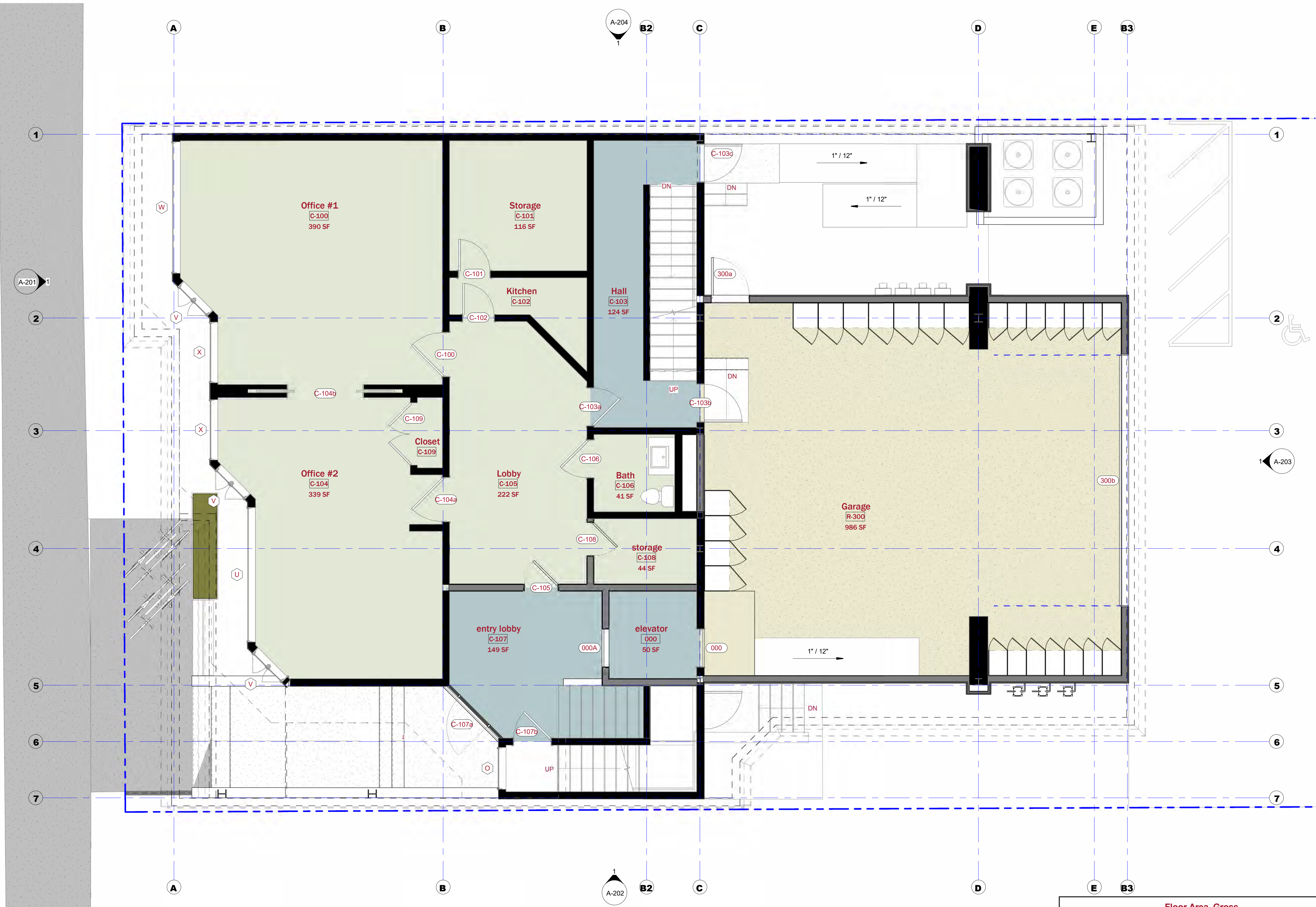
Floor Area, Gross			
Level	Area Type	Type	Area
1st Floor - commercial	Gross Building Area	a	1878 SF
1st Floor - garage addition	Gross Building Area	a	1061 SF
2nd Floor - commercial	Gross Building Area	a	2289 SF
2nd Floor - commercial addition	Gross Building Area	a	153 SF
2nd Floor - residence	Gross Building Area	a	620 SF
3rd Floor - residence	Gross Building Area	a	2133 SF
			8134 SF

Use Legend

- Commercial - existing
- Common
- Residential - 3rd floor

1 floor plan - 1st floor
A-101a 1/4" = 1'-0"

Floor Area, Gross			
Level	Area Type	Type	Area
1st Floor - commercial	Gross Building Area	a	1878 SF
1st Floor - garage addition	Gross Building Area	a	1061 SF
2nd Floor - commercial	Gross Building Area	a	2288 SF
2nd Floor - commercial addition	Gross Building Area	a	153 SF
2nd Floor - residence	Gross Building Area	a	620 SF
3rd Floor - residence	Gross Building Area	a	2133 SF
			8134 SF



A-101a



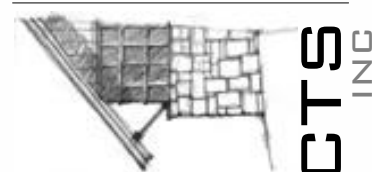


Floor Area, Gross			
Level	Area Type	Type	Area
1st Floor - commercial	Gross Building Area	a	1878 SF
1st Floor - garage addition	Gross Building Area	a	1061 SF
2nd Floor - commercial	Gross Building Area	a	2288 SF
2nd Floor - commercial addition	Gross Building Area	a	153 SF
2nd Floor - residence	Gross Building Area	a	620 SF
3rd Floor - residence	Gross Building Area	a	2133 SF
			8134 SF

SCALE: 1/4" = 1'-0"

A-103a

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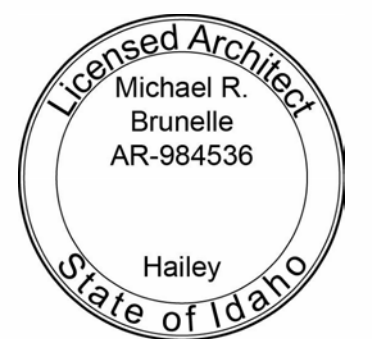


PROJECT:
120 N East LLC

120 N East Ave
Ketchum, Idaho
83340

Permit Set: 02/06/2025
Construction Set: xx/xx/xx
REVISION DATE

NOTES:

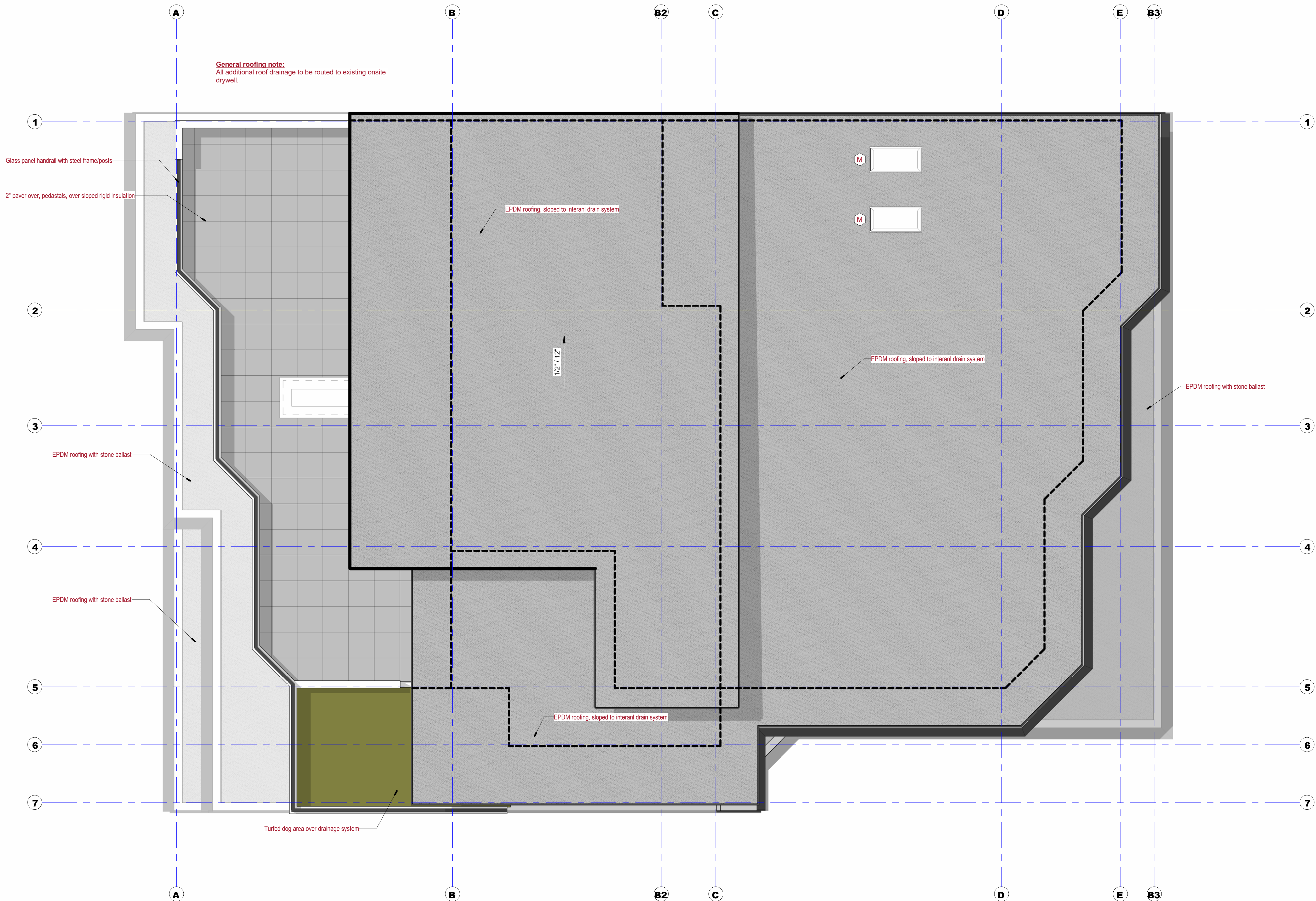


roof plan

SCALE: 1/4" = 1'-0"

A-104

DRAWN BY: Author
Plot Date: 2/6/2025 4:00:24 PM



1 roof plan
A-104 1/4" = 1'-0"



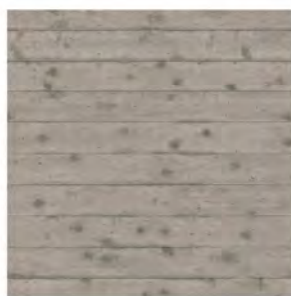
3 West Perspective
A-201 12" = 1'-0"



4 SW Perspective
A-201 12" = 1'-0"



MAT 1 - Metal - unpainted, sealed steel



MAT 2 - Board formed concrete



MAT 3 - Stucco - Benjamin Moore paint - Deep River 1582



MAT 4 - Wood siding/sffit, reSawn Abodo Vulcan Cladding - "Straw"



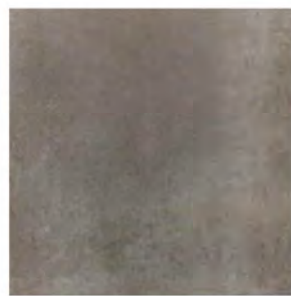
MAT 5 - Wood siding, reSawn Abodo Vulcan Cladding - "Nero"



MAT 6 - Roofing - stone ballasted



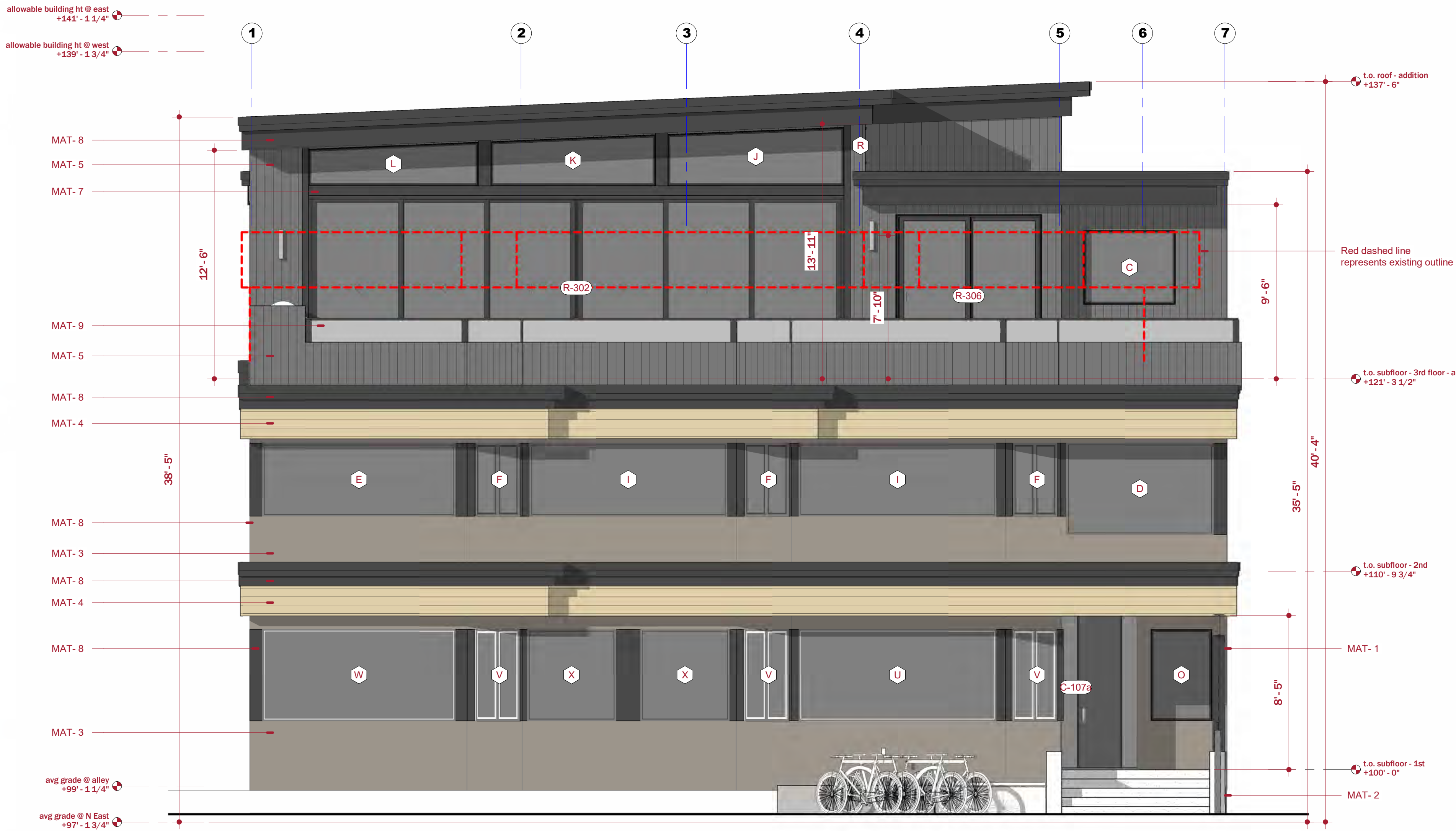
MAT 7 - Metal cladding, match existing (windows and doors), Handrail posts



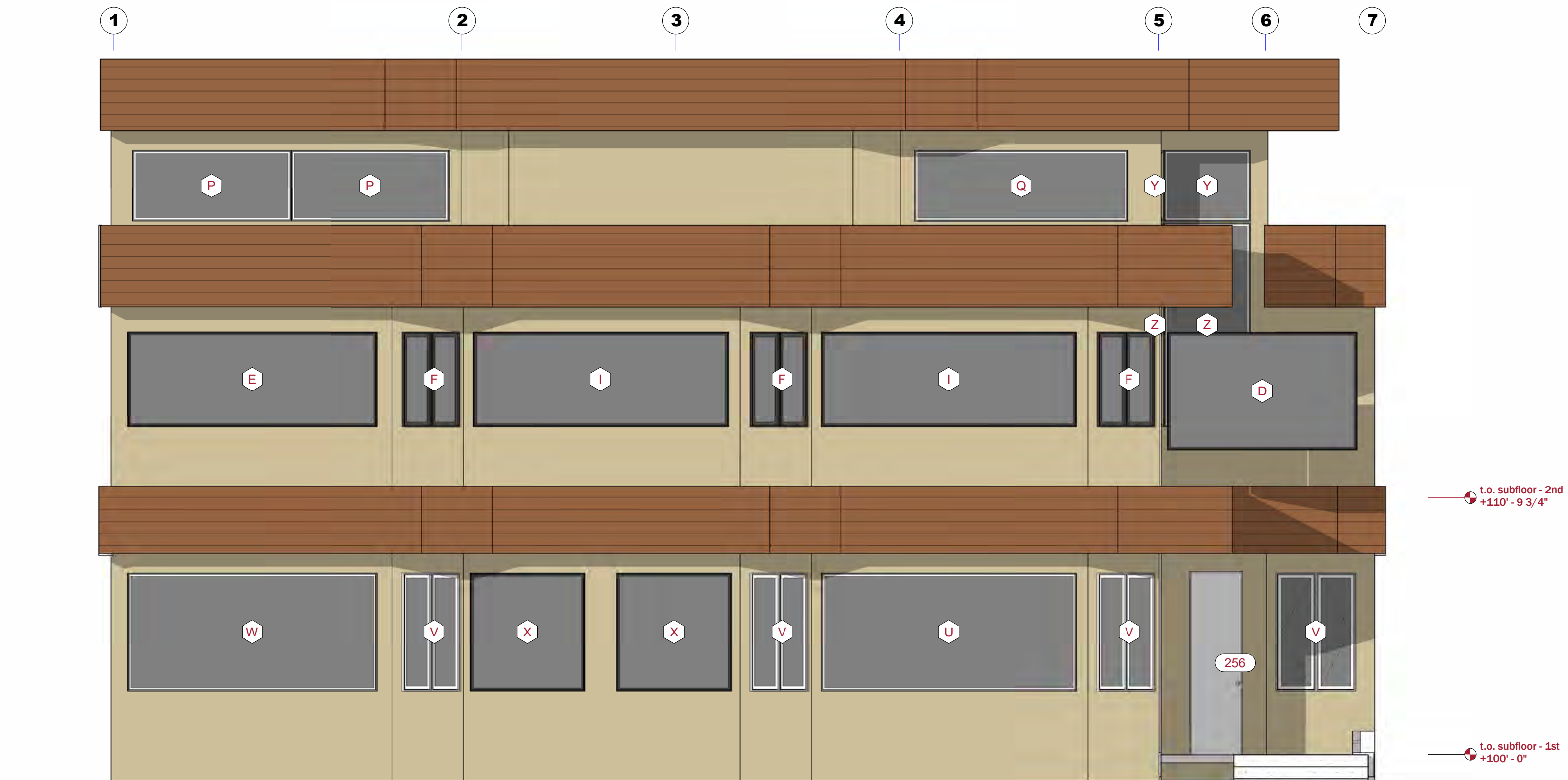
MAT 8 - Metal paneling, Bonderized Metal - Fascia / Flashing



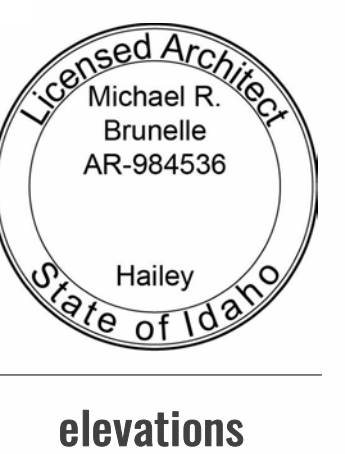
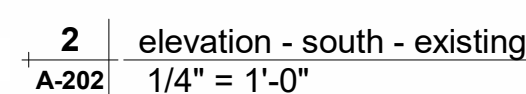
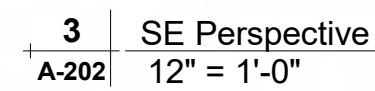
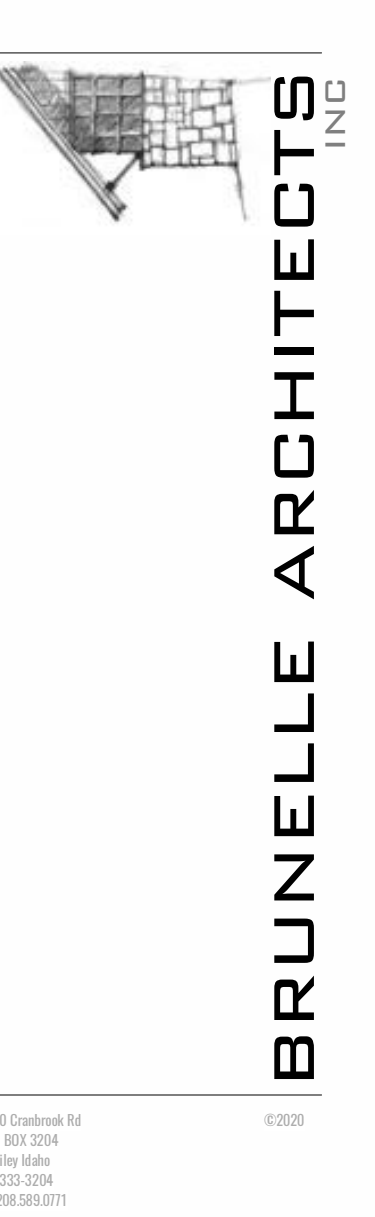
MAT 9 - Glass handrail with steel posts



1 elevation - west
A-201 1/4" = 1'-0"



2 elevation - west - existing
A-201 1/4" = 1'-0"



SCALE: **As indicated**

DRAWN BY: **Author**

Plot Date: **2/6/2025 4:01:04 PM**

A-202



3 SE Perspective
A-203 12" = 1'-0"



4 NE Perspective
A-203 12" = 1'-0"



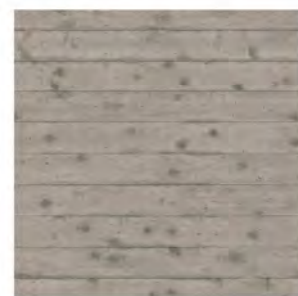
Existing tree conditions, South Elevation



Existing tree conditions, South Elevation



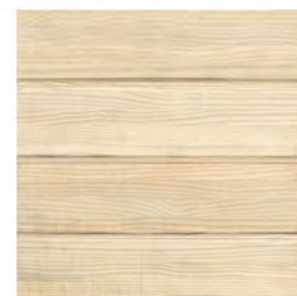
MAT 1 - Metal - unpainted, sealed steel



MAT 2 - Board formed concrete



MAT 3 - Stucco - Benjamin Moore paint - Deep River 1582



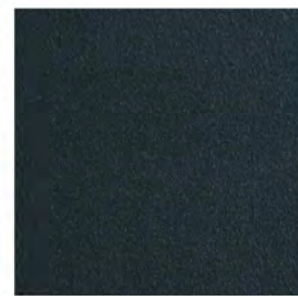
MAT 4 - Wood siding/soffit, reSawn Abodo Vulcan Cladding - "Straw"



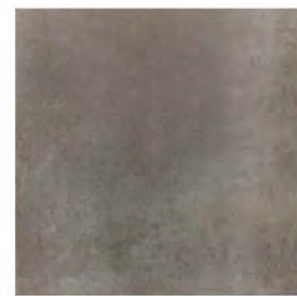
MAT 5 - Wood siding, reSawn Abodo Vulcan Cladding - "Nero"



MAT 6 - Roofing - stone ballasted



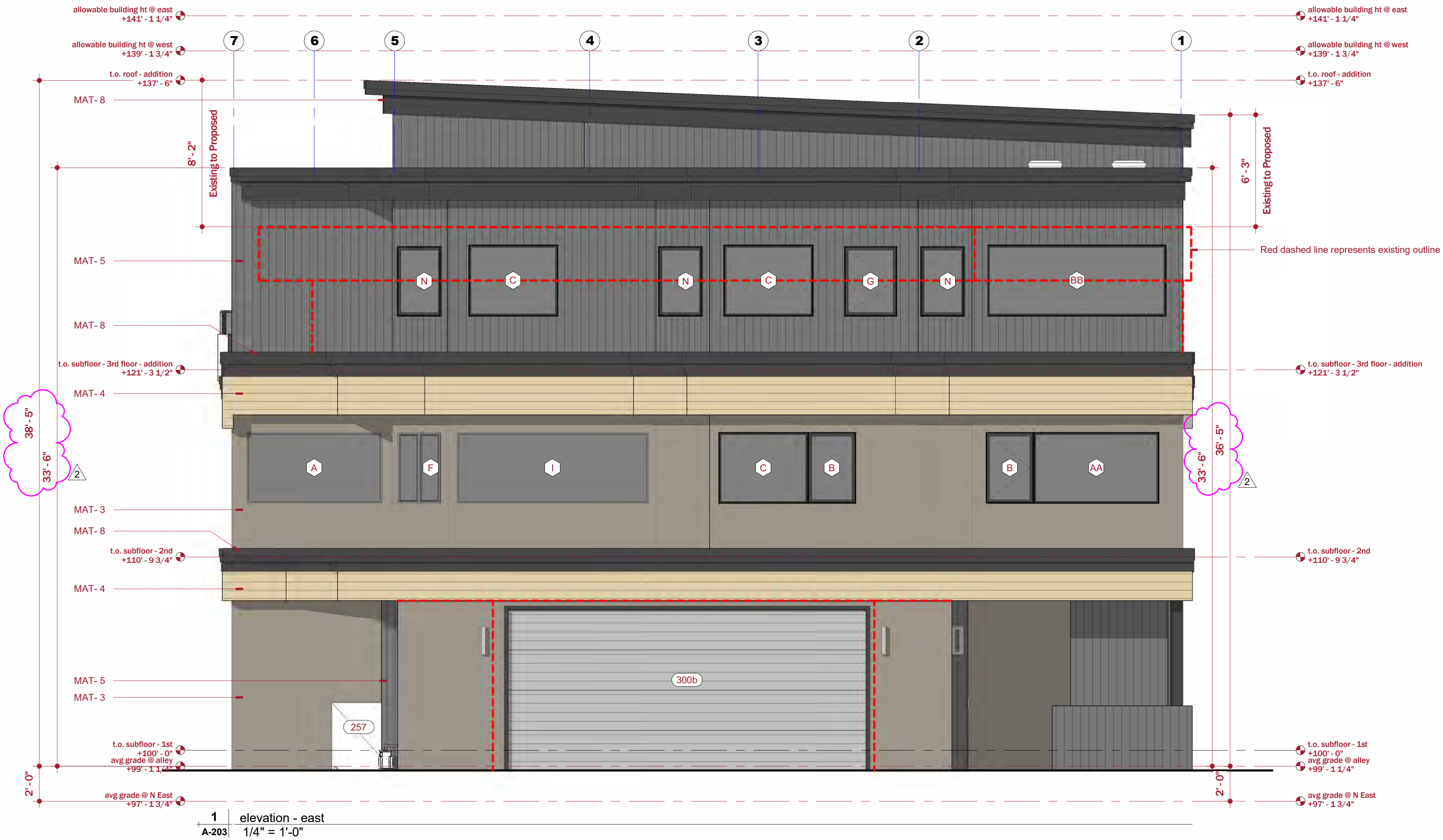
MAT 7 - Metal cladding, match existing (windows and doors), Handrail posts



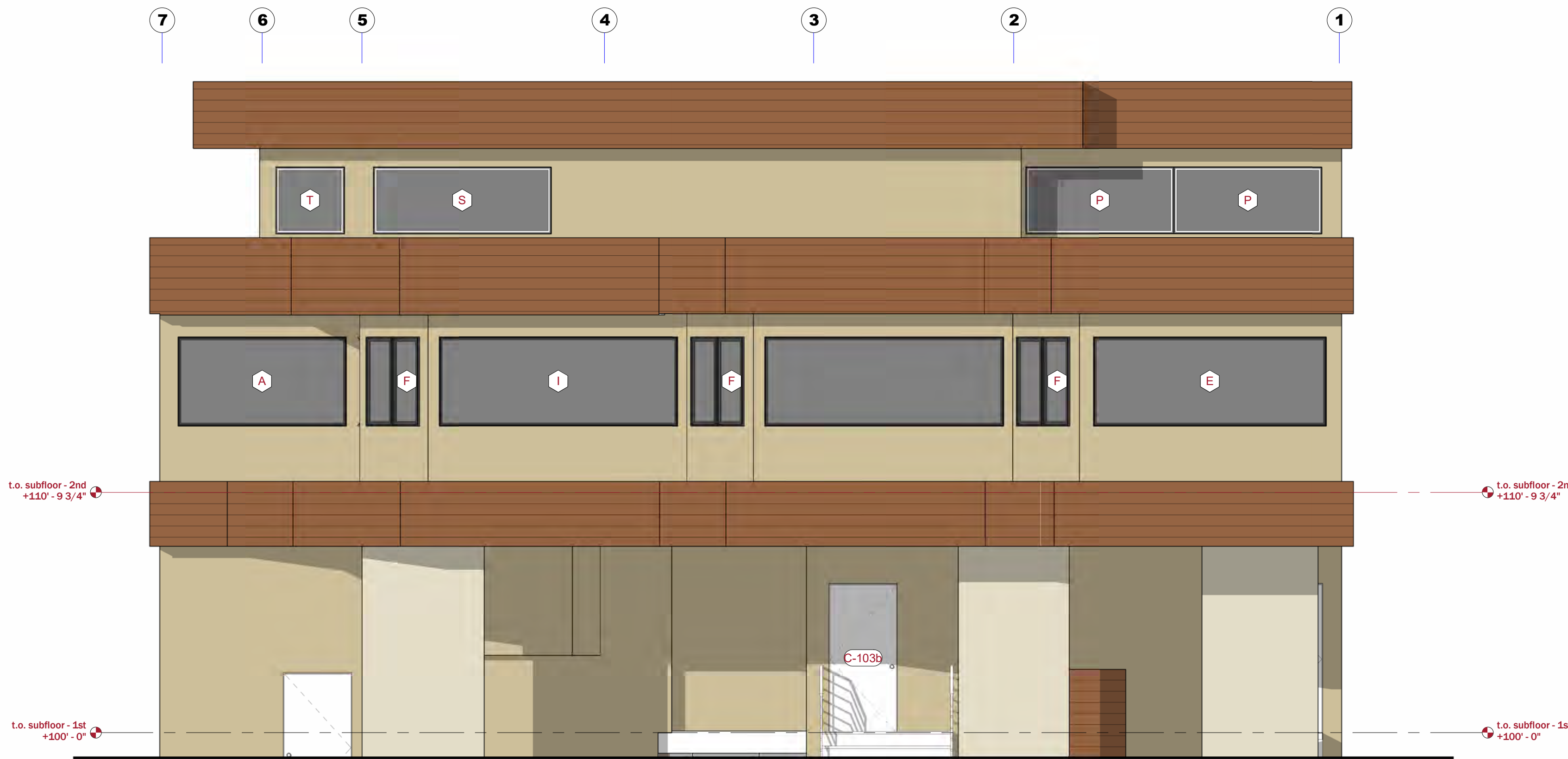
MAT 8 - Metal paneling, Bonderized Metal - Fascia / Flashing



MAT 9 - Glass handrail with steel posts



1 elevation - east
A-203 1/4" = 1'-0"



2 elevation - east - existing
A-203 1/4" = 1'-0"



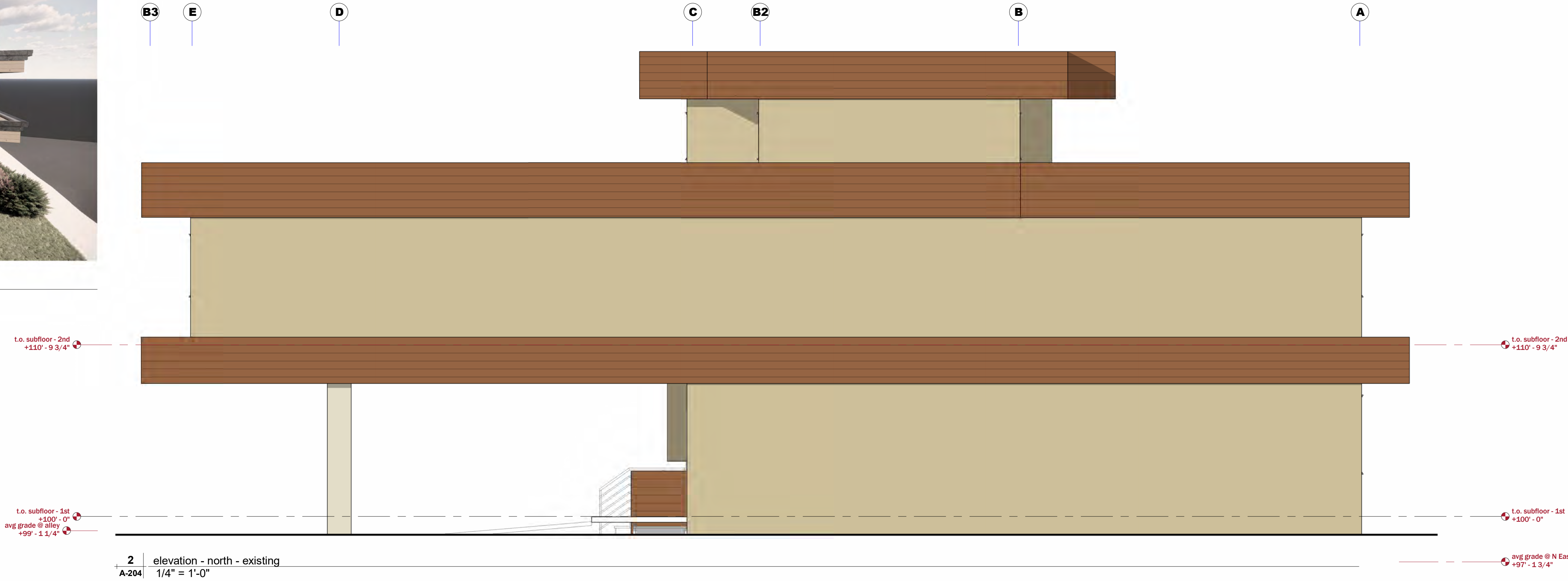
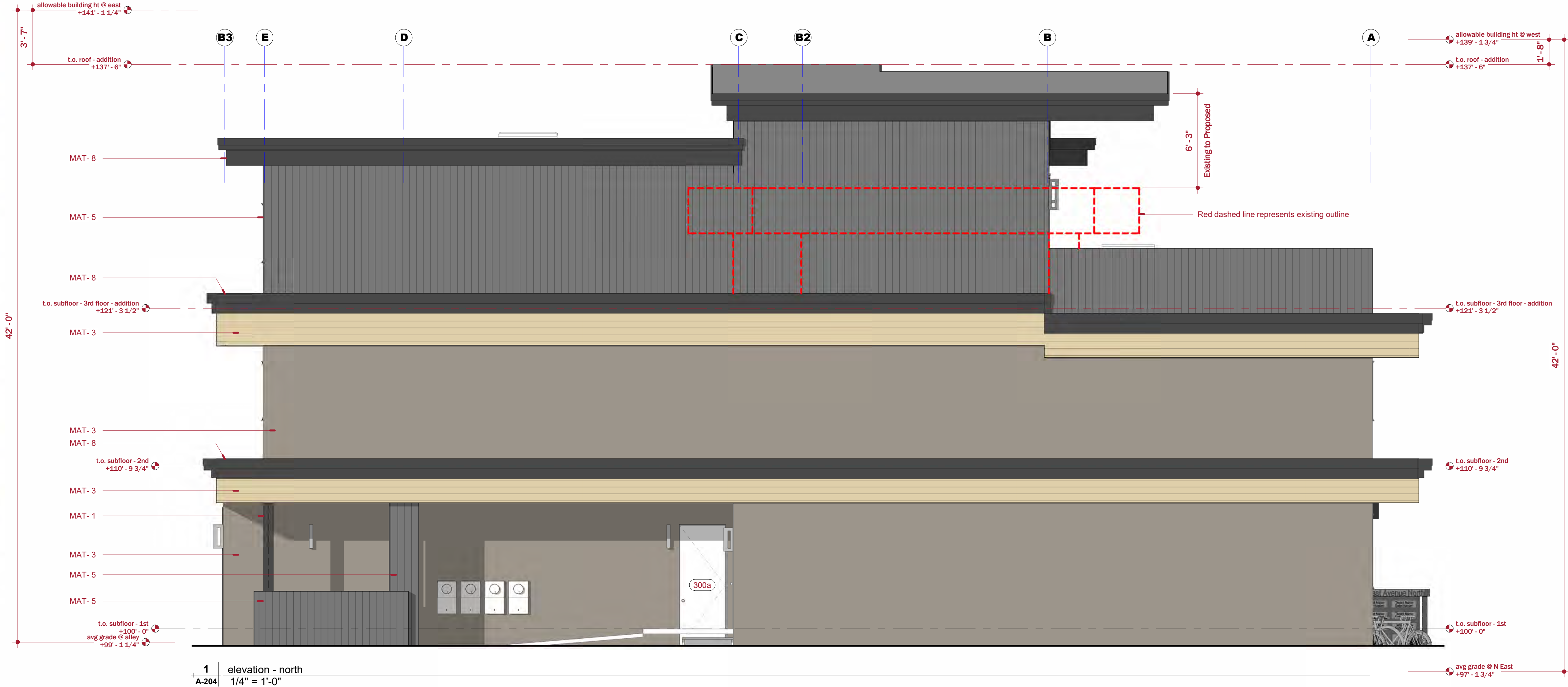
Existing tree conditions, North Elevation



Existing tree conditions, North Elevation



3 North Perspective
A-204 12" = 1'-0"



Attachment C

Zoning and Dimensional Standards Evaluation



120 N EAST AVE ADDITION
COMPLIANCE WITH ZONING REGULATIONS

17.12.020 – District Use Matrix	Conformance
<i>Zone District: Mixed-Use Subdistrict of the Community Core (CC-2)</i>	YES
Staff Analysis: The mixed-use development includes commercial offices and two multi-family dwelling units, which are permitted in the CC-2 Zone pursuant to KMC §17.12.020.	

17.12.040 – Dimensional Standards. CC District Matrix	Conformance
<i>Minimum Lot Size</i>	YES
Staff Analysis: <u>Required:</u> 5,500 square feet <u>Lot 2 Area:</u> 8,250 square feet	

17.12.040 – Dimensional Standards. CC District Matrix	Conformance
<i>Minimum Lot Width</i>	YES
Staff Analysis: <u>Required:</u> Minimum lot width of an average of 55 feet is required in the CC-2 zone district. <u>Existing Nonconforming Lot Width:</u> 55 feet	

17.12.040 – Dimensional Standards. CC District Matrix	Conformance
<i>Minimum Building Setbacks</i>	YES
Staff Analysis: <u>Required:</u> Front (East Avenue/west): 5' average Side (interior/north): 0' Side (interior/south): 0' Rear (alley/east): 3' Non-habitable structures, permanently affixed deck amenities, solar panels visible above roof ridge or parapet, and mechanical equipment and screening affixed to a roof from all building facades: 10 feet <u>Proposed:</u> <i>Setbacks for Mixed-Use Building</i> Front (East Avenue/west): 11'-1" average Side (interior/north): 10"	

Side (interior/south): 7''
Rear (alley/east): 68'-6''

Rooftop Structures

N/A—no rooftop solar or mechanical units are proposed to be installed on the roof.

17.12.040 – Dimensional Standards. CC District Matrix	Conformance
<i>Maximum Building Heights</i>	YES
<p>Permitted: 42 feet</p> <p>Height of building/CC District: The greatest vertical distance of a building in the community core district measured by determining the average elevation of the front property line and rear property line. Draw a line from the average front or rear elevation up to the maximum building height allowed, and then draw a line at that height parallel to the front or rear property line. The resulting line establishes the highest elevation of the front or rear facade. The front or rear facade shall not extend above this line. Side facades may be stepped up or down to transition from the highest elevation of the front facade height to the highest elevation of the rear facade. One or multiple steps along the side facades are allowed, except no step shall occur within 40 feet of the front elevation or within 35 feet of the rear facade. The City shall establish the elevation points used to calculate the average elevation of the front and rear property lines (see illustration A on file in the office of the City Clerk).</p> <p>Proposed: Maximum Height of Front Façade: 38'-7'' Maximum Height of Rear Façade: 33'-6''</p>	

17.124.040 – Floor Area Ratios and Community Housing	Conformance
<i>An increased FAR may be permitted subject to design review approval provided that all conditions in KMC 17.124.040.B.2 are met.</i>	YES Condition #2
<p>Required Permitted FAR: 1.0 Permitted FAR with Community Housing: 2.25</p> <p><u>Proposed:</u> The FAR calculation is provided on Sheet A-002 of the project plans. Total Gross Floor Area: 8,134 square feet Lot Area: 8,250 square feet FAR: 0.99</p>	

17.125.030 - Off Street Parking and Loading 17.125.040 – Off Street Parking and Loading Calculations 17.125.050 – Community Core District Off Street Parking and Loading Calculations	Conformance
<i>Pursuant to Ketchum Municipal Code 17.125.020.A1, all new development must comply with the off street vehicle parking requirements.</i>	YES
<p>Permitted: <u>Required (KMC §17.125.040)</u> Multi-Family Dwelling Units in CC Zone Units 750 square feet or less: 0 parking spaces Units 751 square feet to 2,000 square feet: 1 parking space Units 2,001 square feet and above: 2 parking spaces</p> <p>Non-residential: 1 parking space per 1,000 gross square feet (refer to definition of gross floor area with additional exclusion of common and public areas)</p> <p><u>Exemptions in CC Zone</u></p> <ul style="list-style-type: none"> • Community housing • Food service • The first 5,500 gross square feet of retail trade • The first 5,500 gross square feet of assembly uses • The first 5,500 square feet of office and personal service uses <p><u>Project Parking Demand</u> Office (4,139 gross sq ft): Exempt</p> <p>Multi-Family Dwelling Units:</p> <ul style="list-style-type: none"> • Second-Floor Dwelling Unit Net Floor Area: 574 square feet—0 parking required • Third-Floor Dwelling Unit Net Floor Area: 2,185 square feet—2 parking spaces required <p><i>Total Parking Demand:</i> 2 Parking Spaces</p> <p><u>Proposed</u> The applicant has provided 7 parking spaces—2 parking spaces are proposed within the attached garage and 5 parking spaces are proposed for the surface parking area.</p>	

17.125.060 – Bicycle Parking	Conformance
<i>Ketchum Municipal Code §17.125.060.B: All uses, other than one family dwellings, are required to provide one bicycle rack, able to accommodate at least two bicycles, for every four parking spaces required by the proposed use.</i>	YES

Finding:

Required: 1 bike rack, accommodating at least two bicycles, is required based on the project parking demand.

Proposed: 1 bike rack accommodating two bicycles is provided on site.

17.127 – Signage	Conformance
<i>Master Signage Plan for New Construction</i>	YES
Finding: The master signage plan is specified on sheet L-100.	

17.132 – Dark Skies	Conformance
<i>Compliance with Section 17.132 – Dark Skies.</i>	YES
Finding: The exterior lighting plan is provided on sheets A-003 and A-004. The proposed exterior lighting complies with the Dark Skies Ordinance.	

Attachment D

Design Review Standards Evaluation



120 N EAST AVE ADDITION DESIGN REVIEW STANDARDS ANALYSIS

17.96.060.A.1 - Streets	Conformance
<i>The applicant shall be responsible for all costs associated with providing a connection from an existing City street to their development.</i>	YES Condition #4
Finding: The City Engineer has conducted a preliminary review of the project plans and believes the proposed right-of-way improvements comply with city standards. The applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for all right-of-way improvements, including sidewalks, alley asphalt, streetlights, utilities, and drainage facilities, for review and approval by the City Engineer, Streets Department, Utilities Department, and Planning Department prior to issuance of a building permit for the project pursuant to condition of approval #4.	

17.96.060.A.2 - Streets	Conformance
<i>All street designs shall be approved by the City Engineer.</i>	YES Condition #4
Finding: No new streets or changes to the travel lanes or street designs are proposed with this project. Final civil drawings for all associated right-of-way improvements shall be submitted with the building permit application to be verified, reviewed, and approved by the City Engineer and Streets Department. Final review of all right-of-way improvements will be completed prior to issuance of a building permit for the project pursuant to condition of approval #4.	

17.96.060.B.1 - Sidewalks	Conformance
<i>All projects under subsection 17.96.010.A of this chapter that qualify as a "substantial improvement" shall install sidewalks as required by the Public Works Department.</i>	YES
Finding: Ketchum Municipal Code 17.124.140 outlines the zone districts where sidewalks are required when substantial improvements are made, which include the CC, all tourist zone districts, and all light industrial districts. As the project is within the CC-2 zone district, sidewalks are required and included in the project plans. The applicant has proposed to install new 8-foot-wide sidewalk along 2 nd Street.	

17.96.060.B.2 - Sidewalks	Conformance
<i>Sidewalk width shall conform to the City's right-of-way standards, however the City Engineer may reduce or increase the sidewalk width and design standard requirements at their discretion.</i>	YES Condition #4
Finding: The applicant has proposed installing a new 8-foot-wide, concrete sidewalk East Avenue. The City Engineer, Streets Department, and City Arborist have conducted a	

preliminary review of the project plans and believe the proposed right-of-way improvements comply with city standards.

The applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for all right-of-way improvements, including sidewalks, alley asphalt, streetlights, utilities, and drainage facilities, for review and approval by the City Engineer, Streets Department, Utilities Department, and Planning Department prior to issuance of a building permit for the project pursuant to condition of approval #4.

17.96.060.B.3 - Sidewalks	Conformance
<p><i>Sidewalks may be waived if one of the following criteria is met:</i></p> <ul style="list-style-type: none"> a) <i>The project comprises an addition of less than 250 square feet of conditioned space.</i> b) <i>The City Engineer finds that sidewalks are not necessary because of existing geographic limitations, pedestrian traffic on the street does not warrant a sidewalk, or if a sidewalk would not be beneficial to the general welfare and safety of the public.</i> 	N/A
<p>Finding: Sidewalks are required for the project. The applicant has not requested, nor has the City Engineer granted, a waiver to the sidewalk requirement for the project.</p>	

17.96.060.B.4 - Sidewalks	Conformance
<p><i>The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.</i></p>	YES
<p>Finding: The proposed sidewalk improvements are equal to the length of the frontage along East Avenue.</p>	

17.96.060.B.5 – Sidewalks	Conformance
<p><i>New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.</i></p>	YES
<p>Finding: The new sidewalk will connect to the existing sidewalk along East Avenue.</p>	

17.96.060.B.6 - Sidewalks	Conformance
<p><i>The City may approve and accept voluntary cash contributions in lieu of the above described improvements, which contributions must be segregated by the City and not used for any purpose other than the provision of these improvements. The contribution amount shall be 110 percent of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the</i></p>	N/A

<i>City Engineer. Any approved in lieu contribution shall be paid before the City issues a certificate of occupancy.</i>	
Finding: The applicant has not requested relief from the requirement to construct sidewalks nor has the City granted any such request.	

17.96.060.C.1 - Drainage	Conformance
<i>All stormwater shall be retained on site.</i>	YES Condition #4
<p>Finding: On-site stormwater drainage will be directed through internal roof drains to on-site drywells. The roof plan on revised sheet A-104 includes a note stating that the EDPM roofing will be sloped to an internal drain system. Specifications for the roof drainage submitted must be provided with the project plans submitted with the building permit application for final review and approval by the City Engineer.</p> <p>Pursuant to condition of approval #4, the applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for all drainage improvements, for review and approval by the City Engineer and Streets Department prior to issuance of a building permit for the project.</p>	

17.96.060.C.2 - Drainage	Conformance
<i>Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.</i>	YES Condition #4
<p>Finding: The project proposes to construct drainage improvements along the length of the subject property, including curb and gutter, along East Avenue. All drainage improvements are required to be constructed City standards. Pursuant to condition of approval #4, the applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for all drainage improvements, for review and approval by the City Engineer and Streets Department prior to issuance of a building permit for the project.</p>	

17.96.060.C.3 - Drainage	Conformance
<i>The City Engineer may require additional drainage improvements as necessary, depending on the unique characteristics of a site.</i>	YES Condition #4
<p>Finding: The City Engineer will determine if the drainage improvements for the public right-of-way and surface parking area are sufficient after reviewing the final civil drawings submitted with the building permit application. The City Engineer may require additional drainage improvements if necessary. Pursuant to condition of approval #4, the applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide</p>	

specifications for all drainage improvements, for review and approval by the City Engineer and Streets Department prior to issuance of a building permit for the project.

17.96.060.C.4 - Drainage	Conformance
<i>Drainage facilities shall be constructed per City standards.</i>	YES Condition #4
Finding: The City Engineer and Streets Department have conducted a preliminary review of the project plans and believe the proposed right-of-way improvements comply with city standards. Pursuant to condition of approval #4, the applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for all drainage improvements, for review and approval by the City Engineer and Streets Department prior to issuance of a building permit for the project.	

17.96.060.D.1 - Utilities	Conformance
<i>All utilities necessary for the development shall be improved and installed at the sole expense of the applicant.</i>	YES
Finding: All project costs associated with the development, including the installation of utilities, are the responsibility of the applicant. The applicant has not made requests for funding to the city for utility improvements. No funds have been provided by the city for the project.	

17.96.060.D.2 - Utilities	Conformance
<i>Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view.</i>	YES
Finding: Sheet L-100 shows the siting of the new transformer required to serve the project. The proposed transformer is located at northeast corner of the property by the alley and is not visible from public view along the East Avenue street frontage. The revised submittal included a letter dated January 17, 2025 confirming that they have reviewed the design and siting of the proposed transformer.	

17.96.060.D.3 - Utilities	Conformance
<i>When extension of utilities is necessary all developers will be required to pay for and install two-inch SDR11 fiber optical conduit. The placement and construction of the fiber optical conduit shall be done in accordance with City of Ketchum standards and at the discretion of the City Engineer.</i>	N/A
Finding: The location of the subject property is already served by fiber optic cable and therefore no conduit is required in this location.	

17.96.060.E.1 – Compatibility of Design	Conformance
<i>The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures.</i>	YES
Finding: The proposed exterior materials include unpainted and black metal panels, board-formed concrete, stucco painted dark brown, and wood siding. The natural materials and earthtone colors will complement the adjacent buildings and surrounding buildings. The project provides a high-quality design that complements adjacent buildings and is contextually appropriate for this area of downtown.	
17.96.060.E.2 – Compatibility of Design	Conformance
<i>Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.</i>	N/A
Finding: The subject property is not listed as a historical or cultural landmark on the city of Ketchum's Historical Building/Site List, therefore this standard does not apply.	
17.96.060.E.3 – Compatibility of Design	Conformance
<i>Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to.</i>	N/A
Finding: N/A.	
17.96.060.F.1 – Architectural	Conformance
<i>Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined.</i>	YES
Finding: The primary building entrances are well defined and provide unobstructed access to the sidewalk.	
17.96.060.F.2 – Architectural	Conformance
<i>The building character shall be clearly defined by use of architectural features.</i>	YES
Finding: The building character is defined by horizontal bands at the top of each floor level, flat roof projections, and exterior material and color differentiation.	
17.96.060.F.3 – Architectural	Conformance
<i>There shall be continuity of materials, colors and signing within the project.</i>	YES

Finding: The project uses an integrated palette of high-quality exterior materials.

17.96.060.F.4 – Architectural	Conformance
<i>Accessory structures, fences, walls and landscape features within the project shall match or complement the principal building.</i>	YES
Finding: The existing site includes shrubs planted along the East Avenue street frontage that complement the building.	

17.96.060.F.5 – Architectural	Conformance
<i>Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.</i>	YES
Finding: The existing horizontal banding at the top of the first, second, and third floors is proposed to be modified by replacing the existing material with wood siding and metal paneling. Staff believes the proposed modifications decrease the visual prominence of these horizontal bands and reduce the appearance of building bulk at the front façade along East Avenue.	

17.96.060.F.6 – Architectural	Conformance
<i>Building(s) shall orient toward their primary street frontage.</i>	YES
Finding: The building orients towards East Avenue.	

17.96.060.F.7 – Architectural	Conformance
<i>Garbage storage areas and satellite receivers shall be screened from public view and located off alleys.</i>	YES
Finding: The dumpster is located at the rear of the lot by the alley and screened by an enclosure.	

17.96.060.F.8 – Architectural	Conformance
<i>Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties.</i>	YES
Finding: The roof plan on revised sheet A-104 includes a note stating that the EDPM roofing will be sloped to an internal drain system. Specifications for the roof drainage submitted must be provided with the project plans submitted with the building permit application for final review and approval by the City Engineer.	

17.96.060.G.1 – Circulation Design	Conformance
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<i>Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.</i>	YES
Finding: The new sidewalk will connect to the existing concrete sidewalks along East Avenue. The proposed sidewalk connects to pathways on the project site providing safe pedestrian access to and around the building.	

17.96.060.G.2 – Circulation Design	Conformance
<i>Awnings extending over public sidewalks shall extend five feet or more across the public sidewalk but shall not extend within two feet of parking or travel lanes within the right-of-way.</i>	N/A
Finding: N/A. All projecting flat roof elements terminate at the property line and no awnings are proposed to extend over the property line.	

17.96.060.G.3 – Circulation Design	Conformance
<i>Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage.</i>	YES
Finding: Vehicle access to the project is provided along East Avenue and the alley. All off-street parking is accessed along the alley. The proposed alley access will allow traffic to flow safely within the project. The new sidewalk will connect to walkways on the subject property providing safe pedestrian access to and around the building.	

17.96.060.G.4 – Circulation Design	Conformance
<i>Curb cuts and driveway entrances shall be no closer than 20 feet to the nearest intersection of two or more streets, as measured along the property line adjacent to the right-of-way. Due to site conditions or current/projected traffic levels or speed, the City Engineer may increase the minimum distance requirements.</i>	N/A
Finding: No curb cuts or driveway entrances are proposed along East Avenue. The off-street parking is accessed from the alley.	

17.96.060.G.5 – Circulation Design	Conformance
<i>Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project.</i>	YES
Finding: Unobstructed access for emergency vehicles, snowplows, garbage trucks, and similar service vehicles is provided to the project from 2 nd Street and the alley.	

17.96.060.H.1 – Snow Storage	Conformance
<i>Snow storage areas shall not be less than 30 percent of the improved parking and pedestrian circulation areas.</i>	YES with Snow Hauling
Finding: Based on the areas listed on revised sheet L-100, the total parking and pedestrian circulation area is 4,122 square feet. 1,237 square feet of snow storage is required based on parking and pedestrian circulation area. Only 471 square feet of snow storage is provided on the subject property. The remaining snow storage requirement is proposed to be satisfied through hauling of snow off site, which is permitted pursuant to KMC 17.96.060.H4.	
17.96.060.H.2 – Snow Storage	Conformance
<i>Snow storage areas shall be provided on site.</i>	YES
Finding: Based on the areas listed on revised sheet L-100, the total parking and pedestrian circulation area is 4,122 square feet. 1,237 square feet of snow storage is required based on parking and pedestrian circulation area. Only 471 square feet of snow storage is provided on the subject property. The remaining snow storage requirement is proposed to be satisfied through hauling of snow off site, which is permitted pursuant to KMC 17.96.060.H4.	
17.96.060.H.3 – Snow Storage	Conformance
<i>A designated snow storage area shall not have any dimension less than five feet and shall be a minimum of 25 square feet.</i>	YES
Finding: The proposed snow storage area is 471 square feet with a minimum dimension of 5 feet.	
17.96.060.H.4 – Snow Storage	Conformance
<i>In lieu of providing snow storage areas, snowmelt and hauling of snow may be allowed.</i>	YES Condition #2
Finding: The applicant has indicated that the owners have an existing agreement with the adjacent property owner to the south to store snow but intend to utilize Joe's Backhoe Service to haul snow off-site once the surface parking area improvements are complete. Pursuant to condition #2, prior to issuance of a building permit, the applicant shall submit a copy of the snow hauling agreement with Joe's Backhoe Service to ensure compliance with the snow storage standards specified in KMC §17.96.060.H1.	
17.96.060.I.1 – Landscaping	Conformance
<i>Landscaping is required for all projects.</i>	YES
Finding: Existing landscaping is proposed to be retained on site. Existing landscaping includes aspen trees and shrubs along East Avenue.	

17.96.060.I.2 – Landscaping	Conformance
<i>Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape.</i>	YES
Finding: The existing aspen trees and shrubs are proposed to be retained and complement the neighborhood.	

17.96.060.I.3 – Landscaping	Conformance
<i>All trees, shrubs, grasses and perennials shall be drought tolerant. Native species are recommended but not required.</i>	YES
Finding: The existing landscaping is proposed to be retained on site.	

17.96.060.I.4 – Landscaping	Conformance
<i>Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged.</i>	YES
Finding: The existing landscaping is proposed to be retained. The existing shrubs along East Avenue help beautify the street frontage.	

17.96.060.J.1 – Public Amenities	Conformance
<i>Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All public amenities shall receive approval from the Public Works Department prior to design review approval from the Commission.</i>	YES
Finding: The applicant will provide a bench and two bike racks on the subject property by the East Avenue sidewalk.	

17.96.060.K.1 – Underground Encroachments	Conformance
<i>Encroachments of below grade structures into required setbacks are subject to subsection 17.128.020.K of this title and shall not conflict with any applicable easements, existing underground structures, sensitive ecological areas, soil stability, drainage, other sections of this Code or other regulating codes such as adopted International Code Council Codes, or other site features concerning health, safety, and welfare.</i>	N/A

Finding: N/A

17.96.060.K.2 – Underground Encroachments	Conformance
<i>No below grade structure shall be permitted to encroach into the riparian setback.</i>	N/A
Finding: N/A	

FINDINGS REGARDING DESIGN REVIEW STANDARDS – COMMUNITY CORE

17.96.070.A.1 – Streets	Conformance
<i>Street trees, streetlights, street furnishings, and all other street improvements shall be installed or constructed as determined by the Public Works Department.</i>	YES Condition #4

Finding: The project will construct right-of-way improvements, including a new sidewalk, drainage facilities, and streetlights in accordance with city standards. The City Engineer, Streets Department, and Planning Department have conducted a preliminary review of the project plans and believe the proposed right-of-way improvements comply with city standards. The City Engineer, Streets Department, and Planning Department will conduct a final review of the proposed right-of-way improvements prior to issuance of a building permit for the project.

17.96.070.A.2 – Streets	Conformance
<i>Street trees with a minimum caliper size of three inches, shall be placed in tree grates.</i>	N/A
Finding: N/A no street trees are proposed.	

17.96.070.A.3 – Streets	Conformance
<i>Due to site constraints, the requirements of this subsection A may be modified by the Public Works Department.</i>	YES Condition #4

Finding: The City Engineer and Streets Department have conducted a preliminary review of the project plans and believe the proposed right-of-way improvements comply with city standards. The City Engineer, Streets Department, and Planning Department will conduct a final review of the proposed right-of-way improvements prior to issuance of a building permit for the project.

17.96.070.B.1 - Architectural	Conformance
<i>Facades facing a street or alley or located more than five feet from an interior side property line shall be designed with both solid surfaces and window</i>	YES

<i>openings to avoid the creation of blank walls and employ similar architectural elements, materials, and colors as the front facade.</i>	
<p>Finding: The East Avenue and alley façades are designed with both solid surfaces and window openings and employ consistent architectural elements, exterior materials, and colors. Windows have been incorporated into portions of the south interior façade that are setback more than 5 feet from the interior lot line. The portions of the south side façade that are located less than 5 feet from the south side lot line and the north side façade include exterior materials differentiation with stucco painted brown on the first two floor and a darker brown wood siding on the third floor. The horizontal banding capping the top of the first and second floors is a lighter, natural color. Staff believes the exterior material differentiation and horizontal banding add visual interest to the portions of the side facades that are located less than 5 feet from the interior lot lines.</p>	

17.96.070.B.2 - Architectural	Conformance
<i>For nonresidential portions of buildings, front building facades and facades fronting a pedestrian walkway shall be designed with ground floor storefront windows and doors with clear transparent glass. Landscaping planters shall be incorporated into facades fronting pedestrian walkways.</i>	YES
<p>Finding: The placement of windows on the first two floors of the front façade matches the existing window configuration. The window configuration of the existing office building includes a significant amount of glazing. The existing shrubs that front the East Avenue sidewalk are proposed to be retained. Sheet L-100 shows that new steel planter is proposed to be installed along the front façade by the East Avenue sidewalk.</p>	

17.96.070.B.3 - Architectural	Conformance
<i>For nonresidential portions of buildings, front facades shall be designed to not obscure views into windows.</i>	YES
<p>Finding: The design of the existing and proposed front façade is designed so that views into windows are not obscured. The existing shrubs along East Avenue do not impede views into the first-floor windows.</p>	

17.96.070.B.4 - Architectural	Conformance
<i>Roofing forms and materials shall be compatible with the overall style and character of the structure. Reflective materials are prohibited.</i>	YES
<p>Finding: The new angled roof and flat roof that are proposed for the third-floor addition are compatible with the overall style and character of the structure. Reflective material is not proposed.</p>	

17.96.070.B.5 - Architectural	Conformance
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<i>All pitched roofs shall be designed to sufficiently hold all snow with snow clips, gutters, and downspouts.</i>	YES Condition #4
Finding: The roof plan on revised sheet A-104 includes a note stating that the EDPM roofing will be sloped to an internal drain system. Specifications for the roof drainage submitted must be provided with the project plans submitted with the building permit application for final review and approval by the City Engineer.	

17.96.070.B.6 - Architectural	Conformance
<i>Roof overhangs shall not extend more than three feet over a public sidewalk. Roof overhangs that extend over the public sidewalk shall be approved by the Public Works Department.</i>	N/A
Finding: N/A all roof overhangs are contained on the subject property.	

17.96.070.B.7 - Architectural	Conformance
<i>Front porches and stoops shall not be enclosed on the ground floor by permanent or temporary walls, windows, window screens, or plastic or fabric materials.</i>	N/A
Finding: The project does not include front porches or stoops on the front façade of the building.	

17.96.070.C.1 – Service Areas and Mechanical/Electrical Equipment	Conformance
<i>Trash disposal areas and shipping and receiving areas shall be located within parking garages or to the rear of buildings. Trash disposal areas shall not be located within the public right-of-way and shall be screened from public views.</i>	YES
Finding: The dumpster is located at the rear of the property along the alley and is proposed to be screened with an enclosure.	

17.96.070.C.2 – Service Areas and Mechanical/Electrical Equipment	Conformance
<i>Roof and ground mounted mechanical and electrical equipment shall be fully screened from public view. Screening shall be compatible with the overall building design.</i>	YES
Finding: Sheet L-100 shows the siting of the new transformer required to serve the project. The proposed transformer is located at northeast corner of the property by the alley and is not visible from public view along the East Avenue street frontage. The revised submittal included a letter dated January 17, 2025 confirming that they have reviewed the design and siting of	

the proposed transformer. The project does not propose to install any roof-mounted mechanical or electrical equipment.

17.96.070.D.1 - Landscaping	Conformance
<i>When a healthy and mature tree is removed from a site, it shall be replaced with a new tree. Replacement trees may occur on or off site.</i>	N/A
Finding: All existing trees are proposed to be retained.	

17.96.070.D.2 - Landscaping	Conformance
<i>Trees that are placed within a courtyard, plaza, or pedestrian walkway shall be placed within tree wells that are covered by tree grates.</i>	N/A
Finding: N/A—no trees are proposed in courtyard plazas or within pedestrian walkways.	

17.96.070.D.3 - Landscaping	Conformance
<i>The City arborist shall approve all parking lot and replacement trees.</i>	N/A
Finding: N/A as all trees are proposed to be retained on site and no parking lot trees are proposed.	

17.96.070.E.1 – Surface Parking Lots	Conformance
<i>Surface parking lots shall be accessed from off the alley and shall be fully screened from the street.</i>	YES
Finding: The surface parking lot is located at the rear of the lot and accessed from the alley. The surface parking lot is fully screened from East Avenue by the mixed-use building.	

17.96.070.E.2 – Surface Parking Lots	Conformance
<i>Surface parking lots shall incorporate at least one tree and one additional tree per ten on site parking spaces. Trees shall be planted in landscaped planters, tree wells and/or diamond shaped planter boxes located between parking rows. Planter boxes shall be designed so as not to impair vision or site distance of the traveling public.</i>	YES
Finding: The existing 6 aspen trees located along the south side of the parking lot are proposed to be retained. The surface parking lot is comprised of one row of parking with 5 parking spaces oriented towards the north side property line. The remainder of the parking lot is the aisle providing access to these parking spaces from the alley. Since the surface parking lot does not provide multiple rows of parking, the 6 existing aspen trees satisfy this requirement.	

17.96.070.E.3 – Surface Parking Lots	Conformance
<i>Ground cover, low lying shrubs, and trees shall be planted within the planters and planter boxes. Tree grates or landscaping may be used in tree wells located within pedestrian walkways.</i>	N/A
Finding: N/A as no new ground cover, low lying shrubs, or trees are proposed to be installed for the existing surface parking lot.	

17.96.070.F.1 – Bicycle Parking	Conformance
<i>One bicycle rack, able to accommodate at least two bicycles, shall be provided for every four parking spaces as required by the proposed use. At a minimum, one bicycle rack shall be required per development.</i>	YES
Finding: project's parking demand is two spaces. One bike rack is required for the development. The project proposes to install two bike racks, accommodating two bicycles, adjacent to the entrance to the building along East Avenue.	

17.96.070.F.2 – Bicycle Parking	Conformance
<i>When the calculation of the required number of bicycle racks called for in this section results in a fractional number, a fraction equal to or greater than one-half shall be adjusted to the next highest whole number.</i>	YES
Finding: One bike rack is required for the proposed development.	

17.96.070.F.3 – Bicycle Parking	Conformance
<i>Bicycle racks shall be clearly visible from the building entrance they serve and not mounted less than 50 feet from said entrance or as close as the nearest non-ADA parking space, whichever is closest. Bicycle racks shall be located to achieve unobstructed access from the public right-of-way and not in areas requiring access via stairways or other major obstacles.</i>	YES
Finding: The project proposes to install one bike rack, accommodating two bicycles, adjacent to the entrance to the building along the alley.	