

### STAFF REPORT KETCHUM PLANNING AND ZONING COMMISSION SEPTEMBER 26, 2023 MEETING

**PROJECT:** Walnut Residence

FILE NUMBER: P23-052

**REPRESENTATIVE:** Lucas Winters, Jarvis Group Architects

OWNER: Breyman Properties LLC

**REQUEST:** Mountain Overlay Design Review & Lot Consolidation Preliminary Plat for a new 5,805

square foot residence and consolidation of two lots into one.

**LOCATION:** Ketchum Townsite: Block 91, Lot 3 & 4

**ZONING:** Limited Residential District (LR)

**OVERLAY:** Mountain Overlay (MO)

**NOTICE:** A public meeting notice for the project was mailed to all owners of property within

300 feet of the project site and all political subdivisions on September 6, 2023. The notice was published in the Idaho Mountain Express on September 6, 2023. A notice

was posted on the project site and the city's website on September 11, 2023.

**REVIEWER:** Adam Crutcher, Associate Planner

### **EXECUTIVE SUMMARY**

The applicant is proposing to construct a new 5,805 square foot three-story residence (the "project"), located on Ketchum Townsite Block 91, Lots 3 & 4 (the "subject property"). The subject property is zoned Limited Residential (LR) in the Mountain Overlay District (MOD), and both lots are currently vacant. A rendering of the proposed residence can be seen below.



Figure 1: Proposed Residence

Pursuant to Ketchum Municipal Code (KMC) §17.104.050.A, design review is required for the "construction or placement of new buildings or structures, including additions to any such structures or buildings existing at the effective date hereof, upon real property within the Mountain Overlay Zoning District." The project is subject to all MOD review criteria and standards specified in KMC §17.104.070 as well as all applicable design review standards specified in KMC §17.96.060.

The project also proposes to consolidate Lots 3 & 4, requiring a preliminary plat following procedures outlined in KMC 16.04.030 as per section 5.C of Ordinance 1234. Preliminary plats require a public hearing in front of the Planning & Zoning Commission where the Commission will approve, approve with conditions, or deny the preliminary plat. If the plat receives approval from the Commission, it will then move on to City Council who is the final approving body.

Staff believes the project conforms to the zoning and dimensional standard requirements and the design review and Mountain Overlay design review criteria. Staff also finds the project to be in conformance with the preliminary plat standards and criteria. Further information detailing staffs review of the application criteria are outlined in the staff report below.

### **BACKGROUND**

The planning and Building Department received the MOD and Preliminary Plat applications for the project on June 5th, 2023. Following receipt of the applications, staff routed the application materials to all city departments for review. The applications were reviewed concurrently and scheduled for hearing on August 18th, 2023, after 3 rounds of department review.

### **CONFORMANCE WITH PRELIMINARY PLAT STANDARDS:**

Pursuant to KMC 16.04.080.C.2, the applicant submitted this lot consolidation preliminary plat with the Design Review application. If approved by the Commission, the lot consolidation preliminary plat application will be reviewed and acted upon by the City Council. This must occur prior to a building permit submittal for the project.

Staff reviewed the lot consolidation preliminary plat application for conformance with KMC 16.04.030 – Procedures for subdivision approval, KMC 16.04.040 – Development and Design, as well as three additional criteria and a waiver as required by Interim Ordinance 1234.

Per Interim Ordinance 1234, lot consolidations are now required to undergo a preliminary plat procedure and must meet three additional criteria and submit a waiver. The additional criteria include:

- 1. The preliminary plat application is in conformance with all applicable building permit and land use development approvals.
- 2. The preliminary plat application is in conformance with all applicable Zoning Regulations contained within Title 17 Zoning Regulations.
- 3. The preliminary plat application is found to be in general conformance with the comprehensive plan in effect at the time the application was deemed complete.

For analysis of criteria #1, see Design Review conformance below and for criteria #2 see Attachment F.

Staff believes a majority of the preliminary plat requirements have been meet but will highlight three items for commission discussion:

- General conformance with Comprehensive Plan (Interim Ordinance Preliminary Plat Criteria #3)
- Waiver for lots with 25% slope or greater
- Waiver required by Interim Ordinance 1234

### Criteria 3: General conformance with Comprehensive Plan

The 2014 Comprehensive Plan contains the community's vision for Ketchum and sets goals and policies to guide future development. The vision is shaped by 10 core values identified by Ketchum residents as important to consider for all future land uses decisions. The community's core values include protecting the community character of Ketchum and preserving its environmental quality and scenic beauty. Ketchum's undeveloped hillsides are visual assets that define the character of our community. Protecting and preserving Ketchum's natural resources is critical to maintaining our economy, quality of life, and community identity. The comprehensive plan states:

Community Character: You know when you have entered Ketchum; this is a place centered on the "town" and identifiable from the "country" by distinct edges. Residents and visitors desire this clear division that has been lost in so many American cities through strip commercial development and sprawling residential subdivisions. Protecting and enhancing the visual character of our community gateways, the undeveloped hillsides, and night skies is a priority (page 9).

Environmental Quality and Scenic Beauty: Ketchum's citizens place great value on the exceptional natural setting and resources of the Wood River Valley. The community is surrounded by rugged alpine peaks, forested and sage-covered open spaces, pristine wildlife habitat, and beautiful rivers and riparian areas. Key open spaces create visual buffers between the built and natural environment. Unobstructed views exist in every direction in large part due to Ketchum's wide streets and lack of hillside development. These environmental features and resources sustain our economy and are why many people choose to live in Ketchum. We will be excellent stewards of these resources in order to preserve them for the future (page 10).

The comprehensive plan sets policies to guide land-use decisions and identifies the following goals regarding hillside development:

- Policy OS-3.2: Establish and maintain open space buffers in important scenic areas to maintain the community's separate identity from surrounding communities and to protect views and open space.
- Goal CD-2: Protect and enhance views of the surrounding mountains and natural features.
- Policy CD-2.2: Continue to protect hillsides within the City and the Area of City Impact from further
  development. Enforce and encourage strengthening of the Mountain Overlay standards of the City
  and County, by using a variety of techniques; such as clustering at lower elevations, creating
  conservation easements, or purchasing private property on hillsides.
- Policy CD-2.4: Protect and incorporate natural features into newly developing areas. Conserve the natural patterns of streams, ridgelines, topography, riparian areas, and wildlife habitat areas.

The MOD ensures the preservation of Ketchum's surrounding hillsides and ridgelines and minimizes impacts on natural topography, geology, soils, drainage, wildlife, and native vegetation. The MOD review standards reduce visual impact by directing building sites away from higher elevations and keeping hillsides open and unobstructed. Additionally, Mountain Overlay standards protect public health, safety, and welfare by ensuring the adequate provision of emergency services, fire protection, and utilities.

The comprehensive plan's future land use map identifies the subject property as low-density residential. Desired primary uses within this future land use category include single-family and duplex residences as well as accessory units. The single-family residence falls within the primary uses of the low-density residential land use category.

### Relationship between Comprehensive Plan & Interim Ordinance 1234

As seen in the policies and goals listed above, the comprehensive plan emphasizes mountain overlay, preserving hillsides, and neighborhood character. As stated above, Interim Ordinance 1234 requires lot consolidation request to now go through a different process and meet additional criteria as compared to lot consolidation requests prior to the effect of the ordinance. The intent behind this change was due to seeing an increase in consolidation of lots occurring over the past few years. In most areas, this resulted in larger lots with larger single-family homes, reducing the ability to construct a larger number of smaller homes, more reflective of the originally platted subdivisions.

Policy CD-2.2 of the 2014 Comprehensive Plan speaks to the Mountain Overlays purpose in protecting and enhancing the surrounding mountains and natural features. Staff believes the proposed lot consolidation helps to meet this policy as can be seen in the two-lot development diagram seen below or in Attachment B. This diagram helps to compare the estimated amount of disturbance and lot coverage of potential developments on single lots as compared to the proposed residence. The amount of disturbance for two developments would be significantly greater (1,432 sq ft more disturbed area) and the lot coverage would also be greater. With the other Comprehensive Plan policies listed above also speaking on reducing the amount of hillside development, staff believes the proposed lot consolidation and residence helps to meet the policies as it reduces the potential disturbance and curb cuts made along Walnut Ave.

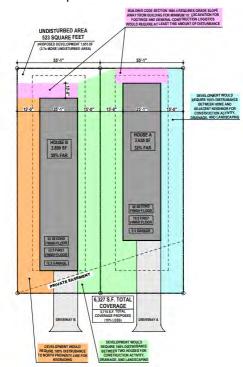


Figure 2: Two lot Development Diagram

Staff supports the proposed lot consolidation as staff believes the preservation of hillsides and maintaining neighborhood character outweighs the opportunity for one additional dwelling unit if the lots remained as is. Speaking to neighborhood character, many of the lots along Walnut Avenue have consolidated two Ketchum townsite lots so the current proposal would not be out of scale or context when discussing lot size. Lot consolidations in the Mountain Overlay District also provide opportunity to better meet the MOD criteria with driveway approaches and tucking of structures into the hillside.

Staff visited various vantage points including Town Square, Bike path from 6<sup>th</sup> St & 3<sup>rd</sup> Ave, and the intersection of East Ave & E 1<sup>st</sup> St. From all the vantage points listed, staff was not able to view the story poles for the project. The proposed residence sits towards the rear of the property line, allowing the residence to be sited

within the hillside allowing for minimal visual impact. The residence also follows the cross slope seen on the subject property by stepping up the hillside, again working with the topography of the site. Due to the design of the residence and siting of the building on the hillside staff believes that the goals and policies of the comprehensive plan related to hillside development are met.

### Waiver for building envelope sited within 25% slope

Staff believes a majority of the preliminary plat criteria have been met but will point out the criteria described in KMC 16.04.040.F.2 pertaining to building envelope requirements on lots with 25% or greater slopes. This criteria states:

"Whenever a proposed subdivision contains lot(s), in whole or in part, within the floodplain, or which contains land with a slope in excess of 25 percent, based upon natural contours, or creates corner lots at the intersection of two or more streets, building envelopes shall be shown for the lot(s) so affected on the preliminary and final plats. The building envelopes shall be located in a manner designed to promote harmonious development of structures, minimize congestion of structures, and provide open space and solar access for each lot and structure. Also, building envelopes shall be located to promote access to the lots and maintenance of public utilities, to minimize cut and fill for roads and building foundations, and minimize adverse impact upon environment, watercourses and topographical features. Structures may only be built on buildable lots. Lots shall only be created that meet the definition of "lot, buildable" in section 16.04.020 of this chapter. Building envelopes shall be established outside of hillsides of 25 percent and greater and outside of the floodway. A waiver to this standard may only be considered for the following:

a. For lot line shifts of parcels that are entirely within slopes of 25 percent or greater to create a reasonable building envelope, and mountain overlay design review standards and all other City requirements are met.

b. For small, isolated pockets of 25 percent or greater that are found to be in compliance with the purposes and standards of the mountain overlay district and this section."

Almost the entirety of the subject property contains 25% slope or greater, leading staff to determine the project meets the waiver criteria pertaining to lots entirely within 25% or greater slope. While staff is supportive of this waiver, staff is not supportive of the proposed building envelope configuration (see preliminary plat condition of approval #3). In previous subdivision applications associated with Mountain Overlay applications, the Planning Zoning Commission has determined appropriate building envelopes follow the proposed building footprints to protect the remaining hillside on those lots. The applicant is proposing a building envelope which is determined based off minimum setbacks in the Limited Residential Zoning District, leaving space between the proposed building and the building envelope. This leaves future additional development on the subject property to have potentially fewer obstacles to go through which has not been what the Commission has been supportive of.

### Waiver required by Interim Ordinance 1234

Per Interim Ordinance 1234, consolidation of lots are permitted subject to a waiver. As stated in KMC 16.04.130, waivers, "must show that there are special physical characteristics or conditions affecting the property in question where literal enforcement of this chapter would result in undue hardship not the result of actions by the subdivider, and that the waiver would not be detrimental to the public welfare, health and safety, nor injurious to property owners in the immediate area."

Staffs review of how the proposed lot consolidation interacts with the public welfare, health and safety has been discussed in the Preliminary Plats general conformance with the comprehensive plan above. As seen in that section, staff believe the project would not be detrimental to the public welfare, health and safety.

### **CONFORMANCE WITH ZONING AND DESIGN REVIEW STANDARDS:**

Prior to granting Design Review approval, the Commission must determine that the applications meets two criteria,: (1) the project doesn't jeopardize the health, safety, or welfare of the public, and (2) the project conforms to all Design Review standards and zoning regulations (KMC 17.96.050.A).

### Criteria #1: Health, Safety, and Welfare of the Public

For staff's review of projects conformance with this criteria, please see Preliminary Plat general conformance with Comprehensive Plan section above.

### Criteria #2: Applicable Standards and Criteria

### Conformance with Design Review Improvements and Standards

As the project is in the MOD, the project is subject to both Mountain Overlay criteria outlined in 17.104.070 as well as Design Review criteria outlined in 17.96.060. During department review, city staff reviewed the project for conformance with all design review standards and required improvements specified in KMC §17.96.060. Additionally, staff reviewed the project for conformance with all city code requirements for right-of-way improvements, utilities, and drainage. Staff believes the project meets the design review standards. Please see Attachment G for staff's comprehensive design review standards analysis. Below is an overview of some of the more noteworthy design review criteria for the proposed project.

Compatibility of Design (KMC 17.96.060.E) and Architectural Features (KMC 17.96.060.F)

Pursuant to KMC §17.96.060.E.1, "The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures." Walnut Avenue features residences built at varying timeframes resulting in a diverse range of materials and architectural styles. Many of the residences on the southern side of Walnut Ave are built in the mountain modern style with a greater use of concrete, steel panels, large windows, and rectangular/square building features. There still remains buildings which have been built with a traditional mountain style (directly across Walnut Ave from subject property) and use more wood materials, pitched roofs, and smaller building footprints. Staff believes the proposed residence does a good job of utilizing materials which are seen in both traditional mountain design as well as mountain modern design with a primary material palette of stucco and stone with oak and metal roofing.

Pursuant to KMC 17.96.060.F.2 & 5, "The building character shall be clearly defined by the use of architectural features" and "Buildings walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness." The proposed residence is three stories in height with step backs at each floor in multiple directions to provide undulation and reduce the appearance of bulk. This rotated orientation provides a unique viewing of the residence not often seen in the neighborhood and accentuates the step backs on each floor. Staff believes these step backs and pitched roof provide visual interest for the project and help meet the standards stated above.

### Conformance with Mountain Overlay Standards

Staff believes the Mountain Overlay Design Review criteria outlined in KMC §17.104.060 has been met. Please see Attachment E for staff's comprehensive Mountain Overlay Design Review standards analysis. Below is an overview of some of the more noteworthy criteria for the project.

Mountain Overlay Design Review criteria #10 states, "Are there other sites on the parcel more suitable for the proposed development in order to carry out the purposes of this section." Purposes of the MOD include directing buildings away from higher elevations and minimizing the visual impact of building sites and access drives that are significantly higher than the vast majority of building sites in Ketchum. The proposed project features the driveway accessing the property at the northern most point along Walnut Ave, allowing for the

southern portion of the lot to provide a visual barrier before the development starts. With the southern portion of the front yard not being the location of the driveway, the garage can then be concealed by up to 4.5 ft of fill, allowing for less of the proposed residence to be seen from the vantage point of Walnut Ave & 6<sup>th</sup> St intersection. The subject property experiences a cross slope moving from the north corner of existing lot 4 to the southern corner of lot 3. This cross slope has impacted the design of the building to step up the hillside in a diagonal manner allowing for step backs of the upper floors seen from both Walnut Ave and 6<sup>th</sup> St. This stepping back of the building up the cross slope reduces the appearance of mass and size of the development. Staff believes with the diagonal configuration and driveway layout that the project reduces its visual impact on the hillside in order to meet criteria #10.

Staff spent additional time reviewing the project's conformance with criteria #2, 5, & 15 which pertain to rock outcroppings and significant landmarks. Uphill of the subject property is one of Ketchum's two designated significant landmarks which contains rock outcroppings. While the subject property doesn't contain those features, staff did view the site from various vantage points within Ketchum to determine if the proposed development would block or have a material visual impact on those rock outcroppings. Staff requested story poles be erected upon the application submittal so that potential visual impacts of the project could be evaluated. Staff visited various vantage points including Town Square, Bike path from 6<sup>th</sup> St & 3<sup>rd</sup> Ave, and the intersection of East Ave & E 1<sup>st</sup> St. Photos taken by the applicant from these vantage points can be seen in Attachment B. After visiting the vantage points, staff determined that the project would not have a material visual impact due to tree canopy and developments in between the vantage points and the subject property.

### **Conformance with Zoning Regulations**

During city department review, planning staff reviewed the project for conformance with all applicable zoning code requirements including permitted uses, dimensional limitations, parking, development standards, and dark skies. Staff believes the project complies with all zoning code regulations and dimensional standards required in the LR Zone. Comprehensive analysis of the project's conformance with zoning code requirements and dimensional standards is provided in Attachment F.

### STAFF RECOMMENDATION:

Staff recommends **approval** of the Design Review application (File No. P23-052) subject to the following conditions:

- 1. This Design Review approval is based on the project plans presented at the September 26, 2023, Planning and Zoning Commission meeting. The project plans for all on-site improvements submitted for the building permit must conform to the approved design review plans unless otherwise approved in writing by the Planning and Zoning Commission or Administrator. Any building or site discrepancies which do not conform to the approved plans will be subject to review by the Commission and/or removal.
- 2. The applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho which include specifications for right-of-way, circulation design, utilities, and drainage improvements for review and approval by the City Engineer, Streets, and Utilities departments prior to issuance of a building permit for the project.
- 3. The term of Design Review approval shall be twelve (12) months from the date that the Findings of Fact, Conclusions of Law, and Decision are adopted by the Commission or upon appeal, the date the approval is granted by the Council subject to changes in zoning regulations.
- 4. In addition to the requirements set forth in this Design Review approval, this project shall comply with all applicable local, state, and federal laws.
- 5. Design review approval is contingent upon the approval of the preliminary plat application by City Council. If Council does not approve the preliminary plat application, the Design Review approval becomes null and void.

Staff recommends **approval** of the Preliminary Plat application (File No. P23-052A) subject to the following conditions:

- 1. The preliminary plat is subject to all conditions of approval associated with Mountain Overlay Design Review Approval P22-070.
- 2. Failure to record a Final Plat within two (2) years of Council's approval of a Preliminary Plat shall cause the Preliminary Plat to be null and void.
- 3. The building envelope shall match the outline of the proposed building.

### **RECOMMENDED MOTION:**

Design Review:

"I move to approve the Walnut Ave Residence Mountain Overlay Design Review application, as conditioned, and direct staff to return with the findings of fact."

### **Preliminary Plat:**

"I move to recommend approval of the Ketchum Townsite: Block 91: Lot 3A Preliminary Plat application to City Council, as conditioned, and direct staff to return with the findings of fact."

### **ATTACHMENTS:**

- A. Mountain Overlay Application
- B. Mountain Overlay Plan Set
- C. Preliminary Plat Application & Materials
- D. Preliminary Plat Plan Set
- E. Mountain Overlay Standards Evaluation
- F. Zoning and Dimensional Standards Evaluation
- G. Design Review Standards Evaluation

### Attachment A: Mountain Overlay Application & Supplemental Materials



### City of Ketchum Planning & Building

OFFICIAL USE	ONLY
File Number:	
Date Received	
Бу	
Fee Paid!	
Approved Date:	
Denied Date:	
By:	

### **Mountain Overlay Design Review Application**

OWNER INFORMATION Project Name: WALNUT RESI	DENCE		
The part of the second of the	ROPERTIES LLC		
		0.07010	
Mailing Address: 12045 BREY	MAN AVE, PORTLAND, OF	3 9 / 2 1 9	
Phone: 208-726-4031	LID COM		
Email: JANET@JARVIS-GRO	UP.COM		
PROJECT INFORMATION			
Architect/Representative: THE J	ARVIS GROUP		
Phone: 208-726-4031			
Mailing Address: PO Box 626, K			
Email: JANET@JARVIS-GRO			
Engineer of Record: GALENA E		3	
Engineer Email: PHOEBE@BN			
Legal Land Description: KETCH	UM LOT 3 & 4, BLOCK 91		2.9
Project Address: LOT 3 & 4, BI	OCK 91		
Lot Area: LOT $3 = 8262$ SF,	LOT 4 = 8261 SF TOTAL C	OMBINED = 16,523 SF	
Zoning District: LR			
Anticipated Use: HOME			
Number of Residential Units:			
TYPE OF CONSTRUCTION			
☑ New	☐ Remodel	☐ Addition	☐ Other, please explain:
TOTAL FLOOR AREA			
Propos	ed		Existing
Basement:Garage   Mechanical	: 1,367		N/A
1st Floor: LIVING	835		N/A
2 <sup>nd</sup> Floor:	1,808		N/A
3 <sup>rd</sup> Floor: 1,156 N/A		N/A	
Decks: 500			N/A
Mezzanine: N/A			N/A
Total: 6,167 N/A		N/A	
Building Coverage: SF 24.8 % Curb Cut:		Curb Cut: SF	%
PROPOSED SETBACKS			
Front: 15',19' - 2" proposed   Side: 10', 12' - 6" proposed   Side: 10', 22' - 1" proposed   Rear: 5', 8' - 3" proposed			
ADDITIONAL INFORMATION			
Building Height: SEE ELEVATIONS A3's Parking Spaces Provided: 2			
Will Fill or Excavation Be Required? Yes No			
If Yes, Amount in Cubic Yards Fill: 199 Excavation: 3,053			
Will Existing Trees of Vegetation Be Removed? Yes No			

Applicant agrees in the event of a dispute concerning the interpretation or enforcement of the Mountain Overlay Design Review Application, in which the City of Ketchum is the prevailing party, to pay reasonable attorney fees, including attorney fees on appeal, and expenses of the City of Ketchum. I, the undersigned, certify that all information submitted with and upon this application form is true and accurate to the best of my knowledge and belief.

Signature of Owner/Representative

2.26.2023



Project: Walnut Residence

Subject: City of Ketchum and Design Review Narrative

Date: Friday, May 26th, 2023

### **Introduction + Existing Site Conditions**

The proposed residence and site development on Lots 3 +4, Block 91, within the Ketchum Village aims to harmoniously blend the built with the natural surroundings while providing a center of respite and refuge for the property owner. The site is bound by the unimproved Seventh Street to the north, undeveloped Block 91 Alley to the east, a residence on Lot 1A (under construction) to the south, and Walnut Avenue to the west. On the southwest corner of the site there is an existing view corridor easement, for the benefit of adjacent Lot 1A, which restricts the development + placement of any vertical element(s). The topography of the existing site rises approximately 65' from the Southwest corner (low) to the Northeast corner (high). Along Walnut Avenue, where vehicle access into the site occurs, there is an approximately 5ft elevation difference between road surface and western property boundary, presenting constraints to vehicular access. The existing vegetation on site features largely native sagebrush steepe plant species, and there are no existing trees of note present. Similarly there are no existing rock outcroppings within the property boundaries.

### **Vehicle Access + Building Siting**

Initial site and architectural studies by the design team focused on 1) providing safe and efficient access into the site from Walnut Ave and 2) integrating the built structure within sloping hillside. Access into the site is constrained by the existing topography, positioning Walnut Ave approximately 5ft below western access / property line. Additionally, there is the aforementioned view corridor easement, which placed constraints on the final location of the proposed garage. The design team realized that providing vehicle access into the site was best accomplished by entering the site as high on Walnut Ave. as possible. This allowed for the most direct approach, while satisfying fire access code standards. This approach also allowed for the garage structure itself to be oriented so that the garage doors are not presented to those passing by on Walnut Avenue.

Concurrent to identifying the ideal vehicle access approach and surface elevation, the team worked on integrating the built forms and volumes of the structures into the existing hillside, while still achieving the owners spatial and programmatic architectural goals. As described in the site conditions, the existing site topography slopes from northeast (high) to southwest (low). Building upon the information learned from the ideal vehicle access approach and resulting garage location, the design team examined stepping the architectural volumes up the hillside, thus allowing the finish floor elevations to step up in harmony with the existing site topography. This strategy allowed for the existing grades wrap and blend around the structure(s), revegetate more of the site in a manner that presents naturalized, and minimize the visual impact of buildings with respects to offsite views.

In keeping with the spirit and requirements of the MOD, the design team has erected architectural story poles on site and subsequently viewed and photographed the site from designated public vantage points within the City of Ketchum. The findings from this study are that the story poles are not visible from these public vantage points. Ensuring the design met this criteria was a very high priority of the design team with respects to the MOD purposes and goals.

### Site Grading, Drainage + Utilities

The integration of the architecture with the existing topography allowed for the proposed exterior improvements and grading + drainage to replicate the current flow patterns and systems on site. All proposed grading and drainage was designed and engineered to be fully controlled and maintained on subject property and not impact adjacent lots. Site retaining walls are minimized, and when necessary, the team will use natural stone boulders in organic / natural alignments to blend into the site and visually recede into hillside vegetation.

All utilities are proposed to be underground and exterior MEP equipment has been located on site in areas that cannot be viewed from public or private view corridors.

The stepping of the architecture volumes and finish floor elevations with the existing topography also allowed for the team to reduce the amount of cut + excavation on site necessary for the implementation of the design.

### Revegetation

All areas on site impacted by the proposed development are proposed to be revegetated with a plant palette that is either native and / or compatible with the existing sagebrush steppe plant community. The layout of the new plantings will appear natural by mimicking the patterns and arrangements the surrounding landscape. The goal of the design team is to visually blend the improvements with the native landscape, thus presenting no discernible boundary between these two delineations.

Trees and shrubs have been placed with attention on preserving / maintaining views, providing comfortable living conditions, and appropriately screening the residence. The efforts of the design team described relative to building siting and stepping of the architectural volumes, combined with a strict revegetation palette, will allow the architecture to blend into the site in a relevant timeframe.

### Attachment B: Mountain Overlay Plan Set

### WALNUT RESIDENCE



**PROJECT TEAM PROJECT TABULATIONS** 

**ARCHITECT** 

THE JARVIS GROUP ARCHITECTS, AIA, PLLC BYLA LANDSCAPE ARCHITECTS 511 SUN VALLEY ROAD, SUITE 202 KETCHUM, IDAHO 83340 PO BOX 626 PHONE: (208) 726-4031

**SURVEYOR** GALENA-BENCHMARK ASSOCIATES P.O. BOX 733 100 BELL DRIVE KETCHUM, ID 83340 PHONE: (208) 726-8514

**LANDSCAPE ARCHITECT** 323 LEWIS ST, KETCHUM, ID 83340

PHONE: (208) 726-5907

PHONE: (208) 720-6432

**GEOTECHNICAL ENGINEER** BUTLER ASSOCIATES, INC. P.O. BOX 1034 208 SPRUCE AVENUE N. KETCHUM, ID 83340

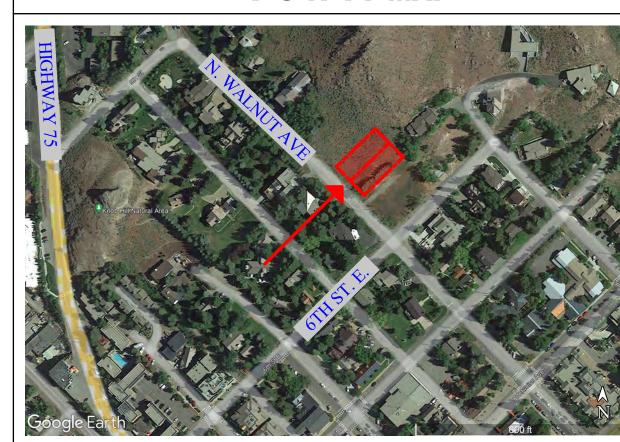
### SQUARE FOOTAGE CALCULATIONS

FIRST FLOOR LIVING AREA:	797 SF
SECOND FLOOR LIVING AREA:	1,644 SF
THIRD FLOOR LIVING AREA:	2,125 SF
TOTAL LIVING AREA:	4,566 SF
GARAGE:	865 SF
MECHANICAL :	374 SF
TOTAL:	5,805 SF

### LOT COVERAGE CALCULATION

TOTAL SITE AREA	16,583 SF
PROPOSED ARCHITECTURAL FOOTPRINT	4,188 SF
LOT COVERAGE %	25.3% SF

### **VICINITY MAP**



### **GENERAL NOTES**

- 1. THIS PROJECT SHALL COMPLY WITH THE 2018 INTERNATIONAL RESIDENTIAL CODE FOR ONE AND TWO-FAMILY DWELLINGS, CITY OF KETCHUM.
- 2. CONTRACTOR SHALL COORDINATE ALL REQUIRED INSPECTIONS BY CITY OF KETCHUM, FIRE DEPARTMENTS, STATE ELECTRICAL INSPECTOR OR OTHER GOVERNING AUTHORITIES, AS NECESSARY.
- 3. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL TEMPORARY UTILITIES, INCLUDING ELECTRICITY NECESSARY FOR CONSTRUCTION. A JOB PHONE MUST BE MAINTAINED ON SITE FOR THE DURATION OF CONSTRUCTION AND THE PHONE NUMBER WILL BE MADE AVAILABLE TO THE ARCHITECT.
- 4. ALL CONSTRUCTION DEBRIS IS TO BE STOCKPILED NEATLY ON SITE UNTIL DISPOSAL. WHICH SHALL BE DONE AT THE COUNTY LANDFILL OR RECYCLING FACILITY ONLY. THE JOB SITE SHALL REMAIN CLEAN OF TRASH.
- 5. EXCEPT AT INTERIOR ELEVATIONS, AND UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE GIVEN TO FACE OF ROUGH FRAMING, CENTERLINE OF COLUMNS, OR FACE OF CONCRETE AND C.M.U. WALL. GIVEN DIMENSIONS TAKE PRECEDENCE OVER SCALE. CONTRACTOR SHALL TAKE EXTRA CAUTION TO COORDINATE DIMENSIONS OF STRUCTURAL DRAWINGS WITH ARCHITECTURAL DRAWINGS PRIOR TO CONSTRUCTION. VERIFY ANY DISCREPANCIES WITH ARCHITECT.
- 6. CONTRACTOR SHALL PROVIDE STORAGE FOR ALL BUILDING MATERIALS IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDATIONS.
- 7. ALL SUBSTITUTIONS ARE TO BE APPROVED BY ARCHITECT. ALONG WITH WRITTEN REQUESTS, CONTRACTOR SHALL PROVIDE ALL INFORMATION REGARDING THE SUBSTITUTION IN QUESTION, INCLUDING AVAILABILITY AND REASON FOR SUBSTITUTION.

- 8. SOLID WOOD BLOCKING, INSULATION OR OTHER FIRE STOP MATERIAL IS TO BE PROVIDED BETWEEN STORIES, BETWEEN TOP STORY AND ROOF SPACE, BETWEEN STAIR STRINGERS AT TOP AND BOTTOM, BETWEEN STUDS ALONG STAIR RUNS AND AT ALL OTHER PLACES THAT COULD AFFORD THE PASSAGE OF FLAME. FIRE STOPS BETWEEN CHIMNEY AND WOOD FRAME SHALL BE NON-COMBUSTIBLE.
- 9. CONTRACTOR SHALL PROVIDE SAMPLES OF ALL FINISHES AND STAIN COLORS FOR APPROVAL BY OWNER / ARCHITECT. THIS INCLUDES INTERIOR AND EXTERIOR STAINS, INTERIOR PAINT, SHEETROCK TEXTURES, CHEMICALLY APPLIED METAL PATINAS,
- 10. CONTRACTOR SHALL PROVIDE RADON MITIGATION AS PER THE 2018 INTERNATIONAL RESIDENTIAL CODE, APPENDIX F, RADON CONTROL METHODS.
- 11. REFER TO THE LANDSCAPE PLAN FOR FINISH GRADING, PLANTINGS, AND HARDSCAPES.
- 12. ALL UTILITIES SHALL BE UNDERGROUND.
- 13. SMOKE AND CARBON DETECTORS MUST BE INTERCONNECTED WITH A POWER SOURCE FROM THE BUILDING WIRING, AND SHALL BE EQUIPPED WITH BATTERY BACKUP
- 14. ALL EXTERIOR LIGHTING TO BE DARK SKY COMPLIANT
- 15. OSB OR PARTICAL BOARD IS **NOT** AN ACCEPTABLE MATERIAL, IN ANY APPLICATION. ALL ENGINEERED SHEATHING AND SUBFLOORING SHALL BE PLYWOOD.

**SHEET INDEX** 

### <u>ARCHITECTURAL</u> A0.0 A1.0

A1.1 SITE SURVEY A1.2 A1.3 A1.4 PHOTOGRAPHY EXHIBIT

A1.5 PHOTOMETRIC STUDY A2.0 FIRST FLOOR PLAN A2.1 SECOND FLOOR PLAN A2.2 THIRD FLOOR PLAN A3.0 **ELEVATONS** 

A3.2 A4.0 SECTIONS A4.1 SECTIONS

L-1.00 OVERALL SITE PLAN L-2.00 SITE GRADING + DRAINAGE PLAN

L-3.00 STIE MATERIALS PLAN L-4.00 3D MODEL IMAGES L-4.01 3D MODEL IMAGES

L-5.00 SITE PLANTING NOTES + SCHEDULE L-5.01 SITE PLANTING PLAN

### **LEGAL DESCRIPTION**

KETCHUM LOT 3 BLOCK 91, PARCELNUMBER: RPK00000910030 AND KETCHUM LOT 4 BLOCK 91, PARCEL NUMBER: RPK0000091004A CITY OF KETCHUM, BLAIN COUNTY, IDAHO, 83340

SHEET NAME

COVERSHEET SITE PLAN

STAKING AND STORY POLE PLAN CONSTRUCTION MANAGEMENT PLAN

A3.1 **ELEVATONS** MATERIAL PALETTE

<u>LANDSCAPE</u>

L-4.02 3D MODEL IMAGES

> VEHICLE ACCESS AND RESIDENCE SITING EXHIBIT NATIVE REVEGETATION EXHIBIT

GRADING AND DRAINAGE PLAN

C-2 UTILITY PLAN

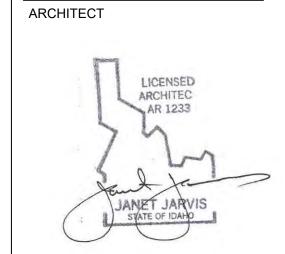
THESE DRAWINGS AND DETAILS ARE PROTECTED UNDER FEDERAL COPYRIGHT LAWS AND ARE EXCLUSIVE PROPERTY OF THE ARCHITECT. ANY UNAUTHORIZED USE INCLUDING REPRODUCTION WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE JARVIS GROUP IS PROHIBITED BY LAW. © 2014 THE JARVIS GROUP, PLLC

DATE REVISIONS NO. DATE DESCRIPTION

COVERSHEET

KETCHUM, IDAHO 83340

THE JARVIS GROUP ARCHITECTS, AIA PLLC



**ENGINEER** 

DRAWN MCCREREY

05.26.2023 CITY OF KETCHUM DESIGN REVIEW 07.11.2023 UPDATES PER D.R. COMMENTS

**A0.0** 



THE JARVIS GROUP ARCHITECTS, AIA PLLC

511 SUN VALLEY ROAD POSTAL BOX 626 KETCHUM, IDAHO 83340

PHONE 208.726.4031 **♦** FAX 208.726.4097

ARCHITECT

LICENSED ARCHITEC AR 1233 JANET JARVIS STATE OF IDAHO

ENGINEER

THESE DRAWINGS AND DETAILS ARE PROTECTED UNDER FEDERAL COPYRIGHT LAWS AND ARE EXCLUSIVE PROPERTY OF THE ARCHITECT. ANY UNAUTHORIZED USE, INCLUDING REPRODUCTION WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE JARVIS GROUP IS PROHIBITED BY LAW. © 2014 THE JARVIS GROUP, PLLC

DRAWN MCCREREY

DATE

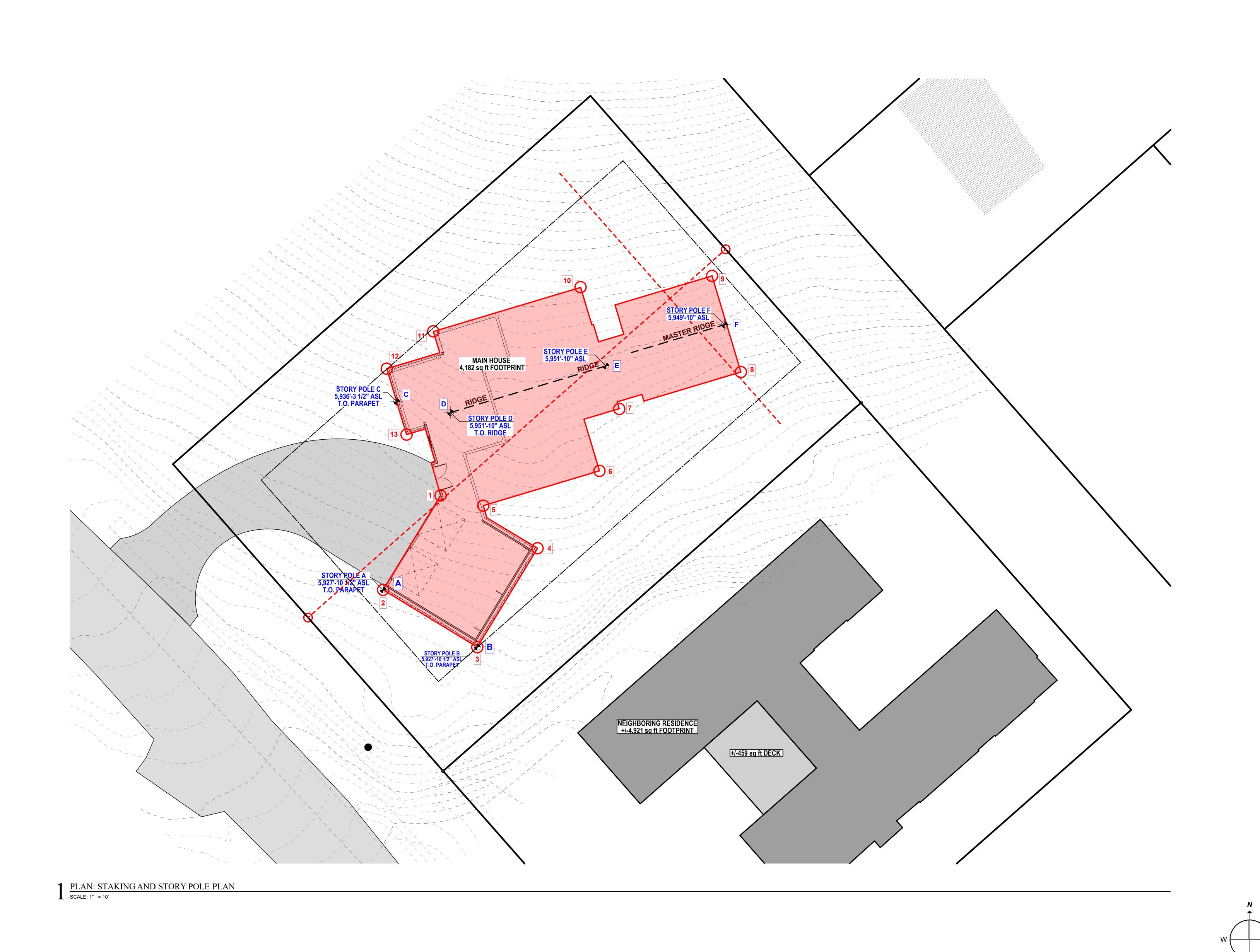
FILE

NO. DATE DESCRIPTION

05.26.2023 CITY OF KETCHUM DESIGN REVIEW

**A1.1** 

SITE SURVEY



THE JARVIS GROUP

ARCHITECTS, AIA PLLC

511 SUN VALLEY ROAD

POSTAL BOX 626

KETCHUM, IDAHO 83340

PHONE 208.726.4031 FAX 208.726.4097

91

LNUI KESIDENCI COT 3 & 4 BLOCK 91

KETCHUM

ARCHITECT

LICENSED
ARCHITEC
AR 1233

JANET JARVIS

ENGINEER

THESE DRAWINGS AND DETAILS ARE PROTECTED UNDER FEDERAL COPYRIGHT LAWS AND ARE EXCLUSIVE PROPERTY OF THE ARCHITECT. ANY UNAUTHORIZED USE, INCLUDING REPRODUCTION WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE JARVIS GROUP IS PROHIBITED BY LAW. © 2014 THE JARVIS GROUP, PLLC

**A1.2** 

DRAWN MCCREREY

DATE

DATE
FILE

REVISIONS

NO. DATE DESCRIPTION

05.26.2023 CITY OF KETCHUM DESIGN REVIEW

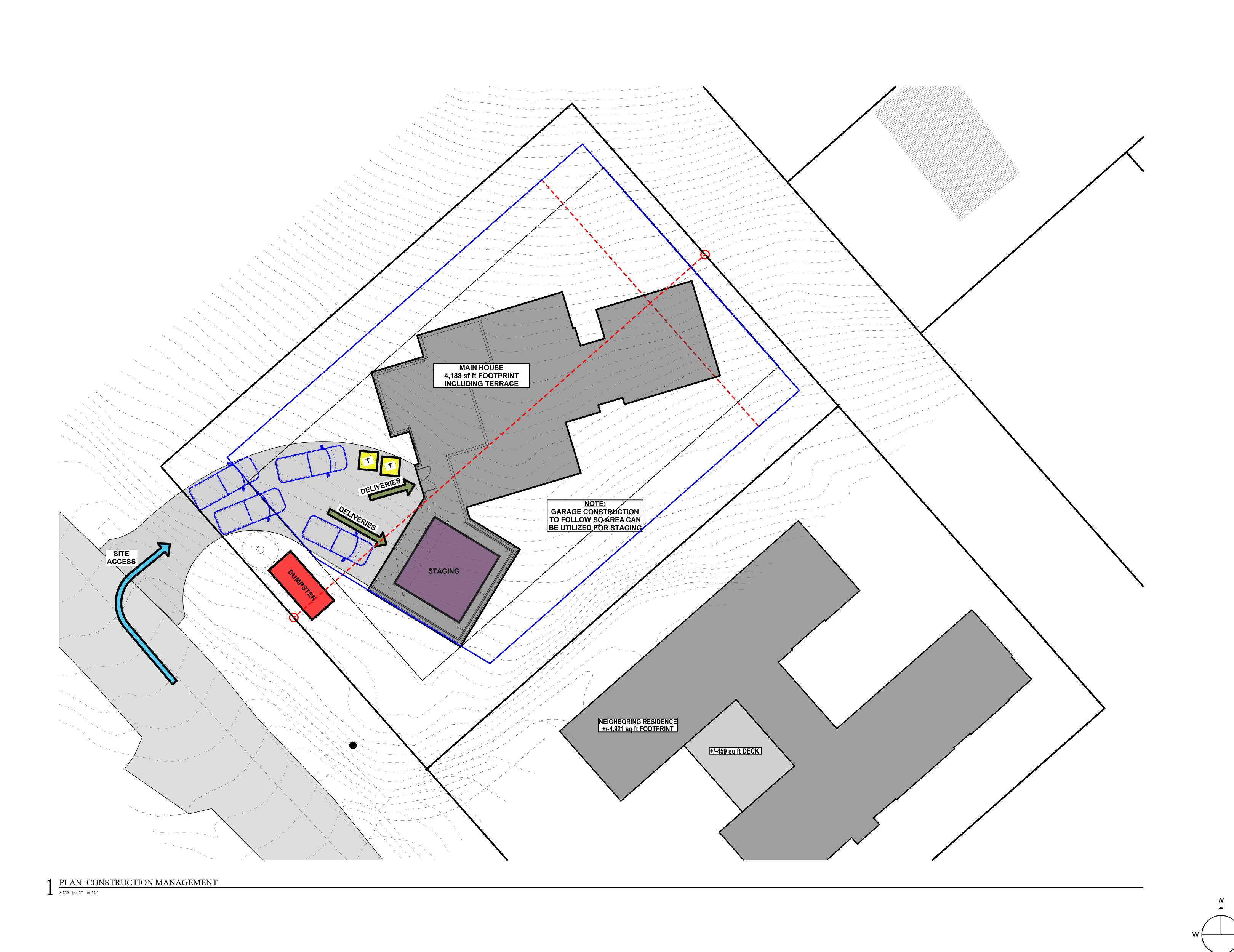
07.11.2023 UPDATES PER D.R. COMMENTS

07.26.2023 UPDATE PER SETBACK

S

S **PROJECT NORTH** 

STAKING AND STORY POLE PLAN



511 SUN VALLEY ROAD POSTAL BOX 626 KETCHUM, IDAHO 83340 

ARCHITECT

**ENGINEER** 

THESE DRAWINGS AND DETAILS ARE PROTECTED UNDER FEDERAL COPYRIGHT LAWS AND ARE EXCLUSIVE PROPERTY OF THE ARCHITECT. ANY UNAUTHORIZED USE, INCLUDING REPRODUCTION WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE JARVIS GROUP IS PROHIBITED BY LAW. © 2014 THE JARVIS GROUP, PLLC

DRAWN MCCREREY

REVISIONS NO. DATE DESCRIPTION 05.26.2023 CITY OF KETCHUM DESIGN REVIEW

07.11.2023 UPDATES PER D.R. COMMENTS

07.26.2023 UPDATE PER SETBACK

**PROJECT NORTH** 

CONSTRUCTION MANAGEMENT PLAN

A1.3

**ENGINEER** 

REVISIONS

NO. DATE DESCRIPTION 05.26.2023 CITY OF KETCHUM DESIGN REVIEW

07.11.2023 UPDATES PER D.R. COMMENTS

**A1.4** 



**EXHIBIT A:** FROM NEIGHBORING DRIVEWAY

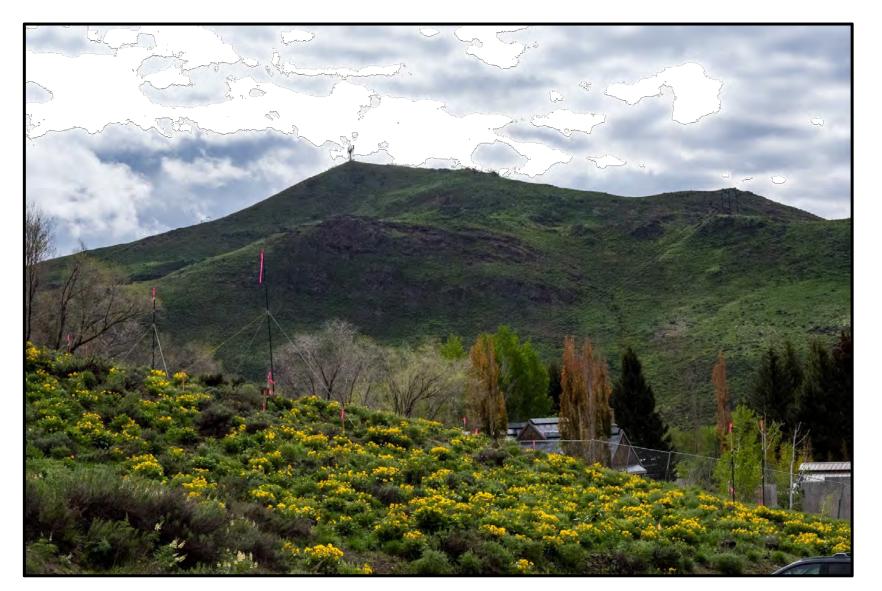


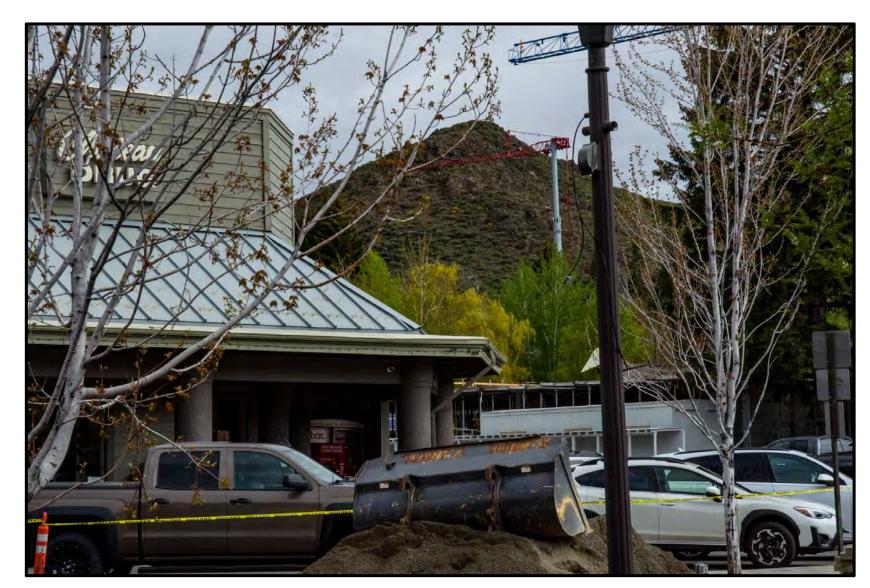
EXHIBIT B: FROM NEIGHBORING DRIVEWAY - CLOSER VANTAGE



**EXHIBIT C:** FROM WALNUT INTERSECTION



**EXHIBIT D:** FROM TOWN SQUARE - STARBUCKS



**EXHIBIT E:** FROM TOWN SQUARE - ICE CREAM SHED



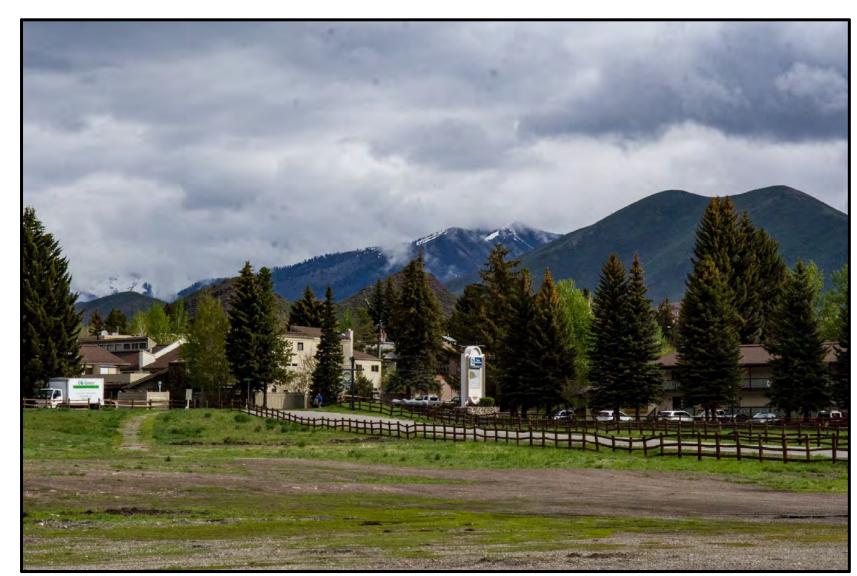
**EXHIBIT F:** FROM 6TH STREET GRAVEL BIKE PATH CONNECTOR



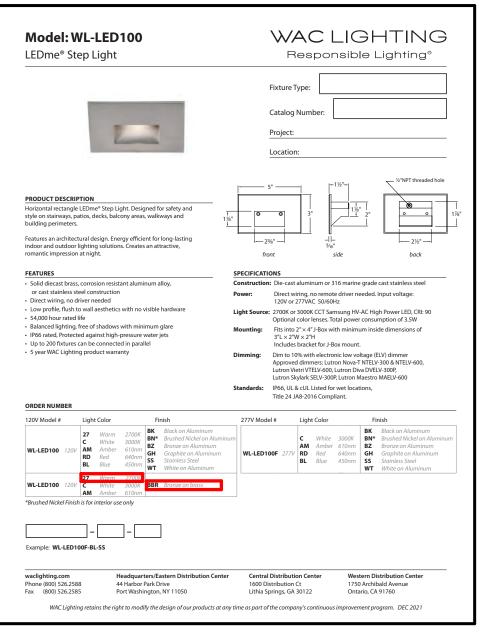
**EXHIBIT G:** FROM BIKE PATH NEAR 6TH STREET

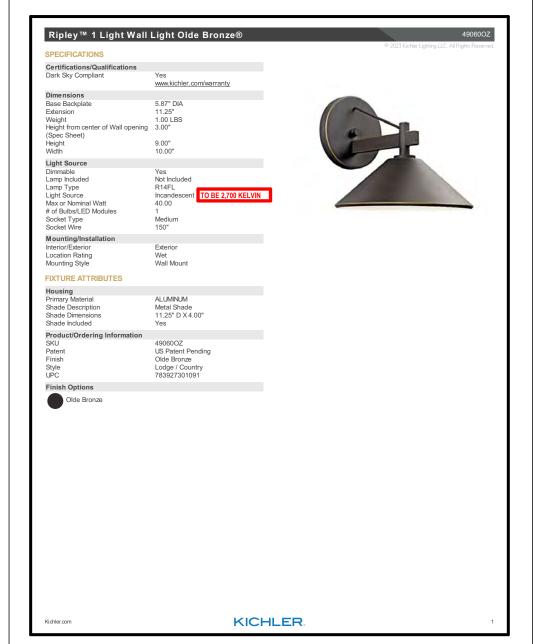


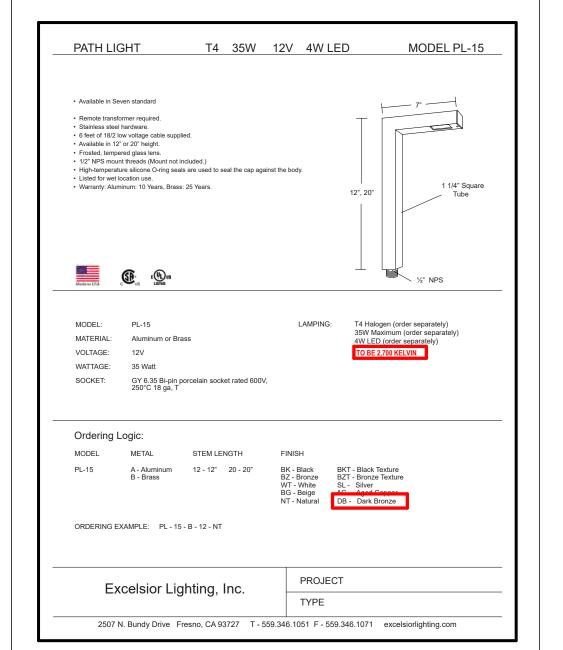
EXHIBIT G: FROM BIKE PATH NEAR 6TH STREET - FURTHER VANTAGE

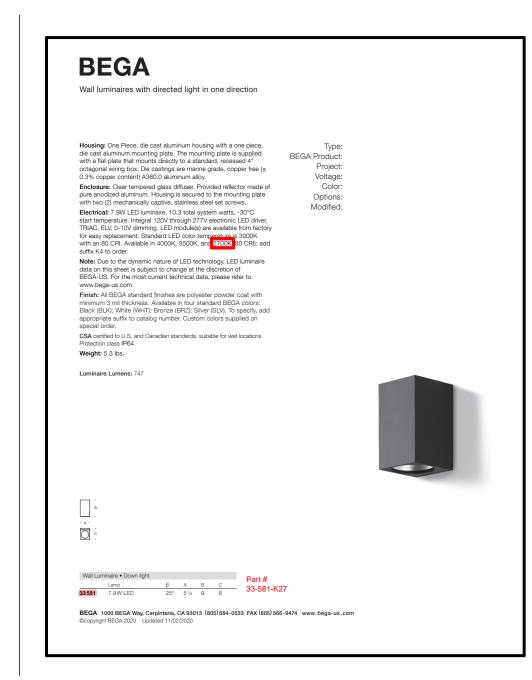


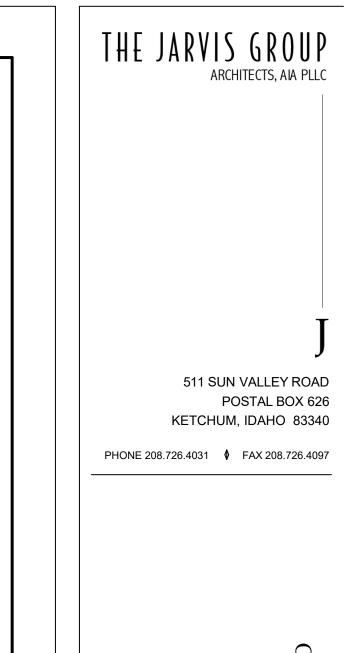
**EXHIBIT G:** FROM RIVER RUN PARKING LOT









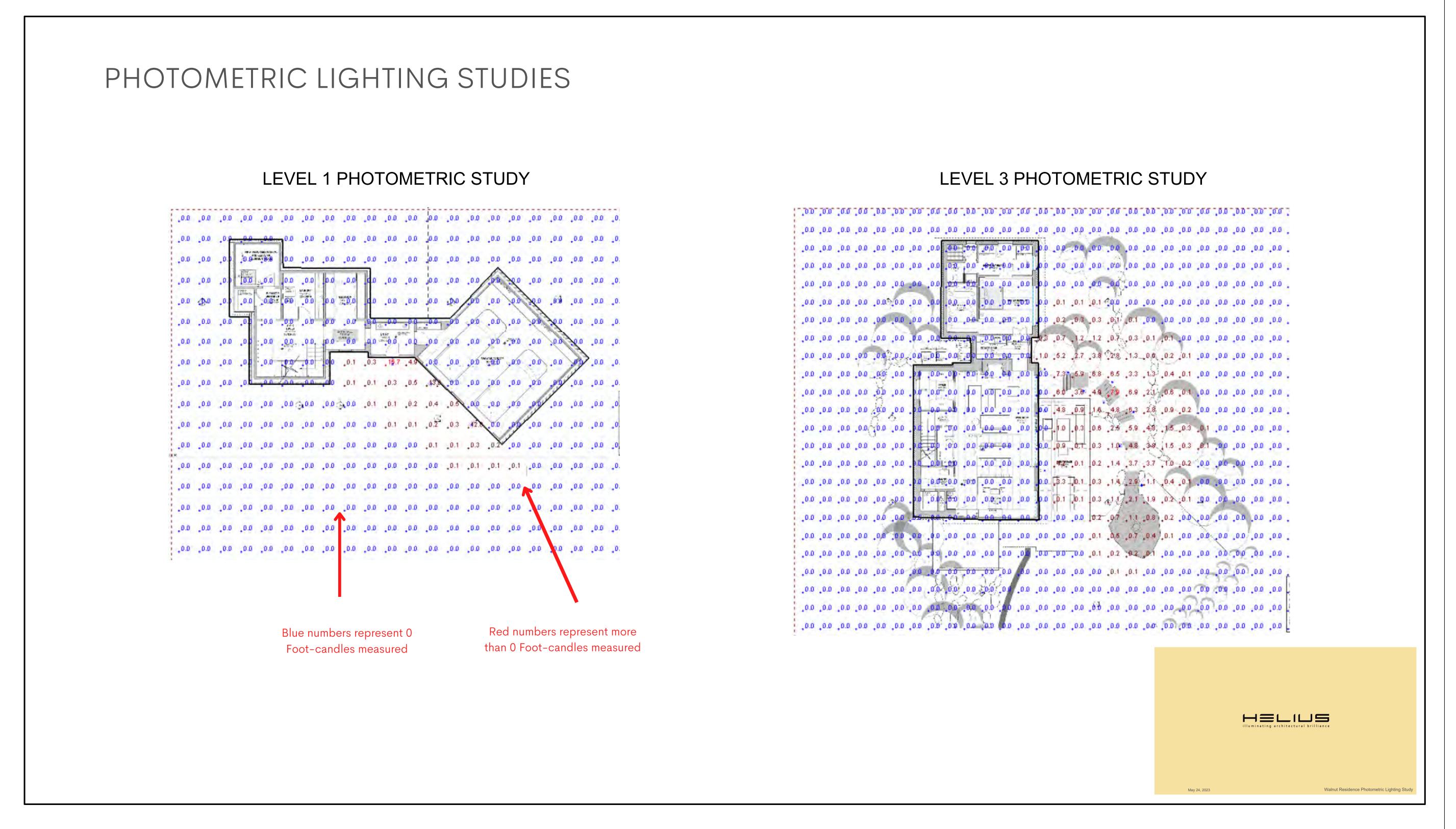


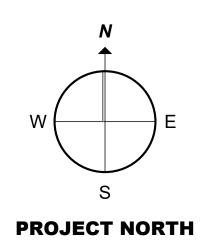
IDE

 $\Xi$ 

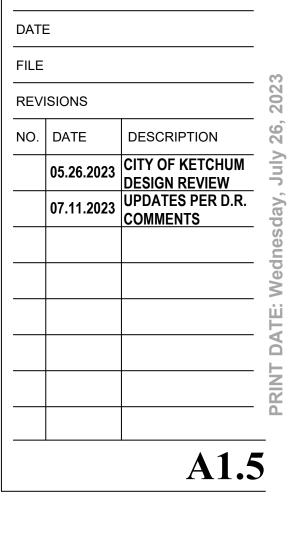
ARCHITECT

**ENGINEER** 





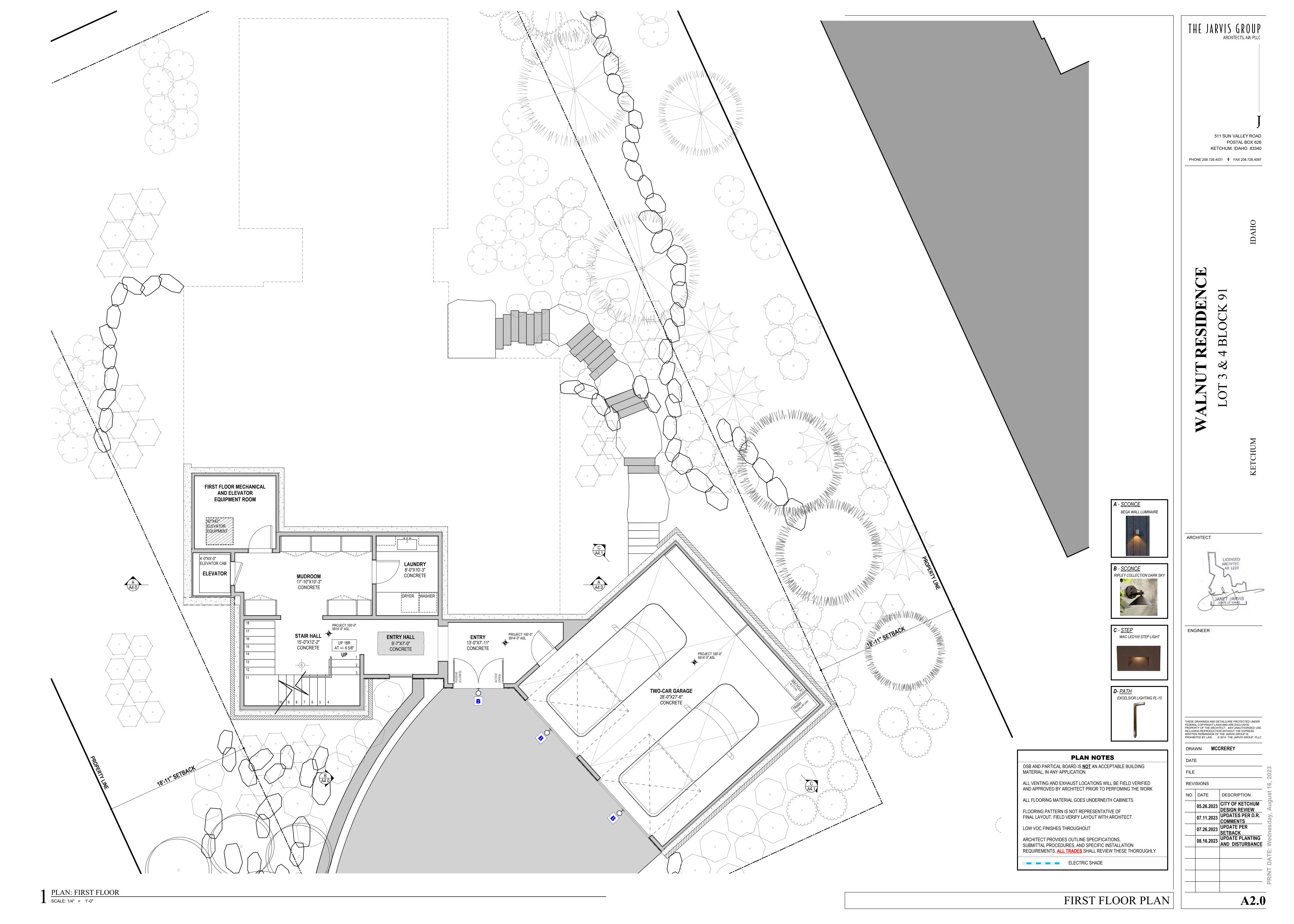
PHOTOMETRIC STUDY

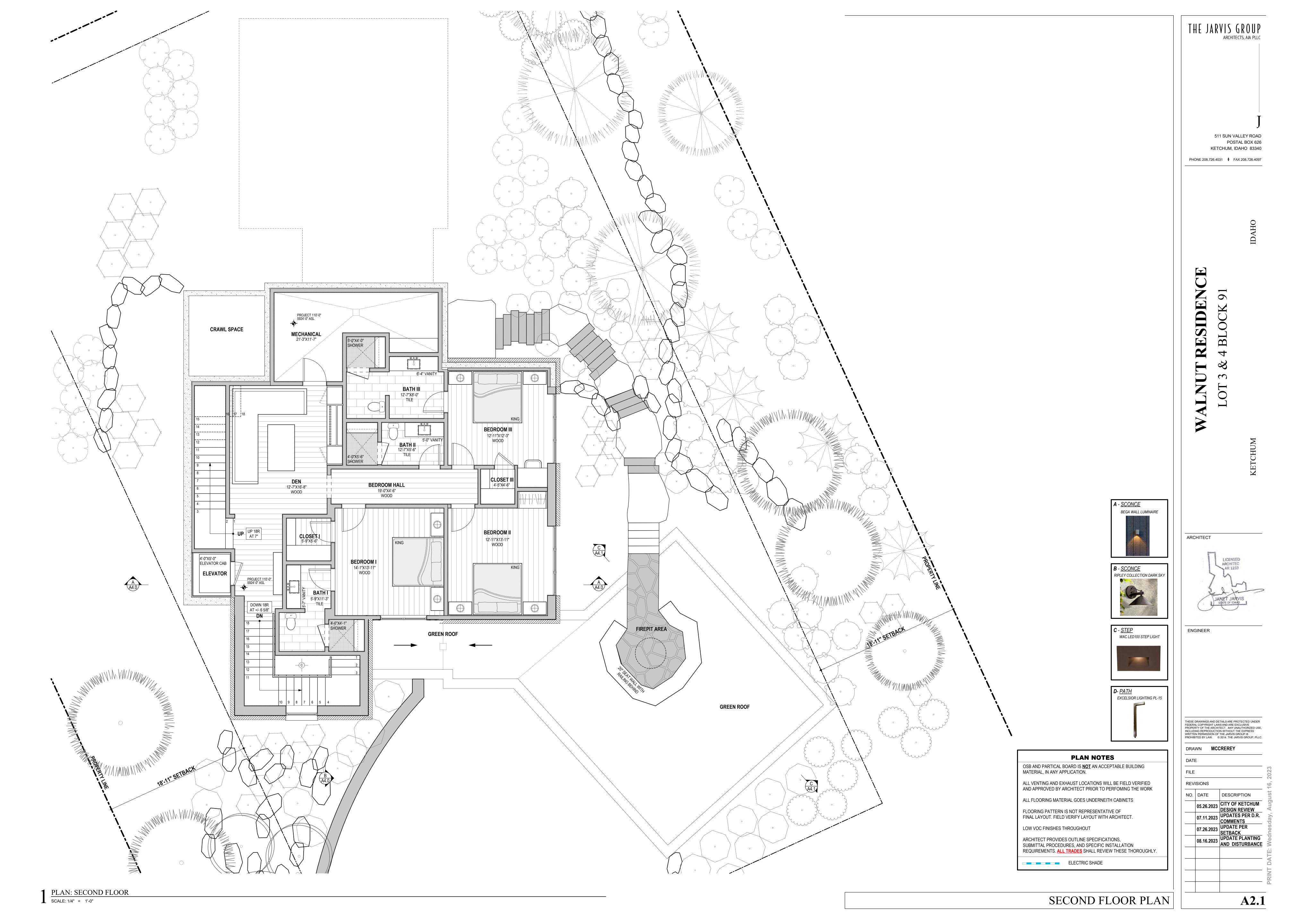


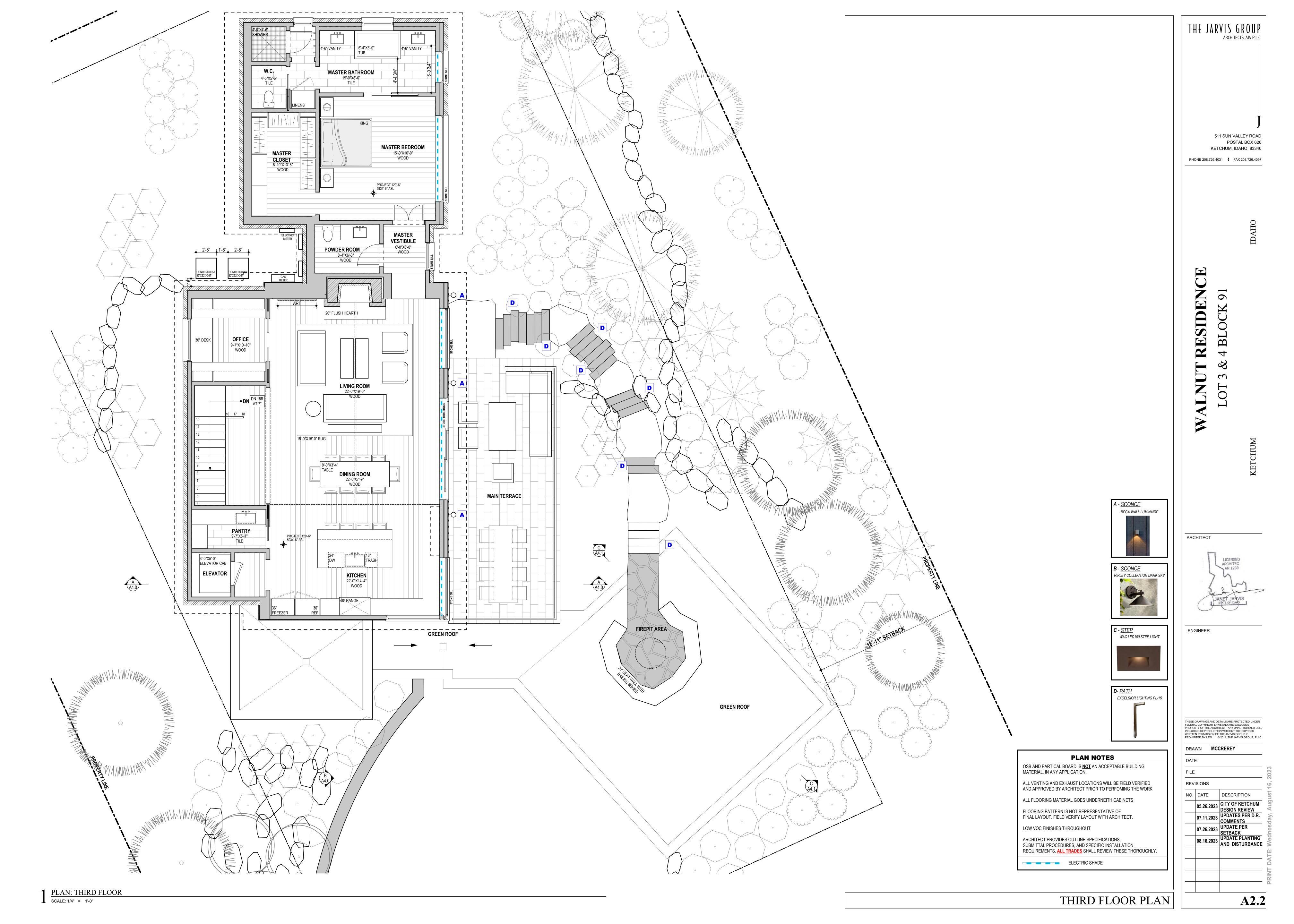
THESE DRAWINGS AND DETAILS ARE PROTECTED UNDER FEDERAL COPYRIGHT LAWS AND ARE EXCLUSIVE PROPERTY OF THE ARCHITECT. ANY UNAUTHORIZED USE

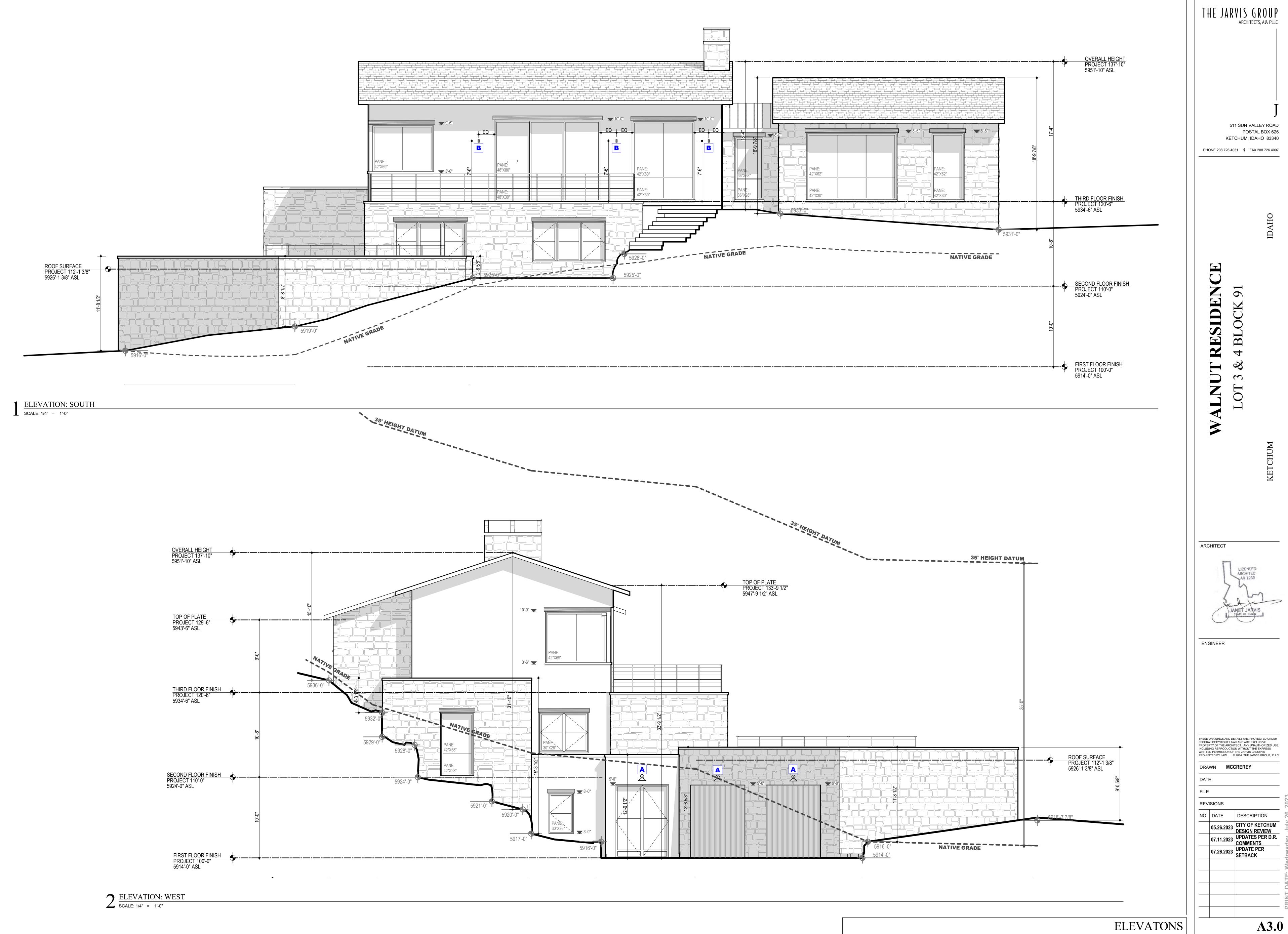
INCLUDING REPRODUCTION WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE JARVIS GROUP IS PROHIBITED BY LAW. © 2014 THE JARVIS GROUP, PLLC

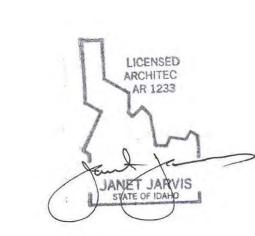
DRAWN MCCREREY

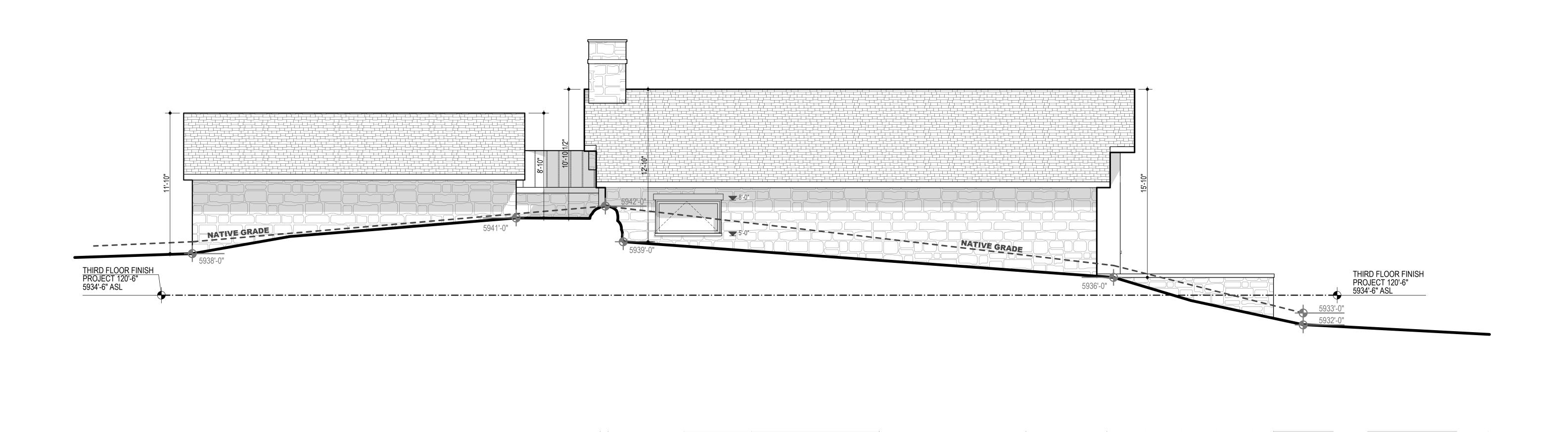












1 ELEVATION: NORTH
SCALE: 1/4" = 1'-0"

OVERALL HEIGHT PROJECT 137'-10" 5951'-10" ASL THIRD FLOOR FINISH
PROJECT 120'-6"
5934'-6" ASL 2 ELEVATION: EAST SCALE: 1/4" = 1'-0"

511 SUN VALLEY ROAD POSTAL BOX 626 KETCHUM, IDAHO 83340 ARCHITECT **ENGINEER** THESE DRAWINGS AND DETAILS ARE PROTECTED UNDER FEDERAL COPYRIGHT LAWS AND ARE EXCLUSIVE PROPERTY OF THE ARCHITECT. ANY UNAUTHORIZED USE, INCLUDING REPRODUCTION WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE JARVIS GROUP IS PROHIBITED BY LAW. © 2014 THE JARVIS GROUP, PLLC DRAWN MCCREREY REVISIONS NO. DATE DESCRIPTION

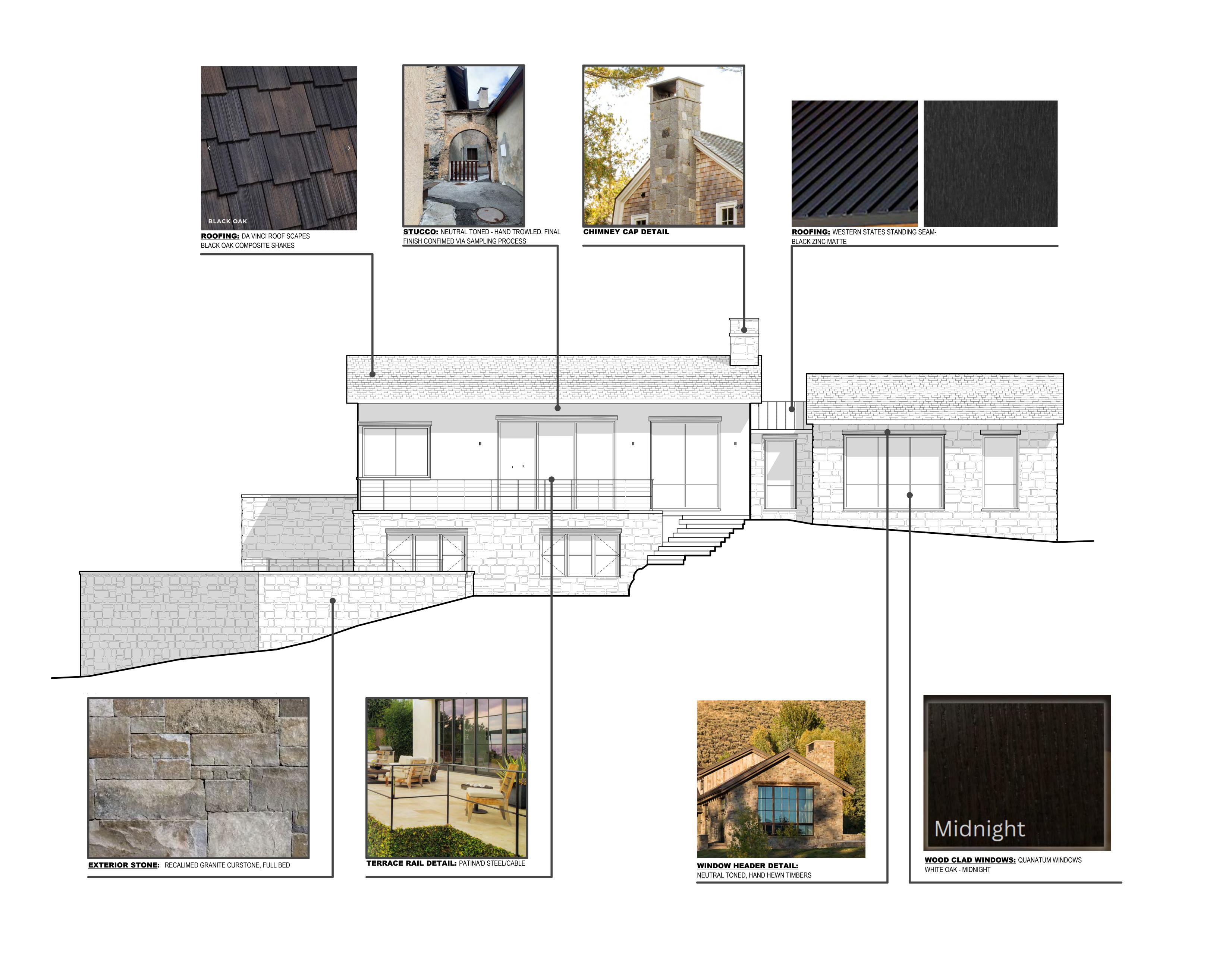
05.26.2023 CITY OF KETCHUM DESIGN REVIEW

07.11.2023 UPDATES PER D.R. COMMENTS

07.26.2023 UPDATE PER SETBACK

ELEVATONS

**A3.1** 



THE JARVIS GROUP

ARCHITECTS, AIA PLLC

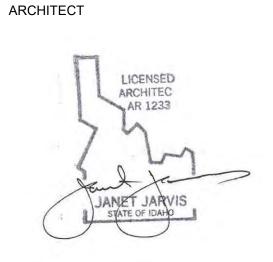
J

511 SUN VALLEY ROAD

POSTAL BOX 626

KETCHUM, IDAHO 83340

UT KESIDENC 3 & 4 BLOCK 91



ENGINEER

THESE DRAWINGS AND DETAILS ARE PROTECTED UNDER FEDERAL COPYRIGHT LAWS AND ARE EXCLUSIVE PROPERTY OF THE ARCHITECT. ANY UNAUTHORIZED USE, INCLUDING REPRODUCTION WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE JARVIS GROUP IS PROHIBITED BY LAW. © 2014 THE JARVIS GROUP, PLLC

DRAWN MCCREREY

DATE

FILE

REVISIONS

NO. DATE DESCRIPTION

05.26.2023 CITY OF KETCHUM DESIGN REVIEW

07.11.2023 UPDATES PER D.R. COMMENTS

07.26.2023 UPDATE PER SETBACK

DESCRIPTION

AND DESCRIPTION

DESCRIPTION

DESCRIPTION

DESCRIPTION

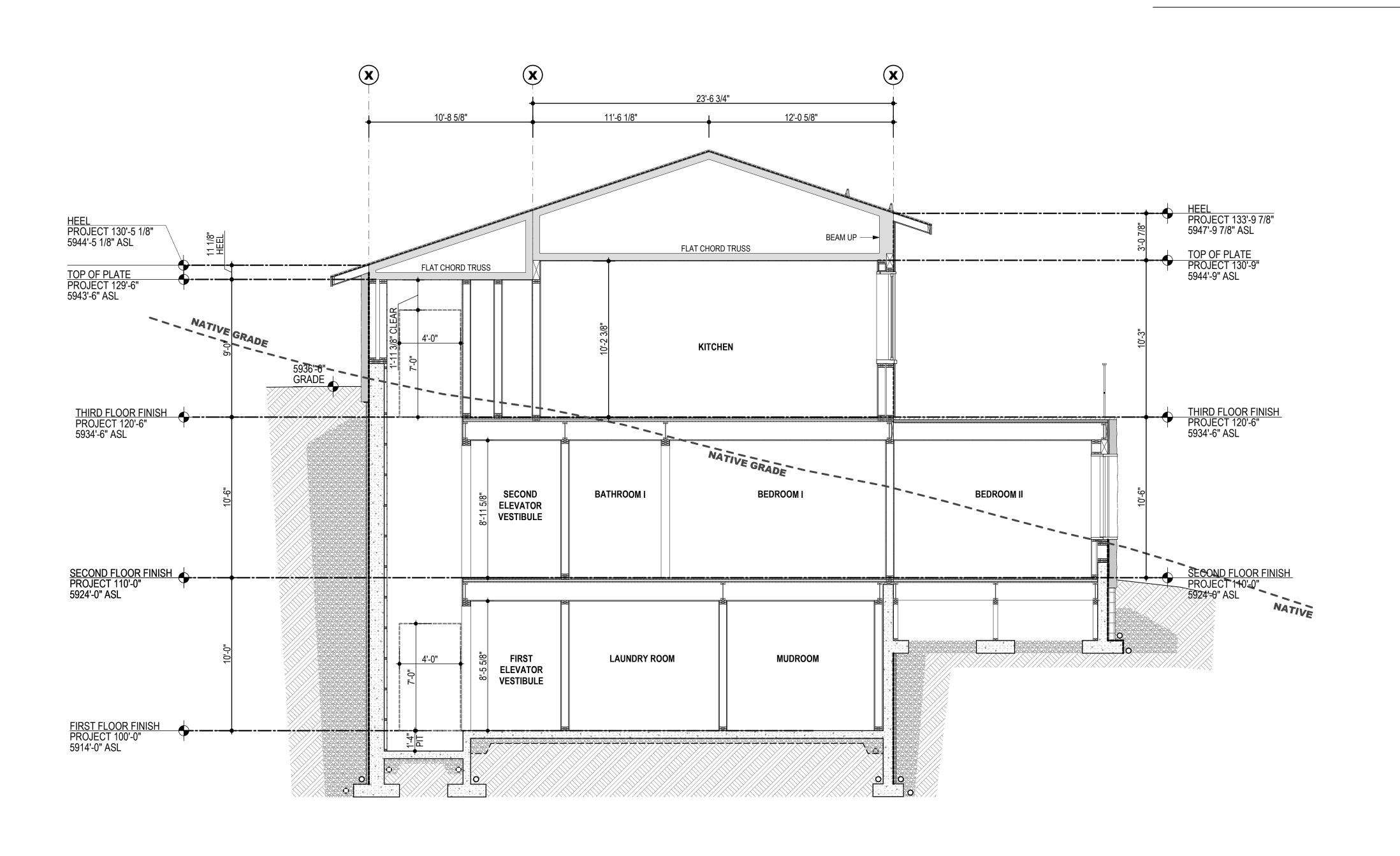
DESCRIPTION

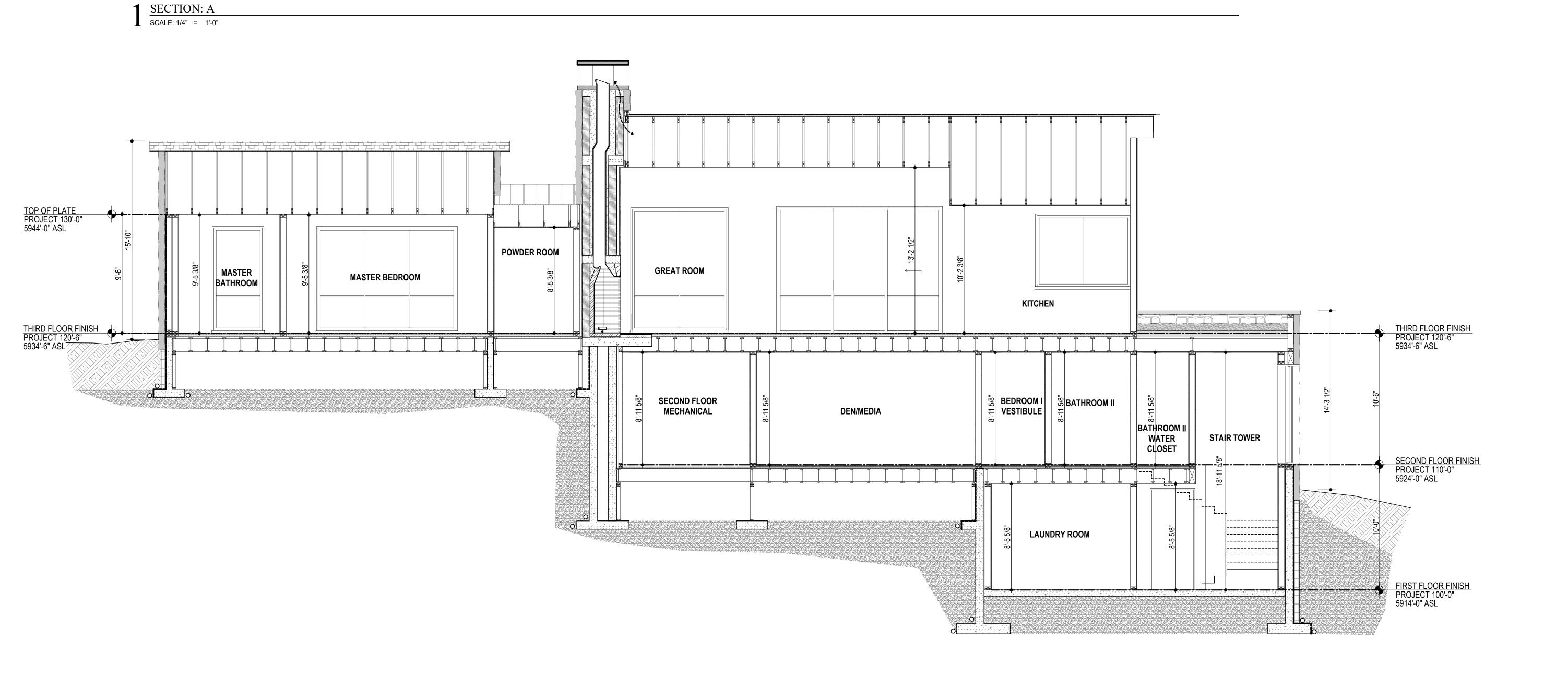
AND DESCRIPTION

DESCRIPTI

MATERIAL PALETTE

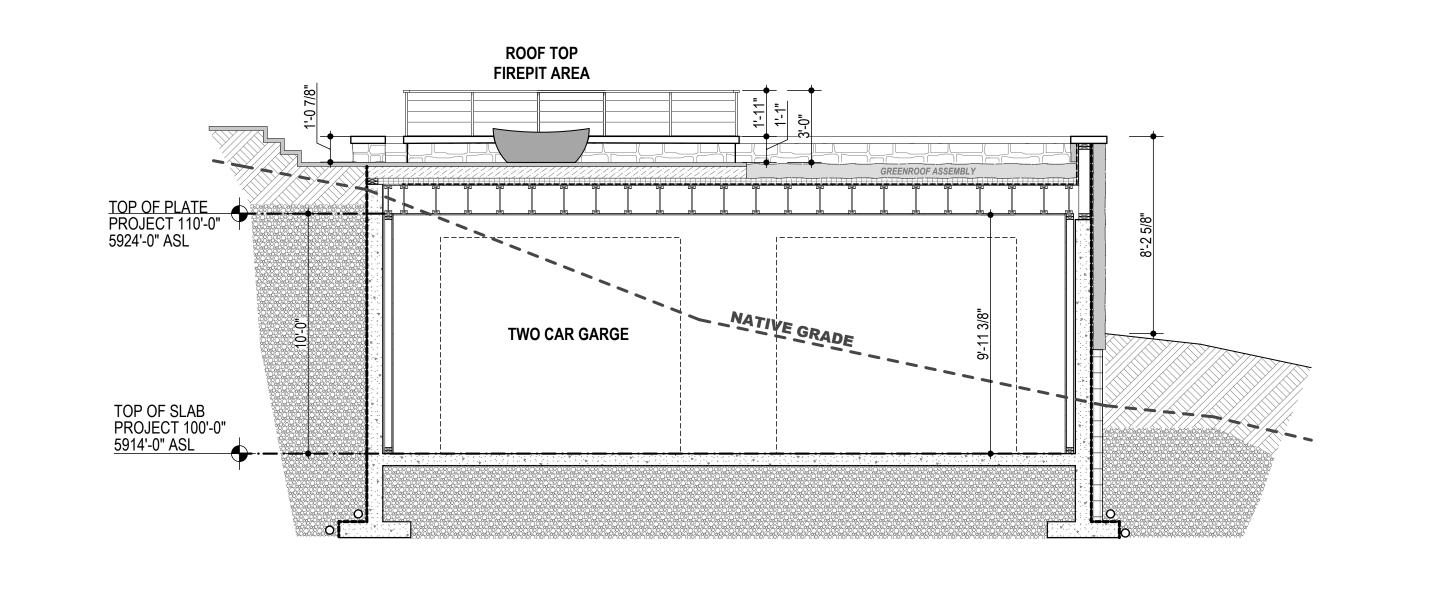
**A3.2** 





SECTIONS

**A4.0** 



 $\frac{\text{SECTION: C}}{\text{SCALE: 1/4"}} = 1'-0"$ 

## THE JARVIS GROUP ARCHITECTS, AIA PLLC 511 SUN VALLEY ROAD POSTAL BOX 626 KETCHUM, IDAHO 83340 PHONE 208.726.4031 FAX 208.726.4097

RESIDENCE 4 BLOCK 91

ARCHITECT

LICENSED
ARCHITEC
AR 1233

JANET JARVIS
STATE OF IDAHO

ENGINEER

THESE DRAWINGS AND DETAILS ARE PROTECTED UNDER FEDERAL COPYRIGHT LAWS AND ARE EXCLUSIVE PROPERTY OF THE ARCHITECT. ANY UNAUTHORIZED USE, INCLUDING REPRODUCTION WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE JARVIS GROUP IS PROHIBITED BY LAW. © 2014 THE JARVIS GROUP, PLLC

DRAWN MCCREREY

DATE

FILE

REVISIONS

NO. DATE DESCRIPTION

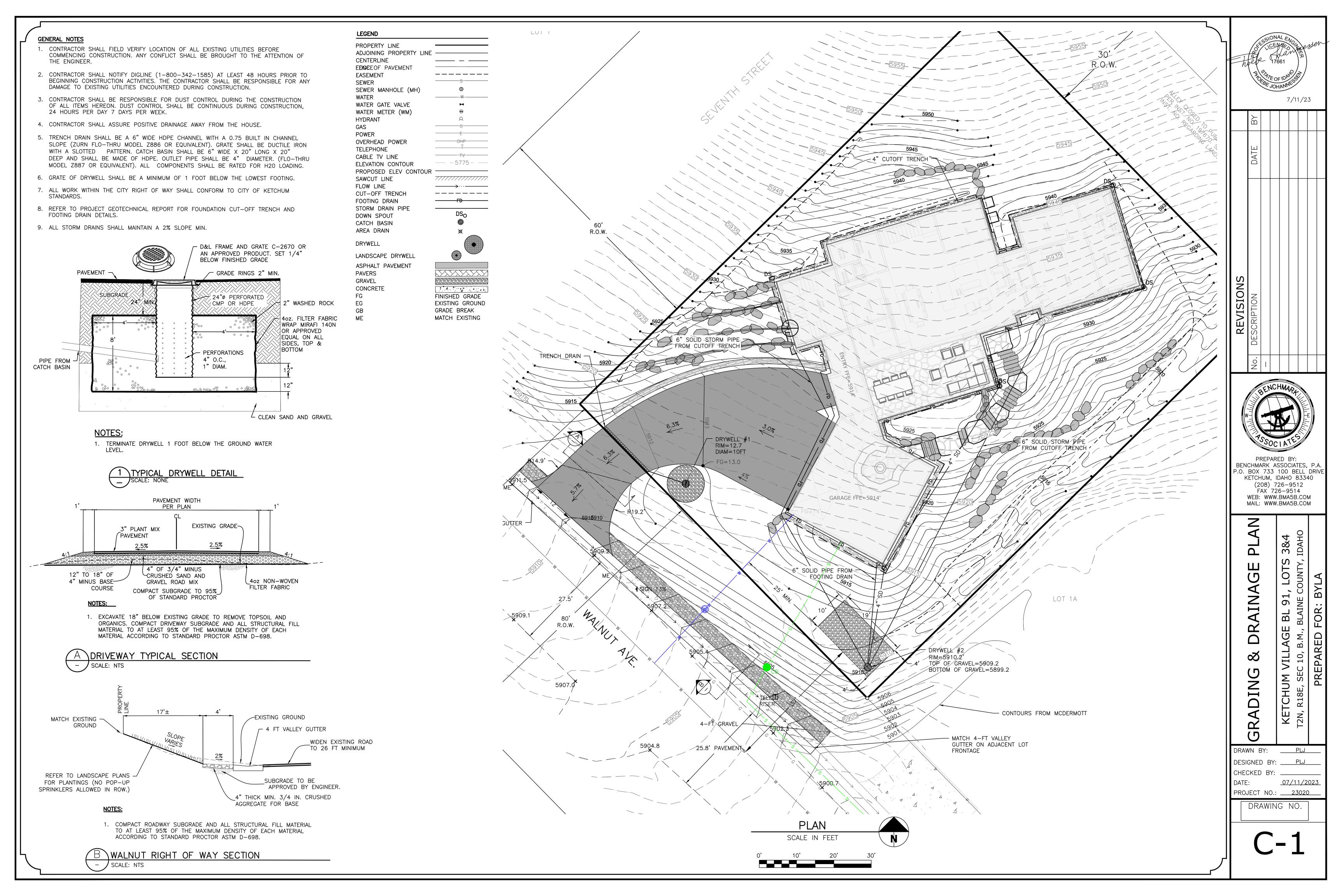
05.26.2023 CITY OF KETCHUM DESIGN REVIEW

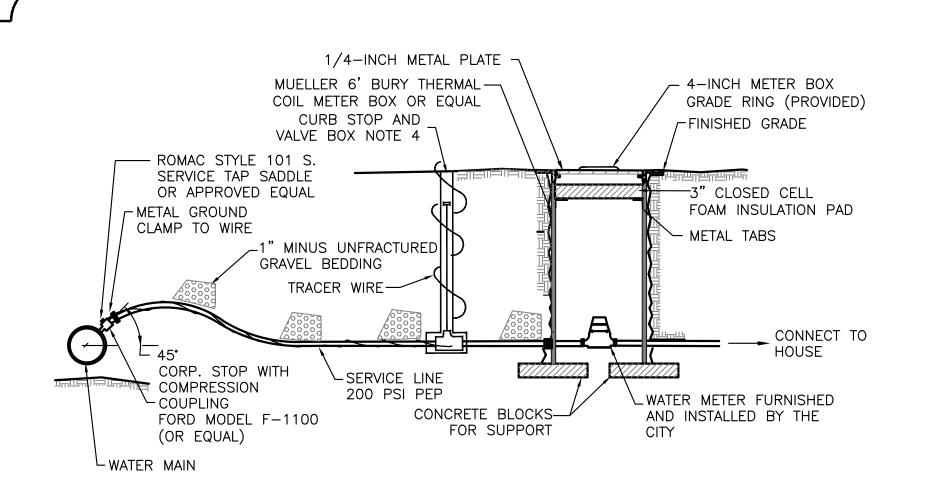
07.11.2023 UPDATES PER D.R. COMMENTS

07.26.2023 UPDATE PER SETBACK

**A4.1** 

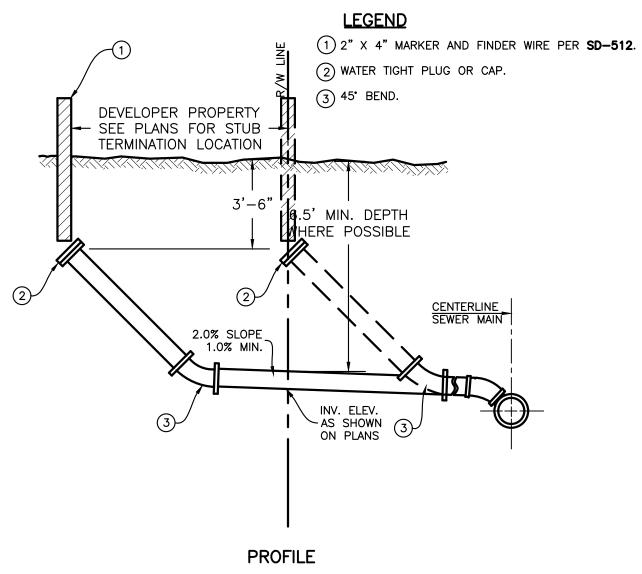
SECTIONS





- 1. WATER SERVICE LINE SHALL HAVE A 6' MIN. BURY DEPTH
- 2. SERVICE LINE SHALL BE 1" DIAMETER POLYETHYLENE PIPE UNLESS OTHERWISE SPECIFIED.
- 3. WATER SERVICE LINES SHALL BE BEDDED WITH 1" MINUS UNFRACTURED GRAVEL. BEDDING SHALL BE INSTALLED 4" UNDER THE PIPE AND 6" OVER THE PIPE.
- 4. FORD MODEL B-111 RESILIENT SEAT, CURB BALL VALVE (OR EQUAL). FORD EXTENSION CURB BOX WITH ARCHED BASE, 1-INCH UPPER SECTION, AND 2 HOLE "ERIE" PATTERN LID.

### WATER SERVICE AND METER CONNECTION



### <u>NOTES</u>

1. INSULATION REQUIRED WHERE SEWER LINE BURY DEPTH IS LESS THAN 5'.

2 STANDARD SEWER SERVICE CONNECTION DETAIL

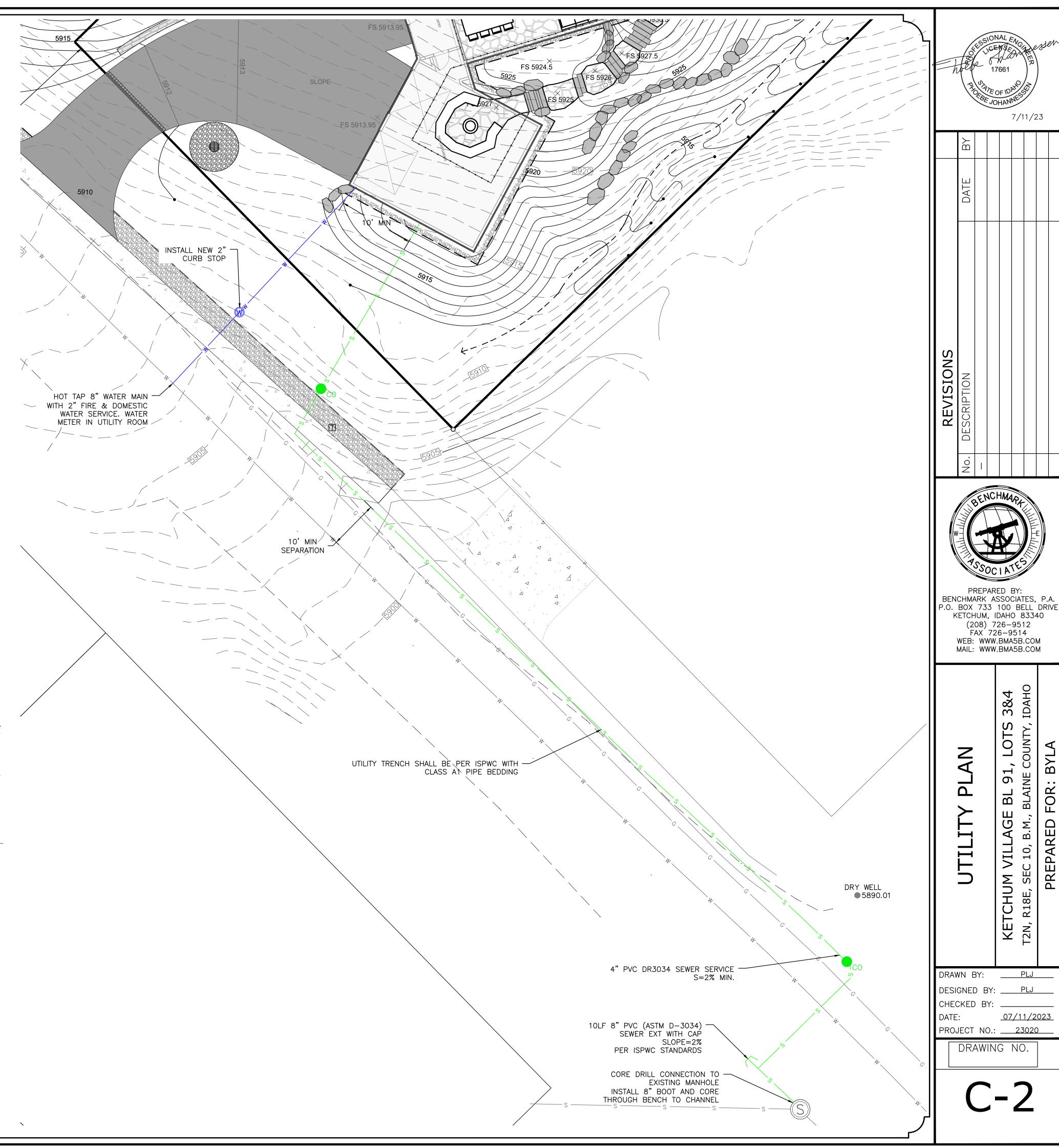
SCALE: NONE

### UTILITY LEGEND SEWER PROPOSED SEWER MH EXISTING SEWER CLEANOUT CO 🌑 SEWER CAP WATER PROPOSED WATER GATE VALVE WATER FITTINGS нүрчд HYDRANT CURB STOP WATER METER PROPOSED

### UTILITY GENERAL NOTES

WATER CAP UTILITY TRENCH

- 1. UTILITIES SHALL BE CONSTRUCTED PER THE CITY OF KETCHUM'S STANDARDS; THE MOST CURRENT VERSION OF THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPWC); AND DEPARTMENT OF ENVIRONMENTAL QUALITY (DEQ) STANDARDS.
- 2. WATER LINES SHALL HAVE A MINIMUM OF 10 FEET OF HORIZONTAL SEPARATION AND 18" VERTICAL SEPARATION FROM SEWER LINES AND STORM DRAIN PIPES, MEASURED FROM OUTSIDE OF PIPE TO OUTSIDE OF PIPE.
- 3. CONTRACTOR SHALL EXTEND THE 8" SEWER MAIN NORTH TO ALLOW CONNECTION OF NEW SEWER SERVICE LINE.
- 4. UTILITY TRENCHES IN CITY R.O.W. SHALL BE CONSTRUCTED THE ISPWC AND CITY REQUIREMENTS. TRENCHES SHALL BE BACKFILLED WITH IMPORTED STRUCTURAL BACKFILL.
- 5. CONTRACTOR SHALL CONTACT CITY OF KETCHUM WATER AND SEWER PRIOR TO ANY WATER AND SEWER SERVICE CONSTRUCTION.



3&4 IDAH(

LOTS OUNTY,

91, NE C(

KETCHUM T2N, R18E, SEG

07/11/2023

BL



SHEET LEGEND	
SYMBOL	DESCRIPTION
	Property Line
—— ВЕ ——	Building Envelope
	Setbacks /
	Easements
(XXXX)	Existing Contours
XXXX	<b>Proposed Contours</b>
	Limit of Disturbanc (L.O.D.)

### LOT CALCULATIONS

### LOT COVERAGE

LOT SIZE = +/- 16,583 (0.38 ACRES) COVERAGE BY PRIMARY RESIDENCE = 4,115 SF COVERAGE BY MOTORCOURT / PARKING = 1,600 SF

TOTAL = 5,715 SF

PERCENTAGE COVERAGE BY BLDGS AND APPLICABLE EXTERIOR IMPROVEMENTS (5,715 SF / 16,583 SF) = +/- 34.4%

### **SNOW STORAGE**

DRIVEWAY + MOTORCOURT 1,900 SF X .3 = 570 SF (REQUIRED PER CODE)

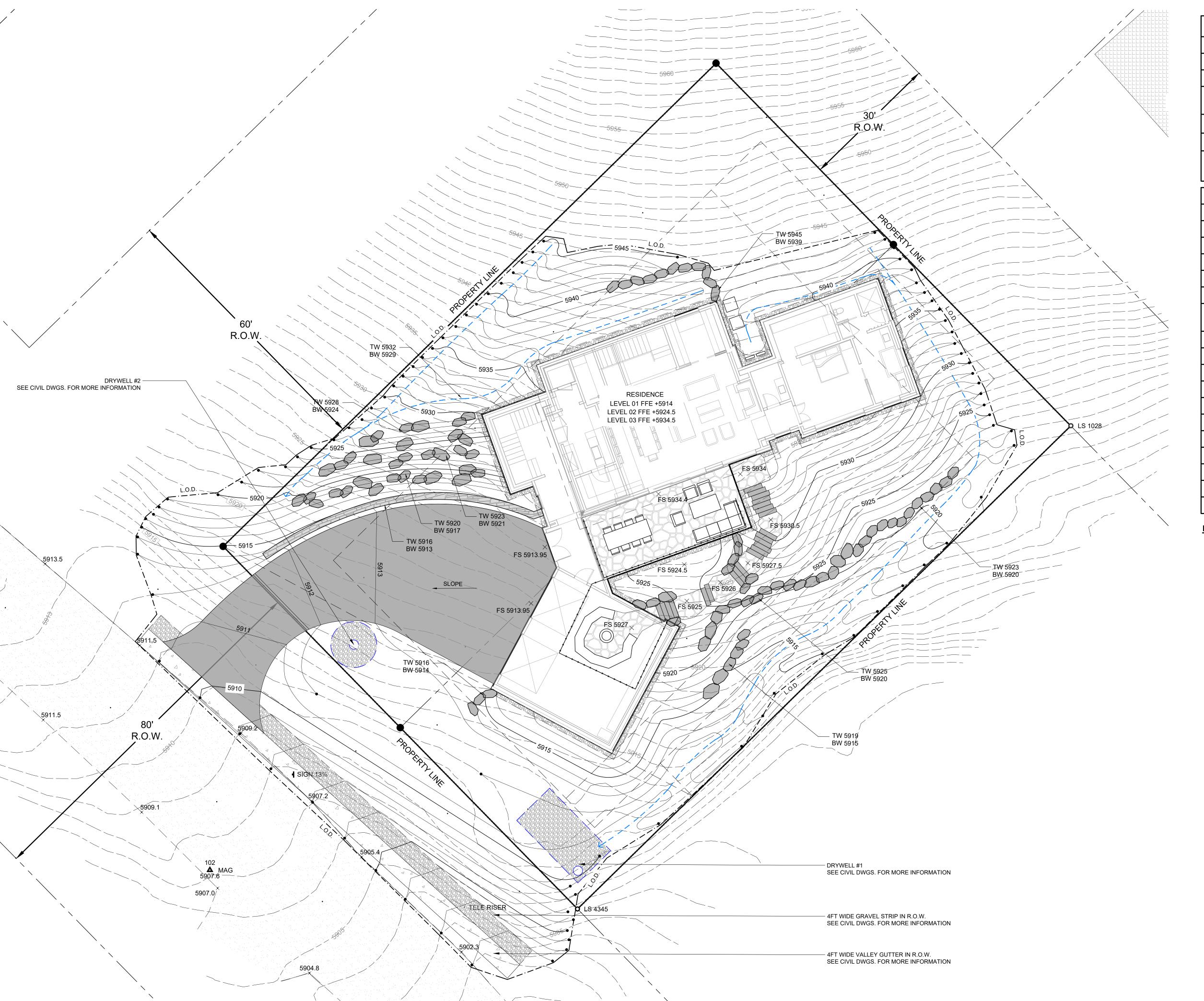
SNOW STORAGE PER PLAN = 660 SF

© copyright 2020 BYLA Landscape Architects

PROJECT MANAGER: ISSUE DATE:

08/14/23

OVERALL SITE PLAN



SHEET LEGEND	
SYMBOL	DESCRIPTION
	Property Line
—— ВЕ ——	Building Envelope
	Setbacks / Easements
(XXXX)	Existing Contours
XXXX	Proposed Contours
	Limit of Disturbanc (L.O.D.)

GRADING + DRAINAGE LEGEI	
SYMBOL	DESCRIPTION
<b>#</b>	Catch Basin
•	Dry Well
X.X%	Grade Pitch
	Drainage Swale
+H.P.S	High Point of Swa
FFE	Finish Floor
	Elevation
10.5000	Spot Elevation
FG	Finished Grade
FS	Finished Surface
TS	Top of Step
BS	Bottom of Step
TW	Top of Wall
BW	Bottom of Wall
TC	Top of Coping
TB	Top of Boulder
LP	Low Point
HP	High Point

### NOT

- 1. SEE CIVIL PLAN FOR ALL UTILITY LOCATIONS; CONTRACTOR TO VERIFY SITE UTILITIES AND INFRASTRUCTURE LOCATIONS PER CIVIL ENGINEER AS-BUILT DRAWINGS PRIOR TO CONSTRUCTION.
- CONTRACTOR TO VERIFY TOP OF WALL ELEVATIONS WITH LANDSCAPE ARCHITECT PRIOR TO STARTING CONSTRUCTION.
   REFER TO ARCHITECTURAL AND STRUCTURAL
- ENGINEERING PLANS FOR ALL FINISHED FLOOR ELEVATIONS (FEE).4. GRADING SHOWN ON PLAN IS CONCEPTUAL AS SHOWN FOR DESIGN PURPOSED ONLY.
- SHOWN FOR DESIGN PURPOSED ONLY.
  LANDSCAPE ARCHITECT TO VERIFY FINAL
  GRADING ONSITE WITH CONTRACTOR.
- 5. CONTRACTOR SHALL UTILIZE 'BEST MANAGEMENT PRACTICES' (BMP) TO CONTROL EROSION AND SEDIMENTATION BEFORE AND DURING CONSTRUCTION.
- 6. CATCH BASINS AND DRYWELLS TO BE INSTALLED PER GEO-TECHNICAL ENGINEER RECOMMENDATIONS.
- 7. ALL GRADING AND TRENCHING WITHIN THE DRIPLINE OF EXISTING TREES TO BE DONE BY HAND WITH CARE TAKEN NOT TO CUT OR DAMAGE ROOTS OVER 1-INCH DIAMETER. TREES TO REMAIN SHALL BE FENCED WITH TEMPORARY FENCING, SUCH AS STEEL STAKES (MAX. 5 FEET O.C.) WITH WIRE MESH FABRICS (6X6 OPEN), CHAINLINK OR SIMILAR HEIGHT TO BE 5-FEET MINIMUM. TEMPORARY IRRIGATION IS REQUIRED TO ALL EXISTING TREES TO REMAIN DURING CONSTRUCTION.
- 8. EXCAVATION CONTRACTOR TO LEAVE ALL REGIONS OF DISTURBED NATIVE AREA WITHIN 4" OF FINISHED GRADE. LANDSCAPER TO SUPPLY 4" OF TOP SOIL THROUGHOUT NATIVE PLANTING AND REHABILITATION AREA.
- 9. ALL RECLAIMED SLOPES GREATER THAN 3:1 MUST UTILIZE BIODEGRADABLE EROSION CONTROL MAT.



USZ623 M IN. OVERLAY DISTRICT SUBMITTAL OF ALT SUBMITTAL UPDATES
07/26/23 MOD SUBMITTAL UPDATES REV 2
08/14/23 MOD SUBMITTAL UPDATES REV 3
EVISIONS:

© copyright 2020

BYLA Landscape Architects

# KETCHUM VILLAGE, LOTS 3 & 4

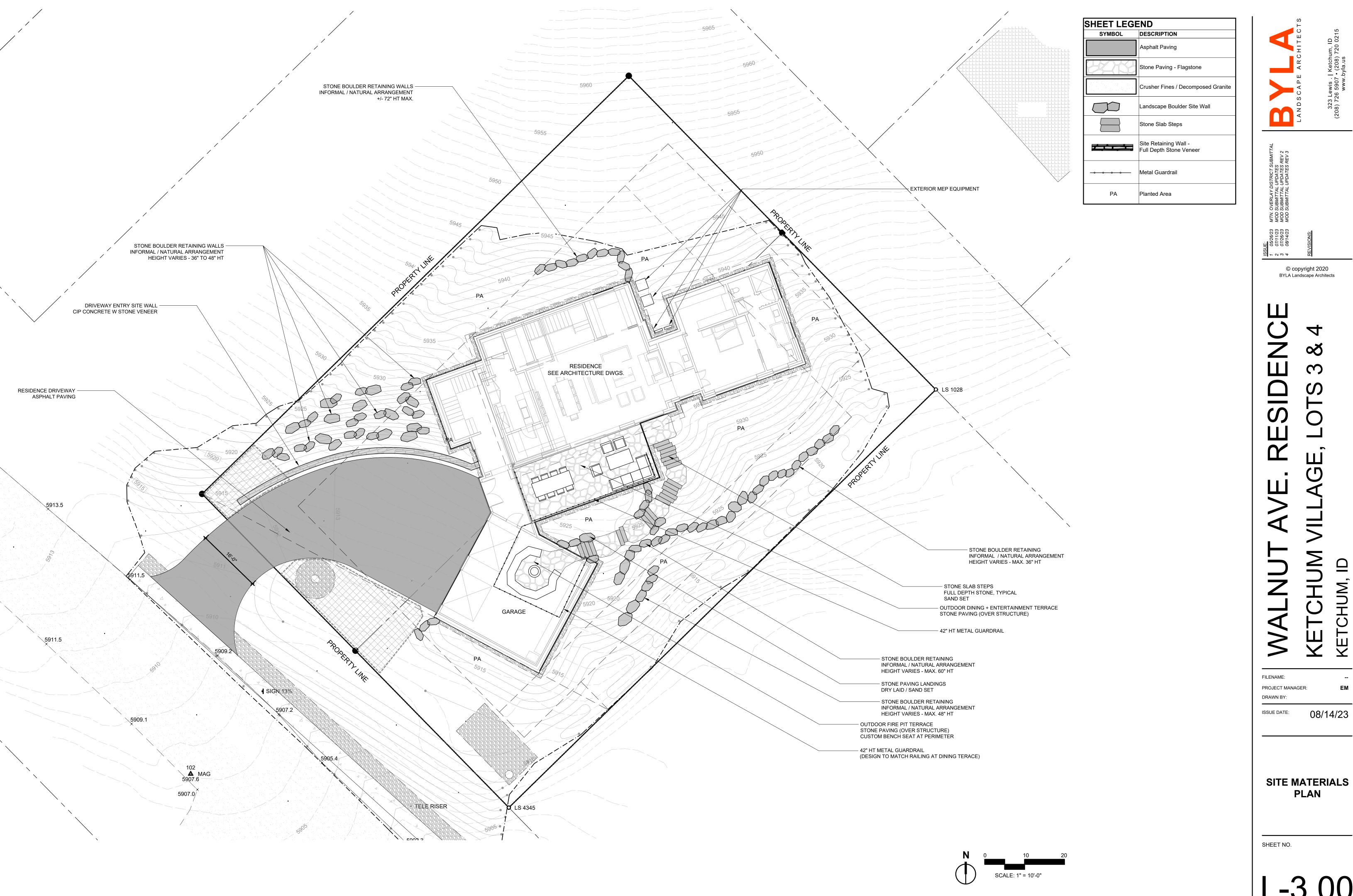
FILENAME: -PROJECT MANAGER: EM
DRAWN BY:

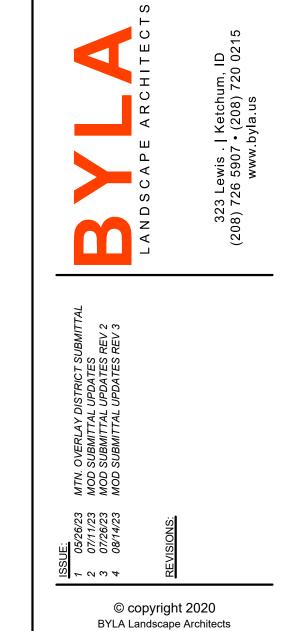
ISSUE DATE: 08/14/23

SITE GRADING + DRAINAGE PLAN

SHEET NO.

L-2.00





### FILENAME: PROJECT MANAGER:

**PLAN** 

08/14/23



3D MODEL IMAGE - BIRD'S EYE VIEW LOOKING SOUTH

© copyright 2020 BYLA Landscape Architects

08/14/23

3D MODEL IMAGES



© copyright 2020 BYLA Landscape Architects

ISSUE DATE:

08/14/23

3D MODEL IMAGES



© copyright 2020 BYLA Landscape Architects

ISSUE DATE:

08/14/23

3D MODEL IMAGES

# **PLANTING NOTES:**

- 1. ALL SOIL PREPARATION AND PLANTING OPERATIONS SHALL BE CONDUCTED UNDER FAVORABLE WEATHER CONDITIONS ONLY. SOIL SHALL NOT BE WORKED WHEN EXCESSIVELY DRY OR WET. AND THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO STOP ANY WORK TAKING PLACE DURING A PERIOD WHEN CONDITIONS ARE CONSIDERED DETRIMENTAL TO SOIL STRUCTURE OR PLANT GROWTH.
- 2. MULCH: INSTALL A MIN 3" LAYER OF MULCH AROUND ALL TREES AND SHRUBS AND IN ALL PLANTING AREAS UNLESS OTHERWISE NOTED CREATE A NATURAL SPADED EDGE WHERE PLANTING BEDS MEET TURF AREAS.
- 3. FINISH GRADE VERIFICATION: FINISH GRADE TO BE 1" BELOW FINISH PAVING SURFACE IN LAWN AREAS AND 2" BELOW IN PLANTING AREAS. VERIFY PLANTING AREAS ARE GRADED AT +/- 0.2 FOOT TO FINISH GRADE, PRIOR TO LANDSCAPE INSTALLATION
- 4. PLANT MATERIAL AND ACQUISITION: PROVIDE SINGLE TRUNK STANDARD TREES UNLESS NOTED OTHERWISE. NOTIFY THE OWNER'S REPRESENTATIVE AT THE TIME OF DELIVERY OF ANY PLANT MATERIAL THAT IS DAMAGED OR IN POOR CONDITION. OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO INSPECT ALL PLANT MATERIALS BEFORE PLANTING. MATERIAL MAY BE REJECTED AT ANY TIME DUE TO CONDITION, FORM OR DAMAGE BEFORE OR AFTER PLANTING. PROVIDE IDENTIFICATION TAG FROM THE SUPPLYING NURSERY SHOWING COMMON AND BOTANICAL PLANT NAMES FOR AT LEAST ONE PLANT OF EACH SPECIES DELIVERED TO THE SITE. PROTECT ALL PLANTS AGAINST HEAT, SUN, WIND AND FROST DURING TRANSPORTATION TO THE SITE AND WHILE BEING HELD AT THE SITE. DO NOT STORE PLANTS IN TOTAL DARKNESS MORE THAN ONE DAY. CONTRACTOR IS RESPONSIBLE FOR WATERING ALL PLANT MATERIALS ON-SITE DURING CONSTRUCTION.
- 5. PLANT PACKAGING: ALL CONTAINERS/PACKAGING SHALL REMAIN IN PLACE UNTIL IMMEDIATELY PRIOR TO PLANTING. ANY STOCK IN CONTAINERS SHALL BE REMOVED FROM CONTAINERS AND THE CONTAINER BALL SHALL BE CUT VERTICALLY AS NECESSARY TO LOOSEN ROOTS. REMOVE ALL PLANT TAGS, TYING MATERIAL AND MARKING TAPES AT THE TIME OF PLANTING.
- 6. PLANT QUALITY: ALL PLANT MATERIAL SHALL BE SELECTED AT NURSERY BY OWNER'S REPRESENTATIVE. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO INSPECT AND REJECT PLANT MATERIAL AT ANY POINT FROM DELIVERY THROUGH WARRANTY PERIOD, CONTRACTOR TO REPLACE MATERIAL DURING CURRENT PLANTING WINDOW. ALL MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STANDARD FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN ASSOCIATION OF
- 7. PLANT QUANTITIES: THE PLANT SCHEDULE IS PROVIDED AS AN AID ONLY. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN ON ALL DRAWINGS.
- PLANTING DETAILS: REFER TO PLANTING DETAILS AND OR SPECIFICATIONS FOR PLANT INSTALLATION REQUIREMENTS.
- 8. PLANTING LAYOUT: THE PLANTING PLANS ARE DIAGRAMMATIC. SITE PLANT MATERIALS APPROXIMATELY AS SHOWN ON THE LANDSCAPE DRAWING AND NOTIFY OWNER'S REPRESENTATIVE FOR REVIEW, PRIOR TO PLANTING. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO ADJUST PLANTS TO EXACT LOCATION IN FIELD.
- INITIAL PRUNING: PRUNE ONLY DEAD OR DAMAGED LIMBS, OR AS DIRECTED BY LANDSCAPE ARCHITECT.
- 10. STAKING: TREE STAKING SHALL BE AT THE CONTRACTOR'S DISCRETION, BUT CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE, AND OR REPLACEMENT/REPLANTING NECESSARY DUE TO WIND DISPLACEMENT OF PLANT MATERIALS.
- 11. WATERING REQUIREMENTS: ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL THEN BE WATERED AS NECESSARY, DURING THE FIRST GROWING SEASON.
- 12. WORK ORDER: ALL SUBSURFACE WORK, INCLUDING UTILITY AND IRRIGATION SHALL BE INSTALLED AND FUNCTIONAL, PRIOR TO THE INSTALLATION OF ANY PROPOSED LANDSCAPING. STAKE LOCATION OF ALL TREES. HEDGE LINES AND PLANTING BEDS AND NOTIFY OWNER'S REPRESENTATIVE FOR REVIEW PRIOR TO PLANTING. TREES AND SHRUBS MUST BE INSTALLED PRIOR TO PERENNIALS AND GRASSES TO ESTABLISH PROPER LAYOUT AND TO AVOID DAMAGE TO SMALLER PLANTINGS.

# **SOIL PREPARATION NOTES:**

- BED PREPARATION: PREPARE SOILS IN PLANTING AREAS BY ROTO-TILLING AMENDMENT AND TOPSOIL TO A DEPTH OF 8" BELOW FINISHED SOIL SURFACE IN ALL PLANTED AREAS. TREES WILL REQUIRE OVER-EXCAVATION AND BACKFILL WITH AMENDED SOIL
- 2. DE-COMPACTION: SUBSOILING IN PLANTING AREAS SHOULD BE PERFORMED AS REQUIRED, AT A DEPTH OF 12-24 INCHES IN SUCH A MANNER AS WILL FRACTURE COMPACTED SOIL WITHOUT ADVERSELY DISPLACING SURFACE SOIL, OR DISTURBING PLANT LIFE, TOPSOIL AND SURFACE RESIDUE. MULTIPLE PASSES AT VARYING ANGLES ARE REQUIRED TO ENSURE SUITABILITY FOR GROWTH. WHEN USING DISC OR RIPPING EQUIPMENT, IT IS REQUIRED THAT THE FINAL PASSES OVER THE AREA BE MADE WITH A ROTO-TILLER TO BREAK UP ANY LARGE CLUMPS TO MAKE FINAL GRADING EASIER. PROPER EQUIPMENT, AND METHOD ARE CRITICAL.
- LANDSCAPE CONSTRUCTION COMPACTION MITIGATION: COMPACTION DURING CONSTRUCTION SHOULD BE MINIMIZED AS POSSIBLE AND REMEDIATED AS REQUIRED TO LESS THAN 80% USING METHODS DESCRIBED, PRIOR TO PLANT INSTALLATION.
- 3. THE LANDSCAPE CONTRACTOR SHALL COMPLETE THE FOLLOWING. STRIP EXISTING TOPSOIL AND STOCKPILE ON SITE FOR LATER USE. CONDUCT A SOIL EVALUATION AND PROVIDE WRITTEN LAB REPORT TO DETERMINE THE EXISTING SOIL'S:
- COMPOSITION, COMPACTION RATE, NUTRIENT QUALITIES, ORGANIC CONTENT, PH LEVELS, AND WATER HOLDING CAPABILITIES
- THE IDEAL PARTICLE SOIL MIX FOR THIS PROJECT IS APPROXIMATELY 45% SAND, 40% SILT, 10% CLAY AND 5% ORGANIC MATERIAL WITH A PH LEVEL NEAR SEVEN. PRIOR TO THE INSTALLATION OF THE LANDSCAPE AND IRRIGATION SYSTEM, CONTRACTOR TO PREPARE SOIL TO ENSURE A PROPER ENVIRONMENT FOR PLANT ROOT DEVELOPMENT. SOIL AMENDMENT: AFTER INITIAL SOIL DE-COMPACTION PROCEDURES ARE PERFORMED, SOIL AMENDMENTS SHOULD BE ADDED. THE ADDITION OF SOIL AMENDMENTS IS DETERMINED FROM SOIL TESTS CONDUCTED PRIOR TO WORK COMMENCING. SOIL AMENDMENT MAY INCLUDE INORGANIC MATERIAL SUCH AS SAND. SILT OR CLAY. WHICH HELP IMPROVE SOIL TEXTURE. ORGANIC MATERIAL SUCH AS COMPOST. MANURE. AND PEAT MOSS MAY ALSO BE USED AND HELP IMPROVE SOIL STRUCTURE. OTHER AMENDMENTS SHALL BE ADDED AS SPECIFIED IN REQUIRED SOILS REPORT. ALL AMENDMENTS SHOULD BE MIXED THOROUGHLY WITH EXISTING SOIL AND AN ADDITIONAL SOIL TEST WILL BE TAKEN TO ENSURE PROPER SOIL CONDITIONS PRIOR TO PLANTING.
- 5. SUPPLEMENTAL TOPSOIL: IF NECESSARY, PROVIDE NEW TOPSOIL THAT IS FERTILE, FRIABLE AND NATURAL LOAM SURFACE SOIL, REASONABLY FREE OF SUBSOIL, CLAY, CLAY LUMPS. BRUSH WEEDS. AND OTHER LITTER AND FREE OF ROOTS. STUMPS. STONES LARGER THAN 2" IN ANY DIMENSION AND OTHER EXTRANEOUS OR TOXIC MATTER. HARMFUL TO PLANT GROWTH. OBTAIN TOPSOIL FROM LOCAL SOURCES OR FROM AREAS HAVING SIMILAR SOIL CHARACTERISTICS TO THAT NECESSARY FOR VIGOROUS GROWTH OF SPECIFIED PLANTINGS. OBTAIN TOPSOIL THAT OCCURS IN A DEPTH OF NOT LESS THAN 6". DO NOT OBTAIN SOIL FROM BOGS OR MARSHES.

# **IRRIGATION NOTES:**

- 1. CODES: IRRIGATION SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH ALL LOCAL CODES AND MANUFACTURER'S SPECIFICATIONS. NOTIFY LANDSCAPE ARCHITECT BY TELEPHONE AND IN WRITING OF ANY CONFLICTS PRIOR TO INSTALLATION.
- 2. SEEDED & REVEGETATED AREAS: SHALL BE IRRIGATED BY TEMPORARY OVERHEAD SPRAY WITH AN AUTOMATIC SYSTEM. THIS SYSTEM MAY BE ABANDONED WHEN
- PLANTINGS HAVE BEEN CLEARLY ESTABLISHED AFTER A MINIMUM OF TWO GROWING SEASONS
- 3. SHRUB, TREE, AND GROUNDCOVER AREAS: SHALL BE DRIP IRRIGATED WITH A PERMANENT AUTOMATIC SYSTEM.
- 4. DRIP TO BE ON SEPARATE ZONE, COORDINATE ALL SLEEVING WITH APPROPRIATE CONTRACTORS.
- 5. SLEEVING: TO BE INSTALLED BY LANDSCAPE CONTRACTOR PRIOR TO IRRIGATION WORK CONTRACTOR SHALL ADEQUATELY SIZE ALL SLEEVES SHOWN ON PLAN. SLEEVES SHALL BE INSTALLED AT THE NECESSARY DEPTHS PRIOR TO PAVEMENT CONSTRUCTION. SLEEVING SHALL EXTEND 1'-0" FROM EDGE OF PAVEMENT INTO LAWN OR PLANTING AREA, AND SHALL HAVE ENDS CLEARLY MARKED ABOVE GRADE.
- 6. SYSTEM DAMAGE: SHOULD THE MAINLINE OR OTHER COMPONENTS BREAK OR BE SHUT OFF FOR ANY REASON DURING THE COURSE OF CONSTRUCTION THAT
- CONTRACTOR SHALL HANDWATER ANY INSTALLED PLANTS. THE CONTRACTOR SHALL CONTINUE TO DO SO UNTIL THE IRRIGATION SYSTEM IS OPERABLE. 7. UTILITIES: CONTRACTOR SHALL VERIFY LOCATION OF ALL ON-SITE UTILITIES. RESTORATION OF DAMAGED UTILITIES SHALL BE MADE AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER.

# PLANTING SCHEDULE

TREES						
SYMBOL	CODE	PROPOSED SPECIES:	QUANTITY / SIZE	SPACING		
	JS	ROCKY MOUNTAIN JUNIPER JUNIPEROUS SCOPULORUM	5 TOTAL AT 8' HT.	PER PLAN		
MANANAN MANANANAN	PL	LODGEPOLE PINE PINUS CONTORTA LATIFOLIA	2 TOTAL AT 14' HT. 1 TOTAL AT 10' HT.	PER PLAN		
	PT	QUAKING ASPEN POPULUS TREMULOIDES	2 TOTAL AT 4" CAL. 4 TOTAL AT 2" CAL.	PER PLAN		
MANANA MA	PM	DOUGLAS FIR PSEUDOTSUGA MENZIESII	2 TOTAL AT 14' HT. 3 TOTAL AT 12' HT. 1 TOTAL AT 8' HT.	PER PLAN		

SHRUBS						
SYMBOL	CODE	PROPOSED SPECIES:	QUANTITY / SIZE	SPACING		
	AR	REGENT SERVICEBERRY  AMELANCHIER ALNIFOLIA 'REGENT'	29 TOTAL 5 GAL.	PER PLAN		
•	MR	CREEPING OREGON GRAPE MAHONIA REPENS	19 TOTAL 5 GAL.	PER PLAN		
•	PA	ABBOTSWOOD BUSH CINQUEFOIL POTENTIILLA FRUTICOSA 'ABBOTSWOOD'	44 TOTAL 2 GAL.	PER PLAN		
•	RA	ALPINE CURRANT RIBES ALPINUM	32 TOTAL 5 GAL.	PER PLAN		
£ • 3	RC	GOLDEN CURRANT RIBES AUREUM	22 TOTAL 5 GAL.	PER PLAN		
	SA	COMMON WHITE SNOWBERRY SYMPHORIOCARPOS ALBUS	28 TOTAL 2 GAL.	PER PLAN		

SYMBOL	ZONE	SEED I	MIX / RATE	AREA
+ + + + + + + + + + + + + + + + + + +	NATIVE REVEGETATION	SEED SHEEP FESCUE IDAHO FESCUE BLUEBUNCH WHEATGRA BLUE FLAX SILVER LUPINE ARROWLEAF BALSAMRO  CONTAINER - 1 GAL.  BASIN WILDRYE MOUNTAIN BIG SAGEBRU	7,533 SF	
	GREEN ROOF	NATIVE WILDFLOWER + GRASSES ROOFTOP MIX		1,030 SF

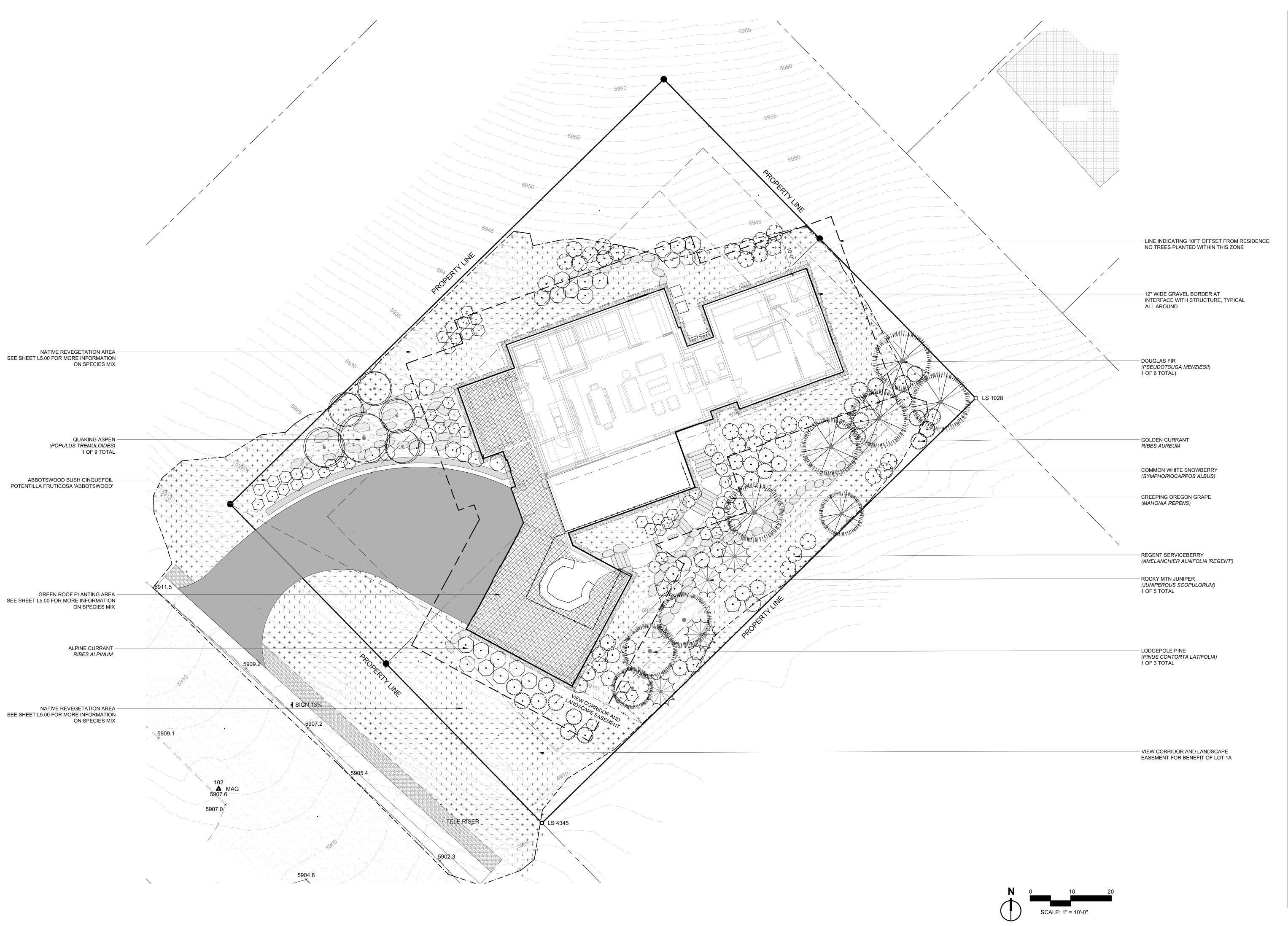


© copyright 2020 BYLA Landscape Architect

FILENAME: PROJECT MANAGER ISSUE DATE: 08/14/23

SITE PLANTING NOTES + SCHEDULE

SHEET NO.



V 2 V 3 LANDSCAPE ARCHITECTS 323 Lewis . | Ketchum, ID

| ISSUE: 1 05/26/23 MTN. OVERLAY DISTRICT SUBMITTAL 2 07/11/23 MOD SUBMITTAL UPDATES 3 07/26/23 MOD SUBMITTAL UPDATES REV 2 4 08/14/23 MOD SUBMITTAL UPDATES REV 3 MOD SUBMITTAL UPDATES REV 3 REVISIONS:

© copyright 2020 BYLA Landscape Architects

VE. REVIUEL PAGE LOTS 3

FILENAME: -PROJECT MANAGER: EM
DRAWN BY:

ISSUE DATE: 08/14/23

SITE PLANTING PLAN

SHEET NO.

L-5.0

AWAY FROM BUILDING FOR MINIMUM 10'. EXCAVATION FOR FOOTINGS AND GENERAL CONSTRUCTION LOGISTICS WOULD REQUIRE AT LEAST THIS AMOUNT OF DISTURBANCE **UNDISTURBED AREA 523 SQUARE FEET** PROPOSED DEVELOPMENT 1,955 SF (3.7x MORE UNDISTURBED AREA) 55'-1" 55'-1" **DEVELOPMENT WOULD REQUIRE 100% DISTRUBANCE BETWEEN HOME AND** 15'-0<sup>!</sup> <u> 15'-0</u>" 15'-0" 25'-1" 15'-0" 25'-1" ADJACENT NEIGHBOR FOR **CONSTRUCTION ACTIVITY,** DRAINAGE, AND LANDSCAPING **HOUSE A** 2,630 SF **HOUSE B** 2,890 SF 32% FAR 35% FAR 30 SECOND FINISH FLOOR **19.5 FIRST** FINISH FLOOR 9.5 GARAGE 33 SECOND FINISH FLOOR **22.5 FIRST** FINISH FLOOR 12.5 GARAGE PRIVATE EASEMENT 6,327 S.F. TOTAL **COVERAGE** 5,715 S.F. TOTAL **COVERAGE PROPOSED DRIVEWAY B DRIVEWAY A** (10% LESS) **DEVELOPMENT WOULD REQUIRE 100% DISTRUBANCE DEVELOPMENT WOULD BETWEEN TWO HOUSES FOR REQUIRE 100% DISTRUBANCE** TO NORTH PROPERTY LINE FOR **CONSTRUCTION ACTIVITY,** DRAINAGE, AND LANDSCAPING **REGRADING** 

8.16.2023

**BUILDING CODE SECTION 1804.4 REQUIRES GRADE SLOPE** 

# BUTLER ASSOCIATES, INC.

# GEOTECHNICAL & CIVIL ENGINEERING & CONSULTING

P.O.B. 1034

Ketchum, Idaho 83340 Phone: 208.720.6432

Email: svgeotech@gmail.com

Steve and Melissa Babson
C/o Breyman Properties, LLC
12045 Breyman Avenue
Portland, OR 97219-0000
C/o The Jarvis Group-lucas@jarvis-group.com

RE: GEOTECHNICAL REPORT

Proposed Babson Residence Lots 3 and 4, Block 91, Ketchum Townsite Located on Walnut Ave Lot 3-RPK00000910030 0.189 acres Lot 4-RPK0000091004A 0.189 acres Ketchum, Idaho

Dear Steve and Melissa,

I have completed the authorized geotechnical investigation and report for your proposed residence on Lots 3 and 4, Block 91, Ketchum Townsite located on Walnut Avenue in Ketchum, Idaho. The work was authorized by the signed proposal dated December 11, 2022.

This report summarizes the results of my field and laboratory testing and presents my geotechnical engineering opinions and recommendations. It is my opinion that the site is suitable for the proposed residence excavated into the existing slope supported by continuous and spread footings, retaining walls and slab-on-grade foundations constructed on an approved structural fill foundation building pad constructed on an approved native subgrade excavated into the existing slope. I am providing the recommendations in this report for the preparation of the subgrade, structural fill building pad, foundation design, lateral loading, foundation drainage system, surface grading and drainage and general radon venting concepts.

I recommend that this office be retained to provide observations for the construction of the structural fill foundation building pad, slab-on-grade construction, foundation drainage system, structural backfill to support exterior hardscapes and any other recommendations presented in this report that are incorporated into the project design. This work will be performed on a time and material basis and is not included in this scope of services. A copy of this geotechnical report should be incorporated into the project construction documents.

I appreciate this opportunity of working with you on this project. Please call me if you have any questions or comments.

Sincerely, Steve Butler, P.E. January 6, 2023

# **GEOTECHNICAL REPORT**

Proposed Babson Residence
Lots 3 and 4, Block 91, Ketchum Townsite
Located on Walnut Ave
Ketchum, Idaho

Butler Associates, Inc. P.O. Box 1034 Ketchum, Idaho 83340 January 6, 2023

TABLE OF CONTENTS	PAGE
INTRODUCTION	1
PROPOSED PROJECT	1
FIELD EXPLORATION	1
SUBSURFACE CONDITIONS	2
OPINIONS AND RECOMMENDATIONS  General  Subgrade Preparation & Structural Fill Foundation Building Pad Cutoff Trench Foundation Drainage System Structural Fill Foundations Retaining Walls Soil Classification for Septic Design Surface Grading and Drainage Driveway, Terraces and Walkways Seismicity Radon Venting	2 2 3 4 5 5 7 7 8 9
CONSTRUCTION OBSERVATION AND MONITORING	10
VICINITY MAP	11
TEST PIT SITE PLAN PHOTOS	12-14
TEST PIT LOGS	15-20
UNIFIED SOIL CLASSIFICATION SYSTEM	21
DESIGN MAPS SUMMARY REPORT	22
LAND USE INFORMATION MAP	23
CUTOFF TRENCH FOUNDATION DRAINAGE SYSTEM PLAN	24
CUTOFF TRENCH FOUNDATION DRAINAGE SYSTEM PROFILE	25
STRUCTURAL FILL/FOUNDATION SUBGRADE CONCEPTS PROFILE	26
STORMWATER DRYWELL PROFILE	27
RADON SYSTEM CONCEPTS	28

#### INTRODUCTION

This report represents the results of the soil and foundation engineering evaluation for the proposed Babson residence on Lots 3 and 4, Block 91, Ketchum Townsite located on Walnut Avenue in Ketchum, Idaho. The *Vicinity Map* shows the general location of the proposed project site.

The purpose of this evaluation was to assess the surface and subsurface soil and water conditions to prepare geotechnical engineering opinions and recommendations for the construction of the proposed Babson residence. Before the subsurface investigation I reviewed the geotechnical reports for several projects located just west and east of the project and geologic data pertinent to the site and general area. I performed a subsurface investigation by excavating six test pits at the site using a track mounted excavator. The soil and rock encountered in the test pits were visually identified and logged by a geotechnical engineer according to the Unified Soil Classification System and used to prepare this final report.

## **PROPOSED PROJECT**

I understand that the proposed project will probably consist of a two story single family, concrete, steel and wood frame single family residence with an attached garage excavated into the existing slope supported by continuous and spread footings, retaining walls and slab-on-grade construction. The garage will be supported by slab-on-grade construction and accessed from a new driveway commencing at Walnut Avenue. The residence will be served by the Ketchum Utility Department.

The primary views from the site are the Wood River Valley and Boulder Mountains to the north, Pioneer Mountains to the east, and Bald Mountain to the south and west.

According to the Blaine County Parcel Information Map the property is generally "rectangular shaped" and totals approximately 0.378 acre in size. Lots 7 & 8, Block 91, Ketchum Townsite borders the site to the north, Lot 1A, Block 91, Ketchum Townsite to the east, Walnut Avenue to the south and Lot 1, Block 92, Ketchum Townsite to the west.

## FIELD EXPLORATION

Six test pits were excavated and observed at the site on January 3 using a track-mounted excavator. The test pits were excavated up to 5.8 feet below existing grade and terminated after meeting refusal in bedrock. The *Test Pit Site Plan Photo 1* shows the existing site conditions and test pit locations.

The soils in each test pit were evaluated and the soil profiles logged in the field by a geotechnical engineer in accordance with the Unified Soil Classification System (*USCS*). The *Test Pit Site Plan Photos* and *Test Pit Logs* are presented on pages 12-14 and 15-20, respectively. The *USCS* chart on page 21 should be used to interpret the terms on the test pit logs in this report.

At the conclusion of the subsurface evaluation, the test pits were loosely backfilled to match the existing ground surface. Any of the test pits located beneath areas proposed for foundations, terraces, walkways or driveways will need to be excavated and backfilled with structural fill in accordance with the *Site Preparation* section of this report.

#### SUBSURFACE CONDITIONS

The general soil profiles encountered in the test pits revealed up to 4.8 feet of native silty clay, trace-little sand, gravel and roots (topsoil) overlying native, brown, weathered, fractured andesite bedrock up to 5.8 feet below existing grade. The test pits were terminated after reaching refusal in the native bedrock and due to consistency of the rock between the test pits and the consistency of the bedrock with the deep excavation on the project directly to the east of the site. Groundwater was not encountered in any of the test pits although I do anticipate subsurface runoff at the soil/bedrock interface during the spring snowmelt. Following the completion of the subsurface investigation the test pits were loosely backfilled and graded close to existing grade.

The geology of this area is mapped on the "Geologic Map of the Hailey Quadrangle" as Tla Latite and hornblende andesite bedrock. The native surficial silty clay soil is the result of the overlying bedrock slopes weathering and the resultant soils being gravity deposited downslope.

## **OPINIONS AND RECOMMENDATIONS**

## General

It is the opinion of this office that the site is suitable from a geotechnical standpoint for the proposed development of the single family residence attached garage excavated into the existing slope supported by an approved weathered bedrock subgrade or a free-draining structural fill foundation building pad constructed on an approved native subgrade. Due to the potential for surface and subsurface flows from the overlying slope impacting the foundation I recommend a groundwater cutoff trench foundation system be installed to intercept subsurface runoff and direct it downslope of the structure before it impacts the foundations.

All structural fill to be placed for the foundation building pad, exterior terraces, walkways and driveways should be approved native or imported sand and gravel soils. The excavated pulverized bedrock could possibly be used for structural or non-structural backfill depending on the gradation of the material and the percentage of fines.

All structural fill should be placed as outlined in the *Structural Fill* section of this report. The recommendations contained in this report reflect my understanding of the existing surface and below grade conditions and reflect a straight-line interpolation and extrapolation of the subsurface conditions between and beyond test pit location. However, the soil conditions may vary at the proposed site. The various soil conditions will not be known until the foundation excavation is complete and may cause changes to construction plans and/or costs.

## Subgrade Preparation & Structural Fill Foundation Building Pad

Following are site preparation recommendations to be completed prior to approving the subgrade for footings and the construction of the structural fill foundation building pad to support the foundation:

All test pits should be accurately located in the field prior to commencing with the excavation. Any
test pit that is located beneath a proposed footing, slab-on-grade, terrace or walkway adjacent to
the structure should be excavated and backfilled with structural fill in accordance with this report.
This procedure should help reduce local settlement. The test pit locations are shown on the *Test Pit*

Site Plan Photo 1.

- 2. The building footprint, exterior terraces, walkways and limits of disturbance should be stripped of the surficial silty clay to expose the native undisturbed bedrock. The excavated fine grain soils should be stockpiled as used for non-structural landscaping.
- 3. The excavation to bottom of the footing should be completed to expose an undisturbed weathered bedrock subgrade. Any isolated areas of silty clay exposed at the footing elevation should be over-excavated and backfilled with approved imported structural fill.
- 4. To create a level foundation building pad the native fractured andesite bedrock subgrade should be over-excavated several inches and backfilled with imported 1" fractured washed gravel. The gravel will also enhance the foundation drainage system and minimize using extra concrete to fill any voids in the fractured bedrock. All structural fill should be placed as outlined in the Structural Fill is section.
- 5. After this office has approved the native bedrock subgrade and/or imported gravel structural fill building pad it will approved for footings.
- 6. Prior to installing the free-draining structural fill foundation building pad the cutoff trench foundation system should be installed as described in the next section.

# **Cutoff Trench Foundation Drainage System**

To intercept subsurface runoff that could impact the crawlspace or slab-on-grade foundations I recommend installing a cutoff trench foundation drainage system outside the upslope side of all footings to intercept and direct groundwater by gravity to drywells located downslope of the structure. The following are construction details of the cutoff trench drainage system:

- 1. A 12" wide trench should be excavated outside the upslope edge of the upslope footings.
- 2. The trench should be horizontally offset from edge of the footing by at least 12".
- 3. The high point of the trench should be a min. 6" below the bottom of footing at the midpoint of the foundation length and be sloped at min. 1% around each side of the building.
- 4. The trench should be lined with a 4.0 oz., non-woven filter fabric before installing a 4" perforated pipe and backfilled with imported, washed 2" rounded drain rock. See the Cutoff Trench/Building Pad Drainage System Profile and Cutoff Trench Drainage System Concept Plan for details.
- 5. Once the trenches reach the downslope end of the structure the 4" perforated pipes should be connected to a 6" solid PVC pipe that is terminated in drywells located downslope of the structure. Runoff from downspouts and catch basins can also be connected to the solid 6" pipe downslope of the cutoff trench. **Do not connect downspouts to the perforated pipe in the cutoff trenches.**
- 6. Footing drains are not required for footings adjacent to cutoff trenches when installing washed fractured or rounded drainrock over the trench from bottom of footing to the top of footing.

- 7. This office will work with the general contractor to determine the cutoff trench alignments once the excavation is completed to bottom of footing.
- 8. The drywell locations that the cutoff trenches terminate in should be coordinated with the landscape architect.
- 9. It is important that the elevation of the drywell cast iron grate is at least 1 foot below the lowest footing to minimize the chance of groundwater back-flowing into the foundations.
- 10. A surface swale should be created from the drywell grates to the borrow ditch in case the drywell overflows.
- 11. Two drywells should be installed (one on each side of the residence) for the cutoff trench system to terminate in. This will provide a back-up drywell in case one of the solid drainlines from the cutoff trench to the drywells gets crushed or clogged.
- 12. See *Storm Water Drywell Profile* for details. The size of the drywell can be calculated by this office at your request.
- 13. The cutoff trench should be **mutually exclusive** of the radon system piping.

#### **Structural Fill**

Structural fill for the foundation building pad, retaining walls, walkways, exterior terraces and the driveway shall meet the following recommendations:

- 1. Structural fill should consist of approved imported washed fractured or rounded gravel, crushed sand and gravel (roadmix) or pitrun sand and gravel classified as GW, GM, GP, SW, SM, or SP as described in the Unified Soil Classification System chart presented after the test pit logs.
- 2. If fine grain soils are used as non-structural fill against the foundation walls imported 1"-2" dia. washed gravel should be installed from bottom of footing to the top of footing and covered with a layer of 4.0 oz., non-woven filter fabric to assist in subsurface runoff in reaching the footing drain and being directed to a drywell as shown on the *Cutoff Trench/Building Pad Drainage System Profile*.
- 3. Granular structural fill should have no more than 10% passing the No. 200 sieve and a cobble size of no larger than 8 inches.
- 4. Structural fill should be placed in uniform, maximum 10-inch deep, loose lifts and compacted to a minimum of 95% of the maximum dry density of the soil, as determined by ASTM D 698 (Standard Proctor). This assumes that heavy compaction equipment such as smooth-drum, vibratory rollers with a minimum drum weight of 5 tons is used. The depth of each lift could be adjusted in the field based on the material and size of compaction equipment.
- 5. The maximum loose lift thickness should be reduced to 6 inches where smaller and/or lighter compaction equipment is used (i.e. WACKER jumping jack). A vibrating plate tamper can be used to compact 10" lifts of washed rock but should not be used to compact native fractured andesite bedrock.

- 6. ¾" minus crushed sand and gravel roadmix should be placed in 6" loose lifts, watered and compacting with a jumping jack tamper, vibrating plate tamper or smooth drum roller.
- 7. The general contractor should contact this office several days before the foundation excavation commences to minimize any delays in excavation, placement of structural fill, approval of imported structural fill, construction observations and reports to the building inspector by a stamped by an engineer.

#### **Foundations**

The approved native fractured andesite bedrock subgrade or a free-draining structural fill foundation building pad constructed on an approved native subgrade will support continuous footings, spread footings and slab-on-grade construction based on the following parameters:

- 1. The allowable bearing pressure of the approved weathered bedrock subgrade or an imported washed gravel structural fill building pad constructed on an approved native subgrade is 4,000 pounds per square foot (psf).
- 2. Exterior footings should be at least 32 inches below finish grade to minimize the potential for frost heave.
- 3. Total and differential settlement is estimated to be less than one inch and ¾ ", respectively, for the structural fill building pad on an approved native subgrade.
- 4. The recommended friction factor is 0.60 for the approved native fractured andesite bedrock subgrade or imported washed gravel building pad.
- 5. The floor joists and sub-floor should be in-place prior to backfilling against the foundation walls unless directed otherwise by the structural engineer.
- 6. All footings should be constructed so that a line drawn from the edge of footings at a slope of 0.5 foot horizontal to 1.0 foot vertical to the undisturbed subgrade soil is not intercepted by non-structural fill or an open slope. See Structural Fill/Foundation Subgrade Concepts Profile for details.

## **Retaining Walls**

The following design parameters assume that proper drainage will maintain a fully drained environment behind the walls for the life of the structure with a level backfill at least 10 feet behind the structure:

- 1. The recommended equivalent active lateral earth pressure is 35 pounds per cubic foot (pcf) equivalent fluid pressure (efp). Active pressure design is based on the top of the wall moving.
- 2. The recommended equivalent at-rest lateral earth pressure is 55 pounds per cubic foot (pcf) equivalent fluid pressure (efp). Active pressure design is based on the top of the wall moving.
- 3. The recommended equivalent passive lateral earth pressure is 400 pcf, efp.

- 4. The recommended friction factor is 0.60 for the approved native fractured andesite bedrock or imported washed gravel foundation building pad.
- 5. The floor joists and sub-floor should be in-place prior to backfilling against the retaining walls or as directed by the structural engineer.
- 6. Footings adjacent to retaining walls should be structurally connected to the retaining walls.

All retaining walls should be waterproofed as follows:

- Retaining walls should be covered with a waterproof membrane and a synthetic drainage mat that is
  installed to the bottom of footing and over the footing drain or cutoff trench. The drainage mat will
  both direct groundwater to the footing drain and/or cutoff trench and will also protect the
  waterproofing membrane.
- 2. If washed, free-draining gravel is used as backfill against retaining walls then the drainage mat can be omitted and replaced with an inexpensive protection board that will protect the waterproofing membrane as the free-draining gravel is installed.
- 3. A synthetic drainage mat is not necessary if free-draining gravel is used exclusively as backfill against the retaining walls since the gravel will allow groundwater to reach the cutoff trench drainage system to relive hydrostatic pressures.
- 4. See the *Cutoff Trench/Building Pad Drainage System Profile* for waterproofing and drainage design details.

If the groundwater rises above the base of the footings then the hydrostatic pressures will increase the lateral earth pressures by 62 pcf per vertical foot of wall.

All backfill should be placed as directed in the *Structural Fill* section.

1" to 2", rounded or fractured, washed drain rock has several advantages if used as structural fill against retaining walls. The lateral pressures against the retaining wall from smaller compaction equipment (i.e. vibrating plate tamper) used for compacting the washed gravel will be less than that of a hoe-pack or smaller smooth steel drum roller that should be used for compacting pitrun sand and gravel soils. The drain rock also provides an excellent free draining medium and eliminates the need (and cost) for a geo-composite drainage matt. The washed gravel is not self-compacting and should be placed in 12-inch loose lifts and compacted with a vibrating plate tamper.

Structural fill for footings adjacent to retaining walls should be placed to provide an envelope under footings, patios and walkways so that a line drawn from the edge of footings or walkways at a slope of 1.0 foot horizontal to 1.0 foot vertical to the undisturbed subgrade soil is not intercepted by non-structural fill or an open slope. See the *Structural Fill-Foundation*.

#### **Soil Classification for Septic Design**

The residence will be served by the Ketchum Utility Department so no test pit was completed for a private septic system.

## **Surface Grading and Drainage**

I have not reviewed the preliminary grading and drainage plan at the time this report was completed. The drainage plan should incorporate the following grading and drainage concepts based on the soils encountered in the test pits.

- 1. I recommend that the finish surface be sloped at a minimum of 2% to direct runoff away from the foundations, walkways, terraces and driveways.
- 2. All roof down spouts, foundation drains, landscape catch basins and surface runoff should be directed to the drywells terminated downslope of the structure and driveway. The rim of the drywell should be at least 10 feet from and 1 foot below the lowest footing.
- 3. Roof down spouts should **not** be allowed to drain adjacent to foundation. A 4" solid pipe should be installed in top of the footing and sloped at a min. of 1% with stub-outs for connecting the downspouts. The pipe should be terminated in the drywells located at least 10 feet from and downslope of the foundation. See the *Cutoff Trench/Building Pad Drainage System Profile* for concepts.
- 4. The native fractured andesite bedrock has an infiltration rate of less than 0.1"/minute. A storm water drywell should be constructed downslope of the structure and surrounded by a min. 36" envelope of 2" rounded washed gravel. The civil engineer creating the grading and drainage plan should work with the City Planning Department to provide an overflow into the City right-of-way in case the on-site drywells overflow. See the *Storm Water Drywell Profile*.
- 5. All drain lines terminated in drywells should be sloped at a min. 2% and covered with at least 24" of soil to minimize freezing.
- 6. Due to the low permeability of the native fractured andesite bedrock smaller landscape drywells could be slow draining and ineffective. I recommend that all surface runoff be piped to a large drywell located downslope of the structure.
- 7. All drywells proposed on the grading plan located upslope of the structure and in the driveway should be converted to catch basins that pipe runoff to large drywells located downslope of the structure.
- 8. A prominent surface swale should be constructed above the structure to capture surface runoff from the overlying slopes and direct runoff to drywells downslope of the structure. The volume of surface runoff could be quite large in the spring when a warm rain could melt any remaining snow, the ground is frozen preventing any infiltration and the resulting runoff is directed towards the structure.

#### **Driveway, Terraces and Walkways**

I recommend the following section for asphalt driveways, terraces and walkways of either pavers or exterior concrete slabs to minimize frost action and settlement. The driveway section is designed to allow for an exposed gravel driving surface during construction before the final asphalt driving surface is installed:

- 1. The hardscape areas should be cut to at least 12" below finish grade and/or to remove all roots, organics, uncontrolled fill, disturbed native soils and dark brown topsoil. The underlying undisturbed native soils should be scarified to a 12" depth, watered and compacted with a 5-ton smooth drum roller and proof rolled with a 5-ton smooth drum roller to locate any soft areas.
- 2. Any soft areas exposed in the compacted subgrade should be excavated to expose competent soils and replaced with compacted structural fill as outlined in the *Site Preparation* section.
- 3. All parking areas, terraces and walkways should be constructed so that a line drawn from the edge of walkways or driveways at a slope of 0.5 foot horizontal to 1.0 foot vertical to the undisturbed subgrade soil is not intercepted by non-structural fill or an open slope. See the *Structural Fill-Foundation Subgrade Concepts Profile*.
- 4. All native silty clay and organics expose in the driveway and parking areas subgrade should be removed to expose the underlying native fractured bedrock.
- 5. A minimum of 6 inches of imported pitrun sand and gravel or 2" minus crushed sand and gravel roadmix sub-base watered and compacted with multiple passes of a smooth drum roller to at least 95% of the maximum dry density of the soil as determined by ASTM Test D-698 (Standard Proctor). On-site sand and gravel soils can be used for the sub-base layer.
- 6. 4 inches of ¾" minus, crushed sand and gravel roadmix compacted to at least 95% of the maximum dry density of the soil as determined by ASTM Test D-698 (Standard Proctor).
- 7. Typically, the driveway is constructed at the commencement of the project to include the roadmix to provide a driving surface that can be plowed during construction. Prior to placing pavers or asphalt the surface should be cleared of mud and debris and several inches of roadmix is added to create the finish grading.
- 8. Pavers, asphalt or concrete.
- 9. Surface driveway runoff should not be allowed to run down the driveway surface and drain onto Walnut Avenue. I recommend that surface runoff near the residence be directed to a catch basin that terminates in a drywell downslope of the structure. The catch basin should incorporate a cast iron ring and grate that can be kept clear of snow and ice wen the driveway is plowed. Catch basins or drywells located along the edge of the driveway can be buried under plowed snow and become ineffective. See the Storm Water Drywell Profile for details.

A minimum of 4 inches of ¾", well graded, crushed sand and gravel (road mix) base course should be placed between the pit-run sub-base and the finish walking surface. This will provide a leveling course and

distribute point loads. If the sub-base for the driveway, terraces, and walkways are completed before the finish surface is constructed any structural fill should be compacted if the surfaces are exposed over a winter since the material will experience frost heave and reach a loose state.

# Seismicity

The general subsurface soil conditions are consistent with Design Code Reference ASCE 7-16 for Site Class B- Rock. The latitude and longitude of the project site are 43.68°N and 114.36° W, respectively.

Seismic Design Category (SDC): C Risk Category: II Ss = 0.625 g S1= 0.193 g Sms = 0.563 g Sm1 = 0.154 g

## **Radon Venting**

Blaine County has a history of radon gas collecting in crawlspaces and under slab-on-grades. Radon gas is a byproduct of the natural breakdown of uranium that accumulates in improperly sealed basements and crawl spaces. These radon levels can exceed safety standards as set by the EPA. According to the State Radon Contact the most accurate testing results are gathered in the structure after construction.

This office is not qualified to complete a radon venting system design so the following venting concepts are guidelines. The radon system should be designed or reviewed by a radon venting contractor to ensure the proper spacing of the perforated pipes and vertical vent pipes.

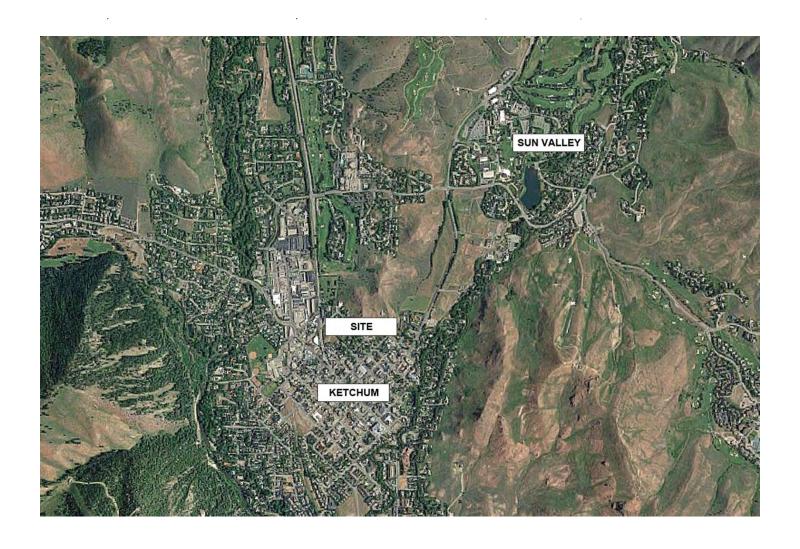
Typical radon system designs consist of the following:

- 1. Install a 4-inch dia. perforated pipes on the footing subgrade within the crawlspace or slab-on-grade foundation.
- 2. I recommend installing sleeves through interior footings to allow the perforated radon pipe to remain below top of footing.
- 3. Place imported washed gravel to top of footing to protect radon piping and create level crawlspace surface. A typical footing depth of 8" would provide 4" of gravel over the 4" perforated pipes.
- 4. Install vapor barrier over top of gravel and seal to top of footing. A white vapor barrier i.e. Dura Skrim enhances lighting in the crawlspace.
- 5. Connect radon piping to vertical vent pipes. The horizontal length of radon piping per vent pipe and number and location of vent pipes should be determined by radon system contractor.
- 6. Power should be provided adjacent to the vertical vent pipe in case a low-voltage fan is required to vacate radon.

It is important to create an airtight seal between all concrete slabs and adjacent walls. Consulting an experienced contractor or radon-venting specialist can ensure an adequate system is installed during construction compared to potentially expensive remedial measures. See *Radon System Concepts Plan* for general design concepts.

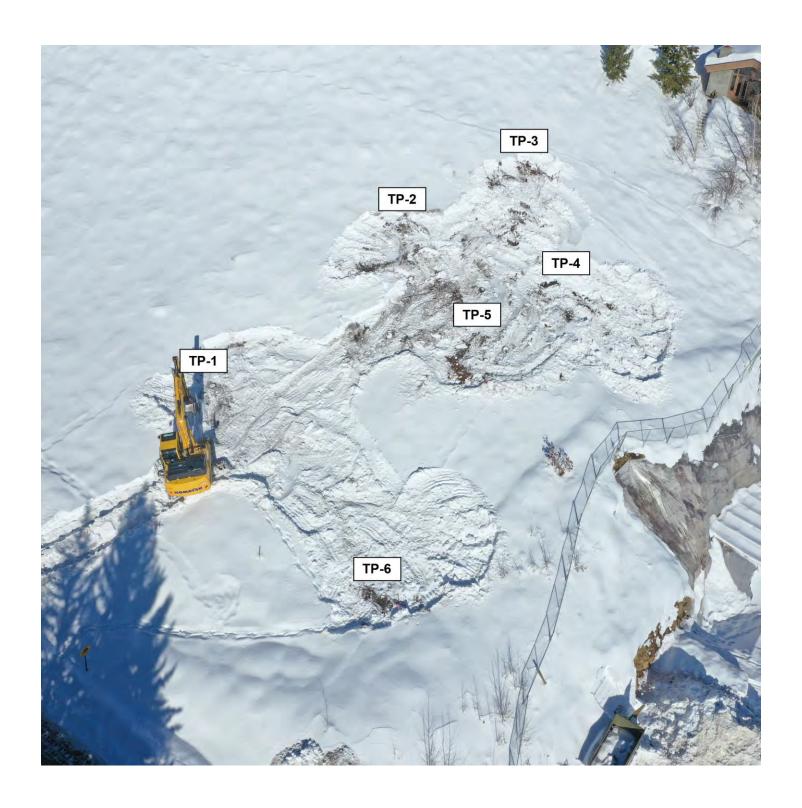
#### CONSTRUCTION OBSERVATION AND MONITORING

This report provides opinions and recommendations that are generally accepted geotechnical engineering principle and practices. I recommend that this office provide construction monitoring and observation services to ensure that the recommendations outlined in this report are followed and that the foundation drainage system and grading and drainage details are constructed properly. If this office is not retained to perform the recommended services, I cannot be responsible for soil engineering construction errors or omissions. The costs for the recommended services are not included with this report and would be incurred on a time and expense basis.



# **VICINITY MAP**

Proposed Babson Residence
Lots 3 and 4, Block 91, Ketchum Townsite
Located on Walnut Ave
Ketchum, Idaho
43.68ºN 114.36ºW



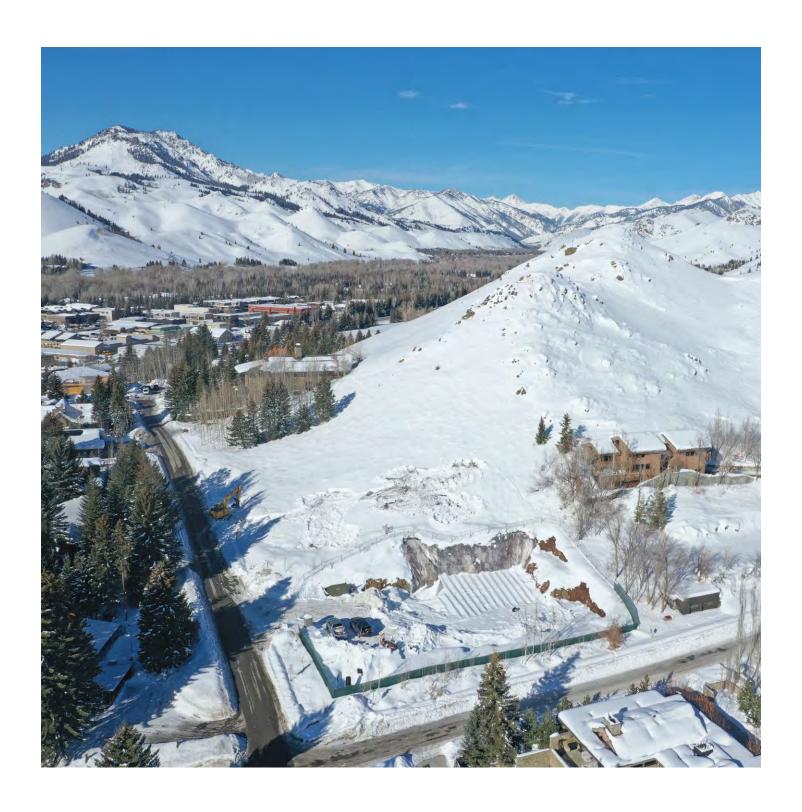
# **TEST PIT SITE PLAN PHOTO 1**

Proposed Babson Residence
Lots 3 and 4, Block 91, Ketchum Townsite
Located on Walnut Ave
Ketchum, Idaho
Image captured on January 3, 2023



# **TEST PIT SITE PLAN PHOTO 2**

Proposed Babson Residence
Lots 3 and 4, Block 91, Ketchum Townsite
Located on Walnut Ave
Ketchum, Idaho
Image captured on January 3, 2023



# **TEST PIT SITE PLAN PHOTO 3**

Proposed Babson Residence
Lots 3 and 4, Block 91, Ketchum Townsite
Located on Walnut Ave
Ketchum, Idaho
Image captured on January 3, 2023

Proposed Babson Residence
Lots 3 and 4, Block 91, Ketchum Townsite
Located on Walnut Ave
Ketchum, Idaho

DEPTH (Feet)	USCS SOIL CLASS	SOIL DESCRIPTION
0.0'-2.4'	CL	Silty CLAY, trace-little Sand, Gravel & Roots (NATIVE) Dark brown, soft-stiff, damp.
2.4'-4.3'	RX	Weathered, fractured ANDESITE BEDROCK (NATIVE) Brown, hard, dry.

Test Pit completed on January 3, 2023.

See Test Pit Site Plan Photo 1 for test pit location.

The test pit surface elevation is approximately 5924 feet based on the Blaine County Land Use Information Map.

No groundwater encountered.

Test pit terminated at 4.3 feet below existing grade after reaching several feet below typical crawlspace footings and due to the consistency of the soil type between the test pits. No soil sample retrieved.

Minor sloughing of test pit walls in native andesite bedrock soil.



Proposed Babson Residence
Lots 3 and 4, Block 91, Ketchum Townsite
Located on Walnut Ave
Ketchum, Idaho

DEPTH (Feet)	USCS SOIL CLASS	SOIL DESCRIPTION
0.0'-4.8'	CL	Silty CLAY, trace-little Sand, Gravel & Roots (NATIVE) Dark brown, soft-stiff, damp.
4.8'-5.8'	RX	Weathered, fractured ANDESITE BEDROCK (NATIVE) Brown, hard, dry.

Test Pit completed on January 3, 2023.

See Test Pit Site Plan Photo 1 for test pit location.

The test pit surface elevation is approximately 5940 feet based on the Blaine County Land Use Information Map.

No groundwater encountered.

Test pit terminated at 5.8 feet below existing grade after reaching several feet below typical crawlspace footings and due to the consistency of the soil type between the test pits. No soil sample retrieved.

Minor sloughing of test pit walls in native andesite bedrock soil.



Proposed Babson Residence
Lots 3 and 4, Block 91, Ketchum Townsite
Located on Walnut Ave
Ketchum, Idaho

DEPTH (Feet)	USCS SOIL CLASS	SOIL DESCRIPTION
0.0'-3.3'	CL	Silty CLAY, trace-little Sand, Gravel & Roots (NATIVE) Dark brown, soft-stiff, damp.
3.3'-5.4'	RX	Weathered, fractured ANDESITE BEDROCK (NATIVE) Brown, hard, dry.

Test Pit completed on January 3, 2023.

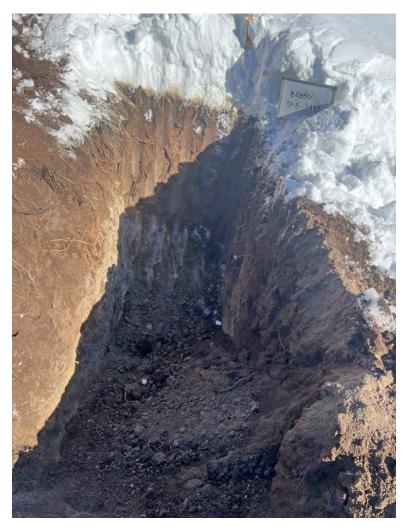
See Test Pit Site Plan Photo 1 for test pit location.

The test pit surface elevation is approximately 5950 feet based on the Blaine County Land Use Information Map.

No groundwater encountered.

Test pit terminated at 5.4 feet below existing grade after reaching several feet below typical crawlspace footings and due to the consistency of the soil type between the test pits. No soil sample retrieved.

Minor sloughing of test pit walls in native andesite bedrock soil.



Proposed Babson Residence
Lots 3 and 4, Block 91, Ketchum Townsite
Located on Walnut Ave
Ketchum, Idaho

DEPTH (Feet)	USCS SOIL CLASS	SOIL DESCRIPTION
0.0'-2.7'	CL	Silty CLAY, trace-little Sand, Gravel & Roots (NATIVE) Dark brown, soft-stiff, damp.
2.7'-4.7'	RX	Weathered, fractured ANDESITE BEDROCK (NATIVE) Brown, hard, dry.

Test Pit completed on January 3, 2023.

See Test Pit Site Plan Photo 1 for test pit location.

The test pit surface elevation is approximately 5932 feet based on the Blaine County Land Use Information Map.

No groundwater encountered.

Test pit terminated at 4.7 feet below existing grade after reaching several feet below typical crawlspace footings and due to the consistency of the soil type between the test pits. No soil sample retrieved.

Minor sloughing of test pit walls in native andesite bedrock soil.



Proposed Babson Residence
Lots 3 and 4, Block 91, Ketchum Townsite
Located on Walnut Ave
Ketchum, Idaho

DEPTH (Feet)	USCS SOIL CLASS	SOIL DESCRIPTION
0.0'-1.5'	CL	Silty CLAY, trace-little Sand, Gravel & Roots (NATIVE) Dark brown, soft-stiff, damp.
1.5'-2.8'	RX	Weathered, fractured ANDESITE BEDROCK (NATIVE) Brown, hard, dry.

Test Pit completed on January 3, 2023.

See Test Pit Site Plan Photo 1 for test pit location.

The test pit surface elevation is approximately 5930 feet based on the Blaine County Land Use Information Map.

No groundwater encountered.

Test pit terminated at 2.8 feet below existing grade after reaching several feet below typical crawlspace footings and due to the consistency of the soil type between the test pits. No soil sample retrieved.

Minor sloughing of test pit walls in native andesite bedrock soil.



Proposed Babson Residence
Lots 3 and 4, Block 91, Ketchum Townsite
Located on Walnut Ave
Ketchum, Idaho

DEPTH (Feet)	USCS SOIL CLASS	SOIL DESCRIPTION
0.0'-2.0'	CL	Silty CLAY, trace-little Sand, Gravel & Roots (NATIVE) Dark brown, soft-stiff, damp.
2.0'-3.6'	RX	Weathered, fractured ANDESITE BEDROCK (NATIVE) Brown, hard, dry.

Test Pit completed on January 3, 2023.

See Test Pit Site Plan Photo 1 for test pit location.

The test pit surface elevation is approximately 5916 feet based on the Blaine County Land Use Information Map.

No groundwater encountered.

Test pit terminated at 3.6 feet below existing grade after reaching several feet below typical crawlspace footings and due to the consistency of the soil type between the test pits. No soil sample retrieved.

Minor sloughing of test pit walls in native andesite bedrock soil.



# SOIL CLASSIFICATION / LEGEND

## **RELATIVE DENSITY OR CONSISTENCY UTILIZING STANDARD PENETRATION TEST VALUES**

OTILIZING OTANDARD I ENETRATION TEST VALUES					
COHESIONLESS SOILS (a)			COF	HESIVE SOI	LS (b)
Density (c)	N, blows/ft (c)	Relative Density (1%)	Consistency	N, blows/ft (c)	Undrained (d) Shear Strength(psf)
Very Loose Loose Compost Dense Very Dense	0 to 4 4 to 10 10 to 30 30 to 50 over 50	0 - 15 15 - 35 35 - 65 65 - 85 >85	Very Soft Soft Firm Stiff Very Stiff Hard	0 to 2 2 to 4 4 to 8 8 to 15 15 to 30 over 30	<250 250-500 500-1000 1000-2000 2000-4000 >4000

- (a) Soils consisting of gravel, sand, and silt, either separately or in combination, possessing no characteristics of plasticity and exhibiting drained behavior.

  (b) Soils possessing the characteristics of plasticity and exhibiting undrained behavior.
- (c) Refer to text of ASTM D 1586-84 for a definition of N; in normally consolidated cohesionless soils Relative Density terms are based on N. values corrected for overburden pressures.
- (d) Undrained shear strength = ½ unconfined compression strength.

# **UNIFIED SOIL CLASSIFICATION SYSTEM**

MAJOR DIVISIONS			SYMBOL	TYPICAL NAMES
	GRAVELS	CLEAN		Well-Graded gravel
	More than 50% of coarse	GRAVELS	GP	Poorly-graded gravels
COURSE GRAINED	fraction retained	GRAVELS	GM	Gravel and Silt Mixtures
SOILS More than	on No. 4 Sieve	WITH FINES	GC	Gravel and Clay Mixtures
50% retained	SANDS	CLEAN	SW	Well-graded Sands
on No. 200 Sieve	50% or more of coarse	SANDS	SP	Poorly-graded Sands
	fraction passes No. 4 Sieve	SANDS WITH FINES More than 12% fines	SM	Sand and Silt Mixtures
			SC	Sand and Clay Mixtures
	SILTS & CLAYS	INORGANIC	CL	Low-plasticity Clays
FINE GRAINED		INONGANIC	ML	Non-plastic and Low-plasticity Silts
SOILS 50% or	less than 50	ORGANIC	OL	Organic Silt and Clay of Low plasticity
more passes the	SILTS & CLAYS Liquid limit	INORGANIC	СН	High Plasticity Clays
No. 200 Sieve		INURGANIC	МН	High Plasticity Silts
	less than 50	ORGANIC	ОН	High-plasticity-Organic Clays High-plasticity-Organic Silts
HIGHLY ORGANIC SOILS			PT	Peat, Muck and Other Highly Organic Soils

## **COMPONENT DEFINITIONS BY GRADATION**

COMPONENT	SIZE RANGE	
Boulders	Above 12 inches	
Cobbles	3 inches to 12 inches	
Gravel Coarse gravel Fine gravel	3 inches to No. 4 (4.76mm) 3 inches to 3/4 inch 3/4 inch to No. 4 (4.76mm)	
Sand Course sand Medium sand Fine sand	No. 4 (4.76mm) to No. 200 (0.074mm) No. 4 (4.76mm) to No. 10 (2.0mm) No. 10 (2.0mm) to No. 40 (0.42mm) No. 40 (0.42) to No. 200 (0.074mm)	
Silt & Clay	Smaller than No. 200 (0.074mm)	

#### **SILT & CLAY DESCRIPTIONS**

OIL! G OLK! BLOOK!! HONO		
DESCRIPTIONS	TYPICAL UNIFIED DESIGNATION	
Silt Clayey Silt Silty Clay Clay Plastic Silt Organic Soils	ML (non-plastic) CL-ML (low plasticity) CL CH MH OL, OH, Pt	

#### LABORATORY TESTS

TEST	DESIGNATION	
Moisture Density Grain Size Hydrometer Atterberg Limits Consolidation Unconfined UU Triax CU Triax CD Triax Permeability	(1) D G H (1) C U U U C D P	

(1) Moisture & Atterberg Limits

# **SAMPLES**

Unless otherwise noted, drive samples advance with 140 lb. Hammer with 30 inch drop.

# **COMPONENT PROPORTIONS**

DESCRIPTIONS	RANGE OF PROPORTION
Trace	0-5%
Little	5-12%
Some or Adjective (a)	12-30%
And	30-50%

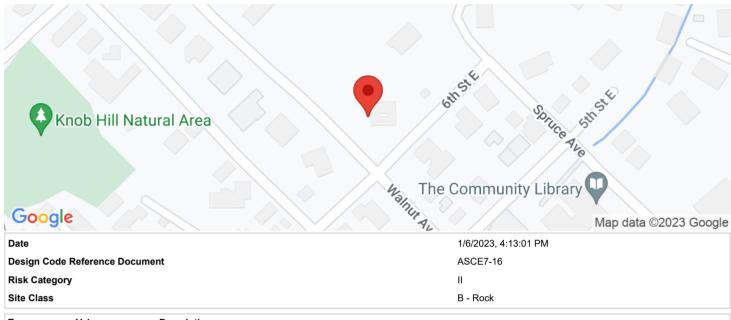
(a) Use Gravelly, Sandy or Silty as appropriate.





# **Babson residence**

Latitude, Longitude: 43.68459445, -114.36379919

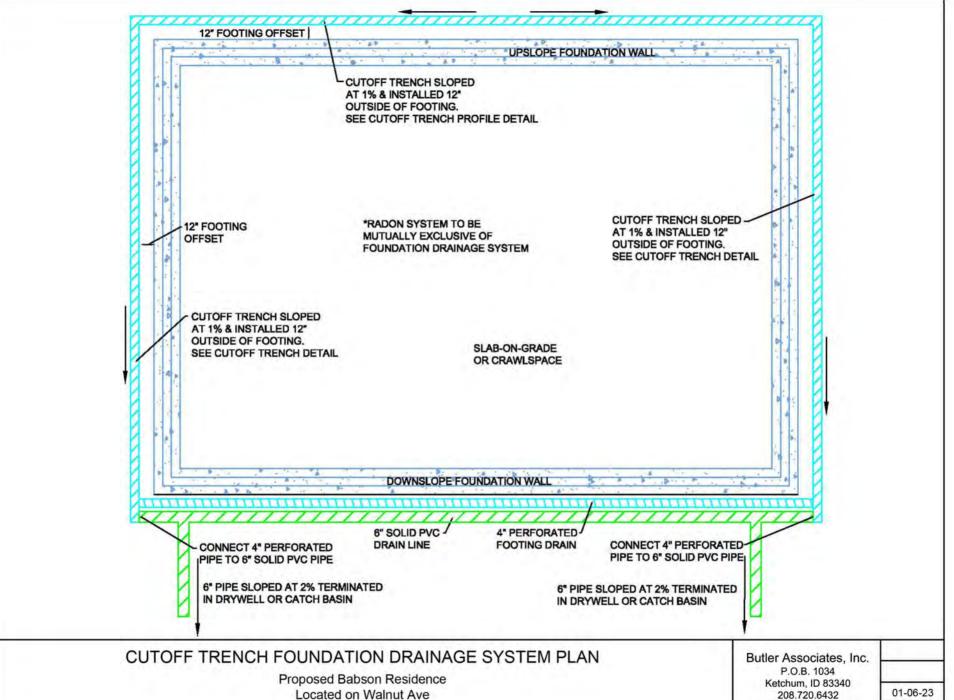


Туре	Value	Description
S <sub>S</sub>	0.625	MCE <sub>R</sub> ground motion. (for 0.2 second period)
S <sub>1</sub>	0.193	MCE <sub>R</sub> ground motion. (for 1.0s period)
S <sub>MS</sub>	0.563	Site-modified spectral acceleration value
S <sub>M1</sub>	0.154	Site-modified spectral acceleration value
S <sub>DS</sub>	0.375	Numeric seismic design value at 0.2 second SA
S <sub>D1</sub>	0.103	Numeric seismic design value at 1.0 second SA

Туре	Value	Description
SDC	С	Seismic design category
Fa	0.9	Site amplification factor at 0.2 second
F <sub>v</sub>	8.0	Site amplification factor at 1.0 second
PGA	0.278	MCE <sub>G</sub> peak ground acceleration
F <sub>PGA</sub>	0.9	Site amplification factor at PGA
PGA <sub>M</sub>	0.25	Site modified peak ground acceleration
TL	6	Long-period transition period in seconds
SsRT	0.625	Probabilistic risk-targeted ground motion. (0.2 second)
SsUH	0.701	Factored uniform-hazard (2% probability of exceedance in 50 years) spectral acceleration
SsD	1.5	Factored deterministic acceleration value. (0.2 second)
S1RT	0.193	Probabilistic risk-targeted ground motion. (1.0 second)
S1UH	0.212	Factored uniform-hazard (2% probability of exceedance in 50 years) spectral acceleration.
S1D	0.6	Factored deterministic acceleration value. (1.0 second)
PGAd	0.5	Factored deterministic acceleration value. (Peak Ground Acceleration)
PGA <sub>UH</sub>	0.278	Uniform-hazard (2% probability of exceedance in 50 years) Peak Ground Acceleration
C <sub>RS</sub>	0.893	Mapped value of the risk coefficient at short periods
C <sub>R1</sub>	0.908	Mapped value of the risk coefficient at a period of 1 s
C <sub>V</sub>	0.9	Vertical coefficient

# Proposed Babson Residence



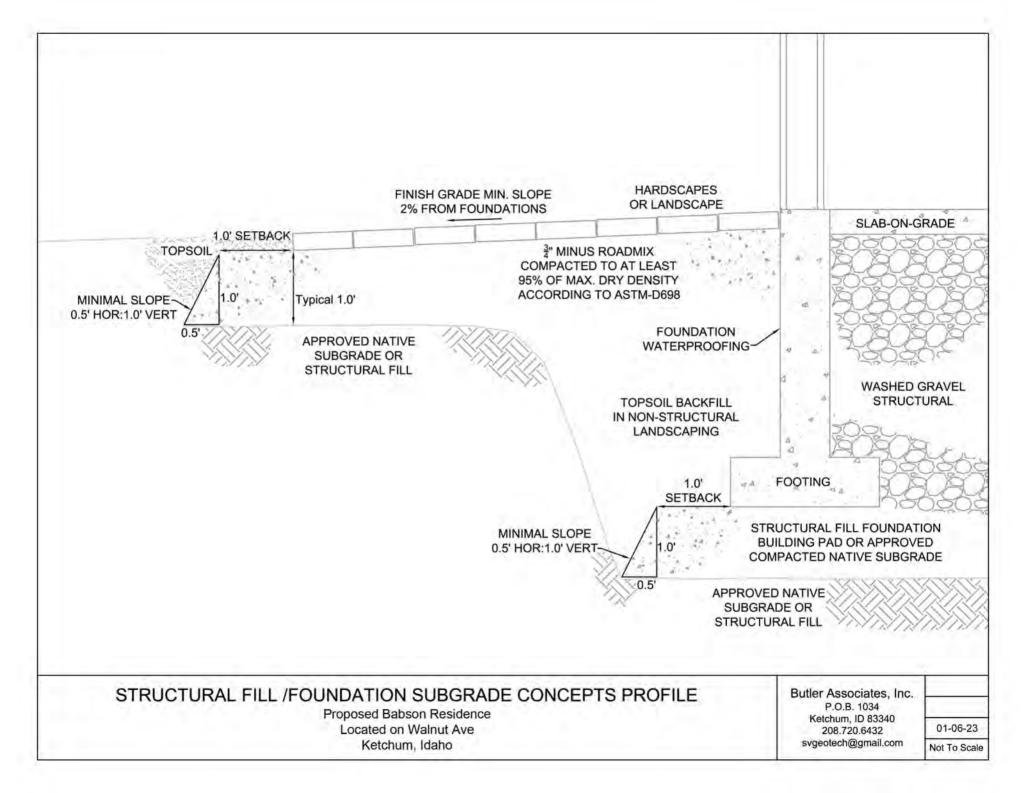


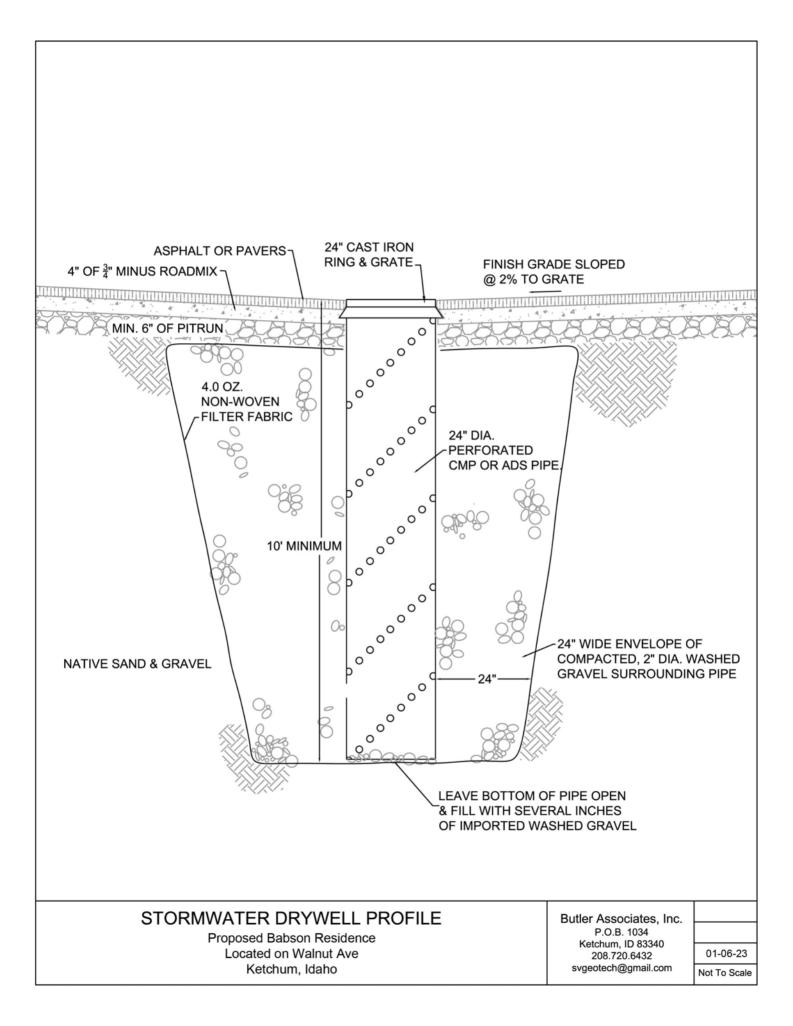
Ketchum, Idaho

208.720.6432 svgeotech@gmail.com

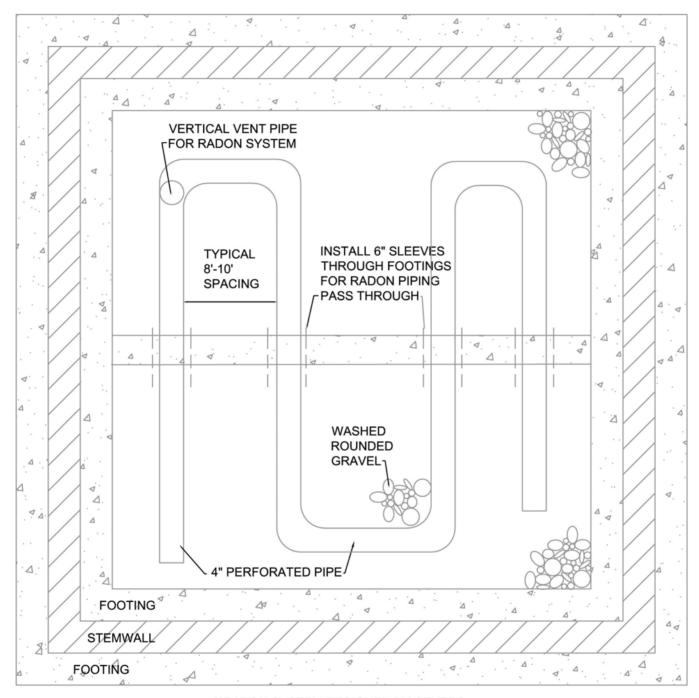
Not To Scale

SWALE TO DIRECT FINISH GRADE SLOPED SURFACE RUNOFF AT MIN. 2% AWAY AROUND STRUCTURE FROM STRUCTURE FLOOR JOIST CRAWLSPACE OR TOPSOIL FOR LANDSCAPING SLAB-ON-GRADE OR STRUCTURAL FILL FOR EXTERIOR HARDSCAPE PROTECTION BOARD OR DRAINAGE MAT COVERING WATERPROOFING (PER **MANUFACTUERS** RECOMMENDATIONS) LAYER OF 4.0 OZ., NON-WOVEN FILTER FABRIC TO SEPARATE TOPSOIL FROM STRUCTURAL FILL SYNTHETIC DRAINAGE MAT (ENKADRAIN OR EQUIVALENT) DRAINAGE MAT CAN BE 1" OR 2", FREE-DRAINING, ELIMINATED IF WASHED GRAVEL WASHED FRACTURED IS USED PER ENGINEER OR ROUNDED GRAVEL WATERPROOFING 4" SOLID PIPE TO **MEMBRANE** CONNECTED TO DOWNSPOUTS RADON SYSTEM TEMPORARY EXCAVATION -**DESIGNED BY OTHERS** SLOPE TO BE CONFIRMED BY ENGINEER DEPENDING ON SOIL/ROCK TYPE. WASHED GRAVEL STRUCTURAL FILL FOUNDATION BUILDING PAD DEPTH TO BE DETERMINED IN THE FIELD 4" PERFORATED PIPE MIN. 6" BELOW BOTTOM LAYER OF 4.0 OZ., NON-WOVEN OF STRUCTURAL FILL FILTER FABRIC TO SEPARATE FOUNDATION BUILDING PAD APPROVED NATIVE SUBGRADE FROM STRUCTURAL FILL SUBGRADE OR STRUCTURAL FILL BUILDING PAD CUTOFF TRENCH FOUNDATION DRAINAGE SYSTEM PROFILE Butler Associates, Inc. P.O.B. 1034 Proposed Babson Residence Ketchum, ID 83340 Located on Walnut Ave 01-06-23 208.720.6432 svgeotech@gmail.com Ketchum, Idaho Not To Scale





# \*TYPICALLY WASHED GRAVEL PLACED OVER PERFORATED PIPE TO TOP OF FOOTING AND COVERED WITH VAPOR BARRIER THAT IS SEALED TO TOP OF FOOTING



\*\*RADON SYSTEM DESIGNED BY OTHERS

# RADON SYSTEM CONCEPTS PLAN

Proposed Babson Residence Located on Walnut Ave Ketchum, Idaho Butler Associates, Inc. P.O.B. 1034 Ketchum, ID 83340 208.720.6432 svgeotech@gmail.com

01-06-23 Not To Scale

# Attachment C: Preliminary Plat Application & Supplemental Materials



# City of Ketchum Planning & Building

OFFICIAL USE ONLY		
Application Number	P23-052	
Date Received:	6/5/23	
By:	HLN	
Fee Paid:	\$2600	
Approved Date:		
Ву:		

# **Subdivision Application**

Submit completed application and payment to the Planning and Building Department, PO Box 2315, Ketchum, ID 83340 or hand deliver to Ketchum City Hall, 480 East Ave. N., Ketchum. If you have questions, please contact the Planning and Building Department at (208) 726-7801. To view the Development Standards, visit the City website at: www.ketchumidaho.org and click on Municipal Code.

	APPLICAN	T INFORMATION	
Name of Proposed Subdivision	n: KETCHUM TOWNSITE	: BLOCK 91: LOT 3/	Α
Owner of Record:Breyman P	roperties, LLC		
Address of Owner: 12045 Bre	eyman Ave, Portland, OR	97219	
Representative of Owner: Ga	ena-Benchmark Enginee	ing, Dave Patrie	
Legal Description: Lots 3 & 4	Block 91, Ketchum Towr	site	
Street Address: corner 7th St	reet & Walnut Avenue		
	SUBDIVISIO	ON INFORMATION	
Number of Lots/Parcels: 1			
Total Land Area: +/- 16,523	SF		
Current Zoning District: LR-			
Proposed Zoning District: LR	<u> </u>		
Overlay District: mountain ov	erlay district		
	TYPE O	F SUBDIVISION	
Condominium	Land 🔳	PUD □	Townhouse □
Adjacent land in same owners	<u> </u>	n/a	
Easements to be dedicated on	•		
No new easements			'
Briefly describe the improvem	ents to be installed prior to	inal plat approval:	
None			
	ADDITION	AL INFORMATION	
All lighting must be in complia One (1) copy of Articles of Inco One (1) copy of current title ro One (1) copy of the preliminal All files should be submitted in	orporation and By-Laws of H eport and owner's recorded y plat	omeowners Associatio	ons and/or Condominium Declarations

Applicant agrees in the event of a dispute concerning the interpretation or enforcement of the Subdivision Application in which the City of Ketchum is the prevailing party to pay reasonable attorney's fees and costs, including fees and costs of appeal for the City of Ketchum. Applicant agrees to observe all City ordinances, laws and conditions imposed. Applicant agrees to defend, hold harmless and indemnify the City of Ketchum, city officials, agents and employees from and for any and all losses, claims, actions, judgments for damages, or injury to persons or property, and losses and expenses caused or incurred by Applicant, its servants, agents, employees, guests and business invitees and not caused by or arising out of the tortuous conduct of city or its officials, agents or employees. Applicant certifies that s/he has read and examined this application and that all information contained herein is true and correct.

Applicant Signature

Date



#### **CLTA GUARANTEE**

ISSUED BY STEWART TITLE GUARANTY COMPANY A CORPORATION, HEREIN CALLED THE COMPANY

SUBJECT TO THE EXCLUSIONS FROM COVERAGE, THE LIMITS OF LIABILITY AND OTHER PROVISIONS OF THE CONDITIONS AND STIPULATIONS HERETO ANNEXED AND MADE A PART OF THIS GUARANTEE, AND SUBJECT TO THE FURTHER EXCLUSION AND LIMITATION THAT NO GUARANTEE IS GIVEN NOR LIABILITY ASSUMED WITH RESPECT TO THE IDENTITY OF ANY PARTY NAMED OR REFERRED TO IN SCHEDULE A OR WITH RESPECT TO THE VALIDITY, LEGAL EFFECT OR PRIORITY OF ANY MATTER SHOWN THEREIN.

#### **GUARANTEES**

the Assured named in Schedule A against actual monetary loss or damage not exceeding the liability amount stated in Schedule A which the Assured shall sustain by reason of any incorrectness in the assurances set forth in Schedule A.

**Dated: June 2, 2022** 

Countersigned by:

Signed under seal for the Company, but this endorsement is to be valid only when it bears an authorized countersignature.

Authorized Countersignature

TitleOne
Company Name

271 1st Ave North
PO Box 2365
Ketchum, ID 83340
City, State

TEMARANTA COMPORATE COMPOR

Frederick H. Eppinger President and CEO

> David Hisey Secretary

Please note carefully the liability exclusions and limitations and the specific assurances afforded by this guarantee. If you wish additional liability, or assurances other than as contained herein, please contact the company for further information as to the availability and cost.

Agent ID: 120050

#### **GUARANTEE CONDITIONS AND STIPULATIONS**

- **1. Definition of Terms** The following terms when used in the Guarantee mean:
  - (a) "the Assured": the party or parties named as the Assured in this Guarantee, or on a supplemental writing executed by the Company.
  - (b) "land": the land described or referred to in Schedule (A)(C) or in Part 2, and improvements affixed thereto which by law constitute real property. The term "land" does not include any property beyond the lines of the area described or referred to in Schedule (A)(C) or in Part 2, nor any right, title, interest, estate or easement in abutting streets, roads, avenues, alleys, lanes, ways or waterways.
  - (c) "mortgage": mortgage, deed of trust, trust deed, or other security instrument.
  - (d) "public records": records established under state statutes at Date of Guarantee for the purpose of imparting constructive notice of matters relating to real property to purchasers for value and without knowledge.
  - (e) "date": the effective date.
- 2. Exclusions from Coverage of this Guarantee The Company assumes no liability for loss or damage by reason of the following:
  - (a) Taxes or assessments which are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the public records.
  - (b) (1) Unpatiented mining claims; (2) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (3) water rights, claims or title to water; whether or not the matters excluded by (1), (2) or (3) are shown by the public records.
  - (c) Assurances to title to any property beyond the lines of the land expressly described in the description set forth in Schedule (A)(C) or in Part 2 of this Guarantee, or title to streets, roads, avenues, lanes, ways or waterways on which such land abuts, or the right to maintain therein vaults, tunnels, ramps or any other structure or improvement; or any rights or easements therein unless such property, rights or easements are expressly and specifically set forth in said description.
  - (d) (1) Defects, liens, encumbrances or adverse claims against the title, if assurances are provided as to such title, and as limited by such assurances.
    - (2) Defects, liens, encumbrances, adverse claims or other matters (a) whether or not shown by the public records, and which are created, suffered, assumed or agreed to by one or more of the Assureds; (b) which result in no loss to the Assured; or (c) which do not result in the invalidity or potential invalidity of any judicial or non-judicial proceeding which is within the scope and purpose of assurances provided.
- 3. Notice of Claim to be Given by Assured Claimant An Assured shall notify the Company promptly in writing in case knowledge shall come to an Assured hereunder of any claim of title or interest which is adverse to the title to the estate or interest, as stated herein, and which might cause loss or damage for which the Company may be liable by virtue of this Guarantee. If prompt notice shall not be given to the Company, then all liability of the Company shall terminate with regard to the matter or matters for which prompt notice is required; provided, however, that failure to notify the Company shall in no case prejudice the rights of any Assured under this Guarantee unless the Company shall be prejudiced by the failure and then only to the extent of the prejudice.
- 4. No Duty to Defend or Prosecute The Company shall have no duty to defend or prosecute any action or proceeding to which the Assured is a party, notwithstanding the nature of any allegation in such action or proceeding.
- Company's Option to Defend or Prosecute Actions; Duty of Assured Claimant to Cooperate Even though the Company has no duty to defend or prosecute as set forth in Paragraph 4 above:
  - (a) The Company shall have the right, at its sole option and cost, to institute and prosecute any action or proceeding, interpose a defense, as limited in (b), or to do any other act which in its opinion may be necessary or desirable to establish the title to the estate or interest as stated herein, or to establish the lien rights of the Assured, or to prevent or reduce loss or damage to the Assured. The Company may take any appropriate action under the terms of this Guarantee, whether or not it shall be liable hereunder, and shall not thereby concede liability or waive any provision of this Guarantee. If the Company shall exercise its rights under this paragraph, it shall do so diligently.
  - (b) If the Company elects to exercise its options as stated in Paragraph 5(a) the Company shall have the right to select counsel of its choice (subject to the right of such Assured to object for reasonable cause) to represent the Assured and shall not be liable for and will not pay the fees of any other counsel, nor will the Company pay any fees, costs or expenses incurred by an Assured in the defense of those causes of action which allege matters not covered by this Guarantee.
  - (c) Whenever the Company shall have brought an action or interposed a defense as permitted by the provisions of this Guarantee, the Company may pursue any litigation to final determination by a court of competent jurisdiction and expressly reserves the right, in its sole discretion, to appeal from an adverse judgment or order.
  - (d) In all cases where this Guarantee permits the Company to prosecute or provide for the defense of any action or proceeding, an Assured shall secure to the Company the right to so prosecute or provide for the defense of any action or proceeding, and all appeals therein, and permit the Company to use, at its option, the name of such Assured for this purpose. Whenever requested by the Company, an Assured, at the Company's expense, shall give the Company all reasonable aid in any action or proceeding, securing evidence, obtaining witnesses, prosecuting or defending the action or lawful act which in the opinion of the Company may be necessary or desirable to establish the title to the estate or interest as stated herein, or to establish the lien rights of the Assured. If the Company is prejudiced by the failure of the Assured to furnish the required cooperation, the Company's obligations to the Assured under the Guarantee shall terminate.
- 6. Proof of Loss or Damage In addition to and after the notices required under Section 3 of these Conditions and Stipulations have been provided to the Company, a proof of loss or damage signed and sworn to by the Assured shall be furnished to the Company within ninety (90) days after the Assured shall ascertain the facts giving rise to the loss or damage. The proof of loss or damage shall describe the matters covered by this Guarantee which constitute the basis of loss or damage and shall state, to the extent possible, the basis of calculating the amount of the loss or damage. If the Company is prejudiced by the failure of the Assured to provide the required proof of loss or damage, the Company's obligation to such Assured under the Guarantee shall terminate. In addition, the Assured may reasonably be required to submit to examination under oath by an authorized representative of the Company and shall produce for examination, inspection and copying, at such reasonable times and places as may be designated by any authorized representative of the Company, all records, books, ledgers, checks, correspondence and memoranda, whether bearing a date before or after Date of Guarantee, which reasonably pertain to the loss or damage. Further, if requested by any authorized representative of the Company, the Assured shall grant its permission, in writing, for any authorized representative of the Company to examine, inspect and copy all records, books, ledgers, checks, correspondence and memoranda in the custody or control of a third party, which reasonably pertain to the loss or damage. All information designated as confidential by the Assured provided to the Company pursuant to this Section shall not be disclosed to others unless, in the reasonable judgment of the Company, it is necessary in the administration of the claim. Failure of the Assured to submit for examination under oath, produce other reasonably requested information or grant permission to secure reasonably necessary information from third parties as requi
- 7. Options to Pay or Otherwise Settle Claims: Termination of Liability In case of a claim under this Guarantee, the Company shall have the following additional options:
  - (a) To Pay or Tender Payment of the Amount of Liability or to Purchase the Indebtedness.

© California Land Title Association. All rights reserved. The use of this Form is restricted to CLTA subscribers in good standing as of the date of use. All other uses are prohibited. Reprinted under license or express permission from the California Land Title Association. File Number: 22455152

2222 Guarantee - (CLTA Form) Rev. 6-6-92

#### **GUARANTEE CONDITIONS AND STIPULATIONS**

The Company shall have the option to pay or settle or compromise for or in the name of the Assured any claim which could result in loss to the Assured within the coverage of this Guarantee, or to pay the full amount of this Guarantee or, if this Guarantee is issued for the benefit of a holder of a mortgage or a lienholder, the Company shall have the option to purchase the indebtedness secured by said mortgage or said lien for the amount owing thereon, together with any costs, reasonable attorneys' fees and expenses incurred by the Assured claimant which were authorized by the Company up to the time of purchase.

Such purchase, payment or tender of payment of the full amount of the Guarantee shall terminate all liability of the Company hereunder. In the event after notice of claim has been given to the Company by the Assured the Company offers to purchase said indebtedness, the owner of such indebtedness shall transfer and assign said indebtedness, together with any collateral security, to the Company upon payment of the purchase price. Upon the exercise by the Company of the option provided for in Paragraph (a) the Company's obligation to the Assured under this Guarantee for the claimed loss or damage, other than to make the payment required in that paragraph, shall terminate, including any obligation to continue the defense or prosecution of any litigation for which the Company has exercised its options under Paragraph 5, and the Guarantee shall be surrendered to the Company of cancellation.

- (b) To Pay or Otherwise Settle With Parties Other Than the Assured or With the Assured Claimant.
  - To pay or otherwise settle with other parties for or in the name of an Assured claimant any claim assured against under this Guarantee, together with any costs, attorneys' fees and expenses incurred by the Assured claimant which were authorized by the Company up to the time of payment and which the Company is obligated to pay.
  - Upon the exercise by the Company of the option provided for in Paragraph (b) the Company's obligation to the Assured under this Guarantee for the claimed loss or damage, other than to make the payment required in that paragraph, shall terminate, including any obligation to continue the defense or prosecution of any litigation for which the Company has exercised its options under Paragraph 5.
- B. Determination and Extent of Liability This Guarantee is a contract of Indemnity against actual monetary loss or damage sustained or incurred by the Assured claimant who has suffered loss or damage by reason of reliance upon the assurances set forth in this Guarantee and only to the extent herein described, and subject to the exclusions stated in Paragraph 2.
  - The liability of the Company under this Guarantee to the Assured shall not exceed the least of:
  - (a) the amount of liability stated in Schedule A;
  - (b) the amount of the unpaid principal indebtedness secured by the mortgage of an Assured mortgagee, as limited or provided under Section 7 of these Conditions and Stipulations or as reduced under Section 10 of these Conditions and Stipulations, at the time the loss or damage assured against by this Guarantee occurs, together with interest thereon; or
  - (c) the difference between the value of the estate or interest covered hereby as stated herein and the value of the estate or interest subject to any defect, lien or encumbrance assured against by this Guarantee.

#### 9. Limitation of Liability

- (a) If the Company establishes the title, or removes the alleged defect, lien or encumbrance, or cures any other matter assured against by this Guarantee in a reasonably diligent manner by any method, including litigation and the completion of any appeals therefrom, it shall have fully performed its obligations with respect to that matter and shall not be liable for any loss or damage caused thereby.
- (b) In the event of any litigation by the Company or with the Company's consent, the Company shall have no liability for loss or damage until there has been a final determination by a court of competent jurisdiction, and disposition of all appeals therefrom, adverse to the title, as stated herein.
- (c) The Company shall not be liable for loss or damage to any Assured for liability voluntarily assumed by the Assured in settling any claim or suit without the prior written consent of the Company.
- 10. Reduction of Liability or Termination of Liability All payments under this Guarantee, except payments made for costs, attorneys' fees and expenses pursuant to Paragraph 5 shall reduce the amount of liability pro tanto.

#### 11. Payment Loss

- (a) No payment shall be made without producing this Guarantee for endorsement of the payment unless the Guarantee has been lost or destroyed, in which case proof of loss or destruction shall be furnished to the satisfaction of the Company.
- (b) When liability and the extent of loss or damage has been definitely fixed in accordance with these Conditions and Stipulations, the loss or damage shall be payable within thirty (30) days thereafter.
- 12. Subrogation Upon Payment or Settlement Whenever the Company shall have settled and paid a claim under this Guarantee, all right of subrogation shall vest in the Company unaffected by any act of the Assured claimant.
  - The Company shall be subrogated to and be entitled to all rights and remedies which the Assured would have had against any person or property in respect to the claim had this Guarantee not been issued. If requested by the Company, the Assured shall transfer to the Company all rights and remedies against any person or property necessary in order to perfect this right of subrogation. The Assured shall permit the Company to sue, compromise or settle in the name of the Assured and to use the name of the Assured in any transaction or litigation involving these rights or remedies.
  - If a payment on account of a claim does not fully cover the loss of the Assured the Company shall be subrogated to all rights and remedies of the Assured after the Assured shall have recovered its principal, interest, and costs of collection.
- 13. Arbitration Unless prohibited by applicable law, either the Company or the Assured may demand arbitration pursuant to the Title Insurance Arbitration Rules of the American Arbitration Association. Arbitrable matters may include, but are not limited to, any controversy or claim between the Company and the Assured arising out of or relating to this Guarantee, any service of the Company in connection with its issuance or the breach of a Guarantee provision or other obligation. All arbitrable matters when the Amount of Liability is \$1,000,000 or less shall be arbitrated at the option of either the Company or the Assured. All arbitrable matters when the amount of liability is in excess of \$1,000,000 shall be arbitrated only when agreed to by both the Company and the Assured. The Rules in effect at Date of Guarantee shall be binding upon the parties. The award may include attorneys' fees only if the laws of the state in which the land is located permits a court to award attorneys' fees to a prevailing party. Judgment upon the award rendered by the Arbitrator(s) may be entered in any court having jurisdiction thereof.
  - The law of the situs of the land shall apply to an arbitration under the Title Insurance Arbitration Rules. A copy of the Rules may be obtained from the Company upon request.

#### 14. Liability Limited to This Guarantee; Guarantee Entire Contract

- (a) This Guarantee together with all endorsements, if any, attached hereto by the Company is the entire Guarantee and contract between the Assured and the Company. In interpreting any provision of this Guarantee, this Guarantee shall be construed as a whole.
- (b) Any claim of loss or damage, whether or not based on negligence, or any action asserting such claim, shall be restricted to this Guarantee.
- (c) No amendment of or endorsement to this Guarantee can be made except by a writing endorsed hereon or attached hereto signed by either the President, a Vice President, the Secretary, an Assistant Secretary, or validating officer or authorized signatory of the Company.
- 15. Notices, Where Sent All notices required to be given the Company and any statement in writing required to be furnished the Company shall include the number of this Guarantee and shall be addressed to the Company at P. O. Box 2029, Houston, TX 77252-2029.

Agent ID: 120050

## LOT BOOK GUARANTEE Issued By Stewart Title Guaranty Company

#### **SCHEDULE A**

File No. 22455152 State: ID County: Blaine

 Guarantee No.
 Liability
 Date of Guarantee
 Fee

 G-0000367463638
 \$1,000.00
 June 2, 2022 at 7:30 a.m.
 \$140.00

Name of Assured: Benchmark Associates

#### The assurances referred to on the face page hereof are:

 That, according to the Company's property records relative to the following described land (but without examination of those Company records maintained and indexed by name):

Lots 3 and 4, Block 91 of the VILLAGE OF KETCHUM, BLAINE COUNTY, IDAHO, according to the official plat thereof, recorded as Instrument No. 302967, records of Blaine County, Idaho.

2. The last recorded instrument purporting to transfer title to said land is:

Deed Type: Warranty Deed

Grantors: Columbia Holdings, LLC, an Oregon limited liability company Grantees: Breyman Properties, LLC, an Oregon limited liability company

Recorded Date: September 13, 2019

Instrument: 663129 Click here to view

- 3. There are no mortgages or deeds of trust which purport to affect title to said land, other than those shown below under Exceptions.
- 4. There are no (homesteads, agreements to convey, attachments, notices of non-responsibility, notices of completion, tax deeds) which purport to affect title to said land, other than shown below under Exceptions.
- 5. No guarantee is made regarding (a) matters affecting the beneficial interest of any mortgage or deed of trust which may be shown herein as an exception, or (b) other matters which may affect any such mortgage or deed of trust.
- 6. No guarantee is made regarding any liens, claims of liens, defects or encumbrances other than those specifically provided for above, and, if information was requested by reference to a street address, no guarantee is made that said land is the same as said address.

#### **EXCEPTIONS:**

1. NOTE: According to the available records, the purported address of the land referenced herein is:

None at this time, Ketchum, ID 83340

2. Taxes, including any assessments collected therewith, for the year 2021 for which the first installment is paid, and the second installment is due and payable on or before June 20, 2022.

Parcel Number: RPK00000910030
Original Amount: \$7,488.56

3. Taxes, including any assessments collected therewith, for the year 2021 for which the first installment is paid, and the second installment is due and payable on or before June 20, 2022.

Parcel Number: RPK0000091004A Original Amount: \$7,488.56

- 4. Taxes, including any assessments collected therewith, for the year 2022 which are a lien not yet due and payable.
- 5. The land described herein is located within the boundaries of the City of Ketchum and is subject to any assessments levied thereby.
- 6. Easements, reservations, restrictions, and dedications as shown on the official plat of Ketchum Townsite.
- 7. Reservations and exceptions in a United States Patent, and in the act authorizing the issuance thereof, recorded May 13, 1942 as Instrument No. 84202, records of Blaine County, Idaho.
- 8. Right of way for ditches, tunnels, telephone, and distribution lines constructed by authority of the United States, as granted to the United States under the provisions of Section 58-604 Idaho Code.
- 9. Exceptions and Reservations as contained in a/an Ordinance No. 173.

Executed by: City of Ketchum

Purpose: Allows owners adjacent to alley to landscape within alley, but no permanent structures allowed

Recorded: October 12, 1979

Instrument No.: 197670, records of Blaine County, Idaho.

10. Terms and conditions contained in a/an Right-of-way Encroachment Agreement by and between Barry Traub, representing M&B Traub Trust and the City of Ketchum, Idaho, a municipal corporation.

Recorded: September 25, 2018

Instrument No.: 655196, records of Blaine County, Idaho.

11. Terms and conditions contained in a/an Reciprocal View Corridor and Landscape Easement Agreement by and between Columbia Holdings, LLC, an Oregon limited liability company and Breyman Properties LLC, an Oregon limited liability company.

Recorded: September 13, 2019

Instrument No.: 663131, records of Blaine County, Idaho.

12. A Deed of Trust to secure an indebtedness in the amount shown below and any other obligations secured thereby:

Amount: \$2.600.000.00

Trustor/Grantor: Columbia Holdings, LLC, an Oregon limited liability company

Trustee: Blaine County Title

Beneficiary: Barry Traub and Marjorie Traub, Trustees of the M and B Traub Trust

Dated: September 25, 2018 Recorded: September 25, 2018

Instrument No.: <u>655198</u>, records of Blaine County, Idaho.

An Assumption Agreement. Recorded: September 13, 2019

Instrument No.: 663130, records of Blaine County, Idaho.

Sun Valley Title By:

### JUDGMENT AND TAX LIEN GUARANTEE Issued By

#### Stewart Title Guaranty Company

#### **SCHEDULE A**

Amount of Liability: \$1,000.00

Fee Amount: \$0.00

Guarantee No.: G-0000367463638

Name of Assured: Benchmark Associates

Date of Guarantee: June 1, 2022

That, according to the indices of the County Recorder of Blaine County, State of ID, for a period of 10 years immediately prior to the date hereof, there are no

- \* Federal Tax Liens
- \* Abstracts of Judgment, or
- \* Certificates of State Tax Liens

filed, or recorded against the herein named parties, other than those for which a release appears in said indices and other than those shown under Exceptions.

The parties referred to in this guarantee are as follows:

Breyman Properties, LLC, an Oregon limited liability company

Sun Valley Title By:

Nick Busdon, Authorized Signatory

Fi	le	N	n	22	45	51	52

**SCHEDULE B** 

Exceptions:

NONE

**Instrument # 663129** 

HAILEY, BLAINE, IDAHO 09-13-2019 2:05:12 PM No. of Pages: 2 Recorded for: BLAINE COUNTY TITLE JOLYNN DRAGE Fee: \$15.00 Ex-Officio Recorder Deputy: GWB Electronically Recorded by Simplifile



#### **WARRANTY DEED**

#### FOR VALUE RECEIVED

Columbia Holdings, LLC, an Oregon limited liability company,

the Grantor, hereby grants, bargains, sells, conveys and warrants unto

Breyman Properties, LLC, an Oregon limited liability company

the Grantee, whose current address is: 12045 Breyman Avenue, Portland, OR 97219

the following described premises, to-wit:

Lots 3 and 4 in Block 91, of the VILLAGE OF KETCHUM, as shown on the certified copy of the official map thereof, recorded as Instrument No. 302967, records of Blaine County, Idaho.

TO HAVE AND TO HOLD the said premises, with their appurtenances unto the said Grantee, its heirs and assigns forever. And the said Grantor does hereby covenant to and with the said Grantee, that Grantor is the owner in fee simple of said premises; that they are free from all encumbrances except those to which this conveyance is expressly made subject to and those made, suffered or done by the Grantee; and subject to all existing patent reservations; restrictions in railroad deeds of record; easements and rights of way established and of record; protective covenants of record; zoning ordinances and applicable building codes, use restrictions, ordinances, laws and regulations of any governmental unit; general taxes and assessments, including irrigation and utility assessments (if any) for the current year, which are not due and payable; and that Grantor will warrant and defend the same from all lawful claims whatsoever. Whenever the context so requires, the singular number includes the plural.

Dated this 10 day of September, 2019.

COLUMBIA HOLDINGS, LLC

Peter W. Stott

Manager

Blaine County Title, Inc. File Number: 1921775 Warranty Deed - LLC

Page 1 of 2

State of _	Oregon
County of	multhanan

This record was acknowledged before me on  $\boxed{\ \ }$  day of September, 2019, by Peter W. Stott, as Manager of Columbia Holdings, LLC.

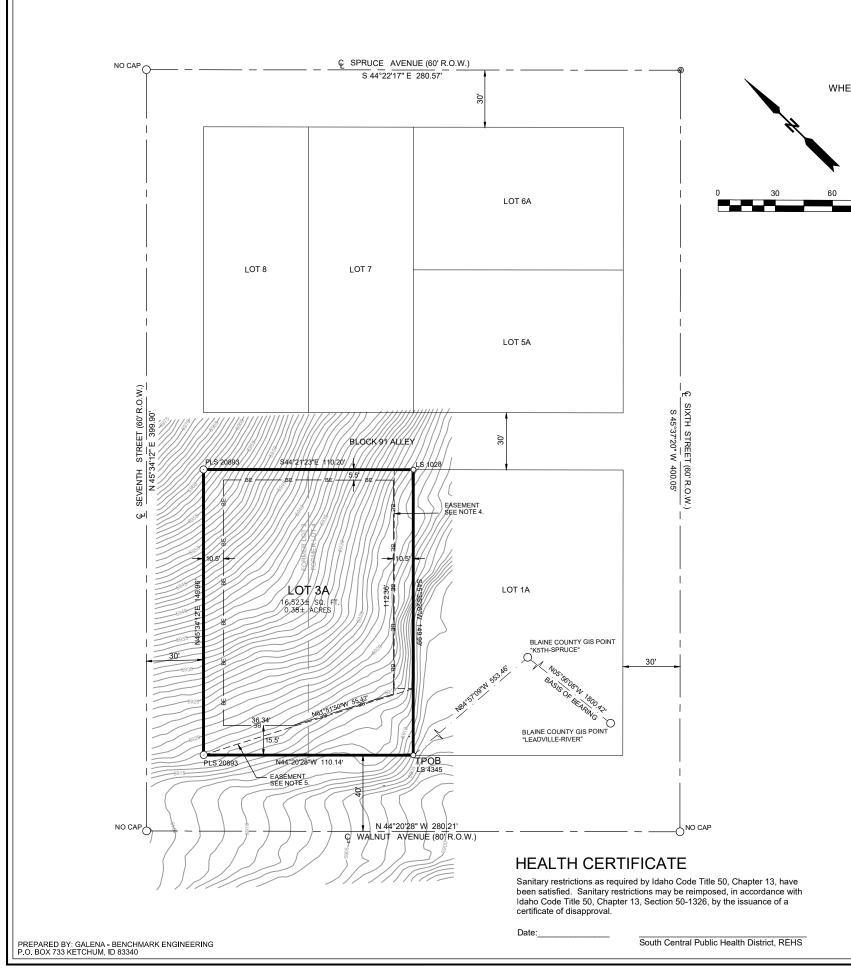
My Commission Expires: \_

(STAMP)

OFFICIAL STAMP LEA MARIE PFAU NOTARY PUBLIC-OREGON COMMISSION NO. 948941 MY COMMISSION EXPIRES MARCH 30, 2020

Blaine County Title, Inc. File Number: 1921775 Warranty Deed - LLC Page 2 of 2

## Attachment D: Preliminary Plat Plans



A PLAT SHOWING:

#### KETCHUM TOWNSITE: BLOCK 91, LOT 3A

WHEREIN THE BOUNDARY COMMON TO LOTS 3 & 4 WITHIN BLOCK 91, KETCHUM TOWNSITE IS ELIMINATED, CREATING LOT 3A.

LOCATED WITHIN: SECTION 18, TOWNSHIP 4 NORTH, RANGE 18 EAST, B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO

#### MAY 2023

#### PRELIMINARY PLAT

# PROPERTY BOUNDARY ADJOINING PROPERTY LINE SURVEY TIES LOT LINE TO BE ELIMINATED PROPOSED BUILDING ENVELOPE EASEMENT LINE (AS NOTED) CONTOUR LINE FOUND SURVEY SPIKE (PER INST. NO. 652564) O FOUND 1/2" REBAR (MARKED AS NOTED) FOUND 5/8" REBAR (MARKED AS NOTED)

#### NOTES/SURVEY NARRATIVE:

- THE PURPOSE OF THIS PLAT IS TO COMBINE LOTS 3 & 4 OF KETCHUM TOWNSITE,
   BLOCK 91. ALL FOUND MONUMENTS WERE ACCEPTED AS EITHER ORIGINAL
   CORNERS, OR REPLACEMENTS OF ORIGINAL CORNERS.
- 2. REFERENCES:
  - a. PLAT OF VILLAGE OF KETCHUM: INST. NO. 302967.
  - b. RECORD OF SURVEY OF KETCHUM TOWNSITE: BLOCK 91, LOTS 3 & 4, INST. NO. 694710.
- 3. DISTANCES SHOWN ARE MEASURED. REFER TO THE ABOVE REFERENCED DOCUMENTS FOR PREVIOUS RECORD DATA.
- 4. A 10' BY 115' LANDSCAPE SCREENING EASEMENT FOR THE BENEFIT OF COLUMBIA HOLDINGS EXISTS PER INST. NO. 663131.
- 5. A VIEW CORRIDOR AND LANDSCAPE EASEMENT FOR THE BENEFIT OF COLUMBIA HOLDINGS EXISTS PER INST. NO. 663131.
- THIS PROPERTY IS SUBJECT TO A RIGHT-OF-WAY ENCROACHMENT AGREEMENT, RECORDED AS INST. NO. 655196.
- 7. THE CURRENT ZONING DISTRICT FOR THE WITHIN PLAT IS LR, LIMITED RESIDENTIAL.
- 8. CONTOUR INTERVAL: 1' CONTOURS IN AREAS OF DENSE VEGETATION MAY DEVIATE FROM TRUE ELEVATION BY ON HALF THE HEIGHT OF THE VEGETATION. DATE OF LIDAR FLIGHT FOR CONTOURS: 2017.

#### OWNER OF RECORD:

BREYMAN PROPERTIES, LLC 12045 BREYMAN AVENUE PORTLAND, OR 97219





## KETCHUM TOWNSITE: BLOCK 91, LOT 3A

LOCATED WITHIN
SECTION 18, TOWNSHIP 4 NORTH, RANGE 18 EAST, B.M.
CITY OF KETCHUM, BLAINE COUNTY, IDAHO

PREPARED FOR: BYLA/BREYMAN PROPERTIES, LLC

 PROJECT NO. 23020
 DWG BY: ROB/CPL
 FILE: 23020PRE.DWG

 PRELIMINARY PLAT
 DATE: 05/26/2023
 SHEET: 1 OF 1

## Attachment E: Mountain Overlay Standards Evaluation

#### FINDINGS REGARDING COMPLIANCE WITH MOUNTAIN OVERLAY DESIGN REVIEW STANDARDS

	Mountain Overlay Design Review Standards (KMC §17.104.070.A)				
Co	mplia	nt		Standards and Findings	
Yes	No	N/A	Ketchum	City Standards and Findings	
			Municipal Code		
$\boxtimes$			17.104.070.A.1	There is no building on ridges or knolls which would have a material visual impact on a significant skyline visible from a public vantage point entering the City or within the City. Material, as the term is used herein, shall be construed in light of the magnitude of the negative impact on the objectives of this Ordinance.	
			Findings	The project is not sited on a ridge or knoll that would have a material visual impact on a significant skyline visible from a public vantage point entering or within the city. Story poles for the project were not seen from vantage points such as Town Square, bike path at 6 <sup>th</sup> St & 3 <sup>rd</sup> Ave, and intersection of East Ave & E 1 <sup>st</sup> St.	
×			17.104.070.A.2	Building, excavating, filling and vegetation disturbance on hillsides which would have a material visual impact visible from a public vantage point entering the City or within the City is minimized. Material, as the term is used herein, shall be construed in light of the magnitude of the negative impact on the objectives of this Ordinance.	
			Findings	Staff looked towards to project site from various vantage points including Town Square, bike path at 6 <sup>th</sup> St & 3 <sup>rd</sup> Ave, and intersection of East Ave & E 1 <sup>st</sup> St. From all vantage point listed, staff was not able to view story poles erected for the project.	
			17.104.070.A.3	Driveway standards as well as other applicable standards contained in Street Standards Chapter 12.04 are met.	
$\boxtimes$			Findings	The proposed driveway improvements have been reviewed by the City Engineer, Streets Department, and Fire Department. The driveway improvements comply with all applicable standards for private driveway specified in Ketchum Municipal Code §12.03.030.L.	
				If approved, the applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for the proposed driveway and right-of-way improvements for final review and approval by the City Engineer and Streets Department prior to issuance of a building permit for the project.	
			17.104.070.A.4	All development shall have access for fire and other emergency vehicles to within one hundred fifty feet (150') of the furthest exterior wall of any building.	
X			Findings	Sufficient access is provided for fire and other emergency vehicles to reach within 150 feet of the furthest exterior wall of the building. The Fire Department has reviewed the project plans and has found that all access requirements for emergency vehicles have been met.	

			17.104.070.A.5	Significant rock outcroppings are not disturbed.
			Findings	There are no significant rock outcroppings within the property boundary
$\boxtimes$				of the subject property. Rock outcroppings further up the hillside are not
				blocked from view by the proposed residence.
			17.104.070.A.6	International Building Code (IBC) and International Fire Code (IFC) and
				Ketchum Fire Department requirements shall be met.
			Findings	The project must comply with the 2018 International Residential Code,
$\boxtimes$				the 2018 International Fire Code, all local amendments specified in Title
				15 of Ketchum Municipal Code, and Ketchum Fire Department
				requirements. All building code and Fire Department requirements will
				be verified for compliance by the Building and Fire departments prior to
				building permit issuance.
			17.104.070.A.7	Public water and sewer service comply with the requirements of the City.
			Findings	As shown on C2.0 of the project plans, the applicant has proposed
				connecting to the municipal water and sewer systems from existing lines
$\boxtimes$				within Walnut Ave. Requirements and specification for the water and
				sewer connections will be verified, reviewed, and approved by the
				Utilities Department prior to issuance of a Building Permit for the
				project.
			17.104.070.A.8	Drainage is controlled and maintained to not adversely affect other
				properties.
			Findings	Pursuant to KMC §17.96.060.C.1, all storm water drainage shall be
				retained on site. Drainage improvements are specified on Sheet C1.0 of
				the project plans. The drainage improvements include the installation of
				a trench drain bordering the length of the driveway. A combination of
$\boxtimes$				drywells and catch basins will be installed to collect stormwater from the
				rest of the property. The City Engineer has reviewed the proposed
				drainage plan and believes the trench drain and drywell improvements
				are sufficient to maintain all storm water drainage on-site.
				All drainage plans and specifications shall be reviewed and approved by
				the City Engineer and Streets Department prior to issuance of a Building
				Permit for the project.
			17.104.070.A.9	Cuts and fills allowed for roadways shall be minimized; lengths of
			17.104.070.7.3	driveways allowed shall be minimized; all cuts and fills shall be concealed
				with landscaping, revegetation and/or natural stone materials.
				With fariable pring, for egetation and, or material ordered materials.
$\boxtimes$				Revegetation on hillsides with a clear zone of thirty feet (30') around all
				structures is recommended. Said clear zone shall include low
				combustible irrigated vegetation with appropriate species, on file with
				the Ketchum planning department. Revegetation outside of this clear
				zone should be harmonious with the surrounding hillsides.
	1	1	1	·

		Findings	The driveway accesses the site as high on Walnut Ave as possible to allow a more direct approach onto the site which results in less cut and fill as opposed to having a driveway perpendicular to Walnut Ave and further south on the subject property.  The landscape plan proposes a variety of trees, shrubs, and grasses that will conceal any cuts and fills the project has.  The Fire Department has reviewed the project plans and has not recommended a 30-foot-clear-zone for the project. Fire Protection Ordinance No. 1217 (KMC §15.08.080) requires that: (1) tree crowns extending within 10 feet of any structure shall be pruned to maintain a minimum horizontal clearance of 10 feet, (2) tree crowns within 30 feet of any structure shall be pruned to remove limbs less than 6 feet above the ground surface adjacent to trees, and (3) non-fire resistive vegetation or growth shall be kept clear of buildings and structures in order to provide a clear area for fire suppression operations. The project
			complies with the fire protection and defensible space standards specified in KMC §15.08.080.
		17.104.070.A.10	There are not other sites on the parcel more suitable for the proposed development in order to carry out the purposes of this Ordinance.
X		Findings	The location of the proposed residence allows for the building to be tucked into the hillside and step up with the cross slope, resulting in the project not having a material visual impact.
		17.104.070.A.11	Access traversing 25% or greater slopes does not have significant impact on drainage, snow and earth slide potential and erosion as it relates to the subject property and to adjacent properties.
×		Findings	A majority of the driveway traverses sections of the property over 25% slope. The City Engineer reviewed the proposed driveway access and determined that the proposal does not have significant impact on drainage, snow and earth slide potential and erosion on the subject property and adjacent properties. The final access plan shall be reviewed and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project.
		17.104.070.A.12	Utilities shall be underground.
$\boxtimes$		Findings	The utility improvements are indicated on Sheet C1.0 of the project plans. The redevelopment project will utilize sewer, gas, and electrical service from Sage Rd. The Utilities Department reviewed the project plans and the service connections complies with city requirements. Pursuant to condition no. 2, the applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for the proposed utility improvements for final review and

			approval by the Utilities Department prior to issuance of a building
			permit for the project.
		17.104.070.A.13	Limits of disturbance shall be established on the plans and protected by
			fencing on the site for the duration of construction.
		Findings	Sheet L-2.00 shows the proposed limits of disturbance on the subject
			property for the proposed residence. A construction management plan
$\boxtimes$			that addresses all construction activity standards specified in Ketchum
			Municipal Code §15.06.030 will be required to be submitted with the
			building permit application. City Departments will conduct a
			comprehensive review of the proposed construction management plan
			during plan review for the building permit.
		17.104.070.A.14	Excavations, fills and vegetation disturbance on hillsides not associated
			with the building construction shall be minimized.
		Findings	The project minimizes excavation and disturbance on the site not
$\boxtimes$			associated with building construction as seen on Sheet L-2.00. The
			proposed cut and fill quantities are specified on Sheet C4.0. The total
			volume of the proposed cut is 3053 cubic yards. The proposed fill comes
			out to 199 cubic yards. Areas disturbed will be revegetated with native
			plantings upon completion of construction.
		17.104.070.A.15	Preservation of significant landmarks shall be encouraged and protected,
			where applicable. A significant landmark is one which gives historical
	$\boxtimes$	<b>.</b>	and/or cultural importance to the neighborhood and/or community.
		Findings	No significant landmarks have been identified on-site. The significant
			landmark uphill of the property will not be negatively impacted by the
		17 104 070 A 1C	proposed development.
	$\boxtimes$	17.104.070.A.16	Encroachments of below grade structures into required setbacks are
			subject to subsection 17.128.020.K of this title and shall not conflict with any applicable easements, existing underground structures, sensitive
			ecological areas, soil stability, drainage, other sections of this Code or
			other regulating codes such as adopted International Code Council
			Codes, or other site features concerning health, safety, and welfare.
		Findings	This standard is not applicable as the project does not propose below-
		i iiidiiig5	grade structures that encroach into required setbacks.
			Brade stractures that eneroden into required setbacks.

## Attachment F: Zoning & Dimensional Standards Evaluation

	Compliance with Zoning and Dimensional Standards					
Cor	mpliar	nt		Standards and Findings		
Yes	No	N	Ketchum	City Standards and Findings		
		/	Municipal Code			
		Α				
$\boxtimes$			17.12.030	Minimum Lot Area		
			Finding	Required: 8,000 square feet minimum		
				Existing: 16,523 square feet		
$\boxtimes$			17.12.030	Building Coverage		
			Finding	Permitted: 35%		
				Proposed: 25% (4,188 square feet / 16,523 square feet lot area)		
$\boxtimes$			17.12.030	Minimum Building Setbacks		
			Finding	Minimum Required Setbacks:		
				Front: 15'		
				Side: > of 1' for every 2' in building height, or 10' (18'-11" required)		
				Rear: > of 1' for every 2' in building height, or 20'		
				Proposed:		
				Front (Walnut Ave): 19' Side (east): 18' – 11"		
				Side (east): 18' – 11' Side (west): 18' – 11"		
				Rear (north): 5' (lots abutting alleys may measure rear setback from		
				centerline of alley, provided no building is located within the right-of-way of		
				the alley)		
$\boxtimes$			17.12.030	Building Height		
			Finding	Maximum Permitted: 35' (properties which step up or down hillsides may		
				extend 5 feet above the maximum height permitted in the zoning district)		
				Proposed: 37' – 10"		
$\boxtimes$			17.125.030.H	Curb Cut		
			Finding	Permitted:		
				A total of 35% of the linear footage of any street frontage can be devoted to		
				access off street parking.		
				Proposed: 14.5% (16-foot-wide driveway/110 feet of frontage along Walnut		
				Ave)		
$\boxtimes$			17.125.020.A.2	Parking Spaces		
			& 17.125.050			
			Finding	Off-street parking standards of this chapter apply to any new development		
				and to any new established uses.		
				<b>Required:</b> Residential one family dwelling: 2 parking spaces per dwelling unit		
				Proposed: 2		

## Attachment G: Design Review Standards Evaluation

#### FINDINGS REGARDING COMPLIANCE WITH DESIGN REVIEW STANDARDS

ce
_

**Finding:** As the lot is vacant, the applicant is providing a driveway to connect the residence to Walnut Ave. Applicant is responsible for the costs of the driveway construction.

17.96.060.A.2 - Streets	Conformance
All street designs shall be approved by the City Engineer.	N/A

**Finding**: No new streets or changes to the design of Walnut Ave are proposed with this project.

17.96.060.B.1 - Sidewalks	Conformance
All projects under subsection 17.96.010.A of this chapter that qualify as a	N/A
"substantial improvement" shall install sidewalks as required by the Public	
Works Department.	
Works Department.	

**Finding**: Ketchum Municipal Code 17.124.140 outlines the zone districts where sidewalks are required when substantial improvements are made, which include the Community Core, all tourist zone districts, and all light industrial districts. The subject property is located within the LR Zone and sidewalks are not required to be installed for the project. This standard is not applicable.

17.96.060.B.2 - Sidewalks	Conformance
Sidewalk width shall conform to the City's right-of-way standards, however the City Engineer may reduce or increase the sidewalk width and design standard requirements at their discretion.	N/A
Finding: N/A. The subject property is located within the LR Zone and sidewalks a	re not

required to be installed for this project.

	17.96.060.B.3 - Sidewalks	Conformance		
Sidewo	Sidewalks may be waived if one of the following criteria is met:			
a)	The project comprises an addition of less than 250 square feet of conditioned space.			
b)	The City Engineer finds that sidewalks are not necessary because of existing geographic limitations, pedestrian traffic on the street does not warrant a sidewalk, or if a sidewalk would not be beneficial to the general welfare and safety of the public.			

**Finding**: N/A. The subject property is located within the LR Zone and sidewalks are not required to be installed for this project.

17.96.060.B.4 - Sidewalks	Conformance
The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.	N/A

**Finding**: N/A. The subject property is located within the LR Zone and sidewalks are not required to be installed for this project.

17.96.060.B.5 – Sidewalks	Conformance
New sidewalks shall be planned to provide pedestrian connections to any	N/A
existing or future sidewalks adjacent to the site. In addition, sidewalks shall	
be constructed to provide safe pedestrian access to and around a building.	

**Finding**: N/A. Ketchum Municipal Code 17.124.140 outlines the zone districts where sidewalks are required when substantial improvements are made, which include the CC, all tourist zone districts, and all light industrial districts. The subject property is located in the LR Zone and sidewalks are not required to be installed for this project.

17.96.060.B.6 - Sidewalks	Conformance
The City may approve and accept voluntary cash contributions in lieu of the	N/A
above described improvements, which contributions must be segregated by	
the City and not used for any purpose other than the provision of these	
improvements. The contribution amount shall be 110 percent of the	
estimated costs of concrete sidewalk and drainage improvements provided by	
a qualified contractor, plus associated engineering costs, as approved by the	
City Engineer. Any approved in lieu contribution shall be paid before the City	
issues a certificate of occupancy.	

**Finding**: N/A. The subject property is located within the LR Zone and sidewalks are not required to be installed for this project.

17.96.060.C.1 - Drainage	Conformance
All stormwater shall be retained on site.	YES

**Finding**: Pursuant to KMC §17.96.060.C.1, all storm water drainage shall be retained on site. Drainage improvements are specified on Sheet C1.0 of the project plans. The drainage improvements include the installation of a trench drain bordering the length of both driveways. Drywells will be installed to collect stormwater from the rest of the property. The City Engineer has reviewed the proposed drainage plan and believes the trench drain and drywell improvements are sufficient to maintain all storm water drainage on-site.

All drainage plans and specifications shall be reviewed and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project.

17.96.060.C.2 - Drainage	Conformance
Drainage improvements constructed shall be equal to the length of the	YES
subject property lines adjacent to any public street or private street.	

**Finding**: Pursuant to KMC §17.96.060.C.1, all storm water drainage shall be retained on site. Drainage improvements are specified on Sheet C1.0 of the project plans. The drainage improvements include the installation of a trench drain bordering the length of both driveways. A combination of drywells and catch basins will be installed to collect stormwater from the rest of the property. The City Engineer has reviewed the proposed drainage plan and believes the trench drain and drywell improvements are sufficient to maintain all storm water drainage on-site.

All drainage plans and specifications shall be reviewed and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project.

17.96.060.C.3 - Drainage	Conformance
The City Engineer may require additional drainage improvements as necessary, depending on the unique characteristics of a site.	YES
and an analysis of a contract	

**Finding**: The City Engineer has reviewed the proposed drainage plan and believes the trench drain and drywell improvements are sufficient to maintain all storm water drainage on-site. The City Engineer may require additional drainage improvements if necessary. If approved, the applicant shall submit final civil drawings for all drainage improvements with the building permit application to be verified, reviewed, and approved by the City Engineer and Streets Department.

17.96.060.C.4 - Drainage	Conformance
Drainage facilities shall be constructed per City standards.	YES

**Finding**: The drainage improvements include the installation of a trench drain bordering the length of the driveway. Drywells will be installed to collect stormwater from the rest of the property. The City Engineer has reviewed the proposed drainage plan and believes the proposed trench drain and drywell improvements meet city standards.

All drainage plans and specifications shall be reviewed and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project.

17.96.060.D.1 - Utilities	Conformance

All utilities necessary for the development shall be improved and installed at the sole expense of the applicant.

**Finding**: All project costs associated with the development, including the installation of utilities, are the responsibility of the applicant. The applicant has not made requests for funding to the City for utility improvements. No funds have been provided by the City for the project.

17.96.060.D.2 - Utilities	Conformance
Utilities shall be located underground and utility, power, and	YES
communication lines within the development site shall be concealed from	
public view.	

**Finding**: As shown on C2.0 of the project plans, the applicant has proposed connecting to the municipal water and sewer systems from existing lines within Walnut Ave. Requirements and specification for the water and sewer connections will be verified, reviewed, and approved by the Utilities Department prior to issuance of a Building Permit for the project.

17.96.060.D.3 - Utilities	Conformance
When extension of utilities is necessary all developers will be required to	N/A
pay for and install two-inch SDR11 fiber optical conduit. The placement	
and construction of the fiber optical conduit shall be done in accordance	
with City of Ketchum standards and at the discretion of the City Engineer.	
Finding The Legation of the continue money is almost the control by file or ontinue.	

**Finding**: The location of the subject property is already served by fiber optic cable and therefore no conduit is required in this location.

17.96.060.E.1 – Compatibility of Design	Conformance
The project's materials, colors and signing shall be complementary with the	YES
townscape, surrounding neighborhoods and adjoining structures.	

**Finding**: Walnut Ave features residences built at varying timeframes resulting in a diverse range of materials and architectural styles. This has resulted in a mix of architectural styles used with newer residences leaning towards a mountain modern style (flat roofs, high percent of glazing, and less warm materials) and older residences featuring more traditional mountain architecture materials (logs and native stone with a more rustic feel). The proposed residence blends the two architectural styles by utilizing more traditional materials and roof form, while also including larger amounts of glazing on the third floor.

17.96.060.E.2 – Compatibility of Design	Conformance
Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.	N/A
Finding: The subject property does not contain any significant landmarks.	

17.96.060.E.3 – Compatibility of Design	Conformance
Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to.	N/A
Finding: N/A. The project site is vacant.	

17.96.060.F.1 – Architectural	Conformance
Building(s) shall provide unobstructed pedestrian access to the nearest	N/A
sidewalk and the entryway shall be clearly defined.	

**Finding**: N/A. Ketchum Municipal Code 17.124.140 outlines the zone districts where sidewalks are required when substantial improvements are made, which include the Community Core, all tourist zone districts, and all light industrial districts. The subject property is located within the LR Zone and sidewalks are not required to be installed for the project. This standard is not applicable.

17.96.060.F.2 – Architectural	Conformance
The building character shall be clearly defined by use of architectural	YES
features.	

**Finding**: The project includes the use of multiple step backs on two sides of the residence and a pitched roof form to reduce bulk and mass. These features along with the material palette used provide visual interest.

17.96.060.F.3 – Architectural	Conformance
There shall be continuity of materials, colors and signing within the project.	YES

**Finding**: The project uses primarily stucco and stone throughout the project. The use of these materials provide enough contrast between the different levels of the floor while still being an aesthetically pleasing combination.

17.96.060.F.4 – Architectural	Conformance
Accessory structures, fences, walls and landscape features within the	YES
project shall match or complement the principal building.	

**Finding**: No accessory structures are proposed. Landscaping within the project provides a variety of shrubs and trees as well as low lying grasses and sagebrush to blend in with the natural hillside.

17.96.060.F.5 – Architectural	Conformance
Building walls shall provide undulation/relief, thus reducing the appearance	YES
of bulk and flatness.	

**Finding**: The proposed residence is three stories in height and each floor of the structure is stepped back into the hillside, providing undulation and relief to reduce the appearance of bulk and flatness.

17.96.060.F.6 – Architectural	Conformance
Building(s) shall orient toward their primary street frontage.	YES

**Finding**: The single family residence is proposed to be oriented towards the primary street frontage along Walnut Ave

17.96.060.F.7 – Architectural	Conformance
Garbage storage areas and satellite receivers shall be screened from public view and located off alleys.	YES
l view and located off aneys.	

**Finding**: No satellite receivers are proposed for the project. As shown on Sheet A2.0, the garage contains storage space to accommodate garbage bins. The garbage storage area will be contained with the enclosed garage and fully screened from public view.

17.96.060.F.8 – Architectural	Conformance
Building design shall include weather protection which prevents water to drip	YES
or snow to slide on areas where pedestrians gather and circulate or onto	
adjacent properties.	

**Finding**: Due to building design, no snow or water will slide or drip onto adjacent properties. Per building code requirements, rooftop snow retention is required and will be verified upon building permit submittal.

17.96.060.G.1 – Circulation Design	Conformance
Pedestrian, equestrian and bicycle access shall be located to connect with	N/A
existing and anticipated easements and pathways.	

**Finding**: N/A. This redevelopment project is located within the Knob Hill area, an existing low-density residential neighborhood. The site is not contiguous to existing pedestrian, equestrian, or bicycle easements or pathways.

17.96.060.G.2 – Circulation Design	Conformance
Awnings extending over public sidewalks shall extend five feet or more across	N/A
the public sidewalk but shall not extend within two feet of parking or travel	
lanes within the right-of-way.	

**Finding**: N/A. Ketchum Municipal Code 17.124.140 outlines the zone districts where sidewalks are required when substantial improvements are made, which include the CC, all tourist zone districts, and all light industrial districts. The subject property is located in the LR Zone and sidewalks are not required to be installed for this project.

17.96.060.G.3 – Circulation Design	Conformance
Traffic shall flow safely within the project and onto adjacent streets.	N/A
Traffic includes vehicle, bicycle, pedestrian and equestrian use.	
Consideration shall be given to adequate sight distances and proper	
signage.	

**Finding**: N/A. The proposal is a residential development along a low traffic area on Walnut Ave. The driveways to both townhomes meet city standards.

17.96.060.G.4 – Circulation Design	Conformance
Curb cuts and driveway entrances shall be no closer than 20 feet to the	YES
nearest intersection of two or more streets, as measured along the property	
line adjacent to the right-of-way. Due to site conditions or current/projected	
traffic levels or speed, the City Engineer may increase the minimum distance	
requirements.	

**Finding**: The proposed driveways are further than 20 feet away from the nearest intersection of Walnut Ave and 6th St.

17.96.060.G.5 – Circulation Design	Conformance
Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project.	YES
<b>Finding</b> : Access for emergency vehicles, snowplows and garbage trucks provided Ave.	l along Walnut

17.96.060.H.1 – Snow Storage	Conformance
Snow storage areas shall not be less than 30 percent of the improved parking and pedestrian circulation areas.	YES

**Finding**: Sheets L1.0 show the proposed snow storage area to include 660 square feet, greater than the required 30% (1900 \* .30 = 570 square feet).

17.96.060.H.2 – Snow Storage	Conformance
Snow storage areas shall be provided on site.	YES
Finding: Sheet L1.0 shows the snow storage areas to be provided are on site.	

17.96.060.H.3 – Snow Storage	Conformance
A designated snow storage area shall not have any dimension less than five	YES
feet and shall be a minimum of 25 square feet.	

**Finding**: Sheet L-1.00 shows that no snow storage area has dimensions less than five feet.

17.96.060.H.4 – Snow Storage	Conformance
In lieu of providing snow storage areas, snowmelt and hauling of snow may be allowed.	N/A
Finding: Applicant is not proposing snowmelt.	

17.96.060.I.1 – Landscaping	Conformance
Landscaping is required for all projects.	YES
Finding: Landscaping has been provided for the project as indicated on Sheet L1	of the project

plans.

17.96.060.I.2 – Landscaping	Conformance
Landscape materials and vegetation types specified shall be readily adaptable	YES
to a site's microclimate, soil conditions, orientation and aspect, and shall	
serve to enhance and complement the neighborhood and townscape.	

**Finding**: Plantings include native evergreens and shrubs around the proposed residence. The proposed vegetation is readily adaptable to the site's microclimate, soil conditions, orientation, and aspect and will restored disturbed hillside areas on the subject property.

17.96.060.I.3 – Landscaping	Conformance
All trees, shrubs, grasses and perennials shall be drought tolerant. Native species are recommended but not required.	YES
<b>Finding</b> : The landscape plan proposes drought-tolerant and native materials, including firs, pines, native shrubs, and drought tolerant grasses.	

17.96.060.I.4 – Landscaping	Conformance
Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged.	YES
<b>Finding</b> : The proposal intends to provide landscaping on the side yards allowing for privacy between adjacent properties.	

17.96.060.J.1 – Public Amenities	Conformance
Where sidewalks are required, pedestrian amenities shall be installed.	N/A
Amenities may include, but are not limited to, benches and other seating,	
kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All	

public amenities shall receive approval from the Public Works Department prior to design review approval from the Commission.

**Finding**: N/A. The subject property is located within the LR Zone and sidewalks are not required to be installed for this project.

17.96.060.K.1 – Underground Encroachments	Conformance
Encroachments of below grade structures into required setbacks are subject to subsection 17.128.020.K of this title and shall not conflict with any applicable easements, existing underground structures, sensitive ecological areas, soil stability, drainage, other sections of this Code or other regulating codes such as adopted International Code Council Codes, or other site features concerning health, safety, and welfare.	N/A
Finding: N/A. No below grade encroachments are proposed.	

17.96.060.K.2 – Underground Encroachments	Conformance
No below grade structure shall be permitted to encroach into the riparian setback.	N/A
Finding: N/A. No below grade encroachments are proposed.	