



City of Ketchum

December 19th, 2022

Mayor Bradshaw and City Councilors
City of Ketchum
Ketchum, Idaho

Mayor Bradshaw and City Councilors:

Recommendation to Approve Encroachment Agreement 22816 for Improvements on Public Utility Easements Located at 130 Bear Lane.

Recommendation and Summary

Staff recommends the Ketchum City Council approve the attached Encroachment Agreement 22816 and adopt the following motion:

“I move to authorize the Mayor to sign Encroachment Agreement 22816 with 130 Bear Lane LLC.”

The reasons for the recommendation are as follows:

- The property located at 130 Bear Lane contains a 15-foot-wide public water easement and a 15-foot-wide public sewer easement to benefit the City of Ketchum. The property owner wishes to permit the placement of concrete driveway pavers, pathway pavers, and landscaping improvements over the public utility easements.
- The improvements will not impact the use or operation of the municipal water and sewer lines within the public utility easements.
- Encroachment Agreement 22816 allows the City to enter the subject property without notification to the property owner at any time to perform any necessary repair or maintenance to the municipal water and sewer system lying within the public utility easements as may be required. All costs and expenses incident to the repair or maintenance of the municipal water and sewer utilities within the public utility easements as well as all costs and expenses for repairs and replacement of any damage to the paver driveway, paver pathway, and landscaping improvements shall be borne by the property owner and not by the City.

Introduction and History

The City issued Building Permit Application File No. B20-080 on October 16th, 2020 for the construction of a new single-family residence and associated site improvements on the property located at 130 Bear Lane.

Obstructions, including landscaping improvements, are not permitted to encroach within public utility easements. Public utility easements must remain unobstructed and may be improved with low-ground cover landscaping, such as drought-tolerant, grasses only. The project plans approved with the building permit for the new home proposed driveway paver, pathway paver, and landscaping improvements over public utility easements on the private property. These encroachments within the public utility

easements were missed by Staff during plan check for the new home. The encroachments were identified by Staff during the final inspection for the project.

Encroachment Agreement 22816 permits the driveway paver, pathway paver, and landscaping improvements within the public utility easements subject to the terms of the agreement. The agreement allows the City to enter the subject property without notification to the property owner at any time to perform any necessary repair or maintenance to the municipal water and sewer system lying within the public utility easements as may be required. All costs and expenses incident to the repair or maintenance of the municipal water and sewer utilities within the public utility easements as well as all costs and expenses for repairs and replacement of any damage to the paver driveway, paver pathway, and landscaping improvements shall be borne by the property owner and not by the City.

Analysis

Public utility easements are a type of public right-of-way as defined by Ketchum Municipal Code §12.12.030. Ketchum Municipal Code §12.12.030 defines public right-of-way as all areas legally open to public use, such as public streets, sidewalks or roadways owned in fee by the City of Ketchum, or in, on, or over which an easement exists in the name of or held by the City of Ketchum, or which exists for the benefit of the use of the public. Pursuant to Ketchum Municipal Code §12.12.040.C, a Right-of-Way Encroachment Permit is required for any permanent encroachment within the public right-of-way where a permanent fixture in the ground or attached to a building will occur. The standards for issuance of a Right-of-Way Encroachment Permit are specified in Ketchum Municipal Code §12.12.060. The City Council has the authority to review and approve all permanent encroachments within the public right-of-way associated with a development project pursuant to Ketchum Municipal Code §17.96.030.C. The associated Right-of-Way Encroachment Agreement is intended to help protect the City in the event the proposed encroachments were to ever pose an issue requiring repair, relocation, or removal of the encroachment. The agreement also obligates the property owner to install, maintain, and repair the permanent encroachments at their own expense.

Sustainability

The Encroachment Agreement does not limit the ability of the city to reach the goals of the Ketchum Sustainability Action Plan – 2020.

Financial Impact

There is no financial requirement from the city for this action at this time. The agreement obligates the property owner to install, maintain, and repair the permanent encroachments at their own expense.

Attachments

Encroachment Agreement 22816

WHEN RECORDED, PLEASE RETURN TO:

**OFFICE OF THE CITY CLERK
CITY OF KETCHUM
POST OFFICE BOX 2315
KETCHUM, IDAHO 83340**

ENCROACHMENT AGREEMENT 22816

THIS AGREEMENT, made and entered into this ____ day of December, 2022, by and between the CITY OF KETCHUM, IDAHO, a municipal corporation ("Ketchum"), whose address is Post Office Box 2315, Ketchum, Idaho 83340 and DAVID DUFFIELD, representing 130 Bear Lane LLC, (collectively referred to as "Owner"), whose address is Post Office Box 14001, Ketchum, Idaho 83340.

RECITALS

WHEREAS, Owner is the owner of real property described as 130 Bear Lane ("Subject Property"), located within the City of Ketchum, State of Idaho; and

WHEREAS, the Subject Property contains a 15-foot-wide public water easement and a 15-foot-wide public sewer easement to benefit the City of Ketchum granted per the Rocking Ranch No. 3 Subdivision recorded as Instrument No. 421072 and per the Sewer Easement and Maintenance Agreement recorded as Instrument No. 420759 (collectively referred to as "Public Utility Easements"); and

WHEREAS, the Public Utility Easements on the Subject Property are for the operation, replacement, maintenance, and repair of City water and sewer lines with the free right of access at any and all times so that the City may construct, improve, maintain, replace, and repair the public water and sewer lines within the Public Utility Easements ;

WHEREAS, Owner wishes to permit placement of concrete driveway pavers, pathway pavers, and landscaping over the Public Utility Easements on the Subject Property. These Improvements are shown in Exhibit "A" attached hereto and incorporated herein (collectively referred to as the "Improvements"); and,

WHEREAS, Ketchum finds that said Improvements will not impede the use of said Public Utility Easements at this time subject to the terms and provisions of this Agreement;

NOW, THEREFORE, in contemplation of the above stated facts and objectives, it is hereby agreed as follows:

TERMS AND CONDITIONS

1. Ketchum shall permit Owner to install and maintain concrete driveway pavers, pathway pavers, and landscaping identified in Exhibit "A" within the Public Utility Easements on the Subject Property until notified by Ketchum to remove the infrastructure at which time Owner shall remove infrastructure at Owner's expense.

2. Owner shall be responsible for the maintenance and repair of said Improvements. Any modification to the Improvements identified in Exhibit "A" shall be approved by the City prior to any modifications taking place.

3. The City and City's agents and employees shall be permitted to enter the Subject Property without notification to the property owner at any time to perform any necessary repair or maintenance of any portion of the municipal water and sewer system lying within Public Utility Easements as may be required. All costs and expenses incident to the repair or maintenance of the municipal water and sewer utilities within the Public Utility Easements as well as all costs and expenses for repairs and replacement of any damage to the Improvements shall be borne by the Owner and not by the City.

4. In consideration of Ketchum allowing Owner to maintain the Improvements in the Public Utility Easements, Owner agrees to indemnify and hold harmless Ketchum from and against any and all claims of liability for any injury or damage to any person or property arising from the Improvements constructed, installed and maintained in the public utility easements. Owner shall further indemnify and hold Ketchum harmless from and against any and all claims arising from any breach or default in the performance of any obligation on Owner's part to be performed under this Agreement, or arising from any negligence of Owner or Owner's agents, contractors or employees and from and against all costs, attorney's fees, expenses and liabilities incurred in the defense of any such action or proceeding brought thereon. In the event any action or proceeding is brought against Ketchum by reason of such claim, Owner, upon notice from Ketchum, shall defend Ketchum at Owner's expense by counsel satisfactory to Ketchum. Owner, as a material part of the consideration to Ketchum, hereby assumes all risk of damages to property or injury to persons in, upon or about the Improvements constructed, installed and maintained in the public right-of-way arising from the construction, installation and maintenance of said Improvements and Owner hereby waives all claims in respect thereof against Ketchum.

5. Ketchum shall not be liable for injury to Owner's business or loss of income therefrom or for damage which may be sustained by the person, goods, wares, merchandise or property of Owner, its tenants, employees, invitees, customers, agents or contractors or any other person in or about the Subject Property caused by or resulting from the Improvements constructed, installed, removed or maintained in the public utility easement.

6. Owner understands and agrees that by maintaining the Improvements in the public utility easement pursuant to this Agreement, Owner obtains no claim or interest in said public utility easement which is adverse to that of Ketchum and that Owner obtains no exclusive right to said public utility easement nor any other right to use the public right-of-way not specifically described herein.

7. In the event either party hereto retains an attorney to enforce any of the rights, duties and obligations arising out of this Agreement, the prevailing party shall be entitled to recover from the non-prevailing party reasonable attorney's fees at the trial and appellate levels and, whether or not litigation is actually instituted.

8. This Agreement shall be governed by, construed, and enforced in accordance with the laws and decisions of the State of Idaho. Venue shall be in the District Court of the fifth Judicial District of the State of Idaho.

9. This Agreement sets forth the entire understanding of the parties hereto and shall not be changed or terminated orally. It is understood and agreed by the parties hereto that there are no verbal promises or implied promises, agreements, stipulations or other representations of any kind or character pertaining to the Improvements maintained in the public right-of-way other than as set forth in this Agreement.

10. No presumption shall exist in favor of or against any party to this Agreement as the result of the drafting and preparation of this document.

11. This Agreement shall be recorded with the Blaine County Recorder by Ketchum.

12. The parties fully understand all of the provisions of this Agreement, and believe them to be fair, just, adequate, and reasonable, and accordingly accept the provisions of this Agreement freely and voluntarily.

OWNER:

CITY OF KETCHUM:

By: _____
David Duffield
130 Bear Lane LLC
Its: Managing Member

By: _____
Neil Bradshaw
Its: Mayor

STATE OF _____,)
) ss.
County of _____.

On this ____ day of _____, 2022, before me, the undersigned Notary Public in and for said State, personally appeared DAVID DUFFIELD, known to me to be the managing member of 130 BEAR LANE LLC and the person who executed the foregoing instrument and acknowledged to me that he executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year first above written.

Notary Public for _____
Residing at _____
Commission expires _____

STATE OF IDAHO)
) ss.
County of Blaine)

On this ___ day of _____, 2022, before me, the undersigned Notary Public in and for said State, personally appeared NEIL BRADSHAW, known or identified to me to be the Mayor of the CITY OF KETCHUM, IDAHO, and the person who executed the foregoing instrument on behalf of said municipal corporation and acknowledged to me that said municipal corporation executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and seal the day and year in this certificate first above written.

Notary Public for _____
Residing at _____
Commission expires _____

EXHIBIT "A"

Bear Lane Residence

Alpine Enterprises Inc.
 Surveying, Mapping, and Natural Hazards Consulting
 P.O. Box 2037, Ketchum, ID 83340 USA
 (208) 727-1988 727-1987 fax
 email: bsmith@alpineenterprisesinc.com

130 Bear Lane
 Ketchum, ID 83340
 APN RPK05140000030

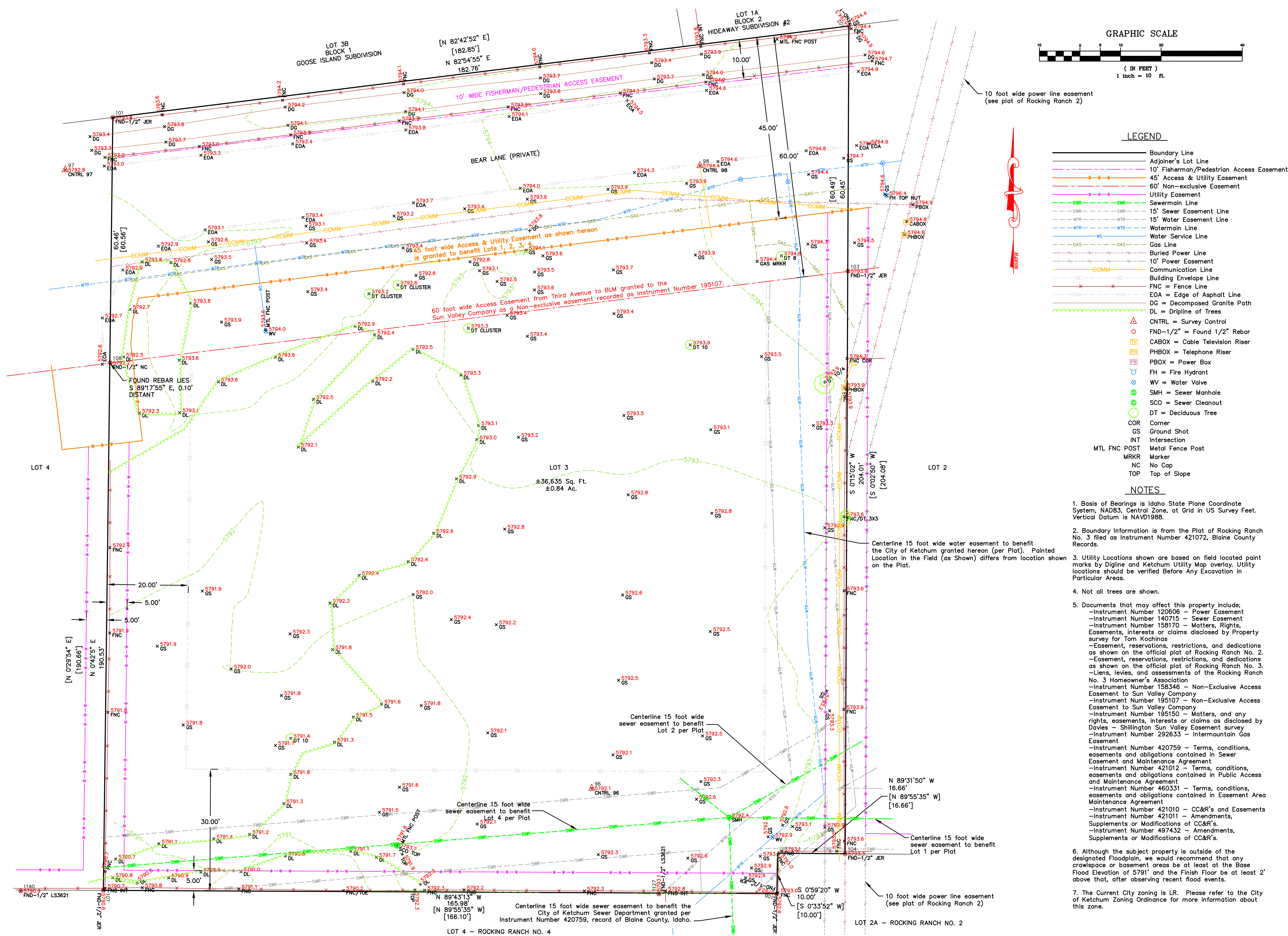


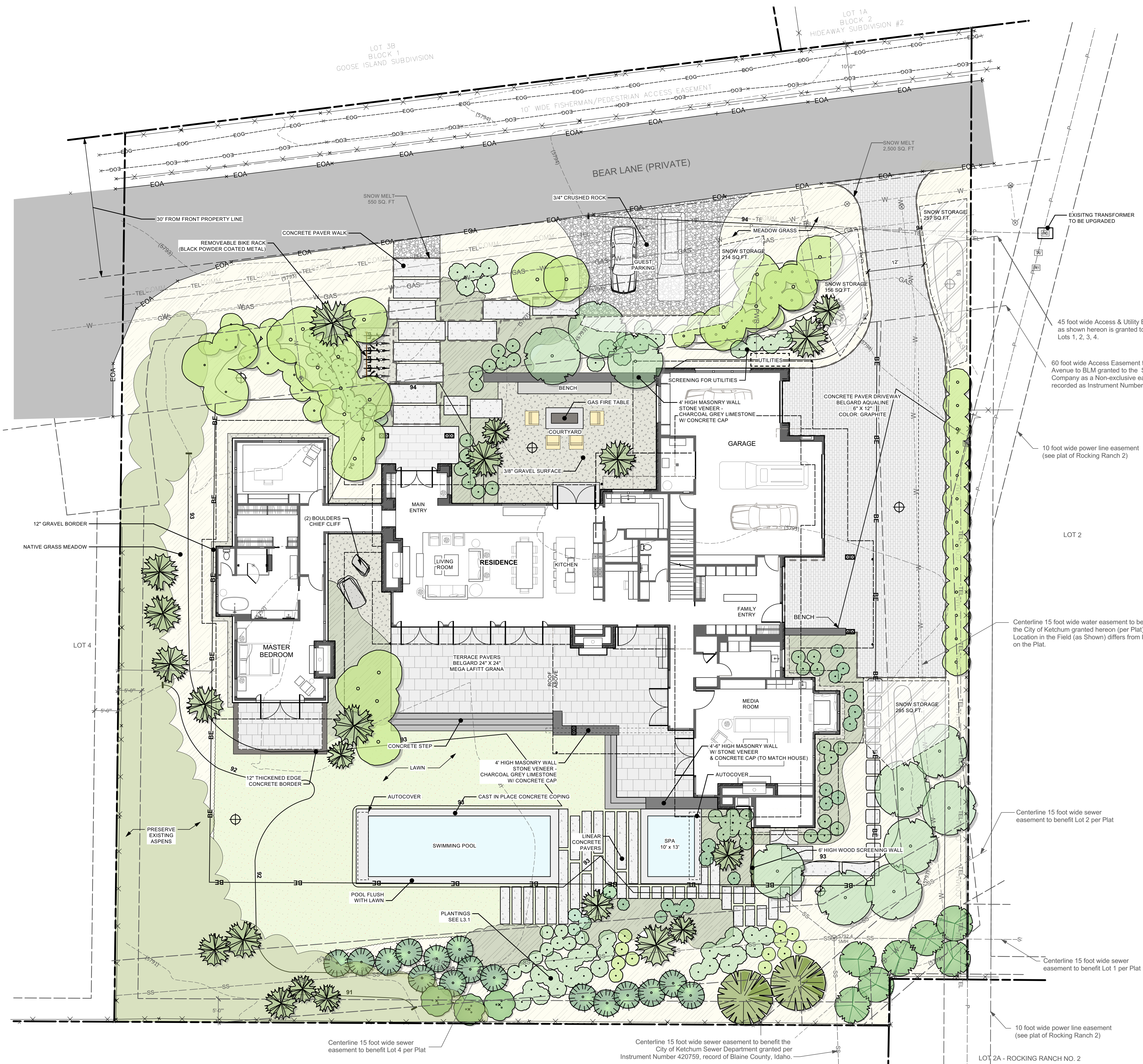
All drawings and written material appearing herein constitute original and unpublished work of the architect + engineer and may not be duplicated, used or disclosed without written consent of the architect + engineer.

Final Submittal - 07.29.20
Plan Check - 08.03.20
Window/Door Revision - 09.03.20
Plan Check Corrections - 09.23.20
Job Number 798
Issue Date 16 November 2020
Subject
Revision

Drawing Title
 Site Survey

Drawing Number
 c 1.1

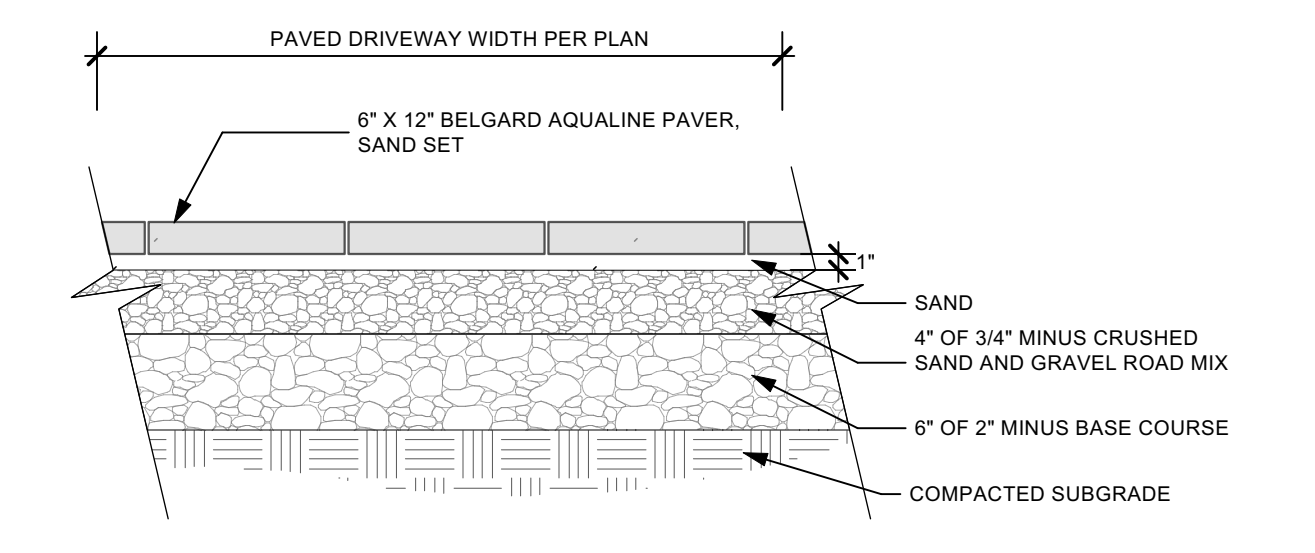




SHEET LEGEND	
SYMBOL	DESCRIPTION
---	Property Line
BE	Building Envelope
---	Setbacks / Easements
-SILT	Silt Fence (during construction)
-(XXXX)	Existing Contours
XXXX	Proposed Contours
TP	Existing Utility
W	Existing Utility
GAS	Existing Utility
SWR	Existing Utility
PWR	Existing Utility
(Tree symbol)	Existing Vegetation
(Gravel pattern)	Surface Material - Gravel
(Concrete pattern)	Hardscape - Concrete
(Brick pattern)	Hardscape - Concrete Brick Pavers
(Stone pattern)	Hardscape - Cut Stone Steps
(Masonry pattern)	Masonry Wall w/ Stone Veneer
(Boulder symbol)	Landscape Boulder
(Native plant symbol)	Landscape - Native
(Lawn symbol)	Landscape - Lawn
(Perennial symbol)	Landscape - Perennials
(Shrub symbol)	Landscape - Shrubs
(Tree symbol)	Landscape - Trees

DETAILS:
 FOR GRADING SEE SHEET L3.0
 FOR PLANTING SEE SHEET L4.0
 FOR LIGHTING SEE SHEET L5.0

SNOW STORAGE:
 PARKING AND DRIVEWAY: 3,000 SQ.FT.
 30% OF 3,000 SQ.FT. = 900 SQ.FT.
 PROVIDED SNOW STORAGE: 912 SQ.FT.



1 DRIVEWAY PAVERS
N.T.S

LANDSCAPE PLAN

BEAR LANE

130 BEAR LN, KETCHUM, ID

FILENAME: BEAR LANE v2021.vwx
 PROJECT MANAGER: BY
 DRAWN BY: TP
 ISSUE DATE: 11.17.2020
 PLOT DATE: 11/18/20 9:54:28

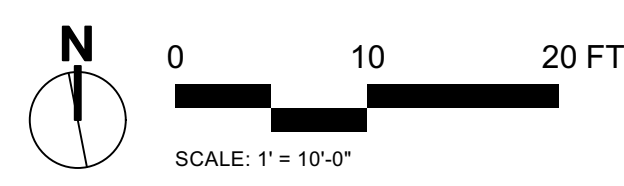
LANDSCAPE OVERVIEW

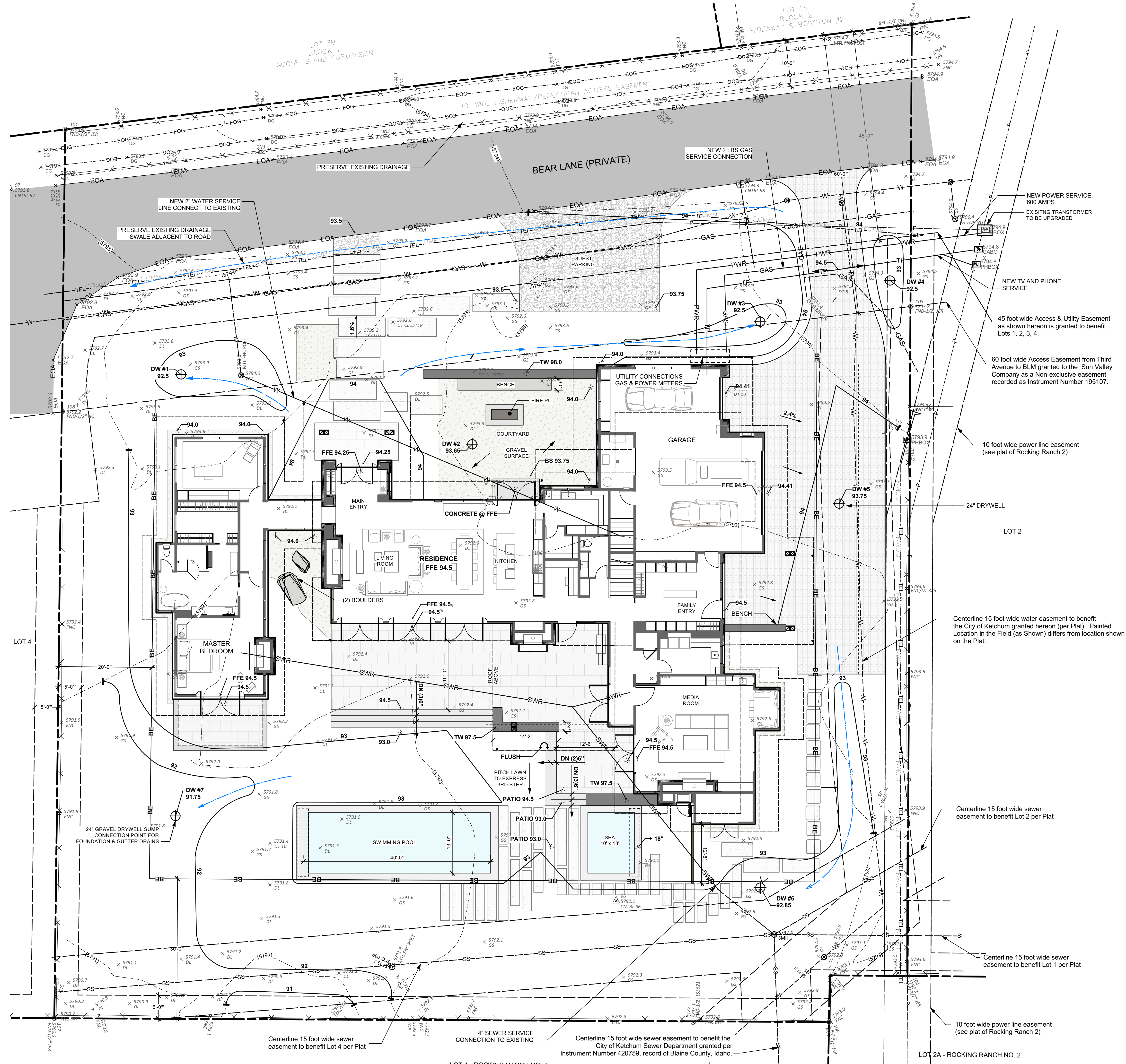
SHEET NO.

L2.0

ISSUE: 5 11.17.2020
 REVISIONS: 1 09/17/2020 UPDATES PER PROJECT DOC.
 REV. 2 10/21/2020 DOWNSPOUT LOCATIONS ADDED

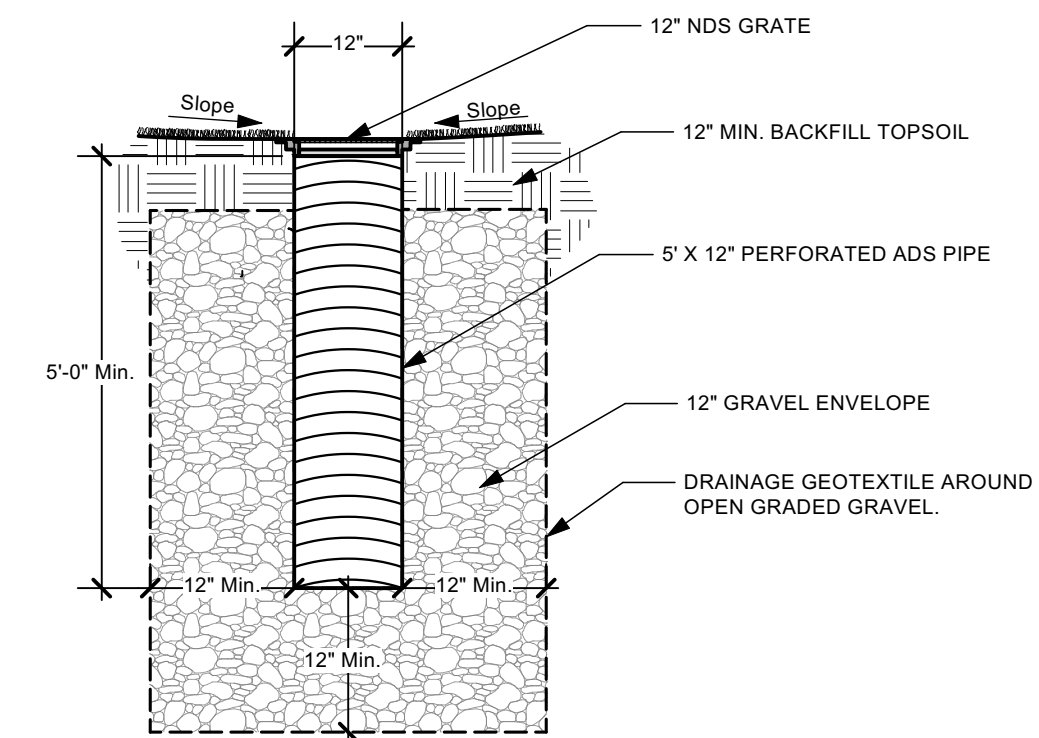
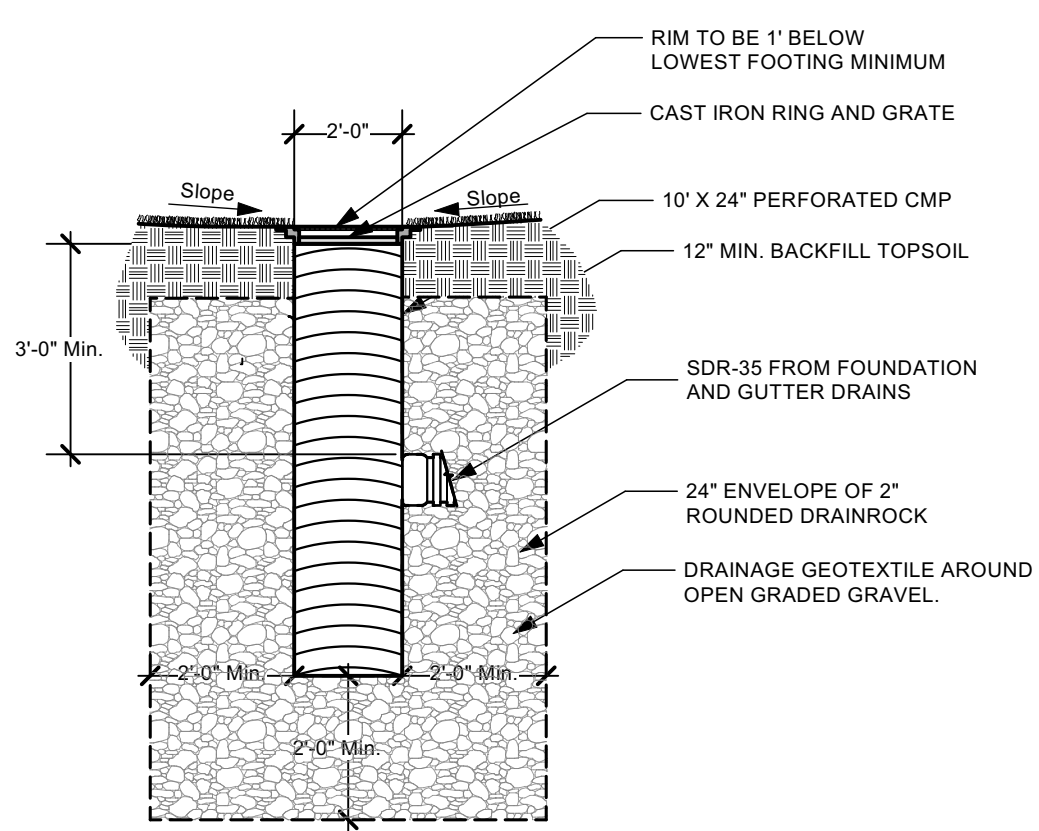
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 BYLA Landscape Architects
PERMIT SET
 NOT FOR CONSTRUCTION





GRADING + DRAINAGE LEGEND	
SYMBOL	DESCRIPTION
	12" Drywell: # 1,2,3,4,6
	24" Drywell (Cast Iron): # 5,7
2.0%	% Pitch
	Drainage Direction
	Flush Grade Condition
	Stem Wall
	Footing
FFE	Finished Floor Elevation
+10.50	Spot Elevation
FG	Finished Grade
FS	Finished Surface
TS	Top of Step
BS	Bottom of Step
TW	Top of Wall
BW	Bottom of Wall
TM	Top of Metal
LP	Low Point
HP	High Point

SHEET LEGEND	
SYMBOL	DESCRIPTION
	Property Line
	Building Envelope
	Setbacks / Easements
	Existing Contours
	Proposed Contours
	Existing Utility
	Surface Material - Gravel
	Hardscape - Concrete
	Hardscape - Concrete Brick Pavers
	Hardscape - Cut Stone Steps
	Masonry Wall w/ Stone Veneer



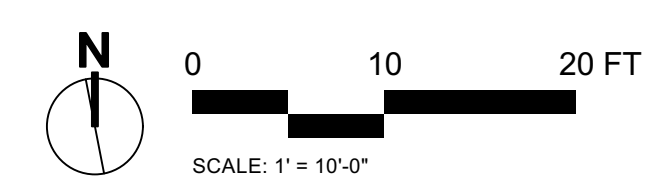
LANDSCAPE PLAN
BEAR LANE
130 BEAR LN, KETCHUM, ID

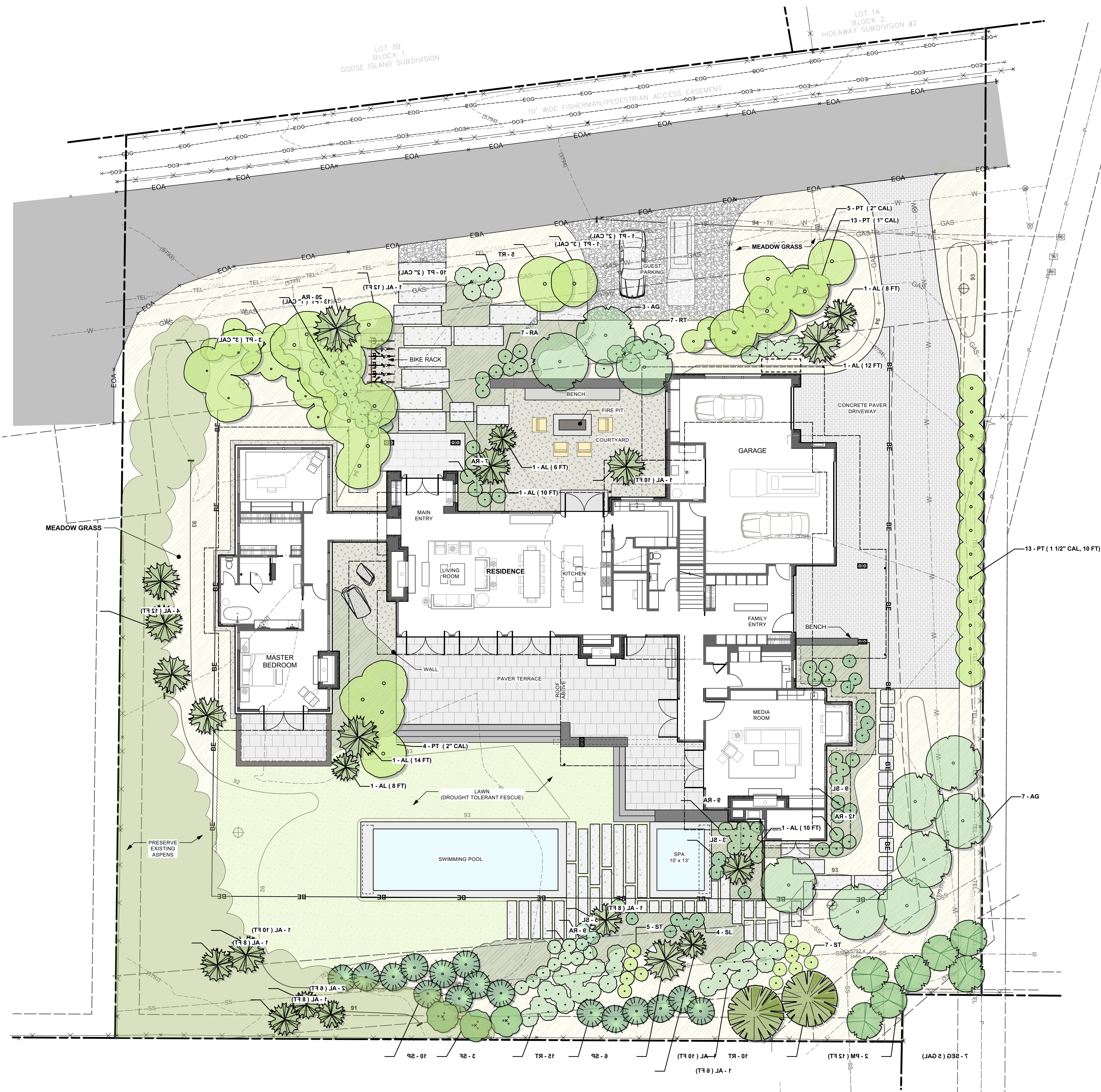
FILENAME: BEAR LANE v2021.vwx
PROJECT MANAGER: BY
DRAWN BY: TP
ISSUE DATE: 11.17.2020
PLOT DATE: 11/18/20 9:54:29

GRADING AND DRAINAGE

SHEET NO.

L3.0



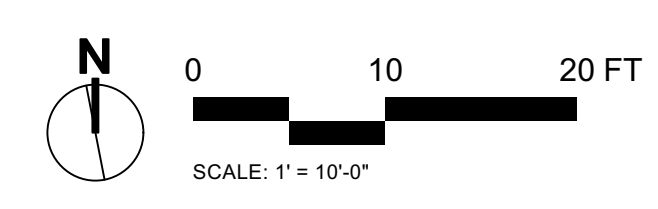


SHEET LEGEND	
SYMBOL	DESCRIPTION
---	Property Line
BE	Building Envelope
---	Setbacks / Easements
SILT	Silt Fence (during construction)
(XXXX)	Existing Contours
XXXX	Proposed Contours
---	Existing Utility
---	Existing Vegetation
---	Surface Material - Gravel
---	Hardscape - Concrete
---	Hardscape - Concrete Brick Pavers
---	Hardscape - Cut Stone Steps
---	Masonry Wall w/ Stone Veneer
---	Landscape Boulder
---	Landscape - Native
---	Landscape - Lawn
---	Landscape - Perennials
○ ○ ○	Landscape - Shrubs
○ ○ ○	Landscape - Trees

PLANT SCHEDULE					
TREES					
ABBRV	QTY.	SIZE	BOTANICAL NAME	COMMON NAME	
AG	10	12 FT	<i>Acer glabrum</i>	Rocky Mountain Maple	
AL	1	14 FT	<i>Abies lasiocarpa</i>	Subalpine Fir	
AL	6	12 FT	<i>Abies lasiocarpa</i>	Subalpine Fir	
AL	5	10 FT	<i>Abies lasiocarpa</i>	Subalpine Fir	
AL	5	8 FT	<i>Abies lasiocarpa</i>	Subalpine Fir	
AL	4	6 FT	<i>Abies lasiocarpa</i>	Subalpine Fir	
PM	2	12 FT	<i>Pseudotsuga menziesii</i>	Douglas Fir	
PT	13	1 1/2" CAL, 10 FT	<i>Populus tremula 'Erecta'</i>	Columnar Swedish Aspen	
PT	4	3" CAL	<i>Populus tremuloides</i>	Quaking Aspen	
PT	20	2" CAL	<i>Populus tremuloides</i>	Quaking Aspen	
PT	28	1" CAL	<i>Populus tremuloides</i>	Quaking Aspen	
SHRUBS					
ABBRV	QTY.	SIZE	BOTANICAL NAME	COMMON NAME	
RA	64	5 GAL	<i>Ribes alpinum</i>	Alpine Currant	
RT	41	5 GAL	<i>Rhus trilobata</i>	Three-Leaf Sumac	
SEG	7	5 GAL	<i>Salix exigua</i>	Narrowleaf (Coyote) Willow	
SF	3	6"-0" B&B	<i>Salix 'Flame'</i>	Flame Willow	
SL	21	---	<i>Salix lapponum</i>	Downy Willow	
SP	16	4"-0" B&B	<i>Salix purpurea</i>	Arctic Willow	
ST	12	5 GAL	<i>Spiraea x billardi 'Triumphans'</i>	Triumphans Spiraea	
PERENNIALS					
ABBRV	QTY.	SIZE	BOTANICAL NAME	COMMON NAME	
PERENNIAL GRASSES					
Slender Wheatgrass					
Idaho Fescue					
Mountain Brome					

NOTE:
LAWN TO UTILIZE DROUGHT TOLERANT FESCUE

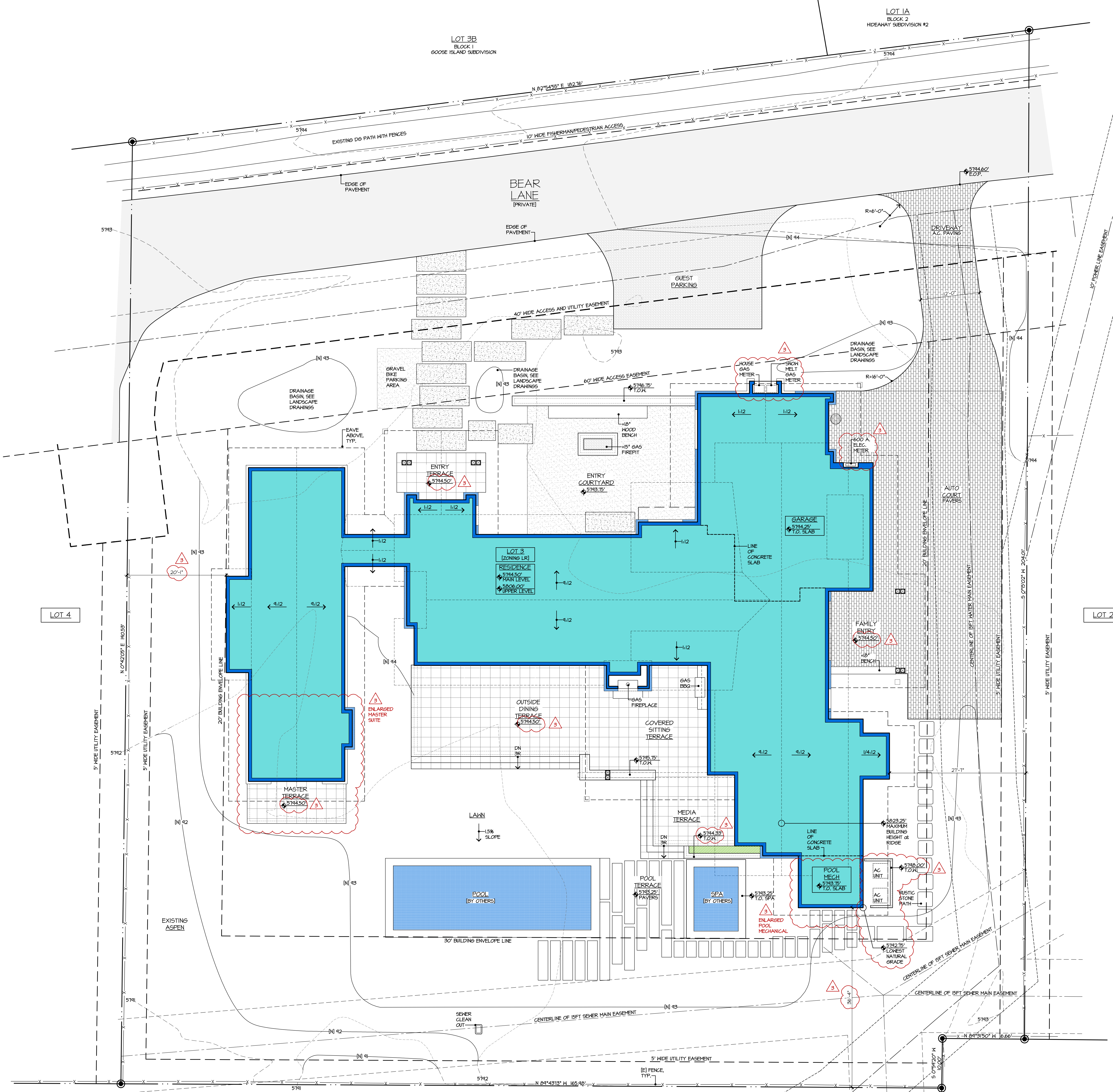
IRRIGATION NOTE:
ALL TREES TO HAVE DRIP IRRIGATION AND ALL OTHER PLANTINGS TO BE IRRIGATED



LANDSCAPE PLAN
BEAR LANE
130 BEAR LN, KETCHUM, ID

FILENAME: BEAR LANE v2021.vwx
PROJECT MANAGER: BY
DRAWN BY: TP
ISSUE DATE: 11.17.2020
PLOT DATE: 11/18/20 9:54:30

PLANTING PLAN



COVERAGE ANALYSIS

LOT SIZE	= 36,635 SF
MAXIMUM ALLOWABLE COVERAGE FOR BUILDINGS [30%]	= 12,822 SF
PROPOSED BUILDING COVERAGE	3 6,034 SF
BUILDING FOOTPRINT	= 6,034 SF
ROOF OVERHANGS GREATER THAN 3'-0" BEYOND FOOTPRINT	3 9,184 SF
TOTAL PROPOSED BUILDING COVERAGE [26%]	3 15,218 SF
PROPOSED IMPERVIOUS COVERAGE	3 6,034 SF
BUILDING FOOTPRINT	= 6,034 SF
COVERED ENTRY TERRACE	= 264 SF
COVERED SITTING TERRACE	= 412 SF
OUTSIDE DINING TERRACE + STAIRS	= 129 SF
MEDIA TERRACE + STAIRS	= 273 SF
MASTER TERRACE	= 225 SF
POOL TERRACE	= 430 SF
POOL	= 644 SF
SPA	= 182 SF
STONE WALK	= 234 SF
ENTRY WALK	= 523 SF
AUTO COURT	= 1,643 SF
DRIVEWAY	= 573 SF
TOTAL PROPOSED IMPERVIOUS COVERAGE [34%]	3 12,442 SF

NOTES

- SURVEY INFORMATION PROVIDED BY LICENSED LAND SURVEYOR.
- BUILDING SHALL BE SITED BY A REGISTERED CIVIL ENGINEER. EXACT LOCATION TO BE VERIFIED IN FIELD. NOTIFY DESIGNER/ENGINEER OF ANY CONFLICTS PRIOR TO PROCEEDING WITH WORK.
- ALL ELEVATIONS ARE BASED ON EXISTING SITE INFORMATION PROVIDED BY A LICENSED LAND SURVEYOR. THE CONTRACTOR SHALL CONFIRM GRADING, SITE DRAINAGE, AND BUILDING FLOOR ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE DRAINAGE SYSTEMS. A DRAINAGE SHALE SHALL BE PROVIDED AT THE PERIMETER OF BUILDING TO INSURE POSITIVE DRAINAGE AWAY FROM THE BUILDING AT A MINIMUM 2% SLOPE FOR A MINIMUM DISTANCE OF TEN FEET MEASURED PERPENDICULAR TO THE FACE OF THE WALL. EXCEPTION WHERE CLIMATIC OR SOIL CONDITIONS WARRANT, THE SLOPE OF THE GROUND AWAY FROM THE BUILDING FOUNDATION IS PERMITTED TO BE REDUCED TO NOT LESS THAN 2% SLOPE. CGC 1803.3 ALL DRIP LINE TRENCHES SHALL BE CONNECTED TO SUBSURFACE DRAINPIPE AND DRYWELLS. CONTRACTOR SHALL NOTIFY DESIGNER/ENGINEER OF ANY DRAINAGE RELATED ISSUES IMMEDIATELY.
- CONTRACTOR SHALL FIELD VERIFY ROUTING OF ALL PROPOSED UTILITIES AND UTILITY TRENCHES TO AVOID DAMAGE TO ANY TREES OR EXISTING ESTABLISHED VEGETATION. CONTRACTOR SHALL PROVIDE THE REQUIRED FENCING AROUND THE JOINT TRENCH CONNECTION TO THE RESIDENCE.
- CONTRACTOR SHALL INSTALL ALL UTILITIES PER BLAINE COUNTY REQUIREMENTS. VERIFY THE REQUIRED CLEARANCES WITH THE APPROPRIATE SERVING UTILITIES.
- WATER SUPPLY PIPING SHALL BE PROTECTED FROM FREEZING BY A 36" MINIMUM EARTH COVERING. WATER SUPPLY PIPING SHALL BE PROVIDED WITH AN APPROVED BACK FLOW PREVENTION DEVICE. THE WATER SERVICE SHALL BE INSTALLED 24" BELOW GRADE AT A LOCATION INSIDE THE FOUNDATION PERIMETER, EQUIPPED WITH A STOP AND DRAIN VALVE, AND FITTED WITH A HANDLE THAT IS READILY ACCESSIBLE. ALL WATER PIPING SHALL BE GRADED TO DRAIN. WATERLINE SHALL BE INSPECTED BEFORE COVERING. PE PIPE IS PROHIBITED IF MORE THAN 5 FEET INSIDE THE FOUNDATION.
- CONTRACTOR SHALL INSTALL AND MAINTAIN TEMPORARY UTILITIES AND SERVICES IN ACCORDANCE WITH LOCAL CODES AND REGULATIONS. TEMPORARY UTILITIES AND SERVICES SHALL NOT INTERFERE WITH NATURAL SITE FEATURES SUCH AS TREES OR OTHER EXISTING ESTABLISHED VEGETATION. TEMPORARY HOODS MUST BE PROVIDED WITH THEIR OWN MEANS OF SUPPORT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SURVEY MARKERS. SURVEY MARKERS DAMAGED OR DESTROYED DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- ALL SITE MATERIAL, NOT SUITABLE FOR FILL OR RE-VEGETATION SHALL BE REMOVED AND LEGALLY DISPOSED OF BY THE CONTRACTOR.
- CONTRACTOR SHALL PROVIDE 6 INCH ADDRESS NUMBERS ON RESIDENCE AS SPECIFIED BY OWNER AND DESIGNER/ENGINEER.
- PORTA-POTTI REQUIRED ON JOB SITE AT TIME OF FIRST INSPECTION.
- SEWER CLEANOUT: A ONE-WAY CLEANOUT IS REQUIRED WITHIN 5 FEET OF WHERE THE LATERAL EXITS THE STRUCTURE FOUNDATION. CLEANOUT BOXES SHALL BE SET TO GRADE. LIDS SHALL HAVE "SEWER" OR EQUIVALENT IMPRINTED ON THE LID. CLEANOUT MUST REMAIN ACCESSIBLE AND MAY NOT BE COVERED BY PERMANENT TILES, ROCK, ETC. ALL SEWER FACILITIES MUST MEET LOCAL SANITARY DISTRICT CODE REQUIREMENTS.

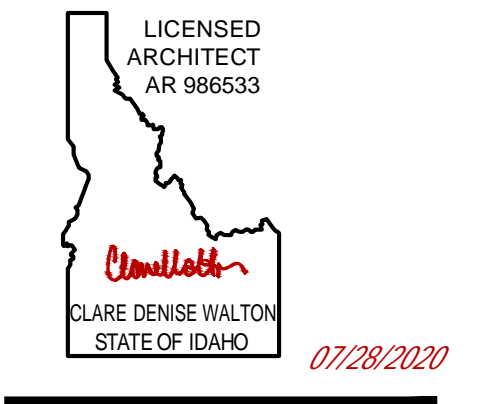
LEGEND

FINISH FLOOR ELEVATION	↑ 5485.25'
EXISTING CONTOUR	---
NEW CONTOUR	---
EASEMENTS	---
PROPERTY LINE 4 CORNER	●
BUILDING SETBACK LINE	---
JOINT UTILITY TRENCH	---
EROSION CONTROL FENCING	---
ROOF OVERHANG	---
STEM WALL	■
AC PAVING	■
INFILTRATION TRENCH	■

walton
architecture + engineering
 740 north lake blvd
 tahoe city ca 96145
 p 530.583.3690
 f 530.583.4690

Bear Lane Residence

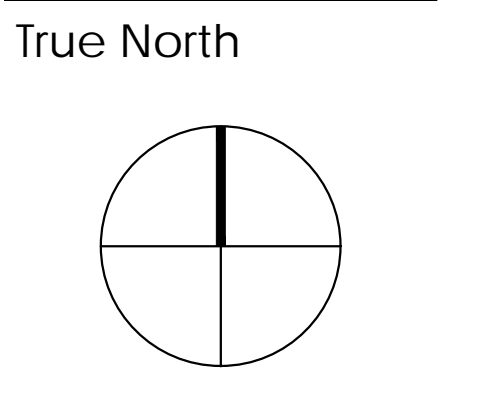
130 Bear Lane
 Ketchum, ID 83340
 APN RPK0514000030



All drawings and written material appearing herein constitute original and unpublished work of the architect + engineer and may not be duplicated, used or disclosed without written consent of the architect + engineer.

Final Submittal - 07.29.20
Plan Check - 08.03.20
Window/Door Revision - 09.03.20
Plan Check Corrections - 09.23.20

Job Number	798
Issue Date	16 November 2020
Subject	
Revision	



Drawing Title
 Site Plan

Scale: 1/8" = 1'-0"
 Drawing Number

a 1.1