



STAFF REPORT
KETCHUM PLANNING AND ZONING COMMISSION
SPECIAL MEETING OF AUGUST 23rd, 2022

PROJECT:	The Perry Building
FILE NUMBER:	P22-045
APPLICATION:	Pre-Application Design Review
PROPERTY OWNER:	The Perry Building LLC
DEVELOPERS:	Carson Palmer and Broderick Smith
ARCHITECT:	Tiina Ritval, GGLO
LOCATION:	131 W 4th Street and 471 & 431 N 1st Avenue (Ketchum Townsite: Block 56: Lots 2, 3A, and 4A)
ZONING:	Mixed-Use Subdistrict of the Community Core (CC-2)
OVERLAY:	None
REVIEWER:	Abby Rivin, Senior Planner

The Perry Building Pre-Application Design Review

The applicant, developers Carson Palmer and Broderick Smith represented by architect Tiina Ritval, has submitted a Pre-Application Design Review for the development of a new mixed-use building at the northwest corner of 1st Avenue and 4th Street within the Mixed-Use Subdistrict of the Community Core (CC-2 Zone). The mixed-use building will contain a parking garage, 4 retail units on the ground-floor with frontage along 4th Street and 1st Avenue, 7 community housing units, and 16 market-rate residential units. The project plans are attached as Exhibit A to the Staff Report.

The project is subject to Pre-Application Design Review pursuant to Ketchum Municipal Code §17.96.010.C.1. Pre-Application Design Review is an opportunity for the Planning and Zoning Commission to give the applicant feedback on the proposed project. This preliminary review allows the Commission to ask questions, identify code compliance issues or design concerns, and provide recommendations to the applicant.

Design Review is required for the development of new mixed-use buildings pursuant to Ketchum Municipal Code §17.96.010.A4. In addition to Design Review, the project will require a lot consolidation preliminary plat as well as a condominium subdivision preliminary plat. The project includes a variance request to exclude the parking garage from the development's gross floor area calculation. The two subdivision applications for the lot consolidation and condominium preliminary

plats as well as variance request will be reviewed by the Planning and Zoning Commission concurrently with the final Design Review application for the project.

Analysis

The following analysis provides an overview of the project, identifies code compliance issues that must be resolved prior to final Design Review, and summarizes design concerns for the Commission to consider discussing with the applicant.

Project Location

The Perry Building project site is comprised of 3 lots located at the northwest corner of 1st Avenue and 4th Street (See Figure 1). Corner Lot 4A is developed with an existing building that will be demolished to accommodate the new mixed-use development. Lot 3A and Lot 2 are both vacant and undeveloped. The project site is adjacent to: (a) the Westside Office Condominiums to the north, (b) the post office across the alley to the west, and (c) the Gail Severn Gallery building across 1st Avenue to the east. The 1st & 4th Mixed-Use Building is currently under construction south of the project site across 4th Street.



Figure 1: Project Location

The project proposes to consolidate 3 lots that were created by Ketchum's original townsite plat map and are part of downtown's grid system. Blocks within the original townsite were historically platted into 55-foot-wide lots oriented towards the avenue rights-of-way that run north to south. The configuration of these townsite lots enriches Ketchum's urban fabric by providing opportunities to diversify the buildings along a block. This variety in building type, age, design and size contribute to Ketchum's authentic vibes and enhance vibrancy downtown. The urban pattern created by the original townsite plat map is changing as Ketchum continues to grow and properties redevelop. The proposed lot consolidation will contribute to this change. The consolidated lot will have a total area of 24,723 square feet with 165 feet of frontage along 1st Avenue and 150 feet of frontage along 4th Street. The development site is characterized by site constraints and topographical challenges that are exacerbated by the lot consolidation. The site has significant slopes and cross-slopes—the grade drops 8 feet down from the street corner north along 1st Avenue and 12 feet down from the street corner west along 4th Street.

Variance Request

The proposed project includes a variance request to exclude the underground parking garage from the gross floor area calculation. Pursuant to Ketchum Municipal Code §17.08.020, underground parking garages may be excluded from the gross floor area calculation provided that a minimum of 75% of the ceiling surface area of the floor level is not more than 4 feet above the basement invisible plane. The Perry Building parking garage does not meet this required standard to qualify as an underground parking garage. The parking garage falls 8'-10" below grade at the street corner and rises 8'-6" above grade at the northwest corner of the property along the alley. Lowering the proposed parking level further below the basement invisible plane in order to qualify as an underground parking garage would require significant excavation. Additional framing would also be required to raise the main level up to meet the sidewalk grade (See Figure 2). Staff recommends the Commission review the applicant's variance request detailed on pages 38, 39, and 40 of the project plans and provide feedback to the applicant.

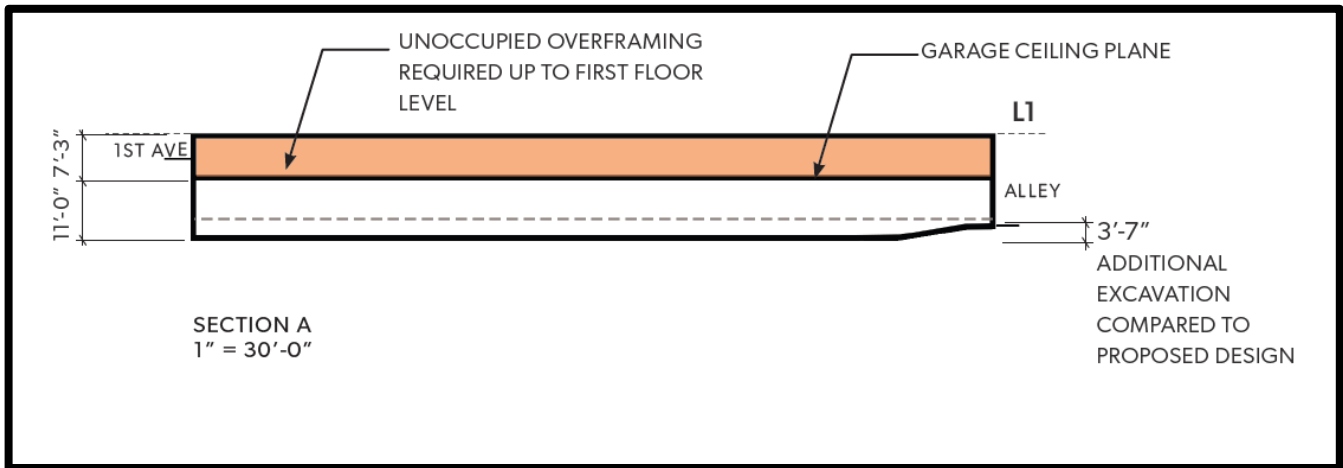


Figure 2: Section A (Project Plans Page 39)

Compliance with Zoning & Dimensional Standards

The gross floor area of the mixed-use building with the variance request is 51,177 square feet. By discounting the underground parking garage from the gross floor area calculation, the proposed floor area ratio (FAR) is 2.07. The required community housing contribution for the FAR exceedance is 4,496 square feet. The applicant has proposed to provide 7 community housing units on the main level of the mixed-use building. The units range in size from 623 to 976 square feet. The total floor area of all 7 community housing units is 5,012 square feet.

Buildings in the CC-2 Zone must be setback an average of 5 feet from front and street side property lines pursuant to Ketchum Municipal Code §17.12.040. The applicant has provided the front and street side setback calculations on page 10 of the project plans. All three levels of the mixed-use building are setback a minimum of 5 feet from the front and street side property lines along 1st Avenue and 4th Street. The second and third floors that cantilever over the interior courtyard along the 1st Avenue elevation are setback 15 feet from the property line. The site plan on page 15 specifies that the building is setback 3'-4" from the rear property line along the alley. A 10-foot-wide setback has been provided from the interior north side property line to the 3 above-grade floors of the mixed-use building.

Maximum building height dimensions are provided on pages 25 and 26 of the project plans. The maximum height of the 1st Avenue and alley rear façades as measured from the average grade at the

front (1st Avenue) and rear (alley) property lines is 42 feet. The stairwell and elevator shaft by 4th Street extends 8'-10" above the flat roof surface. The elevator shaft further north closer to the interior side property line extends 5'-5" above the roof surface. The mechanical equipment extends a maximum of 5 feet above the roof surface. The nonhabitable access structures and mechanical equipment meet the minimum required 10-foot setback from all building facades.

32 parking spaces are provided within the underground parking garage accessed from the alley. The market-rate dwelling units generate a total parking demand of 23 spaces. The first 5,500 square feet of retail is exempt from providing parking pursuant to Ketchum Municipal Code §17.125.040.C1c. One of the four commercial units within the mixed-use building is designated as retail/office. If this unit is designated as retail, then 1 parking space would be required to be provided to satisfy the commercial parking demand. If this unit will be an office, then 2 parking spaces would be required to be provided to satisfy the commercial parking demand. The applicant has provided 7 more parking spaces on-site than are required by Ketchum Municipal Code §17.125.040.

Code Compliance Issues

Drainage

Pursuant to Ketchum Municipal Code §17.96.060.C1, all stormwater must be retained on site. This standard pertains not only to stormwater that flows over streets, sidewalks, and other impervious hardscape improvements but also runoff from roofs, canopies, and overhangs. Detail A on page 10 of the project plans shows drainage arrows along the 4th Street frontage that direct drainage towards the public right-of-way. The applicant must revise the grading and drainage plan so that all stormwater is retained on site. The roof plan on page 24 does not show the proposed drainage system. The roof drainage system must be specified on the revised project plans submitted with the final Design Review application. Additionally, the revised project plans submitted with the final Design Review application must address how drainage from the proposed roof overhangs will be collected and retained on site.

Right-of-Way Improvement Comments

The applicant is proposing to construct new heated paver sidewalks that are 8 feet wide along 1st Avenue and 12 feet wide along 4th Street as well as a bulb out at the street corner. Certain right-of-way improvements shown on the preliminary project plans, including the streetlight placement, raised planters, and grading, do not comply with the City's right-of-way standards. Staff will work with the applicant to resolve these issues as the project plans are revised for the final Design Review application. All right-of-way improvements must be reviewed and approved by the City Engineer, Streets, Utilities, Fire, and Planning departments. The project will require a Right-of-Way Encroachment Permit for the proposed sidewalk pavers and snowmelt system as well as the roof overhangs that extend over the public right-of-way. The associated Right-of-Way Encroachment Agreement must be reviewed and approved by the Ketchum City Council prior to issuance of a building permit for the project.

Issues for Planning & Zoning Commission Consideration

Staff recommends the Planning and Zoning Commission consider the following issues for discussion with the applicant.

Stairwell & Elevator Shaft Overrun

The mixed-use building's interior stairwell at the east elevation is setback 10 feet from the 4th Street façade and is distinguished with large rectangular windows and board-formed concrete walls. This

design accentuates the stairwell as a unique architectural feature that contributes to the visual character of the mixed-use building. The interior stairwell connecting the 3 above-grade floor levels successfully breaks up the mass of the building along 4th Street (See Figure 3).



Figure 3: 4th Street Rendering (Project Plans Page 34)

The portion of the stairwell and elevator shaft that extends above the flat roof surface, however, is large and out of scale with the design elements that characterize the mixed-use development (See Figure 4). The mass of the rooftop access structure dominates the 4th Street façade disrupting the visual harmony and symmetry of the mixed-use building. Staff recommends that the applicant modify the design this feature by reducing its size to complement the scale of the mixed-use development.



Figure 4: Stairwell & Elevator Shaft Extending Above Roof Surface

Roof Overhangs

Roof overhangs may extend a maximum of 3 feet over a public sidewalk pursuant to Ketchum Municipal Code §17.96.070.B6. Page 15 of the project plans specifies that the roof overhangs extend across the front property line along 1st Avenue and encroach 2'-7" into the public right-of-way. These projections serve as roof coverings for the third-floor balconies. The upper-level balconies create horizontal floor setbacks that reduce the building's boxy bulk and soften its corners. The proposed roof overhangs diminish the building-mass-reduction and building-corner-softening provided by the upper-level balconies. These projections appear disproportionately heavy at the top and exacerbate the visual appearance of building bulk and mass (See Figure 5). Staff recommends that the applicant evaluate different roof forms or architectural treatments to reduce the size and overbearing appearance of the overhangs.



Figure 5: 1st Avenue Rendering (Project Plans Page 23)

Monolithic Wall

The west elevation on page 30 of the project plans shows a board-formed concrete wall that borders the interior side property line. This 15-foot-tall-wall appears flat and monolithic (See Figure 6). Staff recommends that the applicant modify the design of this wall to soften its appearance and add visual interest.

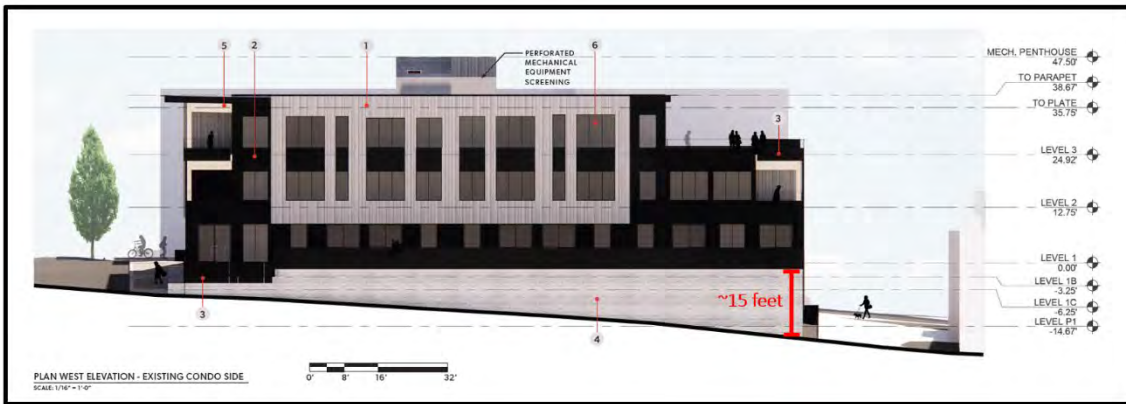


Figure 6: Tall Wall (Project Plans Page 30)

Staff Recommendation

After considering the project plans attached as Exhibit A, the applicant's presentation, and any public comment received, Staff recommends the Commission provide feedback to the applicant and move to advance The Perry Building project to final Design Review.

Exhibit:

- A. The Perry Building Pre-Application Design Review Project Plans

Exhibit A

The Perry Building

Pre-Application Design Review

Project Plans

THE PERRY
Ketchum, ID

GGLO
The Perry Building LLC
Design Pre Application
August 15, 2022





SILENTWATER
REAL ESTATE

Carson Palmer & Broderick Smith
The Perry Building LLC

THE PERRY
131 4TH STREET WEST
KETCHUM, ID, 83340

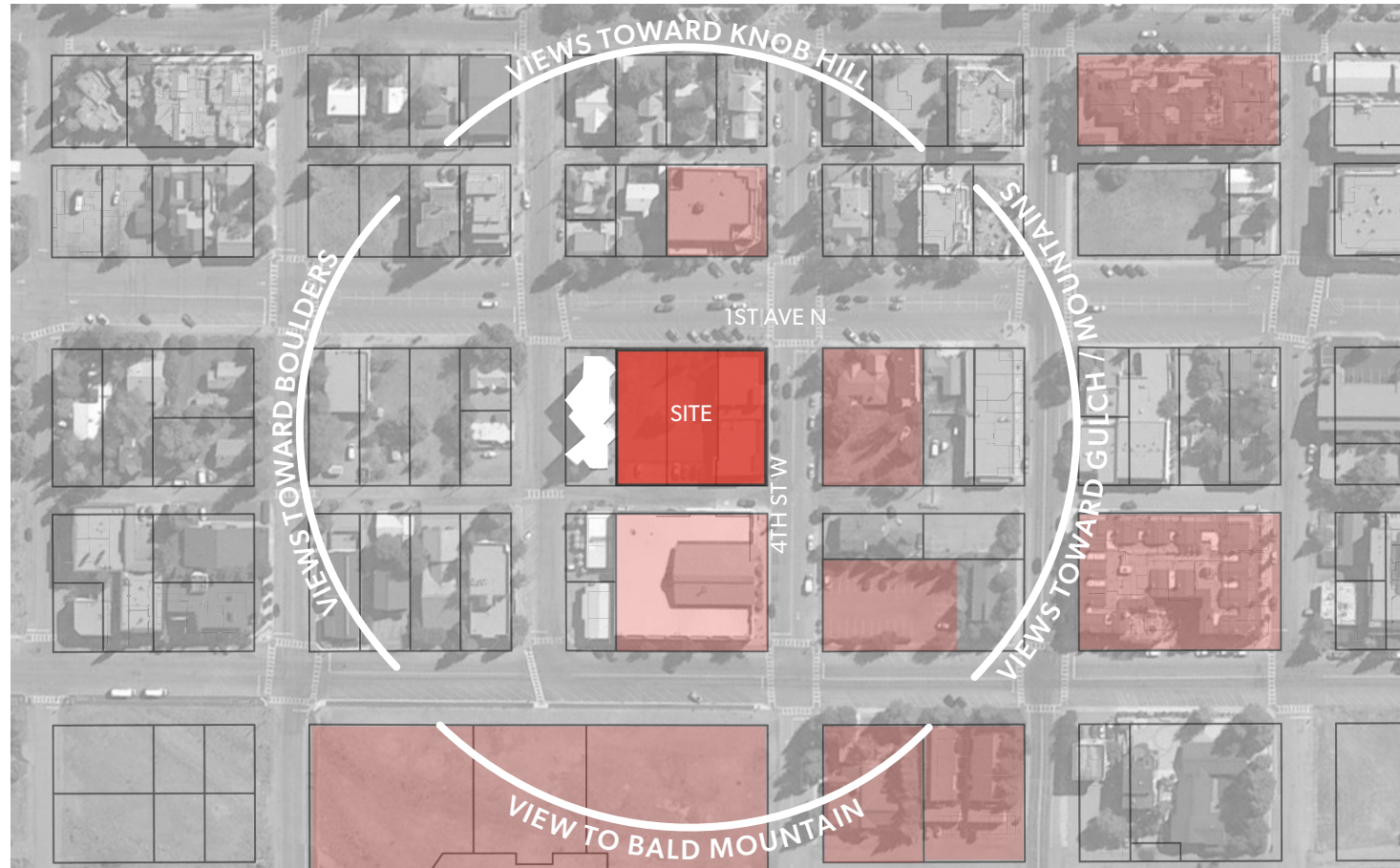
GGLO

Architecture | Interior Design
Landscape Architecture | Urban Design
www.gglo.com

Boise Office
1199 Shoreline Drive
Suite 290
Boise, Idaho 83702
208.953.7227



- 01 SITE + ZONING
- 02 DESIGN CONCEPT
- 03 SITE PLANS
- 04 FLOOR PLANS
- 05 ELEVATIONS AND MATERIALITY
- 06 PERSPECTIVES
- 07 SUSTAINABILITY GOALS
- 08 MASSING
- 09 ZONING VARIANCE

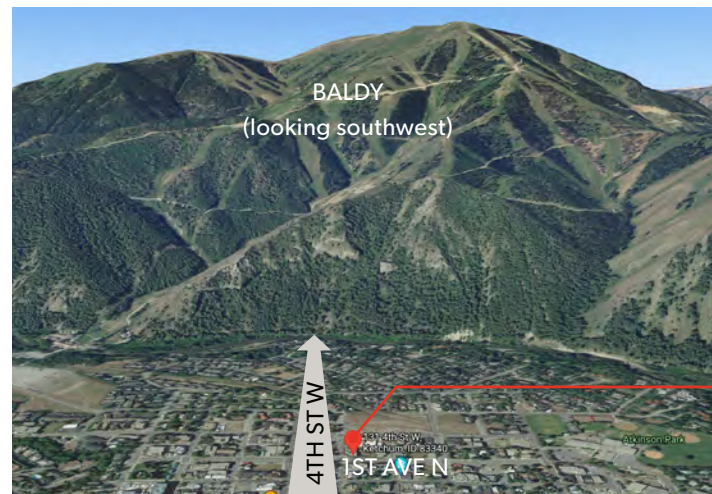


VICINITY PLAN



PROJECT SITE

The site is located in the Community Core of Ketchum, a mountain region primarily accessed via HWY-75. Prominent views of Bald Mountain to the West, and Griffin Butte and Boulder Mountains to the North. The project site is directly bounded by an existing condo to the NW. The town's Post Office is adjacent SW of the site, directly across the Alley.



SURROUNDING SITE CONTEXT

- Prominent views of Bald Mountain directly southwest
- Big Wood River runs north-south, west of the site
- Views of surrounding mountain ranges are seen towards The Gulch to the southeast
- Additional mountain ranges and peek-a-boo views of Boulder Mountain to the North

SITE



SITE



SITE



1ST AVE N & 4TH ST W (S CORNER) LOOKING NORTH

SITE ADJACENCIES

- Site slopes to the south. High point is located at 1st Ave N and 4th St W.
- The Post Office is located adjacent southwest across the Alley.
- Existing Condo on the northwest end of the project site.
- Mildest existing grade at Alley



ALLEY & 4TH ST W (W CORNER) LOOKING EAST



1ST AVE N & 5TH ST W (E CORNER) LOOKING WEST



5TH ST W & ALLEY (N CORNER) LOOKING SOUTH

PROJECT KEY GOALS



Residential Refuge with Focus on Views and Light

The residences will be designed with a focus on views to the surrounding mountain ranges. The experience is one of retreat and privacy, although the residences are situated in proximity to the town core activity, they will offer close respite.



Celebration of Indoor and Outdoor living

Mountain town lifestyle encourages a connection to the immediate outdoors. The interior will explore the ideas of seamless threshold, biophilic design strategies, and a celebration of private, climate comfortable outdoor spaces.



Contribution to Community Core

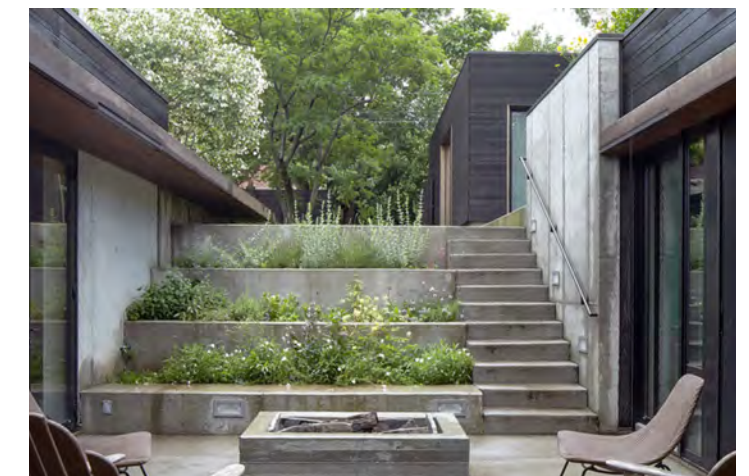
The unique offerings of the project: In-town residences, Workforce housing, and Activated Commercial and Retail all combine to offer a micro community focused on longevity and a purpose of feeding the community core.



Contextually Positive Design

The design seeks to distill an architecture and site design that is rooted in historical and cultural understanding, but focused on creating the future context.

PROJECT DESIGN LANGUAGE



Biophilic Properties

Strong vertical rhythm, slender members of wood or metal create infill for the larger more expansive timber structural grid. Properties of this language are distilled from the characteristics of Aspen groves.

Large vision glass creates a connection with the view that brings the serenity of the mountain context inside.

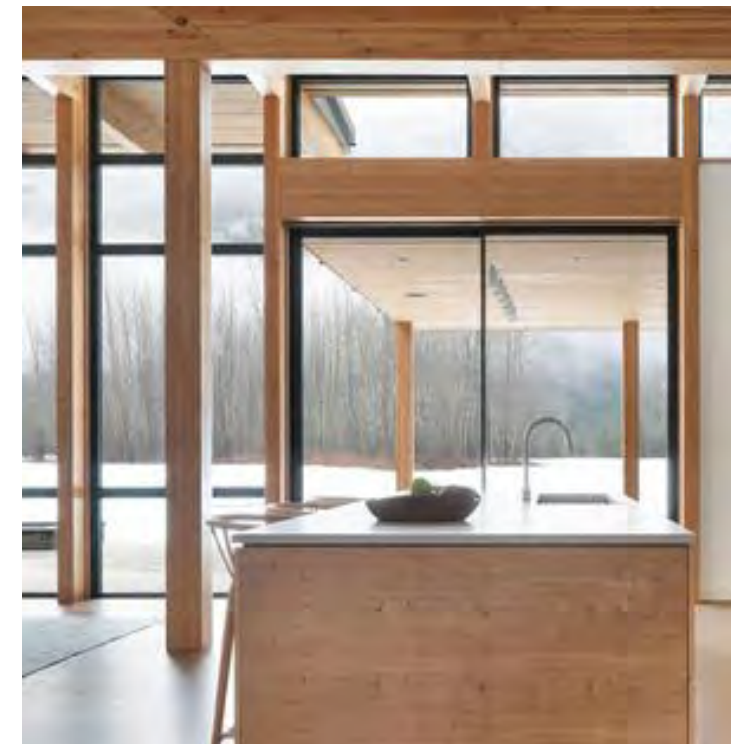
Emphasis on Primary Structural Members

Heavy structural members are expressed through Mass Timber building techniques. The local vernacular of cross span bridges inform the language of the building. Slim secondary members create a lattice support.

Site Response

Responding to the natural slope of the site creates more individualized experiences.

ARCHITECTURAL MATERIALS



Wood

Wood patinas softly and evenly to a beautifully neutral expression of wood siding.

Mass Timber has inherent finish properties that create a warm glow of the interior that can be seen from the street.

Board Form Concrete

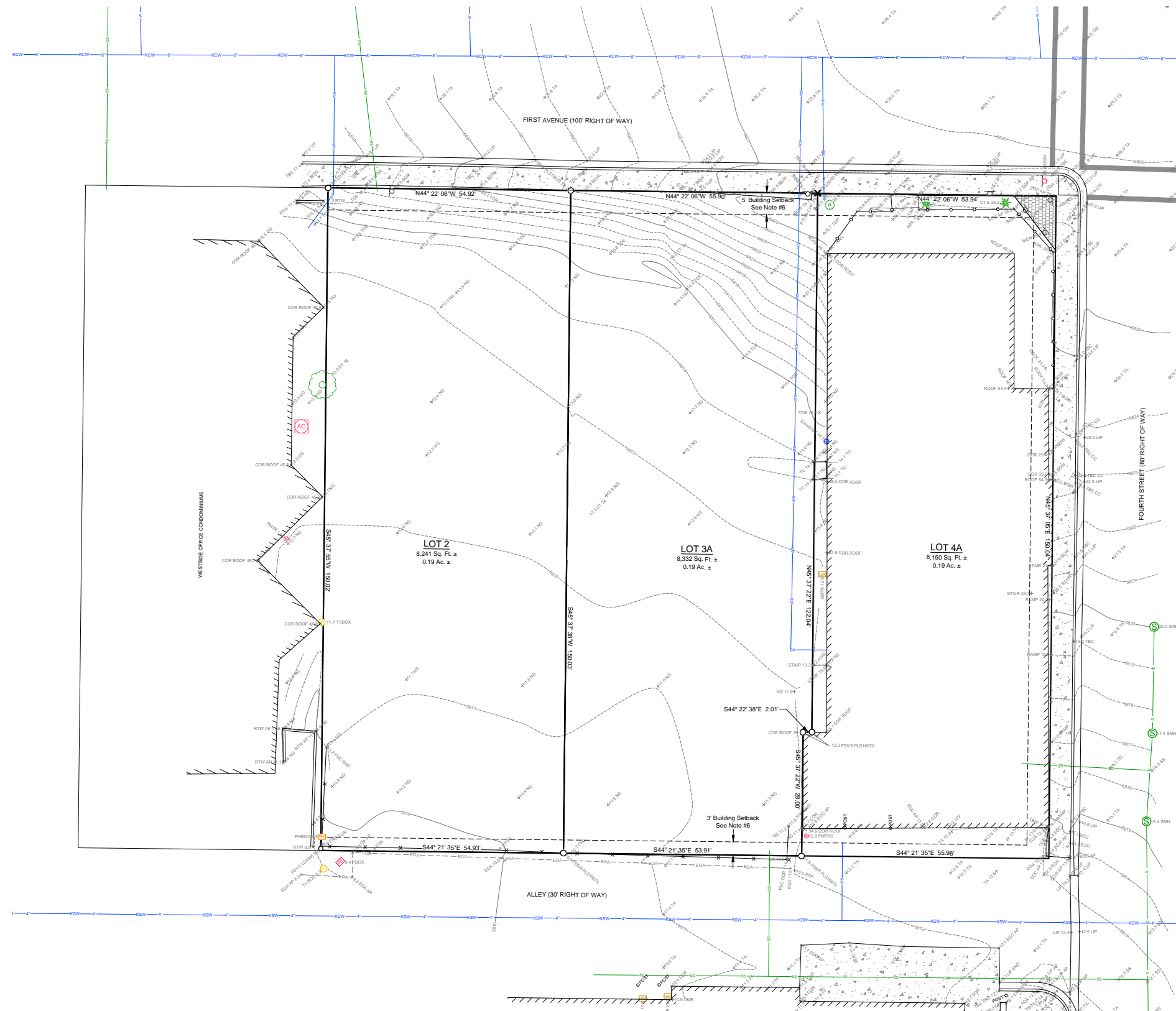
Board form concrete with punched openings, and blackened steel accents.

Blackened Steel Metal Panels and Cable Rail

Blackened steel panel exterior accent panels, and cable rail railings that allow for a more unobstructed view to the surrounding mountains.

Aluminum Storefront and Large, Operable Windows

A mix of high-performance window wall, operable/tilt-turn windows, and multi-panel sliding glass doors with a focus on views from the residences, and a seamless indoor outdoor experience.



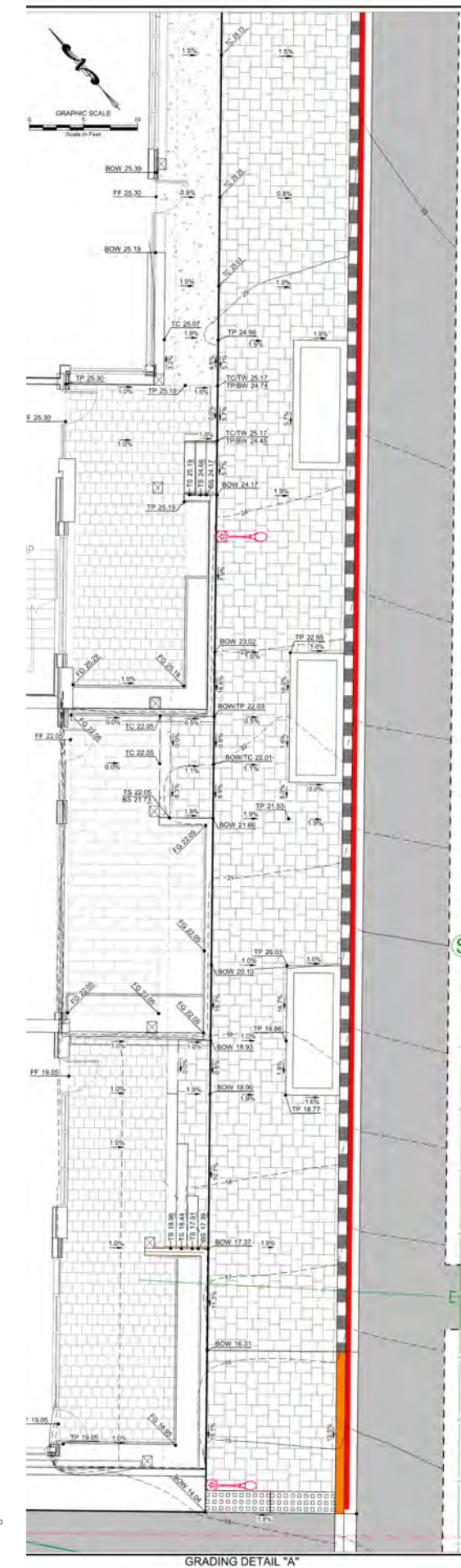
LEGEND

	Property Line
	Adjoiner's Lot Line
	Building Setback
	FNC = Fence Line
	EOA = Edge of Asphalt
	BOW = Back of Walk
	Guardrail / Handrail
	5' Contour Interval
	1' Contour Interval
	Retaining Wall
	Curb & Gutter
	Concrete
	Pavers
	Building
	CW = Crosswalk
	KCW = Ketchum City Water
	KSW = Ketchum SpringLine Water
	W = Water Service
	S / SM= Sewer Main
	SS = Sewer Service
	FD1/2 = Found 1/2" Rebar
	FD 5/8 = Found 5/8" Rebar
	Found Magnail w/ Washer
	Bollard
	CT = Coniferous Tree
	DT = Deciduous Tree
	GMTR = Gas Meter
	TVBOX = Cable TV Riser
	PHBOX = Telephone Riser
	PBOX = Power Box
	PMTR = Power Meter
	Water Valve
	Sewer Manhole
	SGN = Sign
	Exhaust Vent
	Air Conditioning unit
	DWELL = Dry Well
	Light
	AP = Angle Point
	CC = Curb Cut
	EOC = Edge of Concrete
	EOP = Edge of Pavers
	EOW = Edge of Walk
	FF = Finished Floor
	LIP = Lip of Gutter
	NG = Natural Ground
	TA = Top of Asphalt
	TBC = Top Back of Curb
	TOC = Top of Slope
	TW = Top of Wall

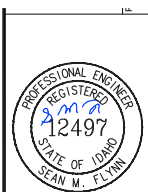
- NOTES**
- The purpose of this map is to show topographical information as it existed on the date the field survey was performed. Changes may have occurred to site conditions since survey date (08/24/2021).
 - Boundary information is based on Found and Set Monumentation as recorded on that certain Record of Survey by Phillips recorded as Instrument Number 678114, Blaine County, Idaho records. Refer to the Plat Notes, Conditions, Covenants, and Restrictions on Original Plat of Ketchum Townsite.
 - Underground utility locations are based on above ground appurtenances / utilities visible at the time of the survey and City maps. Utilities should be located prior to any excavation.
 - Galena Engineering Inc. has not received a Title Policy from the client and has not been requested to obtain one. Relevant information that may be contained within a Title Policy may therefore not appear on this map and may affect items shown hereon. It is the responsibility of the client to determine the significance of the Title Policy information and determine whether it should be included. If the client desires for the information to be included they must furnish said information to Galena Engineering, Inc. and request it be added to this map.
 - Benchmark is top of Magnetic Nail with Washer stamped LS16670, located at the Eastern-most corner of Lot 3A, elevation = 5826.2'. Vertical Datum is NAVD 1988. Point elevations shown are truncated (i.e. 19.2 is 5819.2).
 - Setbacks shown hereon are per City of Ketchum Code: 17.12.040, CC District, Subdistrict 2.

GRAPHIC SCALE
Scale in Feet

MARK E. PHILLIPS, P.L.S. 16670

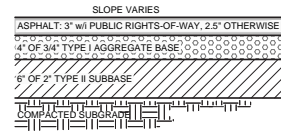


- SITE IMPROVEMENT KEY NOTES**
- S01 SAWCUT EXISTING ASPHALT TO PROVIDE FOR A CLEAN VERTICAL EDGE.
 - S02 CONSTRUCT ASPHALT ROADWAY / ASPHALT REPAIR. SEE DETAIL 1 / C1.10.
 - S03 CONSTRUCT CONCRETE CURB AND GUTTER
 - a. 6" ROLLED C&G PER DETAIL 2a / C1.10.
 - b. CURB TRANSITION FROM 6" ROLLED TO ZERO REVEAL PER DETAIL 2b / C1.10.
 - c. CURB TRANSITION FROM 6" VERTICAL TO 6" ROLLED.
 - d. ZERO REVEAL CURB AND GUTTER PER DETAIL 2b / C1.10.
 - e. 24" WIDE CONCRETE VALLEY GUTTER PER DETAIL 2c / C1.10.
 - S04 CONSTRUCT SIDEWALK. WIDTH AS SHOWN HEREON.
 - a. PAVEMENT SIDEWALK. SEE DETAIL 4 / C1.10.
 - b. ADA COMPLIANT RAMPS. SEE DETAIL 3 / C1.10.
 - c. FLAT WORK. SEE DETAIL 3 / C1.10.
 - **NOTE: ALL SIDEWALK WITHIN RIGHT-OF-WAY IS HEATED.
 - S05 INSTALL CITY OF KETCHUM APPROVED CAST IRON TRUNCATED DOME DETECTABLE WARNING INSERT. SEE DETAIL 7 / C1.10.
- UTILITY IMPROVEMENT KEY NOTE**
- U01 INSTALL 4" PVC SEWER SERVICE WITH CLEANOUT. CONNECT TO 8" CONCRETE SEWER MAIN. SEE DETAIL 6 / C1.10 FOR TRENCHING.
 - U02 REMOVE AND DISPOSE OF EXISTING WATER SERVICE AT WATER MAIN. TURN OFF CORP STO.
 - U03 INSTALL GAS SERVICE. CONTRACTOR TO COORDINATE ACTIVITY WITH UTILITY FRANCHISE.
 - PB01 INSTALL NEW POWER BOX BY OTHERS. WORK TO BE COORDINATED WITH IDAHO POWER COMPANY.
 - U04 INSTALL 6" DOMESTIC WATER SERVICE. SEE DETAIL 6 / C1.10 FOR TRENCHING STANDARDS.
 - U05 INSTALL 6" FIRE SERVICE. SEE DETAIL 6 / C1.10 FOR TRENCHING STANDARDS.



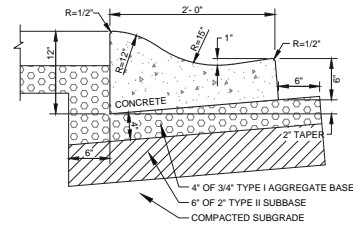
DESIGNED BY
CT
DRAWN BY
SMF
CHECKED BY

GALENA
ENGINEERING, INC.
Civil Engineers & Land Surveyors
317 N. River Street
Ketchum, ID 83841
(208) 786-1333
email: galena@galena-engineering.com



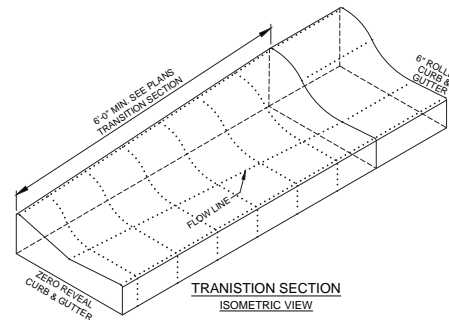
- NOTES:**
- SUBBASE CAN BE 2\"/>

1
C1.10 **TYPICAL STREET ASPHALT SECTION**
N.T.S.



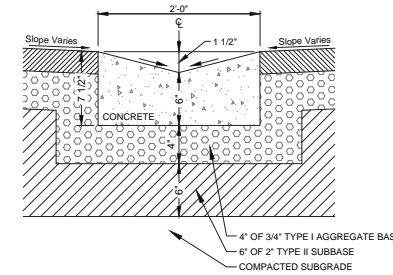
- NOTES:**
- SUBBASE CAN BE 2\"/>

2a
C1.10 **6\"/>**



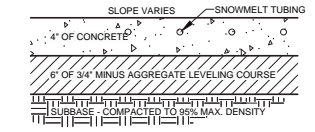
- NOTES:**
- 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADI.
 - CONTINUOUS PLACEMENT PREFERRED. SCORE INTERVALS TO MATCH SIDEWALK WITH 10-FEET MAXIMUM SPACING.
 - MATERIALS SHALL CONFORM WITH CURRENT ISPWV STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.

2b
C1.10 **TYPICAL ROLLED CURB TRANSITION DETAIL**
N.T.S.



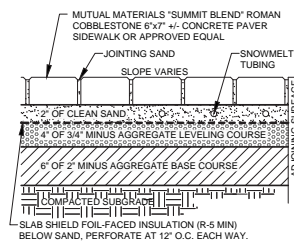
- NOTES:**
- SUBBASE CAN BE 2\"/>

2c
C1.10 **24\"/>**

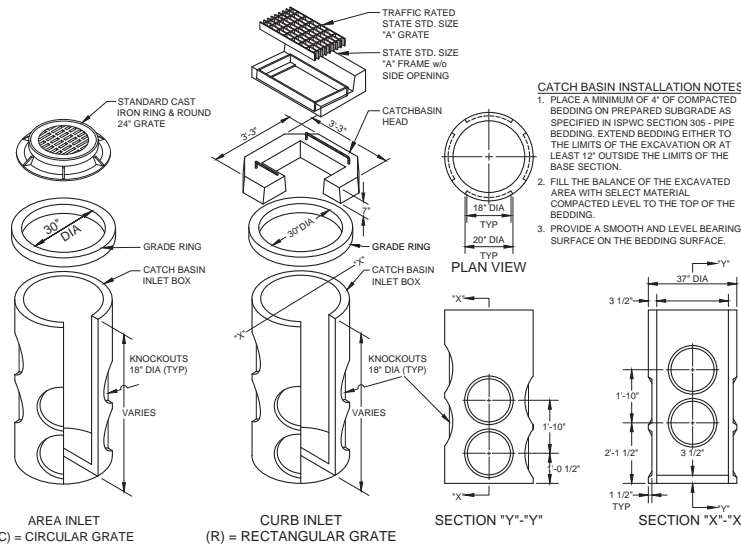


- NOTES:**
- 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADI.
 - CONTINUOUS PLACEMENT PREFERRED. SCORE AT INTERVALS TO MATCH WIDTH OF WALK NOT TO EXCEED 5 FEET SPACING.
 - 1/2\"/>

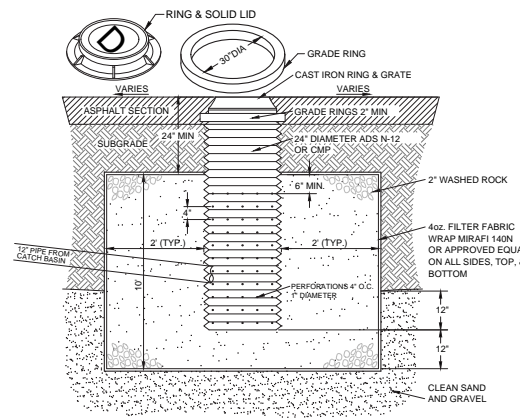
3
C1.10 **TYPICAL CONCRETE SIDEWALK SECTION**
N.T.S.



4
C1.10 **PAVER DETAIL**
N.T.S.

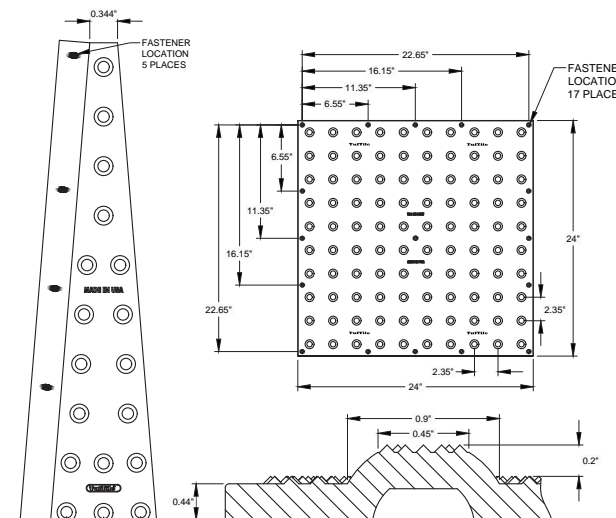


5
C1.10 **30\"/>**



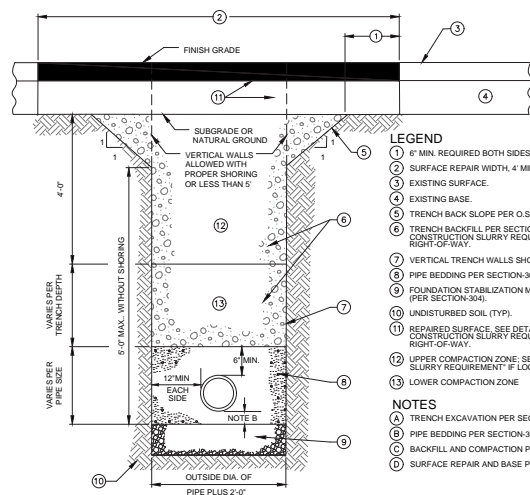
- NOTES:**
- THE BED SHALL BE EXCAVATED A MINIMUM OF 24\"/>

6
C1.10 **DRYWELL DETAIL (6\"/>**



- NOTES:**
- DETECTABLE WARNING TILES SHALL BE TUFTLE (CAST IRON & WET SET) OR APPROVED EQUAL.
 - REFER TO DETAIL 8.
 - COLOR TO BE PATINA (NO FINISH).

7
C1.10 **DETECTABLE WARNING PLATE**
N.T.S.



- LEGEND**
- 6\"/>
- NOTES**
- TRENCH EXCAVATION PER SECTION 301.
 - PIPE BEDDING PER SECTION 305.
 - BACKFILL AND COMPACTION PER SECTION 306.
 - SURFACE REPAIR AND BASE PER DETAIL 3C20.

KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT

IN AREAS WHERE IT IS NECESSARY TO CUT THE ASPHALT PAVEMENT AND DIG A TRENCH FOR BURIAL OF CONDUIT CABLE OR OTHER CITY UTILITY, THE TRENCH SHALL BE BACKFILLED WITH A LEAN CONCRETE MIX TO THE BOTTOM OF FINISH SURFACE MATERIAL WITH THE FOLLOWING PROPORTIONS OF MATERIALS:

COARSE AGGREGATE (1/2\"/>	2 800 LBS
SAND	800 LBS
PORTLAND CEMENT	94 LBS
WATER	11 GAL (MAX.)

WATER CONTENT IS MAXIMUM AND MAY BE REDUCING DOWNWARD. CARES SHALL BE TAKEN TO ASSURE THAT EXCESS WATER IS NOT PRESENT IN THE MIXING DRUM PRIOR TO CHARGING THE MIXER WITH MATERIALS. THOROUGH MIXING WILL BE REQUIRED PRIOR TO DISCHARGE.

NO COMPACTION, VIBRATION OR FINISHING IS REQUIRED. THE LEAN CONCRETE MIX SHALL BE STRUCK OFF AT OR BELOW THE ELEVATION OF THE PLANT MIX SURFACING WITH A SQUARE-NOSE SHOVEL OR SIMILAR HAND TOOL. THE BACKFILL MIX SHALL BE ALLOWED TO SET FOR A MINIMUM OF 2 HOURS BEFORE THE PERMANENT PLANTING SURFACING IS PLACED TO COMPLETE THE TRENCH REPAIR. TEMPORARY PLACEMENT OF ASPHALT COOLD MIX SURFACING MAY BE NECESSARY TO ACCOMMODATE TRAFFIC WITHIN THE FIRST 2 HOURS OF BACKFILL PLACEMENT PRIOR TO COMPLETING THE PERMANENT REPAIR.

8
C1.10 **TYPICAL TRENCH SECTION**
N.T.S.

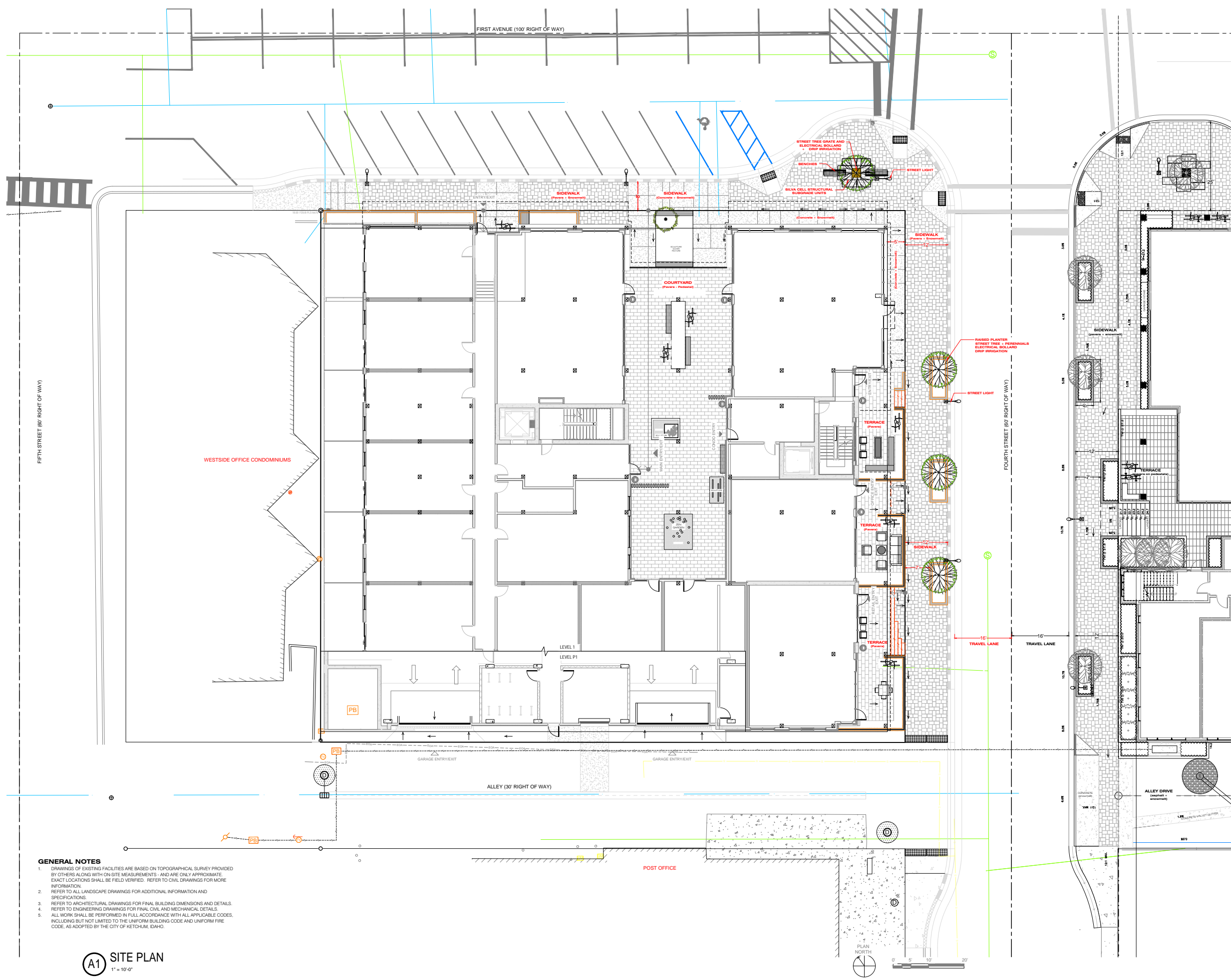
PROFESSIONAL ENGINEER
REGISTERED
12497
STATE OF IDAHO
SEAN M. FLYNN

DESIGNED BY
CT

DRAWN BY
SMF

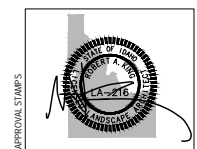
CHECKED BY

GALENA
ENGINEERING, INC.
Civil Engineers & Land Surveyors
317 N. River Street
Halley, Idaho 83333
(208) 766-1705
email: galena@galena-engineering.com



- GENERAL NOTES**
1. DRAWINGS OF EXISTING FACILITIES ARE BASED ON TOPOGRAPHICAL SURVEY PROVIDED BY OTHERS ALONG WITH ON-SITE MEASUREMENTS - AND ARE ONLY APPROXIMATE. EXACT LOCATIONS SHALL BE FIELD VERIFIED. REFER TO CIVIL DRAWINGS FOR MORE INFORMATION.
 2. REFER TO ALL LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION AND SPECIFICATIONS.
 3. REFER TO ARCHITECTURAL DRAWINGS FOR FINAL BUILDING DIMENSIONS AND DETAILS.
 4. REFER TO ENGINEERING DRAWINGS FOR FINAL CIVIL AND MECHANICAL DETAILS.
 5. ALL WORK SHALL BE PERFORMED IN FULL ACCORDANCE WITH ALL APPLICABLE CODES, INCLUDING BUT NOT LIMITED TO THE UNIFORM BUILDING CODE AND UNIFORM FIRE CODE, AS ADOPTED BY THE CITY OF KETCHUM, IDAHO.

A1 SITE PLAN
1" = 10'-0"



GRADING + DRAINAGE LEGEND

	PROPOSED CONTOURS
	FFE 00.00 FINISH FLOOR ELEVATION
	GSE 00.00 GARAGE SLAB ELEVATION
	+00.00 SPOT ELEVATION - FINISH GRADE
	TW 00.00 TOP OF WALL ELEVATION
	BW 00.00 BOTTOM OF WALL ELEVATION
	PERCENTAGE OF SLOPE
	DIRECTION OF DRAINAGE

*Refer to Civil Plans and Specifications for additional information and details.

HARDSCAPES LEGEND

	CONCRETE PLANTERS/CURBS Architectural Concrete - Board Form
	STEEL PLANTERS Blackened Steel Patina - Dimensions Vary
	SCULPTURE/ZEN GARDENS Blackened Steel Patina - Dimensions Vary Decorative Gravel - TBD
	TERRACE PAVERS Stepstone Large Scale Calac - Gray 12x24, 12x36, Alternating Running Bond Pedestal Set
	SIDEWALK PAVERS - 4TH Street and 1st Ave Belgard Catalina Grease - Victorian 3 Piece - Small Pattern Sand Set
	CONCRETE PAVING AND STAIRS
	ALLEY DRIVE Asphalt + Concrete Pads Refer to Civil for Additional Information and Details.

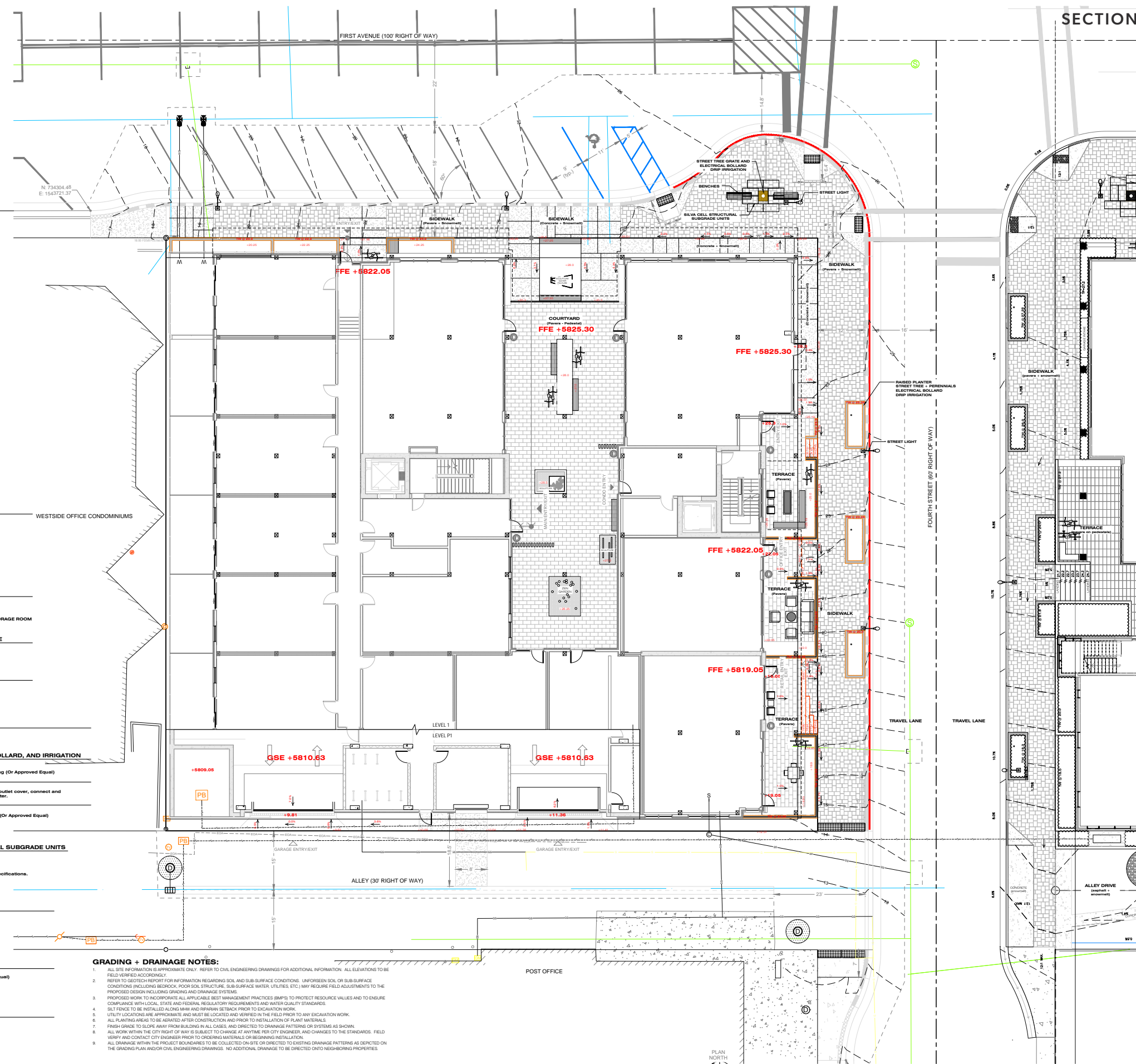
*All Paving Surfaces to be Snowmelted.

AMENITIES

	BENCHES Timberly Wood or similar
	WOOD SLAT SCREENS To Match Architectural Wood Elements
	BIKE RACKS Forms and Surfaces - Capitol BKCAP Dark Bronze Powdercoat Finish 5' x 4' x 34" tall *ADDITIONAL BIKE RACKS PROVIDED IN BIKE STORAGE ROOM
	LITTER AND RECYCLING RECEPTACLE Forms and Surfaces - Cordia Finish - To Be Determined
	SITE FURNITURE To Be Determined

R.O.W LEGEND

	1 STREET TREE GRATE, ELECTRICAL BOLLARD, AND IRRIGATION STREET TREE GRATE Per City Standard - Tree Well Detail 1: NEENAH R-8704, 30"x30", with 12" diameter opening (Or Approved Equal)
	4 ELECTRICAL BOLLARDS Provided by City - Applicant to provide outlet and outlet cover, connect and provide conduits, wiring and tie to city lighting meter.
	4 DRIP IRRIGATION Separate zone with Hunter/Rainwise Smart Clock (Or Approved Equal)
	12 DEEPROOT - SILVA CELL STRUCTURAL SUBGRADE UNITS SILVA CELLS Per City Standard - Tree Well Detail 2: 12 Units: 24" x 48" x 20" 12 Units for Street Tree on 1st Ave. Final layout per manufacturer design engineer specifications.
	3 RAISED PLANTERS 5' x 12' o.d. Architectural Concrete - Board Form
	4 STREET LIGHT Per City Standard - Street Light 14: SOLAARNE R18 DESIGN 158 LFP (Or Approved Equal)
	2 BENCH Per City Standard



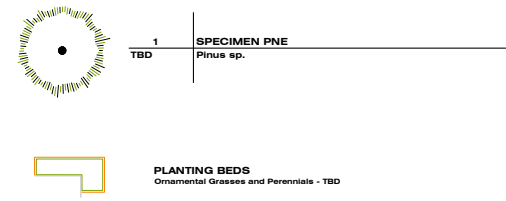
GRADING + DRAINAGE NOTES:

- ALL SITE INFORMATION IS APPROXIMATE ONLY. REFER TO CIVIL ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION. ALL ELEVATIONS TO BE FIELD VERIFIED ACCORDINGLY.
- REFER TO GEOTECH REPORT FOR INFORMATION REGARDING SOIL AND SUB-SURFACE CONDITIONS. UNFORSEEN SOIL OR SUB-SURFACE CONDITIONS INCLUDING BEDROCK, POOR SOIL STRUCTURE, SUB-SURFACE WATER UTILITIES, ETC. MAY REQUIRE FIELD ADJUSTMENTS TO THE PROPOSED DESIGN INCLUDING GRADING AND DRAINAGE SYSTEMS.
- PROPOSED WORK TO INCORPORATE ALL APPLICABLE BEST MANAGEMENT PRACTICES (BMPs) TO PROTECT RESOURCE VALUES AND TO ENSURE COMPLIANCE WITH LOCAL, STATE AND FEDERAL REGULATORY REQUIREMENTS AND WATER QUALITY STANDARDS.
- SILT FENCE TO BE INSTALLED ALONG MHW AND RRPARAN SETBACK PRIOR TO EXCAVATION WORK.
- UTILITY LOCATIONS ARE APPROXIMATE AND MUST BE LOCATED AND VERIFIED IN THE FIELD PRIOR TO ANY EXCAVATION WORK.
- ALL PLANTING AREAS TO BE SEPARATED AFTER CONSTRUCTION AND PRIOR TO INSTALLATION OF PLANT MATERIALS.
- FINISH GRADE TO SLOPE AWAY FROM BUILDING IN ALL CASES, AND DIRECTED TO DRAINAGE PATTERNS OR SYSTEMS AS SHOWN.
- ALL WORK WITHIN THE CITY RIGHT OF WAY IS SUBJECT TO CHANGE AT ANYTIME PER CITY ENGINEER, AND CHANGES TO THE STANDARDS. FIELD VERIFY AND CONTACT CITY ENGINEER PRIOR TO ORDERING MATERIALS OR BEGINNING INSTALLATION.
- ALL DRAINAGE WITHIN THE PROJECT BOUNDARIES TO BE COLLECTED ON-SITE OR DIRECTED TO EXISTING DRAINAGE PATTERNS AS DEPICTED ON THE GRADING PLAN AND/OR CIVIL ENGINEERING DRAWINGS. NO ADDITIONAL DRAINAGE TO BE DIRECTED ONTO NEIGHBORING PROPERTIES.

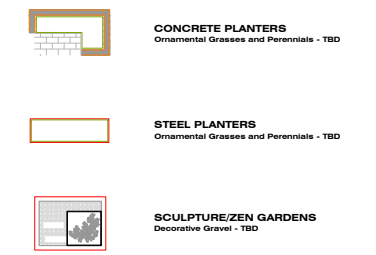
(A1) GRADING PLAN
1" = 10'-0"



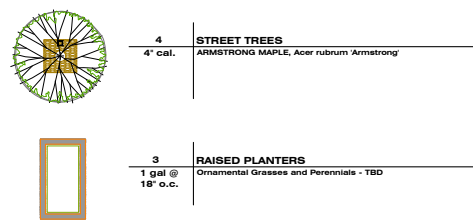
PLANTING LEGEND



PLANTER LEGEND

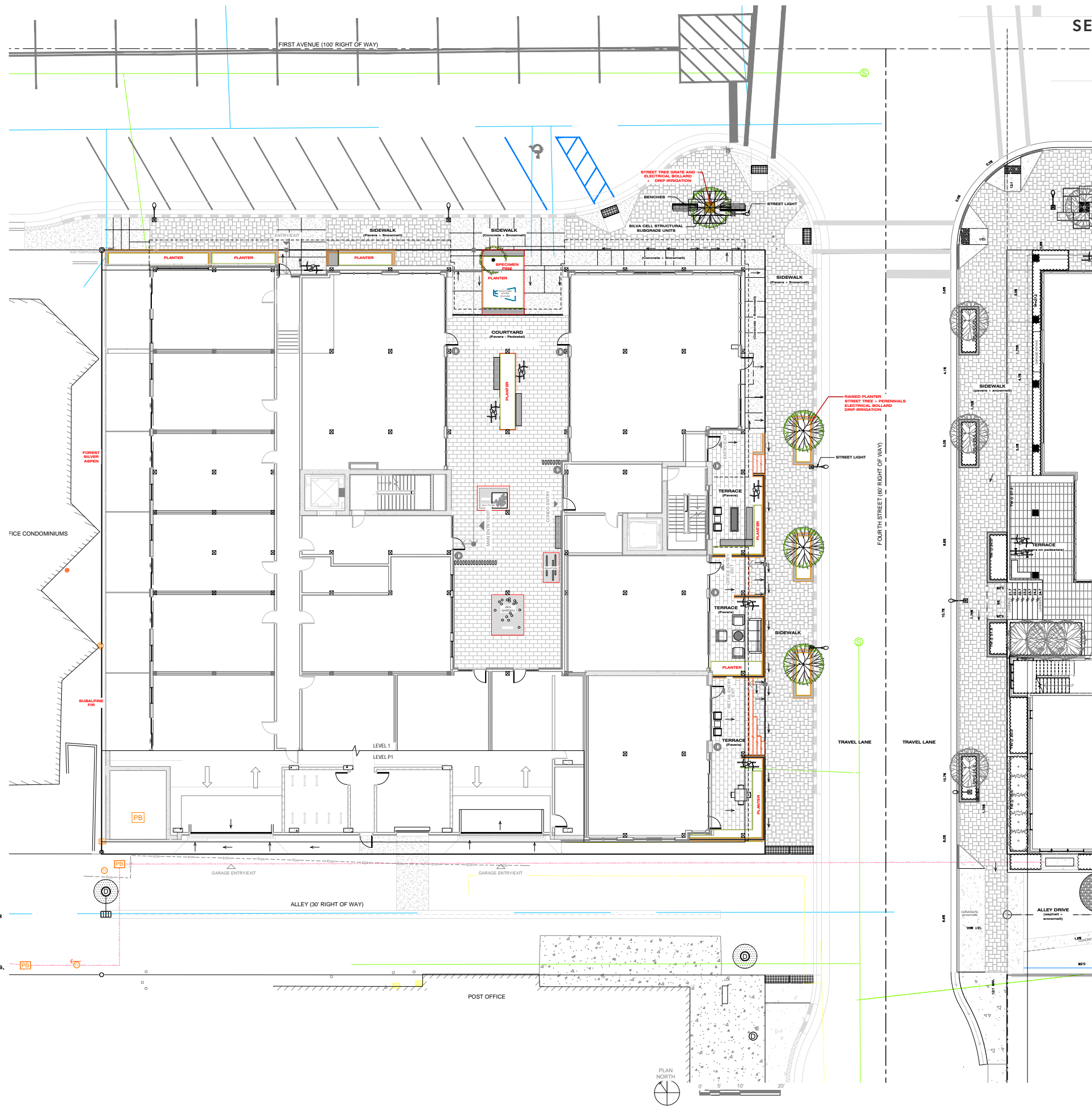


R.O.W PLANTING LEGEND



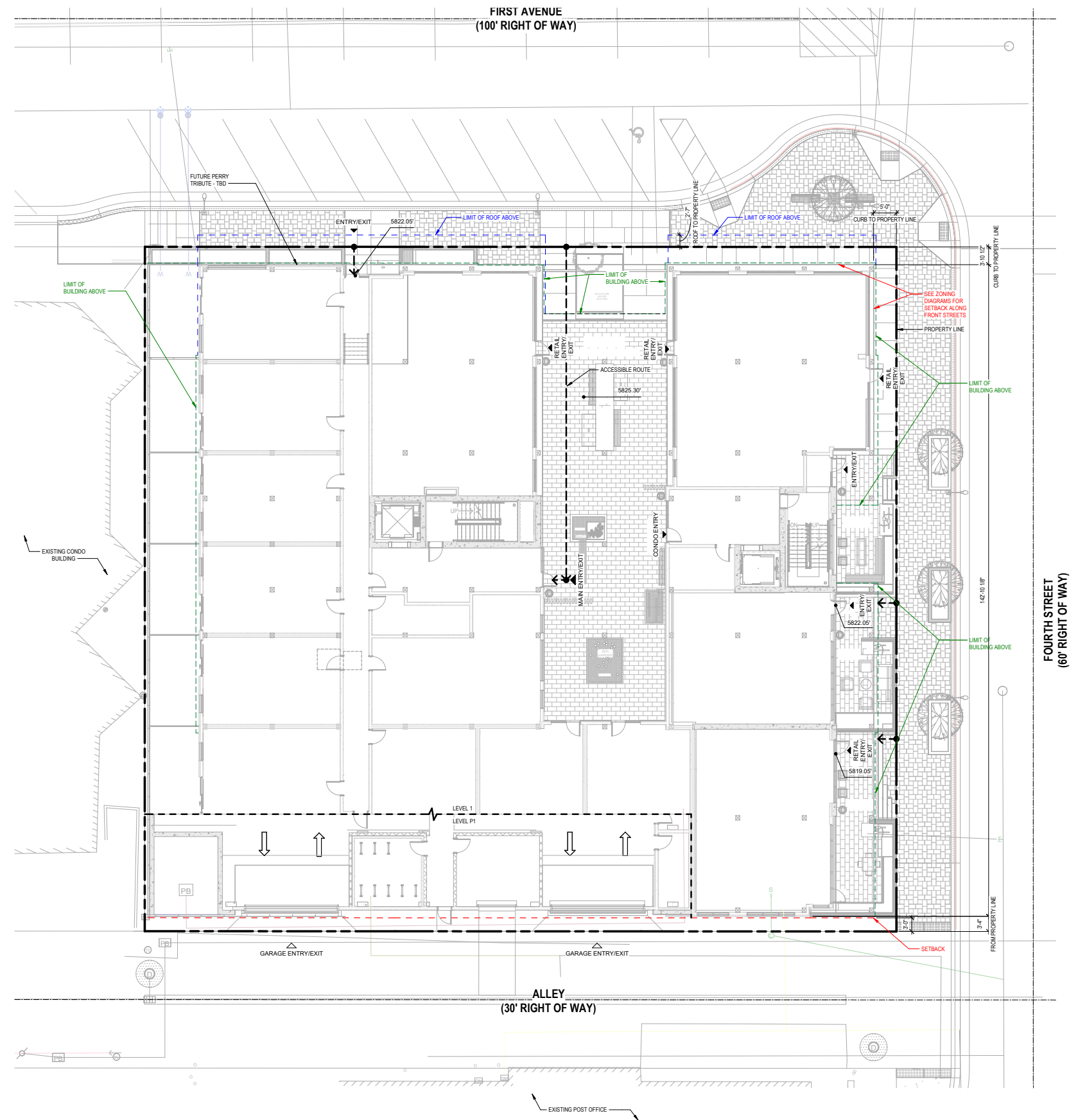
LANDSCAPE + PLANTING NOTES

1. LOCATIONS OF PROPOSED PLANT MATERIALS ARE APPROXIMATE AND MUST BE FIELD VERIFIED PRIOR TO INSTALLATION.
2. UTILITY LOCATIONS ARE APPROXIMATE AND MUST BE LOCATED AND VERIFIED IN THE FIELD PRIOR TO ANY EXCAVATION WORK INCLUDING INSTALLATION OF PLANT MATERIALS.
3. ALL PLANTING AREAS TO BE AERATED AFTER CONSTRUCTION AND PRIOR TO INSTALLATION OF PLANT MATERIALS.
4. ALL PLANT MATERIALS TO COMPLY WITH THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
5. ALL EXISTING PLANTS THAT ARE IDENTIFIED TO REMAIN SHALL BE PROTECTED FROM CONSTRUCTION ACTIVITIES AS NECESSARY TO PROTECT AGAINST COMPACTION OF ROOT ZONES, SOIL CONTAMINANTS, AND INJURY TO BRANCHES.
6. REFER TO IRRIGATION PERFORMANCE SPECIFICATIONS FOR ADDITIONAL INFORMATION.
7. REFER TO CITY STANDARDS FOR ALL PLANTING AND IRRIGATION SPECS FOR IMPROVEMENTS WITHIN THE R.O.W.



A1 SITE PLAN
1" = 10'-0"





A1 SITE PLAN
1" = 10'-0"



LICENSED ARCHITECT
AR-987252

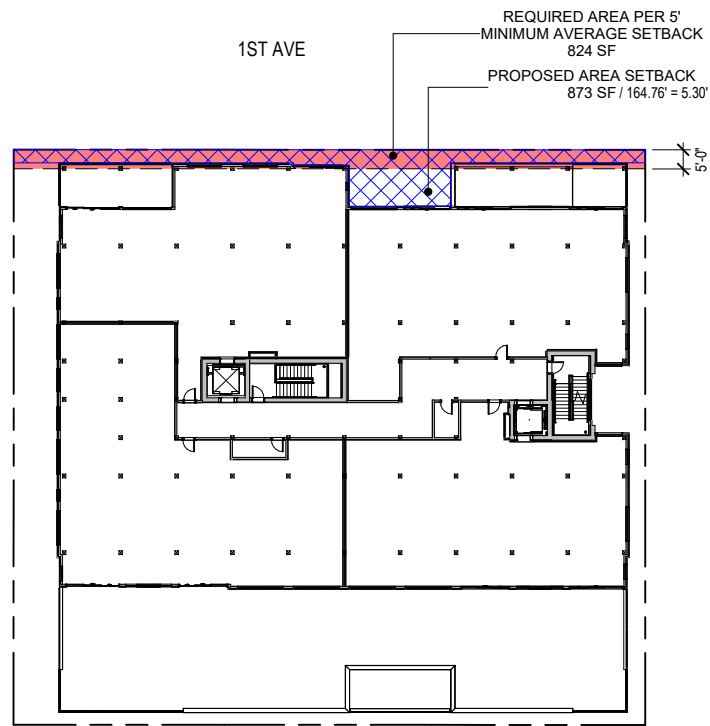
TIINA I RITVAL
STATE OF IDAHO

Um-i. Pium

SECTION 04 | FLOOR PLANS

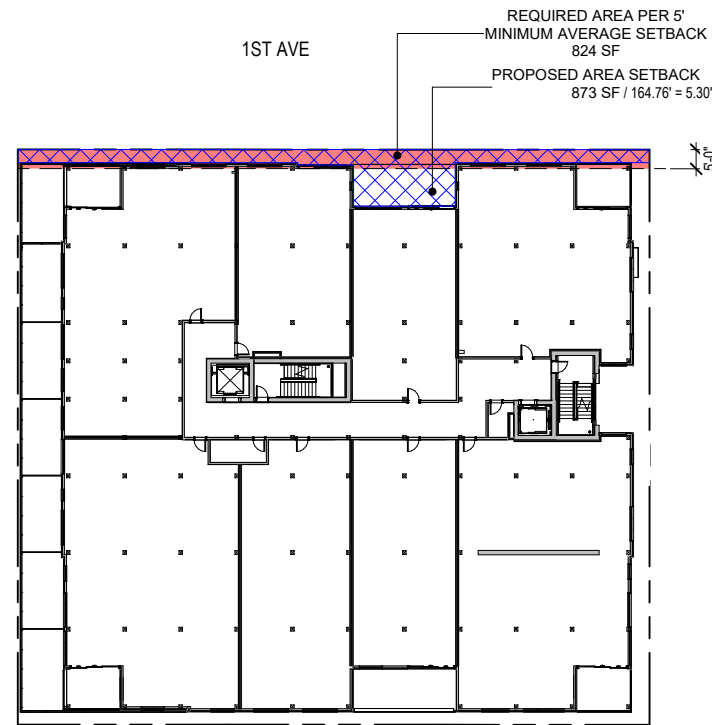
SETBACK: THE MINIMUM HORIZONTAL DISTANCE BETWEEN A SPECIFIED LOT LINE (FRONT, SIDE, REAR), MEASURED ALONG A STRAIGHT LINE AND AT A RIGHT ANGLE TO SUCH LOT LINE, AND THE NEAREST POINT OF AN ABOVE GRADE OR BELOW GRADE BUILDING OR STRUCTURE; BELOW GRADE STRUCTURES MAY ENCROACH INTO REQUIRED SETBACKS SUBJECT TO SUBSECTION 17.128.020.K OF THIS TITLE.

SETBACK ZONE: THE AREA OF A LOT THAT MUST REMAIN OPEN AND CANNOT BE BUILT OVER WITH A STRUCTURE.



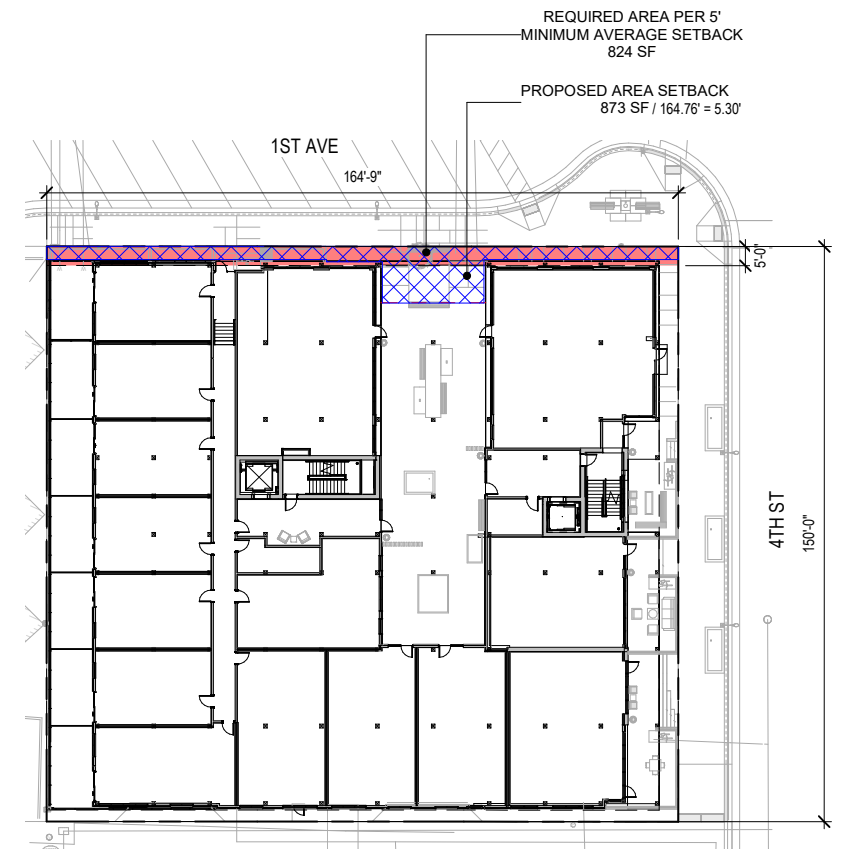
ZONING DIAGRAM- 1ST AVE AVG SETBACK- L3

SCALE: 1" = 50'-0"



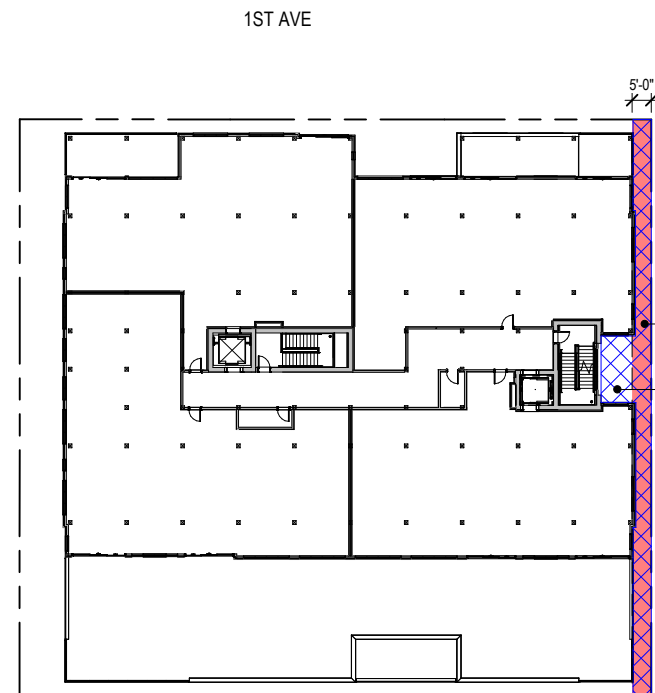
ZONING DIAGRAM- 1ST AVE AVG SETBACK- L2

SCALE: 1" = 50'-0"



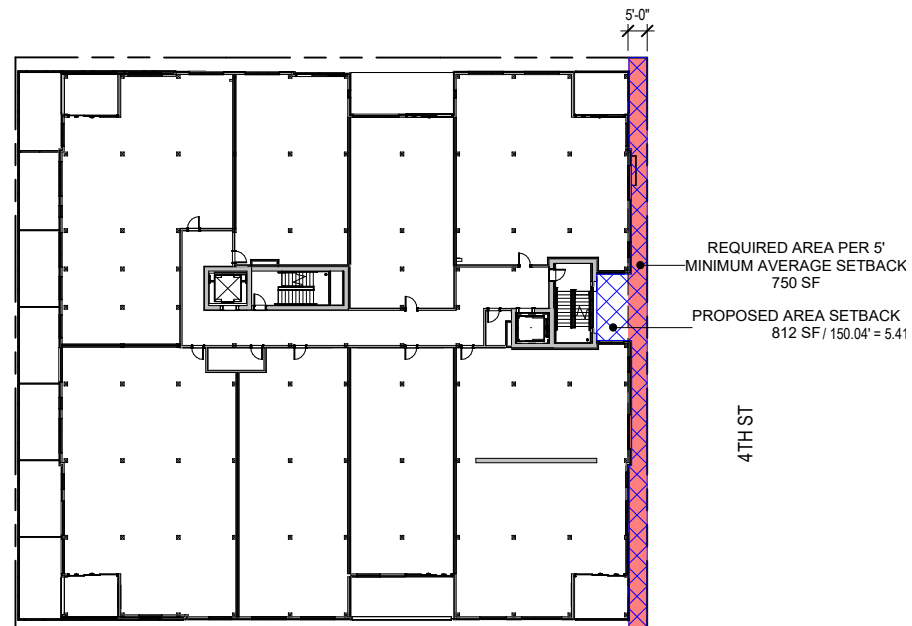
ZONING DIAGRAM- 1ST AVE AVG SETBACK- L1

SCALE: 1" = 50'-0"



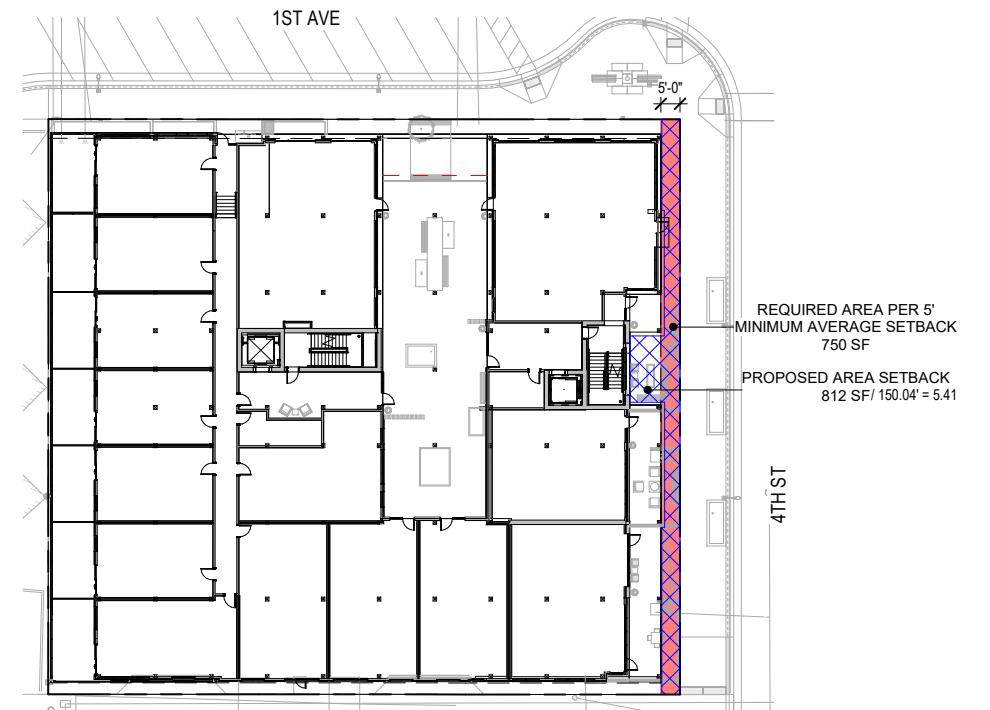
ZONING DIAGRAM- 4TH ST AVG SETBACK- L3

SCALE: 1" = 50'-0"



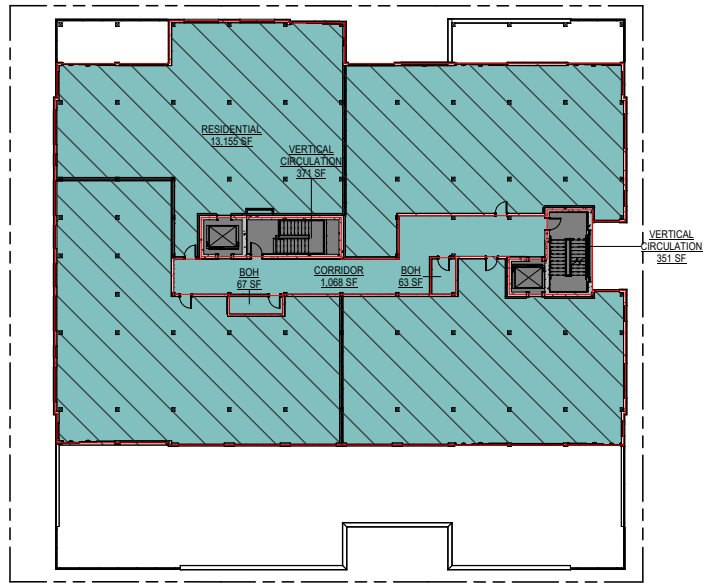
ZONING DIAGRAM- 4TH ST AVG SETBACK- L2

SCALE: 1" = 50'-0"



ZONING DIAGRAM- 4TH ST AVG SETBACK- L1

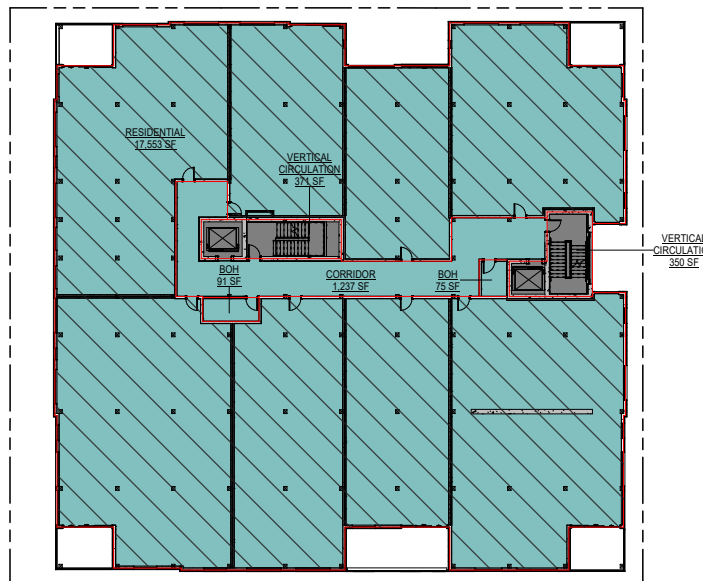
SCALE: 1" = 50'-0"



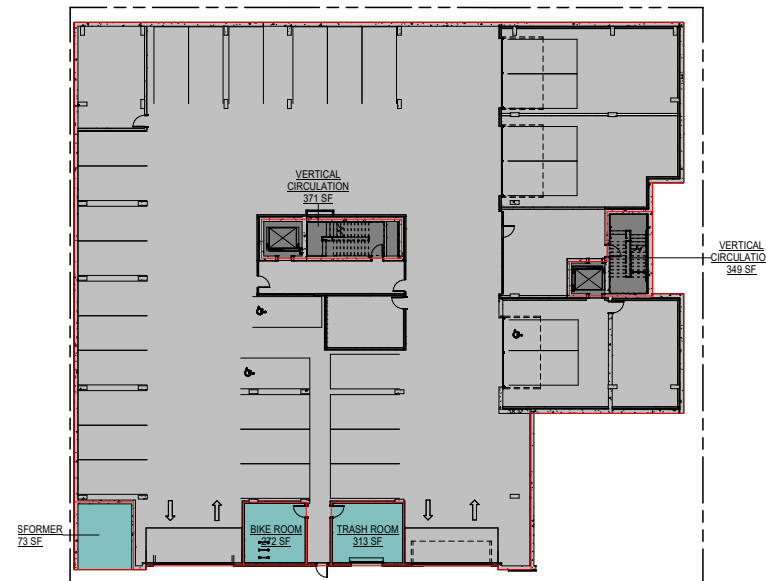
LEVEL 3
SCALE: 1" = 50'-0"



LEVEL 1
SCALE: 1" = 50'-0"



LEVEL 2
SCALE: 1" = 50'-0"



LEVEL P1
SCALE: 1" = 50'-0"



FLOOR AREA LEGEND

- FAR EXEMPT
- FAR EXEMPT SHAFT
- FAR INCLUDED (GROSS FLOOR AREA)
- NET FLOOR AREA

FLOOR AREA, GROSS (KETCHUM ZONING ORDINANCE)

The sum of the horizontal area of the building measured along the outside walls of each floor of a building or portion of a building, including stair towers and elevators on the ground floor only, [...], but not including basements, UNDERGROUND PARKING AREAS or open unenclosed decks.

FLOOR AREA, NET (KETCHUM ZONING ORDINANCE)

The sum of the horizontal areas of all floors in a building including basements but not including open unenclosed decks, interior or exterior circulation, mechanical equipment rooms, parking areas, common areas, public bathrooms or storage areas in basements.

FLOOR AREA RATIO (FAR) (KETCHUM ZONING ORDINANCE)

(GROSS) FLOOR AREA OR (NET) FLOOR AREA / LOT AREA = FAR

GROSS FAR CALCULATED TO:

- Exterior Face of Framing
- Corridor Face of Framing
- Centerline of Demising Wall

	GROSS FLOOR AREA	NET FLOOR AREA
Level 3:	14,353 SF	13,155 SF
Level 2:	18,955 SF	17,553 SF
Level 1:	17,011 SF	14,459 SF
Level P1:	858 SF	N/A
TOTAL:	51,177 SF	45,167 SF

FAR CALCULATION

Site Area: 24,732 SF
 Gross Floor Area: 51,177 SF
 FAR: 2.07
 (With underground parking /
 basement variance approval)

NET FLOOR AREA

	AREA	PERCENT	UNITS	PERCENT
Retail	6,050 SF	13.4%	4	14.8%
Residential	39,117 SF			
L1 Workforce	5,010 SF	11.1%	7	25.9%
L1 Market Rate	3,399 SF	7.5%	4	14.8%
L2 Market Rate	17,553 SF	38.9%	8	29.6%
L3 Market Rate	13,155 SF	29.1%	4	14.8%
TOTAL:	45,167 Net SF	100%	27	100%

UNIT BREAKDOWN

	UNITS	PERCENT	AVG SF
WORKFORCE			
1 Bed	6	26.1%	683 SF
2 Bed	1	4.3%	912 SF
Total Workforce:	7		
MARKET RATE			
1 Bed	8	34.8%	1,255 SF
2 Bed	1	4.3%	2,144 SF
3 Bed	6	26.1%	3,028 SF
4 Bed	1	4.3%	3,758 SF
Total Market Rate:	16		
Total Units:	23	100%	

ADDITIONAL BUILDING METRICS

BUILDING CONSTRUCTION	
Level P1	Type 1A
Level 1-Level 3	Type VA

OCCUPANCY	
Residential	R-2
Office and Retail	M
Parking Garage, Service, and Storage Rooms	S-2

NUMBER OF UNITS	
Workforce	7 units
Market Rate	16 units
Total	23 units

PARKING STALLS	
Onsite	32 stalls
Street Parking	11 stalls
Total	43 stalls

COMMERCIAL	
AREA TYPE	GROSS AREA
LEVEL 1	
RETAIL	1,786 SF
RETAIL	1,902 SF
OFFICE/RETAIL	1,806 SF
RETAIL	1,279 SF
TOTAL: 6,052 SF	

UNITS BY LEVEL		
UNIT NO.	NAME	NET RENTABLE SF

LEVEL 1		
U101	1 BED	650 SF
U102	1 BED - WORKFORCE	625 SF
U103	1 BED - WORKFORCE	625 SF
U104	1 BED - WORKFORCE	623 SF
U105	1 BED - WORKFORCE	627 SF
U106	2 BED - WORKFORCE	912 SF
U107	1 BED - WORKFORCE	624 SF
U108	1 BED	783 SF
U109	1 BED - WORKFORCE	976 SF
U110	1 BED	979 SF
U111	1 BED	987 SF

LEVEL 1: 11 8,409 SF

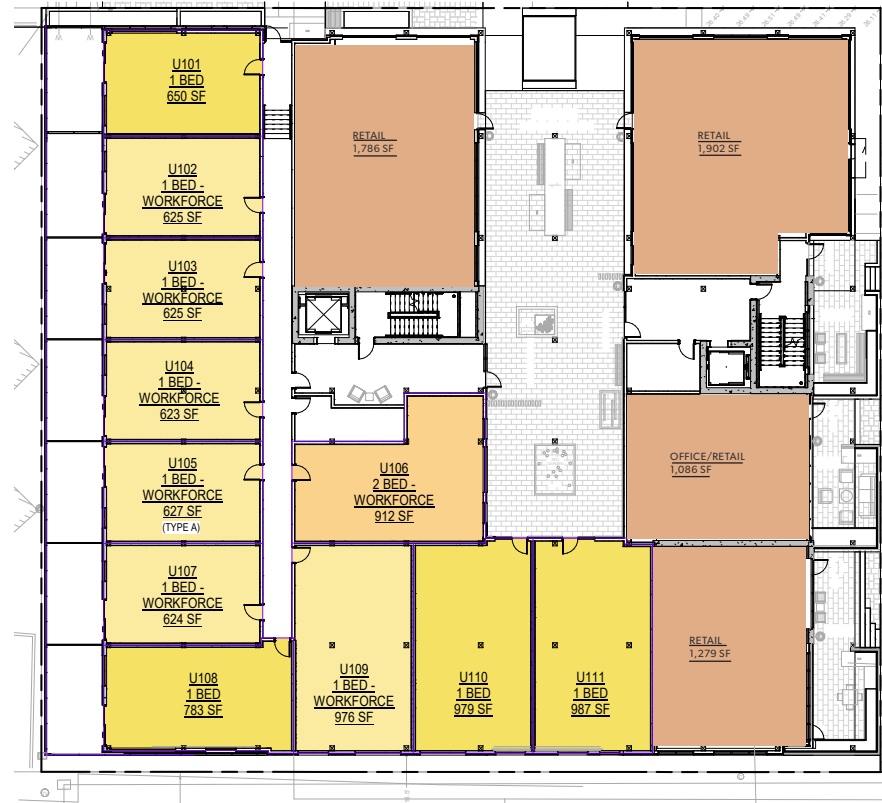
LEVEL 2		
U201	3 BED PLUS	2,635 SF
U202	3 BED PLUS	3,050 SF
U203	1 BED PLUS	1,534 SF
U204	1 BED PLUS	2,032 SF
U205	1 BED PLUS	1,417 SF
U206	1 BED PLUS	1,657 SF
U207	2 BED PLUS	2,144 SF
U208	3 BED PLUS	3,082 SF

LEVEL 2: 8 17,550 SF

LEVEL 3		
U301	3 BED PLUS	3,292 SF
U302	4 BED PLUS	3,758 SF
U303	3 BED PLUS	3,059 SF
U304	3 BED PLUS	3,046 SF

LEVEL 3: 4 13,155 SF

TOTAL UNITS: 23 39,114 SF



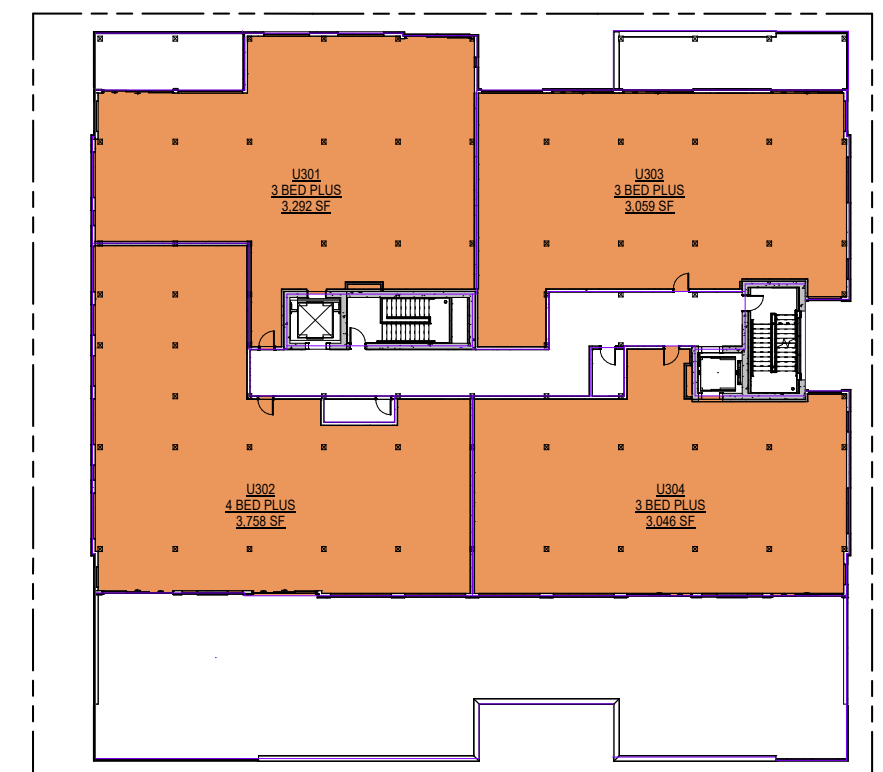
LEVEL 1
NOT TO SCALE



LEVEL 2
NOT TO SCALE

NOTE:
UNIT MIX AREA CALCULATED BY:
EXTERIOR FACE OF FRAMING
CORRIDOR FACE OF FRAMING
CENTERLINE OF DEMISING WALL
REFERENCE SHEET G-010 FOR AREA SUMMARIES

- 1 BED - WORKFORCE
- 1 BED
- 1 BED PLUS
- 2 BED - WORKFORCE
- 2 BED PLUS
- 3 BED PLUS
- COMMERCIAL/RETAIL



LEVEL 3
NOT TO SCALE

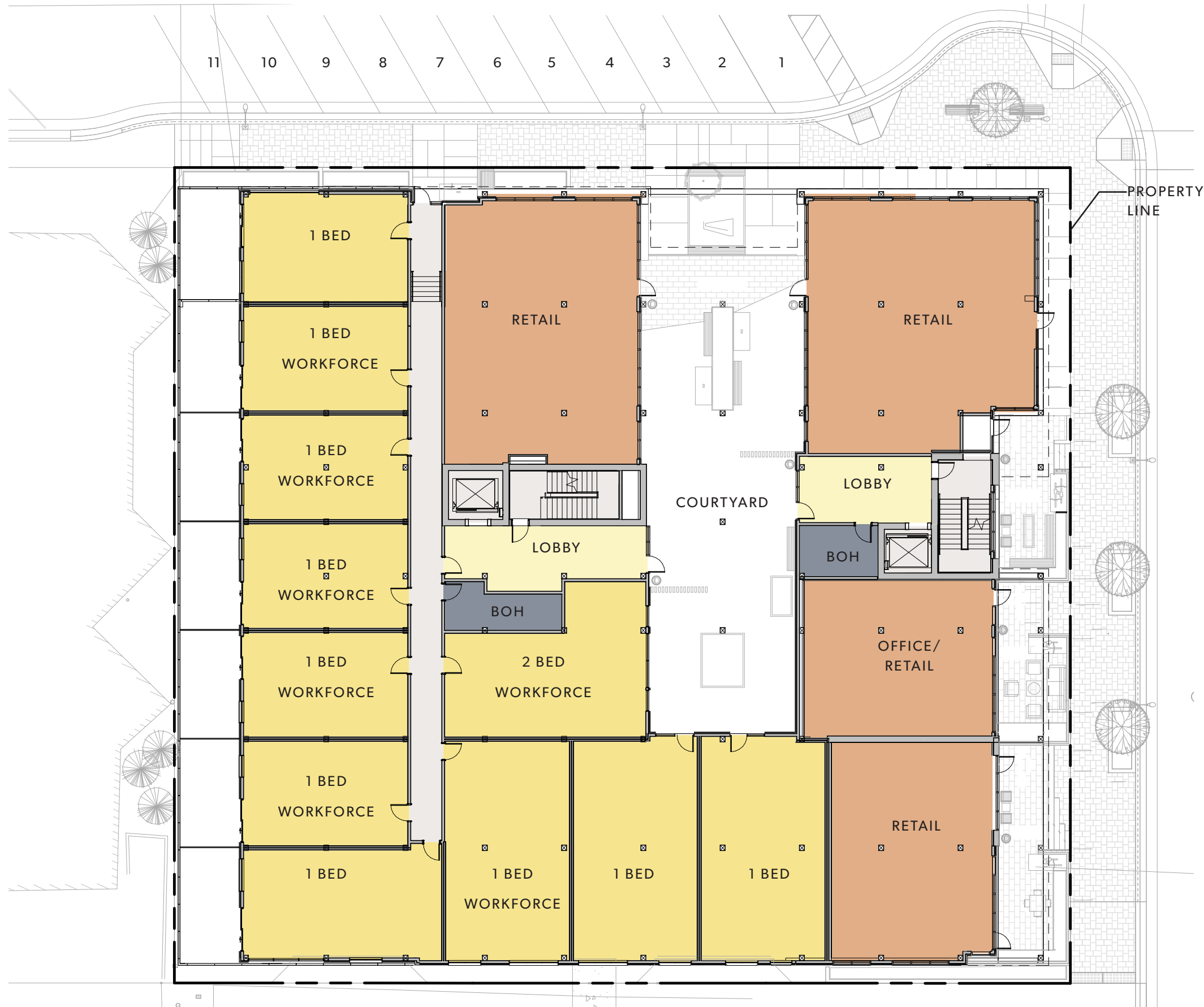


LEVEL P1
SCALE: 1" = 20'-0"



LICENSED
ARCHITECT
AR-987252

TIINA I RITVAL
STATE OF IDAHO
Tina I. Ritval



LEVEL 1
SCALE: 1" = 20'-0"



LICENSED ARCHITECT
AR-987252

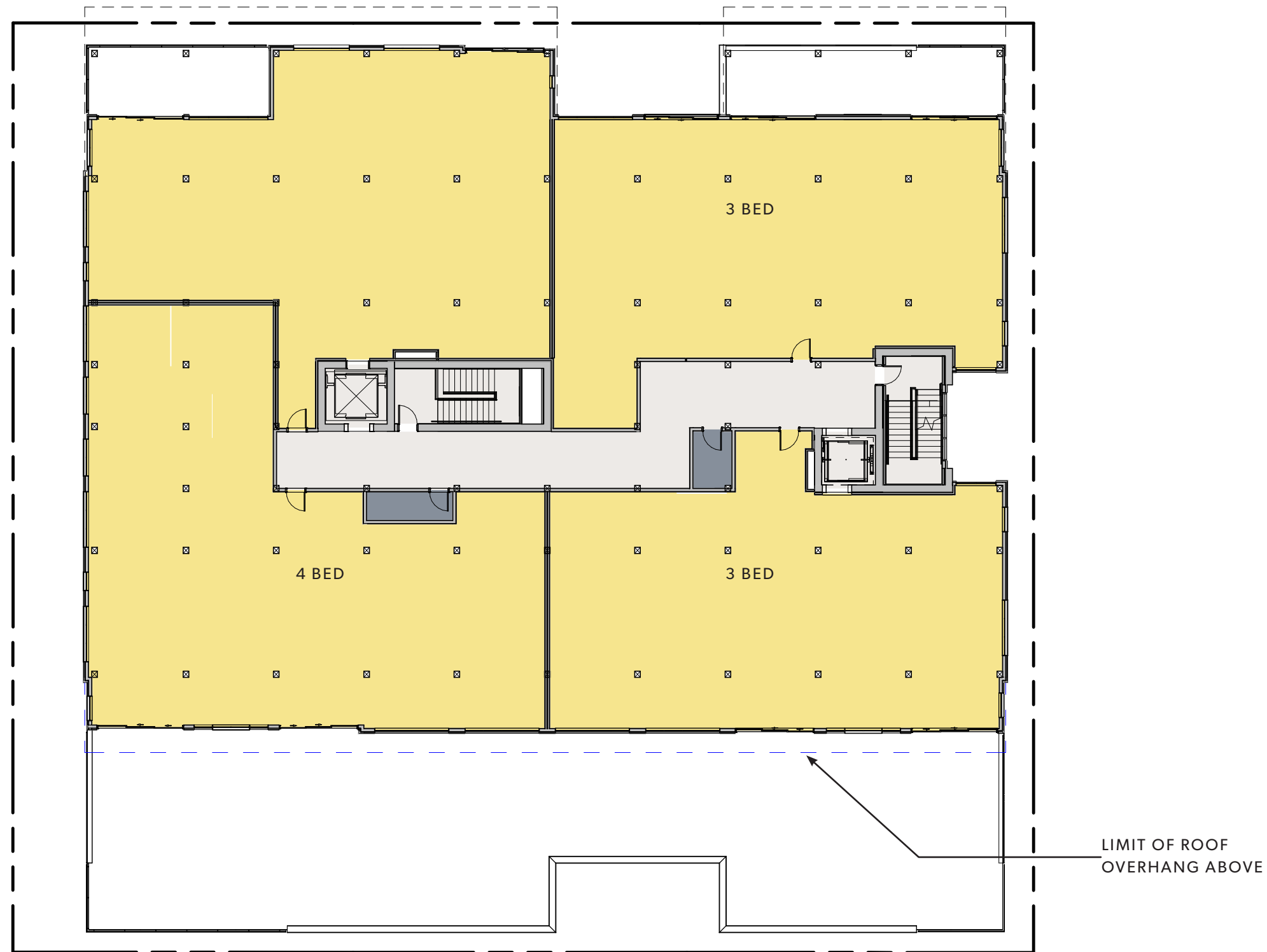
TINA RITVAL
STATE OF IDAHO

Tina Ritval



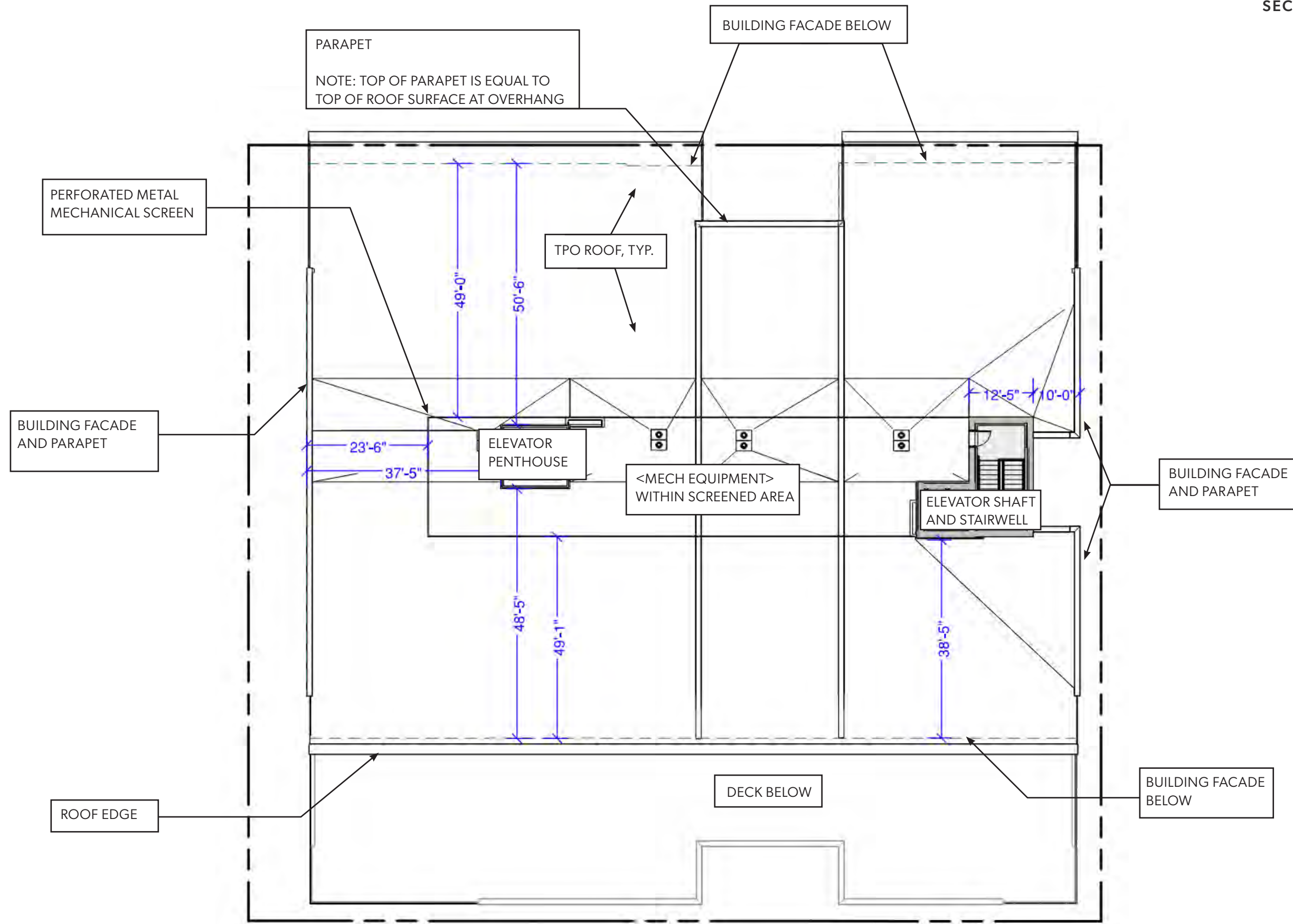
LEVEL 2
SCALE: 1" = 20'-0"



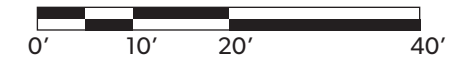


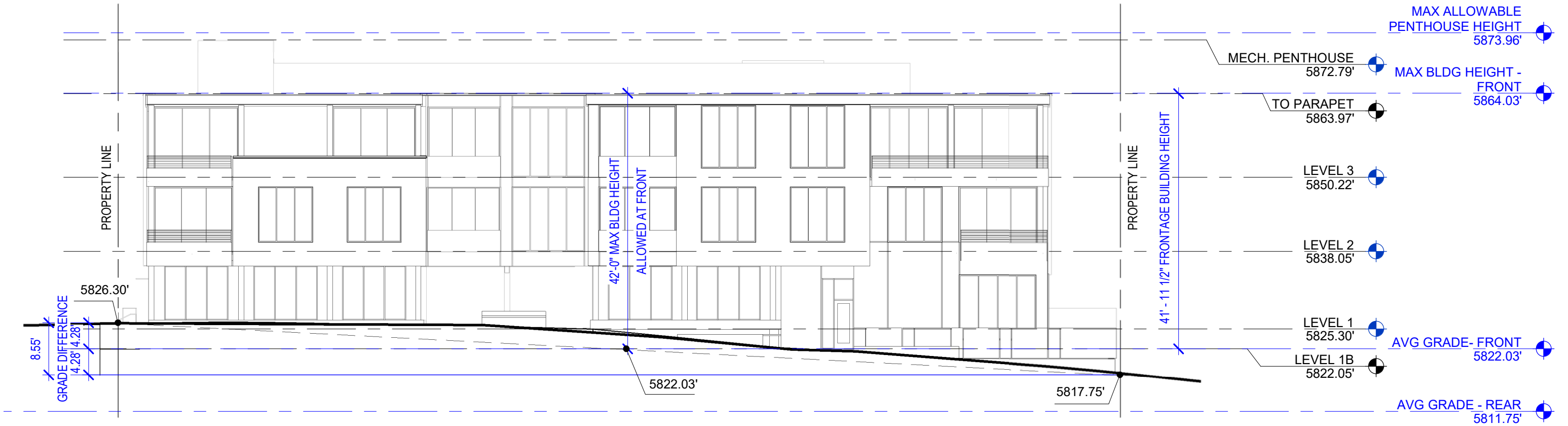
LEVEL 3
SCALE: 1" = 20'-0"





ROOF PLAN
SCALE: 1" = 20'-0"

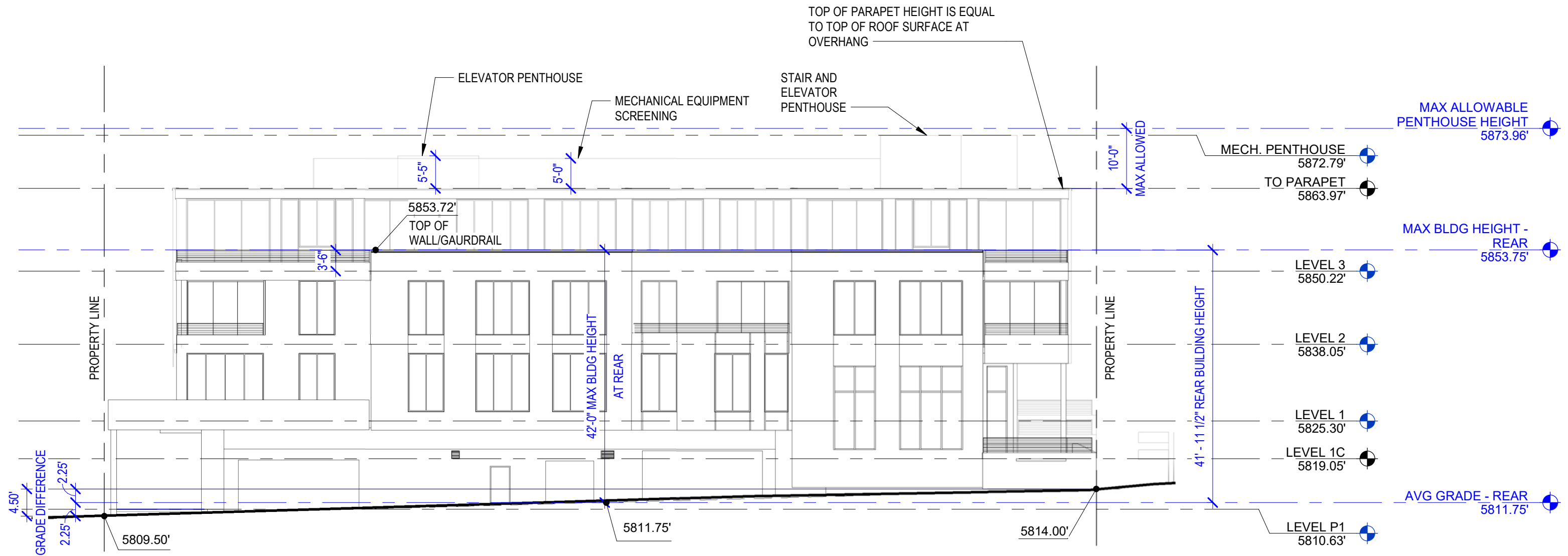




PLAN NORTH ELEVATION - MAX BUILDING HEIGHT ALONG FRONTAGE

SCALE: 1/16" = 1'-0"

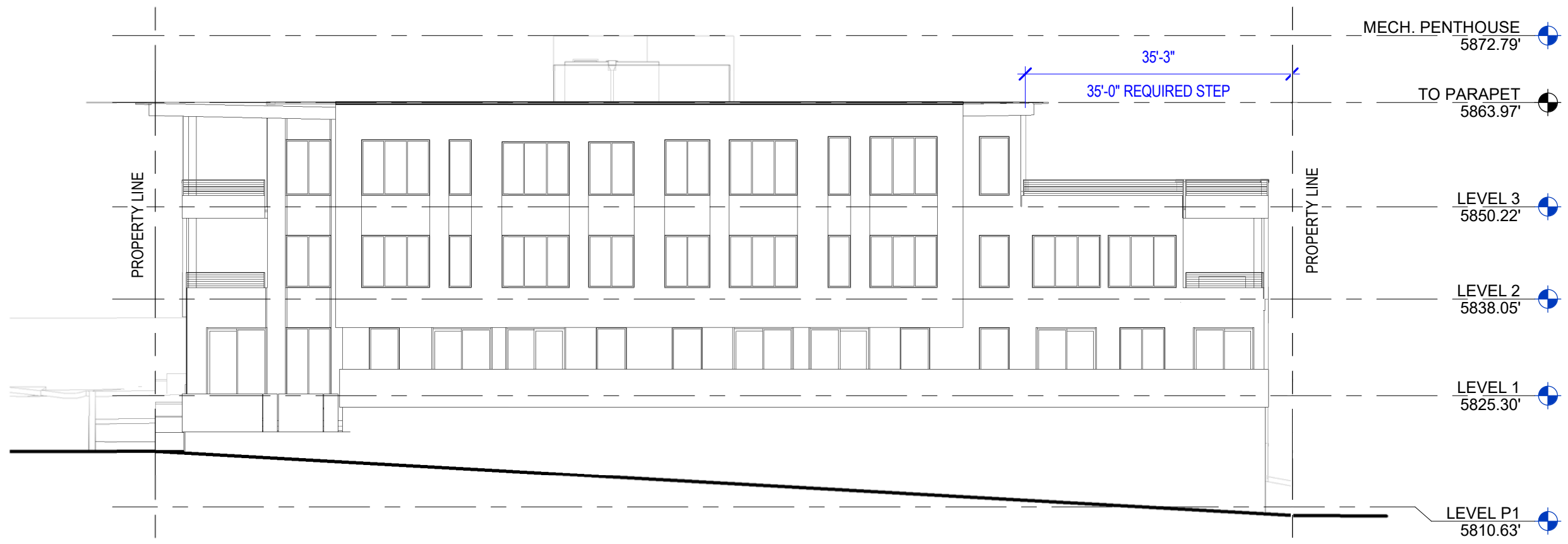




PLAN SOUTH ELEVATION DIAGRAM- MAX BUILDING HEIGHT ALONG REAR

SCALE: 1/16" = 1'-0"





PLAN WEST ELEVATION - BUILDING STEP COMPLIANCE

SCALE: 1/16" = 1'-0"


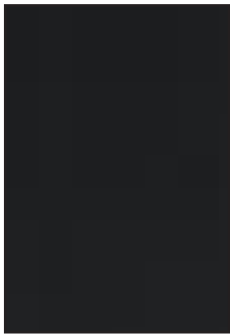
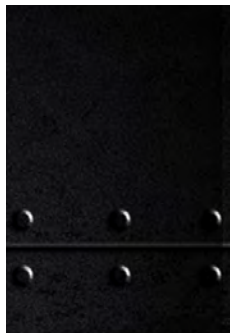




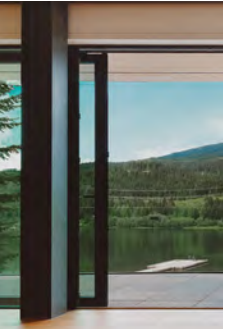




PLAN EAST ELEVATION - 4TH ST

SCALE: 1/16" = 1'-0"

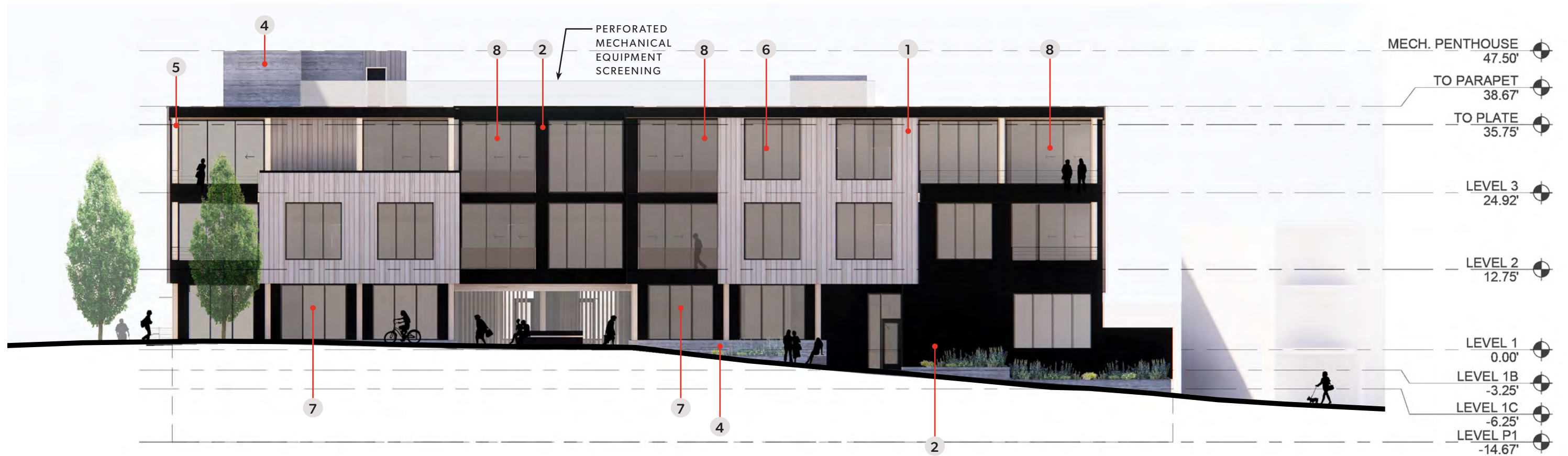


- 
1 WOOD CLADDING
- 
2 PRE-FINISHED METAL PANEL CLADDING
- 
3 PAINTED STEEL PLATE RAILING WITH RIVET DETAILS
- 
4 BOARD FORM CONCRETE
- 
5 EXPOSED CLT STRUCTURE
- 
6 WINDOWS
- 
7 ALUMINUM STOREFRONT
- 
8 MULTI-PANEL SLIDING GLASS DOORS (OPERABLE WALL)

LICENSED ARCHITECT
AR-987252


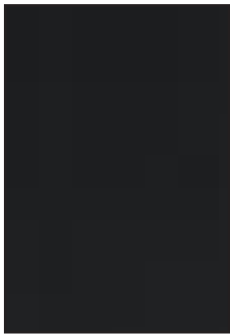
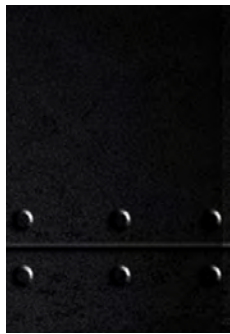





TIINA I RITVAL
STATE OF IDAHO

Um-1. Pim



PLAN NORTH ELEVATION - 1ST AVE
SCALE: 1/16" = 1'-0"

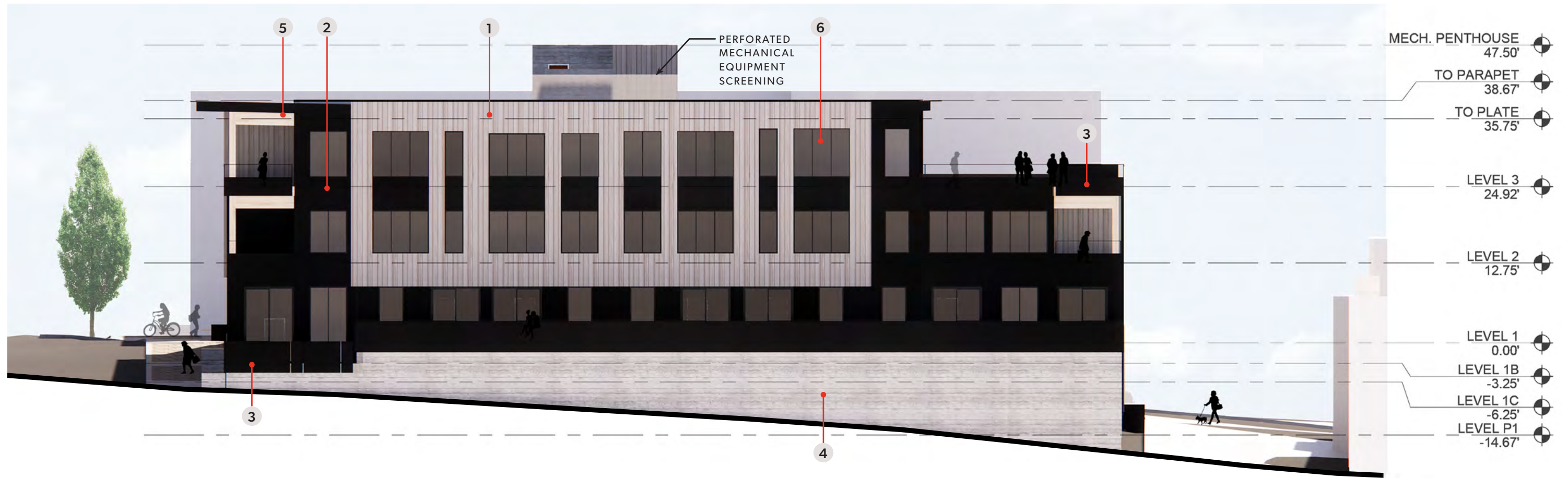


- 
1 WOOD CLADDING
- 
2 PRE-FINISHED METAL PANEL CLADDING
- 
3 PAINTED STEEL PLATE RAILING WITH RIVET DETAILS
- 
4 BOARD FORM CONCRETE
- 
5 EXPOSED CLT STRUCTURE
- 
6 WINDOWS
- 
7 ALUMINUM STOREFRONT
- 
8 MULTI-PANEL SLIDING GLASS DOORS (OPERABLE WALL)


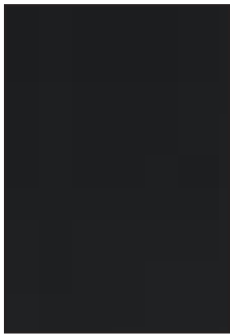
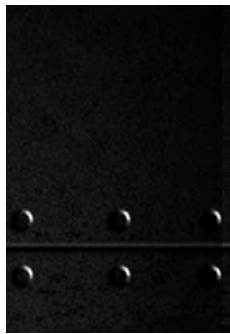





LICENSED ARCHITECT
AR-987252

TIINA I RITVAL
STATE OF IDAHO

Ums-I. Pitum



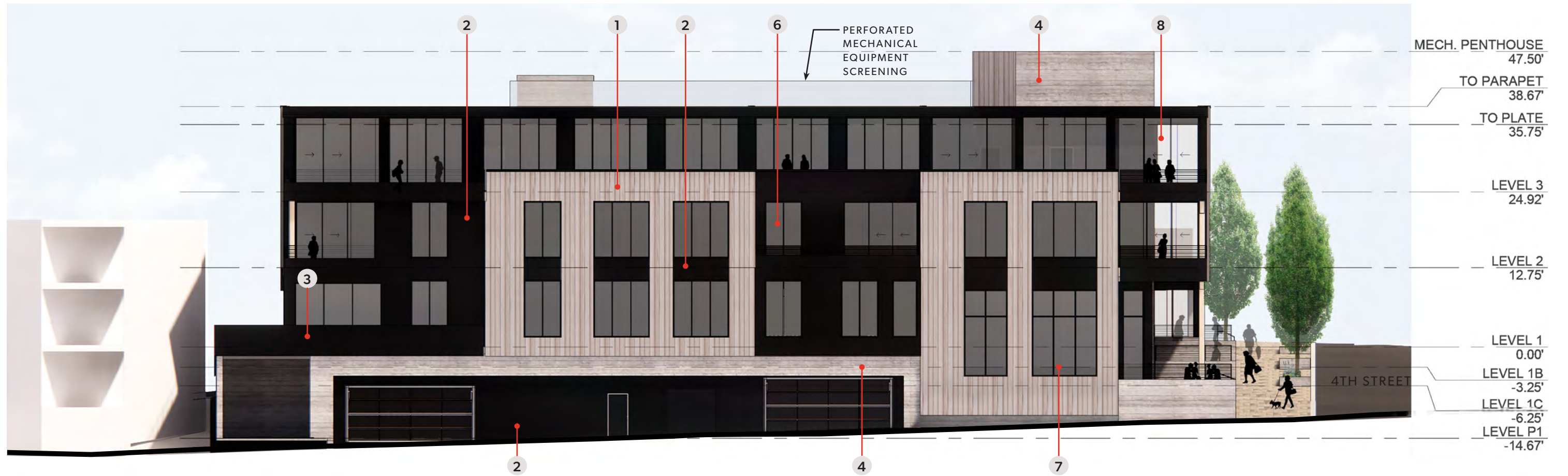
PLAN WEST ELEVATION - EXISTING CONDO SIDE
SCALE: 1/16" = 1'-0"

- 
1 WOOD CLADDING
- 
2 PRE-FINISHED METAL PANEL CLADDING
- 
3 PAINTED STEEL PLATE RAILING WITH RIVET DETAILS
- 
4 BOARD FORM CONCRETE
- 
5 EXPOSED CLT STRUCTURE
- 
6 WINDOWS
- 
7 ALUMINUM STOREFRONT
- 
8 MULTI-PANEL SLIDING GLASS DOORS (OPERABLE WALL)

LICENSED ARCHITECT
AR-987252

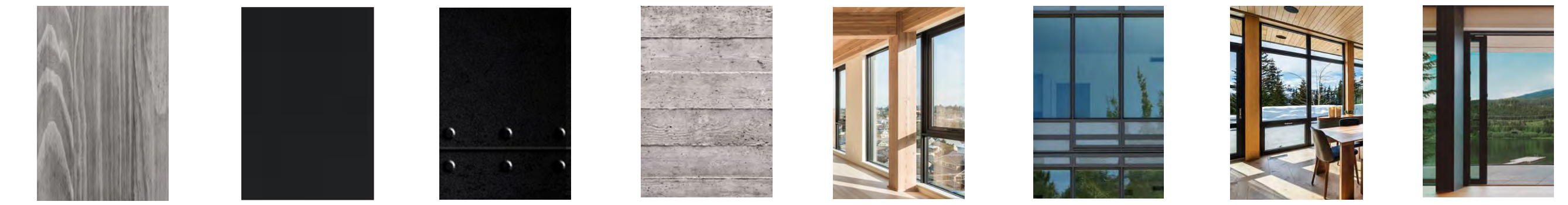
TIINA I RITVAL
STATE OF IDAHO
Um... P...m

WEST ELEVATION
SCALE: 1" = 16'



PLAN SOUTH ELEVATION - ALLEY

SCALE: 1/16" = 1'-0"



LICENSED ARCHITECT AR-987252

TIINA I RITVAL STATE OF IDAHO

Umsi. P. P. P.









SUSTAINABILITY GOALS

HIGH QUALITY AND HIGH PERFORMING SPACES



Providing high performance, thermal comfort, and low energy costs in spaces that are high quality.

Well crafted thermal envelope for optimal occupant thermal comfort and energy efficiency as well as savings.

VRF HVAC system

Well daylit

High efficiency LED lighting

Low Flow fixtures and recirculating pumps for water conservation

High efficiency appliances for low energy use

CLIMATE RESPONSIBLE BUILDING MATERIALS



Proposed use of high quality materials that speak to performance and aesthetics.

CLT STRUCTURE

Carbon sequestering, sustainably harvested and processed in Montana. Material can be reused at life and is biodegradable.

HIGH PERFORMANCE GLAZING

Balancing high performing U-Value, SHGC (solar heat gain coefficient), thermal bridging, and aesthetics. Taking advantage of low winter sun but providing protection from excessive summer sun heat gain.

WELL COATED//FINISHED AND MAINTAINED WOOD CLADDING

Locally harvested and processed, circular as a renewable and biodegradable material, sequesters carbon, non-toxic and ultra low VOC.

DURABLE, WEATHER RESISTANT, AND WELL DETAILED METAL SIDING

Recyclable and reusable material at end of life. High recycled content as well as long life and low maintenance.

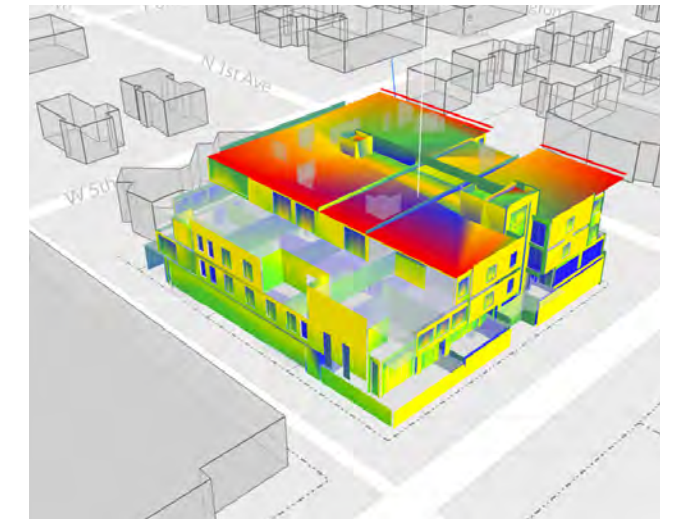
SITE

77

Walk Score®
Very Walkable

79

Bike Score®
Very Bikeable



Taking advantage of the existing site conditions and optimizing them to create an efficient and site responsive design.

WALKABILITY

Project site is highly walkable and bikeable area, giving occupants the opportunity to access all the amenities Ketchum has to offer.

SOLAR STRATEGY

Maximize southern facade exposure

Incorporate deep overhangs

(Gain low winter sun and block high summer sun)

Setback to the Post office side is more hospitable for solar exposure

WIND STRATEGY

Outdoor decks are protected from cold northern winter winds

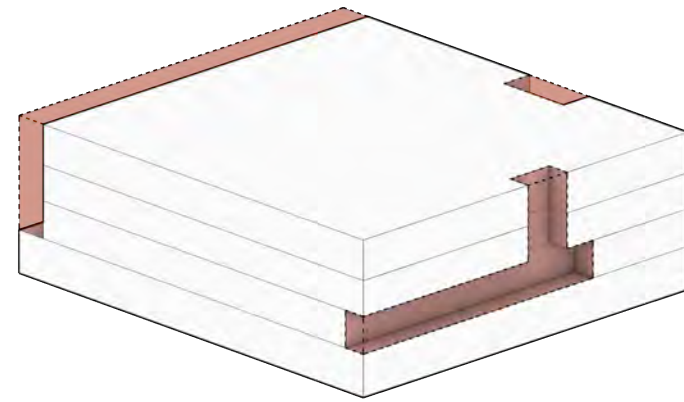
Provide protected courtyard space

Unit decks tucked in to protect from cold northern winter winds

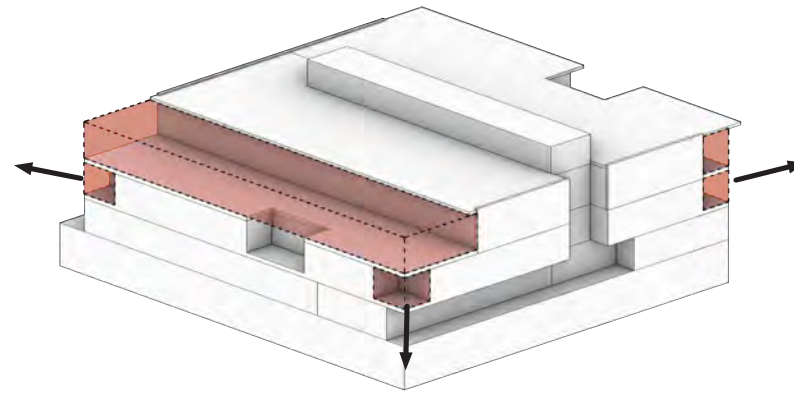
VIEWS

Quality views maximized with analysis to design

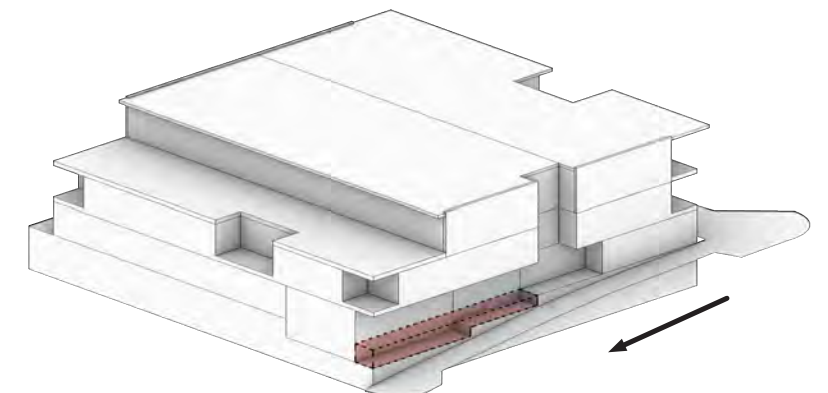
MASSING REDUCTIONS AND MODULATIONS



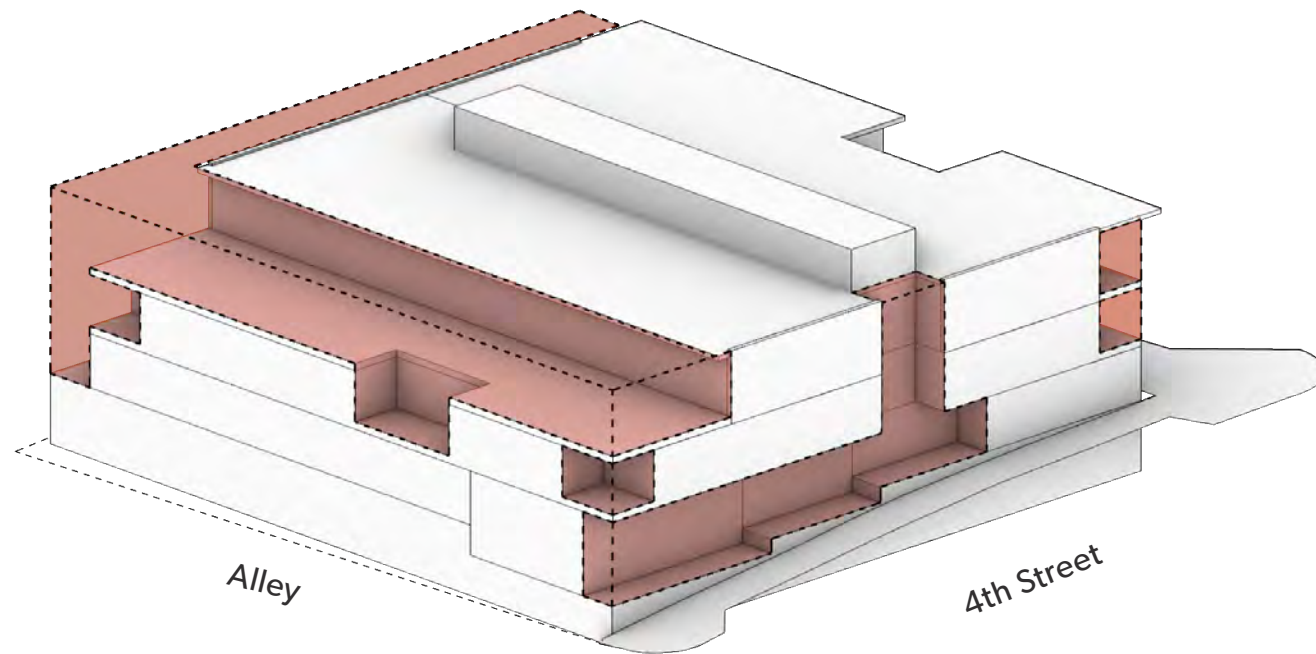
CARVE FOR DAYLIGHT



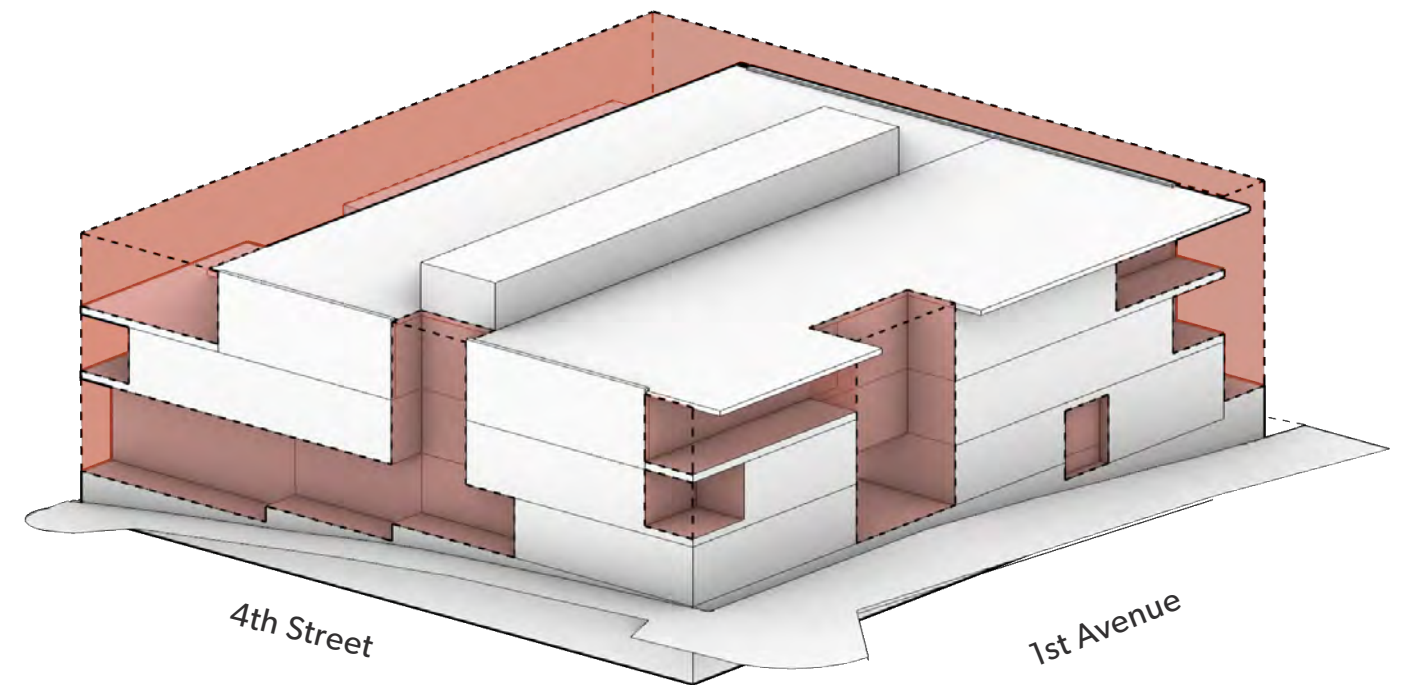
DECKS / OVERHANGS AT CORNERS



RESPOND TO TOPOGRAPHY SLOPE



AXON ALONG ALLEY AND 4TH STREET



AXON ALONG 1ST AND 4TH STREET

UNDERGROUND PARKING - DEVIATION FROM ZONING

DEFINITIONS FROM CODE OF ORDINANCES CITY OF KETCHUM, IDAHO 17.08.020

FLOOR AREA, GROSS

The horizontal area of the building measured along the outside walls of each floor of a building or portion of a building, including stair towers and elevators on the ground floor only, but not including basements or underground parking areas (see definition following). Parking areas covered by a roof or portion of the building and enclosed on three or more sides by building walls are included.

UNDERGROUND PARKING

An enclosed off street parking area within the lowest floor of a building; provided, that a minimum of 75 percent of the ceiling surface area of such floor is not more than four feet above the basement invisible plane

Seeking variance to:

1. Exceed 75 percent of ceiling surface area.
2. Exclude underground parking from FAR

No visual difference between Code Compliant version and Variance version from anywhere along the street

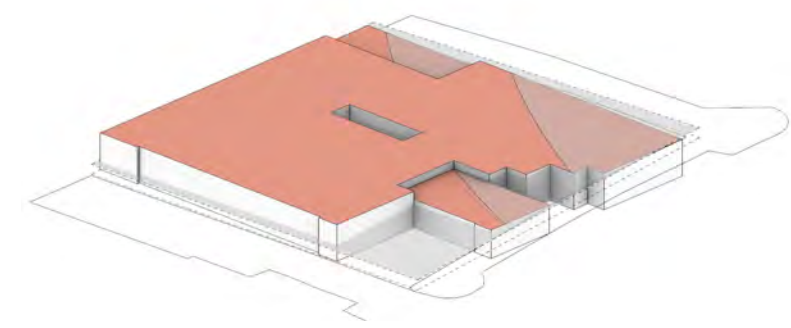
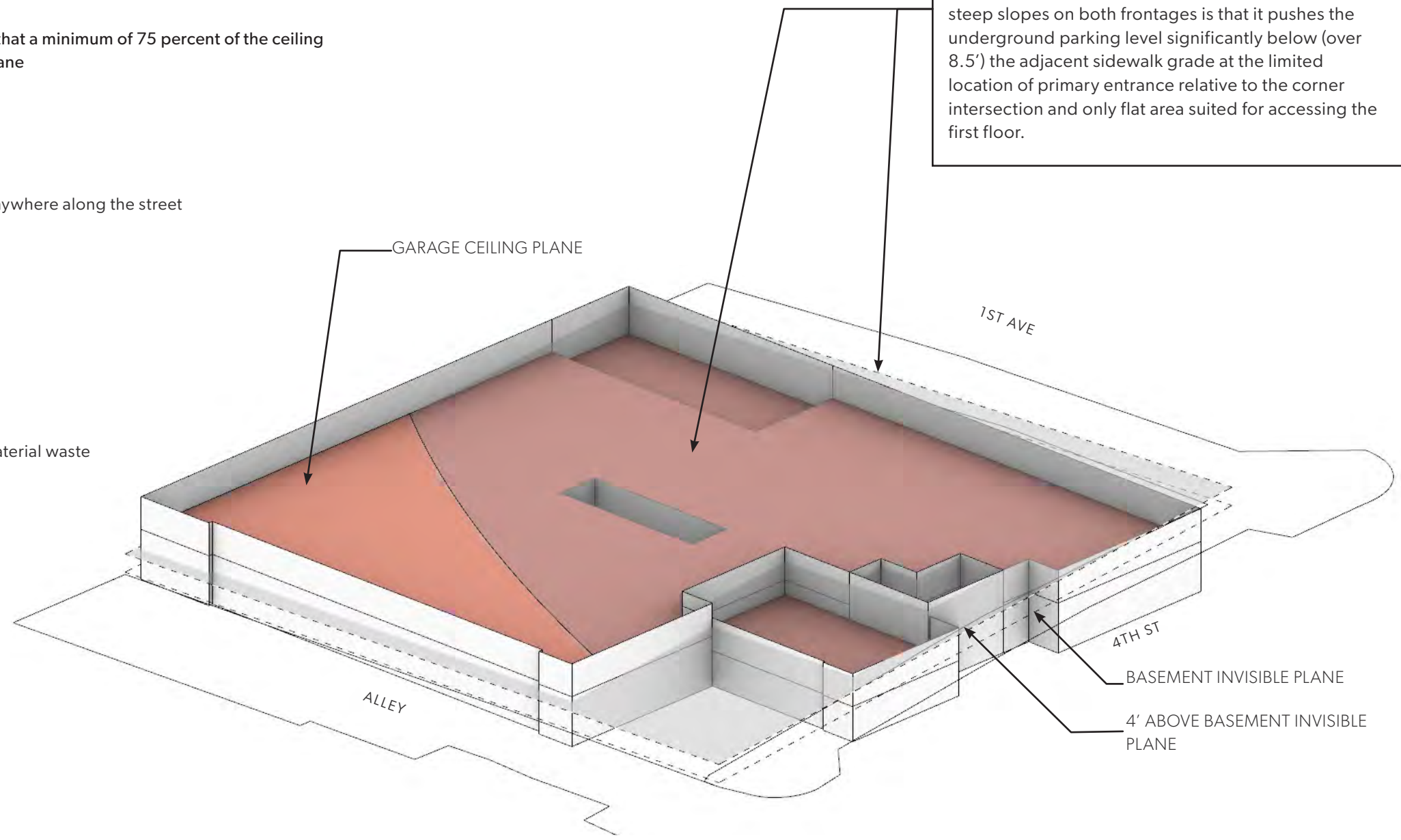
CODE COMPLIANT OPTION:

- **Less parking** provided on site
- **extended duration** of excavation
- **increased number of dump truck loads** for soil removal
- unnecessary construction of additional overframing to accessible entrance

PROPOSED DESIGN WITH VARIANCE:

- **Minimizes** impact at grade at 1st Ave N. & 4th St.
- **Reduce** accessible route issues
- **Reduce** excavation at parking (to meet vertical clearances) and construction material waste
- Maintain height clearance in parking garage
- No dangerous precedent set due to unique site topography

Zoning code excludes underground parking from FAR, provided the underground parking meets the definition by being located at least 75% below the basement plane. The unique result of meeting this dimensional definition on this particular site with steep slopes on both frontages is that it pushes the underground parking level significantly below (over 8.5') the adjacent sidewalk grade at the limited location of primary entrance relative to the corner intersection and only flat area suited for accessing the first floor.

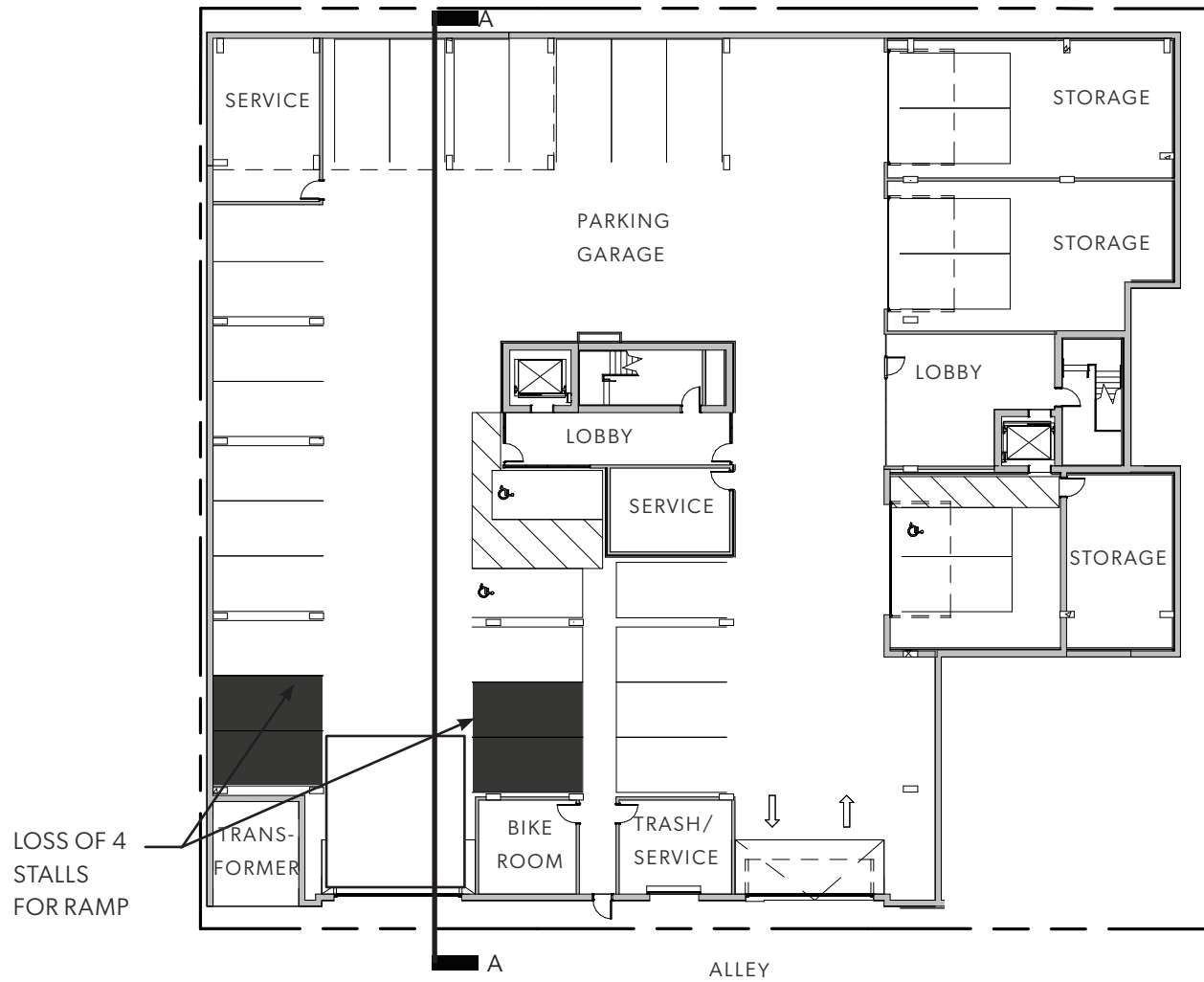


PROPOSED DESIGN

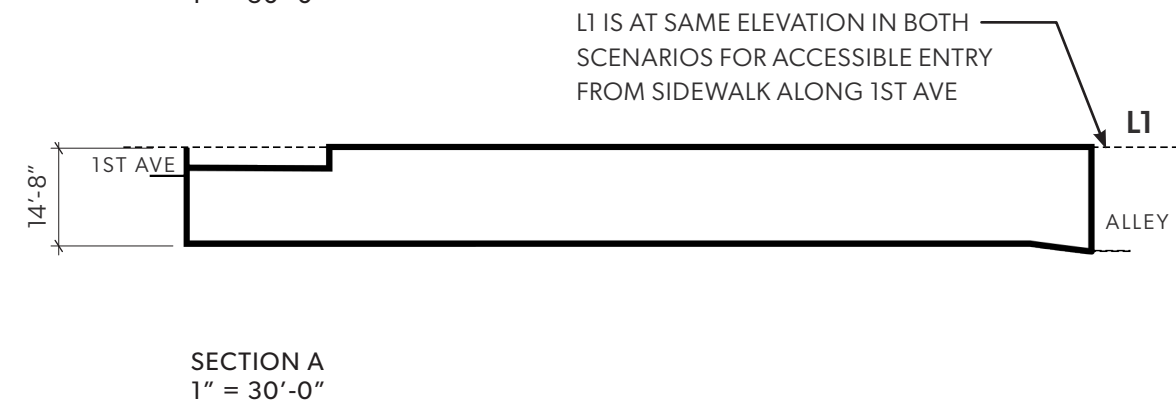
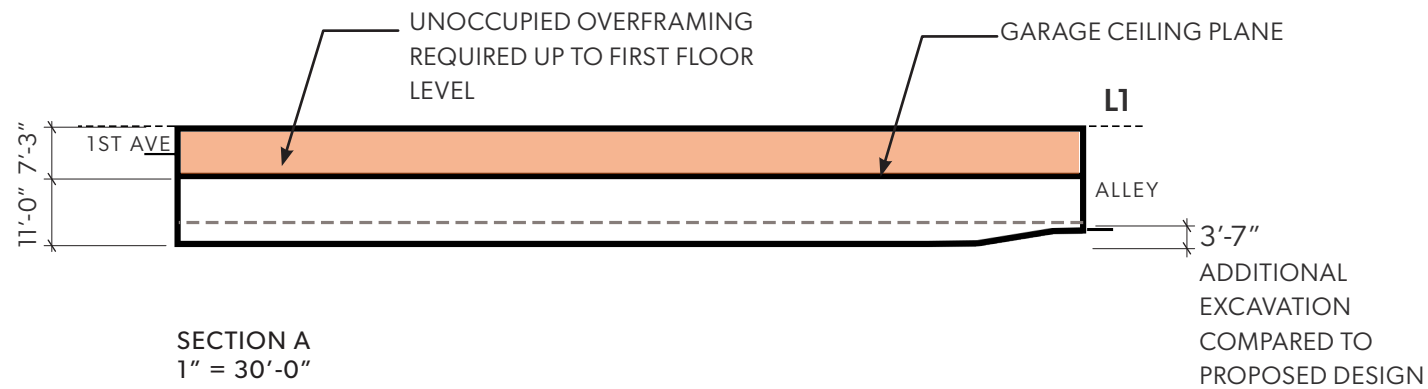
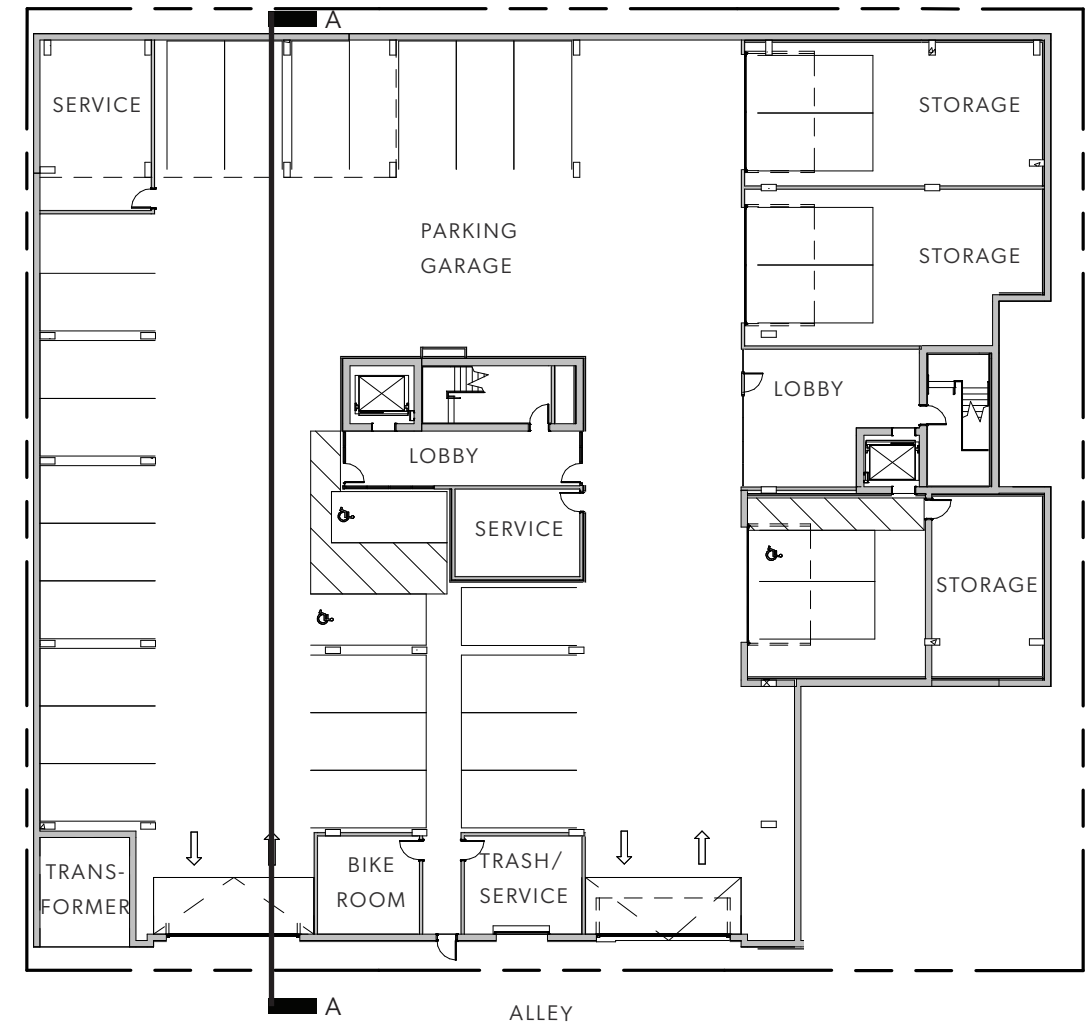
CODE COMPLIANT DESIGN

UNDERGROUND PARKING - DEVIATION FROM ZONING

CODE COMPLIANT DESIGN



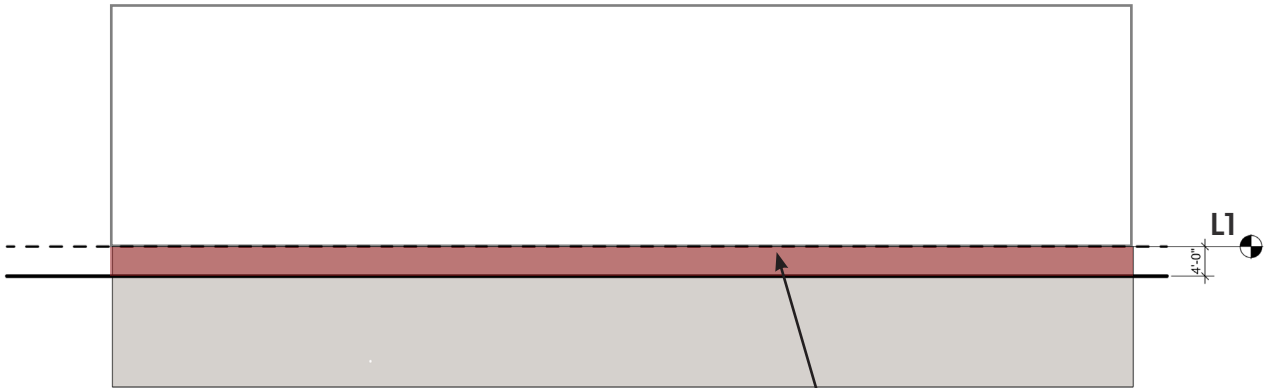
PROPOSED DESIGN



UNDERGROUND PARKING - DEVIATION FROM ZONING

CODE COMPLIANT DESIGN

ON A TYPICAL FLAT OR MODERATELY SLOPED SITE THE UNDERGROUND PARKING DEFINITION ALLOWS 4 FEET (UP TO 33%) OF THE PARKING LEVEL BE VISIBLE ABOVE THE SIDEWALK GRADE AND CONTRIBUTE TO BULK OF STRUCTURE WHICH FAR RESTRICTIONS ARE INTENDED TO LIMIT.



ELEVATION ALONG 4TH STREET

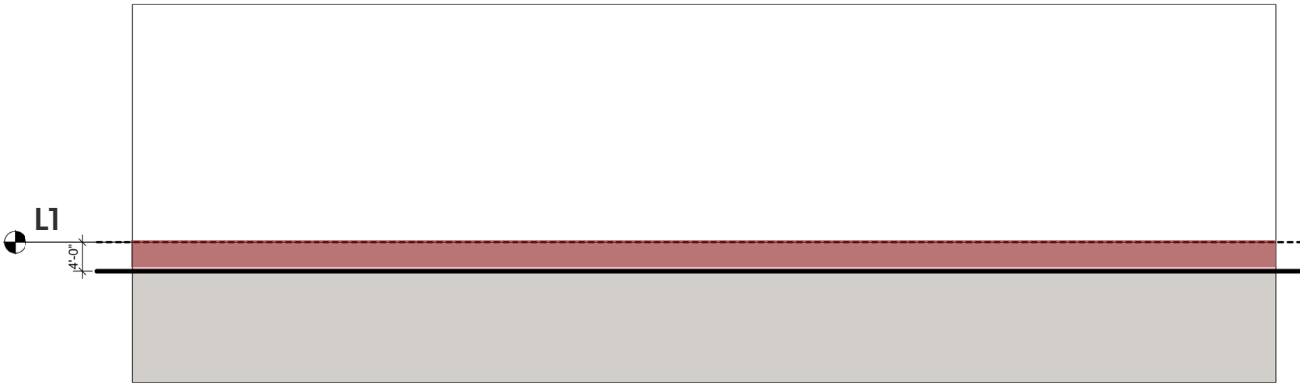
LARGE AMOUNT OF BASEMENT WALL VISIBLE FROM THE STREET, AND WOULD BE ALLOWED PER CODE ON A FLAT SITE

PROPOSED DESIGN

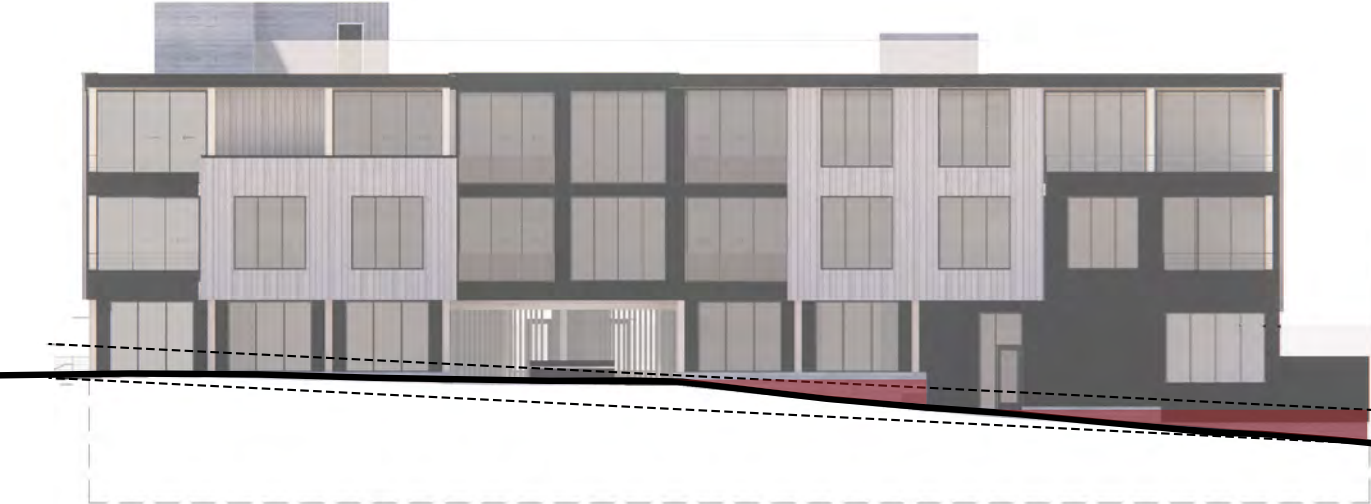


ELEVATION ALONG 4TH STREET

MINIMAL AMOUNT OF BASEMENT WALL VISIBLE FROM THE STREET



ELEVATION ALONG 1ST AVE



ELEVATION ALONG 1ST AVE

