



**City of Ketchum
Planning & Building**

IN RE:)	
)	
Miller Residence)	KETCHUM PLANNING & ZONING COMMISSION
Design Review)	FINDINGS OF FACT, CONCLUSIONS OF LAW, AND
Date: August 8, 2023)	DECISION
)	
File Number: 22-046)	

PROJECT: Miller Residence

FILE NUMBER: P22-046

APPLICATION TYPE: Mountain Overlay Design Review

REPRESENTATIVE: Aaron Bunse – Studio DVLP, LLC (architect)

PROPERTY OWNER: Paramount Property Development LLC

LOCATION: 219 Hillside Drive (Lot 9, Block 5, Warm Springs Valley Subdivision)

ZONING: Limited Residential (LR) & Mountain Overlay (MO)

REVIEWER: Paige Nied – Associate Planner

RECORD OF PROCEEDINGS

The Planning and Zoning Commission considered the 219 Hillside Drive Design Review (Application File No. 22-046) and Conditional Use Permit (Application File No. 22-046A) applications during their regular meeting on June 13, 2023, meeting of the Planning & Zoning Commission and was continued to a regular meeting on July 11, 2023. The development applications were considered concurrently, and the associated public hearings were combined in accordance with Idaho Code §67-6522.

A public hearing notice for the project was mailed to all owners of property within 300 feet of the project site and all political subdivisions on May 24, 2023. The public hearing notice was published in the Idaho Mountain Express on May 24, 2023. A notice was posted on the project site and the city’s website on June 6, 2023. Story poles were documented on the project site as of June 6, 2023.

FINDINGS OF FACT

The Planning & Zoning Commission, having reviewed the entire project record, provided notice, and conducted the required public hearing, does hereby make and set forth these Findings of Fact, Conclusions of Law, and Decision as follows:

BACKGROUND

The applicant is proposing a new 3,745 square foot three-story single-family residence (the “project”), located at 219 Hillside Drive (the “subject property”). The project contains four bedrooms and an attached two car garage. The subject property is zoned Limited Residential (LR) in the Mountain Overlay District (MOD), and the lot is currently vacant.

The project will construct improvements in the right-of-way per the City of Ketchum improvement standards. The project proposes paver a driveway with no snowmelt system. All improvements to the right-of-way have been preliminarily reviewed by the Streets Department and the City Engineer. Final review of the proposed improvements will be conducted by the City Engineer and Streets Department prior to issuance of building permit.

During the Planning and Zoning meeting on June 13, 2023, the Commission requested additional information regarding the avalanche retaining wall’s flow deflection and roof pitches of the home and continued the applications to the July 11, 2023, meeting. The applicant submitted a clarification letter to accompany the site-specific avalanche report, revised the grading and architectural plans to increase the exposed height of the retaining wall, and removed the can exterior lighting fixtures from the patio. Upon review of the new application materials, staff and applicant presentation, and public comment, the Commission approved the Design Review and Conditional Use Permit applications.

FINDINGS REGARDING COMPLIANCE WITH ZONING CODE AND DIMENSIONAL STANDARDS

Compliance with Zoning and Dimensional Standards				
Compliant			Standards and Findings	
Yes	No	N/A	Ketchum Municipal Code	City Standards and Findings
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	Minimum Lot Area
			Finding	Required: 9,000 square feet Existing: 111,849 square feet (2.57 acres)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	Building Coverage
			Finding	Permitted: 35% Proposed: 3.4% (3,745 square feet / 111,849 square feet lot area)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	Minimum Building Setbacks
			Finding	Minimum Required Setbacks: Front: 15’ Side: > of 1’ for every 2’ in building height, or 10’ (18’ required) Rear: 20’ Proposed: Front (Hillside Drive/south): 15’

				Side (east): 18.34' Side (west): 99.1' Rear (north): 477'
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	Building Height
			Finding	Maximum Permitted: 35' (properties which step up or down hillsides may extend 5 feet above the maximum height permitted in the zoning district) Proposed: 36' – 8"
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.125.030.H	Curb Cut
			Finding	Permitted: A total of 35% of the linear footage of any street frontage can be devoted to access off street parking. Proposed: 10% (20-foot-wide driveway/209.08 feet of property frontage along Hillside Drive). The curb cut calculation included both of the front lot lines of the property.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.125.020.A. 2 & 17.125.050	Parking Spaces
			Finding	Off-street parking standards of this chapter apply to any new development and to any new established uses. Required: Residential (one family dwelling), in all applicable zoning districts require two parking spaces. Proposed: The project proposes two parking spaces within the enclosed garage.

FINDINGS REGARDING COMPLIANCE WITH DESIGN REVIEW STANDARDS

17.96.060.A.1 - Streets	Conformance
<i>The applicant shall be responsible for all costs associated with providing a connection from an existing City street to their development.</i>	YES
Finding: The project plans indicate that a new paver driveway will be constructed to access the property from Hillside Drive. All project costs associated with the development, including the City street connection, are the responsibility of the applicant.	

17.96.060.A.2 - Streets	Conformance
<i>All street designs shall be approved by the City Engineer.</i>	YES
Finding: The City Engineer has reviewed the proposed driveway design and finds it to be sufficient for the project. All street designs shall be reviewed and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project.	

17.96.060.B.1 - Sidewalks	Conformance
<i>All projects under subsection 17.96.010.A of this chapter that qualify as a "substantial improvement" shall install sidewalks as required by the Public Works Department.</i>	N/A
Finding: N/A. Ketchum Municipal Code 17.124.140 outlines the zone districts where sidewalks are required when substantial improvements are made, which include the Community Core, all tourist zone districts, and all light industrial districts. The subject property is located within the LR Zone, and sidewalks are not required to be installed for the project. This standard is not applicable.	

17.96.060.B.2 - Sidewalks	Conformance
<i>Sidewalk width shall conform to the City's right-of-way standards, however the City Engineer may reduce or increase the sidewalk width and design standard requirements at their discretion.</i>	N/A
Finding: N/A. The subject property is located within the LR Zone, and sidewalks are not required to be installed for this project.	

17.96.060.B.3 - Sidewalks	Conformance
<p data-bbox="147 871 1190 919"><i>Sidewalks may be waived if one of the following criteria is met:</i></p> <ul style="list-style-type: none"> <li data-bbox="212 947 1190 1024">a) <i>The project comprises an addition of less than 250 square feet of conditioned space.</i> <li data-bbox="212 1024 1190 1178">b) <i>The City Engineer finds that sidewalks are not necessary because of existing geographic limitations, pedestrian traffic on the street does not warrant a sidewalk, or if a sidewalk would not be beneficial to the general welfare and safety of the public.</i> 	N/A
Finding: N/A. The subject property is located within the LR Zone, and sidewalks are not required to be installed for this project.	

17.96.060.B.4 - Sidewalks	Conformance
<i>The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.</i>	N/A
Finding: N/A. The subject property is located within the LR Zone, and sidewalks are not required to be installed for this project.	

17.96.060.B.5 – Sidewalks	Conformance
<i>New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.</i>	N/A
Finding: N/A. Ketchum Municipal Code 17.124.140 outlines the zone districts where sidewalks are required when substantial improvements are made, which include the CC, all tourist zone districts, and all light industrial districts. The subject property is located in the LR Zone, and sidewalks are not required to be installed for this project.	

17.96.060.B.6 - Sidewalks	Conformance
<p><i>The City may approve and accept voluntary cash contributions in lieu of the above described improvements, which contributions must be segregated by the City and not used for any purpose other than the provision of these improvements. The contribution amount shall be 110 percent of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the City Engineer. Any approved in lieu contribution shall be paid before the City issues a certificate of occupancy.</i></p>	N/A
<p>Finding: N/A. The subject property is located within the LR Zone, and sidewalks are not required to be installed for this project.</p>	

17.96.060.C.1 - Drainage	Conformance
<p><i>All stormwater shall be retained on site.</i></p>	YES
<p>Finding: Pursuant to KMC §17.96.060.C.1, all storm water drainage shall be retained on site. Drainage improvements are specified on Sheet C1.0 of the project plans. The drainage improvements include the installation of a trench drain bordering the length of the driveway. A combination of drywells and catch basins will be installed to collect stormwater from the rest of the property. The City Engineer has reviewed the proposed drainage plan and believes the trench drain and drywell improvements are sufficient to maintain all storm water drainage on-site. All drainage plans and specifications shall be reviewed and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project.</p>	

17.96.060.C.2 - Drainage	Conformance
<p><i>Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.</i></p>	YES
<p>Finding: Drainage improvements are specified on Sheet C1.0 of the project plans. The drainage improvements include the installation of a trench drain bordering the length of the driveway. A combination of drywells and catch basins will be installed to collect stormwater from the rest of the property. The City Engineer has reviewed the proposed drainage plan and believes the trench drain and drywell improvements are sufficient to maintain all storm water drainage on-site. All drainage plans and specifications shall be reviewed and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project.</p>	

17.96.060.C.3 - Drainage	Conformance
<p><i>The City Engineer may require additional drainage improvements as necessary, depending on the unique characteristics of a site.</i></p>	YES
<p>Finding: The City Engineer has reviewed the proposed drainage plan and believes the trench drain and drywell/catch basin improvements are sufficient to maintain all storm water drainage on-site. The City Engineer may require additional drainage improvements if necessary. If approved, the applicant shall submit final civil drawings for all drainage improvements with the building permit application to be verified, reviewed, and approved by the City Engineer and Streets Department.</p>	

17.96.060.C.4 - Drainage	Conformance
<i>Drainage facilities shall be constructed per City standards.</i>	YES
<p>Finding: The drainage improvements include the installation of a trench drain bordering the width of the driveway along Hillside Drive. A combination of drywells and catch basins will be installed to collect stormwater from the rest of the property. The City Engineer has reviewed the proposed drainage plan and believes the proposed trench drain and drywell improvements meet city standards. All drainage plans and specifications shall be reviewed and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project.</p>	

17.96.060.D.1 - Utilities	Conformance
<i>All utilities necessary for the development shall be improved and installed at the sole expense of the applicant.</i>	YES
<p>Finding: All project costs associated with the development, including the installation of utilities, are the responsibility of the applicant. The applicant has not made requests for funding to the City for utility improvements. No funds have been provided by the City for the project.</p>	

17.96.060.D.2 - Utilities	Conformance
<i>Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view.</i>	YES
<p>Finding: As shown on Sheet C1.0 of the project plans, the applicant has proposed connecting to the municipal water and sewer systems from existing lines on Hillside Drive. Requirements and specification for the water and sewer connections will be verified, reviewed, and approved by the Utilities Department prior to issuance of a Building Permit for the project.</p>	

17.96.060.D.3 - Utilities	Conformance
<i>When extension of utilities is necessary all developers will be required to pay for and install two-inch SDR11 fiber optical conduit. The placement and construction of the fiber optical conduit shall be done in accordance with City of Ketchum standards and at the discretion of the City Engineer.</i>	N/A
<p>Finding: N/A. Extension of utilities is not necessary to service the proposed development.</p>	

17.96.060.E.1 – Compatibility of Design	Conformance
<i>The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures.</i>	YES
<p>Finding: Pursuant to Ketchum Municipal Code §17.96.060.E1, “The project’s materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures.” Hillside Drive features residences built at varying timeframes resulting in a diverse range of materials and architectural styles. This has resulted in mountain modern architectural styles (flat roofs, high percentage of glazing, and cold materials such as concrete and metal) mixed with older traditional styles (pitched roofs and warm materials such as wood and stone). The adjacent structure to the lookers right is three stories in height and features a</p>	

Santa Fe architectural style which has flat roofs with stucco and block forms. The structure to the lookers left is one story in height with pitched roofs and stucco and stone siding. The architectural style of the proposed residence is modern in nature; however, it is complementary of the newer and older residences of the neighborhood as it utilizes wood and steel cladding, board formed concrete, large windows, and shed roofs sloped away from each other which presents as a pitched roof.

17.96.060.E.2 – Compatibility of Design	Conformance
<i>Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.</i>	N/A
Finding: N/A. The subject property does not contain any significant landmarks.	

17.96.060.E.3 – Compatibility of Design	Conformance
<i>Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to.</i>	N/A
Finding: N/A. The subject property is vacant, therefore no additions to existing buildings will take place.	

17.96.060.F.1 – Architectural	Conformance
<i>Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined.</i>	N/A
Finding: N/A. Ketchum Municipal Code 17.124.140 outlines the zone districts where sidewalks are required when substantial improvements are made, which include the Community Core, all tourist zone districts, and all light industrial districts. The subject property is located within the LR Zone, and sidewalks are not required to be installed for the project. This standard is not applicable.	

17.96.060.F.2 – Architectural	Conformance
<i>The building character shall be clearly defined by use of architectural features.</i>	YES
Finding: As stated previously, the proposed development utilizes a mountain modern, yet traditional design which utilizes clean lines, large windows, pitched roof, and a mix of warm and cold materials.	

17.96.060.F.3 – Architectural	Conformance
<i>There shall be continuity of materials, colors and signing within the project.</i>	YES
Finding: The project utilizes wood and corten steel cladding, board formed concrete, and black trimmed windows.	

17.96.060.F.4 – Architectural	Conformance
<i>Accessory structures, fences, walls and landscape features within the project shall match or complement the principal building.</i>	YES

Finding: No accessory structures or fences are proposed. The project proposes landscaping improvements that restore disturbed hillside areas. These landscaping improvements complement and soften the visual appearance of the single-family residence. The front, side, and rear yard setback areas will be restored and revegetated with native grasses. Shrubs are proposed along the sides of the residence, which will screen utilities and the avalanche retaining wall. New Evergreen, Aspen, and Russian Hawthorn trees will be installed to providing screening for the residence from adjacent properties.

17.96.060.F.5 – Architectural	Conformance
<i>Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.</i>	YES
Finding: The proposed residence is three stories in height and each floor of the structure is stepped back into the hillside, providing undulation and relief to reduce the appearance of bulk and flatness.	

17.96.060.F.6 – Architectural	Conformance
<i>Building(s) shall orient toward their primary street frontage.</i>	YES
Finding: The residence is proposed to be oriented towards the primary street frontage along Hillside Drive.	

17.96.060.F.7 – Architectural	Conformance
<i>Garbage storage areas and satellite receivers shall be screened from public view and located off alleys.</i>	YES
Finding: No satellite receivers are proposed for the project. As shown on the sheet entitled “Floor Plan – Level 1” of the architectural plans, the garage contains storage space to accommodate garbage bins. The garbage storage area will be contained within the enclosed garage and fully screened from public view.	

17.96.060.F.8 – Architectural	Conformance
<i>Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties.</i>	YES
Finding: The roof plan indicates that metal gutters will be installed and sloped to downspouts, as shown in the architectural plans in Exhibit A. The roof plan also includes clamp mounted snow guards on the east and west side of the roof to prevent snow from sliding on pedestrian areas.	

17.96.060.G.1 – Circulation Design	Conformance
<i>Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.</i>	N/A
Finding: N/A. This project is located within the Hillside Drive area, an existing low-density residential neighborhood. The site is not contiguous to existing pedestrian, equestrian, or bicycle easements or pathways.	

17.96.060.G.2 – Circulation Design	Conformance
<i>Awnings extending over public sidewalks shall extend five feet or more across the public sidewalk but shall not extend within two feet of parking or travel lanes within the right-of-way.</i>	N/A
Finding: N/A. Ketchum Municipal Code 17.124.140 outlines the zone districts where sidewalks are required when substantial improvements are made, which include the CC, all tourist zone districts, and all light industrial districts. The subject property is located in the LR Zone, and sidewalks are not required to be installed for this project.	

17.96.060.G.3 – Circulation Design	Conformance
<i>Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage.</i>	YES
Finding: The proposal is a residential development along a low traffic area on Hillside Drive. The City Engineer has reviewed the proposed driveway and finds its circulation design to meet city standards. Final circulation design shall be reviewed and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project.	

17.96.060.G.4 – Circulation Design	Conformance
<i>Curb cuts and driveway entrances shall be no closer than 20 feet to the nearest intersection of two or more streets, as measured along the property line adjacent to the right-of-way. Due to site conditions or current/projected traffic levels or speed, the City Engineer may increase the minimum distance requirements.</i>	YES
Finding: The proposed driveway is located further than 20 feet away from the nearest intersection of Hillside Drive and Turf Drive.	

17.96.060.G.5 – Circulation Design	Conformance
<i>Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project.</i>	YES
Finding: Access for emergency vehicles, snowplows and garbage trucks is provided along Hillside Drive.	

17.96.060.H.1 – Snow Storage	Conformance
<i>Snow storage areas shall not be less than 30 percent of the improved parking and pedestrian circulation areas.</i>	YES
Finding: Sheets C1.0 & C2.0 of the project plans show the proposed snow storage areas to include 575 square feet, greater than the required 30% (1,825 * .30 = 547 square feet).	

17.96.060.H.2 – Snow Storage	Conformance
<i>Snow storage areas shall be provided on site.</i>	YES
Finding: Sheet C1.0 shows the snow storage areas to be provided are on-site.	

17.96.060.H.3 – Snow Storage	Conformance
<i>A designated snow storage area shall not have any dimension less than five feet and shall be a minimum of 25 square feet.</i>	YES
Finding: Sheet C1.0 of the project plans indicate that no snow storage area has dimensions less than five feet.	

17.96.060.H.4 – Snow Storage	Conformance
<i>In lieu of providing snow storage areas, snowmelt and hauling of snow may be allowed.</i>	N/A
Finding: N/A. The applicant is not proposing a snowmelt system.	

17.96.060.I.1 – Landscaping	Conformance
<i>Landscaping is required for all projects.</i>	YES
Finding: Landscaping has been provided for the project as indicated on Sheet L2 of the project plans.	

17.96.060.I.2 – Landscaping	Conformance
<i>Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape.</i>	YES
Finding: The front, side, and rear yard setback areas will be restored and revegetated with native grasses. Shrubs are proposed along the sides of the residence, which will screen utilities and the avalanche retaining wall. New Evergreen, Aspen, and Russian Hawthorn trees will be installed to provide screening for the residence from adjacent properties. Boulders and ornamental grasses and perennials are also proposed in front of the structure.	

17.96.060.I.3 – Landscaping	Conformance
<i>All trees, shrubs, grasses and perennials shall be drought tolerant. Native species are recommended but not required.</i>	YES
Finding: The landscape plan proposes drought-tolerant and native species, including evergreens and aspens, native shrubs, and drought tolerant grasses.	

17.96.060.I.4 – Landscaping	Conformance
<i>Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged.</i>	YES

Finding: The proposal intends to provide landscaping on the front and side yards allowing for privacy between adjacent properties.

17.96.060.J.1 – Public Amenities	Conformance
<i>Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All public amenities shall receive approval from the Public Works Department prior to design review approval from the Commission.</i>	N/A
Finding: N/A. The subject property is located within the LR Zone, and sidewalks are not required to be installed for this project.	

17.96.060.K.1 – Underground Encroachments	Conformance
<i>Encroachments of below grade structures into required setbacks are subject to subsection 17.128.020.K of this title and shall not conflict with any applicable easements, existing underground structures, sensitive ecological areas, soil stability, drainage, other sections of this Code or other regulating codes such as adopted International Code Council Codes, or other site features concerning health, safety, and welfare.</i>	N/A
Finding: N/A. No encroachments of below grade structures are proposed.	

17.96.060.K.2 – Underground Encroachments	Conformance
<i>No below grade structure shall be permitted to encroach into the riparian setback.</i>	N/A
Finding: N/A. No encroachments of below grade structures are proposed, and the structure is not located within the riparian setback.	

FINDINGS REGARDING COMPLIANCE WITH MOUNTAIN OVERLAY DESIGN REVIEW STANDARDS

Mountain Overlay Design Review Standards (KMC §17.104.070.A)				
Compliant			Standards and Findings	
Yes	No	N/A	Ketchum Municipal Code	City Standards and Findings
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 .A.1	There is no building on ridges or knolls which would have a material visual impact on a significant skyline visible from a public vantage point entering the City or within the City. Material, as the term is used herein, shall be construed in light of the magnitude of the negative impact on the objectives of this Ordinance.
			Findings	The project is not sited on a ridge or knoll that would have a material visual impact on a significant skyline visible from a public vantage point entering or within the city. The proposed residence is sited at the lower elevation of the parcel preserving the natural topography of the hillside above.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 .A.2	Building, excavating, filling and vegetation disturbance on hillsides which would have a material visual impact visible from a public vantage point entering the City or within the City is minimized. Material, as the term is used herein, shall be construed in light of the magnitude of the negative impact on the objectives of this Ordinance.
			Findings	As the proposal occurs at the lower elevation of the subject property, all building, excavating, filling and vegetation disturbance will not occur at a point on the hillside which has a material visual impact visible from a public vantage point.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 .A.3	Driveway standards as well as other applicable standards contained in Street Standards Chapter 12.04 are met.
			Findings	The proposed driveway improvements have been reviewed by the City Engineer, Streets Department, and Fire Department. The driveway improvements comply with all applicable standards for private driveway specified in Ketchum Municipal Code §12.03.030.L. If approved, the applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for the proposed driveway and right-of-way improvements for final review and approval by the City Engineer and Streets Department prior to issuance of a building permit for the project.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 .A.4	All development shall have access for fire and other emergency vehicles to within one hundred fifty feet (150') of the furthest exterior wall of any building.
			Findings	Sufficient access is provided for fire and other emergency vehicles to reach within 150 feet of the furthest exterior wall of the building. The Fire Department has reviewed the project plans and has found that all access requirements for emergency vehicles have been met. Emergency vehicle access shall be reviewed and approved by the Fire Department prior to issuance of a building permit.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 .A.5	Significant rock outcroppings are not disturbed.
			Findings	There are no significant rock outcroppings within the property boundary of the subject property
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 .A.6	International Building Code (IBC) and International Fire Code (IFC) and Ketchum Fire Department requirements shall be met.
			Findings	The project must comply with the 2018 International Residential Code, the 2018 International Fire Code, all local amendments specified in Title 15 of Ketchum Municipal Code, and Ketchum Fire Department requirements. All building code, fire code, and Fire Department requirements will be verified for compliance by the Building and Fire departments prior to building permit issuance.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 .A.7	Public water and sewer service comply with the requirements of the City.
			Findings	As shown on C1.0 of the project plans, the applicant is proposing to connect to the municipal water and sewer systems from existing lines within Hillside Drive. Requirements and specification for the water and sewer connections will be

				verified, reviewed, and approved by the Utilities Departments prior to issuance of a Building Permit for the project.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 .A.8	Drainage is controlled and maintained to not adversely affect other properties.
			Findings	Pursuant to KMC §17.96.060.C.1, all storm water drainage shall be retained on site. Drainage improvements are specified on Sheet C1.0 of the project plans in Exhibit A. The drainage improvements include the installation of a trench drain bordering the length of the driveway. A combination of drywells and catch basins will be installed to collect stormwater from the rest of the property. The City Engineer has reviewed the proposed drainage plan and believes the trench drain and drywell improvements are sufficient to maintain all storm water drainage on-site. All drainage plans and specifications shall be reviewed and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 .A.9	Cuts and fills allowed for roadways shall be minimized; lengths of driveways allowed shall be minimized; all cuts and fills shall be concealed with landscaping, revegetation and/or natural stone materials.
			Findings	<p>Revegetation on hillsides with a clear zone of thirty feet (30') around all structures is recommended. Said clear zone shall include low combustible irrigated vegetation with appropriate species, on file with the Ketchum planning department. Revegetation outside of this clear zone should be harmonious with the surrounding hillsides.</p> <p>The proposed residence is sited at the minimum front yard setback; however, the driveway to the residence is lengthy due to the shape of the lot which has a narrow entryway. The proposed driveway on Hillside Drive is 20 feet in width.</p> <p>The landscape plan proposes a variety of drought tolerant trees, shrubs, and grasses that will conceal any cuts and fills the project has.</p> <p>The Fire Department has reviewed the project plans and recommended a 26-foot aerial fire apparatus access road for the project, which is proposed in the project plans. Fire Protection Ordinance No. 1217 (KMC §15.08.080) requires that: (1) tree crowns extending within 10 feet of any structure shall be pruned to maintain a minimum horizontal clearance of 10 feet, (2) tree crowns within 30 feet of any structure shall be pruned to remove limbs less than 6 feet above the ground surface adjacent to trees, and (3) non-fire resistive vegetation or growth shall be kept clear of buildings and structures in order to provide a clear area for fire suppression operations. The project complies with the fire protection and defensible space standards specified in KMC §15.08.080. The Fire Department is not requiring a driveway snowmelt system for the project.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 .A.10	There are not other sites on the parcel more suitable for the proposed development in order to carry out the purposes of this Ordinance.
			Findings	The proposed residence is situated at the lot's lower elevation with the minimum required front yard setback of 15 feet, thus is sited at the most suitable location on the parcel.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 .A.11	Access traversing 25% or greater slopes does not have significant impact on drainage, snow and earth slide potential and erosion as it relates to the subject property and to adjacent properties.
			Findings	A portion of the driveway access traverses in 25% or greater slopes. The City Engineer reviewed the proposed driveway access and determined that the proposal does not have significant impact on drainage, snow and earth slide potential and erosion on the subject property and adjacent properties. The final access plan shall be reviewed and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 .A.12	Utilities shall be underground.
			Findings	The utility improvements are indicated on Sheet C1.0 of the project plans. The project will utilize sewer, gas, and electrical service from Hillside Drive. The Utilities Department reviewed the project plans and the service connections for compliance with city requirements. Pursuant to condition of approval #2, the applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for the proposed utility improvements for final review and approval by the Utilities Department prior to issuance of a building permit for the project.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 .A.13	Limits of disturbance shall be established on the plans and protected by fencing on the site for the duration of construction.
			Findings	Sheet C1.0 shows the proposed limits of disturbance on the subject property for the proposed residence. A construction management plan that addresses all construction activity standards specified in Ketchum Municipal Code §15.06.030 will be required to be submitted with the building permit application. City Departments will conduct a comprehensive review of the proposed construction management plan during plan review for the building permit.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 .A.14	Excavations, fills and vegetation disturbance on hillsides not associated with the building construction shall be minimized.
			Findings	The project minimizes building, excavating, filling, and vegetation disturbance by siting the proposed residence at the minimum required front yard setback. The lot is currently vacant, so there is no previously disturbed area on site. The proposed cut and fill quantities are specified on Sheet C4.0. The total volume of the proposed cut is 1302.3 cubic yards. The proposed fill comes out to 60.1 cubic yards. The proposed residence is sited at the lower elevation of the parcel, which preserves the natural topography of the hillside above. Additionally, the project proposes to further preserve the hillside by restoring and revegetating existing disturbed areas within the front and side yard setback areas.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.104.070 .A.15	Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.
			Findings	No significant landmarks have been identified on-site.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.104.070 .A.16	Encroachments of below grade structures into required setbacks are subject to subsection 17.128.020.K of this title and shall not conflict with any applicable

			easements, existing underground structures, sensitive ecological areas, soil stability, drainage, other sections of this Code or other regulating codes such as adopted International Code Council Codes, or other site features concerning health, safety, and welfare.
		Findings	This standard is not applicable as the project does not propose below-grade structures that encroach into required setbacks.

CONCLUSIONS OF LAW

1. The City of Ketchum is a municipal corporation established in accordance with Article XII of the Constitution of the State of Idaho and Title 50 Idaho Code and is required and has exercised its authority pursuant to the Local Land Use Planning Act codified at Chapter 65 of Title 67 Idaho Code and pursuant to Chapters 3, 9 and 13 of Title 50 Idaho Code to enact the ordinances and regulations, which ordinances are codified in the Ketchum Municipal Code (“KMC”) and are identified in the Findings of Fact and which are herein restated as Conclusions of Law by this reference and which City Ordinances govern the applicant’s Design Review application for the development and use of the project site.
2. The Commission has authority to hear the applicant’s Design Review Application pursuant to Chapter 17.96 of Ketchum Municipal Code Title 17.
3. The City of Ketchum Planning Department provided notice for the review of this application in accordance with Ketchum Municipal Code §17.96.080.
4. The Design Review application is governed under Ketchum Municipal Code Chapters 17.96, 17.124, 17.08, 17.12, 17.18, and 17.128.
5. The 219 Hillside Drive Design Review application meets all applicable standards specified in Title 17 of Ketchum Municipal Code.

DECISION

THEREFORE, the Planning and Zoning Commission **approves** this Design Review Application File No. P22-046 this Tuesday, August 8, 2023, subject to the following conditions of approval.

CONDITIONS OF APPROVAL

1. This Design Review approval is based on the project plans presented at the July 11, 2023, Planning and Zoning Commission meeting, include as Exhibit A to these findings. The project plans for all on-site improvements submitted for the building permit must conform to the approved design review plans unless otherwise approved in writing by the Planning and Zoning Commission or Administrator. Any building or site discrepancies which do not conform to the approved plans will be subject to review by the Commission and/or removal.
2. The applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho which include specifications for right-of-way, circulation design, utilities, and drainage improvements for review and approval by the City Engineer, Streets, and Utilities departments prior to issuance of a building permit for the project.
3. The term of Design Review approval shall be twelve (12) months from the date that the Findings of Fact, Conclusions of Law, and Decision are adopted by the Commission or upon

appeal, the date the approval is granted by the Council subject to changes in zoning regulations.

4. In addition to the requirements set forth in this Design Review approval, this project shall comply with all applicable local, state, and federal laws.
5. Prior to issuance of a building permit, the applicant shall submit a lighting plan for the third-story patio and a narrative explaining how the proposed lighting fixtures achieve minimal visual impact on adjacent lower elevation properties.

Findings of Fact **adopted** this 8th day of August 2023.

Neil Morrow, Chair
City of Ketchum
Planning and Zoning Commission



City of Ketchum

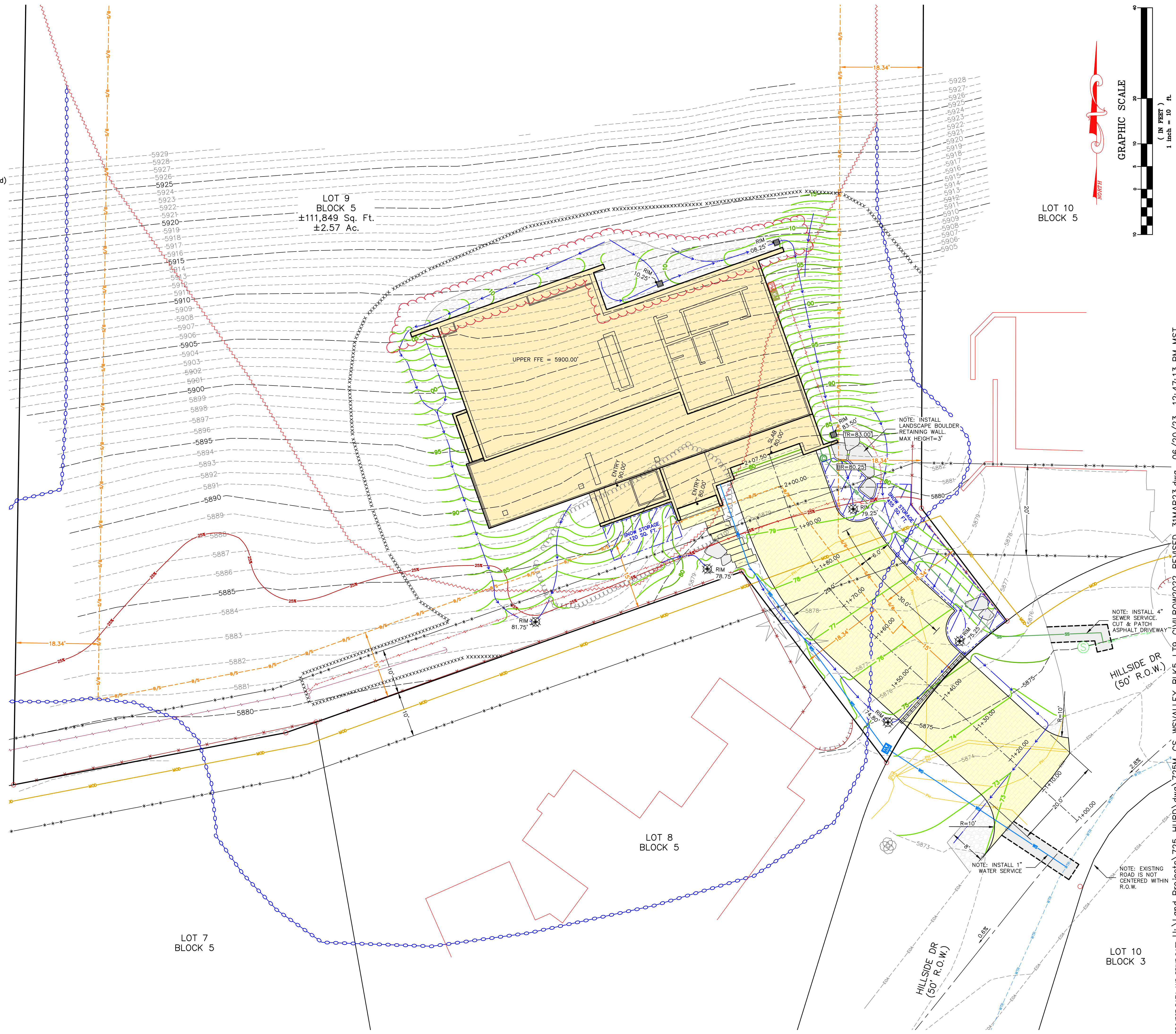
Exhibit A: Design Review Plan Set

LEGEND

- Subject Boundary
- Adjainers Boundary
- Centerline of Existing Road
- Existing Edge of Asphalt Roadway
- Existing Edge of Paver Driveway
- Drainage & Utility Easement per Plat
- Building Setback (See Note 5)
- Mountain Overlay District (City of Ketchum)
- 25% Slope Line (Alpine 2022)
- Existing 5' Major Contour Line (Alpine 2022)
- Existing 1' Minor Contour Line (Alpine 2022)
- Proposed 5' Major Contour
- Proposed 1' Minor Contour
- Proposed Drainage Flowline
- Proposed Limits of Disturbance
- Existing Wooden Fence
- Existing Wooden Fence (To Be Removed)
- Existing Dripline/Edge of Vegetation (To Be Removed)
- Approximate Existing Structure
- Existing Retaining Wall
- Existing Overhead Power
- Proposed Underground Power
- Existing Water Main
- Existing Water Service
- Proposed 1" Water Service (C2.0, Detail 4)
- Existing Sewer Main
- Existing Sewer Service
- Proposed 4" Sanitary Sewer Service (C2.0, Detail 4)
- Existing Underground Phone
- Red Avalanche Hazard Zone (Alpine 2022)
- Blue Avalanche Hazard Zone (Alpine 2022)
- Found 1/2" Rebar
- Existing Power Pole
- Existing Power Pole Guy Wire
- Existing Sewer Manhole
- Proposed Sewer Cleanout
- Proposed Water Meter (C2.0, Detail 1)
- Existing Phone Box
- Proposed Power Meter
- Proposed Gas Meter
- 1.0% Existing Road Grade
- Existing Willow Bush (To Be Removed)
- Existing Conifer Tree (To Be Removed)
- Existing Deciduous Tree (To Be Removed)
- Proposed Structure
- Proposed Paver Driveway (C3.0, Detail 9)
- Proposed Asphalt Patch & Saw-Cut Line (C3.0, Detail 7)
- Proposed Stone Entry
- Proposed Boulders (C3.0, Detail 10)
- Proposed Gravel (C3.0, Detail 6)
- Proposed Snow Storage
- Proposed Landscape Drywell (C3.0, Detail 8)
- Proposed Heated Landscape Catch Basin Connected To Building Drainage
- Proposed 6" Driveway Trench Drain
- SLAB Garage Slab Elevation
- FFE Finish Floor Elevation
- RIM Drywell/Catch Basin Rim Elevation
- TR Top of Retainage Elevation
- BR Bottom of Retainage Elevation

NOTES

- 1) Basis of Bearings is Idaho State Plane Coordinate System, NAD83, Central Zone, at Grid in US Survey Feet. Vertical Datum is NAVD1988.
- 2) Boundary information is from the Plats of Warm Springs Valley Subdivision, Instrument Number 119580; Warm Springs Valley Subdivision, Block 5, Lots 5A & 7A, Instrument Number 559480; Records of Blaine County, Idaho.
- 3) Refer to the Plat Notes, Conditions, Covenants, & Restrictions on the Original Plat.
- 4) Utility Locations shown are based on visual surface evidence. Utility locations should be verified by Digline before any excavation.
- 5) Current Zoning appears to be Limited Residential District, (LR). Please refer to City of Ketchum Zoning Ordinances for more information about this Zone. Front and Rear Building Setbacks are as shown, Side Setbacks are the greater of 1' for every 2' in building height or 10'.
- 6) Lot 9 appears to be partially in the City of Ketchum Mountain Overlay District.
- 7) Lot 9 appears to be zoned Blaine County Elk Winter Range.
- 8) Lot 9 appears to be in the Ketchum Avalanche Overlay District.
- 9) Not all trees and vegetation are shown, some locations are approximate.
- 10) Avalanche Zoning is from a 2022 RAMMS & AVAL-1D Study conducted by Alpine Enterprises Inc. This study is site specific; it should not be applied to adjacent lands.



PROJECT PATH AND PRINT DATE: U:\Land Projects\725_HURD.dwg\725M_CS_WSVALLEY_BLK5.LT9_CIVILROW2022_REVISD_31MAR23.dwg 06/20/23 12:47:13 PM MST

A SITE GRADING, R.O.W. ENCROACHMENT, & UTILITY PLAN SHOWING
 LOT 9, BLK 5, WARM SPRINGS VALLEY SUBDIVISION
 WITHIN S11, T.4N., R.17E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
 PREPARED FOR PARAMOUNT PROPERTY DEVELOPMENT LLC

Alpine Enterprises Inc.
 Surveying, Mapping, Civil Engineering,
 and Natural Hazards Consulting
 660 Bell Dr., Unit 1 83340 USA
 (208) 727-1808
 email: bamitt@alpineenterprisesinc.com

PROFESSIONAL ENGINEER
 18075
 20JUN23
 STATE OF IDAHO
 ALEX NEVILL

NO	DATE	BY	REVISIONS
1	02DEC22	AHN	PRELIMINARY ONLY: NOT FOR CONSTRUCTION
2	30JAN23	AHN	DESIGN REVIEW SUBMITTAL
3	28APR23	AHN	REVISED - CUFF/FILL CALCULATIONS ADDED
4	20JUN23	AHN	REVISED

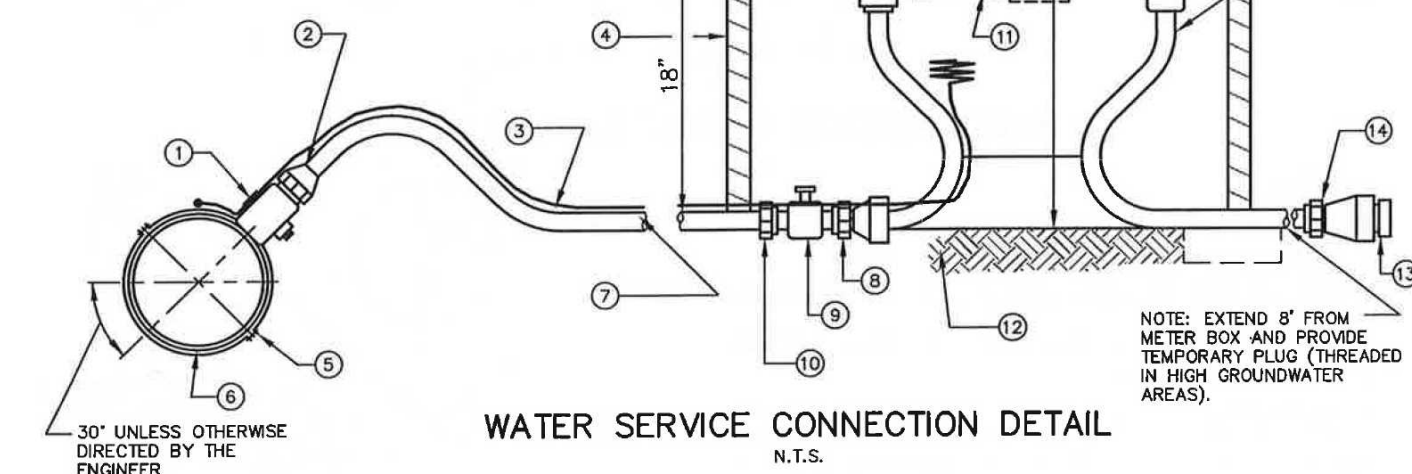
C1.0

GENERAL CONSTRUCTION NOTES

- Utility Locations shown are based on Digline locates and visual surface evidence. They are approximate. Contractor shall be responsible for locating existing utilities prior to commencing and during construction.
- See the Building Plan from Studio DVLP and the Landscape Plan from N.S. Consulting for the remainder of the design.
- Contractor shall assure positive drainage away from the building and driveway.
- Contractor shall be responsible for dust control during construction of all items hereon. Dust control shall be continuous during construction, 24 hours per day 7 days per week. The contractor shall follow the requirements of the Storm Water Pollution Prevention Program at all times until permanent erosion control is established.
- The Trench Drain shall be a 6" wide HDPE channel with a 0.75 built in channel slope (Zurn Flo-Thru Model Z886 or equivalent). Grate shall be ductile iron with a slotted pattern. All components shall be rated for H=20 loading.
- All construction shall be in accordance with the most current edition of the Idaho Standards for Public Works Construction, ISPCW, and the City of Ketchum, Idaho, Codes and Standards. The contractor shall be responsible for obtaining and keeping a copy of the ISPCW and the City of Ketchum Codes and Standards on site during construction.
- Per Idaho Code, 55-1613, the contractor shall retain and protect all monuments, accessories to corners, benchmarks, and points set in control surveys. All monuments, accessories to corners, benchmarks, and points set in control surveys that are lost or disturbed by construction shall be reestablished and re-monumented, at the expense of the agency or person causing their loss or disturbance under the direction of a professional land surveyor.
- The contractor shall clean up the site after construction so that it is in a condition equal to or better than that which existed prior to construction.
- The contractor shall be required to obtain all the necessary permits prior to construction and shall check with the City of Ketchum for permits the owner may have already obtained.
- Potable/non-potable crossings shall comply with ISPCW Standard Drawing SD-407 and IDAPA section 58.01.08.542.07.
- Sewer service lines shall be placed at a slope of 2%, with markers per ISPCW. Cleanouts are required at changes in alignment, grade, and minimum 150' length.
- All pipe shall be bedded with (ISPCW) Type I bedding material.
- Trenches shall be backfilled and compacted to a minimum of 95% of maximum density as determined by AASHTO T-99.
- The contractor shall pressure test all sewer service connections in accordance with Idaho Standards for Public Works Construction, ISPCW.
- All clearing and grubbing shall conform to ISPCW Section 201 and City of Ketchum standards of excavation and backfill.
- All excavation and embankment shall conform to ISPCW Section 202 and City of Ketchum standards for excavation and backfill. Excavated subgrade shall be compacted and all unsuitable Sections removed and replaced with structural fill as determined by the engineer per ISPCW Section 204. Minimum compaction of placed material shall be 95% of maximum laboratory density as determined by AASHTO T-99 or IDT T-91.
- All 2" minus aggregate shall be placed in conformance with ISPCW Section 802. It shall be compacted per ISPCW Section 202 and the City of Ketchum standards. 2" minus crushed aggregate material shall conform to ISPCW Section 802 Type II and to the City of Ketchum specifications. Minimum compaction of placed material shall be 95% of maximum laboratory density as determined by AASHTO T-99 or IDT T-91.
- All 3/4" minus aggregate shall be placed in conformance with ISPCW Section 802. It shall be compacted per ISPCW Section 202 and the City of Ketchum standards. 3/4" minus crushed aggregate for leveling course shall conform to ISPCW Table 803 Type I and to the City of Ketchum specifications. Minimum compaction of placed material shall be 95% of maximum laboratory density as determined by AASHTO T-99 or IDT T-91.
- All asphaltic concrete pavement work shall conform to ISPCW Section(s) 805, 810, and 811 for Class II pavement and to the City of Ketchum standards. Asphalt aggregate shall be 1/2" nominal size conforming to Table A-1 in ISPCW Section 803. Asphalt binder shall be pg 58-28 conforming to Table A-1 in ISPCW Section 805.
- All concrete work shall conform to ISPCW Sections 701 and 703. All concrete shall be 3,000 psi minimum. 28 day, as defined in ISPCW Section 703, Table 1.C.
- All edges of existing asphalt paving shall be saw cut a minimum of 24" to provide a clean pavement edge for matching. No wheel cutting shall be allowed. Pavement shall be cut prior to paving to prevent damage to the cut edge.
- Snow Storage based on 30% of the Improved Parking and Pedestrian Circulation Areas.
Driveway = *1,475 Sq. Ft.
Front Walk = *350 Sq. Ft.
Total = 1,825 Sq. Ft.
30% of Total = 547.5 Sq. Ft.
Area Designated = 455 Sq. Ft. + 120 Sq. Ft. = 575 Sq. Ft. of Snow Storage
- The contractor shall be responsible for providing traffic control per the current edition of the US Department of Transportation Manual of Uniform Traffic Control Devices (MUTCD).
- Alpine Enterprises Inc. is not responsible for any deviation from these plans, unless such changes have been authorized in writing.
- All right-of-way improvements per sheet C1.0 must be completed prior to issuance of a temporary or final Certificate of Occupancy unless otherwise agreed upon in writing by the City.

NOTES:

- ALL PRODUCTS AS LISTED OR APPROVED SUBSTITUTIONS.
- NO GALVANIZED PIPE OR YELLOW BRASS FITTINGS TO BE USED.
- SERVICE PIPE: ULTRA HIGH MOLECULAR WEIGHT POLYETHYLENE PIPE SIZE 2" CLASS 200 IN IRON PIPE SIZE (DRISCO PIPE 8600 ULTRA LINE) 3/4" OR 1".
- SADDLE COUPLINGS: USED FOR CONNECTION OF ALL SERVICE LINES TO PVC MAIN SERVICE SADDLES. EPOXY COATED STEEL WITH STAINLESS STEEL BAND AND MUELLER THREADS, TYPE CC.
- NO SERVICE CONNECTIONS WITHIN ONE FOOT OF THE PIPE END. STAGERS MULTIPLE CONNECTIONS MADE ON THE SAME JOINT OF PIPE THE ALONG CIRCUMFERENCE AND SEPARATED BY A MINIMUM OF ONE FOOT.
- CENTER METER BOXES LOCATED IN CONCRETE DRIVEWAYS IN A 4' X 4' SQUARE OF CONCRETE, SEPARATED FROM THE REST OF THE DRIVEWAY CONCRETE BY EXPANSION JOINT MATERIAL. USE 30' TILE WITH CONCRETE GRADE RING, STANDARD MANHOLE RING AND LID MARKED "WATER".
- ELEVATION SET OF METER LID PER LOCAL REQUIREMENTS.

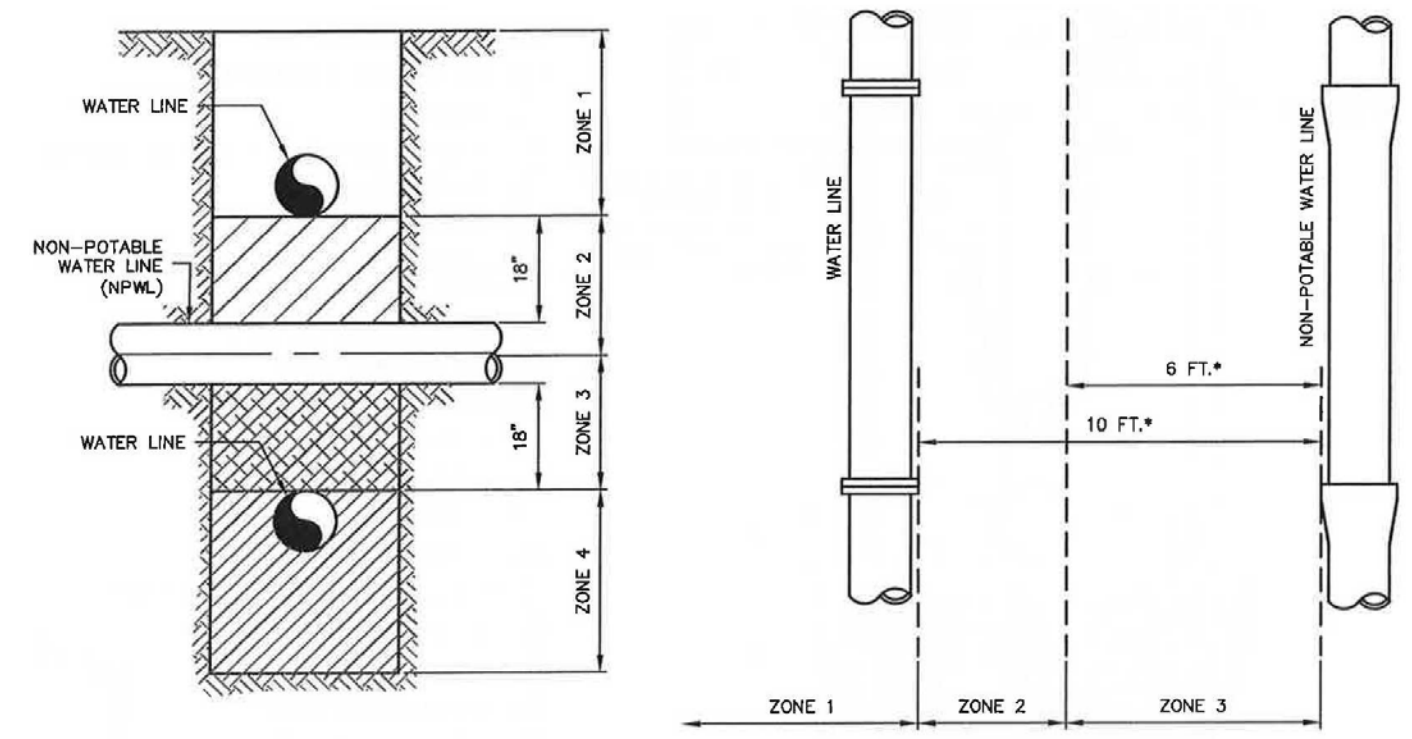


WATER SERVICE CONNECTION DETAIL
N.T.S.

LEGEND

- | | |
|--|---|
| 1 FORD FB-1101 OR MUELLER BALL CORPORATION STOP 3/4" OR 1". | 11 FUTURE METER INSTALLED BY WATER PURVEYOR. |
| 2 MUELLER H-15072. | 12 FIRM UNDISTURBED EARTH (SET TILE ON 2' X 2' DIAMETER PRECAST CONCRETE BLOCK IF OVER EXCAVATION OCCURS). |
| 3 NO. 12 COPPER FINDER WIRE. SEE SD-514 FOR SPLICING. | 13 PROVIDE TEMPORARY PLUG (THREADED IN HIGH WATER AREAS). |
| 4 20" DIA. X 42" DEEP METER BOX (NOTCH FOR SERVICE LINES). | 14 DOUBLE PURPOSE COUPLING. |
| 5 STAINLESS STEEL SADDLE. | 15 FORD VHM-92-18" YOKE WITH MALE CONNECTION AND EXTENDED END OR APPROVED EQUAL. |
| 6 WATER MAIN. | 16 FORD CARTRIDGE DUAL CHECK VALVE (VERTICAL). |
| 7 3/4" OR 1" SERVICE LINE (TYP.) NO SPLICING IS ALLOWED. | 17 FORD BALL VALVE 18" (92.934 SERIES OR MUELLER B24101-142) 3/4"-1" COPPER SETTER WITH PADLOCK WINGS AND EXTENDED END ON EACH. |
| 8 MALE SWIVEL END. | 18 FORD TYPE X SINGLE LID COVERS NO. X43, 13 1/2" OPENING-1/32" PENTAGONAL NUT. |
| 9 FULL OPENING 3/4" OR 1" MUELLER 300 BALL OR FORD B-11333 BALL VALVE. | |
| 10 CURB STOP ADAPTER (FORD C-86 OR MUELLER H-15426 "GRIP JOINT"). | |

1 WATER SERVICE CONNECTION (3/4" - 1")
ISPCW - SD-401
NOT TO SCALE



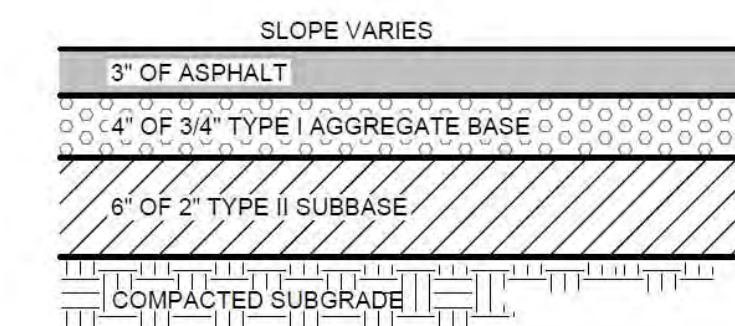
VERTICAL SEPARATION REQUIREMENTS

- ZONE 1: A) WATER AND NPWL MUST BE SEPARATED BY AT LEAST 18" AND B) ONE FULL UNCLUT LENGTH OF BOTH PWL AND NPWL PIPE MUST BE CENTERED ON THE CROSSING SO THAT THE JOINTS ARE AS FAR AS POSSIBLE FROM THE CROSSING.
- ZONE 2: A) ONE FULL UNCLUT LENGTH OF BOTH PWL AND NPWL PIPE MUST BE CENTERED ON THE CROSSING SO THAT THE JOINTS ARE AS FAR AS POSSIBLE FROM THE CROSSING. AND EITHER D) NPWL MUST BE CONSTRUCTED TO WATER MAIN STANDARDS AND PRESSURE TESTED FOR WATER TIGHTNESS FOR A HORIZONTAL DISTANCE OF 10 FEET ON BOTH SIDES OF CROSSING. OR C) EITHER THE NPWL OR WATER LINE OR BOTH MUST BE ENCASED WITH A SLEEVING MATERIAL ACCEPTABLE TO SD-3 FOR A HORIZONTAL DISTANCE OF 10 FEET ON BOTH SIDES OF THE CROSSING.
- ZONE 3: SAME REQUIREMENTS AS ZONE 2 EXCEPT THE NPWL MUST ALSO BE SUPPORTED ABOVE THE CROSSING TO PREVENT SETTLING.
- ZONE 4: SAME REQUIREMENTS AS ZONE 1 EXCEPT THE NPWL MUST ALSO BE SUPPORTED ABOVE THE CROSSING TO PREVENT SETTLING.

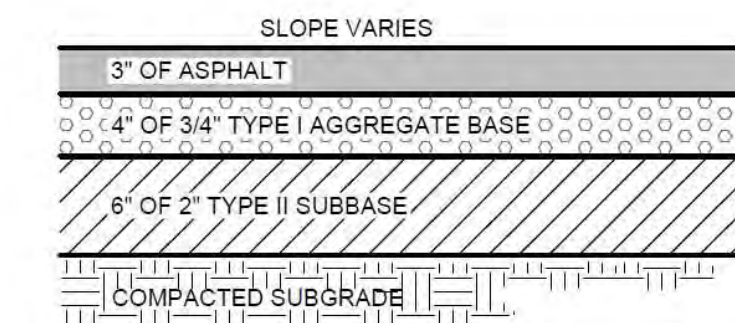
HORIZONTAL SEPARATION REQUIREMENTS

- ZONE 1: A) NO SPECIAL REQUIREMENTS.
- ZONE 2: A) NO SPECIAL REQUIREMENTS FOR POTABLE OR NON-POTABLE SERVICES. B) WATER AND NPWL SEPARATED BY AT LEAST 6 FEET AT OUTSIDE WALLS. AND C) WATER AT LEAST 18 INCHES HIGHER IN ELEVATION THAN THE NPWL. AND EITHER D) NPWL CONSTRUCTED TO WATER MAIN STANDARDS AND PRESSURE TESTED FOR WATER TIGHTNESS. OR E) SITE SPECIFIC REQUIREMENTS APPROVED BY DEG.
- ZONE 3: NOT ALLOWED WITHOUT DEG WAIVER.
- NOTE: SANITARY SEWER FORCE MAINS MUST HAVE MIN. 10' HORIZONTAL SEPARATION AND 18" VERTICAL SEPARATION. ZONE 2 AND ZONE 3 PLACEMENTS ARE NOT ALLOWED WITHOUT A WAIVER GRANTED BY DEG.

3 POTABLE AND NON-POTABLE WATER LINE (NPWL) SEPERATION
ISPCW - SD-407
NOT TO SCALE



TYPICAL STREET ASPHALT SECTION

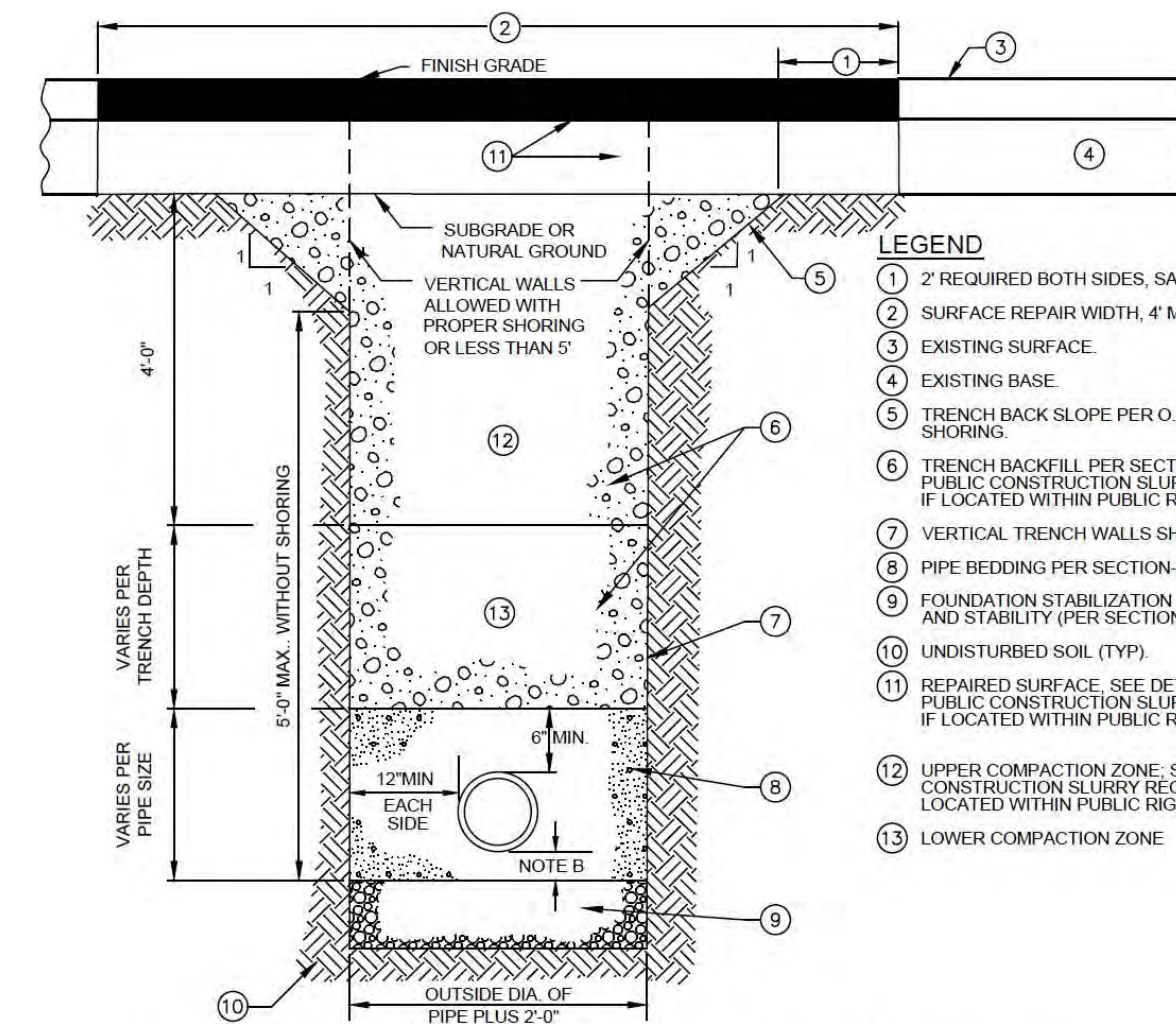


TYPICAL ALLEY ASPHALT SECTION

NOTES:

- SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
- MATERIALS SHALL CONFORM WITH CURRENT ISPCW STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
- PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.

2 TYPICAL ROAD SECTIONS
CITY OF KETCHUM - SD-3
NOT TO SCALE



LEGEND

- 2" REQUIRED BOTH SIDES, SAWCUT REQUIRED.
- SURFACE REPAIR WIDTH, 4' MINIMUM. SEE NOTE 5.
- EXISTING SURFACE.
- EXISTING BASE.
- TRENCH BACK SLOPE PER O.S.H.A. OR SUITABLE SHORING.
- TRENCH BACKFILL PER SECTION 305, OR SEE "KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT" BELOW IF LOCATED WITHIN PUBLIC RIGHT-OF-WAY.
- VERTICAL TRENCH WALLS SHORING PER O.S.H.A.
- PIPE BEDDING PER SECTION 305 (SEE SD-302).
- FOUNDATION STABILIZATION MAY VARY PER SOIL TYPE AND STABILITY (PER SECTION 304).
- UNDISTURBED SOIL (TYP).
- REPAIRED SURFACE. SEE DETAIL 5. SEE "KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT" BELOW IF LOCATED WITHIN PUBLIC RIGHT-OF-WAY.
- LOWER COMPACTION ZONE.

KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT
IN AREAS WHERE IT IS NECESSARY TO CUT THE ASPHALT PAVEMENT AND DIG A TRENCH FOR BURIAL OF CONDUIT CABLE OR OTHER CITY UTILITY, THE TRENCH SHALL BE BACKFILLED WITH A LEAN CONCRETE MIX TO THE BOTTOM OF FINISH SURFACE MATERIAL WITH THE FOLLOWING PROPORTIONS OF MATERIALS:

- COARSE AGGREGATE (6" MINUS) 2,600 LBS
SAND 800 LBS
PORTLAND CEMENT 94 LBS
WATER 11 GAL (MAX.)

WATER CONTENT IS MAXIMUM AND MAY BE REDUCED DOWNWARD. CARE SHALL BE TAKEN TO ASSURE THAT EXCESS WATER IS NOT PRESENT IN THE MIXING DRUM PRIOR TO CHARGING THE MIXER WITH MATERIALS. THOROUGH MIXING WILL BE REQUIRED PRIOR TO DISCHARGE.

NO COMPACTION, VIBRATION, OR FINISHING IS REQUIRED. THE LEAN CONCRETE MIX SHALL BE STRUCK OFF AT OR BELOW THE ELEVATION OF THE PLANT MIX SURFACING WITH A SQUARE NOSE SHOVEL OR SIMILAR HAND TOOL. THE BACKFILL MIX SHALL BE ALLOWED TO SET FOR A MINIMUM OF 2 HOURS BEFORE THE PERMANENT PLANT MIX SURFACING IS PLACED TO COMPLETE THE TRENCH REPAIR. TEMPORARY PLACEMENT OF ASPHALT COLD MIX SURFACING MAY BE NECESSARY TO ACCOMMODATE TRAFFIC WITHIN THE FIRST 2 HOURS OF BACKFILL PLACEMENT PRIOR TO COMPLETING THE PERMANENT REPAIR.

NOTES:

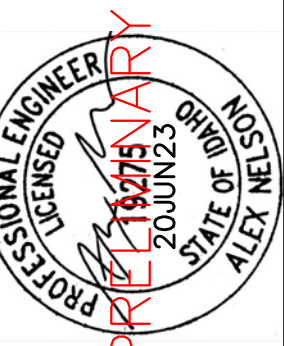
- TRENCH EXCAVATION PER SECTION 301.
- PIPE BEDDING PER SECTION 305.
- BACKFILL AND COMPACTION PER SECTION 305.
- SURFACE REPAIR AND BASE PER DETAIL 3.
- ASPHALT PAVEMENT FOR SURFACE REPAIR SHALL BE IN ACCORDANCE WITH PLANS AND ISPCW SECTIONS 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (13MM) NOMINAL SIZE CONFORMING TO TABLE A-1 IN ISPCW SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPCW SECTION 805.
- IF TRENCH IMPACTS CROWN OF ROADWAY, CROWN MUST BE MAINTAINED AND POSITIVE DRAINAGE PROVIDED.

4 TYPICAL TRENCH
CITY OF KETCHUM - SD-12
NOT TO SCALE

PROJECT PATH AND PRINT DATE U:\Land Projects\725M_HURD\725M_CS_WSVALLEY_BLK5.LT9_CIVILROW2022_REVISD_31MAR23.dwg 06/20/23 12:47:13 PM MST

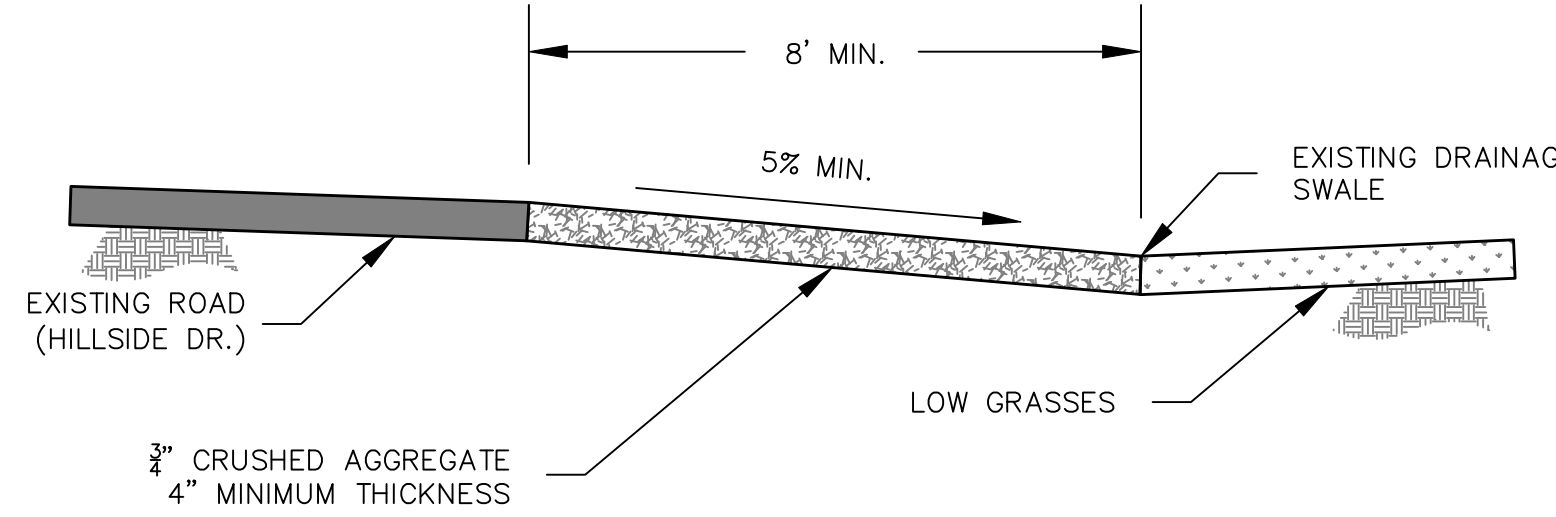
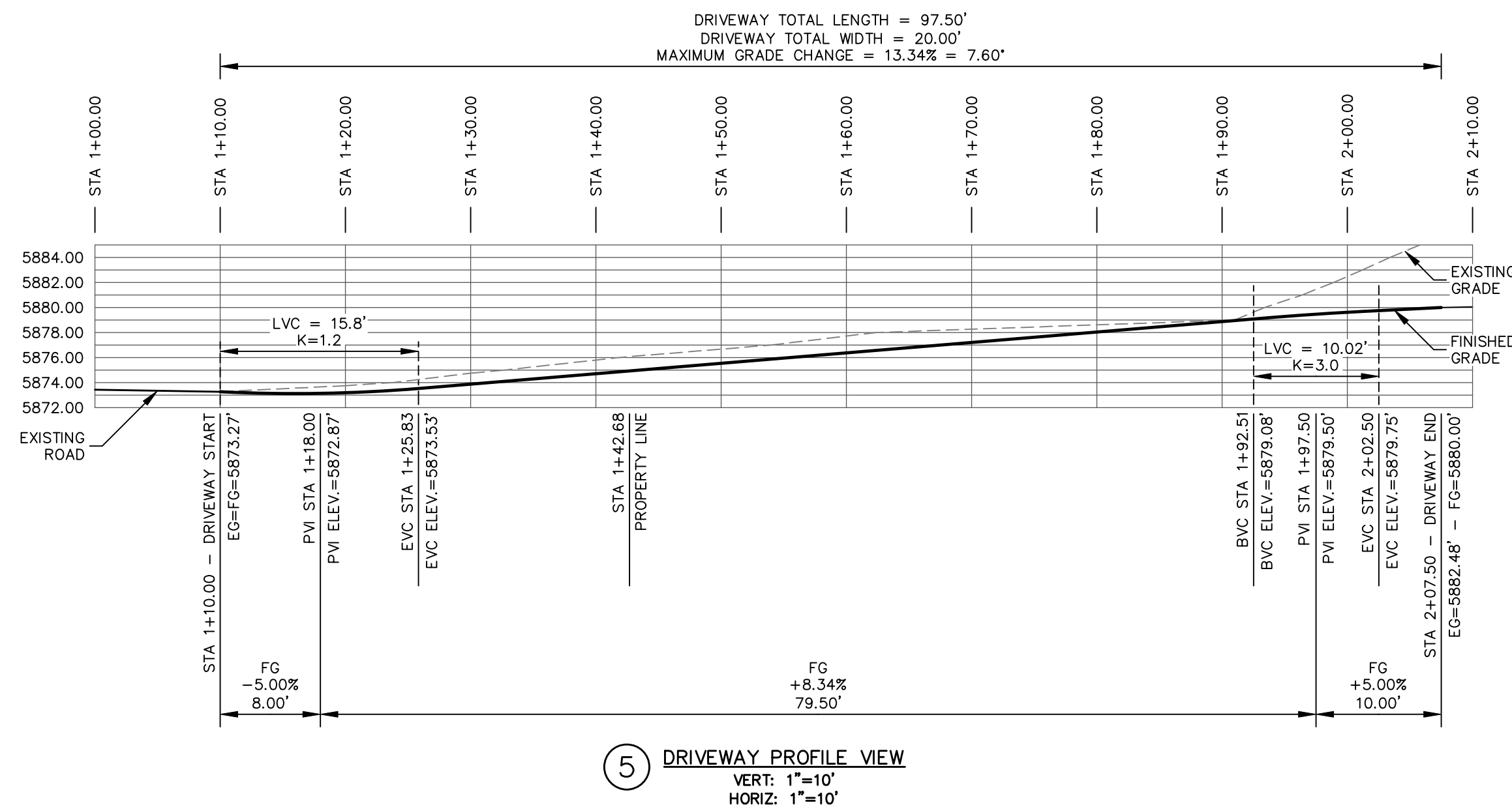
A SITE GRADING, R.O.W. ENCROACHMENT, & UTILITY PLAN SHOWING
LOT 9, BLK 5, WARM SPRINGS VALLEY SUBDIVISION
WITHIN S11, T.4N., R.17E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR PARAMOUNT PROPERTY DEVELOPMENT LLC

Alpine Enterprises Inc.
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and Natural Hazards Consulting
660 Bell Dr., Unit 1 83340 USA
(208) 727-1898
email: banitt@alpineenterprisesinc.com

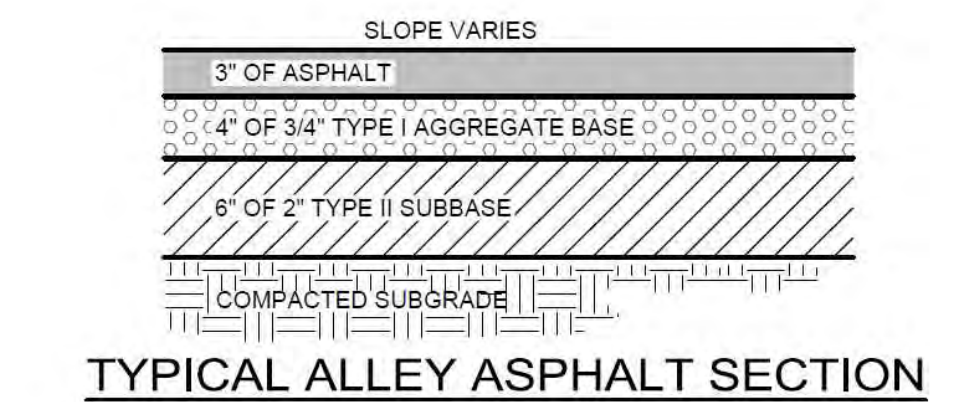
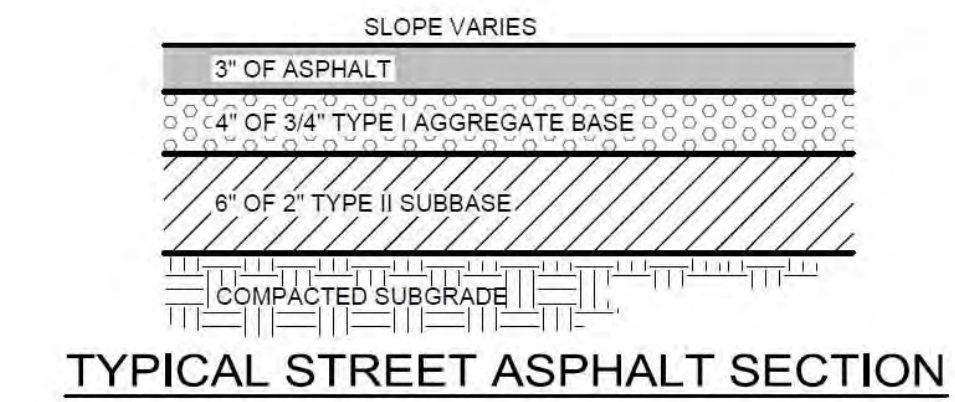


NO	DATE	BY	REVISIONS
1	02DEC22	AHN	PRELIMINARY ONLY: NOT FOR CONSTRUCTION DESIGN REVIEW SUBMITTAL
2	30JAN23	AHN	REVISED - CUFF/FILL CALCULATIONS ADDED
3	28APR23	AHN	REVISED
4	20JUN23	AHN	REVISED

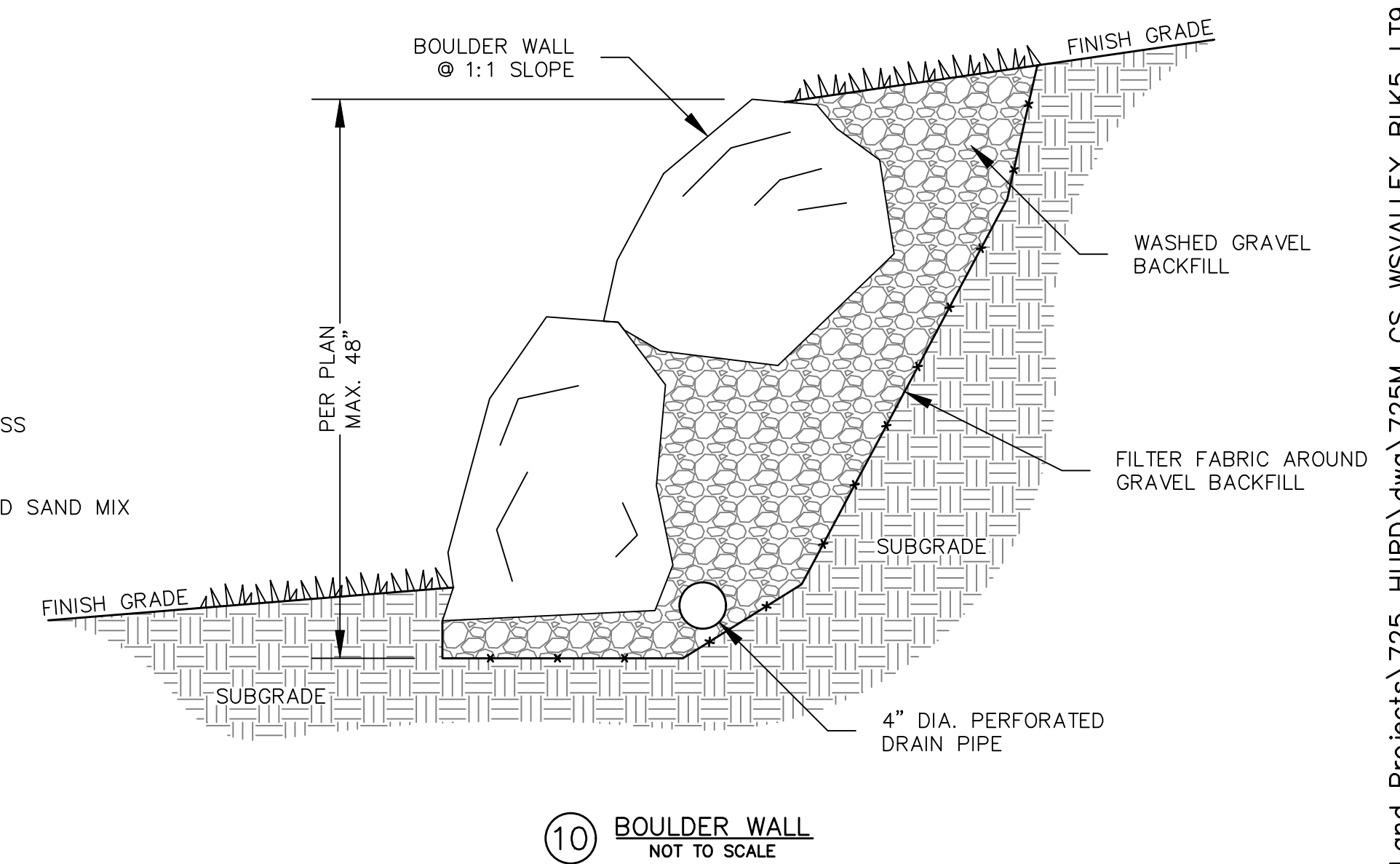
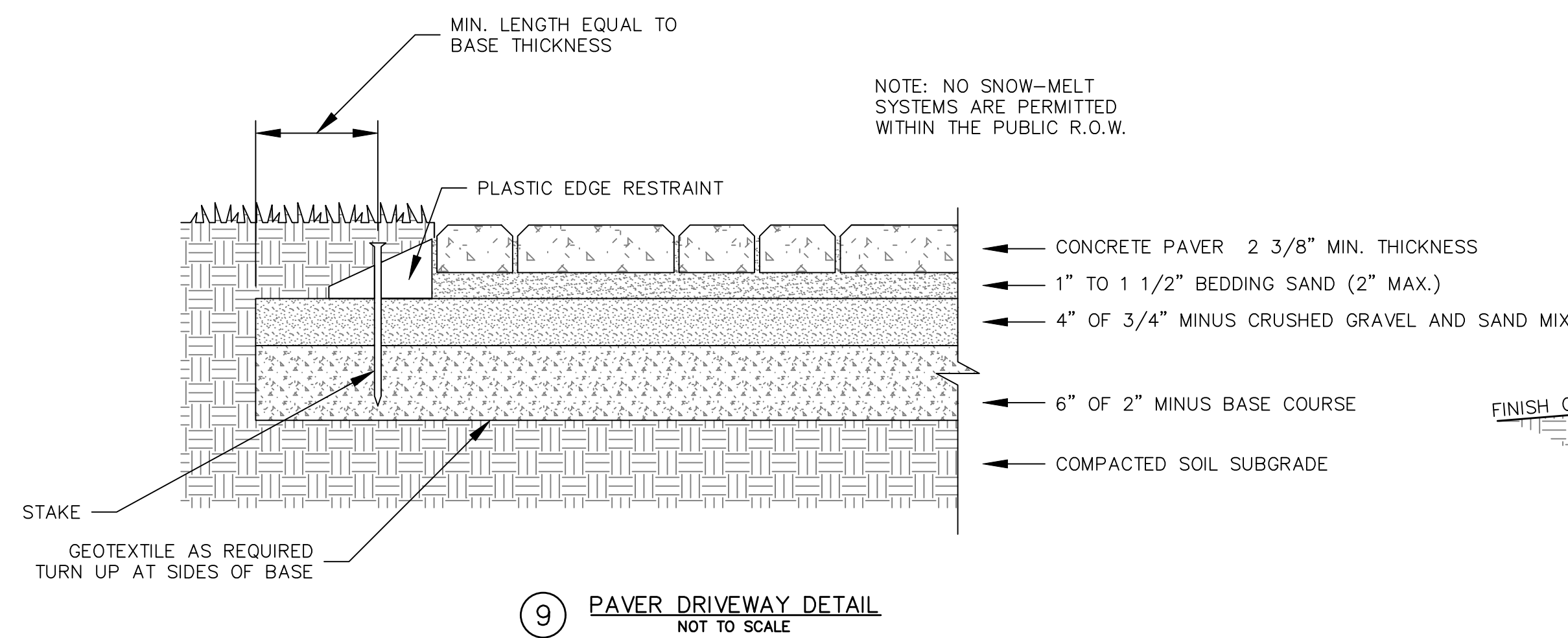
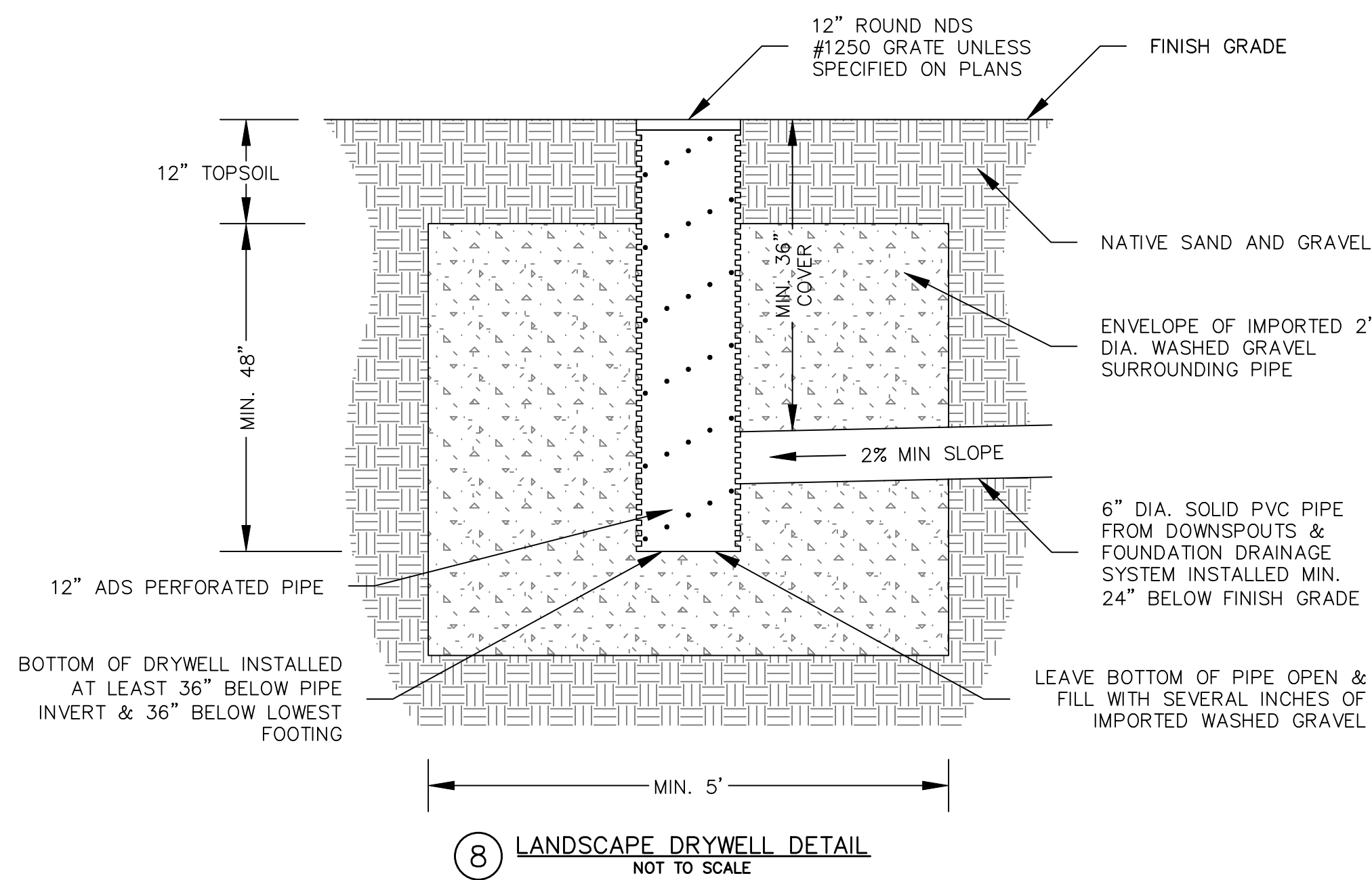
C2.0



- NOTES**
- A) Material shall be pervious/permeable to allow drainage.
 - B) Surface must allow for vehicle parking and be consistent along the entire property frontage.
 - C) Material within the first eight (8) feet from edge of asphalt (Street) shall be distinct from driveway and rest of property in order to visually appear available for parking.
 - D) Grading and drainage improvements as required by City Engineer – Minimum 5% slope.
 - E) No obstructions, such as boulders or berms.
 - F) No buried irrigation systems within the first eight (8) feet the edge of asphalt (Street). Surface irrigation lines are permitted beyond the first eight (8) feet, however pop-up heads are not permitted anywhere in the ROW.
 - G) No live plant material within the first eight (8) feet from edge of asphalt (Street). Low ground cover plant material, such as turf grass, is permitted beyond the first eight (8) feet. Drought-tolerant species are preferred.
 - H) No snow-melt systems to be located within the Public R.O.W.



- NOTES:**
1. SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
 2. MATERIALS SHALL CONFORM WITH CURRENT ISPMC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 3. PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
- 7 TYPICAL ROAD SECTIONS**
 CITY OF KETCHUM – SD-3
 NOT TO SCALE



PROJECT PATH AND PRINT DATE: U:\Land Projects\725_HURD\dwg\725M_CS_WSVALLEY_BLK5.LT9_CIVILROW2022_REVISD_31MAR23.dwg 06/20/23 12:47:13 PM MST

A SITE GRADING, R.O.W. ENCROACHMENT, & UTILITY PLAN SHOWING
 LOT 9, BLK 5, WARM SPRINGS VALLEY SUBDIVISION
 WITHIN S11, T.4N., R.17E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
 PREPARED FOR PARAMOUNT PROPERTY DEVELOPMENT LLC

Alpine Enterprises Inc.
 Surveying, Mapping, Civil Engineering,
 and Natural Hazards Consulting
 660 Bell Dr., Unit 1 83340 USA
 (208) 727-1888
 email: bamt@alpineenterprisesinc.com

NO	DATE	BY
1	02DEC22	AHN
2	30JAN23	AHN
3	28APR23	AHN
4	20JUN23	AHN

REVISIONS
 PRELIMINARY ONLY: NOT FOR CONSTRUCTION
 DESIGN REVIEW SUBMITTAL
 REVISED
 REVISED – CUF/FILL CALCULATIONS ADDED
 REVISED
 REVISED

C3.0

LEGEND

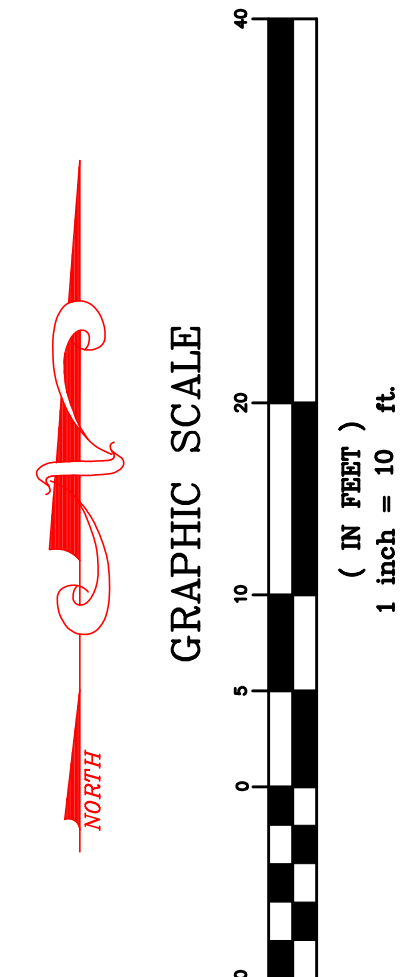
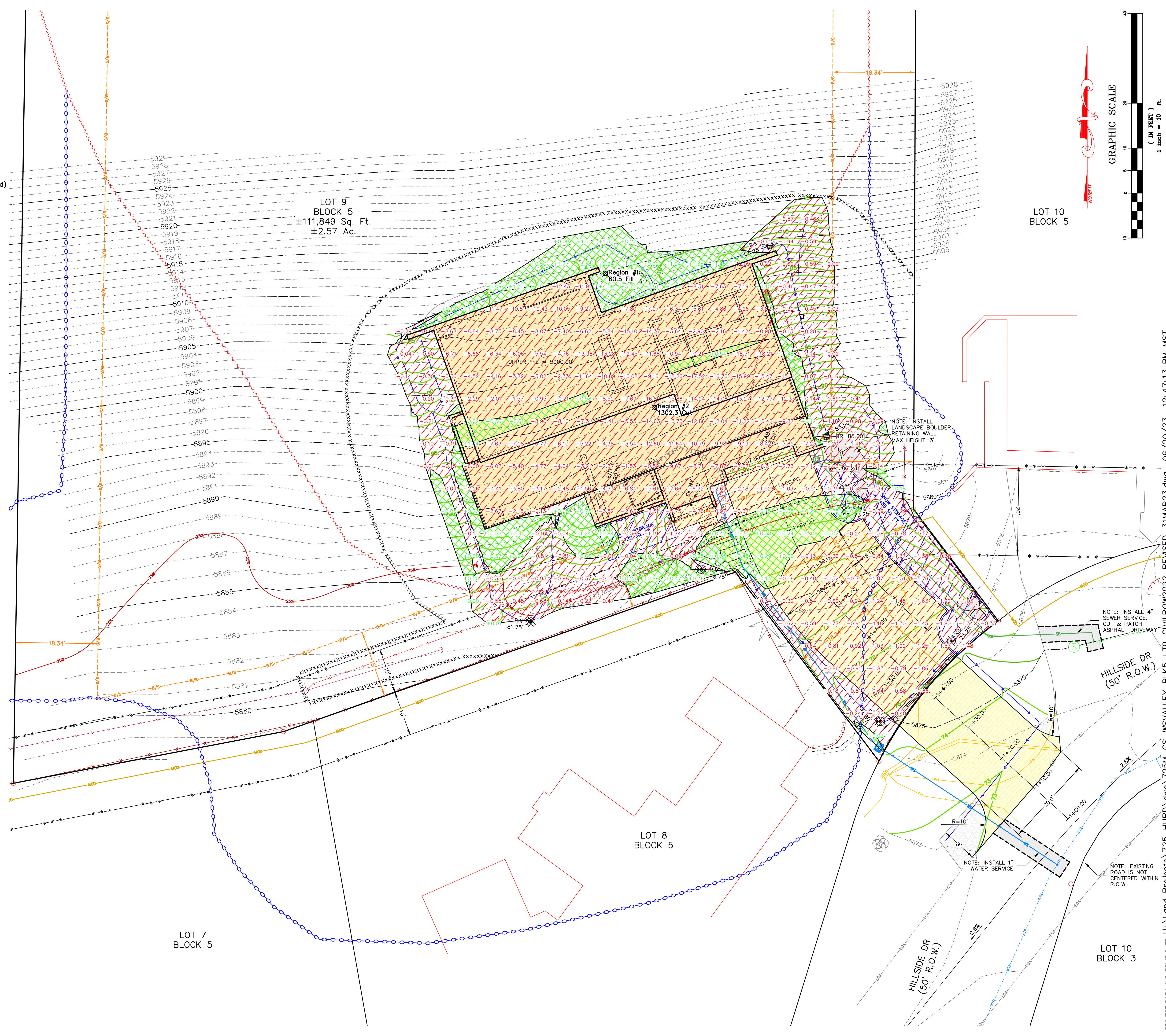
- Subject Boundary
- Adjainers Boundary
- Centerline of Existing Road
- Existing Edge of Asphalt Roadway
- Existing Edge of Paver Driveway
- Drainage & Utility Easement per Plat
- Building Setback (See Note 5)
- Mountain Overlay District (City of Ketchum)
- 25% Slope Line (Alpine 2022)
- Existing 5' Major Contour Line (Alpine 2022)
- Existing 1' Minor Contour Line (Alpine 2022)
- Proposed 5' Major Contour
- Proposed 1' Minor Contour
- Proposed Drainage Flowline
- Proposed Limits of Disturbance
- Existing Wooden Fence
- Existing Wooden Fence (To Be Removed)
- Existing Dripline/Edge of Vegetation (To Be Removed)
- Approximate Existing Structure
- Existing Retaining Wall
- Existing Overhead Power
- Proposed Underground Power
- Existing Water Main
- Existing Water Service
- Proposed 1" Water Service (C2.0, Detail 4)
- Existing Sewer Main
- Existing Sewer Service
- Proposed 4" Sanitary Sewer Service (C2.0, Detail 4)
- Existing Underground Phone
- Red Avalanche Hazard Zone (Alpine 2022)
- Blue Avalanche Hazard Zone (Alpine 2022)
- Found 1/2" Rebar
- Existing Power Pole
- Existing Power Pole Guy Wire
- Existing Sewer Manhole
- Proposed Sewer Cleanout
- Proposed Water Meter (C2.0, Detail 1)
- Existing Phone Box
- Proposed Power Meter
- Proposed Gas Meter
- 1.0% Existing Road Grade
- Existing Willow Bush (To Be Removed)
- Existing Conifer Tree (To Be Removed)
- Existing Deciduous Tree (To Be Removed)
- Proposed Structure
- Proposed Paver Driveway (C3.0, Detail 9)
- Proposed Asphalt Patch & Saw-Cut Line (C3.0, Detail 7)
- Proposed Stone Entry
- Proposed Boulders (C3.0, Detail 10)
- Proposed Gravel (C3.0, Detail 6)
- Proposed Snow Storage
- Proposed Landscape Drywell (C3.0, Detail 8)
- Proposed Heated Landscape Catch Basin Connected To Building Drainage
- Proposed 6" Driveway Trench Drain
- SLAB Garage Slab Elevation
- FFE Finish Floor Elevation
- RIM Drywell/Catch Basin Rim Elevation
- TR Top of Retainage Elevation
- BR Bottom of Retainage Elevation

NOTES

- 1) Basis of Bearings is Idaho State Plane Coordinate System, NAD83, Central Zone, at Grid in US Survey Feet. Vertical Datum is NAVD1988.
- 2) Boundary Information is from the Plats of Warm Springs Valley Subdivision, Instrument Number 119580; Warm Springs Valley Subdivision, Block 5, Lots 5A & 7A, Instrument Number 559480; Records of Blaine County, Idaho.
- 3) Refer to the Plat Notes, Conditions, Covenants, & Restrictions on the Original Plat.
- 4) Utility Locations shown are based on visual surface evidence. Utility locations should be verified by Digline before any excavation.
- 5) Current Zoning appears to be Limited Residential District, (LR). Please refer to City of Ketchum Zoning Ordinances for more information about this Zone. Front and Rear Building Setbacks are as shown, Side Setbacks are the greater of 1' for every 2' in building height or 10'.
- 6) Lot 9 appears to be partially in the City of Ketchum Mountain Overlay District.
- 7) Lot 9 appears to be zoned Blaine County Elk Winter Range.
- 8) Lot 9 appears to be in the Ketchum Avalanche Overlay District.
- 9) Not all trees and vegetation are shown, some locations are approximate.
- 10) Avalanche Zoning is from a 2022 RAMMS & AVAL-1D Study conducted by Alpine Enterprises Inc. This study is site specific; it should not be applied to adjacent lands.

CUT/FILL VOLUMES

- Proposed Cut (Total = 1302.3 Cubic Yards)
 - Proposed Fill (Total = 60.1 Cubic Yards)
 - 7.29 Proposed Vertical Cut Elevation Difference
 - +1.52 Proposed Vertical Fill Elevation Difference
- NOTE: Shrink/Swell Factor = 1.2



PROJECT PATH AND PRINT DATE: U:\Land Projects\725_HURD.dwg\725M_CS_WSVALLEY_BLK5.LT9_CIVILROW2022_REVISD_31MAR23.dwg 06/20/23 12:47:13 PM MST

REVISIONS

NO	DATE	BY
1	02DEC22	AHN
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PRELIMINARY ONLY: NOT FOR CONSTRUCTION
DESIGN REVIEW SUBMITTAL
REVISED - CUFF/FILL CALCULATIONS ADDED
REVISED
REVISED

ALPINE ENTERPRISES INC.
Surveying, Mapping, Civil Engineering,
and Natural Hazards Consulting
660 Bell Dr., Unit 1 83340 USA
(208) 727-1808
email: bamt@alpineenterprisesinc.com

A SITE GRADING, R.O.W. ENCROACHMENT, & UTILITY PLAN SHOWING
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PREPARED FOR PARAMOUNT PROPERTY DEVELOPMENT LLC

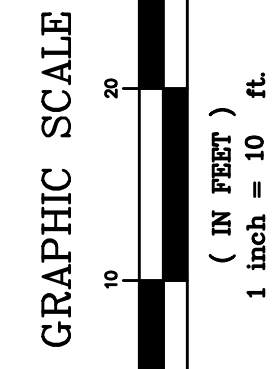
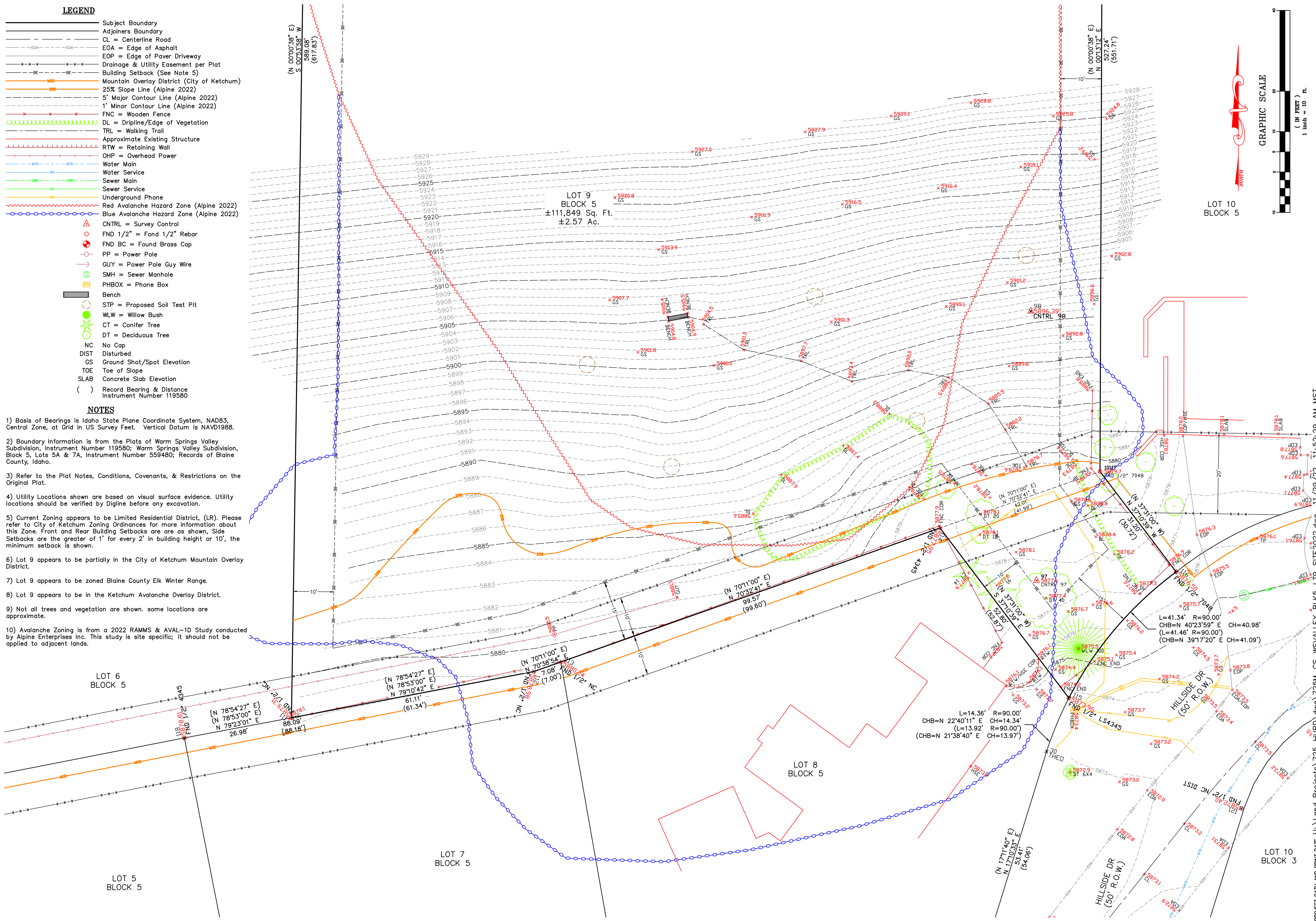
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LEGEND

- Subject Boundary
- Adjoiners Boundary
- CL = Centerline Road
- EOA = Edge of Asphalt
- EOP = Edge of Paver Driveway
- Drainage & Utility Easement per Plat
- Building Setback (See Note 5)
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- 5' Major Contour Line (Alpine 2022)
- 1' Minor Contour Line (Alpine 2022)
- FNC = Wooden Fence
- DL = Dripline/Edge of Vegetation
- TRL = Walking Trail
- Approximate Existing Structure
- RTW = Retaining Wall
- OHP = Overhead Power
- WTR = Water Main
- WS = Water Service
- SMR = Sewer Main
- SS = Sewer Service
- PH = Underground Phone
- Red Avalanche Hazard Zone (Alpine 2022)
- Blue Avalanche Hazard Zone (Alpine 2022)
- CNTRL = Survey Control
- FND 1/2" = Fond 1/2" Rebar
- FND BC = Found Brass Cap
- PP = Power Pole
- GUY = Power Pole Guy Wire
- SMH = Sewer Manhole
- PHBOX = Phone Box
- Bench
- STP = Proposed Soil Test Pit
- WLW = Willow Bush
- CT = Conifer Tree
- DT = Deciduous Tree
- NC = No Cap
- DIST = Disturbed
- GS = Ground Shot/Spot Elevation
- TOE = Toe of Slope
- SLAB = Concrete Slab Elevation
- () = Record Bearing & Distance Instrument Number 119580

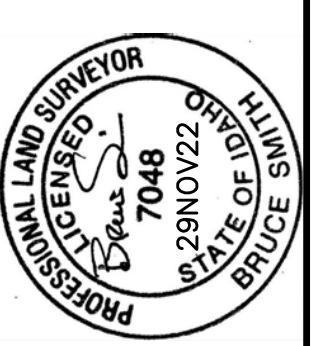
NOTES

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Alpine Enterprises Inc.
 Surveying, Mapping, Civil Engineering,
 and Natural Hazards Consulting
 660 Bell Dr., Unit 1
 P.O. Box 2037, Ketchum, ID 83340 USA
 (208) 727-1800
 email: alpine@alpineenterprisesinc.com



REVISIONS	NO	DATE	BY

A SITE SURVEY SHOWING
 LOT 9, BLK 5, WARM SPRINGS VALLEY SUBDIVISION
 WITHIN S11, T.4N., R.17E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
 PREPARED FOR PARAMOUNT PROPERTY DEVELOPMENT LLC

Site location:
219 Hillside Drive
Ketchum, ID 83340

Location in avalanche zone

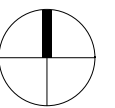


Aerial view of Ketchum
NTS

Enlarged aerial view at 219 Hillside Drive relative to existing residential homes (1"=100'-0"):
Proposed single-family residential footprint in white; dashed lines represent property boundary

AERIAL SITE IMAGE 219 HILLSIDE DRIVE

04/27/2023





EXTERIOR INSPIRATION

219 HILLSIDE DRIVE

04/27/2023

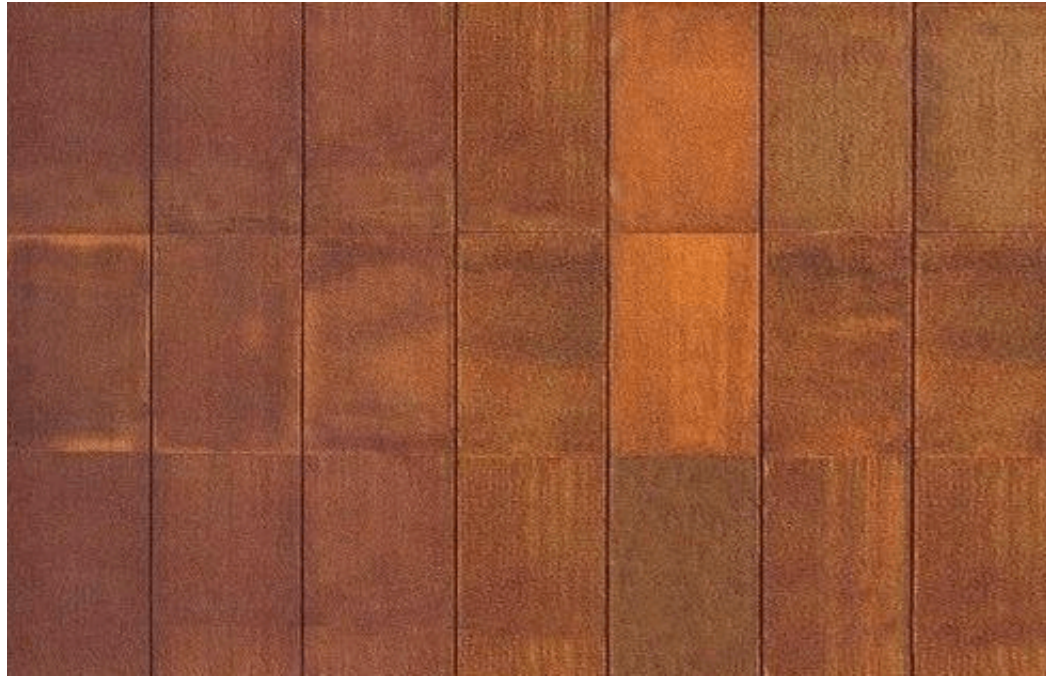




INTERIOR INSPIRATION 219 HILLSIDE DRIVE

04/27/2023





corten steel



black framed windows + doors



painted black steel



native landscaping



board formed concrete



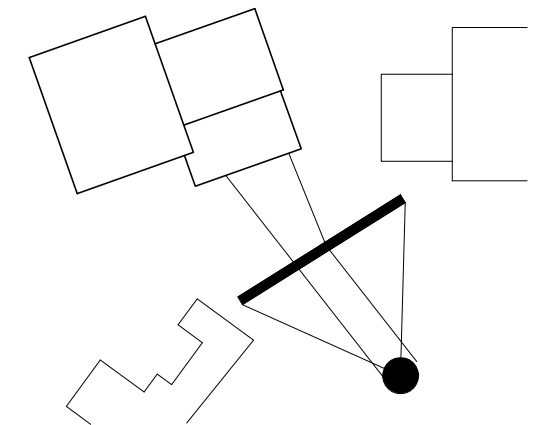
wood cladding

EXTERIOR MATERIAL PALETTE

219 HILLSIDE DRIVE

04/27/2023

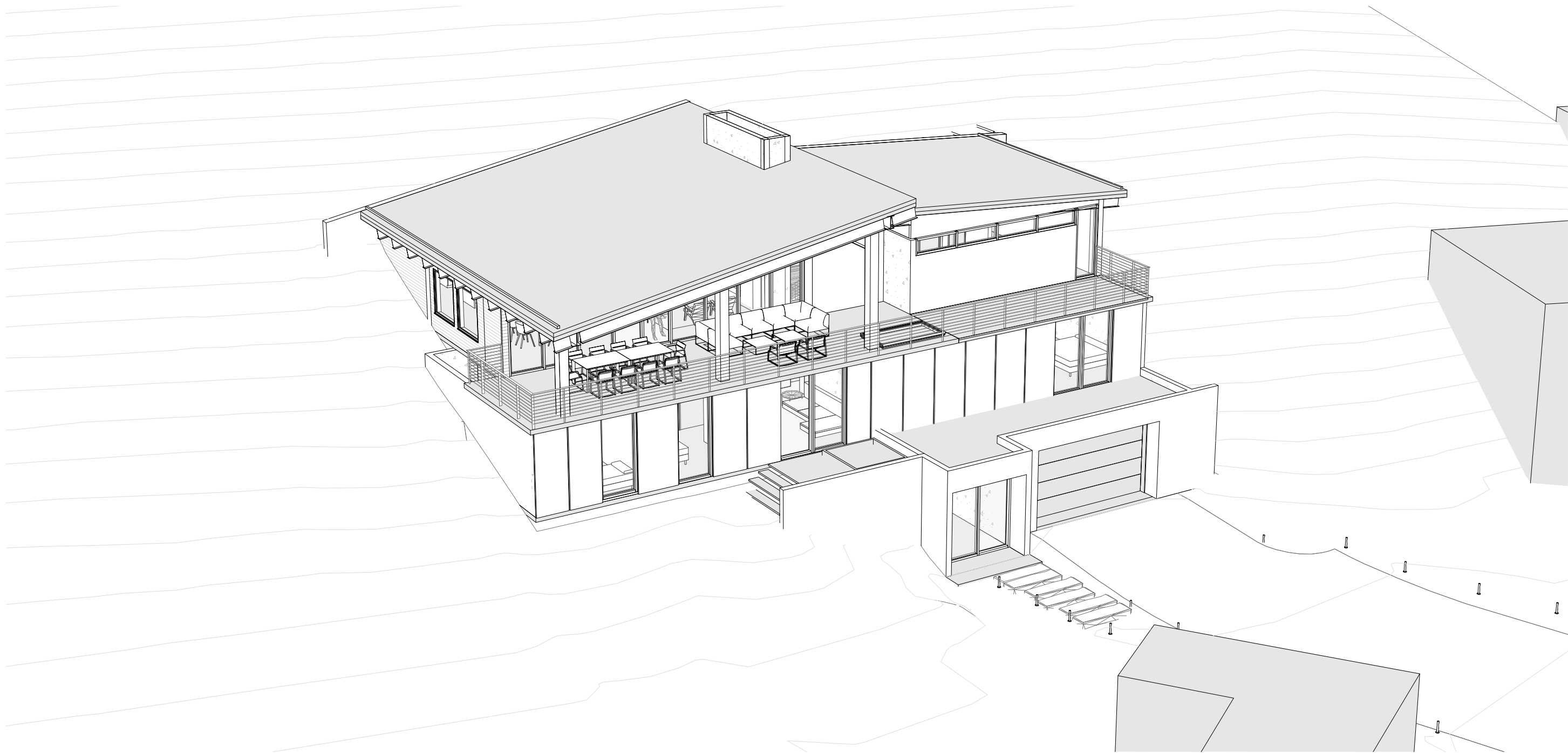




SCHEMATIC RENDERING - FROM STREET
219 HILLSIDE DRIVE

04/27/2023

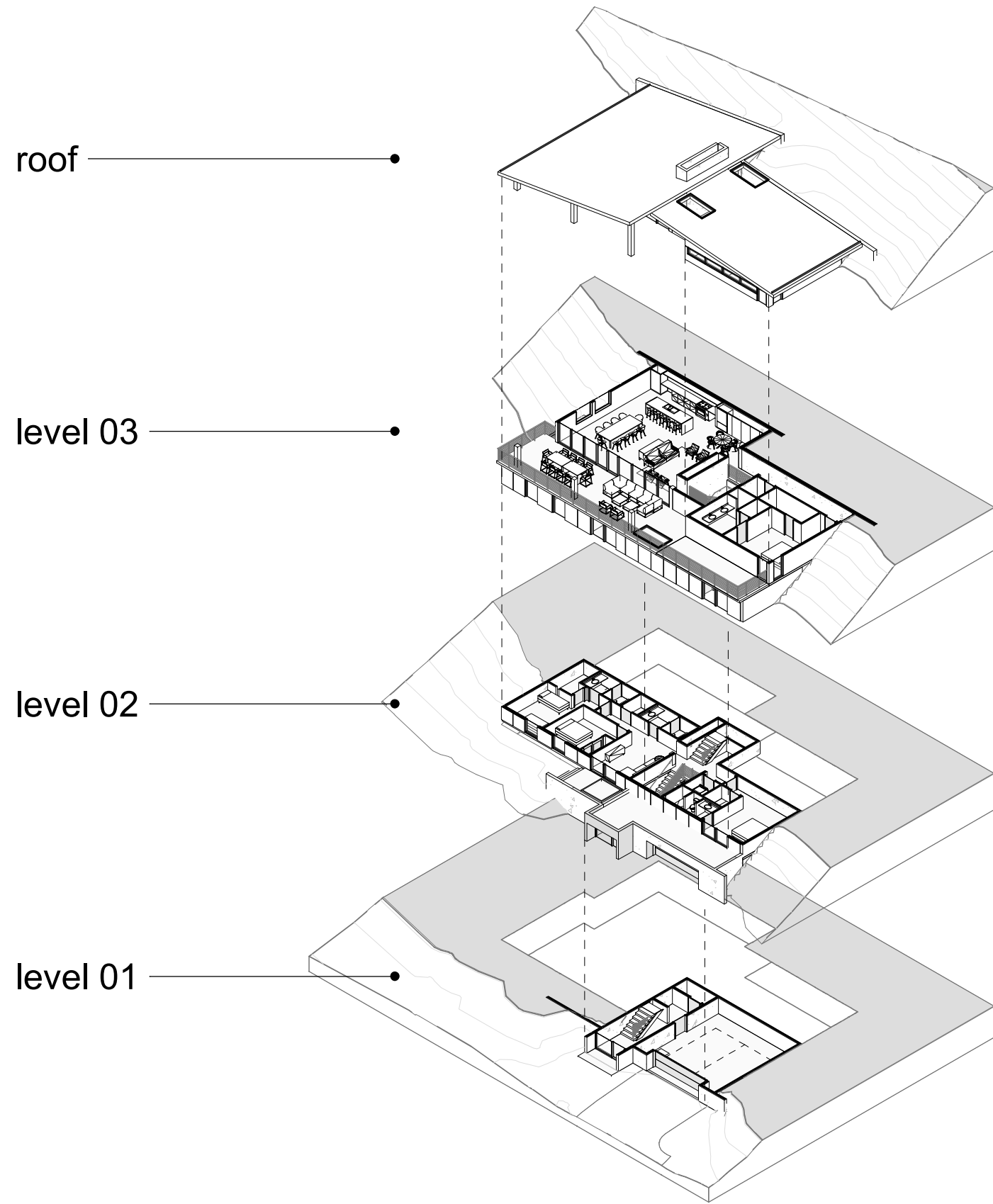




BIRD'S EYE PERSPECTIVE
219 HILLSIDE DRIVE

04/27/2023

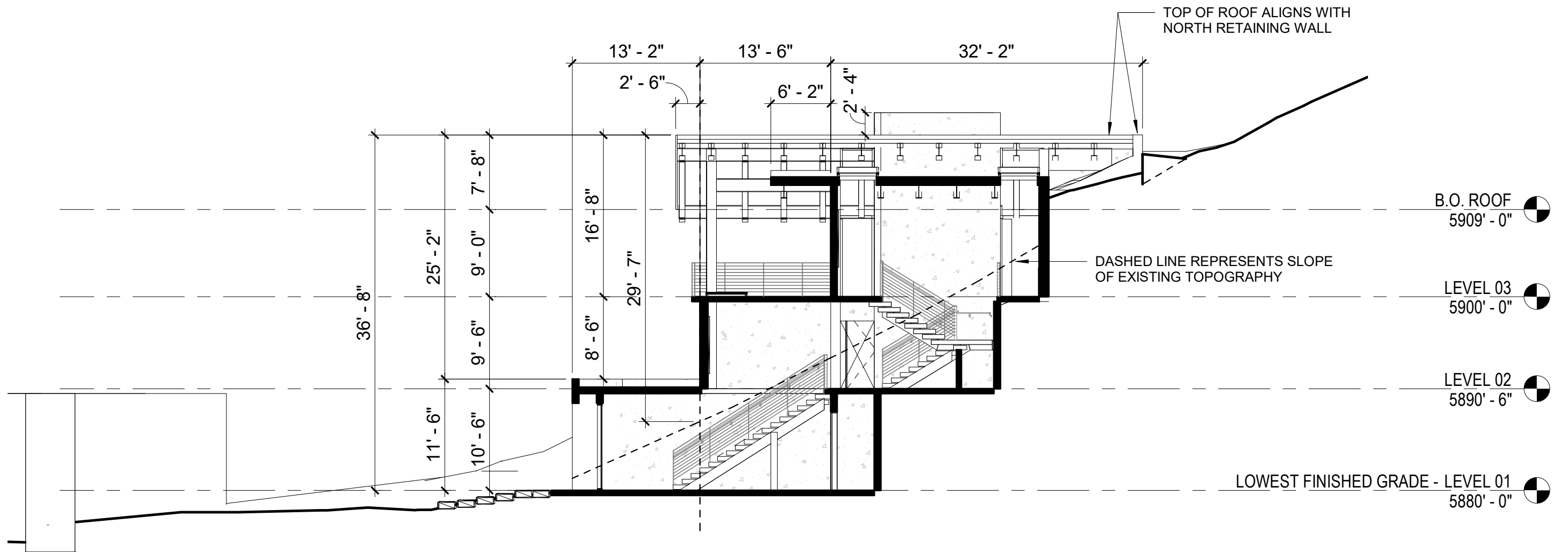




EXPLODED AXONS
219 HILLSIDE DRIVE

04/27/2023

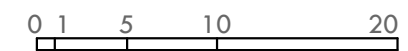


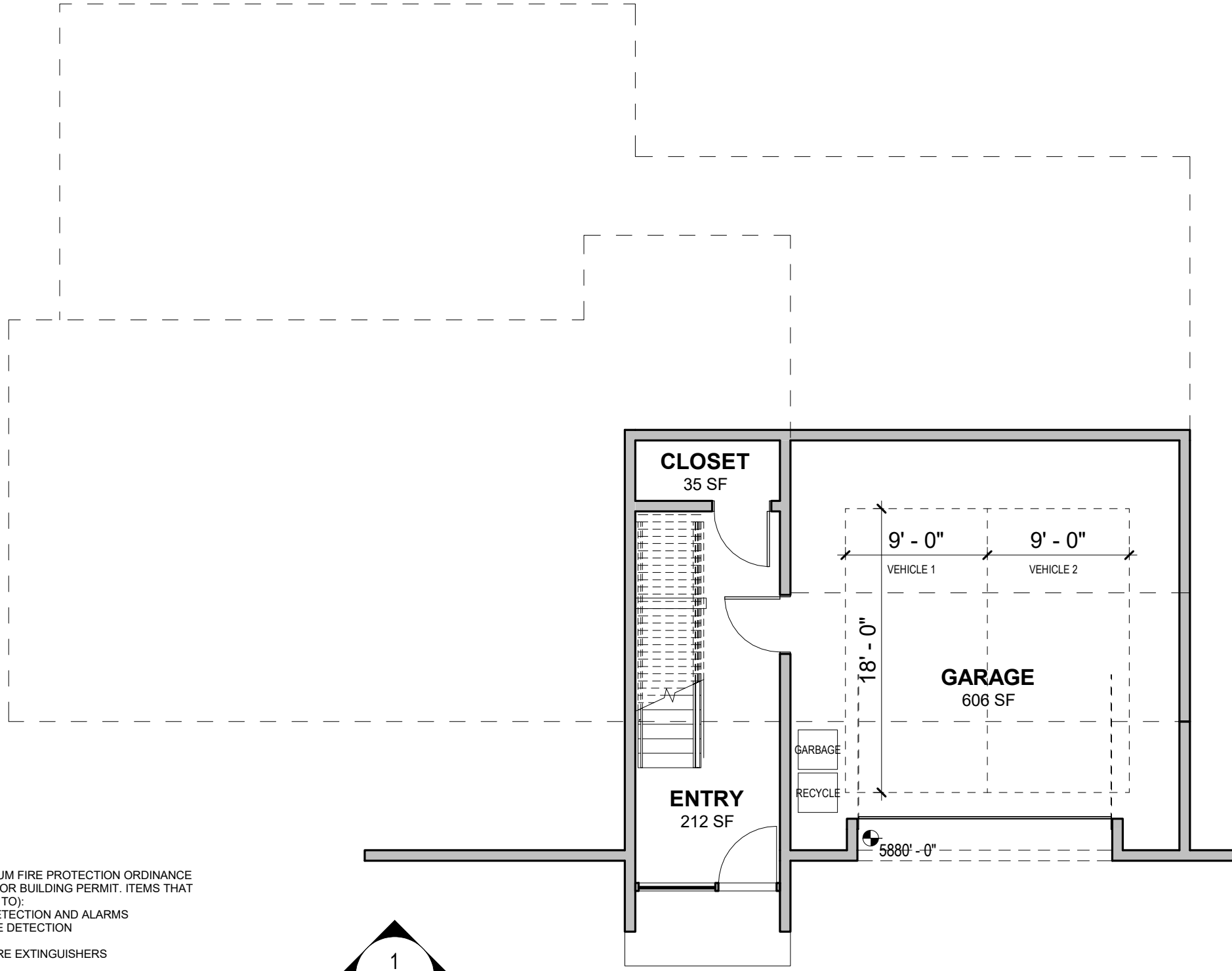
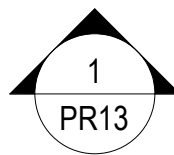
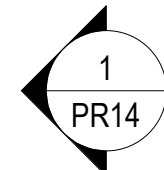
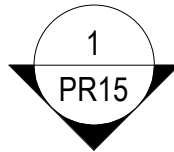
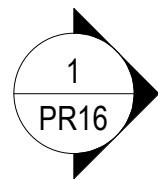


SECTION
219 HILLSIDE DRIVE

04/27/2023

Scale: 3/32" = 1'-0"





TYPICAL ALL FLOOR PLANS:
PROJECT WILL COMPLY WITH KETCHUM FIRE PROTECTION ORDINANCE #1217 AND 2018 IFC REQUIREMENTS FOR BUILDING PERMIT. ITEMS THAT WILL BE INCLUDED (BUT NOT LIMITED TO):

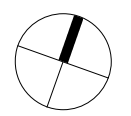
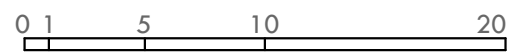
- APPROVED MONITORED FIRE DETECTION AND ALARMS
- SMOKE AND CARBON MONOXIDE DETECTION
- APPROVED ADDRESS NUMBERS
- QUANTITY AND LOCATION OF FIRE EXTINGUISHERS
- KNOX BOX
- EXTERIOR FIRE RATING AND MATERIAL REQUIREMENTS

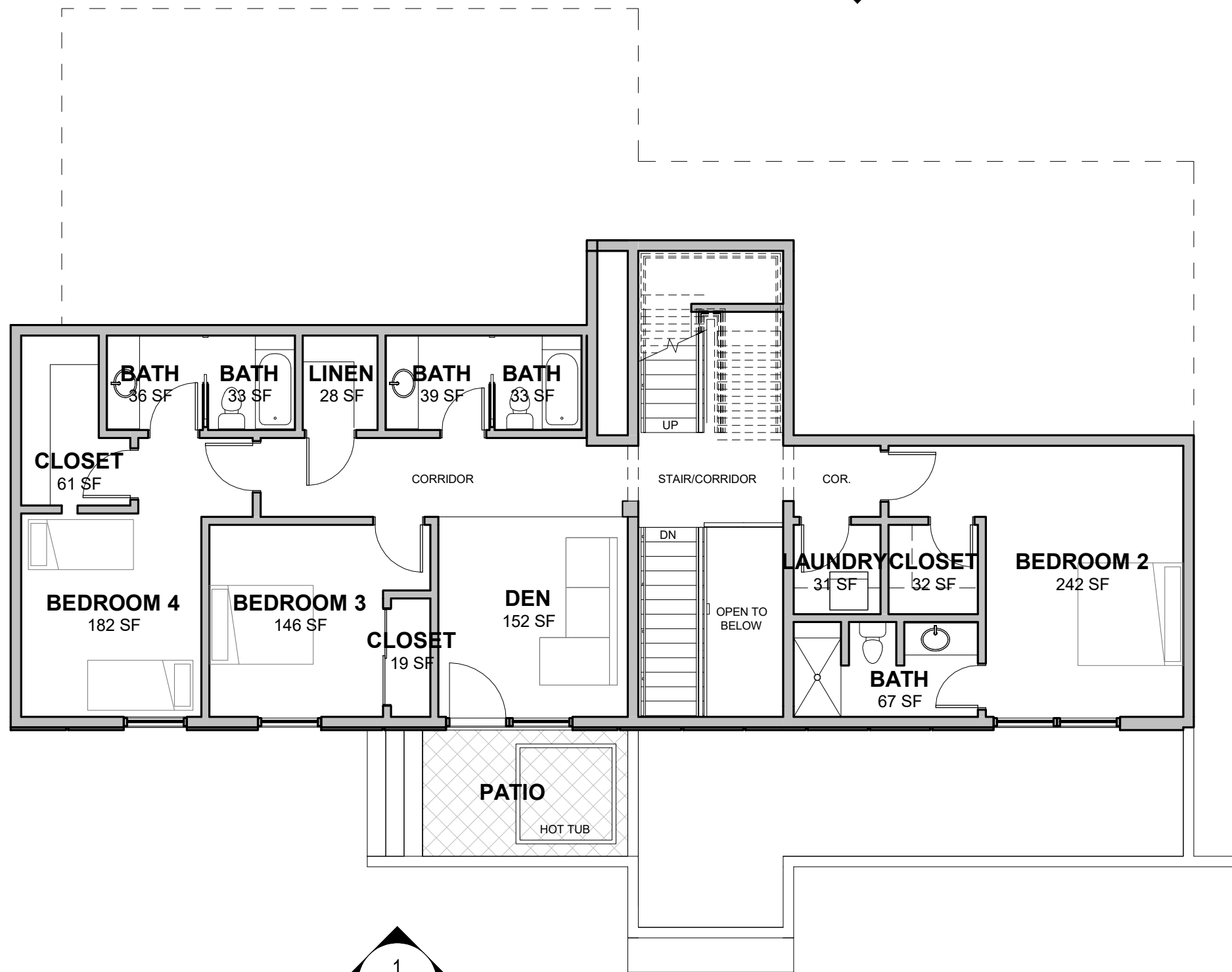
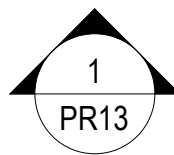
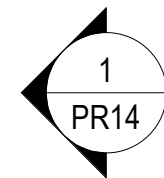
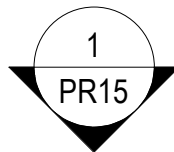
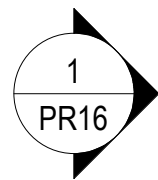
FLOOR PLAN - LEVEL 1

219 HILLSIDE DRIVE

04/27/2023

Scale: 1/8" = 1'-0"

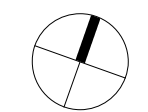
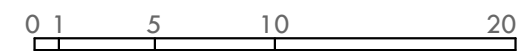


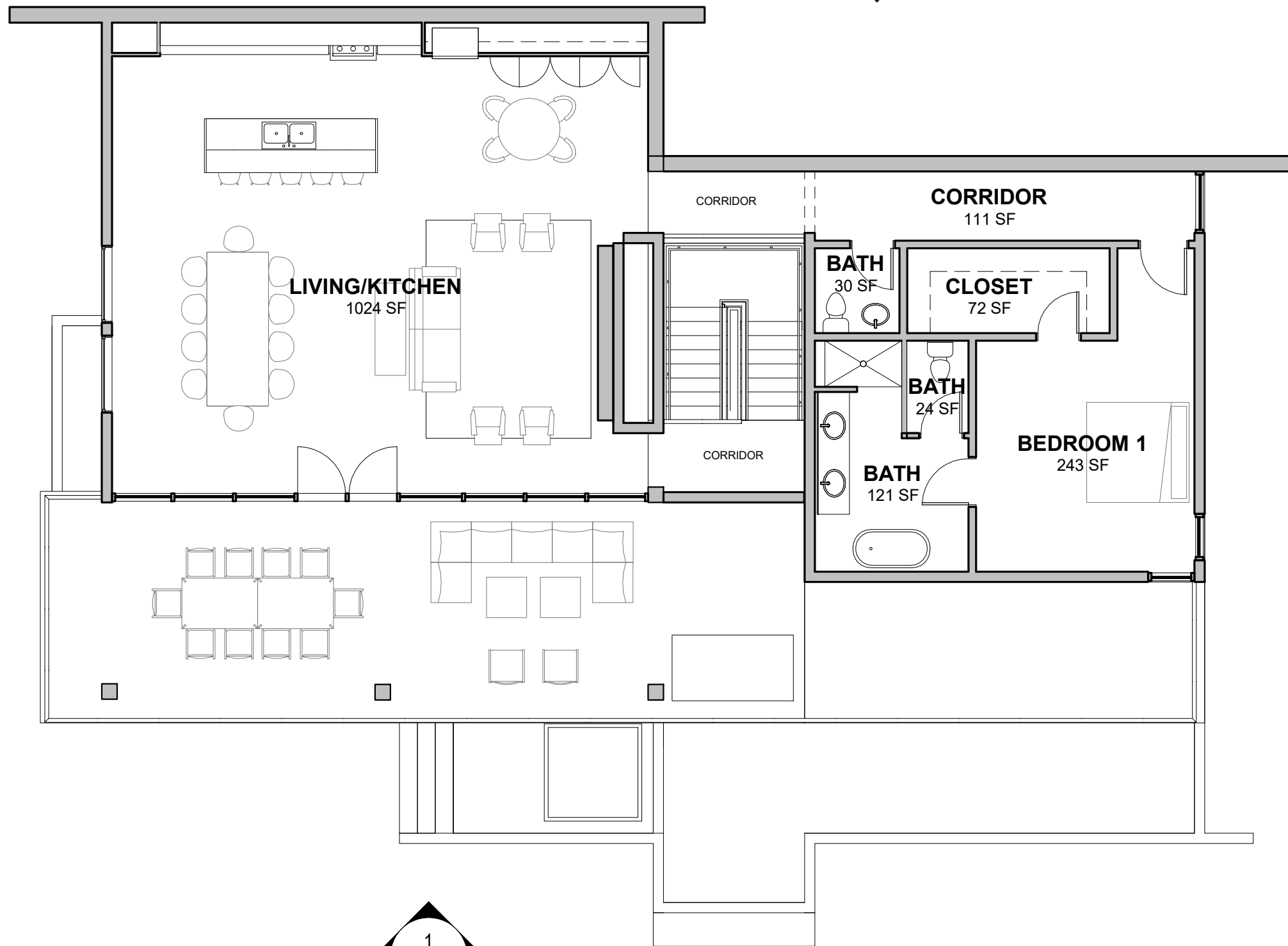
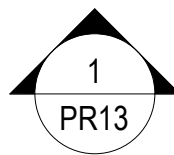
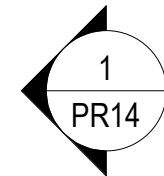
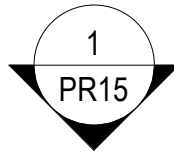
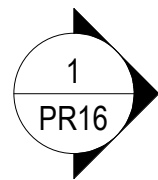


FLOOR PLAN - LEVEL 2
219 HILLSIDE DRIVE

04/27/2023

Scale: 1/8" = 1'-0"

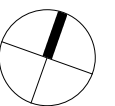
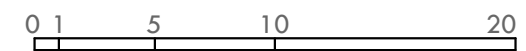


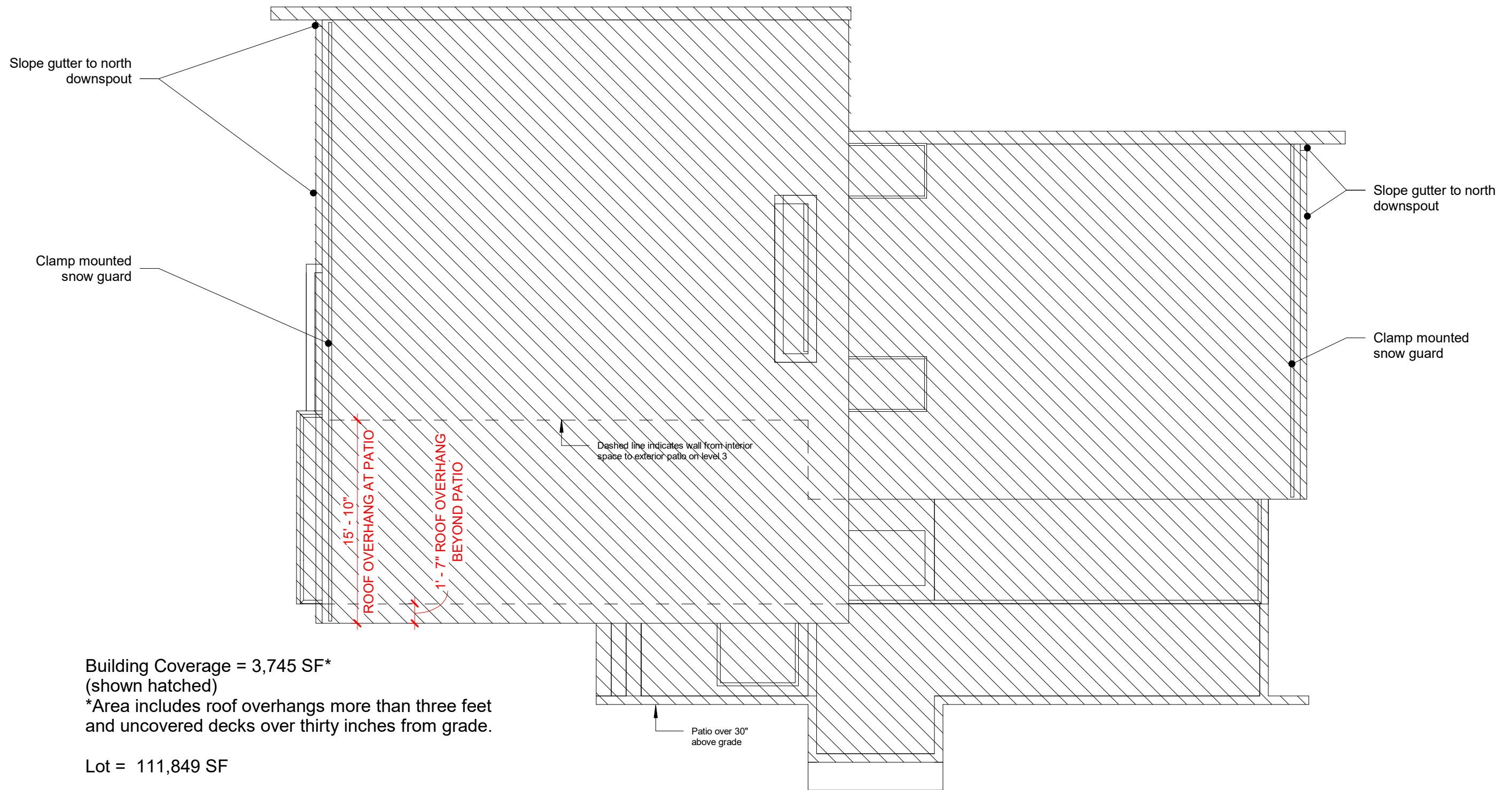


FLOOR PLAN - LEVEL 3
219 HILLSIDE DRIVE

04/27/2023

Scale: 1/8" = 1'-0"



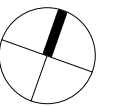


Building Coverage = 3,745 SF*
 (shown hatched)

*Area includes roof overhangs more than three feet
 and uncovered decks over thirty inches from grade.

Lot = 111,849 SF

3.4% coverage

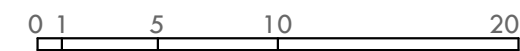


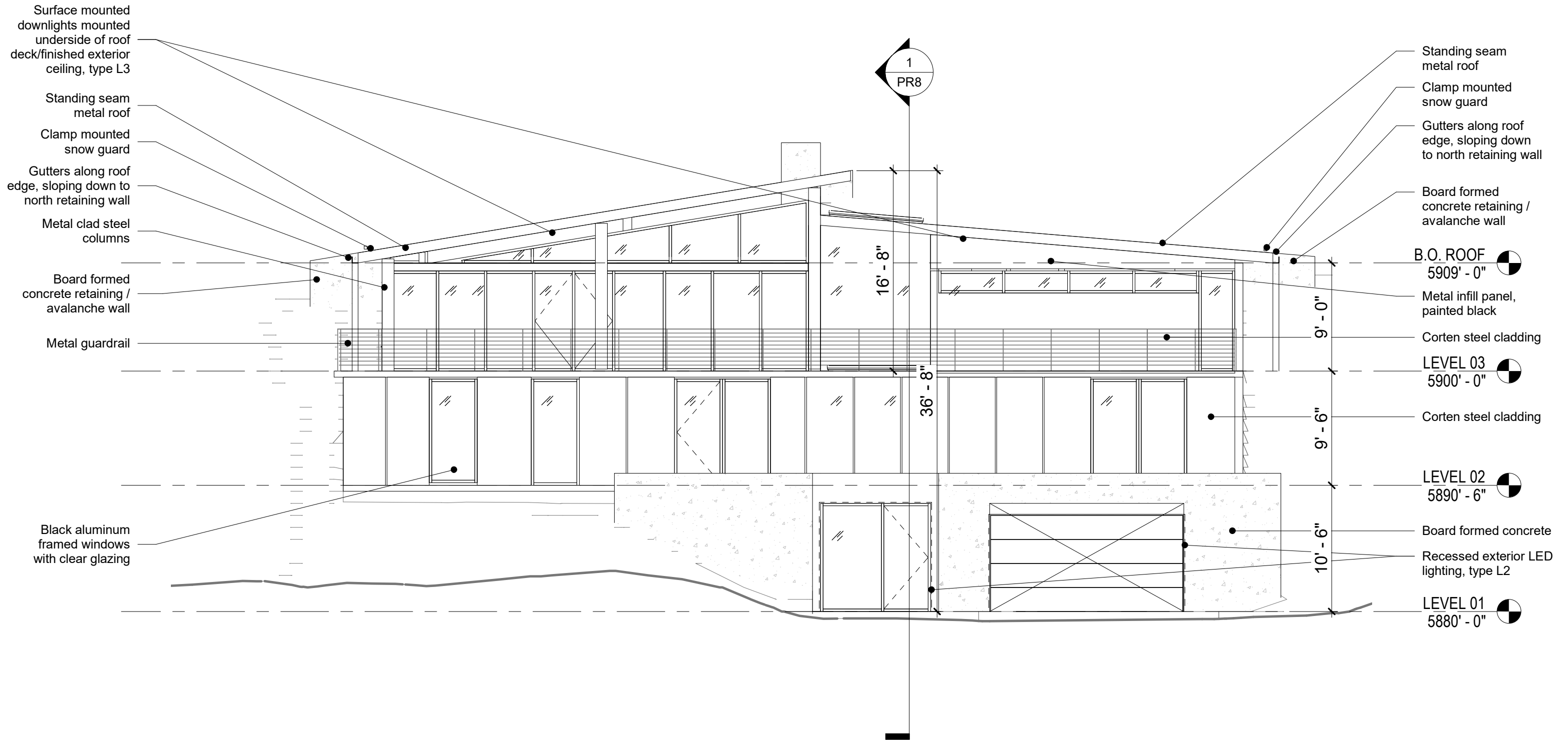
ROOF PLAN

219 HILLSIDE DRIVE

04/27/2023

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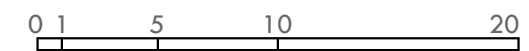


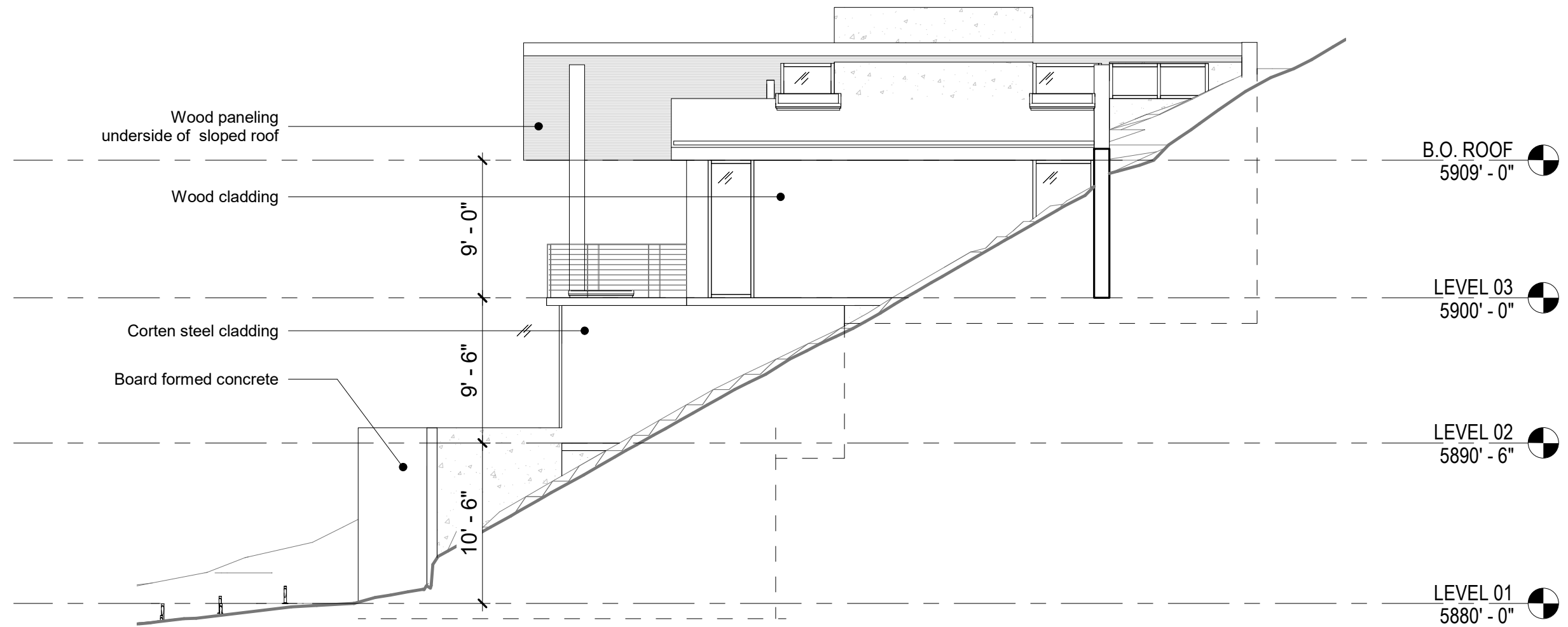
ELEVATION SOUTH

219 HILLSIDE DRIVE

04/27/2023

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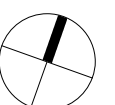
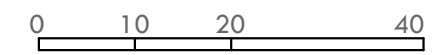


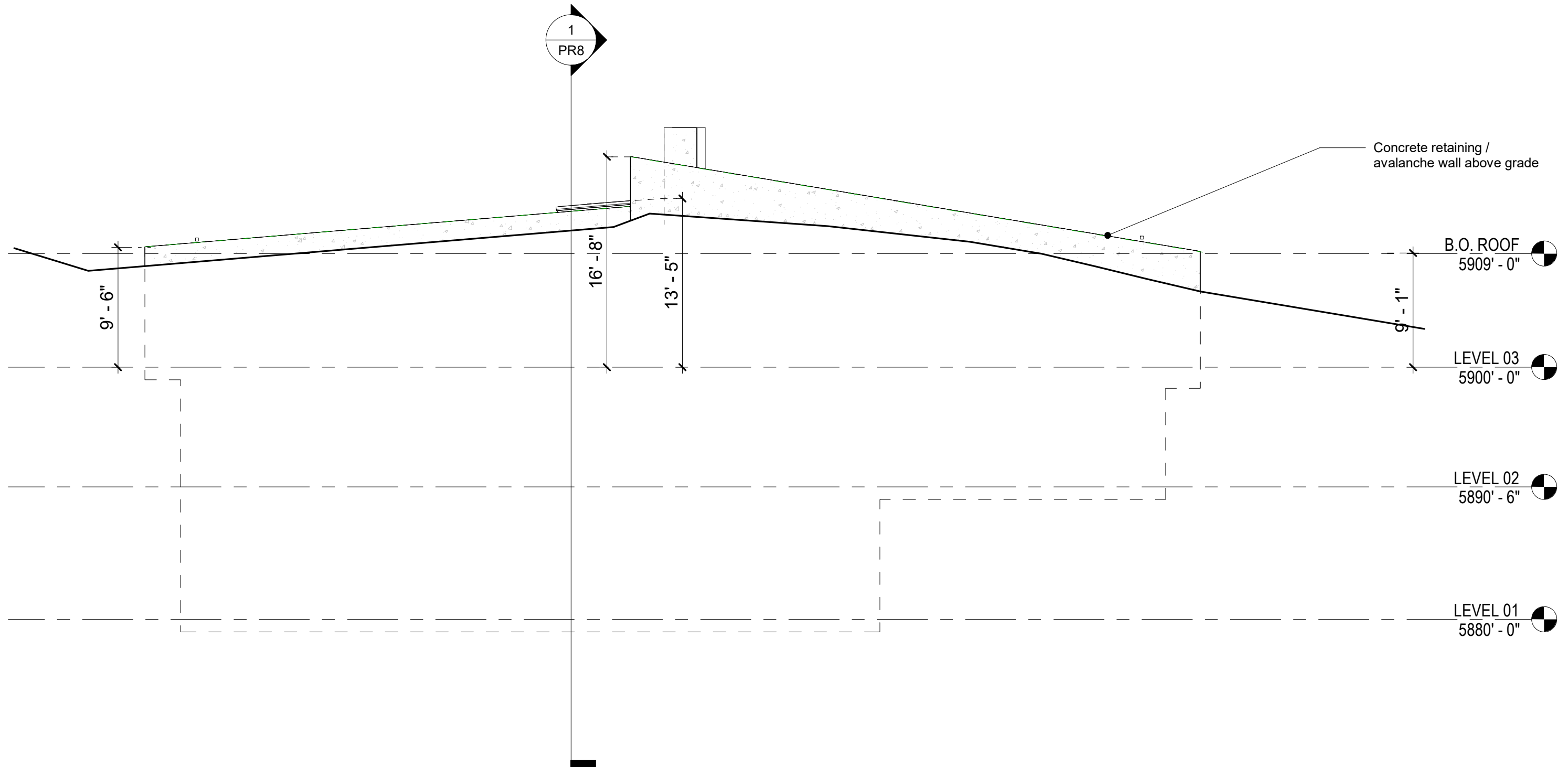


ELEVATION EAST
219 HILLSIDE DRIVE

04/27/2023

Scale: 1/8" = 1'-0"



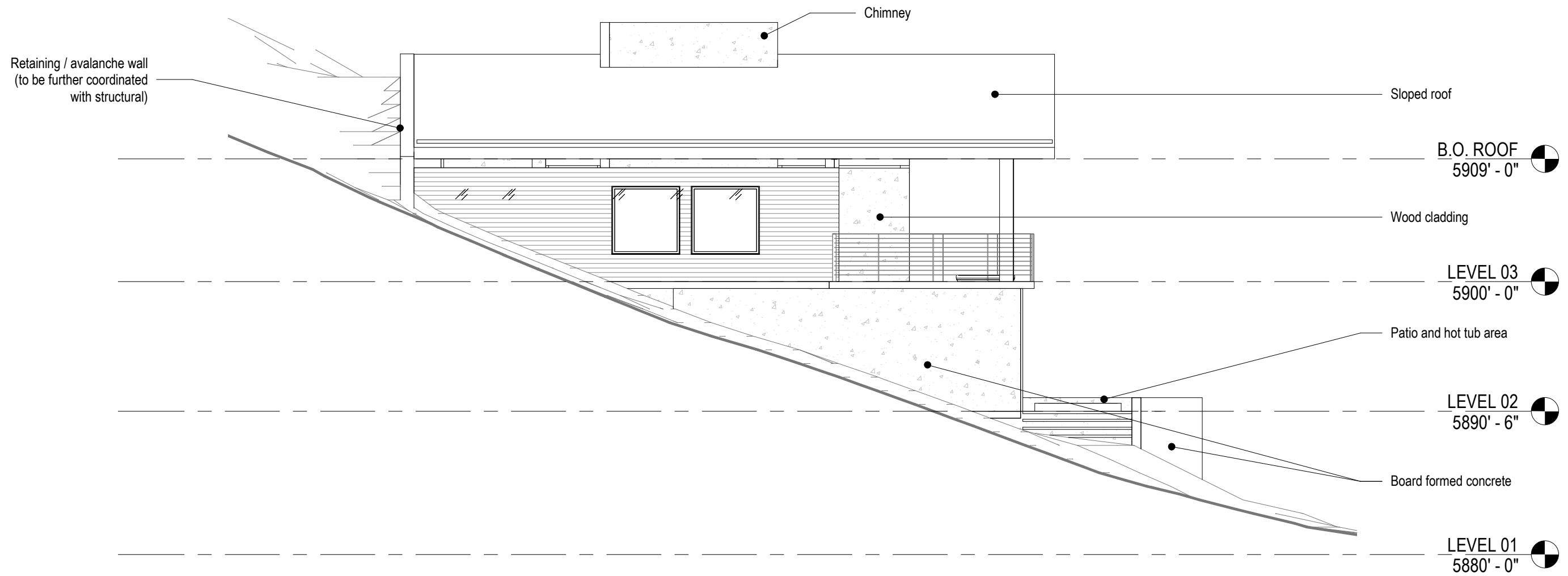


ELEVATION NORTH
219 HILLSIDE DRIVE

07/03/2023

Scale: 1/8" = 1'-0"





ELEVATION WEST
219 HILLSIDE DRIVE

04/27/2023

Scale: 1/8" = 1'-0"

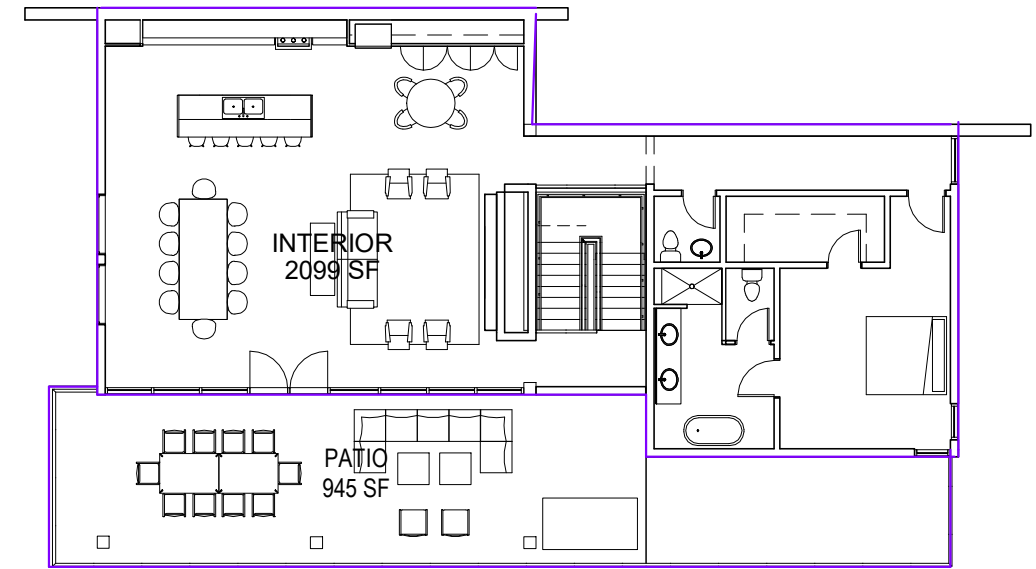


Room Schedule -Usable SF	
Name	Area

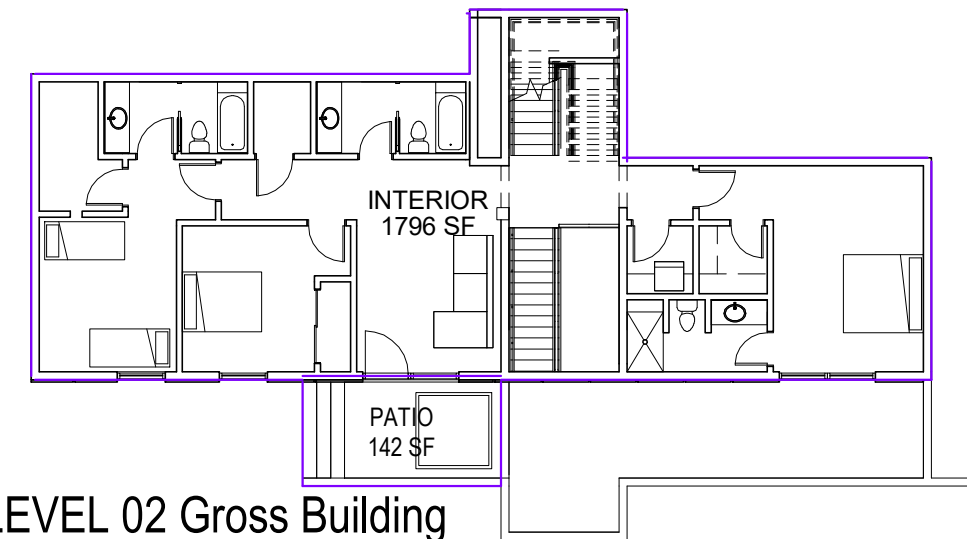
LEVEL 01	
CLOSET	35 SF
ENTRY	212 SF
GARAGE	606 SF
LEVEL 01: 3	853 SF
LEVEL 02	
BATH	39 SF
BATH	33 SF
BATH	67 SF
BATH	36 SF
BATH	33 SF
BEDROOM 2	242 SF
BEDROOM 3	146 SF
BEDROOM 4	182 SF
CLOSET	61 SF
CLOSET	19 SF
CLOSET	32 SF
COR.	25 SF
CORRIDOR	115 SF
DEN	152 SF
LAUNDRY	31 SF
LINEN	28 SF
STAIR/CORRIDOR	155 SF
LEVEL 02: 17	1398 SF

Room Schedule -Usable SF	
Name	Area

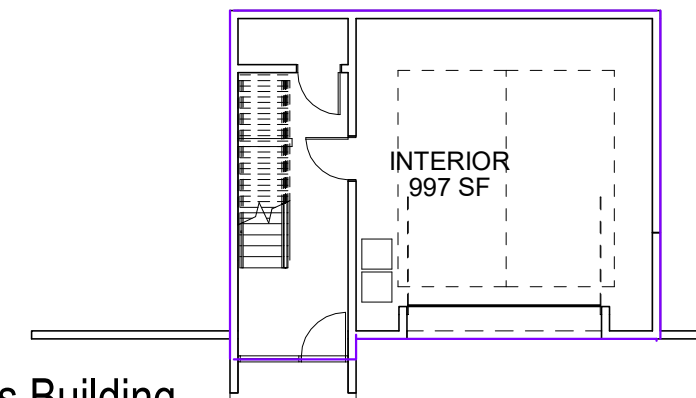
LEVEL 03	
BATH	30 SF
BATH	121 SF
BATH	24 SF
BEDROOM 1	243 SF
CLOSET	72 SF
CORRIDOR	47 SF
CORRIDOR	46 SF
CORRIDOR	111 SF
LIVING/KITCHEN	1024 SF
LEVEL 03: 9	1719 SF
Grand total: 29	3970 SF



LEVEL 03 Gross Building



LEVEL 02 Gross Building



LEVEL 01 Gross Building

Area Schedule - Gross...	
Level	Area

LEVEL 01	997 SF
LEVEL 02	1796 SF
LEVEL 03	2099 SF
	4892 SF

Bold purple lines indicate area boundary.

AREA BREAKDOWN

219 HILLSIDE DRIVE

04/27/2023





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PLANT LEGEND

symbol	quan	description	planted size
	9	Evergreen Trees Douglas Fir - <i>Pseudotsuga menziesii</i> var. <i>glauca</i> Bristlecone Pine - <i>Pinus aristata</i>	10'
	6	Aspen Groupings Quaking Aspen - <i>Populus tremuloides</i>	2" & 3" Cal.
	3	Small Accent Tree Russian Hawthorn - <i>Crataegus ambigua</i>	2" Cal.
	46	Shrubs Snowmound Spirea - <i>Spiraea x nipponica</i> 'Snowmound' Common Snowberry - <i>Symphoricarpos albus</i> American Cranberrybush - <i>Viburnum trilobum</i>	5 Gal.
	50	Ornamental Grasses & Perennials Reed Grass, Switch Grass, Blue Oat Grass	1 Gal.
	3,300 sq ft	Low Maintenance Grasses Fescue Blend	Hydroseed

*Proposed plants to be drought tolerant

LEGEND

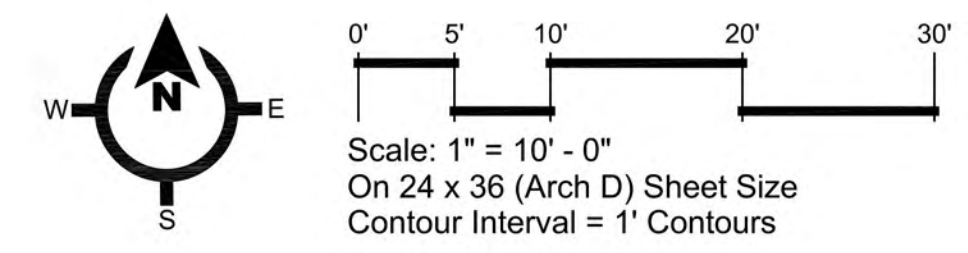
- Property Line**
(Per Survey)
- Existing Contour**
(Per Survey)
- Proposed 1' Contour**
(See Civil Plan For Grading)
- Proposed Boulders**
- Gravel**
- Heated Paver Driveway**
- Stone Entry**
- Existing Evergreen Tree**
(To Remain)
- Existing Trees**
(To Be Removed)

LANDSCAPE NOTES

- All disturbed areas shall be revegetated and irrigated with an automatic underground irrigation system.
- Planting beds shall have 3" cover of decorative rock.

IRRIGATION NOTES

- Irrigation system shall be an automatically controlled underground system with low water use heads, a smart controller, and rain/freeze sensor for a water wise system.
- Rotors to be used in grass & lawn areas and drip irrigation shall be installed adjacent to buildings in planting beds and around tree plantings in natural areas.
- Irrigation systems shall not be placed against pavement, or placed such that they spray water onto the pavement.
- No irrigation heads to be installed in Right of Way.



PROJECT
219 HILLSIDE DRIVE
Ketchum, Idaho

DOCUMENT DATE
May 24, 2022

DRAWN BY
Nathan Schutte

REVISION
No. Date Remark
04/27/23 Revision

SUBMITTAL SET

LANDSCAPE PLAN

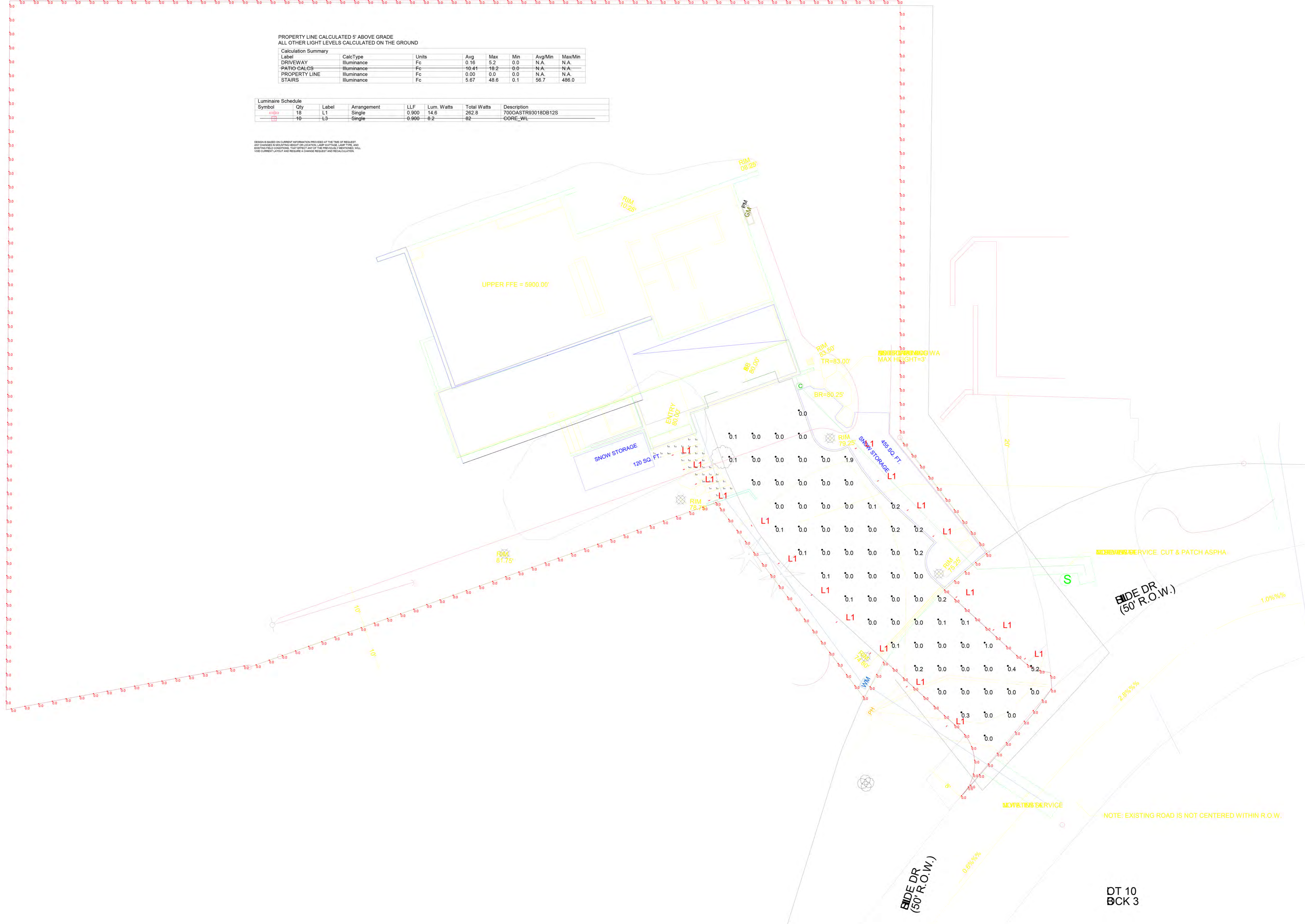
L2

PROPERTY LINE CALCULATED 5' ABOVE GRADE
ALL OTHER LIGHT LEVELS CALCULATED ON THE GROUND

Calculation Summary						
Label	Calc Type	Units	Avg	Max	Min	Avg/Min
DRIVEWAY	Illuminance	Fc	0.16	5.2	0.0	N.A.
PATIO-CALCS	Illuminance	Fc	10.41	18.2	0.0	N.A.
PROPERTY LINE	Illuminance	Fc	0.00	0.0	0.0	N.A.
STAIRS	Illuminance	Fc	5.67	48.6	0.1	56.7

Luminaire Schedule						
Symbol	Qty	Label	Arrangement	LLF	Lum. Watts	Total Watts
□	18	L1	Single	0.900	14.6	262.8
□	10	L3	Single	0.900	8.2	82

DESIGN IS BASED ON CURRENT INFORMATION PROVIDED AT THE TIME OF REQUEST. ANY CHANGES IN MOUNTING HEIGHT OR LOCATION, LAMP BATTAGE, LAMP TYPE, AND EXISTING FIELD CONDITIONS THAT AFFECT ANY OF THE PREVIOUSLY MENTIONED, WILL VOID CURRENT LAYOUT AND REQUIRE A CHANGE REQUEST AND RE-CALCULATION.



NOTE: EXISTING ROAD IS NOT CENTERED WITHIN R.O.W.

The Strut LED path exemplifies the epitome of a modern, minimalist aesthetic. The clean lines and modern design can effortlessly disappear into the setting or be positioned to make a bold statement. Also available as a matching 42" bollard. Ideal for outdoor path and campus illumination.

Outstanding protection against the elements:

- Powder coat finishes
- Stainless Steel mounting hardware
- Impact-resistant, UV stabilized frosted acrylic lensing

Bolt or Stake mounting options

SPECIFICATIONS

DELIVERED LUMENS	693.1
WATTS	15
VOLTAGE	12V (Transformer sold separately)
DIMMING	MLV
LIGHT DISTRIBUTION	Symmetric
MOUNTING OPTIONS	Bolt or Stake
CCT	2700K, 3000K
CRI	90
COLOR BINNING	3 Step
BUG RATING	B0-U1-G0
DARK SKY	Compliant
WET LISTED	IP65
GENERAL LISTING	ETL
CALIFORNIA TITLE 24	Can be used to comply with CEC 2019 Title 24 Part 6 for outdoor use. Registration with CEC Appliance Database not required.
START TEMP	-30°C
FIELD SERVICEABLE LED	Yes
CONSTRUCTION	Aluminum
HARDWARE	Stainless Steel
FINISH	Powder Coat
LED LIFETIME	L70; >60,000 Hours
WARRANTY*	5 Years
WEIGHT	4 lbs.

* Visit techlighting.com for specific warranty limitations and details.



STRUT PATH
shown in bronze

STRUT PATH
shown in charcoal

STRUT PATH
shown in black

12V AC TRANSFORMERS*

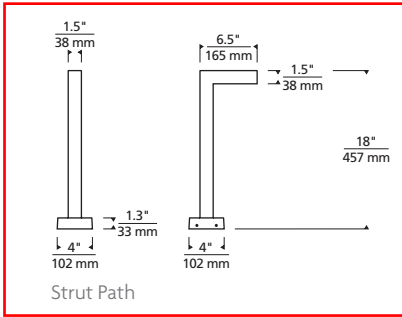
(OUTDOOR RATED, ORDERED SEPARATELY)

ITEM	DESCRIPTION	HOUSING	DIMMING
700OT150T	MAGNETIC, 150W, 120V	STAINLESS STEEL	MAGNETIC
700OT300T	MAGNETIC, 300W, 120V	STAINLESS STEEL	MAGNETIC

ORDERING INFORMATION

PRODUCT	CRI/CCT	LENGTH	LENS	FINISH	VOLTAGE	DISTRIBUTION	OPTIONS
700OASTR	927 90 CRI, 2700K 930 90 CRI, 3000K	18' 18'	D DIFFUSE	Z BRONZE H CHARCOAL B BLACK	12 12V*	S SYMMETRIC	CONCRETE MOUNT ST STAKE MOUNTING KIT

*12V TRANSFORMER ORDERED SEPARATELY.

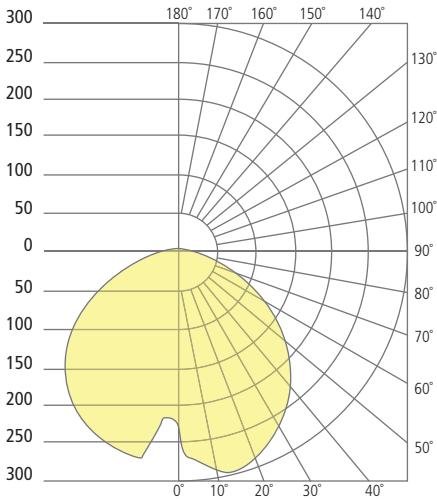


PHOTOMETRICS*

*For latest photometrics, please visit www.techlighting.com/OUTDOOR

STRUT PATH

Total Lumen Output: 693.1
 Total Power: 14.6
 Luminaire Efficacy: 47
 Color Temp: 3000K
 CRI: 80+
 BUG Rating: B0-U1-G0



PROJECT INFO

FIXTURE TYPE & QUANTITY

JOB NAME & INFO

NOTES



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TECH LIGHTING

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