



KURA MEETING AGENDA MEMO

Meeting Date: November 5, 2025 Staff Member/Dept: Jade Riley/Executive Director

Agenda Item: Recommendation to develop a reimbursement agreement with ARCH Community Housing Trust for South Leadville Avenue/2nd Street Project

Recommended Motion:

"I move to instruct staff to develop a reimbursement agreement with ARCH Community Housing Trust and return for Board consideration"

Reasons for Recommendation:

- The Board has identified Community Housing as a strategic priority and has requested staff to identify partnership opportunities.
- ARCH is working to complete an eleven-unit community housing project at Leadville Avenue and 2nd Street. The historic home onsite has already been updated. The new development (ten units) is currently being reviewed by the Planning and Zoning Commission with the goal of construction commencing in 2026.
- As part of the development application, the applicant (ARCH) would be required to construct a new sidewalk and make improvements to the public alley.

Financial Impact:

- Staff has worked with the applicant to estimate the new public infrastructure (sidewalks and alley) to not exceed \$275,000.
- Staff will coordinate with the City Council to determine city financial participation to offset planning fees and development impact fees (estimated at \$124,534).

Attachments:

1. Project Site Plan

LEGEND

	PROPERTY LINE
	ADJOINING PROPERTY LINE
	EDGE PAVEMENT
	EXTERIOR BUILDING FOOTPRINT
	BUILDING ENVELOPE
	FENCE
	ASPHALT
	PAVERS
	RETAINING WALL
	FLOW LINE
	MEASURED BEARINGS AND DISTANCES
	FOUND MAGNETIC NAIL (PER INST. NO. 649860)
	FOUND 5/8" REBAR
	SET 5/8" REBAR
	CALCULATED POINT - NOTHING SET
	CONTROL POINT
	SEWER MANHOLE
	GAS METER
	ELECTRIC METER
	POWER TRANSFORMER
	CABLE TV RISER
	POWER BOX
	WATER VALVE
	DRY WELL
	WITNESS CORNER
	DECIDUOUS TREE
	CONIFER TREE

E. 2ND ST.

S. LEADVILLE AVE

LOT 4
0.13± Acres
5503± Sq. Feet

LOT 3
0.13± Acres
5504± Sq. Feet

171 EAST AVENUE
TOWNHOMES
SUBLOT 1

171 EAST AVENUE
TOWNHOMES
SUBLOT 2

LOT 6A

LOT 8A

LOT 1

NOTES

SURVEY NARRATIVE:

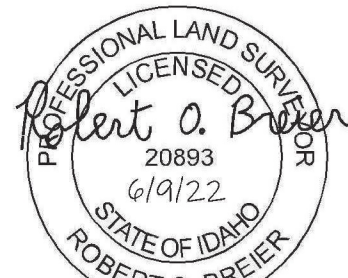
1. THE PURPOSE OF THIS MAP IS TO SHOW LIMITED SITE INFORMATION AS IT EXISTED ON THE DATE THE FIELD SURVEY WAS PERFORMED IN RELATION TO PLATTED LOT LINES. CHANGES MAY HAVE OCCURRED TO SITE CONDITIONS SINCE SURVEY DATE. LOT LINES ARE BASED ON FOUND MONUMENTS. ALL FOUND MONUMENTS WERE ACCEPTED AS EITHER ORIGINAL CORNERS, OR REPLACEMENTS OF ORIGINAL CORNERS. SET MONUMENTS WERE ESTABLISHED USING PROPORTIONED DISTANCES AND BEARINGS ADJUSTED TO BLAINE COUNTY GIS.
2. REFERENCED SURVEYS: PLAT OF VILLAGE OF KETCHUM: INST. NO. 302967; RECORD OF SURVEY OF KETCHUM TOWNSITE: BLOCK 22, LOT 2, INST. NO. 649860; PLAT OF KETCHUM TOWNSITE: BLOCK 22: LOTS 5B, 6A, 7A & 8A, INST. NO. 585272.
2. BOUNDARY DIMENSIONS SHOWN HEREON ARE MEASURED. FOR RECORD DIMENSIONS. SEE REFERENCED SURVEYS.
3. VERTICAL DATUM: ELEVATIONS BASED ON NAVD 88 (GEOID03) DATUM UTILIZING SMARTNET CORS STATION IDKM.
4. UNDERGROUND UTILITIES WERE NOT LOCATED AND ARE NOT SHOWN HEREON.
5. THIS MAP WAS PREPARED FOR THE EXPRESS USE OF THE CLIENT AND IS NOT TRANSFERABLE TO OTHERS WITHOUT WRITTEN CONSENT.
7. TITLE POLICY BY STEWART TITLE GUARANTY COMPANY, FILE NO. 22455699, GUARANTEE NO. G-0000381478838, DATED JUNE 7, 2022. CERTAIN INFORMATION CONTAINED WITHIN SAID POLICY MAY NOT APPEAR ON THIS MAP OR MAY AFFECT ITEMS SHOWN ON THIS MAP.
8. ELECTRONIC DATA: BENCHMARK ASSOCIATES ACCEPTS NO RESPONSIBILITY OR LIABILITY FOR THE REUSE, DISTRIBUTION OR ACCURACY OF DATA CONTAINED ON ELECTRONIC COPIES OF THIS DRAWING. THE STAMPED HARD COPY OF THIS DRAWING IS THE FINAL PRODUCT.
9. THIS DRAWING IS VOID AFTER 2 YEARS AND NO FURTHER COPIES OR DIGITAL FILES WILL BE TRANSMITTED.

EASEMENTS, ENCUMBRANCES AND RESTRICTIONS:

10. BUILDING AREA: BUILDING ENVELOPE IF SHOWN, IS PER PLAT. SETBACK AND FOOTPRINT REQUIREMENTS PER CURRENT CITY/COUNTY ORDINANCES MAY VARY FROM PLAT. IT IS RECOMMENDED THAT SAID ORDINANCES BE REVIEWED PRIOR TO DESIGN.
11. GENERAL RESTRICTIONS : EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS MAP, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY APPLICABLE TO THE SUBJECT OF REAL ESTATE: EASEMENTS, OTHER THAN THOSE SHOWN OR LISTED HEREON, BUILDING SETBACK LINES, RESTRICTIVE COVENANTS, SUBDIVISION RESTRICTIONS, ZONING, WETLANDS, AVALANCHE OR ANY OTHER LAND-USE REGULATIONS OR HAZARDS.

SURVEY AND SITE FEATURES:

12. BASIS OF BEARINGS IS IDAHO STATE PLANE COORDINATE SYSTEM, NAD83, CENTRAL ZONE AS DERIVED BY GPS OBSERVATIONS. ALL DISTANCES SHOWN ARE GROUND DISTANCES IN U.S. SURVEY FEET.
13. BOUNDARY LINES AND CERTAIN EASEMENTS SHOWN HEREON ARE PER PLAT. REFER TO PLAT & CC&R'S FOR CONDITIONS AND/OR RESTRICTIONS REGARDING THIS PROPERTY.
14. UTILITIES AND DRAIN PIPES IF SHOWN HEREON ARE PER SURFACE EVIDENCE ONLY. OTHER UNDERGROUND UTILITIES MAY EXIST. LOCATION OF UNDERGROUND UTILITIES AND SERVICES SHOULD BE CONFIRMED PRIOR TO EXCAVATION OR DESIGN.
15. BUILDING WALLS IF SHOWN HEREON ARE OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
16. SPRINKLER HEADS AND IRRIGATION LINES ARE NOT SHOWN HEREON.
17. TREE LOCATIONS AND DRIP LINES IF SHOWN HEREON ARE APPROXIMATE.
18. ORTHOPHOTOGRAPHY: PHOTO RECTIFIED AT GROUND LEVEL ONLY. IMAGES OF OBJECTS ABOVE GROUND LEVEL (TREES, BUILDINGS, POWER POLES, ETC.) MAY BE DISPLACED. DATE OF PHOTOGRAPHY: MAY 2017.
19. CONTOUR INTERVAL: 1' - CONTOURS IN AREAS OF DENSE VEGETATION MAY DEVIATE FROM TRUE ELEVATION BY ONE HALF THE HEIGHT OF THE VEGETATION. DATE OF LIDAR FLIGHT FOR CONTOURS: 2017.
20. MAP SCALE: DUE TO ELECTRONIC MAP DELIVERY AND ALTERNATE PRINTING METHODS, PLEASE USE BAR SCALE TO DETERMINE ACTUAL PRINTED SCALE.
21. FEATURES OBSCURED FROM VIEW BY DEBRIS, SNOW, VEGETATION OR VEHICLES AT THE TIME OF SURVEY, DO NOT APPEAR ON THIS MAP.



PREPARED BY:
BENCHMARK ASSOCIATES
P.O. BOX 733 - 100 BELL DRIVE, KETCHUM, IDAHO, 83340
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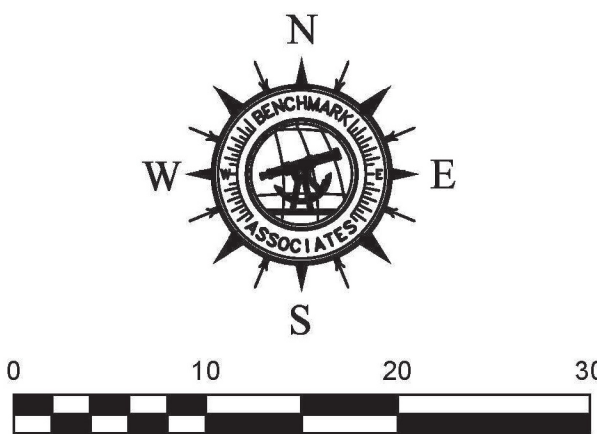


KETCHUM VILLAGE
BLOCK 22, LOTS 3 & 4

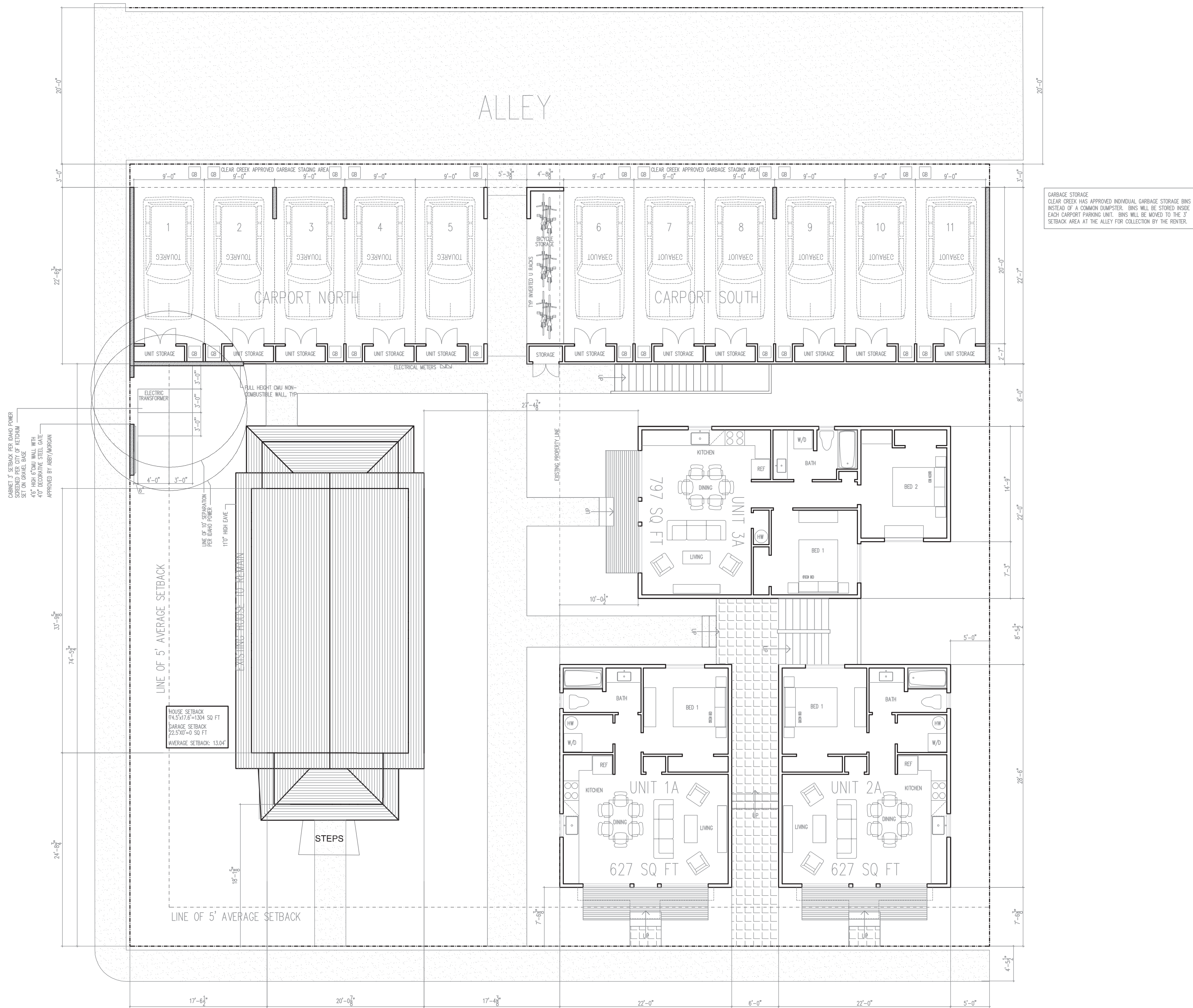
LOCATED WITHIN
SECTION 18, TOWNSHIP 4 NORTH, RANGE 18 EAST, B.M.,
CITY OF KETCHUM, BLAINE COUNTY, IDAHO

PREPARED FOR : JARVIS GROUP

PROJECT NO. 22078	DWG BY: HDB	CRD: 22078.CRD	22078_TOPO.DWG
A TOPOGRAPHIC MAP	DATE OF SURVEY: 6/9/2022		SHEET: 1 OF 1



E 2ND STREET



180

S LEADVILLE AVE
GROUND FLOOR

140

BUILDING A: 1,931 SQ FT GROSS FLOOR AREA
BUILDING B: 1,931 SQ FT GROSS FLOOR AREA
BUILDING C: 2,438 SQ FT GROSS FLOOR AREA
BUILDING D: 1,356 SQ FT GROSS FLOOR AREA
EXISTING HOUSE: 910 SQ FT GROSS FLOOR AREA
GROSS FLOOR AREA SQ FT PROPOSED: 8,566 SQ FT
FAR ALLOWED 2.25 (17,124.040 AFFORDABLE HOUSING 100% 24,765.75 SQ FT
FAR PROPOSED: .77
CARPORT: 2,334 SQ FT

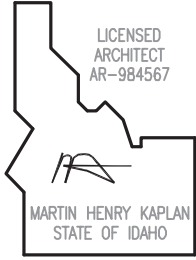
PROPOSED BUILDING HEIGHT: 34.0' (52' ALLOWED PER 17.12.040 100% COMMUNITY HOUSING)

MARTIN HENRY KAPLAN
M·H·K
ARCHITECTURE
THE MHK ARCHITECTS
A I A

251 HILLSIDE DR. P.O. BOX 482, KETCHUM ID. 83340
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ARCH - S LEADVILLE & E 2ND
AN AFFORDABLE HOUSING PROJECT
140-180 N LEADVILLE, KETCHUM ID 83340

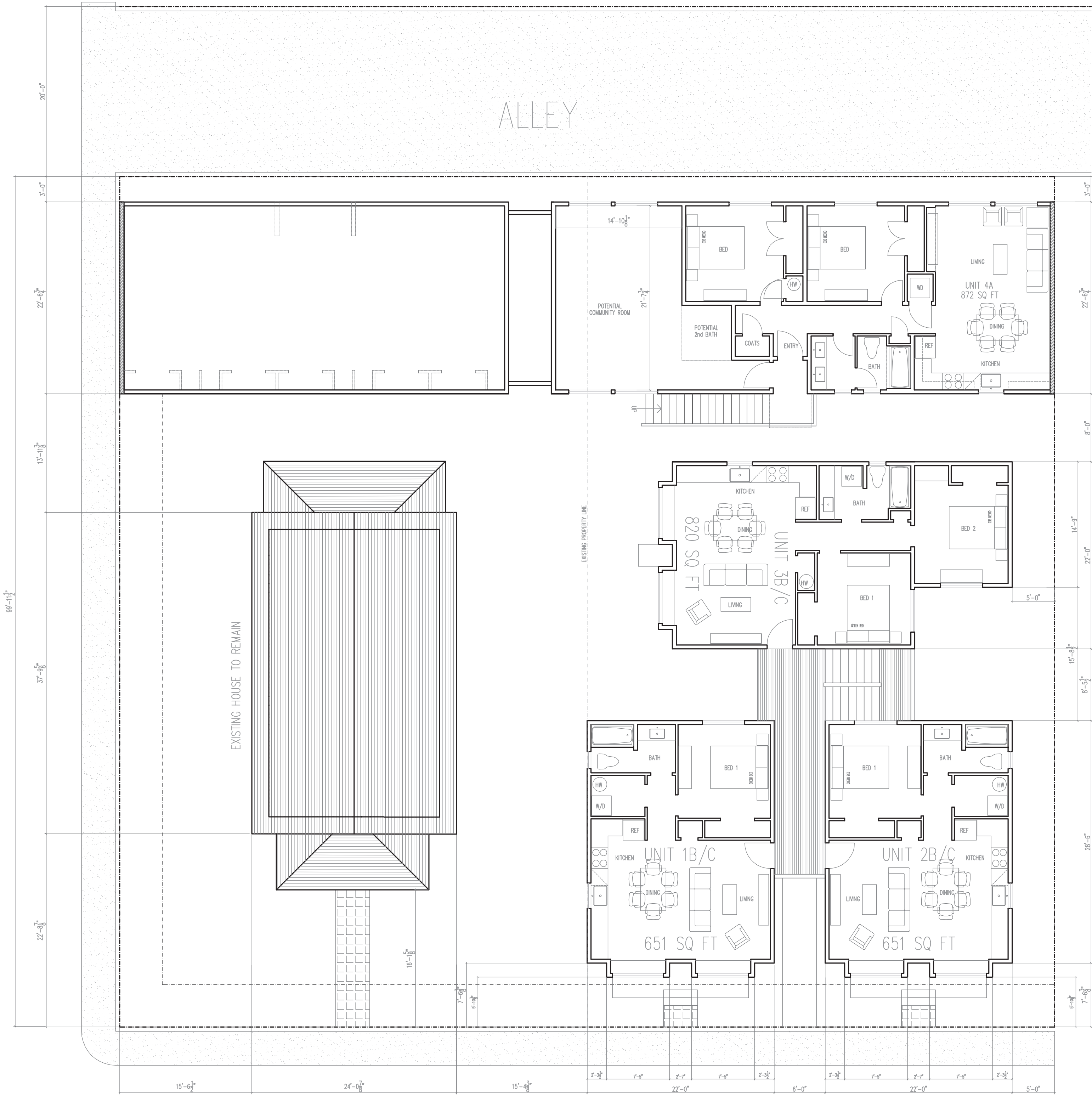
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3	PRE	PLNG	MTG	B	10.07.24

NO.	DESCRIPTION	DATE
ISSUES		

DRAWN BY: MHK
SCALE: 1/8"=1'-0"

A.3

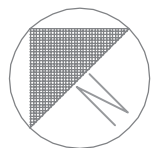
E 2ND STREET



180

S LEADVILLE AVE
LEVELS 2 & 3

140



BUILDING 1
TOP BUILDING 2ND/3RD FLOOR SETBACK
23'-1/2" (7'6"-3/8") (7'5" (6'10"-3/8") (2'7" (1'6"-3/8") (1'5" (6'10"-3/8") (1'3" (1'2'-1/2" (2'1'6"-3/8")
BUILDING 2
TOP BUILDING 2ND/3RD FLOOR SETBACK
23'-1/2" (7'6"-3/8") (7'5" (6'10"-3/8") (2'7" (1'6"-3/8") (1'5" (6'10"-3/8") (1'3" (1'2'-1/2" (2'1'6"-3/8")
AVERAGE SETBACK: 6'-3"

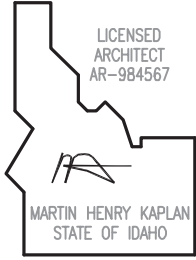
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FAR PROPOSED: .77
CARPORT: 2,334 SQ FT

PROPOSED BUILDING HEIGHT: 34.0' (52' ALLOWED PER 17,124.040 100% COMMUNITY HOUSING)

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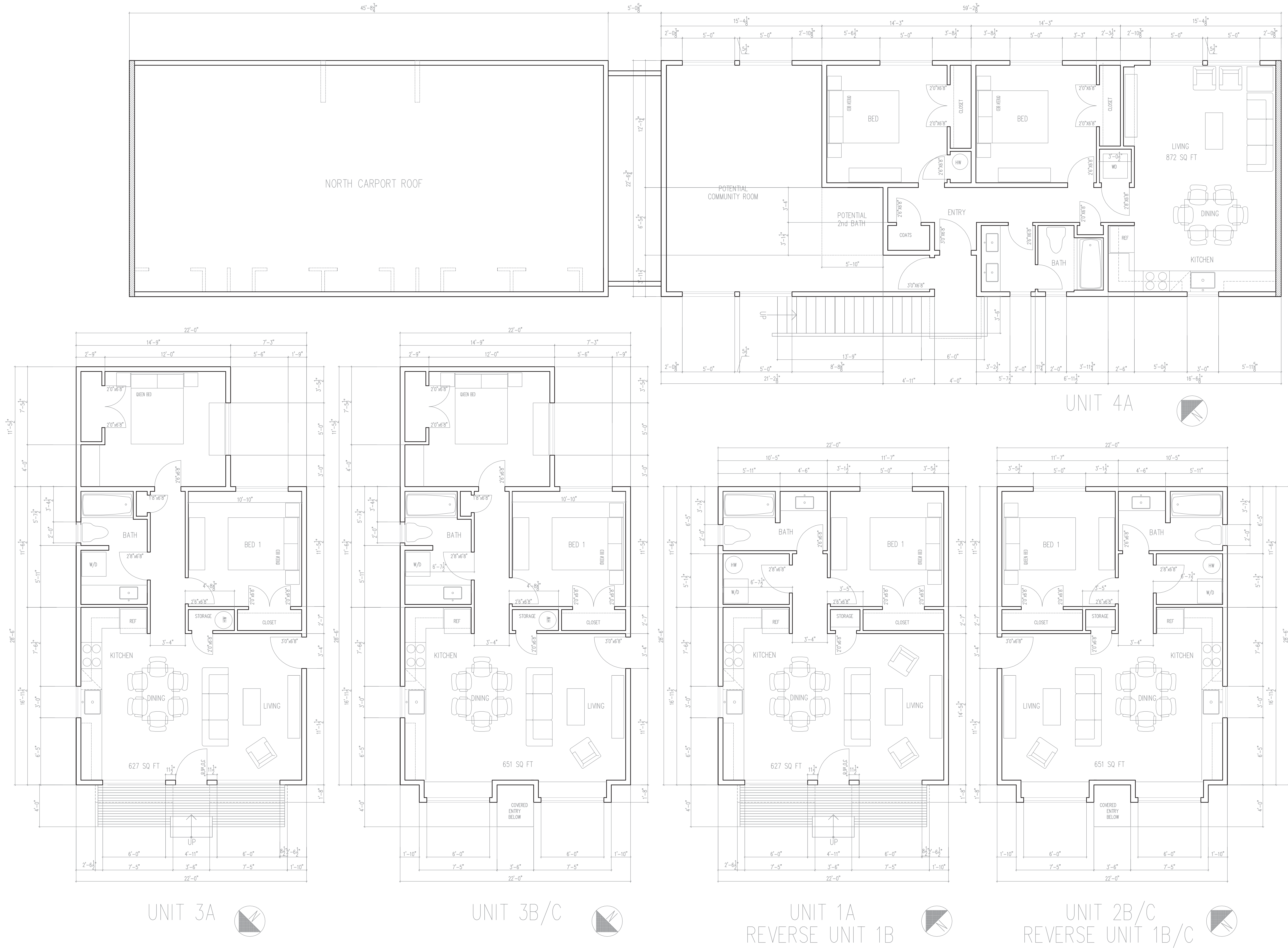
ARCH - S LEADVILLE & E 2ND
AN AFFORDABLE HOUSING PROJECT
140-180 N LEADVILLE, KETCHUM ID 83340

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SCALE: 1/8"=1'-0"

A.4



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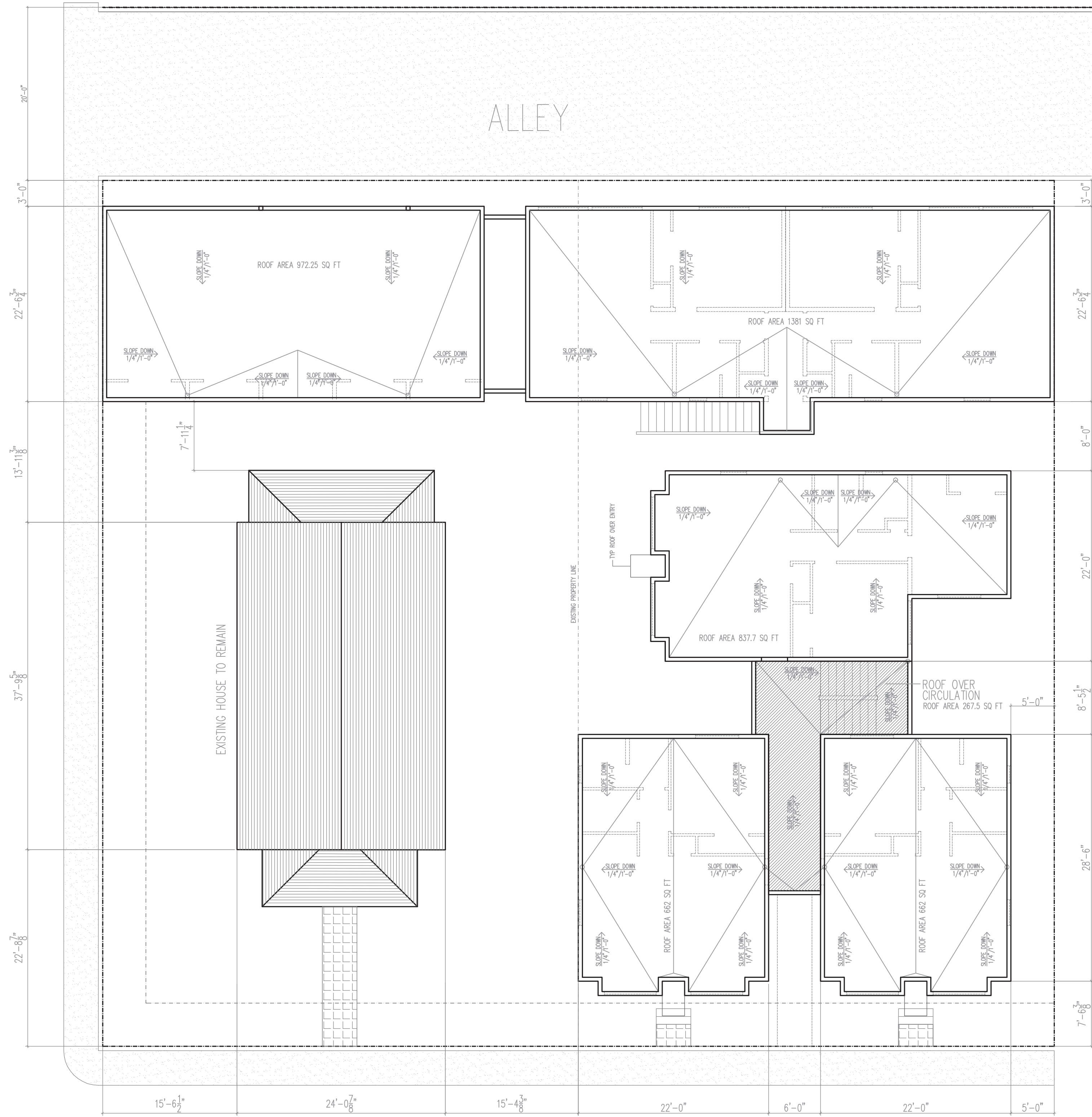
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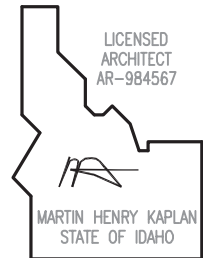
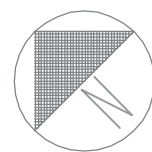
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I S S U E S					

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180
LEADVILLE
ROOF PLAN/CRICKETS
140



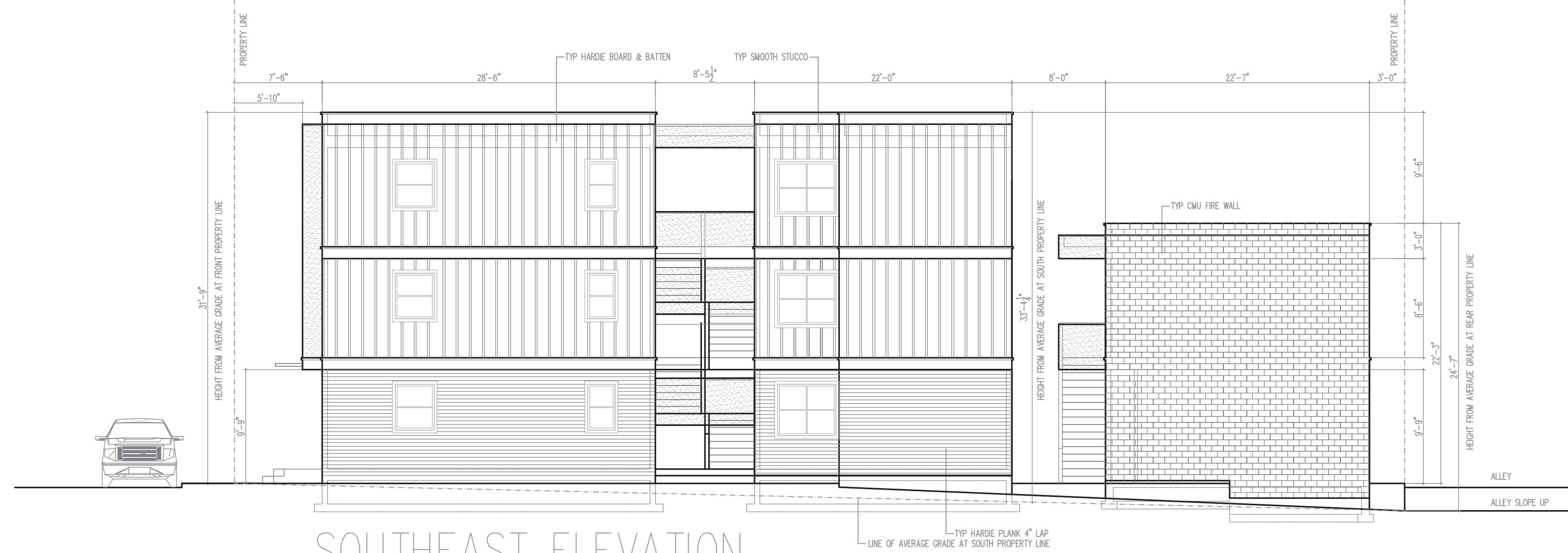
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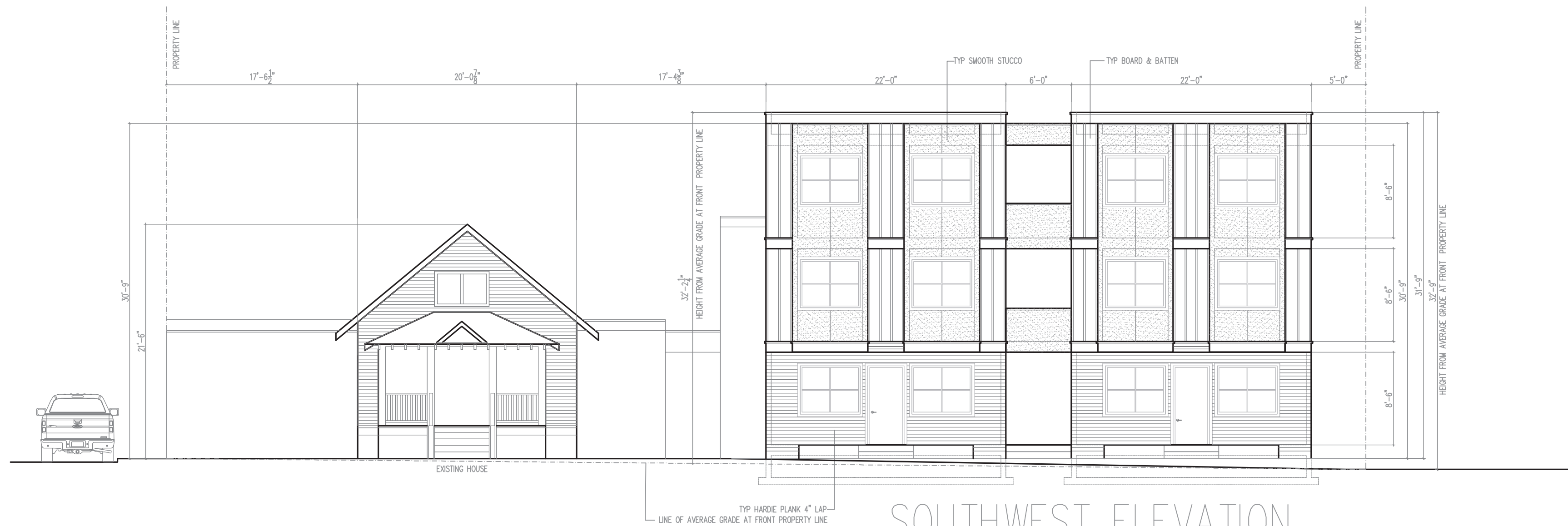
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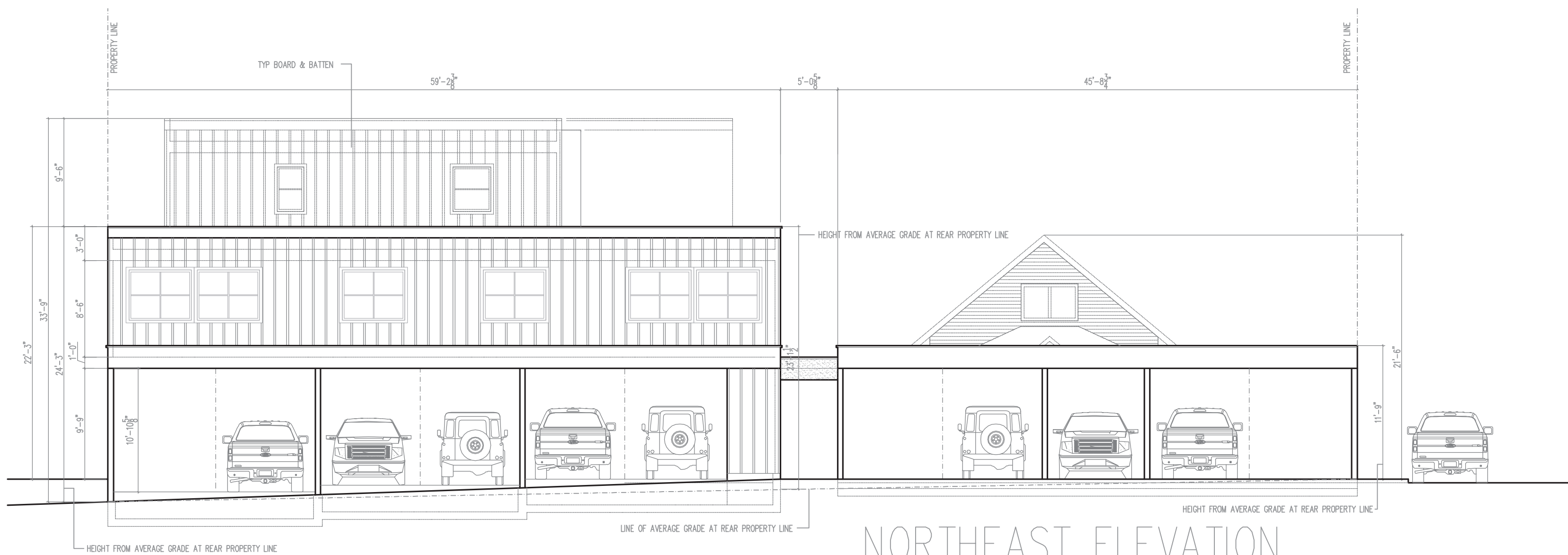
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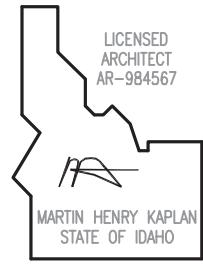
SOUTHEAST ELEVATION



SOUTHWEST ELEVATION



NORTHEAST ELEVATION



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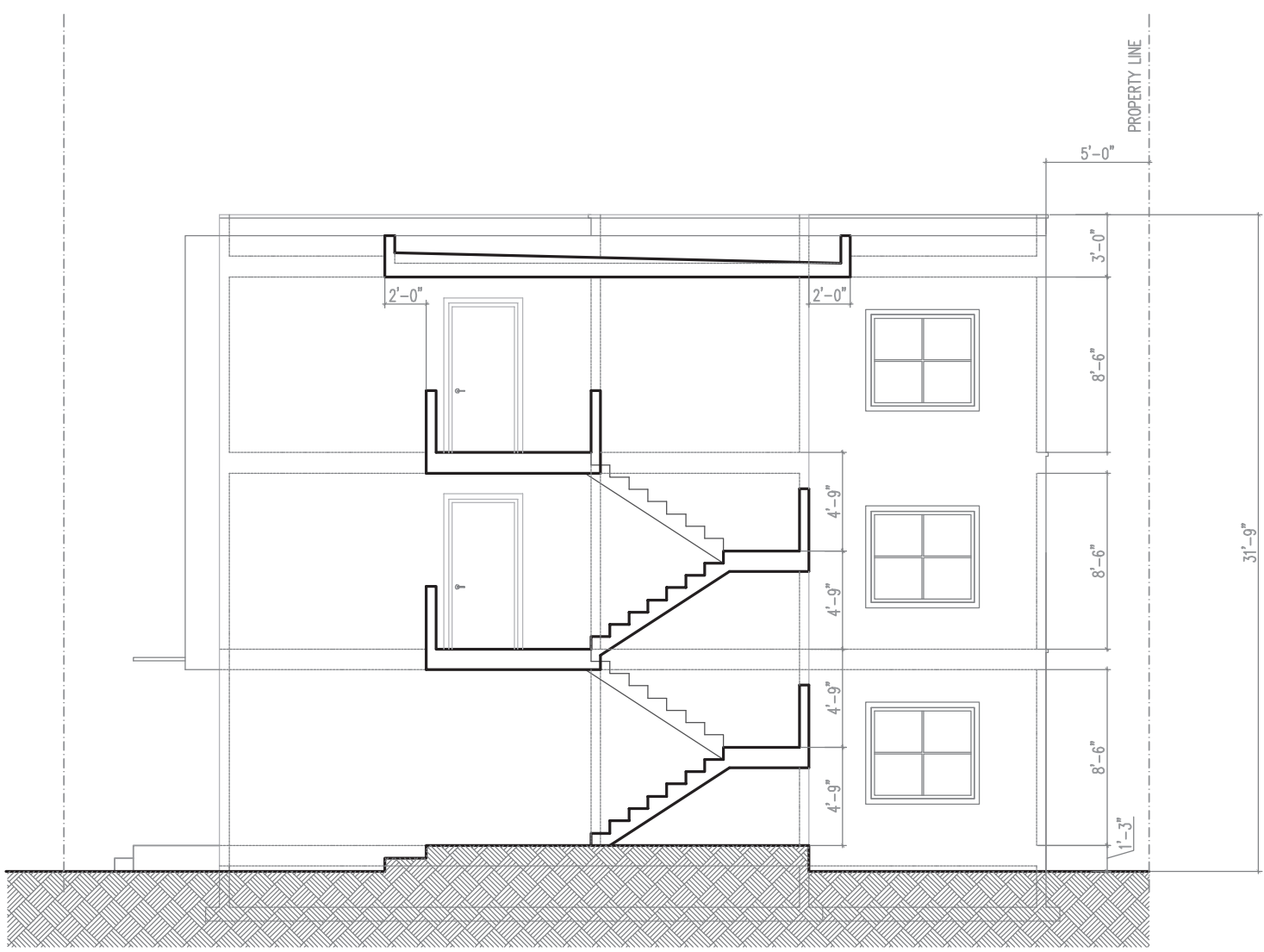
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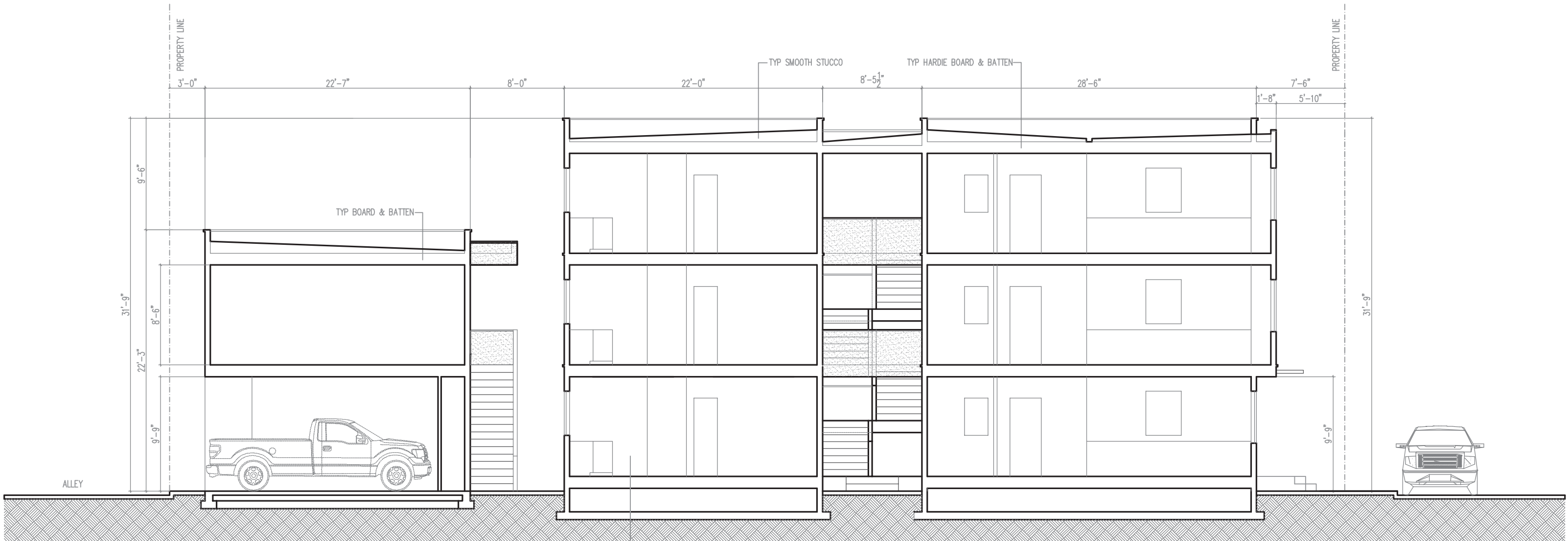
NORTHWEST ELEVATION
THRU CENTER OF PROPERTY



NORTHWEST ELEVATION



SECTION B.B



SECTION A.A

MARTIN HENRY KAPLAN
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BY
MARTIN HENRY KAPLAN ARCHITECTS AIA

LICENSED
ARCHITECT
NO. 98655

MARTIN HENRY KAPLAN
STATE OF IDAHO

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DRAWN BY: MHK
SCALE: 1/8"=1'-0"



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FIREWISE NARRATIVE

- Design includes driveways & walkways that create fuel breaks for the project.
- Install non-combustible decorative rock in all planting beds in Immediate Zone to the house.
- Landscape adjacent to house in Immediate Zone shall be low growing, carefully spaced, irrigated, maintained regularly, and of low fire rating to eliminate high flammable ladder fuel configurations.
- No trees planted within 10' of structure to eliminate ladder fuels.
- Irrigation shall be used to create an irrigated defensible space.

PLANT LEGEND

symbol	quan	description	planted size
	3	Street Trees (With Silva Cell) Spring Snow Crabapple - <i>Malus x 'Spring Snow'</i>	2" Cal.
	2	Radiant Crabapple - <i>Malus x 'Radiant'</i>	
	2	Flowering Deciduous Trees Crabapple - <i>Malus spp.</i>	2" Cal.
	1	Columnar Evergreen Screening Trees Skyrocket Juniper - <i>Juniperus virginiana 'Skyrocket'</i>	6'-8' Height
	13	Shrub Massing PekingCotoneaster - <i>Cotoneaster lucidus</i> Diablo Ninebark - <i>Physocarpus opulifolius 'Diablo'</i> Snowmound Spirea - <i>Spiraea x nipponica 'Snowmound'</i> Tor Birchleaf Spirea - <i>Spiraea betulifolia 'Tor'</i> Common Snowberry - <i>Symphoricarpos albus</i>	5 Gal.
	16	Evergreen Shrubs Massing Helga Austrian Pine - <i>Pinus nigra 'Helga'</i> Acroconda Norway Spruce - <i>Picea abies 'Acroconda'</i>	5 Gal.
	116	Ornamental Grasses & Perennials Reed Grass - <i>Calamagrostis x a. 'Karl Foerster'</i> Flame Grass - <i>Miscanthus sinensis</i> Blue Oat Grass - <i>Helictotrichon sempervirens</i> Black Eye Susan - <i>Rudbeckia hirta</i> Lavendar - <i>Lavandula</i> Salvia - <i>Salvia divinorum</i>	1 Gal.
	1,375 Sq.Ft.	Grasses Fine Fescue Mix Available Through Magic Valley Turf Grass	Sod

EXISTING TREE LEGEND

- Existing Tree (To Remain)
- Existing Tree (To Be Removed)
- Existing Shrubs (To Be Removed)

PLAN LEGEND

- Property Line (Per Survey)
- Decorative Gravel Walkway
- Concrete Walkway
- Asphalt

LANDSCAPE NOTES

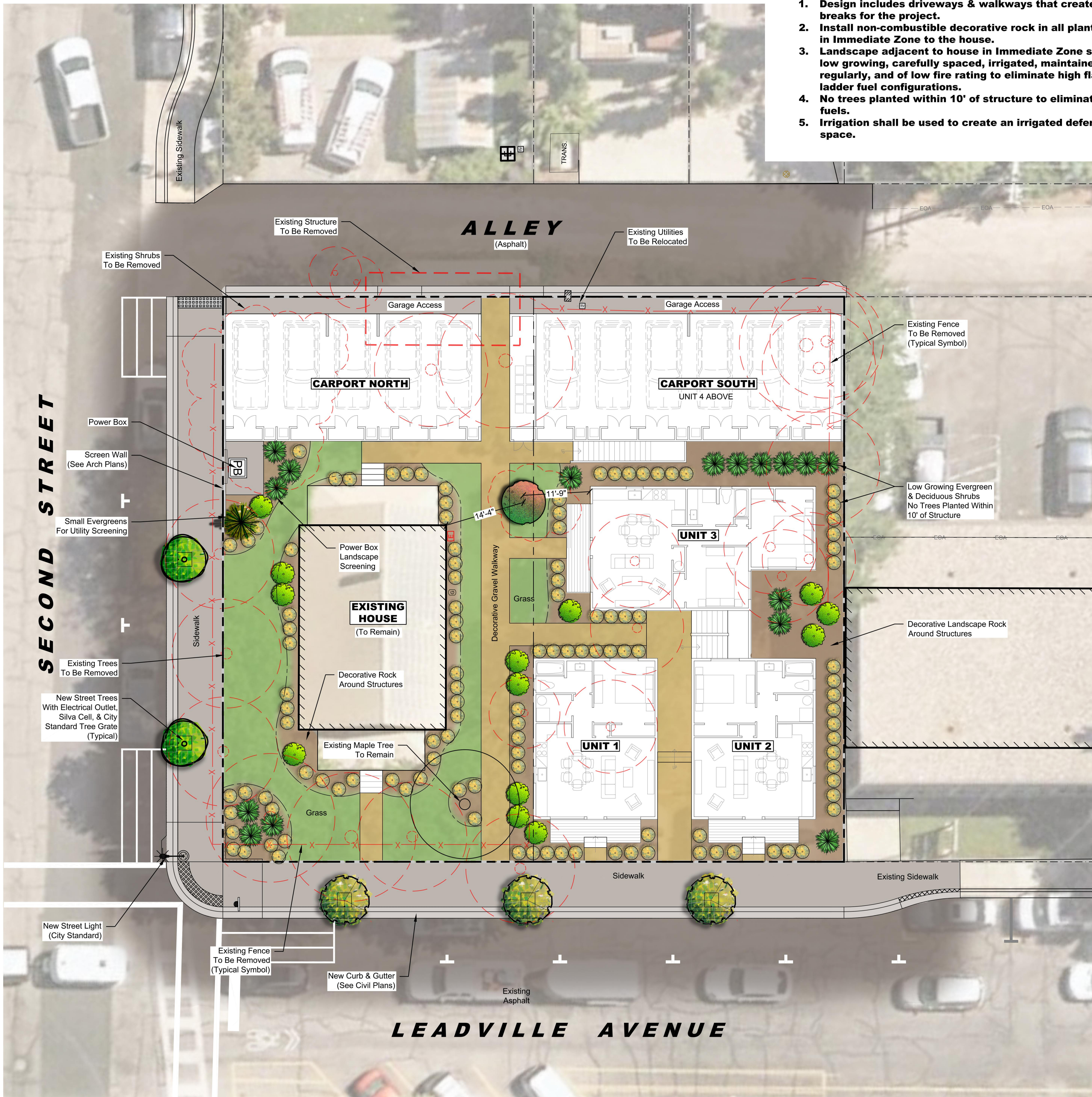
- All disturbed areas shall be landscaped and drip irrigated with an automatic underground irrigation system.
- Native compatible plant material will be used to provide a drought tolerant, low water use, & low maintenance landscape to blend seamlessly with the surrounding landscape.
- Planting beds shall have 3" of 'soil aid' bark.

IRRIGATION NOTES

- Verify utility locations prior to starting irrigation.
- Irrigation system to be automatically controlled with smart controller and rain sensor for a water wise system.
- This is a Drip irrigation only system and shall be installed at the base of all plantings & trees.
- Irrigation supply connected to the units domestic water system. The point of connection will include an approved backflow prevention device and water meter.



Scale: 1" = 10' - 0"
On 24 x 36 (Arch D) Sheet Size





WEST AERIAL PERSPECTIVE

ARCH - S LEADVILLE & E 2ND
AN AFFORDABLE HOUSING PROJECT
140-180 N LEADVILLE, KETCHUM ID 83340

16	DES	REV	APP	H	09.22.25
15	DES	REV	APP	G	08.21.25
14	DES	REV	APP	F	06.21.25
13	DES	REV	APP	E	06.16.25
12	DES	REV	APP	D	06.14.25
11	DES	REV	APP		06.07.25
10	PRE	DES	REV	APP	05.14.25
9	PRE	DES	REV	APP	01.14.25
8	PRE	DES	REV	APP	01.11.25
7	PRE	DES	REV	APP	01.07.25
4	PRE	PLNG	MTG	C	10.25.24
3	PRE	PLNG	MTG	B	10.07.24
NO.	DESCRIPTION				DATE
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DRAWN BY: MHK
SCALE: 1/8" = 1'-0"



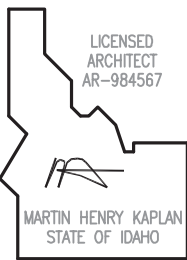
WEST AERIAL PERSPECTIVE ENLARGED

MARTIN HENRY KAPLAN
M · H · K
ARCHITECTURE
THE MHK ARCHITECTS
A I A

251 HILLSIDE DR. P.O. BOX 482, KETCHUM ID. 83340
TEL. 206.682.8600 CELL. 206.972.9972

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AN AFFORDABLE HOUSING PROJECT
140-180 N LEADVILLE, KETCHUM ID 83340

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9	PRE. DES. REV. APP.	01.14.25
8	PRE. DES. REV. APP.	01.11.25
7	PRE. DES. REV. APP.	01.07.25
4	PRE. PLNG. MTG. C	10.25.24
3	PRE. PLNG. MTG. B	10.07.24

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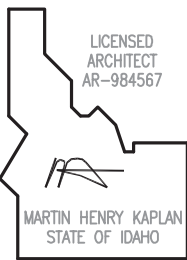
WEST INTERSECTION AERIAL PERSPECTIVE

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140-180 N LEADVILLE, KETCHUM ID 83340

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7	PRE-DES. REV. APP.	01.07.25
4	PRE-PLNG. MTG. C	10.25.24
3	PRE-PLNG. MTG. B	10.07.24
NO.	DESCRIPTION	DATE
I S S U E S		

DRAWN BY: MHK
SCALE: 1/8"=1'-0"

A.12



WEST INTERSECTION AERIAL EYE-LEVEL PERSPECTIVE

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BY _____
MARTIN HENRY KAPLAN, ARCHITECTS AIA.

LICENSED
ARCHITECT
ID-004502

MARTIN HENRY KAPLAN
STATE OF IDAHO

ARCH - S LEADVILLE & E 2ND
AN AFFORDABLE HOUSING PROJECT
140-180 N LEADVILLE, KETCHUM ID 83340

16	DES. REV. APP. H	09.22.25
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NO.	DESCRIPTION	DATE
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DRAWN BY: _____ MHK
SCALE: 1/8"=1'-0"

A.13



NORTH AERIAL LOOKING AT ALLEY VIEW

ARCH - S LEADVILLE & E 2ND
AN AFFORDABLE HOUSING PROJECT
140-180 N LEADVILLE, KETCHUM ID 83340

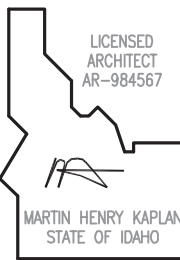
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7	PRE DES REV APP	01.07.22
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SCALE: 1/8"=1'-

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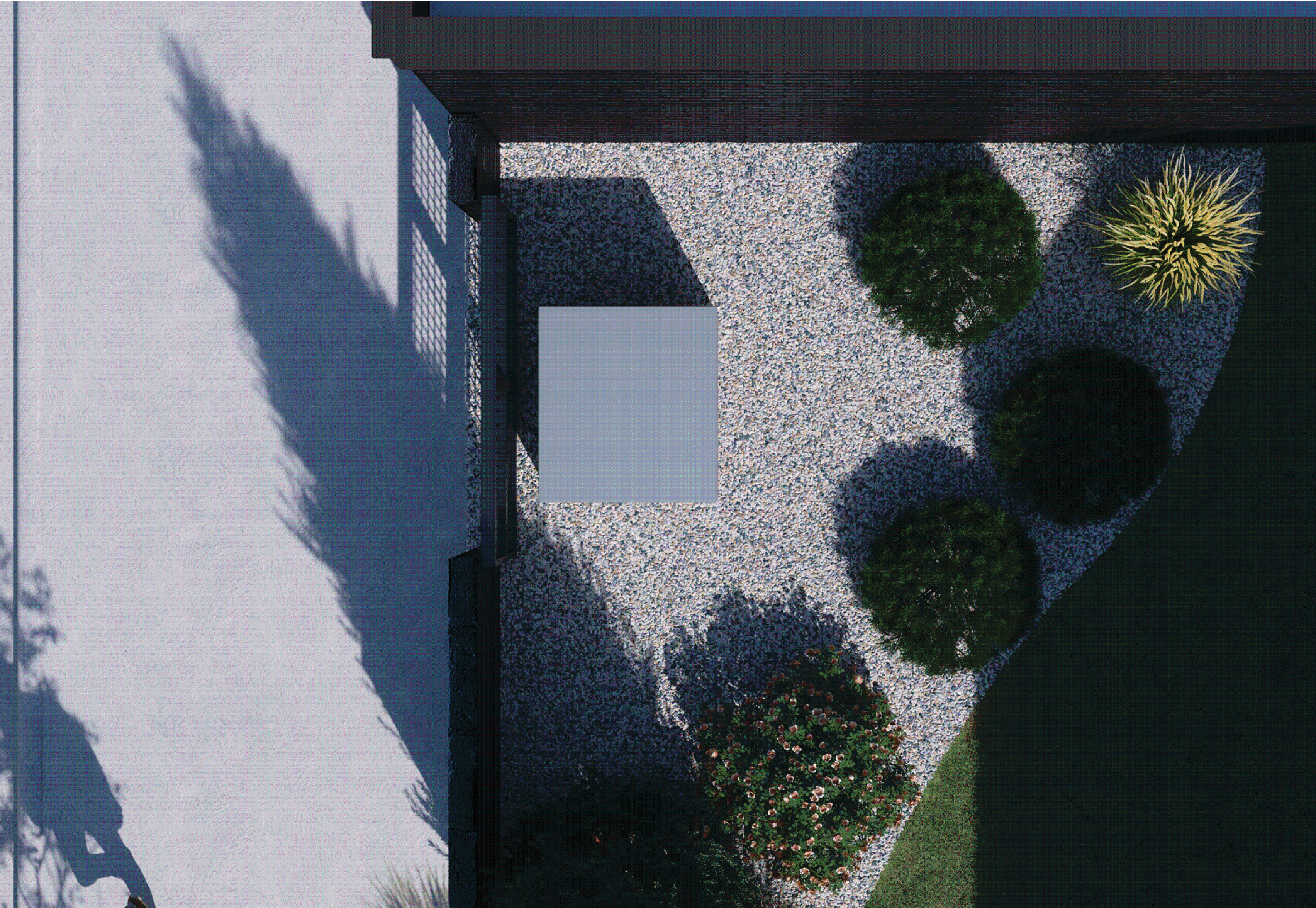
NORTH AERIAL LOOKING AT ALLEY VIEW



ARCH - S LEADVILLE & E 2ND
AN AFFORDABLE HOUSING PROJECT
140-180 N LEADVILLE, KETCHUM ID 83340

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DRAWN BY: MHK
SCALE: 1/8"=1'-0"



TRANSFORMER SCREEN PLAN



TRANSFORMER SCREEN DETAIL

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AN AFFORDABLE HOUSING PROJECT
140-180 N LEADVILLE, KETCHUM ID 83340

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3	PRE. PLNG. MTG. B	10.07.24
	DESCRIPTION	DATE
I S S U E S		

140 & 180 N LEADVILLE

KETCHUM, IDAHO

JUNE 2025

GENERAL CONSTRUCTIONS NOTES

1.

ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISPMC) AND CITY OF KETCHUM STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ISPMC AND CITY OF KETCHUM STANDARDS ON SITE DURING CONSTRUCTION.
2.

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES PRIOR TO COMMENCING AND DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL CALL DIGLINE (1-800-342-1585) TO LOCATE ALL EXISTING UNDERGROUND UTILITIES A MINIMUM OF 48 HOURS IN ADVANCE OF EXCAVATION.
3.

OPAL ENGINEERING, PLLC IS NOT RESPONSIBLE FOR IDAHO POWER OR OTHER DRY UTILITY SERVICE REQUESTS.
4.

CONTRACTOR SHALL COORDINATE RELOCATIONS OF DRY UTILITY FACILITIES (POWER, CABLE, PHONE, TV) WITH THE APPROPRIATE UTILITY FRANCHISE.
5.

THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION.
6.

THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION (THIS INCLUDES, BUT IS NOT LIMITED TO, ENCROACHMENT PERMITS AND NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION GENERAL PERMIT (CGP) PERMIT COVERAGE).
7.

ALL CLEARING & GRUBBING SHALL CONFORM TO ISPMC SECTION 201.
8.

ALL EXCAVATION & EMBANKMENT SHALL CONFORM TO ISPMC SECTION 202. SUBGRADE SHALL BE EXCAVATED AND SHAPED TO LINE, GRADE, AND CROSS-SECTION SHOWN ON THE PLANS. THE SUBGRADE SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-698. THE CONTRACTOR SHALL WATER OR AERATE SUBGRADE AS NECESSARY TO OBTAIN OPTIMUM MOISTURE CONTENT. IN-LIEU OF DENSITY MEASUREMENTS, THE SUBGRADE MAY BE PROOF-ROLLED TO THE APPROVAL OF THE ENGINEER.
- PROOF-ROLLING: AFTER EXCAVATION TO THE SUBGRADE ELEVATION AND PRIOR TO PLACING COURSE GRAVEL, THE CONTRACTOR SHALL PROOF ROLL THE SUBGRADE WITH A 5-TON SMOOTH DRUM ROLLER, LOADED WATER TRUCK, OR LOADED DUMP TRUCK, AS ACCEPTED BY THE ENGINEER. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF UNSUITABLE SUBGRADE MATERIAL AREAS, AND/OR AREAS NOT CAPABLE OF COMPACTION ACCORDING TO THESE SPECIFICATIONS. UNSUITABLE OR DAMAGED SUBGRADE IS WHEN THE SOIL MOVES, PUMPS AND/OR DISPLACES UNDER ANY TYPE OF PRESSURE INCLUDING FOOT TRAFFIC LOADS.
- IF, IN THE OPINION OF THE ENGINEER, THE CONTRACTOR'S OPERATIONS RESULT IN DAMAGE TO, OR PROTECTION OF, THE SUBGRADE, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, REPAIR THE DAMAGED SUBGRADE BY OVER-EXCAVATION OF UNSUITABLE MATERIAL TO FIRM SUBSOIL, LINE EXCAVATION WITH GEOTEXTILE FABRIC, AND BACKFILL WITH PIT RUN GRAVEL.
9.

ALL 2" MINUS GRAVEL SHALL CONFORM TO ISPMC 802, TYPE II (ITD STANDARD 703.04, 2"), SHALL BE PLACED IN CONFORMANCE WITH ISPMC SECTION 801 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99.
10.

ALL 3/4" MINUS CRUSHED GRAVEL SHALL CONFORM TO ISPMC 802, TYPE I (ITD STANDARD 703.04, 3/4" B), SHALL BE PLACED IN CONFORMANCE WITH ISPMC SECTION 802 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
11.

ALL ASPHALTIC CONCRETE PAVEMENT WORK SHALL CONFORM TO ISPMC SECTION(S) 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (13MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPMC SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPMC SECTION 805.
12.

ASPHALT SAWCUTS SHALL BE AS INDICATED ON THE DRAWINGS, OR 24" INCHES FROM EDGE OF EXISTING ASPHALT, IF NOT INDICATED OTHERWISE SO AS TO PROVIDE A CLEAN PAVEMENT EDGE FOR MATCHING. NO WHEEL CUTTING SHALL BE ALLOWED.
13.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL PER THE CURRENT EDITION OF THE US DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). UNDER NO CIRCUMSTANCES WILL TRAFFIC CONTROL AND ASSOCIATED CONSTRUCTION HINDER ANY EMERGENCY VEHICLE ACCESS, BLOCK PRIVATE DRIVEWAYS FOR EXTENDED PERIODS, OBSTRUCT BUSINESS DELIVERIES, OBSTRUCT SCHOOL BUS OPERATION, OBSTRUCT MAIL/PACKAGE DELIVERY, OR IMPACT TRASH/RECYCLING SERVICES.
14.

ALL CONCRETE WORK SHALL CONFORM TO ISPMC SECTIONS 701, 703, AND 705. ALL CONCRETE SHALL BE 4,000 PSI MINIMUM, 28 DAY, AS DEFINED IN ISPMC SECTION 703, TABLE 1. IMMEDIATELY AFTER PLACEMENT PROTECT CONCRETE BY APPLYING MEMBRANE-FORMING CURING COMPOUND, TYPE 2, CLASS A PER ASTM C 309-94. APPLY CURING COMPOUND PER MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS.
15.

ALL TRENCHING SHALL CONFORM TO ISPMC STANDARD DRAWING SD-301. TRENCHES SHALL BE BACKFILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
16.

PER IDAHO CODE § 55-1613, THE CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS; ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS THAT ARE LOST OR DISTURBED BY CONSTRUCTION SHALL BE REESTABLISHED AND RE-MONUMENTED, AT THE EXPENSE OF THE AGENCY OR PERSON CAUSING THEIR LOSS OR DISTURBANCE AT THEIR ORIGINAL LOCATION OR BY SETTING OF A WITNESS CORNER OR REFERENCE POINT OR A REPLACEMENT BENCHMARK OR CONTROL POINT, BY OR UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR.
17.

IF AUTOCAD ELECTRONIC FILES ARE MADE AVAILABLE TO THE CONTRACTOR. IN THE EVENT OF A DISCREPANCY BETWEEN THE STAMPED PAPER DRAWINGS AND THE ELECTRONIC FILES, THE STAMPED PAPER DRAWINGS WILL GOVERN.
18.

EXISTING CONDITIONS AND BOUNDARY INFORMATION SHOWN HEREON ARE PER A SURVEY CONDUCTED BY BENCHMARK AND ASSOCIATES 06/09/22.
19.

WHEN DRIVEWAY ACCESS WILL BE RESTRICTED, NOTIFY THE RESIDENT OR BUSINESS 48 HOURS IN ADVANCE AND ARRANGE FOR AN ALTERNATE PARKING LOCATION (ON- OR OFF-STREET) WITHIN 100 FEET OF THE PROPERTY. MINIMIZE DISRUPTIONS TO INDIVIDUAL DRIVEWAY ACCESS ACTIVE CONSTRUCTION PERIODS AT THE DRIVEWAY, WITH ACCESS RESTORED DURING NON-CONSTRUCTION HOURS.
20.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIRING A MATERIALS TESTING COMPANY DURING CONSTRUCTION TO VERIFY ALL COMPACTION AND MATERIAL PLAN AND SPECIFICATION REQUIREMENTS ARE MET FOR ALL CONSTRUCTION WITHIN THE PUBLIC RIGHTS-OF-WAY. TESTING LOCATION AND FREQUENCY SHALL MEET ISPMC AND ADA COUNTY HIGHWAY DISTRICT (ACHD) REQUIREMENTS. REPORTS SHALL BE SUBMITTED TO THE ENGINEER WITHIN TWO WEEKS OF TESTING.
21.

CONSTRUCTION OF WATER MAINS AND ALL OTHER RELATED APPURTENANCES SHALL BE IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPMC), IDAPA 58.01.08, IDAHO RULES FOR PUBLIC DRINKING WATER SYSTEMS AND THE CITY OF KETCHUM UTILITIES DEPARTMENT STANDARDS.
22.

CONTRACTOR SHALL PRESSURE TEST, DISINFECT, AND CONDUCT BIOLOGICAL TESTING IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPMC), AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS, AND THE PRESSURE TESTING, DISINFECTION, AND MICROBIOLOGICAL TESTING PROCEDURES.
23.

ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL BE ANSI/NSF STD. 61 COMPLIANT.
24.

ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL COMPLY WITH THE LOW LEAD ACT REQUIRING ALL MATERIALS TO HAVE A LEAD CONTENT EQUAL TO OR LESS THAT 0.25%.
25.

THE CONTRACTOR SHALL USE ANSI/NSF STANDARD 60 CHEMICALS AND COMPOUNDS DURING INSTALLATION & DISINFECTION OF POTABLE WATER MAIN.

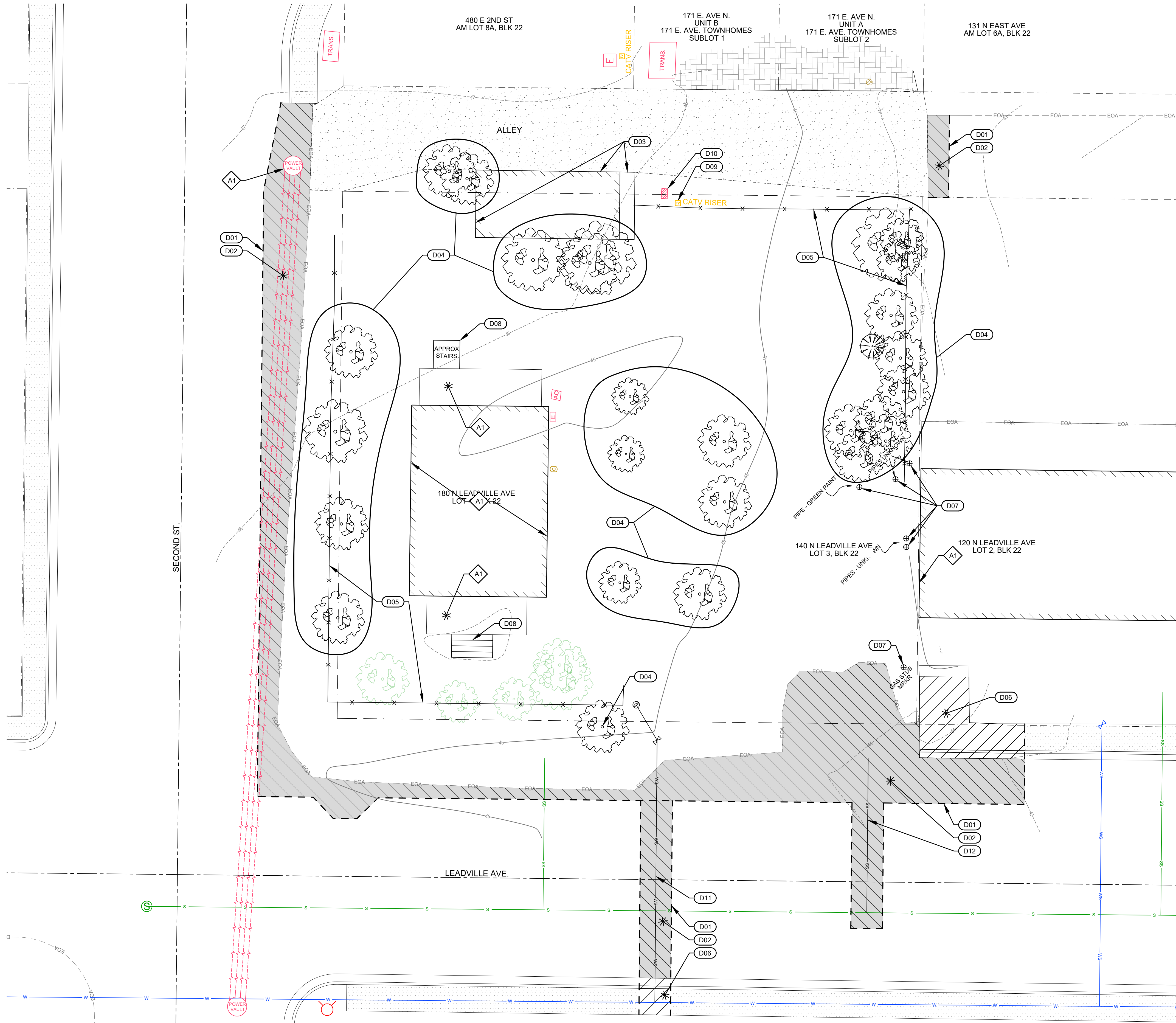


VICINITY MAP
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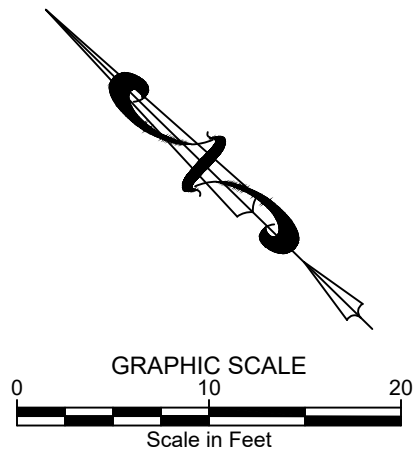
LEGEND

EXISTING ITEMS

	Right-of-way		Gas Meter
	Adjoiners Lot Line		Cable TV Riser
	Right of Way Centerline		Electric Meter
	5' Contour Interval		Power Transformer
	1' Contour Interval		Power Vault
	Edge of Asphalt		Power Box
	6\"/>		Air Conditioning Unit
	Fence		Power Buried
	Asphalt		Sewer Main
	Building / Structure		Sewer Service
	Concrete		Sewer Cleanout
	Gravel Driveway		Sewer Manhole
	Pavers		Water Main
	Tree		Water Service
	Sign		Fire Hydrant
			Water Valve
			Water Meter



- SITE DEMOLITION KEY NOTES**
- D01 SAWCUT ASPHALT TO PROVIDE FOR A CLEAN VERTICAL EDGE.
 - D02 REMOVE AND DISPOSE OF ASPHALT.
 - D03 REMOVE AND DISPOSE OF BUILDING / STRUCTURE.
 - D04 REMOVE AND DISPOSE OF TREE AND ROOTBALL.
 - D05 REMOVE AND DISPOSE OF FENCE.
 - D06 REMOVE AND DISPOSE OF CONCRETE SIDEWALK, CURB, AND GUTTER.
 - D07 REMOVE AND DISPOSE OF MISCELLANEOUS PIPES AND/OR UTILITY RISERS.
 - D08 REMOVE AND DISPOSE OF STEPS / STAIRS.
 - D09 RELOCATE CABLE TV UTILITY RISER (BY OTHERS).
 - D10 RELOCATE POWER VAULT (BY OTHERS).
 - D11 REMOVE AND DISPOSE OF WATER SERVICE.
 - D12 REMOVE AND DISPOSE OF SEWER SERVICE.
 - A RETAIN AND PROTECT
 - 1. BUILDING AND WOOD DECKS.
 - 2. POWER VAULT



opai

OPAL ENGINEERING, PLLC
101 E. BULLION ST., STE. 300, HALEY, ID 83333
WWW.OPAL-ENGINEERING.COM

PURPOSE: ISSUE FOR DESIGN REVIEW (06/27/2025)

REVISION NO. | DATE | DESCRIPTION

1 | 09/18/25 | CITY COMMENTS 07/31/2025

PROFESSIONAL ENGINEER
LICENSED
17618
09/18/2025
STATE OF IDAHO
SAMANTHA STAHLMEYER

PRELIMINARY
NOT FOR
CONSTRUCTION

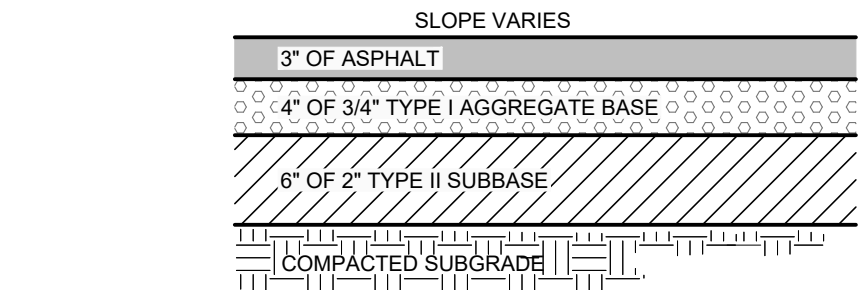
SITE DEMOLITION PLAN

140 & 180 N LEADVILLE (KETCHUM BLOCK 22 LOTS 3 AND 4)
PREPARED FOR: ARCH COMMUNITY HOUSING TRUST

25015
PROJECT NUMBER

C0.90

REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any Project or extensions of this Project except by agreement in writing with Opal Engineering, PLLC.

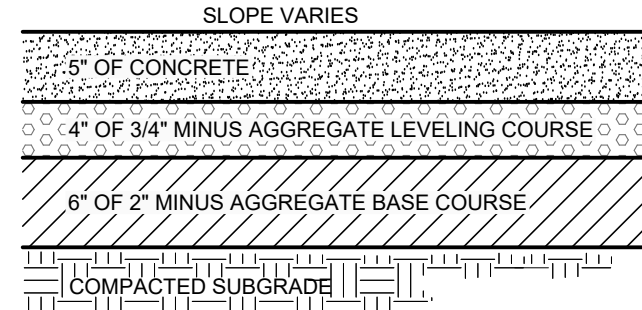


- NOTES:
- SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
 - MATERIALS SHALL CONFORM WITH CURRENT ISPMC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.

1
C1.00

TYPICAL STREET ASPHALT SECTION

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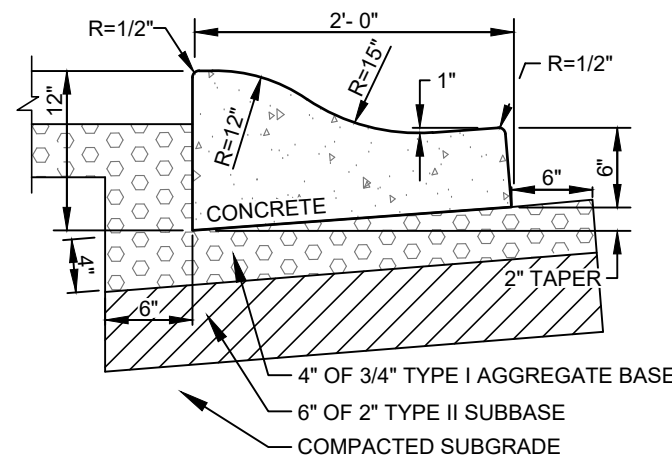


- NOTES:
- INSTALL SCORE JOINTS AT INTERVALS TO MATCH WIDTH OF WALK NOT TO EXCEED 5 FEET SPACING IN BOTH THE LONGITUDINAL AND TRANSVERSE DIRECTION FOR SIDEWALK GREATER THAN 5 FEET IN WIDTH. INSTALL EXPANSION JOINTS EVERY 10 FEET IN LONGITUDINAL DIRECTION.
 - 1/2" TRANSVERSE PREFORMED BITUMINOUS JOINTS AT THE TERMINUS POINTS FOR CURVE AND WHERE SIDEWALK IS PLACED BETWEEN TWO PERMANENT FOUNDATIONS OR ADJACENT TO THE STRUCTURE, PLACE 1/2" EXPANSION JOINT MATERIAL ALONG THE BACK OF WALK THE FULL LENGTH.
 - SIDEWALK CONSTRUCTION JOINTS SHALL BE CONSTRUCTED APPROXIMATELY 1/2" WIDE, 3/4" IN DEPTH AND FINISHED AND EDGED SMOOTH. A PREFORMED EXPANSION JOINT FILLER SHALL BE PLACED EVERY 40' FOR NEW SIDEWALK CONSTRUCTION.
 - WHEN TRANSITIONING NEW SIDEWALK TO EXISTING, A MINIMUM 5' TRANSITIONAL PANEL SHALL BE SEPARATED AND ISOLATED WITH EXPANSION MATERIAL.
 - SIDEWALK ALIGNMENT TRANSITIONS SHALL HAVE A MINIMUM RADIUS OF 30' TO THE FACE OF CURB.
 - MATERIALS SHALL CONFORM WITH CURRENT ISPMC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 - CONCRETE THICKNESS PER THIS DETAIL OR MATCH EXISTING, WHICHEVER IS GREATER. CONCRETE SHALL BE TITAN MIX OR APPROVED EQUAL.

2
C1.00

TYPICAL CONCRETE SECTION

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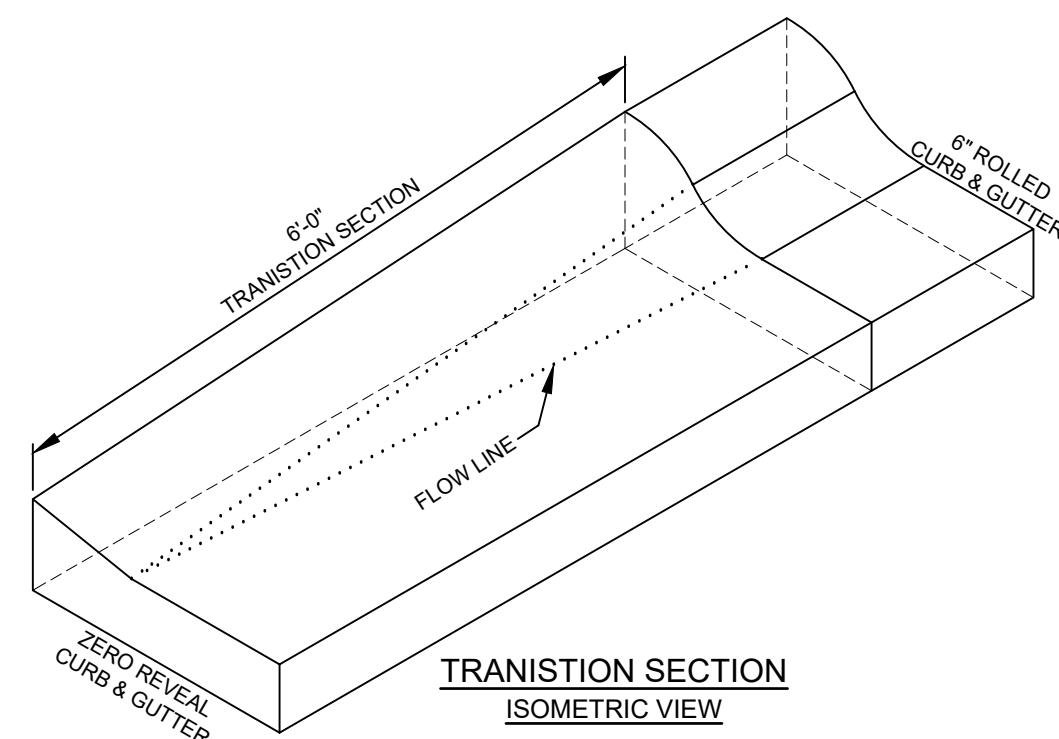


- NOTES:
- SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
 - MATERIALS SHALL CONFORM WITH CURRENT ISPMC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
 - 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADIUS.
 - CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FEET MAXIMUM SPACING (8-FEET W/SIDEWALK).
 - CONCRETE SHALL BE TITAN MIX OR APPROVED EQUAL.

3
C1.00

6" CONCRETE ROLLED CURB & GUTTER

N.T.S.



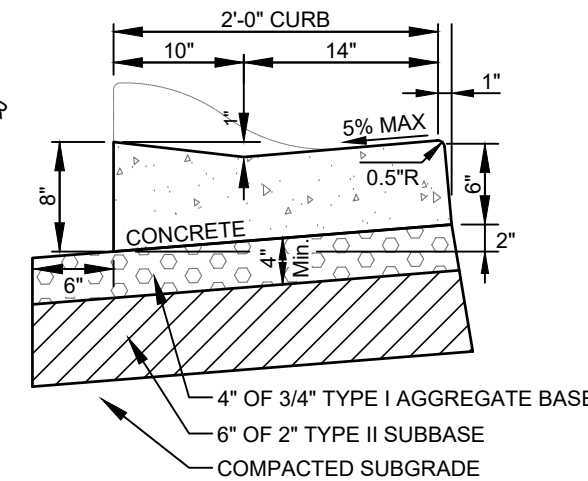
TRANSITION SECTION
ISOMETRIC VIEW

- NOTES:
- SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
 - MATERIALS SHALL CONFORM WITH CURRENT ISPMC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
 - 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADIUS.
 - CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FEET MAXIMUM SPACING (8-FEET W/SIDEWALK).
 - CONCRETE SHALL BE TITAN MIX OR APPROVED EQUAL.

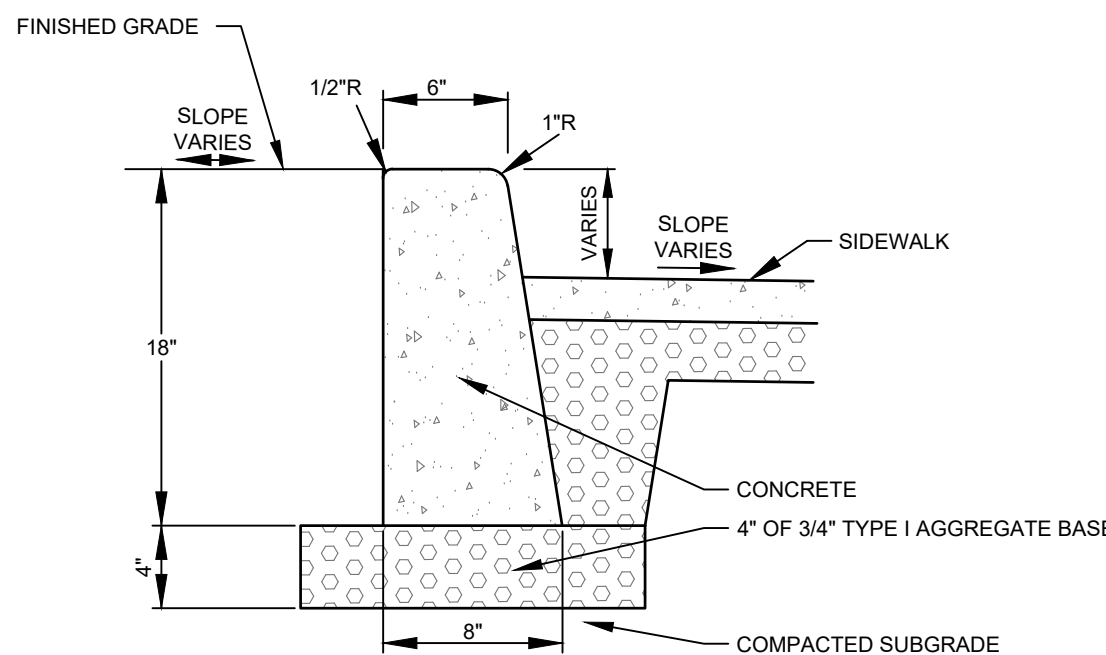
4
C1.00

TYPICAL CURB TRANSITION DETAIL

N.T.S.



ZERO REVEAL CURB & GUTTER

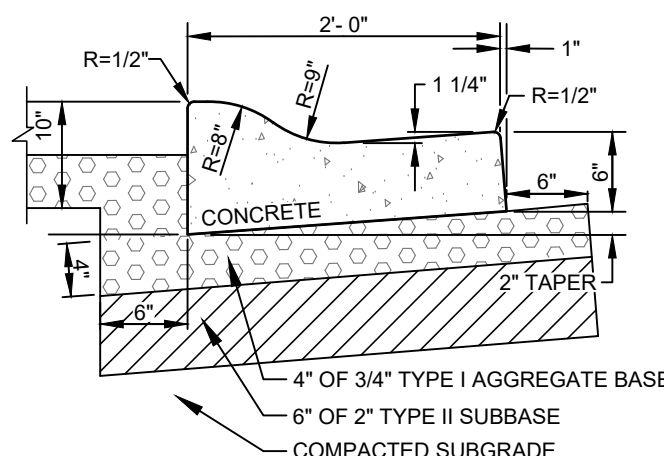


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5
C1.00

CONCRETE VERTICAL CURB

N.T.S.

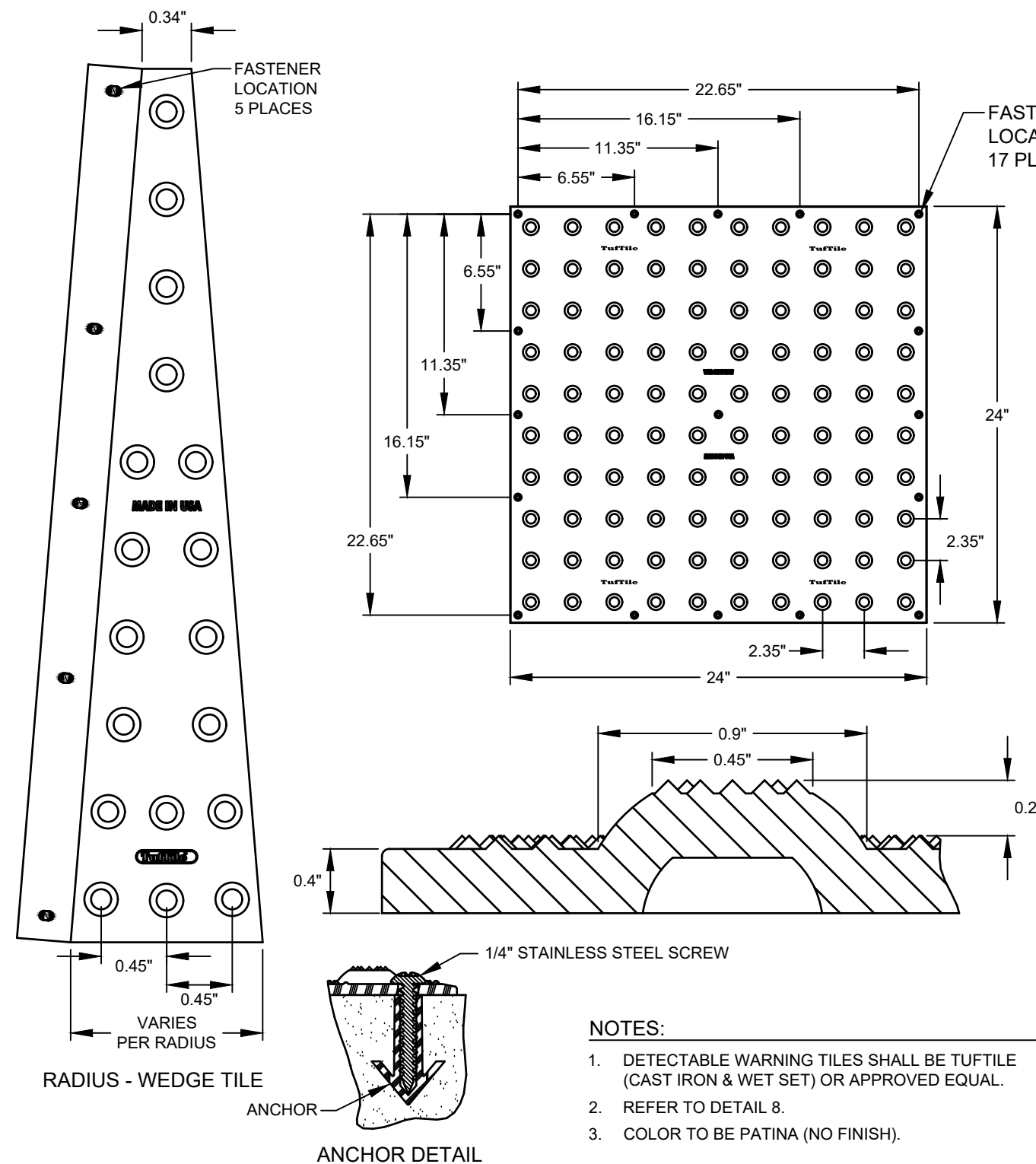


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6
C1.00

3" CONCRETE ROLLED CURB & GUTTER

N.T.S.

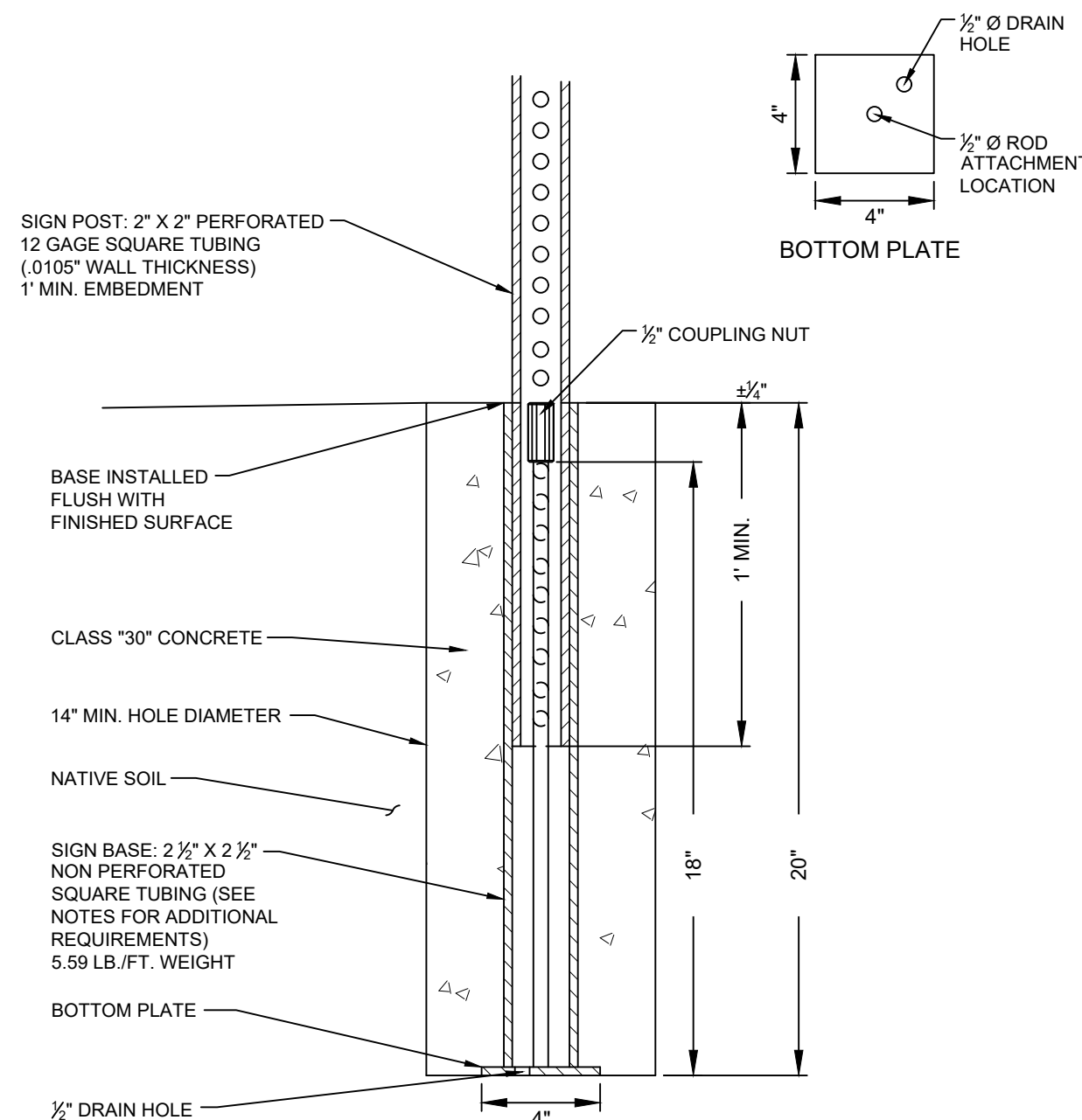


- NOTES:
- DETECTABLE WARNING TILES SHALL BE TUFFILE (CAST IRON & WET SET) OR APPROVED EQUAL.
 - REFER TO DETAIL 8.
 - COLOR TO BE PATINA (NO FINISH).

7
C1.00

DETECTABLE WARNING PLATE

N.T.S.



- NOTES:
- BASES SHALL BE INSTALLED TO BE FLUSH WITH SURFACE.
 - ALL INSTALLATIONS SHALL HAVE 14" Ø MINIMUM FOUNDATION OR GROUTED INTO SOLID ROCK.
 - ALL STREET SIGNS SHALL BE IN ACCORDANCE WITH THE MOST CURRENT EDITION OF THE MUTCD.
 - SIGN PLACEMENT SHALL BE APPROVED BY THE CITY OF KETCHUM.
 - CITY TO PROVIDE BASES.

SIGN BASE MATERIAL & DIMENSION REQUIREMENTS
2 1/2" OUTSIDE TUBE STEEL (20" LENGTH)
2 1/2" INSIDE TUBE STEEL
3/16" THICK
INTERNAL ROD MATERIAL & DIMENSION REQUIREMENTS
1/2" COLD ROLLED ROD (18" LENGTH)
1/2" COUPLING NUTS
BOTTOM PLATE MATERIAL & DIMENSION REQUIREMENTS
4" X 4" X 1/2" STEEL STRAP

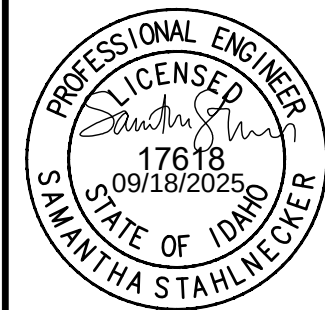
8
C1.00

TYPICAL SIGN BASE

N.T.S.

PURPOSE: ISSUE FOR DESIGN REVIEW (06/27/2025)

REVISION NO. DATE DESCRIPTION
1 09/18/25 CITY COMMENTS 07/31/2025



**PRELIMINARY
NOT FOR
CONSTRUCTION**

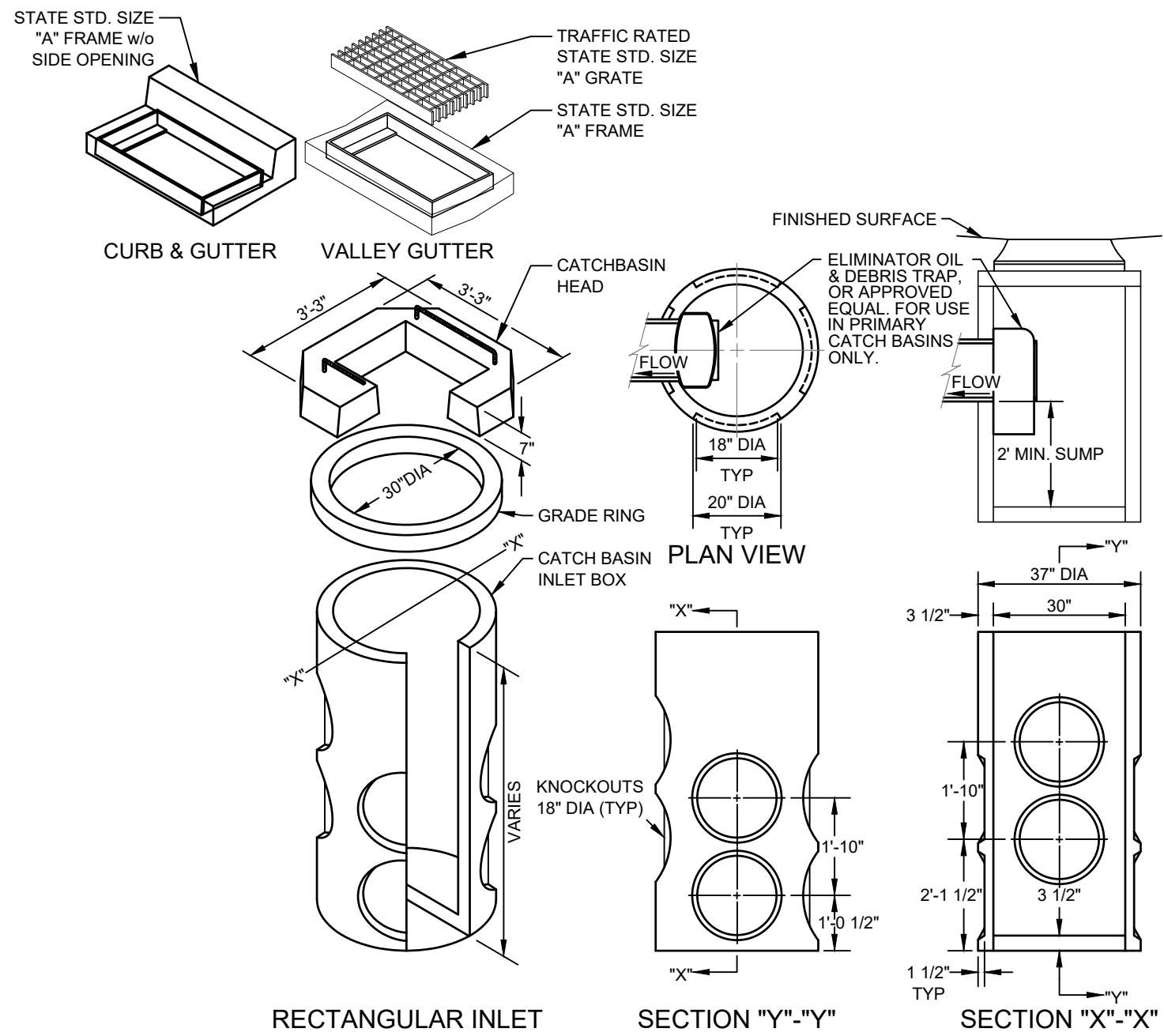
DETAIL SHEET

140 & 180 N LEADVILLE (KETCHUM BLOCK 22 LOTS 3 AND 4)

PREPARED FOR: ARCH COMMUNITY HOUSING TRUST

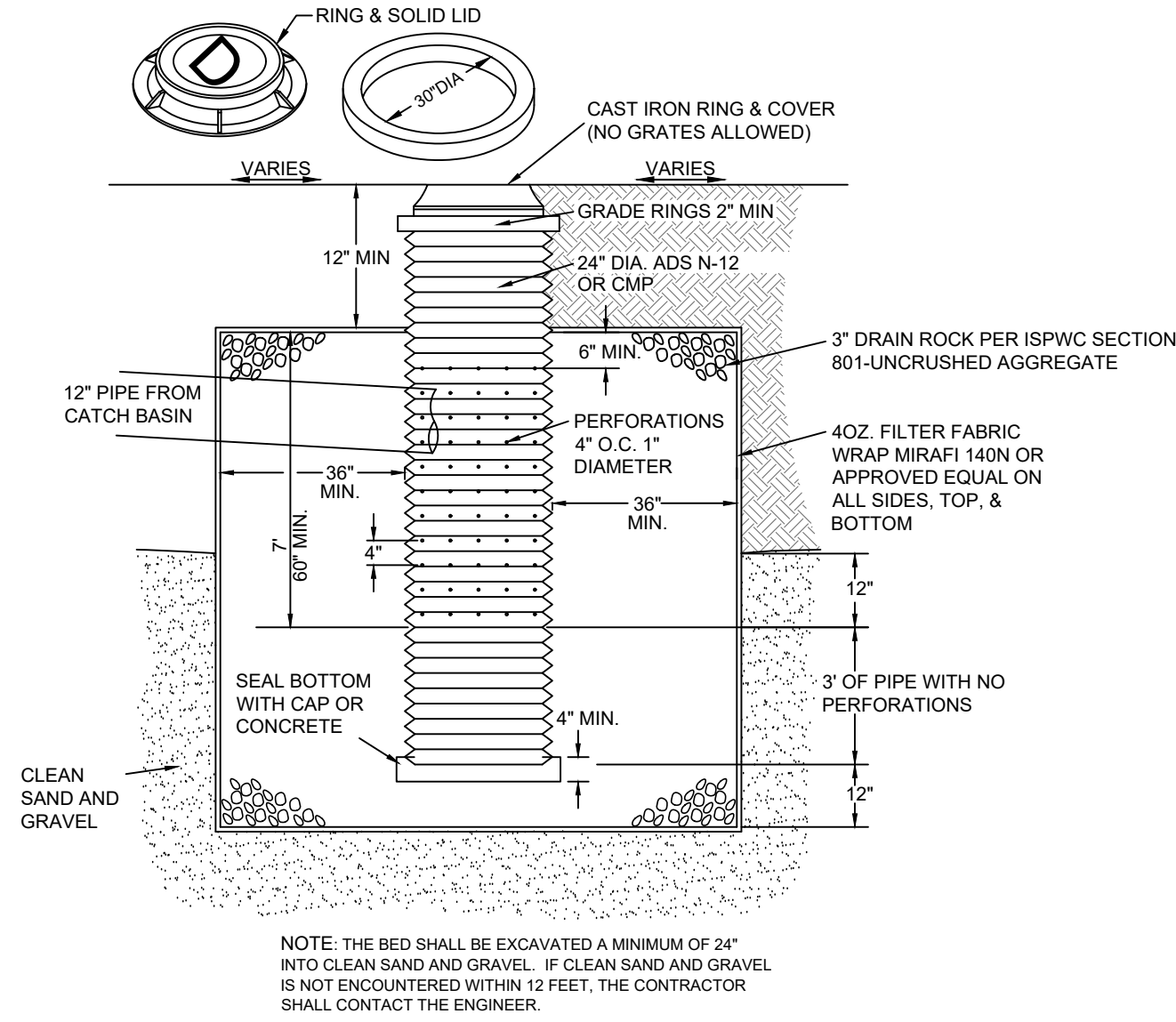
25015
PROJECT NUMBER

C1.00

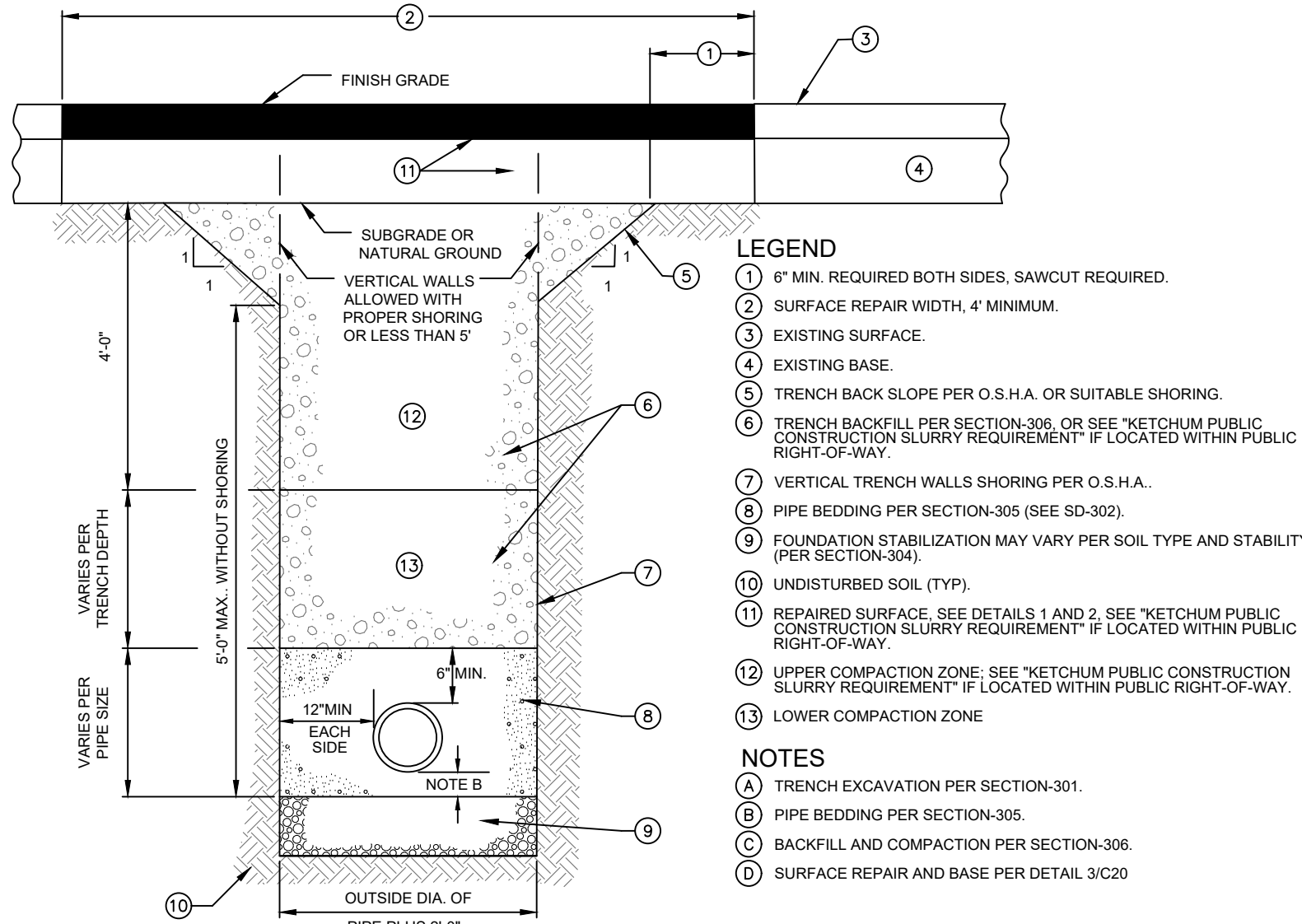


- RECTANGULAR INLET SECTION "Y"- "Y"**
- SECTION "X"- "X"**
- CATCH BASIN INSTALLATION NOTES:**
1. A PRIMARY CATCH BASIN IS DEFINED AS THE FIRST STORM STRUCTURE UPSTREAM OF A DRYWELL. A SATELLITE CATCH BASIN IS DEFINED AS THE STORM STRUCTURE UPSTREAM OF THE PRIMARY CATCH BASIN.
 2. THE OIL & DEBRIS TRAP SHALL BE INSTALLED ON THE OUTLET OF THE PRIMARY CATCH BASIN ONLY. NOT ON SATELLITE CATCH BASINS.
 3. PLACE A MINIMUM OF 4" OF COMPACTED BEDDING ON PREPARED SUBGRADE AS SPECIFIED IN ISWPC SECTION 305. PIPE BEDDING. EXTEND BEDDING EITHER TO THE LIMITS OF THE EXCAVATION OR AT LEAST 12" OUTSIDE THE LIMITS OF THE BASE SECTION.
 4. FILL THE BALANCE OF THE EXCAVATED AREA WITH SELECT MATERIAL COMPACTED LEVEL TO THE TOP OF THE BEDDING.
 5. PROVIDE A SMOOTH AND LEVEL BEARING SURFACE ON THE BEDDING SURFACE.

1 30" DIAMETER CATCH BASIN
N.T.S.

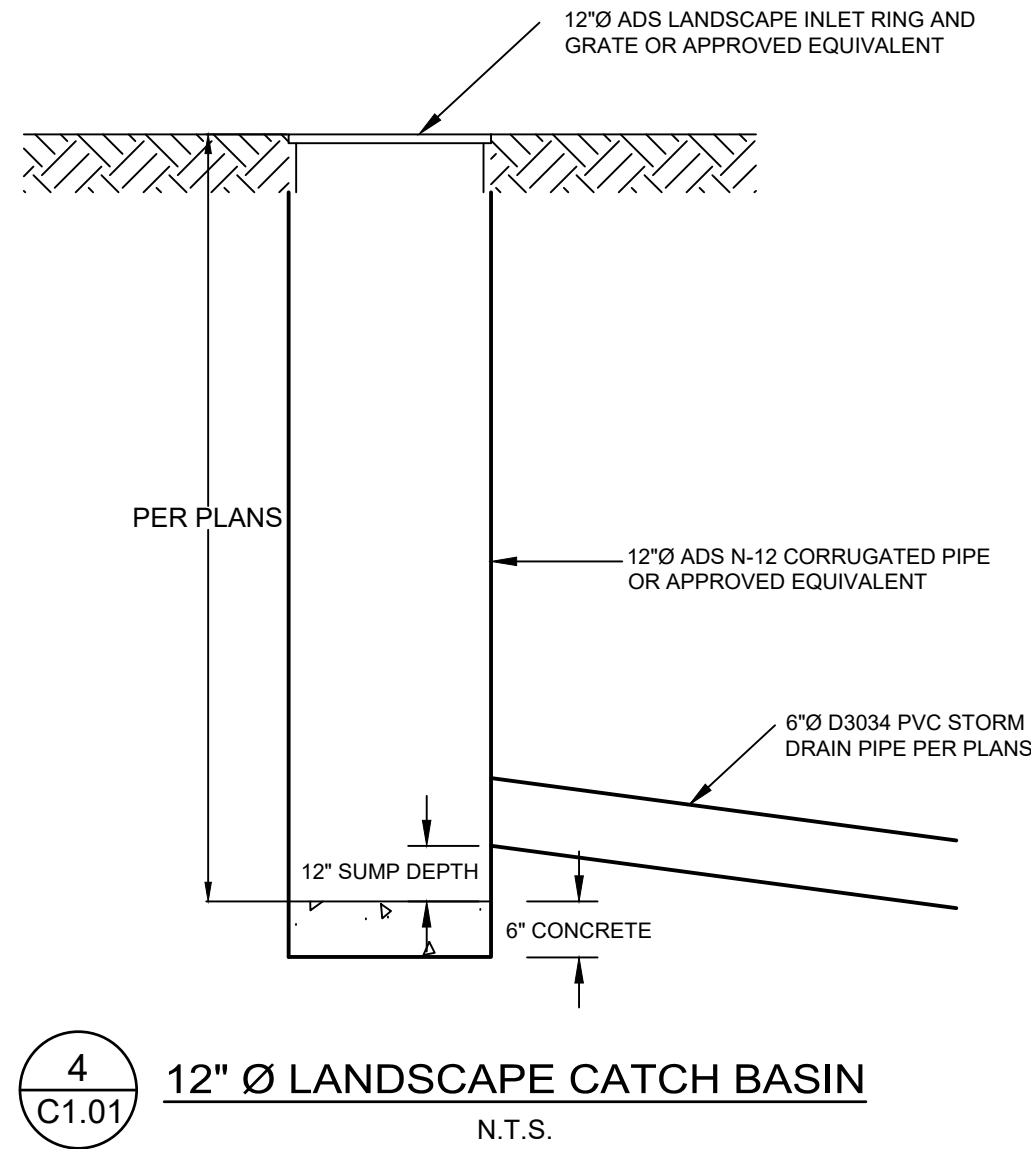


2 DRYWELL DETAIL
N.T.S.

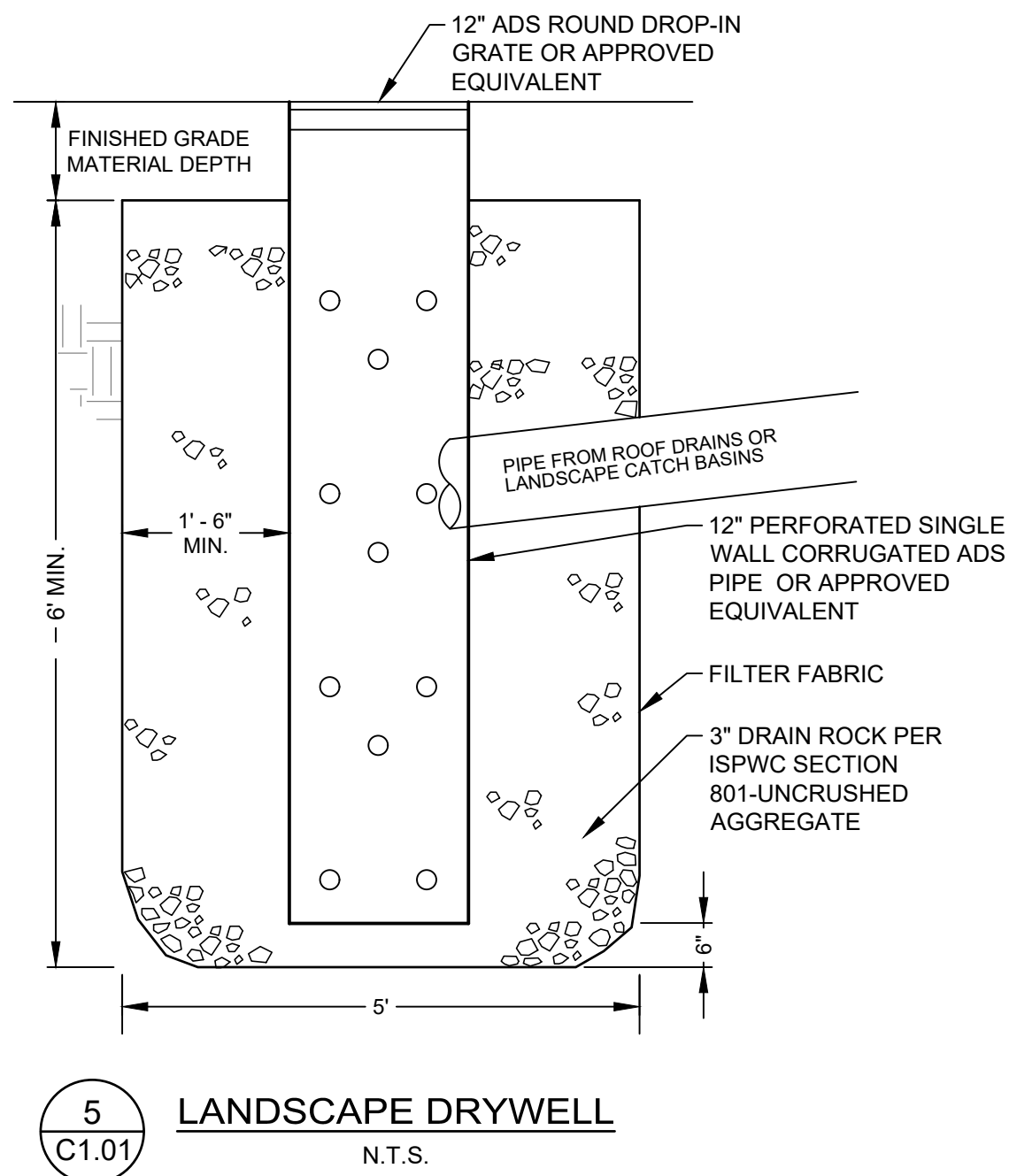


- KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT**
- IN AREAS WHERE IT IS NECESSARY TO CUT THE ASPHALT PAVEMENT AND DIG A TRENCH FOR BURIAL OF CONDUIT CABLE OR OTHER CITY UTILITY, THE TRENCH SHALL BE BACKFILLED WITH A LEAN CONCRETE MIX TO THE BOTTOM OF FINISH SURFACE MATERIAL WITH THE FOLLOWING PROPORTIONS OF MATERIALS:
- | COARSE AGGREGATE (3/4" MINUS) | 2,600 LBS |
|-------------------------------|---------------|
| SAND | 800 LBS |
| PORTLAND CEMENT | 94 LBS |
| WATER | 11 GAL (MAX.) |
- WATER CONTENT IS MAXIMUM AND MAY BE REDUCING DOWNWARD. CARES SHALL BE TAKEN TO ASSURE THAT EXCESS WATER IS NOT PRESENT IN THE MIXING DRUM PRIOR TO CHARGING THE MIXER WITH MATERIALS. THOROUGH MIXING WILL BE REQUIRED PRIOR TO DISCHARGE.
- NO COMPACTION, VIBRATION OR FINISHING IS REQUIRED. THE LEAN CONCRETE MIX SHALL BE STRUCK OFF AT OR BELOW THE ELEVATION OF THE PLANTMIX SURFACING WITH A SQUARE-NOSE SHOVEL OR SIMILAR HAND TOOL. THE BACKFILL MIX SHALL BE ALLOWED TO SET FOR A MINIMUM OF 2 HOURS BEFORE THE PERMANENT PLANTMIX SURFACING IS PLACED TO COMPLETE THE TRENCH REPAIR. TEMPORARY PLACEMENT OF ASPHALT COLD MIX SURFACING MAY BE NECESSARY TO ACCOMMODATE TRAFFIC WITHIN THE FIRST 2 HOURS OF BACKFILL PLACEMENT PRIOR TO COMPLETING THE PERMANENT REPAIR.

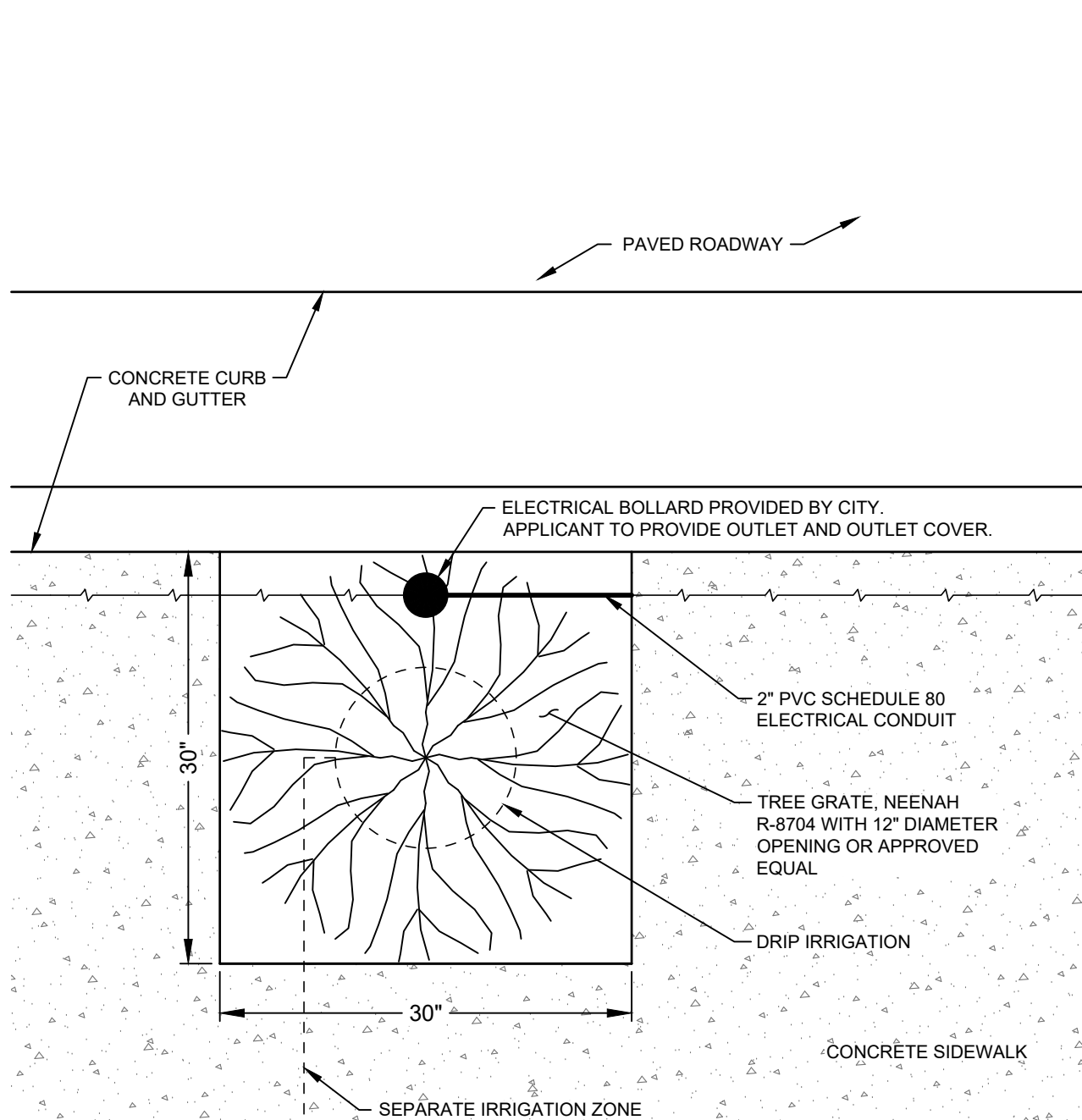
3 TYPICAL TRENCH SECTION
N.T.S.



4 12" Ø LANDSCAPE CATCH BASIN
N.T.S.



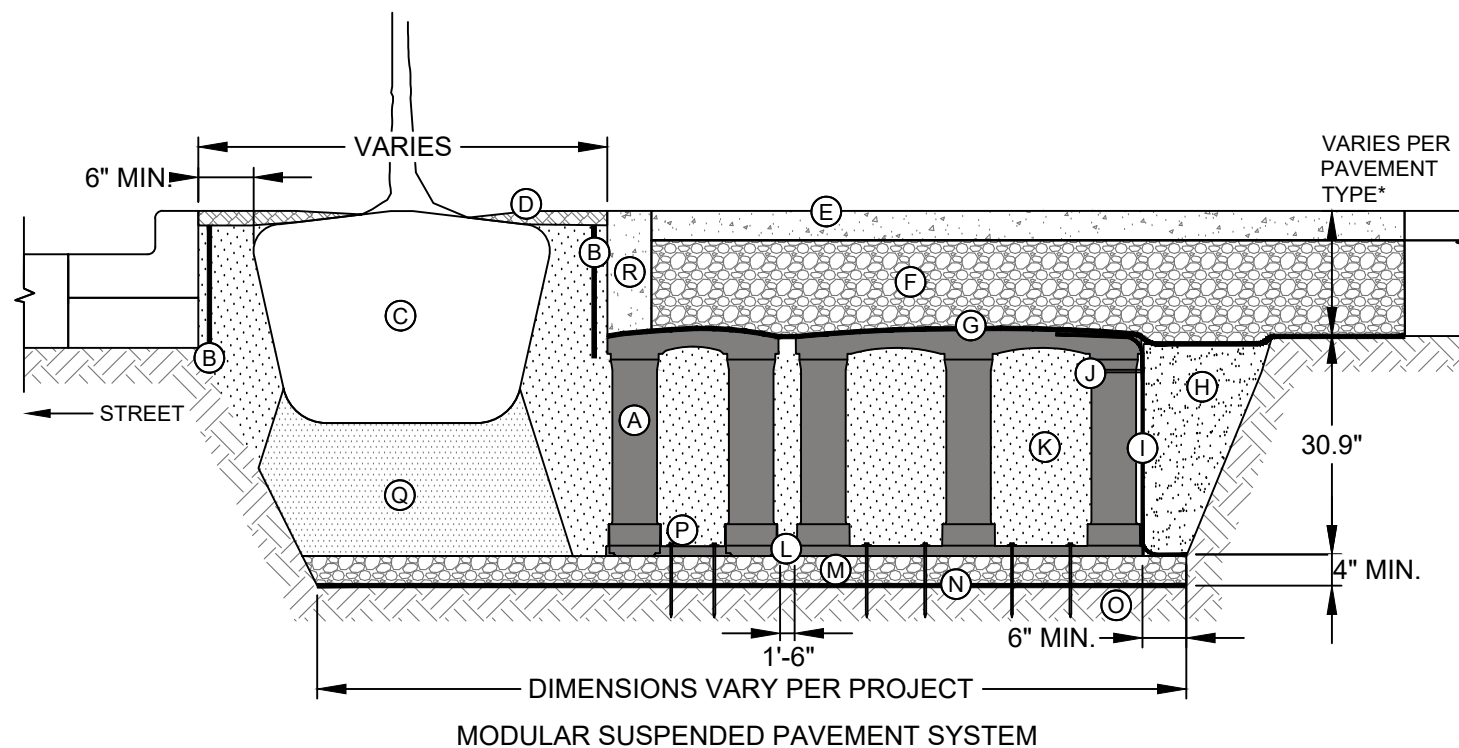
5 LANDSCAPE DRYWELL
N.T.S.



- PLAN VIEW**
- NOTES:**
1. TREE TO BE 3" MINIMUM CALIPER AUTUMN BLAZE MAPLE OR APPROVED EQUAL.
 2. CITY OF KETCHUM REQUIRES DRIP IRRIGATION TO BE ON A SEPARATE ZONE WITH HUNTER/RAINWISE SMART CLOCK, OR APPROVED EQUAL, FOR REMOTE ACCESS BY CITY.
 3. APPLICANT TO CONNECT AND PROVIDE CONDUITS, WIRING, AND SEPARATE CIRCUIT, OR TIE TO A CITY CIRCUIT FOR POWER.
 4. NO DIRECT BURIAL WIRE PERMITTED.
 5. TREE INSTALLATION TO BE MODULAR SUSPENDED PAVEMENT SYSTEM. SEE TREE WELL SECTION VIEW, DETAIL 2.

PLAN VIEW

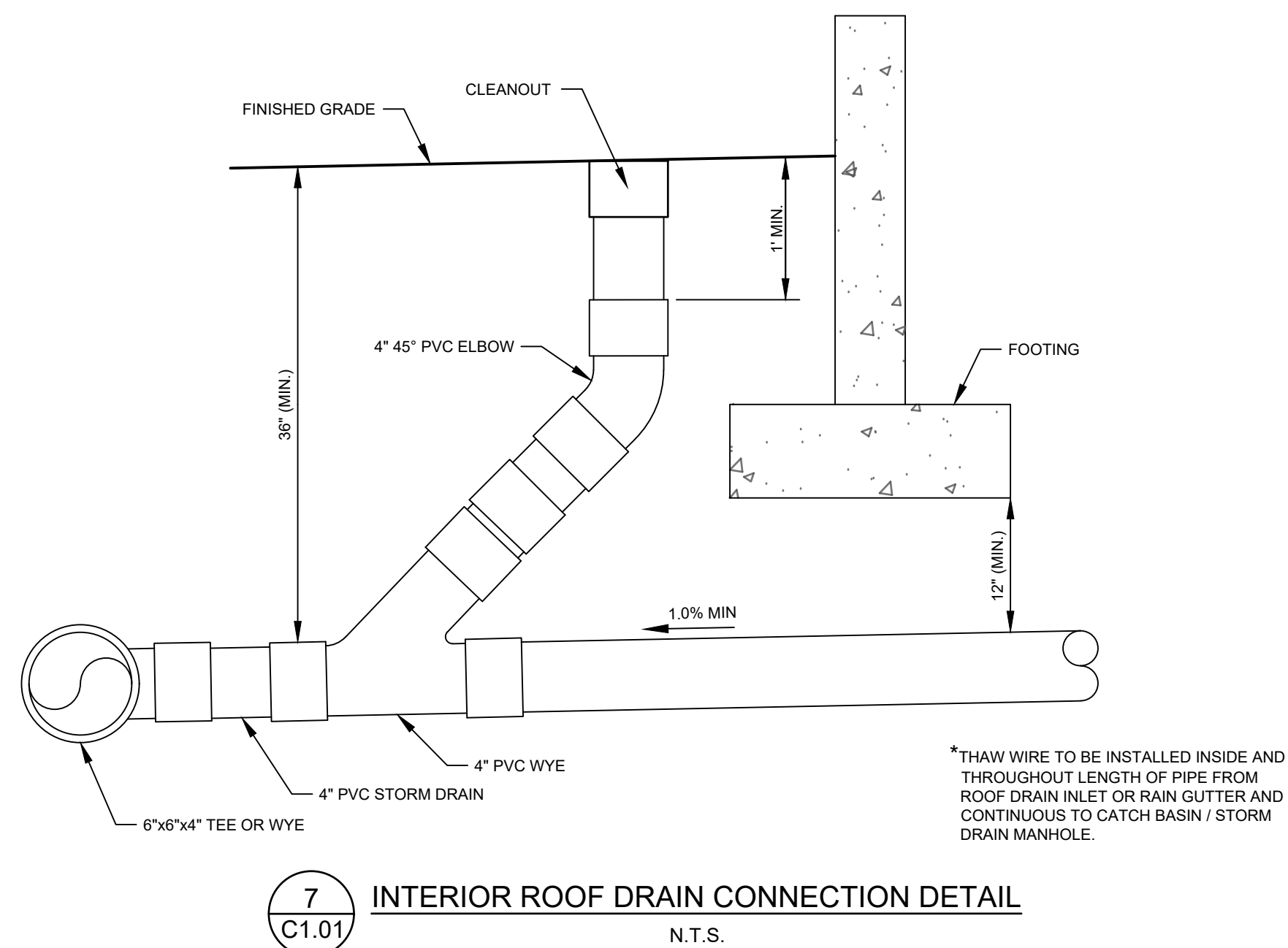
6 TREE WELL DETAILS
N.T.S.



- KEY PLAN:**
- A. SILVA CELL SYSTEM (DECK, BASE, AND POSTS) OR APPROVED EQUAL.
 - B. DEEPROOT ROOT BARRIER, 12" OR 18", DEPTH DETERMINED BY THICKNESS OF PAVEMENT SECTION, INSTALL DIRECTLY ADJACENT TO CONCRETE EDGE RESTRAINT. PREVENTS ROOTS FROM DISTURBING PAVEMENT.
 - C. TREE ROOT PACKAGE, SIZE VARIES
 - D. TREE OPENING TREATMENT, PER PROJECT SPECIFICATIONS
 - E. SURFACE TREATMENT, PER PROJECT
 - F. AGGREGATE BASE COURSE, DEPTH VARIES PER PROJECT
 - G. GEOTEXTILE TO KEEP AGGREGATE FROM MIGRATING DOWN THROUGH CELL DECK
 - H. BACKFILL, PER PROJECT SPECIFICATIONS
 - I. GEOGRID TO PROVIDE FOR VERTICAL SEPARATION BETWEEN PLANTING SOILS AND BACKFILL WHILE ALLOWING ROOT PENETRATION INTO ADJACENT SOILS. 6" (150 mm) TOE (OUTWARD FROM BASE) AND 12" (305 mm) EXCESS (OVER TOP OF DECK).
 - J. CABLE TIE, ATTACHING GEOGRID TO SILVA CELL AT BASE OF UPPER POST FLARE
 - K. PLANTING SOIL, PER PROJECT SPECIFICATIONS, COMPACTED TO 70-80% PROCTOR
 - L. SILVA CELL BASE SLOPE, 10% MAX
 - M. 4" (100 mm) MIN AGGREGATE SUB BASE, COMPACTED TO 95% PROCTOR
 - N. GEOTEXTILE TO PROVIDE SEPARATION BETWEEN SUBGRADE AND AGGREGATE BASE
 - O. SUBGRADE, COMPACTED TO 95% PROCTOR
 - P. PIN, PER SILVA CELL SPECIFICATIONS, TO KEEP CELLS IN PLACE DURING CONSTRUCTION
 - Q. PLANTING SOIL BELOW TREE ROOT PACKAGE, COMPACTED TO 85-90% PROCTOR
 - R. CONCRETE EDGE RESTRAINT TO STABILIZE EDGE AND PREVENT AGGREGATE MIGRATION INTO TREE OPENING.

SECTION VIEW

- NOTES:**
1. EXCAVATION SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE HEALTH AND SAFETY REGULATIONS.
 2. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 3. A PROJECT SPECIFIC DETAIL WILL NEED TO BE PROVIDED TO CITY FOR REVIEW AND APPROVAL.



7 INTERIOR ROOF DRAIN CONNECTION DETAIL
N.T.S.

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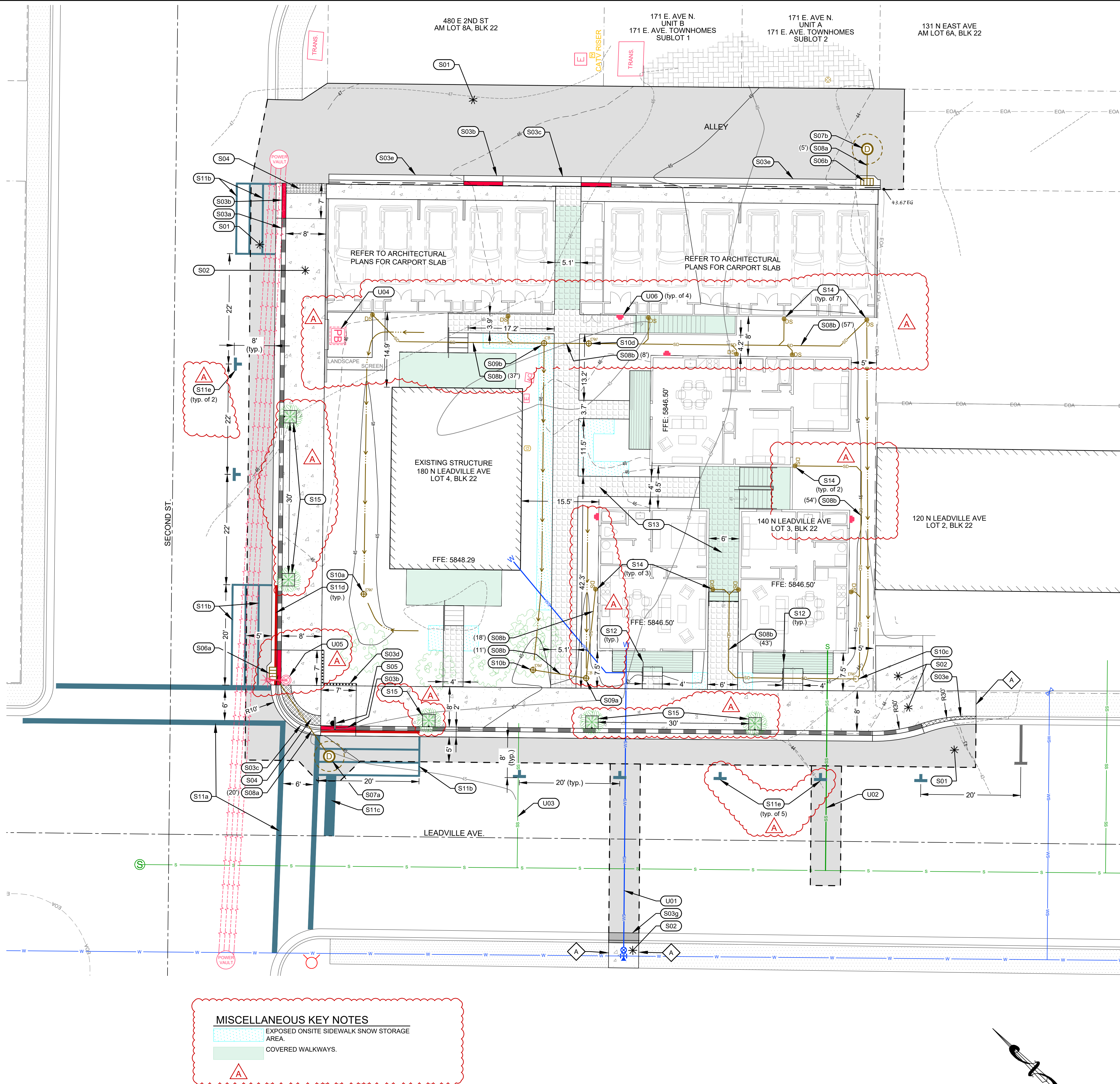
DETAIL SHEET

140 & 180 N LEADVILLE (KETCHUM BLOCK 22 LOTS 3 AND 4)

PREPARED FOR: ARCH COMMUNITY HOUSING TRUST

25015
PROJECT NUMBER

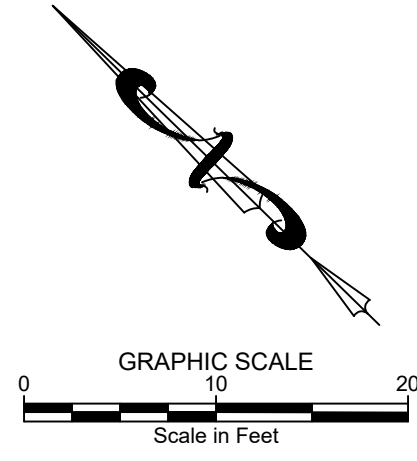
C1.01



MISCELLANEOUS KEY NOTES

- EXPOSED ONSITE SIDEWALK SNOW STORAGE AREA.
- COVERED WALKWAYS.

- SITE IMPROVEMENT KEY NOTES**
- S01 CONSTRUCT ASPHALT ROADWAY / ASPHALT REPAIR. REFER TO DETAIL 1 / C1.00.
 - S02 CONSTRUCT CONCRETE SIDEWALK. WIDTH AS SHOWN HEREON. REFER TO DETAIL 2 / C1.00.
 - S03 CONSTRUCT CONCRETE CURB AND GUTTER
 - a. 6" ROLLED C&G PER DETAIL 3 / C1.00.
 - b. CURB TRANSITION PER DETAIL 4 / C1.00.
 - c. ZERO REVEAL CURB AND GUTTER PER DETAIL 4 / C1.00.
 - d. CONCRETE VERTICAL CURB PER DETAIL 5 / C1.00.
 - e. 3" ROLLED C&G PER DETAIL 6 / C1.00.
 - f. ±11" OF CURB TRANSITION (BETWEEN 6" VERTICAL C&G AND 6" ROLLED C&G).
 - g. REPAIR EXISTING CURB AND GUTTER. MATCH EXISTING LINES AND GRADES.
 - S04 INSTALL CITY OF KETCHUM APPROVED CAST IRON TRUNCATED DOME DETECTABLE WARNING INSERT. REFER TO DETAIL 7 / C1.00.
 - S05 INSTALL STOP SIGN. USE PREVIOUSLY REMOVED SIGN. COORDINATE FINAL LOCATION WITH CITY OF KETCHUM. REFER TO DETAIL 8 / C1.00 FOR SIGN BASE DETAIL.
 - S06 INSTALL CATCH BASIN. REFER TO DETAIL 1 / C1.01.
 - a. RIM = 5844.88 I.E. (OUT) = 5841.88
 - b. RIM = TBD I.E. (OUT) = TBD
 - S07 INSTALL DRYWELL. REFER TO DETAIL 2 / C1.01.
 - a. RIM = 5844.97 I.E. (IN) = 5841.4
 - b. RIM = TBD I.E. (IN) = TBD
 - S08 INSTALL STORM DRAIN PIPE WITH A MINIMUM SLOPE OF 2.0%. REFER TO DETAIL 3 / C1.01 FOR TRENCHING.
 - a. 12" ADS N-12 PIPE
 - b. 6"Ø D3034 PVC PIPE
 - S09 INSTALL LANDSCAPE CATCH BASIN. REFER TO DETAIL 4 / C1.01.
 - a. RIM = TBD I.E. (OUT) = TBD
 - b. RIM = TBD I.E. (OUT) = TBD
 - S10 INSTALL LANDSCAPE DRYWELL. REFER TO DETAIL 5 / C1.01.
 - a. RIM = TBD
 - b. RIM = TBD I.E. (IN) = TBD
 - c. RIM = TBD
 - d. RIM = TBD
 - S11 INSTALL ROAD STRIPING / PAINT
 - a. WHITE CROSSWALK STRIPING (12" WIDE).
 - b. YELLOW ASPHALT NO PARKING STRIPING (4" WIDE). MATCH CITY PATTERNS.
 - c. STOP BAR STRIPING (24" WIDE).
 - d. RED "NO PARKING" STRIPING ON CURB. MATCH CITY PATTERNS. (PAINT TOP HALF OF ROLLED CURB).
 - e. YELLOW ASPHALT PARKING STRIPING "T". MATCH CITY PATTERNS.
 - S12 INSTALL HANDRAIL. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
 - S13 INSTALL ON-SITE WALKWAY. MATERIAL PER OWNER.
 - S14 INSTALL ROOF DRAIN DOWN SPOUT. REFER TO DETAIL 7 / C1.01.
 - S15 INSTALL TREE WELL. REFER TO DETAIL 6 / C1.01.
 - A MATCH EXISTING LINES AND GRADES
- UTILITY KEY NOTES**
- U01 INSTALL NEW PVC WATER SERVICE. STAINLESS STEEL TAPPING SADDLE, AND GATE VALVE. REFER TO MECHANICAL DRAWINGS FOR SERVICE SIZE. CONNECT EXISTING SERVICE LINE TO EXISTING BUILDING TO NEW WATER SERVICE LINE. REFER TO DETAIL 3 / C1.01 FOR TRENCHING.
 - U02 INSTALL 6" PVC SEWER SERVICE. REFER TO DETAIL 3 / C1.01 FOR TRENCHING.
 - U03 UTILIZE EXISTING SEWER SERVICE LINE INTO EXISTING BUILDING.
 - U04 INSTALL POWER TRANSFORMER (BY OTHERS). OWNER OR CONTRACTOR TO FACILITATE AND COORDINATE INSTALLATION WITH IDAHO POWER.
 - U05 INSTALL CITY OF KETCHUM APPROVED STREET LIGHT. SEE ILLUMINATION PLAN FOR FINAL LOCATION, KETCHUM STANDARD DETAIL #14 FOR POLE FOOTING AND LIGHT TYPE, AND ELECTRICAL PLAN FOR POWER SUPPLY.
 - U06 INSTALL POWER METER. (BY OTHERS). OWNER OR CONTRACTOR TO FACILITATE AND COORDINATE INSTALLATION WITH IDAHO POWER.



opai

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WWW.OPAL-ENGINEERING.COM

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	1	09/18/25	CITY COMMENTS 07/31/2025

PROFESSIONAL ENGINEER
LICENSED
17618
09/18/2025
STATE OF IDAHO
SAMANTHA STAHLMEYER

PRELIMINARY
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CONSTRUCTION

SITE IMPROVEMENT PLAN

140 & 180 N LEADVILLE (KETCHUM BLOCK 22 LOTS 3 AND 4)
PREPARED FOR: ARCH COMMUNITY HOUSING TRUST

25015

PROJECT NUMBER

C1.10