



City of Ketchum
Planning & Building

STAFF REPORT
KETCHUM PLANNING AND ZONING COMMISSION
REGULAR MEETING OF FEBRUARY 13, 2024

PROJECT: 200 North Main

APPLICATION TYPE: Design Review (Application File No. P23-049)
Conditional Use Permit (Application File No. P23-49A)

PROPERTY OWNER: 200 North Main LLC, Kenneth & Ann Dudunakis, Managing Members

REPRESENTATIVE: Michael Doty Associates, Architects

REQUEST: Final Design Review for the development of a new 12,405 gross-square-foot mixed-use building and Conditional Use Permit for a residential unit greater than 3,000 square feet as required by Interim Ordinance 1234.

LOCATION: 200 North Main Street
(Ketchum Townsite: Block 3: Lots 1)

ZONING: Community Core – Subdistrict 1 – Retail Core (CC-1)

REVIEWER: Abby Rivin – Senior Planner

NOTICE: The public hearing for this project was continued to a date uncertain from the Planning and Zoning Commission Meeting on December 12, 2023. A public hearing notice for the project was mailed to all owners of property within 300 feet of the project site on January 24, 2024. The public hearing notice was published in the Idaho Mountain Express on January 24, 2024. A notice was posted on the project site and the city’s website on January 29, 2024. The building corners were staked and the story pole was installed on the project site on February 6, 2024. Public comment is included as Attachment F.

I. EXECUTIVE SUMMARY

The Planning and Zoning Commission (“Commission”) reviewed the 200 North Main project during their regular meeting on December 12, 2023. The staff report from the Commission’s initial review of this project is included as Attachment A. After reviewing the project plans, staff and applicant presentations, and public comment, the Commission moved to continue review of the Design Review and Conditional Use Permit applications and directed the applicant to modify the project plans according to their feedback.

II. COMMISSION FEEDBACK & PROPOSED CHANGES

During their deliberations at the December 12 meeting, the Commission raised concerns that the project was incompatible with its surrounding context along Main Street. Their deliberations focused on the building's size and mass in relation to historic buildings in the neighborhood. The Commission provided feedback to the applicant regarding the massing of the third-floor penthouse. Pursuant to Ketchum Municipal Code §17.96.060.F5, "Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness." The Commission commented that the light color of the Oko Skin exterior finish proposed for the third-floor penthouse with the initial submittal appeared eye-catchingly bright due to its juxtaposition with the darker brick below. Pursuant to Ketchum Municipal Code §17.96.060.F3, "There shall be continuity of materials, colors and signing within the project." In addition, the Commission raised a concern that the mature height of the Korean Maple trees proposed to border the third-floor terraces would block views along Main Street.

The applicant has revised the project plans in response to the Commission's feedback. The updated project plans are included as Attachment B to the staff report. In addition, the applicant has provided a narrative description of the proposed changes, which is included as Attachment C. The applicant has reduced the height of the second- and third-floor ceilings and lowered the parapets. These changes have reduced the overall height of the building by 21 inches from 41'-7" to 39'-10". Figure 1 shows this reduction of parapet heights at the Main Street elevation. In addition, the applicant has lowered the height of the stairwell at the northwest corner of the building by 2 feet. The red box in Figure 1 illustrates how this change has reduced the visual perception of the stairwell from the street level along Main Street.



Figure 1: Height Reductions at Main Street Elevation

The applicant has eroded the mass of the third-floor penthouse at the 2nd Street elevation by removing the cantilevered building mass covering the BBQ grill (blue box in Figure 2) and reducing the ceiling height of the adjacent building mass projection (orange box in Figure 2). The initial project plans showed a portion of the third-floor exterior wall that extended to the property line along 2nd Street matching the vertical wall plane of the lower levels (purple box in Figure 2), which created a break in the continuity of the steel guardrail along 2nd Street. The Commission provided feedback that this element increased the perceived bulk and mass of the third floor on 2nd Street and recommended the applicant make revisions. The applicant has stepped this wall back 6 inches, which allows the brick parapet and steel guardrail to run continuously along 2nd Street.



Figure 2: Third-Floor Penthouse Massing Modifications

As shown in Figure 3, the applicant has changed the exterior finish of the third-floor penthouse to Neolith Sintered Stone Siding Panels. These stone siding panels have an Iron Corten color with red and brown tones that complement the brick veneer of the first two floors.

Finally, the applicant changed the type of shade tree proposed for the third-floor terraces from a Korean Maple to a Vine Maple. The Korean Maples trees proposed with the initial submittal have a mature height of 10 feet. As shown on Sheet L5.0 of the updated project plans (Attachment B), the Vine Maple trees have a mature height of 8 feet. The applicant’s narrative states that the Vine Maple trees have, “more compact mature height and spread.”



Figure 3: Penthouse Exterior Finish--Initial Submittal & Proposed Change

III. CONFORMANCE WITH ZONING AND DESIGN REVIEW STANDARDS

Pursuant to KMC §17.96.050.A, the Commission must determine that a project meets the following criteria before granting Design Review approval:

1. The project doesn't jeopardize the health, safety, or welfare of the public.
2. The project conforms to all Design Review standards and zoning regulations.

Section 13 of the interim ordinance requires that all development subject to Design Review must meet an additional criterion that, "The design and uses of the development generally conform with the goals, policies, and objectives of the comprehensive plan."

Criteria 1: Health, Safety, and Welfare of the Public

Interior Ordinance 1234 Section 13: General Conformance with the Comprehensive Plan

As noted in the December 12 staff report (Attachment A), staff believes the project complies with many of the goals and policies of the 2014 Comprehensive Plan ("comprehensive plan"). During their deliberations at the December 12 meeting, the Commission expressed concerns with the scale and mass of the building in relation to its surrounding context along Main Street and neighboring historic buildings. Table 1 provides staff's analysis of the comprehensive plan policies that address contextual compatibility. A table of surrounding building height, floor area ratios, and exterior materials is included as Attachment D.

Table 1: 2014 Comprehensive Plan—Contextual Compatibility Policies & Staff Analysis	
Chapter 4 Community Design and Neighborhoods	
Policy CD-1.1 Unique Design Elements for Identifiable Neighborhoods	<i>Each neighborhood or district should include a mix of design elements that will reinforce its unique design quality.</i>
<p>Staff Analysis: As shown on the Ketchum Neighborhoods and Districts Map on page 25 of the comprehensive plan, both the Retail Core and Mixed-Use Subdistrict of the Community Core Zone are within the Downtown Core neighborhood. The comprehensive plan does not distinguish Main Street as a separate district with its own design elements. Main Street is considered part of the Downtown Core neighborhood.</p> <p>200 North Main celebrates Ketchum's historic architecture. The ground level and second floor of the building are comprised of brick and form a two-story, rectangular building mass at the street frontages. This design is representative of Ketchum's early mercantile and bank buildings constructed in the 1880s. The projecting awning supported by columns at the street corner is also a nod to downtown's historic architecture. Gabled porch entries and covered boardwalks like the Comstock & Clark Mercantile building's colonnade are characteristic of western vernacular architecture.</p>	
Policy CD-1.3 Compatible Infill and Redevelopment Projects	<i>Infill and redevelopment projects should be contextually appropriate to the neighborhood and development in which they will occur. Context refers to the natural and manmade features adjoining a development site; it does not imply a certain style.</i>
<p>Staff Analysis: The subject property is located within an area of downtown that is characterized by both older, smaller-scaled buildings and new, larger-scaled developments. 200 North Main sensitively responds to its surrounding context through its façade design and high-quality exterior materials. The third floor is setback an average of 17'-9" from the front property line along Main Street, 5'-11" from the side property line along 2nd Street, 9'-9" from the alley property line, and 6'-10" from the interior side property line. The third-floor building mass is sculpted vertically and horizontally to provide a human-scale at the street level and a softer transition to smaller-scaled historic buildings. Staff believes the 200 North Main project is contextually appropriate to the Downtown Core neighborhood.</p>	
Policy CD-1.4 High-Quality Site Planning and Building and Landscape Design	<i>It is important to maintain and reinforce development quality, particularly in the built-up community core area. New development should convey a positive image for the community—particularly through high quality design of residential and commercial buildings and resort accommodations. Each new project should be well-designed and attractive, and should complement surrounding land uses and existing neighborhood character.</i>
<p>Staff Analysis: The design celebrates character-defining features of Ketchum's historic architecture without mimicry or replication. The project blends character-defining features that honor Ketchum's historic architecture with more contemporary design elements like black metal accents to create a high-quality design that appears as a product of its own time.</p>	
Chapter 12: Future Land Use	
Policy LU-1.1 Integrated and Compatible Mix of Land Uses	<i>Use the Future Land Use Plan to guide decisions about growth and development. The Future Land Use Plan identifies locations of land-use classifications within both the city limits and the ACI.</i>
<p>Staff Analysis: The comprehensive plan designates the future land use of the subject property as Retail Core and envisions, "a variety of mixed-use buildings that have ground-floor storefronts," and "restaurants and outdoor seating areas line the sidewalks, creating an active pedestrian-friendly environment" (page 69). The 200 North Main project proposes a ground-floor commercial restaurant and an outdoor dining area at the street corner.</p>	

Conformance with Zoning Regulations and Design Review Standards

Conformance with Zoning Regulations

The December 12 staff report flagged a concern regarding light trespass from the outdoor dining area. Staff recommended a condition of approval requiring that the applicant revise the outdoor dining area lighting plan and submit an updated photometric study that shows an average of 0.2 footcandles outside of the awning onto the uncovered areas of the sidewalk along Main and 2nd Streets. The applicant has reduced light trespass by dimming the light emanating from the fixtures in the outdoor dining area and removing the recessed canopy fixtures along 2nd Street. As shown on sheet LSK-01 of the updated project plans (See Attachment B), these changes have reduced light trespass to achieve an average of 0.2 footcandles outside of the awning.

The proposed changes to the height and massing of the mixed-use building do not impact the project's conformance with zoning regulations, including dimensional standards. The project remains in conformance with all zoning regulations, including Community Core dimensional standards, parking, and permitted uses. Staff's comprehensive analysis of how the project complies with zoning code requirements and dimensional standards is provided in Attachment E of the December 12 staff report (See Attachment A).

Conformance with Design Review Regulations

Ketchum Municipal Code §17.96.060.F5 states that, "Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness." Staff believes the applicant's proposed changes reducing the overall height of the building and modifying the massing of the third-floor penthouse help make the project more contextually compatible with the scale of the surrounding built environment. Pursuant to Ketchum Municipal Code §17.96.060.F3, "There shall be continuity of materials, color and signing with the project." Staff believes the Iron Corten color of the stone panels proposed for the penthouse complements the brick veneer as both materials have red and brown color tones. As noted at the December 12 meeting, staff believes the project complies with all Design Review standards Ketchum Municipal Code §17.96.060 and requirements for developments within the Community Core specified in Ketchum Municipal Code §17.96.070. Please see Attachment F of the December 12 staff report (Attachment A) for staff's comprehensive analysis of all design review standards.

IV. STAFF RECOMMENDATION

Staff believes the project, as conditioned, complies with all zoning code requirements, Design Review standards, interim ordinance standards, and Conditional Use Permit criteria. Staff recommends approval of the applications with the following recommended conditions of approval:

Design Review: Recommended Conditions of Approval

1. The Design Review approval is subject to Conditional Use Permit Application File No. P23-049A. All associated conditions of approval shall apply to the project.
2. This Design Review approval is based on the plans dated January 17, 2024 and information presented and approved at the February 13, 2024 Planning and Zoning Commission Meeting, included as Exhibit A to these findings. The building permit plans must conform to the approved Design Review plans unless otherwise approved in writing by the Planning and Zoning Commission or Administrator. Any building or site discrepancies which do not conform to the approved plans will be subject to removal.
3. As a voluntary contribution, in exchange for an increase in FAR, a total community housing contribution of 1,173 square feet is required. A FAR Exceedance Agreement between the applicant and the City to memorialize the community housing contribution shall be signed and recorded prior to issuance of a building permit for the project.
4. Each individual apartment shall have a dedicated detached storage unit as shown on sheet A-221 of Exhibit A.
5. The property owner must utilize and maintain the special service provided by Clear Creek Disposal to transport the waste bins to and from the residential garbage room, as shown on sheet A-103 of Exhibit A, at all times. The waste bins must always be stored within the residential garbage room except for when Clear Creek Disposal transports the carts to and from the residential garbage room for servicing. If Clear Creek Disposal's special services are discontinued in the future, the HOA must provide evidence of similar transport services.
6. All city department comments pertaining to the proposed right-of-way improvements are preliminary and subject to change depending on the final design of the Main Street reconstruction project. The applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for all right-of-way improvements, including sidewalks, alley asphalt, streetlights, utilities, street trees, and drainage facilities, for review and approval by the City Engineer, Streets Department, Utilities Department, City Arborist, and Planning Department prior to issuance of a building permit for the project.
7. The project requires a Right-of-Way Encroachment Permit approved by City Council for the sidewalk paver and snowmelt system as well as the architectural projections, including the awnings and architectural coursing. The applicant shall submit the Right-of-Way Encroachment Permit application for review by the City Engineer, Streets Department, and Planning Department concurrently with the building permit application.
8. Pursuant to Ketchum Municipal Code §17.127.030.B, separate sign permits shall be required for all new signs prior to installation.
9. The term of Design Review approval shall be twelve (12) months from the date that the Findings of Fact, Conclusions of Law, and Decision are adopted by the Commission or upon appeal, the date the approval is granted by the Council subject to changes in zoning regulations (KMC §17.96.090). Any extension shall comply with KMC §17.96.090.
10. In addition to the requirements set forth in this Design Review approval, this project shall comply with all applicable local, state, and federal laws.

Recommended Conditional Use Permit Conditions of Approval

1. This Conditional Use Permit approval is based on the plans dated January 17, 2024 and information presented and approved at the February 13, 2024 Planning and Zoning Commission Meeting, included as Exhibit A to these findings. The building permit plans must conform to the approved plans unless otherwise approved in writing by the Planning and Zoning Commission or Administrator. Any building or site discrepancies which do not conform to the approved plans will be subject to removal.
2. The Conditional Use Permit is not transferable from one parcel of land to another.
3. The term of this Conditional Use Permit shall be that of the term of approval for Design Review Application File No. P23-049. In the event the Design Review approval expires, this Conditional Use Permit approval shall also expire and become null and void.
4. In addition to the requirements set forth in this Conditional Use Permit approval, this project shall comply with all applicable local, state, and federal laws.

Recommended Motions

1. "I move to approve the 200 North Main design review application subject to conditions 1-10 and direct staff to return with findings of fact."
2. "I move to approve the 200 North Main conditional use permit application subject to conditions 1-4 and direct staff to return with findings of fact."

V. ATTACHMENTS:

- A. Staff Report—December 12, 2023 Planning and Zoning Commission Meeting
- B. Design Review Application Materials: Revised 200 North Main Project Plan Set
- C. Design Review Application Materials: Architect's Design Review Revisions Memo
- D. Surrounding Building Heights, Floor Area Ratios, and Exterior Materials
- E. Public Comment

Attachment A

Staff Report:

December 12, 2023

Planning and Zoning Commission
Meeting

Please Click Following Link:

[December 12, 2023 Staff Report](#)

Attachment B

Design Review Application Materials:
Revised 200 North Main Project Plan Set



INDEX OF DRAWINGS

SHEET NUMBER	SHEET NAME
DR-1	DESIGN REVIEW COVER
DR-2	KETCHUM HISTORICAL PHOTOS
DR-3	VICINITY MAP
C0.10	CIVIL ENGINEERING COVER
C0.20	EXISTING SITE CONDITIONS
C1.00	DETAIL SHEET
C1.01	DETAIL SHEET
C1.02	DETAIL SHEET
C1.10	DEMOLITION AND SITE GEOMETRY PLAN
C1.20	SITE GRADING, DRAINAGE, AND UTILITY PLAN
L1.0	SITE PLAN
L1.1	OUTDOOR DINING
L2.0	OUTDOOR DINING DESIGN FEATURE HEIGHTS
L3.0	OUTDOOR DINING MATERIALS + ELEVATIONS
L4.0	SPECIFICATIONS AND CUT SHEETS
L5.0	THIRD FLOOR TERRACES
L5.1	WEST TERRACE
L6.0	THIRD FLOOR TERRACES - MATERIALS + ELEVATIONS
L7.0	SPECIFICATIONS AND CUT SHEETS
LSK-01	FIRST FLOOR LIGHTING PHOTOMETRIC PLAN
LSK-02	THIRD FLOOR LIGHTING PHOTOMETRIC PLAN
LSK-03	PROPOSED LIGHTING PLANS AND SPECIFICATIONS
LSK-04	STREETLIGHT PHOTOMETRIC
A-102	PROPOSED ARCHITECTURAL SITE PLAN
A-103	PROPOSED ARCHITECTURAL SITE PLAN - ENLARGED
A-201	PROPOSED FLOOR PLANS - AREAS AND AREA COMPLIANCE CALCULATIONS
A-202	PROPOSED SECOND FLOOR PLAN - NET UNIT AREAS
A-203	PROPOSED THIRD FLOOR PLAN - NET UNIT AREA
A-205	PROPOSED BASEMENT PLAN
A-211	PROPOSED GROUND FLOOR PLAN
A-221	PROPOSED SECOND FLOOR PLAN
A-231	PROPOSED THIRD FLOOR PLAN
A-241	PROPOSED ROOF PLAN
A-251	THIRD FLOOR SETBACK DIAGRAM
A-301	PROPOSED EXTERIOR FINISHES
A-311	PROPOSED BUILDING ELEVATIONS - WEST
A-312	PROPOSED BUILDING ELEVATIONS - SOUTH
A-313	PROPOSED BUILDING ELEVATIONS - EAST
A-314	PROPOSED BUILDING ELEVATIONS - NORTH
A-315	PROPOSED BUILDING SIGNAGE
A-321	PROPOSED RIGHT-OF-WAY ENCROACHMENT
A-331	PROPOSED BUILDING SECTION
A-351	EXISTING WEST PERSPECTIVE
A-352	ORIGINAL DESIGN WEST PERSPECTIVE
A-353	PROPOSED REVISION WEST PERSPECTIVE
A-354	EXISTING WEST PERSPECTIVE
A-355	PROPOSED REVISION WEST PERSPECTIVE
A-356	EXISTING SOUTH PERSPECTIVE
A-357	ORIGINAL DESIGN SOUTH PERSPECTIVE
A-358	PROPOSED REVISION SOUTH PERSPECTIVE
A-359	EXISTING SOUTH PERSPECTIVE
A-360	PROPOSED REVISION SOUTH PERSPECTIVE
A-361	EXISTING NORTH PERSPECTIVE
A-362	PROPOSED REVISION NORTH PERSPECTIVE
A-363	PROPOSED REVISION NORTH PERSPECTIVE
A-364	EXISTING EAST PERSPECTIVE
A-365	PROPOSED REVISION EAST PERSPECTIVE
A-366	EXISTING MAIN STREET PERSPECTIVE
A-367	ORIGINAL DESIGN MAIN STREET PERSPECTIVE
A-368	PROPOSED REVISION MAIN STREET PERSPECTIVE
DESIGN REVIEW SHEET TOTAL: 60	

MATERIAL SYMBOLS

PLAN AND SECTION		ELEVATION	
	EARTH / TOP SOIL		PLYWOOD
	WASHED ROCK		FINISH WOOD
	ASPHALT PAVING / ROADBED MATL.		SAND, PLASTER, GYPSUM BOARD
	CONCRETE		BATT INSULATION
	BRICK		BIBS INSULATION
	CONCRETE MASONRY UNIT		RIGID INSULATION
	CUT STONE		SPRAY FOAM INSULATION
	STEEL		WALL - NEW CONSTRUCTION
	ALUMINUM		WALL - EXISTING TO REMAIN
			WALL - TO BE DEMOLISHED

PROJECT TEAM

OWNER:	200 N. Main, LLC Kenny and Kristina Dudunakis 2637 134th Avenue NE, Seattle, Washington 98005 (206) 521-7216 Kenny.Dudunakis@berkadia.com	LANDSCAPE DESIGNER:	Ash Boand Consulting+Design Ashley Boand PO Box 5136 Ketchum, Idaho 83340 (208) 720-2089 ash@ashboand.com
ARCHITECT:	Michael Doty Associates, Architects, PC Mike Doty PO Box 2792 371 Washington Avenue North Ketchum, Idaho 83340 (208) 726-4228 mike@mda-arc.com	CIVIL ENGINEER:	Galena-Benchmark Engineering Matt Smiltman P.O. Box 733 Ketchum, Idaho 83340 (208) 726-9512 matt@galena-engineering.com
GENERAL CONTRACTOR:		LIGHTING DESIGNER:	LightPlan Lindsey Arvan 159 Western Avenue W, Suite 480 Seattle, Washington 98119 (208) 709-8123 lindsey@lightplannw.com
STRUCTURAL ENGINEER:	KPFF Structural Engineers Judson Williams 412 E Parkcenter Blvd 83706 Boise, Idaho 83706 (208) 336-6985 Judson.williams@kpff.com		

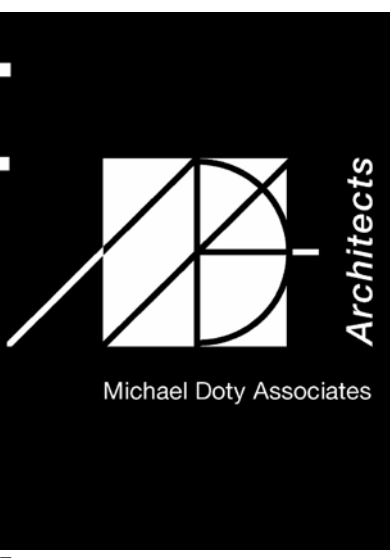
PROJECT DATA

PARCEL NUMBER:	RPK0000003001A
STREET ADDRESS:	200 NORTH MAIN STREET KETCHUM, IDAHO 83340
LEGAL DESCRIPTION:	LOT 1, BLK 3 KETCHUM TOWNSITE, KETCHUM, IDAHO
ZONING:	CC-1 COMMUNITY CORE, RETAIL
CONSTRUCTION TYPE:	TYPE V-B
OCCUPANCY:	RESIDENTIAL GROUP R-2 BUSINESS GROUP B STORAGE GROUP S-2 ASSEMBLY GROUP A-3
BUILDING AREA (GROSS):	TOTAL: 12,405 SF
FIRE SPRINKLER SYSTEM:	NFPA 13 THROUGHOUT
SITE AREA:	±5503 SF (0.126) ACRES
CODES:	2018 INTERNATIONAL BUILDING CODE (2018 IBC) AS ADOPTED BY CITY OF KETCHUM BUILDING DEPT.
JURISDICTIONS:	CITY OF KETCHUM PLANNING & ZONING CITY OF KETCHUM BUILDING DEPARTMENT CITY OF KETCHUM FIRE DEPARTMENT

200 NORTH MAIN

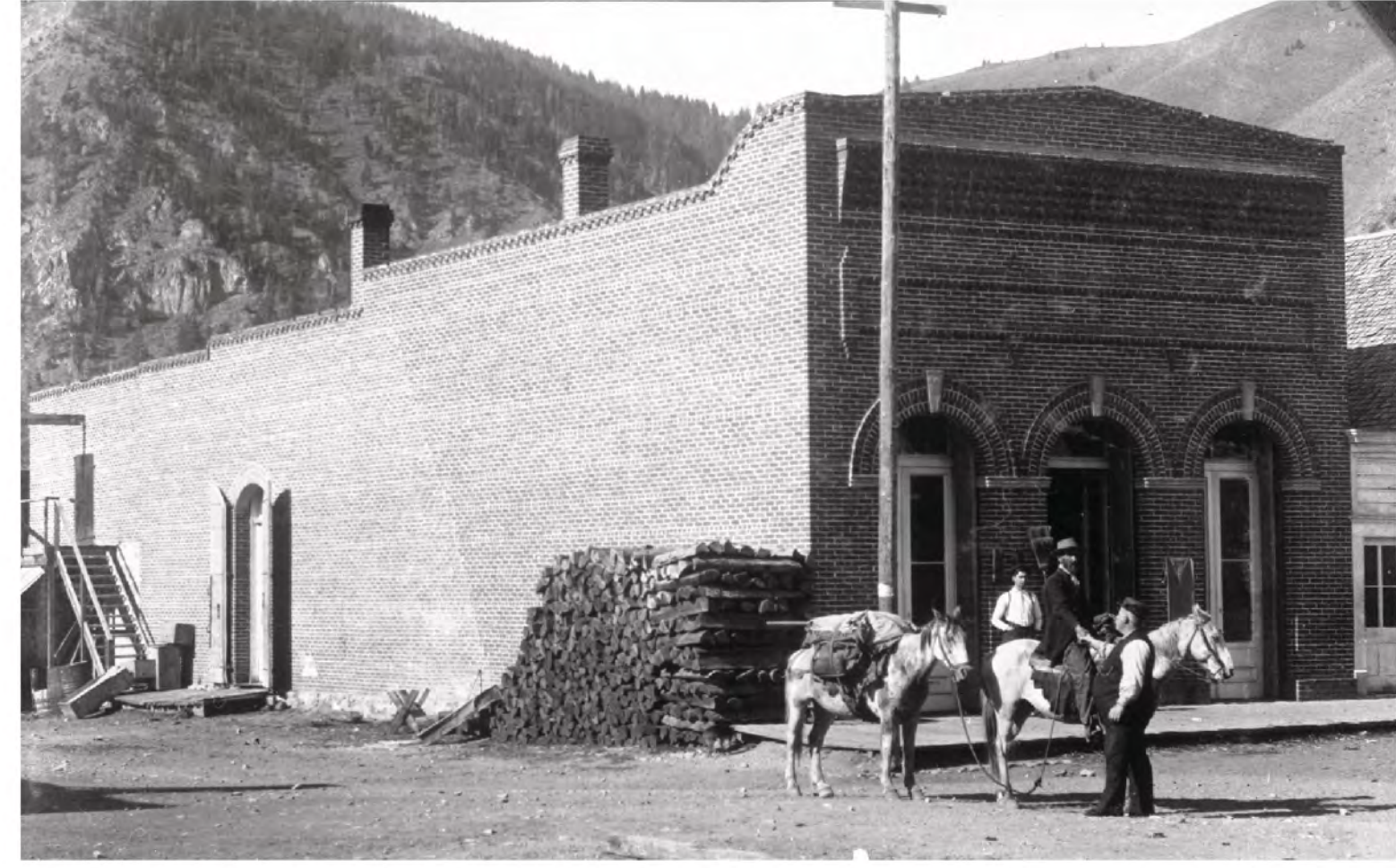
200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024



Michael Doty Associates, Architects PC

PROJECT INSPIRATION AND CONTEXT: HISTORIC KETCHUM



LEWIS LEMON/POST OFFICE/GOLDEN RULE/GRIFFITH BUILDING—CURRENTLY SUN VALLEY CULINARY INSTITUTE—AT MAIN AND SECOND STREETS, LATE 19TH CENTURY.



SALOON AT MAIN AND SECOND STREETS, LATE 19TH CENTURY.



VIEW OF MAIN STREET, LOOKING SOUTH, LATE 19TH CENTURY. IT LOOKS LIKE THE GRIFFITH BUILDING IS AT THE CENTER LEFT OF THE PHOTO, WHICH WOULD PLACE THE PHOTOGRAPHER OUTSIDE OF THE LANE MERCANTILE BUILDING.



MAIN STREET, BLOCK BETWEEN SUN VALLEY ROAD AND SECOND STREET, CIRCA LATE 1950S.



SALOON, KETCHUM, LATE 19TH CENTURY.



FIRST NATIONAL BANK BUILDING—CURRENTLY ROCKY MOUNTAIN HARDWARE—ALONG MAIN STREET, BETWEEN FIRST AND SECOND STREETS, KETCHUM, LATE 19TH CENTURY.



MAIN STREET, LOOKING NORTH, MID-1930S.



MAIN STREET, LOOKING NORTH, CIRCA 1970S.



LANE MERCANTILE BUILDING AT MAIN STREET AND SUN VALLEY ROAD CIRCA MID-20TH CENTURY.

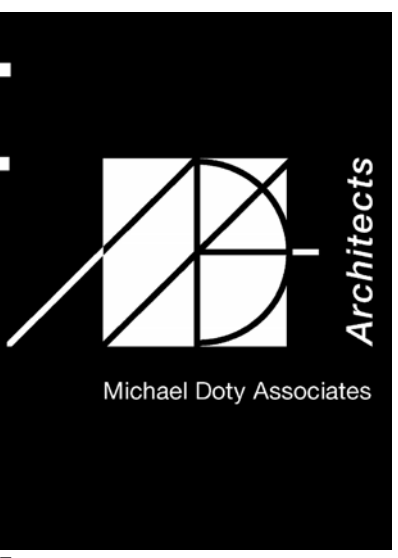


VIEW FROM MAIN AND SECOND STREET INTERSECTION TOWARD WARM SPRINGS, CIRCA 1930S.

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024



Michael Doty Associates, Architects PC



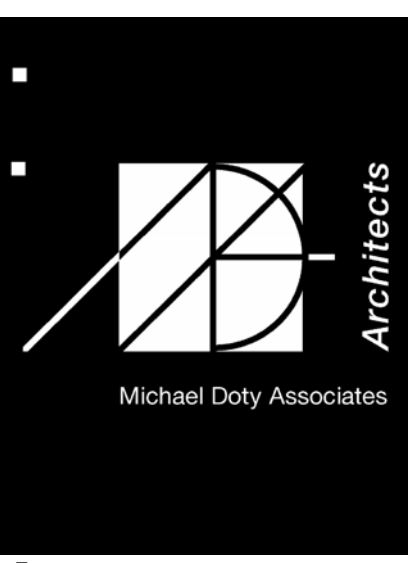
VICINITY MAP

SCALE: 1" = 100'-0"

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024



200 N. MAIN STREET

KETCHUM, IDAHO

MAY 2023

CONSTRUCTION NOTES

- ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE "IDAHO REGULATIONS FOR PUBLIC DRINKING WATER SYSTEMS," THE CURRENT EDITION OF THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISPMC), AND CITY OF KETCHUM STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ISPMC ON SITE DURING CONSTRUCTION.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES PRIOR TO COMMENCING AND DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL CALL DIGLINE (1-800-342-1585) TO LOCATE ALL EXISTING UNDERGROUND UTILITIES.
- THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION, INCLUDING BUT NOT LIMITED TO, EPA'S NPDES CONSTRUCTION GENERAL PERMIT.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION.
- CONSTRUCTION OF WATER MAINS AND ALL OTHER RELATED APPURTENANCES SHALL BE IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPMC), IDAPA 58.01.08, IDAHO RULES FOR PUBLIC DRINKING WATER SYSTEMS AND THE CITY OF KETCHUM UTILITIES DEPARTMENT STANDARDS.
- CONTRACTOR SHALL PRESSURE TEST, DISINFECT, AND CONDUCT BIOLOGICAL TESTING IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPMC), AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS, AND THE PRESSURE TESTING, DISINFECTION, AND MICROBIOLOGICAL TESTING PROCEDURES.
- ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL BE ANSISNF STD. 61 COMPLIANT.
- ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL COMPLY WITH THE LOW LEAD ACT REQUIRING ALL MATERIALS TO HAVE A LEAD CONTENT EQUAL TO OR LESS THAN 0.25%.
- THE CONTRACTOR SHALL USE ANSISNF STANDARD 60 CHEMICALS AND COMPOUNDS DURING INSTALLATION & DISINFECTION OF POTABLE WATER MAIN.
- CONTRACTOR SHALL COORDINATE LOCATIONS OF DRY UTILITY FACILITIES (POWER, CABLE, PHONE, TV) NOT SHOWN ON THE DRAWING WITH IDAHO POWER.
- ALL CLEARING & GRUBBING SHALL CONFORM TO ISPMC SECTION 201.
- ALL EXCAVATION & EMBANKMENT SHALL CONFORM TO ISPMC SECTION 202. EXCAVATED SUBGRADE SHALL BE COMPACTED AND ALL UNSUITABLE SECTIONS REMOVED AND REPLACED WITH STRUCTURAL FILL AS DETERMINED BY THE ENGINEER. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
- ALL 2" MINUS GRAVEL SHALL CONFORM TO ISPMC 802, TYPE II (ITD STANDARD 703.04, 2"), SHALL BE PLACED IN CONFORMANCE WITH ISPMC SECTION 801 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99.
- ALL 3/4" MINUS CRUSHED GRAVEL SHALL CONFORM TO ISPMC 802, TYPE I (ITD STANDARD 703.04, 3/4" B), SHALL BE PLACED IN CONFORMANCE WITH ISPMC SECTION 802 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
- ALL ASPHALTIC CONCRETE PAVEMENT WORK SHALL CONFORM TO ISPMC SECTION(S) 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (13MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPMC SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPMC SECTION 805.
- ALL EDGES OF EXISTING ASPHALT PAVING SHALL BE SAW CUT 24" TO PROVIDE A CLEAN PAVEMENT EDGE FOR MATCHING. NO WHEEL CUTTING SHALL BE ALLOWED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL PER THE CURRENT EDITION OF THE US DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL CONCRETE FORM WORK SHALL CONFORM TO ISPMC SECTION 701 AND 703. ALL CONCRETE SHALL BE 3,000 PSI MINIMUM, 28 DAY, AS DEFINED IN ISPMC SECTION 703, TABLE 1.C.
- ALL TRENCHING SHALL CONFORM TO ISPMC STANDARD DRAWING SD-301. TRENCHES SHALL BE BACKFILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
- TOPOGRAPHIC, SITE, AND BOUNDARY SURVEYS SHOWN HEREON WERE CONDUCTED BY GALENA ENGINEERING, INC., 10/21/2021. REFER TO TOPOGRAPHIC MAP FOR NOTES.
- PER IDAHO CODE § 55-1613, THE CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS; ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS THAT ARE LOST OR DISTURBED BY CONSTRUCTION SHALL BE REESTABLISHED AND RE-MONUMENTED, AT THE EXPENSE OF THE AGENCY OR PERSON CAUSING THEIR LOSS OR DISTURBANCE AT THEIR ORIGINAL LOCATION OR BY SETTING OF A WITNESS CORNER OR REFERENCE POINT OR A REPLACEMENT BENCHMARK OR CONTROL POINT, BY OR UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR.



VICINITY MAP
N.T.S.

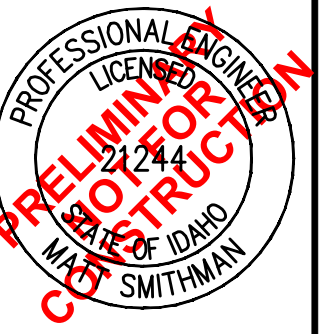
SHEET INDEX

SHEET#	DESCRIPTION
C0.10	COVER SHEET
C0.20	EXISTING SITE CONDITIONS
C1.00-C1.02	DETAIL SHEETS
C1.10	DEMOLITION AND SITE GEOMETRY
C1.20	SITE GRADING, DRAINAGE, AND UTILITY PLAN

SITE IMPROVEMENT PLAN 200 N. MAIN STREET

LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR 200 N. MAIN LLC, KENNY & KRISTINA DUDUNAKIS

PROJECT INFORMATION
G:\BANK\Ketchum\wlg\projbook\23\18276 - 200 N Main\dwg\Construction\0276 Civil\2023-04-17.dwg 09/05/23 11:55:59 AM



DESIGNED BY: CT
DRAWN BY: CT
CHECKED BY: MS

GALENA-BENCHMARK ENGINEERING
Civil Engineers & Land Surveyors
100 Bell Drive
P.O. Box 733
Ketchum, Idaho 83340
(208) 726-9512
www.benchmark-associates.com

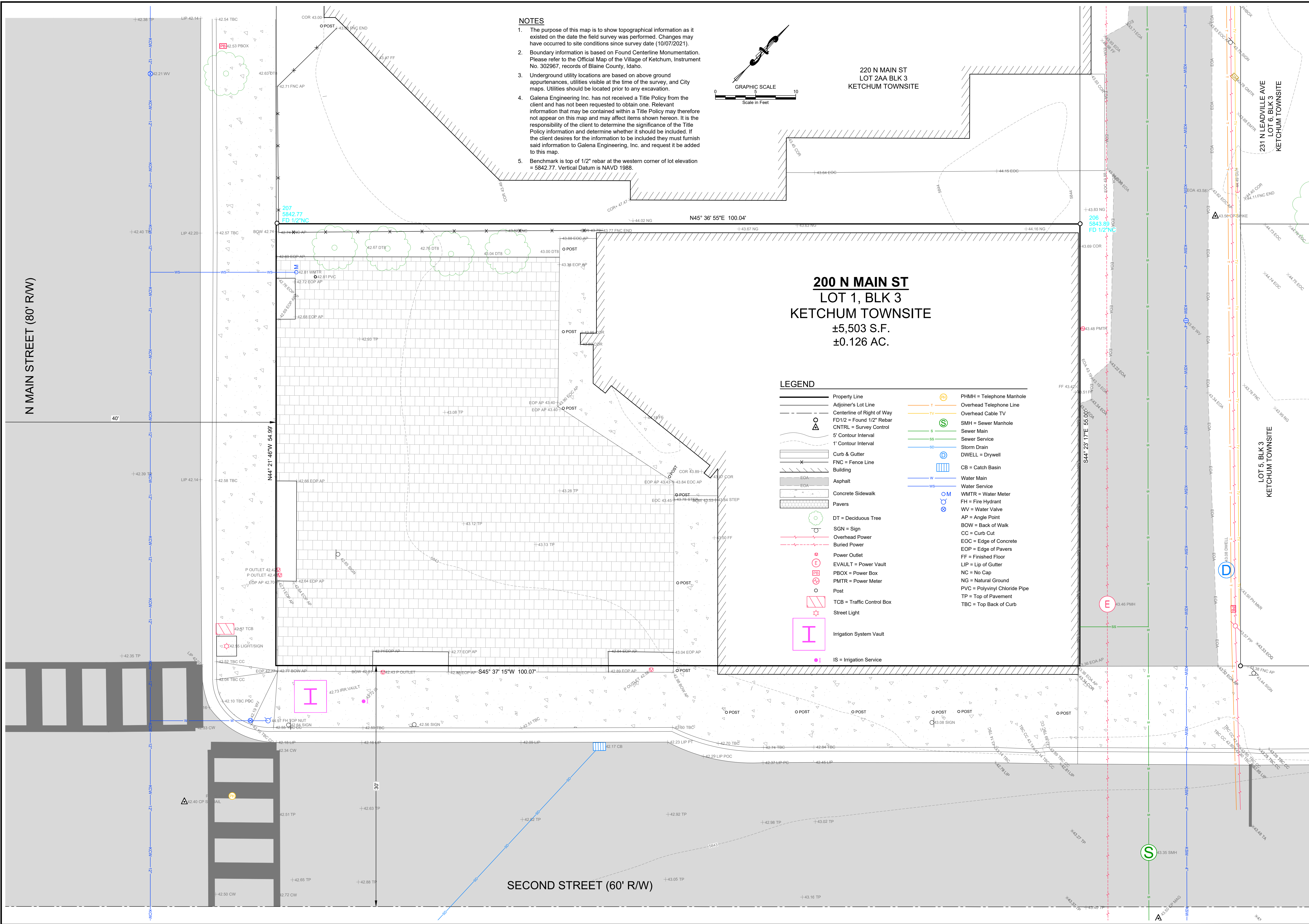
PURPOSE: ISSUE FOR DESIGN REVIEW (2023-09-19)

NO. DATE BY REVISIONS

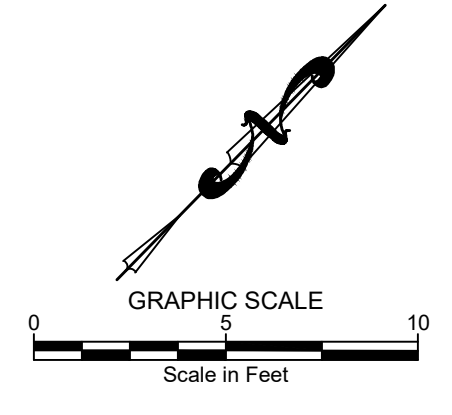
C0.10

REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any project or extension of this Project except by agreement in writing with Galena Engineering, Inc.

N MAIN STREET (80' R/W)



- NOTES**
1. The purpose of this map is to show topographical information as it existed on the date the field survey was performed. Changes may have occurred to site conditions since survey date (10/07/2021).
 2. Boundary information is based on Found Centerline Monumentation. Please refer to the Official Map of the Village of Ketchum, Instrument No. 302967, records of Blaine County, Idaho.
 3. Underground utility locations are based on above ground appearances, utilities visible at the time of the survey, and City maps. Utilities should be located prior to any excavation.
 4. Galena Engineering Inc. has not received a Title Policy from the client and has not been requested to obtain one. Relevant information that may be contained within a Title Policy may therefore not appear on this map and may affect items shown hereon. It is the responsibility of the client to determine the significance of the Title Policy information and determine whether it should be included. If the client desires for the information to be included they must furnish said information to Galena Engineering, Inc. and request it be added to this map.
 5. Benchmark is top of 1/2" rebar at the western corner of lot elevation = 5842.77. Vertical Datum is NAVD 1988.



LEGEND

- Property Line
- Adjoiner's Lot Line
- Centerline of Right of Way
- FD1/2 = Found 1/2" Rebar
- CNTRL = Survey Control
- 5' Contour Interval
- 1' Contour Interval
- Curb & Gutter
- FNC = Fence Line
- Building
- Asphalt
- Concrete Sidewalk
- Pavers
- DT = Deciduous Tree
- SGN = Sign
- Overhead Power
- Buried Power
- Power Outlet
- EVAULT = Power Vault
- PBOX = Power Box
- PMTR = Power Meter
- Post
- TCB = Traffic Control Box
- Street Light
- Irrigation System Vault
- IS = Irrigation Service
- PHMH = Telephone Manhole
- Overhead Telephone Line
- Overhead Cable TV
- SMH = Sewer Manhole
- Sewer Service
- Storm Drain
- DWELL = Drywell
- CB = Catch Basin
- Water Main
- Water Service
- WMTR = Water Meter
- FH = Fire Hydrant
- WV = Water Valve
- AP = Angle Point
- BOW = Back of Walk
- CC = Curb Cut
- ECC = Edge of Concrete
- EOP = Edge of Pavers
- FF = Finished Floor
- LIP = Lip of Gutter
- NC = No Cap
- NG = Natural Ground
- PVC = Polyvinyl Chloride Pipe
- TP = Top of Pavement
- TBC = Top Back of Curb

220 N MAIN ST
LOT 2AA BLK 3
KETCHUM TOWNSITE

200 N MAIN ST
LOT 1, BLK 3
KETCHUM TOWNSITE
±5,503 S.F.
±0.126 AC.

LOT 5, BLK 3
KETCHUM TOWNSITE

A TOPOGRAPHIC MAP SHOWING
200 N MAIN ST, LOT 1, BLOCK 3, KETCHUM TOWNSITE
LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M. CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR 200 N MAIN, LLC



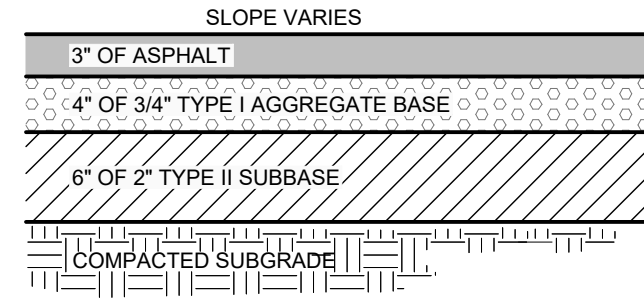
DESIGNED BY
IDV
DRAWN BY
SMF/MEP
CHECKED BY

GALENA
ENGINEERING, INC.
Civil Engineers & Land Surveyors
317 N. River Street
Hailey, Idaho 83433
(208) 768-1705
email: galena@galena-engineering.com

PURPOSE: _____

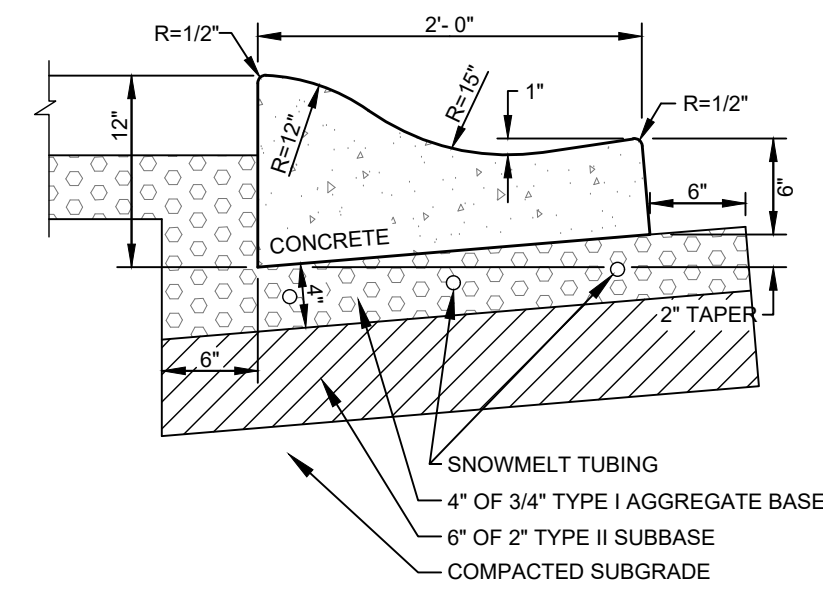
NO.	DATE	BY	REVISIONS

C0.20



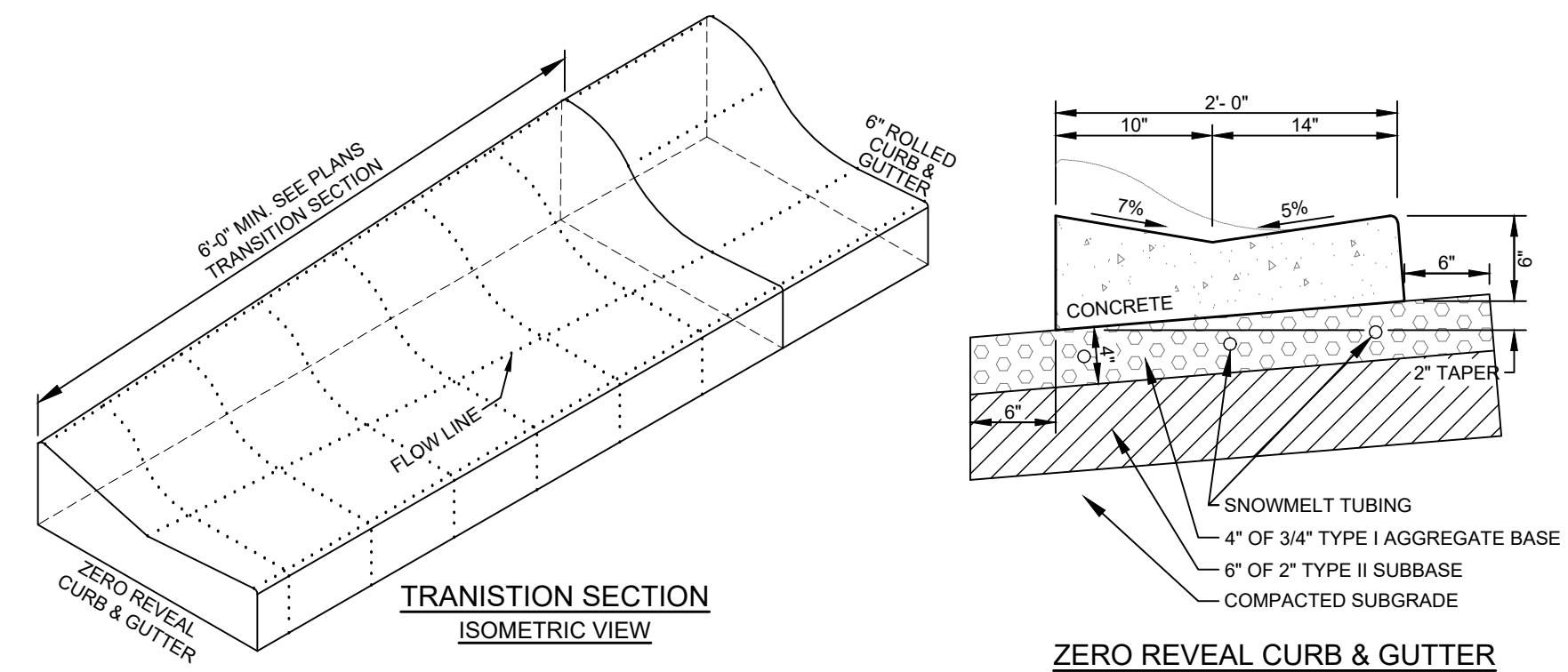
- NOTES:**
- SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
 - MATERIALS SHALL CONFORM WITH CURRENT ISWPC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.

1
C1.00 **TYPICAL ASPHALT SECTION**
N.T.S.



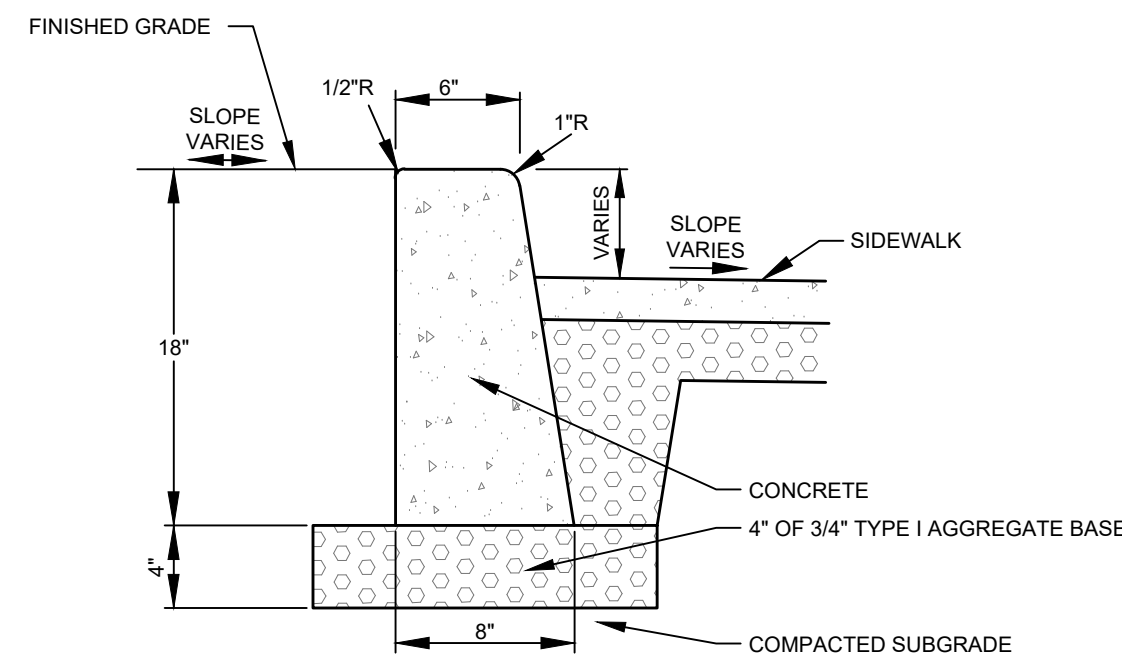
- NOTES:**
- SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
 - MATERIALS SHALL CONFORM WITH CURRENT ISWPC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
 - 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADI.
 - CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FOOT MAXIMUM SPACING (8-FOOT WISIDEWALK).
 - SEE MECHANICAL DRAWINGS FOR FINAL SNOWMELT SYSTEM LAYOUT.

2
C1.00 **HEATED 6" CONCRETE ROLLED CURB & GUTTER**
N.T.S.



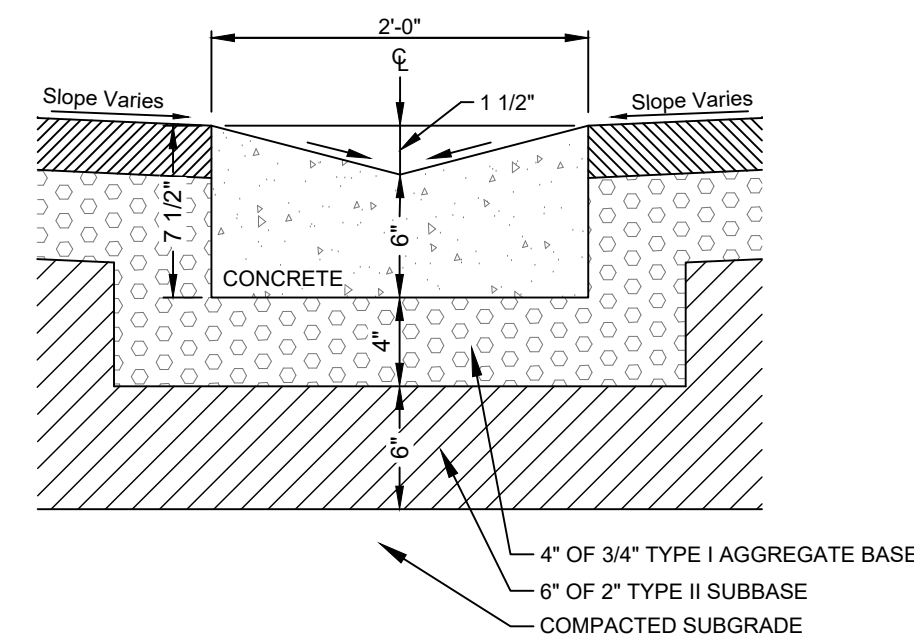
- NOTES:**
- SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
 - MATERIALS SHALL CONFORM WITH CURRENT ISWPC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
 - 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADI.
 - CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FOOT MAXIMUM SPACING (8-FOOT WISIDEWALK).
 - SEE MECHANICAL DRAWINGS FOR FINAL SNOWMELT SYSTEM LAYOUT.

3
C1.00 **TYPICAL HEATED ROLLED CURB TRANSITION DETAIL**
N.T.S.



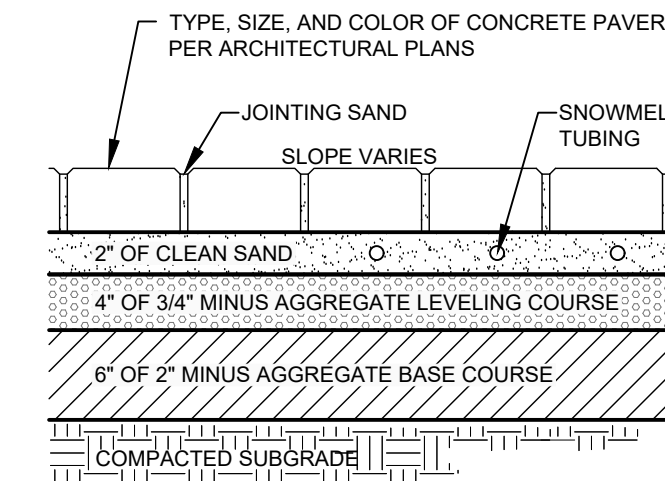
- NOTES:**
- SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
 - MATERIALS SHALL CONFORM WITH CURRENT ISWPC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
 - 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADI.
 - CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FOOT MAXIMUM SPACING (8-FOOT WISIDEWALK).

4
C1.00 **CONCRETE VERTICAL CURB**
N.T.S.

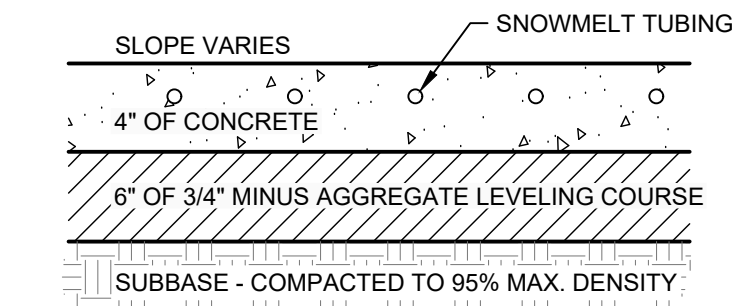


- NOTES:**
- SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
 - MATERIALS SHALL CONFORM WITH CURRENT ISWPC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
 - 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADI.
 - CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FOOT MAXIMUM SPACING (8-FOOT WISIDEWALK).

5
C1.00 **24" WIDE CONCRETE VALLEY GUTTER**
N.T.S.

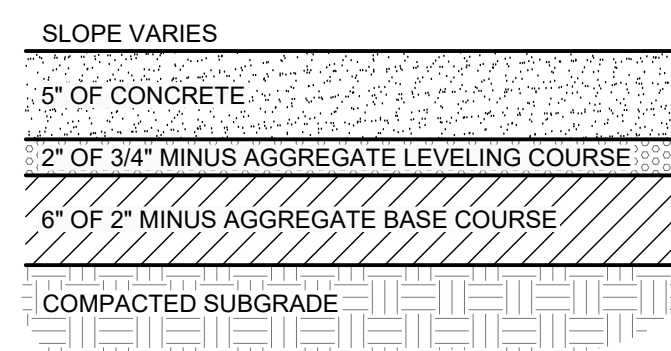


6
C1.00 **HEATED PAVER DETAIL**
N.T.S.



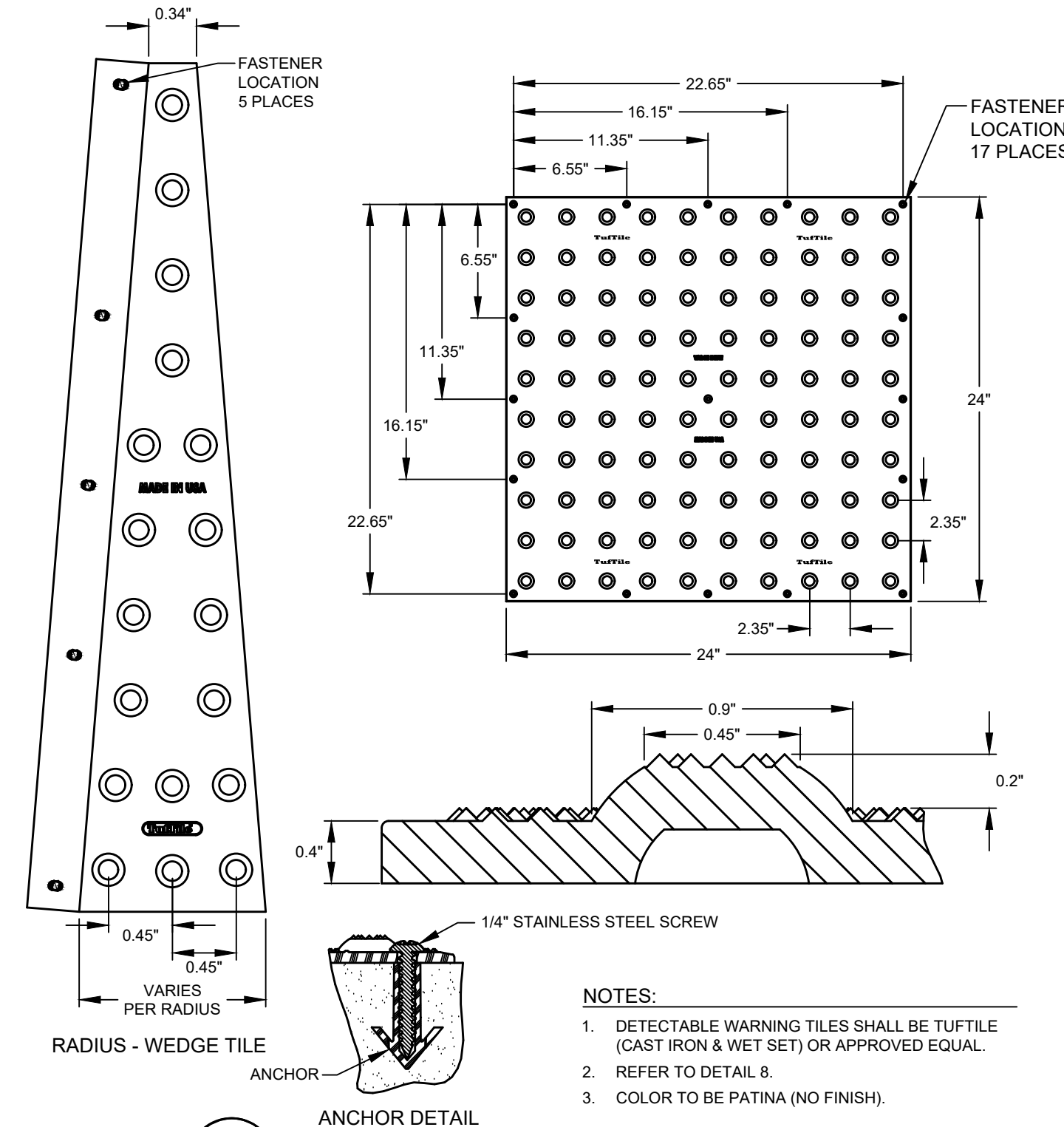
- NOTES:**
- 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADI.
 - CONTINUOUS PLACEMENT PREFERRED, SCORE AT INTERVALS TO MATCH WIDTH OF WALK NOT TO EXCEED 5 FEET SPACING.
 - 1/2" TRANSVERSE PREFORMED BITUMINOUS JOINTS AT THE TERMINUS POINTS FOR CURVE AND WHERE SIDEWALK IS PLACED BETWEEN TWO PERMANENT FOUNDATIONS.
 - MATERIALS AND CONSTRUCTION IN COMPLIANCE WITH ISWPC SPECIFICATIONS.
 - SEE MECHANICAL DRAWINGS FOR FINAL SNOWMELT SYSTEM LAYOUT.

7
C1.00 **TYPICAL CONCRETE SECTION #1 (HEATED)**
N.T.S.



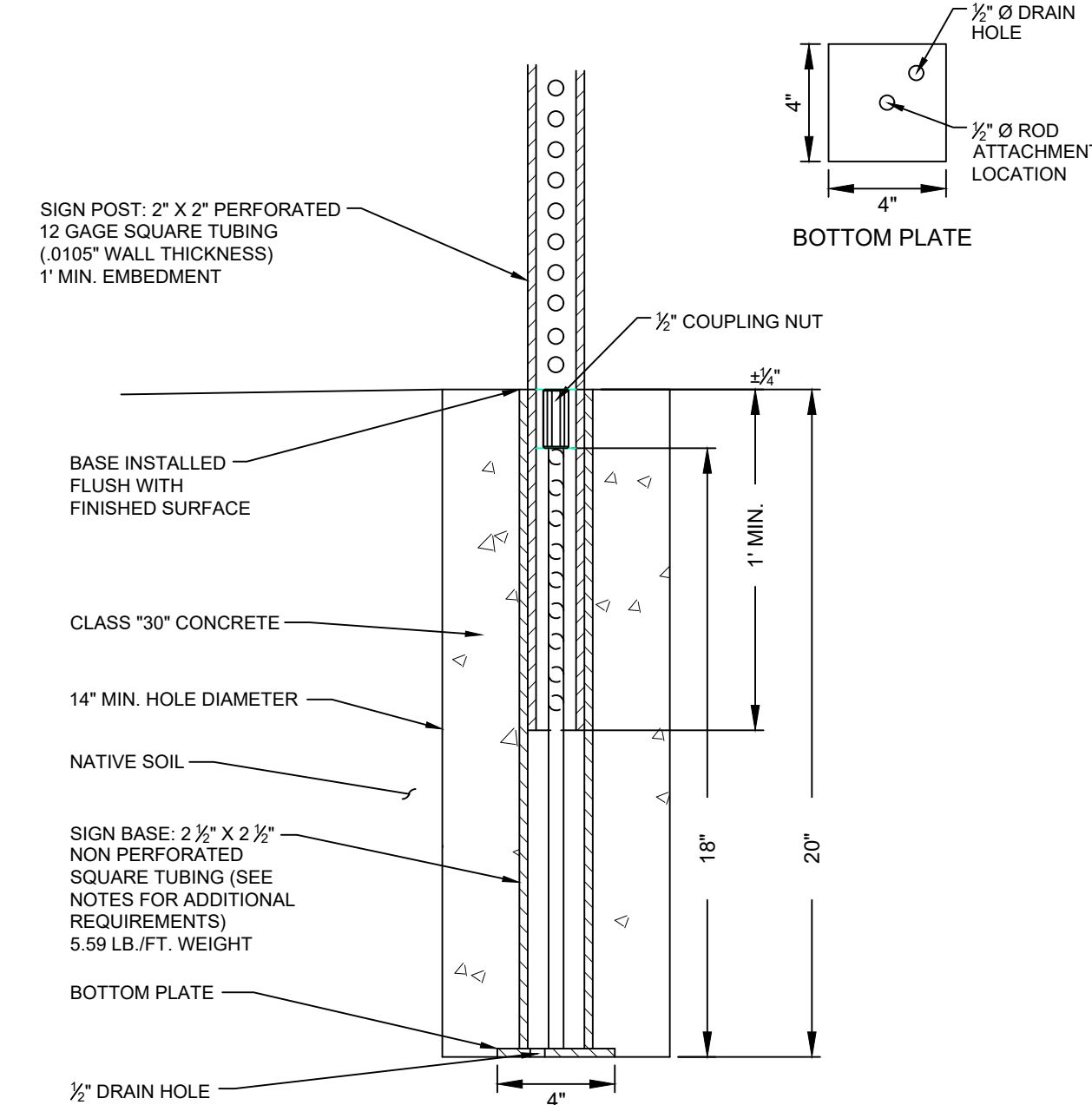
- NOTES:**
- INSTALL SCORE JOINTS AT INTERVALS TO MATCH WIDTH OF WALK NOT TO EXCEED 5 FEET SPACING IN BOTH THE LONGITUDINAL AND TRANSVERSE DIRECTION FOR SIDEWALK GREATER THAN 5 FEET IN WIDTH. INSTALL EXPANSION JOINTS EVERY 10 FEET IN LONGITUDINAL DIRECTION.
 - 1/2" TRANSVERSE PREFORMED BITUMINOUS JOINTS AT THE TERMINUS POINTS FOR CURVE AND WHERE SIDEWALK IS PLACED BETWEEN TWO PERMANENT FOUNDATIONS OR ADJACENT TO THE STRUCTURE, PLACE 1/2" EXPANSION JOINT MATERIAL ALONG THE BACK OF WALK THE FULL LENGTH.
 - SIDEWALK CONSTRUCTION JOINTS SHALL BE CONSTRUCTED APPROXIMATELY 3/8" WIDE, 3/8" IN DEPTH AND FINISHED AND EDGED SMOOTH. A PREFORMED EXPANSION JOINT FILLER SHALL BE PLACED EVERY 40' FOR NEW SIDEWALK CONSTRUCTION.
 - WHEN TRANSITIONING NEW SIDEWALK TO EXISTING, A MINIMUM 5' TRANSITIONAL PANEL SHALL BE SEPARATED AND ISOLATED WITH EXPANSION MATERIAL.
 - SIDEWALK ALIGNMENT TRANSITIONS SHALL HAVE A MINIMUM RADIUS OF 30' TO THE BACK OF CURB.
 - MATERIALS SHALL CONFORM WITH CURRENT ISWPC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 - CONCRETE THICKNESS PER THIS DETAIL OR MATCH EXISTING, WHICHEVER IS GREATER.

8
C1.00 **TYPICAL CONCRETE SECTION #2**
N.T.S.



- NOTES:**
- DETECTABLE WARNING TILES SHALL BE TUFTLE (CAST IRON & WET SET) OR APPROVED EQUAL.
 - REFER TO DETAIL 8.
 - COLOR TO BE PATINA (NO FINISH).

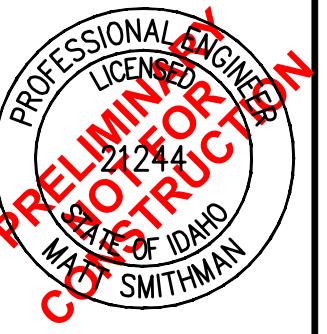
9
C1.00 **DETECTABLE WARNING TILE**
N.T.S.



- NOTES:**
- BASES SHALL BE INSTALLED TO BE FLUSH WITH SURFACE.
 - ALL INSTALLATIONS SHALL HAVE 14" Ø MINIMUM FOUNDATION OR GROUTED INTO SOLID ROCK.
 - ALL STREET SIGNS SHALL BE IN ACCORDANCE WITH THE MOST CURRENT EDITION OF THE MUTCD.
 - SIGN PLACEMENT SHALL BE APPROVED BY THE CITY OF KETCHUM.
 - CITY TO PROVIDE BASES.

SIGN BASE MATERIAL & DIMENSION REQUIREMENTS	
2 1/2" OUTSIDE TUBE STEEL (20" LENGTH)	
2 1/2" INSIDE TUBE STEEL	
3/8" THICK	
INTERNAL ROD MATERIAL & DIMENSION REQUIREMENTS	
1/2" COLD ROLLED ROD (18" LENGTH)	
1/2" COUPLING NUTS	
BOTTOM PLATE MATERIAL & DIMENSION REQUIREMENTS	
4" X 4" X 1/2" STEEL STRAP	

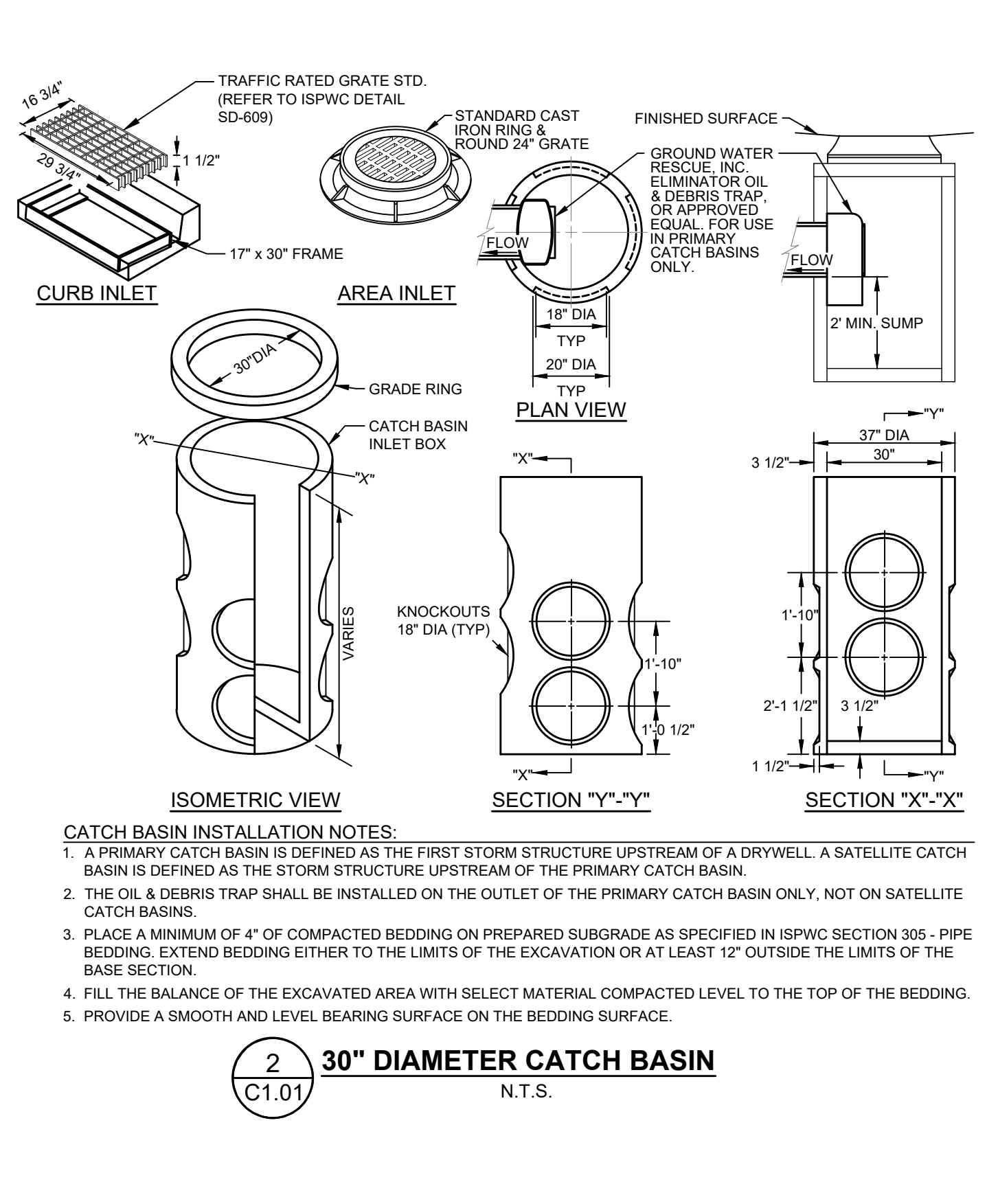
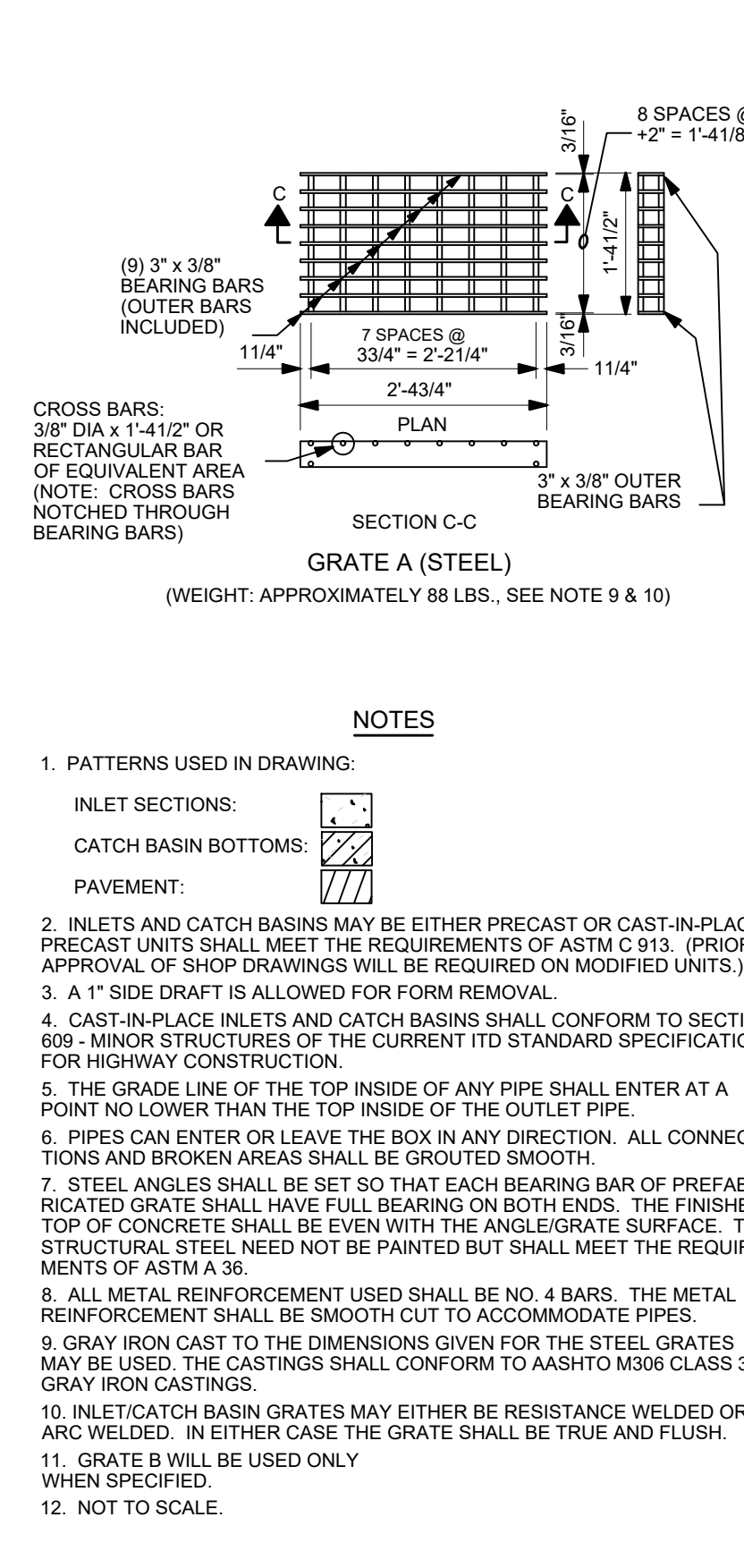
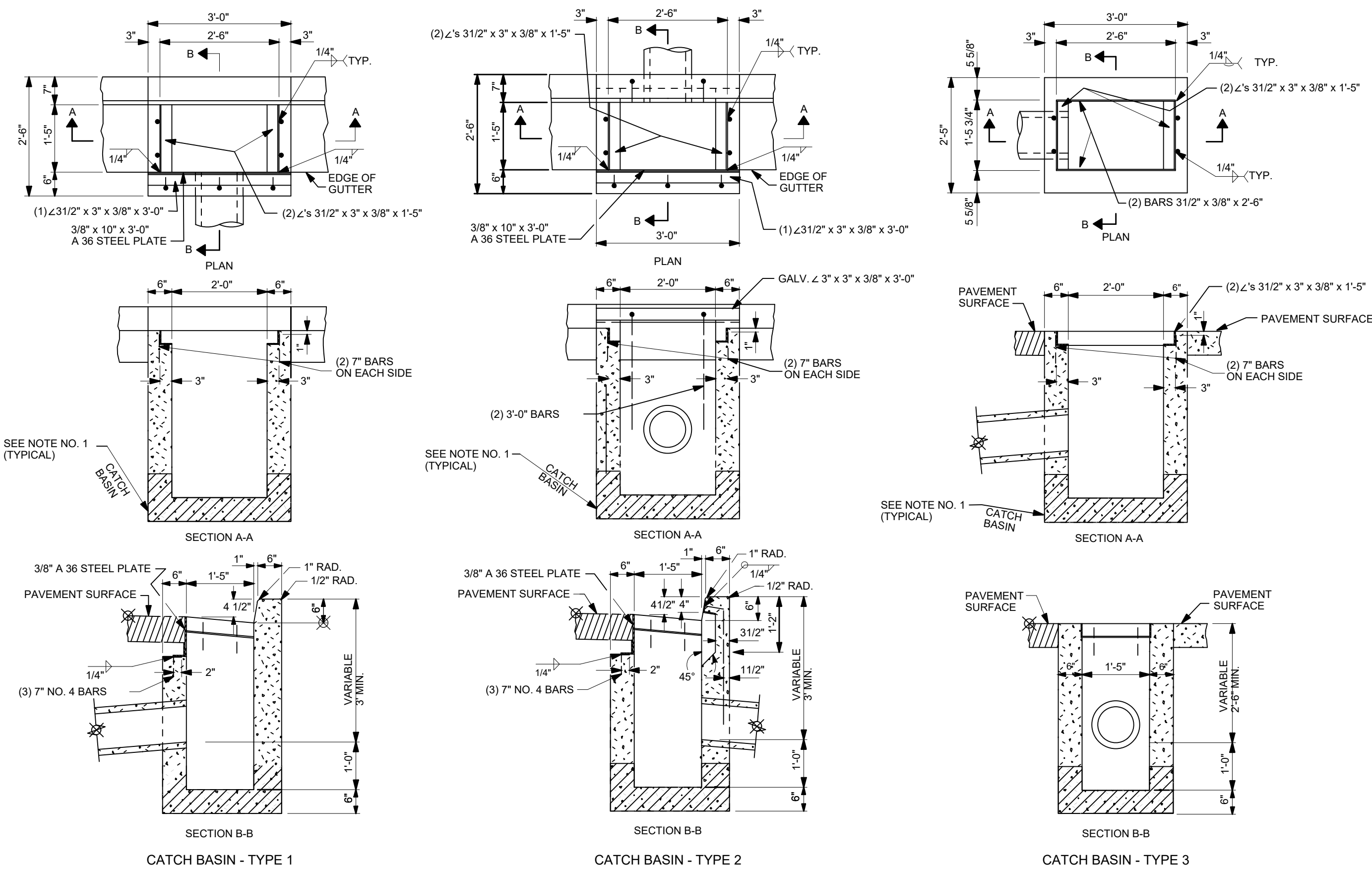
10
C1.00 **TYPICAL SIGN BASE**
N.T.S.



DESIGNED BY: CT
 DRAWN BY: CT
 CHECKED BY: MS

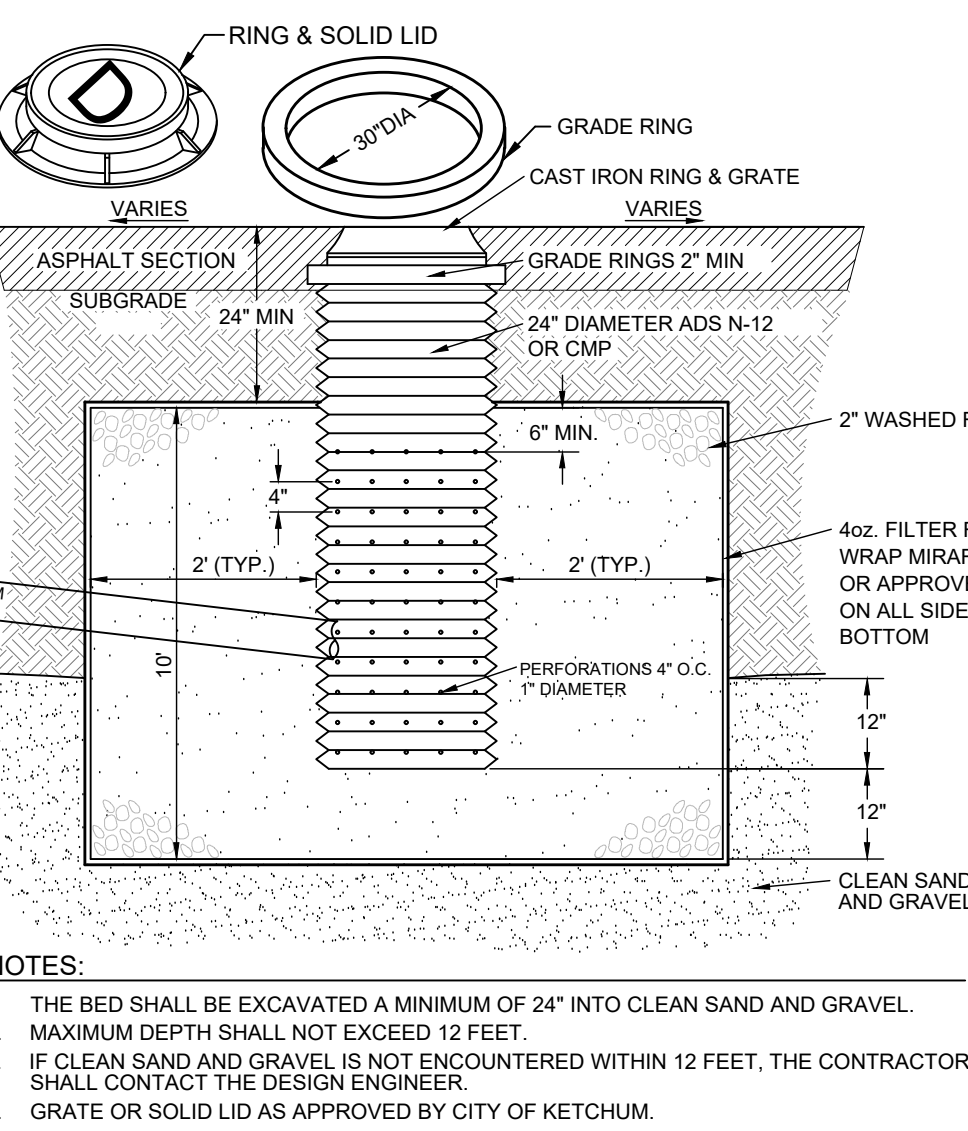
GALENA-BENCHMARK ENGINEERING
 Civil Engineers & Land Surveyors
 100 Bell Drive
 P.O. Box 133
 Ketchum, Idaho 83340
 (208) 726-9512
 www.benchmark-associates.com

NO.	DATE	BY	REVISIONS

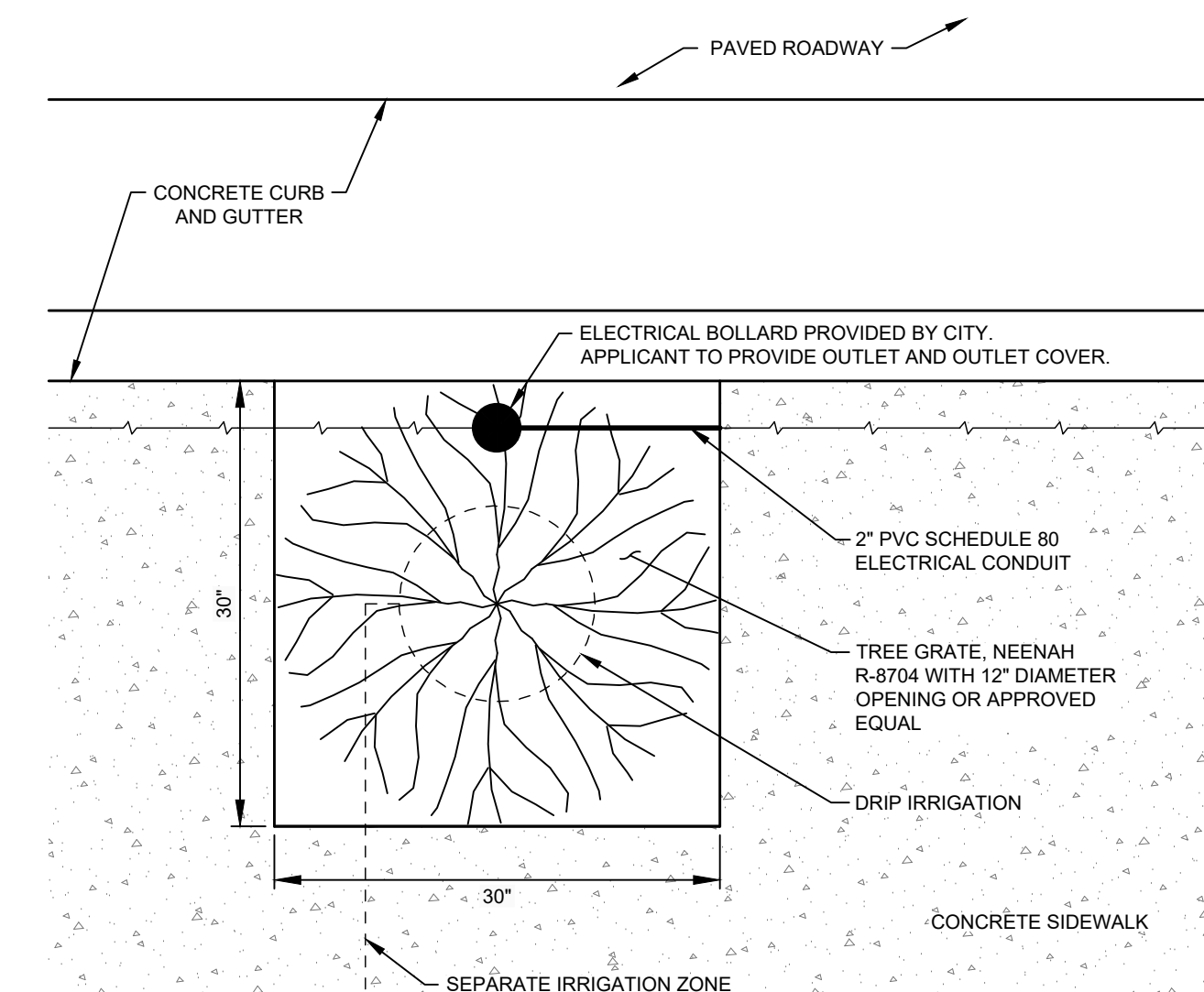


- NOTES**
- PATTERNS USED IN DRAWING:
INLET SECTIONS:
CATCH BASIN BOTTOMS:
PAVEMENT:
 - INLETS AND CATCH BASINS MAY BE EITHER PRECAST OR CAST-IN-PLACE. PRECAST UNITS SHALL MEET THE REQUIREMENTS OF ASTM C 913. (PRIOR APPROVAL OF SHOP DRAWINGS WILL BE REQUIRED ON MODIFIED UNITS.)
 - A 1\"/>

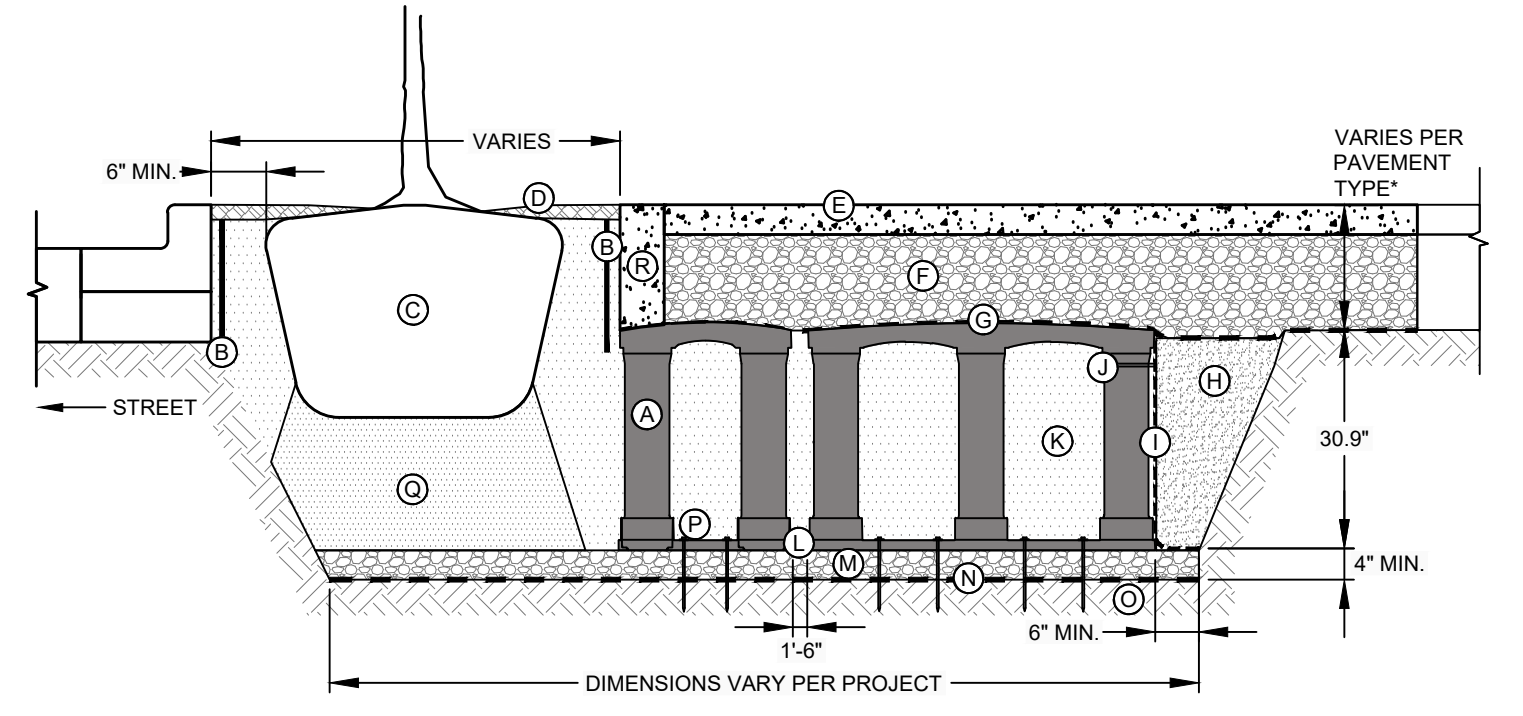
IDAHO DEPARTMENT OF TRANSPORTATION
CATCH BASINS TYPES 1, 2, & 3
STANDARD DRAWING NO. 605-20
 N.T.S.



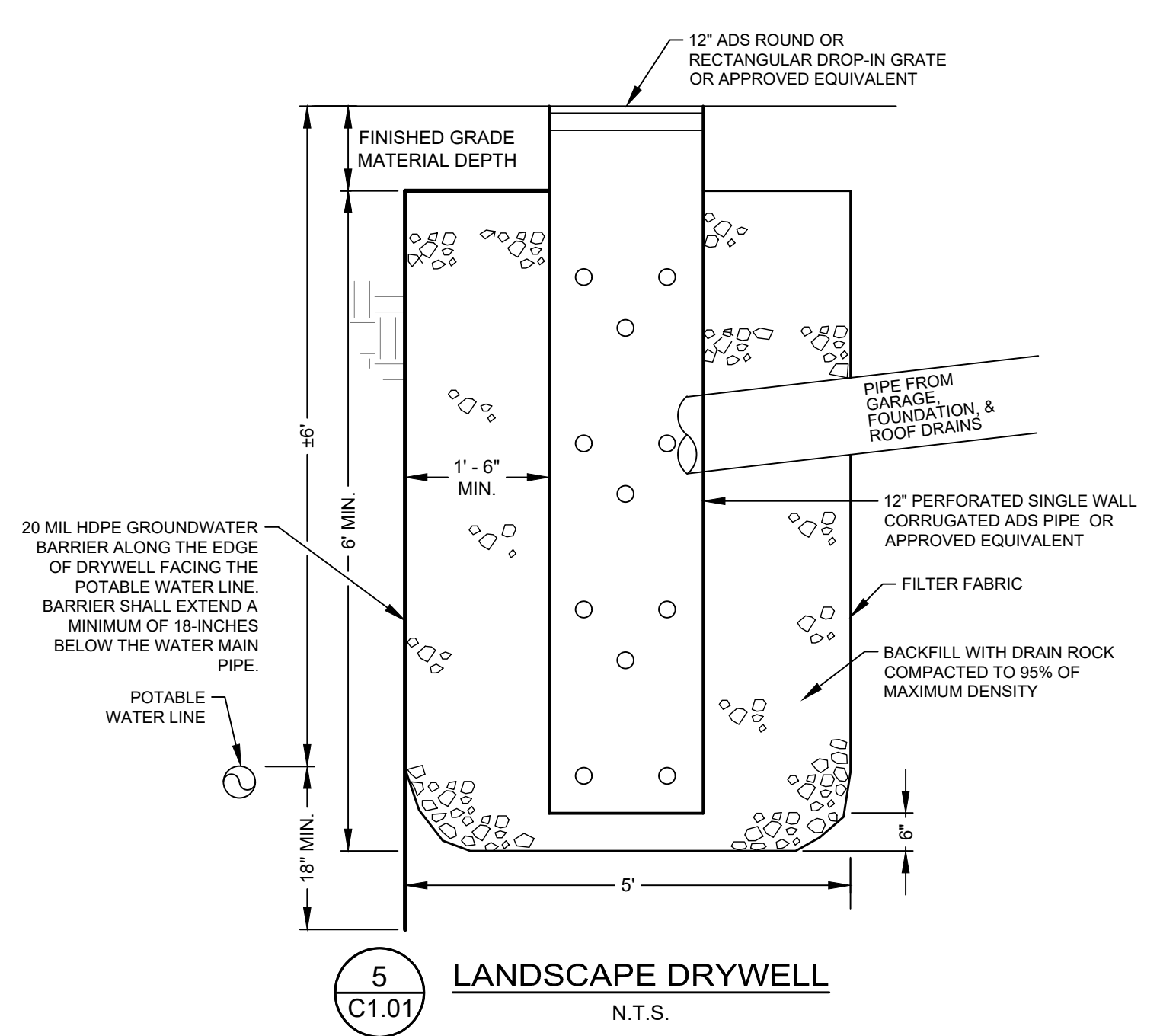
**3 DRYWELL DETAIL (6\"/>
 N.T.S.**



- NOTES:**
- TREE TO BE 3\"/>



- KEY PLAN:**
- A. SILVA CELL SYSTEM (DECK, BASE, AND POSTS) OR APPROVED EQUAL.
 - B. DEEPROOT ROOT BARRIER, 12\"/>
- MINIMUM PAVEMENT PROFILE OPTIONS TO MEET H-20 LOADING**
- | | |
|----------|-------------|
| PAVEMENT | BASE COURSE |
| 4\"/> | |
- NOTES:**
- EXCAVATION SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE HEALTH AND SAFETY REGULATIONS.
 - INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 - A PROJECT SPECIFIC DETAIL WILL NEED TO BE PROVIDED TO CITY FOR REVIEW AND APPROVAL.



5 LANDSCAPE DRYWELL
 N.T.S.

DETAIL SHEET
200 N. MAIN STREET
 LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
 PREPARED FOR 200 N MAIN LLC, KENNY & KRISTINA DUDUNAKIS

PROJECT INFORMATION
 15275 - 200 N Main Street Construction 02/24/2024-04-17.dwg 09/05/23 11:55:59 AM
 G:\BANK\Ketchum\15275\book 2\1.dwg

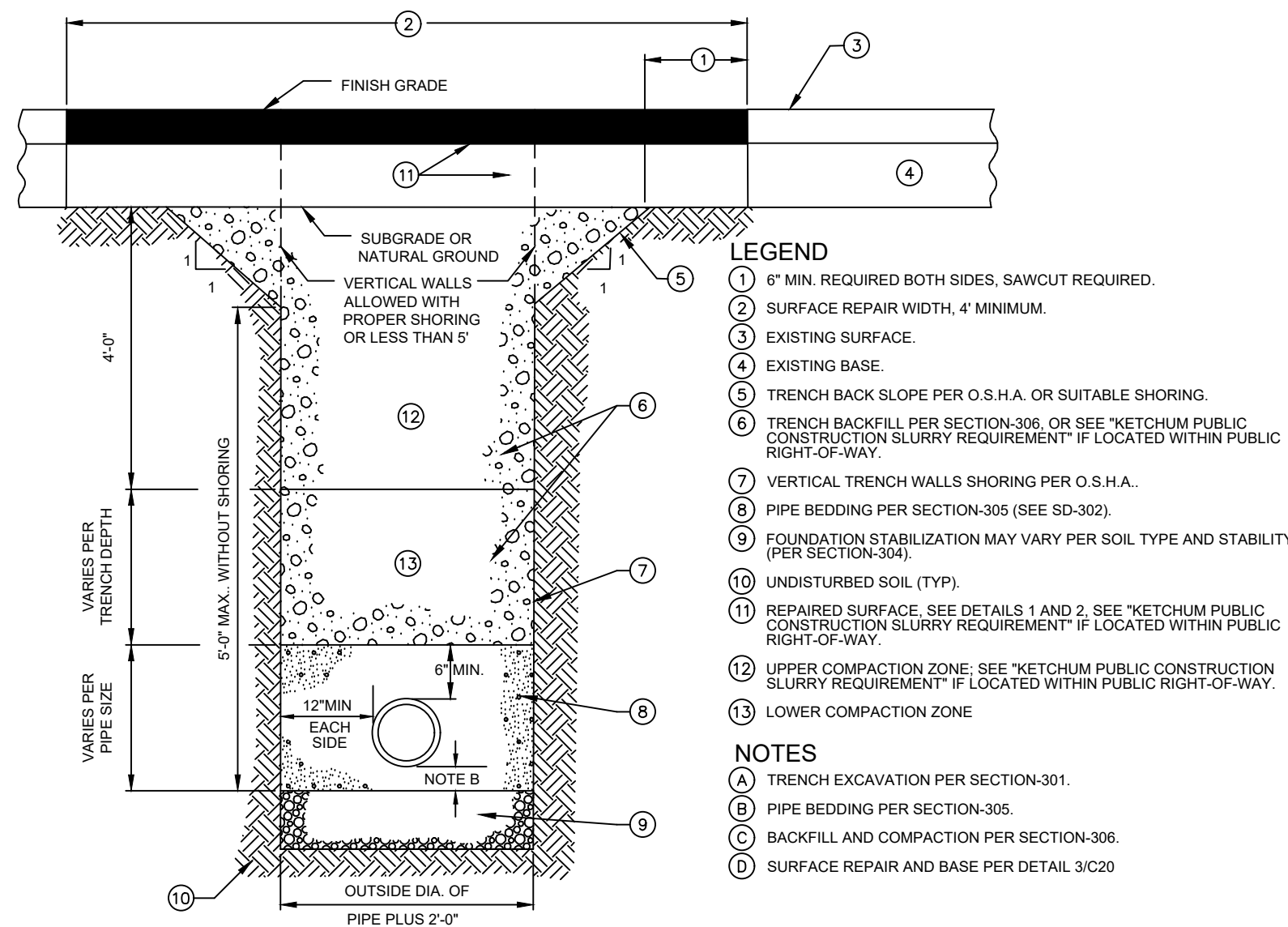
GALENA-BENCHMARK ENGINEERING
 Civil Engineers & Land Surveyors
 100 Bell Drive
 P.O. Box 33
 Ketchum, Idaho 83340
 (208) 726-9512
 www.benchmark-associates.com

DESIGNED BY: CT
 DRAWN BY: CT
 CHECKED BY: MS

PURPOSE: ISSUE FOR DESIGN REVIEW (2023-09-19)

NO.	DATE	BY	REVISIONS

C1.01



KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT
 IN AREAS WHERE IT IS NECESSARY TO CUT THE ASPHALT PAVEMENT AND DIG A TRENCH FOR BURIAL OF CONDUIT CABLE OR OTHER CITY UTILITY, THE TRENCH SHALL BE BACKFILLED WITH A LEAN CONCRETE MIX TO THE BOTTOM OF FINISH SURFACE MATERIAL WITH THE FOLLOWING PROPORTIONS OF MATERIALS:

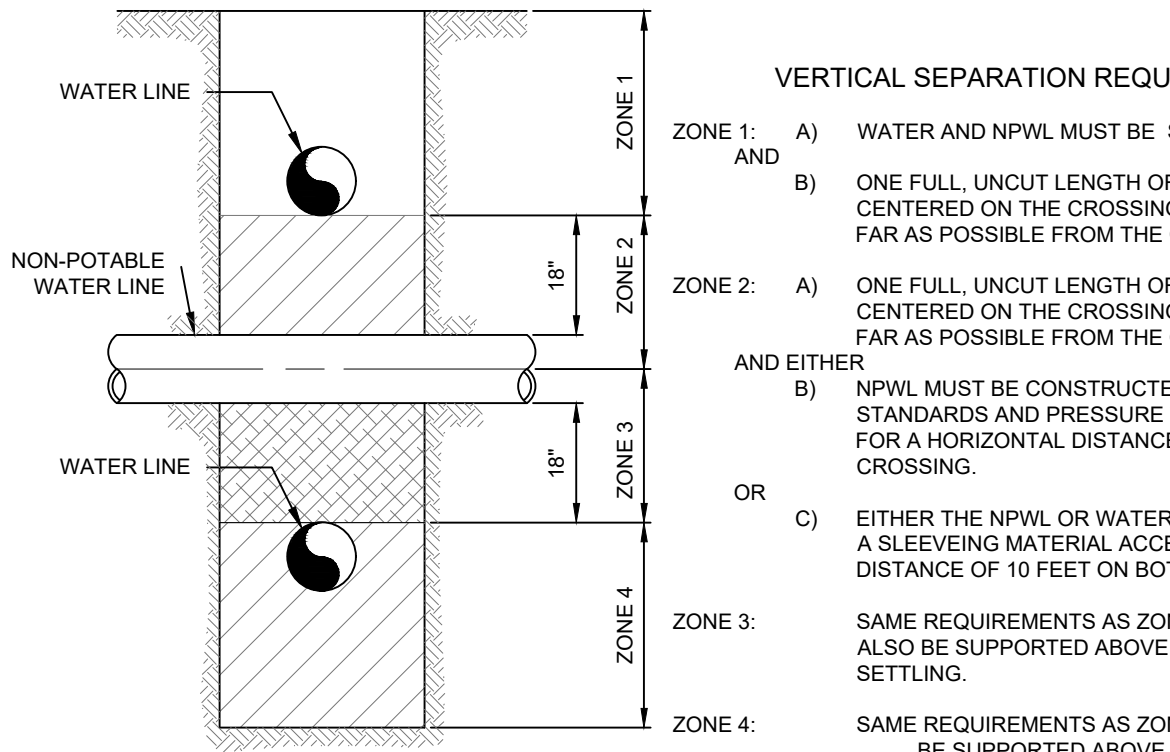
COARSE AGGREGATE (1/2" MINUS) 2,600 LBS.
 SAND 800 LBS.
 PORTLAND CEMENT 94 LBS.
 WATER 11 GAL (MAX.)

WATER CONTENT IS MAXIMUM AND MAY BE REDUCING DOWNWARD. CARES SHALL BE TAKEN TO ASSURE THAT EXCESS WATER IS NOT PRESENT IN THE MIXING DRUM PRIOR TO CHARGING THE MIXER WITH MATERIALS. THOROUGH MIXING WILL BE REQUIRED PRIOR TO DISCHARGE.

NO COMPACTION, VIBRATION OR FINISHING IS REQUIRED. THE LEAN CONCRETE MIX SHALL BE STRUCK OFF AT OR BELOW THE ELEVATION OF THE PLANTMIX SURFACING WITH A SQUARE-NOSE SHOVEL OR SIMILAR HAND TOOL. THE BACKFILL MIX SHALL BE ALLOWED TO SET FOR A MINIMUM OF 2 HOURS BEFORE THE PERMANENT PLANTMIX SURFACING IS PLACED TO COMPLETE THE TRENCH REPAIR. TEMPORARY PLACEMENT OF ASPHALT COLD MIX SURFACING MAY BE NECESSARY TO ACCOMMODATE TRAFFIC WITHIN THE FIRST 2 HOURS OF BACKFILL PLACEMENT PRIOR TO COMPLETING THE PERMANENT REPAIR.

1
C1.02
TYPICAL TRENCH SECTION
N.T.S.

THE TERM "LINE" APPLIES TO BOTH MAIN LINES AND SERVICE LINES



VERTICAL SEPARATION REQUIREMENTS

ZONE 1: A) WATER AND NPWL MUST BE SEPARATED BY AT LEAST 18" AND B) ONE FULL, UN-CUT LENGTH OF BOTH PWL AND NPWL PIPE MUST BE CENTERED ON THE CROSSING SO THAT THE JOINTS ARE AS FAR AS POSSIBLE FROM THE CROSSING.

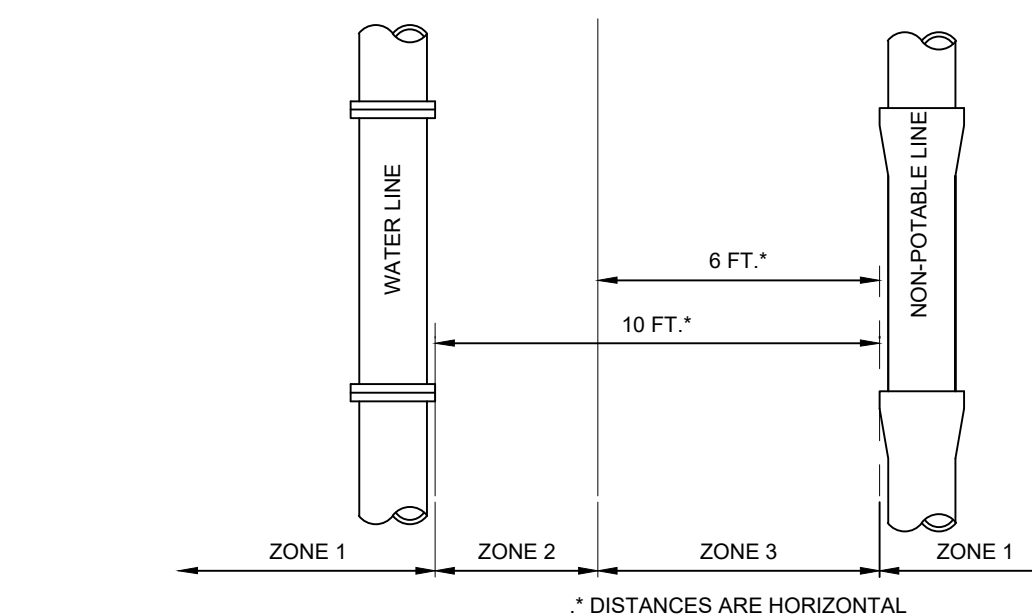
ZONE 2: A) ONE FULL, UN-CUT LENGTH OF BOTH PWL AND NPWL PIPE MUST BE CENTERED ON THE CROSSING SO THAT THE JOINTS ARE AS FAR AS POSSIBLE FROM THE CROSSING. AND EITHER B) NPWL MUST BE CONSTRUCTED TO WATER MAIN STANDARDS AND PRESSURE TESTED FOR WATER TIGHTNESS FOR A HORIZONTAL DISTANCE OF 10 FEET ON BOTH SIDES OF CROSSING.

OR

C) EITHER THE NPWL OR WATER LINE OR BOTH MUST BE ENCASED WITH A SLEEVEING MATERIAL ACCEPTABLE TO DEQ FOR A HORIZONTAL DISTANCE OF 10 FEET ON BOTH SIDES OF THE CROSSING.

ZONE 3: SAME REQUIREMENTS AS ZONE 2 EXCEPT THE NPWL MUST ALSO BE SUPPORTED ABOVE THE CROSSING TO PREVENT SETTLING.

ZONE 4: SAME REQUIREMENTS AS ZONE 1 EXCEPT THE NPWL MUST ALSO BE SUPPORTED ABOVE THE CROSSING TO PREVENT SETTLING.



HORIZONTAL SEPARATION REQUIREMENTS

ZONE 1: A) NO SPECIAL REQUIREMENTS.

ZONE 2: A) NO SPECIAL REQUIREMENTS FOR POTABLE OR NON-POTABLE SERVICES B) WATER AND NPWL SEPARATED BY AT LEAST 6 FEET AT OUTSIDE WALLS. C) WATER AT LEAST 18 INCHES HIGHER IN ELEVATION THAN THE NPWL. AND EITHER D) NPWL CONSTRUCTED TO POTABLE WATER MAIN STANDARDS AND PRESSURE TESTED FOR WATER TIGHTNESS. OR E) SITE SPECIFIC REQUIREMENTS APPROVED BY DEQ.

ZONE 3: NOT ALLOWED WITHOUT DEQ WAIVER.

NOTE: SANITARY SEWER FORCE MAINS MUST HAVE MIN. 10' HORIZONTAL SEPARATION AND 18" VERTICAL SEPARATION. ZONE 2 AND ZONE 3 PLACEMENTS ARE NOT ALLOWED WITHOUT A WAIVER GRANTED BY DEQ.

2
C1.02
POTABLE AND NON-POTABLE WATER LINE (NPWL) SEPARATION
N.T.S.

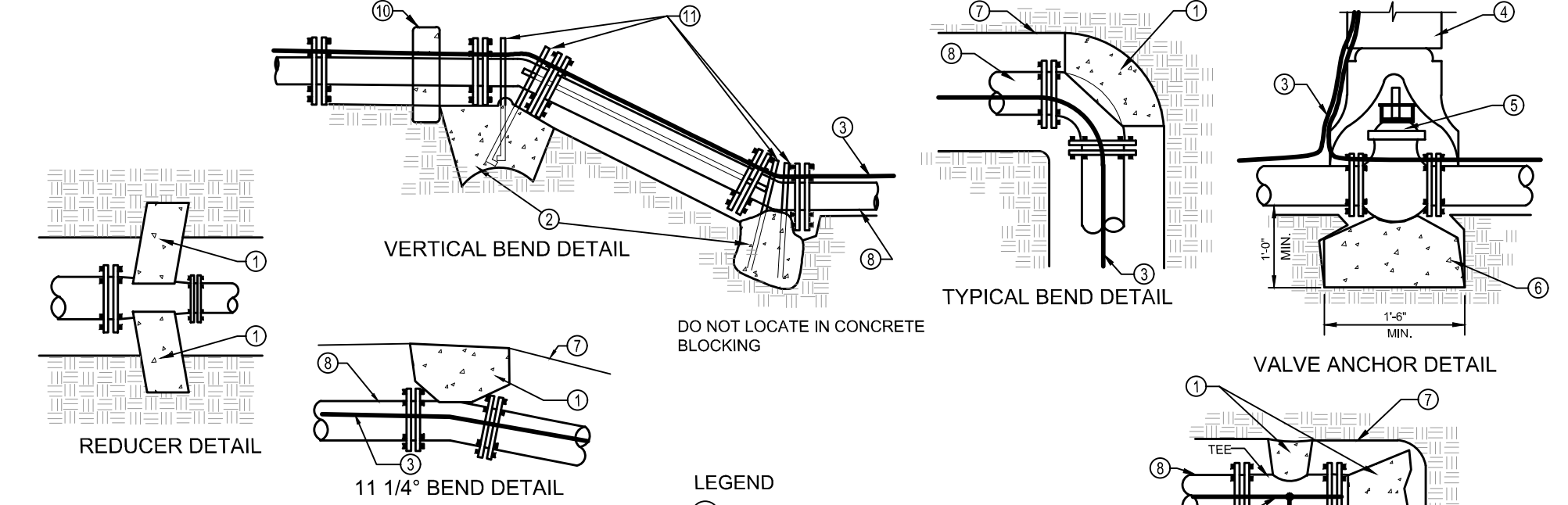


TABLE 1
THRUST AREA FOR HORIZONTAL BENDS***

PIPE SIZE	MINIMUM SQUARE FEET OF THRUST AREA ONTO UNDISTURBED EARTH*			
	TEE, PLUG OF VALVE	90° BEND**	45° BEND	22.5°, 11.25° BENDS OR REDUCER
3"	0.8	1.1	0.6	0.3
4"	1.4	2.0	1.1	0.6
6"	3.2	4.5	2.4	1.2
8"	5.7	8.0	4.3	2.2
10"	8.8	12.5	6.8	3.4
12"	12.7	18.0	9.7	5.0
14"	17.3	24.5	13.3	6.8
16"	22.6	32.0	17.3	8.8
18"	28.6	40.5	21.9	11.2

* MUST BE INCREASED BASED ON DIFFERENT CONDITIONS (HIGHER WORKING PRESSURE OR LOWER SOIL BEARING STRENGTH)
 ** OR TEE ACTING AS A 90° BEND
 *** THRUST BLOCK DEPTH TO BE A MINIMUM PF 12" FOR PIPE SIZES 3"-8" AND 18" FOR PIPE SIZES 10"-18" OR THE SQUARE ROOT OF THE REQUIRED BEARING AREA, WHICHEVER IS GREATER.

LEGEND

1 FOR HORIZONTAL PIPE BENDS, BEARING THRUST BLOCKS MUST PROVIDE 2500 PSI CONCRETE POURED AGAINST UNDISTURBED EARTH PER TABLE 1.

2 FOR VERTICAL PIPE BENDS, GRAVITY THRUST BLOCKS MUST PROVIDE A VOLUME OF CONCRETE POURED AGAINST UNDISTURBED EARTH WHICH IS SIZED FOR EXPECTED FORCES WITH A MINIMUM 1.5 FACTOR OF SAFETY.

3 NO. 12 COPPER FINDER WIRE. SEE SD-514 FOR SPLICING.

4 C.I. VALVE BOX WITH COVER.

5 C.I. GATE VALVE (M.J.).

6 PRECAST BLOCK FOR CUT IN TEE AND VALVE OR CAST IN PLACE WITH 2-1/2" MIN REBAR.

7 TRENCH SIDE.

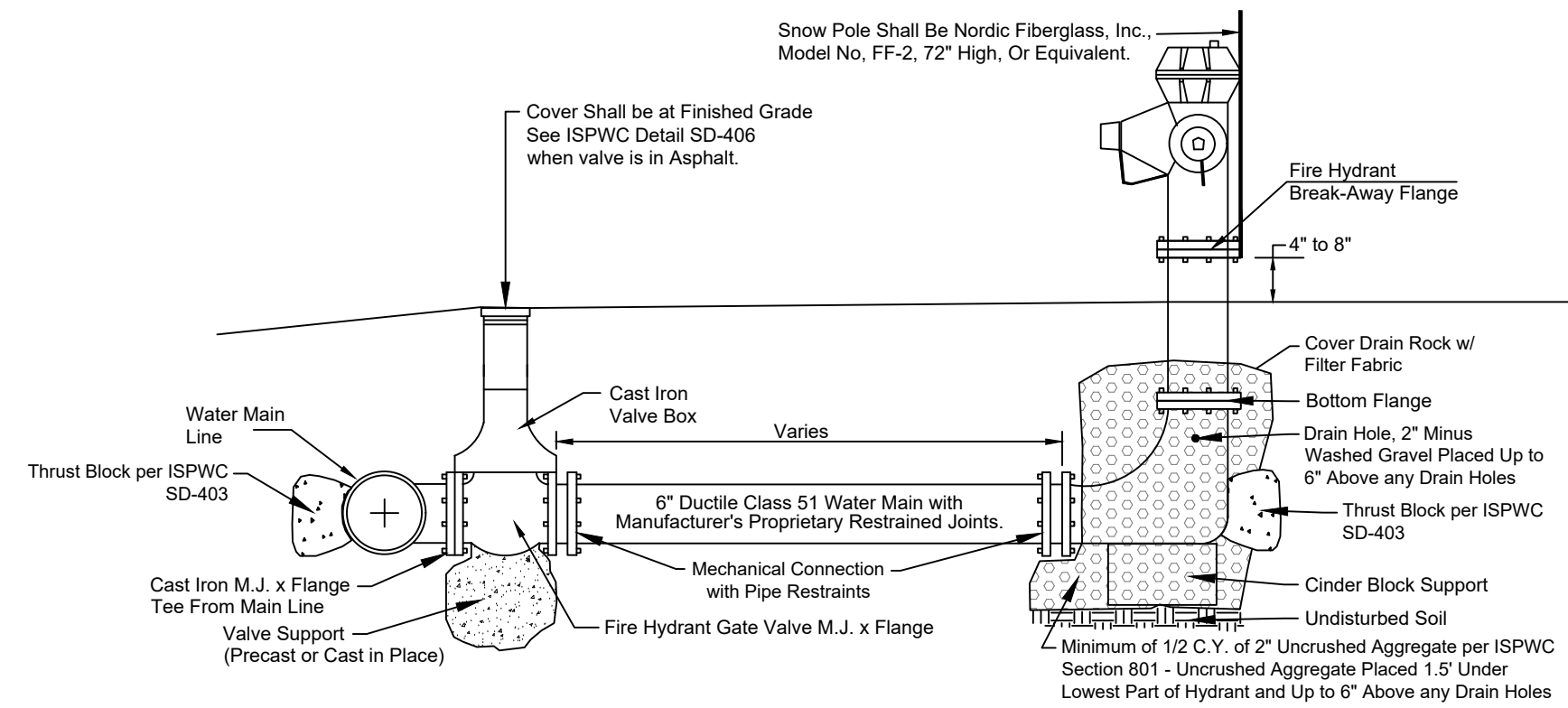
8 PIPE.

9 PLUG.

10 HAMMERHEAD THRUST BLOCKING.

11 ANCHOR BARS (1/2" MIN)

3
C1.02
THRUST BLOCK AND ANCHOR DETAILS
N.T.S.



TYPICAL SECTION, FIRE HYDRANT ASSEMBLY
N.T.S.

NOTES

- Hydrants shall have a 6' foot bury.
- Hydrants shall be Waterloo Pacer Model WB-67U-250 or Mueller Super Centurion 250 and conform to the following:
 - Traffic "breakaway" design
 - 2 ea. 2-1/2" NST threaded nozzles
 - 1 ea. 4-1/2" NST threaded nozzles
 - Dry Barrel type 6" barrel
 - Red in color
- Mechanical Restraints shall be used. Restraints shall be Romac Industries RomaGrip or approved equivalent. No lug or set screw type restraints are to be used on PVC pipe.
- City shall approve location and elevation of all Fire Hydrants. Fire Hydrants shall be located at street intersections and at a minimum spacing of 500 feet in residential zones and 450 feet in business and industrial zones. No obstructions shall be placed within 3 feet of the back and 15 feet of the sides and front of Fire Hydrants.
- Auxiliary Gate Valve shall meet AWWA C509 (Total rubber encapsulated, resilient seat, waterous series or approved equal).
- Valve Box shall be Tyler 664A or approved equal.
- Hydrant break away flange elevation equal to street centerline or 4" to 6" above finished grade as approved.
- Fire hydrant assemblies located on the opposite side of the roadway from the watermain shall have 2" Dow Board installed over the pipeline leading to the hydrant. The Dow Board shall extend from auxiliary gate valve to the hydrant.
- The final number and placement of fire hydrants shall be reviewed and approved by the Sun Valley Fire Department.
- Mechanical restraints on PVC pipe are not acceptable in lieu of concrete thrust blocks.

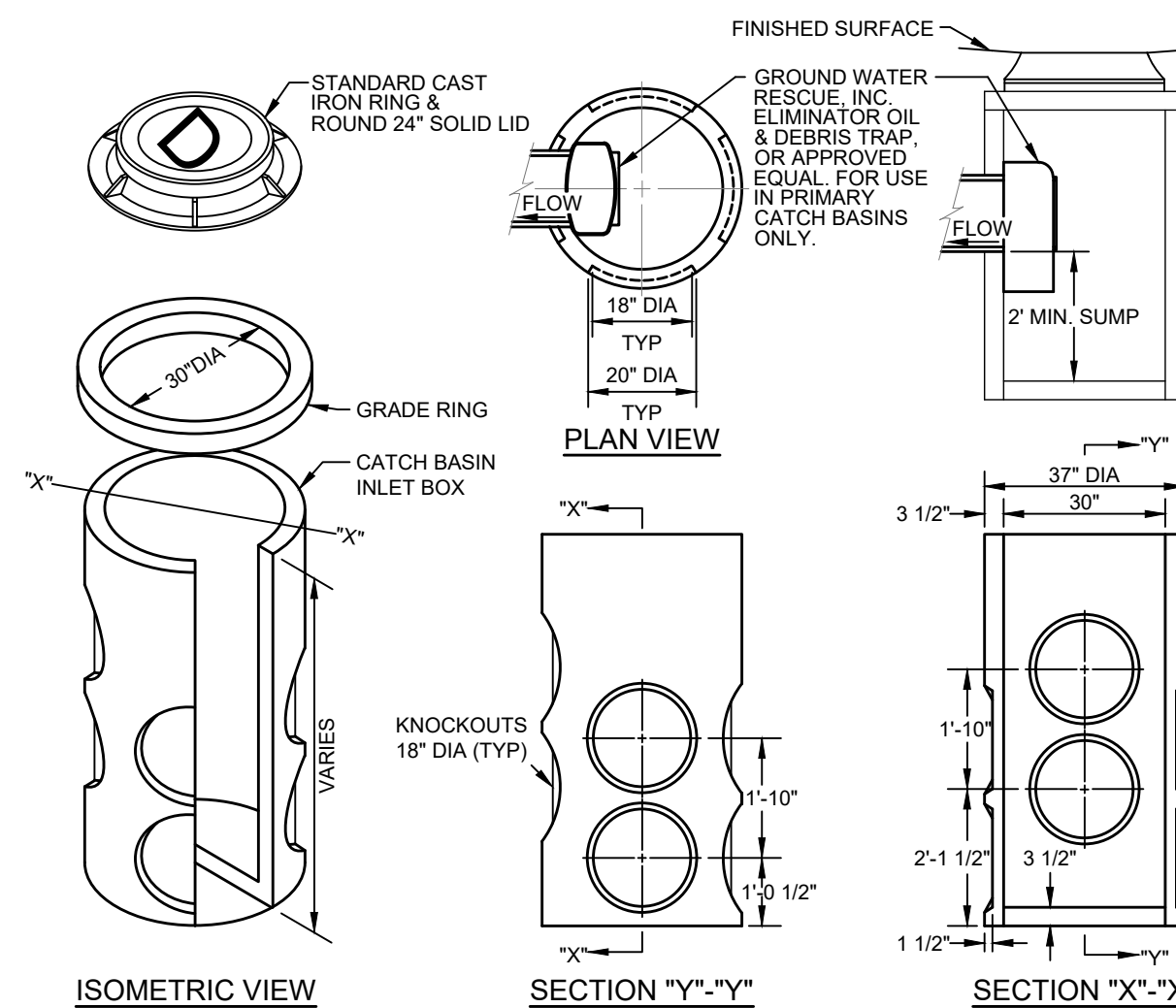
HYDRANT VEHICULAR PROTECTION

Fire hydrants which may be exposed to vehicular damage or obstruction shall have an approved array of bollards or guard post installed to protect them from damage and maintain the minimum diameter required for proper operation.

When they are installed, they shall be:

- Constructed of steel not less than (4) inches in diameter and concrete filled.
- Spaced not more than four (4) feet between posts on center.
- Set not less than three (3) feet deep in a concrete footing not less than (15) inches in diameter.
- Set with the top of the posts not less than (3) feet above the ground.
- The post shall be painted bright red, reflective markings are recommended.
- Located at least three feet from any portion of the hydrant and located so as not to create an obstruction to its use.

4
C1.02
FIRE HYDRANT DETAIL
N.T.S.



CATCH BASIN INSTALLATION NOTES:

- A PRIMARY CATCH BASIN IS DEFINED AS THE FIRST STORM STRUCTURE UPSTREAM OF A DRYWELL, A SATELLITE CATCH BASIN IS DEFINED AS THE STORM STRUCTURE UPSTREAM OF THE PRIMARY CATCH BASIN.
- THE OIL & DEBRIS TRAP SHALL BE INSTALLED ON THE OUTLET OF THE PRIMARY CATCH BASIN ONLY, NOT ON SATELLITE CATCH BASINS.
- PLACE A MINIMUM OF 4" OF COMPACTED BEDDING ON PREPARED SUBGRADE AS SPECIFIED IN ISPWC SECTION 305 - PIPE BEDDING. EXTEND BEDDING EITHER TO THE LIMITS OF THE EXCAVATION OR AT LEAST 12" OUTSIDE THE LIMITS OF THE BASE SECTION.
- FILL THE BALANCE OF THE EXCAVATED AREA WITH SELECT MATERIAL COMPACTED LEVEL TO THE TOP OF THE BEDDING.
- PROVIDE A SMOOTH AND LEVEL BEARING SURFACE ON THE BEDDING SURFACE.

5
C1.02
30" DIAMETER STORM DRAIN MANHOLE
N.T.S.

DETAIL SHEET
200 N. MAIN STREET
 LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
 PREPARED FOR 200 N MAIN LLC, KENNY & KRISTINA DUDUNAKIS

PROFESSIONAL ENGINEER
 LICENSE NO. 12474
 KENNY SMITHMAN
 CIVIL ENGINEER

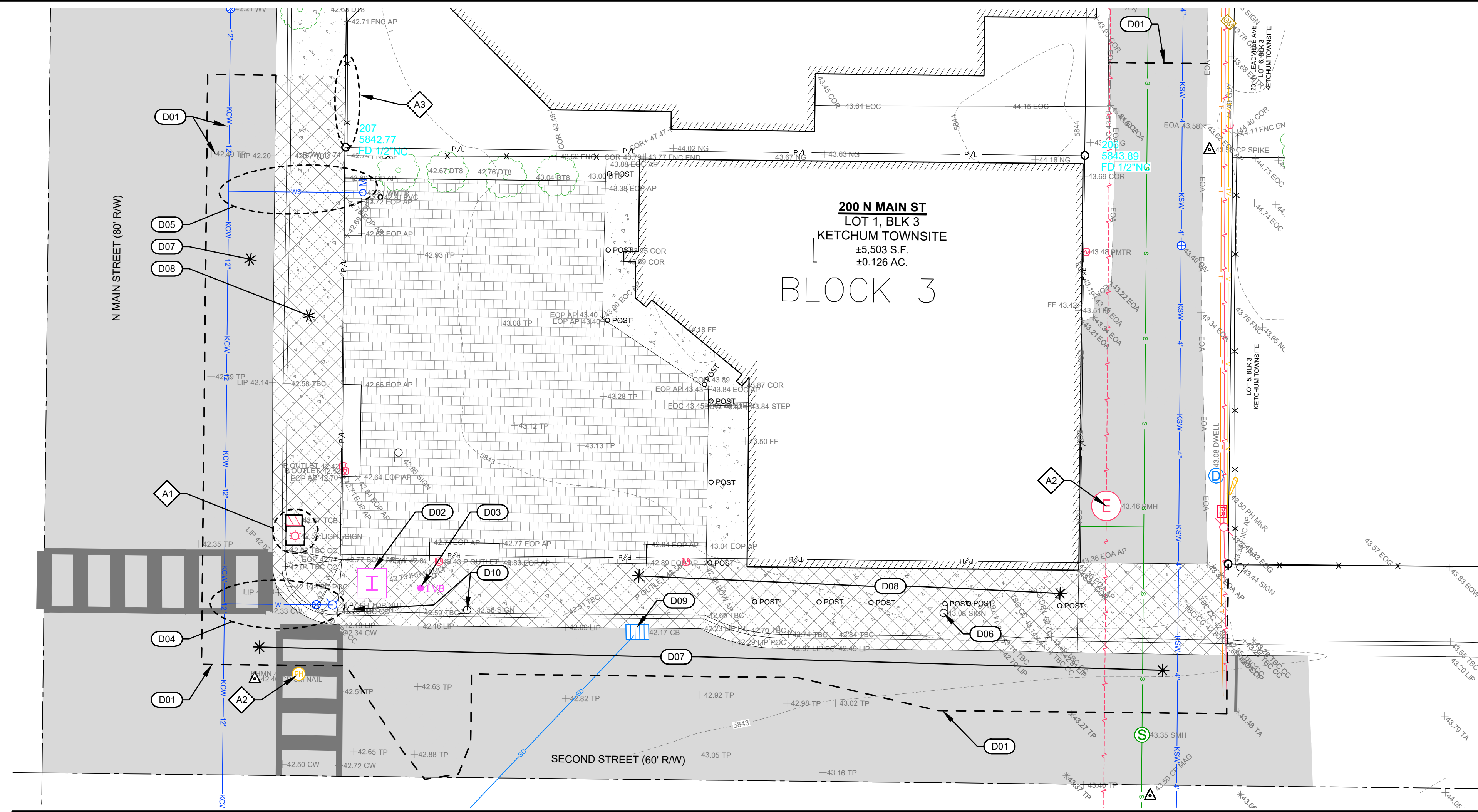
DESIGNED BY: CT
 DRAWN BY: MS
 CHECKED BY: MS

GALENA - BENCHMARK ENGINEERING
 Civil Engineers & Land Surveyors
 100 Bell Drive
 P.O. Box 733
 Ketchum, ID 83340
 (208) 726-9512
 www.benchmark-associates.com

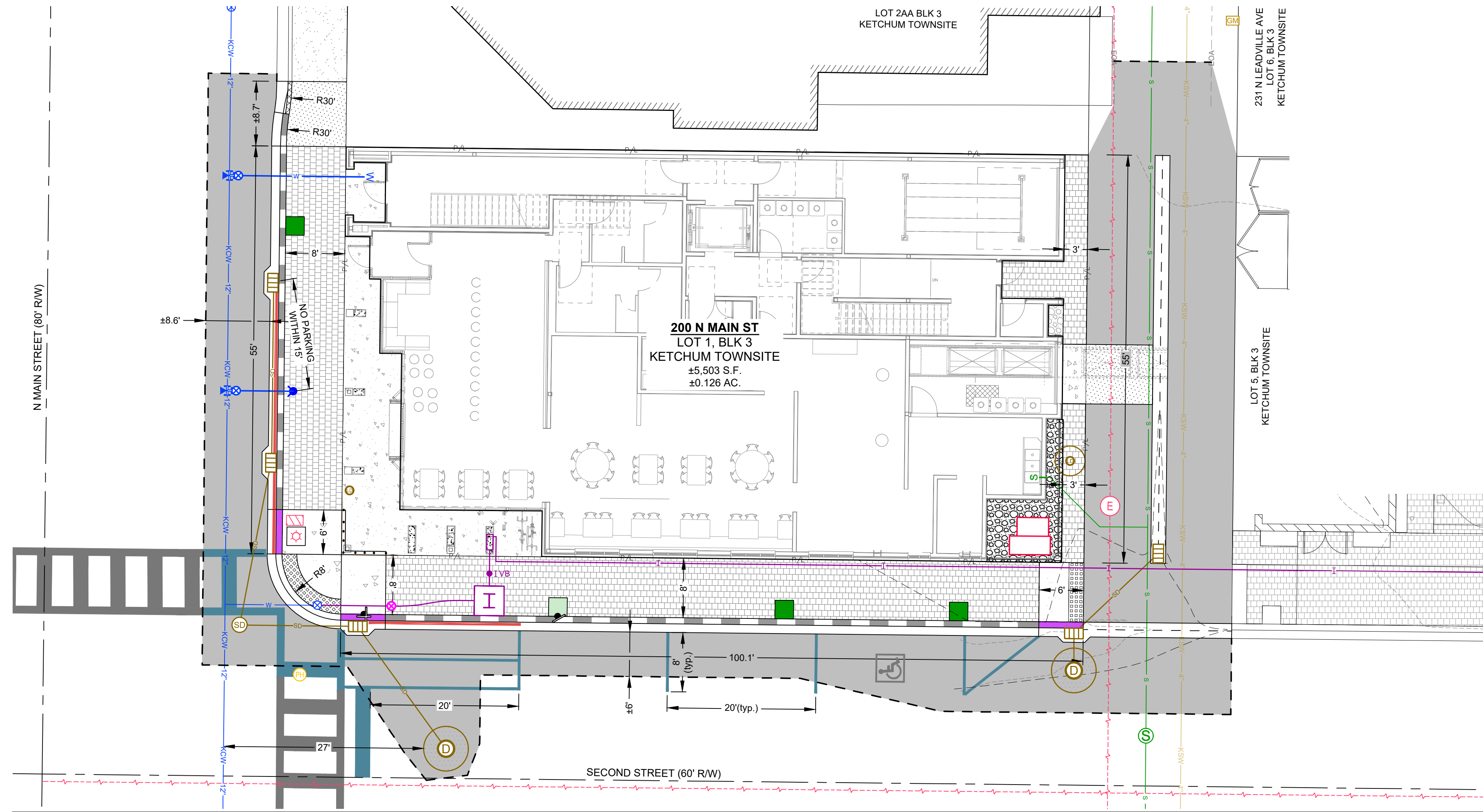
PURPOSE: ISSUE FOR DESIGN REVIEW (2023-09-19)

NO.	DATE	BY	REVISIONS

REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any project or extensions of this Project except by agreement in writing with Galena Engineering, Inc.



OFF-SITE DEMOLITION PLAN

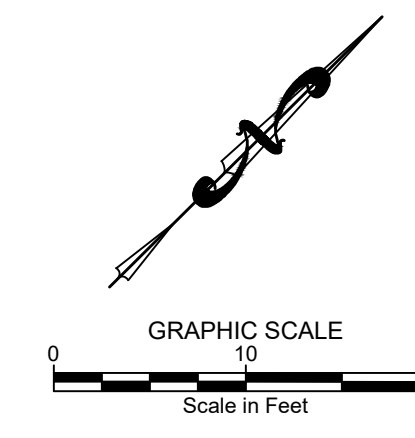
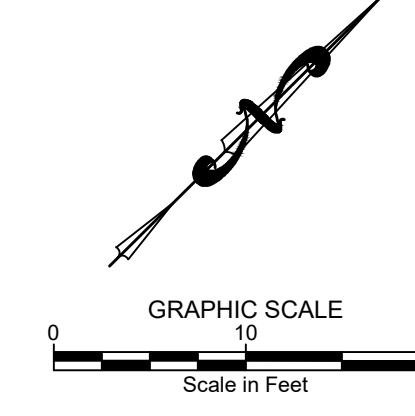


SITE GEOMETRY PLAN

- OFF-SITE DEMOLITION KEY NOTES****
- D01 SAWCUT ASPHALT TO PROVIDE FOR A CLEAN VERTICAL EDGE.
 - D02 RELOCATE IRRIGATION VAULT. COORDINATE ACTIVITY WITH THE KETCHUM WATER DEPARTMENT.
 - D03 RELOCATE IRRIGATION SERVICE VALVE. COORDINATE ACTIVITY WITH THE KETCHUM WATER DEPARTMENT.
 - D04 RELOCATE FIRE HYDRANT. COORDINATE ACTIVITY WITH THE KETCHUM WATER DEPARTMENT.
 - D05 CLOSE CORPORATION STOP AT WATER MAIN AND DISCONNECT EXISTING WATER SERVICE. COORDINATE ACTIVITY WITH THE KETCHUM WATER DEPARTMENT.
 - D06 REMOVE SIGN AND RETURN TO CITY.
 - D07 REMOVE AND DISPOSE OF ASPHALT.
 - D08 REMOVE AND DISPOSE OF CONCRETE.
 - D09 REMOVE AND DISPOSE OF CATCH BASIN. CUT AND CAP STORM DRAIN PIPE.
 - D10 REMOVE AND RETAIN SIGN.

**EVERYTHING ON-SITE WILL BE REMOVED.

- RETAIN AND PROTECT
 1. STREET LIGHT AND POWER HANDHOLE
 2. UTILITY VAULT
 3. FENCE



DEMOLITION AND SITE GEOMETRY PLAN
200 N. MAIN STREET
 LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
 PREPARED FOR 200 N MAIN LLC, KENNY & KRISTINA DUDUNAKIS



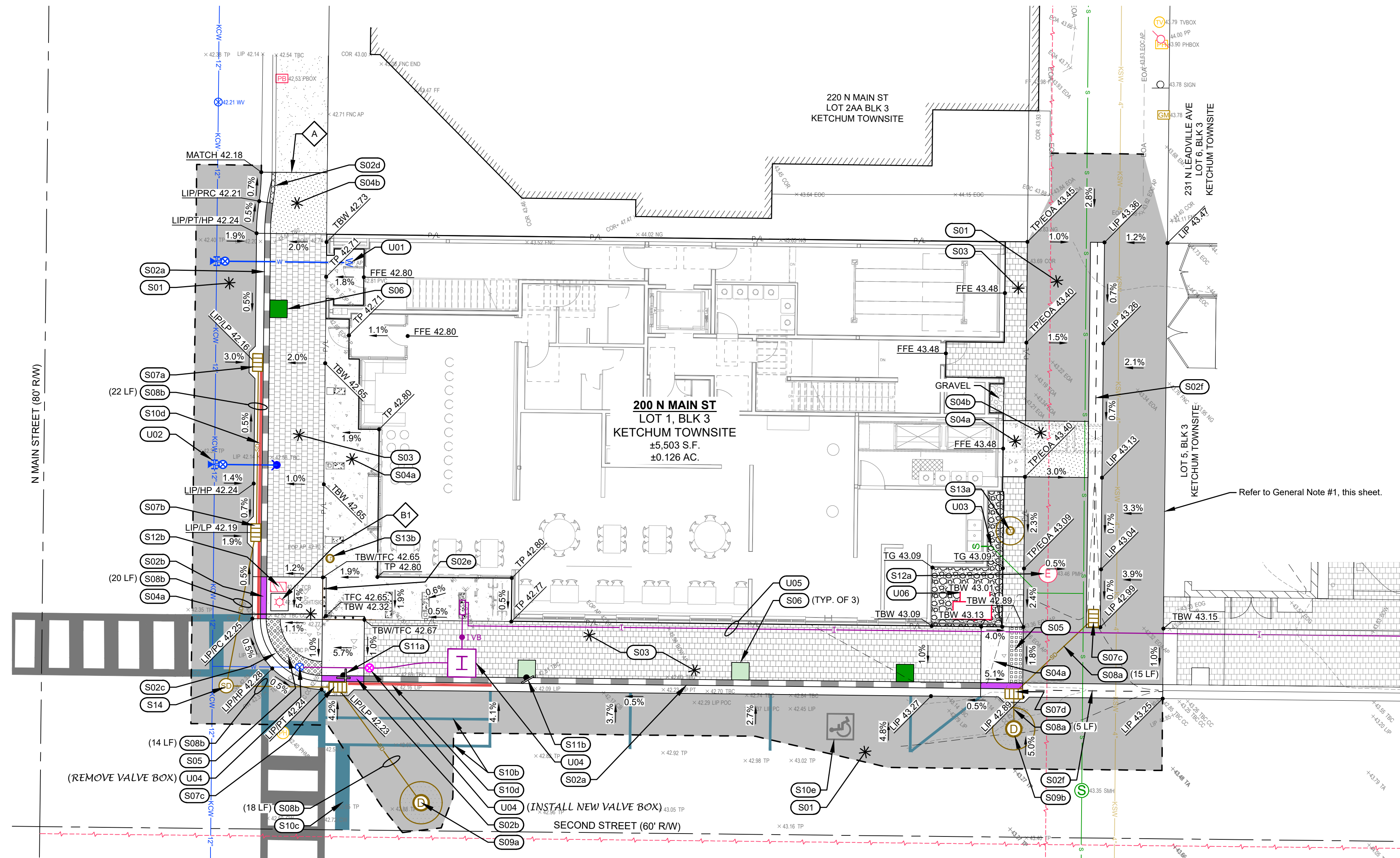
DESIGNED BY: CT
 DRAWN BY: CT
 CHECKED BY: MS

GALENA-BENCHMARK ENGINEERING
 Civil Engineers & Land Surveyors
 100 Bell Drive
 P.O. Box 733
 Ketchum, ID 83340
 (208) 726-9512
 www.benchmark-associates.com

PURPOSE: ISSUE FOR DESIGN REVIEW (2023-09-19)

NO.	DATE	BY	REVISIONS

REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any project or extension of this project except by agreement in writing with Galena Engineering, Inc.

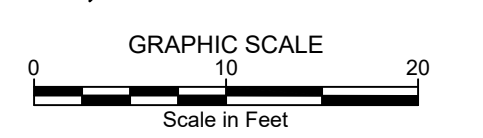


- ### UTILITY IMPROVEMENT KEY NOTES
- U01** INSTALL 6" WATER SERVICE LINE STAINLESS STEEL TAPPING SADDLE GATE VALVE W/ THRUST BLOCKS SEE DETAILS 1 / C1.02 FOR TRENCHING, & 3 / C1.02 FOR THRUST BLOCKING. COORDINATE ACTIVITY WITH THE KETCHUM WATER DEPARTMENT.
 - U02** INSTALL FIRE HYDRANT WITH MOUNTAIN EXTENSION. 12"x6" STAINLESS STEEL TAPPING SADDLE 8" GATE VALVE W/ THRUST BLOCKS #9 LF OF 6" PVC C-900 WATER MAIN PIPE SEE DETAILS 1 / C1.02 FOR TRENCHING, & 3 / C1.02 FOR THRUST BLOCKING, & 4 / C1.02 FOR FIRE HYDRANT DETAIL. COORDINATE ACTIVITY WITH THE KETCHUM WATER DEPARTMENT.
 - U03** UTILIZE EXISTING 4" SEWER SERVICE.
 - U04** INSTALL IRRIGATION VAULT (MATCH EXISTING RECTANGULAR VAULT REMOVED AT DEMOLITION). - CONNECT TO EXISTING 6" WATER LINE THAT SUPPLIED THE REMOVED FIRE HYDRANT (SEE DEMOLITION PLAN). ENSURE VALVE IS TURNED ON AND REMOVE ORIGINAL VALVE BOX. INSTALL NEW 6" GATE IN FLAT AREA OF PAVEMENT SIDEWALK. - IRRIGATION VALVE BOX - BACKFLOW PREVENTION DEVICE. REFER TO LANDSCAPE PLANS FOR PLACEMENT. COORDINATE ACTIVITY WITH THE KETCHUM WATER DEPARTMENT. RIM = 5842.68
 - U05** INSTALL IRRIGATION LINE (SIZE AND FINAL LOCATION BY THE CITY OF KETCHUM). COORDINATE ACTIVITY WITH THE KETCHUM WATER DEPARTMENT.
 - U06** INSTALL POWER TRANSFORMER. SEE ELECTRICAL AND ARCHITECT PLAN FOR DETAILS.

- ### ABBREVIATIONS:
- EOA = EDGE OF ASPHALT
 - FF = FINISHED FLOOR
 - FFE = FINISHED FLOOR AT ENTRY
 - FG = FINISHED GRADE
 - GFFE = GARAGE FINISHED FLOOR AT ENTRY
 - HP = HIGH POINT
 - I.E. = INVERT ELEVATION
 - LF = LINEAL FEET
 - LIP = LIP OF GUTTER
 - LP = LOW POINT
 - MAX = MAXIMUM
 - MIN = MINIMUM
 - PC = POINT OF CURVATURE
 - PRC = POINT OF REVERSE CURB
 - PT = POINT OF TANGENT
 - TBW = TOP BACK OF WALK
 - TFC = TOP FACE OF CURB
 - TG = TOP OF GRAVEL
 - TYP = TYPICAL

- ### GENERAL NOTES:
1. CONSTRUCTION OF ALLEY RIGHT-OF-WAY IMPROVEMENTS SHALL BE COORDINATED WITH THE LEADVILLE TRADING PROJECT EAST OF THE ALLEY, LOCATED AT 211 N LEADVILLE AVENUE.
 2. CONTRACTOR SHALL COORDINATE WITH THE CITY OF KETCHUM PRIOR TO CONSTRUCTION ACTIVITY FOR ALL RIGHT-OF-WAY IMPROVEMENTS ALONG MAIN STREET.

- ### SITE IMPROVEMENT KEY NOTES
- S01** CONSTRUCT ASPHALT ROADWAY / ASPHALT REPAIR. SEE DETAIL 1 / C1.00.
 - S02** CONSTRUCT CONCRETE CURB AND GUTTER
 - a. HEATED 6" ROLLED C&G. REFER TO DETAIL 2 / C1.00.
 - b. HEATED CURB TRANSITION. REFER TO DETAIL 3 / C1.00.
 - c. HEATED ZERO REVEAL CURB AND GUTTER. REFER TO DETAIL 3 / C1.00.
 - d. CURB TRANSITION (BETWEEN 6" VERTICAL C&G AND 6" ROLLED C&G).
 - e. VERTICAL CURB. REFER TO DETAIL 4 / C1.00.
 - f. 24" WIDE VALLEY GUTTER. REFER TO DETAIL 5 / C1.00.
 - S03** CONSTRUCT HEATED PAVEMENT SIDEWALK/PATIO. WIDTH AS SHOWN HEREON. REFER TO DETAIL 6 / C1.00.
 - S04** CONSTRUCT CONCRETE SIDEWALK/SECTION. WIDTH AS SHOWN HEREON.
 - a. CONCRETE SIDEWALK/SECTION #1 (HEATED). REFER TO DETAIL 7 / C1.00.
 - b. CONCRETE SIDEWALK/SECTION #2. REFER TO DETAIL 8 / C1.00.
 - S05** INSTALL CITY OF KETCHUM APPROVED CAST IRON TRUNCATED DOME DETECTABLE WARNING INSERT. REFER TO DETAIL 9 / C1.00.
 - S06** INSTALL TREE AND TREE WELL AS SHOWN HEREON. REFER TO DETAIL 4 / C1.01.
 - S07** INSTALL CATCH BASIN WITH MINIMUM SUMP DEPTH OF 12".
- ### 10' STANDARD CATCH BASIN.
- REFER TO DETAIL 1 / C1.01.
- a. RIM = 5841.96
I.E.(OUT) = 5838.69
 - b. RIM = 5841.91
I.E.(IN) = 5838.30
I.E.(OUT) = 5838.20
- ### 30" DIAMETER CATCH BASIN.
- REFER TO DETAIL 2 / C1.01.
- c. ASSUMED "EXISTING" CATCH BASIN PER PROJECT EAST OF ALLEY, OR ELSE NEW CATCH BASIN PER THIS PROJECT. RIM = 5842.79
I.E.(OUT) = 5839.79
 - d. ASSUMED "EXISTING" CATCH BASIN PER PROJECT EAST OF ALLEY, OR ELSE NEW CATCH BASIN PER THIS PROJECT. RIM = 5842.69
I.E.(IN) = 5839.49
I.E.(OUT) = 5839.39
- ### INSTALL STORM DRAIN:
- a. 12" ADS N-12 STORM DRAIN PIPE WITH A MINIMUM SLOPE OF 2.0%. REFER TO DETAIL 1 / C1.02 FOR TRENCHING AND DETAIL 2 / C1.02 FOR POTABLE AND NON-POTABLE WATER LINE SEPARATION.
 - b. 12" PVC WATER QUALITY PIPE WITH A MINIMUM SLOPE OF 2.0%. REFER TO DETAIL 1 / C1.02 FOR TRENCHING
- ### DRYWELL:
- a. INSTALL NEW DRYWELL REFER TO DETAIL 3 / C1.01.
RIM = 5842.69
I.E.(IN) = 5837.50
 - b. ASSUMED "EXISTING" DRYWELL PER PROJECT EAST OF ALLEY, OR ELSE NEW DRYWELL PER THIS PROJECT. RIM = 5842.87
I.E.(IN) = 5839.39
- ### INSTALL ROAD STRIPING / PAINT
- a. WHITE CROSSWALK STRIPING (12" WIDE).
 - b. YELLOW ASPHALT PARKING STRIPING (4" WIDE). MATCH CITY PATTERNS.
 - c. WHITE CROSSWALK / STOP BAR STRIPING (24" WIDE).
 - d. RED "NO PARKING" STRIPING ON CURB. MATCH CITY PATTERNS.
 - e. ADA PARKING SYMBOL. MATCH CITY PATTERNS.
- ### RELOCATE SIGNS. REFER TO DETAIL 10 / C1.00 FOR SIGN BASE DETAIL.
- a. STOP & STREET SIGN
 - b. REGULATORY PARKING
- ### RESET UTILITY BOX LID ELEVATION.
- a. POWER VAULT LID ORIGINAL RIM = 5843.46
NEW RIM = 5843.07
 - b. POWER HANDHOLE ORIGINAL RIM = 5842.57
NEW RIM = 5842.44
- ### INSTALL LANDSCAPE DRYWELL. CONNECT ROOF DRAINS AND/OR SLOT DRAINS TO DRYWELL. SEE DETAIL 5 / C1.01.
- a. RIM = 5843.16
b. RIM = 5842.66
- ### INSTALL 30" CONCRETE STORM DRAIN MANHOLE. REFER TO DETAIL 5 / C1.02.
- RIM = 5842.38
- A** MATCH EXISTING LINES AND GRADES
 - B** RETAIN AND PROTECT
 - 1. SIGNAL POLE



SITE GRADING, DRAINAGE, AND UTILITY PLAN
200 N. MAIN STREET

LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR 200 N MAIN LLC, KENNY & KRISTINA DUDUNAKIS

PROJECT INFORMATION
G:\BNA\Ketchum Village\book 3\Lot 1\2023-09-17.dwg 09/05/23 11:55:59 AM

DESIGNED BY: **CT**
DRAWN BY: **CT**
CHECKED BY: **MS**

GALENA - BENCHMARK ENGINEERING
Civil Engineers & Land Surveyors
100 Bell Drive
P.O. Box 733
Ketchum, ID 83340
(208) 726-9512
www.benchmark-associates.com

PURPOSE: ISSUE FOR DESIGN REVIEW (2023-09-19)	
NO.	DATE BY REVISIONS

C1.20

PLANT SCHEDULE (STREET TREES ONLY)

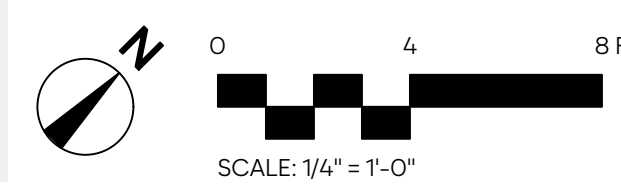
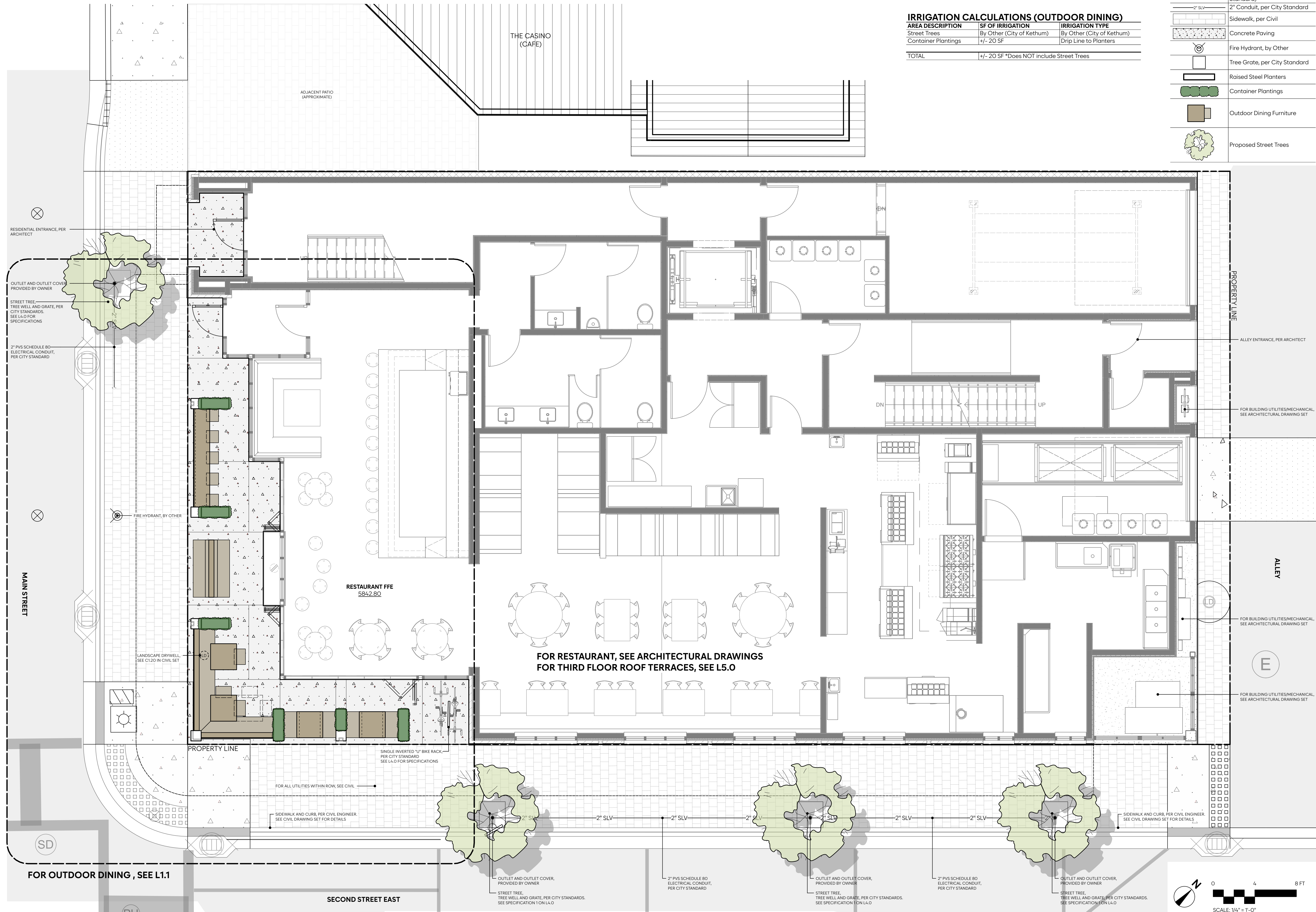
STREET TREES	ABBRV	QTY.	SIZE	BOTANICAL NAME	COMMON NAME
	AFA	4	3" CAL	<i>Acer x freemanii</i> 'Armstrong'	Armstrong Maple

IRRIGATION CALCULATIONS (OUTDOOR DINING)

AREA DESCRIPTION	SF OF IRRIGATION	IRRIGATION TYPE
Street Trees	By Other (City of Ketchum)	By Other (City of Ketchum)
Container Plantings	+/- 20 SF	Drip Line to Planters
TOTAL	+/- 20 SF	*Does NOT include Street Trees

LEGEND

SYMBOL	DESCRIPTION
---	Property Line
---	Drip Irrigation (Street Trees on Separate Zone, per City Standard)
---	2" Conduit, per City Standard
---	Sidewalk, per Civil
---	Concrete Paving
⊙	Fire Hydrant, by Other
□	Tree Grate, per City Standard
▭	Raised Steel Planters
⊕	Container Plantings
⊕	Outdoor Dining Furniture
⊕	Proposed Street Trees



FOR OUTDOOR DINING , SEE L1.1

SECOND STREET EAST

FOR RESTAURANT, SEE ARCHITECTURAL DRAWINGS
FOR THIRD FLOOR ROOF TERRACES, SEE L5.0

RESTAURANT FFE
5842.80

THE CASINO
(CAFE)

ADJACENT PATIO
(APPROXIMATE)

PROPERTY LINE

PROPERTY LINE

ALLEY

E

MAIN STREET

SD

RESIDENTIAL ENTRANCE, PER ARCHITECT

OUTLET AND OUTLET COVER PROVIDED BY OWNER

STREET TREE, TREE WELL AND GRATE, PER CITY STANDARDS. SEE L4.0 FOR SPECIFICATIONS

2" PVS SCHEDULE 80 ELECTRICAL CONDUIT, PER CITY STANDARD

FIRE HYDRANT, BY OTHER

LANDSCAPE DRIVWELL, SEE C1.20 IN CIVIL SET

SINGLE INVERTED "U" BIKE RACK, PER CITY STANDARD. SEE L4.0 FOR SPECIFICATIONS

FOR ALL UTILITIES WITHIN ROW, SEE CIVIL

SIDEWALK AND CURB, PER CIVIL ENGINEER. SEE CIVIL DRAWING SET FOR DETAILS

OUTLET AND OUTLET COVER, PROVIDED BY OWNER

STREET TREE, TREE WELL AND GRATE, PER CITY STANDARDS. SEE SPECIFICATION L ON L4.0

2" PVS SCHEDULE 80 ELECTRICAL CONDUIT, PER CITY STANDARD

OUTLET AND OUTLET COVER, PROVIDED BY OWNER

STREET TREE, TREE WELL AND GRATE, PER CITY STANDARDS. SEE SPECIFICATION L ON L4.0

2" PVS SCHEDULE 80 ELECTRICAL CONDUIT, PER CITY STANDARD

OUTLET AND OUTLET COVER, PROVIDED BY OWNER

STREET TREE, TREE WELL AND GRATE, PER CITY STANDARDS. SEE SPECIFICATION L ON L4.0

SIDEWALK AND CURB, PER CIVIL ENGINEER. SEE CIVIL DRAWING SET FOR DETAILS

FOR BUILDING UTILITIES/MECHANICAL, SEE ARCHITECTURAL DRAWING SET

FOR BUILDING UTILITIES/MECHANICAL, SEE ARCHITECTURAL DRAWING SET

FOR BUILDING UTILITIES/MECHANICAL, SEE ARCHITECTURAL DRAWING SET

ALLEY ENTRANCE, PER ARCHITECT

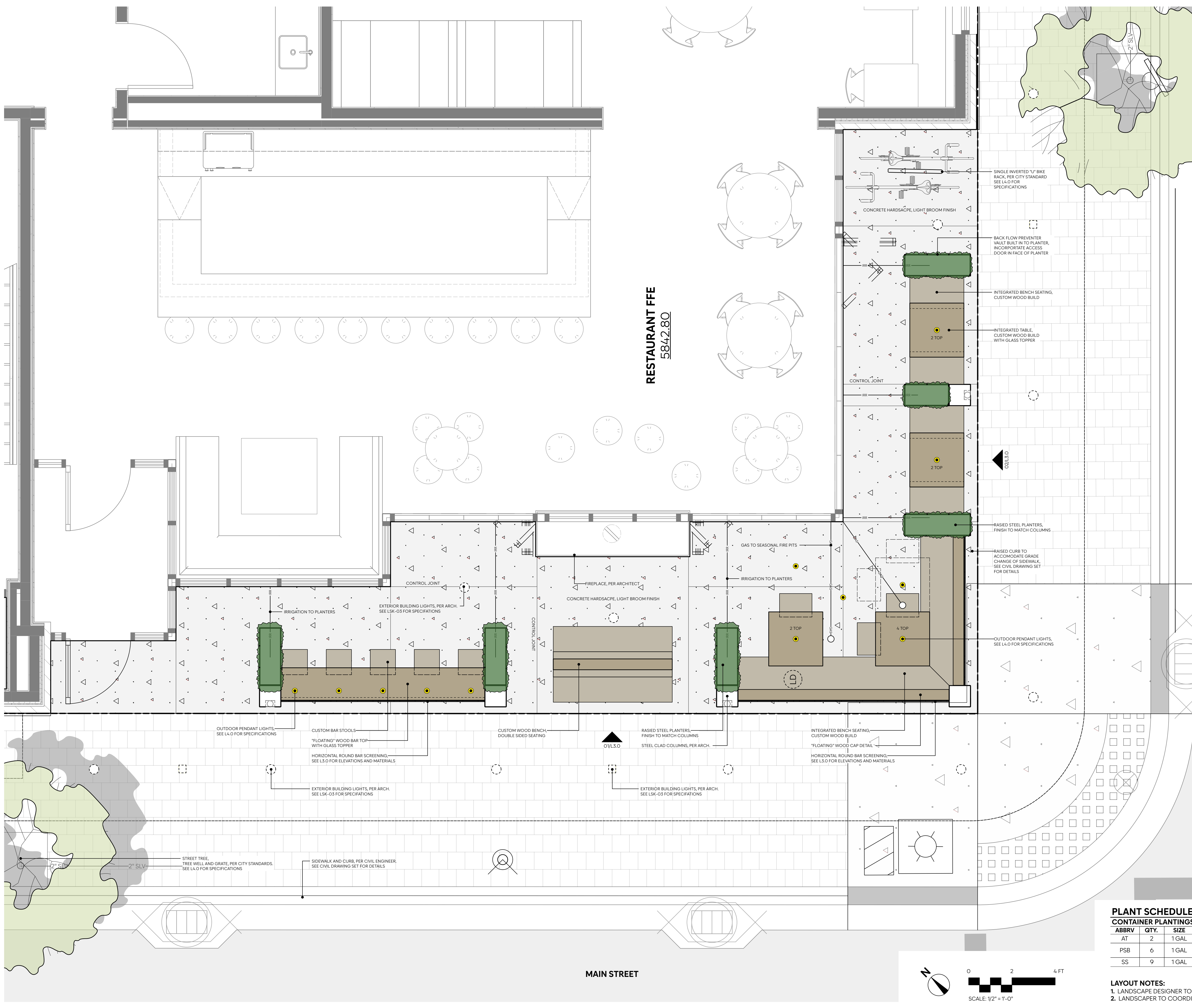
LEGEND

SYMBOL	DESCRIPTION
---	Property Line
---IRR---	Drip Irrigation (Street Trees on Separate Zone, per City Standard)
---	2" SLV
---	2" Conduit, per City Standard
---	Gas Line to Seasonal Fire Pits
○	Hanging Light Fixtures
○	Architectural Lighting, Per Arch.
---	Sidewalk, per Civil
---	Concrete Paving
○	Fire Hydrant, by Other
---	Tree Grate, per City Standard
---	Raised Steel Planters
---	Container Plantings
---	Outdoor Dining Furniture
○	Proposed Street Trees

LIGHTING ZONE SCHEDULE

SYMB	LOCATION	QTY.	FIXTURE	TYPE
●	Outdoor Dining	12	Pendant	A

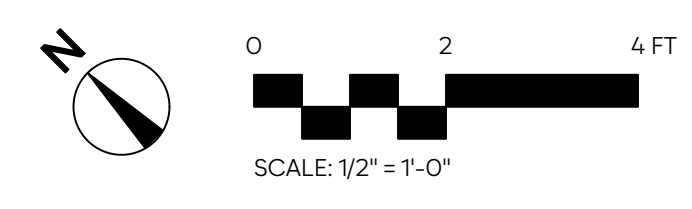
- LIGHTING NOTES:**
- ALL LIGHTING TO COMPLY WITH CITY OF KETCHUM DARK SKY ORDINANCE AND APPROVED FIXTURE TYPES.
 - EXTERIOR LIGHTS TO BE ON DIMMER AND ONLY ON DURING OPERATING BUSINESS HOURS.
 - FOR ARCHITECTURAL LIGHTING, SEE LSK-03



PLANT SCHEDULE (RESTAURANT ONLY)

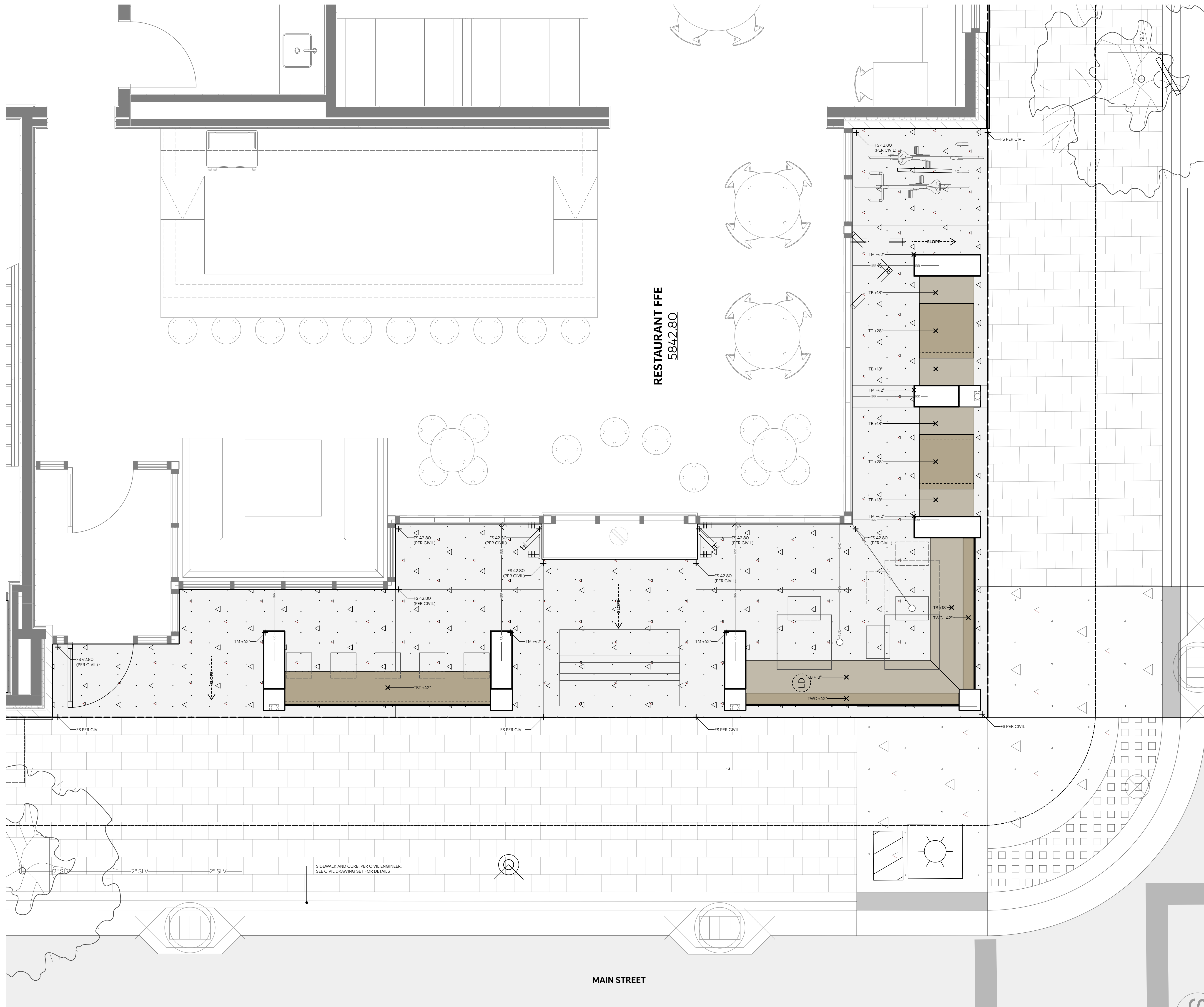
ABBREV	QTY.	SIZE	BOTANICAL NAME	COMMON NAME
AT	2	1 GAL	Achillea Terracotta	Terracotta Yarrow
PSB	6	1 GAL	Penstemon strictus 'Blanca Peak'	Blanca Peak™ White Penstemon
SS	9	1 GAL	Schizachyrium scoparium	Little Bluestem

- LAYOUT NOTES:**
- LANDSCAPE DESIGNER TO LAYOUT CONTAINER PLANTS PRIOR TO INSTALL.
 - LANDSCAPER TO COORDINATE AND SCHEDULE ACCORDINGLY



MAIN STREET

SECOND STREET EAST



RESTAURANT FFE
5842.80

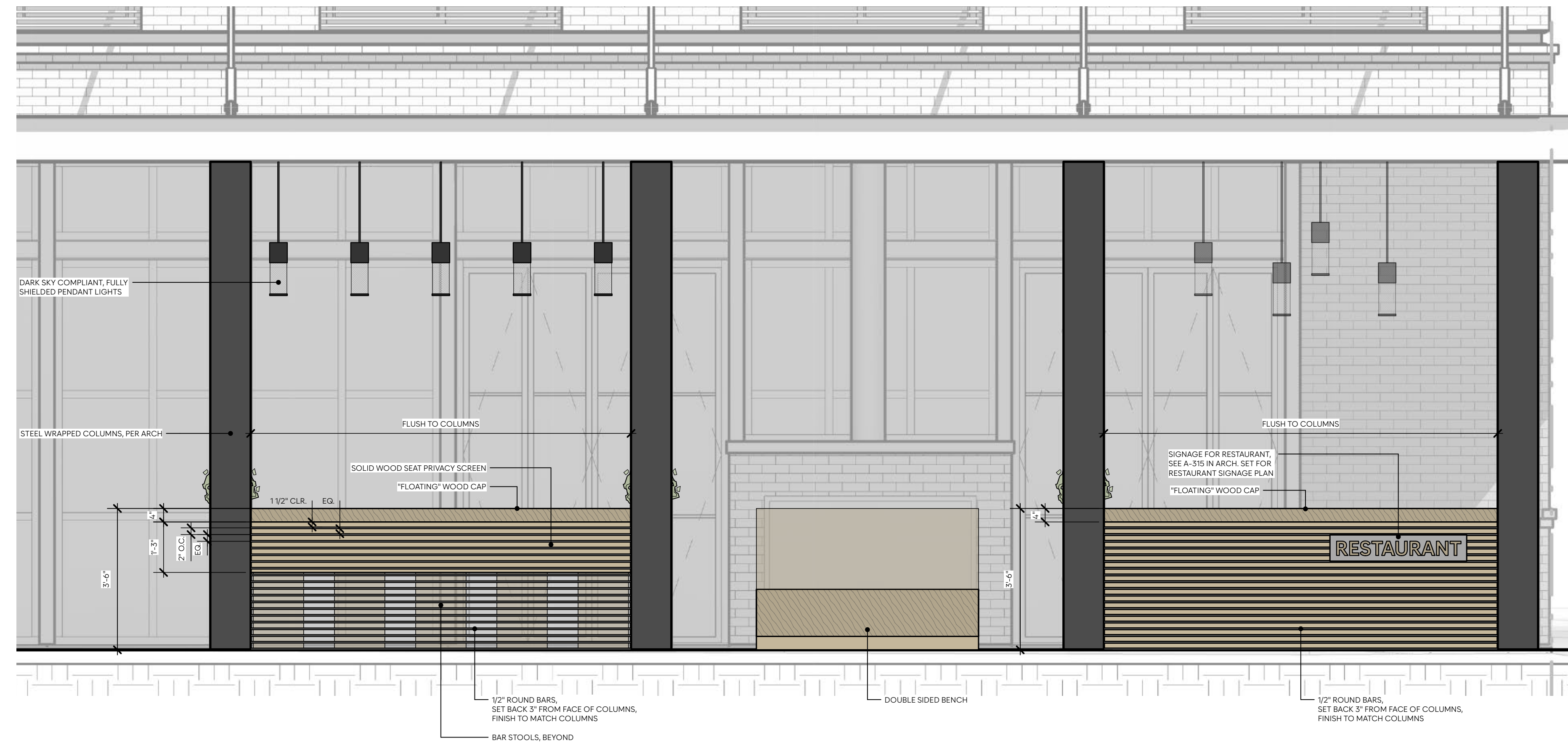
LEGEND	
SYMBOL	DESCRIPTION
---	Property Line
---IRR---	Drip Irrigation (Street Trees on Separate Zone, per City Standard)
---	2" Conduit, per City Standard
---	Sidewalk, per Civil
---	Concrete Paving
⊙	Fire Hydrant, by Other
⊠	Tree Grate, per City Standard
▭	Raised Steel Planters
■	Outdoor Dining Furniture
---SLOPE---	Slope Surface
FS	Finished Surface
TM	Top of Metal
TB	Top of Bench
TBT	Top of Bar Top
TWC	Top of Wood Cap

GRADING NOTES:
 1. CONTRACTOR TO REFER TO CIVIL DRAWINGS FOR ALL SIDEWALK AND CURB FINISHED GRADES AND DETAILS.
 2. THIS SHEET DEPICTS GRADING INTENT FOR PROJECT PAVING AND BUILT ELEMENTS. ANY DISCREPANCIES TO BE REVIEWED WITH LANDSCAPE DESIGNER.

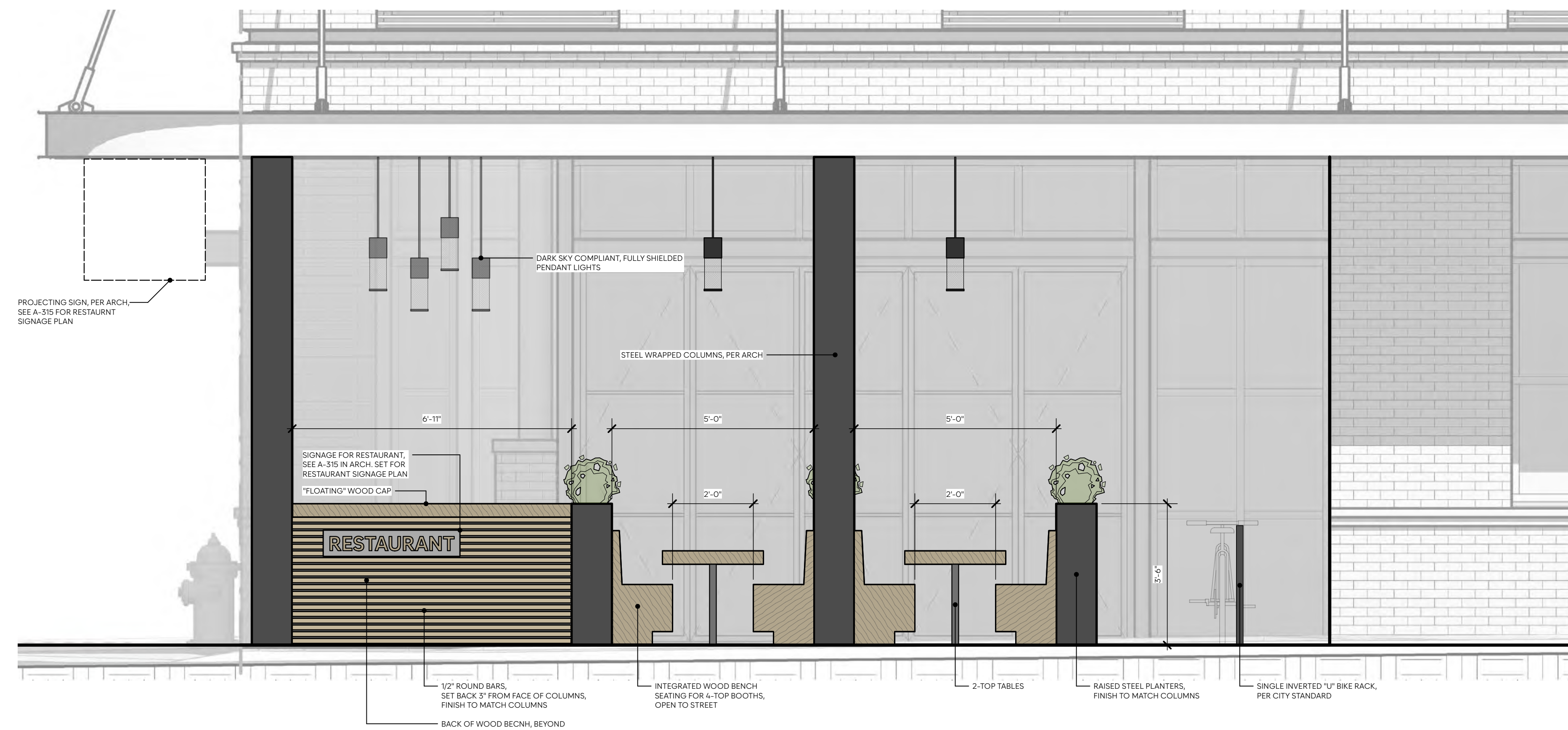
SECOND STREET EAST

MAIN STREET

OUTDOOR DINING ELEVATIONS

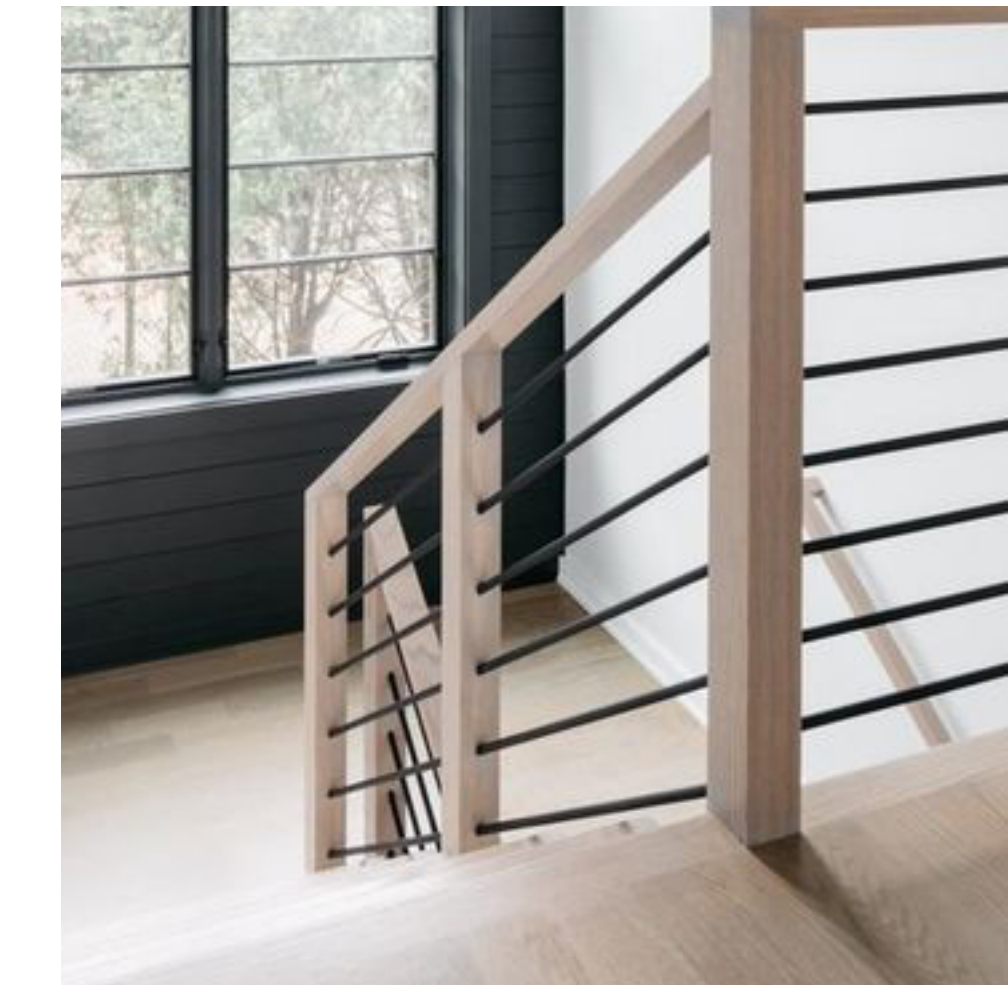


01 MAIN STREET ELEVATION
Scale: 1/2" = 1'-0"



02 SECOND STREET ELEVATION
Scale: 1/2" = 1'-0"

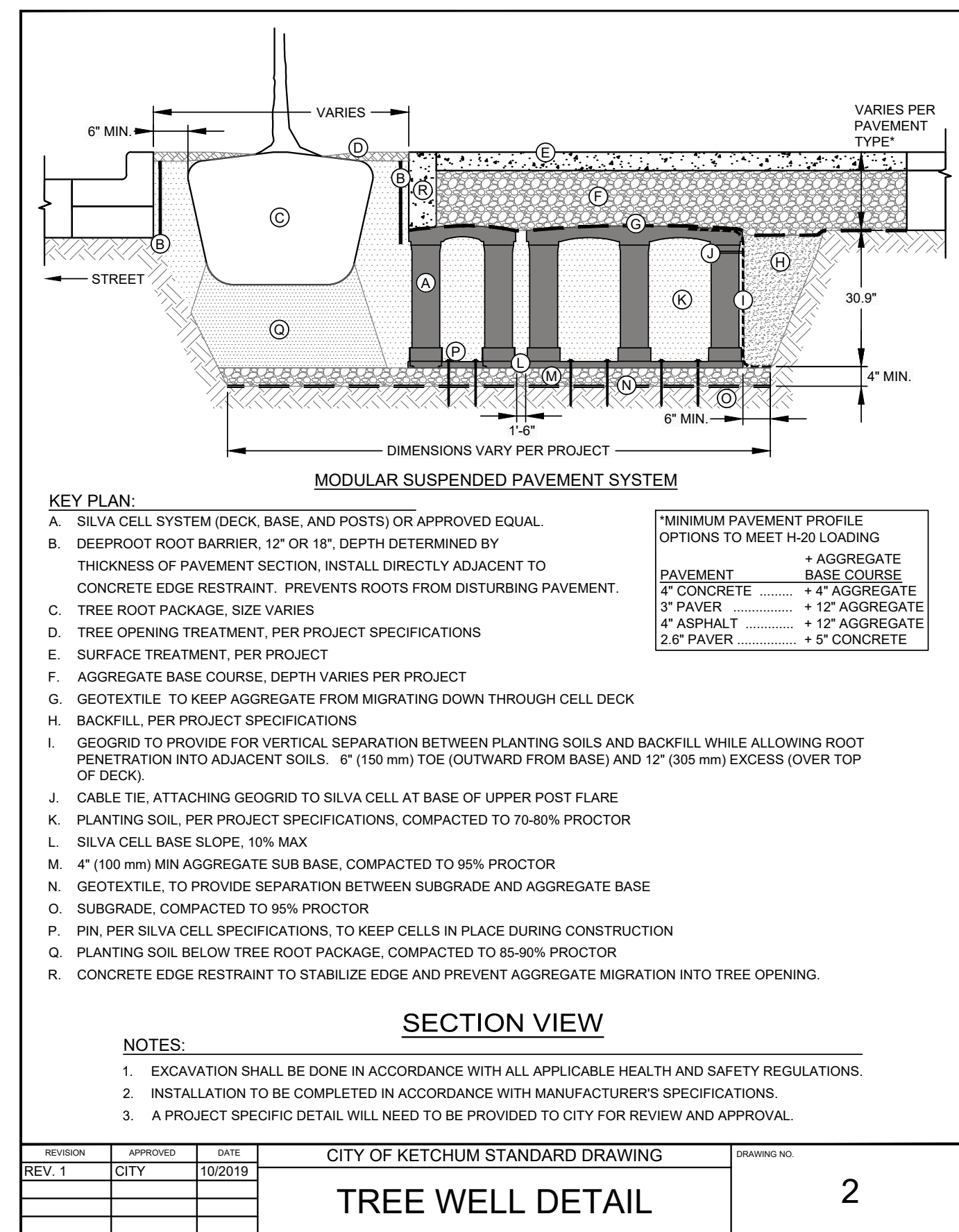
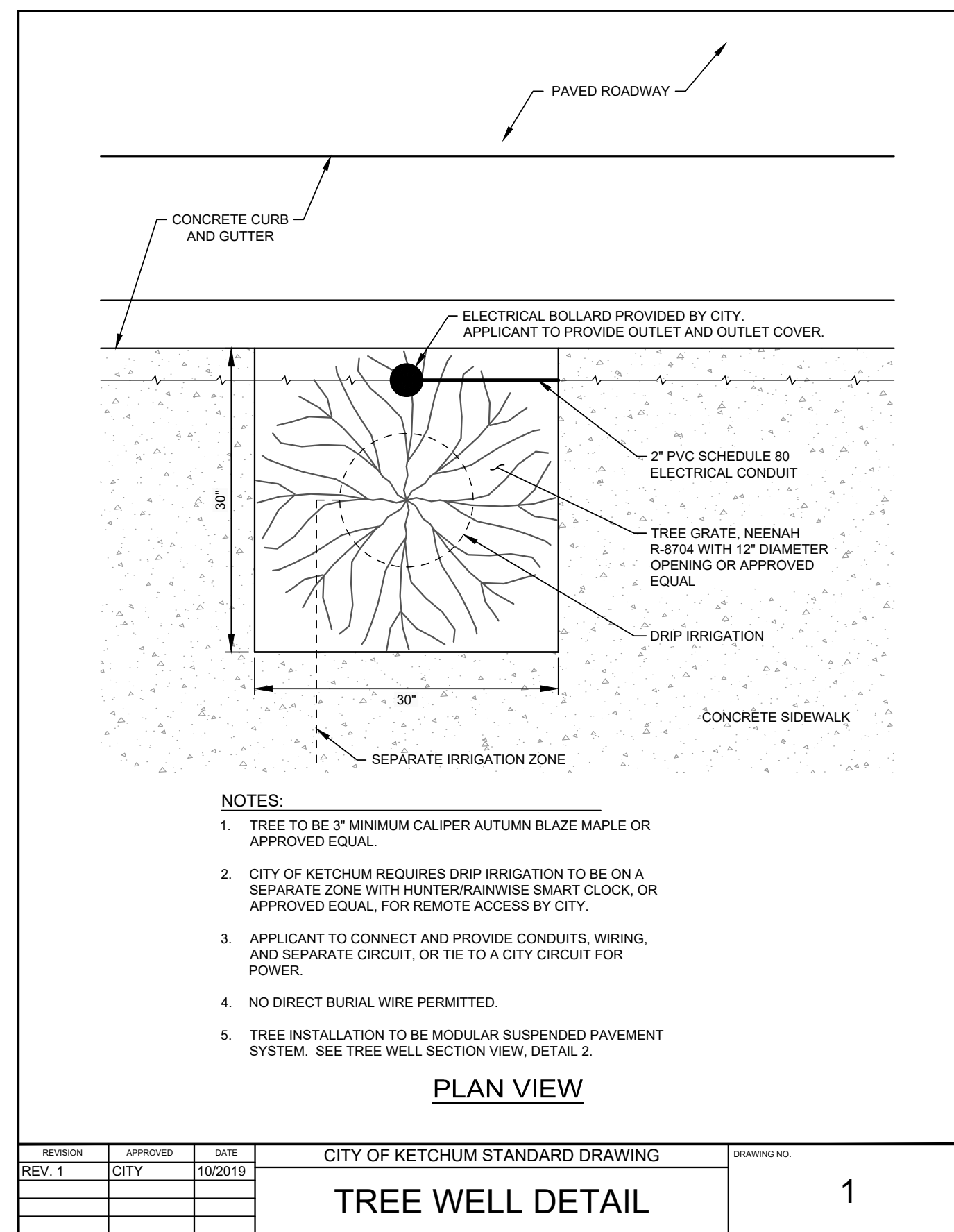
MATERIALS BOARD



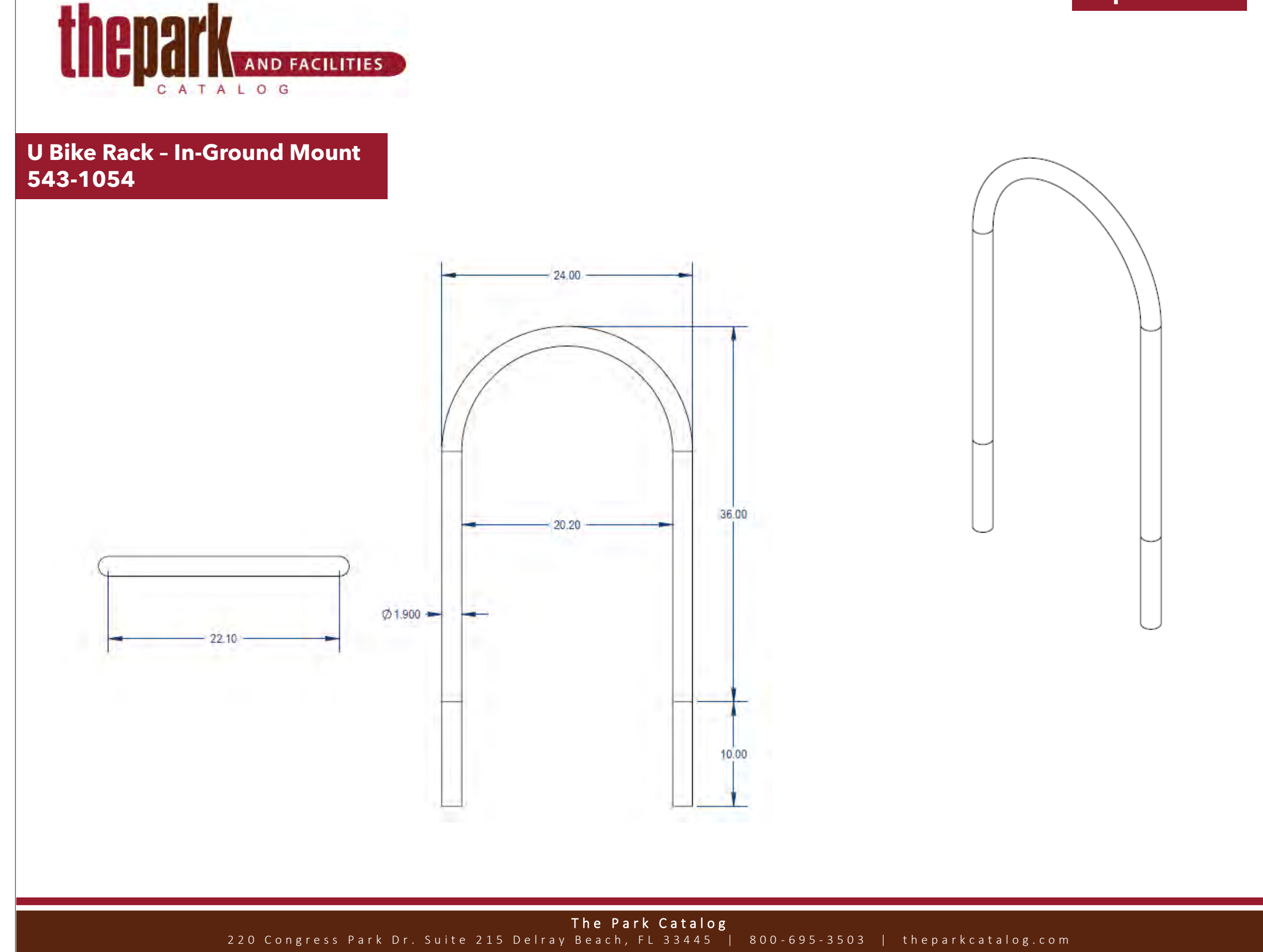
MATERIALS KEY

- ① ROUND IRON BAR
FINISH: BLACK
- ② WOOD SLAB BAR TOP
MATERIAL: WALNUT
FINISH: CLEAR COAT
- ③ HANGING LIGHT FIXTURE
FINISH: BLACK
- ④ RAISED STEEL PLANTERS
FINISH: BLACK
- ⑤ WOOD BENCHES
MATERIAL: WALNUT
FINISH: CLEAR COAT

STREETSCAPE AND AMENITIES SPECIFICATIONS



01 TREE WELL
Scale: NTS



02 BIKE RACK
Scale: NTS

OUTDOOR LIGHTING SPECIFICATIONS



03 PENDANT LIGHT (TYPE A)
Scale: NTS

PROJECT NAME + ADDRESS

1/16/24

ISSUE DATE
DESIGN REVIEW - LANDSCAPE

DRAWING SET TYPE

DRAWN BY
1/16/24 10:00:30 AM

PLOT DATE

ISSUE

LEGEND

SYMBOL	DESCRIPTION
	Property Line
	Architectural Lighting, Per Arch.
	Sidewalk (Below), per Civil
	Pavers (On Pedestal)
	SynLawn
	Groundcover
	Wood Deck
	Low Accent/Seat Walls
	Integrated Furniture
	Raised Steel Planters
	Container Plantings
	Shade Trees

PLANT SCHEDULE

THIRD FLOOR TREES				
ABBRV	QTY.	SIZE	BOTANICAL NAME	COMMON NAME
AC	5	8" B&B	<i>Acer circinatum</i>	Vine Maple

THIRD FLOOR CONTAINER PLANTINGS (SHRUBS)				
ABBRV	QTY.	SIZE	BOTANICAL NAME	COMMON NAME
POD	37	5 GAL.	<i>Physocarpus opulifolius 'Dart's Gold'</i>	Dart's Gold Ninebark

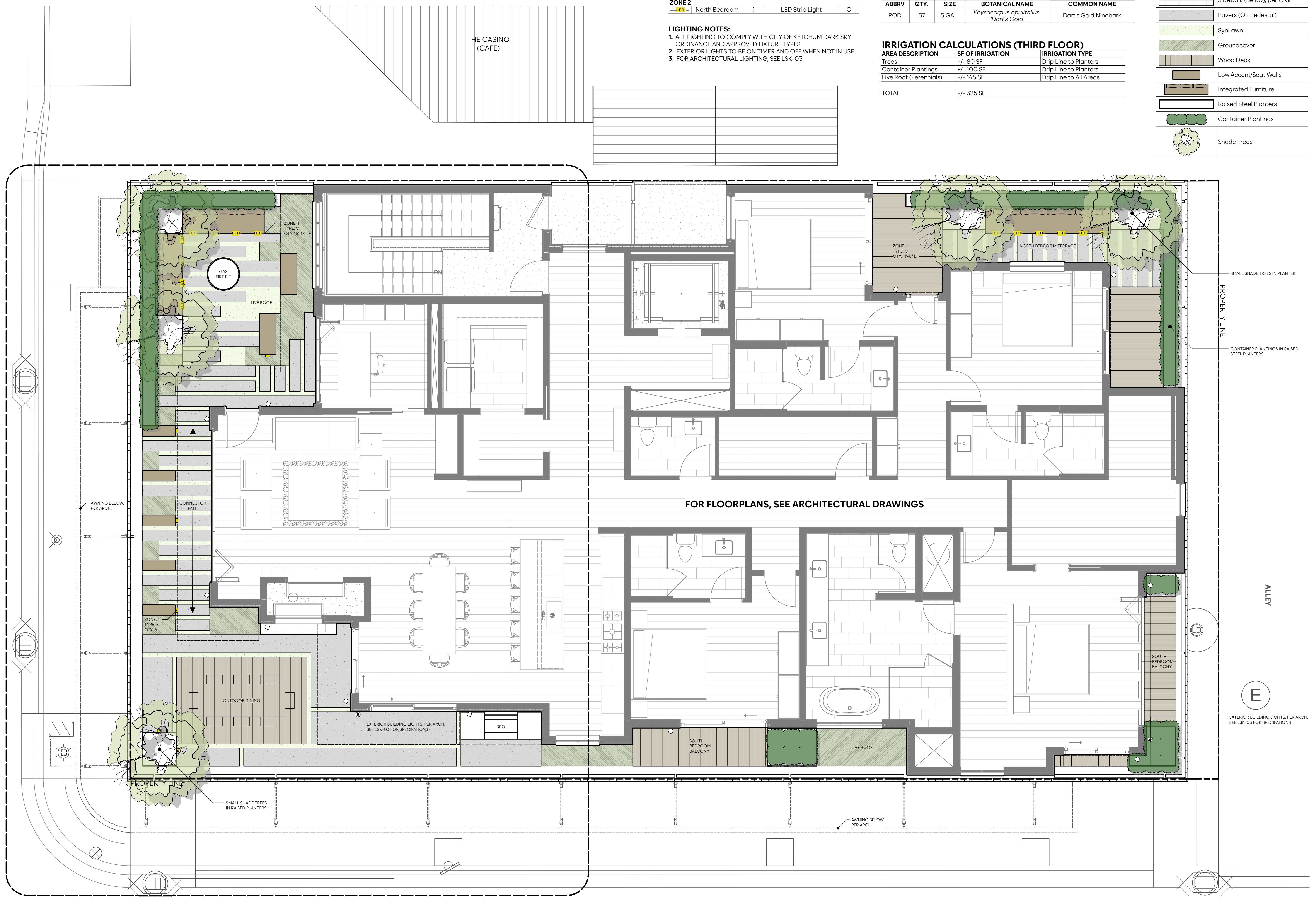
IRRIGATION CALCULATIONS (THIRD FLOOR)

AREA DESCRIPTION	SF OF IRRIGATION	IRRIGATION TYPE
Trees	+/- 80 SF	Drip Line to Planters
Container Plantings	+/- 100 SF	Drip Line to Planters
Live Roof (Perennials)	+/- 145 SF	Drip Line to All Areas
TOTAL	+/- 325 SF	

LIGHTING ZONE SCHEDULE

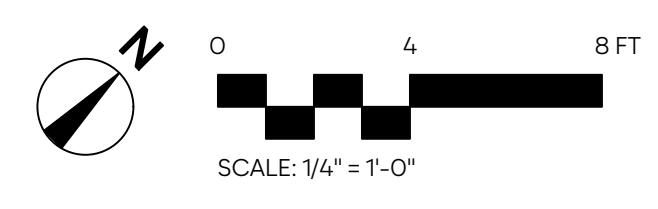
SYMB	LOCATION	QTY.	FIXTURE	TYPE
ZONE 1				
LED	Dining + Fire Pit	2	LED Strip Light	C
LED	Dining + Fire Pit	6	Wall Light (Recessed)	B
ZONE 2				
LED	North Bedroom	1	LED Strip Light	C

- LIGHTING NOTES:**
- ALL LIGHTING TO COMPLY WITH CITY OF KETCHUM DARK SKY ORDINANCE AND APPROVED FIXTURE TYPES.
 - EXTERIOR LIGHTS TO BE ON TIMER AND OFF WHEN NOT IN USE
 - FOR ARCHITECTURAL LIGHTING, SEE LSK-03



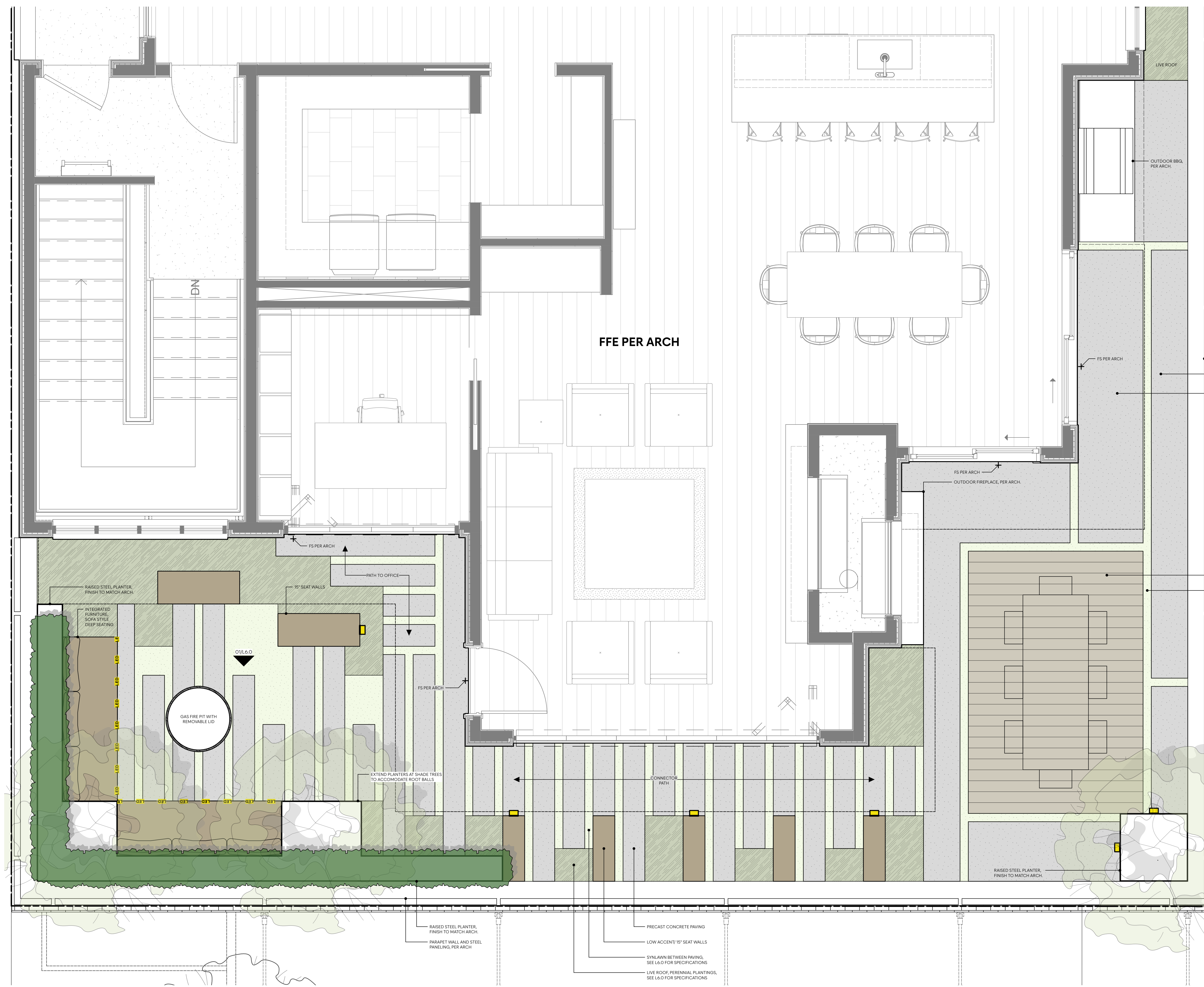
FOR WEST TERRACE, SEE L5.1
NOTE: PLAN ROTATION OF 90° ON L5.1

SECOND STREET EAST



SYMBOL	DESCRIPTION
	Property Line
	Architectural Lighting, Per Arch.
	Sidewalk (Below), per Civil
	Pavers (On Pedestal)
	SynLawn
	Groundcover
	Wood Deck
	Low Accent/Seat Walls
	Integrated Furniture
	Raised Steel Planters
	Container Plantings
	Shade Trees

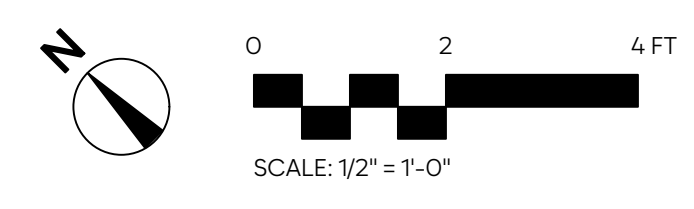
- THIRD FLOOR TERRACE NOTES:**
1. DRAINAGE TIES IN TO ROOF DRAIN SYSTEM. SEE ARCHITECTURAL DRAWING SET.
 2. ALL LOAD CALCULATIONS AND ENGINEERING, PER STRUCTURAL ENGINEER. SEE STRUCTURAL DRAWING SET.
 3. DRIP IRRIGATION TO ALL PLANTERS AND LIVE ROOF AREAS

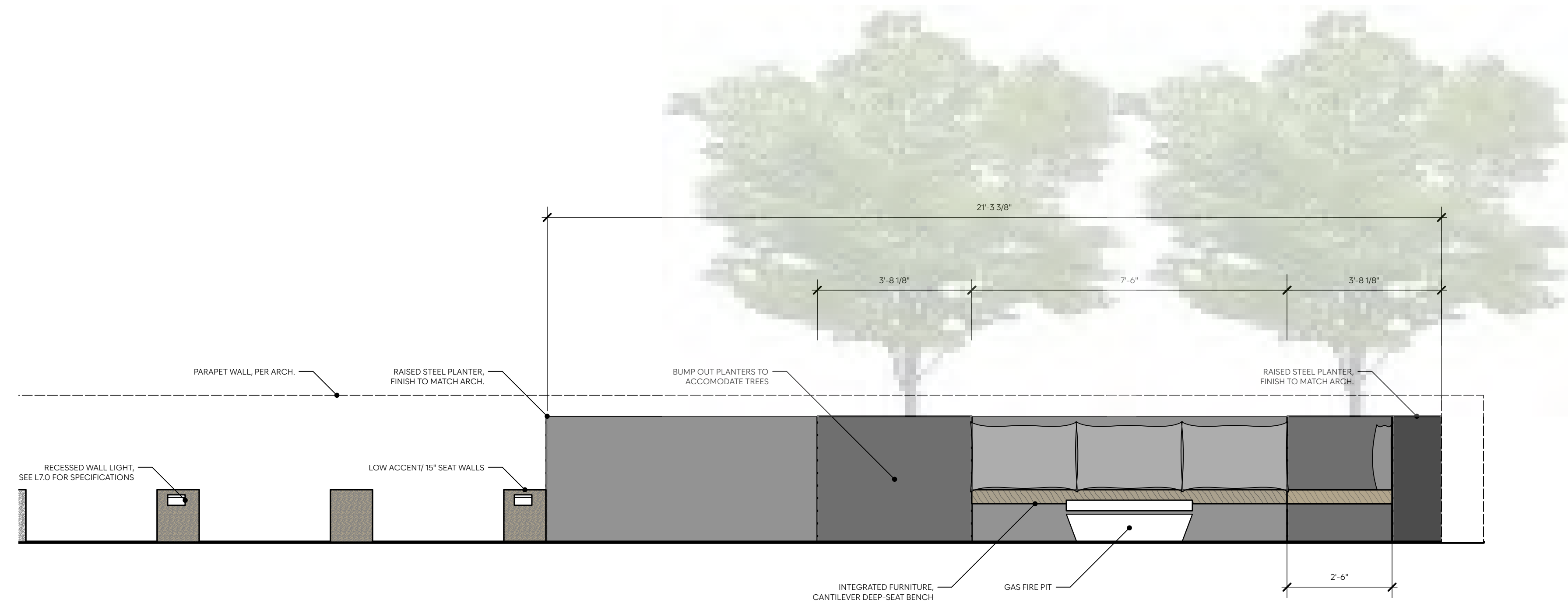


PARAPET WALL AND STEEL PANELING, PER ARCH
SYNLAWN BETWEEN PAVING, SEE L6.0 FOR SPECIFICATIONS
PRECAST CONCRETE PAVING, FINAL LAYOUT AND PATTERN, TBD

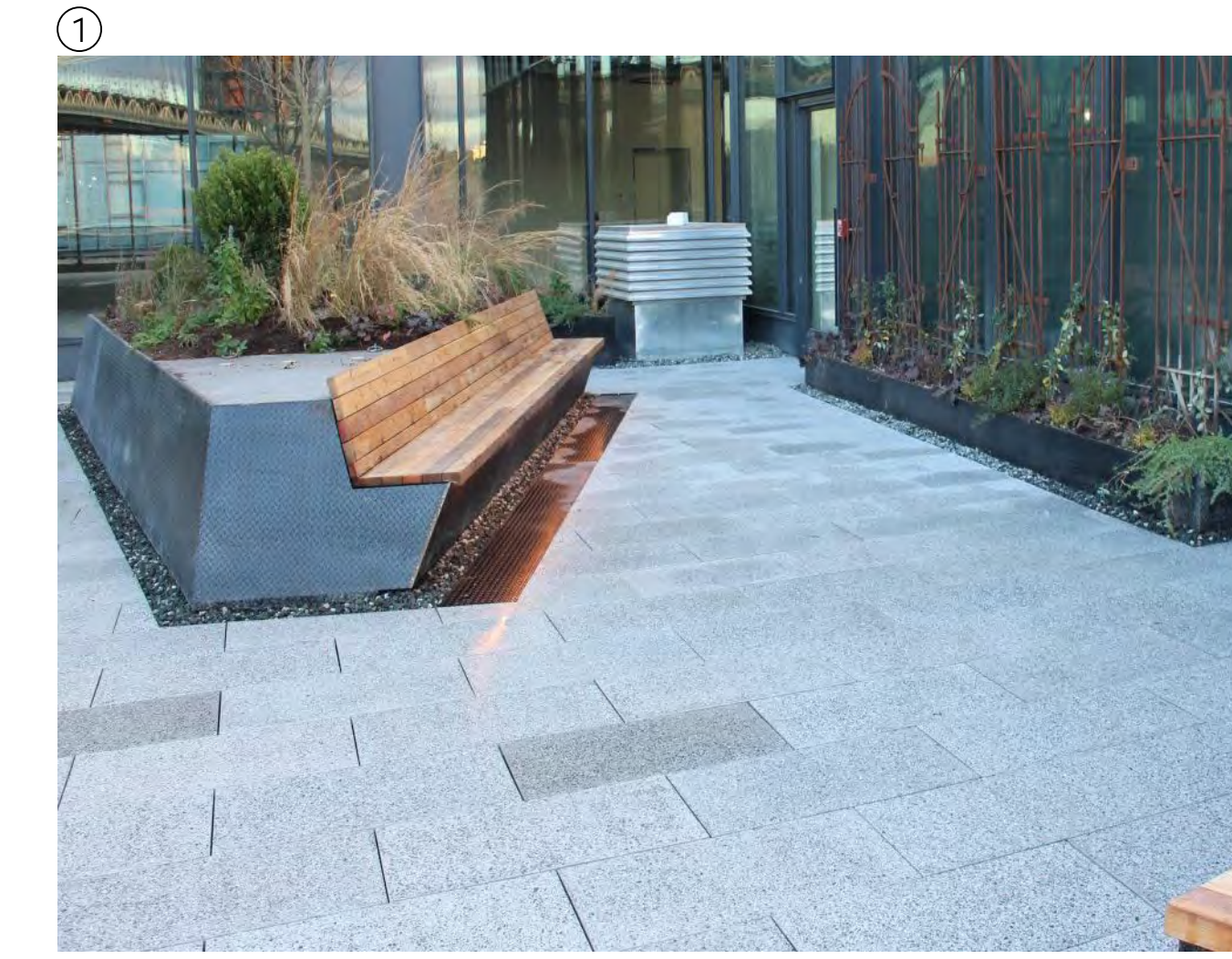
WOOD DECK AT OUTDOOR DINING
SYNLAWN BETWEEN PAVING, SEE L6.0 FOR SPECIFICATIONS

RAISED STEEL PLANTER, FINISH TO MATCH ARCH.
PARAPET WALL AND STEEL PANELING, PER ARCH
PRECAST CONCRETE PAVING
LOW ACCENT/15" SEAT WALLS
SYNLAWN BETWEEN PAVING, SEE L6.0 FOR SPECIFICATIONS
LIVE ROOF, PERENNIAL PLANTINGS, SEE L6.0 FOR SPECIFICATIONS





01 INTEGRATED SEATING AND RAISED PLANTER AT FIRE PIT ELEVATION
Scale: 1/2" = 1'-0"



MATERIALS KEY

- ① PAVER
FINISH: GREY (NATURAL)
- ② WOOD DECKING
MATERIAL: THERMORY
FINISH: NONE
- ③ WALL LIGHT
FINISH: BLACK
- ④ STEEL PLANTERS
FINISH: BLACK
- ⑤ WOOD BENCHES
MATERIAL: WALNUT
FINISH: CLEAR COAT

PROJECT NAME + ADDRESS

1/16/24

ISSUE DATE

DESIGN REVIEW -
LANDSCAPE

DRAWING SET TYPE

DRAWN BY

1/16/24 10:00:31 AM

PLOT DATE

ISSUE

L6.0

THIRD FLOOR
TERRACES:
MATERIALS +

STREETSCAPE AND AMENITIES SPECIFICATIONS

LiveRoof DEEP SYSTEM
Over Conventional Roofing Assembly

SIDE VIEW

LiveRoof Module
LiveRoof Engineered Soil
LiveRoof Green Roof Plants (Minimum 95% Soil Coverage at Installation)
Approved Slip Sheet (Root Barrier / Protection Layer) ***
EPDM, TPO or PVC Waterproofing Membrane Fully Adhered or Mechanically Fastened Coverboard
Fully Adhered or Mechanically Fastened Insulation

Provided by others

6.00
2.98
0.38

TOP VIEW (Empty Module)

Drainage Holes
Ergonomic Handles

18.00
24.00

*** Examples of commonly used slip sheet include minimum 40mil EPDM, TPO, PVC polypropylene, Polyolefin or other product depending type of roof and warranty. Installer to confirm compatibility of slip sheet and waterproofing membrane with waterproofing membrane manufacturer.

LiveRoof System Saturated Weight: 40-50 lbs / sf + Retention Layer (if/ies)

NOT TO SCALE

DEEP Conventional 2022-11-8

LiveRoof LLC
P.O. Box 533
Spring Lake, MI 49456

(800) 875-1392
www.liveroof.com

LiveRoof

01 LIVE ROOF SYSTEM / DEEP
Scale: NTS

SYNLAWN
Plant-Based Artificial Grass

PRODUCT SPECIFICATIONS

ROOFDECK PLATINUM

Nylon fibers give this grass guaranteed resistance against melting from reflective light, along with an ASTM CERTIFIED E108 CLASS A FIRE-RATING for the highest level of safety and security. Ideal for rooftops, decks, and patios, indoors or out.

SUPER YARN™ TECHNOLOGY

SANITIZED™ ANTIMICROBIAL
DUALCHILL™ IR REFLECTIVE
STATBLOCK™ ANTI-STATIC

- UNMATCHED LIFETIME WARRANTY
- UV PROTECTED FROM REFLECTING LIGHT
- IDEAL FOR HIGH-TRAFFIC ROOFTOPS AND DECKS
- ASTM E108 CLASS A FIRE RATING

ASK ABOUT OUR...
USDA CERTIFIED ORGANIC INFILL SYSTEM

SYNLawn® 547 is a USDA Certified Bio-Based artificial grass system in combination with organic infill, able to display a unique USDA label highlighting its percentage of bio-based content.

USDA CERTIFIED BIOBASED PRODUCT

MADE IN U.S.A.

SYNLAWN.COM • SYNLAWN@GOLF.COM • (866) 798-5298

SPECIFICATIONS SUBJECT TO CHANGE 02/07/2023

02 SYNLAWN
Scale: NTS

OUTDOOR LIGHTING SPECIFICATIONS

FSLED™ Step lights

- Easy installation into a recessed 2" x 4" j-box
- Deep recess of light source eliminates glare
- Concealed hardware for a clean, sophisticated look
- Low power consumption (only 3W)
- Available in bronze, black, white and silver
- Available in 2700K, 3000K, and 4000K
- Suitable for both indoor and outdoor use
- Vertical and horizontal models, either with surface plate or trimless

Specifications

UL Listing: Suitable for wet locations
IP Rating: Rated IP66, protected against dust and water ingress
LEDs: Long-life, high-efficiency surface mount LEDs
Current: 120V: 0.108A, 300mA, PF 95% 277V: 0.201A, 550mA, PF 95%
Lifespan: 100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations

Color Temperature	4000K	3000K	2700K
Input Watts	3	3	3
Output Lumens*	94	88	82
Color Accuracy (CRI)*	82	82	79

Housing: Precision die-cast aluminum
Ambient Temperature: Suitable for use in 40°C (104°F) ambient temperatures
Cold Weather Starting: The minimum starting temperature is -40°C (-40°F)
Mounting: Recessed junction box. Trim and trimless models available.
Lens: Tempered glass
Gaskets: High-temperature silicone
Finish: Our environmentally friendly polyester powder coatings are formulated for high-durability and long-lasting color, and contain no VOC, or toxic heavy metals.
Green Technology: Mercury and UV free, and RoHS compliant.
*Performance for white models. For performance of bronze, black and silver, visit ashboard.com

Dimensions and weight

Surface Plate Models
Weight: 0.55 lb

Trimless Models
Weight: 0.55 lb

Photometrics

FSLED Horizontal 1" 6" Mounting Height
Photometric Report #1517-16

FSLED Vertical 1" 6" Mounting Height
Photometric Report #1517-16

Grid scales: Multiples of mounting height - Values shown in foot-candles

Ordering information

Product Family: FSLED
Orientation: H (Horizontal), V (Vertical)
Wattage: 3 (3W)
Color Temperature: YY (4000K, 3000K, 2700K)
Finish: B (Blank), W (White), Black, Matte Silver
Voltage: /120 (120V, 277V)
Trim Options: Blank, Surface Plate, Trimless Mount

03 RECESSED STEP LIGHT (TYPE B)
Scale: NTS

aspectLED
A WILSON TOOL COMPANY

N-SERIES (NARROW) FLEXIBLE LED STRIP LIGHT
Standard Bright (18 LEDs/foot)

MODEL: AL-SL-N-S

Description

aspectLED's Flexible LED strip lights are a perfect solution for a wide variety of architectural and accent lighting applications including: cove lighting, under-cabinet lighting, back-lighting, pathway lighting and decorative lighting. Our Standard Bright N-Series (narrow) flexible LED strip lights are made with wire leads on both ends of each 16.4' reel and can be cut every 2" (12VDC), allowing you to cut pieces to the exact length that you need.

Learn more

UL LISTED, RoHS Compliant, 1YR WARRANTY, DIMMABLE

www.aspectLED.com | 888.503.1317 | sales@aspectled.com
For general information purposes only. Specifications, dimensions and construction not guaranteed and are subject to change without notice. Copyright © 2020 ASP Holdings, Inc. All rights reserved.

4900 Constellation Drive | Saint Paul, MN 55127

04 STRIP LIGHT (TYPE C)
Scale: NTS

N-SERIES (NARROW) FLEXIBLE LED STRIP LIGHT
MODEL: AL-SL-N-S

Specifications

	NON-WATERPROOF	WATER RESISTANT	WATERPROOF
Dimensions	5/16" (8mm) wide 1/16" (2mm) thick 16.4' (5M) long	5/16" (8mm) wide 1/8" (2.6mm) thick 16.4' (5M) long	7/16" (11mm) wide 3/16" (4mm) thick 16.4' (5M) long
Distance Between LEDs	9/16" (14mm)	9/16" (14mm)	9/16" (14mm)
Cut Length	12VDC: 2" (50.8mm) 24VDC: 4" (100.16mm)	12VDC: 2" (50.8mm) 24VDC: 4" (100.16mm)	12VDC: 2" (50.8mm) 24VDC: 4" (100.16mm)
IP Rating	IP20 Indoor Use, Dry Location	IP65 Splash Resistant	IP68 Submersible
Adhesive Backing	Yes / 3M Adhesive	Yes / 3M Adhesive	No
Mounting Method	Adhesive Backing	Adhesive Backing	Mounting Straps or Adhesive Caulk
Input Voltage	12VDC or 24VDC	12VDC or 24VDC	12VDC or 24VDC
Beam Angle	120 Degrees	120 Degrees	120 Degrees
Dimmable	Yes	Yes	Yes
Max Power Consumption	1.46 Watts per foot (4.8 Watts per meter)	1.46 Watts per foot (4.8 Watts per meter)	1.46 Watts per foot (4.8 Watts per meter)
Max Luminous Flux	Up to 124 Lumens per foot (varies by LED color)	Up to 124 Lumens per foot (varies by LED color)	Up to 124 Lumens per foot (varies by LED color)
LED Color	Soft White, Warm White, Neutral White, DayWhite (formerly Cool White), Blue, Green, Red, Yellow	Soft White, Warm White, Neutral White, DayWhite (formerly Cool White), Blue, Green, Red, Yellow	Soft White, Warm White, Neutral White, DayWhite (formerly Cool White), Blue, Green, Red, Yellow
Color Temperature	Soft White = 2700K Warm White = 3000K Neutral White = 4000K DayWhite = 6000K	Soft White = 3500K Warm White = 3800K Neutral White = 4900K DayWhite = 7000K	Soft White = 3500K Warm White = 3800K Neutral White = 4900K DayWhite = 7000K
LED Type	SMD 3528 LED Chips	SMD 3528 LED Chips	SMD 3528 LED Chips
LED Quantity	18 LEDs per foot (300 per reel)	18 LEDs per foot (300 per reel)	18 LEDs per foot (300 per reel)
Max Run	16.4 feet @ 12VDC 32 feet @ 24VDC	16.4 feet @ 12VDC 32 feet @ 24VDC	16.4 feet @ 12VDC 32 feet @ 24VDC
Weight	0.4 lbs per reel	0.6 lbs per reel	1.0 lbs per reel
Estimated Lifespan	50,000 hours	50,000 hours	50,000 hours
Warranty	1 Year	1 Year	1 Year
Suitable Uses	Dry Location Only	Dry or Damp Locations	Dry, Damp or Wet Locations
Standards/Certifications	UL Listed, RoHS	UL Listed, RoHS	UL Listed, RoHS

www.aspectLED.com | 888.503.1317 | sales@aspectled.com
For general information purposes only. Specifications, dimensions and construction not guaranteed and are subject to change without notice. Copyright © 2020 ASP Holdings, Inc. All rights reserved.

4900 Constellation Drive | Saint Paul, MN 55127

LIGHT TRESSPASS

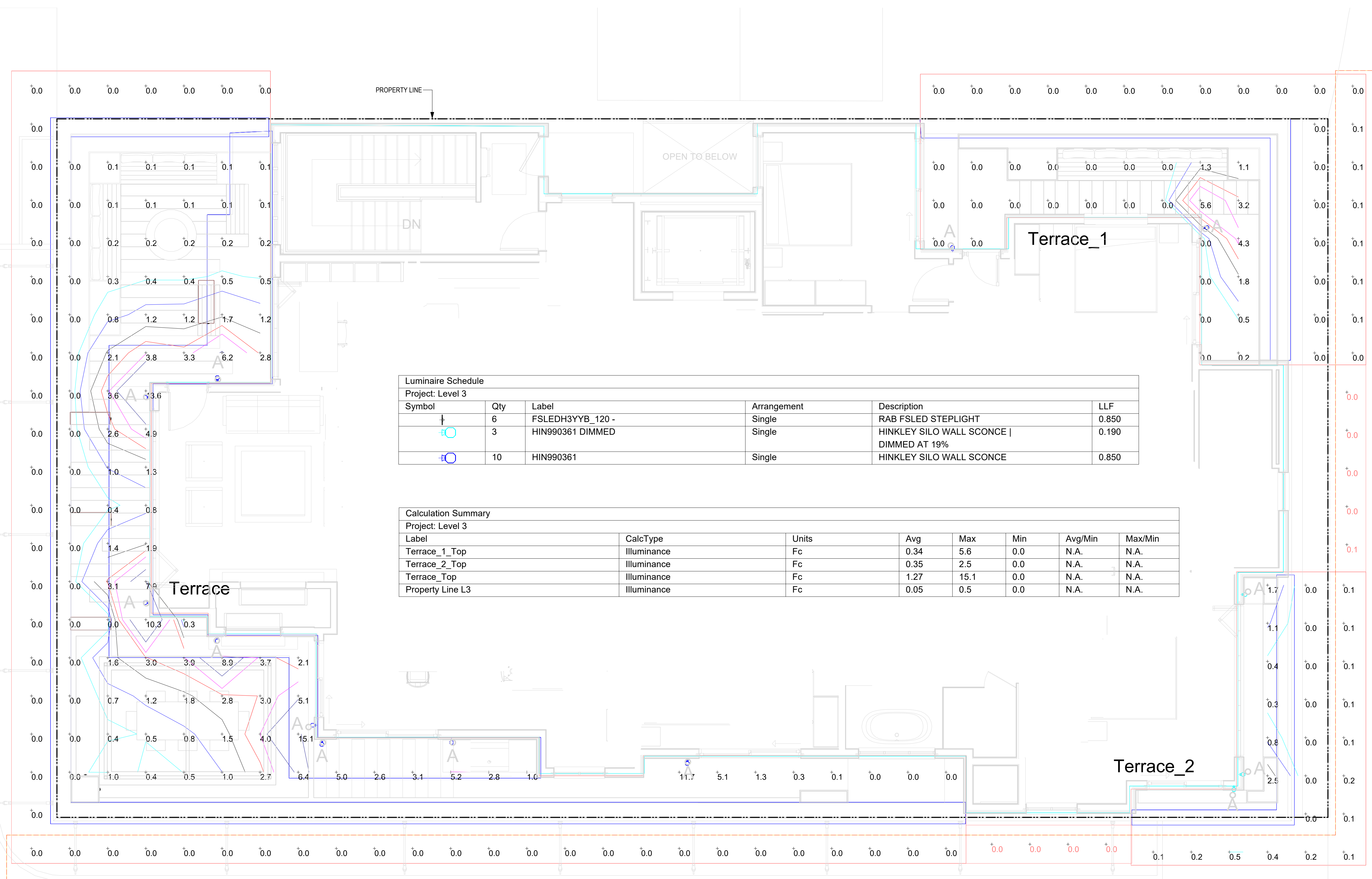
Illuminance (Fc)
Average = 0.20
Maximum = 0.8
Minimum = 0.0

Property Line L1

Illuminance (Fc)
Average = 0.19

Luminaire Schedule					
Project: Level 1					
Symbol	Qty	Label	Arrangement	Description	LLF
☐	5	2302BK_1	Single	HINKLEY ARIA PENDANT DIMMED AT 15%	0.150
☐	5	Finiré 3" SQ DL 17W XX 40° 2_ DIMMED_1	Single	LUTRON FINIRE DOWNLIGHT DIMMED AT 25%	0.250
☐	7	Finiré 3" SQ DL 17W XX 40° 2_ DIMMED	Single	LUTRON FINIRE DOWNLIGHT DIMMED AT 8%	0.080
☐	2	HIN990361 DIMMED	Single	HINKLEY SILO WALL SCONCE DIMMED AT 19%	0.190
☐	6	2302BK	Single	HINKLEY ARIA PENDANT DIMMED AT 40%	0.400

Calculation Summary							
Project: Level 1							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Bar_Planar	Illuminance	Fc	5.34	6.4	3.6	1.48	1.78
GROUNDPLANE 1_Planar	Illuminance	Fc	0.93	5.6	0.0	N.A.	N.A.
Tabletop_1_Tabletop_1	Illuminance	Fc	5.48	8.0	3.4	1.61	2.35
Tabletop_2_Planar	Illuminance	Fc	4.50	6.7	1.9	2.37	3.53
Tabletop_3_Planar	Illuminance	Fc	3.53	3.8	3.2	1.10	1.19
Tabletop_4_Planar	Illuminance	Fc	4.53	5.0	4.0	1.13	1.25
LIGHT TRESSPASS	Illuminance	Fc	0.20	0.8	0.0	N.A.	N.A.
Property Line L1	Illuminance	Fc	0.19	0.7	0.0	N.A.	N.A.



ILLUMINANCE AVG
OUTSIDE OF
PROPERTY LINE

Property Line L3


Illuminance (Fc)
Average = 0.05

Luminaire Schedule					
Project: Level 3					
Symbol	Qty	Label	Arrangement	Description	LLF
⬇	6	FSLEDH3YYB_120 -	Single	RAB FSLED STEPLIGHT	0.850
⊖	3	HIN990361 DIMMED	Single	HINKLEY SILO WALL SCONCE DIMMED AT 19%	0.190
⊖	10	HIN990361	Single	HINKLEY SILO WALL SCONCE	0.850

Calculation Summary							
Project: Level 3							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Terrace_1_Top	Illuminance	Fc	0.34	5.6	0.0	N.A.	N.A.
Terrace_2_Top	Illuminance	Fc	0.35	2.5	0.0	N.A.	N.A.
Terrace_Top	Illuminance	Fc	1.27	15.1	0.0	N.A.	N.A.
Property Line L3	Illuminance	Fc	0.05	0.5	0.0	N.A.	N.A.

Lightology Silo Dark Sky Outdoor Wall Sconce
ITEM NUMBER: HIN950361

DESCRIPTION
The Silo Dark Sky Outdoor Wall Sconce is the perfect addition to exteriors from coastal to modern. The compact design blends seamlessly into your space. Dark Sky Ordinance was developed as outdoor lighting standards that reduce glare, light trespass, and sky glow. Coated with anti-fading finishes, for maximum durability in harsh climates. Note: Title 24 Compliant with included bulb.



Shown in: Black / Etched Glass

SHADE COLOR	Etched Glass
BODY FINISH	Black
WATTAGE	6.5W
DIMMER	Low Voltage Electronic
DIMENSIONS	4.5W x 8.1H x 5.5D (in)
BULB INCLUDED	1 x HIN950361/04/05/06/07/08/09/10/11/12/13/14/15/16/17/18/19/20/21/22/23/24/25/26/27/28/29/30/31/32/33/34/35/36/37/38/39/40/41/42/43/44/45/46/47/48/49/50/51/52/53/54/55/56/57/58/59/60/61/62/63/64/65/66/67/68/69/70/71/72/73/74/75/76/77/78/79/80/81/82/83/84/85/86/87/88/89/90/91/92/93/94/95/96/97/98/99/100
TECHNICAL INFORMATION	
LUMINOUS FLUX	500 Lumens
LUMENS/WATT	76.92
LAMP COLOR	2700 K
COLOR RENDERING	80 CRI

ITEM NUMBER: HIN950361

COMPANY: PROJECT: SYSTEM TYPE: APPROVED BY: DATE:

Lightology.com | 1-800-854-8441

WALL SCONCE ('A')
- MOUNTING HEIGHT 7'6" UON ON LIGHTING PLANS

LUTRON Finire 3" Specifications

High-Performance LED

Finire Model	Standard	Warm Dimming
CRI (Typical)	95, R9-R5	95, R9-R5
Lumens (Delivered)	650-1750	800
Wattage	15	15
Efficacy (Lumens/Watt)	30-65	50

Lens & Finish Options for Every Ceiling Type

Micro Prism Solite™	Frosted Glass	Wall Wash	No Lens
---------------------	---------------	-----------	---------

Note: All lens and finish options (except no lens) are wet (damp) location rated for covered, ceiling mount interior or exterior applications.

Matte White*	Matte Black*	Silver*	Bronze*	Silver/White**	Clear Anodized/White**	Clear Chrome/White**	Black Chrome/White**
--------------	--------------	---------	---------	----------------	------------------------	----------------------	----------------------

Housings

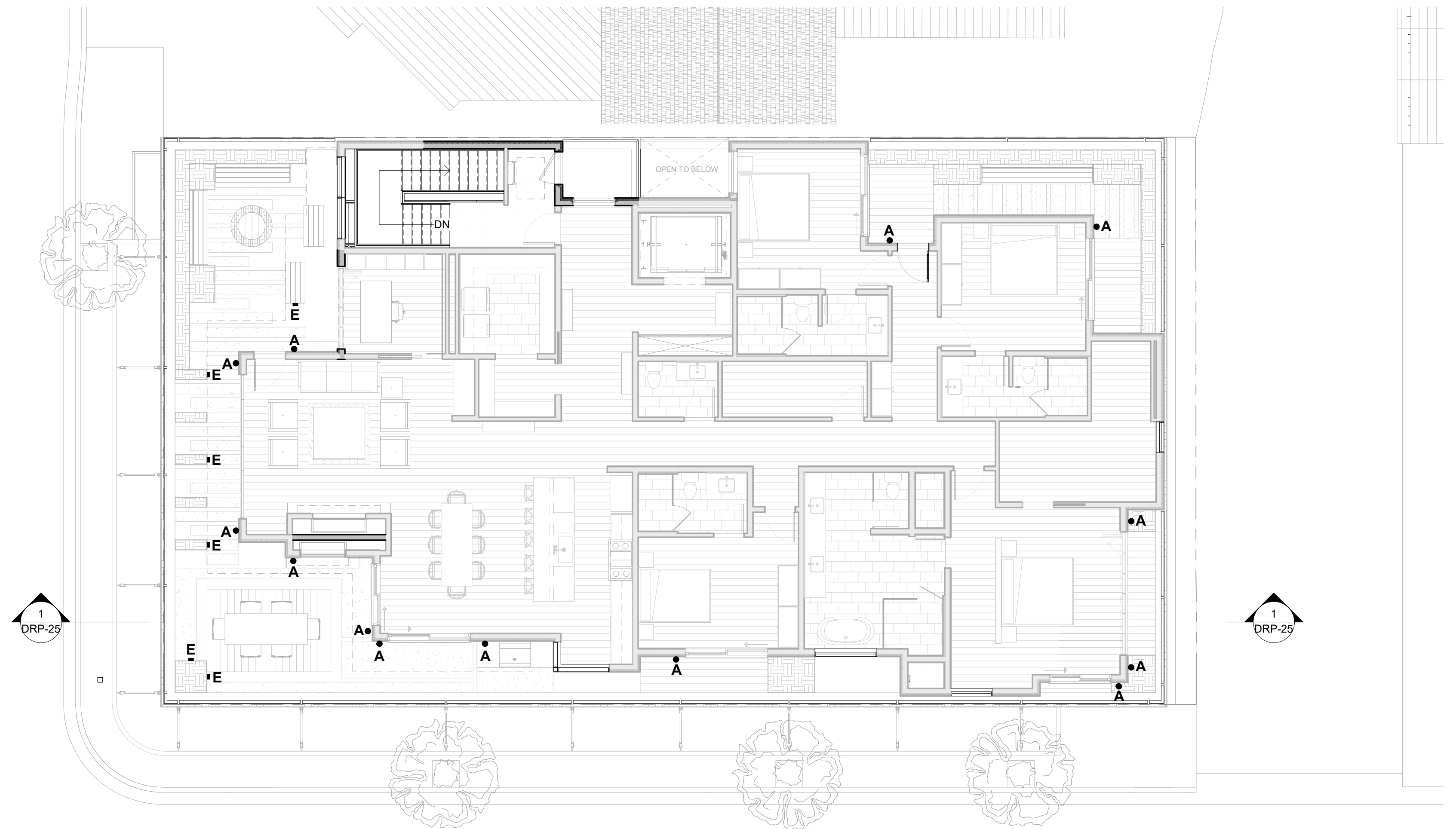
IC housing: 18.9 in. Non-IC housing: 13.6 in.

Field Changeable Beam Angles

15°, 30°, 40°, 55°, Wall Wash (trim lens option)

RECESSED CAN LIGHTS ('B')
- MOUNTING HEIGHT 12" UON ON LIGHTING PLANS

RECESSED CAN STREETLIGHTS ('D')
- MOUNTING HEIGHT 12"
- TO BE METERED SEPARATELY AND DIMMED PER CITY STANDARDS (TO BE DEVELOPED)



THIRD FLOOR EXTERIOR LIGHTING
1/8" = 1'-0" 2

HINKLEY ARIA 2302BK MEDIUM HANGING LANTERN

Aria is a contemporary style that effortlessly complements the facade of any exterior. Its modern shape in durable aluminum is enhanced by a stainless steel mesh shade. Aria's high style and low maintenance comes standard Dark Sky compliant!

DETAILS	
FINISH	Black
MATERIAL	Aluminum
SLOPE DEGREE	90

DIMENSIONS	
WIDTH	5.3"
HEIGHT	15.8"
WEIGHT	2.8lb

LIGHT SOURCE	
LIGHT SOURCE	LED Lamp
LED NAME	SL99020-30K
VOLTAGE	120V
COLOR TEMP.	3000*
LUMENS	325
CRI	90
INCANDESCENT EQUIVALENCY	1 x 50w
DIMMABLE	Yes - CL Type Dimmer (SBLTA)

MOUNTING

CANOPY	6" Dia.
LEAD WIRE	1 x 120"
MAX HEIGHT	48"

SHIPPING

CARTON LENGTH	22.5"
CARTON WIDTH	8.5"
CARTON HEIGHT	9"
CARTON WEIGHT	14"

*RELAMP WITH 7 WATT, 2700K BULB

PRODUCT DETAILS:

- This stem hung fixture may be hung on a sloped ceiling
- This fixture includes multiple down stems in various lengths to customize the installation height of the fixture, including one 6" stem and two 12" stems.
- Suitable for use in damp locations as defined by NEC and CEC. Meets United States UL Underwriters Laboratories & CSA Canadian Standards Association Product Safety Standards.
- Fixture is Dark Sky compliant and engineered to minimize light glare upward into the night sky
- 2 year finish warranty
- LED Bulbs carry a 3-year limited warranty
- All-in-one fixture design comes with an LED bulb
- Angular lines, a bold finish and robust details create an industrial edge to add flair to any type of facade

HINKLEY 3300 Pin Oak Parkway Aston Lake, OH 44012 PHONE: (440) 653-5500 hinkley.com

HANGING LANTERN ('C')
- MOUNTING HEIGHT 8'6" UON ON LIGHTING PLANS
- REFER TO LANDSCAPE DRAWINGS FOR ADDTL. INFO.

FSLED™ Step lights

- Easy installation into a recessed 2" x 4" jbox
- Deep recess of light source eliminates glare
- Concealed hardware for a clean, sophisticated look
- Low power consumption (only 3W)
- Available in bronze, black, white and silver
- Available in 2700K, 3000K, and 4000K
- Suitable for both indoor and outdoor use
- Vertical and horizontal models, either with surface plate or trimless

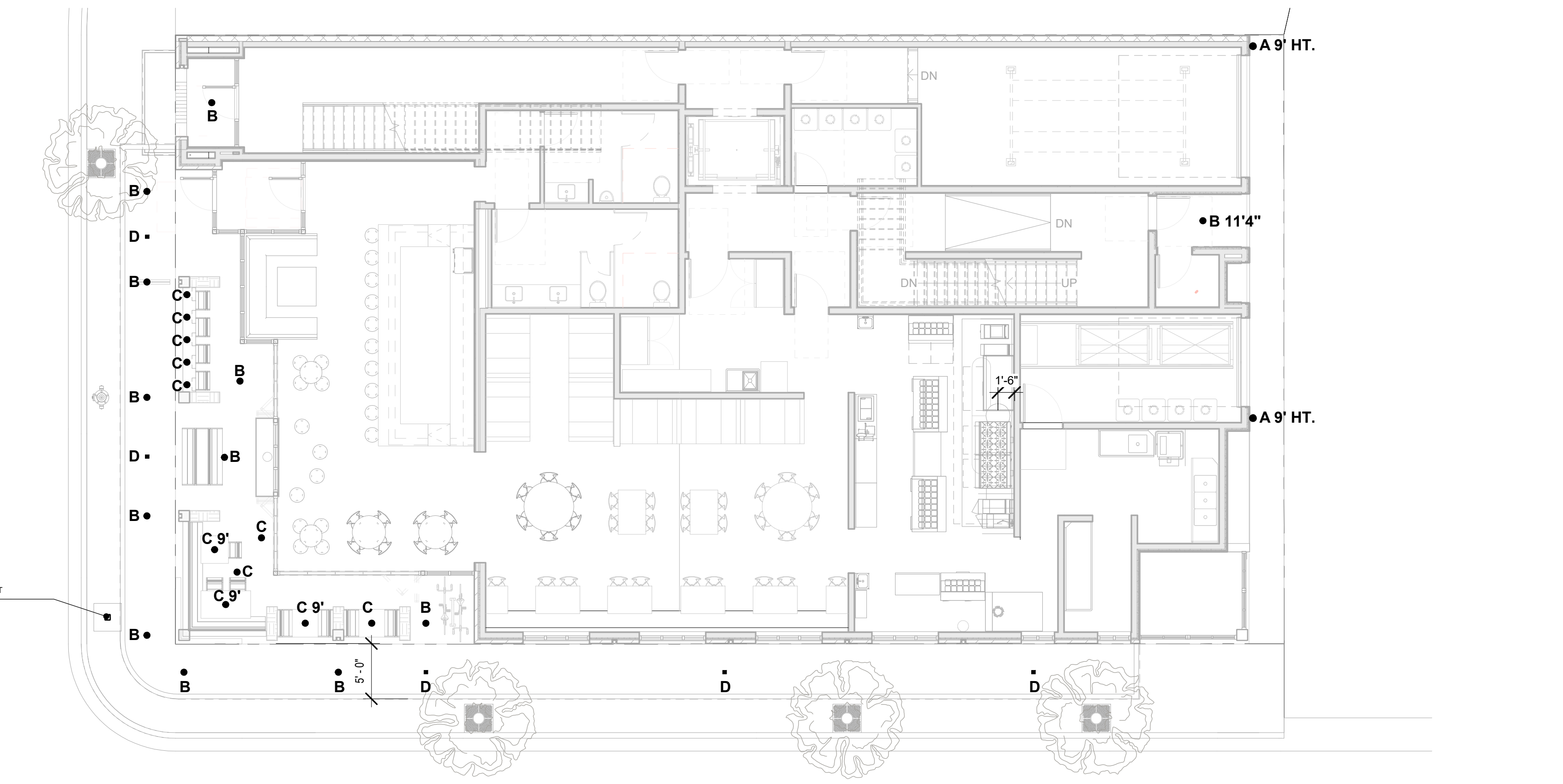
Specifications

UL Listing: Suitable for wet locations
IP Rating: Rated IP65, protected against dust and water ingress
LEDs: Long-life, high-efficiency surface mount LEDs
Current: 120V: 0.108A, 300mA, PF 95% 277V: 0.201A, 550mA, PF 95%
Lifetime: 100,000-hour LED lifespan based on IES LM-80 results and TM-21 calculations
Color Temperature: 4000K, 3000K, 2700K
Input Watts: 3, 3, 3
Output Lumens*: 84, 88, 82
Color Accuracy (CRI)*: 82, 82, 79

Ordering information

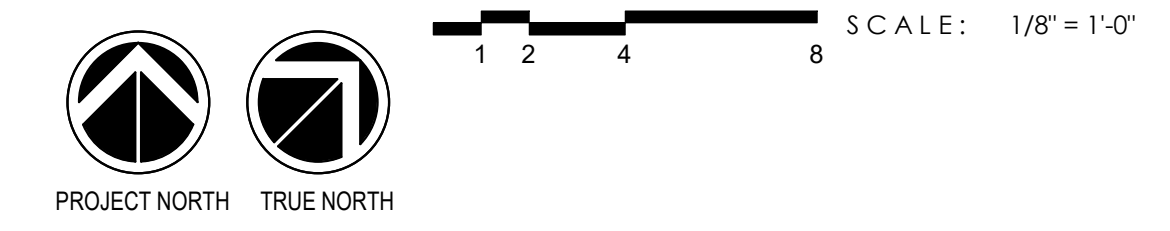
Finish	Color	Mounting	Voltage	Level	Options
FSLED	H Horizontal	1' 6"	120V	Blank	Surface Plate
	V Vertical	1' 6"	277V	Black	Trimless Mount
		3' 0"		White	
				Black	
				Matte Silver	

STEP LIGHTS ('E')
- MOUNTING HEIGHT 12" UON ON LIGHTING PLANS
- REFER TO LANDSCAPE DRAWINGS FOR ADDTL. INFO.



FIRST FLOOR EXTERIOR LIGHTING
1/8" = 1'-0" 1

PROPOSED LIGHTING PLANS AND SPECIFICATIONS



LIGHTING NOTES:

-ALL PROPOSED EXTERIOR LIGHTS COMPLY WITH KETCHUM MUNICIPAL CODE DARK SKIES CHAPTER 17.132.

200 NORTH MAIN

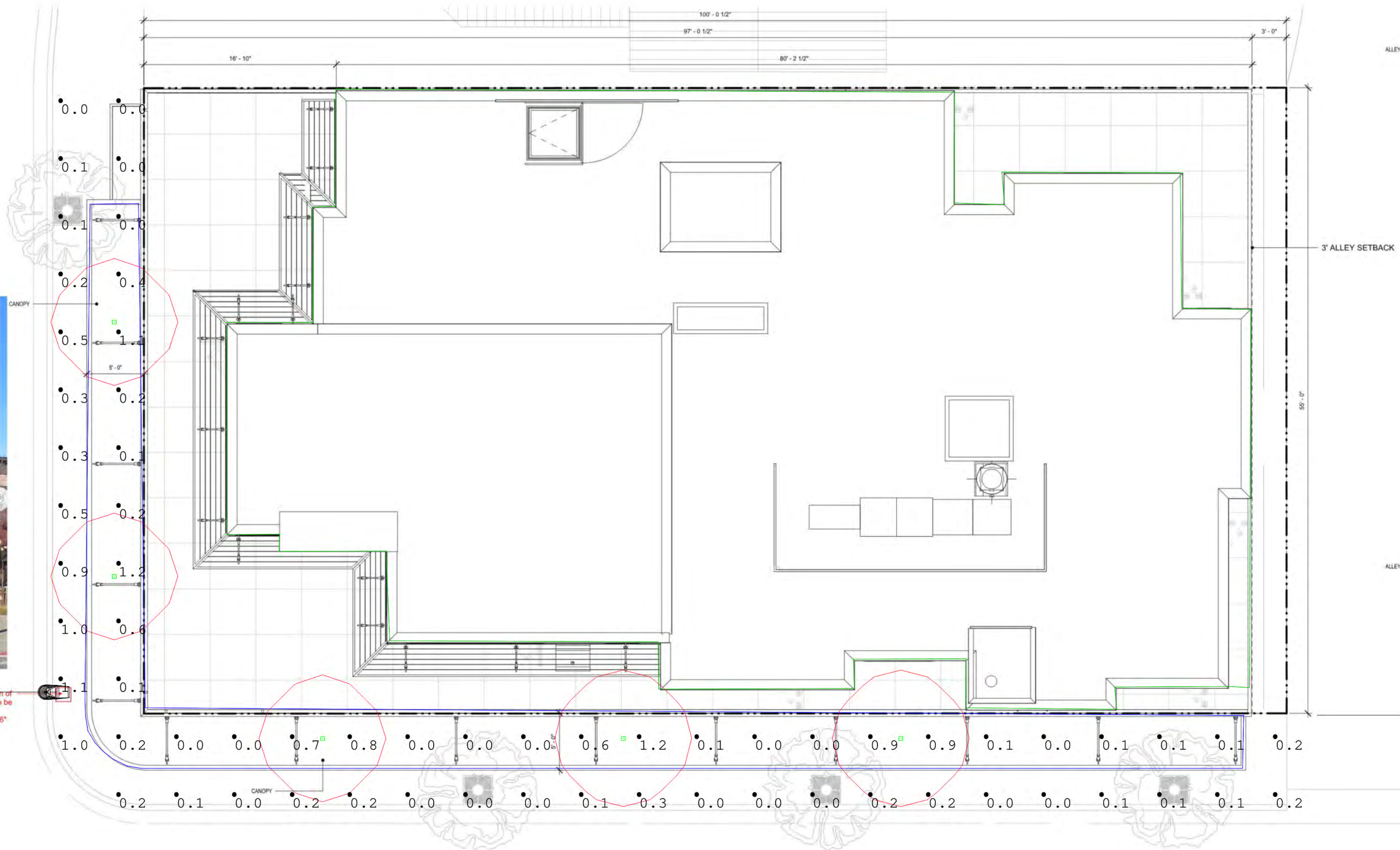
200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024





Approximate location of existing streetlight to be re-lamped
Fixture height: ±16'-6"



Approximate location of power pole-mounted light
Fixture height: ±23'-0"

Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
☐	1	ERLC_03C527-120-277V	SINGLE	N.A.	0.900	ERLC_03C527-120-277V
☐	1	800 Lumens ERLC	SINGLE	N.A.	0.300	ERLC_03C527-120-277V
☐	3	LFR 4%	SINGLE	N.A.	0.040	LFR-4SQDS-M-15L35K8MD-DM1_LFR-4SQDS-T-S
☐	2	LFR 5%	SINGLE	N.A.	0.050	LFR-4SQDS-M-15L35K8MD-DM1_LFR-4SQDS-T-S

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Calc Points	Illuminance	Fc	0.28	1.2	0.0	N.A.	N.A.

PHOTOMETRIC PLAN PREPARED BY THE MH COMPANIES

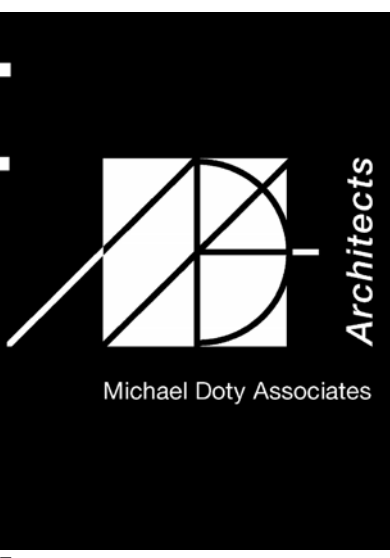
STREETLIGHT PHOTOMETRIC

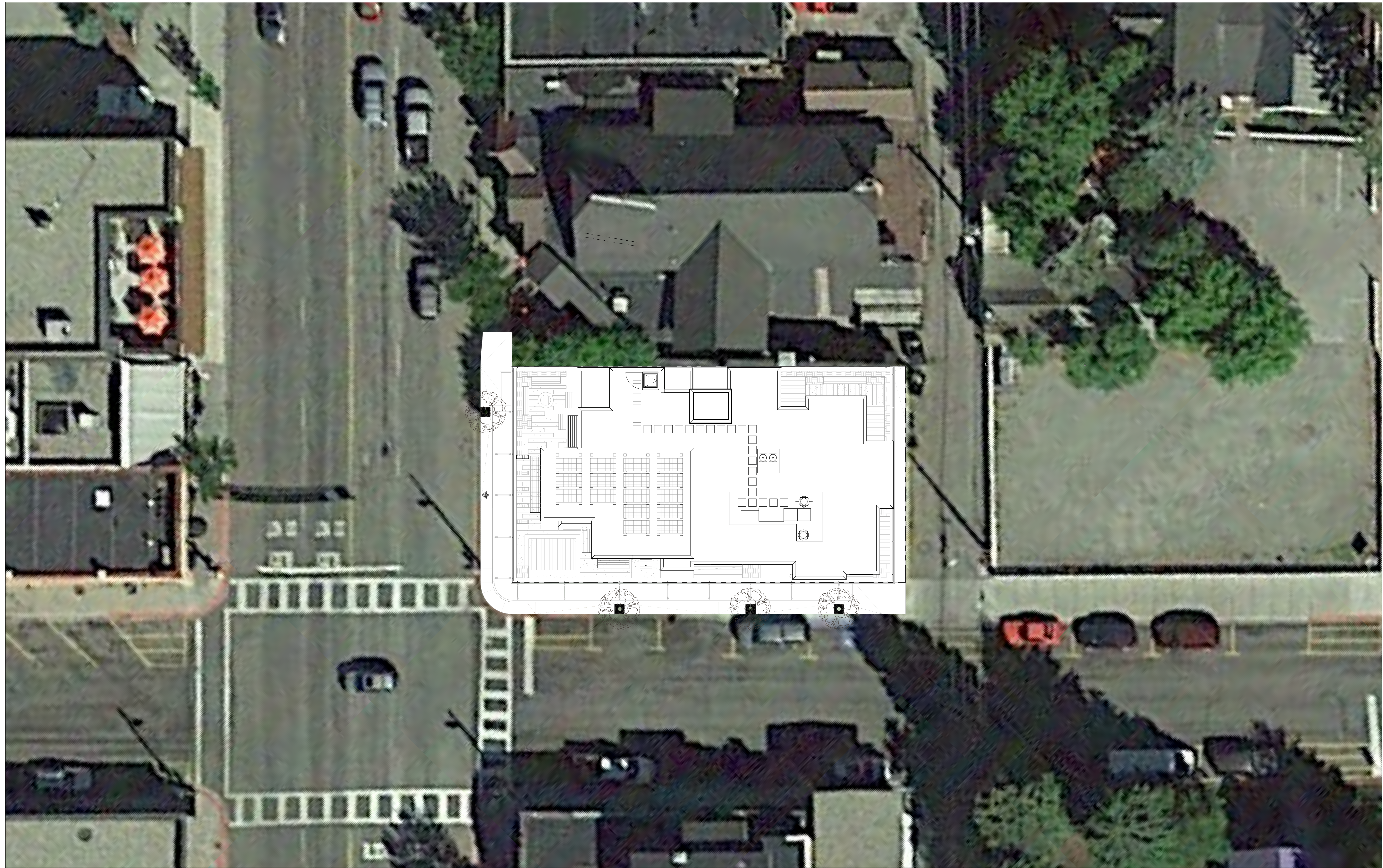
SCALE: N.T.S.

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024





PROPOSED ARCHITECTURAL SITE PLAN

ZONING

ZONING: CC-1 COMMUNITY CORE, RETAIL

SITE DIMENSIONS & AREAS

LOT 1, BLOCK 3: ± 55' x ± 100' = ± 5503 SF = ± 0.126 ACRE

USE & OCCUPANCY CLASSIFICATION

RESIDENTIAL GROUP R-2

STORAGE GROUP S-2

ASSEMBLY GROUP A-2

SNOW STORAGE CALCULATION

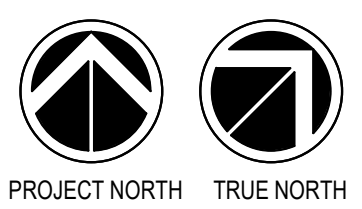
NO VIABLE ON-SITE SNOW STORAGE AREAS. SNOW MANAGEMENT TO BE ACCOMPLISHED BY SNOWMELT AND HAULING OFF-SITE.

CONSTRUCTION TYPE

CONSTRUCTION TYPE: TYPE V-B

BUILDING AREA

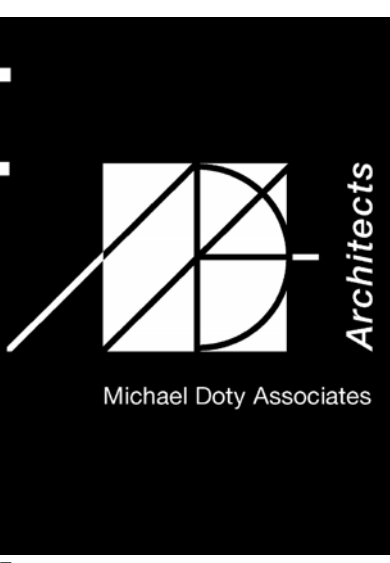
BUILDING AREA (GROSS): 12,398 SF

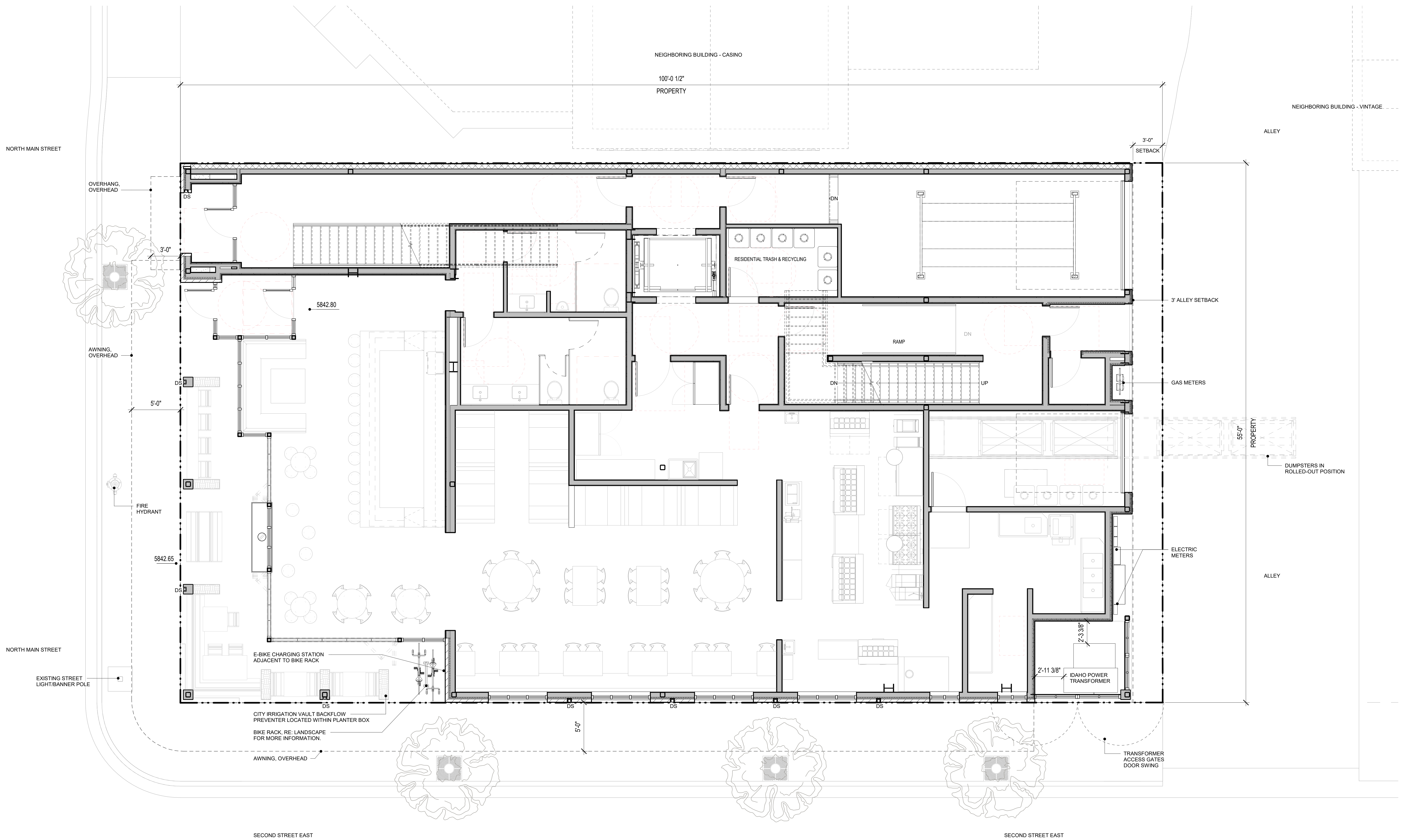


200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024





PROPOSED ARCHITECTURAL SITE PLAN - ENLARGED

ZONING
 ZONING: CC-1 COMMUNITY CORE, RETAIL

SITE DIMENSIONS & AREAS
 LOT 1, BLOCK 3: ± 55' x ± 100' = ± 5503 SF = ± 0.126 ACRE

USE & OCCUPANCY CLASSIFICATION
 RESIDENTIAL GROUP R-2
 STORAGE GROUP S-2
 ASSEMBLY GROUP A-2

SNOW STORAGE CALCULATION
 NO VIABLE ON-SITE SNOW STORAGE AREAS. SNOW MANAGEMENT TO BE ACCOMPLISHED BY SNOWMELT AND HAULING OFF-SITE.

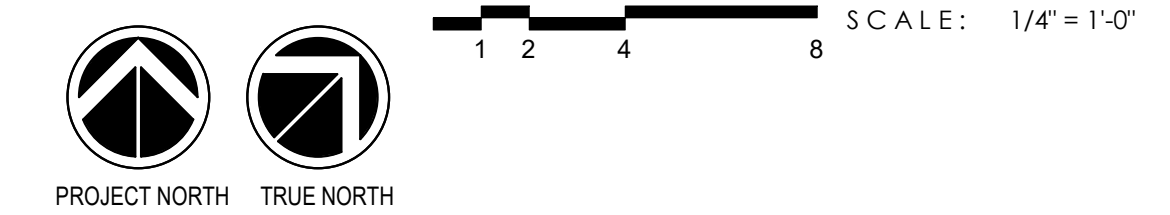
CONSTRUCTION TYPE
 CONSTRUCTION TYPE: TYPE V-B

BUILDING AREA
 BUILDING AREA (GROSS): 12,398 SF

DRAWING NOTES

ALL BUILDING DIMENSIONS MEASURE FROM FACE OF FINISH (F.O.F) TO FACE OF FINISH AND TO WITHIN HALF-INCH (1/2") PRECISION.
 ALL PROPERTY DIMENSIONS MEASURE TO WITHIN ONE-EIGHTH (1/8") PRECISION.

REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.

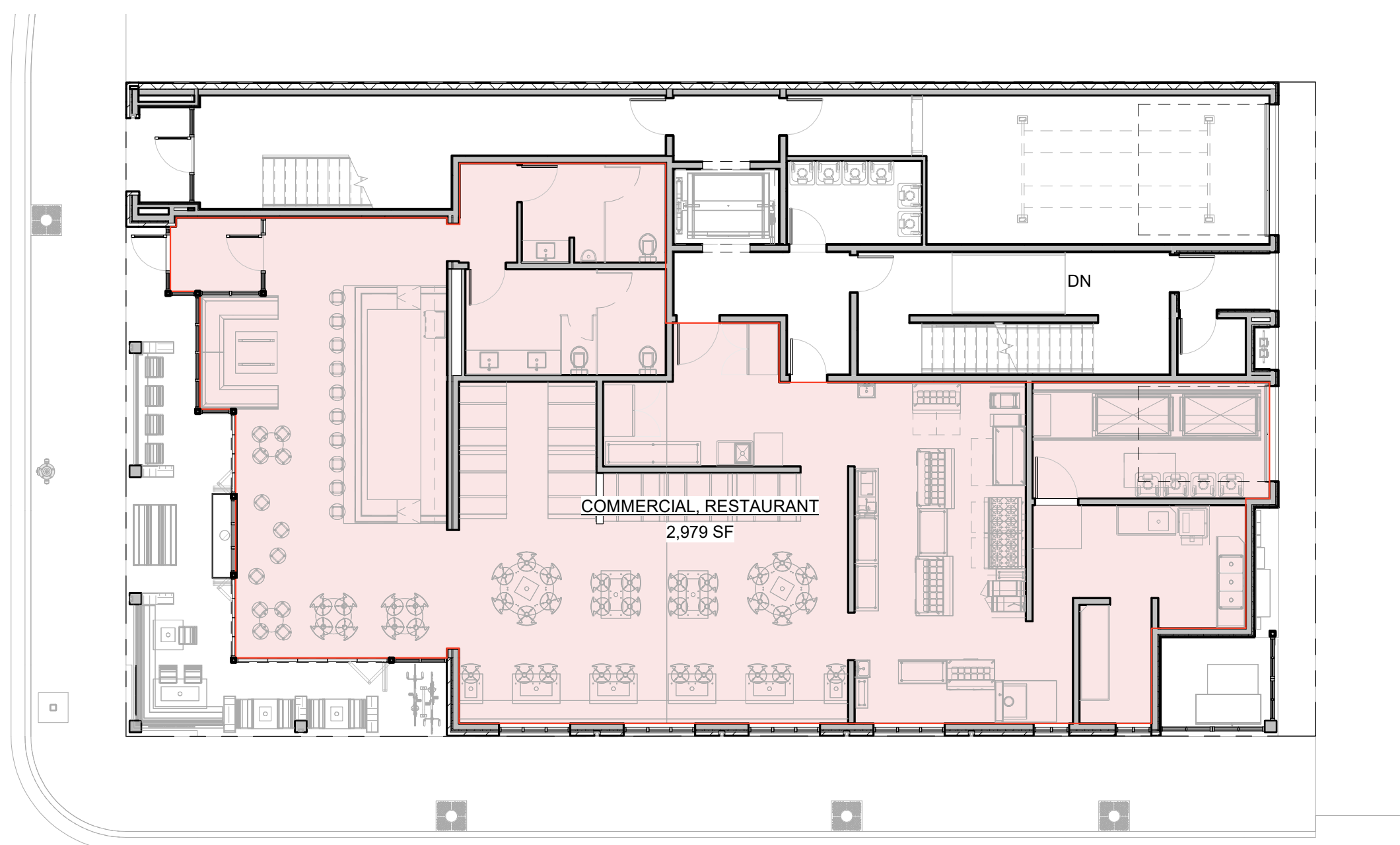


200 NORTH MAIN

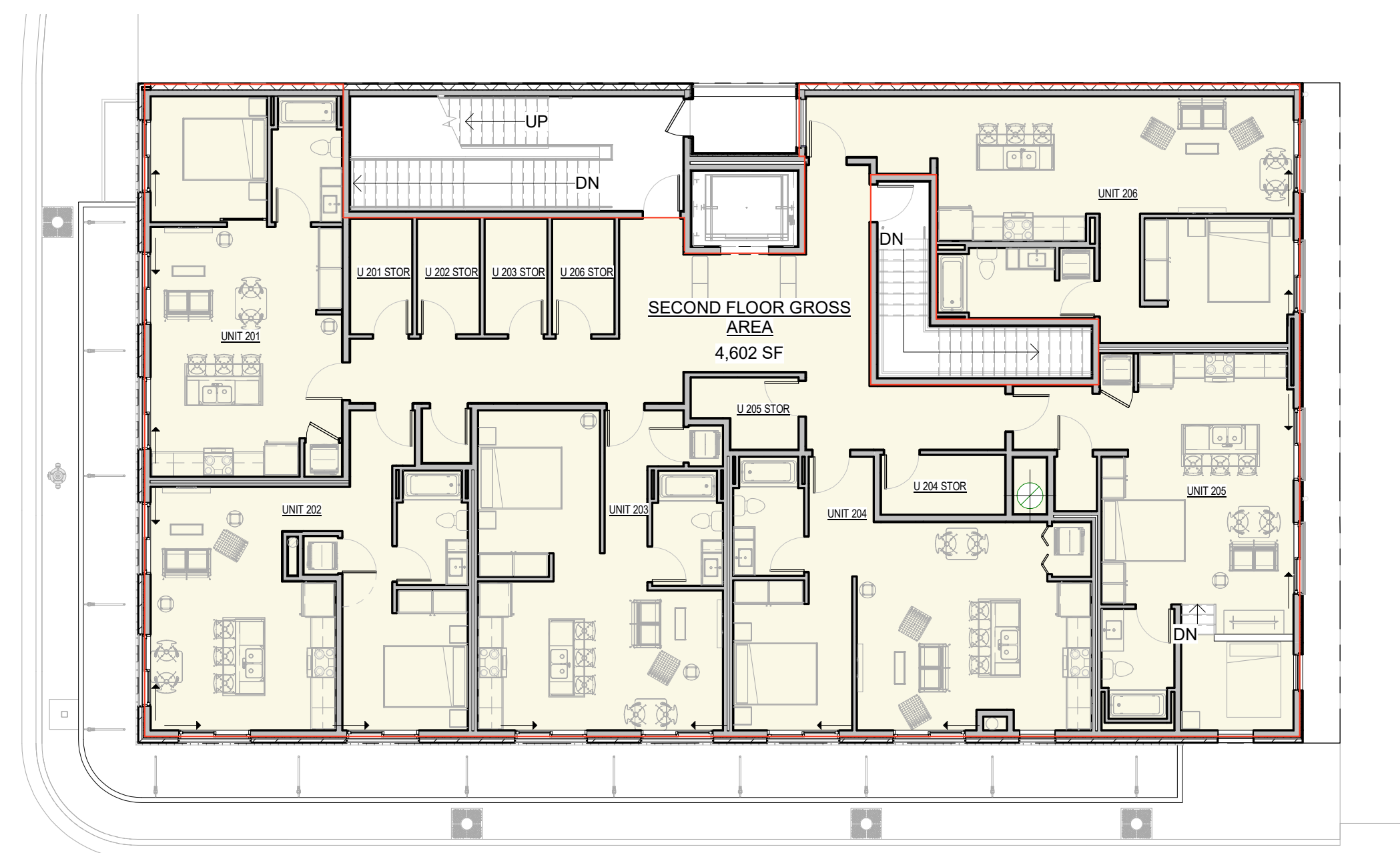
200 N. MAIN ST.
 KETCHUM, ID 83340

DESIGN REVIEW 2
 1/17/2024

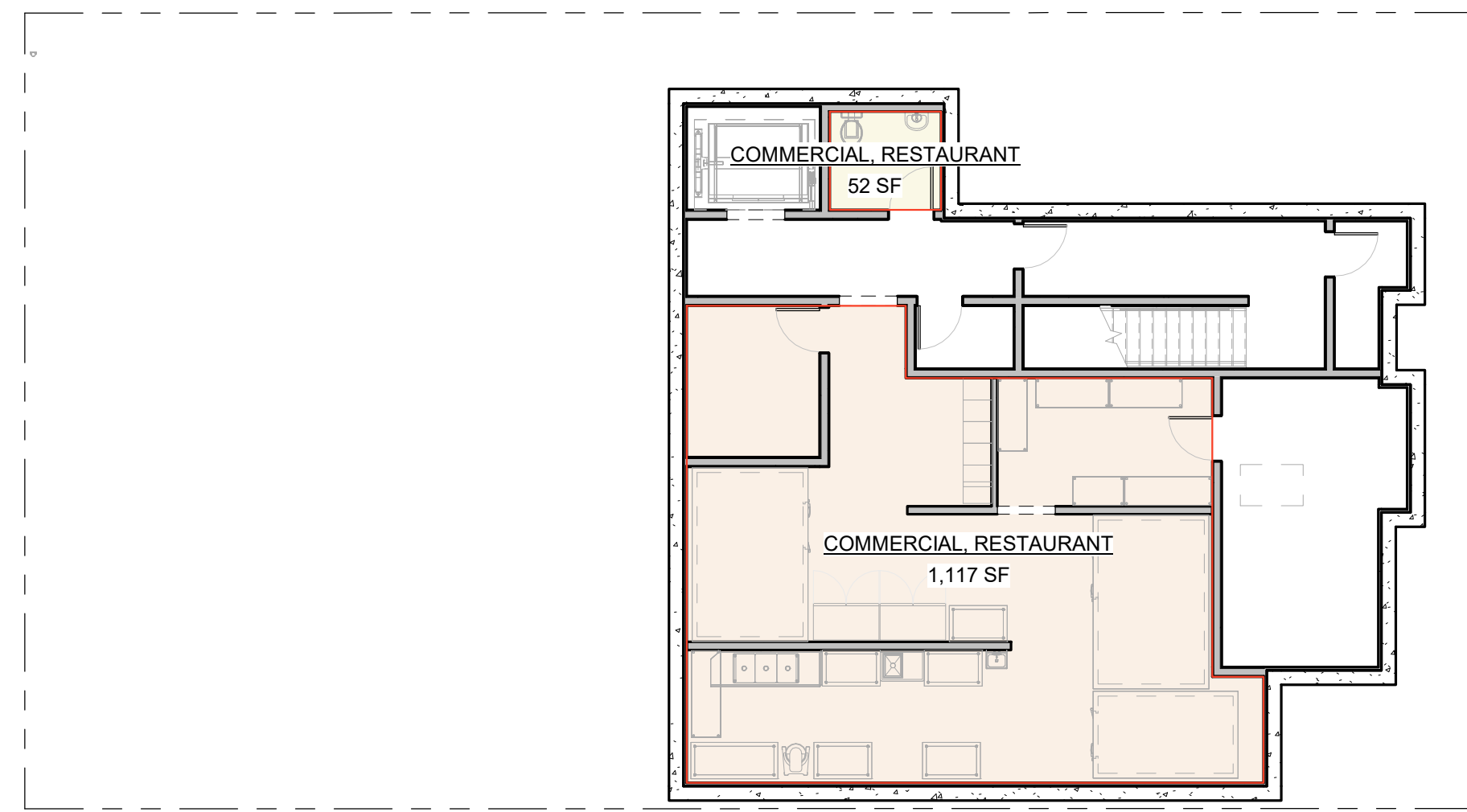




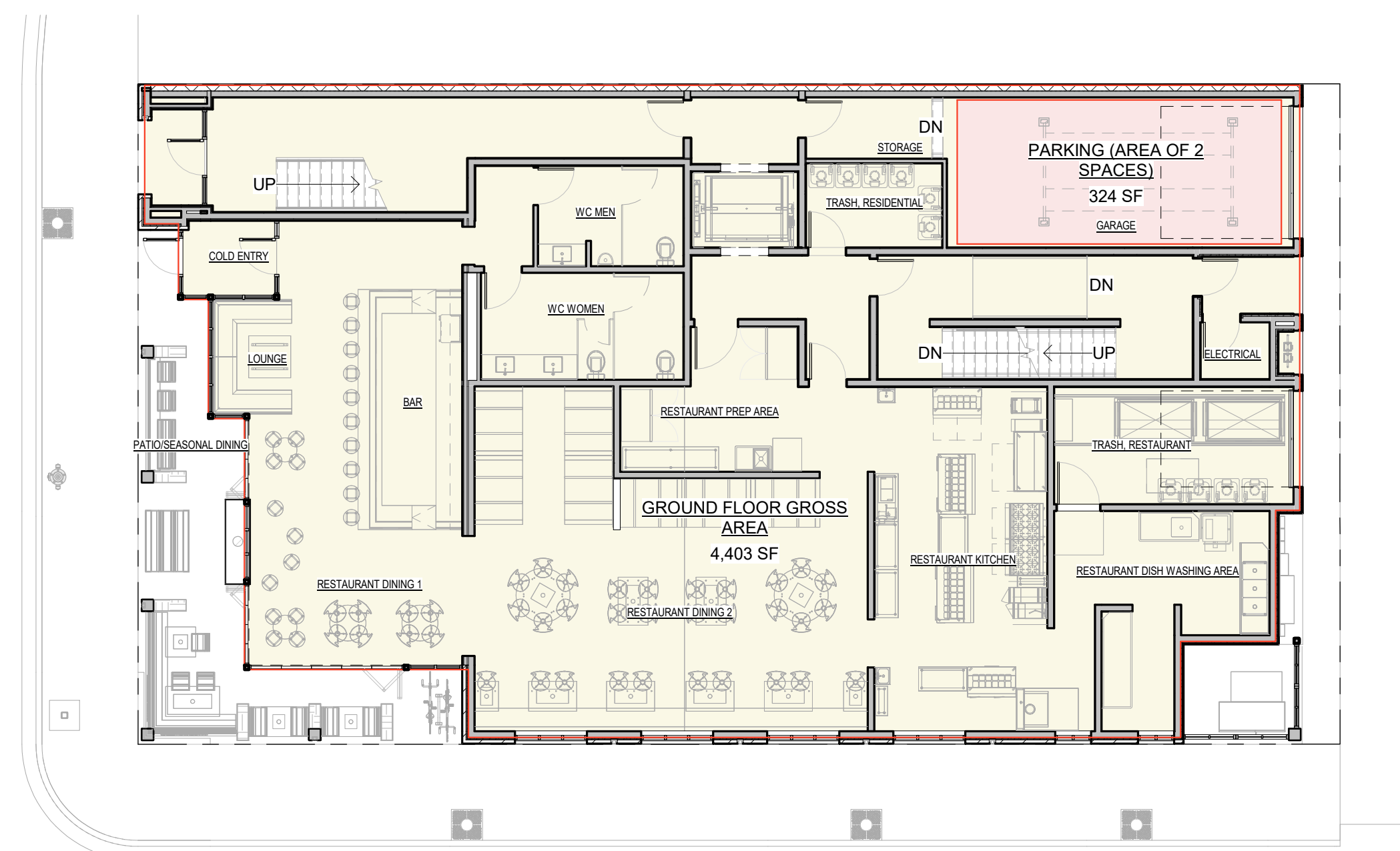
GROUND FLOOR PLAN - NET COMMERCIAL AREA
3/32" = 1'-0"



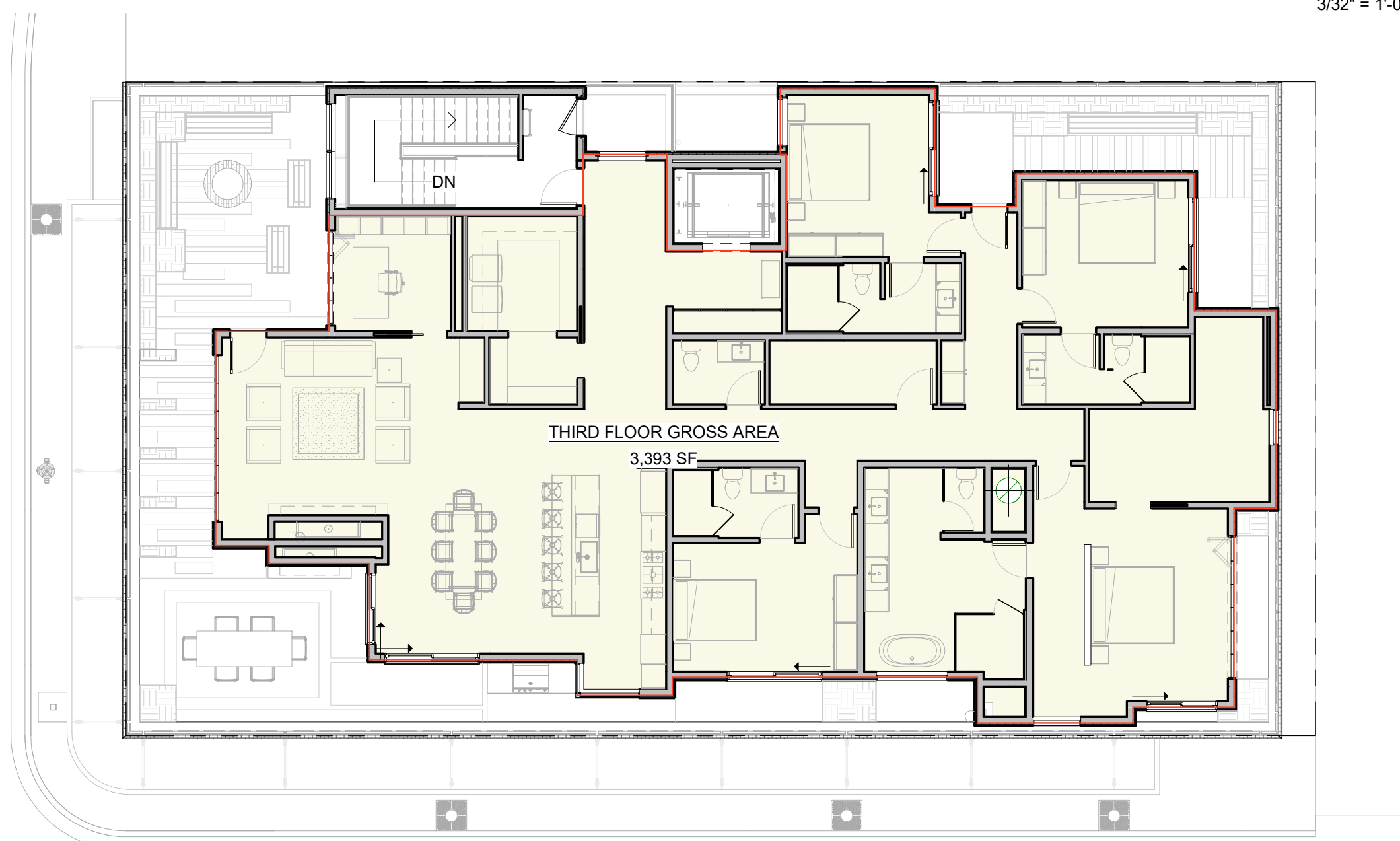
SECOND FLOOR PLAN - GROSS AREA
3/32" = 1'-0"



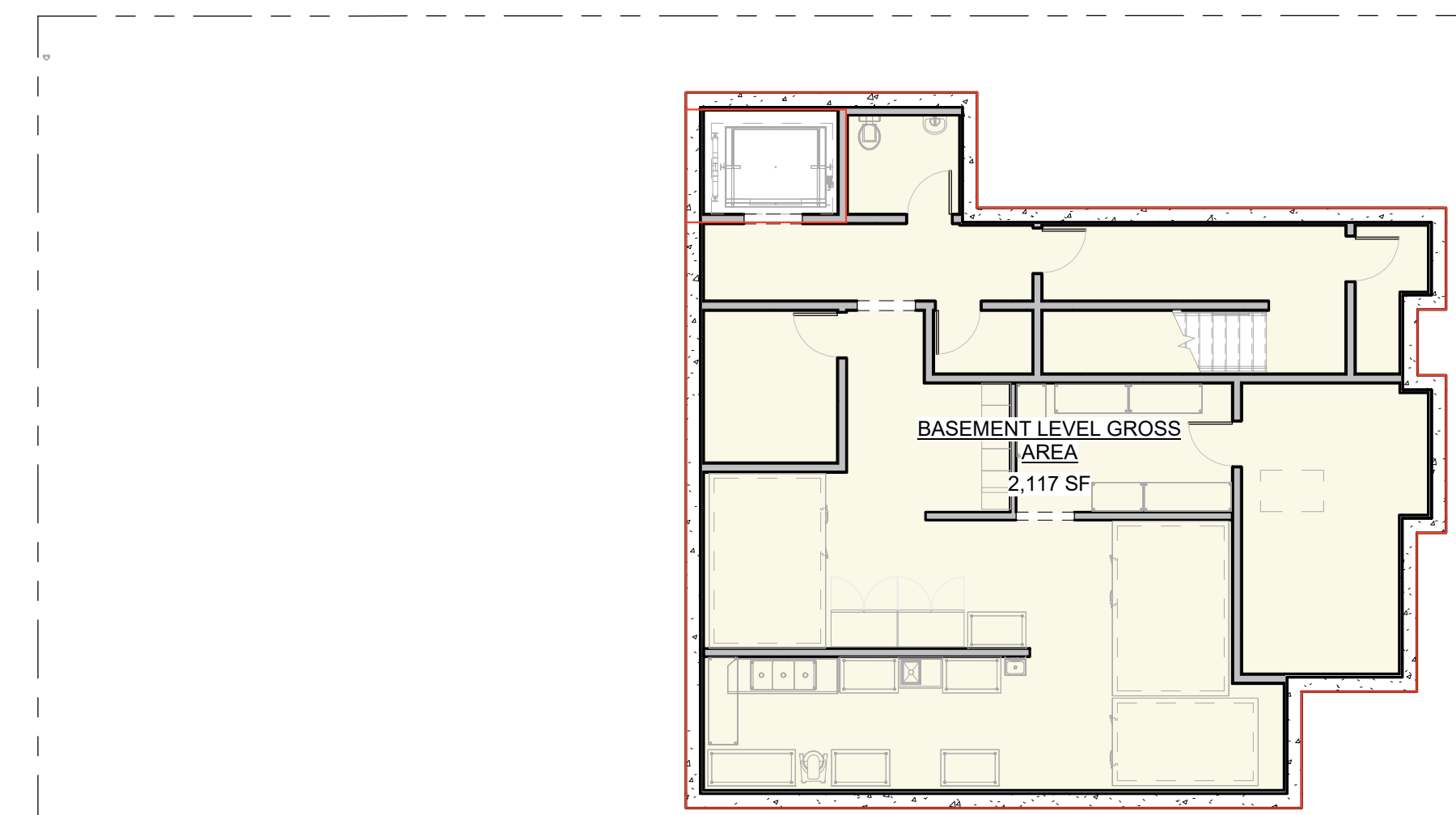
BASEMENT FLOOR PLAN - NET COMMERCIAL AREA
3/32" = 1'-0"



GROUND FLOOR PLAN - GROSS AREA
3/32" = 1'-0"



THIRD FLOOR PLAN - GROSS AREA
3/32" = 1'-0"



BASEMENT FLOOR PLAN - GROSS AREA
3/32" = 1'-0"

AREA SCHEDULE		
AREA NAME	AREA	NOTES
BASEMENT LEVEL GROSS AREA	2,117 SF	NOT INCLUDED IN TOTAL GROSS FLOOR AREA
	2,117 SF	
GROUND FLOOR GROSS AREA	4,403 SF	
PARKING (AREA OF 2 SPACES)	324 SF	SUBTRACTED FROM TOTAL GROSS FLOOR AREA
	4,727 SF	
SECOND FLOOR GROSS AREA	4,602 SF	
	4,602 SF	
THIRD FLOOR GROSS AREA	3,393 SF	
	3,393 SF	
TOTAL FLOOR AREA	14,839 SF	

AREA SCHEDULE - GROSS - FAR		
AREA NAME	AREA	LEVEL
GROUND FLOOR GROSS AREA	4,403 SF	GROUND LEVEL
	4,403 SF	
SECOND FLOOR GROSS AREA	4,602 SF	SECOND FLOOR
	4,602 SF	
THIRD FLOOR GROSS AREA	3,393 SF	THIRD FLOOR
	3,393 SF	
TOTAL GROSS FLOOR AREA*	12,398 SF	

*PER CITY OF KETCHUM DEFINITION: FLOOR AREA, GROSS

AREA SCHEDULE - NET - COMMERCIAL		
AREA NAME	AREA	LEVEL
COMMERCIAL, RESTAURANT	1,117 SF	BASEMENT LEVEL
COMMERCIAL, RESTAURANT	52 SF	BASEMENT LEVEL
	1,169 SF	
COMMERCIAL, RESTAURANT	2,979 SF	GROUND LEVEL
	2,979 SF	
TOTAL NET/COMMERCIAL FLOOR AREA	4,148 SF	

FLOOR AREA RATIO

BUILDING GROSS AREA
TOTAL FLOOR AREA LESS BASEMENT, LESS AREA OF 2 PARKING SPACES
12,398 SF

FAR
DIVIDE BUILDING GROSS AREA BY LOT AREA
 $12,398 \div 5,503 =$
2.25 FAR

ORDINANCE 1234, MINIMUM RESIDENTIAL DENSITY

MINIMUM HOUSING DENSITY
DIVIDE NET COMMERCIAL AREA BY BUILDING GROSS AREA =
 $4,148 \div 12,398 =$
33%
3 RESIDENTIAL UNITS REQUIRED
7 RESIDENTIAL UNITS PROVIDED
4 RESIDENTIAL UNITS OVER MINIMUM

ORDINANCE 1234, GROUND FLOOR COMMERCIAL AREA RATIO

GROUND FLOOR NET COMMERCIAL AREA
2,979 SF

GROUND FLOOR GROSS AREA
4,403 SF

GROUND FLOOR COMMERCIAL AREA RATIO
DIVIDE GROUND FLOOR NET COMMERCIAL AREA BY GROUND FLOOR GROSS AREA
 $2,979 \div 4,403 =$
68% OF GROUND FLOOR AREA IS COMMERCIAL
13% OVER MINIMUM 55%

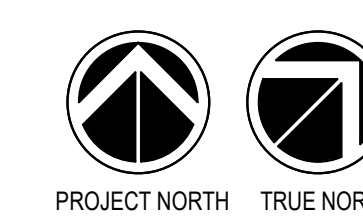
INCLUSIONARY HOUSING INCENTIVE CALCULATION

BUILDING GROSS AREA OVER 1.0 FAR
 $12,398 \text{ SF} - 5,503 \text{ SF} (1.0 \text{ FAR}) = 6,895 \text{ SF}$

REQUIRED AREA OF DEED RESTRICTED HOUSING
 $6,895 \text{ SF} \times 20\% = 1,379 \text{ SF}$
 $1,379 \text{ SF} - 15\% (\text{NET LIVABLE}) = 1,172 \text{ SF}$ REQUIRED AS DEED RESTRICTED

COMMUNITY HOUSING DESIGNATION FOR INCOME CATEGORY 4
UNIT 205 (600 SF) + UNIT 206 (692) = 1,292 SF DEED RESTRICTED PROVIDED

PROPOSED FLOOR PLANS - AREAS AND AREA COMPLIANCE CALCULATIONS

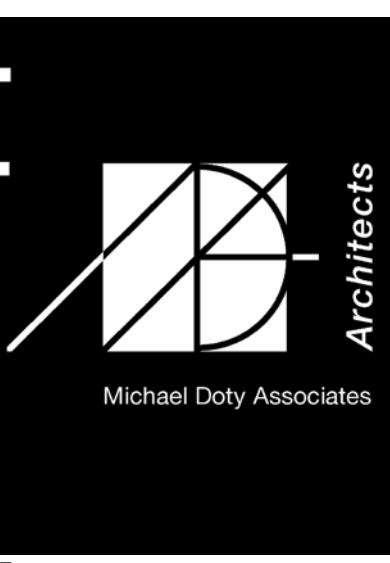


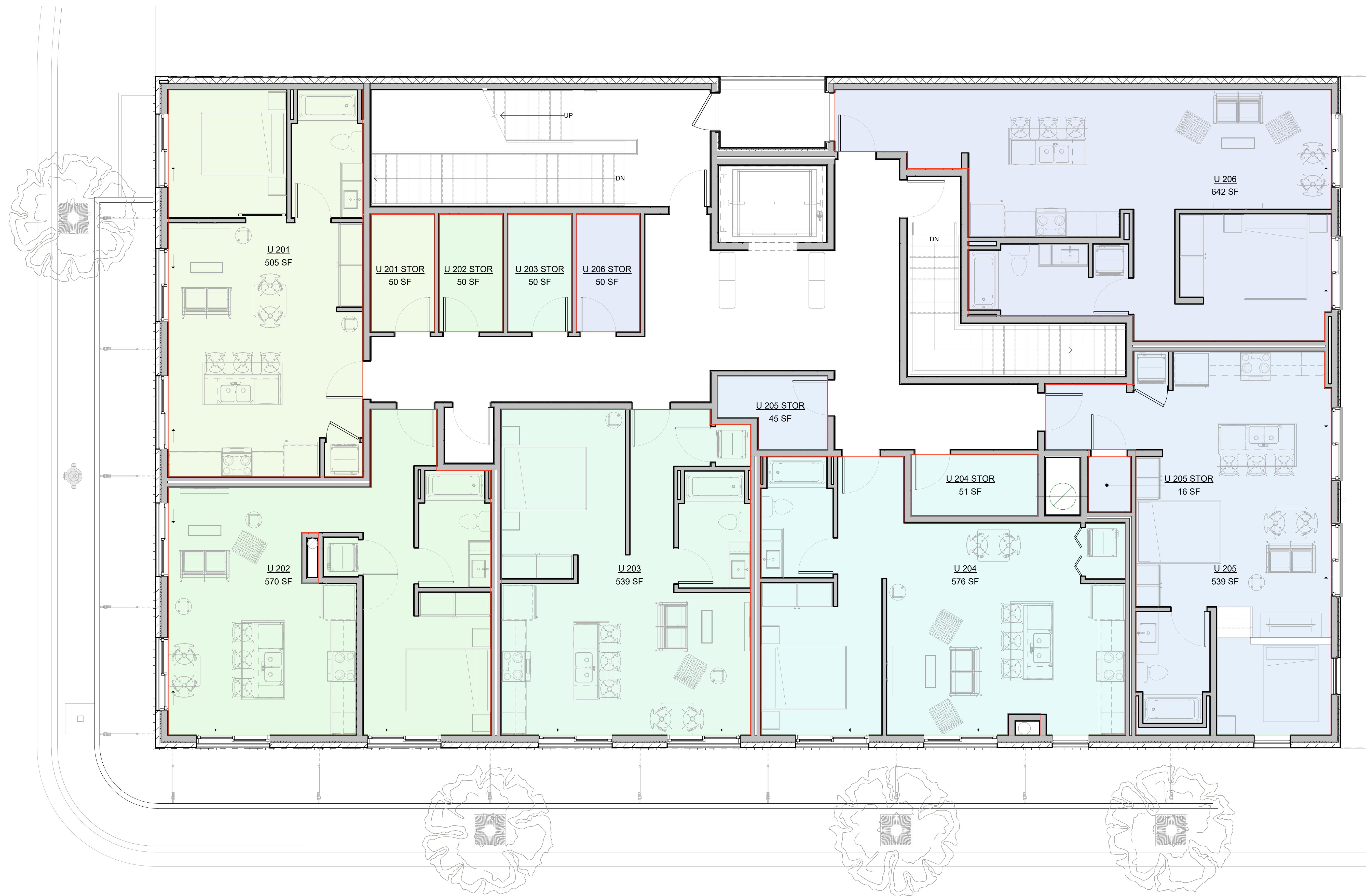
SCALE: 3/32" = 1'-0"

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024

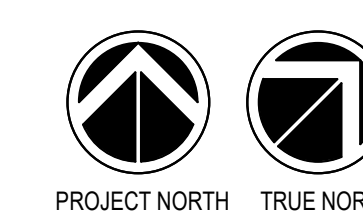




AREA SCHEDULE 2ND FLOOR RESIDENTIAL UNITS	
NAME	NET AREA
U 201	505 SF
U 201 STOR	50 SF
	555 SF
U 202	570 SF
U 202 STOR	50 SF
	620 SF
U 203	539 SF
U 203 STOR	50 SF
	589 SF
U 204	576 SF
U 204 STOR	51 SF
	627 SF
U 205	539 SF
U 205 STOR	45 SF
U 205 STOR	16 SF
	600 SF
U 206	642 SF
U 206 STOR	50 SF
	692 SF
2ND FLOOR TOTAL	3,683 SF

PROPOSED SECOND FLOOR PLAN - NET UNIT AREAS

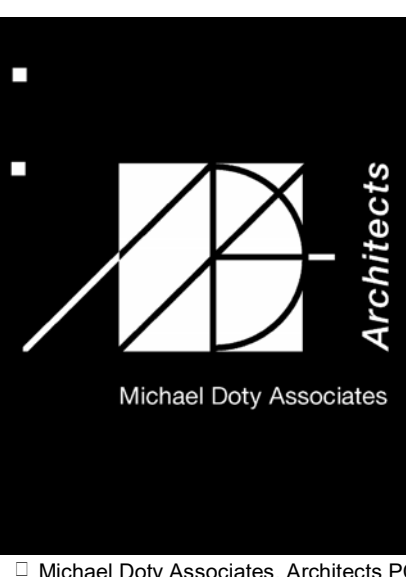
SCALE: 1/4" = 1'-0"

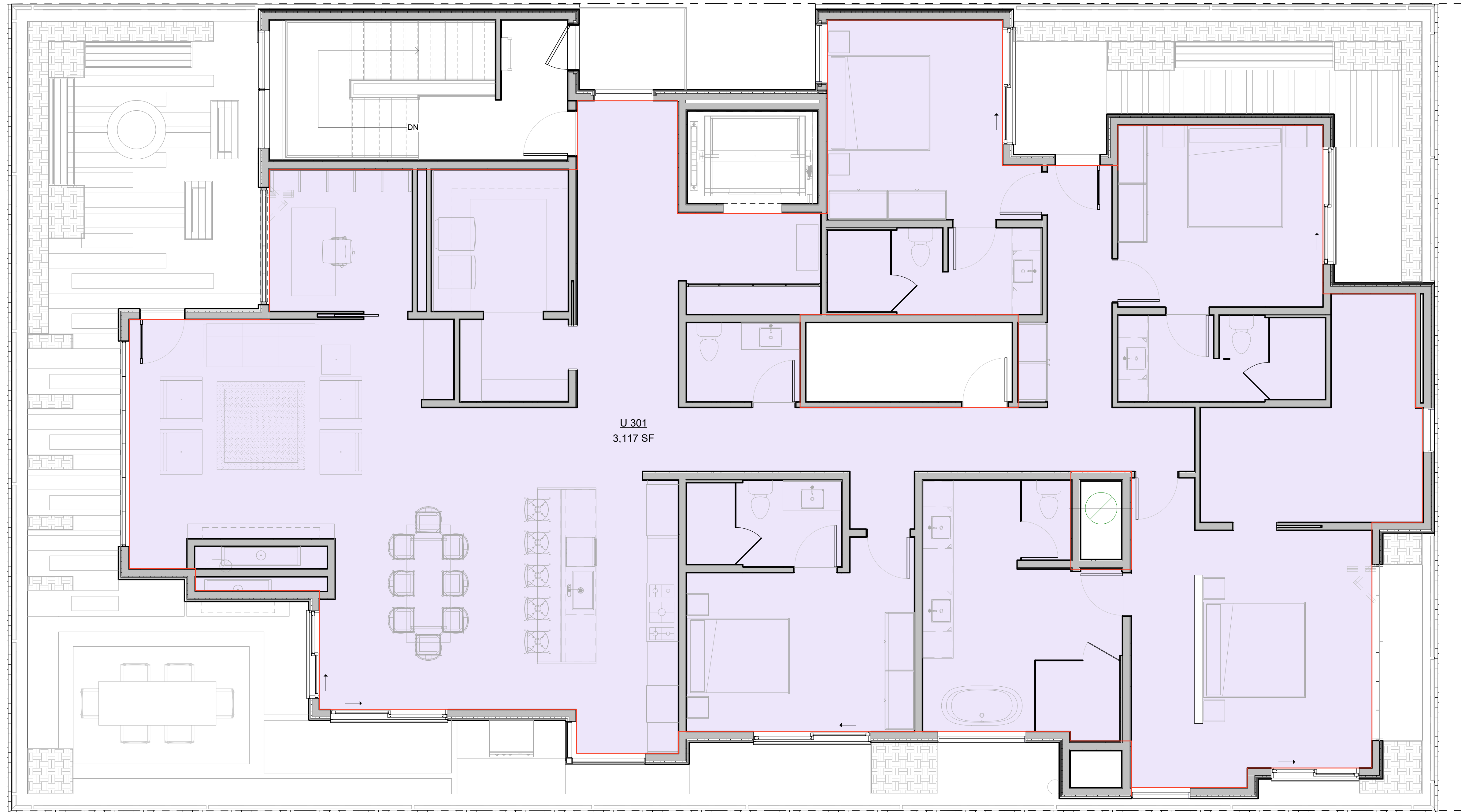


200 NORTH MAIN

200 N. MAIN ST.
 KETCHUM, ID 83340

DESIGN REVIEW 2
 1/17/2024





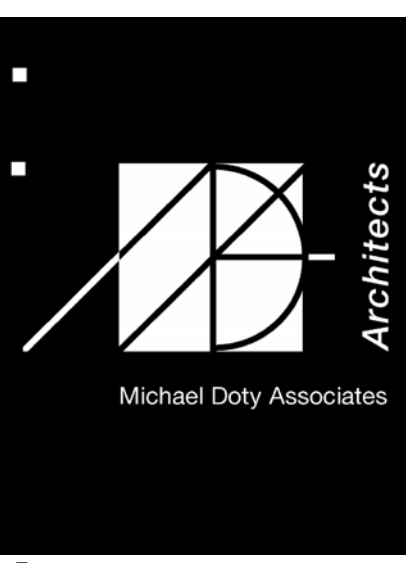
PROPOSED THIRD FLOOR PLAN - NET UNIT AREA

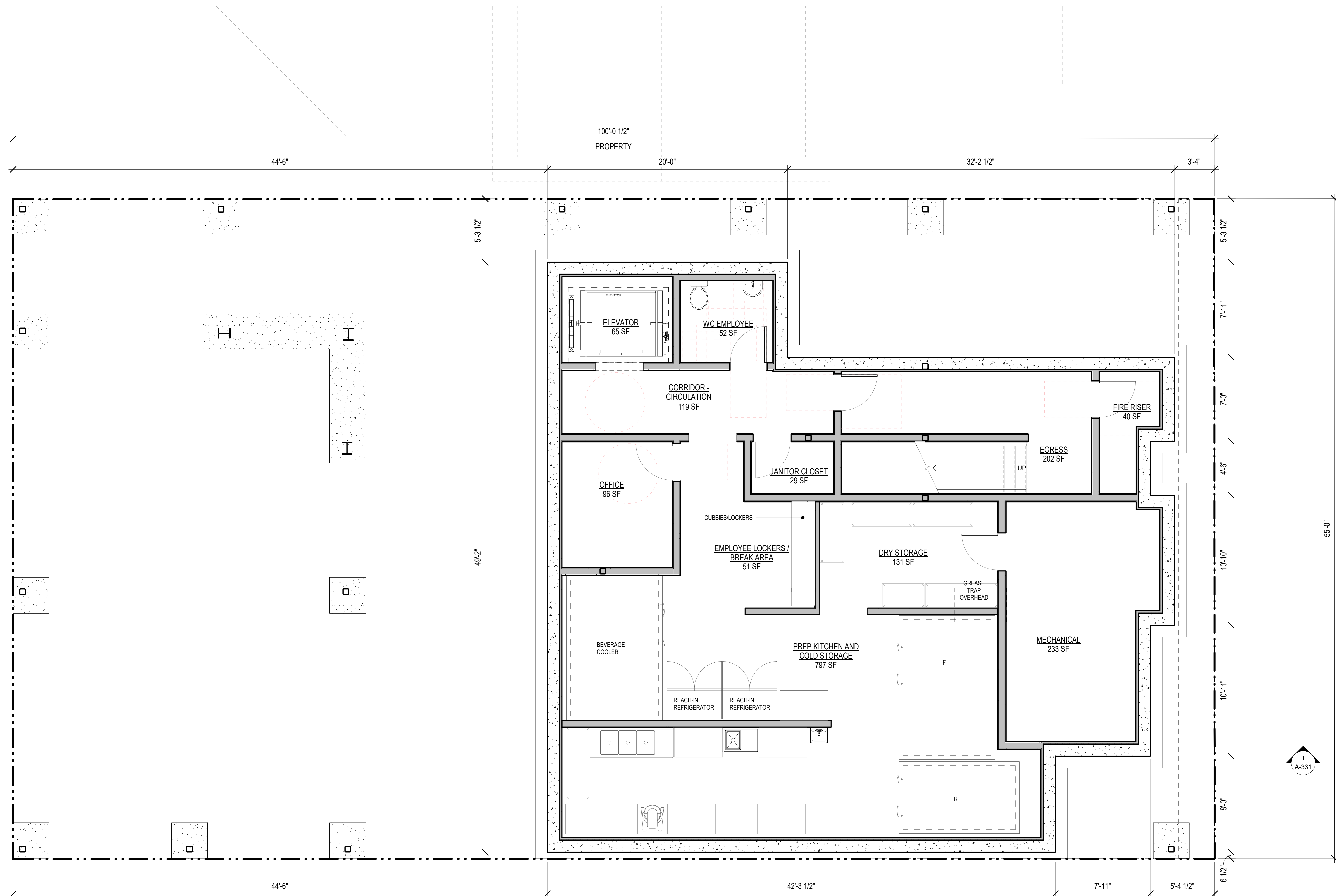
SCALE: 1/4"=1'-0"

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024





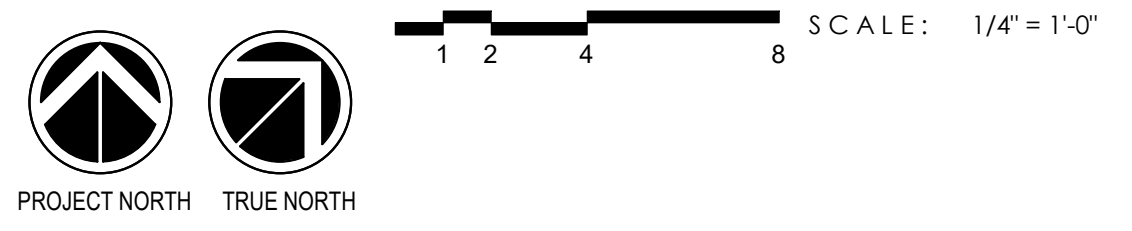
SITE DIMENSIONS & AREAS
 LOT 1, BLOCK 3: ± 55' x ± 100' = ± 5503 SF = ± 0.126 ACRE

CONSTRUCTION TYPE
 CONSTRUCTION TYPE: TYPE V-B

USE & OCCUPANCY CLASSIFICATION
 ASSEMBLY GROUP A-2
 RESIDENTIAL GROUP R-2

DRAWING NOTES
 ALL BUILDING DIMENSIONS MEASURE FROM FACE OF FINISH (F.O.F) TO FACE OF FINISH AND TO WITHIN HALF-INCH (1/2") PRECISION.
 ALL PROPERTY DIMENSIONS MEASURE TO WITHIN ONE-EIGHTH (1/8") PRECISION.
 REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.

PROPOSED BASEMENT PLAN

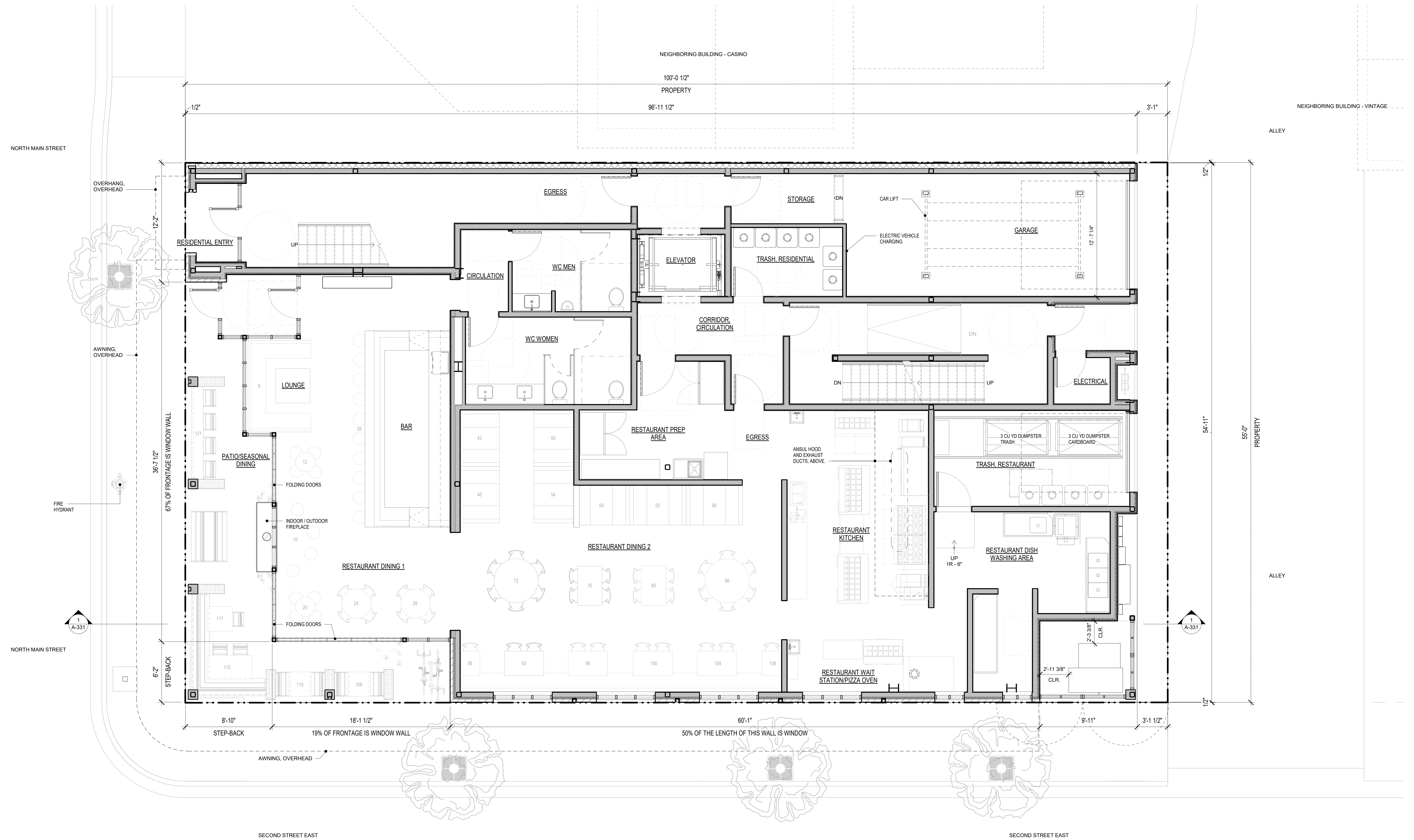


200 NORTH MAIN

200 N. MAIN ST.
 KETCHUM, ID 83340

DESIGN REVIEW 2
 1/17/2024





PROPOSED GROUND FLOOR PLAN

SITE DIMENSIONS & AREAS

LOT 1, BLOCK 3: ± 55' x ± 100' = ± 5503 SF = ± 0.126 ACRE

CONSTRUCTION TYPE

CONSTRUCTION TYPE: TYPE V-B

USE & OCCUPANCY CLASSIFICATION

ASSEMBLY GROUP A-2
RESIDENTIAL GROUP R-2

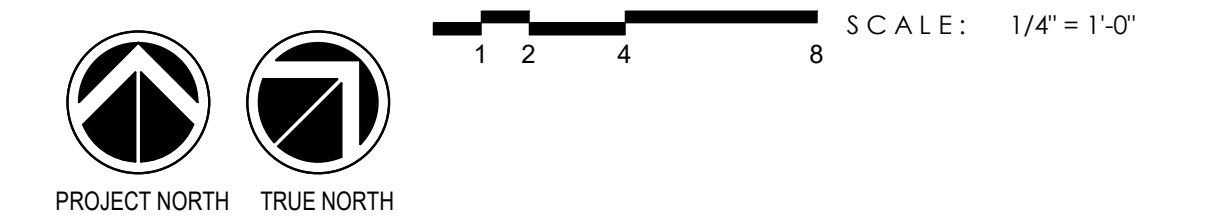
SNOW STORAGE CALCULATION

NO VIABLE ON-SITE SNOW STORAGE AREAS. SNOW MANAGEMENT TO BE ACCOMPLISHED BY SNOWMELT AND HAULING OFF-SITE.

DRAWING NOTES

ALL BUILDING DIMENSIONS MEASURE FROM FACE OF FINISH (F.O.F) TO FACE OF FINISH AND TO WITHIN HALF-INCH (1/2") PRECISION.
ALL PROPERTY DIMENSIONS MEASURE TO WITHIN ONE-EIGHTH (1/8") PRECISION.

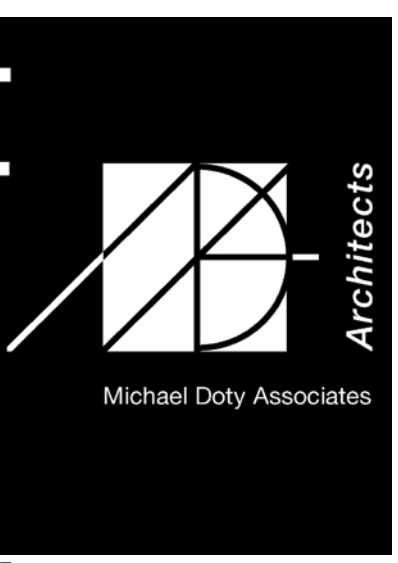
REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.

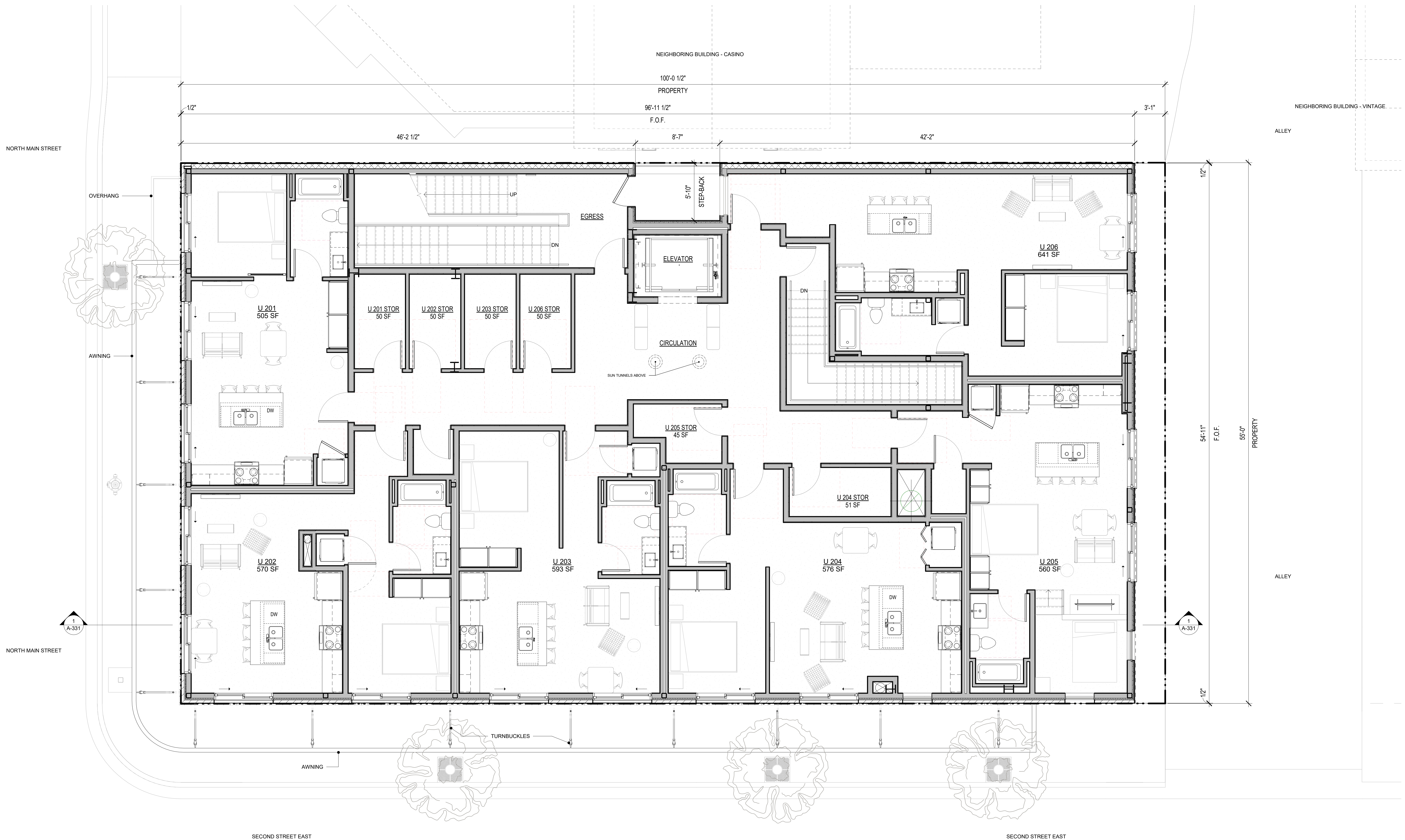


200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024





PROPOSED SECOND FLOOR PLAN

SITE DIMENSIONS & AREAS

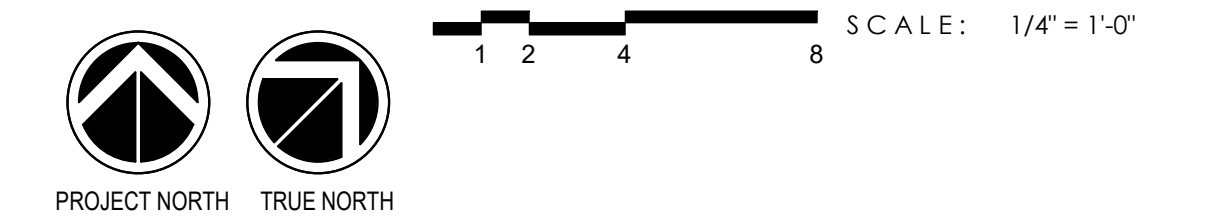
LOT 1, BLOCK 3: ± 55' x ± 100' = ± 5503 SF = ± 0.126 ACRE

CONSTRUCTION TYPE

CONSTRUCTION TYPE: TYPE V-B

USE & OCCUPANCY CLASSIFICATION

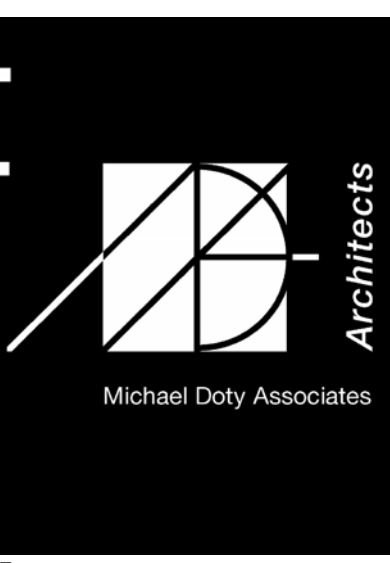
ASSEMBLY GROUP A-2
RESIDENTIAL GROUP R-2

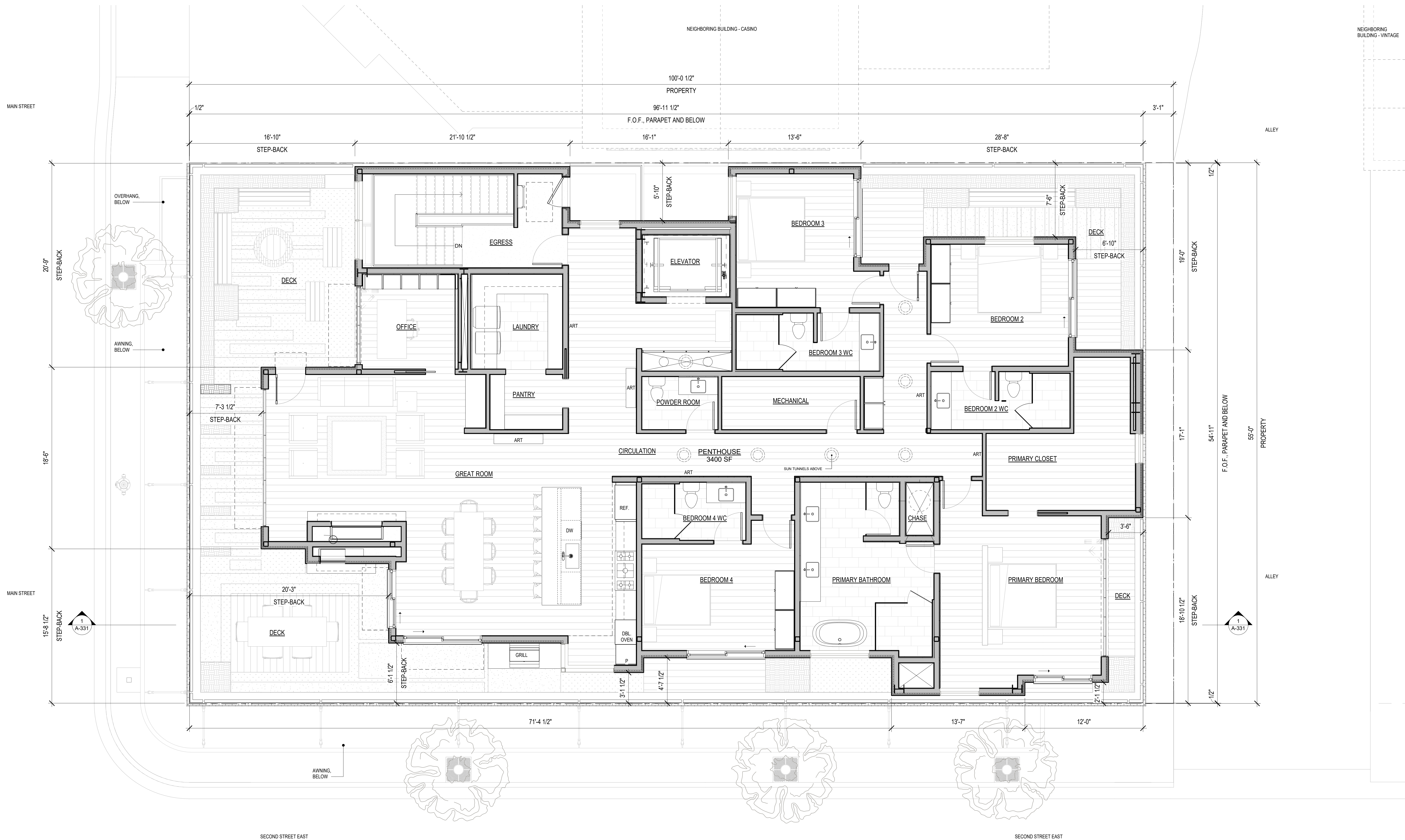


200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024





PROPOSED THIRD FLOOR PLAN

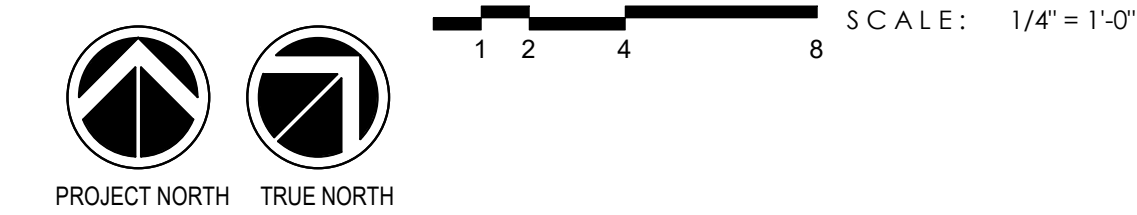
SITE DIMENSIONS & AREAS
 LOT 1, BLOCK 3: ± 55' x ± 100' = ± 5503 SF = ± 0.126 ACRE

CONSTRUCTION TYPE
 CONSTRUCTION TYPE: TYPE V-B

USE & OCCUPANCY CLASSIFICATION
 ASSEMBLY GROUP A-2
 RESIDENTIAL GROUP R-2

DRAWING NOTES

ALL BUILDING DIMENSIONS MEASURE FROM FACE OF FINISH (F.O.F.) TO FACE OF FINISH AND TO WITHIN HALF-INCH (1/2") PRECISION.
 ALL PROPERTY DIMENSIONS MEASURE TO WITHIN ONE-EIGHTH (1/8") PRECISION.
 REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.

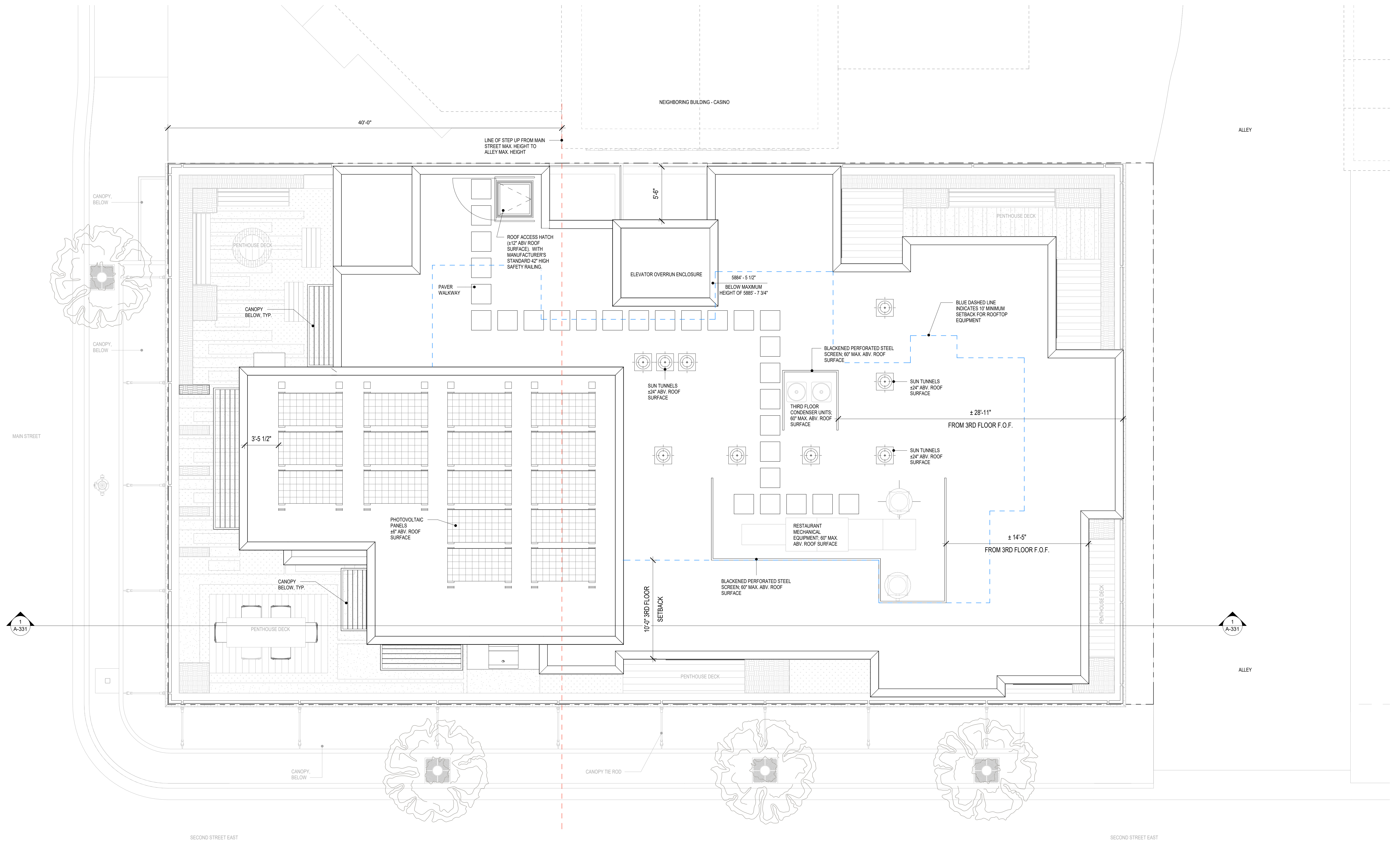


200 NORTH MAIN

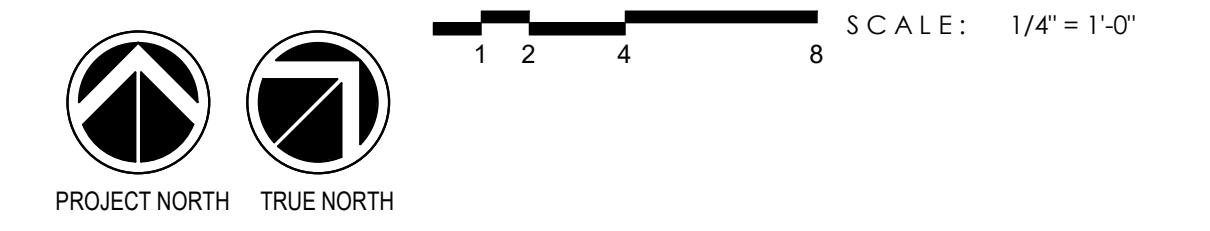
200 N. MAIN ST.
 KETCHUM, ID 83340

DESIGN REVIEW 2
 1/17/2024





PROPOSED ROOF PLAN



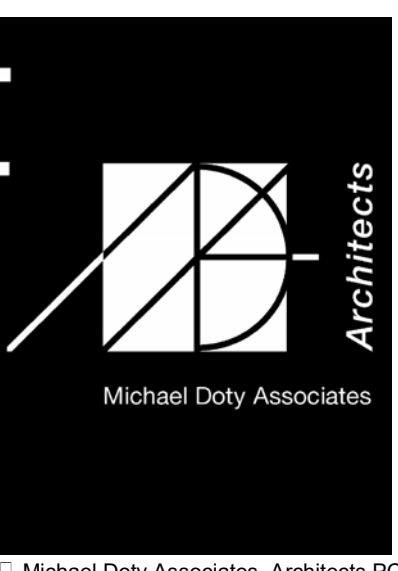
DRAWING NOTES

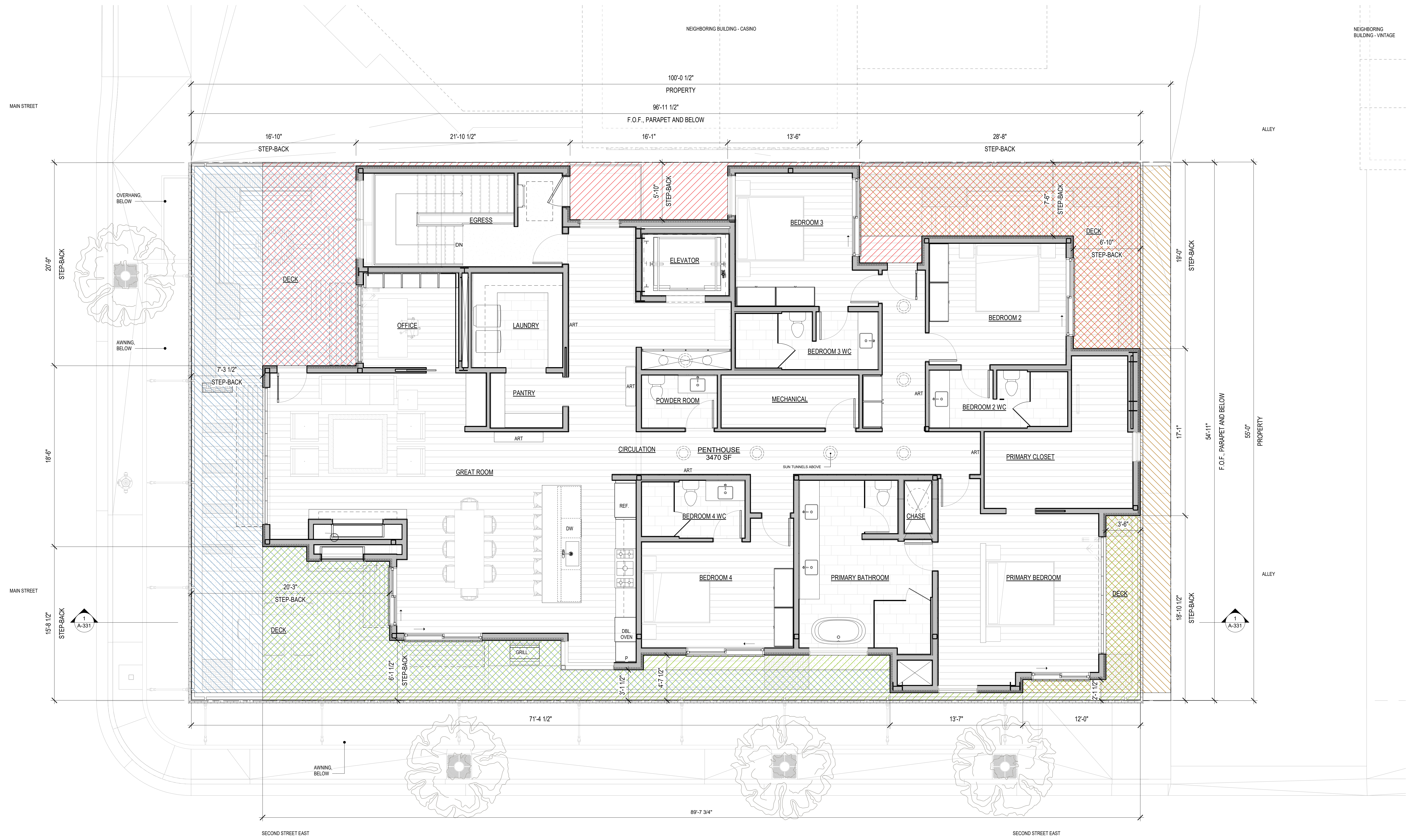
ALL BUILDING DIMENSIONS MEASURE FROM FACE OF FINISH (F.O.F.) TO FACE OF FINISH AND TO WITHIN HALF-INCH (1/2") PRECISION.
 ALL PROPERTY DIMENSIONS MEASURE TO WITHIN ONE-EIGHTH (1/8") PRECISION.
 REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.

200 NORTH MAIN

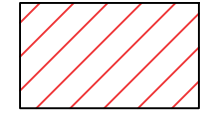
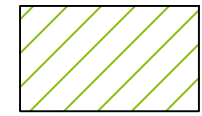
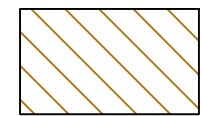

200 N. MAIN ST.
 KETCHUM, ID 83340

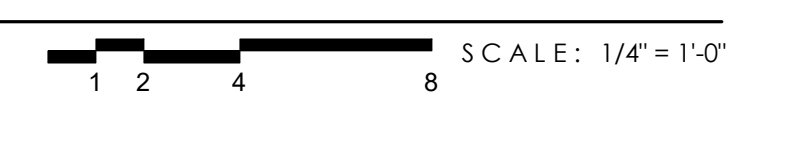
DESIGN REVIEW 2
 1/17/2024





THIRD FLOOR SETBACK DIAGRAM

- 
 NORTH WALL: 6'-10" AVERAGE SETBACK
 37% OF WALL LENGTH WITHIN 6' OF PROPERTY LINE
- 
 SOUTH WALL: 6'-0" AVERAGE SETBACK
 15% OF WALL LENGTH WITHIN 6' OF PROPERTY LINE
- 
 EAST WALL: 9'-7" AVERAGE SETBACK
 31% OF WALL LENGTH WITHIN 6' OF 3-FOOT ALLEY SETBACK
- 
 WEST WALL: 17'-1" AVERAGE SETBACK
 0% OF WALL LENGTH WITHIN 6' OF PROPERTY LINE

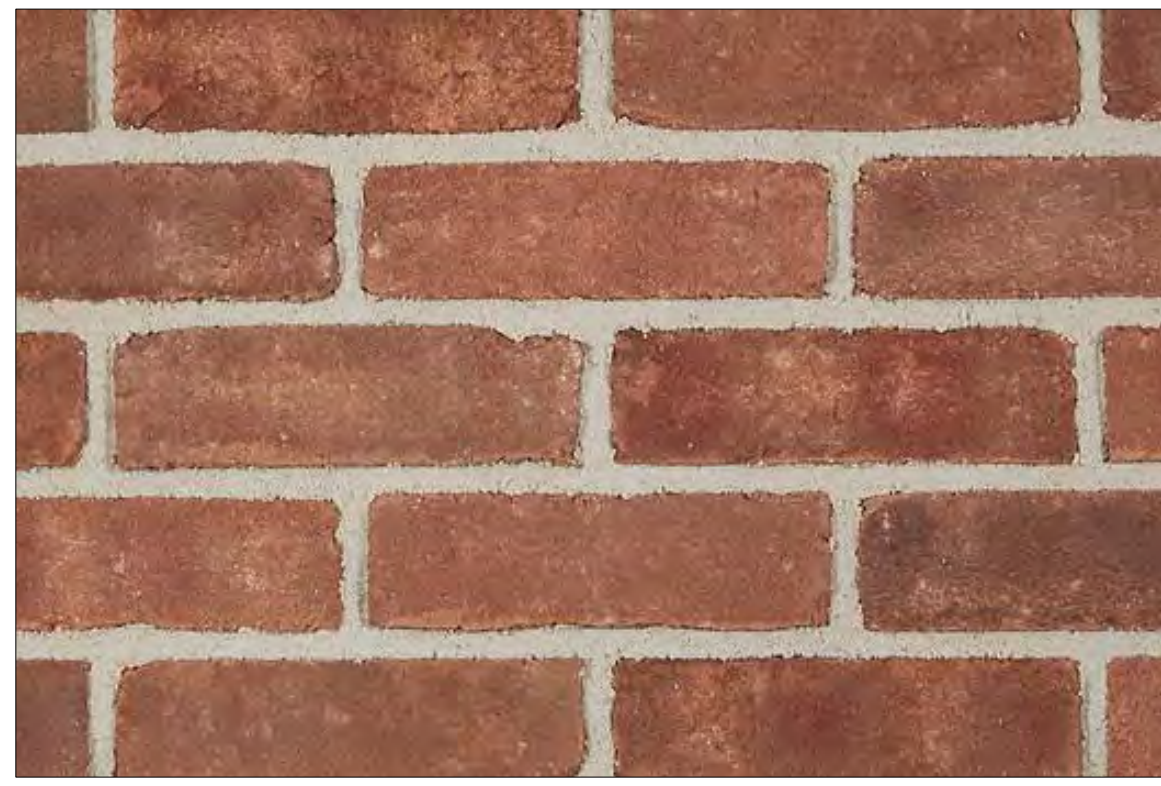


200 NORTH MAIN

200 N. MAIN ST.
 KETCHUM, ID 83340

DESIGN REVIEW 2
 1/17/2024





EXTERIOR FINISH 1 (EF-1):
FULL SIZE BRICK, SANDMOLD TEXTURE
RED COLOR, SAND COATING
BELDEN BRICK COMPANY



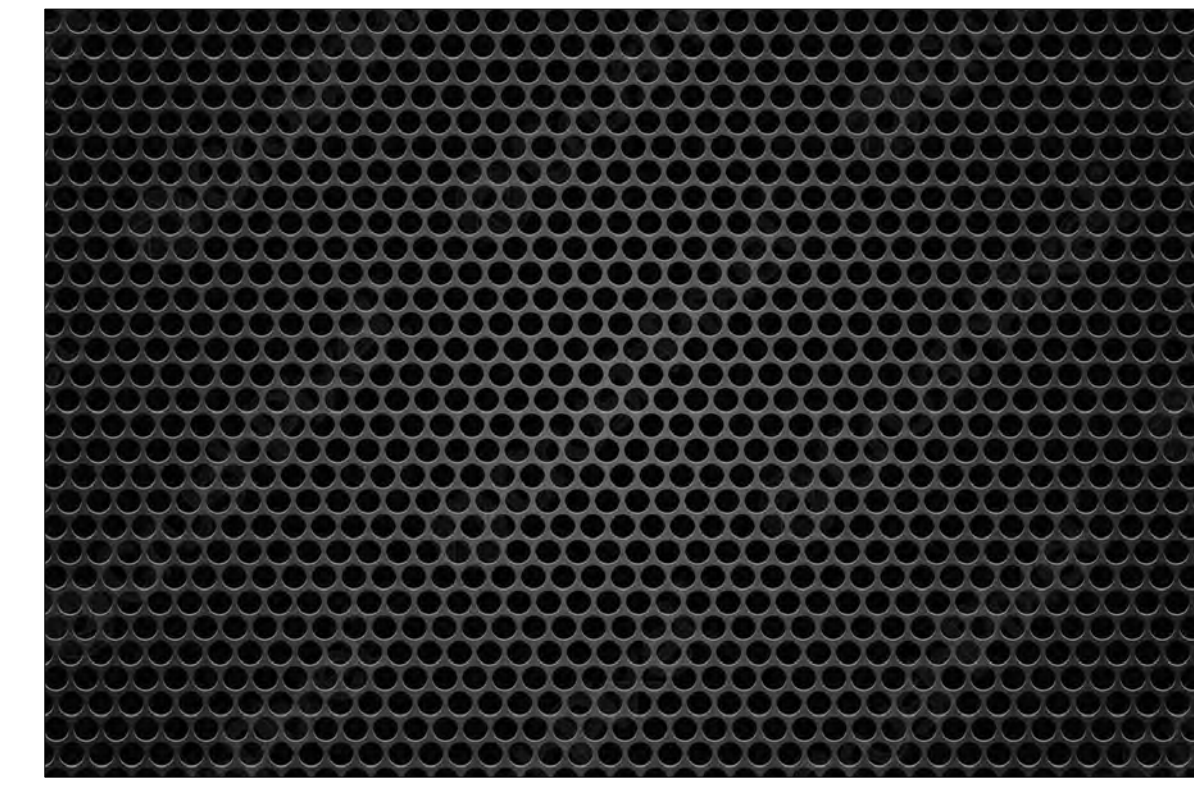
EXTERIOR FINISH 2 (EF-2):
INDIANA LIMESTONE
COLOR: FULL COLOR BLEND



EXTERIOR FINISH 3 (EF-3):
EXTERIOR STEEL ACCENTS
CUSTOM FINISH TO MATCH WINDOW &
DOOR SYSTEM



EXTERIOR FINISH 4 (EF-4):
MATAVERDE PREMIUM DECKING AND SIDING
SOLUTIONS: THERMALLY MODIFIED HEM-FIR



EXTERIOR FINISH 5 (EF-5):
EXTERIOR PERFORATED STEEL ACCENTS
CUSTOM FINISH TO MATCH WINDOW &
DOOR SYSTEM



EXTERIOR FINISH 6 (EF-6):
NEOLITH SINTERED STONE SIDING PANELS;
IRON CORTEN



WINDOW AND DOOR SYSTEM
BLACK METAL FINISH



WINDOW AND DOOR SYSTEM
BLACK METAL FINISH



WINDOW AND DOOR SYSTEM
BLACK METAL FINISH



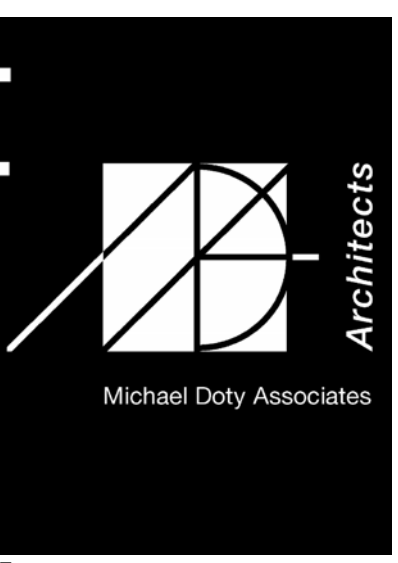
WINDOW AND DOOR SYSTEM
BLACK METAL FINISH

PROPOSED EXTERIOR FINISHES

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024





PROPOSED BUILDING ELEVATIONS - WEST

JUNE 21 - 4:30PM SCALE: 1/4" = 1'-0"

BUILDING HEIGHT - MAXIMUM - CALCULATION

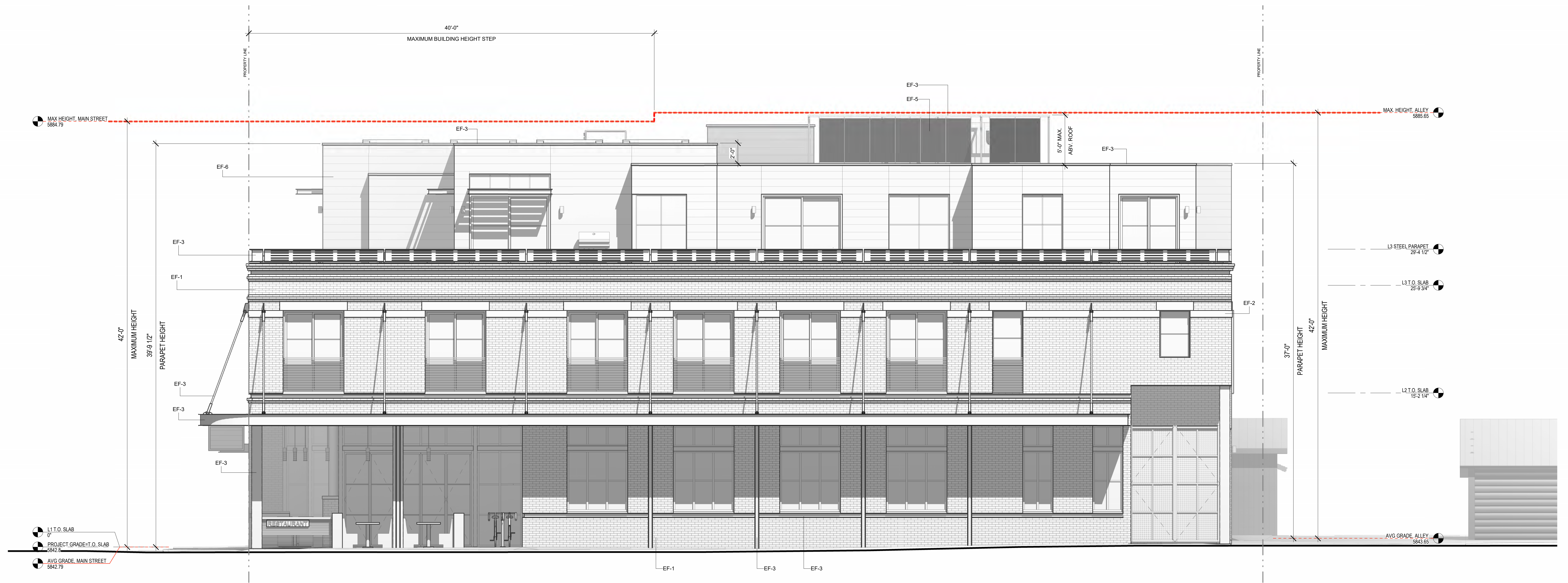
<p><u>MAXIMUM BUILDING HEIGHT AT WEST PROPERTY LINE</u></p> <p>= WEST PROPERTY LINE AVERAGE GROUND ELEVATION + 42' 0"</p> <p>= AVERAGE OF PROPERTY CORNER GROUND ELEVATIONS</p> <p>SW CORNER GROUND ELEVATION = 5842.80'</p> <p>NW CORNER GROUND ELEVATION = 5842.77'</p> <p>= 5842.80' + 5842.77' / 2 = 5842.79'</p> <p><u>WEST PROPERTY LINE MAXIMUM HEIGHT</u></p> <p>= 5842.79' + 42' = 5884.79' or 5884' 9 1/2"</p>	<p><u>MAXIMUM BUILDING HEIGHT AT EAST PROPERTY LINE</u></p> <p>= EAST PROPERTY LINE AVERAGE GROUND ELEVATION + 42' 0"</p> <p>= AVERAGE OF PROPERTY CORNER GROUND ELEVATIONS</p> <p>SE CORNER GROUND ELEVATION = 5843.40'</p> <p>NE CORNER GROUND ELEVATION = 5843.89'</p> <p>= 5843.40' + 5843.89' / 2 = 5843.65'</p> <p><u>EAST PROPERTY LINE MAXIMUM HEIGHT</u></p> <p>= 5843.65' + 42' = 5885.65' or 5885' 7 3/4"</p>
---	---

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024





PROPOSED BUILDING ELEVATIONS - SOUTH

SHADOWS: 06/21, 11:00 AM SCALE: 1/4" = 1'-0"

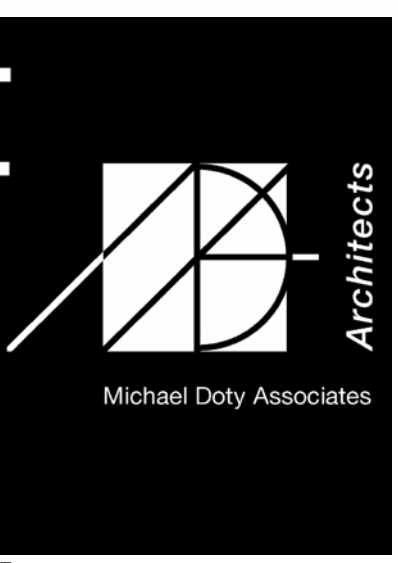
BUILDING HEIGHT - MAXIMUM - CALCULATION

MAXIMUM BUILDING HEIGHT AT WEST PROPERTY LINE	MAXIMUM BUILDING HEIGHT AT EAST PROPERTY LINE
= WEST PROPERTY LINE AVERAGE GROUND ELEVATION + 42' 0"	= EAST PROPERTY LINE AVERAGE GROUND ELEVATION + 42' 0"
= AVERAGE OF PROPERTY CORNER GROUND ELEVATIONS	= AVERAGE OF PROPERTY CORNER GROUND ELEVATIONS
SW CORNER GROUND ELEVATION = 5842.80'	SE CORNER GROUND ELEVATION = 5843.40'
NW CORNER GROUND ELEVATION = 5842.77'	NE CORNER GROUND ELEVATION = 5843.89'
= $5842.80' + 5842.77' / 2 = 5842.79'$	= $5843.40' + 5843.89' / 2 = 5843.65'$
WEST PROPERTY LINE MAXIMUM HEIGHT	EAST PROPERTY LINE MAXIMUM HEIGHT
= $5842.79' + 42' = 5884.79'$ or $5884' 9 1/2"$	= $5843.65' + 42' = 5885.65'$ or $5885' 7 3/4"$

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024

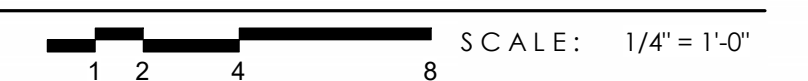




BUILDING HEIGHT - MAXIMUM - CALCULATION

MAXIMUM BUILDING HEIGHT AT WEST PROPERTY LINE	MAXIMUM BUILDING HEIGHT AT EAST PROPERTY LINE
= WEST PROPERTY LINE AVERAGE GROUND ELEVATION + 42' 0"	= EAST PROPERTY LINE AVERAGE GROUND ELEVATION + 42' 0"
= AVERAGE OF PROPERTY CORNER GROUND ELEVATIONS	= AVERAGE OF PROPERTY CORNER GROUND ELEVATIONS
SW CORNER GROUND ELEVATION = 5842.80' NW CORNER GROUND ELEVATION = 5842.77'	SE CORNER GROUND ELEVATION = 5843.40' NE CORNER GROUND ELEVATION = 5843.89'
= $5842.80' + 5842.77' / 2 = 5842.79'$	= $5843.40' + 5843.89' / 2 = 5843.65'$
WEST PROPERTY LINE MAXIMUM HEIGHT	EAST PROPERTY LINE MAXIMUM HEIGHT
= $5842.79' + 42' = 5884.79'$ or $5884' 9 1/2''$	= $5843.65' + 42' = 5885.65'$ or $5885' 7 3/4''$

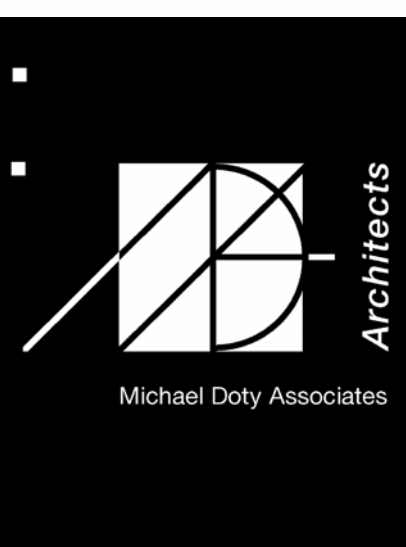
PROPOSED BUILDING ELEVATIONS - EAST

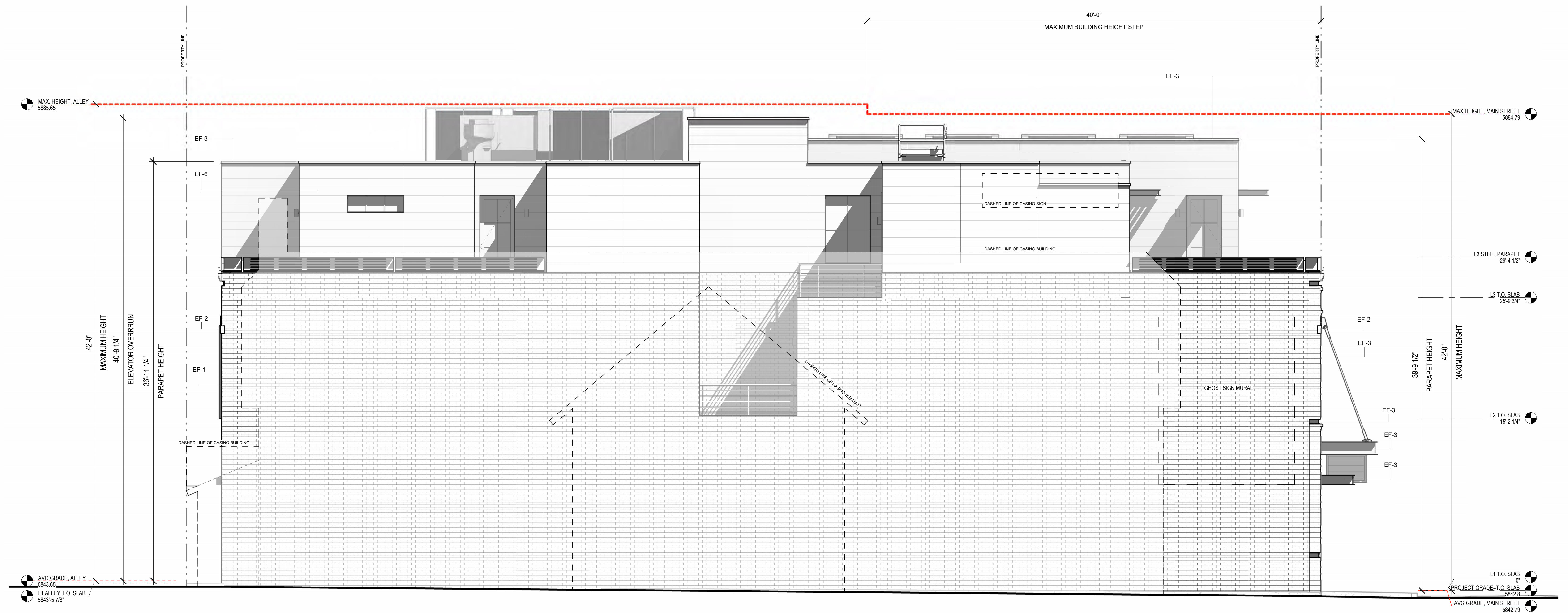


200 NORTH MAIN

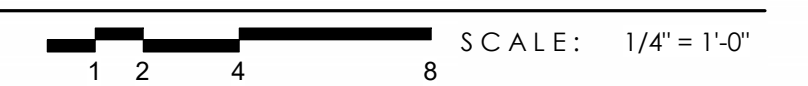
200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024





PROPOSED BUILDING ELEVATIONS - NORTH



BUILDING HEIGHT - MAXIMUM - CALCULATION

MAXIMUM BUILDING HEIGHT AT WEST PROPERTY LINE

= WEST PROPERTY LINE AVERAGE GROUND ELEVATION + 42' 0"

= AVERAGE OF PROPERTY CORNER GROUND ELEVATIONS

SW CORNER GROUND ELEVATION = 5842.80'
NW CORNER GROUND ELEVATION = 5842.77'

= 5842.80' + 5842.77' / 2 = 5842.79'

WEST PROPERTY LINE MAXIMUM HEIGHT

= 5842.79' + 42' = **5884.79'** or 5884' 9 1/2"

MAXIMUM BUILDING HEIGHT AT EAST PROPERTY LINE

= EAST PROPERTY LINE AVERAGE GROUND ELEVATION + 42' 0"

= AVERAGE OF PROPERTY CORNER GROUND ELEVATIONS

SE CORNER GROUND ELEVATION = 5843.40'
NE CORNER GROUND ELEVATION = 5843.89'

= 5843.40' + 5843.89' / 2 = 5843.65'

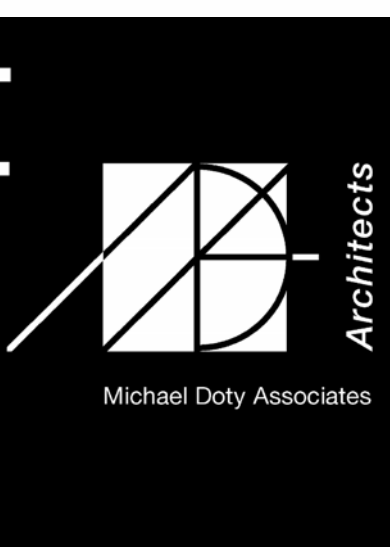
EAST PROPERTY LINE MAXIMUM HEIGHT

= 5843.65' + 42' = **5885.65'** or 5885' 7 3/4"

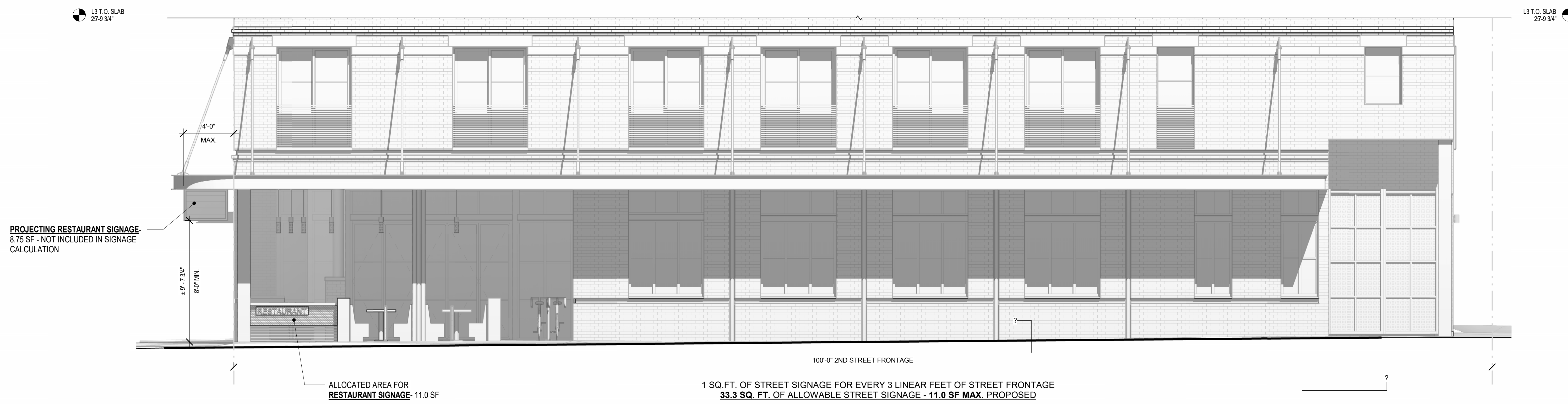
200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024

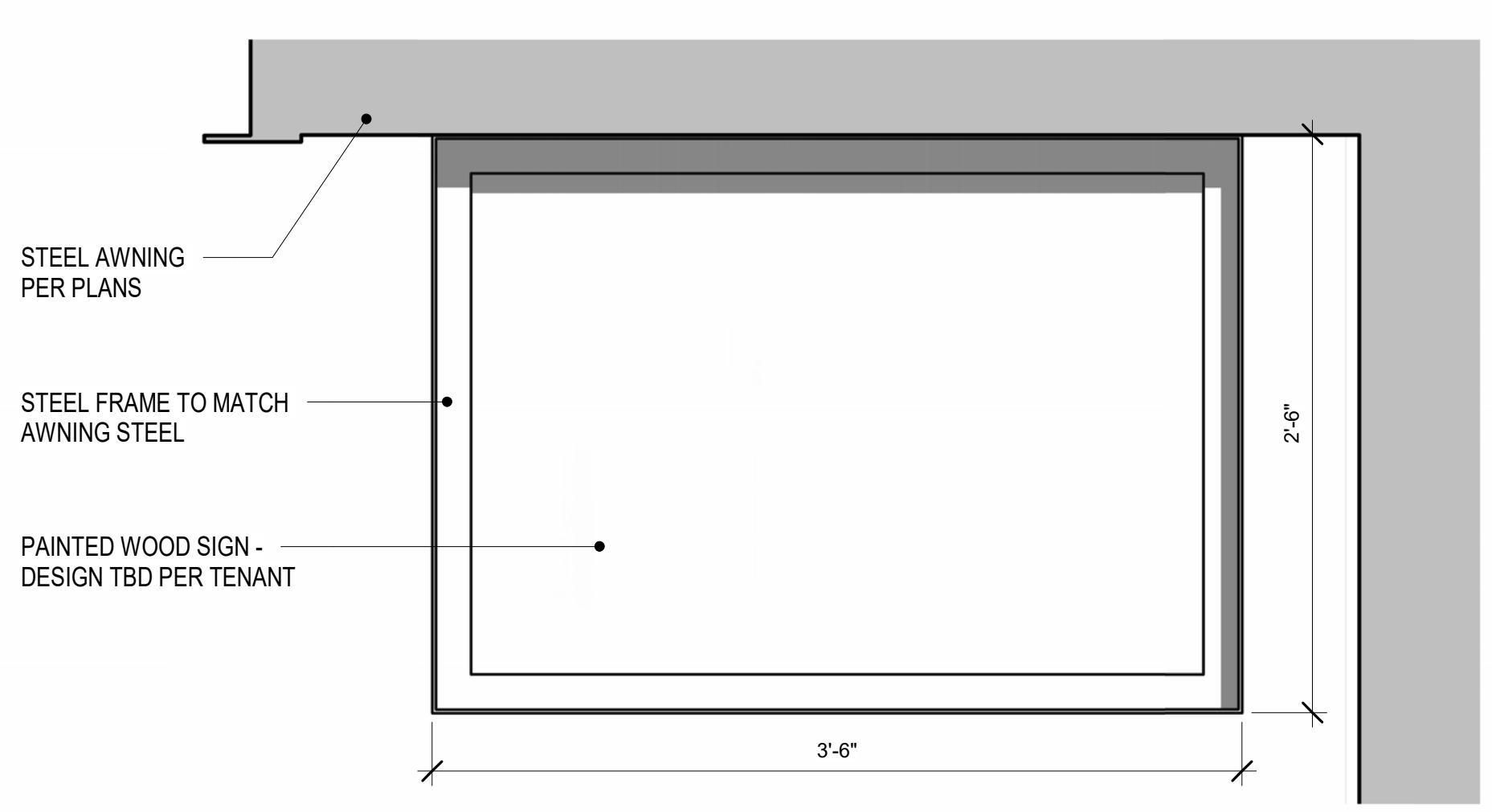


Michael Doty Associates, Architects PC



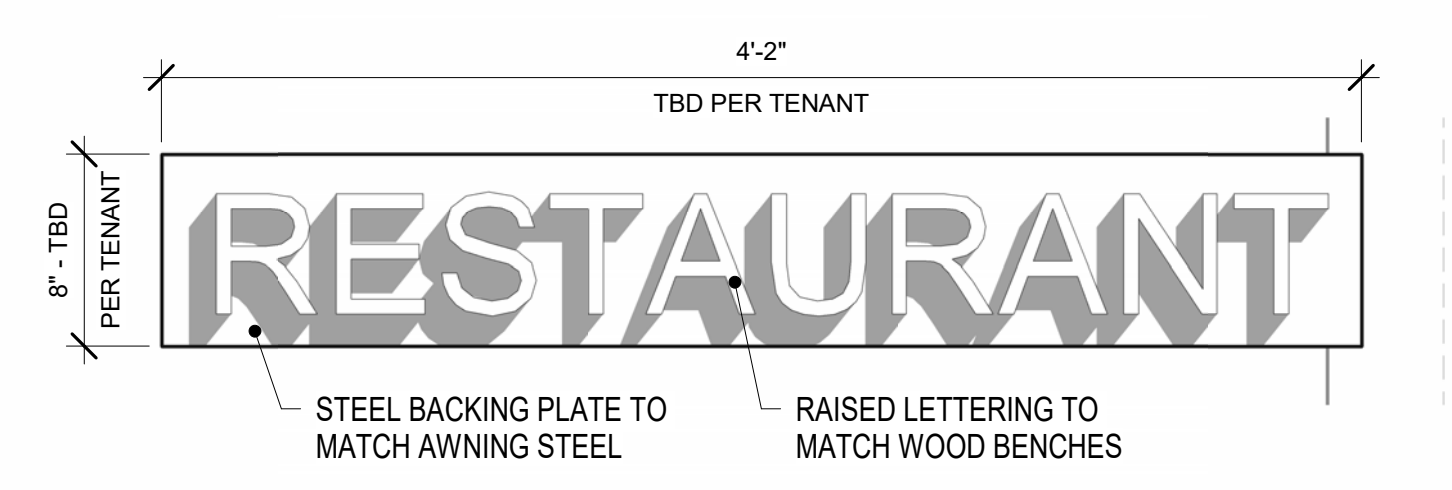
2ND STREET FRONTAGE SIGNAGE ②

1/4" = 1'-0"



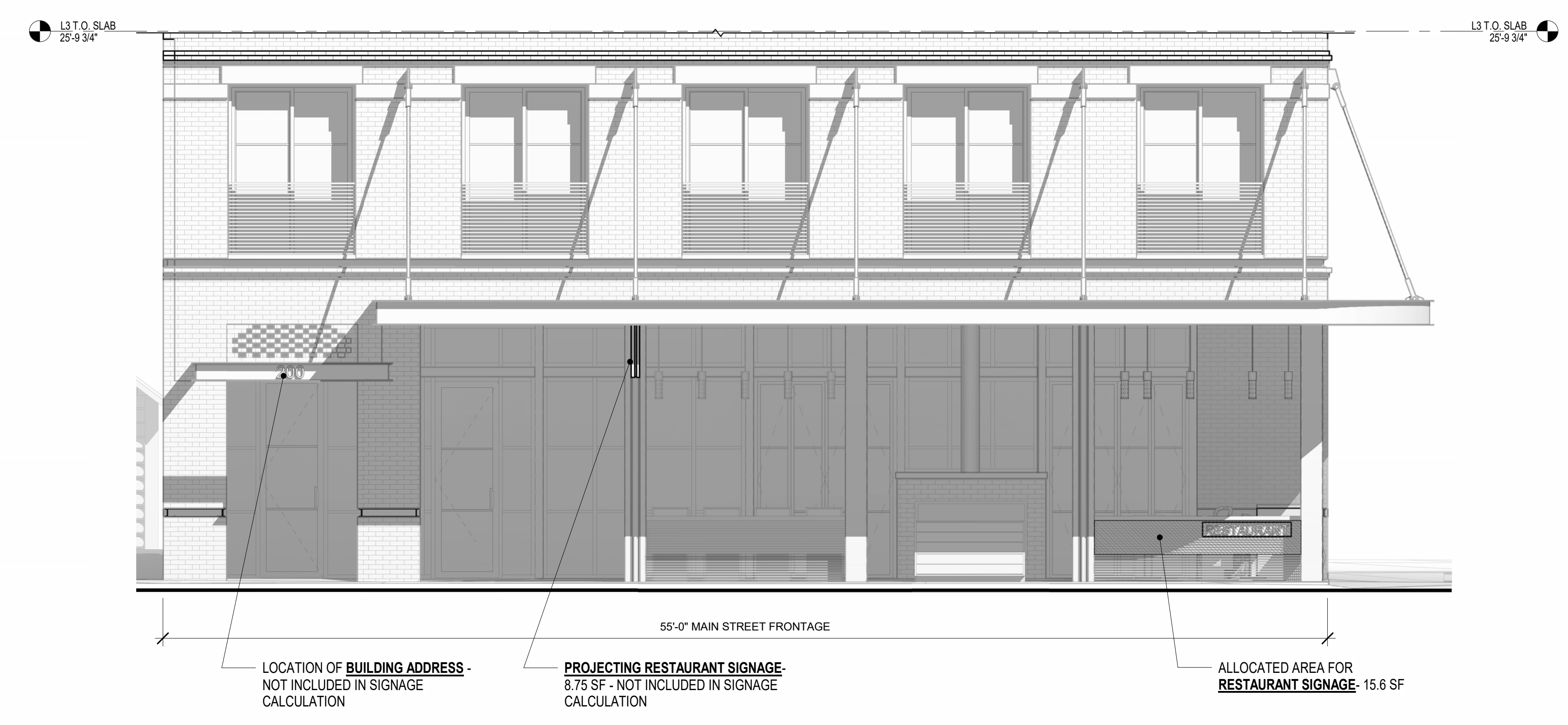
PROJECTING RESTAURANT SIGNAGE ④

1 1/2" = 1'-0"



RESTAURANT SIGNAGE ③

1 1/2" = 1'-0"



MAIN STREET FRONTAGE SIGNAGE ①

1/4" = 1'-0"

PROPOSED BUILDING SIGNAGE

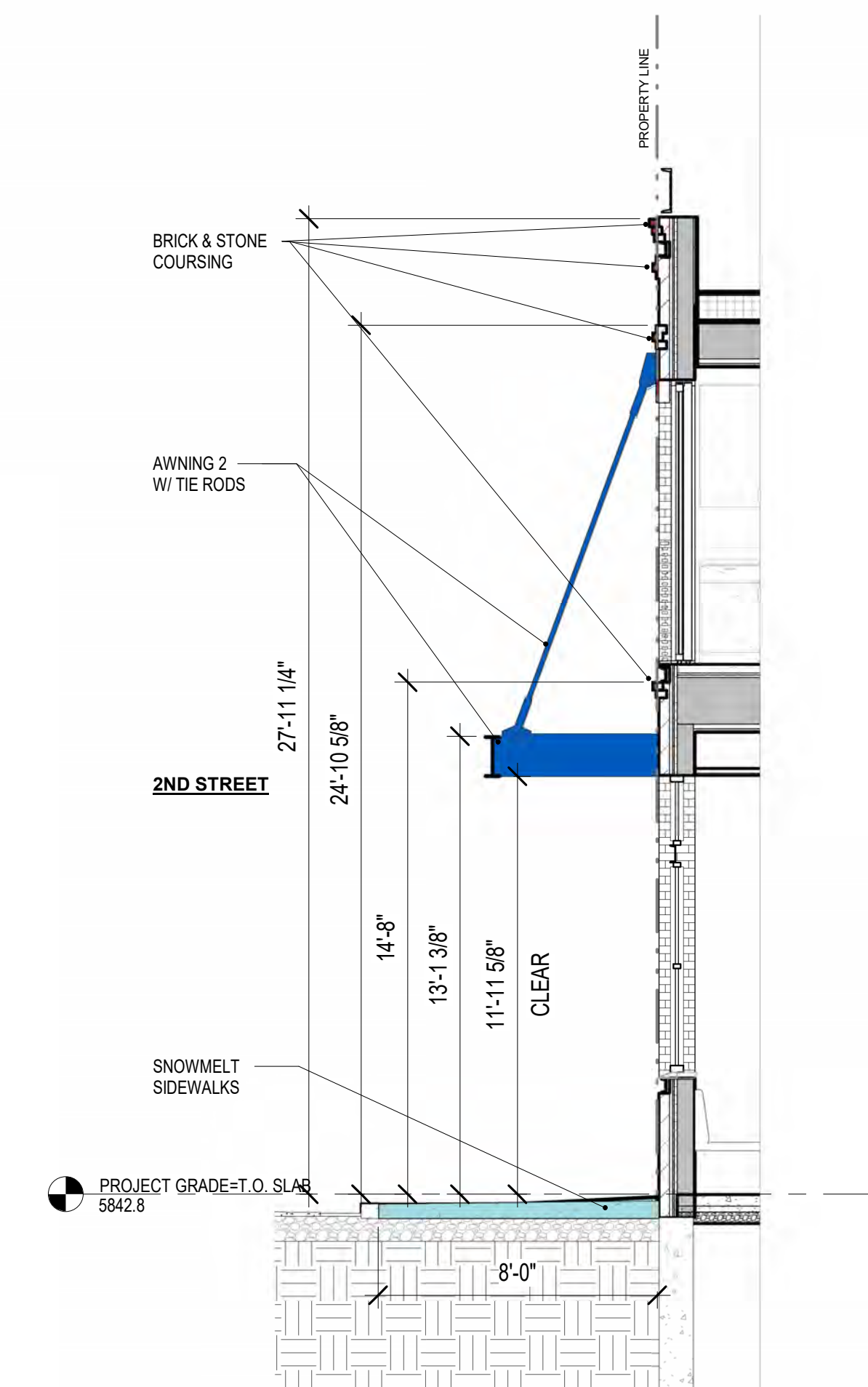
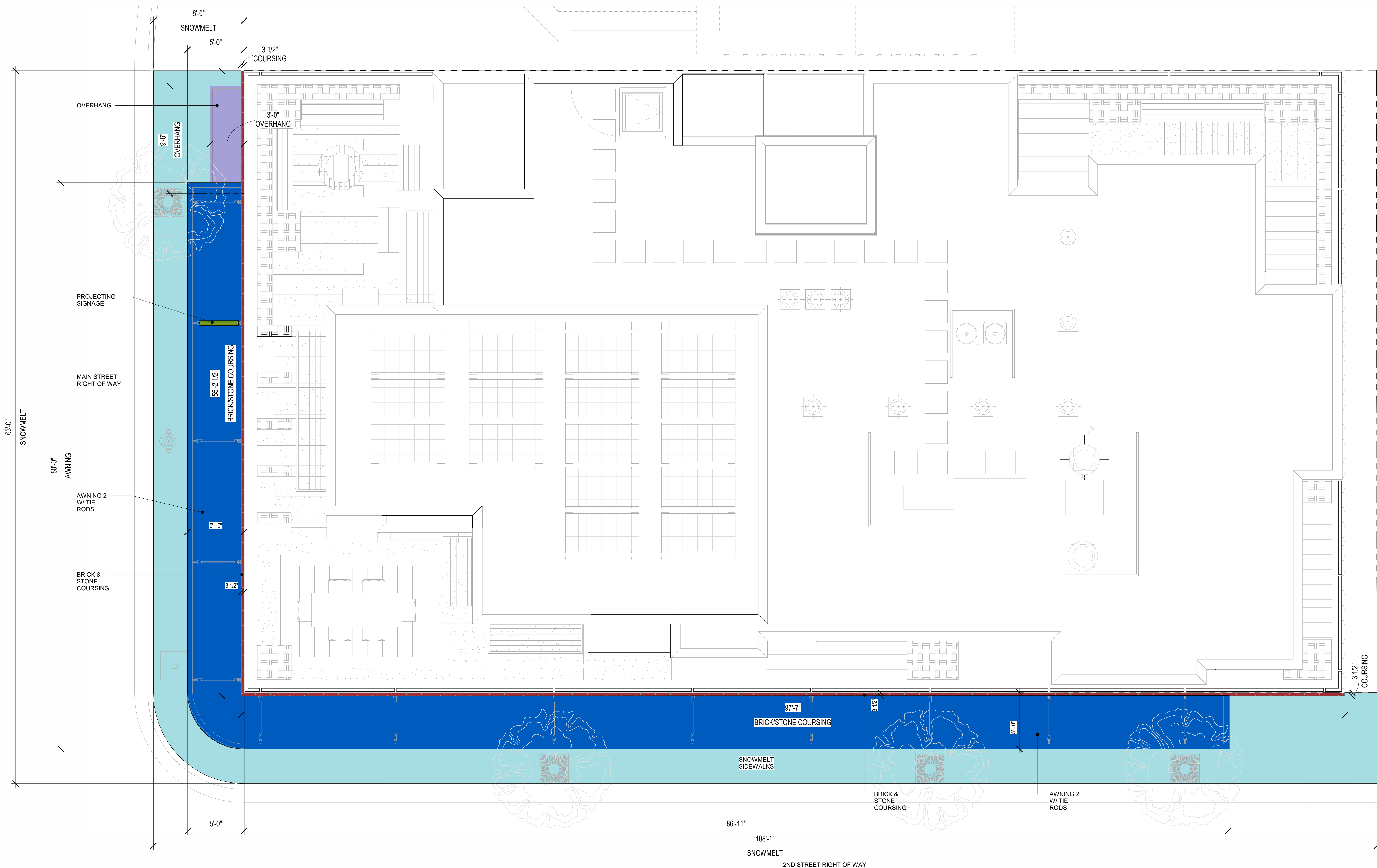
SCALE: As indicated

200 NORTH MAIN

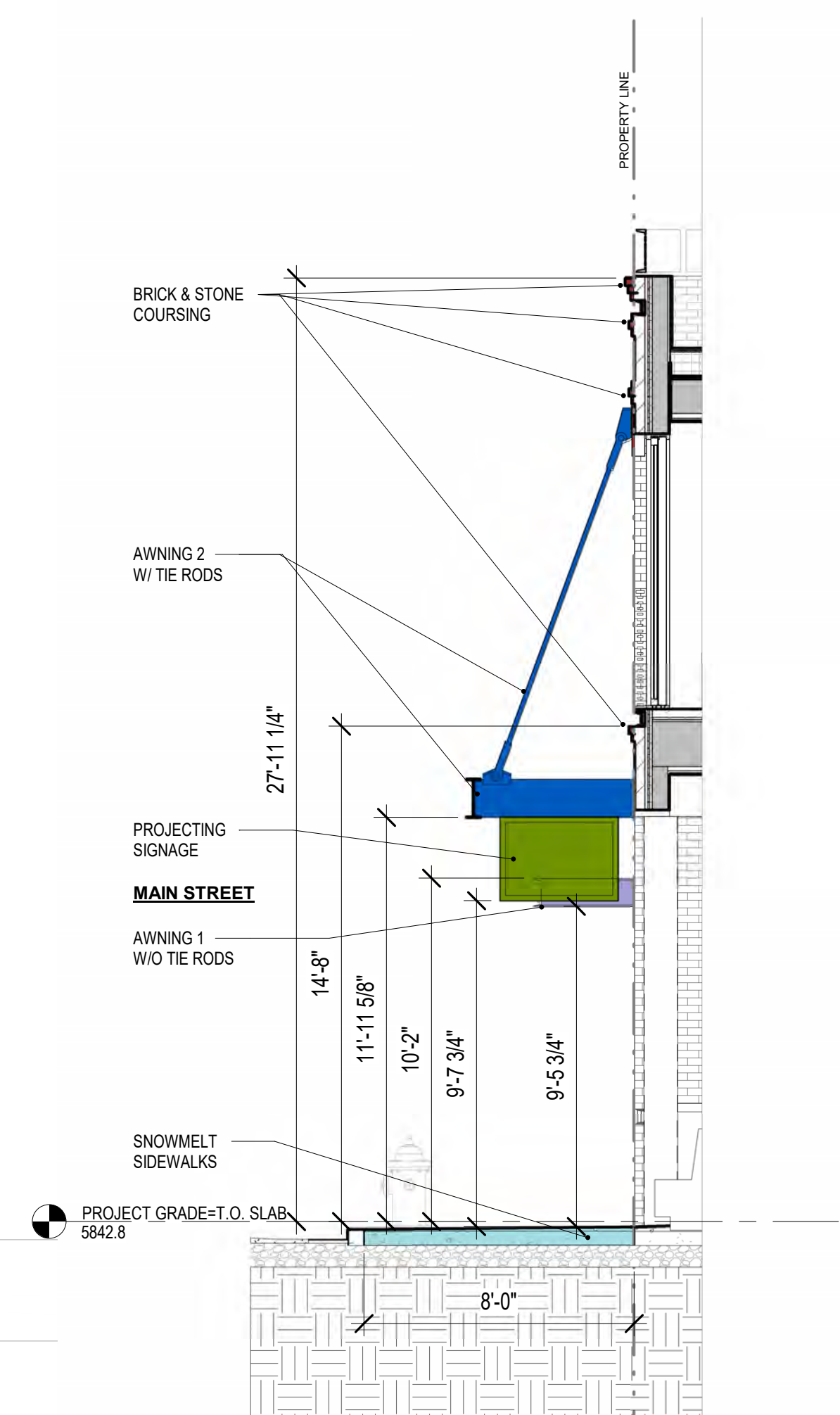
200 N. MAIN ST.
 KETCHUM, ID 83340

DESIGN REVIEW 2
 1/17/2024










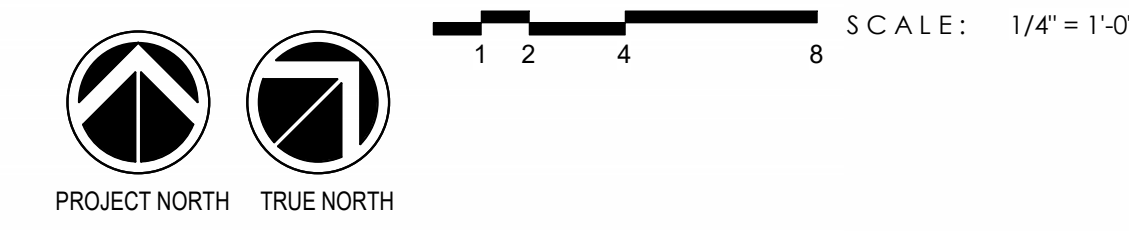
2ND STREET FACADE



MAIN STREET FACADE

PROPOSED RIGHT-OF-WAY ENCROACHMENT

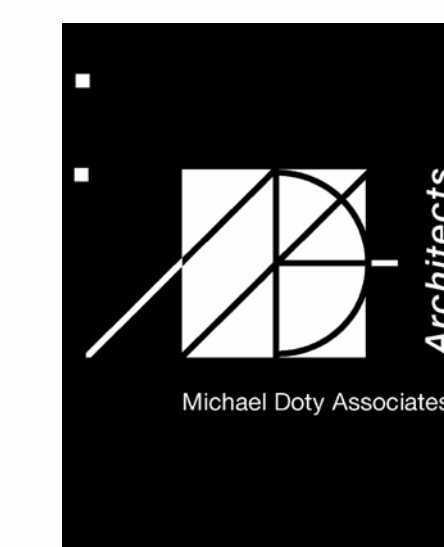
ENCROACHMENT AND CONDITIONAL USE LEGEND	
	AWNING 1 WITHOUT TIE RODS 2'-11 1/2" ENCROACHMENT ON MAIN STREET RIGHT OF WAY
	AWNING 2 WITH TIE RODS 5'-0" ENCROACHMENT ON MAIN STREET & 2ND STREET RIGHT OF WAY; INCLUDES COMMERCIAL AND STREET LIGHTING
	BRICK & STONE COURSING 3 1/2" ENCROACHMENT ON MAIN STREET & 2ND STREET RIGHT OF WAY
	SIDEWALK SNOW MELT 8' ENCROACHMENT (FULL SIDEWALK WIDTH) ON MAIN STREET & 2ND STREET RIGHT OF WAY
	PROJECTING SIGNAGE 4' ENCROACHMENT ON MAIN STREET RIGHT OF WAY

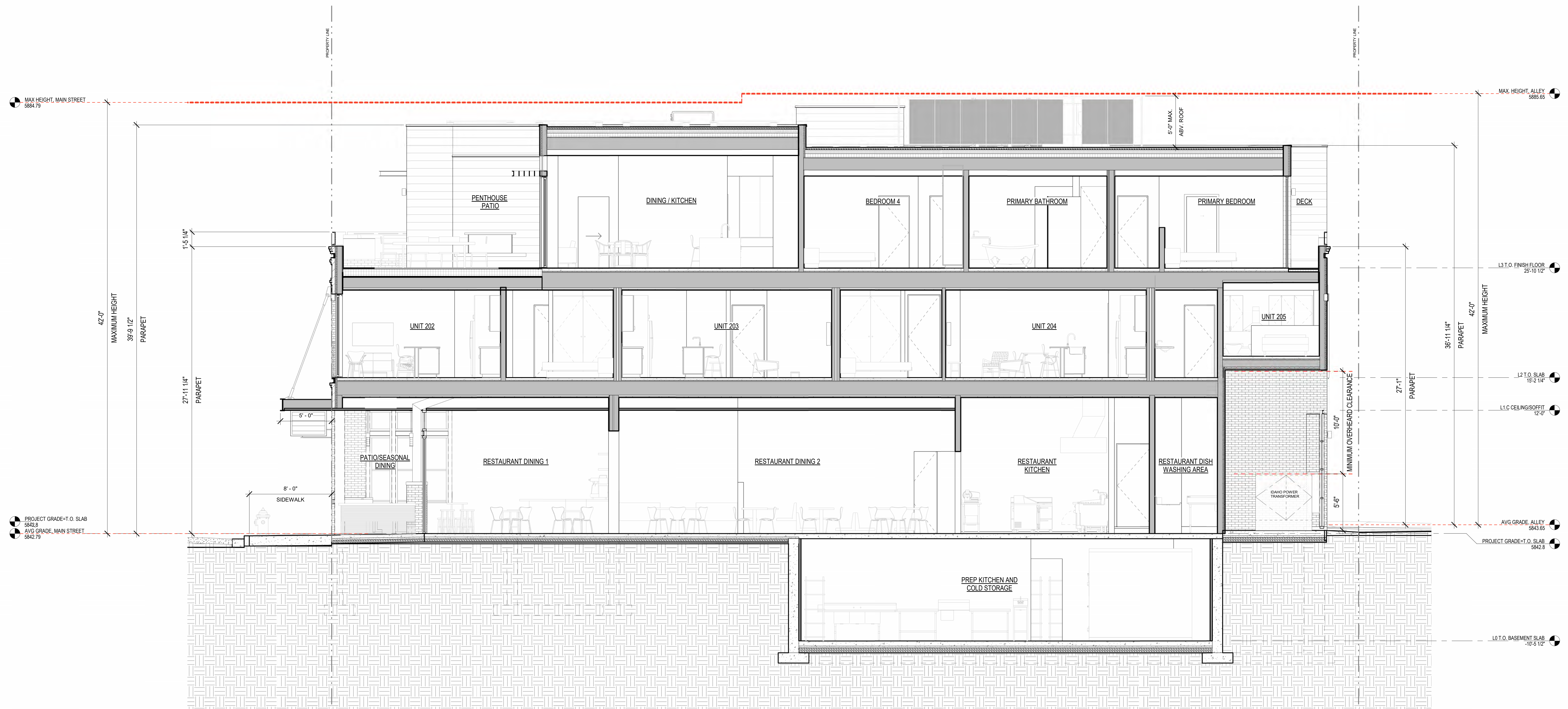


200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024





PROPOSED BUILDING SECTION

SCALE: 1/4" = 1'-0"

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024



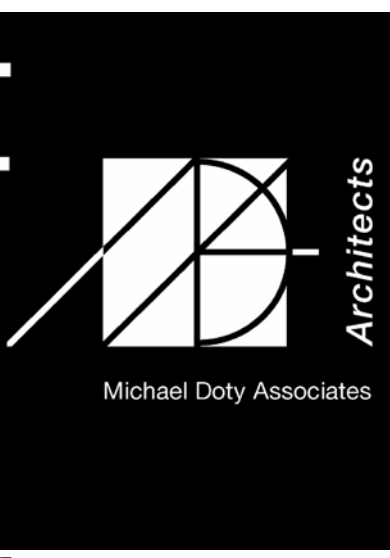


EXISTING WEST PERSPECTIVE

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024



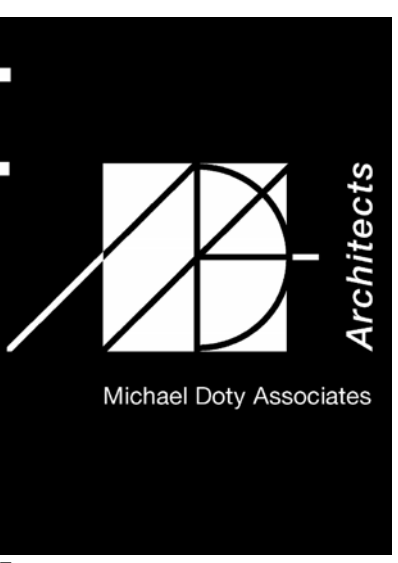


ORIGINAL DESIGN WEST PERSPECTIVE

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024



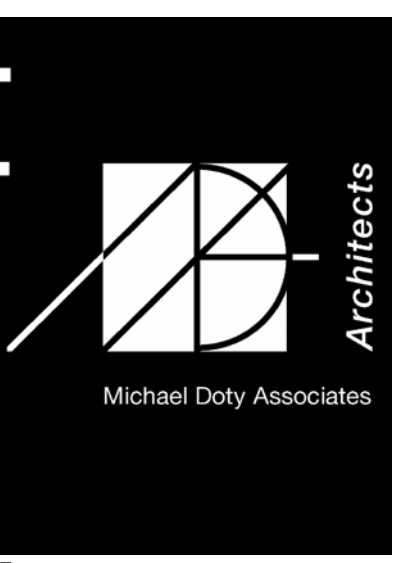


PROPOSED REVISION WEST PERSPECTIVE

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024



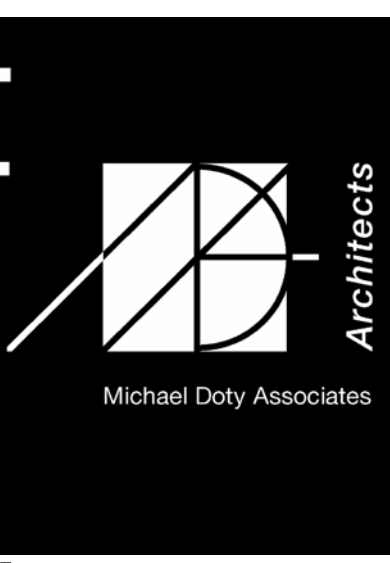


EXISTING WEST PERSPECTIVE

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024



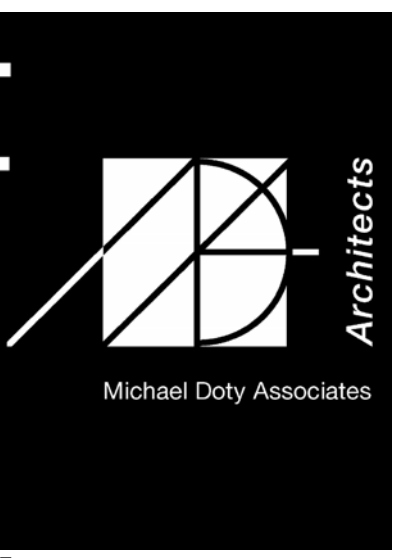


PROPOSED REVISION WEST PERSPECTIVE

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024



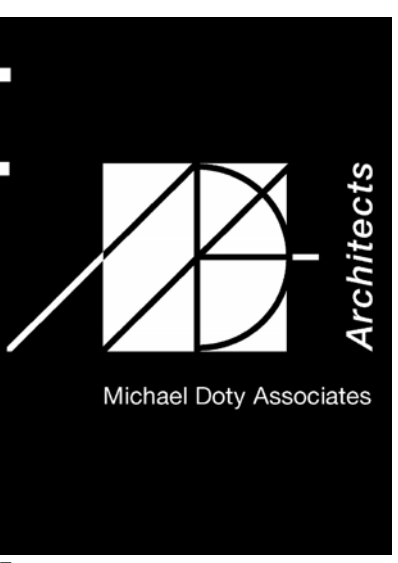


EXISTING SOUTH PERSPECTIVE

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024



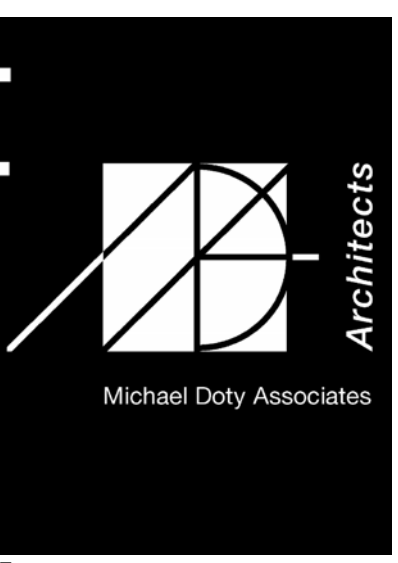


ORIGINAL DESIGN SOUTH PERSPECTIVE

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024



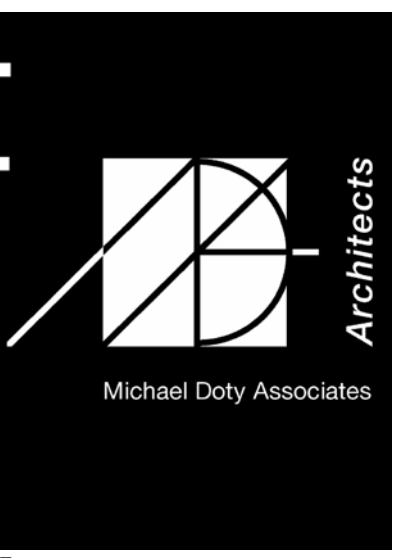


PROPOSED REVISION SOUTH PERSPECTIVE

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024



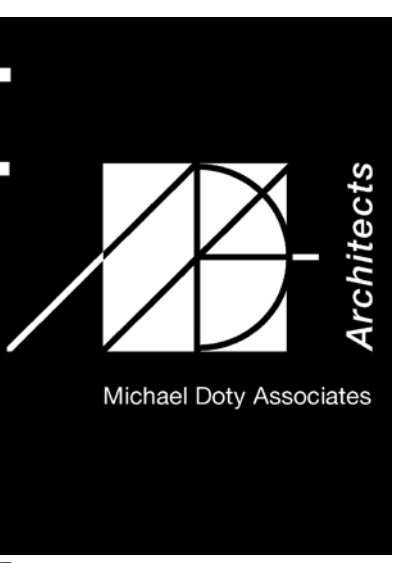


EXISTING SOUTH PERSPECTIVE

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024



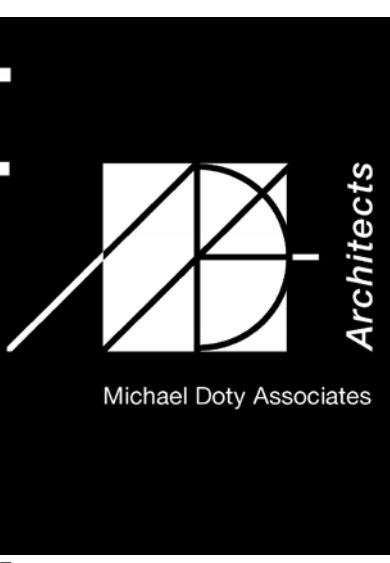


PROPOSED REVISION SOUTH PERSPECTIVE

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024



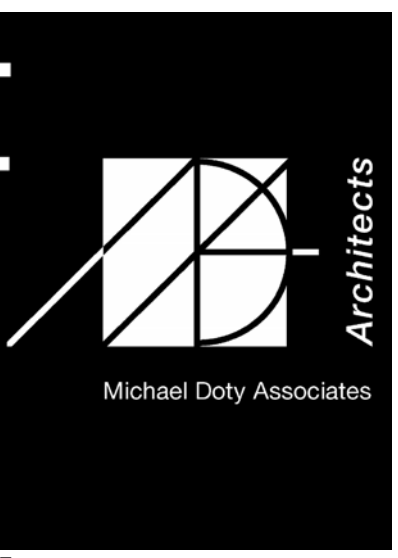


EXISTING NORTH PERSPECTIVE

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024



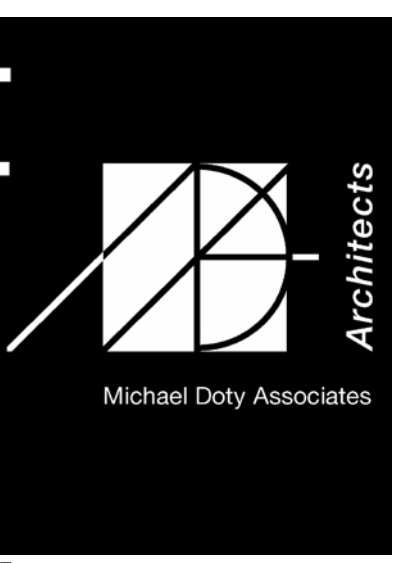


PROPOSED REVISION NORTH PERSPECTIVE

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024



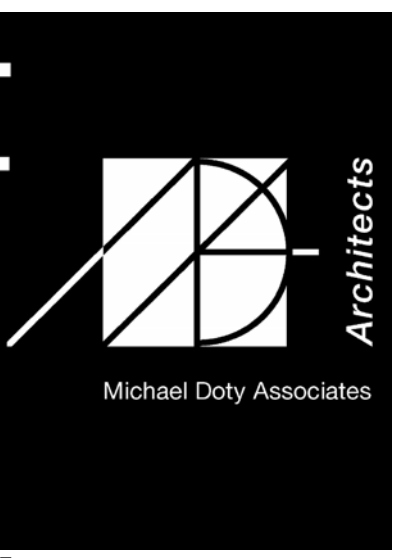


PROPOSED REVISION NORTH PERSPECTIVE

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024



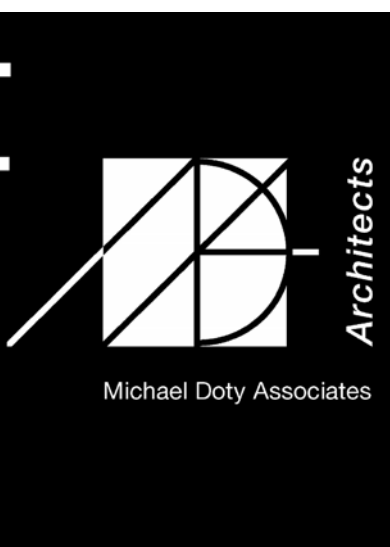


EXISTING EAST PERSPECTIVE

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024





PROPOSED REVISION EAST PERSPECTIVE

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024



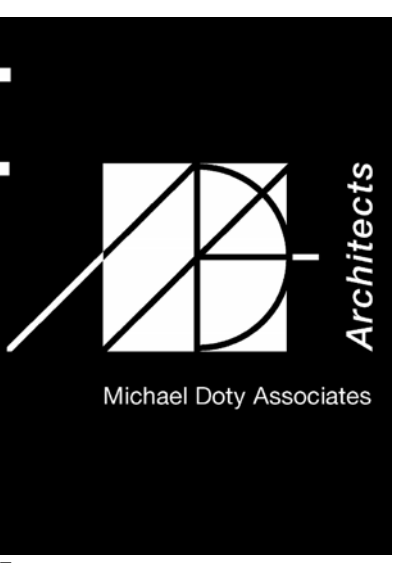


EXISTING MAIN STREET PERSPECTIVE

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024



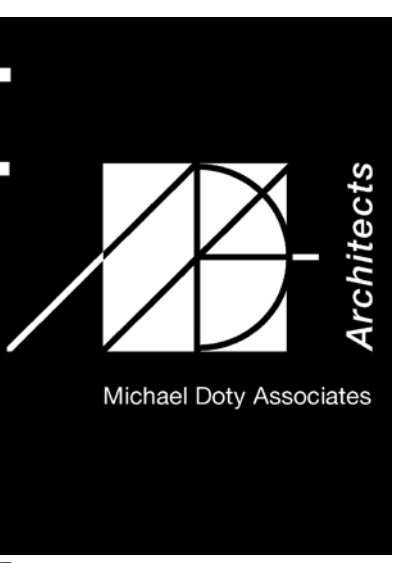


ORIGINAL DESIGN MAIN STREET PERSPECTIVE

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024



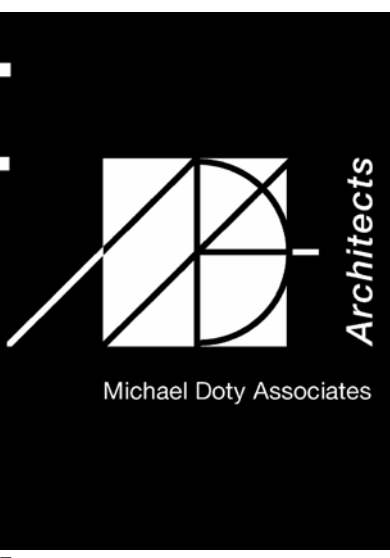


PROPOSED REVISION MAIN STREET PERSPECTIVE

200 NORTH MAIN

200 N. MAIN ST.
KETCHUM, ID 83340

DESIGN REVIEW 2
1/17/2024



Attachment C

Design Review Application Materials:
Architect's Design Review Revisions
Memo



Michael Doty Associates

■ ARCHITECT'S MEMO

To: City of Ketchum Planning and Building

From: Michael Doty, AIA, LEED AP

Date: 01/17/2024

Re: 200 North Main; Design Review Revisions

Main Floor Revisions:

- Dimmed outdoor dining light fixtures to appropriate dining levels and removed canopy fixtures at second street, resulting in footcandle levels at the street and sidewalk to meet the planning staff's recommended levels.
- Moved the structural brace frame in the kitchen prep area at 2nd street inboard by 6".

Second Floor Revisions:

- Reduced 2nd floor ceiling height by 7 ½" thereby reducing the building heights by the same amount, and further reducing the 2nd floor brick parapet height by an additional 1/2" after adjusting for modular brick coursing, resulting in an 8" total reduction of height at the brick parapet/guardrail.
- Moved the structural brace frame in Units 204 & 205 at 2nd street inboard by 6".

Third Floor and Rooftop Revisions:

- Reduced 3rd floor ceiling heights by 12" respectively, thereby reducing the building heights by the same amount.
- Reduced parapet heights by 2" thereby reducing the building heights by the same amount.
- Moved the structural brace frame in the Primary Bedroom at 2nd street inboard by 6", allowing the exterior wall to also move back so the brick parapet and steel guardrail cap element can pass in front unimpeded, strengthening the 2-story visual datum.
- Removed ventilation hood and associated roof element over the BBQ grill, reducing building mass.
- Reduced the ceiling height over the kitchen pop-out adjacent to the BBQ grill to match the lower ceiling of the bedrooms, reducing building mass.
- Modified guardrail at portion of low roof adjacent to elevator to an open rail style in lieu of solid brick parapet and steel guardrail cap, reducing building mass.
- Reduced ceiling/roof height over Main Street-side exit stair mid-landing by an additional 2-feet, reducing building mass.

Post Office Box 2792
371 Washington
Avenue North
Ketchum, ID 83340
Tel. 208.726.4228
www.mda-arc.com

- Changed exterior finish to Neolith sintered stone siding panels in Iron Corten color to complement the red and brown tones in the brick veneer below.
- Changed rooftop shade tree to a Vine Maple with a more compact mature height and spread.

General Summary:

- In response to the commission's constructive comments, the above revisions, taken as a whole, work together to provide a substantive reduction to the overall building height and perceived massing as viewed from Main Street.
 - 21 ½" reduction to the overall building heights from 41'-7" to 39'-9 ½" at the upper parapet and from 39'-7" to 37'-9 ½" at the lower parapet.
 - 8" reduction to the second story brick parapet/guardrail from 30'-0 ½" to 29'-4 ½".
 - 80% of the building is now less than 38-feet in height.
 - 100% of the building, apart from the elevator overrun (40'-9 ¼") and the mechanical screens (60" maximum above roof surface), is now less than 40-feet in height.
 - The removal of the wall and roof above the BBQ grill meaningfully reduces the visual perception of height and mass as viewed from the street.
 - The lowered roof over the stair landing reduces the street-level visual perception of the stair element's height and mass to such a degree that it is obscured when the building is viewed from the south and west.

Attachment D

Surrounding Building

Heights, Floor Area Ratios, and Exterior
Materials

Surrounding Building Heights, Floor Area Ratios, and Exterior Materials							
Building Name	Property Address	Lot Area	Gross Floor Area	Floor Area Ratio	Number of Floors	Height	Building Materials
Casino (Historic Name: Ketchum Kamp Hotel)	220 N Main Street	7,321 sq ft	8,211 sq ft	1.13	2	~30 feet	Wood Frame, Logs
Warfield	280 N Main Street	9,186 sq ft	12,001 sq ft	1.31	2	42 feet	Brick, Wood, Dark Metal Accents
Leadville Trading (currently under construction)	211 N Leadville Avenue	5,500 sq ft	6,039 sq ft	1.10	2	32 feet	Brick, Metal Panels, Dark Accents
Vintage Restaurant (Historic Name: Bert Cross Cabin)	231 N Leadville Avenue	5,500 sq ft	711 sq ft	.13	1	~15 feet	Log Cabin, Metal Roof
McCann Daech Fenton Realtors	271 N Leadville Avenue	5,500 sq ft	3,112 sq ft	.57	1.5	26 feet	Wood Frame, Metal Roof
360 SVR Condominiums/Olbum Building	360 E Sun Valley Road	5,504 sq ft	6,488 sq ft	1.18	2	33 feet-8 inches	Brick, Dryvit, Metal Roof
Culinary Institute (Historic Name: Greenhow & Rumsey Store)	211 N Main Street	2,737 sq ft	3,617 sq ft	1.33	2	24 feet	Brick
Sawtooth Club	231 N Main Street	2,763 sq ft	5,136 sq ft	1.86	2	26 feet	Brick, Metal Railing, Green Trim
Whiskey Jacques	251 N Main Street	5,428 sq ft	10,237 sq ft	1.89	2	32.5 feet	Stained Cedar, Rusted Metal, Stone Veneer, Stucco
Sotheby's International Realty	291 N Main Street	5,500 sq ft	2,984 sq ft	.55	1	14 feet	Wood Siding
Rocky Mountain Hardware (Historic Name: Lewis Bank)	180 N Main Street	4,978 sq ft	5,026 sq ft	1.01	2	31 feet-9 inches	Brick, Stucco, Timber Cladding
Ketchum Korner Building	191 N Main Street	11,020 sq ft	12,487 sq ft	1.14	2	37 feet	Wood Siding, Stucco, Metal Roof
131 Main Street Condos (US Bank Building)	111 N Main Street	11,000 sq ft	19,422 sq ft	1.77	3	40 feet	Brick, Stucco, Stone
Village Market	100 N Main Street	26,692 sq ft	19,422 sq ft	0.73	3	40 feet	Corrugated Sheet Metal Siding, Stone
Argyros	120 S Main Street	12,108 sq ft	17,859 sq ft	1.48	2	42 feet	Wood Laminate Panels, Vertical Zinc Siding, Fiber Cement Wall Panels
200 North Main	200 N Main Street	5,503 sq ft	12,405 sq ft	2.25	3	39 feet-10 inches	Brick, Limestone, Stone Siding Panels, Dark Steel Accents

Attachment E
Public Comment



BLAINE COUNTY HOUSING AUTHORITY

208.788.6102 | INFO@BCOHA.ORG | WWW.BCOHA.ORG | PO BOX 4045 | KETCHUM, ID 83340

February 8, 2024

Memo

To: Members of the Ketchum Planning and Zoning Commission
City of Ketchum Senior Planner Abby Rivin

From: Keith Perry, Chair
Blaine County Housing Authority

Subject: 200 N. Main Project Comments and Support for Community Housing Units

On behalf of the Blaine County Housing Authority (BCHA), I am writing to provide comments on the proposed development under design review at 200 N. Main Street. BCHA is supportive of the City of Ketchum's FAR Exceedance Program and its use to incentivize the development of deed-restricted community housing. The FAR Exceedance Program is one of the only tools currently available in the community to encourage market production of deed-restricted community housing without public or philanthropic subsidies. We are pleased to see this project is utilizing the FAR exceedance bonus and providing two deed-restricted community housing units.

Regarding the size of the proposed housing units, the 2023 Blaine County Housing Survey found that among respondent households in need of or expecting to need housing, 79% reported they could accept a 1-bedroom unit, with over 50% reporting that a 1-bedroom unit would be ideal. Two-bedroom units were reported to be the most ideal and most acceptable unit size. There is high housing need among smaller households.

The BCHA recognizes that the proposed building at 200 N. Main includes four additional unrestricted 1-bedroom units on the second floor. While these units may ultimately be rented to some members of the community, there is no guarantee that they will house or be affordable to locals without a deed restriction. The 2022 Housing Needs Assessment and 2023 update show that there is need for community housing up to 250% of Area Median Income, although the greatest need is for households earning less than 80% of Area Median Income. The FAR Exceedance Program does not require that additional square footage or units in this building be deed-restricted for community housing, however, if the applicant wishes to ensure that the 1-bedroom units are rented to full-time, qualifying members of the community, the applicant could consider voluntarily restricting the units with a Category Local deed-restriction. BCHA's income Category Local does not have an income limit or a maximum rent limit. However, Category Local units have a substantial net worth maximum and require that occupants meet BCHA's basic qualifications of full-time local employment or allowed exceptions.

We appreciate your consideration of these comments and hope that you will support the project and its delivery of two additional Category 4 deed-restricted housing units for our community.

February 5, 2024

RE: 200 Main Street Application

Dear Ketchum Planning & Zoning Commissioners,

I am aware of the pending Planning Department application submitted for the property at 200 Main St., Ketchum.

I am in full support of the project both as a nearby local business and as an employer interested in the addition of for- rent residential units that may be available for employees.

Please approve the referenced application so this project can move forward to add to the vitality of Main Street Ketchum.

Thank you.

John Curnow

General Manager, Limelight Ketchum

Participate

From: Doug Waddell <doug@waddellpropertiesinc.com>
Sent: Wednesday, January 31, 2024 11:58 AM
To: Participate
Subject: Proposed development - 200 N Main

Dear City of Ketchum Planning and Zoning Commission –

Our family has been in the Valley for over 20 years and are currently in Warm Springs. Over that time, we have seen a fair amount of new development, most of it good, some just ok. I have thoroughly reviewed the proposed plans, did a second look along Main Street and fully support this development. Below are some of the reasons for that support.

- I like how they have looked into the history of the town and incorporated design and materials consistent with the neighborhood and the City design guidelines and Comprehensive Plan. Specifically the brick, concrete headers, windows and black trim.
- The bulk and scale of the building fit very well into the neighborhood. By recessing (wedding caking) the third floor, it feels much less imposing than it could be and specially less than the bank building across the street a block or so to the south. It seems to be equal or less than the City code allows.
- From what I can tell on the drawings, it appears to be very pedestrian friendly with nice planters, seating and coverings along the sidewalk.
- The City is in desperate need of any new rental housing.

Thank you for considering this recommendation of approval.

Doug Waddell

Participate

From: Emily Stoddard <emily@huckandpaddle.com>
Sent: Friday, January 26, 2024 1:51 PM
To: Participate
Subject: Dudunakis SV LLC - Main Street/ 2nd Ave Project

My name is Emily Stoddard, owner of Huck + Paddle at 400 Sun Valley Road, which is owned by the Dudunakis SV LLC. I am aware that they are in the planning process of new development on Main Street and 2nd Ave. While I can't speak to the proposed design and use(s) on that lot, I wanted to send a quick note to say how lovely Kenny and Kris Dudunakis are as landlords and existing building owners here in town. Since purchasing the Cellar Building in 2020, Kenny and Kris have taken great care to make the necessary improvements all while preserving the nostalgia of the building. They have a deep appreciation for the City of Ketchum and it's history. As a small business owner, it is so comforting to have the support and appreciation from my landlord. I have no doubt that Dudunakis SV LLC will carry that same care and respect for a vibrant retail and dining culture in Ketchum with them to their next project.

Thank you,
Emily

Participate

From: Carson Palmer <carson@silentwater.com>
Sent: Friday, January 26, 2024 1:35 PM
To: Participate
Subject: Rico's building

Hello,

I'm am writing in to support the new Rico's building. I really like the design with all the beautiful brick on the exterior as well as the number of housing units this project brings to downtown Ketchum.

Best, Carson Palmer

Sent from my iPhone

Participate

From: Paul Kenny <paul@kenny-bogue.com>
Sent: Sunday, February 4, 2024 1:06 PM
To: Participate
Cc: Neil Bradshaw; Morgan Landers; Abby Rivin
Subject: 200 North Main - February 13, 2024 Hearing

Dear Planning & Zoning Commissioners;

Please attach this email to the staff report for the February 13, 2024 Hearing regarding the 200 North Main Street project.

I am writing in support of the project as proposed by the property owner. I believe that Michael Doty Associates has done a very good job of designing a structure that fits in with the appearance of the current projects on Main Street, respects the stated goals of city staff, and complies with the intended direction of the ordinance and comp plan rewrites.

The city has made an effort in the past year to direct developers toward dense, mixed-use buildings that bring ground floor commercial uses and residential spaces on upper levels. The proposed project definitely accomplishes that. The six units, which will likely target a middle income range for workers in Ketchum, are planned to measure between 505 and 641 square feet, two of which are proposed as deed-restricted community housing units. This density of housing units in the downtown core is accomplishing the stated goals of the city, and importantly those of the downtown business operators that struggle to find and house their employees.

I respectfully ask that you please approve the CUP for this project.

Sincerely,

Paul Kenny

**Paul Kenny, [CCIM](#)
Associate Broker, Principal**

**Paul Kenny & Matt Bogue
Commercial Real Estate**

Tel: [\(208\) 726-1918](tel:(208)726-1918)

Cell: [\(208\) 720-3125](tel:(208)720-3125)

www.kenny-bogue.com



Participate

From: Mike Raskin <Mike@mjrdevelopment.com>
Sent: Sunday, February 4, 2024 9:35 PM
To: Participate
Cc: Mike Raskin
Subject: Proposed Rico Building at 200 N Main

Dear Planning Department

I am a home owner in the Sun Valley area and own a home at 8 Chateau Circle in Elkhorn. I wanted to write to you in support of the proposed Rico Building at 200 N Main. I have seen the plans and I think it would be a great addition to downtown Ketchum. This is an important corner and the developer has done a good job. I hope you will approve this project.

Thanks for the opportunity to share thoughts

Mike Raskin
8 Chateau Circle Sun Vally ID

Participate

From: Charlie Robbins <crobbsins@seatoskiproperties.com>
Sent: Saturday, February 3, 2024 4:06 PM
To: Participate
Subject: Proposed 200 North Main - Rico Building

I am writing in support of the proposed development on 200 North Main led by Kenny Dudunakis. As a former Ketchum business owner and current Warm Springs property owner, I feel the development proposed by Kenny Dudunakis would add significant value to Ketchum and Sun Valley. The proposed development aligns with the vision of a thriving downtown area, fostering economic prosperity and community engagement.

Here are some key reasons why I believe this project is crucial for the betterment of our community:

1. **Economic Boost:** The development has the potential to stimulate economic growth by attracting new businesses, creating job opportunities, and increasing foot traffic in the downtown area. This, in turn, will contribute to the overall economic well-being of Ketchum and Sun Valley.

Improved Infrastructure: These enhancements will make the downtown area a more aesthetically pleasing environment and will coincide nicely with the upcoming Project Main Street improvements as detailed by the Ketchum Urban Renewal Agency and the Idaho Transportation Department:

- <https://www.projectketchum.org/main-street/>

Environmental and Community Considerations: I am pleased to learn the proposed development will include two workforce housing units and will incorporate exterior features that will blend in with Ketchum's other historic buildings.

I believe this development has the potential to continue efforts to keep downtown Ketchum a vibrant and dynamic hub that benefits both residents and visitors. I urge you to consider and approve the positive impact the project could have on our community's growth and well-being.

Sincerely,

Charlie Robbins



Charlie Robbins

Founder + CEO

Sea to Ski Property Management

435.729.0579

crobbins@seatoski.com

www.seatoski.com

Sea to Ski is a luxury home (non-rental) and community association property management company based in Park City, UT. We treat your home like our own.



Voted one of Park City's Best® 2020-2023

Participate

From: Brad Pratt <bradpratt@outlook.com>
Sent: Friday, February 2, 2024 12:04 PM
To: Participate
Subject: 200 N Main - Rico building

I have reviewed the plan and design and think it fits great in the downtown core of Ketchum. I like the brick exterior, ground floor restaurant space and apartment spaces on the second floor. Seems to be a very good use of that corner of Ketchum.

Brad Pratt
406 Sage Road
Ketchum
425-269-4000

Participate

From: Michael Heijer <michael@GRANCORP.COM>
Sent: Tuesday, February 6, 2024 6:35 AM
To: Participate
Subject: Support for the Rico Building, 200 N Main, Ketchum

Dear Committee members;

I am writing in support of the proposed development on 200 North Main led by Kris and Kenny Dudunakis. I am a Warm Springs property owner since 2003 and I am excited to see a new building being built at the former Rico site. I feel the proposed building would add to the current charm on Main Street. The proposed development aligns with the vision of a thriving downtown area and it is built to fit right in, as if it would have been there for many decades. I like the setback of the top floor apartment so the building doesn't look too big or overwhelming as you walk on the sidewalk.

The brick design fits in very nicely with all the other brick buildings on both side of Main Street and I look the way the awning is designed in old fashioned styling.

As the city lacks nice restaurants I am excited to see a nice sized restaurant in the space and hopefully with a nice complementing bar as well. The indoor and outdoor seating will make it look very inviting when you walk around on the sidewalk in the summers. As the proposed building is not very big I am pleased to see that there will be two affordable units as well as four market rent units. It is great to see more apartment housing in the central business district. As Kris and Kenny have done in the past with donating the site to various charitable organizations, such as the Film festival and other gatherings I was happy to hear that they plan to continue that tradition with the larger unit located on the top floor.

I am very much in favor of this project as it will add another restaurant, affordable housing and create more jobs to our community, both during the construction period but also afterwards with all the restaurant staffing.

So, I urge the committee to approve this project and keep moving it along in the permitting permit approval process. Once completed it will be a great asset in town that all of us will frequent and enjoy.

Best Regards,

Michael Heijer
Owner, GranCorp Holdings LLC
(206) 399-4170 | www.grancorp.com

Participate

From: Mike Christian <mchristian@icg.com>
Sent: Monday, February 5, 2024 4:23 PM
To: Participate
Subject: Rico Building

City Planners,

We are in favor of the Rico Building project on Main Street in Ketchum. The architecture and color scheme will fit in perfectly on that block. I think that space needs a fine dining restaurant as they have planned.

The addition of affordable apartments just adds one more positive element to this great project. We are very excited to see this area get this level of improvement.

Mike and Lynn Christian
100 Edelweiss
Ketchum, ID 83340

This message is intended only for the use of the individual(s) or entity to which it is addressed and may contain information that is privileged, confidential, and/or proprietary to ICG and its affiliated companies. If the reader of this message is not the intended recipient, you are hereby notified that any dissemination, distribution, forwarding or copying of this communication is prohibited without the express permission of the sender. If you have received this communication in error, please notify the sender immediately and delete the original message.

Participate

From: Paige Lethbridge <paigelethbridge@me.com>
Sent: Wednesday, February 7, 2024 3:50 PM
To: Participate
Subject: Kenny & Kris Dududnakis Ricos Building

City of Ketchum,

I am in support of the new Rico's Building Design. I am in favor of for-rent workforce housing and a ground floor restaurant.

Thank you for your continued efforts to move forward with is project.

Paige Lethbridge
The Cellar Pub
Lunceford Excavation
208-720-4990

Participate

From: Peter Prekeges <prekeges@gmail.com>
Sent: Wednesday, February 7, 2024 11:55 AM
To: Participate
Subject: 200 N. Main

To:
Mayor and council members

Re: 200 N. Main project

I am writing to throw my support behind this project.

We not only need workforce housing, but we need this market rate housing as well.

The owners are in the build, own, and support the local community business. Not the build, sell and bail out business.

Their track record speaks for itself.

Sincerely,

Peter Prekeges
Grumpy's Inc

Participate

From: michael.horwitz2470@icloud.com
Sent: Wednesday, February 7, 2024 9:07 AM
To: Participate
Subject: Rico Building Development

Hello-I am reaching out as I have had a chance to review the proposed development in Ketchum and am in support of it. I think that the design is striking, has good balance and is not a towering project that will change negatively the character of the downtown quadrant.

The valley needs more affordable housing, more food and beverage and establishments that can balance multiple uses.

Thank You
-Michael Horwitz

Participate

From: Scott Hanson <scott.hanson@seamark.com>
Sent: Tuesday, February 6, 2024 6:42 PM
To: Participate
Subject: 200 N. Main Street
Attachments: 200 N Main Ketchum ID.pdf

Dear Planning and Zoning Commissioners,
Please see my attached letter in support of the proposed development at 200 N. Main.
Thank you,
Scott Hanson

Participate

From: Kenny Dudunakis <kenny.dudunakis@berkadia.com>
Sent: Tuesday, February 6, 2024 6:07 PM
To: Participate
Cc: Jim Garrison; Kristina Dudunakis
Subject: 200 Main Street Support
Attachments: SKM_28724020616550.pdf

This message was sent securely using Zix®

To Whom It May Concern:

Please see attached, is there any way we can get copies of the letters submitted so far.

Thanks, Kenny D

BERKADIA

Kenny Dudunakis

SENIOR MANAGING DIRECTOR

INVESTMENT SALES

411 108th Avenue Northeast

Suite 1080

Bellevue, WA 98004

📞 +1 (206) 521-7216 | 📠 +1 (206) 390-1196

kenny.dudunakis@berkadia.com

Berkadia Real Estate Advisors LLC

BERKADIA.COM [in](#) [@](#) [f](#) [t](#)

Let us find your next investment! Visit our [property acquisition portal](#) and update your acquisition criteria today.

a Berkshire Hathaway and Jefferies Financial Group company

This message is intended for the individual or entity named above. If you are not the intended recipient, please do not read, copy, use or disclose this communication to others. Please notify the sender by reply and delete this message from your system. Thank you.

This message was secured by Zix®.

February 5, 2024

To: Ketchum Planning & Zoning Commission

From: Steve Burnstead – 150 South Main St., Ketchum, ID

RE: 200 Main Street Application

Dear Commissioners,

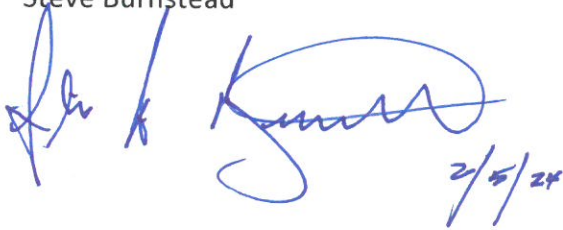
I am writing to support the Planning application for 200 Main Street, Ketchum.

I am the lessee/operator of the newly renovated and re-opened Whiskey Jacks, (Whiskeys on Main), and fully support the proposed project application to renovate the property. 200 Main is directly across the street from Whiskeys and we strongly encourage additional activation of this block as much as possible. It is only good for all nearby businesses with the additional food service opportunity and the addition of several residential apartments available for employee housing.

Please approve this application.

Thank you.

Steve Burnstead



2/5/24

Participate

From: Doyle Douglas <doyledouglas@comcast.net>
Sent: Thursday, February 8, 2024 6:47 PM
To: Participate
Subject: 200 N Main, Rico Building Site

My name is Doyle Douglas, I am a 23 year resident of Ketchum living at 280 W. 8th St. Over the years I have seen the ebbs and flows of real estate development in Ketchum, arguably and to the City's and citizens' benefit, much of it good. Toward this end, I want to voice my support for the proposed Rico Site redevelopment.

In short, the design is thoughtful, compatible, and reasonably scaled to Ketchum's historical building designs and frontage on Main Street in particular. The affordable housing component is desperately needed in Ketchum and while the limited addition of units from the proposed development might not move the proverbial needle much it is imperative that the City do everything they can to encourage and support the addition of affordable housing. And lastly, the addition of another dining option for the larger Ketchum community is always a bonus.

Thank you for the opportunity to be head on this matter. I sincerely hope the city will approve the project as designed so we will all be able to realize the value that is sure to accrue from the development.

Sincerely,
Doyle Douglas