



City of Ketchum
Planning & Building

WEST KETCHUM RESIDENCES DESIGN REVIEW
STAFF REPORT
KETCHUM PLANNING AND ZONING COMMISSION
REGULAR MEETING OF FEBRUARY 10, 2020

PROJECT: West Ketchum Residences

FILE NUMBER: P19-143

APPLICATION: Design Review

REPRESENTATIVE: Errin Bliss, Bliss Architecture

OWNER: Wet Ketchum Residences, LLC

LOCATION: Bavarian Village: Lots 5A, 6A, 7A, and 8A

ZONING: General Residential High Density (GR-H) Zoning District

OVERLAY: None

NOTICE: A public hearing notice for the project was mailed to all owners of property adjacent to the project site and published in the Idaho Mountain Express the on January 22nd, 2020.

REVIEWER: Abby Rivin, Associate Planner

WEST KETCHUM RESIDENCES: 10 TOWNHOMES IN 5 DUPLEXES
The West Ketchum Residences is a 10-unit townhome development on 4 vacant lots within a residential neighborhood. The project consists of 5, two-story duplex units. Each unit will have its own garage accessed off of a shared driveway. The developer will install a snow-melted private driveway that bisects the property to access each townhome. The project plans include landscaping that will buffer the development from the street and enhance privacy between the



Figure 1: Project Visualization, Project Plans Sheet L3

existing townhomes and condominiums in the neighborhood.



LOCATION

The project is located on 4 vacant lots in the Bavarian Village Subdivision within the General Residential High Density Zoning District (GR-H). The 1.09 acre project site will be accessed from a 24-foot curb cut off of Bird Drive. The Future Land Use Map designates the parcel as High Density Residential appropriate for multi-family housing.

Figure 2: Site Plan, Project Plans Sheet L2

PROJECT COMPLIES WITH DESIGN REVIEW STANDARDS

The duplex design is modern with rectangular building forms comprised of natural materials that include wood, stone, glass, and metal. The butterfly roof system, building placement, and projecting and overhanging elements add visual interest to the minimalist design. Context sensitive, the townhome development is compatible to the character and scale of the surrounding residential neighborhood.

STAFF RECOMMENDATION

Staff recommends that the Commission consider the project plans, the applicant's presentation, and any public comment received, deliberate, and approve the West Ketchum Residences Design Review.

ANALYSIS

Staff analysis is provided in Tables 1 through 4 including: (1) the project's alignment with the 2014 Comprehensive Plan, (2) City Department comments, (3) adherence zoning and dimensional standards, and (4) evaluation of Design Review criteria. Project plans are attached as Exhibit A.

Table 1: Comprehensive Plan Analysis

The West Ketchum Residences project is consistent with the uses, goals, and policies listed below as specified within the 2014 Comprehensive Plan.

SUPPORTING SECTION	COMPLIANCE WITH THE 2014 COMPREHENSIVE PLAN & <i>STAFF COMMENTS</i>
Land Use Category: High-Density Residential	<p>PRIMARY USES This type of residential includes a broader variety of residential types, including single-family residences, duplexes, and multifamily housing.</p> <p>SECONDARY USES Multi-family apartments, townhomes, and condominiums would be appropriate in some locations. Supporting and complementary uses, including accessory dwelling units, open space, gardens, and recreation, schools, places of worship, and other public uses are appropriate in this residential category. Senior housing facilities are also appropriate in this category</p> <p><i>The West Ketchum Residences is a 10-unit townhome development.</i></p>
Future Land Use	
Policy LU-2.2 Compatible Residential Infill	<p>Appropriate types of infill include the new residential units on vacant lots/areas, additions to existing units, accessory dwelling units, and residential units with businesses. Ensure that residential infill is compatible in character and scale within the surrounding neighborhood.</p> <p><i>The project will add 10 townhomes units to a vacant lot in a residential neighborhood.</i></p>
Community Design and Neighborhoods	
Policy CD-1.3 Compatible Infill and Redevelopment Projects	<p><i>The West Ketchum Residences is contextually appropriate located in a residential neighborhood.</i></p>

Table 2: City Department Comments

City Department comments are based on the project concept as proposed with the Design Review project plans. All City Departments shall review and approve the project through the Building Permit application process. All comments pertaining to the Design Review drawings are subject to change. All right-of-way improvements must be reviewed and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project.

City Department Comments

All City Department requirements and associated specifications for the required improvements must be verified, reviewed, and approved prior to issuance of a Building Permit for the project.

Fire Department:

- It is the General Contractor's responsibility to understand and adhere to all Fire Protection Ordinance #1125 requirements in addition to any and all other City of Ketchum requirements in effect at the time of Building Permit issuance. Failure to comply with all local ordinances and codes may result in project work stoppage as well as criminal penalties.
- The above project shall meet all 2012 International Fire Code requirements in addition to specific City Building and Fire Ordinances.
- Approved address numbers shall be placed in such a position to be plainly visible and legible from the road fronting the property. Numbers and letters shall be a minimum of four (4) inches tall, contrast with their background and be positioned a minimum of forty-eight (48) inches above final grade.
- Vehicle parking and material storage during construction shall not restrict or obstruct public streets or access to any building. A minimum twenty-foot travel lane for emergency vehicle access shall be maintained clear and unobstructed at all times. All required Fire Lanes, including within 15 feet of fire hydrants, shall be maintained clear and unobstructed at all times.
- An approved automatic fire sprinkler system shall be installed throughout the building per City of Ketchum Ordinance #1125 (www.ketchumfire.org) and the National Fire Protection Association Standard 13. An approved fire sprinkler flow bell, Knox box and Fire Department Connection shall be installed in an approved location visible to approaching firefighters. Water service lines to structures shall be hydraulically calculated for size to meet fire sprinkler flow requirements. Fire sprinkler systems shall be annually tested and maintained per NFPA 25. An approved fire department connection and flow bell shall be installed in a location approved by the fire department and the system shall be supervised by an approved alarm system.
Note: The entire building shall be protected by an NFPA 13 Fire Sprinkler system.
- NOTE: One electronic set of fire sprinkler system plans must be submitted to the Ketchum Fire Department as well as the State Fire Marshal's office and a Ketchum Fire Department Permit must be obtained prior to installation of fire sprinkler systems. Inspections of fire sprinkler systems by the Fire Chief or an appointee are required. Inspections must be scheduled at least 48 hours in advance.
- An approved monitored fire sprinkler alarm system shall be installed per City of Ketchum Ordinance #1125 (www.ketchumfire.org) and the requirements of NFPA 72. Two (2) sets of alarm system plans shall be submitted to the Ketchum Fire Department for approval and a permit is required prior to installation of alarm systems. Inspections of fire detection systems by the Fire Chief or an appointee are required and shall be scheduled at least 48 hours in advance.
- An approved access roadway per 2012 International Fire Code Appendix D (www.ketchumfire.org) shall be installed prior to any combustible construction on the site. The road shall be a minimum of twenty (20) feet in width and capable of supporting an imposed load of at least 75,000 pounds. The road must be an all-weather driving surface maintained free, clear, and unobstructed at all times. Grades shall not exceed 7%. Dead end access roadways exceeding 150 feet in length shall be provided with an approved turnaround. Gates, if installed, are required to be siren activated for emergency vehicle access.

- Fire extinguishers shall be installed and maintained per 2012 IFC Section 906 both during construction and upon occupancy of the building. 2 five-pound fire extinguishers shall be required for each living unit.
- Spark arresters are required on all solid fuel burning appliance chimneys to reduce potential fires from burning embers.
- One approved key box shall be installed on each duplex unit, with the appropriate keys, for emergency fire department access in a location approved by the fire department. The key box shall be a Knox box brand and sized to accommodate keys to every door of the project.
- An 8 ½ by 11 color coded site map of this project shall be provided on paper and electronically to the fire department. This site map shall show the locations of gas shut-offs, power shut-offs, fire sprinkler riser rooms, fire department connections, alarm panels, Knox boxes, access doors, egress windows, stairways and any additional fire department requirements. Exact details for color coded “On-Sites” can be found at www.ketchumfire.org.
- Final inspections of all fire department permit required installations by the Fire Chief or an appointee are required and shall be scheduled at least 48 hours in advance. A Final Inspection Checklist can be found at www.ketchumfire.org.
- Fire Department requirements and associated specifications for the required improvements must be verified, reviewed, and approved prior to issuance of a Building Permit for the project.

City Engineer & Streets Department:

- All drainage shall be retained on site (KMC §17.96.060.C.1). Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street (KMC §17.96.060C).
- All construction for the project must comply with the standards set forth in Ketchum Municipal Code, Chapter 15.06 Construction Activity Standards. The applicant shall submit a Construction Activity Plan addressing all applicable activities (KMC §15.06.030), including how materials will be off-loaded at the site, plan for coordinating with neighbors on temporary closures, temporary traffic control, and construction fencing with appropriate screening, to be reviewed and approved prior to issuance of a Building Permit for the project. Pursuant to KMC §15.06.030.A.2, the applicant shall provide notice of the project, construction schedule, and general contractor’s contact information to all neighbors with properties adjacent to the project site.
- The Building Permit plans and construction drawings shall meet all applicable sections of Chapter 12 of Ketchum Municipal Code.
- The plans for the ROW improvements must be prepared by a professional engineer licensed in Idaho (KMC §12.04.020). The adjacent ROW along Bird Drive must be improved to City standards for residential streets. Material shall be pervious/permeable to allow drainage. Surface must allow for vehicle parking and be consistent along the entire property frontage. Material within the first eight (8) feet from edge of asphalt shall be distinct from driveway and rest of property in order to visually appear to be available for parking. Grading and drainage improvements must meet the following standards: minimum 5% slope, no obstructions, such as boulders or berms, no buried irrigation systems within the first eight (8) feet from the edge of asphalt, and no subsurface irrigation lines are permitted beyond the first eight (8) feet, however popup heads are not permitted anywhere in the ROW. No live plant material within the first eight (8) feet from edge of asphalt. Low ground cover plant material, such as turf grass, is permitted beyond the first eight (8) feet. Drought-tolerant species is preferred.

<ul style="list-style-type: none"> Utility locations (electrical, gas) are not permitted in public ROW. If utility upgrades are necessary the applicant will need to coordinate upgrades with Idaho Power and Intermountain Gas. All utilities need to be shown on the plans including the location and size of water and sewer mains and services, gas, electric, TV and phone. The applicant shall submit a Street and Alley Digging, Excavation, and Trenching (“DIG”) Permit application with an associated traffic control plan for all construction work within the City right-of-way to be reviewed and approved by the Streets Department. The use of City right-of-way for construction including the closure of adjacent streets or sidewalks requires a Temporary Use of Right-of-Way Permit (“TURP”). Final civil drawings for all associated ROW improvements shall be submitted with the Building Permit application to be verified, reviewed, and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project.
<p>Utilities:</p> <ul style="list-style-type: none"> The applicant will be responsible for installing connections to the water and sewer system. Requirements and specifications for the water and sewer connections will be verified, reviewed, and approved by the Utilities Department prior to issuance of a Building Permit for the project.
<p>Building:</p> <ul style="list-style-type: none"> The building must meet the 2012 International Building Code and Title 15 Buildings and Construction of Ketchum Municipal Code. Building Department requirements and associated specifications for the required improvements must be verified, reviewed, and approved prior to issuance of a Building Permit for the project.
<p>Planning and Zoning:</p> <p>Comments are denoted within the analysis of the project’s compliance with the Comprehensive Plan, zoning and dimensional standards, and Design Review evaluation standards.</p>

Table 3: Zoning and Dimensional Standards Analysis

Zoning and Dimensional Standards Analysis				
Compliant			Standards and Staff Comments	
Yes	No	N/A	Guideline	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	Minimum Lot Area
			<i>Staff Comments</i>	Required: 8,000 square feet minimum Proposed: <i>The developer has submitted a Lot Line Shift application to remove the common boundary lines between Lots 5A, 6A, 7A, and 8A to form Lot 5AA.</i> <i>Bavarian Village Subdivision: Block 1: Lot 5AA will have a total area 47,338 square feet (1.09 acres).</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	Minimum Open Space
			<i>Staff Comments</i>	Required: 35%/ 30% (Footnote 5: 5% open site area may be used for private decks or patios and walkways subject to Design Review approval)

				Proposed with West Ketchum Residences: 41% (Sheet AS102)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.040	Floor Area Ratios and Community Housing
			<i>Staff Comments</i>	<p>Floor Area Ratio Permitted in General Residential High Density (GR-H) Zoning District <i>FAR Permitted in GR-H Zone: 0.5</i> <i>FAR Permitted with Inclusionary Housing Incentive: 1.4</i></p> <p>Proposed Floor Area Ratio <i>Townhome Unit Gross Floor Area: 3,001 gross square feet</i> <i>Total Gross Floor Area for 10 Townhome Units: 30,010 gross square feet</i> <i>Floor Area Ratio Proposed: 0.64 (30,010 gross square feet/ 47,338 square feet)</i></p> <p><i>Increase Above 0.5 Permitted FAR: 6,341 gross square feet (30,010 square feet – 23,669 square feet)</i> <i>20% of Increase: 1,268.2 gross square feet</i> <i>15% Reduction for Net Livable Floor Area: 1,078 square feet</i></p> <p><i>Sheet AS102 notes that the developer will pay the associated community housing in-lieu fee.</i> <i>Community Housing In-Lieu Fee: \$256,564 (1,078 square feet x \$238)</i></p> <p><i>Prior to issuance of a Building Permit for the project, the Ketchum City Council must approve an Exceedance Agreement with the developer addressing the square footage above the permitted 0.5 Floor Area Ratio and memorializing the associated community housing contribution is required (KMC §17.124.040.B).</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	Minimum Building Setbacks
			<i>Staff Comments</i>	<p>Minimum: <i>Front: 15 feet</i> <i>Side: 1 foot for every 3 feet in building height, but no less than 10 feet</i> <i>Rear: 15 feet</i></p> <p><i>KMC §17.128.020: Supplementary Yard Regulations</i> <i>A. Cornices, canopies, eaves, chimney chases or similar architectural features may extend into a required yard not more than 3 feet.</i> <i>H. Decks less than 30 inches in height from existing grade may be constructed to the property line.</i></p> <p>Proposed: <i>Front (East/Bird Drive): 15 feet</i> <i>Side (North/Interior): 10 feet 6 inches</i> <i>Side (South/Interior): 10 feet 6 inches</i></p>

				<p><i>Rear (West/Interior): 15 feet</i></p> <p><i>The grade-level patios extend into the side setback, which is permitted by KMC §17.128.020.H. The second-level deck extend within the required side yard setback less than 3 feet, which is permitted by KMC §17.128.020.A.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	<p>Building Height</p> <p><i>Staff Comments</i></p> <p>Maximum Permitted: 35 feet Proposed: Each duplex is 31 feet-5 inches in height.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.125.030H	<p>Curb Cut</p> <p><i>Staff Comments</i></p> <p>Required: <i>A total of 35% of the linear footage of any street frontage can be devoted to access to off street parking.</i></p> <p>Proposed: <i>The private driveway access off of Bird Drive is 24 feet wide. 12% (24-foot curb cut/201 linear feet along Bird Drive) of the property's street frontage along Bird Drive is used for the private drive access to the townhome development.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.125.040	<p>Parking Spaces</p> <p><i>Staff Comments</i></p> <p><i>Off-street parking standards apply to any new development and to any new established uses.</i></p> <p>Required: <i>Multiple-Family Residential Dwelling Units in the GR-H Zone Units 2,001 square feet and above: 2 parking spaces</i></p> <p>Proposed: Townhome Unit Net Livable Floor Area: 2,172 square feet Each townhome unit has its own 2-car garage.</p>

Table 4: Design Review Standards Evaluation

Design Review Improvements and Standards (KMC §17.96.060)				
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.A1 Streets	<p>The applicant shall be responsible for all costs associated with providing a connection from an existing city street to their development.</p> <p><i>Staff Comments</i></p> <p><i>The 10-unit townhome development will have one driveway access off of Bird Drive. A 50-foot wide residential street, Bird Drive does not meet the minimum 60-foot width required for residential streets (KMC §12.04.030A).</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.A2 Streets	<p>All street designs shall be approved by the City Engineer.</p> <p><i>Staff Comments</i></p> <p><i>No changes are proposed to the street design or lanes of travel within the Bird Drive right-of-way.</i></p>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.B1 Sidewalks	All projects under 17.96.010(A) that qualify as a “Substantial Improvement” shall install sidewalks as required by the Public Works Department.
			<i>Staff Comments</i>	<p><i>While the West Ketchum Residences is a substantial improvement project, sidewalks are not required to be installed along residential roads. The right-of-way next to the front property line must be improved to City standards residential streets.</i></p> <p><i>Final civil drawings for all associated ROW improvements shall be submitted with the Building Permit application to be verified, reviewed, and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project.</i></p> <p><i>See Table 2 for comments and conditions from the City Engineer & Streets Department.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.B2 Sidewalks	Sidewalk width shall conform to the City’s right-of-way standards, however the City Engineer may reduce or increase the sidewalk width and design standard requirements at their discretion.
			<i>Staff Comments</i>	<p><i>The City does not require developers to install sidewalks along residential roads.</i></p> <p><i>The developer must improve the right-of-way next to the front property line to meet City standards for residential streets.</i></p> <p><i>Final civil drawings for all associated ROW improvements shall be submitted with the Building Permit application to be verified, reviewed, and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project. See Table 2 for review comments and conditions from the City Engineer & Streets Department.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.B3 Sidewalks	<p>Sidewalks may be waived if one of the following criteria is met:</p> <ol style="list-style-type: none"> a. The project comprises an addition of less than 250 square feet of conditioned space. b. The City Engineer finds that sidewalks are not necessary because of existing geographic limitations, pedestrian traffic on the street does not warrant a sidewalk, or if a sidewalk would not be beneficial to the general welfare and safety of the public.
			<i>Staff Comments</i>	<i>The developer is not required to install sidewalks for the townhome development.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.B4 Sidewalks	The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.
			<i>Staff Comments</i>	<i>This standards does not apply because sidewalks are not included in the City right-of-way standards for residential roads.</i>

				<i>The developer must improve the right-of-way next to the front property line to meet City standards for residential streets. Final civil drawings for all associated ROW improvements shall be submitted with the Building Permit application to be verified, reviewed, and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project. Table 2 lists comments from the City Engineer & Streets Department regarding the project.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.B5 Sidewalks	New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.
			<i>Staff Comments</i>	<i>N/A. The City does not require developers to install sidewalks in residential neighborhoods.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.B6 Sidewalks	The City may approve and accept voluntary cash contributions in-lieu of the above described improvements, which contributions must be segregated by the City and not used for any purpose other than the provision of these improvements. The contribution amount shall be one hundred ten percent (110%) of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the City Engineer. Any approved in-lieu contribution shall be paid before the City issues a certificate of occupancy.
			<i>Staff Comments</i>	<i>N/A. Staff does not recommend a voluntary cash contribution in-lieu of improvements for this project.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.C1 Drainage	All storm water shall be retained on site.
			<i>Staff Comments</i>	<i>The drainage system must keep all storm water within the project site. The developer must install drainage improvements that meet City standards. Preliminary drainage plans are included on Sheets C1.0 and L1 of the project plans. The drainage plan includes a system of drywells and catch basins. Preliminary details for the drainage improvements are included on Sheet C2.0.</i> <i>Prior to issuance of a Building Permit for the project, the applicant shall submit a final drainage plan indicating grading, catch basins, piping, and drywells (KMC §17.96.040.C.2b & KMC §17.96.060.C.1-4) prepared by a civil engineer licensed in the state to be submitted for review and approval by the City Engineer and Streets Department. See Table 2 for City Department comments including City Engineer and Streets Department conditions.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.C2 Drainage	Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.

			<i>Staff Comments</i>	<p>See above analysis for Ketchum Municipal Code §17.96.060C1. All drainage improvements are required to meet City standards.</p> <p>All drainage improvements shall be indicated on civil plans prepared by an Idaho licensed engineer and require review and approval from the City Engineer & Streets Department prior to issuance of a Building Permit for the project.</p> <p>See Table 2 for review comments and conditions from the City Engineer & Streets Department.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.C3 Drainage	The City Engineer may require additional drainage improvements as necessary, depending on the unique characteristics of a site.
			<i>Staff Comments</i>	A final drainage plan prepared by a civil engineer licensed in the state of Idaho shall be submitted with the Building Permit application to be reviewed and approved by the City Engineer and the Streets Department. The City Engineer may require additional drainage improvements as necessary.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.C.4 Drainage	Drainage facilities shall be constructed per City standards.
			<i>Staff Comments</i>	All drainage facilities within the project site and the public right-of-way shall meet City standards. Final drainage specifications must be included with the civil drawings submitted with the Building Permit application to be reviewed and approved by the City Engineer & Streets Department.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.D1 Utilities	All utilities necessary for the development shall be improved and installed at the sole expense of the applicant.
			<i>Staff Comments</i>	All utilities necessary for the fire station must be improved and installed at the sole expense of the applicant. The utility plan is included on Sheet C1.0 of the project plans. Prior to issuance of a Building Permit, the applicant must secure a will-serve letter from Idaho Power. Final plans will be reviewed and approved by the Utilities Department prior to issuance of a Building Permit for the project. See Table 2 for review comments and conditions from the Utilities Department.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.D2 Utilities	Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view.
			<i>Staff Comments</i>	All utilities within the development site shall be underground and concealed from public view. Sheet AS102 notes that all roof and ground mounted mechanical, electrical, and plumbing equipment will be screened from public view. See above analysis for Ketchum Municipal Code §17.96.060D1.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.D3 Utilities	When extension of utilities is necessary all developers will be required to pay for and install two (2") inch SDR11 fiber optical conduit. The

				placement and construction of the fiber optical conduit shall be done in accordance with city of Ketchum standards and at the discretion of the City Engineer.
			<i>Staff Comments</i>	<i>The applicant is aware of this requirement to install services for high-speed internet to the site. The applicant will work with the City Engineer to identify the location of a fiber line to serve the project.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.E1 Compatibility of Design	The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures.
			<i>Staff Comments</i>	<i>The project combines wood siding with stone veneer. The aluminum clad windows and corrugated metal panels add a modern element to these traditional materials. The color palette blends the brown of the Montana timber wood siding with different shades of dark gray including the lighter stone veneer and aluminum clad windows with the darker stained wood posts and corrugated metal panel siding. The stone veneer wall sign matches the stone veneer incorporated within the duplex design.</i> <i>The West Ketchum Residences project will add a more modern design style to the residential neighborhood. Surrounding development is characterized by a more traditional design style with natural materials and pitched roofs. While the project design is more modern, the use of traditional materials complements the traditional architecture of the neighboring residential development.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.E2 Compatibility of Design	Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.
			<i>Staff Comments</i>	<i>N/A. No significant landmarks of historical or cultural importance have been identified on the property. An infill project, the site is vacant.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.E3 Compatibility of Design	Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to.
			<i>Staff Comments</i>	<i>N/A This standard does not apply because the West Ketchum Residences project is new construction.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F1 Architectural	Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined.
			<i>Staff Comments</i>	<i>The townhome units have two entrances—one interior access from the garage and an exterior entryway. The entryways at either side of the duplex lead to concrete paver path that leads to the driveway, which connects to Bird Drive. The City does not require the installation of sidewalks in residential neighborhoods. The entrance corridor is framed with stained wood posts and the projection of the garage. The</i>

				<i>cantilever of the second floor and balcony cover the walkway that leads to the entrance.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F2 Architectural	The building character shall be clearly defined by use of architectural features.
			<i>Staff Comments</i>	<i>Building elevations and renderings are included on Sheets A201, A202, and A203 of the project plans. The modern duplexes are defined by projecting wall planes and overhanging elements. Projecting between the townhome units, the stone privacy wall extends to the highest point of the roof. The scale of the vertical plane draws attention to the stone privacy wall. The opening within the privacy wall at the first-level decreases the visual weight of the privacy wall. The wood posts that frame the entryway are a welcome transition from the flat mass of the vertical wall planes. The roof and balcony overhangs visually enhance the modern building's shapes. The townhome units are attached at a slight skew. The slanted placement defines the individual townhome units within the duplexes. The slight butterfly of the roof decrease the bulk of the box-shaped building.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F3 Architectural	There shall be continuity of materials, colors and signing within the project.
			<i>Staff Comments</i>	<i>The materials are noted on the elevations included as Sheet A201 and A202 of the project plans. The exterior walls of the building utilize the same metal and brick materials and gray, block, and brown color scheme. Highlighting the apparatus bays, the use of the firehouse red is limited to the apparatus-bay garage doors. The consistent pattern of material placement and colors across all building walls connects the diverse functions of the fire station into one cohesive design.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F4 Architectural	Accessory structures, fences, walls and landscape features within the project shall match or complement the principal building.
			<i>Staff Comments</i>	<i>The project does not propose any fences or accessory structures. Existing fences and vegetation border the south side and rear property line separating the development site from the adjacent townhomes.</i> <u><i>Landscape</i></u> <i>The landscape plan is included on Sheets L2 of the project plans. Landscaped areas at the front of the property buffer the townhome development from the street. Evergreen trees and aspens are proposed to be planted in the rear yard to enhance privacy between the adjacent townhomes. Landscaped areas with shrubs, tall, grasses, and trees provide a visually-pleasing border between each duplex. The landscape will enhance the appearance of the townhome development by softening the visual impact of the vertical wall</i>

				<p>planes. The diversity of plants with a range of trees, tall grasses, and shrubs complement the duplex's stone and wood materials.</p> <p><u>Sign</u> The wall sign is comprised of the same stone veneer as the duplex buildings.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F5 Architectural	<p>Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.</p> <p><i>Staff Comments</i> The building walls are predominately comprised of wood siding panels. The horizontal placement of the wood siding establishes a rectangular rhythm that defines the building form. Disrupting this horizontal rhythm, windows and corrugated metal panels articulate the building surface lessening the visual weight of the flat wall plane. The use of stone material for prominent privacy wall defines the building by separating each townhome unit. The combination of materials and color variation provides relief to flat wall planes. The inverted pitch of the butterfly roof reduces the bulk of the box-shaped building form. The front façade is further defined by projecting elements including the roof overhang and cantilevered balcony. The windows decrease the visual impact of the flat wall planes.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F6 Architectural	<p>Building(s) shall orient towards their primary street frontage.</p> <p><i>Staff Comments</i> The duplex buildings orient towards the shared paver driveway.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F7 Architectural	<p>Garbage storage areas and satellite receivers shall be screened from public view and located off alleys.</p> <p><i>Staff Comments</i> This project is a townhome development in a residential neighborhood accessed off of Bird Drive. Each home will have its own garbage bin fully screened within the townhome unit. No common dumpster has been proposed within the multi-family residential development. Prior to issuance of a Building Permit for the project, the applicant shall submit a will serve letter from Clear Creek Disposal to the Planning & Building Department.</p> <p>The project plans do not indicate the installation of any satellite receivers. Any future installations of satellite receivers must be screened from public view.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F8 Architectural	<p>Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties.</p> <p><i>Staff Comments</i> The roof plan is included on Sheet A121 of the project plans. Enhancing weather protection, the inverted pitch of the flat roof forms will prevent water from dripping or snow from sliding from the</p>

				<i>building. The roof plan includes roof drains that will tie into the drywell system. At the front entryways, the second floor cantilevers beyond the first floor to cover the pedestrian pathway. The roof plan notes any sloped roof shedding snow and rain onto pedestrian and vehicular circulation pathways below will include snow clips, gutters, and downspouts.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.G1 Circulation Design	Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.
			<i>Staff Comments</i>	<i>The entryways at either side of the duplex include a concrete paver path that leads to the driveway, which connects to Bird Drive. The subject property is an infill site located within a multi-family residential neighborhood. The City does not require the installation of sidewalks in residential areas of town. The site is not contiguous to existing pedestrian, equestrian, or bicycle accesses.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.G2	Awnings extending over public sidewalks shall extend five (5') feet or more across the public sidewalk but shall not extend within two (2') feet of parking or travel lanes within the right of way.
			Circulation Design	<i>N/A. No awnings are proposed to extend across the public sidewalk.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.G3 Circulation Design	Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage.
			<i>Staff Comments</i>	<i>The townhome development will be access from Bird Drive, which is a low traffic, residential street. The traffic is anticipated to flow safely onto Bird Drive.</i> <i>Prior to issuance of a Building Permit for the project, the City Engineer and Streets Department shall review the civil drawings to ensure adequate sight distances and proper signage for the proposed driveway access.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.G4 Circulation Design	Curb cuts and driveway entrances shall be no closer than twenty (20') feet to the nearest intersection of two or more streets, as measured along the property line adjacent to the right of way. Due to site conditions or current/projected traffic levels or speed, the City Engineer may increase the minimum distance requirements.
			<i>Staff Comments</i>	<i>The project site is located over 150 feet from Bird Drive's intersection with Rember Street to the north and over 600 ft from Bird Drive's intersection with Wood River Drive.</i> <i>Prior to issuance of a Building Permit for the project, the City Engineer and Streets Department shall review the civil drawings to ensure</i>

				<i>adequate sight distances and proper signage for the proposed parking access.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.G5 Circulation Design	Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project.
			<i>Staff Comments</i>	<i>The townhome development is accessed off of Bird Drive. The 24-foot wide curb cut leads to snow-melted private driveway that bisects the property. A turnaround is included in the driveway design to accommodate the fire apparatus turnaround. The shared private drive extends to driveways leading to each townhome garage. The snow-melted interior circulation system provides unobstructed access for emergency vehicles, snowplows, and garbage trucks.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.H1 Snow Storage	Snow storage areas shall not be less than thirty percent (30%) of the improved parking and pedestrian circulation areas.
			<i>Staff Comments</i>	<i>As permitted by KMC §17.96.060.H4, the traffic and pedestrian circulation areas will include a snowmelt system instead of a snow storage area.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.H2 Snow Storage	Snow storage areas shall be provided on-site.
			<i>Staff Comments</i>	<i>N/A. As indicated on Sheet C2.00 of the project plans, the project site will be snow-melted as permitted pursuant to KMC §17.96.060.H4.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.H3 Snow Storage	A designated snow storage area shall not have any dimension less than five (5') feet and shall be a minimum of twenty-five (25) square feet.
			<i>Staff Comments</i>	<i>As permitted by KMC §17.96.060.H4, the project site will include a snowmelt system instead of a snow storage area.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.H4 Snow Storage	In lieu of providing snow storage areas, snow melt and hauling of snow may be allowed.
			<i>Staff Comments</i>	<i>The West Ketchum Residences paved circulation areas will include a snowmelt system instead of snow storage. Snow-melting all circulation areas will enhance Fire Department operations and emergency response.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.I1 Landscaping	Landscaping is required for all projects.
			<i>Staff Comments</i>	<i>The landscape plan is included on Sheets L1, L2, and L3 of the project plans. Landscaping includes a variety of trees, shrubs, and tall grasses.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.I2 Landscaping	Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape.
			<i>Staff Comments</i>	<i>The landscape materials and vegetation types shall be readily adaptable to the site's microclimate, soil conditions, orientation, and aspect. The proposed landscaping will soften the duplex building's hard lines and rectangular mass. The trees, shrubs, and grasses</i>

				<i>provides relief from the building walls and screens the townhome development from the street and adjacent residential developments.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.13 Landscaping	All trees, shrubs, grasses and perennials shall be drought tolerant. Native species are recommended but not required.
			<i>Staff Comments</i>	<i>All proposed landscape materials and vegetation types shall be drought tolerant. The applicant is encouraged to select native species.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.14 Landscaping	Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged.
			<i>Staff Comments</i>	<i>The landscaping will screen the West Ketchum Residences development from Bird Drive and adjacent townhomes and condominiums. The applicant has proposed fir, spruce, and pine trees that provide a buffer from the Hourglass Townhomes and Smoky Lane Condominiums. A combination of evergreens and shrub groupings border the southern property line, which will enhance privacy between the duplexes and the Autumn Woods and Summit Ridge Townhouses to the south. Trees, tall grasses, and shrubs are included in the front yard landscape design to screen the townhome development from the street.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.J1 Public Amenities	Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All public amenities shall receive approval from the Public Works Department prior to design review approval from the Commission.
			<i>Staff Comments</i>	<i>This standard does not apply because the developer is not required to install sidewalks. The City does not require the installation of sidewalks in residential neighborhoods.</i>

RECOMMENDED MOTION

"I move to approve the West Ketchum Residences Design Review subject to conditions."

RECOMMENDED CONDITIONS OF APPROVAL

1. This Design Review approval is subject to all comments and conditions as described in Tables 2, 3, and 4.
2. This Design Review approval is based on the plans and information presented and approved at the meeting on the date noted herein. Building Permit plans for all on-site improvements must conform to the approved Design Review plans unless otherwise approved in writing by the Planning and Zoning Commission or Administrator. Any building or site discrepancies which do not conform to the approved plans will be subject to removal.
3. All governing ordinances, requirements, and regulations of the Fire Department (2012 International Fire Code and local Fire Protection Ordinance No.1125), Building Department (2012 International Building Code, the 2012 International Residential Code, and Title 15 of

- Ketchum Municipal Code), Utilities Department, Street Department (Title 12 of Ketchum Municipal Code), and the City Engineer shall be met prior to Certificate of Occupancy.
4. The applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho to include specification for the ROW, utilities, and drainage improvements to be reviewed and approved by the City Engineer, Streets, and Utilities departments prior to issuance of a Building Permit for the project.
 5. The term of Design Review approval shall be twelve (12) months from the date that the Findings of Fact, Conclusions of Law, and Decision are adopted by the Commission or upon appeal, the date the approval is granted by the Council subject to changes in zoning regulations (KMC §17.96.090).
 6. All Design Review elements shall be completed prior to issuance of a Certificate of Occupancy for the building.
 7. All exterior lighting on the property shall be in compliance with Ketchum Municipal Code, Chapter 17.132, Dark Skies, and shall be inspected by Planning Staff and approved prior the issuance of a Certificate of Occupancy for the building.
 8. The project shall comply with the requirements of §17.124.040 Development Standards as adopted on the date a Building Permit is submitted for the project.
 9. Prior to issuance of a Building Permit for the project, the applicant shall submit a construction management plans, which addresses each of the standards as set forth in Ketchum Municipal Code, Chapter 15.06 Construction Activity Standards.
 10. Prior to issuance of a Building Permit for the project, the Ketchum City Council must approve an Exceedance Agreement with the developer addressing the square footage above the permitted 0.5 Floor Area Ratio and memorializing the associated community housing contribution is required (KMC §17.124.040.B).
 11. Prior to issuance of a Building Permit for the project, the Ketchum City Council must approve a Lot Line Shift application to remove the common boundary lines between Lots 5A, 6A, 7A, and 8A to form Lot 5AA.
 12. In addition to the requirements set forth in this Design Review approval, this project shall comply with all applicable local, state, and federal laws.

EXHIBIT:

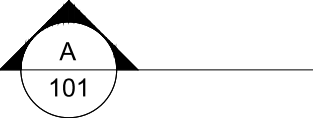
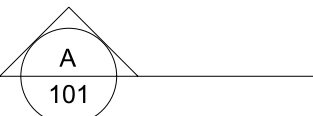
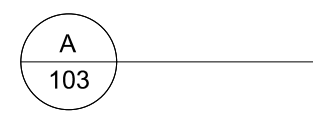
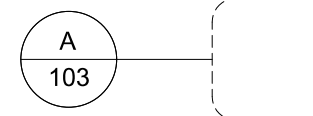
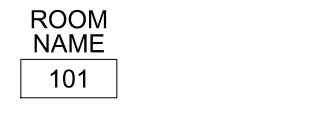



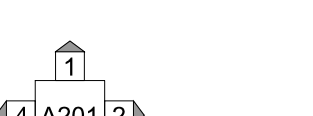
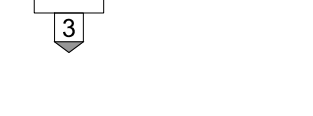
- A. Project Plans

Exhibit A: Project Plans

ABBREVIATIONS

@	AT	LAM	LAMINATE
AB	ANCHOR BOLT		
ABC	AGGREGATE BASE COURSE	MAT	MATERIAL
AFB	ABOVE FINISH FLOOR	MAX	MAXIMUM
AFG	ABOVE FINISH GRADE	MIN	MINIMUM
ALT	ALTERNATE	MISC	MISCELLANEOUS
ALUM	ALUMINUM	MTL	METAL
BD	BOARD	NIC	NOT IN CONTRACT
BLDG	BUILDING	NO	NUMBER
BO	BOTTOM OF	NOM	NOMINAL
BOD	BOTTOM OF DECK	N	NORTH
		NTS	NOT TO SCALE
CC	CENTER TO CENTER		
CIP	CAST IN PLACE	OC	ON CENTER
CL	CENTER LINE	OH	OVERHEAD
CLNG	CEILING	OPP	OPPOSITE
CJ	CONTROL JOINT	OSB	ORIENTED STRAND BOARD
CMU	CONCRETE MASONRY UNIT		
COL	COLUMN	PL	PLATE
CONC	CONCRETE	PR	PAIR
CONT	CONTINUOUS		
		RA	RETURN AIR
DET	DETAIL	RAD	RADIUS
DIM	DIMENSION	RCP	REFLECTED CEILING PLAN
DN	DOWN	REF	REFERENCE
DWG	DRAWING	REQ'D	REQUIRED
		REV	REVISION
EA	EACH	RO	ROUGH OPENING
ELEC	ELECTRICAL	ROW	RIGHT OF WAY
ELEV	ELEVATION		
EQ	EQUAL	SC	SOLID CORE
EQUIP	EQUIPMENT	SCHED	SCHEDULE
EXT	EXTERIOR	SF	SQUARE FEET
EXIST	EXISTING	SHT	SHEET
		SIM	SIMILAR
FA	FIRE ALARM	STL	STEEL
FACP	FIRE ALARM CONTROL PANEL	STRUC	STRUCTURAL
FD	FLOOR DRAIN		
FEC	FIRE EXTINGUISHER CABINET	T&G	TONGUE & GROOVE
FF	FINISHED FLOOR ELEVATION	TO	TOP OF
FIN	FINISH	TOB	TOP OF BEAM
FLR	FLOOR	TOM	TOP OF MASONRY
FT	FOOT OR FEET	TOW	TOP OF WALL
FV	FIELD VERIFY	TYP	TYPICAL
GA	GAUGE	UL	UNDERWRITERS LABORATORIES
GALV	GALVANIZED	UNO	UNLESS NOTED OTHERWISE
GLB	GLUE LAMINATED BEAM		
GSF	GROSS SQUARE FEET	VERT	VERTICAL
GYP	GYPSONUM		
		WC	WATER CLOSET
HB	HOSE BIBB	WD	WOOD
HDWR	HARDWARE	W/	WITH
HR	HOUR	W/O	WITHOUT
INSUL	INSULATION		
INT	INTERIOR		
JNT	JOINT		

DRAWING SYMBOLS

BUILDING SECTION CUT	
WALL SECTION CUT	
DETAIL SECTION CUT	
DETAIL REFERENCE	
ROOM NAME	
DOOR TYPE	
WINDOW TYPE	
WALL TYPE	
ELEVATION INDICATOR	
INTERIOR ELEVATION	

PROJECT TEAM

DEVELOPER:
WEST KETCHUM RESIDENCES, LLC
C/O ROBERT PARKER
208-721-1359
ROBERT@VPCOMPANIES.COM

GENERAL CONTRACTOR:
MAGLEBY CONSTRUCTION
DESTROY SIMPSON
208-720-5673
DSIMPSON@MAGLEBYCONSTRUCTION.COM

ARCHITECT:
BLISS ARCHITECTURE
ERRIN BLISS, AIA
208-721-7424
ERRIN@BLISSARCHITECTURE.COM
126 SOUTH MAIN STREET, SUITE B1
HAILEY, IDAHO 83333

CIVIL ENGINEER:
GALENA ENGINEERING, INC.
SAM STAHLNECKER, PE
208-788-1705
SAM@GALENA-ENGINEERING.COM
317 N. RIVER STREET
HAILEY, IDAHO 83340

LANDSCAPE ARCHITECT:
NS CONSULTING
NATHAN SCHUTTE
208-320-2911
NATHANWSCHUTTE@GMAIL.COM

STRUCTURAL ENGINEER:
T.B.D.

MECHANICAL ENGINEER:
DESIGN BUILD

ELECTRICAL ENGINEER:
DESIGN BUILD

PROJECT DATA

SITE ADDRESS:
150 BIRD DRIVE
KETCHUM, IDAHO

APPLICABLE BUILDING CODES:
2012 INTERNATIONAL RESIDENTIAL CODE WITH CITY OF KETCHUM AMENDMENTS
2012 INTERNATIONAL FIRE CODE
2012 INTERNATIONAL ENERGY CONSERVATION CODE WITH CITY OF KETCHUM AMENDMENTS

OCCUPANCY TYPE:
TWO FAMILY DWELLING UNIT

CONSTRUCTION TYPE:
V-B SPRINKLERED

SEE SHEET AS102 FOR SITE DATA

SHEET INDEX

A000 COVER SHEET

C0.1 CIVIL COVER SHEET
C1.0 DRIVEWAY GRADING, DRAINAGE, & UTILITY PLAN
C1.1 DRIVEWAY PLAN AND PROFILE
C2.0 DETAILS

L1 LANDSCAPE GRADING & DRAINAGE PLAN
L2 LANDSCAPE PLAN
L3 PROJECT SITE VISUALIZATIONS
CM CONSTRUCTION MANAGEMENT PLAN

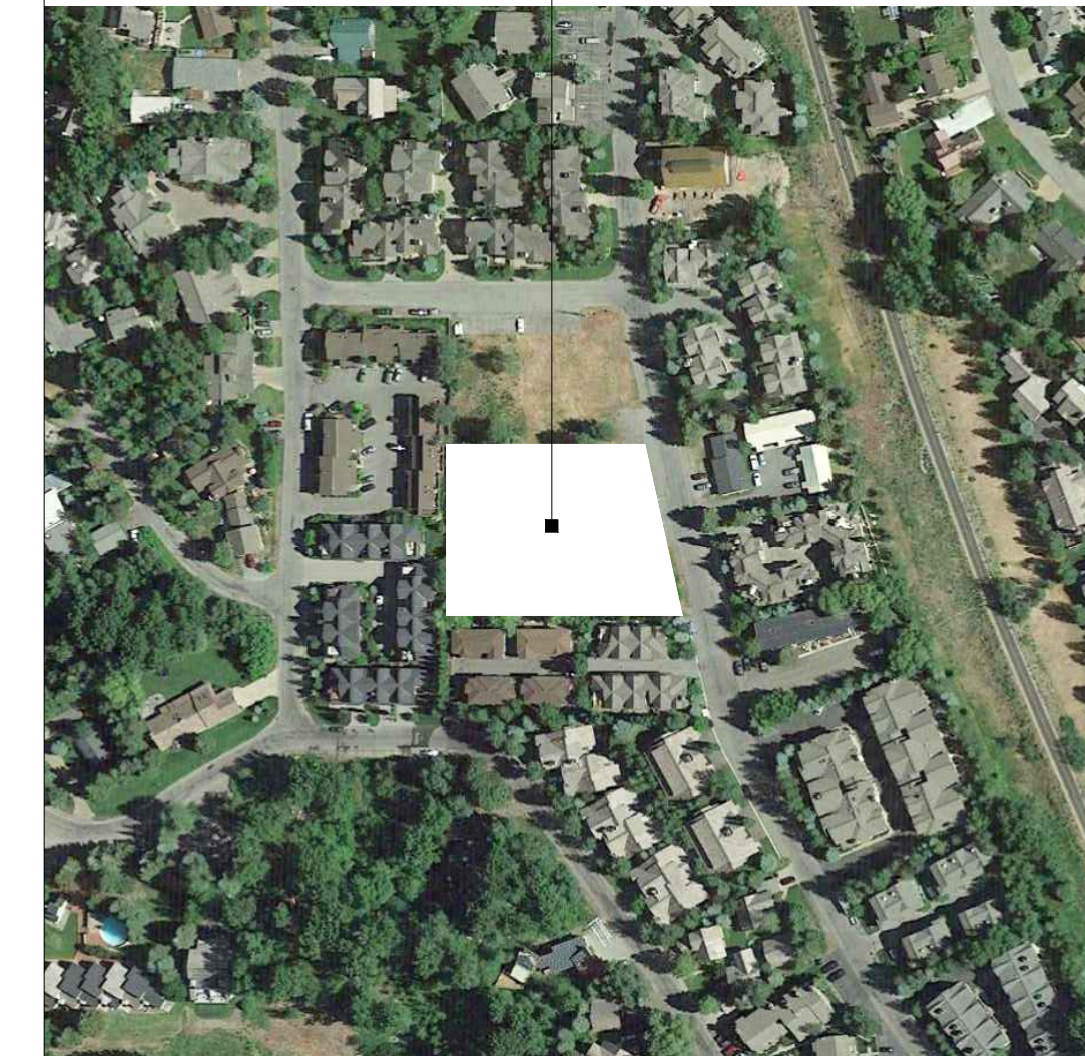
AS101 CONTEXT SITE PLAN
AS102 SITE PLAN
A101 TYPICAL FIRST FLOOR PLAN
A102 TYPICAL SECOND FLOOR PLAN
A121 TYPICAL ROOF PLAN
A201 TYPICAL BUILDING ELEVATIONS
A202 TYPICAL BUILDING ELEVATIONS
A203 BUILDING RENDERINGS

PROJECT DESCRIPTION

PROJECT NAME:
WEST KETCHUM RESIDENCES

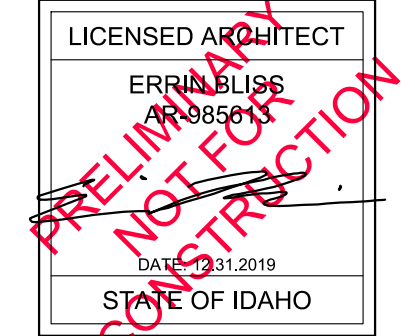
THE PROPOSED PROJECT CONSISTS OF 5, TWO STORY DUPLEX UNITS. EACH UNIT WILL HAVE A 2 CAR GARAGE, LAUNDRY ROOM, 2 BEDROOMS, 2 BATHS, A MASTER SUITE, KITCHEN, DINING ROOM, & LIVING ROOM. THE TOTAL LIVABLE AREA OF EACH UNIT IS 2,172 S.F. WITH 484 S.F. GARAGES.

PROJECT SITE



VICINITY MAP

SCALE: N.T.S.



WEST KETCHUM RESIDENCES
150 BIRD DRIVE | KETCHUM | IDAHO
BLISSARCHITECTURE O | 126 SOUTH MAIN STREET | SUITE B1 | HAILEY IDAHO 83333
P | 208-721-7424 W | BLISSARCHITECTURE.COM

WEST KETCHUM RESIDENCES

KETCHUM, IDAHO

PROJECT NO. | 201914

DRAWN BY | EMB
CHECKED BY | EMB

CITY OF KETCHUM
DESIGN REVIEW
DATE | 12 31 2019

SHEET INDEX
PROJECT INFO

A000

THIS DRAWING IS AN INSTRUMENT OF SERVICE. IT REMAINS THE PROPERTY OF BLISS ARCHITECTURE. IT MAY NOT BE REPRODUCED, TRANSMITTED, OR COPIED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF BLISS ARCHITECTURE. ANY UNAUTHORIZED USE OF THIS DRAWING IS PROHIBITED. THE ORIGINAL PURPOSE AND INTENT OF THIS DRAWING IS FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY OTHER USE IS AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO BLISS ARCHITECTURE.



GENERAL NOTE
SEE SHEET C0.1 FOR CONSTRUCTION NOTES AND LEGEND.

- CONSTRUCTION KEYNOTES**
- DEMOLITION**
- (D01) DEMOLISH AND REMOVE EXISTING ASPHALT DRIVEWAY
 - (D02) REMOVE OR ABANDON EXISTING UTILITY IN PLACE. COORDINATE WITH IDAHO POWER OR INTERMOUNTAIN GAS
 - (D03) REMOVE EXISTING DRYWELL
 - (D04) REMOVE EXISTING CATCH BASIN

- SITE AND DRAINAGE IMPROVEMENTS**
- (C01) CONSTRUCT HEATED PAVER DRIVEWAY PER DETAIL 4, SHEET C2.0
 - (C02) INSTALL TURF CELL PRODUCT WITH PAVER EDGE DELINEATION PER LANDSCAPE ARCHITECT IN FIRE TRUCK TURN AROUND.
 - (C03) INSTALL GRAVEL SHOULDER PER DETAIL 5, SHEET C2.0
 - (C04) INSTALL DRYWELL PER DETAIL 7, SHEET C2.0
 - a. RIM ELEV = ±5772.0
 - IE IN (EAST) = 5765.52
 - b. RIM ELEV = ±5771.0
 - c. RIM ELEV = ±5771.5
 - d. RIM ELEV = ±5772.5
 - e. RIM ELEV = ±5771.75
 - (C05) INSTALL CATCH BASIN PER DETAIL 2, SHEET C2.0
 - RIM ELEV = 5772.46
 - IE OUT (WEST) = 5768.46
 - (C06) INSTALL 147 LF 12"Ø D304 PVC PIPE @ S=2.0% MIN.

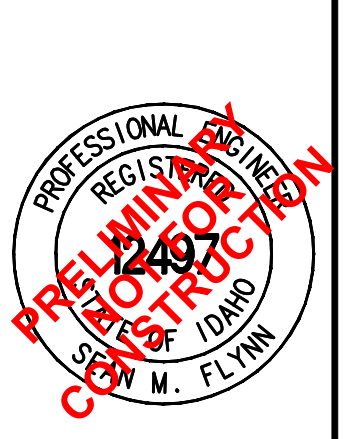
- SEWER KEY NOTES**
- (S01) RETAIN AND PROTECT EXISTING SEWER MAIN
 - (S02) INSTALL SEWER MAIN. SEE PROFILE SHEET C1.1
 - (S03) INSTALL SANITARY SEWER MANHOLE. SEE PROFILE SHEET C1.1
 - (S04) INSTALL 4" SEWER SERVICE.
 - (S05) INSTALL CLEAN-OUT PER ISPPWC SD-506A
 - (S06) INSTALL CLEAN-OUT AND EXTEND 4" SEWER SERVICE TO PROPOSED BUILDING.
 - (S07) LOCATE, CUT, CAP, AND ABANDON EXISTING SEWER SERVICE.

- WATER KEY NOTES**
- (W01) POTABLE/NON-POTABLE CROSSING. SEE ISPPWC DETAIL SD-407 AND SHEET C0.1 FOR SEPARATION REQUIREMENTS.
 - (W02) POINT OF WATER CONNECTION. COORDINATE TAP AND INSTALLATION OF TAPPING VALVE WITH CITY.
 - (W03) INSTALL 1" WATER SERVICE PER CITY OF KETCHUM STANDARDS
 - (W04) INSTALL 4" BLOW-OFF ASSEMBLY PER ISPPWC STANDARD DRAWING SD-405.
 - (W05) INSTALL 8" GATE VALVE
 - (W06) INSTALL 8" CAP W/ THRUST BLOCK
 - (W07) LOCATE, CUT, CAP, AND ABANDON EXISTING WATER SERVICE AT THE MAIN IN BIRD DRIVE.

DRIVEWAY GRADING, DRAINAGE, AND UTILITY PLAN
WEST KETCHUM RESIDENCES

LOCATED WITHIN SECTION 13, T.4 N., R.17 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO

PROJECT INFORMATION
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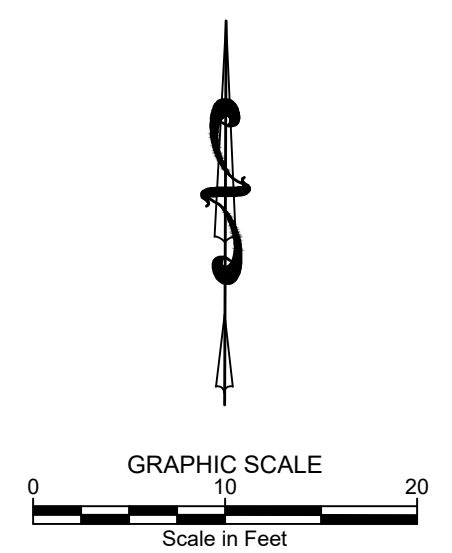
SKS DESIGNED BY
SKS DRAWN BY
SMF CHECKED BY

GALENA ENGINEERING, INC.
Civil Engineers & Land Surveyors
317 N. River Street
Halley, Idaho 83333
(208) 768-1705
email: galena@galena-engineering.com

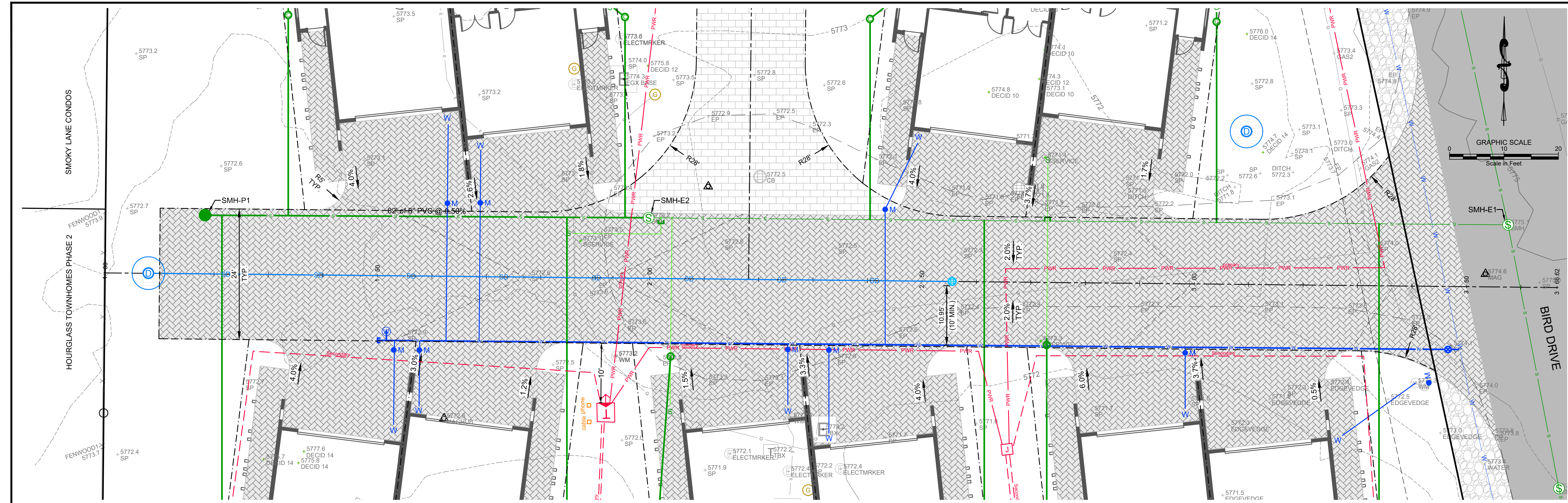
PURPOSE: ISSUE FOR DESIGN REVIEW (12/31/19)

NO.	DATE	BY	REVISIONS

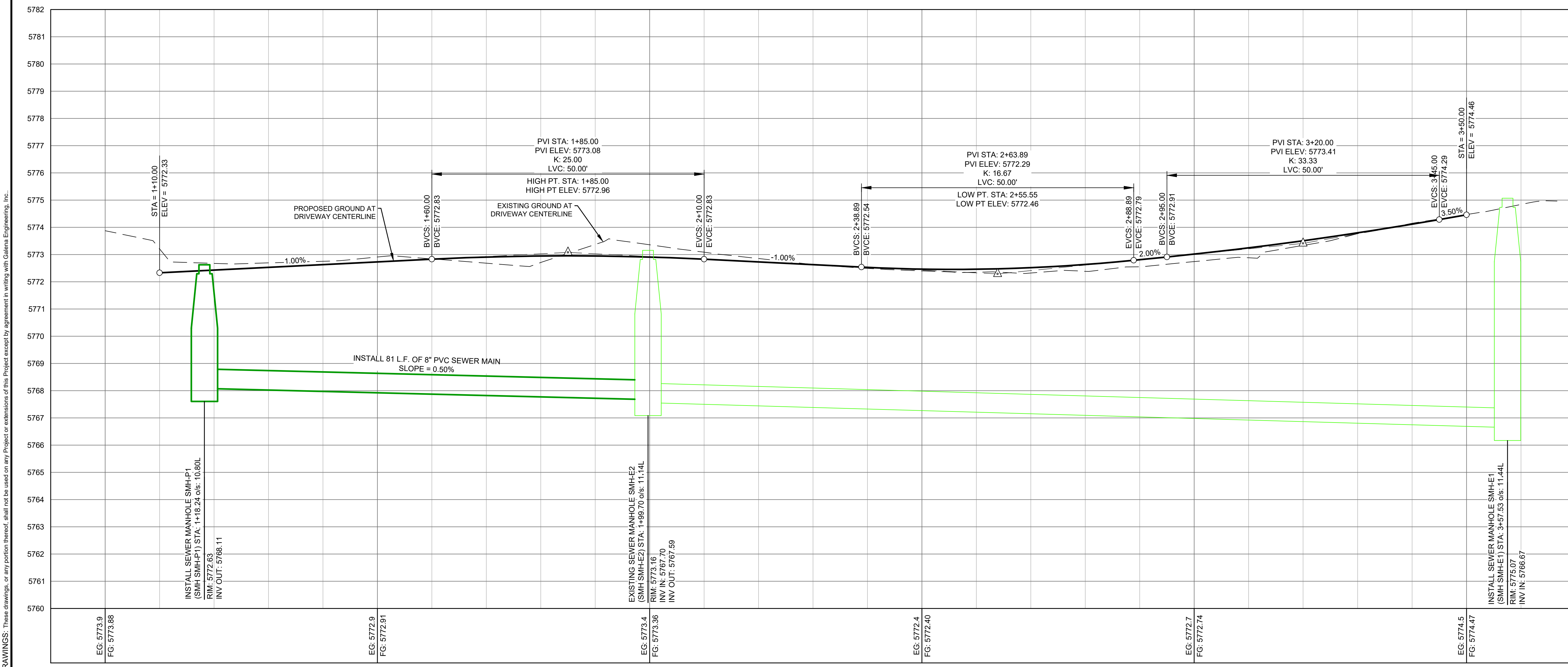
C1.0



REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any project or extension of this project except by agreement in writing with Galena Engineering, Inc.



DRIVEWAY PLAN VIEW
SCALE: 1"=10'



PV - DRIVEWAY CL PROFILE
SCALE: 1"=10' H; 1"=2' V

REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any project or extension of this project except by agreement in writing with Galena Engineering, Inc.

DRIVEWAY PLAN AND PROFILE
WEST KETCHUM RESIDENCES

LOCATED WITHIN SECTION 13, T.4 N., R.17 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO

PREPARED FOR: MAGLEY CONSTRUCTION

PROJECT INFORMATION
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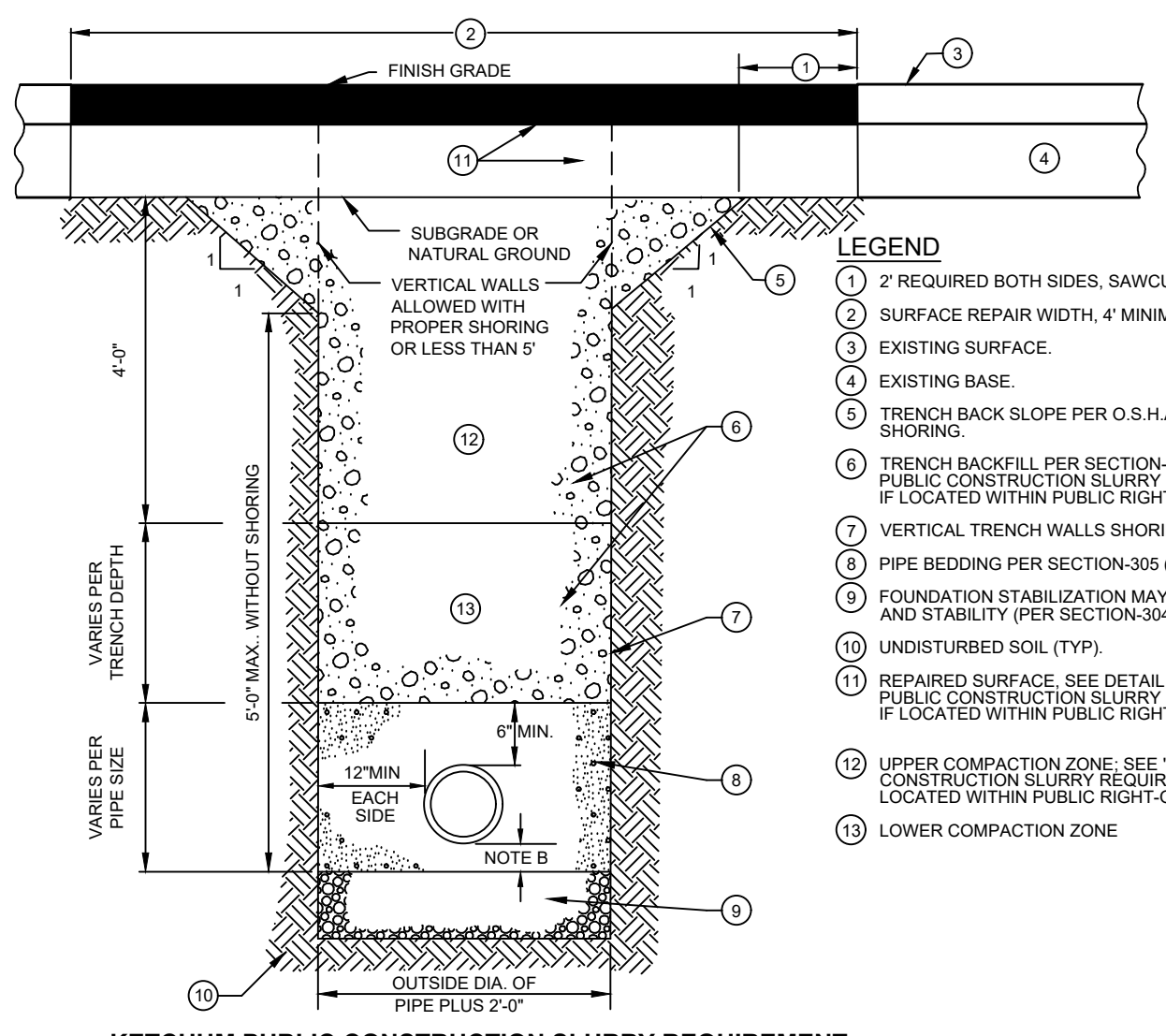


SKS
DESIGNED BY
SKS
DRAWN BY
SMF
CHECKED BY

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ENGINEERING, INC.
Civil Engineers & Land Surveyors
317 N. River Street
Halley, Idaho 83333
(208) 768-1705
email: galena@galena-engineering.com

PURPOSE: ISSUE FOR DESIGN REVIEW (12/31/19)

NO.	DATE	BY	REVISIONS



- LEGEND**
- 2" REQUIRED BOTH SIDES. SAWCUT REQUIRED.
 - SURFACE REPAIR WIDTH, 4" MINIMUM. SEE NOTE 5.
 - EXISTING SURFACE.
 - EXISTING BASE.
 - TRENCH BACK SLOPE PER O.S.H.A. OR SUITABLE SHORING.
 - TRENCH BACKFILL PER SECTION 306, OR SEE "KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT" BELOW IF LOCATED WITHIN PUBLIC RIGHT-OF-WAY.
 - VERTICAL TRENCH WALLS SHORING PER O.S.H.A.
 - PIPE BEDDING PER SECTION 305 (SEE SD-302).
 - FOUNDATION STABILIZATION MAY VARY PER SOIL TYPE AND STABILITY (PER SECTION 306).
 - UNDISTURBED SOIL (TYP)
 - REPAIRED SURFACE. SEE DETAIL 5, SEE "KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT" BELOW IF LOCATED WITHIN PUBLIC RIGHT-OF-WAY.
 - UPPER COMPACTION ZONE. SEE "KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT" BELOW IF LOCATED WITHIN PUBLIC RIGHT-OF-WAY.
 - LOWER COMPACTION ZONE.

KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT
 IN AREAS WHERE IT IS NECESSARY TO CUT THE ASPHALT PAVEMENT AND DIG A TRENCH FOR BURIAL OF CONDUIT CABLE OR OTHER CITY UTILITY, THE TRENCH SHALL BE BACKFILLED WITH A LEAN CONCRETE MIX TO THE BOTTOM OF FINISH SURFACE MATERIAL WITH THE FOLLOWING PROPORTIONS OF MATERIALS:

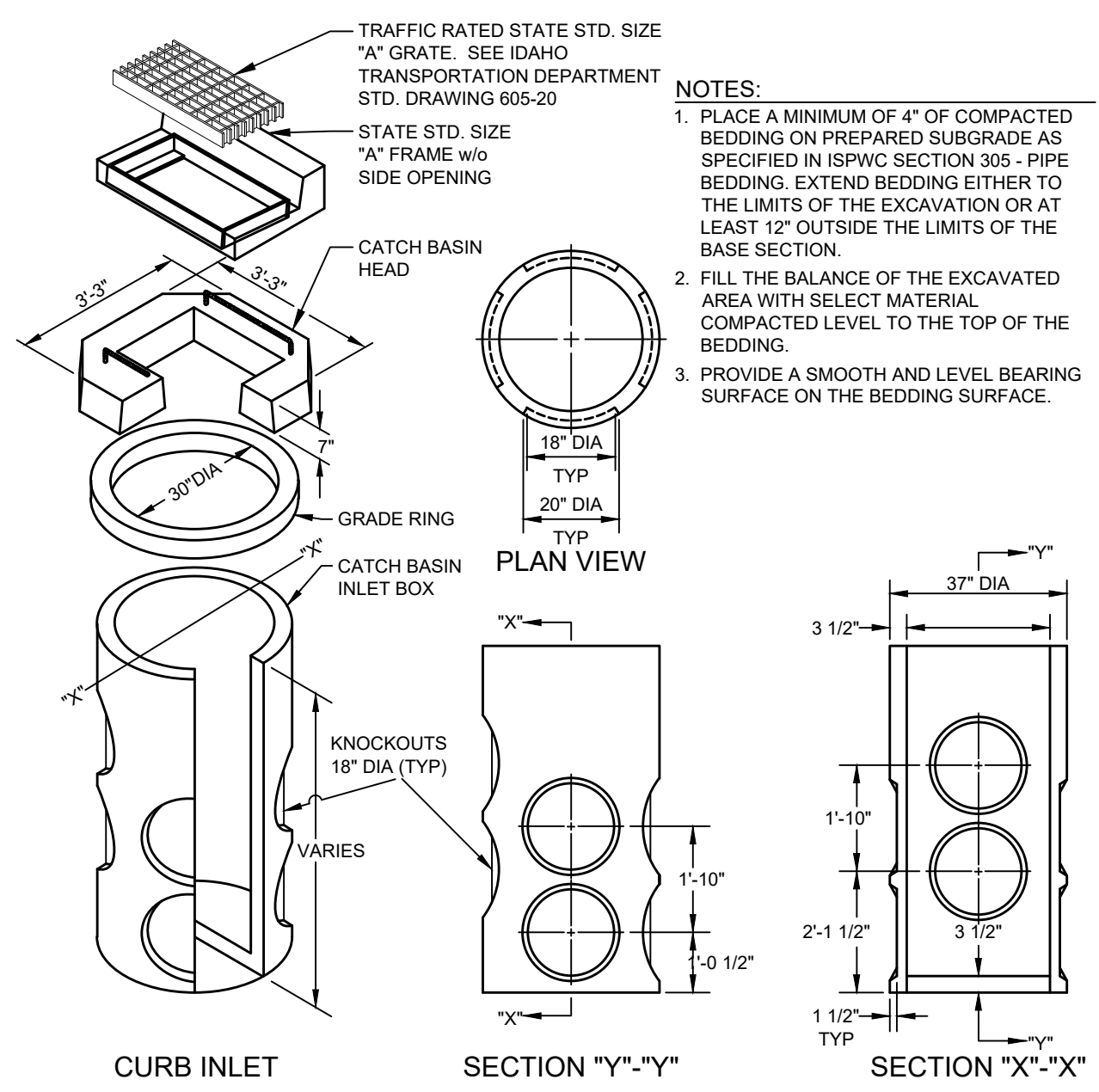
COARSE AGGREGATE (3/4" MINUS) : 2,800 LBS
 SAND : 800 LBS
 PORTLAND CEMENT : 94 LBS
 WATER : 11 GAL (MAX.)

WATER CONTENT IS MAXIMUM AND MAY BE REDUCED DOWNWARD. CARE SHALL BE TAKEN TO ASSURE THAT EXCESS WATER IS NOT PRESENT IN THE MIXING DRUM PRIOR TO CHARGING THE MIXER WITH MATERIALS. THOROUGH MIXING WILL BE REQUIRED PRIOR TO DISCHARGE.

NO COMPACTION, VIBRATION, OR FINISHING IS REQUIRED. THE LEAN CONCRETE MIX SHALL BE STRUCK OFF AT OR BELOW THE ELEVATION OF THE PLANT MIX SURFACING WITH A SQUARE-NOSE SHOVEL OR SIMILAR HAND TOOL. THE BACKFILL MIX SHALL BE ALLOWED TO SET FOR A MINIMUM OF 2 HOURS BEFORE THE PERMANENT PLANT MIX SURFACING IS PLACED TO COMPLETE THE TRENCH REPAIR. TEMPORARY PLACEMENT OF ASPHALT COLD MIX SURFACING MAY BE NECESSARY TO ACCOMMODATE TRAFFIC WITHIN THE FIRST 2 HOURS OF BACKFILL PLACEMENT PRIOR TO COMPLETING THE PERMANENT REPAIR.

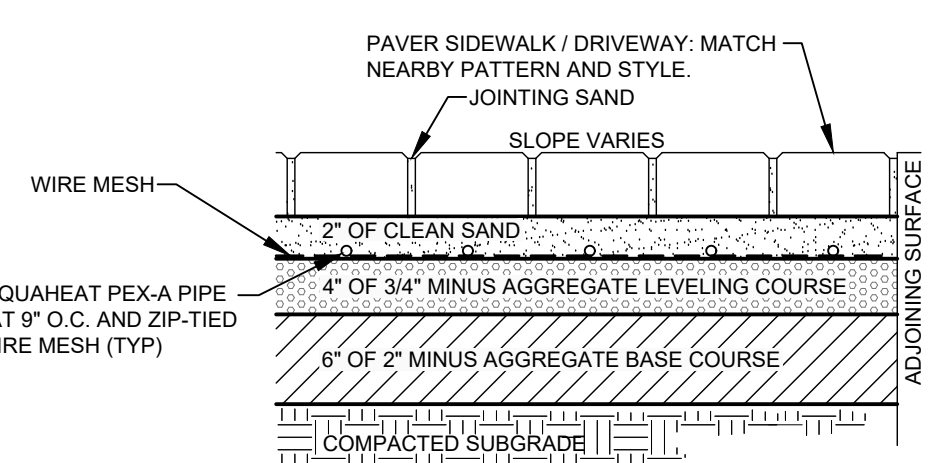
- NOTES:**
- TRENCH EXCAVATION PER SECTION 301.
 - PIPE BEDDING PER SECTION 305.
 - BACKFILL AND COMPACTION PER SECTION 306.
 - SURFACE REPAIR AND BASE PER DETAIL 3.
 - ASPHALT PAVEMENT FOR SURFACE REPAIR SHALL BE IN ACCORDANCE WITH PLANS AND ISPEC SECTIONS 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (13MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPEC SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPEC SECTION 805.
 - IF TRENCH IMPACTS CROWN OF ROADWAY, CROWN MUST BE MAINTAINED AND POSITIVE DRAINAGE PROVIDED.

1
C2.0
TYPICAL TRENCH
 N.T.S.



2
C2.0
CATCHBASIN
 N.T.S.

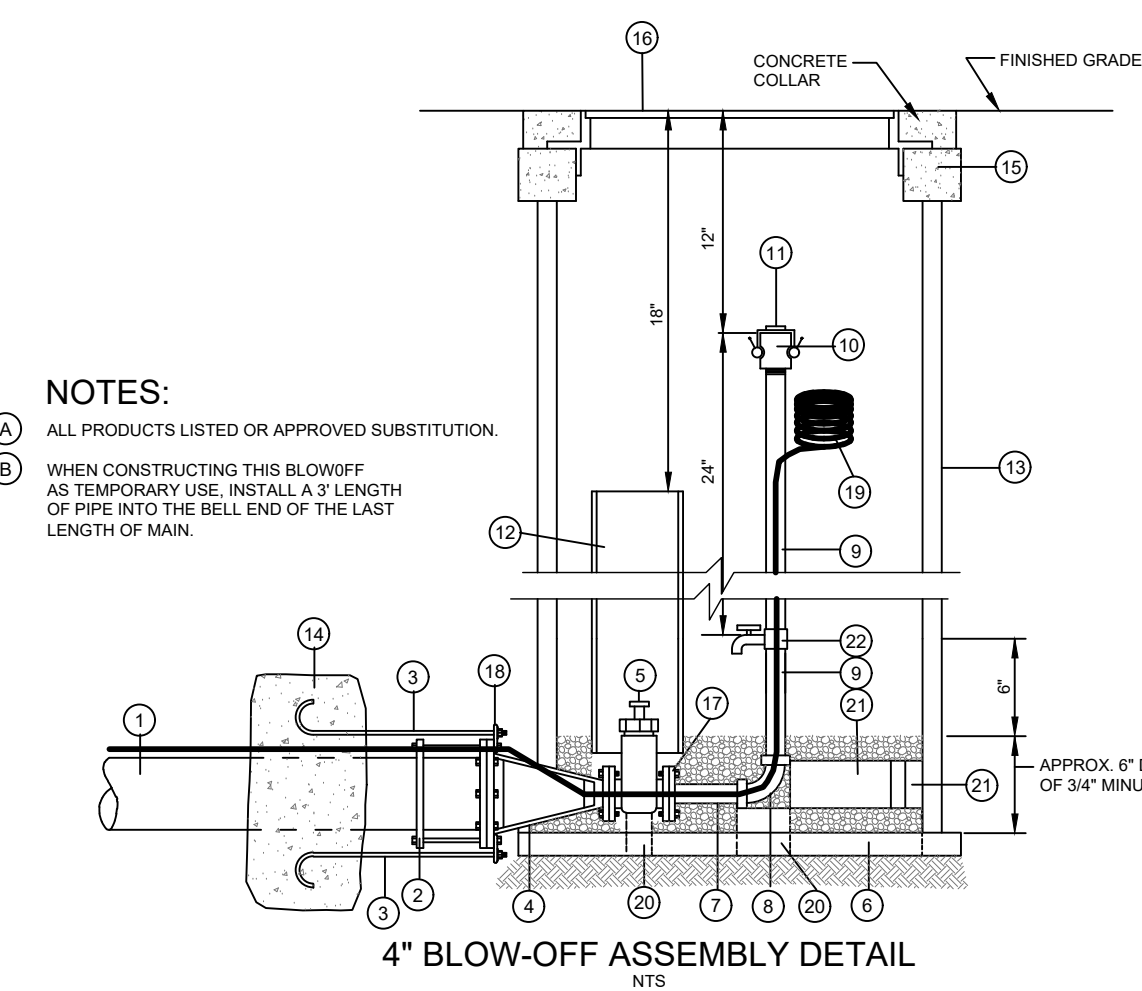
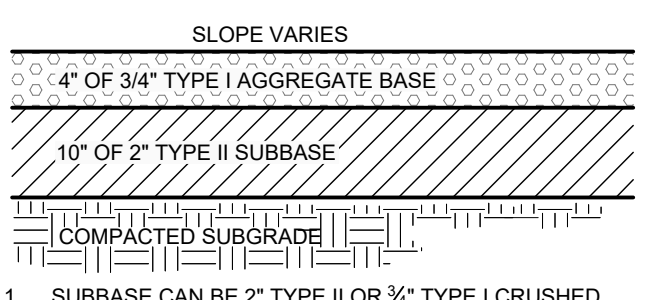
- NOTES:**
- PLACE A MINIMUM OF 4" OF COMPACTED BEDDING ON PREPARED SUBGRADE AS SPECIFIED IN ISPEC SECTION 305 - PIPE BEDDING. EXTEND BEDDING EITHER TO THE LIMITS OF THE EXCAVATION OR AT LEAST 12" OUTSIDE THE LIMITS OF THE BASE SECTION.
 - FILL THE BALANCE OF THE EXCAVATED AREA WITH SELECT MATERIAL COMPACTED LEVEL TO THE TOP OF THE BEDDING.
 - PROVIDE A SMOOTH AND LEVEL BEARING SURFACE ON THE BEDDING SURFACE.



4
C2.0
PAVER DETAIL
 N.T.S.

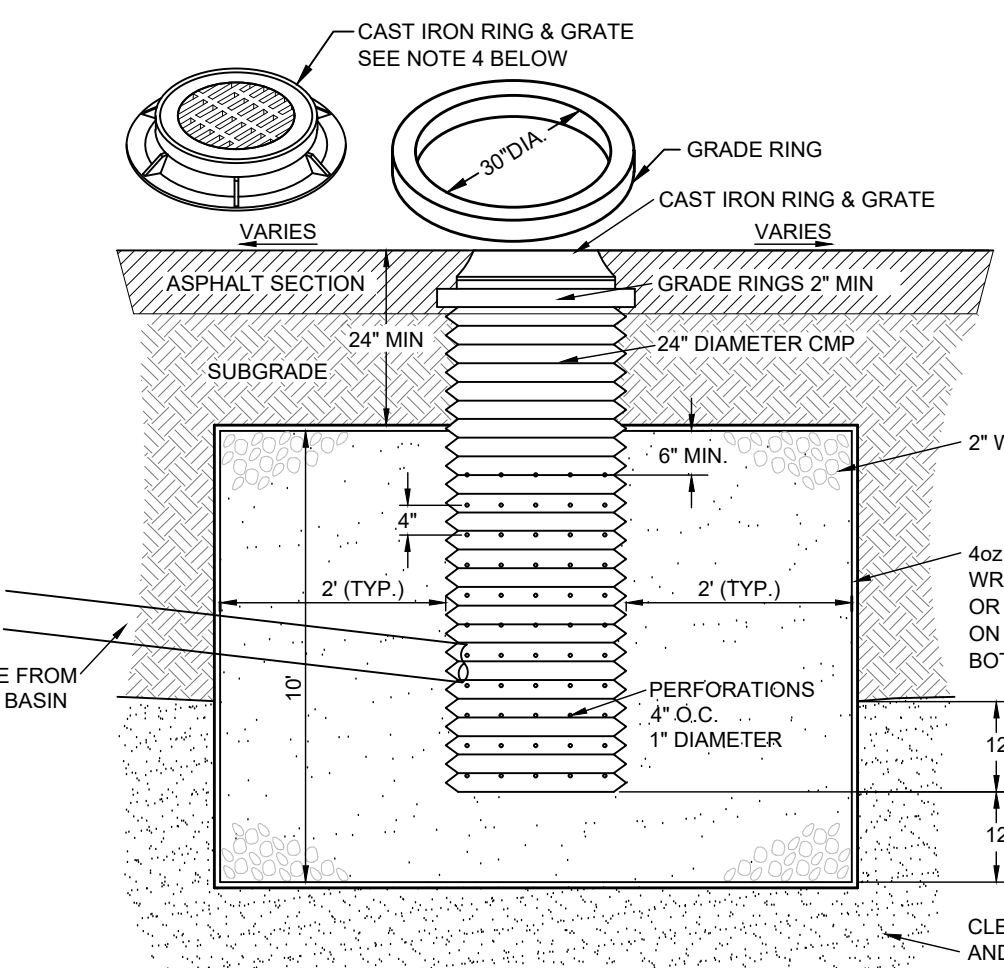
- NOTES:**
- SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
 - MATERIALS SHALL CONFORM WITH CURRENT ISPEC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
 - INSTALL INSULATION PER PLUMBER IF REQUIRED.

5
C2.0
TYPICAL GRAVEL SECTION
 N.T.S.



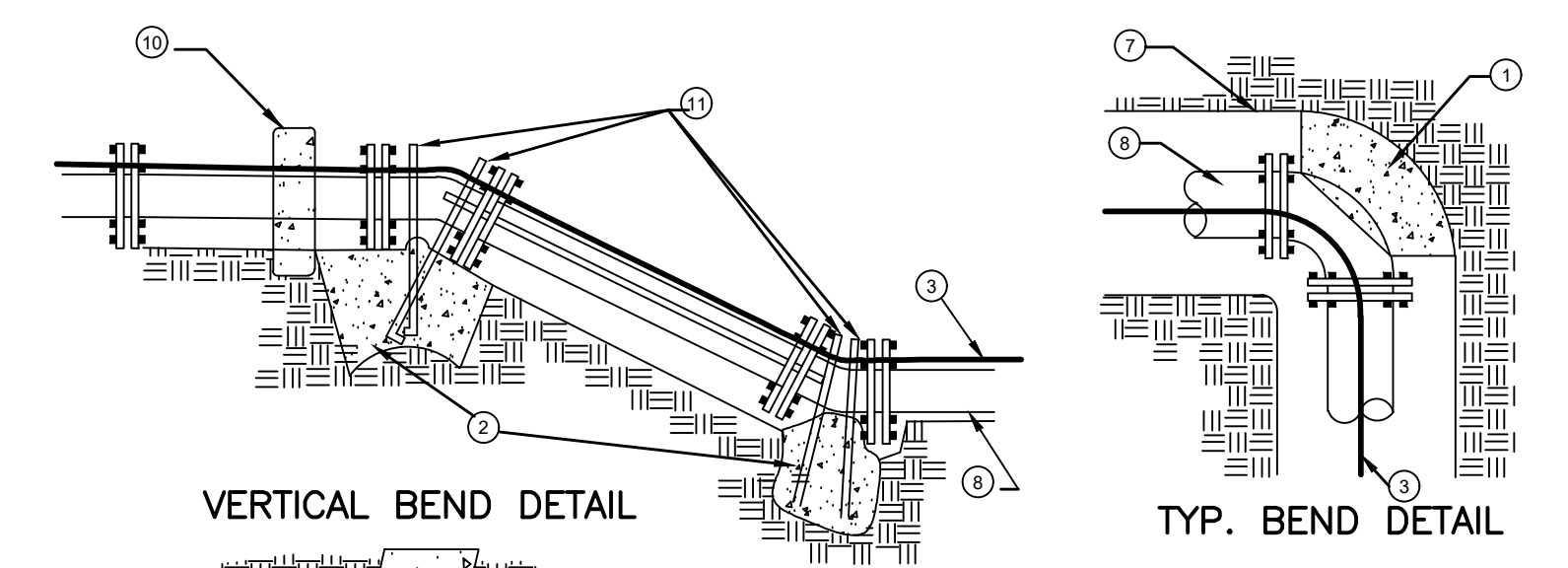
- LEGEND**
- WATER MAIN (SIZE VARIES). BELL END REQUIRED FOR TEMPORARY INSTALLATION WITH 18" PIPE SECTION.
 - UNI-FLANGE RETAINER SERIES 1300 FOR PVC PIPE.
 - 3/4" RODS 2 REQUIRED ON 6" AND SMALLER, 3/4" RODS 4 REQUIRED ON 8" AND LARGER.
 - MAIN SIZE MU X 4" REDUCER. IF 4" MAIN, GATE VALVE TO BE MU X 4".
 - GATE VALVE RESILIENT WEDGE FLANGE X FLANGE.
 - PRE-CAST GRADE 2" RING USED TO SUPPORT CMP (33" O.D.) CONCRETE.
 - 4" X 6" THREADED GALVANIZED NIPPLE.
 - 4" THREADED GALVANIZED 90° ELBOW.
 - 4" THREADED GALVANIZED PIPE.
 - THREADED X ALUM. KAM-LOCK QUICK COUPLING MALE ADAPTER.
 - KAM-LOCK CAP.
 - PLASTIC VALVE BOX BOTTOM SECTION.
 - 30" CMP CUT TO FIELD LENGTH.
 - HAMMERHEAD THRUST BLOCK 10.3 SQ. FT.
 - 4" X 30" O.D. PRE-CAST CONCRETE GRADE RING MIN. 1 1/4" GRADE RING MAX. 1 1/4" GRADE RING AND 1 1/2" GRADE RING (OTHERWISE CMP EXTENSION AND CMP BAND).
 - WATER MANHOLE RING AND LID.
 - 4" COMPANION FLANGE CAP TAPPED 4" F.I.P.
 - EYE-BOLTS.
 - LOCATOR WIRE-LONG ENOUGH TO BE PULLED UP AND OUT TO ABOVE GROUND LEVEL. SEE SD 514 FOR SPLING.
 - PRE-CAST CONCRETE BLOCKS.
 - PRE-CAST CONCRETE BLOCKS WEDGED IN PLACE. FILL VOID BETWEEN TILE AND BLOCKS.
 - 1 1/4" DRAIN VALVE WITH SADDLE (1/4 TURN TO OPEN).

6
C2.0
4" BLOW-OFF ASSEMBLY
 (ISPEC SD-405)
 N.T.S.



- NOTE:**
- THE BED SHALL BE EXCAVATED A MINIMUM OF 24" INTO CLEAN SAND AND GRAVEL.
 - MAXIMUM DEPTH SHALL NOT EXCEED 12 FEET.
 - IF CLEAN SAND AND GRAVEL IS NOT ENCOUNTERED WITHIN 12 FEET, THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER.
 - GRATE OR SOLID LID AS APPROVED BY CITY OF KETCHUM.

7
C2.0
DRYWELL
 N.T.S.



- LEGEND**
- FOR HORIZONTAL PIPE BENDS, BEARING THRUST BLOCK MUST PROVIDE 2500 P.S.I. CONCRETE POURED AGAINST UNDISTURBED EARTH PER TABLE 1.
 - FOR VERTICAL PIPE BENDS, GRAVITY THRUST BLOCKS MUST PROVIDE A VOLUME OF CONCRETE POURED AGAINST UNDISTURBED EARTH WITH IS SIZED FOR EXPECTED FORCES WITH A MINIMUM 1.5 FACTOR OF SAFETY.
 - NO. 12 COPPER FINER WIRE. SEE SD-514 FOR SPLING.
 - C.I. VALVE BOX WITH COVER.
 - C.I. GATE VALVE (M.J.).
 - PRECAST BLOCK FOR CUT IN TEE AND VALVE OR CAST IN PLACE WITH 2 1/2" MIN. REBAR.
 - TRENCH SIDE.
 - PIPE.
 - PLUG.
 - HAMMERHEAD THRUST BLOCKING.
 - ANCHOR BARS (1/2" MIN).

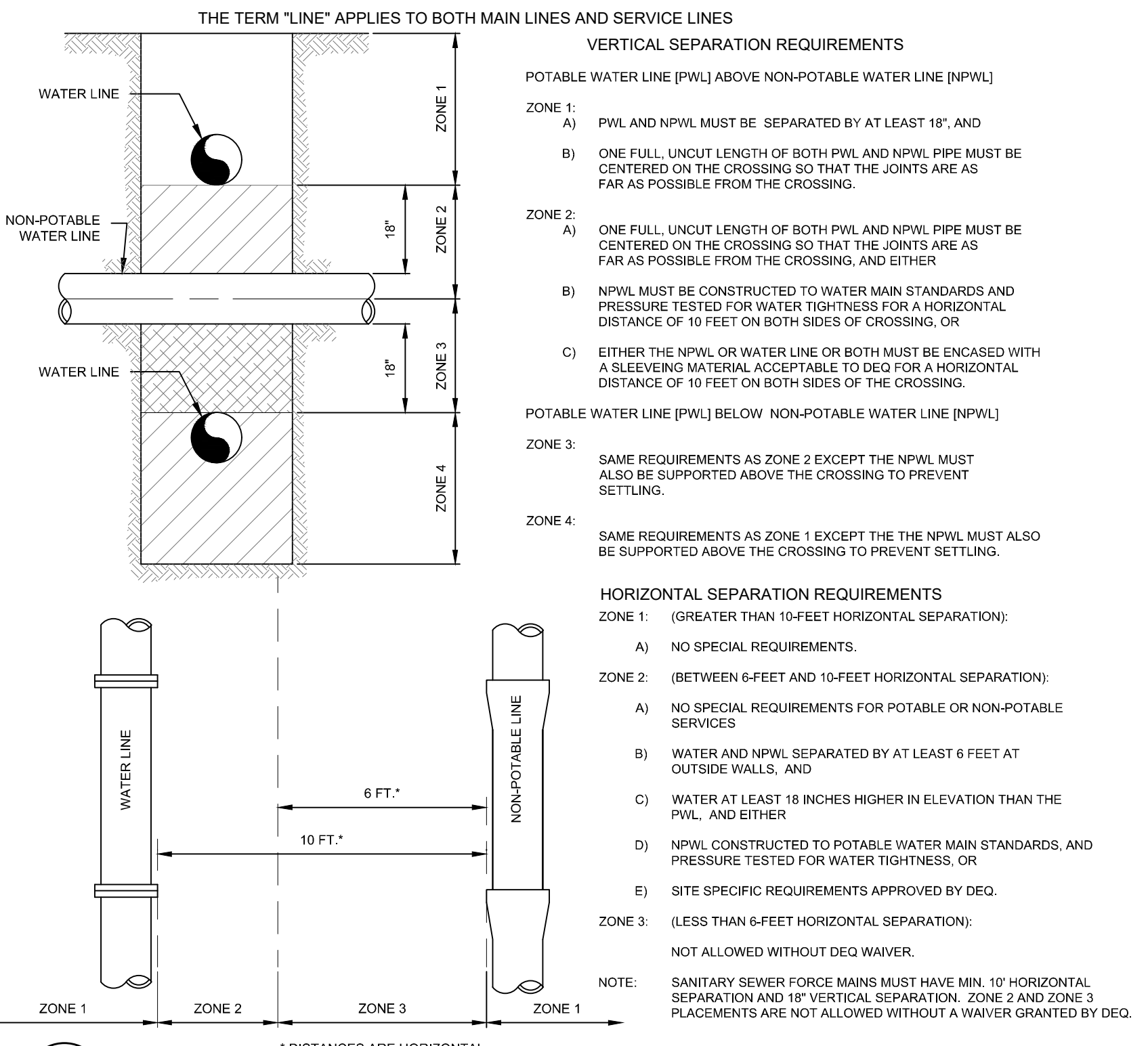
VALVE ANCHOR DETAIL

SOIL BEARING PRESSURE = 2000 PSF
 WORKING PRESSURE RATING = 150 PSI
 SAFETY FACTOR = 1.5

PIPE SIZE	TEE	PLUG	BENDS
3"	0.8	1.1	0.6
4"	1.4	2.0	1.1
6"	3.2	4.5	2.4
8"	5.7	8.0	4.3
10"	8.8	12.5	6.8
12"	12.7	18.0	9.7
14"	17.3	24.5	13.3
16"	22.6	32.0	17.3
18"	28.6	40.5	21.9

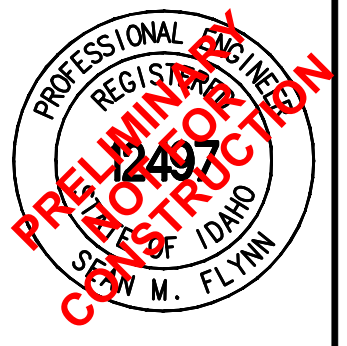
- * MUST BE INCREASED BASED ON DIFFERENCE CONDITIONS (HIGHER WORKING PRESSURE OR LOWER SOIL BEARING STRENGTH).
 ** OR ACTING AS A 90° BEND.
 *** THRUST BLOCK DEPTH TO BE A MINIMUM OF 12" FOR PIPE SIZES 3"-8" AND 18" FOR PIPE SIZES 10"-18" OR THE SQUARE ROOT OF THE REQUIRED BEARING AREA, WHICHEVER IS GREATER.

3
C2.0
THRUST BLOCK AND ANCHOR DETAILS
 (ISPEC SD-403)
 N.T.S.



8
C2.0
POTABLE AND NON-POTABLE WATER LINE (NPWL) SEPARATION
 N.T.S.

DETAILS
WEST KETCHUM RESIDENCES
 LOCATED WITHIN SECTION 13, T.4 N., R.17 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
 PREPARED FOR MAGLEY CONSTRUCTION



SKS DESIGNED BY
 SKS DRAWN BY
 SMF CHECKED BY

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 email: galena@galena-engineering.com

PURPOSE: ISSUE FOR DESIGN REVIEW (12/31/19)

NO.	DATE	BY	REVISIONS



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PROJECT
WEST KETCHUM RESIDENCES
150 BIRD DRIVE
Ketchum, Idaho

DOCUMENT DATE
December 31, 2019

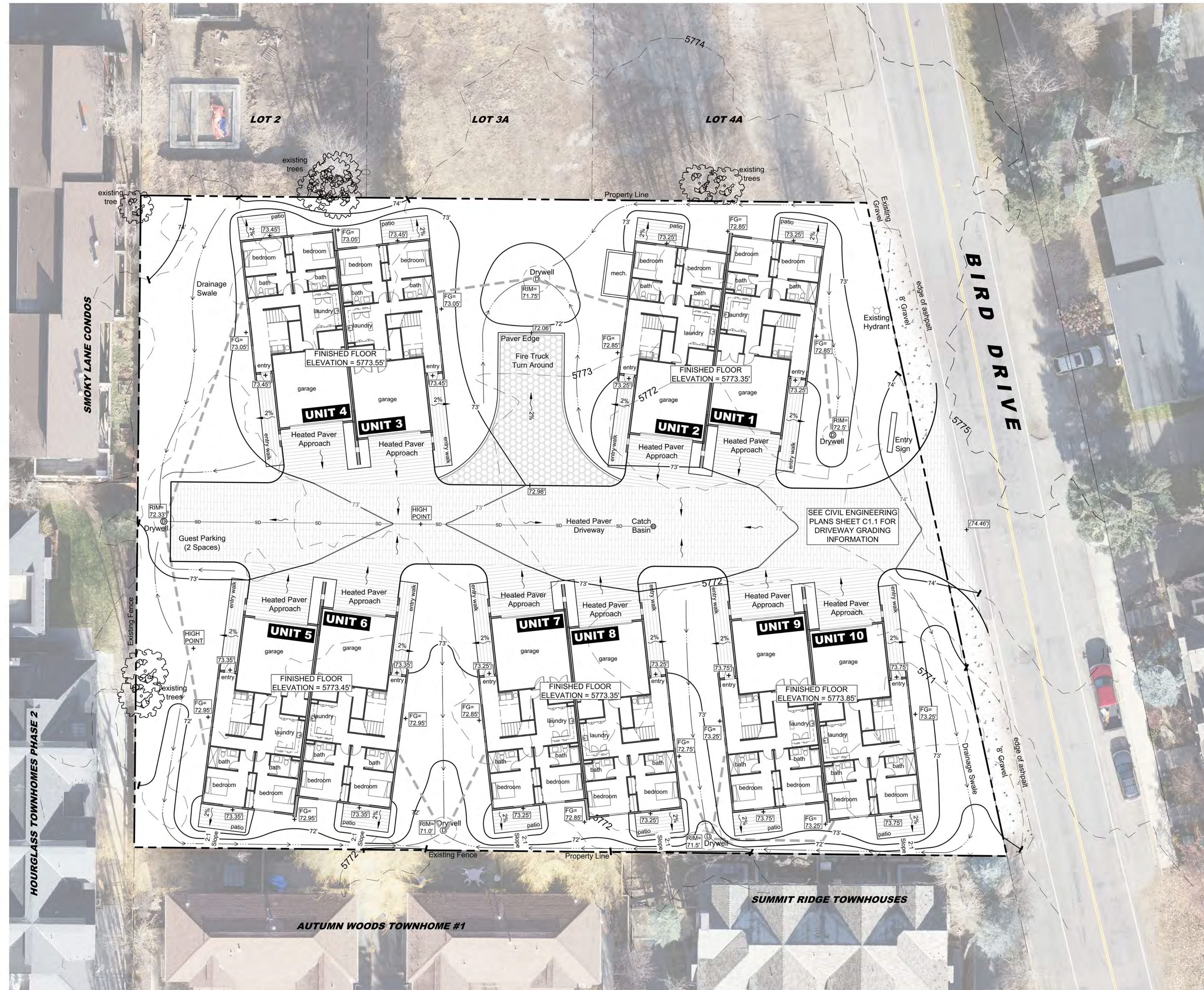
DRAWN BY
Nathan Schutte

REVISION
No. Date Remark
12/31/19 Design Review

DESIGN REVIEW SET

GRADING & DRAINAGE PLAN

L1



PLAN LEGEND

- Property Boundary**
(Per Survey)
- Adjacent Lot Line**
- Compacted Gravel**
(8' Wide x 6" Thick)
- Heated Paver Approach & Walkway**
(Colored Tones To Match Architecture)
- Heated Paver Driveway**
(Colored Tones To Match Architecture)
- Paver Edging**
- Reinforced Grass**
Fire Truck Turn Around
(Turf Cell)

GRADING LEGEND

- Existing 1' Contour**
(Per LIDAR 2015 Survey)
- Proposed 1' Contour**
- Proposed Driveway Contour**
(See Civil Plans For More Information)
- Proposed Drainage Swale**
- Proposed Engineered Drywell**
(See Civil Plans For More Information)
- Proposed Building Drainage**
(Connected To Drainage System)
- Proposed Drainage**
(Slope Percentage And Direction)
- Existing Spot Elevation**
- Proposed Spot Elevation**

GRADING ABBREVIATIONS

FFE	FINISHED FLOOR ELEVATION
GB	GRADE BREAK
FG	FINISHED GRADE

GRADING NOTES

1. Driveway grading & drainage by Galena Engineering, see civil plans for more information.
2. Landscape architect shall review grading on site prior to completion.
3. Topsoil shall be imported for all grass and planting bed areas at a depth of 6" min.
4. Best Management Erosion Control practices will be followed. An NOI and SWPPP plan will be submitted to the EPA and implemented on site during construction.



Scale: 1" = 16' - 0"
On 24 x 36 (Arch D) Sheet Size
Contour Interval: 1' Contours



LANDSCAPE LEGEND

- Property Boundary**
(Per Survey)
- Adjacent Lot Line**
- Existing 1' Contour**
- Proposed 1' Contour**
(See Grading Plan For More Information)
- Proposed Drywells**
(See Grading Plan For More Information)
- Steel Edging**
- Compacted Gravel**
(8' Wide x 6" Thick)
- Heated Paver Approach & Walkway**
(Colored Tones To Match Architecture)
- Heated Paver Driveway**
(Colored Tones To Match Architecture)
- Paver Edging**
- Reinforced Grass**
Fire Truck Turn Around
(Turf Cell)
- Snow Storage Areas**
(30% Provided)
- Existing Tree To Remain**
- Existing Tree To Be Removed**
- Existing Shrubs To Be Removed**

NOTE: NO SITE LIGHTING IS PROPOSED

PLANT LEGEND

symbol	quan	description	size	photo examples
	16	Evergreen Trees Sub Alpine Fir - <i>Abies lasiocarpa</i> Blackhills Spruce - <i>Picea glauca densata</i> Vanderwolf's Pine - <i>Pinus flexilis 'VP'</i>	10'-14'	
	18	Evergreen Screening Rocky Mountain Juniper - <i>Juniperus scopulorum</i> Blue Columnar Spruce - <i>Picea pungens 'Iseli Fastigiate'</i>	10'-14'	
	3	Deciduous Shade Trees Autumn Blaze Maple - <i>Acer x freemanii</i>	3" Cal.	
	18	Deciduous Trees Quaking Aspen - <i>Populus tremuloides</i>	2"-3" Cal.	
	150	Shrub Massing Peking Cotoneaster - <i>Cotoneaster ilicoides</i> Diablo Ninebark - <i>Physocarpus opulifolius 'Diablo'</i> Common Snowberry - <i>Symphoricarpos albus</i> American Cranberrybush - <i>Viburnum trilobum</i>	5 Gal.	
	234	Ornamental Grasses Reed Grass - <i>Calamagrostis x s. 'Karl Foerster'</i> Flame Grass - <i>Miscanthus sinensis</i> Blue Oat Grass - <i>Helictotrichon sempervirens</i>	5 Gal.	
	30	Native Perennials & Grasses Coneflower - <i>Echinacea</i> Black Eye Susan - <i>Rudbeckia hirta</i> Lavendar - <i>Lavandula</i> Salvia - <i>Salvia divinorum</i>	1 Gal.	
	4,800 sq ft	Maintained Grass Fescue Blend	Sod	
	5,300 sq ft	Low Maintenance Grass Scottish Links Blend	Hydroseed	



steel edging example



turf cell photo example



turf cell photo example

IRRIGATION NOTES

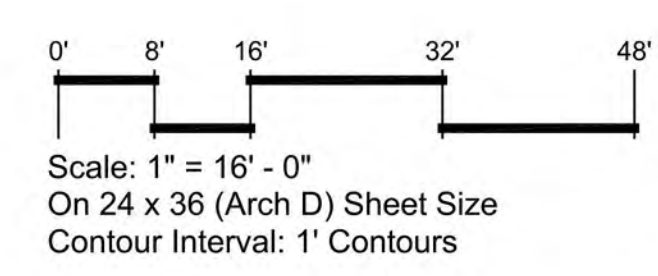
- Irrigation system shall be an automatically controlled underground system with low water use heads, a smart controller, and rain/freeze sensor for a water wise system.
- Drip irrigation shall be installed adjacent to buildings and around tree plantings in natural areas.
- Irrigation systems shall not be placed against pavement, or placed such that they spray water onto the pavement.
- Irrigation supply connected to the developments water system. The point of connection will include an approved backflow prevention device and water meter.

FIREWISE NOTES

- Plants to be carefully spaced, low-growing and free of resins, oils, and waxes that burn easily.
- Landscape adjacent to buildings shall be irrigated, mowed, and maintained regularly to eliminate ladder fuel configurations.
- Irrigation shall be used regularly to prevent landscape from dying and drying out.
- A mixture of deciduous and coniferous trees to be used.
- Create "fuel breaks", like driveways, gravel walkways and lawns.

LANDSCAPE NOTES

- All disturbed areas shall be revegetated and irrigated with an automatic underground irrigation system.
- Planting beds adjacent to buildings to have 3" of decorative rock.
- All other planting areas and tree rings to have 3" cover of bark or mulch.
- Aerial image from drone flight dated 11/18/2019.



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PROJECT
WEST KETCHUM RESIDENCES
150 BIRD DRIVE
Ketchum, Idaho

DOCUMENT DATE
December 31, 2019

DRAWN BY
Nathan Schutte

REVISION
No. Date Remark
12/31/19 Design Review

DESIGN REVIEW SET
LANDSCAPE PLAN



PLAN VIEW



0' 15' 30' 60' 90'
 Scale: 1" = 30' - 0"
 On 24 x 36 (Arch D) Sheet Size



PROJECT VISUALIZATION 1



EXISTING CONDITION 1



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PROJECT
WEST KETCHUM RESIDENCES
150 BIRD DRIVE
 Ketchum, Idaho

DOCUMENT DATE
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 Nathan Schutte

REVISION

No.	Date	Remark
1	12/31/19	Design Review

DESIGN REVIEW SET

SITE AERIAL VISUALIZATION



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CONSTRUCTION MANAGEMENT NOTES

1. Bird Drive Road will remain clear during construction for emergency access and response.
2. Material storage areas will be secured with fencing as needed.
3. Hours of activity and construction will meet the City of Ketchum ordinance.
4. Dust control with a water truck will be used as needed during the dry summer months.
5. Street sweeping of existing roadway will be used as needed. During excavation and heavy site work sweeping will be provided weekly.
6. The project will be an OSHA compliant job site with weekly job site safety meetings.
7. For extra safety and OSHA compliance, regular third party safety inspections will be performed.
8. Best Management Erosion Control practices will be followed. An NOI and SWPPP plan will be submitted to the EPA and implemented on site during construction.

NOTE: NO CONSTRUCTION FENCE IS PROPOSED

LEGEND

- Property Line
- Construction Entrance (20' Wide x 50' Long)
- Material Storage, Lay Down, & Staging
- Stockpiles
- Construction Parking
- Dumpster For Recycling & Trash
- Restrooms (Porta-poty)
- Erosion Control - Straw Wattle

PROJECT
WEST KETCHUM RESIDENCES
150 BIRD DRIVE
Ketchum, Idaho

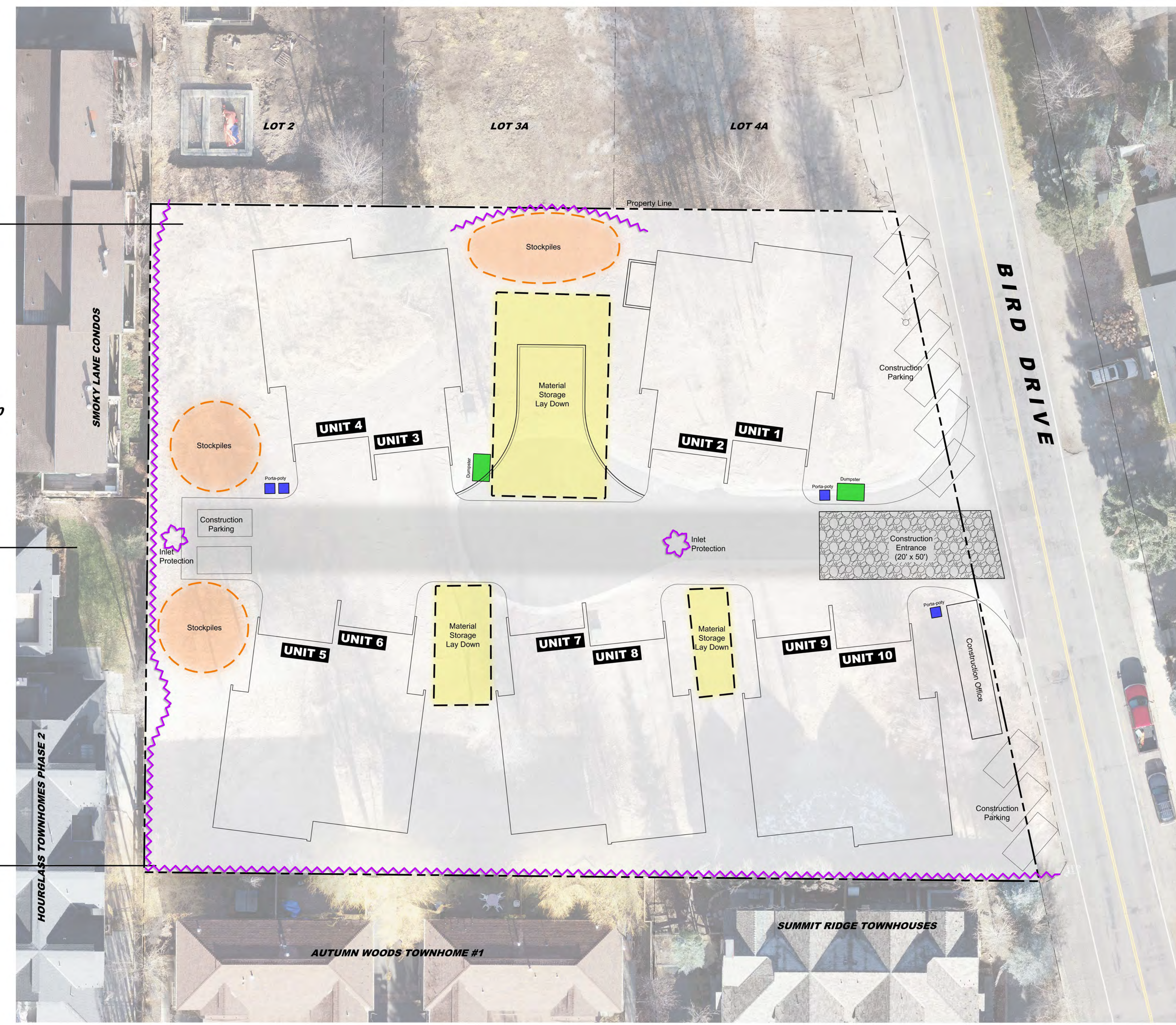
DOCUMENT DATE
December 31, 2019

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REVISION
No. Date Remark
12/31/19 Design Review

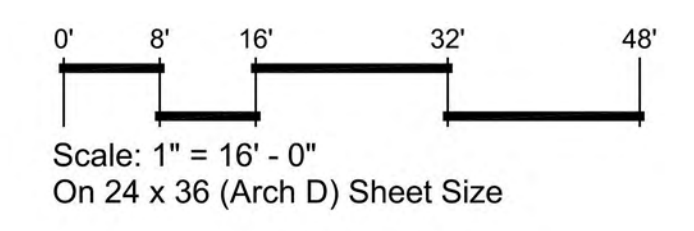
DESIGN REVIEW SET

CONSTRUCTION MANAGEMENT PLAN



PHASE 1
4 UNITS
START DATE
SPRING/SUMMER 2020

PHASE 2
6 UNITS
START DATE
FALL 2020





FOR
REFERENCE
ONLY

WEST KETCHUM RESIDENCES
150 BIRD DRIVE | KETCHUM | IDAHO
BLISSARCHITECTURE O | 126 SOUTH MAIN STREET | SUITE B1 | HAILEY IDAHO 83333
P | 208-721-7424 W | BLISSARCHITECTURE.COM

PROJECT NO. | 201914

DRAWN BY | EMB
CHECKED BY | EMB

CITY OF KETCHUM
DESIGN REVIEW
DATE | 12 31 2019

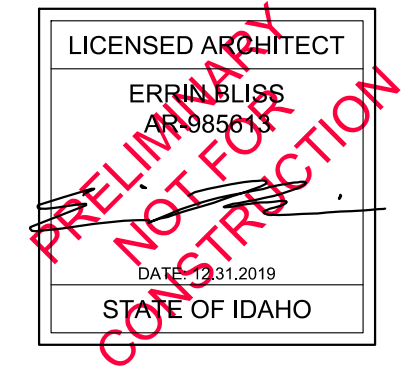
CONTEXT SITE
PLAN

AS101

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CONTEXT SITE PLAN
SCALE: 1" = 30'-0"



GENERAL NOTES

1. ALL ROOF MOUNTED MECHANICAL, PLUMBING, & ELECTRICAL EQUIP. TO BE SCREENED.
2. ALL GROUND MOUNTED MECHANICAL, PLUMBING, & ELECTRICAL EQUIP. TO BE SCREENED.
3. ALL SLOPED ROOFS SHEDDING SNOW AND RAIN ONTO PEDESTRIAN AND VEHICULAR CIRCULATION PATHWAYS BELOW TO BE PROVIDED WITH SNOW CLIPS, GUTTERS, & DOWNSPOUTS U.N.O.

LEGEND

- OFF-SITE GRAVEL PARKING - SEE CIVIL
- CONC. PAVERS - FIELD COLOR WITH SNOWMELT SYSTEM - SEE CIVIL & LANDSCAPE
- CONC. PAVERS - ACCENT COLOR WITH SNOWMELT SYSTEM (NO SNOWMELT AT PATIOS) - SEE CIVIL & LANDSCAPE
- 'TURF CELL' FIRE APPARATUS HAMMERHEAD - SEE LANDSCAPE

SITE DATA

SITE ADDRESS:
150 BIRD DRIVE
KETCHUM, IDAHO

LEGAL DESCRIPTION:
BAVARIAN VILLAGE SUBDIVISION LOTS 5A, 6A, 7A, & 8A

ZONING DISTRICT:
GENERAL RESIDENTIAL HIGH DENSITY: GR-H

LOT AREA:
LOT 5A: 10,480 S.F. (0.24 ACRES)
LOT 6A: 13,807 S.F. (0.32 ACRES)
LOT 7A: 10,176 S.F. (0.23 ACRES)
LOT 8A: 12,893 S.F. (0.30 ACRES)
TOTAL: 47,356 S.F.

BUILDING GROSS AREA:
EACH UNIT:
FIRST FLOOR: 1,563 S.F.
SECOND FLOOR: 1,438 S.F.
TOTAL: 3,001 S.F. x 10 UNITS = 30,010 S.F.

BUILDING NET AREA:
EACH UNIT:
FIRST FLOOR: 621 S.F.
SECOND FLOOR: 1,182 S.F.
TOTAL: 1,803 S.F. x 10 UNITS = 18,030 S.F.

FLOOR TO AREA RATIO:
ALLOWED: 0.5 ALLOWED/1.4 ALLOWED WITH IN LIEU FEE
PROVIDED: 30,010 S.F./47,356 S.F. = .63
NOTE: AN IN LIEU FEE WILL BE PROVIDED

MIN. OPEN SPACE:
REQUIRED: 35%
PROVIDED: 41%

MIN. FRONT SETBACK:
REQUIRED: 15'-0"
PROVIDED: 15'-0"

MIN. REAR SETBACK:
REQUIRED: 15'-0" OR 1'-0" PER 3'-0" IN BLDG. HEIGHT
PROVIDED: 31'-5" HEIGHT/3'-0" = 10'-6" - 15'-0" IS GREATEST

MIN. NORTH SIDE SETBACK:
REQUIRED: 5'-0" MIN. OR 1'-0" PER 3'-0" IN BLDG. HEIGHT
PROVIDED: 31'-5" HEIGHT/3'-0" = 10'-6" IS GREATEST

MIN. SOUTH SIDE SETBACK:
REQUIRED: 5'-0" MIN. OR 1'-0" FOR EVERY 3'-0" IN BLDG. HEIGHT
PROVIDED: 31'-5" HEIGHT/3'-0" = 10'-6" IS GREATEST

MAX. BUILDING HEIGHT:
ALLOWED: 35'-0" ABOVE LOWEST EXISTING GRADE
PROVIDED: 31'-5" - SEE BUILDING ELEVATIONS

ON-SITE PARKING:
REQUIRED: 2 SPACES FOR UNITS 2,001 S.F. AND ABOVE
PROVIDED: 2 GARAGE SPACES & 2 DRIVEWAY SPACES PER UNIT

TOTAL PARKING:
REQUIRED: 20 SPACES
PROVIDED: 2 GARAGE SPACES & 2 DRIVEWAY SPACES PER UNIT = 40 SPACES TOTAL

SNOW STORAGE:
SEE LANDSCAPE



SITE PLAN
SCALE: 1/16" = 1'-0"
1

WEST KETCHUM RESIDENCES
150 BIRD DRIVE | KETCHUM | IDAHO
BLISSARCHITECTURE | 126 SOUTH MAIN STREET | SUITE B1 | HAILEY IDAHO 83333
 P | 208-721-7424 W | BLISSARCHITECTURE.COM

PROJECT NO. | 201914

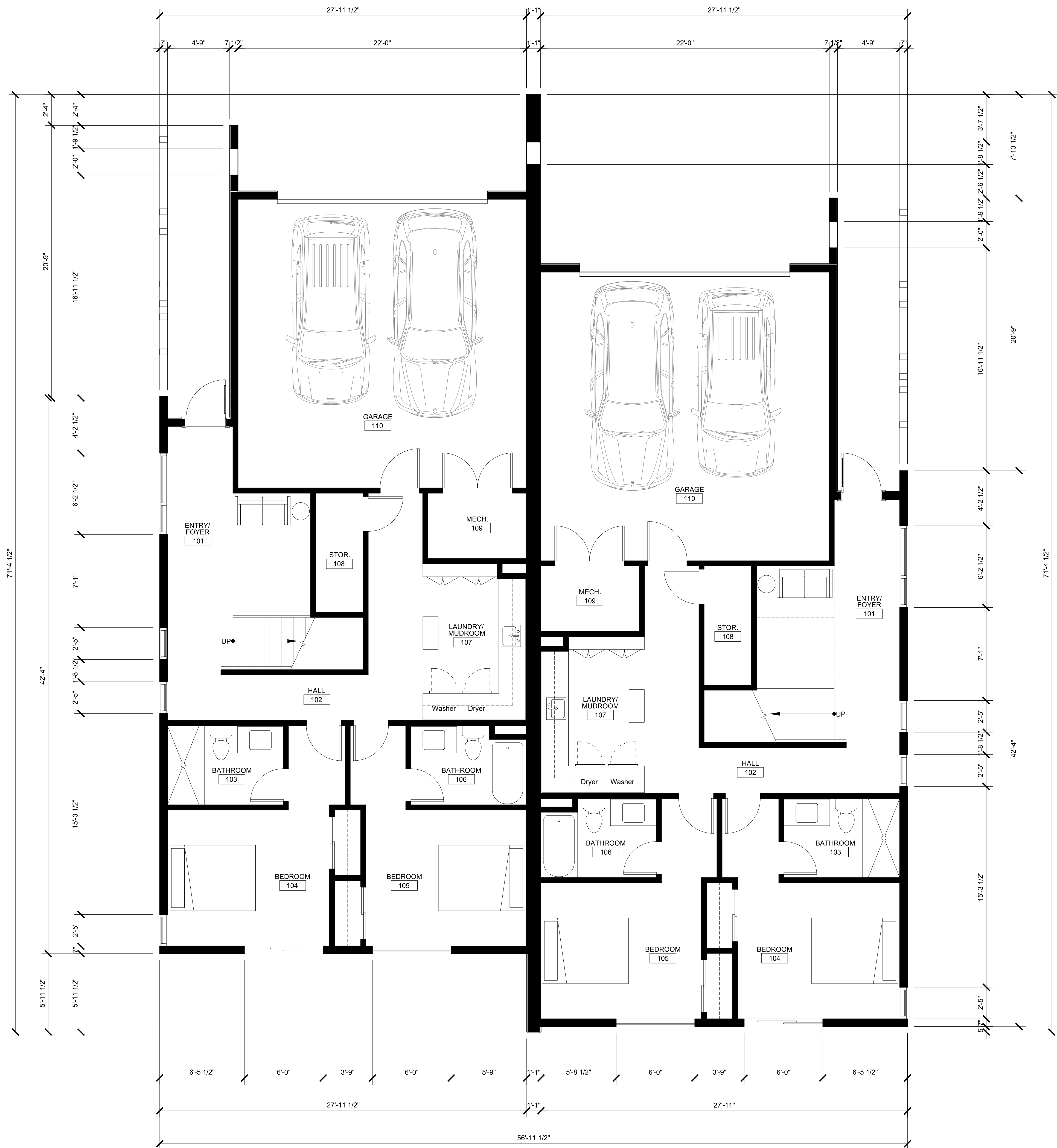
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CITY OF KETCHUM
DESIGN REVIEW
DATE | 12 31 2019

SITE PLAN

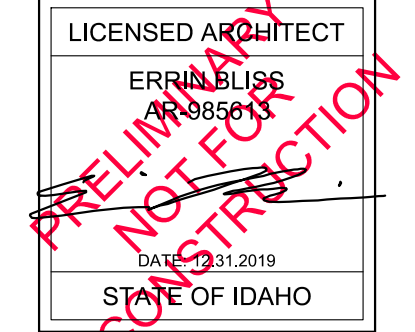
AS102

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GENERAL NOTES

1. ALL DIMENSIONS AT EXTERIOR WALLS ARE TO GRIDLINES, FACE OF STUD, AND/OR OUTSIDE FACE OF CONCRETE STEMWALL U.N.O.
2. ALL DIMENSIONS AT INTERIOR WALLS ARE TO FACE OF STUD U.N.O.
3. CONTRACTOR TO PROVIDE & INSTALL BLOCKING IN WALL FOR ALL CASEWORK, FIXTURES, ACCESSORIES, ETC. AS REQ'D.



FIRST FLOOR AREA CALCULATIONS

GROSS AREA: SEE SITE PLAN
 NET AREA: SEE SITE PLAN
 GARAGE AREA: 484 S.F.
 MECH. ROOM AREA: 40 S.F.
 LIVABLE AREA: 882 S.F.

WEST KETCHUM RESIDENCES
150 BIRD DRIVE | KETCHUM | IDAHO
BLISSARCHITECTURE | 126 SOUTH MAIN STREET | SUITE B1 | HAILEY IDAHO 83333
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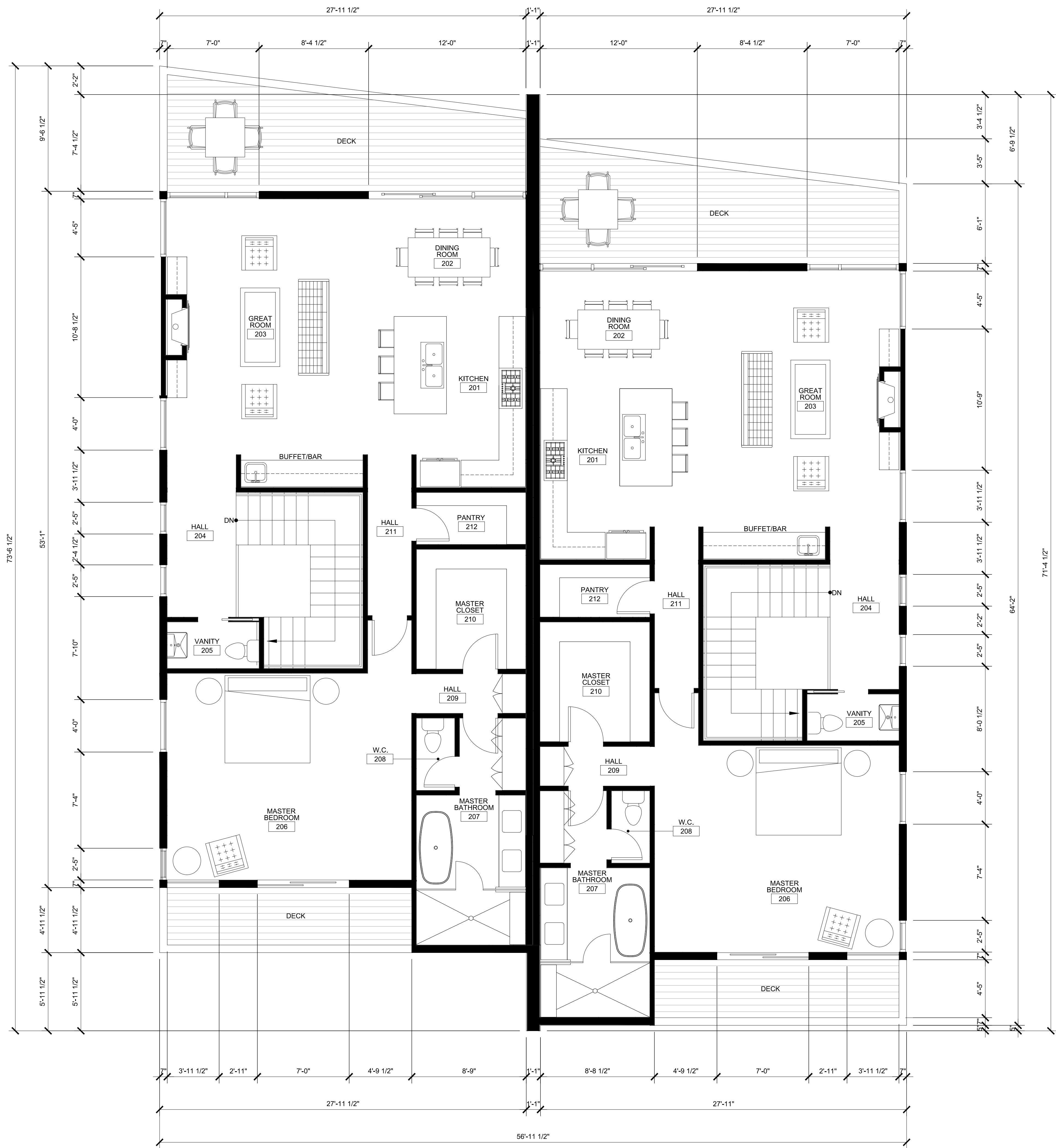
CITY OF KETCHUM
 DESIGN REVIEW
 DATE | 12 31 2019

TYPICAL FIRST
 FLOOR PLAN

A101

TYPICAL FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"

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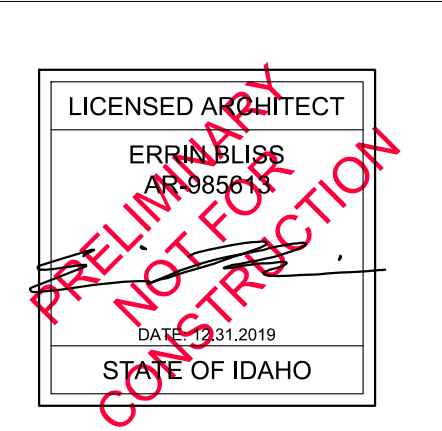


GENERAL NOTES

1. ALL DIMENSIONS AT EXTERIOR WALLS ARE TO GRIDLINES, FACE OF STUD, AND/OR OUTSIDE FACE OF CONCRETE STEMWALL U.N.O.
2. ALL DIMENSIONS AT INTERIOR WALLS ARE TO FACE OF STUD U.N.O.
3. CONTRACTOR TO PROVIDE & INSTALL BLOCKING IN WALL FOR ALL CASEWORK, FIXTURES, ACCESSORIES, ETC. AS REQ'D.

SECOND FLOOR AREA CALCULATIONS

GROSS AREA: SEE SITE PLAN
 NET AREA: SEE SITE PLAN
 LIVABLE AREA: 1,290 S.F.
 TOTAL LIVABLE: 2,172 S.F.



WEST KETCHUM RESIDENCES
150 BIRD DRIVE | KETCHUM | IDAHO

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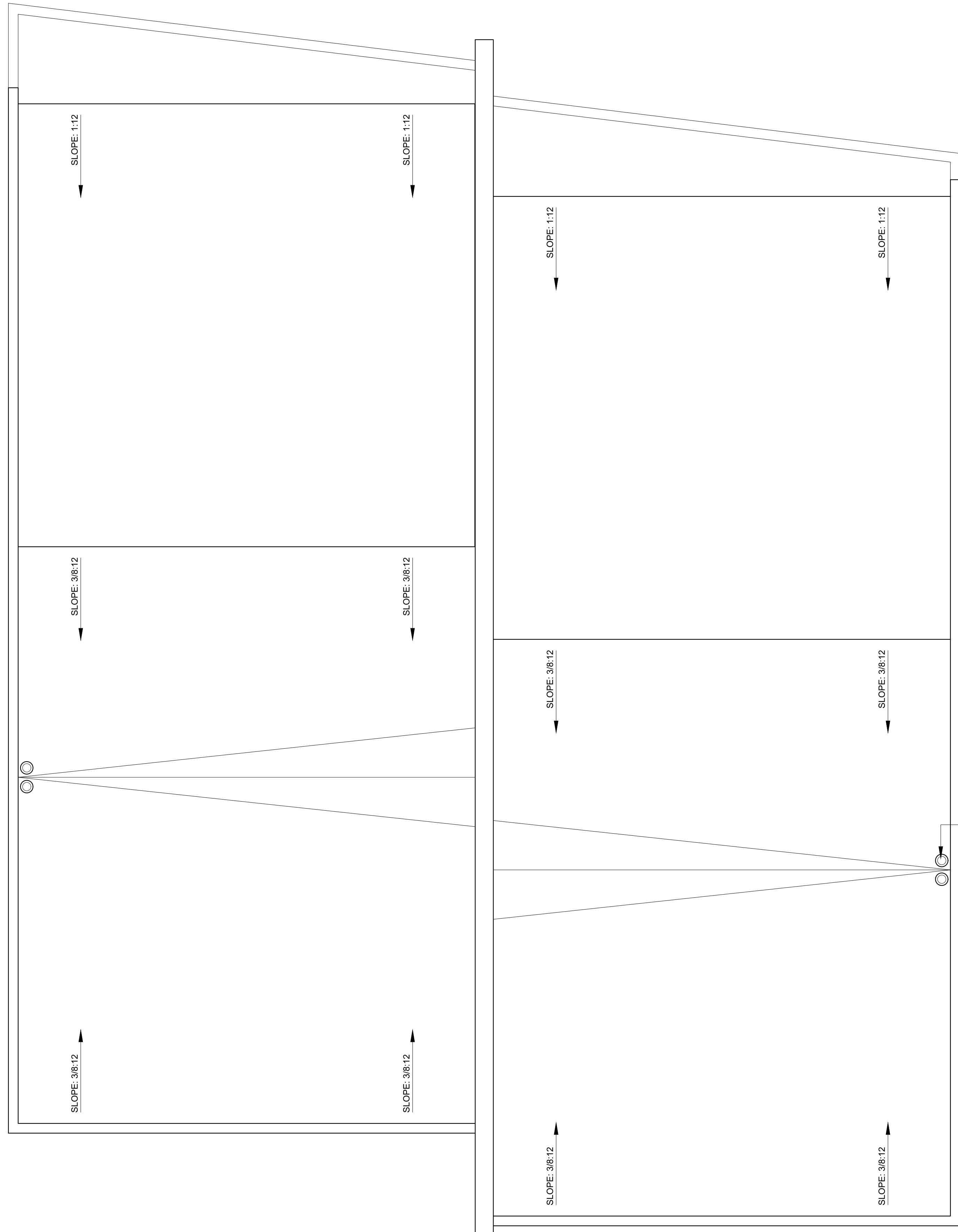
CITY OF KETCHUM
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TYPICAL SECOND
 FLOOR PLAN

A102

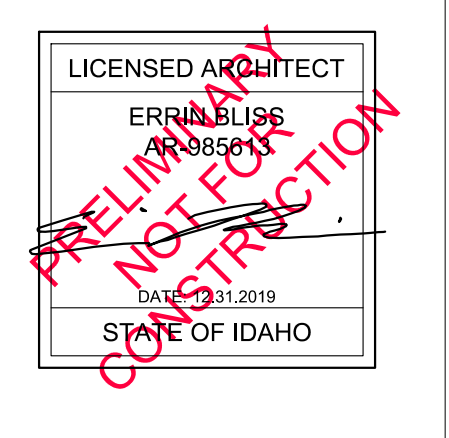
TYPICAL SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"

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GENERAL NOTES

1. ALL ROOF MOUNTED MECHANICAL, PLUMBING, & ELECTRICAL EQUIP. TO BE SCREENED.
2. ALL GROUND MOUNTED MECHANICAL, PLUMBING, & ELECTRICAL EQUIP. TO BE SCREENED.
3. ALL SLOPED ROOFS SHEDDING SNOW AND RAIN ONTO PEDESTRIAN AND VEHICULAR CIRCULATION PATHWAYS BELOW TO BE PROVIDED WITH SNOW CLIPS, GUTTERS, & DOWNSPOUTS U.N.O.
4. ALL ROOF DRAIN LEADERS TO TIE INTO DRYWELLS BELOW GRADE - SEE CIVIL.



**WEST KETCHUM RESIDENCES
 150 BIRD DRIVE | KETCHUM | IDAHO**

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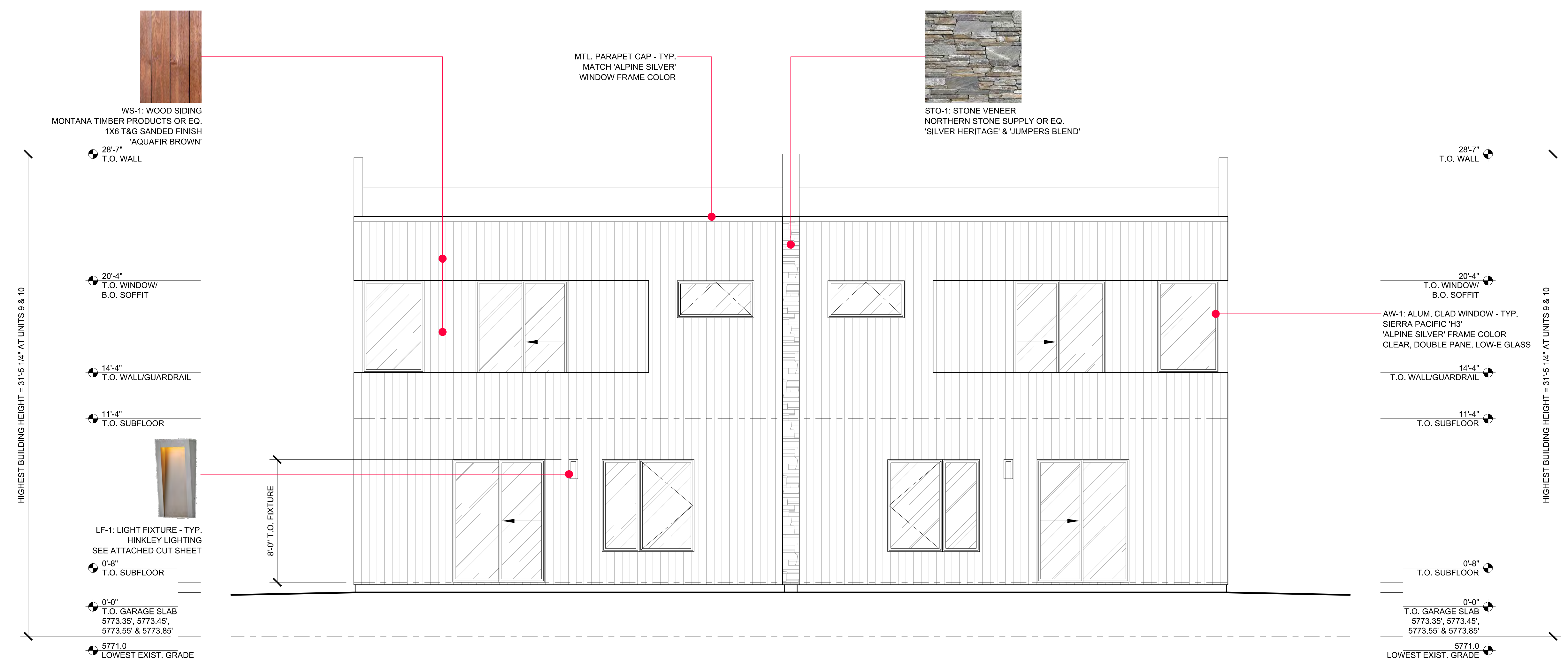
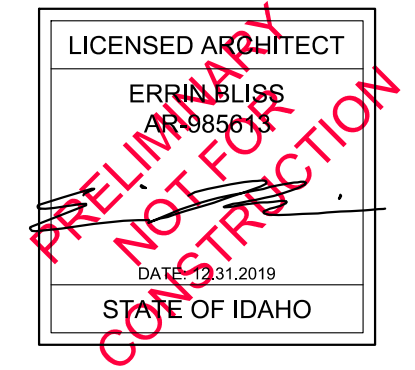
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TYPICAL ROOF PLAN

A121

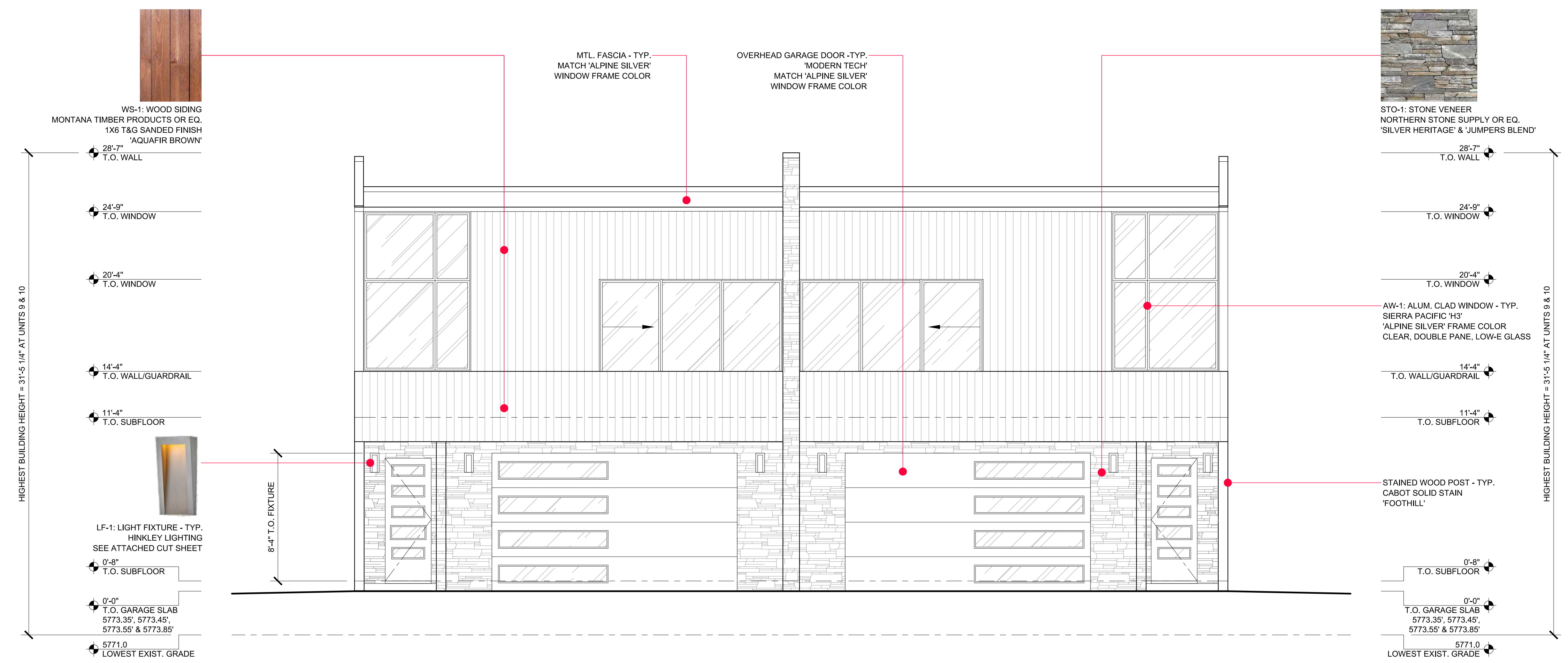
TYPICAL ROOF PLAN
 SCALE: 1/4" = 1'-0"

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TYPICAL BACK ELEVATION
SCALE: 1/4" = 1'-0"

2



TYPICAL FRONT ELEVATION
SCALE: 1/4" = 1'-0"

1

WEST KETCHUM RESIDENCES
150 BIRD DRIVE | KETCHUM | IDAHO
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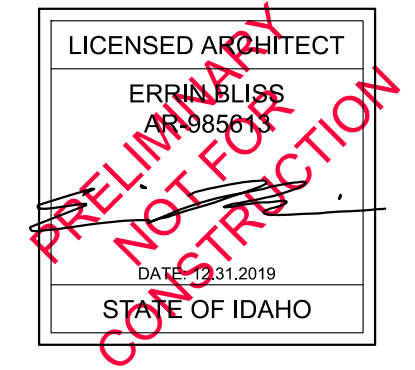
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CITY OF KETCHUM
DESIGN REVIEW
DATE | 12 31 2019

TYPICAL BUILDING
ELEVATIONS

A201

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WEST KETCHUM RESIDENCES
150 BIRD DRIVE | KETCHUM | IDAHO
BLISSARCHITECTURE

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CITY OF KETCHUM
DESIGN REVIEW
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TYPICAL BUILDING
ELEVATIONS

A202

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24'-6" T.O. PARAPET

20'-4" T.O. WINDOW/ B.O. SOFFIT

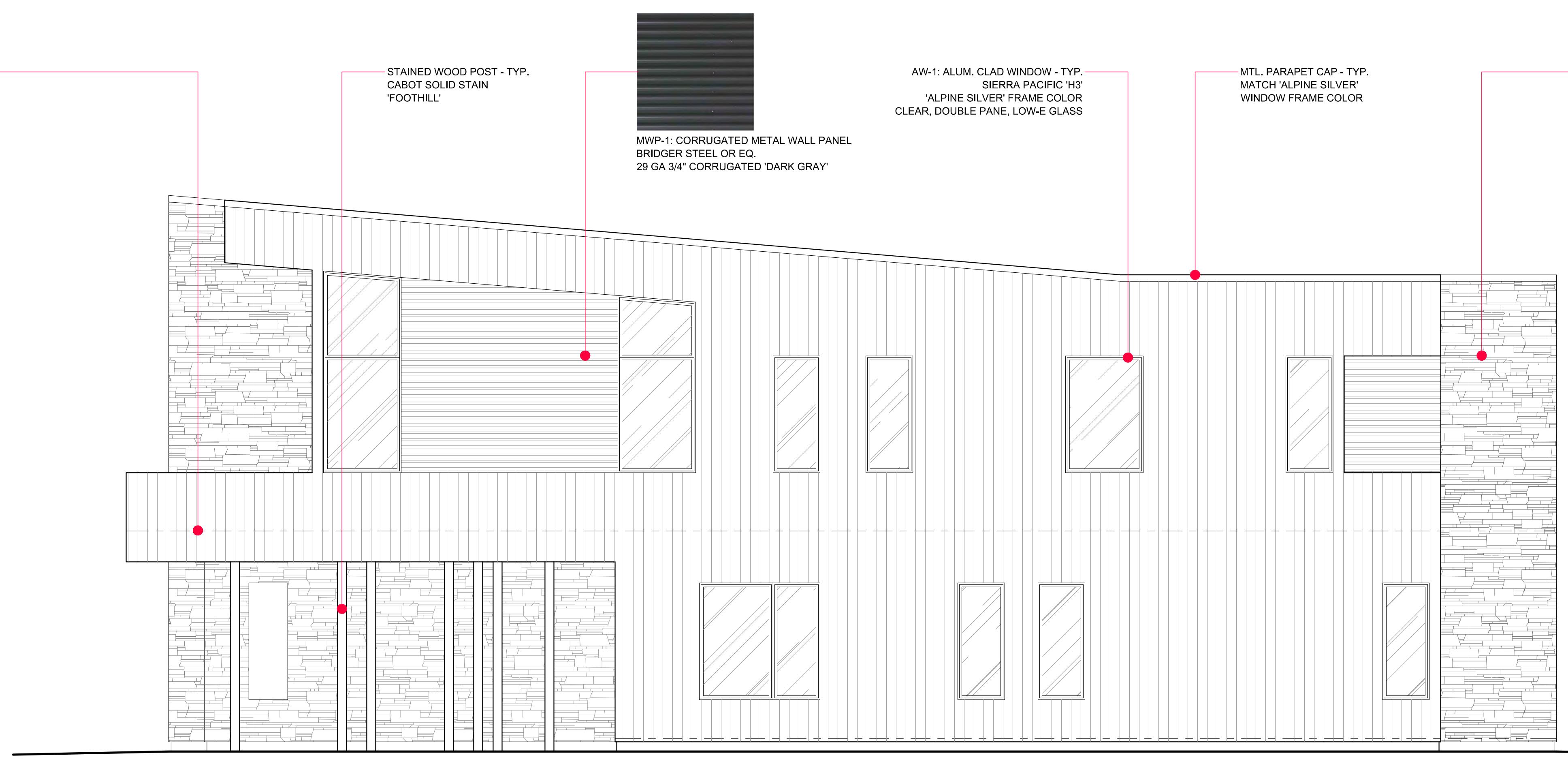
14'-4" T.O. WALL/GUARDRAIL

11'-4" T.O. SUBFLOOR

0'-8" T.O. SUBFLOOR

0'-0" T.O. GARAGE SLAB 5773.35', 5773.45', 5773.55' & 5773.85'

5771.0 LOWEST EXIST. GRADE



TYPICAL SIDE ELEVATION
SCALE: 1/4" = 1'-0"

2



28'-7" T.O. WALL

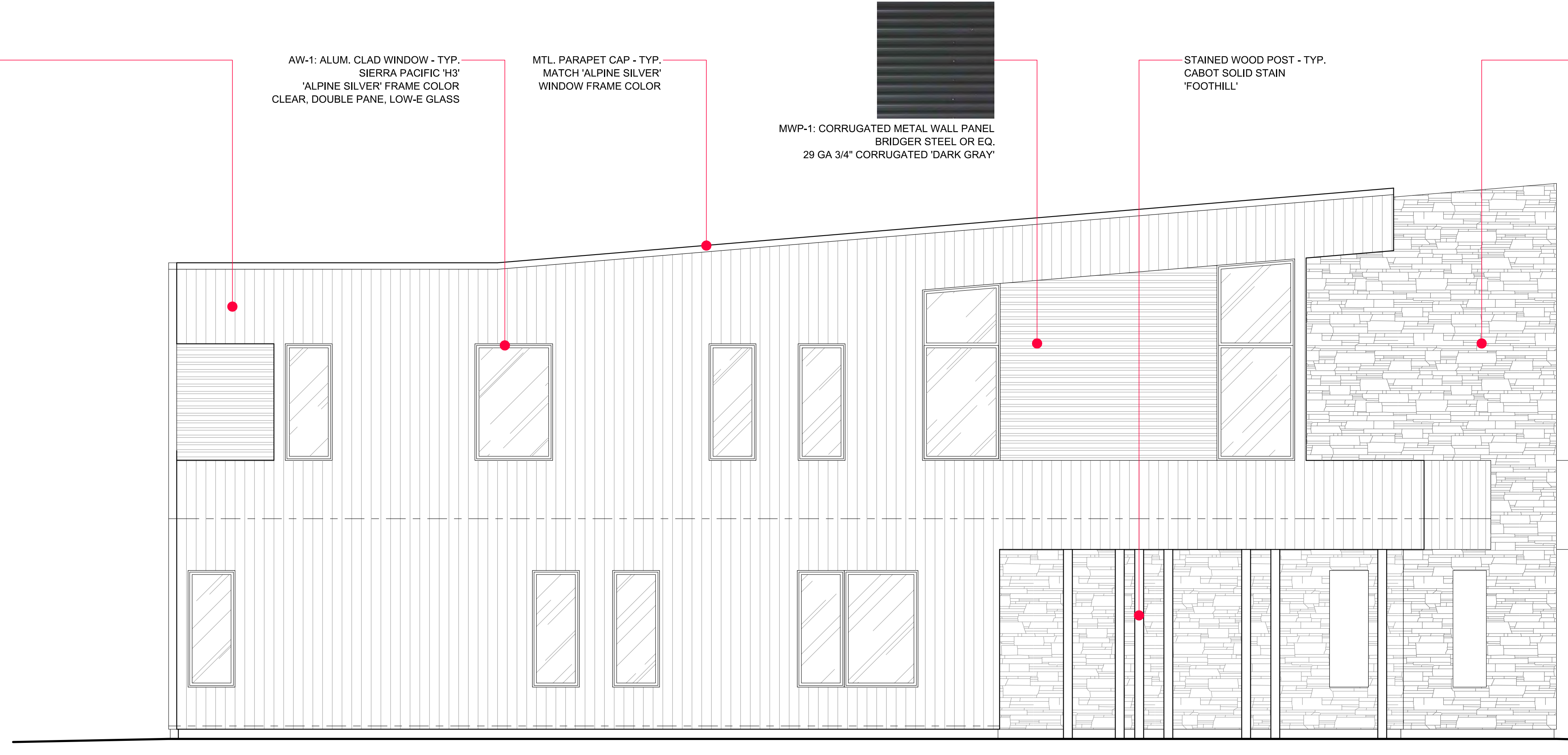
14'-4" T.O. WALL/GUARDRAIL

11'-4" T.O. SUBFLOOR

0'-8" T.O. SUBFLOOR

0'-0" T.O. GARAGE SLAB 5773.35', 5773.45', 5773.55' & 5773.85'

5771.0 LOWEST EXIST. GRADE



TYPICAL SIDE ELEVATION
SCALE: 1/4" = 1'-0"

1



28'-7" T.O. WALL

14'-4" T.O. WALL/GUARDRAIL

11'-4" T.O. SUBFLOOR

0'-8" T.O. SUBFLOOR

0'-0" T.O. GARAGE SLAB 5773.35', 5773.45', 5773.55' & 5773.85'

5771.0 LOWEST EXIST. GRADE



24'-6" T.O. PARAPET

20'-4" T.O. WINDOW/ B.O. SOFFIT

14'-4" T.O. WALL/GUARDRAIL

11'-4" T.O. SUBFLOOR

0'-8" T.O. SUBFLOOR

0'-0" T.O. GARAGE SLAB 5773.35', 5773.45', 5773.55' & 5773.85'

5771.0 LOWEST EXIST. GRADE

HIGHEST BUILDING HEIGHT = 31'-5 1/4" AT UNITS 9 & 10

27'-4 1/4"

HIGHEST BUILDING HEIGHT = 31'-5 1/4" AT UNITS 9 & 10



PERSPECTIVE VIEW
SCALE: N.T.S.

3



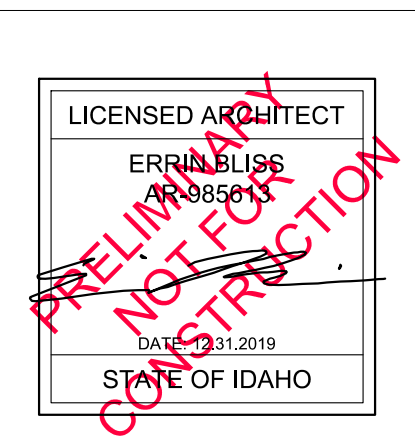
PERSPECTIVE VIEW
SCALE: N.T.S.

2



VIEW FROM BIRD DRIVE
SCALE: N.T.S.

1



WEST KETCHUM RESIDENCES
150 BIRD DRIVE | KETCHUM | IDAHO
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BUILDING
RENDERINGS

A203

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**LF-1: LIGHT
FIXTURE**

TAPER

2144TG

MEDIUM WALL MOUNT LANTERN

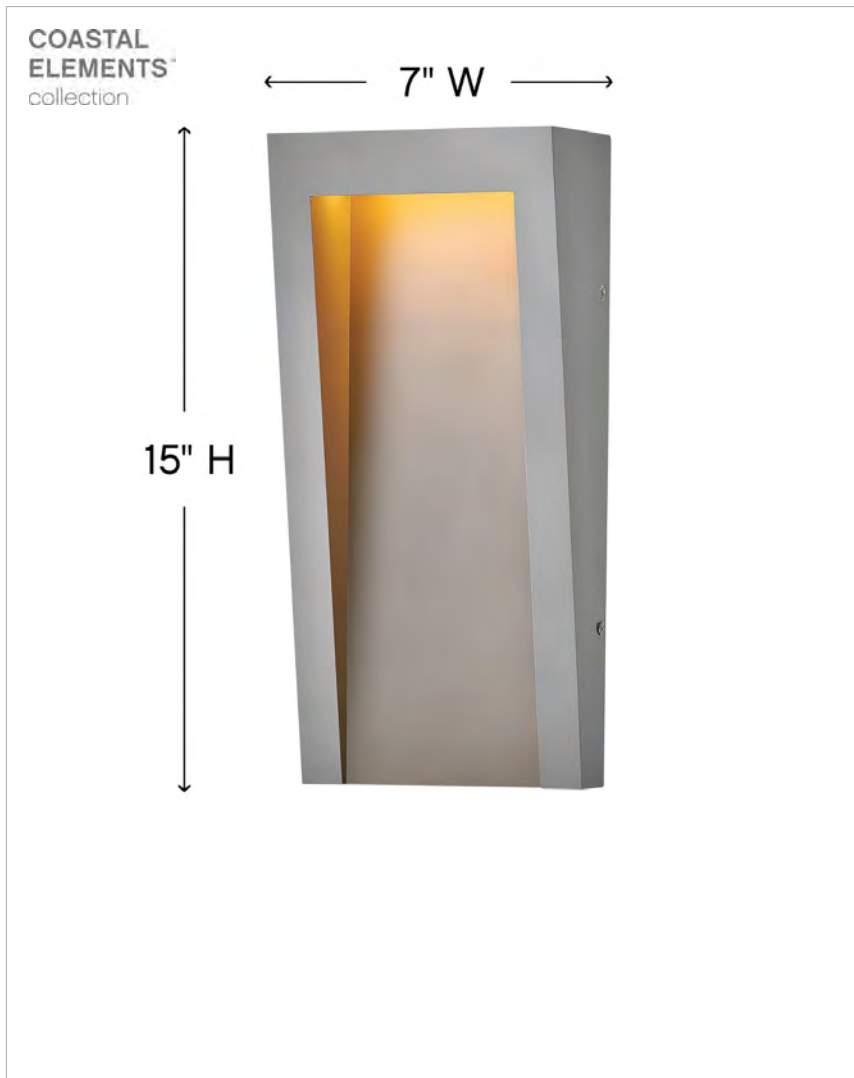
Sleek and sophisticated, Taper is built to last with a timeless, minimalist style that radiates contemporary cool. Its recessed integrated LED engine is directed downward with gradient illumination that grazes the gently tapered design. Part of the Coastal Elements collection, it is engineered with composite materials for maximum durability in modern Textured Black, Textured Graphite and Textured Oiled Rubbed Bronze finish options.

DETAILS	
FINISH:	Textured Graphite
MATERIAL:	Composite
GLASS:	Etched

DIMENSIONS	
WIDTH:	7"
HEIGHT:	15"
WEIGHT:	3.5 lbs.
BACK PLATE:	7"W X 15"H
EXTENSION:	3.5"
TOP TO OUTLET:	7.5"

LIGHT SOURCE	
LIGHT SOURCE:	Integrated LED
LED NAME:	L214X-6 & (6) 3030LED
WATTAGE:	8w LED *Included
VOLTAGE:	120v
COLOR TEMP:	3000.0000k
LUMENS:	600
CRI:	90
INCANDESCENT EQUIVALENCY:	60W
DIMMABLE:	Yes, on any

SHIPPING	
CARTON LENGTH:	9.8"
CARTON WIDTH:	6.2"
CARTON HEIGHT:	17.9"
CARTON WEIGHT:	4.6 lbs.



PRODUCT DETAILS:

- Mounting hardware is hidden on the backplate to ensure a clean silhouette.
- Suitable for use in wet (interior direct splash and outdoor direct rain or sprinkler) locations as defined by NEC and CEC. Meets United States UL Underwriters Laboratories & CSA Canadian Standards Association Product Safety Standards
- Meets California Energy Commission 2016 Title regulations
- Fixture is Dark Sky compliant and engineered to minimize light glare upward into the night sky.
- LED components carry a 5-year limited warranty
- 5 year finish warranty
- The Coastal Elements Collection offers versatile designs, constructed of composite materials and coated with anti-fading finishes, for maximum durability in harsh climates.
- Rich gray tone