



**City of Ketchum
Planning & Building**

**STAFF REPORT
KETCHUM PLANNING AND ZONING COMMISSION
MEETING OF JULY 27, 2021**

PROJECT: Crossbuck McNee Townhomes

FILE NUMBERS: P21-025 & P21-026

APPLICATION: Design Review and Townhouse Subdivision Preliminary Plat

REPRESENTATIVE: Chad Blincoe, Architect

OWNER: MMDM11 LLC

LOCATION: Southwest Corner of 2nd Avenue & W 7th Street (Ketchum Townsite: Amended Block 67: Lot 1A)

ZONING: General Residential Low Density (GR-L)

OVERLAY: None

NOTICE: A public hearing notice for the project was mailed to all owners of property within 300 feet of the project site and all political subdivision on July 7th, 2021. The public hearing notice was published in the Idaho Mountain Express the on July 7th, 2021. A notice was posted on the project site and the city's website on July 20th, 2021.

CROSSBUCK DEVELOPMENT BACKGROUND

This project is part of the Crossbuck Townhomes development on Block 67 of Ketchum Townsite. The property is located between 7th Street to the north, 6th Street to the south, 2nd Avenue to the east, and the partially improved alleyway to the west. In 2018, the four lots within Block 67 were reconfigured (Lot Line Shift Application File No.) to accommodate the Crossbuck Townhome development. The City and the developers at that time, Bill Sundali and Shane and Sharon Mace, entered into Construction Phasing Agreement #20233 (Instrument #657569) for the installation of water, sewer, and right-of-way improvements as well as the designation of maintenance responsibilities. Water and sewer improvements were installed during the summer of 2018. The alleyway drainage and paving and 6th Street right-of-way (ROW) improvements, including a 5-foot concrete sidewalk, were installed with the construction of the first four detached townhome units on Lots 3 and 4.

The 7th Street ROW improvements were shown as part of the project plans. Two driveway accesses were shown along 7th Street—one to access Lot 1A and one to access Lot 2A. These lots were contemplated to be developed with single-family residences as a future phase of the Crossbuck development. The Construction Phasing Agreement did not specify a completion date for the 7th Street

ROW improvements. During their review of the Construction Phasing Agreement, the City Council discussed concerns regarding curb cuts for driveway access along the bike path. The Council approved one curb cut for a shared driveway over the bike path because an existing deed restriction precluded any curb cuts along 6th Street. The remaining lots and sublots within the development were required to be accessed from 7th Street or the alley.

The current owners of Lot 1A and 2A have each submitted Design Review and Townhouse Subdivision Preliminary Plat applications for the construction of two detached townhome units on remaining Lots 1A and 2A. The two proposed townhome developments comply with the improvement plan approved with the Construction Phasing Agreement. Additionally, a multi-family development containing a maximum of two dwelling units is a permitted use in the GR-L Zone (Ketchum Municipal Code §17.12.020). The building form, architectural design features, and exterior materials proposed with these new units match the existing townhomes within the Crossbuck development. The existing Crossbuck townhome units on Lot 3A and 4A have a building coverage of 35% and a maximum building height of 30 feet.

CROSSBUCK MCNEE TOWNHOMES

The Crossbuck McNee Townhomes project is comprised of concurrent Design Review and Townhouse Subdivision Preliminary Plat applications for the development of two new detached townhome units and associated site improvements on an undeveloped property located at the southwest corner of 2nd Avenue and W 7th Street (Ketchum Townsite: Amended Block 67: Lot 1A). The townhome units will share a private driveway accessed from 7th Street. The townhome development's total proposed building coverage is 35%. Lot 1A within Block 67 of Ketchum Townsite will be subdivided into two townhouse sublots. The Crossbuck McNee Townhomes project requires both Design Review for the development of multi-family residential dwellings (Ketchum Municipal Code §17.96.010.A3) and a Townhouse Subdivision Preliminary Plat to create the townhouse sublots (Ketchum Municipal Code §16.04.080). The project plans for the new townhome development are attached as Exhibit A to the Staff Report.

ANALYSIS

Comprehensive Staff analysis is provided in Tables 1 through 4 including: (1) City Department comments, (2) adherence zoning and dimensional standards, (3) evaluation of Design Review criteria, (4) townhouse subdivision requirements, and (5) subdivision design and development standards.

The following analysis highlights certain Design Review standards for the Planning & Zoning Commission's consideration.

Architectural Design Review Standards

Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness (Ketchum Municipal Code §17.96.060.F5).

The townhome units are boxy and bulky buildings. Unlike the existing Crossbuck units and the townhome units proposed on adjacent Lot 2A, the McNee units have maximum building heights of 35 feet and 38 feet in height. As shown on Sheet A-7A of the project plans, townhome unit A takes advantage of the additional 5 feet of building height provided for in Ketchum Municipal Code §17.08.020 due to the topography of the site. The maximum height of townhome unit A from lowest grade to highest point of the roof is 38 feet. The mass of the building's rectangular volumes is overbearing. The design utilizes

subtractive massing to create the covered entryway at the front door. This recession emphasizes the buildings' mass at the street-facing façade

The material differentiation and an upper-level setback created by the second-floor deck do not provide sufficient visual relief from the building mass. The lack of articulation and variation produces areas of uninterrupted, blank walls. The unbroken façades reinforce the bulk and mass of the townhome units.

The building character shall be clearly defined by use of architectural features (Ketchum Municipal Code §17.96.060.F2).

The proposed architectural features include exterior material differentiation, fenestration, steel canopy elements, and wire mesh trellises. The exterior materials and architectural features will match the existing Crossbuck townhomes. Despite this consistency, these features are not as successful at defining the character of the McNee townhome units. The composition, proportion, and rhythm of the townhomes' materials do not provoke as much visual interest as the existing Crossbuck townhome units. For example, the existing Crossbuck townhomes incorporates more large rectangular windows. The arrangement of these windows establishes a rhythm that animates the street-facing facades. The fenestration proposed with the McNee townhomes does not provide enough visual relief to mitigate the appearance of blank walls at the street-side facades. The existing Crossbuck units utilize the placement of stone veneer more effectively. For example, the existing Crossbuck units' entire chimney is clad in stone veneer. This creates a prominent column that vertically integrates each floor and grounds the townhomes to the project site. The use of stone veneer proposed with the McNee townhomes is limited to one- and two-story elements. More exterior material differentiation and fenestration is needed to provide visual interest.

STAFF RECOMMENDATION

After considering the project plans attached as Exhibit A, the applicant's presentation, staff's analysis, and any public comment received, Staff recommends the Commission provide feedback to the applicant and move to continue review of the Design Review application to a date certain.

Table 1: City Department Comments

City Department comments are based on the project concept as proposed with the Design Review project plans. All City Departments shall review and approve the project through the Building Permit application process. All comments pertaining to the Design Review drawings are subject to change. All right-of-way improvements must be reviewed and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project.

City Department Comments
<i>All City Department requirements and associated specifications for the required improvements must be verified, reviewed, and approved prior to issuance of a Building Permit for the project.</i>
<p>Fire Department:</p> <ul style="list-style-type: none"> • It is the General Contractor's responsibility to understand and adhere to all Fire Protection Ordinance #1217 requirements in addition to any and all other City of Ketchum requirements in effect at the time of Building Permit issuance. Failure to comply with all local ordinances and codes may result in project work stoppage as well as criminal penalties. • The above project shall meet all 2018 International Fire Code requirements in addition to specific City Building and Fire Ordinances.

- In lieu of a 20-foot-wide fire apparatus access road, the building located on the interior southwest corner of the project shall be provided with a minimum 14-foot-wide driveway and shall have an approved automatic fire sprinkler system installed throughout the building per City of Ketchum Ordinance No. 1217 and the National Protection Association Standard 13. An approved fire sprinkler flow bell, Knox box, and Fire Department connection shall be installed in an approved location visible to approaching firefighters. Water service lines to structures shall be hydraulically calculated for size to meet fire sprinkler flow requirements. Fire sprinkler systems shall be annually tested and maintained per NFPA 25. An approved Fire Department connection and flow bell shall be installed in a location approved by the Fire Department and the system shall be supervised by an approved alarm system.

Note: One electronic set of fire sprinkler system plans must be submitted to the Ketchum Fire Department as well as the State Fire Marshal's Office and a Ketchum Fire Department Permit must be obtained prior to installation of fire sprinkler systems. Inspections of fire sprinkler systems by the Fire Chief or an appointee are required. Inspections must be scheduled at least 48 hours in advance.

- An approved monitored fire sprinkler alarm system shall be installed per City of Ketchum Ordinance No. 1217 and the requirements of NFPA 72. Two sets of alarm system plans shall be submitted to the Ketchum Fire Department for approval and a permit is required prior to installation of alarm systems. Inspections of fire detection systems by the Fire Chief or an appointee are required and shall be scheduled at least 48 hours in advance.
- An approved key box shall be installed on each townhome unit, with the appropriate keys, for emergency access in a location approved by the Fire Department. The key box shall be a Knox Box brand and sized to accommodate keys to every door of the townhome unit.
- Smoke and carbon monoxide detectors shall be installed per NFPA and the 2018 International Fire Code. Smoke detectors shall be installed inside each bedroom, within 21 feet of each sleeping area, and on every level of occupancy, including the basement. Carbon monoxide alarms shall be installed in a central location outside each sleeping area and on every level of the townhome unit.
- Approved address numbers shall be placed in such a position to be plainly visible and legible from the road fronting the property. Numbers and letters shall be a minimum of four (4) inches tall, contrast with their background and be positioned a minimum of forty-eight (48) inches above final grade.
- An approved access roadway per 2018 International Fire Code Appendix D shall be installed prior to any combustible construction on the site. The road shall be a minimum of twenty (20) feet in width and capable of supporting an imposed load of at least 75,000 pounds. The road must be an all-weather driving surface maintained free, clear, and unobstructed at all times. Grades shall not exceed 7%. Dead end access roadways exceeding 150 feet in length shall be provided with an approved turnaround. Gates, if installed, are required to be siren activated for emergency vehicle access. Where the vertical distance between the grade plane and the highest roof surface exceeds 30 feet, an approved aerial fire apparatus access road shall be provided. Aerial fire apparatus access roads shall have a minimum unobstructed width of 26 feet, exclusive of shoulders, in the immediate vicinity of the building or portion thereof.
- Vehicle parking and material storage during construction shall not restrict or obstruct public streets or access to any building. A minimum twenty-foot travel lane for emergency vehicle access shall be maintained clear and unobstructed at all times. All required Fire Lanes, including within 15 feet of fire hydrants, shall be maintained clear and unobstructed at all times.
- Fire extinguishers shall be installed and maintained per 2018 IFC Section 906 both during construction and upon occupancy of the building. During construction fire extinguishers shall be

placed in a conspicuous, easy to access, unobstructed location that is less than 75 feet travel distance to any combustibles on site, 30 feet to any hot work. Upon completion of project, every townhome unit shall have a minimum of one extinguisher per garage and one extinguisher per kitchen area. Extinguishers shall be mounted in a conspicuous, easy to access, unobstructed location. During construction, three 5-pound Class A fire extinguishers shall be required in each townhome unit.

- Spark arresters are required on all solid fuel burning appliance chimneys to reduce potential fires from burning embers. A minimum 10-feet of separation from all chimneys to combustible vegetation and tree crowns shall be maintained at all times.
- This project shall comply with the City of Ketchum Fire Protection Ordinance No. 1217 and defensible space characteristics. All exterior windows shall be glazed, and all exterior doors shall be solid core construction, both shall have a fire rating of not less than 20 minutes. All exterior vents shall be designed and approved to prevent flame or ember penetration and all exterior mesh shall have openings that do not exceed 1/8". Gutters and downspouts shall be non-combustible and shall be provided with an approved means to prevent the accumulation of leaves and debris. All materials within 12 inches vertical of finished grade shall be 1-hour rated, non-combustible, or covered with minimum 28-gauge flashing. The area 12-inches horizontal from the base of a wall shall be finished in a way to prevent any vegetation growing, and for vegetative debris to be easily removed. Tree crowns extending to within 10 feet of any structure shall be pruned to maintain a minimum horizontal clearance of 10 feet. Tree crowns within 30 feet of any structure shall be pruned to remove limbs located less than 6 feet above the ground surface adjacent to the trees. Non-fire-resistant vegetation or growth shall be kept clear of buildings and structures, in such a manner as to provide a clear area for fire suppression operations.
- An 8 ½ by 11 color coded site map of this project shall be provided on paper and electronically to the Fire Department. This site map shall show the locations of gas shut-offs, power shut-offs, fire sprinkler riser rooms, fire department connections, alarm panels, Knox boxes, access doors, egress windows, stairways and any additional fire department requirements. Exact details for color coded "On-Sites" can be found at www.ketchumfire.org.
- Final inspections of all Fire Department permit required installations by the Fire Chief or an appointee are required and shall be scheduled at least 48 hours in advance. A Final Inspection Checklist can be found at www.ketchumfire.org.
- Fire Department requirements and associated specifications for the required improvements must be verified, reviewed, and approved prior to issuance of a Building Permit for the project.

City Engineer & Streets Department:

- All drainage shall be retained on site (KMC §17.96.060.C.1). Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street (KMC §17.96.060C).
- All construction for the project must comply with the standards set forth in Ketchum Municipal Code, Chapter 15.06 Construction Activity Standards. The applicant shall submit a Construction Activity Plan addressing all applicable activities (KMC §15.06.030), including how materials will be off-loaded at the site, plan for coordinating with neighbors on temporary closures, temporary traffic control, and construction fencing with appropriate screening, to be reviewed and approved prior to issuance of a Building Permit for the project. Pursuant to KMC §15.06.030.A.2, the applicant shall provide notice of the project, construction schedule, and general contractor's contact information to all neighbors with properties adjacent to the project site.

- The building permit plans and construction drawings shall meet all applicable sections of Chapter 12 of Ketchum Municipal Code.
- The adjacent ROW along 7th must be improved to City standards for residential streets. Material shall be pervious/permeable to allow drainage. Surface must allow for vehicle parking and be consistent along the entire property frontage. Material within the first eight (8) feet from edge of asphalt shall be distinct from driveway and rest of property in order to visually appear to be available for parking. Grading and drainage improvements must meet the following standards: minimum 5% slope, no obstructions, such as boulders or berms, no buried irrigation systems within the first eight (8) from the edge of asphalt, and no subsurface irrigation lines are permitted beyond the first eight (8) feet, however popup heads are not permitted anywhere in the ROW. No live plant material within the first eight (8) feet from edge of asphalt. Low ground cover plant material, such as turf grass, is permitted beyond the first eight (8) feet. Drought-tolerant species is preferred.
- The applicant shall submit a Street and Alley Digging, Excavation, and Trenching (“DIG”) Permit application with an associated traffic control plan for all construction work within the City right-of-way to be reviewed and approved by the Streets Department. The use of City right-of-way for construction including the closure of adjacent streets or sidewalks requires a Temporary Use of Right-of-Way Permit (“TURP”).
- Final civil drawings for all associated ROW improvements shall be submitted with the Building Permit application to be verified, reviewed, and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project.

Utilities & Wastewater:

- The property owner/developer and all successors in interest are responsible for the installation, maintenance, repair, and other costs associated with the private water and sewer lines serving the property. The applicant shall coordinate with the existing Crossbuck HOA for future maintenance of the private water line.
- Each detached townhome unit shall have separate water and sewer services. Connection fees are determined based on water and sewer meter sizes. The applicant shall have the proposed water and sewer service connection line and meter sizes verified by an Idaho-licensed plumber or mechanical engineer. The service line connections shall be installed to City standards.
- Drywells must have proper separation from potable water lines.
- The final civil drawings shall be approved by DEQ prior to issuance of a building permit for the project.
- Requirements and specifications for the water and sewer connections will be verified, reviewed, and approved by the Utilities and Wastewater departments prior to issuance of a building permit for the project.

Building:

- The building must meet the 2018 International Building Code and Title 15 Buildings and Construction of Ketchum Municipal Code.
- Building Department requirements and associated specifications for the required improvements must be verified, reviewed, and approved prior to issuance of a building permit for the project.

Planning and Zoning:

Comments are denoted within the analysis of the project’s compliance with zoning and dimensional standards, design review evaluation standards, and subdivision design and development standards.

Table 2: Zoning and Dimensional Standards Analysis

Zoning and Dimensional Standards Analysis

Compliant			Ketchum Municipal Code Standards and Staff Comments	
Yes	No	N/A	KMC §	Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	<p>Minimum Lot Area</p> <p>Staff Comments</p> <p>Required Minimum Lot Area: 8,000 square feet minimum Required Minimum Townhouse Sublot Area: equal to the of the perimeter of the townhouse unit</p> <p>KMC §17.08.020 defines <i>Area of Lot</i> as the area of a lot, exclusive of any area contained within a private driveway easement.</p> <p><i>Ketchum Municipal Code §17.08.020: Definitions</i> <i>AREA OF LOT: The area within the boundaries of a lot, exclusive of any area contained within a public or private street, alley, fire lane or private driveway easement; also, exclusive of any narrow strip of land connecting a lot set back from any public street for the purpose of providing driveway access with that street and exclusive of any portion of the property that lies between the mean high-water marks of the Big Wood River, Trail Creek and Warm Springs Creek. All exclusions shall not be used for the purpose of calculating density and building coverage. Lot area shall include the area of any dedicated public bike path, equestrian path or other public pathway within the boundaries of a lot.</i></p> <p>Proposed: Lot 1A of Block 67 within Ketchum Townsite has a total area of 8,240 square feet (0.19 acres).</p> <p>The area of the private driveway easement on subplot 1A is 660 square feet.</p> <p>The area of the lot as defined by KMC §17.08.020 exclusive of the private driveway easement on subplot 1A is 7,580 square feet.</p> <p>Lot 1A is proposed to be subdivided into two townhouse sublots. All townhouse sublots within the proposed subdivisions are greater than the perimeter of the townhouse unit. No land within the townhouse subdivision is proposed to be designated as common area. The proposed areas of each townhouse subplot are indicated on the preliminary plat.</p> <p>Townhouse Sublot 1A: 4,120 square feet Townhouse Sublot 1B: 4,120 square feet</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	<p>Building Coverage</p> <p>Staff Comments</p> <p>BUILDING COVERAGE: The total square footage of the building foundation and all horizontal projections which constitute a "building" as defined in this section, but not including roof overhangs that are 3 feet or less or uncovered decks less than 30 inches above grade. Garages and guest homes shall be included in building coverage (KMC §17.08.020).</p>

				<p>Permitted: 35%</p> <p>Proposed: The townhome development's total building coverage is 35% (2,651 square feet building coverage/7,580-square-foot lot).</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.12.030</p> <p>Staff Comments</p>	<p>Minimum Building Setbacks</p> <p>Minimum: Front: 15 feet Side: 1 foot for every 3 feet in building height, but no less than 5 feet Rear: 15 feet</p> <p>KMC §17.128.020: Supplementary Yard Regulations A. Cornices, canopies, eaves, chimney chases or similar architectural features may extend into a required yard not more than 3 feet. H. Decks less than 30 inches in height from existing grade may be constructed to the property line.</p> <p>Proposed: Dimensioned setbacks from property lines are indicated on Sheet L-1.0 of the project plans. Front (North/7th Street): 15' Street Side (East/2nd Avenue): 10'-4" Side (West/Interior): 15' Rear (South/Interior): 15'</p> <p>At-grade paver patios extend into the required setback areas, which is permitted pursuant to KMC §17.128.020.H. As indicated on Sheet A-2A, roof overhangs extend into the setback area a maximum of 3 feet.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.12.030</p> <p>Staff Comments</p>	<p>Building Height</p> <p>Maximum Permitted: 35 feet</p> <p><i>KMC §17.08.020: HEIGHT OF BUILDING: The greatest vertical distance measured at any point from the roof to natural, existing, or finished grade, whichever is lowest. The maximum vertical distance from the lowest exposed finished floor to the highest point of the roof (regardless of vertical alignment) shall be no more than five feet (5') greater than the maximum height permitted in the zoning district (see illustration B on file in the Office of the City Clerk). No facade shall be greater than the maximum height permitted in the zoning district. (See definition of "facade" in this section and illustration B on file in the Office of the City Clerk.) Facades which step up or down hillsides shall be set back from the lower facade a minimum of fifty percent (50%) of the height of the lower facade; except, that roof overhangs may extend up to three feet (3') into this area (see illustration B on file in the Office of the City Clerk). This building height provision shall apply to parapets, boston roofs and any other portion of a building roof, but shall not apply to flagpoles, lightning rods, weather vanes, antennas or chimneys.</i></p>

				<p>Proposed: <i>Townhome Unit A</i> Lowest Grade Elevation: 5795' Highest Point of Roof Elevation: 5833' Greatest Vertical Distance Building Height: 33 feet Maximum Distance Regardless of Vertical Alignment Building Height: 38 feet</p> <p><i>Townhome Unit B</i> Lowest Grade Elevation: 5800' Highest Point of Roof Elevation: 5831' Greatest Vertical Distance Building Height: 31 feet Maximum Distance Regardless of Vertical Alignment Building Height: 31 feet</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.125.030H	<p>Curb Cut</p> <p>Staff Comments</p> <p>Required: A total of 35% of the linear footage of any street frontage can be devoted to access to off street parking.</p> <p>Proposed: Both townhomes are accessed from a shared driveway that is 26 feet wide, which is 35% (26-foot-wide driveway/75 feet of street frontage along 7th Street) of the development's site street frontage along 7th Street.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.125.040	<p>Parking Spaces</p> <p>Staff Comments</p> <p>Off-street parking standards apply to any new development and to any new established uses.</p> <p>Required: Multiple-Family Residential Dwelling Units in the GR-L Zone Units 2,001 square feet and above: 2 parking spaces</p> <p>Proposed: Both townhome units exceed 2,001 square feet. Each townhome unit has its own attached 2-car garage.</p>

Table 3: Design Review Standards Evaluation

Design Review Improvements and Standards (KMC §17.96.060)				
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.A1 Streets	The applicant shall be responsible for all costs associated with providing a connection from an existing city street to their development.
			Staff Comments	No new streets are proposed with this development. The townhome units will be accessed from a shared driveway off 7 th Street. Pursuant to KMC §17.96.060.G3, vehicle, bicycle, and pedestrian traffic shall flow safely within the project and onto adjacent streets. Prior to issuance of a building permit for the project, the City Engineer and Streets Department shall review the civil drawings to ensure adequate

				sight distances and proper signage for the proposed driveway accesses.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.A2 Streets	All street designs shall be approved by the City Engineer.
			Staff Comments	Pursuant to KMC §17.96.060.G3, vehicle, bicycle, and pedestrian traffic shall flow safely within the project and onto adjacent streets. Prior to issuance of a building permit for the project, the City Engineer and Streets Department shall review the civil drawings to ensure adequate sight distances and proper signage for the proposed driveway accesses. The circulation design shall be indicated on civil drawings stamped by an Idaho-licensed engineer (KMC §12.04.020.C.3) included with the project plans submitted with the building permit application for final review and approval by the City Engineer and Streets Department prior to issuance of a building permit for the project.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.B1 Sidewalks	All projects under 17.96.010(A) that qualify as a “Substantial Improvement” shall install sidewalks as required by the Public Works Department.
			Staff Comments	<p>While the Crossbuck McNee Townhomes project qualifies as a substantial improvement, sidewalks are not required to be installed along 7th Street within this residential neighborhood. The property has street frontage along 2nd Avenue and the bike path.</p> <p>The applicant shall improve the right-of-way (ROW) adjacent to the front property line along 7th Street to City ROW standards for residential roadways. Material shall be pervious/permeable to allow drainage. Surface must allow for vehicle parking and be consistent along the entire property frontage. Material within the first eight (8) feet from edge of asphalt shall be distinct from driveway and rest of property in order to visually appear to be available for parking. Grading and drainage improvements must meet the following standards: minimum 5% slope, no obstructions, such as boulders or berms, no buried irrigation systems within the first eight (8) feet from the edge of asphalt, and no subsurface irrigation lines are permitted beyond the first eight (8) feet, however popup heads are not permitted anywhere in the ROW. No live plant material within the first eight (8) feet from edge of asphalt. Low ground cover plant material, such as turf grass, is permitted beyond the first eight (8) feet. Drought-tolerant species is preferred.</p> <p>Final civil drawings for all associated ROW improvements shall be submitted with the building permit application to be reviewed and approved by the City Engineer and Streets Department prior to issuance of a building permit for the project.</p> <p>See Table 1 for comments and conditions from the City Engineer & Streets Department.</p>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.B2 Sidewalks	Sidewalk width shall conform to the City’s right-of-way standards, however the City Engineer may reduce or increase the sidewalk width and design standard requirements at their discretion.
			Staff Comments	<p>The City Engineer has determined that sidewalks are not required to be installed along 7th Street within this residential neighborhood.</p> <p>The applicant shall improve the right-of-way (ROW) adjacent to the front property line along 7th Street to City ROW standards for residential roadways.</p> <p>Final civil drawings for all associated ROW improvements shall be submitted with the Building Permit application to be verified, reviewed, and approved by the City Engineer and Streets Department prior to issuance of a building permit for the project. See Table 1 for review comments and conditions from the City Engineer & Streets Department.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.B3 Sidewalks	<p>Sidewalks may be waived if one of the following criteria is met:</p> <ul style="list-style-type: none"> a. The project comprises an addition of less than 250 square feet of conditioned space. b. The City Engineer finds that sidewalks are not necessary because of existing geographic limitations, pedestrian traffic on the street does not warrant a sidewalk, or if a sidewalk would not be beneficial to the general welfare and safety of the public.
			Staff Comments	The City Engineer has determined that sidewalks are not required to be installed along 7 th Street within this residential neighborhood.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.B4 Sidewalks	The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.
			Staff Comments	<p>The City Engineer has determined that sidewalks are not required to be installed along 7th Street within this residential neighborhood.</p> <p>The applicant shall improve the right-of-way (ROW) adjacent to the front property line along 7th Street to City ROW standards for residential roadways.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.B5 Sidewalks	New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.
			Staff Comments	N/A. The City Engineer has determined that sidewalks are not required to be installed within this residential neighborhood.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.B6 Sidewalks	The City may approve and accept voluntary cash contributions in-lieu of the above described improvements, which contributions must be segregated by the City and not used for any purpose other than the provision of these improvements. The contribution amount shall be one hundred ten percent (110%) of the estimated costs of concrete

				sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the City Engineer. Any approved in-lieu contribution shall be paid before the City issues a certificate of occupancy.
			Staff Comments	N/A. The City Engineer has determined that sidewalks are not required to be installed within this residential neighborhood.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.C1 Drainage	All storm water shall be retained on site.
			Staff Comments	The drainage system must keep all storm water within the project site. Storm water is prohibited from draining onto the 7 th Street or 2 nd Avenue rights-of-way. All drainage improvements must meet city standards. Drainage improvements are indicated on Sheet L3 of the project plans (Exhibit A). Proposed drainage improvements include landscape drywells. Prior to issuance of a building permit for the project, the applicant shall submit a final drainage plan indicating grading, catch basins, piping, and drywells (KMC §17.96.040.C.2b & KMC §17.96.060.C.1-4) prepared by a civil engineer licensed in the state to be submitted for review and approval by the City Engineer and Streets Department. As noted in the Utilities Department’s comments, all drywells must have proper separation from potable water lines. See Table 1 for City Department comments and conditions.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.C2 Drainage	Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.
			Staff Comments	See above analysis for Ketchum Municipal Code §17.96.060C1. All drainage improvements shall be equal to the length of the property lines adjacent to 7 th Street and 2 nd Avenue. All drainage improvements shall meet City standards. All drainage improvements shall be indicated on civil plans prepared by an Idaho licensed engineer and require review and approval from the City Engineer & Streets Department prior to issuance of a Building Permit for the project. See Table 1 for comments and conditions from the City Engineer & Streets Department.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.C3 Drainage	The City Engineer may require additional drainage improvements as necessary, depending on the unique characteristics of a site.
			Staff Comments	The application will be required to install drainage improvements to the satisfaction of the City Engineer. A final drainage plan prepared by a civil engineer licensed in the state of Idaho shall be submitted with the building permit application to be reviewed and approved by the City Engineer and the Streets Department. The City Engineer may require additional drainage improvements as necessary.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.C.4 Drainage	Drainage facilities shall be constructed per City standards.
			Staff Comments	All drainage facilities within the project site and the public right-of-way shall meet city standards. Final drainage specifications must be included with the civil drawings submitted with the building permit application to be reviewed and approved by the City Engineer & Streets Department.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.D1 Utilities	All utilities necessary for the development shall be improved and installed at the sole expense of the applicant.
			Staff Comments	<p>The property owner/developer and all successors in interest are responsible for the installation, maintenance, repair, and other costs associated with the private water and sewer lines serving the property.</p> <p>Each detached townhome unit shall have separate water and sewer services. Connection fees are determined based on water and sewer meter sizes. The applicant shall have the proposed water and sewer service connection line and meter sizes verified by an Idaho-licensed plumber or mechanical engineer. The service line connections shall be installed to City standards.</p> <p>Requirements and specifications for the water and sewer connections will be verified, reviewed, and approved by the Utilities and Wastewater departments prior to issuance of a building permit for the project.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.D2 Utilities	Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view.
			Staff Comments	<p>All utilities within the development site shall be underground and concealed from public view.</p> <p>The project plans indicate a relocated transformer at the southwest corner of the parcel straddling the property line onto adjacent Lot 2A of Block 67. The transformer is proposed to be screened by deciduous shrubs.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.D3 Utilities	When extension of utilities is necessary all developers will be required to pay for and install two (2") inch SDR11 fiber optical conduit. The placement and construction of the fiber optical conduit shall be done in accordance with city of Ketchum standards and at the discretion of the City Engineer.
			Staff Comments	The applicant is aware of this requirement to install services for high-speed internet to the site. The applicant will work with the City Engineer to identify if additional fiber optical conduit is required to be installed for the new multi-family residential development.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.E1 Compatibility of Design	The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures.
			Staff Comments	As noted on Sheet MB, the Crossbuck McNee Townhomes will match the existing Crossbuck townhome units developed on the remainder of Block 67. All townhome units share the same exterior material patterns and color palette. The proposed exterior materials include metal clad windows, corrugated metal roofing, steel frame awnings, concrete and gabion site walls, vertical wood siding, steel posts and beams, steel wainscot, and stone veneer. The stone veneer and wood siding are shades of gray. The steel posts and beams, trellises, and metal trim are dark gray and brown. The darker colors contrast with the lighter gray wood siding and stone veneer adding more articulation to the façade design.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.E2 Compatibility of Design	Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.
			Staff Comments	N/A. No significant landmarks of historical or cultural importance have been identified on the property. The site is vacant—this townhome development is an infill project.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.E3 Compatibility of Design	Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to.
			Staff Comments	N/A This standard does not apply because the project is new construction.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F1 Architectural	Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined.
			Staff Comments	The front doors to both townhome units are clearly defined by a covered entry framed by steel posts landscaped planters. The entrances to both townhome units lead to at-grade paver patios that connect to the bike path along 2 nd Avenue.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.F2 Architectural	The building character shall be clearly defined by use of architectural features.
			Staff Comments	The proposed architectural features include exterior material differentiation, fenestration, steel canopy elements, and wire mesh trellises. The exterior materials and architectural features will match the existing Crossbuck townhomes. Despite this consistency, these features are not as successful at defining the character of the McNee townhome units. The composition, proportion, and rhythm of the townhomes' materials do not provoke as much visual interest as the existing Crossbuck townhome units. For example, the existing Crossbuck townhomes incorporates more large rectangular windows. The arrangement of these windows establishes a rhythm that animates the street-facing facades. The fenestration proposed with

				<p>the McNee townhomes does not provide enough visual relief to mitigate the appearance of blank walls at the street-side facades. The existing Crossbuck units utilize the placement of stone veneer more effectively. For example, the existing Crossbuck units' entire chimney is clad in stone veneer. This creates a prominent column that vertically integrates each floor and grounds the townhomes to the project site. The use of stone veneer proposed with the McNee townhomes is limited to one- and two-story elements. More exterior material differentiation and fenestration is needed to provide visual interest.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.96.060.F3 Architectural</p> <p>There shall be continuity of materials, colors and signing within the project.</p>	<p>Staff Comments</p> <p>As noted on Sheet MB, the Crossbuck McNee Townhomes will match the existing Crossbuck Townhomes developed on the remainder of Block 67. All townhome units share the same exterior material patterns and color palette.</p> <p>The proposed exterior materials include metal clad windows, corrugated metal roofing, steel frame awnings, concrete and gabion site walls, vertical wood siding, steel posts and beams, steel wainscot, and stone veneer. The stone veneer and wood siding are shades of gray. The steel posts and beams, trellises, and metal trim are dark gray and brown. The darker colors contrast with the lighter gray wood siding and stone veneer adding more articulation to the façade design.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<p>17.96.060.F4 Architectural</p> <p>Accessory structures, fences, walls and landscape features within the project shall match or complement the principal building.</p>	<p>Staff Comments</p> <p>The project does not propose any accessory structures. The project's site improvements include landscaping, planters, and gabion. The landscape plan is provided on Sheet L-3.0 of the project plans (Exhibit A). Landscaping includes conifer trees, flowering crab deciduous trees, deciduous shrubs, and grasses. The proposed landscaping softens the rectangular mass of each townhome unit and provides screening between the townhome units.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>17.96.060.F5 Architectural</p> <p>Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.</p>	<p>Staff Comments</p> <p>The townhome units are boxy and bulky buildings. Unlike the existing Crossbuck units and the townhome units proposed on adjacent Lot 2A, the McNee units have maximum building heights of 35 feet and 38 feet in height. As shown on Sheet A-7A of the project plans, townhome unit A takes advantage of the additional 5 feet of building height provided for in Ketchum Municipal Code §17.08.020 due to the topography of the site. The maximum height of townhome unit A from lowest grade to highest point of the roof is 38 feet. The mass of the building's rectangular volumes is overbearing. The design utilizes subtractive massing to create the covered entryway at the front door. This recession emphasizes the buildings' mass at the street-facing façade</p>

				The material differentiation and an upper-level setback created by the second-floor deck do not provide sufficient visual relief from the building mass. The lack of articulation and variation produces areas of uninterrupted, blank walls. The unbroken façades reinforce the bulk and mass of the townhome units.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F6 Architectural	Building(s) shall orient towards their primary street frontage.
			Staff Comments	The townhome units include covered entryways that orient towards the 2 nd Avenue. These covered entryway landings lead to paver walkways that connect to the bike path along 2 nd Avenue.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F7 Architectural	Garbage storage areas and satellite receivers shall be screened from public view and located off alleys.
			Staff Comments	Each townhome unit have its own trash and recycling bins stored and screened from public view within the attached, enclosed garages. The applicant has submitted a letter from Clear Creek Disposal approving the townhome development’s garbage disposal configuration. The townhome unit owners will move the garbage and recycling bin to 7 th Street for service. The project plans do not indicate the installation of any satellite receivers. Any future installations of satellite receivers must be screened from public view.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F8 Architectural	Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties.
			Staff Comments	The building design includes weather protection that prevents water from dripping or snow from sliding onto areas where pedestrians gather and circulate and onto adjacent properties. As indicated on Sheet A2-A, the roof includes a system of internal drains as well as gutters. The roof plans shows snow guards to prevent snow from sliding onto areas where pedestrians gather and circulate or onto adjacent properties.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.G1 Circulation Design	Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.
			Staff Comments	The townhome units’ entrances lead to at-grade paver patios that connect to the bike path along 2 nd Avenue. The City Engineer has determined that sidewalks are not required to be installed along 7 th Street within this residential neighborhood. Pedestrian and bicycle access is provided within the low-traffic residential streets.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.G2	Awnings extending over public sidewalks shall extend five (5’) feet or more across the public sidewalk but shall not extend within two (2’) feet of parking or travel lanes within the right of way.

			Circulation Design	N/A. No awnings are proposed to extend across the public sidewalk.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.G3 Circulation Design	Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage.
			Staff Comments	The townhome units will both be accessed from a shared driveway along 7 th Street. Prior to issuance of a building permit for the project, the City Engineer and Streets Department shall review the civil drawings to ensure adequate sight distances and proper signage for the proposed driveway access.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.G4 Circulation Design	Curb cuts and driveway entrances shall be no closer than twenty (20') feet to the nearest intersection of two or more streets, as measured along the property line adjacent to the right of way. Due to site conditions or current/projected traffic levels or speed, the City Engineer may increase the minimum distance requirements.
			Staff Comments	As specified on Sheet L-1.0, the shared driveway entrance to the townhome development is located 58 feet from the intersection of 7 th Street and 2 nd Avenue. Prior to issuance of a building permit for the project, the City Engineer and Streets Department shall review the civil drawings to ensure adequate sight distances and proper signage for the proposed driveway access.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.G5 Circulation Design	Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project.
			Staff Comments	The new multi-family residential development provides unobstructed access for emergency vehicles, snowplows, garbage trucks, and other services vehicles. Unobstructed access to the townhome units is provided from the shared driveway along 7 th Street.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.H1 Snow Storage	Snow storage areas shall not be less than thirty percent (30%) of the improved parking and pedestrian circulation areas.
			Staff Comments	The snow storage calculation is indicated on Sheet L3 of the property plans. The applicant has provided 600 square feet of snow storage on site, which is 30% of the asphalt driveway area.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.H2 Snow Storage	Snow storage areas shall be provided on-site.
			Staff Comments	The snow storage calculation is indicated on Sheet L3 of the property plans. The applicant has provided 600 square feet of snow storage on site, which is 30% of the asphalt driveway area.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.H3 Snow Storage	A designated snow storage area shall not have any dimension less than five (5') feet and shall be a minimum of twenty-five (25) square feet.

			Staff Comments	The 3 snow storage areas meet this dimensional requirement. The snow storage areas provided on site are 200, 50, and 350 square feet.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.H4 Snow Storage	In lieu of providing snow storage areas, snow melt and hauling of snow may be allowed.
			Staff Comments	The applicant has provided snow storage on site.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.I1 Landscaping	Landscaping is required for all projects.
			Staff Comments	The landscape plan is provided on Sheet L3 of the project plans. Landscaping includes conifer trees, flowering crab deciduous trees, deciduous shrubs, and grasses.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.I2 Landscaping	Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape.
			Staff Comments	The landscape plan is provided on Sheet L3 of the project plans. Landscaping includes conifer trees, flowering crab deciduous trees, deciduous shrubs, and grasses. The landscape plan shows 7 deciduous trees planted along the street frontages. The proposed landscaping will beautify the adjacent bike path.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.I3 Landscaping	All trees, shrubs, grasses and perennials shall be drought tolerant. Native species are recommended but not required.
			Staff Comments	All proposed landscape materials and vegetation types shall be drought tolerant. The applicant is encouraged to select native species.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.I4 Landscaping	Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged.
			Staff Comments	The project's proposed landscaping provides a buffer between both townhome units and the adjacent existing Crossbuck townhome unit to the south. The 7 deciduous trees planted along the street side property line will buffer the townhome units from 2 nd Avenue.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.J1 Public Amenities	Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All public amenities shall receive approval from the Public Works Department prior to design review approval from the Commission.
			Staff Comments	The City Engineer has determined that sidewalks are not required for this project in this residential neighborhood.

Table 4: Townhouse Subdivision Requirements

Townhouse Plat Requirements				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.080.B	Townhouse Owners' Documents: The subdivider of the townhouse project shall submit with the preliminary plat application a copy of the proposed party wall agreement and any proposed document(s) creating an association of owners of the proposed townhouse sublots, which shall adequately provide for the control and maintenance of all commonly held facilities, garages, parking and/or open spaces. Prior to final plat approval, the subdivider shall submit to the city a final copy of such documents and shall file such documents prior to recordation of the plat, which shall reflect the recording instrument numbers.
			Staff Comments	The applicant has submitted a complete preliminary plat application including the CC&Rs. The applicant shall submit a final copy of the Townhouse Declaration and CC&Rs document to the Planning & Building Department and file such document prior to recordation of the final plat.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.080.C.1	Preliminary Plat Procedure: Townhouse developments shall be administered consistent with the procedures and design and development regulations established in §16.04.030 and §16.04.040 and the standards of this subsection. All townhouse developments shall be platted under the procedures contained in the subdivision ordinance in effect and shall be required to obtain design review approval prior to building permit issuance.
			Staff Comments	The townhouse subdivision shall be platted under the procedures contained in the subdivision ordinance.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.080.C.2	The subdivider may apply for preliminary plat approval from the commission pursuant to subsection 16.04.030D of this chapter at the time application is made for design review approval pursuant to title 17, chapter 17.96 of this code. The commission may approve, deny or conditionally approve such preliminary plat upon consideration of the action taken on the application for design review of the project.
			Staff Comments	The townhome subdivision preliminary plat and design review applications for the development are being reviewed concurrently.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.080.C.3	The preliminary plat, other data, and the commission's Staff Comments may be transmitted to the council prior to commencement of construction of the project under a valid building permit issued by the City. The council shall act on the preliminary plat pursuant to subsection 16.04.030E and F of this chapter.
			Staff Comments	The preliminary plat and the Planning & Zoning Commission's Staff comments will be transmitted to the City Council for their review and approval prior to the issuance of a building permit for the project.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.080.C.4	In the event a phased townhouse development project is proposed, after preliminary plat is granted for the entirety of a project, the final plat procedure for each phase of a phased development project shall follow §16.04.030.G and comply with the additional provisions of §16.04.110 of this code.
			Staff Comments	N/A. The applicant has not proposed phasing with this townhome development project.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.080.D	<p>D. Final Plat Procedure:</p> <p>1. The final plat procedure contained in subsection 16.04.030G of this chapter shall be followed. However, the final plat shall not be signed by the city clerk and recorded until the townhouse has received either:</p> <p style="padding-left: 40px;">a. A certificate of occupancy issued by the city of Ketchum for all structures in the townhouse development and completion of all design review elements as approved by the planning and zoning administrator; or</p> <p style="padding-left: 40px;">b. Signed council approval of a phased development project consistent with §16.04.110 herein.</p> <p>2. The council may accept a security agreement for any design review elements not completed on a case by case basis pursuant to title 17, chapter 17.96 of this code.</p>
			Staff Comments	The applicant shall follow the final plat procedure as specified in the City's subdivision ordinance.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.080.E.1	<p>E. Required Staff Comments : In addition to all Townhouse Developments complying with the applicable provisions of Title 17 and this Subdivision Chapter (§16.04), the Administrator shall find that</p> <p>All Townhouse Developments, including each individual subplot, shall not exceed the maximum building coverage requirements of the zoning district.</p>
			Staff Comments	The townhome project is located within the General Residential Low Density (GR-L) Zone. The townhomes development's proposed building coverage is 35% (2,651 square feet building coverage/7,580-square-foot lot), which is the maximum permitted in the GR-L Zone.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.080.E.2	<p>Garage: All garages shall be designated on the preliminary and final plats and on all deeds as part of the particular townhouse units. Detached garages may be platted on separate sublots; provided, that the ownership of detached garages is tied to specific townhouse units on the townhouse plat and in any owner's documents, and that the detached garage(s) may not be sold and/or owned separate from any dwelling unit(s) within the townhouse development.</p>
			Staff Comments	Each townhome unit includes an attached and enclosed 2-car garage. No detached garages are proposed with this townhome development.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.080.E.3	<p>General Applicability: All other provisions of this chapter and all applicable ordinances, rules and regulations of the city and all other governmental entities having jurisdiction shall be complied with by townhouse subdivisions. (Ord. 1061 § 3, 2009: Ord. 879 § 4, 2001: Ord. 460 § 2, 1987)</p>
			Staff Comments	This townhouse subdivision will comply with all applicable local, state, and federal ordinances, rules, and regulations.

Table 5: Preliminary Plat Requirements (all subdivisions)

Preliminary Plat Requirements				
Compliant			Standards and Staff Comments	
Yes	No	N/A	City Code	City Standards and Staff Comments

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.C.1	The subdivider shall file with the administrator copies of the completed subdivision application form and preliminary plat data as required by this chapter.
			Staff Comments	The application has been reviewed and determined to be complete.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J	Application and Preliminary Plat Contents: The preliminary plat, together with all application forms, title insurance report, deeds, maps, and other documents reasonably required, shall constitute a complete subdivision application. The preliminary plat shall be drawn to a scale of not less than one inch equals one hundred feet (1" = 100') and shall show the following:
			Staff Comments	All required materials for the preliminary plat application have been submitted.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.I.1	The scale, north point and date.
			Staff Comments	This standard has been met. The preliminary plat contains a scale, north point, and date.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.2	The name of the proposed subdivision.
			Staff Comments	This standard has been met.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.3	The name and address of the owner of record, the subdivider, and the engineer, surveyor, or other person preparing the plat.
			Staff Comments	This information has been provided on the application form and indicated on the Preliminary Plat.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.4	Legal description of the area platted.
			Staff Comments	This standard has been met.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.5	The names and the intersecting boundary lines of adjoining subdivisions and parcels of property.
			Staff Comments	This standard has been met. The existing 4 Crossbuck Townhome units on Lots 3A and 4A of Block 67 are indicated on the subdivision plat. Additionally, the applicant has indicated the Crossbuck West Townhomes proposed on adjacent Lot 2A on the preliminary plat.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.6	A contour map of the subdivision with contour lines and a maximum interval of two feet (2') to show the configuration of the land based upon the United States geodetic survey data, or other data approved by the city engineer.
			Staff Comments	This project plans include a topographic map.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.7	The scaled location of existing buildings, water bodies and courses and location of the adjoining or immediately adjacent dedicated streets, roadways and easements, public and private.
			Staff Comments	The existing 4 Crossbuck Townhome units on Lots 3A and 4A of Block 67 are indicated on the subdivision plat. 7 th Street and 2 nd Avenue are indicated on the plat.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.8	Boundary description and the area of the tract.
			Staff Comments	This boundary description and the area of the tract is noted on the Preliminary Plat.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.9	Existing zoning of the tract.
			Staff Comments	The property is within the GR-L Zone.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.10	The proposed location of street rights of way, lots, and lot lines, easements, including all approximate dimensions, and including all proposed lot and block numbering and proposed street names.
			Staff Comments	This standard has been met. The location of the proposed townhouse sublots are indicated on the preliminary plat. The existing location of 2 nd Avenue, 7 th Street, and the Block 67 alley are indicated on the plat. The existing public utility easements are indicated on the plat. The townhouse subdivision does not propose a new lots, blocks, or street.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.030.J.11	The location, approximate size and proposed use of all land intended to be dedicated for public use or for common use of all future property owners within the proposed subdivision.
			Staff Comments	The townhome development does not provide any land intended to be dedicated for public use or for the common use of all future property owners within the proposed subdivision.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.12	The location, size and type of sanitary and storm sewers, water mains, culverts and other surface or subsurface structures existing within or immediately adjacent to the proposed sanitary or storm sewers, water mains, and storage facilities, street improvements, street lighting, curbs, and gutters and all proposed utilities.
			Staff Comments	The project plans indicate the locations of all utility and drainage improvements as well as the required right-of-way improvements along 7 th Street. No new street lighting or curb and gutter improvements are required or proposed.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.13	The direction of drainage, flow and approximate grade of all streets.
			Staff Comments	The project plans include drainage improvements. The drainage improvements are indicated on Sheet L2 and the drywell specifications are provided on the civil drawings.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.14	The location of all drainage canals and structures, the proposed method of disposing of runoff water, and the location and size of all drainage easements, whether they are located within or outside of the proposed plat.
			Staff Comments	All drainage improvements have been indicated on the project plans. No drainage canals are required or proposed.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.15	Vicinity map drawn to approximate scale showing the location of the proposed subdivision in reference to existing and/or proposed arterials and collector streets.
			Staff Comments	The project plans include a vicinity map.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.030.J.16	The boundaries of the floodplain, floodway and avalanche overlay district shall also be clearly delineated and marked on the preliminary plat or a note provided if the entire project is in the floodplain, floodway or avalanche overlay district.
			Staff Comments	N/A. The property is not currently mapped to be in the floodplain/floodway. The property is not located within the avalanche zone.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.030.J.17	Building envelopes shall be shown on each lot, all or part of which is within a floodway, floodplain, or avalanche zone; or any lot that is

				adjacent to the Big Wood River, Trail Creek, or Warm Springs Creek; or any lot, a portion of which has a slope of twenty five percent (25%) or greater; or upon any lot which will be created adjacent to the intersection of two (2) or more streets.
			Staff Comments	N/A. The property is not located within the floodway, floodplain, or avalanche zone. The property does not lie adjacent to a river or creek. The lot does not contain slopes of 25% or greater. The project does not create a new lot—the preliminary plat subdivides an existing corner lot into 2 townhouse sublots.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.18	Lot area of each lot.
			Staff Comments	The proposed size of each subplot is indicated on the preliminary plat—each subplot has an area of 4,120 square feet.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J .19	Existing mature trees and established shrub masses.
			Staff Comments	The project plans indicate existing mature trees and shrub masses.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.20	To be provided to Administrator: Subdivision names shall not be the same or confused with the name of any other subdivision in Blaine County, Idaho and shall be approved by the Blaine County Assessor.
			Staff Comments	The Crossbuck McNee Townhomes subdivision name is unique and is not the same as another townhouse subdivision in Blaine County.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.030.J.21	All percolation tests and/or exploratory pit excavations required by state health authorities.
			Staff Comments	N/A. This project will connect to municipal services.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.22	A copy of the provisions of the articles of incorporation and bylaws of homeowners' association and/or condominium declarations to be filed with the final plat of the subdivision.
			Staff Comments	The applicant has submitted a complete preliminary plat application including the CC&Rs. The applicant shall submit a final copy of the Townhouse Declaration and Party Wall Agreement document to the Planning & Building Department and file such document prior to recordation of the final plat.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.23	A current title report shall be provided at the time that the preliminary plat is filed with the administrator, together with a copy of the owner's recorded deed to such property.
			Staff Comments	This standard has been met. The applicant has submitted a Title Report and the Last Deed of Record.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.J.24	A digital copy of the preliminary plat shall be filed with the administrator.
			Staff Comments	This standard has been met.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.A	Required Improvements: The improvements set forth in this section shall be shown on the preliminary plat and installed prior to approval of the final plat. Construction design plans shall be submitted and approved by

				<p>the city engineer. All such improvements shall be in accordance with the comprehensive plan and constructed in compliance with construction standard specifications adopted by the city. Existing natural features which enhance the attractiveness of the subdivision and community, such as mature trees, watercourses, rock outcroppings, established shrub masses and historic areas, shall be preserved through design of the subdivision.</p>
			Staff Comments	<p>This standard has been met. The construction design plans shall be submitted with the building permit application for review by City Departments. All improvements indicated on the project plans, including landscaping and right-of-way improvements, shall be installed prior to issuance a Certificate of Occupancy for the project. The Certificate of Occupancy must be issued before the project received final plat approval.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.B	<p>Improvement Plans: Prior to approval of final plat by the commission, the subdivider shall file two (2) copies with the city engineer, and the city engineer shall approve construction plans for all improvements required in the proposed subdivision. Such plans shall be prepared by a civil engineer licensed in the state.</p>
			Staff Comments	<p>Improvement plans shall be reviewed and approved by City Departments through the building permit application process.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.C	<p>Prior to final plat approval, the subdivider shall have previously constructed all required improvements and secured a certificate of completion from the city engineer. However, in cases where the required improvements cannot be constructed due to weather conditions or other factors beyond the control of the subdivider, the city council may accept, in lieu of any or all of the required improvements, a performance bond filed with the city clerk to ensure actual construction of the required improvements as submitted and approved. Such performance bond shall be issued in an amount not less than one hundred fifty percent (150%) of the estimated costs of improvements as determined by the city engineer. In the event the improvements are not constructed within the time allowed by the city council (which shall be one year or less, depending upon the individual circumstances), the council may order the improvements installed at the expense of the subdivider and the surety. In the event the cost of installing the required improvements exceeds the amount of the bond, the subdivider shall be liable to the city for additional costs. The amount that the cost of installing the required improvements exceeds the amount of the performance bond shall automatically become a lien upon any and all property within the subdivision owned by the owner and/or subdivider.</p>
			Staff Comments	<p>All improvements indicated on the project plans, including landscaping and right-of-way improvements, shall be installed prior to issuance a Certificate of Occupancy for the project. The Certificate of Occupancy must be issued before the project received final plat approval.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.D	<p>As Built Drawing: Prior to acceptance by the city council of any improvements installed by the subdivider, two (2) sets of as built plans and specifications, certified by the subdivider's engineer, shall be filed with the</p>

				<p>city engineer. Within ten (10) days after completion of improvements and submission of as built drawings, the city engineer shall certify the completion of the improvements and the acceptance of the improvements, and shall submit a copy of such certification to the administrator and the subdivider. If a performance bond has been filed, the administrator shall forward a copy of the certification to the city clerk. Thereafter, the city clerk shall release the performance bond upon application by the subdivider.</p>
			Staff Comments	All improvements indicated on the project plans, including landscaping and right-of-way improvements, shall be installed prior to issuance a Certificate of Occupancy for the project. The Certificate of Occupancy must be issued before the project received final plat approval.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.E	<p>Monumentation: Following completion of construction of the required improvements and prior to certification of completion by the city engineer, certain land survey monuments shall be reset or verified by the subdivider's engineer or surveyor to still be in place. These monuments shall have the size, shape, and type of material as shown on the subdivision plat. The monuments shall be located as follows:</p> <ol style="list-style-type: none"> 1. All angle points in the exterior boundary of the plat. 2. All street intersections, points within and adjacent to the final plat. 3. All street corner lines ending at boundary line of final plat. 4. All angle points and points of curves on all streets. 5. The point of beginning of the subdivision plat description.
			Staff Comments	The applicant shall meet the required monumentation standards prior to recordation of the final plat.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.F	<p>Lot Requirements:</p> <ol style="list-style-type: none"> 1. Lot size, width, depth, shape and orientation and minimum building setback lines shall be in compliance with the zoning district in which the property is located and compatible with the location of the subdivision and the type of development, and preserve solar access to adjacent properties and buildings. 2. Whenever a proposed subdivision contains lot(s), in whole or in part, within the floodplain, or which contains land with a slope in excess of twenty five percent (25%), based upon natural contours, or creates corner lots at the intersection of two (2) or more streets, building envelopes shall be shown for the lot(s) so affected on the preliminary and final plats. The building envelopes shall be located in a manner designed to promote harmonious development of structures, minimize congestion of structures, and provide open space and solar access for each lot and structure. Also, building envelopes shall be located to promote access to the lots and maintenance of public utilities, to minimize cut and fill for roads and building foundations, and minimize adverse impact upon environment, watercourses and topographical features. Structures may only be built on buildable lots. Lots shall only be created that meet the definition of "lot, buildable" in section 16.04.020 of this chapter. Building envelopes shall be established outside of hillsides of twenty five percent (25%) and greater and outside of the floodway. A waiver to this standard may only be considered for the following: a. For lot line shifts of parcels that are entirely within slopes of twenty five percent (25%) or greater

			<p>to create a reasonable building envelope, and mountain overlay design review standards and all other city requirements are met. b. For small, isolated pockets of twenty five percent (25%) or greater that are found to be in compliance with the purposes and standards of the mountain overlay district and this section.</p> <p>3. Corner lots outside of the original Ketchum Townsite shall have a property line curve or corner of a minimum radius of twenty five feet (25') unless a longer radius is required to serve an existing or future use.</p> <p>4. Side lot lines shall be within twenty degrees (20°) to a right angle or radial line to the street line.</p> <p>5. Double frontage lots shall not be created. A planting strip shall be provided along the boundary line of lots adjacent to arterial streets or incompatible zoning districts.</p> <p>6. Every lot in a subdivision shall have a minimum of twenty feet (20') of frontage on a dedicated public street or legal access via an easement of twenty feet (20') or greater in width. Easement shall be recorded in the office of the Blaine County recorder prior to or in conjunction with recordation of the final plat..</p>
		Staff Comments	<p>Standards 1, 4, 5, and 6 have been met.</p> <p>Standard 1 has been met—the lot and townhouse sublots sizes, widths, and depths comply with the dimensional standards for lots and townhouse sublots required in the GR-L Zone. The proposed townhome development complies with setbacks from front, rear, and side property lines required in the GR-L Zone.</p> <p>Standard 6 has been met. Each subplot has 55 feet of frontage along 2nd Avenue. Sublot 1A has 75 feet of frontage along 7th Street.</p> <p>Standard 2 is not applicable as the subdivision is not located in the floodplain, mountain overlay, or avalanche zone. Standard 3 is no applicable because subject Lot 1A is located within Ketchum Townsite.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>16.04.040.G</p> <p>G. Block Requirements: The length, width and shape of blocks within a proposed subdivision shall conform to the following requirements:</p> <ol style="list-style-type: none"> 1. No block shall be longer than one thousand two hundred feet (1,200'), nor less than four hundred feet (400') between the street intersections, and shall have sufficient depth to provide for two (2) tiers of lots. 2. Blocks shall be laid out in such a manner as to comply with the lot requirements. 3. The layout of blocks shall take into consideration the natural topography of the land to promote access within the subdivision and minimize cuts and fills for roads and minimize adverse impact on environment, watercourses and topographical features.

				4. Except in the original Ketchum Townsite, corner lots shall contain a building envelope outside of a seventy five foot (75') radius from the intersection of the streets.
			Staff Comments	N/A. No new blocks are proposed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.H.1	H. Street Improvement Requirements: 1. The arrangement, character, extent, width, grade and location of all streets put in the proposed subdivision shall conform to the comprehensive plan and shall be considered in their relation to existing and planned streets, topography, public convenience and safety, and the proposed uses of the land;
			Staff Comments	N/A. The townhome development is an infill project within an existing subdivision. No new streets are proposed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.H.2	2.All streets shall be constructed to meet or exceed the criteria and standards set forth in chapter 12.04 of this code, and all other applicable ordinances, resolutions or regulations of the city or any other governmental entity having jurisdiction, now existing or adopted, amended or codified;
			Staff Comments	This proposal does not create a new street. This standard is not applicable.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.H.3	3. Where a subdivision abuts or contains an existing or proposed arterial street, railroad or limited access highway right of way, the council may require a frontage street, planting strip, or similar design features;
			Staff Comments	N/A. No street frontage improvements like planting strips are required.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.H.4	4. Streets may be required to provide access to adjoining lands and provide proper traffic circulation through existing or future neighborhoods;
			Staff Comments	N/A. This proposal does not create a new street. This standard is not applicable.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.H.5	5. Street grades shall not be less than three-tenths percent (0.3%) and not more than seven percent (7%) so as to provide safe movement of traffic and emergency vehicles in all weather and to provide for adequate drainage and snow plowing;
			Staff Comments	N/A. This proposal does not create a new street. This standard is not applicable.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.H.6	6. In general, partial dedications shall not be permitted, however, the council may accept a partial street dedication when such a street forms a boundary of the proposed subdivision and is deemed necessary for the orderly development of the neighborhood, and provided the council finds it practical to require the dedication of the remainder of the right of way when the adjoining property is subdivided. When a partial street exists adjoining the proposed subdivision, the remainder of the right of way shall be dedicated;
			Staff Comments	N/A. This proposal does not create a new street. This standard is not applicable.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.H.7	7. Dead end streets may be permitted only when such street terminates at the boundary of a subdivision and is necessary for the development of the subdivision or the future development of the adjacent property. When such a dead end street serves more than two (2) lots, a temporary

				turnaround easement shall be provided, which easement shall revert to the adjacent lots when the street is extended;
			Staff Comments	N/A. This proposal does not create a new dead-end street. This standard is not applicable.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.H.8	8. A cul-de-sac, court or similar type street shall be permitted only when necessary to the development of the subdivision, and provided, that no such street shall have a maximum length greater than four hundred feet (400') from entrance to center of turnaround, and all cul-de-sacs shall have a minimum turnaround radius of sixty feet (60') at the property line and not less than forty five feet (45') at the curb line;
			Staff Comments	N/A. The townhouse sublots are within an existing subdivision. No new streets are proposed. This standard is not applicable.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.H.9	9. Streets shall be planned to intersect as nearly as possible at right angles, but in no event at less than seventy degrees (70°);
			Staff Comments	N/A. No new streets are proposed with this townhome development.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.H.10	10. Where any street deflects an angle of ten degrees (10°) or more, a connecting curve shall be required having a minimum centerline radius of three hundred feet (300') for arterial and collector streets, and one hundred twenty five feet (125') for minor streets;
			Staff Comments	N/A. No new streets are proposed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.H.11	11. Streets with centerline offsets of less than one hundred twenty five feet (125') shall be prohibited;
			Staff Comments	N/A. No new streets are proposed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.H.12	12. A tangent of at least one hundred feet (100') long shall be introduced between reverse curves on arterial and collector streets;
			Staff Comments	N/A. The townhome development is an infill project within a residential neighborhood served by existing streets. No new streets are proposed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.H.13	13. Proposed streets which are a continuation of an existing street shall be given the same names as the existing street. All new street names shall not duplicate or be confused with the names of existing streets within Blaine County, Idaho. The subdivider shall obtain approval of all street names within the proposed subdivision from the County Assessor's office before submitting same to council for preliminary plat approval;
			Staff Comments	N/A. The townhome development is an infill project within a residential neighborhood served by existing streets. No new streets are proposed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.H.14	14. Street alignment design shall follow natural terrain contours to result in safe streets, usable lots, and minimum cuts and fills;
			Staff Comments	N/A. The townhome development is an infill project within a residential neighborhood served by existing streets. No new streets are proposed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.H.15	15. Street patterns of residential areas shall be designed to create areas free of through traffic, but readily accessible to adjacent collector and arterial streets;
			Staff Comments	N/A. The townhome development is an infill project within a residential neighborhood served by existing streets. No new streets are proposed.

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.H.16	16. Reserve planting strips controlling access to public streets shall be permitted under conditions specified and shown on the final plat, and all landscaping and irrigation systems shall be installed as required improvements by the subdivider;
			Staff Comments	N/A.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.H.17	17. In general, the centerline of a street shall coincide with the centerline of the street right of way, and all crosswalk markings shall be installed by the subdivider as a required improvement;
			Staff Comments	N/A. The townhome development is an infill project within a residential neighborhood served by existing streets. No new streets are proposed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.H.18	18. Street lighting shall be required consistent with adopted city standards and where designated shall be installed by the subdivider as a requirement improvement;
			Staff Comments	N/A. The townhome development is an infill project within a residential neighborhood served by existing streets. No new streets are proposed and no sidewalks are required to be installed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.H.19	19. Private streets may be allowed upon recommendation by the commission and approval by the Council. Private streets shall be constructed to meet the design standards specified in subsection H2 of this section and chapter 12.04 of this code;
			Staff Comments	N/A. The townhome development is an infill project within a residential neighborhood served by existing streets. No new private streets are proposed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.H.20	20. Street signs shall be installed by the subdivider as a required improvement of a type and design approved by the Administrator and shall be consistent with the type and design of existing street signs elsewhere in the City;
			Staff Comments	N/A. The townhome development is an infill project within a residential neighborhood served by existing streets. No new streets are proposed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.H.21	21. Whenever a proposed subdivision requires construction of a new bridge, or will create substantial additional traffic which will require construction of a new bridge or improvement of an existing bridge, such construction or improvement shall be a required improvement by the subdivider. Such construction or improvement shall be in accordance with adopted standard specifications;
			Staff Comments	N/A. This proposal does not require construction of a new bridge or impact any existing bridges.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.H.22	22. Sidewalks, curbs and gutters shall be required consistent with adopted city standards and where designated shall be a required improvement installed by the subdivider;
			Staff Comments	While the Crossbuck McNee Townhomes project qualifies as a substantial improvement, sidewalks are not required to be installed within this residential neighborhood. The applicant shall improve the right-of-way (ROW) adjacent to the front property line along 7 th Street to City ROW standards for residential roadways. The required right-of-way improvements are indicated on Sheet C2 of the

			<p>project plans. Material shall be pervious/permeable to allow drainage. Surface must allow for vehicle parking and be consistent along the entire property frontage. Material within the first eight (8) feet from edge of asphalt shall be distinct from driveway and rest of property in order to visually appear to be available for parking. Grading and drainage improvements must meet the following standards: minimum 5% slope, no obstructions, such as boulders or berms, no buried irrigation systems within the first eight (8) from the edge of asphalt, and no subsurface irrigation lines are permitted beyond the first eight (8) feet, however popup heads are not permitted anywhere in the ROW. No live plant material within the first eight (8) feet from edge of asphalt. Low ground cover plant material, such as turf grass, is permitted beyond the first eight (8) feet. Drought-tolerant species is preferred.</p> <p>Final civil drawings for all associated ROW improvements shall be submitted with the building permit application to be reviewed and approved by the City Engineer and Streets Department prior to issuance of a building permit for the project.</p> <p>See Table 1 for comments and conditions from the City Engineer & Streets Department.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>16.04.040.H.23 23. Gates are prohibited on private roads and parking access/entranceways, private driveways accessing more than one single-family dwelling unit and one accessory dwelling unit, and public rights-of-way unless approved by the City Council; and</p> <p>Staff Comments No gates are proposed.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>16.04.040.H.24 24. No new public or private streets or flag lots associated with a proposed subdivision (land, planned unit development, townhouse, condominium) are permitted to be developed on parcels within the Avalanche Zone</p> <p>Staff Comments N/A. The townhouse sublots are not located within the Avalanche Zone.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>16.04.040.I I. Alley Improvement Requirements: Alleys shall be provided in, commercial and light industrial zoning districts. The width of an alley shall be not less than twenty feet (20'). Alley intersections and sharp changes in alignment shall be avoided, but where necessary, corners shall be provided to permit safe vehicular movement. Dead end alleys shall be permitted only within the original Ketchum Townsite and only after due consideration of the interests of the owners of property adjacent to the dead end alley including, but not limited to, the provision of fire protection, snow removal and trash collection services to such properties. Improvement of alleys shall be done by the subdivider as required improvement and in conformance with design standards specified in subsection H2 of this section.</p> <p>Staff Comments N/A. The townhouse sublots are located in a residential neighborhood within the City's GR-L Zone and do not abut an alley.</p>

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.J.1	<p>J. Required Easements: Easements, as set forth in this subsection, shall be required for location of utilities and other public services, to provide adequate pedestrian circulation and access to public waterways and lands.</p> <p>1. A public utility easement at least ten feet (10') in width shall be required within the street right-of-way boundaries of all private streets. A public utility easement at least five feet (5') in width shall be required within property boundaries adjacent to Warm Springs Road and within any other property boundary as determined by the City Engineer to be necessary for the provision of adequate public utilities.</p>
			Staff Comments	N/A. These easements are not required as the project create a new street and the property is not adjacent to Warm Springs Road.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.J.2	<p>2. Where a subdivision contains or borders on a watercourse, drainageway, channel or stream, an easement shall be required of sufficient width to contain such watercourse and provide access for private maintenance and/or reconstruction of such watercourse.</p>
			Staff Comments	N/A as the townhouse sublots do not border a waterway.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.J.3	<p>3. All subdivisions which border the Big Wood River, Trail Creek and Warm Springs Creek shall dedicate a ten foot (10') fish and nature study easement along the riverbank. Furthermore, the Council shall require, in appropriate areas, an easement providing access through the subdivision to the bank as a sportsman's access. These easement requirements are minimum standards, and in appropriate cases where a subdivision abuts a portion of the river adjacent to an existing pedestrian easement, the Council may require an extension of that easement along the portion of the riverbank which runs through the proposed subdivision.</p>
			Staff Comments	N/A as the townhouse sublots do not border a waterway.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.J.4	<p>4. All subdivisions which border on the Big Wood River, Trail Creek and Warm Springs Creek shall dedicate a twenty five foot (25') scenic easement upon which no permanent structure shall be built in order to protect the natural vegetation and wildlife along the riverbank and to protect structures from damage or loss due to riverbank erosion.</p>
			Staff Comments	N/A as the townhouse sublots do not border a waterway.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.J.5	<p>5. No ditch, pipe or structure for irrigation water or irrigation wastewater shall be constructed, rerouted or changed in the course of planning for or constructing required improvements within a proposed subdivision unless same has first been approved in writing by the ditch company or property owner holding the water rights. A written copy of such approval shall be filed as part of required improvement construction plans.</p>
			Staff Comments	N/A. No changes to ditches, pipes, or other irrigation structures are proposed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.J.6	<p>6. Nonvehicular transportation system easements including pedestrian walkways, bike paths, equestrian paths, and similar easements shall be dedicated by the subdivider to provide an adequate nonvehicular transportation system throughout the City.</p>

			Staff Comments	N/A. The townhouse sublots are within an existing residential neighborhood. The City Engineer has determined that sidewalks are not required for this project.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.K	K. Sanitary Sewage Disposal Improvements: Central sanitary sewer systems shall be installed in all subdivisions and connected to the Ketchum sewage treatment system as a required improvement by the subdivider. Construction plans and specifications for central sanitary sewer extension shall be prepared by the subdivider and approved by the City Engineer, Council and Idaho Health Department prior to final plat approval. In the event that the sanitary sewage system of a subdivision cannot connect to the existing public sewage system, alternative provisions for sewage disposal in accordance with the requirements of the Idaho Department of Health and the Council may be constructed on a temporary basis until such time as connection to the public sewage system is possible. In considering such alternative provisions, the Council may require an increase in the minimum lot size and may impose any other reasonable requirements which it deems necessary to protect public health, safety and welfare.
			Staff Comments	All townhome units will connect to the municipal sewer systems. The project shall meet all requirements of the Wastewater Department.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.L	L. Water System Improvements: A central domestic water distribution system shall be installed in all subdivisions by the subdivider as a required improvement. The subdivider shall also be required to locate and install an adequate number of fire hydrants within the proposed subdivision according to specifications and requirements of the City under the supervision of the Ketchum Fire Department and other regulatory agencies having jurisdiction. Furthermore, the central water system shall have sufficient flow for domestic use and adequate fire flow. All such water systems installed shall be looped extensions, and no dead end systems shall be permitted. All water systems shall be connected to the Municipal water system and shall meet the standards of the following agencies: Idaho Department of Public Health, Idaho Survey and Rating Bureau, District Sanitarian, Idaho State Public Utilities Commission, Idaho Department of Reclamation, and all requirements of the City.
			Staff Comments	The townhome development will connect to the municipal water system. All utilities necessary must be improved and installed at the sole expense of the applicant. Final plans will be reviewed and approved by the Utilities Department prior to issuance of a building permit for the project. See Table 1 for review comments and conditions from the Utilities Department.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.M	M. Planting Strip Improvements: Planting strips shall be required improvements. When a predominantly residential subdivision is proposed for land adjoining incompatible uses or features such as highways, railroads, commercial or light industrial districts or off street parking areas, the subdivider shall provide planting strips to screen the view of such incompatible features. The subdivider shall submit a landscaping plan

				for such planting strip with the preliminary plat application, and the landscaping shall be a required improvement.
			Staff Comments	N/A. The townhouse sublots are within an existing residential subdivision.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.N.1	<p>N. Cuts, Fills, And Grading Improvements: Proposed subdivisions shall be carefully planned to be compatible with natural topography, soil conditions, geology and hydrology of the site, as well as to minimize cuts, fills, alterations of topography, streams, drainage channels, and disruption of soils and vegetation. The design criteria shall include the following:</p> <p>1. A preliminary soil report prepared by a qualified engineer may be required by the commission and/or Council as part of the preliminary plat application.</p>
			Staff Comments	The project shall meet all cut, fill, and grading standards.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.N.2	<p>2. Preliminary grading plan prepared by a civil engineer shall be submitted as part of all preliminary plat applications. Such plan shall contain the following information:</p> <p>a. Proposed contours at a maximum of five foot (5') contour intervals.</p> <p>b. Cut and fill banks in pad elevations.</p> <p>c. Drainage patterns.</p> <p>d. Areas where trees and/or natural vegetation will be preserved.</p> <p>e. Location of all street and utility improvements including driveways to building envelopes.</p> <p>f. Any other information which may reasonably be required by the Administrator, commission or Council to adequately review the affect of the proposed improvements.</p>
			Staff Comments	The project plans include a grading plan on Sheet L2.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.N.3	3. Grading shall be designed to blend with natural landforms and to minimize the necessity of padding or terracing of building sites, excavation for foundations, and minimize the necessity of cuts and fills for streets and driveways.
			Staff Comments	The proposed grading meets these requirements.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.N.4	4. Areas within a subdivision which are not well suited for development because of existing soil conditions, steepness of slope, geology or hydrology shall be allocated for open space for the benefit of future property owners within the subdivision.
			Staff Comments	N/A. The townhome development is an infill project on a vacant lot surrounding by existing development.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.N.5	5. Where existing soils and vegetation are disrupted by subdivision development, provision shall be made by the subdivider for revegetation of disturbed areas with perennial vegetation sufficient to stabilize the soil upon completion of the construction. Until such times as such revegetation has been installed and established, the subdivider shall maintain and protect all disturbed surfaces from erosion.
			Staff Comments	The project shall meet this requirement regarding soil stabilization and revegetation.

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.N.6	<p>6. Where cuts, fills, or other excavations are necessary, the following development standards shall apply:</p> <p>a. Fill areas shall be prepared by removing all organic material detrimental to proper compaction for soil stability.</p> <p>b. Fills shall be compacted to at least ninety five percent (95%) of maximum density as determined by AASHO T99 (American Association of State Highway Officials) and ASTM D698 (American Standard Testing Methods).</p> <p>c. Cut slopes shall be no steeper than two horizontal to one vertical (2:1). Subsurface drainage shall be provided as necessary for stability.</p> <p>d. Fill slopes shall be no steeper than three horizontal to one vertical (3:1). Neither cut nor fill slopes shall be located on natural slopes of three to one (3:1) or steeper, or where fill slope toes out within twelve feet (12') horizontally of the top and existing or planned cut slope.</p> <p>e. Toes of cut and fill slopes shall be set back from property boundaries a distance of three feet (3'), plus one-fifth (1/5) of the height of the cut or the fill, but may not exceed a horizontal distance of ten feet (10'); tops and toes of cut and fill slopes shall be set back from structures at a distance of at least six feet (6'), plus one-fifth (1/5) of the height of the cut or the fill. Additional setback distances shall be provided as necessary to accommodate drainage features and drainage structures.</p>
			Staff Comments	The project shall meet these development standards.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.0	<p>O. Drainage Improvements: The subdivider shall submit with the preliminary plat application such maps, profiles, and other data prepared by an engineer to indicate the proper drainage of the surface water to natural drainage courses or storm drains, existing or proposed. The location and width of the natural drainage courses shall be shown as an easement common to all owners within the subdivision and the City on the preliminary and final plat. All natural drainage courses shall be left undisturbed or be improved in a manner that will increase the operating efficiency of the channel without overloading its capacity. An adequate storm and surface drainage system shall be a required improvement in all subdivisions and shall be installed by the subdivider. Culverts shall be required where all water or drainage courses intersect with streets, driveways or improved public easements and shall extend across and under the entire improved width including shoulders.</p>
			Staff Comments	<p>The drainage system must keep all storm water within the project site. Storm water is prohibited from draining onto the 7th Street or 2nd Avenue rights-of-way. All drainage improvements must meet city standards.</p> <p>Prior to issuance of a building permit for the project, the applicant shall submit a final drainage plan indicating grading, catch basins, piping, and drywells (KMC §17.96.040.C.2b & KMC §17.96.060.C.1-4) prepared by a civil engineer licensed in the state to be submitted for review and approval by the City Engineer and Streets Department. Additionally, the applicant shall submit geotechnical report with the building permit application for review by the City Engineer. As noted in the Utilities Department's comments, all drywells must</p>

				have proper separation from potable water lines. See Table 1 for City Department comments and conditions.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.P	P. Utilities: In addition to the terms mentioned in this section, all utilities including, but not limited to, electricity, natural gas, telephone and cable services shall be installed underground as a required improvement by the subdivider. Adequate provision for expansion of such services within the subdivision or to adjacent lands including installation of conduit pipe across and underneath streets shall be installed by the subdivider prior to construction of street improvements.
			Staff Comments	All utilities, including electricity, natural gas, telephone, and cable services, shall be installed underground.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.Q	Q. Off Site Improvements: Where the off site impact of a proposed subdivision is found by the commission or Council to create substantial additional traffic, improvements to alleviate that impact may be required of the subdivider prior to final plat approval, including, but not limited to, bridges, intersections, roads, traffic control devices, water mains and facilities, and sewer mains and facilities.
			Staff Comments	N/A. The townhouse subdivision does not trigger off-site improvements.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.R	R. Avalanche And Mountain Overlay: All improvements and plats (land, planned unit development, townhouse, condominium) created pursuant to this chapter shall comply with City of Ketchum Avalanche Zone District and Mountain Overlay Zoning District requirements as set forth in Title 17 of this Code.
			Staff Comments	N/A. The townhouse sublots are not located in the Avalanche or Mountain overlay zoning districts.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.S	S. Existing natural features which enhance the attractiveness of the subdivision and community, such as mature trees, watercourses, rock outcroppings, established shrub masses and historic areas, shall be preserved through design of the subdivision.
			Staff Comments	The applicant will install new landscaping as indicated on Sheet L-3.0 of the project plans.

STAFF RECOMMENDATION

After considering the project plans attached as Exhibit A, the applicant's presentation, staff's analysis, and any public comment received, Staff recommends the Commission provide feedback to the applicant and move to continue review of the Design Review application to a date certain.

EXHIBITS:

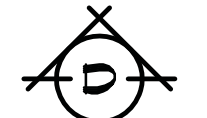
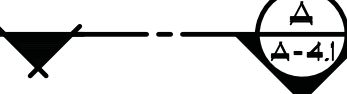

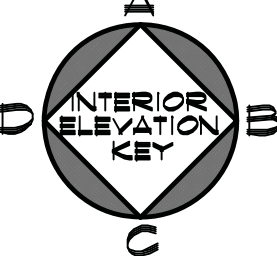
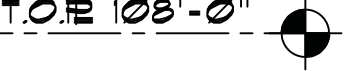





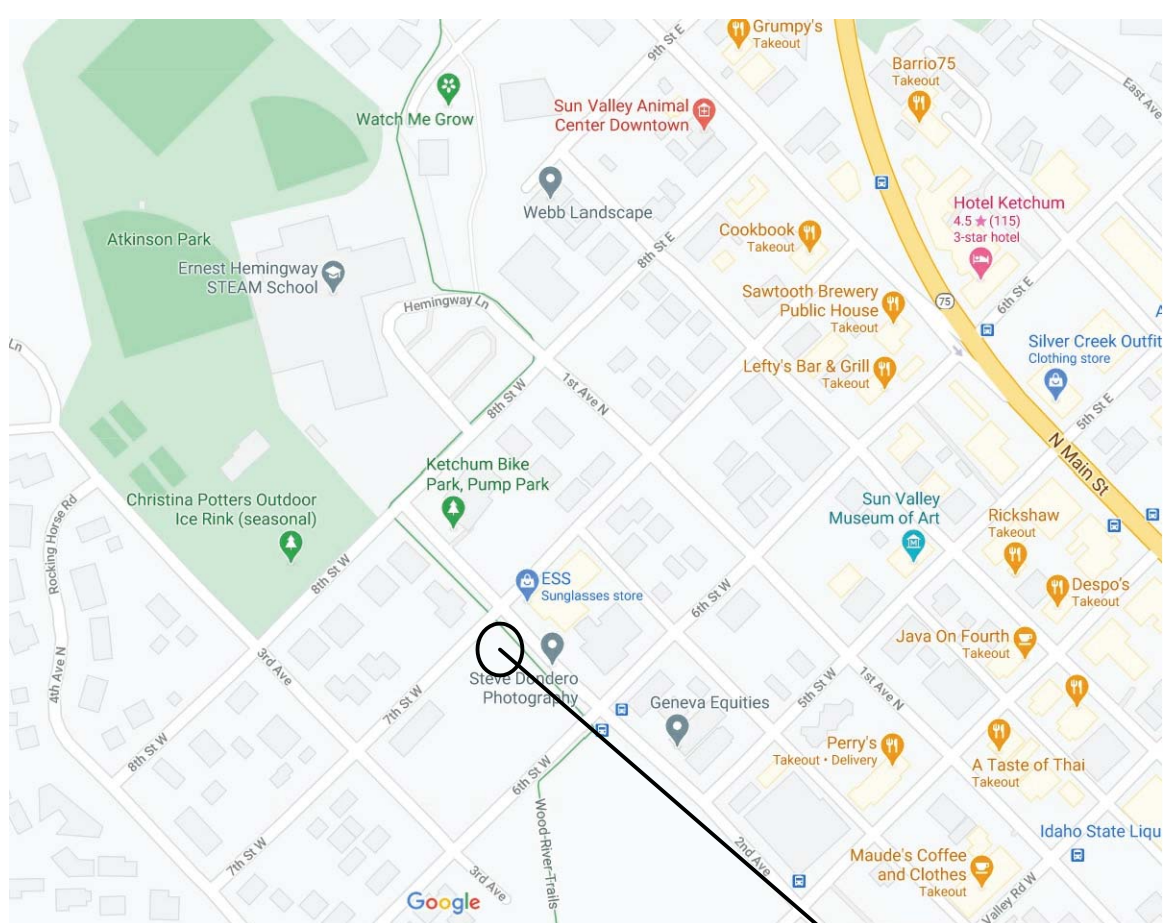
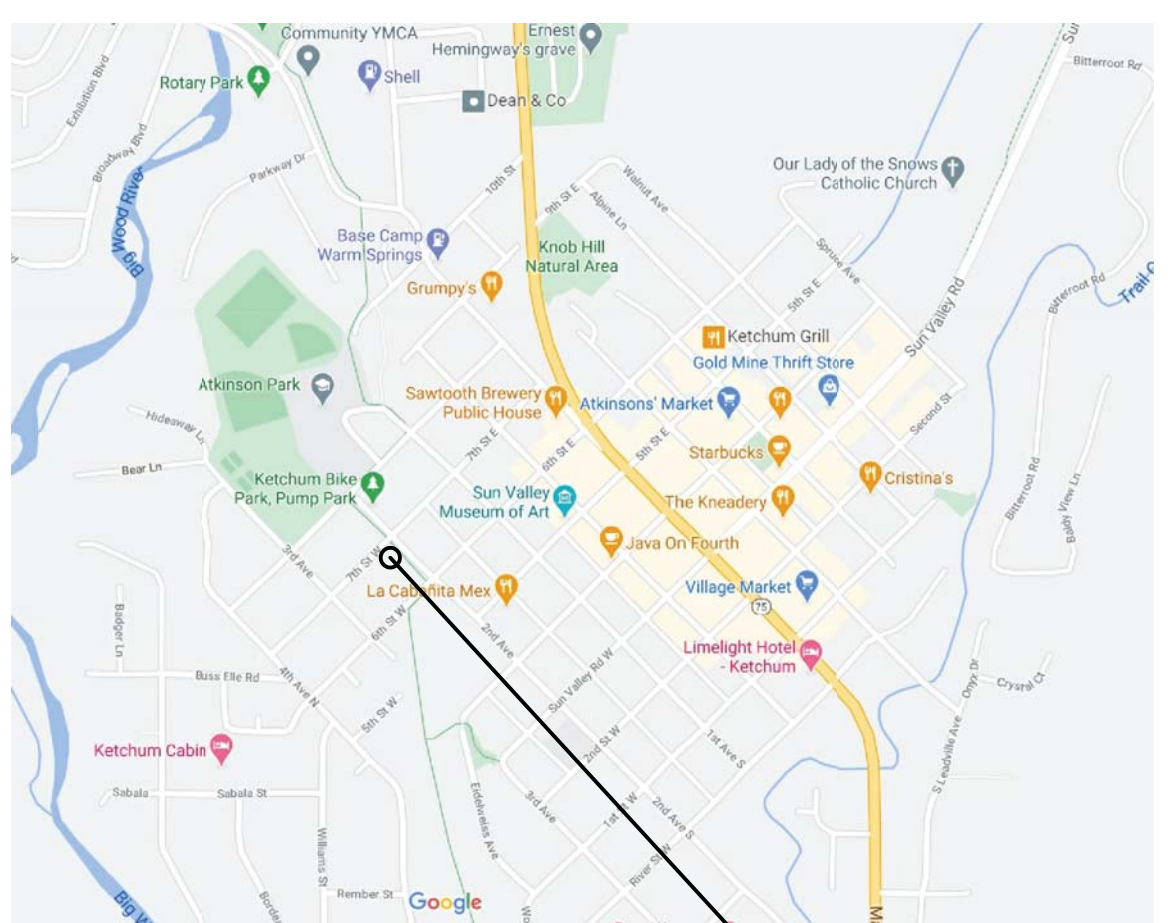
- A. Crossbuck McNee Townhomes Project Plans

Exhibit A:
Crossbuck McNee Townhomes
Project Plans

CROSSBUCK TOWNHOMES II

JUNE 21st, 2021

LOT 1A BLK 67
KETCHUM, ID 83340

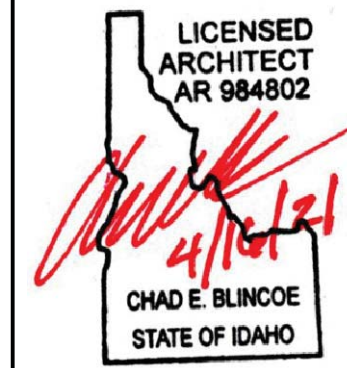
PROJECT TEAM	GENERAL NOTES:	CODE COMPLIANCE:	SHEET INDEX																								
<p>ARCHITECT: Blincoe Architecture POST OFFICE BOX 4424 KETCHUM, IDAHO 83340 (208) 720-1925</p> <p>STRUCTURAL ENGINEER: Konrad Stohler Structural Engineering 614 S. MAIN BELLEVUE, IDAHO 83913 (208) 928-7810</p> <p>LANDSCAPE ARCHITECT: Eggers Associates, P.A. P.O. BOX 953 KETCHUM, ID 83340 (208) 725-0988</p> <p>CIVIL ENGINEER: Galena Engineering, INC. 317 N. RIVER STREET HALEY, ID 83333 (208) 788-1105</p> <p>SURVEYOR: Alpine Enterprises Inc. 280 RIVER ST. E KETCHUM, ID 83340 (208) 727-1988</p>	<p>NOTE:</p> <ol style="list-style-type: none"> CONTRACTOR TO VERIFY ALL CONDITIONS AND DIMENSIONS AT SITE. ALL INCONSISTENCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH WORK. ANY ERRORS OR OMISSIONS FOUND IN THESE DRAWINGS SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. ALL DIMENSIONS ARE TO FACE OF STUD OR TO FACE OF FRAMING UNLESS OTHERWISE NOTED. ALL CONSTRUCTION MUST MEET OR EXCEED ALL LOCAL AND NATIONAL GOVERNING CODES AND ORDINANCES. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR SECURING AN AUTHORIZED BUILDING PERMIT AND NOTIFYING THE CITY OF KETCHUM DEPARTMENT, STATE ELECTRICAL, MECHANICAL, AND PLUMBING INSPECTORS FOR APPROPRIATE SITE INSPECTIONS. THE CONTRACTOR IS TO COORDINATE WORK TO MINIMIZE CONFLICTS WITH EXISTING LANDSCAPING TO PREVENT DAMAGE. THE CONTRACTOR IS TO COORDINATE DISPOSAL OF EXISTING WASTE, APPLICATION MATERIAL, AND TRASH. ALL MATERIAL MUST BE DISPOSED OF IN A SAFE AND PROFESSIONAL MANNER. THE UNDERTAKING OF PERIODIC SITE VISITS BY THE ARCHITECT SHALL NOT BE CONSIDERED AS SUPERVISION OF ACTUAL CONSTRUCTION, NOR MAKE HIM RESPONSIBLE FOR PROVIDING A SAFE PLACE FOR THE PERFORMANCE OF WORK BY THE CONTRACTOR, SUBCONTRACTORS, SUPPLIERS, OR THEIR EMPLOYEES. THE ARCHITECT HAS NOT BEEN COMPENSATED OR RETAINED TO PROVIDE DETAILING FOR WATERPROOFING AND ENVELOPE PENETRATIONS. ANY DEFERRED ITEMS ARE THE RESPONSIBILITY OF THE OWNER & GENERAL CONTRACTOR TO PROVIDE SPECIFICATIONS & DOCUMENTATION NEEDED FOR CONSTRUCTION. THE DOCUMENTS PROVIDED ARE BASED ON LIMITED ARCHITECTURAL SERVICE. 	<p>CODE COMPLIANCE:</p> <ol style="list-style-type: none"> MECHANICAL SYSTEMS AND VENTING TO REFLECT COMPLIANCE W/ THE 2018 INTERNATIONAL BUILDING CODE, (2018) INTERNATIONAL ENERGY CONSERVATION CODE, AND 2018 INTERNATIONAL MECHANICAL CODE. PLUMBING VENTING TO REFLECT COMPLIANCE W/ 2018 INTERNATIONAL BUILDING CODE AND (2018) INTERNATIONAL ENERGY CONSERVATION CODE. ALL ELECTRICAL SHALL CONFORM TO 2018 INTERNATIONAL BUILDING CODE, (2018) INTERNATIONAL ENERGY CONSERVATION CODE, AND 2017 NFPA 70 <p>ROOFING: * ALL ROOFING SHALL COMPLY WITH CHAPTER 18 OF THE 2018 INTERNATIONAL RESIDENTIAL CODE.</p> <p>STAIRWAYS: * ALL STAIRWAYS SHALL COMPLY WITH SECTION R301 OF THE 2018 INTERNATIONAL RESIDENTIAL CODE.</p> <p>BUILDING ENVELOPE: * SHALL COMPLY WITH SECTION 402 OF THE (2018) INTERNATIONAL ENERGY CONSERVATION CODE.</p> <p>LIGHTING EQUIPMENT: * SHALL COMPLY WITH SECTION R601 OF THE (2018) INTERNATIONAL ENERGY CONSERVATION CODE.</p> <p>ATTIC ACCESS: * SHALL COMPLY WITH SECTION 402 OF THE (2018) INTERNATIONAL ENERGY CONSERVATION CODE.</p> <p>CHIMNEYS AND FIREPLACES: * ALL CHIMNEYS AND FIREPLACES SHALL COMPLY WITH CHAPTER 18 OF THE 2018 INTERNATIONAL RESIDENTIAL CODE AND SECTION 402.4.2 OF THE (2018) INTERNATIONAL ENERGY CONSERVATION CODE.</p> <p>GLASS AND GLAZING: * SHALL COMPLY WITH SECTION R602 OF THE 2018 INTERNATIONAL RESIDENTIAL CODE.</p> <p>DUCTS: * SHALL COMPLY WITH SECTION 403 OF THE (2018) INTERNATIONAL ENERGY CONSERVATION CODE.</p> <p>CRAWLSPACE VENTING: * SHALL COMPLY WITH THE 2018 INTERNATIONAL RESIDENTIAL CODE.</p> <p>LIVING SPACE VENTILATION: * SHALL HAVE A RECOMMENDED AIR EXCHANGE OF .35 EXCHANGES PER PER HOUR. VERIFY WITH THE MECHANICAL SYSTEM.</p> <p>SOUND ISOLATION/TRANSMISSION * SHALL COMPLY WITH SECTION 720 AND SECTION 1207 OF THE 2018 INTERNATIONAL BUILDING CODE.</p>	<p>SHEET INDEX</p> <p>CS COVER SHEET</p> <p>00 PRELIMINARY FLAT</p> <p>01 ROW ENCROACHMENT PLAN</p> <p>02 CROSS SECTION</p> <p>03 UTILITY PLAN</p> <p>L-1 SITE PLAN</p> <p>L-11 UTILITY PLAN</p> <p>L-12 CONSTRUCTION MANAGEMENT PLAN</p> <p>L-2 GRADING PLAN</p> <p>L-3 LANDSCAPE PLAN</p> <p>BUILDING "A"</p> <p>A-1A BASEMENT/MAIN LEVEL FLOOR PLAN</p> <p>A-2A UPPER LEVEL FLOOR PLAN/ROOF PLAN</p> <p>A-3A BUILDING SECTIONS</p> <p>A-4A BUILDING SECTIONS</p> <p>A-5A EXTERIOR ELEVATIONS</p> <p>A-6A EXTERIOR ELEVATIONS</p> <p>A-7A EXHIBIT "A" IN COMPLIANCE ILLUSTRATION B</p> <p>BUILDING "B"</p> <p>A-1B BASEMENT LEVEL/MAIN LEVEL PLAN</p> <p>A-2B UPPER LEVEL FLOOR/ROOF PLAN</p> <p>A-3B BUILDING SECTIONS</p> <p>A-4B BUILDING SECTIONS</p> <p>A-5B EXTERIOR ELEVATIONS</p> <p>A-6B EXTERIOR ELEVATIONS</p> <p>MB MATERIAL BOARD</p> <p>PS EXTERIOR PERSPECTIVES</p>																								
<p>ARCHITECTURAL SYMBOLS</p> <p>INTERIOR ELEVATION CALL OUT: </p> <p>SECTION REFERENCE: </p> <p>DETAIL REFERENCE: </p> <p>INTERIOR ELEVATION KEY: </p> <p>ELEVATION CALL OUT: </p> <p>NORTH ARROW: </p> <p>ROOM NUMBER: </p> <p>DOOR REFERENCE: </p> <p>WINDOW REFERENCE: </p> <p>REVISION REFERENCE: </p>	<p>BUILDING DATA</p> <p>OCCUPANCY : R3</p> <p>CONSTRUCTION TYPE : VI WOOD FRAME</p> <p>SQUARE FOOTAGE : UNIT A</p> <table border="1" style="width:100%; border-collapse: collapse;"> <tr><td>BASEMENT LEVEL</td><td style="text-align: right;">586 #</td></tr> <tr><td>MAIN LEVEL AREA</td><td style="text-align: right;">1,076 #</td></tr> <tr><td>UPPER LEVEL AREA</td><td style="text-align: right;">899 #</td></tr> <tr><td>TOTAL LIVING:</td><td style="text-align: right;">2,561 #</td></tr> <tr><td>GARAGE</td><td style="text-align: right;">529 #</td></tr> <tr><td>TOTAL:</td><td style="text-align: right;">3,084 #</td></tr> </table> <p>: UNIT B</p> <table border="1" style="width:100%; border-collapse: collapse;"> <tr><td>BASEMENT</td><td style="text-align: right;">847 #</td></tr> <tr><td>MAIN LEVEL AREA</td><td style="text-align: right;">892 #</td></tr> <tr><td>UPPER LEVEL AREA</td><td style="text-align: right;">1,202 #</td></tr> <tr><td>TOTAL LIVING:</td><td style="text-align: right;">2,941 #</td></tr> <tr><td>GARAGE</td><td style="text-align: right;">462 #</td></tr> <tr><td>TOTAL:</td><td style="text-align: right;">3,403 #</td></tr> </table> <p>TOTAL LOT COVERAGE : 34.9%</p> <p>PROPERTY AREA : 0.19 ACRE</p> <p>BUILDING CODE : 2018 INTERNATIONAL RESIDENTIAL CODE AS ADOPTED BY THE CITY OF KETCHUM</p> <p>: 2018 INTERNATIONAL FIRE CODE AS ADOPTED BY THE CITY OF KETCHUM</p> <p>: 2018 INTERNATIONAL ENERGY CONSERVATION CODE AS ADOPTED BY THE CITY OF KETCHUM</p> <p>ZONING : GR-L</p> <p>PHYSICAL ADDRESS :</p> <p>LEGAL DESCRIPTION : LOT 1A BLK 67</p> <p>PARCEL NUMBER : RPK0000067001A</p> <p>CITY OF KETCHUM BUILDING DEPARTMENT.</p> <p>CITY OF KETCHUM FIRE DEPARTMENT</p>	BASEMENT LEVEL	586 #	MAIN LEVEL AREA	1,076 #	UPPER LEVEL AREA	899 #	TOTAL LIVING:	2,561 #	GARAGE	529 #	TOTAL:	3,084 #	BASEMENT	847 #	MAIN LEVEL AREA	892 #	UPPER LEVEL AREA	1,202 #	TOTAL LIVING:	2,941 #	GARAGE	462 #	TOTAL:	3,403 #	<p>ENERGY REPORT</p>	<p>NEIGHBORHOOD MAP</p>  <p style="text-align: center;">PROJECT LOCATION</p>
BASEMENT LEVEL	586 #																										
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TOTAL:	3,403 #																										
		<p>VICINITY MAP</p>  <p style="text-align: center;">SITE</p>																									

DESIGN REVIEW SET-REVISED
NOT FOR CONSTRUCTION

www.BlincoeArchitecture.com

Blincoe Architecture

UP/S/REG/EC
251 Northwood Way Suite E
Ketchum, Idaho 83340
Tel: 208-720-1925
Email: info@blincoearchitecture.com



CHAD E. BLINCOE
STATE OF IDAHO

CROSSBUCK TOWNHOMES II

LOT 1A BLK 67
KETCHUM, ID 83340





JOB #: 008.20

PLOT DATE: 4/6/21

DESIGN REVIEW: 3/4/21

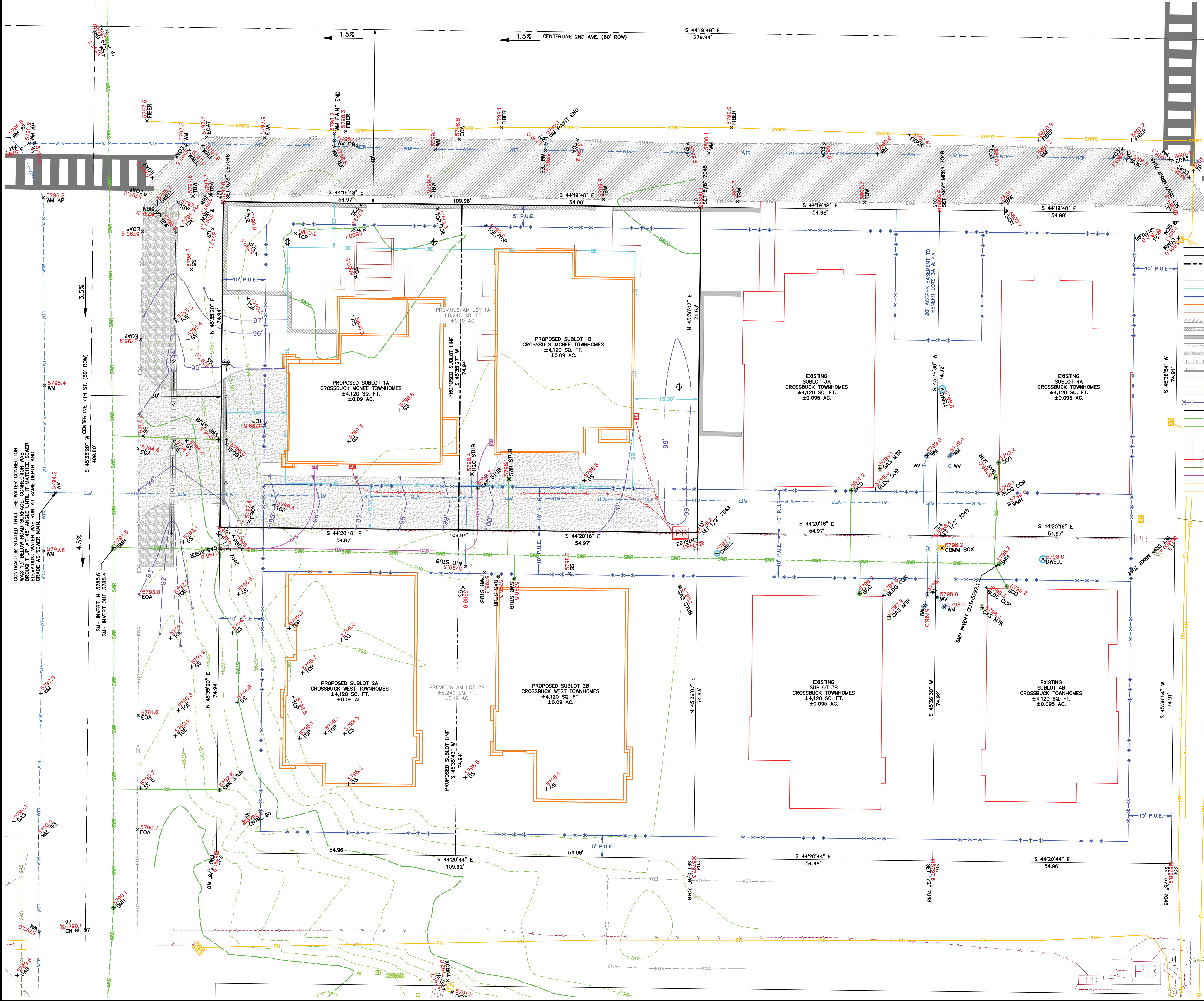
PERMIT: CONSTRUCTION:

REVISIONS:

-  DESIGN REVIEW 3/4/21
-  DESIGN REVIEW UPDATE 4/6/21
-  PERMIT SET 4/16/21
-  DESIGN REVIEW SET-RVSD 6/21/21

CS

OWNERSHIP OF DOCUMENTS: This Drawing and specifications are instruments of service and are the property of the Architect, Blincoe Architecture and is not to be used, in whole or in part, for any other project without written authorization.



LEGEND

- Subject Boundary
- Adjoier Boundary
- Proposed Lot Line
- EOA = Edge of Asphalt
- CL = Road Centerline
- BE = Building Envelope
- PUE = Public Utility Easement
- Proposed Structure
- Proposed Deck & Walkway
- Bike Path
- Proposed Retaining Wall
- Existing Retaining Wall
- Proposed Driveway
- Proposed Granular Fill
- Proposed 12" CMP Culvert
- Proposed Trench Drain
- Existing Structure
- Existing 5' Major Contour
- Existing 1' Minor Contour
- Proposed Contour
- FL = Proposed Flowline
- SWR = Sewer Main
- SS = Sewer Service
- WTR = Water Main
- WS = Water Service
- PWR = Buried Power
- Proposed Buried Power Service
- GAS = Buried Gas
- Propose Buried Gas Service
- PH = Buried Phone
- FIBER = Buried Syringa Fiber-Optic
- FND 5/8" = Found 5/8" Rebar
- FND 1/2" = Found 1/2" Rebar
- CNTRL = Survey Control
- WV = Water Valve
- WM = Water Meter
- Water Service Stub
- DWELL = Existing Catch Basin
- DWELL = Existing Dry Well
- Proposed Dry Well
- SMH = Sewer Manhole
- SCO = Sewer Cleanout
- Sewer Service Stub
- PBOX = Existing Power Transformer/Meter
- Proposed Power Transformer/Meter
- GM = Existing Gas Meter
- Gas Riser
- Gas Service Stub
- Proposed Gas Meter
- COMM = Communications Box
- Sign
- IC Illegible Cap
- GS Ground Elevation
- TOP Top of Slope
- TOE Toe of Slope
- TBW Top Back of Walkway
- BLDG Building
- COR Corner

NOTES

- 1) Basis of Bearing is Idaho State Plane Coordinate System, NAD83(1992), Central Zone, at Grid, in US Survey Feet. Combined Scale Factor is 0.9968071. Ground Distances will be slightly longer. Vertical Datum is NAVD1988.
- 2) Boundary Information is from the Plat of Village of Ketchum; Found Monuments; Lots 1A, 2A, 3A, & 4A, Block 67, Ketchum Townsite, Instrument Number 658996; Crossbuck Townhomes: Phase 3, Instrument Number 667284; Records of Blaine County, Idaho.
- 3) Current Zoning is City of Ketchum, General Residential Low-Density, GR-L.
- 4) Utility Locations shown are based on visual surface evidence. Utility locations should be verified before any excavation.
- 5) Name and address of Owner/Subdivider:
MMDM11 LLC.
PO Box 2028
Sun Valley, ID 83353
- 6) 5) Sublots shall have Mutual Reciprocal Utility Easements for Use, Maintenance and Repair.
- 7) A Driveway Access Easement on Sublot 1A to benefit Sublot 1B will be provided on the Final Plat.

CONTRACTOR STATED THAT THE WATER CONNECTION WAS 13" BELOW ROAD SURFACE. CONNECTION WAS MADE TO EXISTING WATER MAIN. WATER MAIN DEPTH AND GRADE AS SEWER MAIN.

PROJECT PATH AND PRINT DATE: U:\LandProjects\2004\1274_KetchumBlk67\1-4.dwg\1274_CrossbuckTownHomes_Lts1A-1B_PrePlat_2021.dwg 6/24/2021 10:47:49 AM MDT

DESIGN REVIEW SET - CLARIFICATION UPDATES

NO	DATE	BY

REVISIONS

Alpine Enterprises Inc.
Surveying, Mapping, Civil Engineering
and Natural Hazards Consulting
660 Bell Drive, Unit 1
P.O. Box 2037, Ketchum, ID 83340 USA
(208) 727-1988 727-1987 fax
email: bsrnth@alpineenterprisesinc.com

A PRELIMINARY PLAT SHOWING
CROSSBUCK MCNEE TOWNHOMES ON LOT 1A, BLOCK 67, VILLAGE OF KETCHUM
WITHIN S13, T.4N., R.17E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR MMDM11 LLC.

PROFESSIONAL LAND SURVEYOR
7048
24JUN21
STATE OF IDAHO
BRUCE D. HILLIARD

Sheet 1 of 1



The USDA-FSA Aerial Photography Field office asks to be credited in derived products.



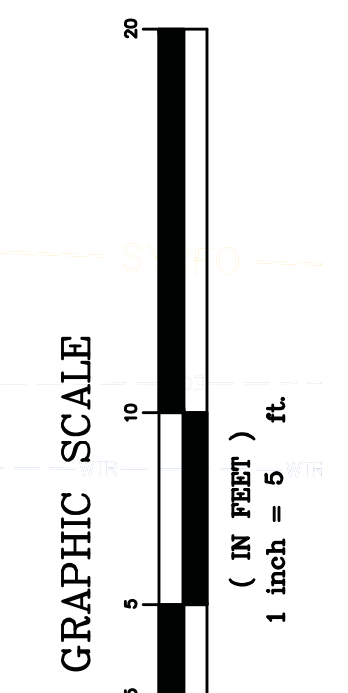
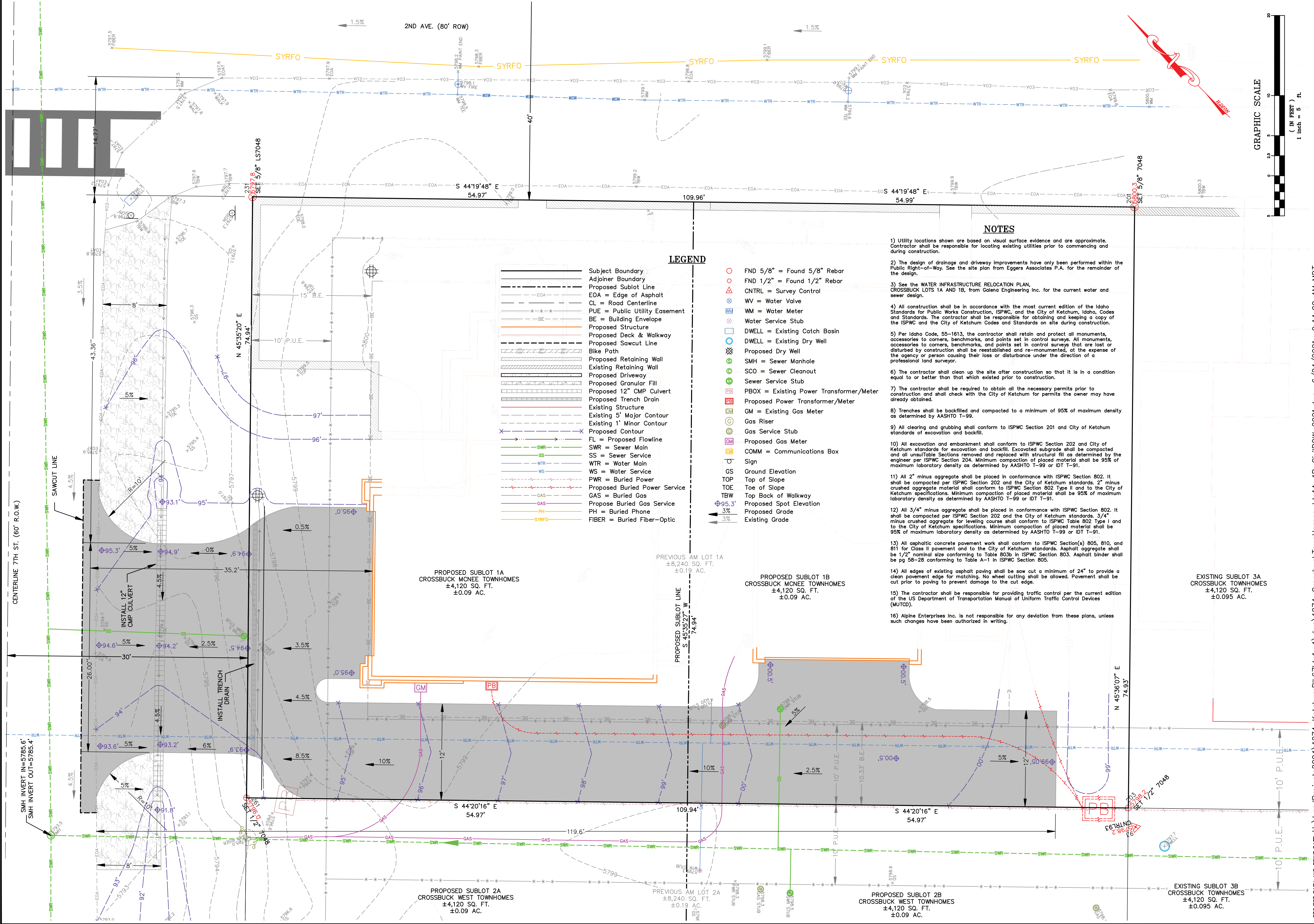
A Vicinity Map Showing
Crossbuck McNeen Townhomes
City of Ketchum
Blaine County, Idaho

ALPINE ENTERPRISES INC.

PO Box 2037
660 Bell Drive, Unit1
Ketchum, Idaho
208-727-1988

1 inch = 100 feet

March 2021



LEGEND

- Subject Boundary
- Adjoiner Boundary
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- ⊕ Sign
- ⊕ GS Ground Elevation
- ⊕ TOP Top of Slope
- ⊕ TOE Toe of Slope
- ⊕ TBW Top Back of Walkway
- ⊕ Proposed Spot Elevation
- ⊕ Proposed Grade
- ⊕ Existing Grade

NOTES

- 1) Utility locations shown are based on visual surface evidence and are approximate. Contractor shall be responsible for locating existing utilities prior to commencing and during construction.
- 2) The design of drainage and driveway improvements have only been performed within the Public Right-of-Way. See the site plan from Eggers Associates P.A. for the remainder of the design.
- 3) See the WATER INFRASTRUCTURE RELOCATION PLAN, CROSSBUCK LOTS 1A AND 1B, from Galena Engineering Inc. for the current water and sewer design.
- 4) All construction shall be in accordance with the most current edition of the Idaho Standards for Public Works Construction, ISPWC, and the City of Ketchum, Idaho, Codes and Standards. The contractor shall be responsible for obtaining and keeping a copy of the ISPWC and the City of Ketchum Codes and Standards on site during construction.
- 5) Per Idaho Code, 55-1613, the contractor shall retain and protect all monuments, accessories to corners, benchmarks, and points set in control surveys. All monuments, accessories to corners, benchmarks, and points set in control surveys that are lost or disturbed by construction shall be reestablished and re-monumented, at the expense of the agency or person causing their loss or disturbance under the direction of a professional land surveyor.
- 6) The contractor shall clean up the site after construction so that it is in a condition equal to or better than that which existed prior to construction.
- 7) The contractor shall be required to obtain all the necessary permits prior to construction and shall check with the City of Ketchum for permits the owner may have already obtained.
- 8) Trenches shall be backfilled and compacted to a minimum of 95% of maximum density as determined by AASHTO T-99.
- 9) All clearing and grubbing shall conform to ISPWC Section 201 and City of Ketchum standards of excavation and backfill.
- 10) All excavation and embankment shall conform to ISPWC Section 202 and City of Ketchum standards for excavation and backfill. Excavated subgrade shall be compacted and all unsuitable Sections removed and replaced with structural fill as determined by the engineer per ISPWC Section 204. Minimum compaction of placed material shall be 95% of maximum laboratory density as determined by AASHTO T-99 or IDT T-91.
- 11) All 2" minus aggregate shall be placed in conformance with ISPWC Section 802. It shall be compacted per ISPWC Section 202 and the City of Ketchum standards. 2" minus crushed aggregate material shall conform to ISPWC Section 802 Type II and to the City of Ketchum specifications. Minimum compaction of placed material shall be 95% of maximum laboratory density as determined by AASHTO T-99 or IDT T-91.
- 12) All 3/4" minus aggregate shall be placed in conformance with ISPWC Section 802. It shall be compacted per ISPWC Section 202 and the City of Ketchum standards. 3/4" minus crushed aggregate for leveling course shall conform to ISPWC Table 802 Type I and to the City of Ketchum specifications. Minimum compaction of placed material shall be 95% of maximum laboratory density as determined by AASHTO T-99 or IDT T-91.
- 13) All asphaltic concrete pavement work shall conform to ISPWC Section(s) 805, 810, and 811 for Class II pavement and to the City of Ketchum standards. Asphalt aggregate shall be 1/2" nominal size conforming to Table 803b in ISPWC Section 803. Asphalt binder shall be pg 58-28 conforming to Table A-1 in ISPWC Section 805.
- 14) All edges of existing asphalt paving shall be saw cut a minimum of 24" to provide a clean pavement edge for matching. No wheel cutting shall be allowed. Pavement shall be cut prior to paving to prevent damage to the cut edge.
- 15) The contractor shall be responsible for providing traffic control per the current edition of the US Department of Transportation Manual of Uniform Traffic Control Devices (MUTCD).
- 16) Alpine Enterprises Inc. is not responsible for any deviation from these plans, unless such changes have been authorized in writing.

A ROW ENCROACHMENT PLAN SHOWING
CROSSBUCK MCNEE TOWNHOMES ON LOT 1A, BLOCK 67, VILLAGE OF KETCHUM
WITHIN S13, T.4N., R.17E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR MMDM11 LLC.

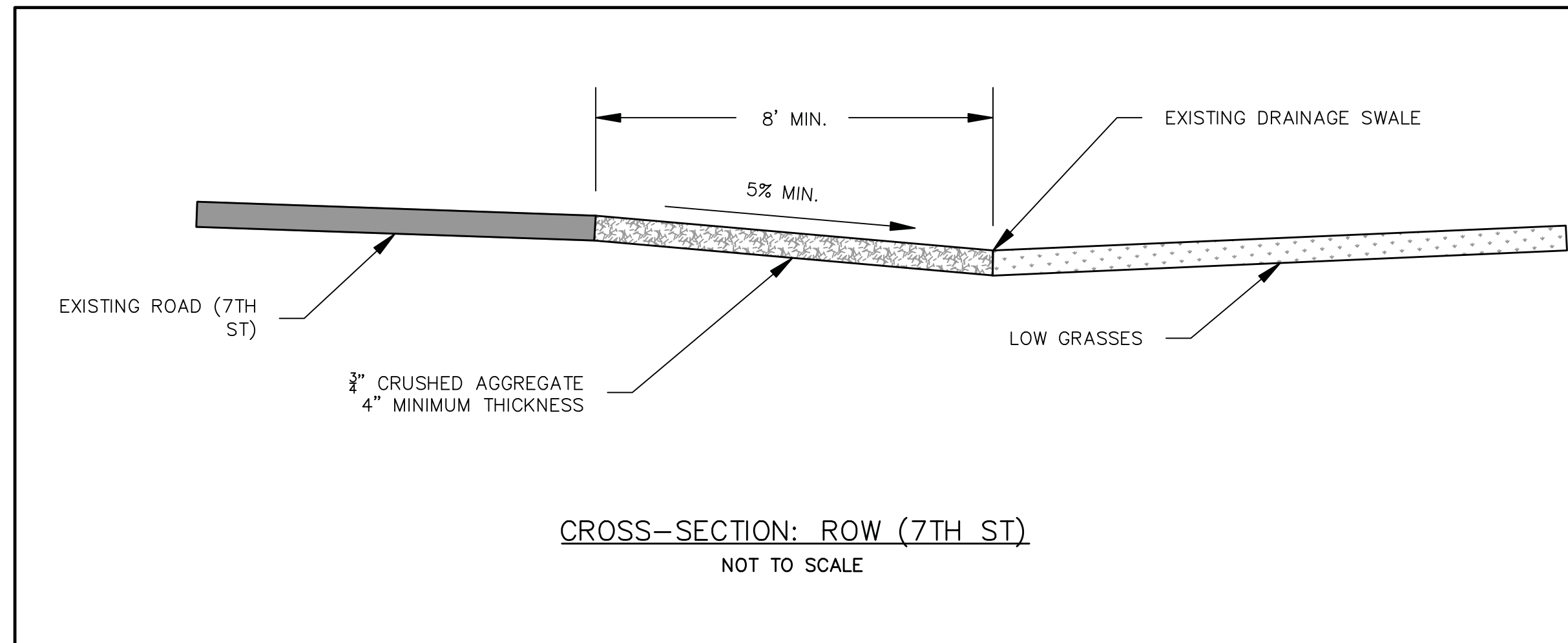
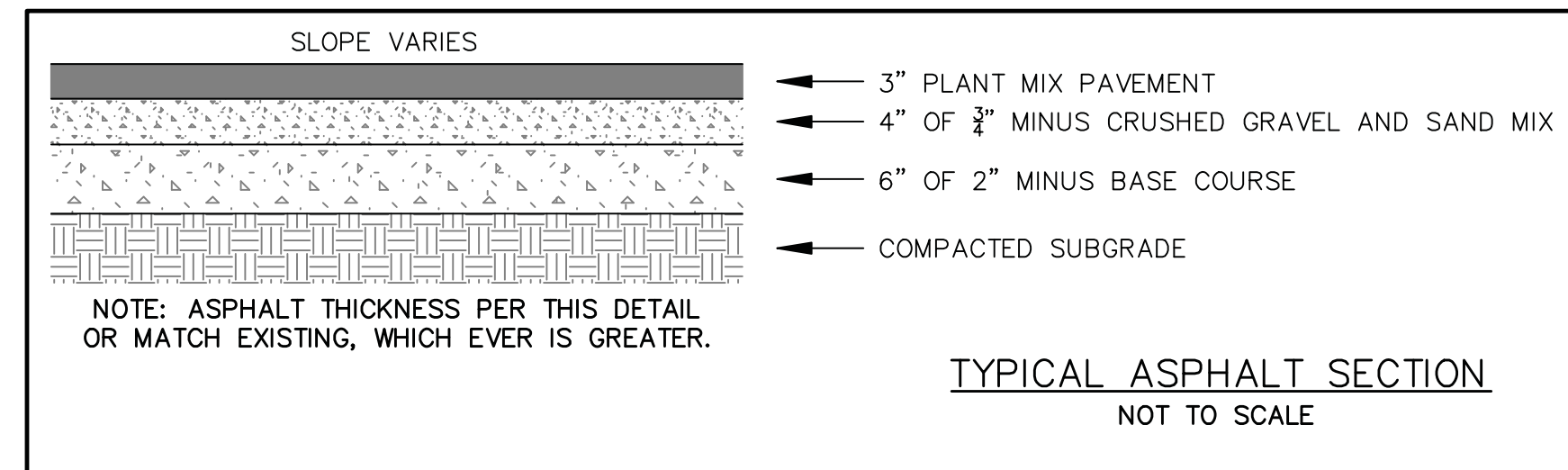
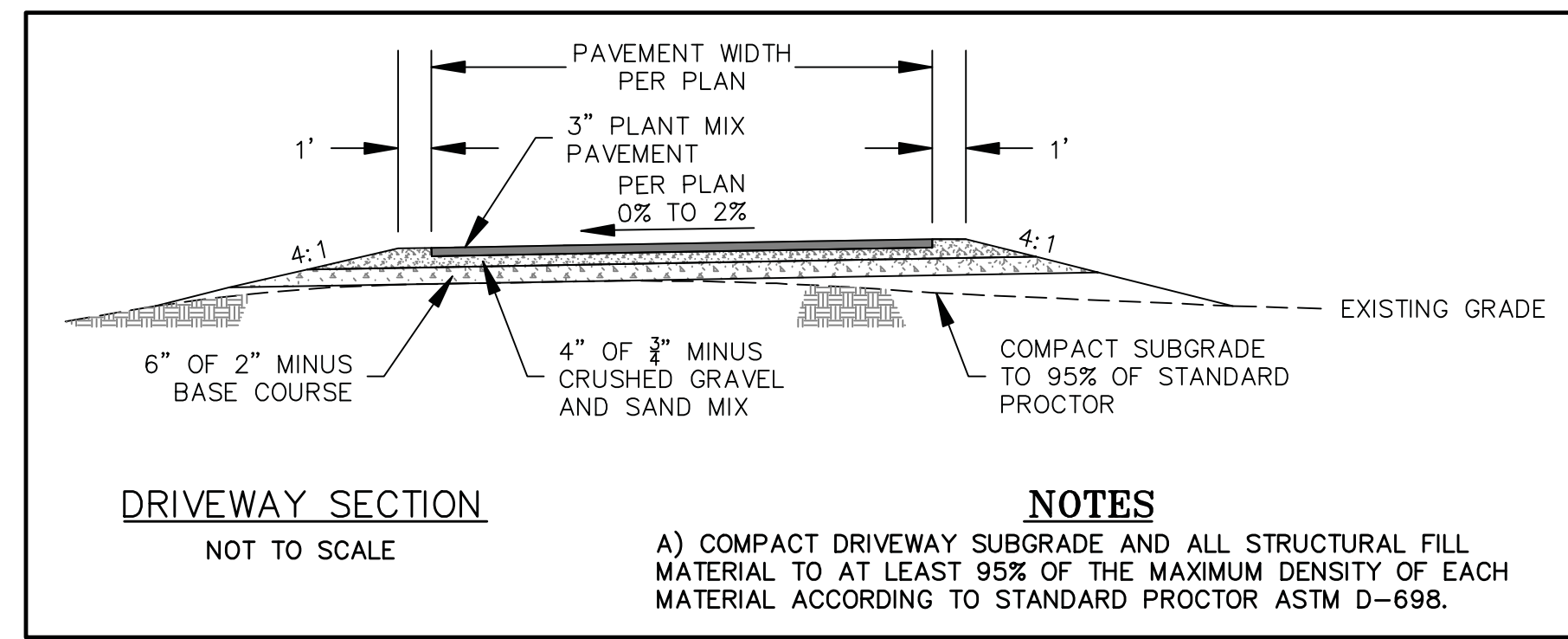
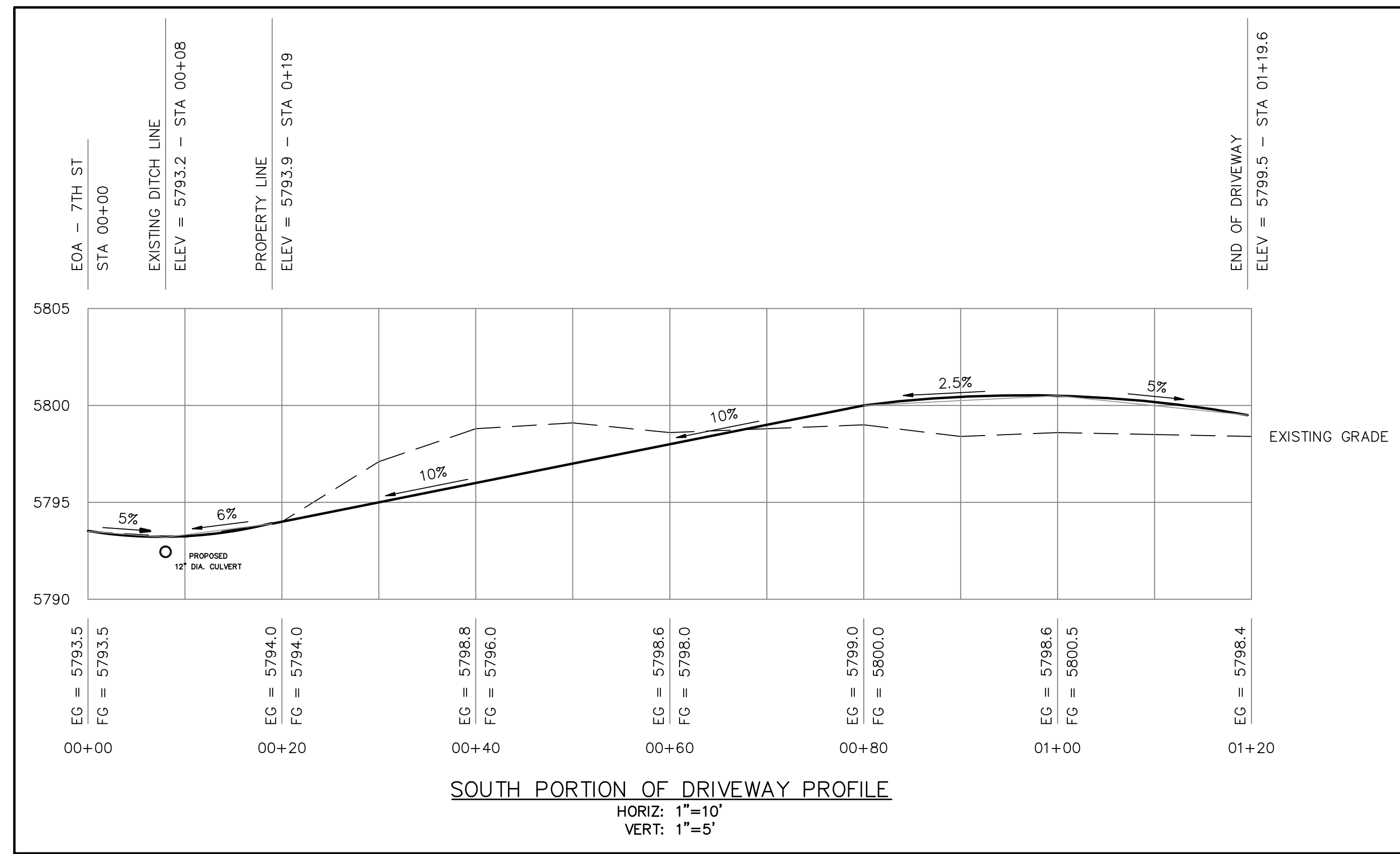
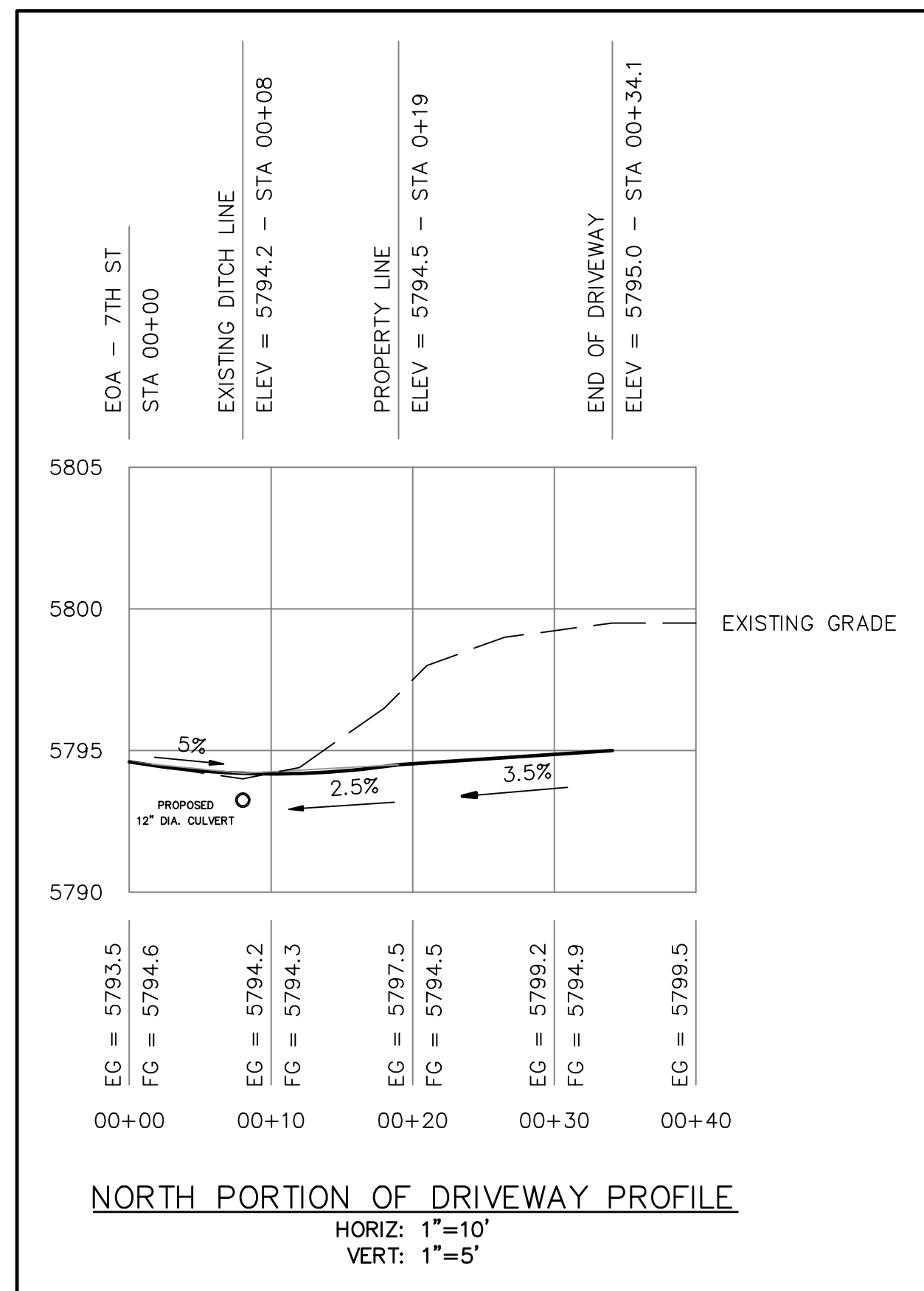
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Alpine Enterprises Inc.
Surveying, Mapping, Civil Engineering
and Natural Hazards Consulting
660 Bell Drive, Unit 1
P.O. Box 2037, Ketchum, ID 83340 USA
(208) 727-1988 727-1987 fax
email: bsrmi@alpineenterprisesinc.com

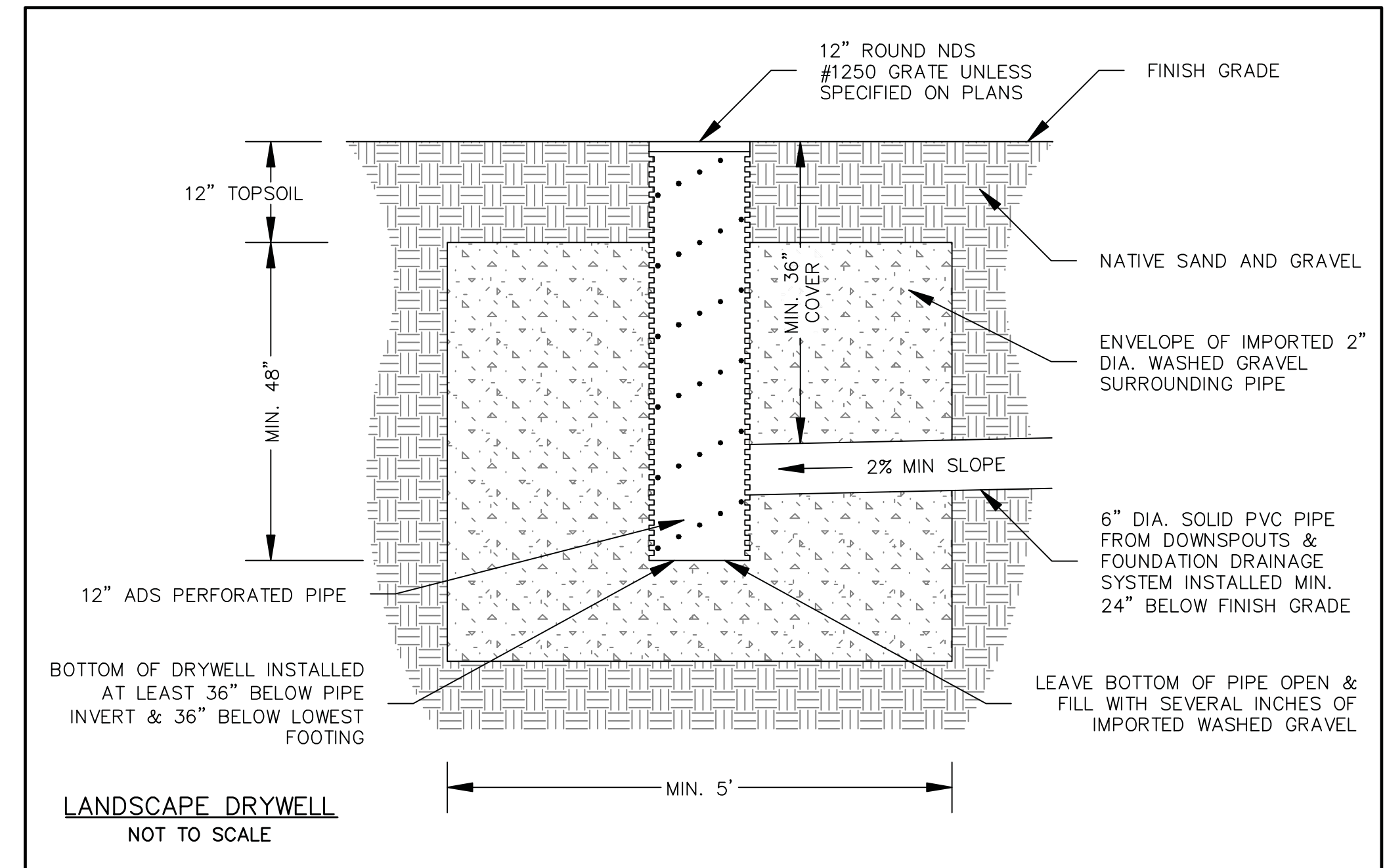
NO	DATE	BY

DESIGN REVIEW SET-CLARIFICATION UPDATES
PRELIMINARY ONLY- NOT FOR CONSTRUCTION
DESIGN REVIEW SUBMITTAL

Sheet 1 of 2



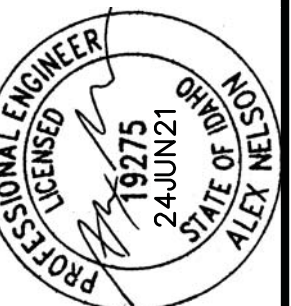
- NOTES**
- A) Material shall be pervious/permeable to allow drainage.
 - B) Surface must allow for vehicle parking and be consistent along the entire property frontage.
 - C) Material within the first eight (8) feet from edge of asphalt (Street) shall be distinct from driveway and rest of property in order to visually appear available for parking.
 - D) Grading and drainage improvements as required by City Engineer - Minimum 5% slope.
 - E) No obstructions, such as boulders or berms.
 - F) No buried irrigation systems within the first eight (8) feet the edge of asphalt (Street). Surface irrigation lines are permitted beyond the first eight (8) feet, however pop-up heads are not permitted anywhere in the ROW.
 - G) No live plant material within the first eight (8) feet from edge of asphalt (Street). Low ground cover plant material, such as turf grass, is permitted beyond the first eight (8) feet. Drought-tolerant species is preferred.
 - H) No snow-melt system (other than driveway).



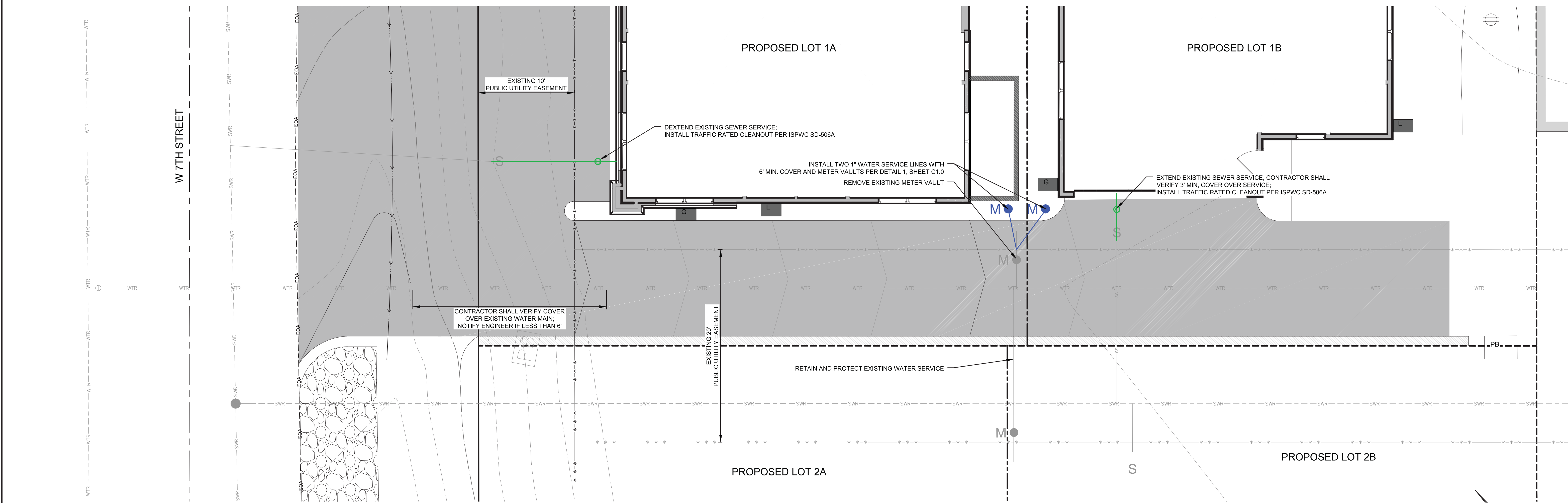
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NO	DATE	BY

Alpine Enterprises Inc.
 Surveying, Mapping, Civil Engineering
 and Natural Hazards Consulting
 660 Bell Drive, Unit 1
 P.O. Box 2037, Ketchum, ID 83340 USA
 (208) 727-1988 727-1987 fax
 email: bsrsmith@alpineenterprisesinc.com



A ROW ENCROACHMENT PLAN SHOWING
 CROSSBUCK MCNEE TOWNHOMES ON LOT 1A, BLOCK 67, VILLAGE OF KETCHUM
 WITHIN S13, T.4N., R.17E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
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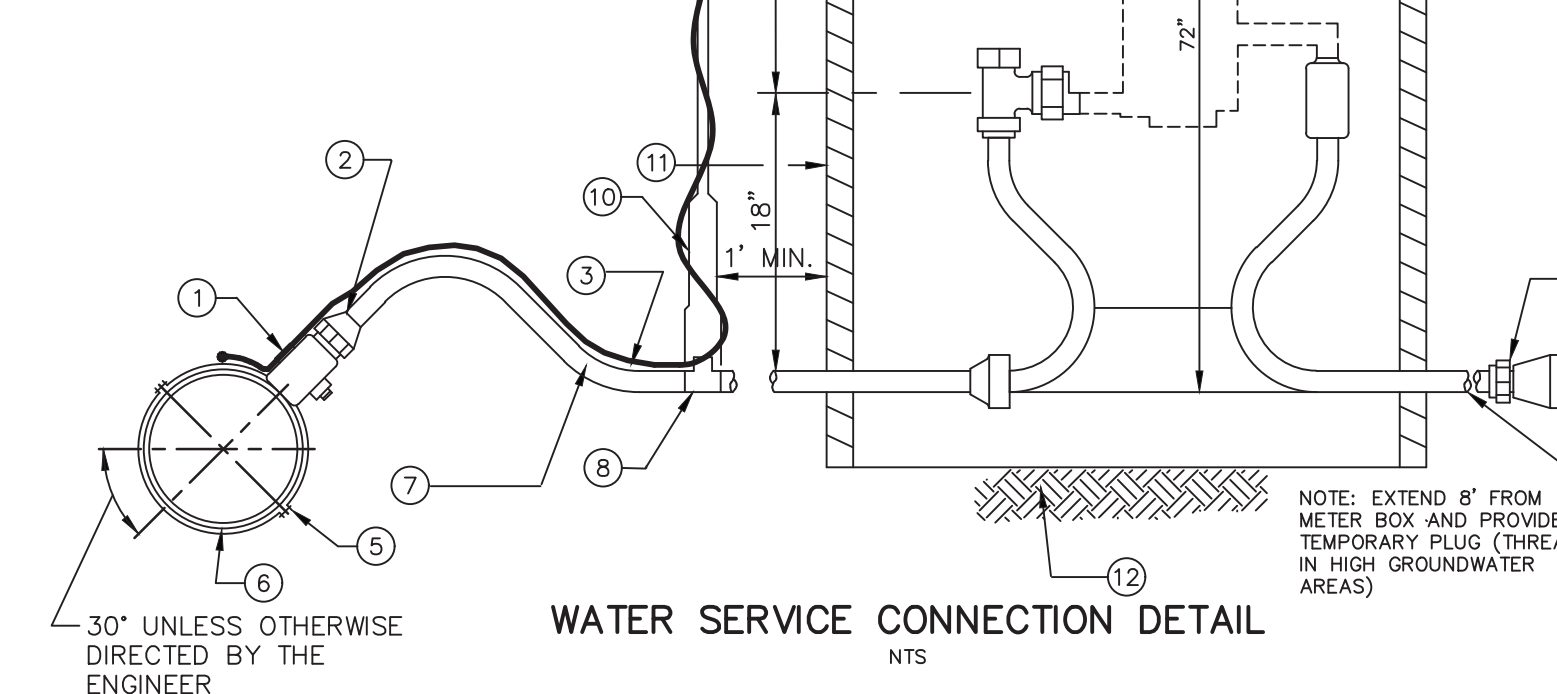


CONSTRUCTION NOTES

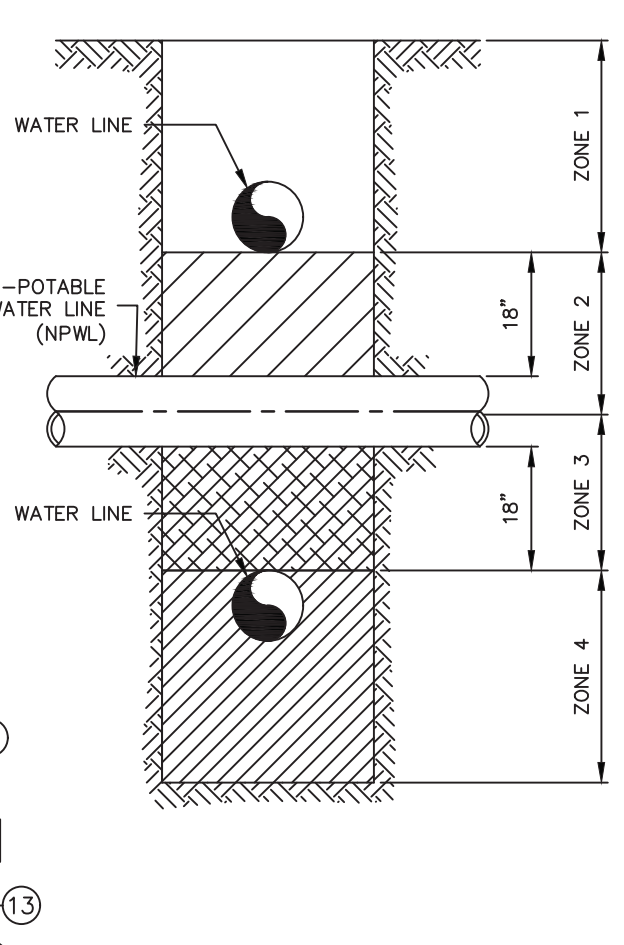
1. ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE 'IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION' (ISPCW) AND CITY OF KETCHUM STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ISPCW AND CITY OF KETCHUM STANDARDS ON SITE DURING CONSTRUCTION.
2. THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES PRIOR TO COMMENCING AND DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL CALL DIGLINE (1-800-342-1585) TO LOCATE ALL EXISTING UNDERGROUND UTILITIES A MINIMUM OF 48 HOURS IN ADVANCE OF EXCAVATION.
3. CONTRACTOR SHALL COORDINATE RELOCATIONS OF DRY UTILITY FACILITIES (POWER, CABLE, PHONE, TV) WITH THE APPROPRIATE UTILITY FRANCHISE. PROPOSED LOCATIONS SHOWN HEREON ARE PER THE LANDSCAPE ARCHITECT.
4. THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION.
5. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION (THIS MAY INCLUDE ENCROACHMENT PERMITS AND NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION GENERAL PERMIT (CGP) PERMIT COVERAGE).
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL PER THE CURRENT EDITION OF THE US DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
7. ALL TRENCHING SHALL CONFORM TO ISPCW STANDARD DRAWING SD-301. TRENCHES SHALL BE BACKFILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
8. PER IDAHO CODE § 55-1613, THE CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS; ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS THAT ARE LOST OR DISTURBED BY CONSTRUCTION SHALL BE REESTABLISHED AND RE-MONUMENTED, AT THE EXPENSE OF THE AGENCY OR PERSON CAUSING THEIR LOSS OR DISTURBANCE AT THEIR ORIGINAL LOCATION OR BY SETTING OF A WITNESS CORNER OR REFERENCE POINT OR A REPLACEMENT BENCHMARK OR CONTROL POINT, BY OR UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR.
9. CONSTRUCTION OF WATER MAINS AND ALL OTHER RELATED APPURTENANCES SHALL BE IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPCW), IDAPA 58.01.08, IDAHO RULES FOR PUBLIC DRINKING WATER SYSTEMS AND THE CITY OF KETCHUM UTILITIES DEPARTMENT STANDARDS.
10. CONTRACTOR SHALL PRESSURE TEST, DISINFECT, AND CONDUCT BIOLOGICAL TESTING IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPCW), AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS, AND THE PRESSURE TESTING, DISINFECTION, AND MICROBIOLOGICAL TESTING PROCEDURES.
11. ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL BE ANSINFS STD. 61 COMPLIANT.
12. ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL COMPLY WITH THE LOW LEAD ACT REQUIRING ALL MATERIALS TO HAVE A LEAD CONTENT EQUAL TO OR LESS THAN 0.25%.
13. THE CONTRACTOR SHALL USE ANSINFS STANDARD 60 CHEMICALS AND COMPOUNDS DURING INSTALLATION & DISINFECTION OF POTABLE WATER MAIN.
14. EXISTING CONDITIONS AND BOUNDARY INFORMATION SHOWN HEREON ARE PER A SURVEY CONDUCTED BY ALPINE ENTERPRISES, ON-SITE EXISTING WATER AND SEWER INFRASTRUCTURE SHOWN HEREON PER AS-BUILT DRAWINGS BY GALENA ENGINEERING, DATED AUGUST 2020.
15. PROPOSED SITE IMPROVEMENTS SHOWN HEREON ARE PER THE LANDSCAPE ARCHITECT.

NOTES:

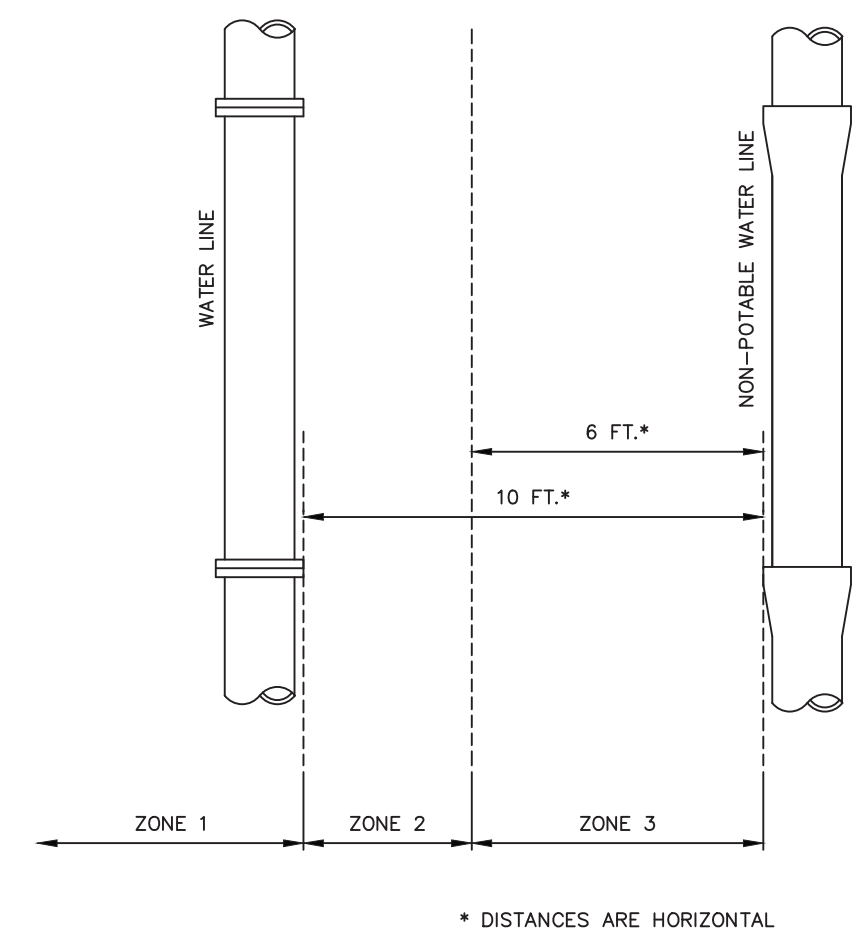
- A) ALL PRODUCTS AS LISTED OR APPROVED SUBSTITUTIONS.
- B) NO GALVANIZED PIPE OR YELLOW BRASS FITTINGS TO BE USED.
- C) SERVICE PIPE: ULTRA HIGH MOLECULAR WEIGHT POLYETHYLENE PIPE SDR 9, GLASS 200 IN IRON PIPE SIZE (DRISCO PIPE 8600 ULTRA LINE) 1".
- D) SADDLE COUPLINGS: USED FOR CONNECTION OF ALL SERVICE LINES TO PVC MAIN SERVICE SADDLES. EPOXY COATED STEEL WITH STAINLESS STEEL BAND AND MUELLER THREADS, TYPE IPS.
- E) NO SERVICE CONNECTIONS WITHIN 18 INCHES OF THE PIPE ENDS. STAGGER MULTIPLE CONNECTIONS MADE ON THE SAME JOINT OF PIPE ALONG THE CIRCUMFERENCE AND SEPARATED BY A MINIMUM OF 18 INCHES OR 2.5X PIPE MAXIMUM TWO (2) SERVICE CONNECTIONS PER STICK OF PIPE.
- F) ELEVATION SET OF METER LID PER LOCAL REQUIREMENTS.



- LEGEND**
- 1 CORP STOP WITH COMPRESSION COUPLING FORD MODEL F-1100 OR APPROVED EQUAL
 - 2 MUELLER H-15072
 - 3 NO. 12 COPPER FINDER WIRE. SEE SD-514 FOR SPLICING
 - 4 MUELLER 18" DIA OPENING LID OR APPROVED EQUAL
 - 5 2" DIA HOLE IN LID FOR RADIO READ UNIT
 - 6 LIDS AND FRAMES LOCATED IN PAVED OR GRAVEL AREAS WHICH WILL RECEIVE VEHICULAR TRAFFIC SHALL BE H=20 RATED, D&L SUPPLY D-6016 RING WITH SOLID LID OR APPROVED EQUAL
 - 7 STAINLESS STEEL SADDLE.
 - 8 WATER MAIN.
 - 9 1" SERVICE LINE, 200 PSI POLY PIPE WITH INSERTS (TYP.) NO SPLICING IS ALLOWED.
 - 10 FORD MODEL B-111 RESILIENT SEAT, CURB BALL VALVE OR APPROVED EQUAL
 - 11 DOUBLE PURPOSE COUPLING.
 - 12 STANDARD KETCHUM STYLE VALVE BOX WITH ERIE STYLE LID AND ATTACHED ROD
 - 13 18" DIA. X 72" DEEP MUELLER THERMA COIL METER VAULT OR APPROVED EQUAL NOTCH FOR SERVICE LATERALS.
 - 14 FIRM UNDISTURBED EARTH. (SET TILE ON 2" X 22" DIAMETER PRECAST CONCRETE BLOCK IF OVER EXCAVATION OCCURS).
 - 15 PROVIDE TEMPORARY PLUG (THREADED IN HIGH WATER AREAS).

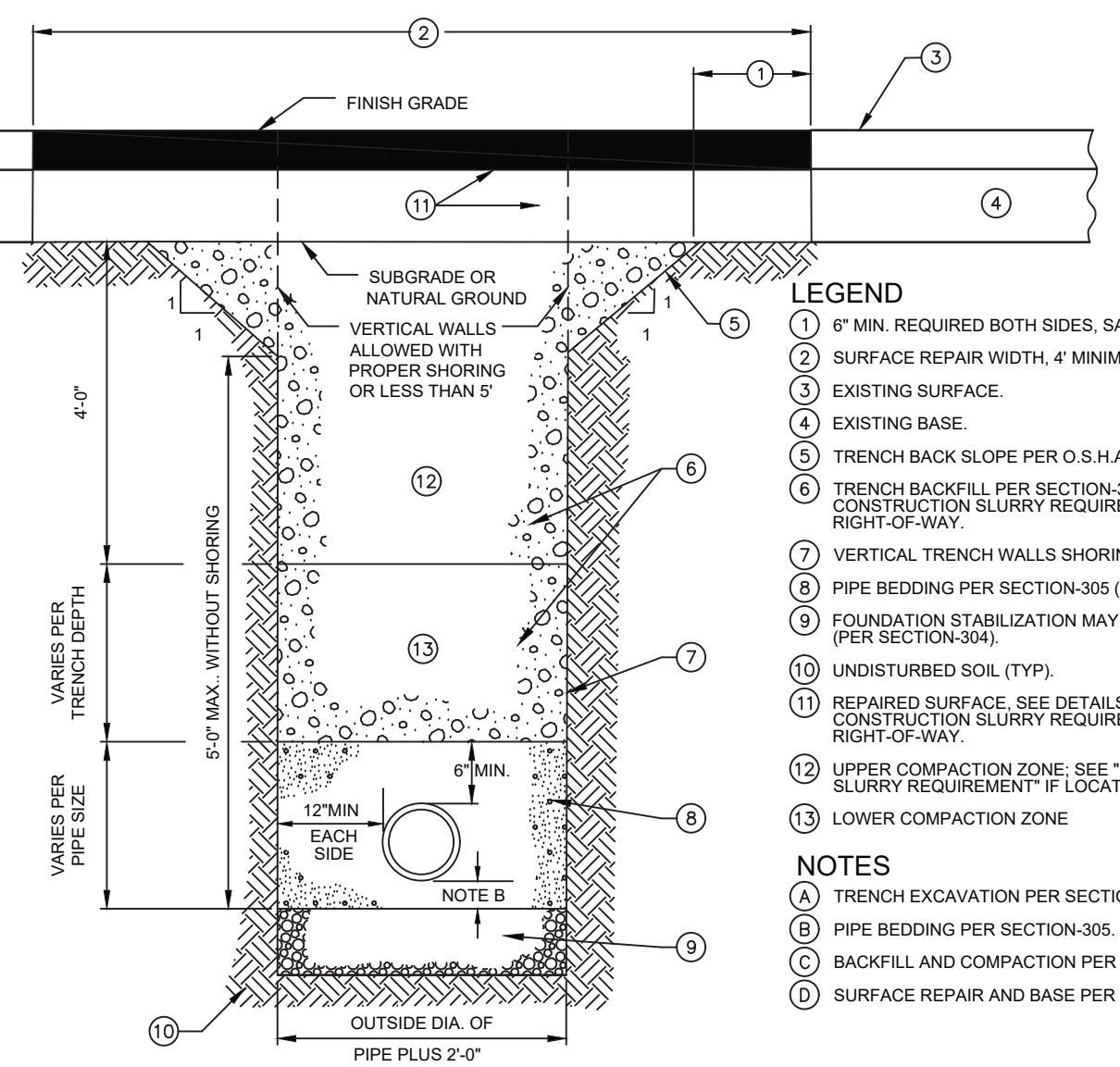


VERTICAL SEPARATION REQUIREMENTS



HORIZONTAL SEPARATION REQUIREMENTS

- LEGEND**
- ZONE 1: A) WATER AND NPWL MUST BE SEPARATED BY AT LEAST 18 INCHES. AND B) ONE FULL, UNCLUT LENGTH OF BOTH PWL AND NPWL PIPE MUST BE CENTERED ON THE CROSSING SO THAT THE JOINTS ARE AS FAR AS POSSIBLE FROM THE CROSSING.
- ZONE 2: A) ONE FULL, UNCLUT LENGTH OF BOTH PWL AND NPWL PIPE MUST BE CENTERED ON THE CROSSING SO THAT THE JOINTS ARE AS FAR AS POSSIBLE FROM THE CROSSING. AND EITHER B) NPWL MUST BE CONSTRUCTED TO WATER MAIN STANDARDS AND PRESSURE TESTED FOR WATER TIGHTNESS FOR A HORIZONTAL DISTANCE OF 10 FEET ON BOTH SIDES OF CROSSING. OR C) EITHER THE NPWL OR WATER LINE OR BOTH MUST BE ENCASED WITH A SLEEVEING MATERIAL DEG FOR A HORIZONTAL DISTANCE OF 10 FEET ON BOTH SIDES OF THE CROSSING.
- ZONE 3: SAME REQUIREMENTS AS ZONE 2 EXCEPT THE NPWL MUST ALSO BE SUPPORTED ABOVE THE CROSSING TO PREVENT SETTLING.
- ZONE 4: SAME REQUIREMENTS AS ZONE 1 EXCEPT THE NPWL MUST ALSO BE SUPPORTED ABOVE THE CROSSING TO PREVENT SETTLING.
- ZONE 1: A) NO SPECIAL REQUIREMENTS
- ZONE 2: A) NO SPECIAL REQUIREMENTS FOR POTABLE OR NON-POTABLE SERVICES.
- AT B) WATER AND NPWL SEPARATED BY AT LEAST 6 FEET
- AND C) WATER AT LEAST 18 INCHES HIGHER IN ELEVATION THAN THE NPWL.
- AND EITHER D) NPWL CONSTRUCTED TO WATER MAIN STANDARDS AND PRESSURE TESTED FOR WATER TIGHTNESS.
- OR E) SITE SPECIFIC REQUIREMENTS APPROVED BY DEG.
- ZONE 3: NOT ALLOWED.
- NOTE: SANITARY SEWER FORCE MAINS MUST HAVE MIN. 10' HORIZONTAL SEPARATION AND 18" VERTICAL SEPARATION. ZONE 2 AND ZONE 3 PLACEMENTS ARE NOT ALLOWED WITHOUT A WAIVER GRANTED BY DEG.



TYPICAL TRENCH

- LEGEND**
- 1 6" MIN. REQUIRED BOTH SIDES. SAWCUT REQUIRED.
 - 2 SURFACE REPAIR WIDTH: 4" MINIMUM.
 - 3 EXISTING SURFACE.
 - 4 EXISTING BASE.
 - 5 TRENCH BACK SLOPE PER O.S.H.A. OR SUITABLE SHORING.
 - 6 TRENCH BACKFILL PER SECTION 305. OR SEE "KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT" IF LOCATED WITHIN PUBLIC RIGHT-OF-WAY.
 - 7 VERTICAL TRENCH WALLS SHORING PER O.S.H.A.
 - 8 PIPE BEDDING PER SECTION 305 (SEE SD-302).
 - 9 FOUNDATION STABILIZATION MAY VARY PER SOIL TYPE AND STABILITY (PER SECTION 304).
 - 10 UNDISTURBED SOIL (TYP).
 - 11 REPAIRED SURFACE. SEE DETAILS 1 AND 2. SEE "KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT" IF LOCATED WITHIN PUBLIC RIGHT-OF-WAY.
 - 12 UPPER COMPACTION ZONE. SEE "KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT" IF LOCATED WITHIN PUBLIC RIGHT-OF-WAY.
 - 13 LOWER COMPACTION ZONE.
- NOTES**
- A) TRENCH EXCAVATION PER SECTION 301.
 - B) PIPE BEDDING PER SECTION 305.
 - C) BACKFILL AND COMPACTION PER SECTION 306.
 - D) SURFACE REPAIR AND BASE PER DETAIL 3/20

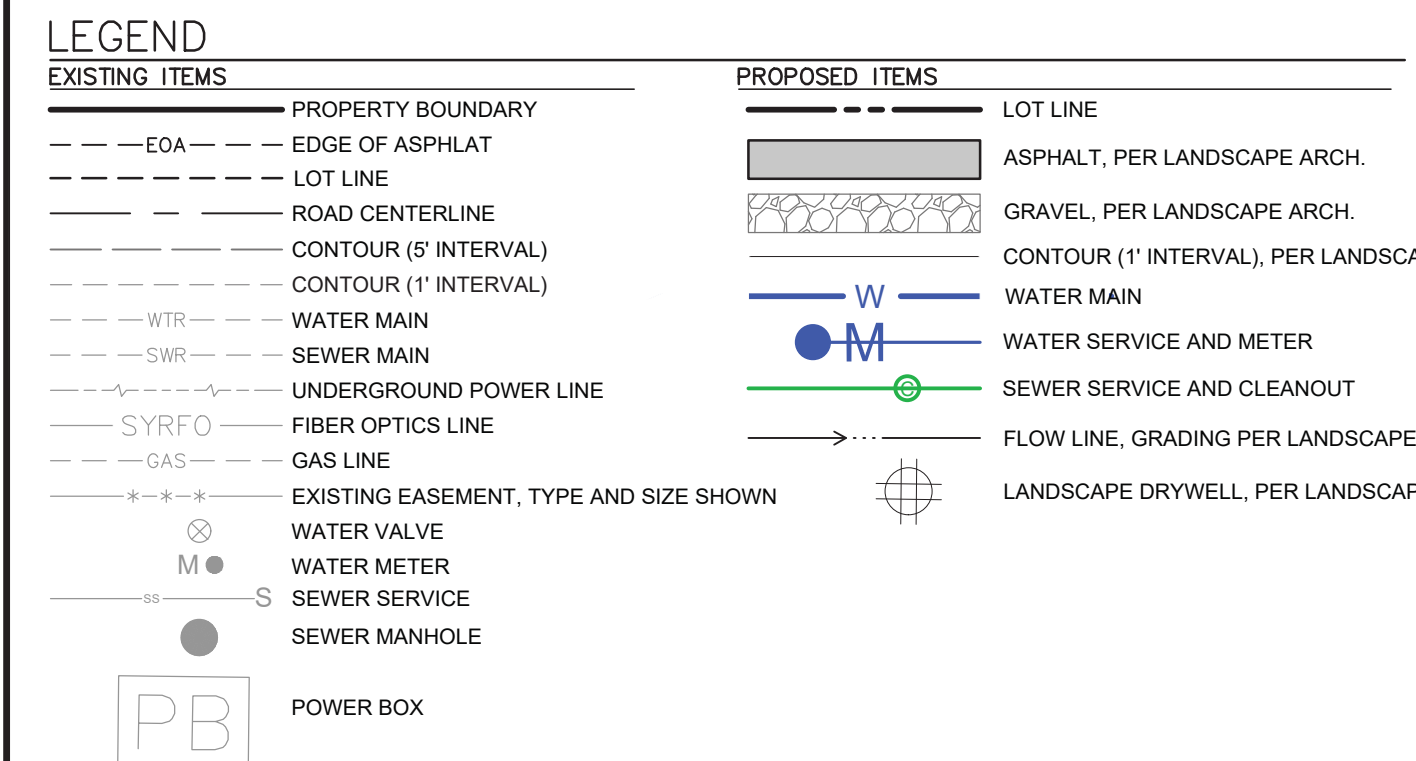
KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT

IN AREAS WHERE IT IS NECESSARY TO CUT THE ASPHALT PAVEMENT AND DIG A TRENCH FOR BURIAL OF CONDUIT CABLE OR OTHER CITY UTILITY, THE TRENCH SHALL BE BACKFILLED WITH A LEAN CONCRETE MIX TO THE BOTTOM OF FINISH SURFACE MATERIAL WITH THE FOLLOWING PROPORTIONS OF MATERIALS:

COARSE AGGREGATE (3/4" MINUS)	2,800 LBS
SAND	800 LBS
PORTLAND CEMENT	94 LBS
WATER	11 GAL (MAX.)

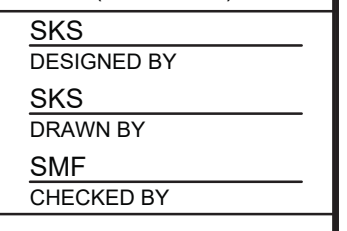
WATER CONTENT IS MAXIMUM AND MAY BE REDUCING DOWNWARD. CARES SHALL BE TAKEN TO ASSURE THAT EXCESS WATER IS NOT PRESENT IN THE MIXING DRUM PRIOR TO CHARGING THE MIXER WITH MATERIALS. THOROUGH MIXING WILL BE REQUIRED PRIOR TO DISCHARGE.

NO COMPACTION, VIBRATION OR FINISHING IS REQUIRED. THE LEAN CONCRETE MIX SHALL BE STRUCK OFF AT OR BELOW THE ELEVATION OF THE PLANT MIX SURFACING WITH A SQUARE-NOSE SHOVEL OR SIMILAR HAND TOOL. THE BACKFILL MIX SHALL BE ALLOWED TO SET FOR A MINIMUM OF 2 HOURS BEFORE THE PERMANENT PLANT MIX SURFACING IS PLACED TO COMPLETE THE TRENCH REPAIR. TEMPORARY PLACEMENT OF ASPHALT COLD MIX SURFACING MAY BE NECESSARY TO ACCOMMODATE TRAFFIC WITHIN THE FIRST 2 HOURS OF BACKFILL PLACEMENT PRIOR TO COMPLETING THE PERMANENT REPAIR.



UTILITY PLAN
CROSSBUCK LOTS 1A AND 1B
 LOCATED WITHIN SECTION 13, T.4 N., R.17 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
 PREPARED FOR BLINCO ARCHITECTURE

ORIGINAL SIGNED BY
 SAMANTHA STAHLNECKER
 DATE ORIGINAL SIGNED:
 03/01/2021



ORIGINAL ON FILE AT
 OFFICE OF GALENA
 ENGINEERING (HAILLEY, ID)

GALENA
 ENGINEERING, INC.
 Civil Engineers & Land Surveyors
 317 N. River Street
 Hailley, Idaho 83333
 (208) 788-1705
 email: galena@galena-engineering.com

PURPOSE: ISSUE FOR DESIGN REVIEW (03/01/21)	REVISIONS	
NO.	DATE	BY

C1.0

2ND AVENUE

Existing Curb And Gutter

Existing Bike Path

Edge Of Asphalt

Gabion Walls To Match Existing Crossbuck

General Notes

1. Base map information taken from survey by Alpine Enterprises dated 04/20/20 and from on-site information. Architectural information provided by Blincoe Architecture dated 06/16/21. Contractor shall verify conditions in the field prior to construction.
2. Landscape architect is not responsible for any deviation from these plans, unless such changes are authorized by the landscape architect in writing.
3. All existing utilities are underground. All new utilities shall be underground.
4. Site serviced by City of Ketchum.

Plan Legend

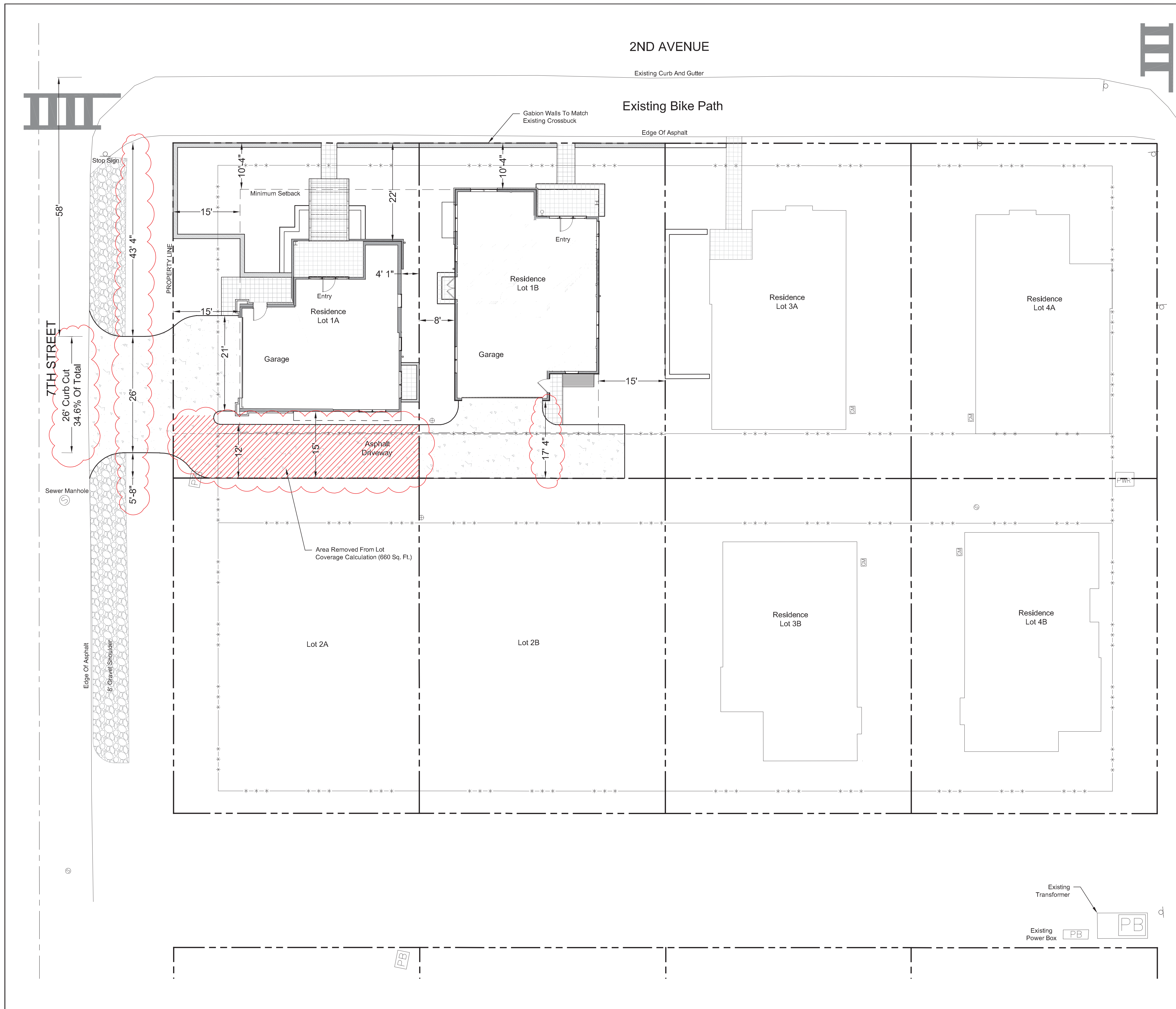
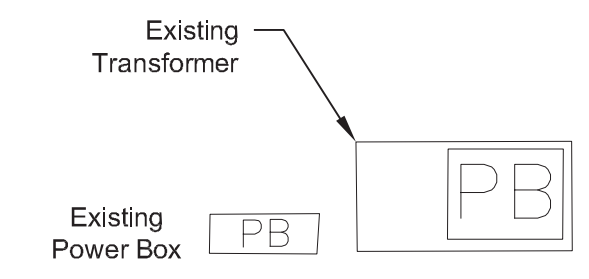
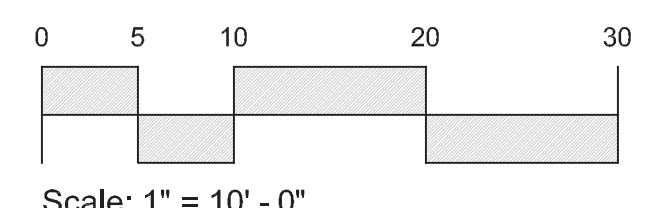
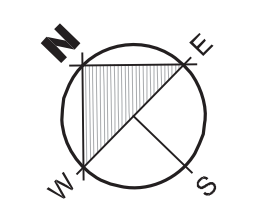
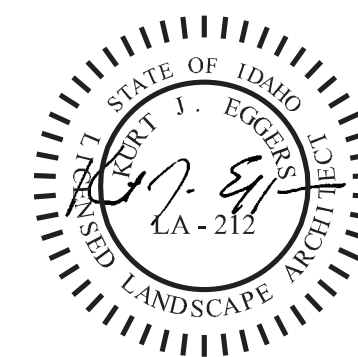
	Property Line
	Minimum Setback
	Public Utility Easement
	Utilities
	Sewer Manhole
	Water Meter
	Pavers
	Asphalt

Notes:

- 1) See Civil Plans For All Work In Right Of Way
- 2) See Civil Plans For Water And Sewer Design

Building Coverage Calculations

Zoning GR-L	
Total Lot Size	8,240 sq./ft. (.19 Ac.)
	-660 sq./ft. (.015 Ac.)
	7,580 sq./ft.
Total Building Coverage	2,651 sq./ft. (.06 Ac.)
TOTAL BUILDING COVERAGE = 34.9%	



Job No: 21.01

Scale: 1" = 10'-0"

Issue/Revisions:	Date:
Design Review	02/16/21
RVSD	03/04/21
RVSD	04/06/21
Building Permit	04/16/21
RVSD	06/23/21

All information appearing herein shall not be duplicated, discharged or otherwise used without the written consent of Eggers Associates P.A.

Sheet Title:
Site Plan

Sheet No:
L1.0

2ND AVENUE

Existing Curb And Gutter

Existing Bike Path

Edge Of Asphalt

General Notes

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2. Landscape architect is not responsible for any deviation from these plans, unless such changes are authorized by the landscape architect in writing.
3. All existing utilities are underground. All new utilities shall be underground.
4. Site serviced by City of Ketchum.

Plan Legend

	Property Line
	Water Main
	Sewer Main
	Underground Power Line
	Electric Line
	Gas Main
	Gas Line
	Public Utility Easement
	Sewer Manhole
	Water Line Stub
	Fire Hydrant
	Drywell
	Utilities
	Proposed Wall

Notes:

- 1) See Civil Plans For All Work In Right Of Way
- 2) See Civil Plans For Water And Sewer Design

Crossbuck McNee
Lot 1 A Block 67
Ketchum, Idaho

Job No: 21.01

Scale: 1" = 10'-0"

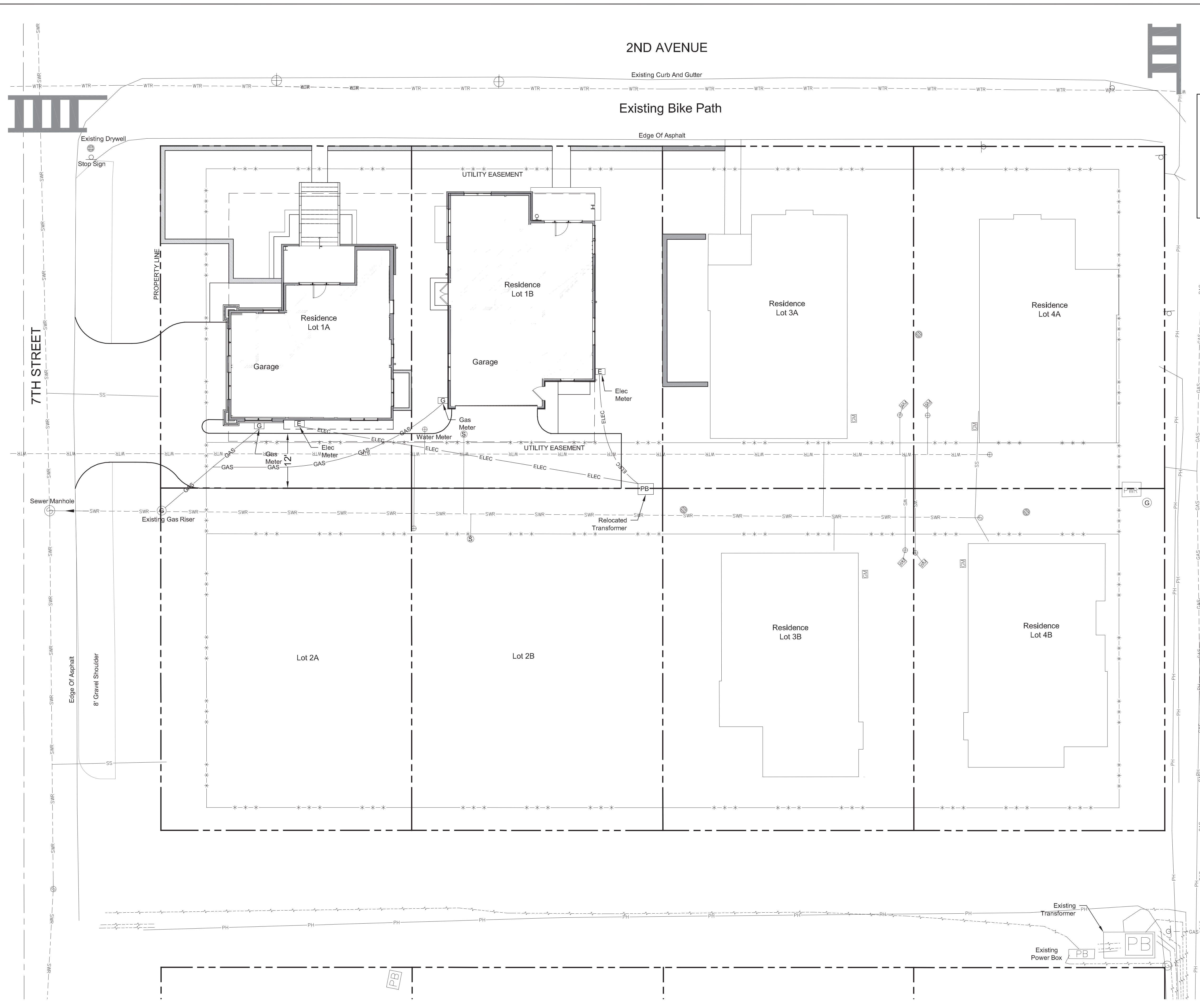
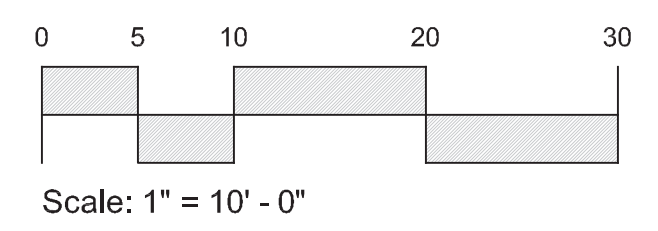
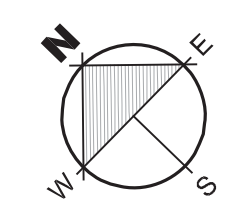
Issue/Revisions: Date:

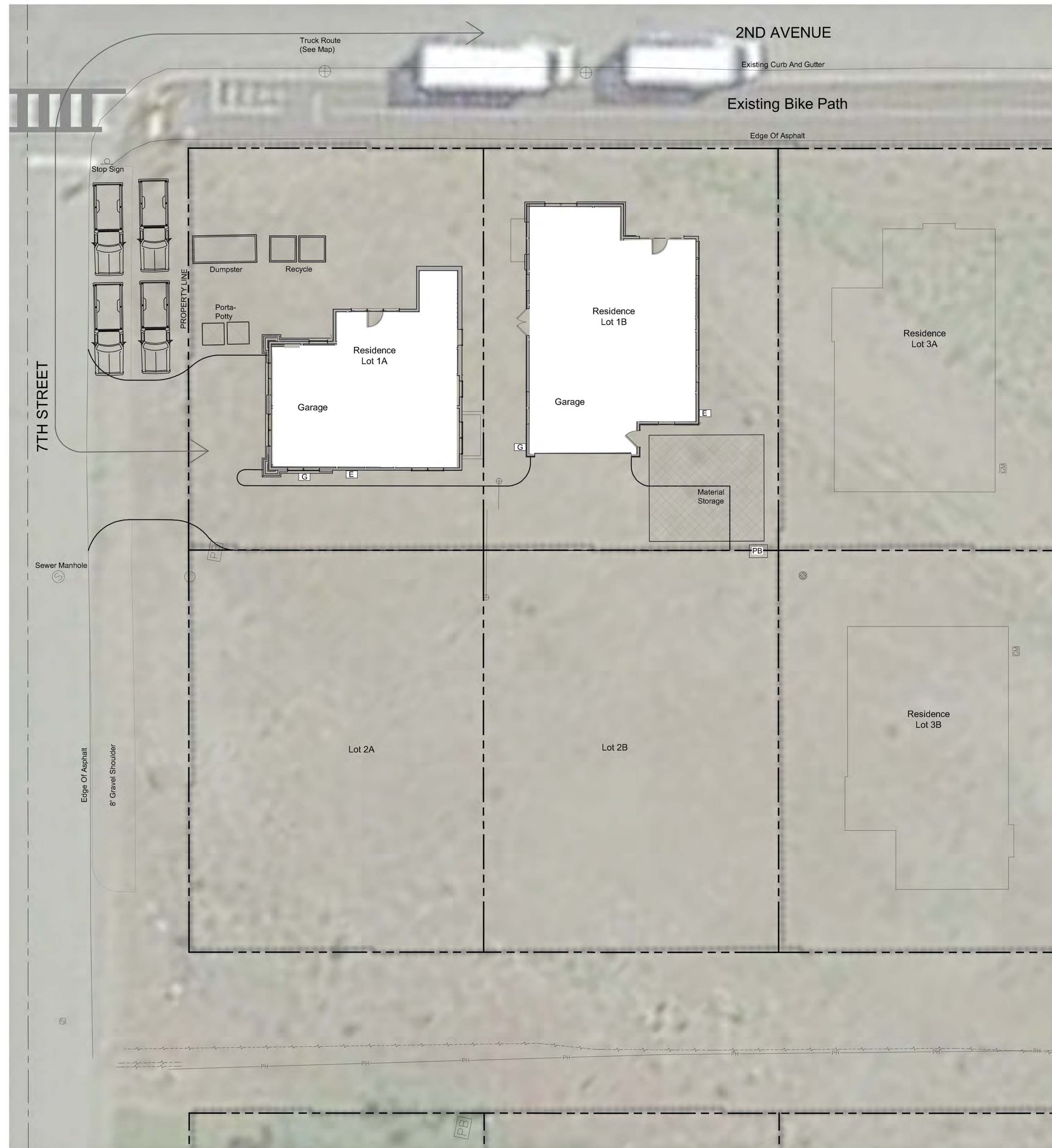
Design Review	02/16/21
RVSD	03/04/21
RVSD	04/06/21
Building Permit	04/16/21
RVSD	06/23/21

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Sheet Title:
Utility
Plan

Sheet No:
L1.1





2ND AVENUE

Existing Bike Path

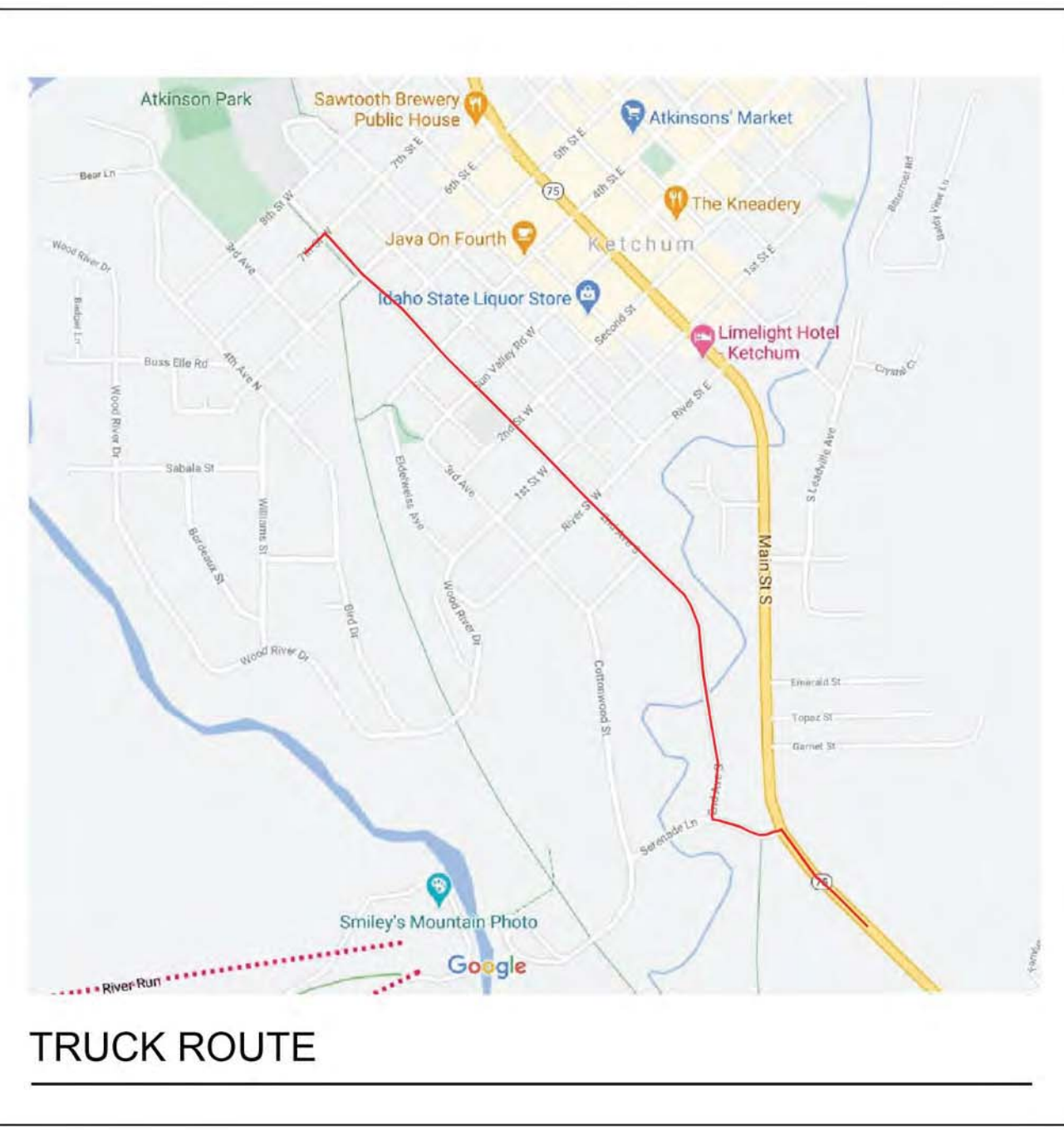
7TH STREET

General Notes

1. Base map information taken from survey by Alpine Enterprises dated 04/20/20 and from on-site information. Architectural information provided by Blincoe Architecture dated 06/16/21. Contractor shall verify conditions in the field prior to construction.
2. Landscape architect is not responsible for any deviation from these plans, unless such changes are authorized by the landscape architect in writing.
3. All existing utilities are underground. All new utilities shall be underground.
4. Site serviced by City of Ketchum.

Plan Legend

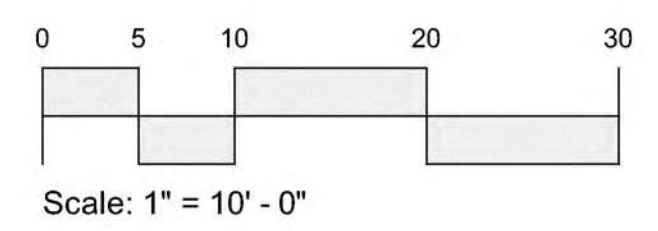
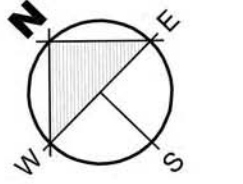
	Property Line
	Water Main
	Sewer Main
	Underground Power Line
	Electric Line
	Gas Main
	Gas Line
	Public Utility Easement
	Sewer Manhole
	Water Line Stub
	Fire Hydrant
	Drywell
	Utilities
	Utilities
	Proposed Wall



TRUCK ROUTE

Notes:

- 1) See Civil Plans For All Work In Right Of Way
- 2) See Civil Plans For Water And Sewer Design



Crossbuck
McNee

EGGERS ASSOCIATES, P.A.
Landscape Architecture
T: (208) 725-0988
F: (208) 725-0972
P.O. Box 957
Ketchum, ID 83340

Crossbuck McNee
Lot 1A Block 67
Ketchum, Idaho

Job No: 21.01

Scale: 1" = 10'-0"

Issue/Revisions:	Date:
Design Review	02/16/21
RVSD	03/04/21
RVSD	04/06/21
Building Permit	04/16/21
RVSD	06/23/21

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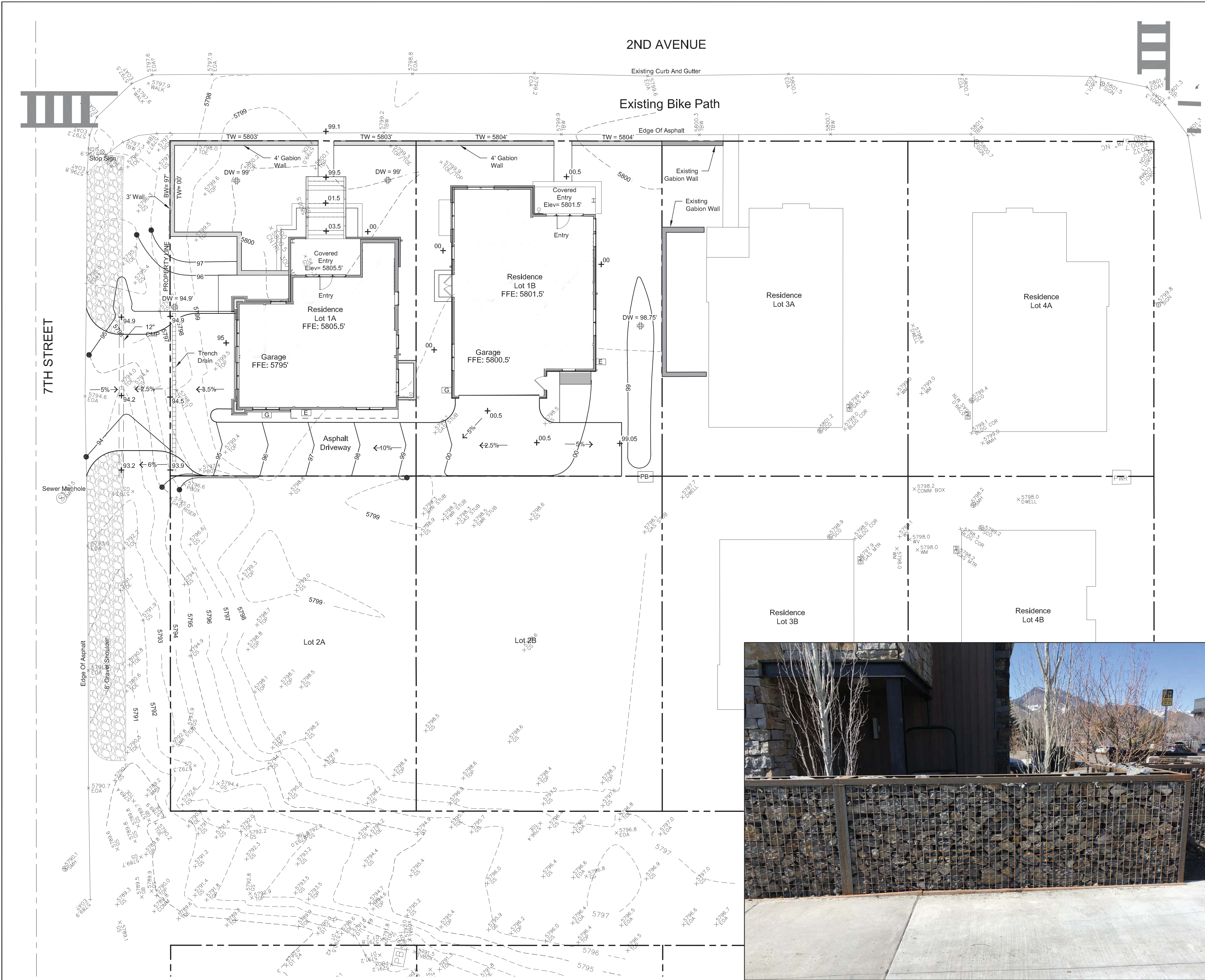
Sheet Title:
Construction
Management

Sheet No:
L1.2

Job No:	21.01
Scale:	1" = 10' - 0"
Issue/Revisions:	Date:
Design Review	02/16/21
RVSD	03/04/21
RVSD	04/06/21
Building Permit	04/16/21
RVSD	06/23/21

Sheet Title:
Grading Plan

Sheet No:
L2



Plan Legend

- Property Line
- Existing Contour
- Proposed Contour
- Proposed Wall
- 12" CMP Culvert
- Utilities
- Existing Spot Elevations
- Landscape Drywell
- Catch Basin
- Proposed Drainage Direction With Slope Percentage
- Proposed Spot Elevations

Notes:

- 1) See Civil Plans For All Work In Right Of Way
- 2) See Civil Plans For Water And Sewer Design



Gabion Wall

Scale: 1" = 10' - 0"

Landscape Plan Notes

1. All Disturbed areas shall be revegetated and irrigated with an automatic underground sprinkler system.
2. All planting beds to have 3" cover of bark or compost mulch.
3. Trees shown at approximately 2/3 mature diameter.
4. All utilities are underground and shall be located prior to any work.

Plan Legend

- Property Line
- Existing Contour
- Proposed Contour
- Proposed Wall
- Utilities
- Pavers
- Landscape Drywell
- Snow Storage

Plant Legend

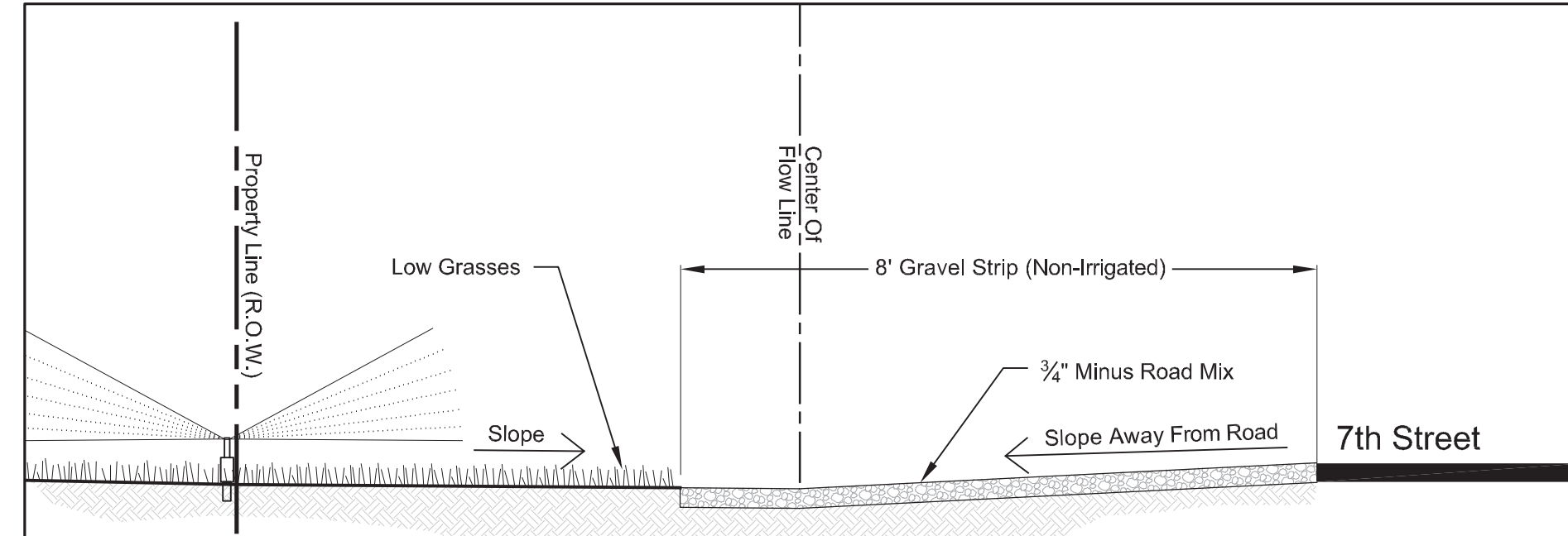
Symbol	Qty.	Description	Size
	8	Conifer Trees TBD	12' & 14'
	7	Deciduous Trees Flowering Crab	3" Cal.
	32	Deciduous Shrubs Various	1 gal.
	3,200 Sq. Ft	Grasses Lawn Mix	Sod
	1,200 Sq. Ft	Natural Grasses Cabin Mix	Hydroseed

Snow Storage

Driveway Area:	2,000 sq ft x .30%
Required Area:	600 sq ft
Snow Storage Provided:	600 sq ft

Notes:

- 1) See Civil Plans For All Work In Right Of Way
- 2) See Civil Plans For Water And Sewer Design

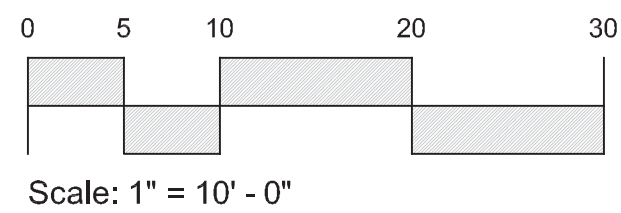
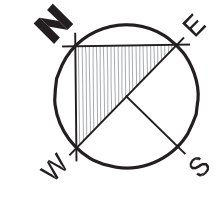


Note: No Sprinkler Heads In ROW.

Cross Section A - Right Of Way

Scale: 1/2" = 1' - 0"

- Material shall be pervious/permeable to allow drainage
- Surface must allow for vehicle parking and be consistent along the entire property frontage
- Material within the first eight (8) feet from edge of asphalt shall be distinct from driveway and rest of property in order to visually appear to be available for parking
- Grading and drainage improvements as required by City Engineer - Minimum 5% slope
- No obstructions, such as boulders or berms
- No buried irrigation systems within the first eight (8) feet from the edge of asphalt (Street)
Subsurface irrigation lines are permitted beyond the first eight (8) feet, however pop up heads are not permitted anywhere in the ROW.
- No live plant material within the first eight (8) feet from edge of asphalt (Street)
Low ground cover plant material, such as turf grass, is permitted beyond the first eight (8) feet. Drought-tolerant species is preferred.
- No snow-melt system (other than driveway)



2ND AVENUE

Existing Curb And Gutter

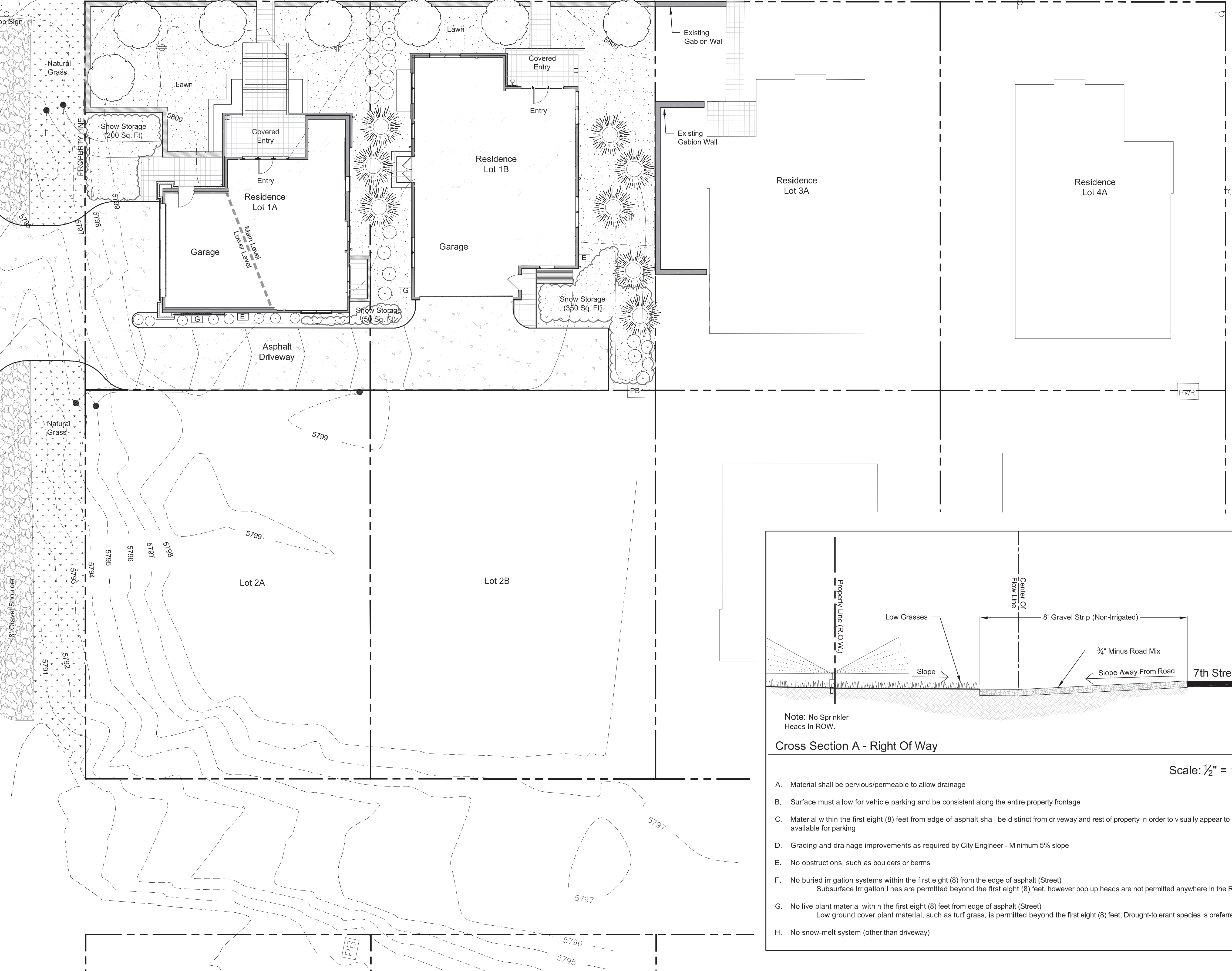
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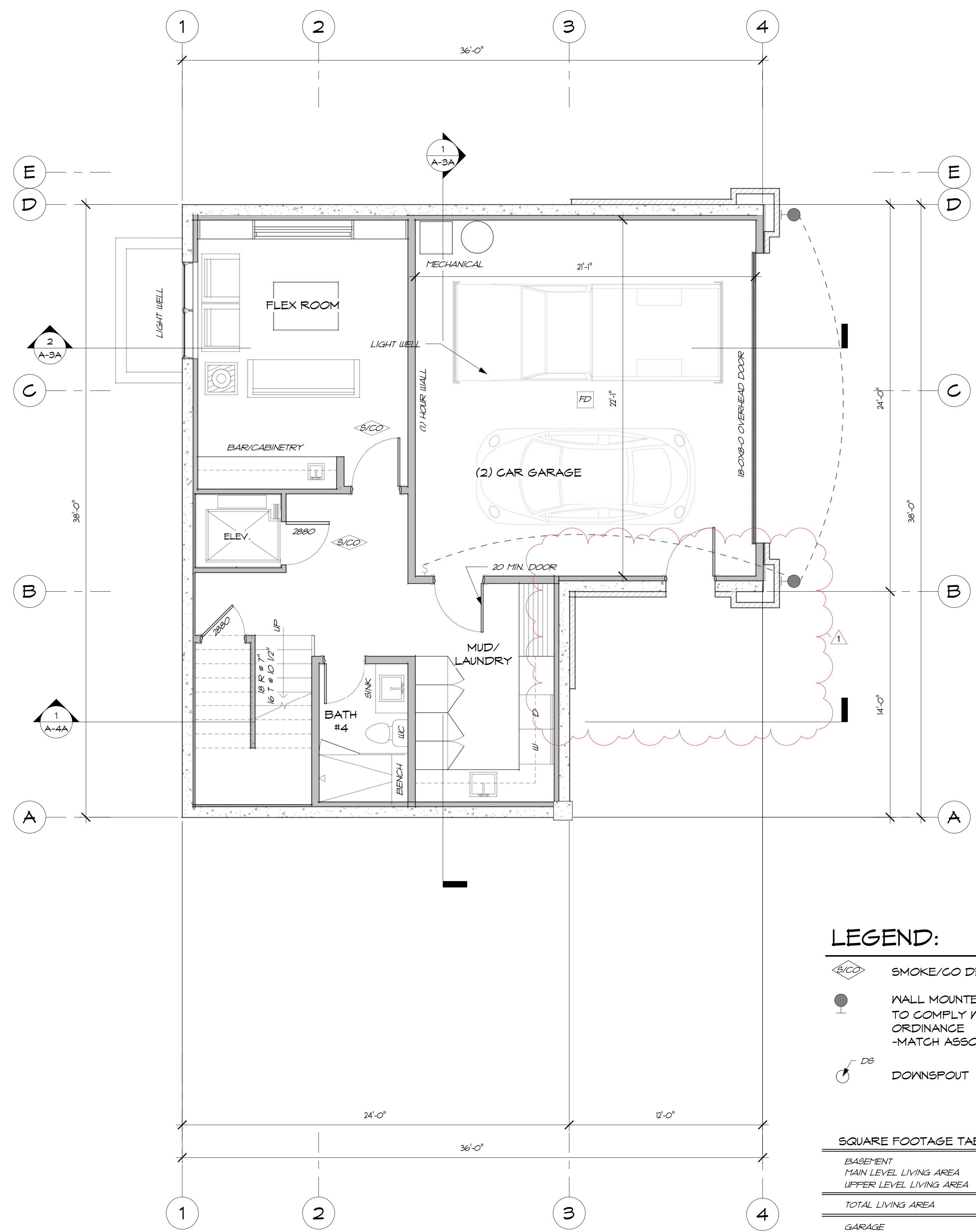
Edge Of Asphalt

7TH STREET

Sewer Manhole

Edge Of Asphalt

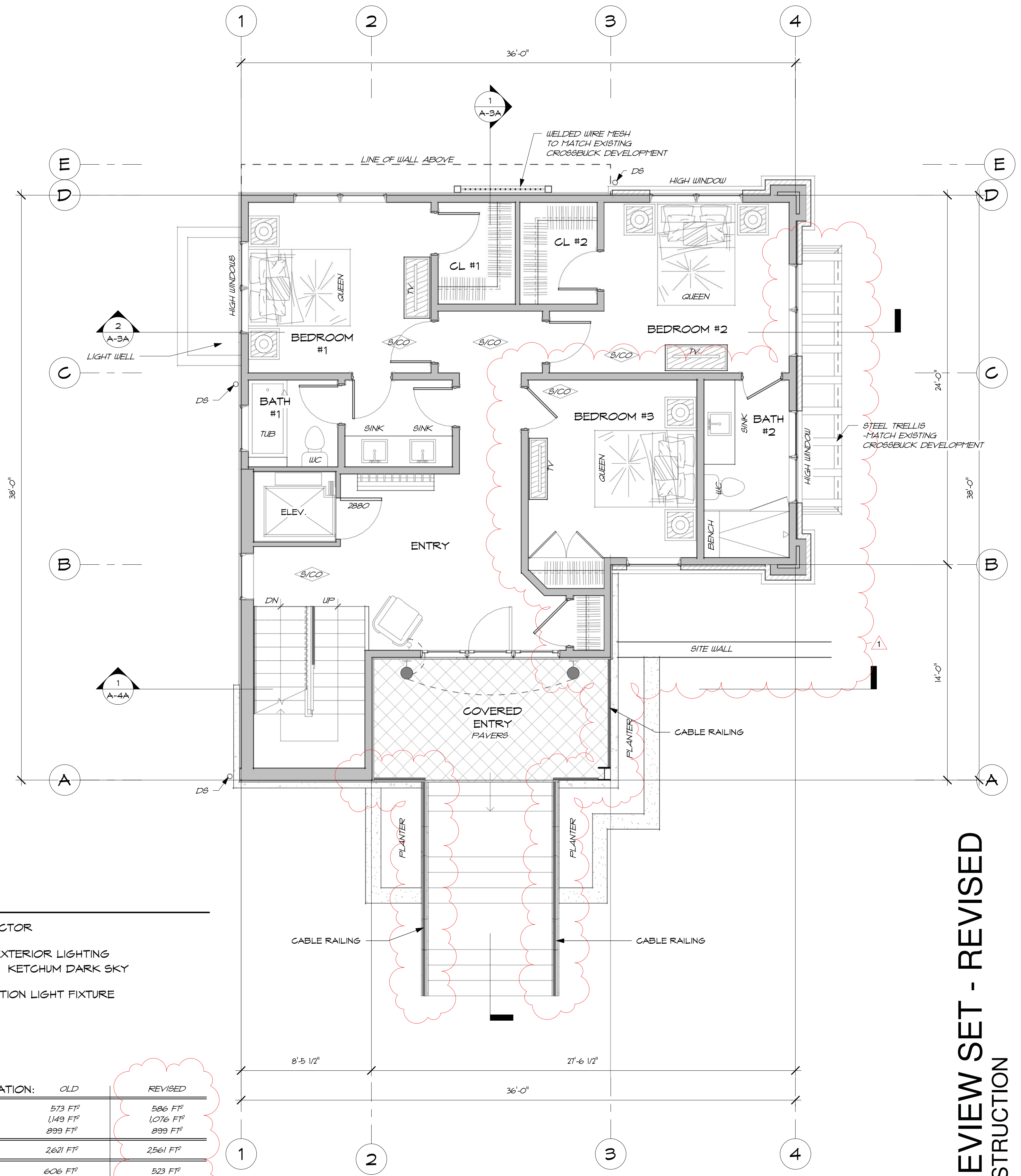




1
A-1A
1/4" = 1'-0"
BASEMENT LEVEL (UNIT A)

- LEGEND:**
- SMOKE/CO DETECTOR
 - WALL MOUNTED EXTERIOR LIGHTING TO COMPLY WITH KETCHUM DARK SKY ORDINANCE -MATCH ASSOCIATION LIGHT FIXTURE
 - D_S DOWNSPOUT

SQUARE FOOTAGE TABULATION:	OLD	REVISED
BASEMENT	573 FF	586 FF
MAIN LEVEL LIVING AREA	1,149 FF	1,076 FF
UPPER LEVEL LIVING AREA	899 FF	899 FF
TOTAL LIVING AREA	2,621 FF	2,561 FF
GARAGE	606 FF	523 FF
TOTAL:	3,227 FF	3,084 FF
BUILDING FOOTPRINT	1,320 FF	1,248 FF



2
A-1A
1/4" = 1'-0"
MAIN LEVEL FLOOR PLAN (UNIT A)

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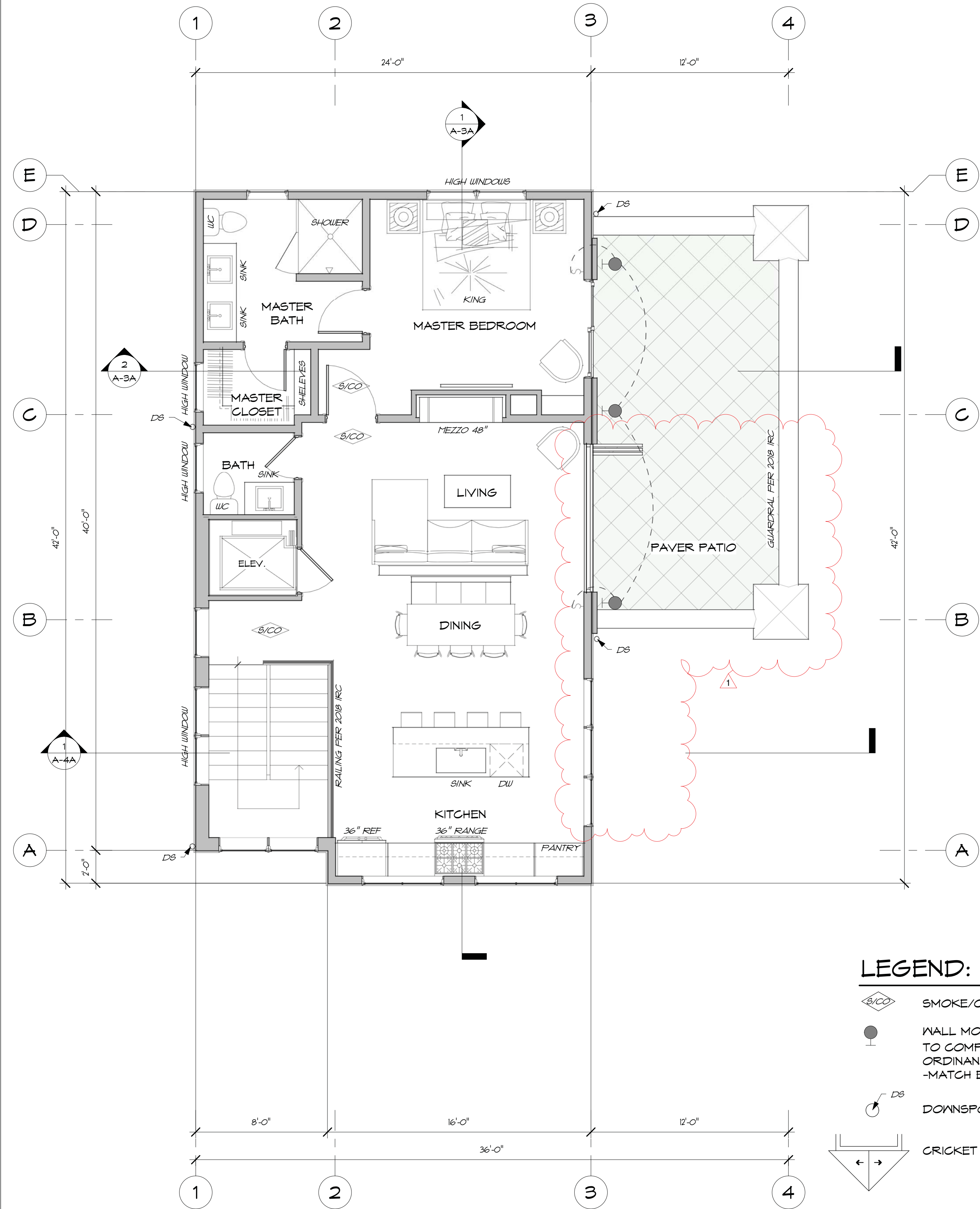
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AR 984802
CHAD E. BLINCOE
STATE OF IDAHO

CROSSBUCK TOWNHOMES II
7th STREET
KETCHUM, ID 83340

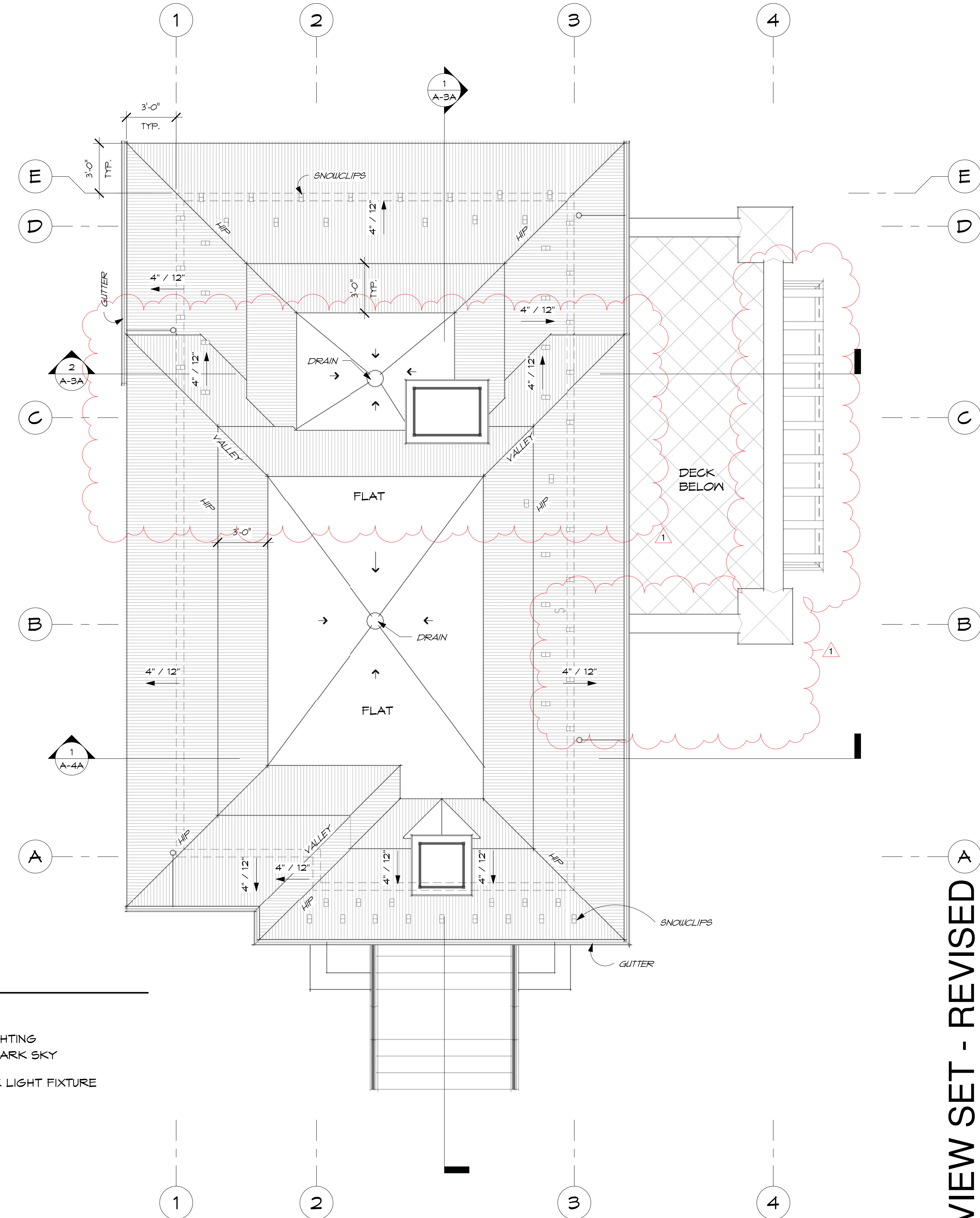
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PERMIT:	4/16/21
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SUBMISSIONS/REVIEWS:	
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A-1A

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1 UPPER LEVEL FLOOR PLAN (UNIT A)
A-2A 1/4" = 1'-0"



2 ROOF PLAN (UNIT A)
A-2A 1/4" = 1'-0"

- LEGEND:**
- SMOKE/CO DETECTOR
 - WALL MOUNTED EXTERIOR LIGHTING
TO COMPLY WITH KETCHUM DARK SKY
ORDINANCE
-MATCH EXISTING CROSSBUCK LIGHT FIXTURE
 - DOWNSPOUT
 - CRICKET
 - ROOF DRAIN W/ INTEGRAL OVERFLOW
-DAYLIGHT TO ENTRY

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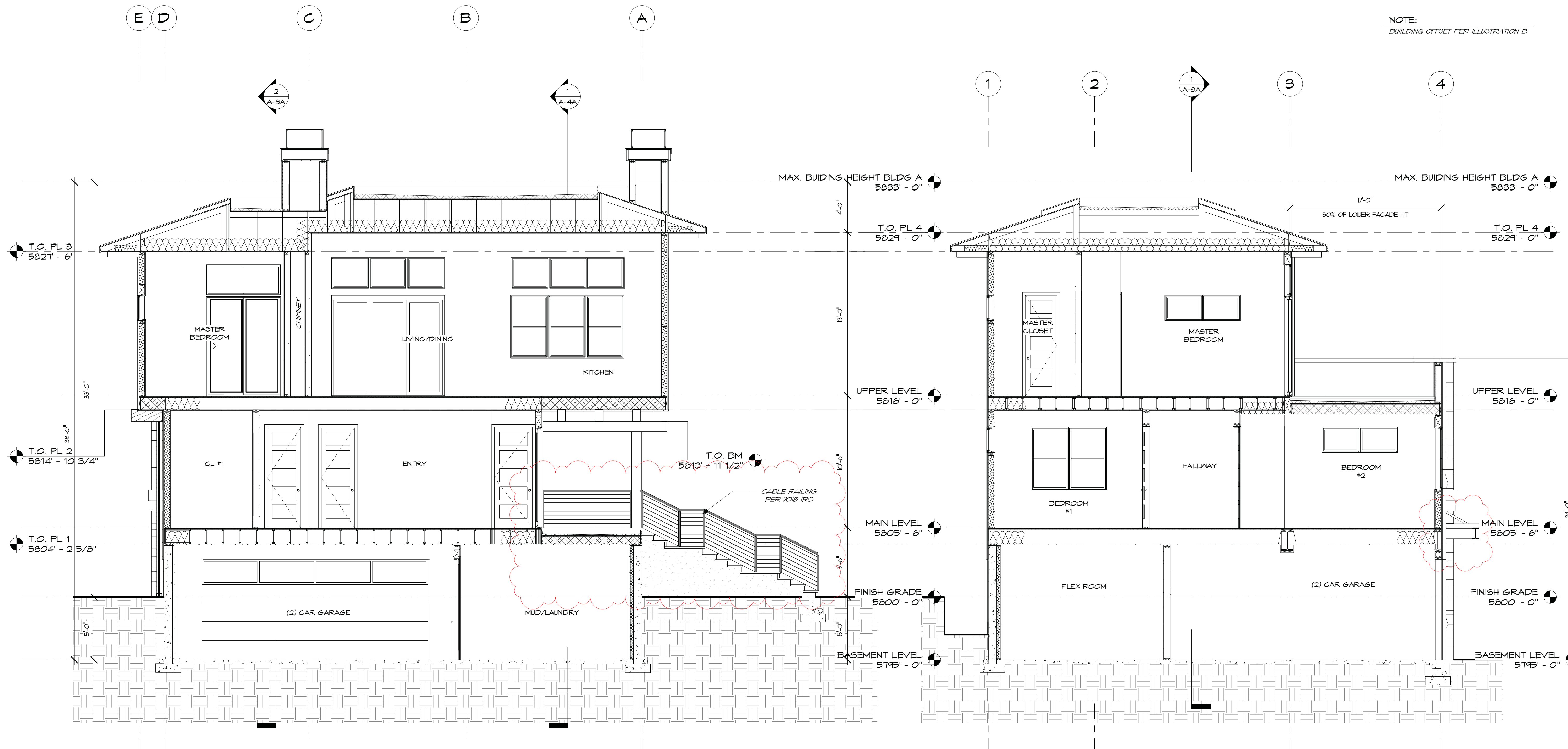
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A-2A

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1 BUILDING A SECTION 1
A-3A 1/4" = 1'-0"

2 BUILDING A SECTION 2
A-3A 1/4" = 1'-0"

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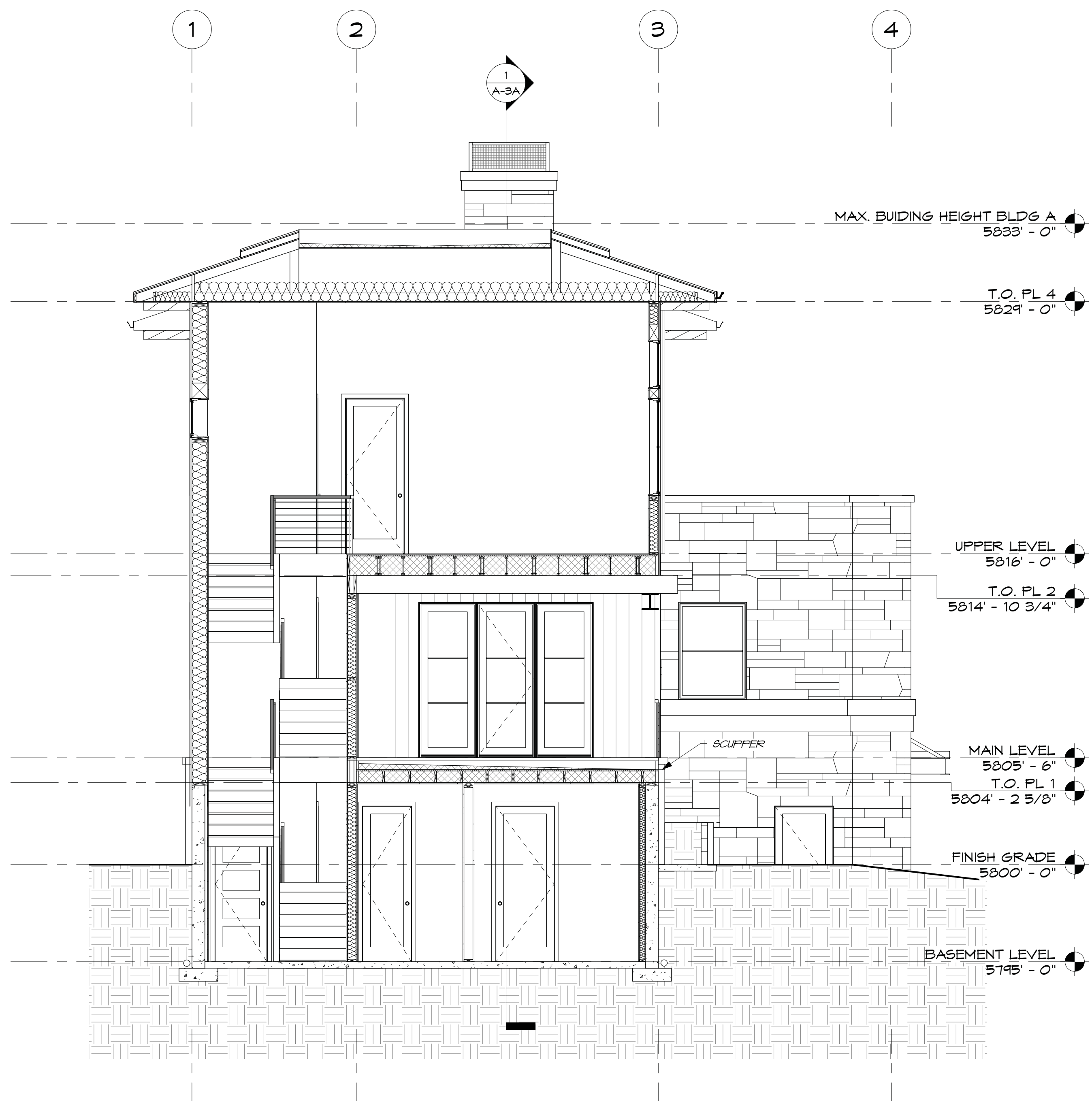
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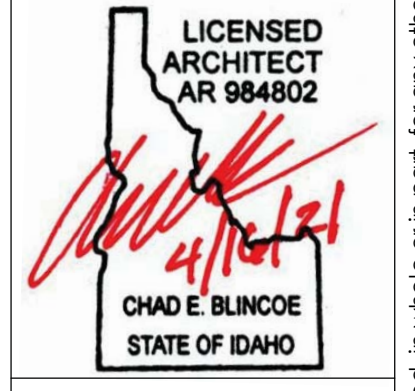
1 BUILDING A SECTION 3
 A-4A 1/4" = 1'-0"

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A-4A

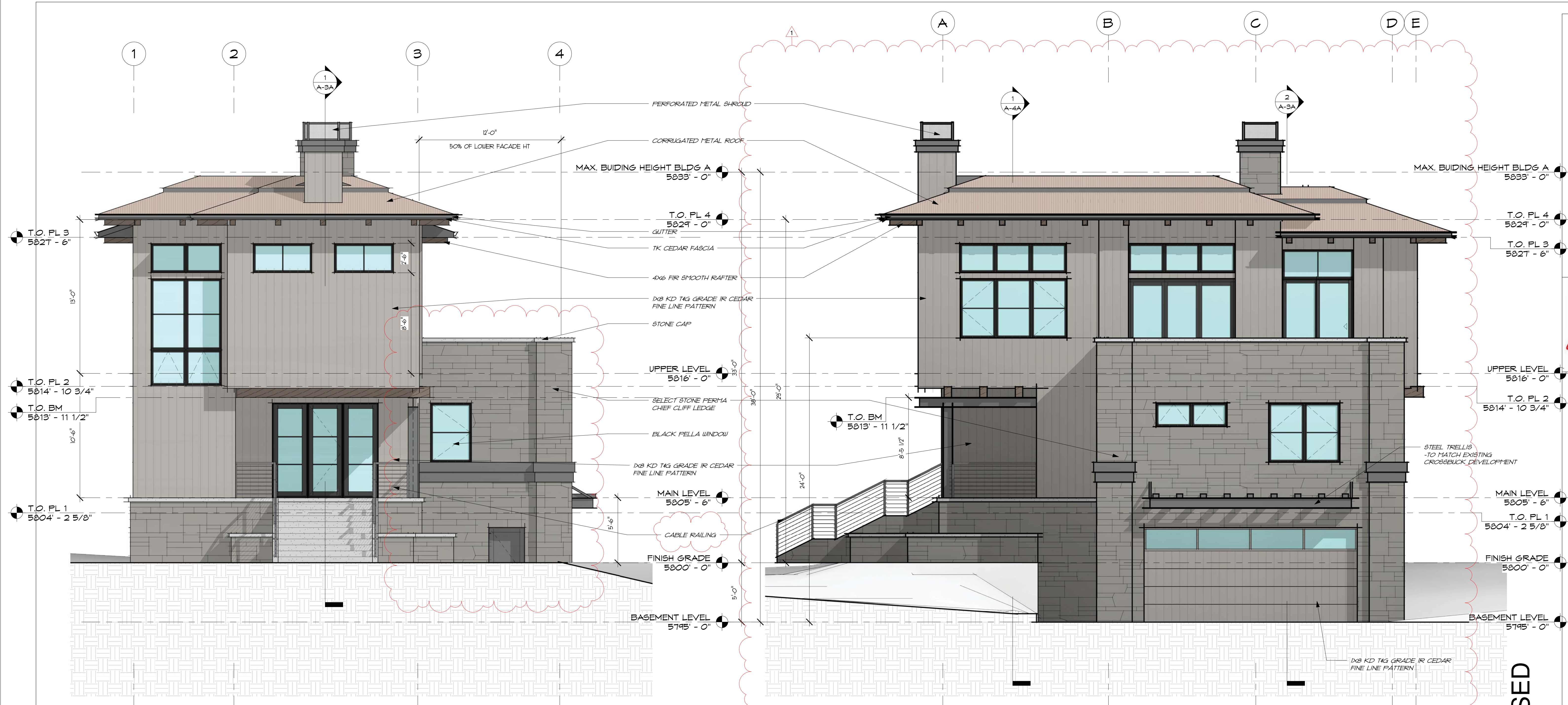
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1 EAST SIDE ELEVATION (UNIT A)
A-5A 1/4" = 1'-0"

2 NORTH SIDE ELEVATION (UNIT A)
A-5A 1/4" = 1'-0"

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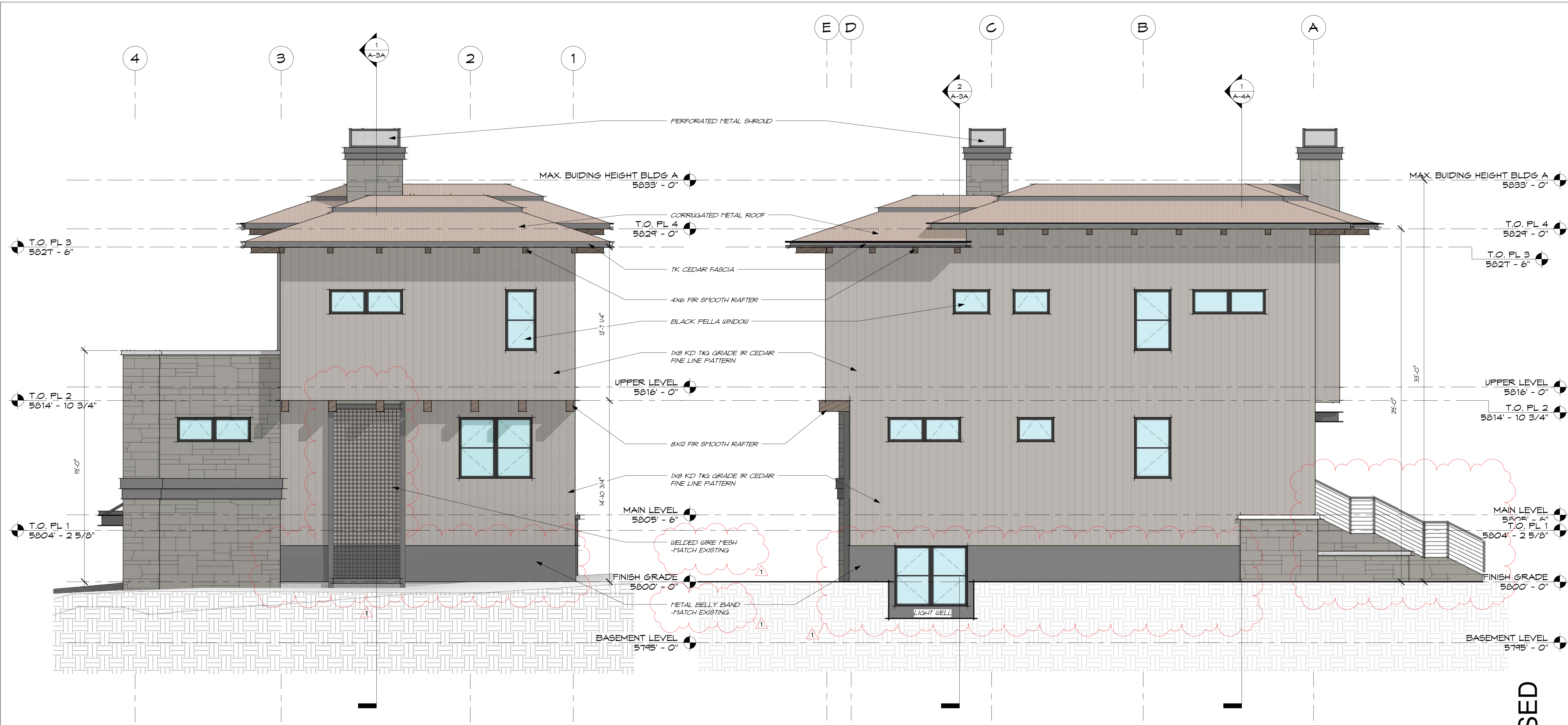
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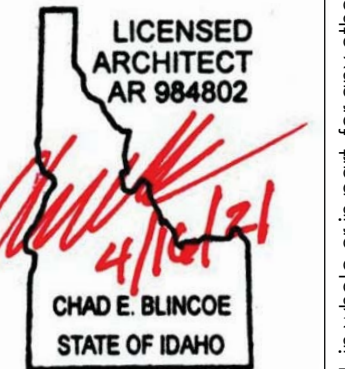


1 WEST SIDE ELEVATION (UNIT A)
A-6A 1/4" = 1'-0"

2 SOUTH SIDE ELEVATION (UNIT A)
A-6A 1/4" = 1'-0"

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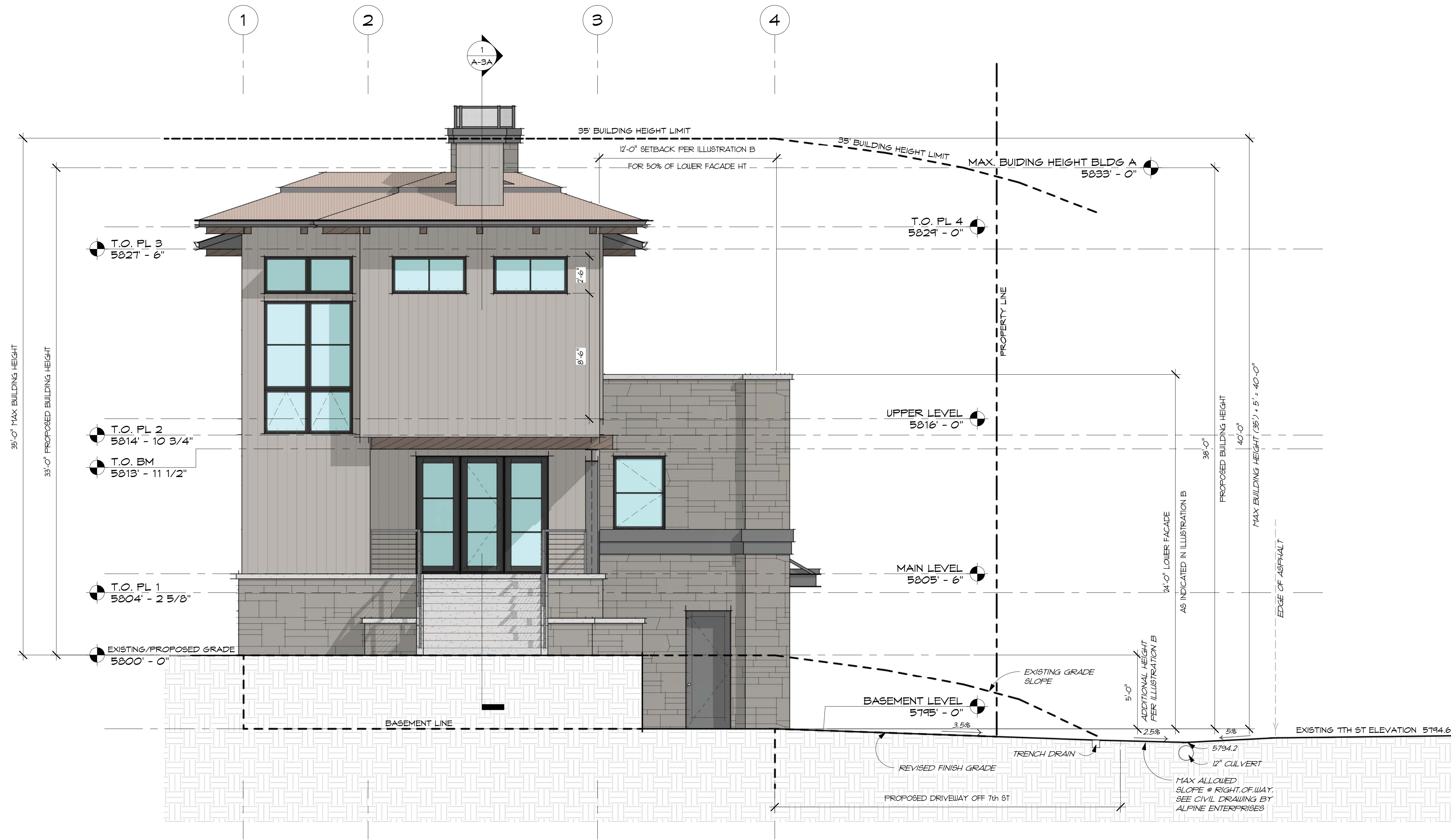


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1 EXHIBIT A REFLECTING COMPLIANCE WITH ILLUSTRATION B
 A-7A 1/4" = 1'-0"

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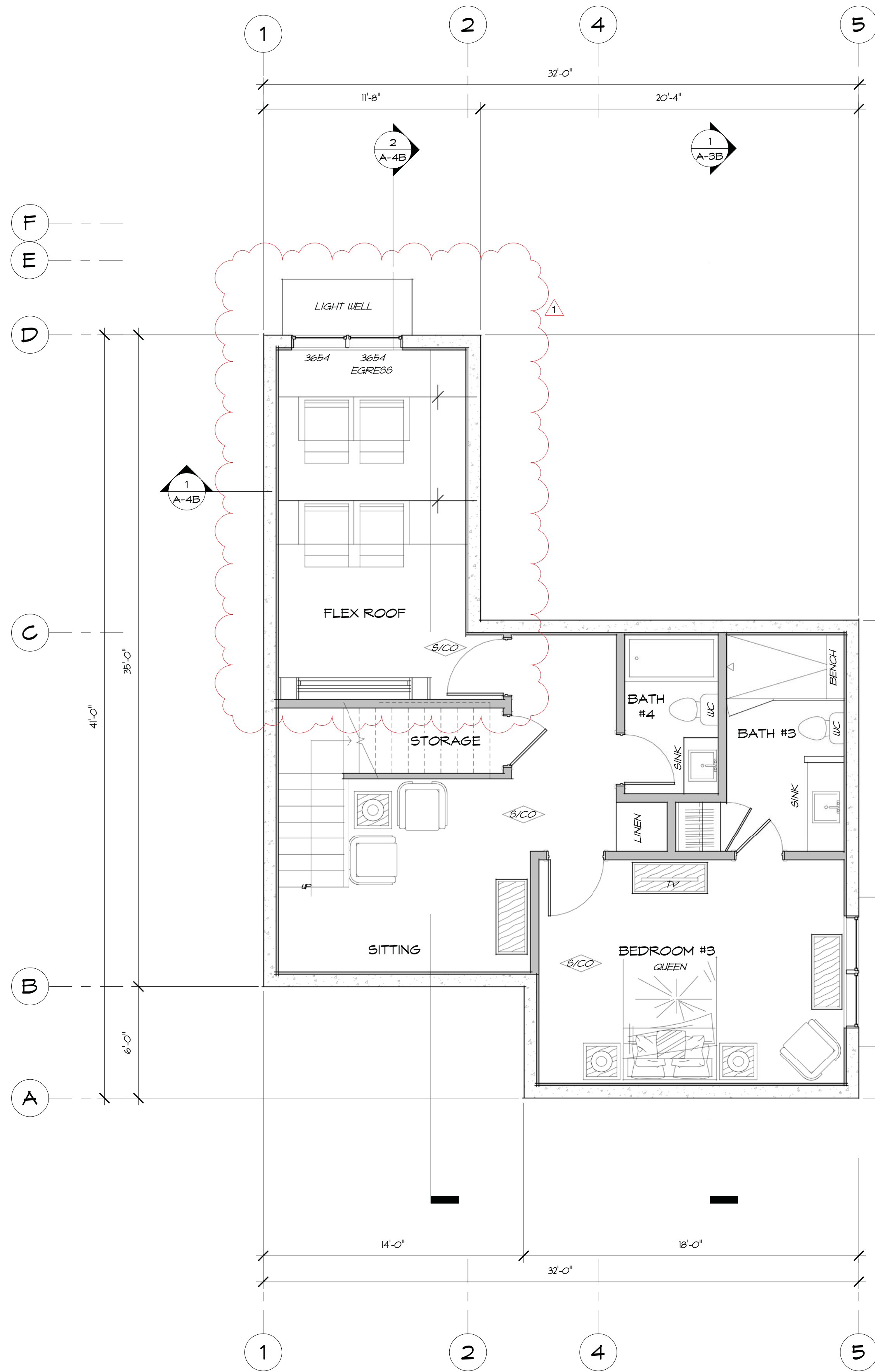
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A-7A

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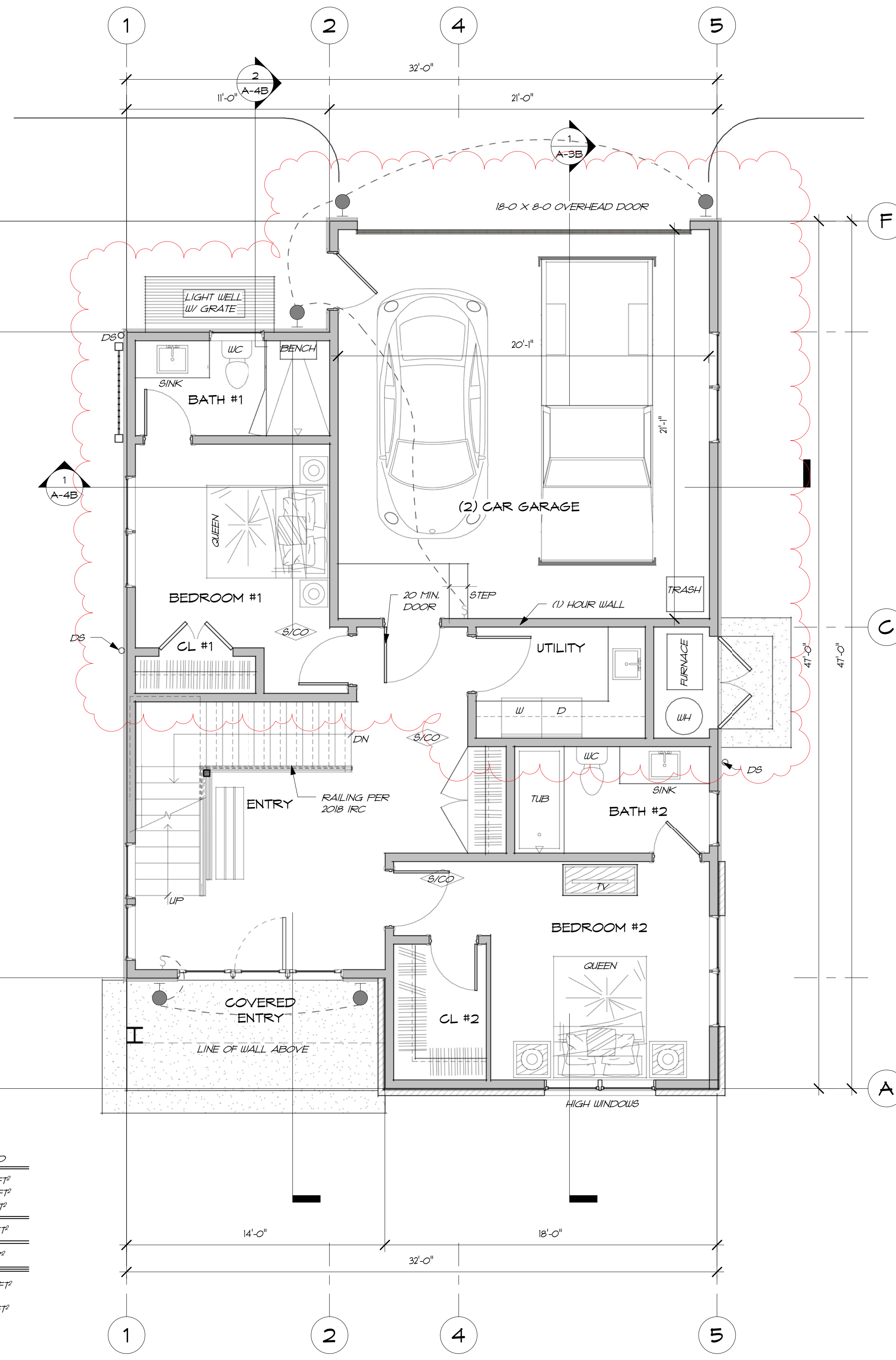


1 BASEMENT (UNIT B)
A-1B 1/4" = 1'-0"

SQUARE FOOTAGE TABULATION:	OLD	REVISED
BASEMENT	943 FF ²	847 FF ²
MAIN LEVEL LIVING AREA	962 FF ²	892 FF ²
UPPER LEVEL LIVING AREA	1,199 FF ²	1,202 FF ²
TOTAL LIVING AREA	3,104 FF²	2,941 FF²
GARAGE	496 FF ²	462 FF ²
TOTAL:	3,600 FF²	3,403 FF²
BUILDING FOOTPRINT:	1,541 FF ²	1,403 FF ²

LEGEND:

- SMOKE/CO DETECTOR
- WALL MOUNTED EXTERIOR LIGHTING TO COMPLY WITH KETCHUM DARK SKY ORDINANCE -MATCH ASSOCIATION LIGHT FIXTURE
- D_S DOWNSPOUT



2 MAIN LEVEL PLAN (UNIT B)
A-1B 1/4" = 1'-0"

NOTE:

* UNIT B TO HAVE SPRINKLER SYSTEM PER EMAIL FROM TOM ACONA DATED 12/9/2020

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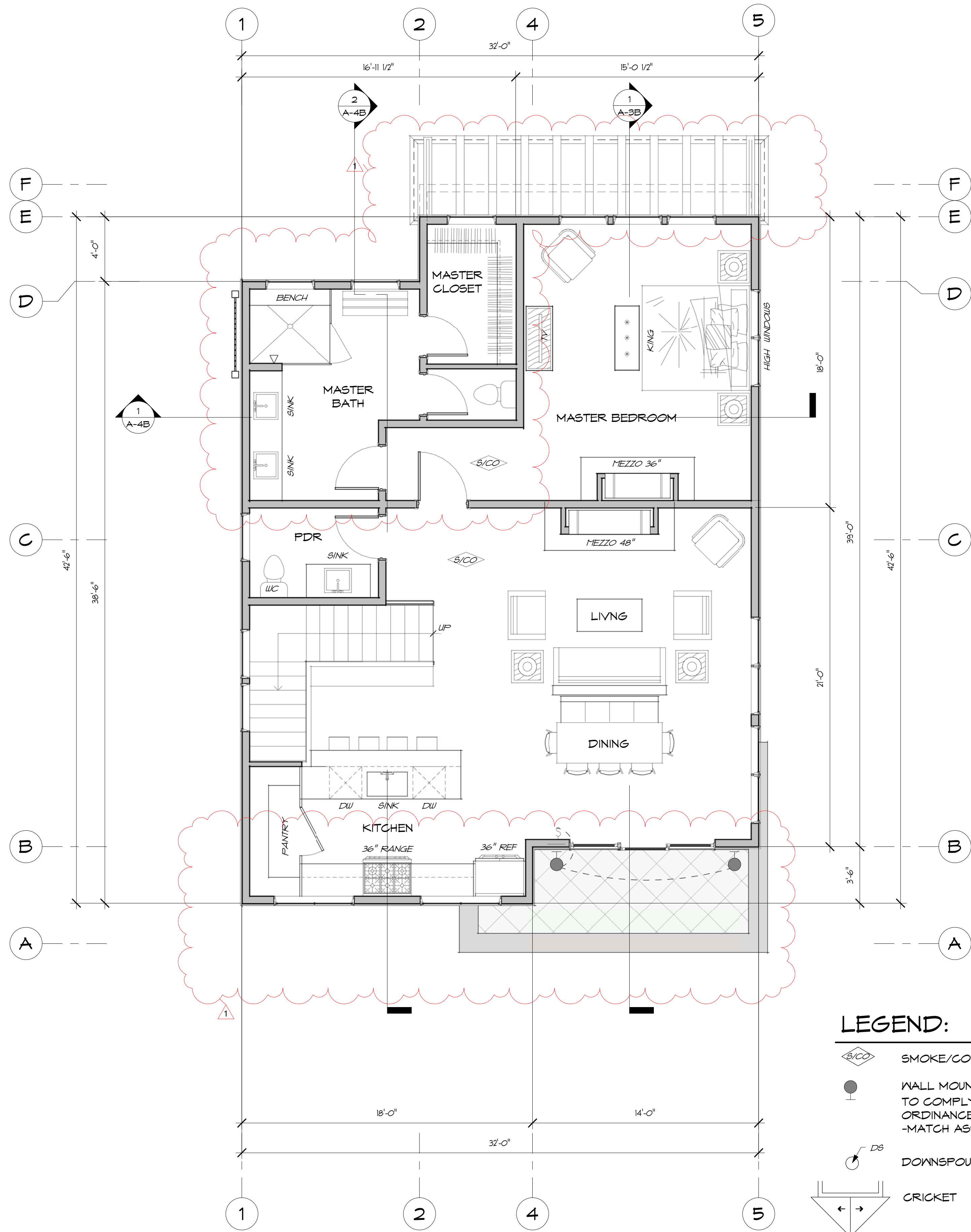
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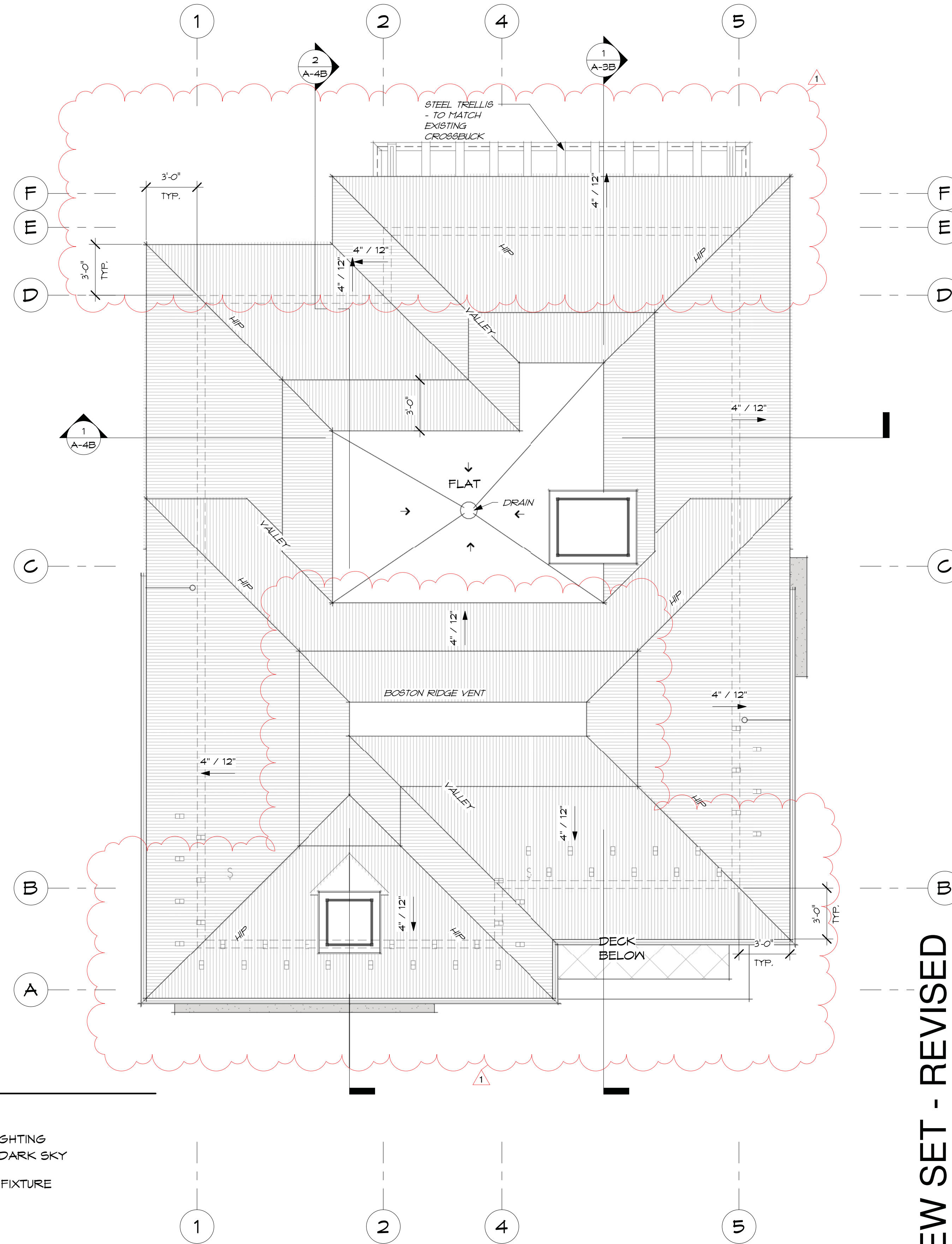
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A-1B

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1 UPPER LEVEL PLAN (UNIT B)
A-2B 1/4" = 1'-0"



2 ROOF PLAN (UNIT B)
A-2B 1/4" = 1'-0"

LEGEND:

- SMOKE/CO DETECTOR
- WALL MOUNTED EXTERIOR LIGHTING TO COMPLY WITH KETCHUM DARK SKY ORDINANCE -MATCH ASSOCIATION LIGHT FIXTURE
- DOWNSPOUT
- CRICKET
- ROOF DRAIN w/ INTEGRAL OVERFLOW

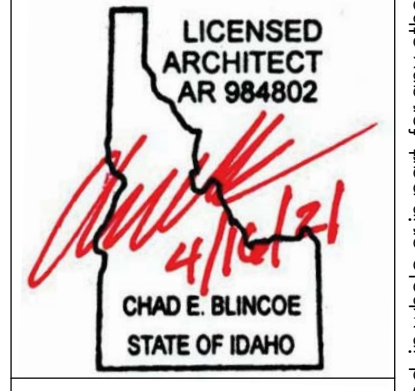
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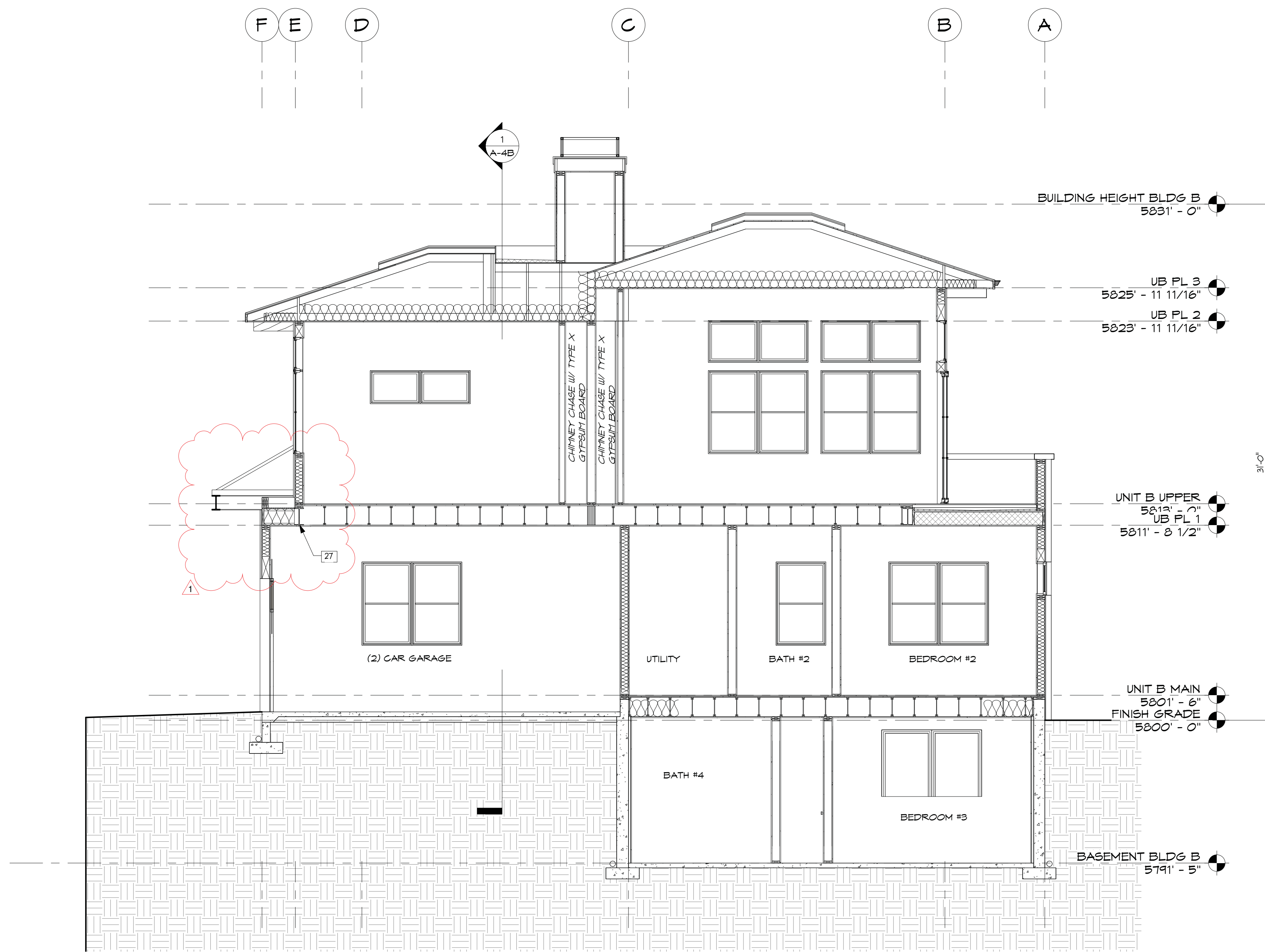
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DESIGN REVIEW UPDATE	4/6/21
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DESIGN REVIEW-RVSD	6/21/21

A-2B

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 UPS/FedEx: Ketchum, Idaho 83340
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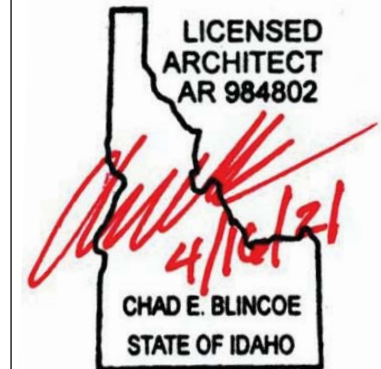
1 BUILDING B SECTION 1
 A-3B 1/4" = 1'-0"

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A-3B

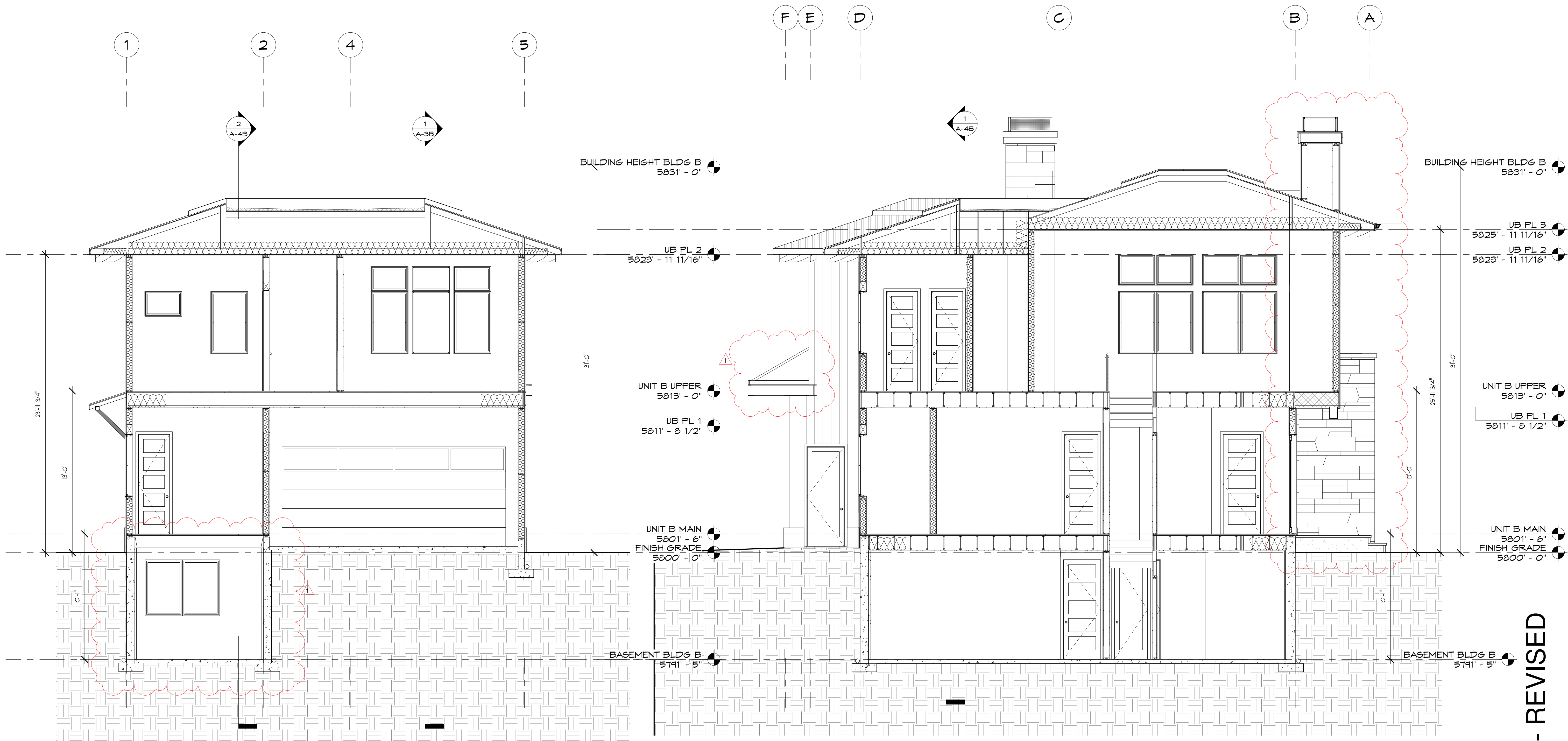
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	DESIGN REVIEW UPDATE 4/6/21
	PERMIT SET 4/16/21
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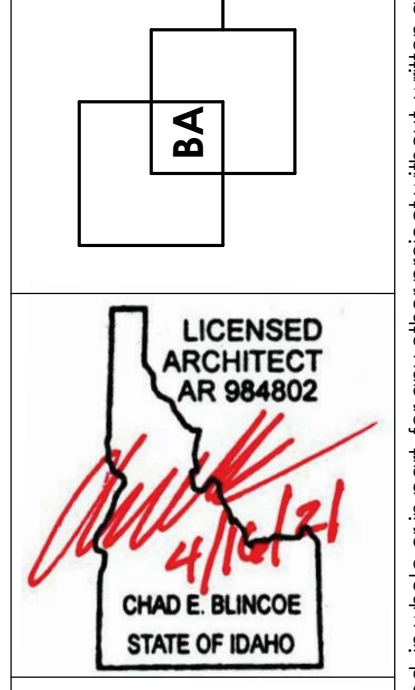


1 BUILDING B SECTION 2
A-4B 1/4" = 1'-0"

2 BUILDING B SECTION 3
A-4B 1/4" = 1'-0"

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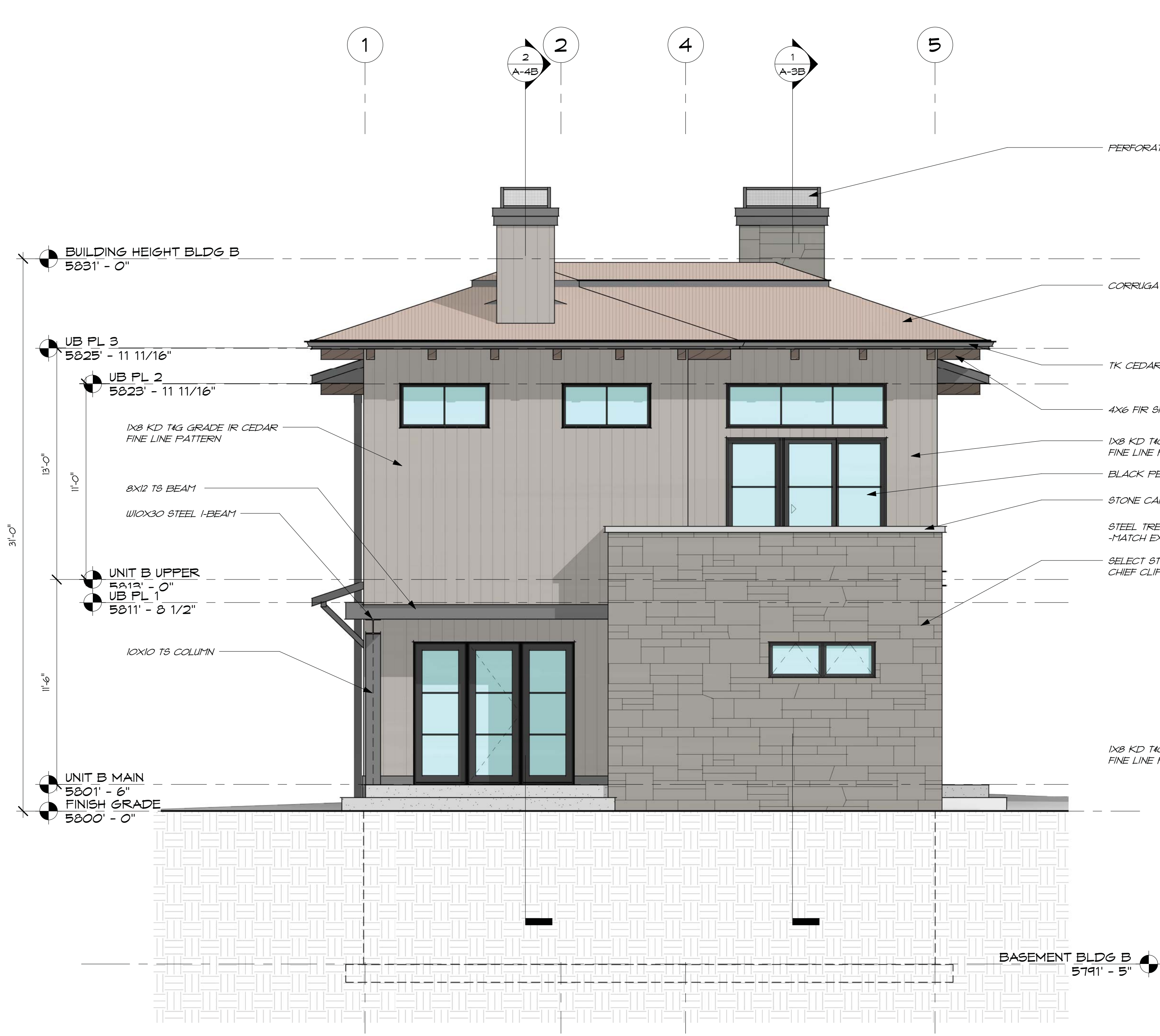


CROSSBUCK TOWNHOMES II
7th STREET
KETCHUM, ID 83340

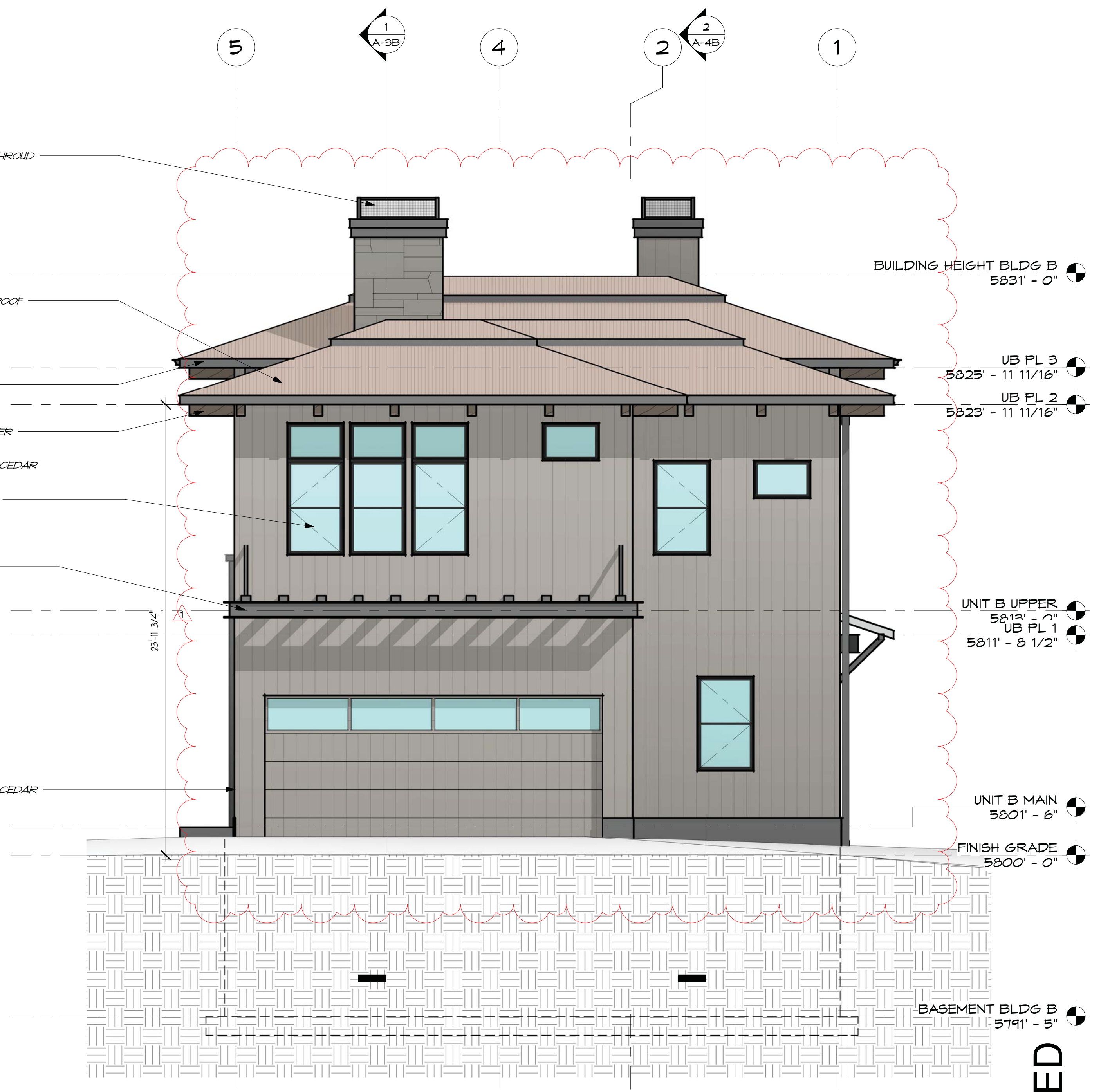
JOB #:	008.20
PLOT DATE:	4/16/21
DESIGN REVIEW:	3/4/21
PERMIT:	4/16/21
CONSTRUCTION:	
SUBMISSIONS/REVISIONS:	
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	DESIGN REVIEW UPDATE 4/6/21
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A-4B

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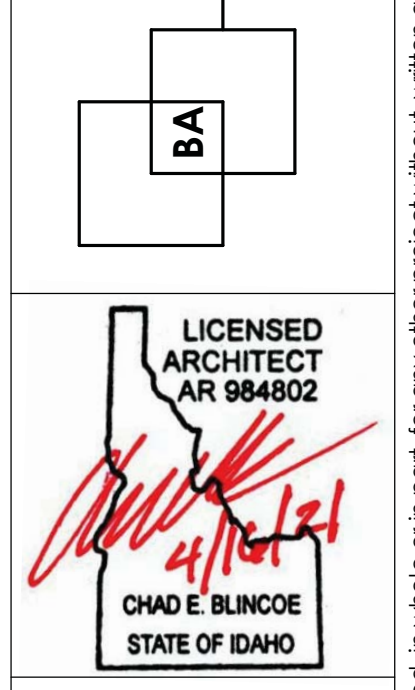
1 EAST SIDE ELEVATION (UNIT B)
A-5B 1/4" = 1'-0"



2 WEST SIDE ELEVATION (UNIT B)
A-5B 1/4" = 1'-0"

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Blincoe Architecture
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Tel: 208-720-1325
Info@BlincoeArchitecture.com

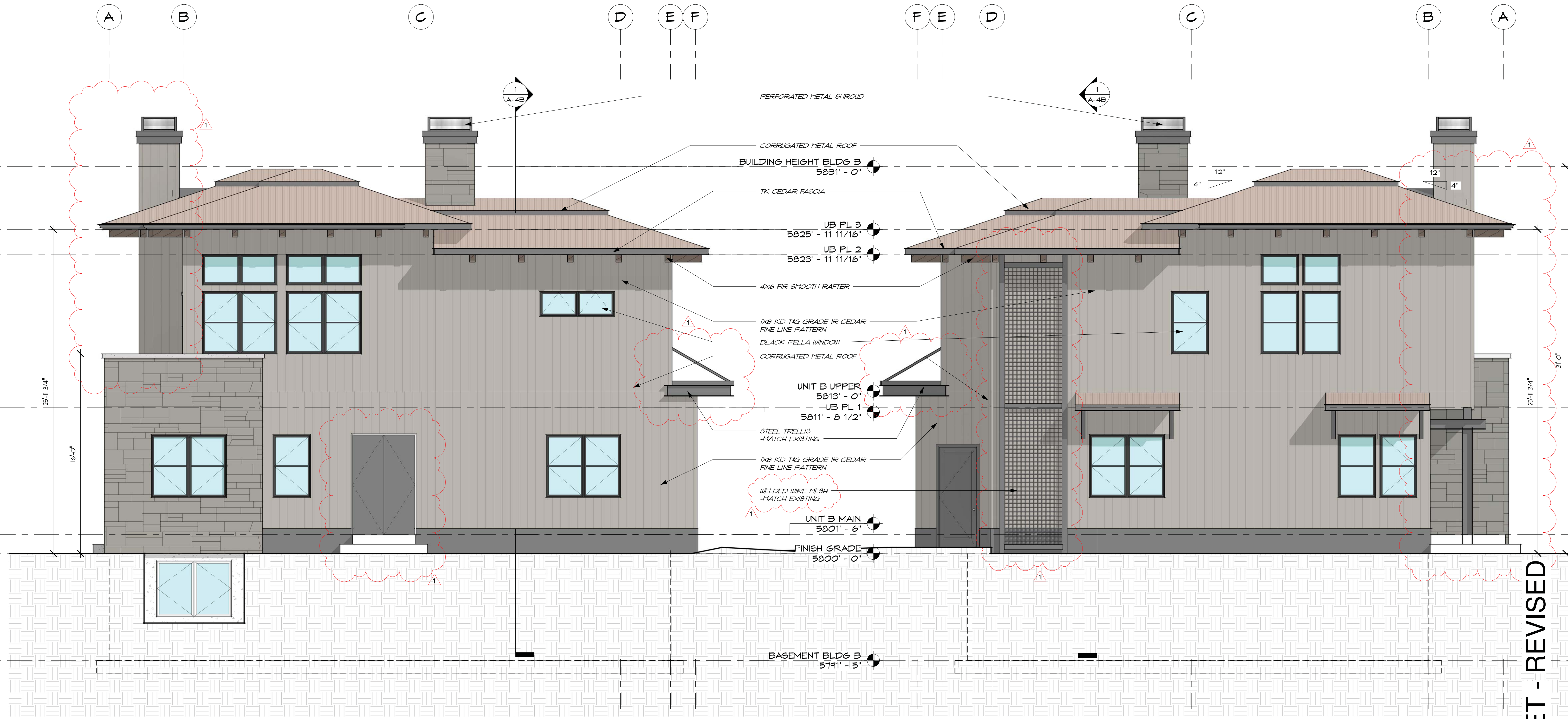


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A-5B

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1 NORTH SIDE ELEVATION (UNIT B)
A-6B 1/4" = 1'-0"

2 SOUTH SIDE ELEVATION (UNIT B)
A-6B 1/4" = 1'-0"

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Blincoe Architecture
 Mail: P.O. Box 4424
 Ketchum, Idaho 83340
 Tel: 208-720-1325
 Email: info@BlincoeArchitecture.com

LICENSED ARCHITECT
 AR 984802
 CHAD E. BLINCOE
 STATE OF IDAHO

CROSSBUCK TOWNHOMES II
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EXISTING CROSSBUCK TOWNHOMES 1
MATERIAL REFERENCE PHOTO

PELLA WINDOWS

1X8 KD T&G D GRADE 1R
CEDAR FINE LINE PATTERN

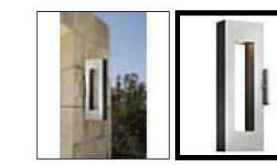
SELECT STONE PERMA
CHIEF CLIFF LEDGE

STEEL FRAMING

NOTE:

CROSSBUCK TOWNHOMES II MATERIALS TO MATCH
EXISTING CROSSBUCK TOWNHOMES I

Hinkley Atlantis 16" High Dark Sky Outdoor
Wall Light



PRODUCT DETAILS

Bring a sleek elegance to your outdoor spaces with this titanium finish wall light.

Additional Info:

A minimal line and form gives this outdoor wall light an unbeatable contemporary appeal. It features a sleek titanium finish exterior and twin bulbs in a stacked format. Conforms to "Dark Sky" light pollution design specs.

HINKLEY

Shop all Hinkley

- 16" high x 3" wide. Extends 7" from the wall. Backplate is 4 1/2" square.
- Comes with two 20 watt MR-16 halogen bulbs. Maximum 20 watt bulbs.
- Modern outdoor wall light from the Atlantis collection by Hinkley.
- Titanium finish. Extruded aluminum body construction. Etched glass lens.
- Wet location rated for outdoor use. Can also be used indoors. Dark Sky rated.

EXTERIOR LIGHTING
HINKLEY ATLANTIS BRONZE 16" HIGH
DARK SKY WALL LIGHT

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Blincoe Architecture
Mali:
P.O. Box 4424
Ketchum, Idaho
83340
Tel.: 208-720-1325
Info@BlincoeArchitecture.com

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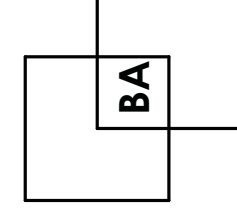
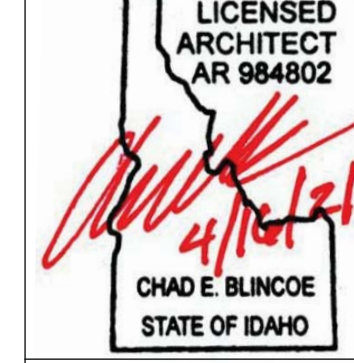
1 EXTERIOR PERSPECTIVE 1
PS

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Mali:
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Ketchum, Idaho
83340
Tel.: 208-720-1325
Email:
info@BlincoeArchitecture.com