



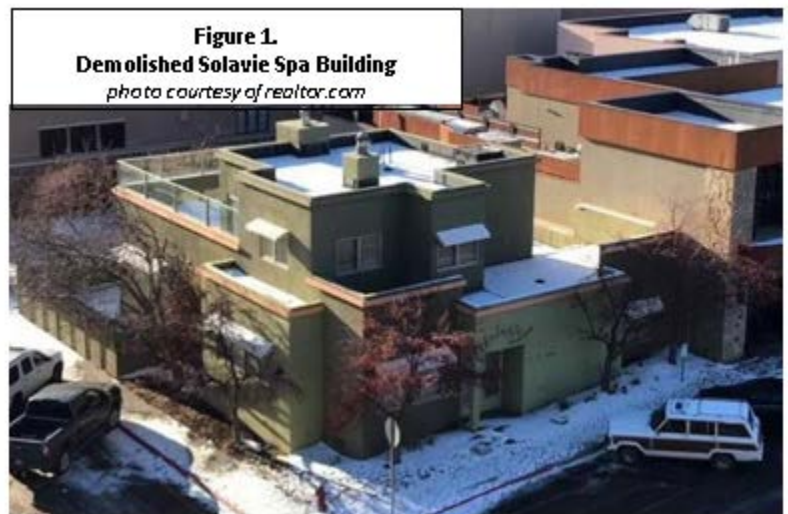
**STAFF REPORT**  
**KETCHUM PLANNING AND ZONING COMMISSION**  
**MEETING OF MAY 19, 2020**

- PROJECT:** Mountain Land Design Showroom & Residences Design Review
- FILE NUMBER:** P20-027
- APPLICATION TYPE:** Design Review
- APPLICANT:** Michael Doty Associates Architects
- PROPERTY OWNER:** Dan Devenport (360 Views LLC per Blaine County Assessor's Office)
- LOCATION:** 111 N Washington Avenue (Ketchum Townsite: Block 39: Lot 4)
- ZONING DISTRICT:** Mixed-Use Subdistrict of the Community Core (CC-2)
- NOTICE:** A public hearing notice for the project was mailed to all owners of property within 300 feet of the project site on April 29<sup>th</sup>, 2020.
- REVIEWER:** Abby Rivin, Associate Planner

**BACKGROUND**

The subject Design Review application is for the development of a new mixed-use building located at 111 N Washington Avenue within the Mixed-Use Subdistrict of the Community Core (CC-2). The mixed-use building will contain the Mountain Land Design Showroom on the first floor, two residential units on the second floor, a penthouse residential unit on third floor, an employee housing unit within the basement, and an underground parking garage.

The Planning & Zoning Commission reviewed and approved a Design Review application for this project on August 13<sup>th</sup>, 2019. At that time, the plans proposed an addition and exterior façade upgrades to the existing building located on the property. The existing building was constructed in 1983 and most recently was occupied by Solavie Spa Retreat. Demolition work exposed the building's structural deficiencies. As a result, the property owner chose to pursue a complete tear down of the existing building instead of the renovation.



While the scope of the project has expanded, the design intent remains the same as the original proposal. As the Planning & Zoning Commission reviewed and approved the first iteration of the project plans, Pre-Application Design Review has been waived in accordance with Ketchum Municipal Code (KMC) §17.96.010.C.5.



**PROJECT LOCATION**

The subject property is a 5,500-square-foot lot located at the northwest corner of N Washington Avenue and E 1st Street. Forest Service Park is across 1<sup>st</sup> Street to the south of the subject property. The Limelight Hotel is catty-corner to the project site. Across Washington Avenue to the east is the paid-parking lot operated by the City.

**STAFF RECOMMENDATION**

Staff recommends that the Commission consider the project plans, the applicant’s presentation, and any public comment received, deliberate, and approve the Mountain Land Design Showroom & Residences Design Review application.

**ANALYSIS**

Staff analysis is provided in Tables 1 through 4 including: (1) City Department comments, (3) compliance with zoning and dimensional standards, (3) evaluation of Design Review criteria, and (4) adherence to Community Core Design Review standards. Project plans are attached as Exhibit B to the Staff Report.

**Table 1: City Department Comments**

City Department Comments
<p><i>Note: City Department comments are preliminary. All City Departments shall review and approve the project through the Building Permit application process. All comments pertaining to the Design Review drawings are subject to change. All right-of-way improvements shall be reviewed and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project. All City Department requirements and associated specifications for the required improvements must be verified, reviewed, and approved prior to issuance of a Building Permit for the project.</i></p>
<p><b>Fire Department:</b></p> <ul style="list-style-type: none"> <li>• It is the General Contractor’s responsibility to understand and adhere to all Fire Protection Ordinance #1125 requirements in addition to any and all other City of Ketchum requirements in effect at the time of Building Permit issuance. Failure to comply with all local ordinances and codes may result in project work stoppage as well as criminal penalties.</li> <li>• The above project shall meet all 2012 International Fire Code requirements in addition to specific City Building and Fire Ordinances.</li> </ul>

- Approved address numbers shall be placed in such a position to be plainly visible and legible from the road fronting the property. Numbers and letters shall be a minimum of four (4) inches tall, contrast with their background and be positioned a minimum of forty-eight (48) inches above final grade.
- Vehicle parking and material storage during construction shall not restrict or obstruct public streets or access to any building. A minimum twenty-foot travel lane for emergency vehicle access shall be maintained clear and unobstructed at all times. All required Fire Lanes, including within 15 feet of fire hydrants, shall be maintained clear and unobstructed at all times.
- An approved automatic fire sprinkler system shall be installed throughout the building per City of Ketchum Ordinance #1125 ([www.ketchumfire.org](http://www.ketchumfire.org)) and the National Fire Protection Association Standard 13. An approved fire sprinkler flow bell, Knox box and Fire Department Connection shall be installed in an approved location visible to approaching firefighters. Water service lines to structures shall be hydraulically calculated for size to meet fire sprinkler flow requirements. Fire sprinkler systems shall be annually tested and maintained per NFPA 25. An approved fire department connection and flow bell shall be installed in a location approved by the fire department and the system shall be supervised by an approved alarm system.
- NOTE: One electronic set of fire sprinkler system plans must be submitted to the Ketchum Fire Department as well as the State Fire Marshal's office and a Ketchum Fire Department Permit must be obtained prior to installation of fire sprinkler systems. Inspections of fire sprinkler systems by the Fire Chief or an appointee are required. Inspections must be scheduled at least 48 hours in advance.
- An approved monitored fire sprinkler alarm system shall be installed per City of Ketchum Ordinance #1125 ([www.ketchumfire.org](http://www.ketchumfire.org)) and the requirements of NFPA 72. Two (2) sets of alarm system plans shall be submitted to the Ketchum Fire Department for approval and a permit is required prior to installation of alarm systems. Inspections of fire detection systems by the Fire Chief or an appointee are required and shall be scheduled at least 48 hours in advance.
- Fire extinguishers shall be installed and maintained per 2012 IFC Section 906 both during construction and upon occupancy of the building.
- Spark arresters are required on all solid fuel burning appliance chimneys to reduce potential fires from burning embers.
- An approved key box shall be installed, with the appropriate keys, for emergency fire department access in a location approved by the fire department. The key box shall be a Knox box brand and sized to accommodate keys to every door of the project.
- Inspections of Fire Department permit required installations shall be scheduled at least 48 hours in advance.
- An 8 ½ by 11 color coded site map of this project shall be provided on paper and electronically to the fire department. This site map shall show the locations of gas shut-offs, power shut-offs, fire sprinkler riser rooms, fire department connections, alarm panels, Knox boxes, access doors, egress windows, stairways and any additional fire department requirements. Exact details for color coded "On-Sites" can be found at [www.ketchumfire.org](http://www.ketchumfire.org).
- Final inspections of all Fire Department permit required installations by the Fire Chief or an appointee are required and shall be scheduled at least 48 hours in advance. A Final Inspection Checklist can be found at [www.ketchumfire.org](http://www.ketchumfire.org).
- Fire Department requirements and associated specifications for the required improvements must be verified, reviewed, and approved prior to issuance of a Building Permit for the project.

**City Engineer & Streets Department:**

- Pursuant to KMC §17.96.060.C1, all storm water drainage shall be retained on site, including water from any roof drains. All roof drain locations will need to be shown on the project plans submitted with the Building Permit application.
- Drainage improvements shall be equal to the length of the subject property lines adjacent to any public street or private street (KMC §17.96.060.C).
- Sidewalk snow removal is the responsibility of the property owner. If a snowmelt system is proposed, an Encroachment Permit from the City will be required. Applicant will be required to maintain and repair all associated encroachments.

- All lighting within the ROW will need to meet city ROW standards. (see Right-of-Way Standards, Commercial Category) on both Washington St. and 1st St. Per City ROW standards a lighting study will need to be provided to ensure project meets city illumination standards for sidewalks. Additional lights may be necessary. Consistent with the standards of the Dark Sky Society, the footcandles illuminating the sidewalk shall be an average of 0.2 fc and shall not exceed 5 fc. If lights are hardwired a separate lighting pedestal may be necessary to provide power to lights and provided at applicant's expense.
- 6 feet of clearance must be provided around all obstacles within the right-of-way, including street trees, grates, and lights.
- Pursuant to ADA standards, sidewalks cross slopes are 1.75 +/- 0.25 percent
- Sign locations and bases will need to be shown on the plans submitted with the Building Permit application. The Streets Department will provide the sign bases.
- Parallel parking stalls are 8' wide x 20' long.
- Alley improvements as shown are generally adequate.
- Roof overhangs shall not extend more than 3 feet over a public sidewalk. Roof overhangs that extend over the public sidewalk shall be approved by the City Engineer and Streets Department (KMC §17.96.070 B.6) through an Encroachment Permit.
- If the project results in increased loading, Will Serve letters for gas and electrical must be submitted prior to issuance of a Building Permit for the project.
- Utilities (electrical, gas) are not permitted in public ROW. If utility upgrades are necessary, the applicant will need to coordinate upgrades with Idaho Power and Intermountain Gas.
- All construction for the project must comply with the standards set forth in Ketchum Municipal Code, Chapter 15.06 Construction Activity Standards. The applicant shall submit a Construction Activity Plan addressing all applicable activities including excavation, material storage and deliveries, screening, and site clean-up (KMC §15.06.030) to be reviewed and approved by the Building Department prior to issuance of a Building Permit for the project. Pursuant to KMC §15.06.030.A.2, the applicant shall provide notice of the project, construction schedule, and general contractor's contact information to all neighbors with properties adjacent to the project site.
- The design shall meet all applicable sections of Chapter 12 of Ketchum Municipal Code (KMC §12.04.030.L).
- The applicant shall submit a Street and Alley Digging, Excavation, and Trenching ("DIG") Permit application with an associated traffic control plan for all construction work within the City right-of-way to be reviewed and approved by the Streets Department. The use of City right-of-way for construction including the closure of adjacent streets or sidewalks requires a Temporary Use of Right-of-Way Permit ("TURP").
- City Engineer & Streets Department requirements and associated specifications for the required improvements must be verified, reviewed, and approved prior to issuance of a Building Permit for the project.

**Utilities:**

- The existing 1" water service line shall be abandoned at the main. A new fire line shall be installed for the fire sprinkler system and all metering must be taken off the new fire line.
- Requirements and specifications for the water and sewer connections will be verified, reviewed, and approved by the Utilities Department prior to issuance of a Building Permit for the project.

**Building:**

- The building must meet the 2012 International Building Code and Title 15 Buildings and Construction of Ketchum Municipal Code.
- Building Department requirements and associated specifications for the required improvements must be verified, reviewed, and approved prior to issuance of a Building Permit for the project.

**Planning and Zoning:**

Comments are denoted throughout the Staff Report and Tables 2, 3, and 4.

**Table 2: Zoning and Dimensional Standards Analysis**

Zoning and Dimensional Standards Analysis				
Compliant			Standards and Staff Comments	
Yes	No	N/A	Ketchum Municipal Code Section	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.040	<b>Minimum Lot Area</b> <b>Required:</b> 5,500 square feet minimum <b>Existing:</b> No change. Lot 4 is 5,500 square feet.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.040	<b>Floor Area Ratios and Community Housing</b> <b>Staff Comments</b> <b>Permitted Gross FAR in Community Core Subdistrict 2(CC-2) :</b> 1.0 <b>Permitted Gross FAR with Inclusionary Housing Incentive:</b> 2.25  <b>Proposed Gross Floor Area:</b> 12,070 gross square feet  Pursuant to the definition of gross floor area (KMC §17.08.020), four parking stalls for developments on single Ketchum Townsite lots of 5,600 sq ft or less are not included in the gross floor area calculation. Four parking stalls 9' x 18' in size (648 square-feet total) have been deducted from the Gross Floor Area total square footage.  <b>Gross Floor Area with Parking Discount:</b> 11,422 gross square feet <b>Lot Area:</b> 5,500 square feet <b>FAR Proposed:</b> 2.08 (11,422 sq ft/5,500 sq ft lot area) <b>Increase Above Permitted FAR:</b> 5,922 square feet <b>20% of Increase:</b> 1,184 square feet <b>Net Livable (15% Reduction):</b> 1,007 square feet  The applicant has included a 978-square-foot employee housing unit with an associated 59-square-foot storage unit within the basement to satisfy the community housing contribution (Refer to Basement Floor Proposed Floor Plan).
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.040	<b>Minimum Building Setbacks</b> <b>Staff Comments</b> <u>Required</u> <b>Front &amp; Street Side:</b> 5' average <b>Rear Side Adjacent to an Alleyway:</b> 3' <b>Interior Side:</b> 0' <b>Cantilevered decks and overhangs:</b> 0' <b>Setbacks for 4th floor:</b> 10' <b>Non-habitable Structures/Fixed Amenities/Solar and Mechanical Equipment Affixed to the Roof from all Building Facades:</b> 10'  <u>Proposed Building Setbacks</u> The applicant has indicated the proposed setbacks on the Architectural Site Plan of the Design Review submittal. <b>Front (Washington Avenue):</b> 6'-3½" average <b>Street Side: (1st Street):</b> 5'-1" average

				<p>Rear Side (adjacent to alleyway): 3' Interior Side: 0'</p> <p><u>Proposed Setbacks for Non-Habitable Structures/Fixed Amenities/Solar and Mechanical Equipment Affixed to the Roof from all Building Facades</u></p> <p>The applicant has indicated the proposed setbacks in the elevations included with the Design Review Submittal.</p> <p><b>Non-Habitable Structure (roof deck access): &gt;10' from building facades</b></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.040	<p><b>Maximum Building Heights</b></p> <p><u>Permitted</u> Building Height: 42' Non-Habitable Structures Located on Building Rooftops: 10'</p> <p><u>Proposed</u> Building Height: 42' Non-Habitable Structures Located on Building Rooftops: 9'-11''</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.125.030H	<p><b>Curb Cut</b></p> <p><u>Staff Comments</u> <u>Required</u> A total of 35% of the linear footage of any street frontage can be devoted to access to off street parking. Corner lots that front two or more streets may select either or both streets as access but shall not devote more than 35% of the total linear footage of street frontage to access off street parking.</p> <p><u>Proposed</u> The vehicle lift to access the basement parking garage is located off the alley. No curb cuts on 1st Street or Washington Avenue are proposed.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.125.040	<p><b>Parking Spaces</b></p> <p><u>Staff Comments</u> <u>Required</u> Multi-Family Dwelling Units in CC Zone Units 750 square feet or less: 0 parking spaces Units 751 square feet to 2,000 square feet: 1 parking space Units 2,001 square feet and above: 2 parking spaces</p> <p><u>Exemptions in CC Zone</u></p> <ul style="list-style-type: none"> <li>• Community Housing</li> <li>• The first 5,500 gross square feet of retail trade</li> </ul> <p><u>Project Parking Demand</u> <i>Basement</i> Community Housing Unit: 0 parking spaces</p> <p><i>Main Floor</i> Retail Showroom &amp; Accessory Uses (stair and elevator towers) Gross Floor Area: 4,473 gross square feet 0 parking spaces required (exempt per KMC 17.125.040.C.1.c)</p>

			<p><i>Second Floor</i></p> <p>Residential Unit A: 1,948 square feet: 1 parking space required Residential Unit B: 1,538 square feet: 1 parking space required</p> <p><i>Third Floor</i></p> <p>Penthouse Unit: 3,305 square feet: 2 parking spaces required</p> <p>Total Parking Spaces Required: 4</p> <p><u>Proposed</u></p> <p>4 parking spaces within the parking garage in the basement</p> <p>Specifications sheet for the vehicle elevator must be submitted with the Building Permit application for review and approval by the Building Official, Fire Department, and City Engineer.</p>
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**Table 3: Design Review Standards Evaluation**

<b>Design Review Improvements and Standards (KMC §17.96.060)</b>				
<b>Yes</b>	<b>No</b>	<b>N/A</b>	<b>City Code</b>	<b>City Standards and Staff Comments</b>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.A1 Streets	The applicant shall be responsible for all costs associated with providing a connection from an existing city street to their development.
			<i>Staff Comments</i>	<i>The subject property has existing street frontage along 1<sup>st</sup> Street and Washington Avenue.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.A2 Streets	All street designs shall be approved by the City Engineer.
			<i>Staff Comments</i>	<i>No changes to the lanes of travel or the street designs are proposed with this project.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.B1 Sidewalks	All projects under 17.96.010(A) that qualify as a “Substantial Improvement” shall install sidewalks as required by the Public Works Department.
			<i>Staff Comments</i>	<i>The applicant has proposed to improve the sidewalks to City ROW standards (Sheets C1.0 &amp; C2.0).</i>  <i>Final civil drawings for all associated ROW improvements shall be submitted with the Building Permit application to be verified, reviewed, and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project.</i>  <i>See Table 1 for comments and conditions from the City Engineer &amp; Streets Department.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.B2 Sidewalks	Sidewalk width shall conform to the City’s right-of-way standards, however the City Engineer may reduce or increase the sidewalk width and design standard requirements at their discretion.
			<i>Staff Comments</i>	<i>The applicant will improve the sidewalks to City ROW standards along both Washington Avenue and 1st Street. Sheet C1.0 indicates an 8-foot wide sidewalk, which is the required width for 60’ (1<sup>st</sup> Street) and</i>

				<p>80' (Washington Avenue) ROWs. The sidewalk along Washington Avenue is proposed to narrow slightly to connect with the existing sidewalk conditions by the adjacent private property to the north.</p> <p>Final civil drawings for all associated ROW improvements shall be submitted with the Building Permit application to be verified, reviewed, and approved by the City Engineer and Streets Department. See Table 1 for review comments and conditions from the City Engineer &amp; Streets Department.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.B3 Sidewalks	<p>Sidewalks may be waived if one of the following criteria is met:</p> <ol style="list-style-type: none"> <li>The project comprises an addition of less than 250 square feet of conditioned space.</li> <li>The City Engineer finds that sidewalks are not necessary because of existing geographic limitations, pedestrian traffic on the street does not warrant a sidewalk, or if a sidewalk would not be beneficial to the general welfare and safety of the public.</li> </ol>
			<b>Staff Comments</b>	N/A
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.B4 Sidewalks	<p>The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.</p>
			<b>Staff Comments</b>	<p>The proposed sidewalk improvements are equal to the length of property's frontage along Washington Avenue and 1st Street.</p> <p>Final civil drawings for all associated ROW improvements shall be submitted with the Building Permit application to be verified, reviewed, and approved by the City Engineer and Streets Department.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.B5 Sidewalks	<p>New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.</p>
			<b>Staff Comments</b>	The proposed sidewalk design connects with existing sidewalks along Washington Avenue and 1 <sup>st</sup> Street.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.B6 Sidewalks	<p>The City may approve and accept voluntary cash contributions in-lieu of the above described improvements, which contributions must be segregated by the City and not used for any purpose other than the provision of these improvements. The contribution amount shall be one hundred ten percent (110%) of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the City Engineer. Any approved in-lieu contribution shall be paid before the City issues a certificate of occupancy.</p>
			<b>Staff Comments</b>	N/A. Staff does not recommend a voluntary cash contribution in-lieu of improvements for this project.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.C1 Drainage	All storm water shall be retained on site.



			<i>Staff Comments</i>	<p>All storm water is proposed to be retained on site, including storm water from roof drains. Sheets C1.0 and C2.0 indicate the proposed drainage improvements.</p> <p>Roof drain locations and specifications must be indicated the project plans submitted with the Building Permit application for review and approval by the City Engineer.</p> <p>Prior to issuance of a Building Permit for the project, the applicant shall submit a final drainage plan indicating grading, catch basins, piping, and drywells (KMC §17.96.040.C.2b &amp; KMC §17.96.060.C.1-4) prepared by a civil engineer licensed in the state for review and approval by the City Engineer and Streets Department. See Table 1 for City Department comments including City Engineer and Streets Department conditions.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.C2 Drainage	<p>Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.</p>
			<i>Staff Comments</i>	<p>Drainage improvements shall be equal to the length of the property lines along Washington Avenue and 1<sup>st</sup> Street. See above analysis for Ketchum Municipal Code §17.96.060.C1. All drainage improvements are required to be constructed City standards.</p> <p>Final civil drawings for all drainage improvements shall be submitted with the Building Permit application to be verified, reviewed, and approved by the City Engineer and Streets Department.</p> <p>See Table 1 for review comments and conditions from the City Engineer &amp; Streets Department.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.C3 Drainage	<p>The City Engineer may require additional drainage improvements as necessary, depending on the unique characteristics of a site.</p>
			<i>Staff Comments</i>	<p>The City Engineer will determine if the drainage improvements are sufficient after reviewing the final civil drawings submitted with the Building Permit application. The City Engineer may require additional drainage improvements if necessary.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.C.4 Drainage	<p>Drainage facilities shall be constructed per City standards.</p>
			<i>Staff Comments</i>	<p>All drainage facilities within the project site and the public right-of-way shall meet City standards. Final drainage specifications must be included with the civil drawings submitted with the Building Permit application to be reviewed and approved by the City Engineer &amp; Streets Department.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.D1 Utilities	<p>All utilities necessary for the development shall be improved and installed at the sole expense of the applicant.</p>
			<i>Staff Comments</i>	<p>All utilities necessary for the project shall be improved and installed at the sole expense of the applicant.</p>

				<p><i>Prior to issuance of a Building Permit, the applicant must secure a will-serve letter from Idaho Power.</i></p> <p><i>Final plans will be reviewed and approved by the City Engineer and Utilities Department prior to issuance of a Building Permit for the project. See Table 1 for City Department comments and conditions.</i></p>
☒	☐	☐	17.96.060.D2 Utilities	<p>Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view.</p>
			<i>Staff Comments</i>	<p><i>All utilities within the development site shall be underground and concealed from public view. The Architectural Site Plan, First Floor Plan, and Proposed West (Alley) Elevation indicate the electrical utility enclosure.</i></p> <p><i>The applicant's narrative notes that no roof-mounted mechanical or electrical equipment is anticipated for the project. Condenser units from the cooling system will be located on the 2nd floor deck behind a screen wall at the northeast corner of the building. Electrical metering equipment at the alley elevation is proposed to be screened by a steel enclosure and gas meters are anticipated to be located within a closet accessed from the alley.</i></p> <p><i>All roof and ground mounted mechanical, electrical, and plumbing equipment must be screened from public view.</i></p>
☒	☐	☐	17.96.060.D3 Utilities	<p>When extension of utilities is necessary all developers will be required to pay for and install two (2") inch SDR11 fiber optical conduit. The placement and construction of the fiber optical conduit shall be done in accordance with city of Ketchum standards and at the discretion of the City Engineer.</p>
			<i>Staff Comments</i>	<p><i>The subject property is served by high-speed internet. If an extension is needed, then the applicant will work with the City Engineer to identify the location of a fiber line to serve the project.</i></p>
☒	☐	☐	17.96.060.E1 Compatibility of Design	<p>The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures.</p>
			<i>Staff Comments</i>	<p><i>The proposed exterior materials include:</i></p> <ul style="list-style-type: none"> <li>• <i>Brick Veneer (2¾", color: lone tree)</i></li> <li>• <i>1' x 6' Horizontal Garapa Rainscreen Panels (clear sealer)</i></li> <li>• <i>1' x 6' Vertical Garapa Rainscreen Panels (weathered patina)</i></li> <li>• <i>2' x 8' Fiber Cement Panels (cembrit patina, color: 915-TUFA)</i></li> <li>• <i>Natural Stone Veneer (ashlar pattern)</i></li> <li>• <i>Black Steel Panels and Flashing</i></li> </ul> <p><i>The exterior elevations submitted with the project plans show the proposed materials, colors, and signing. The modern building alludes to more traditional design through natural materials, like the brick and stone.</i></p>

				<i>The proposed materials are compatible with neighboring buildings and the surrounding downtown area. The design approach refashions traditional materials combined with contemporary finishes to enhance visual interest.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.E2 Compatibility of Design	Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.
			<i>Staff Comments</i>	<i>N/A. No significant landmarks of historical or cultural importance have been identified on the property.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.E3 Compatibility of Design	Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to.
			<i>Staff Comments</i>	<i>N/A This standard does not apply because the existing building has been demolished and the updated project plan is new construction.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F1 Architectural	Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined.
			<i>Staff Comments</i>	<i>The main entry to the showroom is located at the southeast corner of the building and accessed from 1<sup>st</sup> Street. An entrance at the northeast corner of the building along Washington Avenue leads to the lobby area with elevator and stair access to the residential units on the second and third floors.</i>  <i>The entryways are defined by steel canopy elements, floor-to-ceiling windows and glass doors, and signage. Distinguished from the remainder of the storefront, the entrances recessed at the northeast and southeast corners of the building.</i>  <i>Unobstructed pedestrian access is provided from the entryway to a pathway that leads to the sidewalks along 1<sup>st</sup> Street and Washington Avenue.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F2 Architectural	The building character shall be clearly defined by use of architectural features.
			<i>Staff Comments</i>	<i>The building is characterized by modern design elements with simple building forms enhanced by the unique combination and placement of traditional materials. The brick, cement, stone, and rainscreen panels placed in one-, two-, and three-story elements break up solid building walls and mitigate flatness. Flat roofs at varying height and canopy elements further define the building.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F3 Architectural	There shall be continuity of materials, colors and signing within the project.
			<i>Staff Comments</i>	<i>The same materials and colors are proposed to be used on all four facades of the building. Back steel is the material used for balconies and roof decks, window shading devices, signage, door and window frames, and panel siding. The multiple black steel elements provide continuity across all facades. The consistent use of the same materials</i>

				<i>across all elevations ties the horizontal and vertical patterns arranged in one-, two-, and three-story elements into one cohesive building design.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F4 Architectural	Accessory structures, fences, walls and landscape features within the project shall match or complement the principal building.
			<i>Staff Comments</i>	<p><i>The project does not propose any fences or accessory structures.</i></p> <p><i>A freestanding stone wall at the corner of 1<sup>st</sup> Street and the alley borders a sunken paver patio, which will serve as the showroom's BBQ display area. The wall is less than 6 feet above grade, which complies with the maximum height for freestanding walls permitted by KMC §17.124.130. The applicant narrative notes that, "the gray tones of the stone compliment the silver-gray weathered wood on the third story to integrate the highest and lowest portion of the building."</i></p> <p><i>Landscape features soften the mass of building and provide visual relief to the vertical wall planes. At-grade planters highlight the building entrances at the northeast and southeast corners along Washington Avenue and 1<sup>st</sup> Street. At-grade and raised planters are incorporated within the second- and third-floor balconies and decks. The roof deck is enhanced through at-grade and raised planters and trees in planters.</i></p> <p><i>The applicant has proposed four street trees within the ROW along Washington Avenue and 1<sup>st</sup> Street. Street trees and furniture may be considered if a snowmelt system is installed for the sidewalks. Streetscape improvements must be indicated on civil plans submitted with the Building Permit application for final review and approval by the City Engineer and Streets Department. If approved by the City Engineer and Streets Department, all encroachments within the ROW require an Encroachment Permit.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F5 Architectural	Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.
			<i>Staff Comments</i>	<i>The brick, cement, stone, and rainscreen panels placed in one-, two-, and three-story elements provide undulation while mitigating the appearance of flat building walls or bulky building mass. The glazing use for the window and door openings as well as the black metal balconies and decks enhance the appearance of the building by providing visual relief. Flat roofs at varying height and canopy elements further define the building.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F6 Architectural	Building(s) shall orient towards their primary street frontage.
			<i>Staff Comments</i>	<i>The building orients toward its two primary street frontages— Washington Avenue and 1<sup>st</sup> Street. The only public entrance is located at the southeast corner of the building along the 1<sup>st</sup> Avenue. The entrance to the residential lobby is located at the</i>

				<i>northeast corner of the building along Washington Avenue.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F7 Architectural	Garbage storage areas and satellite receivers shall be screened from public view and located off alleys.
			<i>Staff Comments</i>	<i>The garbage storage area is proposed to be located within the building and will be accessed from the alley. Prior to issuance of a Building Permit for the project, the applicant shall submit a will-serve letter from Clear Creek Disposal.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F8 Architectural	Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties.
			<i>Staff Comments</i>	<i>The flat roof design includes internal drains providing weather protection to prevent water from dripping or snow from sliding onto circulation areas.</i>  <i>The Architectural Site Plan indicates the entry canopy wraps around the building corner from main entrance at 1<sup>st</sup> Street bordering the Washington Avenue façade. The entry canopies will serve as weather protection for pedestrians entering the showroom and shields the bicycle rack from precipitation.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.G1 Circulation Design	Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.
			<i>Staff Comments</i>	<i>This standard has been met by the proposed sidewalk improvements. The sidewalks will connect to existing sidewalks along 1<sup>st</sup> Street and Washington Avenue, which extend to the downtown pedestrian network.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.G2	Awnings extending over public sidewalks shall extend five (5') feet or more across the public sidewalk but shall not extend within two (2') feet of parking or travel lanes within the right of way.
			Circulation Design	<i>N/A. No awnings are proposed.</i>  <i>The canopy elements that project into the right-of-way are treated as roof overhangs.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.G3 Circulation Design	Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage.
			<i>Staff Comments</i>	<i>Vehicle access to the underground parking garage is provided from the Block 39 alleyway. This circulation configuration complies with the Ketchum Traffic Authority's recommendation that no curb cuts be permitted if there is alley access available to serve the development. No curb cuts are proposed along 1<sup>st</sup> Street or Washington Avenue, which enhances safety as driveways intersecting sidewalks may increase congestion and create safety hazards for pedestrians and bicyclists.</i>

				<p><i>Pedestrian and bicycle access to the building is provided from a paver pathway that connects to the public sidewalk along 1<sup>st</sup> Street and Washington Avenue.</i></p> <p><i>Prior to issuance of a Building Permit for the project, the City Engineer and Streets Department shall review the civil drawings to ensure adequate sight distances and proper signage for the proposed driveway access.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.G4 Circulation Design	<p>Curb cuts and driveway entrances shall be no closer than twenty (20') feet to the nearest intersection of two or more streets, as measured along the property line adjacent to the right of way. Due to site conditions or current/projected traffic levels or speed, the City Engineer may increase the minimum distance requirements.</p> <p><i>Staff Comments</i> <i>N/A as no curb cuts or driveway entrances are proposed along 1<sup>st</sup> Street or Washington Avenue.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.G5 Circulation Design	<p>Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project.</p> <p><i>Staff Comments</i> <i>Unobstructed access for emergency vehicles, snowplows, and garbage trucks is provided from the Block 39 alley, 1st Street, and Washington Avenue. The applicant shall submit a will-serve letter from Clear Creek Disposal prior to issuance of a Building Permit for the project.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.H1 Snow Storage	<p>Snow storage areas shall not be less than thirty percent (30%) of the improved parking and pedestrian circulation areas.</p> <p><i>Staff Comments</i> <i>The Architectural Site Plans notes, "There are no viable snow storage areas located on site. All snow management will be accomplished by snowmelt and hauling snow off-site."</i></p> <p><i>Most of the on-site circulation areas are covered by roof canopies. Snow removal from the sidewalk along 1<sup>st</sup> Street and Washington Avenue will be the responsibility of the property owner.</i></p> <p><i>The applicant proposes to snowmelt or haul snow off-site, which is permitted as an alternative to providing a snow storage area by KMC §17.96.060.H4.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.H2 Snow Storage	<p>Snow storage areas shall be provided on-site.</p> <p><i>Staff Comments</i> <i>The applicant proposes to snowmelt or haul snow off-site, which is permitted as an alternative to providing a snow storage area by KMC §17.96.060.H4.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.H3 Snow Storage	<p>A designated snow storage area shall not have any dimension less than five (5') feet and shall be a minimum of twenty-five (25) square feet.</p> <p><i>Staff Comments</i> <i>The applicant has proposed snowmelt and snow hauling in lieu of providing any snow storage areas on site.</i></p>

☒	☐	☐	17.96.060.H4 Snow Storage	In lieu of providing snow storage areas, snow melt and hauling of snow may be allowed.
			<i>Staff Comments</i>	<i>The Architectural Site Plans notes, "There are no viable snow storage areas located on site. All snow management will be accomplished by snowmelt and hauling snow off-site." Most of the on-site circulation areas are covered by roof canopies. Snow removal from the sidewalk along 1<sup>st</sup> Street and Washington Avenue will be the responsibility of the property owner.</i>
☒	☐	☐	17.96.060.I1 Landscaping	Landscaping is required for all projects.
			<i>Staff Comments</i>	<i>The landscape plan incorporates at-grade and raised planters within the second- and third-floor balconies and on the roof decks. At-grade planters highlight the building entrances at the northeast and southeast corners along Washington Avenue and 1<sup>st</sup> Street. The roof deck is further enhanced by trees in planters.</i>  <i>The applicant has proposed four street trees within the ROW along Washington Avenue and 1st Street. Street trees and furniture may be considered if a snowmelt system is installed for the sidewalks. Streetscape improvements must be indicated on civil plans submitted with the Building Permit application for final review and approval by the City Engineer and Streets Department. If approved by the City Engineer and Streets Department, all encroachments within the ROW require an Encroachment Permit.</i>
☒	☐	☐	17.96.060.I2 Landscaping	Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape.
			<i>Staff Comments</i>	<i>The proposed landscaping is complementary to the building and surrounding Community Core. The landscape plan has been prepared by a professional landscape architect and is understood to meet requirements for microclimate, soil conditions, orientation and aspect. The applicant's narrative notes that landscaped areas will have regional plantings adaptable to the site's microclimate.</i>
☒	☐	☐	17.96.060.I3 Landscaping	All trees, shrubs, grasses and perennials shall be drought tolerant. Native species are recommended but not required.
			<i>Staff Comments</i>	<i>All trees, shrubs, grasses, and perennials shall be drought tolerant. Native plants are recommended. The landscape plan indicates that all vegetation will be drip irrigated.</i>
☒	☐	☐	17.96.060.I4 Landscaping	Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged.
			<i>Staff Comments</i>	<i>The subject property is surrounded by compatible uses within the Community Core Zone. Forest Service Park serves as an open space buffer that will help mitigate the impacts of building mass from this</i>

				<i>project and the Limelight HOtel. The landscape features soften the mass of building and provide visual relief to the vertical wall planes.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.J1 Public Amenities	Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All public amenities shall receive approval from the Public Works Department prior to design review approval from the Commission.
			<i>Staff Comments</i>	<p><i>The applicant has provided one bicycle rack and one bench on site adjacent to the right-of-way at the corner of Washington Avenue and 1<sup>st</sup> Street.</i></p> <p><i>Street trees, streetlights, and a trash receptacle are proposed within the sidewalk along 1<sup>st</sup> Street and Washington Avenue. 6 feet of clearance must be provided around all obstacles within the right-of-way, including street trees, grates, and lights.</i></p> <p><i>All amenities within the right-of-way must be reviewed and approved by the City Engineer and, if approved, will require an Encroachment Permit issued by the City.</i></p> <p><i>Final civil drawings for all associated ROW and street improvements shall be submitted with the Building Permit application to be verified, reviewed, and approved by the City Engineer and Streets Department. See Table 1 for review comments and conditions from the City Engineer &amp; Streets Department.</i></p>

Table 4: Community Core Design Review Standards Evaluation

IMPROVEMENTS AND STANDARDS: 17.96.070 - Community Core (CC) Projects				
Yes	No	N/A	Ketchum Municipal Code Section	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070A(1)	Street trees, street lights, street furnishings, and all other street improvements shall be installed or constructed as determined by the Public Works Department.
			<i>Staff Comments</i>	<p><i>The applicant has provided one bicycle rack and one bench on site adjacent to the right-of-way at the corner of Washington Avenue and 1<sup>st</sup> Street.</i></p> <p><i>Street trees, streetlights, and a trash receptacle are proposed within the sidewalk along 1<sup>st</sup> Street and Washington Avenue. 6 feet of clearance must be provided around all obstacles within the right-of-way, including street trees, grates, and lights. All amenities within the right-of-way must be reviewed and approved by the City Engineer and, if approved, will require an Encroachment Permit issued by the City.</i></p>



				<i>Final civil drawings for all associated ROW and street improvements shall be submitted with the Building Permit application to be verified, reviewed, and approved by the City Engineer and Streets Department. See Table 1 for review comments and conditions from the City Engineer &amp; Streets Department.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(A)(2) Streets	Street trees with a minimum caliper size of three (3") inches, shall be placed in tree grates.
			Staff Comments	<i>The Streetscape Landscape Plan indicates that the 4 proposed street trees will be installed within tree grates and planted within silva cells for optimal root development.</i>  <i>Street trees and furniture may be considered if a snowmelt system is installed for the sidewalks. Streetscape improvements must be indicated on civil plans with the Building Permit application for final review and approval by the City Engineer and Streets Department. All encroachments within the ROW require an Encroachment Permit issued by the City.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(A)(3)	Due to site constraints, the requirements if this subsection 17.96.070(A) may be modified by the Public Works Department.
			Staff Comments	<i>Modification to the requirements of KMC §17. 96.070(A) may be recommended by the City Engineer and Streets Department following review of the civil drawings submitted with the Building Permit application. Preliminary plans submitted with Design Review are reviewed by the City Engineer and Streets Department in concept only. The final civil drawings including the streetscape, sidewalk, utilities, and drainage plans shall be reviewed and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project. Final details and approval will occur during Building Permit review.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(B)(1)	Facades facing a street or alley or located more than five (5') feet from an interior side property line shall be designed with both solid surfaces and window openings to avoid the creation of blank walls and employ similar architectural elements, materials, and colors as the front façade.
			Staff Comments	<i>The Washington Avenue, alley, and 1<sup>st</sup> Avenue facades incorporate significant fenestration and utilize the same materials, colors, and architectural elements as the front façade.</i>  <i>The mixed-use building is proposed to be built to the interior property line. While located less than 5 feet from the interior side property line and not subject to this standard, the applicant has incorporated some material differentiation from the primary concrete wall by adding steel panels and vertical rainscreen panels.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(B)(2)	For nonresidential portions of buildings, front building facades and facades fronting a pedestrian walkway shall be designed with ground floor storefront windows and doors with clear transparent glass.

				Landscaping planters shall be incorporated into facades fronting pedestrian walkways.
			Staff Comments	<i>The Mountain Land Design Showroom is located on the main level of the mixed-use building. Floor-to-ceiling windows and doors with clear transparent glass have been incorporated at the entrances and across the 1<sup>st</sup> Street and Washington Avenue facades. At-grade planters highlight the entrances at the northeast and southeast building corners along Washington Avenue and 1<sup>st</sup> Street.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(B)(3)	For nonresidential portions of buildings, front facades shall be designed to not obscure views into windows.
			Staff Comments	<i>The proposed design maximizes views into the Mountain Land Design Showroom for optimal window shopping.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(B)(4)	Roofing forms and materials shall be compatible with the overall style and character of the structure. Reflective materials are prohibited.
			Staff Comments	<i>Flat roofs at varying height and canopy elements define the building and reduce the appearance of bulk and mass. The flat roofing form is compatible with the modern design style of the mixed-use building. Reflective roofing materials are prohibited.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.070(B)(5)	All pitched roofs shall be designed to sufficiently hold all snow with snow clips, gutters, and downspouts.
			Staff Comments	<i>N/A as no pitched roofs are proposed for the project.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(B)(6)	Roof overhangs shall not extend more than three (3') feet over a public sidewalk. Roof overhangs that extend over the public sidewalk shall be approved by the Public Works Department.
			Staff Comments	<i>The applicant has proposed one window shade overhang that encroaches over the public sidewalk along 1<sup>st</sup> Street. The proposed window shade extends 2'-6" over the sidewalk (Refer to Architectural Site Plan).</i>  <i>The proposed encroachment of the window shade within the public ROW requires review and approval by the City Engineer and Street Department. If the window shade is approved, the overhang with the ROW may require an Encroachment Permit. The dimensioned window shade overhang encroachment shall be indicated on the project plans submitted with the Building Permit application to be reviewed and approved by the City Engineer and Streets Department. Final details will be reviewed through the Building Permit process.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(B)(7)	Front porches and stoops shall not be enclosed on the ground floor by permanent or temporary walls, windows, window screens, or plastic or fabric materials.
			Staff Comments	<i>The showroom and residential lobby entrances lead to at-grade paver pathways that connect to the sidewalks along 1<sup>st</sup> Street and Washington Avenue. These entrances are open and unenclosed. The entryways include a canopy element to provide weather protection.</i>

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(C)(1)	Trash disposal areas and shipping and receiving areas shall be located within parking garages or to the rear of buildings. Trash disposal areas shall not be located within the public right of way and shall be screened from public views.
			Staff Comments	<p><i>The trash disposal area is located at the within the building and accessed from the alley. The applicant's narrative notes that garbage will be collected in rolling carts. The rolling carts will be brought to the alley for pick-up and returned to the interior garbage storage area by building maintenance staff.</i></p> <p><i>The applicant shall submit a will serve letter from Clear Creek Disposal prior to issuance of a Building Permit for the project.</i></p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(C)(2)	Roof and ground mounted mechanical and electrical equipment shall be fully screened from public view. Screening shall be compatible with the overall building design.
			Staff Comments	<p><i>The applicant's narrative notes that no roof-mounted mechanical or electrical equipment is anticipated for the project. Condenser units from the cooling system will be located on the 2<sup>nd</sup> floor deck behind a screen wall at the northeast corner of the building. Electrical metering equipment at the alley elevation is proposed to be screened by a steel enclosure and gas meters are anticipated to be located within a closet accessed from the alley.</i></p> <p><i>All roof and ground mounted mechanical and electrical equipment shall be fully screened from public view. The final screening, location, and height of all ground and roof mounted mechanical equipment shall be reviewed prior to the issuance of a Building Permit and shall be approved upon Final Inspection prior to Certificate of Occupancy for the project.</i></p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.070(D)(1)	When a healthy and mature tree is removed from a site, it shall be replaced with a new tree. Replacement trees may occur on or off site.
			Staff Comments	No mature trees have been removed from the project site.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(D)(2)	Trees that are placed within a courtyard, plaza, or pedestrian walkway shall be placed within tree wells that are covered by tree grates.
			Staff Comments	<p><i>The 4 street trees indicated on the Streetscape Plan are proposed to be installed in tree wells and covered by grates. Trees to be located on the roof deck are proposed to be installed within planters.</i></p> <p><i>The applicant has proposed four street trees within the ROW along Washington Avenue and 1st Street. Street trees and furniture may be considered if a snowmelt system is installed for the sidewalks. Streetscape improvements must be indicated on civil plans submitted with the Building Permit application for final review and approval by the City Engineer and Streets Department. If approved by the City</i></p>

				<i>Engineer and Streets Department, all encroachments within the ROW require an Encroachment Permit.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.070(D)(3)	The city arborist shall approve all parking lot and replacement trees.
			Staff Comments	<i>N/A as no parking lot trees or replacement trees are required for the project.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.070(E)(1)	Surface parking lots shall be accessed from off the alley and shall be fully screened from the street.
			Staff Comments	<i>N/A. No surface parking is proposed with the project.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.070(E)(2)	Surface parking lots shall incorporate at least one (1) tree and one (1) additional tree per ten (10) onsite parking spaces. Trees shall be planted in landscaped planters, tree wells and/or diamond shaped planter boxes located between parking rows. Planter boxes shall be designed so as not to impair vision or site distance of the traveling public.
			Staff Comments	<i>N/A. The project does not include a surface parking area. On-site parking is accommodated within an underground garage.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(E)(3)	Ground cover, low lying shrubs, and trees shall be planted within the planters and planter boxes. Tree grates or landscaping may be used in tree wells located within pedestrian walkways.
			Staff Comments	<i>The landscape plan includes at-grade and raised planters that enhance the building entrances, upper-level balconies, and roof decks. The 4 street trees are proposed to be installed in tree wells and covered by grates.</i>  <i>6 feet of clearance must be provided around all obstacles within the right-of-way, including street trees, grates, and lights. All amenities within the right-of-way must be reviewed and approved by the City Engineer and, if approved, will require an Encroachment Permit issued by the City.</i>  <i>The applicant has proposed four street trees within the ROW along Washington Avenue and 1st Street. Street trees and furniture may be considered if a snowmelt system is installed for the sidewalks. Streetscape improvements must be indicated on civil plans submitted with the Building Permit application for final review and approval by the City Engineer and Streets Department. If approved by the City Engineer and Streets Department, all encroachments within the ROW require an Encroachment Permit.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(F)(1)	One (1) bicycle rack, able to accommodate at least two (2) bicycles, shall be provided for every four (4) parking spaces as required by the proposed use. At a minimum, one (1) bicycle rack shall be required per development.
			Staff Comments	<i>The development generates a parking demand of 4 spaces. 1 bike rack accommodating 2 bikes is required for the project.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.070(F)(2)	When the calculation of the required number of bicycle racks called for in this section results in a fractional number, a fraction equal to or

				greater than one-half (1/2) shall be adjusted to the next highest whole number.
			Staff Comments	<i>One bicycle rack is required. The fraction of the calculation is not equal to or greater than one-half.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(F)(3)	Bicycle racks shall be clearly visible from the building entrance they serve and not mounted less than fifty (50') feet from said entrance or as close as the nearest non-ADA parking space, whichever is closest. Bicycle racks shall be located to achieve unobstructed access from the public right-of-way and not in areas requiring access via stairways or other major obstacles.
			Staff Comments	<i>The bike rack is located on-site by the showroom entrance between the building and the sidewalk and is covered by the canopy overhang.</i>

**RECOMMENDED MOTION**

“I move to approve the Mountain Land Design Showroom & Residences Design Review application subject to conditions 1-11.”

**RECOMMENDED CONDITIONS OF APPROVAL**

1. As a voluntary contribution, in exchange for an increase in FAR, a total community housing contribution of 1,007 square feet is required. A Floor Area Ratio Exceedance Agreement between the applicant and the City to memorialize the community housing contribution shall be signed prior to issuance of a Building Permit for the project.
2. This Design Review approval is subject to all comments and conditions as described in Tables 1, 2, 3, and 4.
3. This Design Review approval is based on the plans and information presented and approved at the meeting on the date noted herein. Building Permit plans for all on-site improvements must conform to the approved Design Review plans unless otherwise approved in writing by the Planning and Zoning Commission or Administrator. Any building or site discrepancies which do not conform to the approved plans will be subject to removal.
4. All governing ordinances, requirements, and regulations of the Fire Department (2012 International Fire Code and local Fire Protection Ordinance No.1125), Building Department (2012 International Building Code, the 2012 International Residential Code, and Title 15 of Ketchum Municipal Code), Utilities Department, Street Department (Title 12 of Ketchum Municipal Code), and the City Engineer shall be met prior to Certificate of Occupancy.
5. The applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho to include specifications for the ROW, utilities, and drainage improvements to be reviewed and approved by the City Engineer, Streets, and Utilities departments prior to issuance of a Building Permit for the project.
6. The term of Design Review approval shall be twelve (12) months from the date that the Findings of Fact, Conclusions of Law, and Decision are adopted by the Commission or upon appeal, the date the approval is granted by the Council subject to changes in zoning regulations (KMC §17.96.090).
7. All Design Review elements shall be completed prior to issuance of a Certificate of Occupancy for the building.

8. All exterior lighting on the property shall comply with Ketchum Municipal Code, Chapter 17.132, Dark Skies, and will be inspected by Planning Staff and approved prior the issuance of a Certificate of Occupancy for the building.
9. The project shall comply with the requirements of §17.124.040 Development Standards as adopted on the date a Building Permit is submitted for the project.
10. Prior to issuance of a Building Permit for the project, the applicant shall submit a construction management plan, which addresses each of the standards as set forth in Ketchum Municipal Code, Chapter 15.06 Construction Activity Standards.
11. In addition to the requirements set forth in this Design Review approval, this project shall comply with all applicable local, state, and federal laws.

**EXHIBITS:**

- A. Design Review Application
- B. Project Plans
- C. Applicant Narrative: Design Review Evaluation Criteria and CC Design Review Standards

**Exhibit A:**  
**Design Review Application**



**City of Ketchum  
Planning & Building**

**Design Review Application**

OFFICIAL USE ONLY	
File #	W20-027
Date Received	3-20-20
By:	MP
Pre-Application Fee Paid:	
Design Review Fee Paid:	
Approved Date:	
Denied Date:	
By:	MP
ADRE: Yes <input type="checkbox"/> No <input type="checkbox"/>	

APPLICANT INFORMATION			
Project Name: Mountain Land Design Showroom		Phone: (801) 415-1601	
Owner: Mountain Land Design; Dan Devenport		Mailing Address: 2345 S. Main Street, Salt Lake City, Utah 84115	
Email: ddevenport@mountainlanddesign.com			
Architect/Representative: Michael Doty Associates; Michael Doty		Phone: (208) 726-4228	
Email: mike@mda-arc.com		Mailing Address: PO Box 2792, Ketchum, Idaho 83340	
Architect License Number: AR-1612			
Engineer of Record: Konrad & Stohler; Dave Konrad		Phone: (208) 928-7810	
Email: kse@ksengr.net		Mailing Address: PO Box 4464, Ketchum, Idaho 83340	
Engineer License Number: P-8618			
<i>All design review plans and drawings for public commercial projects, residential buildings containing more than four (4) dwelling units and development projects containing more than four (4) dwelling units shall be prepared by an Idaho licensed architect or an Idaho licensed engineer.</i>			
PROJECT INFORMATION			
Legal Land Description: Lot 4, Block 39, Ketchum Townsite			
Street Address: 111 N. Washington Avenue			
Lot Area (Square Feet): 5,500 SF			
Zoning District: CC-2; Community Core Mixed Use			
Overlay District: <input type="checkbox"/> Floodplain <input type="checkbox"/> Avalanche <input type="checkbox"/> Mountain			
Type of Construction: <input checked="" type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Remodel <input type="checkbox"/> Other			
Anticipated Use: Home Design and Appliance Showroom; Residential		Number of Residential Units: 3	
TOTAL FLOOR AREA			
	<b>Proposed</b>	<b>Existing</b>	
Basements	4,042	Sq. Ft.	Sq. Ft.
1 <sup>st</sup> Floor	4,476	Sq. Ft.	Sq. Ft.
2 <sup>nd</sup> Floor	4,061	Sq. Ft.	Sq. Ft.
3 <sup>rd</sup> Floor	3,223	Sq. Ft.	Sq. Ft.
Mezzanine		Sq. Ft.	Sq. Ft.
Total	15,802	Sq. Ft.	Sq. Ft.
FLOOR AREA RATIO			
Community Core: 2.08		Tourist:	General Residential-High:
BUILDING COVERAGE/OPEN SPACE			
Percent of Building Coverage: 89%			
DIMENSIONAL STANDARDS/PROPOSED SETBACKS			
Front: 5'-1" Average	Side: 6'-4" Average	Side: 0	Rear: 3'
Building Height: 39'-1" at front facade; 42'-0" at rear facade			
OFF STREET PARKING			
Parking Spaces Provided: 4			
Curb Cut: N/A	Sq. Ft.	%	
WATER SYSTEM			
<input type="checkbox"/> Municipal Service		<input type="checkbox"/> Ketchum Spring Water	



The Applicant agrees in the event of a dispute concerning the interpretation or enforcement of the Design Review Application in which the city of Ketchum is the prevailing party, to pay the reasonable attorney fees, including attorney fees on appeal and expenses of the city of Ketchum. I, the undersigned, certify that all information submitted with and upon this application form is true and accurate to the best of my knowledge and belief.

  
Signature of Owner/Representative

03/20/2020

Date

**DESIGN REVIEW EVALUATION STANDARDS**  
**(May not apply to Administrative Design Review):**

**17.96.060: IMPROVEMENTS AND STANDARDS FOR ALL PROJECTS**

**A. Streets:**

1. The applicant shall be responsible for all costs associated with providing a connection from an existing city streets to their development.
2. All streets designs shall be in conformance with the right-of-way standards and approved by the Public Works Director.

**B. Sidewalks:**

1. All projects under 17.96.010(A) that qualify as a "Substantial Improvement" shall install sidewalks in conformance with the right-of-way standards. Sidewalk improvements may be waived for projects that qualify as a "Substantial Improvement" which comprise additions of less than 250 square feet of conditioned space.
2. The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.
3. New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.
4. The city may approve and accept voluntary cash contributions in-lieu of the above described improvements, which contributions must be segregated by the city and not used for any purpose other than the provision of these improvements. The contribution amount shall be one hundred ten percent (110%) of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the Public Works Director. Any approved in-lieu contribution shall be paid before the city issues a certificate of occupancy.

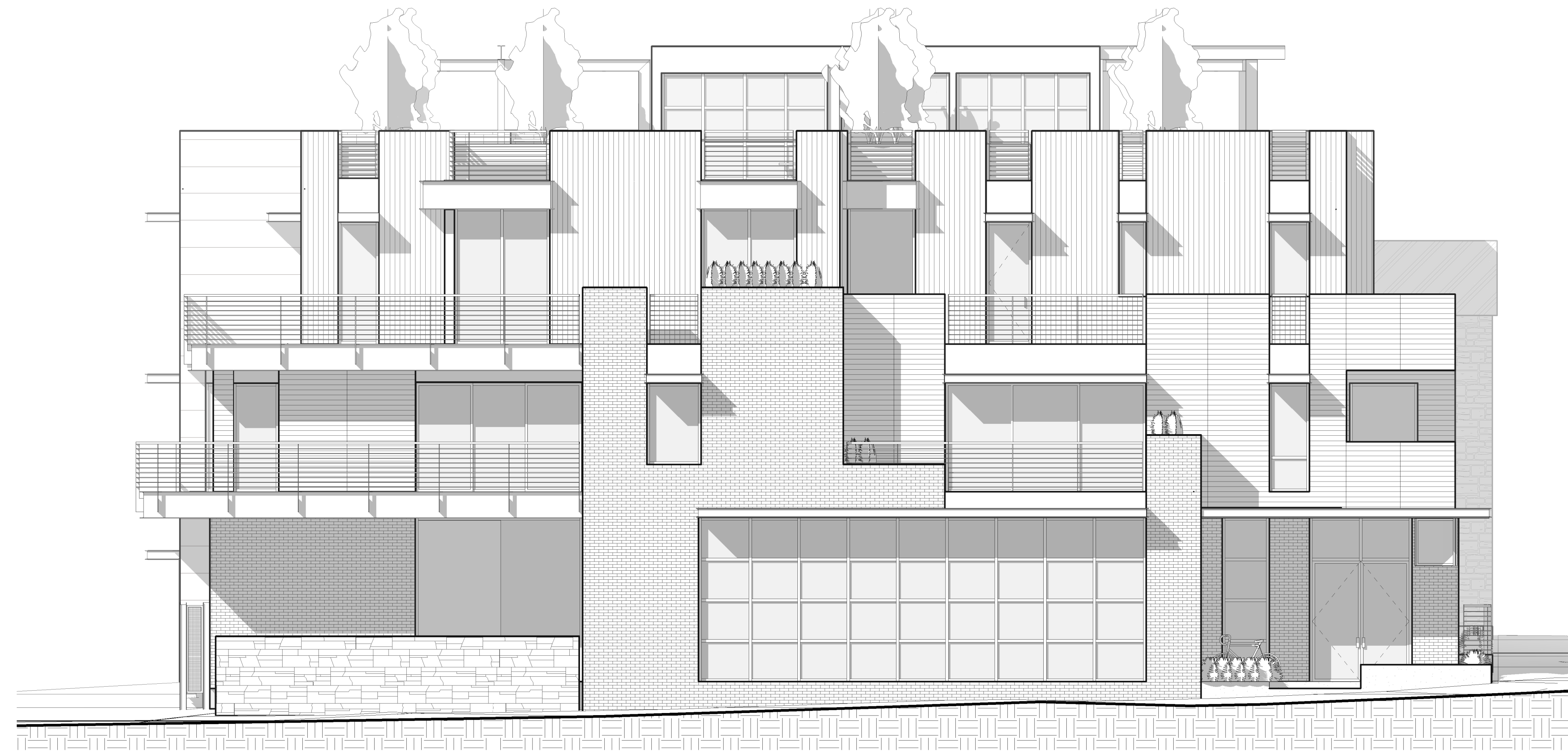
**C. Drainage:**

1. All storm water shall be retained on site.
2. Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.
3. The Public Works Director may require additional drainage improvements as necessary, depending on the unique characteristics of a site.

# Exhibit B: Project Plans

# INDEX TO DRAWINGS

DR-1	DESIGN REVIEW COVER
C1.0	SITE GRADING DRAINAGE AND UTILITY PLAN
C2.0	DETAIL SHEET
DR-2	ARCHITECTURAL SITE PLAN
DR-3	PROPOSED BASEMENT FLOOR PLAN
DR-4	PROPOSED FIRST FLOOR PLAN
DR-5	PROPOSED SECOND FLOOR PLAN
DR-6	PROPOSED THIRD FLOOR PLAN
DR-7	PROPOSED ROOF DECK FLOOR PLAN
DR-8	PROPOSED ROOF PLAN
DR-9	PROPOSED EXTERIOR FINISHES
DR-10	PROPOSED BUILDING ELEVATIONS
DR-11	PROPOSED BUILDING ELEVATIONS (COLORED)
DR-12	PROPOSED BUILDING ELEVATIONS
DR-13	PROPOSED BUILDING ELEVATIONS (COLORED)
DR-14	PROPOSED BUILDING ELEVATIONS
DR-15	PROPOSED BUILDING ELEVATIONS (COLORED)
DR-16	PROPOSED BUILDING ELEVATIONS
DR-17	PROPOSED BUILDING ELEVATIONS (COLORED)
DR-18	PROPOSED BUILDING SECTION
DR-19	PROPOSED 3-D VIEWS
DR-20	PROPOSED 3-D VIEWS
DR-21	PROPOSED 3-D VIEWS
DR-22	PROPOSED 3-D VIEWS
DR-23	PROPOSED 3-D VIEWS
DR-24	PROPOSED 3-D VIEWS (COLORED)
DR-25	PROPOSED 3-D VIEWS (COLORED)
DR-26	PROPOSED 3-D VIEWS (COLORED)
DR-27	PROPOSED 3-D VIEWS (COLORED)
DR-28	PROPOSED 3-D VIEWS (COLORED)
L1	BASEMENT
L2	STREETSCAPE
L3	2ND FLOOR DECKS
L4	3RD FLOOR DECKS
L5	ROOF DECKS
TOTAL DESIGN REVIEW SHEETS: 35	



## MATERIAL SYMBOLS

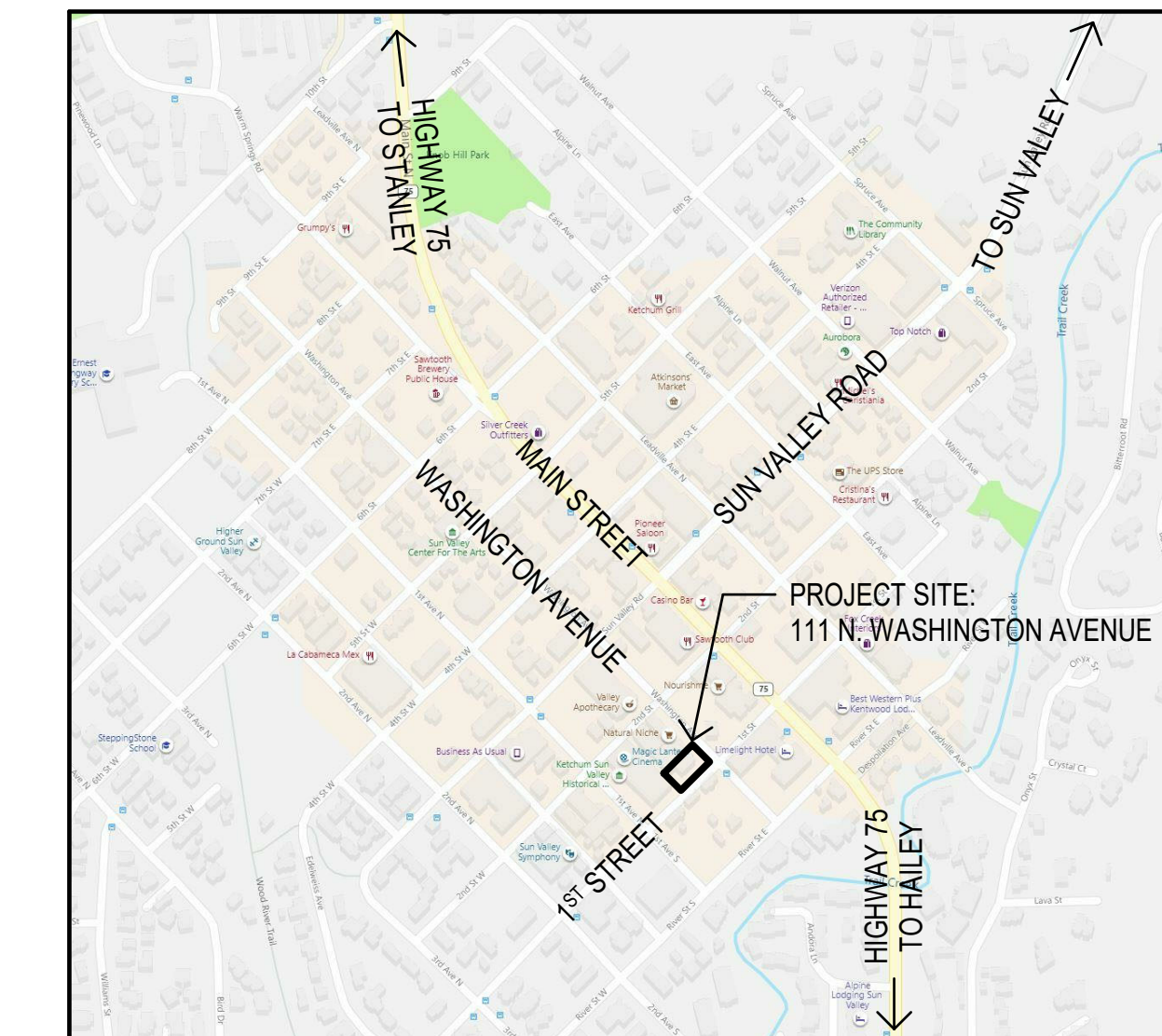
PLAN AND SECTION	ELEVATION
EARTH / TOP SOIL	SIDING
PLYWOOD	CONCRETE
WASHED ROCK	STUCCO
FINISH WOOD	GLASS
ASPHALT PAVING / ROADBED MATL.	CONCRETE MASONRY UNIT
SAND, PLASTER, GYPSUM BOARD	BRICK
CONCRETE	BATT INSULATION
BRICK	BIBS INSULATION
CONCRETE MASONRY UNIT	RIGID INSULATION
CUT STONE	SPRAY FOAM INSULATION
STEEL	WALL - NEW CONSTRUCTION
ALUMINUM	WALL - EXISTING TO REMAIN
	WALL - TO BE DEMOLISHED

## PROJECT TEAM

<b>OWNER:</b>	Mountain Land Design Dan Devenport 2345 S. Main Street Salt Lake City, Utah 84115 ddevenport@mountainlanddesign.com	<b>LANDSCAPE ARCHITECT:</b>	BYLA Landscape Architects Chase Gouley PO Box 594 323 North Lewis Street, Suite N Ketchum, Idaho 83340 (208) 726-5907 chase@byla.us
<b>ARCHITECT:</b>	Michael Doty Associates, Architects, PC PO Box 2792 371 Washington Avenue North Ketchum, Idaho 83340 (208) 726-4228 mike@mda-arc.com	<b>CIVIL ENGINEER:</b>	Galena Engineering, Inc. Sean Flynn 317 North River Street Hailey, Idaho 83333 (208) 788-1705 sfflynn@galena-engineering.com
<b>GENERAL CONTRACTOR:</b>	Magleby Construction Bryan McNamara 511 East Avenue, Suite 201 Ketchum, Idaho 83340 (208) 725-3923 bmacnamara@maglebyconstruction.com		
<b>STRUCTURAL ENGINEER:</b>	Konrad & Stohler Structural Engineering, LLC Dave Konrad PO Box 4464 Ketchum, Idaho 83341 (208) 928-7810 kse@ksengr.net		

## PROJECT DATA

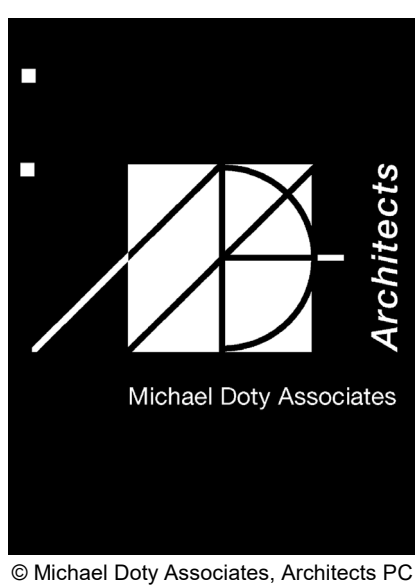
<b>LEGAL DESCRIPTION:</b>	LOT 4, BLOCK 39, KETCHUM TOWNSITE KETCHUM, IDAHO
<b>ZONING:</b>	CC-2 COMMUNITY CORE; MIXED USE
<b>CONSTRUCTION TYPE:</b>	TYPE V-B
<b>OCCUPANCY:</b>	B - BUSINESS, SHOWROOM R-2 - MULTI-FAMILY RESIDENTIAL
<b>BUILDING AREA:</b>	BASEMENT: 1,268 SF MAIN FLOOR: 4,224 SF 2ND FLOOR: 2,848 SF 3RD FLOOR: 327 SF TOTAL: 8,667 SF
<b>FIRE SPRINKLER SYSTEM:</b>	NFPA 13 THROUGHOUT
<b>SITE AREA:</b>	5,500 SQ. FT. (0.13 ACRES)
<b>CODES:</b>	2015 INTERNATIONAL BUILDING CODE (2015 IBC) AS ADOPTED BY CITY OF KETCHUM BUILDING DEPT.
<b>JURISDICTIONS:</b>	CITY OF KETCHUM PLANNING & ZONING CITY OF KETCHUM BUILDING DEPARTMENT CITY OF KETCHUM FIRE DEPARTMENT

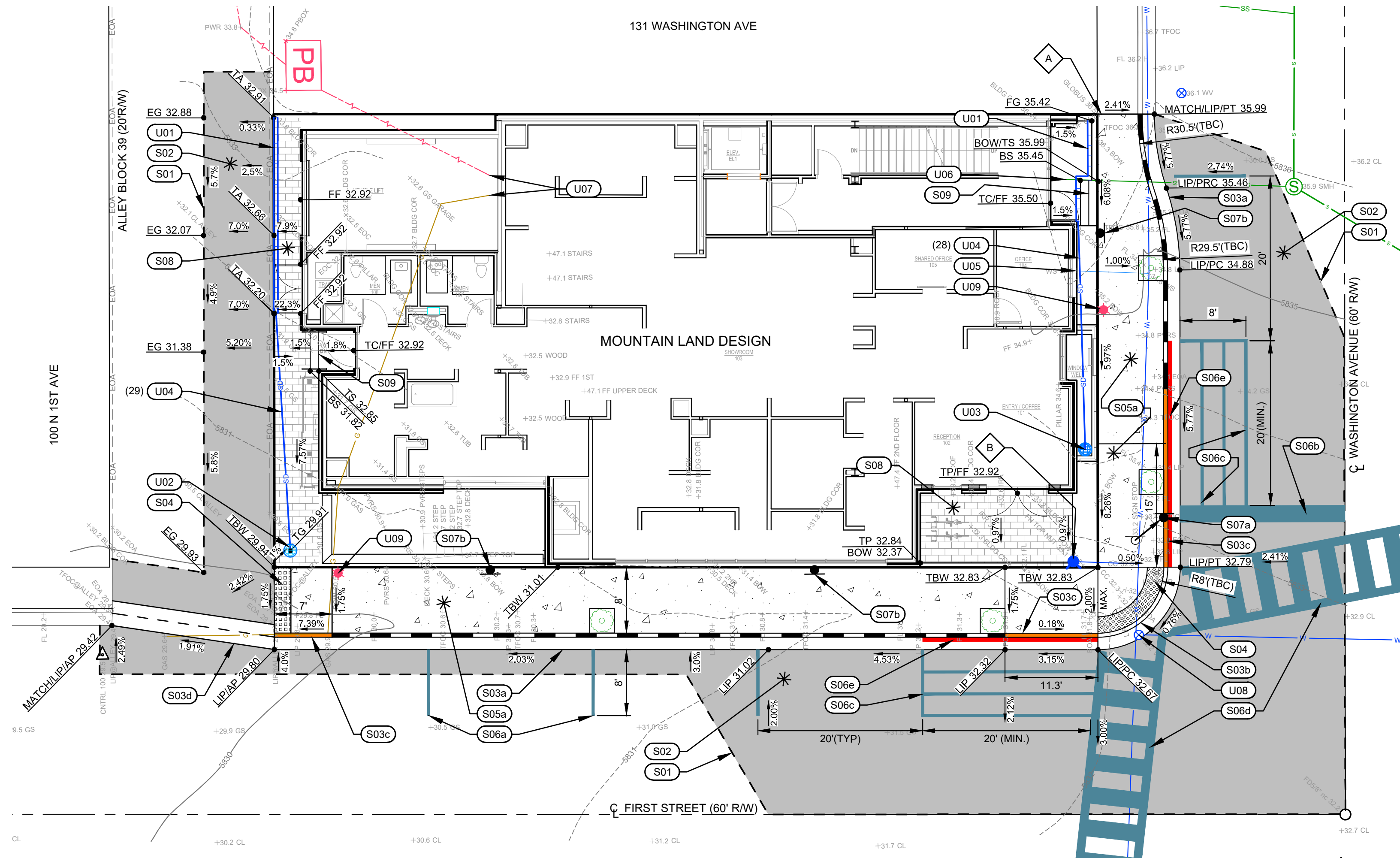


# MOUNTAIN LAND DESIGN SHOWROOM AND RESIDENCES

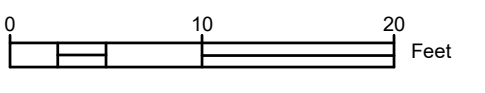
111 NORTH WASHINGTON AVENUE  
KETCHUM, IDAHO

DESIGN REVIEW SUBMITTAL  
5/6/2020





LEGEND	
<b>EXISTING ITEMS</b>	<b>PROPOSED ITEMS</b>
— PROPERTY BOUNDARY	— NEW ASPHALT
— ADJOINERS LOT LINE	— CONCRETE SIDEWALK
— CENTERLINE ROAD	— CONCRETE 6" VERTICAL CURB
— EOA	— CURB TRANSITION
— EOA/EDGE OF ASPHALT	— ZERO REVEAL CURB & GUTTER
— BOW/TFOC-SIDEWALK	— ADA ACCESS TRUNCATED DOME
— GAS SERVICE	— SIGN
— UNDERGROUND POWER	— STORM DRAIN
— PVRs=PAVERS	— DRYWELL WITH GRATED LID
— FOUND 5/8" REBAR AS SHOWN	— SAWCUT LINE
— FOUND ALUMINUM CAP	— ROAD PAINT
— SEWER MAN HOLE	— GRADE
— SEWER CLEAN OUT	— TRENCH DRAIN
— FIRE HYDRANT	— VALLEY GUTTER
— WATER VALVE	— STREET LIGHT
— POWER METER/TRANSFORMER	— THICKENED EDGE CONCRETE SIDEWALK
— GAS METER	— PAVERS PER LANDSCAPE ARCHITECT
— AP = ANGLE POINT	— EXTERIOR WALL 1ST FLOOR
— BS = BOTTOM OF STEP	— EXTERIOR WALL BASEMENT
— EG = EXISTING GRADE	— TREE WELL
— GS = GROUND ELEVATION	— DRYWELL
— IRR = IRRIGATION BOX	
— FF = FINISHED FLOOR	
— LIP = LIP OF GUTTER	
— PC = POINT OF CURVE	
— PT = POINT OF TANGENT	
— PRC = POINT OF REVERSE CURVE	
— TBW = TOP BACK OF WALK	
— TC = TOP OF CONCRETE	
— TG = TOP OF GRATE	
— TP = TOP OF PAVERS	
— TS = TOP OF STEP	



**CONSTRUCTION KEYNOTES**

**SITE IMPROVEMENTS**

- (S01) SAWCUT EXISTING ASPHALT TO PROVIDE FOR A CLEAN VERTICAL EDGE.
  - (S02) CONSTRUCT/ REPAIR ASPHALT. SEE DETAIL 1, SHEET C2.0.
  - (S03) CONSTRUCT CONCRETE CURB
    - a. 6" CONCRETE VERTICAL CURB AND GUTTER PER DETAIL 4, SHEET C2.0.
    - b. ZERO REVEAL CURB AND GUTTER PER DETAIL 3, SHEET C2.0.
    - c. CURB TRANSITION PER DETAIL 3, SHEET C2.0 [ (byp.) ].
    - d. 3' WIDE CONCRETE VALLEY GUTTER PER DETAIL 7, SHEET C2.0.
  - (S04) INSTALL TRUNCATED DOME DETECTABLE WARNING INSERT. SEE DETAIL 10, SHEET C2.0.
  - (S05) CONSTRUCT CONCRETE SIDEWALK. WIDTH AS SHOWN HEREON.
    - a. CONSISTENT THICKNESS SIDEWALK. SEE DETAIL 2, SHEET C2.0.
    - b. THICKENED EDGE SIDEWALK. SEE DETAIL 2, SHEET C2.0.
  - (S06) INSTALL PAVEMENT MARKINGS PER CITY OF KETCHUM STANDARDS
    - a. 4" WIDE YELLOW PARKING STRIPE
    - b. 24" WIDE WHITE STOP BAR
    - c. 4" WIDE YELLOW NO-PARKING STRIPE
    - d. WHITE CROSSWALK STRIPING (MATCH CITY PATTERNS)
    - e. NO PARKING ZONE (RED CURB)
  - (S07) INSTALL SIGNS. CITY WILL PROVIDE SIGN BASES. SEE DETAIL 11, SHEET C2.0 FOR SIGN BASE DETAIL.
    - a. RELOCATE STOP/STREET SIGN.
    - b. REGULATORY SIGN. COORDINATE TYPE AND FINAL LOCATION WITH CITY OF KETCHUM.
  - (S08) INSTALL PAVERS PER LANDSCAPE ARCHITECT PLANS.
  - (S09) CONSTRUCT CONCRETE STAIRS WITH HANDRAILS PER DETAIL 9, SHEET C2.0.
- (A) MATCH EXISTING LINES AND GRADES  
 (B) RETAIN AND PROTECT FIRE HYDRANT

**UTILITY IMPROVEMENTS**

- (U01) TRENCH DRAIN WITH HEAT TAPE. SEE LANDSCAPE ARCHITECT DRAWINGS FOR DETAIL. INSTALL PER MANUFACTURERS SPECIFICATIONS.
- (U02) INSTALL DRYWELL PER DETAIL 6, SHEET C2.0. CONNECT ROOF DRAINS PER ARCH. RIM ELEV = 5829.91 (ROUND GRATE) I.E. (IN) = 5826.91
- (U03) INSTALL DRYWELL. PER DETAIL 8, SHEET C2.0. RIM ELEV = 5821.42 (ROUND GRATE) I.E. (IN) = 5818.82
- (U04) INSTALL 6" Ø D3034 PVC PIPE @ S=2.0% MIN. (PIPE LENGTH, LF)
- (U05) INSTALL NEW WATER SERVICE. DISCONNECT EXISTING SERVICE AT WATER MAIN. NEW SERVICE SIZE TO BE DETERMINED BY PLUMBING ENGINEER.
- (U06) RETAIN, PROTECT, UTILIZE EXISTING 4" Ø SEWER SERVICE.
- (U07) RELOCATE DRY UTILITIES PER ARCHITECTURAL PLANS.
- (U08) RELOCATE GAVE VALVE OUT OF ZERO REVEAL CURB AND GUTTER. COORDINATE WORK WITH CITY OF KETCHUM WATER DEPARTMENT.
- (U09) INSTALL STREET LIGHT PER CITY OF KETCHUM STANDARDS. APPROXIMATE LOCATION SHOWN.

**CONSTRUCTION NOTES**

1. ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE "IDAHO REGULATIONS FOR PUBLIC DRINKING WATER SYSTEMS," THE CURRENT EDITION OF THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISPMC), AND CITY OF KETCHUM STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ISPMC ON SITE DURING CONSTRUCTION.
2. THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES PRIOR TO COMMENCING AND DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL CALL DIGLINE (1-800-342-1585) TO LOCATE ALL EXISTING UNDERGROUND UTILITIES.
3. THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION, INCLUDING BUT NOT LIMITED TO, EPA'S NPDES CONSTRUCTION GENERAL PERMIT.
4. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION.
5. CONSTRUCTION OF WATER MAINS AND ALL OTHER RELATED APPURTENANCES SHALL BE IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPMC), IDAPA 58.01.08, IDAHO RULES FOR PUBLIC DRINKING WATER SYSTEMS AND THE CITY OF KETCHUM UTILITIES DEPARTMENT STANDARDS.
6. CONTRACTOR SHALL PRESSURE TEST, DISINFECT, AND CONDUCT BIOLOGICAL TESTING IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPMC), AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS, AND THE PRESSURE TESTING, DISINFECTION, AND MICROBIOLOGICAL TESTING PROCEDURES.
7. ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL BE ANS/NSF STD. 61 COMPLIANT.
8. ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL COMPLY WITH THE LOW LEAD ACT REQUIRING ALL MATERIALS TO HAVE A LEAD CONTENT EQUAL TO OR LESS THAN 0.25%.
9. THE CONTRACTOR SHALL USE ANS/NSF STANDARD 60 CHEMICALS AND COMPOUNDS DURING INSTALLATION & DISINFECTION OF POTABLE WATER MAIN.
10. CONTRACTOR SHALL COORDINATE LOCATIONS OF DRY UTILITY FACILITIES (POWER, CABLE, PHONE, TV) NOT SHOWN ON THE DRAWING WITH IDAHO POWER.
11. ALL CLEARING & GRUBBING SHALL CONFORM TO ISPMC SECTION 201.
12. ALL EXCAVATION & EMBANKMENT SHALL CONFORM TO ISPMC SECTION 202. EXCAVATED SUBGRADE SHALL BE COMPACTED AND ALL UNSUITABLE SECTIONS REMOVED AND REPLACED WITH STRUCTURAL FILL AS DETERMINED BY THE ENGINEER. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
13. ALL 2" MINUS GRAVEL SHALL CONFORM TO ISPMC 802. TYPE II (ITD STANDARD 703.04, 2") SHALL BE PLACED IN CONFORMANCE WITH ISPMC SECTION 801 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99.
14. ALL 3/4" MINUS CRUSHED GRAVEL SHALL CONFORM TO ISPMC 802. TYPE I (ITD STANDARD 703.04, 3/4" B). SHALL BE PLACED IN CONFORMANCE WITH ISPMC SECTION 802 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
15. ALL ASPHALTIC CONCRETE PAVEMENT WORK SHALL CONFORM TO ISPMC SECTION(S) 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (13MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPMC SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPMC SECTION 805.
16. ALL EDGES OF EXISTING ASPHALT PAVING SHALL BE SAW CUT 24" TO PROVIDE A CLEAN PAVEMENT EDGE FOR MATCHING. NO WHEEL CUTTING SHALL BE ALLOWED.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL PER THE CURRENT EDITION OF THE US DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
18. ALL CONCRETE FORM WORK SHALL CONFORM TO ISPMC SECTION 701 AND 703. ALL CONCRETE SHALL BE 3,000 PSI MINIMUM, 28 DAY, AS DEFINED IN ISPMC SECTION 703, TABLE 1.C.
19. ALL TRENCHING SHALL CONFORM TO ISPMC STANDARD DRAWING SD-301. TRENCHES SHALL BE BACKFILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
20. TOPOGRAPHIC, SITE, AND BOUNDARY SURVEYS SHOWN HEREON WERE CONDUCTED BY ALPINE ENTERPRISES INC.
21. PER IDAHO CODE § 55-1613, THE CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS; ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS THAT ARE LOST OR DISTURBED BY CONSTRUCTION SHALL BE REESTABLISHED AND RE-MONUMENTED, AT THE EXPENSE OF THE AGENCY OR PERSON CAUSING THEIR LOSS OR DISTURBANCE AT THEIR ORIGINAL LOCATION OR BY SETTING OF A WITNESS CORNER OR REFERENCE POINT OR A REPLACEMENT BENCHMARK OR CONTROL POINT, BY OR UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR.



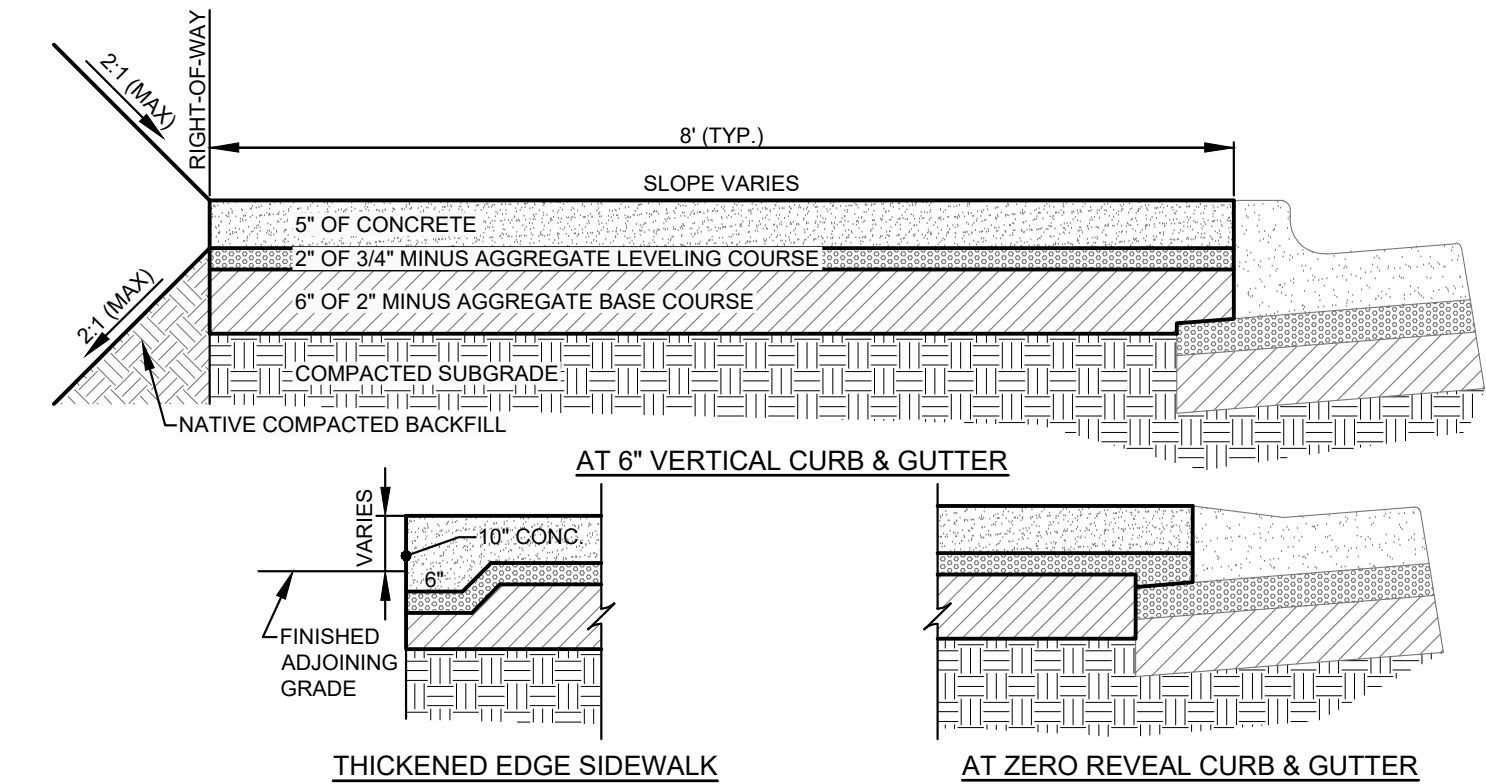
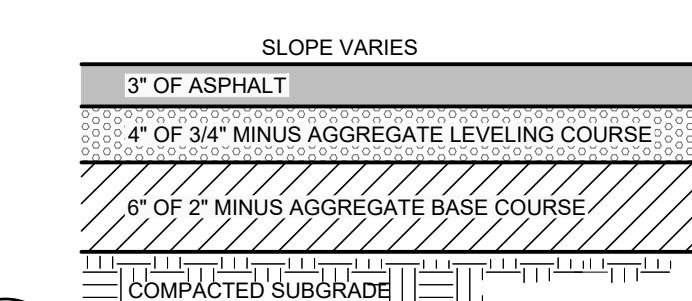
**111 N WASHINGTON AVE.**  
 LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO  
 PREPARED FOR 360 VIEWS, LLC

PROJECT INFORMATION  
 P:\360views\17340wv\Construction\1734-Cont-2020-05-05.dwg 05/05/20 2:40:50 PM

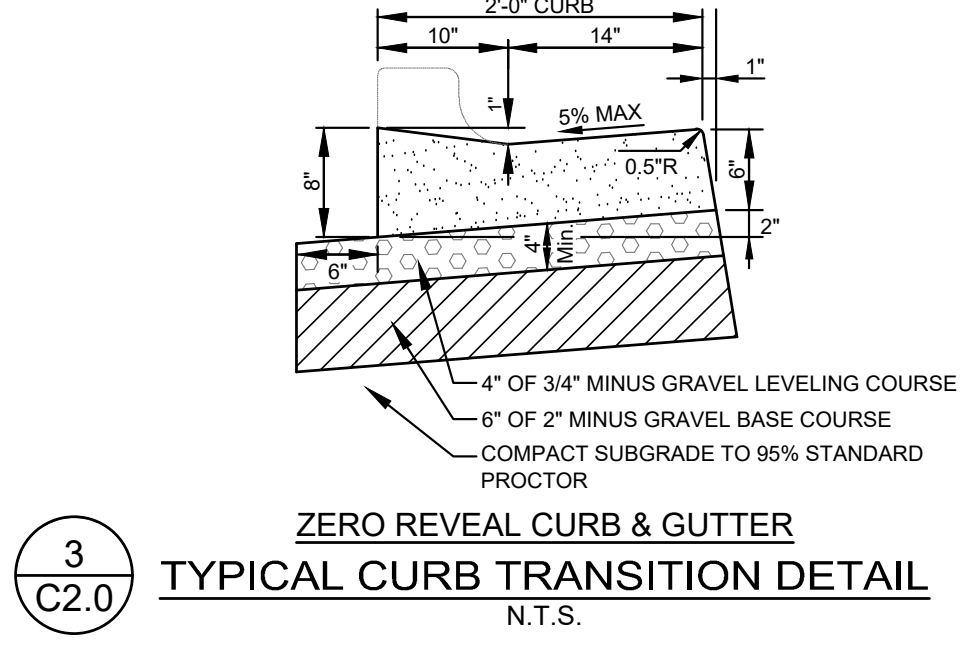
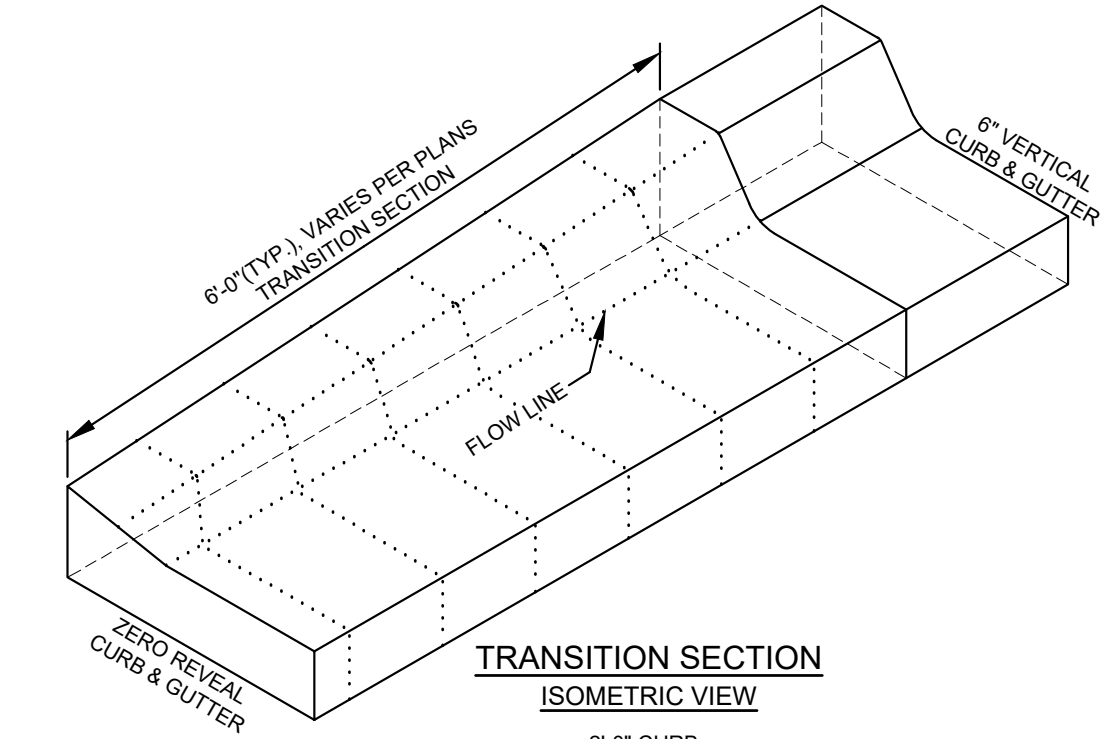
DESIGNED BY	SJKS	CHECKED BY	SNE
REUSE OF DRAWINGS	shall be used on any project or extensions of this project except by agreement in writing with Galena Engineering, Inc.	DATE	BY
NO.	DATE	BY	REVISIONS
1	05/05/20	SJKS	ISSUE FOR BUILDING DESIGN REVIEW

C1.0

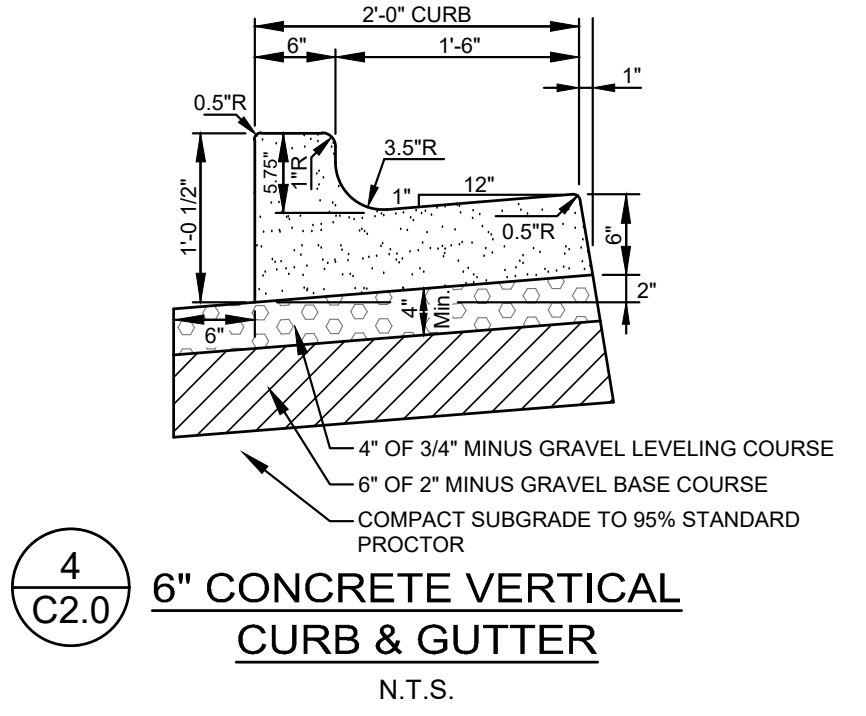
**1 C2.0**  
**TYPICAL ASPHALT SECTION**  
N.T.S.



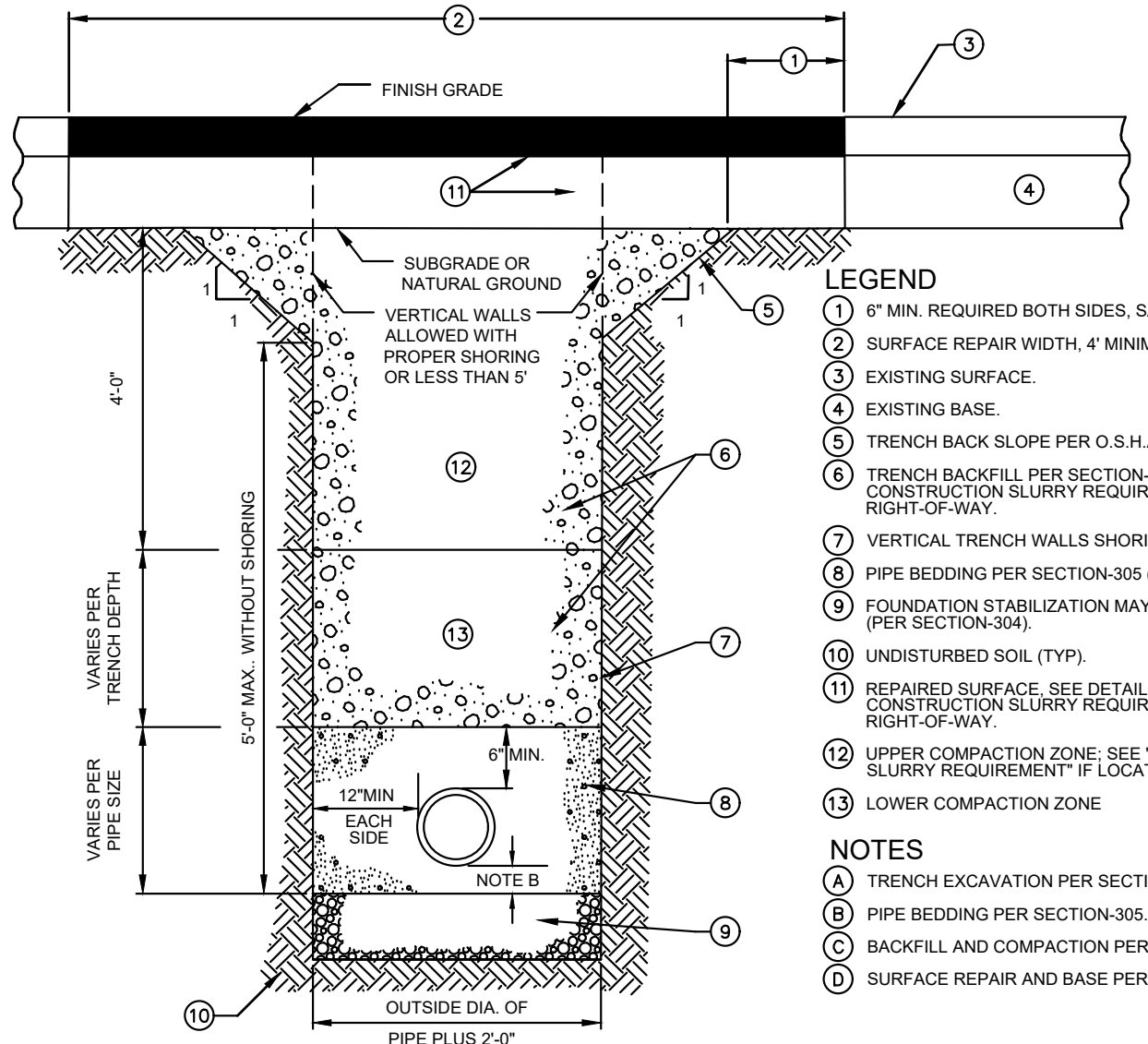
**2 C2.0**  
**TYPICAL CONCRETE SIDEWALK SECTION**  
N.T.S.



**3 C2.0**  
**TYPICAL CURB TRANSITION DETAIL**  
N.T.S.



**4 C2.0**  
**6" CONCRETE VERTICAL CURB & GUTTER**  
N.T.S.



- LEGEND**
- 8" MIN. REQUIRED BOTH SIDES, SAWCUT REQUIRED.
  - SURFACE REPAIR WIDTH, 4" MINIMUM.
  - EXISTING SURFACE.
  - EXISTING BASE.
  - TRENCH BACK SLOPE PER O.S.H.A. OR SUITABLE SHORING.
  - TRENCH BACKFILL PER SECTION-306, OR SEE "KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT" IF LOCATED WITHIN PUBLIC RIGHT-OF-WAY.
  - VERTICAL TRENCH WALLS SHORING PER O.S.H.A.
  - PIPE BEDDING PER SECTION-305 (SEE SD-302).
  - FOUNDATION STABILIZATION MAY VARY PER SOIL TYPE AND STABILITY (PER SECTION-304).
  - UNDISTURBED SOIL (TYP).
  - REPAIRED SURFACE. SEE DETAILS 1 AND 2. SEE "KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT" IF LOCATED WITHIN PUBLIC RIGHT-OF-WAY.
  - UPPER COMPACTION ZONE. SEE "KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT" IF LOCATED WITHIN PUBLIC RIGHT-OF-WAY.
  - LOWER COMPACTION ZONE.
- NOTES**
- TRENCH EXCAVATION PER SECTION-301.
  - PIPE BEDDING PER SECTION-305.
  - BACKFILL AND COMPACTION PER SECTION-306.
  - SURFACE REPAIR AND BASE PER DETAIL 3C2.0

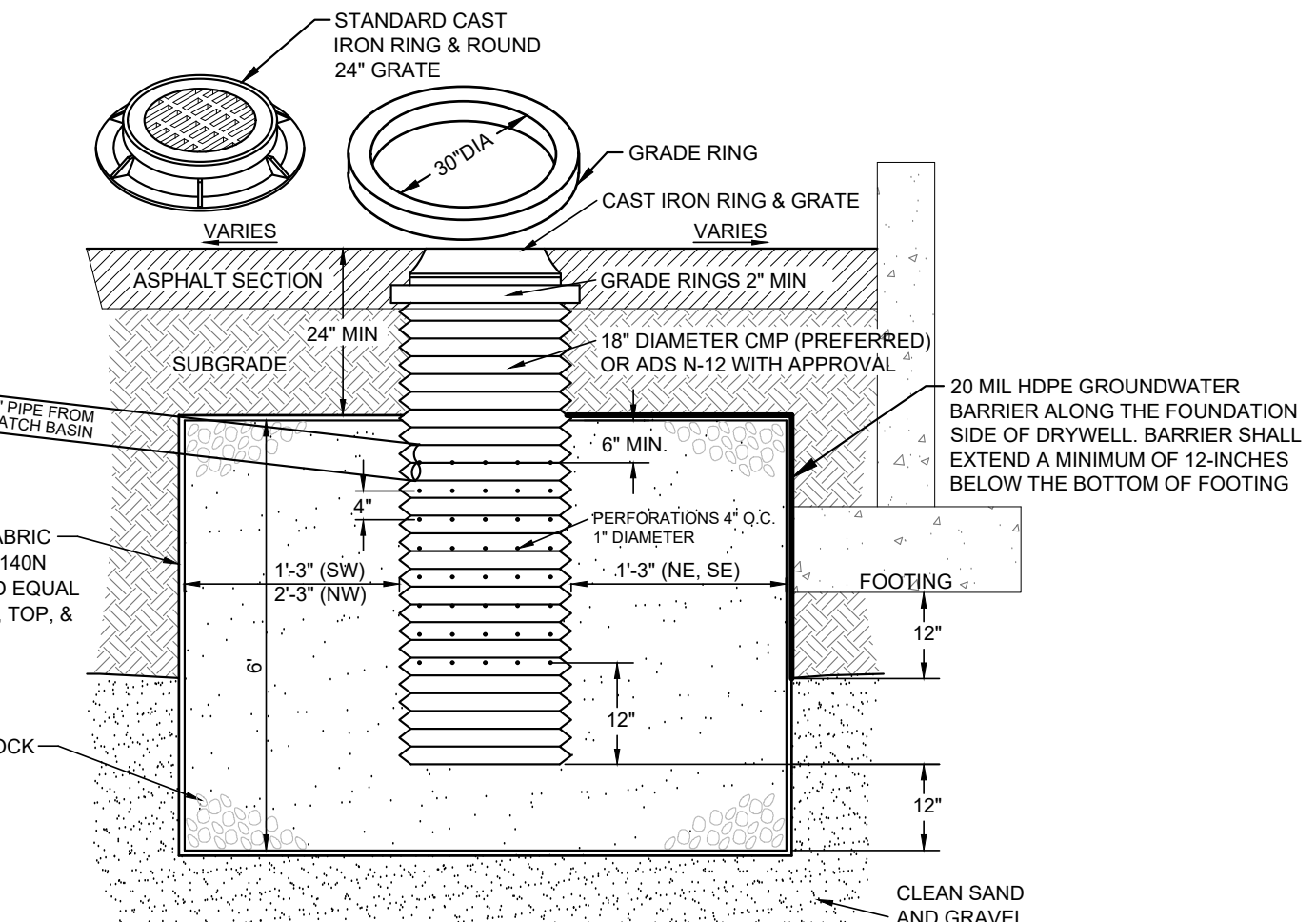
**KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT**  
IN AREAS WHERE IT IS NECESSARY TO CUT THE ASPHALT PAVEMENT AND DIG A TRENCH FOR BURIAL OF CONDUIT CABLE OR OTHER CITY UTILITY, THE TRENCH SHALL BE BACKFILLED WITH A LEAN CONCRETE MIX TO THE BOTTOM OF FINISH SURFACE MATERIAL WITH THE FOLLOWING PROPORTIONS OF MATERIALS:

COARSE AGGREGATE (2" MINUS) 2500 LBS.  
SAND 800 LBS.  
PORTLAND CEMENT 94 LBS.  
WATER 11 GAL (MAX.)

WATER CONTENT IS MAXIMUM AND MAY BE REDUCING DOWNWARD. CARES SHALL BE TAKEN TO ASSURE THAT EXCESS WATER IS NOT PRESENT IN THE MIXING DRUM PRIOR TO CHARGING THE MIXER WITH MATERIALS. THOROUGH MIXING WILL BE REQUIRED PRIOR TO DISCHARGE.

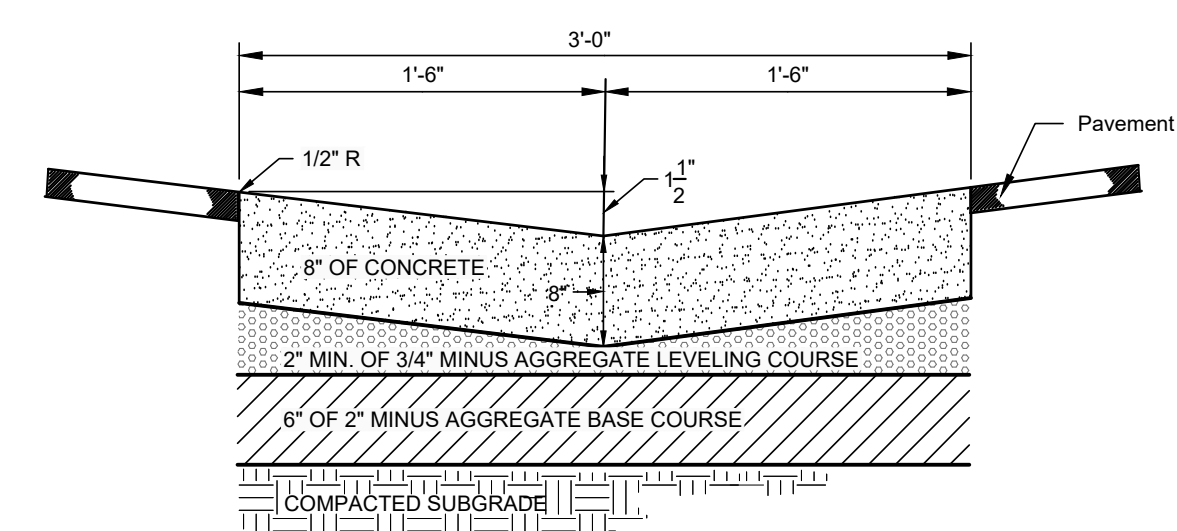
NO COMPACTION, VIBRATION OR FINISHING IS REQUIRED. THE LEAN CONCRETE MIX SHALL BE STRUCK OFF AT OR BELOW THE ELEVATION OF THE PLANT MIX SURFACING WITH A SQUARE NOSE SHOVEL OR SIMILAR HAND TOOL. THE BACKFILL MIX SHALL BE ALLOWED TO SET FOR A MINIMUM OF 2 HOURS BEFORE THE PERMANENT PLANT MIX SURFACING IS PLACED TO COMPLETE THE TRENCH REPAIR. TEMPORARY PLACEMENT OF ASPHALT COLD MIX SURFACING MAY BE NECESSARY TO ACCOMMODATE TRAFFIC WITHIN THE FIRST 2 HOURS OF BACKFILL PLACEMENT PRIOR TO COMPLETING THE PERMANENT REPAIR.

**5 C2.0**  
**TYPICAL TRENCH SECTION**  
N.T.S.

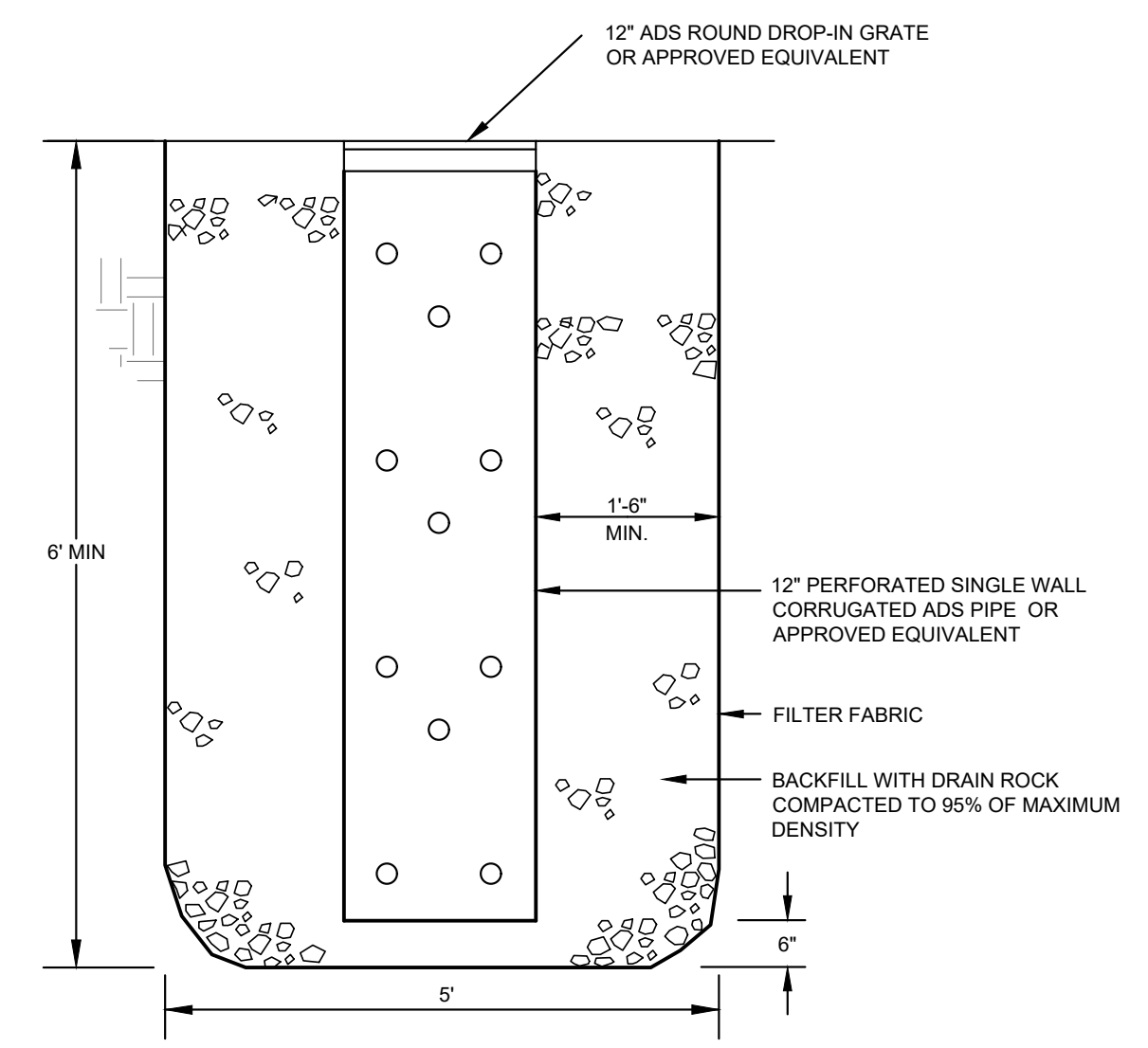


NOTE: THE BED SHALL BE EXCAVATED A MINIMUM OF 24" INTO CLEAN SAND AND GRAVEL. MAXIMUM DEPTH SHALL NOT EXCEED 12 FEET. IF CLEAN SAND AND GRAVEL IS NOT ENCOUNTERED WITHIN 12 FEET, THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER.

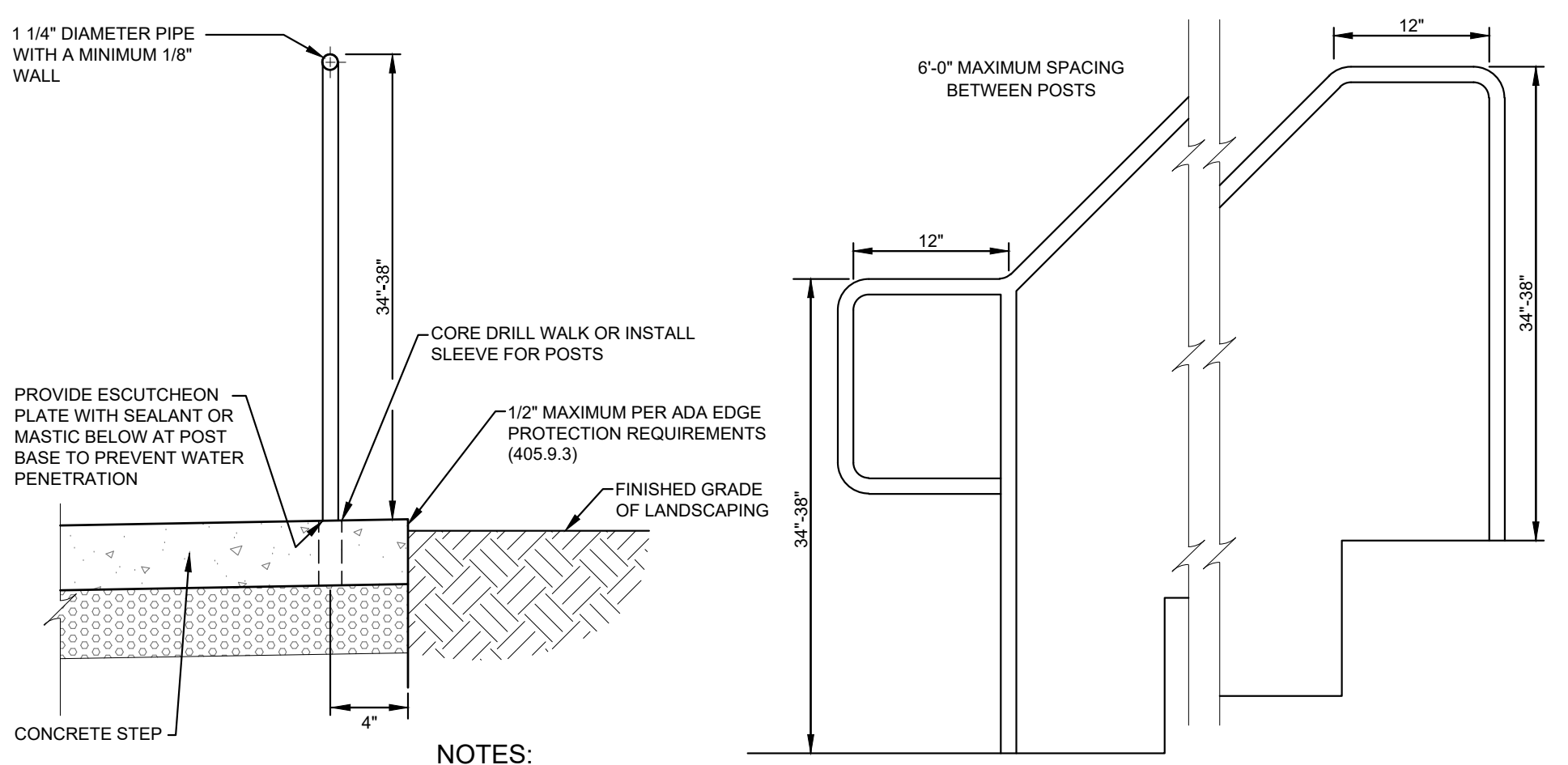
**6 C2.0**  
**ALLEY DRYWELL DETAIL**  
N.T.S.



**7 C2.0**  
**36" CONCRETE VALLEY GUTTER**  
N.T.S.



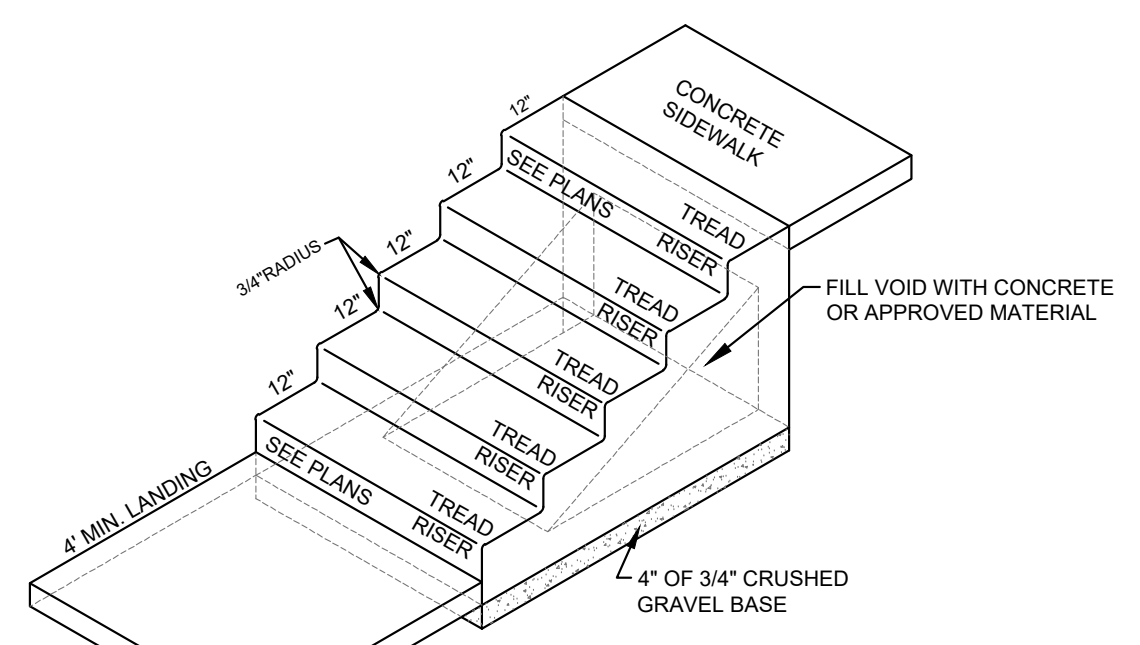
**8 C2.0**  
**LANDSCAPE DRYWELL DETAIL**  
N.T.S.



**NOTES:**

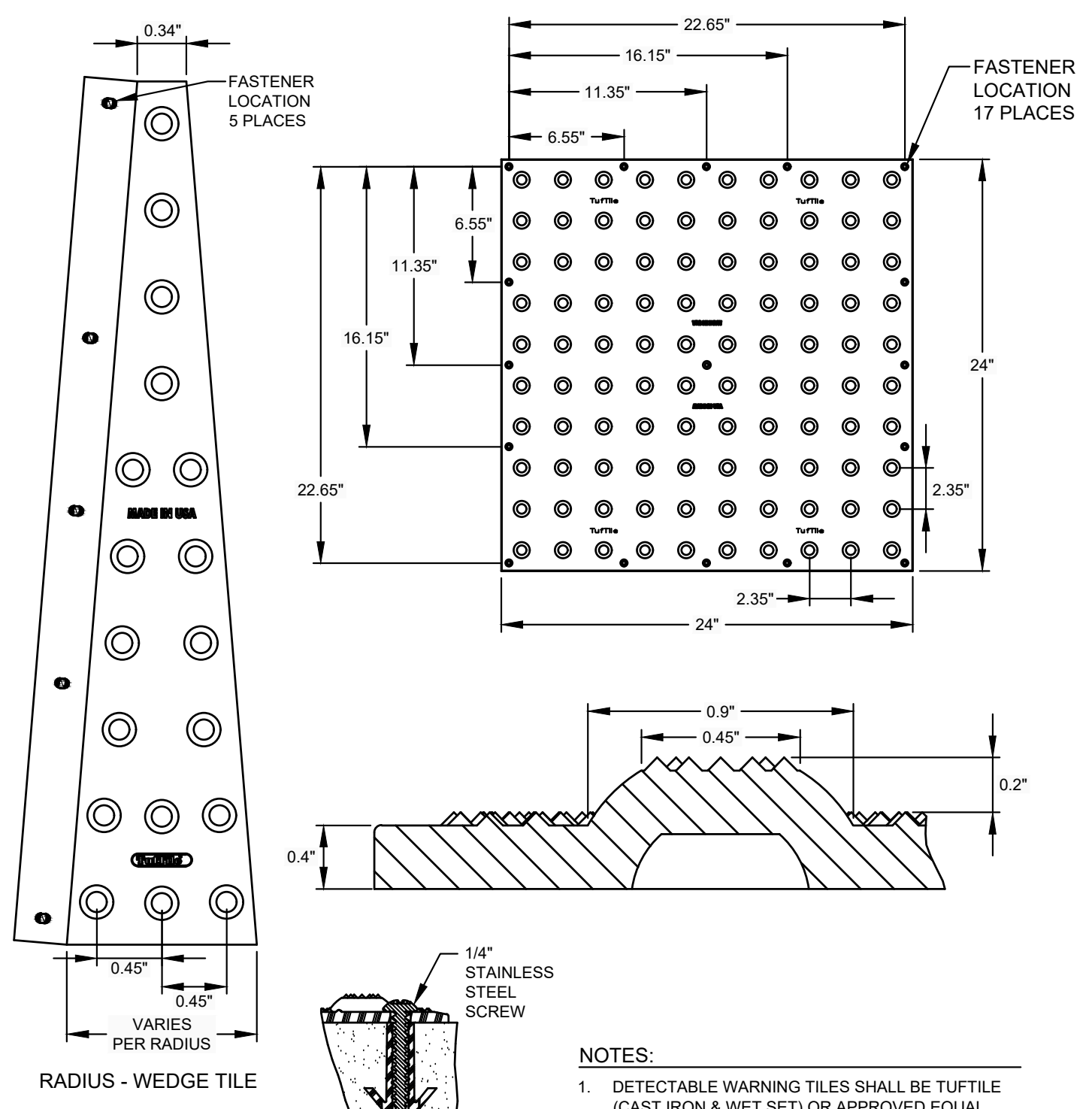
- HANDRAIL SHALL BE PAINTED. PAINT SPECIFICATIONS PER OWNER.
- CLEAR WIDTH: THE CLEAR WIDTH BETWEEN HANDRAILS SHALL BE 36 INCHES MINIMUM PER ADA REQUIREMENTS (405.9.3)

**STAND ALONE HANDRAIL DETAIL**  
N.T.S.



NOTE: WALL MOUNTED HANDRAIL SHALL BE USED NEXT TO BUILDING

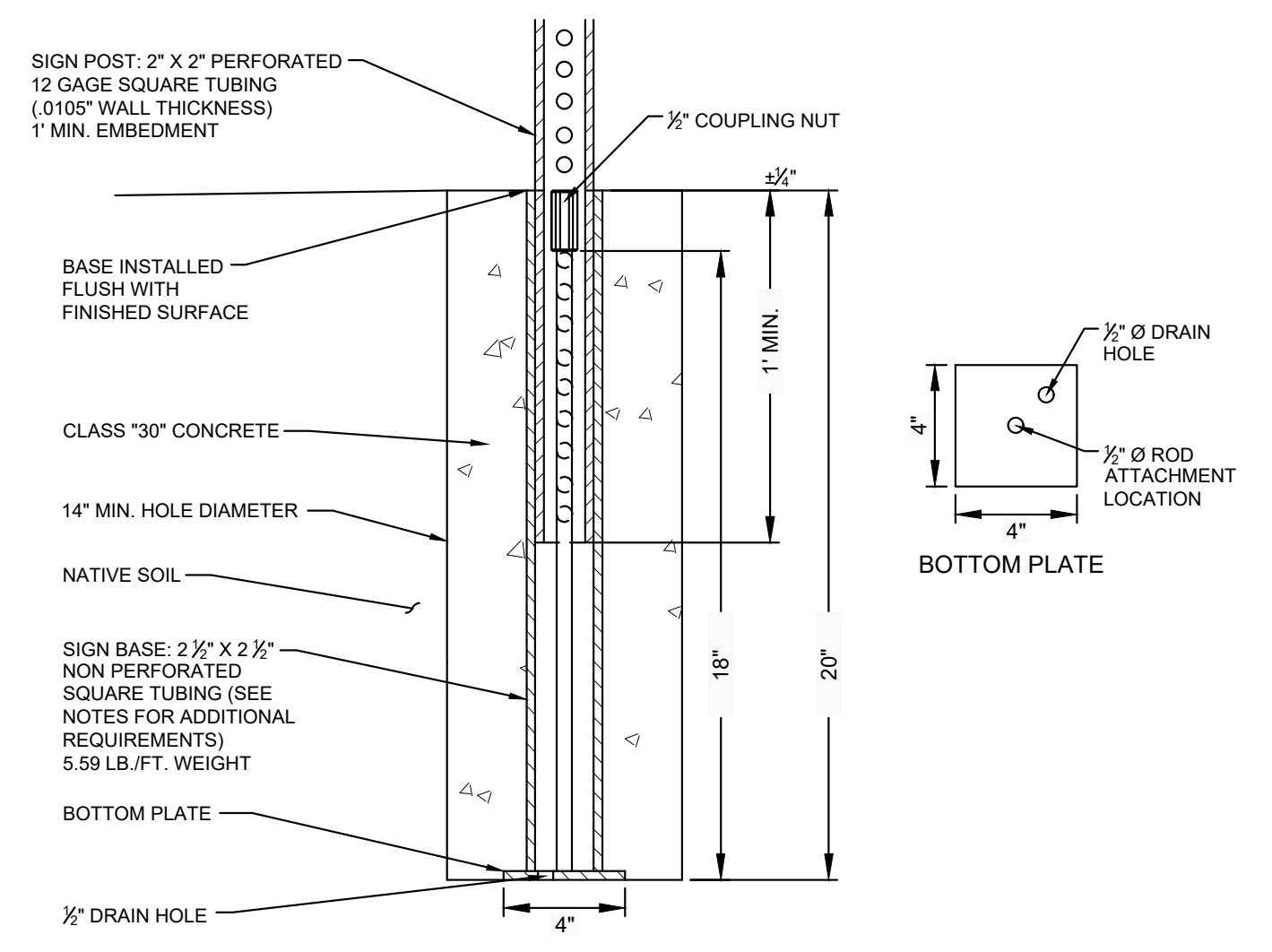
**WALL MOUNTED HANDRAIL DETAIL**  
N.T.S.



**NOTES:**

- DETECTABLE WARNING TILES SHALL BE TUFTILE (CAST IRON & WET SET) OR APPROVED EQUAL.
- REFER TO DETAIL 10.
- NO COLOR OR FINISH.

**10 C2.0**  
**DETECTABLE WARNING PLATE DETAIL**  
N.T.S.



**NOTES:**

- BASES SHALL BE INSTALLED TO BE FLUSH WITH SURFACE.
- ALL INSTALLATIONS SHALL HAVE 14" MINIMUM FOUNDATION OR GROUDED INTO SOLID ROCK.
- ALL STREET SIGNS SHALL BE IN ACCORDANCE WITH THE MOST CURRENT EDITION OF THE MUTCD.
- SIGN PLACEMENT SHALL BE APPROVED BY THE CITY OF KETCHUM.
- CITY TO PROVIDE BASES.

**SIGN BASE MATERIAL & DIMENSION REQUIREMENTS**

- 2 1/2" OUTSIDE TUBE STEEL (20' LENGTH)
- 2 1/2" INSIDE TUBE STEEL
- 1/2" THICK
- INTERNAL ROD MATERIAL & DIMENSION REQUIREMENTS
- 1/2" COLD ROLLED ROD (18' LENGTH)
- 1/2" COUPLING NUTS
- BOTTOM PLATE MATERIAL & DIMENSION REQUIREMENTS
- 4" X 4" X 1/2" STEEL STRAP

**11 C2.0**  
**TYPICAL SIGN BASE DETAIL**  
N.T.S.

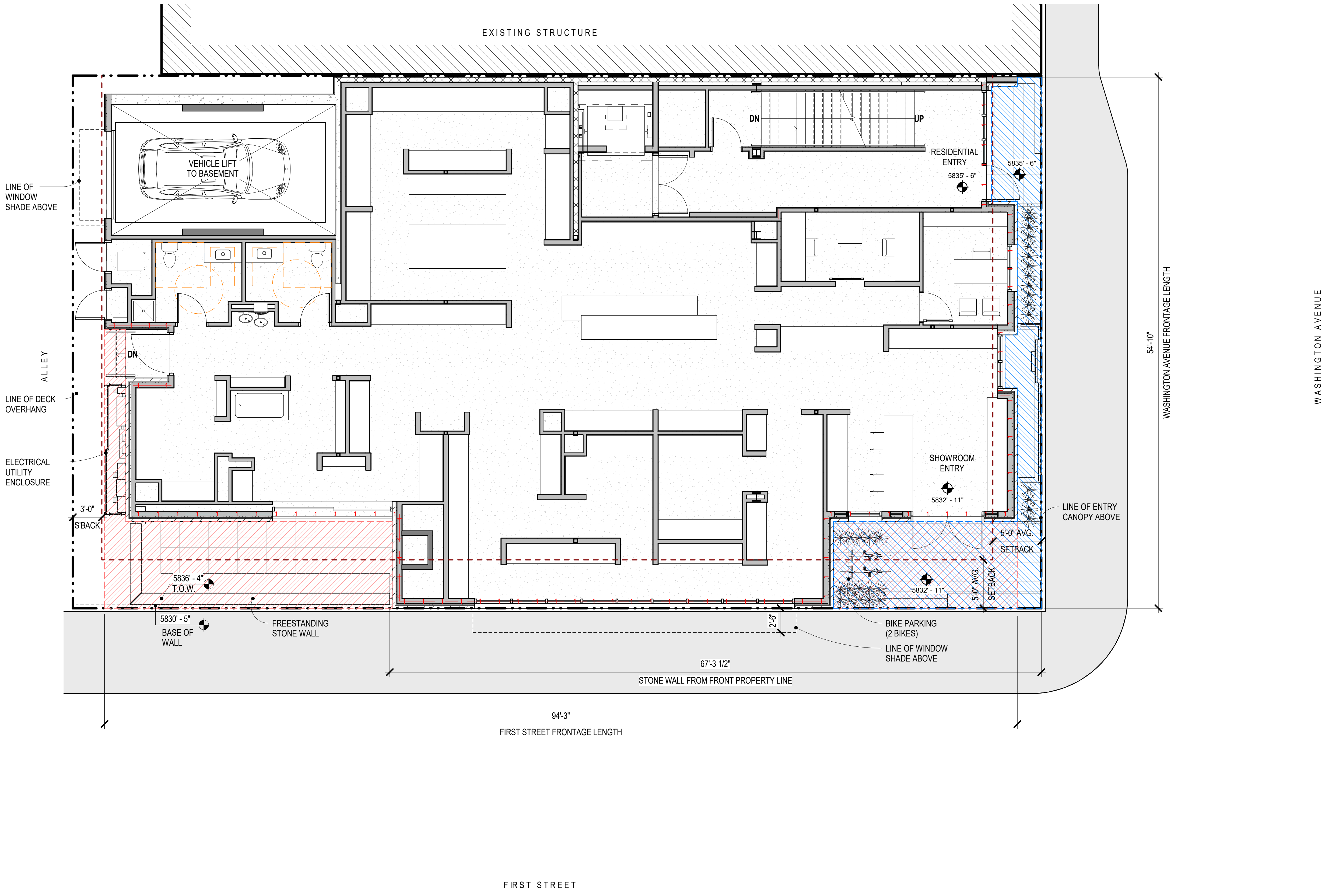
**9 C2.0**  
**TYPICAL HANDRAIL AND STAIRS DETAIL**  
N.T.S.

DESIGNED BY	SKS
CHECKED BY	SKS
DATE	05/05/20

**GALENA ENGINEERING, INC.**  
Civil Engineers & Land Surveyors  
317 N. River Street  
Halley, Idaho 83333  
(208) 788-1705  
(208) 788-4612 fax  
email galena@galena-engineering.com

NO.	DATE	BY	REVISIONS
1	05/05/20	SKS	ISSUE FOR BUILDING DESIGN REVIEW





### AVERAGE FRONTAGE CALCULATION

RED CROSS HATCH AREA INDICATES ACTUAL SETBACK TO FACE OF FINISH ALONG FIRST STREET FRONTAGE, INCLUDING PATIOS LESS THAN 30 INCHES ABOVE ADJACENT GRADE AND FENCES/WALLS LESS THAN 6 FEET ABOVE ADJACENT GRADE = 480.54 SF

AVERAGE SETBACK (5'-0" MIN.) = SETBACK AREA + FRONTAGE LENGTH = 480.54 SF + 94'-3" = 5'-1"

BLUE CROSS HATCH AREA INDICATES ACTUAL SETBACK TO FACE OF FINISH ALONG WASHINGTON AVENUE FRONTAGE, INCLUDING PATIOS LESS THAN 30 INCHES ABOVE ADJACENT GRADE AND FENCES/WALLS LESS THAN 6 FEET ABOVE ADJACENT GRADE = 344.66 SF

AVERAGE SETBACK (5'-0" MIN.) = SETBACK AREA + FRONTAGE LENGTH = 344.66 SF + 54'-10" = 6'-3 1/2"

### SNOW STORAGE CALCULATION

THERE ARE NO VIABLE SNOW STORAGE AREAS LOCATED ON SITE. ALL SNOW MANAGEMENT WILL BE ACCOMPLISHED BY SNOWMELT AND HAULING SNOW OFF-SITE.

### BUILDING INFORMATION

SITE AREA: 55x100 CITY LOT = 5,500 SF

BUILDING GROSS AREA:  
 BASEMENT: 4,528 SF (NOT INCLUDED IN TOTAL PER FLOOR AREA, GROSS DEFINITION)

MAIN FLOOR: 4,473 SF  
 2ND FLOOR: 4,083 SF  
 3RD FLOOR: 3,236 SF  
 ROOF ACCESS: 278 SF  
 TOTAL: 12,070 SF

SUBTRACT (4) 9x18 PARKING SPACES, AS ALLOWED PER FLOOR AREA, GROSS DEFINITION  
 12,070 SF  
 -648 SF  
 11,422 SF GROSS FLOOR AREA

F.A.R. CALCULATION: 11,422 GSF + 5,500 SF = 2.08 F.A.R.

ARCHITECTURAL SITE PLAN

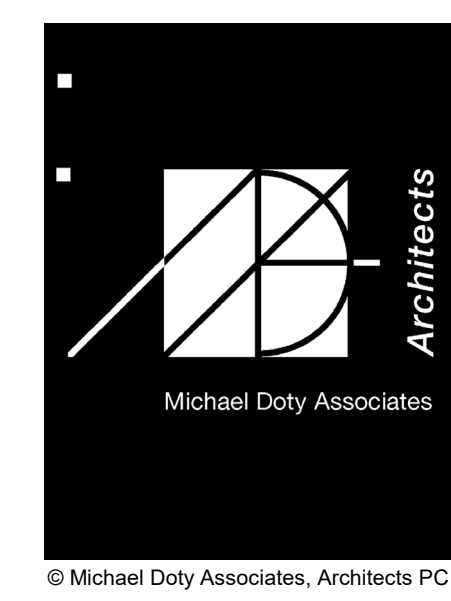
1 2 4 8 3/16" = 1'-0"

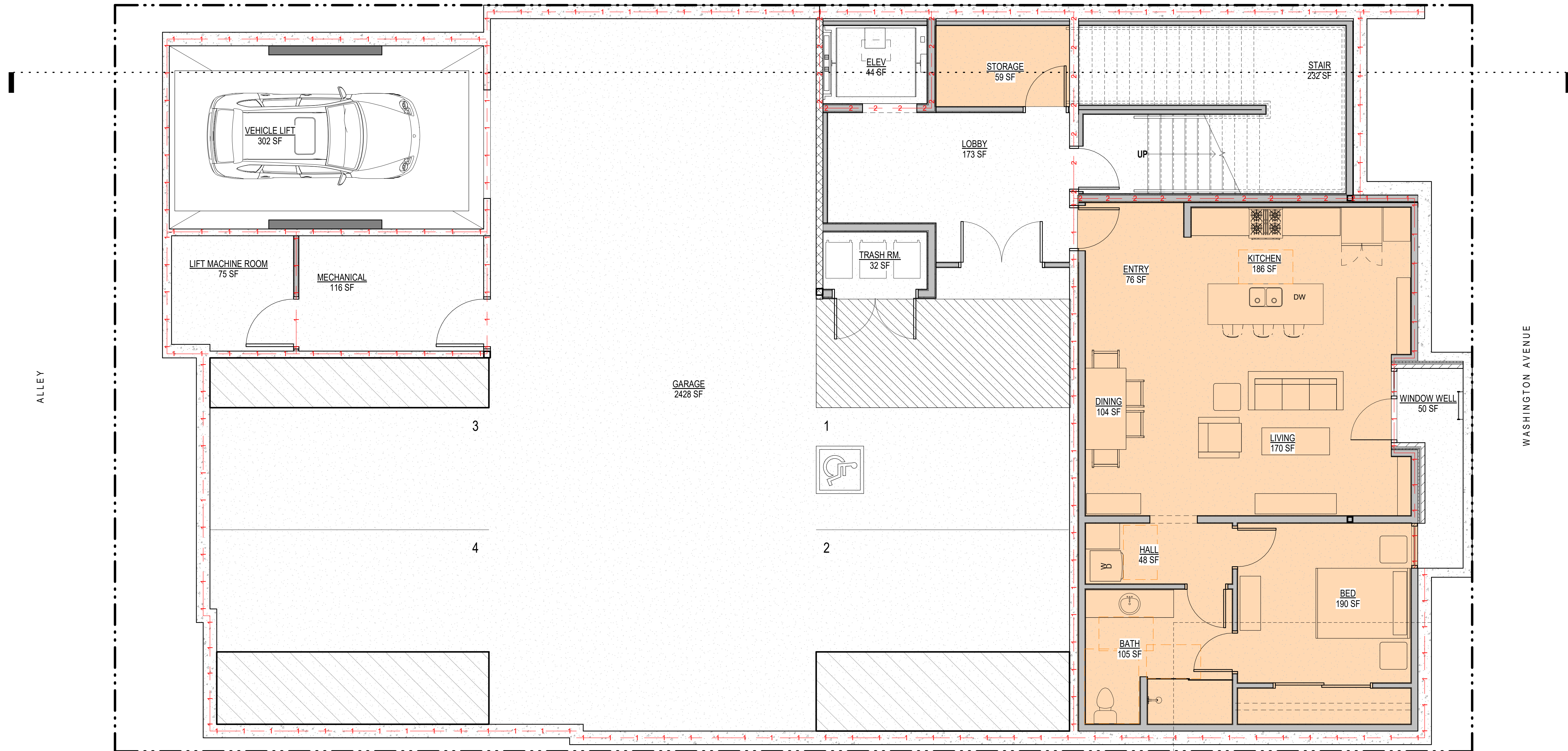
PROJECT NORTH TRUE NORTH

# MOUNTAIN LAND DESIGN SHOWROOM AND RESIDENCES

111 NORTH WASHINGTON AVENUE  
 KETCHUM, IDAHO

DESIGN REVIEW SUBMITTAL  
 5/6/2020



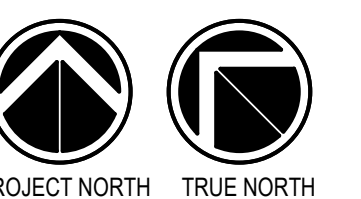


WORKFORCE UNIT: 978 SF  
 STORAGE: 59 SF  
 TOTAL WORKFORCE UNIT: 1,037  
 (1,013 SF OWED PER 2.08 FAR)

GROSS FLOOR AREA: 4,528 SF  
 NET FLOOR AREA: 831 SF

PROPOSED BASEMENT FLOOR PLAN

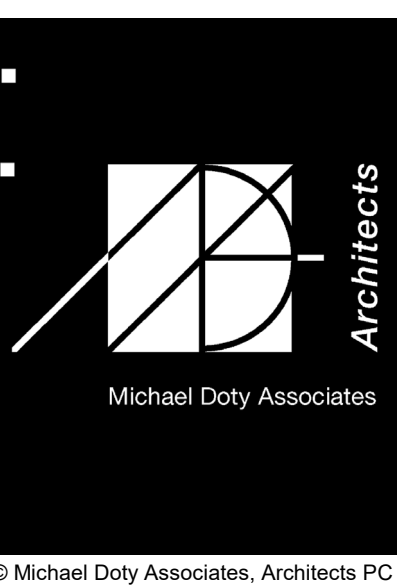
1 2 4 8 1/4" = 1'-0"



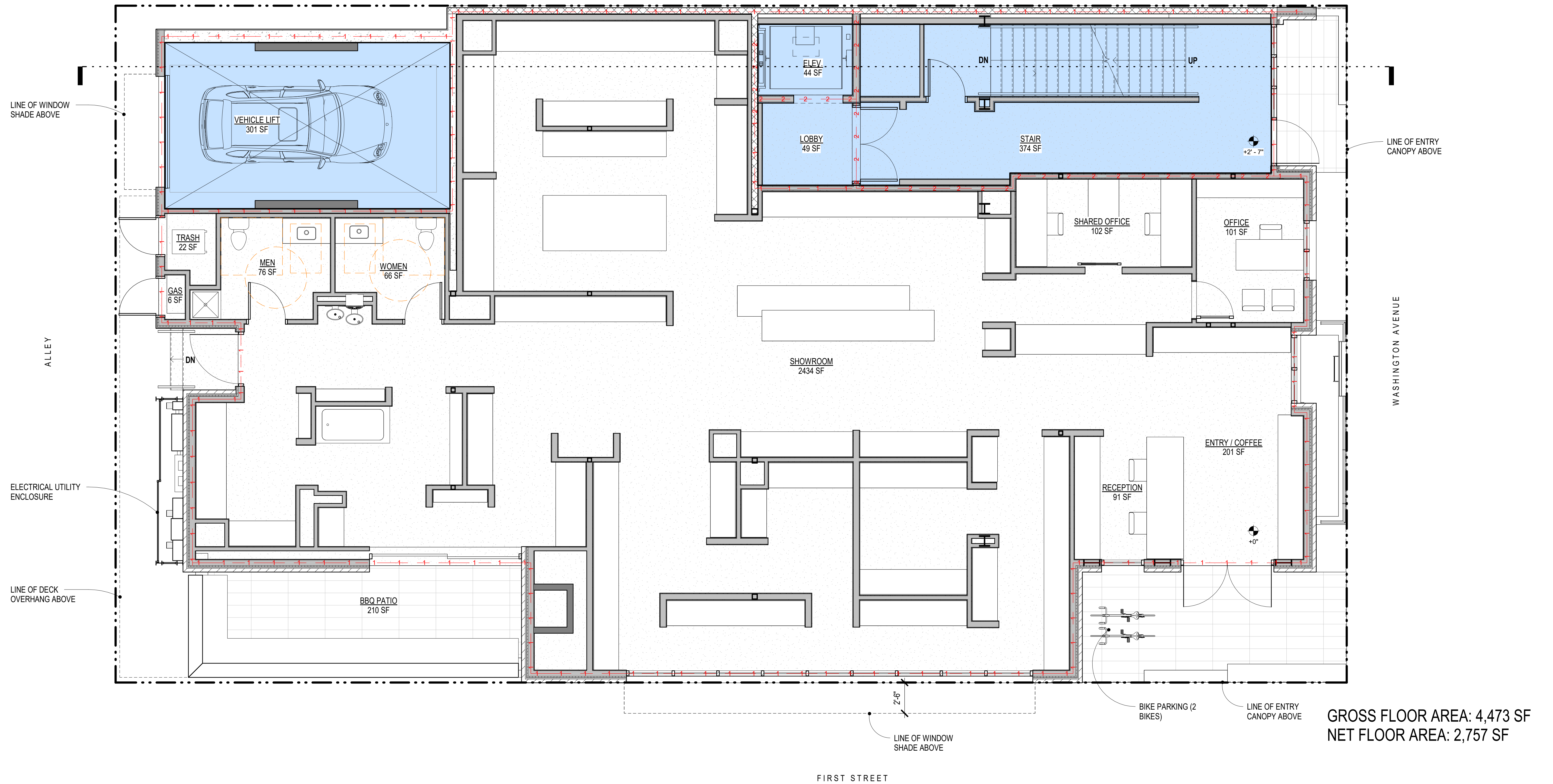
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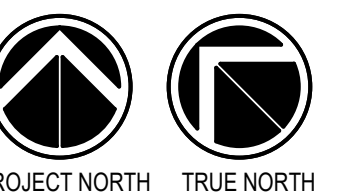


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PROPOSED FIRST FLOOR PLAN

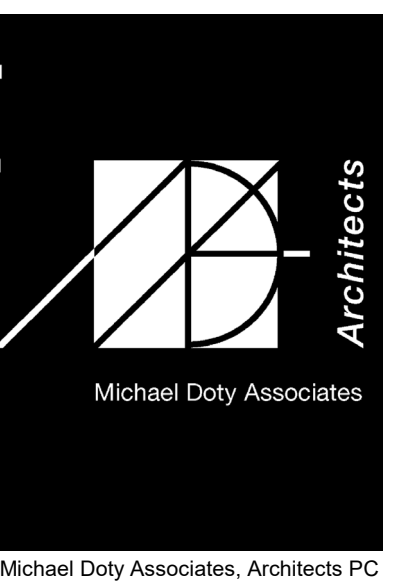
1 2 4 8 1/4" = 1'-0"



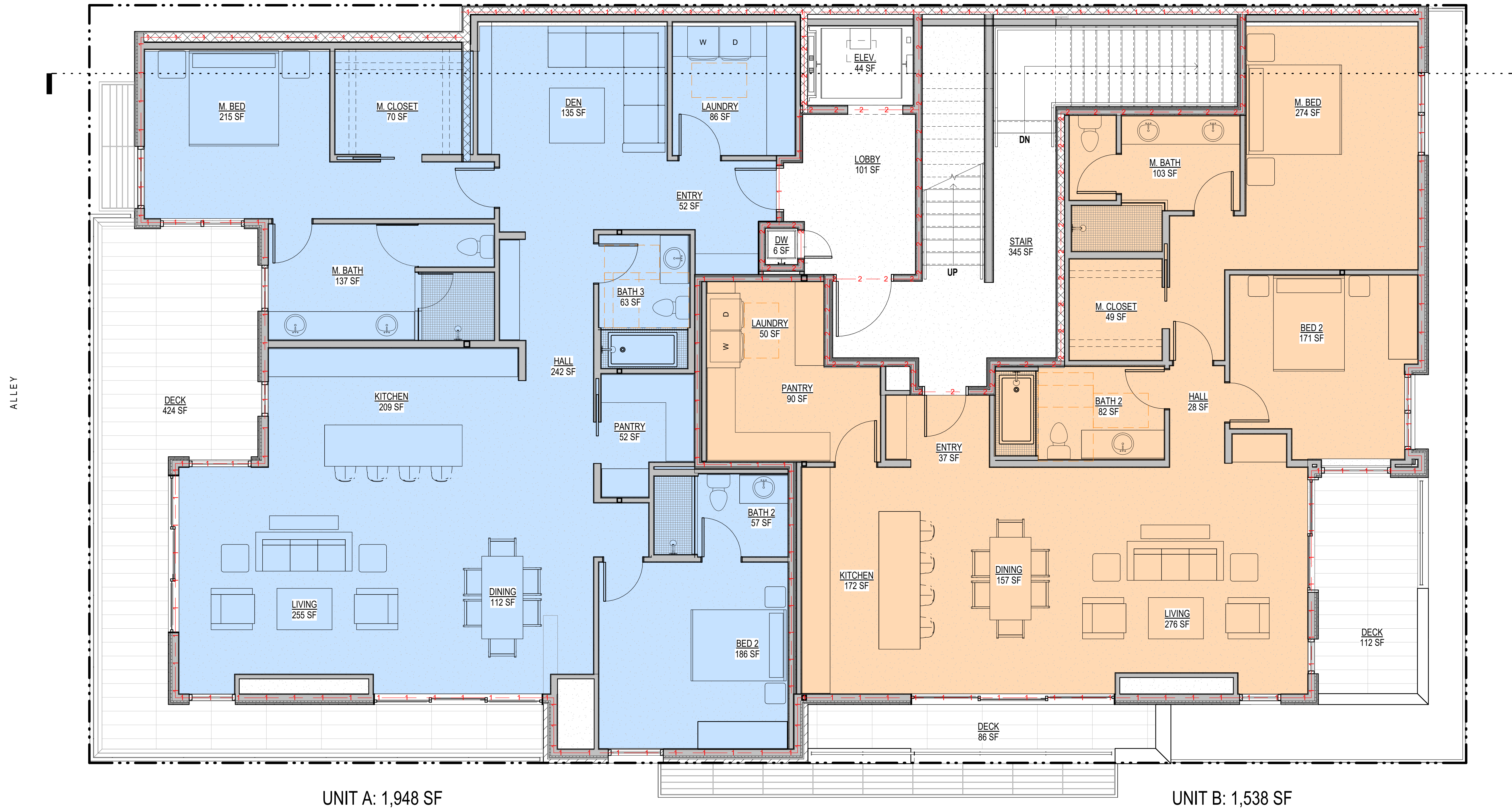
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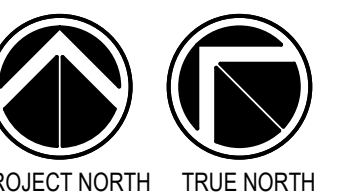
UNIT A: 1,948 SF

UNIT B: 1,538 SF

GROSS FLOOR AREA: 4,083 SF  
NET FLOOR AREA: 3,001 SF

PROPOSED SECOND FLOOR PLAN

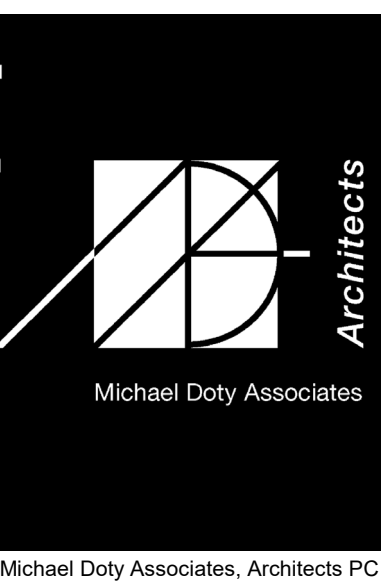
1/4" = 1'-0"



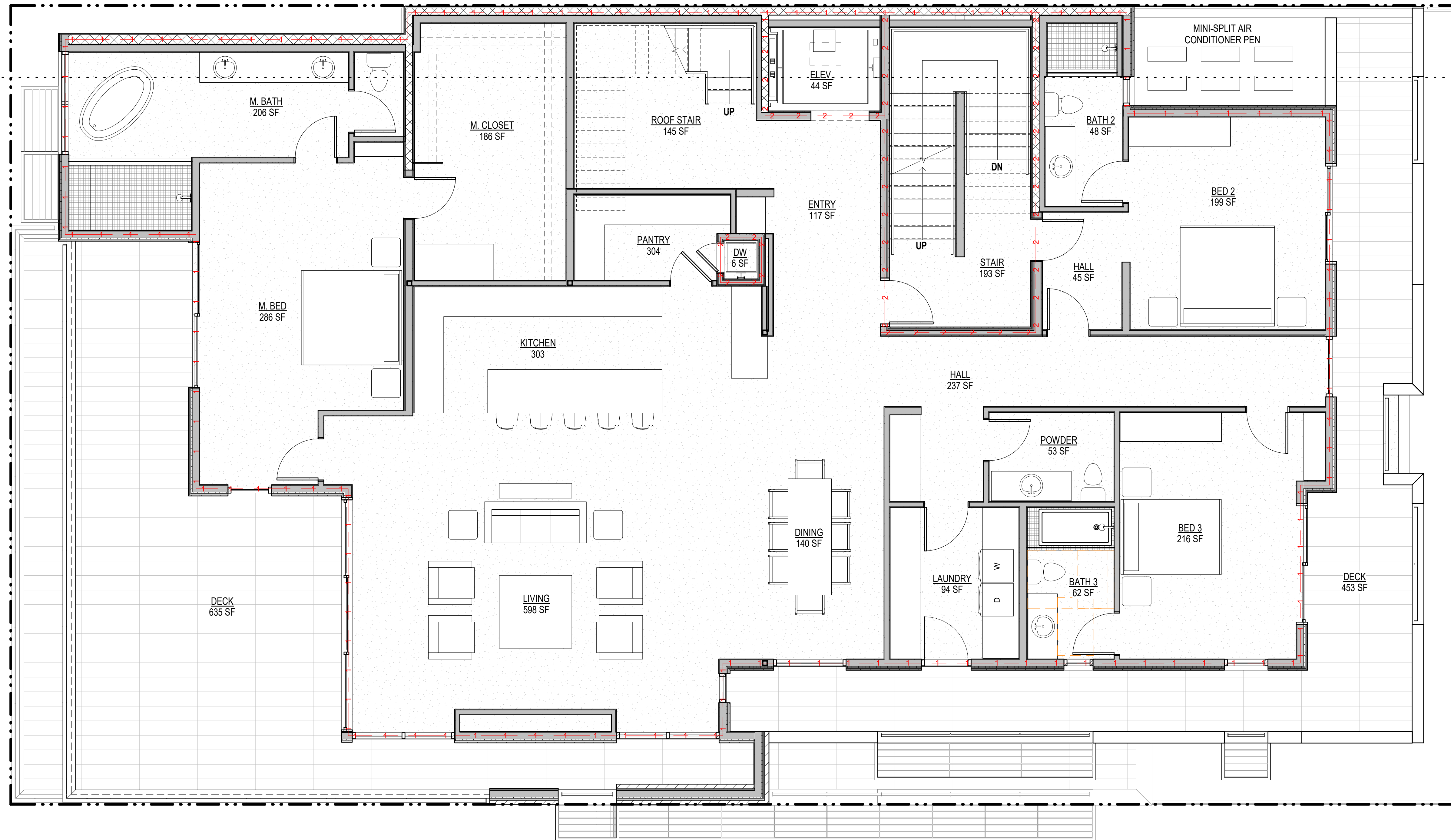
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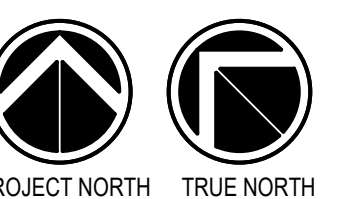
PENTHOUSE: 3,035 SF

FIRST STREET

GROSS FLOOR AREA: 3,236 SF  
NET FLOOR AREA: 2,695 SF

PROPOSED THIRD FLOOR PLAN

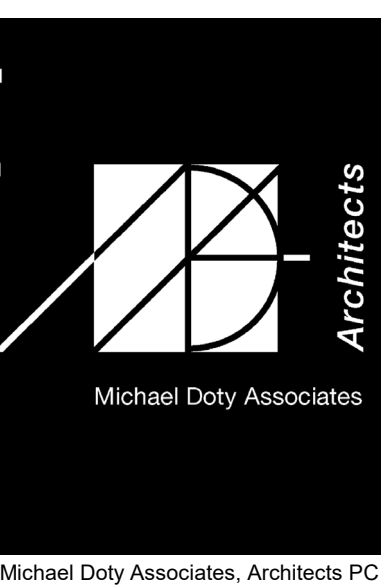
1/4" = 1'-0"



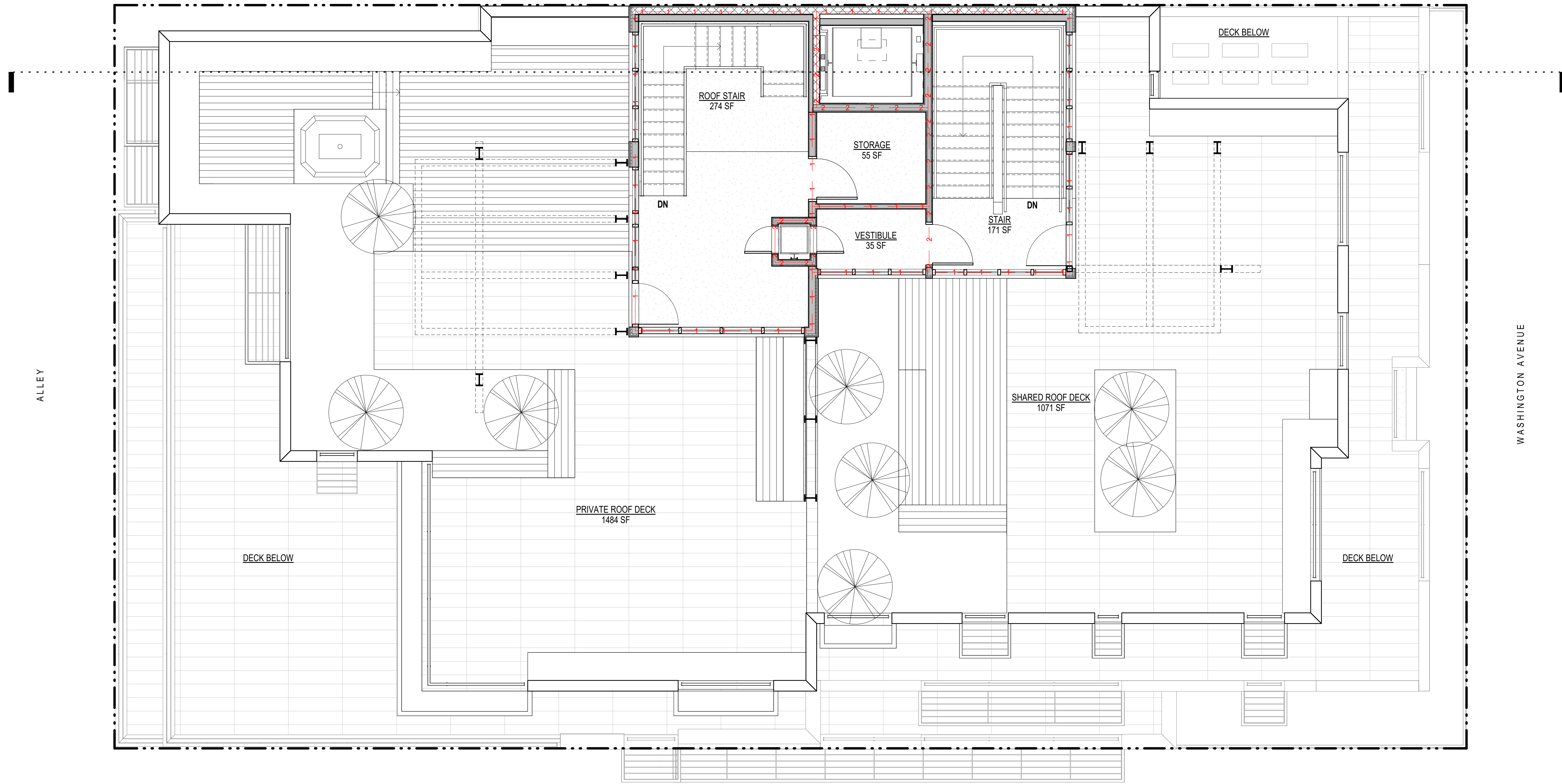
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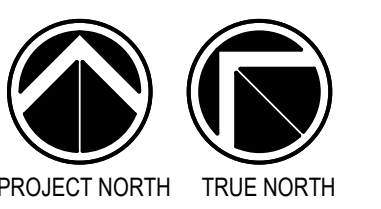


FIRST STREET

GROSS FLOOR AREA: 278 SF  
NET FLOOR AREA: 55 SF

PROPOSED ROOF DECK FLOOR PLAN

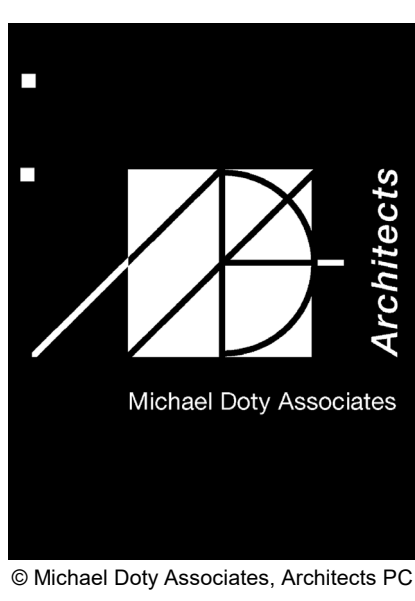
1 2 4 8 1/4" = 1'-0"



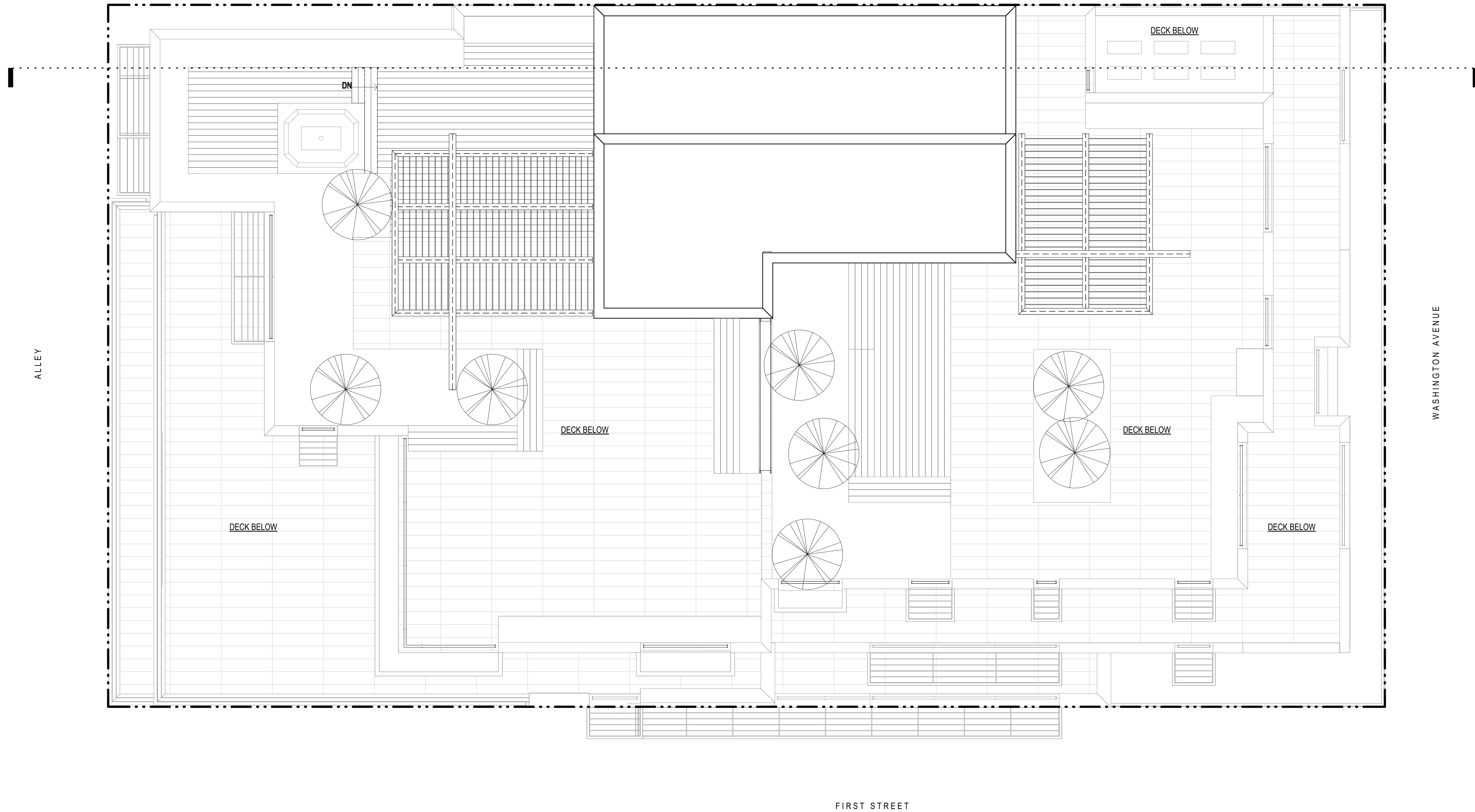
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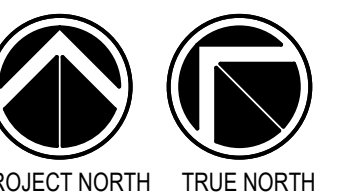


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PROPOSED ROOF PLAN

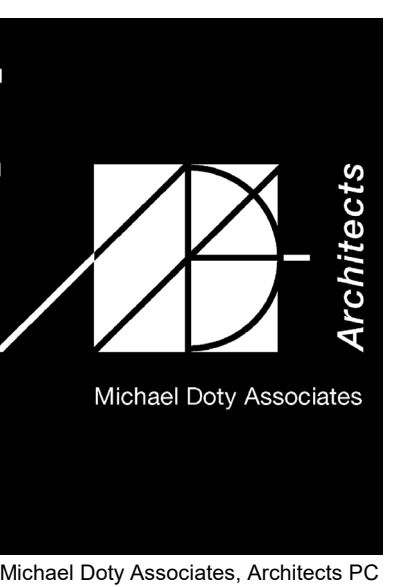
1 2 4 8 1/4" = 1'-0"



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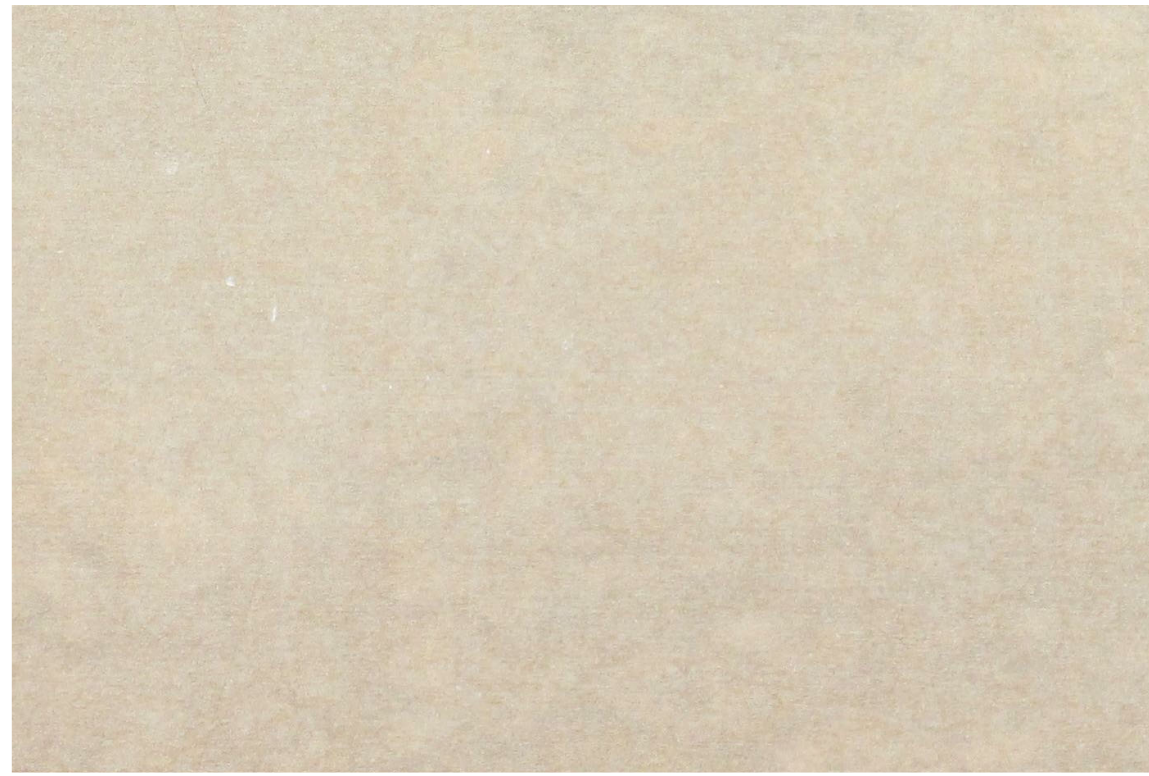
EXTERIOR FINISH 1 (EF-1):  
2-3/4" MODULAR BRICK VENEER  
INTERSTATE BRICK, COLOR: LONE TREE



EXTERIOR FINISH 2 (EF-2):  
1x6 GARAPA RAINSCREEN, HORIZONTAL  
CLEAR SEALER



EXTERIOR FINISH 3 (EF-3):  
1x6 GARAPA RAINSCREEN, VERTICAL  
WEATHERED PATINA



EXTERIOR FINISH 4 (EF-4):  
2'x8' FIBER CEMENT PANELS  
CEMBRIT PATINA, COLOR: 915 - TUFA



EXTERIOR FINISH 5 (EF-5):  
NATURAL STONE VENEER  
ASHLAR PATTERN, COLOR:



EXTERIOR FINISH 6 (EF-6):  
STEEL, STEEL PANELS, STEEL FLASHING  
KYNAR 500, COLOR: BLACK



GUARDRAIL 1 (GR-1):  
BLACK STEEL BAR



EXTERIOR DOORS AND WINDOWS:  
BLACK ANODIZED STOREFRONT



PROJECTING SIGNAGE CONCEPT

ELEMENT-Lighting.com

## 4" LED FIXED DOWNLIGHT

**TRIMS**

TRIM	FINISH
 ROUND  SQUARE	 ANTIQUE BRONZE  BLACK  SATIN NICKEL  WHITE (PAINTABLE)
 FLANGELESS BEVEL  FLANGELESS FLAT  FLANGED BEVEL  FLANGED FLAT	 ANTIQUE BRONZE  BLACK  SATIN NICKEL  WHITE (PAINTABLE)

**4" HOUSING**  
MAX CEILING THICKNESS: 2"

NON-IC AIRTIGHT

IC AIRTIGHT

**LED SOLUTIONS**

**LAMPING & OPTICS**

	CITIZEN MAX-OUTPUT / HIGH-OUTPUT / LOW-OUTPUT			XICATO / ARTIST SERIES	LUMENETIX WARM COLOR DIMMING	LUMENETIX PROGRAMMABLE WHITE
Output (Fixture Performance)	Max: 3300 / 2640	High: 2590 / 2060	Low: 1500 / 1200	1800 / 1275	1075	1075
CRI	80+ / 90+			80+ / 98+	90+	90+
Color Temperature	2700K / 3000K / 3500K			2700K / 3000K / 3500K	3000K-1800K Warm Dim	1600K-4000K
Dimming	Down to 5%*			Down to 5%*	Down to 1%	Down to 1%
Dimming Type	ELV, 0-10V, Hi-Lume			ELV, 0-10V, Lutron Hi-Lume	0-10V	0-10V, 2 sets
Beam Spreads	18°, 25°, 40°			21°, 43°, 60°	21°, 43°, 60°	21°, 43°, 60°
Power Supply	Constant Current Driver			Constant Current Driver	24V DC, Constant Voltage	24V DC, Constant Voltage
Wattage	Max: 32 watts	High: 32 watts	Low: 18 watts	24 watts / 22 watts	23 watts	23 watts
Title 24	At 90 CRI			—	—	—

\*with ELV Driver option

**GENERATION BRANDS**

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**ELEMENT**  
by Tech Lighting®

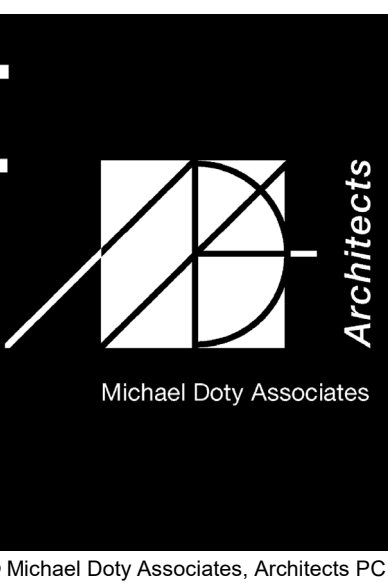
7400 Linder Avenue, Skokie, Illinois 60077 T 847.410.4400 F 847.410.4500

**RECESSED CAN LIGHT**

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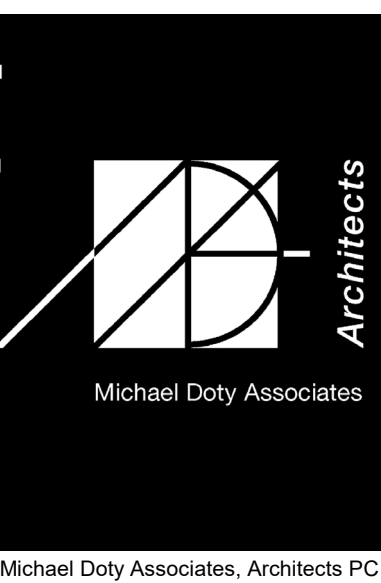
PROPOSED SOUTH (FIRST ST) ELEVATION

1 2 4 8 1/4" = 1'-0"

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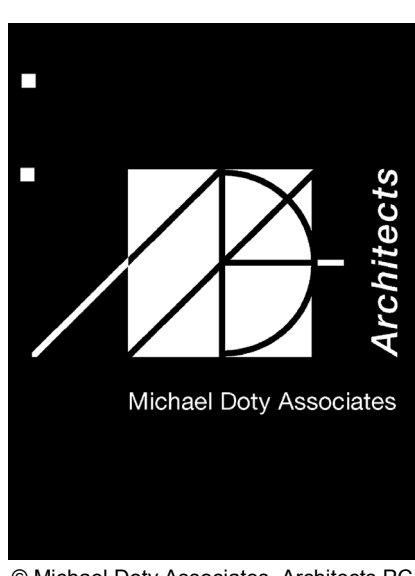
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1/4" = 1'-0"

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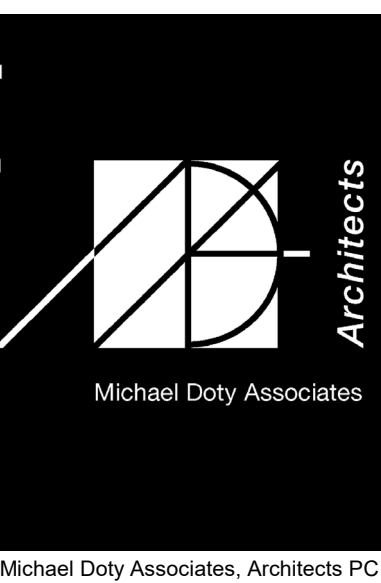
PROPOSED EAST (WASHINGTON) ELEVATION

1 2 4 8 1/4" = 1'-0"

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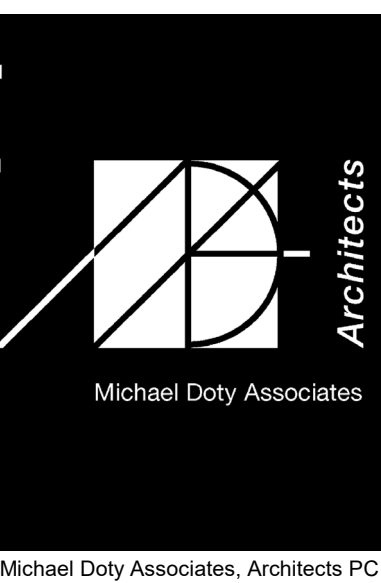
PROPOSED EAST (WASHINGTON) ELEVATION

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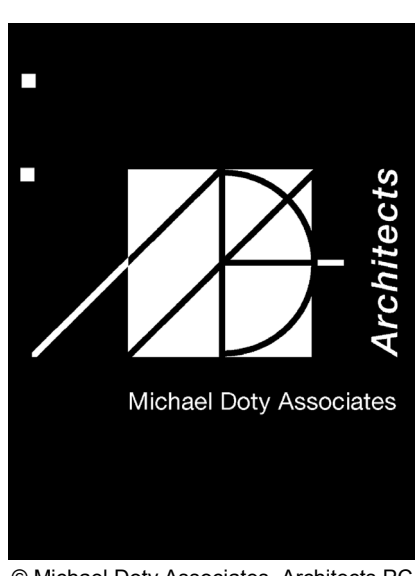


PROPOSED WEST (ALLEY) ELEVATION

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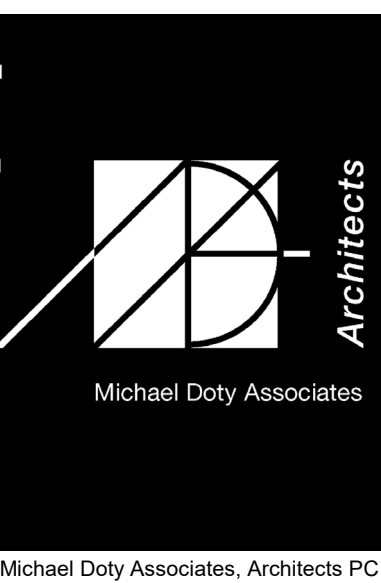
PROPOSED WEST (ALLEY) ELEVATION

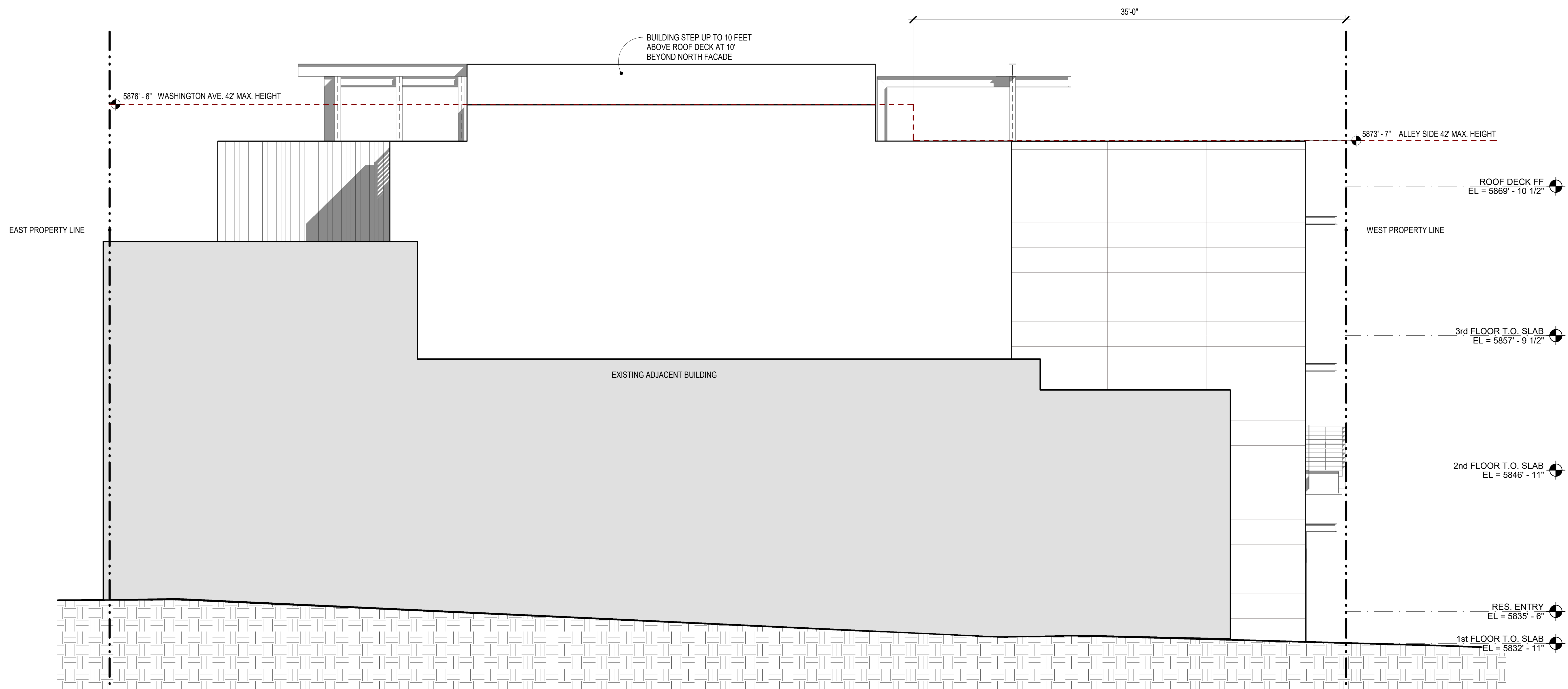
1 2 4 8 1/4" = 1'-0"

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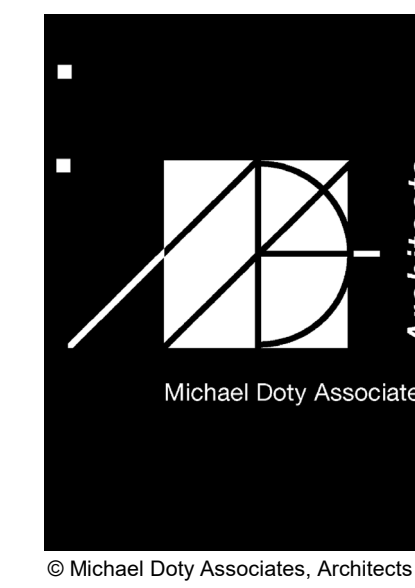
PROPOSED NORTH ELEVATION

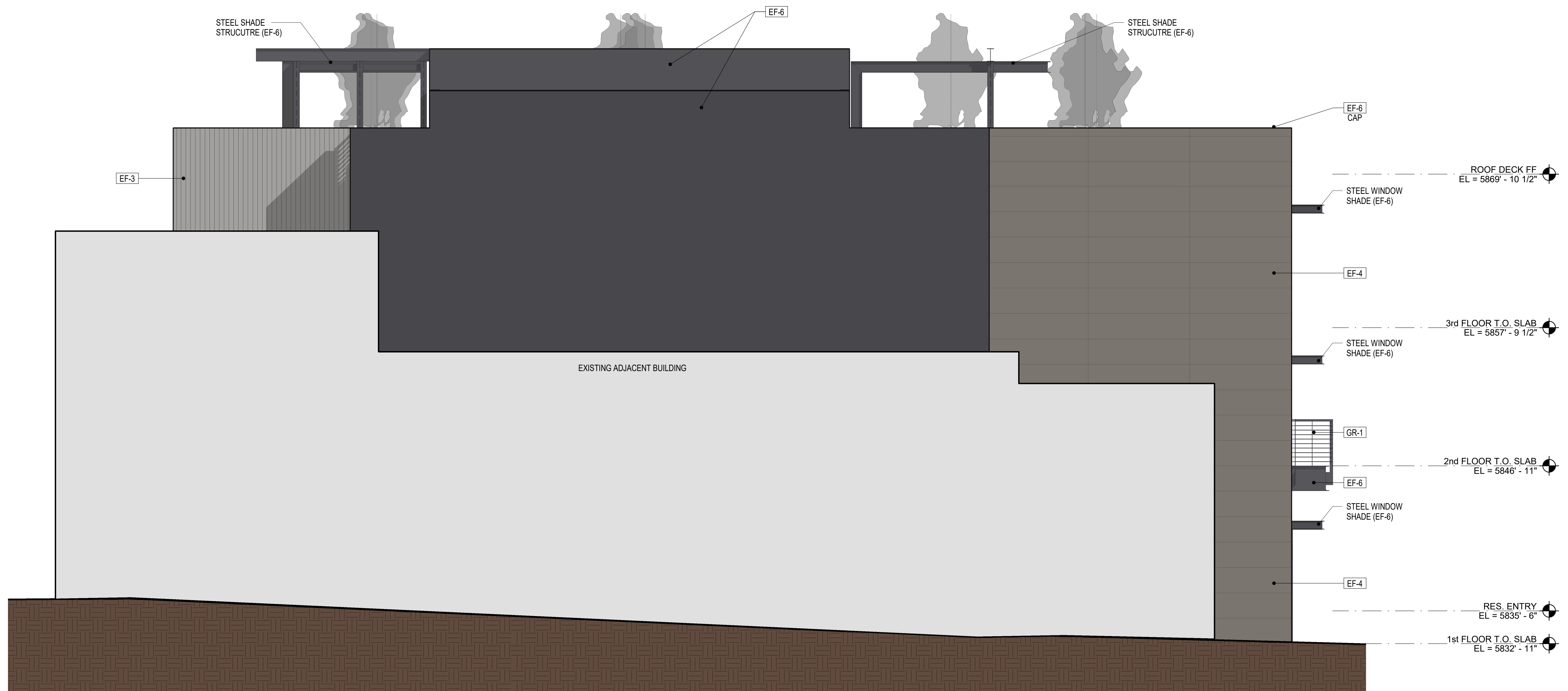
1 2 4 8 1/4" = 1'-0"

# MOUNTAIN LAND DESIGN SHOWROOM AND RESIDENCES

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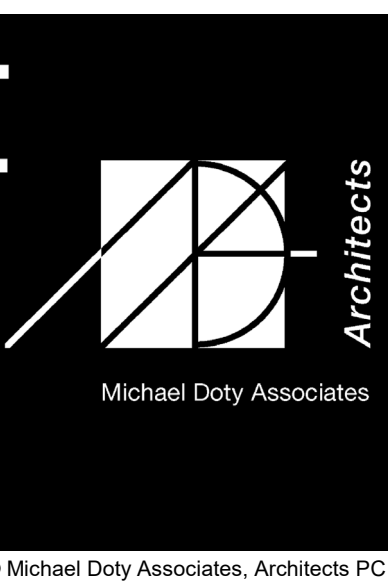
PROPOSED NORTH ELEVATION

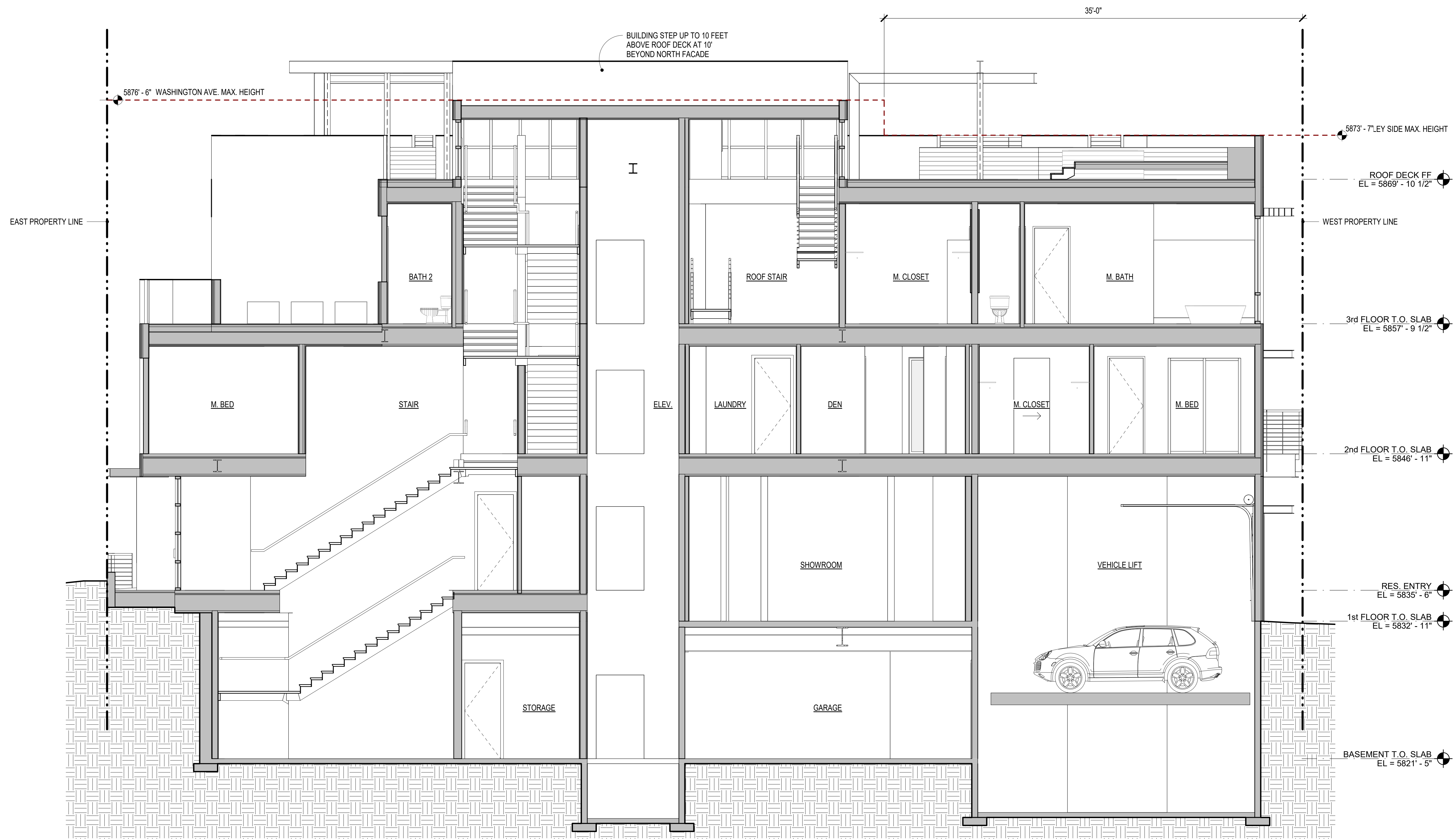
1 2 4 8 1/4" = 1'-0"

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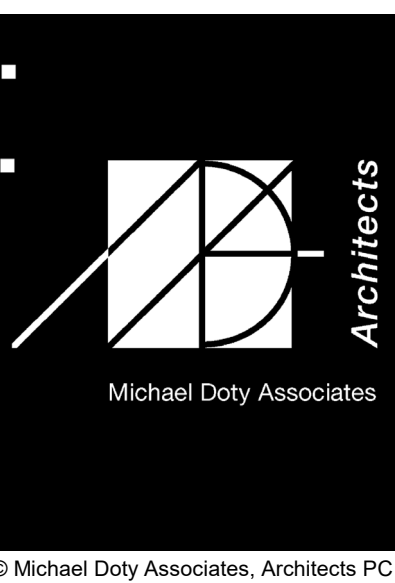
PROPOSED BUILDING SECTION

1/4" = 1'-0"

# MOUNTAIN LAND DESIGN SHOWROOM AND RESIDENCES

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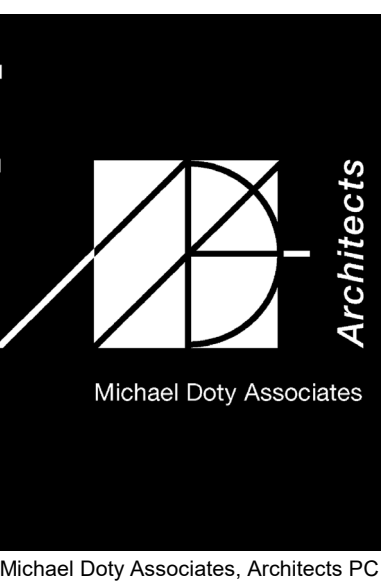


VIEW FROM FIRST AND WASHINGTON

# MOUNTAIN LAND DESIGN SHOWROOM AND RESIDENCES

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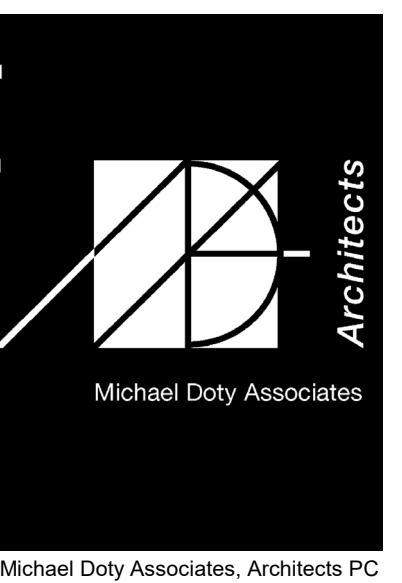


VIEW FROM FIRST AND ALLEY

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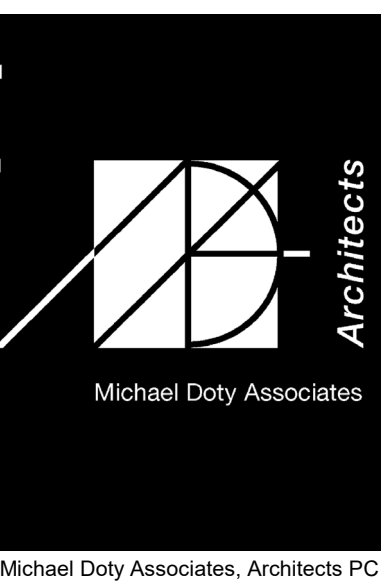


VIEW FROM FIRST STREET

# MOUNTAIN LAND DESIGN SHOWROOM AND RESIDENCES

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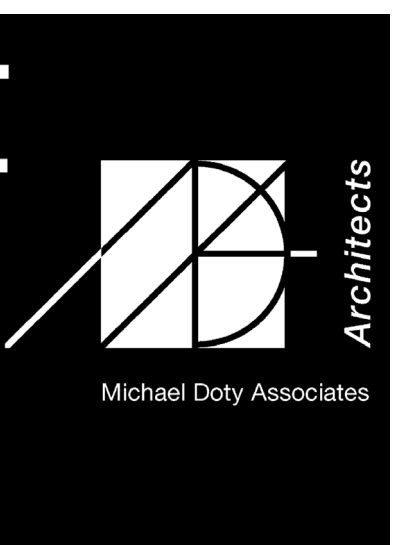


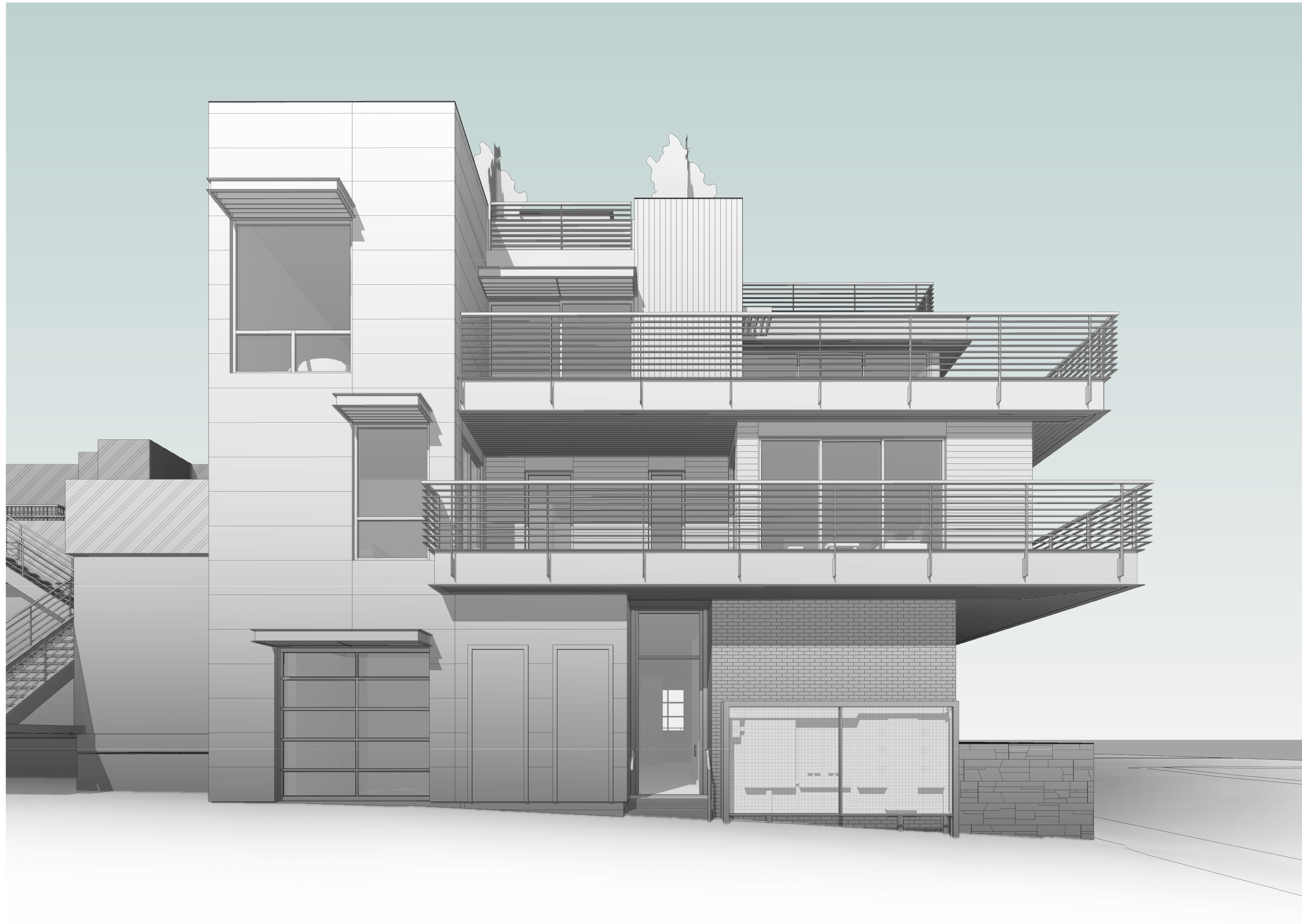
VIEW FROM WASHINGTON AVENUE

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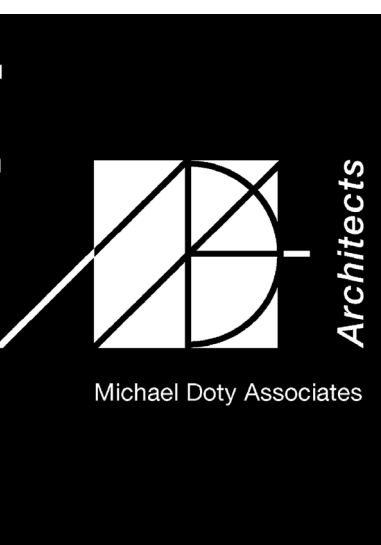


VIEW FROM ALLEY

# MOUNTAIN LAND DESIGN SHOWROOM AND RESIDENCES

111 NORTH WASHINGTON AVENUE  
KETCHUM, IDAHO

DESIGN REVIEW SUBMITTAL  
5/6/2020



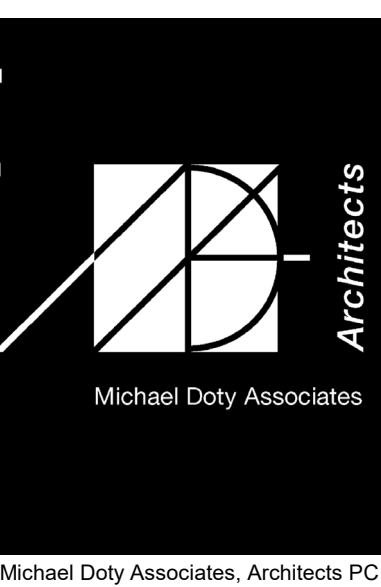


VIEW FROM FIRST AND WASHINGTON

# MOUNTAIN LAND DESIGN SHOWROOM AND RESIDENCES

111 NORTH WASHINGTON AVENUE  
KETCHUM, IDAHO

DESIGN REVIEW SUBMITTAL  
5/6/2020



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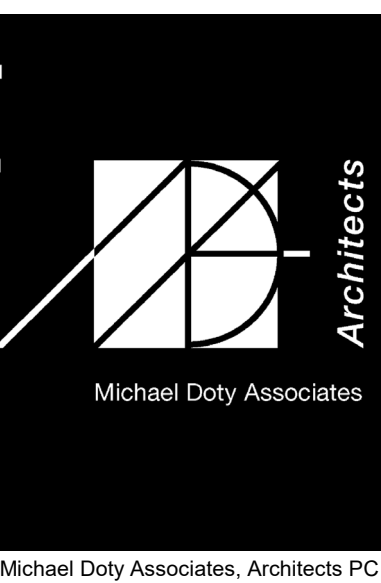


VIEW FROM FIRST AND ALLEY

# MOUNTAIN LAND DESIGN SHOWROOM AND RESIDENCES

111 NORTH WASHINGTON AVENUE  
KETCHUM, IDAHO

DESIGN REVIEW SUBMITTAL  
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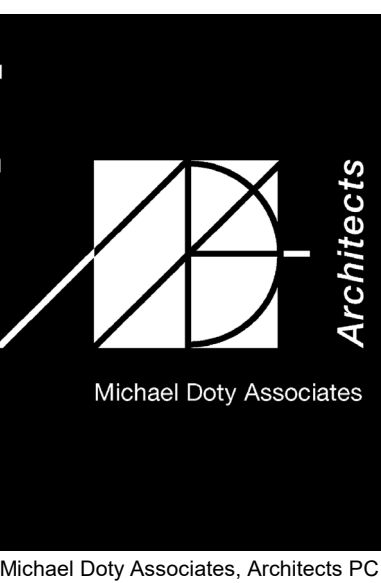


VIEW FROM FIRST STREET

# MOUNTAIN LAND DESIGN SHOWROOM AND RESIDENCES

111 NORTH WASHINGTON AVENUE  
KETCHUM, IDAHO

DESIGN REVIEW SUBMITTAL  
5/6/2020



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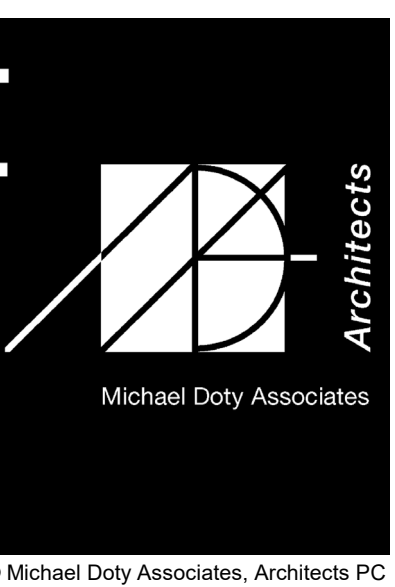


VIEW FROM WASHINGTON AVENUE

# MOUNTAIN LAND DESIGN SHOWROOM AND RESIDENCES

111 NORTH WASHINGTON AVENUE  
KETCHUM, IDAHO

DESIGN REVIEW SUBMITTAL  
5/6/2020



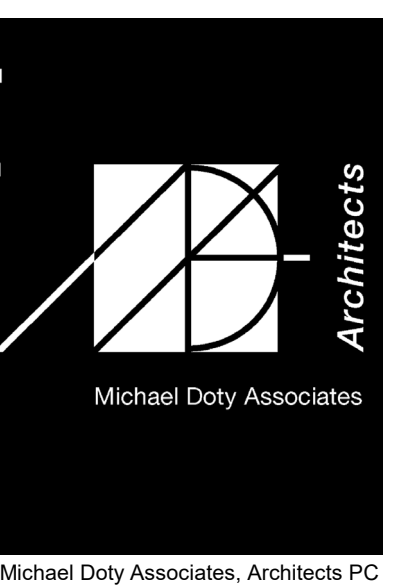


VIEW FROM ALLEY

# MOUNTAIN LAND DESIGN SHOWROOM AND RESIDENCES

111 NORTH WASHINGTON AVENUE  
KETCHUM, IDAHO

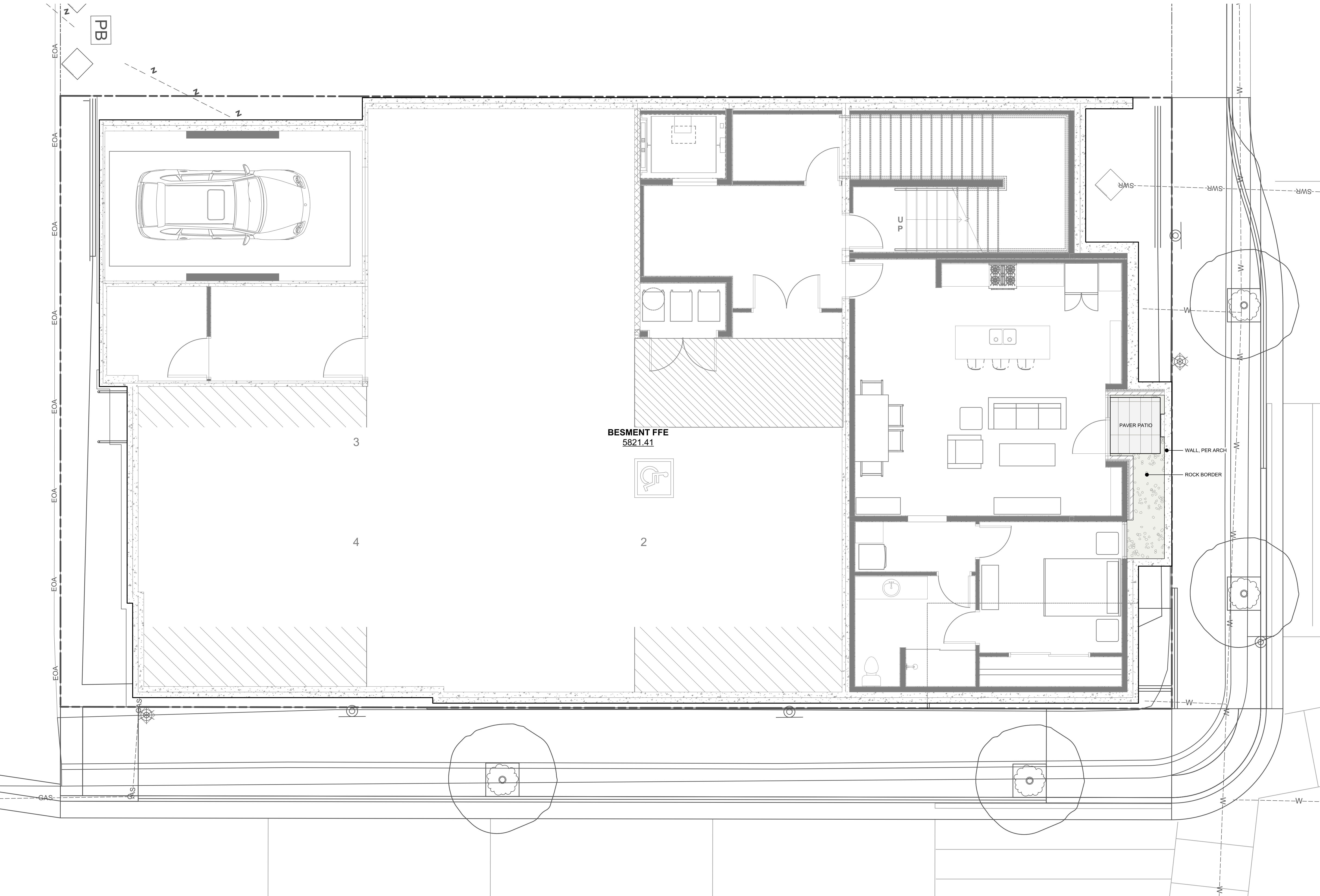
DESIGN REVIEW SUBMITTAL  
5/6/2020





# BASEMENT

SHEET LEGEND	
SYMBOL	DESCRIPTION
	Property Line
	Setbacks / Easements
	Pavers (Pedestal System)
	Rock Border



SHEET LEGEND	
SYMBOL	DESCRIPTION
	Property Line
	Setbacks / Easements
	2" Irrigation Sleeve
	Pavers
	Concrete Steps
	Concrete Wall
	Planters
	U-Frame Bike Rack (1)
	Trash Receptacles (1)
	Tree Grate (4)
	Street Trees in Tree Grate (per City of Ketchum code)

IRRIGATION SCHEDULE		
AREA DESCRIPTION	IRRIGATION TYPE	ZONE
On Site Planters	Buried Drip Irrigation	1
Street Trees	Buried Drip Irrigation	2

FIRST FLOOR FFE  
5832.92

36" SQ. TREE GRATES:  
SEE GENERAL NOTES FOR SPECIFICATIONS

OWNER TO PROVIDE OUTLET AND OUTLET COVER  
AT ALL STREET TREE LOCATIONS - BOLLARD SUPPLIED  
BY CITY OF KETCHUM. SEE EXTERIOR ELECTRICAL PLAN - BY OTHER.

PROVIDE 2" SLEEVES FOR ELECTRICAL WIRING,  
AND DRIP IRRIGATION TO TREE WELL.  
NOTES (PER CITY STANDARD, TREE WELL DETAIL):  
1) DRIP IRRIGATION TO BE ON A SEPARATE ZONE WITH HUNTER/RAINWISE  
SMART CLOCK, OR APPROVED EQUAL. FOR REMOTE ACCESS BY CITY.  
2) APPLICANT TO CONNECT AND PROVIDE CONDUITS, WIRING, AND SEPARATE  
CIRCUIT, OR TIE TO A CITY CIRCUIT FOR POWER - NO DIRECT BURIAL WIRE  
PERMITTED.

STREET TREES PER ARBORIST APPROVAL  
SUGGESTED: RED MAPLE (AUTUMN BLAZE)  
NOTE: ALL STREET TREES TO HAVE SILVA CELL  
FOR OPTIMAL ROOT DEVELOPMENT - INSTALL PER MFR.  
SPECIFICATIONS UPON REQUEST.

SEE CIVIL DRAWINGS FOR PROPOSED SIDEWALK

### GENERAL NOTES:

1. GRADING PER CIVIL ENGINEER
2. ALL IRRIGATION, ON-SITE, TO BE DRIP IRRIGATED

### EQUIPMENT AND PAVING SCHEDULE:

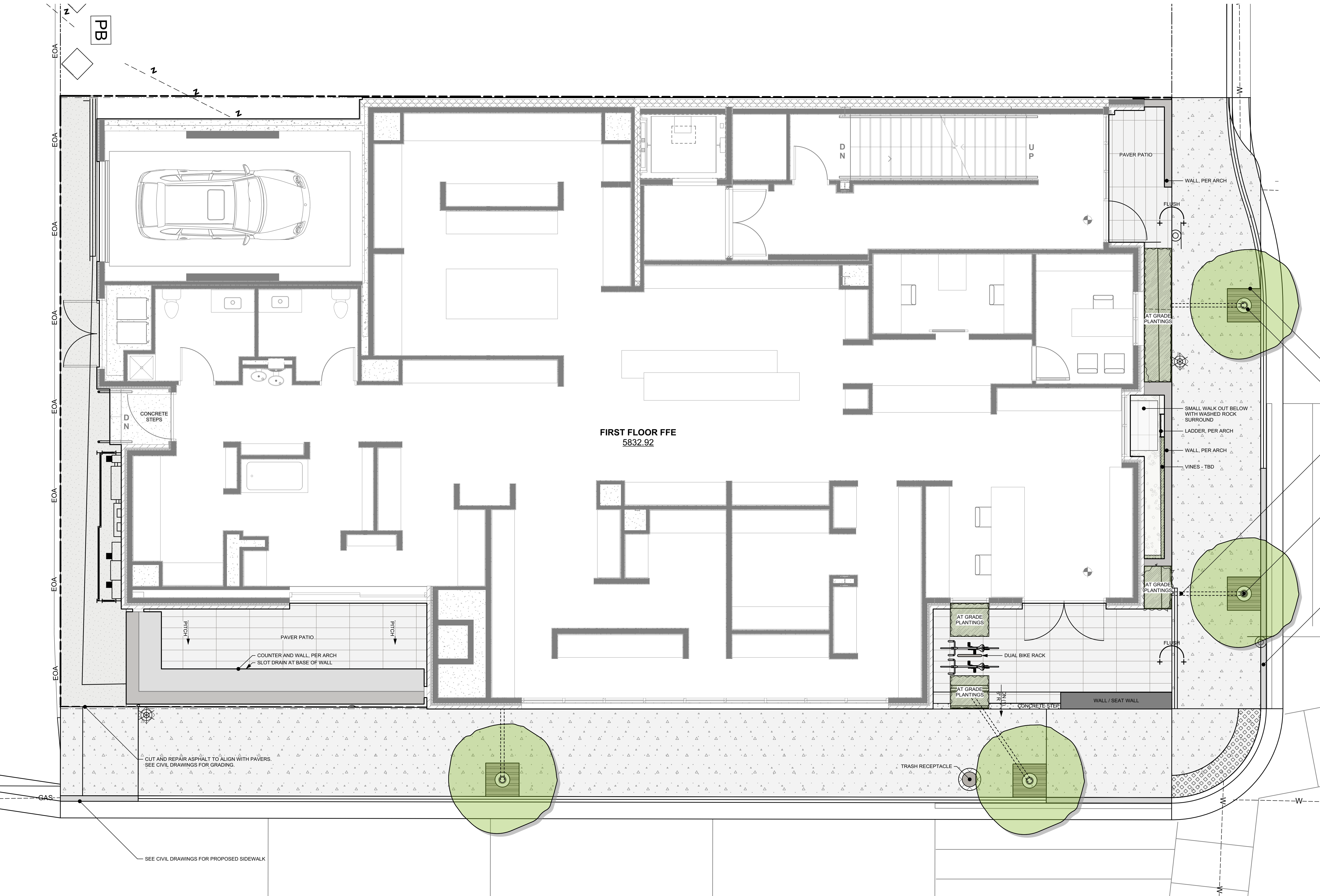
TRASH RECEPTACLE: 32 GAL. PERFORATED TRASH  
RECEPTACLE, BLACK, AVAILABLE FROM BYO PLAYGROUNDS,  
800-853-5316, INSTALL PER MANUFACTURER.

BIKE RACK: INVERTED U BIKE RACK ON RAILS, SQUARE  
TUBING, BLACK, (1) SINGLE LOOP. AVAILABLE FROM BYO  
PLAYGROUNDS, INSTALL PER MANUFACTURER.

TREE GRATE: R-8704-A (AVENUE COLLECTION), 36" x 36"  
WITH 16" DIAMETER OPENING, AVAILABLE FROM NEENAH  
FOUNDARY, INSTALL PER MANUFACTURER.

SILVA CELL: SUPPLIER: DEEP ROOT. PRODUCT: SILVA CELL  
2X, LAYOUT AND INSTALL PER MANUFACTURER  
SPECIFICATIONS.

WALKWAY AND LANDING PAVING: 12" x 48" PAVER IN  
STACKED BOND PATTERN, COLOR AND FINISH TBD.



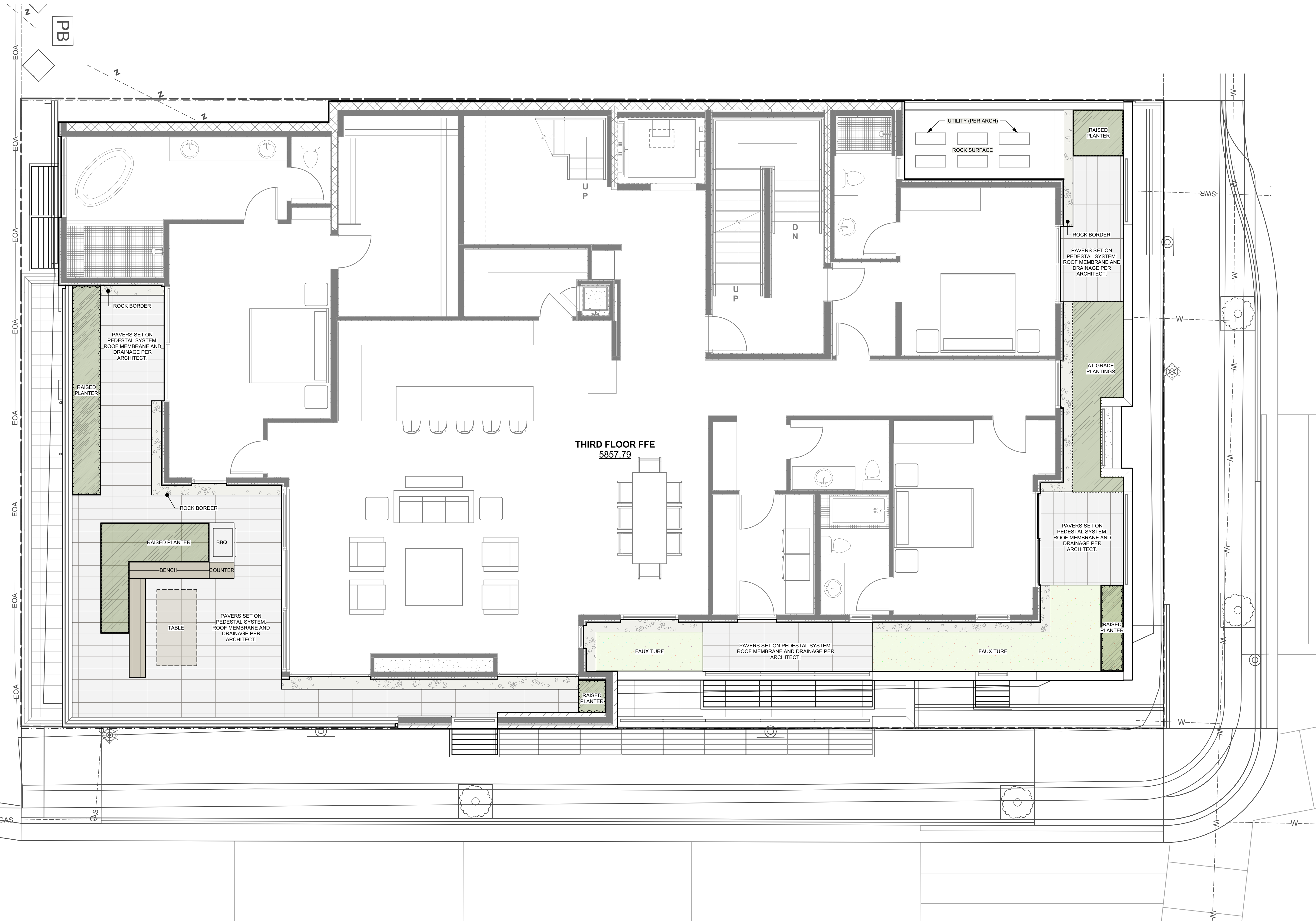
# 2ND FLOOR DECKS

SHEET LEGEND	
SYMBOL	DESCRIPTION
	Property Line
	Setbacks / Easements
	Pavers (Pedestal System)
	Built-In Furniture
	Rock Border
	Planters (Drip Irrigation)



# 3RD FLOOR DECKS

SHEET LEGEND	
SYMBOL	DESCRIPTION
	Property Line
	Setbacks / Easements
	Pavers (Pedestal System)
	Built-In Furniture
	Rock Border
	Planters (Drip Irrigation)



# ROOF DECKS

SHEET LEGEND	
SYMBOL	DESCRIPTION
	Property Line
	Setbacks / Easements
	Pavers (Pedestal System)
	Deck (Pedestal System)
	Built-In Furniture
	Rock Border
	Planters (Drip Irrigation)
	Trees (Drip Irrigation)

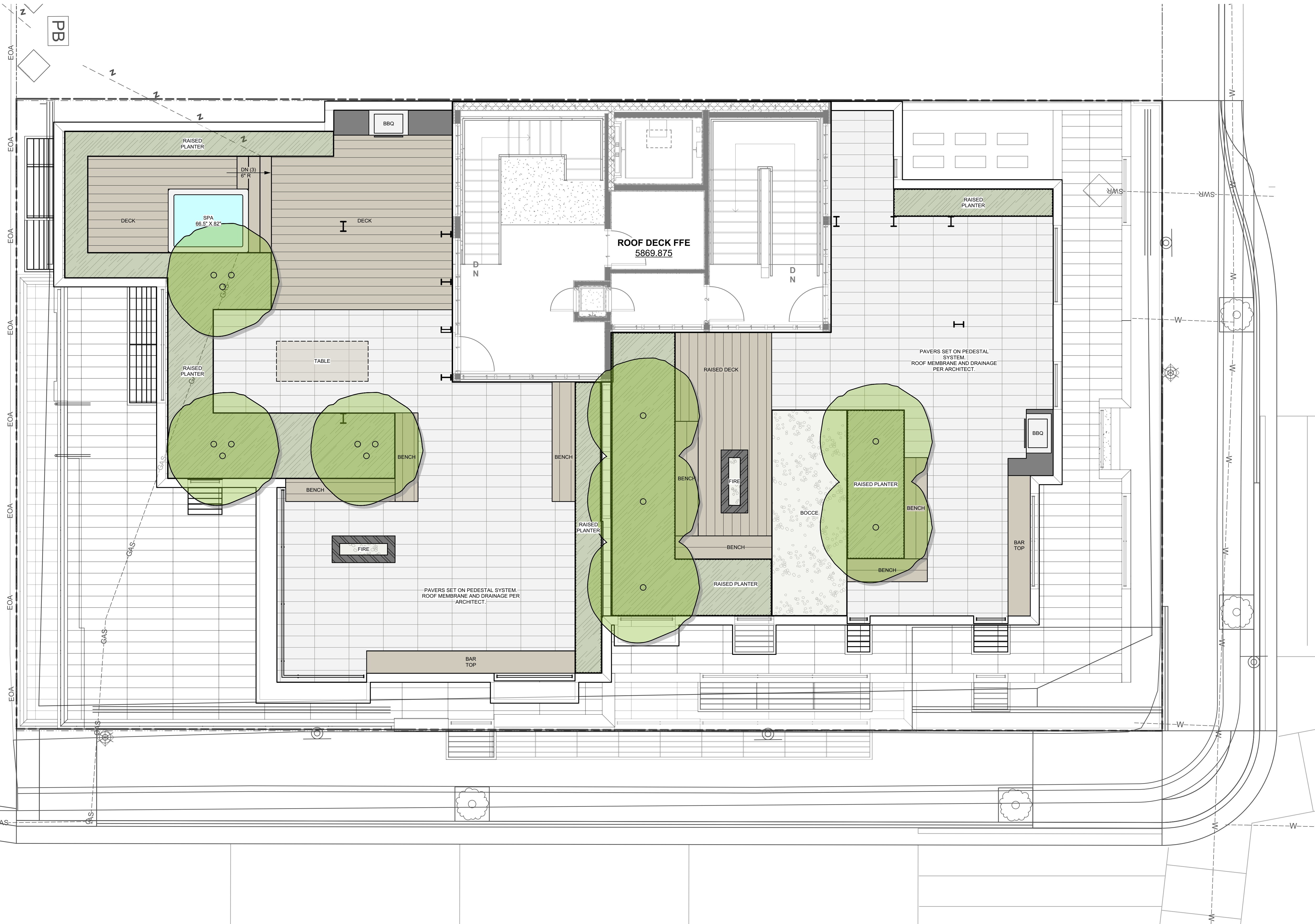


Exhibit C:  
Applicant Narrative  
Design Review  
Evaluation Criteria  
and  
CC Design Review Standards

## IMPROVEMENTS AND STANDARDS FOR ALL PROJECTS: 17.96.060

City Code	City Standards and <i>Applicant Comments</i>
17.96.060(A)(1) Streets	The applicant shall be responsible for all costs associated with providing a connection from an existing city street to their development.
<i>Comments</i>	<i>Applicant will provide and be responsible for all costs of connections from the existing city street to the development. Applicant may request a portion of funds from KURA.</i>
17.96.060(A)(2) Streets	All streets designs shall be in conformance with the right-of-way standards and approved by the Public Works Director.
<i>Comments</i>	<i>Proposed street design has been prepared by Galena Engineering, and will meet the right-of-way standards.</i>
17.96.060(B)(1)	All projects under 17.96.010(A) that qualify as a “Substantial Improvement” shall install sidewalks in conformance with the right-of-way standards. Sidewalk improvements may be waived for projects that qualify as a “Substantial Improvement” which comprise additions of less than 250 square feet of conditioned space.
	<i>The applicant shall demolish and replace sidewalks at Washington Avenue and First Street as required by the Public Works Department.</i>
17.96.060 (B)(2)	The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.
<i>Comments</i>	<i>The sidewalk improvement has been designed by Galena Engineering after consulting with city staff. New 8-foot wide sidewalks will extend the length of the property on both Washington Avenue and First Street frontages.</i>
17.96.060 (B)(3)	New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.
<i>Comments</i>	<i>The sidewalk improvement has been designed by Galena Engineering after consulting with city staff. New sidewalks will provide safe pedestrian access to and around the building.</i>
17.96.060 (B)(4)	The city may approve and accept voluntary cash contributions in-lieu of the above described improvements, which contributions must be segregated by the city and not used for any purpose other than the provision of these improvements. The contribution amount shall be one hundred ten percent (110%) of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the Public Works Director. Any approved in-lieu contribution shall be paid before the city issues a certificate of occupancy.
<i>Comments</i>	<i>N/A. The applicant will not pursue an in-lieu contribution to avoid sidewalk improvements. Applicant may request a portion of funds from KURA.</i>
17.96.060(C)(1)	All storm water shall be retained on site.
<i>Comments</i>	<i>On-site storm water shall be directed to internal roof drains, drain leaders, and trench drain grates and retained on site through an underground infiltration system designed by Galena Engineers.</i>
17.96.060(C)(2)	Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.

<i>Comments</i>	<i>Applicant will provide drainage improvements equal to the length of the subject property lines adjacent to public streets. Applicant may request a portion of funds from KURA.</i>
17.96.060(C)(3)	The Public Works Director may require additional drainage improvements as necessary, depending on the unique characteristics of a site.
<i>Comments</i>	<i>Proposed drainage improvements have been designed by Galena Engineering, and will include any additional improvements deemed necessary by the Public Works Director.</i>
17.96.060(C)(4)	Drainage facilities shall be constructed per city standards and designed by a licensed civil engineer.
<i>Comments</i>	<i>Final design of drainage facilities by Galena Engineering will meet and be constructed per City Standards.</i>
17.96.060(D)(1)	All utilities necessary for the development shall be improved and installed at the sole expense of the applicant.
<i>Comments</i>	<i>Applicant will provide all utilities improvements necessary for the development. Applicant may request a portion of funds from KURA.</i>
17.96.060(D)(2)	Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view.
<i>Comments</i>	<i>Applicant will work with utility companies to meet City Standards.</i>
17.96.060(D)(3)	When extension of utilities is necessary all developers will be required to pay for and install two (2") inch SDR11 fiber optical conduit. The placement and construction of the fiber optical conduit shall be done in accordance with city of Ketchum standards and approved by the Public Works Director.
<i>Comments</i>	<i>N/A. Project needs are met without the need to extend existing utilities.</i>
17.96.060(E)(1)	The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures.
<i>Comments</i>	<i>The applicant is proposing materials, colors, and signing that we believe will complement the townscape, surrounding neighborhoods, and adjoining structures. A digital exterior materials board is included in the design review submission materials.</i>
17.96.060(E)(2)	Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.
<i>Comments</i>	<i>N/A</i>
17.96.060(E)(3)	Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to.
<i>Comments</i>	<i>N/A</i>
17.96.060(F)(1)	Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined.
<i>Comments</i>	<i>The building's main entry at the corner of First Street and Washington Avenue is clearly defined by floor to ceiling aluminum storefront windows and door system, and is connected directly to the public sidewalk by a concrete walkway, which is covered by a steel canopy providing weather protection, and welcoming wayfinding for visiting patrons. The residential entry on First Street is framed by a similar but, but less grand storefront system, and protected by the same continuous canopy.</i>
17.96.060(F)(2)	The building character shall be clearly defined by use of architectural features.
<i>Comments</i>	<i>See below.</i>



17.96.060(F)(3)	There shall be continuity of materials, colors and signing within the project.
<i>Comments</i>	<i>The building's material palette seeks to blend historic rustic charm with contemporary durable maintenance-free materials. The tumbled brick veneer located on the single-story masses anchor the building, and provide an historical context, while the wood rainscreen of the residences provide warmth, and help to modernize the building while complimenting the heavy texture brick elements. Steel elements project outward from the façade to provide shade and weather protection, to help articulate window openings, and to reduce perceived vertical massing. The building's only three-story contiguous mass is located on the alley side, and as a unique element, is clad with a buff colored fiber cement panel to lighten the mass, with joints oriented horizontally to lessen the perceived height.</i>
17.96.060(F)(4)	Accessory structures, fences, walls and landscape features within the project shall match or complement the principal building.
<i>Comments</i>	<i>The stone wall surrounding the BBQ display area is intended to be perceived as a "found" element that was left intact. The gray tones of the stone compliment the silver-gray weathered wood on the third story to integrate the highest and lowest portions of the building.</i>
17.96.060(F)(5)	Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.
<i>Comments</i>	<i>Building planes undulate in and out along the facades of each story, and the general mass steps back as the building grows skyward. Strategic placement of open guardrails tie together different levels while also providing visual relief along large flat planes.</i>
17.96.060(F)(6)	Building(s) shall orient towards their primary street frontage.
<i>Comments</i>	<i>Being a corner lot, the frontages along both First Street and Washington Avenue are of equal significance. The "front" lot line, located on Washington Avenue carries the weight of the address; however, frequent foot traffic is also anticipated along First Street, as pedestrians make their way to and from Forest Service Park. The building takes advantage of this locating the main entrance at the corner, and by providing large glazed openings facing First Street. The residential entry is oriented toward the Washington Avenue "front" lot line.</i>
17.96.060(F)(7)	Garbage and recycling storage areas, satellite receivers and mechanical equipment shall be screened from public view and located off alleys.
<i>Comments</i>	<i>Garbage will be collected in rolling carts, and stored in the basement for the residences, and in an enclosed room facing the alley on the west end of the property for the showroom. No satellite receivers are contemplated at this time.</i>
17.96.060(F)(8)	Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties.
<i>Comments</i>	<i>All proposed roof elements are flat roofs which will be drained internally. Pedestrians will be sheltered at exterior doorways by building projections or steel canopies above.</i>
17.96.060(G)(1)	Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.
<i>Comments</i>	<i>Existing sidewalks will be replaced with new 8-foot wide sidewalks per city standards. One bicycle parking rack for (2) bicycles will be provided adjacent to the entry with direct access to the sidewalk.</i>

17.96.060(G)(2)	Awnings extending over public sidewalks shall extend five (5') feet or more across the public sidewalk but shall not extend within two (2') feet of parking or travel lanes within the right of way.
<i>Comments</i>	<i>The entry canopy abuts the property line, but does not extend over the sidewalk.</i>
17.96.060(G)(3)	Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage.
<i>Comments</i>	<i>Traffic flow to and from the site will be through existing alley access or on-street parking.</i>
17.96.060(G)(4)	Curb cuts and driveway entrances shall be no closer than twenty (20') feet to the nearest intersection of two or more streets, as measured along the property line adjacent to the right of way. Due to site conditions or current/projected traffic levels or speed, the Public Works Director may increase the minimum distance requirements.
<i>Comments</i>	<i>N/A. No new curb cuts or driveways are being proposed.</i>
17.96.060(G)(5)	Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project.
<i>Comments</i>	<i>The applicant has coordinated requirements with Clear Creek Disposal so that the location of the trash room will not place the trash truck onto First Street or the sidewalk during pick-up. Emergency vehicles, snow plows, and service vehicles will have to access the site from the right-of-way and on-street parking areas.</i>
17.96.060(H)(1)	Snow storage areas shall not be less than thirty percent (30%) of the improved parking and pedestrian circulation areas.
<i>Comments</i>	<i>The applicant will provide snowmelt with hydronic heat tubing at portions of the site, including the main entrance walkway, the residential entry walkway, the BBQ Patio, and the window well at the basement level. There are no suitable areas on site large enough to be dedicated as snow storage areas. As such, snow management will be accomplished with the hauling of snow off-site, as noted on the architectural site plan.</i>
17.96.060(H)(2)	Snow storage areas shall be provided on-site.
<i>Comments</i>	<i>See above.</i>
17.96.060(H)(3)	A designated snow storage area shall not have any dimension less than five (5') feet and shall be a minimum of twenty five (25) square feet.
<i>Comments</i>	<i>See above.</i>
17.96.060(H)(4)	In lieu of providing snow storage areas, snow melt and hauling of snow may be allowed.
<i>Comments</i>	<i>See above.</i>
17.96.060(I)(1)	Landscaping is required for all projects.
<i>Comments</i>	<i>Four street trees are proposed for the project, (2) along First Street, and (2) along Washington Avenue. Tree species will be coordinated with and approved by the City Arborist. Tree grates will be coordinated with the City Engineer. Additionally, landscape areas along Washington Avenue, and on the raised decks and roofs will have regional plantings adaptable to the site's microclimate as recommended by the landscape architect.</i>

17.96.060(I)(2)	Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape.
<i>Comments</i>	<i>See above.</i>
17.96.060(I)(3)	All plant species shall be drought tolerant. Native species are recommended but not required.
<i>Comments</i>	<i>See above.</i>
17.96.060(I)(4)	Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged.
<i>Comments</i>	<i>See above.</i>
17.96.060(J)(1)	Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All public amenities shall be approved by the Public Works Director prior to design review approval from the Commission.
<i>Comments</i>	<i>Pedestrian amenities shall be installed along the street frontages in accordance with design review regulations. Benches will be installed at the hardscape areas along Washington Avenue, and at the corner of First and Washington.</i>
<b>IMPROVEMENTS AND STANDARDS: COMMUNITY CORE (CC) PROJECTS</b>	
In addition to the requirements of section 17.96.060, unless otherwise specified, the below standards apply to projects in the Community Core district.	
17.96.070 A(1)	A minimum of one (1) street tree shall be required for every forty (40') feet of street frontage, including both street frontages on corner lots, the location of which shall be determined by the Public Works Director.
<i>Comments</i>	<i>Landscape Architect and General contractor will coordinate with the Public Works Department during construction to ensure the approved design will be installed and constructed as determined by the Public Works Director.</i>
17.96.070 A(2)	Street trees, street lights, street furnishings and all other street improvements are required to be in conformance with the right-of-way standards and approved by the Public Works Director.
<i>Comments</i>	<i>The landscape architect will specify, and the landscape contractor will install street trees according to City requirements and coordinate City Arborist approval.</i>
17.96.070 B(1)	Facades facing a street or alley or located more than five (5') feet from an interior side property line shall be designed with both solid surfaces and window openings to avoid the creation of blank walls and employ similar architectural elements, materials, and colors as the front façade.
<i>Comments</i>	<i>The south and east facades facing the street, and the west façade facing the alley are designed with glazing to break up solid walls. Building undulation and change in materials avoid the creation of blank walls. The north wall is along an interior side property line and will be designed to meet building code fire separation requirements. Limited wall area is visible along the interior side property line due to adjacent building height.</i>
17.96.070 B(2)	For nonresidential portions of buildings, front building facades and facades fronting a pedestrian walkway shall be designed with ground floor storefront

	windows and doors with clear transparent glass. Landscaping planters shall be incorporated into facades fronting pedestrian walkways.
<i>Comments</i>	<i>Storefront windows and doors will be incorporated into the lower level showroom areas along both street frontages.</i>
17.96.070 B(3)	For nonresidential portions of buildings, front facades shall be designed to not obscure views into windows.
<i>Comments</i>	<i>The proposed design provides floor to ceiling glass doors and glazing, including a continuous 33-foot long floor to ceiling glazed opening along First Street. Higher windows are planned along Washington Avenue, where showroom needs prevent the use of lower sill dimensions.</i>
17.96.070 B(4)	Roofing forms and materials shall be compatible with the overall style and character of the structure. Reflective materials are prohibited.
<i>Comments</i>	<i>All proposed roof elements are flat roofs which will be drained internally. Steel sunshade brows create a unifying horizontal band adding depth to the elevations and reducing perceived building mass.</i>
17.96.070 B(5)	All pitched roofs shall be designed to sufficiently hold all snow with snow clips, gutters, and downspouts.
<i>Comments</i>	<i>All proposed roof elements are flat roofs which will be drained internally.</i>
17.96.070 B(6)	Roof overhangs shall not extend more than three (3') feet over a public sidewalk. Roof overhangs that extend over the public sidewalk shall be approved by the Public Works Director.
<i>Comments</i>	<i>All proposed roof elements are flat roofs which will be drained internally. (2) Window shades along the First Street facade project 2'-6" over the public sidewalk. The applicant will obtain an encroachment permit for these overhangs.</i>
17.96.070 B(7)	Front porches and stoops shall not be enclosed on the ground floor by permanent or temporary walls, windows, window screens, or plastic or fabric materials.
<i>Comments</i>	<i>The front entry walkways are simply hardscape to connect to the sidewalk. No enclosures or surrounds are proposed or contemplated.</i>
17.96.070 C(1)	Trash disposal areas and shipping and receiving areas shall be located within parking garages or to the rear of buildings. Trash disposal areas shall not be located within the public right of way and shall be screened from public views.
<i>Comments</i>	<i>Garbage will be collected in rolling carts, and stored in the basement for the residences, and in an enclosed room facing the alley on the west end of the property for the showroom. The rolling carts will be brought to the alley for pick-up and replaced afterward by building maintenance staff. The minimal shipping and receiving needs will be met by the secondary exit door at the alley.</i>
17.96.070 C(2)	Roof and ground mounted mechanical and electrical equipment shall be fully screened from public view. Screening shall be compatible with the overall building design.
<i>Comments</i>	<i>There is no roof-mounted mechanical or electrical equipment anticipated. Heat in the showroom will provided by a hydronic forced air system, with the boiler and air handler located in a basement mechanical room. Residential heat is anticipated to be a boiler-fed radiant floor system, with the boiler(s) located in the basement mechanical room. Cooling to the 2<sup>nd</sup> and 3<sup>rd</sup> floor residential units will be provided from mini-split systems. The condenser units for these are located on the 2<sup>nd</sup> floor deck, behind a screen wall at the northeast corner of the building. Electrical metering equipment located on the alley will be screened by a</i>

	<i>complimentary steel enclosure. Gas meters are anticipated to be located within a closet, accessed from the alley.</i>
17.96.070 D(1)	When a healthy and mature tree is removed from a site, it shall be replaced with a new tree. Replacement trees may occur on or off site.
Comments	<i>The applicant and landscape architect will work with the city arborist to determine if any of the existing trees removed as part of the construction of this project will be replaced, and if so, where they will be located.</i>
17.96.070 D(2)	Trees that are placed within a courtyard, plaza, or pedestrian walkway shall be placed within tree wells that are covered by tree grates.
Comments	<i>Trees located within the City right-of-way pedestrian walkways on Washington Avenue or First Street East will be placed in tree wells and covered by tree grates as approved by the City Engineer.</i>
17.96.070 D(3)	The city arborist shall approve all parking lot and replacement trees.
Comments	<i>The applicant and landscape architect will work the city arborist on the selection of replacement trees should they be required.</i>
17.96.070 E(1)	Surface parking lots shall be accessed from off the alley and shall be fully screened from the street.
Comments	<i>N/A.</i>
17.96.070 E(2)	Surface parking lots shall incorporate at least one (1) tree and one (1) additional tree per ten (10) onsite parking spaces. Trees shall be planted in landscaped planters, tree wells and/or diamond shaped planter boxes located between parking rows. Planter boxes shall be designed so as not to impair vision or site distance of the traveling public.
Comments	<i>N/A.</i>
17.96.070 E(3)	Ground cover, low lying shrubs, and trees shall be planted within the planters and planter boxes. Tree grates or landscaping may be used in tree wells located within pedestrian walkways.
Comments	<i>Trees located within the City right-of-way pedestrian walkways on First Street and Washington Avenue will be placed in tree wells and covered by tree grates as approved by the City Engineer.</i>
17.96.070 F(1)	One (1) bicycle rack, able to accommodate at least two (2) bicycles, shall be provided for every four (4) parking spaces as required by the proposed use. At a minimum, one (1) bicycle rack shall be required per development.
Comments	<i>(4) Parking spaces are required for the residential portions of the development. All other uses fall below the threshold requiring parking spaces. As such, (1) bicycle rack, providing (2) bicycle spaces will be provided at the southeast corner of the building.</i>
17.96.070 F(2)	When the calculation of the required number of bicycle racks called for in this section results in a fractional number, a fraction equal to or greater than one-half (1/2) shall be adjusted to the next highest whole number.
Comments	<i>N/A.</i>
17.96.070 F(3)	Bicycle racks shall be clearly visible from the building entrance they serve and not mounted less than fifty (50') feet from said entrance or as close as the nearest non-ADA parking space, whichever is closest. Bicycle racks shall be located to achieve unobstructed access from the public right-of-way and not in areas requiring access via stairways or other major obstacles.

<b>Comments</b>	<i>The bicycle rack will be located to the south of the entry door, between the building and sidewalk.</i>
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