



**City of Ketchum
Planning & Building**

**STAFF REPORT
HISTORIC PRESERVATION COMMISSION
SPECIAL MEETING OF SEPTEMBER 28, 2021**

PROJECT: Formula Sports/Former Post Office A-Frame Historic Building Demolition

FILE NUMBER: H21-079

APPLICATION TYPE: Request to Demolish a Historic Structure

ARCHITECT: Buffalo Rixon, Ruscitto Latham Blanton Architecture

PROPERTY OWNER: Main Street Realty Partners LLC

LOCATION: 460 N Main Street (Ketchum Townsite: Block 5: Lots 3 & 4)

ZONING: Retail Core Subdistrict of the Community Core (CC-1)

NOTICE: The public hearing notice was published in the Idaho Mountain Express on September 15th, 2021. A public hearing notice was mailed to adjacent properties within 300 feet of the project site on September 15th, 2021. A public hearing notice was posted on the project site and the City's website on September 21st, 2021.

REVIEWER: Abby Rivin, Senior Planner

REQUEST TO DEMOLISH HISTORIC A-FRAME

The applicant, Buffalo Rixon of Ruscitto Latham Blanton Architecture on behalf of property owner Main Street Realty Partners LLC, has submitted a Request to Demolish the Formula Sports/Former Post Office A-Frame located at the southeast corner of Main and 5th Street within the Retail Core Subdistrict of the Community Core (CC-1). The building is on the List of Historic Buildings and may not be demolished without approval of the Historic Preservation Commission. The building is proposed to be replaced by a new mixed-use building containing ground-level retail space, community housing units, and market-rate residential units on the upper levels. The applicant proposes to memorialize the significance of the building in a commemorative exhibit incorporated into the development's archway entrances along Main Street.

The project is subject to Historic Preservation Commission (HPC) review pursuant to Section 1.C.1 of Interim Historic Preservation Ordinance No. 1216. HPC review is required for all requests for partial or total demolitions, exterior alterations, and additions to all structures on the Historic Building List.

DEMOLITIONS VERSUS ALTERATIONS

Interim Ordinance No. 1216 provides the same criteria to evaluate requests to either demolish or alter a historic building. While the same review criteria apply, demolition requests require the Commission to evaluate the loss of a historic building and address the property's historical significance in the absence of the physical structure. With exterior alterations, the Commission evaluates whether proposed modifications are appropriate and do not diminish the significance or integrity of the historic building. Unlike exterior alterations, the Commission's role in their assessments of proposed demolitions is not to assess the design of the replacement project, but rather to evaluate if the building merits demolition because it cannot be repaired, restored, or converted to an adaptive reuse. If the Commission determines the building can be demolished, the Commission should evaluate how to commemorate the property's historic importance and memorialize the site's connection to Ketchum's past.

Preservation helps retain the collective memory that shapes community identity and sense of place. Ketchum's collective memory is conveyed not just through physical structures in the built environment but also expressed in stories shared by the people who call Ketchum home, gatherings, rituals, and memorials. This proposal challenges the Commission to wrestle with balancing the loss of Main Street's iconic A-Frame against growth and change.

REPLACEMENT PROJECT & COMMEMORATIVE EXHIBIT

The replacement project plans are attached to the staff report as Exhibit D as reference for the Commission. The Commission is not evaluating or reviewing the replacement project. The proposed development is 3 stories and has total floor area of 26,246 square feet. The mixed-use building contains retail units fronting Main and 5th Street. The ground level floor plan on Sheet A2.0 includes a space for Irving's Red Hots along 5th Street. The development will include four community housing units with private entrances accessed from the Block 5 alleyway. Four market-rate residential units are provided on the second and third levels. The proposed mixed-use building will utilize natural exterior materials and incorporate design features characteristic of Ketchum's historic architectural traditions, including gable roof elements. The applicant has provided a narrative describing the replacement project in relation to the review criteria, which is attached as Exhibit B to the staff report.

Should the Commission approve the demolition request, the applicant proposes to memorialize the former post office through a commemorative exhibit located at the development's archway entrance along Main Street. The plan for the commemorative exhibit is attached as Exhibit C to the staff report. The commemorative plaque documents the history of the former post office and includes decorative PO boxes.

ANALYSIS

The Commission may approve, approve with conditions, or deny a Request for Demolition or Alteration application based on the criteria specified in Section 3.A of Interim Historic Preservation Ordinance No. 1216. The following analysis evaluates the request to demolish the Formula Sports/Former Post Office A-Frame in relation to the review criteria for demolitions structures on the Historic Building List.

Review Criteria for Request for Demolition or Alteration Application

Is the structure of historic or architectural value or significance and does it contribute to the historic significance of the property within the Community Core?

The Post Office for Ketchum has been located in four different buildings in the Community Core. Ketchum's first post office was in the Greenhow & Rumsey Store, now the Sun Valley Culinary Institute, located at the northwest corner of Main and 2nd Street. The second location was the A-Frame originally constructed in 1962 and was the Ketchum Post Office until 1977. After the post office relocated to the old Scott USA building at 311 N 1st Avenue, the A-Frame was repurposed for commercial use and was home to Formula Sports, an outdoor retailer and sporting goods store, for over 30 years.

Staff has compiled building and sign permits associated with the property, which are attached as Exhibit F to the staff report. According to the building permit application for the original A-Frame, the project construction valuation was \$30,000. The low cost of construction is a sign of how much Ketchum has changed since the building was constructed 59 years ago. The A-Frame building was constructed with a slab on grade, glue laminated timbers connected to concrete piers, and a wood shake shingle roof.

Limited alterations have been made to the A-Frame over time. Staff found two building permits in City records—one for an interior remodel (Building Permit Application File No. 81-96) and another to move the Gomini Art Building to the subject site (Building Permit Application 86-092). Unfortunately, the building permits found in City records do not provide a description of the scope of work associated with either of these improvements. The Formula Sports awning sign was installed in 1988 (Application File No. 88-011).

The Formula Sports/Former Post Office building was not listed on the 2005 Walsworth Archaeological and Historic Survey Report. The A-Frame was included in the 2006 Historic Preservation Commission Recommended Heritage Sites for its traditional commercial architecture, representation of community tradition and heritage, and its significance as Ketchum's former post office. The building was included in the 2020 Community Core District Survey Update, which stated:

The A-Frame became popular in the mid-twentieth century in the United States. Inexpensive, and easy to construct, these buildings were often sold as kits. A steeply pitched roof made this type of building particularly appealing for use as lodges and cabins, especially in areas like Ketchum where snow load was a major concern. The 1969 Post Office building is a good example of this style.

The A-Frame has social and cultural value to the community and architectural significance within downtown Ketchum. A civic building, the A-Frame was Ketchum's post office for 15 years. The building was repurposed for commercial use as an outdoor retailer and sporting goods store. The A-Frame is part of Ketchum's social heritage and is valued by the community as an iconic visual feature on Main Street. The historic building is also architecturally significant as the A-Frame exemplifies alpine design, represents innovation in construction, and the A-frame building form is an established pattern that enhances the character of our mountain town.

Would the loss, alteration of, or addition to, the structure adversely affect the historic integrity of the structure, impact the significance of the structure within the Community Core, impact the architectural or aesthetic relationship to adjacent properties, or conflict with the Comprehensive Plan?

Historic integrity measures how effectively a building's materials, design, feeling, location, association, workmanship, and setting convey the property's historic significance. The A-Frame has retained its historic integrity over the 59 years since it was originally constructed. The structure has remained in its same location and retained its original building form and materials. The A-Frame conveys a sense of time and place. The development's small scale contributes to downtown's eclectic mix of diverse building types that visually track Ketchum's incremental growth through time. The A-Frame breaks up the monotony of the larger, box-shaped, flat-roofed buildings that characterize more recent development downtown. The A-Frame contributes to Ketchum's small, mountain-town character and charm.

Does the structure retain the requisite integrity to convey its historic and/or architectural significance?

The A-Frame retains its historic integrity through the feeling and association conveyed through its original building form. A building's historic integrity is different from its condition. The existing condition of a property is an assessment of its physical state. Historic integrity does not necessarily correlate with physical condition. For example, a run-down building in poor condition may still retain its historic integrity due to lack of maintenance, alterations, or improvements. While poor condition doesn't necessarily diminish historic integrity, the physical state of a historic building may impact its longevity and durability.

The applicant has submitted a letter from Idaho-licensed engineer Scott Heiner describing the A-Frame's existing structural conditions. This evaluation is attached as Exhibit E to the staff report. Heiner found extensive rot within the timbers that connect to the concrete piers. Heiner stated that this rot severely limits the building's snow, wind, and seismic resisting capacity and that the A-Frame does not meet current building code standards. The A-Frame and its structural stability is in poor condition.

Does the proposed demolition or alteration adversely affect the historic significance or architectural distinction of the structure or the Community Core?

The project will memorialize the A-Frame's historic significance as Ketchum's former post office through a commemorative exhibit located at the development's archway entrance along Main Street. The post office in Ketchum is not just a civic building but a space for social interaction.

Spontaneous interactions make living in our small mountain town so special. These unplanned exchanges happen within public spaces as you're shopping for groceries at Atkinson's, grabbing a slice of pizza at Wiseguys for lunch, or walking your dog along 4th Street. Checking your mail at the post office becomes a social event as you run into your neighbor who just got off the mountain from skiing or a work colleague on a lunch break or even a stranger as evidenced by this miscellaneous post from a 1977 edition of the Ketchum Tomorrow newspaper:

To the Texan in the post office who likes strawberries—call Pat at 726-9611 and we'll ski.

Civic life happens when individuals leave their private homes and connect with people in public spaces. Social fabric is woven both within the structures that form the built environment and the spaces in between the buildings.

The existing building has not been a public building since 1977. Since that time it was a commercial retail use. With the loss of the building, the site will still function as a retail/gathering place for the community. The proposed replacement project provides gathering places for locals, second homeowners, and tourists to connect with each other. These spaces include landscaped seating areas along the street frontages that create an inviting environment to engage pedestrians and activate the streetscape. These connections create community, and our community defines Ketchum's small-town character and sense of place.

"Local planning is about the uniqueness of a place: not just its physical appearance, but its social fabric, its cultural identity—its soul." –Mitchell J. Silve

Ketchum's built environment does not define the soul of our town. The soul of Ketchum lives in the people who call this place home, the connections they share with each other, and their common appreciation for the quality of life that living in this mountain town provides. As Bob Gordon, manager of Formula Sports, wrote in the store's "So Long" article published in the Idaho Mountain Express on July 1st, 2020: *"Change is hard, and although Main Street will look very different after this development, it's the people in this valley that make the area special."*

STAFF RECOMMENDATION

After considering the condition of the existing building, the inability for the existing building to be remodeled or adapted to a viable use, Staff's analysis, the applicant's presentation, and public comment, Staff recommends the Historic Preservation Commission deliberate and move to approve the Formula Sports/Former Post Office A-Frame Historic Building Demolition.

RECOMMENDED MOTION

"I move to approve the Formula Sports/Former Post Office A-Frame Historic Building Demolition."

EXHIBITS:

- A. Application Form: Request to Demolish a Historic Structure
- B. Applicant Evaluation of Review Criteria
- C. Ketchum Post Office Commemorative Exhibit
- D. Replacement Project Plans: 460 N Main Street Mixed-Use Building
- E. Existing Building Structural Review
- F. City Records: Building and Sign Permits

Exhibit A

Application Form: Request to Demolish a Historic Structure



**City of Ketchum
Planning & Building**

Application to Alter or Demolish a Historic Structure

OFFICIAL USE ONLY	
File Number:	H 21-079
Date Received:	9-7-21
By:	MP
Review Fee Paid:	
Approved Date:	
Denied Date:	
By:	
ADRE: Yes <input type="checkbox"/> No <input type="checkbox"/>	

APPLICANT INFORMATION			
Project Name:	460 North Main Street	Phone:	208 726 9776
Owner:	Main Street Realty Partners, LLC	Mailing Address:	P.O. Box 6770
Email:	dwilson@wilsonconstructions.com		Ketchum, ID 83340
Architect/Representative:	RLB Architectura, Thomas Rixon	Phone:	208 726 5608
Email:	buffalo@rlb-sv.com	Mailing Address:	P.O. Box 5619
Architect License Number:	AR-2529		Ketchum, ID 83340
Engineer of Record:	RLB Architectura, Scott Heiner, P.E.	Phone:	208 726 5608
Email:	scottheiner@rlb-sv.com	Mailing Address:	P.O. Box 5619
Engineer License Number:	Idaho 6787		Ketchum, ID 83340
<i>All plans and drawings for public commercial projects, residential buildings containing more than four (4) dwelling units and development projects containing more than four (4) dwelling units shall be prepared by an Idaho licensed architect or an Idaho licensed engineer.</i>			
PROJECT INFORMATION			
Legal Land Description:	Ketchum Lot 3 & 4 Block 5 11,000 SF		
Street Address:	460 North Main Street		
Lot Area (Square Feet):	11,000		
Zoning District:	Community Core (CC) - Retail Core Subdistrict (CC-1)		
Overlay District:	<input type="checkbox"/> Floodplain <input type="checkbox"/> Avalanche <input type="checkbox"/> Mountain		
Type of Construction:	<input checked="" type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Remodel <input type="checkbox"/> Other		
Anticipated Use:	Mixed Use (Residential/Retail)	Number of Residential Units:	10
TOTAL FLOOR AREA			
	Proposed		Existing
Basements	2,255	Sq. Ft.	Sq. Ft.
1 st Floor	9,281	Sq. Ft.	Sq. Ft.
2 nd Floor	8,116	Sq. Ft.	Sq. Ft.
3 rd Floor	6,594	Sq. Ft.	Sq. Ft.
Mezzanine		Sq. Ft.	Sq. Ft.
Total	26,246	Sq. Ft.	Sq. Ft.
INFORMATION ON PROPOSED REPLACEMENT PROJECT			
FLOOR AREA RATIO			
Community Core:	Tourist:	General Residential-High:	
BUILDING COVERAGE/OPEN SPACE			
Percent of Building Coverage:			
DIMENSIONAL STANDARDS/PROPOSED SETBACKS			
Front: 0'	Side: 0'	Side: 0'	Rear: 3' (Alley)
Building Height: 42'			
OFF STREET PARKING			
Parking Spaces Provided: 8 Spaces			
Curb Cut:	Sq. Ft.	%	

WATER SYSTEM	
<input type="checkbox"/> Municipal Service	<input type="checkbox"/> Ketchum Spring Water

The Applicant agrees in the event of a dispute concerning the interpretation or enforcement of the Application to alter or demolish a structure in which the city of Ketchum is the prevailing party, to pay the reasonable attorney fees, including attorney fees on appeal and expenses of the city of Ketchum. I, the undersigned, certify that all information submitted with and upon this application form is true and accurate to the best of my knowledge and belief.

TH RK

09/03/2021

Signature of Owner/Representative

Date

ALTERATION OR DEMOLITION REVIEW EVALUATION STANDARDS

SECTION 3 OF ORDINANCE 1216 STANDARDS FOR ALL PROJECTS

SEE ATTACHED DOCUMENT

The HPC may approve, approve with conditions, or deny a Request for Demolition or Alteration application based on the following criteria:

1. Is the structure of historic or architectural value or significance and does it contribute to the historic significance of the property within the Community Core.
2. Would the loss, alteration of, or addition to, the structure adversely affects the historic integrity of the structure, impact the significance of the structure within the Community Core , impact the architectural or aesthetic relationship to adjacent properties, or conflict with the Comprehensive Plan.
3. Does the structure retain the requisite integrity to convey its historic and/or architectural significance.
4. Does the proposed demolition or alteration adversely affect the historic significance or architectural distinction of the structure or the Community Core.

Appropriate alterations might include but are not limited to:

1. Changes to the building's interior that are not visible from a public street, alley, park, or other public place;
2. Changes to internal building systems that will not adversely affect the external appearance of the building;
3. The erection or removal of temporary improvements.
4. Adaptive reuse consistent with the Secretary of the Interior's Standards for Rehabilitation and Idaho Code Title 67-4618.

The HPC shall consider the unique circumstances of each proposed demolition or alteration. Approval of each individual Demolition or Alteration application is unique to that property and does not constitute a precedent for other properties.

Exhibit B

Applicant Project Description

&

Evaluation of Review Criteria

460 North Main Street

Application to Alter or Demolish a Historic Structure: Review Evaluation Standards

1. *Is the structure of historic or architectural value or significance and does it contribute to the historic significance of the property within the Community Core?*
 - a. The City of Ketchum and the Historic Preservation Commission (HPC) have identified the existing Formula Sports building as having historic architectural value for its “traditional commercial architecture” – specifically, it’s A-frame roof structure. In addition, the structure and property have cultural history as a long-time outdoor retailer and former Post Office for the City of Ketchum.
 - b. The existing structure’s current condition diminishes its value to the historical significance of the property within the Community Core. The cultural history of the property has value as a location of social encounter and vibrancy on Main Street and within the Community Core.

2. *Would the loss, alteration of, or addition to, the structure adversely affect the historic integrity of the structure, impact the significance of the structure within the Community Core, impact the architectural or aesthetic relationship to adjacent properties, or conflict with the Comprehensive Plan?*
 - a. The existing structure’s current condition adversely affects its historic integrity and potential longevity. The proposed demolition of the structure would, of course, affect the historical integrity of the structure. However, the historical cultural value of the structure and site will be memorialized in an artistic installation incorporated into the structure of the proposed building.
 - b. The small scale of the existing building is not similar to other historic structures along Main Street.
 - c. The existing structure is a stand-alone, unique, building with little direct architectural, aesthetic, or functional relationship to adjacent properties.
 - d. The loss of the existing building will not conflict with the goals of the Comprehensive Plan. A proposed new development will promote a compact and cohesive center of commerce and culture as well as an attractive aesthetic and safe pedestrian environment.

3. *Does the structure retain the requisite integrity to convey its historic and/or architectural significance?*
 - a. The existing Formula Sports building no longer retains the requisite integrity to convey its historic and architectural significance. The existing structure’s current condition adversely affects its ability to demonstrate its architectural significance. A significant investment would be required to repair the existing structure and improve the existing site for safe access and use.
 - b. Greater improvements to both the site and building would be required for the property to convey its historic cultural significance as a place of social encounter. Since the building has been recently unoccupied by Formula Sports, Irving’s Red

Hots has used the outdoor space of the property and highlighted the potential of this Main Street location for community social encounter with a new development.

4. *Does the proposed demolition or alteration adversely affect the historic significance or architectural distinction of the structure or the Community Core?*

- a. The existing structure is identified as having historical significance and architectural distinction. The proposed demolition inherently and unavoidably affects the structure itself. Therefore, the question should be to what extent the structure is “historic” in its current state. Due to its current condition, the proposed demolition has little impact to the architectural distinction of the Community Core.
- b. The City of Ketchum identified the structure as significant for its A-frame roof design and its “inexpensive and easy to construct” nature. It is debatable whether this is a significant historical architectural tradition unique to Ketchum that demands preservation in this instance. The former Post Office and Formula Sports building and its history as a place of civic and commercial function is worth remembering and documenting; however, the structure need not be preserved due to the requisite investment to effectively restore the property and make it safe and useful. Currently, the property is not meeting its former utility nor future potential. The property could be better used to serve the community while preserving and memorializing the historical significance of the structure and site through an educational installation.

5. *Project Specifics*

The proposed project is making an intentional effort to recognize and respect Ketchum’s local culture and the historical tradition of the site by:

- a. Funding and coordinating a themed public art installation on site to communicate site specific cultural history and to activate and enhance the streetscape and pedestrian experience.
- b. Fostering opportunities for local businesses and uses by offering unique retail space to local vendors such as Irving’s Red Hots.
- c. Incorporating design features that recognize historical architectural traditions identified by the Historical Preservation Commission.
 - Pedestrian street level corner treatment incorporating exposed angled structural columns and beams reminiscent of A-frame architecture.
 - Pedestrian street level commercial spaces with arched facades constructed of masonry materials and rhythm of glazed openings.
 - Upper level residential spaces with sloped gable roof forms constructed of natural materials and components.

- d. Incorporating desired design components and strategies identified in recent public workshops titled: *Historical Preservation Workshop: Community Core Guidelines*:
- Unique windows and rooftop fenestrations
 - Variety of architectural styles and features
 - Stepped back upper floors for compatibility with 2 or 3 story buildings
 - Façade variation for longer buildings
 - Outdoor and rooftop gathering space
- e. The proposed development will enhance the Community Core with pedestrian activated street fronts, economic opportunity, and diverse residential spaces. The proposed multi-use building will provide opportunities for continued social activities on site and contribute to the cultural vibrancy at 460 North Main Street. In this way, the demolition of the existing building and architecture of the proposed development will be a positive contributor to Ketchum's historical architectural traditions and community social encounter.

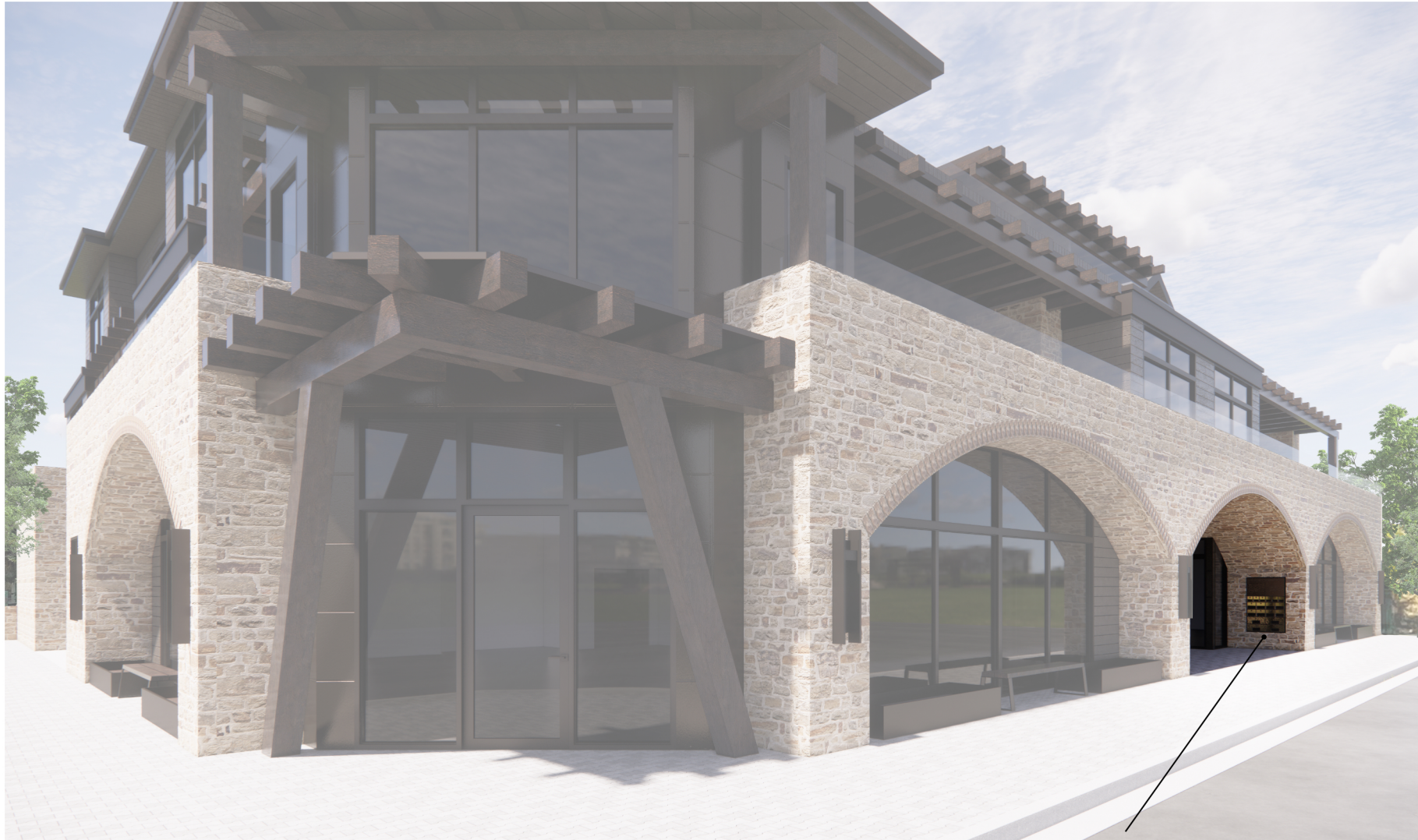




Exhibit C

Ketchum Post Office Commemorative Exhibit

KETCHUM POST OFFICE COMMEMORATIVE EXHIBIT



EXTERIOR VIEW

Exhibits located at the Entry archway columns.



RENDERING OF PROPOSED KETCHUM POST OFFICE COMMEMORATIVE EXHIBIT



Conceptual vintage Post Office boxes.

460 N MAIN STREET, KETCHUM IDAHO

SEPTEMBER 20, 2021

RLB ARCHITECTURA P. A.

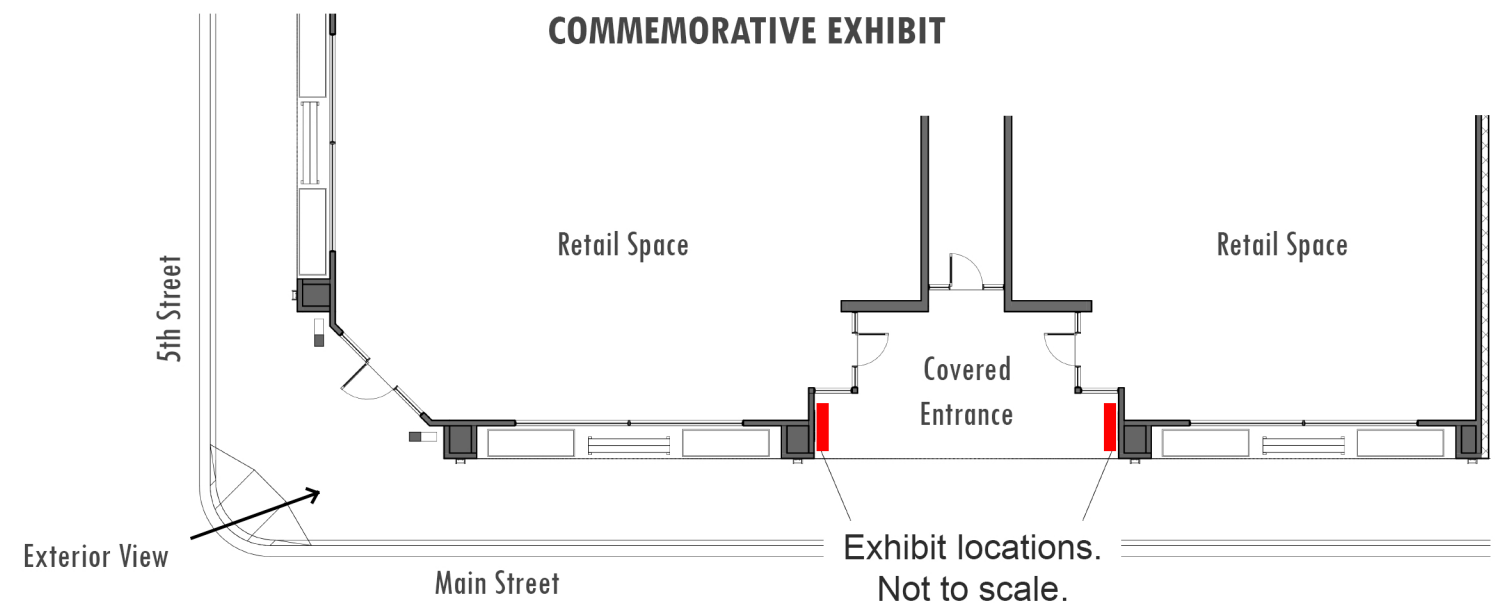


Exhibit D

Replacement Project Plans:

460 N Main Street

Mixed-Use Building

460 NORTH MAIN STREET

KETCHUM, IDAHO



ISSUED	2021.09.03	HPC SUBMITTAL

RUSCITTO LATHAM BLANTON
 ARCHITECTURA P.A.
 Phone: 5619 Ketchum, Id 83340
 www.rlb-sv.com

PROJECT INFORMATION

OWNER: MAIN STREET REALTY PARTNERS LLC
 P.O. BOX 6770
 KETCHUM, ID 83340

PROJECT ADDRESS: 460 N MAIN ST.
 KETCHUM, ID 83340

LEGAL DESCRIPTION: KETCHUM LOT 3 & 4 BLK 5 11,000 SF

ZONING DISTRICT: COMMUNITY CORE (CC) - RETAIL CORE SUBDISTRICT (CC-1)

PROJECT TEAM

ARCHITECT
 RUSCITTO LATHAM BLANTON ARCHITECTURA P.A.
 BUFFALO RIXON, AIA
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 MICHAEL BULLS, AIA
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 F: 208.726.1419
 E: dwilson@wilsonconstructions.com

INDEX OF DRAWINGS

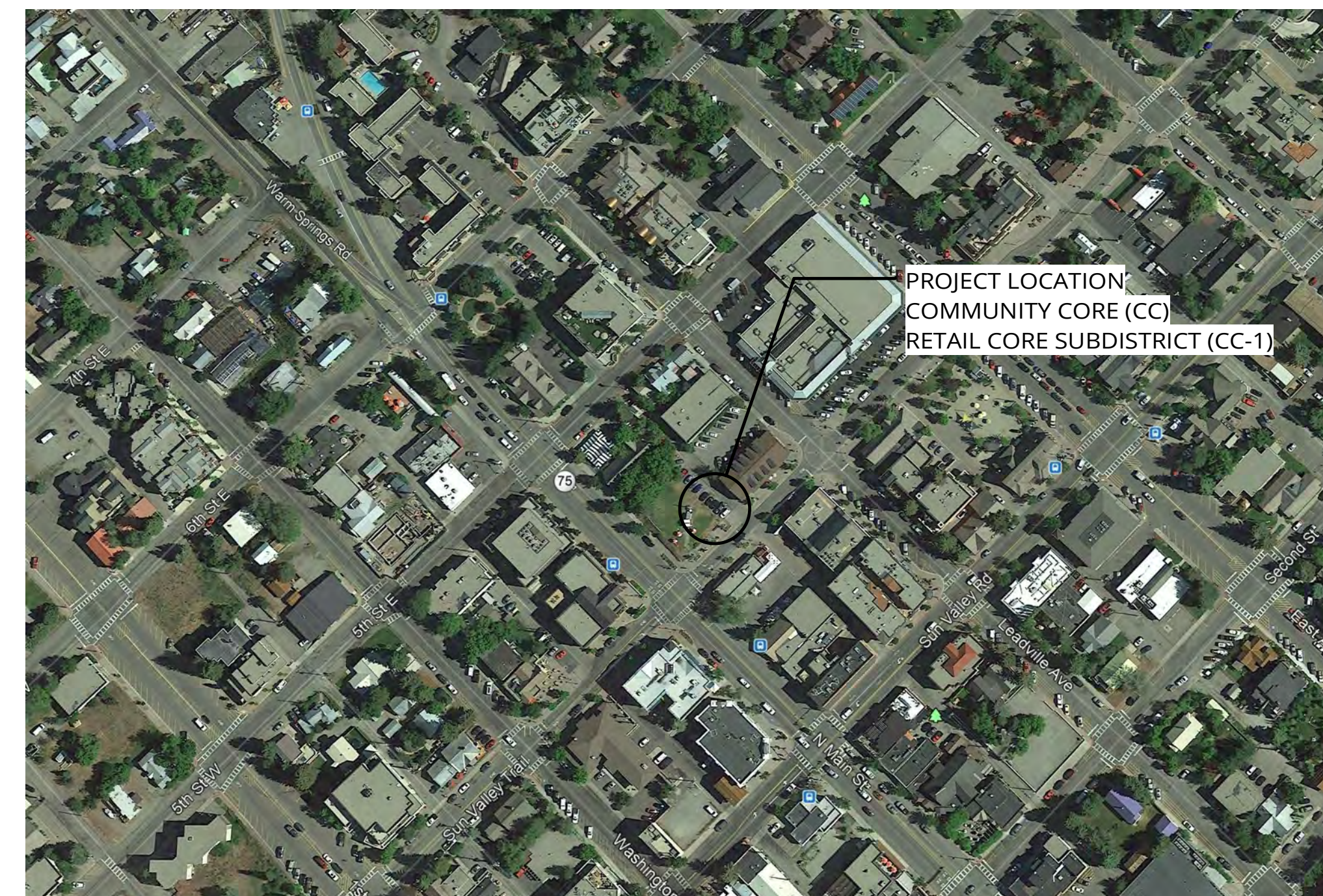
ARCHITECTURAL	
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A0.1	SURVEY
A1.0	SITE PLAN
A2.0	GROUND LEVEL FLOOR PLAN
A2.1	SECOND LEVEL FLOOR PLAN
A2.2	THIRD LEVEL FLOOR PLAN
A2.3	BASEMENT FLOOR PLAN
A2.4	ROOF PLAN
A3.0	BUILDING SECTIONS
A3.1	BUILDING SECTIONS
A4.0	BUILDING ELEVATIONS
A4.1	BUILDING ELEVATIONS
A4.2	PERSPECTIVE
A5.0	F.A.R. CALCULATION

460 N MAIN ST.
 460 N MAIN STREET KETCHUM, IDAHO



ZONING MAP

N.T.S.



VICINITY PLAN

SCALE: 1" = 200'-0"



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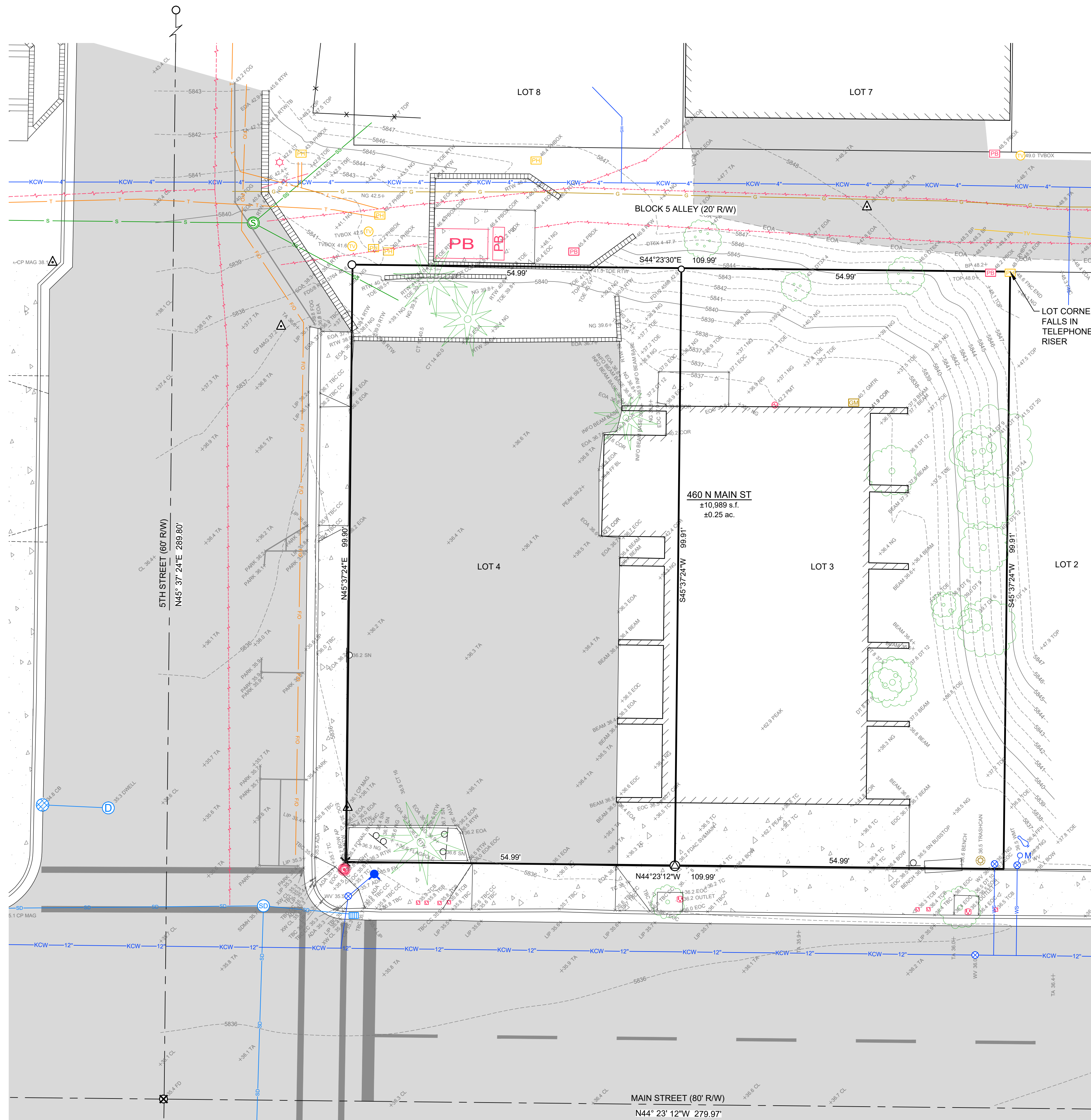
DRAWING

PROJECT INFORMATION

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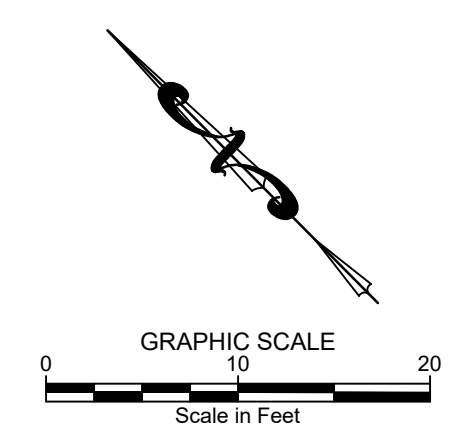
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REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any project or extension of this Project except by agreement in writing with Galena Engineering, Inc.



- LEGEND**
- Property Line
 - Adjoiner's Lot Line
 - Centerline
 - FD = Found Monument Well
 - FDAC = Found Aluminum Cap
 - FD5/8 = Found 5/8" Rebar
 - FD1/2 = Found 1/2" Rebar
 - FDNAIL = Nail
 - CP = Survey Control Point
 - 5' Contour Interval
 - 1' Contour Interval
 - Curb & Gutter
 - FNC = Fence Line
 - Building
 - Asphalt
 - Concrete Sidewalk
 - RTW = Retaining Wall
 - CT = Conifer Tree
 - DT = Deciduous Tree
 - SGN = Sign
 - Road Paint
 - FOB = Fiber Optic Line
 - GM = Gas Main
 - GMTR = Gas Meter
 - TVB = Cable TV Buried
 - TVBOX = Cable TV Riser
 - PHB = Buried Telephone Line
 - PHBOX = Telephone Riser
 - BP, PB = Buried Power Line
 - Light
 - PBOX = Power Box
 - PMTR = Power Meter
 - OUTLET = Power Outlet
 - Traffic Signal Post
 - TCB = Traffic Control Box
 - Sewer Main
 - SS = Sewer Service
 - SMH = Sewer Manhole
 - Storm Drain
 - CB = Catch Basin
 - DWELL = Dry Well
 - SDMH = Storm Drain Manhole
 - Ketchum City Water Line (12")
 - Ketchum City Water Line (4")
 - WS = Water Service
 - WMT = Water Meter
 - FH = Fire Hydrant
 - FFH = Frost Free Hydrant
 - WV = Water Valve
 - Trash Can
 - BOW = Back of Walk
 - CC = Curb Cut
 - CL = Centerline
 - COR = Corner
 - EOA = Edge of Asphalt
 - EOC = Edge of Concrete
 - FF = Finished Floor
 - GB = Grade Break
 - IC = Illegible Cap
 - LIP = Lip of Gutter
 - NC = No Cap
 - NG = Natural Ground
 - TA = Top of Asphalt
 - TBC = Top Back of Curb
 - TOE = Toe of Slope
 - TOP = Top of Slope

- NOTES**
- The purpose of this map is to show topographical information as it existed on the date the field survey was performed. Changes may have occurred to site conditions since survey date (05/05/2021).
 - Boundary information is based on Found Monumentation. Please refer to the Official Map of the Village of Ketchum, Instr# 302967, and a Record of Survey for Ketchum Block 5, Lots 3 & 4, Instr# 642700, records of Blaine County, Idaho. Refer to the Plat Notes, Conditions, Covenants, and Restrictions on Original Plat.
 - Underground utility locations are based on above ground appearances / utilities visible at the time of the survey and City Maps. Utilities should be located prior to any excavation.
 - Galena Engineering Inc. has not received a Title Policy from the client and has not been requested to obtain one. Relevant information that may be contained within a Title Policy may therefore not appear on this map and may affect items shown hereon. It is the responsibility of the client to determine the significance of the Title Policy information and determine whether it should be included. If the client desires for the information to be included they must furnish said information to Galena Engineering, Inc. and request it be added to this map.
 - Benchmark is top of Aluminum Cap at the common property corner of Lots 3 & 4 along Main Street, elevation = 5836.23. Point elevations shown are truncated (i.e. 36.2 is 5836.2). Vertical Datum is NAVD 1988.



A TOPOGRAPHIC MAP SHOWING
460 N MAIN ST
KETCHUM TOWNSITE, LOTS 3 & 4, BLK 5
 LOCATED WITHIN SECTION 15, T.2 N., R.18 E., B.M., CITY OF HAILEY, BLAINE COUNTY, IDAHO
 PREPARED FOR DAVE WILSON

PRELIMINARY
NOT FOR
CONSTRUCTION

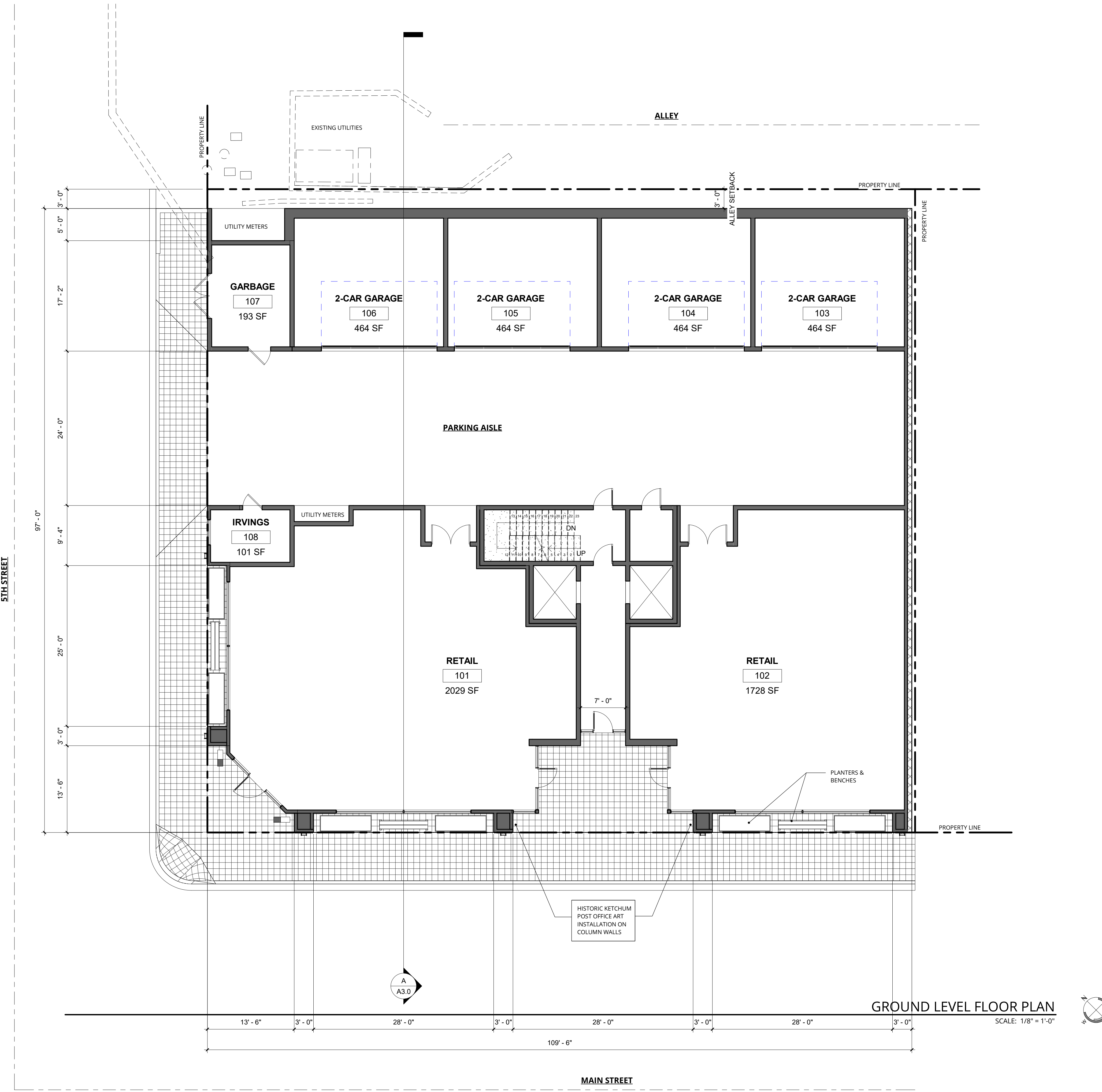
DESIGNED BY _____
 DRAWN BY _____
 SMF
 CHECKED BY _____

GALENA
ENGINEERING, INC.
 Civil Engineers & Land Surveyors
 317 N. River Street
 Hailey, Idaho 83433
 (208) 768-1705
 email: galena@galena-engineering.com

PURPOSE:	NO.	DATE	BY	REVISIONS
TOPO				

PROJECT INFORMATION
 P:\sub\ketchum\460main\topo\460_topo.dwg 05/05/21 10:05:28 AM

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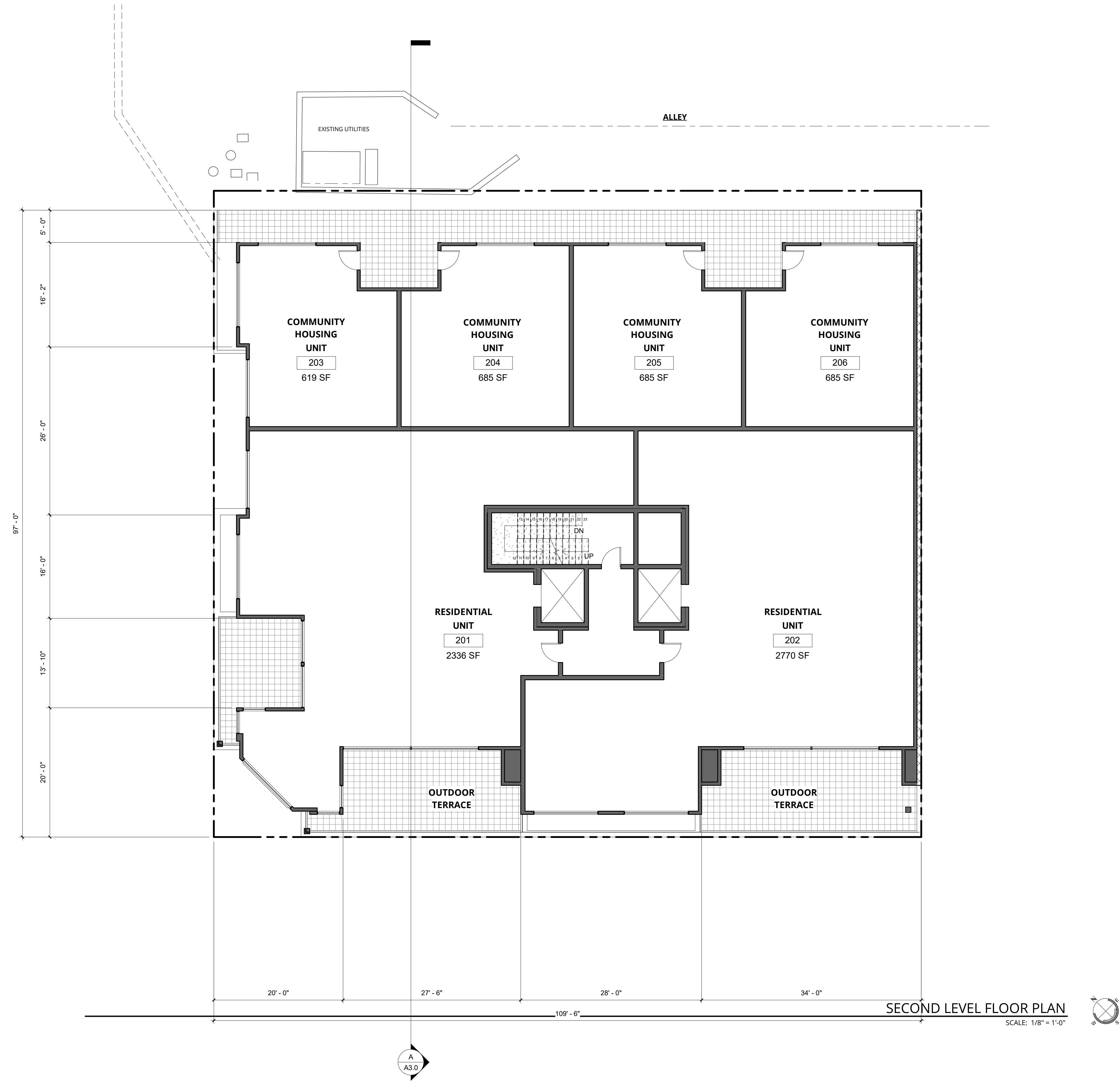


ISSUED	2021.09.03	HPC SUBMITTAL

R L B
RUSCITTO LATHAM BLANTON
 ARCHITECTURA P.A.
 Phone: 5619 ketchum, id 83800
 www.rlb-va.com

460 N MAIN ST.
 460 N MAIN STREET KETCHUM, IDAHO

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SECOND LEVEL FLOOR PLAN
SCALE: 1/8" = 1'-0"

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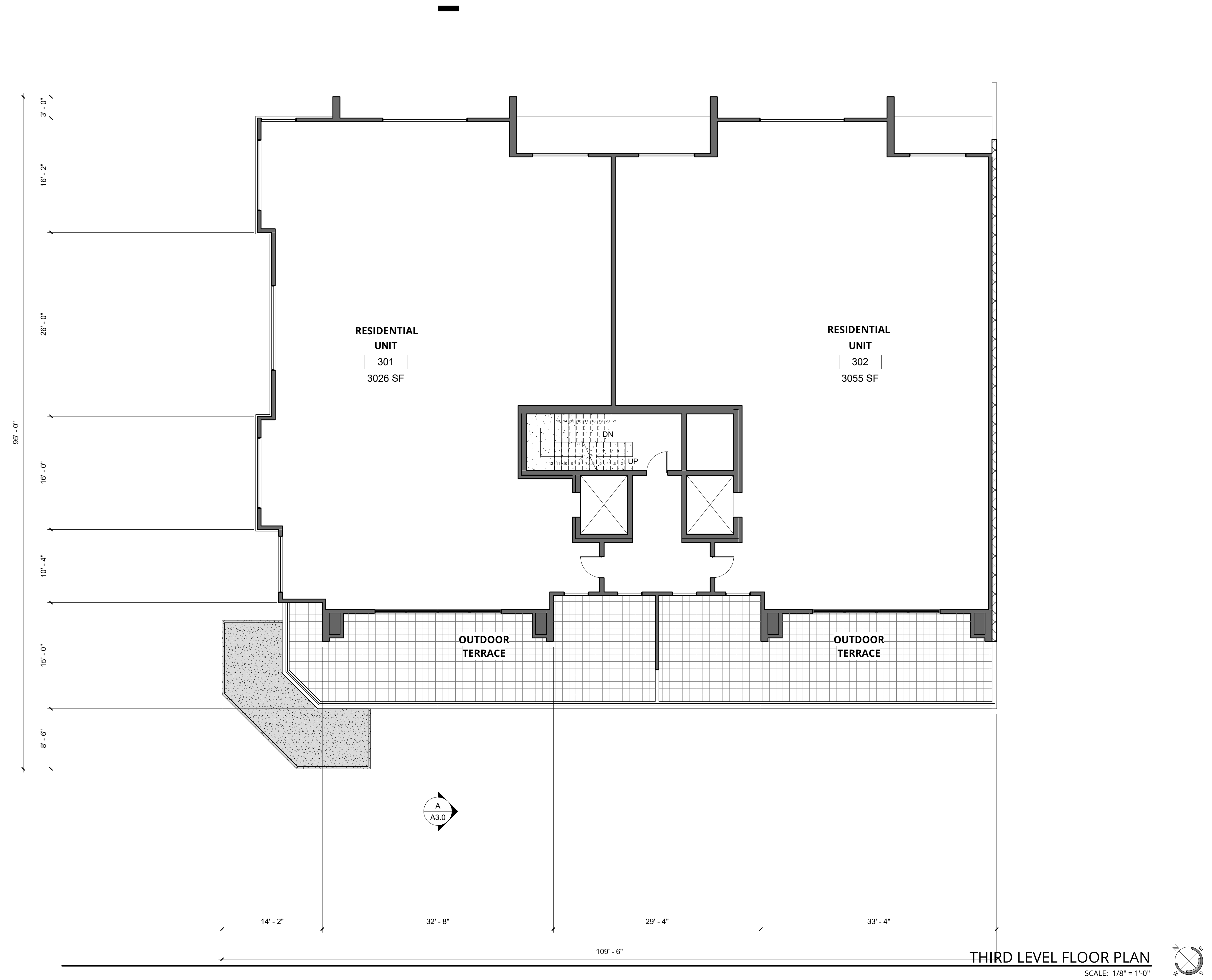
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 SECOND LEVEL FLOOR PLAN
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A2.1

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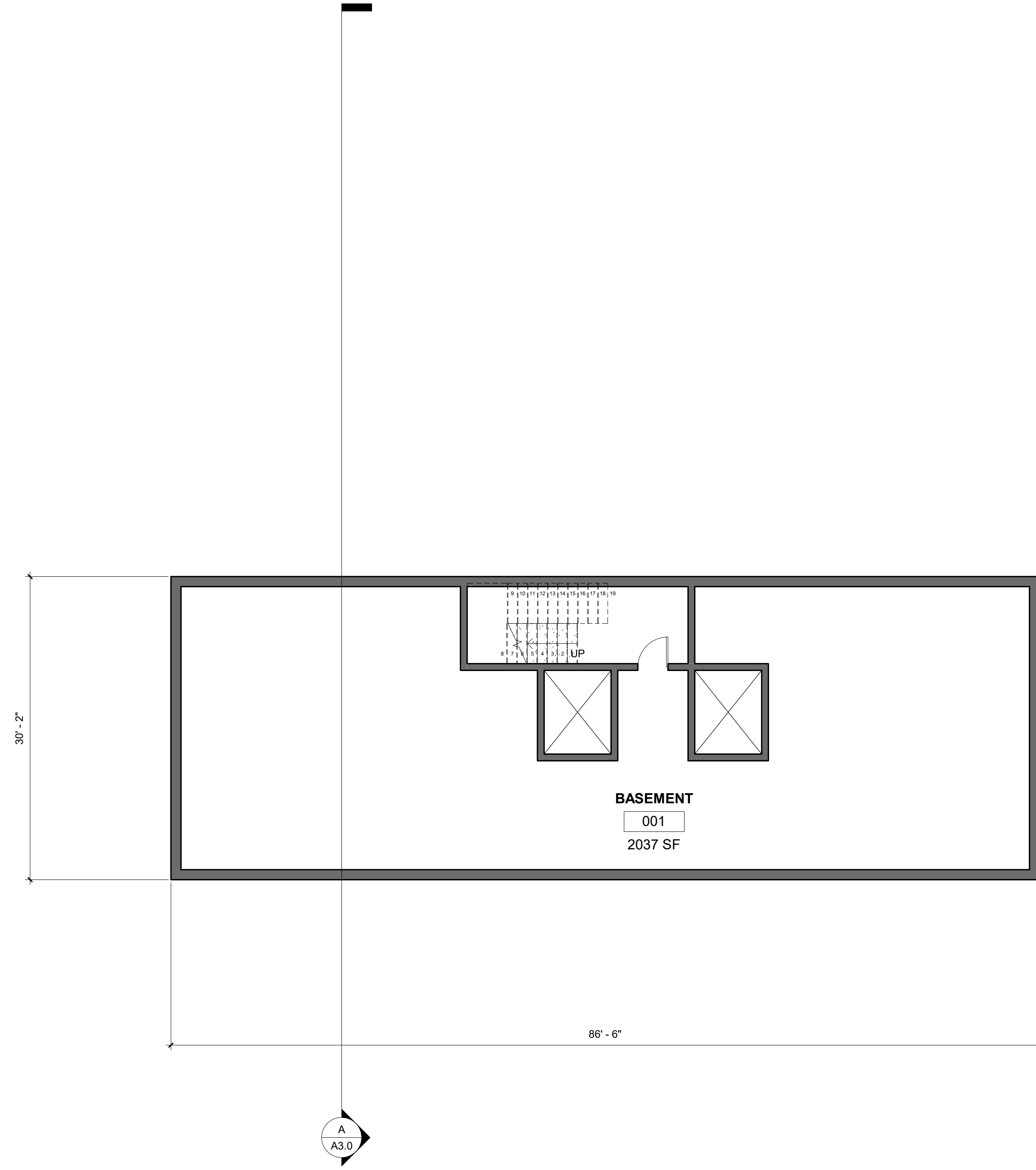


ISSUED	DATE	DESCRIPTION
2021.09.03	HPC SUBMITTAL	

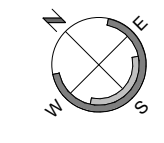
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ARCHITECTURA P.A.
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BASEMENT FLOOR PLAN
SCALE: 1/8" = 1'-0"



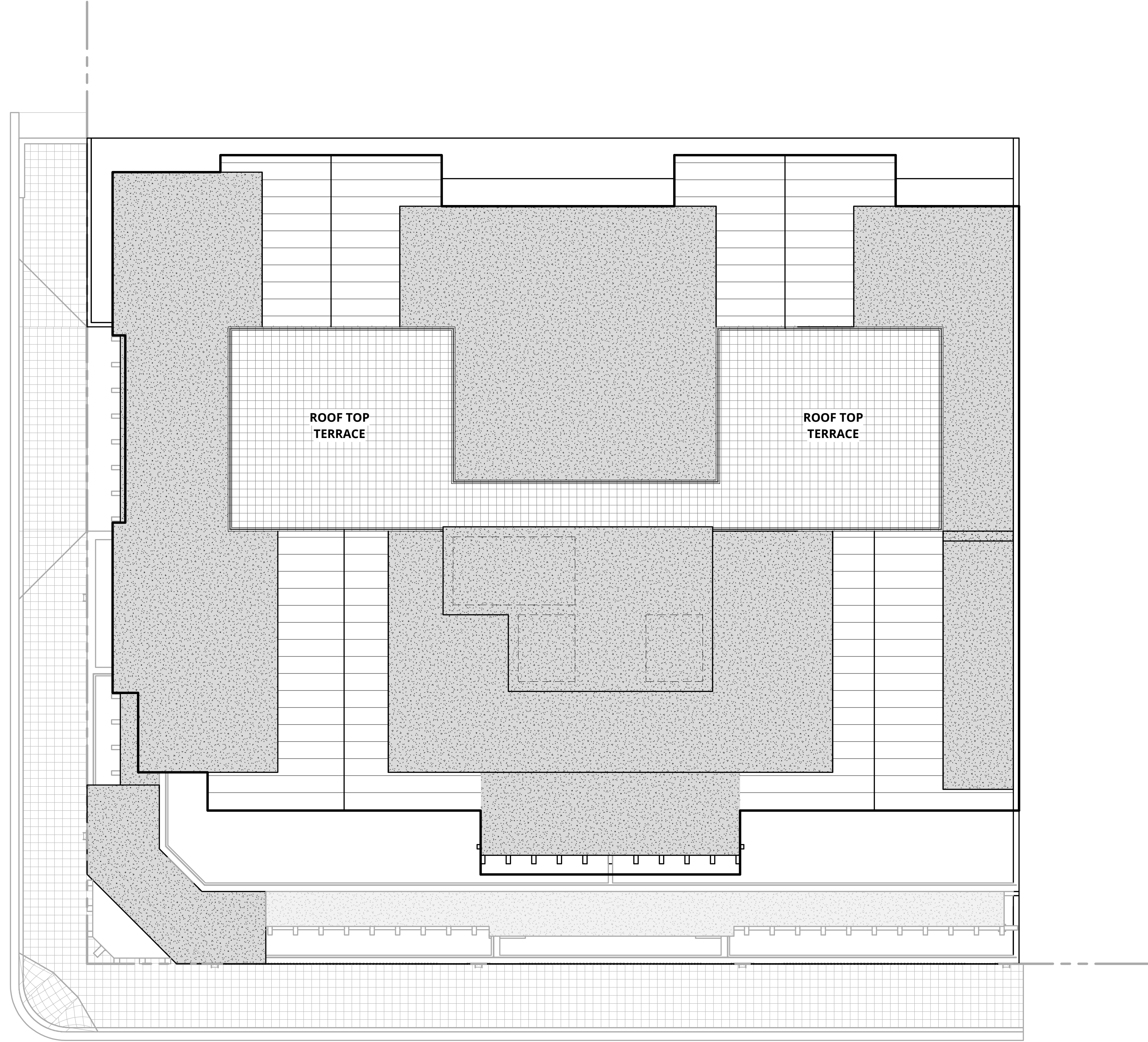
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2021.09.03	HPC SUBMITTAL

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ARCHITECTURE P.A.
PHONE: 5619 3680000 | 83500
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I



ROOF PLAN
SCALE: 1/8" = 1'-0"

ISSUED	
2021.09.03	HPC SUBMITTAL

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 ARCHITECTURA P.A.
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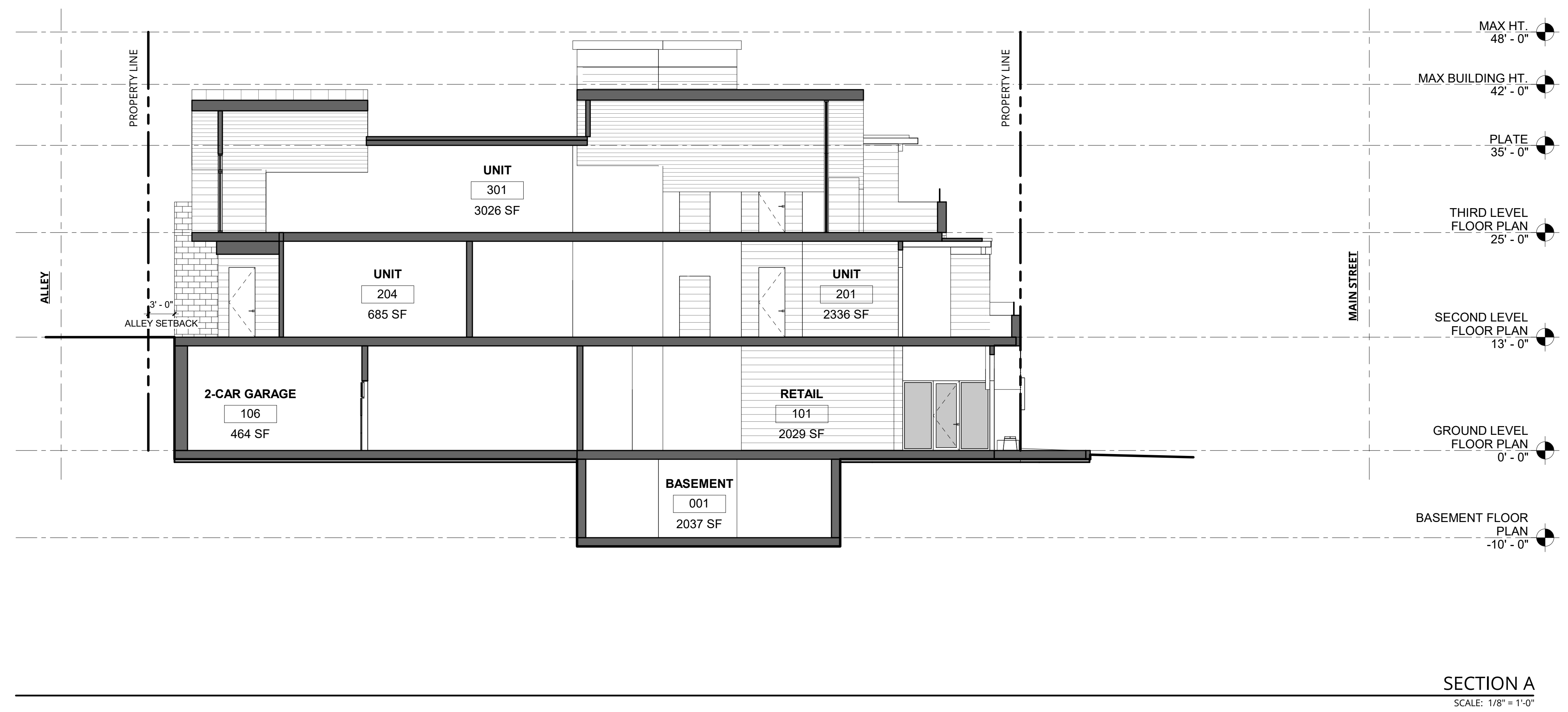
ROOF PLAN

DWG. #

A2.4

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2021.09.03	HPC SUBMITTAL



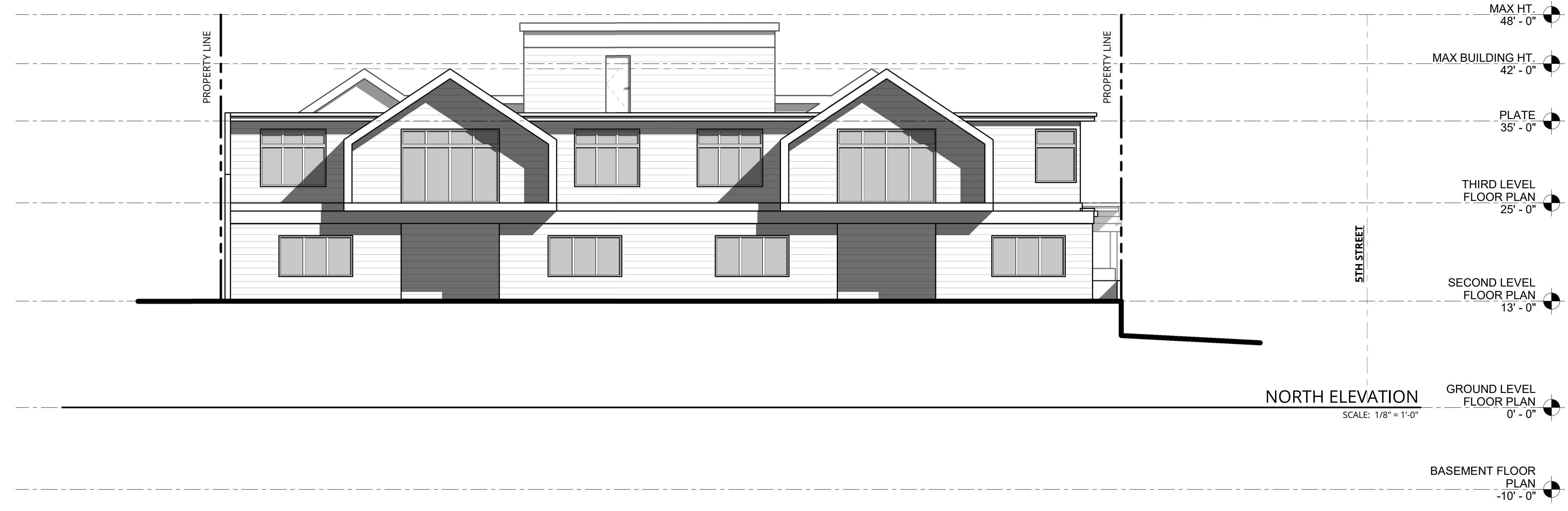
R L B
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 www.rlb-va.com

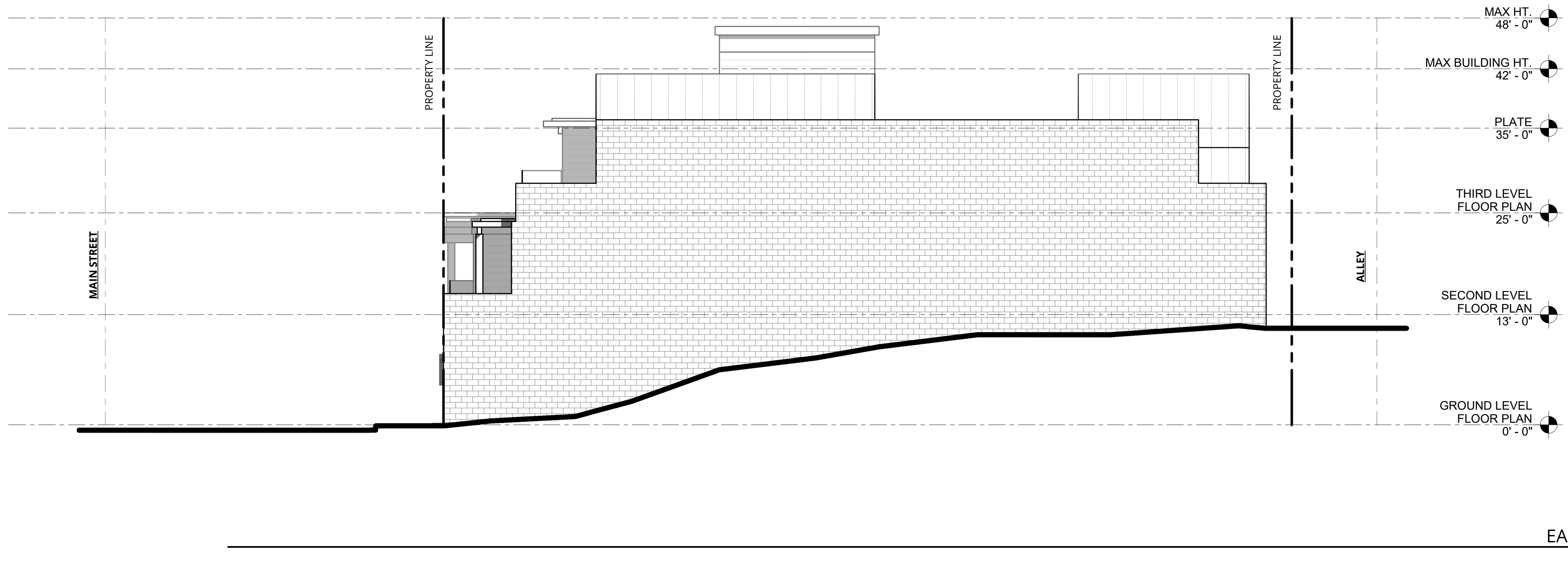
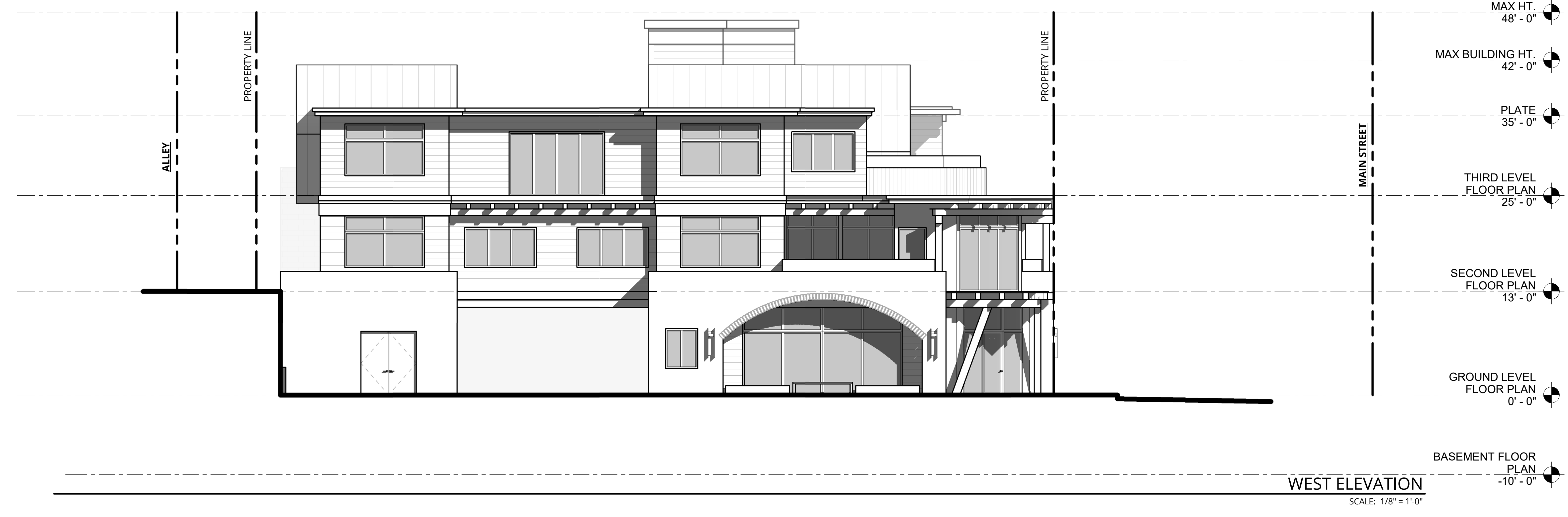
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2021.09.03	HPC SUBMITTAL



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 www.rlb-va.com

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ARCHITECTURA P.A.
PHONE: 5619 KETCHUM, ID 83301
WWW.RLB-PA.COM

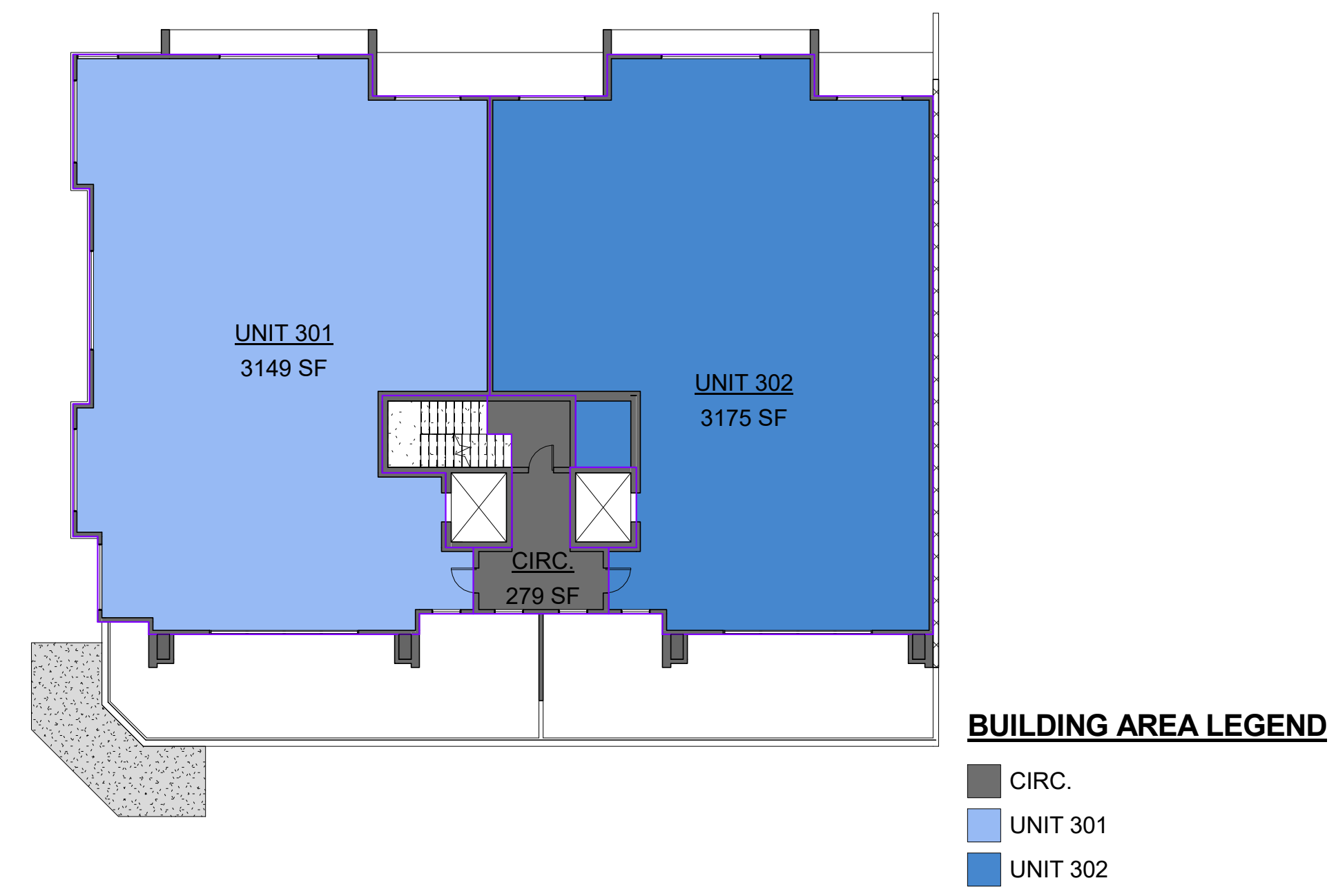
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PERSPECTIVE

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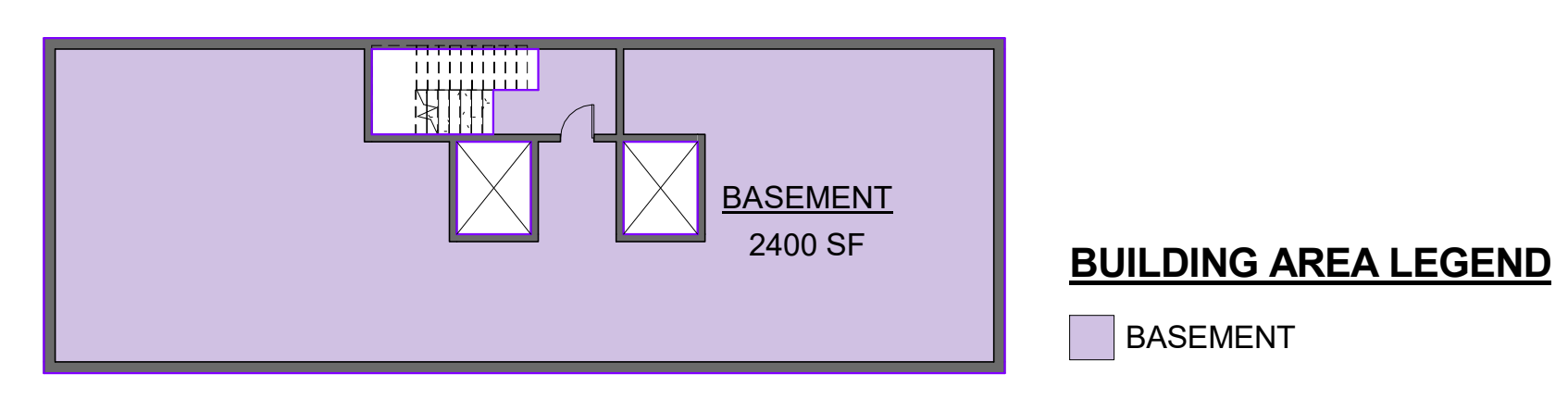
ISSUED	
2021.09.03	HPC SUBMITTAL



THIRD LEVEL FLOOR PLAN
SCALE: 1/16" = 1'-0"



SECOND LEVEL FLOOR PLAN
SCALE: 1/16" = 1'-0"



BASEMENT FLOOR PLAN
SCALE: 1/16" = 1'-0"



GROUND LEVEL FLOOR PLAN
SCALE: 1/16" = 1'-0"

GROSS BUILDING AREA SCHEDULE				
LEVEL	SPACE	AREA	% OF LEVEL	% OF GRAND TOTAL
BASEMENT FLOOR PLAN	BASEMENT	2400 SF	100%	9%
		2400 SF		
GROUND LEVEL FLOOR PLAN	CIRC.	612 SF	7%	2%
GROUND LEVEL FLOOR PLAN	ENCLOSED PARKING GARAGE	4351 SF	47%	17%
GROUND LEVEL FLOOR PLAN	GARBAGE	232 SF	2%	1%
GROUND LEVEL FLOOR PLAN	IRVING	126 SF	1%	0%
GROUND LEVEL FLOOR PLAN	RETAIL 101	2132 SF	23%	8%
GROUND LEVEL FLOOR PLAN	RETAIL 102	1829 SF	20%	7%
		9281 SF		
SECOND LEVEL FLOOR PLAN	CIRC.	272 SF	3%	1%
SECOND LEVEL FLOOR PLAN	UNIT 201	2375 SF	30%	9%
SECOND LEVEL FLOOR PLAN	UNIT 202	2496 SF	31%	9%
SECOND LEVEL FLOOR PLAN	UNIT 203	673 SF	8%	3%
SECOND LEVEL FLOOR PLAN	UNIT 204	736 SF	9%	3%
SECOND LEVEL FLOOR PLAN	UNIT 205	736 SF	9%	3%
SECOND LEVEL FLOOR PLAN	UNIT 206	741 SF	9%	3%
		8028 SF		
THIRD LEVEL FLOOR PLAN	CIRC.	279 SF	4%	1%
THIRD LEVEL FLOOR PLAN	UNIT 301	3149 SF	48%	12%
THIRD LEVEL FLOOR PLAN	UNIT 302	3175 SF	48%	12%
		6604 SF		
		26313 SF		

SF OF TOTAL LOT	=	11,000 SF
GROSS BUILDING AREA FOR F.A.R.	=	23,913 SF
ADJUSTED SF FOR F.A.R. COMM. HOUSING	=	12,913 SF
PERMITTED F.A.R.	=	1.1
PERMITTED F.A.R. W/ 20% COMM. HOUSING	=	2.25
COMM. HOUSING	=	2,886 SF
COMM. HOUSING % OF ADJUSTED SF	=	22%
F.A.R.	=	2.17

RUSCITTO LATHAM BLANTON
 ARCHITECTURE P.A.
 PO BOX 5619 KETCHUM, ID 83840
 www.rlb-va.com

460 N MAIN ST.
 460 N MAIN STREET KETCHUM, IDAHO

Exhibit E
Existing Building
Structural Review

September 20, 2021

David Wilson
P.O. Box 6770
Ketchum, ID 83340
E: dwilson@wilsonconstructions.com

Re: 460 North Main Street, Ketchum, ID - Structural Review of Existing Building

Dear Mr. Wilson,

As requested, I visited the existing building located at 460 North Main Street on September 17, 2021, to review the existing structural conditions. A follow up site visit was made on September 20, 2021. The following are my field observations and structural comments on the existing structural systems.

The building in question is an older A-Frame constructed building with a slab on grade main floor with a partial wooden post beam constructed upper floor. The A-frame roof system is constructed with Glue Laminated timbers on approximately 13'-0" on center spacing over lied with 2x wood decking, 2x8 joists at 24" on center rafters, sheathing of unknown type and thickness with a wooden shake shingle roof. The A-Frame roof timbers are framed from a compression ridge beam timber at the top and connected to concrete thrust resisting concrete foundation piers located approximately 5'-0" outside of the exterior side walls. The timbers are wrapped with light gauge steel cladding at the exterior of the building. The upper floor is constructed with 4x timbers over lied by 2x decking, supported by wood columns. The majority of the upper floor is free standing within the interior space and is braced horizontally to the A-Frame roof members. The interior ceiling of the roof system is sheathed with gypsum wall board.

Being that the A-Frame timbers are clad with light gauge steel, the general conditions of the beams could not be fully evaluated. I probed the base of the timbers with a knife at the timber/concrete interface at several locations and noted softness of the wood in most locations. I cut back the cladding at one location on the North side and found extensive rot for several inches above the concrete interface. See enclosed photo for reference.



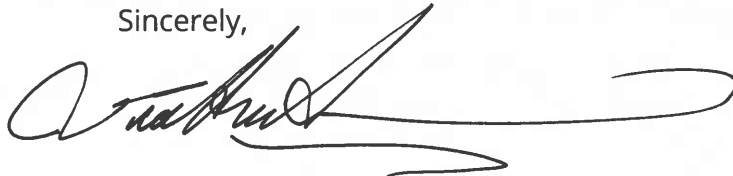
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ARCHITECTURA P.A.

208.726.5608
www.rlb-sv.com
box 5619 83340
ketchum, idaho

The structural stability for both gravity (snow) and lateral (wind and seismic) is dependent on the thrust resisting capacity of the timbers to the concrete piers. The base rot of the timbers at the concrete piers diminishes structural stability of the building.

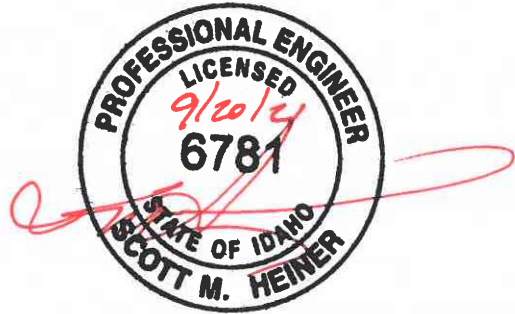
I performed a preliminary structural analysis of the roof structural system and determined that the roof system has limited snow load carrying capacity. The slope of the roof should allow for snow to shed except at the valley locations that will restrain snow shedding. The snow, wind and seismic resisting capacity is severely limited by the rot at the A-Frame timber to concrete trust resisting connections. The existing structural systems for both gravity and lateral resistance do not meet today's current building code standards for commercial buildings adopted by the City of Ketchum.

Sincerely,



Scott M. Heiner P.E.

Attachment: Photos





1. Front of Building



2. Side of Building

RLB

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ARCHITECTURA P.A.

208.726.5608
www.rlb-sv.com
box 5619 83340
ketchum, idaho



3. Back of Building

RLB

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ARCHITECTURA P.A.

208.726.5608
www.rlb-sv.com
box 5619 83340
ketchum, idaho



4. Typical Thrust with Typical Rot as Reviewed



5. Existing Thrust Timber Base Rot



6. *Tree Growth Compromising Foundation*

RLB

RUSCITTO LATHAM BLANTON
ARCHITECTURA P.A.

208.726.5608
www.rlb-sv.com
box 5619 83340
ketchum, idaho

Exhibit F
City Records:
Building and Sign Permits

Office of the
Building Inspector
Ketchum, Idaho

APPLICATION FOR
BUILDING PERMIT

**PERMIT
NUMBER**

Class of Occupancy <i>POST OFFICE</i>	Valuation <i>\$ 30,000</i>	Fire Zone	Block <i>5</i>
Type of Construction <i>FRAME</i>	Permit Fee <i>\$20.00</i>	Use Zone <i>B.</i>	Lot <i>344</i>

Applicant—fill in between Heavy Lines Only

CONTRACTOR	Name <i>DARYL KECK</i>	OWNER	Name <i>S BYRL ROSS</i>
	Address <i>HAMMETT, IDAHO</i>		Address <i>1127 MARKET ST Box 948 PARKERSBURG, W. VA.</i>
	License Nos.		
	Idaho _____ Ketchum _____		

ARCHITECT OF ENG.	Name <i>JUAN STONE</i>	OWNER	I hereby acknowledge that I have read this application and state that it is correct and agree to comply with ALL City Ordinances and State Laws regulating building construction
	Address <i>Box 962 838 EAST C. JEROME, IDAHO</i>		
	License Nos.		Signature of Owner or Agent: <i>Juan Stone</i>
	Idaho <i>AR-326</i> Ketchum _____		

LEGAL DESCRIPTION	Lot No. <i>344</i> Block No. <i>5</i> Tract _____	Building Address _____
	Size of Site <i>110 x 100</i> Area of Site <i>11,000 s.f.</i>	
	Number and Use of Buildings Now on Site <i>none</i>	Est. of Bldg. Costs <i>\$ 30,000</i>

DESCRIPTION OF WORK

Materials and Type of Construction *A-FRAME - GLU-LAM BEAMS & SHINGLES*

Bldg. to be Used For *POST OFFICE*

New _____ Addition _____ Alteration _____ Repair _____	Area of Site to be Covered in Square Feet	No. Stories <i>1</i>	CAR STORAGE	
	Existing — _____	No. Rooms <i>6</i>		Garage _____
	New — <i>2,145 s.f.</i>	Roof Surface <i>4500 s.f.</i>		Carport _____
	TOTAL — _____	Fireplace <i>No</i>	Driveway _____	

Surveyed Plot Plans, Elevations and Specifications accompanying this application are made a part hereof. (See Art. X, Sec. A, Ketchum Ordinance No. 62.)

CORRECTIONS AND ADDITIONS TO PLANS AND SPECIFICATIONS

APPROVED BY PLANNING BOARD		FINAL APPROVAL	
Res. No. _____	Date _____	Date _____	
Certified by _____			
Clerk		Building Inspector	

APPLICATION FOR BUILDING PERMIT - City of Ketchum, Idaho

OWNER: Southham Idaho Corp. Phone # 208-448-1140

ADDRESS: SON JERRY Idaho

CONTRACTOR: HOUSE L CONST. INC Phone # 208-448-1140

ADDRESS: Box 445 Ketchum Idaho

ARCHITECT: _____ Phone # _____

ENGINEER: T. Held Phone # _____

Description of Work: _____ New _____ Enlarge Remodel _____ Move

Describe: _____

Estimated Cost of Construction: 35000

Street Address of Work: Old Post office

Legal Land Description: Block 5 Lots 3-4
(attach if necessary)

Lot Area (square feet): _____

ZONING: (refer to Ketchum Zoning Ordinance #208) _____ Design Review Approved

_____ LR _____ GR-L _____ GR-H _____ T _____ MH _____ B-1 B-2 _____ LI _____ AF _____ R

_____ Avalanche Zone (see Sect. XVI - Ord. 208) _____ Flood Plain (see Sect. XV - Ord. 208)

UNIFORM BUILDING CODE DATA: (Commercial Applicants Only)

List Occupancy Type (UBC Table 5-A) _____

List Occupancy Separation (Table 5-B) _____ Area Separation (505) _____

Interior _____ Hr. Exterior _____ Hr. Wall Fire Rating _____

Type of Construction: I _____ II _____ III _____ IV _____ V _____ (UBC Chap. 18 thru 21)

Occupant Load (Max) _____ (UBC A)

Floor Area: Building _____ Basement _____ Garage _____ Decks _____

Height of Building: _____ ft. _____ stories (see UBC 5-D and Section 507)

Number of Dwelling Units _____ Number of Commercial Units _____

SETBACKS: Front _____ feet; Rear _____ feet; Side _____ feet; Side _____ feet

Number of Parking Spaces Provided 9 (show calculations for commercial applicants)

Water Supply Source: _____ Permit Date _____

Sewer Hook-up: _____ Permit Date _____

FIRE DEPARTMENT APPROVAL: _____ Plans Checked; Fire Flow at Sight _____

_____ Sprinkler System _____ GPM Required _____ Smoke Detector _____ Supervised

_____ Certificate of Contribution _____ Checked by: _____

- NOTICE: 1. This application expires by limitation 180 days after date of payment of plan check fee. Additionally, building must commence within 180 days after permit application approval. Any extension of these times shall be prohibited unless approved in writing by the Building Official.
2. It is the duty of the owner or his authorized agent (contractor) to identify, keep, and maintain lot boundary markers and maintain setbacks.
3. No digging in the City streets or Right-of-Way between October 31 and April 1 (September 15 for paved streets) Initial BCA

I hereby acknowledge that I have filled in this application accurately to the best of my knowledge and that I agree to comply with all City Ordinances and State laws regulating building construction in the City of Ketchum, Idaho. I further understand that approval of a building permit does not grant a waiver of any law, building ordinance or regulation. Any waiver or variance must be specifically described and approved by proper authority.

House Const. Inc. Signature of Owner or Authorized Agent (Contractor) Date 8-19-81

APPROVED

DENIED

BCA Building Official

8/19/81 Date

APPLICATION FOR BUILDING PERMIT
City of Ketchum, Idaho

read 3:31 9-3-86

PERMIT NO: 86-092
Date Issued: 9-3-86
Permit Fee: 15.00 Pd: 9/3
Plan Check Fee: 4.50 Pd: 9/3
KFD Plan Ck Fee: Pd:
TOTAL FEES: 19.50

1. Project Name: FORMULA SPORTS
2. Project Address: GOMINI ART BUILDING
3. Owner: GEORGE Klingelhofer Phone # _____
4. Address: Sun Valley
5. Contractor: _____ Phone # _____
6. Address: _____
7. Contractor ID # _____
8. Architect: _____ Phone # _____
9. Engineer: J. JACOBY Phone # _____
10. Description of Work: _____ New _____ Enlarge _____ Remodel X Move
11. Estimated Cost of Construction: \$400
12. Street Address of Work: MAIN STREET KETCHUM Lot Area (sq.ft.) _____
13. Legal Land Description: _____
(attach if necessary)
14. Zoning District: (refer to Ketchum Zoning Ordinance Number 208)
Design Review Approved: Yes _____ No _____
LR GR-L GR-H T MH B-1 LI AF RU
15. _____ Avalanche Zone (see Section XVI - Ordinance Number 208)
16. _____ Flood Plain (see Section XV - Ordinance Number 208)

UNIFORM BUILDING CODE DATE: (3 or more dwelling units and commercial applicants only)

List Occupancy Type (UBC Table 5-A) _____
List Occupancy Separation (Table 5-B) _____ Area Separation (505) _____
Interior _____ Hr.; Exterior _____ Hr. Wall Fire Rating; Occupant Load (Max) _____
Type of Construction: I _____ II _____ III _____ IV _____ V _____ (UBC Chapter 18 through 21)

17. Floor Area: Building _____ Basement _____ Garage _____ Decks _____
18. Height of Building: _____ ft. _____ stories
19. Number of Dwelling Units: _____ Number of Condominium Units: _____
20. Setbacks: Front _____ ft. Rear _____ ft. Side _____ ft. Side _____ ft.
21. Number of Parking Spaces Provided: _____ (show calculations for commercial applicants)
22. Water Supply Source: _____ Permit Date: _____

OFFICE USE ONLY:

Number of Equivalent Connections Required for Sewer: _____
Amount Due: _____ Date Paid: _____ Copy Attached: _____
Certificate of Financial Contribution: Amount Due: _____ Date Paid: _____

- NOTICE: A. It is the duty of the owner or his authorized agent (contractor) to identify, keep and maintain lot boundary markers and maintain setbacks.
- B. No digging in the City streets or Right-of-Way between October 31 and April 1 (September 15 for paved streets).
- C. You must call the utility companies prior to excavation.

I hereby acknowledge that I have filled in this application accurately to the best of my knowledge and that I agree to comply with all City Ordinances and State Laws regulating building construction in the City of Ketchum, Idaho. I further understand that approval of a building permit does not grant a waiver of any law, building ordinance or regulation. Any waiver or variance must be specifically described and approved by proper authority.

Signature of Owner or Authorized Agent (Contractor) _____

Date 9-3-86

W. J. ...
Building Official

Date 9/3/86

APPLICATION FOR SIGN PERMIT
City of Ketchum, Idaho

Use Permit No. _____
Sign Permit No. 588-011
Date Filed: 7/22/88
Permit Fee: 16 pd 7-26

OWNER Bob Gordon

MAILING ADDRESS Box 4859 Ketchum PHONE 208 726 3194

BUSINESS NAME FORMULA SPORTS

MAILING ADDRESS Box 4859 Ketchum PHONE 76 3194

ZONING DISTRICT _____

STREET ADDRESS OF WORK 460 N. MAIN

LEGAL LAND DESCRIPTION _____

FRONT LINEAL FOOTAGE OF BUILDING 32 feet

TYPE OF SIGN: awning with back lighting

WALL _____
PROJECTING WALL _____
FREESTANDING _____

HEIGHT _____
HEIGHT _____

SQUARE FOOTAGE OF SIGN 32 sq ft SIZE OF LETTERS 2" x 5"

SCALED DRAWINGS SHALL BE REQUIRED.

OTHER INFORMATION Awning shall hang from front of building

(as shown)

SIGNATURE OF APPLICANT/OWNER Bob Gordon

APPROVED

DENIED _____

REASON(S) FOR DENIAL _____

Carol McClure
BUILDING OFFICIAL
CITY PLANNER

DATE 7/22/88



6'6" x 3'9"

26 + 26 = 52 sq ft

12 sq ft

5.4 sq ft (Bike repair)
(summer only)

1'8" x 3" on rear door

Sandwich Boards will come down
and not go back up

~~566~~ / 40 sq ft
total existing

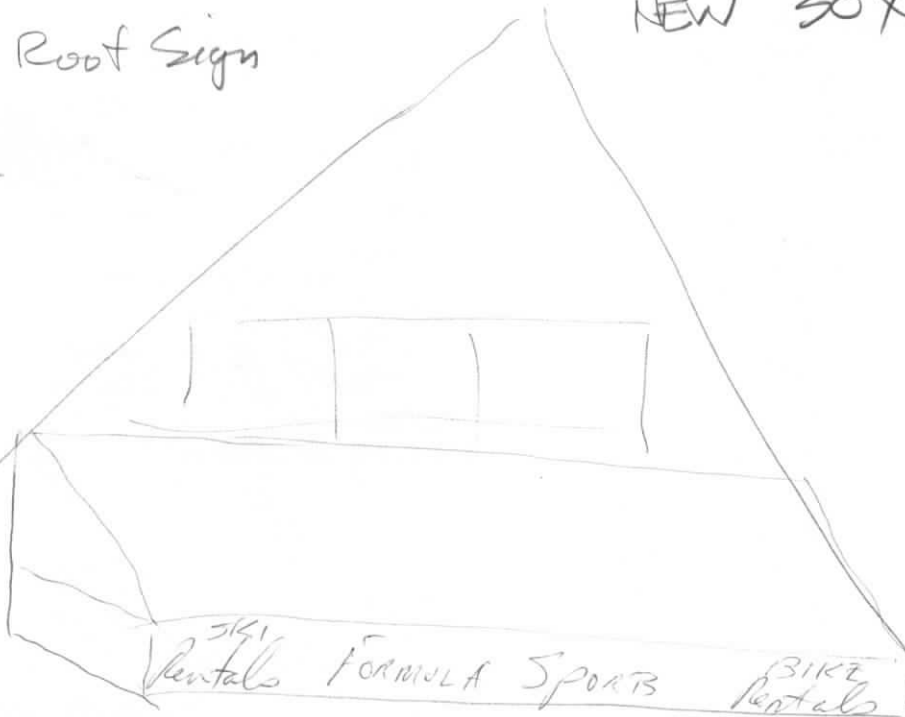
2 sandwich boards 3' x 4'
~~12 x 12 = 144~~
24 sq ft

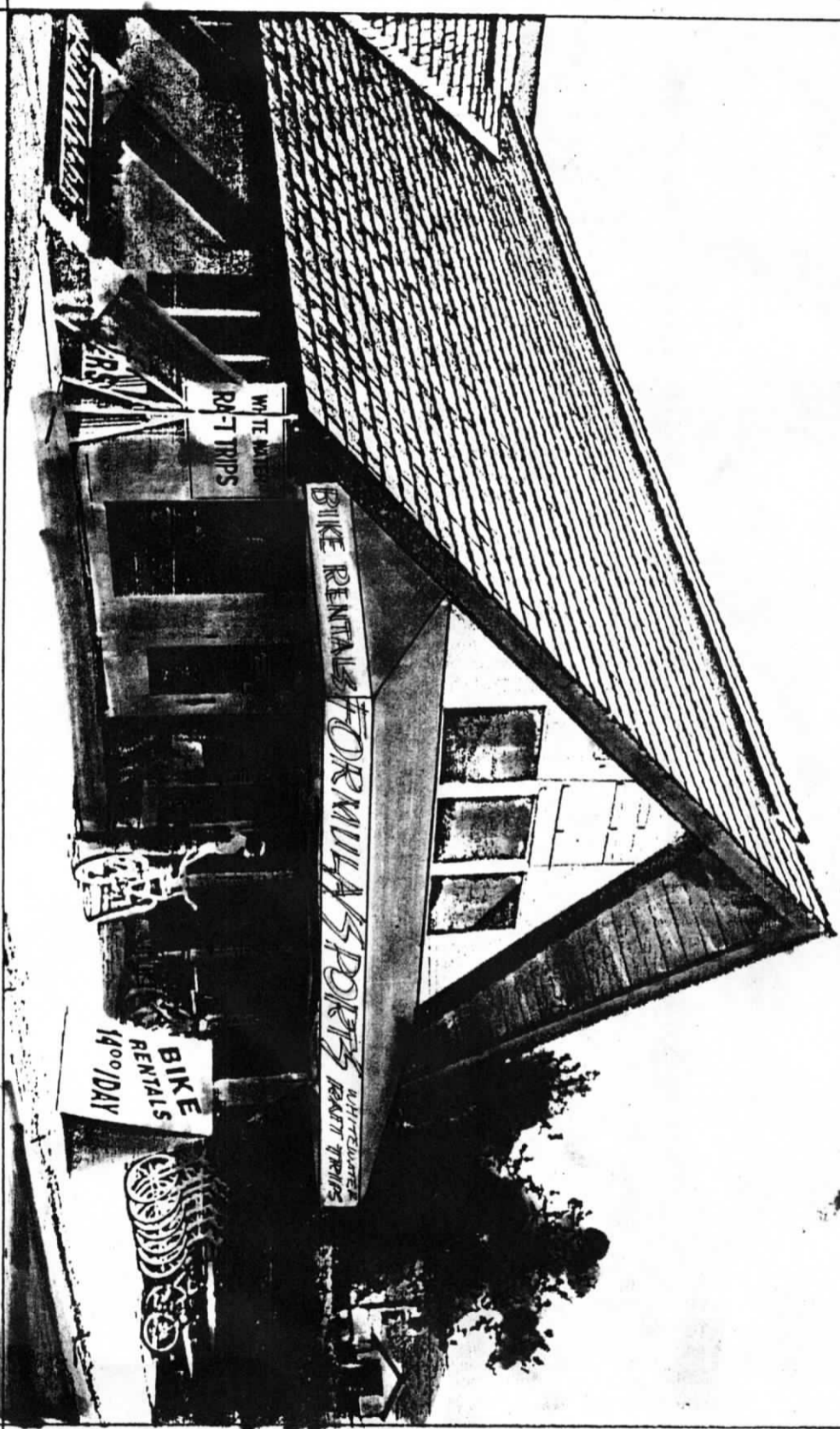
530 sq. ft when awning goes up

NEW 30 x 16 = 480

2' x 4' Roof Sign

8 #
65





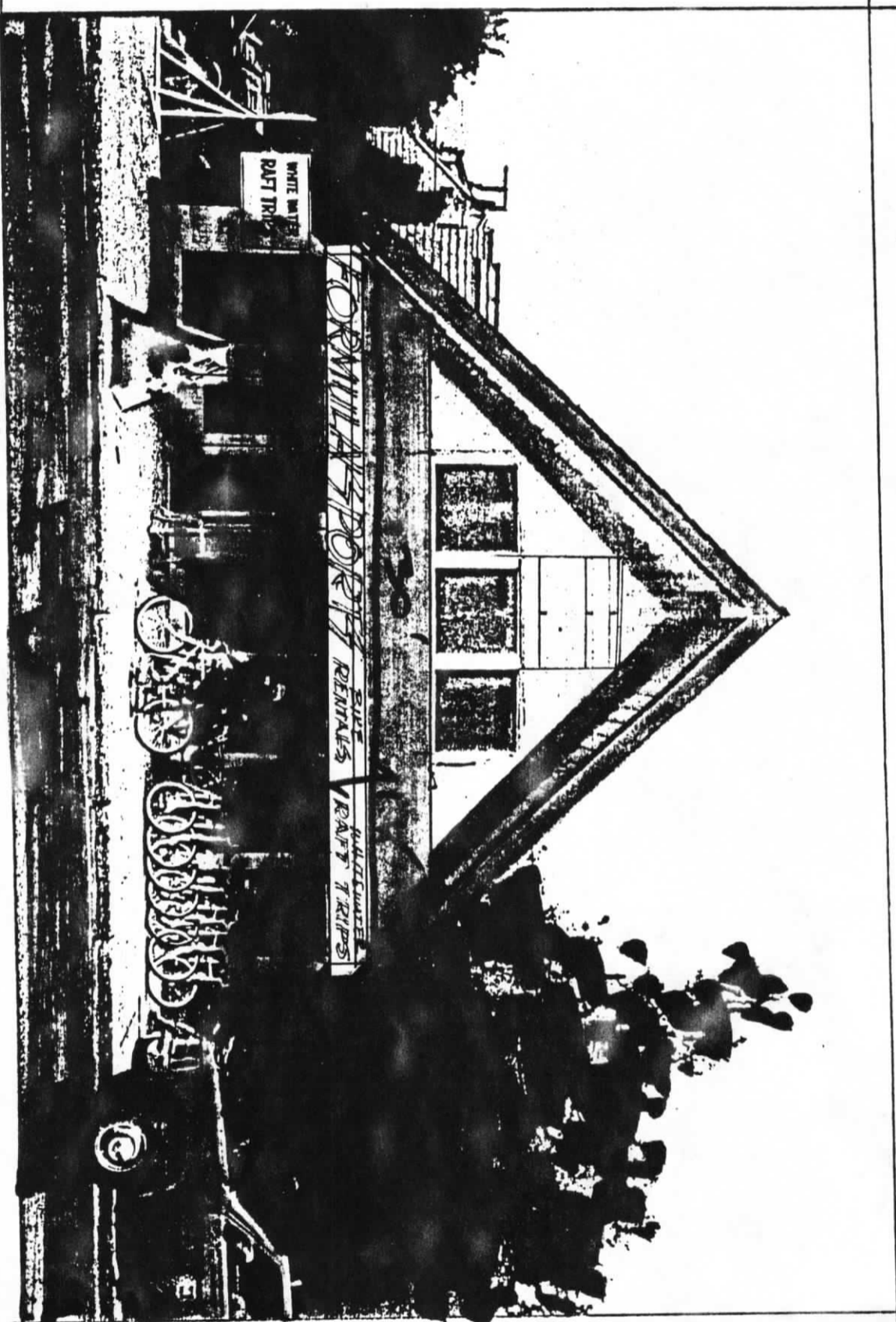
FORMULA SPORTS - SUN VALLEY 3 PT. STE SLOPE - 16" RIGID VANCE / 5/16 AUG 87 -

PSYL = 6'0" / DROP 50" SAMSBEWA -

(APPEN)

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FORMULA SPORTS / SAN VALLEY 3 PT. STR. SLOPE - 16" RIGID VALANCE - SIGNAGE -
PROP 50" - PROP. 6'0" SUNROOF -
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