



## City of Ketchum

December 16, 2019

Mayor Bradshaw and City Councilors  
City of Ketchum  
Ketchum, Idaho

Mayor Bradshaw and City Councilors:

### **Recommendation To Approve Easement Agreement 20437 with KETCH PDX, LLC**

#### Recommendation and Summary

Staff is recommending the council authorize the Mayor to sign Easement Agreement 20437 and adopt the following motion:

**I move to authorize the Mayor to sign Easement Agreement 20437.**

The reasons for the recommendation are as follows:

- The Easement Agreement allows for an 8-foot sidewalk on First Avenue
- The City and project owner are in agreement with the proposed easement

#### Introduction and History

The KETCH I and II projects are under construction and as part of the project, an 8-foot wide sidewalk is proposed to be constructed on First Avenue. The sidewalk width is the new standard for sidewalks within downtown Ketchum. In order to achieve the sidewalk width, a 2-foot .72 inch portion of private property needs to be dedicated for public sidewalk use.

#### Analysis

To accomplish the public access on private property, it is necessary to record an easement. The proposed easement will allow the portion of the sidewalk located on private property to be used in the same manner as the sidewalk on public property.

#### Financial Impact

There is no financial impact associated with this proposed easement.

Attachments:

Easement Agreement 20437

Recording Requested By and  
When Recorded Return to:

City of Ketchum  
P.O. Box 2315  
480 East Ave. N.  
Ketchum, ID 83340

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For Recording Purposes Do  
Not Write Above This Line

### **SIDEWALK EASEMENT AGREEMENT 20437**

This Sidewalk Easement Agreement (“Agreement”) is entered into this \_\_\_ day of \_\_\_\_\_, 2019, between the City of Ketchum, Blaine County, Idaho (“City”), whose address is 480 East Ave. N., Ketchum, ID 83340 and Ketchum PDX LLC and Ketchum 2 PDX LLC collectively referred to as the “Grantor”) at PO Box 96068, Portland Oregon 97296.

WHEREAS, the City is empowered by Idaho Code § 50-314 to regulate and control all encroachments upon and into all sidewalks, streets, avenues and alleys within its corporate boundaries; and

WHEREAS, the City is empowered by Idaho Code §§67-6501 *et seq.* and Titles 15 and 17 of the Ketchum City Code to regulate the zoning and construction of structures within the City; and

WHEREAS, the City has approved two development applications by Grantor for the construction of two projects located at 560 First Avenue and 100 E 6<sup>th</sup> Street in Ketchum, Idaho, which approvals include requirements for a 2-foot .72-inch public access on private property along First Avenue; and

WHEREAS, the easement allows for the construction of an 8-foot public sidewalk as required by the City of Ketchum sidewalk design standards; and

WHEREAS, the parties hereby agree to enter into the following easement agreement to grant the City an easement upon the Grantor’s property, subject to the terms and conditions of this Agreement.

NOW, THEREFORE, in consideration of the mutual promises and covenants herein contained and other good and valuable consideration, the sufficiency of which is hereby acknowledged by both parties, the parties agree as follows:

1. Grant. Grantor hereby grants and conveys without warranty unto the City, its heirs, successors and assigns, subject to the terms and conditions herein contained, an easement upon Grantor’s property, as depicted in **Exhibit A** and as fully described in **Exhibit B**, the legal

description, attached hereto and incorporated herein by this reference, for the passage of pedestrian and bicycle traffic. All such use of the Easement shall be at the sole risk and expense of the City, its respective heirs, successors, assigns and invitees.

2. Conditions of Use.

a. Grantor grants said Easement to Grantee and its successors until such time as the development of the properties located at 560 First Avenue and 100 E 6<sup>th</sup> Street, Ketchum Idaho, is removed.

b. Grantor covenants and agrees that it will not place or allow to be placed any permanent or temporary structures or obstructions on the easement property which would interfere with the use of this easement for the purposes stated herein; provided however, that Grantor may improve the surface of the easement property with concrete walkways and make such other uses of the easement property which do not interfere with the rights of the City hereunder.

3. Termination of Easement. This easement will be terminated, upon approval and acceptance by the City, at such time as the City has determined such easement is no longer necessary for the safe passage of pedestrian and bicycle traffic.

4. Binding Effect. The terms of this Agreement shall be a covenant binding and effective upon all parties, and shall inure to the benefit of and be binding upon the parties hereto, their successors and assigns.

5. Recording. This Agreement shall be recorded with the Blaine County Recorder by Ketchum.

6. Remedies. If either party shall fail to perform such party's obligations under the easement described herein for any reason, the other party may pursue any and all remedies at law or equity; provided, however, that the parties affected by any such failures agree to meet and confer to attempt to mediate a settlement in good faith prior to initiating litigation.

7. Attorneys' Fees. In the event either party initiates or defends any legal action or proceeding in any way connected with this easement, the prevailing party in any such action or proceeding shall be entitled to recover from the losing party its reasonable costs and attorney's fees.

8. Governing Law. This Agreement shall be governed by the laws and decisions of the State of Idaho.

IN WITNESS WHEREOF, each party to this Agreement has caused it to be executed on the date indicated below.

KETCHUM PDX LLC  
Mark R. Madden Revocable Living Trust  
Manager/Member of Ketchum PDX LLC

By: \_\_\_\_\_  
Mark R. Madden  
Its: Trustee

By: \_\_\_\_\_  
Neil Bradshaw  
Its: Mayor

KETCHUM 2 PDX LLC  
Mark R. Madden Revocable Living Trust  
Manager/Member of Ketchum 2 PDX LLC

By: \_\_\_\_\_  
Mark R. Madden  
Its: Trustee

STATE OF \_\_\_\_\_, )  
 ) ss.  
County of \_\_\_\_\_ )

On this \_\_\_\_ day of \_\_\_\_\_, 2019, before me, the undersigned Notary Public in and for said State, personally appeared MARK R. MADDEN, known or identified to me to be the representative of KETCHUM PDX, LLC and KETCHUM 2 PDX LLC, and person who executed the foregoing instrument and acknowledged to me that he executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year first above written.

\_\_\_\_\_  
Notary Public for \_\_\_\_\_  
Residing at \_\_\_\_\_  
Commission expires \_\_\_\_\_

STATE OF IDAHO )  
 ) ss.  
County of Blaine )

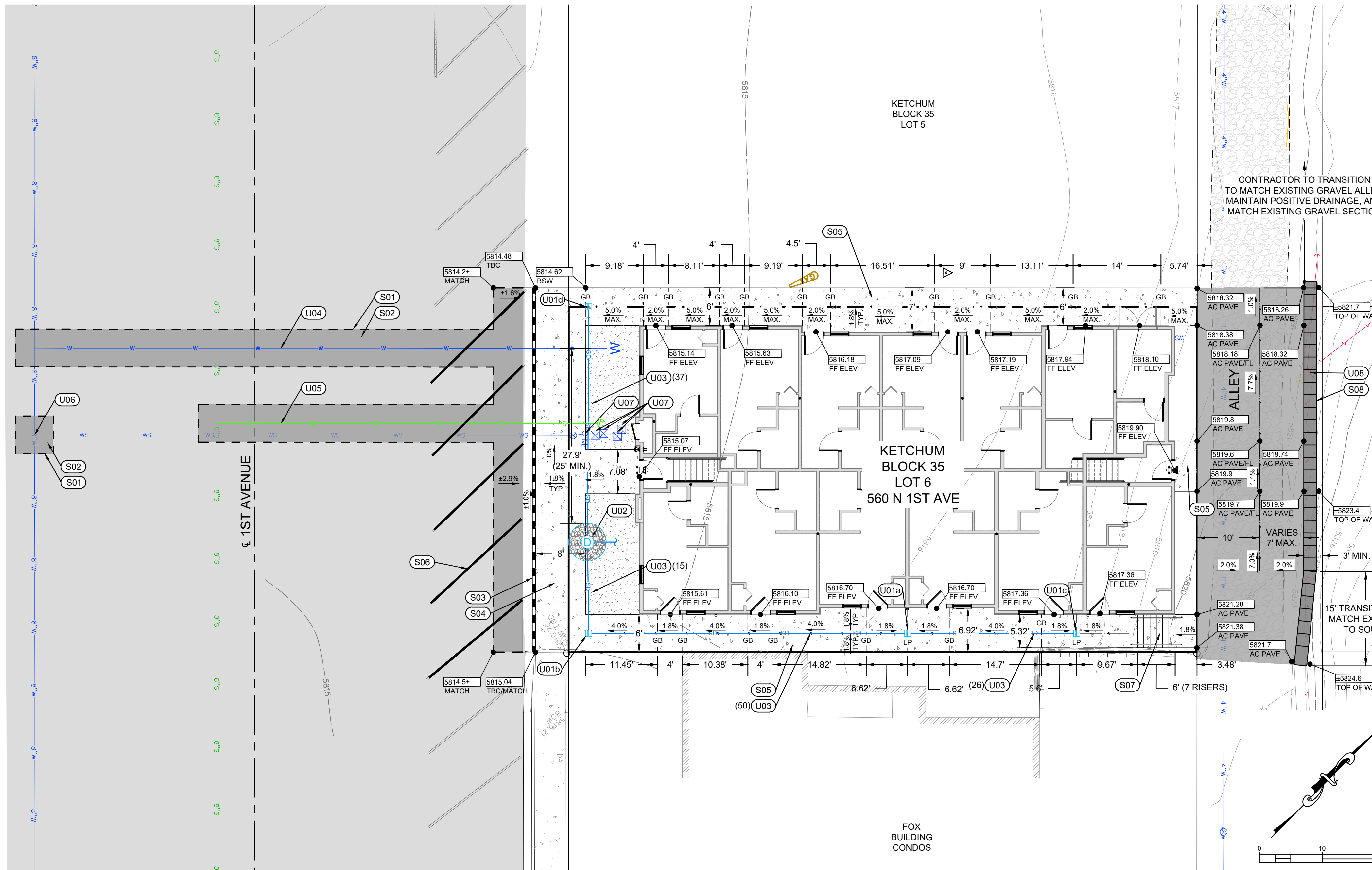
On this \_\_\_ day of \_\_\_\_\_, 2016, before me, the undersigned Notary Public in and for said State, personally appeared NEIL BRADSHAW, known or identified to me to be the Mayor of the CITY OF KETCHUM, IDAHO, and the person who executed the foregoing instrument on behalf of said municipal corporation and acknowledged to me that said municipal corporation executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and seal the day and year in this certificate first above written.

\_\_\_\_\_  
Notary Public for \_\_\_\_\_  
Residing at \_\_\_\_\_  
Commission expires \_\_\_\_\_

ATTACHMENT A

ATTACHMENT B LEGAL DESCRIPTION



**CONSTRUCTION KEYNOTES**

**SITE IMPROVEMENTS**

- (S01) SAWCUT EXISTING ASPHALT TO PROVIDE FOR A CLEAN VERTICAL EDGE.
- (S02) CONSTRUCT/REPAIR ASPHALT. SEE DETAIL 4, SHEET C2.
- (S03) CONSTRUCT CONCRETE CURB AND GUTTER PER DETAIL 3, SHEET C2.
- (S04) CONSTRUCT CONCRETE SIDEWALK, WIDTH AS SHOWN HEREON. SEE DETAIL 1, SHEET C2.
- (S05) CONSTRUCT CONCRETE SIDEWALK, WIDTH AS SHOWN HEREON. SEE DETAIL 2, SHEET C2.
- (S06) INSTALL 4" WIDE WHITE PARKING PAVEMENT MARKING; MATCH EXISTING PARKING SPACE DIMENSIONS
- (S07) INSTALL CONCRETE STAIRS WITH HANDRAIL PER DETAIL 10, SHEET C2.
- (S08) NON-ENGINEERED PRECAST CONCRETE BLOCK WALL, BY OTHERS

**UTILITY IMPROVEMENTS**

- (U01) INSTALL CATCH BASIN PER DETAIL 9, SHEET C2.
  - a. RIM ELEV= 5816.56
  - IE (IN)= 5812.25
  - IE (OUT)= 5812.15
  - b. RIM ELEV= 5815.05
  - IE (IN)= 5811.15
  - IE (OUT)= 5811.05
  - c. RIM ELEV= 5817.26
  - IE (OUT)= 5812.77
  - d. RIM ELEV= 5814.65
  - IE (OUT)= 5810.65
- (U02) INSTALL DRYWELL PER DETAIL 8, SHEET C2. SEE ARCH. PLANS FOR BUILDING DOWNSPOUT CONNECTIONS.
  - RIM ELEV= 5815.0
  - IE (IN SOUTH)= 5810.75
  - IE (IN NORTH)= 5809.93
- (U03) INSTALL 6"Ø D3034 PVC PIPE @ S=2.0% MIN.
- (U04) INSTALL WATER SERVICE; SERVICE SIZE PER PLUMBING ENGINEER. CONTRACTOR TO CONFIRM LOCATION AND DEPTH OF WATER MAIN. TRENCH CONSTRUCTION PER DETAIL 5, SHEET C2. SEE DETAIL 6/C2 FOR POTABLE, NON-POTABLE WATER LINE SEPARATION REQUIREMENTS.
- (U05) INSTALL 4"Ø SEWER SERVICE @ S=2.0% MIN. TRENCH CONSTRUCTION PER DETAIL 5, SHEET C2.
- (U06) DISCONNECT, CLOSE CORP. STOP VALVE AND ABANDON EXISTING WATER SERVICE AT MAIN. REPAIR EXISTING ASPHALT PER DETAIL 4, SHEET C2.
- (U07) REMOVE EXISTING WATER METER, IRRIGATION CONTROL BOXES
- (U08) POWER POLE TO BE RELOCATED BY IDAHO POWER

**SNOW STORAGE SUMMARY**

PEDESTRIAN CIRCULATION AREAS= 1032 SF  
 REQ'D SNOW STORAGE (30%)= 310 SF  
 PROVIDED SNOW STORAGE (31%)= 325 SF

**CONSTRUCTION NOTES**

1. ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE "IDAHO REGULATIONS FOR PUBLIC DRINKING WATER SYSTEMS," THE CURRENT EDITION OF THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISPCW), AND CITY OF KETCHUM STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ISPCW ON SITE DURING CONSTRUCTION.
2. THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES PRIOR TO COMMENCING AND DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL CALL DIGLINE (1-800-342-1585) TO LOCATE ALL EXISTING UNDERGROUND UTILITIES.
3. THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION, INCLUDING BUT NOT LIMITED TO, EPA'S NPDES CONSTRUCTION GENERAL PERMIT.
4. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION.
5. CONSTRUCTION OF WATER MAINS AND ALL OTHER RELATED APPURTENANCES SHALL BE IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPCW), IDAPA 58.01.08, IDAHO RULES FOR PUBLIC DRINKING WATER SYSTEMS AND THE CITY OF KETCHUM UTILITIES DEPARTMENT STANDARDS.
6. CONTRACTOR SHALL PRESSURE TEST, DISINFECT, AND CONDUCT BIOLOGICAL TESTING IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPCW), AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS, AND THE PRESSURE TESTING, DISINFECTION, AND MICROBIOLOGICAL TESTING PROCEDURES.
7. ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL BE ANSINSF STD. 61 COMPLIANT.
8. ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL COMPLY WITH THE LOW LEAD ACT REQUIRING ALL MATERIALS TO HAVE A LEAD CONTENT EQUAL TO OR LESS THAN 0.25%.
9. THE CONTRACTOR SHALL USE ANS/NSF STANDARD 60 CHEMICALS AND COMPOUNDS DURING INSTALLATION & DISINFECTION OF POTABLE WATER MAIN.
10. CONTRACTOR SHALL COORDINATE LOCATIONS OF DRY UTILITY FACILITIES (POWER, CABLE, PHONE, TV) NOT SHOWN ON THE DRAWING WITH IDAHO POWER.
11. ALL CLEARING & GRUBBING SHALL CONFORM TO ISPCW SECTION 201.
12. ALL EXCAVATION & EMBANKMENT SHALL CONFORM TO ISPCW SECTION 202. EXCAVATED SUBGRADE SHALL BE COMPACTED AND ALL UNSUITABLE SECTIONS REMOVED AND REPLACED WITH STRUCTURAL FILL AS DETERMINED BY THE ENGINEER. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
13. ALL 2" MINUS GRAVEL SHALL CONFORM TO ISPCW 802, TYPE II (ITD STANDARD 703.04, 2"), SHALL BE PLACED IN CONFORMANCE WITH ISPCW SECTION 801 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99.
14. ALL 3/4" MINUS CRUSHED GRAVEL SHALL CONFORM TO ISPCW 802, TYPE I (ITD STANDARD 703.04, 3/4" B), SHALL BE PLACED IN CONFORMANCE WITH ISPCW SECTION 802 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
15. ALL ASPHALTIC CONCRETE PAVEMENT WORK SHALL CONFORM TO ISPCW SECTION(S) 805, 810, AND 811 FOR CLASS I PAVEMENT. ASPHALT AGGREGATE SHALL BE 1 1/2" (13MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPCW SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPCW SECTION 805.
16. ALL EDGES OF EXISTING ASPHALT PAVING SHALL BE SAW CUT 24" TO PROVIDE A CLEAN PAVEMENT EDGE FOR MATCHING. NO WHEEL CUTTING SHALL BE ALLOWED.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL PER THE CURRENT EDITION OF THE US DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
18. ALL CONCRETE FORM WORK SHALL CONFORM TO ISPCW SECTION 701 AND 703. ALL CONCRETE SHALL BE 3,000 PSI MINIMUM, 28 DAY, AS DEFINED IN ISPCW SECTION 703, TABLE 1.C.
19. ALL TRENCHING SHALL CONFORM TO ISPCW STANDARD DRAWING SD-301. TRENCHES SHALL BE BACKFILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
20. THE CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND/OR SURVEY CONTROL POINTS. IF ANY OF THE PREVIOUSLY LISTED ITEMS MUST BE REPLACED OR REMOVED, THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO REMOVAL.
21. PER IDAHO CODE § 55-1613, THE CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS THAT ARE LOST OR DISTURBED BY CONSTRUCTION SHALL BE REESTABLISHED AND RE-MONUMENTED, AT THE EXPENSE OF THE AGENCY OR PERSON CAUSING THEIR LOSS OR DISTURBANCE AT THEIR ORIGINAL LOCATION OR BY SETTING OF A WITNESS CORNER OR REFERENCE POINT OR A REPLACEMENT BENCHMARK OR CONTROL POINT, BY OR UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR.

**LEGEND**

<b>EXISTING ITEMS</b>	<b>PROPOSED ITEMS</b>	
--- PROPERTY LINE	--- Sewer Service	○ Sewer Clean Out
--- ADJOINERS PROPERTY LINE	--- Water Service	○ Water Valve
--- CENTERLINE OF RIGHT-OF-WAY	--- Storm Pipe	○ WATER METER
--- RETAINING WALL	--- Flow Line	○ IRRIGATION VALVE BOX
--- EDGE OF GRAVEL	○ Catch Basin	○ GAS INFRASTRUCTURE
--- OVERHEAD POWER LINE	○ Drywell	○ POWER POLE
--- 8" W WATER MAIN	--- Concrete Curb and Gutter	○ GUYWIRE
--- 4" W WATER MAIN	--- Proposed Concrete Sidewalk	○ TV RISER
--- WS WATER SERVICE	--- Proposed Asphalt	○ CONTROL POINT
--- 8" S SEWER MAIN	--- Proposed Sawcut	
--- 5' CONTOUR LINE	--- Proposed Snow Storage	
--- 1' CONTOUR LINE	--- Proposed Spot Grade	
--- CURB & GUTTER		
--- ASPHALT		
--- CONCRETE		
--- BUILDING		
○ WHITE PAVEMENT STRIPING		
○ FOUND 5/8" REBAR		
○ FOUND 1/2" REBAR		

**ABBREVIATIONS**

FF ELEV	FINISH FLOOR
TBC	TOP BACK OF CURB
BSW	BACK OF SIDEWALK
MATCH	MATCH EXISTING ELEVATION
GB	GRADE BREAK
LP	LOW POINT

A SITE, GRADING, DRAINAGE, AND UTILITY PLAN FOR  
**560 N 1ST AVE**  
 LOCATED WITHIN SECTION 13, T.4 N., R.17 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO  
 PREPARED FOR KETCHUM, LLC

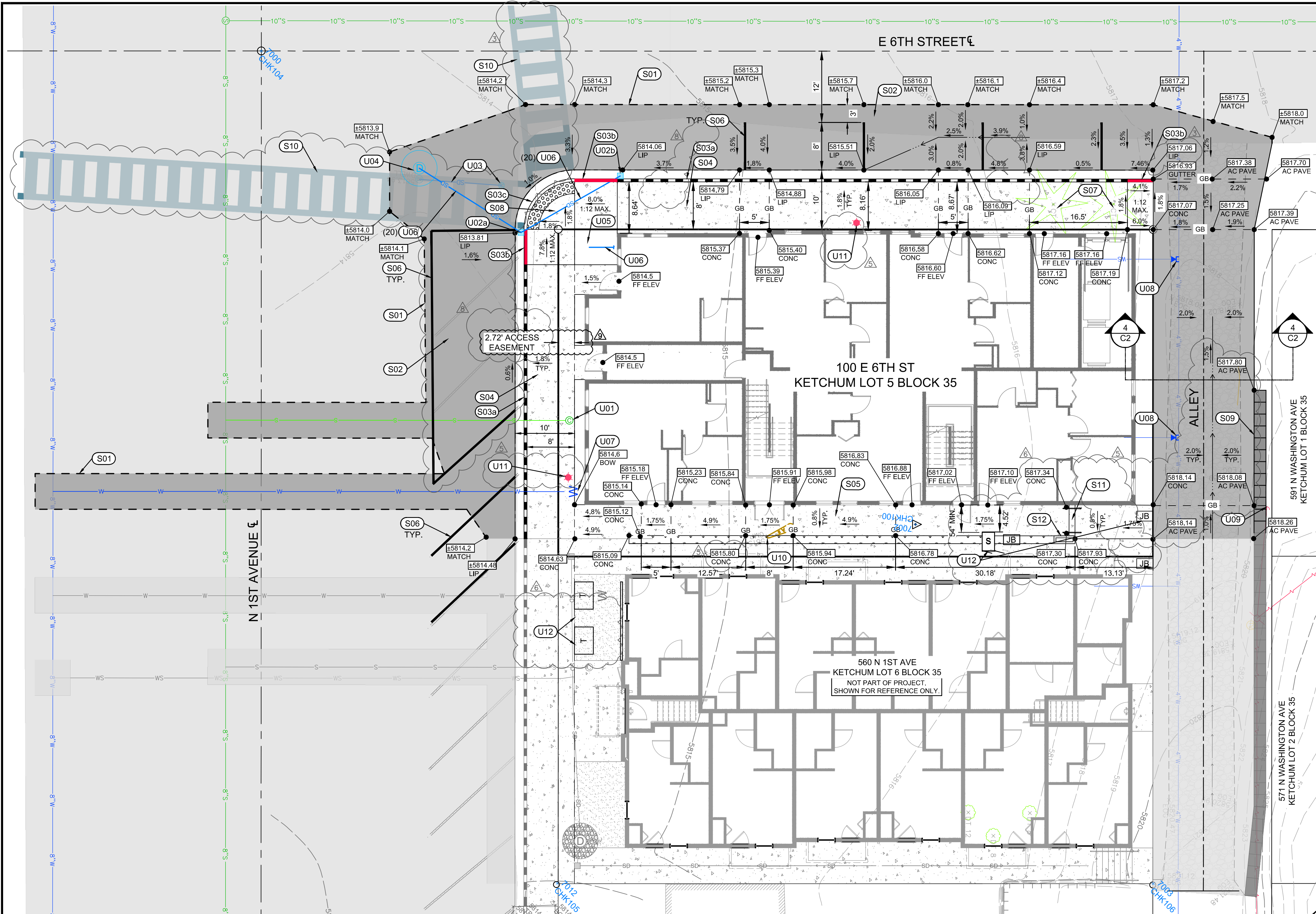
NO.	DATE	BY	REVISIONS
1	06/14/18	SKS	ISSUE FOR DESIGN REVIEW
2	08/17/18	SKS	ISSUE FOR BUILDING PERMIT
3	01/21/19	SKS	BLD/1810-00084 12/18/18 COMMENT REVISION
4	02/28/19	SKS	BUILDING PERMIT REVISION-ALLEY IMPROVEMENTS

DESIGNED BY: SKS  
 DRAWN BY: SKS  
 CHECKED BY: SKS  
 REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any Project or other project without the prior written consent of Galena Engineering, Inc.

**GALENA ENGINEERING, INC.**  
 Civil Engineers & Land Surveyors  
 Halley, Idaho 83333  
 (208) 788-1705  
 (208) 788-4612 fax  
 email galena@galena-engineering.com

PROFESSIONAL ENGINEER  
 17618  
 STATE OF IDAHO  
 S.M. ANTHONY STAHL REGISTERED

C1



**CONSTRUCTION KEYNOTES**

**SITE IMPROVEMENTS**

- (S01) SAWCUT EXISTING ASPHALT TO PROVIDE FOR A CLEAN VERTICAL EDGE.
- (S02) CONSTRUCT/REPAIR ASPHALT. SEE DETAIL 8, SHEET C2.
- (S03) CONSTRUCT CONCRETE CURB AND GUTTER
  - a. 6" VERTICAL CURB AND GUTTER PER DETAIL 3, SHEET C2
  - b. CURB TRANSITION PER DETAIL 11, SHEET C2
  - c. ZERO REVEAL CURB AND GUTTER PER DETAIL 11, SHEET C2
- (S04) CONSTRUCT CONCRETE SIDEWALK. WIDTH AS SHOWN HEREON. SEE DETAIL 1, SHEET C2.
- (S05) CONSTRUCT CONCRETE SIDEWALK. WIDTH AS SHOWN HEREON. SEE DETAIL 2, SHEET C2.
- (S06) INSTALL 4" WIDE WHITE PARKING PAVEMENT MARKING, MATCH EXISTING PARKING SPACE DIMENSIONS
- (S07) REMOVE EXISTING TREES
- (S08) CONSTRUCT ADA COMPLIANT PEDESTRIAN RAMP WITH TRUNCATED DOME DETECTABLE WARNING INSERT, TUFTILE OR APPROVED EQUAL.
- (S09) PRECAST CONCRETE BLOCK WALL, BY OTHERS; TO BE INSTALLED BY APPLICANT
- (S10) REMOVE EXISTING CROSSWALK PAVEMENT MARKINGS AND INSTALL 12" WIDE WHITE EDGE CROSSWALK PAVEMENT MARKINGS AND 24" WIDE WHITE INTERIOR CROSSWALK PAVEMENT MARKINGS
- (S11) CONSTRUCT CONCRETE STAIRS WITH HANDRAIL PER DETAIL 1, SHEET C1.
- (S12) CONSTRUCT WALL BY OTHERS, SEE ARCHITECTURAL PLANS.
- (S13) TREE GRATE PER CITY OF KETCHUM STANDARDS

**UTILITY IMPROVEMENTS**

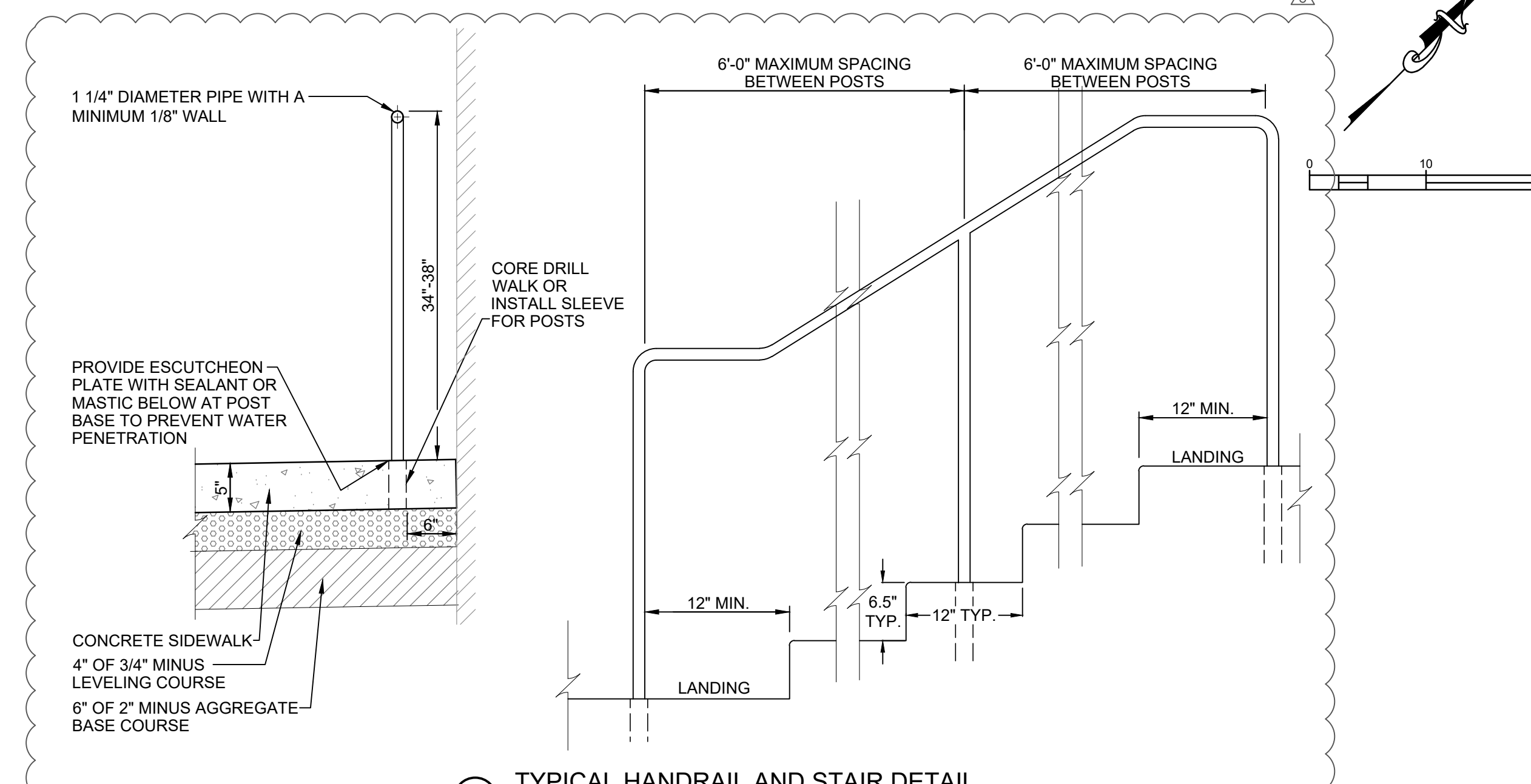
- (U01) INSTALL 4" Ø SEWER SERVICE @ S=2.0% MIN. CLEANOUT INV ELEV = 5806.94 TRENCH CONSTRUCTION PER DETAIL 5, 6 AND 7, SHEET C2.
- (U02) INSTALL 30" CONCRETE CATCH BASIN WITH SOLID LID AND 24" SUMP. SEE DETAIL 10, SHEET C2.
  - a. RIM ELEV = 5813.59
  - IE IN = 5808.93
  - IE OUT = 5808.83
  - b. RIM ELEV = 5813.83
  - IE OUT = 5809.33
- (U03) REMOVE EXISTING CATCH BASIN AND STORM SEWER PIPE.
- (U04) REMOVE EXISTING DRYWELL AND INSTALL NEW DRYWELL "A" PER DETAIL 9, SHEET C2. RIM ELEV = 5813.8 IE (IN EAST) = 5808.43
- (U05) INSTALL NEW DRYWELL "B" PER DETAIL 9, SHEET C2. PLACE EDGE OF VERTICAL CULVERT 6" MIN. FROM BACK OF SIDEWALK. CONNECT ROOF DRAINS PER ARCHITECT. RIM ELEV = 5813.94 IE (IN NORTHEAST) = PER ARCHITECT
- (U06) INSTALL 12" Ø D3034 PVC PIPE @ S=2.0% MIN.
- (U07) INSTALL WATER SERVICE. SERVICE SIZE PER PLUMBING ENGINEER. CONTRACTOR TO CONFIRM LOCATION AND DEPTH OF WATER MAIN. TRENCH CONSTRUCTION PER DETAIL 5, SHEET C2. SEE DETAIL 6, SHEET C2 FOR POTABLE, NON-POTABLE WATER LINE SEPARATION REQUIREMENTS.
- (U08) DISCONNECT, CLOSE CORP. STOP VALVE AND ABANDON EXISTING WATER SERVICE AT MAIN. REPAIR EXISTING ASPHALT PER DETAIL 8, SHEET C2.
- (U09) POWER GUY WIRE TO BE RELOCATED BY IDAHO POWER
- (U10) RELOCATE EXISTING GAS SERVICE. COORDINATE WITH INTERMOUNTAIN GAS COMPANY. LOCATION PER ARCHITECT
- (U11) INSTALL STREET LIGHT PER CITY OF KETCHUM STANDARDS
- (U12) PROPOSED TRANSFORMER, SECTOR BOX, JUNCTION BOX; CONTRACTOR TO COORDINATE WITH IDAHO POWER

**CONSTRUCTION NOTES**

1. ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE "IDAHO REGULATIONS FOR PUBLIC DRINKING WATER SYSTEMS," THE CURRENT EDITION OF THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISPCW), AND CITY OF KETCHUM STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ISPCW ON SITE DURING CONSTRUCTION.
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7. ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL BE ANS/ISF STD. 61 COMPLIANT.
8. ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL COMPLY WITH THE LOW LEAD ACT REQUIRING ALL MATERIALS TO HAVE A LEAD CONTENT EQUAL TO OR LESS THAN 0.25%.
9. THE CONTRACTOR SHALL USE ANS/ISF STANDARD 60 CHEMICALS AND COMPOUNDS DURING INSTALLATION & DISINFECTION OF POTABLE WATER MAIN.
10. CONTRACTOR SHALL COORDINATE LOCATIONS OF DRY UTILITY FACILITIES (POWER, CABLE, PHONE, TV) NOT SHOWN ON THE DRAWING WITH IDAHO POWER.
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17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL PER THE CURRENT EDITION OF THE US DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
18. ALL CONCRETE FORM WORK SHALL CONFORM TO ISPCW SECTION 701 AND 703. ALL CONCRETE SHALL BE 3,000 PSI MINIMUM, 28 DAY, AS DEFINED IN ISPCW SECTION 703, TABLE 1.C.
19. ALL TRENCHING SHALL CONFORM TO ISPCW STANDARD DRAWING SD-301. TRENCHES SHALL BE BACKFILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
20. PER IDAHO CODE §§ 55-1613, THE CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS; ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS THAT ARE LOST OR DISTURBED BY CONSTRUCTION SHALL BE REESTABLISHED AND RE-MONUMENTED, AT THE EXPENSE OF THE AGENCY OR PERSON CAUSING THEIR LOSS OR DISTURBANCE AT THEIR ORIGINAL LOCATION OR BY SETTING OF A WITNESS CORNER OR REFERENCE POINT OR A REPLACEMENT BENCHMARK OR CONTROL POINT, BY OR UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR.
21. CONTRACTOR SHALL INSTALL SIGN BASES IN THE RIGHT-OF-WAY AT BACK OF CURB PER DETAIL 12, SHEET C2; COORDINATE WITH CITY STREETS DEPARTMENT FOR LOCATION DURING CONSTRUCTION.

**LEGEND**

<b>EXISTING ITEMS</b>	<b>PROPOSED ITEMS</b>	
— PROPERTY LINE	— Sewer Service	— Sewer Service
— ADJOINERS PROPERTY LINE	— Sewer Clean Out	— Sewer Clean Out
— CENTERLINE OF RIGHT-OF-WAY	— Water Service	— Water Service
— RETAINING WALL	— Storm Pipe	— Storm Pipe
— EDGE OF GRAVEL	— Flow Line	— Flow Line
— OVERHEAD POWER LINE	— Catch Basin	— Catch Basin
— 8" WATER MAIN	— Drywell	— Drywell
— 4" WATER MAIN	— Concrete Curb and Gutter	— Concrete Curb and Gutter
— WATER SERVICE	— Proposed Concrete Sidewalk	— Proposed Concrete Sidewalk
— 8" SEWER MAIN	— Proposed Asphalt	— Proposed Asphalt
— 5' CONTOUR LINE	— Proposed Sawcut	— Proposed Sawcut
— 1' CONTOUR LINE	— Proposed Easement	— Proposed Easement
— CURB & GUTTER	— Proposed Landscape	— Proposed Landscape
— ASPHALT	— Proposed Spot Grade	— Proposed Spot Grade
— CONCRETE	— Proposed Transformer	— Proposed Transformer
— BUILDING		
— WHITE PAVEMENT STRIPING		
○ FOUND 5/8" REBAR		
○ FOUND 1/2" REBAR		
○ WATER VALVE		
○ WATER METER		
○ IRRIGATION VALVE BOX		
○ GAS INFRASTRUCTURE		
○ POWER POLE		
○ GUYWIRE		
○ TV RISER		
○ CONTROL POINT		



1 TYPICAL HANDRAIL AND STAIR DETAIL N.T.S.

**KETCHUM PD**  
 PROJECT INFORMATION: P:\design\1674\1674.dwg Construction\1674\_1674.dwg 10/15/19 9:22:19 AM  
 DESIGNED BY: SKS/STRM  
 CHECKED BY: SKS/STRM  
 PROJECT INFORMATION: P:\design\1674\1674.dwg Construction\1674\_1674.dwg 10/15/19 9:22:19 AM  
 REUSE OF DRAWINGS: Drawings and information hereof shall not be used for any project or extension of this project except by agreement in writing with Galena Engineering, Inc.

NO	DATE	BY	REVISIONS
1	06/10/19	SKS	MINOR GRADE CHANGE AND ADD STREET LIGHT
2	06/28/19	SKS	SOUTH SIDEWALK STAIR ADDITION; TRANSFORMER LOCATIONS
3	09/17/19	SKS	ADD TREE GRATES
4	10/07/19	SKS	REMOVE STREET TREES
5	10/15/19	SKS	ADD ACCESS EASEMENT; HEATED SIDEWALK

**GALENA ENGINEERING, INC.**  
 Civil Engineers & Land Surveyors  
 317 N. River Street  
 Hailey, Idaho 83433  
 (208) 788-1705  
 (208) 788-4612 fax  
 email: galena@galena-engineering.com

PROFESSIONAL ENGINEER  
 LICENSED  
 17618  
 10/15/2019  
 SARANTHA STAHLINGER

C1



# GALENA ENGINEERING, INC.

*CIVIL ENGINEERING & LAND SURVEYING*

## Legal Description

**Section 13, Township 4 North, Range 17 East  
Boise Meridian, City of Ketchum, Blaine County, Idaho**

A legal description for a parcel of land situated in Lot 6, Block 35, Ketchum Townsite, and being more particularly described as follows:

Commencing at a ½” rebar with Illegible Cap, marking the Southwest corner of Lot 6, Block 35, Ketchum Townsite, said point falling S 45°35’00” W 100.06 feet from a ½” rebar with Illegible Cap, marking the Southeast corner of said Lot 6, said Southwest corner being the TRUE POINT OF BEGINNING:

Thence N 45°35’00” E 2.72 feet, along the boundary common to Foxx Building Condos and said Lot 6, to a point;

Thence N 44°24’01” W 55.02 feet, being 2.72 feet distant and parallel to the Easterly right of way of First Avenue;

Thence S 45°35’24” W 2.72 feet, along the boundary common to Lot 5 and said Lot 6, to the Northwest corner of said Lot 6;

Thence S 44°24’01” E 55.02 feet, along the Easterly right of way of First Avenue, to the TRUE POINT OF BEGINNING:

Said parcel containing 150 Sq. Ft., more or less, as determined by computer methods.

End of Description

