



City of Ketchum  
Planning & Building

CERTIFIED  
COMPLETE

8-23-21

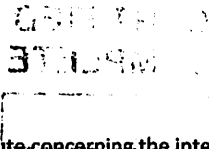
mp

\$350+

OFFICIAL USE ONLY	
File Number	P21-069
Date Received	8-9-21
By:	mp
Pre-Application Fee Paid:	
Design Review Fee Paid:	3550 \$/10/21
Approved Date:	
Denied Date:	
By:	
ADRE: Yes	<input type="checkbox"/> No <input type="checkbox"/>

### Design Review Application

APPLICANT INFORMATION			
Project Name: 780 1st Ave Multi-family project		Phone: 208.720.8244	
Owner: SV VENTURES LLC		Mailing Address: P.O. Box 5023 Ketchum ID 83340	
Email: reid.sanborn@evrealestate.com			
Architect/Representative: Daniel Hollis (Hollis Partners Architects)		Phone: 208.721.7160	
Email: daniel@hp-architects.com		Mailing Address: P.O. Box 1769, Sun Valley ID 83353	
Architect License Number: AR985372			
Engineer of Record: Galena Engineering Inc		Phone: 208.788.1705	
Email: sam@galena-engineering.com		Mailing Address: 317 N. River Street, Hailey ID 83333	
Engineer License Number: NA			
<i>All design review plans and drawings for public commercial projects, residential buildings containing more than four (4) dwelling units and development projects containing more than four (4) dwelling units shall be prepared by an Idaho licensed architect or an Idaho licensed engineer.</i>			
PROJECT INFORMATION			
Legal Land Description: Lot 5, Block 33			
Street Address: 780 1st Avenue North, Ketchum		RPK 00000330050	
Lot Area (Square Feet): 5,500sf			
Zoning District: Community Core - #2 Mixed Use			
Overlay District: <input type="checkbox"/> Floodplain <input type="checkbox"/> Avalanche <input type="checkbox"/> Mountain			
Type of Construction: <input checked="" type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Remodel <input type="checkbox"/> Other			
Anticipated Use: Market rate Residential units for sale		Number of Residential Units: 6 residential units	
TOTAL FLOOR AREA			
	Proposed	Existing	
Basements		Sq. Ft.	Sq. Ft.
1 <sup>st</sup> Floor	3,502	Sq. Ft.	Sq. Ft.
2 <sup>nd</sup> Floor	4,144	Sq. Ft.	Sq. Ft.
3 <sup>rd</sup> Floor	4,112	Sq. Ft.	Sq. Ft.
Mezzanine		Sq. Ft.	Sq. Ft.
Total	11,4758	Sq. Ft.	Sq. Ft.
FLOOR AREA RATIO			
Community Core: 2.25		Tourist:	General Residential-High:
BUILDING COVERAGE/OPEN SPACE			
Percent of Building Coverage:			
DIMENSIONAL STANDARDS/PROPOSED SETBACKS			
Front: 5' Average (1st Ave)		Side: 5' Average (8th Street)	Side: 0-3' along South
		Rear: 3' to Alley	
Building Height: 38'-8"			
OFF STREET PARKING			
Parking Spaces Provided: 7 Spaces (accessed from alleyway to east)			
Curb Cut: 0 Sq. Ft. %			
WATER SYSTEM			
<input checked="" type="checkbox"/> Municipal Service		<input type="checkbox"/> Ketchum Spring Water	



The Applicant agrees in the event of a dispute concerning the interpretation or enforcement of the Design Review Application in which the city of Ketchum is the prevailing party, to pay the reasonable attorney fees, including attorney fees on appeal and expenses of the city of Ketchum. I, the undersigned, certify that all information submitted with and upon this application form is true and accurate to the best of my knowledge and belief.

**Daniel Hollis (HP Architects)**

**7/23/21**

Signature of Owner/Representative

Date

## **DESIGN REVIEW EVALUATION STANDARDS**

**(May not apply to Administrative Design Review):**

### **17.96.060: IMPROVEMENTS AND STANDARDS FOR ALL PROJECTS**

#### **A. Streets:**

1. The applicant shall be responsible for all costs associated with providing a connection from an existing city streets to their development.
2. All streets designs shall be in conformance with the right-of-way standards and approved by the Public Works Director.

#### **B. Sidewalks:**

1. All projects under 17.96.010(A) that qualify as a "Substantial Improvement" shall install sidewalks in conformance with the right-of-way standards. Sidewalk improvements may be waived for projects that qualify as a "Substantial Improvement" which comprise additions of less than 250 square feet of conditioned space.
2. The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.
3. New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.
4. The city may approve and accept voluntary cash contributions in-lieu of the above described improvements, which contributions must be segregated by the city and not used for any purpose other than the provision of these improvements. The contribution amount shall be one hundred ten percent (110%) of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the Public Works Director. Any approved in-lieu contribution shall be paid before the city issues a certificate of occupancy.

#### **C. Drainage:**

1. All storm water shall be retained on site.
2. Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.
3. The Public Works Director may require additional drainage improvements as necessary, depending on the unique characteristics of a site.



4. Drainage facilities shall be constructed per city standards and designed by a licensed civil engineer.

**D. Utilities:**

1. All utilities necessary for the development shall be improved and installed at the sole expense of the applicant.
2. Utilities shall be located underground and utility, power and communication lines within the development site shall be concealed from public view.
3. When extension of utilities is necessary all developers will be required to pay for and install two (2") inch SDR11 fiber optical conduit. The placement and construction of the fiber optical conduit shall be done in accordance with city of Ketchum standards and approved by the Public Works Director.

**E. Compatibility of Design:**

1. The project's materials, colors and signing shall be complementary to the townscape, surrounding neighborhoods and adjoining structures.
2. Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.
3. Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to.

**F. Architectural:**

1. Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined.
2. The building character shall be clearly defined by use of architectural features.
3. There shall be continuity of materials, colors and signing within the project.
4. Accessory structures, fences, walls and landscape features within the project shall match or complement the principal building.
5. Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.
6. Building(s) shall orient towards their primary street frontage.
7. Sufficient garbage and recycling areas shall be provided onsite.
8. Garbage and recycling storage areas, satellite receivers and mechanical equipment shall be screened from public view and located off alleys.
9. Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties.

**G. Circulation Design:**

1. Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.
2. Awnings extending over public sidewalks shall extend five (5') feet or more across the public sidewalk but shall not extend within two (2') feet of parking or travel lanes within the right of way.

3. Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage.
4. Curb cuts and driveway entrances shall be no closer than twenty (20') feet to the nearest intersection of two or more streets, as measured along the property line adjacent to the right of way. Due to site conditions or current/projected traffic levels or speed, the Public Works Director may increase the minimum distance requirements.
5. Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project.

**H. Snow Storage:**

1. Snow storage areas shall not be less than thirty percent (30%) of the improved parking and pedestrian circulation areas.
2. Snow storage areas shall be provided on-site.
3. A designated snow storage area shall not have any dimension less than five (5') feet and shall be a minimum of twenty-five (25) square feet.
4. In lieu of providing snow storage areas, snow melt and hauling of snow may be allowed.

**I. Landscaping:**

1. Landscaping is required for all projects.
2. Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape.
3. All plant species shall be drought tolerant. Native species are recommended but not required.
4. Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged.

**J. Public Amenities:**

1. Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All public amenities shall be approved by the Public Works Director prior to design review approval from the Commission.

**17.96.070: COMMUNITY CORE (CC) PROJECTS**

In addition to the requirements of section 17.96.060, unless otherwise specified, the below standards apply to projects in the Community Core district.

**A. Streets:**

1. A minimum of one (1) street tree shall be required for every forty (40') feet of street frontage, including both street frontages on corner lots, the location of which shall be determined by the Public Works Director.
2. Street trees, street lights, street furnishings and all other street improvements are required to be in conformance with the right-of-way standards and approved by the Public Works Director.

**B. Architectural:**

1. Facades facing a street or alley or located more than five (5') feet from an interior side property line shall be designed with both solid surfaces and window openings to avoid the creation of blank walls and employ similar architectural elements, materials and colors as the front façade.
2. For nonresidential portions of buildings, front building facades and facades fronting a pedestrian walkway shall be designed with ground floor storefront windows and doors with clear transparent glass. Landscaping planters shall be incorporated into facades fronting pedestrian walkways.
3. For nonresidential portions of buildings, front facades shall be designed to not obscure views into windows.
4. Roofing forms and materials shall be compatible with the overall style and character of the structure. Reflective materials are prohibited.
5. All pitched roofs shall be designed to sufficiently hold all snow with snow clips, gutters and downspouts.
6. Roof overhangs shall not extend more than three (3') feet over a public sidewalk. Roof overhangs that extend over the public sidewalk shall be approved by the Public Works Director.
7. Front porches and stoops shall not be enclosed on the ground floor by permanent or temporary walls, windows, window screens, or plastic or fabric materials.

**C. Service Areas and Mechanical/Electrical Equipment:**

1. Trash disposal areas and shipping and receiving areas shall be located within parking garages or to the rear of buildings. Trash disposal areas shall not be located within the public right of way and shall be screened from public views.
2. Roof and ground mounted mechanical and electrical equipment shall be fully screened from public view. Screening shall be compatible with the overall building design.

**D. Landscaping:**

1. When a healthy and mature tree is removed from a site, it shall be replaced with a new tree. Replacement trees may occur on or off site.
2. Trees that are placed within a courtyard, plaza or pedestrian walkway shall be placed within tree wells that are covered by tree grates.
3. The city arborist shall approve all parking lot and replacement trees.

**E. Surface Parking Lots:**

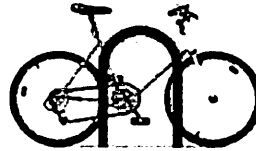
1. Surface parking lots shall be accessed from off the alley and shall be fully screened from the street.
2. Surface parking lots shall incorporate at least one (1) tree and one (1) additional tree per ten (10) onsite parking spaces. Trees shall be planted in landscaped planters, tree wells and/or diamond shaped planter boxes located between parking rows. Planter boxes shall be designed so as not to impair vision or site distance of the traveling public.
3. Ground cover, low lying shrubs, and trees shall be planted within the planters and planter boxes. Tree grates or landscaping may be used in tree wells located within pedestrian walkways.



**F. Bicycle Parking:**

1. One (1) bicycle rack, able to accommodate at least two (2) bicycles, shall be provided for every four (4) parking spaces as required by the proposed use. At a minimum, one (1) bicycle rack shall be required per development.
2. When the calculation of the required number of bicycle racks called for in this section results in a fractional number, a fraction equal to or greater than one-half ( $1/2$ ) shall be adjusted to the next highest whole number.
3. Bicycle racks shall be clearly visible from the building entrance they serve and not mounted less than fifty (50') feet from said entrance or as close as the nearest non-ADA parking space, whichever is closest. Bicycle racks shall be located to achieve unobstructed access from the public right-of-way and not in areas requiring access via stairways or other major obstacles.

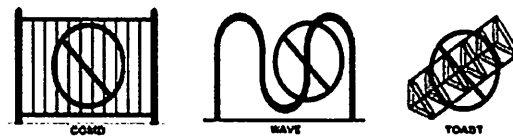
Supports frame in two places:



Appropriate designs:



Inappropriate designs:



**17.96.080: NOTICE:**

All property owners adjacent to properties under application for design review shall be notified by mail ten (10) days prior to the meeting of the date at which said design review is to be considered by the Commission.

**17.96.090: TERMS OF APPROVAL:**

**A. Design Review Approval**

1. The term of design review approval shall be twelve (12) months from the date that findings of fact, conclusions of law and decision are adopted by the Commission or upon appeal, the date the approval is granted by the Council subject to changes in zoning regulations.
2. Application must be made for a building permit with the Ketchum planning and building department during the twelve (12) month term. Once a building permit has been issued, the design review approval shall be valid for the duration of the building permit.
3. Unless an extension is granted as set forth below, failure to file a complete building permit application for a project in accordance with these provisions shall cause said approval to be null and void.

**B. Extensions of Design Review Approval.**

1. For design review approvals pertaining to "civic" buildings, the Administrator may, upon written request by the holder, grant a maximum of two (2) twelve (12) month extensions to an unexpired design review approval.

2. For design review approvals pertaining to all other buildings, the city may, upon written request by the holder, grant a maximum of two (2) twelve (12) month extensions to an unexpired design review approval. The first twelve (12) month extension shall be reviewed by the Administrator. The second twelve (12) month extension shall be reviewed by the Commission. Whether or not an extension is warranted shall be based on the following considerations:
  - a. Whether there have been significant amendments to ordinances which will apply to the subject design review approval;
  - b. Whether significant land use changes have occurred in the project vicinity which would adversely impact the project or be adversely impacted by the project;
  - c. Whether hazardous situations have developed or have been discovered in the project area; or
  - d. Whether community facilities and services required for the project are now inadequate.
3. If any of the foregoing considerations are found to exist with regard to the project for which an extension is sought, an extension will not be granted and the city shall issue this decision in writing; otherwise the city shall approve such an extension. No extensions shall be granted for an expired design review approval.

#### **17.96.100: FEES AND COSTS:**

Each applicant for design review approval shall pay to the city certain fees and costs to reimburse the city the reasonable costs of administering and regulating this chapter, including reimbursement for city engineer fees. Said fees and refunds, if any, shall be set by resolution of the Council and shall be paid prior to scheduling of an application before the Commission for design review consideration. Said fees shall be nonrefundable.

## DESIGN REVIEW APPLICATION CERTIFICATION OF COMPLETENESS

Project Name: 780 1st Ave Multifamily project	Reviewed by:
Date: 4/5/21	Time:

### REQUIRED DOCUMENTS (CHECK ALL THAT APPLY):

- ☒ Design review application form including project name, location, applicant, owner, project representatives and contact information.
- ☒ One (1) PDF electronic set of the complete application containing all requirements as listed below, plans appropriately scaled, shall be submitted. Electronic record of the materials and color sample board may be satisfied with photos. One (1) hardcopy set of scalable plans showing at a minimum the following:
  - ☒ Vicinity map, to scale, showing the project location in relationship to neighboring buildings and the surrounding area. Note: a vicinity map must show location of adjacent buildings and structures.
  - ☒ Drainage plan (grading, catch basins, piping, and dry-wells).
  - ☒ Utilities plan (location and size of water and sewer mains and services, gas, electric, TV and phone).
  - ☒ Site plan, to scale, showing proposed parking (including parking stall dimensions), loading, general circulation and snow storage. List square footage of subject property including lot dimensions.
  - ☒ Landscape plan (existing landscaping on the site shown and adjacent right-of-way as retained, relocated or removed; proposed landscaping including species type, size and quantity).
  - ☒ Floor plan. List gross and net square footage for each floor. List occupancy classification and type of construction.
  - ☒ Detailed elevations of all sides of the proposed building and other exterior elements (colors, materials).
  - ☒ Exterior lighting plan, pursuant to chapter 17.132, showing location, height, type and lumen output; spec sheets for fixtures; illuminance levels/photometrics for area lighting.
  - ☒ One (1) 11" x 17" materials and colors sample board showing all exterior materials used on the façade of the structure. A digital copy may be sufficient as approved by the Administrator.
  - ☒ Construction management plan showing where staging will occur, where materials are stored and parking plan for contractors. If any staging or parking shall occur off-site, a staging/parking plan must be submitted including materials storage, excavation (backfill) stockpile areas, job trailers, blue rooms, dumpsters and contractor parking.



■ Building corners for all proposed buildings and additions shall be staked on the site and all trees proposed to be removed shall be flagged at least one week prior to the Commission meeting. The applicant shall install story poles, or other approved method, at the maximum roof peaks of the proposed buildings as required by the Administrator.

■ For projects requiring pre-application design review, a model or computer simulation renderings, as described in subsection 17.96.010(C) of this chapter shall be required.

- For new multi-tenant buildings, a master signage plan shall be submitted.
- The Administrator may waive some submittal requirements if it is determined the information is not relevant to the design review.
- Other information as required by the Administrator or the Commission.
- Design review fee shall be submitted as described in section 17.96.100 of this chapter.

**STAFF COMMENTS:**




PO Box 1769 [post]  
Sun Valley, ID 83353  
220 River Street, East  
Ketchum, ID 83340  
v / 208.721.7160

**7<sup>th</sup> September 2021**

**Morgan Landers**

City of Ketchum – Design Review Committee  
P.O. Box 2315  
480 East Ave. N.  
Ketchum, ID 83340

Dear Morgan / Design Review Commission,

We are excited to submit to you for “*Formal Design review*” our Multi-Family project (“***The Lofts @ 780***”) located at 780 1<sup>st</sup> Avenue North, Ketchum. A 3 story, multi-residential structure, **11,758 sf** (Gross square footages of each floor combined, not including decks or patios) located opposite the Hemingway School entrance. All of the residential units will be available for market rate sales except for Unit #203 listed below, this will be for affordable housing.

We have incorporated the commissions concerns / comments from the Pre-Ap Hearing we had on July 13<sup>th</sup>.

The programming of the building is as follows:

Ground Level:

- Parking access from alley to the East.
- 9' - 10'-0" High Ceilings.
- Multiple Foyer/Entry Stairs for Upper Residential Units
- Mechanical Space
- (1) 3 Bedroom / 2 bathroom @ 1,948 square feet
- Outdoor Enclosed Trash / Recycling area
- (3) car garage @ ranging from 232 SF to 310 SF.
- Storage lockers.
- Additionally, 4 car parking spaces including one ADA accessible space.
- Landscaped Entry courtyard and planters, plus street amenities (Benches / Bike Rack)

Second Level:

- Stair / elevator /Access Points to Residential Units
- (1) 4 bedroom, 4 bath unit, 1,962 square feet (#201)
- (1) 1 bedroom, 1 bath unit, 628 square feet (#202)
- (1) studio unit, approx. 454 square feet (#203) (Possible affordable housing unit)
- (1) 1 bedroom, 1 bath unit, approx. 610 square feet (#204)

- Balconies and Terraces for Residential Units
- Mechanical Space

Third Level:

- Stair / elevator /Access Points to Residential Units
- (1) 4 bedroom, 4 bath penthouse unit, 1,962 square feet (#301)
- (1) 3 bedroom, 3 bath penthouse unit, 1,723 square feet (#302)
- Balconies and Terraces for Residential Units
- Mechanical

Roof Level:

- Outdoor mechanical area set at least 12' from any building edge.

We have proposed a mix of materials and colors that will hopefully enact a sense of vibrancy to this area of Ketchum. Key materials as per sample board images include a Stonewood siding/panel product connected to the building via a "rain-screen" detail. We have anchored the building by proposing the use of perforated / 12 gauge hot rolled steel panels. Where the building steps in along the Northern, and Western Facades, the exterior material is broken by using strips of the Stonewood siding as well as a mix of Stonewood paneling which is broken at window / door jambs, headers, sills and mullions.

We are proposing to also break up the building mass / scale by using 2 types of balcony / deck structures. One being a solid parapet condition with metal tube steel placed on top and then the other deck handrails will be a steel mesh system.

We look forward to conversing more about the project at the next earliest P&Z meeting, please feel free to ask any questions or for additional information that will assist in approving this project to the next level. We are excited to work with you on this project, and we look forward to starting the next phase of the design process.

Sincerely,



Daniel Hollis, Principal



# CONTENTS:

Project Data sheet – Development Potential

Design Review Application

Will Serve Letter from Idaho Power

Review and Approval letter from Clear Creek Disposal

Preliminary Plat Information

Preliminary CCRs

## **Drawing List:**

- A0.0 Project Data / General Notes
- A0.1 Exterior 3D Massing - Rendering
- A0.2 Exterior 3D Massing Model Views
- A0.3 Exterior 3D Massing Model Views
- A0.5 Construction Management Plan
- A0.6 Material Samples / Color Board
  
- C Topographical & Site Information (Galena Engineering)
- C0.1 Cover Sheet
- C1.0 Site Improvements Plan (Drainage)
- C1.1 Signing, Pavement marking & Lighting Plan
- C2.0 Drainage Details
  
- L0.0 Landscape Site Plan (Eggers & Associates)
- L1.0 Landscape Site Plan (Eggers & Associates)
  
- A1.1 Site Plan
- A1.2 Arch Site Plan
- A2.1 First Level Floor Plan
- A2.1B First Level – 5' Average Setback Plan
- A2.2 Second Level Floor Plan
- A2.2B Second Level – 5' Average Setback Plan
- A2.3 Third Level Floor Plan
- A2.3B Third Level – 5' Average Setback Plan
- A2.7 Roof Plan
- A3.1 Exterior Elevations (North / West)
- A3.2 Exterior Elevations (South / East)
- A4.1 Building Sections
- A4.2 Building Sections
- A5.1 Wall Sections / Details
- A5.2 Wall Sections / Details
- A5.3 Wall Sections / Details
  
- M0.0 Mechanical Cover Sheet (Musgrove, PA)
- M1.3 Mechanical Roof Plan (Musgrove, PA)
- P1.0 Mechanical Utilities Plan (Musgrove, PA)
- E0.0 Electrical Cover Sheet (Musgrove, PA)
- E1.0 Electrical Site Plan (Musgrove, PA)
- E1.1 Photometric Electrical Site Plan (Musgrove, PA)
- E1.2 Electrical Lighting Cutsheets (Musgrove, PA)
- E2.1 1<sup>st</sup> Floor Lighting Plan (Exterior) (Musgrove, PA)
- E2.2 2<sup>nd</sup> Floor Lighting Plan (Exterior) (Musgrove, PA)
- E2.3 3<sup>rd</sup> Floor Lighting Plan (Exterior) (Musgrove, PA)

E5.0 First Floor Special Systems Plan (Musgrove, PA)  
E5.1 Second Floor Special Systems Plan (Musgrove, PA)  
E5.2 Third Floor Special Systems Plan (Musgrove, PA)

## 780 N First Avenue Development Potential

Legal – Lot 5, Block 33, 780 N 1<sup>st</sup> Avenue

Parcel Size – 5,500 SF

Dimensions – 55' on First Avenue, 100' First Ave to Alleyway

Permissible Gross Density @ 2.25 Floor Area Ratio (FAR) = 12,375 SF (Proposed 11,758SF)

1. (A) 5,500 SF x (H) 2.25 (per 17.124.040: FLOOR AREA RATIOS AND COMMUNITY HOUSING)  
= 12,375 SF
2. (M) 11,423 SF – 12,375 SF = **-952 SF**

Community Housing Requirement (net SF)

20% of Gross FAR in excess of 1.0 FAR x 85% = 10,310 SF

Can be satisfied on-site, off-site, or by payment in lieu (currently set at \$238/SF)

Project is proposed to be combination of **payment in lieu and affordable housing onsite.**

Parking Requirement

Residential – one space over 750 SF (4 spaces required, 1 ADA Space).

Project will provide 8 parking spaces, (4 more than required).

Maximum Building Height

42 Feet (Proposed 38'-8" north west roof)

Setbacks

**1<sup>st</sup> Avenue (West Property Line – primary frontage)** – average of 5 feet. (48'-10" x 5' = 244.17 SF – 1<sup>st</sup> – 3<sup>rd</sup> floors)

	Required:	Proposed:	Difference:
<b>1<sup>st</sup> Floor</b>	244.17 SF	276.1 SF	<b>+31.93 SF</b>
<b>2<sup>nd</sup> Floor</b>	244.17 SF	276.1 SF	<b>+31.93 SF</b>
<b>3<sup>rd</sup> Floor</b>	244.17 SF	276.1 SF	<b>+31.93 SF</b>
<b>Total:</b>	732.5 SF	828.3 SF	<b>+95.79 SF</b>

**8<sup>th</sup> Street (North Property Line)** - average of 5 feet. (72'-9" x 5' = 364.58 SF 1<sup>st</sup> floor / 93'-1" x 5' = 465.4 SF 2<sup>nd</sup>/3<sup>rd</sup> floors)

	Required:	Proposed:	Difference:
<b>1<sup>st</sup> Floor</b>	364.58 SF	373.2 SF	<b>+8.62 SF</b>
<b>2<sup>nd</sup> Floor</b>	465.4 SF	472.2 SF	<b>+6.8 SF</b>
<b>3<sup>rd</sup> Floor</b>	465.4 SF	469.2 SF	<b>+3.8 SF</b>
<b>Total:</b>	1,295.38 SF	1,314.6 SF	<b>+19.22 SF</b>

**Alley (East Property Line)** - 3 feet

	Required:	Proposed:	Difference:
<b>1<sup>st</sup> Floor</b>	3'	3'	<b>equal</b>

<b>2<sup>nd</sup> Floor</b>	3'	3'	equal
<b>3<sup>rd</sup> Floor</b>	3'	3'	equal
<b>Total:</b>	3'	3'	equal

**Internal (South Property Line) – 0'** (we are proposing a 3'-0" setback until the garage which will be 0')

	<b>Required:</b>	<b>Proposed:</b>	<b>Difference:</b>
<b>1<sup>st</sup> Floor</b>	0 SF	185.3 SF	+185.3 SF
<b>2<sup>nd</sup> Floor</b>	0 SF	267 SF	+267 SF
<b>3<sup>rd</sup> Floor</b>	0 SF	267 SF	+267 SF
<b>Total:</b>	0 SF	811.3 SF	+719.3 SF

## **RESPONSE TO PRE-AP PRESENTATION COMMENTS:**

These were the major discussion points from the Pre-Application Design Review hearing on **July 13<sup>th</sup>**:

- Look into the mural on the corner and see if its worth-while doing the lighting behind the perforated metal panels. Get additional examples to show commission how it is really done / executed (Tim / Jennifer) *Refer to details provided showing examples of perforated screens used on buildings/structures. No lighting will occur behind the perforation.*
- Adjust color and materials on the south façade, not black or graphite. (Brenda / Jennifer / Matty) *Refer to revised model shots for new color and direction of exterior materials on A0.2-4.*
- Remove handrail on front patio entry into unit 101 on 1<sup>st</sup> avenue. (Kurt has researched that we can do a 3' wide landscape buffer for fall protection from the patio. I will put a handrail on the exterior wall for the code for the stairs) *Handrail has been used and now we are proposing a low landscape buffer 3' wide to compensate fall hazard. This will be maintained to keep the condition to a maximum 4' high from the sidewalk to top of landscape. This can be identified in the final CCR's as well.*
- Adjust setbacks along 8<sup>th</sup> Street to have an average of 5' on the 3 floors. *Refer to plans A2.1B, A2.2B and A 2.3B that shows the color-coded setback areas that define the revised condition. The original building footprint presented at last weeks P&Z hearing have been revised on all floors.*
- Revise screening at carpark. Option would be to do more perforated screening similar to the mountain mural without having it backlit, that way it would tie into the corner of the site as well. *Unfortunately, due to the parking constraints and width of lot there is no room for a planter bed in that location. We are now proposing a similar perforated screen as to the NW corner of the lot.*
- Introduce more landscaping. Confused a little on this as when we added landscaping along 1<sup>st</sup> and then comments from staff was that they didn't want a hedge along there and showed a slide that the plantings could grow between 5-7' but that is against code? If we planted Swedish aspens they would grow even taller? Need guidance here.) (All commissioners) *Refer to revised landscape plans that show updated landscape. We feel that introducing another street bench at the side of the stairs for the lower unit will help give another pedestrian element along this frontage to tie into the previously proposed street bench on 8<sup>th</sup> street. The owner of the lower unit needs an exterior space, so the patio will be maintained as previously proposed/presented.*
- Possible street furniture (bench) along 1<sup>st</sup> avenue. (Tim) *See revised landscape plans and architectural site plans that show another street bench located on 1<sup>st</sup> avenue.*



- Add additional lighter material along the 8<sup>th</sup> street elevation so it wasn't so dark. *Refer to model shots showing how we have revised some of the exterior materials along east end of the North Façade with lighter colors. These can be seen in the revised model shots.*
- Discussion of street trees in the ROW? Need guidance from staff on this. We can two options in the rendering and model shots that show some street trees along 8<sup>th</sup> street and then 1<sup>st</sup> ave. Thoughts? This could be presented and then the commission could decide on which option? *Refer to the additional model shots that show updated views showing more additional landscaping added to the north and west side of the project. No street trees have been proposed in the ROW as per discussion with Morgan on August 12<sup>th</sup>. The concern here was ongoing maintenance for the city once trees had been established.*

## **RESPONSE TO STAFF LETTER COMMENTS (August 16<sup>th</sup>, 2021):**

### **Design Review**

o **Initial Comment:** Two landscape plans were submitted (Sheet L2 and L2 – Option B) with corresponding renderings. Per our discussion during the meeting on August 11, 2021, staff requests the applicant submit only one option for landscaping and that all sheets within the plan set match the preferred plan. Staff will not request the inclusion of street trees for this application to meet the design review criteria. Please revise the submittal package to include one landscape plan, update all renderings (including Sheet A0.1), and ensure that all subsequent sheets reflect the proposed landscape plan.

□ **Staff Comment:** Staff specifically requested an update to Sheet A0.1, however, the sheet does not accurately reflect the landscaping shown on Sheet L2. Please update the rendering accordingly.

*All floorplans and Landscape plans match. Sheet A0.1 is missing the two Swedish Aspens shown in the landscape plan. The rendering will be delivered to the city no later than noon tomorrow. The Landscape plan shows what is constructed, the rendering is only a presentation tool.*

o **Initial Comment:** Sheets A2.1B – A2.3B demonstrate the setback calculation conducted by the applicant. Per the meeting on August 11, 2021, please revise the setback calculations by using the façade to measure the minimum requirement and the proposed setback at each floor. Please revise the noted sheets and the cover letter submitted with the application materials. Please note, on the first setback table on page 4 of the cover letter, the 1st Avenue side is referenced as the North Property Line, which is incorrect.

□ **Staff Comment:** Staff provided specific written direction to the applicant during a meeting on Wednesday, August 11, 2021. Sheet A2.1B has been updated accordingly, however, sheets A2.2B and A2.3B have not been updated per the direction provided by staff. Additionally, as noted in the initial comments, the cover letter still references 1st Avenue as the “North Property Line”, which is incorrect. Please update Sheets A2.2B and A2.3B and revise the cover letter accordingly.

*Please refer to the revised pdfs for A2.2B / A2.3B, these had a lock on the overwrite of the pdf I sent to you at the end of the day Friday. All the figures are the same as in the spreadsheet within the cover sheet. We may have a disconnect on where the building starts and stops on 8th, but we calculated the 1st floor as you explained the definition. There was typo in the spreadsheet, it still mentioned the North Property line and said 1st Ave (primary frontage) but should have said 1st Ave (West Property line), however calculations are correct and should not be held up for a typo.*

o **Initial Comment:** Please confirm that the plans still contemplate a back lit mural at the corner of 1st Ave and 8th Street. The resubmitted materials only reference the images added to the submittal but do not indicate any changes to the lit element.

□ **Staff Comment:** Staff did not find a response to this comment in the resubmittal package. Please provide a response in writing or indicate to staff where notes may be contained within a sheet reference.

*Lighting was removed from the back of the perforated Mural at the corner of 1st Ave and 8th street. The electrical site plans/photometrics and building elevations make no mention of any strip lighting behind the perforated metal screens. This will also be presented to the commission in the hearing.*

o **Initial Comment:** An Encroachment Agreement will be required for the roof overhangs on 1st Ave, 8th Street and the alley and the snowmelt within the public right-of-way on 1st Ave and 8th Street. The encroachment agreement will be drafted during the review of the building permit and must be approved by City Council prior to Certificate of Occupancy.

□ **Staff Comment:** No action required at this time.

*As per Staff's comments. Encroachment permit application will be submitted at the time of building permit application.*

o **Initial Comment:** Please provide written confirmation from Idaho Power that the proposal to access power from the transformer across the street has been reviewed and approved for service.

□ **Staff Comment:** Staff requested confirmation from Idaho Power of the current proposed access from an off-site transformer. The letter submitted appears to be a standard will-serve letter ahead of further details being finalized and states that the service is contingent upon required easements and right-of-way being obtained by Idaho Power. Please provide confirmation of approval of the proposed power plan and provide clarity on what easements or right-of-way must be required to facilitate service.

*I talked to Cyndi Bradshaw at Idaho Power and she was confused what the city is asking for? The "will serve" letter that I have presented is what she has been providing for similar projects. If there is something else that is needed, I think the city and Idaho power need to discuss the standards for will serve language. Since Bluebird passed, maybe you can share their letter with us so we can use that as an example and work with Idaho power to help the process. I submitted the letter on Friday's Submittal that Cyndi Bradshaw from Idaho Power sent to me when I asked her for a "will serve Letter" on August 6th.*

o **Initial Comment:** An Exceedance Agreement for the Floor Area Ratio bonus will be drafted and provided to the applicant during department review. This agreement must be approved concurrent with the Preliminary Plat Approval. This comment is informational only.

□ **Staff Comment:** No action required at this time.

*As per Staff's comments, this is not necessary for this submittal package.*

o **Initial Comment:** Please revise Sheet A0.5 to indicate traffic control measures, delivery schedules, and contractor parking during peak vehicular and pedestrian school traffic.

□ **Staff Comment:** Based on staff review, no revisions have been made to Sheet A0.5 to address this comment. Please revise accordingly.

*Refer to note #11 on A.5 Construction Management Plan about material deliveries. Our understanding and how the process has been completed in recent is that this is discussed in the Pre-Con meeting during the permitting stage of the project. If the city has changed this, then please provide the KMC language that changes this so we can comply. The commission can also weigh in on how they would like to see the plan executed differently than we proposed as a condition of approval.*

#### • Preliminary Plat

o **Initial Comment:** Please provide the draft Covenants, Conditions, and Restrictions (CC&Rs) for the project. This is required per KMC 16.04.030.J.22.

□ **Staff Comment:** Comment resolved.

*Previously submitted within Friday August 13<sup>th</sup> submittal.*

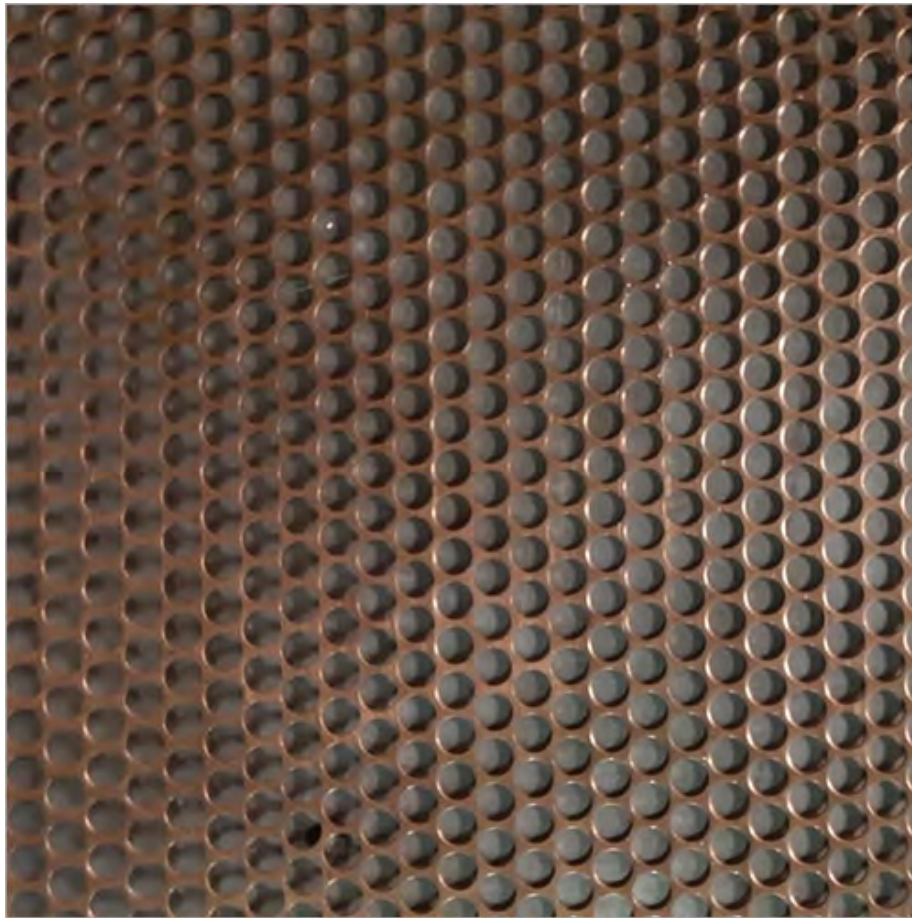
## **RESPONSE TO STAFF LETTER COMMENTS (September 1<sup>st</sup>, 2021):**

### **Planning**

• **Exceedance Agreement - Community Housing** – As the project is taking advantage of the FAR increase in exchange for community housing, mitigation of the increased FAR is required. The cover letter included in the application materials indicates the applicant may dedicate Unit 203 (454 square feet) to community housing and make a payment-in-lieu for the remaining 612 square feet. The current price per square foot for cash-in lieu is \$238/square foot. Based on current GFA on the submitted plans, the cash-in-lieu would be \$145,656. Please confirm the above commitments as the specifics of the community housing commitment will be memorialized in the exceedance agreement that will be reviewed and approved by City Council in conjunction with the Preliminary Plat, following design review approval. Staff will provide a draft exceedance agreement under separate cover once confirmation of the unit is received.

• **Screening of Rooftop Mechanical Equipment** – The sheet index for the plan set indicates inclusion of Sheet M1.3 – Roof HVAC Plan, however, the sheet is not included in the physical or electronic copies of the submittal. Sheets A3.1 and A3.2 indicate the location of the elevator roof; however, identification of materials is not included. Please clarify the intended screening, either materials or paint colors, for any rooftop mechanical equipment required for the building.

*Refer to attached Building elevation A3.1, A 3,2 and Roof plan showing the location of the 3' high perforated metal screening (Bronze). See image of perforated Screen below.*



**Image shows perforated screening material on the roof to screen mechanical equipment.  
Posts will be bronze in color but set on the inside of screening material.**

- **Ground Floor Patio on N 1st Ave** – Proposed revisions to the ground floor patio are acceptable to staff and meet the requirements as outline in the KMC for fences, walls, and hedges. **No further action is required at this time.**

- **Landscaping** – As shown on Sheet L2, staff supports the revisions to the landscape plan and believes the adjustments meet the intent of the Planning and Zoning Commission's comments. Sheets A0.1-A0.4 do not fully illustrate the revised landscaping proposed along N 1st Ave at the ground floor, specifically the addition of the Flowering Crab trees and the low-lying Spirea. Staff recommends the renderings be revised to reflect the full landscape proposed, however, **approvals will be based on landscaping proposed on Sheet L2.**

*As per noted in the email response on September 1<sup>st</sup>, the renderings on Sheet A0.2-0.3, that particular software program (Sketchup) does not have the capability of placing the exact type of landscape as shown in L2 and the Photo rendering on Sheet A0.1.*

- **Outdoor Illumination** – Staff is supportive of the removal of the illumination from the corner mural.

- **Story Pole Placement** – One week prior to the hearing on September 21, 2021, all building corners must be staked, and trees proposed to be removed shall be flagged. For story poles, please place one story pole at the corner of 8th Street and N 1st Ave, as close to the corner as feasible. Please also place one story pole along the alley side of the property.

*Story Poles and staking will occur by Galena Engineering on September 14<sup>th</sup>.*

- **South Façade** – Staff believes the change to material color and orientation address the Planning and Zoning Commission's comments satisfactorily. **No further action is required.**

- **Preliminary Plat**

- o Sheet 2 outlines various limited common elements and parking spaces with either a double line or single line. It is staff's understanding that only the building or structure should be delineated with a double line and that limited common elements and common area outside the building or structure should be delineated with a single line. Please review Sheet 2 of the plat in comparison with the floor plans of the proposed building and revise accordingly.

*Refer to Galena Engineering updated Preliminary Plat information attached.*

- o Please add a plat note to Sheet 1 referencing the Blaine County Housing Authority deed restriction of Unit 203 for community housing.

*Waiting on language from Morgan as per correspondence with Sam (Galena) on Thursday 2<sup>nd</sup> September.*

- o The City of Ketchum is updating certificate language related to City Planner approval and City Council approval. Revised certificate language will be forwarded under separate cover for revision prior to Preliminary Plat approval.

*Waiting on language from Morgan as per correspondence with Sam (Galena) on Thursday 2<sup>nd</sup> September.*

- o The Blaine County Recorder's Certificate appears to be cut off on Sheet 3. Please revise.

*Refer to Galena Engineering updated Preliminary Plat information attached.*

- o Please add the City of Ketchum file number of P21-038 to the bottom right of all sheets.

*Refer to Galena Engineering updated Preliminary Plat information attached.*

### **Streets and Engineering**

See Attachment A for City Engineer and Streets comments. No revisions to the application materials are required at this time, however, conditions of approval will be recommended to address comments #3, #4, and #5. Of specific note, the city will not permit a cut of 8th Street for electric service without demonstrated failed attempts first.

### **Utilities – Water and Sewer**

- No comments from sewer
- Water – the comments below will be recommended as conditions of approval for the project, to be addressed at building permit application.
  - o A new tap and install of fire suppression line with a common domestic meter sized by an engineer will be required at building unless individual meters are planned for each unit. If individual meters are planned, there will be connection fees for each. Inspection is required for tap and installation. The existing service to the lot will need to be abandoned at the main.
  - o Domestic meter or meters will need to be plumbed in off the fire line in the Mechanical room with isolation valves on both sides.

### **Fire**

See Attachment B for Fire Department comments. No action is required at this time to address these comments.

*See the attached E5.0, 5.1 & 5.2 for the locations of Smoke and CO detectors. These will be submitted also with the final Permit Application submittal.*



August 9, 2021

Reid Sanborn  
Po Box 5023  
Ketchum, Id 83340

To whom it may concern,

Thank you for your inquiry about electrical service at 780 N 1st Ave  
Ketchum, Id 83340

This property is located within Idaho Power's service area in the state of Idaho .

Idaho Power will provide electrical service to this location once any required easement or right of way are obtained by Idaho Power and/or the Customer, and in compliance with the statutes of the State of Idaho/Oregon and the Idaho Power tariffs on file with our regulators. Tariffs include the General Rules and Regulations that covers new service attachments and distribution line installations or alterations.

To start new service or obtain more information about new service, visit our website:  
<https://www.idahopower.com/service-and-billing/> . You may also contact Idaho Power's Customer Care Team at 208-388-2323, or 1-800-488-6151 (outside the Treasure Valley).

The planned installation of power to this project will begin with a transformer upgrade on the north side of 1st Ave. New underground secondary will be installed across 1st Ave to the south and a junction box to be placed on property. The method of installation of secondary must be to cut asphalt given the location of the transformers.

Sincerely,

*Cyndi Bradshaw*

Cyndi Bradshaw  
Distribution Designer  
Cbradshaw@Idahopower.Com  
208-788-8002

# C L E A R   C R E E K   D I S P O S A L

PO Box 130 • Ketchum, ID 83340 • Phone 208.726.9600 • Fax: 208.726.8041

August 7, 2021

Planning & Zoning  
City of Ketchum  
P O Box 2315  
Ketchum, ID 83340-2315

Re: 780 1<sup>st</sup> Ave N

To whom it may concern,

Please allow this letter to serve that Daniel P Hollis of Hollis Partners Architects has engaged in conversations with me, regarding the new building mentioned above.

This building will house five single family homes and will utilize carts for garbage service. *There is not enough room to accommodate one cart per residence, so there will be multiple pickups per week to allow for five residences.* The future HOA will need contract for moving carts to the alley or street for pickup and return to the enclosure as an additional special service. Clear Creek Disposal will not accept responsibility for any damage to building and/or vehicles from the movement of carts.

If you have any questions regarding this project, please don't hesitate to call.

Sincerely,



Mike Goitiandia  
Clear Creek Disposal

.780 1<sup>st</sup> Ave N





# APPLICATION DESIGN

780 N 1st Ave  
Ketchum ID



Project Number:	<u>G5277</u>
Date:	7/26/2021
Written by:	Shaunak PILLAI
Version :	A





# The global leader in solar lighting



Fonroche Lighting America began as SolarOne, a pioneer in solar lighting in the U.S. for more than a decade. Now we are proud to be part of [Fonroche Lighting](#), the global leader in off-grid solar street lighting. The deep resources and broader scope of an established market leader lets us take solar lighting even further, from the tribal lands of Oklahoma to the West African Republic of Senegal.

We can invest in innovation, pushing efficiency and reliability even higher. We can provide field-tested expertise and responsive service to our customers. And we can take on projects of any size, from local to national. That's why so many [municipalities](#), [military](#) and [federal facilities](#), [tribes](#), [commercial properties](#), and [developers](#) trust us to deliver the full promise of solar lighting.



## The **3** key benefits for your project

### - OFF-GRID

100% solar, not connected to the utility grid. No outages.  
**365 nights of light a year – guaranteed.**

### - POWERFUL

Powerful illumination, on a par with grid-connected systems.

### - COST-EFFICIENT

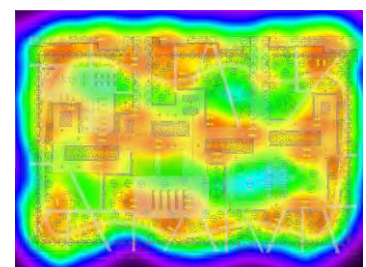
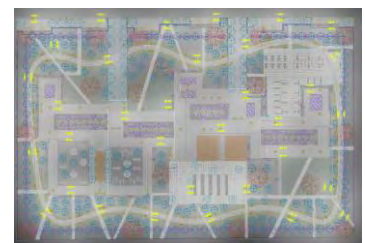
No maintenance for the first 10 years.  
Rapid installation. No operating costs.

## Feasibility of your solar lighting project

To guarantee powerful, cost-effective off-grid lighting, SolarOne operates its own **design office**.

We assess the feasibility of each project in four stages:

1. First, we define your **lighting requirements**.
2. Next, we analyze the last 10 years of **local weather data** to determine how much energy our PV panels will generate.
3. On this basis, we **calculate** what size and how many products we need to install.
4. Finally, our sales team draws up a **cost estimate**.



## 1 Project = 1 Study



1



### 10-Year Analysis of local weather data

We use the **PVsyst** software suite and **Meteonorm** historical time series irradiation data to calculate the real-world operating conditions — orientation and tilt angle of the panel, shadow, etc. — and external parameters, such as direct and diffuse irradiation, temperature and the solar calendar.

2



### Simulation of product(s) over a typical year

Our teams have developed a solar sizing software application, which we use to determine which products will best meet your needs. We then simulate how these products operate over a typical year, based on the average conditions for **the last decade**.

3



### Sizing the project to your needs

We use a set of key criteria to optimally specify your project:

- Average battery charge level over the year
- Minimum charge level
- Comparative analysis of energy generated by the panel vs. energy used by the system
- Worst-case scenario (lowest irradiation, longest night)

4



### Results

Based on our experience, we propose the **optimal solution** in terms of lighting **performance** and **cost effectiveness**.

Autonomy of  
**365**  
nights of lighting /year

SMARTLIGHT WITH SIGNIFY ROADFOCUS



  
Lumec RoadFocus LED



PHOTOVOLTAIC MODULE

PV panel power rating	NA
PV panel tilt angle	NA



POWER 365: SMART STORAGE AND MANAGEMENT

Battery capacity	NA
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LED LIGHT UNIT

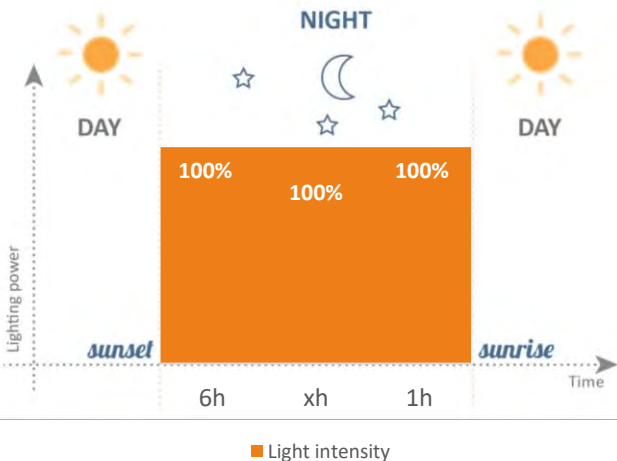
Lighting power	20 W nominal
LED light unit specification	2700K



POLE & CROSSPIECE

Pole height	14'
Protective treatment	Powder Coated T6 Aluminum

Chosen lighting profile for your project



# PHOTOMETRIC STUDY

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*\*Note: these results are only valid if the Smartlight PV panel is at an azimuth angle of zero degrees and is completely free of shadow.*

*\*\*These results are subject to change due to technological or regulatory advances. This technical report is valid for 60 days from the date you receive it.*

780 N 1st Ave



**FONROCHE**  
lighting AMERICA

**Lighting Plan**

Project Number: G5277

By: Shaunak Pillai  
shaunak.pillai@fonroche.us  
Date: 7/26/2021

220 Reservoir Street, Suite 19  
Needham, MA 02494  
Phone Number: (339) 225 4530  
www.fonrochesolarlighting.com

**Luminaire Schedule**

Symbol	Qty	Label	Description	LLF
—□	2	rfs-15w12led27k-g2-r2m	RFS-15W12LED2_7K-G2-R2M	1.000

**Luminaire Location Summary**

SeqNo	Label	X	Y	Z	Orient	Tilt
1	rfs-15w12led27k-g2-r2m	84.8	66.6	15.25	90	0
2	rfs-15w12led27k-g2-r2m	29.2	45	15.25	180	0

# 780 N 1st Ave



**FONROCHE**  
lighting AMERICA

## Lighting Plan

Project Number: G5277

By: Shaunak Pillai  
shaunak.pillai@fonroche.us  
Date: 7/26/2021

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Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Sidewalk	Illuminance	Fc	0.77	1.81	0.19	4.05	9.53



# 780 N 1st Ave



## Lighting Plan

Project Number: G5277

By: Shaunak Pillai  
shaunak.pillai@fonroche.us  
Date: 7/26/2021

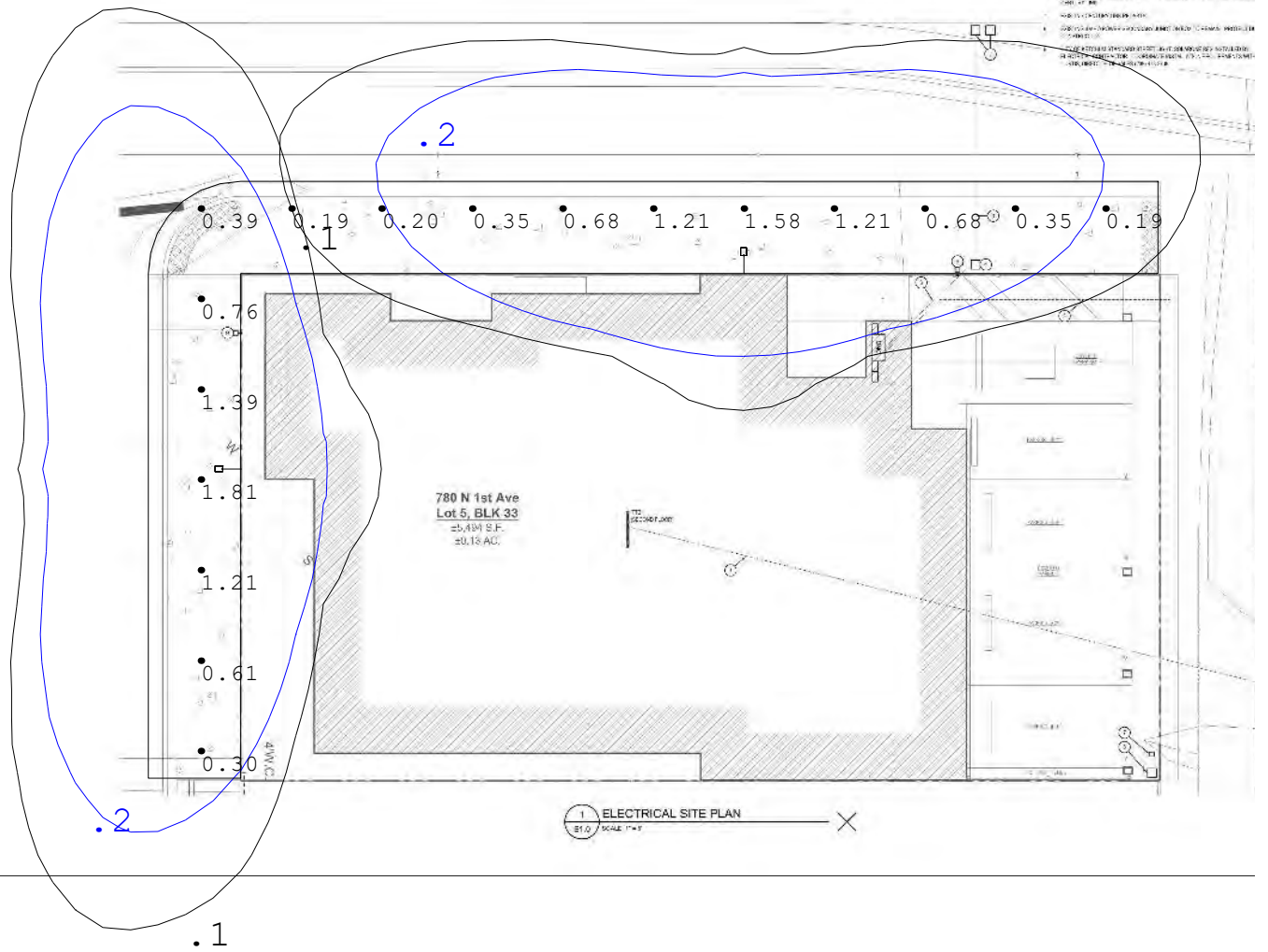
220 Reservoir Street, Suite 19  
Needham, MA 02494  
Phone Number: (339) 225 4530  
www.fonrochesolarlighting.com

### GENERAL NOTES:

1. CONSULT THE ARCHITECT FOR ALL INFORMATION REGARDING THE BUILDING AND SITE CONDITIONS.
2. SITE CONDITIONS: THE SITE IS A FLAT, OPEN AREA WITH NO OBSTACLES.
3. THE LIGHTING PLAN IS BASED ON THE ARCHITECT'S REQUIREMENTS AND THE SITE CONDITIONS.
4. THE LIGHTING PLAN IS BASED ON THE ARCHITECT'S REQUIREMENTS AND THE SITE CONDITIONS.

### KEYED NOTES:

1. THE LIGHTING PLAN IS BASED ON THE ARCHITECT'S REQUIREMENTS AND THE SITE CONDITIONS.
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780 N 1st Ave

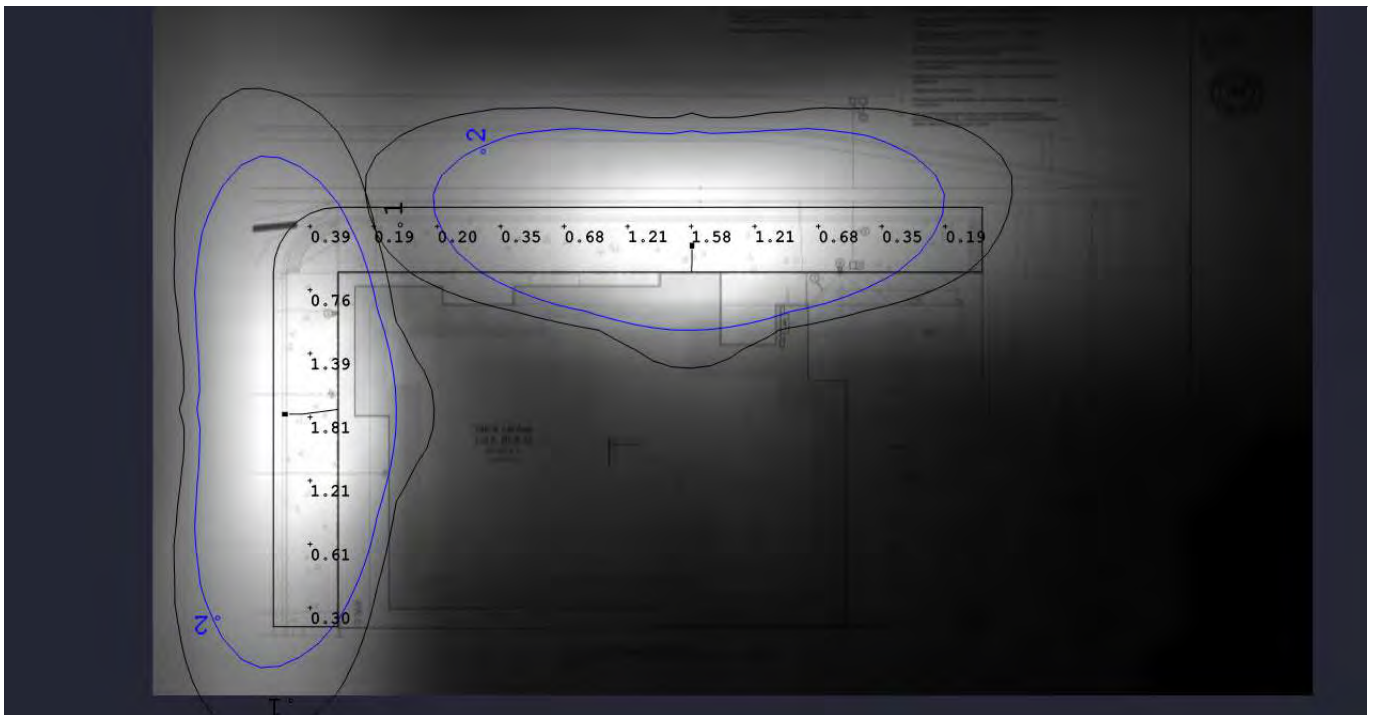


## Lighting Plan

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shaunak.pillai@fonroche.us  
Date: 7/26/2021

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3D Rendering



780 N 1st Ave

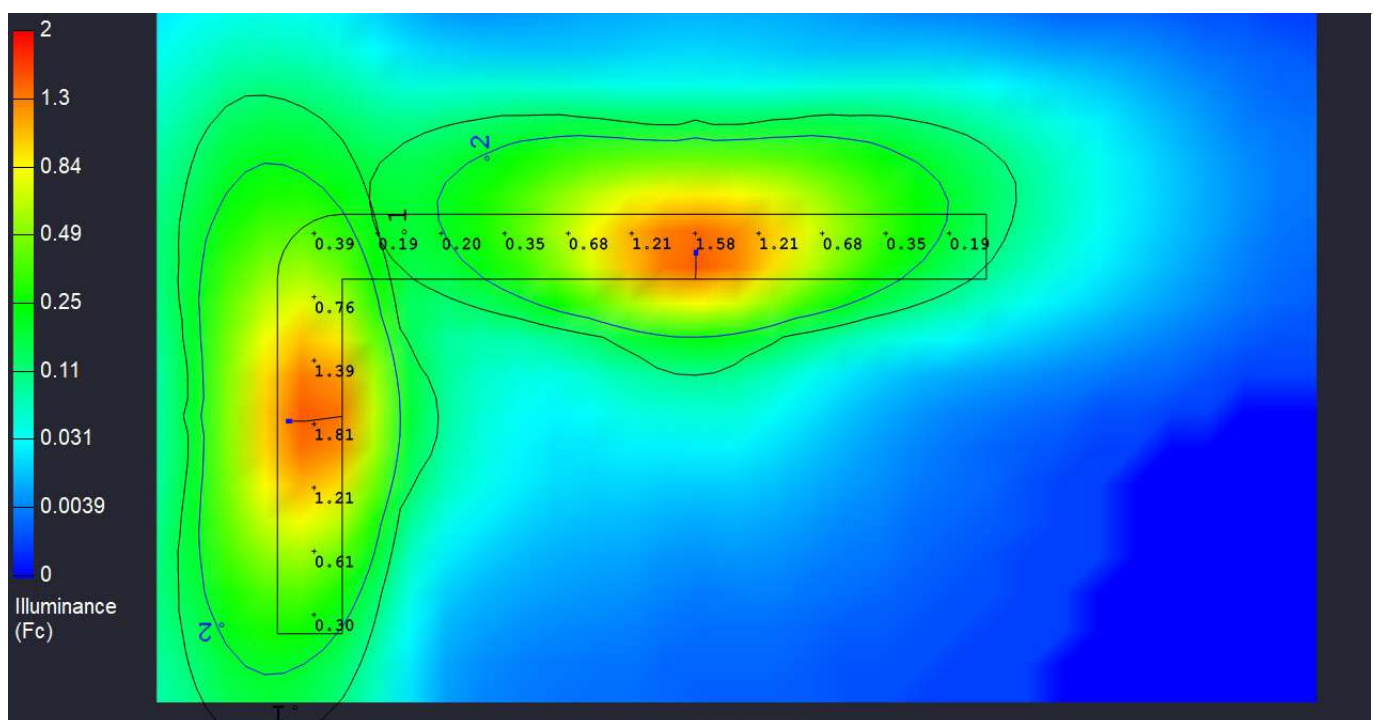


## Lighting Plan

Project Number: G5277

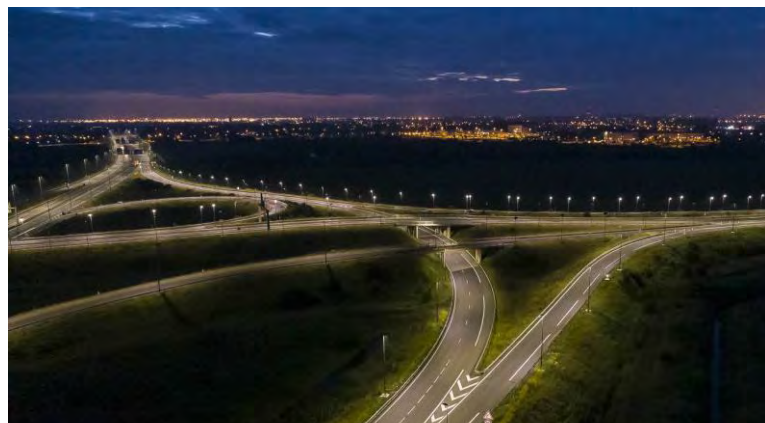
By: Shaunak Pillai  
shaunak.pillai@fonroche.us  
Date: 7/26/2021

220 Reservoir Street, Suite 19  
Needham, MA 02494  
Phone Number: (339) 225 4530  
[www.fonrochesolarlighting.com](http://www.fonrochesolarlighting.com)



False Color Rendering

## A few examples





Solar lighting

Your commitment to sustainability

**Contact us**

**Dale Curtis**

*Director of Sales*

**M: (208) 484-8993**

**E: dale.curtis@Fonroche.US**

FIND OUT MORE AT

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Needham, MA 02494 | USA  
**Telephone : 339-225-4530**



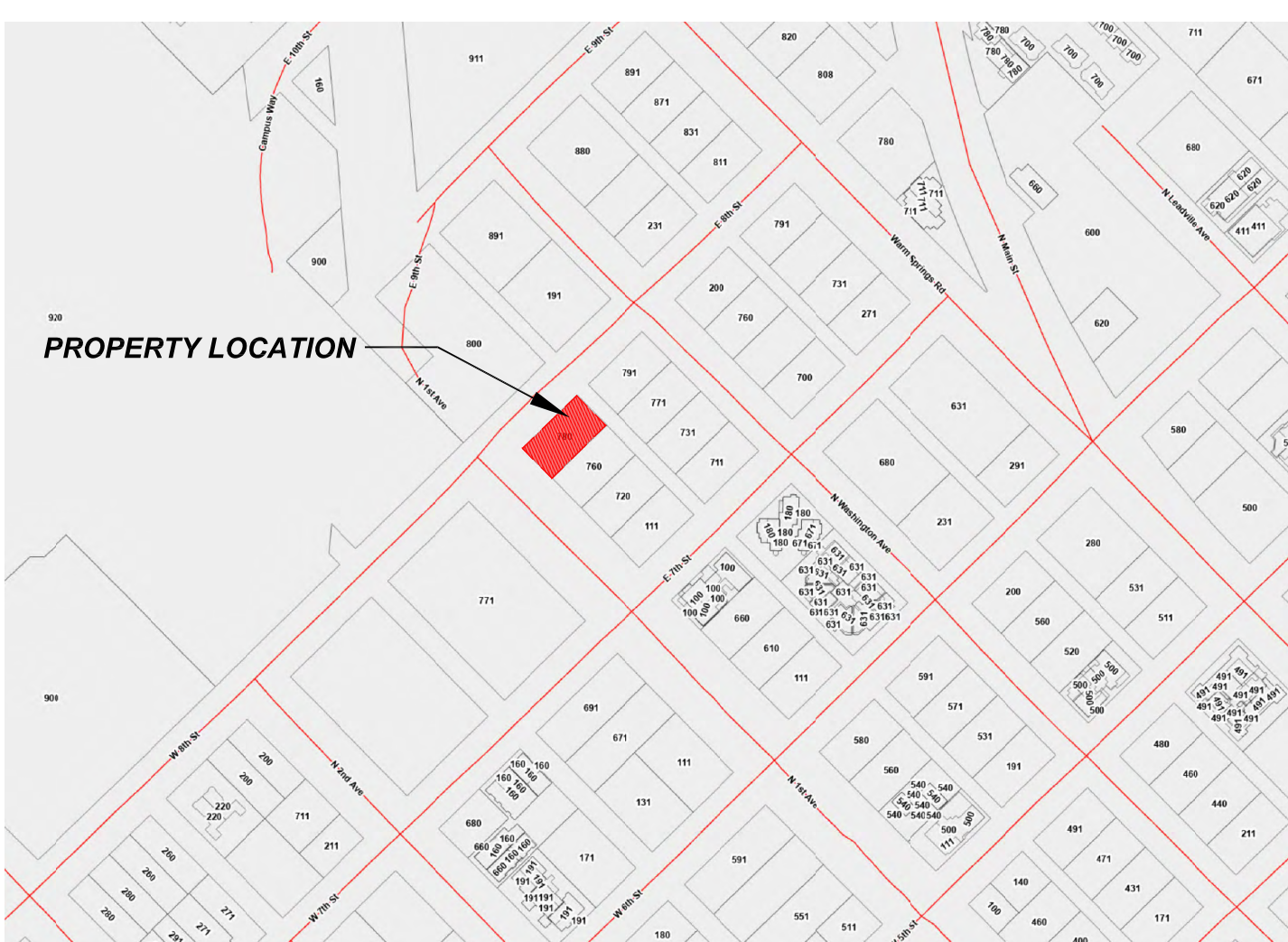
SITE VICINITY

LOT 5 BLOCK 33, 780 1st AVENUE, KETCHUM, IDAHO



SITE VICINITY ZONING

LOT 5 BLOCK 33, 780 1st AVENUE, KETCHUM, IDAHO



PROJECT DIRECTORY

**CLIENT & OWNER-BUILDER**  
**SV VENTURES, LLC**  
PO BOX 5023 (mailing)  
KETCHUM, ID 83340

**CONTACT ARCHITECT FOR ALL CLIENT COMMUNICATIONS**

**ARCHITECT**  
**HOLLIS PARTNERS ARCHITECTS, AIA**  
PO 1769 (POST)  
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220 RIVER STREET (COURIER)  
KETCHUM, ID 83340  
P: 208.721.7160  
E: daniel@hP-architects.com

**CONTRACTOR**  
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**STRUCTURAL ENGINEER**  
**MURAR ENGINEERING & DESIGN**  
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**GEOTECHNICAL ENGINEER**  
**BUTLER ASSOCIATES, INC**  
BOX 1034,  
KETCHUM, ID 83340  
P: 208.720.6432  
E: svgeotech@gmail.com

**MECHANICAL, ELECTRICAL & PLUMBING ENGINEER**  
**MUSGROVE ENGINEERING**  
234 WHISPERWOOD WAY (COURIER)  
BOISE, ID 83709  
P: 208.384.0585  
E: toddN@muscgrovepa.com

**CIVIL / SURVEYORS**  
**GALENA ENGINEERING, INC**  
317 N. RIVER STREET,  
HAILEY, ID 83333  
P: 208.788.1705  
E: sam@galena-engineering.com

**CODE COMPLIANCE**  
**DIA SULLIVAN, ARCHITECT PLLC**  
P.O BOX 233  
WHITEFISH, MT 59937  
P: 406.250.1016  
E: dsa@cyberport.net

**COM-CHECK**  
**JOHN REUTER, GREENWORKS**  
P.O BOX 4714  
KETCHUM, ID 83340  
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E: john@idahogreenworks.com

**INTERIORS**  
**LATHAM INTERIORS**  
P.O BOX 5739  
KETCHUM, ID 83340  
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E: Sarah@lathaminteriors.com

**ACOUSTICS**  
**MULLINS ACOUSTICS**  
10400 OVERLAND ROAD #211  
BOISE, ID 83709  
P: 208.514.6264  
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PROJECT DATA

**LEGAL OWNER** SV VENTURES, LLC  
**OWNER'S ADDRESS** 780 1st AVENUE  
KETCHUM, ID 83340

**CODE** 2018 IBC  
**ZONING** CC2: COMMUNITY CORE (2)

**SETBACKS**  
**FRONT YARD** 5' AVERAGE (1st AVE)  
**SIDE YARD** 0' INTERIOR (5' AVERAGE 8th ST)  
**REAR YARD** 3' (ALLEY)

**HT LIMITATION** 42' (PROPOSED 38'-8")  
**USE OCCUPANCY** RESIDENTIAL: GROUP R-2

**CONST. TYPE** V-B (SPRINKLERED)

**CODE COMPLIANCE:** IBC 2018  
IRC 2018  
IECC 2018  
CMEC 2018  
IPMC 2018  
IFC 2018

PROVIDE REQUIRED UNDER FLOOR VENTING/  
RADON MITIGATION AS REQUIRED.

PROVIDE REQUIRED UNDER FLOOR VENTING  
MOLD MITIGATION AS REQUIRED.

PROVIDE UNDER FLOOR (CRAWL SPACE)  
VENTILATION OF 1 CFM PER 150 SF OF FLOOR  
AREA

**FLOOR LIVE LOAD:** 100 PSF, 40 PSF RESIDENTIAL  
**ROOF LIVE LOAD:** 100 PSF (SNOW LOAD)  
**SEISMIC ZONE:** D  
**WIND LOADS:** 115 MPH 3 SECOND GUST (ULT)  
CATEGORY II  
IMPORTANCE FACTOR = I

AREA CALCULATIONS

SITE AREA	5,500 SF
PROPOSED 1st FLR AREA	3,502 SF
PROPOSED 2nd FLR AREA	4,144 SF
PROPOSED 3rd FLR AREA	4,112 SF
PROPOSED DECK / PATIO AREA	1,198 SF
NET RESIDENTIAL AREA	9,280 SF
TOTAL GROSS BUILDING AREA	11,758 SF

DRAWING INDEX

GENERAL	PROJECT DATA / GENERAL NOTES / INDEX	A8.0	CASEWORK UNIT #101
A0.1	EXTERIOR 3D MODEL VIEWS	A8.4	CASEWORK UNIT #101
A0.2	EXTERIOR 3D MODEL VIEWS	A8.5	CASEWORK UNIT #201
A0.3	EXTERIOR 3D MODEL VIEWS	A8.6	CASEWORK UNIT #201
A0.4	EXTERIOR 3D MODEL VIEWS	A8.7	CASEWORK UNIT #201
A0.5	STAGING AND CONTRACTOR PARKING PLAN	A8.8	CASEWORK UNIT #201
A0.6	EXTERIOR MATERIALS & COLORS SAMPLE BOARD	A8.9	CASEWORK UNIT #201
A0.7	CODE ANALYSIS	A8.10	CASEWORK UNIT #202
A0.8	CODE ANALYSIS	A8.11	CASEWORK UNIT #203
A0.9	1st FLOOR EXITING PLAN	A8.12	CASEWORK UNIT #204
A0.10	2nd FLOOR EXITING PLAN	A8.13	CASEWORK UNIT #301
A0.11	3rd FLOOR EXITING PLAN	A8.14	CASEWORK UNIT #301
A0.12	ROOF FIRE RATING PLAN	A8.15	CASEWORK UNIT #302
A0.13 / 1.0	ENERGY COMPLIANCE (GREENWORKS)	A8.16	CASEWORK UNIT #302
		A8.17	CASEWORK UNIT #302
		A8.18	CASEWORK UNIT #302
		A8.19	CASEWORK UNIT #302
SURVEY PLAN			
C	TOPOGRAPHICAL & SITE INFORMATION		
C0.1	COVER SHEET		
C1.0	SITE GRADING & DRAINAGE PLAN (GALENA ENG.)	A9.1	STAIR DETAILS
C1.1	SIGNING, PAVEMENT MARKING & LIGHTING	A9.2	STAIR SECTION
C2.0	DETAILS (GALENA ENG.)		
LANDSCAPE		BLDG ENVELOPE	
L0.0	LANDSCAPE PLAN	BE000	GENERAL NOTES / SPECIFICATIONS
L1.0	LANDSCAPE PLANTING SCHEDULE	BE100	BELOW GRADE DETAILS
		BE200	WALL DETAILS
		BE300	PENETRATION DETAILS
		BE400	DECK & ABOVE GRADE DETAILS
		BE401	DECK & ABOVE GRADE DETAILS
		BE500	WINDOW & DOOR DETAILS
		BE600	ROOF DETAILS
		BE601	ROOF DETAILS
ARCHITECTURAL		STRUCTURAL	
A1.1	ARCHITECTURAL SITE PLAN	S 0.0	STRUCTURAL INDEX, LEGENDS & SPEC'S
A1.2	SITE PLAN	S 1.0	FOUNDATION & FIRST FLOOR FRAMING PLAN
A2.0	DIMENSIONED FOUNDATION PLAN	S 1.1	SECOND FLOOR FRAMING PLAN
A2.1	FIRST FLOOR PLAN	S 1.2	THIRD FLOOR FRAMING PLAN
A2.2	SECOND FLOOR PLAN	S 1.3	ROOF FRAMING PLAN
A2.3	THIRD FLOOR PLAN	S 2.0	GENERAL STRUCTURAL DETAILS
A2.4	DIMENSIONED FIRST FLOOR PLAN	S 2.1	GENERAL STRUCTURAL DETAILS
A2.5	DIMENSIONED SECOND FLOOR PLAN	S 3.0	FOUNDATION STRUCTURAL DETAILS #1
A2.6	DIMENSIONED THIRD FLOOR PLAN	S 3.1	FOUNDATION STRUCTURAL DETAILS #2
A2.7	ROOF PLAN	S 3.2	FOUNDATION STRUCTURAL DETAILS #3
A2.8	FIRST FLOOR FINISHES PLAN	S 4.0	STEEL DETAILS #1
A2.9	SECOND FLOOR FINISHES PLAN	S 4.1	STEEL DETAILS #2
A2.10	THIRD FLOOR FINISHES PLAN	S 4.2	STEEL DETAILS #3
A2.11	ISOLATED PLAN - UNIT #101	S 4.3	STEEL DETAILS #4
A2.12	ISOLATED PLAN - UNIT #201	S 4.4	STEEL DETAILS #5
A2.13	ISOLATED PLAN - UNIT #202	S 4.5	STEEL DETAILS #6
A2.14	ISOLATED PLAN - UNIT #203	S 5.0	FLOOR FRAMING DETAILS #1
A2.15	ISOLATED PLAN - UNIT #204	S 5.1	FLOOR FRAMING DETAILS #2
A2.16	ISOLATED PLAN - UNIT #301	S 6.0	ROOF FRAMING DETAILS #1
A2.17	ISOLATED PLAN - UNIT #302	S 6.1	ROOF FRAMING DETAILS #2
A2.18	FIRST FLOOR REFLECTED CEILING PLAN		
A2.19	SECOND FLOOR REFLECTED CEILING PLAN		
A2.20	THIRD FLOOR REFLECTED CEILING PLAN		
A3.1	EXTERIOR ELEVATIONS (NORTH & EAST)		
A3.2	EXTERIOR ELEVATIONS (SOUTH & WEST)		
A4.1	BUILDING SECTIONS	MECHANICAL	
A4.2	BUILDING SECTIONS	M 0.0	MECHANICAL COVER SHEET
A4.3	BUILDING SECTIONS	M 0.1	MECHANICAL ZONING PLANS
		M 1.0	1st FLOOR HVAC PLAN
A5.1	WALL SECTIONS & DETAILS	M 1.1	2nd FLOOR HVAC PLAN
A5.2	WALL SECTIONS & DETAILS	M 1.2	3rd FLOOR HVAC PLAN
A5.3	WALL SECTIONS & DETAILS	M 1.3	ROOF HVAC PLAN
		M 2.0	RADON MITIGATION
A6.1	DOOR & WINDOW SCHEDULE	M 3.0	CONTROL SCHEMATICS
A6.2	DOOR & WINDOW SCHEDULE	M 4.0	MECHANICAL DETAILS
A6.3	DOOR & WINDOW SCHEDULE	M 4.1	MECHANICAL DETAILS
A6.4	DOOR & WINDOW SCHEDULE	M 4.2	MECHANICAL DETAILS
		M 5.0	MECHANICAL SCHEDULES
A8.1	CASEWORK UNIT #101	M 5.1	MECHANICAL SCHEDULES
A8.2	CASEWORK UNIT #101		

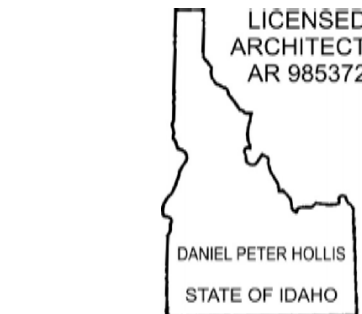
SYMBOLS LEGEND

1	GRID NO.	XX	WALL TYPE
A		GWB-1	FIN. CLNG MAT.
DOOR NO.		WOOD	FIN. FLR MAT.
WINDOW NO.		EF	CEILING MOUNTED EXHAUST FAN
INTERCONNECTED, HARDWIRED, BATT. BACKUP SMOKE ALARM / DETECTOR		101/A5.X	ROOM NO. / ENLARGED PLAN & INT. ELEVATION SHEET NO.
ELEV. KEY			ELEVATION MARKER
SECT. KEY			
INT. ELEV. KEY			



PO BOX 1769 [post]  
SUN VALLEY, ID 83353  
220 River St. E [courier]  
KETCHUM, ID 83343

V.208.721.7160



THIS WORK WAS PREPARED BY ME  
OR UNDER MY SUPERVISION AND  
CONSTRUCTION OF THIS PROJECT  
WILL BE UNDER MY OBSERVATION

MECHANICAL SPECIFICATIONS  
ELECTRICAL SPECIFICATIONS  
PLUMBING SPECIFICATIONS  
DRAWINGS BY DESIGN / BUILD CONTRACTOR  
REPORT & DETAILS (EARL MULLINS)  
LOOKBOOK / SPECIFICATIONS (FORTHCOMING)

REVISION DATE

D. REVIEW 07/23/21  
PRE-AP #4 07/01/21  
100% CD 05/14/21  
PROGRESS 04/30/21  
100% DD 04/07/21

ISSUE/DATE SCHEMATIC 02/18/21  
DRAWN BY DPH,JJR  
CHECKED BY DPH,JJR  
JOB NO. 1077

THE LOFTS @ 780 1st AVE

780 1st AVENUE,  
KETCHUM, IDAHO

PROJECT DATA  
GENERAL NOTES

A 0.0  
CATEGORY SEQUENCE





1  
A0.1

EXTERIOR COLOR RENDERING

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_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
REVISION DATE	_____
PERMIT	08/06/21
D. REVIEW	07/23/21
PRE-AP #4	07/01/21
100% CD	05/14/21
PROGRESS	04/30/21
100% DD	04/07/21
ISSUE/DATE	SCHEMATIC 02/18/21
DRAWN BY	DPH,JJR
CHECKED BY	DPH,JJR
DATE	01/11/21
JOB NO.	1077

THE LOFTS @  
780 1st AVE

780 1st AVENUE,  
KETCHUM, IDAHO

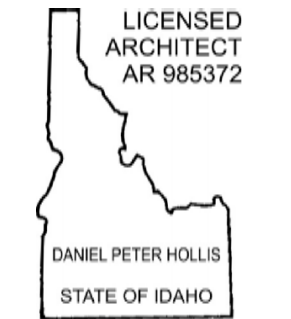
EXTERIOR  
COLOR RENDERING





PO BOX 1769 [post]  
SUN VALLEY, ID 83353  
220 River St. E [courier]  
KETCHUM, ID 83343

V.208.721.7160



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ISSUE/DATE	D. REVIEW	07/23/21
DRAWN BY	PRE-AP #4	07/01/21
DATE	100% CD	05/14/21
	PROGRESS	04/30/21
	100% DD	04/07/21
JOB NO.	SCHEMATIC	02/18/21
	DPH_JJR	
	DPH_JJR	
	01/11/21	
	1077	

THE LOFTS @  
780 1st AVE

780 1st AVENUE,  
KETCHUM, IDAHO

## BUILDING MASSING MODEL

A	0.2
CATEGORY	SEQUENCE





PO BOX 1769 [post]  
SUN VALLEY, ID 83353  
220 River St. E [courier]  
KETCHUM, ID 83343

V.208.721.7160



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	_____	_____
	_____	_____
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	_____	_____
	_____	_____
	_____	_____
REVISION DATE	_____	_____
D. REVIEW		07/23/21
PRE-AP #4		07/01/21
100% CD		05/14/21
PROGRESS		04/30/21
100% DD		04/07/21
SCHEMATIC		02/18/21
ISSUE/DAT E		
DRAWN BY		
CHECKED BY		
DATE	01/11/21	
JOB NO.	1077	

THE LOFTS @  
780 1st AVE

780 1st AVENUE,  
KETCHUM, IDAHO

## BUILDING MASSING MODEL

A	0.3
CATEGORY	SEQUENCE







SVHR-ARCHITECTURAL PROJECTS\1077-780 1st Ave North Multifamily\Arch\Sheets\1077-A0.6-SAMPLE BOARD.dwg, 7/21/2021 1:31:08 PM, Adobe PDF



FINISHED GREY METAL ROOF



WESTERN RIB BURNISHED SLATE CORRUGATED METAL



NANTUCKET OAK STONEWOOD SIDING



BRONZE/BLACK COLORED DOORS AND WINDOWS



STRATA ARGENTUM NEOLITH SIDING



GRAPHITE STONEWOOD SIDING

_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

REVISION DATE

_____	_____
D. REVIEW	07/23/21
PRE-AP #4	07/01/21
100% CD	05/14/21
PROGRESS	04/30/21
100% DD	04/07/21
ISSUE/DATE	SCHEMATIC 02/18/21
DRAWN BY	DPH,JJR
CHECKED BY	DPH,JJR
DATE	01/11/21
JOB NO.	1077

THE LOFTS @  
780 1st AVE

780 1st AVENUE,  
KETCHUM, IDAHO

EXT. MATERIALS &  
COLORS SAMPLE

A

CATEGORY

0.6

SEQUENCE



REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any project or extensions of this project except by agreement in writing with Galena Engineering, Inc.



#### LEGEND

Property Line	PR	PBOX = Power Box
Adjoiner's Lot Line	E	PMH = Power Manhole
Centerline	S	SS = Sewer Service
FD5/8 = Found 5/8" Rebar	SS	SMH = Sewer Manhole
CNTRL = Survey Control	SC	Storm Drain
SET5/8 = Set 5/8" Rebar	CB	CB = Catch Basin
5' Contour Interval	DWELL	DWELL = Dry Well
1' Contour Interval	SDMH	SDMH = Storm Drain Manhole
Curb & Gutter	KCW	Ketchum City Water Line (10")
FNC = Fence Line	KSW	Ketchum Spring Line (4")
Building	WS	WS = Water Service
EOA	WV	WV = Water Valve
EOA	AP	AP = Angle Point
Concrete Sidewalk	BEG	BEG = Beginning
Gravel Drive	BOW	BOW = Back of Walk
Pavers	CC	CC = Curb Cut
RTW = Retaining Wall	COR	COR = Corner
EOG = Edge Of Gravel	EOA	EOA = Edge of Asphalt
CT = Conifer Tree	EOC	EOC = Edge of Concrete
	EOP	EOP = Edge of Pavers
	IC	IC = Illegal Cap
	LIP	LIP = Lip of Gutter
	NC	NC = No Cap
	NG	NG = Natural Ground
	PC	PC = Point of Curve
	POC	POC = Point of Curvature
	TA	TA = Top of Asphalt
	TBC	TBC = Top Back of Curb
	TOE	TOE = Toe of Slope
	TP	TP = Top of Pavement
	TW	TW = Top of Wall
	X-WLK	X-WLK = Crosswalk
	SGN	SGN = Sign
	GM	GM = Gas Main
	TVB	TVB = Cable TV Buried
	TVBOX	TVBOX = Cable TV Riser
	PHB	PHB = Buried Telephone Line
	PHBOX	PHBOX = Telephone Riser
	PB	PB = Buried Power Line

#### NOTES

- The purpose of this map is to show topographical information as it existed on the date the field survey was performed. Changes may have occurred to site conditions since survey date (12/28/2020).
- Boundary information is based on Found Monumentation. Please refer to the Official Map of the Village of Ketchum, Instr#302967, records of Blaine County, Idaho.
- Underground utility locations are based on above ground appurtenances / utilities visible at the time of the survey, and underground utility locates performed for previous work, and City maps. Utilities should be located prior to any excavation.
- Galena Engineering Inc. has not received a Title Policy from the client and has not been requested to obtain one. Relevant information that may be contained within a Title Policy may therefore not appear on this map and may affect items shown hereon. It is the responsibility of the client to determine the significance of the Title Policy information and determine whether it should be included. If the client desires for the information to be included they must furnish said information to Galena Engineering, Inc. and request it be added to this map.
- Benchmark is top of 5/8" rebar marking the intersection of 8th Street and Washington Avenue, elevation = 5807.89. Point elevations shown are truncated (i.e. 19.2 is 5819.2). Vertical Datum is NAVD 1988.

PURPOSE:

NO. DATE BY

REVISIONS

TOPO

**GALENA**  
ENGINEERING, INC.  
Civil Engineers & Land Surveyors  
317 N. River Street  
Hailey, Idaho 83433  
(208) 788-1705  
email: galena@galena-engineering.com

DESIGNED BY  
CT  
DRAWN BY  
SMF  
CHECKED BY



**A TOPOGRAPHIC MAP SHOWING  
LOT 5, BLOCK 33, CITY OF KETCHUM  
780 N 1ST AVENUE**  
LOCATED WITHIN SECTION 13, T.4 N., R.17 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO  
PREPARED FOR GALENA PEAK PARTNERS/ HOLLIS RUMPELT ARCHITECTS

PROJECT INFORMATION  
P:\esd\proj\3559-02\dwg\Topo\3559-02\_topo.dwg 01/06/21 1:17:47 PM



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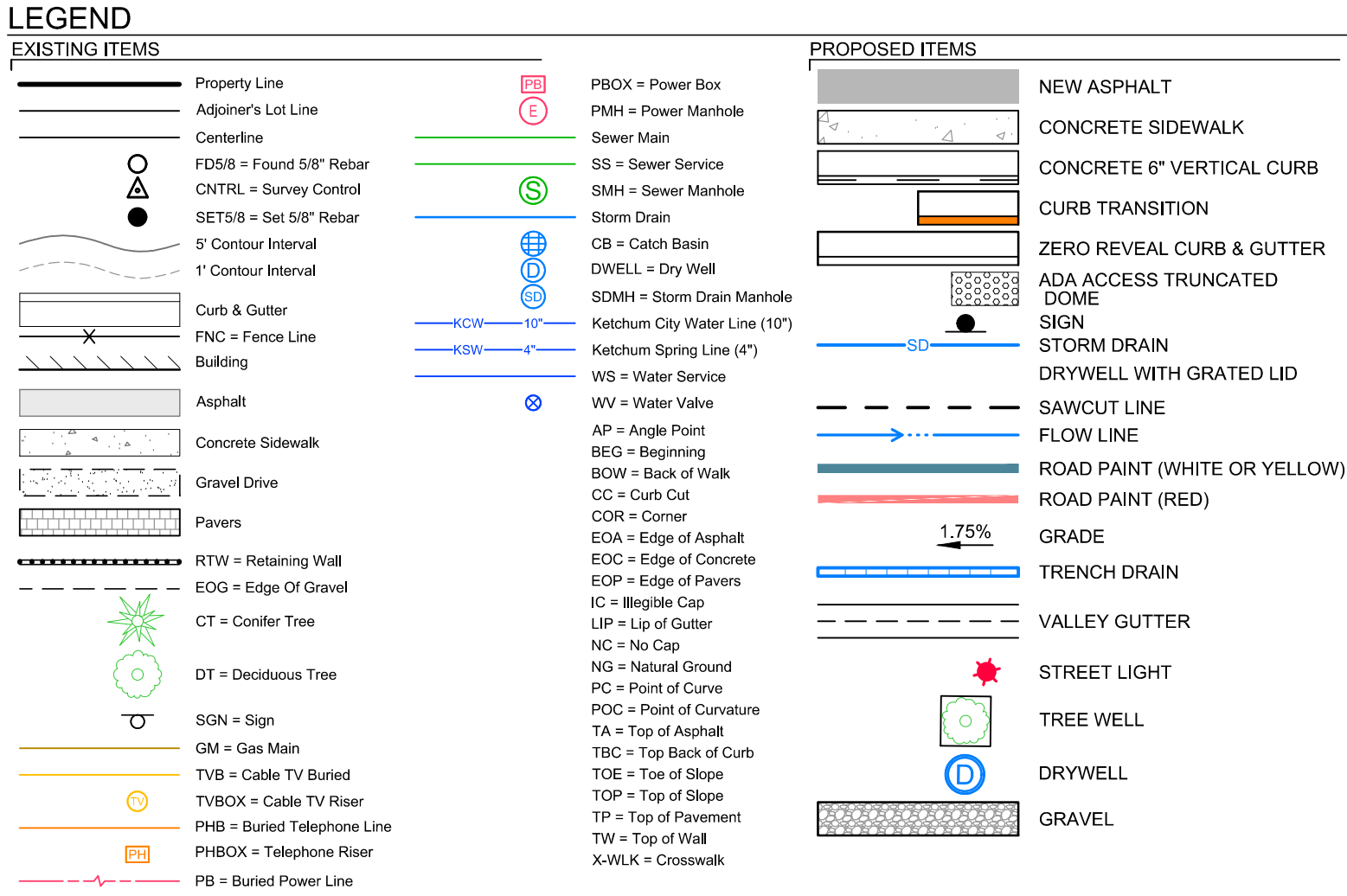
# 780 N 1ST AVENUE

## KETCHUM, IDAHO

### JULY 2021

#### CONSTRUCTION NOTES

1. ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE "IDAHO REGULATIONS FOR PUBLIC DRINKING WATER SYSTEMS," THE CURRENT EDITION OF THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISPMC), AND CITY OF KETCHUM STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ISPMC ON SITE DURING CONSTRUCTION.
2. THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES PRIOR TO COMMENCING AND DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL CALL DIGLINE (1-800-342-1585) TO LOCATE ALL EXISTING UNDERGROUND UTILITIES.
3. THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION, INCLUDING BUT NOT LIMITED TO, EPA'S NPDES CONSTRUCTION GENERAL PERMIT.
4. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION.
5. CONSTRUCTION OF WATER MAINS AND ALL OTHER RELATED APPURTENANCES SHALL BE IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPMC), IDAPA 58.01.08, IDAHO RULES FOR PUBLIC DRINKING WATER SYSTEMS AND THE CITY OF KETCHUM UTILITIES DEPARTMENT STANDARDS.
6. CONTRACTOR SHALL PRESSURE TEST, DISINFECT, AND CONDUCT BIOLOGICAL TESTING IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPMC), AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS, AND THE PRESSURE TESTING, DISINFECTION, AND MICROBIOLOGICAL TESTING PROCEDURES.
7. ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL BE ANSI/NSF STD. 61 COMPLIANT.
8. ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL COMPLY WITH THE LOW LEAD ACT REQUIRING ALL MATERIALS TO HAVE A LEAD CONTENT EQUAL TO OR LESS THAN 0.25%.
9. THE CONTRACTOR SHALL USE ANSI/NSF STANDARD 60 CHEMICALS AND COMPOUNDS DURING INSTALLATION & DISINFECTION OF POTABLE WATER MAIN.
10. CONTRACTOR SHALL COORDINATE LOCATIONS OF DRY UTILITY FACILITIES (POWER, CABLE, PHONE, TV) NOT SHOWN ON THE DRAWING WITH IDAHO POWER.
11. ALL CLEARING & GRUBBING SHALL CONFORM TO ISPMC SECTION 201.
12. ALL EXCAVATION & EMBANKMENT SHALL CONFORM TO ISPMC SECTION 202. EXCAVATED SUBGRADE SHALL BE COMPACTED AND ALL UNSUITABLE SECTIONS REMOVED AND REPLACED WITH STRUCTURAL FILL AS DETERMINED BY THE ENGINEER. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
13. ALL 2" MINUS GRAVEL SHALL CONFORM TO ISPMC 802, TYPE II (ITD STANDARD 703.04, 2"). SHALL BE PLACED IN CONFORMANCE WITH ISPMC SECTION 801 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99.
14. ALL 3/4" MINUS CRUSHED GRAVEL SHALL CONFORM TO ISPMC 802, TYPE I (ITD STANDARD 703.04, 3/4" B). SHALL BE PLACED IN CONFORMANCE WITH ISPMC SECTION 802 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
15. ALL ASPHALTIC CONCRETE PAVEMENT WORK SHALL CONFORM TO ISPMC SECTION(S) 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (13MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPMC SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPMC SECTION 805.
16. ALL EDGES OF EXISTING ASPHALT PAVING SHALL BE SAW CUT 24" TO PROVIDE A CLEAN PAVEMENT EDGE FOR MATCHING. NO WHEEL CUTTING SHALL BE ALLOWED.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL PER THE CURRENT EDITION OF THE US DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
18. ALL CONCRETE FORM WORK SHALL SHALL CONFORM TO ISPMC SECTION 701 AND 703. ALL CONCRETE SHALL BE 3,000 PSI MINIMUM, 28 DAY, AS DEFINED IN ISPMC SECTION 703, TABLE 1.
19. ALL TRENCHING SHALL CONFORM TO ISPMC STANDARD DRAWING SD-301. TRENCHES SHALL BE BACKFILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
20. TOPOGRAPHIC, SITE, AND BOUNDARY SURVEYS SHOWN HEREON WERE CONDUCTED BY GALENA ENGINEERING.
21. PER IDAHO CODE § 55-1613, THE CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS; ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS THAT ARE LOST OR DISTURBED BY CONSTRUCTION SHALL BE REESTABLISHED AND RE-MONUMENTED, AT THE EXPENSE OF THE AGENCY OR PERSON CAUSING THEIR LOSS OR DISTURBANCE AT THEIR ORIGINAL LOCATION OR BY SETTING OF A WITNESS CORNER OR REFERENCE POINT OR A REPLACEMENT BENCHMARK OR CONTROL POINT, BY OR UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR.



#### SHEET INDEX

SHEET#	DESCRIPTION
C0.1	COVER SHEET
C1.0	SITE, GRADING, AND DRAINAGE PLAN
C1.1	SIGNING, PAVEMENT MARKINGS, AND LIGHTING PLAN
C2.0	DETAILS

PURPOSE: 07.23.2021 FORMAL DESIGN REVIEW APPLICATION

NO. DATE BY REVISIONS

BY

C0.1

DESIGNED BY  
SKS  
DRAWN BY  
SKS  
CHECKED BY

**GALENA**  
ENGINEERING, INC.  
Civil Engineers & Land Surveyors  
317 N. River Street  
Hailey, Idaho 83433  
(208) 768-1705  
email: galena@galena-engineering.com

**PRELIMINARY**  
**NOT FOR**  
**CONSTRUCTION**

**COVER SHEET**  
**780 N 1ST AVENUE**

LOCATED WITHIN SECTION 13, T.4 N., R.17 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO  
PREPARED FOR GALENA PEAK PARTNERS

PROJECT INFORMATION  
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**GENERAL NOTE**  
SEE SHEET C0.1 FOR CONSTRUCTION NOTES AND LEGEND.  
SEE SHEET C1.1 FOR SIGNING, PAVEMENT MARKINGS, AND LIGHTING.

**CONSTRUCTION KEYNOTES**  
**SITE IMPROVEMENTS**  
S01 SAWCUT EXISTING ASPHALT TO PROVIDE FOR A CLEAN VERTICAL EDGE.  
S02 CONSTRUCT/REPAIR ASPHALT . SEE DETAIL 1, SHEET C2.0.  
S03 CONSTRUCT CONCRETE CURB  
a. 6" CONCRETE VERTICAL CURB AND GUTTER PER DETAIL 2, SHEET C2.0.  
b. ZERO REVEAL CURB AND GUTTER PER DETAIL 3, SHEET C2.0.  
c. CURB TRANSITION PER DETAIL 3, SHEET C2.0 [ (typ.) ].  
d. 2' WIDE CONCRETE VALLEY GUTTER PER DETAIL 4, SHEET C2.0.  
S04 INSTALL TRUNCATED DOME DETECTABLE WARNING INSERT. SEE DETAIL 8, SHEET C2.0.  
S05 INSTALL ECO BLOCK RETAINING WALL PER MANUFACTURER'S RECOMMENDATIONS. WALL HEIGHT VARIES 1'-3'.  
S06 CONCRETE CURB STOP PER ARCHITECTURAL PLANS.  
S07 CONCRETE RETAINING WALL PER ARCHITECTURAL PLANS.  
S08 INSTALL GRAVEL SURFACE PER DETAIL 11, SHEET C2.0.

**UTILITY IMPROVEMENTS**  
U01 TRENCH DRAIN WITH HEAT TAPE. INSTALL PER MANUFACTURER'S SPECIFICATIONS.  
U02 INSTALL DRYWELL PER DETAIL 10, SHEET C2.0. CONNECT ROOF DRAINS PER ARCH. RIM ELEV = XX; I.E. (N) = XX I.E. (IN) = XX  
U03 INSTALL CATCH BASIN PER DETAIL 6, SHEET C2.0.  
a. RIM ELEV = XX; I.E. (IN) = XX  
b. RIM ELEV = XX; I.E. (IN) = XX  
c. RIM ELEV = XX; I.E. (IN) = XX  
U04 INSTALL STREET LIGHT PER CITY OF KETCHUM STANDARDS. APPROXIMATE LOCATION SHOWN.  
U05 INSTALL 12"Ø D3034 PVC PIPE @ S=2.0% MIN. 3.0' MINIMUM COVER.  
U06 CUT, CAP, AND REMOVE EXISTING SERVICE AT WATER MAIN. INSTALL NEW WATER SERVICE. NEW SERVICE SIZE TO BE DETERMINED BY PLUMBING ENGINEER.  
U07 INSTALL 4"Ø WATER SERVICE, LOCATE METER IN MECHANICAL ROOM PER PLUMBING PLAN  
U08 RETAIN, PROTECT, UTILIZE EXISTING 4"Ø SEWER SERVICE.

**LOT 5, BLOCK 33, KETCHUM TOWNSITE 780 N 1ST AVE**

**CONSTRUCTION KEYNOTES**  
**SITE IMPROVEMENTS**  
S01 SAWCUT EXISTING ASPHALT TO PROVIDE FOR A CLEAN VERTICAL EDGE.  
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U08 RETAIN, PROTECT, UTILIZE EXISTING 4"Ø SEWER SERVICE.

**SITE, GRADING, AND DRAINAGE PLAN**  
**780 N 1ST AVENUE**  
LOCATED WITHIN SECTION 13, T 4 N, R 17 E, B.M., CITY OF KEI'ICHUM, BLAINE COUNTY, IDAHO  
PREPARED FOR ANDERSON PEAK PARTNERS  
PROJECT INFORMATION  
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**SITE, GRADING, AND DRAINAGE PLAN**  
**780 N 1ST AVENUE**  
LOCATED WITHIN SECTION 13, T.4 N., R.17 E., B.M.: CITY OF KETCHUM, BLAINE COUNTY, IDAHO  
PREPARED FOR GALENA PEAK PARTNERS  
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**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

DESIGNED BY  
SKS  
DRAWN BY  
SKS  
CHECKED BY

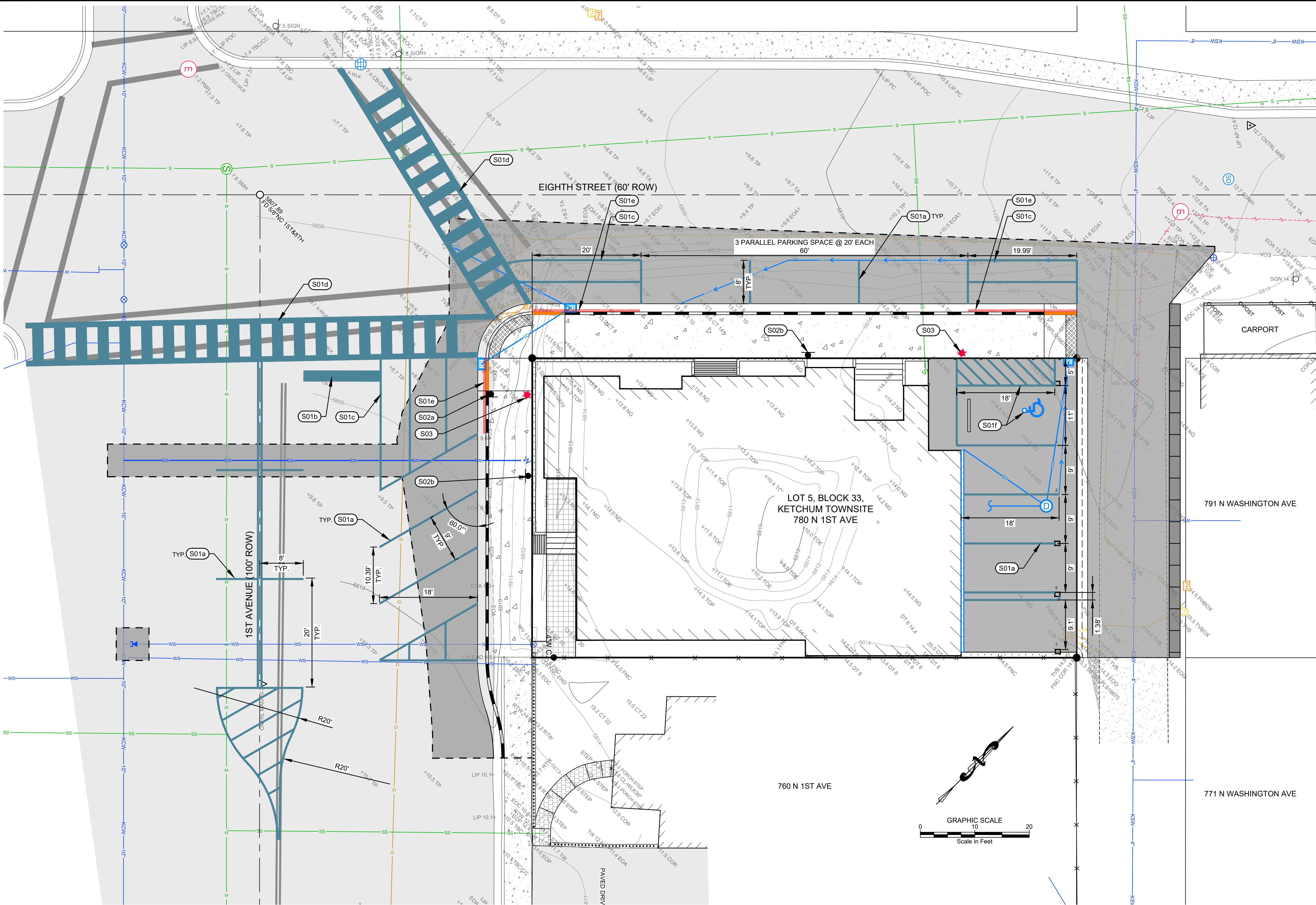
**GALENA**  
ENGINEERING, INC.  
Civil Engineers & Land Surveyors  
317 N. River Street  
Hailey, Idaho 83333  
(208) 788-1705  
email [galena@galena-engineering.com](mailto:galena@galena-engineering.com)

[illegible]

C1.0



REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any project or extensions of this project except by agreement in writing with Galena Engineering, Inc.



GENERAL NOTE  
SEE SHEET C0.1 FOR CONSTRUCTION NOTES AND LEGEND.

- CONSTRUCTION KEYNOTES
- SIGNING, PAVEMENT MARKING, AND LIGHTING IMPROVEMENTS
- (S01) INSTALL PAVEMENT MARKINGS PER CITY OF KETCHUM STANDARDS
- a. 4" WIDE YELLOW PARKING STRIPE
  - b. 24" WIDE WHITE STOP BAR
  - c. 4" WIDE YELLOW NO-PARKING STRIPE
  - d. WHITE CROSSWALK STRIPING (MATCH CITY PATTERNS)
  - e. NO PARKING ZONE (RED CURB)
  - f. 4" WIDE ADA STRIPING AND SYMBOL
- (S02) INSTALL SIGNS. CITY WILL PROVIDE SIGN BASES. SEE DETAIL 9, SHEET C2.0 FOR SIGN BASE DETAIL.
- a. RELOCATE STOP/STREET SIGN.
  - b. REGULATORY SIGN. COORDINATE TYPE AND FINAL LOCATION WITH CITY OF KETCHUM.
- (S03) INSTALL STREET LIGHT PER CITY OF KETCHUM STANDARDS. APPROXIMATE LOCATION SHOWN.

PURPOSE: 07.23.2021 FORMAL DESIGN REVIEW APPLICATION

NO.	DATE	BY	REVISIONS

C1.1

SIGNING, PAVEMENT MARKING, AND LIGHTING PLAN

780 N 1ST AVENUE

LOCATED WITHIN SECTION 13, T.4 N., R.17 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO

PREPARED FOR GALENA PEAK PARTNERS

PRELIMINARY

NOT FOR CONSTRUCTION

DESIGNED BY

SKS

DRAWN BY

SKS

CHECKED BY

GALENA

ENGINEERING, INC.

Civil Engineers & Land Surveyors

317 N. River Street

Hailey, Idaho 83433

(208) 788-1705

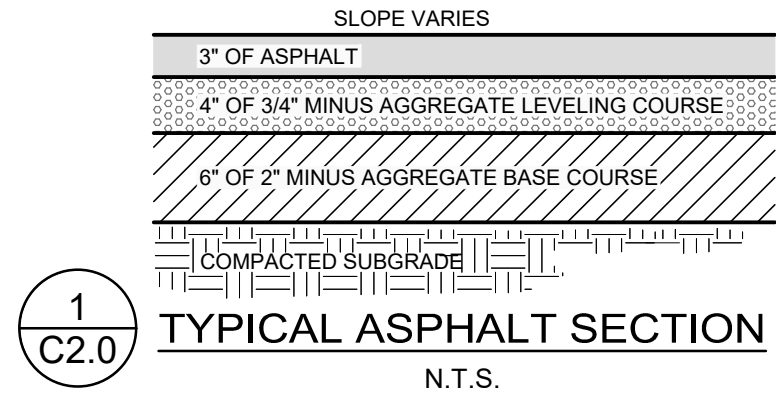
email: galena@galena-engineering.com

PROJECT INFORMATION

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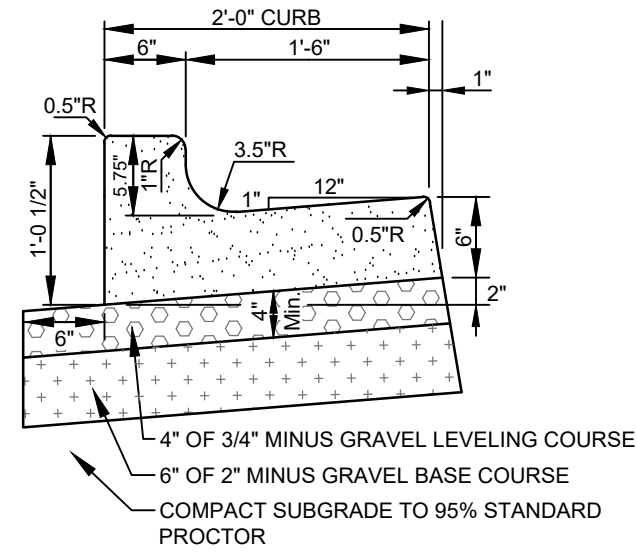


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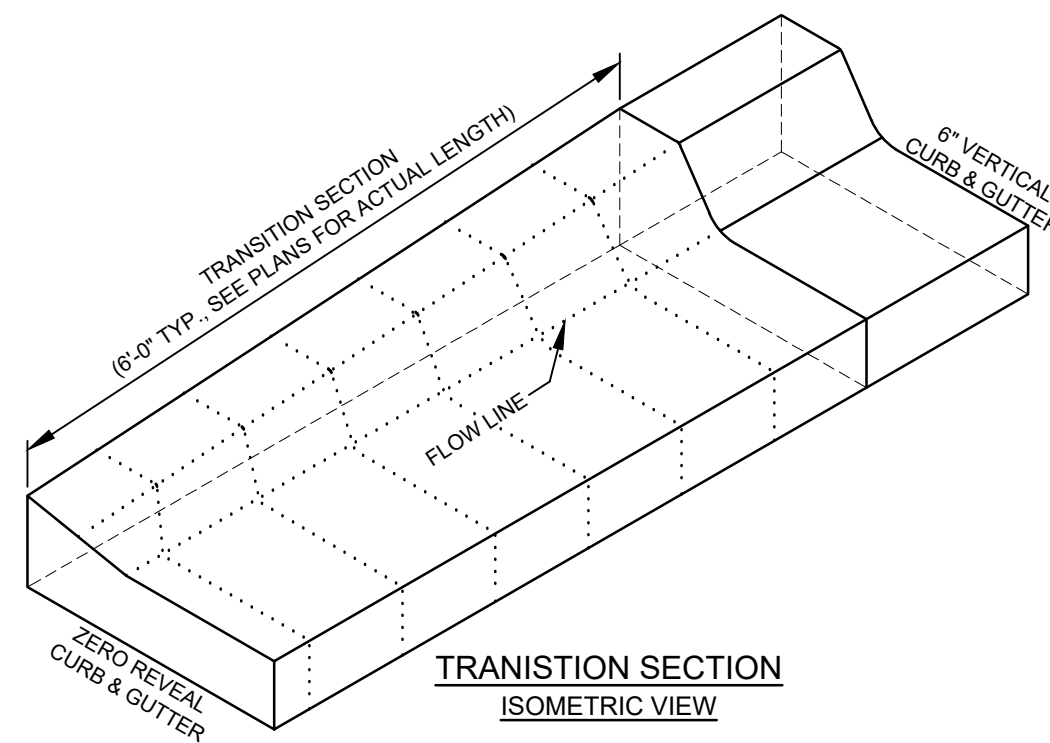
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C2.0

TYPICAL ASPHALT SECTION  
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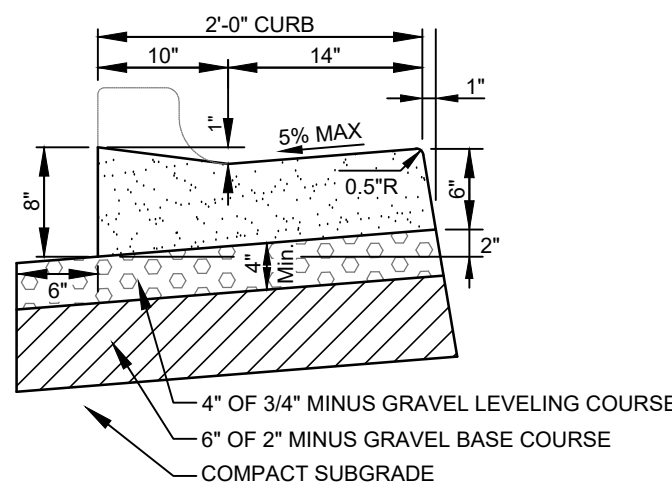


2  
C2.0

6" CONCRETE VERTICAL  
CURB & GUTTER  
N.T.S.

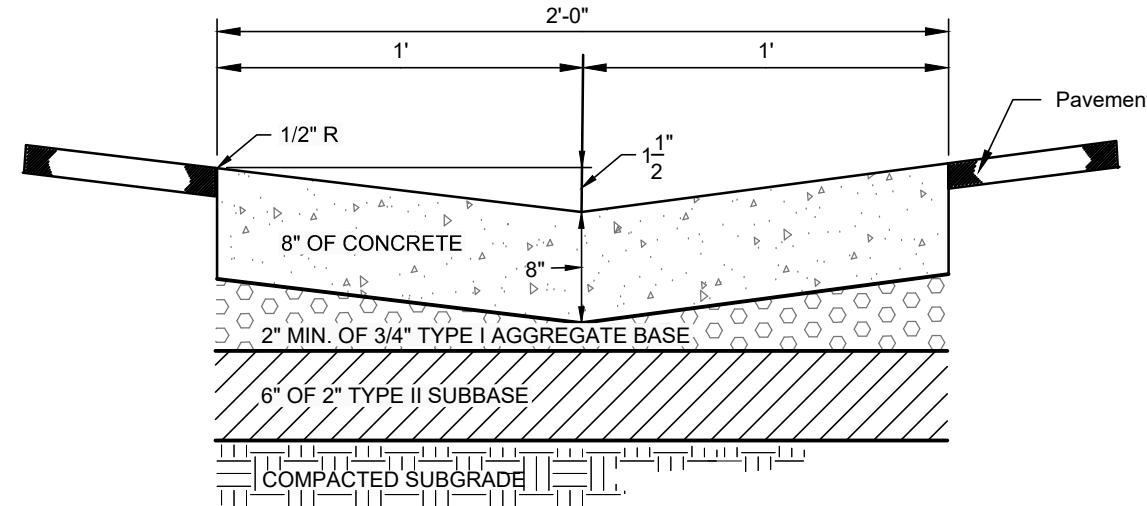


TRANSITION SECTION  
ISOMETRIC VIEW



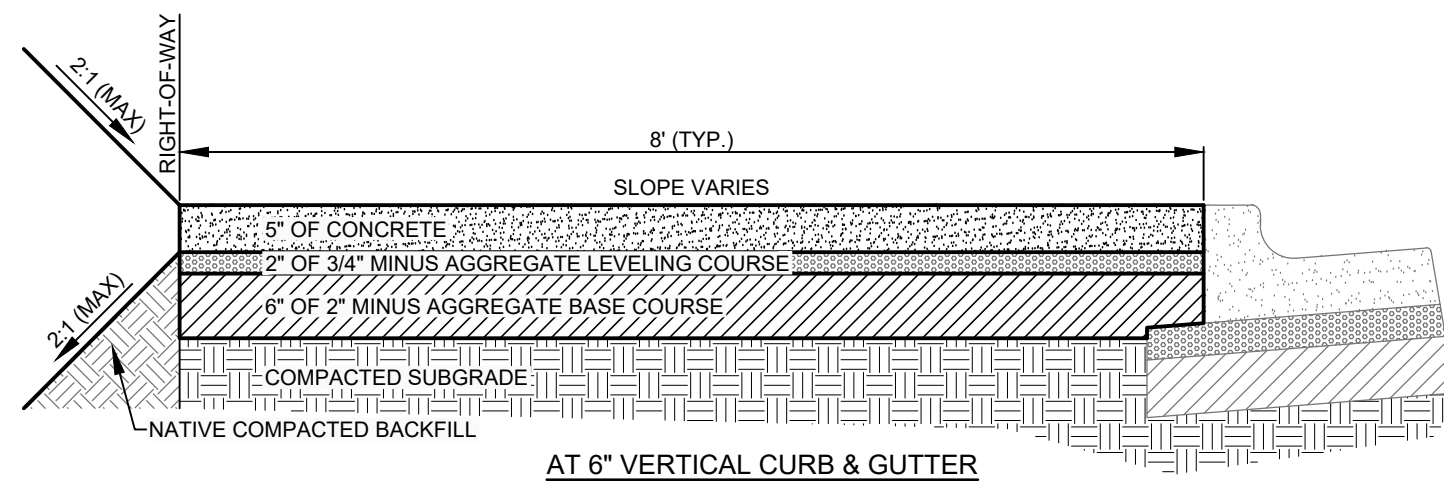
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C2.0

ZERO REVEAL CURB & GUTTER  
TYPICAL CURB TRANSITION DETAIL  
N.T.S.



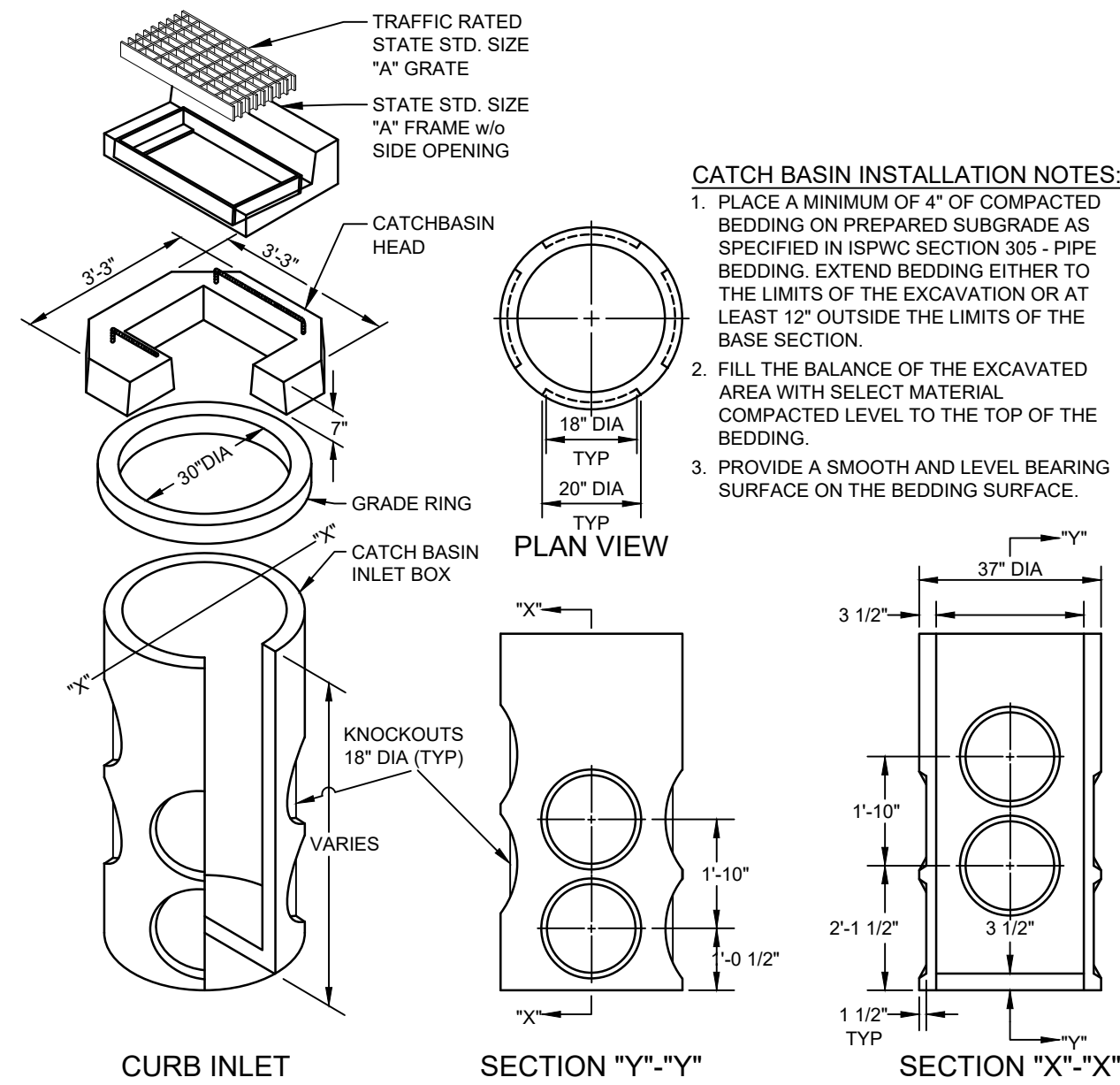
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2" CONCRETE VALLEY GUTTER  
N.T.S.



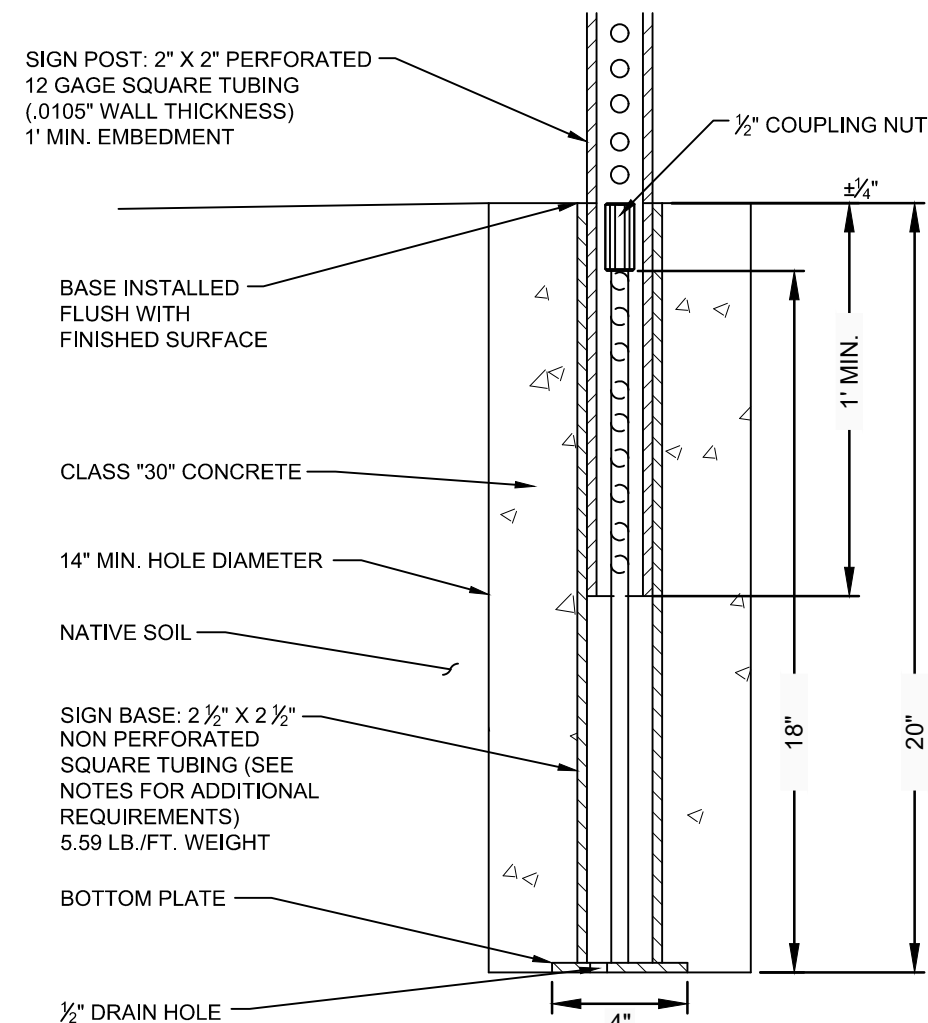
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HEATED CONCRETE SIDEWALK SECTION  
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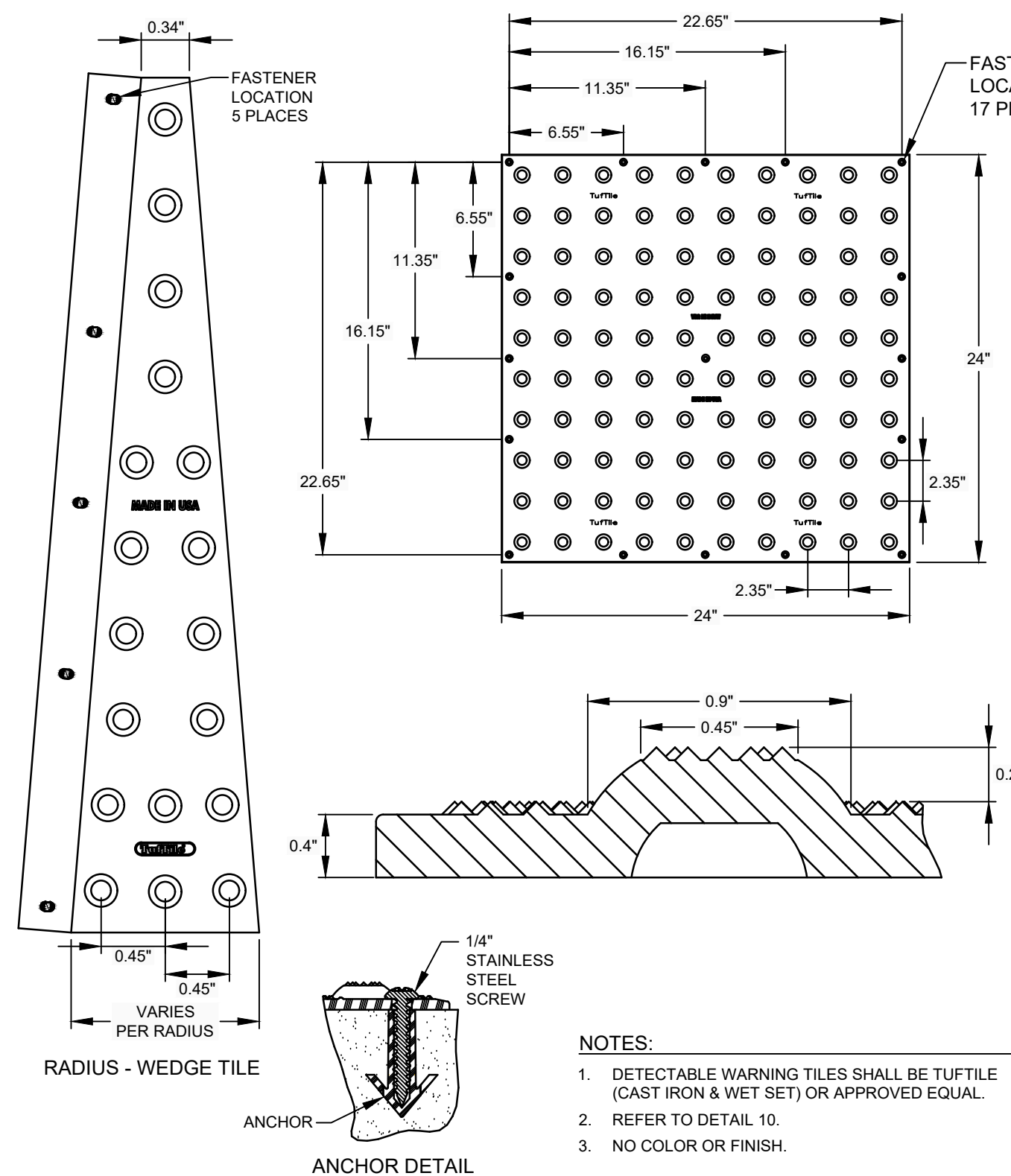
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C2.0

30" DIAMETER CATCH BASIN  
N.T.S.



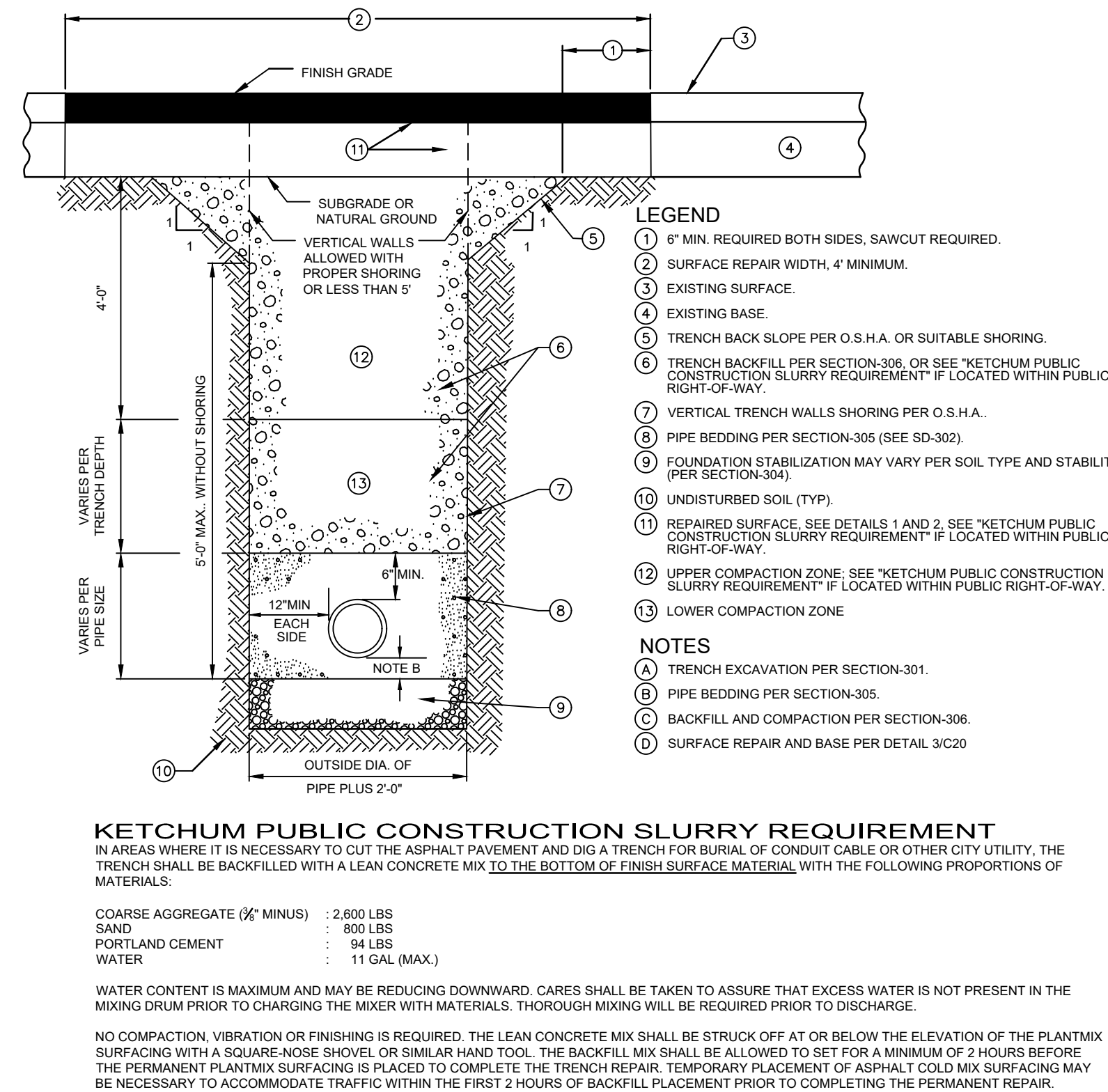
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C2.0

TYPICAL SIGN BASE DETAIL  
N.T.S.



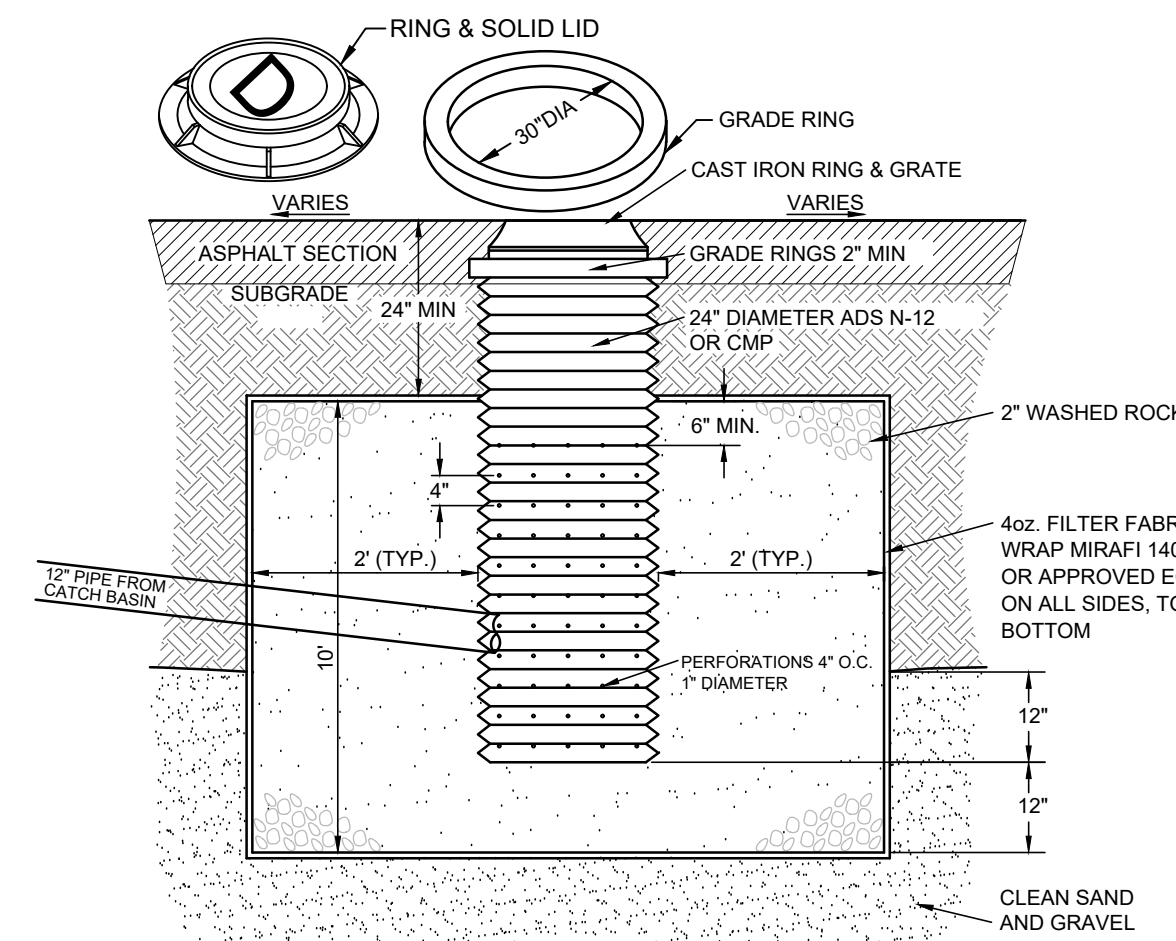
8  
C2.0

DETECTABLE WARNING PLATE DETAIL  
N.T.S.



9  
C2.0

TYPICAL TRENCH SECTION  
N.T.S.



10  
C2.0

DRYWELL DETAIL (6'X6')  
N.T.S.

- NOTES:
- SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
  - MATERIALS SHALL CONFORM WITH CURRENT ISPCW STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
  - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
  - 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADII.
  - CONTINUOUS PLACEMENT PREFERRED. SCORE INTERVALS 10-FEET MAXIMUM SPACING.

- SIGN BASE MATERIAL & DIMENSION REQUIREMENTS
- 2 1/2" OUTSIDE TUBE STEEL (20" LENGTH)
  - 2 1/2" INSIDE TUBE STEEL
  - 3/4" THICK
  - INTERNAL ROD MATERIAL & DIMENSION REQUIREMENTS
  - 1/2" COLD ROLLED ROD (18" LENGTH)
  - 1/2" COUPLING NUTS
  - BOTTOM PLATE MATERIAL & DIMENSION REQUIREMENTS
  - 4" X 4" X 1/2" STEEL STRAP

- NOTES:
- BASES SHALL BE INSTALLED TO BE FLUSH WITH SURFACE.
  - ALL INSTALLATIONS SHALL HAVE 14" Ø MINIMUM FOUNDATION OR GROUTED INTO SOLID ROCK.
  - ALL STREET SIGNS SHALL BE IN ACCORDANCE WITH THE MOST CURRENT EDITION OF THE MUTCD.
  - SIGN PLACEMENT SHALL BE APPROVED BY THE CITY OF KETCHUM.
  - CITY TO PROVIDE BASES.

- NOTES:
- DETECTABLE WARNING TILES SHALL BE TUFTILE (CAST IRON & WET SET) OR APPROVED EQUAL.
  - REFER TO DETAIL 10.
  - NO COLOR OR FINISH.

- LEGEND
- 6" MIN. REQUIRED BOTH SIDES, SAWCUT REQUIRED.
  - SURFACE REPAIR WIDTH, 4" MINIMUM.
  - EXISTING SURFACE.
  - EXISTING BASE.
  - TRENCH BACK SLOPE PER O.S.H.A. OR SUITABLE SHORING.
  - TRENCH BACKFILL PER SECTION-306, OR SEE "KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT" IF LOCATED WITHIN PUBLIC RIGHT-OF-WAY.
  - VERTICAL TRENCH WALLS SHORING PER O.S.H.A.
  - PIPE BEDDING PER SECTION-305 (SEE SD-302).
  - FOUNDATION STABILIZATION MAY VARY PER SOIL TYPE AND STABILITY (PER SECTION-304).
  - UNDISTURBED SOIL (TYP).
  - REPAIRED SURFACE. SEE DETAILS 1 AND 2. SEE "KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT" IF LOCATED WITHIN PUBLIC RIGHT-OF-WAY.
  - UPPER COMPACTION ZONE. SEE "KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT" IF LOCATED WITHIN PUBLIC RIGHT-OF-WAY.
  - LOWER COMPACTION ZONE.
- NOTES
- TRENCH EXCAVATION PER SECTION-301.
  - PIPE BEDDING PER SECTION-305.
  - BACKFILL AND COMPACTION PER SECTION-306.
  - SURFACE REPAIR AND BASE PER DETAIL 3/C20

**KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT**  
IN AREAS WHERE IT IS NECESSARY TO CUT THE ASPHALT PAVEMENT AND DIG A TRENCH FOR BURIAL OF CONDUIT CABLE OR OTHER CITY UTILITY, THE TRENCH SHALL BE BACKFILLED WITH A LEAN CONCRETE MIX TO THE BOTTOM OF FINISH SURFACE MATERIAL WITH THE FOLLOWING PROPORTIONS OF MATERIALS:

COARSE AGGREGATE (3/4" MINUS)	: 2,600 LBS
SAND	: 800 LBS
PORTLAND CEMENT	: 94 LBS
WATER	: 11 GAL. (MAX.)

WATER CONTENT IS MAXIMUM AND MAY BE REDUCING DOWNWARD. CARES SHALL BE TAKEN TO ASSURE THAT EXCESS WATER IS NOT PRESENT IN THE MIXING DRUM PRIOR TO CHARGING THE MIXER WITH MATERIALS. THOROUGH MIXING WILL BE REQUIRED PRIOR TO DISCHARGE.

NO COMPACTION, VIBRATION OR FINISHING IS REQUIRED. THE LEAN CONCRETE MIX SHALL BE STRUCK OFF AT OR BELOW THE ELEVATION OF THE PLANT MIX SURFACING WITH A SQUARE-NOSE SHOVEL OR SIMILAR HAND TOOL. THE BACKFILL MIX SHALL BE ALLOWED TO SET FOR A MINIMUM OF 2 HOURS BEFORE THE PERMANENT PLANT MIX SURFACING IS PLACED TO COMPLETE THE TRENCH REPAIR. TEMPORARY PLACEMENT OF ASPHALT COLD MIX SURFACING MAY BE NECESSARY TO ACCOMMODATE TRAFFIC WITHIN THE FIRST 2 HOURS OF BACKFILL PLACEMENT PRIOR TO COMPLETING THE PERMANENT REPAIR.

PURPOSE: 07.23.2021 FORMAL DESIGN REVIEW APPLICATION

NO. DATE BY REVISIONS

BY

C2.0

DETAILS

780 N 1ST AVENUE

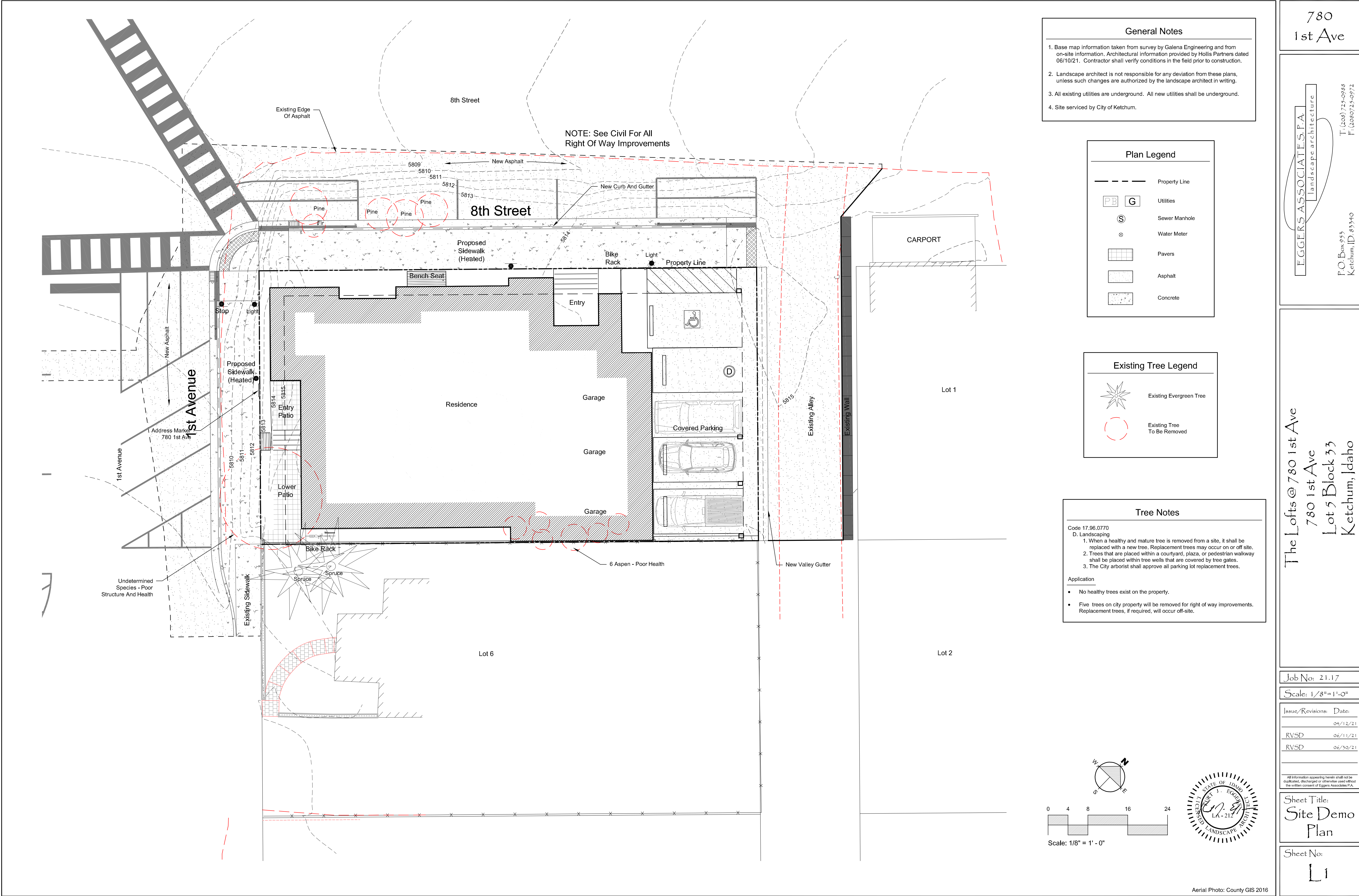
LOCATED WITHIN SECTION 13, T.4 N., R.17 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO  
PREPARED FOR GALENA PEAK PARTNERS

PRELIMINARY  
NOT FOR  
CONSTRUCTION

DESIGNED BY  
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**GALENA**  
ENGINEERING, INC.  
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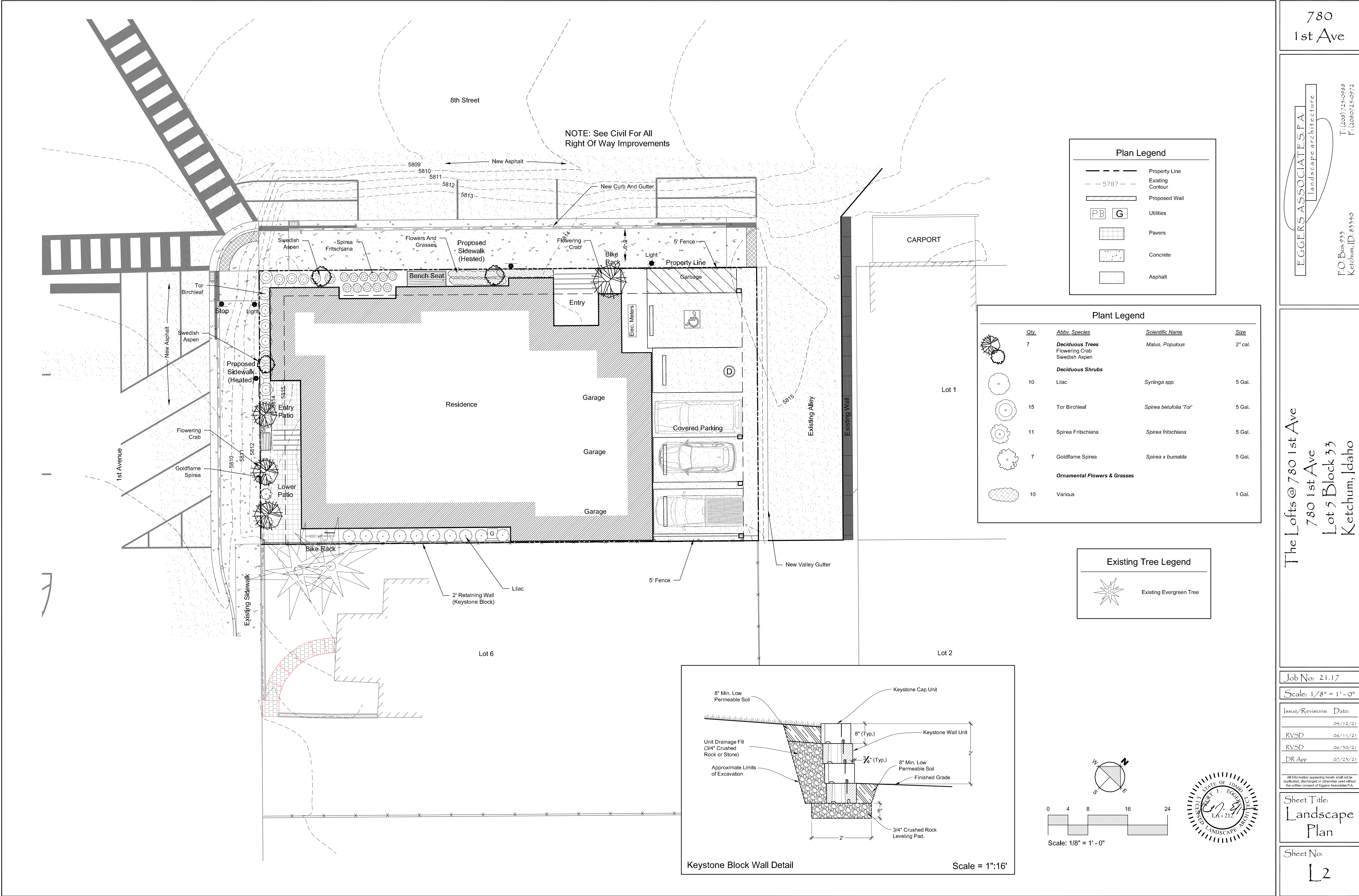
780  
1st Ave

EGGERS ASSOCIATES, P.A.  
landscape architecture  
T: (208) 724-0988  
F: (208) 724-0972  
P.O. Box 953  
Ketchum, ID 83340

The Lofts @ 780 1st Ave  
780 1st Ave  
Lot 5 Block 33  
Ketchum, Idaho

PRELIMINARY ONLY - NOT FOR CONSTRUCTION

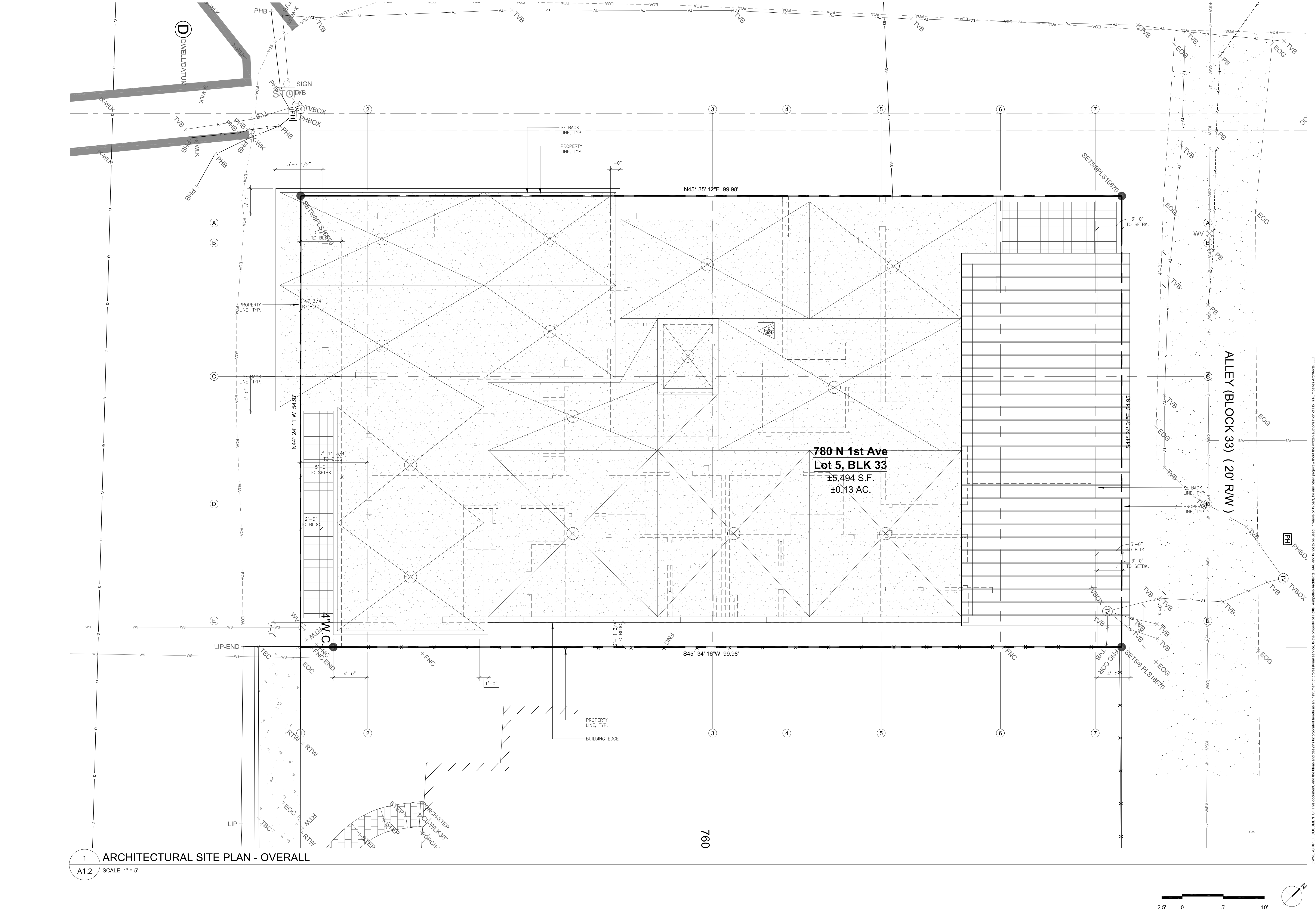










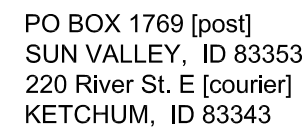


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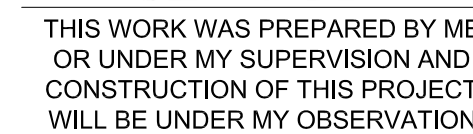
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PRE-AP #4	07/01/21
100% CD	05/14/21
PROGRESS	04/30/21
100% DD	04/07/21
SCHEMATIC	02/18/21
DRAWN BY	DPH,JJR
CHECKED BY	DPH,JJR
DATE	01/11/21
JOB NO.	1077

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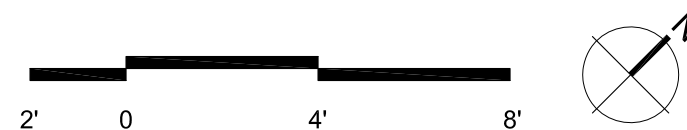
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REVISION DATE		
	D. REVIEW	07/23/21
	PRE-AP #4	07/01/21
	100% CD	05/14/21
	PROGRESS	04/30/21
	100% DD	04/07/21
ISSUE/DATE	SCHEMATIC	02/18/21
DRAWN BY	DPH,JJR	
CHECKED BY	DPH,JJR	
DATE	01/11/21	
JOB NO.	1077	

780 1st AVENUE,  
KETCHUM, IDAHO

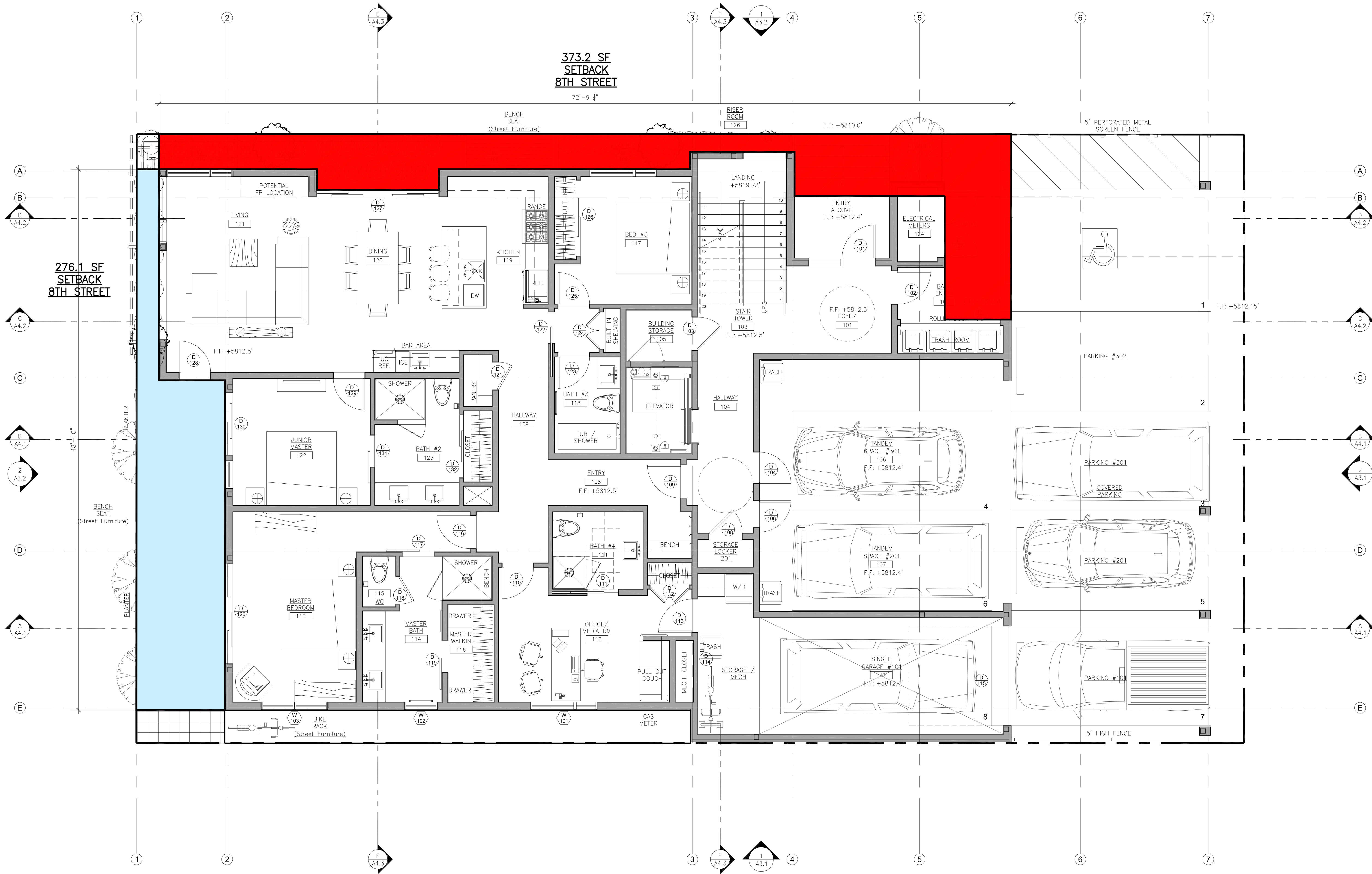
## ARCHITECTURAL FLOOR PLANS

A	2.1
CATEGORY	SEQUENCE

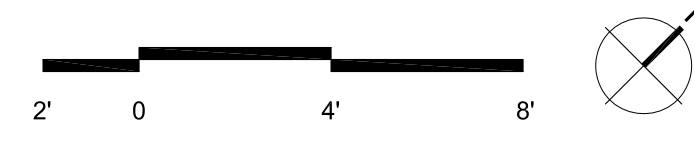


1 FIRST FLOOR PLAN  
A2.1 SCALE: 1/4" = 1'-0"





1 FIRST FLOOR PLAN - 5' AVERAGE SETBACK PLAN  
A2.1B SCALE: 1/4" = 1'-0"







THIS WORK WAS PREPARED BY ME  
OR UNDER MY SUPERVISION AND  
CONSTRUCTION OF THIS PROJECT  
WILL BE UNDER MY OBSERVATION

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REVISION DATE

D. REVIEW	07/23/21
PRE-AP #4	07/01/21
100% CD	05/14/21
PROGRESS	04/30/21
100% DD	04/07/21
SCHEMATIC	02/18/21
ISSUE/DATE	
DRAWN BY	DPH,JJR
CHECKED BY	DPH,JJR
DATE	01/11/21
JOB NO.	1077

## THE LOFTS @ 780 1st AVE

780 1st AVENUE,  
KETCHUM, IDAHO

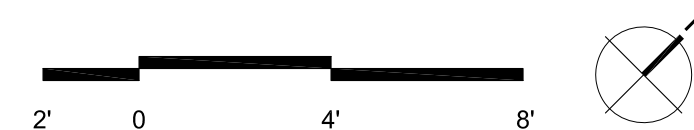
## ARCHITECTURAL FLOOR PLANS

A  
CATEGORY

2.2  
SEQUENCE



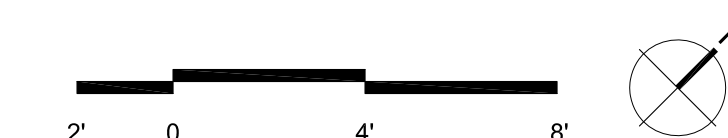
1 SECOND FLOOR PLAN  
A2.2 SCALE: 1/4" = 1'-0"







1 SECOND FLOOR PLAN - 5' AVERAGE SETBACK PLAN  
A2.2B SCALE: 1/4" = 1'-0"





REVISION DATE		
	D. REVIEW	07/23/21
	PRE-AP #4	07/01/21
	100% CD	05/14/21
	PROGRESS	04/30/21
	100% DD	04/07/21
ISSUE/DATE	SCHEMATIC	02/18/21
DRAWN BY	DPH, JJR	
CHECKED BY	DPH, JJR	
DATE	01/11/21	
JOB NO.	1077	

THE LOFTS @  
780 1st AVE

780 1st AVENUE,  
KETCHUM, IDAHO

## ARCHITECTURAL FLOOR PLANS

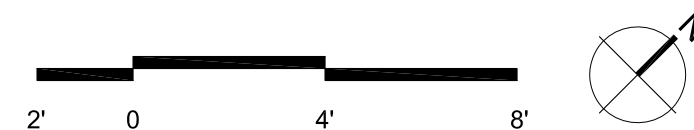
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CATEGORY

## 2.3

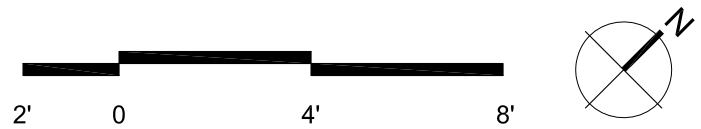
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1 THIRD FLOOR PLAN  
A2.3 SCALE: 1/4" = 1'-0"

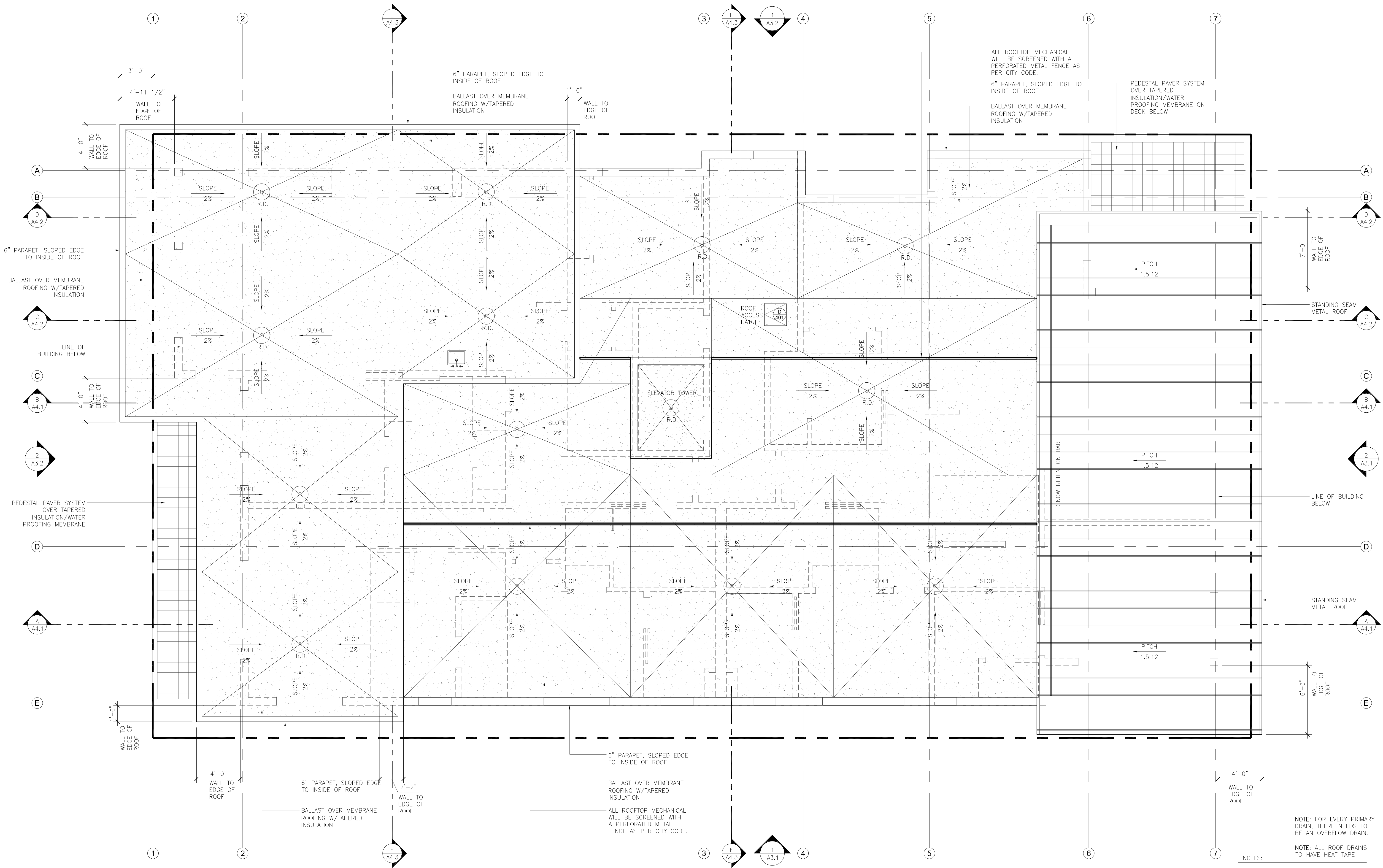




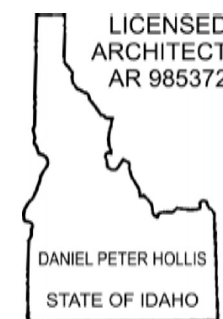
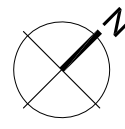
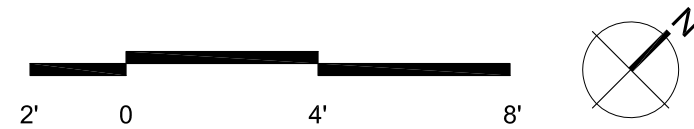




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1 ROOF PLAN  
A2.7 SCALE: 1/4" = 1'-0"



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REVISION DATE

PERMIT	08/06/21
D. REVIEW	07/23/21
PRE-AP #4	07/01/21
100% CD	05/14/21
PROGRESS	04/30/21
100% DD	04/07/21
ISSUE/DATE	SCHEMATIC 02/18/21
DRAWN BY	DPH,JJR
CHECKED BY	DPH,JJR
DATE	01/11/21
JOB NO.	1077

THE LOFTS @  
780 1st AVE

780 1st AVENUE,  
KETCHUM, IDAHO

ARCHITECTURAL  
ROOF PLAN

A  
CATEGORY

2.7  
SEQUENCE





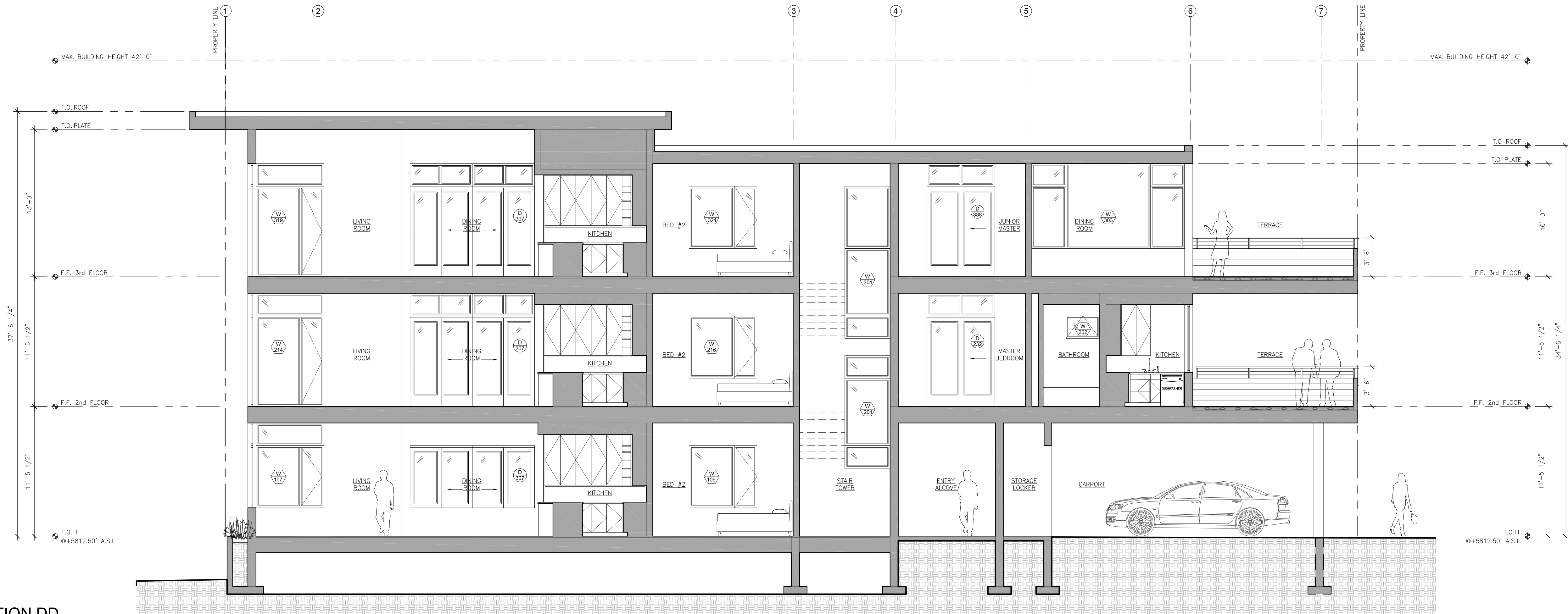








SVR-ARCHITECTURAL PROJECTS\780 1st Ave North Multifamily\ArchSheets\1077-A4.2-BUILDING SECTIONS.dwg, 7/21/2021 2:12:32 PM, Adobe PDF



2 BUILDING SECTION DD  
A4.2 SCALE: 3/16" = 1'-0"



1 BUILDING SECTION CC  
A4.2 SCALE: 3/16" = 1'-0"

2 0 4 8

REVISION DATE

D. REVIEW	07/23/21
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THE LOFTS @  
780 1st AVE

780 1st AVENUE,  
KETCHUM, IDAHO

ARCHITECTURAL  
BUILDING SECTIONS

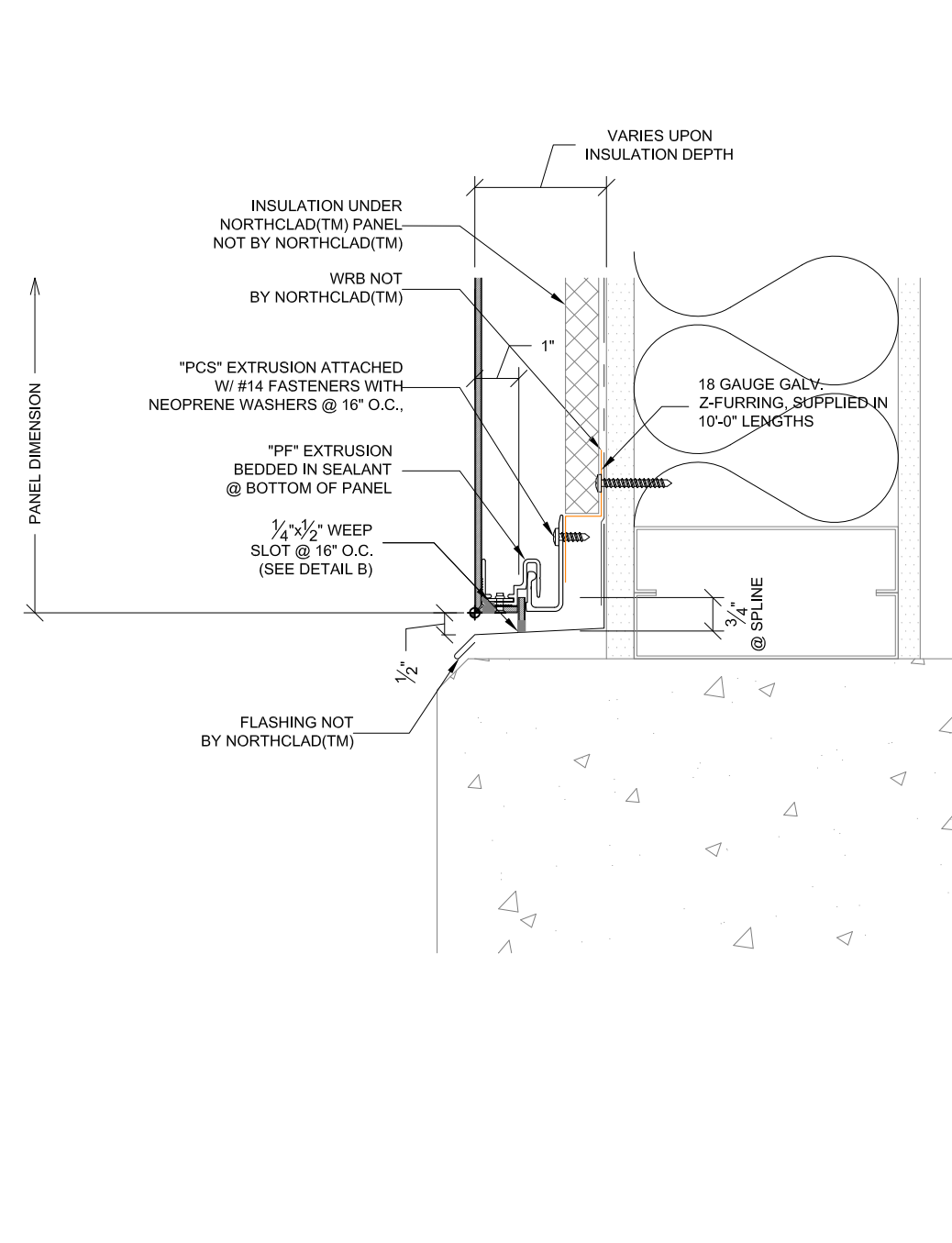
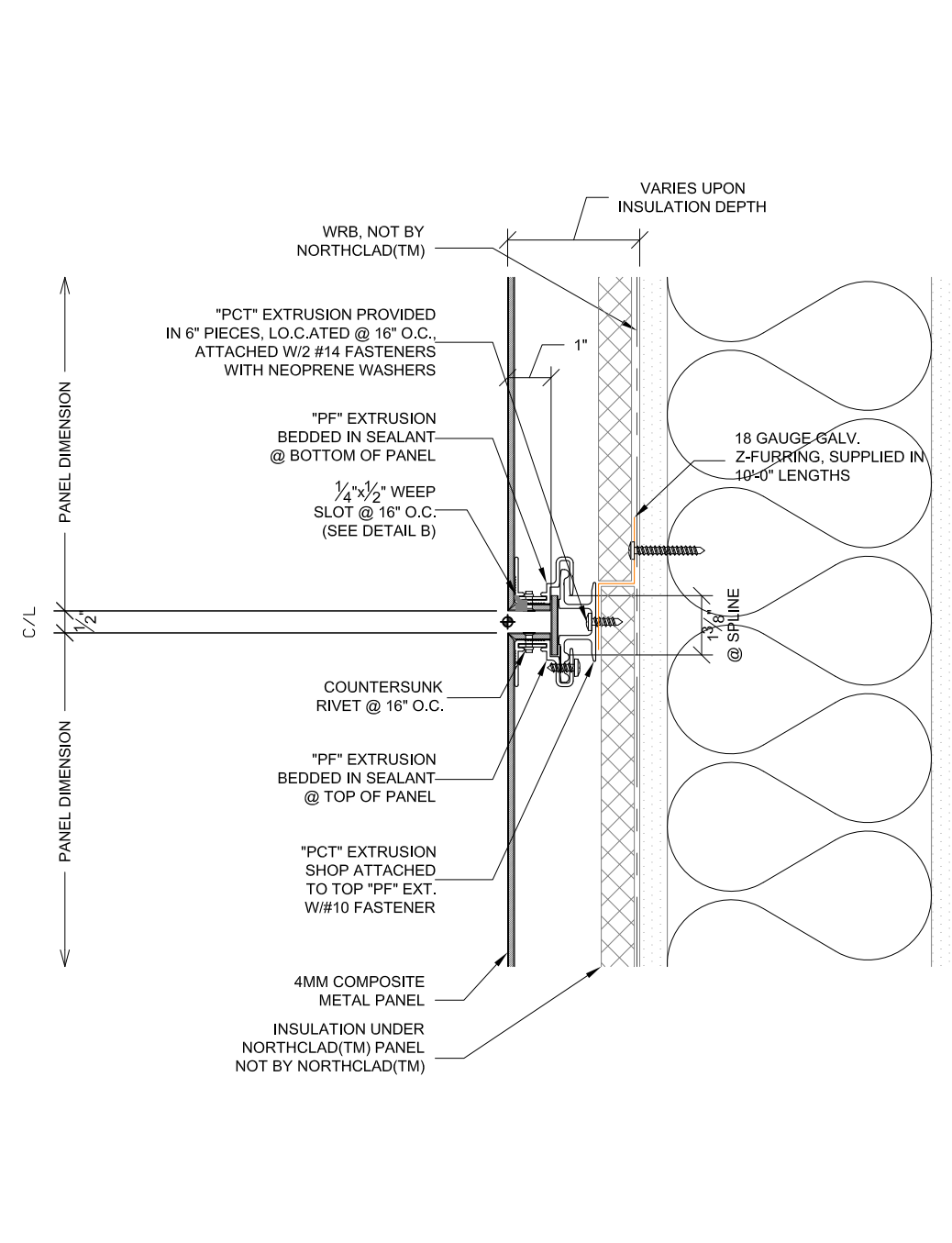




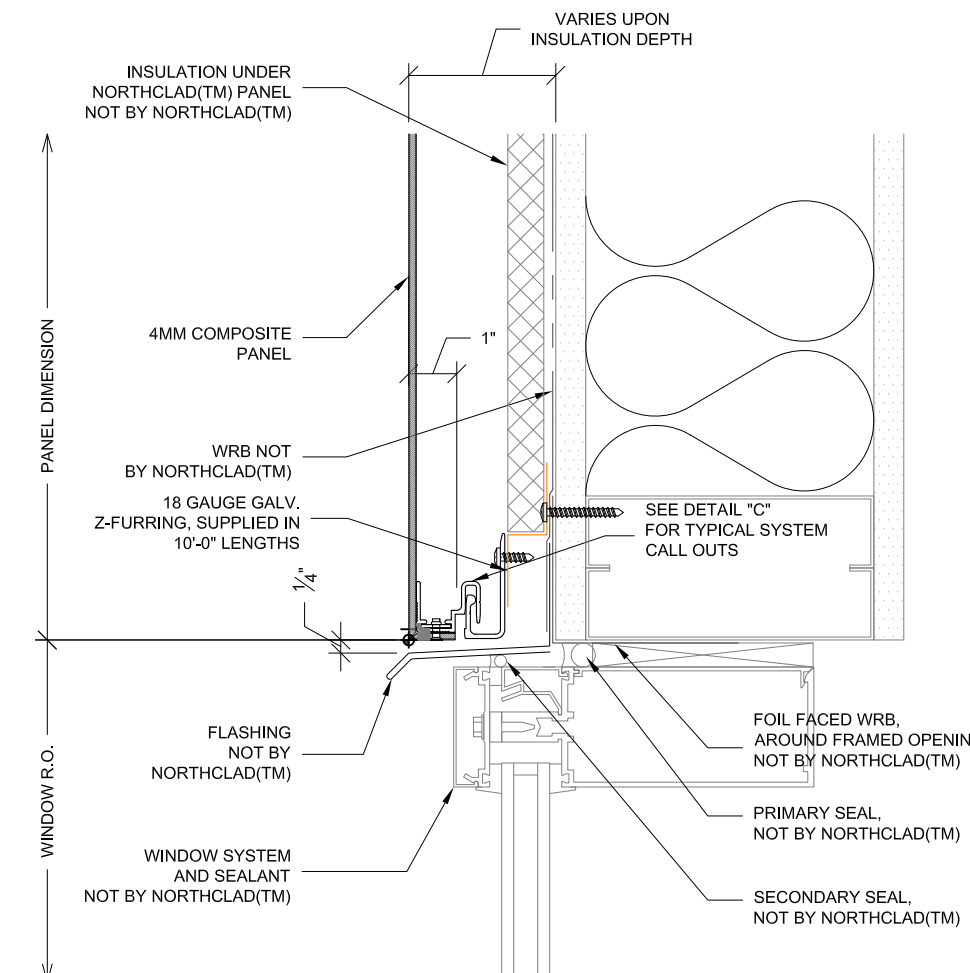
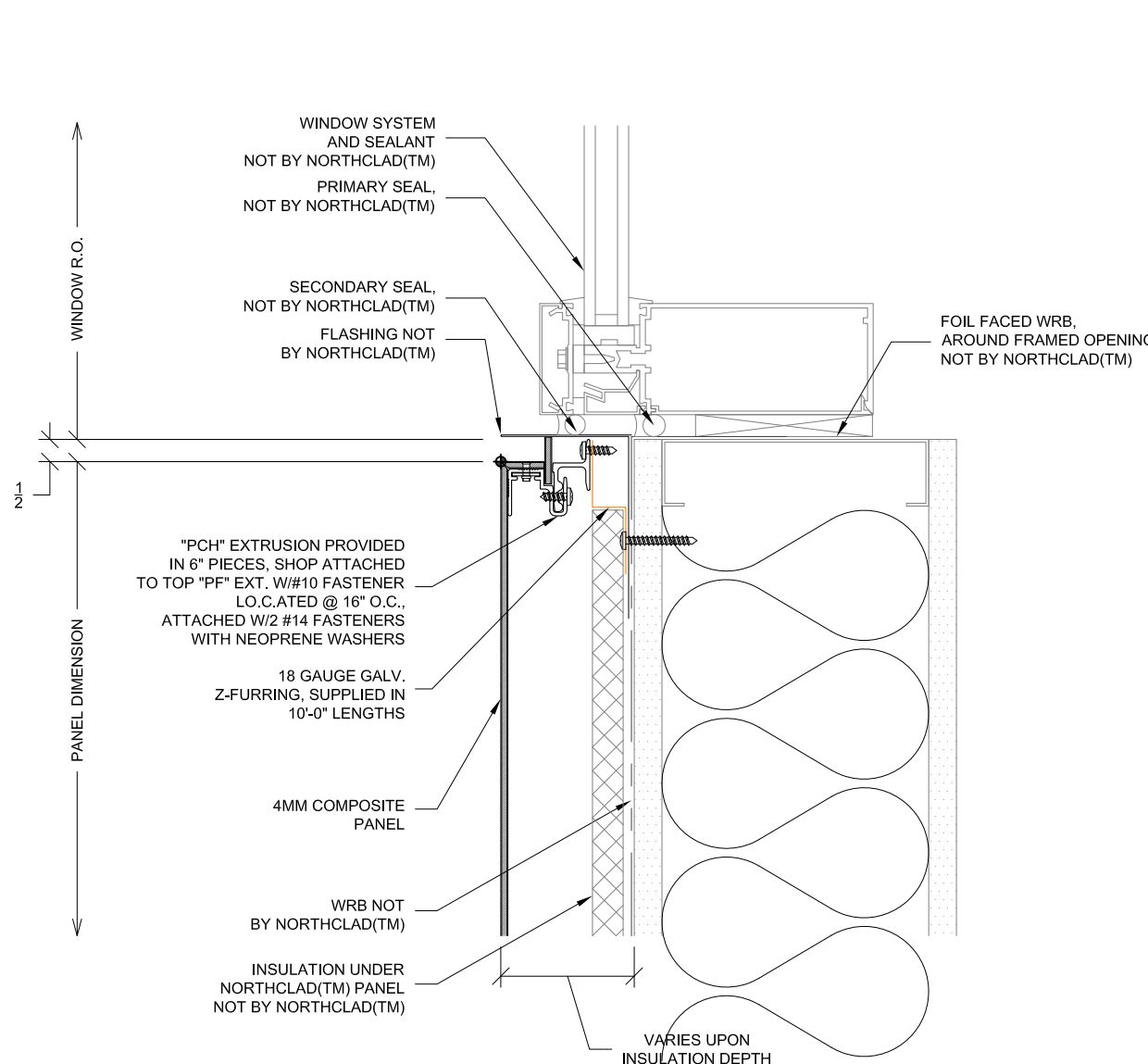




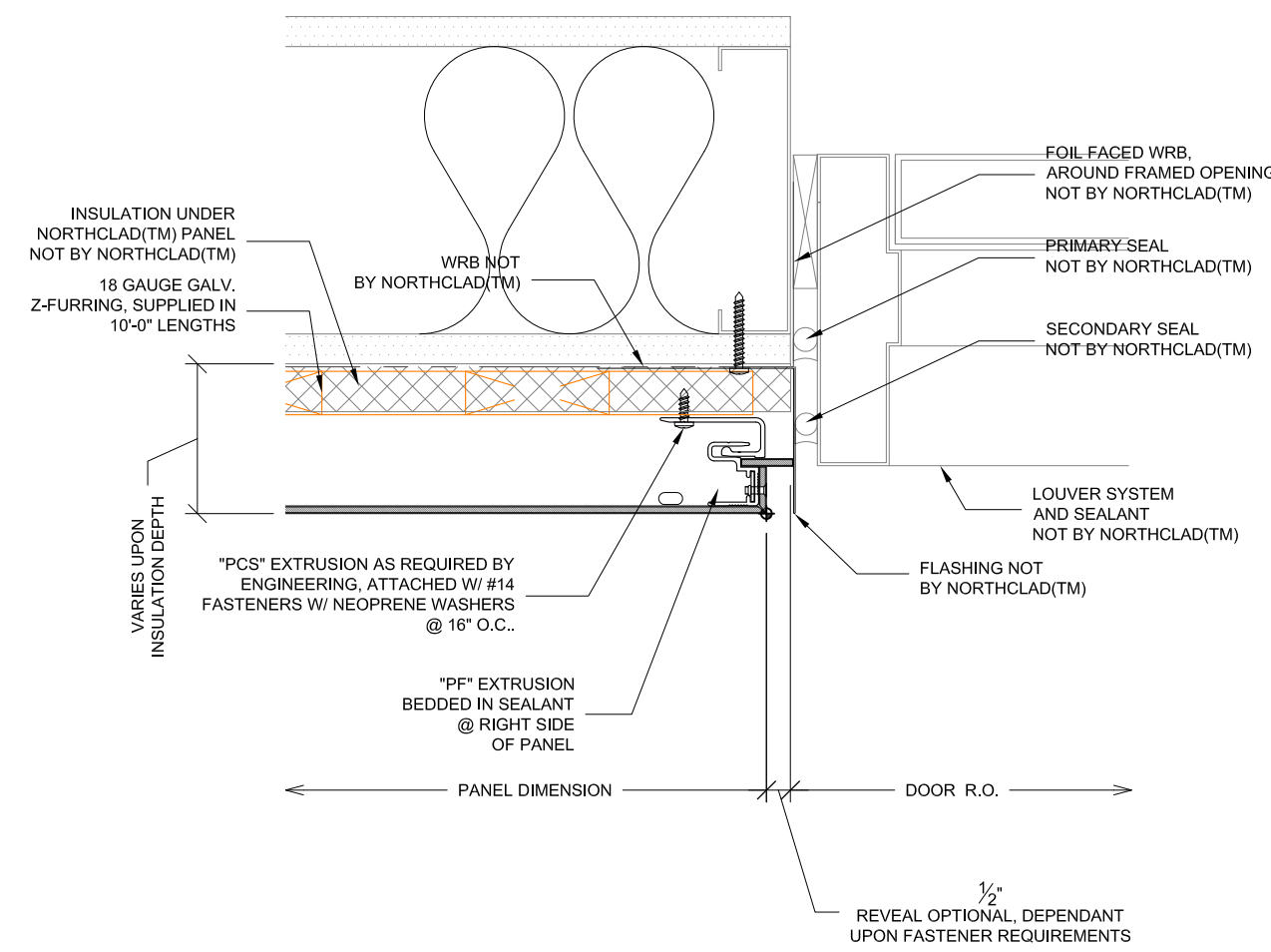
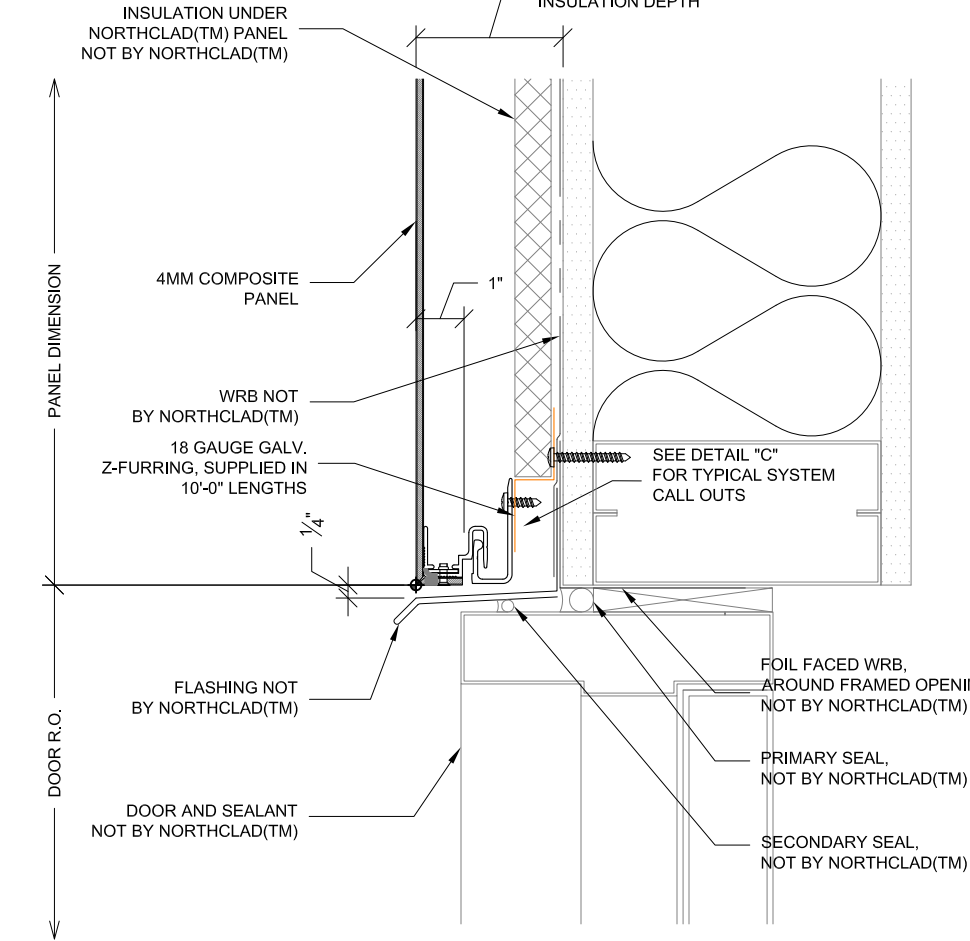




C WALL DETAILS - BASE DETAIL  
A5.2 SCALE: 3" = 1'-0"



G WALL DETAILS - WINDOW HEADER  
A5.2 SCALE: 3" = 1'-0"



WALL DETAILS - DOOR JAMB LH



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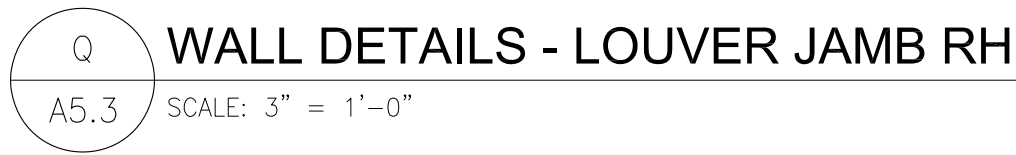
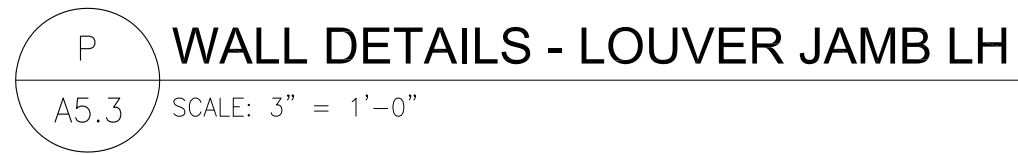
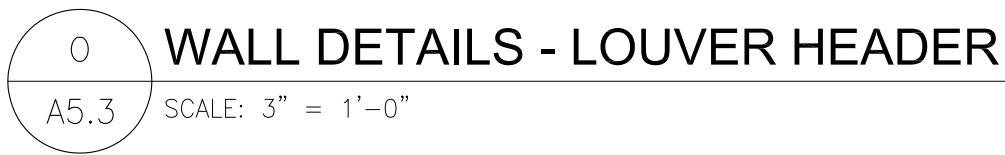
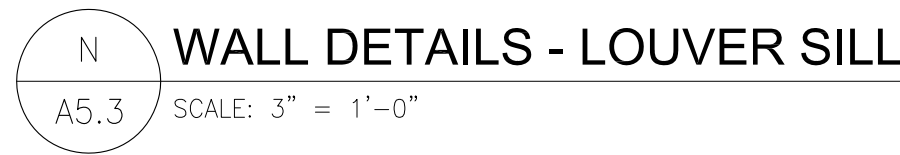
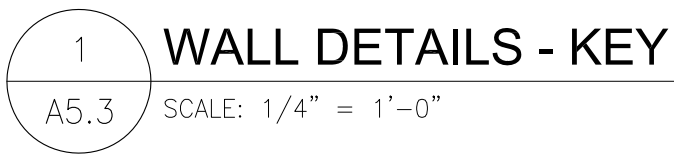
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780 1st AVENUE,  
KETCHUM, IDAHO

## WALL SECTIONS & DETAILS

A	5.2
CATEGORY	SEQUENCE





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 ARCHITECT  
 AR 985372  
 DANIEL PETER HOLLIS  
 STATE OF IDAHO

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REVISION DATE				
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	D. REVIEW	07/23/21		
	PRE-AP #4	07/01/21		
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ISSUE/DATE	SCHMATIC	02/18/21		
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JOB NO.	<u>1077</u>			

A	5.3
CATEGORY	SEQUENCE



A/C or AC	AIR CONDITIONING	KW	KILOWATT
AF	ABOVE FINISHED FLOOR	KWH	KILOWATT HOUR
AHU	AIR HANDLING UNIT		
ASHRAE	AMERICAN SOCIETY OF HEATING, REFRIGERATION, AND AIR CONDITIONING ENGINEERS	LAT	LEAVING AIR TEMPERATURE
		LAV	LAVATORY
BTU	BRITISH THERMAL UNITS	LEAD	LEADERSHIP IN ENERGY AND ENVIRONMENTAL DESIGN
BTUH	BTUS PER HOUR	LWT	LEAVING WATER TEMPERATURE
CA	COMBUSTION AIR	MAX	MAXIMUM
CC	COOLING COIL	MCA	MINIMUM CIRCUIT AMPS
CFM	AIR FLOW RATE (CUBIC FEET PER MINUTE)	MOPC	MAXIMUM OVERCURRENT PROTECTION
CHWR	CHILLED WATER RETURN	MIN	MINIMUM
CHWS	CHILLED WATER SUPPLY	NC	NOISE CRITERIA
CIG	CEILING	NFPA	NATIONAL FIRE PROTECTION ASSOCIATION
CW	COLD WATER	NTS	NOT TO SCALE
DEG or °	DEGREE	OSA	OUTSIDE AIR
Dia or Ø	DIAMETER		
DB	DRY BULB		
		PD	PRESSURE DROP
EA	EXHAUST AIR	Ph or Ø	PHASE
EAT	ENTERING AIR TEMPERATURE	PRV	PRESSURE REDUCING VALVE
EER	ENERGY EFFICIENCY RATIO		
ESP	EXTERNAL STATIC PRESSURE	RA	RETURN AIR
EWT	ENTERING WATER TEMPERATURE	RPM	REVOLUTIONS PER MINUTE
		RTU	ROOF/TOP UNIT
FCO	FLOOR CLEANOUT		
FD	FIRE DAMPER	SA	SUPPLY AIR
FLA	FULL LOAD AMPS	SEER	SEASONAL ENERGY EFFICIENCY RATIO
FLR	FLOOR	SFD	COMBINATION SMOKE/FIRE DAMPER
FPM	FEET PER MINUTE	SP	STATIC PRESSURE
FT	FEET	SYM	SYMBOL
GA	GAUGE	T & P	TEMPERATURE AND PRESSURE
GCO	GRADE CLEANOUT	TEMP	TEMPERATURE
GPM	WATER FLOW RATE (GALLONS PER MINUTE)	TYP	TYPICAL
HC	HEATING COIL	UMC	UNIFORM MECHANICAL CODE
HP	HORSE POWER	UPC	UNIFORM PLUMBING CODE
HVAC	HEATING, VENTILATING, AIR CONDITIONING	URL	URL
HW	HOT WATER		
HWR	HOT WATER RETURN	VTR	VENT THROUGH ROOF
HWS	HOT WATER SUPPLY	V	VENT
IBC	INTERNATIONAL BUILDING CODE	W	WITH
IEEC	INTERNATIONAL ENERGY CONSERVATION CODE	WB	WET-BULB
IFC	INTERNATIONAL FIRE CODE	WC	WATER CLOSET
IGFC	INTERNATIONAL FUEL GAS CODE	WCO	WALL CLEANOUT
IMC	INTERNATIONAL MECHANICAL CODE	WH	WATER HEATER
IPC	INTERNATIONAL PLUMBING CODE		

 **COMcheck Software Version 4.1.4.3**  
**Mechanical Compliance Certificate**

M	0.0
CATEGORY	SEQUENCE





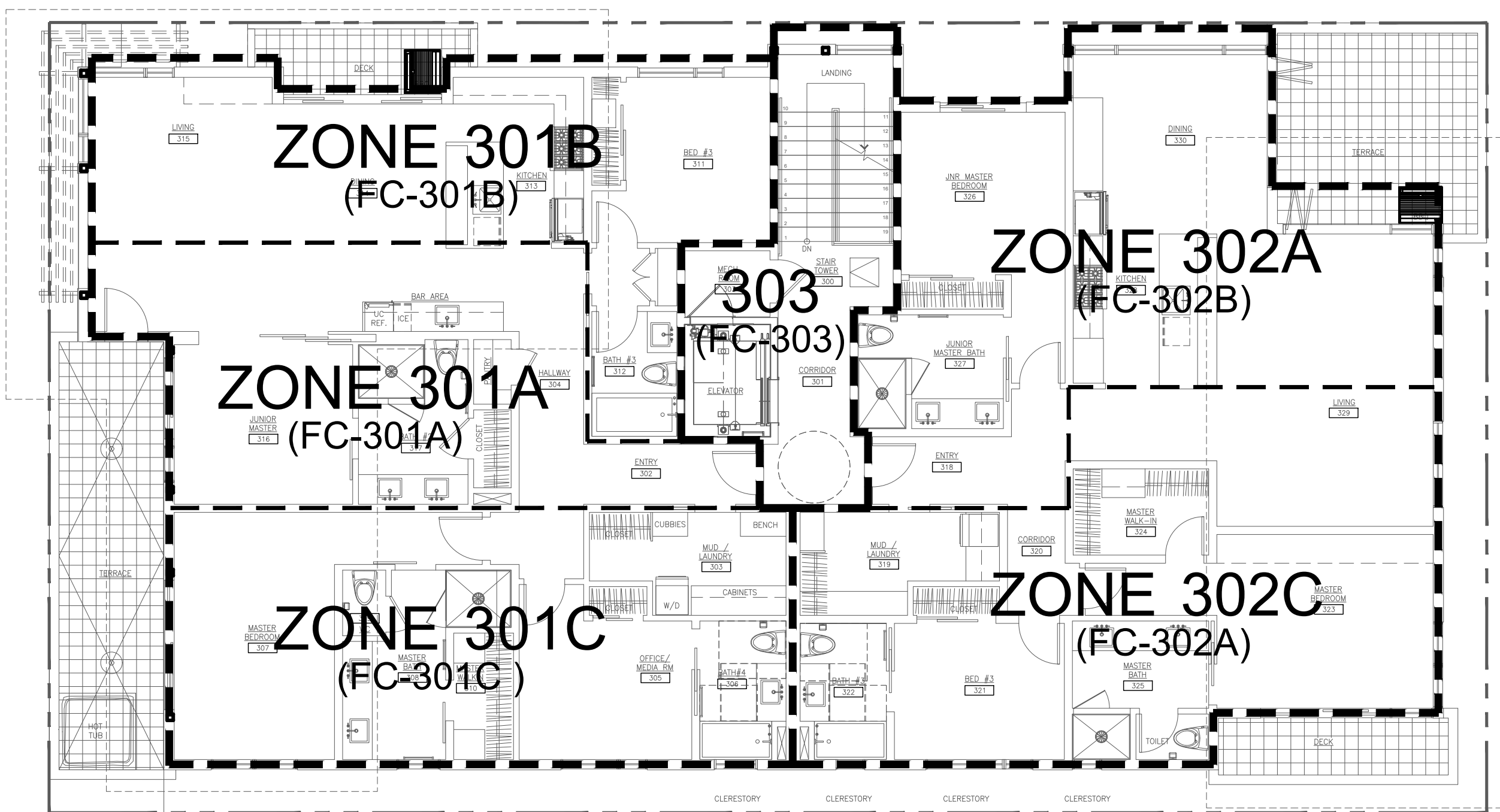
MUSGROVE  
ENGINEERING, P.A.  
234 S. Whisperwood Way  
Boise, ID 83709  
208.364.0885  
645 West 25th Street  
Idaho Falls, ID 83402  
208.533.2862  
www.musgrovepa.com  
Project No. 21086



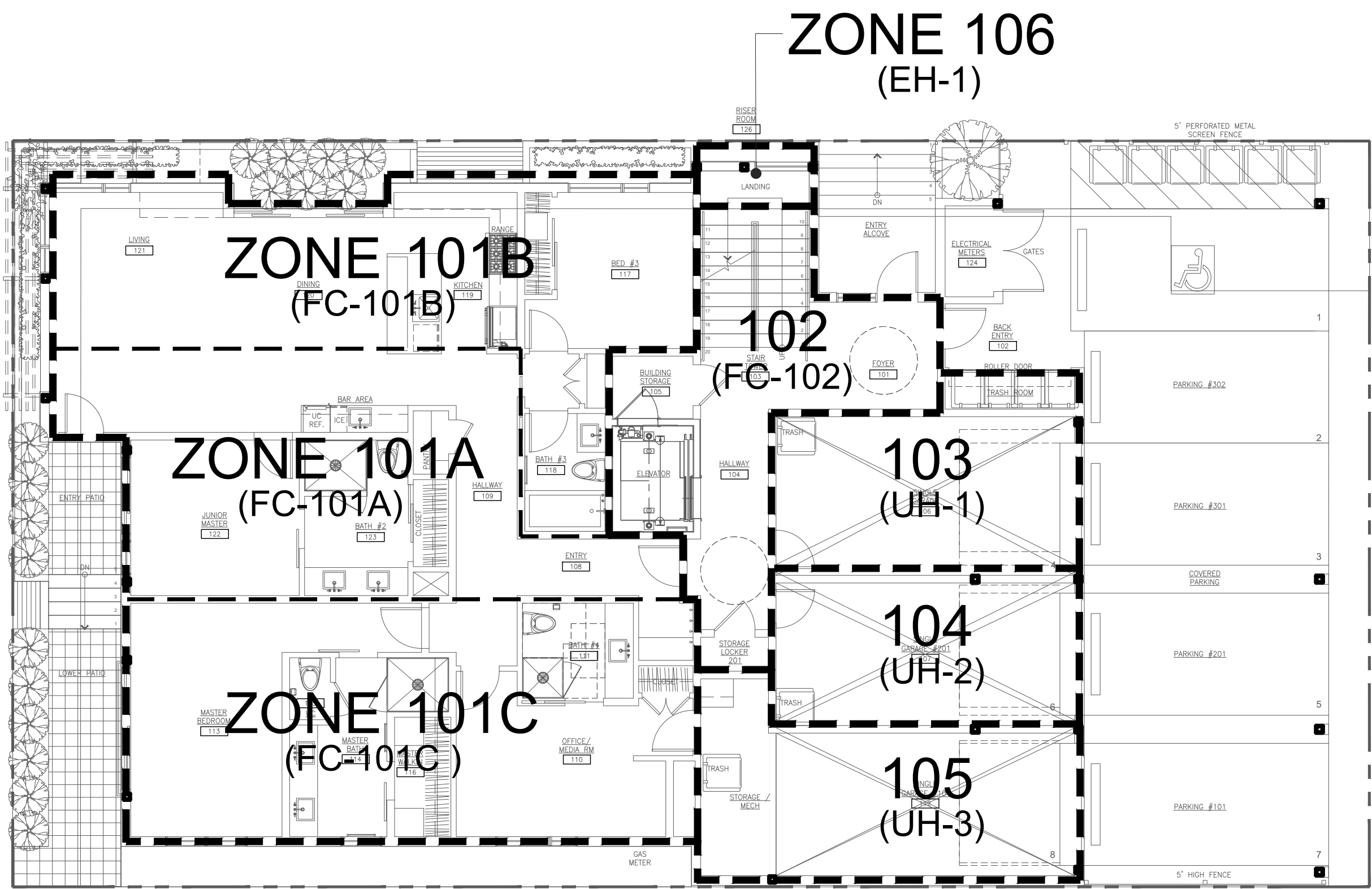
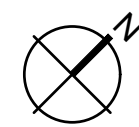
PO BOX 1769 [post]  
SUN VALLEY, ID 83353  
220 River St. E [courier]  
KETCHUM, ID 83343

V.208.721.7160 / V.208.721.0633

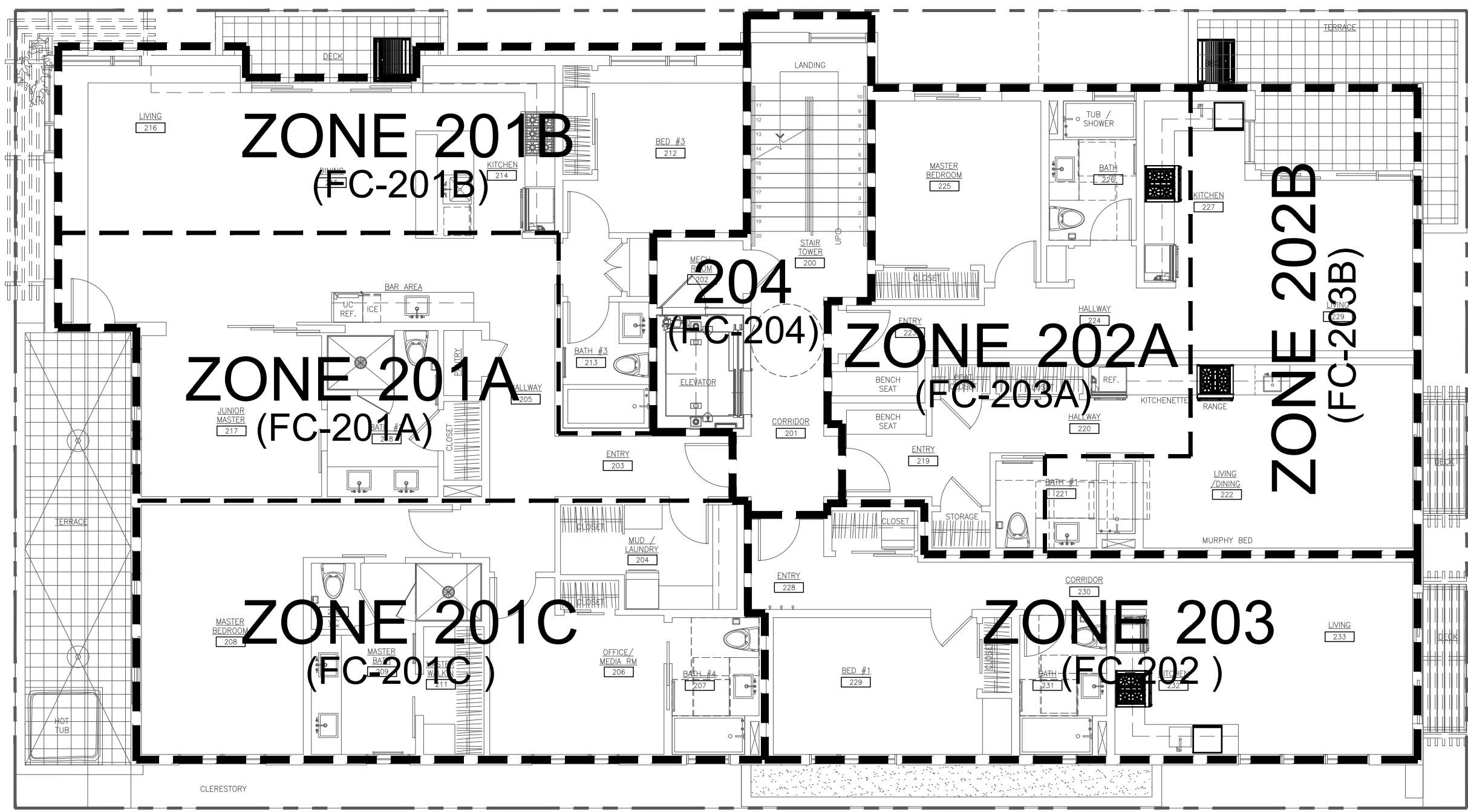
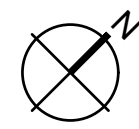
MUSGROVE ENGINEERING, PA											
234 S. WHISPERWOOD WAY BOISE, IDAHO 83709											
Zone Summary											
PROJECT:	780 1st Avenue	Design Conditions			Winter		-16.3	Summer		82.1	
COMPUTED BY:	MQ	DATE: 12-May-21			CHK BY: TDN						
			Heating Load		Sensible Cooling Load		Total Cooling Load				Unit Selection Size
Zone Reference	FLOOR SQ. FT.	BTUH	KW	BTUH	BTUH	NOMINAL TON (12000-BTUH/TON)	SQ. FT PER NOMINAL TON	NUMBER OF PEOPLE	OSA	EXHAUST	TONS
1 ZONE 101	2030	62,268	18	38,361	40,605	3.4	599.9	8	120	0	4 Tons/18 Kw
2 ZONE 102 - Entry	1000	18,628	5	9,817	9,817	0.8	1222.4	0	0	0	1 Ton/5 Kw
3 ZONE 103 - Garage	1000	12,339	4	6,478	6,478	0.5	1852.5	0	0	0	5 Kw
4 ZONE 104 - Garage	1000	11,159	3	6,126	6,126	0.5	1958.8	0	0	0	5 Kw
5 ZONE 105 - Garage	1000	13,869	4	6,632	6,632	0.6	1809.4	0	0	0	5 Kw
6 ZONE 106 - Fire Riser	1000	9,957	3	6,291	6,291	0.5	1907.5	0	0	0	3 Kw
7 ZONE 201	2000	62,084	18	39,996	42,240	3.5	568.2	8	120	0	4 Tons/18 Kw
8 ZONE 202	1205	35,071	10	18,931	20,333	1.7	711.2	5	75	0	3 Tons/10 Kw
9 ZONE 203	650	20,704	6	11,017	11,859	1.0	657.7	3	45	0	3 Tons/8 Kw
10 ZONE 204 - Stair Tower, Corridor 201	1000	12,560	4	7,742	7,742	0.6	1550.1	0	0	0	1 Ton/4 Kw
11 ZONE 301	2025	62,338	18	40,145	42,389	3.5	573.3	8	120	0	4 Tons/18 Kw
12 ZONE 302	1800	60,554	18	31,206	33,170	2.8	651.2	7	105	0	4 Tons/18 Kw
13 ZONE 303 - Stair Tower, Corridor 301	1000	12,473	4	7,619	7,619	0.6	1575.1	0	0	0	1 Ton/4 Kw
Total Loads =	16710	394,003	115	230,360	241,300	20.1	831	39	585	0	
Energy Compliance Calculations (Not Equipment Schedule)											
Equipment is selected based on next available size											



1 THIRD FLOOR MECHANICAL ZONING PLAN - HEAT PUMP  
M0.1 NOT TO SCALE



2 FIRST FLOOR MECHANICAL ZONING PLAN - HEAT PUMP  
M0.1 NOT TO SCALE



3 SECOND FLOOR MECHANICAL ZONING PLAN - HEAT PUMP  
M0.1 NOT TO SCALE



REVISION DATE REV #1 06/09/21

D. REVIEW 07/16/21  
PRE-AP #4 07/01/21  
100% CD 05/14/21  
PROGRESS 04/30/21  
100% DD 04/07/21  
SCHEMATIC 02/18/21

ISSUE/DATE  
DRAWN BY MQ  
CHECKED BY TDN  
DATE 04/02/21  
JOB NO. 1077

THE LOFTS @  
780 1st AVE

780 1st AVENUE,  
KETCHUM, IDAHO

MECHANICAL  
ZONING PLANS

M 0.1  
CATEGORY SEQUENCE





MUSGROVE  
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234 S. Whisperwood Way  
Boise, ID 83709  
208.354.0885  
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PO BOX 1769 [post]  
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KETCHUM, ID 83343

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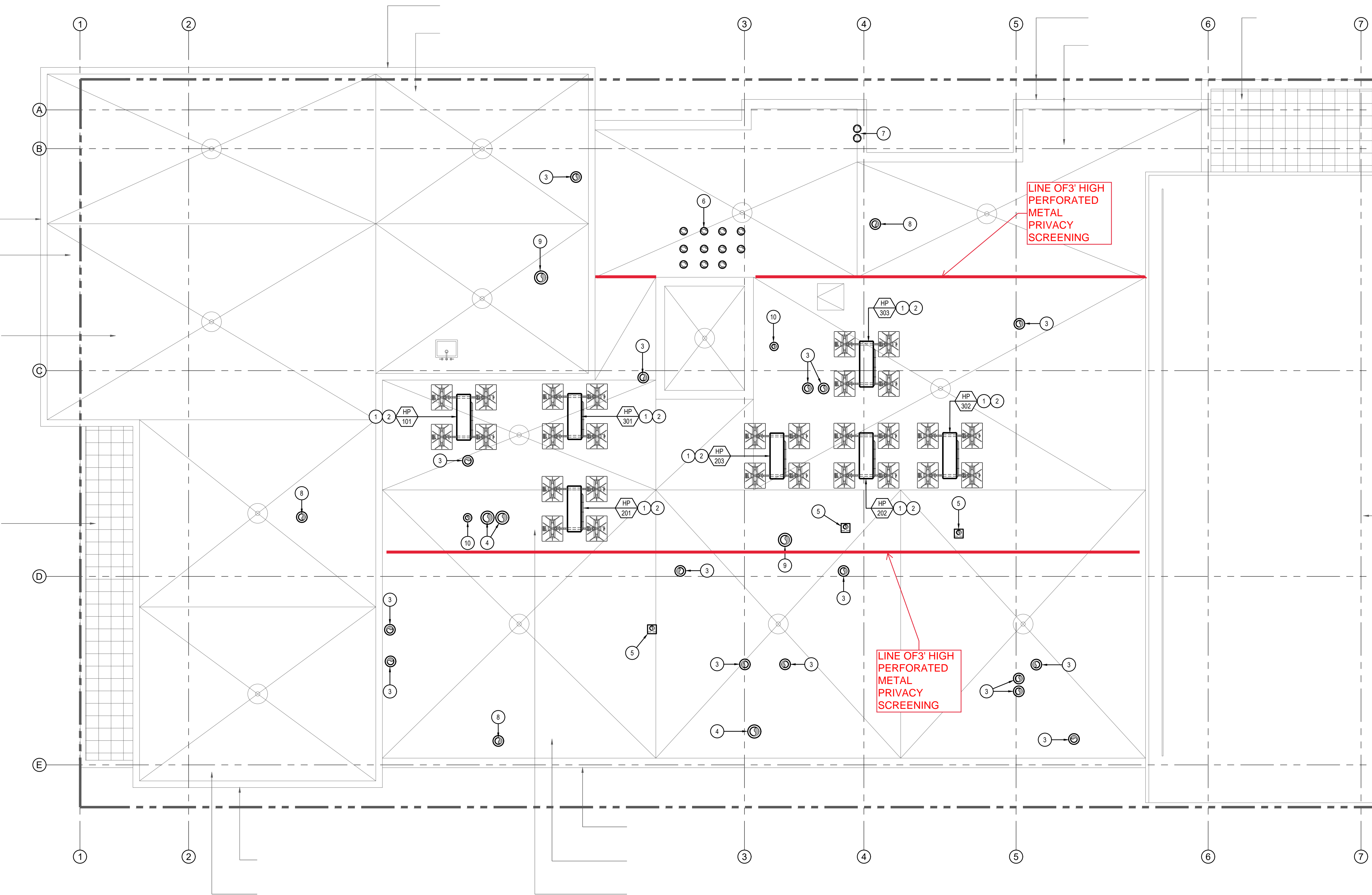
## KEYED NOTES:

# SYMBOL USED FOR NOTE CALLOUT.

- HEAT PUMP UNIT LOCATED ON THE ROOF. PROVIDE SCREENING AROUND UNIT AS REQUIRED BY CITY OF KETCHUM. SEE ROOFTOP HEAT PUMP UNIT PLATFORM DETAIL ON SHEET M-4.0.
- ROUTE REFRIGERANT LINES FROM THIS OUTDOOR HEAT PUMP UNIT TO INDOOR FAN-COIL UNIT LOCATED IN UNIT CEILING SPACE. ROUTE LINES DOWN IN WALL SPACE. FIELD VERIFY EXACT ROUTING. SEE TYPICAL PIPING THRU ROOF DETAIL ON SHEET M-4.0. INSTALL REFRIGERANT PIPING PER MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- 6-INCH EXHAUST VENT CAP ON THE ROOF.
- 8-INCH EXHAUST VENT CAP ON THE ROOF.
- 4-INCH DRYER VENT CAP ON THE ROOF.
- WATER HEATER CONCENTRIC VENT FOR INTAKE AND VENT PIPES. PROVIDE CLEARANCES AROUND VENTS AS REQUIRED BY MANUFACTURER'S INSTALLATION INSTRUCTIONS. (TYPICAL OF 11)
- BOILER INTAKE AND VENT PIPES.
- 6-INCH OUTSIDE AIR INTAKE CAP ON THE ROOF.
- 8-INCH OUTSIDE AIR INTAKE CAP ON THE ROOF.
- 4-INCH RADON VENT PIPE. SEE RADON MITIGATION DETAILS ON SHEET M-4.2.

LINE OF 3' HIGH PERFORATED METAL PRIVACY SCREENING

LINE OF 3' HIGH PERFORATED METAL PRIVACY SCREENING



1 ROOF HVAC PLAN  
M2.4 SCALE: 1/4" = 1'-0"



REVISION DATE REV #1 06/09/21

D. REVIEW	07/16/21
PRE-AP #4	07/01/21
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PROGRESS	04/30/21
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SCHEMATIC	02/18/21

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THE LOFTS @  
780 1st AVE

780 1st AVENUE,  
KETCHUM, IDAHO

ROOF  
HVAC PLAN

M

CATEGORY

1.3

SEQUENCE





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ENGINEERING, P.A.  
234 S. Whiterswood Way  
Boise, ID 83709  
208.384.0855  
645 West 25th Street  
Idaho Falls, ID 83402  
208.523.2862  
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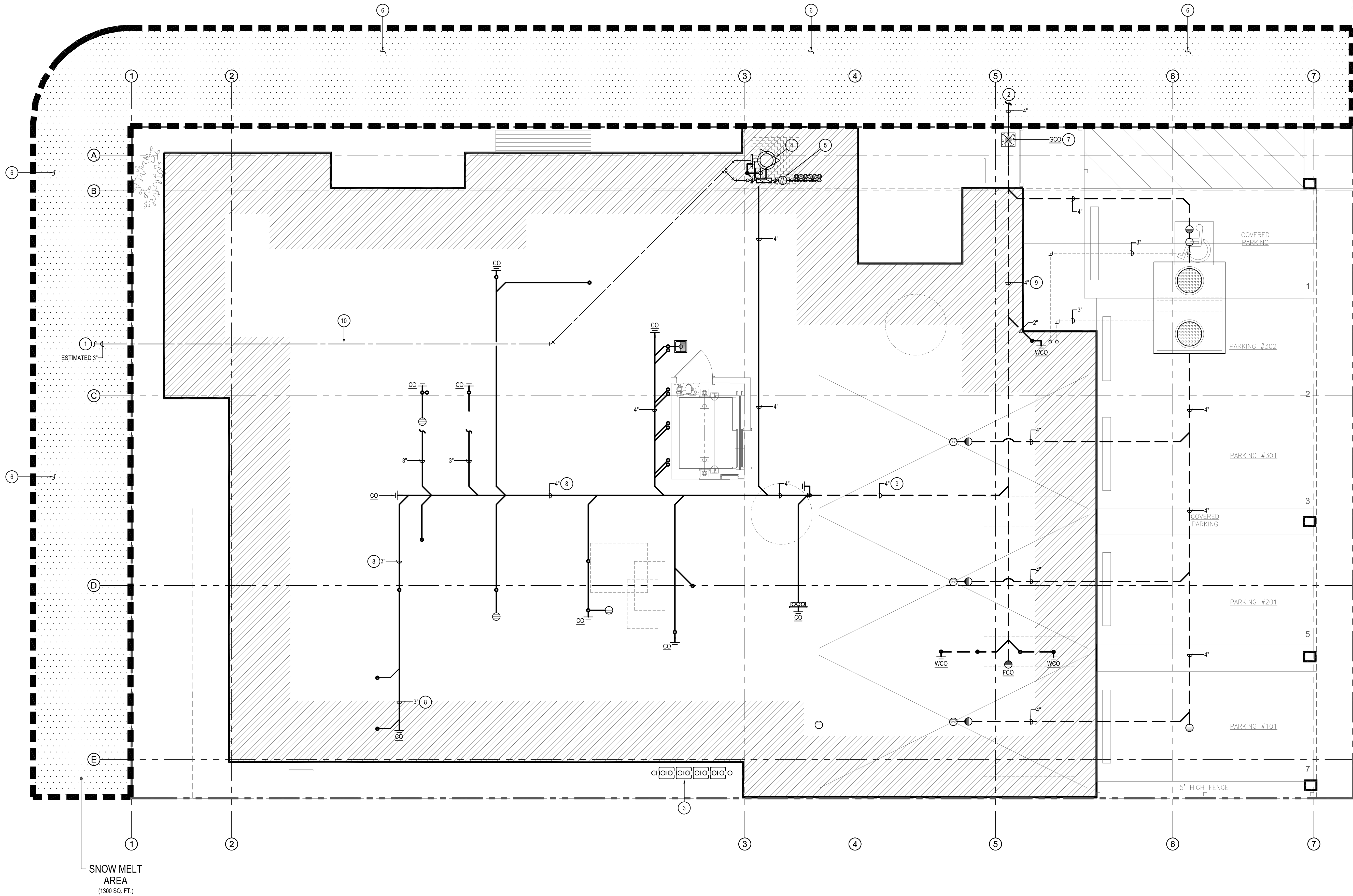
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220 River St. E [courier]  
KETCHUM, ID 83343

V.208.721.7160 / V.208.721.0633

## KEYED NOTES:

# SYMBOL USED FOR NOTE CALLOUT.

1. FIREWATER LINE FROM STREET TO BUILDING. SEE CIVIL SITE PLAN FOR CONTINUATION.
2. 4-INCH WASTE LINE OUT TO EXISTING SANITARY SEWER LINE STUBBED INTO THE PROPERTY. SEE CIVIL SITE PLAN FOR CONTINUATION.
3. GAS METER BANK BY INTERMOUNTAIN GAS COMPANY.
4. LOCATION OF BUILDINGS FIRE SPRINKLER RISER.
5. BUILDING WATER METER. INSTALL METER AS SPECIFIED BY THE CITY WATER UTILITY DEPARTMENT.
6. AREA OF SNOW MELT SYSTEM FOR BUILDINGS SIDEWALK.
7. THE WASTE LINE INVERT ELEVATION AT THIS LOCATION IS 49-INCHES BELOW FINISH FLOOR (BFF). THIS INVERT ELEVATION IS BASED ON A STARTING POINT OF 2-FEET BFF WITH A LINE SLOPE OF 1/4" PER FOOT. THE PLUMBING CONTRACTOR SHALL FIELD VERIFY SITE CONDITIONS AND COORDINATE WITH THE SITE UTILITY CONTRACTOR PRIOR TO INSTALLATION OF ANY PIPING. CONTRACTOR SHALL CONTACT MUSGROVE ENGINEERING IF ANY CONFLICTS OR DISCREPANCIES ARE FOUND IN THE FIELD CONCERNING THIS SPECIFIED INVERT ELEVATION.
8. WASTE LINE ROUTED IN THE CRAWL SPACE. SLOPE LINE AT 1/4-INCH PER FOOT.
9. WASTE LINE SHOWN DASHED IS ROUTED BELOW CONCRETE SLAB. SLOPE LINE AT 1/4-INCH PER FOOT.
10. FIREWATER LINE ROUTED HIGH IN THE CRAWL SPACE.



1 MECHANICAL UTILITY PLAN  
P0.0 SCALE: 1/4" = 1'-0"

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THE LOFTS @  
780 1st AVE

780 1st AVENUE,  
KETCHUM, IDAHO

MECHANICAL  
UTILITY PLAN

P 0.0  
CATEGORY SEQUENCE





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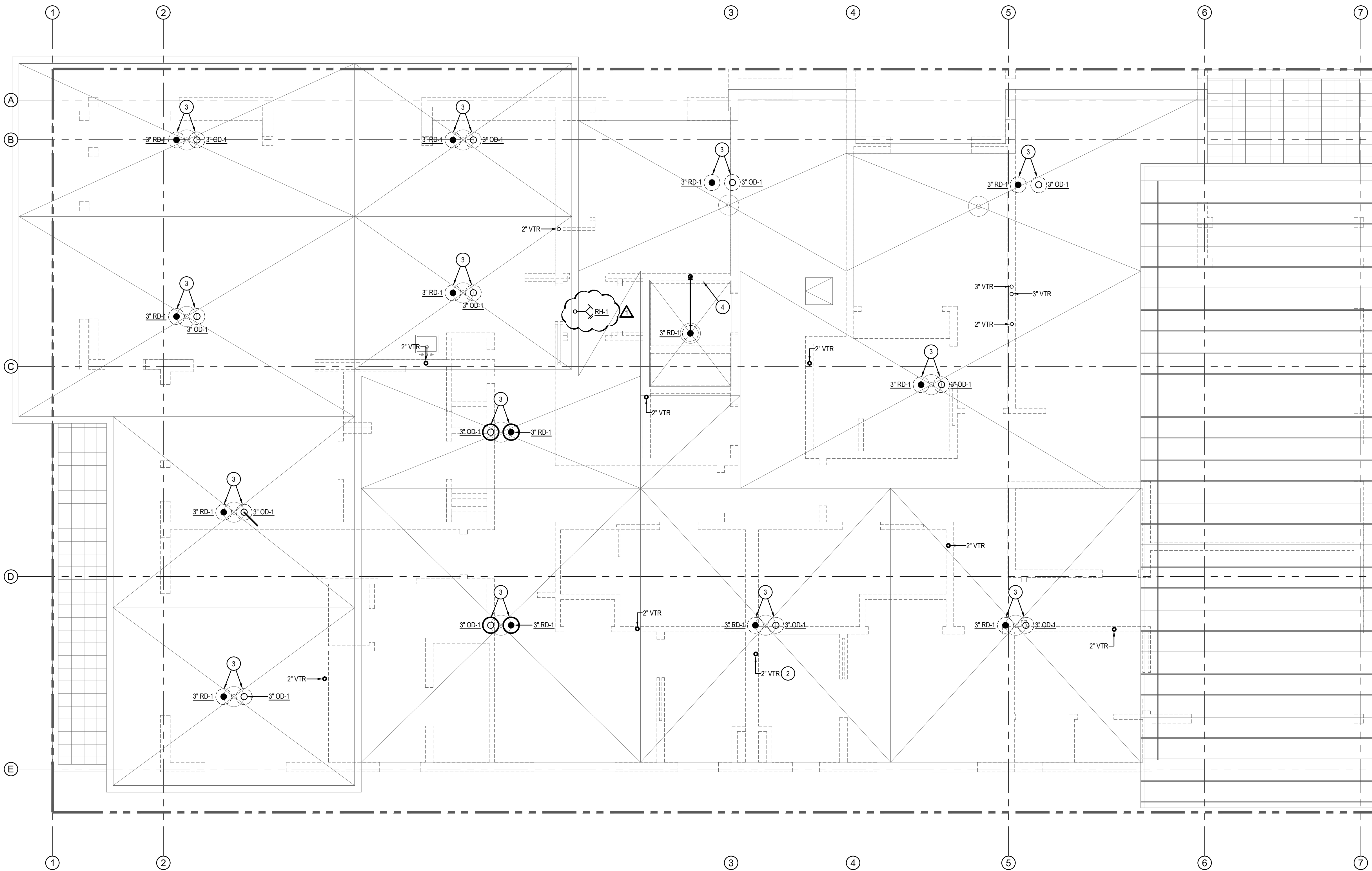
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### KEYED NOTES:

# SYMBOL USED FOR NOTE CALLOUT.

1. ROOF HYDRANT (RH-1) INSTALL PER MANUFACTURERS INSTALLATION INSTRUCTIONS.
2. PLUMBING VENT THROUGH ROOF (VTR). (TYPICAL)
3. PROVIDE HEAT TAPE AT ROOF DRAINS. COORDINATE WITH ELECTRICAL.
4. PROVIDE SCUPPER DRAIN OFF ELEVATOR SHAFT ROOF ONTO LOWER ROOF. SEE ARCHITECTURAL PLANS FOR ROOF DETAILS.



1 ROOF HVAC PLAN  
P1.3 SCALE: 1/4" = 1'-0"



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THE LOFTS @  
780 1st AVE

780 1st AVENUE,  
KETCHUM, IDAHO

ROOF  
HVAC PLAN

P	1.3
CATEGORY	SEQUENCE



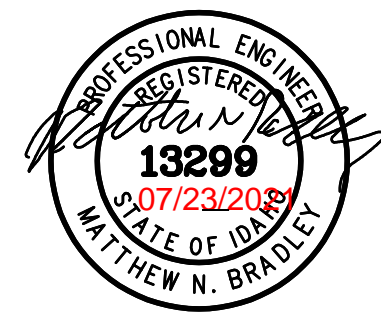


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Idaho Falls, ID 83402  
208.523.2662  
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KETCHUM, ID 83343

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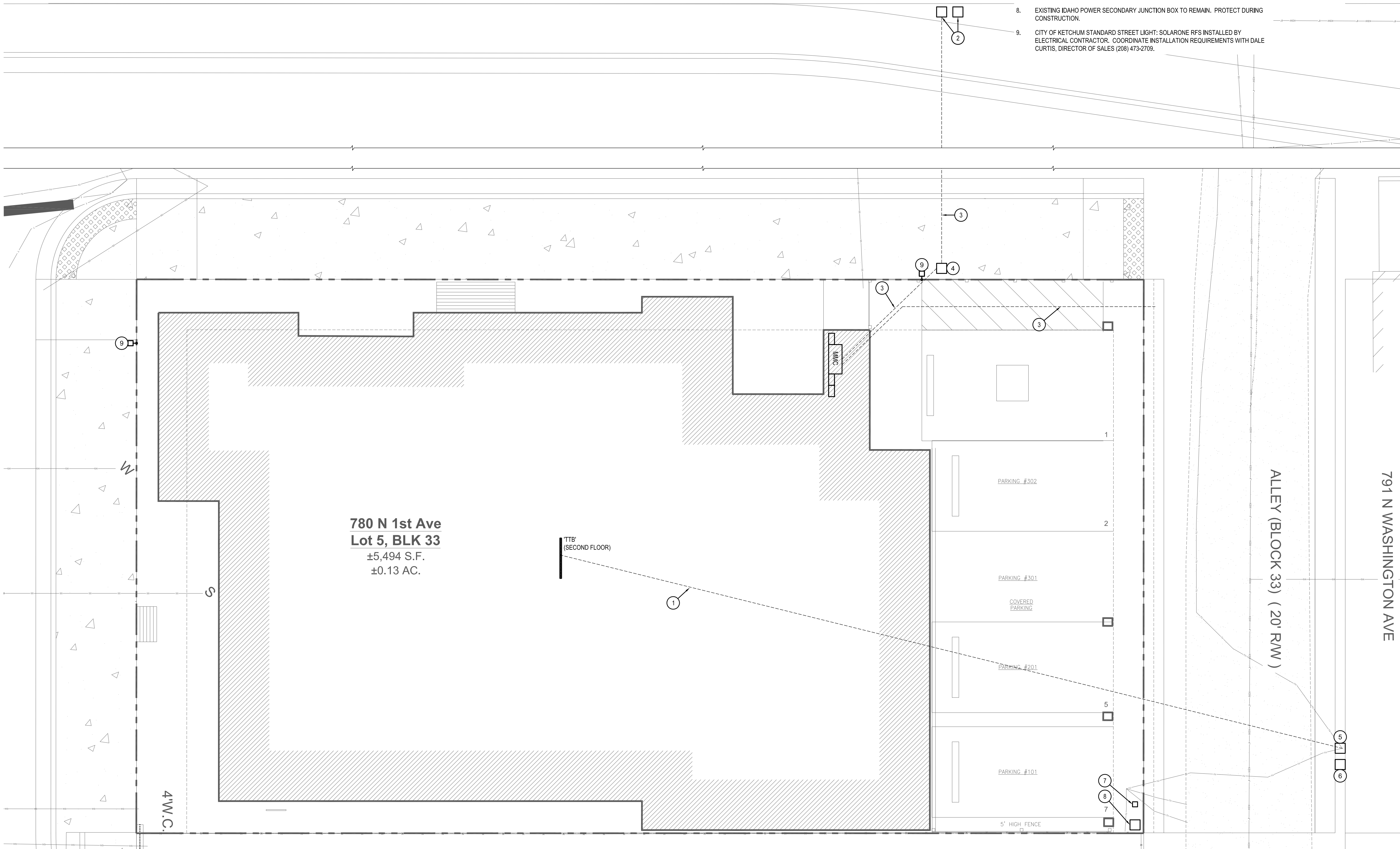


## GENERAL NOTES:

- CONTRACTOR SHALL COORDINATE WITH AN UNDERGROUND LOCATING SERVICE PRIOR TO COMMENCING WORK. COORDINATE WITH OTHER SITE DISCIPLINES.
- ROUTE CONDUITS IN COMMON TRENCH WHERE POSSIBLE REFER TO TRENCHING DETAIL.
- SEE ARCHITECTURAL AND CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.
- SITE LIGHTING AND UTILITY EQUIPMENT SHOWN IN APPROXIMATE LOCATION. COORDINATE EXACT LOCATION WITH CIVIL DRAWINGS, PROPERTY LINES, AND UTILITY COMPANIES PRIOR TO ROUGH-IN.
- PROVIDE PULL-LINE IN ALL EMPTY CONDUITS.

## KEYED NOTES:

- (1) (1) 1/4" CONDUIT FOR PHONE SERVICE, (1) 1/2" CONDUIT FOR CATV SERVICE AND (1) 1/4" CONDUIT FOR FIBER OPTIC CABLE SERVICE. COORDINATE INSTALLATIONS REQUIREMENTS WITH UTILITIES. STUB CONDUITS 12" ABOVE FLOOR AT TT&B AND STUB CONDUITS TO NEAREST TELEPHONE UTILITY PEDESTAL. COORDINATE UTILITY LOCATION PRIOR TO ROUGH-IN. PROVIDE CONDUIT AS REQUIRED. MARK LOCATION WITH MONUMENT MARKER. PROVIDE PULL-LINE WITH EACH CONDUIT.
- PAD MOUNTED TRANSFORMER AND PAD BY IDAHO POWER COMPANY. MAINTAIN REQUIRED CLEARANCES.
- UNDERGROUND SECONDARY BY IDAHO POWER COMPANY. COORDINATE INSTALLATION WITH IDAHO POWER.
- IDAHO POWER SECONDARY JUNCTION BOX INSTALLED BY IDAHO POWER. COORDINATE INSTALLATION WITH IDAHO POWER.
- EXISTING COX FIBER OPTIC CABINET TO REMAIN. COORDINATE TERMINATION WITH COX COMMUNICATIONS.
- EXISTING CENTURY LINK PEDESTAL TO REMAIN. COORDINATE TERMINATION WITH CENTURY LINK.
- EXISTING CENTURY LINK PEDESTAL
- EXISTING IDAHO POWER SECONDARY JUNCTION BOX TO REMAIN. PROTECT DURING CONSTRUCTION.
- CITY OF KETCHUM STANDARD STREET LIGHT: SOLARONE RFS INSTALLED BY ELECTRICAL CONTRACTOR. COORDINATE INSTALLATION REQUIREMENTS WITH DALE CURTIS, DIRECTOR OF SALES (208) 473-2709.



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REVISION	DATE	REV #1	06/09/21
D. REVIEW	07/16/21		
PRE-AP #4	07/01/21		
100% CD	05/14/21		
PROGRESS	04/30/21		
100% DD	04/07/21		
SCHEMATIC	02/18/21		
ISSUE/DATE	DBH		
DRAWN BY	MNB		
CHECKED BY	DATE	03/31/21	
JOB NO.	1077		

## THE LOFTS @ 780 1st AVE

780 1st AVENUE,  
KETCHUM, IDAHO

## ELECTRICAL SITE PLAN





MUSGROVE  
ENGINEERING, P.A.  
234 S. Whisperwood Way  
Boise, ID 83709  
208.394.0355  
645 West 25th Street  
Idaho Falls, ID 83402  
208.523.2862  
www.musgrovepa.com  
Project No. 21086



PO BOX 1769 [post]  
SUN VALLEY, ID 83353  
220 River St. E [courier]  
KETCHUM, ID 83343

V.208.721.7160 / V.208.721.0633

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REVISION DATE	REV #1	06/09/21
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## THE LOFTS @ 780 1st AVE

780 1st AVENUE,  
KETCHUM, IDAHO

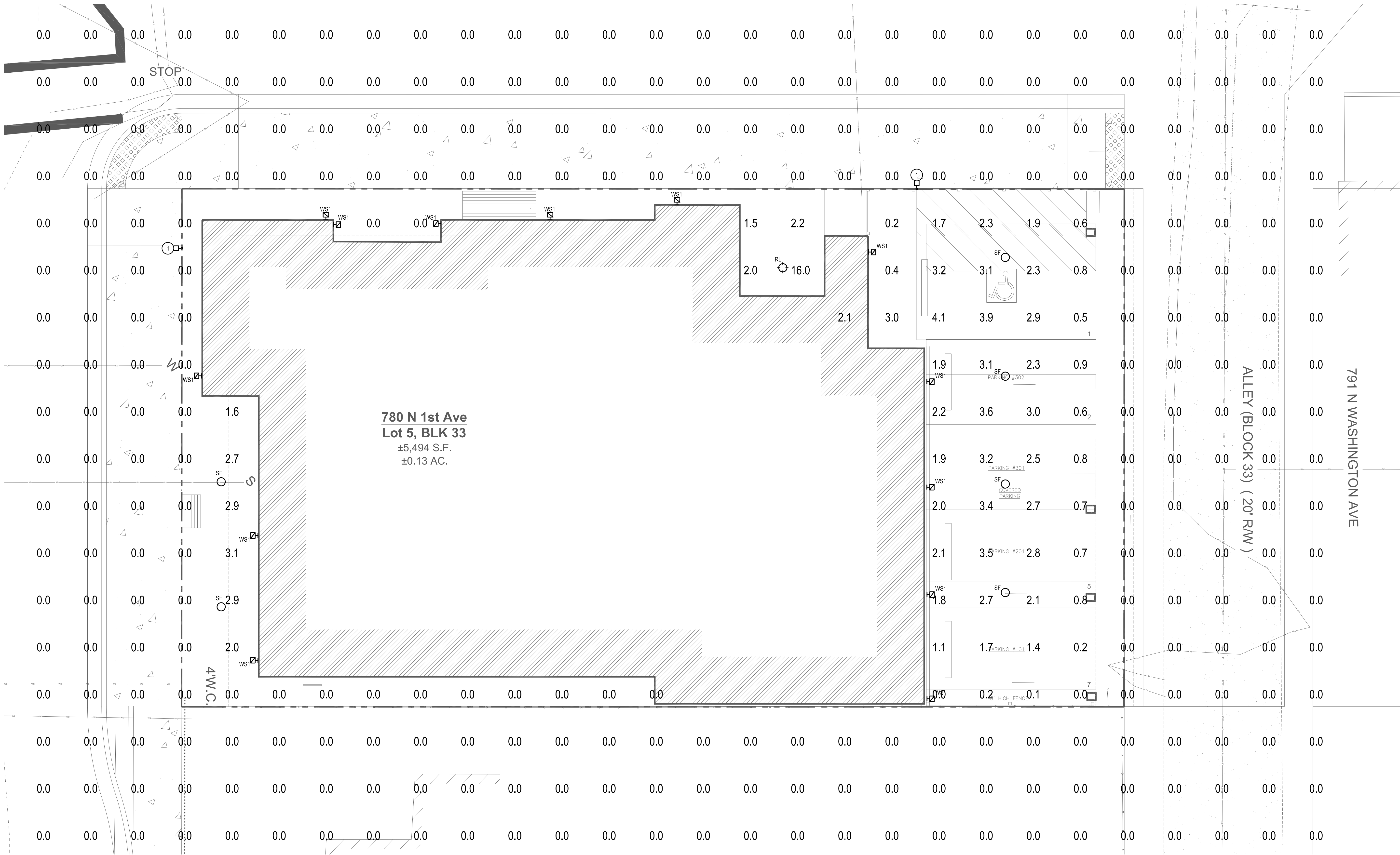
### SITE PHOTOMETRY PLAN

E

CATEGORY

1.1

SEQUENCE



1 SITE PHOTOMETRY PLAN  
E1.1 SCALE: 1" = 5'

### KEYED NOTES:

# SYMBOL USED FOR NOTE CALLOUT.

1. CITY OF KETCHUM STANDARD STREET LIGHT: SOLARONE RFS INSTALLED BY ELECTRICAL CONTRACTOR. COORDINATE INSTALLATION REQUIREMENTS WITH DALE CURTIS, DIRECTOR OF SALES (208) 473-2709.





PO BOX 1769 [post]  
SUN VALLEY, ID 83353  
220 River St. E [courier]  
KETCHUM, ID 83343

V.208.721.7160 / V.208.721.0633



(#) SYMBOL USED FOR NOTE CALLOUT.

1. CITY OF KETCHUM STANDARD STREET LIGHT: SOLARONE RFS INSTALLED BY ELECTRICAL CONTRACTOR. COORDINATE INSTALLATION REQUIREMENTS WITH DALE CURTIS, DIRECTOR OF SALES (208) 473-2709.

D. REVIEW	07/16/21
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E SCHEMATIC	02/18/21

ISSUE/DATE	SCHEMATIC 02/18/21
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DATE	03/31/21
JOB NO.	1077

780 1st AVENUE,  
KETCHUM, IDAHO

E	1.2
CATEGORY	SEQUENCE





MUSGROVE  
ENGINEERING, P.A.  
234 S. Whisperwood Way  
Boise, ID 83709  
208.384.0385  
645 West 25th Street  
Idaho Falls, ID 83402  
208.523.2662  
www.musgrovepa.com  
Project No. 21086



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#### LED recessed ceiling downlight - narrow beam

**Application**  
Designed for down lighting atriums, canopies, passages, and other interior and exterior locations featuring a symmetrical narrow beam light distribution.

**Materials**  
Luminaire housing constructed of die cast marine grade, copper free (60.5% copper content) A380.0 aluminum alloy  
Clear safety glass  
Reflector made of pure anodized aluminum  
High temperature silicone gasket  
Stainless steel screw clamps  
Concealed steel rough in ceiling pan with through wiring box  
NRTL listed to North American Standards, suitable for wet locations  
Protection class IP65  
Weight: 1.4 lbs

**Electrical**  
Operating voltage 120-277VAC  
Minimum start temperature -20°C  
LED module wattage 12.7W  
System wattage 16.5W  
Controllability 0-10V dimming down to 0.1%  
Color rendering index Ra>90  
Luminaire lumens 1070 lumens (8000K)  
Lifetime at Ta = 15°C 360,000 h (L70)  
Lifetime at Ta = 35°C 270,000 h (L70)

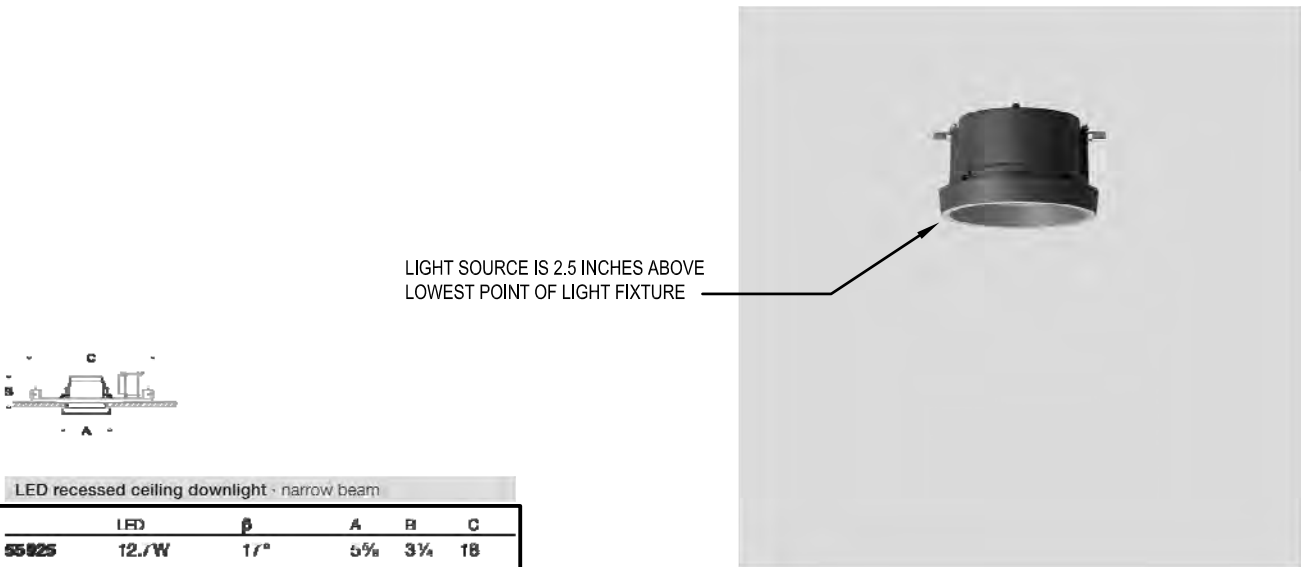
LED color temperature  
□ 4000K - Product number + K4  
□ 3500K - Product number + K35  
□ 3000K - Product number + K3 (EXPRESS)

□ 2700K - Product number + K27

BEGA can supply you with suitable LED replacement modules for up to 20 years after the purchase of LED luminaires - see website for details

**Finish**  
All BEGA standard finishes are matte, textured polyester powder coat with minimum 3 mil thickness.

Available colors: □ Black (BLK) □ White (WHT) □RAL: □ Silver (SLV) □ Bronze (BRZ) □ GUS:



LED recessed ceiling downlight - narrow beam	LED	β	A	B	C
85025	12.7W	17°	5 1/4"	3 1/4"	18"

β - Beam angle

BEGA 1000 BEGA Way, Carpinteria, CA 93013 (805) 684-0533 info@bega-us.com

Due to the dynamic nature of lighting products and the associated technologies, luminaire data on this sheet is subject to change at the discretion of BEGA North America. For the most current technical data, please refer to bega-us.com or copyright BEGA 2019

#### BEGA

#### LED ceiling mounted downlight - wide beam

**Application**  
This compact LED ceiling mounted downlight is designed for down lighting atriums, canopies, passages, and other interior and exterior locations featuring a symmetrical wide beam light distribution.

**Materials**  
Luminaire housing constructed of die cast marine grade, copper free (60.5% copper content) A380.0 aluminum alloy  
Clear safety glass  
Reflector made of pure anodized aluminum  
High temperature silicone gasket  
NRTL listed to North American Standards, suitable for wet locations  
Protection class IP65  
Weight: 2.2 lbs

**Electrical**  
Operating voltage 120-277VAC  
Minimum start temperature -30°C  
LED module wattage 4.9W  
System wattage 7W  
Controllability 0-10V dimmable  
Color rendering index Ra>90  
Luminaire lumens 532 lumens (8000K)  
Lifetime at Ta = 15°C >500,000 h (L70)  
Lifetime at Ta = 40°C 425,000 h (L70)

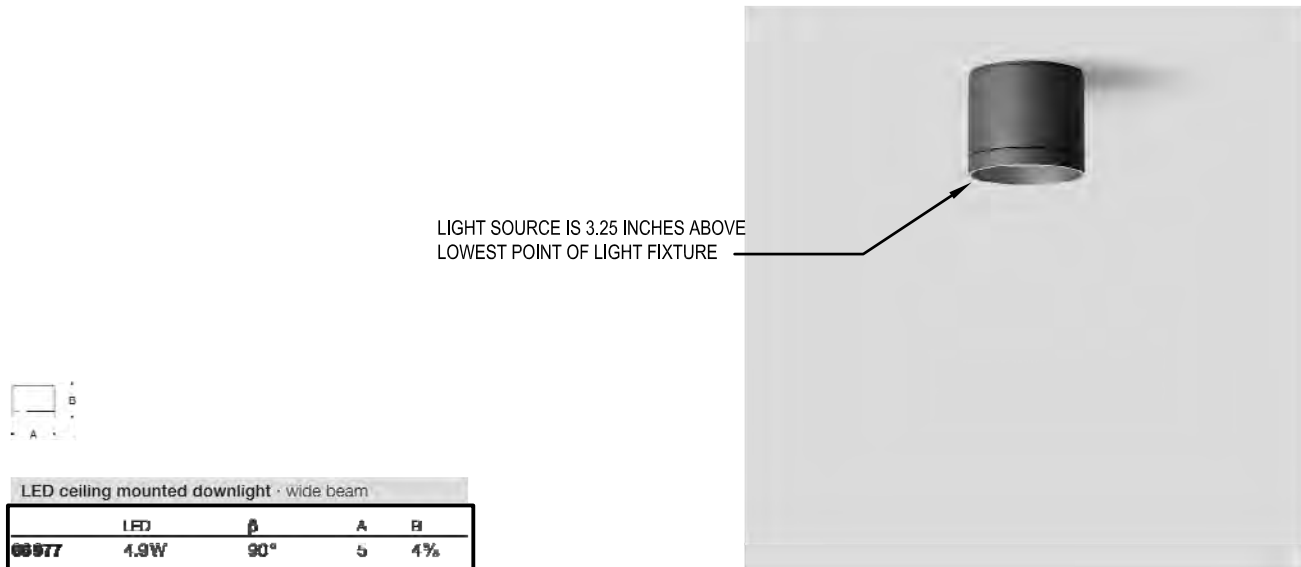
LED color temperature  
□ 4000K - Product number + K4  
□ 3500K - Product number + K35  
□ 3000K - Product number + K3 (EXPRESS)

□ 2700K - Product number + K27

BEGA can supply you with suitable LED replacement modules for up to 20 years after the purchase of LED luminaires - see website for details

**Finish**  
All BEGA standard finishes are matte, textured polyester powder coat with minimum 3 mil thickness.

Available colors: □ Black (BLK) □ White (WHT) □RAL: □ Silver (SLV) □ Bronze (BRZ) □ GUS:



LED ceiling mounted downlight - wide beam	LED	β	A	B	C
85017	4.9W	90°	5"	4 1/4"	

β - Beam angle

BEGA 1000 BEGA Way, Carpinteria, CA 93013 (805) 684-0533 info@bega-us.com

Due to the dynamic nature of lighting products and the associated technologies, luminaire data on this sheet is subject to change at the discretion of BEGA North America. For the most current technical data, please refer to bega-us.com or copyright BEGA 2019

#### LED recessed wall - directed light

INSTALLED ON THIRD LEVEL ENCLOSED DECKS FACING TOWARD BUILDING. NOT VISIBLE FOR STREET

**Application**  
Designed for low mounting heights for interior and exterior locations, the asymmetrical distribution provides light in a forward orientation and is suitable for lighting ground surfaces, building entrances, and stairways.

**Materials**  
Luminaire housing and fascias constructed of die cast marine grade, copper free (60.5% copper content) A380.0 aluminum alloy  
Clear safety glass  
Reflector made of pure anodized aluminum  
High temperature silicone gasket  
Mechanically captive stainless steel fasteners  
Stainless steel screw clamps  
Painted aluminum installation housing  
NRTL listed to North American Standards, suitable for wet locations  
Protection class IP65  
Weight: 0.8 lbs

**Electrical**  
Operating voltage 24VDC (remote power supply req.)  
LED module wattage 2.1W  
System wattage 3.1W  
Controllability 0-10V dimming down to 0.1%  
Color rendering index Ra>90  
Luminaire lumens 43 lumens (8000K)  
Lifetime at Ta = 25°C 50,000 h (L70)

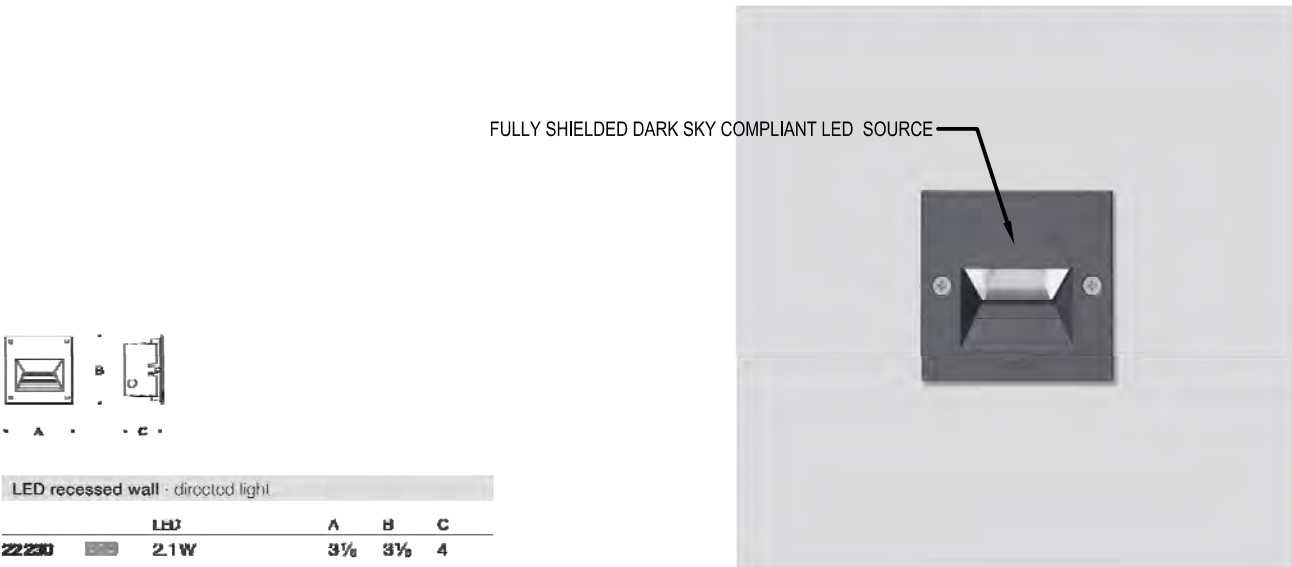
LED color temperature  
□ 4000K - Product number + K4  
□ 3500K - Product number + K35  
□ 3000K - Product number + K3 (EXPRESS)

□ 2700K - Product number + K27

BEGA can supply you with suitable LED replacement modules for up to 20 years after the purchase of LED luminaires - see website for details

**Finish**  
All BEGA standard finishes are matte, textured polyester powder coat with minimum 3 mil thickness.

Available colors: □ Black (BLK) □ White (WHT) □RAL: □ Silver (SLV) □ Bronze (BRZ) □ GUS:

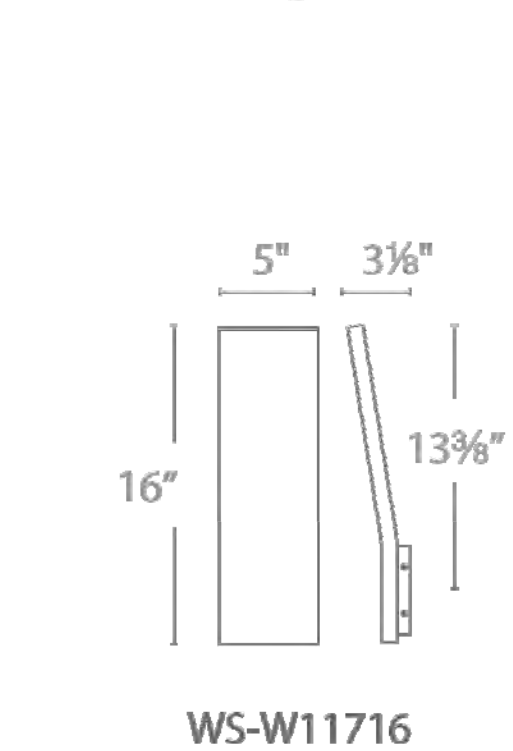


LED recessed wall - directed light	LED	A	B	C
22280	2.1W	3 1/4"	3 1/4"	4"

BEGA 1000 BEGA Way, Carpinteria, CA 93013 (805) 684-0533 info@bega-us.com

Due to the dynamic nature of lighting products and the associated technologies, luminaire data on this sheet is subject to change at the discretion of BEGA North America. For the most current technical data, please refer to bega-us.com or copyright BEGA 2019

#### BEGA



WS-W11716

Model & Size	Color Temp	Finish	LED Watts	LED Lumens	Delivered Lumens
□ WS-W11716 10"	3000K	□ AL - Brushed Aluminum	15.2W	1112	893
	3000K	□ BL - Black	15.2W	1112	893

Example: WS-W11716-BK

\*For 277V special order, add an "F" before the finish: WS-W11716F-BK

For custom requests please contact custom@modernforms.com

ModernForms.com | Phone: (866) 810-6615 | Fax: (800) 526-2585  
Central Distribution Center: 1600 Distribution Ct., Idaho Springs, CO 80439  
Western Distribution Center: 1750 Archibald Avenue, Ontario, CA 91760

MODERN FORMS

Project: \_\_\_\_\_  
Location: \_\_\_\_\_  
Fixture Type: \_\_\_\_\_  
Catalog Number: \_\_\_\_\_



#### Blade

WS-W11716

##### PRODUCT DESCRIPTION

A new slant on modern lighting. This low profile angular source displays robust indirect illumination on walls and surfaces in two slant for various exterior and interior applications. The subtle graduated design offers a unique look and high style appeal.

##### FEATURES

- 277V option available for special order.
- A2D2 directness technology
- Rack & Rillumination

##### SPECIFICATIONS

Rated Life	50000 Hours
Standards	ETL, cETL, Wet Location Listed, Dark Sky Compliant (upside down)
Input	120 VAC
Dimming	ELV
Mounting	Can be mounted on wall vertically or upside down
Color Temp	3000K. MANUFACTURER WILL MAKE 2700K AS CUSTOM ORDER
CRI	90
Construction	Aluminum hardware

##### REPLACEMENT PARTS

RPL-GA-11716- Glass

_____	_____
_____	_____
_____	_____
_____	_____
_____	_____
_____	_____

REVISION DATE REV #1 06/09/21

_____	_____
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100% DD	04/07/21

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DRAWN BY	DBH
CHECKED BY	MNB
DATE	03/31/21
JOB NO.	1077

THE LOFTS @  
780 1st AVE

780 1st AVENUE,  
KETCHUM, IDAHO

EXTERIOR  
LIGHTING CUTSHEETS

E

CATEGORY

1.3

SEQUENCE



A. REFER TO ARCHITECTS LIGHTING PLAN FOR DIMENSIONAL LIGHTING LAYOUT.

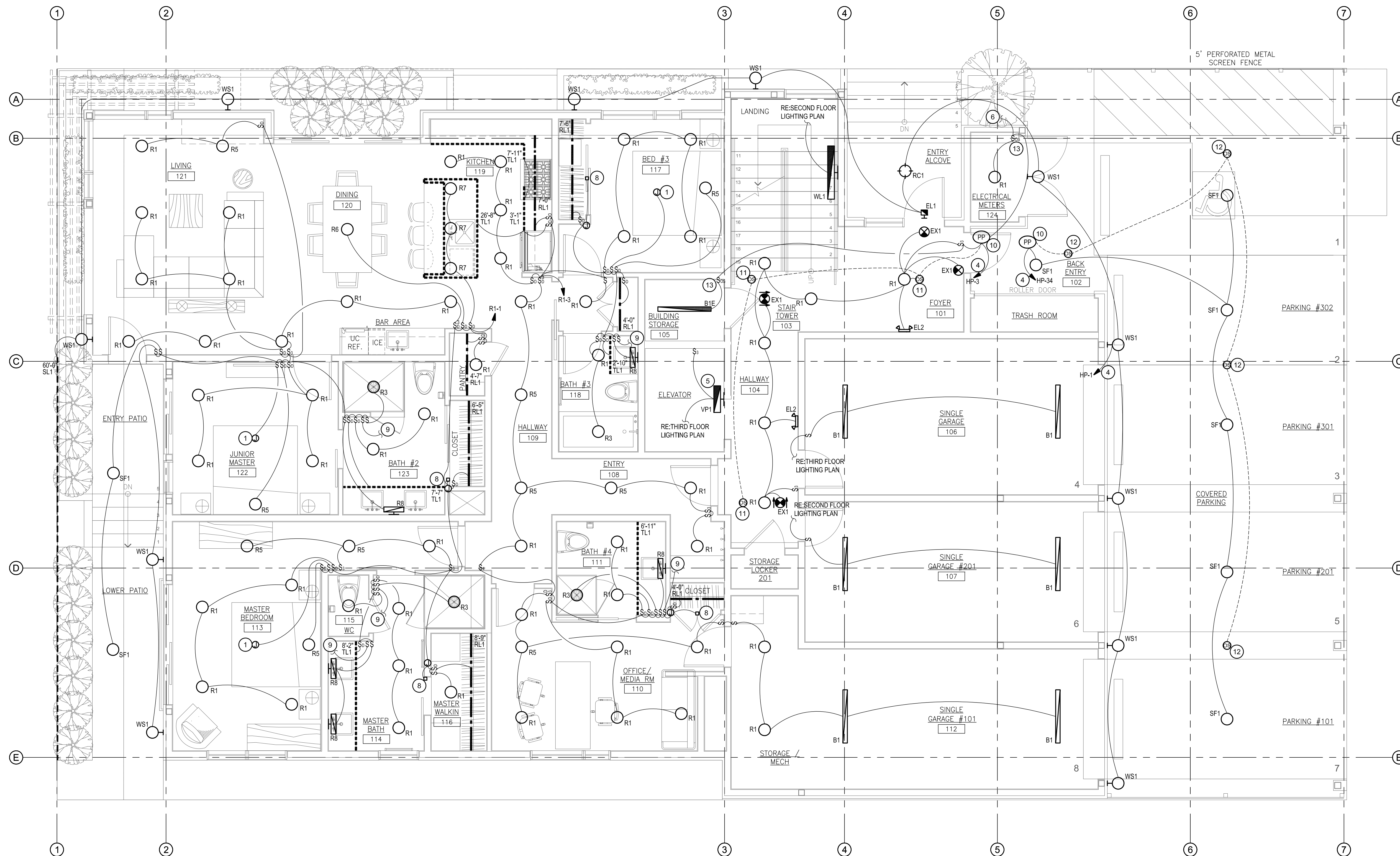


(#) SYMBOL USED FOR NOTE CALLOUT.

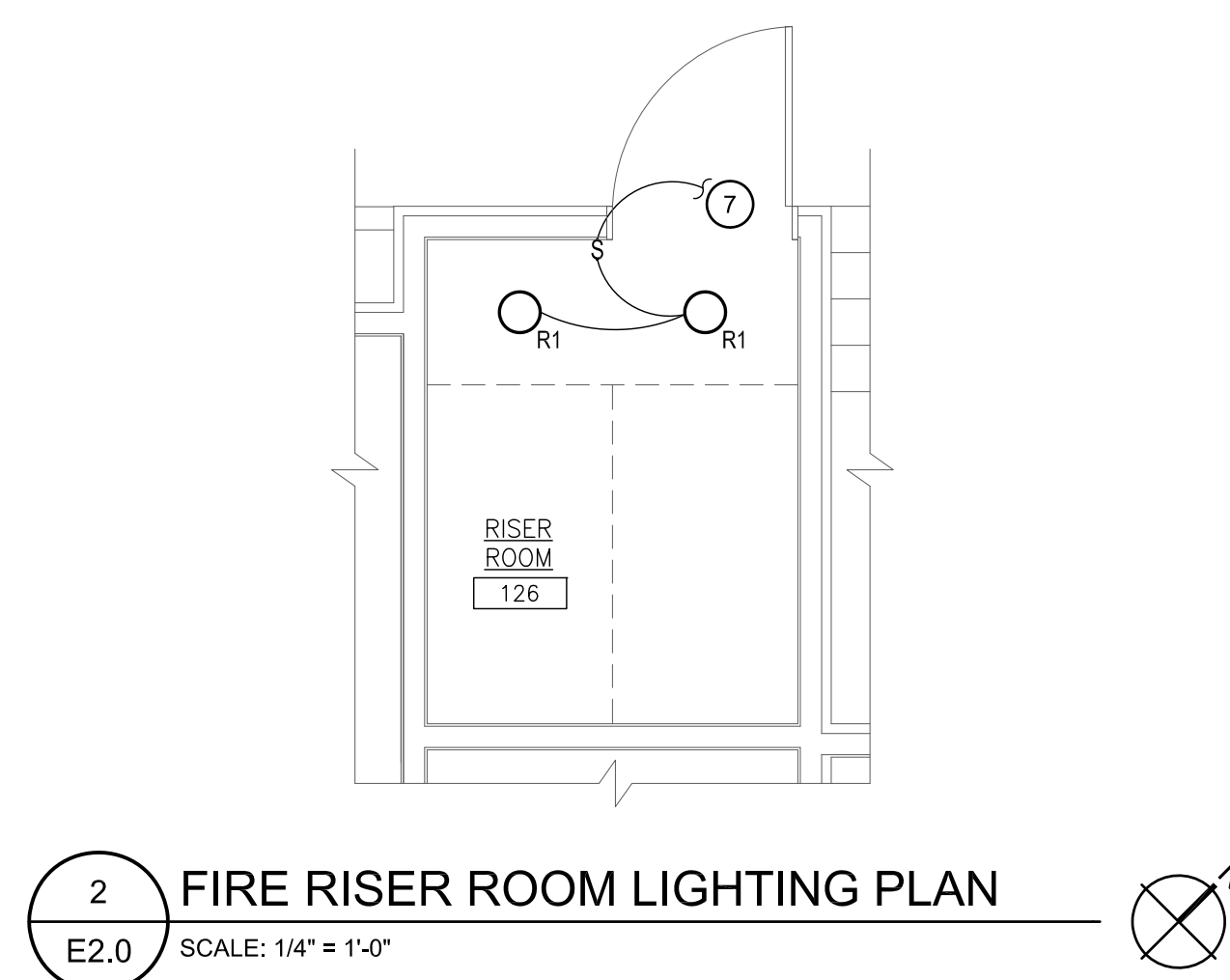
1. PROVIDE A J-BOX THAT IS RATED FOR A CEILING FAN. COORDINATE WITH OWNER PRIOR TO ROUGH-IN.
2. PROVIDE SWITCH FOR CEILING FAN. PROVIDE CONDUCTORS TO FAN JUNCTION BOX AS REQUIRED. COORDINATE WITH OWNER PRIOR TO ROUGH-IN.
3. LIGHTING CONTROL PANEL, RE: LIGHTING CONTROL ZONE SCHEDULE.
4. ROUTE CIRCUIT THROUGH LIGHTING CONTROL PANEL. RE: LIGHTING CONTROL ZONE SCHEDULE DWG E6.0.
5. MOUNT FIXTURE AND ASSOCIATED SWITCH ABOVE THE LOWEST LEVEL OF ENTRY INTO THE ELEVATOR PIT.
6. TO FIRE RISER ROOM 126.
7. TO STORAGE LOCKER 125.
8. INSTALL CLASS 2 MAGNETIC DOOR SWITCH, FUNCTIONAL DEVICES CLC106 OR EQUAL FOR CLOSET DOORS.
9. TO EXHAUST FAN, SEE DRAWING E3.0.
10. INSTALL POWER PACK COMPATIBLE WITH OCCUPANCY SENSOR.
11. INSTALL SMALL MOTION, SINGLE TECHNOLOGY, LOW VOLTAGE OCCUPANCY SENSOR. INTERCONNECT WITH LOW VOLTAGE CABLE. SEE MANUFACTURERS INSTALLATION MANUAL.
12. INSTALL SMALL MOTION, SINGLE TECHNOLOGY, LOW VOLTAGE, LOW TEMP, HIGH HUMIDITY OCCUPANCY SENSOR. INTERCONNECT WITH LOW VOLTAGE CABLE. SEE MANUFACTURERS INSTALLATION MANUAL.
13. INSTALL SINGLE TECHNOLOGY OCCUPANCY SENSOR.

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220 River St. E [courier]  
KETCHUM, ID 83343

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1 FIRST FLOOR LIGHTING PLAN  
E2.0 SCALE: 1/4" = 1'-0"



## 2 FIRE RISER ROOM LIGHTING PLAN

REVISION DATE	REV #1	06/09/21
<hr/>		
	D. REVIEW	07/16/21
	PRE-AP #4	07/10/21
	100% CD	05/14/21
	PROGRESS	04/30/21
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ISSUE/DATE	SCHEMATIC	02/18/21
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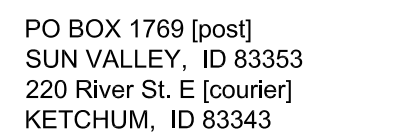
THE LOFTS @  
780 1st AVE

780 1st AVENUE,  
KETCHUM, IDAHO

## FIRST FLOOR LIGHTING PLAN

E	2.0
EGORY	SEQUENCE





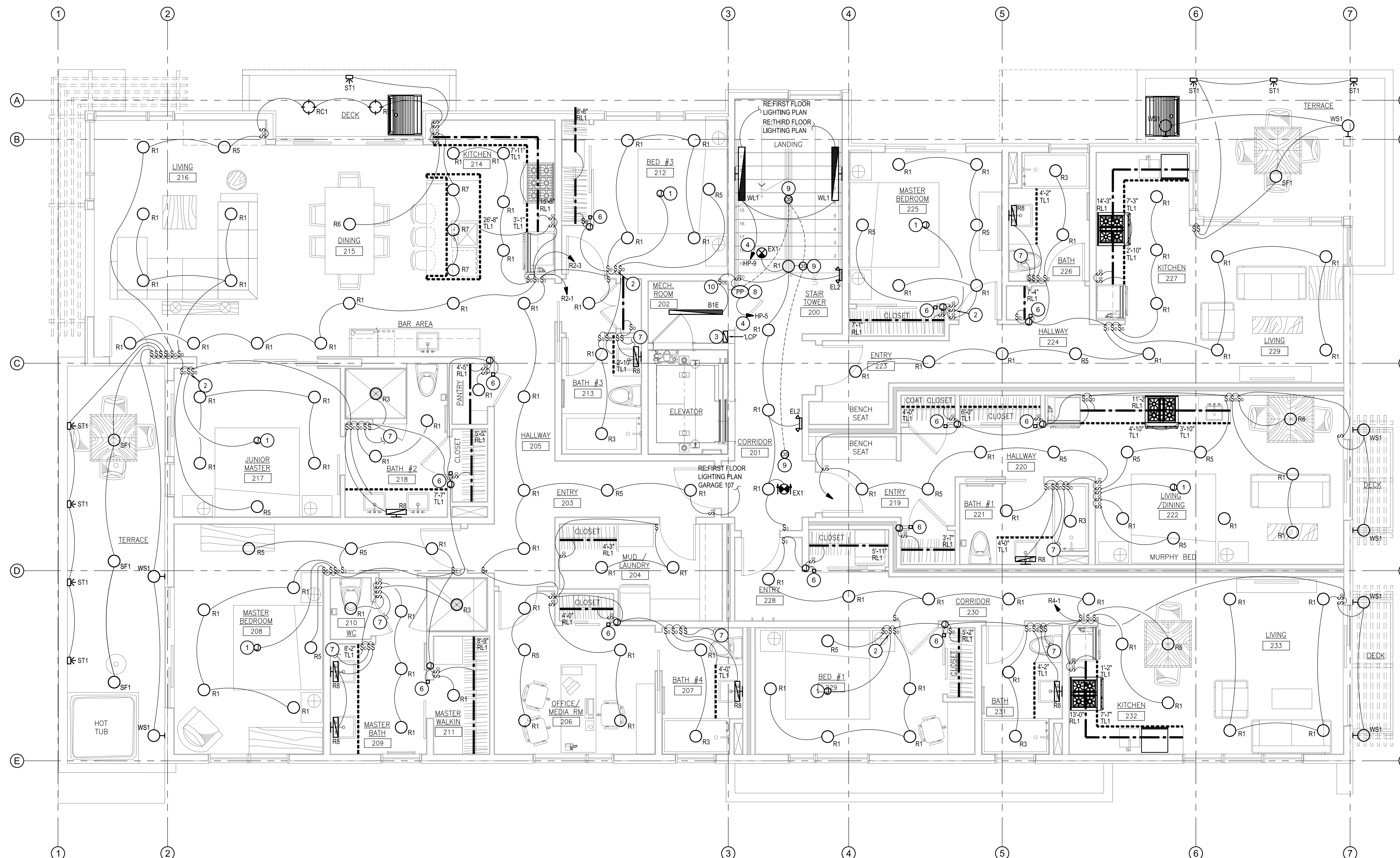
V.208.721.7160 / V.208.721.0633

KEYED NOTES:

A. REFER TO ARCHITECTS LIGHTING PLAN FOR DIMENSIONAL LIGHTING LAYOUT.

(#) SYMBOL USED FOR NOTE CALLOUT

1. PROVIDE A J-BOX THAT IS RATED FOR A CEILING FAN. COORDINATE WITH OWNER PRIOR TO ROUGH-IN.
2. PROVIDE SWITCH FOR CEILING FAN. PROVIDE CONDUCTORS TO FAN JUNCTION BOX AS REQUIRED. COORDINATE WITH OWNER PRIOR TO ROUGH-IN.
3. LIGHTING CONTROL PANEL. RE: LIGHTING CONTROL ZONE SCHEDULE.
4. ROUTE CIRCUIT THROUGH LIGHTING CONTROL PANEL. RE: LIGHTING CONTROL ZONE SCHEDULE DWG E0.0.
5. MOUNT FIXTURE AND ASSOCIATED SWITCH ABOVE THE LOWEST LEVEL OF ENTRY INTO THE ELEVATOR PIT.
6. INSTALL CLASS 2 MAGNETIC DRIVE SWITCH, FUNCTIONAL DEVICES CLC106 OR EQUAL FOR CLOSET DOORS.
7. TO EXHAUST FAN. SEE DRAWING E3.0.
8. INSTALL POWER PACK COMPATIBLE WITH OCCUPANCY SENSOR.
9. INSTALL SMALL MOTION, SINK TECHNOLOGY, LOW VOLTAGE OCCUPANCY SENSOR. INTERCONNECT WITH LOW VOLTAGE CABLE. SEE MANUFACTURERS INSTALLATION MANUAL.
10. INSTALL SINK TECHNOLOGY OCCUPANCY SENSOR.



1 SECOND FLOOR LIGHTING PLAN  
E2.1 SCALE: 1/4" = 1'-0"



REVISION DATE	REV #1	06/09/21
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JOB NO.	1077	

THE LOFTS @  
780 1st AVE

780 1st AVENUE,  
KETCHUM, IDAHO

## SECOND FLOOR LIGHTING PLAN

E	2.1
CATEGORY	SEQUENCE





MUSGROVE  
ENGINEERING, P.A.  
234 S. Whisperwood Way  
Boise, ID 83709  
208.344.0385  
645 West 25th Street  
Idaho Falls, ID 83402  
208.523.2662  
www.musgrovepa.com  
Project No. 21086



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220 River St. E [courier]  
KETCHUM, ID 83343

V.208.721.7160 / V.208.721.0633

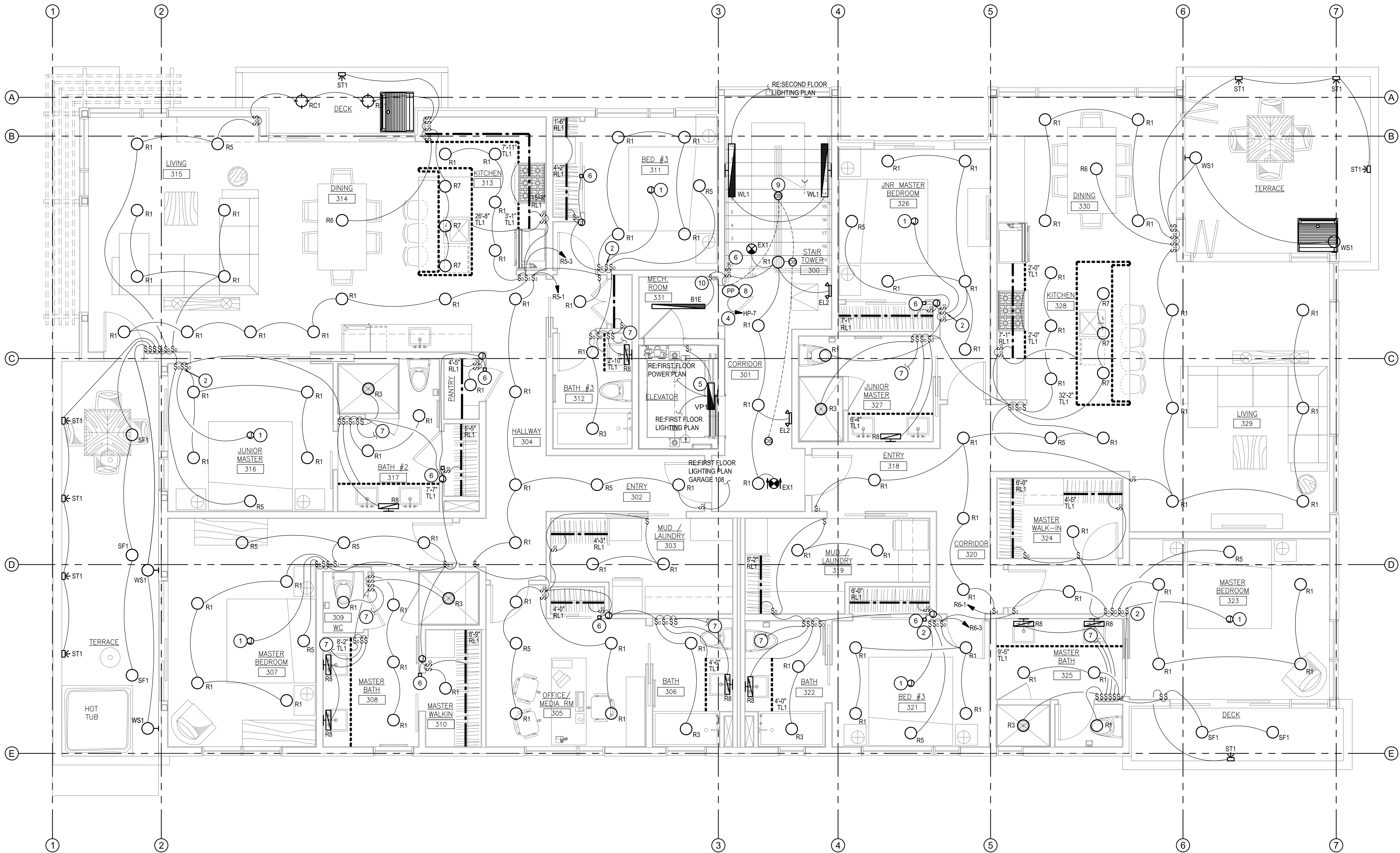
## GENERAL LIGHTING NOTES:

A. REFER TO ARCHITECTS LIGHTING PLAN FOR DIMENSIONAL LIGHTING LAYOUT.

## KEYED NOTES:

# SYMBOL USED FOR NOTE CALLOUT.

1. PROVIDE A J-BOX THAT IS RATED FOR A CEILING FAN. COORDINATE WITH OWNER PRIOR TO ROUGH-IN.
2. PROVIDE SWITCH FOR CEILING FAN. PROVIDE CONDUCTORS TO FAN JUNCTION BOX AS REQUIRED. COORDINATE WITH OWNER PRIOR TO ROUGH-IN.
3. LIGHTING CONTROL PANEL. RE: LIGHTING CONTROL ZONE SCHEDULE.
4. ROUTE CIRCUIT THROUGH LIGHTING CONTROL PANEL. RE: LIGHTING CONTROL ZONE SCHEDULE DWG E6.0.
5. MOUNT FIXTURE AND ASSOCIATED SWITCH ABOVE THE LOWEST LEVEL OF ENTRY INTO THE ELEVATOR PIT.
6. INSTALL CLASS 2 MAGNETIC DOOR SWITCH, FUNCTIONAL DEVICES CLC106 OR EQUAL FOR CLOSET DOORS.
7. CONNECT TO EXHAUST FAN, SEE DRAWING E3.0.
8. INSTALL POWER PACK COMPATIBLE WITH OCCUPANCY SENSOR.
9. INSTALL SMALL MOTION, SINGLE TECHNOLOGY, LOW VOLTAGE OCCUPANCY SENSOR. INTERCONNECT WITH LOW VOLTAGE CABLE. SEE MANUFACTURERS INSTALLATION MANUAL.
10. INSTALL SINGLE TECHNOLOGY OCCUPANCY SENSOR.



1 THIRD FLOOR LIGHTING PLAN  
E2.2 SCALE: 1/4" = 1'-0"

REVISION DATE REV #1 06/09/21

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THE LOFTS @  
780 1st AVE

780 1st AVENUE,  
KETCHUM, IDAHO

THIRD FLOOR  
LIGHTING PLAN

E 2.2  
CATEGORY SEQUENCE



GENERAL LIGHTING NOTES:

A. REFER TO ARCHITECTS LIGHTING PLAN FOR DIMENSIONAL LIGHTING LAYOUT.



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234 S. Whisperwood Way  
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www.musgrovepa.com  
Project No. 21086

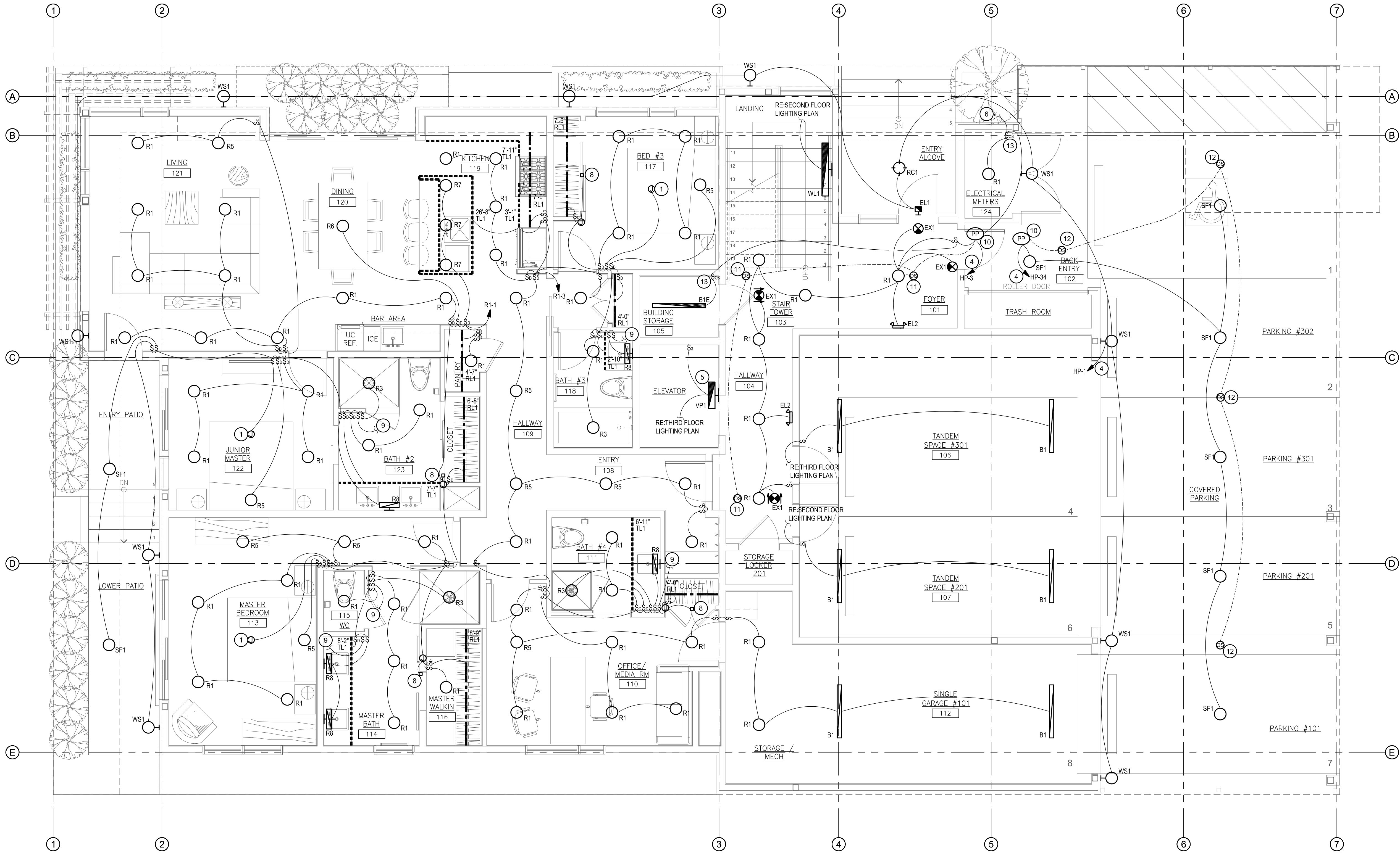


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KETCHUM, ID 83343  
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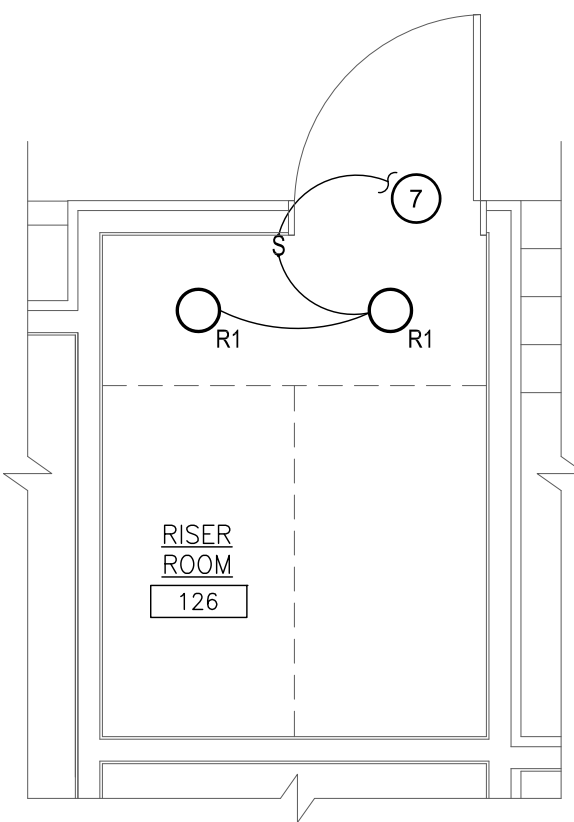
KEYED NOTES:

# SYMBOL USED FOR NOTE CALLOUT.

1. PROVIDE A J-BOX THAT IS RATED FOR A CEILING FAN. COORDINATE WITH OWNER PRIOR TO ROUGH-IN.
2. PROVIDE SWITCH FOR CEILING FAN. PROVIDE CONDUCTORS TO FAN JUNCTION BOX AS REQUIRED. COORDINATE WITH OWNER PRIOR TO ROUGH-IN.
3. LIGHTING CONTROL PANEL. RE: LIGHTING CONTROL ZONE SCHEDULE.
4. ROUTE CIRCUIT THROUGH LIGHTING CONTROL PANEL. RE: LIGHTING CONTROL ZONE SCHEDULE DWG E6.0.
5. MOUNT FIXTURE AND ASSOCIATED SWITCH ABOVE THE LOWEST LEVEL OF ENTRY INTO THE ELEVATOR FIT.
6. TO FIRE RISER ROOM 126.
7. TO STORAGE LOCKER 125.
8. INSTALL CLASS 2 MAGNETIC DOOR SWITCH, FUNCTIONAL DEVICES CLC106 OR EQUAL FOR CLOSET DOORS.
9. TO EXHAUST FAN, SEE DRAWING E3.0.
10. INSTALL POWER PACK COMPATIBLE WITH OCCUPANCY SENSOR.
11. INSTALL SMALL MOTION, SINGLE TECHNOLOGY, LOW VOLTAGE OCCUPANCY SENSOR. INTERCONNECT WITH LOW VOLTAGE CABLE. SEE MANUFACTURERS INSTALLATION MANUAL.
12. INSTALL SMALL MOTION, SINGLE TECHNOLOGY, LOW VOLTAGE, LOW TEMP, HIGH HUMIDITY OCCUPANCY SENSOR. INTERCONNECT WITH LOW VOLTAGE CABLE. SEE MANUFACTURERS INSTALLATION MANUAL.
13. INSTALL SINGLE TECHNOLOGY OCCUPANCY SENSOR.



1 FIRST FLOOR LIGHTING PLAN  
E2.0 SCALE: 1/4" = 1'-0"



2 FIRE RISER ROOM LIGHTING PLAN  
E2.0 SCALE: 1/4" = 1'-0"

THE LOFTS @  
780 1st AVE

780 1st AVENUE,  
KETCHUM, IDAHO

FIRST FLOOR  
LIGHTING PLAN

E 2.0  
CATEGORY SEQUENCE





MUSGROVE  
ENGINEERING, P.A.  
234 S. Whisperwood Way  
Boise, ID 83709  
208.394.0385  
645 West 25th Street  
Idaho Falls, ID 83402  
208.523.2862  
www.musgrovepa.com  
Project No. 21086



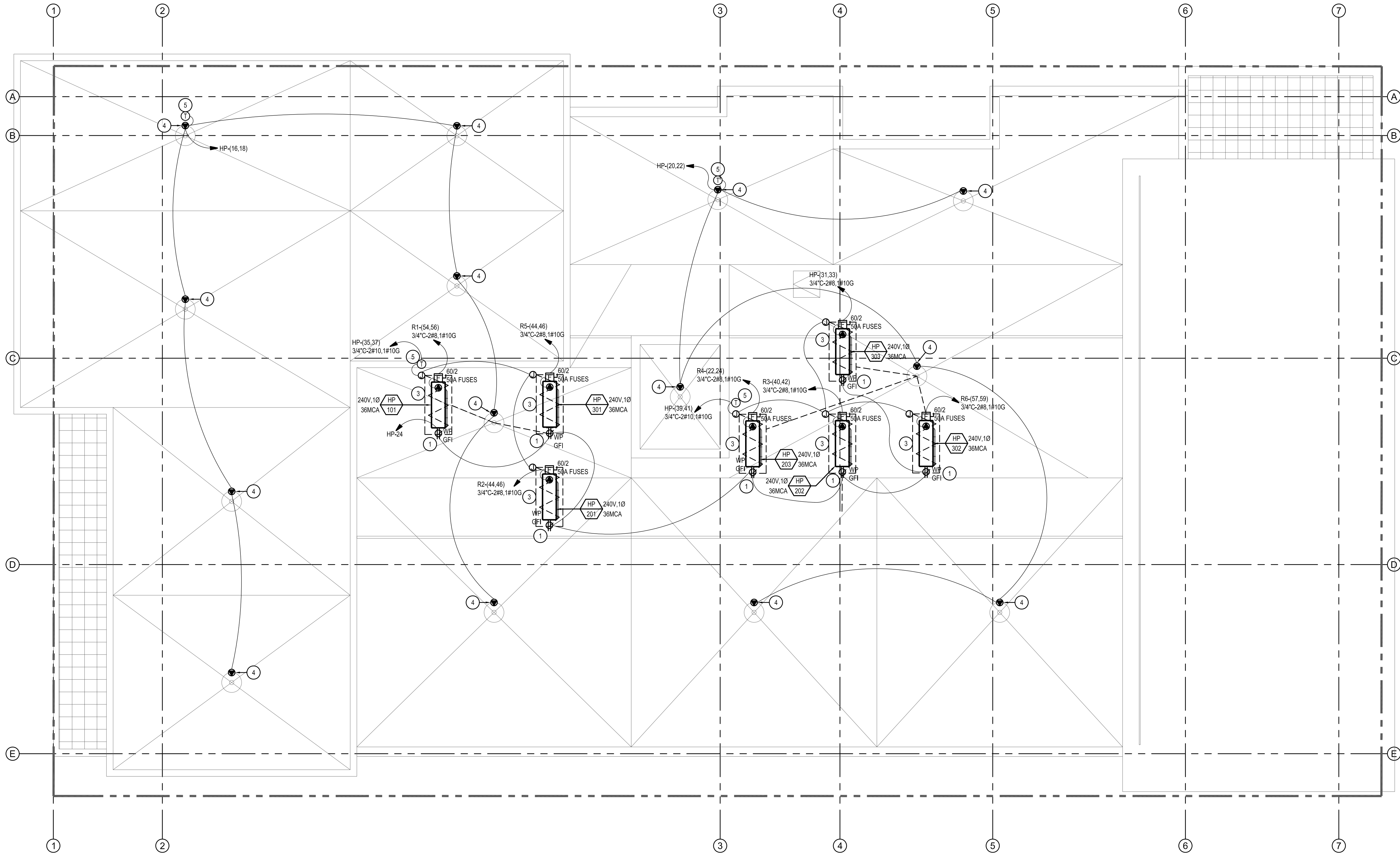
PO BOX 1769 [post]  
SUN VALLEY, ID 83353  
220 River St. E [courier]  
KETCHUM, ID 83343

V.208.721.7160 / V.208.721.0633

## KEYED NOTES:

# SYMBOL USED FOR NOTE CALLOUT.

1. MOUNT RECEPTACLE ON RIGID CONDUIT 12" ABOVE ROOF DECK OR ON MECHANICAL UNIT WHERE APPLICABLE.
2. FIELD COORDINATE DISCONNECT AND EQUIPMENT LOCATION WITH MECHANICAL CONTRACTOR TO MAINTAIN ALL REQUIRED CLEARANCES.
3. PROVIDE AND INSTALL HEAT TAPE TO COVER THE AREA INDICATED AROUND THE BASE OF EACH OF THE HEAT PUMPS THEN TO THE NEAREST ROOF DRAIN. COORDINATE WITH MECHANICAL CONTRACTOR. UTILIZE RECHEM ICESTOP 12W/FT OR EQUAL HEAT TAPE. PROVIDE PENTAIR AMC-1A FOR EACH CIRCUIT.
4. CONNECTION FOR ROOF DRAIN HEAT TAPE. INSTALL HEAT TAPE AROUND ROOF DRAIN AND OVERFLOW DRAIN DOWNSPOUT. EXTEND HEAT TAPE 4" DOWN THE DRAIN PIPE INTO BUILDING ENVELOPE. WHERE DRAIN DOES NOT ENTER BUILDING ENVELOPE, INSTALL HEAT TAPE DOWN DRAIN TO GRADE. MAKE ALL CONNECTIONS. RE: HEAT TAPE CABLING DETAIL.
5. INSTALL HEAT TRACE THERMOSTAT 12" ABOVE ROOF DECK ON RIGID CONDUIT, NVENT AMC-1A OR EQUAL.







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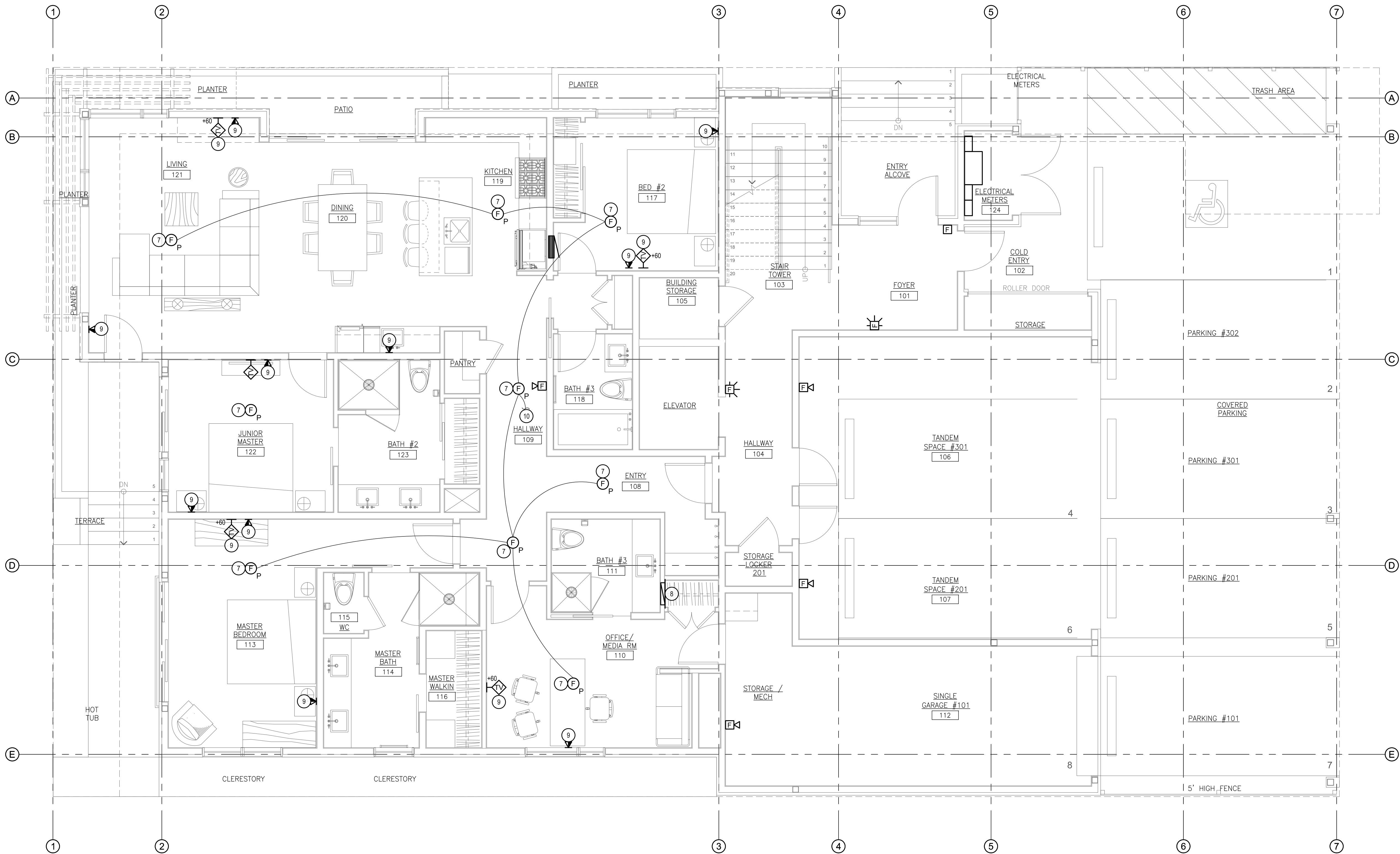
PO BOX 1769 [post]  
SUN VALLEY, ID 83353  
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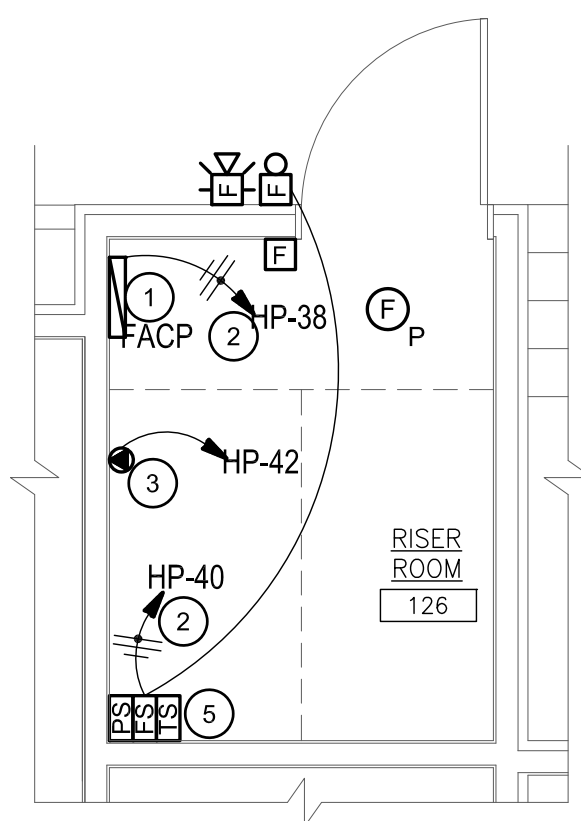
## KEYED NOTES:

# SYMBOL USED FOR NOTE CALLOUT.

1. FIRE ALARM CONTROL PANEL.
2. PROVIDE RED HANDLED, LOCKOUT TYPE CIRCUIT BREAKER IN PANEL AT POSITION INDICATED.
3. CONNECTION FOR DRY SYSTEM COMPRESSOR. COORDINATE WITH FIRE SPRINKLER CONTRACTOR.
4. TELEPHONE TERMINAL BOARD. RETELEPHONE TERMINAL BOARD DETAIL. PROVIDE 2 DEDICATED PHONE LINES TO FACP.
5. COORDINATE QUANTITY OF TAMPER SWITCHES, FLOW SWITCHES AND PRESSURE SWITCHES WITH FIRE SPRINKLER CONTRACTOR. PROVIDE ALL REQUIRED MONITOR MODULES.
6. CONNECTION FOR DRY SYSTEM COMPRESSOR. COORDINATE WITH SPRINKLER CONTRACTOR.
7. STAND ALONE 120 VOLT COMBINATION CARBON MONOXIDE/SMOKE DETECTOR WITH INTEGRAL SOUNDER CONNECTED SUCH THAT ALL DETECTORS IN EACH INDIVIDUAL UNIT ALARM WHEN ONE DEVICE HAS AN ALARM CONDITION.
8. FLUSH MOUNTED STRUCTURED WIRING PANEL. PROVIDE (1)1" CONDUIT WITH (2)RG6 AND (2)CAT5E TO NEAREST TTB. PROVIDE ALL TERMINATIONS AND TESTING.
9. PROVIDE AND INSTALL 3/4" ENT FROM EACH DEVICE WITH (1)BLUE CAT6 FOR DATA, (1)WHITE CAT6 FOR PHONE AND (1)RG6 TO THE STRUCTURED WIRING PANEL.
10. DOWN TO HALLWAY RECEPTACLE.



1 FIRST FLOOR SPECIAL SYSTEMS PLAN  
E5.0 SCALE: 1/4" = 1'-0"



2 FIRE RISER ROOM SPECIAL SYSTEMS PLAN  
E2.0 SCALE: 1/4" = 1'-0"

OWNERSHIP OF DOCUMENTS: This document, and the ideas and designs incorporated herein as an instrument of professional service, is the property of HollisPartners Architects, AIA, and is not to be used, in whole or in part, for any other project without the written authorization of HollisPartners Architects, LLC.

PERMIT SUBMITTAL	09/22/21
D. REVIEW	07/16/21
PRE-AP #4	07/01/21
100% CD	05/14/21
PROGRESS	04/30/21
100% DD	04/07/21
SCHEMATIC	02/18/21
ISSUE/DATE	DBH
DRAWN BY	DBH
CHECKED BY	MNB
DATE	03/31/21
JOB NO.	1077

## THE LOFTS @ 780 1st AVE

780 1st AVENUE,  
KETCHUM, IDAHO

## FIRST FLOOR SPECIAL SYSTEMS PLAN

E 5.0  
CATEGORY SEQUENCE





MUSGROVE  
ENGINEERING, P.A.  
234 S. Whisperwood Way  
Boise, ID 83709  
208.384.4885  
645 West 25th Street  
Idaho Falls, ID 83402  
208.533.2862  
www.musgrovepa.com  
Project No. 21086



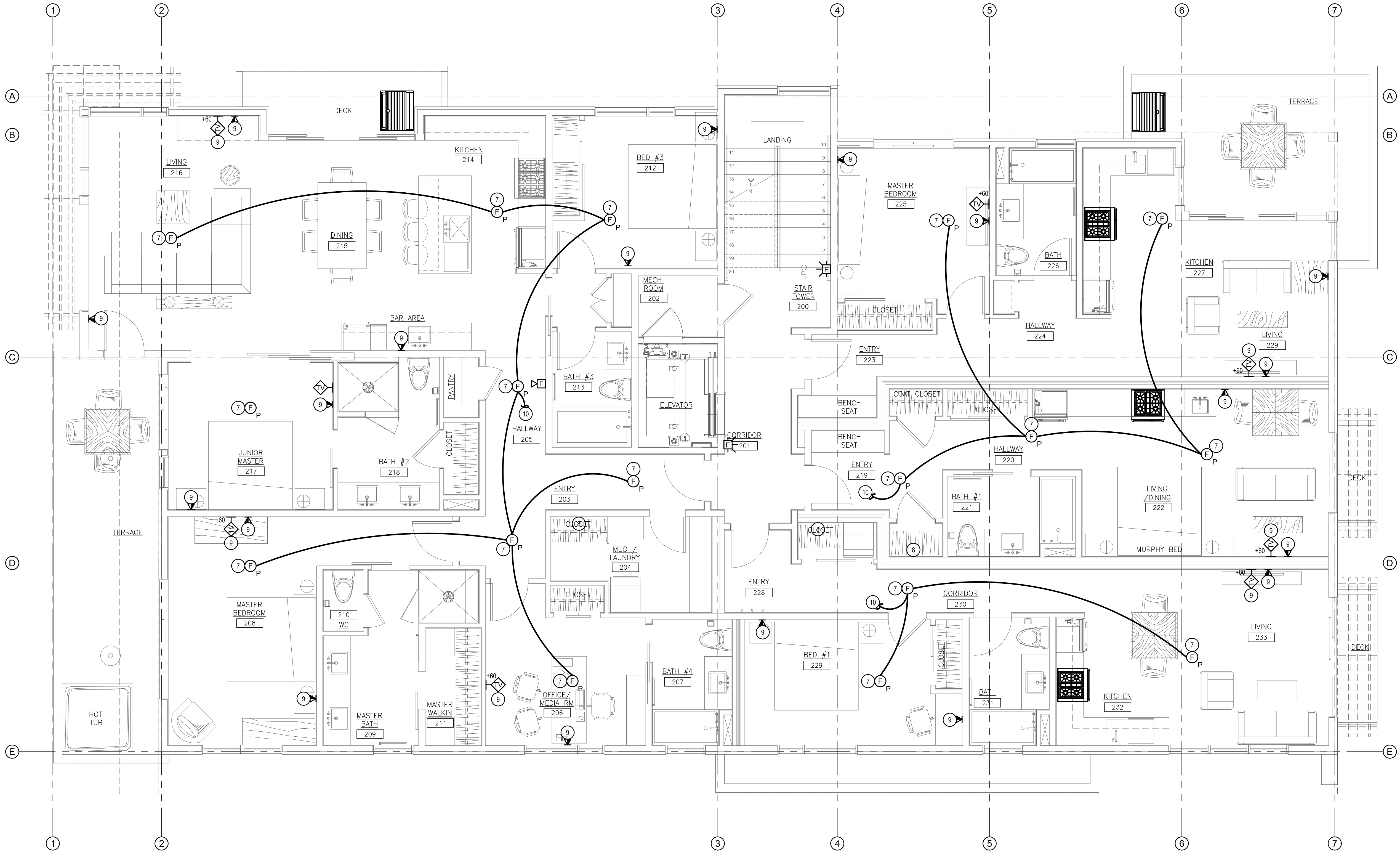
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V.208.721.7160 / V.208.721.0633

## KEYED NOTES:

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10. DOWN TO HALLWAY RECEPTACLE.



1 SECOND FLOOR POWER PLAN  
E4.1 SCALE: 1/4" = 1'-0"

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REVISION DATE REV #1 06/09/21

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THE LOFTS @  
780 1st AVE

780 1st AVENUE,  
KETCHUM, IDAHO

SECOND FLOOR  
SPECIAL SYSTEMS  
PLAN

E 5.1  
CATEGORY SEQUENCE





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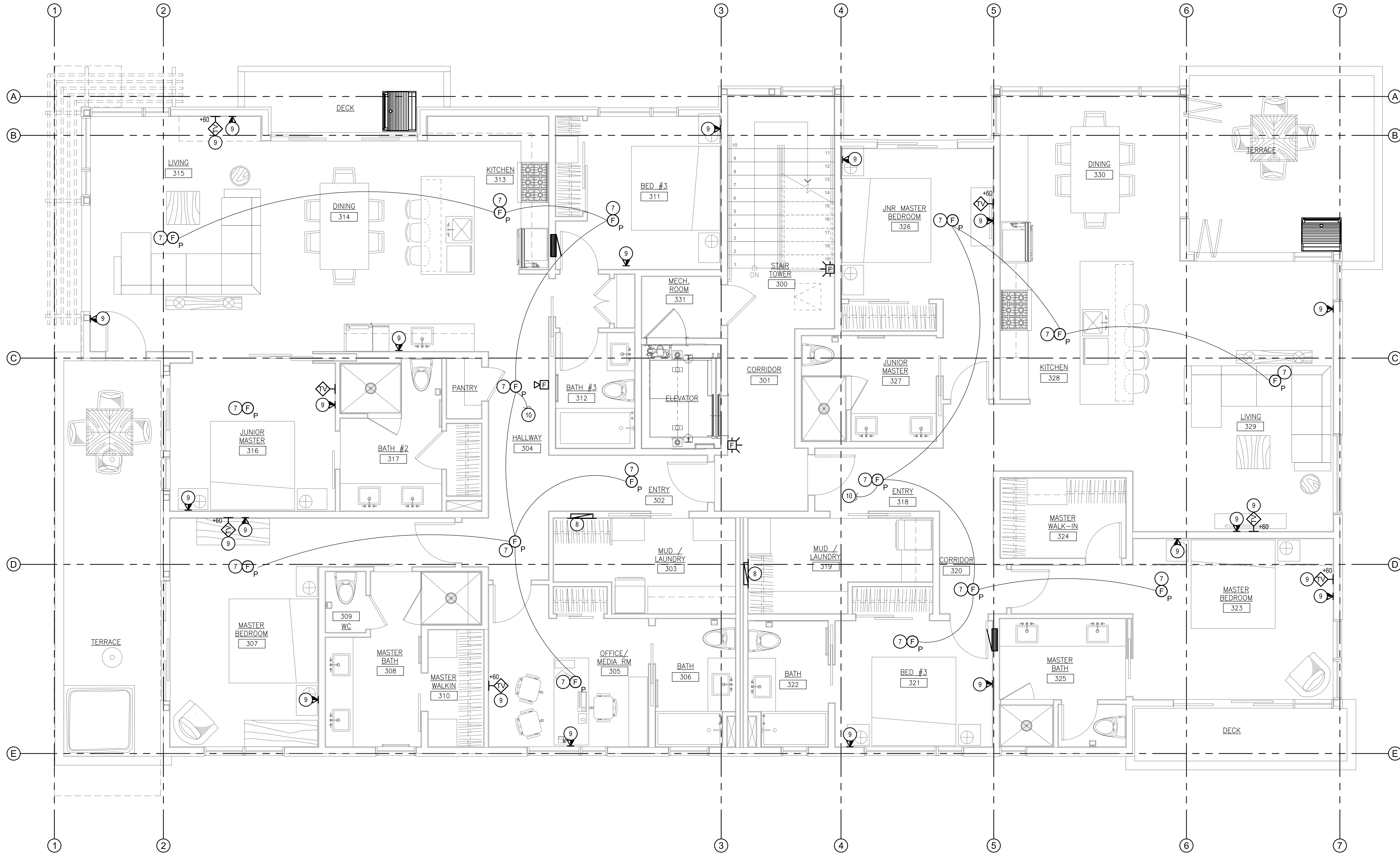


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## KEYED NOTES:

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10. DOWN TO HALLWAY RECEPTACLE.



1 THIRD FLOOR SPECIAL SYSTEMS PLAN  
E5.2 SCALE: 1/4" = 1'-0"

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THE LOFTS @  
780 1st AVE

780 1st AVENUE,  
KETCHUM, IDAHO

THIRD FLOOR  
SPECIAL SYSTEMS  
PLAN

E 5.2  
CATEGORY SEQUENCE





City of Ketchum  
Planning & Building

**CERTIFIED  
COMPLETE**

8-23-21

mf

OFFICIAL USE ONLY

App: P21-038  
Date Recd: 4-9-21  
By: mf  
Fee Paid: 3150.00  
Approved Date:  
By:

**Subdivision Application**

Submit completed application and payment to the Planning and Building Department, PO Box 2315, Ketchum, ID 83340 or hand deliver to Ketchum City Hall, 480 East Ave. N., Ketchum. If you have questions, please contact the Planning and Building Department at (208) 726-7801. To view the Development Standards, visit the City website at: [www.ketchumidaho.org](http://www.ketchumidaho.org) and click on Municipal Code.

APPLICANT INFORMATION			
Name of Proposed Subdivision: The Lofts at 780 1st Avenue			
Owner of Record: SV Ventures, LLC			
Address of Owner: PO Box 5023, Ketchum, ID 83340			
Representative of Owner: Galena Engineering			
Legal Description: Ketchum Lot 5 Block 33			
Street Address: 780 N 1st Avenue			
SUBDIVISION INFORMATION			
Number of Lots/Parcels: 6 Residential Condominium Units			
Total Land Area: +/- 5,496 sf (0.13 acres)			
Current Zoning District: Community Core (CC) Mixed Use Subdistrict			
Proposed Zoning District: N/A			
Overlay District: N/A			
TYPE OF SUBDIVISION			
Condominium <input checked="" type="checkbox"/>	Land <input type="checkbox"/>	PUD <input type="checkbox"/>	Townhouse <input type="checkbox"/>
Adjacent land in same ownership in acres or square feet:			
Easements to be dedicated on the final plat: None.			
Briefly describe the improvements to be installed prior to final plat approval: Certificate of Occupancy per 16.04.070C1a			
ADDITIONAL INFORMATION			
All lighting must be in compliance with the City of Ketchum's Dark Sky Ordinance One (1) copy of Articles of Incorporation and By-Laws of Homeowners Associations and/or Condominium Declarations One (1) copy of current title report and owner's recorded deed to the subject property One (1) copy of the preliminary plat All files should be submitted in an electronic format.			

Applicant agrees in the event of a dispute concerning the interpretation or enforcement of the Subdivision Application in which the City of Ketchum is the prevailing party to pay reasonable attorney's fees and costs, including fees and costs of appeal for the City of Ketchum. Applicant agrees to observe all City ordinances, laws and conditions imposed. Applicant agrees to defend, hold harmless and indemnify the City of Ketchum, city officials, agents and employees from and for any and all losses, claims, actions, judgments for damages, or injury to persons or property, and losses and expenses caused or incurred by Applicant, its servants, agents, employees, guests and business invitees and not caused by or arising out of the tortuous conduct of city or its officials, agents or employees. Applicant certifies that s/he has read and examined this application and that all information contained herein is true and correct.

*Signature*

04/09/2021

Applicant Signature

Date



**Instrument # 682094**

HAILEY, BLAINE, IDAHO


04-30-2021 2:01:15 PM No. of Pages: 2

Recorded for: TITLEONE - TWIN FALLS

JOLYNN DRAGE Fee: \$15.00

Ex-Officio Recorder Deputy: GWB

Electronically Recorded by Simplifile

**Sun Valley Title** A TitleOne Company

Order Number: 20395710

**Warranty Deed**

For value received,

**Richard Saiya, Trustee of the DSI Trust, dated November 13, 2007, as amended, as to an undivided 50% interest and Brigitte M. Saiya, Trustee of the Brimoni Grossa Trust dated February 25, 2004, as amended, as to an undivided 50% interest**

the grantor, does hereby grant, bargain, sell, and convey unto

**SV Ventures, LLC, an Idaho limited liability company**

whose current address is PO Box 5023, Ketchum ID 83340\_

the grantee, the following described premises, in Blaine County, Idaho, to wit:

Lot 5, Block 33

of the VILLAGE OF KETCHUM, BLAINE COUNTY, IDAHO, according to the official plat thereof, recorded as Instrument No. 302967, records of Blaine County, Idaho.

To have and to hold the said premises, with their appurtenances unto the said Grantee, its heirs and assigns forever. And the said Grantor does hereby covenant to and with the said Grantee, that Grantor is the owner in fee simple of said premises; that they are free from all encumbrances except those to which this conveyance is expressly made subject and those made, suffered or done by the Grantee; and subject to all existing patent reservations, easements, right(s) of way, protective covenants, zoning ordinances, and applicable building codes, laws and regulations, general taxes and assessments, including irrigation and utility assessments (if any) for the current year, which are not due and payable, and that Grantor will warrant and defend the same from all lawful claims whatsoever. Whenever the context so requires, the singular number includes the plural.

Order Number: 20395710



Dated: April 27, 2021

The DSI Trust, dated November 13, 2007, as amended

X Richard Saiya  
By: Richard Saiya, Trustee

The Brimoni Grossa Trust dated February 25, 2004, as amended

X Brigitte M. Saiya  
By: Brigitte M. Saiya, Trustee

State of Calif, County of Riverside, ss.

On this 29<sup>th</sup> day of April, 2021, before me, the undersigned, a notary public in and for said state personally appeared Richard Saiya, known or identified to me to be the person whose name is subscribed to the within instrument, as trustee of The DSI Trust and acknowledged to me that he/she executed the same as trustee.

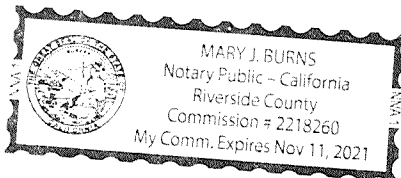
Mary J. Burns  
Notary Public  
Residing In: Palm Desert, Ca 92260  
My Commission Expires: 11-11-2021  
(seal)



State of Calif, County of Riverside, ss.

On this 29<sup>th</sup> day of April, 2021, before me, the undersigned, a notary public in and for said state personally appeared Brigitte M. Saiya, known or identified to me to be the person whose name is subscribed to the within instrument, as trustee of The Brimoni Grossa Trust and acknowledged to me that he/she executed the same as trustee.

Mary J. Burns  
Notary Public  
Residing In: Palm Desert, Ca 92260  
My Commission Expires: 11-11-2021  
(seal)





# Sun Valley Title

 A TitleOne Company

Sun Valley Title

Authorized Agent for:

Title Resources Guaranty Company

File Number: 20395710

## Contact Information

We would like to thank you for your business and we appreciate the opportunity to serve you. The title commitment has been sent to the parties listed below.

If you have any closing questions, please contact your Escrow team:

Alison Warner

ali@sunvalleytitle.com

(208)726-9341

Beth Landes

beth.landes@sunvalleytitle.com

TitleOne Corporation dba Sun Valley Title State License: 712444

If you have any title questions, please contact your Title Officer:

Nick Busdon

nbusdon@sunvalleytitle.com

(208)726-9341

Sun Valley Title Address:

271 1st Avenue North, PO Box 2365

Ketchum, ID 83340

Agents / Brokers and Transaction Coordinators

Matt Bogue

Paul Kenny & Matt Bogue Real

Estate LLC

matt@kenny-bogue.com

(208)720-7948

Matt Bogue

matt@kenny-bogue.com

(208)720-7948

Matt Gelso

mgelso@kenny-bogue.com

(530) 448-9470

Paul Kenny

paul@kenny-bogue.com

(208) 726-1918

Reid Sanborn

Engel & Volkers Sun Valley

reid.sanborn@evusa.com

(208)720-8244

Jessica Blake

jessica.blake@evusa.com

Matt Bogue

matt@kenny-bogue.com

(208)720-7948

Theresa Curnow

theresa.curnow@engelvoelkers.com





**COMMITMENT FOR TITLE INSURANCE**  
**Issued by**  
**TITLE RESOURCES GUARANTY COMPANY**

Title Resources Guaranty Company, a Texas corporation ("Company"), for a valuable consideration, commits to issue its policy or policies of title insurance, as identified in Schedule A, in favor of the Proposed Insured named in Schedule A, as owner or mortgagee of the estate or interest in the land described or referred to in Schedule A, upon payment of the premiums and charges and compliance with the Requirements; all subject to the provisions of Schedules A and B and to the Conditions of this Commitment.

This Commitment shall be effective only when the identity of the Proposed Insured and the amount of the policy or policies committed for have been inserted in Schedule A by the Company.

All liability and obligation under this Commitment shall cease and terminate 180 days after the Effective Date or when the policy or policies committed for shall issue, whichever first occurs, provided that the failure to issue the policy or policies is not the fault of the Company.

The Company will provide a sample of the policy form upon request.

This Commitment shall not be valid or binding until countersigned by a validating officer or authorized signatory.

IN WITNESS WHEREOF, Title Resources Guaranty Company has caused its corporate name and seal to be affixed by its duly authorized officers on the date shown in Schedule A.

A large, stylized handwritten signature in black ink, appearing to be "WK".

\_\_\_\_\_  
An authorized signature



*Title Resources Guaranty Company*

By: \_\_\_\_\_  
President/CEO

*Michael Gayden*  
Secretary



## CONDITIONS

1. The term mortgage, when used herein, shall include deed of trust, trust deed, or other security instrument.
2. If the proposed Insured has or acquired actual knowledge of any defect, lien, encumbrance, adverse claim or other matter affecting the estate or interest or mortgage thereon covered by this Commitment other than those shown in Schedule B hereof, and shall fail to disclose such knowledge to the Company in writing, the Company shall be relieved from liability for any loss or damage resulting from any act of reliance hereon to the extent the Company is prejudiced by failure to so disclose such knowledge. If the proposed Insured shall disclose such knowledge to the Company, or if the Company otherwise acquires actual knowledge of any such defect, lien, encumbrance, adverse claim or other matter, the Company at its option may amend Schedule B of this Commitment accordingly, but such amendment shall not relieve the Company from liability previously incurred pursuant to paragraph 3 of these Conditions.
3. Liability of the Company under this Commitment shall be only to the named proposed Insured and such parties included under the definition of Insured in the form of policy or policies committed for and only for actual loss incurred in reliance hereon in undertaking in good faith (a) to comply with the requirements hereof, or (b) to eliminate exceptions shown in Schedule B, or (c) to acquire or create the estate or interest or mortgage thereon covered by this Commitment. In no event shall such liability exceed the amount stated in Schedule A for the policy or policies committed for and such liability is subject to the insuring provisions and Conditions and the Exclusions from Coverage of the form of policy or policies committed for in favor of the proposed Insured which are hereby incorporated by reference and are made a part of this Commitment except as expressly modified herein.
4. This Commitment is a contract to issue one or more title insurance policies and is not an abstract of title or a report of the condition of title. Any action or actions or rights of action that the proposed Insured may have or may bring against the Company arising out of the status of the title to the estate or interest or the status of the mortgage thereon covered by this Commitment must be based on and are subject to the provisions of this Commitment.
5. The policy to be issued contains an arbitration clause. All arbitrable matters when the Amount of Insurance is \$2,000,000 or less shall be arbitrated at the option of either the Company or the Insured as the exclusive remedy of the parties. You may review a copy of the arbitration rules at <<http://www.alta.org/>>.





## Privacy Policy Notice

Rev. 10-23-2017

FACTS		WHAT DOES SUN VALLEY TITLE DO WITH YOUR PERSONAL INFORMATION?	
Why?	Financial companies choose how they share your personal information. Federal law gives consumers the right to limit some but not all sharing. Federal law also requires us to tell you how we collect, share, and protect your personal information. Please read this notice carefully to understand what we do.		
What?	<p>The types of personal information we collect and share depend on the product or service you have with us. This information can include:</p> <ul style="list-style-type: none"><li>• Social Security number and account balances</li><li>• Payment history and credit card or other debt</li><li>• Checking account information and wire transfer instructions</li></ul> <p>When you are <i>no longer</i> our customer, we continue to share your information as described in this notice.</p>		
How?	All financial companies need to share customers’ personal information to run their everyday business. In the section below, we list the reasons financial companies can share their customers’ personal information; the reasons Sun Valley Title chooses to share; and whether you can limit this sharing.		
Reasons we can share your personal information		Does Sun Valley Titleshare?	Can you limit this sharing?
For our everyday business purposes – such as to process your transactions, maintain your account(s), respond to court orders and legal investigations, or report to credit bureaus		Yes	No
For our marketing purposes- to offer our products and services to you		No	We don’t share
For joint marketing with other financial companies		No	We don’t share
For our affiliates’ everyday business purposes- information about your transactions and experiences		Yes	No
For our affiliates’ everyday business purposes- information about your creditworthiness		No	We don’t share
For our affiliates to market to you		No	We don’t share
For nonaffiliates to market to you		No	We don’t share
Questions?	Go to <a href="http://www.sunvalleytitle.com/Legal/Privacy">http://www.sunvalleytitle.com/Legal/Privacy</a>		



<b>Who we are</b>	
<b>Who is providing this notice?</b>	Sun Valley Title
<b>What we do</b>	
<b>How does Sun Valley Title protect my personal information?</b>	To protect your personal information from unauthorized access and use, we use security measures that comply with federal law. These measures include computer safeguards and secured files and buildings.
<b>How does Sun Valley Title collect my personal information?</b>	<p>We collect your personal information, for example, when you</p> <ul style="list-style-type: none"> <li>• Apply for insurance or pay insurance premiums</li> <li>• Provide your mortgage information or show your driver's license</li> <li>• Give us your contact information</li> </ul> <p>We also collect your personal information from others, such as credit bureaus, affiliates, or other companies.</p>
<b>Why can't I limit all sharing?</b>	<p>Federal law gives you the right to limit only</p> <ul style="list-style-type: none"> <li>• Sharing for affiliates' everyday business purposes – information about your creditworthiness</li> <li>• Affiliates from using your information to market to you</li> <li>• Sharing for nonaffiliates to market to you</li> </ul> <p>State laws and individual companies may give you additional rights to limit sharing.</p>
<b>Definitions</b>	
<b>Affiliates</b>	<p>Companies related by common ownership or control. They can be financial and nonfinancial companies.</p> <ul style="list-style-type: none"> <li>• <i>Our affiliates include companies that are owned in whole or in part by Realogy Holdings Corp., such as Better Homes and Gardens® Real Estate, CENTURY 21®, Coldwell Banker®, Coldwell Banker Commercial®, The Corcoran Group®, ERA®, Sotheby's International Realty®, ZipRealty®, NRT LLC, Cartus and Title Resource Group.</i></li> </ul>
<b>Nonaffiliates</b>	<p>Companies not related by common ownership or control. They can be financial and nonfinancial companies.</p> <ul style="list-style-type: none"> <li>• <i>Sun Valley Title does not share with nonaffiliates so they can market to you.</i></li> </ul>
<b>Joint Marketing</b>	<p>A formal agreement between nonaffiliated financial companies that together market financial products or service to you.</p> <ul style="list-style-type: none"> <li>• <i>Sun Valley Title does not share with nonaffiliated financial companies for joint marketing purposes.</i></li> </ul>
<b>Other Important Information</b>	
<b>For European Union Customers</b>	Please see our Privacy Policy located at <a href="http://www.sunvalleytitle.com/Legal/Privacy">http://www.sunvalleytitle.com/Legal/Privacy</a>



<b>For our California Customers</b>	Please see our notice about the California Consumer Protection Act located at <a href="http://www.sunvalleytitle.com/Legal/Privacy">http://www.sunvalleytitle.com/Legal/Privacy</a>
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FACTS		WHAT DOES TITLE RESOURCES GUARANTY COMPANY DO WITH YOUR PERSONAL INFORMATION?	
Why?	Financial companies choose how they share your personal information. Federal law gives consumers the right to limit some but not all sharing. Federal law also requires us to tell you how we collect, share, and protect your personal information. Please read this notice carefully to understand what we do.		
What?	<p>The types of personal information we collect and share depend on the product or service you have with us. This information can include:</p> <ul style="list-style-type: none"><li>• Social Security number and account balances</li><li>• Payment history and credit card or other debt</li><li>• Checking account information and wire transfer instructions</li></ul> <p>When you are <i>no longer</i> our customer, we continue to share your information as described in this notice.</p>		
How?	All financial companies need to share customers’ personal information to run their everyday business. In the section below, we list the reasons financial companies can share their customers’ personal information; the reasons TITLE RESOURCES GUARANTY COMPANY chooses to share; and whether you can limit this sharing.		
Reasons we can share your personal information		Does TITLE RESOURCES GUARANTY COMPANY share?	Can you limit this sharing?
For our everyday business purposes – such as to process your transactions, maintain your account(s), respond to court orders and legal investigations, or report to credit bureaus		Yes	No
For our marketing purposes- to offer our products and services to you		No	We don’t share
For joint marketing with other financial companies		No	We don’t share
For our affiliates’ everyday business purposes- information about your transactions and experiences		Yes	No
For our affiliates’ everyday business purposes- information about your creditworthiness		No	We don’t share
For our affiliates to market to you		No	We don’t share
For nonaffiliates to market to you		No	We don’t share
Questions?	Go to <a href="https://www.trgc.com/privacypolicy">https://www.trgc.com/privacypolicy</a>		



Who we are	
Who is providing this notice?	TITLE RESOURCES GUARANTY COMPANY
What we do	
How does TITLE RESOURCES GUARANTY COMPANY protect my personal information?	To protect your personal information from unauthorized access and use, we use security measures that comply with federal law. These measures include computer safeguards and secured files and buildings.
How does TITLE RESOURCES GUARANTY COMPANY collect my personal information?	<p>We collect your personal information, for example, when you</p> <ul style="list-style-type: none"> <li>• Apply for insurance or pay insurance premiums</li> <li>• Provide your mortgage information or show your driver's license</li> <li>• Give us your contact information</li> </ul> <p>We also collect your personal information from others, such as credit bureaus, affiliates, or other companies.</p>
Why can't I limit all sharing?	<p>Federal law gives you the right to limit only</p> <ul style="list-style-type: none"> <li>• Sharing for affiliates' everyday business purposes –information about your creditworthiness</li> <li>• Affiliates from using your information to market to you</li> <li>• Sharing for nonaffiliates to market to you</li> </ul> <p>State laws and individual companies may give you additional rights to limit sharing.</p>
Definitions	
Affiliates	<p>Companies related by common ownership or control. They can be financial and nonfinancial companies.</p> <ul style="list-style-type: none"> <li>• <i>Our affiliates include companies that are owned in whole or in part by Realogy Holdings Corp., such as Better Homes and Gardens® Real Estate, CENTURY 21®, Coldwell Banker®, Coldwell Banker Commercial®, The Corcoran Group®, ERA®, Sotheby's International Realty®, ZipRealty®, NRT LLC, Cartus and Title Resource Group.</i></li> </ul>
Nonaffiliates	<p>Companies not related by common ownership or control. They can be financial and nonfinancial companies.</p> <ul style="list-style-type: none"> <li>• <b><i>TITLE RESOURCES GUARANTY COMPANY does not share with nonaffiliates so they can market to you.</i></b></li> </ul>
Joint Marketing	<p>A formal agreement between nonaffiliated financial companies that together market financial products or service to you.</p> <ul style="list-style-type: none"> <li>• <b><i>TITLE RESOURCES GUARANTY COMPANY does not share with nonaffiliated financial companies for joint marketing purposes.</i></b></li> </ul>
Other Important Information	
For European Union Customers	Please see our Privacy Policy located at <a href="https://www.trgc.com/privacypolicy">https://www.trgc.com/privacypolicy</a>
For our California Customers	Please see our notice about the California Consumer Protection Act located at <a href="https://www.trgc.com/privacypolicy">https://www.trgc.com/privacypolicy</a>





COMMITMENT FOR TITLE INSURANCE  
Issued by  
TITLE RESOURCES GUARANTY COMPANY

Issuing Office: TitleOne Corporation dba Sun Valley Title  
ALTA® Universal ID: 1065022  
Commitment Number: 20395710

## SCHEDULE A

1. Commitment Date: December 23, 2020 at 07:30 AM

2. Policy or Policies to be issued:

X ALTA Owners Policy (6/17/06)	Standard Coverage	Policy Amount:	\$1,400,000.00
Proposed Insured:		Premium:	\$3,855.00
Galena Peak Partners LLC and/or as assigns			

3. The estate or interest in the land described or referred to in this Commitment is:  
Fee Simple

4. Title to the estate or interest in the Land is at the Commitment Date vested in:  
Brigitte M. Saiya, Trustee of the Brimoni Grossa Trust dated February 25, 2004, as to an undivided 50% interest and Richard Saiya, trustee of the DSI Trust, dated November 13, 2007, as to an undivided 50% interest

5. The Land described as follows:  
See Attached Schedule C

Title Resources Guaranty Company  
TitleOne Corporation dba Sun Valley Title

By:

Nick Busdon, Authorized Signatory

Title Resources Guaranty Company  
By:   
President/CEO  
Secretary

*This page is only a part of a 2016 ALTA® Commitment for Title Insurance issued by Title Resources Guaranty Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I—Requirements; and Schedule B, Part II—Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.*

TRGC Form: Comm16 ALTA Commitment Form Adopted 6-17-2006 Revised 08-01-2016 Technical Corrections 04-02-2018

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SCHEDULE B, PART I  
Requirements

All of the following Requirements must be met:

1. The Proposed Insured must notify the Company in writing of the name of any party not referred to in this Commitment who will obtain an interest in the Land or who will make a loan on the Land. The Company may then make additional Requirements or Exceptions.
2. Pay the agreed amount for the estate or interest to be insured.
3. Pay the premiums, fees, and charges for the Policy to the Company.
4. Documents satisfactory to the Company that convey the Title or create the Mortgage to be insured, or both, must be properly authorized, executed, delivered, and recorded in the Public Records.
5. NOTE: According to the available records, the purported address of said land is:  
  
780 N 1st Ave, Ketchum, ID 83340
6. Necessary conveyance to the proposed insured.
7. Note: In the event this transaction fails to close, or this commitment is cancelled, a cancellation fee will be charged to comply with the State of Idaho Department of Insurance regulations.
8. The Company will require delivery of and approval by the Company of an Indemnity and Affidavit as to Debts, Liens and Possession, prior to the issuance of the policy.
9. The Company will require a copy of the Operating Agreement and other related documents for Galena Peak Partners LLC, showing the power and authority of the party or parties who plan to execute the forthcoming conveyance or mortgage on behalf of said limited liability company.

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SCHEDULE B, PART II  
Exceptions

THIS COMMITMENT DOES NOT REPUBLISH ANY COVENANT, CONDITION, RESTRICTION, OR LIMITATION CONTAINED IN ANY DOCUMENT REFERRED TO IN THIS COMMITMENT TO THE EXTENT THAT THE SPECIFIC COVENANT, CONDITION, RESTRICTION, OR LIMITATION VIOLATES STATE OR FEDERAL LAW BASED ON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, GENDER IDENTITY, HANDICAP, FAMILIAL STATUS, OR NATIONAL ORIGIN.

The Policy will not insure against loss or damage resulting from the terms and provisions of any lease or easement identified in Schedule A, and will include the following Exceptions unless cleared to the satisfaction of the Company. If the Company's requirements are satisfied, Exceptions 1 through 7 will be removed on Enhanced/Extended coverage policies.

1. Any defect, lien, encumbrance, adverse claim, or other matter that appears for the first time in the Public Records or is created, attaches, or is disclosed between the Commitment Date and the date on which all of the Schedule B, Part I—Requirements are met.
2. Rights or claims of parties in possession not shown by the public records.
3. Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land, and that is not shown by the Public Records.
4. Easements, or claims of easements, not shown by the public records.
5. Any lien, or right to a lien, for services, labor, or materials heretofore or hereafter furnished, imposed by law and not shown by the public records.
6. (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) water rights, claims to title to water, whether or not the matters excepted under (a), (b), or (c) are shown by the public records.
7. Taxes or special assessments which are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the public records. Proceedings by a public agency which may result in taxes or assessments, or notices to such proceedings whether or not shown by the records of such agency, or by the public records.
8. Taxes for the year 2019 are paid in full.  
Parcel Number: RPK00000330050  
Original Amount: \$2,305.78
9. Taxes, including any assessments collected therewith, for the year 2020 which are due and payable, but not delinquent.  
Parcel Number: RPK00000330050  
Original Amount: \$2,089.54  
Without homeowner's exemption
10. Water and sewer charges, if any, for the City of Ketchum.
11. Easements, reservations, restrictions, and dedications as shown on the official plat of Ketchum Townsite.
12. Reservations and exceptions in a United States Patent, and in the act authorizing the issuance thereof, recorded June 12, 1947 as Instrument No. [91734](#).
13. Right of way for ditches, tunnels, telephone, and distribution lines constructed by authority of the United States, as granted to the United States under the provisions of Section 58-604 Idaho Code.

(End of Exceptions)

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SCHEDULE C

Legal Description:

Lot 5, Block 33 of the VILLAGE OF KETCHUM, BLAINE COUNTY, IDAHO, according to the official plat thereof, recorded as Instrument No. 302967, records of Blaine County, Idaho.

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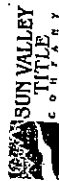
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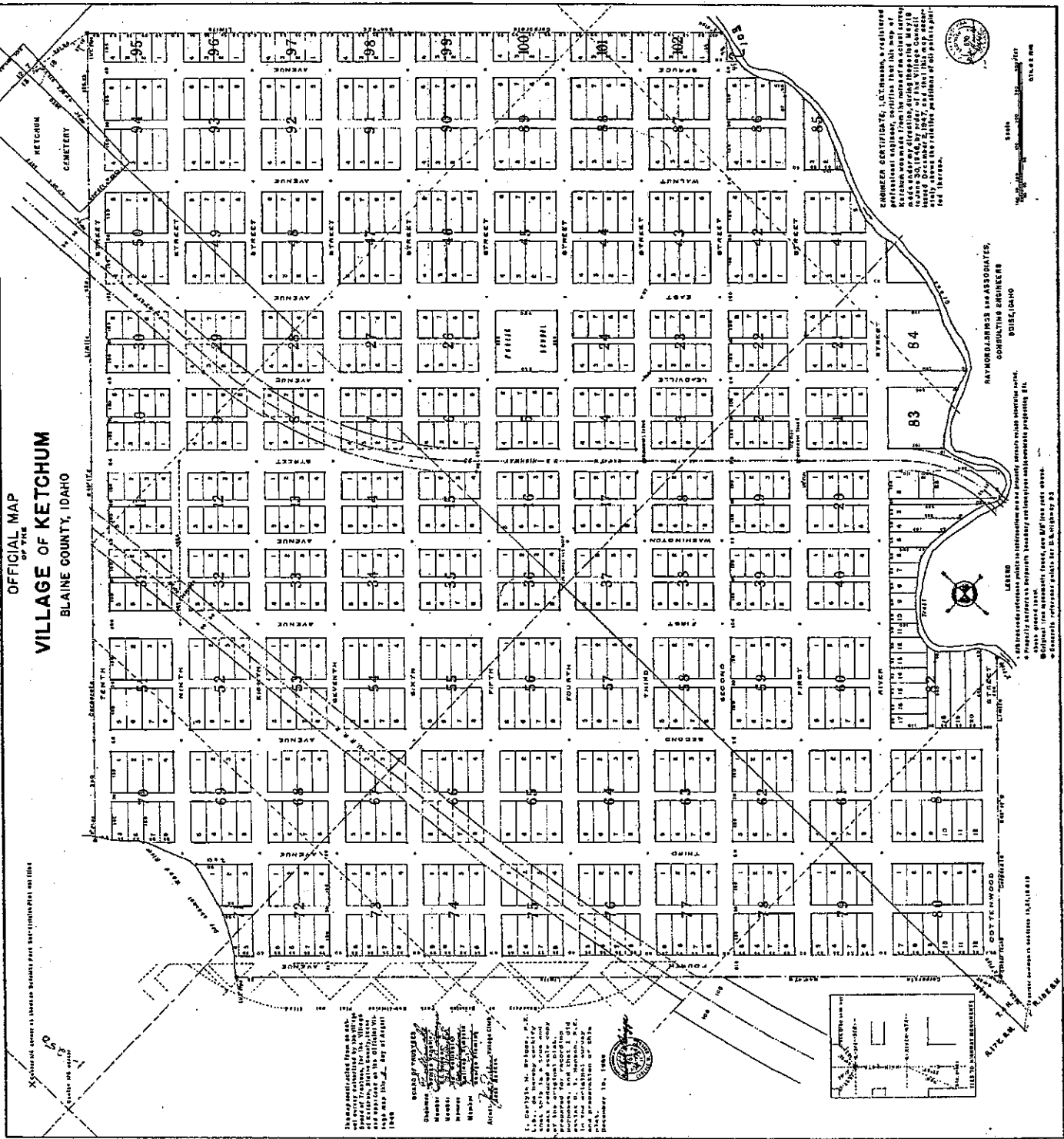
302967

STATE OF IDAHO  
COUNTY OF BLAINE  
City of Ketchum  
AT 4:03 PM  
RECORDED 2-13-19  
BY [Signature]  
FEE \$ 11.00



THIS MAP IS A PIONEERING REPRODUCTION OF  
THAT ON FILE IN THE OFFICE OF THE  
SUN VALLEY TITLE COMPANY  
ON RE-SURVEY

# OFFICIAL MAP OF THE VILLAGE OF KETCHUM BLAINE COUNTY, IDAHO



Scale 1" = 100' 0"





Parcel Number

**RPK00000330050**

Property Year

**2021**Legal Description  
KETCHUM  
LOT 5 BLK 33  
5500SFBase Code Area 003-001  
Incr Code Area 003-014  
Project Name  
KETCHUM 003-001Property Address  
780 N 1ST AVE  
KETCHUM ID 83340Parcel Status Active  
Property Type Real Property  
Sub Type

Owner/Contact Name	Type	Relationship	Owner%	HOE
SAIYA RICHARD TRUSTEE	OWNER	TRUSTEE1	0.00%	
DSI TRUST	OWNER	TRUST	50.00%	
SAIYA BRIGITTE M TRUSTE	OWNER	TRUSTEE1	0.00%	
BRIMONI GROSSA TRUST	OWNER	TRUST	50.00%	

Mailing Address  
633 QUARRY RD  
SAN CARLOS CA 94070Land Group  
KETCHUM TOWNSITE  
Township 4N Range 17E Section 13  
Location Code ERES  
Parcel Type  
ZoningAssociated Parcels  
NoneBuilding Permits  
NoneReappraisal Year 2019  
Inspection Date 03/05/2019  
Appraiser Initials TLR

Parcel Exemption: None

CB: No NC: No

Tax Certification District Roll Type Units Amount

Instrument	Eff Date	Action	Source	Target	Comments
555819	02/20/2008	Ownership	2008		

SCC	CHARACTERISTIC			ROLLS			ACRES	VALUATION SUMMARY			URBAN RENEWAL	
	Type	Suffix	Description	Assessed	Occupancy	Status	Quantity	Assessed Value	Exemption Amount	Net Taxable Value	Net Taxable Base	Net Taxable Incr
20	LAND			PRIMARY	NO	O	0.126	\$ 357,500	\$ --	\$ 357,500	\$ 330,000	\$ 27,500
TOTALS:							0.126	\$ 357,500	--	\$ 357,500	\$ 330,000	\$ 27,500

ROLL STATUS: 0 Open, Subject to Change



**BLAINE COUNTY TREASURER****JOHN DAVID DAVIDSON**

219 1ST AVE SOUTH SUITE 102

HAILEY ID 83333

TELEPHONE: (208) 788-5530

**TAX MASTER INQUIRY**

PARCEL NUMBER

**RPK00000330050**

TAX CODE AREA

003-001

LEGAL DESCRIPTION

KETCHUM

LOT 5 BLK 33

5500SF

PRIMARY PROPERTY ADDRESS

780 N 1ST AVE

KETCHUM ID 83340

SAIYA RICHARD TRUSTEE

DSI TRUST

633 QUARRY RD

SAN CARLOS CA 94070

**BALANCE DUE****\$ 2,089.54**

TOTAL

INTEREST DATE

12/17/2020

BALANCE AS OF

12/17/2020 1:25 pm

Tax Year Assessment Roll

**2020 PRIMARY**

FIRST HALF

SECOND HALF

FULL YEAR

Bill Number: 333823

VALUATION

TAX / CERTIFICATION			
Charges	\$ 1,044.77	\$ 1,044.77	\$ 2,089.54
Adjustments	\$ 0	\$ 0	\$ 0
Payments	\$ 0	\$ 0	\$ 0
LATE CHARGE			
Charges/Adjustments	\$ 0	\$ 0	\$ 0
Payments	\$ 0	\$ 0	\$ 0
FEES			
Charges/Adjustments	\$ 0	\$ 0	\$ 0
Payments	\$ 0	\$ 0	\$ 0
INTEREST			
Charges/Adjustments	\$ 0	\$ 0	\$ 0
Payments	\$ 0	\$ 0	\$ 0
AMOUNT DUE			
	\$ 1,044.77	\$ 1,044.77	\$ 2,089.54

TAXABLE VALUE: \$ 357,500

**CHARGES**

Tax Code Area: 003-001 Levy: 0.005844856  
 Tax Charge: \$ 2,089.54  
 Certifications: \$ 0  
**TOTAL CHARGES: \$ 2,089.54**

The amount due shown here is as of 1:25 pm on December 17, 2020, with interest calculated to December 17, 2020.







**ARTICLES OF INCORPORATION  
OF  
THE RESIDENCES AT SEVEN EIGHTY 1ST AVE OWNERS ASSOCIATION, INC.**

The undersigned, for the purpose of forming a nonprofit corporation under the laws of the State of Idaho in compliance with the Idaho Nonprofit Corporation Act (Title 30, Chapter 30, Idaho Code), do hereby certify, declare, and adopt these Articles of Incorporation of The Residences at Seven Eighty 1st Ave Owners Association, Inc. (“**Articles**”):

**ARTICLE I  
NAME**

The name of the corporation is The Residences at Seven Eighty 1st Ave Owners Association, Inc. (the “**Association**”).

**ARTICLE II  
TERM**

The period of existence and duration of the life of the Association is perpetual.

**ARTICLE III  
NONPROFIT**

The Association is a nonprofit, membership corporation.

**ARTICLE IV  
REGISTERED AGENT**

Reid Sanborn, whose street address is 291 N. First Ave., Ketchum, Idaho 83340, is hereby appointed as the initial registered agent of the Association.

**ARTICLE V  
PURPOSE AND POWERS OF THE ASSOCIATION**

The Association is formed to exercise all powers and privileges, and to perform all of the duties and obligations, of the Association as set forth in the Condominium Declaration for The Residences at Seven Eighty 1st Ave, as the same shall hereinafter be recorded in the real property records of Blaine County, Idaho, as may be amended from time to time according to its terms (the “**Declaration**”). The Declaration is incorporated by this reference as if fully set forth herein. Capitalized terms used and not defined in these Articles have the meanings set forth in the Declaration. The Association does not contemplate pecuniary gain or profit to the Members. The Association is formed for the purpose of acting as the “management body” of the Project in accordance with the Condominium Act.

**ARTICLE VI  
MEMBERSHIP & VOTING RIGHTS**

**Member**” means each Person holding a membership in the Association, including Grantor. Every Owner of a Unit is a Member of the Association and has one (1) membership for each Unit in the Project owned by such Owner. If the Owner of a Unit shall be more than one (1) Person, all such Persons shall have a membership in the Association and be deemed Members, but the voting rights in the Association attributable to that Unit may not be split and shall be exercised by one (1) representative selected by such



Persons as they, among themselves, may determine. In the event such Persons are unable to agree among themselves on any matter put to a vote as to how the vote shall be cast, such Persons shall not be entitled to vote on the matter in question. If only one such Person casts a vote, it will thereafter be conclusively presumed for all purposes that such Person was acting with the authority and consent of all other co-Owners of such Unit. To this end, only one (1) vote is allocated to each Unit, regardless of the number of Persons that hold an ownership interest in such Unit. Memberships in the Association shall be appurtenant to the Unit owned by such Owner. The memberships in the Association shall not be transferred, pledged, assigned or alienated in any way except upon the transfer of Owner's title to a Unit and then only to the transferee of such title. Any attempt to make a prohibited membership transfer shall be void and will not be reflected on the books of the Association. The Association shall have two (2) classes of membership as follows:

(a) Class A Members. "**Class A Members**" shall be the Owners of the Units, with the exception of the Grantor for so long as the Class B Member exists. Upon the Class B Member Termination Date (defined below), at all meetings of the Association each Member will be entitled to one (1) vote for each Unit owned by such Member. Prior to the Class B Termination Date, Class A Members are not entitled to vote.

(b) Class B Member. The "**Class B Member**" is Grantor, who shall be the sole voting Member of the Association entitled to vote the collective voting power of the Association from the period commencing on the Effective Date and expiring on the Class B Member Termination Date (the "**Initial Development Period**"). The Class B Member shall cease to exist upon the earlier to occur of the following: (a) Grantor no longer owns any Units within the Project; or (b) Grantor informs the Board, in a writing recorded in the real property records of Blaine County, Idaho, that Grantor no longer wishes to exercise its rights as the Class B Member (as applicable, the "**Class B Member Termination Date**").

## ARTICLE VII BOARD OF DIRECTORS

The business and affairs of the Association is managed and controlled by the Board of Directors (the "**Board**"). The Board will consist of not less than three (3) directors and no more than five (5) directors. Directors need not be Owners. The names and addresses of the persons who are to act in the capacity of initial directors until the selection of their respective successors are as follows:

Reid Sanborn	291 N. First Ave. Ketchum, Idaho 83340
Garrison Belles	100 Sun Valley Rd. #1497 Ketchum, ID 83340
Jon Gilmour	PO Box 5973 Ketchum, Idaho 83340

## ARTICLE VIII DISSOLUTION

The Association will only be dissolved at an annual meeting, or a special meeting of the Association called for that purpose, by the affirmative votes of eighty-five percent (85%) or more of the total voting power of the Association. Upon dissolution of the Association, other than incident to a merger or consolidation, the real and personal property of the Association will be distributed as follows: (i) dedicated to an appropriate public agency to be used for purposes similar to those for which the Association was

created; or (ii) granted, conveyed, and assigned to a nonprofit corporation, association, trust, or other organization to be devoted to such similar purposes.

ARTICLE IX  
AMENDMENTS

These Articles may be amended at any annual meeting, or any special meeting of the Association called for that purpose, by the affirmative vote of sixty-five percent (65%) or more of the total voting power of the Association. No amendment that is inconsistent with the provisions of the Declaration will be valid.

ARTICLE X  
INCORPORATOR

The name and address of the incorporator of the Association is:

Reid Sanborn  
291 N. First Ave.  
Ketchum, Idaho 83340

IN WITNESS WHEREOF, these Articles are executed effective this \_\_\_\_ day of \_\_\_\_\_,  
2020.

\_\_\_\_\_  
Reid Sanborn, Incorporator



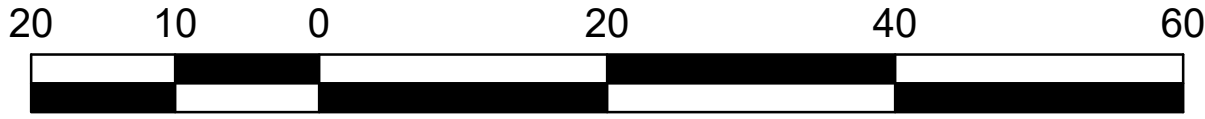
A CONDOMINIUM PLAT SHOWING

# THE LOFTS AT 780 1ST AVENUE

WHEREIN THE BUILDING ON LOT 5, BLOCK 33, KETCHUM TOWNSITE IS CONVERTED TO CONDOMINIUMS  
LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO

SEPTEMBER 2021

SCALE: 1" = 20'



SCALE IN FEET

## LEGEND

	Property Line		Building
	Adjoiner's Lot Line		Asphalt
	Centerline of Right of Way		Retaining Wall
	Fence Line		Conifer Tree
	GIS Tie Line		Gas Main
	Survey Tie Line		Cable TV Buried
	Calculated Point, Not Set		Cable TV Riser
	Found Aluminum Cap on 5/8" Rebar		Buried Telephone Line
	Found 5/8" Rebar		Buried Power Line
	Found 1/2" Rebar		Power Manhole
	Set 5/8" Rebar, P.L.S. 16670		Sewer Main
	5' Contour Interval		Sewer Service
	1' Contour Interval		Sewer Manhole
	Curb & Gutter		Water Main
	FNC = Fence Line		Water Service
			Water Valve
			Witness Corner

## SURVEY NARRATIVE & NOTES

- The purpose of this survey is to show the monuments found and set during the boundary retracement of Lot 5, Block 33, Ketchum Townsite and to condominiumize said property as shown hereon. The boundary shown is based on found centerline monuments and the Plat of the Village of Ketchum, Instrument Number 302967, records of Blaine County, Idaho. All found monuments have been accepted. The missing property corners were reset by block breakdown and proportioning record distances. Vertical Datum is NAVD 1988.
- In interpreting the Declaration, Plat or Plats, and Deeds, the existing physical boundaries of the unit as originally constructed, or reconstructed in lieu thereof, shall be conclusively presumed to be its boundaries rather than the metes and bounds expressed or depicted in the declaration, plat or plats, and/or deeds, regardless of settling or lateral movement of the building and regardless of minor variances between boundaries shown in the declaration, plat or plats, and/or deeds, and the actual boundaries of the units in the buildings.
- Dimensions shown hereon will be subject to slight variations, owing to normal construction tolerances.
- Horizontal or sloping planes shown hereon are top of finished subfloor and bottom of finished ceiling; vertical planes are finished surfaces of interior walls. Some structural members extend into units, limited common areas and parking spaces.
- Property shown hereon is subject to terms, provisions, covenants, conditions, restrictions, easements, charges, assessments and liens provided by applicable Condominium Law or the Condominium Declaration recorded under Instrument Number \_\_\_\_\_, records of Blaine County, Idaho. Consult the Condominium Declarations for the definition of common and limited common area.
- All area outside of units that is not designated as limited common is common area. areas of "common" or "limited common" are shown by diagram.
- Building ties are to the interior corners of unit walls.
- Utility easements necessary to allow for access and maintenance of utilities serving units other than the unit they are located in are hereby granted by this plat.
- The current zoning is CC, Mixed Use. Refer to the City of Ketchum Zoning Ordinance for specific information about this zone.
- The owner is SV Ventures, LLC. The surveyor/representation is Mark E. Phillips, Galena Engineering, Inc., 317 N. River St., Hailey, Idaho 83333.
- This development is subject to an Exceedance Agreement recorded under Instrument Number # \_\_\_\_\_.

HEALTH CERTIFICATE: Sanitary restrictions as required by Idaho Code Title 50, Ch. 13, have been satisfied. Sanitary restrictions may be reimposed in accordance with Idaho Code Title 50, Ch. 13, Sec. 50-1326, by issuance of a Certificate of Disapproval.

Date \_\_\_\_\_ South Central District Health Dept., EHS



MARK E. PHILLIPS, P.L.S. 16670

THE LOFTS AT 780 1ST AVENUE

GALENA ENGINEERING, INC.  
HAILEY, IDAHO

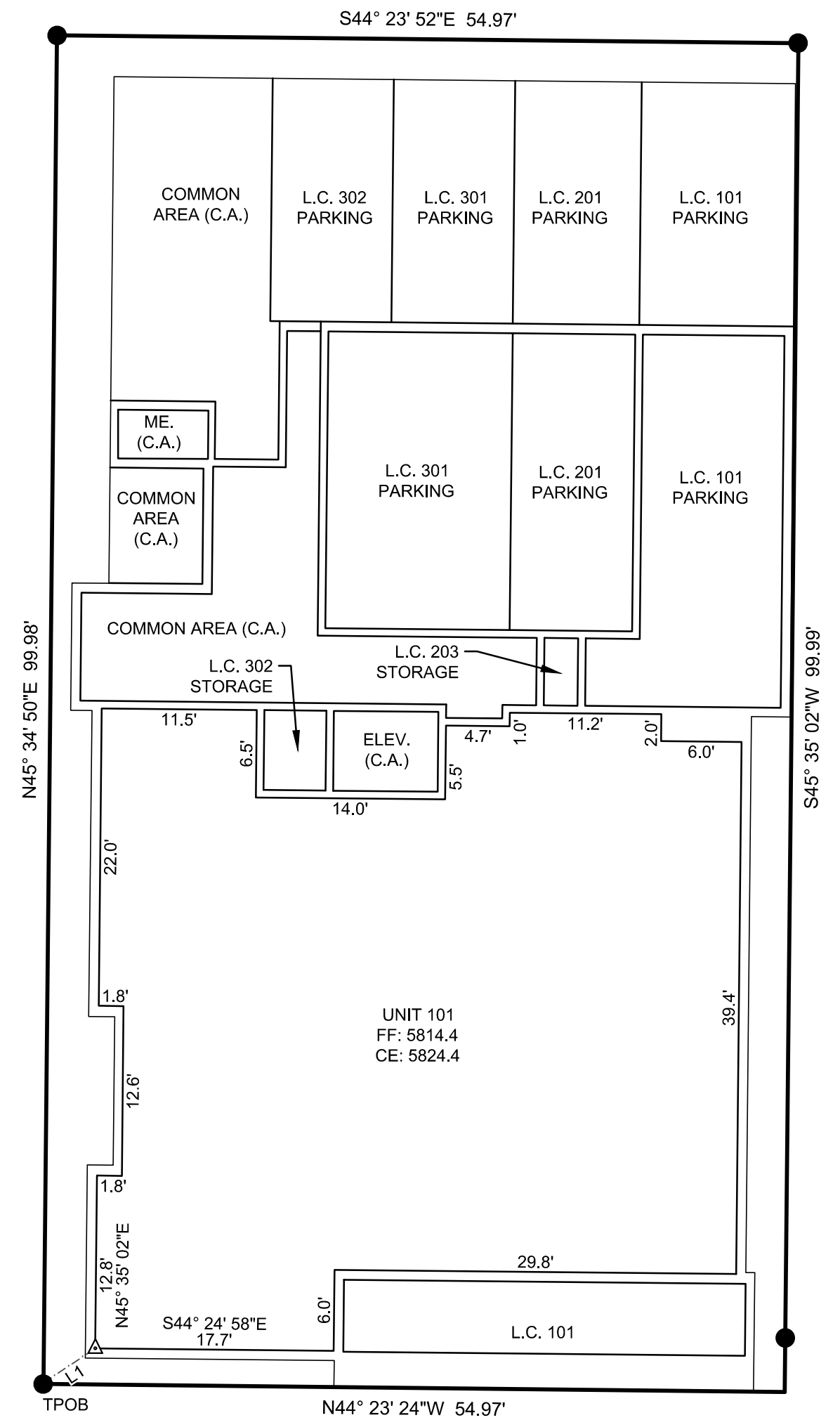
SHEET 1 OF 3  
Job No. 3559-02

Ketchum File No. 921-038

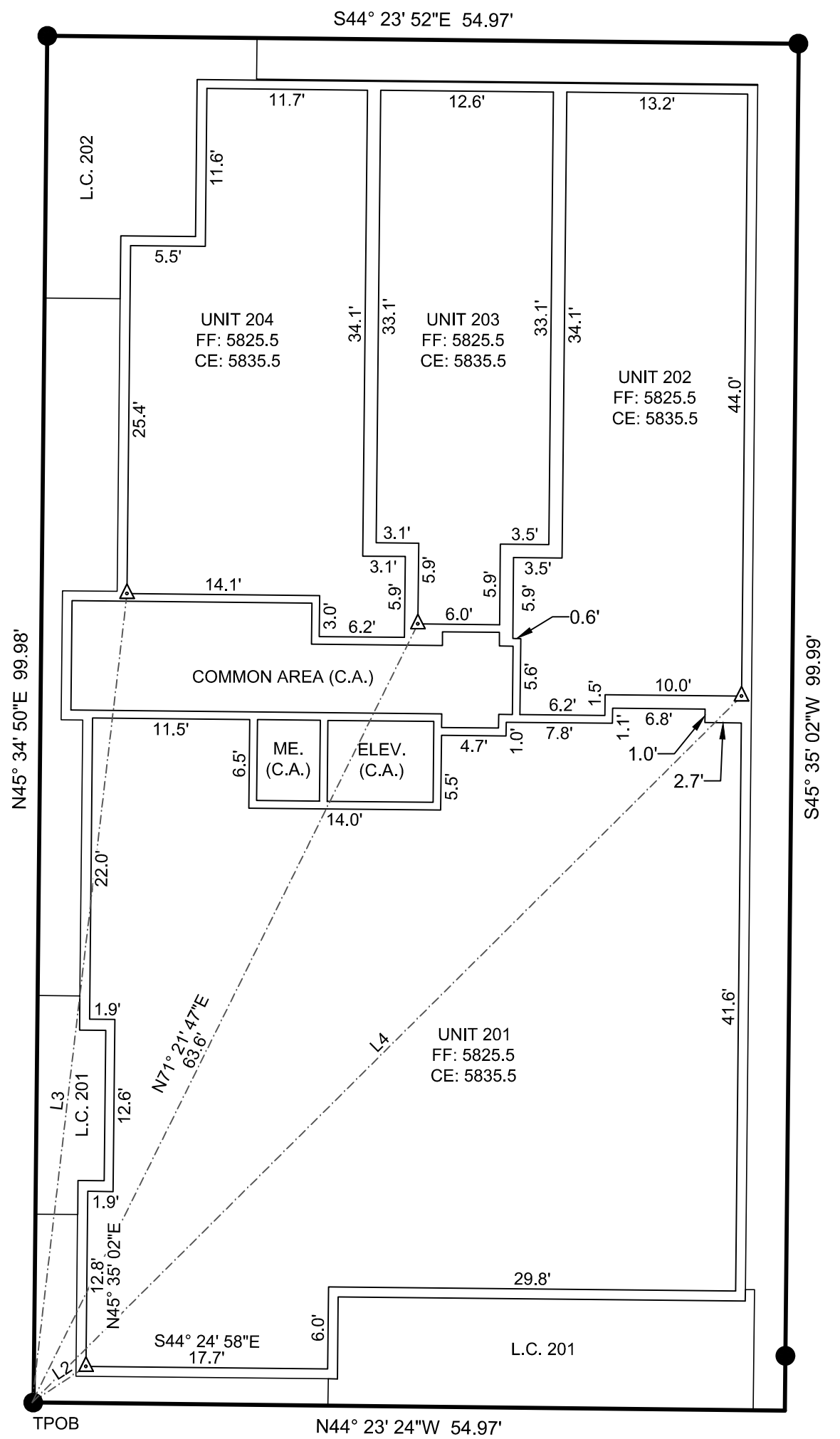
A CONDOMINIUM PLAT SHOWING  
THE LOFTS AT 780 1ST AVENUE  
SEPTEMBER 2021



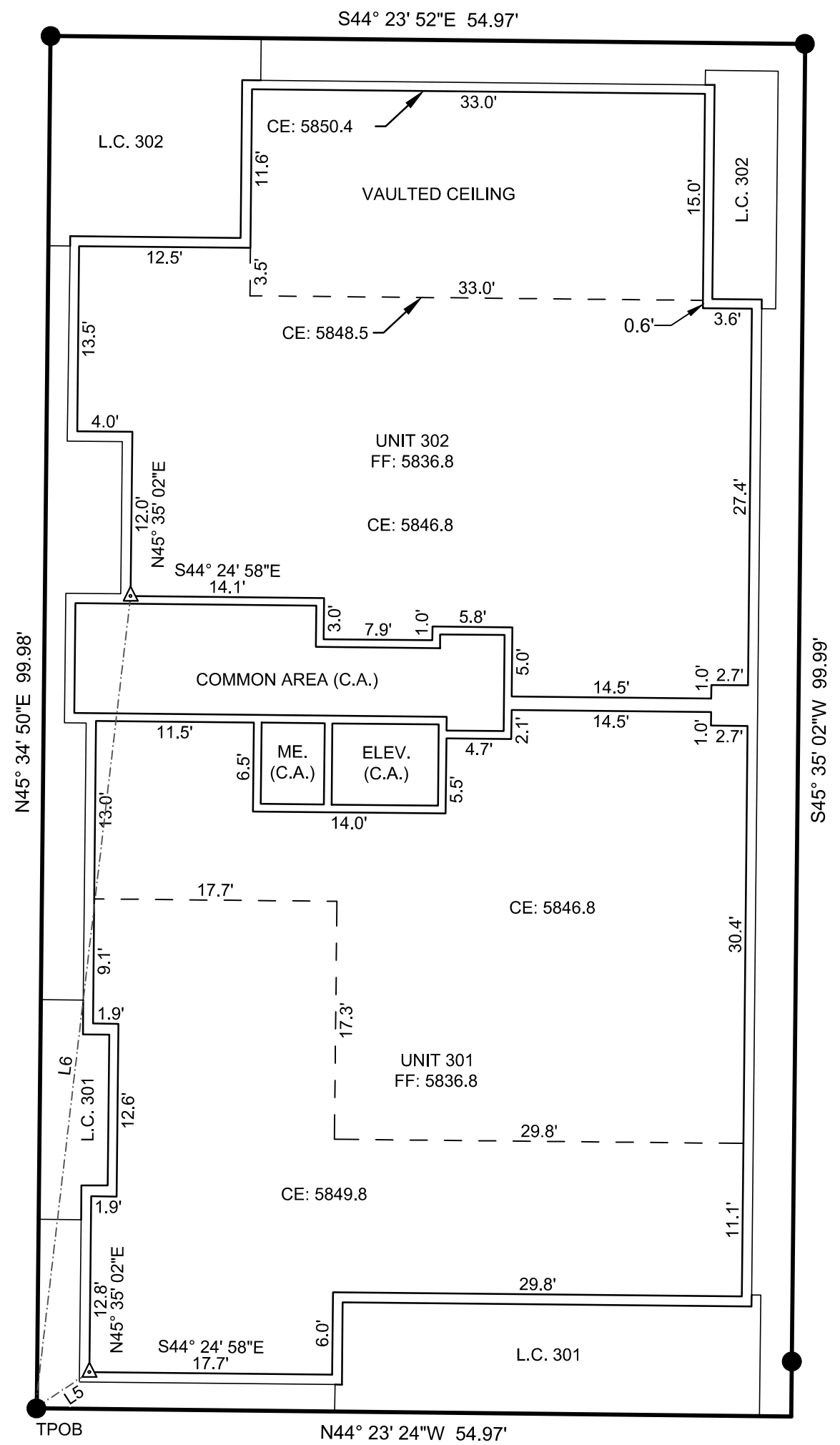
SCALE: 1" = 10'



FIRST FLOOR  
UNIT 101



SECOND FLOOR  
UNITS 201, 202, & 203



THIRD FLOOR  
UNITS 301 & 302

LEGEND

- Property Line
- Ceiling Break Lines
- - - Building Tie Lines
- TPOB = True Point of Beginning
- △ Unit Tie point
- Set 5/8" Rebar
- CE = Ceiling Elevation
- FF = Finished Floor Elevation
- L.C. = Limited Common
- C.A. = Common Area
- ME. = Mechanical Room
- ELEV. = Elevator

Line Table		
Line #	Direction	Length
L1	S78°40'46"E	4.7'
L2	S78°40'46"E	4.7'
L3	N51°41'30"E	59.6'
L4	S89°52'17"E	73.2'
L5	S78°40'46"E	4.7'
L6	N51°41'30"E	59.6'



MARK E. PHILLIPS, P.L.S. 16670

THE LOFTS AT 780 1ST AVENUE  
GALENA ENGINEERING, INC.  
HAILEY, IDAHO

SHEET 2 OF 3  
Job No. 3559-02

Ketchum File No. 921-038



CERTIFICATE OF OWNERSHIP

This is to certify that the undersigned are the owners in fee simple of the following described condominium property:

A parcel of land located within Section 13, T.4N., R.17E., B.M., City of Ketchum, Blaine County, Idaho, more particularly described as follows:

Lot 5, Block 33, Ketchum Townsite

The easements indicated hereon are not dedicated to the public, but the right to use said easements is hereby reserved for the public utilities and for any other uses indicated hereon and no permanent structures are to be erected within the lines of said easements. I do hereby certify that all units within this condominium plat will be eligible to receive water service from an existing water distribution system and that the existing water distribution system has agreed in writing to serve all of units shown within this plat.

It is the intent of the owners to hereby include said condominium property in this plat.

SV Ventures, LLC, an Idaho Limited Liability Company

Reid Sanborn, Registered Agent

ACKNOWLEDGMENT

STATE OF \_\_\_\_\_ }  
COUNTY OF \_\_\_\_\_ } ss

On this \_\_\_\_\_ day of \_\_\_\_\_, 2021, before me, a Notary Public in and for said State, personally appeared Reid Sanborn, known or identified to me to be a member of the limited liability company that executed the foregoing instrument, and acknowledged to me that such limited liability company executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

Notary Public in and for said State

Residing in \_\_\_\_\_

My Commission Expires \_\_\_\_\_

SURVEYOR’S CERTIFICATE

I, Mark E. Phillips, a duly Licensed Professional Land Surveyor in the State of Idaho, do hereby certify that this plat is a true and accurate map of the land and points surveyed under my direct supervision and that it is in accordance with the Idaho State Code relating to Plats, Surveys, and Condominiums and the Corner Perpetuation and Filing Act, 55–1601 through 55–1612.

Mark E. Phillips, P.L.S. 16670



BLAINE COUNTY SURVEYOR’S APPROVAL

I, Sam Young County Surveyor for Blaine County, Idaho, do hereby certify that I have checked the foregoing Plat and computations for making the same and have determined that they comply with the laws of the State of Idaho relating to Plats and Surveys

Sam Young, P.L.S. 11577  
Blaine County Surveyor

Date \_\_\_\_\_

KETCHUM CITY ENGINEER’S APPROVAL

The foregoing plat was approved by \_\_\_\_\_, City Engineer for the City of Ketchum on this \_\_\_\_\_ day of \_\_\_\_\_, 2021.

City Engineer \_\_\_\_\_

KETCHUM CITY COUNCIL’S APPROVAL

I, \_\_\_\_\_, Planner in and for the City of Ketchum, do hereby certify that the foregoing plat was duly accepted and approved according to the Ketchum Subdivision–Ordinance.

By: \_\_\_\_\_

Certified by City Clerk

By: \_\_\_\_\_

BLAINE COUNTY TREASURER’S APPROVAL

I, the undersigned County Treasurer in and for Blaine County, State of Idaho per the requirements of Idaho Code 50–1308, do hereby certify that any and all current and/or delinquent county property taxes for the property included in this subdivision have been paid in full. This certification is valid for the next thirty (30) days only.

Blaine County Treasurer

Date \_\_\_\_\_

BLAINE COUNTY RECORDER’S CERTIFICATE

THE LOFTS AT 780 1ST AVENUE

GALENA ENGINEERING, INC.  
HAILEY, IDAHO

SHEET 3 OF 3  
Job No. 3559-02

Ketchum File No. 921-038



**Lofts at 780 - Design Review and Preliminary Plat Applications**  
**Table 1: City Department Comments**

City Department comments are based on the project concept as proposed with the Design Review project plans. All City Departments shall review and approve the project through the Building Permit application process. All comments pertaining to the Design Review drawings are subject to change. All right-of-way improvements must be reviewed and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project.

City Department Comments
<i>All City Department requirements and associated specifications for the required improvements must be verified, reviewed, and approved prior to issuance of a Building Permit for the project.</i>
<b>Fire Department:</b> <ul style="list-style-type: none"><li>It is the General Contractor's responsibility to understand and adhere to all Fire Protection Ordinance #1217 requirements in addition to all City of Ketchum requirements in effect at the time of Building Permit issuance. Failure to comply with all local ordinances and codes may result in project work stoppage as well as criminal penalties.</li><li>The project shall meet all 2018 International Fire Code requirements in addition to specific City Building and Fire Ordinances.</li><li>Smoke and Carbon Monoxide Detectors shall be installed per NFPA and the International Fire Code. Smoke detectors shall be installed inside each bedroom, within 21' of each sleeping area, and on every level of the occupancy, including the basement. CO alarms shall be installed in a central location outside each sleeping area and on every level of the residence.</li><li>Approved address numbers shall be placed in such a position to be plainly visible and legible from the road fronting the property. Numbers and letters shall be a minimum of four (4) inches tall, have a minimum ½" brush stroke, contrast with their background, and be positioned a minimum of forty-eight (48) inches above final grade.</li><li>Vehicle parking and material storage during construction shall not restrict or obstruct public streets or access to any building. A minimum twenty-foot travel lane for emergency vehicle access shall be maintained clear and unobstructed at all times. All required Fire Lanes, including within 15 feet of fire hydrants, shall be maintained clear and unobstructed at all times.</li><li>An approved automatic fire sprinkler system shall be installed throughout the building per City of Ketchum Ordinance #1217 (<a href="http://www.ketchumfire.org">www.ketchumfire.org</a>) and the National Fire Protection Association Standard 13. An approved fire sprinkler flow bell, Knox box and Fire Department Connection shall be installed in an approved location visible to approaching firefighters. Water service lines to structures shall be hydraulically calculated for size to meet fire sprinkler flow requirements. Fire sprinkler systems shall be annually tested and maintained per NFPA 25. An approved fire</li></ul>





City of Ketchum  
Planning & Building

department connection and flow bell shall be installed in a location approved by the fire department and the system shall be supervised by an approved alarm system.

NOTE: One electronic set of fire sprinkler system plans must be submitted to the Ketchum Fire Department as well as the State Fire Marshals office and a Ketchum Fire Department Permit must be obtained prior to installation of fire sprinkler systems. Inspections of fire sprinkler systems by the Fire Chief or an appointee are required. Inspections must be scheduled at least 48 hours in advance. An approved key box shall be installed on each townhome unit, with the appropriate keys, for emergency access in a location approved by the Fire Department. The key box shall be a Knox Box brand and sized to accommodate keys to every door of the townhome unit.

- An approved fire detection system shall be installed per City of Ketchum Ordinance #1217 ([www.ketchumfire.org](http://www.ketchumfire.org)) and the requirements of NFPA 72. Two (2) sets of alarm system plans shall be submitted to the Ketchum Fire Department for approval and a permit is required prior to installation of alarm systems. Inspections of fire detection systems by the Fire Chief or an appointee are required and shall be scheduled at least 48 hours in advance.
- Fire extinguishers shall be installed and maintained per 2018 IFC Section 906 both during construction and upon occupancy of the building. During construction fire extinguishers shall be placed in a conspicuous, easy to access, unobstructed location that is less than 75' travel distance to any combustibles on site, 30' to any hot work. Upon completion of project every single-family residence shall have a minimum of one extinguisher per garage and one extinguisher per kitchen area. Extinguishers shall be mounted in a conspicuous, easy to access, unobstructed location. (5lb. class A fire extinguishers shall be required for this project).
- Spark arresters are required on all solid fuel burning appliance chimneys to reduce potential fires from burning embers. A minimum 10' separation from all chimneys to combustible vegetation and tree crowns shall be maintained at all times.
- An approved key box shall be installed, with the appropriate keys, for emergency fire department access in a location approved by the fire department. The key box shall be a Knox box brand and sized to accommodate keys to every door of the project.
- This project shall comply with the City of Ketchum Fire Protection and defensible space characteristics. All exterior windows shall be glazed, and all exterior doors shall be solid core construction, or have a fire rating of not less than 20 minutes. All exterior vents shall be designed and approved to prevent flame or ember penetration and all exterior mesh shall have openings that do not exceed 1/8". Gutters and downspouts shall be non-combustible and shall be provided with an approved means to prevent the accumulation of leaves and debris. All materials within 12" vertical of finished grade shall be 1 hour rated, non-combustible, or covered with minimum 28-gauge flashing. The area 12" horizontal from the base of a wall shall be finished in a way to prevent any vegetation growing, and for vegetative debris to be easily removed. Tree crowns extending to within 10 feet of any structure shall be pruned to maintain a minimum horizontal clearance of 10 feet. Tree crowns within 30 feet of any structure shall be pruned to remove limbs located less than 6 feet above the ground surface adjacent to the trees. Non-fire resistive



City of Ketchum  
Planning & Building

vegetation or growth shall be kept clear of buildings and structures, in such a manner as to provide a clear area for fire suppression operations.

- An 8 ½ by 11 color coded site map of this project shall be provided on paper and electronically to the fire department. This site map shall show the locations of gas shut-offs, power shut-offs, fire sprinkler riser rooms, fire department connections, alarm panels, Knox boxes, access doors, egress windows, stairways and any additional fire department requirements. Exact details for color coded “On-Sites” can be found at [www.ketchumfire.org](http://www.ketchumfire.org).
- Final inspections of all fire department permit required installations by the Fire Chief or an appointee are required and shall be scheduled at least 48 hours in advance. A Final Inspection Checklist can be found at [www.ketchumfire.org](http://www.ketchumfire.org).

**City Engineer & Streets Department:**

- All stormwater shall be retained on site including any roof drains (KMC 17.124.170).
- Minor adjustments to the right-of-way parking may be necessary and will be determined at building permit submittal.
- Idaho Power Road Cut – KMC 12.08.050(3)I of the city code states “road cutting will only be permitted where boring, pushing, or microtrenching have failed after three (3) attempts or otherwise been shown to be unfeasible.” Boring is required for all projects. Finalization of Idaho Power means and methods of construction to be resolved during Idaho Power encroachment permit process.
- Alley – Applicant to maintain. City will maintain when alley is 20’ wide, paved, and a thru alley
- Illumination Plan for ROW street lighting meeting City Standards will be required at Building permit submittal.
- The building permit plans and construction drawings shall meet all applicable sections of Chapter 12 of Ketchum Municipal Code.

**Utilities & Wastewater:**

- No comments from wastewater.
- Water
  - A new tap and install of fire suppression line with a common domestic meter sized by an engineer will be required at building unless individual meters are planned for each unit. If individual meters are planned, there will be connection fees for each. Inspection is required for tap and installation. The existing service to the lot will need to be abandoned at the main.
  - Domestic meter or meters will need to be plumbed in off the fire line in the Mechanical room with isolation valves on both sides.

**Planning and Zoning:**

All comments from the Planning Department resulting from department review have either been addressed satisfactorily by the applicant or are listed as conditions of approval for the Design Review or





**City of Ketchum**  
**Planning & Building**

Preliminary Plat applications. Please see the applicant's cover letter in Attachment A for the applicant's response to department comments.



City of Ketchum  
Planning & Building

Lofts at 780 – Design Review and Preliminary Plat Applications  
Table 3: Zoning and Dimensional Standards Evaluation

Zoning and Dimensional Standards Analysis				
Compliant			City Code	Standards
Yes	No	N/A		
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	<b>Minimum Lot Area</b>
			Staff Comments	<p><b>Permitted:</b> 5,500 square feet</p> <p><b>Proposed:</b> 5,489 square feet – the subject property is Lot 5, Block 33 of the Ketchum Townsite (Village of Ketchum), platted in 1948. Per KMC 17.128.010, lots created prior to April 21, 1966 can be developed provided that all other dimensional limitations are met.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	<b>FAR or Lot Coverage</b>
			Staff Comments	<p><b>Permitted FAR:</b> 1.0 <b>Permitted FAR with Community Housing:</b> 2.25</p> <p><b>Proposed:</b> Gross Square Footage – 11,758 SF (Per Sheet A0.0) Total Lot Area – 5,489 SF FAR – 2.14</p> <p>Community Housing Mitigation Calculation: Permitted Gross Square Feet (1.0 FAR): 5,489 SF Proposed Gross Square Feet: 11,758 SF Increase Above Permitted FAR: 6,269 SF 20% of Increase: 1,254 SF Net Livable (15% Reduction): 1,066 SF</p> <p>The applicant proposes to dedicate Unit 203 (454 square feet) as a community housing unit and contribute a payment-in-lieu for the remaining 612 SF of community housing. The required payment-in-lieu is \$238 per square foot for a total of \$145,656.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.030	<b>Minimum Building Setbacks</b>
			Staff Comments	<p><b>Permitted:</b> Front (N 1<sup>st</sup> Avenue/west): 5 feet average – 244.17 SF required per length of facade Side (8<sup>th</sup> Street/north): 5 feet average as this frontage is considered “street side” – 364.58 SF required on the 1<sup>st</sup> Floor, 465.4 SF required on</p>





City of Ketchum  
Planning & Building

				<p>the 2<sup>nd</sup> and 3<sup>rd</sup> Floors. Side (Interior Lot Line/south): 0 feet Rear (Alley/east): 3 feet</p> <p>The calculated the average setback for front and street sides, the length of the façade at each level is measured and multiplied by five to determine the minimum required square footage of setback for the façade at that level. To calculate compliance with the minimum requirement, the total square footage of proposed setback for the same facade is measured.</p> <p>Non-habitable structures, fixed amenities, solar and mechanical equipment affixed to a roof must be set back 10 feet from all building facades.</p> <p><b>Proposed:</b> Front (N 1<sup>st</sup> Avenue/west): 276.1 SF on all floors – as shown on Sheets A2.1B, A2.2B, and A2.3B and cover letter Side (8<sup>th</sup> Street/north): as shown on Sheets A2.1B, A2.2B, and A2.3B and cover letter 1<sup>st</sup> Floor – 373.2 SF 2<sup>nd</sup> Floor – 472.2 SF 3<sup>rd</sup> Floor – 469.2 SF Side (Interior Lot Line/south): 0 feet with a portion setback along the front half of the building Rear (Alley/east): 3 feet</p> <p>Setback of non-habitable structures: Sheet M1.3 illustrates the location of the perforated metal screens proposed to screen the mechanical equipment, set back more than 10 feet from the building façade.</p> <p>Sheets A3.2 and A3.3 indicate roof overhangs into the right-of-way of 1 foot on 8<sup>th</sup> Street, 3 feet on N 1<sup>st</sup> Avenue, and 1 foot into the alley.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.12.030</b>	<b>Building Height</b>
			<b>Staff Comments</b>	<p><b>Permitted:</b> 42 feet</p> <p>Height of building/CC District: The greatest vertical distance of a building in the community core district measured by determining the average elevation of the front property line and rear property line. Draw a line from the average front or rear elevation up to the maximum building height allowed, and then draw a line at that height parallel to the front or rear property line. The resulting line establishes the highest elevation of</p>



City of Ketchum  
Planning & Building

			<p>the front or rear facade. The front or rear facade shall not extend above this line. Side facades may be stepped up or down to transition from the highest elevation of the front facade height to the highest elevation of the rear facade. One or multiple steps along the side facades are allowed, except no step shall occur within 40 feet of the front elevation or within 35 feet of the rear facade. The City shall establish the elevation points used to calculate the average elevation of the front and rear property lines (see illustration A on file in the office of the City Clerk).</p> <p>Cantilevered Decks and Overhangs: 8 feet above grade and/or walking surface.</p> <p>Non-habitable Structures Located on Building Rooftops: maximum of 10 feet</p> <p>Perimeter walls enclosing roof top deck or structures: 4 feet above roof surface height. Perimeter roof top walls are required to be at least 75% transparent</p> <p>Roof top solar and mechanical equipment above roof surface: maximum of 5 feet</p> <p><b>Proposed:</b></p> <p>As shown on the Topo map in the application materials, the site is generally flat, but slopes down from the rear property line (alley) to the front property line (N 1<sup>st</sup> Ave). As such, maximum building height is calculated by taking an average of the front property line elevation and measuring up to 42 feet from there. The lowest point of elevation along the front property line is approximately 5,811 feet. The highest elevation along the front property line is approximately 5,813 feet. This results in an average of approximately 5,812 feet. As shown on Sheets A3.1 and A3.2, the building height of 38 feet 2.5 inches is measured from an elevation of 5,812.5 feet. Actual building height based on staff's calculation is 38 feet 8.5 inches which is below the maximum building height of 42 feet.</p> <p>The project includes cantilevered decks on the second and third floors of the project. As shown on Sheets A3.1 and A3.2, all cantilevered decks are more than 8 feet above grade or walking surface.</p> <p>The project includes roof top mechanical equipment and an elevator shaft. As shown on Sheets A3.1 and A3.2, the equipment does not</p>
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City of Ketchum  
Planning & Building

				exceed 3 feet in height and is screened with a 3 foot high perforated metal screen.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.125.030H</b>	<b>Curb Cut</b>
			<b>Staff Comments</b>	<p><b>Permitted:</b> A maximum of thirty five percent (35%) of the linear footage of any street frontage may be devoted to access off-street parking.</p> <p><b>Proposed:</b> The subject property has two street frontages, one along N 1<sup>st</sup> Ave and the other along 8<sup>th</sup> Street. All access to proposed off street parking is from the alley between N 1<sup>st</sup> Ave and N Washington Ave, therefore no street frontage is devoted to access off-street parking.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<b>17.125.040</b>	<b>Parking Spaces</b>
			<b>Staff Comments</b>	<p><b>Permitted:</b> For residential multi-family dwelling units in the Community Core  Units 750 square feet or less – 0 spaces  Units 751 SF to 2,000 SF – minimum of 1 space  Units 2,001 SF and above – minimum of 2 spaces</p> <p>The project proposes a total of 7 dwelling units, three of which are under 750 Sf. The remaining four are under 2,000 SF requiring 1 parking space each. The total required parking for the project is four spaces.</p> <p><b>Proposed:</b>  As shown on Sheet A2.1, the project proposes a total of four standard surface parking spaces, one accessible space, and three garage spaces. Per the Preliminary Plat submittal, the project is proposed to be subdivided into a condominium in such a way that each dwelling unit will have one or two dedicated parking spaces except for the units less than 750 square feet.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<b>17.125.040</b>	<b>Open Space</b>
			<b>Staff Comments</b>	<p><b>Required:</b> n/a</p> <p><b>Proposed:</b> n/a</p>



City of Ketchum  
Planning & Building

Lofts at 780 – Design Review and Preliminary Plat Applications

Table 3: Design Review Standards Evaluation

Improvements and Standards				
Compliant				
Yes	No	N/A	City Code	City Standards
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.A1 Streets	The applicant shall be responsible for all costs associated with providing a connection from an existing city street to their development.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.A2 Streets	All street designs shall be approved by the City Engineer.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.B1 Sidewalks	All projects under 17.96.010(A) that qualify as a “Substantial Improvement” shall install sidewalks as required by the Public Works Department.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.B2 Sidewalks	Sidewalk width shall conform to the City’s right-of-way standards, however the City Engineer may reduce or increase the sidewalk width and design standard requirements at their discretion.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.B3 Sidewalks	Sidewalks may be waived if one of the following criteria is met: <ul style="list-style-type: none"> <li>a. The project comprises an addition of less than 250 square feet of conditioned space.</li> <li>b. The City Engineer finds that sidewalks are not necessary because of existing geographic limitations, pedestrian traffic on the street does not warrant a sidewalk, or if a sidewalk would not be beneficial to the general welfare and safety of the public.</li> </ul>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.B4 Sidewalks	The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.B5 Sidewalks	New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.B6 Sidewalks	The City may approve and accept voluntary cash contributions in-lieu of the above described improvements, which contributions must be segregated by the City and not used for any purpose other than the provision of these improvements. The contribution amount shall be one hundred ten percent (110%) of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the City





City of Ketchum  
Planning & Building

				Engineer. Any approved in-lieu contribution shall be paid before the City issues a certificate of occupancy.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.C1 Drainage	All storm water shall be retained on site.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.C2 Drainage	Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.C3 Drainage	The City Engineer may require additional drainage improvements as necessary, depending on the unique characteristics of a site.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.C.4 Drainage	Drainage facilities shall be constructed per City standards.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.D1 Utilities	All utilities necessary for the development shall be improved and installed at the sole expense of the applicant.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.D2 Utilities	Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.D3 Utilities	When extension of utilities is necessary all developers will be required to pay for and install two (2") inch SDR11 fiber optical conduit. The placement and construction of the fiber optical conduit shall be done in accordance with city of Ketchum standards and at the discretion of the City Engineer.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.E1 Compatibility of Design	The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.E2 Compatibility of Design	Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.E3 Compatibility of Design	Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F1 Architectural	Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F2 Architectural	The building character shall be clearly defined by use of architectural features.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F3 Architectural	There shall be continuity of materials, colors and signing within the project.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F4 Architectural	Accessory structures, fences, walls and landscape features within the project shall match or complement the principal building.



City of Ketchum  
Planning & Building

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F5 Architectural	Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F6 Architectural	Building(s) shall orient towards their primary street frontage.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F7 Architectural	Garbage storage areas and satellite receivers shall be screened from public view and located off alleys.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.F8 Architectural	Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.G1 Circulation Design	Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.G2	Awnings extending over public sidewalks shall extend five (5') feet or more across the public sidewalk but shall not extend within two (2') feet of parking or travel lanes within the right of way.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.G3 Circulation Design	Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.G4 Circulation Design	Curb cuts and driveway entrances shall be no closer than twenty (20') feet to the nearest intersection of two or more streets, as measured along the property line adjacent to the right of way. Due to site conditions or current/projected traffic levels or speed, the City Engineer may increase the minimum distance requirements.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.G5 Circulation Design	Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.H1 Snow Storage	Snow storage areas shall not be less than thirty percent (30%) of the improved parking and pedestrian circulation areas.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.H2 Snow Storage	Snow storage areas shall be provided on-site.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060.H3 Snow Storage	A designated snow storage area shall not have any dimension less than five (5') feet and shall be a minimum of twenty-five (25) square feet.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.H4 Snow Storage	In lieu of providing snow storage areas, snow melt and hauling of snow may be allowed.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.I1 Landscaping	Landscaping is required for all projects.





City of Ketchum  
Planning & Building

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.I2 Landscaping	Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.I3 Landscaping	All trees, shrubs, grasses and perennials shall be drought tolerant. Native species are recommended but not required.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.I4 Landscaping	Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060.J1 Public Amenities	Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All public amenities shall receive approval from the Public Works Department prior to design review approval from the Commission.

IMPROVEMENTS AND STANDARDS: 17.96.070 - Community Core (CC) Projects				
Yes	No	N/A	Ketchum Municipal Code Section	City Standards
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070A.1	Street trees, street lights, street furnishings, and all other street improvements shall be installed or constructed as determined by the Public Works Department.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.070.A.2 Streets	Street trees with a minimum caliper size of three (3") inches, shall be placed in tree grates.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(A)( 3)	Due to site constraints, the requirements if this subsection 17.96.070(A) may be modified by the Public Works Department.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(B)( 1)	Facades facing a street or alley or located more than five (5') feet from an interior side property line shall be designed with both solid surfaces and window openings to avoid the creation of blank walls and employ similar architectural elements, materials, and colors as the front façade.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(B)( 2)	For nonresidential portions of buildings, front building facades and facades fronting a pedestrian walkway shall be designed with ground floor storefront windows and doors with clear transparent glass. Landscaping planters shall be incorporated into facades fronting pedestrian walkways.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(B)( 3)	For nonresidential portions of buildings, front facades shall be designed to not obscure views into windows.



City of Ketchum  
Planning & Building

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(B)(4)	Roofing forms and materials shall be compatible with the overall style and character of the structure. Reflective materials are prohibited.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.070(B)(5)	All pitched roofs shall be designed to sufficiently hold all snow with snow clips, gutters, and downspouts.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(B)(6)	Roof overhangs shall not extend more than three (3') feet over a public sidewalk. Roof overhangs that extend over the public sidewalk shall be approved by the Public Works Department.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(B)(7)	Front porches and stoops shall not be enclosed on the ground floor by permanent or temporary walls, windows, window screens, or plastic or fabric materials.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(C)(1)	Trash disposal areas and shipping and receiving areas shall be located within parking garages or to the rear of buildings. Trash disposal areas shall not be located within the public right of way and shall be screened from public views.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(C)(2)	Roof and ground mounted mechanical and electrical equipment shall be fully screened from public view. Screening shall be compatible with the overall building design.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.070(D)(1)	When a healthy and mature tree is removed from a site, it shall be replaced with a new tree. Replacement trees may occur on or off site.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(D)(2)	Trees that are placed within a courtyard, plaza, or pedestrian walkway shall be placed within tree wells that are covered by tree grates.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.070(D)(3)	The city arborist shall approve all parking lot and replacement trees.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(E)(1)	Surface parking lots shall be accessed from off the alley and shall be fully screened from the street.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.070(E)(2)	Surface parking lots shall incorporate at least one (1) tree and one (1) additional tree per ten (10) onsite parking spaces. Trees shall be planted in landscaped planters, tree wells and/or diamond shaped planter boxes located between parking rows. Planter boxes shall be designed so as not to impair vision or site distance of the traveling public.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.070(E)(3)	Ground cover, low lying shrubs, and trees shall be planted within the planters and planter boxes. Tree grates or landscaping may be used in tree wells located within pedestrian walkways.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(F)(1)	One (1) bicycle rack, able to accommodate at least two (2) bicycles, shall be provided for every four (4) parking spaces as required by the proposed use. At a minimum, one (1) bicycle rack shall be required per development.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.070(F)(2)	When the calculation of the required number of bicycle racks called for in this section results in a fractional number, a fraction equal to or





City of Ketchum  
Planning & Building

				greater than one-half (1/2) shall be adjusted to the next highest whole number.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.070(F)(3)	Bicycle racks shall be clearly visible from the building entrance they serve and not mounted less than fifty (50') feet from said entrance or as close as the nearest non-ADA parking space, whichever is closest. Bicycle racks shall be located to achieve unobstructed access from the public right-of-way and not in areas requiring access via stairways or other major obstacles.



City of Ketchum  
Planning & Building

**Lofts at 780 – Design Review and Preliminary Plat Applications**

**Table 4: Preliminary Plat Requirements Evaluation**

Preliminary Plat Requirements				
Compliant			City Code	City Standards
Yes	No	N/A		
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.C.1	The subdivider shall file with the administrator copies of the completed subdivision application form and preliminary plat data as required by this chapter.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.I	Contents Of Preliminary Plat: The preliminary plat, together with all application forms, title insurance report, deeds, maps, and other documents reasonably required, shall constitute a complete subdivision application.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.I .1	The preliminary plat shall be drawn to a scale of not less than one inch equals one hundred feet (1" = 100') and shall show the following:  The scale, north point and date.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.I .2	The name of the proposed subdivision, which shall not be the same or confused with the name of any other subdivision in Blaine County, Idaho.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.I .3	The name and address of the owner of record, the subdivider, and the engineer, surveyor, or other person preparing the plat.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.I .4	Legal description of the area platted.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.I .5	The names and the intersecting boundary lines of adjoining subdivisions and parcels of property.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.I .6	A contour map of the subdivision with contour lines and a maximum interval of five feet (5') to show the configuration of the land based upon the United States geodetic survey data, or other data approved by the city engineer.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.I .7	The scaled location of existing buildings, water bodies and courses and location of the adjoining or immediately adjacent dedicated streets, roadways and easements, public and private.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.I .8	Boundary description and the area of the tract.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.I .9	Existing zoning of the tract.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.I .10	The proposed location of street rights of way, lots, and lot lines, easements, including all approximate dimensions, and including all proposed lot and block numbering and proposed street names.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.030.I .11	The location, approximate size and proposed use of all land intended to be dedicated for public use or for common use of all future property owners within the proposed subdivision.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.030.I .12	The location, size and type of sanitary and storm sewers, water mains, culverts and other surface or subsurface structures existing within or immediately adjacent to the proposed sanitary or storm sewers, water mains, and storage facilities, street improvements, street lighting, curbs, and gutters and all proposed utilities.





City of Ketchum  
Planning & Building

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.030.I .13	The direction of drainage, flow and approximate grade of all streets.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.030.I .14	The location of all drainage canals and structures, the proposed method of disposing of runoff water, and the location and size of all drainage easements, whether they are located within or outside of the proposed plat.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.030.I .15	All percolation tests and/or exploratory pit excavations required by state health authorities.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.I .16	A copy of the provisions of the articles of incorporation and bylaws of homeowners' association and/or condominium declarations to be filed with the final plat of the subdivision.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.030.I .17	Vicinity map drawn to approximate scale showing the location of the proposed subdivision in reference to existing and/or proposed arterials and collector streets.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.030.I .18	The boundaries of the floodplain, floodway and avalanche zoning district shall also be clearly delineated and marked on the preliminary plat.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.030.I .19	Building envelopes shall be shown on each lot, all or part of which is within a floodway, floodplain, or avalanche zone; or any lot that is adjacent to the Big Wood River, Trail Creek, or Warm Springs Creek; or any lot, a portion of which has a slope of twenty five percent (25%) or greater; or upon any lot which will be created adjacent to the intersection of two (2) or more streets.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.030.I .20	Lot area of each lot.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.030.I .21	Existing mature trees and established shrub masses.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.I .22	A current title report shall be provided at the time that the preliminary plat is filed with the administrator, together with a copy of the owner's recorded deed to such property.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.030.I .23	Three (3) copies of the preliminary plat shall be filed with the administrator.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.A	Required Improvements: The improvements set forth in this section shall be shown on the preliminary plat and installed prior to approval of the final plat. Construction design plans shall be submitted and approved by the city engineer. All such improvements shall be in accordance with the comprehensive plan and constructed in compliance with construction standard specifications adopted by the city. Existing natural features which enhance the attractiveness of the subdivision and community, such as mature trees, watercourses, rock outcroppings, established shrub masses and historic areas, shall be preserved through design of the subdivision.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.B	Improvement Plans: Prior to approval of final plat by the commission, the subdivider shall file two (2) copies with the city engineer, and the city engineer shall approve construction plans for all improvements required in the proposed subdivision. Such plans shall be prepared by a civil engineer licensed in the state.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.C	Prior to final plat approval, the subdivider shall have previously constructed all required improvements and secured a certificate of completion from the city



City of Ketchum  
Planning & Building

				<p>engineer. However, in cases where the required improvements cannot be constructed due to weather conditions or other factors beyond the control of the subdivider, the city council may accept, in lieu of any or all of the required improvements, a performance bond filed with the city clerk to ensure actual construction of the required improvements as submitted and approved. Such performance bond shall be issued in an amount not less than one hundred fifty percent (150%) of the estimated costs of improvements as determined by the city engineer. In the event the improvements are not constructed within the time allowed by the city council (which shall be one year or less, depending upon the individual circumstances), the council may order the improvements installed at the expense of the subdivider and the surety. In the event the cost of installing the required improvements exceeds the amount of the bond, the subdivider shall be liable to the city for additional costs. The amount that the cost of installing the required improvements exceeds the amount of the performance bond shall automatically become a lien upon any and all property within the subdivision owned by the owner and/or subdivider.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.D	<p>As Built Drawing: Prior to acceptance by the city council of any improvements installed by the subdivider, two (2) sets of as built plans and specifications, certified by the subdivider's engineer, shall be filed with the city engineer. Within ten (10) days after completion of improvements and submission of as built drawings, the city engineer shall certify the completion of the improvements and the acceptance of the improvements, and shall submit a copy of such certification to the administrator and the subdivider. If a performance bond has been filed, the administrator shall forward a copy of the certification to the city clerk. Thereafter, the city clerk shall release the performance bond upon application by the subdivider.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.E	<p>Monumentation: Following completion of construction of the required improvements and prior to certification of completion by the city engineer, certain land survey monuments shall be reset or verified by the subdivider's engineer or surveyor to still be in place. These monuments shall have the size, shape, and type of material as shown on the subdivision plat. The monuments shall be located as follows:</p> <ol style="list-style-type: none"> <li>1. All angle points in the exterior boundary of the plat.</li> <li>2. All street intersections, points within and adjacent to the final plat.</li> <li>3. All street corner lines ending at boundary line of final plat.</li> <li>4. All angle points and points of curves on all streets.</li> <li>5. The point of beginning of the subdivision plat description.</li> </ol>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.F	<p>Lot Requirements:</p> <ol style="list-style-type: none"> <li>1. Lot size, width, depth, shape and orientation and minimum building setback lines shall be in compliance with the zoning district in which the property is located and compatible with the location of the subdivision and the type of development, and preserve solar access to adjacent properties and buildings.</li> <li>2. Whenever a proposed subdivision contains lot(s), in whole or in part, within the floodplain, or which contains land with a slope in excess of twenty five percent</li> </ol>





City of Ketchum  
Planning & Building

				<p>(25%), based upon natural contours, or creates corner lots at the intersection of two (2) or more streets, building envelopes shall be shown for the lot(s) so affected on the preliminary and final plats. The building envelopes shall be located in a manner designed to promote harmonious development of structures, minimize congestion of structures, and provide open space and solar access for each lot and structure. Also, building envelopes shall be located to promote access to the lots and maintenance of public utilities, to minimize cut and fill for roads and building foundations, and minimize adverse impact upon environment, watercourses and topographical features. Structures may only be built on buildable lots. Lots shall only be created that meet the definition of "lot, buildable" in section 16.04.020 of this chapter. Building envelopes shall be established outside of hillsides of twenty five percent (25%) and greater and outside of the floodway. A waiver to this standard may only be considered for the following:</p> <ol style="list-style-type: none"> <li>For lot line shifts of parcels that are entirely within slopes of twenty five percent (25%) or greater to create a reasonable building envelope, and mountain overlay design review standards and all other city requirements are met.</li> <li>For small, isolated pockets of twenty five percent (25%) or greater that are found to be in compliance with the purposes and standards of the mountain overlay district and this section.</li> </ol> <p>3. Corner lots shall have a property line curve or corner of a minimum radius of twenty five feet (25') unless a longer radius is required to serve an existing or future use.</p> <p>4. Side lot lines shall be within twenty degrees (20°) to a right angle or radial line to the street line.</p> <p>5. Double frontage lots shall not be created. A planting strip shall be provided along the boundary line of lots adjacent to arterial streets or incompatible zoning districts. Should a double frontage lot(s) be created out of necessity, then such lot(s) shall be reversed frontage lot(s).</p> <p>6. Minimum lot sizes in all cases shall be reversed frontage lot(s).</p> <p>7. Every lot in a subdivision shall have a minimum of twenty feet (20') of frontage on a dedicated public street or legal access via an easement of twenty feet (20') or greater in width. Easement shall be recorded in the office of the Blaine County recorder prior to or in conjunction with recordation of the final plat.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.G	<p>G. Block Requirements: The length, width and shape of blocks within a proposed subdivision shall conform to the following requirements:</p> <ol style="list-style-type: none"> <li>No block shall be longer than one thousand two hundred feet (1,200'), nor less than four hundred feet (400') between the street intersections, and shall have sufficient depth to provide for two (2) tiers of lots.</li> <li>Blocks shall be laid out in such a manner as to comply with the lot requirements.</li> <li>The layout of blocks shall take into consideration the natural topography of the land to promote access within the subdivision and</li> </ol>



City of Ketchum  
Planning & Building

				<p>minimize cuts and fills for roads and minimize adverse impact on environment, watercourses and topographical features.</p> <p>4. Corner lots shall contain a building envelope outside of a seventy five foot (75') radius from the intersection of the streets.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.H	<p>Street Improvement Requirements:</p> <ol style="list-style-type: none"> <li>1. The arrangement, character, extent, width, grade and location of all streets put in the proposed subdivision shall conform to the comprehensive plan and shall be considered in their relation to existing and planned streets, topography, public convenience and safety, and the proposed uses of the land;</li> <li>2. All streets shall be constructed to meet or exceed the criteria and standards set forth in chapter 12.04 of this code, and all other applicable ordinances, resolutions or regulations of the city or any other governmental entity having jurisdiction, now existing or adopted, amended or codified;</li> <li>3. Where a subdivision abuts or contains an existing or proposed arterial street, railroad or limited access highway right of way, the council may require a frontage street, planting strip, or similar design features;</li> <li>4. Streets may be required to provide access to adjoining lands and provide proper traffic circulation through existing or future neighborhoods;</li> <li>5. Street grades shall not be less than three-tenths percent (0.3%) and not more than seven percent (7%) so as to provide safe movement of traffic and emergency vehicles in all weather and to provide for adequate drainage and snow plowing;</li> <li>6. In general, partial dedications shall not be permitted, however, the council may accept a partial street dedication when such a street forms a boundary of the proposed subdivision and is deemed necessary for the orderly development of the neighborhood, and provided the council finds it practical to require the dedication of the remainder of the right of way when the adjoining property is subdivided. When a partial street exists adjoining the proposed subdivision, the remainder of the right of way shall be dedicated;</li> <li>7. Dead end streets may be permitted only when such street terminates at the boundary of a subdivision and is necessary for the development of the subdivision or the future development of the adjacent property. When such a dead end street serves more than two (2) lots, a temporary turnaround easement shall be provided, which easement shall revert to the adjacent lots when the street is extended;</li> <li>8. A cul-de-sac, court or similar type street shall be permitted only when necessary to the development of the subdivision, and provided, that no such street shall have a maximum length greater than four hundred feet (400') from entrance to center of turnaround, and all cul-de-sacs shall have a minimum turnaround radius of sixty feet (60') at the property line and not less than forty five feet (45') at the curb line;</li> <li>9. Streets shall be planned to intersect as nearly as possible at right angles, but in no event at less than seventy degrees (70°);</li> </ol>





City of Ketchum  
Planning & Building

			<p>10. Where any street deflects an angle of ten degrees (10°) or more, a connecting curve shall be required having a minimum centerline radius of three hundred feet (300') for arterial and collector streets, and one hundred twenty five feet (125') for minor streets;</p> <p>11. Streets with centerline offsets of less than one hundred twenty five feet (125') shall be prohibited;</p> <p>12. A tangent of at least one hundred feet (100') long shall be introduced between reverse curves on arterial and collector streets;</p> <p>13. Proposed streets which are a continuation of an existing street shall be given the same names as the existing street. All new street names shall not duplicate or be confused with the names of existing streets within Blaine County, Idaho. The subdivider shall obtain approval of all street names within the proposed subdivision from the commission before submitting same to council for preliminary plat approval;</p> <p>14. Street alignment design shall follow natural terrain contours to result in safe streets, usable lots, and minimum cuts and fills;</p> <p>15. Street patterns of residential areas shall be designed to create areas free of through traffic, but readily accessible to adjacent collector and arterial streets;</p> <p>16. Reserve planting strips controlling access to public streets shall be permitted under conditions specified and shown on the final plat, and all landscaping and irrigation systems shall be installed as required improvements by the subdivider;</p> <p>17. In general, the centerline of a street shall coincide with the centerline of the street right of way, and all crosswalk markings shall be installed by the subdivider as a required improvement;</p> <p>18. Street lighting may be required by the commission or council where appropriate and shall be installed by the subdivider as a requirement improvement;</p> <p>19. Private streets may be allowed upon recommendation by the commission and approval by the council. Private streets shall be constructed to meet the design standards specified in subsection H2 of this section;</p> <p>20. Street signs shall be installed by the subdivider as a required improvement of a type and design approved by the administrator and shall be consistent with the type and design of existing street signs elsewhere in the city;</p> <p>21. Whenever a proposed subdivision requires construction of a new bridge, or will create substantial additional traffic which will require construction of a new bridge or improvement of an existing bridge, such construction or improvement shall be a required improvement by the subdivider. Such construction or improvement shall be in accordance with adopted standard specifications;</p> <p>22. Sidewalks, curbs and gutters may be a required improvement installed by the subdivider; and</p> <p>23. Gates are prohibited on private roads and parking access/entranceways, private driveways accessing more than one single-family dwelling unit and one accessory dwelling unit, and public rights of way unless approved by the city council.</p>
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City of Ketchum  
Planning & Building

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.I	<p>Alley Improvement Requirements: Alleys shall be provided in business, commercial and light industrial zoning districts. The width of an alley shall be not less than twenty feet (20'). Alley intersections and sharp changes in alignment shall be avoided, but where necessary, corners shall be provided to permit safe vehicular movement. Dead end alleys shall be prohibited. Improvement of alleys shall be done by the subdivider as required improvement and in conformance with design standards specified in subsection H2 of this section.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.J	<p>Required Easements: Easements, as set forth in this subsection, shall be required for location of utilities and other public services, to provide adequate pedestrian circulation and access to public waterways and lands.</p> <ol style="list-style-type: none"> <li>1. A public utility easement at least ten feet (10') in width shall be required within the street right of way boundaries of all private streets. A public utility easement at least five feet (5') in width shall be required within property boundaries adjacent to Warm Springs Road and within any other property boundary as determined by the city engineer to be necessary for the provision of adequate public utilities.</li> <li>2. Where a subdivision contains or borders on a watercourse, drainageway, channel or stream, an easement shall be required of sufficient width to contain such watercourse and provide access for private maintenance and/or reconstruction of such watercourse.</li> <li>3. All subdivisions which border the Big Wood River, Trail Creek and Warm Springs Creek shall dedicate a ten foot (10') fish and nature study easement along the riverbank. Furthermore, the council shall require, in appropriate areas, an easement providing access through the subdivision to the bank as a sportsman's access. These easement requirements are minimum standards, and in appropriate cases where a subdivision abuts a portion of the river adjacent to an existing pedestrian easement, the council may require an extension of that easement along the portion of the riverbank which runs through the proposed subdivision.</li> <li>4. All subdivisions which border on the Big Wood River, Trail Creek and Warm Springs Creek shall dedicate a twenty five foot (25') scenic easement upon which no permanent structure shall be built in order to protect the natural vegetation and wildlife along the riverbank and to protect structures from damage or loss due to riverbank erosion.</li> <li>5. No ditch, pipe or structure for irrigation water or irrigation wastewater shall be constructed, rerouted or changed in the course of planning for or constructing required improvements within a proposed subdivision unless same has first been approved in writing by the ditch company or property owner holding the water rights. A written copy of such approval shall be filed as part of required improvement construction plans.</li> <li>6. Nonvehicular transportation system easements including pedestrian walkways, bike paths, equestrian paths, and similar easements shall be dedicated by the subdivider to provide an adequate nonvehicular transportation system throughout the city.</li> </ol>





City of Ketchum  
Planning & Building

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.K	Sanitary Sewage Disposal Improvements: Central sanitary sewer systems shall be installed in all subdivisions and connected to the Ketchum sewage treatment system as a required improvement by the subdivider. Construction plans and specifications for central sanitary sewer extension shall be prepared by the subdivider and approved by the city engineer, council and Idaho health department prior to final plat approval. In the event that the sanitary sewage system of a subdivision cannot connect to the existing public sewage system, alternative provisions for sewage disposal in accordance with the requirements of the Idaho department of health and the council may be constructed on a temporary basis until such time as connection to the public sewage system is possible. In considering such alternative provisions, the council may require an increase in the minimum lot size and may impose any other reasonable requirements which it deems necessary to protect public health, safety and welfare.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.L	Water System Improvements: A central domestic water distribution system shall be installed in all subdivisions by the subdivider as a required improvement. The subdivider shall also be required to locate and install an adequate number of fire hydrants within the proposed subdivision according to specifications and requirements of the city under the supervision of the Ketchum fire department and other regulatory agencies having jurisdiction. Furthermore, the central water system shall have sufficient flow for domestic use and adequate fire flow. All such water systems installed shall be looped extensions, and no dead end systems shall be permitted. All water systems shall be connected to the municipal water system and shall meet the standards of the following agencies: Idaho department of public health, Idaho survey and rating bureau, district sanitarian, Idaho state public utilities commission, Idaho department of reclamation, and all requirements of the city.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.M	Planting Strip Improvements: Planting strips shall be required improvements. When a predominantly residential subdivision is proposed for land adjoining incompatible uses or features such as highways, railroads, commercial or light industrial districts or off street parking areas, the subdivider shall provide planting strips to screen the view of such incompatible features. The subdivider shall submit a landscaping plan for such planting strip with the preliminary plat application, and the landscaping shall be a required improvement.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.N	Cuts, Fills, And Grading Improvements: Proposed subdivisions shall be carefully planned to be compatible with natural topography, soil conditions, geology and hydrology of the site, as well as to minimize cuts, fills, alterations of topography, streams, drainage channels, and disruption of soils and vegetation. The design criteria shall include the following: 1. A preliminary soil report prepared by a qualified engineer may be required by the commission and/or council as part of the preliminary plat application.



City of Ketchum  
Planning & Building

			<p>2. Preliminary grading plan prepared by a civil engineer shall be submitted as part of all preliminary plat applications. Such plan shall contain the following information:</p> <ul style="list-style-type: none"><li>a. Proposed contours at a maximum of five foot (5') contour intervals.</li><li>b. Cut and fill banks in pad elevations.</li><li>c. Drainage patterns.</li><li>d. Areas where trees and/or natural vegetation will be preserved.</li><li>e. Location of all street and utility improvements including driveways to building envelopes.</li><li>f. Any other information which may reasonably be required by the administrator, commission or council to adequately review the affect of the proposed improvements.</li></ul> <p>3. Grading shall be designed to blend with natural landforms and to minimize the necessity of padding or terracing of building sites, excavation for foundations, and minimize the necessity of cuts and fills for streets and driveways.</p> <p>4. Areas within a subdivision which are not well suited for development because of existing soil conditions, steepness of slope, geology or hydrology shall be allocated for open space for the benefit of future property owners within the subdivision.</p> <p>5. Where existing soils and vegetation are disrupted by subdivision development, provision shall be made by the subdivider for revegetation of disturbed areas with perennial vegetation sufficient to stabilize the soil upon completion of the construction. Until such times as such revegetation has been installed and established, the subdivider shall maintain and protect all disturbed surfaces from erosion.</p> <p>6. Where cuts, fills, or other excavations are necessary, the following development standards shall apply:</p> <ul style="list-style-type: none"><li>a. Fill areas shall be prepared by removing all organic material detrimental to proper compaction for soil stability.</li><li>b. Fills shall be compacted to at least ninety five percent (95%) of maximum density as determined by AASHO T99 (American Association of State Highway Officials) and ASTM D698 (American standard testing methods).</li><li>c. Cut slopes shall be no steeper than two horizontal to one vertical (2:1). Subsurface drainage shall be provided as necessary for stability.</li><li>d. Fill slopes shall be no steeper than three horizontal to one vertical (3:1). Neither cut nor fill slopes shall be located on natural slopes of three to one (3:1) or steeper, or where fill slope toes out within twelve feet (12') horizontally of the top and existing or planned cut slope.</li><li>e. Toes of cut and fill slopes shall be set back from property boundaries a distance of three feet (3'), plus one-fifth (1/5) of the height of the cut or the fill, but may not exceed a horizontal distance of ten feet (10'); tops and toes of cut and fill slopes shall be set back from structures at a distance of at least six feet (6'), plus one-fifth (1/5) of the height of the</li></ul>
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City of Ketchum  
Planning & Building

				cut or the fill. Additional setback distances shall be provided as necessary to accommodate drainage features and drainage structures.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.O	Drainage Improvements: The subdivider shall submit with the preliminary plat application such maps, profiles, and other data prepared by an engineer to indicate the proper drainage of the surface water to natural drainage courses or storm drains, existing or proposed. The location and width of the natural drainage courses shall be shown as an easement common to all owners within the subdivision and the city on the preliminary and final plat. All natural drainage courses shall be left undisturbed or be improved in a manner that will increase the operating efficiency of the channel without overloading its capacity. An adequate storm and surface drainage system shall be a required improvement in all subdivisions and shall be installed by the subdivider. Culverts shall be required where all water or drainage courses intersect with streets, driveways or improved public easements and shall extend across and under the entire improved width including shoulders.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.040.P	Utilities: In addition to the terms mentioned in this section, all utilities including, but not limited to, electricity, natural gas, telephone and cable services shall be installed underground as a required improvement by the subdivider. Adequate provision for expansion of such services within the subdivision or to adjacent lands including installation of conduit pipe across and underneath streets shall be installed by the subdivider prior to construction of street improvements.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	16.04.040.Q	Off Site Improvements: Where the offsite impact of a proposed subdivision is found by the commission or council to create substantial additional traffic, improvements to alleviate that impact may be required of the subdivider prior to final plat approval, including, but not limited to, bridges, intersections, roads, traffic control devices, water mains and facilities, and sewer mains and facilities.

Condominium Plat Requirements				
Compliant				
Yes	No	N/A	City Code	Standards
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.070.B	The subdivider of the condominium project shall submit with the preliminary plat application a copy of the proposed bylaws and condominium declarations of the proposed condominium development. Said documents shall adequately provide for the control and maintenance of all common areas, recreational facilities and open space.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.070.D	All garages shall be designated on the preliminary and final plats and on all deeds as part of the particular condominium units. No garage may be condominiumized or sold separate from a condominium unit.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.070.E	Adequate storage areas shall be provided for boats, campers and trailers, as well as adequate interior storage space for personal property of the resident of each condominium unit.



City of Ketchum  
Planning & Building

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.070.F	A maintenance building or room shall be provided of adequate size and location for the type and size of the condominium project for storage of maintenance equipment and supplies for common areas.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.070.G	The subdivider shall dedicate to the common use of the homeowners adequate open space of such shape and area usable and convenient to the residents of the condominium subdivision. Location of building sites and common area shall maximize privacy and solar access.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	16.04.070.H	All other provisions of this chapter and all applicable ordinances, rules and regulations of the city and all other governmental entities having jurisdiction shall be complied with by condominium subdivisions.