



**STAFF REPORT
KETCHUM PLANNING AND ZONING COMMISSION
MEETING OF AUGUST 26, 2025**

PROJECT: Knob Hill Residence

FILE NUMBER: P24-087

APPLICATION TYPES: Mountain Overlay Design Review & Lot Consolidation Subdivision Preliminary Plat with Waiver Request

APPLICATION FILE #: P25-016 & P25-016a

PROPERTY OWNER: Knob Hill Properties LLC

REPRESENTATIVES: Peter Seidner & Hank Moore, Presidio Vista Properties

ARCHITECT: Zac Rockett, Architect, Ro Rockett Design

REQUEST: Mountain Overlay Design Review for the development of a new three-story, 6,212 gross-square-foot single-family residence and associated site improvements and Lot Consolidation Subdivision Preliminary Plat with Waiver Request to establish building envelope in 25% and greater slope

LOCATION: Ketchum Townsite—Block 91: Lots 3 & 4
(Parcel Numbers: RPK0000091004A & RPK00000910030)

ZONING: Limited Residential (LR)

OVERLAY: Mountain Overlay (MO)

REVIEWER: Abby Rivin, Senior Planner

NOTICE: A public hearing notice for the project was mailed to all owners of property within 300 feet of the project site and all political subdivisions on August 1, 2025. The public hearing notice was published in the Idaho Mountain Express on August 6, 2025. A notice was posted on the project site on August 11, 2025. The public hearing notice was published on the city's website on August 7, 2025. The building corners were staked and the story pole was installed on the project site on August 19, 2025.

I. EXECUTIVE SUMMARY

The Knob Hill Residence project proposes to develop a new three-story, 6,212 gross-square-foot single-family home and associated site improvements (see Figure 1) on two vacant Ketchum townsite lots on Walnut Avenue just north of 6th Street within the Knob Hill neighborhood (the “subject property”, see Figure 2). The subject property is located within the city’s Limited Residential (LR) Zone and the Mountain Overlay (MO). The project plans are included as Attachment A. Supplemental material, including the applicant’s design narrative, is included as Attachment B.



Figure 1: Bird's Eye Perspective (Sheet G-022)



Figure 2: Subject Property Aerial Map

The project requires MO Design Review pursuant to Ketchum Municipal Code (KMC) §17.104.050, which specifies MO Design Review is required for:

- a) the construction of new buildings/structures and additions to existing buildings/structures,
- b) excavation, grading, and filling for any purpose not associated with the construction of buildings/structures, and
- c) any activity regulated by the city’s street standards, including private driveways.

The Knob Hill Residence project is subject to all MO Design Review criteria specified in KMC §17.104.070 as well as all applicable Design Review standards specified in KMC §17.96.060.

The applicant has submitted a Lot Consolidation Subdivision Preliminary Plat Application to combine lots 3 and 4 and requests two waivers. Lot consolidations are permitted in the LR Zone subject to a waiver pursuant to KMC §16.04.030.C.1a. In addition to the waiver required to

consolidate the two lots in the LR Zone, the applicant has requested a waiver to establish a reasonable building envelope within the hillside of 25% and greater slope. Please see section III and Attachment D4 for staff's analysis of the Lot Consolidation Preliminary Plat Application and associated waiver requests.

II. BACKGROUND

Process to Date

The project is subject to Mountain Overlay Preapplication Design Review pursuant to KMC §17.96.010.D.1 as the subject property is greater than 11,000 square feet. The Commission reviewed the Preapplication Design Review for the project on February 11, 2025. The Preapplication materials, staff report, and meeting recording is published on the city's website and may be viewed by clicking the link [here](#).

At Preapplication, the Commission expressed appreciation for the applicant's thoughtful design approach to developing a home on a challenging parcel. The Commission encouraged the application to reduce the height of the home in order to remove the aerial fire apparatus access and move the home to a lower elevation on the subject property. In addition, the Commission provided feedback to the applicant that grading not associated with building construction should be minimized to the greatest extent possible and any grading within the unimproved 7th Street right-of-way ("ROW") should be limited to construction of the ROW improvements.

III. ANALYSIS

Pursuant to KMC §17.96.050.A, the Commission shall determine the following prior to granting Design Review approval:

1. The project doesn't jeopardize the health, safety, or welfare of the public.
2. The project generally conforms with the goals, policies, and objectives of the adopted comprehensive plan.
3. The project conforms to all applicable standards and criteria as set forth in this chapter, this title, and any other standards as adopted or amended by the City of Ketchum from time to time.

Public Health, Safety, and Welfare: Comprehensive Plan Conformance

Future Land Use

The subject property is designated as Low Density Residential ("LDR") on the Future Land Use Map of Ketchum's 2014 Comprehensive Plan (the "2014 Plan"). The LDR future land use category promotes new housing within existing neighborhoods that are connected to local streets and have access to parks, open space, schools, and other civic activities. Primary uses in the LDR future land use category include single-family residences, duplexes, and accessory dwelling units. This project aligns with the LDR future land use category as the applicant proposes to develop a new single-family within the Knob Hill neighborhood.

Hillside Protection

Ketchum's undeveloped hillsides shape the special character of our mountain town and protecting hillsides from development is critical to maintain community identity. The 2014 Plan provides the following policies related to protecting hillsides and preserving natural features:

- Policy CD-2.2—Mountain Overlay Zone: "Continue to protect hillsides within the City and the Area of City Impact from further development. Enforce and encourage strengthening of the Mountain Overlay standards of the City and County, by using a

variety of techniques; such as clustering at lower elevations, creating conservation easements, or purchasing private property on hillsides” (page 26).

- Policy CD-2.4—Development Designed for Natural Feature Preservation: “Protect and incorporate natural features into newly developing areas. Conserve the natural patterns of streams, ridgelines, topography, riparian areas, and wildlife habitat areas” (page 27).

Infill development and redevelopment disturbs natural land features, topography, soils, and vegetation. Construction activities like excavation, grading, and vegetation removal can adversely impact natural hillside topography, soils, slope stability, drainage patterns, and wildlife habitat. Ketchum’s Mountain Overlay standards referenced in Policy CD-2.2 strive to mitigate these adverse impacts by minimizing the disturbance associated with hillside development activity. These standards help preserve Ketchum’s hillsides and wildlife habitat by prohibiting detrimental alterations to hilltops, rock outcroppings, knolls, and ridges.

Compatibility with Surrounding Neighborhood

In addition to our undeveloped hillsides, Ketchum’s built environment, neighborhoods, and architectural design contribute to the character of our community. The 2014 Plan encourages new development to be compatible with the character of the surrounding neighborhood. Policy CD-1.3 states that, “Infill and redevelopment projects should be contextually appropriate to the neighborhood and development in which they occur. Context refers to the natural and manmade features adjoining a development site; it does not imply a certain style” (page 26). In addition, Policy CD-1.4 states that, “Each new project should be well-designed and attractive, and should complement surrounding land uses and existing neighborhood character” (page 26).

Comprehensive Plan Conformance

Staff believes the Knob Hill Residence project complies with all MO Design Review standards and is compatible with the character of surrounding residential homes in the Knob Hill neighborhood. Further analysis of the project’s conformance with MO Design Review standards is provided in the subsequent section of the staff report as well as Attachment D2.

Zoning Regulations & MO Design Review Standards

Zoning and LR Dimensional Standards

During department review, Planning staff reviewed the project for conformance with all applicable zoning code requirements, including permitted uses, dimensional standards, parking requirements, development standards, and dark skies. Staff believes the project complies with all zoning code requirements. Please see Attachment D1 for staff’s evaluation of zoning regulations and LR dimensional standards.

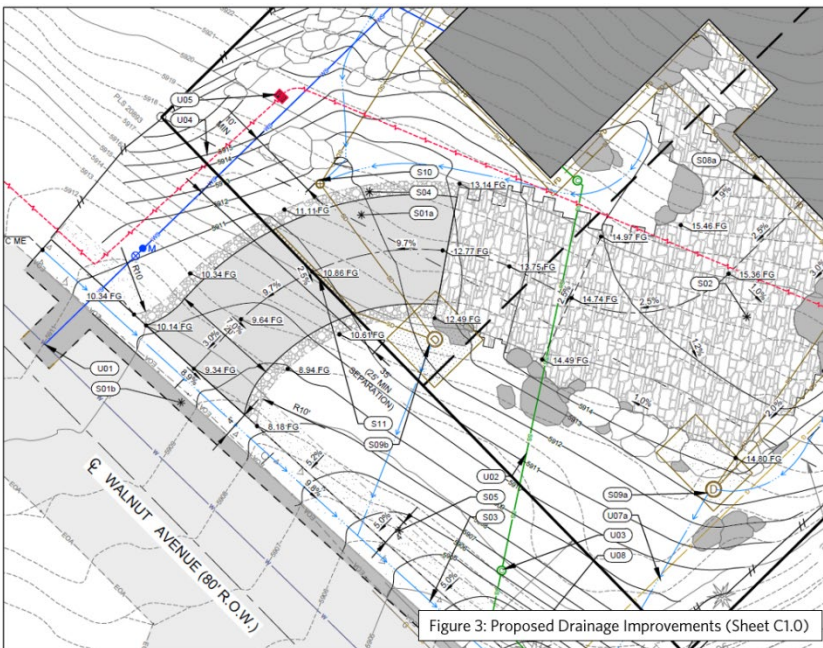
Design Review Standards

Planning staff reviewed the project for all Design Review standards specified in KMC §17.96.060. During department review, the City Engineer, Utilities Department, Fire Marshal, and Streets Department reviewed the project for conformance with driveway standards, fire code, city ROW standards, drainage standards, and utility requirements. As conditioned, staff believes the project complies with all applicable Design Review standards. Please see Attachment D3 for staff’s evaluation of all Design Review standards.

Drainage

The Geotechnical Report prepared by Steve Butler, P.E., dated January 6, 2023 (“geotechnical report”) included in Attachment B identifies that the hillside is comprised of “fractured andesite bedrock up to 5.8 feet below existing grade.” The fractured andesite bedrock has low permeability with “an infiltration rate of less than 0.1”/minute.” The City Engineer believes the infiltration rate may be less than 0.1”/minute and closer to 0.05”/hour, which was the rate identified uphill to the east of the subject property at 691 N Spruce Avenue. If the infiltration rate is less than 0.1”/minute, then the drywells would need to be resized.

Pursuant to KMC §17.96.060.C1, “All stormwater shall be retained on site.” The geotechnical reports that “smaller landscape drywells may be slow draining and ineffective” due to the lower permeability of the bedrock and recommends all surface runoff be piped to a large drywell downslope of the structure. As shown in Figure 3, the grading and drainage improvements specified on sheet C1.0 of the project plans (see Attachment A) include a large drywell by the driveway adjacent to the front property line along Walnut Avenue. In case the on-site drywells overflow, the geotechnical report recommends drainage improvements be constructed in the public ROW along Walnut Avenue to capture any excess surface runoff.



The proposed drainage improvements in the ROW along Walnut Avenue include the construction of a new concrete valley gutter that ties into the new storm drain system that was a required drainage improvement for the McDermott residence directly south of the subject property. The new storm drain system flows all the way to a drywell on 5th Street (see Figure 4).

KMC §17.96.060.C3 gives the City Engineer authority to require additional drainage improvements as necessary due to unique site characteristics. As the project proposes stormwater discharge into the ROW, the City Engineer requires that the applicant provide the following information at time of building permit:

1. Infiltration tests at the bottom of drywell locations.

2. Calculations that include offsite drainage contributions, identify drainage basins, and demonstrate that post-development discharge to the ROW does not exceed pre-development discharge using 50% of the measured infiltration rates.
3. Verification that the drywell on 5th Street has the additional capacity for the post-development discharge.

The City Engineer flagged that modifications to the existing drywell on 5th Street or an additional drywell may be required. The City Engineer requirements have been added as recommended condition of approval no. 6 listed in section IV of the staff report.

Mountain Overlay Design Review Standards

Planning staff evaluated the project for conformance with all MO Design Review standards. Please see Attachment D2 for staff's comprehensive analysis. Staff believes the project, as conditions, complies with all MO Design Review standards.

Hillside Disturbance

The lot disturbance diagrams on sheet G-020 show that 1,710 square feet of the subject property will remain undisturbed, which is 11% of the subject property area. The construction of the proposed home will disturb most of the natural hillside on the subject property. Pursuant to KMC §17.104.070.A14, "Excavations, fills and vegetation disturbance on hillsides not associated with the building construction shall be minimized." Most of the proposed hillside disturbance is required for the construction of the home within the excavated slope. As described in the geotechnical report (see Attachment B), in addition to managing stormwater runoff and stabilizing the steep slope, retaining walls are required to support the building foundation. Details for the proposed boulder retaining system are provided on sheet C1.0 and L-2.00 of the project plans (see Attachment A).

Site improvements not associated with the construction of the residence that will disturb the hillside are limited to a small patio at the northeast corner of the subject property and the new driveway. At Preapplication, the Commission recommended the applicant lower the height of the building so that the aerial fire apparatus access could be removed and the home could be moved closer to the front setback at a lower elevation on the subject property. The applicant responded to the Commission's feedback by reducing building height in order to remove the aerial fire apparatus access. Removing the aerial fire apparatus access allowed the home to be moved 6 feet downhill closer to the front setback. The proposed setback from the front property line is 34'-7", which is 15'-7" more than the minimum required in the LR Zone.

Drilling/Blasting

KMC §17.104.070.B requires that a description of any proposed drilling or blasting be submitted with MO Design Review applications. During city department review, planning staff requested the applicant describe any proposed drilling or blasting that may be required for the construction of the proposed home and site improvements. The applicant responded that drilling/blasting are not anticipated to be required for the construction of the home. Drilling and blasting have been required for new construction projects in the Knob Hill neighborhood. Staff recommends the Commission consider adding a condition requiring that the applicant submit written confirmation from a geotechnical engineer verifying that drilling/blasting is not required at time of building permit (see recommended condition no. 5 in section IV of the staff report). If the geotechnical engineer determines that drilling or blasting is required, the applicant must submit a detailed plan and schedule for the work as part of the construction activity plan. This plan must minimize impacts on the surrounding neighborhood to the greatest extent practicable.

Light Trespass

During their review of the Preapplication, the Commission discussed light trespass associated with the amount of glazing proposed for the new home. One of the purposes of the Mountain Overlay is to protect wildlife habitat. Artificial light negatively impacts wildlife by disrupting behavior patterns that depend on natural light cycles, harming reproduction cycles, and interfering with navigation and migration.

The applicant thoughtfully responded to the Commission's light trespass concerns by revising the design of the building elevations to add wood screens to the glazing on the third floor at the south, east, and north elevations. In addition, the applicant has responded that a film will be added to the glazing to further reduce light trespass. Staff recommends the Commission add a condition of approval requiring the applicant to submit specifications for the glass film that will be applied to the glazed surfaces for review and approval by Planning staff prior to issuance of building permit (see recommended condition no. 3 in section IV of the staff report).

Lot Consolidation Subdivision Preliminary Plat & Waiver Request

The project proposes consolidating two lots within block 91 of Ketchum's original townsite. During department review, staff reviewed the Lot Consolidation Subdivision Preliminary Plat Application and Waiver Requests for conformance with the procedure for preliminary plat approval (KMC §16.04.030.C), lot consolidation standards (KMC §16.04.030.C.1a), preliminary plat content requirements (KMC §16.04.030.J), and subdivision development and design standards (KMC §16.04.040). Please see Attachment D4 for staff's evaluation of the project's conformance with subdivision regulations.

Waiver Requests x2

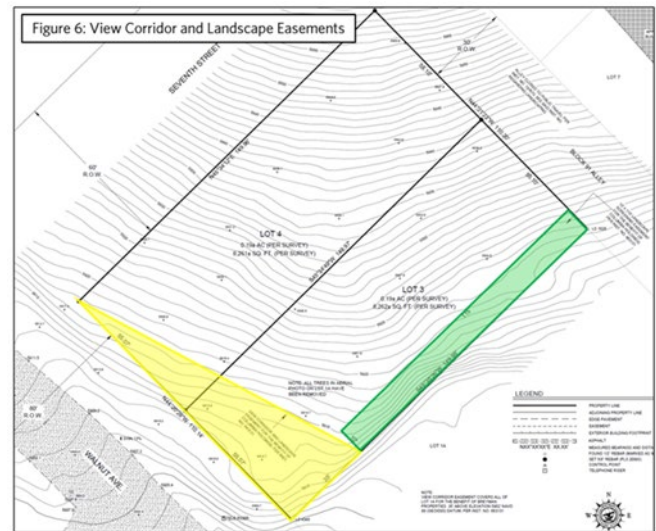
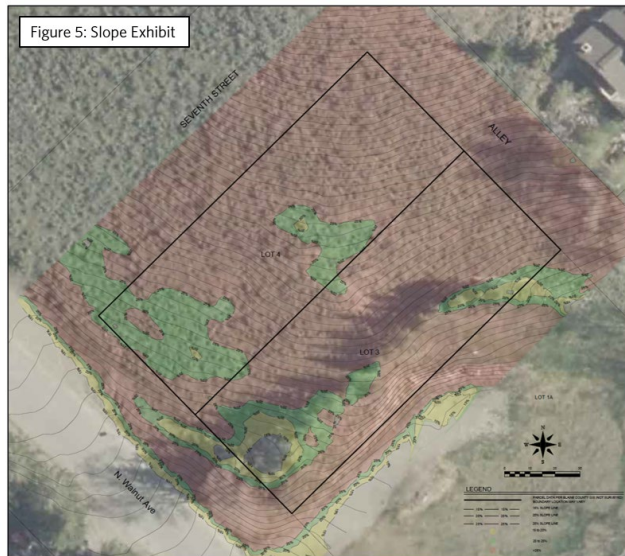
Lot consolidations are permitted in the LR Zone subject to a waiver pursuant to KMC §16.04.030.C1a. Staff believes the project complies with all lot consolidation standards and waiver requirements. Building envelopes are required to be established on lots that contain areas of 25% or greater slope based on natural contours. These building envelopes must be established outside of hillsides with 25% and greater slope (KMC §16.04.040.F2) unless the request qualifies for one of two waivers outlined in the subdivision code. The application qualifies for the first waiver outlined in KMC §16.04.040.F2.a, which states a waiver may be considered, "for lot line shifts of parcels that are entirely within slopes of 25% or greater to create a reasonable building envelope, and mountain overlay design review standards and all other City requirements are met."

KMC §16.04.130A provides the following general requirements for waivers:

Waiver of any of the requirements of this chapter may be granted by the council on a case by case basis upon the recommendation of the commission. Application for such waiver(s) must be in writing and must show that there are special physical characteristics or conditions affecting the property in question where literal enforcement of this chapter would result in undue hardship not the result of actions by the subdivider, and that the waiver would not be detrimental to the public welfare, health and safety, nor injurious to property owners in the immediate area.

The subject property is characterized by a steep slope and easements that constrain development potential. The slope exhibit in Figure 5 shows the subject property with areas of 25% and greater slope in red, areas of 20% slope in green, and areas of 15% slope in yellow. Most of the subject

property contains hillsides of 25% and greater slope. The subject property is constrained by a view corridor and landscape easement (recorded as Instrument No. 663131) that benefits the adjacent property to the south along Walnut Avenue (see Figure 6). The view corridor easement highlighted in yellow in Figure 6 is intended to preserve the views from the adjacent property over the southwest side of the subject property. The landscape easement highlighted in green in Figure 6 is intended to provide screening for privacy. The Walnut Avenue public ROW between 6th and 9th streets is substandard and does not conform to city ROW standards for width or grade. Staff believe these characteristics of the subject property justify the granting of the waiver requests.



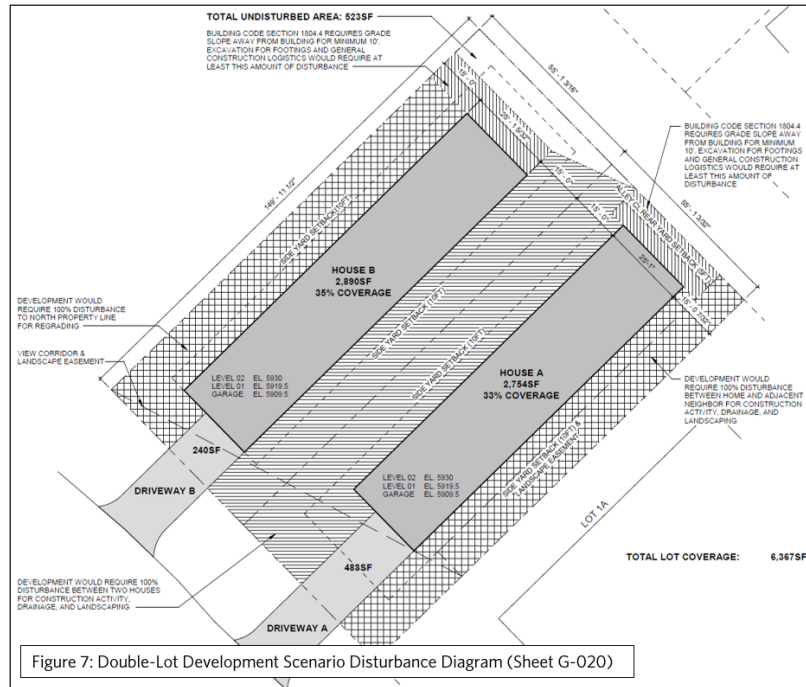
Lot Consolidation Standards

KMC §16.04.030.C4 requires that preliminary plat applications for lot consolidations must demonstrate conformance with:

- All applicable building permit and land use development approvals,
- All applicable zoning regulations in Title 17 of KMC, and
- General conformance with the comprehensive plan.

Standards for lot consolidations were first introduced in Ketchum through the adoption of Interim Ordinance 1234 in October 2022 and permanently added into the city's subdivision regulations through the adoption Ordinance 1249 in October 2023. These standards are intended to limit the loss of existing housing stock and preserve future housing opportunities on vacant lots. In addition, these standards promote the efficient use of land and infrastructure by encouraging infill development on vacant or underused parcels.

The proposed lot consolidation removes the opportunity to develop one single-family residence. While removing this housing opportunity, the lot consolidation helps reduce hillside disturbance compared to the disturbance that would be required to develop one housing unit on each of the two lots. As shown in Figure 7, the lot disturbance diagrams on sheet G-020 of the project plans show that the total undisturbed area in the two-lot development scenario is 523 square feet, which is 69% less than the 1,710 square feet that is proposed to be undisturbed with the proposed project on the consolidated parcel.



The Knob Hill Residence proposal presents benefits and trade-offs related to three core values identified in the 2014 Plan—community character, a variety of housing options, and environmental quality and scenic beauty. The 2014 Plan states that providing a variety of housing choices, both for the year-round workforce and second homes for seasonal residents, is critical to maintain Ketchum’s strong economy and diverse demographic of residents (page 9). Policy H-3.1 encourages a mixture of housing types with varied price ranges and densities that meet a variety of needs (page 21). Our surrounding undeveloped hillsides and open spaces are an integral part of Ketchum’s character. The 2014 Plan states, “Protecting and enhancing the visual character of our community gateways, the undeveloped hillsides, and night skies is a priority” (page 9). 2014 Plan goals and policies promote protecting hillsides from further development and encourage the strengthening of Mountain Overlay standards.

The proposal to develop one single-family home on the consolidate townsite lots reduces the amount of hillside disturbance but also removes the potential to develop one additional housing unit. The project is compatible with adjacent developments in the surrounding neighborhood. Many existing homes in the Knob Hill neighborhood are located on consolidated townsite lots (see Figure 8). Staff believes the benefits of reducing hillside disturbance and the project’s compatibility with the surrounding Knob Hill neighborhood outweigh the loss of one additional housing unit.



IV. STAFF RECOMMENDATION

As conditioned, Staff believes the project complies with all zoning code requirements, MO Design Review standards, and subdivision regulations. Staff recommends the Commission approve the Knob Hill Residence Mo Design Review Application and recommend approval of the Lot Consolidation Subdivision Preliminary Plat Application and Waiver Requests to the City Council subject to conditions.

Recommended Motions

- "I move to approve the Knob Hill Residence Mountain Overlay Design Review Application subject to conditions 1 through 10 and direct staff to return with draft findings of fact."
- "I move to recommend approval of the Knob Hill Residence Lot Consolidation Subdivision Preliminary Plat Application and Waiver Requests to the City Council subject to conditions 1 through 3 and direct staff to return with draft findings of fact."

Recommended Conditions

Mountain Overlay Design Review Recommended Conditions

1. This MO Design Review approval is based on the plans dated June 13, 2025 and information presented and approved by the Planning and Zoning Commission on August 18, 2025 included as Exhibit A. The building permit plans must conform to the approved MO Design Review plans unless otherwise approved in writing by the Planning and Zoning Commission or Administrator. Any building or site discrepancies which do not conform to the approved plans will be subject to removal.
2. This MO Design Review approval is subject to Lot Consolidation Subdivision Preliminary Plat Application File No. P25-016A and associated Waiver Requests.
3. The applicant shall submit specifications for the glass film that will be applied to the glazing to reduce the light transmittance of the glazing for review and approval by Planning staff at time of building permit. The glass film application on the glazed surfaces shall be inspected and approved by Planning staff prior to issuance of a Certificate of Occupancy for the project.
4. The limits of disturbance shall be established on the construction activity plan submitted at time of building permit and protected by fencing for the duration of construction.
5. The applicant shall submit written confirmation from a geotechnical engineer licensed in the State of Idaho verifying that drilling/blasting is not required for excavation/construction at time of building permit. If the geotechnical engineer determines that drilling/blasting is required, the applicant shall submit a detailed plan and schedule for the drilling/blasting as part of the construction activity plan. This plan must minimize impacts on the surrounding neighborhood to the greatest extent practicable.
6. The applicant shall submit the following information at time of building permit for review and approval by the City Engineer:
 - a. Infiltration tests at the bottom of drywell locations.
 - b. Calculations that include offsite drainage contributions, identify drainage basins, and demonstrate that post-development discharge to the ROW does not exceed pre-development discharge using 50% of the measured infiltration rates.
 - c. Verification that the drywell on 5th Street has additional capacity for the post-development discharge. Modifications to the existing drywell on 5th Street or an additional drywell may be required.

7. The applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for all right-of-way improvements, including drainage facilities, for final review and approval by the City Engineer at time of building permit.
8. The project requires a Right-of-Way Encroachment Permit approved by City Council for the driveway snowmelt system. The applicant shall submit the Right-of-Way Encroachment Permit application for review by the City Engineer, Streets Department, and Planning Department at time of building permit. The associated ROW Encroachment Agreement must be reviewed and approved by City Council, signed, and recorded prior to issuance of building permit.
9. The term of Design Review approval shall be twelve (12) months from the date that the Findings of Fact, Conclusions of Law, and Decision are adopted by the Planning and Zoning Commission or upon appeal, the date the approval is granted by the Council subject to changes in zoning regulations (KMC §17.96.090). Any extension shall comply with KMC §17.96.090.
10. In addition to the requirements set forth in this Design Review approval, this project shall comply with all applicable local, state, and federal laws.

Lot Consolidation Subdivision Preliminary Plat & Waiver Request Recommended Conditions

1. This Lot Consolidation Subdivision Preliminary Plat with Waiver Requests approval is subject to Mountain Overlay Design Review Application File No. P25-016.
2. As required by KMC 16.04.030.I, the applicant shall obtain final plat approval within two years of City Council's approval of the preliminary plat. If final plat approval is not obtained within this timeframe, the preliminary plat approval shall become null and void.
3. The lot consolidation subdivision final plat shall not be signed by the City Clerk or recorded until a building permit is issued for the Knob Hill Residence development pursuant to KMC §16.04.030.G.

ATTACHMENTS:

- A. MO Design Review Submittal: Project Plan Set
- B. MO Design Review Application & Supplemental Materials
- C. Lot Consolidation Submittal: Subdivision Preliminary Plat Application & Waiver Requests
- D. Staff Analysis:
 1. Zoning & LR Dimensional Standards Evaluation
 2. Mountain Overlay Design Review Standards Analysis
 3. Design Review Standards Analysis
 4. Lot Consolidation Subdivision Preliminary Plat Standards & Waiver Requirements Evaluation

Attachment A

MO Design Review Submittal:
Project Plan Set



NOB HILL RESIDENCE

MODR APPLICATION / 06.13.2025

NOB HILL RESIDENCE

OWNER:

NOB HILL PROPERTIES, LLC
P.O. BOX 14001-174
KETCHUM, ID 83340

PROJECT ARCHITECT:

RO | ROCKETT DESIGN
1306 BRIDGEWAY, FLOOR 2
SAUSALITO, CA 94965
TEL: 415.289.0830

SURVEYOR:

GALENA-BENCHMARK ENGINEERING
P.O. BOX 733 - 100 BELL DRIVE
KETCHUM, ID 83340
TEL: 208.726.9512

GEOTECHNICAL ENGINEER:

BUTLER ASSOCIATES, INC.
P.O. BOX 1034
KETCHUM, ID 83340
TEL: 208.720.6432

CIVIL ENGINEER:

GALENA-BENCHMARK ENGINEERING
P.O. BOX 733 - 100 BELL DRIVE
KETCHUM, ID 83340
TEL: 208.726.9512

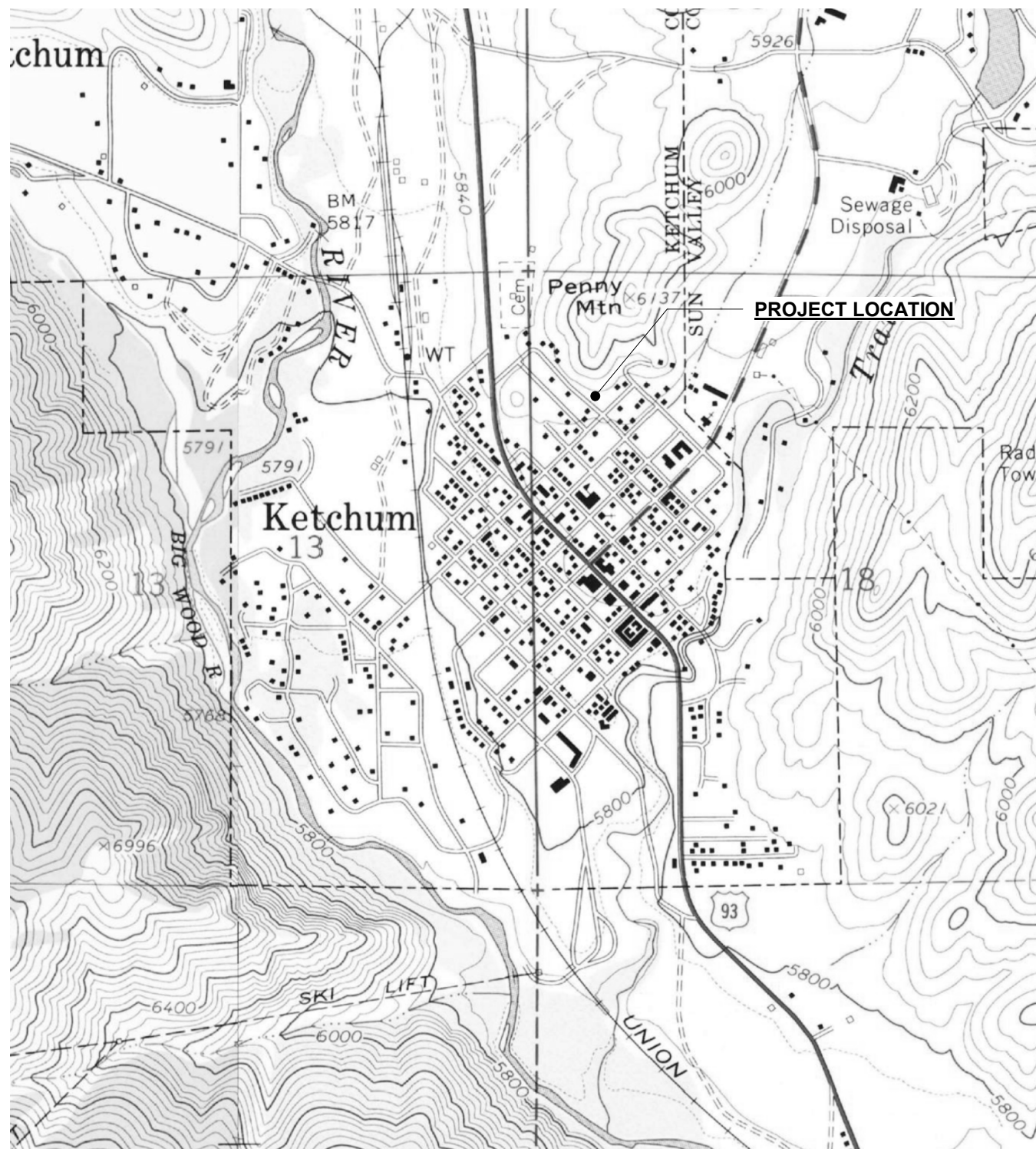
LANDSCAPE ARCHITECT:

FIELD STUDIO
722 N ROUSE AVE
BOZEMAN, MT 59715
TEL: 406.551.2098

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RO|ROCKETT DESIGN and/or its principals and employees waives any and all liability or responsibility for problems that may occur when these plans, drawings, specifications, and/or designs are followed without the designer's guidance with ambiguities, or conflicts which are alleged.

SEAL:



1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DRAWINGS, CALCULATIONS, GOVERNMENTAL AGENCY APPROVALS AND FEES TO COMPLETE THIS WORK. CONTRACTOR/SUBCONTRACTORS SHALL SUBMIT MECHANICAL, ELECTRICAL, COMMUNICATIONS AND PLUMBING DRAWINGS TO RO ROCKETT DESIGN FOR PREVIEW OF DEVICE TYPES, LOCATIONS AND QUANTITIES, HVAC ZONING/THERMOSTAT LOCATIONS, ETC. PRIOR TO SUBMITTING FOR PERMIT AND CONSTRUCTION.
2. THESE DOCUMENTS ARE INTENDED TO INCLUDE ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES REQUIRED TO COMPLETE ALL WORK DESCRIBED HEREIN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BRING TO THE ATTENTION OF THE ARCHITECT ANY CONDITIONS WHICH WILL NOT PERMIT CONSTRUCTION ACCORDING TO THE INTENTIONS OF THESE DOCUMENTS. IT IS THE RESPONSIBILITY OF THE ARCHITECT TO PROVIDE DETAILS AND/OR DIRECTIONS REGARDING DESIGN INTENT WHERE IT IS ALTERED BY EXISTING CONDITIONS OR WHERE NEGLECTED IN THE DOCUMENTS.
3. ANY MATERIALS PROPOSED FOR SUBSTITUTION OF THOSE SPECIFIED, OR CALLED OUT BY TRADE NAME, IN THESE DOCUMENTS SHALL BE PRESENTED TO THE ARCHITECT FOR REVIEW. THE CONTRACTOR SHALL SUBMIT SAMPLES WHEN REQUIRED BY THE ARCHITECT, AND ALL SUCH SAMPLES SHALL BE REVIEWED BY THE ARCHITECT BEFORE THE WORK IS PERFORMED. WORK MUST CONFORM TO THE REVIEWED SAMPLES. ANY WORK WHICH DOES NOT CONFORM SHALL BE REMOVED AND REPLACE WITH WORK WHICH CONFORMS AT THE CONTRACTOR'S EXPENSE. SUBCONTRACTORS SHALL SUBMIT REQUESTS AND SAMPLES FOR REVIEW THROUGH THE GENERAL CONTRACTOR WHEN WORK IS LET THROUGH HIM OR HER. REQUIRED VERIFICATIONS AND SUBMITTALS TO BE MADE IN ADEQUATE TIME AS NOT TO DELAY WORK IN PROGRESS.
4. SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR HIS OR HER REVIEW WHERE CALLED FOR ANYWHERE IN THESE DOCUMENTS. REVIEW SHALL BE MADE BY THE ARCHITECT BEFORE WORK IS BEGUN, AND WORK SHALL CONFORM TO THE REVIEWED SHOP DRAWINGS. SUBJECT TO REPLACEMENT AS REQUIRED IN PARAGRAPH "E" ABOVE.
5. DO NOT SCALE DRAWINGS. CONTRACTOR SHALL VERIFY ALL DIMENSIONAL DISCREPANCIES WITH THE ARCHITECT.
6. CONTRACTOR SHALL VERIFY AND COORDINATE ALL OPENINGS THROUGH FLOORS, CEILINGS, AND WALLS WITH ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS.
7. CONTRACTOR WILL ASSUME RESPONSIBILITY OF ITEMS REQUIRING COORDINATION AND RESOLUTION DURING THE BIDDING PROCESS.
8. BUILDING TO BE FULLY SPRINKLERED PER NFPA 13D. CONTRACTOR TO PROVIDE FIRE SPRINKLER SYSTEM DESIGN AND SHOP DRAWINGS TO CONFORM TO THESE STANDARDS.
9. USGS ELEVATION 5,918'-0" IS EQUIVALENT TO +100'-0" AS NOTED IN ALL ARCHITECTURAL & CONSULTANT DRAWINGS, U.N.O.

DESCRIPTION

NEW SINGLE FAMILY RESIDENCE ON AN UNIMPROVED SITE

PROJECT ADDRESS

LOT 384, BLOCK 91

LEGAL DESCRIPTION

KETCHUM LOT 3 BLOCK 91, PARCEL NUMBER: RPK00000910030 & KETCHUM LOT 4 BLOCK 91, PARCEL NUMBER: RPK0000091004A CITY OF KETCHUM, BLAIN COUNTY, IDAHO, 83340

CURRENT CODE

2018 INTERNATIONAL BUILDING CODE*
2018 INTERNATIONAL RESIDENTIAL CODE*
2018 INTERNATIONAL ENERGY CONSERVATION CODE*
2018 INTERNATIONAL FIRE CODE WITH LOCAL AMENDMENTS*
2018 INTERNATIONAL SWIMMING POOL AND SPA CODE
2018 INTERNATIONAL EXISTING BUILDING CODE
2018 INTERNATIONAL PROPERTY MAINTENANCE CODE

TITLE 15 KETCHUM MUNICIPAL CODE
NATIONAL GREEN BUILDING STANDARD [SILVER CERTIFICATION]
APPENDIX M OF THE IBC AS AMENDED BY THE CITY OF KETCHUM
ALL APPLICABLE COUNTY ORDINANCES

*AS AMENDED BY THE IDAHO BUILDING CODE BOARD AND INCLUDING NOTED APPENDICES.

PROJECT INFORMATION

PARCEL IDENTIFICATION #: RPK00000910030 & RPK0000091004A
LOT AREA: LOT 3=8,262SF(.19AC), LOT 4=8,261SF(.19AC), COMBINED=16,523SF(.38AC)
ZONING DISTRICT: LR
OVERLAY DISTRICT:MOUNTAIN
TYPE OF CONSTRUCTION: NEW, TYPE V
ANTICIPATED USE: SINGLE FAMILY RESIDENTIAL
NO. RESIDENTIAL UNITS: 1

REQUIRED SETBACKS

FRONT YARD: 15'-0", 34'-7" PROPOSED
REAR YARD: 5'-0", 20'-2" PROPOSED
SIDE YARD: 10'-0", 20'-0" PROPOSED

MAXIMUM BUILDING HEIGHT

35'-0"/PROPERTIES WHICH STEP UP OR DOWN HILLSIDES MAY EXTEND 5FT ABOVE THE MAX HEIGHT.)
33'-6" PROPOSED(38'-6" OVERALL STEPPING UP HILLSIDE)

MAXIMUM BUILDING COVERAGE

35%, 29% PROPOSED (4,775SF / 16,523SF)

OFF-STREET PARKING

PARKING SPACES PROVIDED: 2 (9' X 18' PER STALL)
CURB CUT: 35% MAXIMUM, 18% PROPOSED(20'-0" DRIVEWAY/110'-0" FRONTAGE)

3 NTS VICINITY MAP

2 NTS PROJECT NOTES

1 NTS PROJECT DATA

PROJECT NUMBER

2204

DRAWING TITLE:

COVER SHEET


DRAWING NUMBER:

G-000

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LEGEND

ISSUED 

REVISED/ REISSUED

OMITTED

| | | |
|-----------|-----------------------------|-----|
| 1-GENERAL | | |
| G-000 | COVER SHEET | ● ● |
| G-001 | SHEET INDEX | ● ● |
| G-010 | FAR & LOT COVERAGE SUMMARY | ● ● |
| G-011 | BUILDING HEIGHT | ● ● |
| G-012 | AVERAGE GRADE PLANE DIAGRAM | ● |
| G-020 | LOT DISTURBANCE DIAGRAMS | ● ● |
| G-021 | MATERIAL PALETTE | ● |
| G-022 | RENDERED PERSPECTIVES | ● ● |
| G-023 | RENDERED ELEVATIONS | ● ● |
| G-024 | RENDERED ELEVATIONS | ● ● |
| G-025 | PHOTOGRAPHY EXHIBITS | ● |

| | | |
|----------|-------------------------|-----|
| 2-SURVEY | | |
| 1 OF 1 | TOPOGRAPHIC SURVEY | ● ● |
| 1 OF 1. | SLOPE EXHIBIT WORKSHEET | ● ○ |

| | | |
|---------|----------------------------------|-----|
| 3-CIVIL | | |
| C-1.0 | GRADING, DRAINAGE & UTILITY PLAN | • • |
| C-1.1 | DETAIL SHEET | • • |
| EXH | DRIVEWAY EXHIBIT | • • |

| 4-LANDSCAPE | | |
|-------------|---------------------------|-----|
| L-0.00 | OVERALL SITE PLAN | ● ○ |
| L-1.00 | LAYOUT AND MATERIALS PLAN | ● ○ |
| L-2.00 | GRADING AND DRAINAGE PLAN | ● ○ |
| L-5.00 | PLANTING PLAN | ● ○ |

| 5-ARCHITECTURAL | | |
|-----------------|---------------------------------------|-----|
| A-100 | SITE PLAN | ● ● |
| A-101 | SITE PLAN / EXTERIOR LIGHTING & POWER | ● |
| A-102 | REFERENCE PLAN / LEVEL 01 | ● ● |
| A-103 | REFERENCE PLAN / LEVEL 02 | ● ● |
| A-104 | REFERENCE PLAN / LEVEL 03 | ● ● |
| A-105 | REFERENCE PLAN / ROOF | ● |

| | | |
|--------------|-----------------------|---|
| 9-ELECTRICAL | | |
| E-108 | PHOTOMETRIC PLAN | • |
| E-109 | PHOTOMETRIC CUTSHEETS | • |
| E-110 | PHOTOMETRIC CUTSHEETS | • |

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PROJECT:

Knob Hill Residence

LOT 3 & 4, BLOCK 91

PROJECT NUMBER

2204

DRAWING TITLE:

SHEET INDEX

DRAWING NUMBER:

G-001

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PROPOSED LOT COVERAGE CALCULATIONS

LOT AREA(PER SURVEY): 0.38 ACRES(16,523 SF)
PERMISSIBLE BUILDING COVERAGE(35% OF LOT AREA): 0.13 ACRES(5,783 SF)

BUILDING COVERAGE 4775 SF **COMPLIES**
(20% COVERAGE)

KNOB HILL RESIDENCE

OWNER:

KNOB HILL PROPERTIES, LLC
P.O. BOX 14001-174
KETCHUM, ID 83340

PROJECT ARCHITECT:

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LANDSCAPE ARCHITECT:

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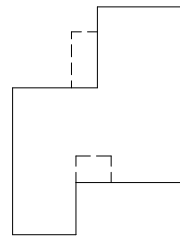
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LOT 3 & 4, BLOCK 91



PROJECT NUMBER

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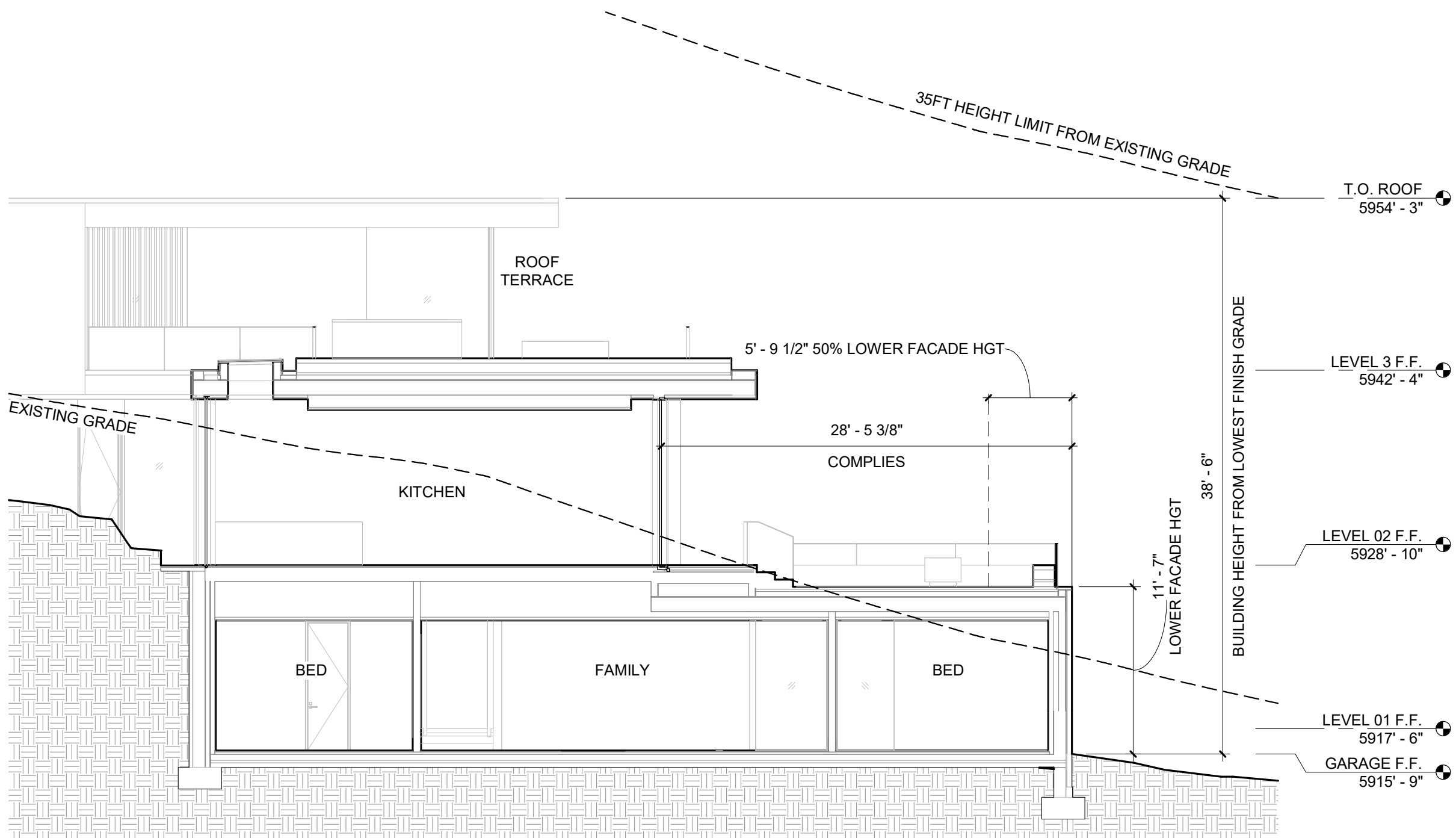
FAR & LOT COVERAGE SUMMARY

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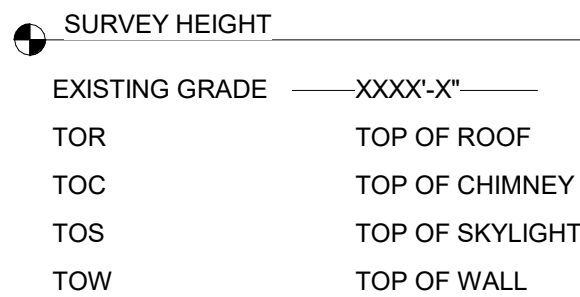
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| | | |
|---|--------------|--------------------------------|
| 2 | 1/8" = 1'-0" | BUILDING HEIGHT SECTION |
|---|--------------|--------------------------------|



BUILDING HEIGHT NOTES:

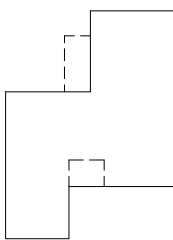
1. SEE LANDSCAPE DRAWINGS FOR EXISTING & NEW TREE LOCATIONS.
2. SEE CIVIL DRAWINGS FOR DRIVEWAY LAYOUT, PROFILE & SITE DRAINAGE INFORMATION.
3. SEE A-100 FOR ARCHITECTURAL SITE PLAN.
4. ALL ROOFING TO BE A CLASS 'A' NON-COMBUSTIBLE FLAT ROOF ASSEMBLY.
5. BUILDING ELEVATION 100'-0" = +5.917'-6" USGS.
6. ALL TOP OF ROOF ELEVATIONS LOCATED TO THE HIGHEST POINT OF THE ROOF STRUCTURE, WITH ROOF ASSEMBLY SLOPING INWARDS TOWARDS INTERNAL ROOF DRAINS, WITH THE EXCEPTION OF THE T.O. SKYLIGHTS AS NOTED.

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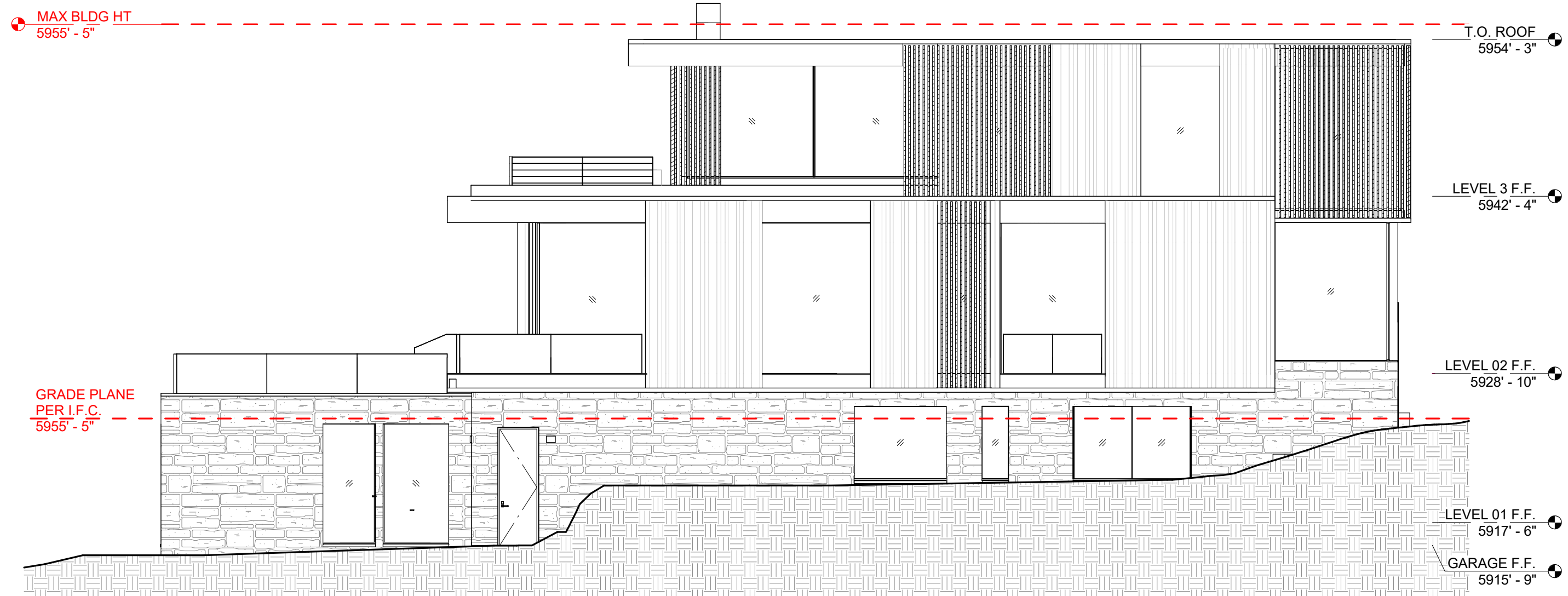


BUILDING HEIGHT

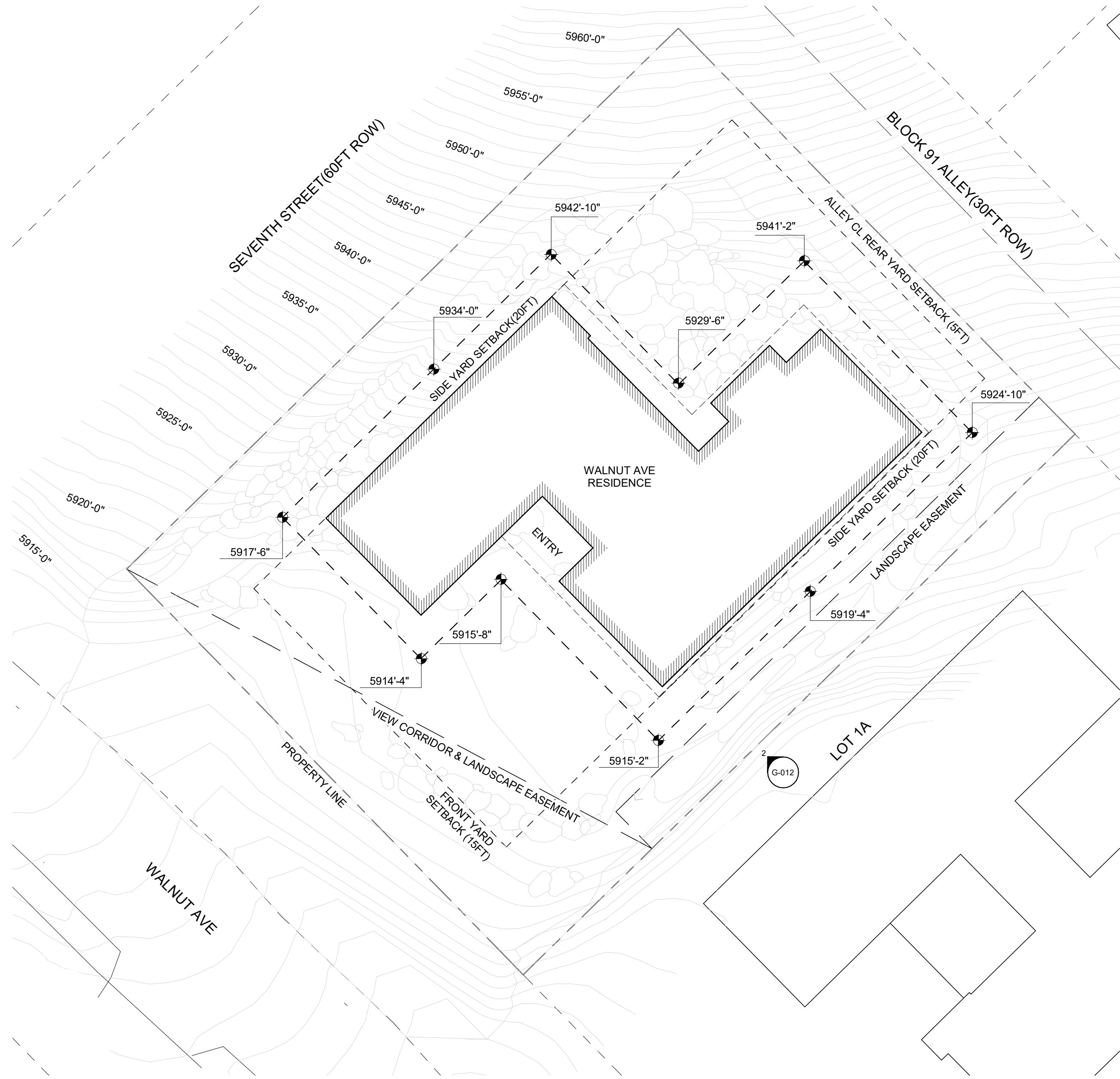
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2 1/8" = 1'-0" GRADE PLANE ELEVATION / EAST



INTERNATIONAL FIRE CODE (IFC) 2018
CHAPTER 2: DEFINITIONS

GRADE PLANE: A REFERENCE PLANE REPRESENTING THE AVERAGE OF FINISHED GROUND LEVEL ADJOINING THE BUILDING AT EXTERIOR WALLS. WHERE THE FINISHED GROUND LEVEL SLOPES AWAY FROM THE EXTERIOR WALLS, THE REFERENCE PLANE SHALL BE ESTABLISHED BY THE LOWEST POINT WITHIN THE AREA BETWEEN THE LOT LINE, OR WHERE THE LOT LINE IS MORE THAN 6' FROM THE BUILDING, BETWEEN THE BUILDING AND A POINT 6 FEET FROM THE BUILDING.

INTERNATIONAL FIRE CODE (IFC) 2018
SECTION D105
AERIAL FIRE APPARATUS ACCESS ROADS

D105.1 WHERE REQUIRED

WHERE THE VERTICAL DISTANCE BETWEEN THE GRADE PLANE AND THE HIGHEST ROOF SURFACE EXCEEDS 30 FEET (9144 MM), APPROVED AERIAL FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED. FOR PURPOSES OF THIS SECTION, THE HIGHEST ROOF SURFACE SHALL BE DETERMINED BY MEASUREMENT TO THE EAVE OF A PITCHED ROOF, THE INTERSECTION OF THE ROOF TO THE EXTERIOR WALL, OR THE TOP OF PARAPET WALLS, WHICHEVER IS GREATER.

MAIN HOUSE GRADE PLANE ELEVATION:

5917' - 6"
+ 5934' - 0"
+ 5942' - 10"
+ 5929' - 6"
+ 5941' - 2"
+ 5924' - 10"
+ 5919' - 4"
+ 5915' - 2"
+ 5915' - 8"
+ 5914' - 4"

/ 10

= 5,925' 5"

+ 30'

MAX BLDG HEIGHT = 5,955' 5"

*TO AVOID AERIAL APPARATUS

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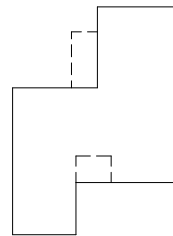
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LOT 3 & 4, BLOCK 91



PROJECT NUMBER

2204

DRAWING TITLE:

**AVERAGE GRADE PLANE
DIAGRAM**

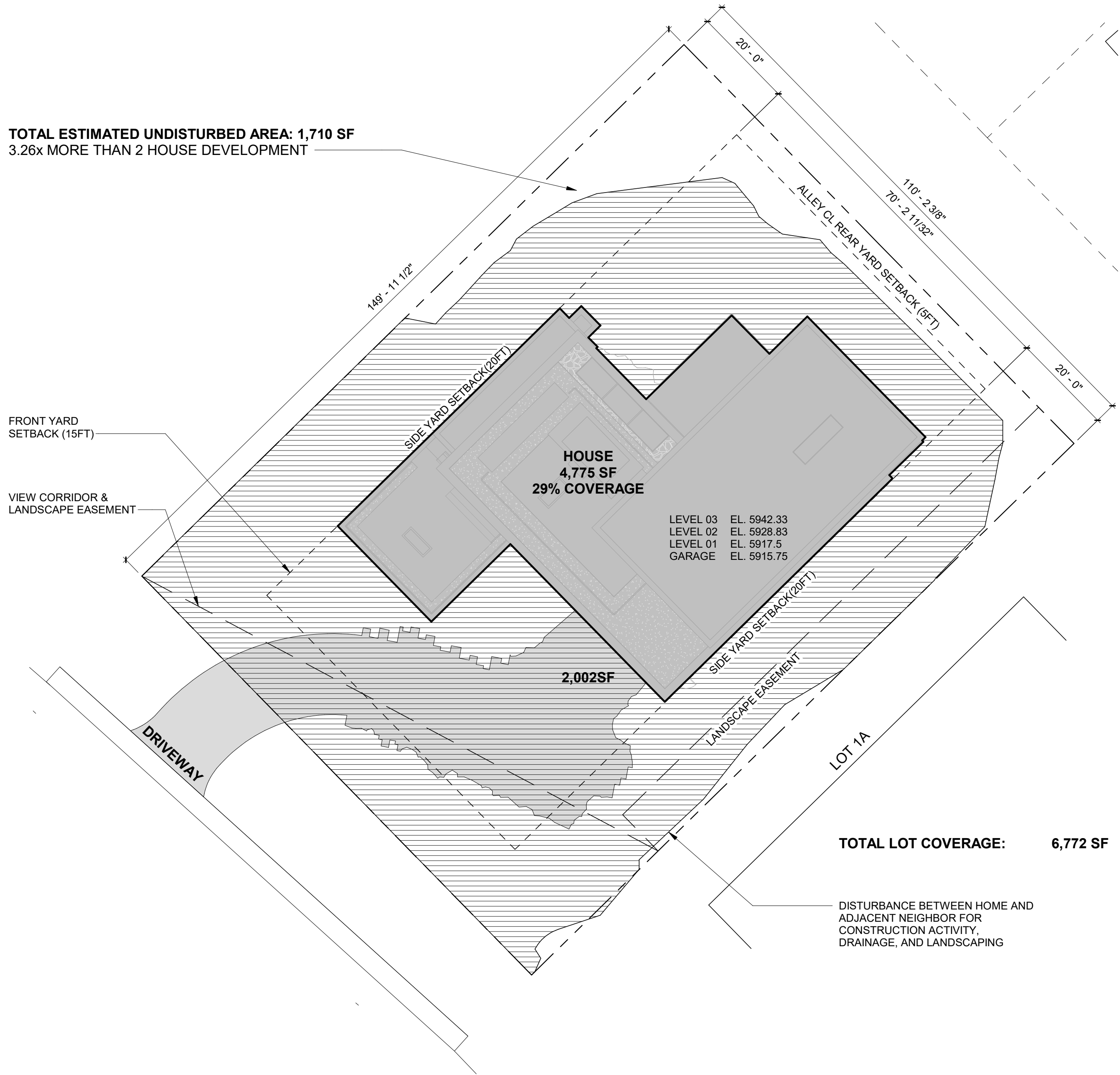
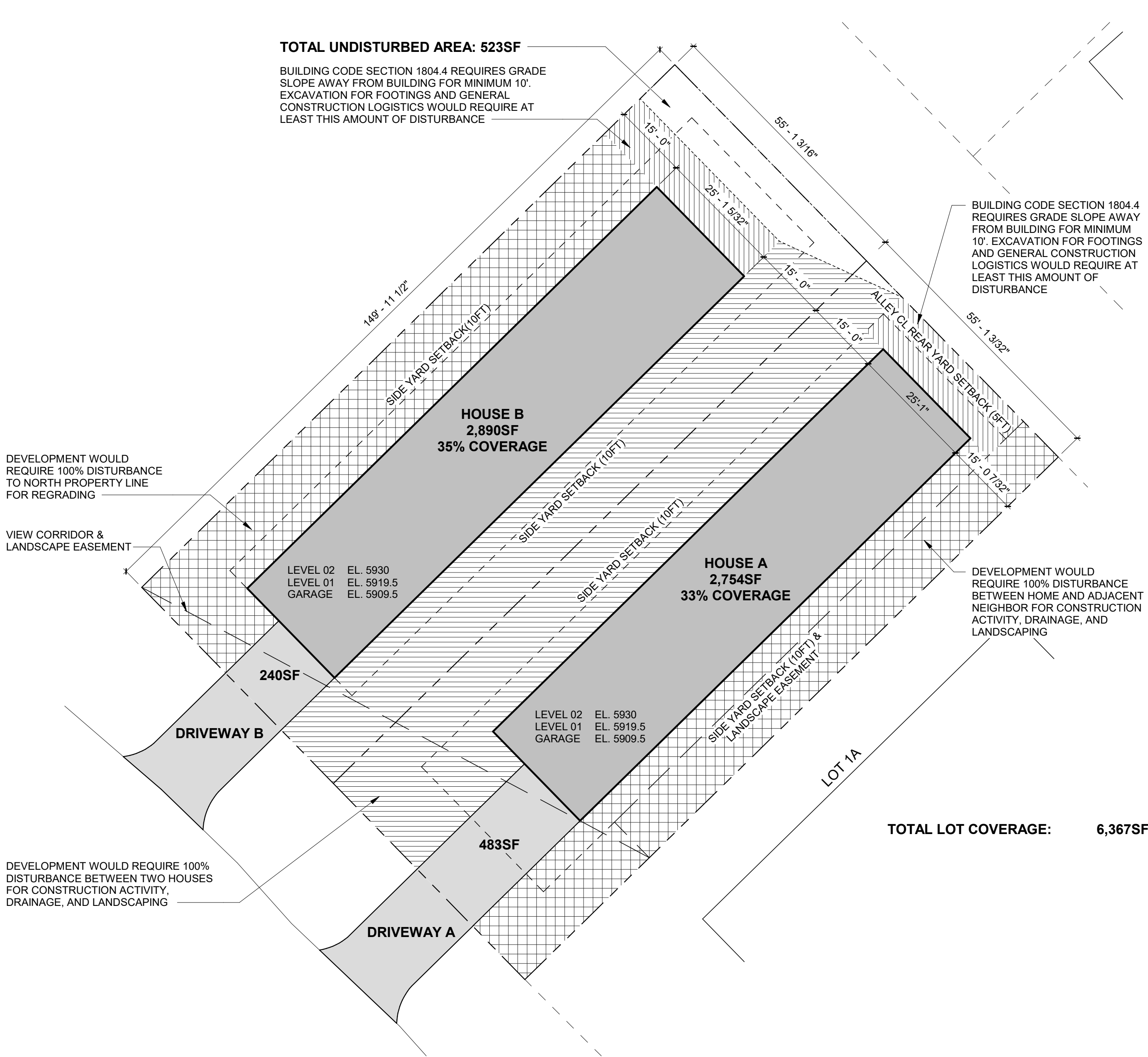
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1 1/16" = 1'-0" GRADE PLANE CALCULATION



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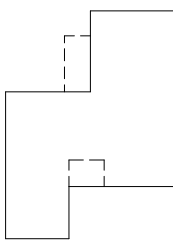
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LOT 3 & 4, BLOCK 91



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DRAWING TITLE:








LOT DISTURBANCE
DIAGRAMS

DRAWING NUMBER:

G-020

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| | | | |
|---|--|---|---|
| | | | |
| |  |  |  |
| | 6NTS[MTL-2] DARK METAL ELEMENTS, FASCIA, & NATIVE GREEN ROOF / MATTE DARK BRONZE | 4NTS[WD-2] MEDIUM-TONED / ACCOYA BARNWOOD / WOOD SOFFITS | 2NTS[STN-2] MEDIUM-TONED / NATURAL STONE PAVING / MOCCASIN SANDSTONE |
|  |  |  |  |
| 7NTS[MTL-3] METAL GUARDRAILS / MATTE DARK BRONZE | 5NTS[MTL-1] ALUMINUM WINDOWS & DOORS / PANORAMAH / BLACK ANODIZED | 3NTS[WD-1] MEDIUM-TONED / ACCOYA BARNWOOD / TIMBER ELEMENTS & WOOD CLADDING | 1NTS[STN-1] DARK-TONED / NATURAL STONE CLADDING / PRAIRIE FIELDSTONE |

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PROJECT:
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PROJECT NUMBER
2204

DRAWING TITLE:
MATERIAL PALETTE

DRAWING NUMBER:
G-021
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NOTE:
REFER TO G-110 MATERIAL PALETTE
FOR MATERIAL SPECIFICATIONS

2 NTS PERSPECTIVE / BIRD'S EYE



NOTE:
REFER TO G-110 MATERIAL PALETTE
FOR MATERIAL SPECIFICATIONS

1 NTS PERSPECTIVE / STREET VIEW

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DRAWING TITLE:

RENDERED PERSPECTIVES

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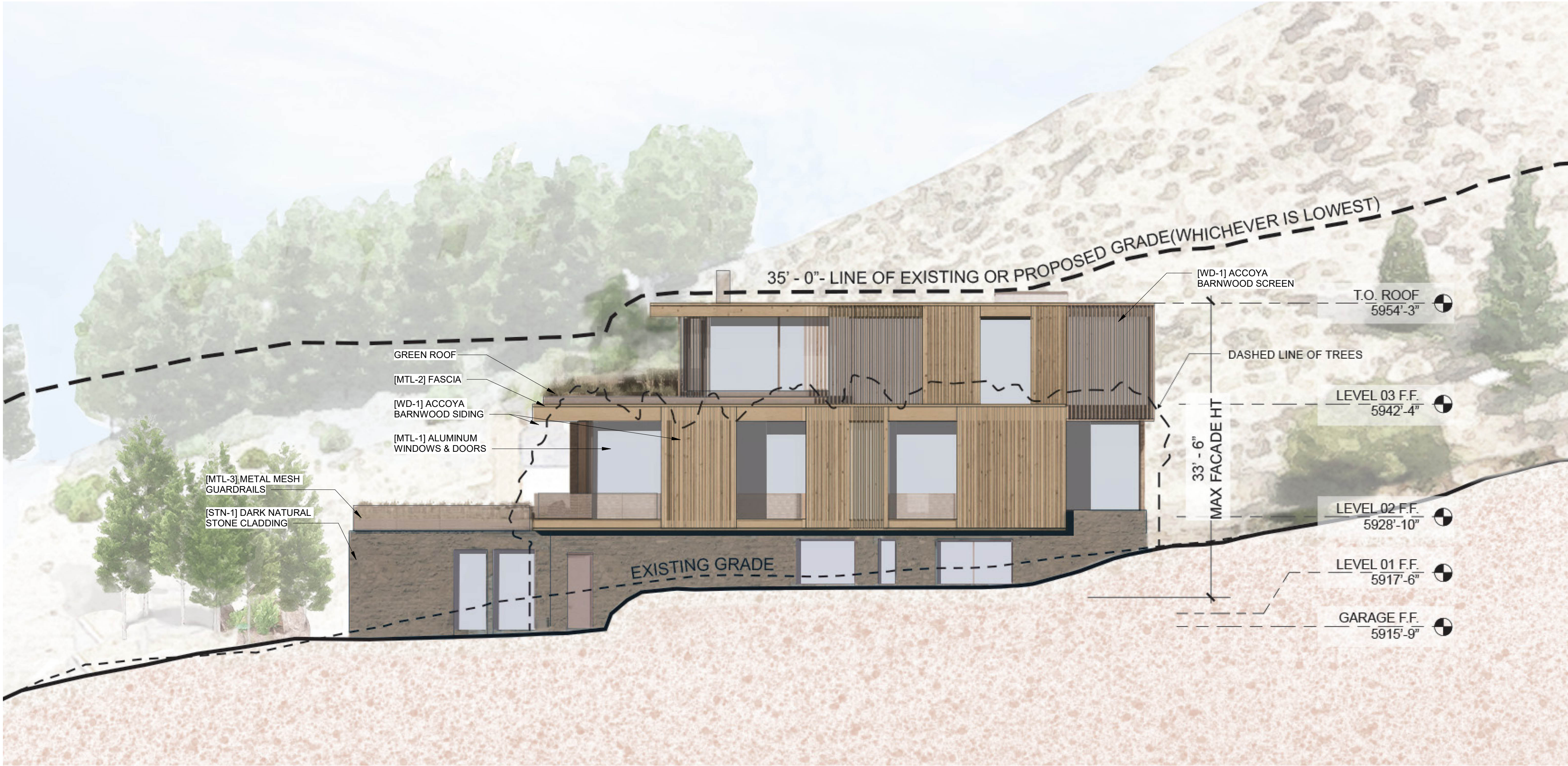
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NOTE:
REFER TO G-110 MATERIAL PALETTE
FOR MATERIAL SPECIFICATIONS

2 1/8" = 1'-0" ELEVATION / SOUTH



NOTE:
REFER TO G-110 MATERIAL PALETTE
FOR MATERIAL SPECIFICATIONS

1 1/8" = 1'-0" ELEVATION / EAST

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LOT 3 & 4, BLOCK 91

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RENDERED ELEVATIONS

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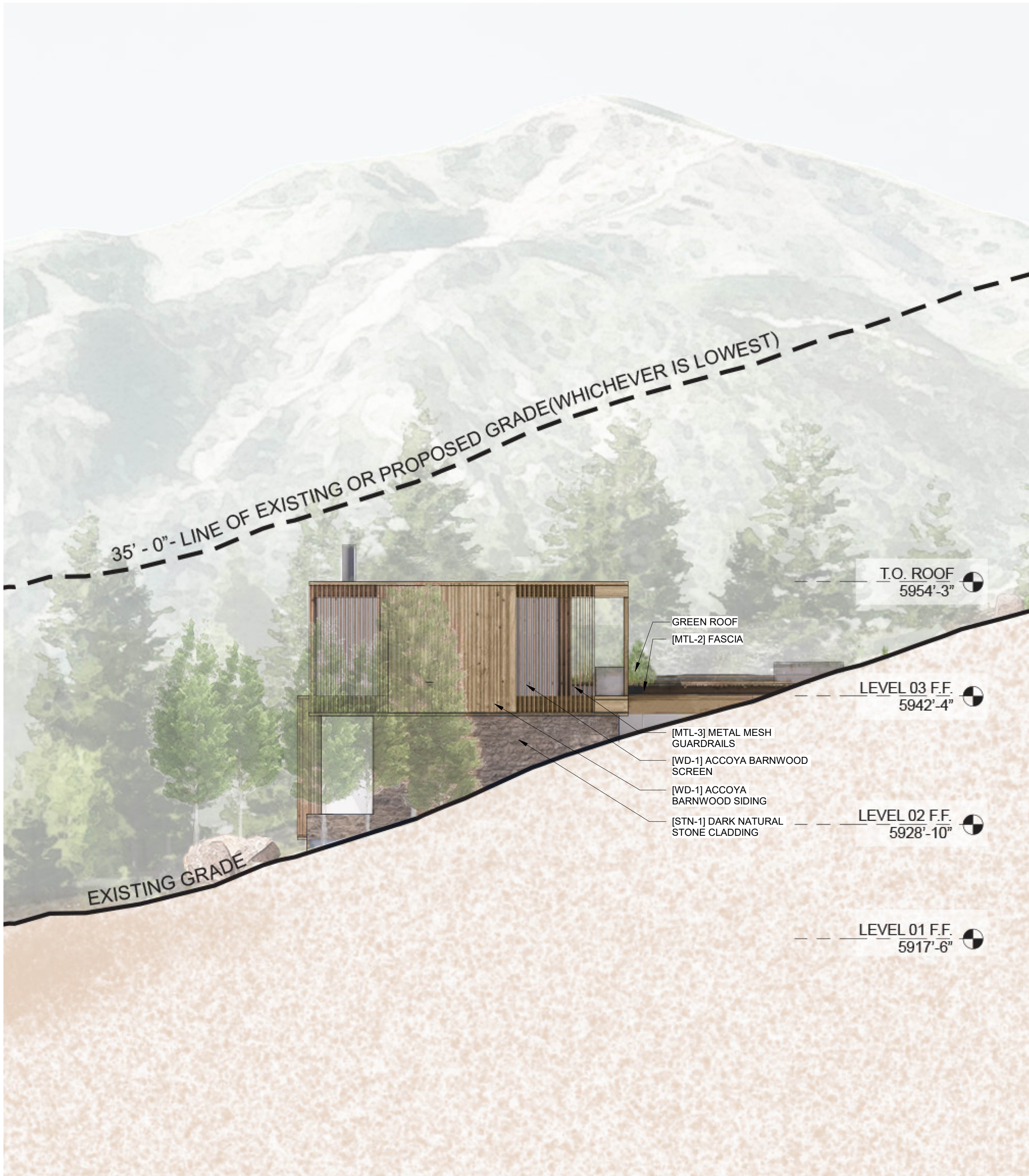
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NOTE:
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FOR MATERIAL SPECIFICATIONS



NOTE:
REFER TO G-110 MATERIAL PALETTE
FOR MATERIAL SPECIFICATIONS

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PROJECT:

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LOT 3 & 4, BLOCK 91

PROJECT NUMBER

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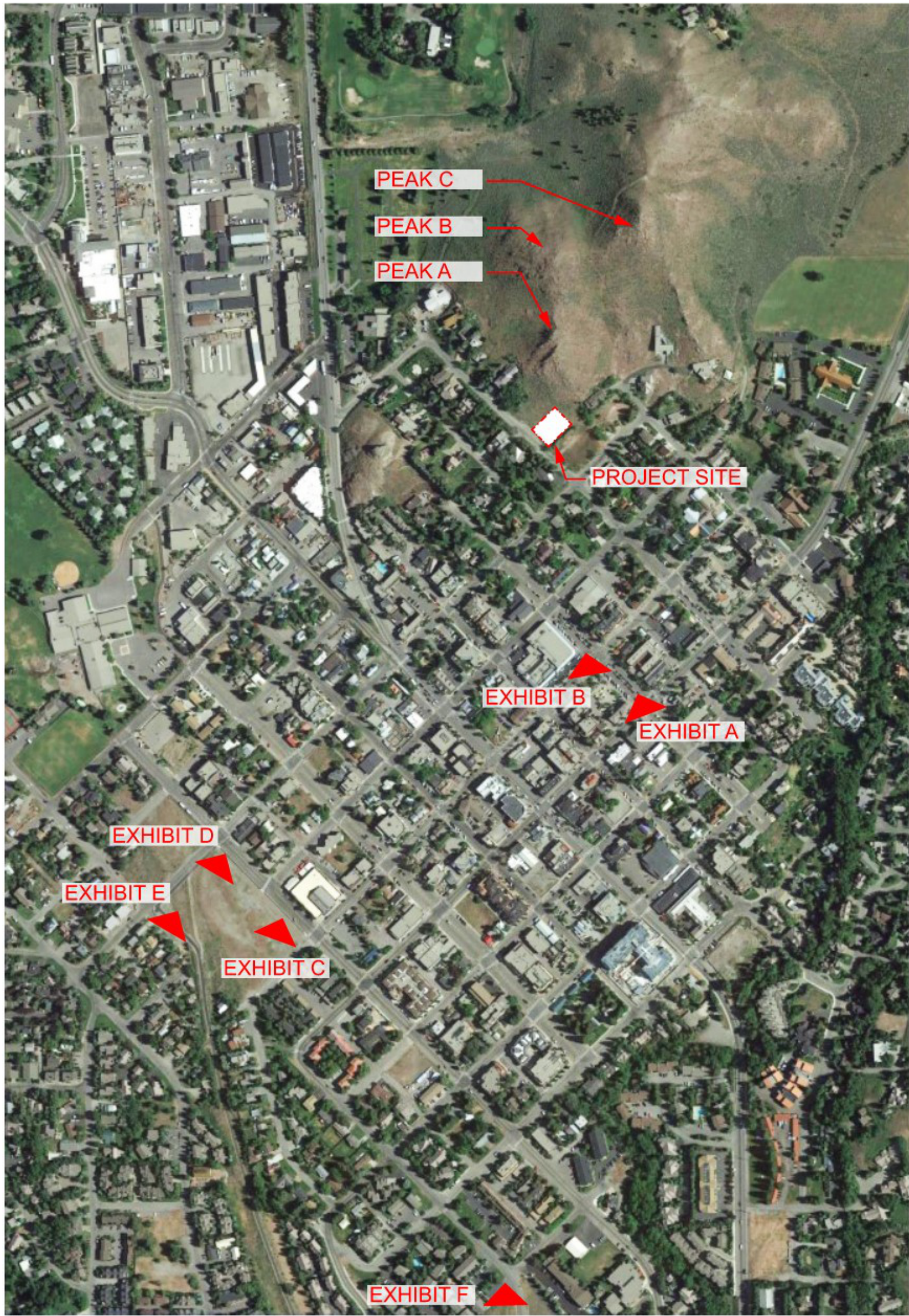
RENDERED ELEVATIONS

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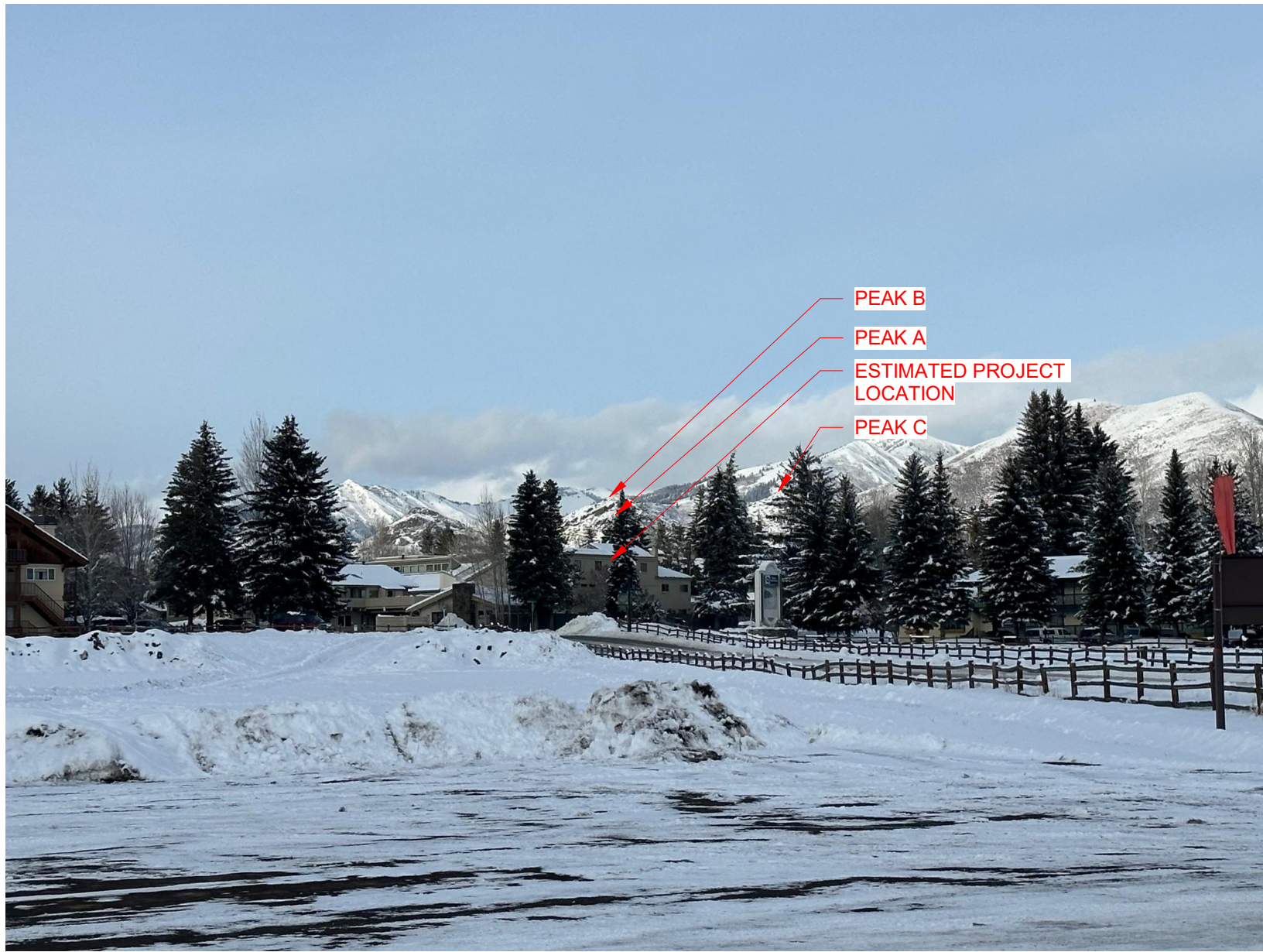
7 NTS EXHIBIT KEY MAP



5 NTS EXHIBIT E - VIEW FROM BIKE PATH NEAR 6TH STREET FURTHER VANTAGE



4 NTS EXHIBIT D - VIEW FROM BIKE PATH NEAR 6TH STREET



6 NTS EXHIBIT F - VIEW FROM RIVER RUN PARKING LOT



2 NTS EXHIBIT B - VIEW FROM TOWN SQUARE ICE CREAM SHED



1 NTS EXHIBIT A - VIEW FROM TOWN SQUARE STARBUCKS



3 NTS EXHIBIT C - VIEW FROM 6TH STREET GRAVEL BIKE PATH CONNECTOR

Knob Hill Residence

OWNER:
Knob Hill Properties, LLC
P.O. BOX 14001-174
KETCHUM, ID 83340

PROJECT ARCHITECT:
RO | Rockett Design
1306 Bridgeway, Floor 2
Sausalito, CA 94965
TEL: 415.289.0830

SURVEYOR:
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P.O. BOX 733 - 100 Bell Drive
Ketchum, ID 83340
TEL: 208.726.9512

GEOTECHNICAL ENGINEER:
Butler Associates, Inc.
P.O. BOX 1034
Ketchum, ID 83340
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CIVIL ENGINEER:
Galena-Benchmark Engineering
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LANDSCAPE ARCHITECT:
Field Studio
722 N Rouse Ave
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SEAL:

| | | |
|----|----------|----------------------|
| 2 | 06.13.25 | MODR APPLICATION |
| 1 | 01.15.25 | MODR PRE-APPLICATION |
| NO | DATE | ISSUE |

PROJECT:
Knob Hill Residence
Lot 3 & 4, Block 91

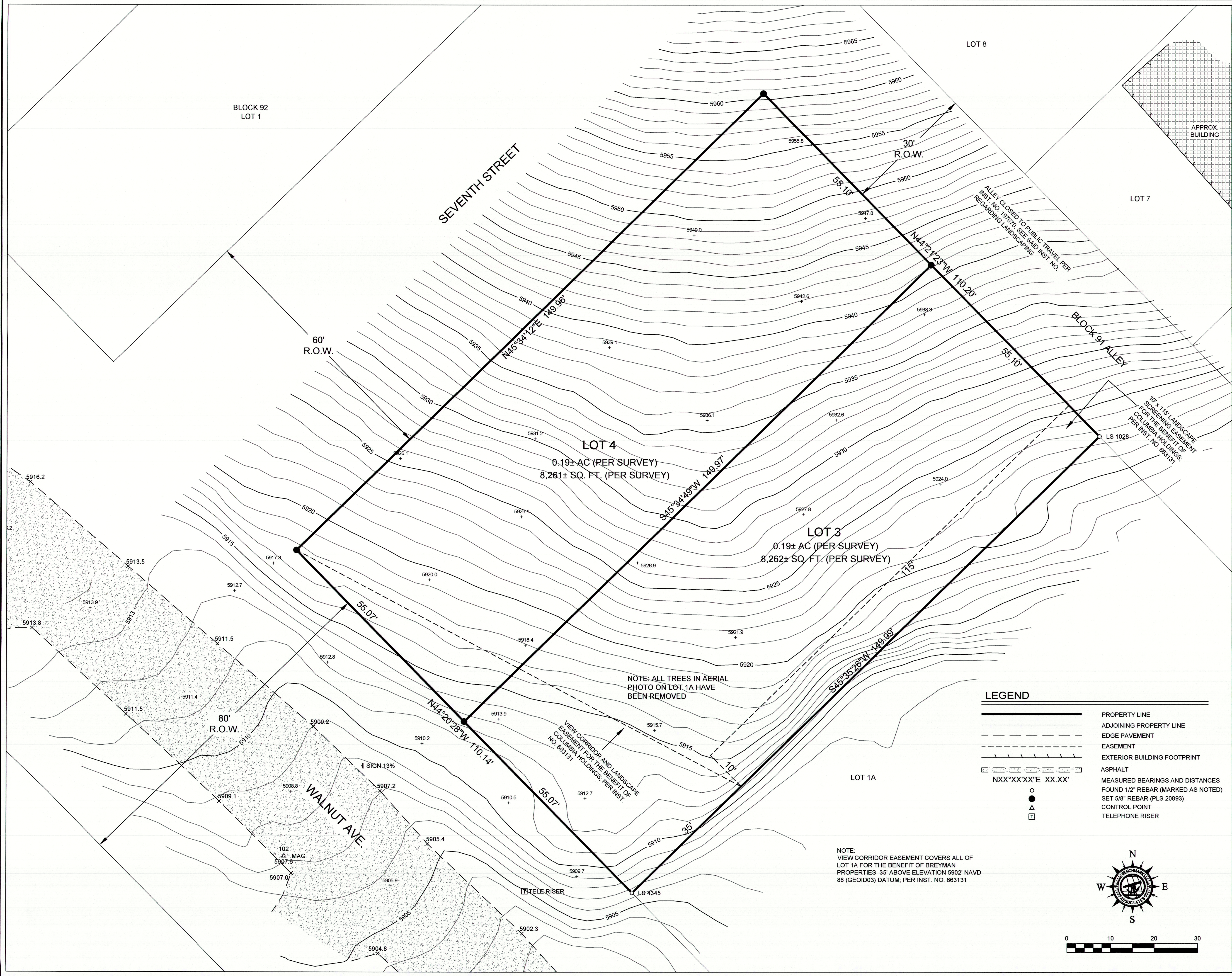
PROJECT NUMBER
2204

DRAWING TITLE:
PHOTOGRAPHY EXHIBITS

DRAWING NUMBER:
G-025

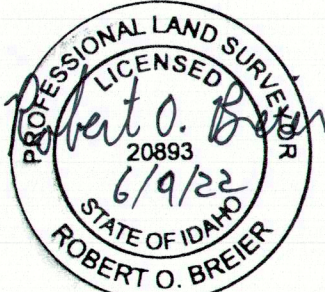
NOT FOR CONSTRUCTION

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NOTES

- SURVEY NARRATIVE:**
- THE PURPOSE OF THIS MAP IS TO SHOW LIMITED SITE INFORMATION AS IT EXISTED ON THE DATE THE FIELD SURVEY WAS PERFORMED IN RELATION TO PLATTED LOT LINES. CHANGES MAY HAVE OCCURRED TO SITE CONDITIONS SINCE SURVEY DATE. LOT LINES ARE BASED ON FOUND MONUMENTS. ALL FOUND MONUMENTS WERE ACCEPTED AS EITHER ORIGINAL CORNERS, OR REPLACEMENTS OF ORIGINAL CORNERS. SET MONUMENTS WERE ESTABLISHED USING PROPORTIONED DISTANCES AND BEARINGS ADJUSTED TO BLAINE COUNTY GIS.
 - REFERENCED SURVEYS: PLAT OF VILLAGE OF KETCHUM: INST. NO. 302967; RECORD OF SURVEY OF KETCHUM TOWNSITE: BLOCK 91, LOTS 1 & 2, INST. NO. 626556; PLAT OF KETCHUM TOWNSITE: BLOCK 91, LOT 1A; INST. NO. 652564; RECORD OF SURVEY OF KETCHUM TOWNSITE: BLOCK 91, LOTS 7 & 8; INST. NO. 665488; CITY OF KETCHUM ORDINANCE NO. 173, INST. NO. 197670; RECIPROCAL VIEW CORRIDOR AND LANDSCAPE EASEMENT AGREEMENT, INST. NO. 663131.
 - BOUNDARY DIMENSIONS SHOWN HEREON ARE MEASURED. FOR RECORD DIMENSIONS, SEE REFERENCED SURVEYS.
VERTICAL DATUM: ELEVATIONS BASED ON NAVD 88 (GEOID03) DATUM UTILIZING SMARTNET CORS STATION IDKM.
 - UNDERGROUND UTILITIES WERE NOT LOCATED AND ARE NOT SHOWN HEREON.
 - THIS MAP WAS PREPARED FOR THE EXPRESS USE OF THE CLIENT AND IS NOT TRANSFERABLE TO OTHERS WITHOUT WRITTEN CONSENT.
 - TITLE POLICY BY STEWART TITLE GUARANTY COMPANY, FILE NO. 22455152, GUARANTEE NO. G-0000367483638, DATED JUNE 2, 2022. CERTAIN INFORMATION CONTAINED WITHIN SAID POLICY MAY NOT APPEAR ON THIS MAP OR MAY AFFECT ITEMS SHOWN ON THIS MAP.
 - ELECTRONIC DATA: BENCHMARK ASSOCIATES ACCEPTS NO RESPONSIBILITY OR LIABILITY FOR THE REUSE, DISTRIBUTION OR ACCURACY OF DATA CONTAINED ON ELECTRONIC COPIES OF THIS DRAWING. THE STAMPED HARD COPY OF THIS DRAWING IS THE FINAL PRODUCT.
 - THIS DRAWING IS VOID AFTER 2 YEARS AND NO FURTHER COPIES OR DIGITAL FILES WILL BE TRANSMITTED.
- EASEMENTS, ENCUMBRANCES AND RESTRICTIONS:**
- BUILDING AREA: BUILDING ENVELOPE IF SHOWN, IS PER PLAT. SETBACK AND FOOTPRINT REQUIREMENTS PER CURRENT CITY/COUNTY ORDINANCES MAY VARY FROM PLAT. IT IS RECOMMENDED THAT SAID ORDINANCES BE REVIEWED PRIOR TO DESIGN.
 - GENERAL RESTRICTIONS: EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS MAP, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY APPLICABLE TO THE SUBJECT OF REAL ESTATE: EASEMENTS, OTHER THAN THOSE SHOWN OR LISTED HEREON, BUILDING SETBACK LINES, RESTRICTIVE COVENANTS, SUBDIVISION RESTRICTIONS, ZONING, WETLANDS, AVALANCHE OR ANY OTHER LAND-USE REGULATIONS OR HAZARDS.
- SURVEY AND SITE FEATURES:**
- BASIS OF BEARINGS IS IDAHO STATE PLANE COORDINATE SYSTEM, NAD83, CENTRAL ZONE AS DERIVED BY GPS OBSERVATIONS. ALL DISTANCES SHOWN ARE GROUND DISTANCES IN U.S. SURVEY FEET.
 - BOUNDARY LINES AND CERTAIN EASEMENTS SHOWN HEREON ARE PER PLAT. REFER TO PLAT & CC&RS FOR CONDITIONS AND/OR RESTRICTIONS REGARDING THIS PROPERTY.
 - UTILITIES AND DRAIN PIPES IF SHOWN HEREON ARE PER SURFACE EVIDENCE ONLY. OTHER UNDERGROUND UTILITIES MAY EXIST. LOCATION OF UNDERGROUND UTILITIES AND SERVICES SHOULD BE CONFIRMED PRIOR TO EXCAVATION OR DESIGN.
 - BUILDING WALLS IF SHOWN HEREON ARE OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
 - SPRINKLER HEADS AND IRRIGATION LINES ARE NOT SHOWN HEREON.
 - TREE LOCATIONS AND DRIP LINES IF SHOWN HEREON ARE APPROXIMATE.
 - ORTHO PHOTOGRAPHY: PHOTO RECTIFIED AT GROUND LEVEL ONLY. IMAGES OF OBJECTS ABOVE GROUND LEVEL (TREES, BUILDINGS, POWER POLES, ETC.) MAY BE DISPLACED. DATE OF PHOTOGRAPHY: MAY 2017.
 - CONTOUR INTERVAL: 1' - CONTOURS IN AREAS OF DENSE VEGETATION MAY DEVIATE FROM TRUE ELEVATION BY ONE HALF THE HEIGHT OF THE VEGETATION. DATE OF LIDAR FLIGHT FOR CONTOURS: 2017.
 - MAP SCALE: DUE TO ELECTRONIC MAP DELIVERY AND ALTERNATE PRINTING METHODS, PLEASE USE BAR SCALE TO DETERMINE ACTUAL PRINTED SCALE.
 - FEATURES OBSCURED FROM VIEW BY DEBRIS, SNOW, VEGETATION OR VEHICLES AT THE TIME OF SURVEY, DO NOT APPEAR ON THIS MAP.



PREPARED BY :
BENCHMARK ASSOCIATES
P.O. BOX 733 - 100 BELL DRIVE, KETCHUM, IDAHO, 83340
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WEB: <http://benchmark-associates.com/>
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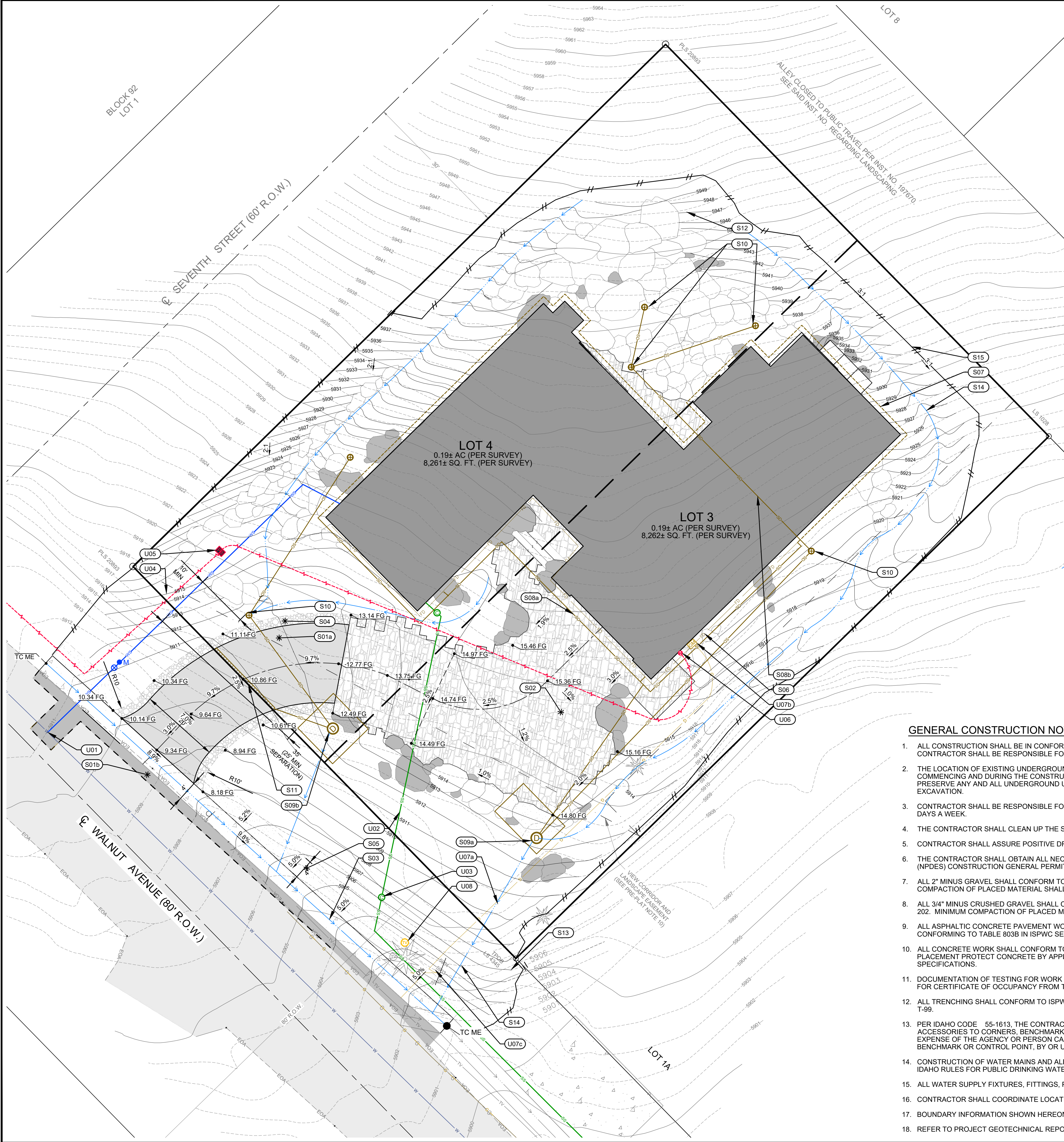
KETCHUM VILLAGE
BLOCK 91, LOTS 3 & 4

LOCATED WITHIN
SECTION 18, TOWNSHIP 4 NORTH, RANGE 18 EAST, B.M.,
CITY OF KETCHUM, BLAINE COUNTY, IDAHO

PREPARED FOR : JARVIS GROUP

| | | | |
|--------------------|--------------------------|---------------|----------------|
| PROJECT NO. 22061 | DWG BY: HDB | CRD: 22061 | 22061_TOPO.DWG |
| TOPOGRAPHIC SURVEY | DATE OF SURVEY: 6/6/2022 | SHEET: 1 OF 1 | |

REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any project or extension of this project except by agreement with Galena-Benchmark Engineering.



GRAPHIC SCALE
0 10 20
Scale in Feet

SITE IMPROVEMENT KEY NOTES

S01 CONSTRUCT ASPHALT.
a. ASPHALT DRIVEWAY WITH SNOW MELT HEATING. SEE DETAIL 3 / C1.1.
b. ASPHALT ROW REPAIR. SEE COK TYPICAL STREET ASPHALT SECTION STANDARD DETAIL 2 / C1.1.

S02 CONSTRUCT HEATED STONE PAVER DRIVEWAY. SEE LANDSCAPE PLANS FOR MATERIALS.

S03 CONSTRUCT 4' WIDE CONCRETE VALLEY GUTTER TIE END INTO EXISTING VALLEY GUTTER. SEE DETAIL 6 / C1.1.

S04 CONSTRUCT 2' WIDE GRAVEL SHOULDER ADJACENT TO DRIVEWAY PAVEMENT. SEE DETAIL 1 / C1.1.

S05 CONSTRUCT 4' WIDE ¾" CRUSHED AGGREGATE GRAVEL SHOULDER. SLOPE 5% TOWARDS VALLEY GUTTER. ASSURE CONTINUATION OF DRAINAGE FROM UPSTREAM LOTS. SEE DETAIL 1 / C1.1.

S06 INSTALL 4" PERFORATED FOOTING DRAIN WITH A MINIMUM SLOPE OF 1.0%. SEE GEOTECHNICAL REPORT FOR DETAIL AND CONSULT WITH GEOTECH ENGINEER FOR PLACEMENT.

S07 INSTALL 4" PERFORATED OUTFLOW TRENCH WITH A MINIMUM SLOPE OF 1.0%. SEE GEOTECHNICAL REPORT FOR DETAIL AND CONSULT WITH GEOTECH ENGINEER FOR PLACEMENT.

S08 INSTALL 6" ADS N-12 STORM DRAIN PIPE WITH A MINIMUM SLOPE OF 2.0%.
a. 6" ADS N-12 STORM PIPE.
b. 6" ADS N-12 STORM PIPE WITH 8" DR-18 SLEEVE UNDER BUILDING. MUST MEET WATER MAIN STANDARDS.

S09 INSTALL DRYWELLS. SEE DETAIL 4 / C1.1.
a. 8" L x 12" W x 8" D SQUARE DW
RIM = 5913.35'
b. 10" L x 10" W x 8" D SQUARE DW
RIM = 5911.9'

S10 INSTALL 12" LANDSCAPE CATCH BASIN WITH 1FT MIN SUMP. SEE DETAIL 5 / C1.1.

S11 INSTALL 6" WIDE TRENCH DRAIN WITH HDPE CHANNEL WITH A 0.75% BUILT IN CHANNEL SLOPE. SEE DETAIL 7 / C1.1.

S12 SEE LANDSCAPE PLAN FOR BOULDER/BEDROCK RETAINING INFORMATION.

S13 MATCH LOT 1A FUTURE GRADING.

S14 DRAINAGE FLOWLINE. DRYWELLS DESIGNED TO OVERFLOW INTO R.O.W.

S15 LIMIT OF DISTURBANCE. SEE LANDSCAPE PLANS FOR MORE DETAIL.

LEGEND

PROPERTY LINE
PROPERTY LINE TO BE REMOVED
ADJOINER'S LOT LINE
EASEMENT
1' CONTOUR INTERVAL - 2017 LIDAR
5' CONTOUR INTERVAL - 2017 LIDAR
EDGE OF ASPHALT
EXISTING TREE
5' CONTOUR PROPOSED
1' CONTOUR PROPOSED
SAWCUT LINE
Found 5/8" Rebar (6/6/2022)
Set 5/8" Rebar (6/6/2022 PLS 20893)

CUT-FILL INFORMATION

CUT 3,550 CU. YD. 95,850 CU. FT.
FILL 15 CU. YD. 405 CU. FT.
NET 3,535 CU. YD. 95,445 CU. FT.

UTILITY IMPROVEMENT KEY NOTES

U01 HOT TAP EXISTING WATER MAIN AND INSTALL NEW 2" WATER SERVICE LINE. CURB STOP AND WATER METER VAULT. COORDINATE ALL WATER ACTIVITY WITH THE KETCHUM WATER DEPT. SEE DETAILS 8 / C1.1 FOR TRENCHING, & 10 / C1.1 FOR SERVICE CONNECTION.

U02 INSTALL 4" PVC SEWER SERVICE TO EXISTING SERVICE STUB. MAINTAIN MIN OF 2% SLOPE.

U03 INSTALL 4" SEWER SERVICE CLEANOUT.

U04 INSTALL NEW BURIED POWER SERVICE. EXACT LOCATION WILL BE DETERMINED BY IDAHO POWER. PROVIDE A MINIMUM HORIZONTAL SEPARATION DISTANCE OF 3' FROM POWER TO GAS & WATER SERVICE LINES.

U05 PROPOSED POWER TRANSFORMER. COORDINATE LOCATION WITH IDAHO POWER CO. TRANSFORMER TO BE SCREENED WITH LANDSCAPE ON SIDES AND REAR. MAINTAIN 10' CLEARANCE IN FRONT OF DOORS AND 3' ALL SIDES.

U06 PROPOSED POWER METER. COORDINATE WITH IDAHO POWER.

U07 PROPOSED GAS UTILITY. LOCATION OF LINES AND DEVICES TO BE COORDINATED AND CONFIRMED BY INTERMOUNTAIN GAS.
a. PROPOSED GAS SERVICE LINE LOCATION.
b. PROPOSED GAS METER LOCATION.
c. GAS MAIN LOCATION UNKNOWN. COORDINATE SERVICE CONNECTION TO MAIN WITH INTERMOUNTAIN GAS.

U08 RELOCATE TV RISER 8' FROM EDGE OF ASPHALT. COORDINATE WITH UTILITY PROVIDER.

- GENERAL CONSTRUCTION NOTES**
- ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISPMC) AND CITY OF KETCHUM STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ISPMC AND CITY OF KETCHUM STANDARDS ON SITE DURING CONSTRUCTION.
 - THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES PRIOR TO COMMENCING AND DURING THE CONSTRUCTION. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL CALL DIGLINE (1-800-342-1585) TO LOCATE ALL EXISTING UNDERGROUND UTILITIES A MINIMUM OF 48 HOURS IN ADVANCE OF EXCAVATION.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL DURING THE CONSTRUCTION OF ALL ITEMS HEREON. DUST CONTROL SHALL BE CONTINUOUS DURING CONSTRUCTION, 24 HOURS PER DAY 7 DAYS A WEEK.
 - THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION.
 - CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM THE HOUSE.
 - THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION (THIS MAY INCLUDE ENCROACHMENT PERMITS AND NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION GENERAL PERMIT (CGP) PERMIT COVERAGE).
 - ALL 2" MINUS GRAVEL SHALL CONFORM TO ISPMC 802, TYPE II (ITD STANDARD 703.04, 2"), SHALL BE PLACED IN CONFORMANCE WITH ISPMC SECTION 801 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99.
 - ALL ¾" MINUS CRUSHED GRAVEL SHALL CONFORM TO ISPMC 802, TYPE I (ITD STANDARD 703.04, ¾" B), SHALL BE PLACED IN CONFORMANCE WITH ISPMC SECTION 802 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
 - ALL ASPHALTIC CONCRETE PAVEMENT WORK SHALL CONFORM TO ISPMC SECTION(S) 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (13MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPMC SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPMC SECTION 805.
 - ALL CONCRETE WORK SHALL CONFORM TO ISPMC SECTIONS 701, 703, AND 705. ALL CONCRETE SHALL BE 3,000 PSI MINIMUM, 28 DAY, AS DEFINED IN ISPMC SECTION 703, TABLE 1. IMMEDIATELY AFTER PLACEMENT PROTECT CONCRETE BY APPLYING MEMBRANE-FORMING CURING COMPOUND, TYPE 2, CLASS A PER ASTM C 309-94. APPLY CURING COMPOUND PER MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS.
 - DOCUMENTATION OF TESTING FOR WORK IN THE RIGHT-OF-WAY IN COMPLIANCE WITH SECTION 12.04.040 D WILL BE REQUIRED FOR ASPHALT, CONCRETE AND BASE MATERIALS AND WILL BE NECESSARY FOR CERTIFICATE OF OCCUPANCY FROM THE CITY OF KETCHUM.
 - ALL TRENCHING SHALL CONFORM TO ISPMC STANDARD DRAWING SD-301. TRENCHES SHALL BE BACKFILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
 - PER IDAHO CODE 55-1613, THE CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS. ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS THAT ARE LOST OR DISTURBED BY CONSTRUCTION SHALL BE REESTABLISHED AND RE-MONUMENTED, AT THE EXPENSE OF THE AGENCY OR PERSON CAUSING THEIR LOSS OR DISTURBANCE AT THEIR ORIGINAL LOCATION OR BY SETTING OF A WITNESS CORNER OR REFERENCE POINT OR A REPLACEMENT BENCHMARK OR CONTROL POINT, BY OR UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR.
 - CONSTRUCTION OF WATER MAINS AND ALL OTHER RELATED APPURTENANCES SHALL BE IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPMC), IDAPA 58.01.08, IDAHO RULES FOR PUBLIC DRINKING WATER SYSTEMS AND THE CITY OF KETCHUM UTILITIES DEPARTMENT STANDARDS.
 - ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL BE ANS/NSF STD. 61 COMPLIANT.
 - CONTRACTOR SHALL COORDINATE LOCATIONS OF DRY UTILITY FACILITIES (POWER, CABLE, PHONE, TV) NOT SHOWN ON THE DRAWING WITH IDAHO POWER AND/OR UTILITY FRANCHISE.
 - BOUNDARY INFORMATION SHOWN HEREON IS PER A RECORD OF SURVEY CONDUCTED BY BENCHMARK ASSOCIATES 06/21/2022. CONTOUR DATA IS PER BLAINE COUNTY LIDAR DATED 2017.
 - REFER TO PROJECT GEOTECHNICAL REPORT FOR FOUNDATION CUT-OFF TRENCH AND FOOTING DRAIN DETAILS.

**KNOB HILL RESIDENCE
GRADING, DRAINAGE & UTILITY PLAN**

LOCATED WITHIN SECTION 10, T.2 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR: KNOB HILL PROPERTIES LLC

PROJECT INFORMATION
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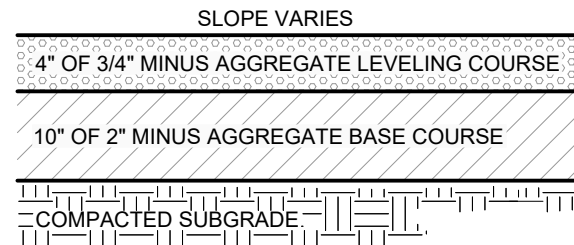
DESIGNED BY: SLS
DRAWN BY: SLS
CHECKED BY: JL
DATE: 6/13/25

**GALENA-BENCHMARK
ENGINEERING**
C.E. Engineers & Land Surveyors
100 Bell Dr. E.
Ketchum, ID 83340
(208) 726-9512
www.benchmark-associates.com

PURPOSE: ISSUE FOR MODR DESIGN REVIEW

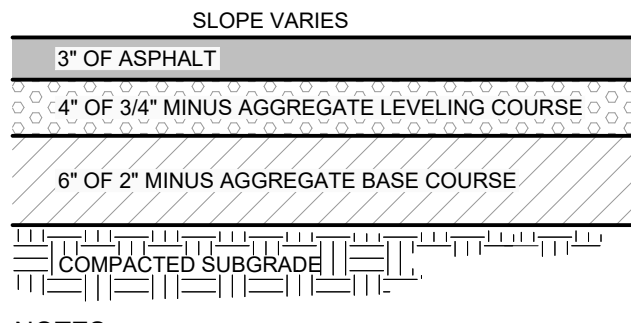
| NO. | DATE | BY | REVISIONS |
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| 1 | 06/13/25 | SLS | MODR APPLICATION |

C1.0



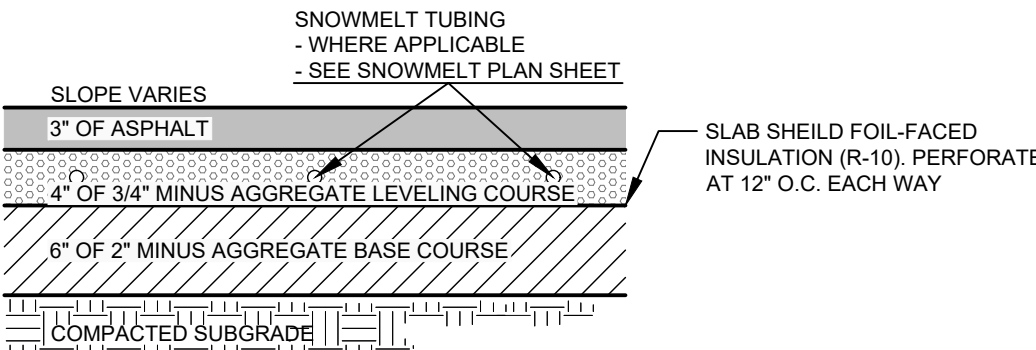
- NOTES:
- SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
 - MATERIALS SHALL CONFORM WITH CURRENT ISPCW STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.

1
C1.1
TYPICAL GRAVEL DRIVEWAY SECTION
N.T.S.



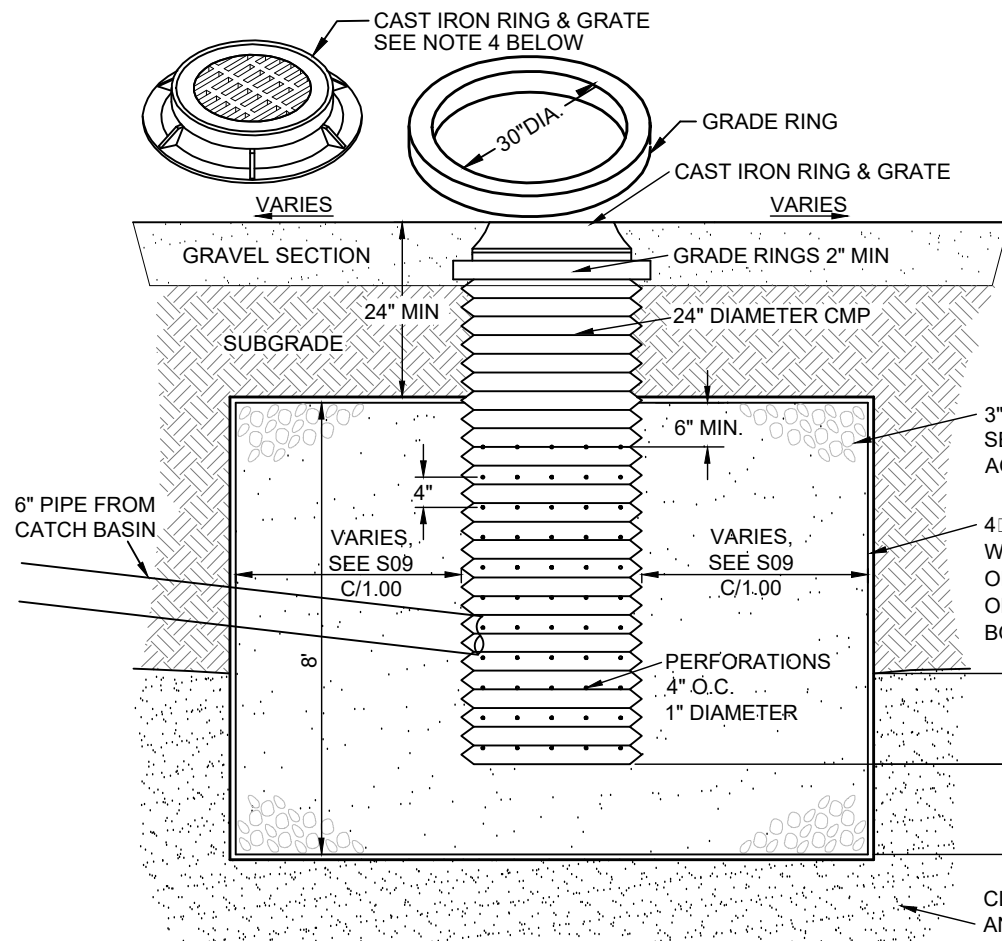
- NOTES:
- SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
 - MATERIALS SHALL CONFORM WITH CURRENT ISPCW STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.

2
C1.1
TYPICAL ASPHALT DRIVEWAY SECTION
N.T.S.



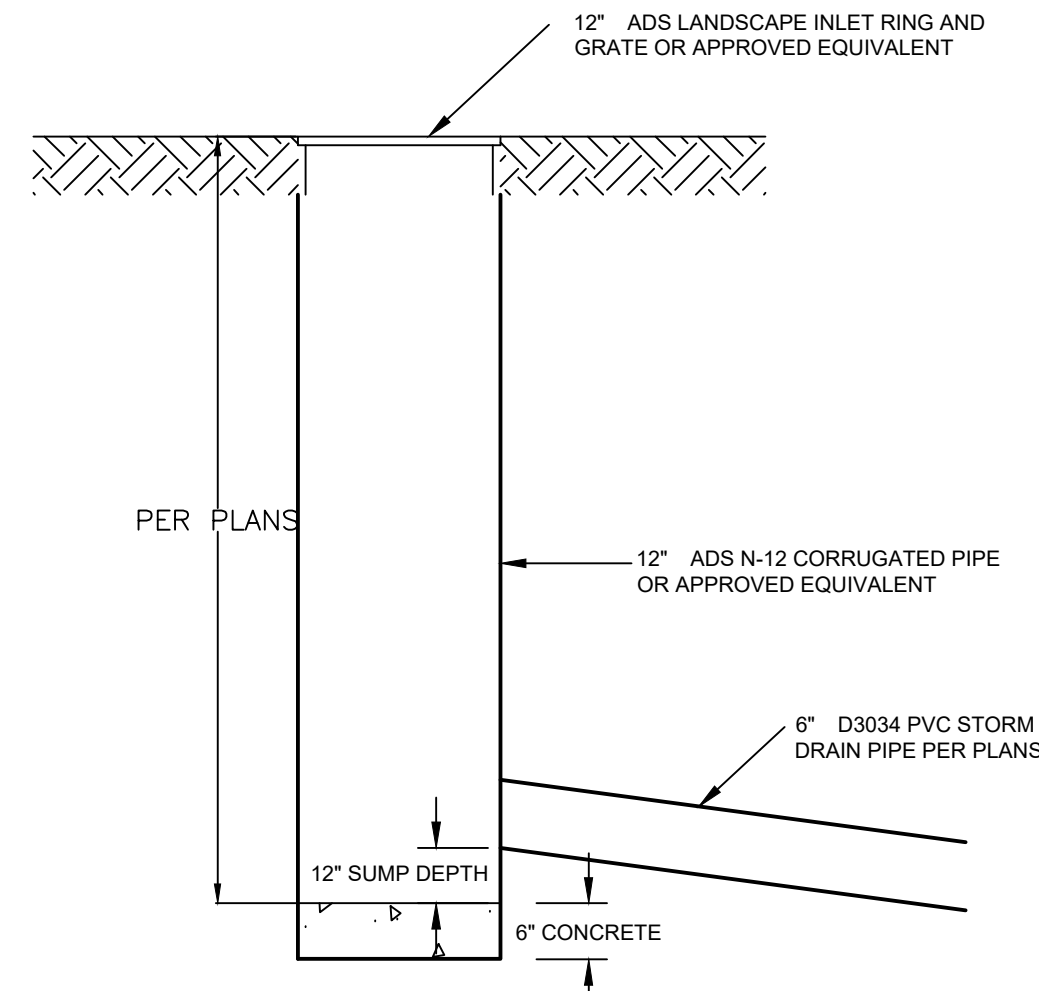
- NOTES:
- SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
 - MATERIALS SHALL CONFORM WITH CURRENT ISPCW STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.

3
C1.1
TYPICAL HEATED ASPHALT SECTION
N.T.S.

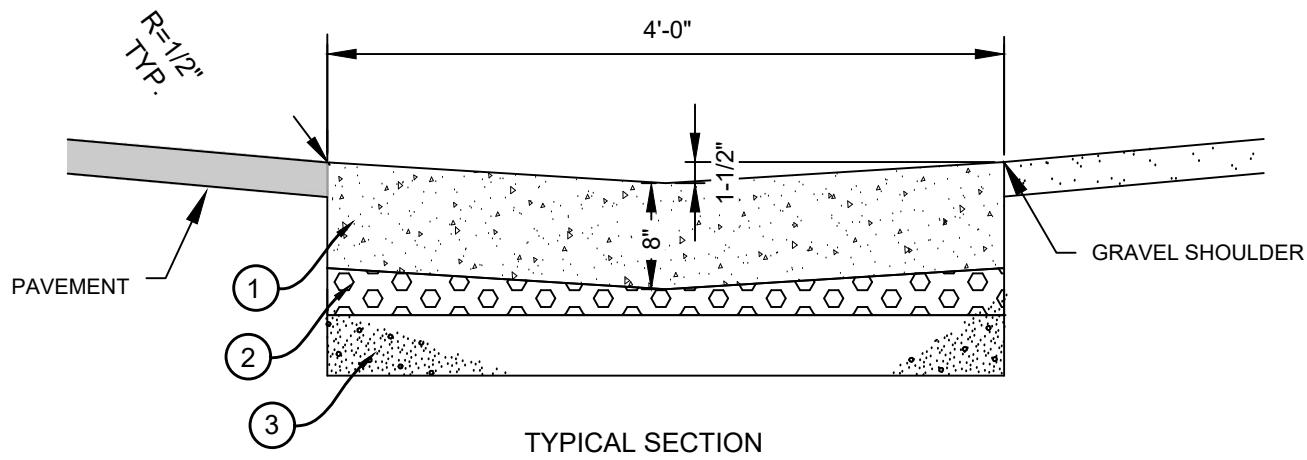


- NOTE:
- THE BED SHALL BE EXCAVATED A MINIMUM OF 24" INTO CLEAN SAND AND GRAVEL.
 - MAXIMUM DEPTH SHALL NOT EXCEED 12 FEET.
 - IF CLEAN SAND AND GRAVEL IS NOT ENCOUNTERED WITHIN 12 FEET, THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER.
 - GRATE OR SOLID LID AS APPROVED BY CITY OF KETCHUM.

4
C1.1
DRYWELL DETAIL
N.T.S.



5
C1.1
12" Ø LANDSCAPE CATCH BASIN
N.T.S.



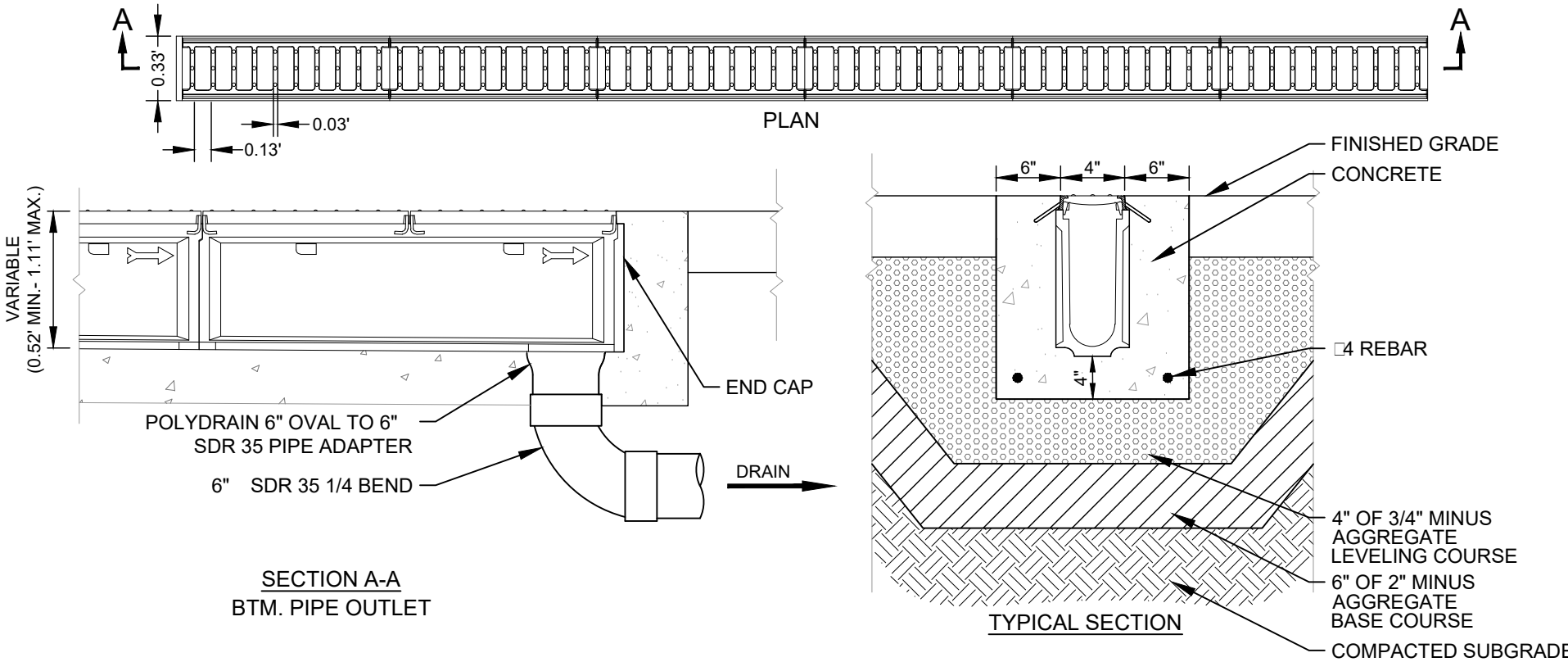
LEGEND

- 8-INCH THICK CONCRETE
- 2" MIN. OF 3/4" TYPE I AGGREGATE BASE
- 6" OF 2" TYPE II SUBBASE

NOTES

- 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADI.
- CONTINUOUS PLACEMENT PREFERRED. SCORE INTERVALS TO MATCH SIDEWALK WITH 10-FEET MAXIMUM SPACING.
- MATERIALS SHALL CONFORM WITH CURRENT ISPCW STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.

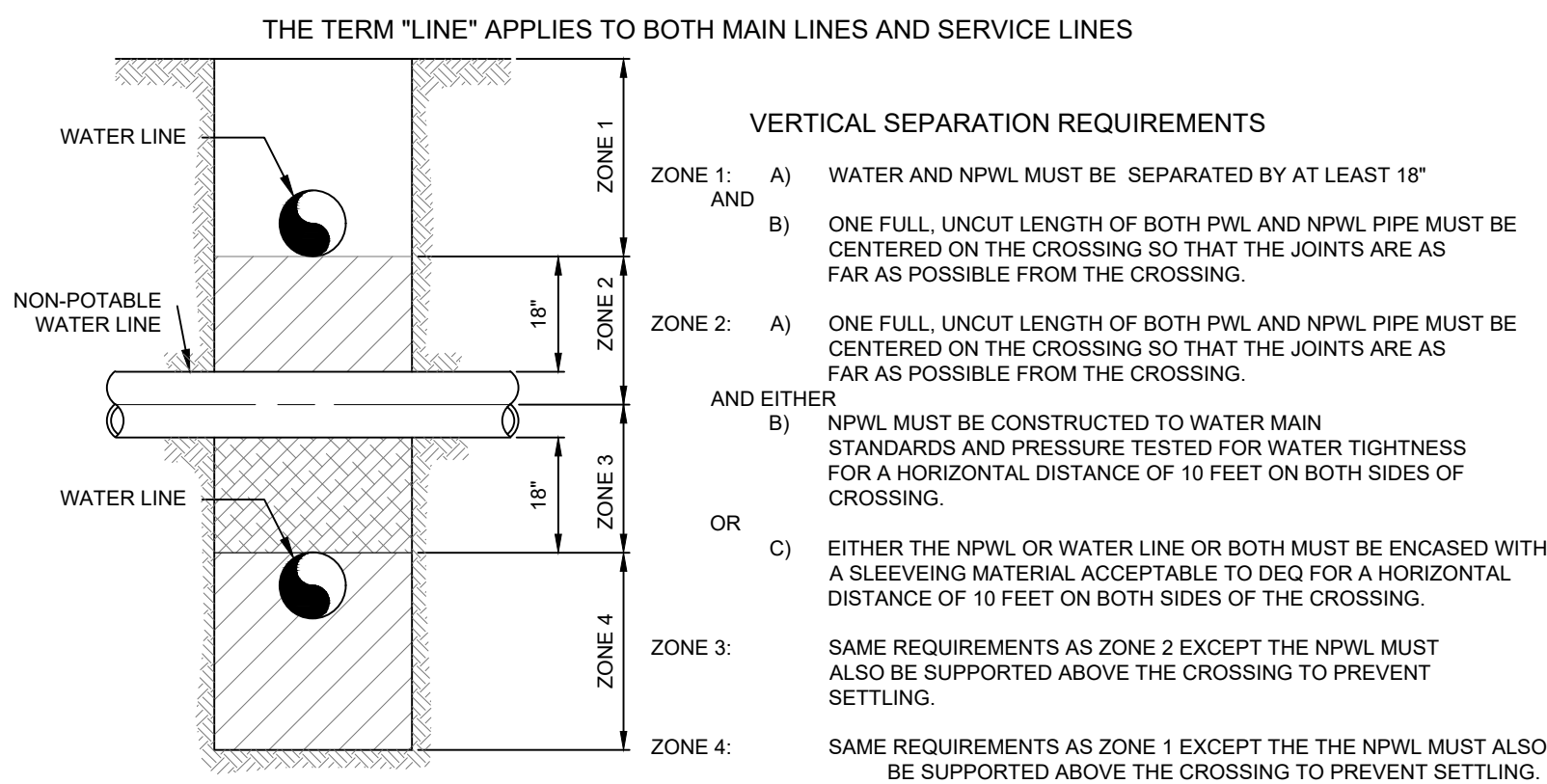
6
C1.1
4 FT CONCRETE VALLEY GUTTER
N.T.S.



NOTES

- LINE DRAIN IS SUITABLE FOR APPLICATIONS FOR CONTROLLING SPREAD IN GUTTER FLOW CONDITIONS OR TO INTERCEPT SHEET FLOW. TYPICAL APPLICATION IS AT THE STREET CURB OR BARRIER.
- THE FRAME AND GRATE IS SUITABLE FOR PEDESTRIAN AND BICYCLE TRAFFIC AND RATED FOR H-25 AND HS-25 LOADS.
- CONCRETE THICKNESS, TYPE, AND AMOUNT OF REINFORCEMENT TO BE SAME AS ADJACENT PAVEMENT OR GREATER. PERFORM STRUCTURAL ANALYSIS TO DETERMINE REQUIREMENTS FOR APPLICATION.
- TOP OF GRATE TO BE INSTALLED FLUSH TO 1/8 IN BELOW FINISHED GRADE. BEVEL CONCRETE TO TOP OF GRATE IF BELOW FLUSH.

7
C1.1
TRENCH DRAIN DETAIL
(ABT INTERCEPTOR LINE DRAIN OR APPROVED EQUAL)
N.T.S.



VERTICAL SEPARATION REQUIREMENTS

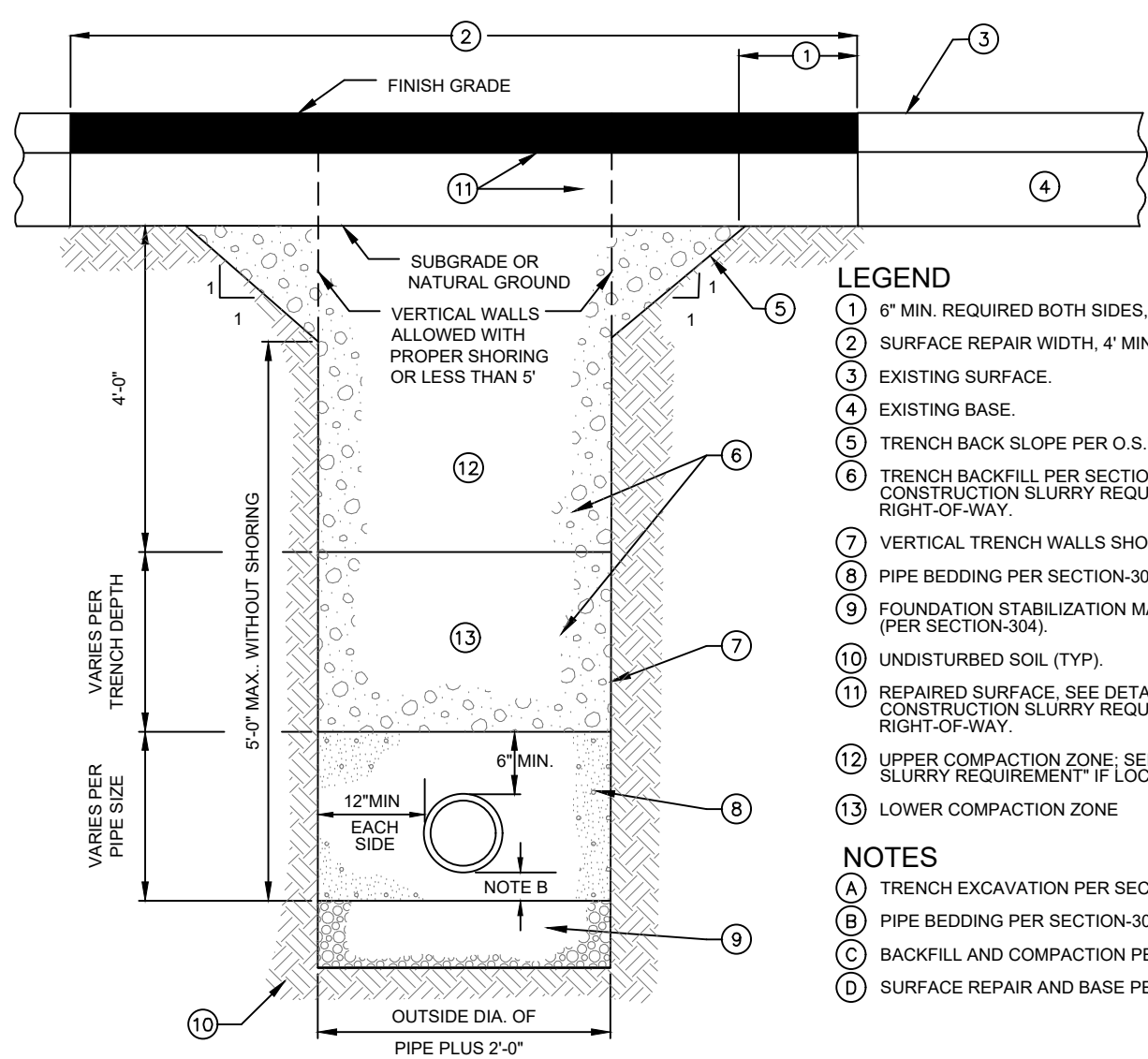
- ZONE 1: A) WATER AND NPWL MUST BE SEPARATED BY AT LEAST 18" AND B) ONE FULL, UNCUT LENGTH OF BOTH PWL AND NPWL PIPE MUST BE CENTERED ON THE CROSSING SO THAT THE JOINTS ARE AS FAR AS POSSIBLE FROM THE CROSSING.
- ZONE 2: A) ONE FULL, UNCUT LENGTH OF BOTH PWL AND NPWL PIPE MUST BE CENTERED ON THE CROSSING SO THAT THE JOINTS ARE AS FAR AS POSSIBLE FROM THE CROSSING. AND EITHER B) NPWL MUST BE CONSTRUCTED TO WATER MAIN STANDARDS AND PRESSURE TESTED FOR WATER TIGHTNESS FOR A HORIZONTAL DISTANCE OF 10 FEET ON BOTH SIDES OF CROSSING. OR C) EITHER THE NPWL OR WATER LINE OR BOTH MUST BE ENCASED WITH A SLEEVEING MATERIAL ACCEPTABLE TO DEQ FOR A HORIZONTAL DISTANCE OF 10 FEET ON BOTH SIDES OF THE CROSSING.
- ZONE 3: SAME REQUIREMENTS AS ZONE 2 EXCEPT THE NPWL MUST ALSO BE SUPPORTED ABOVE THE CROSSING TO PREVENT SETTLING.
- ZONE 4: SAME REQUIREMENTS AS ZONE 1 EXCEPT THE THE NPWL MUST ALSO BE SUPPORTED ABOVE THE CROSSING TO PREVENT SETTLING.

HORIZONTAL SEPARATION REQUIREMENTS

- ZONE 1: A) NO SPECIAL REQUIREMENTS.
- ZONE 2: A) NO SPECIAL REQUIREMENTS FOR POTABLE OR NON-POTABLE SERVICES. B) WATER AND NPWL SEPARATED BY AT LEAST 6 FEET AT OUTSIDE WALLS. C) WATER AT LEAST 18 INCHES HIGHER IN ELEVATION THAN THE NPWL. AND EITHER D) NPWL CONSTRUCTED TO POTABLE WATER MAIN STANDARDS AND PRESSURE TESTED FOR WATER TIGHTNESS. OR E) SITE SPECIFIC REQUIREMENTS APPROVED BY DEQ.
- ZONE 3: NOT ALLOWED WITHOUT DEQ WAIVER.

NOTE: SANITARY SEWER FORCE MAINS MUST HAVE MIN. 10" HORIZONTAL SEPARATION AND 18" VERTICAL SEPARATION. ZONE 2 AND ZONE 3 PLACEMENTS ARE NOT ALLOWED WITHOUT A WAIVER GRANTED BY DEQ.

8
C1.1
POTABLE AND NON-POTABLE WATER LINE (NPWL) SEPARATION
N.T.S.



LEGEND

- 6" MIN. REQUIRED BOTH SIDES, SAWCUT REQUIRED.
- SURFACE REPAIR WIDTH, 4" MINIMUM.
- EXISTING SURFACE.
- EXISTING BASE.
- TRENCH BACK SLOPE PER O.S.H.A. OR SUITABLE SHORING.
- TRENCH BACKFILL PER SECTION-306, OR SEE "KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT" IF LOCATED WITHIN PUBLIC RIGHT-OF-WAY.
- VERTICAL TRENCH WALLS SHORING PER O.S.H.A..
- PIPE BEDDING PER SECTION-305 (SEE SD-302).
- FOUNDATION STABILIZATION MAY VARY PER SOIL TYPE AND STABILITY (PER SECTION-304).
- UNDISTURBED SOIL (TYP).
- REPAIRED SURFACE, SEE DETAILS 1 AND 2, SEE "KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT" IF LOCATED WITHIN PUBLIC RIGHT-OF-WAY.
- UPPER COMPACTION ZONE: SEE "KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT" IF LOCATED WITHIN PUBLIC RIGHT-OF-WAY.
- LOWER COMPACTION ZONE.

NOTES

- TRENCH EXCAVATION PER SECTION-301.
- PIPE BEDDING PER SECTION-305.
- BACKFILL AND COMPACTION PER SECTION-306.
- SURFACE REPAIR AND BASE PER DETAIL 3/C20.

KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT

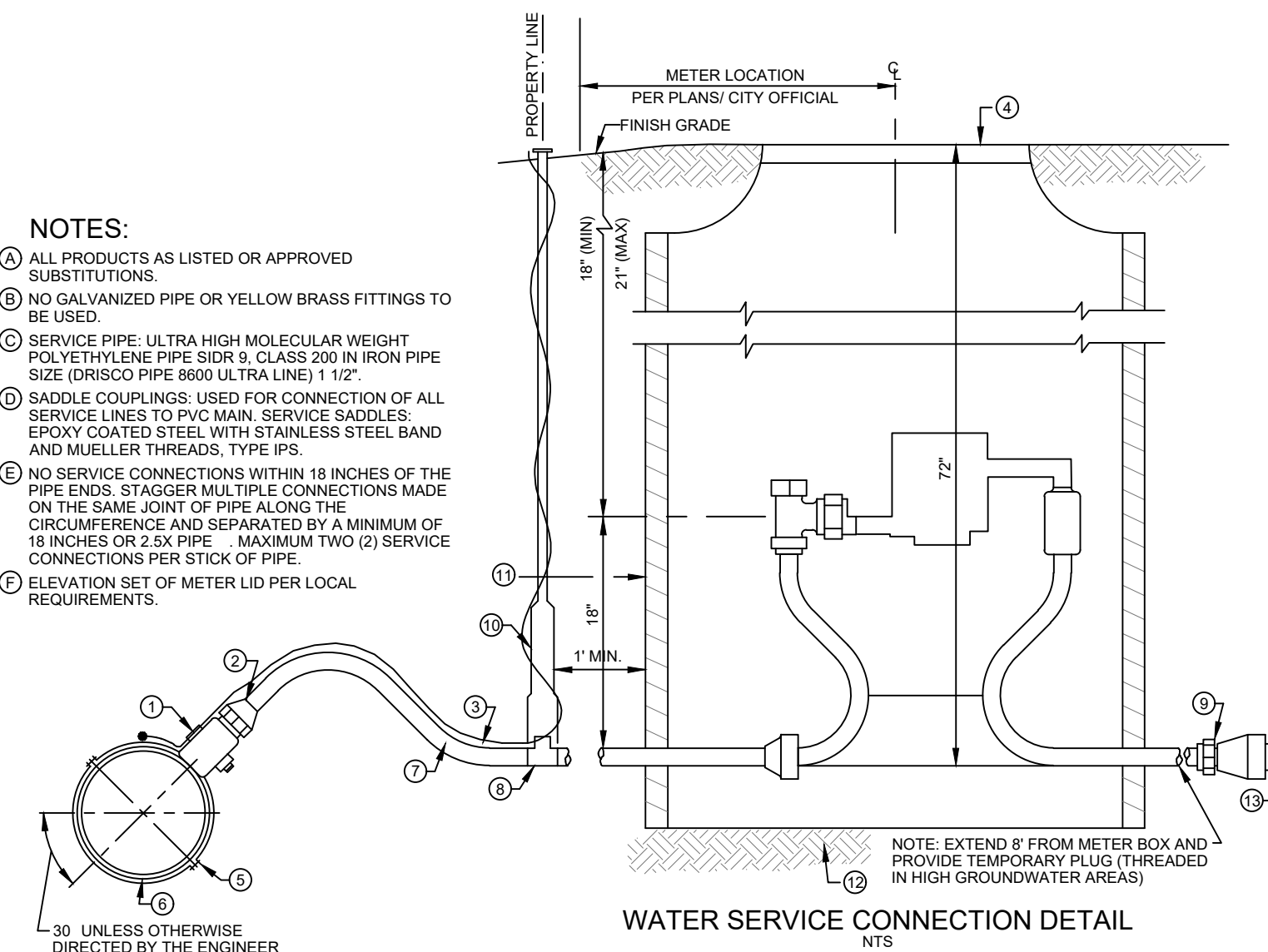
IN AREAS WHERE IT IS NECESSARY TO CUT THE ASPHALT PAVEMENT AND DIG A TRENCH FOR BURIAL OF CONDUIT CABLE OR OTHER CITY UTILITY, THE TRENCH SHALL BE BACKFILLED WITH A LEAN CONCRETE MIX TO THE BOTTOM OF FINISH SURFACE MATERIAL WITH THE FOLLOWING PROPORTIONS OF MATERIALS:

COARSE AGGREGATE (3/4" MINUS) 2,600 LBS.
SAND 800 LBS.
PORTLAND CEMENT 94 LBS.
WATER 11 GAL (MAX.)

WATER CONTENT IS MAXIMUM AND MAY BE REDUCING DOWNWARD. CARES SHALL BE TAKEN TO ASSURE THAT EXCESS WATER IS NOT PRESENT IN THE MIXING DRUM PRIOR TO CHARGING THE MIXER WITH MATERIALS. THOROUGH MIXING WILL BE REQUIRED PRIOR TO DISCHARGE.

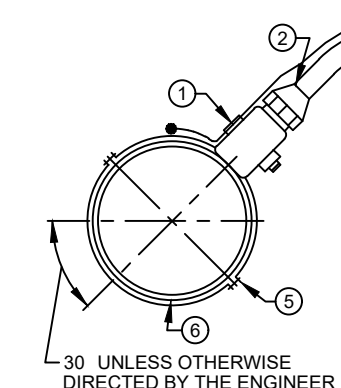
NO COMPACTION, VIBRATION OR FINISHING IS REQUIRED. THE LEAN CONCRETE MIX SHALL BE STRUCK OFF AT OR BELOW THE ELEVATION OF THE PLANT MIX SURFACING WITH A SQUARE-NOSE SHOVEL OR SIMILAR HAND TOOL. THE BACKFILL MIX SHALL BE ALLOWED TO SET FOR A MINIMUM OF 2 HOURS BEFORE THE PERMANENT PLANT MIX SURFACING IS PLACED TO COMPLETE THE TRENCH REPAIR. TEMPORARY PLACEMENT OF ASPHALT COLD MIX SURFACING MAY BE NECESSARY TO ACCOMMODATE TRAFFIC WITHIN THE FIRST 2 HOURS OF BACKFILL PLACEMENT PRIOR TO COMPLETING THE PERMANENT REPAIR.

9
C1.1
TYPICAL TRENCH SECTION
N.T.S.



NOTES:

- ALL PRODUCTS AS LISTED OR APPROVED SUBSTITUTIONS.
- NO GALVANIZED PIPE OR YELLOW BRASS FITTINGS TO BE USED.
- SERVICE PIPE: ULTRA HIGH MOLECULAR WEIGHT POLYETHYLENE PIPE SDR 5, CLASS 200 IN IRON PIPE SIZE (DRS) PIPE 8000 ULTRA LINE 1 1/2".
- SADDLE COUPLINGS: USED FOR CONNECTION OF ALL SERVICE LINES TO PVC MAIN. SERVICE SADDLES: EPOXY COATED STEEL WITH STAINLESS STEEL BAND AND MUELLER THREADS, TYPE IPS.
- NO SERVICE CONNECTIONS WITHIN 18 INCHES OF THE PIPE ENDS. STAGGER MULTIPLE CONNECTIONS MADE ON THE SAME JOINT OF PIPE ALONG THE CIRCUMFERENCE AND SEPARATED BY A MINIMUM OF 18 INCHES OR 2 SX PIPE. MAXIMUM TWO (2) SERVICE CONNECTIONS PER STICK OF PIPE.
- ELEVATION SET OF METER LID PER LOCAL REQUIREMENTS.



LEGEND

- CORP STOP WITH COMPRESSION COUPLING FORD MODEL F-1100 OR APPROVED EQUAL.
- MUELLER H-15072.
- NO. 12 COPPER FINDER WIRE. SEE SD-514 FOR SPLICING.
- MUELLER 18" DIA OPENING LID OR APPROVED EQUAL. 2" DIA HOLE IN LID FOR RADIO READ UNIT. LIDS AND FRAMES LOCATED IN PAVED OR GRAVEL AREAS WHICH WILL RECEIVE VEHICULAR TRAFFIC SHALL BE H-20 RATED. D&L SUPPLY D6016 RINGS WITH SOLID LID OR APPROVED EQUAL.
- STAINLESS STEEL SADDLE.
- WATER MAIN.
- 2" SERVICE LINE, 200 PSI POLY PIPE WITH INSERTS (TYP.) NO SPLICING IS ALLOWED.
- FORD MODEL B-111 RESILIENT SEAT, CURB BALL VALVE OR APPROVED EQUAL.
- DOUBLE PURPOSE COUPLING.
- STANDARD KETCHUM STYLE VALVE BOX WITH ERIE STYLE LID AND ATTACHED ROD.
- MUELLER 18" DIA DEEP THERMA COIL METER VAULT OR APPROVED EQUAL. NOTCH FOR SERVICE LATERALS.
- FIRM UNDISTURBED EARTH. (SET TILE ON 2"X 22" DIAMETER PRECAST CONCRETE BLOCK IF OVER EXCAVATION OCCURS).
- PROVIDE TEMPORARY PLUG (THREADED IN HIGH WATER AREAS).

10
C1.1
2" WATER SERVICE CONNECTION
N.T.S.

NOB HILL RESIDENCE
DETAIL SHEET

LOCATED WITHIN SECTION 10, T.2 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR: NOB HILL PROPERTIES LLC

PRELIMINARY
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CONSTRUCTION

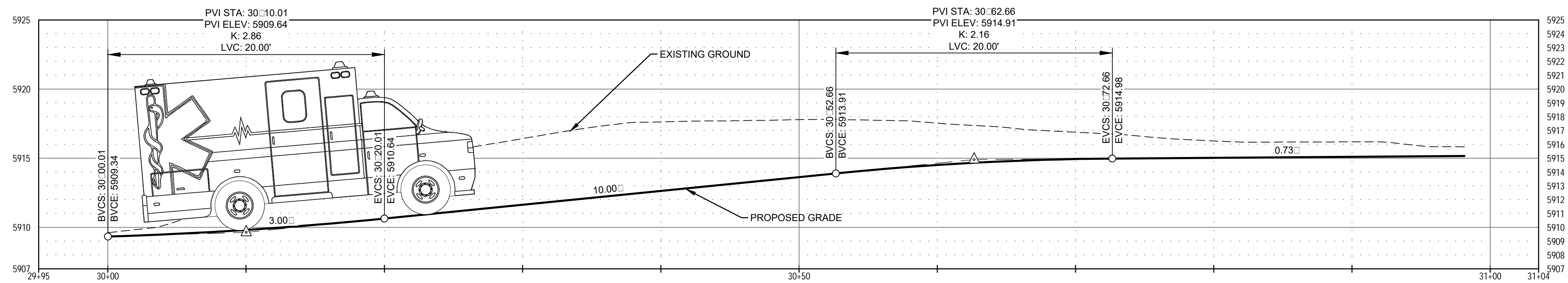
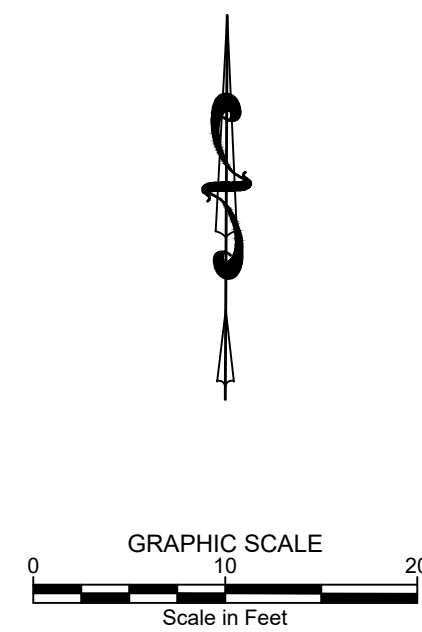
DESIGNED BY: SLS
DRAWN BY: SLS
CHECKED BY: JL
DATE: 6/13/25

GALENA-BENCHMARK
ENGINEERING
100 B...
K...
(208) 726-9512

| NO. | DATE | BY | REVISIONS |
|-----|----------|-----|------------------|
| 1 | 06/13/25 | SLS | MODR APPLICATION |

PURPOSE: ISSUE FOR MODR DESIGN REVIEW

C1.1

[illegible]

DRIVEWAY FIRE ACCESS PROFILE PROFILE
HORIZ: 1" = 5'
VERT: 1" = 5'

KNOB HILL RESIDENCE
 DRIVEWAY EXHIBIT

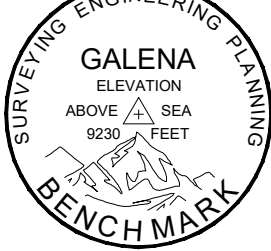
LOCATED WITHIN SECTION 10, T.2 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR: KNOB HILL PROPERTIES LLC

PROJECT INFORMATION

**PRELIMINARY
NOT FOR
CONSTRUCTION**

| | |
|--------------|----------------------------|
| DESIGNED BY: | SLS |
| DRAWN BY: | SLS |
| CHECKED BY: | <input type="checkbox"/> L |
| DATE: | 6/13/25 |

**BENCHMARK
ENGINEERING**
Civil Engineers & Land Surveyors
100 Bell Drive
P.O. Box 7733
Ketchum, Idaho 83340
208.726-9512
www.benchmark-associates.com



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| | | | | |
| | | | | |
| | | | | |

EXH

LEGEND

PROPERTY BOUNDARY

EXISTING CONTOUR

CONCRETE PAVING

STONE PLANK PAVERS

GRAVEL SHOULDER

EXISTING VEGETATION TO REMAIN

ORNAMENTAL LANDSCAPE BOULDERS

LANDSCAPE BOULDERS NECESSARY FOR RETAINING

LOT CALCULATIONS

LOT COVERAGE

LOT SIZE = ± 16,523 SF 0.38 ACRES

BUILDING COVERAGE = 4,775 SF

COVERAGE BY DRIVEWAY/PARKING = 2,465 SF

TOTAL = 7,240 SF

PROPOSED BUILDING COVERAGE PERCENTAGE: 29

The site plan illustrates the Knob Hill Residence and its surrounding context. The residence is a large, multi-winged structure with a complex roofline and driveway. It is situated on a sloping lot with existing vegetation and boulders. The plan shows various setbacks, easements, and property boundaries. Key features include:
 - **Property Boundaries:** Dashed lines indicating the limits of the property and adjacent lots (LOT 1, LOT 4, LOT 7, LOT 8, LOT 1A).
 - **Setbacks:** Solid lines indicating required setbacks from property lines.
 - **Easements:** Dashed lines indicating easements for view corridors, landscape screening, and limits of disturbance.
 - **Vegetation:** Existing vegetation to remain is shown with light gray shading, while landscape boulders necessary for retaining are shown with dark gray shading.
 - **Driveway:** A large driveway area is shown adjacent to the residence.
 - **Arch Break Lines:** Indicated by dashed lines with arrows.
 - **Right-of-Way (R.O.W.):** Indicated by dashed lines with arrows, showing the 60', 80', and 30' R.O.W.
 - **Survey Data:** Various survey measurements are provided, such as N45 34° E 149.96' and N44 24° 23' W 110.20'.
 - **Signage:** A sign for 'SIGN 13' is located near the driveway.
 - **Tele Riser:** A tele riser is indicated near the driveway.
 - **Adjacent Features:** The plan shows adjacent streets (SEVENTH STREET, WALNUT AVENUE, BLOCK 91 ALLEY) and other lots (LOT 1, LOT 4, LOT 7, LOT 8, LOT 1A).
 - **Legend:** A legend in the top left corner defines the symbols used for property boundaries, setbacks, easements, vegetation, and paving.
 - **Lot Calculations:** A section in the top left corner provides lot coverage details, including lot size, building coverage, and proposed building coverage percentage.
 - **Scale and Orientation:** A scale bar (0' to 20') and a north arrow are located in the bottom right corner.
 - **Project Information:** The project number (2409.00) and sheet title (L-0.00) are located in the bottom right corner.
 - **Field Studio Logo:** The logo for Field Studio Landscape Architects is located in the top right corner.
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KETCHUM, ID

| DATE | ISSUE |
|------------|--------------|
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| 2025.06.13 | MODR APP |

SHEET TITLE

OVERALL
SITE PLAN

SHEET 1 OF 4
L-0.00

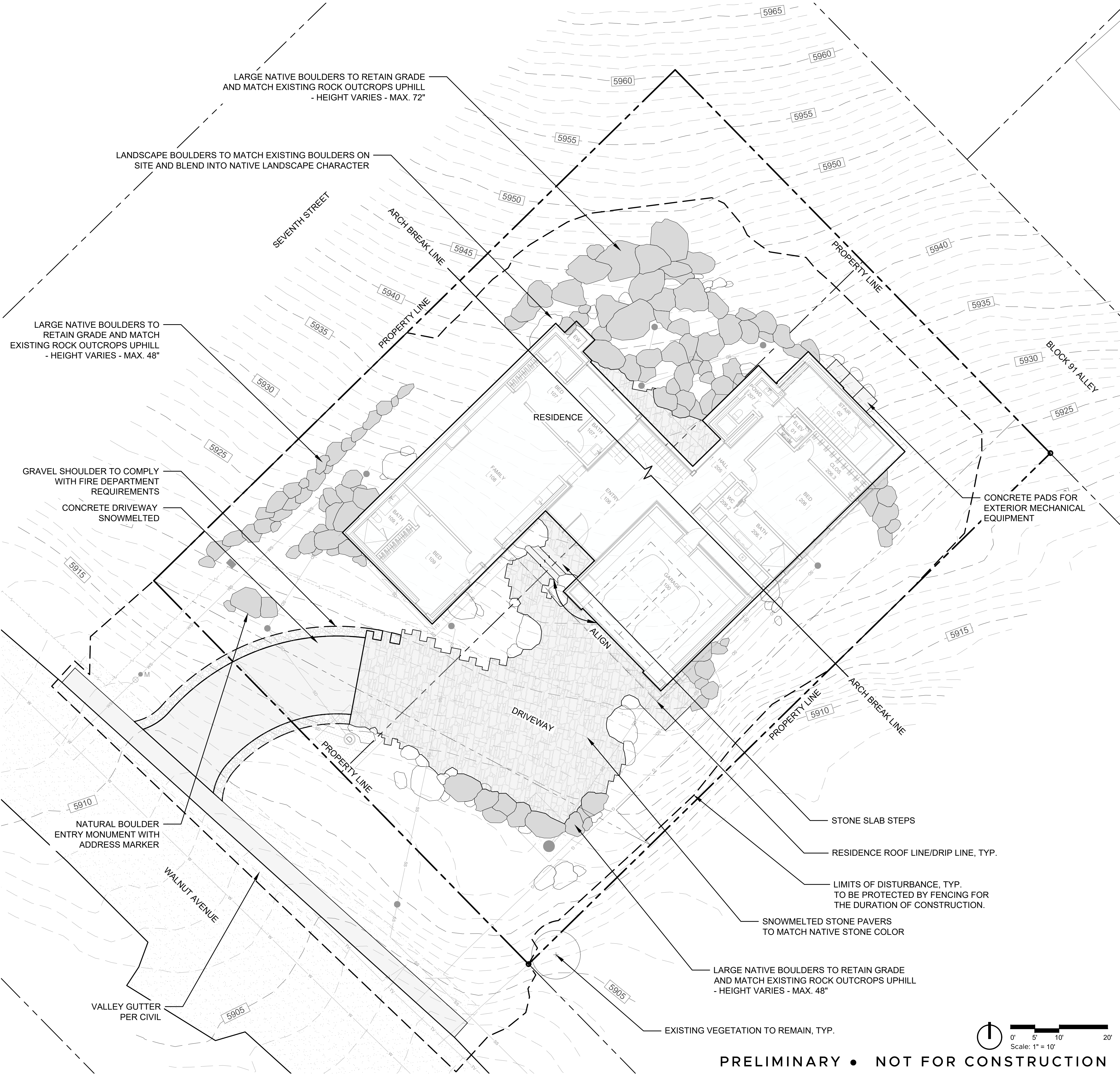
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LEGEND

- PROPERTY BOUNDARY
- EXISTING CONTOUR
- CONCRETE PAVING
- STONE PLANK PAVERS
- GRAVEL SHOULDER
- EXISTING VEGETATION TO REMAIN
- ORNAMENTAL LANDSCAPE BOULDERS
- LANDSCAPE BOULDERS NECESSARY FOR RETAINING
- ALIGN



REPRESENTATIVE IMAGES OF EXISTING NATIVE BOULDERS TO MATCH ON SITE



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KETCHUM, ID

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|------------|--------------|
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| 2025.06.13 | MODR APP |

SHEET TITLE

LAYOUT AND
MATERIALS PLAN

SHEET 2 OF 4
L-1.00

LEGEND

PROPERTY BOUNDARY

LIMITS OF DISTURBANCE

EROSION CONTROL & TREE PROTECTION FENCING

CONCRETE PAVING

STONE PLANK PAVERS

GRAVEL SHOULDER

EXISTING CONTOUR

PROPOSED CONTOUR

EXISTING VEGETATION TO REMAIN

ORNAMENTAL LANDSCAPE BOULDERS

LANDSCAPE BOULDERS NECESSARY FOR RETAINING

DRAINAGE SWALE

XX.XX

+

SPOT ELEVATION

- FFE= FINISH FLOOR ELEVATION

- TS = TOP OF STEP

- BS = BOTTOM OF STEP

- TR = TOP OF RETAINING

- BR = BOTTOM OF RETAINING

GRADING NOTES

1. STOCKPILE BORROW SOIL MATERIALS AND EXCAVATED SATISFACTORY SOIL MATERIALS WITHOUT INTERMIXING. PLACE, GRADE, AND SHAPE STOCKPILES TO DRAIN SURFACE WATER. COVER TO PREVENT WINDBLOWN DUST.

2. PLOW, SCARIFY, BENCH, OR BREAK UP SLOPED SURFACES STEEPER THAN 1 VERTICAL TO 4 HORIZONTAL SO FILL MATERIAL WILL BOND WITH EXISTING MATERIAL.

3. SLOPE GRADES TO DIRECT WATER AWAY FROM BUILDINGS AND TO PREVENT PONDING. FINISH SUBGRADES TO ELEVATIONS REQUIRED TO ACHIEVE INDICATED FINISH ELEVATIONS.

4. UNACCEPTABLE MATERIALS: CLEAN SOIL OF CONCRETE SLURRY, CONCRETE LAYERS OR CHUNKS, CEMENT, PLASTER, BUILDING DEBRIS, OILS, GASOLINE, DIESEL FUEL, PAINT THINNER, TURPENTINE, TAR, ROOFING COMPOUND, ACID, AND OTHER EXTRANEOUS MATERIALS THAT ARE HARMFUL TO PLANT GROWTH.

5. DO NOT APPLY MATERIALS OR TILL IF EXISTING SOIL OR SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET.

6. IF PLANTING SOIL OR SUBGRADE IS OVERCOMPACTED, DISTURBED, OR CONTAMINATED BY FOREIGN OR DELETERIOUS MATERIALS OR LIQUIDS, REMOVE THE PLANTING SOIL AND CONTAMINATION. RESTORE THE SUBGRADE AS DIRECTED BY LANDSCAPE ARCHITECT AND REPLACE CONTAMINATED PLANTING SOIL WITH NEW PLANTING SOIL.

7. CONTRACTOR TO STAKE LIMITS OF ROADS AND PLANTING BEDS IN FIELD FOR LANDSCAPE ARCHITECT TO REVIEW AND APPROVE PRIOR TO CONSTRUCTION.

8. ALL SPOT ELEVATIONS ARE FINISH GRADE UNLESS OTHERWISE NOTED.

9. SEE PLANTING DETAILS FOR TOP SOIL REQUIREMENTS IN PLANTING PITS FOR TREES, SHRUBS, AND PERENNIALS.

10. ROUGH GRADE 6" LESS THAN FINISH GRADE TO ALLOW FOR TOPSOIL IN LAWN AREA. REFER TO SPECIFICATIONS FOR TOP SOIL DEPTH.

11. ALL SWALES TO SLOPE AT A MINIMUM OF 2' LONGITUDINAL SLOPE.

12. FINAL GRADE TO BE MIN ± 4-6" BELOW TOP OF CONCRETE FOUNDATION WALL.

13. EXISTING STONE WALLS AND BOULDER OUTCROPS WILL BE RECONSTRUCTED BY LANDSCAPE CONTRACTOR. IF PORTIONS OF THE WALL NEED TO BE REMOVED FOR ROUGH GRADING, EXISTING STONE TO BE PALLETIZED FOR RE-USE. EXTENTS IF WALL REMOVAL TO BE COORDINATED WITH LANDSCAPE ARCHITECT.

14. FINAL WALL LAYOUT TO BE CONFIRMED IN FIELD BASED ON EXISTING TREE LOCATIONS

15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR STAKING BOTH LINE AND GRADE. ANY DISCREPANCIES, ERRORS OR OMISSIONS ON THE CONSTRUCTION DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE.

16. THE CONTRACTOR SHALL STAKE ALL KEY AREAS AND SHALL RECEIVE APPROVAL FROM THE OWNER'S REPRESENTATIVE PRIOR TO PROCEEDING WITH CONSTRUCTION.

17. SPOT ELEVATIONS SHALL TAKE PRECEDENCE OVER CONTOURS. CONTRACTOR SHALL PROVIDE A SMOOTH FINISH GRADE THROUGHOUT THE ENTIRE PROJECT FREE OF RUTS, DEPRESSIONS AND IRREGULARITIES. POSITIVE DRAINAGE SHALL BE MAINTAINED AT ALL TIMES. ALL SWALES, DEPRESSIONS, ETC. NOT SHOWN ON THE PLANS SHALL BE BROUGHT TO THE ATTENTION OF LANDSCAPE ARCHITECT IMMEDIATELY IN WRITING.

FIELD
STUDIO
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ARCHITECTS

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| 2025.06.13 | MODR APP |




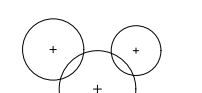

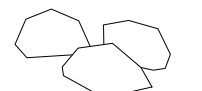
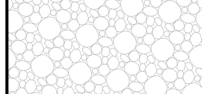
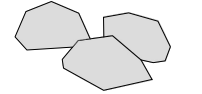
SHEET TITLE

GRADING AND
DRAINAGE PLAN




SHEET 3 OF 4
L-2.00

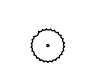


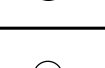

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LEGEND

| | | | |
|---|--------------------|---|--|
|  | PROPERTY BOUNDARY |  | EXISTING CONTOUR |
|  | CONCRETE PAVING |  | EXISTING VEGETATION TO REMAIN |
|  | STONE PLANK PAVERS |  | ORNAMENTAL LANDSCAPE BOULDERS |
|  | GRAVEL SHOULDER |  | LANDSCAPE BOULDERS NECESSARY FOR RETAINING |

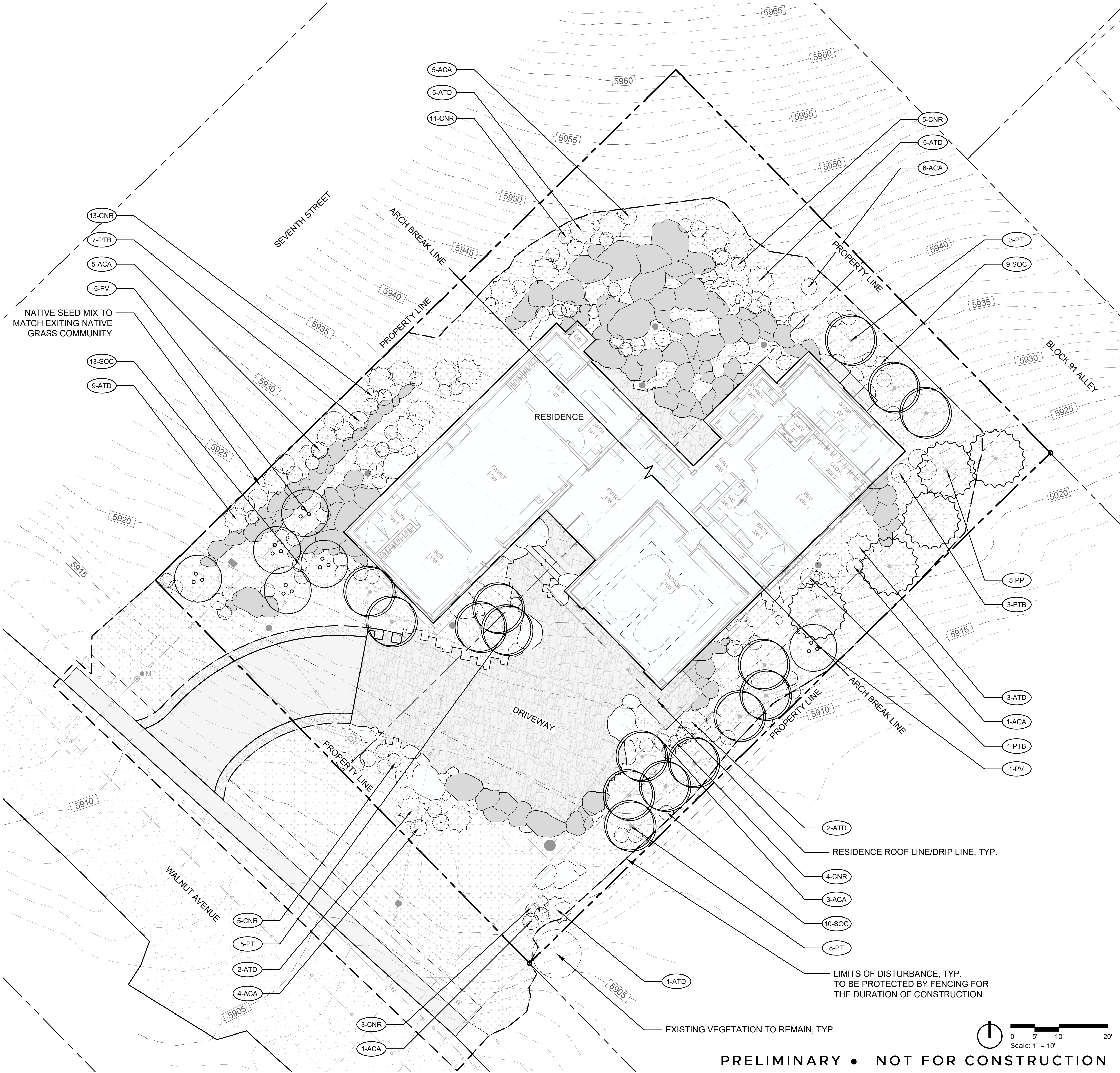
PLANTING SCHEDULE

| TREES | | | | | | | |
|---|-----|-----|---------------------------|--------------------|-------|---------|----------|
| SYM. | KEY | QTY | BOTANIC NAME | COMMON NAME | ROOT | SIZE | SPACING |
|  | PP | 5 | <i>Pinus ponderosa</i> | Ponderosa Pine | B&B | 14' HT | PER PLAN |
|  | PT | 16 | <i>Populus tremulodes</i> | Quaking Aspen | B&B | 2" CAL. | PER PLAN |
|  | PV | 6 | <i>Prunus virginiana</i> | Common Chokecherry | CONT. | #25 | PER PLAN |

| SHRUBS | | | | | | | |
|--|-----|-----|------------------------------------|----------------------|-------|------|----------|
| SYM. | KEY | QTY | BOTANIC NAME | COMMON NAME | ROOT | SIZE | SPACING |
|  | ACA | 25 | <i>Artemisia cana</i> | Silver Sagebrush | CONT. | #2 | PER PLAN |
|  | ATD | 27 | <i>Artemisia tridentata</i> | Big Sagebrush | CONT. | #7 | PER PLAN |
|  | CNR | 41 | <i>Chrysothamnus nauseosus</i> | Rabbitbrush | CONT. | #5 | PER PLAN |
|  | PTB | 11 | <i>Purshia tridentata</i> | Antelope Bitterbrush | CONT. | #5 | PER PLAN |
|  | SOC | 32 | <i>Symphoricarpos occidentalis</i> | Western Snowberry | CONT. | #5 | PER PLAN |

| SEED MIX | | | |
|---|---------------------------|--|-----------|
| SYM. | ZONE | SEED MIX | AREA |
|  | NATIVE GRASS AND FORB MIX | SPECIES CANADIAN BLUEGRASS, <i>Poa compressa</i> SHEEP FESCUE, <i>Festuca oviana</i> IDAHO FESCUE, <i>Festuca idahoensis</i> BLUEBUNCH WHEATGRASS, <i>Agropyron inerme</i> ARROWLEAF BALSAMROOT, <i>Balsamoriza sagittata</i> SULFUR-FLOWER BUCKWHEAT, <i>Eriogonum umbellatum</i> | ±7,800 SF |

- NOTE:
- VERIFY EXACT GRASS MIXTURE WITH LANDSCAPE ARCHITECT TO MATCH EXISTING CONDITIONS ON SITE PRIOR TO INSTALL.
 - TREE CROWNS AND ALL OTHER COMBUSTIBLE VEGETATION EXTENDING TO WITHIN 10 FT OF ANY STRUCTURE OR CHIMNEY SHALL BE PRUNED TO MAINTAIN A MINIMUM HORIZONTAL CLEARANCE OF 10 FT. TREE CROWNS WITHIN 30 FT OF ANY STRUCTURE SHALL BE PRUNED TO REMOVE LIMBS LOCATED LESS THAN 6 FT ABOVE THE GROUND SURFACE ADJACENT TO THE TREES. NOR-FIRE RESISTIVE VEGETATION OR GROWTH SHALL BE KEPT CLEAR OF BUILDINGS AND STRUCTURES, IN SUCH A MANNER AS TO PROVIDE A CLEAR AREA FOR FIRE SUPPRESSION OPERATIONS.



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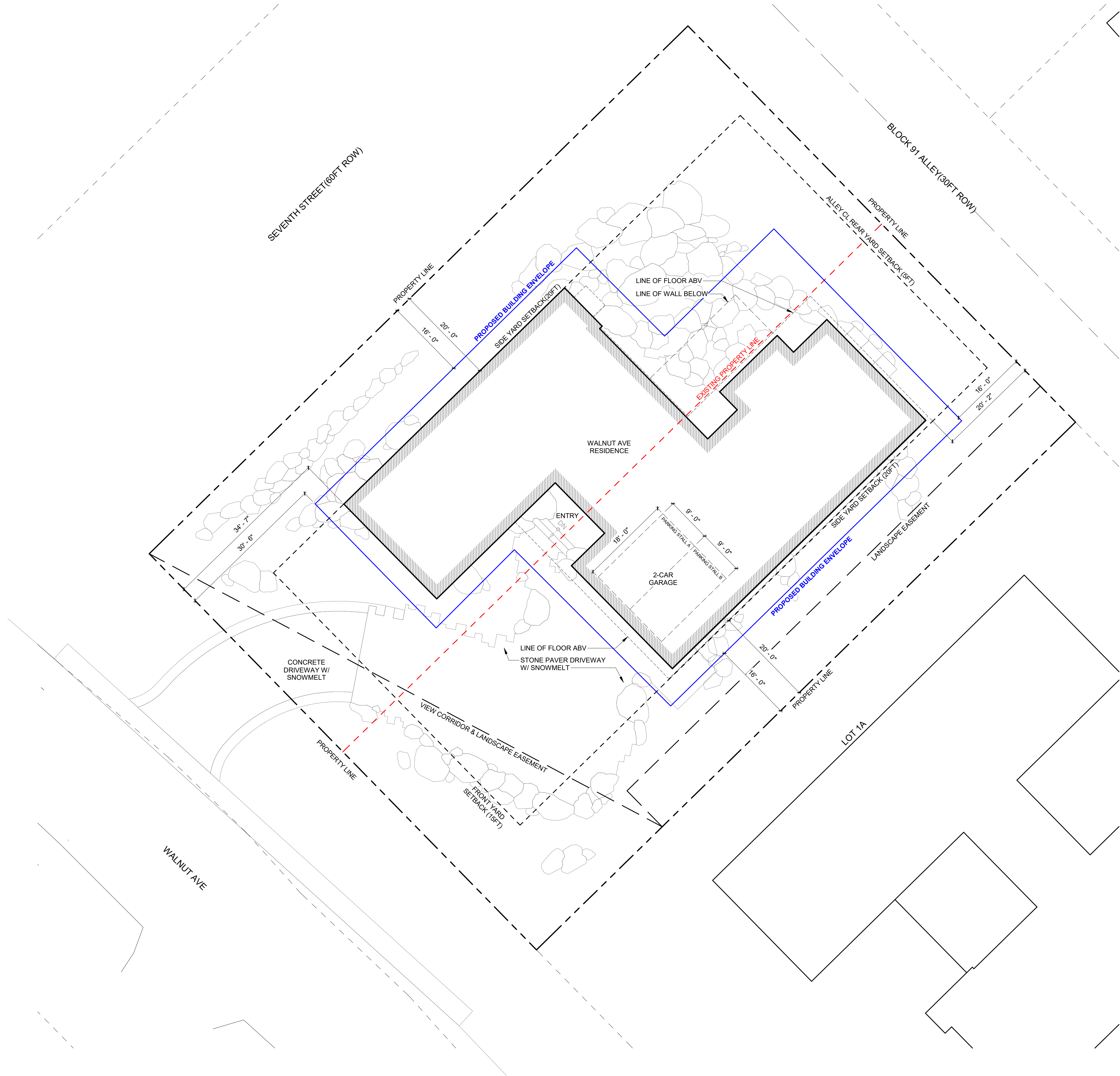
SHEET TITLE

PLANTING PLAN

SHEET 4 OF 4

L-5.00

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SITE PLAN NOTES:

- SEE LANDSCAPE PLAN FOR (E) & (N) TREE LOCATIONS
- SEE CIVIL DRAWINGS FOR DRIVEWAY LAYOUT, PROFILE & SITE DRAINAGE INFORMATION.

KNOB HILL RESIDENCE

OWNER:

KNOB HILL PROPERTIES, LLC
P.O. BOX 14001-174
KETCHUM, ID 83340

PROJECT ARCHITECT:

RO | ROCKETT DESIGN
1306 BRIDGEWAY, FLOOR 2
SAUSALITO, CA 94965
TEL: 415.289.0830

SURVEYOR:

GALENA-BENCHMARK ENGINEERING
P.O. BOX 733 - 100 BELL DRIVE
KETCHUM, ID 83340
TEL: 208.726.9512

GEOTECHNICAL ENGINEER:

BUTLER ASSOCIATES, INC.
P.O. BOX 1034
KETCHUM, ID 83340
TEL: 208.720.6432

CIVIL ENGINEER:

GALENA-BENCHMARK ENGINEERING
P.O. BOX 733 - 100 BELL DRIVE
KETCHUM, ID 83340
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LANDSCAPE ARCHITECT:

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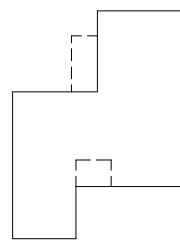
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| 2 | 06.13.25 | MODR APPLICATION |
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| NO | DATE | ISSUE |

PROJECT:

KNOB HILL RESIDENCE

LOT 3 & 4, BLOCK 91



PROJECT NUMBER

2204

DRAWING TITLE:

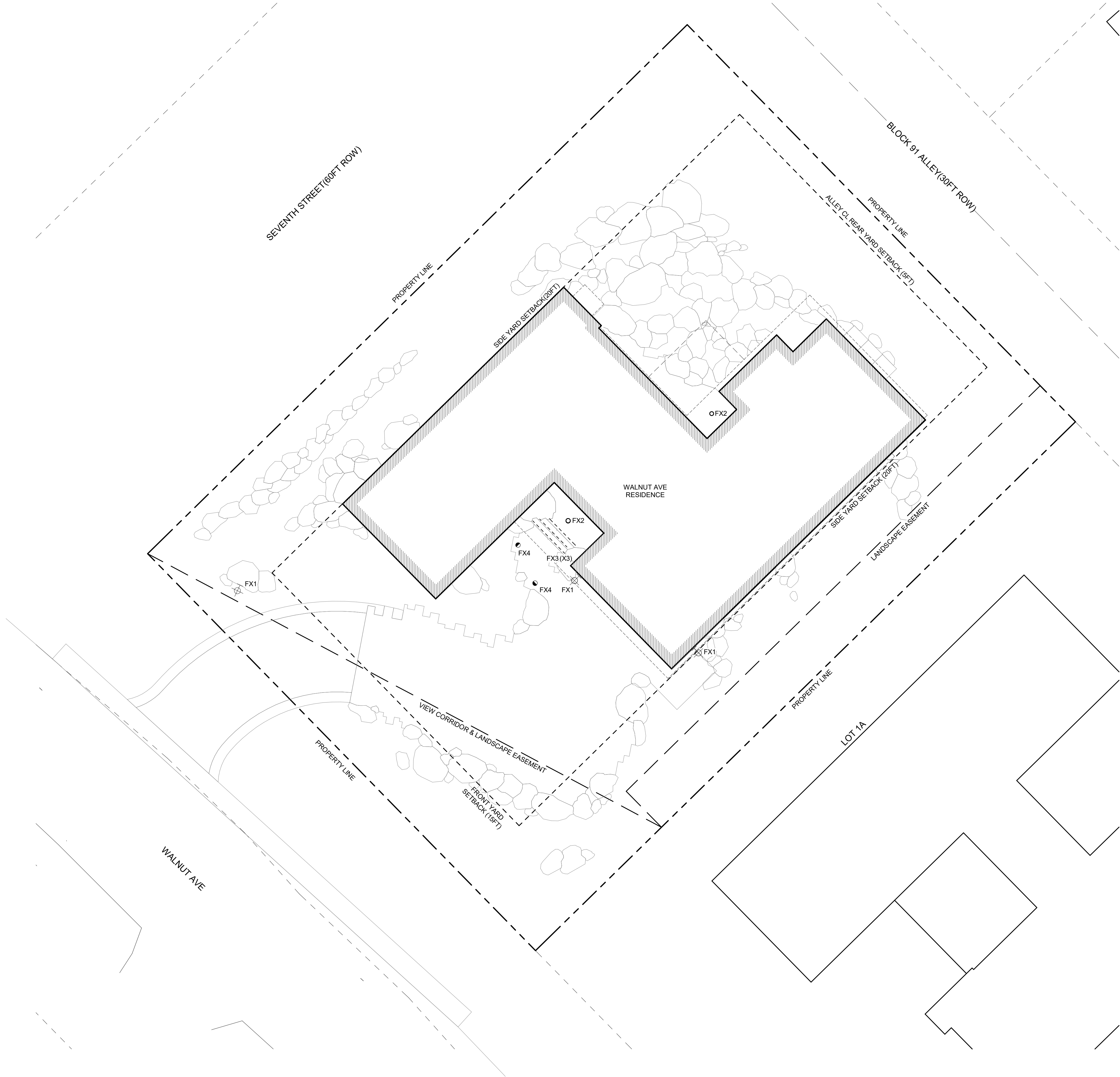
SITE PLAN

DRAWING NUMBER:

A-100

NOT FOR CONSTRUCTION

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- LIGHT FIXTURE LEGEND:**
- FX1 / SHIELDED WALL MOUNTED SCONCE
 - FX2 / RECESSED CEILING DOWNLIGHT
 - FX3 / SURFACE LINEAR LIGHT
 - FX4 / SHIELDED RECESSED IN-GRADE GRAZER

- SITE PLAN NOTES:**
- SEE LANDSCAPE PLAN FOR (E) & (N) TREE LOCATIONS
 - SEE CIVIL DRAWINGS FOR DRIVEWAY LAYOUT, PROFILE & SITE DRAINAGE INFORMATION.
 - ALL EXTERIOR LIGHTING TO BE FULLY SHIELDED AND COMPLY WITH KMC 17.132 - DARK SKIES
 - SEE PHOTOMETRIC PLAN & CUTSHEETS FOR LIGHT FIXTURE INFORMATION

KNOB HILL RESIDENCE

OWNER:

KNOB HILL PROPERTIES, LLC
P.O. BOX 14001-174
KETCHUM, ID 83340

PROJECT ARCHITECT:

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TEL: 415.289.0830

SURVEYOR:

GALENA-BENCHMARK ENGINEERING
P.O. BOX 733 - 100 BELL DRIVE
KETCHUM, ID 83340
TEL: 208.726.9512

GEOTECHNICAL ENGINEER:

BUTLER ASSOCIATES, INC.
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TEL: 208.720.6432

CIVIL ENGINEER:

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TEL: 208.726.9512

LANDSCAPE ARCHITECT:

FIELD STUDIO
722 N ROUSE AVE
BOZEMAN, MT 59715
TEL: 406.551.2098

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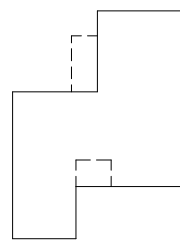
SEAL:

| | | |
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| 2 | 06.13.25 | MODR APPLICATION |
| 1 | 01.15.25 | MODR PRE-APPLICATION |
| NO | DATE | ISSUE |

PROJECT:

KNOB HILL RESIDENCE

LOT 3 & 4, BLOCK 91



PROJECT NUMBER

2204

DRAWING TITLE:

**SITE PLAN / EXTERIOR
LIGHTING & POWER**

DRAWING NUMBER:

A-101

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KNOB HILL RESIDENCE

OWNER:

KNOB HILL PROPERTIES, LLC
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TEL: 208.726.9512

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TEL: 208.720.6432

CIVIL ENGINEER:

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KETCHUM, ID 83340
TEL: 208.726.9512

LANDSCAPE ARCHITECT:

FIELD STUDIO
722 N ROUSE AVE
BOZEMAN, MT 59715
TEL: 406.551.2098

PROPOSED GROSS FLOOR AREA - BASEMENT

BASEMENT 2125 SF

PROPOSED GROSS FLOOR AREA - LEVEL 01

LEVEL 01 1963 SF

PROPOSED NET FLOOR AREA - LEVEL 01

LEVEL 01 3164 SF

KMC §17.08 - DEFINITIONS

FLOOR AREA, GROSS: THE SUM OF THE HORIZONTAL AREA OF THE BUILDING MEASURED ALONG THE OUTSIDE WALLS OF EACH FLOOR OF A BUILDING OR PORTION OF A BUILDING, INCLUDING STAIR TOWERS AND ELEVATORS ON THE GROUND FLOOR ONLY, AND 50 PERCENT OF ATRIUMS OVER 18 FEET PLATE HEIGHT, BUT NOT INCLUDING BASEMENTS, UNDERGROUND PARKING AREAS OR OPEN UNENCLOSED DECKS. PARKING AREAS COVERED BY A ROOF OR PORTION OF THE BUILDING AND ENCLOSED ON THREE OR MORE SIDES BY BUILDING WALLS ARE INCLUDED. FOUR PARKING STALLS FOR DEVELOPMENTS ON SINGLE KETCHUM TOWN SITE LOTS OF 5,600 SQUARE FEET IN SIZE OR LESS ARE NOT INCLUDED IN THE GROSS FLOOR AREA CALCULATION.

FLOOR AREA, NET: THE SUM OF THE HORIZONTAL AREAS OF ALL FLOORS IN A BUILDING INCLUDING BASEMENTS BUT NOT INCLUDING OPEN UNENCLOSED DECKS, INTERIOR OR EXTERIOR CIRCULATION, MECHANICAL EQUIPMENT ROOMS, PARKING AREAS, COMMON AREAS, PUBLIC BATHROOMS OR STORAGE AREAS IN BASEMENTS.

LIGHT FIXTURE LEGEND:

- FX1 / SHIELDED WALL MOUNTED SCONCE
- FX2 / RECESSED CEILING DOWNLIGHT
- FX3 / RECESSED LINEAR COVE LIGHT
- FX4 / SHIELDED RECESSED IN-GRADE GRAZER

REFERENCE PLAN NOTES:

- SEE LANDSCAPE DRAWINGS FOR PLANTING AND LANDSCAPE INFORMATION
- SEE CIVIL DRAWING FOR DRIVEWAY AND SITE DRAINAGE INFORMATION
- USGS ELEVATION +5.917'-6" IS NOTED AS +100'-0" IN SUBSEQUENT ARCHITECTURAL DRAWINGS
- COORDINATE STARTPOINT WITH CIVIL
- SEE G-200 FOR MORE INFORMATION REGARDING ROOF ASSEMBLIES
- ALL EXTERIOR LIGHTING TO BE FULLY SHIELDED AND COMPLY WITH KMC 17.132 - DARK SKIES
- EXTERIOR WINDOWS, WINDOW WALLS, GLAZED DOORS, WINDOWS WITHIN EXTERIOR DOORS, AND SKYLIGHTS SHALL BE TEMPERED GLASS, MULTILAYERED GLAZED PANELS, GLASS BLOCK OR HAVE A FIRE PROTECTION RATING OF NOT LESS THAN 20 MINUTES. ALL EXTERIOR DOORS SHALL BE SOLID CORE CONSTRUCTION OR HAVE A FIRE RATING OF NOT LESS THAN 20 MINUTES. ALL EXTERIOR VENTS SHALL BE DESIGNED AND APPROVED TO PREVENT FLAME OR EMBER PENETRATION AND ALL EXTERIOR MESH SHALL HAVE OPENINGS THAT DO NOT EXCEED 1/8". GUTTERS AND DOWNSPOUTS SHALL BE NON-COMBUSTIBLE AND SHALL BE PROVIDED WITH AN APPROVED MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS.
- ALL MATERIALS WITHIN 12" VERTICAL OF FINISHED GRADE SHALL BE 1 HOUR RATED, NON-COMBUSTIBLE, OR COVERED WITH MINIMUM 28-GAUGE FLASHING. THE AREA 12" HORIZONTAL FROM THE BASE OF A WALL SHALL BE FINISHED IN A WAY TO PREVENT ANY VEGETATION GROWING, AND FOR VEGETATIVE DEBRIS TO BE EASILY REMOVED.

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| 2 | 06.13.25 | MODR APPLICATION |
| 1 | 01.15.25 | MODR PRE-APPLICATION |
| NO | DATE | ISSUE |

PROJECT:

KNOB HILL RESIDENCE

LOT 3 & 4, BLOCK 91

PROJECT NUMBER

2204

DRAWING TITLE:

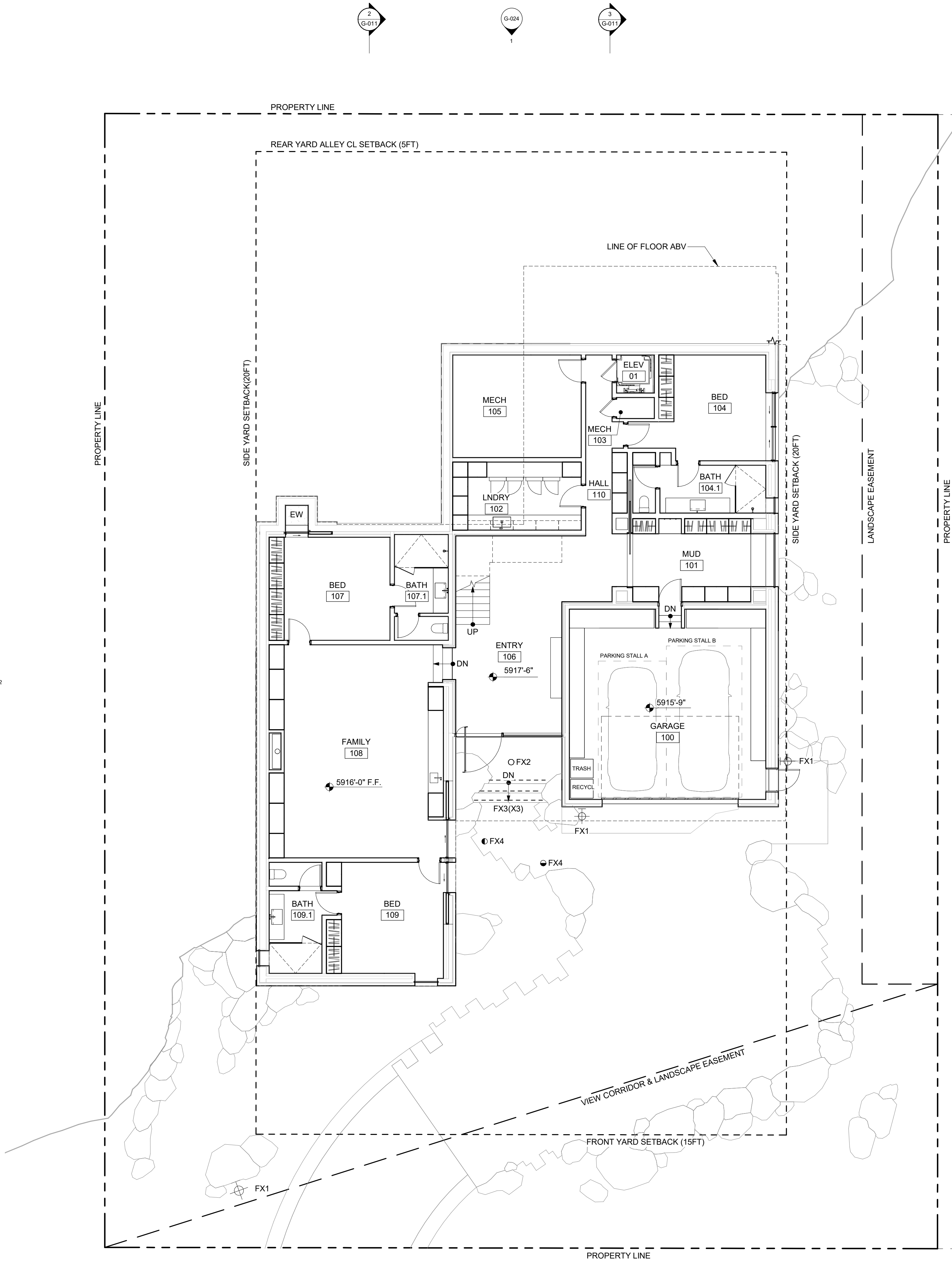
REFERENCE PLAN / LEVEL 01

DRAWING NUMBER:

A-102

NOT FOR CONSTRUCTION

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KNOB HILL RESIDENCE

OWNER:

KNOB HILL PROPERTIES, LLC
P.O. BOX 14001-174
KETCHUM, ID 83340

PROJECT ARCHITECT:

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SURVEYOR:

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GEOTECHNICAL ENGINEER:

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CIVIL ENGINEER:

GALENA-BENCHMARK ENGINEERING
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TEL: 208.726.9512

LANDSCAPE ARCHITECT:

FIELD STUDIO
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TEL: 406.551.2098

PROPOSED GROSS FLOOR AREA - LEVEL 02

LEVEL 02 3053 SF

PROPOSED NET FLOOR AREA - LEVEL 02

LEVEL 02 2875 SF

KMC §17.08 - DEFINITIONS

FLOOR AREA, GROSS: THE SUM OF THE HORIZONTAL AREA OF THE BUILDING MEASURED ALONG THE OUTSIDE WALLS OF EACH FLOOR OF A BUILDING OR PORTION OF A BUILDING, INCLUDING STAIR TOWERS AND ELEVATORS ON THE GROUND FLOOR ONLY, AND 50 PERCENT OF ATRIUMS OVER 18 FEET PLATE HEIGHT, BUT NOT INCLUDING BASEMENTS, UNDERGROUND PARKING AREAS OR OPEN UNENCLOSED DECKS. PARKING AREAS COVERED BY A ROOF OR PORTION OF THE BUILDING AND ENCLOSED ON THREE OR MORE SIDES BY BUILDING WALLS ARE INCLUDED. FOUR PARKING STALLS FOR DEVELOPMENTS ON SINGLE KETCHUM TOWN SITE LOTS OF 5,600 SQUARE FEET IN SIZE OR LESS ARE NOT INCLUDED IN THE GROSS FLOOR AREA CALCULATION.

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LIGHT FIXTURE LEGEND:

- FX1 / SHIELDED WALL MOUNTED SCONCE
- FX2 / RECESSED CEILING DOWNLIGHT
- FX3 / RECESSED LINEAR COVE LIGHT
- FX4 / SHIELDED RECESSED IN-GRADE GRAZER

REFERENCE PLAN NOTES:

- SEE LANDSCAPE DRAWINGS FOR PLANTING AND LANDSCAPE INFORMATION
- SEE CIVIL DRAWING FOR DRIVEWAY AND SITE DRAINAGE INFORMATION
- USGS ELEVATION +5,917'-6" IS NOTED AS +100'-0" IN SUBSEQUENT ARCHITECTURAL DRAWINGS
- COORDINATE STARTPOINT WITH CIVIL
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- EXTERIOR WINDOWS, WINDOW WALLS, GLAZED DOORS, WINDOWS WITHIN EXTERIOR DOORS, AND SKYLIGHTS SHALL BE TEMPERED GLASS, MULTILAYERED GLAZED PANELS, GLASS BLOCK OR HAVE A FIRE PROTECTION RATING OF NOT LESS THAN 20 MINUTES. ALL EXTERIOR DOORS SHALL BE SOLID CORE CONSTRUCTION OR HAVE A FIRE RATING OF NOT LESS THAN 20 MINUTES. ALL EXTERIOR VENTS SHALL BE DESIGNED AND APPROVED TO PREVENT FLAME OR EMBER PENETRATION AND ALL EXTERIOR MESH SHALL HAVE OPENINGS THAT DO NOT EXCEED 1/8". GUTTERS AND DOWNSPOUTS SHALL BE NON-COMBUSTIBLE AND SHALL BE PROVIDED WITH AN APPROVED MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS.
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| 2 | 06.13.25 | MODR APPLICATION |
| 1 | 01.15.25 | MODR PRE-APPLICATION |
| NO | DATE | ISSUE |

PROJECT:

KNOB HILL RESIDENCE

LOT 3 & 4, BLOCK 91

PROJECT NUMBER

2204

DRAWING TITLE:

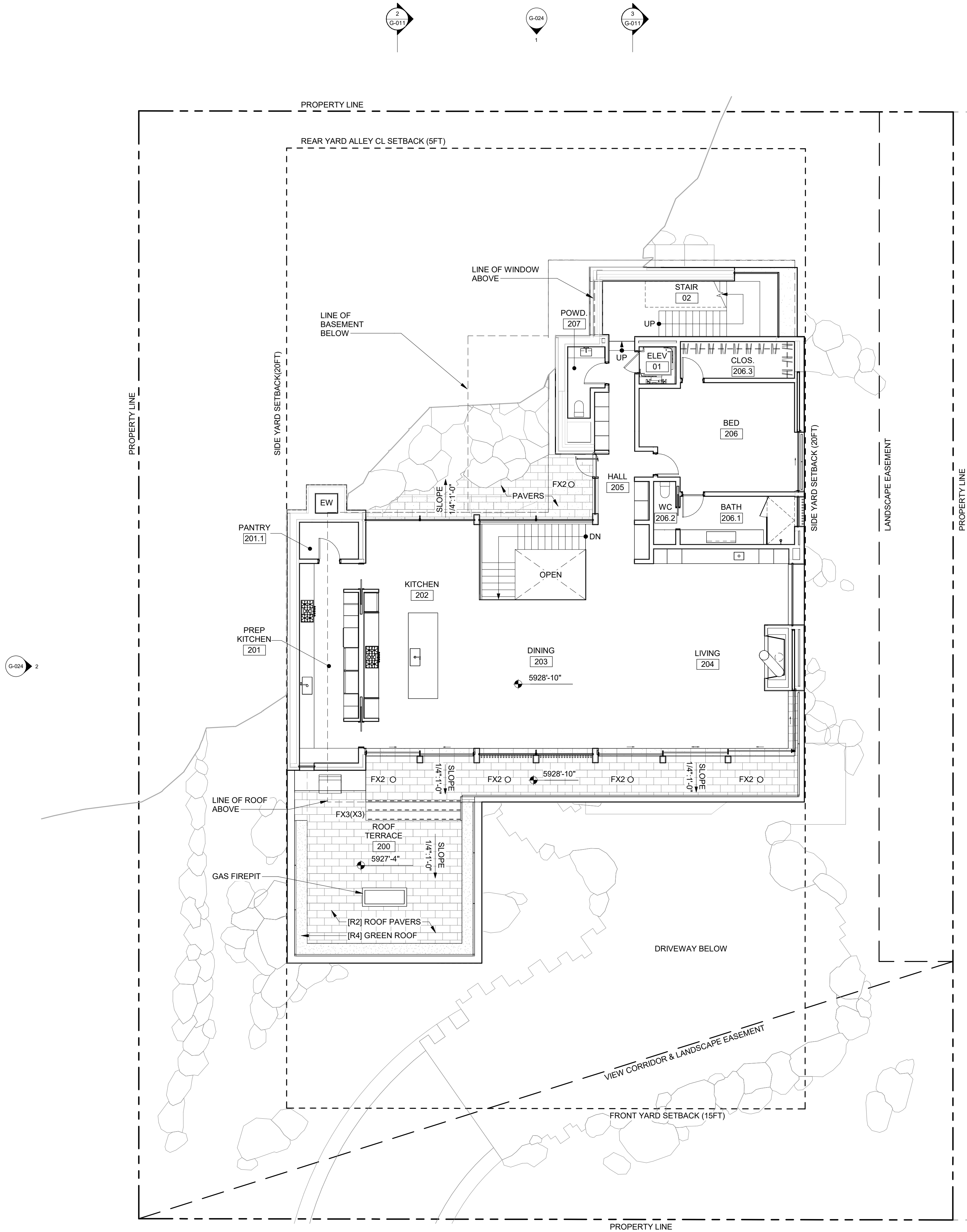
REFERENCE PLAN / LEVEL 02

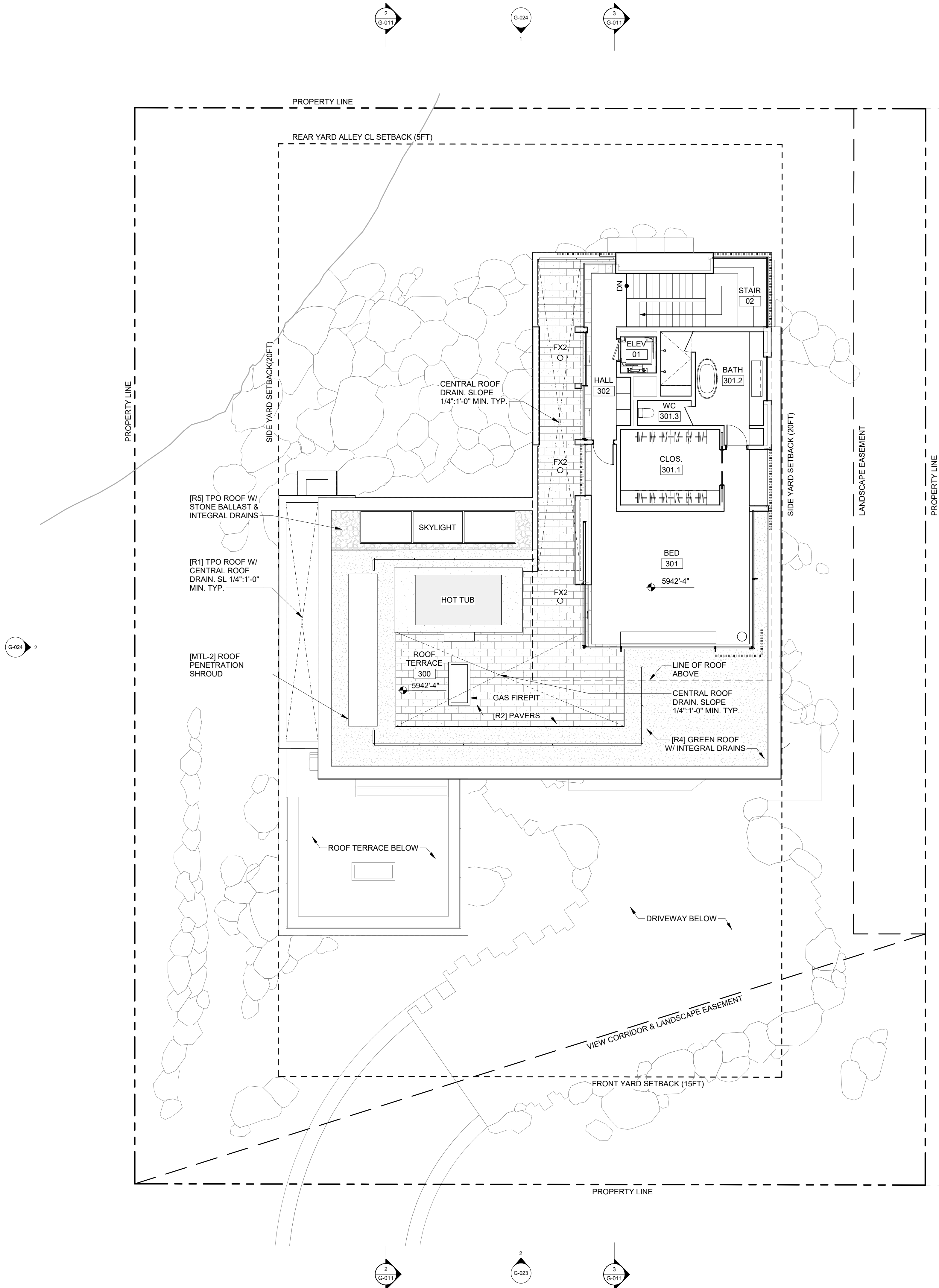
DRAWING NUMBER:

A-103

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PROPOSED GROSS FLOOR AREA - LEVEL 03

LEVEL 03 1196 SF

PROPOSED NET FLOOR AREA - LEVEL 03

LEVEL 03 1196 SF

KMC §17.08 - DEFINITIONS

FLOOR AREA, GROSS: THE SUM OF THE HORIZONTAL AREA OF THE BUILDING MEASURED ALONG THE OUTSIDE WALLS OF EACH FLOOR OF A BUILDING OR PORTION OF A BUILDING, INCLUDING STAIR TOWERS AND ELEVATORS ON THE GROUND FLOOR ONLY, AND 50 PERCENT OF ATRIUMS OVER 18 FEET PLATE HEIGHT, BUT NOT INCLUDING BASEMENTS, UNDERGROUND PARKING AREAS OR OPEN UNENCLOSED DECKS. PARKING AREAS COVERED BY A ROOF OR PORTION OF THE BUILDING AND ENCLOSED ON THREE OR MORE SIDES BY BUILDING WALLS ARE INCLUDED. FOUR PARKING STALLS FOR DEVELOPMENTS ON SINGLE KETCHUM TOWN SITE LOTS OF 5,600 SQUARE FEET IN SIZE OR LESS ARE NOT INCLUDED IN THE GROSS FLOOR AREA CALCULATION.

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KNOB HILL RESIDENCE

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SURVEYOR:

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CIVIL ENGINEER:

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LANDSCAPE ARCHITECT:

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| 2 | 06.13.25 | MODR APPLICATION |
| 1 | 01.15.25 | MODR PRE-APPLICATION |
| NO | DATE | ISSUE |

PROJECT:

KNOB HILL RESIDENCE

LOT 3 & 4, BLOCK 91

PROJECT NUMBER

2204

DRAWING TITLE:

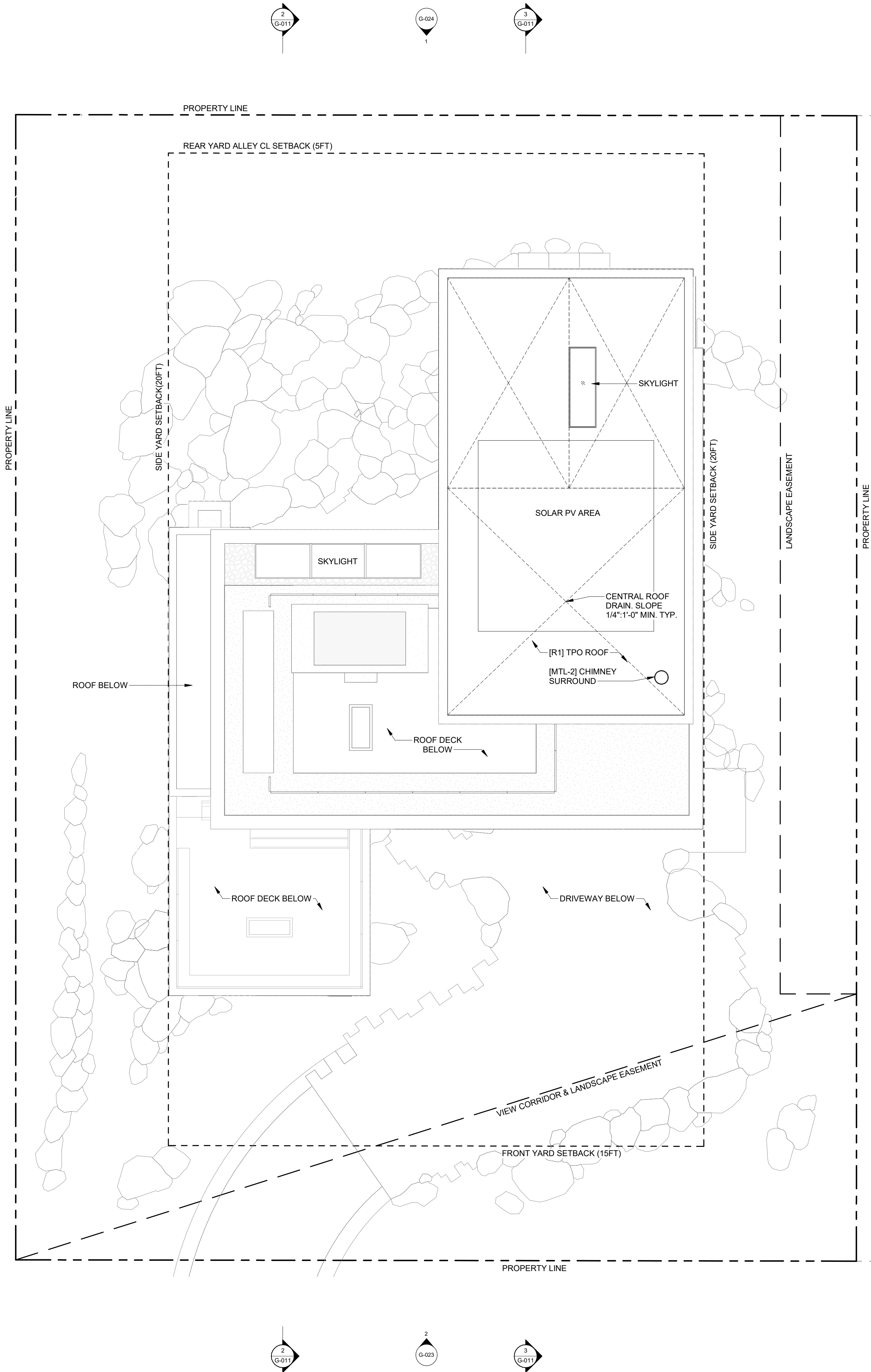
REFERENCE PLAN / LEVEL 03

DRAWING NUMBER:

A-104

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REFERENCE PLAN NOTES:

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- SEE CIVIL DRAWING FOR DRIVEWAY AND SITE DRAINAGE INFORMATION
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LANDSCAPE ARCHITECT:

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| 1 | 01.15.25 | MODR PRE-APPLICATION |
| NO | DATE | ISSUE |

PROJECT:

KNOB HILL RESIDENCE

LOT 3 & 4, BLOCK 91

PROJECT NUMBER

2204

DRAWING TITLE:

REFERENCE PLAN / ROOF

DRAWING NUMBER:

A-105

NOT FOR CONSTRUCTION

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| EXTERIOR LUMINAIRE SCHEDULE | | | | | | | | | | | | | |
|-----------------------------|--------------|--------|-----------|-----|---------|---------|----------|-----------------|-------------------------------|----------------|----------------|-------|-------|
| TYPE | DESCRIPTION | SOURCE | | | DIMMING | VOLTAGE | TOTAL VA | MANUFACTURER | | | MOUNTING | | NOTES |
| | | TYPE | LM/CCT/K | CRI | | | | BASIS OF DESIGN | | OTHERS | TYPE | DEPTH | |
| | | | | | | | | NAME | CATALOG SERIES | | | | |
| FX-1 | WALL SCONCE | LED | 1161/2700 | -- | -- | 120.00 | 12.00 | BROWLEE | 7075-08-TW-C13-27K | APPROVED EQUAL | SURFACE 6" AFF | -- | -- |
| FX2 | 2" DOWNLIGHT | LED | 667/2700 | -- | -- | 120.00 | 7.50 | USAI LIGHTING | 52RD 9 27K5 20 P1 A561 WH UNV | APPROVED EQUAL | RECESSED | -- | -- |
| FX3 | STEP LIGHT | LED | 1161/2700 | -- | -- | 120.00 | 18.00 | ALUZ | A1-ZAKY-5TN | APPROVED EQUAL | RECESSED | -- | -- |
| FX4 | MINI MARKER | LED | 1161/2700 | -- | -- | 120.00 | 4.00 | MINIMIS | M1 MP 27 BK PKMP-0115 | APPROVED EQUAL | RECESSED | -- | -- |
| | | | | | | | | | | | | | |

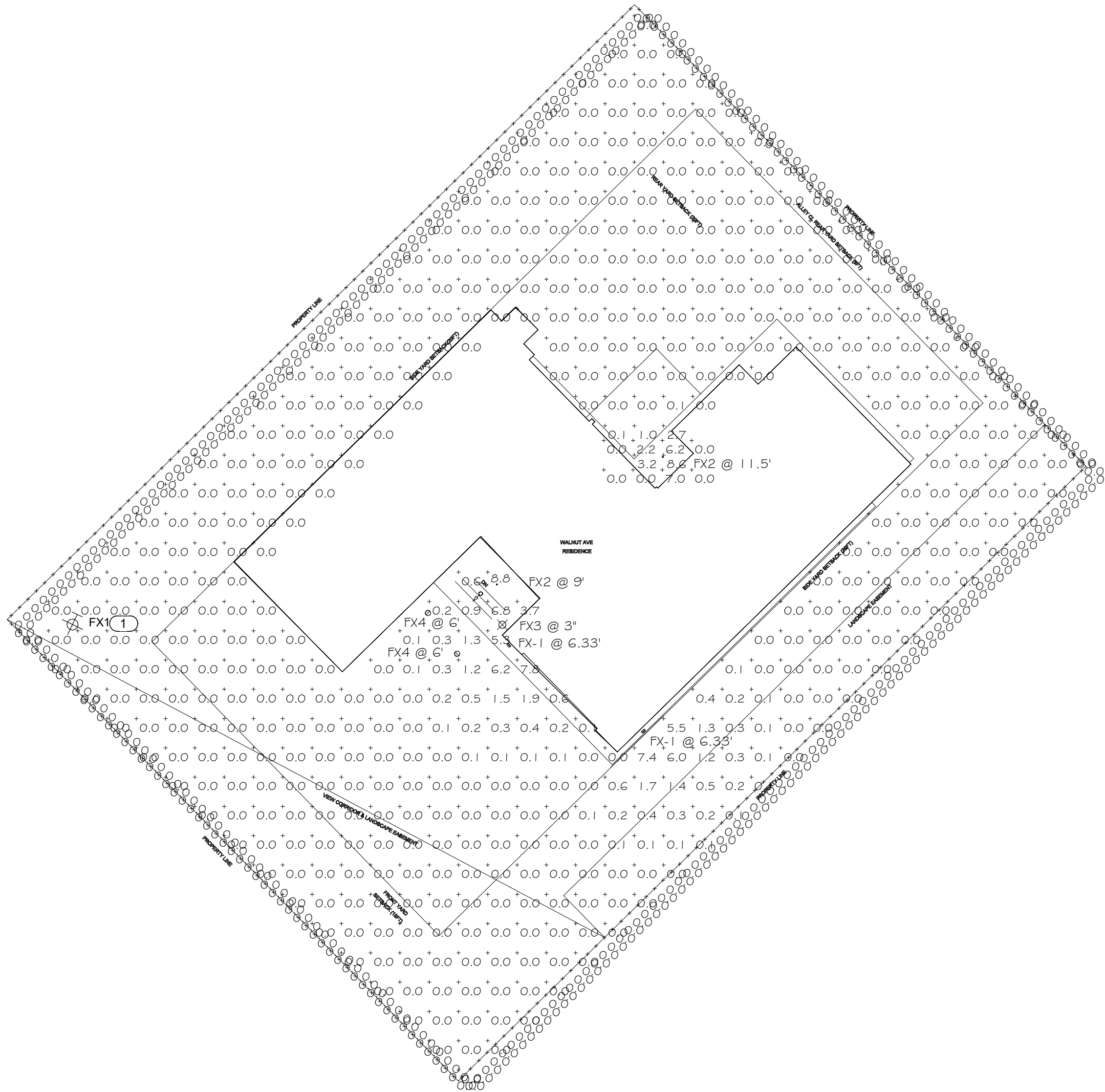
GENERAL NOTES

REFERENCE SHEET E0.1 FOR GENERAL NOTES.

GENERAL NOTES

1 FXTURE DOES NOT PROVIDE LIGHTING FOOT CANDLE AT THE GROUND

| Statistics | | | | | | |
|--------------|--------|--------|--------|--------|---------|---------|
| Description | Symbol | Avg | Max | Min | Max/Min | Avg/Min |
| 5' veret c | + | 0.0 fc | 0.0 fc | 0.0 fc | N/A | N/A |
| 5' vert a | + | 0.0 fc | 0.0 fc | 0.0 fc | N/A | N/A |
| 5' vert b | + | 0.0 fc | 0.0 fc | 0.0 fc | N/A | N/A |
| 5' vert d | + | 0.0 fc | 0.0 fc | 0.0 fc | N/A | N/A |
| Calc Zone #6 | + | 1.9 fc | 7.0 fc | 0.0 fc | N/A | N/A |
| Calc Zone #7 | + | 0.2 fc | 8.8 fc | 0.0 fc | N/A | N/A |



1 PHOTOMETRIC PLAN
E-108 NOT TO SCALE

KNOB HILL RESIDENCE

OWNER:

KNOB HILL PROPERTIES, LLC
P.O. BOX 14001-174
KETCHUM, ID 83340

PROJECT ARCHITECT:

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CIVIL ENGINEER:

GALENA-BENCHMARK ENGINEERING
P.O. BOX 733 - 100 BELL DRIVE
KETCHUM, ID 83340
TEL: 208.726.9512

LANDSCAPE ARCHITECT:

FIELD STUDIO
722 N ROUSE AVE
BOZEMAN, MT 59715
TEL: 406.551.2098

MEP ENGINEER

PROFICIENT ENGINEERING
4704 N HARLAN STREET, SUITE 620
DENVER, CO 80212
TEL: 727.779.3556



PROFICIENT
ENGINEERING

4704 N. Harlan St Suite 620
Denver, Colorado 80212
720.779.3556
Project #325045

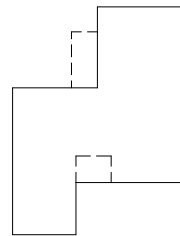
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SEAL:

07/17/2025 90% SET
NO DATE ISSUE

PROJECT:
KNOB HILL RESIDENCE
LOT 3 & 4, BLOCK 91



PROJECT NUMBER

2204

DRAWING TITLE:

PHOTOMETRIC PLAN

DRAWING NUMBER:

E-108

NOT FOR CONSTRUCTION

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TIER 2

the LittleTwos™ Pinhole High Output


2" Round Downlight - S2RD-HO

FX2


USAI®
Lighting



2" Apertures



Trimless Spackle-In - S2RDL



Millwork Knife-Edge - S2RDM

Available as a full family of downlight, adjustable and wall wash, USAI's high performance 2" aperture pinhole product line can light spaces with ceilings from 8' to 20' in height while remaining fully serviceable AND installable from below the ceiling plane.

FEATURES

- High performance pinhole with install-from-below capability
- Classic White; Dim to Warm, Dim to Warm+ LED and Color Select Tunable White color options
- Trimmed, trimless and millwork styles are compatible with sheetrock, ACT, wood/millwork, and many other ceiling materials
- Industry leading illumination and craftsmanship
- New construction and remote driver housing options for easy installation in any site condition

PERFORMANCE DATA

See Page 6 for Details

1 One Fixture Per Driver

Classic White

Dim-to-Warm and Dim-to-Warm+

Color Select Tunable White

| | | | | | |
|---------------------------|------------|------------|------------|------------|------------|
| Wattage: | 9W | 15W | 20W | 15W | 15W |
| Color Temperature and CRI | 3000K, 80+ | 3000K, 80+ | 3000K, 80+ | 3000K, 90+ | 3000K, 90+ |
| Source Lumens: | 1200 lm | 1875 lm | 2800 lm | 1100 lm | 1000 lm |
| Maximum Delivered Lumens: | 875 lm | 1350 lm | 1900 lm | 750 lm | 850 lm |

TABLE OF CONTENTS - HOW TO USE THIS SPEC SHEET

- Install from Below / Retrofit fixture ordering options - page 2
- Integral Driver fixture ordering options - page 3
- Remote Driver fixture ordering options - page 4
- Remote Driver power supplies - page 5
- Performance data - page 6
- Fixture drawings - pages 7 - 10
- Notes - pages 11 - 13

USAI LIGHTING COLLABORATORY
13 Crosby Street
New York, NY 10013
845-234-4090
showroom@usailighting.com

USAI LIGHTING HEADQUARTERS
1126 River Road
New Windsor, NY 12553
T: 845-565-8500 F: 845-561-1130
info@usailighting.com

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Revised 02/03/2025.

TIER 2

the LittleTwos™ Pinhole - S2RD-HO

2" Round Downlight with Integral Driver, Retrofit Install from Below

USAI®
Lighting

1. Specify fixture part number

| | | | | | | | | | | | | |
|--|--------------------------|------------------------------|---|--|--|---|--|---|----------------------------|---|---|--|
| S2RD | | | | P1 | | | | RT | | | | |
| Fixture Function | Flange Type* | Wattage Options | LED Color Options | Beam Options | Lens Options | Optic Media (Optional)** | Finish Options | Mounting Options | Voltage Options (Volts AC) | Dimming Driver Options | | |
| S2RD Straight baffle 2" pinhole Round Downlight | Flanged L Trimless | 9W LED 15W LED 20W LED | Classic White Light 2700K, 80+ CRI 2700K, 90+ CRI 3000K, 80+ CRI 3000K, 90+ CRI 3500K, 80+ CRI 3500K, 90+ CRI 4000K, 80+ CRI 4000K, 90+ CRI | 20° beam 25° beam 30° beam 35° beam | P1 Beam softener, provided standard | AS61 Linear Spread AK Hazeul Clear (0.3) CT25 Beam Wre, U.L.C.T.O Reduces output by 15% and shifts CCT down by ~2500 (1, 3) | WH White Matte BL Black Matte WH White Matte BL Black Matte BG Black Specular | WH White Matte BL Black Matte WH White Matte BL Black Matte RT Retrofit Install from Below * See item drawings on page 8 and table on page 12 for max ceiling thickness | 120V 277V | For use with Universal Voltage 120V - 277V D6E ESSELED-D-10K, 0.1% (3) D6F ESSELED-D-10K, 0.1% (3) D6A ESSELED-D-10K, 0.1% (3) D7A ESSELED-DAL2, 0.1% (3) D7B ESSELED-DAL2, 0.1% (3) D7C ESSELED-DAL2, 1% (3) D7D ESSELED-DAL2, 1% (3) D7E ESSELED-DAL2, 1% (3) D7F ESSELED-DAL2, 1% (3) | | |
| | | 150W LED | Dim-to-Warm & Dim-to-Warm+ 3000K, 80+ CRI 3000K, 90+ CRI 3000K, 80+ CRI 3000K, 90+ CRI | 20° beam 25° beam 30° beam 35° beam | P1 Beam softener, provided standard | AS61 Linear Spread | | | 120V | For use with 120V only D22 FRT Trimless 0-10V and Phase 2-wire, 1% (2, 3) D7A Batch Phase 2-wire, 1% (1, 3) | | |
| | | 150W LED | Color Select Tunable White* 6000K-2200K, 90+ CRI | 20° beam 25° beam 30° beam 35° beam | P1 Beam softener, provided standard | AS61 Linear Spread | Notes: 1 Not available for DM2 LED 2 Not available with USM LED 3 Not available with CS1 LED 4 Only for use with CS4 LED | | 120V 277V | For use with Color Select only D3A1 Moonlight 0-10V, 2-Channel for Color Select Tunable White only, 1% (4) D3T Moonlight DALI 0-10V, 2-Channel for Color Select Tunable White only, 1% (4) | For Lutron Athena Wireless node options, visit order table on page 3 | |
| | | | * Requires 2-channel driver | | | | | | | | * Requires 2-channel driver | |

1. Insert Flex Driver Case from Below Ceiling Plane

2. Flex Driver Case Requires 6-3/4" Plenum Height for installation

3. Bend Flex Driver Case

4. Finished Installation from Below with Integral Driver

USAI LIGHTING COLLABORATORY
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showroom@usailighting.com

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info@usailighting.com

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Revised 02/03/2025.

KNOB HILL RESIDENCE

OWNER:

KNOB HILL PROPERTIES, LLC
P.O. BOX 14001-174
KETCHUM, ID 83340

PROJECT ARCHITECT:

RO | ROCKETT DESIGN
1306 BRIDGEWAY, FLOOR 2
SAUSALITO, CA 94965
TEL: 415.289.0830

SURVEYOR:

GALENA-BENCHMARK ENGINEERING
P.O. BOX 733 - 100 BELL DRIVE
KETCHUM, ID 83340
TEL: 208.726.9512

GEOTECHNICAL ENGINEER:

BUTLER ASSOCIATES, INC.
P.O. BOX 1034
KETCHUM, ID 83340
TEL: 208.720.6432

CIVIL ENGINEER:

GALENA-BENCHMARK ENGINEERING
P.O. BOX 733 - 100 BELL DRIVE
KETCHUM, ID 83340
TEL: 208.726.9512

LANDSCAPE ARCHITECT:

FIELD STUDIO
722 N ROUSE AVE
BOZEMAN, MT 59715
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MEP ENGINEER

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Project #325045

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SEAL:

NO DATE ISSUE

PROJECT:
KNOB HILL RESIDENCE
LOT 3 & 4, BLOCK 91

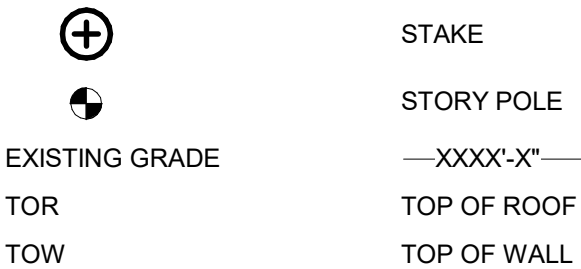
PROJECT NUMBER
2204
DRAWING TITLE:
PHOTOMETRIC CUTSHEETS

DRAWING NUMBER:

E-109

NOT FOR CONSTRUCTION

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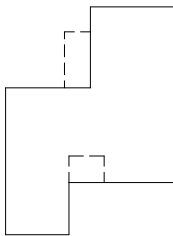


PROFICIENT ENGINEERING
4704 HARLAN STREET, SUITE 620
DENVER, CO 80212
TEL: 727.779.3556

SEAL:

| 1 | 06.13.25 | MODR APPLICATION |
|----|----------|------------------|
| NO | DATE | ISSUE |

LOT 3 & 4, BLOCK 91



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Attachment B

MO Design Review Application
&
Supplemental Materials



City of Ketchum
Planning & Building

OFFICIAL USE ONLY

File Number:

Date Received:

By:

Fee Paid:

Approved Date:

Denied Date:

By:

Mountain Overlay Design Review Application

Submit completed application and documentation to planningandbuilding@ketchumidaho.org Or hand deliver to Ketchum City Hall, 191 5th St. W. Ketchum, ID If you have questions, please contact the Planning and Building Department at (208) 726-7801. To view the Development Standards, visit the City website at: www.ketchumidaho.org and click on Municipal Code. You will be contacted and invoiced once your application package is complete.

OWNER INFORMATION

Project Name: **Knob Hill Residence**
Owner Name: **Knob Hill Properties, LLC**
Mailing Address: **P.O. Box 14001-174, Ketchum, ID 83340**
Phone: **949-554-5137**
Email: **peter@presidiovistaproperties.com**

PROJECT INFORMATION

Architect/Representative: **Ro Rockett Design**
Phone: **415-289-0830**
Mailing Address: **1306 Bridgeway, Floor 2, Sausalito, CA 94965**
Email: **zrockett@rorockettdesign.com**
Engineer of Record: **Galena Benchmark Associates**
Engineer Email: **Jeff@galena-benchmark.com**
Legal Land Description: **Ketchum Lot 3&4, Block 91**
Project Address: **Lot 3&4, Block 91**
Lot Area: **16,523sf Combined**
Zoning District: **LR**
Anticipated Use: **Single Family Residential**
Number of Residential Units: **1**

TYPE OF CONSTRUCTION

☒ New ☐ Remodel ☐ Addition ☐ Other, please explain:

TOTAL FLOOR AREA

| Proposed | Existing |
|---|-------------------------------------|
| Basement: 2,125 | N/A |
| 1 st Floor: 1,963 | N/A |
| 2 nd Floor: 3,053 | N/A |
| 3 rd Floor: 1,196 | N/A |
| Decks: N/A | N/A |
| Mezzanine: N/A | N/A |
| Total: 6,212 | N/A |
| Building Coverage: 4,775 SF 29% % | Curb Cut: 467 SF 18 % |

PROPOSED SETBACKS

Front: **15'/34'-7" PROPOSED** Side: **10'/20' PROPOSED** Side: **10'/20' PROPOSED** Rear: **5'/20'-2" PROPOSED**

ADDITIONAL INFORMATION

Building Height: **33'-6" PROPOSED(38'-6" OVERALL STEPPING UP HILLSIDE** Parking Spaces Provided: **2**
Will Fill or Excavation Be Required? **(Yes)** No
If Yes, Amount in Cubic Yards Fill: **405 cu.ft.** Excavation: **95,850 cu.ft.**
Will Existing Trees or Vegetation Be Removed? Yes **(No)**

Applicant agrees in the event of a dispute concerning the interpretation or enforcement of the Mountain Overlay Design Review Application, in which the City of Ketchum is the prevailing party, to pay reasonable attorney fees, including attorney fees on appeal, and expenses of the City of Ketchum. I, the undersigned, certify that all information submitted with and upon this application form is true and accurate to the best of my knowledge and belief.

Signature of Owner/Representative

6.13.2025

Date

MODR Application

Design Narrative

Site Design Approach & Methodology

Knob Hill Residence (Application File No. P24-087)

—

06/13/25

City of Ketchum

Planning & Building

P.O. Box 2315, 191 5th Street West

Ketchum, ID 83340

CC: Abby Rivin

—

Natural Hillside Concept, Reduction of Height and Reduction of Disturbance

With the proposed project's location at the base of Penny Mountain, landscape design and preservation of the natural hillside are key components of the project's success. As you will see in the following exhibits, any required retaining or landscape elements are intended to mimic the natural features of Penny Mountain. The goal of this approach is to seamlessly blend the project into the hillside and minimize the disturbance required to build the project.

Upon receiving feedback in our Pre-Application Hearing of 2/11/25 we have made the following adjustments to the design to significantly improve the project and its compliance with Mountain Overlay District design guidelines:

- **Additional Reduction in Site Disturbance**
 - House has been moved down the hill and closer to Walnut Ave in order to increase our undisturbed area on the hillside above the house. We have moved the house 6' toward the street and are now as close to the street as our adjacent neighbor at 600 Walnut Ave. This adjustment has increased our total site undisturbed area by 3% - or from 1,660 sf to 1,710 sf.
- **Minimized Driveway size**
 - The building height as previously presented at the Pre-App hearing was such that it exceeded the Fire Department's 'Grade Plane' as defined by the 2018 IFC which required us to include a large parking area on property to accommodate an Aerial Apparatus Truck. As such, this large parking area increased our driveway length, width and surface area. We have adjusted the height and location of the house such that we are below the FD "Grade Plane" and are no longer required to provide this fire truck parking space. This adjustment has reduced our driveway length by 21', has reduced the width at previous apparatus zone by 6' and has reduced the overall driveway surface area by 2%.
- **Reduced the home's visual presence on the hill**
 - Moving the house closer to the road has increased our undisturbed area. It has also reduced our driveway length. This move has also allowed us to lower the height of the structure below the Grade Plane allowing us to minimize the overall size and impact of the driveway. Combined, these efforts bring the house to a lower elevation and 6'

closer to the road. All told, the house becomes less of a presence on the hillside and preserves more undisturbed area in total.

Exhibit 1
Project Location:

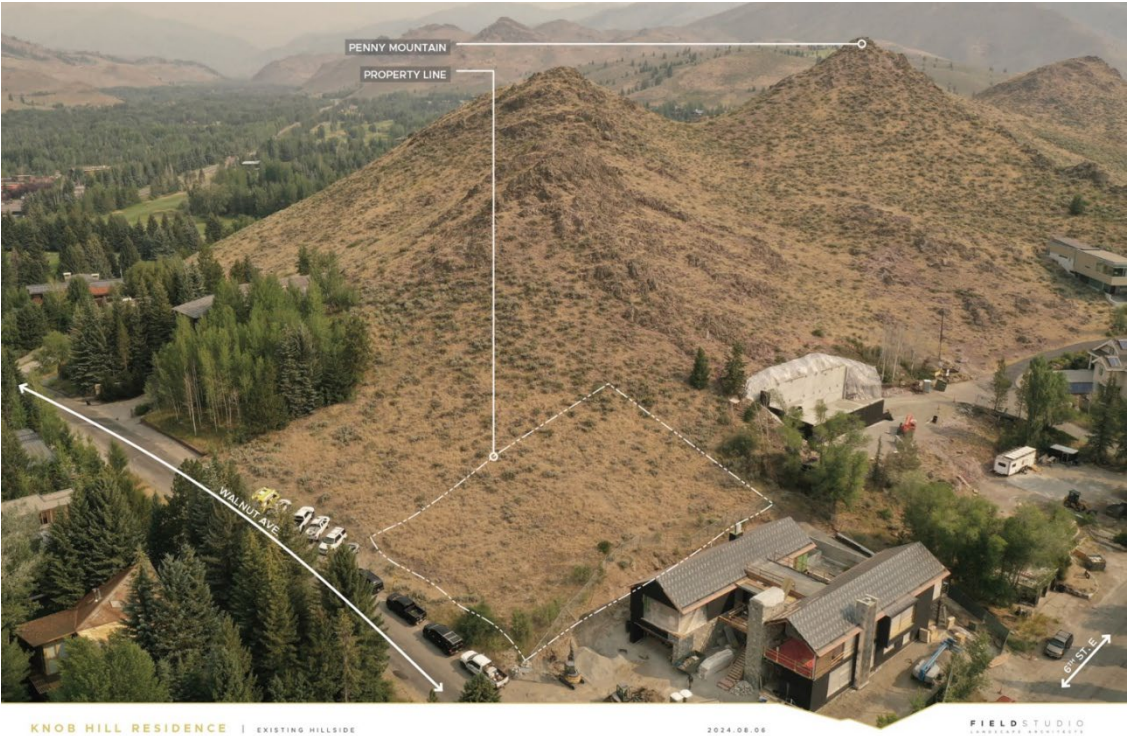


Exhibit 2
Natural Hillside Features:



Exhibit 3

Design Concept:



Building Siting & Vehicular Access

Safety and integration into the hillside were primary factors under consideration as the design team set out to site the building and provide vehicular access. Using the existing topography of the site and entering as high as possible on Walnut Avenue, the driveway gently slopes up along the existing contours to provide direct access to a garage. This configuration allows safe vehicular egress from the property, accommodates the required fire safety apparatus, and avoids large collections of steep retaining structures that would otherwise be required.

The proposed driveway and garage location is the result of multiple internal studies, planning department feedback, and specific requirements outlined by the fire department. The exhibits below show notable revisions made by the design team based on planning department feedback, including but not limited to a reduction in the size of the garage from 3-cars to 2-cars, the relocation of the garage to opposite side of the property to accommodate a shorter driveway, the length and width of the driveway were reduced to limit site coverage, and the inclusion of a 26ft x 50ft area for required fire apparatus access.

Based on our MODR Pre-application hearing, the design has also shifted the house 6ft towards Walnut Avenue and lowered the house by 6in, further reducing lot disturbance and the length of the driveway.

Exhibit 4
5/29 - Initial Driveway & Garage Configuration:

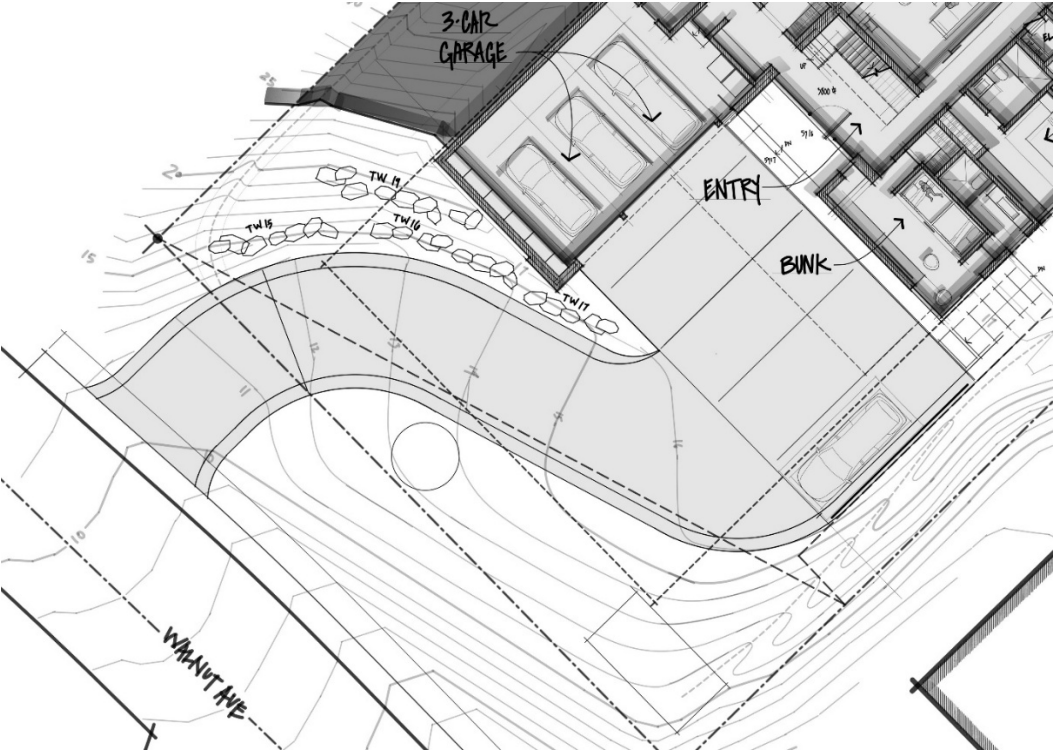


Exhibit 5
6/13 - Fire Apparatus Requirements:

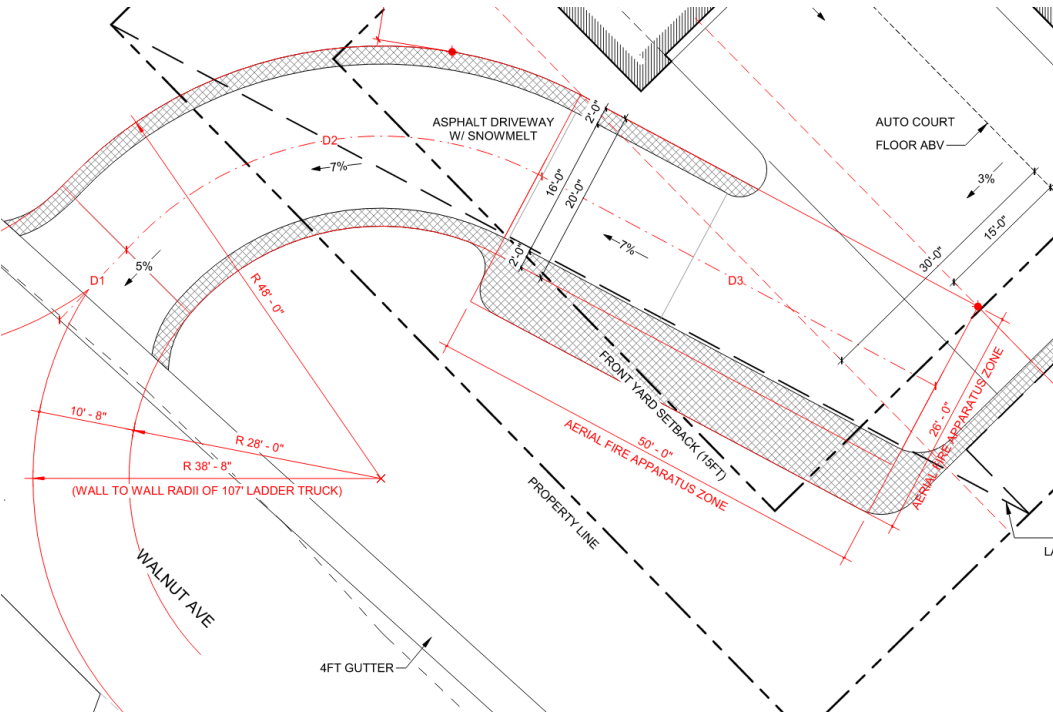


Exhibit 6
8/16 - Alternate Driveway & Garage Configuration:

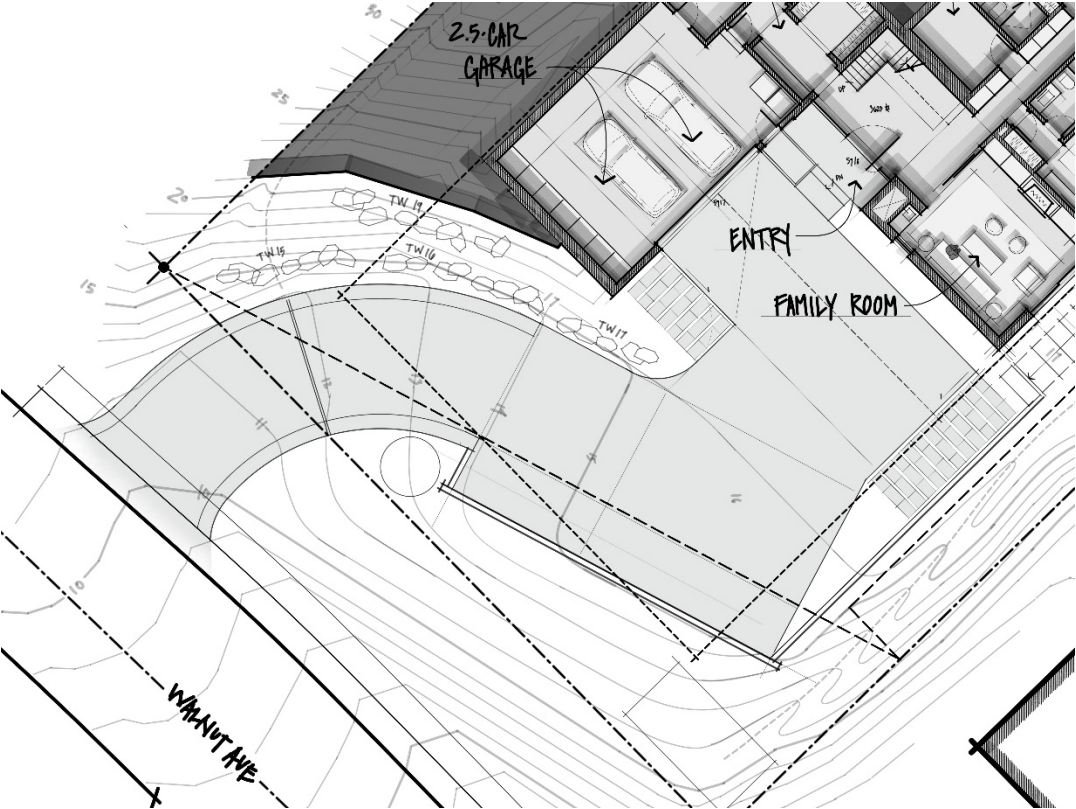


Exhibit 7
2/11 Previous Driveway & Garage Configuration:

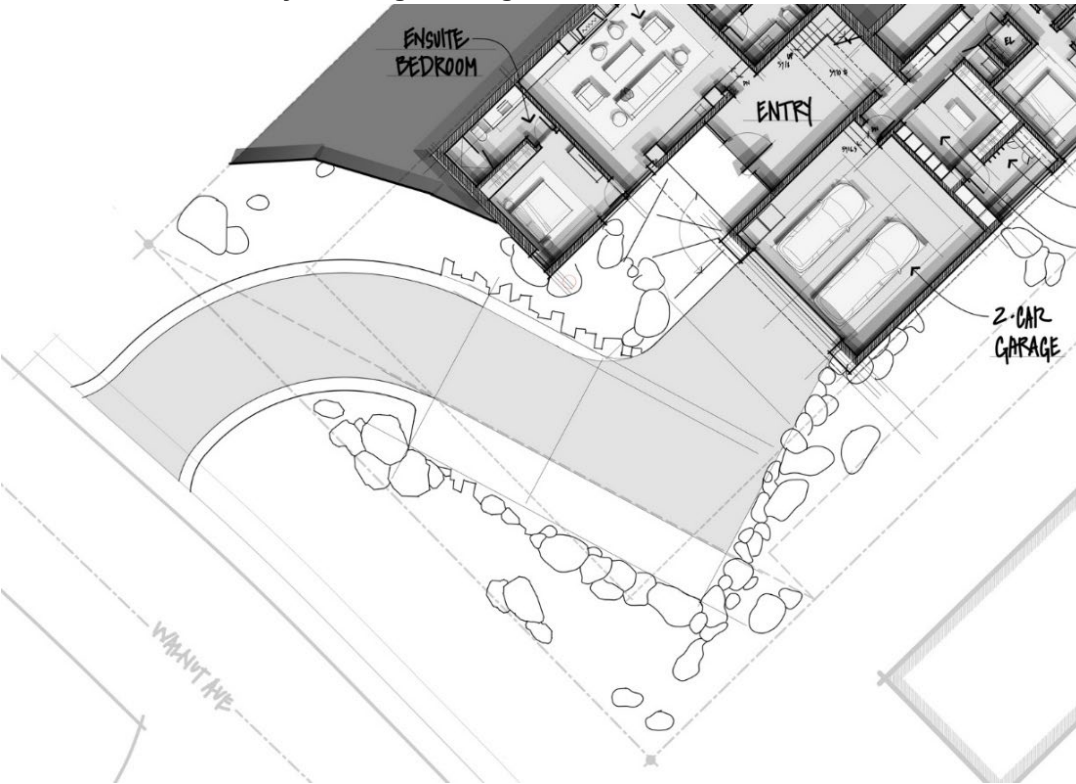
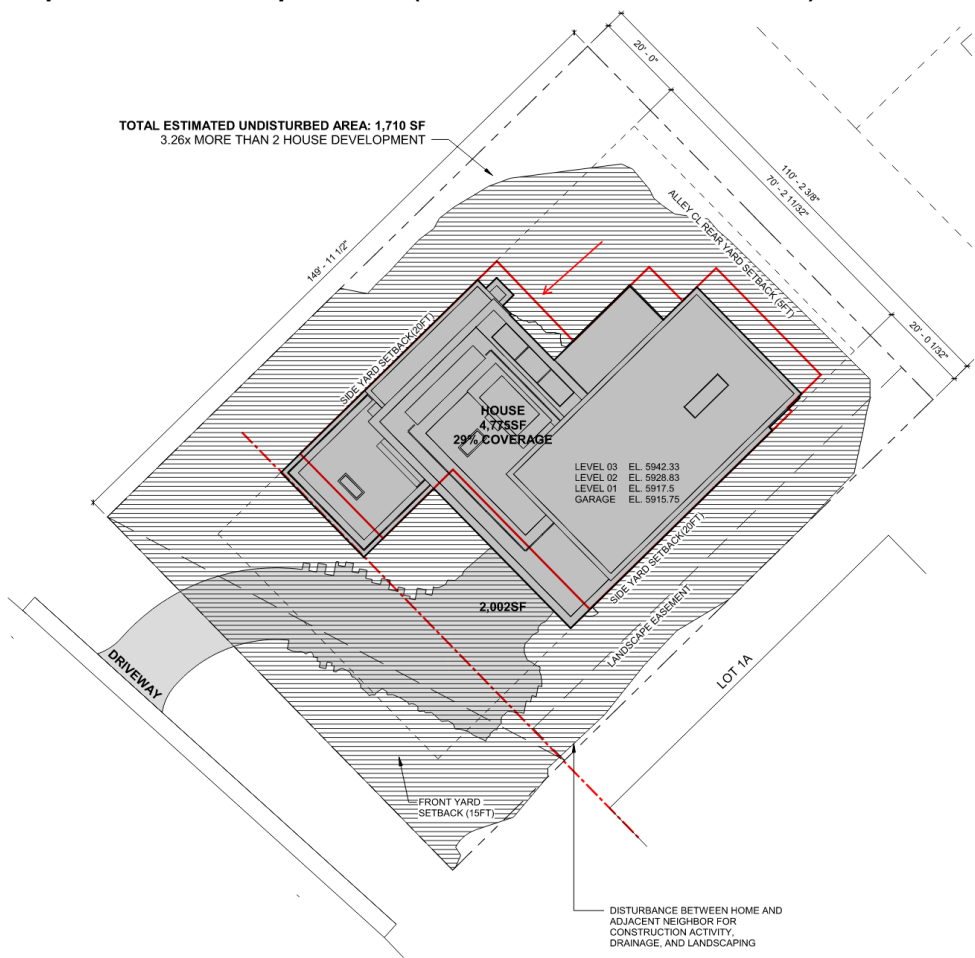


Exhibit 8
Proposed Driveway & Garage Configuration:



Exhibit 9
Proposed House Footprint Shift (6in lower & 6ft towards Walnut):



Minimizing Hillside Disturbance

The design team has shown in our drawing package (Sheet G-020) that combining lots 3 & 4 for the development of a single home, rather than two homes, will increase the overall undisturbed hillside area by over 3x. The total amount of undisturbed hillside has also increased dramatically over the course of several months while working with the planning department. Compared to the initial plans for the residence, which included a larger outdoor program at the rear of the house, the proposed design limits rear yard access to a small patio and outdoor spa while bringing natural light and ventilation into an otherwise opaque side of the house. In the following exhibits you will see a progression that followed guidance provided by the planning department and preserves more of the natural hillside.

Exhibit 10

5/29 - Initial Rear Yard Landscape Design:

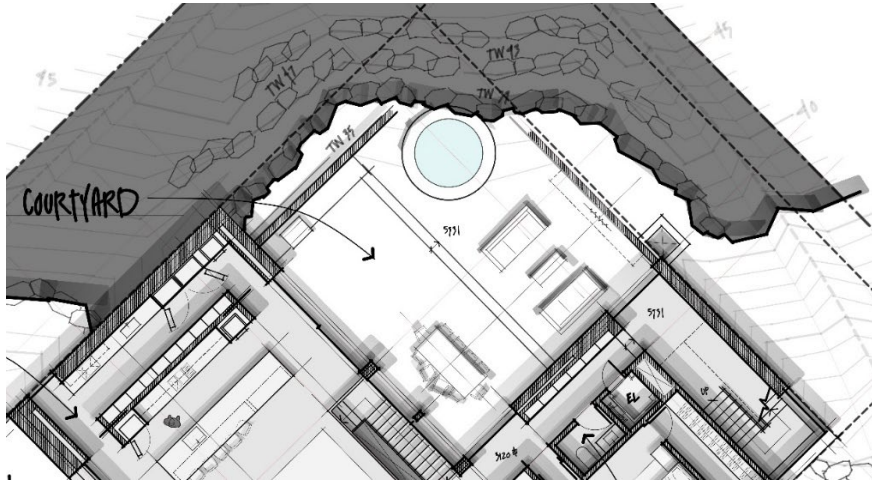


Exhibit 11

8/16 - Revised Rear Yard Landscape Design:

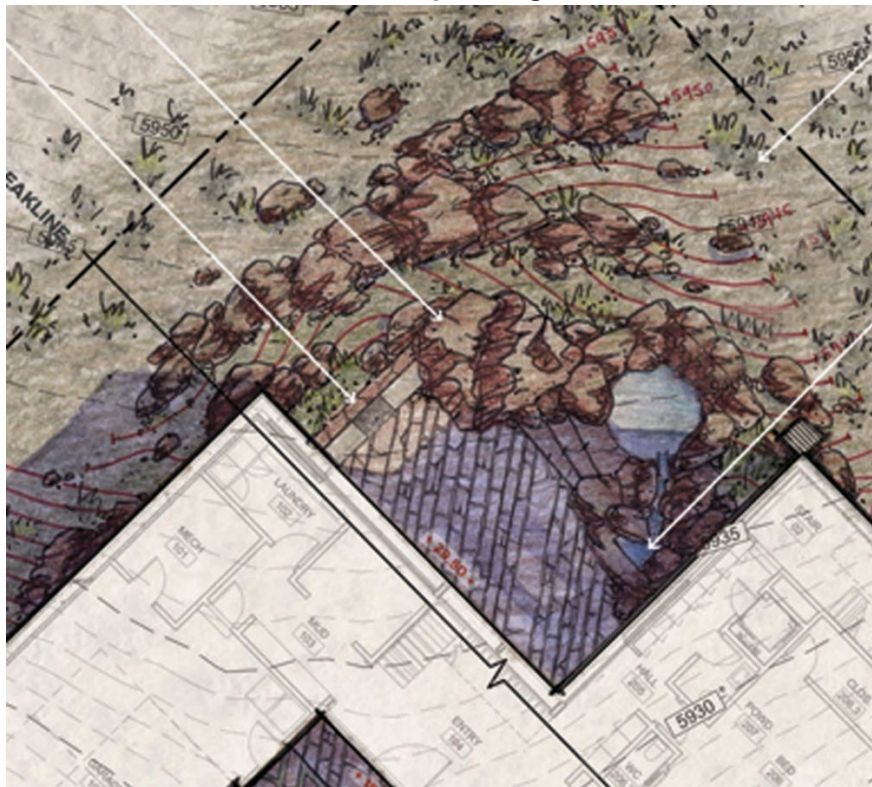


Exhibit 12
2/11 Previous Rear Yard Landscape Design:

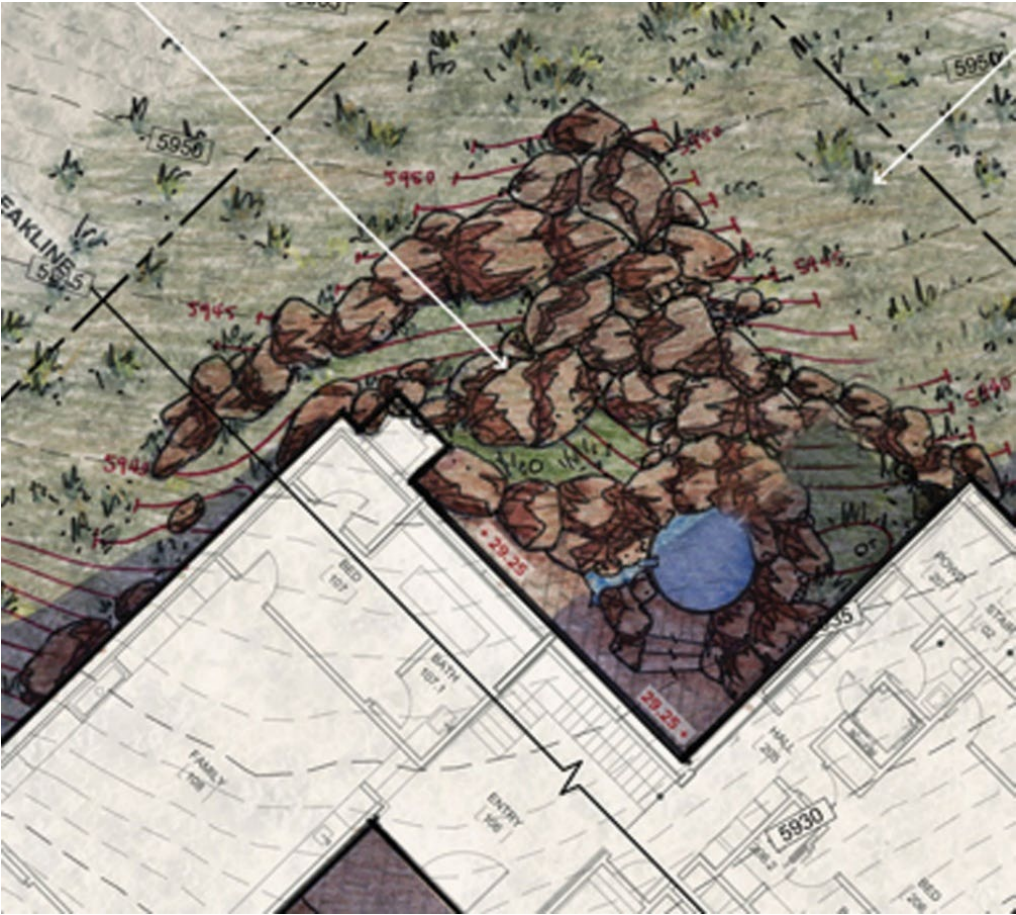


Exhibit 13
Proposed Rear Yard Landscape Design:



Compatibility of Design

The design team has also carefully considered the surrounding neighborhood context while developing the proposed project. The design incorporates a similar mix of materials (natural wood and stone), massing (two-story volumes stepping back and up the hillside), and architectural features (timber columns and overhangs). With the feedback of the planning department, the design team has introduced undulation and relief along the façade, maintained continuity of materials, and created a building character that aligns with both the requirements and the spirit of the Mountain Overlay Design Review District. We believe the proposed project will blend seamlessly into the area and will not have an adverse impact.

Exhibit 8

600 Walnut Avenue:



Exhibit 9

760 Walnut Avenue:



Exhibit 10

711 Walnut Avenue:



Exhibit 11

691 Spruce Avenue:



Exhibit 12:
880 Walnut Avenue:



Exhibit 13:
900 Walnut Avenue:



Exhibit 20:

Proposed Design Bird's Eye View:



Exhibit 21:

Proposed Design Street View:



Building Height

The design team has also carefully considered the surrounding neighborhood context while defining the height of the building. We have made a proactive decision to keep the height 1'-6" lower than the maximum façade and overall building height allowed; 33'-6" rather than 35'-0" and 38'-6" rather than 40'-0" respectively.

Based on our MODR Pre-application hearing, the design has also lowered the house by 6in.

Exhibit 21:

Proposed Building Elevation:



Conclusion

Thank you for reviewing our design narrative. We hope the design team's efforts to increase the undisturbed hillside area, provide direct and safe vehicular access, and complement the surrounding context were clearly communicated. The planning department has positively influenced the proposed design with respect to the Mountain Overlay District's guidelines, especially in comparison to our initial intentions for the project.

We look forward to discussing our project further at our upcoming P&Z hearing.

MODR Application

Mountain Overlay Design Review Standards Narrative

Knob Hill Residence (Application File No. P24-087)

—

6/13/25

City of Ketchum
Planning & Building
P.O. Box 2315, 191 5th Street West
Ketchum, ID 83340

CC: Abby Rivin

—

Mountain Overlay Design Review Criteria & Standards

17.104.070.A.1: There shall be no building on ridges or knolls which would have a material visual impact on a significant skyline visible from a public vantage point entering the City or within the City. "Material", as the term is used herein, shall be construed in light of the magnitude of the negative impact on the objectives of this section;

Response: *As shown on sheet G-025, the project is not sited on a ridge or knoll that would have a material visual impact on a significant skyline visible from a public vantage point entering or within the city.*

17.104.070.A.2: Building, excavating, filling and vegetation disturbance on hillsides which would have a material visual impact visible from a public vantage point entering the City or within the City is minimized. Material, as the term is used herein, shall be construed in light of the magnitude of the negative impact on the objectives of this Ordinance.

Response: *As shown on sheet G-025, the project size or disturbance is not located in a way that would have a material visual impact on a significant skyline visible from a public vantage point entering or within the city.*

17.104.070.A.3: Driveway standards as well as other applicable standards contained in Street Standards Chapter 12.04 are met.

Response: *As shown on sheet C-1.0, the proposed driveway improvements comply with all applicable standards for a private driveway specified in Ketchum Municipal Code §12.03.030.L.*

17.104.070.A.4: All development shall have access for fire and other emergency vehicles to within one hundred fifty feet (150') of the furthest exterior wall of any building.

Response: *As shown on sheet EXH, sufficient access is provided for fire and other emergency vehicles to reach within 150 feet of the furthest exterior wall of the building.*

17.104.070.A.5: Significant rock outcroppings are not disturbed.

Response: *There are no significant rock outcroppings within the property boundary of the subject property. Rock outcroppings further up the hillside are not blocked from view by the proposed residence.*

17.104.070.A.6: International Building Code (IBC) and International Fire Code (IFC) and Ketchum Fire Department requirements shall be met.

Response: *The project will comply with the 2018 International Residential Code, the 2018 International Fire Code, all local amendments specified in Title 15 of Ketchum Municipal Code, and Ketchum Fire Department requirements.*

17.104.070.A.7: Public water and sewer service comply with the requirements of the City.

Response: *As shown on C1.0 of the project plans, the project proposes connecting to the municipal water and sewer systems from existing lines within Walnut Ave. All requirements and specifications for the water and sewer connections set by the Utilities Department will be met.*

17.104.070.A.8: Drainage is controlled and maintained to not adversely affect other properties.

Response: *Pursuant to KMC §17.96.060.C.1, all storm water drainage shall be retained on site. Drainage improvements are specified on Sheet C1.0 of the project plans. The drainage improvements include the installation of a trench drain at the driveway. A combination of drywells and catch basins will be installed to collect stormwater from the rest of the property.*

17.104.070.A.9: Cuts and fills allowed for roadways shall be minimized; lengths of driveways allowed shall be minimized; all cuts and fills shall be concealed with landscaping, revegetation and/or natural stone materials.

Revegetation on hillsides with a clear zone of thirty feet (30') around all structures is recommended. Said clear zone shall include low combustible irrigated vegetation with appropriate species, on file with the Ketchum planning department. Revegetation outside of this clear zone should be harmonious with the surrounding hillsides.

Response: *The driveway accesses the site as high on Walnut Ave as possible to allow a more direct approach onto the site which results in less cut and fill as opposed to having a driveway perpendicular to Walnut Ave and further south on the subject property. Furthermore, the driveway follows the existing contours of the site to further limit cut and fill.*

The landscape plan proposes a variety of trees, shrubs, grasses, and boulders that will conceal any proposed cuts and fills and blend the proposed project into the native hillside landscape.

17.104.070.A.10: There are not other sites on the parcel more suitable for the proposed development in order to carry out the purposes of this Ordinance.

Response: *The location of the proposed residence allows for the building to be tucked into the hillside and step up with the cross slope, resulting in the project not having a material visual impact.*

17.104.070.A.11: Access traversing 25% or greater slopes does not have significant impact on drainage, snow and earth slide potential and erosion as it relates to the subject property and to adjacent properties.

Response: *A majority of the driveway traverse sections of the property over 25% slope. The proposed driveway access does not have significant impact on drainage, snow and earth slide potential and erosion on the subject property and adjacent properties.*

17.104.070.A.12: Utilities shall be underground.

Response: *The utility improvements are indicated on Sheet C1.0 of the project plans. All utility improvements will be underground.*

17.104.070.A.13: Limits of disturbance shall be established on the plans and protected by fencing on the site for the duration of construction.

Response: *Sheet L-2.00 shows the proposed limits of disturbance on the subject property for the proposed residence. A construction management plan that addresses all construction activity standards specified in Ketchum Municipal Code §15.06.030 will be submitted with the building permit application.*

17.104.070.A.14: Excavations, fills and vegetation disturbance on hillsides not associated with the building construction shall be minimized.

Response: *The project minimizes excavation and disturbance on the site not associated with building construction as seen on Sheet L-2.00. The proposed cut and fill quantities are specified on Sheet C1.0. The total estimated volume of the proposed cut is 3,550 cubic yards. The estimated proposed fill comes out to 405 cubic yards. Areas disturbed will be revegetated with native plantings upon completion of construction.*

17.104.070.A.15: Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.

Response: *No significant landmarks have been identified on-site. The significant landmark uphill of the property will not be negatively impacted by the proposed development.*

17.104.070.A.16: Encroachments of below grade structures into required setbacks are subject to subsection 17.128.020.K of this title and shall not conflict with any applicable easements, existing underground structures, sensitive ecological areas, soil stability, drainage, other sections of this Code or other regulating codes such as adopted International Code Council Codes, or other site features concerning health, safety, and welfare.

Response: *This standard is not applicable as the project does not propose below-grade structures that encroach into required setbacks.*

BUTLER ASSOCIATES, INC.

GEOTECHNICAL & CIVIL ENGINEERING & CONSULTING

P.O.B. 1034

Ketchum, Idaho 83340

Phone: 208.720.6432

Email: svgeotech@gmail.com

Knob Hill Properties, LLC
PO Box 14001-174
Ketchum, ID 83340
c/o peter@presidiovistaproperties.com

January 6, 2023

RE: GEOTECHNICAL REPORT

Proposed Knob Hill Properties, LLC Residence
Lots 3 and 4, Block 91, Ketchum Townsite
Located on Walnut Ave
Lot 3-RPK00000910030
0.189 acres
Lot 4-RPK0000091004A
0.189 acres
Ketchum, Idaho

Dear Knob Hill Properties,

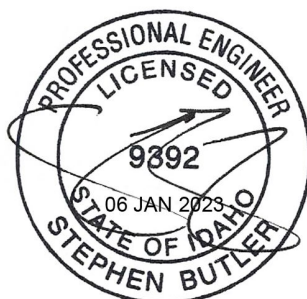
I have completed the authorized geotechnical investigation and report for your proposed residence on Lots 3 and 4, Block 91, Ketchum Townsite located on Walnut Avenue in Ketchum, Idaho. The work was authorized by the signed proposal dated December 11, 2022.

This report summarizes the results of my field and laboratory testing and presents my geotechnical engineering opinions and recommendations. **It is my opinion that the site is suitable for the proposed residence excavated into the existing slope supported by continuous and spread footings, retaining walls and slab-on-grade foundations constructed on an approved structural fill foundation building pad constructed on an approved native subgrade excavated into the existing slope.** I am providing the recommendations in this report for the preparation of the subgrade, structural fill building pad, foundation design, lateral loading, foundation drainage system, surface grading and drainage and general radon venting concepts.

I recommend that this office be retained to provide observations for the construction of the structural fill foundation building pad, slab-on-grade construction, foundation drainage system, structural backfill to support exterior hardscapes and any other recommendations presented in this report that are incorporated into the project design. This work will be performed on a time and material basis and is not included in this scope of services. A copy of this geotechnical report should be incorporated into the project construction documents.

I appreciate this opportunity of working with you on this project. Please call me if you have any questions or comments.

Sincerely,
Steve Butler, P.E.



GEOTECHNICAL REPORT

Proposed Knob Hill Properties, LLC Residence
Lots 3 and 4, Block 91, Ketchum Townsite
Located on Walnut Ave
Ketchum, Idaho

Butler Associates, Inc.
P.O. Box 1034
Ketchum, Idaho 83340
January 6, 2023

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INTRODUCTION

This report represents the results of the soil and foundation engineering evaluation for the proposed Knob Hill Properties, LLC residence on Lots 3 and 4, Block 91, Ketchum Townsite located on Walnut Avenue in Ketchum, Idaho. The *Vicinity Map* shows the general location of the proposed project site.

The purpose of this evaluation was to assess the surface and subsurface soil and water conditions to prepare geotechnical engineering opinions and recommendations for the construction of the proposed Knob Hill Properties, LLC residence. Before the subsurface investigation I reviewed the geotechnical reports for several projects located just west and east of the project and geologic data pertinent to the site and general area. I performed a subsurface investigation by excavating six test pits at the site using a track mounted excavator. The soil and rock encountered in the test pits were visually identified and logged by a geotechnical engineer according to the Unified Soil Classification System and used to prepare this final report.

PROPOSED PROJECT

I understand that the proposed project will probably consist of a two story single family, concrete, steel and wood frame single family residence with an attached garage excavated into the existing slope supported by continuous and spread footings, retaining walls and slab-on-grade construction. The garage will be supported by slab-on-grade construction and accessed from a new driveway commencing at Walnut Avenue. The residence will be served by the Ketchum Utility Department.

The primary views from the site are the Wood River Valley and Boulder Mountains to the north, Pioneer Mountains to the east, and Bald Mountain to the south and west.

According to the Blaine County Parcel Information Map the property is generally “rectangular shaped” and totals approximately 0.378 acre in size. Lots 7 & 8, Block 91, Ketchum Townsite borders the site to the north, Lot 1A, Block 91, Ketchum Townsite to the east, Walnut Avenue to the south and Lot 1, Block 92, Ketchum Townsite to the west.

FIELD EXPLORATION

Six test pits were excavated and observed at the site on January 3 using a track-mounted excavator. The test pits were excavated up to 5.8 feet below existing grade and terminated after meeting refusal in bedrock. The *Test Pit Site Plan Photo 1* shows the existing site conditions and test pit locations.

The soils in each test pit were evaluated and the soil profiles logged in the field by a geotechnical engineer in accordance with the Unified Soil Classification System (*USCS*). The *Test Pit Site Plan Photos* and *Test Pit Logs* are presented on pages 12-14 and 15-20, respectively. The *USCS* chart on page 21 should be used to interpret the terms on the test pit logs in this report.

At the conclusion of the subsurface evaluation, the test pits were loosely backfilled to match the existing ground surface. Any of the test pits located beneath areas proposed for foundations, terraces, walkways or driveways will need to be excavated and backfilled with structural fill in accordance with the *Site Preparation* section of this report.

SUBSURFACE CONDITIONS

The general soil profiles encountered in the test pits revealed up to 4.8 feet of native silty clay, trace-little sand, gravel and roots (topsoil) overlying native, brown, weathered, fractured andesite bedrock up to 5.8 feet below existing grade. The test pits were terminated after reaching refusal in the native bedrock and due to consistency of the rock between the test pits and the consistency of the bedrock with the deep excavation on the project directly to the east of the site. Groundwater was not encountered in any of the test pits although I do anticipate subsurface runoff at the soil/bedrock interface during the spring snowmelt. Following the completion of the subsurface investigation the test pits were loosely backfilled and graded close to existing grade.

The geology of this area is mapped on the "Geologic Map of the Hailey Quadrangle" as Tla Latite and hornblende andesite bedrock. The native surficial silty clay soil is the result of the overlying bedrock slopes weathering and the resultant soils being gravity deposited downslope.

OPINIONS AND RECOMMENDATIONS

General

It is the opinion of this office that the site is suitable from a geotechnical standpoint for the proposed development of the single family residence attached garage excavated into the existing slope supported by an approved weathered bedrock subgrade or a free-draining structural fill foundation building pad constructed on an approved native subgrade. Due to the potential for surface and subsurface flows from the overlying slope impacting the foundation I recommend a groundwater cutoff trench foundation system be installed to intercept subsurface runoff and direct it downslope of the structure before it impacts the foundations.

All structural fill to be placed for the foundation building pad, exterior terraces, walkways and driveways should be approved native or imported sand and gravel soils. The excavated pulverized bedrock could possibly be used for structural or non-structural backfill depending on the gradation of the material and the percentage of fines. All structural fill should be placed as outlined in the *Structural Fill* section of this report.

The recommendations contained in this report reflect my understanding of the existing surface and below grade conditions and reflect a straight-line interpolation and extrapolation of the subsurface conditions between and beyond test pit location. However, the soil conditions may vary at the proposed site. The various soil conditions will not be known until the foundation excavation is complete and may cause changes to construction plans and/or costs.

Subgrade Preparation & Structural Fill Foundation Building Pad

Following are site preparation recommendations to be completed prior to approving the subgrade for footings and the construction of the structural fill foundation building pad to support the foundation:

1. All test pits should be accurately located in the field prior to commencing with the excavation. Any test pit that is located beneath a proposed footing, slab-on-grade, terrace or walkway adjacent to the structure should be excavated and backfilled with structural fill in accordance with this report. This procedure should help reduce local settlement. The test pit locations are shown on the *Test Pit*

Site Plan Photo 1.

2. The building footprint, exterior terraces, walkways and limits of disturbance should be stripped of the surficial silty clay to expose the native undisturbed bedrock. The excavated fine grain soils should be stockpiled as used for non-structural landscaping.
3. The excavation to bottom of the footing should be completed to expose an undisturbed weathered bedrock subgrade. Any isolated areas of silty clay exposed at the footing elevation should be over-excavated and backfilled with approved imported structural fill.
4. To create a level foundation building pad the native fractured andesite bedrock subgrade should be over-excavated several inches and backfilled with imported 1" fractured washed gravel. The gravel will also enhance the foundation drainage system and minimize using extra concrete to fill any voids in the fractured bedrock. All structural fill should be placed as outlined in the *Structural Fill* section.
5. After this office has approved the native bedrock subgrade and/or imported gravel structural fill building pad it will approved for footings.
6. Prior to installing the free-draining structural fill foundation building pad the cutoff trench foundation system should be installed as described in the next section.

Cutoff Trench Foundation Drainage System

To intercept subsurface runoff that could impact the crawlspace or slab-on-grade foundations I recommend installing a cutoff trench foundation drainage system outside the upslope side of all footings to intercept and direct groundwater by gravity to drywells located downslope of the structure. The following are construction details of the cutoff trench drainage system:

1. A 12" wide trench should be excavated outside the upslope edge of the upslope footings.
2. The trench should be horizontally offset from edge of the footing by at least 12".
3. The high point of the trench should be a min. 6" below the bottom of footing at the midpoint of the foundation length and be sloped at min. 1% around each side of the building.
4. The trench should be lined with a 4.0 oz., non-woven filter fabric before installing a 4" perforated pipe and backfilled with imported, washed 2" rounded drain rock. See the *Cutoff Trench/Building Pad Drainage System Profile* and *Cutoff Trench Drainage System Concept Plan* for details.
5. Once the trenches reach the downslope end of the structure the 4" perforated pipes should be connected to a 6" solid PVC pipe that is terminated in drywells located downslope of the structure. Runoff from downspouts and catch basins can also be connected to the solid 6" pipe downslope of the cutoff trench. **Do not connect downspouts to the perforated pipe in the cutoff trenches.**
6. Footing drains are not required for footings adjacent to cutoff trenches when installing washed fractured or rounded drainrock over the trench from bottom of footing to the top of footing.
7. This office will work with the general contractor to determine the cutoff trench alignments once the

excavation is completed to bottom of footing.

8. The drywell locations that the cutoff trenches terminate in should be coordinated with the landscape architect.
9. It is important that the elevation of the drywell cast iron grate is at least 1 foot below the lowest footing to minimize the chance of groundwater back-flowing into the foundations.
10. A surface swale should be created from the drywell grates to the borrow ditch in case the drywell overflows.
11. Two drywells should be installed (one on each side of the residence) for the cutoff trench system to terminate in. This will provide a back-up drywell in case one of the solid drainlines from the cutoff trench to the drywells gets crushed or clogged.
12. See *Storm Water Drywell Profile* for details. The size of the drywell can be calculated by this office at your request.
13. The cutoff trench should be **mutually exclusive** of the radon system piping.

Structural Fill

Structural fill for the foundation building pad, retaining walls, walkways, exterior terraces and the driveway shall meet the following recommendations:

1. Structural fill should consist of approved imported washed fractured or rounded gravel, crushed sand and gravel (roadmix) or pitrun sand and gravel classified as GW, GM, GP, SW, SM, or SP as described in the Unified Soil Classification System chart presented after the test pit logs.
2. If fine grain soils are used as non-structural fill against the foundation walls imported 1"-2" dia. washed gravel should be installed from bottom of footing to the top of footing and covered with a layer of 4.0 oz., non-woven filter fabric to assist in subsurface runoff in reaching the footing drain and being directed to a drywell as shown on the *Cutoff Trench/Building Pad Drainage System Profile*.
3. Granular structural fill should have no more than 10% passing the No. 200 sieve and a cobble size of no larger than 8 inches.
4. Structural fill should be placed in uniform, maximum 10-inch deep, loose lifts and compacted to a minimum of 95% of the maximum dry density of the soil, as determined by ASTM D 698 (Standard Proctor). This assumes that heavy compaction equipment such as smooth-drum, vibratory rollers with a minimum drum weight of 5 tons is used. The depth of each lift could be adjusted in the field based on the material and size of compaction equipment.
5. The maximum loose lift thickness should be reduced to 6 inches where smaller and/or lighter compaction equipment is used (i.e. WACKER jumping jack). A vibrating plate tamper can be used to compact 10" lifts of washed rock but should not be used to compact native fractured andesite bedrock.

6. $\frac{3}{4}$ " minus crushed sand and gravel roadmix should be placed in 6" loose lifts, watered and compacting with a jumping jack tamper, vibrating plate tamper or smooth drum roller.
7. The general contractor should contact this office several days before the foundation excavation commences to minimize any delays in excavation, placement of structural fill, approval of imported structural fill, construction observations and reports to the building inspector by a stamped by an engineer.

Foundations

The approved native fractured andesite bedrock subgrade or a free-draining structural fill foundation building pad constructed on an approved native subgrade will support continuous footings, spread footings and slab-on-grade construction based on the following parameters:

1. The allowable bearing pressure of the approved weathered bedrock subgrade or an imported washed gravel structural fill building pad constructed on an approved native subgrade is 4,000 pounds per square foot (psf).
2. Exterior footings should be at least 32 inches below finish grade to minimize the potential for frost heave.
3. Total and differential settlement is estimated to be less than one inch and $\frac{3}{4}$ ", respectively, for the structural fill building pad on an approved native subgrade.
4. The recommended friction factor is 0.60 for the approved native fractured andesite bedrock subgrade or imported washed gravel building pad.
5. The floor joists and sub-floor should be in-place prior to backfilling against the foundation walls unless directed otherwise by the structural engineer.
6. All footings should be constructed so that a line drawn from the edge of footings at a slope of 0.5 foot horizontal to 1.0 foot vertical to the undisturbed subgrade soil is not intercepted by non-structural fill or an open slope. See *Structural Fill/Foundation Subgrade Concepts Profile* for details.

Retaining Walls

The following design parameters assume that proper drainage will maintain a fully drained environment behind the walls for the life of the structure with a level backfill at least 10 feet behind the structure:

1. The recommended equivalent active lateral earth pressure is 35 pounds per cubic foot (pcf) equivalent fluid pressure (efp). Active pressure design is based on the top of the wall moving.
2. The recommended equivalent at-rest lateral earth pressure is 55 pounds per cubic foot (pcf) equivalent fluid pressure (efp). Active pressure design is based on the top of the wall moving.
3. The recommended equivalent passive lateral earth pressure is 400 pcf, efp.
4. The recommended friction factor is 0.60 for the approved native fractured andesite bedrock or

imported washed gravel foundation building pad.

5. The floor joists and sub-floor should be in-place prior to backfilling against the retaining walls or as directed by the structural engineer.
6. Footings adjacent to retaining walls should be structurally connected to the retaining walls.

All retaining walls should be waterproofed as follows:

1. Retaining walls should be covered with a waterproof membrane and a synthetic drainage mat that is installed to the bottom of footing and over the footing drain or cutoff trench. The drainage mat will both direct groundwater to the footing drain and/or cutoff trench and will also protect the waterproofing membrane.
2. If washed, free-draining gravel is used as backfill against retaining walls then the drainage mat can be omitted and replaced with an inexpensive protection board that will protect the waterproofing membrane as the free-draining gravel is installed.
3. A synthetic drainage mat is not necessary if free-draining gravel is used exclusively as backfill against the retaining walls since the gravel will allow groundwater to reach the cutoff trench drainage system to relieve hydrostatic pressures.
4. See the *Cutoff Trench/Building Pad Drainage System Profile* for waterproofing and drainage design details.

If the groundwater rises above the base of the footings then the hydrostatic pressures will increase the lateral earth pressures by 62 pcf per vertical foot of wall.

All backfill should be placed as directed in the *Structural Fill* section.

1" to 2", rounded or fractured, washed drain rock has several advantages if used as structural fill against retaining walls. The lateral pressures against the retaining wall from smaller compaction equipment (i.e. vibrating plate tamper) used for compacting the washed gravel will be less than that of a hoe-pack or smaller smooth steel drum roller that should be used for compacting pitrun sand and gravel soils. The drain rock also provides an excellent free draining medium and eliminates the need (and cost) for a geo-composite drainage mat. The washed gravel is not self-compacting and should be placed in 12-inch loose lifts and compacted with a vibrating plate tamper.

Structural fill for footings adjacent to retaining walls should be placed to provide an envelope under footings, patios and walkways so that a line drawn from the edge of footings or walkways at a slope of 1.0 foot horizontal to 1.0 foot vertical to the undisturbed subgrade soil is not intercepted by non-structural fill or an open slope. See the *Structural Fill-Foundation*.

Soil Classification for Septic Design

The residence will be served by the Ketchum Utility Department so no test pit was completed for a

private septic system.

Surface Grading and Drainage

I have not reviewed the preliminary grading and drainage plan at the time this report was completed. The drainage plan should incorporate the following grading and drainage concepts based on the soils encountered in the test pits.

1. I recommend that the finish surface be sloped at a minimum of 2% to direct runoff away from the foundations, walkways, terraces and driveways.
2. All roof downspouts, foundation drains, landscape catch basins and surface runoff should be directed to the drywells terminated downslope of the structure and driveway. The rim of the drywell should be at least 10 feet from and 1 foot below the lowest footing.
3. Roof downspouts should **not** be allowed to drain adjacent to foundation. A 4" solid pipe should be installed on top of the footing and sloped at a min. of 1% with stub-outs for connecting the downspouts. The pipe should be terminated in the drywells located at least 10 feet from and downslope of the foundation. See the *Cutoff Trench/Building Pad Drainage System Profile* for concepts.
4. The native fractured andesite bedrock has an infiltration rate of less than 0.1"/minute. A storm water drywell should be constructed downslope of the structure and surrounded by a min. 36" envelope of 2" rounded washed gravel. The civil engineer creating the grading and drainage plan should work with the City Planning Department to provide an overflow into the City right-of-way in case the on-site drywells overflow. See the *Storm Water Drywell Profile*.
5. All drain lines terminated in drywells should be sloped at a min. 2% and covered with at least 24" of soil to minimize freezing.
6. Due to the low permeability of the native fractured andesite bedrock smaller landscape drywells could be slow draining and ineffective. I recommend that all surface runoff be piped to a large drywell located downslope of the structure.
7. All drywells proposed on the grading plan located upslope of the structure and in the driveway should be converted to catch basins that pipe runoff to large drywells located downslope of the structure.
8. A prominent surface swale should be constructed above the structure to capture surface runoff from the overlying slopes and direct runoff to drywells downslope of the structure. The volume of surface runoff could be quite large in the spring when a warm rain could melt any remaining snow, the ground is frozen preventing any infiltration and the resulting runoff is directed towards the structure.

Driveway, Terraces and Walkways

I recommend the following section for asphalt driveways, terraces and walkways of either pavers or exterior concrete slabs to minimize frost action and settlement. The driveway section is designed to allow for an exposed gravel driving surface during construction before the final asphalt driving surface is installed:

1. The hardscape areas should be cut to at least 12" below finish grade and/or to remove all roots, organics, uncontrolled fill, disturbed native soils and dark brown topsoil. The underlying undisturbed native soils should be scarified to a 12" depth, watered and compacted with a 5-ton smooth drum roller and proof rolled with a 5-ton smooth drum roller to locate any soft areas.
2. Any soft areas exposed in the compacted subgrade should be excavated to expose competent soils and replaced with compacted structural fill as outlined in the *Site Preparation* section.
3. All parking areas, terraces and walkways should be constructed so that a line drawn from the edge of walkways or driveways at a slope of 0.5 foot horizontal to 1.0 foot vertical to the undisturbed subgrade soil is not intercepted by non-structural fill or an open slope. See the *Structural Fill-Foundation Subgrade Concepts Profile*.
4. All native silty clay and organics expose in the driveway and parking areas subgrade should be removed to expose the underlying native fractured bedrock.
5. A minimum of 6 inches of imported pitrun sand and gravel or 2" minus crushed sand and gravel roadmix sub-base watered and compacted with multiple passes of a smooth drum roller to at least 95% of the maximum dry density of the soil as determined by ASTM Test D-698 (Standard Proctor). On-site sand and gravel soils can be used for the sub-base layer.
6. 4 inches of ¾" minus, crushed sand and gravel roadmix compacted to at least 95% of the maximum dry density of the soil as determined by ASTM Test D-698 (Standard Proctor).
7. Typically, the driveway is constructed at the commencement of the project to include the roadmix to provide a driving surface that can be plowed during construction. Prior to placing pavers or asphalt the surface should be cleared of mud and debris and several inches of roadmix is added to create the finish grading.
8. Pavers, asphalt or concrete.
9. Surface driveway runoff should not be allowed to run down the driveway surface and drain onto Walnut Avenue. I recommend that surface runoff near the residence be directed to a catch basin that terminates in a drywell downslope of the structure. The catch basin should incorporate a cast iron ring and grate that can be kept clear of snow and ice when the driveway is plowed. Catch basins or drywells located along the edge of the driveway can be buried under plowed snow and become ineffective. See the *Storm Water Drywell Profile* for details.

A minimum of 4 inches of ¾", well graded, crushed sand and gravel (road mix) base course should be placed between the pit-run sub-base and the finish walking surface. This will provide a leveling course and

distribute point loads. If the sub-base for the driveway, terraces, and walkways are completed before the finish surface is constructed any structural fill should be compacted if the surfaces are exposed over a winter since the material will experience frost heave and reach a loose state.

Seismicity

The general subsurface soil conditions are consistent with Design Code Reference ASCE 7-16 for Site Class B- Rock. The latitude and longitude of the project site are 43.68°N and 114.36° W, respectively.

Seismic Design Category (SDC): C

Risk Category: II

$S_s = 0.625 g$

$S_1 = 0.193 g$

$S_{ms} = 0.563 g$

$S_{m1} = 0.154 g$

Radon Venting

Blaine County has a history of radon gas collecting in crawlspaces and under slab-on-grades. Radon gas is a byproduct of the natural breakdown of uranium that accumulates in improperly sealed basements and crawl spaces. These radon levels can exceed safety standards as set by the EPA. According to the State Radon Contact the most accurate testing results are gathered in the structure after construction.

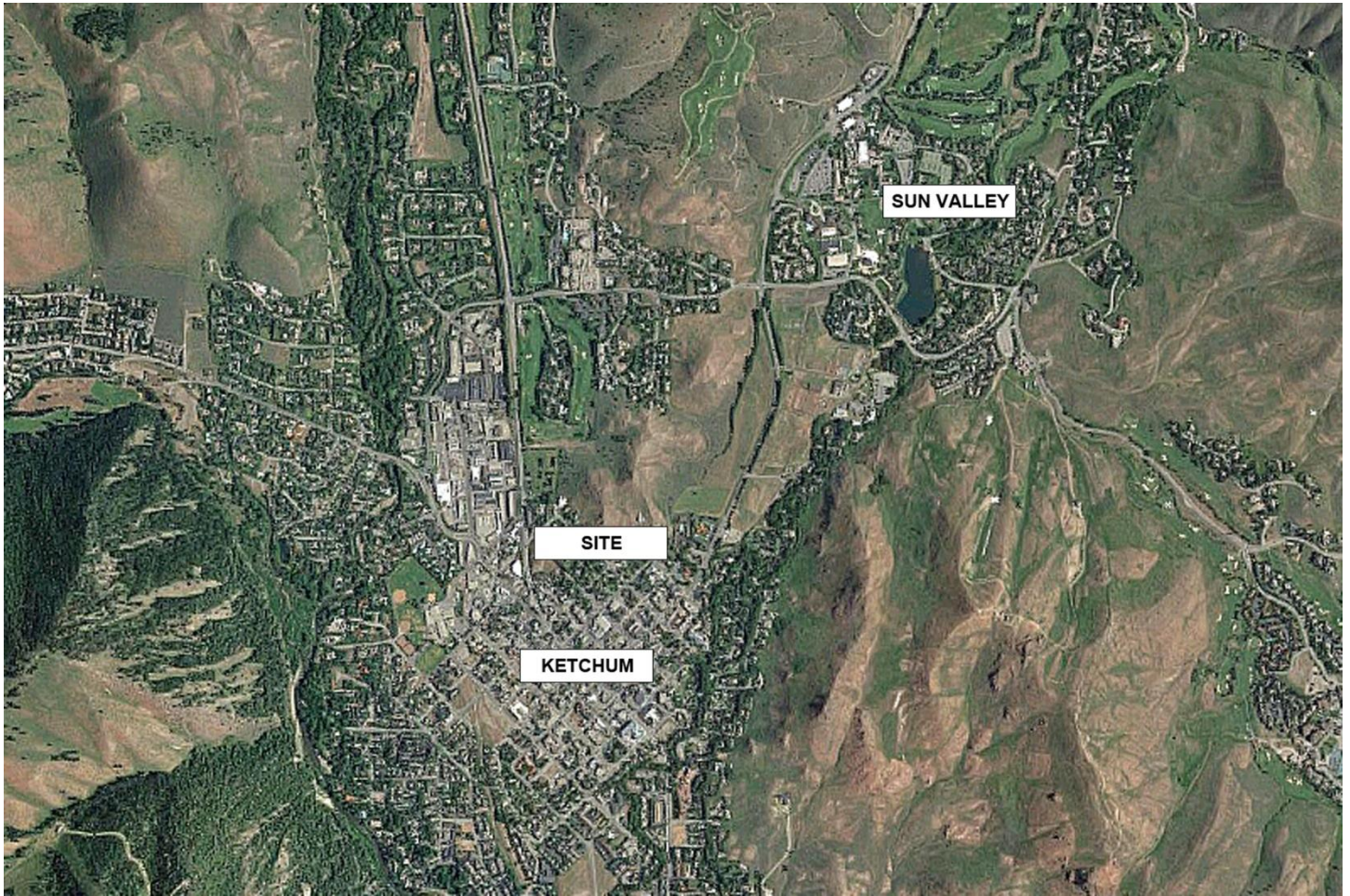
This office is not qualified to complete a radon venting system design so the following venting concepts are guidelines. The radon system should be designed or reviewed by a radon venting contractor to ensure the proper spacing of the perforated pipes and vertical vent pipes. Typical radon system designs consist of the following:

1. Install a 4-inch dia. perforated pipes on the footing subgrade within the crawlspace or slab-on-grade foundation.
2. I recommend installing sleeves through interior footings to allow the perforated radon pipe to remain below top of footing.
3. Place imported washed gravel to top of footing to protect radon piping and create level crawlspace surface. A typical footing depth of 8" would provide 4" of gravel over the 4" perforated pipes.
4. Install vapor barrier over top of gravel and seal to top of footing. A white vapor barrier i.e. Dura Skrim enhances lighting in the crawlspace.
5. Connect radon piping to vertical vent pipes. The horizontal length of radon piping per vent pipe and number and location of vent pipes should be determined by radon system contractor.
6. Power should be provided adjacent to the vertical vent pipe in case a low-voltage fan is required to vacate radon.

It is important to create an airtight seal between all concrete slabs and adjacent walls. Consulting an experienced contractor or radon-venting specialist can ensure an adequate system is installed during construction compared to potentially expensive remedial measures. See *Radon System Concepts Plan* for general design concepts.

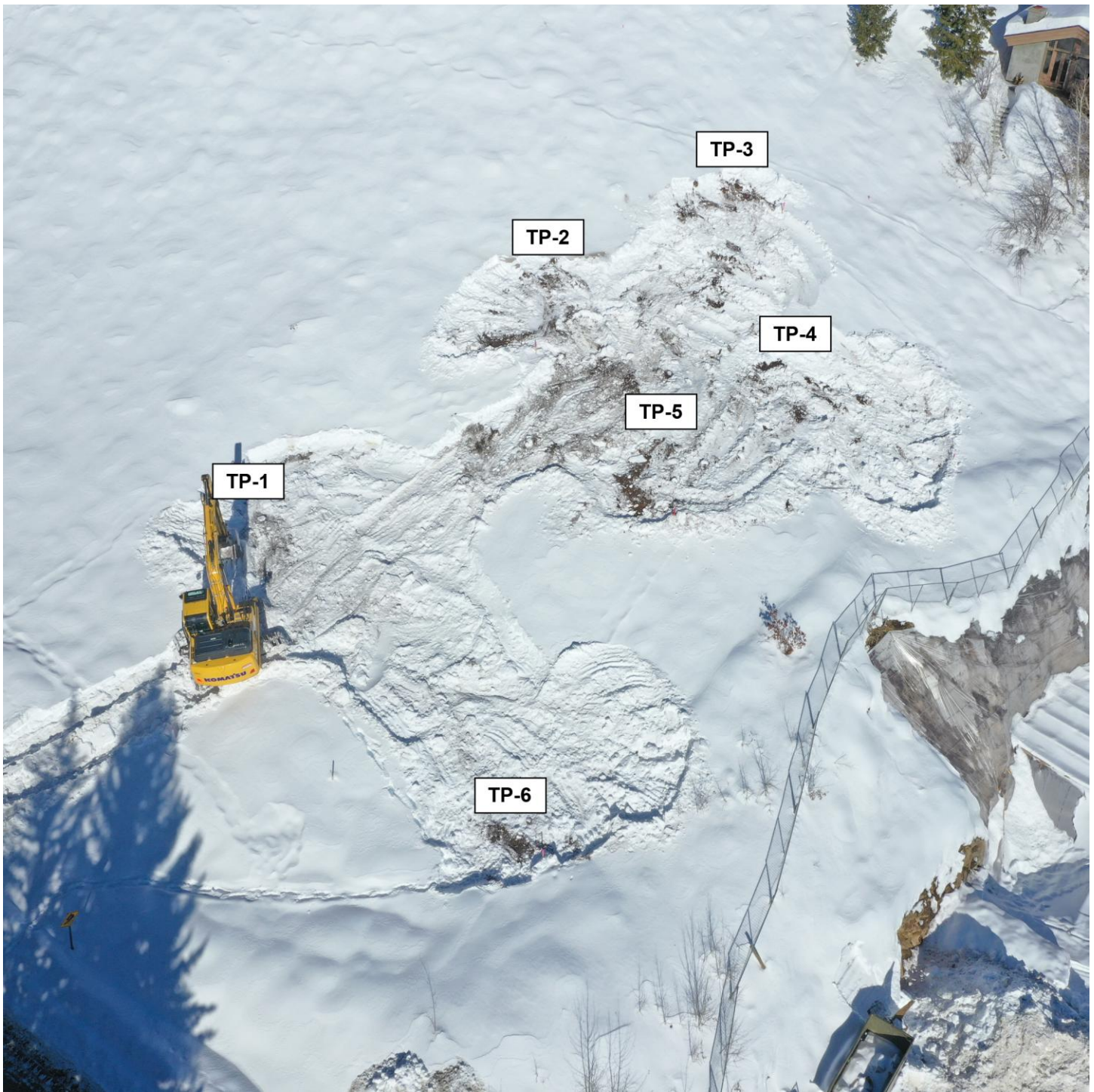
CONSTRUCTION OBSERVATION AND MONITORING

This report provides opinions and recommendations that are generally accepted geotechnical engineering principle and practices. I recommend that this office provide construction monitoring and observation services to ensure that the recommendations outlined in this report are followed and that the foundation drainage system and grading and drainage details are constructed properly. If this office is not retained to perform the recommended services, I cannot be responsible for soil engineering construction errors or omissions. The costs for the recommended services are not included with this report and would be incurred on a time and expense basis.



VICINITY MAP

Proposed Knob Hill Properties, LLC Residence
Lots 3 and 4, Block 91, Ketchum Townsite
Located on Walnut Ave
Ketchum, Idaho
43.68°N 114.36°W



TEST PIT SITE PLAN PHOTO 1
Proposed Knob Hill Properties, LLC Residence
Lots 3 and 4, Block 91, Ketchum Townsite
Located on Walnut Ave
Ketchum, Idaho
Image captured on January 3, 2023



TEST PIT SITE PLAN PHOTO 2

Proposed Knob Hill Properties, LLC Residence

Lots 3 and 4, Block 91, Ketchum Townsite

Located on Walnut Ave

Ketchum, Idaho

Image captured on January 3, 2023



TEST PIT SITE PLAN PHOTO 3

Proposed Knob Hill Properties, LLC Residence

Lots 3 and 4, Block 91, Ketchum Townsite

Located on Walnut Ave

Ketchum, Idaho

Image captured on January 3, 2023

Proposed Knob Hill Properties, LLC Residence
Lots 3 and 4, Block 91, Ketchum Townsite
Located on Walnut Ave
Ketchum, Idaho

Test Pit completed on January 3, 2023.
See *Test Pit Site Plan Photo 1* for test pit location.
The test pit surface elevation is approximately 5924 feet based on the Blaine County Land Use Information Map.
No groundwater encountered.
Test pit terminated at 4.3 feet below existing grade after reaching several feet below typical crawlspace footings and due to the consistency of the soil type between the test pits.
No soil sample retrieved.
Minor sloughing of test pit walls in native andesite bedrock soil.
Excavation equipment: DEERE track-mounted excavator.



EXPLORATORY TEST PIT #2

Proposed Knob Hill Properties, LLC Residence
Lots 3 and 4, Block 91, Ketchum Townsite
Located on Walnut Ave
Ketchum, Idaho

| DEPTH (Feet) | USCS SOIL CLASS | SOIL DESCRIPTION |
|-------------------------|----------------------------|---|
| 0.0'-4.8' | CL | Silty CLAY, trace-little Sand, Gravel & Roots (NATIVE) Dark brown, soft-stiff, damp. |
| 4.8'-5.8' | RX | Weathered, fractured ANDESITE BEDROCK (NATIVE) Brown, hard, dry. |

Test Pit completed on January 3, 2023.

See *Test Pit Site Plan Photo 1* for test pit location.

The test pit surface elevation is approximately 5940 feet based on the Blaine County Land Use Information Map.

No groundwater encountered.

Test pit terminated at 5.8 feet below existing grade after reaching several feet below typical crawlspace footings and due to the consistency of the soil type between the test pits.

No soil sample retrieved.

Minor sloughing of test pit walls in native andesite bedrock soil.

Excavation equipment: DEERE track-mounted excavator.



EXPLORATORY TEST PIT #3

Proposed Knob Hill Properties, LLC Residence
Lots 3 and 4, Block 91, Ketchum Townsite
Located on Walnut Ave
Ketchum, Idaho

| DEPTH (Feet) | USCS SOIL CLASS | SOIL DESCRIPTION |
|-------------------------|----------------------------|---|
| 0.0'-3.3' | CL | Silty CLAY, trace-little Sand, Gravel & Roots (NATIVE) Dark brown, soft-stiff, damp. |
| 3.3'-5.4' | RX | Weathered, fractured ANDESITE BEDROCK (NATIVE) Brown, hard, dry. |

Test Pit completed on January 3, 2023.

See *Test Pit Site Plan Photo 1* for test pit location.

The test pit surface elevation is approximately 5950 feet based on the Blaine County Land Use Information Map.

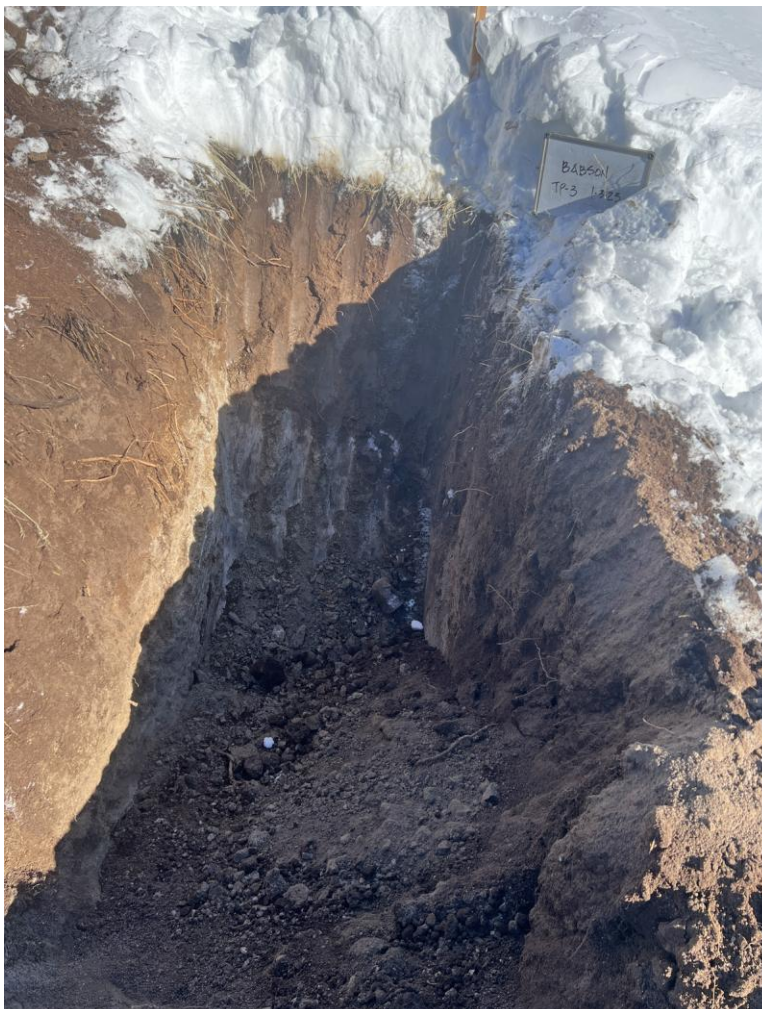
No groundwater encountered.

Test pit terminated at 5.4 feet below existing grade after reaching several feet below typical crawlspace footings and due to the consistency of the soil type between the test pits.

No soil sample retrieved.

Minor sloughing of test pit walls in native andesite bedrock soil.

Excavation equipment: DEERE track-mounted excavator.



EXPLORATORY TEST PIT #4

Proposed Knob Hill Properties, LLC Residence
Lots 3 and 4, Block 91, Ketchum Townsite
Located on Walnut Ave
Ketchum, Idaho

| DEPTH (Feet) | USCS SOIL CLASS | SOIL DESCRIPTION |
|-------------------------|----------------------------|---|
| 0.0'-2.7' | CL | Silty CLAY, trace-little Sand, Gravel & Roots (NATIVE) Dark brown, soft-stiff, damp. |
| 2.7'-4.7' | RX | Weathered, fractured ANDESITE BEDROCK (NATIVE) Brown, hard, dry. |

Test Pit completed on January 3, 2023.

See *Test Pit Site Plan Photo 1* for test pit location.

The test pit surface elevation is approximately 5932 feet based on the Blaine County Land Use Information Map.

No groundwater encountered.

Test pit terminated at 4.7 feet below existing grade after reaching several feet below typical crawlspace footings and due to the consistency of the soil type between the test pits.

No soil sample retrieved.

Minor sloughing of test pit walls in native andesite bedrock soil.

Excavation equipment: DEERE track-mounted excavator.



EXPLORATORY TEST PIT #5

Proposed Knob Hill Properties, LLC Residence
Lots 3 and 4, Block 91, Ketchum Townsite
Located on Walnut Ave
Ketchum, Idaho

| DEPTH (Feet) | USCS SOIL CLASS | SOIL DESCRIPTION |
|-------------------------|----------------------------|---|
| 0.0'-1.5' | CL | Silty CLAY, trace-little Sand, Gravel & Roots (NATIVE) Dark brown, soft-stiff, damp. |
| 1.5'-2.8' | RX | Weathered, fractured ANDESITE BEDROCK (NATIVE) Brown, hard, dry. |

Test Pit completed on January 3, 2023.

See *Test Pit Site Plan Photo 1* for test pit location.

The test pit surface elevation is approximately 5930 feet based on the Blaine County Land Use Information Map.

No groundwater encountered.

Test pit terminated at 2.8 feet below existing grade after reaching several feet below typical crawlspace footings and due to the consistency of the soil type between the test pits.

No soil sample retrieved.

Minor sloughing of test pit walls in native andesite bedrock soil.

Excavation equipment: DEERE track-mounted excavator.



EXPLORATORY TEST PIT #6

Proposed Knob Hill Properties, LLC Residence
Lots 3 and 4, Block 91, Ketchum Townsite
Located on Walnut Ave
Ketchum, Idaho

| DEPTH (Feet) | USCS SOIL CLASS | SOIL DESCRIPTION |
|-------------------------|----------------------------|---|
| 0.0'-2.0' | CL | Silty CLAY, trace-little Sand, Gravel & Roots (NATIVE) Dark brown, soft-stiff, damp. |
| 2.0'-3.6' | RX | Weathered, fractured ANDESITE BEDROCK (NATIVE) Brown, hard, dry. |

Test Pit completed on January 3, 2023.

See *Test Pit Site Plan Photo 1* for test pit location.

The test pit surface elevation is approximately 5916 feet based on the Blaine County Land Use Information Map.

No groundwater encountered.

Test pit terminated at 3.6 feet below existing grade after reaching several feet below typical crawlspace footings and due to the consistency of the soil type between the test pits.

No soil sample retrieved.

Minor sloughing of test pit walls in native andesite bedrock soil.

Excavation equipment: DEERE track-mounted excavator.



SOIL CLASSIFICATION / LEGEND

RELATIVE DENSITY OR CONSISTENCY UTILIZING STANDARD PENETRATION TEST VALUES

| COHESIONLESS SOILS (a) | | | COHESIVE SOILS (b) | | |
|------------------------|-----------------|-----------------------|--------------------|---------------------|-----------------------------------|
| Density (c) | N, blows/ft (c) | Relative Density (1%) | Consistency | N, blows/ft (c) | Undrained (d) Shear Strength(psf) |
| Very Loose | 0 to 4 | 0 - 15 | Very Soft | 0 to 2 | <250 |
| Loose | 4 to 10 | 15 - 35 | Soft | 2 to 4 | 250-500 |
| Compact | 10 to 30 | 35 - 65 | Firm | 4 to 8 | 500-1000 |
| Dense | 30 to 50 | 65 - 85 | Stiff | 8 to 15 | 1000-2000 |
| Very Dense | over 50 | >85 | Very Stiff Hard | 15 to 30 over 30 | 2000-4000 >4000 |

- (a) Soils consisting of gravel, sand, and silt, either separately or in combination, possessing no characteristics of plasticity and exhibiting drained behavior.
 (b) Soils possessing the characteristics of plasticity and exhibiting undrained behavior.
 (c) Refer to text of ASTM D 1586-84 for a definition of N; in normally consolidated cohesionless soils Relative Density terms are based on N_v values corrected for overburden pressures.
 (d) Undrained shear strength = ½ unconfined compression strength.

UNIFIED SOIL CLASSIFICATION SYSTEM

| MAJOR DIVISIONS | | | SYMBOL | TYPICAL NAMES |
|---|---|---|--------|--|
| COURSE GRAINED SOILS More than 50% retained on No. 200 Sieve | GRAVELS More than 50% of coarse fraction retained on No. 4 Sieve | CLEAN GRAVELS | GW | Well-Graded gravel |
| | | | GP | Poorly-graded gravels |
| | | GRAVELS WITH FINES | GM | Gravel and Silt Mixtures |
| | | | GC | Gravel and Clay Mixtures |
| | SANDS 50% or more of coarse fraction passes No. 4 Sieve | CLEAN SANDS | SW | Well-graded Sands |
| | | | SP | Poorly-graded Sands |
| | | SANDS WITH FINES More than 12% fines | SM | Sand and Silt Mixtures |
| | | | SC | Sand and Clay Mixtures |
| FINE GRAINED SOILS 50% or more passes the No. 200 Sieve | SILTS & CLAYS Liquid limit less than 50 | INORGANIC | CL | Low-plasticity Clays |
| | | | ML | Non-plastic and Low-plasticity Silts |
| | | ORGANIC | OL | Organic Silt and Clay of Low plasticity |
| | SILTS & CLAYS Liquid limit less than 50 | INORGANIC | CH | High Plasticity Clays |
| | | | MH | High Plasticity Silts |
| | | ORGANIC | OH | High-plasticity-Organic Clays High-plasticity-Organic Silts |
| HIGHLY ORGANIC SOILS | | | PT | Peat, Muck and Other Highly Organic Soils |

COMPONENT DEFINITIONS BY GRADATION

| COMPONENT | SIZE RANGE |
|---------------|-------------------------------------|
| Boulders | Above 12 inches |
| Cobbles | 3 inches to 12 inches |
| Gravel | 3 inches to No. 4 (4.76mm) |
| Coarse gravel | 3 inches to 3/4 inch |
| Fine gravel | 3/4 inch to No. 4 (4.76mm) |
| Sand | No. 4 (4.76mm) to No. 200 (0.074mm) |
| Course sand | No. 4 (4.76mm) to No. 10 (2.0mm) |
| Medium sand | No. 10 (2.0mm) to No. 40 (0.42mm) |
| Fine sand | No. 40 (0.42) to No. 200 (0.074mm) |
| Silt & Clay | Smaller than No. 200 (0.074mm) |

SILT & CLAY DESCRIPTIONS

| DESCRIPTIONS | TYPICAL UNIFIED DESIGNATION |
|---------------|-----------------------------|
| Silt | ML (non-plastic) |
| Clayey Silt | CL-ML (low plasticity) |
| Silty Clay | CL |
| Clay | CH |
| Plastic Silt | MH |
| Organic Soils | OL, OH, Pt |

LABORATORY TESTS

| TEST | DESIGNATION |
|------------------|-------------|
| Moisture | (1) |
| Density | D |
| Grain Size | G |
| Hydrometer | H |
| Atterberg Limits | (1) |
| Consolidation | C |
| Unconfined | U |
| UU Triax | UU |
| CU Triax | CU |
| CD Triax | CD |
| Permeability | P |

(1) Moisture & Atterberg Limits

SAMPLES

| | |
|----|-------------------------|
| SS | SPT Samples |
| HD | Heavy Duty Split Spoons |
| SH | Shelby Tube |
| P | Pitcher Sampler |
| B | Bulk |
| C | Cord |

Unless otherwise noted, drive samples advance with 140 lb. Hammer with 30 inch drop.

COMPONENT PROPORTIONS

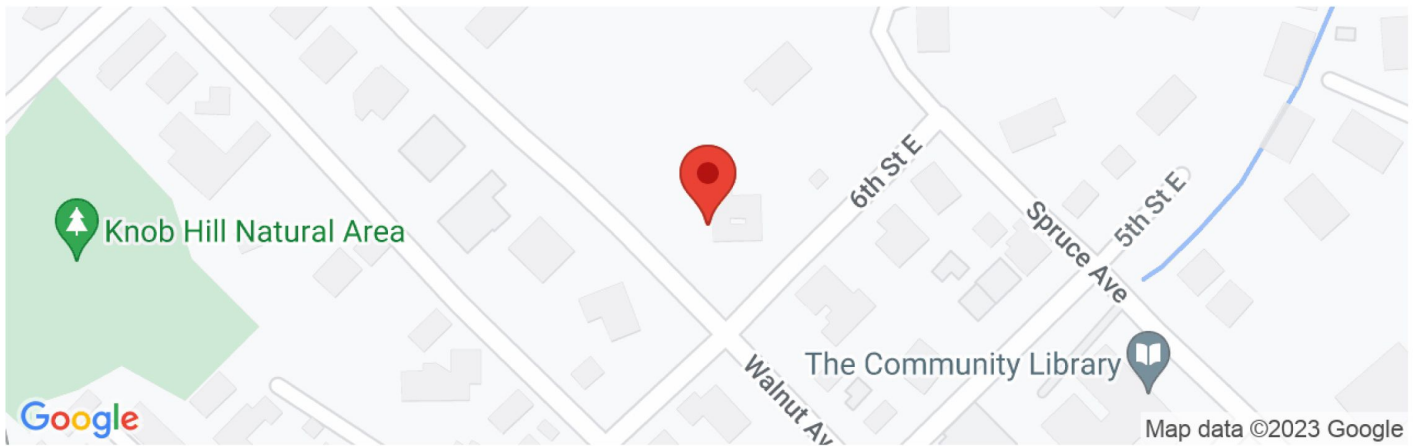
| DESCRIPTIONS | RANGE OF PROPORTION |
|-----------------------|---------------------|
| Trace | 0-5% |
| Little | 5-12% |
| Some or Adjective (a) | 12-30% |
| And | 30-50% |

(a) Use Gravelly, Sandy or Silty as appropriate.



Proposed Knob Hill Properties, LLC Residence

Latitude, Longitude: 43.68459445, -114.36379919

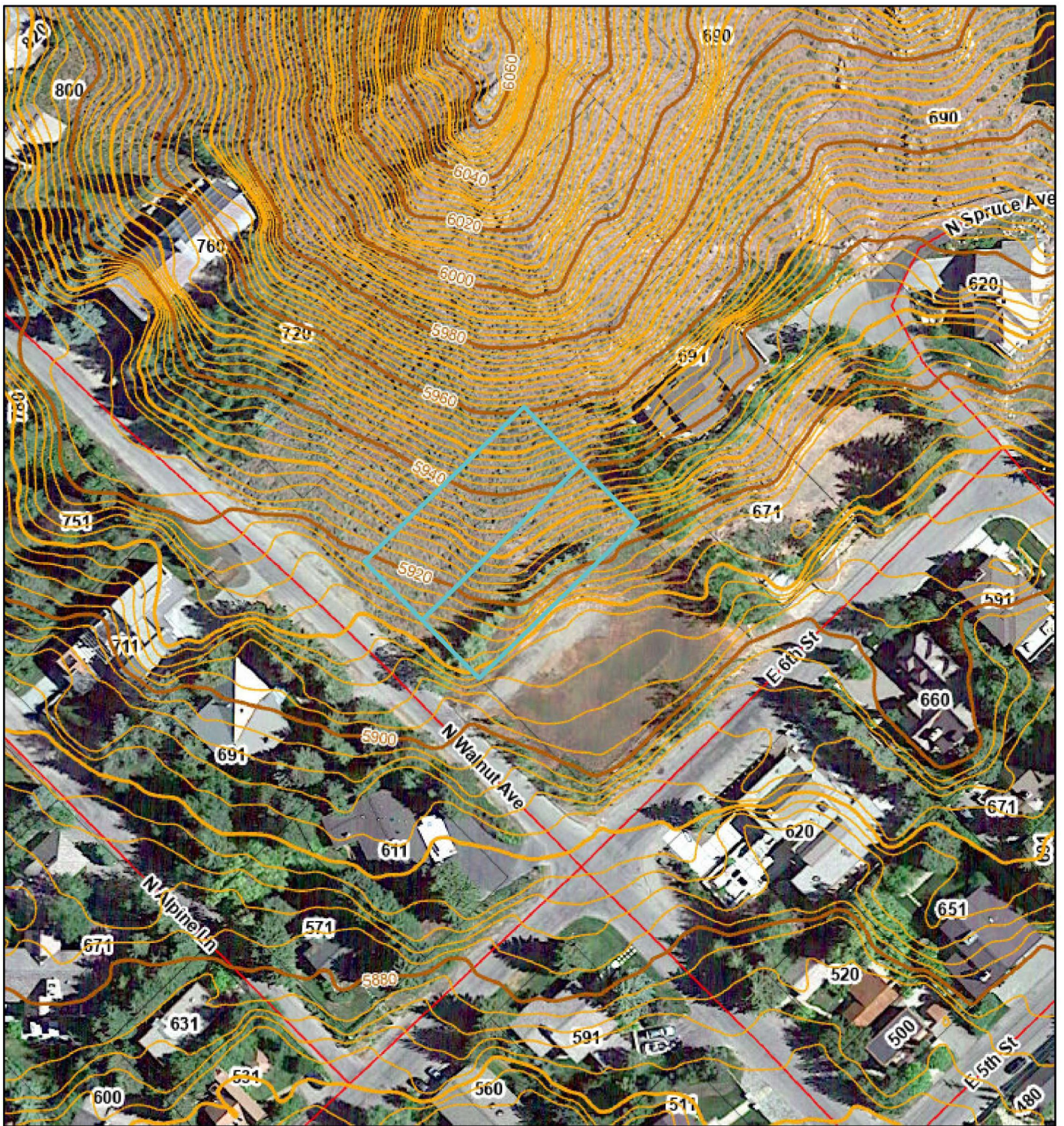


| | |
|--------------------------------|----------------------|
| Date | 1/6/2023, 4:13:01 PM |
| Design Code Reference Document | ASCE7-16 |
| Risk Category | II |
| Site Class | B - Rock |

| Type | Value | Description |
|----------|-------|--|
| S_S | 0.625 | MCE_R ground motion. (for 0.2 second period) |
| S_1 | 0.193 | MCE_R ground motion. (for 1.0s period) |
| S_{MS} | 0.563 | Site-modified spectral acceleration value |
| S_{M1} | 0.154 | Site-modified spectral acceleration value |
| S_{DS} | 0.375 | Numeric seismic design value at 0.2 second SA |
| S_{D1} | 0.103 | Numeric seismic design value at 1.0 second SA |

| Type | Value | Description |
|------------|-------|---|
| SDC | C | Seismic design category |
| F_a | 0.9 | Site amplification factor at 0.2 second |
| F_v | 0.8 | Site amplification factor at 1.0 second |
| PGA | 0.278 | MCE_G peak ground acceleration |
| F_{PGA} | 0.9 | Site amplification factor at PGA |
| PGA_M | 0.25 | Site modified peak ground acceleration |
| T_L | 6 | Long-period transition period in seconds |
| S_{sRT} | 0.625 | Probabilistic risk-targeted ground motion. (0.2 second) |
| S_{sUH} | 0.701 | Factored uniform-hazard (2% probability of exceedance in 50 years) spectral acceleration |
| S_{sD} | 1.5 | Factored deterministic acceleration value. (0.2 second) |
| S_{1RT} | 0.193 | Probabilistic risk-targeted ground motion. (1.0 second) |
| S_{1UH} | 0.212 | Factored uniform-hazard (2% probability of exceedance in 50 years) spectral acceleration. |
| S_{1D} | 0.6 | Factored deterministic acceleration value. (1.0 second) |
| PGA_d | 0.5 | Factored deterministic acceleration value. (Peak Ground Acceleration) |
| PGA_{UH} | 0.278 | Uniform-hazard (2% probability of exceedance in 50 years) Peak Ground Acceleration |
| C_{RS} | 0.893 | Mapped value of the risk coefficient at short periods |
| C_{R1} | 0.908 | Mapped value of the risk coefficient at a period of 1 s |
| C_v | 0.9 | Vertical coefficient |

Proposed Knob Hill Properties, LLC Residence



1/5/2023, 12:42:56 PM

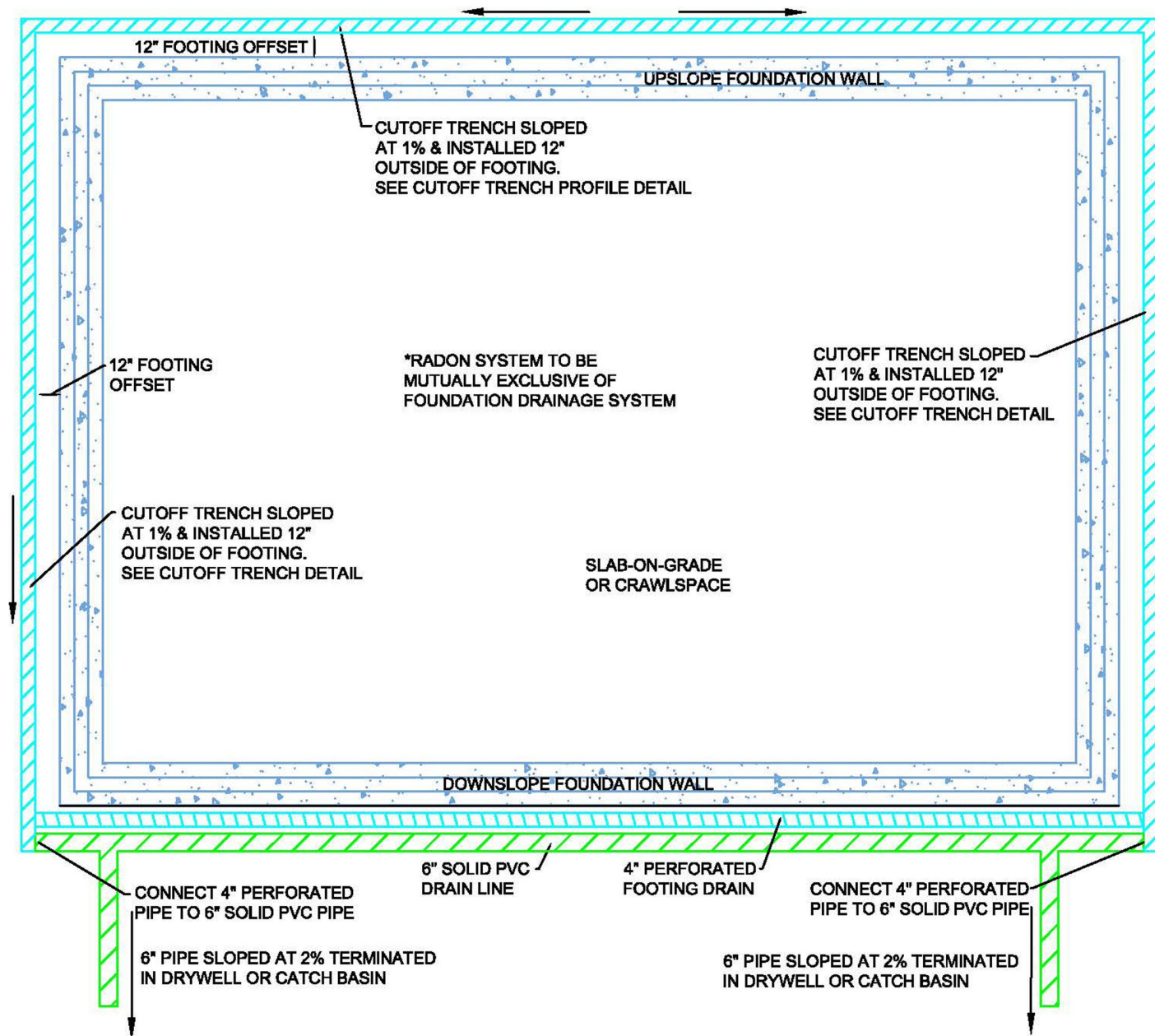
2ft Contours 2017
20ft Contours
10ft Contours

2ft Contours
Parcels
Roads

1:1,135

0 0.01 0.01 0.03 mi
0 0.01 0.03 0.06 km

Blaine County GIS



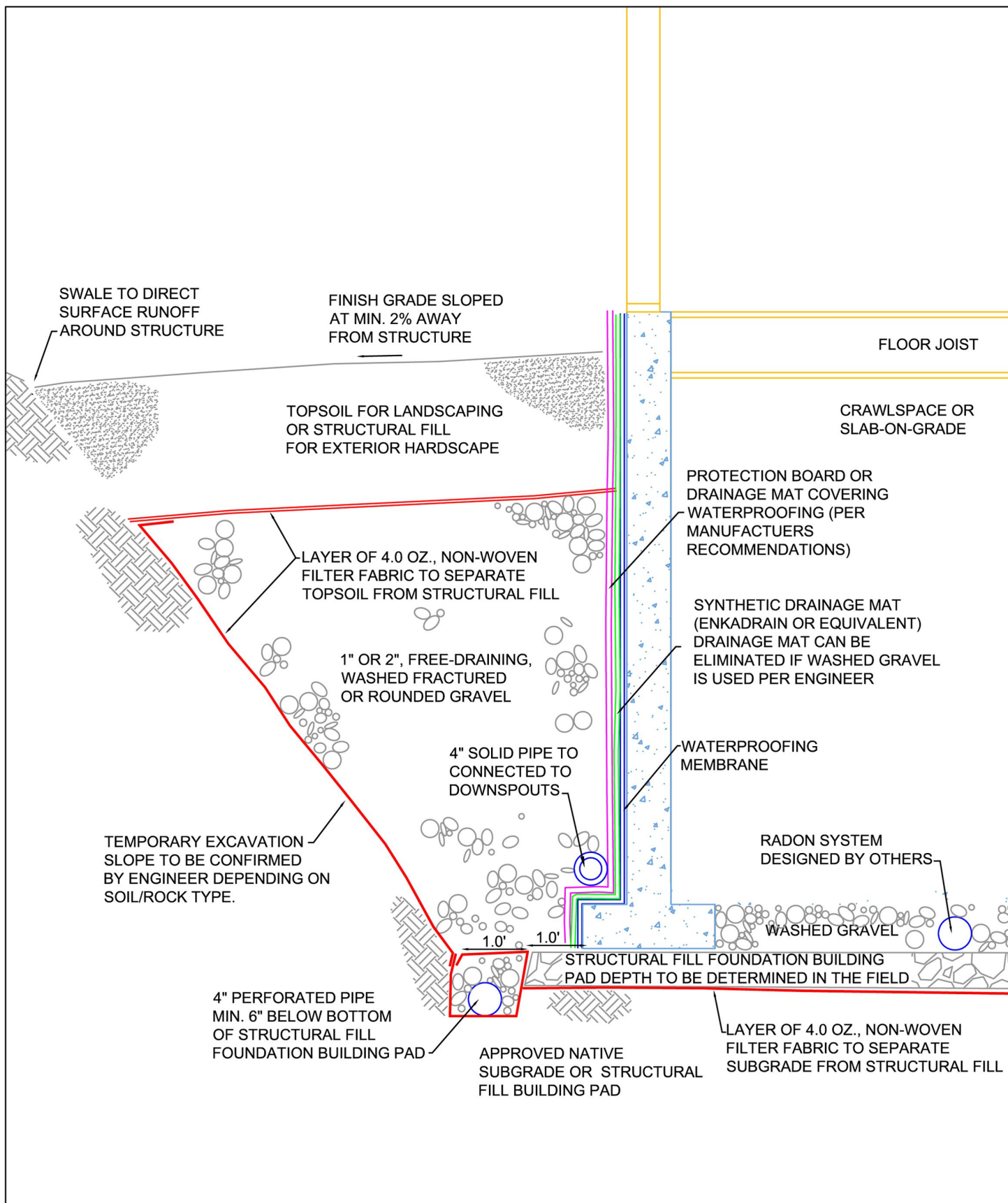
CUTOFF TRENCH FOUNDATION DRAINAGE SYSTEM PLAN

Proposed Knob Hill Properties, LLC Residence
 Located on Walnut Ave
 Ketchum, Idaho

Butler Associates, Inc.
 P.O.B. 1034
 Ketchum, ID 83340
 208.720.6432
 svgeotech@gmail.com

01-06-23

Not To Scale



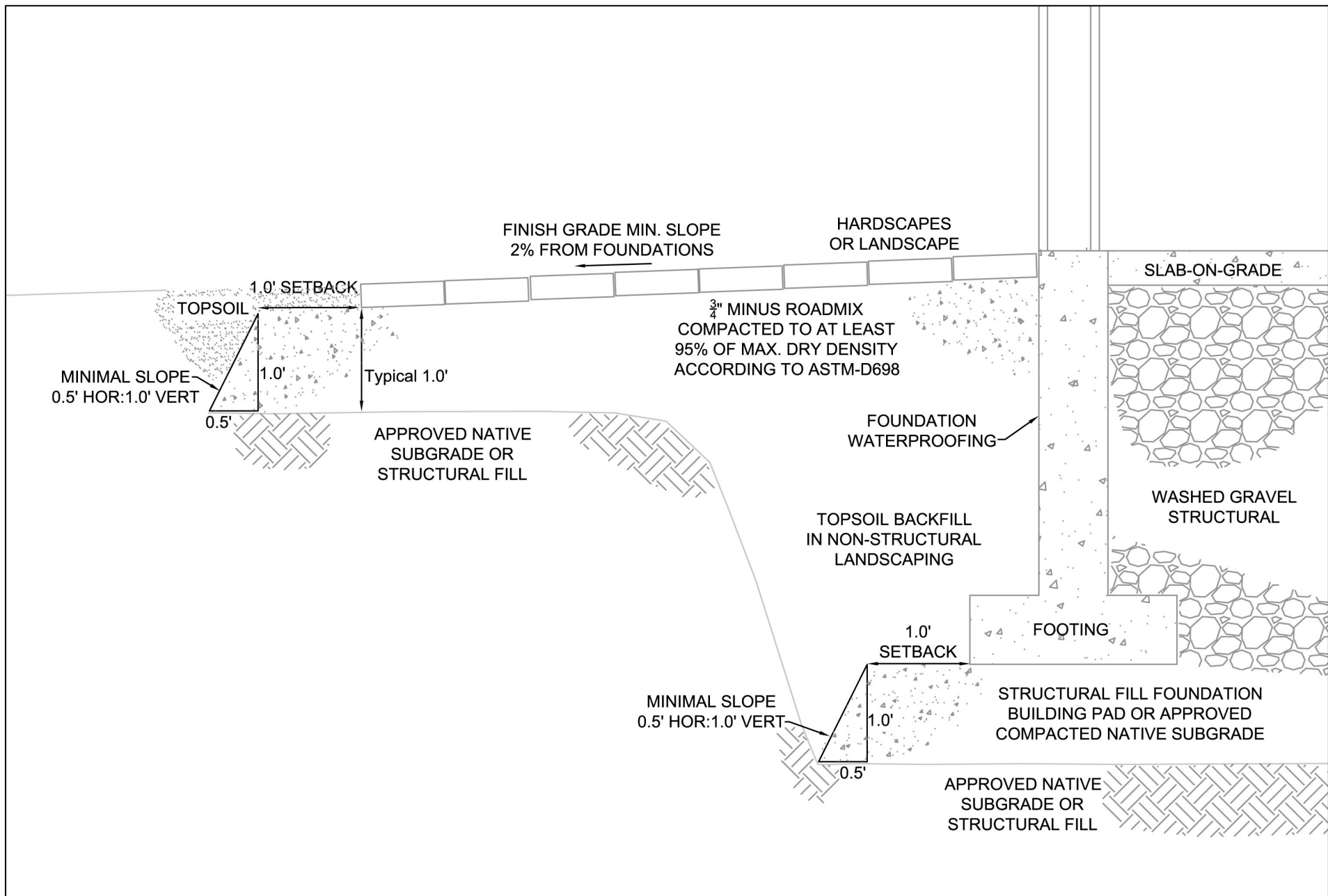
CUTOFF TRENCH FOUNDATION DRAINAGE SYSTEM PROFILE

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Located on Walnut Ave
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01-06-23

Not To Scale



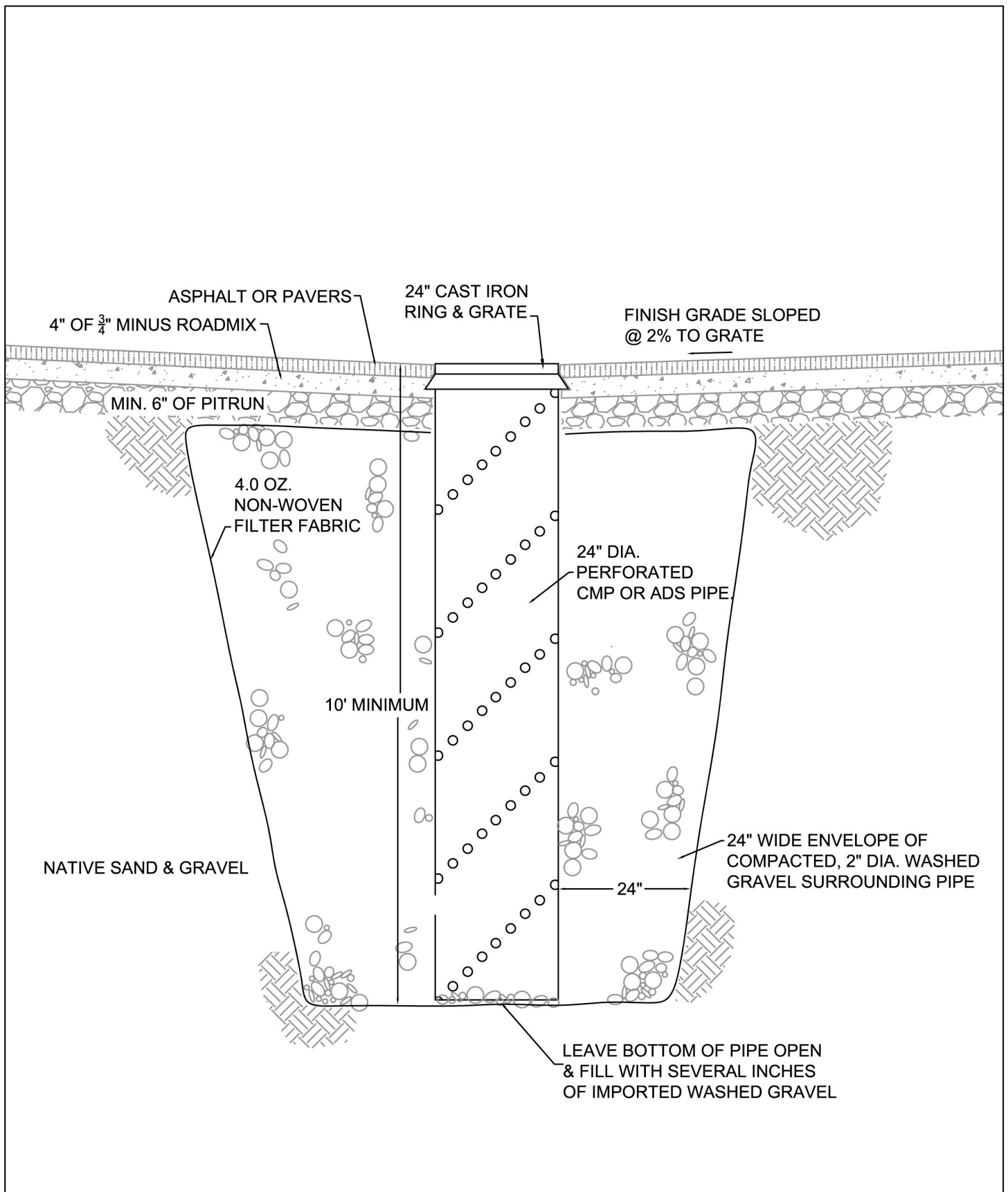
STRUCTURAL FILL / FOUNDATION SUBGRADE CONCEPTS PROFILE

Proposed Knob Hill Properties, LLC Residence
Located on Walnut Ave
Ketchum, Idaho

Butler Associates, Inc.
P.O.B. 1034
Ketchum, ID 83340
208.720.6432
svgeotech@gmail.com

01-06-23

Not To Scale



STORMWATER DRYWELL PROFILE

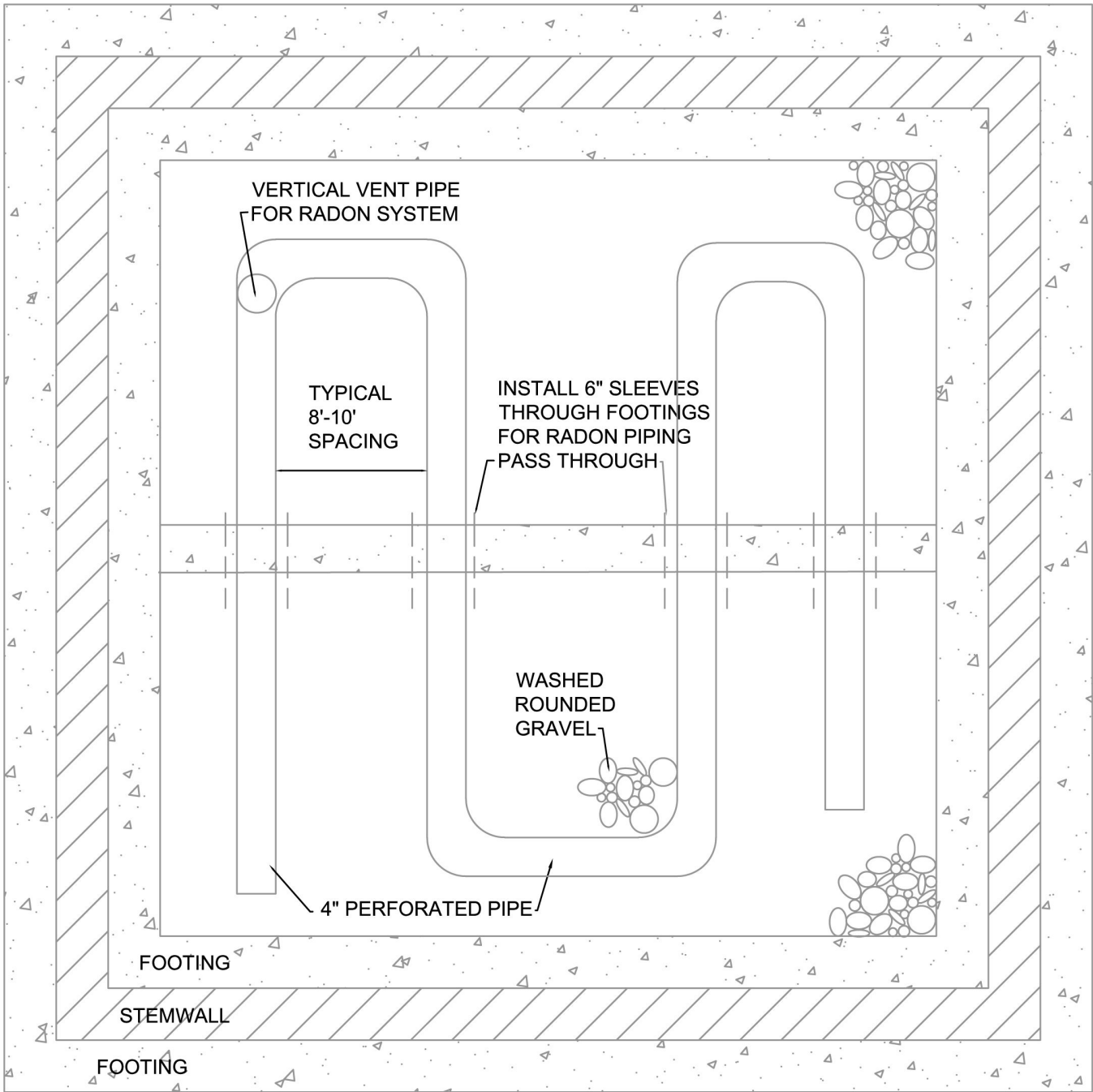
Proposed Knob Hill Properties, LLC Residence
Located on Walnut Ave
Ketchum, Idaho

Butler Associates, Inc.
P.O.B. 1034
Ketchum, ID 83340
208.720.6432
svgeotech@gmail.com

01-06-23

Not To Scale

*TYPICALLY WASHED GRAVEL PLACED OVER PERFORATED PIPE TO TOP OF FOOTING AND COVERED WITH VAPOR BARRIER THAT IS SEALED TO TOP OF FOOTING



**RADON SYSTEM DESIGNED BY OTHERS

RADON SYSTEM CONCEPTS PLAN

Proposed Knob Hill Properties, LLC Residence
Located on Walnut Ave
Ketchum, Idaho

Butler Associates, Inc.
P.O.B. 1034
Ketchum, ID 83340
208.720.6432
svgeotech@gmail.com

01-06-23

Not To Scale

Land Use Information Map



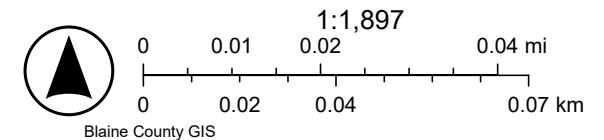
6/9/2025, 12:08:20 PM

2ft Contours 2023 Roads

- 20-ft
- 10-ft
- 2-ft
- Road
- County Boundary
- Parcels

2024 Nearmap

- Red: Band_1
- Green: Band_2
- Blue: Band_3



Infiltration System Sizing Worksheet

KETCHUM VILLAGE BLOCK 91, LOT 3A

Date: 4/18/2025
By: S. Smith

DRYWELL 1 (a)

Onsite Native Soil Infiltration

Infiltration Rate: 2.9 in/hr
Factor of Safety: 1
Design Infiltration Rate: 2.90 in/hr

Site Infiltration Sizing

| Land Use | Runoff Coeff (C) | Area (AC) |
|-------------|------------------|-----------|
| Undeveloped | 0.1 | 0.00 |
| Landscape | 0.2 | 0.12 |
| Impervious | 0.9 | 0.09 |

Total Area 0.21

Weighted runoff coefficient: 0.50

Storage Volume Requirement 25-Year Storm Event

| Duration | Precip Depth** | Accumulated Flow Volume | Bottom Infiltration Rate | Bottom Infiltration Volume | Required Storage (Subtotal)* | Water Depth | Sidewall Infiltration Rate | Sidewall Infiltration Volume | Drywell Infiltration Volume | Required Storage | Available Storage |
|----------|----------------|-------------------------|--------------------------|----------------------------|------------------------------|-------------|----------------------------|------------------------------|-----------------------------|------------------|-------------------|
| (min) | (in) | (cf) | (cfs) | (cf) | (cf) | (ft) | (cfs) | (cf) | (cf) | (cf) | (cf) |
| 5 | 0.24 | 91 | 0.01 | 2 | 90 | 0.9 | 0.00 | 1 | 3 | 89 | 322 |
| 10 | 0.38 | 145 | 0.01 | 4 | 141 | 1.5 | 0.00 | 2 | 6 | 139 | 322 |
| 15 | 0.48 | 183 | 0.01 | 6 | 177 | 1.8 | 0.00 | 4 | 10 | 173 | 322 |
| 30 | 0.67 | 255 | 0.01 | 12 | 244 | 2.5 | 0.01 | 12 | 24 | 231 | 322 |
| 60 | 0.84 | 320 | 0.01 | 23 | 297 | 3.1 | 0.01 | 30 | 53 | 267 | 322 |
| 120 | 1.01 | 385 | 0.01 | 46 | 339 | 3.5 | 0.01 | 68 | 115 | 270 | 322 |
| 180 | 1.15 | 438 | 0.01 | 70 | 369 | 3.8 | 0.01 | 111 | 181 | 257 | 322 |
| 360 | 1.50 | 572 | 0.01 | 139 | 433 | 4.5 | 0.01 | 261 | 401 | 171 | 322 |
| 720 | 2.05 | 781 | 0.01 | 278 | 503 | 5.2 | 0.01 | 608 | 886 | 0 | 322 |
| 1440 | 2.60 | 991 | 0.01 | 557 | 434 | 4.5 | 0.01 | 1049 | 1606 | 0 | 322 |

| | | |
|---------------------------------|-----|---------|
| Drywell Storage Requirement | 270 | Cu. Ft. |
| Drywell Storage Volume Provided | 322 | Cu. Ft. |

*Storage requirement with bottom infiltration only.

**Based on NOAA Atlas 2 IDF values for Region 2 Idaho

Storage Volume Provided by Drywell 1

Drywell Structure Dimensions

Drywell MH Diam.: 2.0 ft
Drywell Length: 8.0
Drywell Width: 12.0 ft
Drain Rock Void Ratio: 0.4
Depth of Rock: 8.0 ft

MH Base Area: 3.1 sf
Total Base Area: 96.0 sf

Drain Rock Annular Area: 92.9 sf
Drain Rock Perimeter: 40.0 ft
Drywell Storage Volume: 322 Cu. Ft.

Infiltration System Sizing Worksheet

KETCHUM VILLAGE BLOCK 91, LOT 3A

Date: 4/18/2025
By: S. Smith

DRYWELL 2 (b)

Onsite Native Soil Infiltration

Infiltration Rate: 2.9 in/hr
Factor of Safety: 1
Design Infiltration Rate: 2.90 in/hr

Site Infiltration Sizing

| Land Use | Runoff Coeff (C) | Area (AC) |
|-------------|------------------|-----------|
| Undeveloped | 0.1 | 0.00 |
| Landscape | 0.2 | 0.09 |
| Impervious | 0.9 | 0.05 |

Total Area

0.14

Weighted runoff coefficient: 0.45

Storage Volume Requirement

25-Year Storm Event

| Duration | Precip Depth** | Accumulated Flow Volume | Bottom Infiltration Rate | Bottom Infiltration Volume | Required Storage (Subtotal)* | Water Depth | Sidewall Infiltration Rate | Sidewall Infiltration Volume | Drywell Infiltration Volume | Required Storage | Available Storage |
|----------|----------------|-------------------------|--------------------------|----------------------------|------------------------------|-------------|----------------------------|------------------------------|-----------------------------|------------------|-------------------|
| (min) | (in) | (cf) | (cfs) | (cf) | (cf) | (ft) | (cfs) | (cf) | (cf) | (cf) | (cf) |
| 5 | 0.24 | 55 | 0.01 | 2 | 53 | 0.5 | 0.00 | 0 | 2 | 52 | 335 |
| 10 | 0.38 | 87 | 0.01 | 4 | 83 | 0.8 | 0.00 | 1 | 5 | 82 | 335 |
| 15 | 0.48 | 110 | 0.01 | 6 | 104 | 1.0 | 0.00 | 3 | 9 | 101 | 335 |
| 30 | 0.67 | 153 | 0.01 | 12 | 141 | 1.4 | 0.00 | 7 | 19 | 134 | 335 |
| 60 | 0.84 | 192 | 0.01 | 24 | 168 | 1.7 | 0.00 | 16 | 40 | 152 | 335 |
| 120 | 1.01 | 231 | 0.01 | 48 | 183 | 1.8 | 0.00 | 35 | 84 | 147 | 335 |
| 180 | 1.15 | 263 | 0.01 | 73 | 190 | 1.9 | 0.01 | 55 | 128 | 135 | 335 |
| 360 | 1.50 | 343 | 0.01 | 145 | 198 | 2.0 | 0.01 | 115 | 260 | 83 | 335 |
| 720 | 2.05 | 469 | 0.01 | 290 | 179 | 1.8 | 0.00 | 207 | 497 | 0 | 335 |
| 1440 | 2.60 | 595 | 0.01 | 580 | 15 | 0.1 | 0.00 | 34 | 614 | 0 | 335 |

Drywell Storage Requirement

152

Cu. Ft.

Drywell Storage Volume Provided

335

Cu. Ft.

*Storage requirement with bottom infiltration only.

**Based on NOAA Atlas 2 IDF values for Region 2 Idaho

Storage Volume Provided by Drywell 2

Drywell Structure Dimensions

Drywell MH Diam.: 2.0 ft
Drywell Length: 10.0
Drywell Width: 10.0 ft
Drain Rock Void Ratio: 0.4
Depth of Rock: 8.0 ft

MH Base Area: 3.1 sf
Total Base Area: 100.0 sf

Drain Rock Annular Area: 96.9 sf
Drain Rock Perimeter: 40.0 ft
Drywell Storage Volume: 335 Cu. Ft.

CLEAR CREEK DISPOSAL

PO Box 130 • Ketchum, ID 83340 • Phone 208.726.9600 • www.ccdisposal.com

April 28, 2025

Planning & Zoning Department
City of Ketchum
P O Box 2315
Ketchum, ID 83340-2315

Re: 690 Walnut Ave N.

To Whom It May Concern,

This letter is intended as a will serve for the above address.

Clear Creek Disposal is prepared for the construction of a residence at this address. Clear Creek Disposal is fully capable of providing proper services for their job and for ongoing service thereafter.

If you have any questions, please don't hesitate to call me at 208-726-9600.

Respectfully,

Miguel Goitiandia

Mike Goitiandia
Clear Creek Disposal

.690 Walnut Ave N. - Will Serve



April 18, 2025

Knob Hill Properties, LLC

% Nick Kunkle

Via email: nkunkle@rorockettdesign.com

Subject: Power Service to property at 690 N Walnut Ave. Ketchum

Dear Mr. Kunkle:

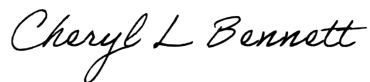
You have inquired as to whether the property noted above is within the certificated service territory of Idaho Power Company in the State of Idaho. This letter is to advise you that the property described above is currently located within the certificated service territory of Idaho Power Company (the Company) in the State of Idaho.

I have reviewed the preliminary grading, drainage & utility plan provided by Galena-Benchmark Engineering, labeled C1.0 - dated 4/18/25 and the proposed plan is acceptable to the Company. As the project moves through the approval process with the city, any changes to this plan must be submitted to me for review. Once you are ready to move forward with power install, we typically run 3-4 weeks out for design and 3-4 weeks out for construction after payment - we do get shut down for winter construction in the fall (mainly when the asphalt plants are shut down).

The company will provide electrical service to the above location subject to the obtaining of any required easements, rights of way, and in compliance with the statutes of the State of Idaho and the tariffs of the Company on file with the Idaho Public Utilities Commission (IPUC) in particular, the General Rules and Regulations, covering new service attachments and distribution line installations or alterations. The tariff is subject to change from time to time upon approval by the IPUC.

Please feel free to contact me with any questions.

Respectfully submitted,



Cheryl L. Bennett

Senior Distribution Designer

11831 Hwy 75

Hailey, ID 83333

Idaho Power Company

cc: Sarah Smith, Galena-Benchmark Engineering

RE: Knob Hill Residence MODR

From Bennett, Cheryl <CBennett2@idahopower.com>

Date Thu 6/12/2025 2:46 PM

To Julia McLeod <jmcleod@fieldstudiola.com>

Cc Nicholas Kunkle <nkunkle@rorockettdesign.com>; Zac Rockett <zrockett@rorockettdesign.com>; Olivia Urban <ourban@rorockettdesign.com>; Charlie Kees <ckees@fieldstudiola.com>; Elizabeth Ritchie <eritchie@fieldstudiola.com>

 1 attachment (2 MB)

6.12.25 transformer location 20250611_MOD Design Review Update 4.pdf;

Hi All:

I have reviewed the transformer location on the attached drawing. I do not have a problem with the general location of the transformer as long as it meets our specs – based on this design, we would have to face the transformer south and there can be nothing within 10' of the front of the transformer with any brush/landscape that hinders our access and operation of the transformer. Keep in mind the meter will have to be within 125' max and maybe closer depending on the final size of the panel once load calcs are provided.

If the service is over 400 amps, it will require ct metering which the customer provides a ct enclosure that will either have to be at the transformer (the enclosure is similar in size and color to our transformers) and the meter would be at this location – if it is on the house, it is a rectangular box that is mounted on the side of the house. I see that the garage is on the other side of the project so if we need to place the transformer on that side of the lot, we can do that as well, again, as long as all of the clearances are met – 3' on sides and rear and 10' in front of the transformer.

I have attached our links to the specs for customer service.

<https://www.idahopower.com/accounts-service/construction-remodeling/installing-new-service/residential-overheadunderground/>

Cheryl Bennett

Senior Distribution Designer

Idaho Power | COBD

Office 208-788-8058 | Mobile 208-721-8822

11831 Highway 75 | Hailey, ID | 83333

From: Julia McLeod <jmcleod@fieldstudiola.com>

Sent: Thursday, June 12, 2025 2:19 PM

To: Bennett, Cheryl <CBennett2@idahopower.com>

Cc: Nicholas Kunkle <nkunkle@rorockettdesign.com>; Zac Rockett <zrockett@rorockettdesign.com>; Olivia Urban <ourban@rorockettdesign.com>; Charlie Kees <ckees@fieldstudiola.com>; Elizabeth Ritchie <eritchie@fieldstudiola.com>

Subject: [EXTERNAL] Knob Hill Residence MODR

Hi Cheryl,

RE:

Knob Hill Residence
LOT 3&4 Walnut Ave
Ketchum, ID 83340

The City of Ketchum Department of Planning and Building has requested written confirmation from Idaho Power for the following:

Design Review (KMC Chapter 17.96) Comments

1. Comment: Transformer Screening—Pursuant to KMC §17.96.060.D2, “Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view.” The Grading, Drainage, and Utility plan on sheet C1.0 shows that a new transformer is proposed to be installed in the front setback area at the northwest corner of the subject property. Note U05 states, “Proposed power transformer. Coordinate location with Idaho Power Co. Transformer to be screened with landscape on sides and rear. Maintain 10’ clearance in front of doors.” The project plans do not specify the
 - Required Action: Specifications for the landscape screening proposed for the transformer, including vegetation types, size, and placement, must be shown on the project plans. In addition, please submit written confirmation from Idaho Power Company verifying that that they have reviewed and approved the specifications for the proposed screening and the proposed placement complies with their clearance requirements.
 - Staff Recommendation: Staff recommends that the applicant select vegetation types for the landscape screening that maintain their foliage throughout the year, such as evergreen shrubs, rather than deciduous shrubs that lose their foliage in the winter or tall grasses that are cut down in the winter to ensure that the transformer equipment is sufficiently screened from public view year-round.

The attached MODR Application Planting Plan shows transformer placement and landscape screening. Landscape screening includes; sagebrush varieties, Rabbitbrush, Antelope Bitterbrush, Western Snowberry, and Common Chokecherry.

We are trying to turn this around by tomorrow afternoon. Do you have the capacity to get us written confirmation as soon as possible?

Please let us know if you have any questions or comments.

Thank you so much!

JULIA MCLEOD, DESIGNER

FIELD STUDIO

722 N ROUSE AVE. BOZEMAN, MT 59715

fieldstudiola.com | O: (406) 551-2098 C: (406) 570-2393



IDAHO POWER LEGAL DISCLAIMER

This transmission may contain information that is privileged, confidential and/or exempt from disclosure under applicable law. If you are not the intended recipient, you are hereby notified that any disclosure, copying, distribution, or use of the information contained herein (including any reliance thereon) is **STRICTLY PROHIBITED**. If you received this transmission in error, please immediately contact the sender and destroy the material in its entirety, whether in electronic or hard copy format. Thank you.

Attachment C

Lot Consolidation Submittal:
Subdivision Preliminary Plat Application
&
Waiver Requests



City of Ketchum
Planning & Building

OFFICIAL USE ONLY

Application Number:

Date Received:

By:

Fee Paid:

Approved Date:

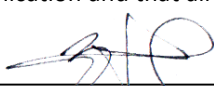
By:

Subdivision Application-Preliminary Plat

Submit completed application and documentation to planningandzoning@ketchumidaho.org Or hand deliver to Ketchum City Hall, 191 5th St. W. Ketchum, ID If you have questions, please contact the Planning and Building Department at (208) 726-7801. To view the Development Standards, visit the City website at: www.ketchumidaho.org and click on Municipal Code. You will be contacted and invoiced once your application package is complete.

| APPLICANT INFORMATION | | | |
|---|--|--|------------------------------------|
| Name of Proposed Subdivision: KETCHUM TOWNSITE: BLOCK 91: LOT 3A | | | |
| Owner of Record: Knob Hill Properties, LLC | | | |
| Address of Owner: P.O. Box 14001-174, Ketchum, ID 83340 | | | |
| Representative of Owner: Ro Rockett Design | | Phone #: 415-289-0830 | |
| Email: zrockett@rorockettdesign.com | | | |
| Legal Description: Ketchum Lot 3&4, Block 91 | | RPK 00000910030 & 0000091004A | |
| Street Address: Lot 3&4, Block 91 | | | |
| SUBDIVISION INFORMATION | | | |
| Number of Lots/Parcels: 1 | | | |
| Total Land Area: 16,523sf Combined | | | |
| Current Zoning District: LR | | | |
| Proposed Zoning District: LR | | | |
| Overlay District: Mountain | | | |
| TYPE OF SUBDIVISION | | | |
| Condominium <input type="checkbox"/> | Land <input checked="" type="checkbox"/> | PUD <input type="checkbox"/> | Townhouse <input type="checkbox"/> |
| Adjacent land in same ownership in acres or square feet: N/A | | | |
| Easements to be dedicated on the final plat: No new easements. | | | |
| Briefly describe the improvements to be installed prior to final plat approval: None | | | |
| ADDITIONAL INFORMATION | | | |
| All lighting must be in compliance with the City of Ketchum's Dark Sky Ordinance One (1) copy of Articles of Incorporation and By-Laws of Homeowners Associations and/or Condominium Declarations One (1) copy of current title report and owner's recorded deed to the subject property One (1) copy of the preliminary plat All files should be submitted in an electronic format to planningandzoning@ketchumidaho.org | | | |

Applicant agrees in the event of a dispute concerning the interpretation or enforcement of the Subdivision Application in which the City of Ketchum is the prevailing party to pay reasonable attorney's fees and costs, including fees and costs of appeal for the City of Ketchum. Applicant agrees to observe all City ordinances, laws and conditions imposed. Applicant agrees to defend, hold harmless and indemnify the City of Ketchum, city officials, agents and employees from and for any and all losses, claims, actions, judgments for damages, or injury to persons or property, and losses and expenses caused or incurred by Applicant, its servants, agents, employees, guests and business invitees and not caused by or arising out of the tortuous conduct of city or its officials, agents or employees. Applicant certifies that s/he has read and examined this application and that all information contained herein is true and correct.


Applicant Signature

4.18.2025

Date



City of Ketchum
Planning & Building

| OFFICIAL USE ONLY |
|-------------------|
| File Number: |
| Date Received: |
| Fee Paid: |
| By: |
| Approved Date: |
| Denied Date: |
| By: |

APPLICATION FOR A WAIVER OF REQUIREMENTS

Submit completed application and documentation to planningandbuilding@ketchumidaho.org Or hand deliver to Ketchum City Hall, 191 5th St. W. Ketchum, ID If you have questions, please contact the Planning and Building Department at (208) 726-7801. To view the Development Standards, visit the City website at: www.ketchumidaho.org and click on Municipal Code. You will be contacted and invoiced once your application package is complete.

Name: Zac Rockett / Ro Rockett Design

Phone: 415-289-0830 x201

Email: zrockett@rorockettdesign.com

Mailing Address: 1306 Bridgeway, Upper Flr, Sausalito, CA 94965

Project Address: Lot 3&4, Block 91

Legal Description: Ketchum Lot 3&4, Block 91

Zoning Designation: LR Lot Size: 16,523sf Combined Commercial Residential X

Overlay District: Flood Avalanche Pedestrian Mountain X

Please state with particularity the matters the applicant seeks waiver or deferral:

Request to establish a reasonable building envelope within slopes of 25% and greater and

consolidate Lots 3 & 4 , Block 91.

Please state how the waiver or deferral would not be detrimental to the public welfare, health and safety nor injurious to property owners in the immediate area.

The lot consolidation is in conformance with the 2014 Comprehensive Plan & Interim Ordinance 1234.

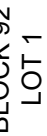
All applicable existing zoning, overlay district, building, and fire safety requirements will be met.

Applicant's Signature: _____

Date: 6.13.2025

WHEREIN THE BOUNDARY COMMON TO LOTS 3 & 4 WITHIN BLOCK 91, KETCHUM TOWNSITE IS ELIMINATED,
AND A BUILDING ENVELOPE IS ESTABLISHED, CREATING LOT 3A.

APRIL 2025



Sanitary restrictions as required by Idaho Code Title 50, Chapter 13, are in force. No owner shall construct any building, dwelling or shelter which necessitates the supplying of water or sewage facilities for persons using such premises until sanitary restriction requirements are satisfied.

South Central Public Health District, REHS



N.T.S.



SURVEY NARRATIVE & NOTES

- KETCHUM TOWNSITE SUBDIVISION
BLOCK 91, LOT 3A

GALENA-BENCHMARK ENGINEERING
KETCHUM, IDAHO

**Instrument # 705171**

HAILEY, BLAINE, IDAHO
03-11-2024 10:50:19 AM No. of Pages: 2
Recorded for: BLAINE COUNTY TITLE
STEPHEN MCDOUGALL GRAHAM Fee: \$15.00
Ex-Officio Recorder Deputy: MG
Electronically Recorded by Simplifile

WARRANTY DEED

FOR VALUE RECEIVED

Breyman Properties, LLC, an Oregon limited liability company,

the Grantor, hereby grants, bargains, sells, conveys and warrants unto

Knob Hill Properties, LLC, a Nevada Limited Liability Company

the Grantee, whose current address is:

the following described premises, to-wit:

Lots 3 and 4 in Block 91, of the VILLAGE OF KETCHUM, as shown on the certified copy of the official map thereof, recorded as Instrument No. 302967, records of Blaine County, Idaho.

TO HAVE AND TO HOLD the said premises, with their appurtenances unto the said Grantee, its heirs and assigns forever. And the said Grantor does hereby covenant to and with the said Grantee, that Grantor is the owner in fee simple of said premises; that they are free from all encumbrances except those to which this conveyance is expressly made subject to and those made, suffered or done by the Grantee; and subject to all existing patent reservations; restrictions in railroad deeds of record; easements and rights of way established and of record; protective covenants of record; zoning ordinances and applicable building codes, use restrictions, ordinances, laws and regulations of any governmental unit; general taxes and assessments, including irrigation and utility assessments (if any) for the current year, which are not due and payable; and that Grantor will warrant and defend the same from all lawful claims whatsoever. Whenever the context so requires, the singular number includes the plural.

Dated this 6 day of March, 2024.

BREYMAN PROPERTIES, LLC,
an Oregon limited liability company

By: 

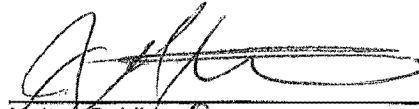
Stephen E. Babson, Manager

By: 

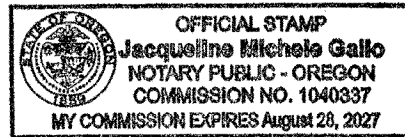
Melissa N. Babson, Manager

State of Oregon
County of Multnomah

This record was acknowledged before me on 6th day of March, 2024, by Stephen E. Babson and Melissa N. Babson, as Managers of Breyman Properties, LLC, an Oregon limited liability company.


Notary Public Oregon
My Commission Expires: 8/28/2027

(STAMP)



ALTA Commitment for Title Insurance



Issued By Old Republic National Title Insurance Company

NOTICE

IMPORTANT—READ CAREFULLY: THIS COMMITMENT IS AN OFFER TO ISSUE ONE OR MORE TITLE INSURANCE POLICIES. ALL CLAIMS OR REMEDIES SOUGHT AGAINST THE COMPANY INVOLVING THE CONTENT OF THIS COMMITMENT OR THE POLICY MUST BE BASED SOLELY IN CONTRACT.

THIS COMMITMENT IS NOT AN ABSTRACT OF TITLE, REPORT OF THE CONDITION OF TITLE, LEGAL OPINION, OPINION OF TITLE, OR OTHER REPRESENTATION OF THE STATUS OF TITLE. THE PROCEDURES USED BY THE COMPANY TO DETERMINE INSURABILITY OF THE TITLE, INCLUDING ANY SEARCH AND EXAMINATION, ARE PROPRIETARY TO THE COMPANY, WERE PERFORMED SOLELY FOR THE BENEFIT OF THE COMPANY, AND CREATE NO EXTRACTIONAL LIABILITY TO ANY PERSON, INCLUDING A PROPOSED INSURED.

THE COMPANY'S OBLIGATION UNDER THIS COMMITMENT IS TO ISSUE A POLICY TO A PROPOSED INSURED IDENTIFIED IN SCHEDULE A IN ACCORDANCE WITH THE TERMS AND PROVISIONS OF THIS COMMITMENT. THE COMPANY HAS NO LIABILITY OR OBLIGATION INVOLVING THE CONTENT OF THIS COMMITMENT TO ANY OTHER PERSON.

COMMITMENT TO ISSUE POLICY

Subject to the Notice; Schedule B, Part I—Requirements; Schedule B, Part II—Exceptions; and the Commitment Conditions, Old Republic National Title Insurance Company, (the "Company"), commits to issue the Policy according to the terms and provisions of this Commitment. This Commitment is effective as of the Commitment Date shown in Schedule A, only when the Company has entered in Schedule A both the specified dollar amount as the Proposed Policy Amount and the name of the Proposed Insured.

If all of the Schedule B, Part I—Requirements have not been met within six months after the Commitment Date, this Commitment terminates and the Company's liability and obligation end.

Blaine County Title, Inc.
360 Sun Valley Road
P.O. Box 3176
Ketchum, ID 83340
(208) 726-0700


Authorized Countersignature

OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
A Stock Company
1408 North Westshore Blvd., Suite 900, Tampa, Florida 33607
(612) 371-1111 www.oldrepublictitle.com

By  President

Attest  Secretary

COMMITMENT CONDITIONS

1. DEFINITIONS

- a. "Discriminatory Covenant": Any covenant, condition, restriction, or limitation that is unenforceable under applicable law because it illegally discriminates against a class of individuals based on personal characteristics such as race, color, religion, sex, sexual orientation, gender identity, familial status, disability, national origin, or other legally protected class.
- b. "Knowledge" or "Known": Actual knowledge or actual notice, but not constructive notice imparted by the Public Records.
- c. "Land": The land described in Item 5 of Schedule A and improvements located on that land that by State law constitute real property. The term "Land" does not include any property beyond that described in Schedule A, nor any right, title, interest, estate, or easement in any abutting street, road, avenue, alley, lane, right-of-way, body of water, or waterway, but does not modify or limit the extent that a right of access to and from the Land is to be insured by the Policy.
- d. "Mortgage": A mortgage, deed of trust, trust deed, security deed, or other real property security instrument, including one evidenced by electronic means authorized by law.
- e. "Policy": Each contract of title insurance, in a form adopted by the American Land Title Association, issued or to be issued by the Company pursuant to this Commitment.
- f. "Proposed Amount of Insurance": Each dollar amount specified in Schedule A as the Proposed Amount of Insurance of each Policy to be issued pursuant to this Commitment.
- g. "Proposed Insured": Each person identified in Schedule A as the Proposed Insured of each Policy to be issued pursuant to this Commitment.
- h. "Public Records": The recording or filing system established under State statutes in effect at the Commitment Date under which a document must be recorded or filed to impart constructive notice of matters relating to the Title to a purchaser for value without Knowledge. The term "Public Records" does not include any other recording or filing system, including any pertaining to environmental remediation or protection, planning, permitting, zoning, licensing, building, health, public safety, or national security matters.
- i. "State": The state or commonwealth of the United States within whose exterior boundaries the Land is located. The term "State" also includes the District of Columbia, the Commonwealth of Puerto Rico, the U.S. Virgin Islands, and Guam.
- j. "Title": The estate or interest in the Land identified in Item 3 of Schedule A.

2. If all of the Schedule B, Part I - Requirements have not been met within the time period specified in the Commitment to Issue Policy, this Commitment terminates and the Company's liability and obligation end.

3. The Company's liability and obligation is limited by and this Commitment is not valid without:

- a. the Notice;
- b. the Commitment to Issue Policy;
- c. the Commitment Conditions;
- d. Schedule A;
- e. Schedule B, Part I - Requirements;
- f. Schedule B, Part II - Exceptions; and
- g. a countersignature by the Company or its issuing agent that may be in electronic form.

4. COMPANY'S RIGHT TO AMEND

The Company may amend this Commitment at any time. If the Company amends this Commitment to add a defect, lien, encumbrance, adverse claim, or other matter recorded in the Public Records prior to the Commitment Date, any liability of the Company is limited by Commitment Condition 5. The Company is not liable for any other amendment to this Commitment.

This page is only a part of a 2021 ALTA Commitment for Title Insurance issued by Old Republic National Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I—Requirements; and Schedule B, Part II—Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

5. LIMITATIONS OF LIABILITY

- a. The Company's liability under Commitment Condition 4 is limited to the Proposed Insured's actual expense incurred in the interval between the Company's delivery to the Proposed Insured of the Commitment and the delivery of the amended Commitment, resulting from the Proposed Insured's good faith reliance to:
 - (i) comply with the Schedule B, Part I - Requirements;
 - (ii) eliminate, with the Company's written consent, any Schedule B, Part II - Exceptions; or
 - (iii) acquire the Title or create the Mortgage covered by this Commitment.
- b. The Company is not liable under Commitment Condition 5.a. if the Proposed Insured requested the amendment or had Knowledge of the matter and did not notify the Company about it in writing.
- c. The Company is only liable under Commitment Condition 4 if the Proposed Insured would not have incurred the expense had the Commitment included the added matter when the Commitment was first delivered to the Proposed Insured.
- d. The Company's liability does not exceed the lesser of the Proposed Insured's actual expense incurred in good faith and described in Commitment Condition 5.a. or the Proposed Amount of Insurance.
- e. The Company is not liable for the content of the Transaction Identification Data, if any.
- f. The Company is not obligated to issue the Policy referred to in this Commitment unless all of the Schedule B, Part I—Requirements have been met to the satisfaction of the Company.
- g. The Company's liability is further limited by the terms and provisions of the Policy to be issued to the Proposed Insured.

6. LIABILITY OF THE COMPANY MUST BE BASED ON THIS COMMITMENT; CHOICE OF LAW AND CHOICE OF FORUM

- a. Only a Proposed Insured identified in Schedule A, and no other person, may make a claim under this Commitment.
- b. Any claim must be based in contract under the State law of the State where the Land is located and is restricted to the terms and provisions of this Commitment. Any litigation or other proceeding brought by the Proposed Insured against the Company must be filed only in a State or federal court having jurisdiction.
- c. This Commitment, as last revised, is the exclusive and entire agreement between the parties with respect to the subject matter of this Commitment and supersedes all prior commitment negotiations, representations, and proposals of any kind, whether written or oral, express or implied, relating to the subject matter of this Commitment.
- d. The deletion or modification of any Schedule B, Part II—Exception does not constitute an agreement or obligation to provide coverage beyond the terms and provisions of this Commitment or the Policy.
- e. Any amendment or endorsement to this Commitment must be in writing and authenticated by a person authorized by the Company.
- f. When the Policy is issued, all liability and obligation under this Commitment will end and the Company's only liability will be under the Policy.

7. IF THIS COMMITMENT IS ISSUED BY AN ISSUING AGENT

The issuing agent is the Company's agent only for the limited purpose of issuing title insurance commitments and policies. The issuing agent is not the Company's agent for closing, settlement, escrow, or any other purpose.

8. PRO-FORMA POLICY

The Company may provide, at the request of a Proposed Insured, a pro-forma policy illustrating the coverage that the Company may provide. A pro-forma policy neither reflects the status of Title at the time that the pro-forma policy is delivered to a Proposed Insured, nor is it a commitment to insure.

9. CLAIMS PROCEDURES

This Commitment incorporates by reference all Conditions for making a claim in the Policy to be issued to the Proposed Insured. Commitment Condition 9 does not modify the limitations of liability in Commitment Conditions 5 and 6.

This page is only a part of a 2021 ALTA Commitment for Title Insurance issued by Old Republic National Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I—Requirements; and Schedule B, Part II—Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

10. CLASS ACTION

ALL CLAIMS AND DISPUTES ARISING OUT OF OR RELATING TO THIS COMMITMENT, INCLUDING ANY SERVICE OR OTHER MATTER IN CONNECTION WITH ISSUING THIS COMMITMENT, ANY BREACH OF A COMMITMENT PROVISION, OR ANY OTHER CLAIM OR DISPUTE ARISING OUT OF OR RELATING TO THE TRANSACTION GIVING RISE TO THIS COMMITMENT, MUST BE BROUGHT IN AN INDIVIDUAL CAPACITY. NO PARTY MAY SERVE AS PLAINTIFF, CLASS MEMBER, OR PARTICIPANT IN ANY CLASS OR REPRESENTATIVE PROCEEDING. ANY POLICY ISSUED PURSUANT TO THIS COMMITMENT WILL CONTAIN A CLASS ACTION CONDITION.

11. ARBITRATION

The Policy contains an arbitration clause. All arbitrable matters when the Proposed Amount of Insurance is \$2,000,000 or less may be arbitrated at the election of either the Company or the Proposed Insured as the exclusive remedy of the parties. A Proposed Insured may review a copy of the arbitration rules at <http://www.alta.org/arbitration>.

Transaction Identification Data, for which the Company assumes no liability as set forth in Condition 5 e.:

Issuing Agent: Blaine County Title, Inc.
Issuing Office: 360 Sun Valley Road, P.O. Box 3176, Ketchum, ID 83340
Issuing Office's ALTA® Registry ID: 1074245
Loan ID Number:
Commitment Number: 2526032
Issuing Office File Number: 2526032
Property Address: Vacant Land, Ketchum, ID 83340
Revision Number:

SCHEDULE A

COMMITMENT

1. Commitment Date: April 23, 2025 at 8:00 A.M.
2. Policy to be issued:
 - (a) 2021 ALTA® Owner's Policy
Proposed Insured:
Proposed Amount of Insurance: \$
The estate or interest to be insured:
 - (b) 2021 ALTA® Loan Policy
Proposed Insured:
Proposed Amount of Insurance \$
The estate or interest to be insured:
3. The estate or interest in the Land at the Commitment Date is:

Fee Simple
4. The Title is, at the Commitment Date, vested in:
Knob Hill Properties, LLC, a Nevada Limited Liability Company
and, as disclosed in the Public Records, has been since March 11, 2024
5. The Land is described as follows:

Lots 3 and 4 in Block 91, of the VILLAGE OF KETCHUM, as shown on the certified copy of the official map thereof, recorded as Instrument No. 302967, records of Blaine County, Idaho.

STATEMENT OF CHARGES

Title Search: \$150.00

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ORT Form 4757 A

Schedule A – ALTA Commitment for Title Insurance 2021 v 01.00 07/01/2021
File No. 2526032

SCHEDULE B I

COMMITMENT

REQUIREMENTS

File No.: 2526032

All of the following Requirements must be met:

1. The Proposed Insured must notify the Company in writing of the name of any party not referred to in this Commitment who will obtain an interest in the Land or who will make a loan on the Land. The Company may then make additional Requirements or Exceptions.
2. Pay the agreed amount for the estate or interest to be insured.
3. Pay the premiums, fees, and charges for the Policy to the Company.
4. Documents satisfactory to the Company that convey the Title or create the Mortgage to be insured, or both, must be properly authorized, executed, delivered, and recorded in the Public Records.

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ORT Form 4757 B I

Schedule B I – ALTA Commitment 2021 v 01.00 07/01/2021

File No. 2526032

SCHEDULE B II

COMMITMENT

EXCEPTIONS FROM COVERAGE

File No.: 2526032

Some historical land records contain Discriminatory Covenants that are illegal and unenforceable by law. This Commitment and the Policy treat any Discriminatory Covenant in a document referenced in Schedule B as if each Discriminatory Covenant is redacted, repudiated, removed, and not republished or recirculated. Only the remaining provisions of the document will be excepted from coverage.

The Policy will not insure against loss or damage resulting from the terms and conditions of any lease or easement identified in Schedule A, and will include the following Exceptions unless cleared to the satisfaction of the Company:

1. Any defect, lien, encumbrance, adverse claim, or other matter that appears for the first time in the Public Records or is created, attaches, or is disclosed between the Commitment Date and the date on which all of the Schedule B, Part I - Requirements are met.
2. Taxes or assessments which are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the Public Records. Proceedings by a public agency which may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by Public Records.
3. Any facts, rights, interests, or claims which are not shown by the Public Records, but which could be ascertained by an inspection of the Land or by making inquiry of persons in possession thereof.
4. Easements, liens, or encumbrances, or claims thereof, which are not shown by the Public Records.
5. Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land and not shown by the Public Records.
6. (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) water rights, claims, or title to water, whether or not the matters excepted under (a), (b), or (c) are shown by the Public Records.
7. Any lien or right to a lien for services, labor, or material heretofore or hereafter furnished, imposed by law and not shown by the Public Records.
8. Rights of the state or federal government and/or public in and to any portion of the land for right of way (whether or not such rights are shown by recordings of easements and/or maps in the Public Records by the State of Idaho showing the general location of these rights of way).
9. Minerals of whatsoever kind, subsurface and surface substances, including but not limited to coal, lignite, oil, gas, uranium, clay, rock, sand, and gravel in, on, under and that may be produced from the Land, together with all rights, privileges, and immunities relating thereto, whether or not appearing in the Public Records or listed in Schedule B. Stewart makes no representation as to the present ownership of any such interests. There may be leases, grants, exceptions or reservations of interest that are not listed.

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ORT Form 4757 B II

Schedule B II – ALTA Commitment 2021 v 01.00 07/01/2021

File No. 2526032

SCHEDULE B II

COMMITMENT

EXCEPTIONS FROM COVERAGE

10. General taxes for the year 2025 and subsequent years, which are a lien not yet payable.

Note: General taxes for the year 2024, a lien in the amount of \$8,446.96, which are paid in full. (Parcel No. RPK00000910030)

Note: General taxes for the year 2024, a lien in the amount of \$8,446.96, which are paid in full. (Parcel No. RPK0000091004A)

11. Water, sewer, rubbish charges of the City of Ketchum.
12. Ketchum rubbish charges billed by Clear Creek Disposal.
13. Terms and Provisions of City of Ketchum Ordinance No. 173, recorded October 12, 1979 as [Instrument No. 197670](#), records of Blaine County, Idaho.
14. Notes, Easements and Restrictions, if any, as shown on the official map of the Village of Ketchum, recorded February 13, 1989 as [Instrument No. 302967](#), records of Blaine County, Idaho.
15. Reciprocal View Corridor and Landscape Easement Agreement, including the terms and provisions thereof, recorded September 13, 2019 as [Instrument No. 663131](#), records of Blaine County, Idaho.
16. All matters depicted on that certain Survey, recorded June 30, 2022, as [Instrument No. 694710](#), records of Blaine County, Idaho.

END OF EXCEPTIONS

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ORT Form 4757 B II

Schedule B II – ALTA Commitment 2021 v 01.00 07/01/2021
File No. 2526032

Page 2 of 2

**FACTS****WHAT DOES OLD REPUBLIC TITLE
DO WITH YOUR PERSONAL INFORMATION?****Why?**

Financial companies choose how they share your personal information. Federal law gives consumers the right to limit some but not all sharing. Federal law also requires us to tell you how we collect, share, and protect your personal information. Please read this notice carefully to understand what we do.

What?

The types of personal information we collect and share depend on the product or service you have with us. This information can include:

- Social Security number and employment information
- Mortgage rates and payments and account balances
- Checking account information and wire transfer instructions

When you are *no longer* our customer, we continue to share your information as described in this notice.

How?

All financial companies need to share customers' personal information to run their everyday business. In the section below, we list the reasons financial companies can share their customers' personal information; the reasons Old Republic Title chooses to share; and whether you can limit this sharing.

| Reasons we can share your personal information | Does Old Republic Title share? | Can you limit this sharing? |
|--|--------------------------------|-----------------------------|
| For our everyday business purposes — such as to process your transactions, maintain your account(s), or respond to court orders and legal investigations, or report to credit bureaus | Yes | No |
| For our marketing purposes — to offer our products and services to you | No | We don't share |
| For joint marketing with other financial companies | No | We don't share |
| For our affiliates' everyday business purposes — information about your transactions and experiences | Yes | No |
| For our affiliates' everyday business purposes — information about your creditworthiness | No | We don't share |
| For our affiliates to market to you | No | We don't share |
| For non-affiliates to market to you | No | We don't share |

Go to www.oldrepublictitle.com (Contact Us)

| Who we are | |
|-------------------------------|--|
| Who is providing this notice? | Companies with an Old Republic Title name and other affiliates. Please see below for a list of affiliates. |

| What we do | |
|--|--|
| How does Old Republic Title protect my personal information? | To protect your personal information from unauthorized access and use, we use security measures that comply with federal law. These measures include computer safeguards and secured files and buildings. For more information, visit https://www.oldrepublictitle.com/privacy-policy |
| How does Old Republic Title collect my personal information? | <p>We collect your personal information, for example, when you:</p> <ul style="list-style-type: none"> • Give us your contact information or show your driver's license • Show your government-issued ID or provide your mortgage information • Make a wire transfer <p>We also collect your personal information from others, such as credit bureaus, affiliates, or other companies.</p> |
| Why can't I limit all sharing? | <p>Federal law gives you the right to limit only:</p> <ul style="list-style-type: none"> • Sharing for affiliates' everyday business purposes - information about your creditworthiness • Affiliates from using your information to market to you • Sharing for non-affiliates to market to you <p>State laws and individual companies may give you additional rights to limit sharing. See the State Privacy Rights section location at https://www.oldrepublictitle.com/privacy-policy for your rights under state law.</p> |

| Definitions | |
|------------------------|--|
| Affiliates | <p>Companies related by common ownership or control. They can be financial and nonfinancial companies.</p> <ul style="list-style-type: none"> • <i>Our affiliates include companies with an Old Republic Title name, and financial companies such as Attorneys' Title Fund Services, LLC, Lex Terrae National Title Services, Inc., and Mississippi Valley Title Services Company</i> |
| Non-affiliates | <p>Companies not related by common ownership or control. They can be financial and non- financial companies.</p> <ul style="list-style-type: none"> • <i>Old Republic Title does not share with non-affiliates so they can market to you</i> |
| Joint marketing | <p>A formal agreement between non-affiliated financial companies that together market financial products or services to you.</p> <ul style="list-style-type: none"> • <i>Old Republic Title doesn't jointly market.</i> |

Affiliates Who May be Delivering This Notice

| | | | | |
|---|--|--|---|--|
| American First Title & Trust Company | American Guaranty Title Insurance Company | Attorneys' Title Fund Services, LLC | Compass Abstract, Inc. | eRecording Partners Network, LLC |
| Genesis Abstract, LLC | Guardian Consumer Services, Inc. | iMarc, Inc. | L.T. Service Corp. | Lenders Inspection Company |
| Lex Terrae National Title Services, Inc. | Lex Terrae, Ltd. | Mississippi Valley Title Services Company | Old Republic Branch Information Services, Inc. | Old Republic Diversified Services, Inc. |
| Old Republic Escrow of Vancouver, Inc. | Old Republic Exchange Company | Old Republic Title and Escrow of Hawaii, Ltd. | Old Republic National Title Insurance Company | Old Republic Title Company |
| Old Republic Title Company of Conroe | Old Republic Title Company of Nevada | Old Republic Title Company of Oklahoma | Old Republic Title Company of Oregon | Old Republic Title Company of St. Louis |
| Old Republic Title Information Concepts | Old Republic Title Insurance Agency, Inc. | Old Republic Title, Ltd. | RamQuest Software, Inc. | Republic Abstract & Settlement, LLC |
| Sentry Abstract Company | Surety Title Agency, Inc. | Trident Land Transfer Company, LLC | | |

Attachment D1

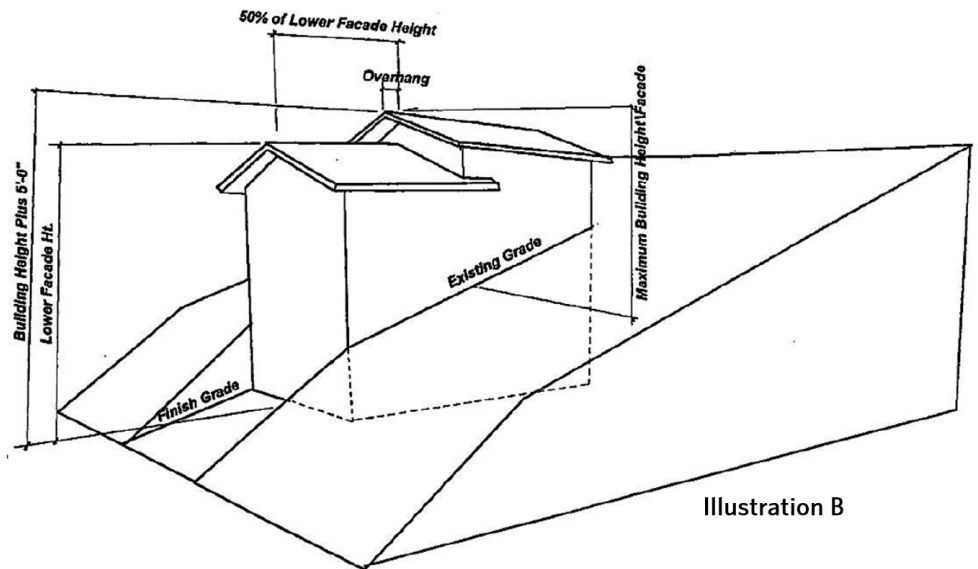
Staff Analysis:
Zoning & LR Dimensional Standards
Evaluation



**KNOB HILL RESIDENCE
MOUNTAIN OVERLAY DESIGN REVIEW
ZONING & LR DIMENSIONAL STANDARDS EVALUATION**

| LR Zoning and Dimensional Standards Evaluation | | | | |
|--|--------------------------|--------------------------|------------------------------|--|
| Compliant | | | Standards and Staff Analysis | |
| Yes | No | N/A | Ketchum Municipal Code | City Standards and Staff Analysis |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.12.030 | Minimum Lot Area |
| | | | Staff Analysis | <p>Required: 9,000 square feet minimum</p> <p>Existing (Ketchum Townsite—Block 91: Lots 3 & 4): 16,523 square feet (0.38 acres)</p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.12.030 | Building Coverage |
| | | | Staff Analysis | <p>Permitted: 35%</p> <p>Proposed: Sheets G-010 and L-0.00 of the project plans provides building coverage information. 29% (4,775 square feet / 16,523 square feet lot area)</p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.12.030 | Minimum Building Setbacks |
| | | | Staff Analysis | <p>Minimum Required Setbacks: Front: 15' Side: > of 1' for every 2' in building height, or 10' (19'-3" required) Rear: 20' KMC §17.128.020.D: In measuring the rear yard of a principal building where the rear lot line abuts an alley, measurement may be made to the centerline of the alley, provided no building is located within the right-of-way of the alley.</p> <p>Proposed: Setback dimensions are specified on Sheet A-100 of the project plans. Front (Walnut Avenue Avenue): 40'-7" Side (north): 20' Side (south): 20' Rear (east property line): 20'-2" Rear (centerline of Block 91 alleyway): 35'-2"</p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.12.030 | Building Height |
| | | | Staff Analysis | <p>Maximum Permitted Building Height: 35'</p> <p>Height of Building (KMC §17.08.020) Height of Building: The greatest vertical distance measured at any point from the roof to natural, existing, or finished grade, whichever is lowest. The maximum vertical distance from the lowest exposed finished floor to the highest point of the roof (regardless of vertical alignment) shall be no more than five feet greater than the maximum height permitted in the</p> |

zoning district (see illustration B on file in the office of the City Clerk). No facade shall be greater than the maximum height permitted in the zoning district. (See definition of "facade" in this section and illustration B on file in the office of the City Clerk.) Facades which step up or down hillsides shall be set back from the lower facade a minimum of 50 percent of the height of the lower facade; except, that roof overhangs may extend up to three feet into this area (see illustration B on file in the office of the City Clerk). This building height provision shall apply to parapets, Boston roofs and any other portion of a building roof, but shall not apply to flagpoles, lightning rods, weather vanes, antennas or chimneys.



Proposed:

- Lowest Exposed Finished Floor Elevation: 5915'-9"
- Highest Point of the Roof Elevation: 5954'-3"
- Maximum Vertical Distance (Regardless of Vertical Alignment): 38'-6"
- Lower Façade Height (35' max): 27'-5"
- Façade Setback (minimum of 50% lower façade height = 13'-9"): 13'-9"
- Maximum Façade Height: 33'-6"

| | | | | |
|-------------------------------------|--------------------------|--------------------------|-----------------------|--|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.125.030.I | Driveway Width |
| | | | Staff Analysis | <p>Required:</p> <p><u>Minimum:</u> The unobstructed, all weather surface of a private driveway shall not be less than 12 feet.</p> <p><u>Maximum:</u> The unobstructed, all weather surface of a private driveway shall not be greater than 35 percent of the linear footage of any street frontage or 30 feet, whichever is less, unless otherwise approved by the City Engineer.</p> |

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| | | | | Proposed: 20-foot-wide driveway 19% of Walnut Ave Street Frontage (20-foot-wide driveway/110 feet of Walnut Ave frontage) |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.125.020.A. 2 & 17.125.040.B | Parking Spaces |
| | | | Staff Analysis | Off-street parking standards of this chapter apply to any new development and to any new established uses. Required: One-Family Dwelling Units in all Zoning Districts: 2 parking spaces per dwelling unit. Proposed: As shown on sheet A-102 of the project plans, two parking spaces are provided within the attached garage. |

Attachment D2

Staff Analysis:
Mountain Overlay Design Review
Standards Analysis



KNOB HILL RESIDENCE MOUNTAIN OVERLAY DESIGN REVIEW STANDARDS EVALUATION

| Mountain Overlay Design Review Standards (KMC §17.107.070.A) | | |
|---|---|---|
| Ketchum Municipal Code | Mountain Overlay Standards & Staff Analysis | |
| 17.104.070.A1 | There shall be no building on ridges or knolls which would have a material visual impact on a significant skyline visible from a public vantage point entering the City or within the City. "Material", as the term is used herein, shall be construed in light of the magnitude of the negative impact on the objectives of this section. | Conformance YES |
| Staff Analysis | The project is not sited on a ridge or knoll that would have a material visual impact on a significant skyline visible from a public vantage point entering or within the city. The applicant has provided photography exhibits on Sheet G-025 of the project plans shows the estimated project location from different locations in the city. Staff does not believe the proposed home will have a material visual impact from any public vantage point within the city. | |
| 17.104.070.A2 | Building, excavating, filling and vegetation disturbance on hillsides which would have a material visual impact visible from a public vantage point entering the City or within the City is minimized. Material, as the term is used herein, shall be construed in light of the magnitude of the negative impact on the objectives of this section. | Conformance YES |
| Staff Analysis | As noted in the analysis for KMC §17.104.070.A2 above, staff does not believe the project will have a material visual impact visible from a public vantage point in the city. The subject property is located at the lower elevation of the Penny Mountain hillside. | |
| 17.104.070.A3 | Driveway standards as well as other applicable standards contained in Street Standards Chapter 12.04 are met. | Conformance YES Conditions #7 & #8 |
| Staff Analysis | Please see staff analysis for KMC §17.104.070.A9 for an analysis of the proposed driveway length. The civil drawings on sheet C1.0 and C1.1 specify the proposed driveway improvements. The proposed driveway is 20 feet wide and a slope of 9.7%. The Fire Department requires snowmelt for driveways or portions of driveways with 7-10% slope. The entirety of the driveway is proposed to be snowmelted. The proposed driveway improvements have been reviewed by the City Engineer, Streets Department, and Fire Department and city department comments were transmitted to the applicant. At final MO Design Review, City departments conducted a code compliance review of the MO Design Review submittal and believe the project complies with all requirements. | |

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| | The project requires a Right-of-Way Encroachment Permit approved by City Council for the driveway snowmelt system. Pursuant to recommended condition of approval no. 8 listed in section IV of the staff report, the applicant shall submit the Right-of-Way Encroachment Permit application for review by the City Engineer, Streets Department, and Planning Department at time of building permit. The associated ROW Encroachment Agreement must be reviewed and approved by City Council, signed, and recorded prior to issuance of building permit. | |
| 17.104.070.A4 | All development shall have access for fire and other emergency vehicles to within one hundred fifty feet (150') of the furthest exterior wall of any building. | Conformance YES |
| Staff Analysis | Sufficient access is provided for fire and other emergency vehicles to reach within 150 feet of the furthest exterior wall of the building. | |
| 17.104.070.A5 | Significant rock outcroppings are not disturbed. | Conformance YES |
| Staff Analysis | As shown on the topographic survey included in the project plans, the subject property does not contain any significant rock outcroppings. | |
| 17.104.070.A6 | International Building Code (IBC) and International Fire Code (IFC) and Ketchum Fire Department requirements shall be met. | Conformance YES |
| Staff Analysis | The project must comply with the 2018 International Residential Code, the 2018 International Fire Code, all local amendments specified in Title 15 of Ketchum Municipal Code, and Ketchum Fire Department requirements. All building code and Fire Department requirements will be verified for compliance by the Building and Fire departments prior to building permit issuance. | |
| 17.104.070.A7 | Public water and sewer service comply with the requirements of the City. | Conformance YES |
| Staff Analysis | As shown on C1.0 of the project plans and detailed in notes U01 and U02, the project will tap into the existing water main and utilize the existing sewer line tap along Walnut Avenue. The Water and Wastewater departments conducted a code compliance review of the project plans submitted with the final MO Design Review application and believe the project complies with all requirements. | |
| 17.104.070.A8 | Drainage is controlled and maintained to not adversely affect other properties. | Conformance YES Conditions #6 & #7 |
| Staff Analysis | The Geotechnical Report prepared by Steve Butler, P.E., dated January 6, 2023 ("geotechnical report") included in Attachment B identifies that the hillside is comprised of "fractured andesite bedrock up to 5.8 feet below existing grade." The fractured andesite bedrock has low permeability with "an infiltration rate of less than 0.1"/minute." The City Engineer believes the infiltration rate may be less than 0.1"/minute and closer to 0.05"/hour, which was the rate identified uphill to the east of the subject property at 691 N Spruce Avenue. If the | |

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| | <p>infiltration rate is less than 0.1"/minute, then the drywells would need to be resized.</p> <p>Pursuant to KMC §17.96.060.C1, "All stormwater shall be retained on site." The geotechnical reports that "smaller landscape drywells may be slow draining and ineffective" due to the lower permeability of the bedrock and recommends all surface runoff be piped to a large drywell downslope of the structure. The grading and drainage improvements specified on sheet C1.0 of the project plans (see Attachment A) include a large drywell by the driveway adjacent to the front property line along Walnut Avenue. In case the on-site drywells overflow, the geotechnical report recommends drainage improvements be constructed in the public ROW along Walnut Avenue to capture any excess surface runoff.</p> <p>The proposed drainage improvements in the ROW along Walnut Avenue include the construction of a new concrete valley gutter that ties into the new storm drain system that was a required drainage improvement for the McDermott residence directly south of the subject property. The new storm drain system flows all the way to a drywell on 5th Street.</p> <p>KMC §17.96.060.C3 gives the City Engineer authority to require additional drainage improvements as necessary due to unique site characteristics. As the project proposes stormwater discharge into the ROW, the City Engineer requires that the applicant provide the following information at time of building permit:</p> <ol style="list-style-type: none"> 1. Infiltration tests at the bottom of drywell locations. 2. Calculations that include offsite drainage contributions, identify drainage basins, and demonstrate that post-development discharge to the ROW does not exceed pre-development discharge using 50% of the measured infiltration rates. 3. Verification that the drywell on 5th Street has the additional capacity for the post-development discharge. <p>The City Engineer flagged that modifications to the existing drywell on 5th Street or an additional drywell may be required. The City Engineer requirements have been added as recommended condition of approval no. 6 listed in section IV of the staff report.</p> | |
| 17.104.070.A9 | <p>Cuts and fills allowed for roadways shall be minimized; lengths of driveways allowed shall be minimized; all cuts and fills shall be concealed with landscaping, revegetation and/or natural stone materials.</p> <p>Revegetation on hillsides with a clear zone of thirty feet (30') around all structures is recommended. Said clear zone shall include low combustible irrigated vegetation with appropriate species, on file with the Ketchum planning</p> | <p>Conformance YES</p> |

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| | department. Revegetation outside of this clear zone should be harmonious with the surrounding hillsides. | |
| Staff Analysis | <p>The lot disturbance diagrams on sheet G-020 show that 1,710 square feet of the subject property will remain undisturbed, which is 11% of the subject property area. The construction of the proposed home will disturb most of the natural hillside on the subject property. Most of the proposed hillside disturbance is required for the construction of the home within the excavated slope. As described in the geotechnical report (see Attachment B), in addition to managing stormwater runoff and stabilizing the steep slope, retaining walls are required to support the building foundation. Details for the proposed boulder retaining system are provided on sheet C1.0 and L-2.00 of the project plans (see Attachment A).</p> <p>Site improvements not associated with the construction of the residence that will disturb the hillside are limited to a small patio at the northeast corner of the subject property and the new driveway. At Preapplication, the Commission recommended the applicant lower the height of the building so that the aerial fire apparatus access could be removed and the home could be moved closer to the front setback at a lower elevation on the subject property. The applicant responded to the Commission's feedback by reducing building height in order to remove the aerial fire apparatus access. Removing the aerial fire apparatus access allowed the home to be moved 6 feet downhill closer to the front setback. The proposed setback from the front property line is 34'-7", which is 15'-7" more than the minimum required in the LR Zone. The driveway access follows the existing topography of the site to minimize cuts and fills. The landscape plan proposes a trees, shrubs, grasses and boulders that will conceal the proposed cuts and fills.</p> | |
| 17.104.070.A10 | There are not other sites on the parcel more suitable for the proposed development in order to carry out the purposes of this section. | Conformance YES |
| Staff Analysis | <p>Please see analysis for KMC §17.104.070.A9 and KMC §17.104.070.A14. In their response to the MO Design Review standards, the applicant stated, "The location of the proposed residence allows for the building to be tucked into the hillside and step up with the cross slope, resulting in the project not having a material visual impact." The applicant responded to the Commission's feedback by reducing building height in order to remove the aerial fire apparatus access. Removing the aerial fire apparatus access allowed the home to be moved 6 feet downhill closer to the front setback. The proposed setback from the front property line is 34'-7", which is 15'-7" more than the minimum required in the LR Zone. Planning staff believes that the modified siting of the home is the most appropriate area of the subject property for the proposed development.</p> | |
| 17.104.070.A11 | Access traversing 25% or greater slopes does not have significant impact on drainage, snow and earth slide | Conformance YES |

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| | potential and erosion as it relates to the subject property and to adjacent properties. | |
| Staff Analysis | The majority of the proposed driveway traverses slopes of 25% and greater. The City Engineer reviewed the proposed driveway improvements shown in the final MO Design Review submittal for code compliance and does not believe the access will have a significant impact on drainage, snow or earth slide potential, or erosion as it relates to the subject property and to adjacent properties. | |
| 17.104.070.A12 | Utilities shall be underground. | Conformance YES |
| Staff Analysis | The proposed utility improvements are specified on Sheet C1.0 of the project plans are limited to water and sewer improvements. All utilities are proposed to be underground. The project proposes to tap into the existing water main and install a new 2" water service line. A new 4" PVC sewer service will be installed to connect to the existing sewer service stub. The project will installed new buried power service. The Utilities Department reviewed the final MO Design Review submittal for conformance with city standards and believes the project complies with all requirements. | |
| 17.104.070.A13 | Limits of disturbance shall be established on the plans and protected by fencing on the site for the duration of construction. | Conformance YES |
| Staff Analysis | The proposed limits of disturbance is shown on sheets C1.0, L-0.00, L-1.00, L-2.00, and L-5.00 of the project plans. A construction activity plan that addresses all standards specified in KMC §15.06.030 will be required at time of building permit. KMC §15.06.030.J4 requires that, "Projects in the Mountain Overlay Zoning District or containing slopes greater than 25 percent shall be fenced pursuant to the design review conditions of approval." City departments will conduct a comprehensive review of the proposed construction activity plan during plan review at time of building permit. Per recommended condition no. 4 in section IV of the staff report, "The limits of disturbance shall be established on the construction activity plan submitted at time of building permit and protected by fencing for the duration of construction." | |
| 17.104.070.A14 | Excavations, fills and vegetation disturbance on hillsides not associated with the building construction shall be minimized. | Conformance YES |
| Staff Analysis | The lot disturbance diagrams on sheet G-020 show that 1,710 square feet of the subject property will remain undisturbed, which is 11% of the subject property area. The construction of the proposed home will disturb most of the natural hillside on the subject property. Pursuant to KMC §17.104.070.A14, "Excavations, fills and vegetation disturbance on hillsides not associated with the building construction shall be minimized." Most of the proposed hillside disturbance is required for the construction of the home within the excavated slope. As described in the geotechnical report (see Attachment B), in addition to managing stormwater runoff and stabilizing the steep slope, retaining walls are | |

| | | |
|-----------------|--|---------------------------|
| | <p>required to support the building foundation. Details for the proposed boulder retaining system are provided on sheet C1.0 and L-2.00 of the project plans (see Attachment A).</p> <p>Site improvements not associated with the construction of the residence that will disturb the hillside are limited to a small patio at the northeast corner of the subject property and the new driveway. At Preapplication, the Commission recommended the applicant lower the height of the building so that the aerial fire apparatus access could be removed and the home could be moved closer to the front setback at a lower elevation on the subject property. The applicant responded to the Commission's feedback by reducing building height in order to remove the aerial fire apparatus access. Removing the aerial fire apparatus access allowed the home to be moved 6 feet downhill closer to the front setback. The proposed setback from the front property line is 34'-7", which is 15'-7" more than the minimum required in the LR Zone.</p> | |
| 17.104.070.A.15 | Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community. | Conformance YES |
| Staff Analysis | <p>Ordinance No. 996 adopted in 2006 amended the Mountain Overlay boundaries and designated properties in the Knob Hill neighborhood as a significant landmark. Pursuant to KMC §17.104.030.B, "The area within these boundaries, northeast of the alley bisecting Walnut Avenue and Spruce Avenue consisting of lots 5, 6, 7 and 8, block 94, lots 5, 6, 7 and 8, block 93, lots 5, 6, 7 and 8, block 92, lots 5A, 6A, 7 and 8, block 91, lots 3 and 4, block 97, Ketchum Town Site, and all properties within the Kinderhorn Subdivision, along with the rock outcropping within block 29, Ketchum Town Site, is hereby designated as a significant landmark within the City of Ketchum as denoted in the map, a true and correct copy of which is attached to ordinance 996 as exhibit B and which is incorporated herein by this reference." The subject property is located west of and downhill from the four lots in Block 91 designated as a significant landmark per KMC §17.104.030.B. Staff does not believe the significant landmark uphill of the subject property will be negatively impacted by the proposed development.</p> | |
| 17.104.070.A.16 | Encroachments of below grade structures into required setbacks are subject to subsection 17.128.020.K of this title and shall not conflict with any applicable easements, existing underground structures, sensitive ecological areas, soil stability, drainage, other sections of this Code or other regulating codes such as adopted International Code Council Codes, or other site features concerning health, safety, and welfare. | Conformance YES |
| Staff Analysis | <p>This standard is not applicable as the project does not propose below-grade structures that encroach into required setbacks.</p> | |

Attachment D3

Staff Analysis: Design Review Analysis



**NOB HILL RESIDENCE
MOUNTAIN OVERLAY DESIGN REVIEW
DESIGN REVIEW STANDARDS EVALUATION**

| 17.96.060.A.1 - Streets | Conformance |
|---|-------------|
| <i>The applicant shall be responsible for all costs associated with providing a connection from an existing City street to their development.</i> | N/A |
| Finding: This standard is not applicable as no new roadways or driveways are proposed with this redevelopment project. The project is accessed from the existing Walnut Avenue public ROW. | |

| 17.96.060.A.2 - Streets | Conformance |
|--|-------------|
| <i>All street designs shall be approved by the City Engineer.</i> | N/A |
| Finding: No new streets or changes to the design of Spruce Avenue are proposed with this project. | |

| 17.96.060.B.1 - Sidewalks | Conformance |
|--|-------------|
| <i>All projects under subsection 17.96.010.A of this chapter that qualify as a "substantial improvement" shall install sidewalks as required by the Public Works Department.</i> | N/A |
| Finding: Ketchum Municipal Code 17.124.140 outlines the zone districts where sidewalks are required when substantial improvements are made, which include the Community Core, all tourist zone districts, and all light industrial districts. The subject property is located within the LR Zone and sidewalks are not required to be installed for the project. This standard is not applicable. | |

| 17.96.060.B.2 - Sidewalks | Conformance |
|---|-------------|
| <i>Sidewalk width shall conform to the City's right-of-way standards, however the City Engineer may reduce or increase the sidewalk width and design standard requirements at their discretion.</i> | N/A |
| Finding: N/A. The subject property is located within the LR Zone and sidewalks are not required to be installed for this project. | |

| 17.96.060.B.3 - Sidewalks | Conformance |
|---|-------------|
| <i>Sidewalks may be waived if one of the following criteria is met:</i> a) <i>The project comprises an addition of less than 250 square feet of conditioned space.</i> b) <i>The City Engineer finds that sidewalks are not necessary because of existing geographic limitations, pedestrian traffic on the street does not</i> | N/A |

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| <i>warrant a sidewalk, or if a sidewalk would not be beneficial to the general welfare and safety of the public.</i> | |
| Finding: N/A. The subject property is located within the LR Zone and sidewalks are not required to be installed for this project. | |

| 17.96.060.B.4 - Sidewalks | Conformance |
|--|-------------|
| <i>The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.</i> | N/A |
| Finding: N/A. The subject property is located within the LR Zone and sidewalks are not required to be installed for this project. | |

| 17.96.060.B.5 - Sidewalks | Conformance |
|---|-------------|
| <i>New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.</i> | N/A |
| Finding: N/A. Ketchum Municipal Code 17.124.140 outlines the zone districts where sidewalks are required when substantial improvements are made, which include the CC, all tourist zone districts, and all light industrial districts. The subject property is located in the LR Zone and sidewalks are not required to be installed for this project. | |

| 17.96.060.B.6 - Sidewalks | Conformance |
|---|-------------|
| <i>The City may approve and accept voluntary cash contributions in lieu of the above described improvements, which contributions must be segregated by the City and not used for any purpose other than the provision of these improvements. The contribution amount shall be 110 percent of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the City Engineer. Any approved in lieu contribution shall be paid before the City issues a certificate of occupancy.</i> | N/A |
| Finding: N/A. The subject property is located within the LR Zone and sidewalks are not required to be installed for this project. | |

| 17.96.060.C.1 - Drainage | Conformance |
|--|------------------------------|
| <i>All stormwater shall be retained on site.</i> | YES Conditions #6 & #7 |
| Finding: Geotechnical Report prepared by Steve Butler, P.E., dated January 6, 2023 ("geotechnical report") included in Attachment B identifies that the hillside is comprised of "fractured andesite bedrock up to 5.8 feet below existing grade." The fractured andesite bedrock has low permeability with "an infiltration rate of less than 0.1"/minute." The City | |

Engineer believes the infiltration rate may be less than 0.1"/minute and closer to 0.05"/hour, which was the rate identified uphill to the east of the subject property at 691 N Spruce Avenue. If the infiltration rate is less than 0.1"/minute, then the drywells would need to be resized.

Pursuant to KMC §17.96.060.C1, "All stormwater shall be retained on site." The geotechnical reports that "smaller landscape drywells may be slow draining and ineffective" due to the lower permeability of the bedrock and recommends all surface runoff be piped to a large drywell downslope of the structure. The grading and drainage improvements specified on sheet C1.0 of the project plans (see Attachment A) include a large drywell by the driveway adjacent to the front property line along Walnut Avenue. In case the on-site drywells overflow, the geotechnical report recommends drainage improvements be constructed in the public ROW along Walnut Avenue to capture any excess surface runoff.

The proposed drainage improvements in the ROW along Walnut Avenue include the construction of a new concrete valley gutter that ties into the new storm drain system that was a required drainage improvement for the McDermott residence directly south of the subject property. The new storm drain system flows all the way to a drywell on 5th Street.

KMC §17.96.060.C3 gives the City Engineer authority to require additional drainage improvements as necessary due to unique site characteristics. As the project proposes stormwater discharge into the ROW, the City Engineer requires that the applicant provide the following information at time of building permit:

1. Infiltration tests at the bottom of drywell locations.
2. Calculations that include offsite drainage contributions, identify drainage basins, and demonstrate that post-development discharge to the ROW does not exceed pre-development discharge using 50% of the measured infiltration rates.
3. Verification that the drywell on 5th Street has the additional capacity for the post-development discharge.

The City Engineer flagged that modifications to the existing drywell on 5th Street or an additional drywell may be required. The City Engineer requirements have been added as recommended condition of approval no. 6 listed in section IV of the staff report.

| 17.96.060.C.2 - Drainage | Conformance |
|--|------------------------------|
| <i>Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.</i> | YES Conditions #6 & #7 |
| Finding: Drainage improvements are specified on Sheet C1.0 of the project plans. Please see above staff analysis for KMC §17.96.060.C1. | |

| 17.96.060.C.3 - Drainage | Conformance |
|--|------------------------------|
| <i>The City Engineer may require additional drainage improvements as necessary, depending on the unique characteristics of a site.</i> | YES Conditions #6 & #7 |
| <p>Finding: KMC §17.96.060.C3 gives the City Engineer authority to require additional drainage improvements as necessary due to unique site characteristics. As the project proposes stormwater discharge into the ROW, the City Engineer requires that the applicant provide the following information at time of building permit:</p> <ol style="list-style-type: none"> 1. Infiltration tests at the bottom of drywell locations. 2. Calculations that include offsite drainage contributions, identify drainage basins, and demonstrate that post-development discharge to the ROW does not exceed pre-development discharge using 50% of the measured infiltration rates. 3. Verification that the drywell on 5th Street has the additional capacity for the post-development discharge. <p>The City Engineer flagged that modifications to the existing drywell on 5th Street or an additional drywell may be required. The City Engineer requirements have been added as recommended condition of approval no. 6 listed in section IV of the staff report</p> | |

| 17.96.060.C.4 - Drainage | Conformance |
|--|------------------------------|
| <i>Drainage facilities shall be constructed per City standards.</i> | YES Conditions #6 & #7 |
| <p>Finding: Drainage improvements are specified on Sheet C1.0 of the project plans. All drainage improvements shall be constructed to meet city standards. Pursuant to condition #7, the applicant shall submit final civil drawings for all drainage improvements with the building permit application to be verified, reviewed, and approved by the City Engineer and Streets Department.</p> | |

| 17.96.060.D.1 - Utilities | Conformance |
|--|-------------|
| <i>All utilities necessary for the development shall be improved and installed at the sole expense of the applicant.</i> | YES |
| <p>Finding: All project costs associated with the development, including the installation of utilities, are the responsibility of the applicant. The applicant has not made requests for funding to the City for utility improvements. No funds have been provided by the City for the project.</p> | |

| 17.96.060.D.2 - Utilities | Conformance |
|--|-------------|
| <i>Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view.</i> | YES |

Finding: The proposed utility improvements are specified on Sheet C1.0 of the project plans are limited to water and sewer improvements. All utilities are proposed to be underground. The project proposes to tap into the existing water main and install a new 2" water service line. A new 4" PVC sewer service will be installed to connect to the existing sewer service stub. The project will installed new buried power service. The Utilities Department reviewed the final MO Design Review submittal for conformance with city standards and believes the project complies with all requirements. Specifications for the landscape screening proposed for the transformer are shown on sheet L-5.00. The applicant has provided written confirmation from Idaho Power Company that the proposed screening complies with all clearance requirements.

| 17.96.060.D.3 - Utilities | Conformance |
|---|-------------|
| <i>When extension of utilities is necessary all developers will be required to pay for and install two-inch SDR11 fiber optical conduit. The placement and construction of the fiber optical conduit shall be done in accordance with City of Ketchum standards and at the discretion of the City Engineer.</i> | N/A |
| Finding: The location of the subject property is already served by fiber optic cable and therefore no conduit is required in this location. | |

| 17.96.060.E.1 - Compatibility of Design | Conformance |
|---|-------------|
| <i>The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures.</i> | YES |
| <p>Finding: The design narrative prepared by the applicant and included in Attachment B to the staff report states:</p> <p><i>The design team has also carefully considered the surrounding neighborhood context while developing the proposed project. The design incorporates a similar mix of materials (natural wood and stone), massing (two-story volumes stepping back and up the hillside), and architectural features (timber columns and overhangs). With the feedback of the planning department, the design team has introduced undulation and relief along the façade, maintained continuity of materials, and created a building character that aligns with both the requirements and the spirit of the Mountain Overlay Design Review District. We believe the proposed project will blend seamlessly into the area and will not have an adverse impact.</i></p> <p>Planning staff believes the proposed architectural design, exterior materials, and colors are compatible with the surrounding Knob Hill neighborhood.</p> | |

| 17.96.060.E.2 – Compatibility of Design | Conformance |
|--|-------------|
| <i>Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.</i> | YES |
| <p>Finding: Ordinance No. 996 adopted in 2006 amended the Mountain Overlay boundaries and designated properties in the Knob Hill neighborhood as a significant landmark. Pursuant to KMC §17.104.030.B, “The area within these boundaries, northeast of the alley bisecting Walnut Avenue and Spruce Avenue consisting of lots 5, 6, 7 and 8, block 94, lots 5, 6, 7 and 8, block 93, lots 5, 6, 7 and 8, block 92, lots 5A, 6A, 7 and 8, block 91, lots 3 and 4, block 97, Ketchum Town Site, and all properties within the Kinderhorn Subdivision, along with the rock outcropping within block 29, Ketchum Town Site, is hereby designated as a significant landmark within the City of Ketchum as denoted in the map, a true and correct copy of which is attached to ordinance 996 as exhibit B and which is incorporated herein by this reference.” The subject property is located west of and downhill from the four lots in Block 91 designated as a significant landmark per KMC §17.104.030.B. Staff does not believe the significant landmark uphill of the subject property will be negatively impacted by the proposed development.</p> | |

| 17.96.060.E.3 – Compatibility of Design | Conformance |
|---|-------------|
| <i>Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to.</i> | N/A |
| <p>Finding: N/A the Knob Hill Residence is a new construction project and a natural hillside that hasn’t been previously disturbed.</p> | |

| 17.96.060.F.1 – Architectural | Conformance |
|--|-------------|
| <i>Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined.</i> | N/A |
| <p>Finding: N/A. Ketchum Municipal Code 17.124.140 outlines the zone districts where sidewalks are required when substantial improvements are made, which include the Community Core, all tourist zone districts, and all light industrial districts. The subject property is located within the LR Zone and sidewalks are not required to be installed for the project. This standard is not applicable.</p> | |

| 17.96.060.F.2 – Architectural | Conformance |
|---|-------------|
| <i>The building character shall be clearly defined by use of architectural features.</i> | YES |
| <p>Finding: The building character is defined by architectural features, including timber columns and overhangs and natural wood and stone materials. The design modulates the</p> | |

building mass by stepping two-story volumes up the hillside. The proposed design provides visual relief and maintains a continuity of materials across all facades.

| 17.96.060.F.3 - Architectural | Conformance |
|---|-------------|
| <i>There shall be continuity of materials, colors and signing within the project.</i> | YES |
| Finding: The project uses timber, stone, and glass on all facades of the building. Each of the proposed exterior materials indicated on sheet G-021 of the project plans has a unique texture that helps animate the façade. | |

| 17.96.060.F.4 - Architectural | Conformance |
|---|-------------|
| <i>Accessory structures, fences, walls and landscape features within the project shall match or complement the principal building.</i> | YES |
| Finding: No accessory structures are proposed. Landscaping within the project provides a variety of shrubs and trees as well as low lying grasses and sagebrush to blend in with the natural hillside. | |

| 17.96.060.F.5 - Architectural | Conformance |
|---|-------------|
| <i>Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.</i> | YES |
| Finding: The design incorporates variation in architectural features and materials across all facades. The elevations show that the building walls provide visual relief through exterior material differentiation, tucking the building mass into the hillside, and stepping the third floor up the hillside to reduce the appearance of bulk and flatness. | |

| 17.96.060.F.6 - Architectural | Conformance |
|--|-------------|
| <i>Building(s) shall orient toward their primary street frontage.</i> | YES |
| Finding: The project orients towards its primary street frontage along Walnut Avenue. | |

| 17.96.060.F.7 - Architectural | Conformance |
|---|-------------|
| <i>Garbage storage areas and satellite receivers shall be screened from public view and located off alleys.</i> | YES |
| Finding: No satellite receivers are proposed for the project. The garbage storage area is located within the attached garage. The location of the garbage storage area is shown on sheet A-102 of the project plans. | |

| 17.96.060.F.8 – Architectural | Conformance |
|--|-------------|
| <i>Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties.</i> | YES |
| Finding: The roof plan provided on Sheet A105 shows that roof drains will be that connect to drywells. The entrance to the home is covered by the second floor. | |

| 17.96.060.G.1 – Circulation Design | Conformance |
|--|-------------|
| <i>Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.</i> | N/A |
| Finding: N/A. This redevelopment project is located within the Knob Hill area, an existing low-density residential neighborhood. The site is not contiguous to existing pedestrian, equestrian, or bicycle easements or pathways. | |

| 17.96.060.G.2 – Circulation Design | Conformance |
|---|-------------|
| <i>Awnings extending over public sidewalks shall extend five feet or more across the public sidewalk but shall not extend within two feet of parking or travel lanes within the right-of-way.</i> | N/A |
| Finding: N/A. Ketchum Municipal Code 17.124.140 outlines the zone districts where sidewalks are required when substantial improvements are made, which include the CC, all tourist zone districts, and all light industrial districts. The subject property is located in the LR Zone and sidewalks are not required to be installed for this project. | |

| 17.96.060.G.3 – Circulation Design | Conformance |
|--|-------------|
| <i>Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage.</i> | YES |
| Finding: The proposed driveway improvements have been reviewed by the City Engineer, Streets Department, and Fire Department. The driveway improvements comply with all applicable standards for private driveway specified in Ketchum Municipal Code §12.03.030.L. | |

| 17.96.060.G.4 – Circulation Design | Conformance |
|--|-------------|
| <i>Curb cuts and driveway entrances shall be no closer than 20 feet to the nearest intersection of two or more streets, as measured along the property line adjacent to the right-of-way. Due to site conditions or current/projected traffic levels or speed, the City Engineer may increase the minimum distance requirements.</i> | YES |

Finding: The proposed driveway is located over 200 feet away from the nearest intersection of Walnut Avenue and 6th Street.

| 17.96.060.G.5 – Circulation Design | Conformance |
|---|-------------|
| <i>Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project.</i> | YES |
| Finding: Unobstructed access for emergency vehicles, snowplow, and garbage trucks is provided along Walnut Avenue. | |

| 17.96.060.H.1 – Snow Storage | Conformance |
|--|-------------|
| <i>Snow storage areas shall not be less than 30 percent of the improved parking and pedestrian circulation areas.</i> | N/A |
| Finding: All improved parking and pedestrian circulation areas on the subject property are heated, which is permitted as an alternative to providing on-site snow storage areas by Ketchum Municipal Code §17.96.060.H4. The civil drawings on sheet C1.0 and C1.1 specify the proposed driveway improvements. The proposed driveway is 20 feet wide and a slope of 9.7%. The Fire Department requires snowmelt for driveways or portions of driveways with 7-10% slope. The entirety of the driveway is proposed to be snowmelted. The proposed driveway improvements have been reviewed by the City Engineer, Streets Department, and Fire Department and city department comments were transmitted to the applicant. City departments conducted a code compliance review of the MO Design Review submittal and believe the project complies with all requirements. | |

| 17.96.060.H.2 – Snow Storage | Conformance |
|---|-------------|
| <i>Snow storage areas shall be provided on site.</i> | N/A |
| Finding: The applicant has proposed to snowmelt all parking and pedestrian circulation areas, which is permitted as an alternative to providing on-site snow storage area by Ketchum Municipal Code §17.96.060.H4. | |

| 17.96.060.H.3 – Snow Storage | Conformance |
|---|-------------|
| <i>A designated snow storage area shall not have any dimension less than five feet and shall be a minimum of 25 square feet.</i> | N/A |
| Finding: N/A as no snow storage areas have been provided on-site. The applicant has proposed snowmelt in lieu of providing any snow storage areas on site. | |

| 17.96.060.H.4 – Snow Storage | Conformance |
|--|------------------------------|
| <i>In lieu of providing snow storage areas, snowmelt and hauling of snow may be allowed.</i> | YES Conditions #7 & #8 |

Finding: The civil drawings on sheet C1.0 and C1.1 specify the proposed driveway improvements. The proposed driveway is 20 feet wide and a slope of 9.7%. The Fire Department requires snowmelt for driveways or portions of driveways with 7-10% slope. The entirety of the driveway is proposed to be snowmelted. The proposed driveway improvements have been reviewed by the City Engineer, Streets Department, and Fire Department and city department comments were transmitted to the applicant. City departments conducted a code compliance review of the MO Design Review submittal and believe the project complies with all requirements.

The project requires a Right-of-Way Encroachment Permit approved by City Council for the driveway snowmelt system. Pursuant to recommended condition of approval no. 8 listed in section IV of the staff report, the applicant shall submit the Right-of-Way Encroachment Permit application for review by the City Engineer, Streets Department, and Planning Department at time of building permit. The associated ROW Encroachment Agreement must be reviewed and approved by City Council, signed, and recorded prior to issuance of building permit.

| 17.96.060.I.1 - Landscaping | Conformance |
|--|-------------|
| <i>Landscaping is required for all projects.</i> | YES |
| Finding: Landscaping has been provided for the project as indicated on sheet L-5.00 of the project plans. | |

| 17.96.060.I.2 - Landscaping | Conformance |
|---|-------------|
| <i>Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape.</i> | YES |
| Finding: The landscape plan proposes a variety of trees, shrubs, grasses, and boulders that will conceal any proposed cuts and fills and blend the proposed project into the native hillside landscape. | |

| 17.96.060.I.3 - Landscaping | Conformance |
|--|-------------|
| <i>All trees, shrubs, grasses and perennials shall be drought tolerant. Native species are recommended but not required.</i> | YES |
| Finding: The landscape plan proposes drought-tolerant and native materials. | |

| 17.96.060.I.4 - Landscaping | Conformance |
|---|-------------|
| <i>Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged.</i> | YES |

Finding: The subject property is surrounded by compatible low-density residential uses within the Knob Hill neighborhood. The proposed landscaping will soften the hard edges of the mountain-modern home and restore the surrounding hillside.

| 17.96.060.J.1 - Public Amenities | Conformance |
|--|-------------|
| <i>Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All public amenities shall receive approval from the Public Works Department prior to design review approval from the Commission.</i> | N/A |
| Finding: N/A sidewalks are not required. | |

| 17.96.060.K.1 - Underground Encroachments | Conformance |
|--|-------------|
| <i>Encroachments of below grade structures into required setbacks are subject to subsection 17.128.020.K of this title and shall not conflict with any applicable easements, existing underground structures, sensitive ecological areas, soil stability, drainage, other sections of this Code or other regulating codes such as adopted International Code Council Codes, or other site features concerning health, safety, and welfare.</i> | N/A |
| Finding: N/A | |

| 17.96.060.K.2 - Underground Encroachments | Conformance |
|---|-------------|
| <i>No below grade structure shall be permitted to encroach into the riparian setback.</i> | N/A |
| Finding: N/A | |

Attachment D4

Staff Analysis:
Lot Consolidation Subdivision
Preliminary Plat Standards
&
Waiver Requirements Evaluation



NOB HILL RESIDENCE LOT CONSOLIDATION SUBDIVISION PRELIMINARY PLAT STANDARDS EVALUATION

| Preliminary Plat Requirements (Ketchum Municipal Code §16.04.030) | | | | |
|---|--------------------------|--------------------------|-----------------------|---|
| Compliant | | | City Code | City Standards |
| Yes | No | N/A | | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.04.030.C.1 | The subdivider shall file with the administrator copies of the completed subdivision application form and preliminary plat data as required by this chapter. |
| | | | <i>Staff Analysis</i> | <i>The City of Ketchum Planning and Building Department received the completed subdivision application and all applicable application materials on April 24, 2025.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.04.030.J | Contents Of Preliminary Plat: The preliminary plat, together with all application forms, title insurance report, deeds, maps, and other documents reasonably required, shall constitute a complete subdivision application. |
| | | | <i>Staff Analysis</i> | <i>The subdivision application was deemed complete on April 24, 2025.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.04.030.J.1 | The preliminary plat shall be drawn to a scale of not less than one inch equals one hundred feet (1" = 100') and shall show the following: The scale, north point and date. |
| | | | <i>Staff Analysis</i> | <i>This standard is met as shown on Sheet 1 of the preliminary plat.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.04.030.J.2 | The name of the proposed subdivision, which shall not be the same or confused with the name of any other subdivision in Blaine County, Idaho. |
| | | | <i>Staff Analysis</i> | <i>As shown on Sheet 1 of the preliminary plat, the plat is titled "Ketchum Townsite: Block 91, Lot 3A" which is not the same as any other subdivision in Blaine County, Idaho.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.04.030.J.3 | The name and address of the owner of record, the subdivider, and the engineer, surveyor, or other person preparing the plat. |
| | | | <i>Staff Analysis</i> | <i>The name of the owner and surveyor is shown on Sheet 1 of the plat.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.04.030.J.4 | Legal description of the area platted. |
| | | | <i>Staff Analysis</i> | <i>The legal description of the area platted is shown on page 1 of the preliminary plat.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.04.030.J.5 | The names and the intersecting boundary lines of adjoining subdivisions and parcels of property. |
| | | | <i>Staff Analysis</i> | <i>The preliminary plat shows adjacent lots 1A, lot 5A, lot 7, and lot 8 located within block 91 of the original Ketchum Townsite.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.04.030.J.6 | A contour map of the subdivision with contour lines and a maximum interval of five feet (5') to show the configuration of the |

| | | | | |
|-------------------------------------|--------------------------|-------------------------------------|-----------------------|--|
| | | | | land based upon the United States geodetic survey data, or other data approved by the city engineer. |
| | | | <i>Staff Analysis</i> | <i>Existing site conditions, including topography, are included on the project plans submitted with Mountain Overlay Design Review Application File No. P25-016.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.04.030.J.7 | The scaled location of existing buildings, water bodies and courses and location of the adjoining or immediately adjacent dedicated streets, roadways and easements, public and private. |
| | | | <i>Staff Analysis</i> | <i>Sheet 1 of the preliminary plat shows the location of Walnut Avenue, 6th Street, the unimproved 7th Street ROW, and the Block 91 alley.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.04.030.J.8 | Boundary description and the area of the tract. |
| | | | <i>Staff Analysis</i> | <i>Sheet 1 provides the boundary description of the area.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.04.030.J.9 | Existing zoning of the tract. |
| | | | <i>Staff Analysis</i> | <i>Plat note #11 on Sheet 1 of the preliminary plat specifies that the subject property is located within the City's Limited Residential Zoning District.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.04.030.J.10 | The proposed location of street rights of way, lots, and lot lines, easements, including all approximate dimensions, and including all proposed lot and block numbering and proposed street names. |
| | | | <i>Staff Analysis</i> | <i>The preliminary plat shows the location and property lines for consolidated Lot 3A. No new streets or blocks are being proposed with this application.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16.04.030.J.11 | The location, approximate size and proposed use of all land intended to be dedicated for public use or for common use of all future property owners within the proposed subdivision. |
| | | | <i>Staff Analysis</i> | <i>This standard is not applicable as there is no requirement or proposal for land dedicated to public use.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16.04.030.J.12 | The location, size and type of sanitary and storm sewers, water mains, culverts and other surface or subsurface structures existing within or immediately adjacent to the proposed sanitary or storm sewers, water mains, and storage facilities, street improvements, street lighting, curbs, and gutters and all proposed utilities. |
| | | | <i>Staff Analysis</i> | <i>This standard does not apply as this preliminary plat proposes to consolidate two existing lots within the original Ketchum Townsite</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16.04.030.J.13 | The direction of drainage, flow and approximate grade of all streets. |
| | | | <i>Staff Analysis</i> | <i>This standard does not apply as no new streets are proposed.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16.04.030.J.14 | The location of all drainage canals and structures, the proposed method of disposing of runoff water, and the location and size of all drainage easements, whether they are located within or outside of the proposed plat. |
| | | | <i>Staff Analysis</i> | <i>This standard does not apply as no new drainage canals or structures are proposed.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16.04.030.J.15 | All percolation tests and/or exploratory pit excavations required by state health authorities. |
| | | | <i>Staff Analysis</i> | <i>This standard does not apply as no additional tests are required.</i> |

| | | | | |
|-------------------------------------|--------------------------|-------------------------------------|-----------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16.04.030.J.16 | A copy of the provisions of the articles of incorporation and bylaws of homeowners' association and/or condominium declarations to be filed with the final plat of the subdivision. |
| | | | <i>Staff Analysis</i> | <i>This standard does not apply to the subdivision application for the lot consolidation.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.04.030.J.17 | Vicinity map drawn to approximate scale showing the location of the proposed subdivision in reference to existing and/or proposed arterials and collector streets. |
| | | | <i>Staff Analysis</i> | <i>Sheet 1 of the preliminary plat includes a vicinity map.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16.04.030.J.18 | The boundaries of the floodplain, floodway and avalanche zoning district shall also be clearly delineated and marked on the preliminary plat. |
| | | | <i>Staff Analysis</i> | <i>The subject property is not within a floodplain, floodway, or avalanche zone district.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.04.030.J.19 | Building envelopes shall be shown on each lot, all or part of which is within a floodway, floodplain, or avalanche zone; or any lot that is adjacent to the Big Wood River, Trail Creek, or Warm Springs Creek; or any lot, a portion of which has a slope of twenty five percent (25%) or greater; or upon any lot which will be created adjacent to the intersection of two (2) or more streets. |
| | | | <i>Staff Analysis</i> | <i>The subject property is comprised of two separate lots located within the block 91 of the original Ketchum Townsite. Building envelopes are required to be established on lots that contain areas of 25% or greater slope based on natural contours. These building envelopes must be established outside of hillsides with 25% and greater slopes (KMC §16.04.040.F2) unless the request qualifies for one of two waivers outlined in the subdivision code. The application qualifies for the first waiver outlined, which states a waiver may be considered, "for lot line shifts of parcels that are entirely within slopes of 25% or greater to create a reasonable building envelope, and mountain overlay design review standards and all other City requirements are met." The applicant has requested a waiver to create a reasonable building envelope on the consolidated development parcel.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.04.030.J.20 | Lot area of each lot. |
| | | | <i>Staff Analysis</i> | <i>Sheet 1 of the preliminary plat shows that the area of consolidated Lot 3A is 16,523 square feet.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16.04.030.J.21 | Existing mature trees and established shrub masses. |
| | | | <i>Staff Analysis</i> | <i>No mature trees or established shrub masses exist on the subject property.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.04.030.J.22 | A current title report shall be provided at the time that the preliminary plat is filed with the administrator, together with a copy of the owner's recorded deed to such property. |
| | | | <i>Staff Analysis</i> | <i>The applicant submitted a title commitment Company, and a quitclaim deed with the preliminary plat application.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16.04.030.J.23 | Three (3) copies of the preliminary plat shall be filed with the administrator. |

| | | | | |
|--|--|--|-----------------------|--|
| | | | Staff Analysis | <i>The City of Ketchum received digital copies of the preliminary plat at the time of application.</i> |
|--|--|--|-----------------------|--|

| Subdivision Development & Design Standards (Ketchum Municipal Code §16.04.040) | | | | |
|--|--------------------------|-------------------------------------|-----------------------|---|
| Compliant | | | | |
| Yes | No | N/A | City Code | City Standards |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16.04.040.A | Required Improvements: The improvements set forth in this section shall be shown on the preliminary plat and installed prior to approval of the final plat. Construction design plans shall be submitted and approved by the city engineer. All such improvements shall be in accordance with the comprehensive plan and constructed in compliance with construction standard specifications adopted by the city. Existing natural features which enhance the attractiveness of the subdivision and community, such as mature trees, watercourses, rock outcroppings, established shrub masses and historic areas, shall be preserved through design of the subdivision. |
| | | | Staff Analysis | <i>This standard is not applicable as this project combines two lots within the original Ketchum Townsite. No improvements are proposed or required for the lot consolidation.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16.04.040.B | Improvement Plans: Prior to approval of final plat by the commission, the subdivider shall file two (2) copies with the city engineer, and the city engineer shall approve construction plans for all improvements required in the proposed subdivision. Such plans shall be prepared by a civil engineer licensed in the state. |
| | | | Staff Analysis | <i>This standard is not applicable as this project combines two lots within the original Ketchum Townsite. No additional improvements are proposed or required for the lot consolidation.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16.04.040.C | Prior to final plat approval, the subdivider shall have previously constructed all required improvements and secured a certificate of completion from the city engineer. However, in cases where the required improvements cannot be constructed due to weather conditions or other factors beyond the control of the subdivider, the city council may accept, in lieu of any or all of the required improvements, a performance bond filed with the city clerk to ensure actual construction of the required improvements as submitted and approved. Such performance bond shall be issued in an amount not less than one hundred fifty percent (150%) of the estimated costs of improvements as determined by the city engineer. In the event the improvements are not constructed within the time allowed by the city council (which shall be one year or less, depending upon the individual circumstances), the council may order the improvements installed at the expense of the subdivider and the surety. In the event the cost of installing the required improvements exceeds the amount of the bond, the subdivider shall be liable to the city for |

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| | | | | additional costs. The amount that the cost of installing the required improvements exceeds the amount of the performance bond shall automatically become a lien upon any and all property within the subdivision owned by the owner and/or subdivider. |
| | | | <i>Staff Analysis</i> | <i>This standard is not applicable as this project combines two lots within the original Ketchum Townsite. No additional improvements are proposed or required for the lot consolidation.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16.04.040.D | As Built Drawing: Prior to acceptance by the city council of any improvements installed by the subdivider, two (2) sets of as built plans and specifications, certified by the subdivider's engineer, shall be filed with the city engineer. Within ten (10) days after completion of improvements and submission of as built drawings, the city engineer shall certify the completion of the improvements and the acceptance of the improvements, and shall submit a copy of such certification to the administrator and the subdivider. If a performance bond has been filed, the administrator shall forward a copy of the certification to the city clerk. Thereafter, the city clerk shall release the performance bond upon application by the subdivider. |
| | | | <i>Staff Analysis</i> | <i>This standard is not applicable as this project combines two lots within the original Ketchum Townsite. No additional improvements are proposed or required for the lot consolidation.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16.04.040.E | Monumentation: Following completion of construction of the required improvements and prior to certification of completion by the city engineer, certain land survey monuments shall be reset or verified by the subdivider's engineer or surveyor to still be in place. These monuments shall have the size, shape, and type of material as shown on the subdivision plat. The monuments shall be located as follows: <ol style="list-style-type: none"> 1. All angle points in the exterior boundary of the plat. 2. All street intersections, points within and adjacent to the final plat. 3. All street corner lines ending at boundary line of final plat. 4. All angle points and points of curves on all streets. 5. The point of beginning of the subdivision plat description. |
| | | | <i>Staff Analysis</i> | <i>The applicant shall meet the required monumentation standards prior to recordation of the final plat.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.04.040.F | Lot Requirements: <ol style="list-style-type: none"> 1. Lot size, width, depth, shape and orientation and minimum building setback lines shall be in compliance with the zoning district in which the property is located and compatible with the location of the subdivision and the type of development, and preserve solar access to adjacent properties and buildings. 2. Whenever a proposed subdivision contains lot(s), in whole or in part, within the floodplain, or which contains land with a slope in excess of |

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| | | | | <p>twenty five percent (25%), based upon natural contours, or creates corner lots at the intersection of two (2) or more streets, building envelopes shall be shown for the lot(s) so affected on the preliminary and final plats. The building envelopes shall be located in a manner designed to promote harmonious development of structures, minimize congestion of structures, and provide open space and solar access for each lot and structure. Also, building envelopes shall be located to promote access to the lots and maintenance of public utilities, to minimize cut and fill for roads and building foundations, and minimize adverse impact upon environment, watercourses and topographical features. Structures may only be built on buildable lots. Lots shall only be created that meet the definition of "lot, buildable" in section 16.04.020 of this chapter. Building envelopes shall be established outside of hillsides of twenty five percent (25%) and greater and outside of the floodway. A waiver to this standard may only be considered for the following:</p> <p>a. For lot line shifts of parcels that are entirely within slopes of twenty five percent (25%) or greater to create a reasonable building envelope, and mountain overlay design review standards and all other city requirements are met.</p> <p>b. For small, isolated pockets of twenty five percent (25%) or greater that are found to be in compliance with the purposes and standards of the mountain overlay district and this section.</p> <p>3. Corner lots shall have a property line curve or corner of a minimum radius of twenty five feet (25') unless a longer radius is required to serve an existing or future use.</p> <p>4. Side lot lines shall be within twenty degrees (20°) to a right angle or radial line to the street line.</p> <p>5. Double frontage lots shall not be created. A planting strip shall be provided along the boundary line of lots adjacent to arterial streets or incompatible zoning districts.</p> <p>6. Every lot in a subdivision shall have a minimum of twenty feet (20') of frontage on a dedicated public street or legal access via an easement of twenty feet (20') or greater in width. Easement shall be recorded in the office of the Blaine County recorder prior to or in conjunction with recordation of the final plat.</p> |
| | | | <i>Staff Analysis</i> | <p><i>Standard #3 through #6 are not applicable as the preliminary plat consolidates two existing lots and no new lots will be created.</i></p> <p><i>The lot consolidation preliminary plat complies with standard #1. The applicant has proposed consolidating the two lots and the new single-family residence will comply with the dimensional standards and setbacks required in the LR Zone.</i></p> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16.04.040.G | G. Block Requirements: The length, width and shape of blocks within a proposed subdivision shall conform to the following requirements: |

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| | | | | <ol style="list-style-type: none"> 1. No block shall be longer than one thousand two hundred feet (1,200'), nor less than four hundred feet (400') between the street intersections, and shall have sufficient depth to provide for two (2) tiers of lots. 2. Blocks shall be laid out in such a manner as to comply with the lot requirements. 3. The layout of blocks shall take into consideration the natural topography of the land to promote access within the subdivision and minimize cuts and fills for roads and minimize adverse impact on environment, watercourses and topographical features. 4. Corner lots shall contain a building envelope outside of a seventy five foot (75') radius from the intersection of the streets. |
| | | | <i>Staff Analysis</i> | <i>N/A. This standard is not applicable as this project proposes to combine two existing lots within the original Ketchum Townsite. This application does not create a new block.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16.04.040.H | <p>Street Improvement Requirements:</p> <ol style="list-style-type: none"> 1. The arrangement, character, extent, width, grade and location of all streets put in the proposed subdivision shall conform to the comprehensive plan and shall be considered in their relation to existing and planned streets, topography, public convenience and safety, and the proposed uses of the land; 2. All streets shall be constructed to meet or exceed the criteria and standards set forth in chapter 12.04 of this code, and all other applicable ordinances, resolutions or regulations of the city or any other governmental entity having jurisdiction, now existing or adopted, amended or codified; 3. Where a subdivision abuts or contains an existing or proposed arterial street, railroad or limited access highway right of way, the council may require a frontage street, planting strip, or similar design features; 4. Streets may be required to provide access to adjoining lands and provide proper traffic circulation through existing or future neighborhoods; 5. Street grades shall not be less than three-tenths percent (0.3%) and not more than seven percent (7%) so as to provide safe movement of traffic and emergency vehicles in all weather and to provide for adequate drainage and snow plowing; 6. In general, partial dedications shall not be permitted, however, the council may accept a partial street dedication when such a street forms a boundary of the proposed subdivision and is deemed necessary for the orderly development of the neighborhood, and provided the council finds it practical to require the dedication of the remainder of the right of way when the adjoining property is subdivided. When a partial street exists |

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| | | | <p>adjoining the proposed subdivision, the remainder of the right of way shall be dedicated;</p> <p>7. Dead end streets may be permitted only when such street terminates at the boundary of a subdivision and is necessary for the development of the subdivision or the future development of the adjacent property. When such a dead end street serves more than two (2) lots, a temporary turnaround easement shall be provided, which easement shall revert to the adjacent lots when the street is extended;</p> <p>8. A cul-de-sac, court or similar type street shall be permitted only when necessary to the development of the subdivision, and provided, that no such street shall have a maximum length greater than four hundred feet (400') from entrance to center of turnaround, and all cul-de-sacs shall have a minimum turnaround radius of sixty feet (60') at the property line and not less than forty five feet (45') at the curb line;</p> <p>9. Streets shall be planned to intersect as nearly as possible at right angles, but in no event at less than seventy degrees (70°);</p> <p>10. Where any street deflects an angle of ten degrees (10°) or more, a connecting curve shall be required having a minimum centerline radius of three hundred feet (300') for arterial and collector streets, and one hundred twenty five feet (125') for minor streets;</p> <p>11. Streets with centerline offsets of less than one hundred twenty five feet (125') shall be prohibited;</p> <p>12. A tangent of at least one hundred feet (100') long shall be introduced between reverse curves on arterial and collector streets;</p> <p>13. Proposed streets which are a continuation of an existing street shall be given the same names as the existing street. All new street names shall not duplicate or be confused with the names of existing streets within Blaine County, Idaho. The subdivider shall obtain approval of all street names within the proposed subdivision from the commission before submitting same to council for preliminary plat approval;</p> <p>14. Street alignment design shall follow natural terrain contours to result in safe streets, usable lots, and minimum cuts and fills;</p> <p>15. Street patterns of residential areas shall be designed to create areas free of through traffic, but readily accessible to adjacent collector and arterial streets;</p> <p>16. Reserve planting strips controlling access to public streets shall be permitted under conditions specified and shown on the final plat, and all landscaping and irrigation systems shall be installed as required improvements by the subdivider;</p> <p>17. In general, the centerline of a street shall coincide with the centerline of the street right of way, and all crosswalk markings shall be installed by the subdivider as a required improvement;</p> |
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| | | | | <p>18. Street lighting may be required by the commission or council where appropriate and shall be installed by the subdivider as a requirement improvement;</p> <p>19. Private streets may be allowed upon recommendation by the commission and approval by the council. Private streets shall be constructed to meet the design standards specified in subsection H2 of this section;</p> <p>20. Street signs shall be installed by the subdivider as a required improvement of a type and design approved by the administrator and shall be consistent with the type and design of existing street signs elsewhere in the city;</p> <p>21. Whenever a proposed subdivision requires construction of a new bridge, or will create substantial additional traffic which will require construction of a new bridge or improvement of an existing bridge, such construction or improvement shall be a required improvement by the subdivider. Such construction or improvement shall be in accordance with adopted standard specifications;</p> <p>22. Sidewalks, curbs and gutters may be a required improvement installed by the subdivider; and</p> <p>23. Gates are prohibited on private roads and parking access/entranceways, private driveways accessing more than one single-family dwelling unit and one accessory dwelling unit, and public rights of way unless approved by the city council.</p> |
| | | | <i>Staff Analysis</i> | <i>This standard is not applicable as this application proposes to combine two existing lots within the Ketchum Townsite. This proposal does not create a new street, private road, or bridge.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16.04.040.I | <p>Alley Improvement Requirements: Alleys shall be provided in business, commercial and light industrial zoning districts. The width of an alley shall be not less than twenty feet (20'). Alley intersections and sharp changes in alignment shall be avoided, but where necessary, corners shall be provided to permit safe vehicular movement. Dead end alleys shall be prohibited. Improvement of alleys shall be done by the subdivider as required improvement and in conformance with design standards specified in subsection H2 of this section.</p> |
| | | | <i>Staff Analysis</i> | <i>This standard is not applicable as this project combines two lots within the Ketchum Townsite and no alley improvements are proposed.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16.04.040.J | <p>Required Easements: Easements, as set forth in this subsection, shall be required for location of utilities and other public services, to provide adequate pedestrian circulation and access to public waterways and lands.</p> <p>1. A public utility easement at least ten feet (10') in width shall be required within the street right of way boundaries of all private streets. A public utility easement at least five feet (5') in width shall be required</p> |

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| | | | | <p>within property boundaries adjacent to Warm Springs Road and within any other property boundary as determined by the city engineer to be necessary for the provision of adequate public utilities.</p> <p>2. Where a subdivision contains or borders on a watercourse, drainageway, channel or stream, an easement shall be required of sufficient width to contain such watercourse and provide access for private maintenance and/or reconstruction of such watercourse.</p> <p>3. All subdivisions which border the Big Wood River, Trail Creek and Warm Springs Creek shall dedicate a ten foot (10') fish and nature study easement along the riverbank. Furthermore, the council shall require, in appropriate areas, an easement providing access through the subdivision to the bank as a sportsman's access. These easement requirements are minimum standards, and in appropriate cases where a subdivision abuts a portion of the river adjacent to an existing pedestrian easement, the council may require an extension of that easement along the portion of the riverbank which runs through the proposed subdivision.</p> <p>4. All subdivisions which border on the Big Wood River, Trail Creek and Warm Springs Creek shall dedicate a twenty five foot (25') scenic easement upon which no permanent structure shall be built in order to protect the natural vegetation and wildlife along the riverbank and to protect structures from damage or loss due to riverbank erosion.</p> <p>5. No ditch, pipe or structure for irrigation water or irrigation wastewater shall be constructed, rerouted or changed in the course of planning for or constructing required improvements within a proposed subdivision unless same has first been approved in writing by the ditch company or property owner holding the water rights. A written copy of such approval shall be filed as part of required improvement construction plans.</p> <p>6. Nonvehicular transportation system easements including pedestrian walkways, bike paths, equestrian paths, and similar easements shall be dedicated by the subdivider to provide an adequate nonvehicular transportation system throughout the city.</p> |
| | | | <i>Staff Analysis</i> | <i>This standard is not applicable as no easements are proposed or required for this project. The project does not create a new private street. This property is not adjacent to Warm Springs Road. The property does not border a watercourse, drainageway, channel, or stream.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16.04.040.K | <p>Sanitary Sewage Disposal Improvements: Central sanitary sewer systems shall be installed in all subdivisions and connected to the Ketchum sewage treatment system as a required improvement by the subdivider. Construction plans and specifications for central sanitary sewer extension shall be prepared by the subdivider and approved by the city engineer, council and Idaho health department prior to final plat approval. In the event that the sanitary sewage system of a subdivision cannot connect to the existing public sewage system, alternative provisions for sewage disposal in accordance with the requirements of the Idaho department of</p> |

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| | | | | health and the council may be constructed on a temporary basis until such time as connection to the public sewage system is possible. In considering such alternative provisions, the council may require an increase in the minimum lot size and may impose any other reasonable requirements which it deems necessary to protect public health, safety and welfare. |
| | | | <i>Staff Analysis</i> | <i>This standard is not applicable as this project proposes combining two existing lots within the original Ketchum Townsite. Sewer system improvements are not required for this lot consolidation.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16.04.040.L | Water System Improvements: A central domestic water distribution system shall be installed in all subdivisions by the subdivider as a required improvement. The subdivider shall also be required to locate and install an adequate number of fire hydrants within the proposed subdivision according to specifications and requirements of the city under the supervision of the Ketchum fire department and other regulatory agencies having jurisdiction. Furthermore, the central water system shall have sufficient flow for domestic use and adequate fire flow. All such water systems installed shall be looped extensions, and no dead end systems shall be permitted. All water systems shall be connected to the municipal water system and shall meet the standards of the following agencies: Idaho department of public health, Idaho survey and rating bureau, district sanitarian, Idaho state public utilities commission, Idaho department of reclamation, and all requirements of the city. |
| | | | <i>Staff Analysis</i> | <i>This standard is not applicable as this project proposes combining two existing lots within the original Ketchum Townsite. Water system improvements are not required for this lot consolidation.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16.04.040.M | Planting Strip Improvements: Planting strips shall be required improvements. When a predominantly residential subdivision is proposed for land adjoining incompatible uses or features such as highways, railroads, commercial or light industrial districts or off street parking areas, the subdivider shall provide planting strips to screen the view of such incompatible features. The subdivider shall submit a landscaping plan for such planting strip with the preliminary plat application, and the landscaping shall be a required improvement. |
| | | | <i>Staff Analysis</i> | <i>This standard is not applicable as this project proposes to combine two existing lots within the Ketchum Townsite. Planting strip improvements are not required for this project.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16.04.040.N | Cuts, Fills, And Grading Improvements: Proposed subdivisions shall be carefully planned to be compatible with natural topography, soil conditions, geology and hydrology of the site, as well as to minimize cuts, fills, alterations of topography, streams, drainage channels, and disruption of soils and vegetation. The design criteria shall include the following: |

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| | | | | <ol style="list-style-type: none"> 1. A preliminary soil report prepared by a qualified engineer may be required by the commission and/or council as part of the preliminary plat application. 2. Preliminary grading plan prepared by a civil engineer shall be submitted as part of all preliminary plat applications. Such plan shall contain the following information: <ol style="list-style-type: none"> a. Proposed contours at a maximum of five foot (5') contour intervals. b. Cut and fill banks in pad elevations. c. Drainage patterns. d. Areas where trees and/or natural vegetation will be preserved. e. Location of all street and utility improvements including driveways to building envelopes. f. Any other information which may reasonably be required by the administrator, commission or council to adequately review the affect of the proposed improvements. 3. Grading shall be designed to blend with natural landforms and to minimize the necessity of padding or terracing of building sites, excavation for foundations, and minimize the necessity of cuts and fills for streets and driveways. 4. Areas within a subdivision which are not well suited for development because of existing soil conditions, steepness of slope, geology or hydrology shall be allocated for open space for the benefit of future property owners within the subdivision. 5. Where existing soils and vegetation are disrupted by subdivision development, provision shall be made by the subdivider for revegetation of disturbed areas with perennial vegetation sufficient to stabilize the soil upon completion of the construction. Until such times as such revegetation has been installed and established, the subdivider shall maintain and protect all disturbed surfaces from erosion. 6. Where cuts, fills, or other excavations are necessary, the following development standards shall apply: <ol style="list-style-type: none"> a. Fill areas shall be prepared by removing all organic material detrimental to proper compaction for soil stability. b. Fills shall be compacted to at least ninety five percent (95%) of maximum density as determined by AASHO T99 (American Association of State Highway Officials) and ASTM D698 (American standard testing methods). c. Cut slopes shall be no steeper than two horizontal to one vertical (2:1). Subsurface drainage shall be provided as necessary for stability. d. Fill slopes shall be no steeper than three horizontal to one vertical (3:1). Neither cut nor fill slopes shall be located on natural slopes of three to one (3:1) or steeper, or where fill slope toes out |
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| | | | | <p>within twelve feet (12') horizontally of the top and existing or planned cut slope.</p> <p>e. Toes of cut and fill slopes shall be set back from property boundaries a distance of three feet (3'), plus one-fifth (1/5) of the height of the cut or the fill, but may not exceed a horizontal distance of ten feet (10'); tops and toes of cut and fill slopes shall be set back from structures at a distance of at least six feet (6'), plus one-fifth (1/5) of the height of the cut or the fill. Additional setback distances shall be provided as necessary to accommodate drainage features and drainage structures.</p> |
| | | | <i>Staff Analysis</i> | <p><i>This standard is not applicable as this project proposes combining two existing lots within the original Ketchum Townsite. No grading improvements are proposed or required for the lot consolidation. The grading improvements are shown the project plans submitted with Mountain Overlay Design Review Application File No. P25-016.</i></p> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16.04.040.O | <p>Drainage Improvements: The subdivider shall submit with the preliminary plat application such maps, profiles, and other data prepared by an engineer to indicate the proper drainage of the surface water to natural drainage courses or storm drains, existing or proposed. The location and width of the natural drainage courses shall be shown as an easement common to all owners within the subdivision and the city on the preliminary and final plat. All natural drainage courses shall be left undisturbed or be improved in a manner that will increase the operating efficiency of the channel without overloading its capacity. An adequate storm and surface drainage system shall be a required improvement in all subdivisions and shall be installed by the subdivider. Culverts shall be required where all water or drainage courses intersect with streets, driveways or improved public easements and shall extend across and under the entire improved width including shoulders.</p> |
| | | | <i>Staff Analysis</i> | <p><i>This standard is not applicable as this project proposes combining two existing lots within the original Ketchum Townsite. No drainage improvements are proposed or required for the lot consolidation. The drainage improvements are shown on the project plans approved with Mountain Overlay Design Review Application File No. P25-016.</i></p> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16.04.040.P | <p>Utilities: In addition to the terms mentioned in this section, all utilities including, but not limited to, electricity, natural gas, telephone and cable services shall be installed underground as a required improvement by the subdivider. Adequate provision for expansion of such services within the subdivision or to adjacent lands including installation of conduit pipe across and underneath streets shall be installed by the subdivider prior to construction of street improvements.</p> |
| | | | <i>Staff Analysis</i> | <p><i>This standard is not applicable as this project proposes combining two existing lots within the original Ketchum Townsite. No utility improvements are proposed or required for the lot consolidation. The</i></p> |

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| | | | | <i>drainage improvements are shown on the project plans approved with Mountain Overlay Design Review Application File No. P25-016.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16.04.040.Q | Off Site Improvements: Where the offsite impact of a proposed subdivision is found by the commission or council to create substantial additional traffic, improvements to alleviate that impact may be required of the subdivider prior to final plat approval, including, but not limited to, bridges, intersections, roads, traffic control devices, water mains and facilities, and sewer mains and facilities. |
| | | | <i>Staff Analysis</i> | <i>This standard is not applicable as this project proposes combining two existing lots within the original Ketchum Townsite. Off-site improvements are not required or proposed with this project.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.04.040.R | Avalanche And Mountain Overlay: All improvements and plats (land, planned unit development, townhouse, condominium) created pursuant to this chapter shall comply with City of Ketchum Avalanche Zone District and Mountain Overlay Zoning District requirements as set forth in Title 17 of this Code. |
| | | | <i>Staff Analysis</i> | <i>Staff believes the project complies with all Mountain Overlay Zoning District requirements and the Mountain Overlay design review criteria and standards specified in KMC §17.104.070.A.</i> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16.04.040.S | Existing natural features which enhance the attractiveness of the subdivision and community, such as mature trees, watercourses, rock outcroppings, established shrub masses and historic areas, shall be preserved through design of the subdivision. |
| | | | <i>Staff Analysis</i> | <i>This standard is not applicable as this project proposes combining two existing lots within the original Ketchum Townsite. The project plans submitted with Mountain Overlay Design Review Application File No. P25-16 specify the existing mature vegetation that is proposed to remain on the subject property.</i> |