



**IN RE:** )  
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**Appellation Hotel** ) **KETCHUM PLANNING & ZONING COMMISSION**  
**Design Review Amendment** ) **FINDINGS OF FACT, CONCLUSIONS OF LAW, AND**  
**Date: February 14, 2023** ) **DECISION**  
 )  
**File Number: P22-059** )

**PROJECT:** Appellation Hotel

**APPLICATION TYPE:** Design Review Amendment

**FILE NUMBER:** P22-059

**ASSOCIATED APPLICATIONS:** CUP 08-007 Hotel Ketchum Planned Unit Development Conditional Use Permit  
DR 08-007 Hotel Ketchum Design Review and Waterways Design Review

**REPRESENTATIVE:** John Davis, Hornberger + Worstell, Inc (Architect)

**OWNER:** Harriman Ketchum Hotel, LLC – Jack Bariteau (managing member)

**LOCATION:** 300 E River St (Ketchum Replat, Blk 83, Lot 2, Original Town of Ketchum)

**ZONING:** Tourist (T)

**OVERLAY:** Floodplain Management Overlay (FP)

## **RECORD OF PROCEEDINGS**

The City of Ketchum received the initial application materials for the amendment to the design review application on July 29, 2022. Upon staff's review of the information, staff deemed the application incomplete and requested additional information necessary to determine if a PUD/CUP amendment was required. Staff also notified the applicant that an amendment to the Development Agreement would be required based on the scope of the changes proposed. Staff received various pieces of information over the course of August, September, and October. Following comprehensive review of all materials received, staff deemed the application complete on November 17, 2022. Per the requirements of the settlement agreement, the application was scheduled for hearing with the Planning and Zoning Commission.

The Planning & Zoning Commission considered the Appellation Hotel Design Review Amendment (Application File No. P22-059) and Development Agreement Amendment (Application File No. P22-059A) applications during their regular meeting on December 13, 2022. A public hearing notice for that date was mailed to all owners of property within 300 feet of the project site and all political subdivisions on October 14, 2022. The public hearing notice for that date was published in the Idaho Mountain Express the on October 19, 2022. A notice for that date was posted on the project site and the city's website on October 19, 2022.

At the December 13, 2022, meeting, the Planning and Zoning Commission continued the hearing to January 10, 2023. The January 10, 2023 hearing was continued to January 24, 2023 to allow the applicant additional time to prepare revised application materials. A public hearing was held on January 24, 2023 and continued to a special meeting on January 31, 2023. After considering Staff's analysis, the applicant's presentation, and public comment, the Planning & Zoning Commission directed the applicant to revise the design review application materials to memorialize the Commission's direction on the wall heights, landscaping, balconies, mechanical penthouse, and southwest roof overhang and direct staff to prepare the conditions of approval and findings of fact, conclusions of law, and decision with a vote of 4-1.

## **BACKGROUND**

The applicant, Harriman Ketchum Hotel, LLC, represented by managing member Jack E. Bariteau, applied for an amendment to the 2008 Design Review approval and an amendment to the 2015 Amended and Restated Development Agreement for the hotel development located at 300 E River Street in Ketchum (the "subject property"). The subject property is located at the southeast corner of River Street and Main Street (Hwy 75) just south of the Best Western Kentwood Hotel.

In June 2022, the Ketchum City Council entered into a Settlement Agreement with the property owner. The settlement agreement addressed a variety of legal items, including the reinstatement of various approvals granted in 2008 including the following:

- PUD/CUP approval (CUP 08-007) with waivers
- Design Review approval (DR 08-007)
- Amended and Restated Development Agreement
- Encroachment Agreement for improvements within the right-of-way

During discussions between the City and the property owner regarding the terms of the settlement agreement, the property owner acknowledged that there would be proposed changes to the Project from what was approved in 2008 to bring a development to fruition.

As indicated, the applicant is now proposing the Appellation Hotel which is a 147,669 gross square foot hotel including 73 hotel rooms, 12 condominium residential units (6 with lock-offs), two levels of underground parking, spa/fitness center, conference facility, restaurant and bar, outdoor plaza with pool and jacuzzi, and observatory. The now proposed uses were included in the original approved development, however, square foot allocations of each use have adjusted as the hotel program has shifted over time. The project does not exceed the previously approved gross floor area, building height, or setbacks nor is the applicant requesting further waivers to these limitations.

Staff conducted an extensive analysis of the application materials and determined that the project remains in general conformance with the PUD/CUP approval and that an amendment to the PUD/CUP is not required, however, an amendment to the Design Review approval and Development Agreement are required.

#### **FINDINGS OF FACT**

The Planning & Zoning Commission, having reviewed the entire project record, provided notice, and conducted the required public hearing, does hereby make and set forth these Findings of Fact, Conclusions of Law, and Decision as follows:

#### **FINDINGS REGARDING COMPLIANCE WITH ZONING CODE AND DIMENSIONAL STANDARDS**

Per the Amended and Restated Development Agreement, the Appellation Hotel development is subject to the zoning requirements in effect at the time of the original PUD/CUP approval in 2008 (File No 08-007). Additionally, waivers for certain dimensional standards approved as part of the 2008 PUD/CUP approval are still in effect. Below is an overview of all dimensional limitations as approved in the Findings of Fact for the 2008 PUD/CUP and the proposed dimensional standards for the proposed Appellation Hotel development.

<b>Setbacks</b>	<b>Required</b>	<b>Waiver Granted</b>	<b>Approved</b>	<b>Conformance</b>
<i>Front (River St)</i>	15 feet min	3 ft	3 ft to the columns with 7 ft to the façade wall	YES
<i>Rear</i>	1 ft for every 3 ft of building height, but no less than 10 ft	9ft	9 ft  5 feet 8 inches to the east staircase accessing the pool level  6 feet 6 inches to pool level wall adjacent to residential property to the southeast	YES
<i>Side (Leadville Ave)</i>	1 ft for every 3ft of building height, but no less than 5 ft	0 ft	5 ft	YES
<i>Side (Hwy 75/Main St)</i>	25 ft where the right-of-way for Hwy 75 is 80 ft	11 ft to columns 15 ft to walls 41 ft from edge of Hwy to building facade	11 ft to columns** 12 ft to walls Approximately 23 ft from edge of Hwy to building facade	YES
<i>Riparian (Trail Creek)</i>	25 ft	No waiver	25 ft	YES

\*All Setbacks are shown on Sheet L1.1 of Exhibit A.

\*\* Setbacks are measured to the property line from the point of the building that is closest. The closest point of the building to the property line is the southwest corner at 11 feet which meets the variance granted of 11 feet along Hwy 75.

<b>Building Height</b>	<b>Required</b>	<b>Waiver Granted</b>	<b>Approved</b>	<b>Conformance</b>
<i>River Street – top of roof</i>	35 foot maximum	58 ft  Elevator housing and other roof features extend above 58 ft as shown on Sheet A1-5 dated 5/1/2008	All roof projections are below the 58 ft roof-plane. The total building height on River Street is approximately 54 ft.  Max height of west mechanical penthouse is 14 feet 1 inch.  Max height of east mechanical penthouse is 9 feet.	YES
<i>River Street – top of observatory</i>	35 foot maximum	75 ft	75 ft	YES
<i>Trail Creek</i>	35 foot maximum	58 ft	Approximately 52 feet from finished grade to top of roof.	YES

\*Building Height Calculations are shown on Sheets A3.02 and A3.04 of Exhibit A.

Floor Area Ratio (FAR)	Required	Waiver Granted	Approved	Conformance
	0.5 max	2.4 FAR	<p>Level P2/P3 (parking level 2) – 26,165 SF  Level P1 (parking level 1)– 26,100 SF  Level 0 (lower level) – 21,963 SF  Level 1 (ground level) – 20,402 SF  Level 2 (second level) – 20,093 SF  Level 3 (third level) – 18,709 SF  Level 4 (fourth level) – 13,677 SF  Level 5 (fifth level) – 560 SF  <b>Total Gross Floor Area: 147,669 SF</b></p> <p>For purposes of calculating FAR, the two levels of underground parking (Levels 2/3 and 1) are not included. Total Floor Area for FAR calculation purposes is 95,404 which includes levels 0-5.  <b>Total Site Area:</b>  40,631 SF  <b>Total FAR:</b> 95,404/40,631 = 2.3</p>	YES

\*Floor Area Calculations are shown on Sheet A.00 of Exhibit A.

Open Site Area	Required	Waiver Granted	Approved	Conformance
	35% with 5% allowance for private decks and patios (Net 30%)	No waiver	39.4% including outdoor pool and spa  35.8% not including pool and spa but including the common patio area	YES

\*Open Site Area as shown on Sheet A.01 in Exhibit A.

Curb Cut	Required	Waiver Granted	Approved	Conformance
<i>River Street</i>	35% max	No waiver	29%	YES
<i>Leadville Ave</i>	35% max	No waiver	30%	YES

\*As shown on Sheets C1.0 and C1.1 in Exhibit A.

Parking Requirement Per Use	SF of Use*	# Spaces Required	Approved	Conformance
Hotel (.66 spaces per room)	73 rooms	48	105 Spaces proposed on Levels P1 and P2/3 and 4 on-street parking spaces  <b>Total: 109</b>  5 – ADA 1 – compact 86 – stackers 17 - standard	YES
Condominiums (1 space per 1,500 net sq ft)	25,604 SF	17		
+Residential guest space (1 guest space for every 4 units)	12 condominiums	3		
Conference facility (1 space per 200 sq ft seating area)	3,715 SF	19		
Retail/spa/office (1 space per 600 sq ft net floor area)	4,874 SF (includes 1,000 SF of retail and no office)	8		
Restaurant (1 space per 200 sq ft seating area)	2,668 SF	13		
<b>TOTAL REQ SPACES</b>		<b>108</b>		

\*Square footages of each use as shown on Sheets A2.0C-A2.05 in Exhibit A.

### FINDINGS REGARDING COMPLIANCE WITH THE DESIGN REVIEW STANDARDS

Per the Amended and Restated Development Agreement, the Appellation Hotel development is subject to the zoning requirements in effect at the time of the original PUD/CUP approval in 2008 (File No 08-007). What this means is that the proposed Appellation Hotel development is to be evaluated under the 2008 design review standards, not the design review criteria in effect today.

As the subject property is adjacent to Trail Creek, the proposed development is also subject to a Waterways Design Review. No changes were proposed to the approved Waterways Design Review approval from 2008 therefore no additional analysis is being provided at this time. All conditions of approval in the Waterways Design Review approval will remain in full effect and are noted in the conditions of approval below.

Criteria #1 - SITE DESIGN	Conformance
The site's significant natural features such as hillsides, mature trees and landscaping shall be preserved. Cuts and fills shall be minimized and shall be concealed with landscaping, revegetation and/or natural stone material.	YES

Finding: The 2008 Findings noted that the original development was in conformance with this standard because of the preservation of existing healthy trees, planting of new trees and proposed riparian restoration, and screening of the proposed retaining walls throughout the development with stone materials that matched that of the principal building and additional landscaping. The initial tree assessment identified that of the 83 existing trees on site, 18 trees were to be preserved and two were to be transplanted. The original development proposed 46 new trees and 118 new shrubs to be planted, which included the 5 new trees and 28 new shrubs proposed in the riparian restoration plan along Trail Creek.

The current application includes a revised landscape plan reflecting a revised planting plan, revised plaza area adjacent to the riparian area, and revised retaining walls proposed along Hwy 75 and Leadville Ave. The application proposes 48 new trees, 55 new shrubs, and 67 ornamental grasses which includes the 5 new trees and 28 shrubs proposed for the riparian restoration. No changes to the approved riparian restoration plan are being requested.

Prior to start of construction in 2016, the buildings commonly known as Trail Creek Village were demolished along with the removal of the trees designated for removal in the tree assessment. The trees slated for preservation still exist on the property today and will continue to be preserved as part of the proposed project. The Commission finds the application to be in conformance with this criterion.



Criteria #2 - COMPATIBILITY	Conformance
The structure shall be compatible with the townscape and surrounding neighborhoods with respect to height, bulk, setbacks and relationship to the street.	YES Condition #15

Finding: No changes to the building setback or height were proposed with the amended application. The applicant did make changes to the roof overhangs at the top level of the building, extending the approved 6 foot roof overhang to 18 feet with a 6 foot step in of the roof as shown on Sheet A2.06 of Exhibit A. Roof overhangs on Hwy 75 and Leadville were also reduced from the original approval. The Commission also worked with the applicant to refine the height of mechanical penthouses on the east and west sides of the building. With the refinements proposed by the applicant as reflected in Exhibit A, the Commission found the changes to the structure were compatible with the townscape and surrounding neighborhoods. Condition #15 addresses maximum heights permitted for the mechanical penthouses as reflected in Exhibit A.

Criteria #3 - COMPATIBILITY	Conformance
The project's materials, colors and signing shall be compatible with the townscape, surrounding neighborhoods and adjoining structures.	YES Conditions #13 and 14

Finding: The materials, colors, and signing are compatible with the surrounding townscape, neighborhood and adjoining structures. Through the design review process, the Commission recommended changes to the initial application's materials and colors siting a desire to be complimentary but distinct from the other hotel projects at each corner of the Main Street and River Street intersection. The approved materials palette is a warm palette with significant contrasting colors. As shown on pages 39-41 of Exhibit A, the materials proposed are wood siding, stone veneer, metal paneling, and wood accents that are compatible with the surrounding neighborhood. Condition #13 addresses the approved materials palette. Condition #14 requires submittal of a signage plan for future review by the Commission. The Commission finds that, as conditioned, the project meets this criterion.

Criteria #4 - COMPATIBILITY	Conformance
Consideration shall be given to significant view corridors from surrounding properties.	YES Condition #15

Finding: No significant changes to the building heights or potential view corridors were proposed with the application except for the addition of a mechanical penthouse on the east side of the building. This addition is a building code requirement to provide adequate emergency ingress and egress from the roof. The applicant provided visibility studies from various vantage points to demonstrate that the additional mechanical penthouse would not be visible from the street or the second floor of adjacent structures. The applicant also refined the scope of both mechanical penthouses to reduce the height as much as possible. The Commission found that the information provided, and the revisions made to the penthouses was sufficient to demonstrate the view corridors would not be impacted by the changes proposed and that this standard is met.

Criteria #5 - COMPATIBILITY	Conformance
Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.	YES Condition #8

Finding: The subject property is now vacant, having demolished the Trail Creek Village structures in 2016. Per condition of approval #8, the current development will uphold the commitment to the community by memorializing the Trail Creek Village history in an art installation in the main lobby of the hotel. As conditioned, the Commission finds this standard is met.

Criteria #6 - ARCHITECTURAL QUALITY	Conformance
Consideration shall be given to natural light reaching public streets, sidewalks and open spaces.	YES

Finding: A solar study was prepared and reviewed as part of the 2008 approval. The current application does not request changes in building height, setbacks, roof forms, or overall building configuration that would alter the conclusions of the initial solar study. The solar study found that the sidewalk area on the corner of Main Street and River Street would remain in the sun throughout the day, even during the winter. The hotel's courtyard would receive sun most of the year except for afternoon hours in autumn, winter, and spring. Changes to the roof overhang on the southwest corner of level four would not change the conclusions of the solar study. As no changes are being proposed, the Commission finds this standard is met.

Criteria #7 - ARCHITECTURAL QUALITY	Conformance
The building character shall be clearly defined by use of sloped roofs, parapets, cornices or other architectural features.	YES

Analysis: The 2008 Findings notes that the building character is primarily defined by the various reverse pitch roofs and observatory. The current application reflects changes to the proposed materials for the roofs and observatory; however, the type of roofs (reverse pitch) and prominence of the observatory have not been altered. Additionally, the roof lines remain below the 58 ft building height maximum and the height of the observatory is unchanged. As no changes to the primary architectural features are being proposed, the Commission finds this criterion is met.

Criteria #8 - ARCHITECTURAL QUALITY	Conformance
There shall be continuity of materials, colors and signing within the project.	YES Condition #14

Analysis: The current application proposes material and color changes for all four sides of the building from the 2008 approval. As noted in criteria #3 above, the Commission finds the color palette to be cohesive through the building and compatible with surrounding structures and the neighborhood. Condition #14 requires a signage master plan be developed for future review and approval by the Commission. As conditioned, the Commission finds that the proposed materials are consistent and complementary to each other within the development and this criterion is met.

Criteria #9 - ARCHITECTURAL QUALITY	Conformance
There shall be continuity among accessory structures, fences, walls and landscape features within the project.	YES Conditions #13 and #12

Finding: No accessory structures are proposed for the project, however, the project does include retaining and landscape walls, fences and railings for safety and screening, and landscape features such as the landscaped area in the right-of-way on River Street. The Commission review the wall materials and heights extensively through the review process. The applicant has made reductions in wall height and introduced wood and metal railings, and wood slat screening fences that mimic the material and color palette of the balconies, window cladding, and roof eaves. These materials will provide continuity throughout the project. Additionally, the board form concrete walls will be dyed a soft beige color as shown in Exhibit A to reduce the harshness of the walls and blend more seamlessly

with the overall color palette for the project. Condition #13 outlined the approval materials palette that must be adhered to. Additionally, condition #12 addresses landscape treatments of certain walls that will be incorporated into the final landscape plan. As conditioned, the Commission finds the application meets this criterion.

Criteria #10 - ARCHITECTURAL QUALITY	Conformance
Building walls which are exposed to the street shall be in scale with the pedestrian.	YES

Finding: The Commission reviewed the building walls adjacent to streets extensively throughout the review process. The Commission requested and the applicant revised the walls heights along Hwy 75 specifically as these are the tallest exposed walls in the project. As shown on Sheet L4.0, the walls have been reduced the maximum amount possible while still providing the required fall protection from adjacent patios and balconies. The Commission requested and the applicant revised the wall height adjacent to the Gateway Plaza and the restaurant patio to be partial wall and partial railing to reduce the perceived height of the wall and make it more in scale with pedestrians. The applicant also reduced the depth of these areas to provide for more robust landscaping between the walls and the sidewalk along Hwy 75. The Commission finds that these adjustments effectively scales the wall heights to be appropriate for pedestrians and finds the application meets this criterion.

Criteria #11 - ARCHITECTURAL QUALITY	Conformance
Building walls shall provide undulation/relief thus reducing the appearance of bulk and flatness.	YES

Finding: The Commission reviewed the appearance of bulk and flatness extensively throughout the review process. Discussions focused on contrast of materials, separation between windows and materials, placement of balconies, modulation of façade elements, and roof overhangs. The application includes significant contrast between façade elements in the foreground vs. materials of the background as shown in Exhibit A which reduces the appearance of flatness of the building. The structure also includes various types of balconies including standard balconies, Juliet balconies, and no balconies on each façade that provide undulation along the façade. The structure also includes significant setbacks of the façade at the third and fourth levels of the on the River Street and Trail Creek sides of the building. The use of reverse slope roof forms reduce the bulk of the building by tapering the appearance of height from the exterior to interior portions of the building. Window placements are bordered by wood siding which separates large amounts of fenestration to break up the flatness of the building as well. As proposed, the Commission finds the application meets this criterion.

Criteria #12 - ARCHITECTURAL QUALITY	Conformance
Exterior lighting shall not have an adverse impact upon other properties and/or public streets.	YES Condition #4

Finding: The current application includes a revised lighting plan produced by Niteo, an exterior lighting consultant. All proposed exterior lighting meets the city's current light temperature limit of 2,700 Kelvin and all fixtures are full cutoff which is also required by the Ketchum municipal code. In addition to information specific to the proposed light fixtures, the plan also includes a full photometric study of the current application, demonstrating zero light trespass across the property lines on all sides except River Street. River Street is provided an exception as the 2008 approval allowed for a substantial encroachment into the right-of-way for the porte cochere of the hotel which includes downcast recessed lighting under the pass through and downcast lighting in the screen panels in the landscape island between the car circulation area and River Street. As shown in Exhibit B, no light trespasses beyond the end of the curb and gutter along River Street where the porte cochere ends. Condition #4 addresses conformance of exterior lighting with the city's dark sky ordinance to ensure future compliance. As conditioned the Commission finds this criterion is met.

Criteria #13 - ARCHITECTURAL QUALITY	Conformance
Garbage storage areas and satellite receivers shall be screened from public view.	YES

Finding: Garbage and recycling areas are entirely enclosed within the building and accessed from N Leadville Ave. The location of the proposed garbage and recycling area has not changed since the original approval in 2008. All other satellite receivers related to the project are located on the roof and sufficiently set back as to not be visible by the public at the ground level of the project. The Commission finds this criterion is met.

Criteria #14 - ARCHITECTURAL QUALITY	Conformance
Utility, power and communication lines within the development site are concealed from public view where feasible.	YES

Finding: Per the conditions of approval of the CUP, the applicant worked with Idaho Power to underground not only the power lines within the development site, but power lines that service properties further south. The applicant paid for the undergrounding of power lines along Hwy 75 and N Leadville Ave to Gem Street. The work was completed in 2019 and no above ground power lines exist today. All lines related to utilities and communication are underground and will be pulled from in street locations on Hwy 75, River St., or N

Leadville Ave. An above ground transformer is being proposed on N Leadville Ave, however is screened with a horizontal wood slat fence. The Commission finds this criterion is met.

Criteria #15 - ARCHITECTURAL QUALITY	Conformance
Door swings shall not obstruct or conflict with pedestrian traffic.	YES

Finding: Most entry doors are sliding doors. Doors that open outward do not extend onto public sidewalks. Doors shall be pursuant to International Building Code requirements. The Commission finds this criterion is met.

Criteria #16 - ARCHITECTURAL QUALITY	Conformance
Building design should include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or to adjacent properties.	YES

Finding: All proposed roofs are either flat or with a reverse pitch. These types of roof forms do not require additional snow retention devices to be placed, however, the roof drainage must be adequate to manage stormwater runoff. The project proposes a series of roof drains that connect to on-site stormwater management. The most heavily trafficked pedestrian area is the front of the hotel on River Street which is mostly protected by a large projecting port cochere with a reverse pitch to the building. Any buildup of snow on flat roofs creating a cornice must be managed by the property owner as to ensure no falling of ice and snow will occur over pedestrian walkways or gathering areas. The Commission finds this criterion is met.

Criteria #17 - ARCHITECTURAL QUALITY	Conformance
Exterior siding materials shall be of natural wood or masonry origin or similar quality. Metal siding is discouraged in all zoning districts.	YES

Finding: The original approval included the use of metal paneling as noted in the 2008 Findings. The current project continues the use of non-reflective metal siding, however, alternative color tones have been requested. As outlined in criteria #3 and #8 above, the proposed materials include wood siding, stone veneer, wood accents, and metal paneling. The Commission finds the metal paneling and proposed color of the paneling to be compatible with the surrounding structures and neighborhood. As the use of metal paneling was approved in 2008 and remains compatible today, the Commission finds that the current proposal meets this criterion.

Criteria #18 - CIRCULATION DESIGN:	Conformance
Pedestrian, equestrian and bicycle access which is adequate to satisfy demands relative to development size shall be provided. These accesses shall be located to connect with existing and anticipated easements and pathways.	YES Condition #7

Finding: No changes to the required sidewalks are being proposed with the project. The Idaho Transportation Department is working with the City of Ketchum for the reconstruction of Hwy 75 which will include one through lane, one left turn lane, a bike lane, and sidewalks on the east side of the road. The sidewalk will extend to the southern end of the property and connect with future sidewalk proposed on the east side of Hwy 75 through the Gem Streets. Final locations of bicycle racks will be reviewed and approved by the City Engineer and Planning Department prior to issuance of a building permit for the project as outlined in condition #7. As conditioned, the Commission finds this criterion is met.

Criteria #19 - CIRCULATION DESIGN:	Conformance
The building(s) is primarily accessed from the public sidewalk for the majority of the individual uses proposed. It is the intent to promote exterior circulation with numerous connections to the public sidewalk and exposure to the street. This includes utilizing arcades, courtyards and through block connections.	YES

Finding: The proposed building is accessed directly from the public sidewalks on both Main Street and River Street. There are multiple entrances accessing key interior uses such as the restaurant, retail/bakery, and hotel lobby. The project also provides a public pedestrian connection from Hwy 75 to the rear of the property, connecting to the pool/jacuzzi deck and plaza area and the public access to Trail Creek. The Commission finds the project meets this criterion.

Criteria #20 - CIRCULATION DESIGN:	Conformance
Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage.	YES

Finding: Traffic circulation will be primarily within the three public streets and along public sidewalks fronting the building. A motor court separated from River Street by a landscaped island is proposed for drop-offs and those checking in. The entrance to the hotel garage is on the N Leadville Ave side of the project and provides forward movement entrance and exit to the hotel. The garbage and service bay is also accessed from N Leadville Ave with an approved backup turn movement to access this portion of the building. The original approval required snowmelt of N Leadville Ave not only to manage drainage concerns, but to address site distance and

stopping concerns related to vehicle travel in the winter months. The proposed project remains committed to snow melting N Leadville Ave and therefore no changes to the underlying circulation assumptions are being requested. The Commission finds the application to meet this criterion.

Criteria #21 - CIRCULATION DESIGN:	Conformance
Parking areas have functional aisle dimensions, backup space and turning radius.	YES

Finding: The underground parking areas have 24-foot aisle widths in all locations with all parking accommodated in designated parking spaces. No valet parking is permitted that will reduce the size of the drive aisles to less than 24 feet as required.

Criteria #22 - CIRCULATION DESIGN:	Conformance
Location of parking areas is designed for minimum adverse impact upon living areas within the proposed development and minimizes adverse impact upon adjacent properties with regard to noise, lights and visual impact.	YES

Finding: All parking areas are within the building except for four on street parking spaces on River Street. The entrance and exit of the parking garage is on the N Leadville Ave side of the project, across from existing residential uses. Both the garage and service bay have roll-up doors that will open and close automatically to reduce the amount of light from vehicles impacting adjacent properties. The location of the garage and service bays have not moved nor have been altered following the original approval. As no changes are being proposed to the location or configuration of the parking garage and service entrance, the Commission believes this criterion is met.

Criteria #23 - CIRCULATION DESIGN:	Conformance
Curb cuts are located away from major intersections and off high volume roadways where possible.	YES

Finding: Curb cuts are located on River Street and Leadville Avenue. The curb cuts on River are 72 feet from Main Street and 52 feet from Leadville Avenue intersection centerlines. No changes to approved curb cuts are being proposed or requested with the current application. The Commission finds the application to meet this criterion.



Criteria #24 - CIRCULATION DESIGN:	Conformance
Adequate unobstructed access for emergency vehicles, snow plows, garbage trucks and similar service vehicles to all necessary locations within the proposed project is provided.	YES

Finding: Emergency vehicles and snow plows will utilize the city streets. As noted above, a large portion of N Leadville Ave will be snow melted which will minimize snow plowing in that area. Garbage trucks and service and delivery vehicles will enter the underground parking and loading area directly from Leadville Avenue. The current application is required to meet all requirements for the 2018 building and fire codes which require additional ingress and egress for emergency purposes. Final review of the amended encroachment agreement and compliance with applicable building and fire codes will be completed at the time of building permit review. The Commission finds the application meets this criterion.

Criteria #25 - CIRCULATION DESIGN:	Conformance
The project is designed so as to provide adequate snow storage areas or removal for snow cleared from the parking areas and roadways within the project. (50 percent).	YES

Finding: No snow removal areas are needed because on-site parking is underground, and all sidewalks and the motor court at the hotel’s main entrance are to have a snow-melt system. No changes to the proposed snow melt system are being proposed or requested with the current application. The Commission finds the application meets this criterion.

Criteria #26 - LANDSCAPE QUALITY:	Conformance
Substantial landscaping is to be provided, which is in scale with the development and which provides relief from and screening of hard surfaces. Total building surface area and street frontage will be considered when determining whether substantial landscape is being provided. (Landscaping shall be defined as trees, shrubs, planters, hanging plants, ground cover and other living vegetation).	YES Conditions #5, #11, and #12

Finding: The applicant has provided adequate landscape buffering of hard surfaces with the increased landscaping shown on Sheet L3.0 of Exhibit A along Hwy 75 and Leadville Ave adjacent to proposed board formed concrete walls. The Commission reviewed the landscaping plan extensively to ensure that all hard surfaces were screened appropriately and that wall heights were in scale with pedestrians as required in criteria #10. Conditions #5, #11, and #12 address additional landscape requirements as outlined by the Commission during the review process. As conditioned, the Commission finds the application meets this criterion.

Criteria #27 - LANDSCAPE QUALITY:	Conformance
Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and compliment the neighborhood and townscape. Consideration should be given to the use of native, drought-resistant plant materials.	YES Condition #5

Finding: A revised landscape plan has been provided with the current application. The planting types are appropriate for the Ketchum microclimate and are compatible with landscaping treatments along Hwy 75 and Leadville Ave. Final landscaping for the landscape island in River Street will be reviewed and approved at the time of building permit application per condition #5. The Commission finds the application to meet this criterion.

Criteria #28 - LANDSCAPE QUALITY:	Conformance
The preservation of existing significant trees, shrubs and important landscape features (mapped in accordance with Site Design, Paragraph 1) shall be encouraged.	YES Conditions #2,6, and 10

Finding: The approved project included the preservation of eighteen (18) trees, seven (7) of which were considered resource trees, to be preserved in their current location. Two other trees were to be transplanted. The construction mitigation plan evaluated in 2016 noted preservation of the identified trees, which remain on site today. No changes to the tree preservation plan are being proposed and future construction activities must demonstrate adequate preservation of trees and surrounding riparian area. Conditions #2, #6 and #10 provide for protections of existing vegetation and oversight of construction management activities for the project. The Commission finds the application meets this criterion.

Criteria #29 - LANDSCAPE QUALITY:	Conformance
Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate shall be encouraged.	NO Conditions #5, 11, and 12

Finding: The applicant has made revisions to the landscape plan as shown on Sheet L3.0 of Exhibit A. Substantial landscape buffer is provided on all sides of the project including Hwy 75, Leadville Ave, and Trail Creek. On the River Street side of the application, a landscape buffer within the right-of-way is proposed that screens the hotel entrance. Conditions #5, #11, and #12 address the landscaping within the right-of-way of River Street and additional landscape buffering requested by the Commission between the

paver terrace and the riparian area and the pool level and adjacent residential property. As conditioned, the Commission finds the application meets this criterion.

Criteria #30 - ENERGY DESIGN:	Conformance
Consideration shall be given to proper solar orientation within the project. Recognition shall be given to the solar benefits of adjoining properties. (A sun chart as a means of understanding the solar possibilities and limitations shall be encouraged)	YES

Finding: A solar study was provided to inform the original approval. The hotel’s courtyard is sunny except for certain afternoon hours in autumn, winter and spring. Solar access for Kentwood Lodge and 200 South Leadville Townhomes is affected at certain times of day particularly in the winter. Leadville Avenue is also shaded much of the day in winter; the applicant is proposing to provide a snow melt system for a portion of Leadville. Ultimately, the project was approved with the understanding that a building built per the by-right allowances of the zoning regulations would have the same impact as the building proposed and therefore additional height waivers were provided. No changes to the approved height waivers are being requested therefore no changes to the project’s conformance with this criteria are occurring with the current application. The Commission finds that the application meets this criterion.

Criteria #31 - PUBLIC AMENITIES:	Conformance
Pedestrian amenities are encouraged for all projects and shall be required for commercial uses. Amenities may include, but are not limited to benches and other seating, kiosks, telephone booths, bus shelters, trash receptacles, restrooms, fountains, art, etc. The use of “Ketchum Streetscape Standards” shall be encouraged.	YES Conditions #7 and #11

Finding: The applicant has provided a landscape plan included in Exhibit A that outlines locations for benches and public art installations. Conditions #7 and #11 outline additional requirements for placement of trash receptacles and other public amenities to be reviewed and approved by city staff prior to issuance of a building permit. As conditioned, the Commission finds the application meets this standard.

Criteria #32 - GREEN BUILDING:	Conformance
Consideration shall be given to green building features within the project. Recognition shall be given to projects that achieve the United States Green Building Council's LEED Certification or earn the Environmental Protection Agency's Energy Star Label. Projects are encouraged to consider energy conservation, indoor air quality, water use, location, waste reduction, recycling and use of sustainable construction materials.	YES

Finding: The original approval outlined a set of green building measures that would be deployed with the project that all remain in place today. Additionally, the residential condominium portions of the project must meet the city's green building code requirements of a LEED, NGBS, or similar "Silver" rating. Finally, the project must also comply with the requirements of the 2018 International Energy Code Council, many of which are above and beyond commitments made to the project in 2008. The Commission finds the application meets this criterion.

Waterways Design Review Criteria	Conformance
Criteria outlined in the 2008 Design Review approval dated September 8, 2008. References 2008 code sections of 17.88.060.E(1-19)	YES Condition #10

Finding: No changes are proposed to the riparian restoration previously approved with the project in 2008. All findings outlined in the 2008 Waterways design review approval remain accurate. Condition #10 addresses items related to the Waterways Design Review approval that will be met with the current application. As conditioned, the Commission finds the application still meets the applicable Waterways Design Review criterion.

### CONCLUSIONS OF LAW

1. The City of Ketchum is a municipal corporation established in accordance with Article XII of the Constitution of the State of Idaho and Title 50 Idaho Code and is required and has exercised its authority pursuant to the Local Land Use Planning Act codified at Chapter 65 of Title 67 Idaho Code and pursuant to Chapters 3, 9 and 13 of Title 50 Idaho Code to enact the ordinances and regulations, which ordinances are codified in the Ketchum Municipal Code ("KMC") and are identified in the Findings of Fact and which are herein restated as Conclusions of Law by this reference and which City Ordinances govern the applicant's Design Review application for the development and use of the project site.
2. The Commission has authority to hear the applicant's Design Review Application pursuant to Chapter 17.96 of Ketchum Municipal Code Title 17.

3. The City of Ketchum Planning Department provided notice for the review of this application in accordance with Ketchum Municipal Code §17.96.080.
4. The Design Review application is governed under Ketchum Municipal Code Chapters 17.96, 17.124, 17.08, 17.12, 17.18, and 17.128.
5. The Design Review application meets all applicable standards specified in Title 17 of Ketchum Municipal Code.

#### **DECISION**

**THEREFORE**, the Commission **approves** this Design Review Application File No. P22-059 this Tuesday, February 14, 2023 subject to the following conditions of approval.

#### **CONDITIONS OF APPROVAL**

1. Ketchum water, sewer, fire, and building department requirements shall be met.
2. Design review elements shall be completed prior to final inspection/occupancy.
3. This Design Review approval is based on the plan sheets dated as referenced in Exhibit A. Building Permit Plans must conform to the approved Design Review plans unless otherwise approved in writing by the Commission or the Planning and Zoning Administrator. Any building or site discrepancies which do not conform to the approved plans will be subject to removal.
4. The Civil Drawings included as Sheets C0.1, C1.0, C1.1, and C1.2 of Exhibit A are preliminary only and must be revised to match the approved landscape plan on Sheet L3.0 prior to building permit application. Final civil drawings prepared by an engineer registered in the State of Idaho which include specifications for right-of-way, utilities, and drainage improvements shall be submitted for review and approval by the City Engineer, Streets, and Utilities departments prior to issuance of a building permit for the project.
5. This Design Review approval is subject to the requirements of the Amended and Restated Development Agreement dated October 5, 2015 and all subsequent amendments.
6. The existing mature trees that are indicated to be preserved or transplanted shall be fenced at the dripline and protected from construction impacts. The survival of all trees shall be guaranteed for a period of two years. Any tree that is more than 50% dead (as determined by the City's Arborist) within two years of issuance of Certificate of Occupancy shall be replaced with a specimen tree of significant size in a location as near to the existing location as feasible.

7. Any exterior telecommunication devices shall be located on a flat portion of the roof and not visible from surrounding properties.
8. Exterior lighting shall comply with exterior lighting plans in Exhibit B. Any changes to exterior lighting must be submitted for review and approval by the Planning Department at the time of building permit application.
9. Landscaping within the island between the motor court and River Street shall allow for adequate site distance. Final street tree species selection and locations shall be approved by the City Arborist prior to building permit issuance. The final landscape plan shall be submitted to the Planning Department for review and approval at the time of building permit application.
10. An ISA Certified Arborist shall be retained by the developer to (b) provide monthly site visits with the City Arborist during construction to ensure compliance with the approved Tree Preservation Plan.
11. The pedestrian amenities within the public street right-of-way areas shall include at a minimum:
  - a) Sidewalks shall be a minimum width of 6 feet on Main Street, as shown but not less than 5 feet on River Street, and 5 feet on Leadville Ave.
  - b) Sidewalk along Main Street shall extend south to the bridge to Trail Creek Crossings.
  - c) Bike racks, trash receptacles, benches and other amenities shall be incorporated in the final landscape plan submitted at building permit application for review and approval by the Planning Department.
12. Photographs of the previous Trail Creek Village buildings shall be displayed in a publicly accessible location within the hotel and installed prior to issuance of a Certificate of Occupancy.
13. At the time of building permit application, prior to issuance of a building permit, and prior to any on-site excavation or work, a construction activity plan shall be submitted to the Planning Department for review and approval pursuant to the requirements of Title 15 of the Ketchum Municipal Code.
14. The following conditions related to the Waterways Design Review shall be met:
  - a) A floodplain development permit including a detailed plant materials list, detailed plans for riparian restoration, and plans for protection of riparian area and the creek (from debris, chemicals, and erosion) during construction shall be submitted for review and approval by the Planning Department prior to issuance of a building permit.
  - b) Riparian vegetation and other landscaping shall be maintained in perpetuity as shown on approved plans.
  - c) Construction and silt fencing shall be located at the twenty-five (25) foot setback line prior to issuance of a building permit and shall remain in place for the duration of construction to limit the disturbance to the riparian areas. No construction materials shall be placed, and no construction staging shall occur within the riparian setback at any time. Prior to start of riparian restoration, a construction activity plan specifically focused on the riparian work must be submitted for review and approval by the Planning Department.

- d) No decks, patios, outdoor furnishings, or exterior lighting shall be installed within the twenty-five (25) foot riparian zone. No maintenance, including mowing, trimming, and removal, of vegetation within the riparian zone shall take place without written prior approval from the Planning Department.
  - e) A single, natural (stone, gravel, decomposed granite or similar) walkway to the water's edge shall be constructed.
15. The applicant shall provide for an appropriate landscaped buffer, signage, and trash receptacles between the lower paver terrace and the riparian area for the purpose of a) protecting the riparian area from damage and debris, b) focusing access to the creek to one location, c) reduce the likelihood of social trail development, and d) educating the public and visitors about the riparian area and Trail Creek. The landscape buffer may include hedges, fences, and other vertical elements that provide visibility into the riparian area but deter from multiple access points. A revised landscape plan demonstrating this requirement must be submitted for review and approval by the Planning Department at the time of building permit application.
  16. The applicant shall provide for vertical landscape elements or other similar treatment along the board form concrete walls adjacent to the residential property to the southeast of the subject property for the purpose of softening the look and feel of the concrete wall. A revised landscape plan demonstrating this requirement must be submitted for review and approval by the Planning Department at the time of building permit application.
  17. The approved materials palette is as shown in Exhibit A. Any changes to materials or location of material placements must be review and approved by the Planning Department prior to any constructed changes. Changes may be subject to review by the Planning and Zoning Commission at the discretion of the Planning and Zoning Administrator.
  18. A signage master plan shall be submitted for Commission review and approval prior to installation and prior to the issuance of Certificate of Occupancy. Review of the signage master plan does not require a public hearing.
  19. Height of mechanical penthouses shall be a maximum of 14 feet 1 inch above the roof line for the west penthouse and a maximum of 9 feet above the roof line for the east penthouse as shown on Sheets A3.02 and A3.04 of Exhibit A. Mechanical equipment that exceeds this height may be subject to review and approval of the Planning and Zoning Commission.
  20. A building permit shall be submitted pursuant to the terms and timelines outlined in the 2nd Amendment to the Amended and Restated Development Agreement as approved by City Council. Failure to submit the required application materials and pay applicable fees per the agreement shall result in this Design Review approval becoming null and void.
  21. In addition to the requirements set forth in this Design Review approval, this project shall comply with all applicable local, state, and federal laws.

Findings of Fact **adopted** this 14<sup>th</sup> day of February 2023.

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Neil Morrow, Chair  
City of Ketchum  
Planning and Zoning Commission





City of Ketchum

# EXHIBIT A:

## Appellation Hotel Narrative and Approved Plans

## MEMORANDUM

*TO:* Mr. Jack Briteau/HH LLC  
Morgan Landers/City of Ketchum

*FROM:* John C. Davis

*DATE:* February 7, 2023

*SUBJECT:* Design Review Application / FINAL  
Appellation/Sun Valley Hotel  
Ketchum, Idaho

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The enclosed "Final Design Review Application" package is submitted to memorialize all of the final design adjustments as agreed and approved at the January 31, 2023 Planning and Zoning Commission meeting. Following is a summary description of the changes to the contents of this Application as revised / updated to reflect the approved design.

### **1.0 Design Review Application**

The Application is different only in the minor adjustment to Gross Floor Area from 147,820 s.f. to 147,669 s.f. See Drawing Sheet A.00 and attached Table I which have been updated to reflect:

- 1.1 Reduction of area at the roof level due to reduction in size of the East Mechanical Penthouse.
- 1.2 Slight increase in area at the P1 Level resulting from the re-orientation of the Pool 90 degrees at the Deck Level above.

The new Gross Floor Area remains well under the approved maximum of 149,325 s.f.

### **2.0 Tables 2 and 2.1.R1**

These tables are revised slightly due to the reconfiguration of the P1 Level Floor Plan. See Sheet A2.0B. As above, the re-orientation of the Pool has yielded more usable floor area for Back-Of-House and Hotel Services spaces. These areas flow through the Table 2 Hotel Matrix values as indicated and do not alter any CUP conditions or requirements negatively.

### **3.0 Table III**

Table III was updated to reflect an increase in allowable residential s.f. "Site Open Space" percentage remains unchanged at 35.8%.

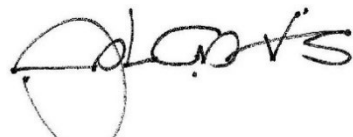
### **4.0 Table IV**

No change from previous Application.

**S5.0 Attached Drawing Package**

- 5.1 *Civil Drawing Sheets C0.1 through C1.2.* As we discussed, these Sheets have not been updated as yet, pending conditions of approval and further review with City Agency Staff. They shall be updated in the Building Permit Stage.
- 5.2 *Landscape Drawings L1.0 through L4.0.* These sheets have been updated reflecting design changes as approved by Staff and Commission.
- 5.3 Architectural Drawings
  - a. *Sheet A0.0.* Gross Building Areas have been updated reflecting plan adjustments at P1 and O5 Roof Levels.
  - b. *Sheet A0.1.* Site Open Area was adjusted reflecting Pool Deck reconfiguration and reduction of West Patio.
  - c. *Floor Plans.* Only plans at Floors P1 and O5 Roof have been revised as outlined above.
  - d. *Sheet A2.06A.* A full Roof Plan has been included indicating roof overhang dimensions as approved and reduced East Penthouse.
  - e. *Sheet A2.10.* Area statistics have been revised for P1 and O5/Roof Levels.
  - f. *Exterior Elevations.* The final approved exterior elevation sheets are incorporated in this Package and included in the revised roof overhangs and the 58 foot height plan diagrams as requested.
  - g. *Materials Board Sheets.* The materials board sheets have been updated to include the revised / approved materials and color scheme.
  - h. *Renderings.* The updated and approved Design Review perspective views are included.

Very truly yours,



John C. Davis, AIA, NCARB  
Executive Vice President

cc: M. Hornberger/HWI  
14695.1.2.1/2.1



City of Ketchum  
Planning & Building

Design Review Application

OFFICIAL USE ONLY
File Number:
Date Received:
By:
Pre-Application Fee Paid:
Design Review Fee Paid:
By:

Please submit your completed application electronically to: [planningandzoning@ketchumidaho.org](mailto:planningandzoning@ketchumidaho.org)

APPLICANT INFORMATION			
Project Name: APPELLATION/SUN VALLEY	Phone: (650) 906-5636		
Owner: Harriman Ketchum Hotel, LLC	Mailing Address: P.O. Box 84		
Email: jack@waypointsunvalley.com	Sun Valley, ID 83353		
Architect/Representative: John C. Davis, AIA	Phone: (415) 391-1080, Ext. 103		
Email: davis@hwiarchitects.com	Mailing Address: Hornberger + Worstell, Inc.		
Architect License Number: AR-985003	170 Maiden Lane, Suite 700, San Francisco, CA 94108		
Engineer of Record: IMEG / Peter Monroe	Phone: (503) 274-1823		
Email: peter.d.monroe@imegcorp.com	Mailing Address: 1022 SW Salmon St., Suite 300		
Engineer License Number: Idaho 7227	Portland, OR, 97205		
Primary Contact Name and Phone Number: Jack Bariteau, Managing Member, (650) 906-5636			
PROJECT INFORMATION			
Legal Land Description: Lot 2, Block 83, Ketchum Townsite	Street Address: 300 River St. East		
Lot Area (Square Feet): 40,631 Sq. Ft.	Zoning District: Tourist (T)	RPK #:	
Overlay District: <input checked="" type="checkbox"/> Floodplain	<input type="checkbox"/> Avalanche	<input type="checkbox"/> Mountain	<input type="checkbox"/> None
Type of Construction: <input checked="" type="checkbox"/> New	<input type="checkbox"/> Addition	<input type="checkbox"/> Remodel	<input type="checkbox"/> Other
Anticipated Use: Hotel 79 Keys	Number of Residential Units: 12 Units		
GROSS FLOOR AREA			
	Proposed	Existing	
Basements	See Attached Table	Sq. Ft.	Sq. Ft.
1 <sup>st</sup> Floor		Sq. Ft.	Sq. Ft.
2 <sup>nd</sup> Floor		Sq. Ft.	Sq. Ft.
3 <sup>rd</sup> Floor		Sq. Ft.	Sq. Ft.
Mezzanine		Sq. Ft.	Sq. Ft.
Total	147,669 Sq. Ft.	N/A	Sq. Ft.
FLOOR AREA RATIO			
Community Core:	Tourist: 0.5 (2.3 Permitted)	General Residential-High:	
BUILDING COVERAGE/OPEN SPACE			
Percent of Building Coverage: 56.0%			
DIMENSIONAL STANDARDS/PROPOSED SETBACKS			
Front: 3' (Approved)	Side: 5' Leadville	Side: 11' Hwy 75	Rear: 25' Minimum
Building Height: 58' to Roof Plane (Maximum)			
OFF STREET PARKING			
Parking Spaces Provided: 109 Spaces	Curb Cut: Sq. Ft.	29% River St.; 30% Leadville	
WATER SYSTEM			
<input checked="" type="checkbox"/> Municipal Service		<input type="checkbox"/> Ketchum Spring Water	

The Applicant agrees in the event of a dispute concerning the interpretation or enforcement of the Design Review Application in which the city of Ketchum is the prevailing party, to pay the reasonable attorney fees, including attorney fees on appeal and expenses of the city of Ketchum. I, the undersigned, certify that all information submitted with and upon this application form is true and accurate to the best of my knowledge and belief.

Signature of Owner/Representative

Date **FEBRUARY 7, 2023**

## DESIGN REVIEW APPLICATION CERTIFICATION OF COMPLETENESS

Project Name: Appellation/Sun Valley	Reviewed by:
Date: February 7, 2023	Time:

### REQUIRED DOCUMENTS (CHECK ALL THAT APPLY):

- Design review application form including project name, location, applicant, owner, project representatives and contact information.
  
- One (1) PDF electronic set of the complete application containing all requirements as listed below, plans appropriately scaled, shall be submitted. Electronic record of the materials and color sample board may be satisfied with photos. One (1) hardcopy set of scalable plans showing at a minimum the following:
  - Vicinity map, to scale, showing the project location in relationship to neighboring buildings and the surrounding area. Note: a vicinity map must show location of adjacent buildings and structures.
  
  - Drainage plan (grading, catch basins, piping, and dry-wells).
  
  - Utilities plan (location and size of water and sewer mains and services, gas, electric, TV and phone).
  
  - Site plan, to scale, showing proposed parking (including parking stall dimensions), loading, general circulation and snow storage. List square footage of subject property including lot dimensions.
  
  - Landscape plan (existing landscaping on the site shown and adjacent right-of-way as retained, relocated or removed; proposed landscaping including species type, size and quantity).
  
  - Floor plan. List gross and net square footage for each floor. List occupancy classification and type of construction.
  
  - Detailed elevations of all sides of the proposed building and other exterior elements (colors, materials).
  
  - Exterior lighting plan, pursuant to chapter 17.132, showing location, height, type and lumen output; spec sheets for fixtures; illuminance levels/photometrics for exterior lighting.
  
  - Photometric analysis prepared by MH Companies (see city Right-of Way and Lighting Standards at [https://www.ketchumidaho.org/sites/default/files/fileattachments/streets\\_amp\\_facilities/page/2851/row\\_standards\\_-\\_2022.pdf](https://www.ketchumidaho.org/sites/default/files/fileattachments/streets_amp_facilities/page/2851/row_standards_-_2022.pdf)) showing placement of street light fixtures and average and maximum footcandle illumination along the sidewalk adjacent to the project.
  
  - One (1) 11" x 17" materials and colors sample board showing all exterior materials used on the façade of the structure. A digital copy may be sufficient as approved by the Administrator.

At least one week prior to the scheduled Commission meeting, on the site applicant shall stake the building corners for all proposed buildings and additions, all trees proposed to be removed shall be flagged and the applicant shall install story poles, or other height delineation method pre-approved by the Administrator, at the maximum roof peaks of the proposed buildings. Documentation of this work shall be provided to the project planner one week prior to the meeting. Failure by the applicant to perform this work one week prior to the Commission meeting shall result in a continuation of the project for consideration.

For projects requiring pre-application design review, a model or computer simulation renderings, as described in subsection 17.96.010(C) of this chapter shall be required.

- For new multi-tenant buildings, a master signage plan shall be submitted.
- The Administrator may waive some submittal requirements if it is determined the information is not relevant to the design review.
- Other information as required by the Administrator or the Commission.
- Design review fee shall be submitted as described in section 17.96.100 of this chapter.

**STAFF COMMENTS:**


**MEMORANDUM**

**TO:** Mr. Jack Bariteau/HH LLC  
 Suzanne Frick/City of Ketchum  
 Morgan Landers/City of Ketchum

**FROM:** John C. Davis

**DATE:** February 7, 2023

**SUBJECT:** Final Design Review Application Package  
*Attachments to Application Information*  
 Appellation/Sun Valley Hotel  
 Ketchum, Idaho

**I. Building Gross Floor Area Summary Comparison to Approved**

Design Requirement Element	Description	2022/23 Proposed Appellation Hotel *	2008 Development Agreement	2016 Approved Permit Documents
P3/P2 Level	Underground Parking	26,165 sf	23,575 sf	26,373 sf
P1 level	Underground Parking; BOH: Hotel Support, Spa	26,100 sf	27,700 sf	25,014 sf
<b>Basements Subtotal</b>		<b>52,265 sf</b>	<b>51,275 sf</b>	<b>51,387 sf</b>
00 level	Meeting Rooms & Support; Kitchens; BOH; Guestrooms	21,963 sf	20,900 sf	21,444 sf
Ground Floor	Guestrooms: Reception Lobby; Dining, Kitchens; BOH; Retail	20,402 sf	21,650 sf	21,156 sf
2 <sup>nd</sup> Floor	Guestrooms	20,093 sf	20,800 sf	20,665 sf
3 <sup>rd</sup> Floor	Guestrooms; Residential Units; Lock-Off Keys	18,709 sf	19,890 sf	18,514 sf
4 <sup>th</sup> Floor	Residential Units; Lock-Off Keys	13,677 sf	14,260 sf	14,463 sf
Roof	Observatory	560 sf	550 sf	1,600 sf
<b>Hotel Gross</b>		<b>95,404</b>	<b>98,050</b>	<b>97,842</b>
<b>Totals</b>		<b>147,669 sf</b>	<b>149,325 sf</b>	<b>149,229 sf</b>

\*Refer to Drawing A0.0 for Floor Area Calculations

**TABLE 2: HOTEL MATRIX/APPELLATION HOTEL**

<b>APPELLATION HOTEL PROPOSED</b>		
<b>HOTEL CONFIGURATION</b>	<b>UNITS</b>	<b>SQUARE FEET</b>
Guest Rooms/ SqFt	73	32,148
Residence "Lock-Off" Keys	6	See below
Hotel Key Room Count	79	
Hotel Bed Count	82	
Residence Units/ SqFt	12	25,604
BOH Circulation; Support; <sup>1</sup> Interior Public Spaces		29,709
<b>TOTAL HOTEL SQ. FT.</b>		<b>87,461</b>
<b>RESIDENTIAL CONFIGURATION</b>		
Residential Condominiums (Non-Hotel Residential)	12	22,849
Residence Lock-Off Rooms	6	2,755
Net Residential Sq. Ft.		25,604
Permitted Non-Hotel Residential (Hotel Sq. Ft. / .75 - Hotel Sq. Ft.)		29,154
<b>OVER/(UNDER)</b>		<b>(3,550)</b>
<b>2008 DEVELOPMENT AGREEMENT</b>		
<b>HOTEL CONFIGURATION</b>	<b>UNITS</b>	<b>SQUARE FEET</b>
Guest Rooms	73	
SqFt		45,844
Condominium Units	6	
SqFt		11,770
Hotel Key Count	79	
Hotel Bed Count	82	
BOH Circulation Support and Interior Public Spaces (SqFt)		25,626
<b>TTL HOTEL SqFt</b>		<b>83,240</b>
<b>RESIDENTIAL CONFIGURATION</b>		
Residential Condominiums (Non-Hotel Residential)		14,260
Less 17% Circulation		(2,424)
Net Residential Sq. Ft.		11,700
Permitted Non-Hotel residential (Hotel Sq Ft/ .75 - Hotel Sq Ft)		27,747
<b>OVER/(UNDER)</b>		<b>(15,977)</b>

Footnotes: <sup>1</sup> See floor plans for areas of individual spaces included; BOH includes operations spaces; support includes kitchens, housekeeping, storage for hotel uses.



III. Conditional Use Permit Parameters for Appellation and Comparison to Approved CUP

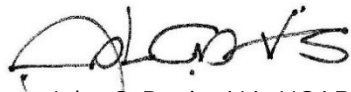
Design Requirement Element	2022 Proposed Appellation Hotel	2008 Development Agreement	2016 Approved Permit Documents
Height/Bulk	58 ft to Roof Plane 75 ft to Top of Observatory	58 ft to Roof Plane 75 ft to Top of Observatory	(Unchanged) (Unchanged)
Gross Building Area	147,820 sf	149,325 sf	149,229 sf
Guestroom Keys	73	73	65
Condominium Residences	12	6	14
Condo Lock-Off Hotel Key Units	6	6	14
<b>Total Hotel Keys</b>	<b>79</b>	<b>79</b>	<b>79</b>
Allowable Residential Sq. Ft.	29,154	27,747	27,462
Proposed Residential Sq. Ft.	25,604	11,700	27,047
Parking Spaces	109	97	108
Setbacks: River St.	3 ft	3 ft (Permitted)	3 ft
Rear (Trail Creek)	9 ft	9 ft (Permitted)	9 ft
Leadville Ave.	5 ft	0 ft	3 ft
Highway 75	11 ft to columns 12 ft to walls (tbd)	11 ft to columns 15 ft to walls 41 ft to road	9 ft 13 ft 39 ft
Riparian	25 ft min.	25 ft min.	25 ft min.
Site Open Space: 30% (Net)	35.8%	30.08% (Approved)	30.1%
Floor Area Ratio	2.33	2.4	2.4
Curb Cuts River St. 30%	29.0%	29.0%	29.0%
Leadville: 35%	30.0%	29.5%	27.6%

IV. Parking Requirement Table: Appellation Hotel (Valet Parking)

APPELLATION HOTEL PROPOSED		
Use	Requirement	# Spaces Required
Hotel	.66 Spaces Per Room X 73 Rooms	48.18
Condominiums and Residential Guest Space	1 Space per 1,500 NSF (x 25,604)	17.0
	1 Guest Space per 4 Units (x 12)	3.0
Conference Facilities	1 Space per 200 sf Seating Area (x 3,715 sf)	18.75
Retail/Spa/Office	1 Space per 600 sf of NSF (x 4,874)	8.1
Restaurant	1 Space per 200 sf of Seating Area (x 2,668 sf)	13.34
<b>Total required Parking/Appellation</b>		<b>108.37 Spaces</b>
<b>Total Provided</b>	<b>105 Structured/Valet Plus 4 Street Spaces</b>	<b>109 Spaces</b>

Parking Comparison:

2008 DEVELOPMENT AGREEMENT		
Use	Requirement	# Spaces Required
Hotel	.66 Spaces Per Room X 73 Rooms	48.18
Condominiums and Residential Guest Space	1 Space per 1,500 NSF (x 11,770)	7.84
	1 Guest Space per 4 Units (x 6)	1.50
Conference Facilities	1 Space per 200 sf Seating Area (x 3,270 sf)	16.35
Retail/Spa/Office	1 Space per 600 sf of NSF (x 3,715 sf)	6.19
Restaurant	1 Space per 200 sf of Seating Area (x 3,390 sf)	16.95
<b>Total required Parking/2008</b>		<b>97.01 Spaces</b>
<b>Total Provided</b>	<b>93 Structured/Valet Plus 4 Street Spaces</b>	<b>97 Spaces</b>



John C. Davis, AIA, NCARB  
Executive Vice President

cc: M. Hornberger/HWI  
14695.1.2.1/2.1

Memorandum re Comparisons  
Appellation/Sun Valley Hotel, Ketchum, Idaho

February 7, 2023

4 of 4

**APPELLATION HOTEL**  
Ketchum, Idaho

**2022 Hotel Square Footage Table 2.1.R1**  
Updated to Conform to "2016 Determination" Standards  
9/19/2022 Updated February 7, 2023

Use	Square Footage	SF toward Hotel SF Uses	Guestrooms	Residential SF
<b>P2/P3</b>				
Parking	18,300	-		
Circulation	740	-		
BOH	550	550		
Mechanical	2,479	-		
Support/Service	479	-		
Owner Storage	1,392	-		
<b>Total</b>		<b>550</b>		
<b>P1</b>				
Parking	12,555	-		
Circulation	1,977	-		
BOH	3,709	3,709		
Service	1,897	1,897		
Mechanical	1,051	-		
SPA/Fitness	3,874	3,874		
<b>Total</b>		<b>9,480</b>		
<b>Level (00)</b>				
Banquet Room	2,683	2,683		
Meeting Rooms	1,032	1,032		
Bathrooms	535	535		
Prefunction	1,676	1,676		
Housekeeping	70	70		
BOH	1,907	1,907		
Kitchens	3,075	3,075		
Circulation	2,377	-		
Guestrooms			5,164	
<b>Total</b>		<b>10,978</b>		
<b>Level 1</b>				
Restaurant	2,668	2,668		
Kitchen	1,121	1,121		
Retail	1,000	1,000		
Bathrooms	387	-		
Circulation	2,163	-		
BOH/Front Office	552	552		
Lobby/Living Room	2,704	2,704		
Bar/Bakery	656	656		
Front Desk	(Included)	-		
Guestrooms			7,832	
<b>Total</b>		<b>8,701</b>		

	2008 Design Review Summary	2016 Determination Summary	2023 Summary Final
Guestrooms	45,844	Guestrooms 26,962	Guestrooms 32,148
Condos	11,770	Condos 27,047	Residences 25,604
Other Hotel Uses	25,626	Other Hotel Uses 28,379	Other Hotel Uses 29,709
<b>Total Hotel SF</b>	<b>83,240</b>	<b>Total Hotel SF 82,388</b>	<b>Total Hotel SF 87,461</b>

**Permitted Non-Hotel Residential:**  
 $87,461 \text{ SF} \div .75 = 116,615 - 87,461 = 29,154 \text{ SF}$   
**Residential Provided:** 25,604 SF  
**Over/(Under):** (3,550) SF

**APPELLATION HOTEL**  
Ketchum, Idaho

**2022 Hotel Square Footage Table 2.1.R1**

Updated to Conform to "2016 Determination" Standards  
9/19/2022 Updated February 7, 2023

Use	Square Footage	SF toward Hotel SF Uses	Guestrooms	Residential SF
<b>Level 2</b>				
Guestrooms			16,509	
Circulation	2,626	-		
Housekeeping	148	-		
<b>Level 3</b>				
Guestrooms			2,643	
Circulation	1,793	-		
Housekeeping	152	-		
Residences Lock-Off Rooms				2,337
Residences (Non-Hotel)				10,930
<b>Level 4</b>				
Residences Lock-Off Rooms				418
Residences (Non-Hotel)				11,919
<b>TOTALS</b>		<b>29,709</b>	<b>32,148</b>	<b>25,604</b>
<b>TOTAL HOTEL SQUARE FOOTAGE</b>				<b>87,461</b>

# Appellation | Sun Valley

KETCHUM, IDAHO

FINAL DESIGN REVIEW APPLICATION  
February 7, 2023

**Hornberger + Worstell**

Architects and Planners  
170 Maiden Lane  
San Francisco, CA 94108

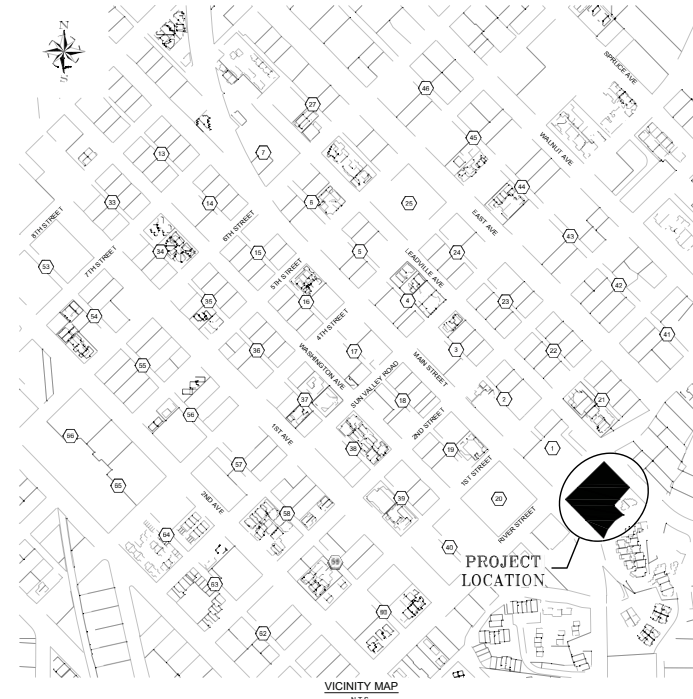
415.391.1080  
design@hwiarchitects.com

Prepared for:  
Harriman Ketchum Hotel LLC  
Sun Valley, Idaho

# APPELLATION HOTEL / SUN VALLEY SEPTEMBER 2022

## CONSTRUCTION NOTES

- ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISPC) AND CITY OF KETCHUM STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ISPC AND CITY OF KETCHUM STANDARDS ON SITE DURING CONSTRUCTION.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES PRIOR TO COMMENCING AND DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL CALL DIGLINE (1-800-342-1585) TO LOCATE ALL EXISTING UNDERGROUND UTILITIES A MINIMUM OF 48 HOURS IN ADVANCE OF EXCAVATION.
- CONTRACTOR SHALL COORDINATE RELOCATIONS OF DRY UTILITY FACILITIES (POWER, CABLE, PHONE, TV) WITH THE APPROPRIATE UTILITY FRANCHISE.
- THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION (THIS MAY INCLUDE ENCROACHMENT PERMITS AND NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION GENERAL PERMIT (CGP) PERMIT COVERAGE).
- ALL CLEARING & GRUBBING SHALL CONFORM TO ISPC SECTION 201.
- ALL EXCAVATION & EMBANKMENT SHALL CONFORM TO ISPC SECTION 202. SUBGRADE SHALL BE EXCAVATED AND SHAPED TO LINE, GRADE, AND CROSS-SECTION SHOWN ON THE PLANS. THE SUBGRADE SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-698. THE CONTRACTOR SHALL WATER OR AERATE SUBGRADE AS NECESSARY TO OBTAIN OPTIMUM MOISTURE CONTENT. IN-LIEU OF DENSITY MEASUREMENTS, THE SUBGRADE MAY BE PROOF-ROLLED TO THE APPROVAL OF THE ENGINEER.
  - PROOF-ROLLING: AFTER EXCAVATION TO THE SUBGRADE ELEVATION AND PRIOR TO PLACING COURSE GRAVEL, THE CONTRACTOR SHALL PROOF ROLL THE SUBGRADE WITH A 5-TON SMOOTH DRUM ROLLER, LOADED WATER TRUCK, OR LOADED DUMP TRUCK, AS ACCEPTED BY THE ENGINEER. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF UNSUITABLE SUBGRADE MATERIAL AREAS, AND/OR AREAS NOT CAPABLE OF COMPACTION ACCORDING TO THESE SPECIFICATIONS. UNSUITABLE OR DAMAGED SUBGRADE IS WHEN THE SOIL MOVES, PUMPS AND/OR DISPLACES UNDER ANY TYPE OF PRESSURE INCLUDING FOOT TRAFFIC LOADS.
  - IF, IN THE OPINION OF THE ENGINEER, THE CONTRACTOR'S OPERATIONS RESULT IN DAMAGE TO, OR PROTECTION OF, THE SUBGRADE, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, REPAIR THE DAMAGED SUBGRADE BY OVER-EXCAVATION OF UNSUITABLE MATERIAL TO FIRM SUBSOIL, LINE EXCAVATION WITH GEOTEXTILE FABRIC, AND BACKFILL WITH PIT RUN GRAVEL.
- ALL 2" MINUS GRAVEL SHALL CONFORM TO ISPC 802, TYPE II (ITD STANDARD 703.04, 2"), SHALL BE PLACED IN CONFORMANCE WITH ISPC SECTION 801 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99.
- ALL 3/4" MINUS CRUSHED GRAVEL SHALL CONFORM TO ISPC 802, TYPE I (ITD STANDARD 703.04, 3/4" B), SHALL BE PLACED IN CONFORMANCE WITH ISPC SECTION 802 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
- ALL ASPHALTIC CONCRETE PAVEMENT WORK SHALL CONFORM TO ISPC SECTION(S) 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (13MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPC SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPC SECTION 803.
- ASPHALT SAWCUTS SHALL BE AS INDICATED ON THE DRAWINGS, OR 24" INCHES FROM EDGE OF EXISTING ASPHALT, IF NOT INDICATED OTHERWISE SO AS TO PROVIDE A CLEAN PAVEMENT EDGE FOR MATCHING. NO WHEEL CUTTING SHALL BE ALLOWED.
- TRAFFIC CONTROL SHALL BE PER THE TRAFFIC CONTROL PLAN. CONTRACTOR WILL NEED TO MAINTAIN ACCESS TO ALL PRIVATE PROPERTIES, UNLESS OTHERWISE COORDINATE WITH THE PROPERTY OWNER THROUGH THE CITY ENGINEER.
- ALL CONCRETE WORK SHALL CONFORM TO ISPC SECTIONS 701, 703, AND 705. ALL CONCRETE SHALL BE 3,000 PSI MINIMUM, 28 DAY, AS DEFINED IN ISPC SECTION 703, TABLE 1.C. IMMEDIATELY AFTER PLACEMENT PROTECT CONCRETE BY APPLYING MEMBRANE-FORMING CURING COMPOUND, TYPE 2, CLASS A PER ASTM C 309-94. APPLY CURING COMPOUND PER MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS.
- ALL TRENCHING SHALL CONFORM TO ISPC STANDARD DRAWING SD-301. TRENCHES SHALL BE BACKFILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
- PER IDAHO CODE § 55-1613, THE CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS; ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS THAT ARE LOST OR DISTURBED BY CONSTRUCTION SHALL BE REESTABLISHED AND RE-MONUMENTED, AT THE EXPENSE OF THE AGENCY OR PERSON CAUSING THEIR LOSS OR DISTURBANCE AT THEIR ORIGINAL LOCATION OR BY SETTING OF A WITNESS CORNER OR REFERENCE POINT OR A REPLACEMENT BENCHMARK OR CONTROL POINT, BY OR UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR.
- CONSTRUCTION OF WATER MAINS AND ALL OTHER RELATED APPURTENANCES SHALL BE IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPC), IDAPA 58.01.08, IDAHO RULES FOR PUBLIC DRINKING WATER SYSTEMS AND THE CITY OF KETCHUM UTILITIES DEPARTMENT STANDARDS.
- CONTRACTOR SHALL PRESSURE TEST, DISINFECT, AND CONDUCT BIOLOGICAL TESTING IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPC), AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS, AND THE PRESSURE TESTING, DISINFECTION, AND MICROBIOLOGICAL TESTING PROCEDURES.
- ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL BE ANS/NSF STD. 61 COMPLIANT.
- ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL COMPLY WITH THE LOW LEAD ACT REQUIRING ALL MATERIALS TO HAVE A LEAD CONTENT EQUAL TO OR LESS THAN 0.25%.
- THE CONTRACTOR SHALL USE ANS/NSF STANDARD 60 CHEMICALS AND COMPOUNDS DURING INSTALLATION & DISINFECTION OF POTABLE WATER MAIN.



## CIVIL DRAWINGS SHEET INDEX

SHEET#	DESCRIPTION
CO.1	COVER SHEET
C1.0	SITE GRADING AND DRAINAGE SHEET
C1.1	GEADING AND SNOW MELT AREA SHEET
C1.2	DETAIL SHEET



## LEGEND

EXISTING ITEMS		PROPOSED ITEMS	
—	PROPERTY LINE	—	NEW ASPHALT
—	SH-75 RIGHT-OF-WAY	—	CONCRETE SIDEWALK
—	CENTERLINE OF RIGHT-OF-WAY	—	CONCRETE 6" ROLLED CURB
—	EASEMENT / SETBACK	—	CURB TRANSITION (ZERO REVEAL TO TYPICAL 6" ROLLED)
—	EOG = EDGE OF GRAVEL	—	ZERO REVEAL CURB & GUTTER
—	PE = BURIED POWER LINE	—	RETAINING WALL
—	WATER MAIN	—	ADA ACCESS TRUNCATED DOME
—	WATER SERVICE	—	FIRE HYDRANT
—	8" SEWER MAIN	—	WATER VALVE
—	SS = SEWER SERVICE	—	ADA CURB INTERVAL
—	GM = GAS MAIN	—	1' CENTER INTERVAL
—	GS = GAS SERVICE	—	DRYWELL
—	PHB = BURIED TELEPHONE LINE	—	STORM DRAIN
—	STORM DRAIN	—	SAWCUT LINE
—	5' CONTOUR INTERVAL	—	APPROXIMATE LIMITS OF DISTURBANCE
—	1' CONTOUR INTERVAL	—	ROAD PAINT
—	CURB & GUTTER	—	GRADE
—	CONCRETE	—	SPOT ELEVATION
—	BUILDING	—	CONCRETE PAVEMENT EDGING
—	FH = FIRE HYDRANT	—	CONCRETE PAVERS
—	WV = WATER VALVE	—	GAS SERVICE
—	WTMR = WATER METER	—	SEWER SERVICE
—	VB = VALVE BOX	—	POWER TRANSFORMER
—	FIBER OPTIC VAULT	—	STREET LIGHT
—	GV = GAS VALVE		
—	GMKR = GAS MARKER		
—	TVBOX = TV RISER		
—	PHBOX = TELEPHONE RISER		
—	PHMH = TELEPHONE MANHOLE		
—	SMH = SEWER MANHOLE		
—	SCO = SEWER CLEANOUT		
—	CB = CATCH BASIN		
—	DWELL = DRY WELL		
—	SDMH = STORM DRAIN MANHOLE		
—	PMH = POWER MANHOLE		
—	LB = LIGHT		
—	PBOX = POWER BOX		
—	DT = DECIDUOUS TREE		
—	CT = CONIFER TREE		
—	AP = ANGLE POINT		
—	BEG = BEGINNING		
—	BLDG = BUILDING		
—	BOW = BACK OF WALK		
—	CC = CURB CUT		
—	CL = CENTER LINE		
—	CLUST = CLUSTER		
—	COR = CORNER		
—	DALY = DALLIAGE		
—	DF = DECK FINISHED FLOOR		
—	DY = DOUBLE YELLOW LINE		
—	EDA = EDGE OF ASPHALT		
—	EOC = EDGE OF CONCRETE		
—	EOP = EDGE OF PAVERS		
—	FF = FINISHED FLOOR		
—	FL = FLOW LINE		
—	GB = GRADE BREAK		
—	GRG = GARAGE		
—	INT = INTERSECTION		
—	LIP = LIP OF GUTTER		
—	NG = NATURAL GROUND		
—	PC = POINT OF CURVATURE		
—	PI = POINT OF INTERSECTION		
—	PT = POINT OF TANGENCY		
—	TBC = TOP BACK OF CURB		
—	TOS = TOE OF SLOPE		
—	TOP = TOP OF SLOPE		
—	TP = TOP OF PAVEMENT		
—	TW = TOP OF WALL		
—	TWELL = TREE WELL		
—	TWB = TOP BACK OF WALK		
—	WM = WATERMAIN		
—	X-WALK = CROSSWALK		

APPELLATION HOTEL

**GALENA**  
ENGINEERING, INC.  
Civil Engineers & Land Surveyors  
317 N. River Street  
Halley, Idaho 83333  
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**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

THE APPELLATION HOTEL  
SUN VALLEY IDAHO

300 E RIVER ST  
KETCHUM, ID 83340

REVIEW SET 08/30/22

DESIGN REVIEW - FINAL	02.07.2023
Design Review	08.30.22
Project Number	6560.04

Homberger + Worstell  
175 Hobson Lane, San Francisco, CA 94108  
Telephone: 415.361.1080  
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COVER SHEET

C0.1

**NOT FOR CONSTRUCTION**

APPELLATION HOTEL

GALENA ENGINEERING, INC. Civil Engineers & Land Surveyors 317 N. River Street Halley, Idaho 83333 (208) 788-1705 email: galema@galena-engineering.com

PRELIMINARY NOT FOR CONSTRUCTION

THE APPELLATION HOTEL SUN VALLEY IDAHO 300 E RIVER ST KETCHUM, ID 83340

REVIEW SET 08/30/22

DESIGN REVIEW - FINAL 02.07.2023

Design Review 08.30.22

Project Number 6560.04

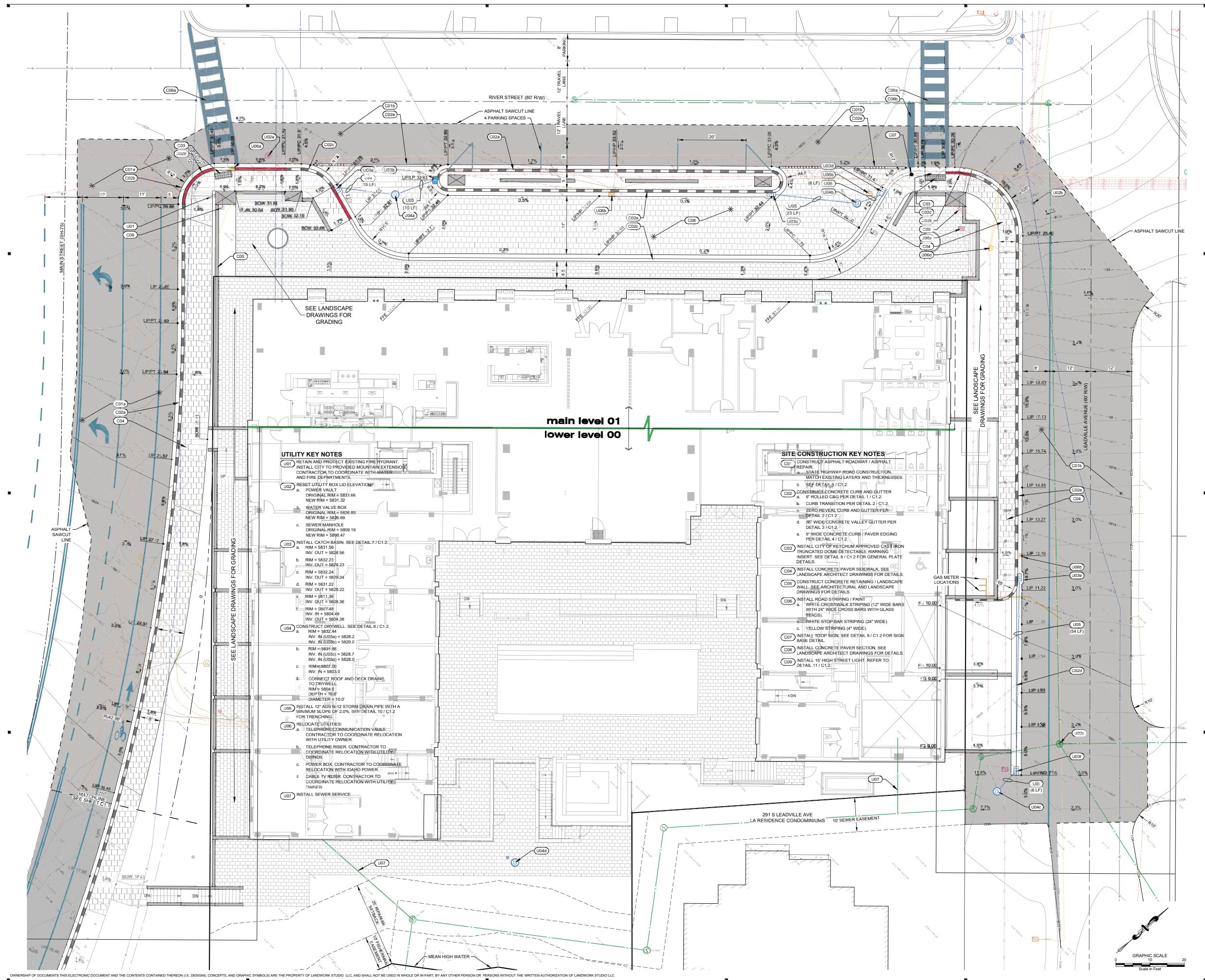
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Homberger + Worstell 175 Madison Lane, San Francisco, CA 94108 Telephone: 415.261.1080 Facsimile: 415.653.9122 www.hombergerworstell.com

SITE GRADING AND DRAINAGE

C1.0

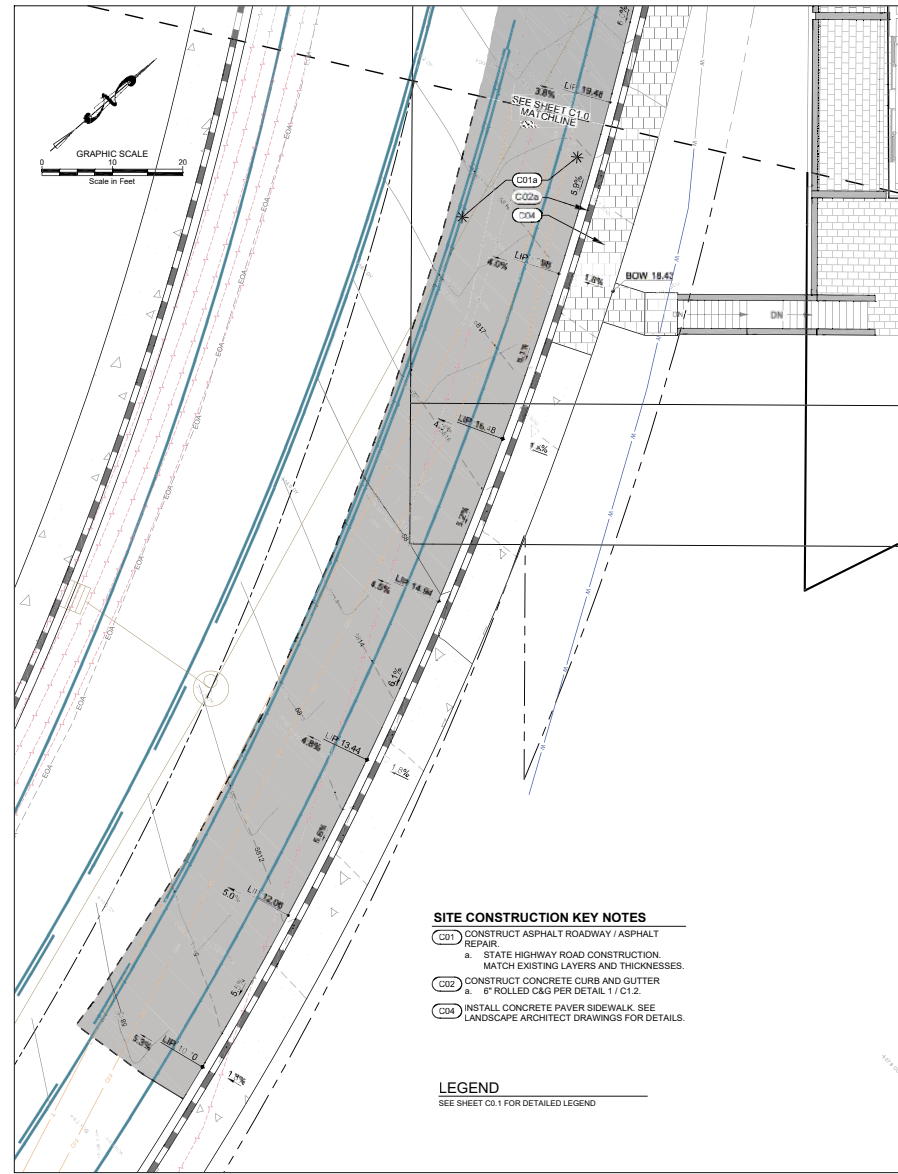
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- UTILITY KEY NOTES**
- U01 RETAIN AND PROTECT EXISTING FIRE HYDRANT. INSTALL CITY TO PROVIDED MOUNTAIN EXTENSION CONTRACTOR TO COORDINATE WITH WATER AND FIRE DEPARTMENTS.
  - U02 RESET UTILITY BOX LID ELEVATION:
    - a. POWER VAULT ORIGINAL RIM = 5831.66 NEW RIM = 5831.32
    - b. WATER VALVE BOX ORIGINAL RIM = 5826.89 NEW RIM = 5826.69
    - c. SEWER MANHOLE ORIGINAL RIM = 5809.19 NEW RIM = 5808.47
  - U03 INSTALL CATCH BASIN. SEE DETAIL 7 / C1.2.
    - a. RIM = 5831.56 INV. OUT = 5828.56
    - b. RIM = 5832.23 INV. OUT = 5829.23
    - c. RIM = 5832.24 INV. OUT = 5829.24
    - d. RIM = 5831.22 INV. OUT = 5828.22
    - e. RIM = 5811.36 INV. OUT = 5808.36
    - f. RIM = 5807.48 INV. IN = 5804.48 INV. OUT = 5804.38
  - U04 CONSTRUCT DRYWELL. SEE DETAIL 6 / C1.2.
    - a. RIM = 5832.34 INV. IN (U03a) = 5828.2 INV. IN (U03b) = 5829.0
    - b. RIM = 5831.88 INV. IN (U03c) = 5828.7 INV. IN (U03d) = 5828.0
    - c. RIM = 5807.00 INV. IN = 5803.0
  - U05 CONNECT ROOF AND DECK DRAINS TO DRYWELL. RIM = 5804.81 DEPTH = 16.6' DIAMETER = 10.0'
  - U06 INSTALL 12" ADD N-12 STORM DRAIN PIPE WITH A MINIMUM SLOPE OF 2.0%. SEE DETAIL 10 / C1.2 FOR TRENCHING.
  - U07 RELOCATE UTILITIES:
    - a. TELEPHONE/COMMUNICATION VAULT CONTRACTOR TO COORDINATE RELOCATION WITH UTILITY OWNER.
    - b. TELEPHONE RISER CONTRACTOR TO COORDINATE RELOCATION WITH UTILITY OWNER.
    - c. POWER BOX CONTRACTOR TO COORDINATE RELOCATION WITH DAND POWER.
    - d. CABLE TV RISER CONTRACTOR TO COORDINATE RELOCATION WITH UTILITY OWNER.
  - U07 INSTALL SEWER SERVICE

- SITE CONSTRUCTION KEY NOTES**
- C01 CONSTRUCT ASPHALT ROADWAY / ASPHALT REPAIR. STATE HIGHWAY ROAD CONSTRUCTION. MATCH EXISTING LAYERS AND THICKNESSES.
    - a. SEE DETAIL 1 / C1.2
    - b. CURB TRANSITION PER DETAIL 2 / C1.2
    - c. ZERO REVEAL CURB AND GUTTER PER DETAIL 2 / C1.2
    - d. 8" WIDE CONCRETE VALLEY GUTTER PER DETAIL 3 / C1.2
    - e. 9" WIDE CONCRETE CURB / PAVER EDGING PER DETAIL 4 / C1.2
  - C02 CONSTRUCT CONCRETE CURB AND GUTTER.
    - a. 8" ROLLED C&G PER DETAIL 1 / C1.2
    - b. CURB TRANSITION PER DETAIL 2 / C1.2
    - c. ZERO REVEAL CURB AND GUTTER PER DETAIL 2 / C1.2
    - d. 8" WIDE CONCRETE VALLEY GUTTER PER DETAIL 3 / C1.2
    - e. 9" WIDE CONCRETE CURB / PAVER EDGING PER DETAIL 4 / C1.2
  - C03 INSTALL CITY OF KETCHUM APPROVED CAST IRON TRUNCATED DOME DETECTABLE WARNING. INSERT SEE DETAIL 8 / C1.2 FOR GENERAL PLATE DETAILS.
  - C04 INSTALL CONCRETE PAVER SIDEWALK. SEE LANDSCAPE ARCHITECT DRAWINGS FOR DETAILS.
  - C05 CONSTRUCT CONCRETE RETAINING / LANDSCAPE WALL. SEE ARCHITECTURAL AND LANDSCAPE DRAWINGS FOR DETAILS.
  - C06 INSTALL ROAD STRIPING / PAINT.
    - a. WHITE CROSSWALK STRIPING (12" WIDE BARS WITH 24" WIDE CROSS BARS WITH GLASS BEADS)
    - b. WHITE STOP BAR STRIPING (24" WIDE)
    - c. YELLOW STRIPING (4" WIDE)
  - C07 INSTALL STOP SIGN. SEE DETAIL 9 / C1.2 FOR SIGN BASE DETAIL.
  - C08 INSTALL CONCRETE PAVER SECTION. SEE LANDSCAPE ARCHITECT DRAWINGS FOR DETAILS.
  - C09 INSTALL 15" HIGH STREET LIGHT. REFER TO DETAIL 11 / C1.2

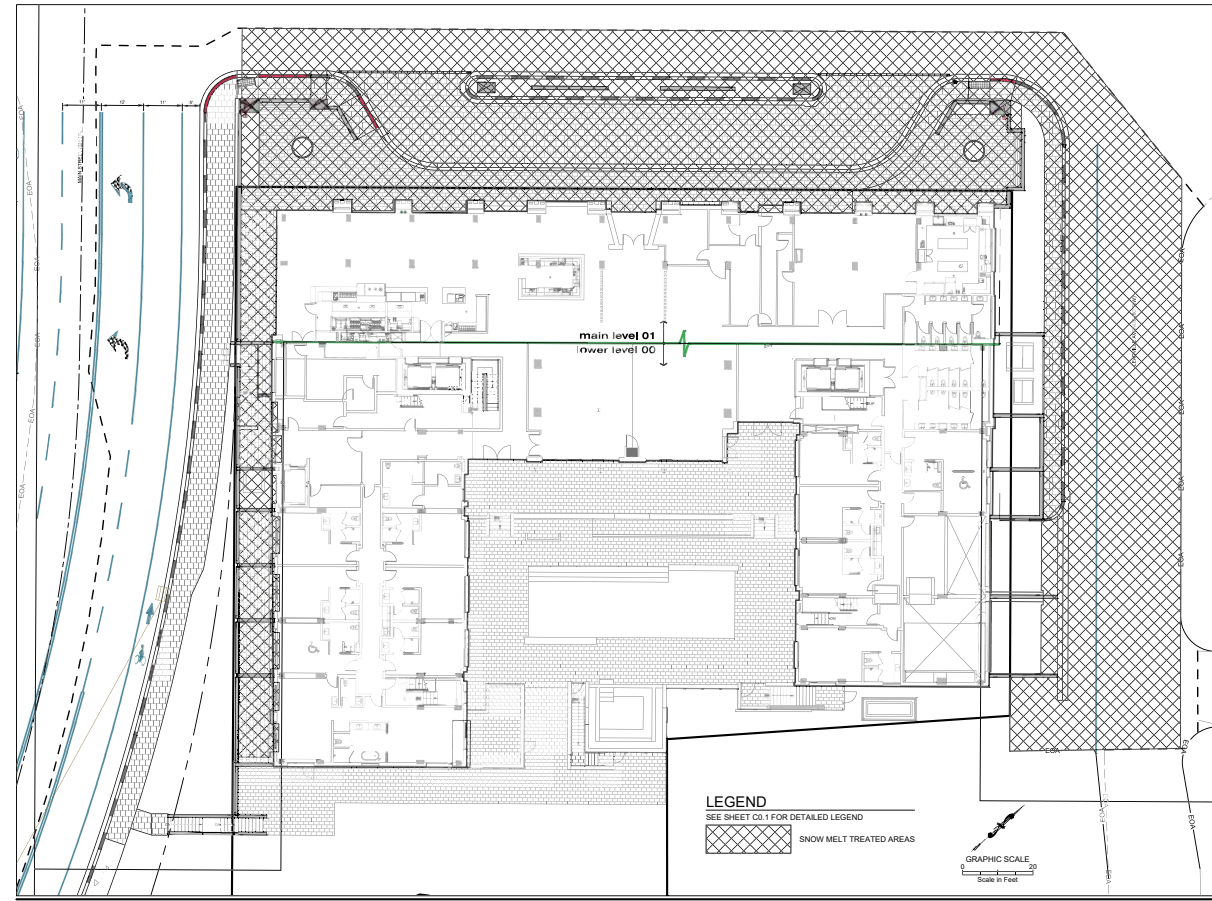
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- SITE CONSTRUCTION KEY NOTES**
- C01 CONSTRUCT ASPHALT ROADWAY / ASPHALT REPAIR.
    - a. STATE HIGHWAY ROAD CONSTRUCTION. MATCH EXISTING LAYERS AND THICKNESSES.
  - C02 CONSTRUCT CONCRETE CURB AND GUTTER. 6" ROLLED GAG PER DETAIL 1/ C1.2.
  - C04 INSTALL CONCRETE PAVER SIDEWALK. SEE LANDSCAPE ARCHITECT DRAWINGS FOR DETAILS.

**LEGEND**  
SEE SHEET C0.1 FOR DETAILED LEGEND

STATE HIGHWAY 75 GRADING AT SOUTHWEST CORNER



**LEGEND**  
SEE SHEET C0.1 FOR DETAILED LEGEND  
SNOW MELT TREATED AREAS

SNOW MELT AREAS

APPELLATION HOTEL

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THE APPELLATION HOTEL  
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Project Number 6560.04

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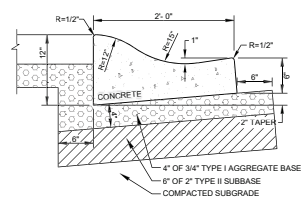
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175 Shattuck Lane, San Francisco, CA 94108  
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GRADING AND SNOW MELT AREA SHEET

C1.1

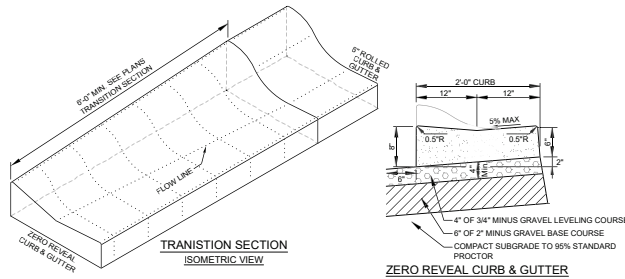
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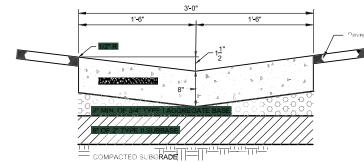
- NOTES:**
- SUBBASE CAN BE 2" TYPE II OR 3" TYPE I CRUSHED AGGREGATE BASE COURSE.
  - MATERIALS SHALL CONFORM WITH CURRENT ISWPC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
  - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
  - 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADIUS.
  - CONTINUOUS PLACEMENT PREFERRED. SCORE INTERVALS 10-FOOT MAXIMUM SPACING (6-FOOT WISDEWALK).

**1**  
C1.2 **6' CONCRETE ROLLED CURB & GUTTER**  
N.T.S.



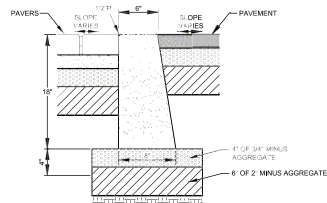
- NOTES:**
- 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADIUS.
  - CONTINUOUS PLACEMENT PREFERRED. SCORE INTERVALS TO MATCH SIDEWALK WITH 10-FOOT MAXIMUM SPACING.
  - MATERIALS SHALL CONFORM WITH CURRENT ISWPC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.

**2**  
C1.2 **TYPICAL ROLLED CURB TRANSITION DETAIL**  
N.T.S.



- NOTES:**
- SUBBASE CAN BE 2" TYPE II OR 3" TYPE I CRUSHED AGGREGATE BASE COURSE.
  - MATERIALS SHALL CONFORM WITH CURRENT ISWPC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
  - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
  - 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADIUS.
  - CONTINUOUS PLACEMENT PREFERRED. SCORE INTERVALS 10-FOOT MAXIMUM SPACING.

**3**  
C1.2 **36" CONCRETE VALLEY CUTTER**  
N.T.S.

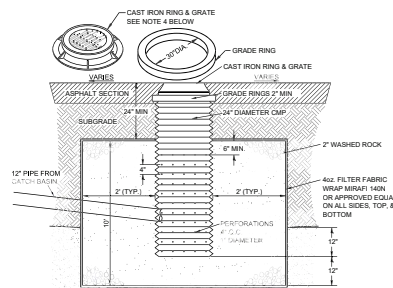


**4**  
C1.2 **CONCRETE CURB / PAVER EDGING**  
N.T.S.



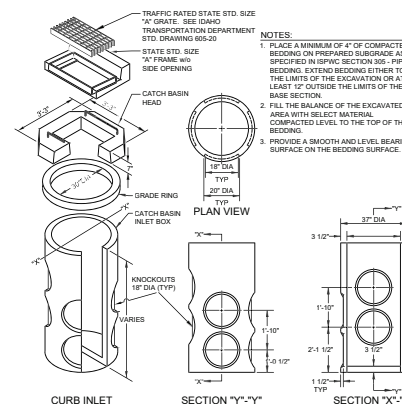
- NOTES:**
- SUBBASE CAN BE 2" TYPE II OR 3" TYPE I CRUSHED AGGREGATE BASE COURSE.
  - MATERIALS SHALL CONFORM WITH CURRENT ISWPC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
  - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.

**5**  
C1.2 **TYPICAL ASPHALT SECTION**  
N.T.S.

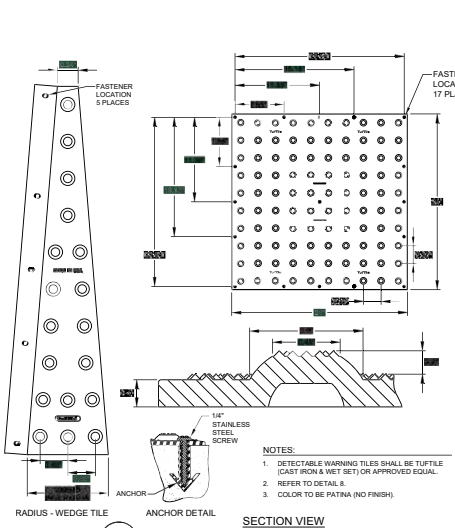


- NOTE:**
- THE BED SHALL BE EXCAVATED A MINIMUM OF 24" INTO CLEAN SAND AND GRAVEL.
  - MAXIMUM DEPTH SHALL NOT EXCEED 12 FEET.
  - IF CLEAN SAND AND GRAVEL IS NOT AVAILABLE WITHIN 12 FEET, CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER.
  - GRATE OR SCREEN IS AS NOTED PER CITY OF KETCHUM.

**6**  
C1.2 **DRYWELL DETAIL**  
N.T.S.

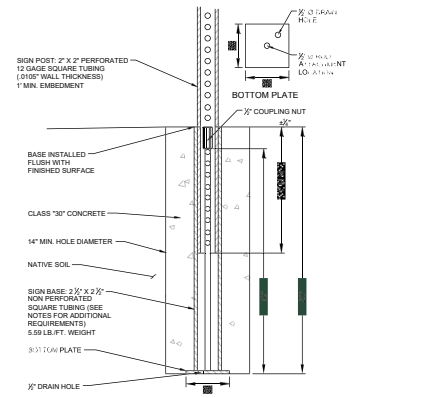


**7**  
C1.2 **36" DIAMETER CATCH BASIN**  
N.T.S.



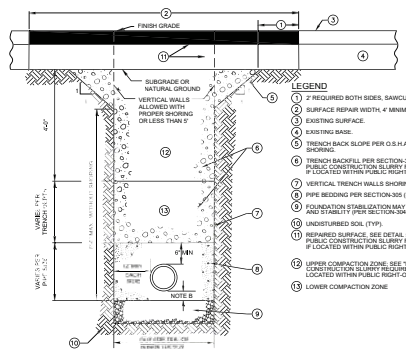
- NOTES:**
- DETECTABLE WARNING TILES SHALL BE TUFFTEC (CAST IRON & WET SET) OR APPROVED EQUAL.
  - REFER TO DETAIL 8.
  - COLOR TO BE PINK (NO FINISH).

**8**  
C1.2 **DETECTABLE WARNING PLATE DETAIL**  
N.T.S.



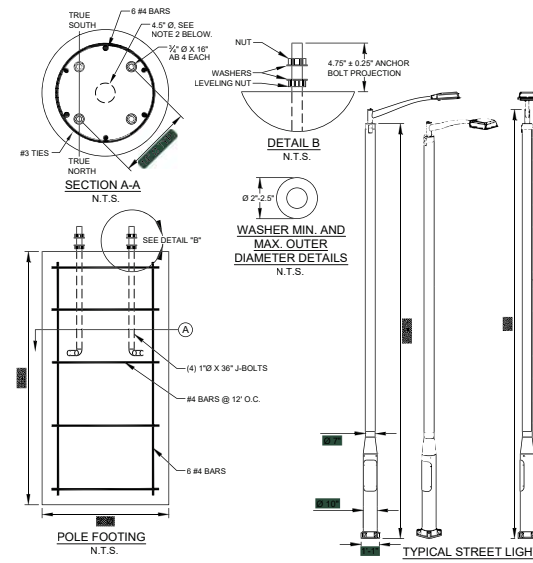
- NOTES:**
- BASES SHALL BE INSTALLED TO BE FLUSH WITH SURFACE.
  - ALL INSTALLATIONS SHALL HAVE 14" MINIMUM FOUNDATION OR GROUDED INTO SOLID ROCK.
  - ALL STREET SIGNS SHALL BE IN ACCORDANCE WITH THE MOST CURRENT EDITION OF THE MUTCD.
  - SIGN PLACEMENT SHALL BE APPROVED BY THE CITY OF KETCHUM.
  - CITY TO PROVIDE BASES.

**9**  
C1.2 **SIGN BASE DETAIL**  
N.T.S.



- LEGEND:**
- 2" REQUIRED BOTH SIDES. SAWCUT REQUIRED.
  - SURFACE REPAIR WITH 4" FINISH. SEE NOTE 5.
  - EXISTING SURFACE.
  - EXISTING ROAD.
  - TRENCH SHOULDER PER SECTION 508, OR SUITABLE SHOULDER.
  - TRENCH BACKFILL PER SECTION 508, OR SEE "KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT" BELOW IF LOCATED WITHIN PUBLIC RIGHT-OF-WAY.
  - VERTICAL TRENCH WALLS SHORING PER O.S.H.A.
  - PIPE BEDDING PER SECTION 508 (SEE 50-300).
  - FOUNDATION SHALL BE SUITABLE VARY PER SOIL TYPE AND STABILITY PER SECTION 508.
  - UNDISTURBED SOIL (TYP).
  - REPAIRED SURFACE. SEE DETAIL 5. SEE "KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT" BELOW IF LOCATED WITHIN PUBLIC RIGHT-OF-WAY.
  - LOWER COMPACTION ZONE.
- NOTES:**
- TRENCH EXCAVATION PER SECTION 501.
  - PIPE BEDDING PER SECTION 508.
  - BACKFILL AND COMPACTION PER SECTION 508.
  - SURFACE REPAIR AND BASE PER DETAIL 3.
  - ASPHALT PAVEMENT FOR SURFACE REPAIR SHALL BE IN ACCORDANCE WITH PLANS AND SPEC SECTION 803. BDL AND BEL FOR CLASS B PAVEMENT. ASPHALT AGGREGATE SHALL BE 1" (MINIMUM) MAXIMUM SIZE CONFORMING TO TABLE A-1.3 ISWPC SECTION 803.
  - IF TRENCH IMPACTS CROWN OF ROADWAY, CROWN MUST BE MAINTAINED AND POSITIVE DRAINAGE PROVIDED.

**10**  
C1.2 **TYPICAL TRENCH SECTION**  
N.T.S.



- NOTES:**
- STREET LIGHT IS SOLARONE RFS DESIGN 150 LFP OR APPROVED EQUAL.
  - ANY CONDUITS AND/OR GROUNDING WIRES MUST BE HARDWARED AND CONTAINED WITHIN A 4.5" Ø CIRCLE CENTERED ON THE FOUNDATION. GROUNDING ELECTRODE WIRE AND AC SUPPLY WIRE (IF REQUIRED) ARE 5" MIN. ABOVE THE BASE OF GRID-TIED POLES.
  - ANCHOR BOLT ORIENTATION TO TRUE NORTHSOUTH IS ONLY RELEVANT FOR OFF-GRID SOLAR POLES. DISREGARD FOR GRID-TIED POLES.
  - GROUNDING WIRE MUST BE 60" FROM BASE SO IT CAN REACH THE GROUNDING LUG INSIDE THE POLE.
  - STREET LIGHT SHALL BE 25" IN HEIGHT OR AS APPROVED BY CITY OF KETCHUM.

**11**  
C1.2 **TYPICAL STREET LIGHT**  
N.T.S.

APPELLATION HOTEL

**GALENA**  
ENGINEERING, INC.  
Civil Engineers & Land Surveyors  
317 N. River Street  
Halley, Idaho 83333  
(208) 788-1705  
email galema@galena-engineering.com

**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

THE APPELLATION HOTEL  
SUN VALLEY IDAHO

300 E RIVER ST  
KETCHUM, ID 83340

REVIEW SET 08/30/22

DESIGN REVIEW - FINAL	02.07.2023
Design Review	08.30.22
Project Number	6560.04
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Homberger + Worstell	1750 Main Street, Suite 100, Ketchum, ID 83334 Telephone: 435.261.1385 Facsimile: 435.658.9122 www.hombergerworstell.com

DETAIL SHEET

C1.2

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DESIGN REVIEW: FINAL 02/07/2023

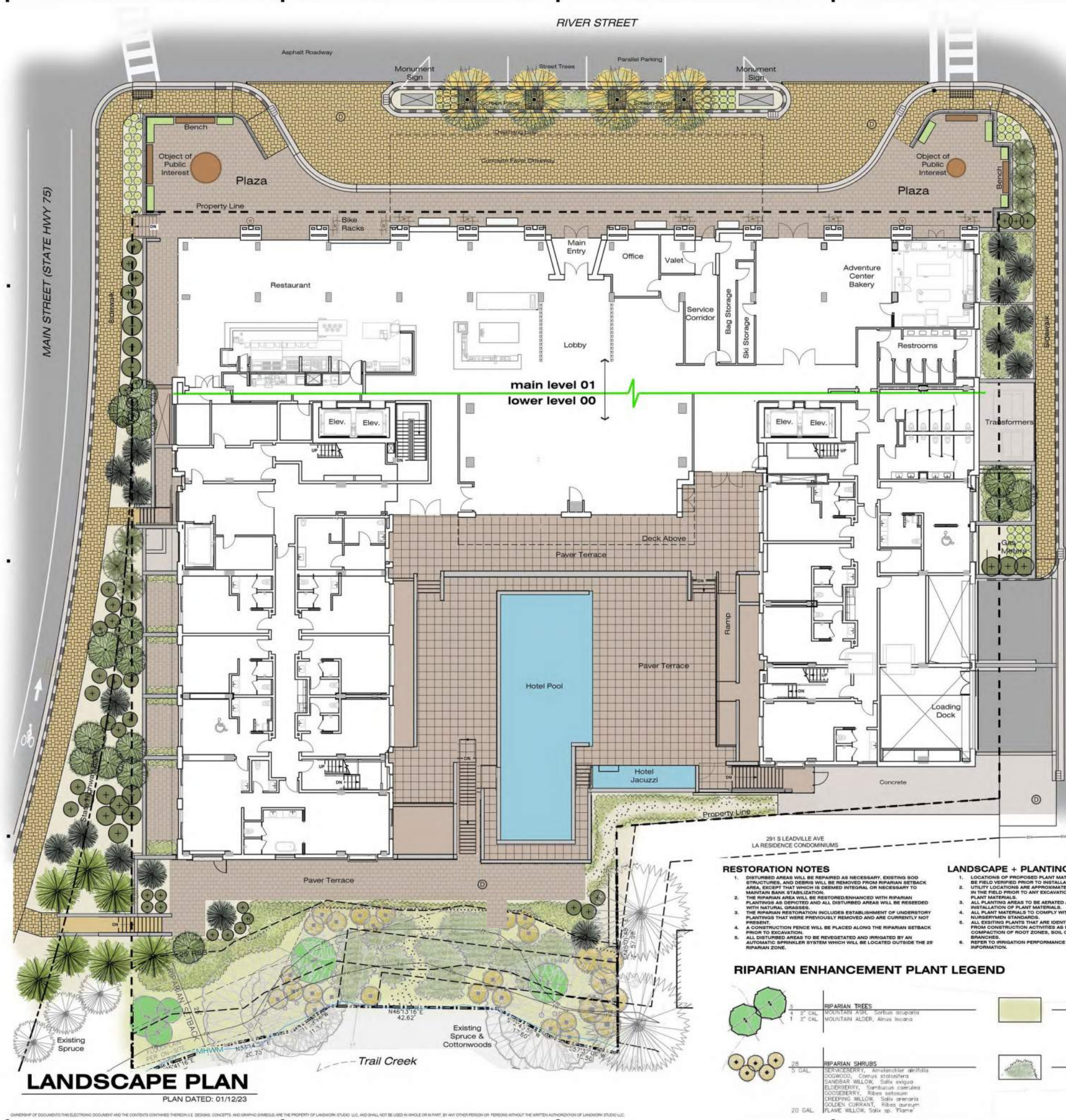
Project Number: \_\_\_\_\_ Scale: \_\_\_\_\_

Hornberger + Worstell  
100 Mountain Lane, Sun Valley, Idaho, USA 83459  
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Fax: 473.281.5322  
www.hornbergerworstell.com

LANDSCAPE PLAN

L3.0

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### PLANT LEGEND

	29	EVERGREEN TREES
6 @ 10'	MUGO TANNENBAUM PINE, <i>Pinus mugo</i> Tannenbaum	
16 @ 18-20'	SUBALPINE FIR, <i>Abies lasiocarpa</i>	
7 @ 22'	PONDEROSA PINE, <i>Pinus ponderosa</i>	
	4	DECIDUOUS TREES
4 @ 4'	ARMSTRONG MAPLE, <i>Acer Freemanii</i>	
	15	DECIDUOUS TREES
16 @ 3'	QUAKING ASPEN, <i>Populus tremuloides</i>	
	55	SHRUBS
55 - 20 gal.	PAWNEE BUTTES CHERRY, <i>Prunus besseyi</i> Pawnee Buttes SNOWBERRY, <i>Symphoricarpos alba</i> TOR BIRCHLEAF SPIREA, <i>Spiraea betulifolia</i> Tor WESTERN SAND CHERRY, <i>Prunus besseyi</i> YELLOW FLOWERING CURRANT, <i>Ribes aureum</i>	
	67	ORNAMENTAL GRASSES
1 gal.	AUTUMN MOORGRASS, <i>Sceleria autumnalis</i> BLUE GRAMA, <i>Bouteloua gracilis</i> LITTLE BLUESTEM, <i>Scritchelyrium scoparium</i> NORTHWIND SWITCHGRASS, <i>Panicum virgatum</i> PRAIRIE DROPSEED, <i>Sporobolus heterolepis</i> PRAIRIE JUNEGRASS, <i>Koeleria macrantha</i>	
	1 gal @ 18" o.c.	PLANTING BEDS/PLANTERS
		PERENNIALS + GROUNDCOVERS NATIVE/NATURALIZED SPECIES - To Be Determined
		Fescue Grass Mix SCOTTISH LINKS (Or Similar)
		Planter Containers Mix of Annuals, Perennials, and Grasses To Be Determined

### R.O.W LEGEND

	4	STREET TREE GRATE, ELECTRICAL BOLLARD, AND IRRIGATION
		STREET TREE GRATE Per City Standard - Tree Well Detail 1: NEEDHAM R-875A, 30"x30", with 12" diameter opening (Or Approved Equal)
	4	ELECTRICAL BOLLARDS Provided by City - Applicant to provide outlet and outlet cover, connect and provide conduits, wiring and tie to city lighting meter.
	4	DRIP IRRIGATION Separate zone with Hunter/Rainwise Smart Clock (Or Approved Equal)
	24"	DEEPROOT - SILVA CELL STRUCTURAL SUBGRADE UNITS
		SILVA CELLS Per City Standard - Tree Well Detail 2: 22 Units: 24" x 48" x 20" 15 Units Per Street Tree *NOTE: Final Specs and Layout per manufacturer design engineer specifications.
	2	STREET LIGHT Per City Standard - Street Light 14: SOLARONE RFG DESIGN 158 LFP (Or Approved Equal)
	2	SCREEN PANELS WOOD AND STEEL SLATS To Match Architectural Elements

### LEGEND

	MASONRY SITE WALL Match Vendor Pattern of Architectural Stone
	MASONRY SITE COLUMN Match Vendor Pattern of Architectural Stone
	TERRACE PAVERS
	PLAZA AND TERRACE PAVERS
	DRIVEWAY AND SIDEWALK PAVERS

### RESTORATION NOTES

1. DISTURBED AREAS WILL BE REPAIRED AS NECESSARY. EXISTING SOIL STRUCTURES, AND DEBRIS WILL BE REMOVED FROM RIPARIAN SETBACK AREA EXCEPT THAT WHICH IS DEEMED INTEGRAL OR NECESSARY TO MAINTAIN BANK STABILIZATION.
2. THE RIPARIAN AREA WILL BE RESTORED/ENHANCED WITH RIPARIAN PLANTINGS AS DEPICTED AND ALL DISTURBED AREAS WILL BE RESEED WITH NATURAL GRASSES.
3. THE RIPARIAN RESTORATION INCLUDES ESTABLISHMENT OF UNDERSTORY PLANTINGS THAT WERE PREVIOUSLY REMOVED AND ARE CURRENTLY NOT PRESENT.
4. A CONSTRUCTION FENCE WILL BE PLACED ALONG THE RIPARIAN SETBACK PRIOR TO EXCAVATION.
5. ALL DISTURBED AREAS TO BE REVEGETATED AND IRRIGATED BY AN AUTOMATIC SPRINKLER SYSTEM WHICH WILL BE LOCATED OUTSIDE THE 25' RIPARIAN ZONE.

### LANDSCAPE + PLANTING NOTES

1. LOCATIONS OF PROPOSED PLANT MATERIALS ARE APPROXIMATE AND MUST BE FIELD VERIFIED PRIOR TO INSTALLATION.
2. UTILITY LOCATIONS ARE APPROXIMATE AND MUST BE LOCATED AND VERIFIED IN THE FIELD PRIOR TO ANY EXCAVATION WORK INCLUDING INSTALLATION OF PLANT MATERIALS.
3. ALL PLANTING AREAS TO BE AERATED AFTER CONSTRUCTION AND PRIOR TO INSTALLATION OF PLANT MATERIALS.
4. ALL PLANT MATERIALS TO COMPLY WITH THE AMERICAN ASSOCIATION OF NURSERMEN STANDARDS.
5. ALL EXISTING PLANTS THAT ARE IDENTIFIED TO REMAIN SHALL BE PROTECTED FROM CONSTRUCTION ACTIVITIES AS NECESSARY TO PROTECT AGAINST COMPACTION OF ROOT ZONES, SOIL CONTAMINANTS, AND INJURY TO BRANCHES.
6. REFER TO IRRIGATION PERFORMANCE SPECIFICATIONS FOR ADDITIONAL INFORMATION.

### RIPARIAN ENHANCEMENT PLANT LEGEND

	2	RIPARIAN TREES
1 2" CAL	MOUNTAIN ASH, <i>Sorbus scoparia</i>	
1 2" CAL	MOUNTAIN ALDER, <i>Alnus incana</i>	
	25	RIPARIAN SHRUBS
5 GAL	SERVICEBERRY, <i>Amelanchier alnifolia</i> DOGWOOD, <i>Comus stolonifera</i> SANDBAR WILLOW, <i>Salix exigua</i> ELDERBERRY, <i>Sambucus cœrulescens</i> DOGSBERRY, <i>Ribes sibiricum</i> CREEPING WILLOW, <i>Salix arifolia</i> GOLDEN CURRANT, <i>Ribes aureum</i> PLANE WILLOW, <i>Salix sp. Plana</i>	
		RIPARIAN GRASS MIX
	STREAMBANK WHEATGRASS, <i>Agropyron riparium</i> CANADIAN BLUEGRASS, <i>Poa compressa</i> IDAHO FESCUE, <i>Festuca idahoensis</i>	
		GROUNDCOVER/ LOW SHRUBS @ 8" O.C.
	OREGON GRAPE HULLY, <i>Mahonia repens</i> MOUNTAIN LONER, <i>Pachistima myrsinites</i> WINTERGREEN, <i>Gaultheria procumbens</i>	

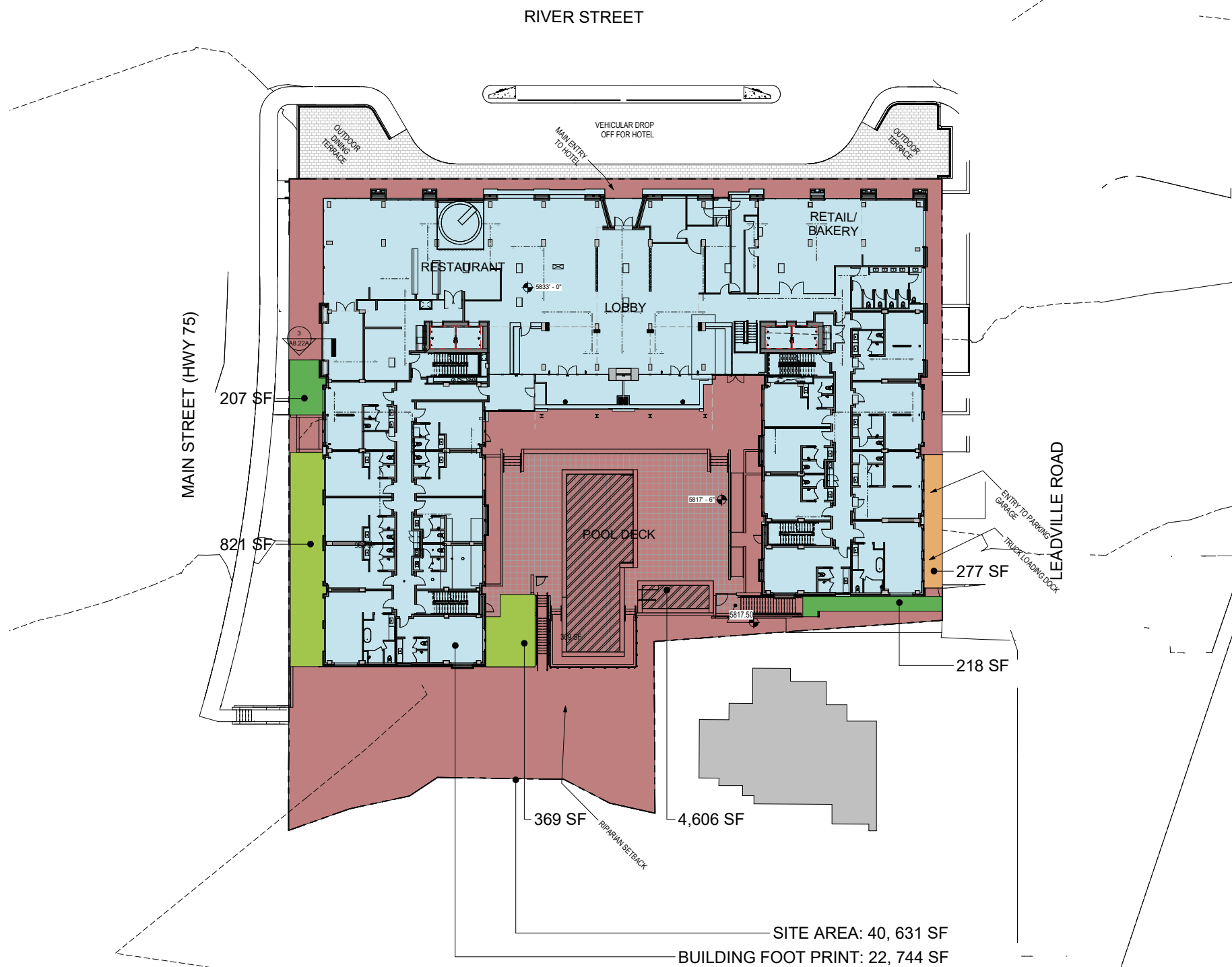
**LANDSCAPE PLAN**  
PLAN DATED: 01/12/23

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# Site Open Area Calculations



APPELLATION/SUN VALLEY OPEN AREA CALCULATIONS			
COLOR CODE	AREA	AREA in SF	PERCENTAGE OF SITE AREA
[Red]	TOTAL PROPERTY SITE	40,631 SF	100%
[Blue]	BUILDING FOOTPRINT	22,744 SF	56%
[White]	GROSS OPEN AREA	17,877 SF	44%
[Orange]	DRIVEWAYS	277 SF	
[White]	SITE OPEN AREA	17,610 SF	43.3%
[Green]	PRIVATE DECKS & WALKWAYS	1,615 SF	4.0%
[White]	NET OPEN AREA: INCLUDING POOLS	15,995 SF	39.4%
[Hatched]	POOL AREAS	1,458 SF	
[White]	NET OPEN AREA: NOT INCLUDING POOLS	14,537 SF	35.8%

APPELLATION  
 SUN VALLEY

DESIGN REVIEW - FINAL 02.07.2023  
 Design Review 09.14.22

Project Number 14695

Scale  
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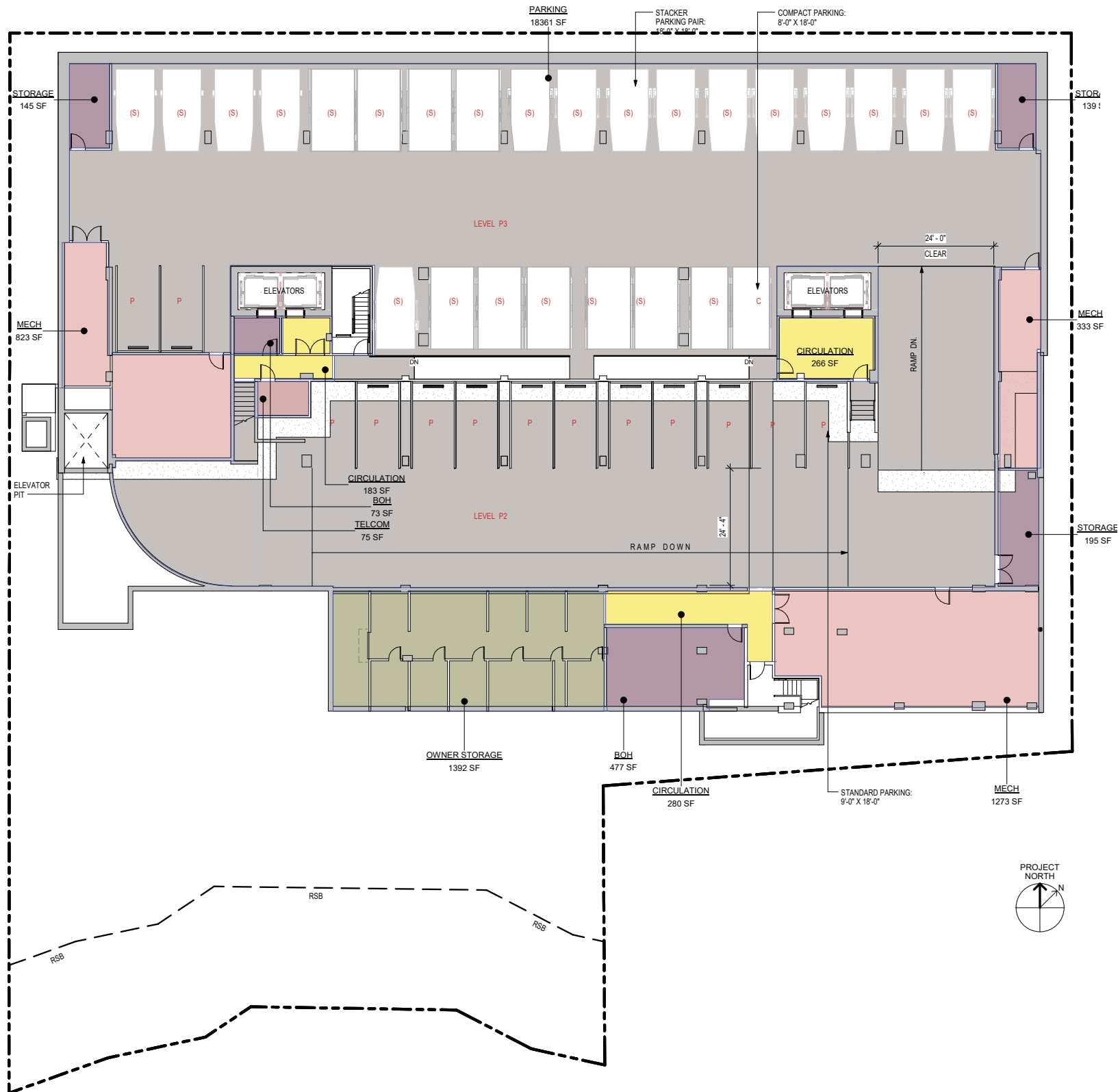
Architect: Hornberger + Worstell  
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# Level P2/P3 Plan

Hornberger + Worstell  
 Harriman Hotel, LLC  
 Hornberger + Worstell



Level P1 Plan

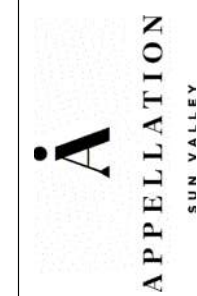
Color Code	Program Space Name	NSF	GSF	KEYS	OCCUPANCY
1	Parking	12,155		39 Spaces	S2
2	Mechanical, Electrical, Telecom	1,051			S2
3	Passenger Elevator				
4	Service Elevator				
5	Circulation	1,977			
6	Spa/Fitness	3,874			A3
7	Back of House	3,709			S1/S2
8	Loading Dock	1,252			S2
9	Storage	645			S2
<b>TOTAL AREA</b>		<b>24,663</b>	<b>25,934</b>		

LEVEL P3  
PARKING SCHEDULE

ACCESSIBLE	0
COMPACT	1
STANDARD	2
STACKERS (25 X 2)	50
VALET	0
<b>TOTAL PARKING</b>	<b>53</b>

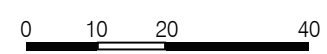
LEVEL P2  
PARKING SCHEDULE

ACCESSIBLE	0
COMPACT	0
STANDARD	11
STACKERS (0 X 2)	0
VALET	0
<b>TOTAL PARKING</b>	<b>11</b>



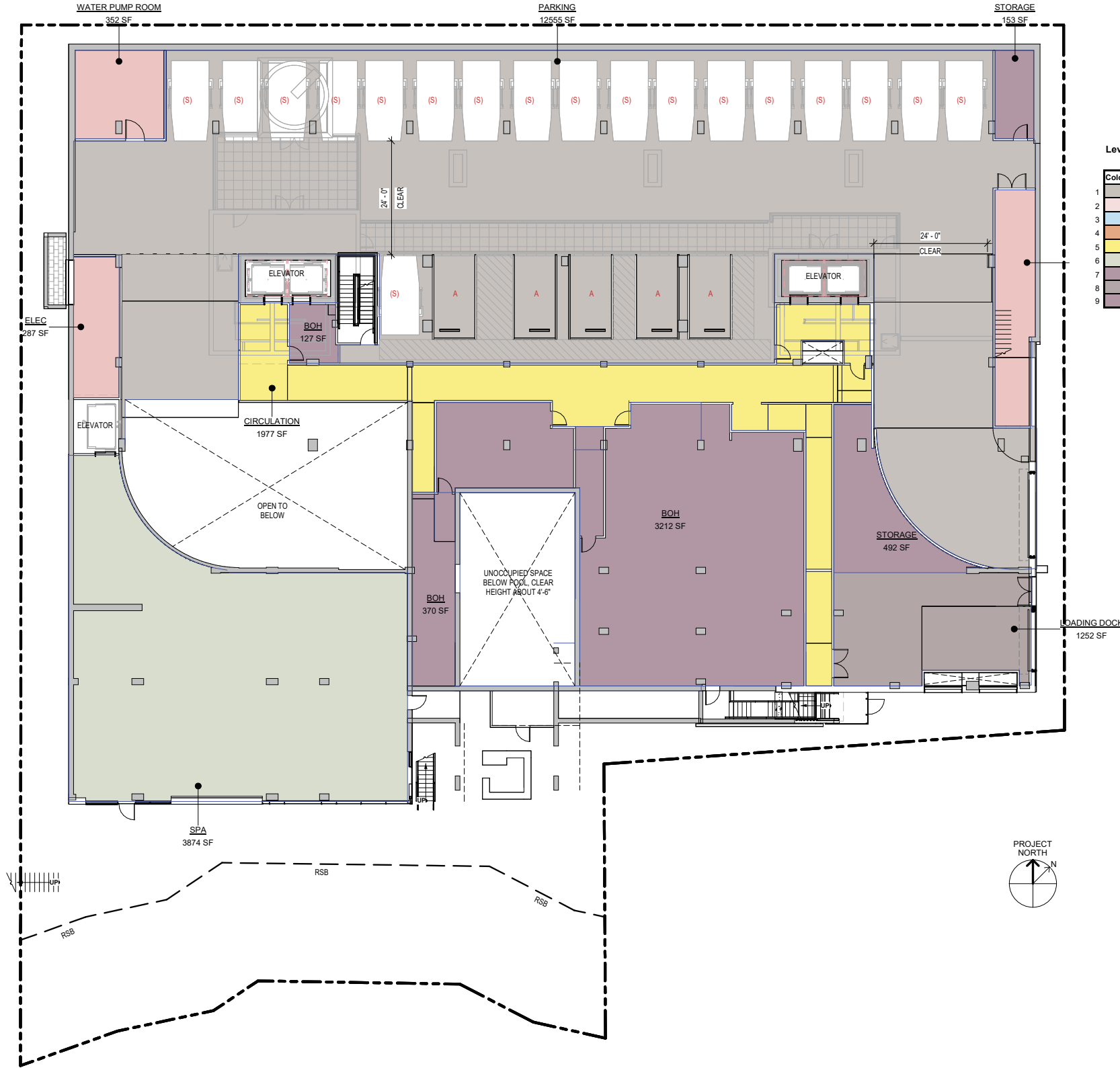
DESIGN REVIEW - FINAL 03.07.2023  
 Update 08.18.22  
 Design Review 09.14.22

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# Level P1 Plan



**Level P1 Plan**

Color Code	Program Space Name	NSF	GSF	KEYS	OCCUPANCY
1	Parking	12,555		39 Spaces	S2
2	Mechanical, Electrical, Telecom	1,051			S2
3	Passenger Elevator				
4	Service Elevator				
5	Circulation	1,936			
6	Spa/Fitness	3,874			A3
7	Back of House	3,698			S1/S2
8	Loading Dock	898			S2
9	Storage	281			S2
<b>TOTAL AREA</b>		<b>24,293</b>	<b>25,934</b>		

24293 SF

**LEVEL P1  
PARKING SCHEDULE**

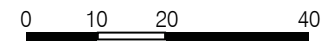
ACCESSIBLE	5
COMPACT	0
STANDARD	0
STACKERS (18 X 2)	36
VALET	0
<b>TOTAL PARKING</b>	<b>41</b>

**APPELLATION**  
SUN VALLEY

DESIGN REVIEW - FINAL 03.07.2023  
Update 08.18.22  
Design Review 09.14.22

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# Level 0 Plan



**Level 0 Plan**

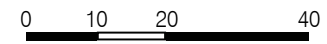
Color Code	Program Space Name	NSF	GSF	KEYS	OCCUPANCY
1	Meeting Room	3,715			A2
2	Mens + Womens Bathrooms	835			
3	Passenger Elevator				
4	Service Elevator				
5	Storage	274			S2
6	Circulation	2,377			
7	Prefunction	1,676			
8	Housekeeping	178			S2
9	Back of House	1,633			S2
10	Telecom	41			S2
11	Kitchen	3,075			B
<b>Color Code Guestroom Type</b>					
12	Guestroom	4,107		11	R1
13	Presidential Suite	1,057		1	R1
<b>TOTAL AREA + KEYS</b>		<b>18,968</b>	<b>21,528</b>	<b>12</b>	

APPELLATION  
SUN VALLEY

DESIGN REVIEW - FINAL 03.07.2023  
Update 08.18.22  
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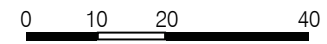
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# Level 1 Plan



Level 1 Plan

Color Code	Program Space Name	NSF	GSF	KEYS	OCCUPANCY
1	Restaurant (Bar+Seating)	2,668			A2
2	Kitchen	1,121			B
3	Kitchen/Bar/Bakery	656			B
4	Mens + Womens Bathrooms	387			
5	Circulation	2,163			
6	Back of House	552			B
7	Lobby/Living Room	2,704			
8	Bag & Skies Storage	290			S2
9	Adventure Center	1,000			B
10	Passenger Elevator				
11	Service Elevator				
12	Mechanical				
13	Telecom				S2
14	Exit Stairs				
Color Code		Guestroom Type			
15	Guestroom	7,832		18	R1
TOTAL AREA + KEYS		19,373	20,402	18	



DESIGN REVIEW - FINAL 02.07.2023  
Design Review 09.14.22

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# Level 2 Plan

Hornberger  
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Harriman  
Ketchum  
Hotel, LLC

Hornberger  
Worstell



**Level 2 Plan**

Color Code	Program Space Name	NSF	GSF	KEYS	OCCUPANCY
1	Circulation	2,626			
2	Housekeeping	148			S2
3	Passenger Elevator				
4	Service Elevator				
5	Electrical				S1
6	Exit Stairs				
	<b>TOTAL HOTEL SERVICES</b>	<b>2,774</b>			

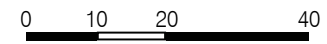
Color Code	Guestroom Type	NSF	KEYS	OCCUPANCY
7	Guestroom	16,509	37	R1
	<b>TOTAL AREA + KEYS</b>	<b>19,283</b>	<b>37</b>	

APPELLATION  
SUN VALLEY

DESIGN REVIEW - FINAL 02.07.2023  
Design Review 09.14.22

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# Level 3 Plan



**Level 3 Plan**

Color Code	Program Space Name	NSF	GSF	KEYS	OCCUPANCY
1	Circulation	1,793			
2	Housekeeping	152			S2
3	Passenger Elevator				
4	Service Elevator				
5	Mechanical				S2
6	Exit Stairs				
<b>TOTAL HHOTEL SERVICES</b>		<b>1,945</b>			

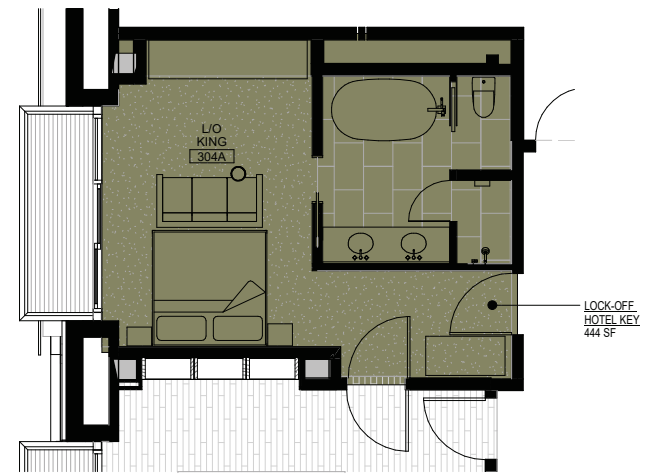
  

Color Code	Guestroom Type	NSF	KEYS	OCCUPANCY
7	Guestroom	2,643	6	R1
8	Lock-Off Hotel Keys	2,337	5	
<b>TOTAL HOTEL KEYS</b>			<b>11</b>	

Color Code	Condominium Type	NSF	KEYS	OCCUPANCY
9	2 Bedroom	8,028	5	R2
10	3 Bedroom	5,239	2	R2
<b>TOTAL AREA + KEYS</b>		<b>13,267</b>	<b>18,709</b>	<b>7</b>

NOTE:  
"LOCK-OFF" AREA INCLUDED IN THE AREA SHOWN FOR EACH RESIDENCE.



LEVEL 03 NET AREA  
1" = 10'-0"

LEVEL 3 LOCK-OFF UNIT LAYOUT  
1/4" = 1'-0"

APPELLATION  
SUN VALLEY

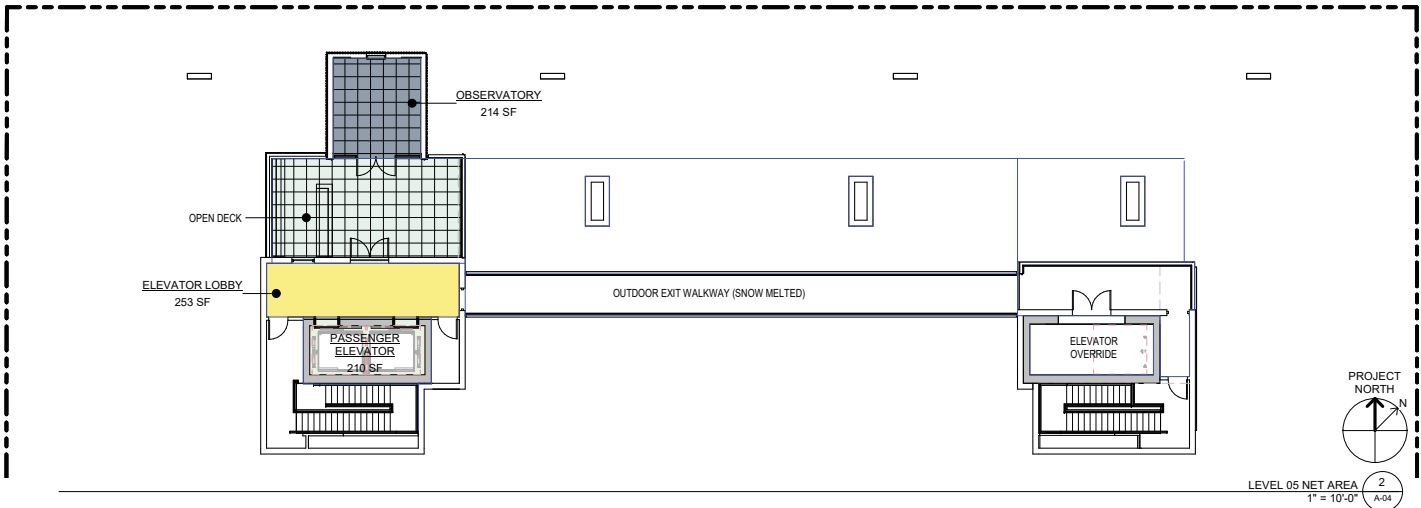
DESIGN REVIEW - FINAL 02.07.2023  
Design Review 09.14.22

Project Number 14695  
Scale  
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# Level 5 Plan



Level 5 Plan

Color Code	Program Space Name	NSF	GSF	KEYS	OCCUPANCY
1	Passenger Elevator				
2	Service Elevator				
3	Elevator Lobby/Circulation	253			
4	Observatory	214			A3
5	Open Deck				A3
6	Exit Stairs				
<b>TOTAL AREA + KEYS</b>		<b>467</b>	<b>560</b>	<b>0</b>	

Harriman Hotel, LLC

Harriman Ketchum Hotel, LLC

Hornberger

Worstell

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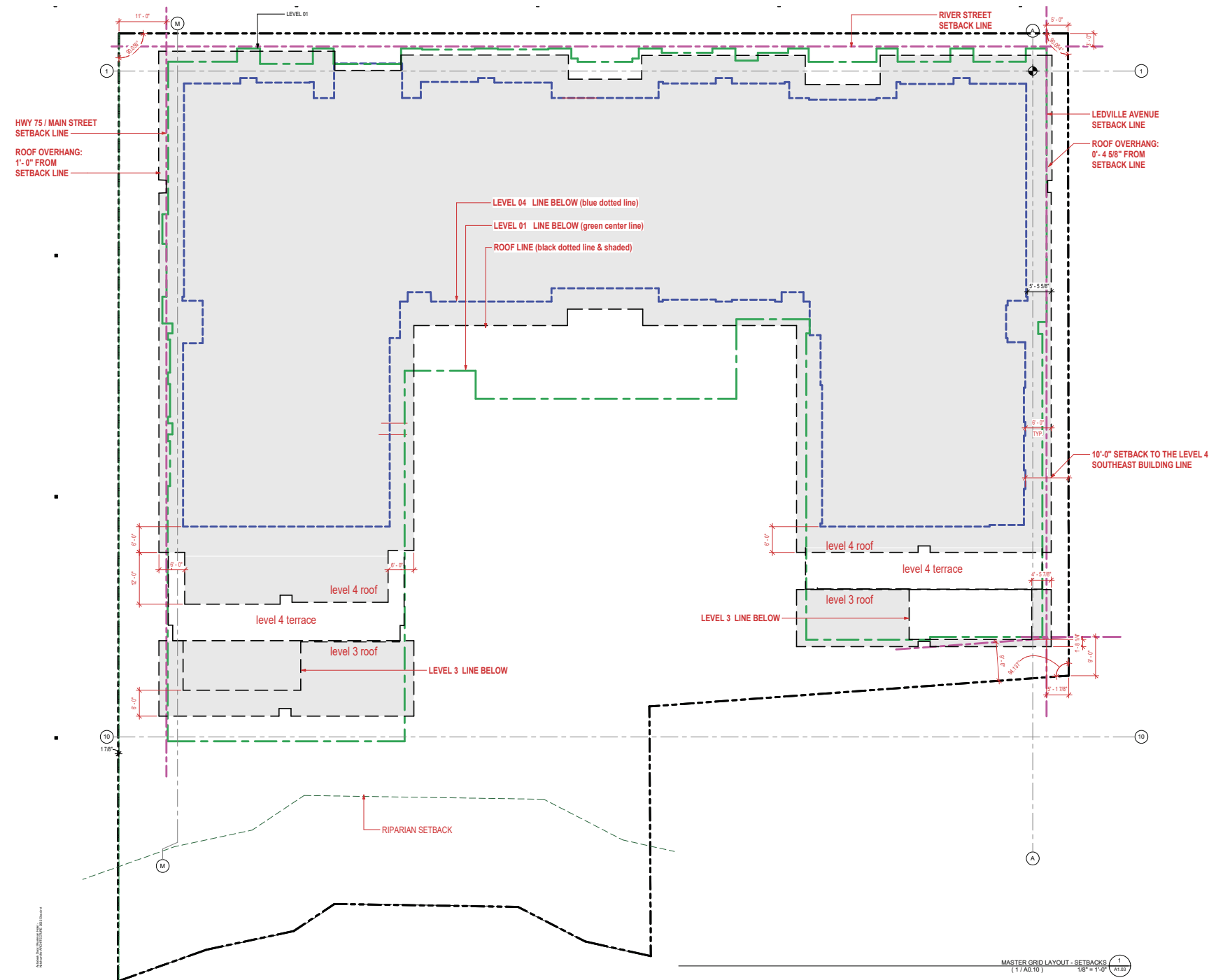
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# BUILDING / ROOF SETBACKS PLAN

Harriman  
Ketchum  
Hotel, LLC

Hornberger  
+  
Worstell

Harriman  
Hotel, LLC  
Hornberger  
+  
Worstell

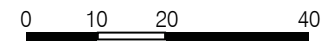


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# Summary Statistics

Level 0 Plan				
Color Code	Program Space Name	NSF	GSF	OCCUPANCY
1	Meeting Room	3,715		A2
2	Mens + Womens Bathrooms	835		
3	Passenger Elevator			
4	Service Elevator			
5	Storage	274		S2
6	Circulation	2,377		
7	Prefunction	1,678		
8	Housekeeping	178		S2
9	Back of House	1,633		S2
10	Telecom	41		S2
11	Kitchen	3,075		B
<b>Color Code Guestroom Type</b>				
12	Guestroom	4,107		R1
13	Residential Suite	1,057		R1
<b>TOTAL AREA + KEYS</b>		<b>18,968</b>	<b>21,528</b>	<b>12</b>

Level 1 Plan				
Color Code	Program Space Name	NSF	GSF	OCCUPANCY
1	Restaurant (Bar+Seating)	2,668		A2
2	Kitchen	1,121		B
3	Kitchen/Bar/Bakery	656		B
4	Mens + Womens Bathrooms	387		
5	Circulation	2,163		
6	Back of House	552		B
7	Lobby/Living Room	2,704		
8	Bag & Skies Storage	290		S2
9	Adventure Center	1,000		B
10	Passenger Elevator			
11	Service Elevator			
12	Mechanical			
13	Telecom			S2
14	Exit Stairs			
<b>Color Code Guestroom Type</b>				
15	Guestroom	7,832		R1
<b>TOTAL AREA + KEYS</b>		<b>19,373</b>	<b>20,402</b>	<b>18</b>

Level 2 Plan				
Color Code	Program Space Name	NSF	GSF	OCCUPANCY
1	Circulation	2,626		
2	Housekeeping	148		S2
3	Passenger Elevator			
4	Service Elevator			
5	Electrical			S1
6	Exit Stairs			
<b>TOTAL HOTEL SERVICES</b>		<b>2,774</b>		
<b>Color Code Guestroom Type</b>				
7	Guestroom	16,509		R1
<b>TOTAL AREA + KEYS</b>		<b>19,283</b>	<b>20,093</b>	<b>37</b>

Level 3 Plan				
Color Code	Program Space Name	NSF	GSF	OCCUPANCY
1	Circulation	1,793		
2	Housekeeping	152		S2
3	Passenger Elevator			
4	Service Elevator			
5	Mechanical			S2
6	Exit Stairs			
<b>TOTAL HHOTEL SERVICES</b>		<b>1,945</b>		
<b>Color Code Guestroom Type</b>				
7	Guestroom	2,643		R1
8	Lock-Off Hotel Keys	2,337		
<b>TOTAL HOTEL KEYS</b>				<b>11</b>
<b>Color Code Condominium Type</b>				
9	2 Bedroom	8,028		R2
10	3 Bedroom	5,239		R2
<b>TOTAL AREA + KEYS</b>		<b>13,267</b>	<b>18,709</b>	<b>7</b>

Level 4 Plan				
Color Code	Program Space Name	NSF	GSF	OCCUPANCY
1	Circulation	805		
2	Passenger Elevator			
3	Service Elevator			
4	Exit Stairs			
<b>Color Code Guestroom Type</b>				
5	Lock-Off Hotel Keys	418		1
<b>TOTAL HOTEL KEYS</b>				<b>1</b>
<b>Color Code Condominium Type</b>				
6	Two Bedrooms	3,647		2
7	Four Bedrooms	8,690		3
<b>TOTAL AREA + KEYS</b>		<b>12,337</b>	<b>13,678</b>	<b>5</b>

Level 5 Plan				
Color Code	Program Space Name	NSF	GSF	OCCUPANCY
1	Passenger Elevator			
2	Service Elevator			
3	Elevator Lobby/Circulation	512		
4	Observatory	214		A3
5	Open Deck			A3
6	Exit Stairs			
<b>TOTAL AREA + KEYS</b>		<b>726</b>	<b>1,110</b>	<b>0</b>

Level P1 Plan				
Color Code	Program Space Name	NSF	GSF	OCCUPANCY
1	Parking	12,155		39 Spaces
2	Mechanical, Electrical, Telecom	1,051		S2
3	Passenger Elevator			
4	Service Elevator			
5	Circulation	1,977		
6	Spa/Fitness	3,874		A3
7	Back of House	3,709		S1/S2
8	Loading Dock	1,252		S2
9	Storage	645		S2
<b>TOTAL AREA</b>		<b>24,663</b>	<b>25,934</b>	

Level P2/P3 Plan				
Color Code	Program Space Name	NSF	GSF	OCCUPANCY
1	Parking	18,300		67 Spaces
2	Mechanical, Telecom	2,478		S2
3	Owner Storage	1,382		S2
4	Service Lobby			
5	Storage	479		S2
6	Back of House	550		S2
7	Circulation	740		
8	Telecom			S2
<b>TOTAL AREA</b>		<b>23,940</b>	<b>26,165</b>	

Parking Summary (cars per level)						
Color Code	Program Space Name	Accessible	Compact	Standard	Stacker	Valet
1	River Street Parking	0	0	4	0	0
2	P1 Parking Level	5	0	0	36	0
3	P2 Parking Level	0	0	11	0	0
4	P3 Parking Level	0	1	2	50	0
<b>SUB-TOTAL PER TYPE</b>		<b>5</b>	<b>1</b>	<b>17</b>	<b>86</b>	<b>0</b>
<b>GRAND TOTAL PARKING SPACES</b>						<b>109</b>

Guestroom Summary Levels 00 - 04			
Color Code	Guestroom Type	NSF	KEYS
	Guestroom	32,148	73
	Condo Lock-off Keys	2,755	6
<b>TOTAL AREA + KEYS</b>		<b>34,903</b>	<b>79</b>

Condominiums Summary Level L3-L4			
Color Code	Condominium Type	NSF	KEYS
	Two Bedroom	11,675	7
	Three Bedroom	5,239	2
	Four Bedroom	8,690	3
<b>TOTAL AREA + CONDOMINIUMS</b>		<b>25,604</b>	<b>12</b>

Harriman Ketchum Hotel, LLC

Hornberger

Worstell

APPELLATION  
SUN VALLEY

DESIGN REVIEW - FINAL 03.07.2023  
Update 08.18.22  
Design Review 09.14.22

Project Number 14695 Scale

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A2.10

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# North Elevation



**RIVER STREET**

**Harriman  
Ketchum  
Hotel, LLC**

**Hornberger**

**+**  
*Worstell*

**À**  
**APPELLATION**  
SUN VALLEY

DESIGN REVIEW - FINAL 02.07.2023  
Design Review 09.14.22

Project Number  
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Design Review:  
North Elevation

**A3.01**

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**HEAVY TIMBER GLULAM BEAMS, RAFTERS AND COLUMNS** with painted galvanized structural steel knife-plate connections. Fasteners to be recessed galvanized steel or stainless steel. Clear heart Western Red Cedar heavy timber purlins and T&G decking with resawn finish. Wood clear coat stain.



**WOOD CLADDING** - clear heart Western Red Cedar, resawn finish with clear coat or semi-transparent stain.  
*Basis of Design: James Hardie, Artisan Lap Siding System.*



**STEEL GUARD RAILINGS** - galvanized and painted with WOOD TOP RAIL.



**HEAVY TIMBER GLULAM BEAMS, RAFTERS AND COLUMNS** with painted galvanized structural steel knife-plate connections. Fasteners to be recessed galvanized steel or stainless steel. Clear heart Western Red Cedar heavy timber purlins and T&G decking with resawn finish. Wood clear coat stain.



**ALUMINUM WINDOWS AND DOORS** - powder coated extruded aluminum with Low "E" insulated glass.  
*Basis of Design: Vistaluxe Collection AL Line - Kolbe Windows and Doors.*  
*Basis of Design: Reynaers CP155LS Monorail System.*



**CEMENT PLASTER** - 3-coat system, hard-troweled finish with 100% acrylic topcoat finish.



**STONE VENEER** - Montana Moss Rock natural stone dry-stack lay-up. Stainless steel masonry anchor system.



**ALUMINUM PANELS** with colored and textured FEVE resin-based powder coating system.  
*Basis of Design: Pure + FreeForm coated aluminum panels with Vintage Steel #FA049 / Color Family: Rust finish.*



**BOARD-FORMED CONCRETE** - cast-in-place and stained.



**HEAVY TIMBER GLULAM BEAMS, RAFTERS AND COLUMNS** with painted galvanized structural steel knife-plate connections. Fasteners to be recessed galvanized steel or stainless steel. Clear heart Western Red Cedar heavy timber purlins and T&G decking with resawn finish. Wood clear coat stain.



**WOOD CLADDING** – clear heart Western Red Cedar, resawn finish with clear coat or semi-transparent stain.  
*Basis of Design: James Hardie, Artisan Lap Siding System.*



**STEEL GUARD RAILINGS** - galvanized and painted with Wood Top Rail.



**ALUMINUM PANELS** with colored and textured FEVE resin-based powder coating system.  
*Basis of Design: Pure + FreeForm coated aluminum panels with Vintage Steel #FA049 / Color Family: Rust finish.*



**Partial North Elevation**



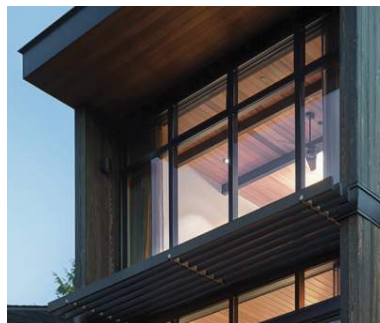
**Perspective - Building Massing**



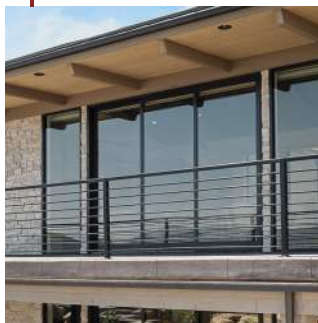
**STONE VENEER** - Montana Moss Rock natural stone dry-stack lay-up. Stainless steel masonry anchor system.



**HEAVY TIMBER GLULAM BEAMS, RAFTERS AND COLUMNS** with painted galvanized structural steel knife-plate connections. Fasteners to be recessed galvanized steel or stainless steel. Clear heart Western Red Cedar heavy timber purlins and T&G decking with resawn finish. Wood clear coat stain.



**ALUMINUM WINDOWS AND DOORS** – powder coated extruded aluminum with Low "E" insulated glass.  
*Basis of Design: Vistaluxe Collection AL Line - Kolbe Windows and Doors.*  
*Basis of Design: Reynaers CPI55LS Monorail System.*



**BOARD-FORMED CONCRETE** - cast-in-place and stained.







City of Ketchum

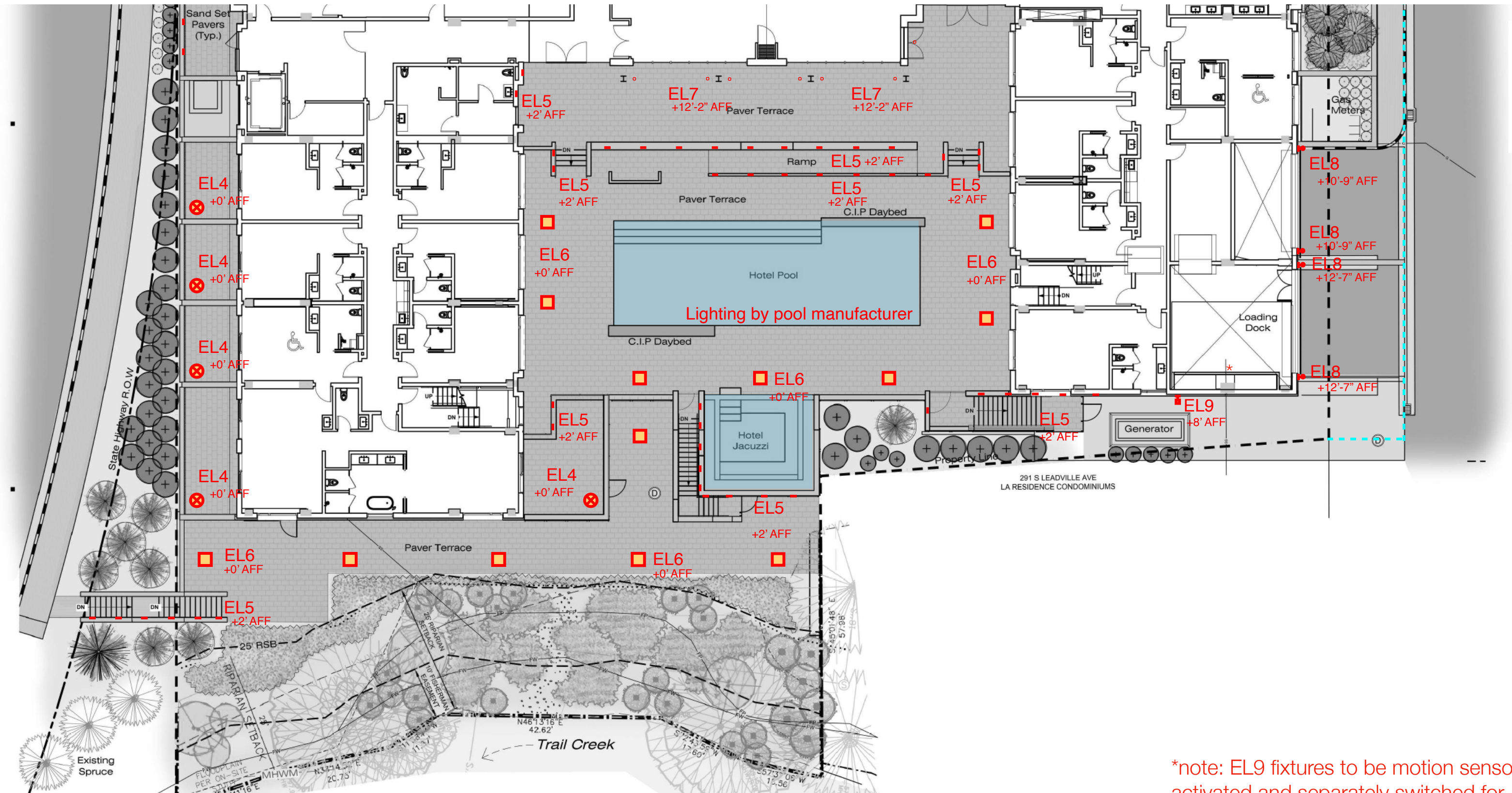
**EXHIBIT B:**  
**Appellation Hotel Approved  
Exterior Lighting Plans**

**Harriman Hotel**  
Exterior Lighting Dark Sky Compliance  
08.12.2022



\*note: EL9 fixtures to be motion sensor activated and separately switched for operation only during servicing of utility areas.

Plan south



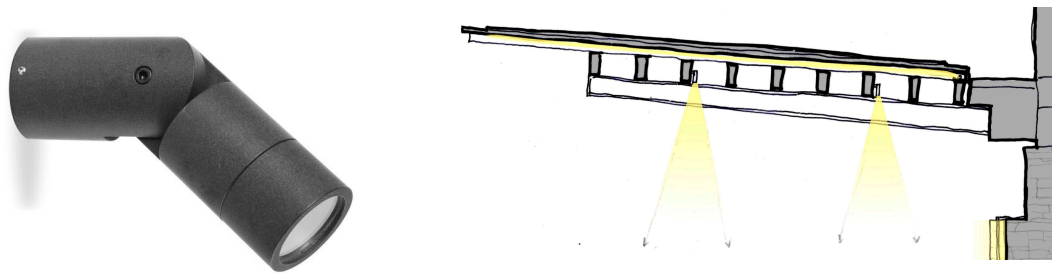
\*note: EL9 fixtures to be motion sensor activated and separately switched for operation only during servicing of utility areas.



## Harriman fixtures

### EL1

surface mounted downlight mounted to canopy | 2700K CCT | 10 W | 1230 lm | full cutoff



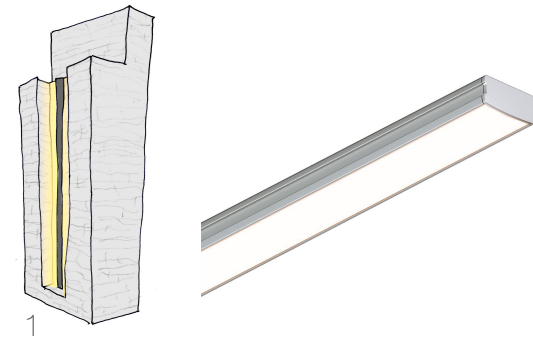
### EL2

linear grazing light at porte cochere canopy | 2700K CCT | 4.8 W/ft | 382 lm/ft | full cutoff



### EL3

entry column accent options | 2700K CCT | 6.5 W/ft | 313 lm/ft | full cutoff



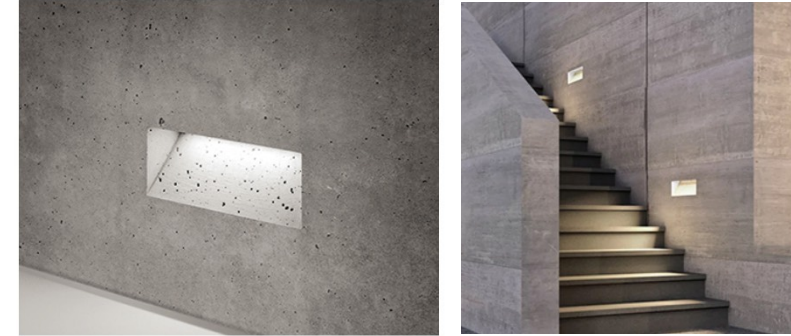
### EL4

level 00 patio lantern | 2700K CCT | 13.3 W | 1250 lm | full cutoff



### EL5

cast in steplight niche | 2700K CCT | 10 W | 491 lm | full cutoff



### EL6

illuminated furniture | 2700K CCT | 17 W | x 664 lm | full cutoff



### EL7

recessed small downlight | 2700K CCT | 6.1 W | 768 lm | full cutoff



### EL8

wall mounted direct sconce | 2700K CCT | 3 W | 139 lm | full cutoff



## Harriman fixtures

### EL9

wall mounted light at utility areas | 2700K CCT | 12.5 W | 1250 lm | full cutoff  
| occupancy sensor control or manual switch



### EL10

surface mounted downlight mounted to trellis | 2700K CCT | 8 W | 330 lm | full cutoff

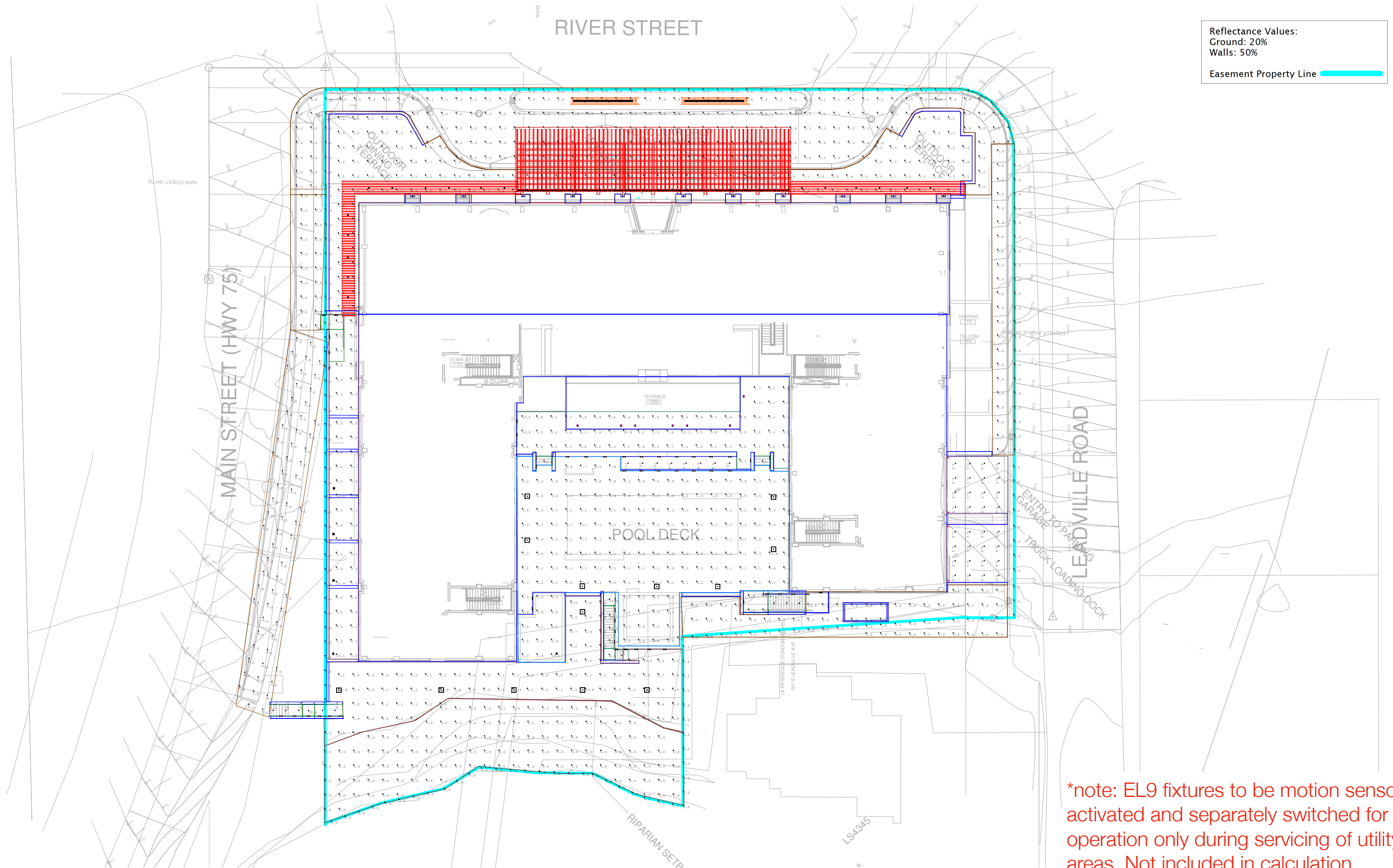


### EL11

surface mounted linear grazing downlight at screen panels | 2700K CCT | 4.8 W/ft | 382 lm/ft | full cutoff



# Site Lighting Calculation - Horizontal Illumination at Ground Level

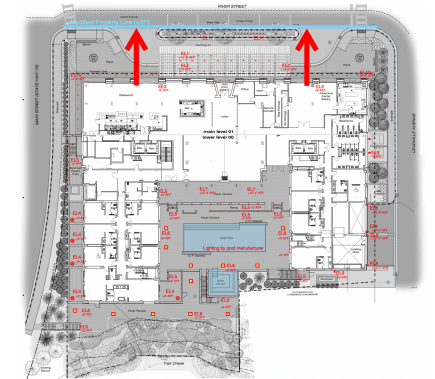
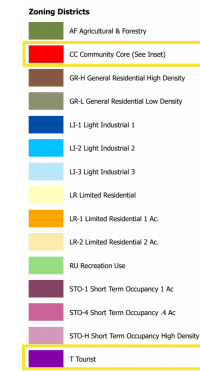
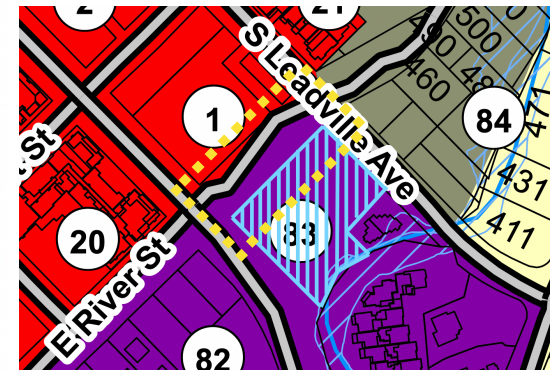


\*note: EL9 fixtures to be motion sensor activated and separately switched for operation only during servicing of utility areas. Not included in calculation.

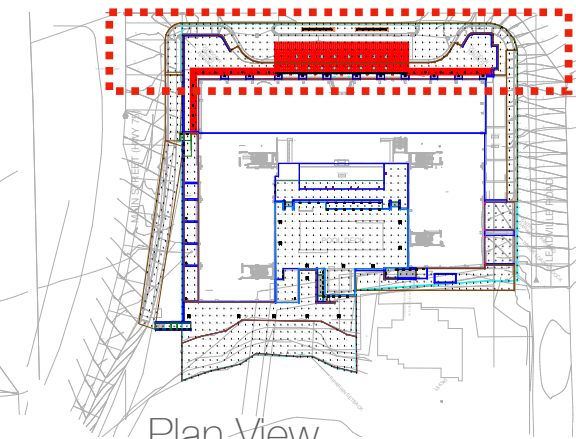
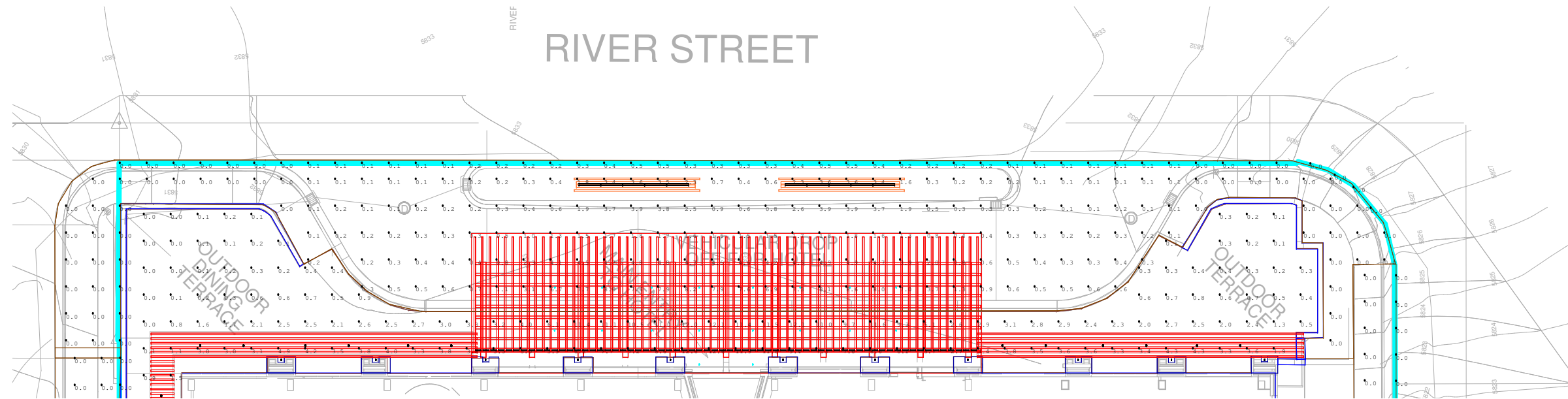
# Site Lighting Calculation - River Street

Figure 1: Light Trespass and Overlighting Matrix

Zone of Light Source	Impacted Zone	Maximum Foot-Candle Limits
<b>Non-commercial</b> (LR, LR-1, LR-2,GR-L,GR-H,STO-.4, STO-1,STO-H,RU,AF)	<b>Non-commercial</b> (LR, LR-1, LR-2,GR-L,GR-H,STO-.4, STO-1,STO-H,RU,AF)	0.1 foot-candles
<b>Non-commercial</b> (LR, LR-1, LR-2,GR-L,GR-H,STO-.4, STO-1,STO-H,RU,AF)	<b>Commercial Zones</b> (CC, T,T-3000, T-4000, LI-1,LI-2,LI-3)	0.5 foot-candles
<b>Commercial Zones</b> (CC, T,T-3000, T-4000, LI-1,LI-2,LI-3)	<b>Non-commercial</b> (LR, LR-1, LR-2,GR-L,GR-H,STO-.4, STO-1,STO-H,RU,AF)	0.1 foot-candles
<b>Commercial Zones</b> (CC, T,T-3000, T-4000, LI-1,LI-2,LI-3)	<b>Commercial Zones</b> (T,T-3000, T-4000, LI-1,LI-2,LI-3)	0.5 foot-candles
<b>Community Core (CC)</b>	<b>Community Core (CC)</b>	No limit



Plan View



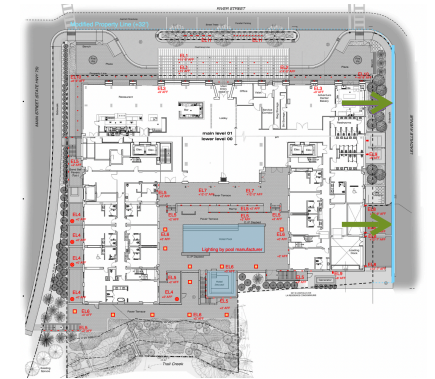
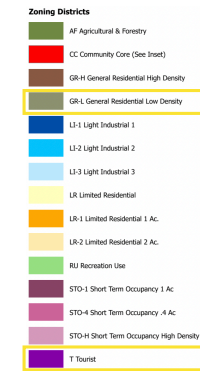
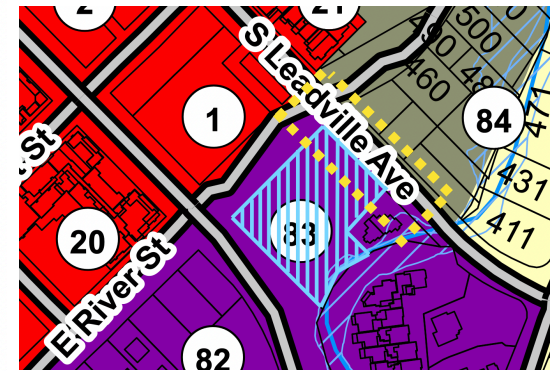
Plan View

River Street Vertical and Horizontal Calculation | Impacted Zone: CC | Fc Limit: No limit | Maximum Value: 0.5 fc | Code of Ordinances Chapter 17.132 - Dark Skies: **Compliant**

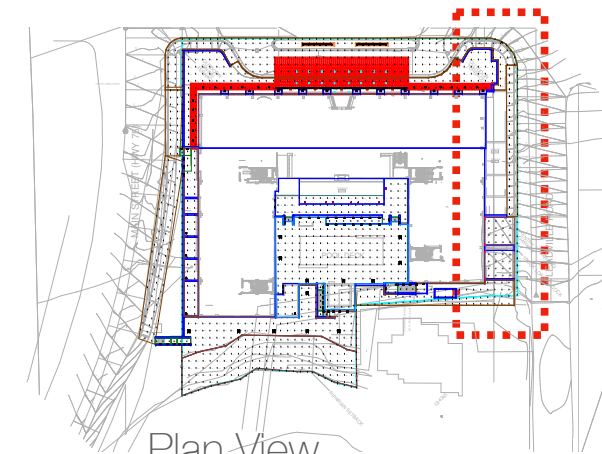
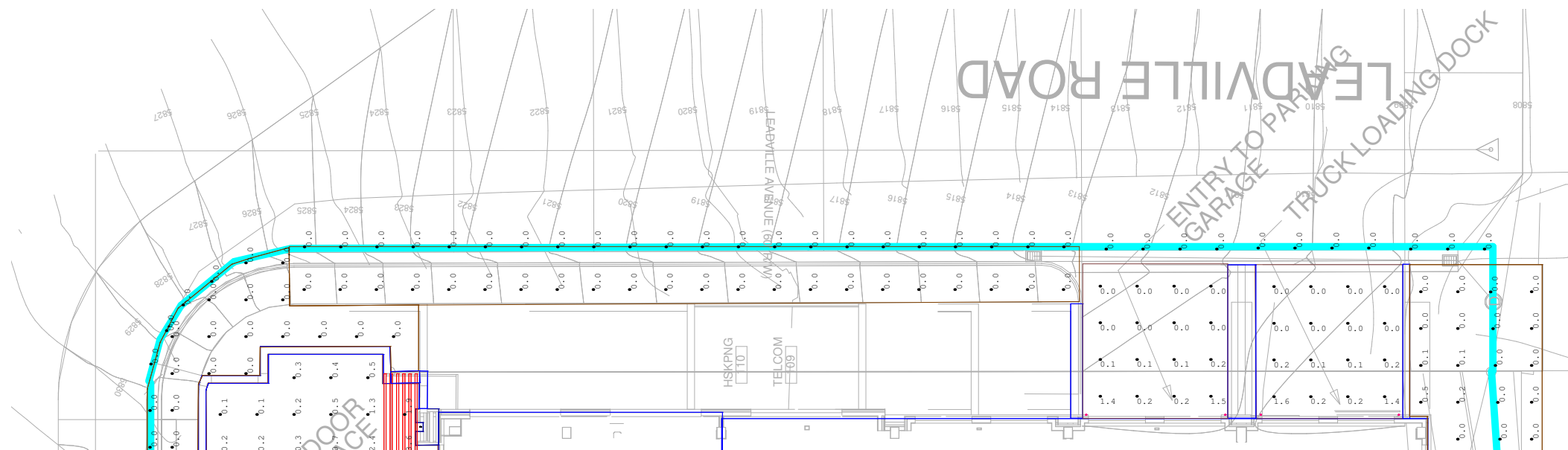
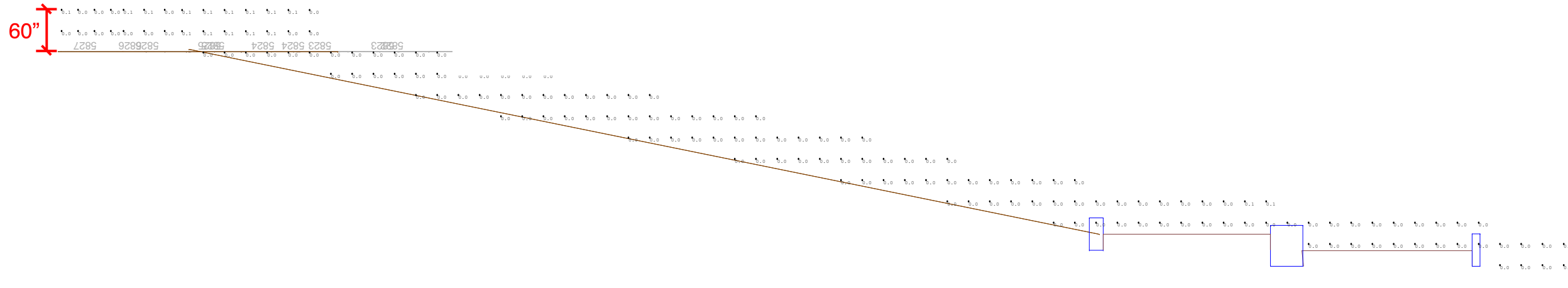
# Site Lighting Calculation - Leadville Ave

Figure 1: Light Trespass and Overlighting Matrix

Zone of Light Source	Impacted Zone	Maximum Foot-Candle Limits
<b>Non-commercial</b> (LR, LR-1, LR-2,GR-L,GR-H,STO-.4, STO-1,STO-H,RU,AF)	<b>Non-commercial</b> (LR, LR-1, LR-2,GR-L,GR-H,STO-.4, STO-1,STO-H,RU,AF)	0.1 foot-candles
<b>Non-commercial</b> (LR, LR-1, LR-2,GR-L,GR-H,STO-.4, STO-1,STO-H,RU,AF)	<b>Commercial Zones</b> (CC, T,T-3000, T-4000, LI-1,LI-2,LI-3)	0.5 foot-candles
<b>Commercial Zones</b> (CC, T,T-3000, T-4000, LI-1,LI-2,LI-3)	<b>Non-commercial</b> (LR, LR-1, LR-2,GR-L,GR-H,STO-.4, STO-1,STO-H,RU,AF)	0.1 foot-candles
<b>Commercial Zones</b> (CC, T,T-3000, T-4000, LI-1,LI-2,LI-3)	<b>Commercial Zones</b> (T,T-3000, T-4000, LI-1,LI-2,LI-3)	0.5 foot-candles
<b>Community Core (CC)</b>	<b>Community Core (CC)</b>	No limit



Plan View



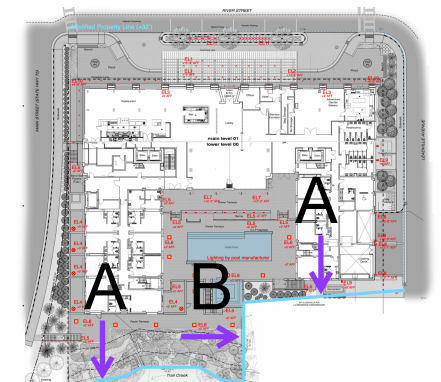
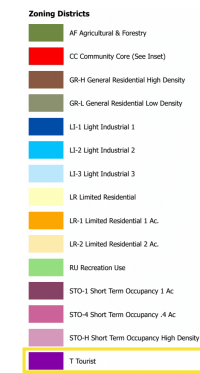
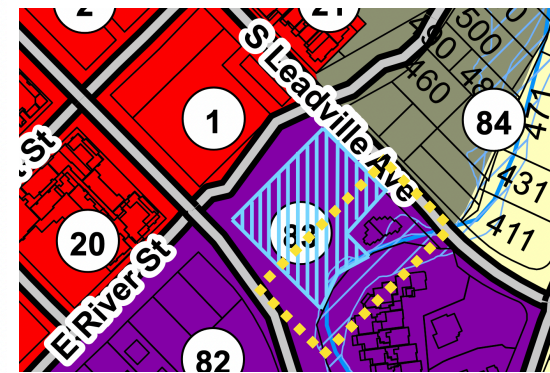
Plan View

Leadville Ave Vertical and Horizontal Calculation | Impacted Zone: GR-L | Fc Limit: 0.1 fc | Maximum Value: 0.1 fc | Code of Ordinances Chapter 17.132 - Dark Skies: **Compliant**

# Site Lighting Calculation - Trail Creek

Figure 1: Light Trespass and Overlighting Matrix

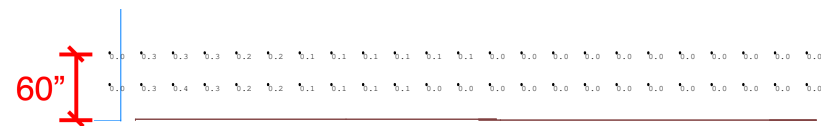
Zone of Light Source	Impacted Zone	Maximum Foot-Candle Limits
<b>Non-commercial</b> (LR, LR-1, LR-2,GR-L,GR-H,STO-.4, STO-1,STO-H,RU,AF)	<b>Non-commercial</b> (LR, LR-1, LR-2,GR-L,GR-H,STO-.4, STO-1,STO-H,RU,AF)	0.1 foot-candles
<b>Non-commercial</b> (LR, LR-1, LR-2,GR-L,GR-H,STO-.4, STO-1,STO-H,RU,AF)	<b>Commercial Zones</b> (CC, T,T-3000, T-4000, LI-1,LI-2,LI-3)	0.5 foot-candles
<b>Commercial Zones</b> (CC, T,T-3000, T-4000, LI-1,LI-2,LI-3)	<b>Non-commercial</b> (LR, LR-1, LR-2,GR-L,GR-H,STO-.4, STO-1,STO-H,RU,AF)	0.1 foot-candles
<b>Commercial Zones</b> (CC, T,T-3000, T-4000, LI-1,LI-2,LI-3)	<b>Commercial Zones</b> (T,T-3000, T-4000, LI-1,LI-2,LI-3)	0.5 foot-candles
<b>Community Core (CC)</b>	<b>Community Core (CC)</b>	No limit



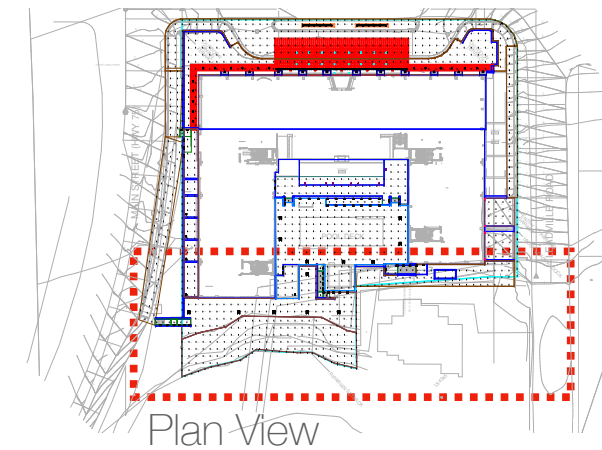
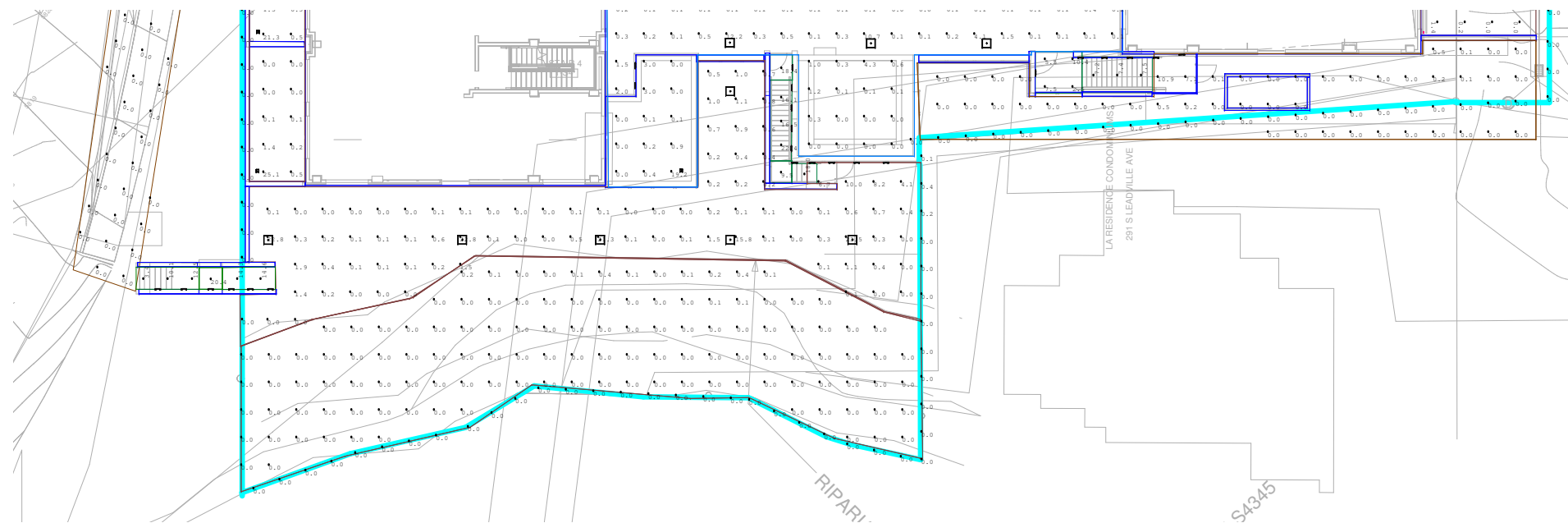
Plan View



Elevation A



Elevation B



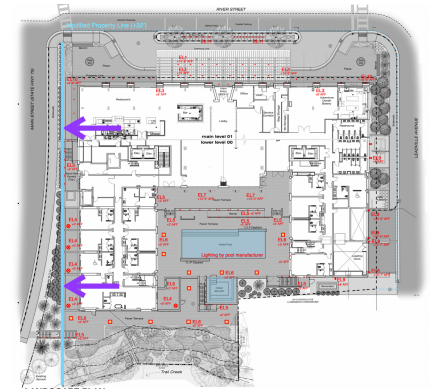
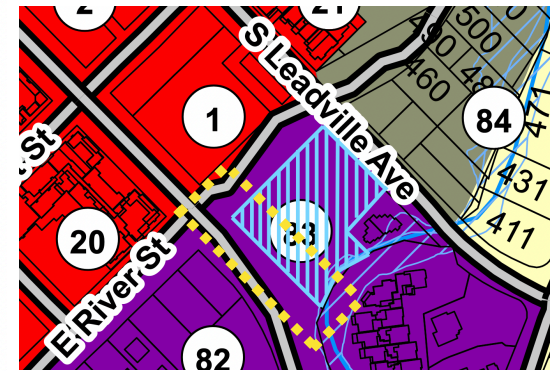
Plan View

Trail Creek Vertical and Horizontal Calculation | Impacted Zone: T | Fc Limit: 0.5 fc | Maximum Value: 0.4 fc | Code of Ordinances Chapter 17.132 - Dark Skies: **Compliant**

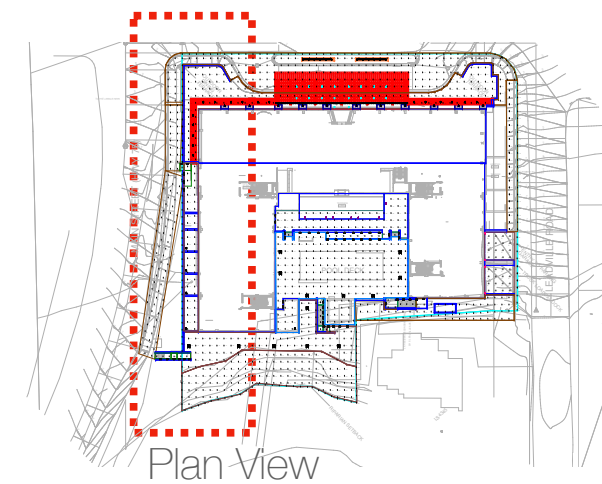
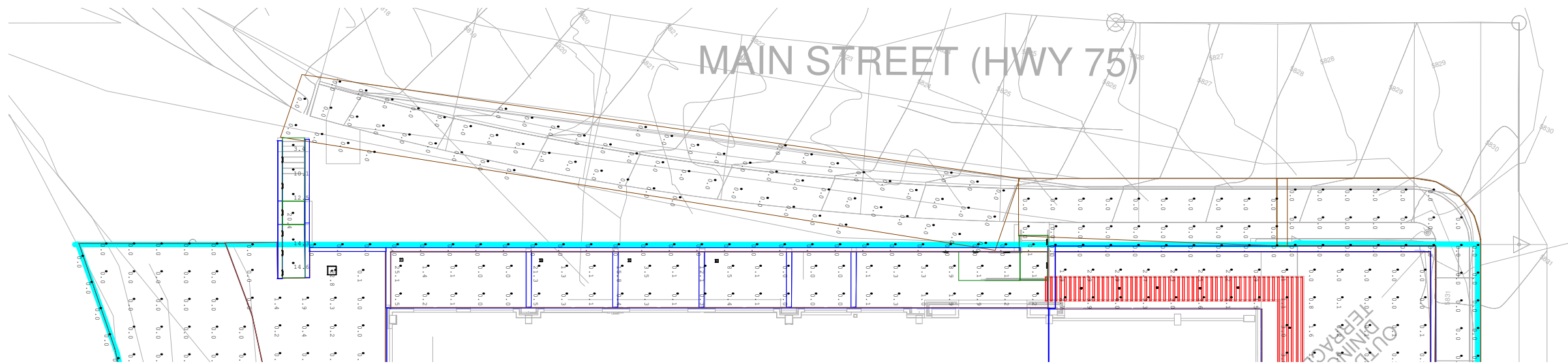
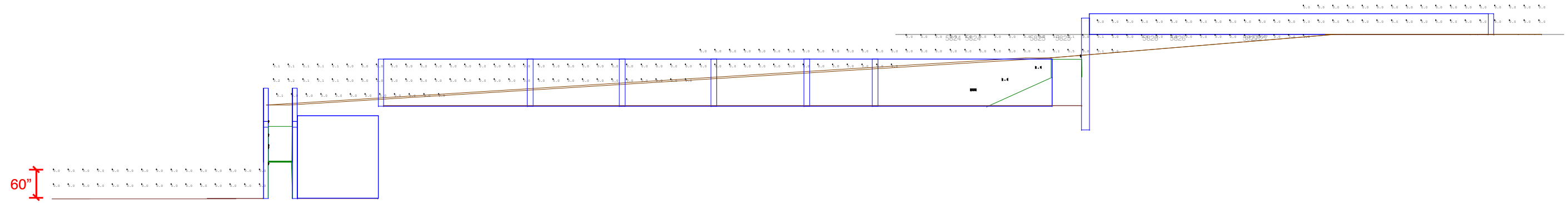
# Site Lighting Calculation - State Hwy 75

Figure 1: Light Trespass and Overlighting Matrix

Zone of Light Source	Impacted Zone	Maximum Foot-Candle Limits
<b>Non-commercial</b> (LR, LR-1, LR-2,GR-L,GR-H,STO-.4, STO-1,STO-H,RU,AF)	<b>Non-commercial</b> (LR, LR-1, LR-2,GR-L,GR-H,STO-.4, STO-1,STO-H,RU,AF)	0.1 foot-candles
<b>Non-commercial</b> (LR, LR-1, LR-2,GR-L,GR-H,STO-.4, STO-1,STO-H,RU,AF)	<b>Commercial Zones</b> (CC, T,T-3000, T-4000, LI-1,LI-2,LI-3)	0.5 foot-candles
<b>Commercial Zones</b> (CC, T,T-3000, T-4000, LI-1,LI-2,LI-3)	<b>Non-commercial</b> (LR, LR-1, LR-2,GR-L,GR-H,STO-.4, STO-1,STO-H,RU,AF)	0.1 foot-candles
<b>Commercial Zones</b> (CC, T,T-3000, T-4000, LI-1,LI-2,LI-3)	<b>Commercial Zones</b> (T,T-3000, T-4000, LI-1,LI-2,LI-3)	0.5 foot-candles
<b>Community Core (CC)</b>	<b>Community Core (CC)</b>	No limit



Plan View



Plan View

Main Street (State Hwy 75) Vertical and Horizontal Calculation | Impacted Zone: T | Fc Limit: 0.5 fc | Maximum Value: 0.5 fc | Code of Ordinances Chapter 17.132 - Dark Skies: **Compliant**

