



City of Ketchum

## CITY COUNCIL MEETING AGENDA MEMO

Meeting Date: July 7, 2025      Staff Member/Dept: Morgan Landers, AICP – Director of Planning and Building

Agenda Item: Recommendation to approve various requests for snowmelt within the public right-of-way (ROW) adjacent to residential properties.

### Recommended Motion:

Motion 1: “I move to approve ROW encroachment requests for the five properties noted by staff, direct staff to prepare the agreements, and direct the mayor to sign said agreements.”

Motion 2: “I move to deny ROW encroachment requests for the five properties noted by staff, and direct staff to initiate steps for the removal or completion of ROW improvements without snowmelt.”

### Reasons for Recommendation:

- The city has five pending requests for approval of snowmelt in the right-of-way that have been in limbo since October 2024. These requests have taken a substantial amount of staff time to manage and lack of decision on some are holding up the completion of construction projects that began over two years ago.
- The city is in the process of evaluating policies related to allowances for snowmelt in the right-of-way. Following the last discussion on May 19<sup>th</sup>, City Council gave general direction to staff to rework the policy. Staff has been working on a revised program and anticipate presenting to Council in August at the earliest.
- Due to the extended timeframe it is taking to get direction from Council, staff recommend approving the snowmelts systems with the existing requirements for 2018 IECC compliance, efficient boilers, and moisture/temperature controls to allow for resolution of the requests and allocate staff time to other projects.

### Policy Analysis and Background (non-consent items only):

As noted above, the Planning and Building Department has five pending requests for snowmelt in the public right-of-way. Below is an overview of the request, how long the request has been pending, the origin of the request, and current status:

**Request #1: 108 Gates Rd**

Overview: Replace boiler and existing driveway snowmelt system and pavers. Driveway snowmelt and pavers extend into the city ROW.

Pending Since: October 2024

Origin and Status: Stop work order was issued during construction for work in the ROW without a permit. Work has been completed.

**Request #2: 130 E River St**

Overview: Replace snowmelt and pavers in sidewalk along front property line.

Pending Since: April 2025

Origin and Status: Stop work order was issued during construction for work in the ROW without a permit. Work has halted and the sidewalk is currently not passable.

**Request #3: 191 N 3<sup>rd</sup> Ave**

Overview: Construction of new snowmelt driveway and pavers in the city ROW.

Pending Since: January 2025

Origin and Status: Issue was flagged by staff during final certificate of occupancy inspection as snowmelt in the ROW was not on the approved plans. Work has not been completed. The city is holding a security bond for the removal of the snowmelt system and issued a Temporary Certificate of Occupancy for the residence.

**Request #4: 305 Sage Rd**

Overview: Construction of new snowmelt system and pavers in driveway of an existing residence. Driveway snowmelt and pavers extend into the city ROW.

Pending Since: November 2024

Origin and Status: Stop work order was issued during construction for work in the ROW without a permit. Work has been completed.

**Request #5: 165 Bald Mountain Rd**

Overview: Construction of new snowmelt driveway and pavers in the city ROW.

Pending Since: November 2024

Origin and Status: Issue was flagged by staff during final certificate of occupancy inspection as snowmelt in the ROW was not on the approved plans. Work has been completed. City is holding a security bond for the removal of the snowmelt system and issued a Temporary Certificate of Occupancy for the residence.

As staff do not have clear direction from Council on the allowance of snowmelt in the ROW, we are presenting the above requests for decision so that these enforcement items and construction projects can be resolved and staff time allocated to other projects. Staff recommends approving the requests above, with the requirement that all applicants provide the following:

- Verification of compliance with the 2018 International Energy Conservation Code (IECC) Section 403.12.2 requirements
- Verification that the boiler meets a minimum of 85% efficiency
- Verification that the system includes moisture and pavement temperature sensors.
- Verification that the system features automated controls that only trigger system activation when both temperature and moisture sensors warrant operation.

Any new requests that come in for snowmelt systems in the ROW, prior to direction on the snowmelt policy, will be brought to council for decision on a case-by-case basis upon request to minimize the amount of back and forth between staff and applicants.

**Sustainability Impact:**

Chapter six of the Climate Action Plan has two goals, increasing the supply of renewable energy and reducing demand for energy through energy efficiency initiatives and consumption reduction methods. Snowmelt systems are highly consumptive and place a demand on the energy system. Staff is working to develop a revised snowmelt policy for Council consideration in August.

Financial Impact:

None OR Adequate funds exist in account:	None
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Attachments:

1. Address Site Plans and/or Images

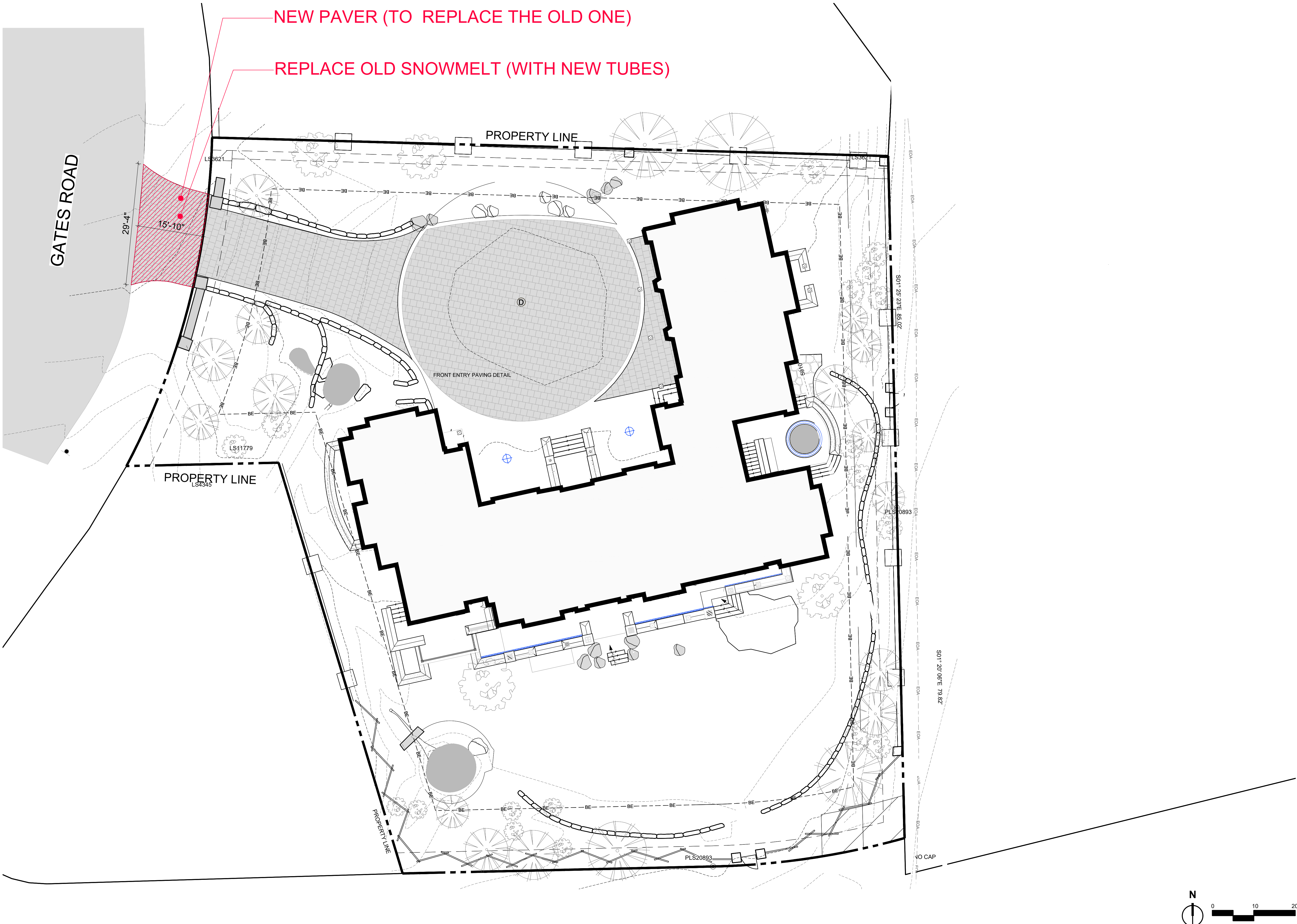
# Attachment 1:

Address Site Plans and/or Images

# Request #1: 108 Gates Road







# LANDSCAPE DESIGN

## MCGAVICK RESIDENCE

108 GATES ROAD, KETCHUM IDAHO

PRINCIPAL: **BY**  
PROJECT MANAGER: **SP**  
DRAWN BY: **SB**  
ISSUE DATE: **10-22-2024**

**ROW  
ENCROACHMENT**

SHEET NO.

# L1.0

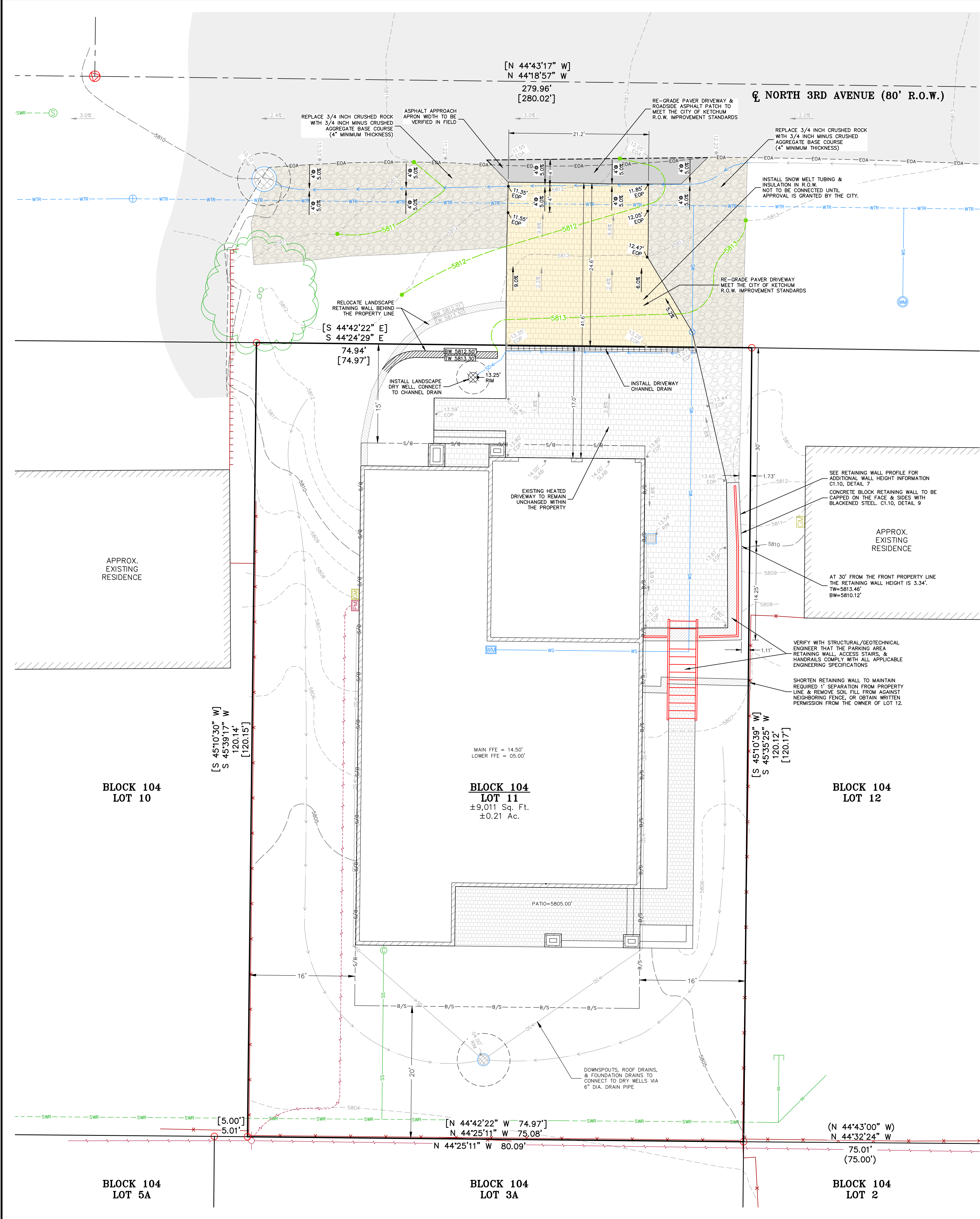


## Request #2: 130 E River St



Request #3: 191 N 3<sup>rd</sup> Ave  
(see site plan on next page)





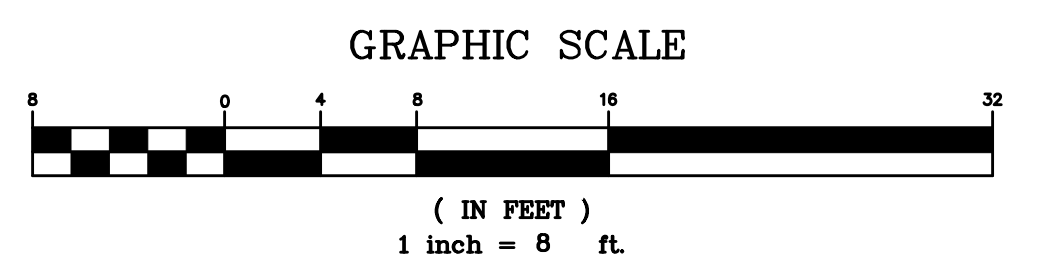
- LEGEND - EXISTING**
- Subject Boundary
  - Adjoining Lot Line
  - Centerline Right-of-Way
  - Building Setback (See Note 4)
  - 5' Major Contour (Alpine 2025)
  - 1' Minor Contour (Alpine 2025)
  - Existing Structure
  - Heated Concrete Paver Driveway (C1.10, Detail 1)
  - Concrete Paver Walkway
  - Roadside Gravel Swale
  - Edge of Asphalt
  - Asphalt Patch & Saw-Cut Line
  - Concrete Retaining Wall
  - Landscape Retaining Wall
  - Wooden Fence
  - 8" Water Main
  - 2" Water Service
  - 8" Sewer Main
  - Sewer Service
  - 6" Dia. Storm Drain Pipe
  - Drainage Flowline
  - Overhead Power
  - Underground Power
  - Found 1/2" Rebar
  - Sewer Manhole
  - Sewer Cleanout
  - Water Valve
  - Water Meter Vault
  - Interior 2" Water Meter
  - City of Ketchum Dry Well
  - Landscape Dry Well
  - Landscape Catch Basin (C1.10, Detail 4)
  - Power Pole
  - Power Meter
  - Phone Box
  - Gas Meter
  - Deciduous Tree
  - Existing Grade
  - Existing Spot Elevation
  - Location Description
  - EOP Edge of Pavers
  - EOA Edge of Asphalt
  - TW Top of Wall Elevation
  - BW Bottom of Wall Elevation
  - RIM Top of Dry Well/Catch Basin
  - SLAB Garage Slab Elevation
  - ( ) Record Bearing & Distance
  - [ ] Record Bearing & Distance
- LEGEND - PROPOSED**
- 5' Major Contour
  - 1' Minor Contour
  - Stairs & Guard Rails
  - Heated Concrete Paver Driveway (C1.10, Detail 1)
  - Roadside Gravel Swale (C1.10, Details 2 & 5)
  - Drainage Flowline
  - 6" Dia. Storm Drain Pipe
  - Proposed 6" Driveway Trench Drain (C1.00, Note 23)
  - Proposed Landscape Dry Well (C1.10, Detail 3)
  - Proposed Grade
  - Proposed Finish Grade Spot Elevation
  - Location Description

- NOTES**
- Basis of Bearings is Grid North per Idaho State Plane Coordinate System, Central Zone, NAD83, (1992), at Grid in US Survey Feet. Ground Distances will be slightly longer. Vertical Datum is NAVD1988.
  - Boundary Information is from the Replat of Blocks 76, 77 & 78, The Village of Ketchum, Inst. No. 111300; the Record of Survey of Ketchum Townsite, Block 104, Lot 3A, Inst. No. 543880; Records of Blaine County, Idaho.
  - Except as stated or shown on this map, this Survey does not intend to reflect any of the following which may be applicable to Subject Real Property: Natural Hazards, Encroachments, Wetlands, Ditches, Easements other than those shown or listed hereon, Building Setbacks, Restrictive Covenants, Subdivision Restrictions, Zoning Restrictions, Land-Use Regulations, or Deed Restrictions and Exceptions contained within a current Title Policy.
  - The Subject Property is within the City of Ketchum Limited Residential District, LR. Please refer to City of Ketchum Code of Ordinances for more information about this zone.
  - Utility Locations shown are based on visual surface evidence, and City Maps. Utility locations should be verified before any excavation.
  - Not all trees and vegetation are shown, some locations are approximate.
  - Site and Construction As-Built information is from a January 30th, 2025 site survey conducted by Alpine Enterprises Inc.

- GENERAL CONSTRUCTION NOTES**
- The location of existing underground utilities shown on plans are approximate. The contractor shall be responsible for locating the existing utilities prior to and during construction. The contractor agrees to be fully responsible for any and all damages which result from his failure to accurately locate and preserve any and all underground utilities. Contractor shall call Digline Inc. to locate all existing utilities a minimum of 48-hours before excavation.
  - The design of the driveway and drainage improvements have only been performed within the public Right-of-Way. See the Landscape Grading Plan from N.S. Consulting for the remainder of the design.
  - All construction shall be in accordance with the most current edition of the Idaho Standards for Public Works Construction (ISPCW), the Idaho Department of Environmental Quality (DEQ) Public Drinking Water Standards and Wastewater Collection Standards, and the City of Ketchum, Idaho, Codes and Standards. The contractor shall be responsible for obtaining and keeping a copy of these Codes and Standards on site during construction.
  - The contractor shall be required to obtain all the necessary permits prior to construction and shall check with the City of Ketchum for permits the owner may have already obtained.
  - Per Idaho Code, 55-1613, the contractor shall retain and protect all monuments, accessories to corners, benchmarks, and points set in control surveys. All monuments, accessories to corners, benchmarks, and points set in control surveys that are lost or disturbed by construction shall be reestablished and re-monumented, at the expense of the agency or person causing their loss or disturbance under the direction of a professional land surveyor.
  - The contractor shall clean up the site after construction so that it is in a condition equal to or better than that which existed prior to construction.
  - Contractor shall be responsible for dust control during construction of all items hereon. Dust control shall be continuous during construction, 24 hours per day 7 days per week. The contractor shall follow the requirements of the Storm Water Pollution Prevention Plan at all times until permanent erosion control is established.
  - The proposed site disturbance is under 1 acre (0.38 Ac.) and thereby a SWPPP shall not be required. However, the contractor shall utilize erosion control Best Management Practices (BMP's) as needed to ensure the site and surrounding areas/waterways remain protected from contamination.
  - Existing topsoil shall be retained with vegetation and stockpiled for use in reestablishing revegetated areas.
  - All clearing and grubbing shall conform to ISPCW Section 201 and City of Ketchum standards of excavation and backfill.
  - All excavation and embankment shall conform to ISPCW Section 202 and City of Ketchum standards for excavation and backfill. Excavated subgrade shall be compacted and all unsuitable Sections removed and replaced with structural fill as determined by the engineer per ISPCW Section 204. Minimum compaction of placed material shall be 95% of maximum laboratory density as determined by AASHTO T-99 or IDT T-91.
  - All 2" minus aggregate shall be placed in conformance with ISPCW Section 802. It shall be compacted per ISPCW Section 202 and the City of Ketchum standards. 2" minus crushed aggregate material shall conform to ISPCW Section 802 Type II and to the City of Ketchum specifications. Minimum compaction of placed material shall be 95% of maximum laboratory density as determined by AASHTO T-99 or IDT T-91.
  - All 3/4" minus aggregate shall be placed in conformance with ISPCW Section 802. It shall be compacted per ISPCW Section 202 and the City of Ketchum standards. 3/4" minus crushed aggregate for leveling course shall conform to ISPCW Table 802 Type I and to the City of Ketchum specifications. Minimum compaction of placed material shall be 95% of maximum laboratory density as determined by AASHTO T-99 or IDT T-91.
  - All edges of existing asphalt paving shall be saw cut a minimum of 24" to provide a clean pavement edge for matching. No wheel cutting shall be allowed. Pavement shall be cut prior to paving to prevent damage to the cut edge.
  - The contractor shall be responsible for initiating, maintaining, supervising, and complying with all federal safety and health regulations as determined by the State of Idaho and Bureau of Reclamation health and safety requirements. The contractor shall be required to comply with all regulations and requirements of local codes and ordinances.
  - The contractor shall be responsible for hiring a materials testing company during construction to verify all City of Ketchum construction Spaniards and Specifications are met.
  - Contractor shall assure positive drainage towards catch basins and dry wells.
  - Contractor shall assure positive drainage away from the building and driveway.
  - Grade away from foundation at 2% minimum, unless otherwise shown.
  - All drainage is to be retained on-site.
  - The contractor shall be responsible for providing traffic control per the current edition of the US Department of Transportation Manual of Uniform Traffic Control Devices (MUTCD).
  - All roof drains and downspouts shall not drain adjacent to the foundation and are to be connected to dry wells by a 4" dia. solid PVC Pipe sloped at a 1% minimum.
  - The Channel Drain shall be a 6" wide HDPE channel with a 0.75 built in channel slope (Zurn Flo-Thru Model Z886 or equivalent). Grate shall be ductile iron with a slotted pattern. All components shall be rated for H-20 loading.
  - All instructions and special conditions contained on this plan set shall be strictly adhered to. Alpine Enterprises Inc. is not responsible for any deviation from these plans, unless such changes have been authorized in writing.
  - All right-of-way improvements per sheet C1.00 must be completed prior to issuance of a temporary or final Certificate of Occupancy unless otherwise agreed upon in writing by the City.



**APPROVED**  
These plans have been found to be in substantial compliance of the adopted building codes. These documents are approved contingent on compliance with the mark-ups, notes, and conditions of approval applied. This is not approval of any violation of any code, ordinance, statute or regulation. Corrections will be required for code violations found during the inspection process.



PROJECT PATH AND PRINT DATE: U:\LandProjects2004\1878\_K\_Blk104\_Lt12.dwg 05/22/2025 04:04:54 PM MST

**A CONSTRUCTION AS-BUILT SURVEY & R.O.W. ENCROACHMENT PLAN SHOWING LOT 11, BLK 104, KETCHUM TOWNSITE WITHIN S13, T.4N., R.17E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO PREPARED FOR LOWELL BENGOCHEA & DRAW ARCHITECTURE + DESIGN**

**Alpine Enterprises Inc.**  
Surveying, Mapping, Civil Engineering, and Natural Hazards Consulting  
660 Bell Dr., Unit 1, Ketchum, ID 83340 USA  
P.O. Box 2037, Ketchum, ID 83340 USA  
(208) 727-1808  
email: bamt@alpineenterprisesinc.com

**PROFESSIONAL ENGINEER**  
Bryce A. Smith  
1975  
22MAY25  
STATE OF IDAHO  
ALEX NEVILL

**PROFESSIONAL LAND SURVEYOR**  
Bryce A. Smith  
7048  
22MAY25  
STATE OF IDAHO  
OFFICE

REVISIONS	NO.	DATE	BY
CERTIFICATE OF OCCUPANCY REVIEW			
R.O.W. REVISIONS	1	21FEB25	AHN
REVISED	2	22MAY25	AHN

**C1.00**

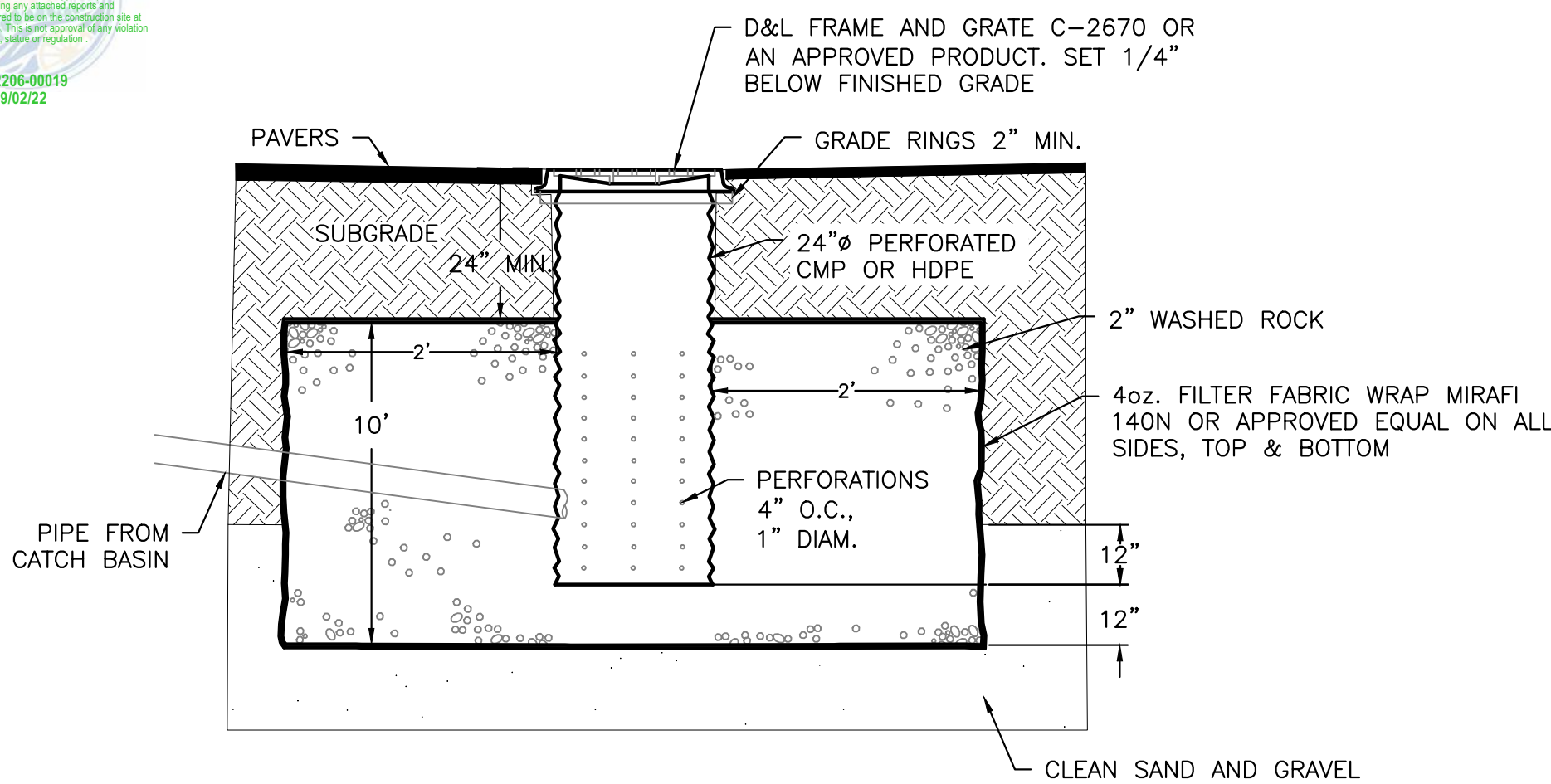


## Request #4: 305 Sage Rd



Request #5: 165 Bald Mountain Rd  
(see site plan on next page)

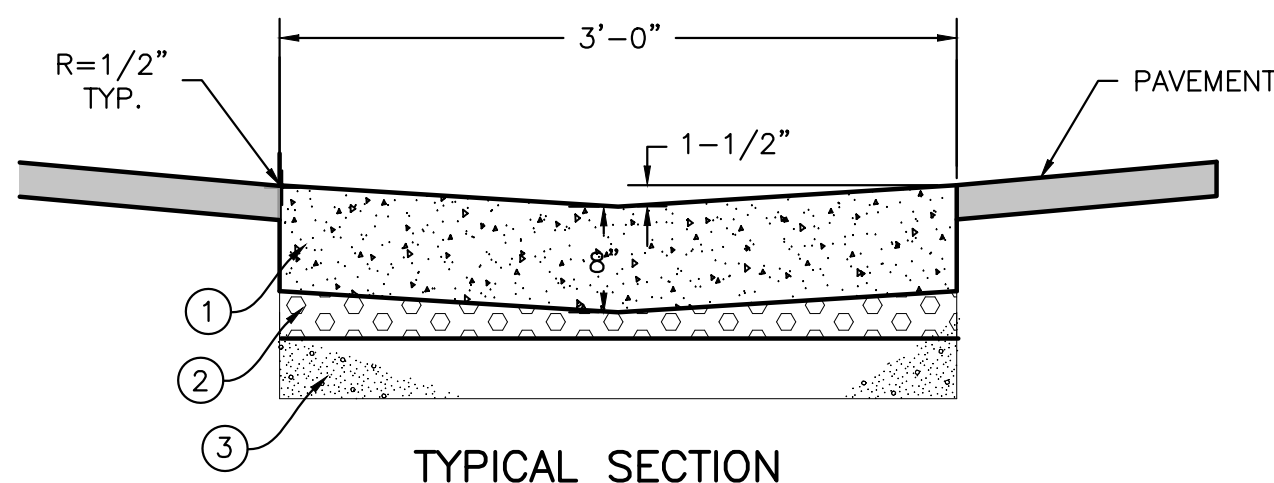




#### NOTES:

1. THE BED SHALL BE EXCAVATED A MINIMUM OF 24" INTO CLEAN SAND AND GRAVEL.
2. MAXIMUM DEPTH SHALL NOT EXCEED 12 FEET.
3. IF CLEAN SAND AND GRAVEL IS NOT ENCOUNTERED WITHIN 12 FEET, THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER.
4. GRATE OR SOLID LID AS APPROVED BY CITY OF KETCHUM.

1  
C4 TYPICAL DRYWELL DETAIL  
SCALE: NONE



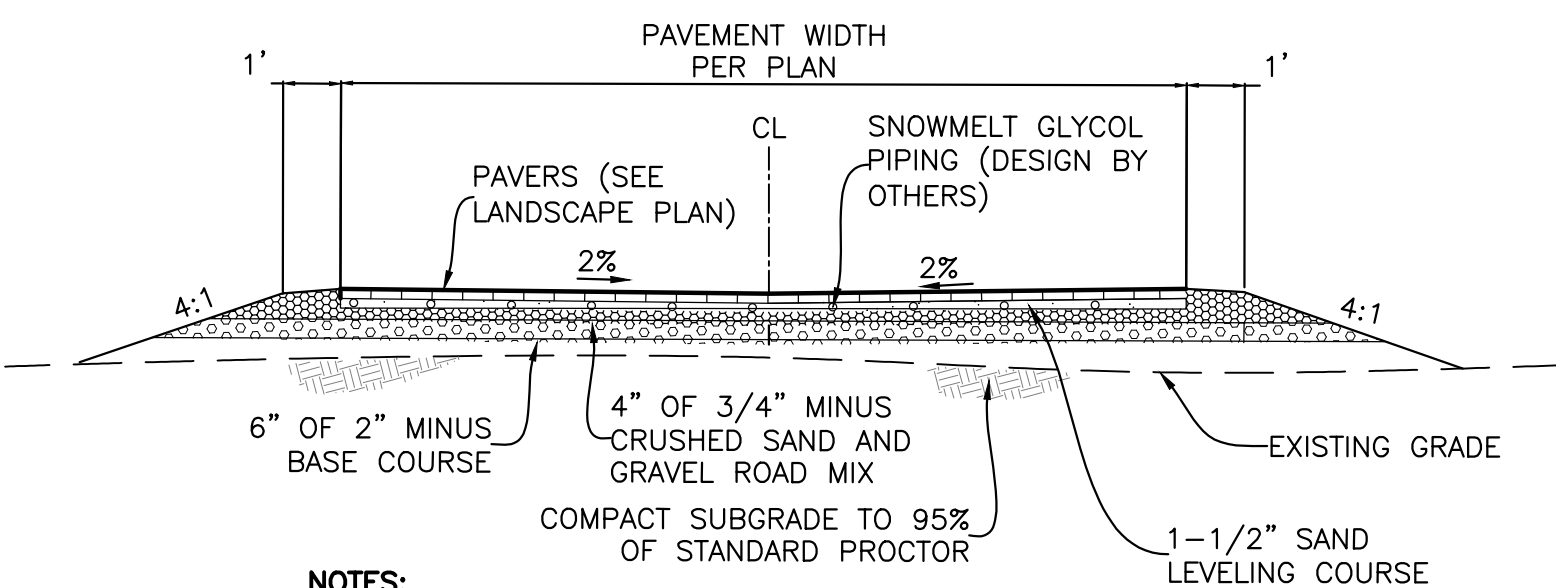
#### LEGEND

- 1 8-INCH THICK CONCRETE
- 2 2" MIN. OF 3/4" TYPE 1 AGGREGATE BASE
- 3 6" OF 2" TYPE II SUBBASE

#### NOTES:

1. 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RAIL.
2. CONTINUOUS PLACEMENT PREFERRED. SCORE INTERVALS TO MATCH SIDEWALK WITH 10-FOOT MAXIMUM SPACING.
3. MATERIALS SHALL CONFORM WITH CURRENT ISWPC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.

2  
C1 3 FT CONCRETE VALLEY GUTTER  
SCALE: N.T.S.

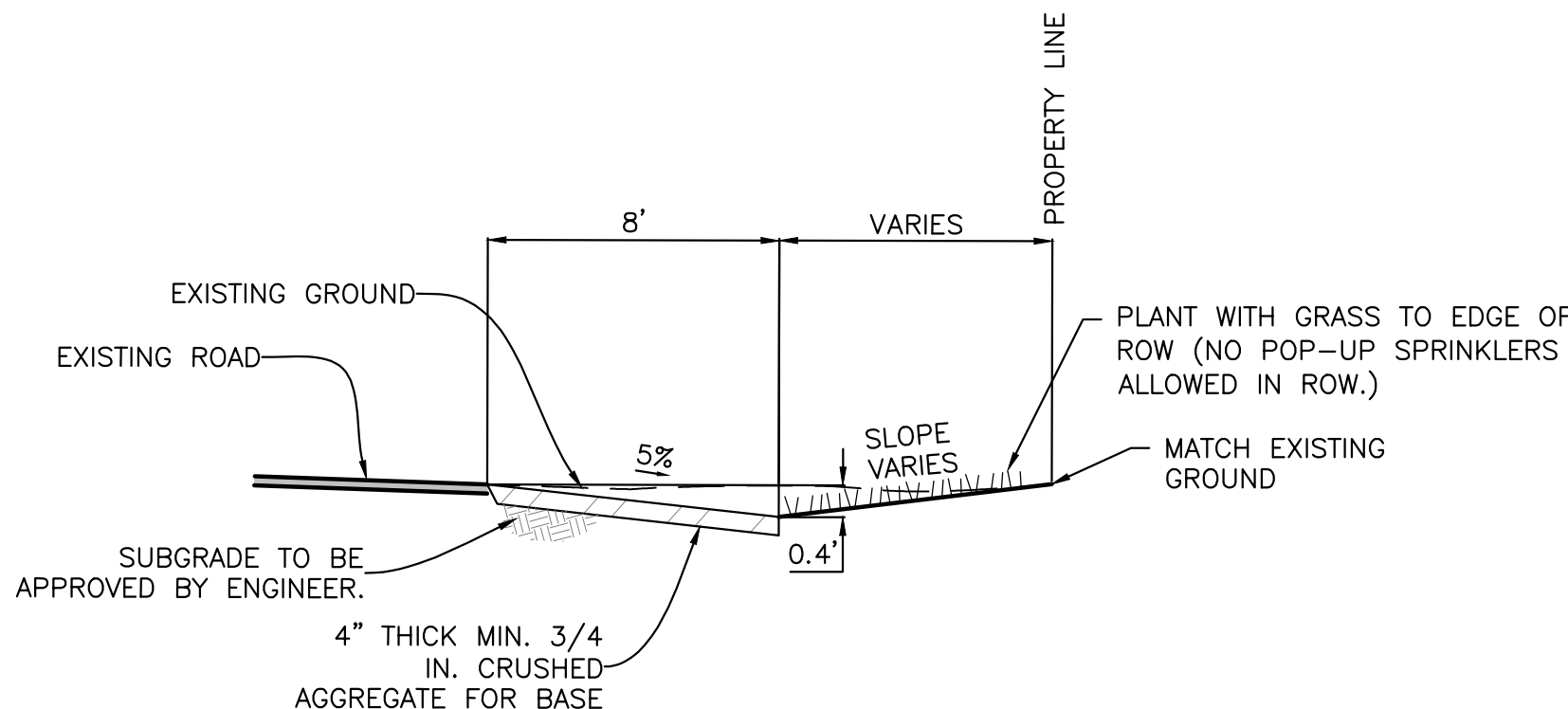


#### NOTES:

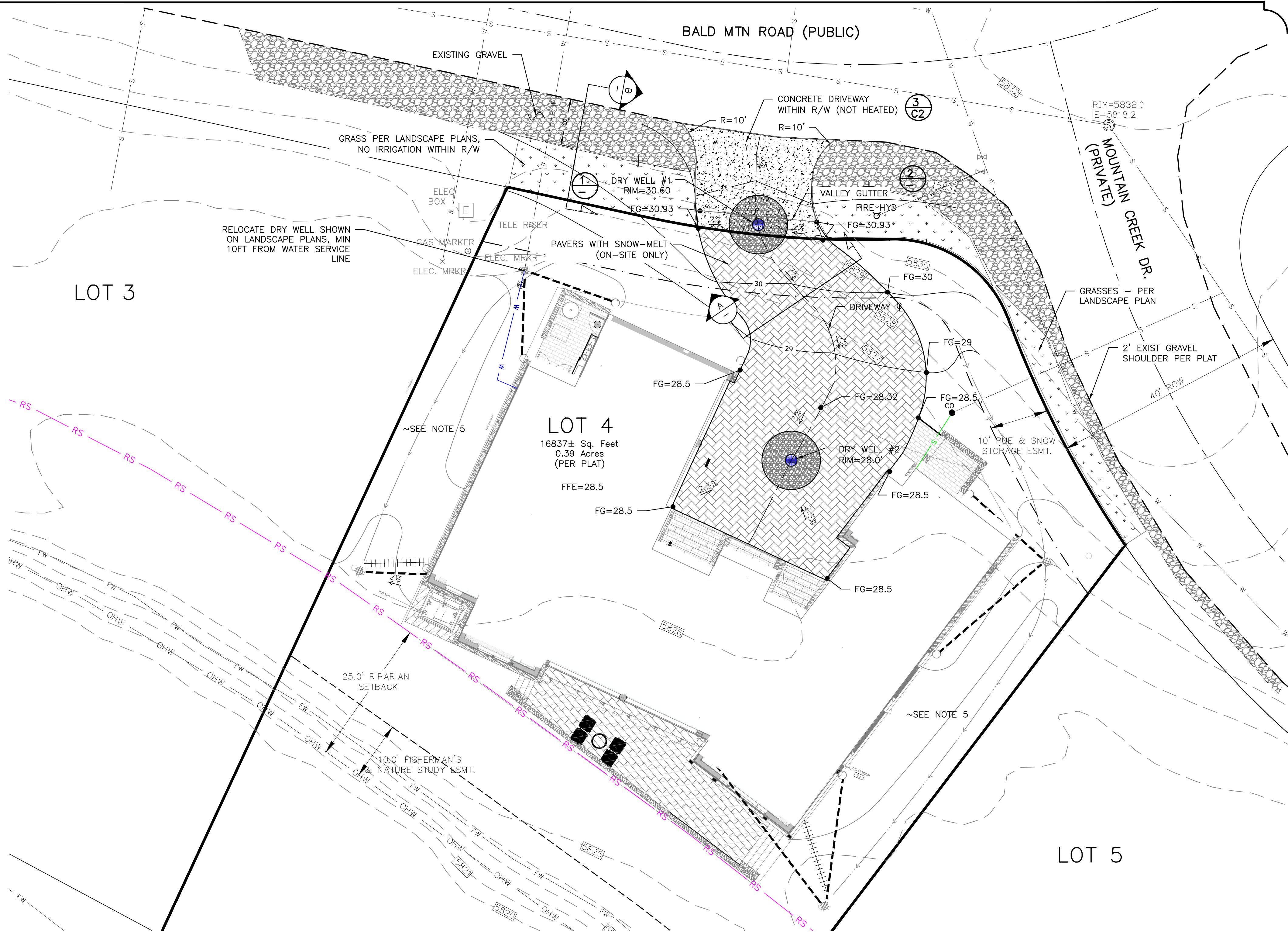
1. COMPACT DRIVEWAY SUBGRADE AND ALL STRUCTURAL FILL MATERIAL TO AT LEAST 95% OF THE MAXIMUM DENSITY OF EACH MATERIAL ACCORDING TO STANDARD PROCTOR ASTM D-698.

DRIVEWAY SECTION (PAVERS & SNOW-MELT ON-SITE) (A)

NOT TO SCALE



SHOULDER SECTION (B)  
NOT TO SCALE

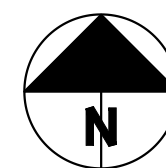


#### LEGEND

- |                                       |     |
|---------------------------------------|-----|
| PROPERTY LINE                         | --- |
| ADJOINING PROPERTY LINE               | --- |
| CENTERLINE                            | --- |
| SEWER                                 | S   |
| SEWER MANHOLE                         | ⊙   |
| SEWER CLEANOUT                        | ⊙   |
| WATER                                 | W   |
| WATER METER                           | ⊙   |
| CURB STOP                             | ⊙   |
| FIRE HYDRANT                          | ⊙   |
| GAS                                   | G   |
| POWER                                 | --- |
| TELEPHONE                             | --- |
| EXISTING CONTOUR                      | --- |
| PROPOSED CONTOUR                      | --- |
| 1% ANNUAL CHANCE FLOODLINE--FEMA 2010 | --- |
| FLOW LINE                             | --- |
| DRYWELL                               | ⊙   |
| LANDSCAPE DRYWELL                     | ⊙   |
| STORM DRAIN PIPE                      | --- |
| ASPHALT PAVEMENT                      | --- |
| FG                                    | --- |
| EG                                    | --- |
| GB                                    | --- |
| ME                                    | --- |
| FINISHED GRADE                        | --- |
| EXISTING GROUND                       | --- |
| GRADE BREAK                           | --- |
| MATCH EXISTING                        | --- |

#### PLAN

0' 10' 20' 40'  
SCALE IN FEET



#### GENERAL NOTES

1. CONTRACTOR SHALL FIELD VERIFY LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING CONSTRUCTION. ANY CONFLICT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
2. CONTRACTOR SHALL NOTIFY DIGLINE (1-800-342-1585) AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES ENCOUNTERED DURING CONSTRUCTION.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL DURING THE CONSTRUCTION OF ALL ITEMS HEREON. DUST CONTROL SHALL BE CONTINUOUS DURING CONSTRUCTION, 24 HOURS PER DAY 7 DAYS PER WEEK.
4. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM THE HOUSE.
5. REFER TO LANDSCAPE PLANS FOR ALL ON-SITE GRADING AND DRAINAGE OTHER THAN DRIVEWAY.
6. DRIVEWAY SLOPE SHALL NOT EXCEED 7%.

REVISIONS	NO.	DESCRIPTION	DATE	BY
	1			



PREPARED BY:  
BENCHMARK ASSOCIATES, P.A.  
P.O. BOX 733 100 BELL DRIVE  
KETCHUM, IDAHO 83340  
(208) 726-9512  
FAX 726-9514  
WEB: WWW.BMA5B.COM  
MAIL: WWW.BMA5B.COM

## GRADING & DRAINAGE PLAN

WARM SPRINGS RANCH LOT 4  
T4N, R17E, SEC 12, B.M., KETCHUM, IDAHO

PREPARED FOR: MAGLEBY

DRAWN BY: SLS  
DESIGNED BY: SLS  
CHECKED BY: PLJ  
DATE: 8/16/2022  
PROJECT NO.: 22128

DRAWING NO.

C1