



**City of Ketchum  
Planning & Building**

**STAFF REPORT  
KETCHUM PLANNING AND ZONING COMMISSION  
MEETING OF NOVEMBER 9, 2021**

- PROJECT:** Moseley Residence
- APPLICATION TYPE:** Design Review (Underground Structure Setback Encroachment)
- REPRESENTATIVE:** Aaron Belzer, Farmer Payne Architects
- OWNER:** Colin Moseley
- LOCATION:** 119 Sage Road (Warm Springs Village 4th Addition: Block 2: Lot 9)
- ZONING:** General Residential Low Density (GR-L)
- OVERLAY:** Avalanche
- NOTICE:** A public hearing notice for the project was mailed to all owners of property within 300 feet of the project site on October 27<sup>th</sup>, 2021. The public hearing notice was published in the Idaho Mountain Express the on October 27<sup>th</sup>, 2021.

**PROJECT BACKGROUND**

The applicant submitted a building permit application for the construction of a new single-family residence and associated site improvements, including a pool, located at 119 Sage Road on April 6<sup>th</sup>, 2021. The project plans did not comply with Ketchum Municipal Code as noncompliant features encroached within the 15-foot required setback from front property line. The code compliance issue was flagged by the Planning Department and communicated to the contractor and architect on May 14<sup>th</sup>, June 22<sup>nd</sup>, July 1<sup>st</sup>, August 26<sup>th</sup>, and September 13<sup>th</sup>. The revised plans submitted by the applicant failed to address the code violation. The applicant started construction without an approved building permit (Figure 1). The Building Official issued a Stop Work Order for the project on August 9<sup>th</sup>, 2021.



Figure 1: Picture of Project Site Taken 8/9/21

## ACTIONS BEFORE PLANNING AND ZONING COMMISSION

In order to issue a building permit for the proposed project, the project must comply with the Zoning Ordinance. There are two outstanding compliance issues. The first is the building foundation/structure encroaching into the front yard setback (Figure 2). Subject to Design Review approval, subterranean encroachments may be approved by the Planning and Zoning Commission. The second issue is the placement of an above-grade wall with a structural foundation and permanent stairs within the front setback area. The Commission is being asked to review the Design Review application for the subterranean encroachments and separately make a determination if the above-grade wall and stairs are considered permanent, structural elements that may not be located in the setback, or if the wall and stairs are landscape features that can be removed in the future and that may be located in the required setback.

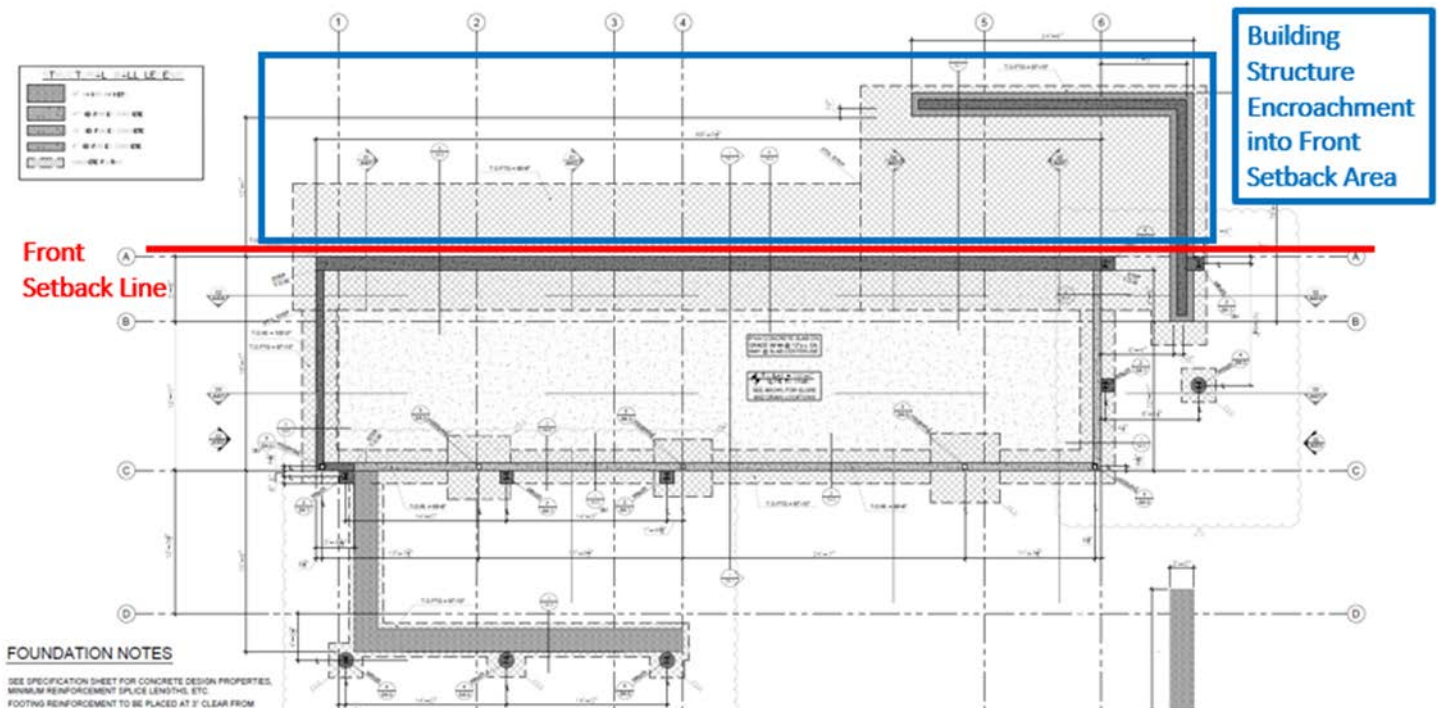


Figure 2: Foundation Plan (Sheet S2.0)

## PROPOSED PROJECT

The applicant submitted revised project plans on October 27<sup>th</sup>, 2021 showing their desired design and configuration for the residential development (Exhibit B). The site plan indicates stairs and a steel-clad, concrete wall encroaching within the front setback area. The stairs connect the driveway access along Sage Road to the front door of the home. The grade change from Sage Road to the residence's finished floor elevation is approximately 6 feet. The stairwell is comprised of 10 stair risers and includes a handrail.

The structural details on Sheet S4.1 show that the concrete wall is 9 feet-2 inches in height from the bottom of the footing to the top of the wall. As noted in the applicant's letter (Exhibit A), the wall has been engineered to withstand the avalanche forces that may impact the property. The foundation plan on Sheet S2.0 (See Figure 2) shows that the avalanche wall and building foundation footings are connected.

## OUTSTANDING COMPLIANCE ISSUE NO. 1: UNDERGROUND STRUCTURE ENCROACHMENT

As indicated on Sheet S2.0 (See Figure 2), the home's building footing encroaches into the front setback area. Below-grade structures may encroach into required setbacks subject to the standards specified in Ketchum Municipal Code §17.128.020.K.

- K. *Encroachments of below grade structures into required setbacks are permitted provided all of the following standards are met:*
1. *Proposed encroachments shall receive design review approval from the Planning and Zoning Commission; and*
  2. *Below grade encroachments into the riparian setback are not permitted; and*
  3. *Construction activity shall not occur on adjacent properties; and*
  4. *Encroachment of below grade structures into required setbacks shall not conflict with any applicable easements, existing underground structures, sensitive ecological areas, soil stability, drainage, other sections of this Code or other regulating codes such as adopted International Code Council Codes, or other site features concerning health, safety, and welfare; and*
  5. *Egress openings required by adopted International Code Council Codes shall not encroach in required setbacks; and*
  6. *Below grade encroachments into required setbacks shall be located entirely below natural, existing, or finished grade, whichever is lowest; and*
  7. *The ground above below grade encroachments within required setbacks that is not otherwise covered by permitted decks, fences, hedges and walls shall be suitably landscaped in keeping with the general character of the surrounding neighborhood or as otherwise required by this Code.*
    - a. *Required landscape plans shall address the compatibility of proposed landscaping with the below grade structure, including any necessary irrigation; and*
  8. *Below grade encroachments into required setbacks shall not interfere with drainage.*
    - a. *Required drainage plans shall address the ability of drainage to be managed on the subject property with respect to underground encroachments into required setbacks.*

The building footing meets these required standards. The below-grade structure does not conflict with any applicable easements, sensitive ecological areas, or drainage. The building footing is located entirely underground. Staff recommends approval of the underground encroachment.

## OUTSTANDING COMPLIANCE ISSUE NO. 2: PERMANENT STRUCTURES IN FRONT SETBACK

### Ketchum Municipal Code: Setback Requirements

Ketchum Municipal Code §17.08.020 defines setback as the minimum horizontal distance between a specified lot line (front, side, rear), measured along a straight line and at a right angle to such lot line, and the nearest point of an above-grade or below-grade building or structure.

### *Ketchum Municipal Code §17.08.020: Definitions*

#### BUILDING:

- A. Any permanent structure built for the shelter or enclosure of persons, animals, chattels or property of any kind, which:
  1. Is permanently affixed to the land; and

2. Has one or more floors and a roof.
- B. Any appendages to said structure, such as decks, roof overhangs and porte-cocheres, are part of said building for purposes of determining building coverage, setbacks or other regulations unless otherwise specified.

STRUCTURE: Anything permanently constructed in or on the ground, or over the water, including gas or liquid storage tank that is principally above ground and manufactured homes; excluding fences less than six feet in height, decks less than 30 inches above grade, paved areas, and structural or nonstructural fill.

*Ketchum Municipal Code §17.128.020: Supplementary Yard Regulations*

Supplementary yard regulations specified in Ketchum Municipal Code §17.128.020 provide allowances for certain features to extend into required setback areas. For example, cornices, canopies, eaves, chimney chases, or similar architectural features may extend into a required yard not more than 3 feet and decks less than 30 inches in height from existing grade may be constructed to the property line.

All structures are subject to setbacks. Structures include anything permanently constructed in or on the ground (KMC §17.08.020). The only elements not qualified as structures are fences less than 6 feet in height, decks less than 30 inches above grade, paved areas, and structural or nonstructural fill (KMC §17.08.020).

Wall & Stairs

Staff has qualified the avalanche wall and stairs as permanent structures subject to setbacks as these features are permanently constructed in the ground. The zoning code does allow features like fences that are not permanent within setbacks. The wall footing is connected to the building footing. The wall is an appendage to the principal residential structure and is subject to setbacks pursuant to Ketchum Municipal Code §17.08.020.

**STAFF RECOMMENDATION**

*Outstanding Compliance Issue No. 1: Underground Structure Encroachment*

Staff recommends that the Commission approve the Design Review application for the subterranean building structure.

*Outstanding Compliance Issue No. 2: Permanent Structures in Front Setback*

Staff recommends the Commission make a determination if the above-grade wall and stairs are considered permanent, structural element that may not be located in the setback, or if the wall and stairs are landscape features that can be removed in the future and that may be located in the required setback.

**EXHIBITS:**

- A. Applicant Letter
- B. Moseley Residence Project Plans

Exhibit A  
Applicant Letter

To Whom it may concern,

The point of the following letter is to bring the commission up to speed on the project, and to provide some context of the Permitting process to date.

After several meetings with the Planning and Zoning Department and multiple rounds of comments, we are presenting to you our design for 119 Sage Rd. A small structure that sits towards the front of the property to allow for ample yard space to the south. The issue at hand is the encroachment of the building footing into the Front Setback, and the design of a landscape wall that is also within the Front Setback. I've split these issues into 2 different topics because despite them having a connected footing, we believe they should be treated as 2 separate issues. I've tried to tackle each of those below.

### 1. Building Footing encroachment into Building Setback:

As per our previous conversations with the city, We have always measured Setbacks to the face of wall and never to edge of foundation footing. In all of our combined experience as a design/construction team in Ketchum, A footing encroachment into a setback has not been a barrier to approval and has not needed special approval from P&Z. This is true not only for the City of Ketchum, but for all of the various jurisdictions we have worked in.

I've included several precedent projects that show this condition. These are a few of the projects that the design team has completed in the last couple of years within the City of Ketchum that show a version of this condition. Again, these were all approved without needing special approval through P&Z. We hope these clearly demonstrate our argument.

#### FPA, MSDS, BYLA, & HALL BROWN

-116 Sage Rd (*Footings for Avalanche wall encroach into setbacks*)

#### MSDS

-124 Sage Rd (*Footing for house is within setback, site wall connected to house also within setback*)

-221 Sage Rd (*Footing for avalanche wall is within setback*)

#### BYLA

-411 Leadville Ave, Ketchum, ID (*4' tall wall and footing within front setback*)

-671 Alpine Lane, Ketchum, ID (*4' tall wall and footing within front setback*)

#### HALL BROWN

-206 Fox Run Rd (*Site walls and Architectural footings all encroach within side and front setbacks*)

-This project was approved Pre-2018 and completed in 2018, but still shows that historically, footings and site-walls have been allowed with setbacks.

### 2. Site wall with Connected Footing:

The existing topography of the site falls steeply away from Sage Rd, and the intention of the site wall is to maintain the current grading within the R.O.W. while providing **at grade** landscape steps that lead you down to the Finish Floor Elevation. We are not doing any excavation to accomplish this design.

The Site wall has been documented by BYLA to conform to all city requirements for landscape site walls. The design consists of a concrete wall clad in steel that is engineered for the avalanche forces that are present on site. To clarify, the wall itself is not an avalanche protection wall per se, but is engineered so that if an avalanche does occur, the wall does not become a projectile as part of the avalanche. This is standard practice for site walls within Avalanche Zones as Craig Maxwell will talk about this at the meeting.

One other point that has been brought up through this process, is the need for site or landscape walls to be engineered with footings. Site walls, whether they are in the Avalanche zone or not, require properly engineered footings. Several of the precedent projects I listed above also have this condition.

While the Footings are connected for building efficiency the site wall and the Primary building structure are completely structurally independent of one another. The footings are only connected to simplify the concrete formwork and pour. Therefore the site wall could be removed by a future owner with no impact to the engineering of the Building.

Thank you for taking the time to review our design.

Best,

Aaron Belzer  
Associate

Sun Valley | 208. 214. 5155  
Jackson Hole | 307. 264. 0080  
Louisiana | 318. 383. 3100

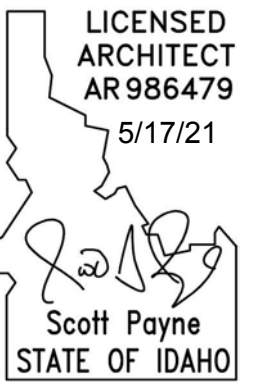
Exhibit B  
Moseley Residence  
Project Plans

Jackson Hole  
260 West Broadway, Suite A  
Jackson, WY 83301  
T.307.264.0080

Sun Valley  
351 N Leadville Ave, Suite 204  
Ketchum, ID 83340  
T.208.214.5155

Louisiana  
910 Pierremont Rd, Suite 410  
Shreveport, LA 71106  
T.318.383.3100

ARCHITECT STAMP:



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MPH RESIDENCE  
119 SAGE RD  
KETCHUM, ID. 83340

DATE: 5/17/21

PROJECT #: SV2004

DRAWN: AB / CB

ISSUE:

CD Set 4/02/21

Revision 01 4/19/21

Revision 02 4/29/21

A001

Cover





**PROJECT ADDRESS**

119 Sage Rd  
Ketchum, ID. 83340

LEGAL ADDRESS:  
Warm Springs Village  
4th Add, Lot 9, BLK 2

PARCEL:  
RPK06100020090



**PROJECT DIRECTORY**

- Owner:** CM & MPM Revocable Trust  
PO Box 21866  
Seattle, WA. 98111
- Architect:** Farmer Payne Architects  
Scott Payne, Principal, AIA, LEED AP  
PO Box 869  
Ketchum, ID. 83340  
t: 208.214.5155  
e: scott@farmerpaynearchitects.com
- Contractor:** Hall Brown Builders LLC  
Chad Brown, Principal  
PO Box 2949  
Ketchum, ID. 83340  
t: 208.726.2440  
e: chad@hallbrown.com
- Structural Engineer:** Maxwell Structural Design Studio  
Craig Maxwell  
PO Box 1991  
Ketchum, ID. 83340  
t: 208.721.2171  
e: craig@maxwellsds.com
- Landscape Architect:** Ben Young Landscape Architects  
Ashley Boand  
PO Box 594  
Ketchum, ID. 83340  
t: 208.726.5907  
e: ben@byla.us
- Energy Consultant:** John Reuter Greenworks  
John Reuter  
PO Box 4714  
Ketchum, ID. 83340  
t: 208.721.2922  
e: jreuter@gmx.com
- Avalanche Consultant:** Alpine Enterprises  
Bruce Smith  
PO Box 2037  
Ketchum, ID. 83340  
t: 208-720-3042  
e: bsmith@alpineenterprisesinc.com

**GENERAL NOTES**

01. All work shall be done in accordance with all applicable, currently adopted federal, state, and local codes and requirements to include, but not limited to the International Building Code, the International Residential Code, the National Electric Code, the Uniform Plumbing Code, and the Uniform Mechanical Code.
02. All subcontractors shall inspect the site before beginning work and identify any conflicts or inconsistencies between the Contract Documents and the existing conditions.
03. All subcontractors shall notify the Owner and the Architect of conditions which require deviation from constructing the work as indicated in the Contract Documents.
04. Do not scale drawings. Large scale drawings take precedence over smaller scale drawings. Contact Architect for any undocumented dimensions or clarification of any dimensional discrepancies.
05. The General Contractor shall submit all proposed substitutions in writing to the Owner and the Architect for approval with samples, cost analysis, and sufficient information for evaluation. If a revision or substitution is made without the Owners' written approval that does not conform to the Contract Documents, it will relieve the Architect and Owner of any liability from the resulting aesthetic effect, subsequent failure, property damage, or personal injury.
07. All subcontractors shall perform high quality, professional work. The work of each trade shall meet or exceed all quality standards published by that trade.
08. All subcontractors shall comply with the rules of the City of Ketchum and the direction of the Owner for construction site facilities, use of premises, access to the site, and trash removal.
09. All work vehicles must be parked within areas indicated on Construction Activity Plan
10. It is the intent of these plans and specifications to describe a complete and finished project other than items marked NIC (not in Contract). Errors and omissions that may occur in contract documents shall be brought to the attention of the Architect. The General Contractor will be held responsible for the results of any errors, discrepancies, or omissions which the General Contractor fails to notify the Architect before construction or fabrication of the work.
11. The General Contractor and Subcontractors shall verify all dimensions and job conditions at the job site sufficiently in advance of work to be performed to assure the orderly progress of the work.
12. The presence of the architect on the job site does not imply approval of any work. The General Contractor must call specific items to the attention of the Architect if he/ she wishes to obtain the Architects approval.
13. The General Contractor shall protect all newly installed materials, finishes, and assemblies from damage throughout construction.
14. The General Contractor shall provide adequate and proper dry storage and handling of all building materials, supplies and finishes in accordance with the manufacturer's recommendations.
15. The General Contractor shall submit shop drawings for windows, doors, millwork, cabinetry, decorative steel elements, etc as wells as samples for all finishes. All Submittals shall be approved by Architect before installed

**GENERAL SITE CONDITIONS**

01. The General Contractor shall coordinate with the Architect for the final building location, and driveway layout.
02. The General Contractor shall dispose of all excess excavated material.
03. The General Contractor shall maintain the site throughout the course of the project by: repairing all earth related scarring resulting from equipment, spills, etc.
04. The General Contractor is responsible for the coordination and installation of all necessary site utilities including but not limited to power, telephone, water, sanitary sewer, gas, cable, etc. The General Contractor shall fill in and compact all trenches cut to install utilities on the site and verify all locate of meters, cans, tanks, lines with the Architect.

**CODE ANALYSIS**

2018 International Building and Residential Code

Construction Type	Type V
Number of Stories	1
Building Height	15'-5 1/2"
Zoning:	GR-L
Parking Spaces:	2
No Proposed Fire Sprinklers	

**SQUARE FOOTAGE TABULATIONS**

**PROPOSED SQUARE FOOTAGE**

Main Level Habitable:	1,068 sf
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**BUILDING COVERAGE:**

Lot Area:	10,031 sf
Building Coverage:	1,068 sf
Building Coverage Percentage:	10.6%
Building Coverage Percentage: (Allowed)	35%

**SETBACKS**

	REQUIRED:	PROPOSED: *
Front:	15'-0"	15'-1 5/8"
Side:	5'-0" (Based on Bldg Ht)	7'-6 5/8"
Side:	5'-0" (Based on Bldg Ht)	8'-2 3/8"
Rear:	15'-0"	16'-3"

**DRAWING INDEX**

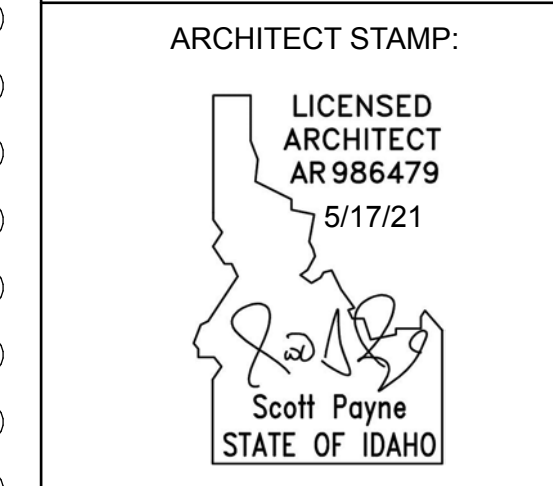
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A002	General Notes and Drawing Index
A101	Perspectives
A102	Perspectives
A103	Perspectives
A107	Material Board
<b>CIVIL</b>	
C-1	Survey
C-2	Grading & Drainage Plan Details
<b>LANDSCAPE</b>	
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L2.0	Site Plan
L3.0	Grading Plan
L3.1	Pool/Spa & Wall Layout
L3.2	Patio Layout
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L4.1	Leisure Pool Evaluation Report
L5.0	Lighting & Utility Plan
L5.1	Fixture Cut Sheets
L6.0	Landscape Schedule
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A200	Architectural Site Plan
A200A	Recessed Slab Plan
A201	Main Level Plan - Noted
A202	Main Level Plan - Dimensioned
A203	Main Level - RCP
A204	Roof Plan
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S2.0	Foundation Plan
S3.0	Roof Framing
S4.0	Details
S4.1	Details
S5.0	Details
S5.1	Details



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260 West Broadway, Suite A  
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 119 SAGE RD  
 KETCHUM, ID. 83340

DATE:	5/17/21
PROJECT #:	SV2004
DRAWN:	AB / CB
ISSUE:	
CD Set	4/02/21
Revision 01	4/19/21
Revision 02	4/29/21

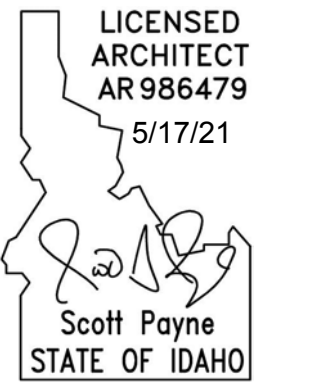
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General Notes & DWG Index

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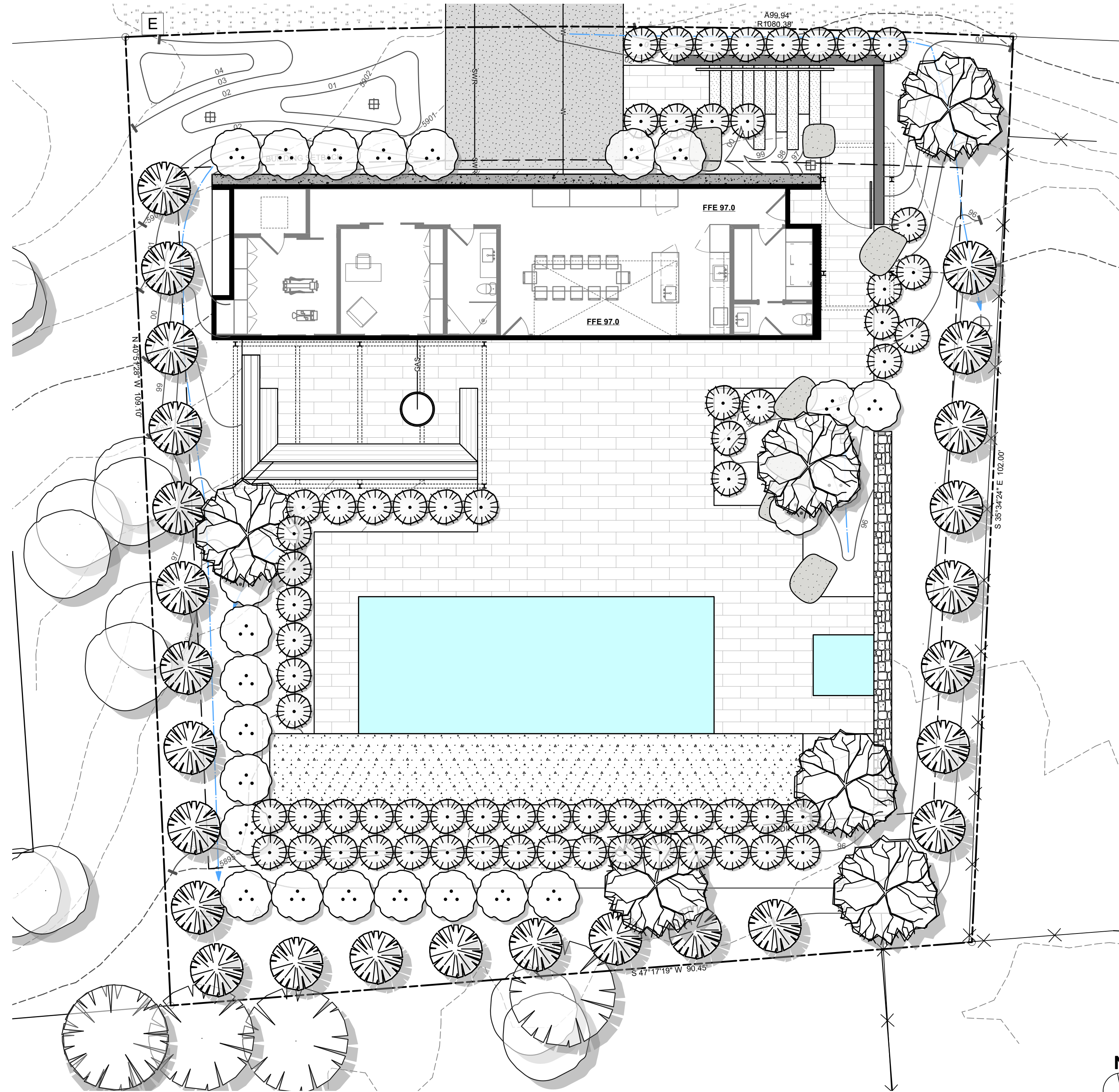
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Perspectives



# MPH RESIDENCE

## 119 SAGE | KETCHUM, ID 83340



### SHEET INDEX

SHEET TITLE	SHEET NO.
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GRADING PLAN	L3.0
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PATIO LAYOUT	L3.2
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DETAILS   LEISURE POOL EVALUATION REPORT	L4.1
LIGHTING + UTILITY PLAN	L5.0
FIXTURE CUT SHEETS	L5.1
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### PROJECT INFORMATION

**OWNER**  
COLIN AND MARTHA MOSELEY

**PROJECT ADDRESS**  
119 SAGE ROAD KETCHUM, ID 83340

**LEGAL DESCRIPTION**  
WARM SPRINGS VILLAGE 4TH ADD LOT 9 BLK 2

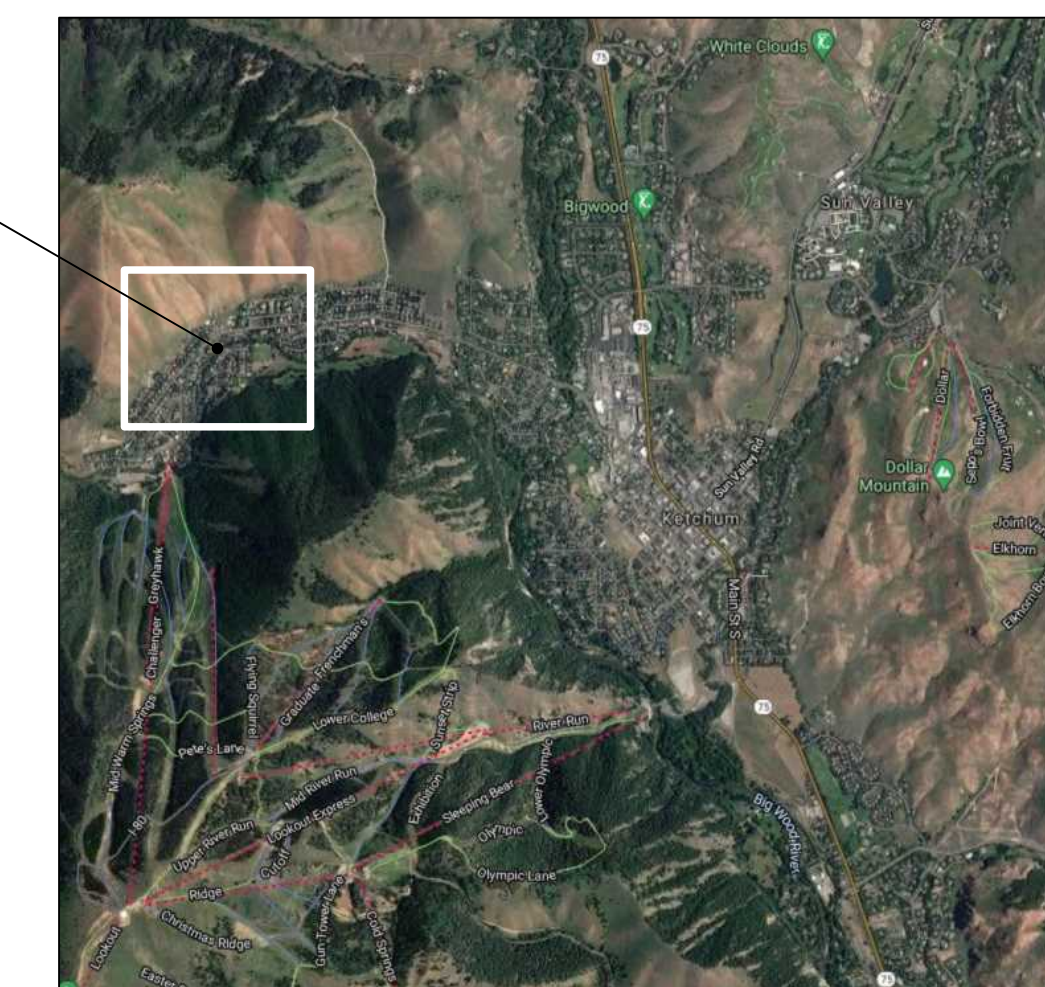
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RPK06100020090

**ARCHITECT OF RECORD**  
FARMER PAYNE | ARCHITECTS  
351 N LEADVILLE AVE, UNIT 204  
KETCHUM, ID 83340

**LANDSCAPE ARCHITECT**  
BYLA  
323 LEWIS ST. N.  
PO BOX 594  
KETCHUM, ID 83340

**CONTRACTOR/BUILDER**  
BYLA  
323 LEWIS ST. N.  
PO BOX 594  
KETCHUM, ID 83340

### VICINITY MAP



119 SAGE ROAD  
(WARM SPRINGS)

### SITE LOCATOR



119 SAGE ROAD  
(WARM SPRINGS)



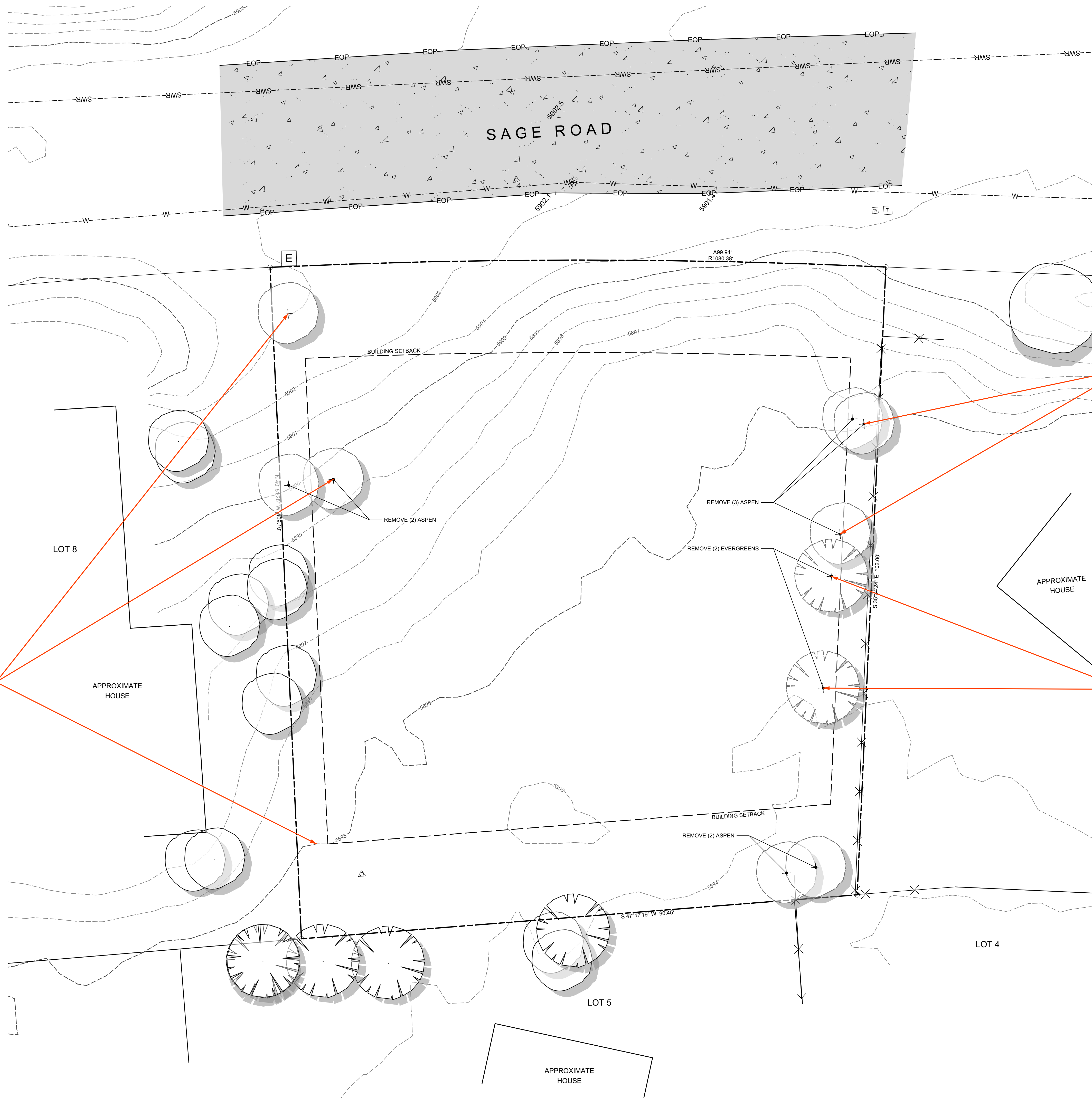
**FOR BUILDING PERMIT**  
**MPH RESIDENCE**  
**119 SAGE ROAD | KETCHUM, ID 83340**

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DRAWN BY: AB  
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PLOT DATE: 6/4/21 11:44:29

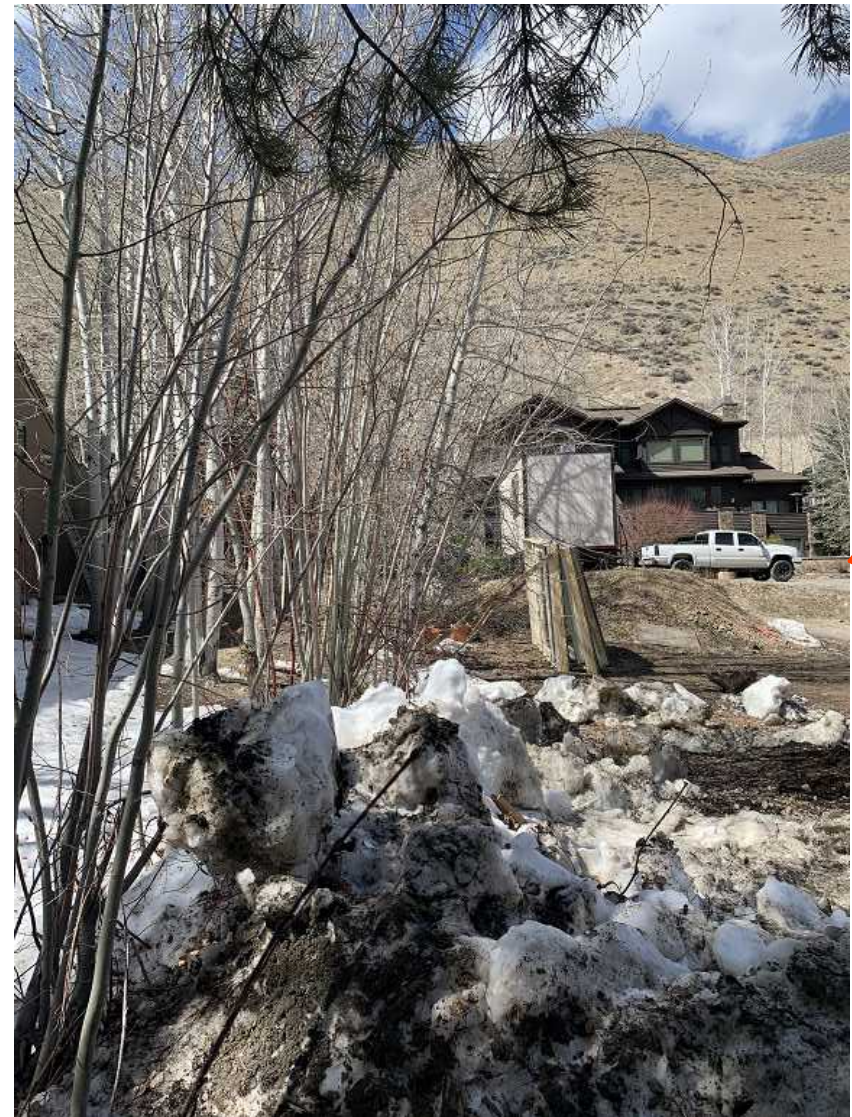
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SHEET NO.

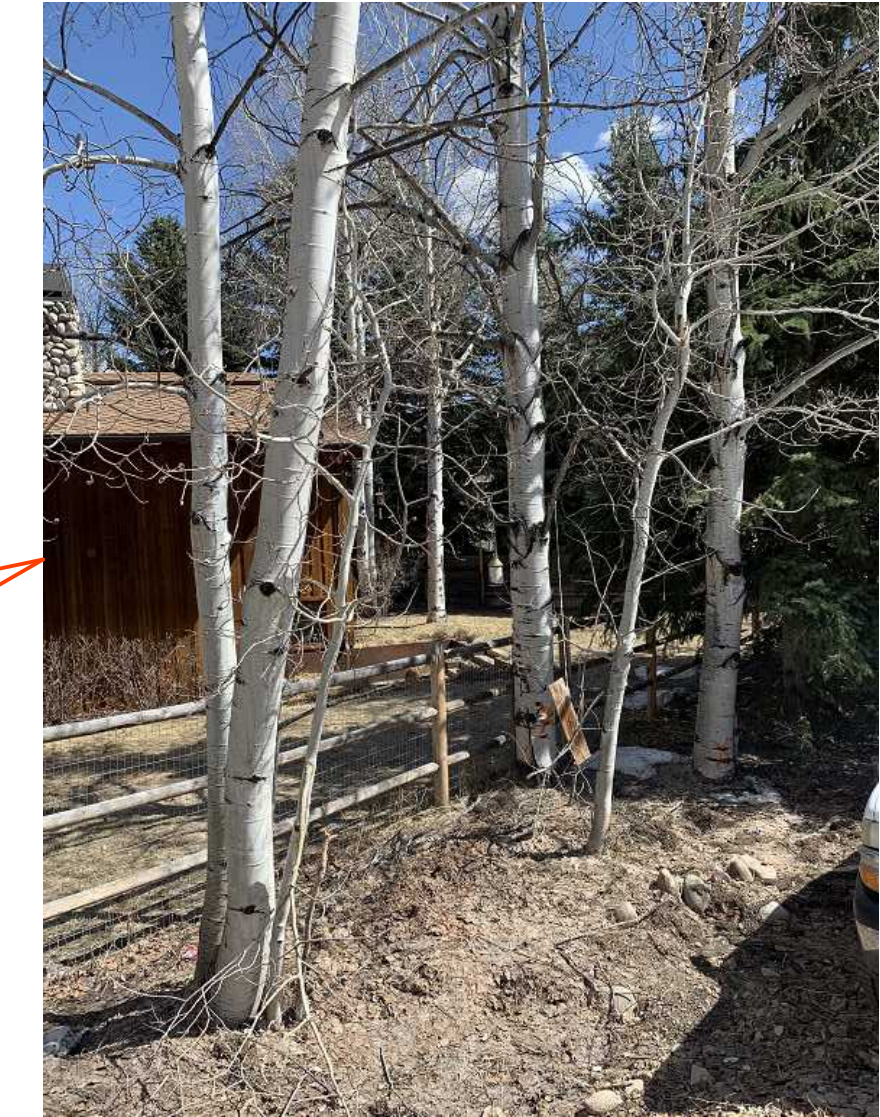
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SHEET LEGEND	
SYMBOL	DESCRIPTION
—	Property Line
- - - -	Setbacks / Easements
- - - - XXXX - - - -	Existing Contours
XXXX XXXX	Proposed Contours
— SWR —	Existing Nearby Utility
⊙ ⊙	Existing Vegetation
⊕ ⊕	Existing Vegetation to be Removed



REMOVE ALL VEGETATION AT WEST PROPERTY LINE (WITHIN PROJECT PARCEL)



REMOVE ASPEN AT EAST PROPERTY LINE (WITHIN PROJECT PARCEL)



REMOVE SPRUCE AT EAST PROPERTY LINE (WITHIN PROJECT PARCEL)



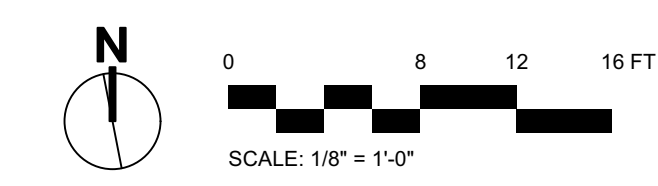
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**MPH RESIDENCE**  
**119 SAGE ROAD | KETCHUM, ID 83340**

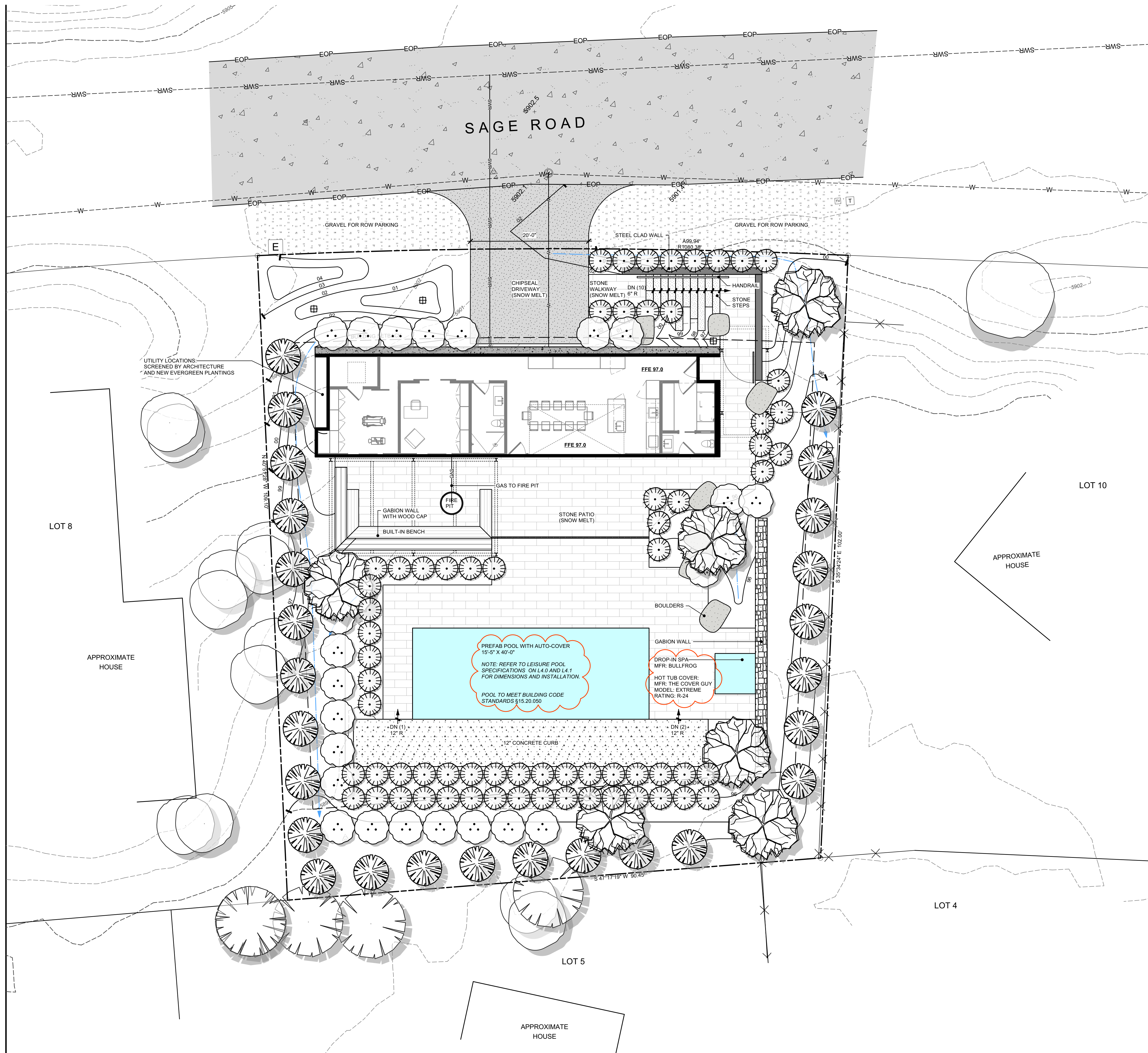
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PROJECT MANAGER: AB  
DRAWN BY: AB  
ISSUE DATE: 4/28/2021  
PLOT DATE: 6/4/21 11:44:31

**TREE REMOVAL PLAN**

SHEET NO.

**L1.0**





SHEET LEGEND	
SYMBOL	DESCRIPTION
---	Property Line
---	Setbacks / Easements
---	Existing Contours
---	Proposed Contours
---	Existing Nearby Utility
○	Existing Vegetation
---	Utility - Gas
---	Utility - Sewer
---	Utility - Water
---	Hardscape - Concrete Curb
---	Hardscape - Cut Stone Pavers
---	Hardscape - Stone Steps
---	Site Wall - Gabion
---	Site Wall - Gabion with Wood Cap
○	Landscape Boulders
○	Landscape - Shrubs
○	Landscape - Trees

**BYLA**  
LANDSCAPE ARCHITECTS

323 Lewis - Ketchum, ID  
(208) 726-5907 • (208) 720-0215  
www.byla.us

ISSUE: 1 4/28/2021 UPDATE THIS  
REVISIONS:

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# FOR BUILDING PERMIT

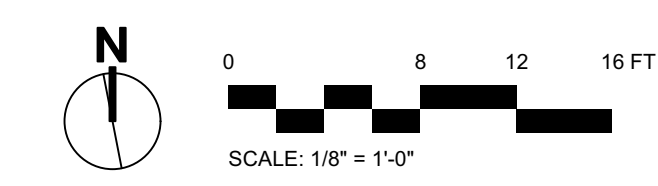
## MPH RESIDENCE

119 SAGE ROAD | KETCHUM, ID 83340

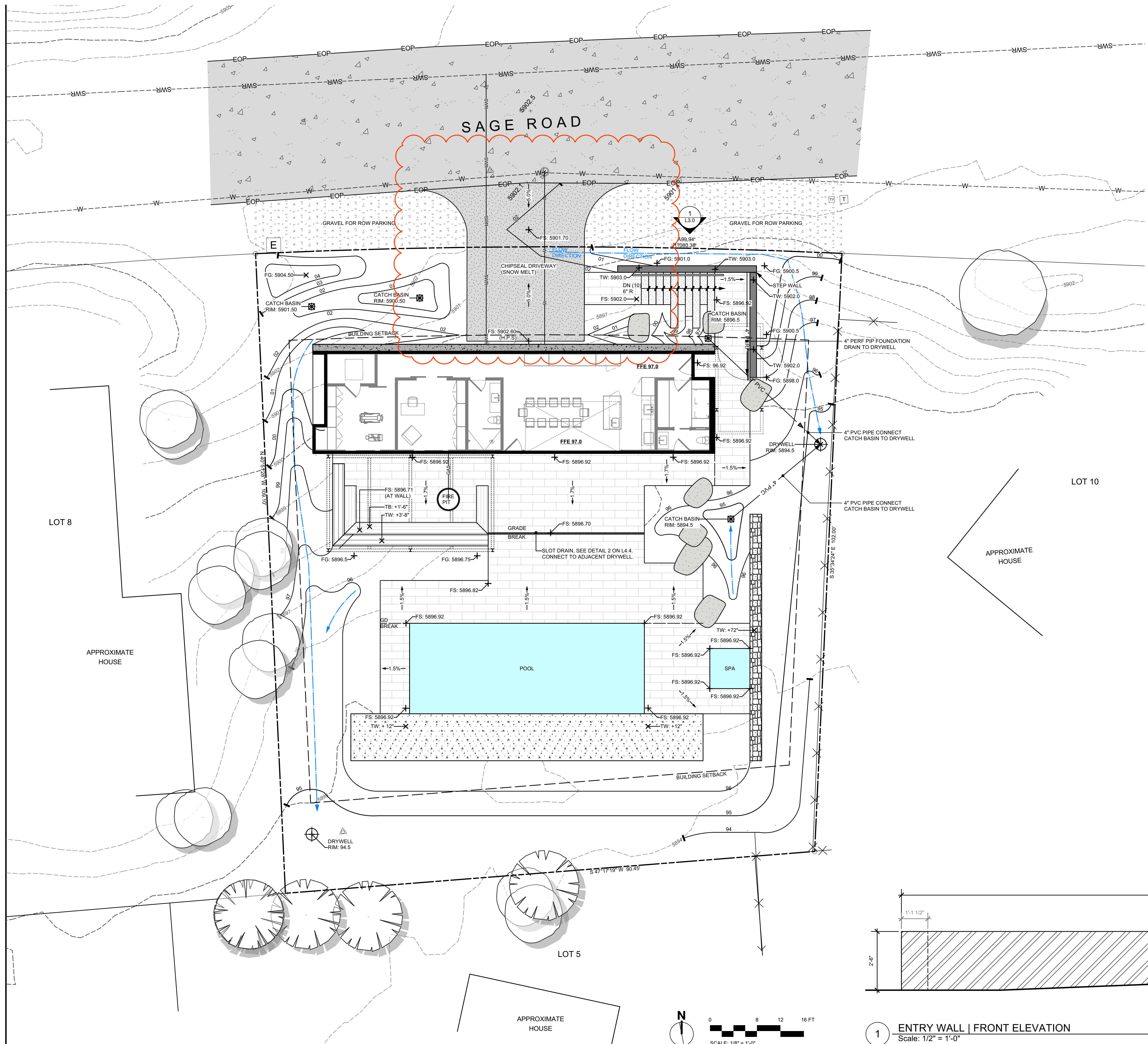
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PROJECT MANAGER: AB  
DRAWN BY: AB  
ISSUE DATE: 4/28/2021  
PLOT DATE: 6/4/21 11:44:32

### SITE PLAN

SHEET NO.



# L2.0

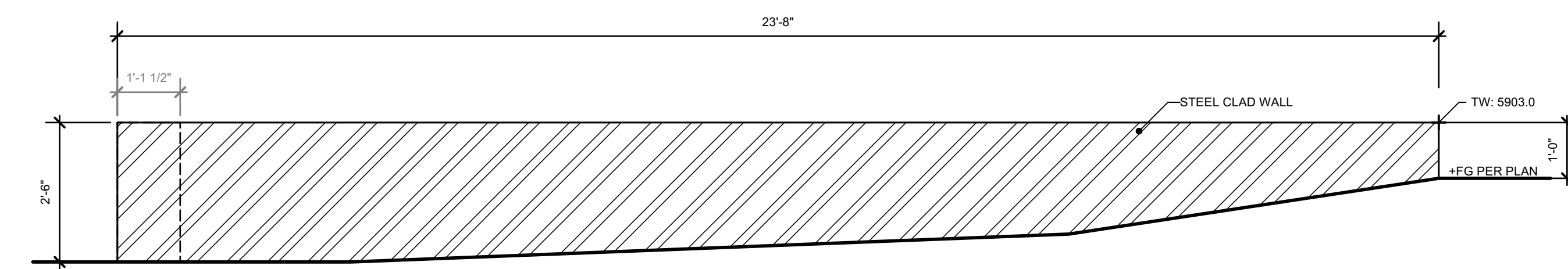


SHEET LEGEND	
SYMBOL	DESCRIPTION
---	Property Line
---	Setbacks / Easements
---	Existing Contours
---	Proposed Contours
---	Existing Nearby Utility
○	Existing Vegetation
▨	Hardscape - Concrete Curb
▨	Hardscape - Cut Stone Pavers
▨	Hardscape - Stone Steps
▨	Site Wall - Gabion
▨	Site Wall - Gabion with Wood Cap
▨	Landscape Boulders

GRADING + DRAINAGE LEGEND	
SYMBOL	DESCRIPTION
⊕	24" Drywell (Cast Iron): 3 Qty.
→	Drainage Direction
↻	Flush Grade Condition
FFE	Finished Floor Elevation
+10.50	Spot Elevation
+HPS	High Point of Swale
FG	Finished Grade
FS	Finished Surface
TW	Top of Wall

**NOTE:**

- FOR FINAL GRADING DRAINAGE PLAN, PLEASE REFER TO CIVIL DRAWINGS C1-C2
- FOR DETAILS, PLEASE REFER TO CIVIL DRAWINGS C1-C2
- FOR FINAL UTILITY LAYOUT/CONNECTIONS, PLEASE REFER TO CIVIL DRAWINGS C1-C2
- STORMWATER RUNOFF TO BE COLLECTED ON SITE THROUGH SWALE AND LANDSCAPE DRAIN SYSTEM. CATCH BASINS AND DRYWELLS, PER CIVIL ENGINEER.



1 ENTRY WALL | FRONT ELEVATION  
Scale: 1/2" = 1'-0"

**NOTE:**  
SHRUBS WILL BE PLANTED IN FRONT OF WALL.  
SEE LANDSCAPE PLAN ON L6.0.



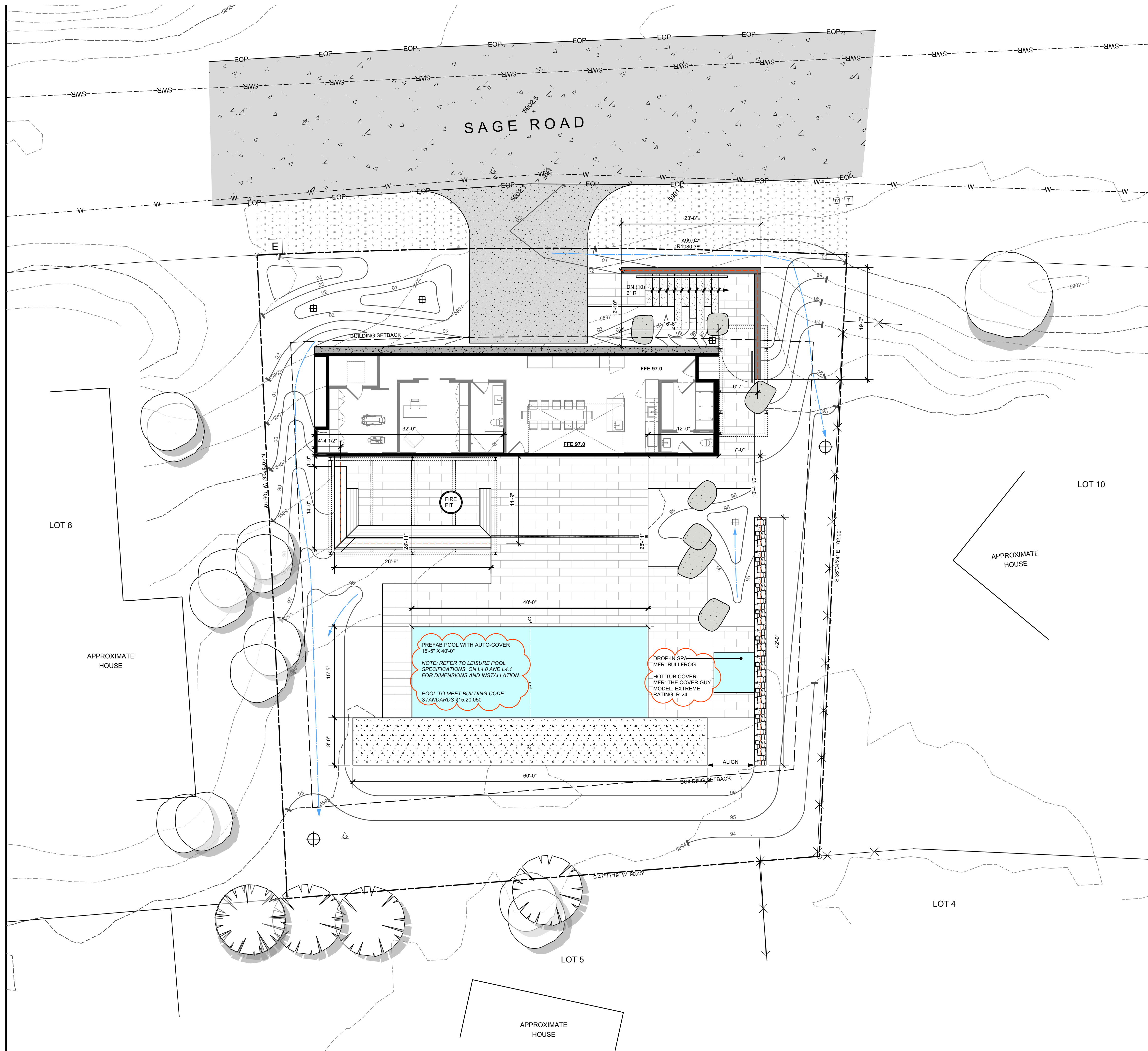
**FOR BUILDING PERMIT**  
**MPH RESIDENCE**  
**119 SAGE ROAD | KETCHUM, ID 83340**

FILENAME: MPH-LEISURE.vwx  
PROJECT MANAGER: AB  
DRAWN BY: AB  
ISSUE DATE: 5/5/2021  
PLOT DATE: 6/4/21 11:44:34

**GRADING PLAN**

SHEET NO.

**L3.0**



SHEET LEGEND	
SYMBOL	DESCRIPTION
---	Property Line
- - - -	Setbacks / Easements
-XXX-	Existing Contours
-XXX-	Proposed Contours
SWR, EOP, etc.	Existing Nearby Utility
⊕, ⊙, etc.	Existing Vegetation
[Pattern]	Hardscape - Concrete Curb
[Pattern]	Hardscape - Cut Stone Pavers
[Pattern]	Hardscape - Stone Steps
[Pattern]	Site Wall - Gabion
[Pattern]	Site Wall - Gabion with Wood Cap
[Symbol]	Landscape Boulders

**NOTE:**  
 1. WALL LAYOUT DIMENSIONS TO CENTER LINE OF WALL  
 2. REFER TO STRUCTURAL ENGINEERS SHEETS FOR FOOTING LAYOUT AND DETAILS

**BYLA**  
 LANDSCAPE ARCHITECTS  
 323 Lewis - Ketchum, ID  
 (208) 726 5907 • (208) 720 0215  
 www.byla.us

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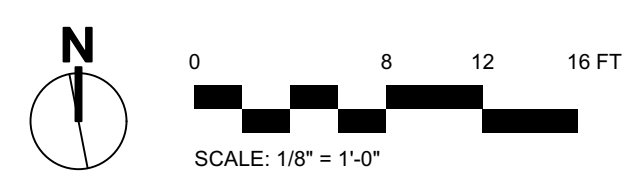
**FOR BUILDING PERMIT**  
**MPH RESIDENCE**  
 119 SAGE ROAD | KETCHUM, ID 83340

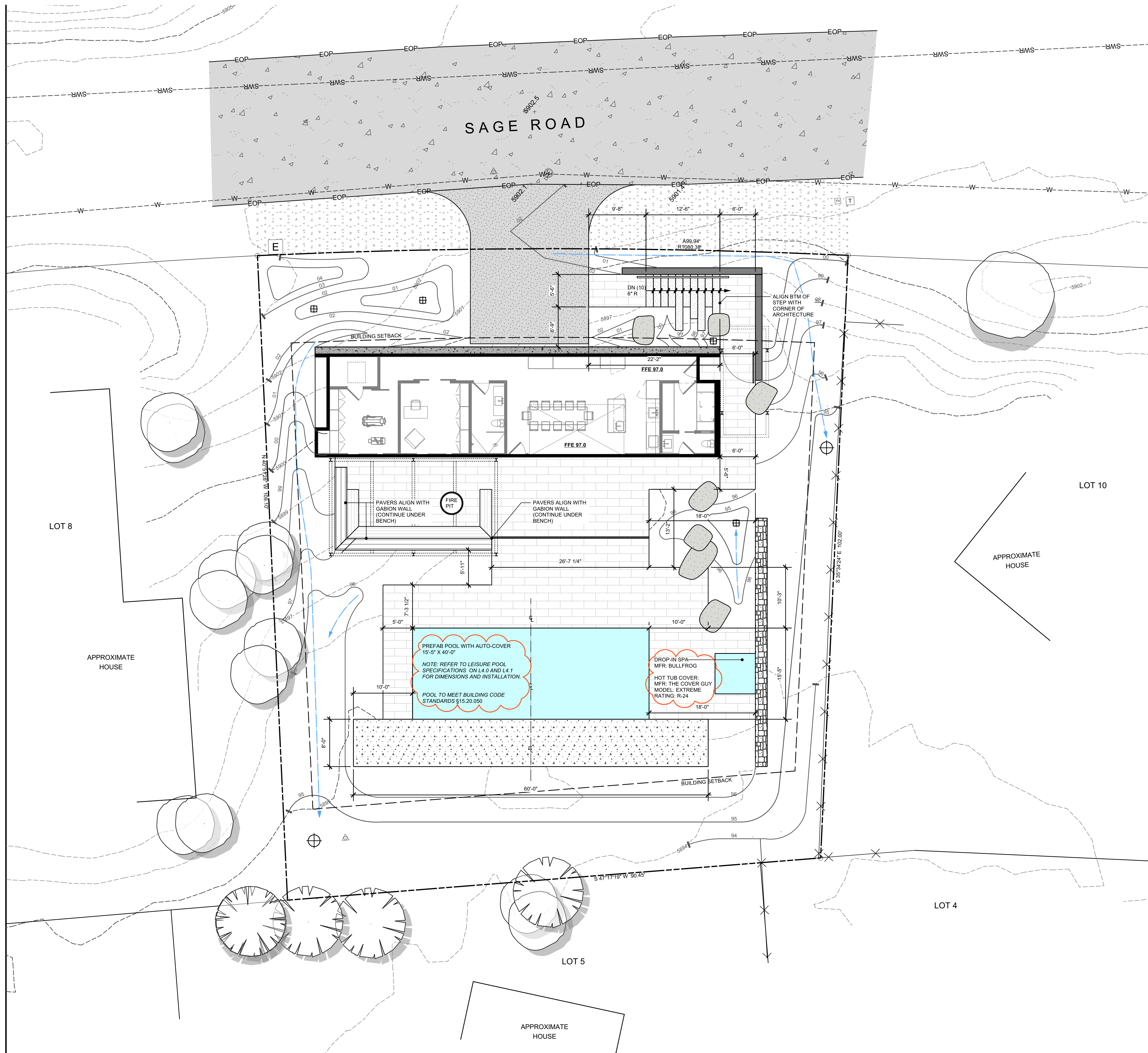
FILENAME: MPH-LEISURE.vwx  
 PROJECT MANAGER: AB  
 DRAWN BY: AB  
 ISSUE DATE: 4/28/2021  
 PLOT DATE: 6/4/21 11:44:34

**POOL/SPA + WALL LAYOUT**

SHEET NO.

**L3.1**





SHEET LEGEND	
SYMBOL	DESCRIPTION
---	Property Line
---	Setbacks / Easements
---	Existing Contours
---	Proposed Contours
---	Existing Nearby Utility
○	Existing Vegetation
▨	Hardscape - Concrete Curb
▨	Hardscape - Cut Stone Pavers
▨	Hardscape - Stone Steps
▨	Site Wall - Gabion
▨	Site Wall - Gabion with Wood Cap
▨	Landscape Boulders

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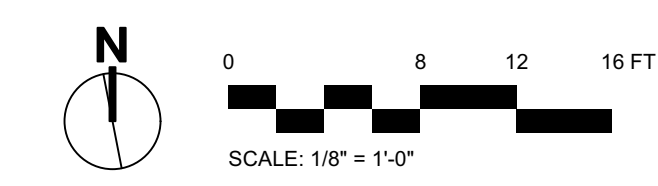
**FOR BUILDING PERMIT**  
**MPH RESIDENCE**  
**119 SAGE ROAD | KETCHUM, ID 83340**

FILENAME: MPH-LEISURE.vwx  
PROJECT MANAGER: AB  
DRAWN BY: AB  
ISSUE DATE: 4/28/2021  
PLOT DATE: 6/4/21 11:44:35

**PATIO LAYOUT**

SHEET NO.

**L3.2**







# FOR BUILDING PERMIT

## MPH RESIDENCE

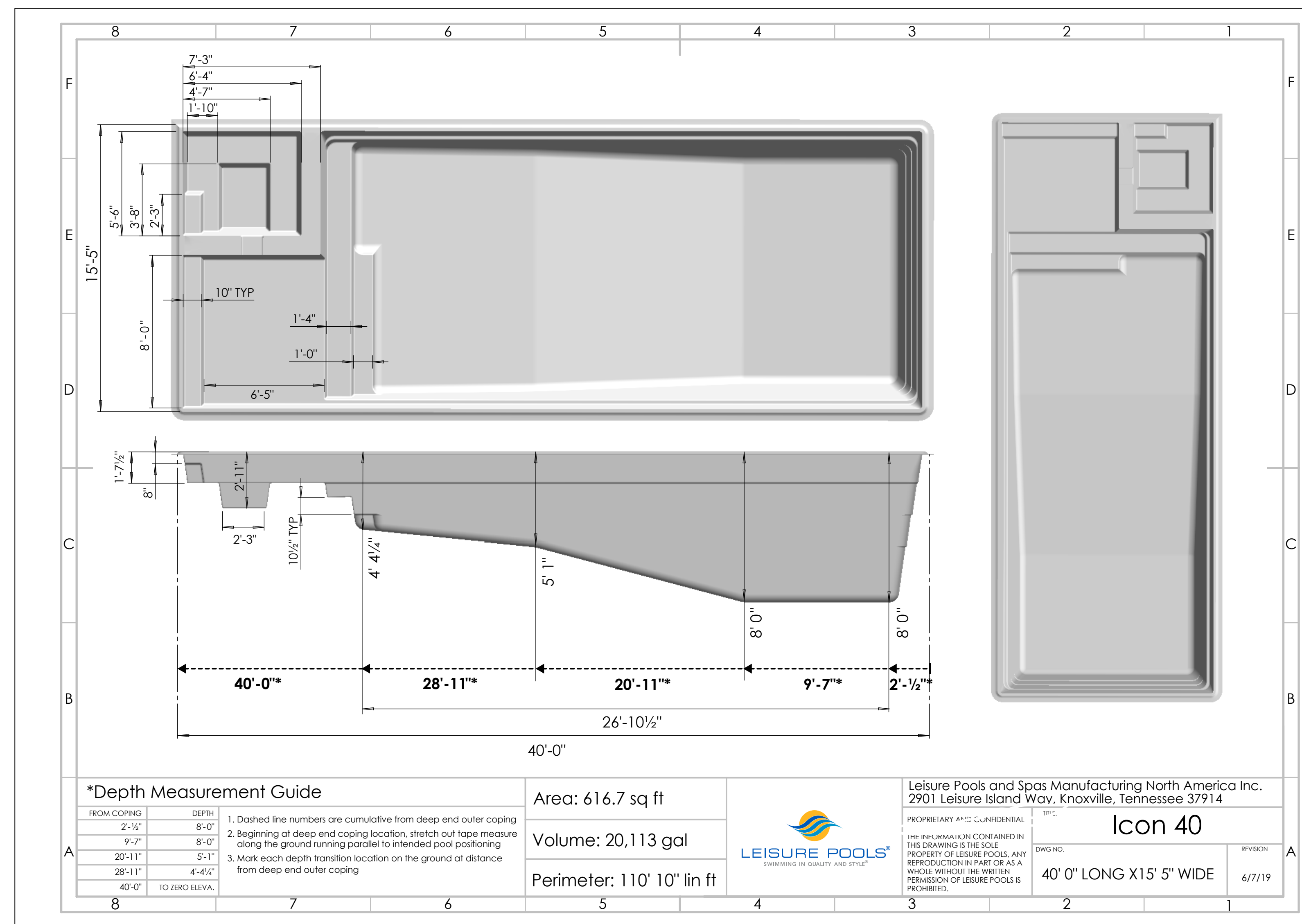
119 SAGE ROAD | KETCHUM, ID 83340

FILENAME: MPH-LEISURE.vwx  
PROJECT MANAGER: AB  
DRAWN BY: AB  
ISSUE DATE: 6/4/2021  
PLOT DATE: 6/4/21 11:44:35

**DETAILS |  
LEISURE POOL  
SPECS AND  
FACT SHEET**

SHEET NO.

# L4.0



**FACT SHEET**  
The Icon™

**Leisure Pools**  
SWIMMING IN QUALITY AND STYLE®

An icon is often referred to as that which is the object of great attention or representative of the latest fashion trends. To deliver just that, Leisure Pools® designers created The Icon™ — a pool that embodies those attributes of a pool which we consider fashionable into one captivating swimming pool.

The Leisure Pools® Icon™ was designed to incorporate all of the amazing features of The Ultimate™ — the built-in spa and splash deck — except it has been modified to reach 8' at its deepest depth.

Spend just a few minutes in this spacious spa, and you will experience less stress and improved circulation. The spa was designed to offer you the option of circulating water within the spa alone, or to circulate into the pool through two built-in spillovers.

The built-in splash deck provides fun for both adults and children. The shallow waters offer a great play area for younger children or a place to stretch out and relax for adults.

The Leisure Pools® Icon™ perfectly represents what a pool should exemplify, not only with the great features it compact, but through its length and water volume as well. No matter what ideas you have for your perfect pool, The Icon™ will undoubtedly deliver.

**LIFETIME STRUCTURAL WARRANTY**  
**LIFETIME ELECTRICAL COMPONENT WARRANTY**

BUILT-IN SPA WITH SPILLOVER EDGES  
ENTRY/EXIT STEPS TO POOL TEXTURED FRESH  
SAFETY LEDGE AROUND POOL PERIMETER  
UNOBSTRUCTED SWIMMING CORRIDOR  
SPLASH DECK  
SHALLOW END  
DEEP END

LENGTH	WIDTH	SHALLOW END DEPTH	DEEP END DEPTH
40'	15' 5"	4' 3"	8'

\*Some measurements modified



ICC-ES Evaluation Report

ESR-1732

Effective Date: May 2020

This listing is subject to re-examination in one year.

www.icc-es-pmg.org | (800) 423-6587 | (562) 699-0543 A Subsidiary of the International Code Council®

DIVISION: 13 00 00—SPECIAL CONSTRUCTION
Section: 13 11 13—Below-Grade Swimming Pools

REPORT HOLDER:

LEISURE POOLS AND SPAS MANUFACTURING NORTH AMERICA
www.leisurepoolsusa.com

EVALUATION SUBJECT:

FIBERGLASS ONE-PIECE SWIMMING POOL SHELLS

1.0 EVALUATION SCOPE

Compliance with the following codes:

- 2021, 2018, 2015, 2012, 2009 and 2006 International Building Code® (IBC)
2021, 2018, 2015, 2012, 2009 and 2006 International Residential Code® (IRC)
2018 and 2015 International Swimming Pool and Spa Code® (ISPSA)
2019, 2016, 2013 and 2010 California Building Code® (CBC)
2019, 2016, 2013 and 2010 California Residential Code® (CRC)
2020 and 2017 Florida Building Code® (FBC)
2020 and 2017 Florida Residential Code® (FRC)
2013 Abu Dhabi International Building Code® (ADIBC)

For evaluation for compliance with codes adopted by Los Angeles Department of Building and Safety (LADBS), see ESR-1732 ABC and LARC Supplement

Compliance with the following standards:

- APSP/ANSI 5-2011, Standard for Residential Inground Swimming Pools
AC274, ICC-ES Acceptance Criteria for In-ground, Residential, Fiber-reinforced Plastic Swimming Pools and Permanently Installed Plastic Spas, dated December 2006 (editorially revised July 2017)

2.0 USES

The fiberglass pool shells are permanently installed in-ground and are intended for recreational use as swimming pools in residential applications with water

circulated through a filter in a closed system. The pools comply with APSP/ANSI-5 as Type O or I pools.

3.0 DESCRIPTION

The fiberglass pool shells consist of one-piece fiberglass construction shop-formed over a mold. The material is minimum 3/16-inch-thick (7.9 mm), fiberglass-reinforced plastic (FRP), composed of vinylster resin and fiberglass roving. The surface finish is a vinylster resin-based gel coat.

The overall dimensions, depths and capacities of recognized models are shown in Table 1.

Notice: The pool shells are designed to remain full of water at all times. The shell may be damaged if the water level is allowed to drop below the skimmer. When appreciable draw-down is noticed or if it becomes necessary to drain the pool, Leisure Pools or its dealers should be contacted for instructions.

4.0 INSTALLATION

The pool shells must be permanently installed in-ground in accordance with this report and the manufacturer's published installation instructions. All plumbing and electrical installations must comply with the applicable codes in effect at the construction site. Subject to the code official's approval, the pool shell may be installed without a soil investigation by a registered design professional, unless any of the following conditions is encountered at the site:

- 1. The existence of groundwater within the excavation, where the pool floor will contact the soil at the time of installation.
2. The existence of an uncompacted fill in contact with any portion of the pool or spa shell.
3. The existence of any expansive-type soils, unless the pool manufacturer has provided specific instructions regarding expansive soils within their installation instructions.
4. The existence of any soil types with an angle of repose that will not support the walls of the excavation at desired slopes.
5. Danger to adjacent structures posed by the proposed pool location.
If any of the above conditions is encountered, excavation must cease immediately. The site conditions must then be reviewed, and recommendations made, by a registered design professional. The code official must approve the registered design professional's report before work is resumed.

Listings are not to be construed as representing aesthetics or any other attributes not specifically addressed, nor are they to be construed as an endorsement of the subject of the listing or a recommendation for its use. There is no warranty by ICC Evaluation Service, LLC, express or implied, as to any finding or other matter in this listing, or as to any product covered by the listing.

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Details specifically for installations in expansive, clay, or adobe soils apply only when supported by the registered design professional's recommendations and approved by the code official.

The pool excavation profile must coincide with the contours of the pool. The overexcavation is approximately 6 to 12 inches (152 to 305 mm) on the sides and ends. The overexcavation at the pool bottom is approximately 4 inches (102 mm). The backfill for the pool is a layer of minimum 3-inch-thick (76 mm) bedding sand matching the pool or spa profile. This sand layer is compacted using a manual tamper and water. The pool shell must sit firmly on the sand and be within 1 inch (25.4 mm) of level. Simultaneous waterfill and sand backfill operations then commence. The sand is compacted with a tamper and water. The installer must ensure that the backfill level and water level are approximately the same throughout the filling procedure.

After completion of the backfill, the bond beam and decking must be installed in accordance with the manufacturer's published installation instructions, and as approved by the code official.

5.0 CONDITIONS OF USE

The fiberglass pool shells described in this report comply with, or are suitable alternatives to what is specified in, those codes listed in Section 1.0 of this report, subject to the following conditions:

- 5.1 The pool shells must be constructed and installed in accordance with this report and the manufacturer's published installation instructions. In the event of conflict, this report governs.
5.2 Electrical and plumbing installations must comply with the applicable codes in effect at the construction site at the time of construction.
5.3 Clearances of the pools from slopes set forth in IBC Section 1808.7, CBC Section 1808.7, CRC Section R403.1.7 or IRC Section R403.1.7 must be observed.
5.4 A barrier must be installed in accordance with IBC Section 3109, ISPSA Section 305, CRC Section AG105 or IRC Section AG105, as applicable.
5.5 Slip resistance is outside the scope of this evaluation report. Reports of slip resistance tests that demonstrate compliance with Section 8.1 of APSP/ANSI-5 must be submitted for approval by the code official.
5.6 The pools are classified as either:
Type O pools: not intended for use with diving boards or other diving equipment; or
Type I pools: maximum height of stationary diving platform or diving rock above the waterline shall be 42 inches
5.7 Pools located in flood hazard areas established in accordance with Table R301.2(1) of the IRC must comply with Sections AG101.2 and AG103.3 of the IRC, Section AG101.2 of the CRC or Section 304 of the ISPSA.
5.8 Suction outlets must be designed and installed in accordance with IBC Section 3109.5, CBC Section 3137B, CRC Section AG106, ISPSA Section 310 and IRC Section AG106.1.

6.0 IDENTIFICATION

6.1 The pool shells are identified adjacent to the skimmer with an imprint that includes the words "Leisure Pools USA," the model designation, a coded serial number and the ICC-ES evaluation report number (ESR-1732).

A permanent sign, bearing the following statement, must be attached to the pumping equipment:

Notice: The pool shell is designed to remain full of water at all times. The shell may be damaged if the water level is allowed to drop below the skimmer. When appreciable draw-down is noticed or if it becomes necessary to drain the pool, contact Leisure Pools USA or its dealers for instructions.

A permanent label must be attached adjacent to the above sign indicating the Leisure Pools USA distributor's name, address and telephone number.

6.2 The report holder's contact information is the following:

LEISURE POOLS AND SPAS MANUFACTURING NORTH AMERICA
2901 LEISURE ISLAND WAY
KNOXVILLE, TENNESSEE 37914
(865) 219-2880
www.leisurepoolsusa.com

TABLE 1

Table with 8 columns: MODEL, SIZE, MODEL ABBREVIATION, LENGTH (feet/inches), WIDTH (feet/inches), MAX. DEPTH (feet/inches), CAPACITY (gallons), POOL TYPE. Lists various pool models like Allure, Canbbean, Courtyard Roman, etc.

Table with 8 columns: MODEL, SIZE, MODEL ABBREVIATION, LENGTH (feet/inches), WIDTH (feet/inches), MAX. DEPTH (feet/inches), CAPACITY (gallons), POOL TYPE. Lists various pool models like Rivera, Roman, Sorrento Spa, etc.

For Sft: 1 foot = 304.8 mm, 1 inch = 25.4 mm, 1 gallon = 3.785 liters.



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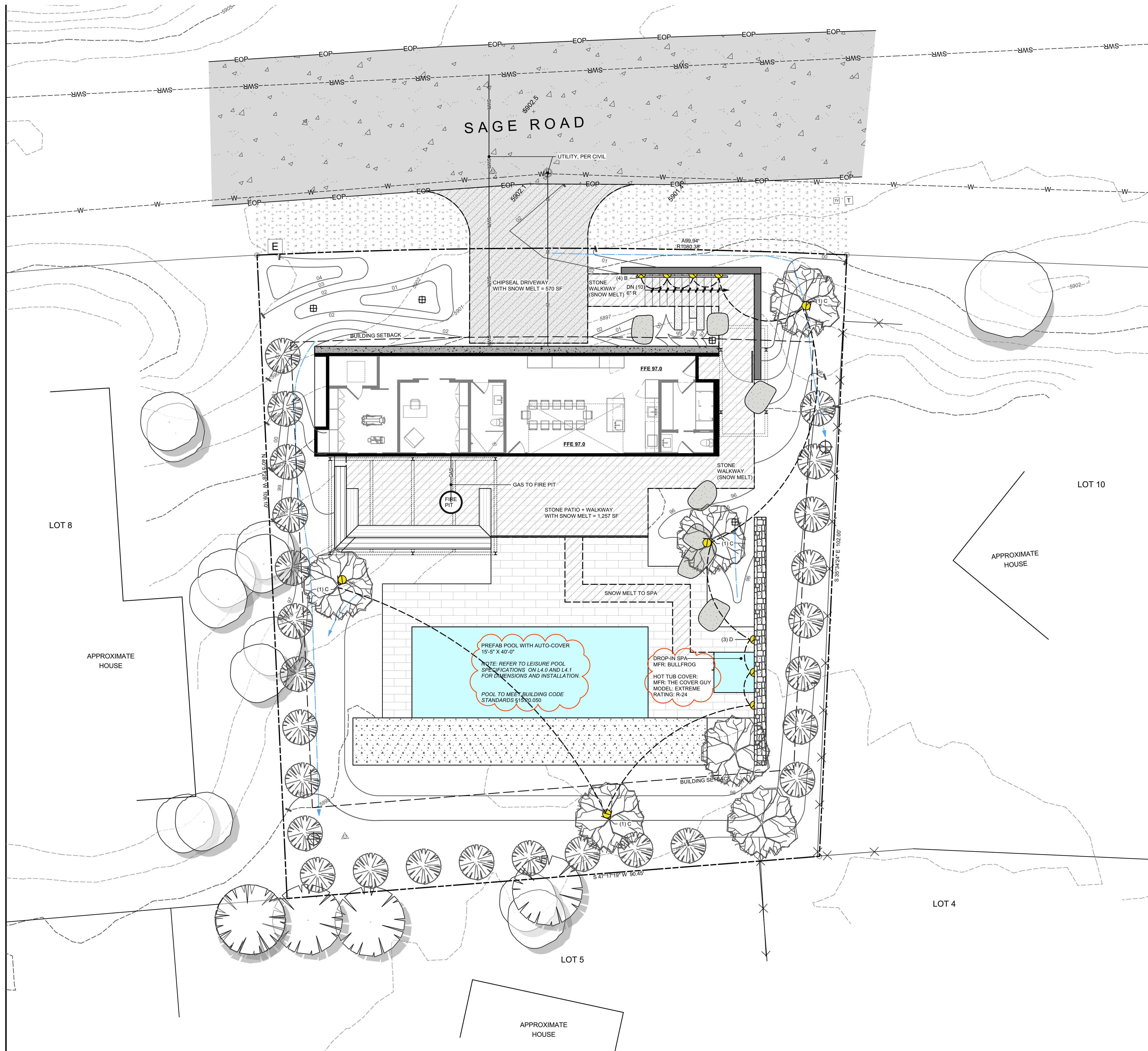
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MPH RESIDENCE
119 SAGE ROAD | KETCHUM, ID 83340

FILENAME: MPH-LEISURE.vwx
PROJECT MANAGER: AB
DRAWN BY: AB
ISSUE DATE: 4/28/2021
PLOT DATE: 6/4/21 11:44:36

DETAILS | LEISURE POOL EVALUATION REPORT

SHEET NO.

L4.1



SHEET LEGEND	
SYMBOL	DESCRIPTION
---	Property Line
---	Setbacks / Easements
---XXXX---	Existing Contours
---XXXX---	Proposed Contours
---W---	Existing Nearby Utility
⊙	Existing Vegetation
▨	Hardscape - Concrete Curb
▨	Hardscape - Cut Stone Pavers
▨	Hardscape - Stone Steps
▨	Site Wall - Gabion
▨	Site Wall - Gabion with Wood Cap
▨	Landscape Boulders
⊙	Landscape - Shrubs
⊙	Landscape - Trees
▨	Utility - Snow Melt Area
---	Utility - Gas
---	Utility - Sewer
---	Utility - Water
⊙	Lighting - Fixture
---	Lighting - Ganging (per zone)

LIGHTING ZONE SCHEDULE				
SYMB	LOCATION	QTY.	FIXTURE	TYPE
<b>ZONE 1</b>				
⊙	ENTRY LIGHTS	1	DOWNLIGHT	C
⊙	ENTRY LIGHTS	4	WALL LIGHT-RECESSED	B
<b>ZONE 2</b>				
⊙	POOL PATIO	3	DOWNLIGHT	C
⊙	POOL PATIO	3	WALL LIGHT-SCONCE	D

NOTE: ALL LAMP HARDWARE TO USE LED TECHNOLOGY. ALL LAMP TEMPERATURES SHALL MATCH.

**NOTE:**  
 1. FOR FINAL GRADING DRAINAGE PLAN, PLEASE REFER TO CIVIL DRAWINGS C1-C2  
 2. FOR DETAILS, PLEASE REFER TO CIVIL DRAWINGS C1-C2  
 3. FOR FINAL UTILITY LAYOUT/CONNECTIONS, PLEASE REFER TO CIVIL DRAWINGS C1-C2

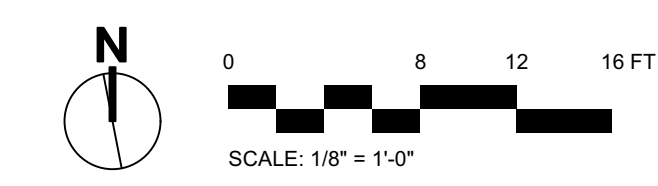
**FOR BUILDING PERMIT**  
**MPH RESIDENCE**  
 119 SAGE ROAD | KETCHUM, ID 83340

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 PROJECT MANAGER: AB  
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**LIGHTING + UTILITY PLAN**

SHEET NO.

**L5.0**

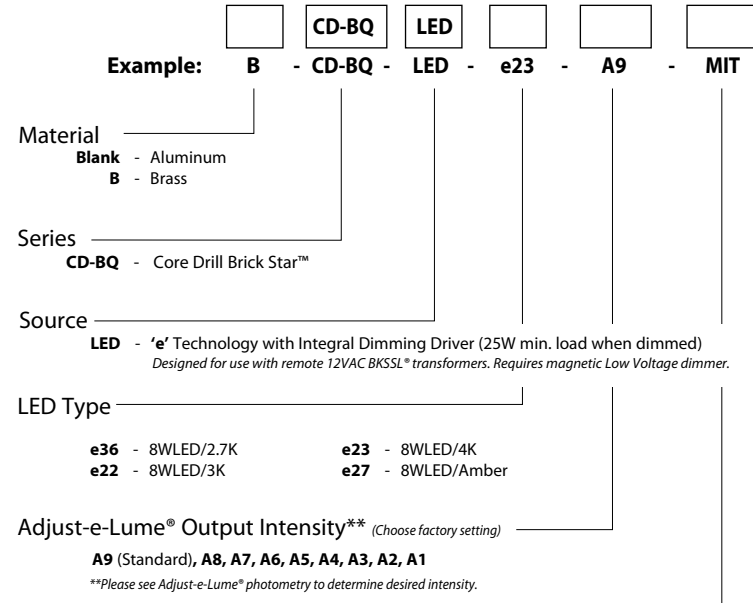




**CORE DRILL  
BRICK STAR™**

PROJECT: \_\_\_\_\_  
 TYPE: **FIXTURE TYPE: B**  
 CATALOG NUMBER: **CD-BQ-LED-E36-A9-BZP**  
 SOURCE: \_\_\_\_\_  
 NOTES: \_\_\_\_\_

**CATALOG NUMBER LOGIC**



Aluminum Finish			Brass Finish			Premium Finish				
Powder Coat Color	Satin	Wrinkle	Machined	MAC	Polished	POL	Mitique™	MIT		
Bronze	<b>BZP</b>	<b>BZW</b>	Antique Brass Powder	<b>ABP</b>	Cracked Ice	<b>CBI</b>	Cascade Mountain Granite	<b>CMG</b>	Rocky Mountain Granite	<b>RMG</b>
Black	<b>BLP</b>	<b>BLW</b>	Alabaster Mountain Granite	<b>AMG</b>	Cracked Ice	<b>CBI</b>	Sonoran Desert Sandstone	<b>SDS</b>	Sonoran Desert Sandstone	<b>SDS</b>
White (Gloss)	<b>WHP</b>	<b>WHW</b>	Antique White	<b>AQW</b>	Cream	<b>CRM</b>	Sierra Mountain Granite	<b>SMG</b>	Sierra Mountain Granite	<b>SMG</b>
Aluminum	<b>SAP</b>	—	Black Chrome	<b>BCM</b>	Hunter Green	<b>HUG</b>	Textured Forest	<b>TFX</b>	Textured Forest	<b>TFX</b>
Verde	—	<b>VER</b>	Beige	<b>BGE</b>	Mojave Desert Sandstone	<b>MDS</b>	Weathered Copper	<b>WCP</b>	Weathered Copper	<b>WCP</b>
			Brown Patina Powder	<b>BPP</b>	Natural Brass Powder	<b>NBP</b>	Weathered Iron	<b>WIR</b>	Weathered Iron	<b>WIR</b>
			Clear Anodized Powder	<b>CAP</b>	Old Copper	<b>OCF</b>	Also available in A&K Finish (See submittal SUB-117D-06)			

**DRIVER DATA**

Input Voltage	12VAC/DC 50/60Hz	InRush Current	<1A (non-dimmed)	Dimmable	Magnetic Low Voltage Dimmer	Operation Ambient Temperature	-10°F-130°F
---------------	------------------	----------------	------------------	----------	-----------------------------	-------------------------------	-------------

**LM79 DATA**

BK No.	CCT (Typ.)	Input Watts (Typ.)	CRI (Typ.)	Minimum Rated Life (hrs.)
e36	2700K	8.4	90	50,000
e23	3100K	8.4	90	50,000
e23	4100K	8.4	78	50,000
e27	Amber (590nm)	7.9	—	50,000

**L70 DATA**

BK No.	CCT (Typ.)	Input Watts (Typ.)	CRI (Typ.)	Minimum Rated Life (hrs.)
e36	2700K	8.4	90	50,000
e23	3100K	8.4	90	50,000
e23	4100K	8.4	78	50,000
e27	Amber (590nm)	7.9	—	50,000

**B-K LIGHTING** 40429 Brickyard Drive • Modesto, CA 95808 • USA  
 526-438-2800 • FAX: 526-438-2900  
 www.bklighting.com • info@bklighting.com

RELEASED 07-10-15 DRAWING NUMBER SUB001024

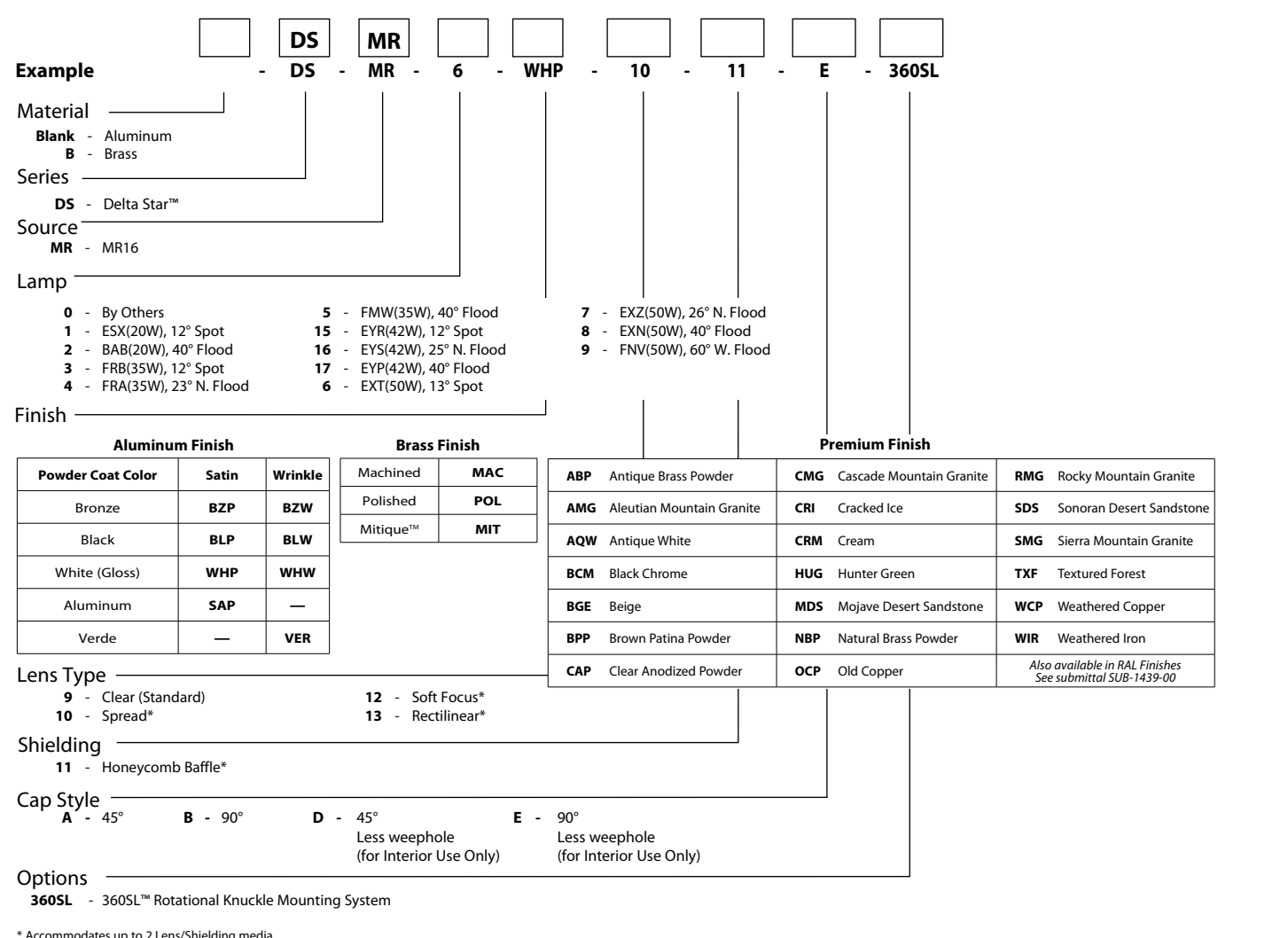
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**DELTA STAR™**

PROJECT: \_\_\_\_\_  
 TYPE: **FIXTURE TYPE: C**  
 CATALOG NUMBER: **DS-MR-5-BZP-10=11-A-360SL**  
 LAMP(S): \_\_\_\_\_  
 NOTES: **FIXTURE IS USED FOR DOWNLIGHTING**

**CATALOG NUMBER LOGIC**



**LAMP DATA**

BK No.	Lamp Watts	Description	Rated Life (hrs.)	Center Beam Candpower	Beam Angle	Beam Type
1	20	ESX	4,000	4,000	12°	Spot
2	20	BAB	4,000	500	40°	Flood
3	35	FRB	5,000	7,600	12°	Spot
4	35	FRA	5,000	2,300	23°	Narrow Flood
5	35	FMV	5,000	1,100	40°	Flood
15	42	EYR	5,000	7,500	12°	Spot
16	42	EYS	5,000	2,600	25°	Narrow Flood
17	42	EYP	5,000	1,100	40°	Flood
6	50	EXT	5,000	9,800	13°	Spot
7	50	EXZ	5,000	3,200	26°	Narrow Flood
8	50	EXN	5,000	1,600	40°	Flood
9	50	FNV	5,000	700	60°	Wide Flood

**B-K LIGHTING** 40429 Brickyard Drive • Modesto, CA 95808 • USA  
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SUBMITTAL DATE 6-6-14 DRAWING NUMBER SUB-117D-06

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**ARIA** FIXTURE TYPE: D

**2300BK**  
 SMALL WALL MOUNT LANTERN  
 Aria is a contemporary style that effortlessly complements the facade of any exterior. Its modern shape in durable aluminum is enhanced by a stainless steel mesh shade. Aria's high style and low maintenance comes standard Dark Sky compliant.

**DETAILS**

FINISH:	Black
MATERIAL:	Aluminum

**DIMENSIONS**

WIDTH:	5.3"
HEIGHT:	15.5"
WEIGHT:	2 lbs.
BACK PLATE:	4.5"W X 8.25"H
EXTENSION:	6.8"
TOP TO OUTLET:	5"

**LIGHT SOURCE**

LIGHT SOURCE:	Socket
WATTAGE:	1-75w Med.
VOLTAGE:	120v

**SHIPPING**

CARTON LENGTH:	17.5"
CARTON WIDTH:	9"
CARTON HEIGHT:	7.5"
CARTON WEIGHT:	2.5 lbs.

**PRODUCT DETAILS:**

- Suitable for use in wet (interior direct splash and outdoor direct rain or sprinkler) locations as defined by NEC and CEC. Meets United States UL Underwriters Laboratories & CSA Canadian Standards Association Product Safety Standards
- 2 year finish warranty
- Angular lines, a bold finish and robust details create an industrial edge to add flair to any type of facade
- Striking black finish enhances design
- Please refer to Hinkley's Warranty for complete product warranty details; some warranty limitations may apply.

**HINKLEY** HINKLEY 33000 Pin Oak Parkway Avon Lake, OH 44012  
 PHONE: (440) 653-5500 hinkley.com  
 Toll Free: 1 (800) 446-0539



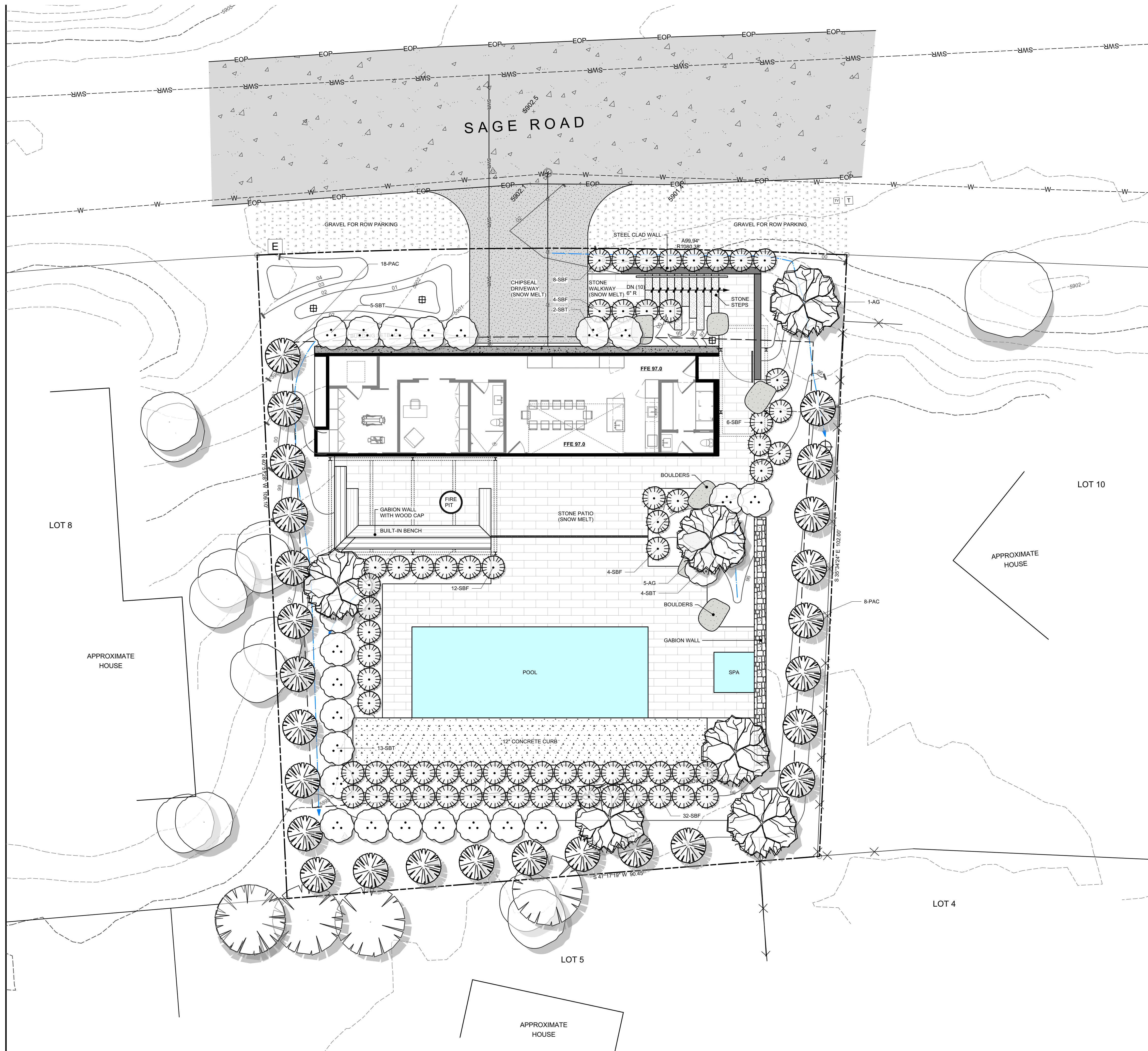
**FOR BUILDING PERMIT**  
**MPH RESIDENCE**  
 119 SAGE ROAD | KETCHUM, ID 83340

FILENAME: MPH-LEISURE.vwx  
 PROJECT MANAGER: AB  
 DRAWN BY: AB  
 ISSUE DATE: 4/28/2021  
 PLOT DATE: 6/4/21 11:44:37

**FIXTURE CUT SHEETS**

SHEET NO.

**L5.1**



SHEET LEGEND	
SYMBOL	DESCRIPTION
---	Property Line
---	Setbacks / Easements
XXXX	Existing Contours
XXXX	Proposed Contours
---	Existing Nearby Utility
⊙	Existing Vegetation
---	Utility - Gas
---	Utility - Sewer
---	Utility - Water
---	Hardscape - Concrete Curb
---	Hardscape - Cut Stone Pavers
---	Hardscape - Stone Steps
---	Site Wall - Gabion
---	Site Wall - Gabion with Wood Cap
⊙	Landscape Boulders
⊙	Landscape - Shrubs
⊙	Landscape - Trees

IRRIGATION SCHEDULE	
AREA DESCRIPTION	IRRIGATION TYPE
Trees + Shrubs	Buried Drip Irrigation
Perennial Beds	N/A
Lawn	N/A
Native Re-Veg	N/A

IRRIGATION CALCULATIONS	
AREA DESCRIPTION	SF OF IRRIGATION
Trees + Shrubs	+/- 2324 SF
Perennial Beds	N/A
Lawn	N/A
Native Re-Veg	N/A
<b>Total Irrigation</b>	<b>+/- 2324 SF = 0.05 AC</b>

PLANT SCHEDULE				
TREES				
ABBRV	QTY.	SIZE	BOTANICAL NAME	COMMON NAME
AC	5	8" B&B	<i>Acer ginnale</i>	Amur Maple
PAC	26	8" B&B	<i>Picea abies 'Cupressina'</i>	Columnar Norway Spruce
SHRUBS				
ABBRV	QTY.	SIZE	BOTANICAL NAME	COMMON NAME
SBF	66	5 GAL	<i>Salix brachycarpa 'Blue Fox'</i>	Blue Fox Willow
SBT	24	5 GAL	<i>Spiraea x billardii 'Triumphans'</i>	Triumphans Spiraea

**NOTE:**  
1. PICEA ABIES 'CUPRESSINA' DOES NOT EXCEED MORE THAN 6' DIAMETER GARDEN WIDTH.



# FOR BUILDING PERMIT

## MPH RESIDENCE

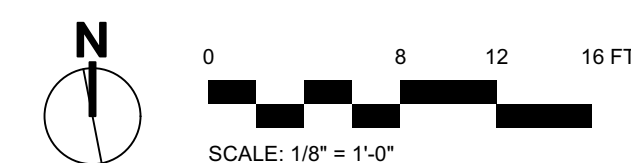
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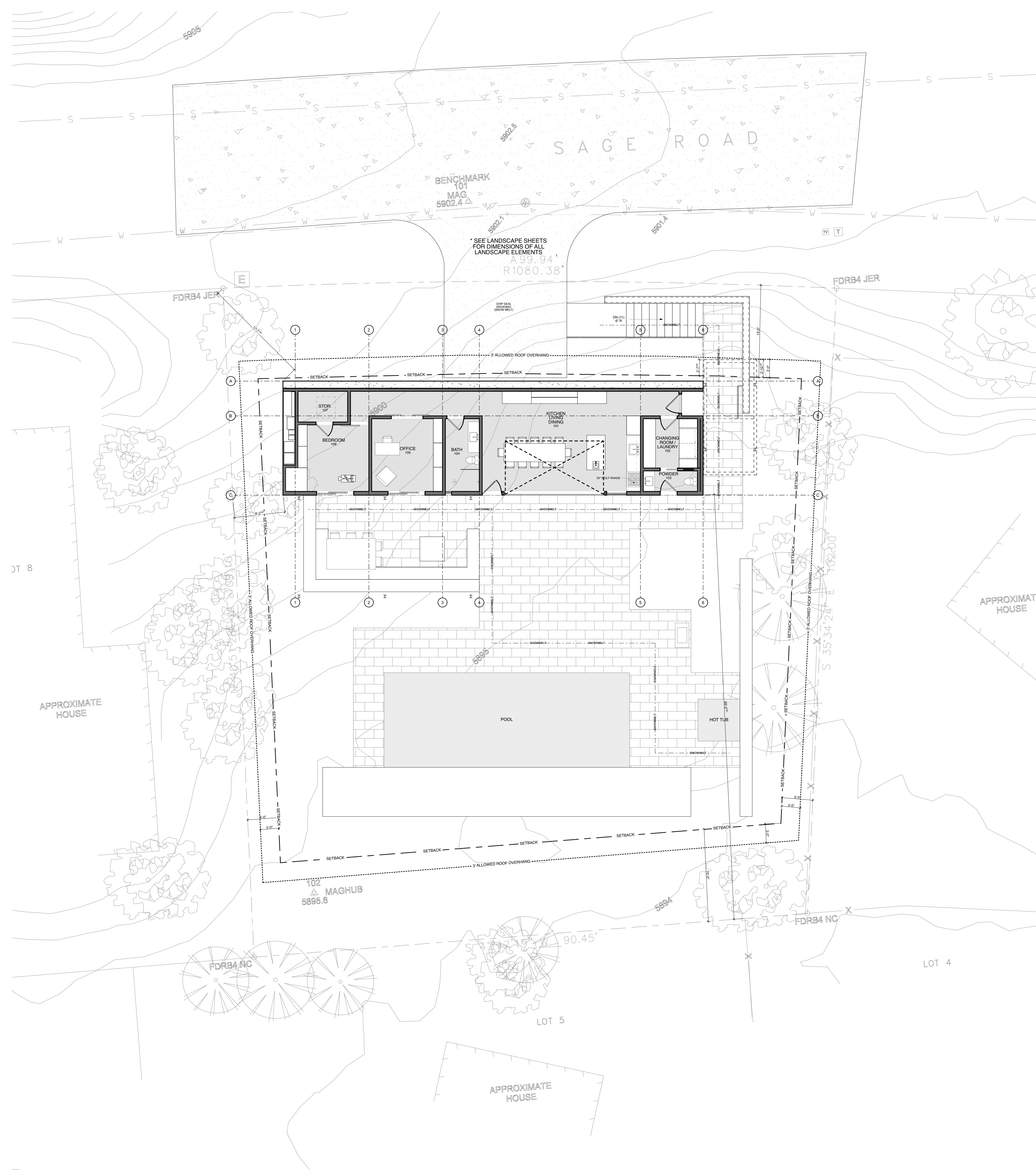
FILENAME: MPH-LEISURE.vwx  
PROJECT MANAGER: AB  
DRAWN BY: AB  
ISSUE DATE: 4/28/2021  
PLOT DATE: 6/4/21 11:44:38

### LANDSCAPE SCHEDULE

SHEET NO.

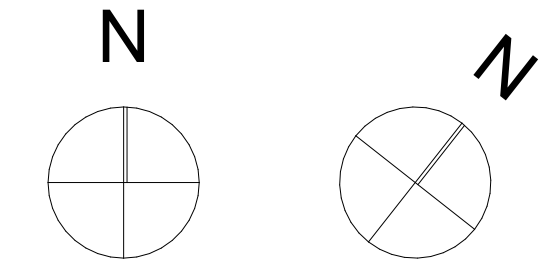
# L6.0





GENERAL PLAN NOTES

01. Do not scale drawings. Contact Architect for any undocumented dimensions or clarification of any dimensional discrepancies. Large scale drawings take precedence over smaller scale drawings.
02. All dimensions are from gridline to centerline of structural columns, to centerline of windows and doors, or to face of stud walls.
03. All interior partitions are framed with 2x6 wood studs unless noted/dimensioned otherwise.
04. The Contractor shall coordinate the spacing of all ceiling and floor joists with lighting fixtures, mechanical openings, and any other potential conflict. (See Structural, Mechanical, Lighting, and Reflected Ceiling Plans)
05. Dimensions for windows and doors are shown to center of unit. Coordinate with schedules to determine rough opening dimensions.
06. Where shown, furniture is for reference only and not in contract.



Jackson Hole  
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T.208.214.5155

Louisiana  
910 Pierremont Rd, Suite 410  
Shreveport, LA 71106  
T.318.383.3100

ARCHITECT STAMP:

LICENSED ARCHITECT  
AR 986479  
6/24/21

Scott Payne  
STATE OF IDAHO

CONSTRUCTION DOCUMENT SET

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PROJECT #:	SV2004
DRAWN:	AB / CB
ISSUE:	
CD Set	4/02/21
Revision 01	4/19/21
Revision 02	4/29/21

A200  
Site Plan

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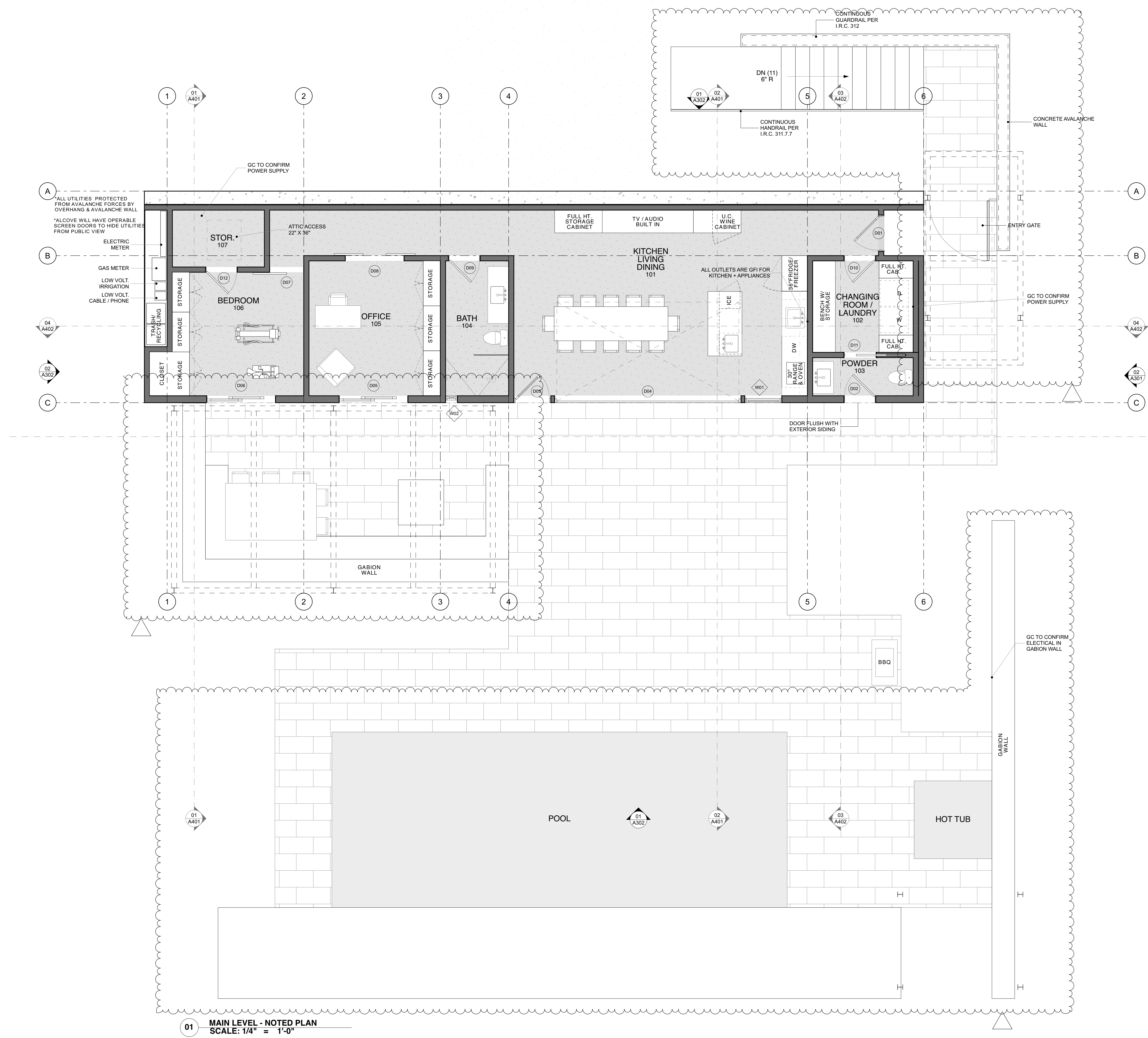
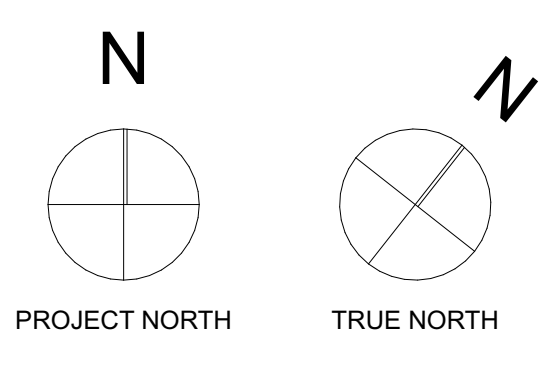
MPH RESIDENCE  
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DATE:	5/18/21
PROJECT #:	SV2004
DRAWN:	AB / CB
ISSUE:	
CD Set	4/02/21
Revision 01	4/19/21
Revision 02	4/29/21

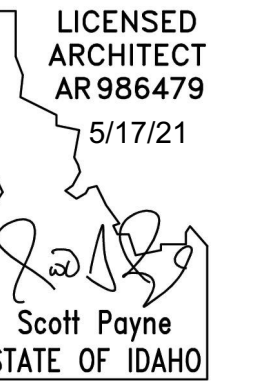
A201  
Main Plan - Noted

GENERAL PLAN NOTES

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- Where shown, furniture is for reference only and not in contract.



01 MAIN LEVEL - NOTED PLAN  
SCALE: 1/4" = 1'-0"



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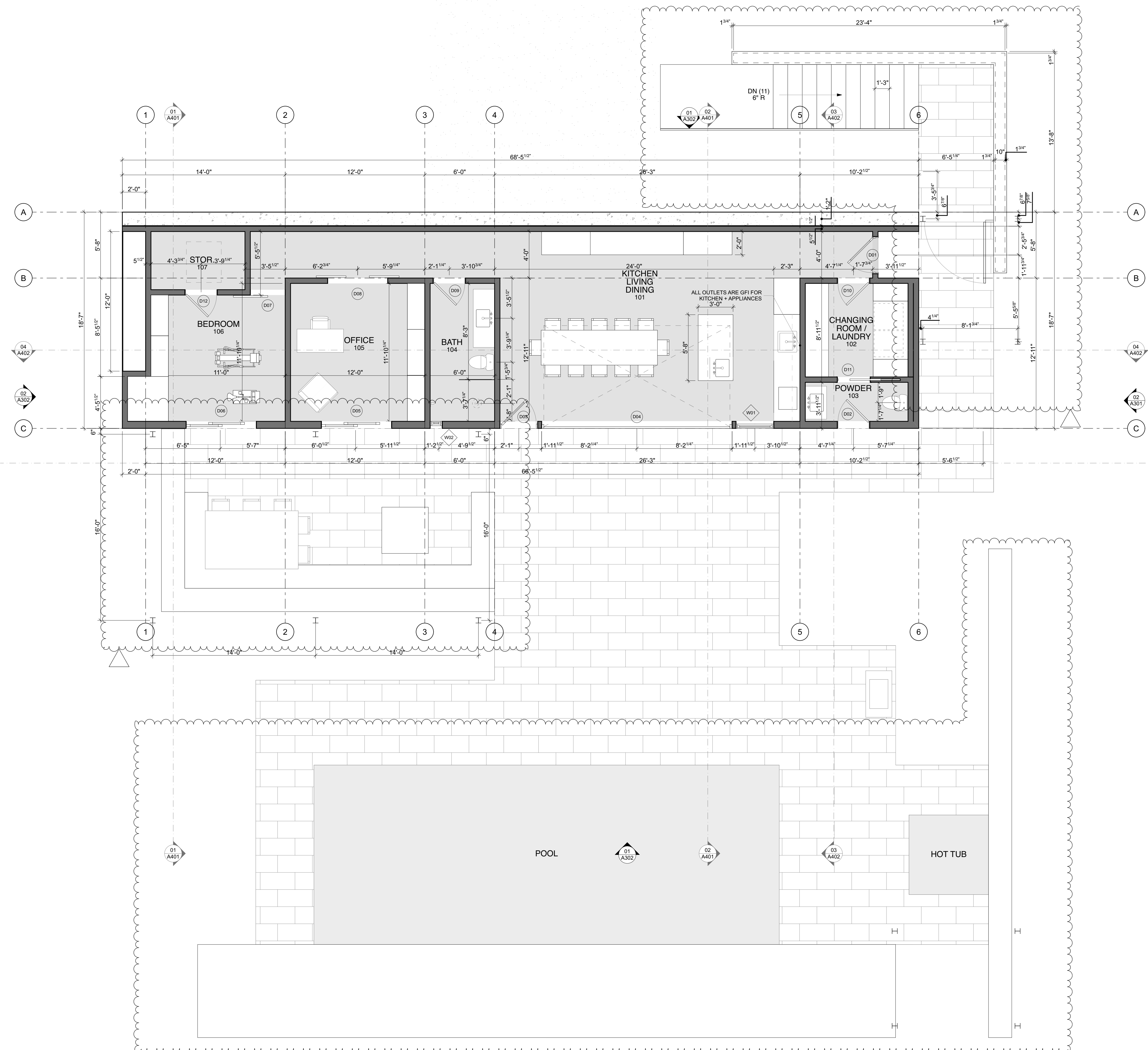
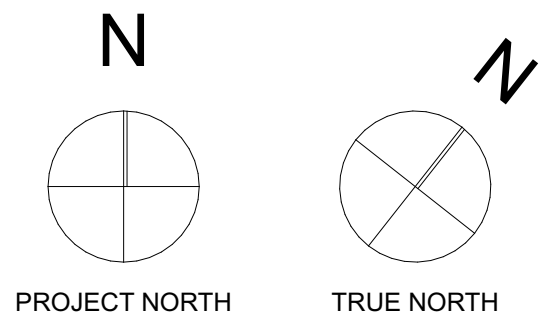
DATE:	5/17/21
PROJECT #:	SV2004
DRAWN:	AB / CB
ISSUE:	
CD Set	4/02/21
Revision 01	4/19/21
Revision 02	4/29/21

**A202**

Main Plan - Dimension

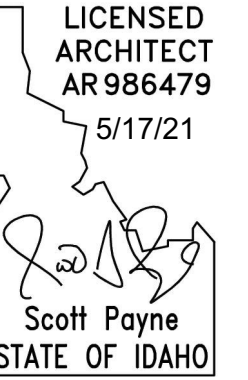
GENERAL PLAN NOTES

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- All dimensions are from gridline to centerline of structural columns, to centerline of windows and doors, or to face of stud walls.
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- The Contractor shall coordinate the spacing of all ceiling and floor joists with lighting fixtures, mechanical openings, and any other potential conflict. (See Structural, Mechanical, Lighting, and Reflected Ceiling Plans)
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- Where shown, furniture is for reference only and not in contract.



01 MAIN LEVEL - DIMENSIONED PLAN  
SCALE: 1/4" = 1'-0"





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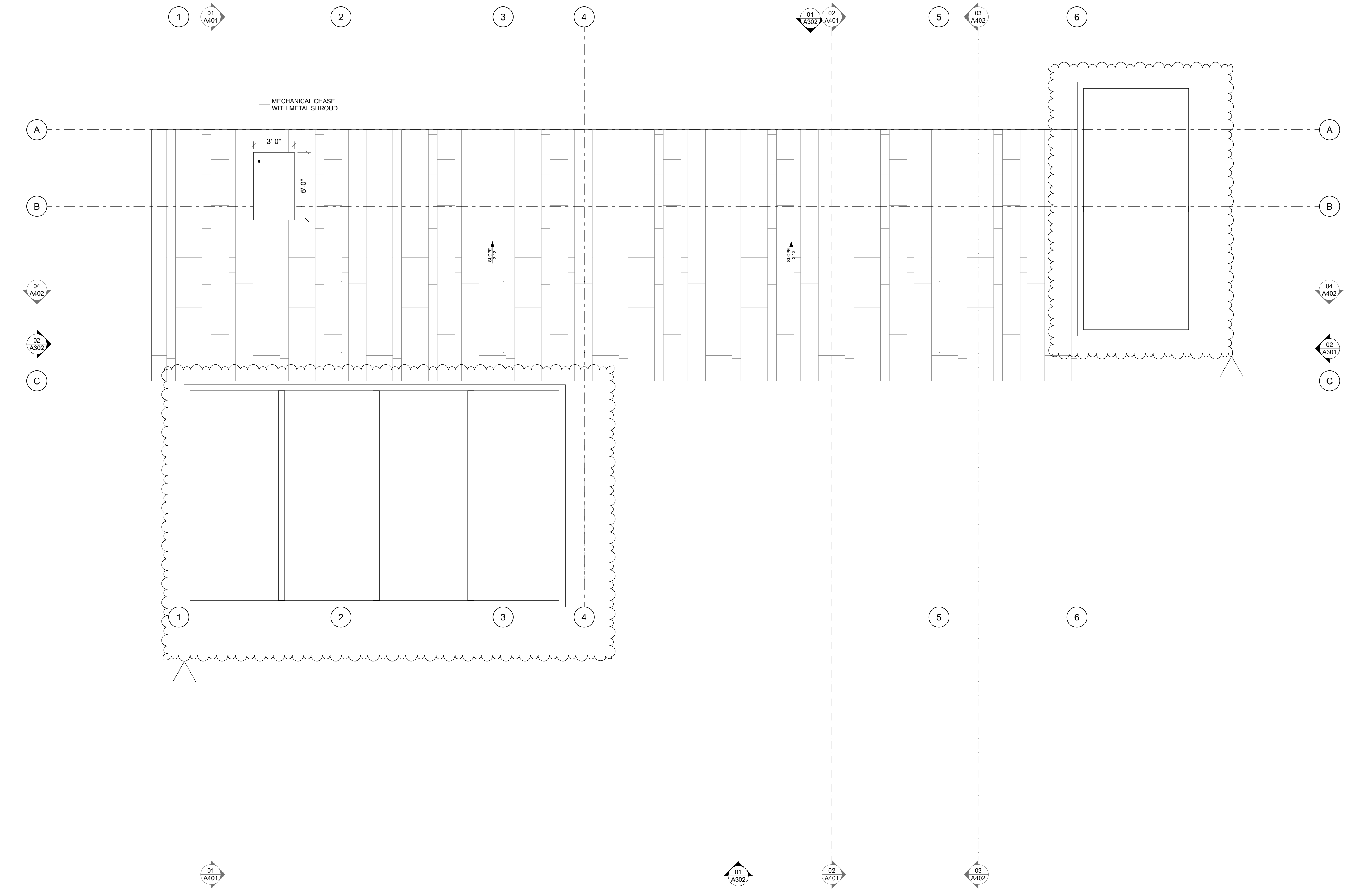
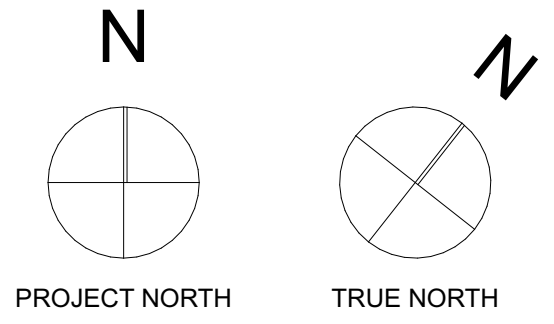
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119 SAGE RD  
KETCHUM, ID. 83340

DATE:	5/17/21
PROJECT #:	SV2004
DRAWN:	AB / CB
ISSUE:	
CD Set	4/02/21
Revision 01	4/19/21
Revision 02	4/29/21

**A204**  
Roof Plan

GENERAL PLAN NOTES

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- All interior partitions are framed with 2x6 wood studs unless noted/dimensioned otherwise.
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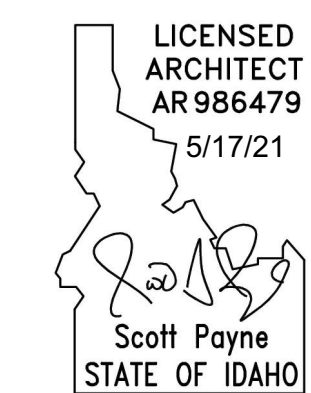
**01** ROOF PLAN  
SCALE: 1/4" = 1'-0"

Jackson Hole  
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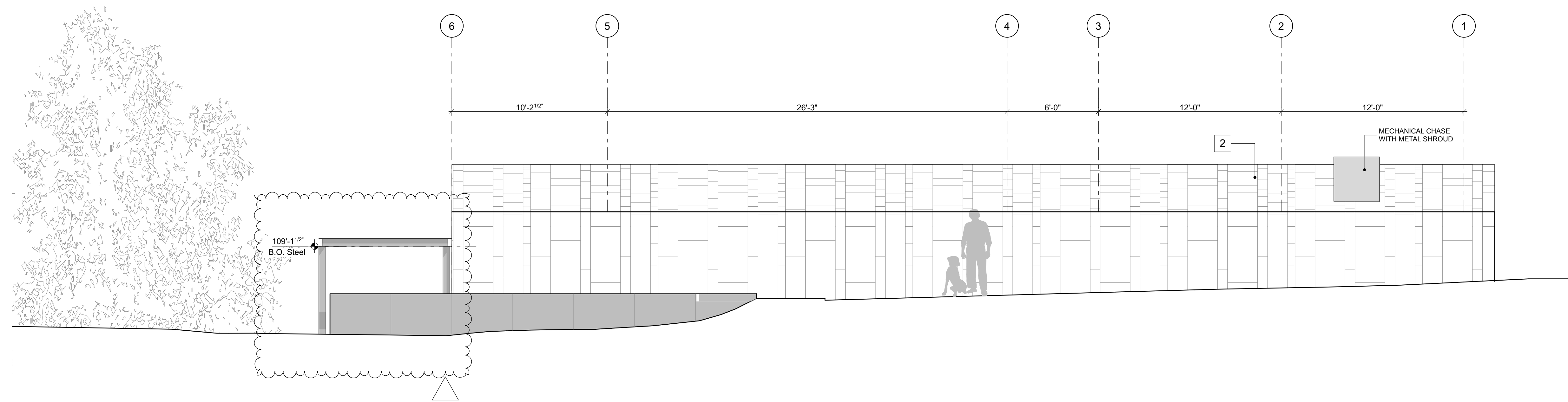
CD Set 4/02/21

Revision 01 4/19/21

Revision 02 4/29/21

A301

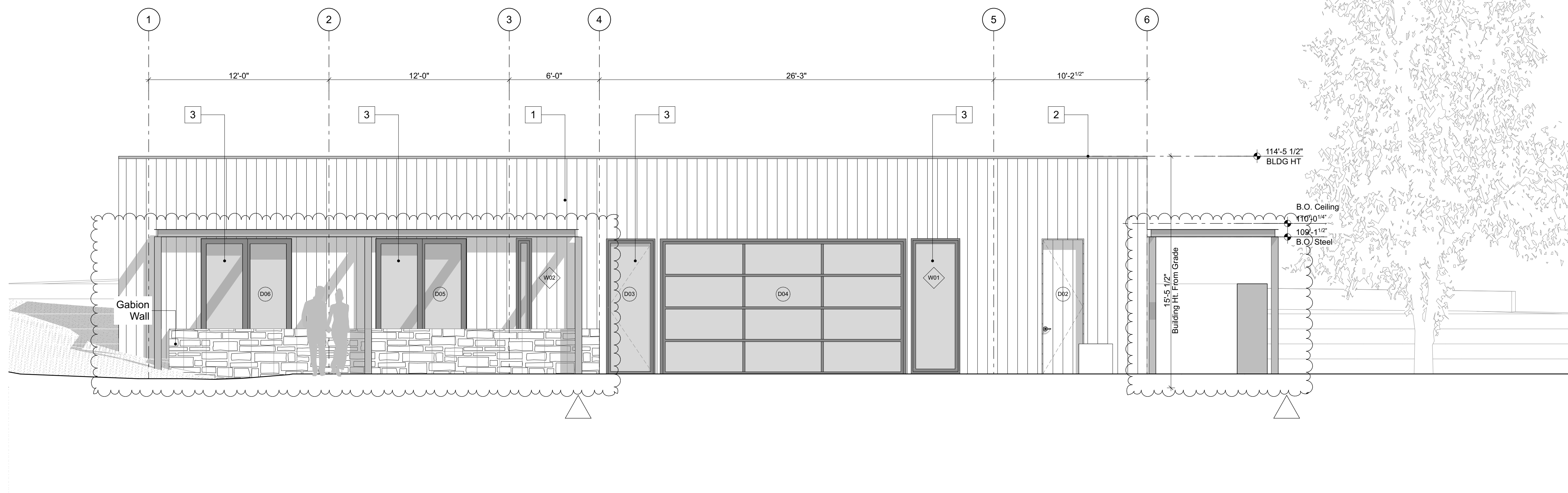
Elevations



ELEVATION KEY NOTES

- 1 Stained Western Red Cedar
- 2 Standing Seam Roof / Siding Variable Widths
- 3 Aluminum Clad Wood Window / Door

01 North Elevation  
SCALE: 1/4" = 1'-0"



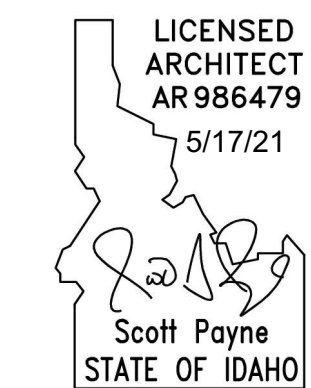
02 South Elevation  
SCALE: 1/4" = 1'-0"

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DATE: 5/17/21

PROJECT #: SV2004

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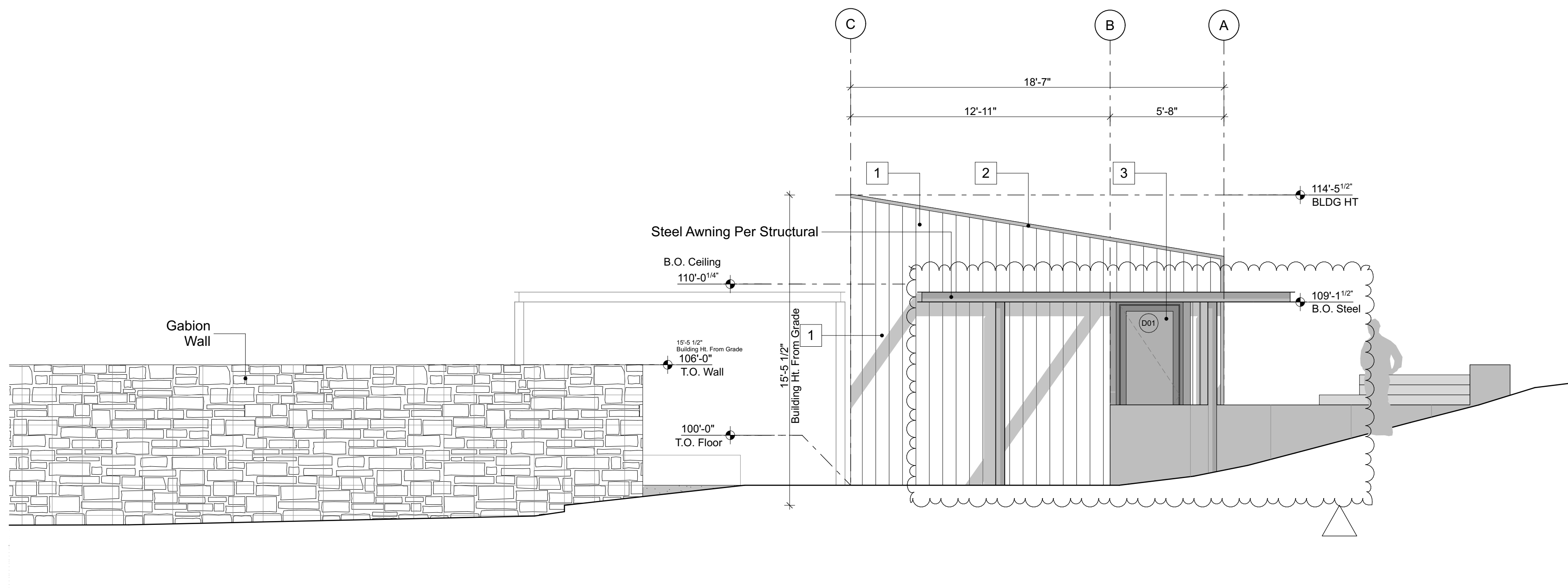
CD Set 4/02/21

Revision 01 4/19/21

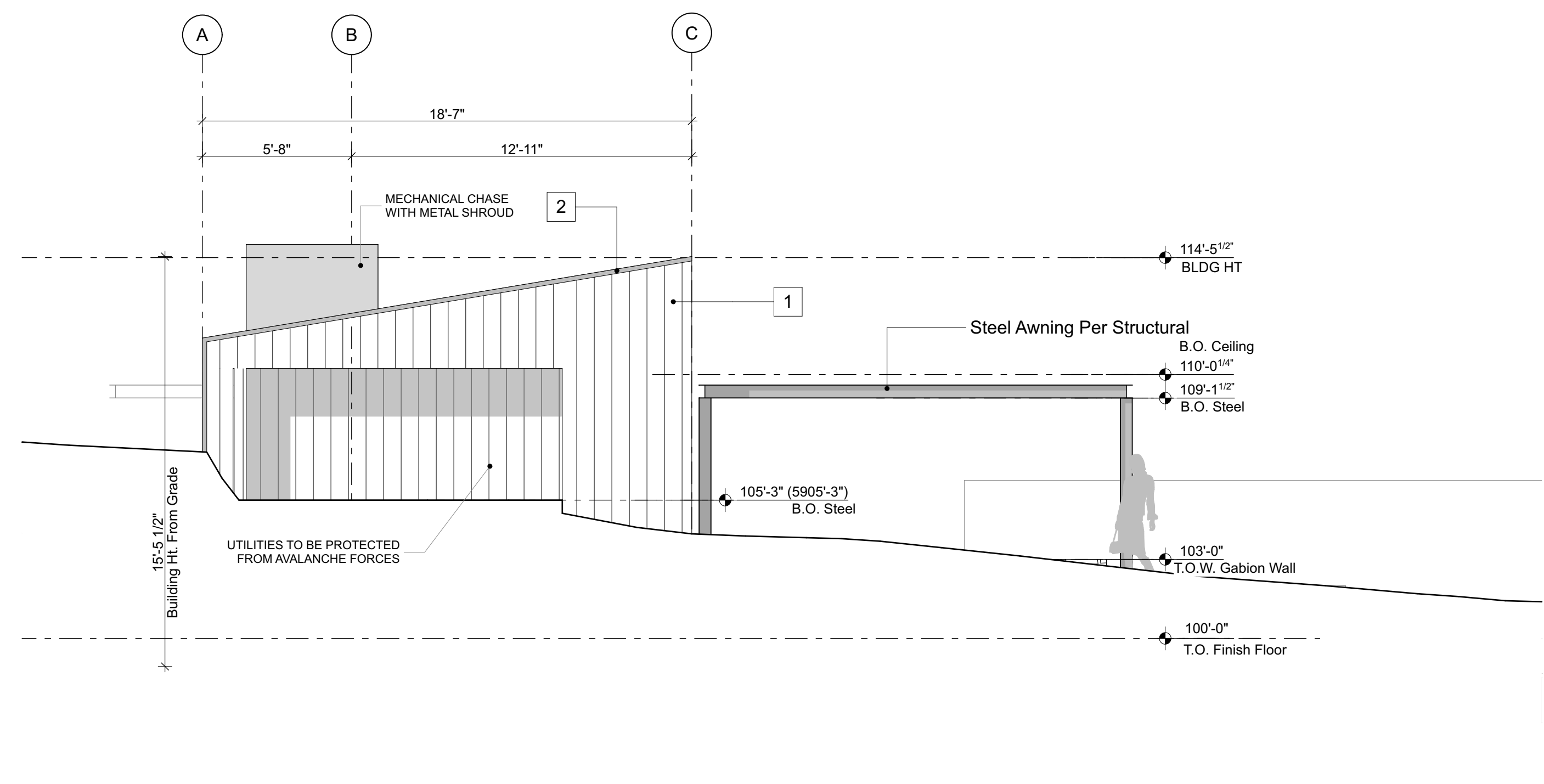
Revision 02 4/29/21

A302

Elevations



03 East Elevation  
SCALE: 1/4" = 1'-0"



04 West Elevation  
SCALE: 1/4" = 1'-0"

ELEVATION KEY NOTES

- 1 Stained Western Red Cedar
- 2 Standing Seam Roof / Siding  
Variable Widths
- 3 Aluminum Clad Wood Window / Door



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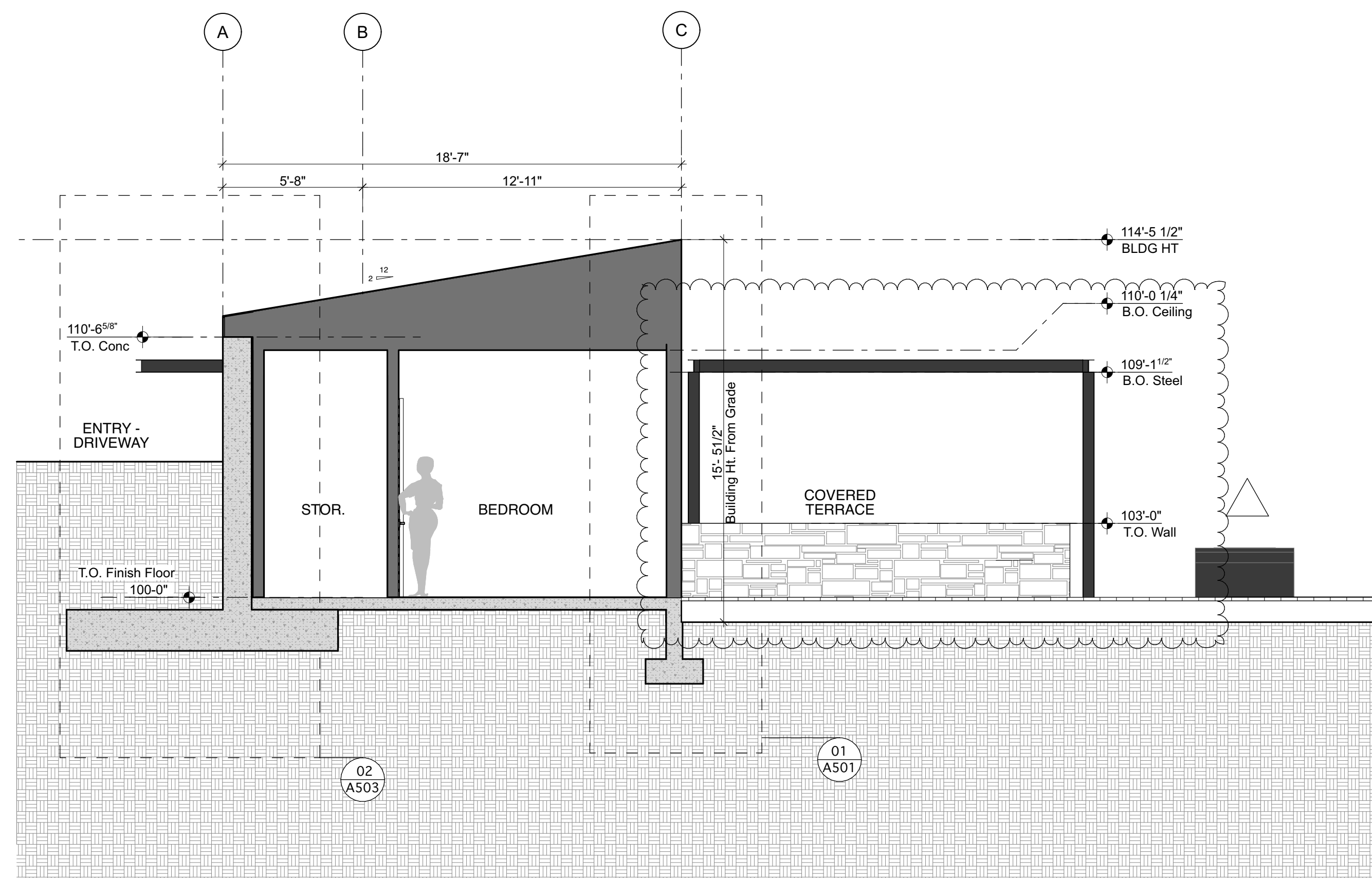
CD Set 4/02/21

Revision 01 4/19/21

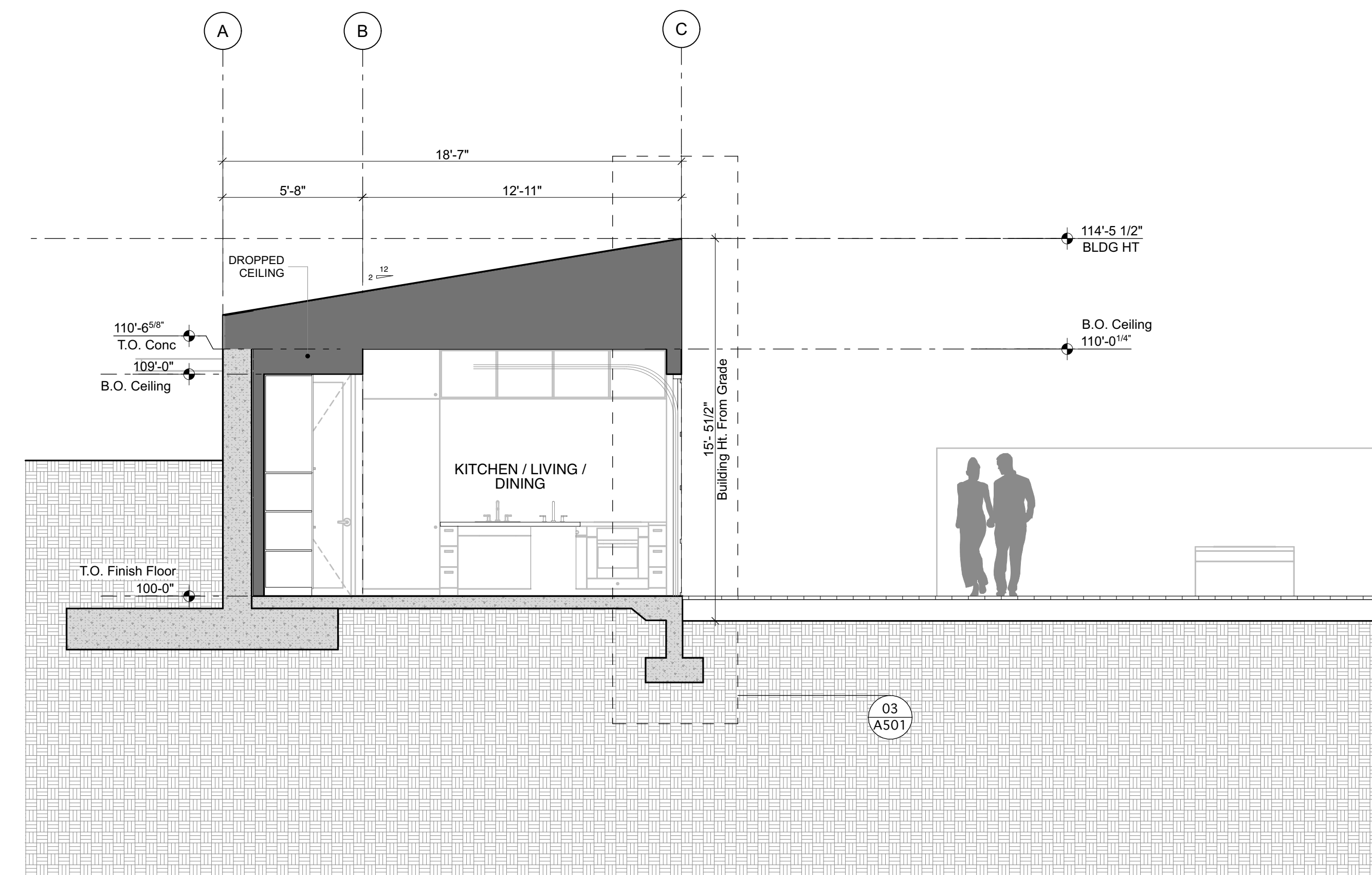
Revision 02 4/29/21

A401

Building Section



01 Building Section  
SCALE: 1/4" = 1'-0"



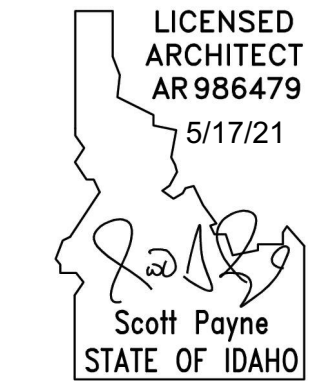
02 Building Section - Kitchen  
SCALE: 1/4" = 1'-0"

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DATE: 5/17/21

PROJECT #: SV2004

DRAWN: AB / CB

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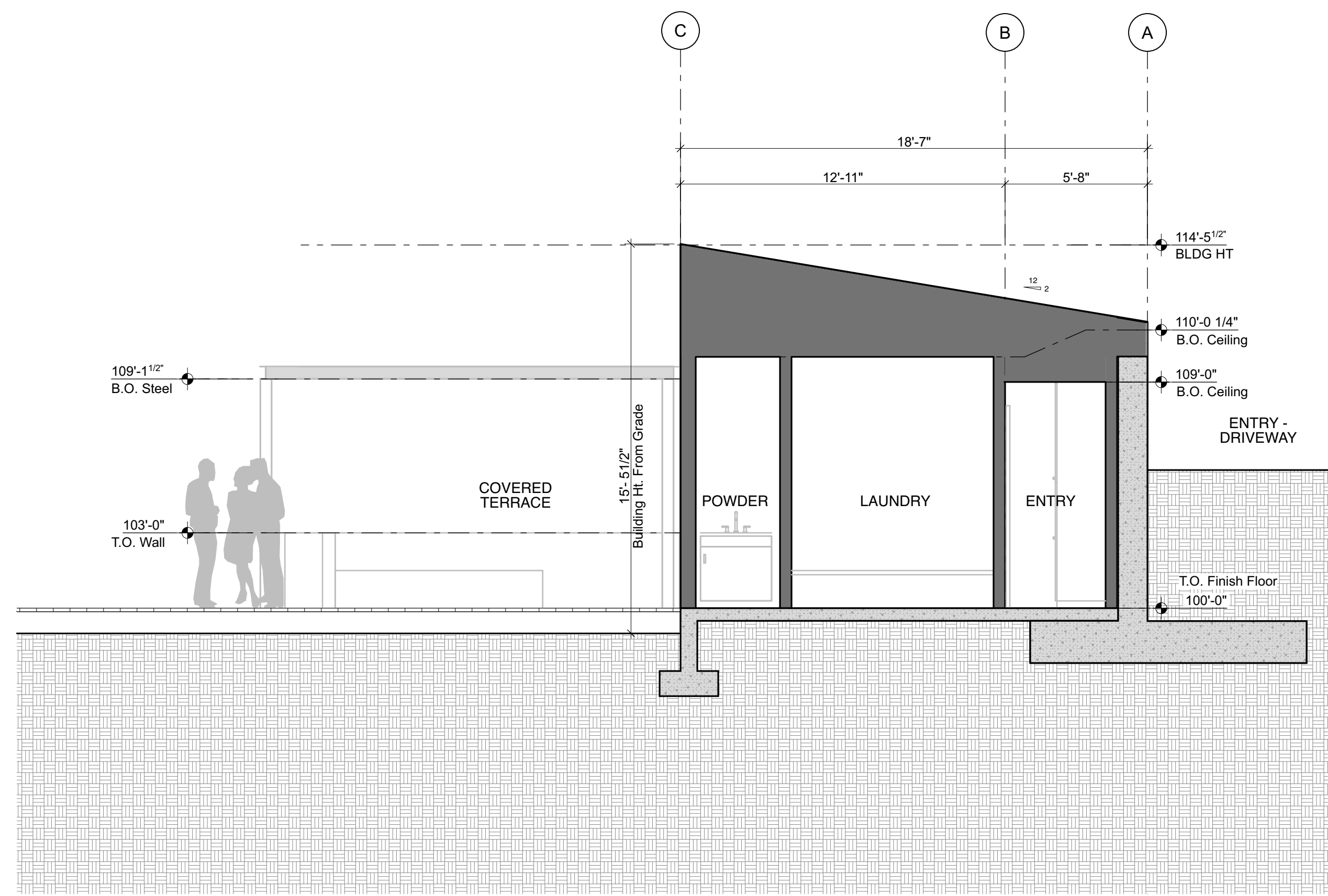
CD Set 4/02/21

Revision 01 4/19/21

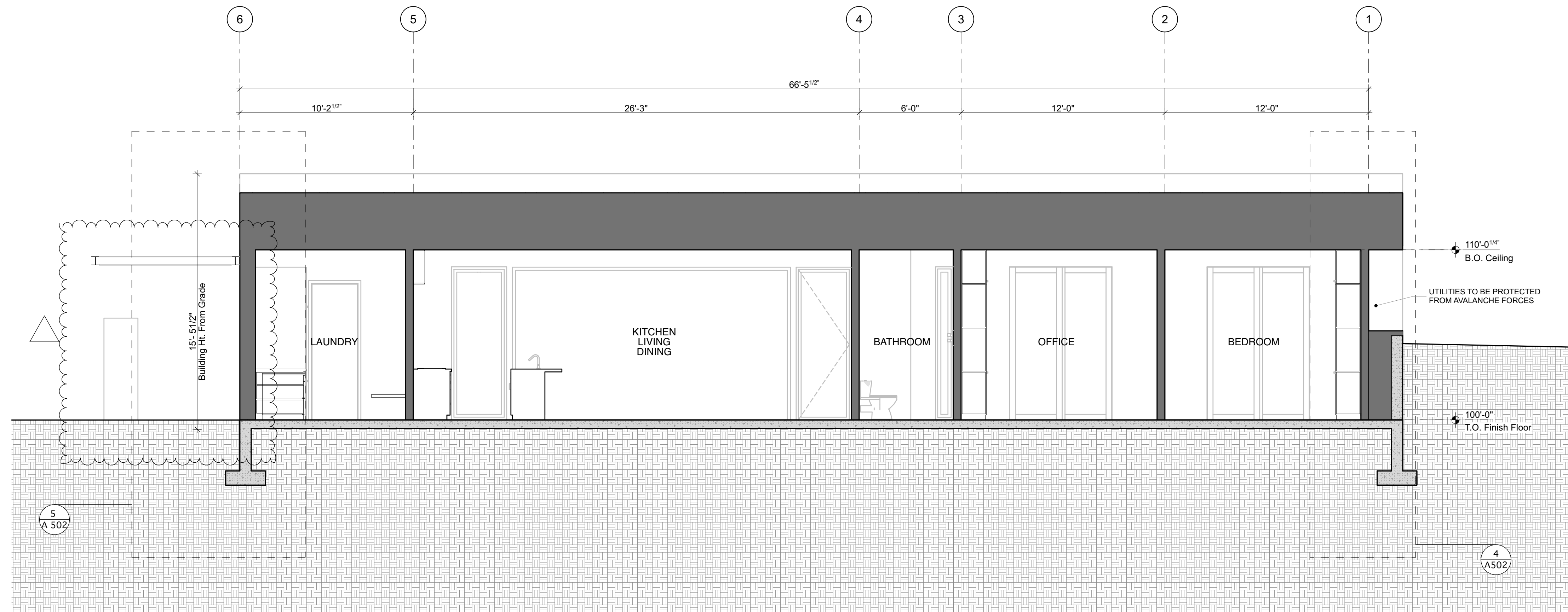
Revision 02 4/29/21

A402

Building Sections



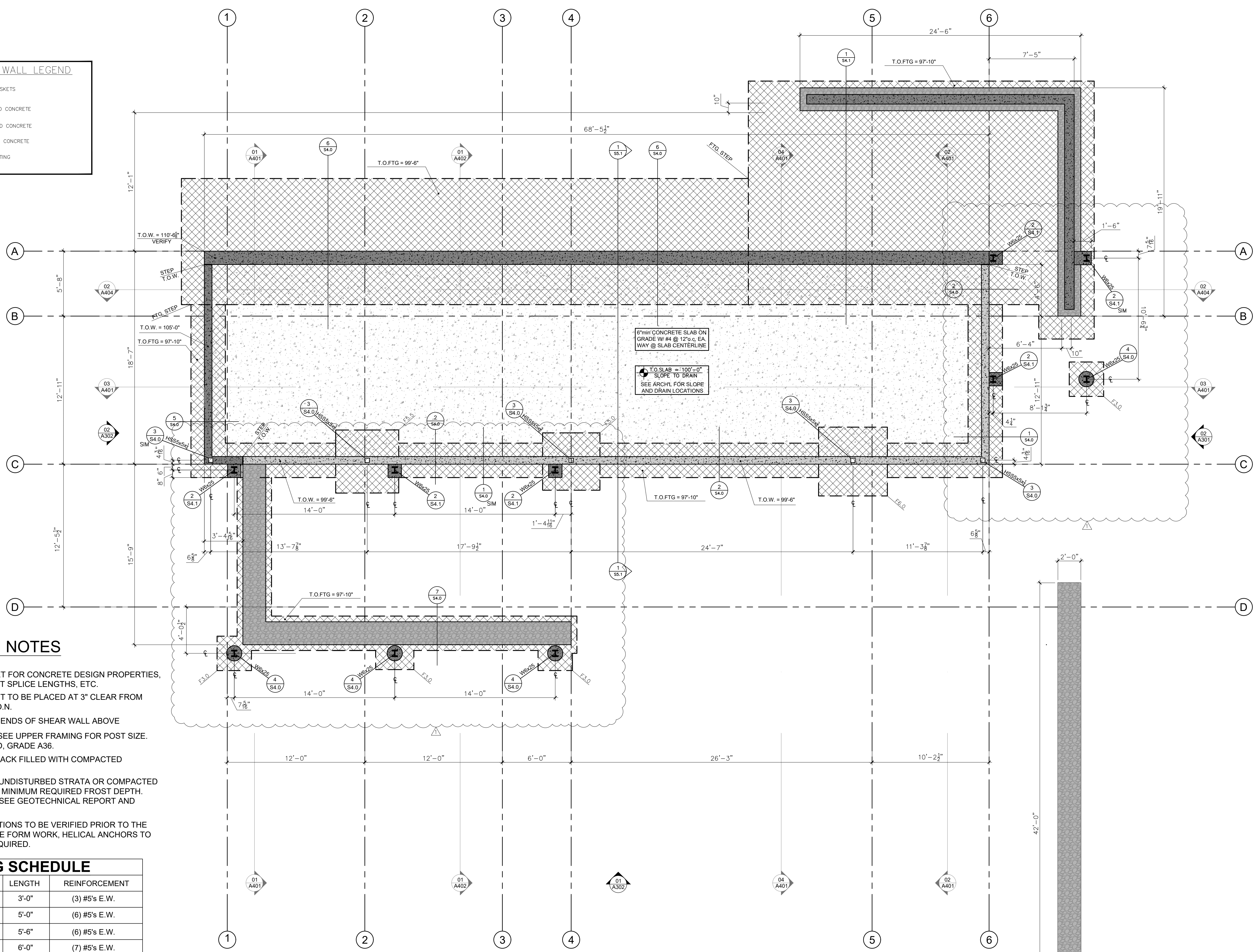
03 Building Section  
SCALE: 1/4" = 1'-0"



04 Longitudinal Building Section  
SCALE: 1/4" = 1'-0"



STRUCTURAL WALL LEGEND	
	18" GABION BASKETS
	14" REINFORCED CONCRETE
	10" REINFORCED CONCRETE
	8" REINFORCED CONCRETE
	CONCRETE FOOTING



### FOUNDATION NOTES

- SEE SPECIFICATION SHEET FOR CONCRETE DESIGN PROPERTIES, MINIMUM REINFORCEMENT SPLICE LENGTHS, ETC.
- FOOTING REINFORCEMENT TO BE PLACED AT 3" CLEAR FROM BOTTOM OF FOOTING, U.O.N.
- LOCATE HOLD DOWNS AT ENDS OF SHEAR WALL ABOVE
- FA = POST FROM ABOVE, SEE UPPER FRAMING FOR POST SIZE.
- ATR = ALL THREADED ROD, GRADE A36.
- EXTERIOR WALLS TO BE BACK FILLED WITH COMPACTED FREE DRAINING GRAVEL.
- PLACE ALL FOOTINGS ON UNDISTURBED STRATA OR COMPACTED STRUCTURAL FILL TO THE MINIMUM REQUIRED FROST DEPTH. FOR MORE INFORMATION SEE GEOTECHNICAL REPORT AND SHEET S1.0
- FOOTING BEARING CONDITIONS TO BE VERIFIED PRIOR TO THE PLACEMENT OF CONCRETE FORM WORK, HELICAL ANCHORS TO BE INSTALLED WHERE REQUIRED.

FOOTING SCHEDULE				
MARK	DEPTH	WIDTH	LENGTH	REINFORCEMENT
F3.0	12"	3'-0"	3'-0"	(3) #5's E.W.
F5.0	1'-2"	5'-0"	5'-0"	(6) #5's E.W.
F5.5	1'-2"	5'-6"	5'-6"	(6) #5's E.W.
F6.0	1'-2"	6'-0"	6'-0"	(7) #5's E.W.

- ALL REINFORCEMENT TO BE GRADE 60 U.O.N.
- PLACE REINFORCEMENT 3" CLEAR FROM BOTTOM FACE, U.O.N.

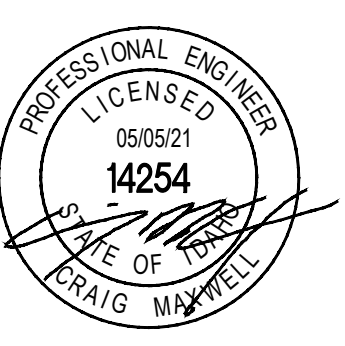
**NOTE:**  
INSTALL RADON ABATEMENT SYSTEM AS MAY BE REQUIRED TO MEET PROVISIONS OF 2018 INTERNATIONAL RESIDENTIAL CODE, APPENDIX F.

# FOUNDATION PLAN

SCALE : 1/4" = 1'-0"

ISSUE DATE
PERMIT SET: 4/2/2021
CONSTRUCTION SET: 4/16/2021
DELTA 1: 5/5/2021

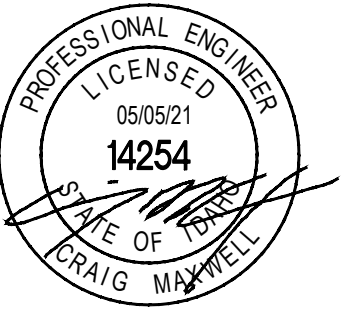
**MPH RESIDENCE**  
119 SAGE RD  
KETCHUM, ID



**MAXWELL**  
STRUCTURAL DESIGN STUDIO  
CRAIG MAXWELL, P.E.  
105 Lewis Street, Unit 205 • Ketchum, Idaho 83340  
P.O. Box 1911 • Sun Valley, Idaho 83353  
Craig@maxwellsds.com • 208.721.2171  
www.maxwellsds.com

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**S2.0**



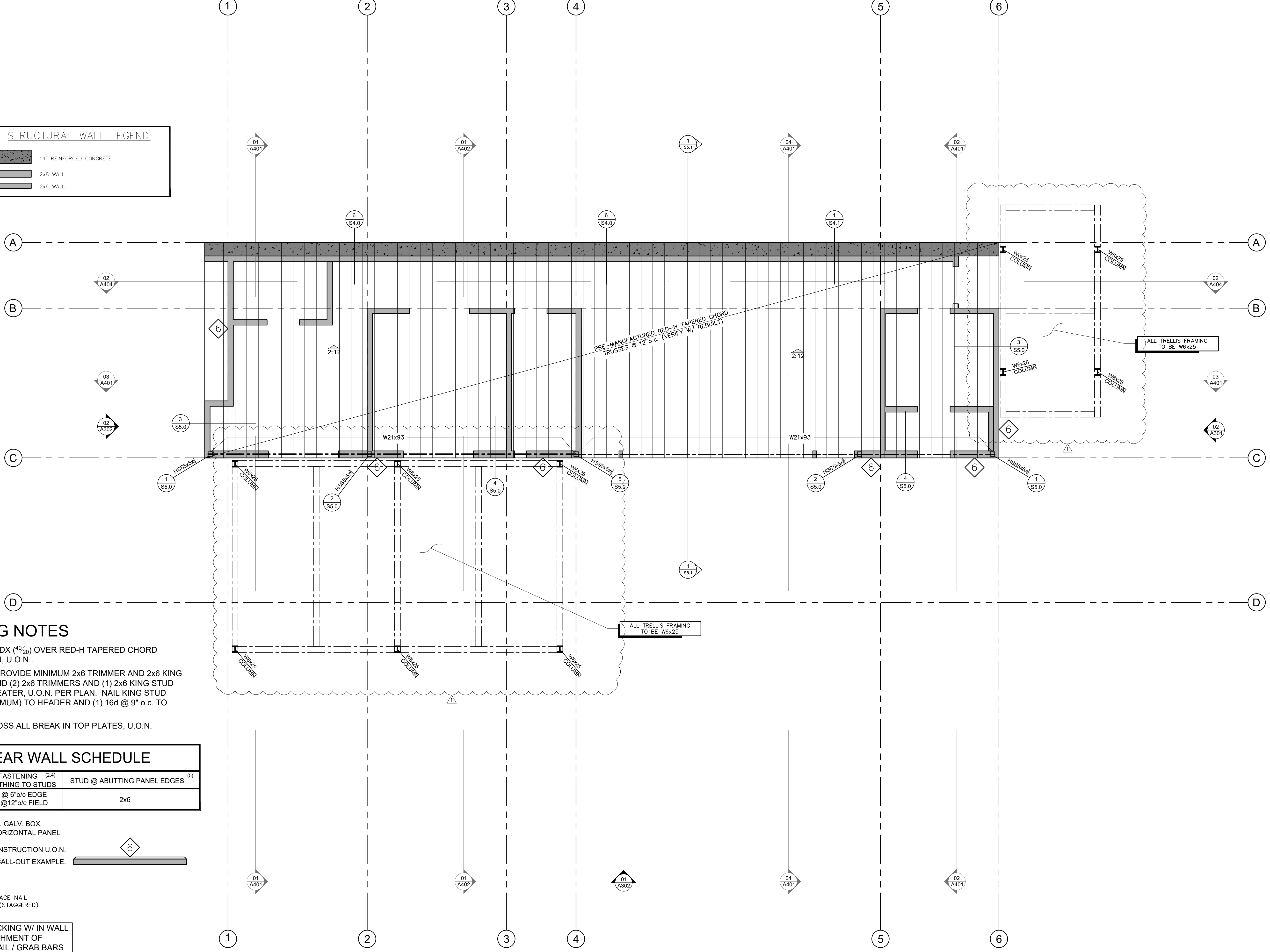
**MAXWELL**  
 STRUCTURAL DESIGN STUDIO  
 CRAIG MAXWELL P.E.  
 108 Lewis Street, Unit 205 • Ketchum, Idaho 83340  
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**S3.0**

**STRUCTURAL WALL LEGEND**

	14" REINFORCED CONCRETE
	2x8 WALL
	2x6 WALL



**ROOF FRAMING NOTES**

ROOF SYSTEM SHALL BE 3/8" CDX (40/20) OVER RED-H TAPERED CHORD TRUSSES @ 12" o.c. PER PLAN, U.O.N..

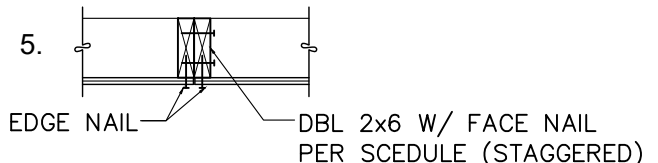
AT ENDS OF ALL HEADERS, PROVIDE MINIMUM 2x6 TRIMMER AND 2x6 KING STUD BELOW 6x8 HEADER AND (2) 2x6 TRIMMERS AND (1) 2x6 KING STUD UNDER 6x10 HEADER OR GREATER, U.O.N. PER PLAN. NAIL KING STUD WITH (2) 16d @ 6" o.c. ((6) MINIMUM) TO HEADER AND (1) 16d @ 9" o.c. TO TRIMMER STUD PACK, U.N.O.

PROVIDE MST37 STRAP ACROSS ALL BREAK IN TOP PLATES, U.O.N.

**SHEAR WALL SCHEDULE**

MK	SHEATHING <sup>(1)</sup>	FASTENING <sup>(2,4)</sup> SHEATHING TO STUDS	STUD @ ABUTTING PANEL EDGES <sup>(5)</sup>
6 <sup>(3)</sup>	3/8" CDX (1) SIDE	8d @ 6" o.c EDGE 8d @ 12" o.c FIELD	2x6

1. NAILS TO BE COMMON OR H.D. GALV. BOX.
2. BLOCK AND EDGE NAIL ALL HORIZONTAL PANEL EDGES.
3. MINIMUM EXTERIOR WALL CONSTRUCTION U.O.N.
4. SEE RIGHT FOR SHEAR WALL CALL-OUT EXAMPLE.



NOTE: PROVIDE SOLID BLOCKING W/ IN WALL FRAMING FOR ATTACHMENT OF HANDRAIL / GAUDDRAIL / GRAB BARS ETC. WHERE OCCUR.

**ROOF FRAMING PLAN**

SCALE : 1/4" = 1'-0"

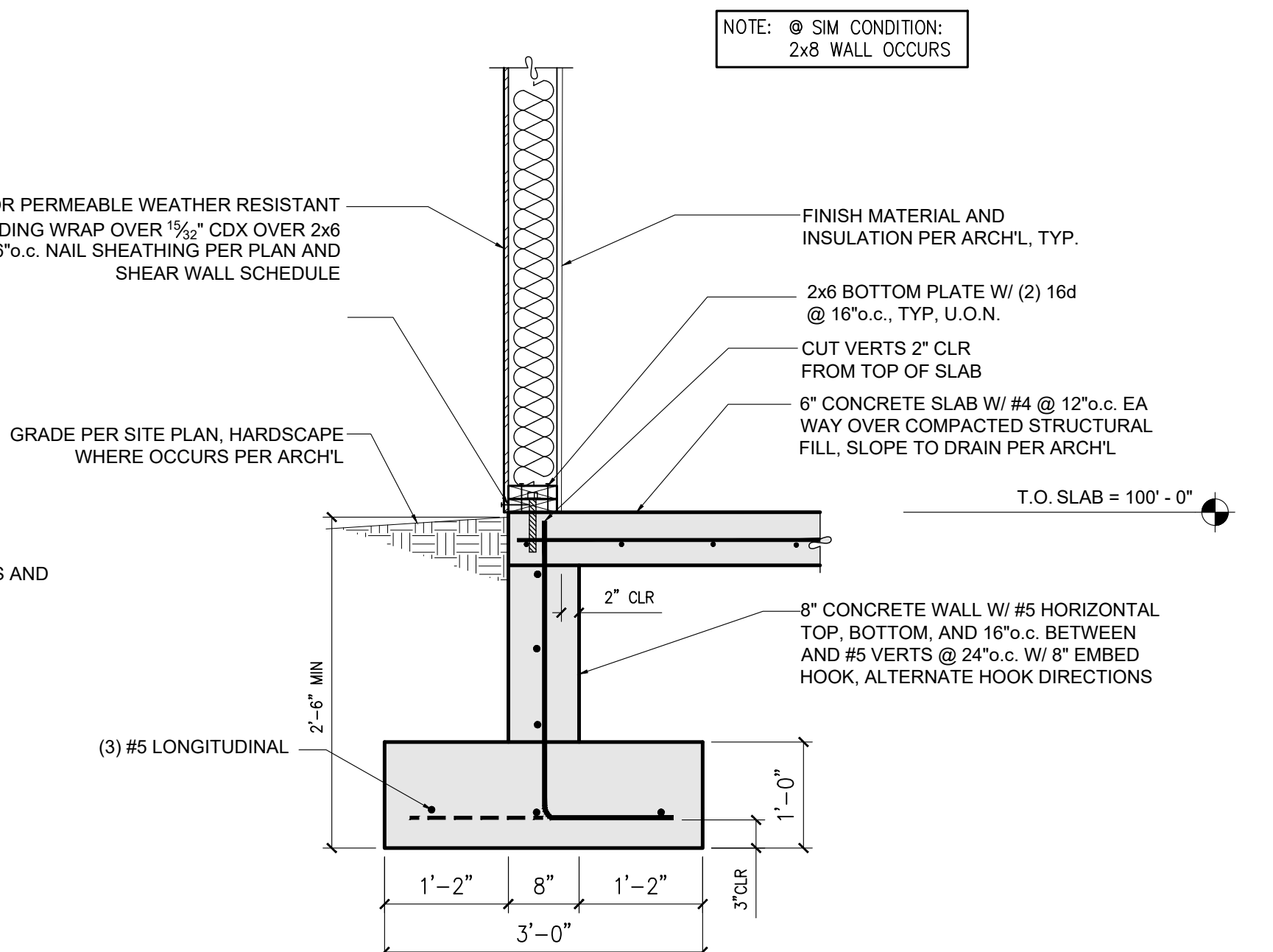
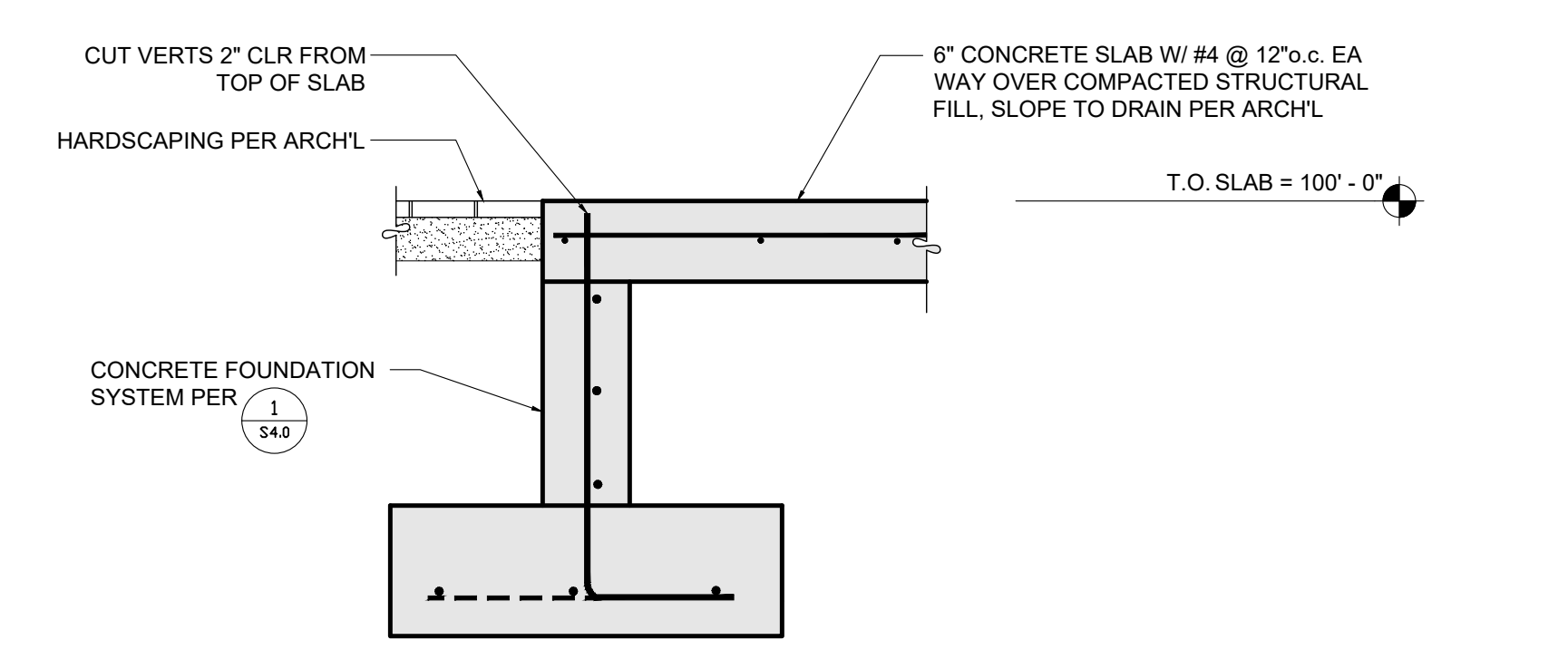
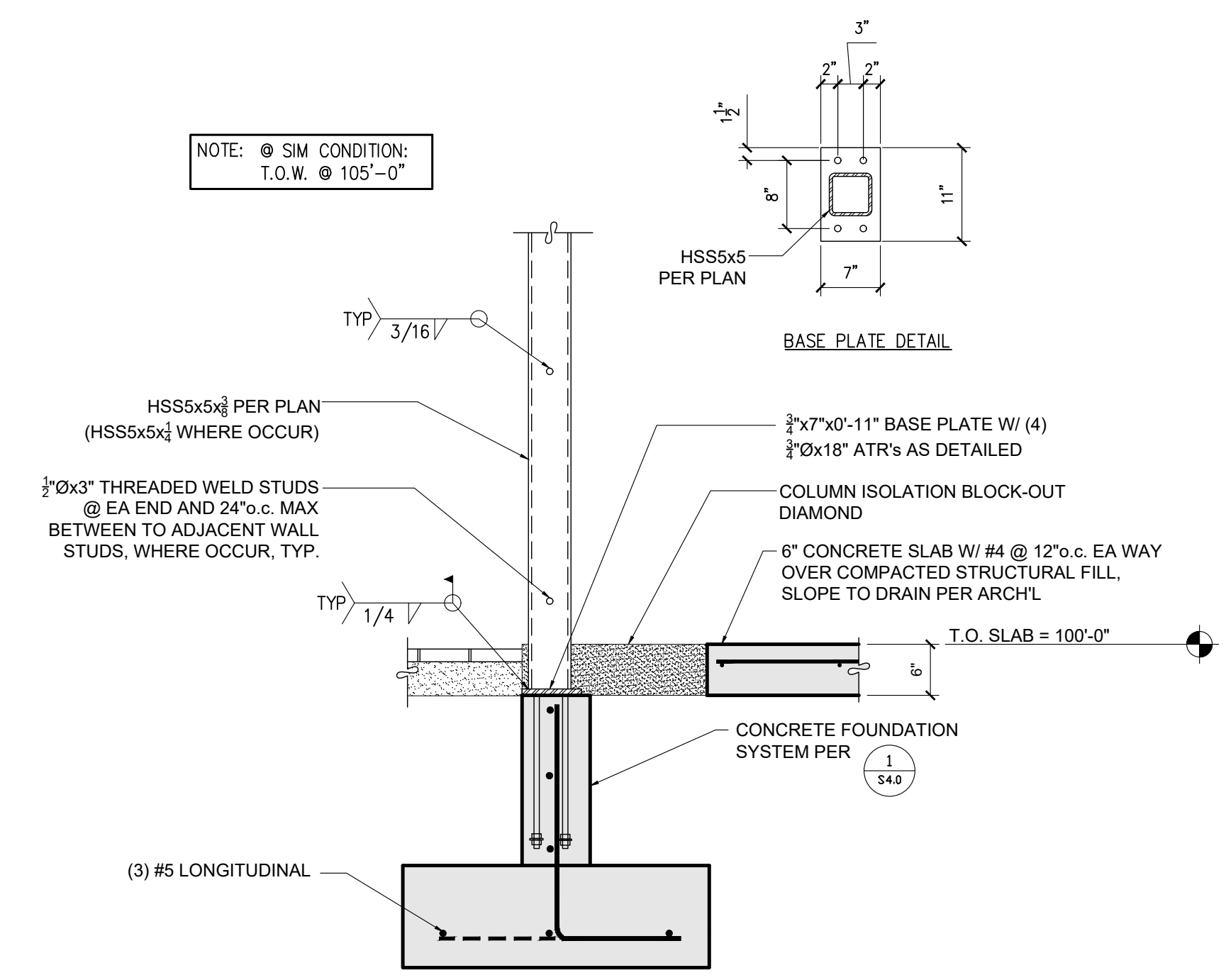
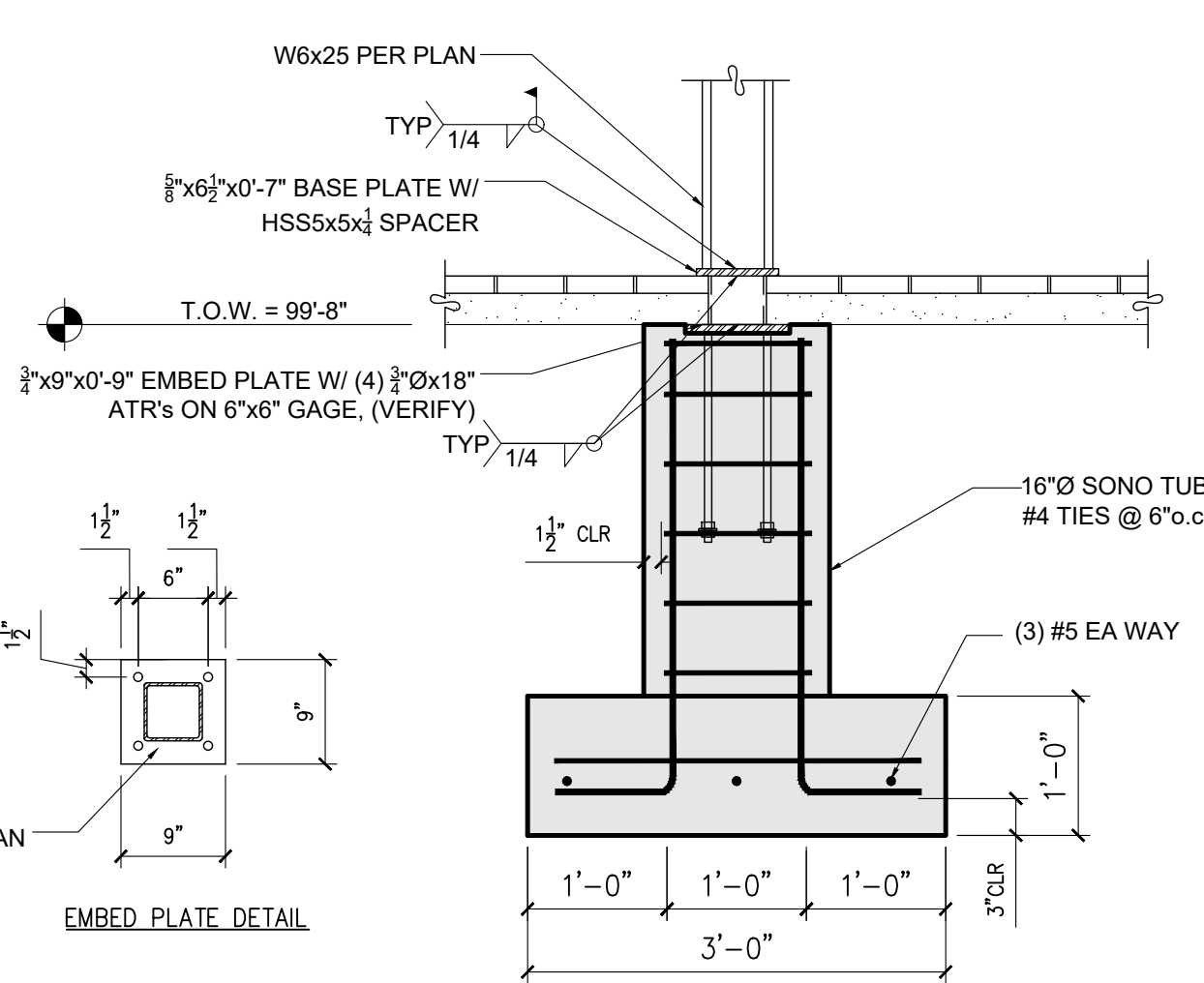
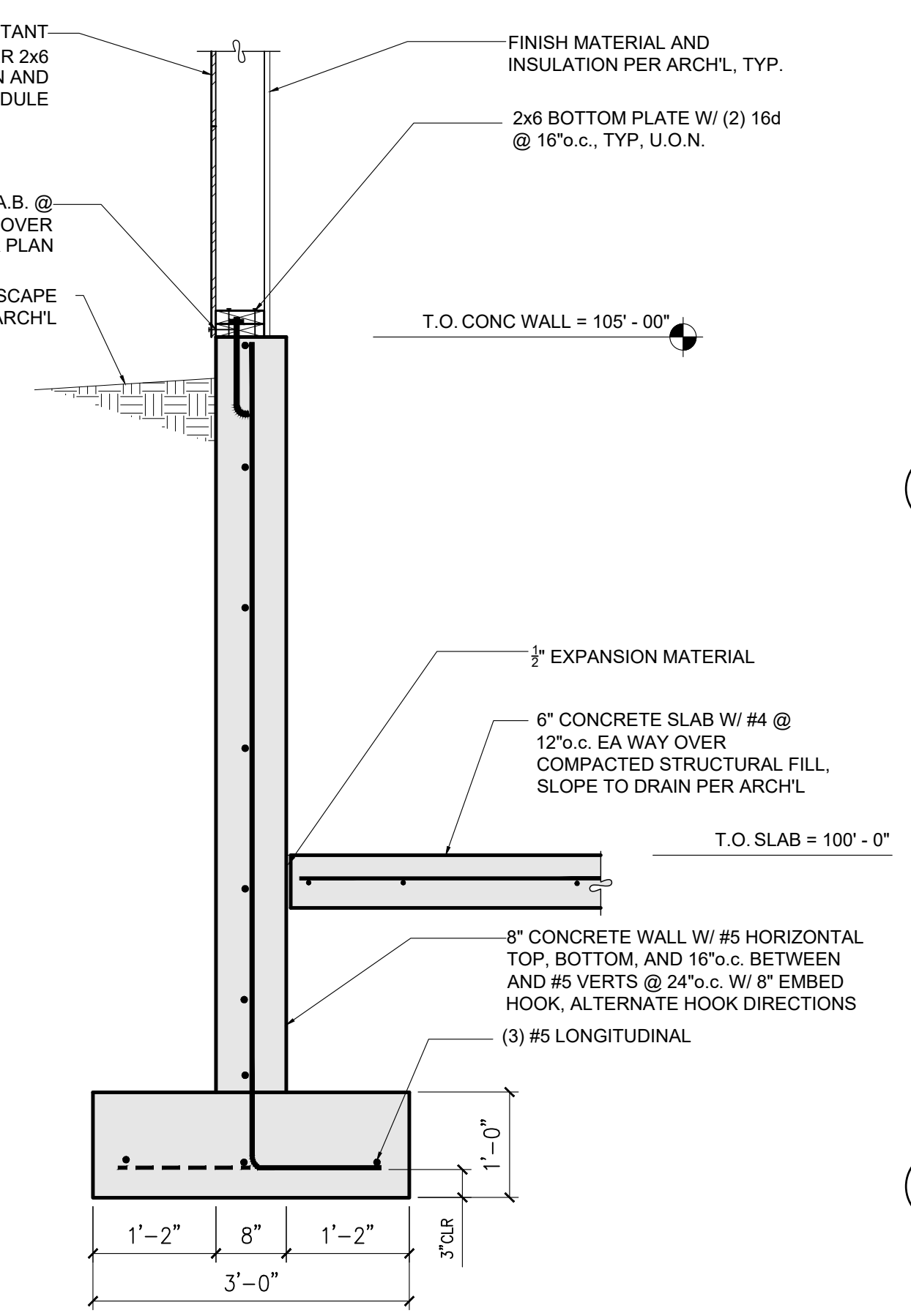
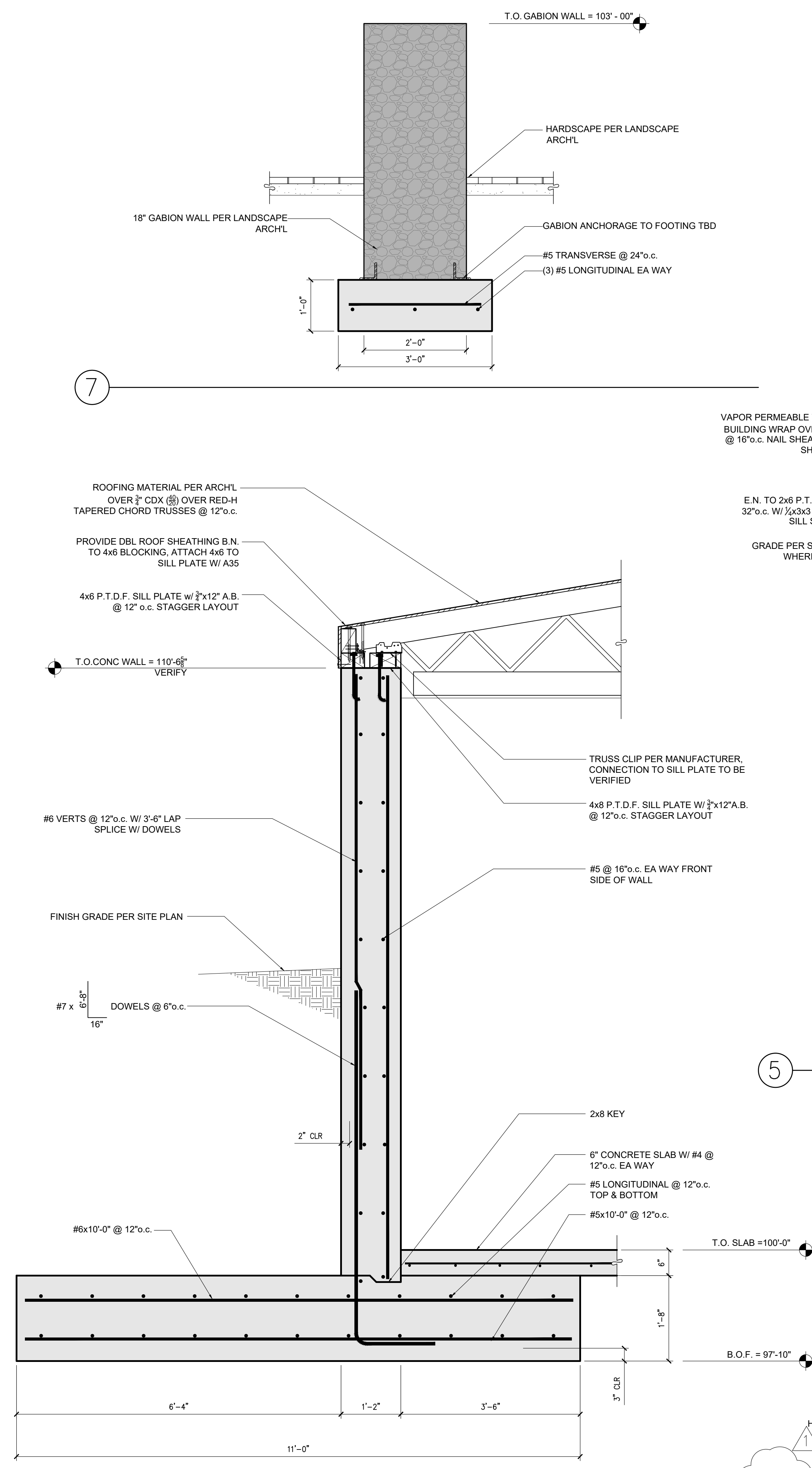


**MPH RESIDENCE**  
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 KETCHUM, ID



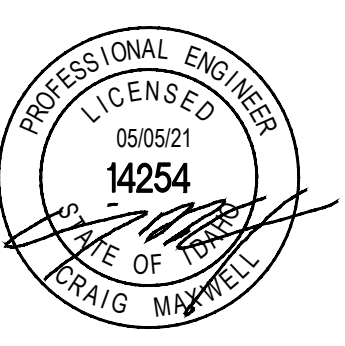
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**S4.0**



SCALE: 3/4" = 1'-0" U.N.O.

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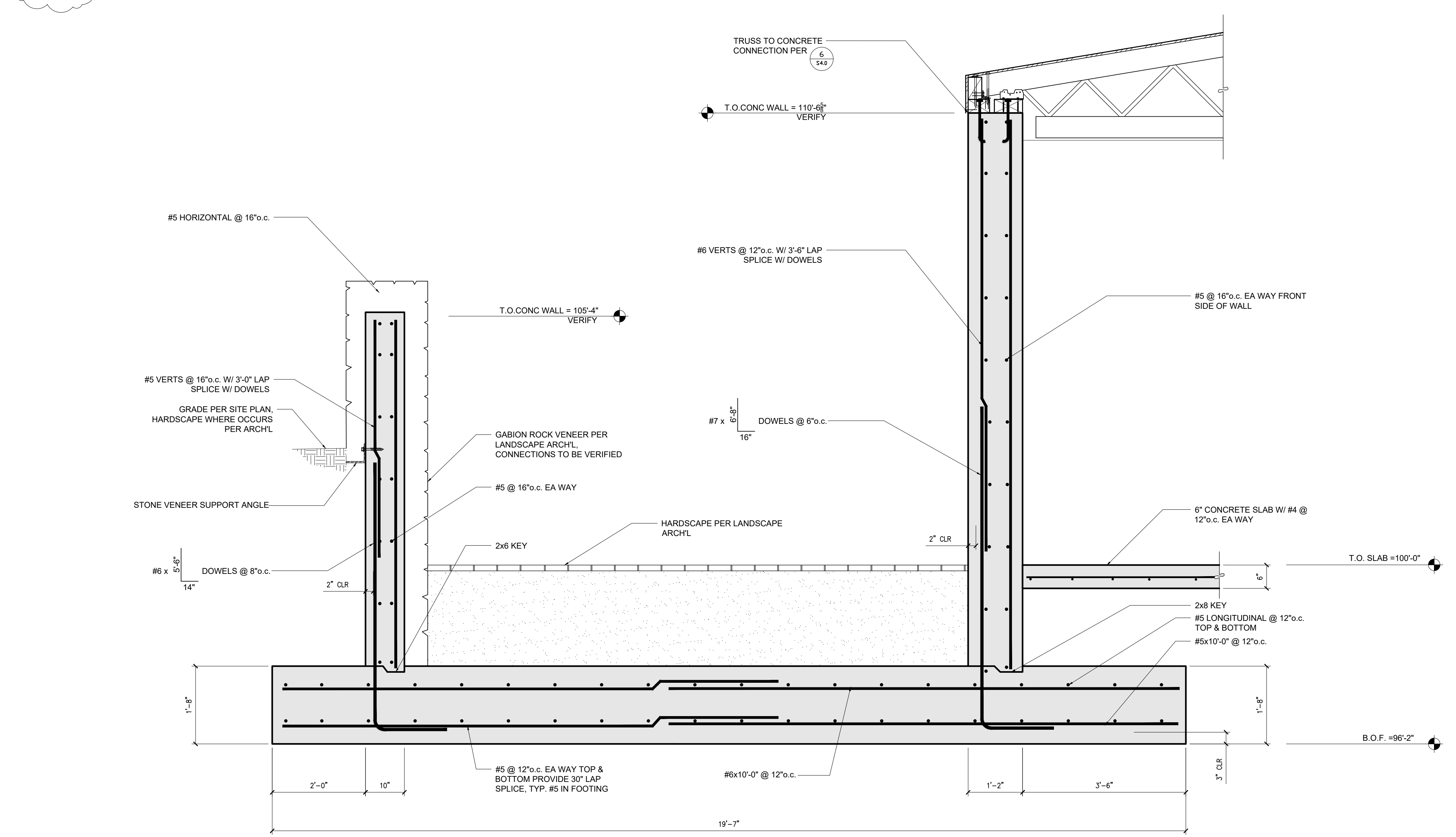
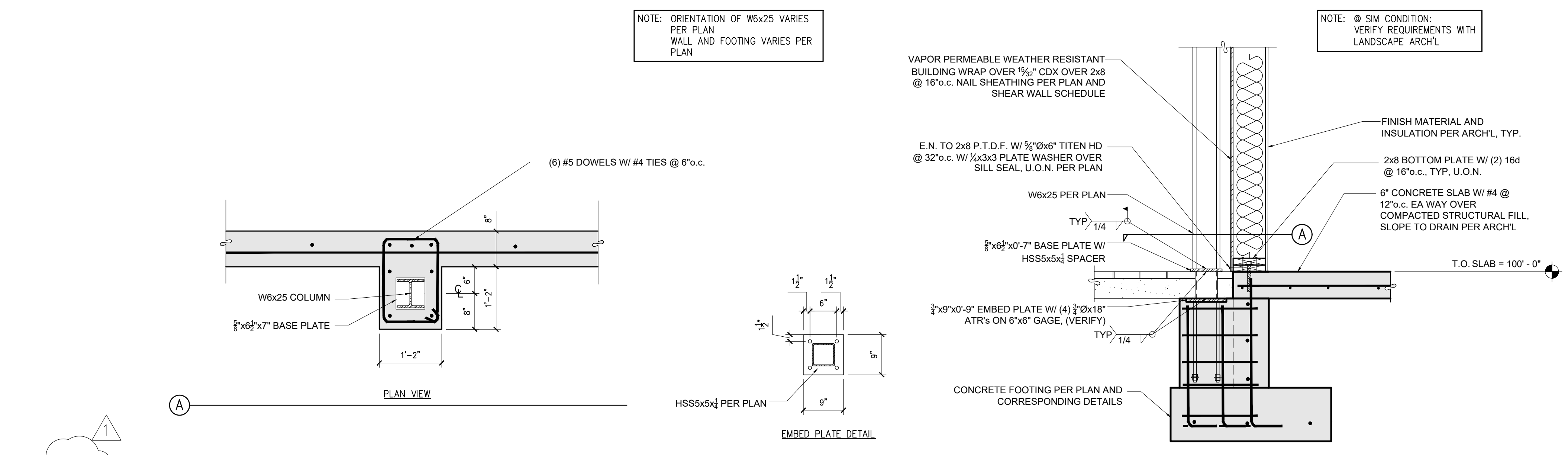


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NOTE: ORIENTATION OF W6x25 VARIES PER PLAN WALL AND FOOTING VARIES PER PLAN

NOTE: @ SIM CONDITION: VERIFY REQUIREMENTS WITH LANDSCAPE ARCH'L



1

SCALE: 3/4" = 1'-0" U.N.O.

ISSUE DATE
PERMIT SET: 4/2/2021
CONSTRUCTION SET: 4/16/2021
DELTA 1: 5/5/2021

**MPH RESIDENCE**  
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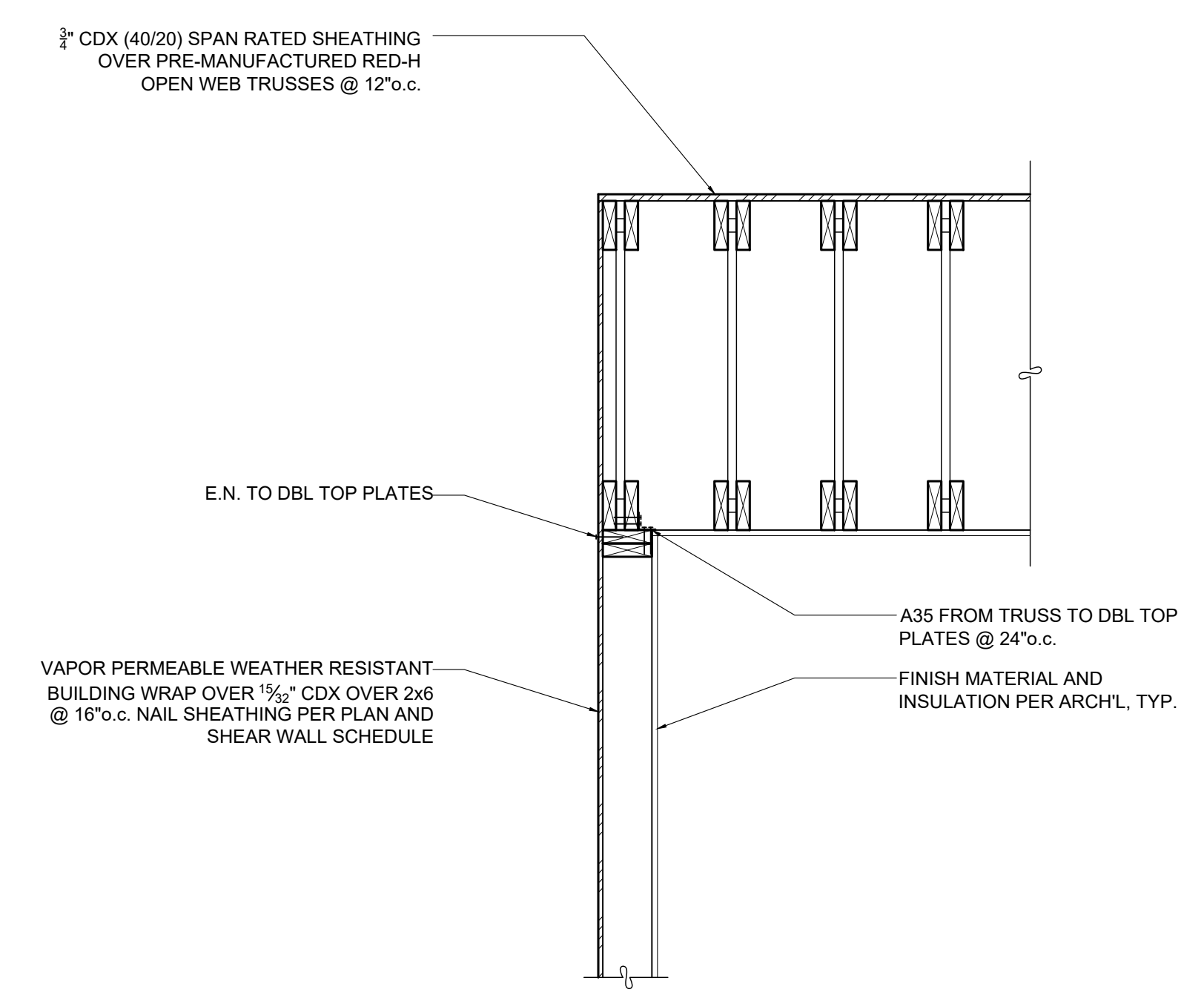


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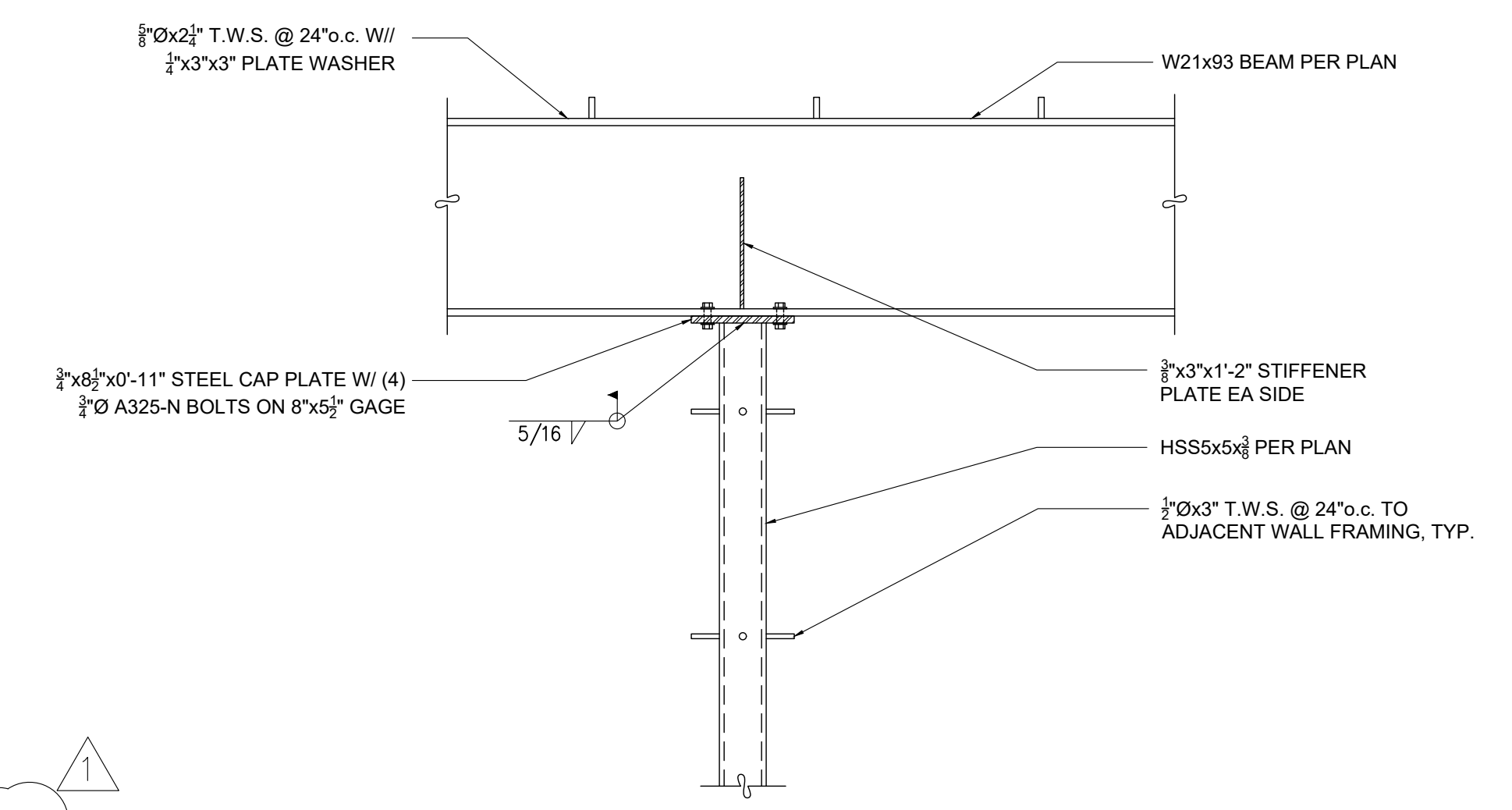


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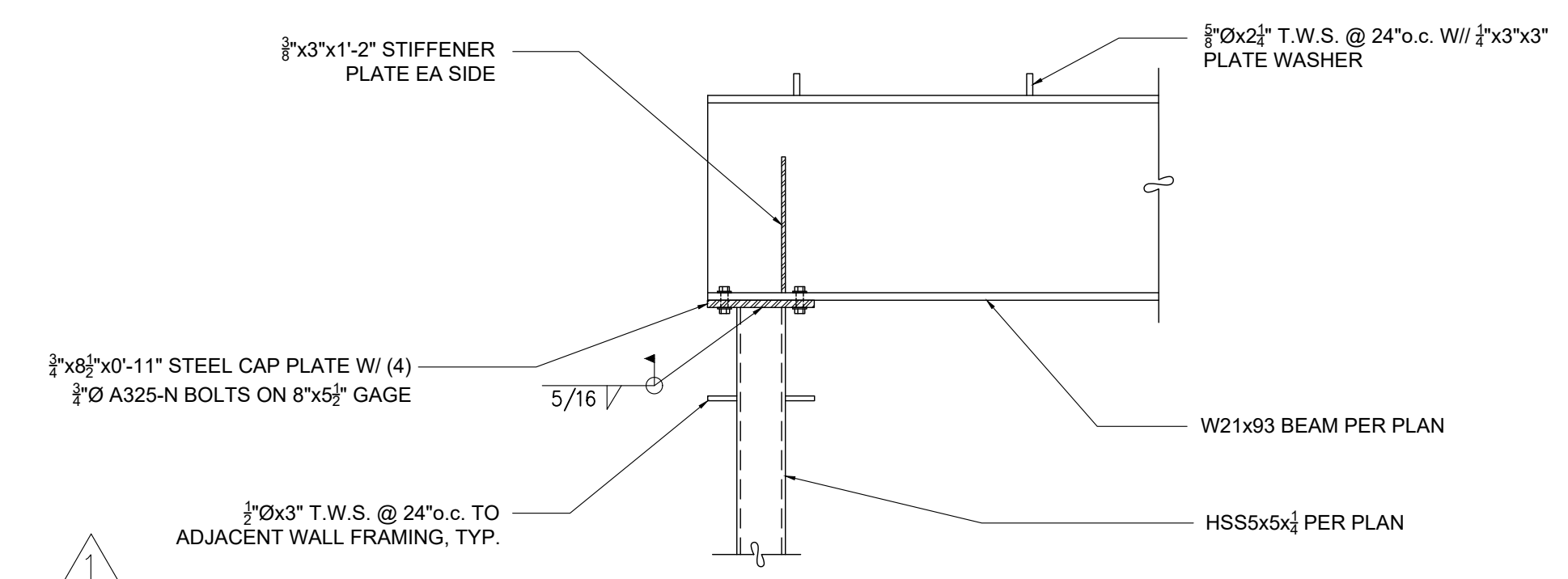
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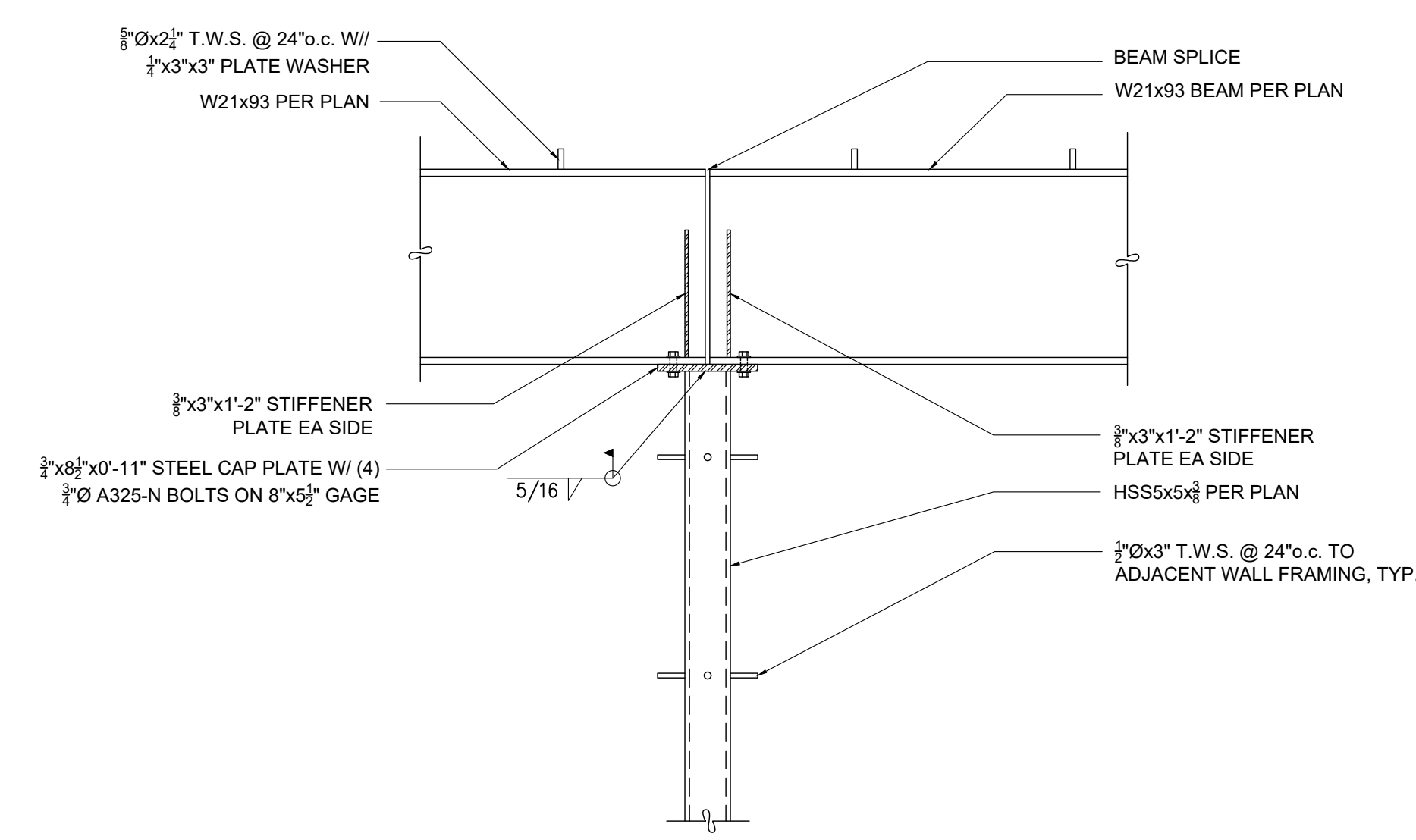
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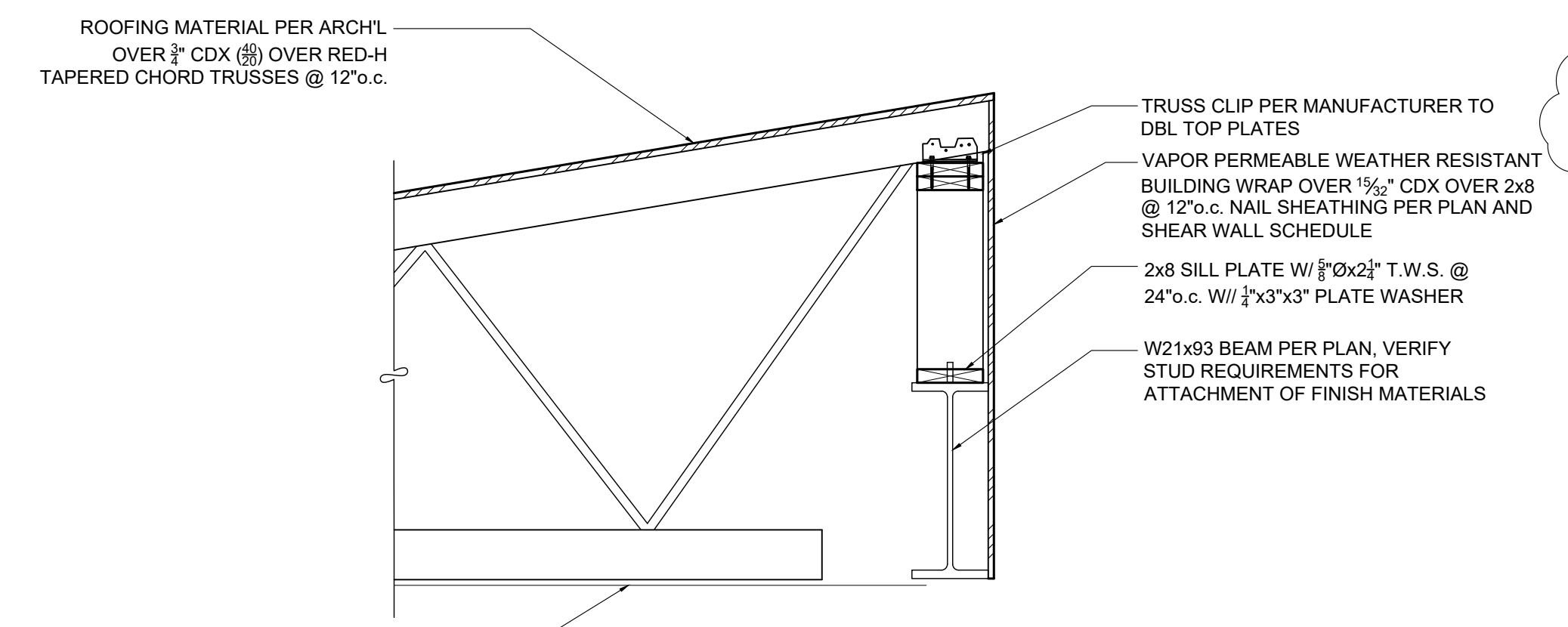
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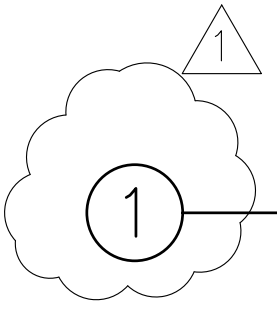
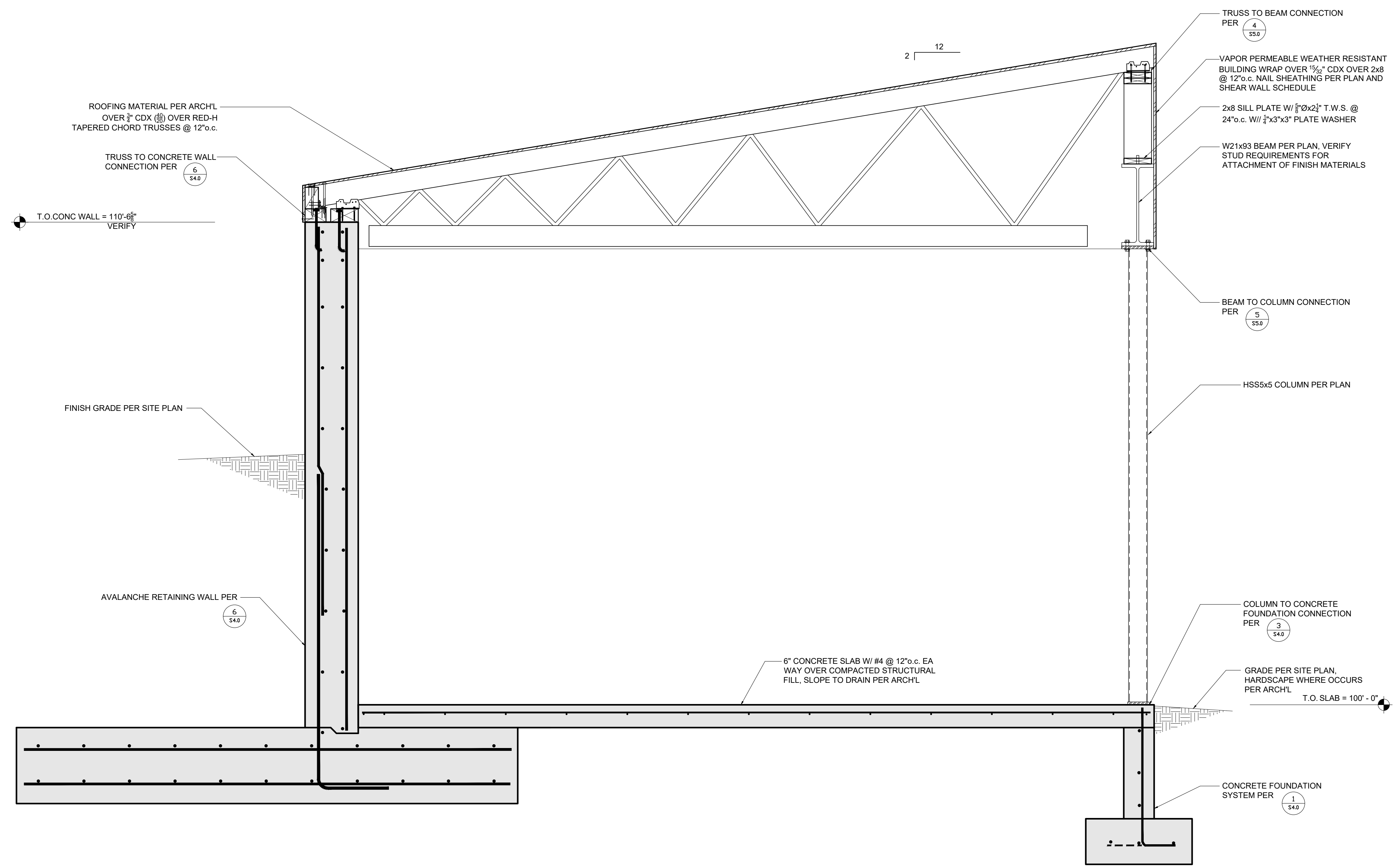
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SCALE: 3/4" = 1'-0" U.N.O.

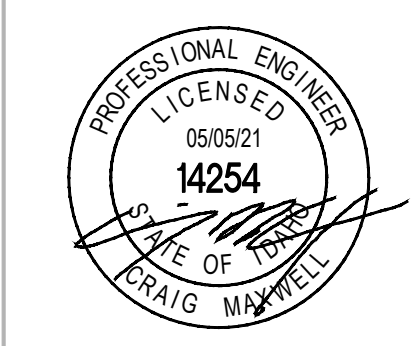
ISSUE DATE
PERMIT SET: 4/2/2021
CONSTRUCTION SET: 4/16/2021
DELTA 1: 5/5/2021

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SCALE: 3/4" = 1'-0" U.N.O.



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**S5.1**