

City of Ketchum Planning & Building

#### STAFF REPORT KETCHUM PLANNING AND ZONING COMMISSION MEETING OF NOVEMBER 9, 2021

PROJECT:	Moseley Residence
APPLICATION TYPE:	Design Review (Underground Structure Setback Encroachment)
REPRESENTATIVE:	Aaron Belzer, Farmer Payne Architects
OWNER:	Colin Moseley
LOCATION:	119 Sage Road (Warm Springs Village 4th Addition: Block 2: Lot 9)
ZONING:	General Residential Low Density (GR-L)
OVERLAY:	Avalanche
NOTICE:	A public hearing notice for the project was mailed to all owners of property within 300 feet of the project site on October 27 <sup>th</sup> , 2021. The public hearing notice was published in the Idaho Mountain Express the on October 27 <sup>th</sup> , 2021.

#### PROJECT BACKGROUND

The applicant submitted a building permit application for the construction of a new single-family residence and associated site improvements, including a pool, located at 119 Sage Road on April 6<sup>th</sup>,

2021. The project plans did not comply with Ketchum Municipal Code as noncompliant features encroached within the 15-foot required setback from front property line. The code compliance issue was flagged by the Planning Department and communicated to the contractor and architect on May 14<sup>th</sup>, June 22<sup>nd</sup>, July  $1^{st}$ , August  $26^{th}$ , and September  $13^{th}$ . The revised plans submitted by the applicant failed to address the code violation. The applicant started construction without an approved building permit (Figure 1). The Building Official issued a Stop Work Order for the project on August 9<sup>th</sup>, 2021.



Figure 1: Picture of Project Site Taken 8/9/21

#### ACTIONS BEFORE PLANNING AND ZONING COMMISSION

In order to issue a building permit for the proposed project, the project must comply with the Zoning Ordinance. There are two outstanding compliance issues. The first is the building foundation/structure encroaching into the front yard setback (Figure 2). Subject to Design Review approval, subterranean encroachments may be approved by the Planning and Zoning Commission. The second issue is the placement of an above-grade wall with a structural foundation and permanent stairs within the front setback area. The Commission is being asked to review the Design Review application for the subterranean encroachments and separately make a determination if the above-grade wall and stairs are considered permanent, structural elements that may not be located in the setback, or if the wall and stairs are landscape features that can be removed in the future and that may be located in the required setback.



#### **PROPOSED PROJECT**

The applicant submitted revised project plans on October 27<sup>th</sup>, 2021 showing their desired design and configuration for the residential development (Exhibit B). The site plan indicates stairs and a steel-clad, concrete wall encroaching within the front setback area. The stairs connect the driveway access along Sage Road to the front door of the home. The grade change from Sage Road to the residence's finished floor elevation is approximately 6 feet. The stairwell is comprised of 10 stair risers and includes a handrail.

The structural details on Sheet S4.1 show that the concrete wall is 9 feet-2 inches in height from the bottom of the footing to the top of the wall. As noted in the applicant's letter (Exhibit A), the wall has been engineered to withstand the avalanche forces that may impact the property. The foundation plan on Sheet S2.0 (See Figure 2) shows that the avalanche wall and building foundation footings are connected.

Moseley Residence Design Review (Underground Structure Setback Encroachment) Planning & Zoning Commission Meeting of November 9, 2021 City of Ketchum Planning & Building Department

#### OUTSTANDING COMPLIANCE ISSUE NO. 1: UNDERGROUND STRUCTURE ENCROACHMENT

As indicated on Sheet S2.0 (See Figure 2), the home's building footing encroaches into the front setback area. Below-grade structures may encroach into required setbacks subject to the standards specified in Ketchum Municipal Code §17.128.020.K.

- *K.* Encroachments of below grade structures into required setbacks are permitted provided all of the following standards are met:
  - 1. Proposed encroachments shall receive design review approval from the Planning and Zoning Commission; and
  - 2. Below grade encroachments into the riparian setback are not permitted; and
  - 3. Construction activity shall not occur on adjacent properties; and
  - 4. Encroachment of below grade structures into required setbacks shall not conflict with any applicable easements, existing underground structures, sensitive ecological areas, soil stability, drainage, other sections of this Code or other regulating codes such as adopted International Code Council Codes, or other site features concerning health, safety, and welfare; and
  - 5. Egress openings required by adopted International Code Council Codes shall not encroach in required setbacks; and
  - 6. Below grade encroachments into required setbacks shall be located entirely below natural, existing, or finished grade, whichever is lowest; and
  - 7. The ground above below grade encroachments within required setbacks that is not otherwise covered by permitted decks, fences, hedges and walls shall be suitably landscaped in keeping with the general character of the surrounding neighborhood or as otherwise required by this Code.
    - a. Required landscape plans shall address the compatibility of proposed landscaping with the below grade structure, including any necessary irrigation; and
  - 8. Below grade encroachments into required setbacks shall not interfere with drainage.
    - a. Required drainage plans shall address the ability of drainage to be managed on the subject property with respect to underground encroachments into required setbacks.

The building footing meets these required standards. The below-grade structure does not conflict with any applicable easements, sensitive ecological areas, or drainage. The building footing is located entirely underground. Staff recommends approval of the underground encroachment.

#### **OUTSTANDING COMPLIANCE ISSUE NO. 2: PERMANENT STRUCTURES IN FRONT SETBACK** Ketchum Municipal Code: Setback Requirements

Ketchum Municipal Code §17.08.020 defines setback as the minimum horizontal distance between a specified lot line (front, side, rear), measured along a straight line and at a right angle to such lot line, and the nearest point of an above-grade or below-grade building or structure.

# *Ketchum Municipal Code §17.08.020: Definitions* BUILDING:

- A. Any permanent structure built for the shelter or enclosure of persons, animals, chattels or property of any kind, which:
  - 1. Is permanently affixed to the land; and

Moseley Residence Design Review (Underground Structure Setback Encroachment) Planning & Zoning Commission Meeting of November 9, 2021 City of Ketchum Planning & Building Department

- 2. Has one or more floors and a roof.
- B. Any appendages to said structure, such as decks, roof overhangs and porte-cocheres, are part of said building for purposes of determining building coverage, setbacks or other regulations unless otherwise specified.

STRUCTURE: Anything permanently constructed in or on the ground, or over the water, including gas or liquid storage tank that is principally above ground and manufactured homes; excluding fences less than six feet in height, decks less than 30 inches above grade, paved areas, and structural or nonstructural fill.

#### Ketchum Municipal Code §17.128.020: Supplementary Yard Regulations

Supplementary yard regulations specified in Ketchum Municipal Code §17.128.020 provide allowances for certain features to extend into required setback areas. For example, cornices, canopies, eaves, chimney chases, or similar architectural features may extend into a required yard not more than 3 feet and decks less than 30 inches in height from existing grade may be constructed to the property line.

All structures are subject to setbacks. Structures include anything permanently constructed in or on the ground (KMC §17.08.020). The only elements not qualified as structures are fences less than 6 feet in height, decks less than 30 inches above grade, paved areas, and structural or nonstructural fill (KMC §17.08.020).

#### Wall & Stairs

Staff has qualified the avalanche wall and stairs as permanent structures subject to setbacks as these features are permanently constructed in the ground. The zoning code does allow features like fences that are not permanent within setbacks. The wall footing is connected to the building footing. The wall is an appendage to the principal residential structure and is subject to setbacks pursuant to Ketchum Municipal Code §17.08.020.

#### STAFF RECOMMENDATION

*Outstanding Compliance Issue No. 1: Underground Structure Encroachment* Staff recommends that the Commission approve the Design Review application for the subterranean building structure.

#### Outstanding Compliance Issue No. 2: Permanent Structures in Front Setback

Staff recommends the Commission make a determination if the above-grade wall and stairs are considered permanent, structural element that may not be located in the setback, or if the wall and stairs are landscape features that can be removed in the future and that may be located in the required setback.

#### EXHIBITS:

- A. Applicant Letter
- B. Moseley Residence Project Plans

# Exhibit A Applicant Letter

FARMERPAYNE | ARCHITECTS

To Whom it may concern,

The point of the following letter is to bring the commission up to speed on the project, and to provide some context of the Permitting process to date.

After several meetings with the Planning and Zoning Department and multiple rounds of comments, we are presenting to you our design for 119 Sage Rd. A small structure that sits towards the front of the property to allow for ample yard space to the south. The issue at hand is the encroachment of the building footing into the Front Setback, and the design of a landscape wall that is also within the Front Setback. I've split these issues into 2 different topics because despite them having a connected footing, we believe they should be treated as 2 separate issues. I've tried to tackle each of those below.

#### 1. Building Footing encroachment into Building Setback:

As per our previous conversations with the city, We have always measured Setbacks to the face of wall and never to edge of foundation footing. In all of our combined experience as a design/construction team in Ketchum, A footing encroachment into a setback has not been a barrier to approval and has not needed special approval from P&Z. This is true not only for the City of Ketchum, but for all of the various jurisdictions we have worked in.

I've included several precedent projects that show this condition. These are a few of the projects that the design team has completed in the last couple of years within the City of Ketchum that show a version of this condition. Again, these were all approved without needing special approval through P&Z. We hope these clearly demonstrate our argument.

#### FPA, MSDS, BYLA, & HALL BROWN

 -116 Sage Rd (Footings for Avalanche wall encroach into setbacks) <u>MSDS</u>

-124 Sage Rd (Footing for house is within setback, site wall connected to house also within setback)

-221 Sage Rd (Footing for avalanche wall is within setback)

**BYLA** 

-411 Leadville Ave, Ketchum, ID (4' tall wall and footing within front setback)

-671 Alpine Lane, Ketchum, ID (4' tall wall and footing within front setback) HALL BROWN

-206 Fox Run Rd (Site walls and Architectural footings all encroach within side and front setbacks)

-This project was approved Pre-2018 and completed in 2018, but still shows

that historically, footings and site-walls have been allowed with setbacks.

#### 2. Site wall with Connected Footing:

The existing topography of the site falls steeply away from Sage Rd, and the intention of the site wall is to maintain the current grading within the R.O.W. while providing at grade landscape steps that lead you down to the Finish Floor Elevation. We are not doing any excavation to accomplish this design.

The Site wall has been documented by BYLA to conform to all city requirements for landscape site walls. The design consists of a concrete wall clad in steel that is engineered for the avalanche forces that are present on site. To clarify, the wall itself is not an avalanche protection wall per se, but is engineered so that if an avalanche does occur, the wall does not become a projectile as part of the avalanche. This is standard practice for site walls within Avalanche Zones as Craig Maxwell will talk about this at the meeting.

One other point that has been brought up through this process, is the need for site or landscape walls to be engineered with footings. Site walls, whether they are in the Avalanche zone or not, require properly engineered footings. Several of the precedent projects I listed above also have this condition.

While the Footings are connected for building efficiency the site wall and the Primary building structure are completely structurally independent of one another. The footings are only connected to simplify the concrete formwork and pour. Therefore the site wall could be removed by a future owner with no impact to the engineering of the Building.

Thank you for taking the time to review our design.

Best.

#### Aaron Belzer Associate

Sun Valley | 208. 214. 5155 Jackson Hole | 307. 264. 0080 Louisiana | 318. 383. 3100

Exhibit B Moseley Residence Project Plans





DATE:	5/17/21
PROJECT #:	SV2004
DRAWN:	AB / CB
ISSUE:	
CD Set	4/02/21
Revision 01	4/19/21
Revision 02	4/29/21





# **PROJECT DIRECTORY**

Energy Consultant:

Avalanche Consultant:

CM & MPM Revocable Trust PO Box 21866 Seattle, WA. 98111

Farmer Payne Architects Scott Payne, Principal, AIA, LEED AP PO Box 869 Ketchum, ID. 83340 t: 208.214.5155 e: scott@farmerpaynearchitects.com

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Maxwell Structural Design Studio Craig Maxwell PO Box 1991 Ketchum, ID. 83340 t: 208.721.2171 e: craig@maxwellsds.com

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John Reuter Greenworks John Reuter PO Box 4714 Ketchum, ID. 83340 t: 208.721.2922 e: jreuter@gmx.com

Alpine Enterprises Bruce Smith PO Box 2037 Ketchum, ID. 83340 t:208-720-3042 e:bsmith@alpineenterprisesinc.com

# **GENERAL NOTES**

01. All work shall be done in accordance with all applicable, currently adopted federal, state, and local codes and requirements to include, but not limited to the International Building Code, the International Residential Code, the National Electric Code, the Uniform Plumbing Code, and the Uniform Mechanical Code.

02. All subcontractors shall inspect the site before beginning work and identify any conflicts or inconsistencies between the Contract Documents and the existing conditions.

03. All subcontractors shall notify the Owner and the Architect of conditions which require deviation from constructing the work as indicated in the Contract Documents.

04. Do not scale drawings. Large scale drawings take precedence over smaller scale drawings. Contact Architect for any undocumented dimensions or clarification of any dimensional discrepancies.

05. The General Contractor shall submit all proposed substitutions in writing to the Owner and the Architect for approval with samples, cost analysis, and sufficient information for evaluation. If a revision or substitution is made without the Owners' written approval that does not conform to the Contract Documents, it will relieve the Architect and Owner of any liability from the resulting aesthetic effect, subsequent failure, property damage, or personal injury.

07. All subcontractors shall perform high quality, professional work. The work of each trade shall meet or exceed all quality standards published by that trade.

08. All subcontractors shall comply with the rules of the City of Ketchum and the direction of the Owner for construction site facilities, use of premises, access to the site, and trash removal.

09. All work vehicles must be parked within areas indicated on Construction Activity Plan

10. It is the intent of these plans and specifications to describe a complete and finished project other than items marked NIC (not in Contract). Errors and omissions that may occur in contract documents shall be brought to the attention of the Architect. The General Contractor will be held responsible for the results of any errors, discrepancies, or omissions which the General Contractor fails to notify the Architect before construction or fabrication of the work.

11. The General Contractor and Subcontractors shall verify all dimensions and job conditions at the job site sufficiently in advance of work to be performed to assure the orderly progress of the work.

12. The presence of the architect on the job site does not imply approval of any work. The General Contractor must call specific items to the attention of the Architect if he/ she wishes to obtain the Architects approval.

13. The General Contractor shall protect all newly installed materials, finishes, and assemblies from damage throughout construction.

14. The General Contractor shall provide adequate and proper dry storage and handling of all building materials, supplies and finishes in accordance with the manufacturer's recommendations.

15. The General Contractor shall submit shop drawings for windows, doors, millwork, cabinetry, decorative steel elements, etc as wells as samples for all finishes. All Submittals shall be approved by Architect before installed

# **GENERAL SITE CONDITIONS**

01. The General Contractor shall coordinate with the Architect for the final building location, and driveway layout.

02. The General Contractor shall dispose of all excess excavated material.

03. The General Contractor shall maintain the site throughout the course of the project by: repairing all earth related scarring resulting from equipment, spills, etc.

04. The General Contractor is responsible for the coordination and installation of all necessary site utilities including but not limited to power, telephone, water, sanitary sewer, gas, cable, etc. The General Contractor shall fill in and compact all trenches cut to install utilities on the site and verify all locate of meters, cans, tanks, lines with the Architect.

# **CODE ANALYSIS**

2018 International E and Residential Cod

Construction Type

Number of Stories

Building Height Zoning:

Parking Spaces:

No Proposed Fire S

# SQUARE FOOTAGE TABULATIONS

PROPOSED SQUA Main Level Habitat

## BUILDING COVER

Lot Area: Building Coverage: Building Coverage Building Coverage

## SETBACKS

	REQUIRED:
Front:	15'-0"
Side:	5'-0" (Based on Bldg Ht)
Side:	5'-0" (Based on Bldg Ht)
Rear:	15'-0"

Building de		
	Туре V	>
	1	>
	15'-5 1/2"	>
	GR-L	>
	2	>
Sprinklers		>

ARE	FOOTAGE

ble:	1,068 sf
RAGE:	
: Percentage: Percentage: (Allowe	10,031 sf 1,068 sf 10.6% ed) 35%
6	
RED:	PROPOSED: *
	15'-1 5/8"
used on Bldg Ht)	7'-6 5/8"

8'-2 3/8"

16'-3"

DRAWING INDEX			
A001	Cover		
A002	General Notes and Drawing Index		
A101	Perspectives		
A102	Perspectives		
A103	Perspectives		
A107	Material Board		
CIVIL			
C-1 C-2	Survey Grading & Drainage Plan Details		
LANDSCAP	Έ		
L0.0	Cover		
L1.0	Tree Removal Plan		
L2.0	Site Plan		
L3.0	Grading Plan		
L3.1	Pool/Spa & Wall Layout		
L3.2	Patio Layout		
L4.0	Leisure Pool Details & Specs		
L4.1	Leisure Pool Evaluation Report		
L5.0	Lighting & Utility Plan		
L5.1	Fixture Cut Sheets		
L6.0	Landscape Schedule		
<b>ARCHITEC</b>	ARCHITECTURAL		
A200	Architectural Site Plan		
A200A	Recessed Slab Plan		
A201	Main Level Plan - Noted		
A202	Main Level Plan - Dimensioned		
A203	Main Level - RCP		
A204	Roof Plan		
A301	Elevations		
A302	Elevations		
A401	Building Sections		
A402	Building Sections		
A501	Wall Sections		
A502	Wall Sections		
A503	Wall Sections		
A504	Window / Door Details		
A801	Door & Window Schedules		
STRUCTUR	AL		
S1.0	Structural Specifications		
S2.0	Foundation Plan		
S3.0	Roof Framing		
S4.0	Details		
S4.1	Details		
S5.0	Details		
S5.1	Details		



V3



# FARMERPAYNE ARCHITECTS Jackson Hole 260 West Broadway, Suite A Jackson, WY 83001 T.307.264.0080 Sun Valley 351 N Leadville Ave, Suite 204 Ketchum, ID 83340 T.208.214.5155 Louisiana 910 Pierremont Rd. Suite 410 Shreveport, LA 71106 T.318.383.3100 ARCHITECT STAMP: LICENSED ARCHITECT AR 986479 5/17/21 آ Scott Payne STATE OF IDAHO CONSTRUCTION DOCUMENT SET This drawing and design is the property of Farmer Payne Architects, LLC. They are submitted on the condition that they are not to be used, reproduced, or copied, in whole or part, or used for furnishing information to others, without prior written consent of Farmer Payne Architects, LLC. All common law rights of copyright & otherwise are hereby specifically reserved. Ш ()Ζ RD . 83340 Ш 119 SAGE F TCHUM, ID. S Ш $\mathcal{L}$ ШУ Т Ω Σ 5/17/21

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SV2004

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4/02/21 4/19/21

4/29/21

# MPH RESIDENCE 119 SAGE | KETCHUM, ID 83340



# SHEET INDEX

SHEET TITLE	SHEET NO.
COVER	L0.0
TREE REMOVAL PLAN	L1.0
SITE PLAN	L2.0
GRADING PLAN	L3.0
POOL/SPA + WALL LAYOUT	L3.1
PATIO LAYOUT	L3.2
DETAILS   LEISURE POOL SPECS AND FACT SHEET	L4.0
DETAILS   LEISURE POOL EVALUATION REPORT	L4.1
LIGHTING + UTILITY PLAN	L5.0
FIXTURE CUT SHEETS	L5.1
LANDSCAPE SCHEDULE	L6.0

## **PROJECT INFORMATION** <u>OWNER</u>

COLIN AND MARTHA MOSELEY

### PROJECT ADDRESS

119 SAGE ROADKETCHUM, ID 83340

### LEGAL DESCRIPTION

WARM SPRINGS VILLAGE 4TH ADD LOT 9 BLK 2

#### PARCEL NUMBER RPK06100020090

ARCHITECT OF RECORD FARMER PAYNE | ARCHITECTS 351 N LEADVILLE AVE, UNIT 204 KETCHUM, ID 83340

## LANDSCAPE ARCHITECT

BYLA 323 LEWIS ST. N. PO BOX 594 KETCHUM, ID 83340

### CONTRACTOR/BUILDER BYLA

323 LEWIS ST. N. PO BOX 594 KETCHUM, ID 83340

## VICINITY MAP

119 SAGE ROAD-(WARM SPRINGS)



# SITE LOCATOR









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# COVER













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# TREE REMOVAL PLAN











SYMBOL	DESCRIPTION
	Property Line
	Setbacks / Easements
XXXX	Existing Contours
XXXX XXXX	Proposed Contours
	Existing Nearby Utility
$\bigcirc$	Existing Vegetation
GAS	Utility - Gas
SWR	Utility - Sewer
W	Utility - Water
	Hardscape - Concrete Curb
	Hardscape - Cut Stone Pavers
	Hardscape - Stone Steps
	Site Wall - Gabion
	Site Wall - Gabion with Wood Cap
	Landscape Boulders
	Landscape - Shrubs
	Landscape - Trees







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# SITE PLAN









SHEET LEGEND		
SYMBOL	DESCRIPTION	
	Property Line	
	Setbacks / Easements	
 	Existing Contours	
XXXX XXXX	Proposed Contours	
	Existing Nearby Utility	
	Existing Vegetation	
	Hardscape - Concrete Curb	
	Hardscape - Cut Stone Pavers	
	Hardscape - Stone Steps	
	Site Wall - Gabion	
	Site Wall - Gabion with Wood Cap	
	Landscape Boulders	

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BYLA Landscape Architects

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## **GRADING + DRAINAGE LEGEND** SYMBOL DESCRIPTION $\oplus$ 24" Drywell (Cast Iron): 3 Qty. Drainage Direction

f.	Flush Grade Condition
FFE	Finished Floor Elevation
+10.50	Spot Elevation
+HPS	High Point of Swale
FG	Finished Grade
FS	Finished Surface
TW	Top of Wall

# NOTE:

- 1. FOR FINAL GRADING DRAINAGE PLAN, PLEASE REFER TO CIVIL DRAWINGS C1-C2
- 2. FOR DETAILS, PLEASE REFER TO CIVIL DRAWINGS
- C1-C2 3. FOR FINAL UTILITY LAYOUT/CONNECTIONS, PLEASE 4. STORMWATER RUNOFF TO BE COLLECTED ON SITE
- THROUGH SWALE AND LANDSCAPE DRAIN SYSTEM. CATCH BASINS AND DRYWELLS, PER CIVIL ENGINEER.

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23'-8" STEEL CLAD WALL +FG PER PLAN	GRAI	DING PLAN
	SHEET NO.	

NOTE: SHRUBS WILL BE PLANTED IN FRONT OF WALL. SEE LANDSCAPE PLAN ON L6.0.



SHEET LEGEND			
SYMBOL	DESCRIPTION		
	Property Line		
	Setbacks / Easements		
 	Existing Contours		
XXXX XXXX	Proposed Contours		
	Existing Nearby Utility		
	Existing Vegetation		
	Hardscape - Concrete Curb		
	Hardscape - Cut Stone Pavers		
	Hardscape - Stone Steps		
	Site Wall - Gabion		
	Site Wall - Gabion with Wood Cap		
	Landscape Boulders		

# NOTE:

WALL LAYOUT DIMENSIONS TO CENTER LINE OF WALL
 REFER TO STRUCTURAL ENGINEERS SHEETS FOR FOOTING LAYOUT AND DETAILS







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# POOL/SPA + WALL LAYOUT

SHEET NO.

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SYMBOL	DESCRIPTION			
	Property Line			
	Setbacks / Easements			
 	Existing Contours			
XXXX XXXX	Proposed Contours			
	Existing Nearby Utility			
	Existing Vegetation			
	Hardscape - Concrete Curb			
	Hardscape - Cut Stone Pavers			
	Hardscape - Stone Steps			
	Site Wall - Gabion			
	Site Wall - Gabion with Wood Cap			
	Landscape Boulders			







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# PATIO LAYOUT











An icon is often referred to as that which is the object of great attention or representative of the latest fashion trends. To deliver just that, Leisure Pools<sup>®</sup> designers created The Icon™ a pool that embodies those attributes of a pool which we consider fashionable into one captivating swimming pool.

deepest depth.

© 2018 Leisure Pools®

Spend just a few minutes in this spacious spa, and you will experience less stress and improved circulation. The spa was designed to offer you the option of circulating water within the spa alone, or to circulate into the pool through two built-in spillovers.

The built-in splash deck provides fun for both adults and children. The shallow waters offer a great play area for younger children or a place to stretch out and relax for adults.

The Leisure Pools<sup>®</sup> Icon<sup>™</sup> perfectly represents what a pool should exemplify, not only with the great features it compacts, but through its length and water volume as well. No matter what ideas you have for your perfect pool, The Icon™ will undoubtedly deliver.



SHEET NO.

SPECS AND FACT SHEET

LEISURE POOL

DETAILS |

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323 Lewis (208) 726 590

The Leisure Pools<sup>®</sup> Icon<sup>™</sup> was designed to incorporate all of the amazing features of The Ultimate<sup>™</sup> — the built-in spa and splash deck — except it has been modified to reach 8' at its



# ES ICC EVALUATION SERVICE **ICC-ES Evaluation Report**

**ESR-1732** Effective Date: May 2020

This listing is subject to re-examination in one year.

circulated through a filter in a closed system. The pools

The fiberglass pool shells consist of one-piece fiberglass

construction shop-formed over a mold. The material is

minimum <sup>5</sup>/<sub>16</sub>-inch-thick (7.9 mm), fiberglass-reinforced

plastic (FRP), composed of vinylester resin and fiberglass

roving. The surface finish is a vinylester resin-based gel

The overall dimensions, depths and capacities of

Notice: The pool shells are designed to remain full of

water at all times. The shell may be damaged if the water

level is allowed to drop below the skimmer. When

appreciable draw-down is noticed or if it becomes

accordance with this report and the manufacturer's

published installation instructions. All plumbing and

electrical installations must comply with the applicable

Subject to the code official's approval, the pool shell may

be installed without a soil investigation by a registered

design professional, unless any of the following conditions

necessary to drain the pool, Leisure Pools or its dealers

comply with APSP/ANSI-5 as Type O or I pools.

recognized models are shown in Table 1.

should be contacted for instructions.

codes in effect at the construction site.

3.0 DESCRIPTION

4.0 INSTALLATION

coat

www.icc-es-pmg.org | (800) 423-6587 | (562) 699-0543 A Subsidiary of the International Code Council®

DIVISION: 13 00 00—SPECIAL CONSTRUCTION Section: 13 11 13—Below-Grade Swimming Pools

**REPORT HOLDER:** 

LEISURE POOLS AND SPAS MANUFACTURING NORTH AMERICA

www.leisurepoolsusa.com

### EVALUATION SUBJECT:

FIBERGLASS ONE-PIECE SWIMMING POOL SHELLS 1.0 EVALUATION SCOPE

Compliance with the following codes:

- 2021, 2018, 2015, 2012, 2009 and 2006 International
- Building Code<sup>®</sup> (IBC) ■ 2021, 2018, 2015, 2012, 2009 and 2006 International
- Residential Code® (IRC) ■ 2018 and 2015 International Swimming Pool and Spa The pool shells must be permanently installed in-ground in Code<sup>®</sup> (ISPSC)
- 2019, 2016, 2013 and 2010 California Building Code<sup>®</sup> (CBC)
- 2019, 2016, 2013 and 2010 California Residential Code<sup>®</sup> (CRC)
- 2020 and 2017 Florida Building Code<sup>®</sup> (FBC)
- 2020 and 2017 Florida Residential Code<sup>®</sup> (FRC)

2013 Abu Dhabi International Building Code<sup>®</sup> (ADIBC)<sup>t</sup>

For evaluation for compliance with codes adopted by Los Angeles Department of Building and Safety (LADBS), see ESR-1732 LABC and LARC Supplement

Compliance with the following standards: APSP/ANSI 5-2011, Standard for Residential Inground

- Swimming Pools ■ AC274, ICC-ES Acceptance Criteria for In-ground, Residential, Fiber-reinforced Plastic Swimming Pools
- and Permanently Installed Plastic Spas, dated December 2006 (editorially revised July 2017) 2.0 USES
- The fiberglass pool shells are permanently installed in-ground and are intended for recreational use as swimming pools in residential applications with water

any finding or other matter in this listing, or as to any product covered by the listing. Copyright © 2020 ICC Evaluation Service, LLC. All rights reserved.

is encountered at the site: 1. The existence of groundwater within the excavation, where the pool floor will contact the soil at the time of installation. 2. The existence of an uncompacted fill in contact with

- any portion of the pool or spa shell. 3. The existence of any expansive-type soils, unless the pool manufacturer has provided specific instructions regarding expansive soils within their installation
- instructions. 4. The existence of any soil types with an angle of repose that will not support the walls of the excavation at
- desired slopes. 5. Danger to adjacent structures posed by the proposed pool location.

If any of the above conditions is encountered, excavation must cease immediately. The site conditions must then be reviewed, and recommendations made, by a registered design professional. The code official must approve the registered design professional's report before work is resumed.

Listings are not to be construed as representing aesthetics or any other attributes not specifically addressed, nor are they to be construed as an endorsement of the subject of the listing or a recommendation for its use. There is no warranty by ICC Evaluation Service, LLC, express or implied, as to Page 1 of 4

ESR-1732   1	lost Widely	Accepted and True	usted				Page 4 of 4
Rivera	27	RIV26	26' 7"	12' 4"	5' 5"	6,665	0
Rivera	30	RIV30	30' 3"	13' 11"	5' 7"	9,255	0
Rivera	34	RIV36	34' 1"	14' 6"	5' 10"	11,363	0
Roman	23	R23	23' 1"	11' 6"	5' 1"	5,586	0
Roman	28	R28	28' 3"	11' 6"	5' 6"	7,332	0
Sorrento Spa - Square	N/A	SQS	7' 5"	7' 5"	3' 2"	567	0
Sorrento Spa - Square with Spill Over	N/A	SSQ	7' 5"	7' 5"	3' 2"	567	0
Sorrentor Spa - Round	N/A	SSR	8' 0"	8' 0"	2' 10"	583	0
Sorrento Spa - Round with Spill Over	N/A	SSS	8' 0"	8' 0"	2' 10"	583	0
Summit	30	SUM30	30' 0"	14' 0"	6' 0"	10,106	0
Summit	35	SUM35	35' 0"	14' 0"	6' 6"	12,913	0
Supreme	30	SUP30	30' 0"	15' 5"	5' 11"	13,724	0
Supreme	35	SUP35	35' 0"	15' 5"	6' 3"	16,320	0
Supreme	40	SUP40	40' 0"	15' 5"	6' 7"	18,948	0
TopazTanning Ledge	N/A	TLR	10' 5"	6' 10"	1' 0"	456	0
Tuscany	23	T23	23' 3"	12' 1"	5' 0"	5,408	0
Tuscany	29	T29	28' 6"	14' 1"	5' 8"	9,157	0
Ultimate	30	ULT30	30' 0"	15' 5"	6' 0"	11,346	0
Ultimate	35	ULT35	35' 0"	15' 5"	6' 6"	14,438	0
Ultimate	40	ULT40	40' 0"	15' 5"	7' 0"	17,690	0

For SI: 1 foot = 304.8 mm, 1 inch = 25.4 mm, 1 gallon = 3.785 liters.

#### ESR-1732 | Most Widely Accepted and Trusted

Details specifically for installations in expansive, clay, or **6.0 IDENTIFICATION** adobe soils apply only when supported by the registered design professional's recommendations and approved by the code official.

The pool excavation profile must coincide with the contours of the pool. The overexcavation is approximately 6 to 12 inches (152 to 305 mm) on the sides and ends. The overexcavation at the pool bottom is approximately 4 inches (102 mm). The backfill for the pool is a layer of minimum 3-inch-thick (76 mm) bedding sand matching the pool or spa profile. This sand layer is compacted using a manual tamper and water. The pool shell must sit firmly on the sand and be within 1 inch (25.4 mm) of level. Simultaneous waterfill and sand backfill operations then commence. The sand is compacted with a tamper and water. The installer must ensure that the backfill level and water level are approximately the same throughout the filling procedure.

After completion of the backfill, the bond beam and decking must be installed in accordance with the manufacturer's published installation instructions, and as approved by the code official.

5.0 CONDITIONS OF USE

- The fiberglass pool shells described in this report comply
- with, or are suitable alternatives to what is specified in, those codes listed in Section 1.0 of this report, subject to the following conditions: 5.1 The pool shells must be constructed and installed in accordance with this report and the manufacturer's
- published installation instructions. In the event of conflict, this report governs. 5.2 Electrical and plumbing installations must comply
- with the applicable codes in effect at the construction site at the time of construction.
- **5.3** Clearances of the pools from slopes set forth in IBC Section 1808.7, CBC Section 1808.7, CRC Section R403.1.7 or IRC Section R403.1.7 must be observed.
- **5.4** A barrier must be installed in accordance with IBC Section 3109. ISPSC Section 305. CRC Section AG105 or IRC Section AG105, as applicable.
- 5.5 Slip resistance is outside the scope of this evaluation report. Reports of slip resistance tests that demonstrate compliance with Section 8.1 of APSP/ANSI-5 must be submitted for approval by the code official.
- **5.6** The pools are classified as either: <u>Type O pools</u>: not intended for use with diving boards or other diving equipment; or
- Type I pools: maximum height of stationary diving platform or diving rock above the waterline shall be 42 inches
- **5.7** Pools located in flood hazard areas established in accordance with Table R301.2(1) of the IRC must comply with Sections AG101.2 and AG103.3 of the IRC, Section AG101.2 of the CRC or Section 304 of the ISPSC.
- **5.8** Suction outlets must be designed and installed in accordance with IBC Section 3109.5, CBC Section 3137B, CRC Section AG106, ISPSC Section 310 and IRC Section AG106.1.

- 6.1 The pool shells are identified adjacent to the skimmer with an imprint that includes the words "Leisure Pools USA," the model designation, a coded serial number
- and the ICC-ES evaluation report number (ESR-1732). A permanent sign, bearing the following statement,
- must be attached to the pumping equipment: Notice: The pool shell is designed to remain full of water at all times. The shell may be damaged if the water level is allowed to drop below the skimmer. When appreciable draw-down is noticed or if it
- becomes necessary to drain the pool, contact Leisure Pools USA or its dealers for instructions. A permanent label must be attached adjacent to the above sign indicating the Leisure Pools USA
- distributer's name, address and telephone number. 6.2 The report holder's contact information is the
- following: LEISURE POOLS AND SPAS MANUFACTURING NORTH AMERICA

2901 LEISURE ISLAND WAY KNOXVILLE, TENNESSEE 37914 (865) 219-2880

www.leisurepoolsusa.com

			Т	ABLE 1			
MODEL	SIZE	MODEL ABBREVIATION	LENGTH (feet/inches)	WIDTH (feet/inches)	MAX. DEPTH (feet/inches)	CAPACITY (gallons)	POOL TYPE
Allure	30	ALL30	30' 0"	14' 9"	6' 1"	8,247	0
Allure	35	ALL35	35' 0"	14' 9"	6' 4"	11,174	0
Allure	40	ALL40	40' 0"	15' 8"	6' 8"	14,637	0
Caribbean	40	CAR40	40' 0"	16' 0"	6' 4"	16,535	0
Courtyard Roman	20	R20	19' 9"	11' 6"	5' 1"	5,122	0
Cube	23	CUB23	23' 0"	10' 10"	4' 11"	6,262	0
Cube	26	CUB26	26' 3"	10' 10"	4' 11"	7,323	0
Cube	30	CUB30	29' 6"	13' 1"	4' 11"	10,567	0
Cube	34	CUB34	34' 4"	13' 1"	4' 11"	12,616	0
Cube	39	CUB39	39' 5"	13' 1"	4' 11"	14,665	0
Eclipse	30	ECL30	30' 0"	14' 9"	6' 1"	8,624	0
Eclipse	35	ECL35	35' 0"	14' 9"	6' 4"	11,593	0
Eclipse	40	ECL40	40' 0"	15' 8"	6' 8"	15,045	0
Elegance	20	E20	19' 8"	11' 6"	5' 6"	5,361	0
Elegance	23	E23	23' 0"	12' 6"	5' 7"	7,113	0
Elegance	26	E26	26' 3"	14' 6"	5' 9"	10,012	0
Elegance	30	E30	29' 7"	14' 6"	5' 9″	11,282	0
Elegance	33	E33	33′ 0"	14' 6"	6' 0"	12,837	0
Elegance	39	E39	39' 4"	14' 6"	6' 2"	15,301	0
Esprit	19	ESP19	18'8"	7' 4"	4' 5"	3,064	0
Fiji Plunge	10	FU10	9'6"	6'11"	4' 5"	1,219	0
Harmony	16	HAR16	16' 5"	9' 6"	5' 2"	3,574	0
Harmony	20	HAR20	19' 8"	9' 6"	5' 4"	4,559	0
Harmony	23	HAR23	23' 0"	9' 6"	5' 7"	5,397	0
Harmony	26	HAR26	26' 3"	9' 6"	5' 9"	5,906	0
Horizon	23	HOR23	23' 0"	15' 9"	4' 0"	4,038	0
Icon	40	ICO40	40' 0"	15' 5"	8' 0"	20,113	I
Infinity	40	INF40	40' 0"	15' 6"	8' 0"	29,009	I
Limitless	26	LIM26	26' 0"	12' 6"	5' 7"	7,173	0
Limitless	30	LIM30	30' 0"	12' 6"	6' 0"	9,003	0
Mediterranean	40	MED40	40' 0"	16' 0"	8' 0"	20,826	I
Moroccan	27	M27	26' 11"	13' 6"	5' 5"	8,972	0
Moroccan	31	M30	30' 10"	14' 6"	5' 8"	11,854	0
Moroccan	34	M34	34' 2"	14' 6"	5' 11"	13,658	0
Moroccan	38	M38	38' 5"	14' 6"	6' 2"	15,777	0
Opal Tanning	N/A	TL	10' 5"	7' 10"	1' 0"	425	0
Palladium Plunge	16	PA16	16' 0"	8' 0"	5' 0"	2,742	0
Palladium Plunge	20	PA20	20' 0"	8' 0"	5' 0"	3,889	0
Pinnacle	30	PIN30	30' 0"	15' 5"	6' 0"	11,267	0
Pinnacle	35	PIN35	35' 0"	15' 5"	6' 6"	14,356	0
Pinnacle	40	PIN40	40' 0"	15' 5"	7' 0"	17,890	0
Precision	23	PRE23	23' 4"	10' 8"	4' 11"	6,350	0
Precision	27	PRE27	26' 4"	10' 8"	4' 11"	7,052	0
Reflection	23	REF23	23' 0"	12' 6"	5' 5"	7,418	0
Reflection	26	REF26	26' 3"	12' 6"	5' 8"	8,744	0
Reflection	30	REF30	29' 7"	12' 6"	5' 10"	10,114	0
Reflection	33	REF33	32' 11"	12' 6"	6' 1"	11.589	0
Reflection plus Cover Box	23	REFC23	26' 0"	13' 4"	5' 5"	8,068	0
Reflection plus Cover Box	26	REFC26	29' 3"	13' 4"	5' 8"	9,410	0
Reflection plus Cover Box	30	REFC30	32' 7"	13' 4"	5' 10"	10,793	0
Reflection including Splashing Deck	28	REFD28	27' 11"	12' 4"	5' 5"	8,363	0
Reflection including Splashing Deck	31	REFD31	31' 1"	12' 4"	5' 8"	8,535	О

### Page 2 of 4

A L A M	LANDSCAPE ARCHITECTS 323 Lewis .   Ketchum, ID	(208) / 20 02/ • (208) / 20 02/ (208) / 20 02/ (208) / 20 02/ (208) / 20 02/ (208) / 20 02/ (208) / 20 02/ (208)
1 4/28/2021 UPDATE THIS T 4/28/2021 UPDATE THIS REVISIONS:	opyright 2020 Indscape Archite	ects
FOR BUILDING PERMIT	MPH RESIDENCE	119 SAGE ROAD   KETCHUM, ID 83340
FILENAME: PROJECT MANA DRAWN BY: ISSUE DATE:	MPH-LEISU GER: 4/28/2	RE.vwx AB AB 2021





SYMBOL	DESCRIPTION
	Property Line
	- Setbacks / Easements
XXXX	Existing Contours
XXXX XXXX	Proposed Contours
	Existing Nearby Utility
	Existing Vegetation
	Hardscape - Concrete Curb
	Hardscape - Cut Stone Pavers
	Hardscape - Stone Steps
	Site Wall - Gabion
	Site Wall - Gabion with Wood Cap
	Landscape Boulders
	Landscape - Shrubs
	Landscape - Trees
	Utility - Snow Melt Area
GAS	- Utility - Gas
SWR	- Utility - Sewer
W	- Utility - Water
$\diamond$ $\frown$	Lighting - Fixture
	Lighting - Ganging (per zone)

# LIGHTING ZONE SCHEDULE

LOCATION	ΟΤΥ	EIVTUDE			
	5	FIXTURE	IYPE		
ENTRY LIGHTS	1	DOWNLIGHT	С		
ENTRY LIGHTS	4	WALL LIGHT-RECESSED	В		
POOL PATIO	3	DOWNLIGHT	С		
POOL PATIO	3	WALL LIGHT-SCONCE	D		
NOTE: ALL LAMP HARDWARE TO USE LED TECHNOLOGY, ALL LAMP TEMPERATURES SHALL MATCH					
	ENTRY LIGHTS ENTRY LIGHTS POOL PATIO POOL PATIO OTE: ALL LAMP HARDWA AMP TEMPERATURES SH	ENTRY LIGHTS       1         ENTRY LIGHTS       4         POOL PATIO       3         POOL PATIO       3         OTE: ALL LAMP HARDWARE TO UXAMP TEMPERATURES SHALL MAT	ENTRY LIGHTS       1       DOWNLIGHT         ENTRY LIGHTS       4       WALL LIGHT-RECESSED         POOL PATIO       3       DOWNLIGHT         POOL PATIO       3       WALL LIGHT-SCONCE         OTE: ALL LAMP HARDWARE TO USE LED TECHNOLOGY, AMP TEMPERATURES SHALL MATCH		

- NOTE: 1. FOR FINAL GRADING DRAINAGE PLAN, PLEASE REFER TO CIVIL DRAWINGS C1-C2 2. FOR DETAILS, PLEASE REFER TO CIVIL DRAWINGS
- C1-C2
  3. FOR FINAL UTILITY LAYOUT/CONNECTIONS, PLEASE REFER TO CIVIL DRAWINGS C1-C2

![](_page_18_Figure_10.jpeg)

![](_page_18_Figure_11.jpeg)

![](_page_18_Picture_12.jpeg)

![](_page_18_Picture_13.jpeg)

	MPH RESIDENCE	119 SAGE ROAD LKETCHIIM ID 83340
AME:	MPH-LEISU	RE.vw

FILENAME:	MPH-LEISURE.vwx
PROJECT MANA	AGER: AB
DRAWN BY:	AB
ISSUE DATE:	4/28/2021
PLOT DATE:	6/4/21 11:44:37

# LIGHTING + UTILITY PLAN

![](_page_18_Picture_18.jpeg)

![](_page_18_Picture_19.jpeg)

![](_page_18_Picture_20.jpeg)

						TECHNOLOGY	ROJECT:		
*							TYPE:	FIXTURE TY	/PE: B
						CA		- CD-BQ-I	ED-E36-A9-B7P
						S	SOURCE:		
							NOTES:		
CATALOG	NUMB	ER LO	GIC					1	
		CD-BQ	LED						
Examp	le: B	- CD-BQ	- LED -	e23 - A	9 -	MIT			
Matarial									
VIATERIAI Blank - Alu	ninum								
B - Bras	5								
Series	e Drill Rrick St	ar™							
Source	echnology wit	h Integral Di	mming Driver (*	25W min load wh	en dimn	l ned)			
Desi	gned for use with i	remote 12VAC B	KSSL® transformers	s. Requires magnetic Lo	ow Voltage	e dimmer.			
ED Type ——									
<b>e36</b> - 8WI	ED/2.7K	e23	- 8WLED/4K						
<b>e22</b> - 8WI	ED/3K	e27	- 8WLED/Aml	ber					
Adjust-e-Lume® <b>Ag</b> (Standar **Please see Adj Finish	Output Int d), <b>A8, A7, A6,</b> Ist-e-Lume <sup>®</sup> photon	Censity** ( A5, A4, A3, netry to determin	Choose factory settir <b>A2, A1</b> e desired intensity.	ng) ————					
Adjust-e-Lume® Ag (Standar **Please see Adj Finish Alumin Powder Coat Color	Output Int d), A8, A7, A6, ust-e-Lume® photon	ensity** ( A5, A4, A3, netry to determin	Choose factory settii A2, A1 e desired intensity. Brass Machined	is Finish MAC	ΔΒΡ	Antique Brass Powder	F	Premium Finish	RMG Rocky Mountain Granite
Adjust-e-Lume® Ag (Standar **Please see Adj Finish Alumin Powder Coat Color Bronze	Output Int d), A8, A7, A6, sst-e-lume*photon num Finish Satin BZP	ensity** ( A5, A4, A3, netry to determin Wrinkle BZW	Choose factory settii A2, A1 e desired intensity. Brass Machined Polished	Finish MAC POL	ABP	Antique Brass Powder Aleutian Mountain Granite	F CMG CRI	Premium Finish Cascade Mountain Granite Cracked Ice	RMG         Rocky Mountain Granite           SDS         Sonoran Desert Sandstor
Adjust-e-Lume® Ag (Standar **Please see Adj Finish Alumin Powder Coat Color Bronze Black	Output Int d), A8, A7, A6, sst-e-Lume*photon num Finish Satin BZP BLP	ensity** ( A5, A4, A3, netry to determin Wrinkle BZW BLW	Choose factory settii A2, A1 e desired intensity. Brass Machined Polished Mitique™	Finish MAC POL MIT	ABP AMG AQW	Antique Brass Powder Aleutian Mountain Granite Antique White	F CMG CRI CRM	Premium Finish Cascade Mountain Granite Cracked Ice Cream	RMG         Rocky Mountain Granite           SDS         Sonoran Desert Sandstor           SMG         Sierra Mountain Granite
Adjust-e-Lume® Ag (Standar **Please see Adj Finish Alumin Powder Coat Color Bronze Black White (Gloss)	Output Int d), A8, A7, A6, ust-e-Lume® photon satin BZP BLP WHP	ensity** ( A5, A4, A3, netry to determin Wrinkle BZW BLW WHW	Choose factory settii A2, A1 e desired intensity. Brasss Machined Polished Mitique™	Finish MAC POL MIT	ABP AMG AQW BCM	Antique Brass Powder Aleutian Mountain Granite Antique White Black Chrome	F CMG CRI CRM HUG	Premium Finish Cascade Mountain Granite Cracked Ice Cream Hunter Green	RMG       Rocky Mountain Granite         SDS       Sonoran Desert Sandstor         SMG       Sierra Mountain Granite         TXF       Textured Forest
Adjust-e-Lume® Ag (Standar **Please see Adj Finish Alumin Powder Coat Color Bronze Black White (Gloss) Aluminum	Output Int d), A8, A7, A6, sst-e-Lume*photon num Finish Satin BZP BLP WHP SAP	ensity** ( A5, A4, A3, netry to determin  Wrinkle BZW BLW WHW	Choose factory settii A2, A1 e desired intensity. Brass Machined Polished Mitique™	Finish MAC POL MIT	ABP AMG AQW BCM BGE	Antique Brass Powder Aleutian Mountain Granite Antique White Black Chrome Beige	F CMG CRI CRI HUG MDS	Premium Finish Cascade Mountain Granite Cracked Ice Cream Hunter Green Mojave Desert Sandstone	RMG       Rocky Mountain Granite         SDS       Sonoran Desert Sandstor         SMG       Sierra Mountain Granite         TXF       Textured Forest         WCP       Weathered Copper
Adjust-e-Lume® Ag (Standar **Please see Adj Finish Powder Coat Color Bronze Black White (Gloss) Aluminum Verde	Output Int d), A8, A7, A6, ist-e-Lume® photon mum Finish Satin BZP BLP WHP SAP 	ensity** ( A5, A4, A3, netry to determin  Wrinkle BZW BLW WHW - VER VER	Choose factory settii A2, A1 e desired intensity. Brasss Machined Polished Mitique™	Finish MAC POL MIT	ABP AMG AQW BCM BGE BPP	Antique Brass Powder Aleutian Mountain Granite Antique White Black Chrome Beige Brown Patina Powder	F CMG CRI CRM HUG MDS NBP	Premium Finish Cascade Mountain Granite Cracked Ice Cream Hunter Green Mojave Desert Sandstone Natural Brass Powder	RMG       Rocky Mountain Granite         SDS       Sonoran Desert Sandstor         SMG       Sierra Mountain Granite         TXF       Textured Forest         WCP       Weathered Copper         WIR       Weathered Iron
Adjust-e-Lume® Ag (Standar **Please see Adj Finish Powder Coat Color Bronze Black White (Gloss) Aluminum Verde	Output Int d), A8, A7, A6, ist-e-Lume® photon mum Finish Satin BZP BLP WHP SAP 	ensity** ( A5, A4, A3, netry to determin  Wrinkle BZW BLW WHW VER	Choose factory settii A2, A1 e desired intensity. Brasss Machined Polished Mitique™	Finish MAC POL MIT	ABP AMG AQW BCM BGE BPP CAP	Antique Brass Powder Aleutian Mountain Granite Antique White Black Chrome Beige Brown Patina Powder Clear Anodized Powder	P CMG CRI CRM HUG MDS NBP OCP	Premium Finish Cascade Mountain Granite Cracked Ice Cream Hunter Green Mojave Desert Sandstone Natural Brass Powder Old Copper	RMG       Rocky Mountain Granite         SDS       Sonoran Desert Sandstor         SMG       Sierra Mountain Granite         TXF       Textured Forest         WCP       Weathered Copper         WIR       Weathered Iron         Also available in RAL Finishes See submittal SUB-1439-00
Adjust-e-Lume® Ag (Standar **Please see Adj Finish Powder Coat Color Bronze Black White (Gloss) Aluminum Verde DRIVER DAT	Output Int d), A8, A7, A6, sst-e-Lume*photon num Finish BZP BLP WHP SAP SAP 	ensity** ( A5, A4, A3, netry to determin Wrinkle BZW BLW WHW - VER VER	Choose factory settii A2, A1 e desired intensity. Brass Machined Polished Mitique™ I 0Hz <	InRush Current	ABP AMG AQW BCM BGE BPP CAP	Antique Brass Powder Aleutian Mountain Granite Antique White Black Chrome Beige Brown Patina Powder Clear Anodized Powder Clear Anodized Powder	P CRI CRI HUG MDS NBP OCP	Premium Finish Cascade Mountain Granite Cracked Ice Cream Hunter Green Mojave Desert Sandstone Natural Brass Powder Old Copper Ge Dimmer	RMG       Rocky Mountain Granite         SDS       Sonoran Desert Sandstor         SMG       Sierra Mountain Granite         TXF       Textured Forest         WCP       Weathered Copper         WIR       Weathered Iron         Also available in RAL Finishes See submittal SUB-1439-00         Operation Ambient Temps         -10°F-130°F
Adjust-e-Lume® Ag (Standar **Please see Adj Finish Powder Coat Color Bronze Black White (Gloss) Aluminum Verde DRIVER DAT	Output Int d), A8, A7, A6, ist-e-Lume® photon um Finish BZP BLP WHP SAP 	ensity** ( A5, A4, A3, netry to determin Wrinkle BZW BLW WHW — VER VER	Choose factory settii A2, A1 e desired intensity. Brasss Machined Polished Mitique™ Mitique™	repine finish	ABP AMG AQW BCM BGE BPP CAP	Antique Brass Powder Aleutian Mountain Granite Antique White Black Chrome Beige Brown Patina Powder Clear Anodized Powder Clear Anodized Powder	F CMG CRI HUG MDS NBP OCP	Premium Finish Cascade Mountain Granite Cracked Ice Cream Hunter Green Mojave Desert Sandstone Natural Brass Powder Old Copper	RMG       Rocky Mountain Granite         SDS       Sonoran Desert Sandstor         SMG       Sierra Mountain Granite         TXF       Textured Forest         WCP       Weathered Copper         WIR       Weathered Iron         Also available in RAL Finishes See submittal SUB-1439-00         Operation Ambient Temper -10°F-130°F
Adjust-e-Lume® A9 (Standar **Please see Adj Finish Powder Coat Color Bronze Black White (Gloss) Aluminum Verde DRIVER DAT	Output Int d), A8, A7, A6, sst-e-Lume*photon num Finish BZP BLP WHP SAP SAP -	ensity** ( A5, A4, A3, netry to determin  Wrinkle BZW BLW WHW  - VER  NC/DC 50/6	Choose factory settin A2, A1 e desired intensity. Brasss Machined Polished Mitique™ I OHz <	InRush Current	ABP AMG AQW BCM BGE BPP CAP	Antique Brass Powder Aleutian Mountain Granite Antique White Black Chrome Beige Brown Patina Powder Clear Anodized Powder Clear Anodized Powder Di Magnetic Lo <b>70 DATA</b>	P CMG CRI HUG MDS NBP OCP	Premium Finish Cascade Mountain Granite Cracked Ice Cream Hunter Green Mojave Desert Sandstone Natural Brass Powder Old Copper ge Dimmer	RMG       Rocky Mountain Granite         SDS       Sonoran Desert Sandstor         SMG       Sierra Mountain Granite         TXF       Textured Forest         WCP       Weathered Copper         WIR       Weathered Iron         Also available in RAL Finishes See submittal SUB-1439-00         Operation Ambient Tempe -10°F-130°F
Adjust-e-Lume® Ag (Standar **Please see Adj Finish Powder Coat Color Bronze Black White (Gloss) Aluminum Verde DRIVER DAT LM79 DATA BK No.	Output Int d), A8, A7, A6, ist-e-Lume® photon Mum Finish BZP BLP WHP SAP SAP 	ensity** ( A5, A4, A3, netry to determin BZW BLW WHW — VER VER	Choose factory settii A2, A1 e desired intensity. Brass Machined Polished Mitique™ Mitique™ I OHz < put Watts (Typ.) 8.4	reg) Finish MAC POL MIT MIT InRush Current <1A (non-dimmed CRI (Typ.) OD	ABP AMG AQW BCM BGE BPP CAP	Antique Brass Powder Aleutian Mountain Granite Antique White Black Chrome Beige Brown Patina Powder Clear Anodized Powder Clear Anodized Powder Clear Anodized Cowder <b>D</b> Magnetic Lo <b>70 DATA</b> Minimum Rated Life 70 0 0 150 000	F CMG CRI HUG MDS NBP OCP	Premium Finish Cascade Mountain Granite Cracked Ice Cream Hunter Green Mojave Desert Sandstone Natural Brass Powder Old Copper	RMG       Rocky Mountain Granite         SDS       Sonoran Desert Sandstor         SMG       Sierra Mountain Granite         TXF       Textured Forest         WCP       Weathered Copper         WIR       Weathered Iron         Also available in RAL Finishes See submittal SUB-1439-00         Operation Ambient Temper -10°F-130°F
Adjust-e-Lume® A9 (Standar **Please see Adj Finish Powder Coat Color Bronze Black White (Gloss) Aluminum Verde DRIVER DAT ALM79 DATA BK No. e36 e22	Output Int d), A8, A7, A6, ist-e-Lume® photon BLP BLP BLP SAP SAP 	ensity** ( A5, A4, A3, netry to determin  Wrinkle BZW BLW WHW  VER  NC/DC 50/6 In )	Choose factory settii A2, A1 e desired intensity. Brass Machined Polished Mitique™ Mitique™ 0Hz < put Watts (Typ.) 8.4 8.4	InRush Current CRI (Typ.) 90 90 90	ABP AMG AQW BCM BGE BPP CAP	Antique Brass Powder Aleutian Mountain Granite Antique White Black Chrome Beige Brown Patina Powder Clear Anodized Life 70% of initial Jumens of 50,000 50,000	F CMG CRI HUG MDS NBP OCP	Premium Finish Cascade Mountain Granite Cracked Ice Cream Hunter Green Mojave Desert Sandstone Natural Brass Powder Old Copper ge Dimmer	RMG       Rocky Mountain Granite         SDS       Sonoran Desert Sandstor         SMG       Sierra Mountain Granite         TXF       Textured Forest         WCP       Weathered Copper         WIR       Weathered Iron         Also available in RAL Finishes See submittal SUB-1439-00         Operation       Ambient Temper -10°F-130°F
Adjust-e-Lume® Ag (Standar **Please see Adj Finish Powder Coat Color Bronze Black White (Gloss) Aluminum Verde DRIVER DAT Aluminum Verde	Output Int d), A8, A7, A6, ist-e-Lume* photon BLP BLP WHP SAP SAP - CCT (Typ. 2700K 3100K	ensity** ( A5, A4, A3, netry to determin Wrinkle BZW BLW WHW  VER NER NC/DC 50/6 In	Choose factory settii A2, A1 e desired intensity. Brasss Machined Polished Mitique™ Mitique™ I OHz < put Watts (Typ.) 8.4 8.4 8.4 8.4 8.4 8.4	regional contractions in the second s	ABP AMG AQW BCM BGE BPP CAP	Antique Brass Powder Aleutian Mountain Granite Antique White Black Chrome Beige Brown Patina Powder Clear Anodized Powder Clear Anodized Powder Clear Anodized Cowder Di Magnetic Lo <b>70 DATA</b> Minimum Rated Life 70% of initial lumens 50,000 50,000	F CMG CRI HUG MDS NBP OCP	Premium Finish Cascade Mountain Granite Cracked Ice Cream Hunter Green Mojave Desert Sandstone Natural Brass Powder Old Copper Old Copper	RMG       Rocky Mountain Granite         SDS       Sonoran Desert Sandstor         SMG       Sierra Mountain Granite         TXF       Textured Forest         WCP       Weathered Copper         WIR       Weathered Iron         Also available in RAL Finishes See submittal SUB-1439-00         Operation Ambient Temp -10°F-130°F
Adjust-e-Lume® Ag (Standar **Please see Adj Finish Powder Coat Color Bronze Black White (Gloss) Aluminum Verde DRIVER DAT LM79 DATA BK No. e36 e22 e23 e27	Output Int d), A8, A7, A6, ist-e-Lume <sup>®</sup> photon mum Finish BLP WHP SAP SAP SAP CCT (Typ. 2700K 3100K 4100K Amber (590r	ensity** ( A5, A4, A3, netry to determin BZW BLW WHW  VER NPUT Volts C/DC 50/6 In	Choose factory settii A2, A1 e desired intensity. Brasss Machined Polished Mitique™ Mitique™ 0Hz < put Watts (Typ.) 8.4 8.4 8.4 8.4 7.9	reg) Finish MAC POL MIT MIT MIT CRI (Typ.) 90 90 75 ~	ABP AMG AQW BCM BGE BPP CAP	Antique Brass Powder Aleutian Mountain Granite Antique White Black Chrome Beige Brown Patina Powder Clear Anodized Powder Clear Anodized Powder Clear Anodized Cowder <b>D</b> Magnetic Lo <b>70 DATA</b> Minimum Rated Life 70% of initial lumens ( 50,000 50,000 50,000	F CMG CRI HUG MDS NBP OCP	Premium Finish Cascade Mountain Granite Cracked Ice Cream Hunter Green Mojave Desert Sandstone Natural Brass Powder Old Copper Old Copper	RMG       Rocky Mountain Granite         SDS       Sonoran Desert Sandstor         SMG       Sierra Mountain Granite         TXF       Textured Forest         WCP       Weathered Copper         WIR       Weathered Iron         Also available in RAL Finishes See submittal SUB-1439-00         Operation       Ambient Temp         -10°F-130°F

![](_page_19_Figure_1.jpeg)

![](_page_19_Picture_2.jpeg)

PRODUCT DETAILS:

![](_page_19_Picture_3.jpeg)

ARIA	FIXTURE TYPE
2300BK	
SMALL WALL MOU	NT LANTERN
Aria is a contemporary complements the faca shape in durable alum stainless steel mesh s maintenance comes st	v style that effortlessly de of any exterior. Its modern inum is enhanced by a hade. Aria's high style and low tandard Dark Sky compliant.
DETAILS	
FINISH:	Black
MATERIAL:	Aluminum
DIMENSIONS	
WIDTH:	5.3"
HEIGHT:	15.5"
WEIGHT:	2 lbs.
BACK PLATE:	4.5"W X 8.25"H
EXTENSION:	6.8"
TOP TO OUTLET:	5"
LIGHT SOURCE	
LIGHT SOURCE:	Socket
WATTAGE:	1-75w Med.
VOLTAGE:	120v
SHIPPING	
CARTON LENGTH:	17.5"
CARTON WIDTH:	9"
CARTON HEIGHT:	7.5"
	0.5 lbs

• Suitable for use in wet (interior direct splash and outdoor direct rain or sprinkler) locations as defined by NEC and CEC. Meets United States UL Underwriters Laboratories & CSA Canadian Standards Association Product Safety Standards

 2 year finish warranty • Angular lines, a bold finish and robust details create an industrial edge to add flair to any type of façade

Striking black finish enhances design
Please refer to Hinkley's Warranty for complete product warranty details; some warranty limitations may apply.

HINKLEY 33000 Pin Oak Parkway Avon Lake, OH 44012

Toll Free: 1 (800) 446-5539

PHONE: (440) 653-5500 hinkley.com

323 Lewis . | Ketchul (208) 726 5907 • (208) 7 www.byla.us © copyright 2020 BYLA Landscape Architects RMIT Ш **()** Ш Ζ B Ŷ

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![](_page_19_Picture_12.jpeg)

HUM, ID 83340

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PROJECT MANA	AGER: AB
DRAWN BY:	AB
SSUE DATE:	4/28/2021
PLOT DATE:	6/4/21 11:44:37

# **FIXTURE CUT** SHEETS

C

SHEET NO.

L5.<sup>°</sup>

1

![](_page_20_Figure_0.jpeg)

SYMBOL	DESCRIPTION
	<ul> <li>Property Line</li> </ul>
	- Setbacks / Easements
XXXX	Existing Contours
XXXX XXXX	Proposed Contours
	Existing Nearby Utility
	Existing Vegetation
GAS	– Utility - Gas
SWR	– Utility - Sewer
W	– Utility - Water
	Hardscape - Concrete Curb
	Hardscape - Cut Stone Pavers
	Hardscape - Stone Steps
	Site Wall - Gabion
	Site Wall - Gabion with Wood Cap
	Landscape Boulders
	Landscape - Shrubs
	Landscape - Trees

IRRIGATION SCHEDULE				
AREA DESCRIPTION	IRRIGATION TYPE			
Trees + Shrubs	Buried Drip Irrigation			
Perennial Beds	N/A			
Lawn	N/A			
Native Re-Veg	N/A			

RRIGATION CALCULATIONS				
AREA DESCRIPTION SF OF IRRIGATION				
Trees + Shrubs	+/- 2324 SF			
Perennial Beds	N/A			
Lawn	N/A			
Native Re-Veg	N/A			
Total Irrigation	+/- 2324 SF = 0.05 AC			

PLAN <sup>®</sup>	T SCH	IEDUL				
TREES						
ABBRV	QTY.	SIZE	BOTANICAL NAME	COMMON NAME		
AG	6	8' B&B	Acer ginnala	Amur Maple		
PAC	26	8' B&B	Picea abies 'Cupressina'	Columnar Norway Spruce		
SHRUB	SHRUBS					
ABBRV	QTY.	SIZE	BOTANICAL NAME	COMMON NAME		
SBF	66	5 GAL.	Salix brachycarpa 'Blue Fox'	Blue Fox Willow		
SBT	24	5 GAL.	Spiraea x billardii 'Triumphans'	Triumphans Spirea		

NOTE: 1. PICEA ABIES 'CUPRESSINA' DOES NOT EXCEED MORE THAN 6' DIAMETER GARDEN WIDTH.

![](_page_20_Figure_9.jpeg)

![](_page_20_Picture_10.jpeg)

![](_page_20_Picture_11.jpeg)

![](_page_20_Picture_12.jpeg)

FILENAME:	MPH-LEISURE.vwx
PROJECT MANA	AGER: AB
DRAWN BY:	AB
ISSUE DATE:	4/28/2021
PLOT DATE:	6/4/21 11:44:38

# LANDSCAPE SCHEDULE

![](_page_20_Picture_16.jpeg)

![](_page_20_Picture_17.jpeg)

![](_page_21_Figure_0.jpeg)

01. Do not scale drawings. Contact Architect for any undocumented dimensions or clarification of any dimensional discrepancies. Large scale drawings take precedence over smaller scale drawings.

02. All dimensions are from gridline to centerline of structural columns, to centerline of windows and doors, or to face of stud walls.

03. All interior partitions are framed with 2x6 wood studs unless noted/dimensioned otherwise.

04. The Contractor shall coordinate the spacing of all ceiling and floor joists with lighting fixtures, mechanical openings, and any other potential conflict. (See Structrual, Mechanical, Lighting, and Reflected Ceiling Plans)

05. Dimensions for windows and doors are shown to center of unit. Coordinate with schedules to determine rough opening dimensions.

06. Where shown, furniture is for reference only and not in contract.

![](_page_21_Picture_8.jpeg)

![](_page_21_Figure_9.jpeg)

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ARCHITECTS

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1.208.214.5155 <b>Louisiana</b> 910 Pierremont Rd. Suite 410 Shreveport, LA 71106 T.318.383.3100					
ARCHITECT STAMP:					
LICENSED ARCHITECT AR 986479 6/24/21 Scott Payne STATE OF IDAHO					
CONSTRU DOCUMEN	CTION IT SET				
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MPHRESIDENCE	119 SAGE RD KETCHUM, ID. 83340				
DATE: PROJECT #:	6/24/21 SV2004				
SSUE:	AB / CB				
CD Set Revision 01 Revision 02	4/02/21 4/19/21 4/29/21				
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![](_page_22_Figure_0.jpeg)

01. Do not scale drawings. Contact Architect for any undocumented dimensions or clarification of any dimensional discrepancies. Large scale drawings take precedence over smaller scale drawings.

02. All dimensions are from gridline to centerline of structural columns, to centerline of windows and doors, or to face of stud walls.

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06. Where shown, furniture is for reference only and not in contract.

![](_page_22_Figure_8.jpeg)

 $\Lambda$ TRUE NORTH

# FARMERPAYNE

![](_page_22_Picture_11.jpeg)

![](_page_23_Figure_0.jpeg)

01. Do not scale drawings. Contact Architect for any undocumented dimensions or clarification of any dimensional discrepancies. Large scale drawings take precedence over smaller scale drawings.

02. All dimensions are from gridline to centerline of structural columns, to centerline of windows and doors, or to face of stud walls.

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04. The Contractor shall coordinate the spacing of all ceiling and floor joists with lighting fixtures, mechanical openings, and any other potential conflict. (See Structrual, Mechanical, Lighting, and Reflected Ceiling Plans)

05. Dimensions for windows and doors are shown to center of unit. Coordinate with schedules to determine rough opening dimensions.

06. Where shown, furniture is for reference only and not in contract.

![](_page_23_Figure_9.jpeg)

 $\Lambda$ TRUE NORTH

![](_page_23_Picture_12.jpeg)

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V3

![](_page_24_Figure_0.jpeg)

01. Do not scale drawings. Contact Architect for any undocumented dimensions or clarification of any dimensional discrepancies. Large scale drawings take precedence over smaller scale drawings.

02. All dimensions are from gridline to centerline of structural columns, to centerline of windows and doors, or to face of stud walls.

03. All interior partitions are framed with 2x6 wood studs unless noted/dimensioned otherwise.

04. The Contractor shall coordinate the spacing of all ceiling and floor joists with lighting fixtures, mechanical openings, and any other potential conflict. (See Structrual, Mechanical, Lighting, and Reflected Ceiling Plans)

05. Dimensions for windows and doors are shown to center of unit. Coordinate with schedules to determine rough opening dimensions.

06. Where shown, furniture is for reference only and not in contract.

![](_page_24_Figure_8.jpeg)

![](_page_24_Figure_9.jpeg)

![](_page_24_Figure_10.jpeg)

![](_page_24_Picture_11.jpeg)

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V3

04 \ A402 A301

![](_page_25_Figure_0.jpeg)

01 North Elevation SCALE: 1/4" = 1'-0"

02 South Elevation SCALE: 1/4" = 1'-0"

![](_page_25_Figure_2.jpeg)

![](_page_25_Figure_3.jpeg)

A301 Elevations

![](_page_26_Figure_0.jpeg)

![](_page_26_Figure_1.jpeg)

![](_page_26_Figure_2.jpeg)

![](_page_26_Figure_3.jpeg)

04 West Elevation SCALE: 1/4" = 1'-0"

# F A R M E R P A Y N E

# ARCHITECTS

#### Jackson Hole 260 West Broadway, Suite A Jackson, WY 83001 T.307.264.0080

**Sun Valley** 351 N Leadville Ave, Suite 204 Ketchum, ID 83340 T.208.214.5155

**Louisiana** 910 Pierremont Rd. Suite 410 Shreveport, LA 71106 T.318.383.3100

1.316.363.3100

![](_page_26_Picture_11.jpeg)

## CONSTRUCTION DOCUMENT SET

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![](_page_26_Picture_14.jpeg)

DATE:	5/17/21
PROJECT #:	SV2004
DRAWN:	AB / CB
ISSUE:	
CD Set	4/02/21
Revision 01	4/19/21
Revision 02	4/29/21

![](_page_26_Picture_16.jpeg)

# ELEVATION KEY NOTES

- 1 Stained Western Red Cedar
- 2 Standing Seam Roof / Siding Variable Widths
- 3 Aluminum Clad Wood Window / Door

![](_page_26_Figure_21.jpeg)

![](_page_27_Figure_1.jpeg)

![](_page_27_Figure_2.jpeg)

![](_page_27_Figure_3.jpeg)

![](_page_27_Figure_4.jpeg)

**Building Section** 

V3

© FARMERPAYNEARCHITECTS

-TT

![](_page_28_Figure_3.jpeg)

![](_page_28_Figure_4.jpeg)

04 Longitudinal Building Section SCALE: 1/4" = 1'-0"

A402 **Building Sections** 

# STRUCTURAL SPECIFICATION

# GENERAL NOTES

The General Contractor shall verify all existing site conditions and coordinate dimensions among all drawings prior to proceeding with any work or off site fabrication. Any discrepancies found among the drawings, specifications and notes shall be reported to the

Engineer Of Record for clarification. Contractor to submit a request to Engineer for any substitution of materials or products specified in the contract drawings or specifications.

Contractor to provide shop drawings to the Engineer for review prior to the fabrication and erection of the following items: Structurally Insulated Panels (SIP's), Structural Steel and Miscellaneous Metals, Manufactured Wood Joists and Trusses.

Holes, notching or other penetrations through structural members shall not be permitted without prior Engineer approval.

It is the responsibility of the General Contractor for safety and protection within and adjacent to the job site.

# CONCRETE & REINFORCEMENT

CONCRETE Structural concrete shall be of normal weight concrete (145pcf) with a maximum aggregate size of 3/4" conforming to ASTM C 33, and shall meet the following criteria:

LOCATION	MINIMUM 28day COMPRESSIVE STRENGTH, psi	MAXIMUM WATER-CEMENT RATIO (b)	MAXIMUM SLUMP, inches (a)	AIR-ENTRAINMENT PERCENT ± 1.5%	CEMENT TYPE
<b>INTERIOR CONCRETE,</b> <b>STEM WALLS, &amp; FOOTINGS</b> (NOT INCLUDING GARAGE SLABS)	5000	.45	4	6	II
EXTERIOR CONCRETE AND GARAGE SLABS	5000	.45	4	6	II

a) Maximum slump based on maximum water-cementitious ratio. Mid and high range water reducing agents can be used to increase slump beyond these maximums with Approval of Engineer.b) Water shall not be added at the job site such that the water-cementitious ratio is exceeded.

CONCRETE BATCHING, MIXING, TRANSPORTATION, PLACEMENT, CONSOLIDATION, HOT & COLD WEATHER PROTECTION Concrete batching, mixing, and transportation shall conform to ACI 304R. Cement to conform to ASTM C 150.

Aggregates to conform to ASTM C 33.

Water shall conform to ACI 318-34. Placing of concrete shall conform to ACI 304R and ACI 318-5.10.

Pumping of concrete shall conform to ACI 304.2R. No more than 90 minutes shall elapse between batching and placement of concrete.

No more than 90 minutes shall elapse between batching and placement of concrete. Form work shall conform to ACI 347R and ACI 318-6.1.

Reinforcing steel and Embedded items shall be clean and free of foreign debris and be tied securely in place and care taken not to displace during concrete placement.

Conduits and Pipes shall not be embedded in concrete without Engineers written approval. Consolidation of concrete shall conform to ACI 309R. The unconfined fall of concrete shall not exceed 5'-0".

Hot weather concreting shall conform to ACI 305R. Cold weather concreting shall conform to ACI 306R.

Concrete shall not be placed on disturbed soil, frozen soil, or placed in water.

Forms shall not be stripped from walls and footings until concrete strength reaches a minimum of 1000psi. Forms supporting suspended slabs shall not be stripped until full 28day specified compressive strength is achieved.

### CONCRETE WALLS

Provide dowels from footing to wall to match vertical reinforcement size, spacing and location with embed hooks minimum 12 bar diameters in length, U.O.N.

Provide corner bars with 2'-0" long legs to match horizontal reinforcement size, spacing and location unless otherwise noted in drawings. Lap splice horizontal steel full length with corner bars.

Reinforcing steel shall be continuous through all cold joints.

Stem walls shall not be back filled until concrete has cured a minimum 7 days and been approved by engineer.

Provide adequate drainage behind walls as required to prevent standing water behind walls.

Anchor bolts shall be ASTM F1554 Grade 36 and of the size and spacing as indicated on the drawings and have a 7" minimum embedment depth. Anchor bolts to be within 1'-0" of sill plate ends, with a minimum of two per wall, and closer than 6" from concrete wall corners.

CONCRETE SLABS ON GRADE Unless otherwise noted on drawings, concrete slabs on grade to be minimum 6" thick, reinforced with #4 @ 12"o.c. each way placed at slab centerline.

Thicken perimeter slab edges to 8" thick and provide additional #3 in thickened edge.

Slabs to be placed over 6" thick compacted gravel base over undisturbed or compacted native strata.

All surfaces of construction joints shall be free of dust, chips and foreign matter prior to casting adjacent slab. Reinforcement shall be continuous through construction and crack control joints.

Provide 3/8" thick expansion joint material and sealant between slab edges and abutting walls and columns unless otherwise noted on the drawings.

Provide 3/4" deep tooled or saw-cut crack control joints at a maximum of 15'-0" apart in both directions. Fill joint with and elasmeric sealant. Contractor to submit to the Architect/Engineer proposed control and construction joint locations for review prior to concrete placement.

REINFORCING STEEL

Reinforcing steel shall conform to ASTM A615, grade 60. Welded Wire Fabric shall conform to ASTM A185. Reinforcing steel to be detailed, fabricated, and placed in accordance with ACI 315 and ACI 318.

Reinforcement and deformed bar anchors to be welded shall be A706 weldable or prior approved equal. Welding of rebar to be approved by Engineer. Welding shall conform to AWS D1.4 standards.

LAP SPLICES Unless otherwise noted, lap splices shall be minimum 48 x bar diameter.

Clear spacing between bars to be greater than 2 bar diameters. Clear cover greater than 1 bar diameter.

Reinforcement concrete cover requirements, unless otherwise noted in drawings, as follows: (1) Cast against earth 3"

Cast against earth
 Cast against form,

- Exposed to earth or weather 2" (3) Walls, slabs, joists
- Not exposed to earth or weather 3/4"
- (4) Beams, columns Not exposed to earth or weather 1-1/2"

D	ESIGN CRITERIA
<b>BUILDING CODE</b> Design, construction, and ins 2018 Edition and all Local Co	pection shall conform to the International Building Code, (IBC), des that may be applicable.
Material test standards refer	renced shall be the edition referenced in the 2018 IBC.
OCCUPANCY CATEGORY OF BUILDING	; II
DESIGN LOAD CRITERIA	
At all times, the General Cor limits of the design load cri	tractor and Owner shall keep the loads on the structure within the teria.
The General Contractor is res the loads that may be imposed elements are complete.	ponsible to provide all bracing and shoring as required to support on the structure during construction until all structural
DESIGN ROOF LOADS Live Load (Snow) Avalanche Deposit Dead Load Wood Load Duration Factor Importance Factor Snow (Is) Drift and Un-Balanced Loads p Ground Snow Load Exposure Factor Temperature Factor	100 PSF (Minimum Local Jurisdiction / Balanced Snow Load) 400 PSF (Static Load) 25 PSF 1.15 1.0 Der ASCE/SEI 7-16 120 PSF 1.0 1.1
<b>DESIGN FLOOR LOADS</b> Live Load Dead Load	40 PSF 50 PSF
WIND LOAD DATA Wind Speed (3 sec. gust) Importance Factor (Iw) Building Category Exposure Category Internal Pressure Coefficient	103 MPH 1.0 I B +/18
SEISMIC LOAD DATA Project Coordinates Importance Factor (Is) Ss S1 Sds Sd1 Site Class Seismic Design Category Basic Seismic Force Resisting Response Modification Coeffic Simplified Analysis Procedure F = 1.0 Vbase (unmodified) Seismic Weights (W)	(43.69, -114.70) 1.0 0.597 0.171 0.462 0.185 C C System - Light Frame Walls with Wood Structural Panels Sient (R) = 6.5 .071*W Dead Loads + 35% Balanced Snow Load

# SOIL & FILL

**FOUNDATION/SOILS** Design soil bearing pressure = 3000 psf

All foundations shall bear on firm, undisturbed, drained, granular soil free of organic material. If soil is disturbed, compact soil in maximum 8" deep lifts to 95% maximum dry density per ASTM D698.

Contractor to notify Engineer if soil conditions are contrary to the assumed design conditions which may require over excavation and placement of structural fill or a lower assumed soil bearing pressure such as clays, silts or organics.

Exterior footings shall bear a minimum of 2'-6" below finished grade unless otherwise noted in the drawings.

STRUCTURAL FILL

Structural Fill to be GW, GP, SW, or Sp soil under the unified classification system. Structural Fill shall consist of 4" minus select, clean, granular soil with no more than 12% passing the #200 sieve. Fill shall be placed in lifts of no more than 8", moisture conditioned, and compacted to 95% of modified proctor density ASTM D1557. Structural Fill placed below footings must extend laterally outside the perimeter of the footing for a distance equal to the thickness of the fill measured from the bottom of the footing to the underlying undisturbed soil. Back fill behind stem walls and retaining walls to be the same as prescribed above, except the

maximum aggregate size should be 2". Compaction of back fill behind walls shall be done by hand compactors.

# STEEL AND MISC. METALS

All structural steel, fabrication, painting, and erection shall comply with AISC Manual of Steel Construction including the Code of Standard Practice and the IBC 2018 edition.

All wide flange sections shall conform to ASTM A992 yield stress = 50 ksi.

Holes in structural steel may be made only with Engineer prior approval.

All plates, angles, and channels to conform to ASTM A36 yield stress = 36 ksi.

All structural steel tubing to conform to ASTM A500 grade B yield stress = 46 ksi.

All structural steel pipe shall conform to ASTM A501 grade B yield stress = 36 ksi. Use ASTM A325 bolts where specified in documents for all steel to steel connections with a minimum diameter of 5/8" U.O.N.

All bolts shall be tightened to the minimum bolt tension in Accordance with AISC Specifications For Structural Joints Using ASTM A325 or A490 Bolts. Direct tension indicators or twist-off-type tension-control bolt assemblies may be used. Provide carbonized washers between turned element and steel. Connections indicated as slip critical (SC), shall have a minimum of a Class A contact surface preparation and bolts tightened to the specified minimum bolt tension utilizing direct tension indicators.

All welding shall be performed in accordance with a Welding Procedure Specification (WPS) as required in AWS D1.1 Structural Welding Code and the IBC 2018 code.

Weld Filler to comply with E70XX low hydrogen electrodes with a Charpy-V-Notch (CVN) of 20 foot-pounds at -20 degrees F. The WPS shall be within the parameters established by the filler metal manufacturer.

Welder shall be certified by AWS standards within the past 12 months. Upon request, written certification shall be submitted to the Engineer or special inspectors for review. Welder shall avoid welding directly in the K-area of structural steel.

Shop drawings shall be approved by Engineer prior to fabrication or erection. Shop drawing submittal shall include, but not be limited to, all welding, bolting, dimensions, member size and grade.

All field welds shall be visually inspected by AWS certified welding inspectors in accordance with the provisions of AWS D1.1.

SAWN STRUCTURAL LU	MBER	
Structural lumber Bureau (WCLIB) or	shal West	l cont cern Wo
specified sizes a 2x & 4x	na mi Doug	nımum glas F:
6x and larger Wood Members in c	Doug	las Fi ct with
concrete or mason naturally durable additional decay	ry fo wood and t	oundat: d or pr cermite
LAMINATED VENEER I	UMBE	R (LVL)
below. LVL mater requires Engineer	ial t 's pr	to be o tior ap
Where multiple pi LVL sections with	ece I (3)	LVL sec rows 1
LVL Minimum Allow 1-3/4" thick	able	Design
Fb (bending) = Fv (horizontal) =		2800ps 285ps:
<pre>Fc (parallel) = Fc (perpendicular E =</pre>	) =	3000ps 750ps 2,000
MANUFACTURED WOOD	JOIS	<u>rs</u>
Manufactured wood Cascade, and to b	e of	joist: the $t_{\underline{y}}$
Joists shall be e	recte	ed, ins
All holes must be	d woo	od joi: withii
WOOD FRAMING	+ Er:	ming
All framing faste	ning	shall
noted on the draw Minimum header sh	ıngs. all k	be (3)
Minimum header po	st sł	hall be
noted in drawings	•	:I Stut
Typical beam pock bearing trimmers possible, provide	et at and 2 Simp	beam 2x6 gra oson T:
Provide minimum 1 1-1/4" thick soli	-1/4' d rim	' thic board
Provide solid blo joists interrupt	cking block	g in fl king, p
recommendations. Typical wall cons	truct	tion to
above, U.O.N. Where wall height	s exc	ceed 13
VERSA-STUD at 16" PLYWOOD SHEATHING	0.C.	(or ea
All plywood sheat and span ratings	hing as no	shall ted he
Plywood at roof a end joints stagge	nd fl red a	oors s at 4'-(
Nail roof sheathi and 12"o.c. inter	ng wi media	ith 100 ate uni
Glue floor sheath panel edges, 12"o	ing a .c. i	and na: interme
Unless otherwise edges and boundar	notec ies v	d in di vith 80
Roof Sheathing: 3/4" CDX minimum	(40/2	2011ca
Exterior Wall She 15/32" CDX minimu	athir m (24	ng: 1/0) sr
Board with the sa	me`sp <b>S AND</b>	pan rai
Unless otherwise common or galvani	noted zed k	d in di box.
Wood bolts and la steel plate washe	gs sł rs at	nall co call b
Metal connectors Company and insta	speci lled	fied per th
where load capaci submitted to the 3	ty ar Engir	nd dime neer fo
Provide the maxim	um na	iling
Architect/Enginee	r pri	lor ap
Anchoring adhesiv manufacturer's st	e sha andai v the	all be d side
C-881 specificati minimum 13,390 ps	on fo i con	or type mpress:
		C
Concrete masonry	mate	rials a
All concrete masc net area compress	nry i ive s	units streng
Mortar for all wo Grout for filling	ork sl shal	hall be
All reinforcing b	ars :	for ma

WOOD FRAMING	
l conform to the latest edition of the West Coast Lumber Inspection ern Wood Products Association (WWPA) grading rules for the nimum grades listed below:	
las Fir-Larch No.2 las Fir-Larch No.1	
t with concrete or masonry walls below grade or supported by indations that are less than 8" from exposed earth shall be or preservative-treated per AWPA U1. See IRC section 2304.11 for ermite protection requirements.	
r shall conform to the minimum allowable design properties listed o be of solid sections. Substitution of multiple piece sections ior approval.	
VL sections are specified in drawings, nail two ply and three ply rows 16d common at 12"o.c. each ply. Design Properties:	
3-1/2" - 7" thick         2800psi       Fb (bending) = 3100psi         285psi       Fv (horizontal) = 285psi         3000psi       Fc (parallel) = 3000psi         750psi       Fc (perpendicular) = 750psi         2,000,000psi       E = 2,000,000psi	
<b>s</b> joists, to be manufactured by Truss Joist Corporation or Boise the type and spacing specified in the drawings.	
d, installed and braced per manufacturer's specifications. d joists may be substituted with prior Engineer approval. within joist web and meet manufacturer's requirements.	
ming construction shall conform to IRC section 2308. shall be in accordance with IRC section 2304.9 unless otherwise	
e (3) 2x8 unless otherwise noted in drawings. all be 2x6 bearing (trimmer) stud plus 2x6 king stud each end below r studs plus 2x6 king stud for 6x10 and larger, unless otherwise	
beam bearing locations shall consist of full beam width 2x6 x6 grabber stud each side. Where 2x6 grabber studs are not son TS22 or ST6224 steel strap attached equally to beam and bearing	
thick solid blocking below all bearing walls. Provide minimum board at perimeter of all floors.	
in floor space below all posts and trimmers from above. Where "I" ing, provide joist web stiffeners and blocking per manufacturers	
ion to consist of 2x6 studs @ 16"o.c. module with framing members	
eed 13'-0", wall construction to consist of 1-1/2"x5-1/2" BCI 2.0E (or equivalent).	
<pre>shall be APA rated exposure 1 plywood with thickness, veneer grades ted herein or in drawings. bors shall be laid with face grain perpendicular to supports and t 4'-0" o.c Provide 1/8" space at all panel edges. th 10d common at 6"o.c. boundary edges, 6"o.c. interior panel edges, te unless otherwise noted on drawings. nd nail with 10d common at 6"o.c. boundary edges, 6"o.c. interior ntermediate unless otherwise noted. in drawings and shear wall schedule, nail APA rated wall panel ith 8d galvanized box at 6"o.c., and 12"o.c. intermediate. Block zontal panel edges at designated shear walls.</pre>	
)) span rating.	
g: /0) span rating unless otherwise noted. 7/16" Oriented Strand an rating may be substituted for exterior wall sheathing. PREFABRICATED CONNECTIONS FOR WOOD in drawings or hardware supplier specification, all nails shall be ox.	
all conform to ASTM A307 grade unless otherwise noted. Provide mild all bolt heads and nuts bearing against wood. fied in drawings shall be manufactured by the Simpson Strong Tie per their specifications. Other manufacturers may be considered d dimensions are equal or better. All substitutions must be eer for review.	
iling pattern for all metal connectors. tions, other than manufacturers specified, must have or approval.	
ll be two component 100% solids epoxy based system supplied in d side-by-side cartridge and dispensed through a static mixing manufacturer. Epoxy shall meet the minimum requirements of ASTM r type I,II,IV and V grade 3, class B and C and must develop a pressive yield strength after 7 day cure.	
CONCRETE MASONRY	THE CC EXCLUS STRUCT PROTEC LAWS
ials and construction shall conform to the American Concrete Institute nits shall conform to ASTM C 90, Grade N-1, and normal weight. Minimum trength of masonry units shall be 2,500 PSI at 28 days. all be type M or S. 1 be a minimum compressive strength (f'm) of 2800 psi, and shall conform out filling 8'-0" maximum lift vertically. or masonry construction shall conform to ASTM A-615 grade 60. Lap length r diameters	REPROI DRAWI PROHIE CONSEN DESIGN

ISSUE DATE           PERMIT SET: 4/2/2021           CONSTRUCTION SET: 4/16/2021           1           DELTA 1: 5/5/2021		
RESIDENCE	D KETCHUM, ID	
H H H H H H H H H H H H H H H H H H H	119 SAGE R	
THE CONTENT OF THE CONTENT OF THE CONTENT OF THE CONTENT OF THE PERIOD		
THE CONTENT OF THIS DRAWING IS THE EXCLUSIVE PROPERTY OF MAXWELL STRUCTURAL DESIGN STUDIO AND ARE PROTECTED UNDER FEDERAL COPYRIGHT LAWS. ANY UNAUTHORIZED REPRODUCTION OR USE OF THESE DRAWINGS IN WHOLE OR IN PART IS PROHIBITED WITHOUT PRIOR WRITTEN CONSENT BY MAXWELL STRUCTURAL DESIGN STUDIO, PLLC.		

![](_page_30_Figure_0.jpeg)

SCALE : 1/4" = 1'-0"

![](_page_31_Figure_0.jpeg)

![](_page_31_Figure_1.jpeg)

![](_page_31_Figure_2.jpeg)

EDGES.

FRAMING FOR ATTACHMENT OF HANDRAIL / GAURDRAIL / GRAB BARS ETC. WHERE OCCUR.

![](_page_32_Figure_0.jpeg)

# •

W6x25 COLUMN

<sup>5</sup>/<sub>8</sub>"x6<sup>1</sup>/<sub>2</sub>"x7" BASE PLATE -

![](_page_33_Picture_3.jpeg)

#5 HORIZONTAL @ 16"o.c. —

#5 VERTS @ 16"o.c. W/ 3'-0" LAP -SPLICE W/ DOWELS

GRADE PER SITE PLAN, HARDSCAPE WHERE OCCURS PER ARCH'L

STONE VENEER SUPPORT ANGLE-

÷0 x 46 DOWELS @ 8"o.c. 14"

![](_page_33_Picture_9.jpeg)

![](_page_33_Figure_43.jpeg)

![](_page_33_Figure_44.jpeg)

![](_page_34_Picture_1.jpeg)

![](_page_34_Picture_3.jpeg)

OVER  $\frac{3}{4}$ " CDX ( $\frac{40}{20}$ ) OVER RED-H TAPERED CHORD TRUSSES @ 12"o.c.

![](_page_34_Figure_100.jpeg)

![](_page_34_Figure_101.jpeg)

![](_page_35_Picture_0.jpeg)

6 S4.0

AVALANCHE RETAINING WALL PER -

FINISH GRADE PER SITE PLAN -

T.O.CONC WALL =  $110'-6\frac{5}{8}''$ VERIFY

TRUSS TO CONCRETE WALL-CONNECTION PER

ROOFING MATERIAL PER ARCH'L -OVER  $\frac{3}{4}$ " CDX ( $\frac{40}{20}$ ) OVER RED-H TAPERED CHORD TRUSSES @ 12"o.c.

![](_page_35_Picture_10.jpeg)

![](_page_35_Figure_11.jpeg)