



STAFF REPORT
KETCHUM PLANNING AND ZONING COMMISSION
SPECIAL MEETING OF FEBRUARY 15TH, 2022

INTRODUCTION

Development pressure has increased the desire to build in sensitive areas within Ketchum as land that is easier to develop has been built out. With this pressure there are situations that arise that have not been encountered in the past.

In this case, staff is requesting the Planning & Zoning Commission decide if a non-conforming house located on a hillside with a 25% slope can be demolished and a new house be constructed on the non-conforming hillside pad where the non-conforming house was located.

Current code requires new buildings to be constructed in areas that have less than 25% slope (Ketchum Municipal Code §16.04.020) and building envelopes on new parcels to be located outside of a 25% slope. Existing homes in steep slope areas that were developed prior to the City's establishment of the Mountain Overlay Zoning District in 1989 may not comply with current hillside development standards. These homes are considered non-conforming buildings and may be maintained in their current condition. If a non-conforming structure is demolished, or a new parcel is created, then the new building and parcel must comply with all current development standards.

BACKGROUND

The Planning & Building Department received a lot line shift application proposing to reconfigure the four lots located at 691 N Spruce Avenue and 671 E 6th Street within the City's Limited Residential (LR) Zoning District and the Mountain Overlay. The project proposes to combine Lots 5A, 6A, 7, and 8 within Block 91 of Ketchum Townsite into 2 lots. The existing home located at 691 N Spruce Avenue (Ketchum Townsite: Block 91: Lots 7 & 8) was originally constructed in 1977 (Building Permit File No. 77-029). The property located at 671 E 6th Street was developed with a home in 1969 (Building Permit File No. 69-079). The home was demolished, but an existing, non-conforming garage has remained on the property.



Figure 1: 691 N Spruce Avenue and 671 E 6th Street

Prior to the site grading to construct the building pad for the existing home, the original natural slope of the lot exceeded 25%. The existing home is considered non-conforming and is governed by the City's non-conforming standards specified in Chapter 17.136 of Ketchum Municipal Code. Additionally, Lots 5A, 6A, 7, and 8 within Block 91 are designated as significant landmarks (Ketchum Municipal Code §17.104.030B) and their preservation is encouraged pursuant to Ketchum Municipal Code §17.104.070.A15.

The lot line shift application proposes to reconfigure the four lots into two lots and create new building envelopes on the two new lots. Any new development, subdivision, or lot line adjustment must comply with all current City standards (subdivision, zoning, fire, building, and street/driveway standards). The reconfiguration of the four parcels must create lots that meet the definition of buildable lot specified in Ketchum Municipal Code §16.04.020. Buildable lots must have slopes of less than 25%.

Building envelopes are required to be established outside of hillsides greater than 25% slope (Ketchum Municipal Code §16.04.040.F2). The proposed building envelope shown on Lot 7A is located entirely within what was the 25% slope hillside area prior to the construction of the existing home.

A waiver to the subdivision standards may be requested for lot line shifts of parcels that are entirely within slopes of twenty five percent (25%) or greater to create a reasonable building envelope provided the mountain overlay design review standards and all other City requirements are met (Ketchum Municipal Code §16.04.040.F2a). In this case, the four lots contain areas outside of the 25% slope area that comply with the definition of buildable lot and are suitable for development.

ACTION BEFORE THE PLANNING AND ZONING COMMISSION

The Commission is being asked to determine if a non-conforming house on a hillside may be demolished and a new home may be constructed on a non-conforming building pad located on a hillside that was 25% or greater slope when the original house was constructed or if the location of the new house must comply as much as possible with the existing hillside and Mountain Overlay development standards. This determination will apply to all existing non-conforming properties in hillside areas.

MOUNTAIN OVERLAY

History

In 1988, the City Council adopted Resolution No. 391 imposing a moratorium on the acceptance and issuance of building permits for new construction projects and land subdivisions within hillside areas. The only regulations controlling hillside development at the time were standards regulating road and driveway access. The City adopted Emergency Ordinance No. 502 in 1989 to address the imminent threat to the public health, safety, and welfare resulting from the lack of adequate standards to regulate access to, erosion of, damage from, and construction on hillsides

within the City. Permanent hillside development standards were established in 1989 through the City's adoption of Ordinance No. 503. Additional standards to regulate excavation, filling, and vegetation disturbance were added to the Mountain Overlay Design Review criteria in 2001 through the City's adoption of Ordinance No. 872.

The boundaries of the Mountain Overlay Zoning District were amended in 2001 through the City's adoption of Ordinance No. 884 to include hillside areas with natural features, including slopes greater than 25% and rock outcroppings, and portions of land elevated above the surrounding townscape. Ordinance No. 996 adopted in 2006 amended the Mountain Overlay boundaries by designating the Knob Hill area as a significant landmark. This ordinance added a standard to the Mountain Overlay Design Review criteria encouraging the protection and preservation of significant landmarks. Figure 2 shows the boundaries of the Mountain Overlay within the Knob Hill neighborhood and the existing non-conforming properties that were developed prior to the adoption of the Mountain Overlay standards.

Purpose

Hillside development standards protect the community character and health and safety by ensuring the adequate provision of public services and facilities, including fire protection. These standards prohibit the detrimental alteration of hillside that would adversely impact existing soils, drainage, and vegetation. The undeveloped hillsides surrounding Ketchum are one of Ketchum's character-defining features. The Mountain Overlay Zoning District ensures the preservation of these hills, ridgelines, and natural features. The standards minimize the visual impact of development by directing building sites away from higher elevations and keeping hillsides open and unobstructed.

Mountain Overlay- Knob Hill

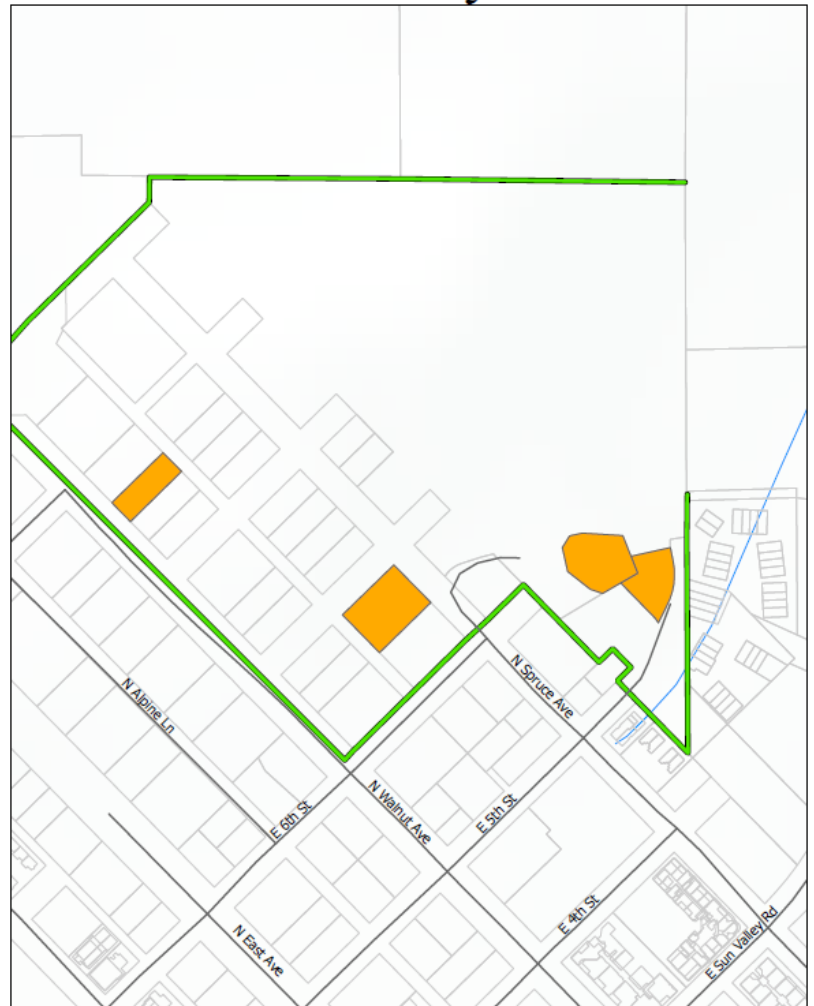


Figure 2: Knob Hill Mountain Overlay Boundary & Non-conforming Properties

Hillside Development Activity Impacts and Hazards

Development on hillsides impacts views, drainage, slope stability, and wildlife habitat. Development and redevelopment typically disturb natural features, soils, and vegetation. Vegetation removal, site grading, and the addition of impervious surfaces can lead to increased erosion, sedimentation, and stormwater runoff.

ZONING NONCONFORMITIES

Nonconformities are existing uses, buildings, lots, or site features that were legally established at the time they were created but no longer comply with current zoning code regulations. When land use regulations change, existing developments may not comply with the amended zoning code standards. Requiring owners to immediately bring their non-conforming buildings and uses into compliance following land use regulation changes would be a hardship. To mitigate this hardship, zoning codes set specific standards to address nonconformities. These standards generally allow owners to maintain nonconformities in their current condition but prohibit or limit substantial modifications and expansions. This approach assumes all nonconformities will be phased out over time. Standards regulating zoning nonconformities balance the community's interests in new land use objectives with private property interests in existing development.

Ketchum Municipal Code 17.08.020 defines a non-conforming building as any legally existing building which does not conform to the location and bulk regulations of the zoning code either at the effective date of the zoning ordinance or as a result of a subsequent amendments to the zoning code. Non-conforming buildings and uses in Ketchum are governed by the City's non-conforming standards specified in Chapter 17.136 of Ketchum Municipal Code.

Ketchum Municipal Code §17.136.060 provides for the routine maintenance of non-conforming buildings by allowing certain alterations and repairs. Enlargements of existing non-conforming buildings that increase the degree of nonconformity are prohibited (Ketchum Municipal Code §17.136.050). Expansions of non-conforming buildings that do not increase the degree of nonconformity are permitted provided the addition complies with current zoning code requirements and 50% of the building footprint and exterior walls of the non-conforming structure remain unaltered (Ketchum Municipal Code §17.136.050). Any alteration over this 50% threshold requires that the redevelopment comply with all current zoning code standards. Non-conforming buildings that have been damaged or destroyed by fire or any other calamity may be restored to its preexisting non-conforming condition provided that the building permit for the restoration work is obtained within 2 years of the calamity (Ketchum Municipal Code §17.136.040). The restoration project must comply with building and fire codes in effect at the time the building permit is issued. Nonmaterial changes to the preexisting condition of a damaged or destroyed building may be approved at the City's discretion.

ANALYSIS

Comprehensive Plan Analysis

The 2014 Comprehensive Plan contains the community's vision for Ketchum and sets goals and policies to guide future development. The vision is shaped by 10 core values identified by Ketchum residents as important to consider for all future land uses decisions. The community's core values include protecting Ketchum's character and preserving its environmental quality and scenic beauty. Protecting and enhancing the visual character of the surrounding undeveloped hillsides is identified as critical to maintaining Ketchum's character. Ketchum's undeveloped hillsides are a visual asset and a defining characteristic of our community. Preserving the City's natural resources and undeveloped hillsides is critical to maintaining Ketchum's identity. Natural features and open spaces, like sage-covered hillsides, are part of Ketchum's heritage. Natural resources are key to Ketchum's economy, quality of life, and community identity. The Comprehensive Plan says:

Community Character: You know when you have entered Ketchum; this is a place centered on the "town" and identifiable from the "country" by distinct edges. Residents and visitors desire this clear division that has been lost in so many American cities through strip commercial development and sprawling residential subdivisions. Protecting and enhancing the visual character of our community gateways, the undeveloped hillsides, and night skies is a priority.

Environmental Quality and Scenic Beauty: Ketchum's citizens place great value on the exceptional natural setting and resources of the Wood River Valley. The community is surrounded by rugged alpine peaks, forested and sage-covered open spaces, pristine wildlife habitat, and beautiful rivers and riparian areas. Key open spaces create visual buffers between the built and natural environment. Unobstructed views exist in every direction in large part due to Ketchum's wide streets and lack of hillside development. These environmental features and resources sustain our economy and are why many people choose to live in Ketchum. We will be excellent stewards of these resources in order to preserve them for the future.

The Comprehensive Plan identifies opportunities and challenges for future development and sets goals and policies to guide decision making to achieve the community's vision. The 2014 Comprehensive Plan includes the following goals regarding hillside development:

- Establish and maintain open space buffers in important scenic areas to maintain the community's separate identity from surrounding communities and to protect views and open space.
- Protect and enhance views of the surrounding mountains and natural features.
- Continue to protect hillsides within the City and the Area of City Impact from further development. Enforce and encourage strengthening of the Mountain Overlay standards of the City and County, by using a variety of techniques; such as clustering at lower elevations, creating conservation easements, or purchasing private property on hillsides.

- Protect and incorporate natural features into newly developing areas. Conserve the natural patterns of streams, ridgelines, topography, riparian areas, and wildlife habitat areas.

2001 Comprehensive Plan

The 2001 Comprehensive Plan included a chapter specifically regarding the Knob Hill residential neighborhood. The area is part of Ketchum's original townsite created in 1948. Topography was not considered when the townsite was platted. The Knob Hill area contains unimproved Ketchum townsite blocks with lots, streets, and alleys that are located high on the hillside. Development on these steep slopes would be highly visible from key public vantage points throughout the City. Improved streets within the neighborhood, such as Walnut Avenue, are paved off center to avoid massive cuts in the hillside. The 2001 Comprehensive Plan concluded that the lots located between 10th and 6th Streets and the alley between Walnut and Spruce Avenues up to Spruce Avenue are not realistic for development due to the potential environmental, visual, and safety impacts to the hillside. The 2001 Comprehensive Plan set the following goals to protect Knob Hill hillsides from future development:

- Develop conservation easements, purchase, or use other means to protect and preserve the integrity of the hillsides of the Knob Hill area above the undeveloped, platted alley between Walnut and Spruce Avenues and 6th and 10th Streets.
- The City should work with landowners to design and provide alternatives to the platted streets and alleys that run directly up slopes in the Knob Hill area.
- Work with Knob Hill landowners to transfer development rights off of the hillside to more suitable areas in the neighborhood or elsewhere in town.

Zoning Code Interpretation Implications

New buildings may only be developed in areas that have less than 25% slope based on natural contours (Ketchum Municipal Code §16.04.020 & §16.04.040F). Code standards regulating the placement of buildings on hillsides are based on the natural grade of the land prior to any disturbance, excavation, grading, or filling.

Structures Built Prior to 1989

If the Commission determines a non-conforming hillside building can be demolished and a new building may be constructed on the non-conforming building pad located on a hillside, this could apply to approximately 37 properties in Ketchum (see Figure 3). These 37 properties were developed prior to the City's establishment of the Mountain Overlay Zoning District in 1989 and may not comply with current hillside development standards. Non-conforming building pads that have already disturbed the natural contours of a hillside through grading would be permitted to be redeveloped with new homes. Depending on the Commission's determination, the construction of new homes could be permitted on hillsides that would otherwise be restricted from development.

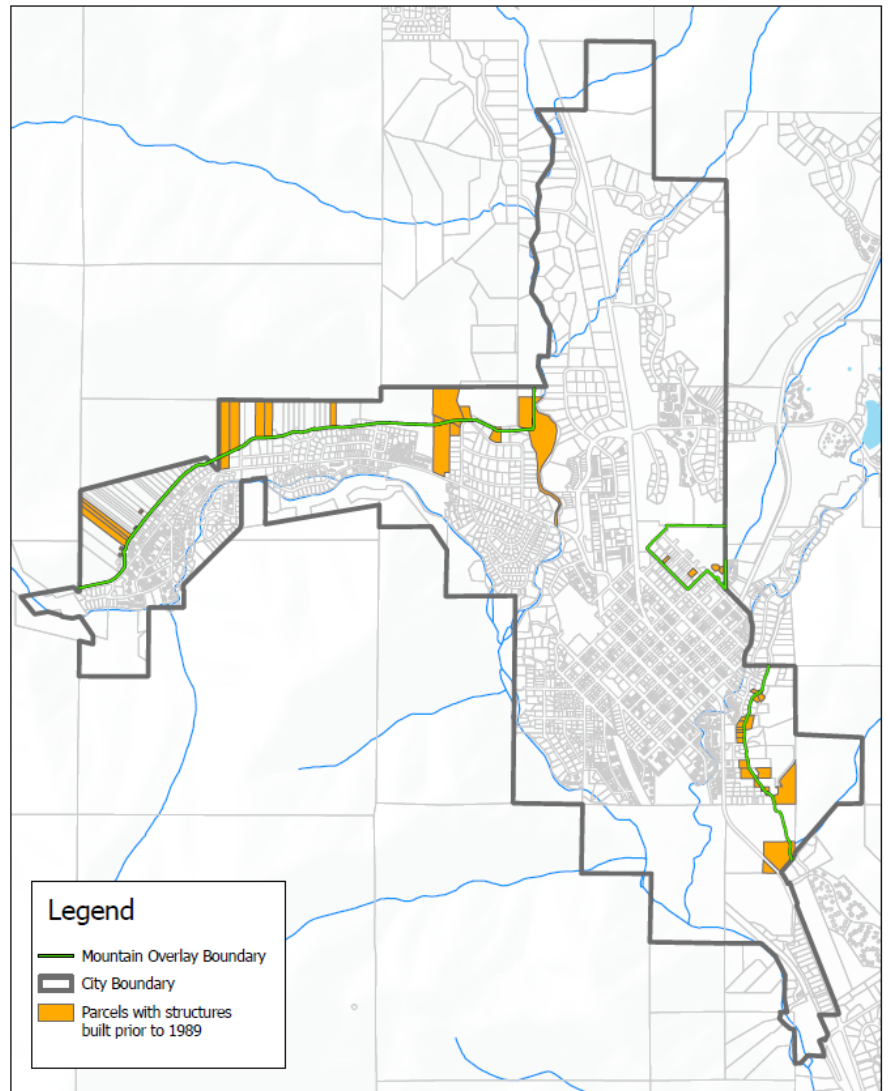


Figure 3: Potential Non-conforming Properties in Mountain Overlay

Instead of phasing out and eventually eliminating these non-conforming buildings over time, non-conforming building pads could be used to develop new and larger homes that comply current height at setback requirements. New single-family homes in Ketchum have trended towards replacing existing, smaller buildings with larger structures. Redeveloping non-conforming building pads may result in even more disturbance to the hillside. The construction of new homes on non-conforming building pads on steep slopes impact slope stability as well as drainage patterns. This may increase the potential for accelerated runoff and erosion, which would adversely impact downslope properties and water quality. While anything can be engineered to eliminate safety hazards, the level of disruption and extent of grading can forever alter the natural environment.

Many non-conforming building pads are sited on prominent ridgelines and hilltops and are highly visible. For example, the existing homes located at 791 E 5th Street and 680 N Spruce Avenue are non-conforming buildings that were constructed in the 1960s. This existing home is visible from multiple public vantage points. Allowing these non-conforming building pads to be redeveloped with new homes would perpetuate a condition that is no longer allowed. Non-conforming homes site on steep slopes in the Mountain Overlay are desirable because they provide open and unobstructed views for their residents. By allowing redevelopment in the same location it could incentivize property owners to maintain existing non-conforming building pads instead of locating new homes to areas that are more suitable for development at lower elevations.



Figure 4: Existing Non-conforming Buildings Visible on Hillside

By allowing existing non-conforming hillside pads to be redeveloped, it could adversely impact public health and safety. Accesses to many of these non-conforming building pads do not comply with fire code or streets standards due to their steep grades. Many of these non-conforming homes have only one point of ingress and egress. Additionally, redevelopment on steep slopes will decrease wildfire resiliency.

One of the purposes of the Mountain Overlay is to protect natural land features and wildlife habitat (Ketchum Municipal Code §17.104.020D). Redeveloping non-conforming building pads with larger homes may alter natural land features like hilltops, rock outcrops, knolls, and ridges. Disturbing these natural features, soils, and vegetation with new development activity may negatively impact Ketchum's natural environment. Redeveloping these building pads on steep slopes may also disrupt wildlife migration and travel patterns and negatively impact important wildlife habitat.

STAFF RECOMMENDATION

Staff recommends the Planning and Zoning Commission make a determination whether or not an existing non-conforming building pad may be used to construct a new building in the same location on a hillside or if the location of the new house must comply as much as possible with the existing hillside and Mountain Overlay development standards. Staff recommends that the

siting of a new house on an existing, non-conforming property be in a location that complies as much as possible with the hillside and Mountain Overlay Design Review standards.

EXHIBIT

- A. 691 N Spruce Street & 671 E 6th Street Redevelopment Project Plans

Exhibit A
691 N Spruce Avenue
&
671 E 6th Street
Redevelopment Project Plans

Residence

691 North Spruce Ave. & 671 East Sixth St.
Ketchum, ID

Mountain Overlay, Pre-Application Design Review August 06, 2021



Residence - 691 North Spruce Ave		RF+P Project #: 21-002										
Ketchum, ID												
Master Drawing List				Date of Issue								
				Day	06							
				Month	08							
				Year	2021							
Drawing Number	Drawing Name	Consultant	Scale	Issued for MDDS Pre-App	A. Axiom #1	A. Axiom #2	A. Axiom #3	A. Axiom #4				
Cover												
A000	Cover Sheet and Drawing Index	RF+P	N/A	■								
Existing Conditions												
EX001	Vicinity Map	RF+P	N/A	■								
EX002	Vantage Points	RF+P	N/A	■								
EX003	Existing Site Photos	RF+P	N/A	■								
EX004	Subdivision Plat Lots 5, 6, Block 91	-	N/A	■								
EX005	Subdivision Plat Lots 7, 8, Block 91	GE	N/A	■								
Civil												
C1.0	Existing Site Conditions	GE	1" = 10'	■								
C1.1	Proposed Site Plan	GE	1" = 10'	■								
C1.2	Notes & Details	GE	Varies	■								
Landscape												
L1.0	Existing Conditions & Demo	BYLA	1" = 10'	■								
L1.1	Site Overview	BYLA	1" = 10'	■								
L2.0	Grading & Drainage Plan	BYLA	1" = 10'	■								
L3.0	Landscape & Lighting Plan	BYLA	1" = 10'	■								
Architectural												
A101	Basement Level Plan	RF+P	1/8" = 1'-0"	■								
A102	Ground Level Plan	RF+P	1/8" = 1'-0"	■								
A103	Upper Level Plan	RF+P	1/8" = 1'-0"	■								
A104	Roof Level Plan	RF+P	1/8" = 1'-0"	■								
A111	Basement Level Reflected Ceiling Plan	RF+P	1/8" = 1'-0"	■								
A112	Ground Level Reflected Ceiling Plan	RF+P	1/8" = 1'-0"	■								
A113	Upper Level Reflected Ceiling Plan	RF+P	1/8" = 1'-0"	■								
A201	Building Elevations	RF+P	1/8" = 1'-0"	■								
A202	Building Elevations	RF+P	1/8" = 1'-0"	■								
A301	Site/Building Sections	RF+P	1/8" = 1'-0"	■								
Miscellaneous												
G001	Proposed Lighting Fixtures	RF+P	N/A	■								
G002	Proposed Material Palette	RF+P	N/A	■								
G003	Rendements	RF+P	N/A	■								
G004	Construction Staging Plans	RF+P	N/A	■								

Residence

691 North Spruce Ave. & 671 East Sixth St.
Ketchum, ID 83340

Architect
Roger Ferris + Partners
11 Wilton Road • Westport, Connecticut 06880
tel. 203.222.4848 • www.ferrisarch.com

Civil Engineer/Surveyor
Galena Engineering
317 N. River Street • Hailey, ID 83333
tel. 208.788.1705 • www.galena-engineering.com

Landscape Architect
BYLA Landscape Architects
323 Lewis Street, Suite N • Ketchum, ID 83340
tel. 208.726.5907 • www.byla.us

ARCHITECT'S SEAL

KEY PLAN

PROJECT PHASE - PERMITTING

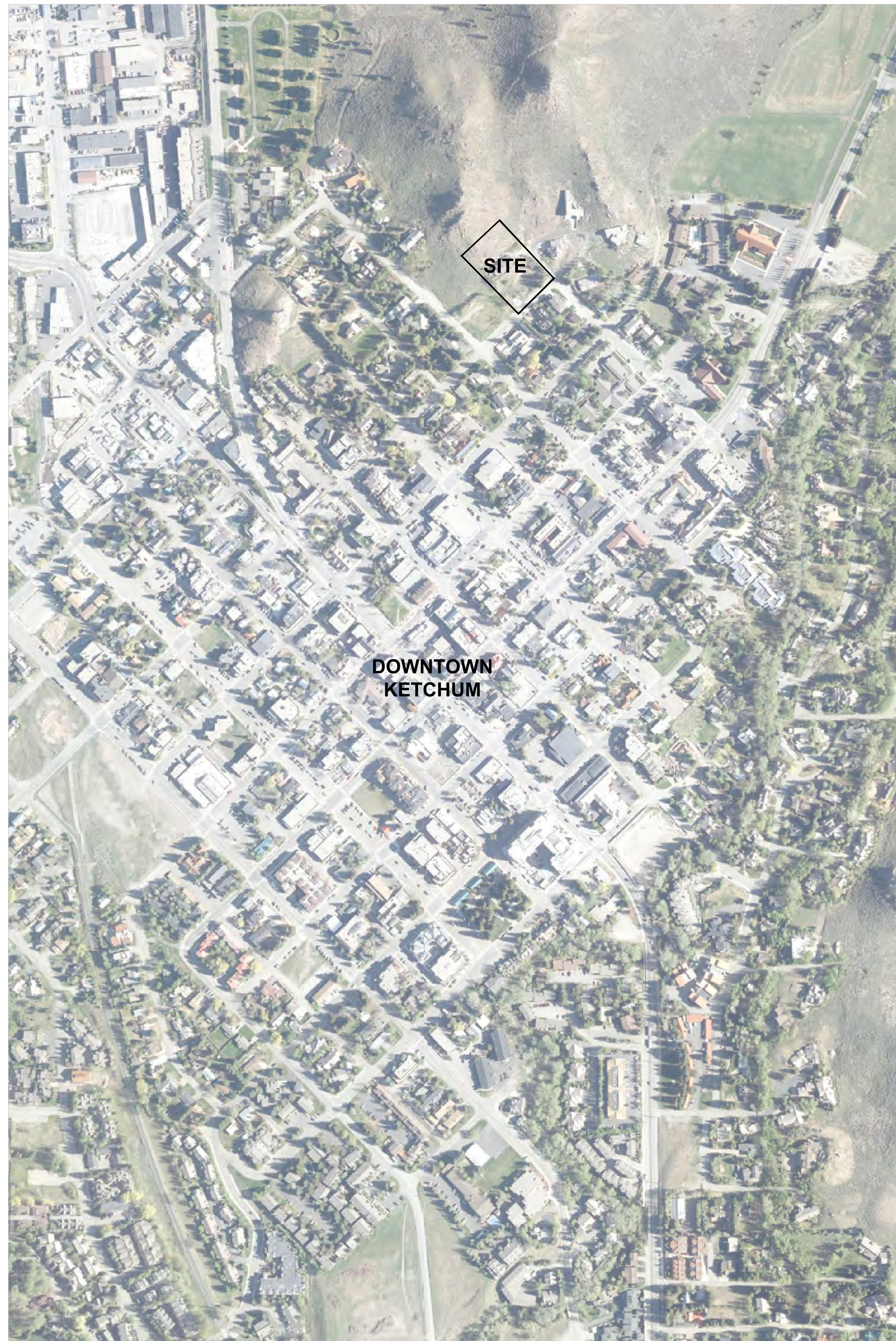
REVISIONS			
NO.	DESCRIPTION	DATE	ISSUED TO
1	M.O.D.R. PRE-APP.	AUGUST 06, 2021	CITY

SHEET NAME
COVER SHEET

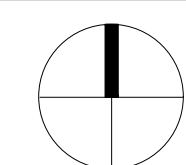
PROJECT NUMBER: 21-002
DATE: JULY 14, 2021
SCALE: N/A

A000

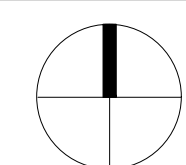
Vicinity Map



City Aerial



Neighborhood Aerial



Residence

691 North Spruce Ave. & 671 East Sixth St.
Ketchum, ID 83340

Architect
Roger Ferris + Partners
11 Wilton Road • Westport, Connecticut 06880
tel. 203.222.4848 • www.ferrisarch.com

Civil Engineer/Surveyor
Galena Engineering
317 N. River Street • Hailey, ID 83333
tel. 208.788.1705 • www.galena-engineering.com

Landscape Architect
BYLA Landscape Architects
323 Lewis Street, Suite N • Ketchum, ID 83340
tel. 208.726.5907 • www.byla.us

ARCHITECT'S SEAL

KEY PLAN

PROJECT PHASE - PERMITTING

REVISIONS

NO.	DESCRIPTION	DATE	ISSUED TO
1	M.O.D.R. PRE-APP.	AUGUST 06, 2021	CITY

SHEET NAME

VICINITY MAP

PROJECT NUMBER: 21-002
DATE: JULY 14, 2021
SCALE: N/A

EX001

Vantage Points



1) View from North Spruce Ave



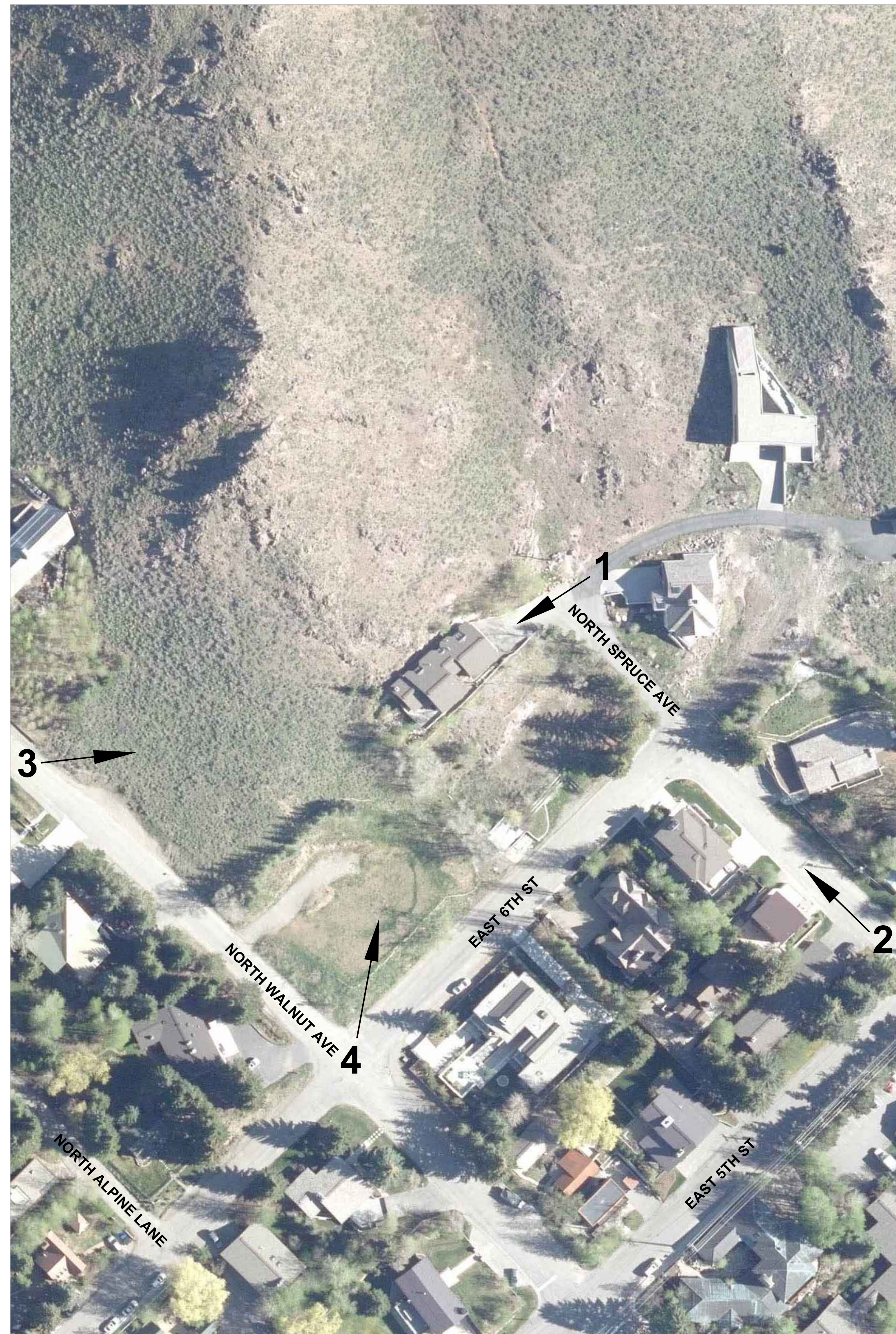
2) View from Intersection of North Spruce Ave & East 5th St



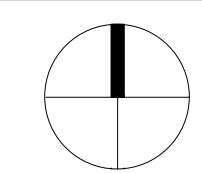
3) View from North Walnut Ave



4) View from intersection of North Walnut Ave & East 6th St



Neighborhood Aerial



Residence

691 North Spruce Ave. & 671 East Sixth St.
Ketchum, ID 83340

Architect
Roger Ferris + Partners
11 Wilton Road • Westport, Connecticut 06880
tel. 203.222.4848 • www.ferrisarch.com

Civil Engineer/Surveyor
Galena Engineering
317 N. River Street • Hailey, ID 83333
tel. 208.788.1705 • www.galena-engineering.com

Landscape Architect
BYLA Landscape Architects
323 Lewis Street, Suite N • Ketchum, ID 83340
tel. 208.726.5907 • www.byla.us

ARCHITECT'S SEAL

KEY PLAN

PROJECT PHASE - PERMITTING

REVISIONS

NO.	DESCRIPTION	DATE	ISSUED TO
1	M.O.D.R. PRE-APP.	AUGUST 06, 2021	CITY

SHEET NAME

VANTAGE POINTS

PROJECT NUMBER: 21-002
DATE: JULY 14, 2021
SCALE: N/A

EX002

Existing Site Photos



1) View at back of existing house



2) View from driveway



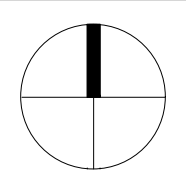
3) View from 671 East 6th St



4) View from 671 East 6th St



Neighborhood Aerial



Residence

691 North Spruce Ave. & 671 East Sixth St.
Ketchum, ID 83340

Architect
Roger Ferris + Partners
11 Wilton Road • Westport, Connecticut 06880
tel. 203.222.4848 • www.ferrisarch.com

Civil Engineer/Surveyor
Galena Engineering
317 N. River Street • Hailey, ID 83333
tel. 208.788.1705 • www.galena-engineering.com

Landscape Architect
BYLA Landscape Architects
323 Lewis Street, Suite N • Ketchum, ID 83340
tel. 208.726.5907 • www.byla.us

ARCHITECT'S SEAL

KEY PLAN

PROJECT PHASE - PERMITTING

REVISIONS

NO.	DESCRIPTION	DATE	ISSUED TO
1	M.O.D.R. PRE-APP.	AUGUST 06, 2021	CITY

SHEET NAME

EXISTING SITE PHOTOS

PROJECT NUMBER: 21-002
DATE: JULY 14, 2021
SCALE: N/A

EX003

KETCHUM : BLOCK 91 : REPLAT OF LOTS 5 & 6

Within: NW1/4 SEC. 18, T4N, R18E, B.M.
ORIGINAL TOWNSITE OF KETCHUM, BLAINE COUNTY, IDAHO

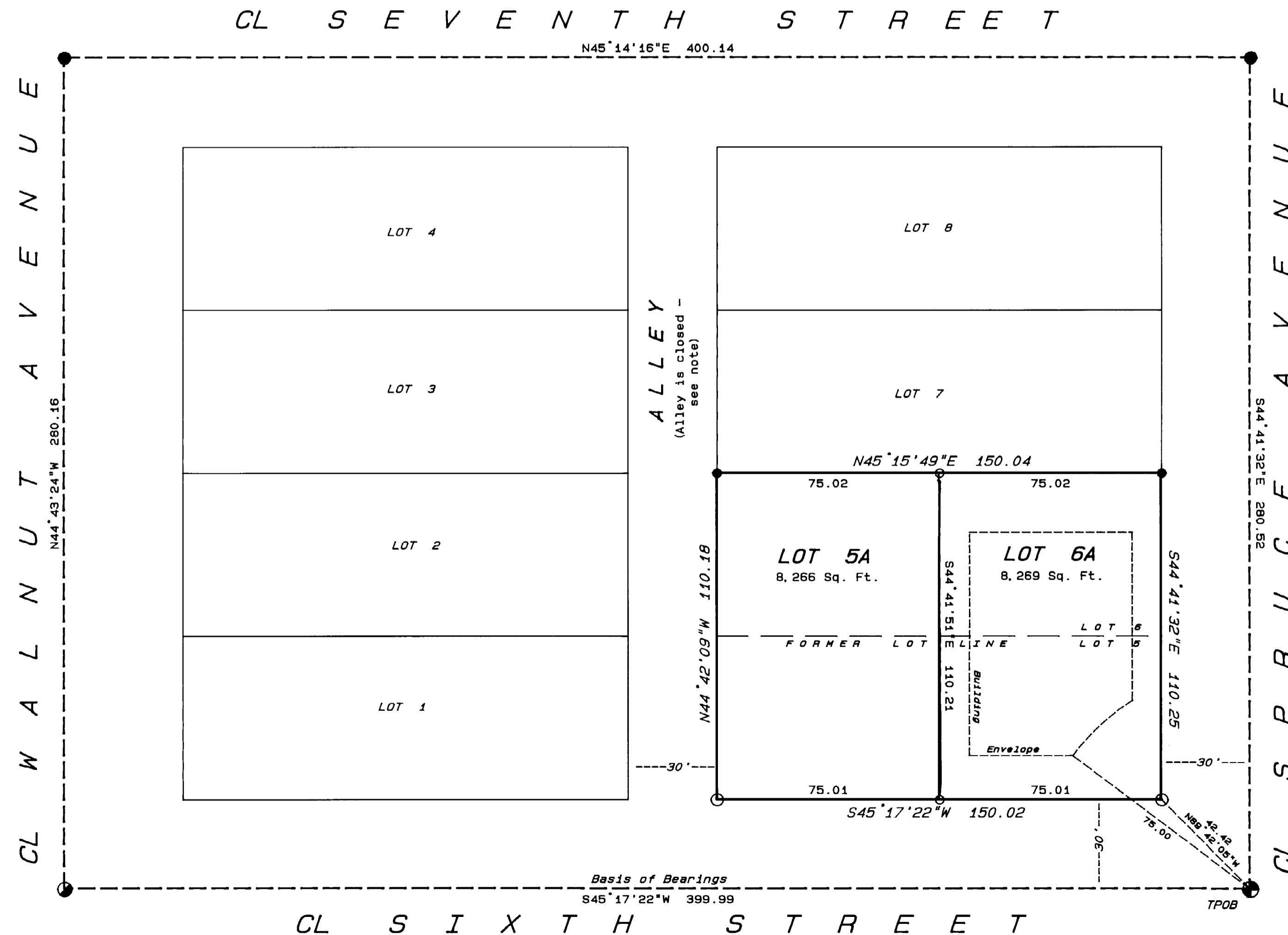
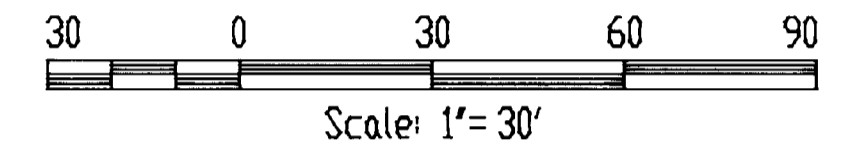
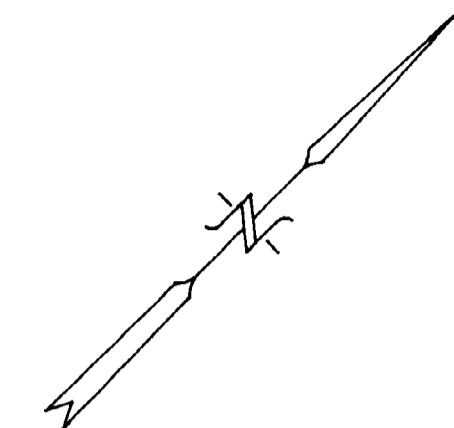
AUGUST 1994

A lot line shift within said Lots 5 and 6

LEGEND

- Found 1/2" diam. rebar
- Set 1/2" x 24" rebar w/cap
- Found 5/8" diam. rebar
- Set 5/8" x 30" Rebar w/cap
- ⊕ Brass Cap
- ⊙ Aluminum Cap

NOTE: The alley within Block 91 was closed by Ordinance No. 173, recorded under Instrument No. 197670



NOTES

- 1) Driveway access to Lot 5A and Lot 6A shall be from 6th Street.
- 2) The building envelope on Lot 6A defines minimum setbacks only.

[Handwritten Signature]
3345
9/7/94

HEALTH CERTIFICATE

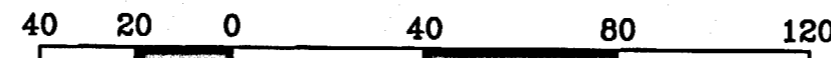
Sanitary restrictions as required by Idaho Code Title 50, Chapter 13, have been satisfied. Sanitary restrictions may be reimposed, in accordance with Idaho Code Title 50, Chapter 13, Section 50-1326, by the issuance of a certificate of disapproval.

Dated: 9-8-94
Robert W. Enilson
South Central District Health Dept., EHS

RECORD OF SURVEY SHOWING LOTS 7 & 8, BLOCK 91, KETCHUM TOWNSITE

LOCATED WITHIN
SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO

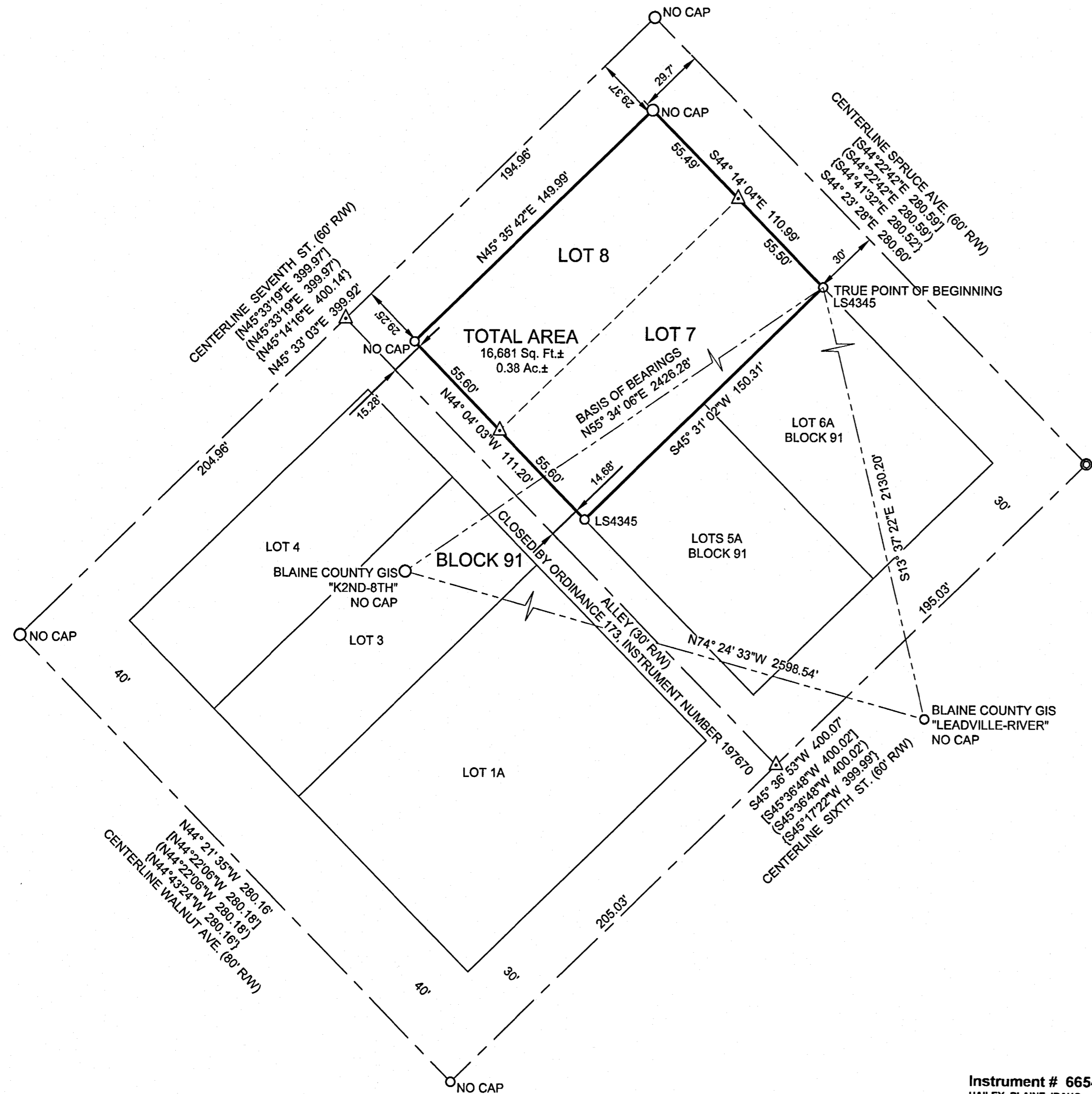
DECEMBER 2019



SCALE IN FEET



SCALE: 1" = 40'



LEGEND

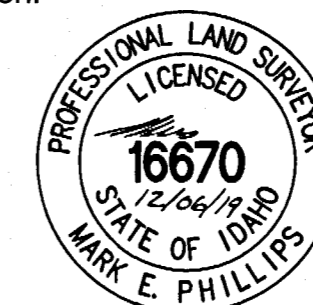
- Property Line
- Adjoiner's Lot Line
- - - Centerline Right of Way
- - - Interior Lot Line
- - - GIS Tie Line
- Found Survey Marker
- Found 5/8" Rebar
- Found 1/2" Rebar
- △ Calculated Point (Nothing Set)
- [] Record Bearing & Distance, Ketchum Townsite: Block 91: Lot 1A, Instrument Number 652564
- () Record Bearing & Distance, Ketchum Townsite Block 91 Lots 1 & 2, Instrument Number 626556
- { } Record Bearing & Distance, Ketchum: Block 91: Replat of Lots 5 & 6, Instrument Number 370366

SURVEY NARRATIVE & NOTES

- The purpose of this survey is to show the monuments found during the boundary retracement of Lots 7 & 8, Block 91, Ketchum Townsite, Instrument Number 302967, records of Blaine County, Idaho. All found monuments have been accepted. Additional Documents used in the course of this survey are shown in the Legend, with any common lines referenced.
- This survey does not purport to reflect any of the following which may be applicable to subject real property: natural hazards, encroachments, wetlands, easements, building setbacks, restrictive covenants, subdivision restrictions, zoning or any other land-use regulations.
- Galena Engineering Inc. has not received a Title Policy from the client and has not been requested to obtain one. Relevant information that may be contained within a Title Policy may therefore not appear on this map and may affect items shown hereon. It is the responsibility of the client to determine the significance of the Title Policy information and determine whether it should be included. If the client desires this information to be included they must furnish said information to Galena Engineering, Inc. and request it be added to this map.

CERTIFICATE OF SURVEYOR

I hereby certify that I am a Registered Land Surveyor in the State of Idaho and that this map is a true and accurate representation of a survey done under my direct supervision.



MARK E. PHILLIPS, P.L.S. 16670

Instrument # 665488
HAILEY, BLAINE, IDAHO
12-6-2019 01:51:09 PM No. of Pages: 1
Recorded for: GALENA ENGINEERING
JOLYNN DRAGE Fee: 5.00
Ex-Officio Recorder Deputy
Index to: SURVEYS

RECORD OF SURVEY SHOWING
LOTS 7 & 8, BLOCK 91, KETCHUM
TOWNSITE

GALENA ENGINEERING, INC.
HAILEY, IDAHO

SHEET 1 OF 1
Job No. 7812

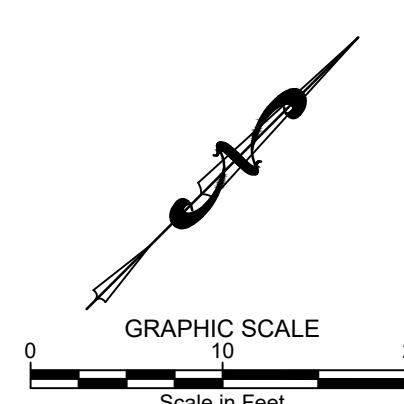
REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any project or extension of this project without the written consent of Galena Engineering, Inc.



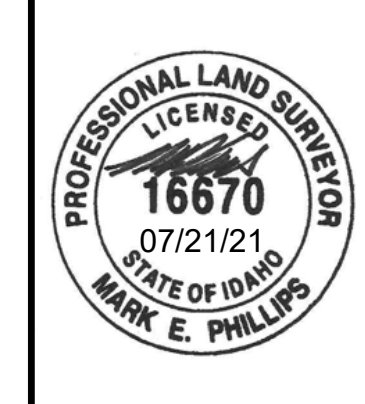
LEGEND

- Property Line
- Adjoner's Lot Line
- Centerline
- Interior Lot Line
- Building Envelope
- BE
- FNDGEAR / FDSM = Found Gear Survey Marker
- FDS/8 = Found 5/8" Rebar
- FD1/2 = Found 1/2" Rebar
- CP / CNTRL = Survey Control
- Calculated Point, not set
- 5' Contour Interval
- 1' Contour Interval
- FL = Flow Line
- Building
- Above Ground Deck
- Partial Roof Lines
- Edge of Asphalt
- Concrete
- Flat Stone Pavers
- Pavers
- RTW = Concrete/Block Retaining Wall
- Drystack or Railroad Tie Retaining Wall
- Rock Face / Outcropping
- 25% Slope Line
- Aspen Grove
- CT = Conifer Tree
- DT = Deciduous Tree
- Landscape Steps
- GMTR = Gas Meter
- GMKR = Gas Marker
- PHBOX = Telephone Riser
- Overhead Power Line
- PBOX = Power Box
- PP = Power Pole
- GUY = Guywire
- Sewer Main
- SS = Sewer Service
- Sewer Manhole
- CB = Catch Basin
- Water Main
- WS = Water Service
- AP = Angle Point
- BEG = Beginning
- BOV = Back of Walk
- CHP = Corrugated Metal Pipe
- EOA = Edge of Asphalt
- EOC = Edge of Concrete
- EOP = Edge of Pavers
- EOPT = Edge of Flat Stone
- FF = Finished Floor
- GB = Grade Break
- GFF = Garage Finished Floor
- INT = Intersection
- NO = No Cap
- NG = Natural Ground
- PVC = Polyvinyl Chloride Pipe
- RP = Reference Point
- RR TIE = Railroad Tie
- TA = Top of Asphalt
- THRESH = Threshold of Door
- TOE = Toe of Slope
- TOP = Top of Slope
- TW = Top of Wall
- WTR TOP = Top of Water Fall

- NOTES**
- The purpose of this map is to show topographical information as it existed on the date the field survey was performed. Changes may have occurred to site conditions since survey date (691 N. Spruce Ave.; 11/20/2019 & 671 E. 6th St.; 08/06/2020).
 - Boundary information is based on Found Monumentation.
 - Underground utilities were not located. Water and sewer services shown herein are per the City of Ketchum utility maps. Utilities should be located prior to any excavation.
 - Galena Engineering Inc. has not received a Title Policy from the client and has not been requested to obtain one. Relevant information that may be contained within a Title Policy may therefore not appear on this map and may affect items shown herein. It is the responsibility of the client to determine the significance of the Title Policy information and determine whether it should be included. If the client desires for the information to be included they must furnish said information to Galena Engineering, Inc. and request it be added to this map.
 - Benchmark is top of found 1/2" rebar located at the common property corner of 691 N. Spruce Ave. and 671 E. 6th St. along Spruce Ave., elevation = 5934.10. Vertical Datum is NAVD 1988.
 - This Lot is within the Mountain Overlay Zoning District. Please Refer to Ketchum Zoning Ordinance 17.104 for use conditions and restrictions.



EXISTING SITE CONDITIONS
671 E 6TH ST & 691 NORTH SPRUCE
 LOCATED WITHIN SECTION 15, T.2 N., R.18 E., B.M. CITY OF HAILEY, BLAINE COUNTY, IDAHO
 PREPARED FOR 891 NORTH SPRUCE LLC



DESIGNED BY
 CT
 DRAWN BY
 SMF/MEP
 CHECKED BY

GALENA
 ENGINEERING, INC.
 Civil Engineers & Land Surveyors
 317 N. River Street
 Hailey, Idaho 83433
 email: galena@galena-engineering.com

PURPOSE: TOPOGRAPHIC MAP (11/11/20)

NO	DATE	BY	REVISIONS
1	07/20/21	SMF	ADDITIONAL TOPO

C1.0

REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any project or extension of this project without the written consent of Galena Engineering, Inc.

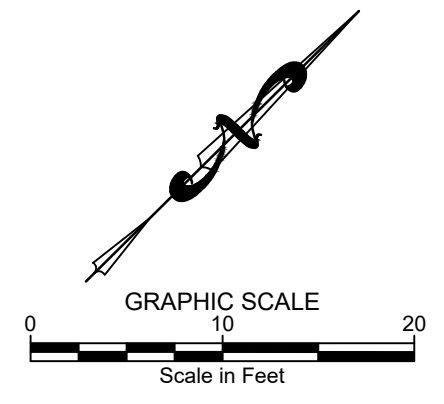
LEGEND

EXISTING ITEMS

- Property Line
- Adjoiner's Lot Line
- Centerline
- FNDGEAR / FDSM = Found Gear Survey Marker
- FDS#B = Found 5/8" Rebar
- FD12 = Found 1/2" Rebar
- Calculated Point, not set
- 5' Contour Interval
- 1' Contour Interval
- Flow Line
- Asphalt
- Aspen Grove
- Conifer Tree
- Deciduous Tree
- Gas Meter
- Gas Marker
- Telephone Riser
- Overhead Power Line
- Power Box
- Power Pole
- Courette
- Sewer Main
- Sewer Service
- Sewer Manhole
- Catch Basin
- Culvert
- Water Main
- Water Service

PROPOSED ITEMS

- 5' Contour Interval
- 1' Contour Interval
- Flow Line
- Asphalt
- Gravel
- Landscape Drywell
- Trench Drain
- 6" Storm Drain
- Landscape Boulders
- All Weather Surface
- Spot Elevations
- Proposed Grade
- Air Conditioning Unit
- Generator
- 25% Slope Line



PROPOSED SITE PLAN
671 E 6TH ST & 691 NORTH SPRUCE
 LOCATED WITHIN SECTION 15, T.2 N., R.18 E., B.M. CITY OF HALEY, BLAINE COUNTY, IDAHO
 PREPARED FOR ROGER FERRIS & PARTNERS
 PROJECT INFORMATION
 PROJECT NO: 2023-001
 DATE: 08/03/24 11:30 AM



DESIGNED BY
 CT
 DRAWN BY
 SMF/MEP
 CHECKED BY

GALENA
 ENGINEERING, INC.
 Civil Engineers & Land Surveyors
 317 N. River Street
 Haley, Idaho 83433
 email: galena@galena-engineering.com

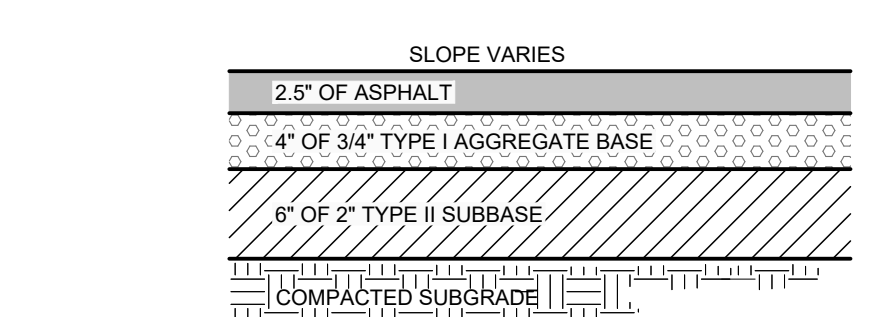
PURPOSE:	NO.	DATE	BY	REVISIONS

C1.1

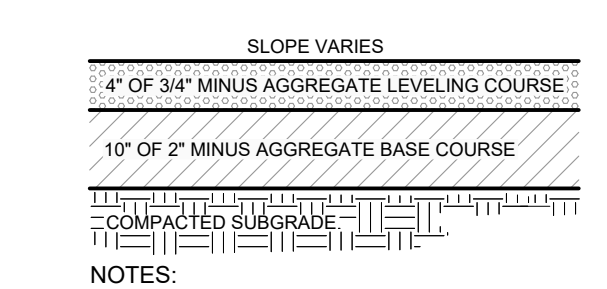
RELEASE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any project or extension of this project without the written consent of Galena Engineering, Inc.

CONSTRUCTION NOTES

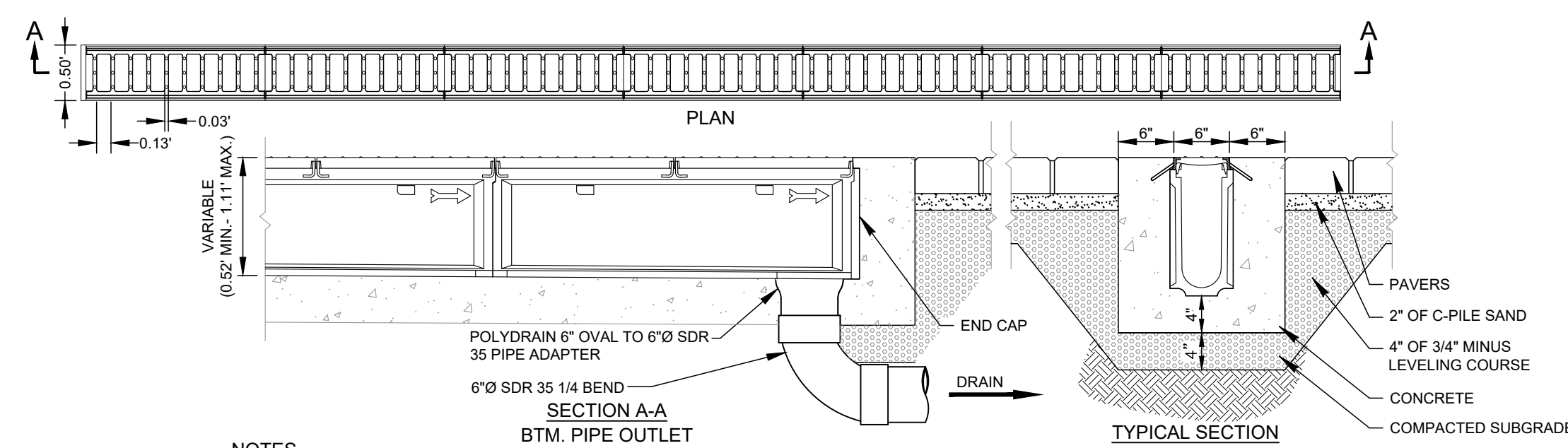
- ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISPMC) AND CITY OF KETCHUM STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ISPMC AND CITY OF KETCHUM STANDARDS ON SITE DURING CONSTRUCTION.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES PRIOR TO COMMENCING AND DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL CALL DIGLINE (1-800-342-1585) TO LOCATE ALL EXISTING UNDERGROUND UTILITIES A MINIMUM OF 48 HOURS IN ADVANCE OF EXCAVATION.
- CONTRACTOR SHALL COORDINATE RELOCATIONS OF DRY UTILITY FACILITIES (POWER, CABLE, PHONE, TV) WITH THE APPROPRIATE UTILITY FRANCHISE.
- THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION (THIS MAY INCLUDE ENCROACHMENT PERMITS AND NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION GENERAL PERMIT (CGP) PERMIT COVERAGE).
- ALL CLEARING & GRUBBING SHALL CONFORM TO ISPMC SECTION 201.
 - ALL EXCAVATION & EMBANKMENT SHALL CONFORM TO ISPMC SECTION 202. SUBGRADE SHALL BE EXCAVATED AND SHAPED TO LINE, GRADE, AND CROSS-SECTION SHOWN ON THE PLANS. THE SUBGRADE SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-698. THE CONTRACTOR SHALL WATER OR AERATE SUBGRADE AS NECESSARY TO OBTAIN OPTIMUM MOISTURE CONTENT. IN-LIEU OF DENSITY MEASUREMENTS, THE SUBGRADE MAY BE PROOF-ROLLED TO THE APPROVAL OF THE ENGINEER.
 - PROOF-ROLLING:** AFTER EXCAVATION TO THE SUBGRADE ELEVATION AND PRIOR TO PLACING COURSE GRAVEL, THE CONTRACTOR SHALL PROOF ROLL THE SUBGRADE WITH A 5-TON SMOOTH DRUM ROLLER, LOADED WATER TRUCK, OR LOADED DUMP TRUCK, AS ACCEPTED BY THE ENGINEER. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF UNSUITABLE SUBGRADE MATERIAL AREAS, AND/OR AREAS NOT CAPABLE OF COMPACTION ACCORDING TO THESE SPECIFICATIONS. UNSUITABLE OR DAMAGED SUBGRADE IS WHEN THE SOIL MOVES, PUMPS AND/OR DISPLACES UNDER ANY TYPE OF PRESSURE INCLUDING FOOT TRAFFIC LOADS.
 - IF, IN THE OPINION OF THE ENGINEER, THE CONTRACTOR'S OPERATIONS RESULT IN DAMAGE TO, OR PROTECTION OF, THE SUBGRADE, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, REPAIR THE DAMAGED SUBGRADE BY OVER-EXCAVATION OF UNSUITABLE MATERIAL TO FIRM SUBSOIL, LINE EXCAVATION WITH GEOTEXTILE FABRIC, AND BACKFILL WITH PIT RUN GRAVEL.
- ALL 2" MINUS GRAVEL SHALL CONFORM TO ISPMC 802, TYPE II (ITD STANDARD 703.04, 2"), SHALL BE PLACED IN CONFORMANCE WITH ISPMC SECTION 801 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99.
- ALL 3/4" MINUS CRUSHED GRAVEL SHALL CONFORM TO ISPMC 802, TYPE I (ITD STANDARD 703.04, 3/4" B), SHALL BE PLACED IN CONFORMANCE WITH ISPMC SECTION 802 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
- ALL ASPHALTIC CONCRETE PAVEMENT WORK SHALL CONFORM TO ISPMC SECTION(S) 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (13MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPMC SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPMC SECTION 805.
- ASPHALT SAWCUTS SHALL BE AS INDICATED ON THE DRAWINGS, OR 24" INCHES FROM EDGE OF EXISTING ASPHALT, IF NOT INDICATED OTHERWISE SO AS TO PROVIDE A CLEAN PAVEMENT EDGE FOR MATCHING. NO WHEEL CUTTING SHALL BE ALLOWED.
- ALL CONCRETE WORK SHALL CONFORM TO ISPMC SECTIONS 701, 703, AND 705. ALL CONCRETE SHALL BE 3,000 PSI MINIMUM, 28 DAY, AS DEFINED IN ISPMC SECTION 703, TABLE 1. IMMEDIATELY AFTER PLACEMENT PROTECT CONCRETE BY APPLYING MEMBRANE-FORMING CURING COMPOUND, TYPE 2, CLASS A PER ASTM C 309-94. APPLY CURING COMPOUND PER MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS.
- PER IDAHO CODE § 55-1613, THE CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS; ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS THAT ARE LOST OR DISTURBED BY CONSTRUCTION SHALL BE REESTABLISHED AND RE-MONUMENTED, AT THE EXPENSE OF THE AGENCY OR PERSON CAUSING THEIR LOSS OR DISTURBANCE AT THEIR ORIGINAL LOCATION OR BY SETTING OF A WITNESS CORNER OR REFERENCE POINT OR A REPLACEMENT BENCHMARK OR CONTROL POINT, BY OR UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR.



1 C1.2 TYPICAL STREET ASPHALT SECTION
N.T.S.

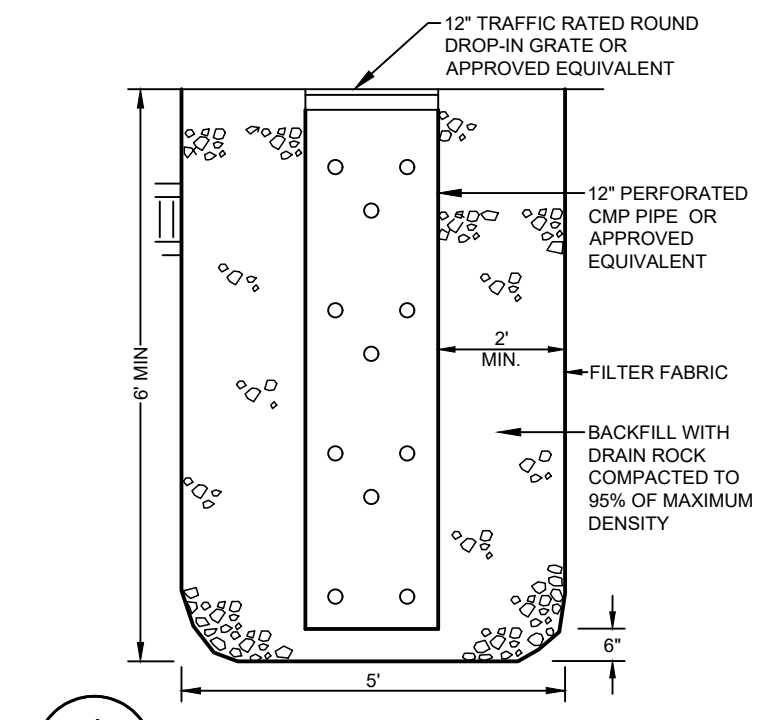


2 C1.2 TYPICAL GRAVEL SECTION
N.T.S.

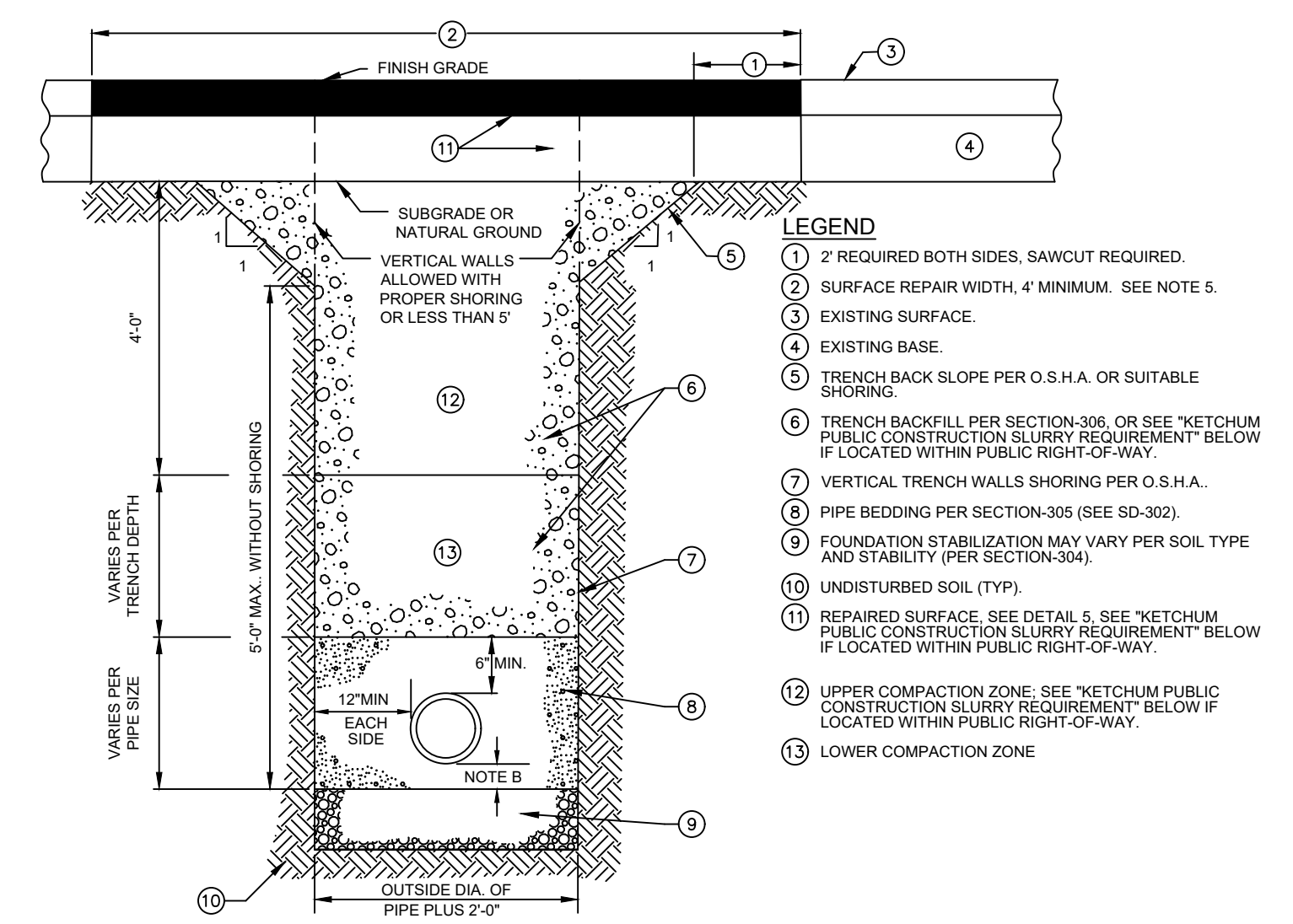


- NOTES**
- LINE DRAIN IS SUITABLE FOR APPLICATIONS FOR CONTROLLING SPREAD IN GUTTER FLOW CONDITIONS OR TO INTERCEPT SHEET FLOW. TYPICAL APPLICATION IS AT THE STREET CURB OR BARRIER.
 - THE FRAME AND GRATE IS SUITABLE FOR PEDESTRIAN AND BICYCLE TRAFFIC AND RATED FOR H-25 AND HS-25 LOADS.
 - CONCRETE THICKNESS, TYPE, AND AMOUNT OF REINFORCEMENT TO BE SAME AS ADJACENT PAVEMENT OR GREATER. PERFORM STRUCTURAL ANALYSIS TO DETERMINE REQUIREMENTS FOR APPLICATION.
 - TOP OF GRATE TO BE INSTALLED FLUSH TO 1/8 IN BELOW FINISHED GRADE. BEVEL CONCRETE TO TOP OF GRATE IF BELOW FLUSH.

3 C1.2 TRENCH DRAIN DETAIL
(ABT INTERCEPTOR LINE DRAIN OR APPROVED EQUAL)
N.T.S.



4 C1.2 LANDSCAPE DRYWELL
N.T.S.



KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT
WHENAS WHERE IT IS NECESSARY TO CUT THE ASPHALT PAVEMENT AND DIG A TRENCH FOR BURIAL OF CONDUIT CABLE OR OTHER CITY UTILITY, THE TRENCH SHALL BE BACKFILLED WITH A LEAN CONCRETE MIX TO THE BOTTOM OF FINISH SURFACE MATERIAL WITH THE FOLLOWING PROPORTIONS OF MATERIALS:

COARSE AGGREGATE (3/4\"/>	2,600 LBS
SAND	600 LBS
PORTLAND CEMENT	94 LBS
WATER	11 GAL (MAX)

WATER CONTENT IS MAXIMUM AND MAY BE REDUCED DOWNWARD. CARE SHALL BE TAKEN TO ASSURE THAT EXCESS WATER IS NOT PRESENT IN THE MIXING DRUM PRIOR TO CHARGING THE MIXER WITH MATERIALS. THOROUGH MIXING WILL BE REQUIRED PRIOR TO DISCHARGE.

NO COMPACTION, VIBRATION, OR FINISHING IS REQUIRED. THE LEAN CONCRETE MIX SHALL BE STRUCK OFF AT OR BELOW THE ELEVATION OF THE PLANT MIX SURFACING WITH A SQUARE-NOSE SHOVEL OR SIMILAR HAND TOOL. THE BACKFILL MIX SHALL BE ALLOWED TO SET FOR A MINIMUM OF 3 HOURS BEFORE THE PERMANENT PLANT MIX SURFACING IS PLACED TO COMPLETE THE TRENCH REPAIR. TEMPORARY PLACEMENT OF ASPHALT COLD MIX SURFACING MAY BE NECESSARY TO ACCOMMODATE TRAFFIC WITHIN THE FIRST 2 HOURS OF BACKFILL PLACEMENT PRIOR TO COMPLETING THE PERMANENT REPAIR.

NOTES:

- TRENCH EXCAVATION PER SECTION-301.
- PIPE BEDDING PER SECTION-305.
- BACKFILL AND COMPACTION PER SECTION-306.
- SURFACE REPAIR AND BASE PER DETAIL 3.
- ASPHALT PAVEMENT FOR SURFACE REPAIR SHALL BE IN ACCORDANCE WITH PLANS AND ISPMC SECTIONS 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (13MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPMC SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPMC SECTION 805.
- IF TRENCH IMPACTS CROWN OF ROADWAY, CROWN MUST BE MAINTAINED AND POSITIVE DRAINAGE PROVIDED.

5 C1.2 TYPICAL TRENCH
N.T.S.

NOTES AND DETAIL SHEET
671 E 6TH ST & 691 NORTH SPRUCE
LOCATED WITHIN SECTION 15, T2 N, R.18 E, B.M. CITY OF HALLEY, BLAINE COUNTY, IDAHO
PREPARED FOR ROGER FERRIS & PARTNERS



DESIGNED BY: CT
DRAWN BY: SMF/MEP
CHECKED BY:

GALENA ENGINEERING, INC.
Civil Engineers & Land Surveyors
317 N. River Street
Halley, Idaho 83333
email: galena@galena-engineering.com

NO.	DATE	BY	REVISIONS

PURPOSE: C1.2

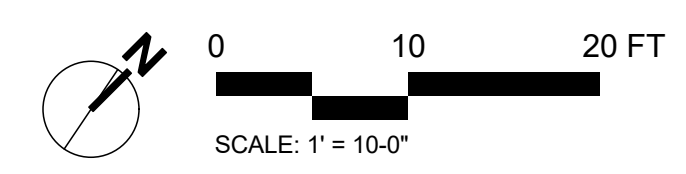
LANDSCAPE PLAN
STEVENSON / GEIST RESIDENCE
 691 N. SPRUCE AVE. & 671 E. 6TH ST., KETCHUM, ID

FILENAME:	STEVENSON.vwx
PROJECT MANAGER:	XX
DRAWN BY:	XX
ISSUE DATE:	08.04.2021
PLOT DATE:	8/5/21 11:24:46

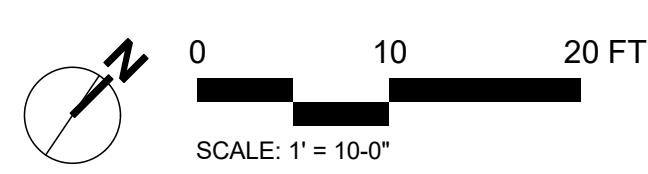
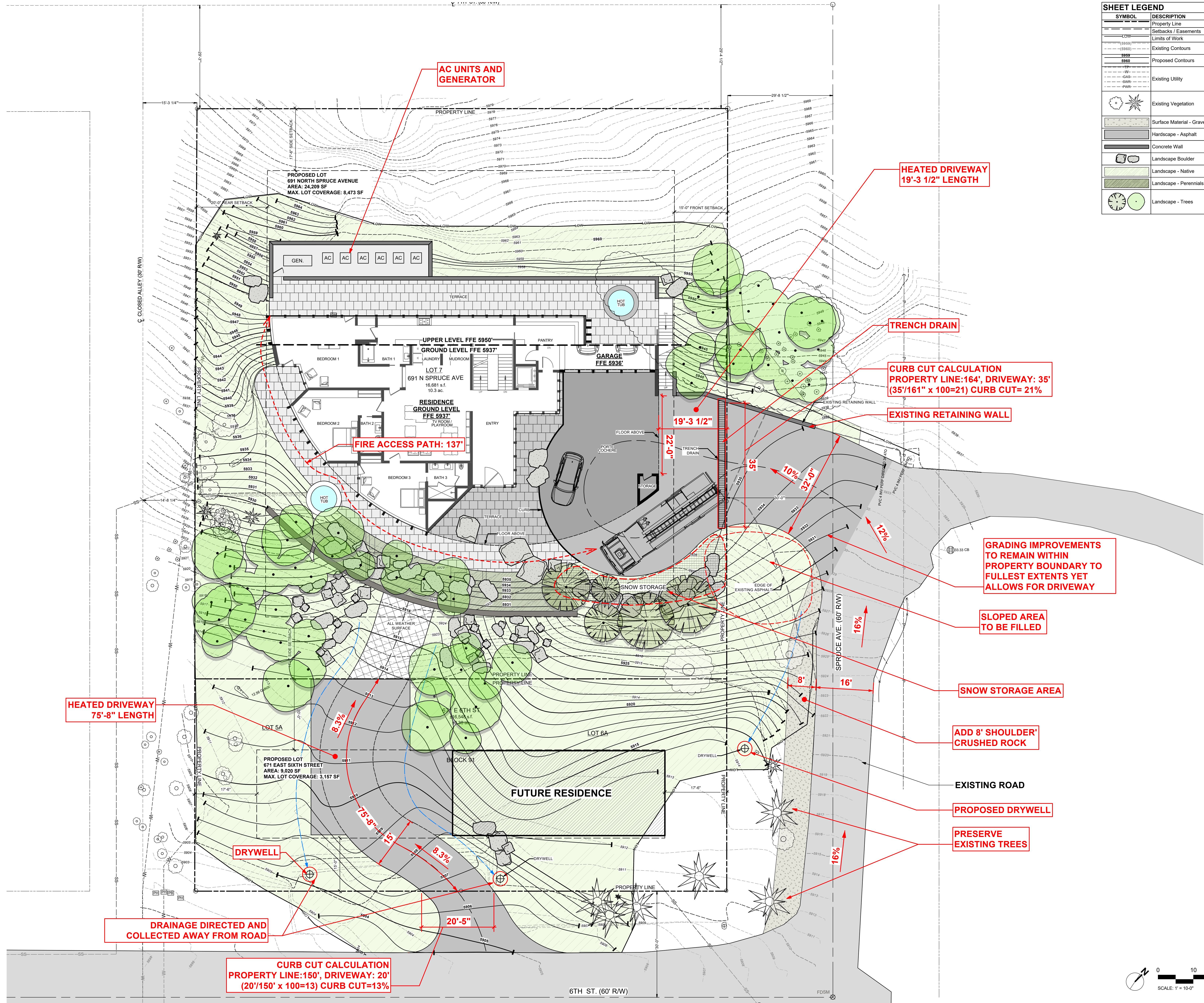
EXISTING CONDITIONS AND DEMO

SHEET NO.

L1.0



SHEET LEGEND	
SYMBOL	DESCRIPTION
	Property Line
	Setbacks / Easements
	Limits of Work
	Existing Contours
	Proposed Contours
	Existing Utility
	Existing Vegetation
	Surface Material - Gravel
	Hardscape - Asphalt
	Concrete Wall
	Landscape Boulder
	Landscape - Native
	Landscape - Perennials
	Landscape - Trees



LANDSCAPE PLAN
STEVENSON / GEIST RESIDENCE
691 N. SPRUCE AVE. & 671 E. 6TH ST., KETCHUM, ID

FILENAME: STEVENSON.vwx
PROJECT MANAGER: XX
DRAWN BY: XX
ISSUE DATE: 08.04.2021
PLOT DATE: 8/21 11:24:48

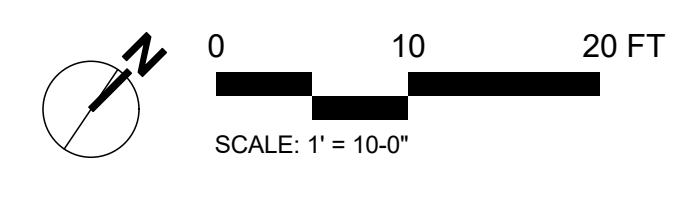
**GRADING /
DRAINAGE PLAN**

SHEET NO.

L2.0

SHEET LEGEND	
SYMBOL	DESCRIPTION
---	Property Line
---	Setbacks / Easements
---	Limits of Work
---	Existing Contours
---	Proposed Contours
---	Existing Utility
○	Existing Vegetation
■	Surface Material - Gravel
■	Hardscape - Asphalt
■	Concrete Wall
■	Landscape Boulder

GRADING + DRAINAGE LEGEND	
SYMBOL	DESCRIPTION
⊕	24" Drywell (Cast Iron): #
X.X%	% Pitch
→	Drainage Direction
---	Finished Floor Elevation
+10.50	Spot Elevation
---	Finished Grade
---	Finished Surface
TW	Top of Wall
BW	Bottom of Wall
LP	Low Point
HP	High Point



LANDSCAPE PLAN
STEVENSON / GEIST RESIDENCE
691 N. SPRUCE AVE. & 671 E. 6TH ST., KETCHUM, ID

FILENAME: STEVENSON.vwx
PROJECT MANAGER: XX
DRAWN BY: XX
ISSUE DATE: 08.04.2021
PLOT DATE: 8/21 11:24:48

LANDSCAPE / LIGHTING PLAN

SHEET NO.

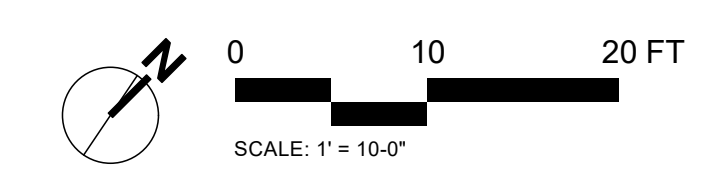
L3.0

SHEET LEGEND	
SYMBOL	DESCRIPTION
---	Property Line
---	Setbacks / Easements
---	Limits of Work
---	Existing Contours
---	Proposed Contours
---	Existing Utility
---	Existing Vegetation
---	Surface Material - Gravel
---	Hardscape - Asphalt
---	Concrete Wall
---	Lighting Fixture - Path Light
---	Lighting Fixture - Wall Light
---	Landscape Boulder
---	Landscape - Native
---	Landscape - Lawn
---	Landscape - Perennials
---	Landscape - Trees

IRRIGATION SCHEDULE	
AREA DESCRIPTION	IRRIGATION TYPE
Trees + Shrubs	Buried Drip Irrigation
Perennial Beds	Overhead Irrigation
Native Re-Veg	Temporary Overhead

IRRIGATION CALCULATIONS	
AREA DESCRIPTION	SF OF IRRIGATION
Trees + Shrubs	+/- 5,000 SF
Native Re-Veg	+/- 19,000 SF (TEMP.)
Total (w/ Temp. Native)	+/- 24,000 SF = 0.55 AC
Total (Long Term)	+/- 5,000 SF = 0.11 AC

PLANT SCHEDULE				
TREES				
ABBV	QTY.	SIZE	BOTANICAL NAME	COMMON NAME
PT	58	2'-3" CAL	Populus tremuloides	Quaking Aspen
SA	5	10'-16"	Abies balsamea	Rocky Mountain Fir, Subalpine Fir
PERENNIAL SHRUBS				
QTY.	BOTANICAL NAME	COMMON NAME		
1,000 sq. ft.		Perennial Shrubs		
PERENNIAL GRASSES				
QTY.	BOTANICAL NAME	COMMON NAME		
19,000 sq. ft.		Native Grasses Re-Veg		



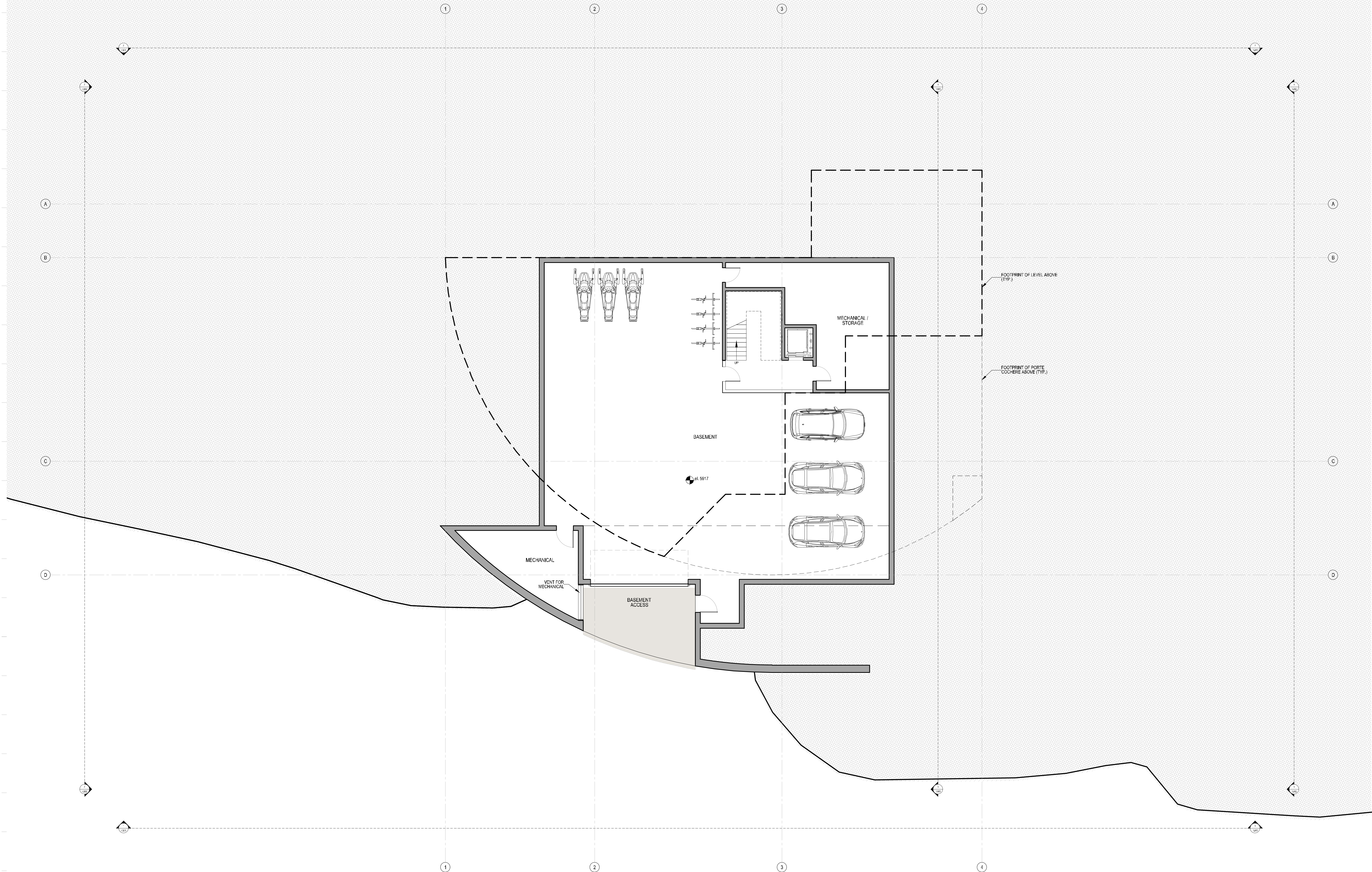
Residence

691 North Spruce Ave. & 671 East Sixth St.
Ketchum, ID 83340

Architect
Roger Ferris + Partners
11 Wilton Road • Westport, Connecticut 06880
tel. 203.222.4948 • www.ferrisarch.com

Civil Engineer/Surveyor
Galena Engineering
317 N. River Street • Hailey, ID 83333
tel. 208.788.1705 • www.galena-engineering.com

Landscape Architect
BYLA Landscape Architects
323 Lewis Street, Suite N • Ketchum, ID 83340
tel. 208.726.5907 • www.byla.us



ARCHITECT'S SEAL

KEY PLAN

PROJECT PHASE - PERMITTING

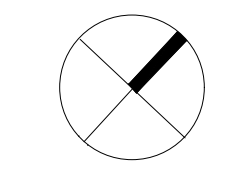
REVISIONS

NO.	DESCRIPTION	DATE	ISSUED TO
1	ISSUE FOR CIVIL	JULY 1, 2021	CIVIL
2	ISSUE FOR CIVIL	JULY 8, 2021	CIVIL/SCAPE
3	M.O.D.R. PRE-APP.	AUGUST 06, 2021	CITY

SHEET NAME
BASEMENT LEVEL PLAN

PROJECT NUMBER: 21-002
DATE: JUNE 30, 2021
SCALE: AS NOTED

1 Basement Level Plan
1/8"=1'-0"



A101

Residence

691 North Spruce Ave. & 671 East Sixth St.
Ketchum, ID 83340

Architect
Roger Ferris + Partners
11 Wilton Road • Westport, Connecticut 06880
tel. 203.222.4948 • www.ferrisarch.com

Civil Engineer/Surveyor
Galena Engineering
317 N. River Street • Hailey, ID 83333
tel. 208.788.1705 • www.galena-engineering.com

Landscape Architect
BYLA Landscape Architects
323 Lewis Street, Suite N • Ketchum, ID 83340
tel. 208.726.5907 • www.byla.us



ARCHITECT'S SEAL

KEY PLAN

PROJECT PHASE - PERMITTING

REVISIONS

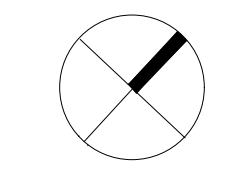
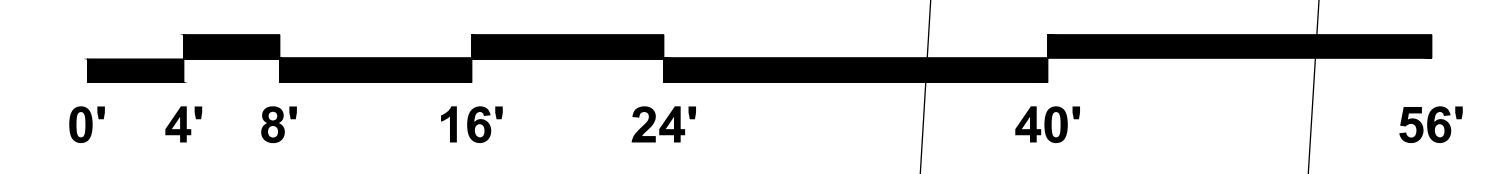
NO.	DESCRIPTION	DATE	ISSUED TO
1	ISSUE FOR CIVIL	JULY 1, 2021	CIVIL
2	ISSUE FOR CIVIL	JULY 8, 2021	CIVIL/SCAPE
3	M.O.D.R. PRE-APP.	AUGUST 06, 2021	CITY

SHEET NAME

GROUND LEVEL PLAN

PROJECT NUMBER: 21-002
DATE: JUNE 30, 2021
SCALE: AS NOTED

1 Ground Level Plan
1/8"=1'-0"



A102

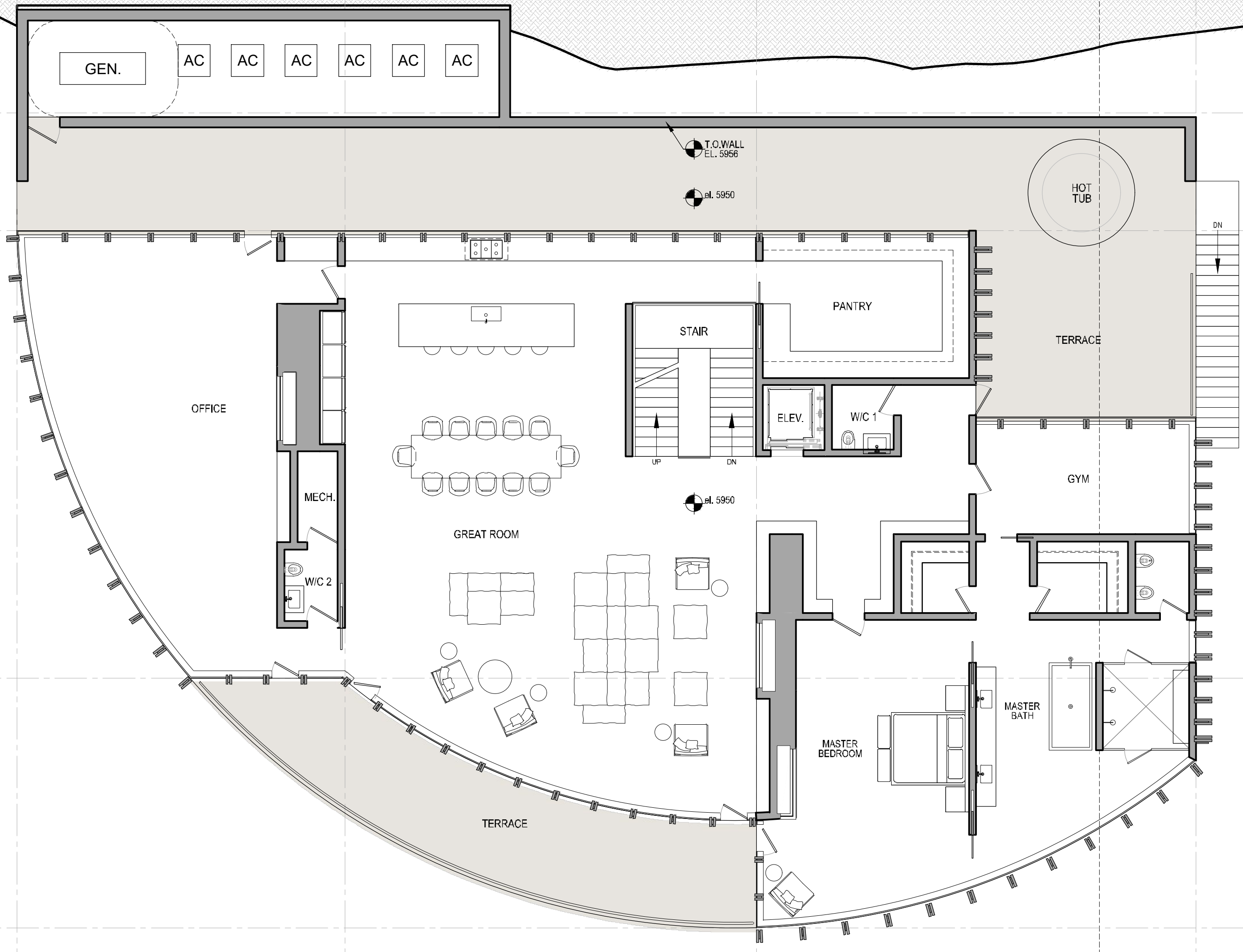
Residence

691 North Spruce Ave. & 671 East Sixth St.
Ketchum, ID 83340

Architect
Roger Ferris + Partners
11 Wilton Road • Westport, Connecticut 06880
tel. 203.222.4948 • www.ferrisarch.com

Civil Engineer/Surveyor
Galena Engineering
317 N. River Street • Hailey, ID 83333
tel. 208.788.1705 • www.galena-engineering.com

Landscape Architect
BYLA Landscape Architects
323 Lewis Street, Suite N • Ketchum, ID 83340
tel. 208.726.5907 • www.byla.us



ARCHITECT'S SEAL

KEY PLAN

PROJECT PHASE - PERMITTING

REVISIONS

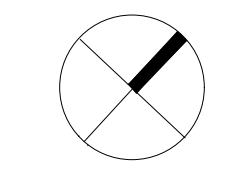
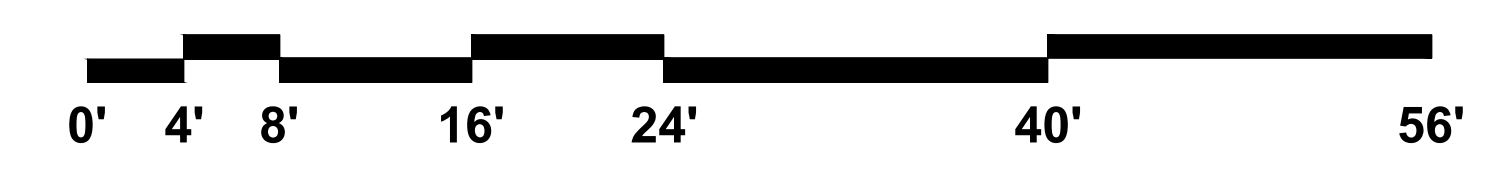
NO.	DESCRIPTION	DATE	ISSUED TO
1	ISSUE FOR CIVIL	JULY 1, 2021	CIVIL
2	ISSUE FOR CIVIL	JULY 8, 2021	CIVIL/SCAPE
3	M.O.D.R. PRE-APP.	AUGUST 06, 2021	CITY

SHEET NAME

UPPER LEVEL PLAN

PROJECT NUMBER: 21-002
DATE: JUNE 30, 2021
SCALE: AS NOTED

1 Upper Level Plan
1/8"=1'-0"



A103

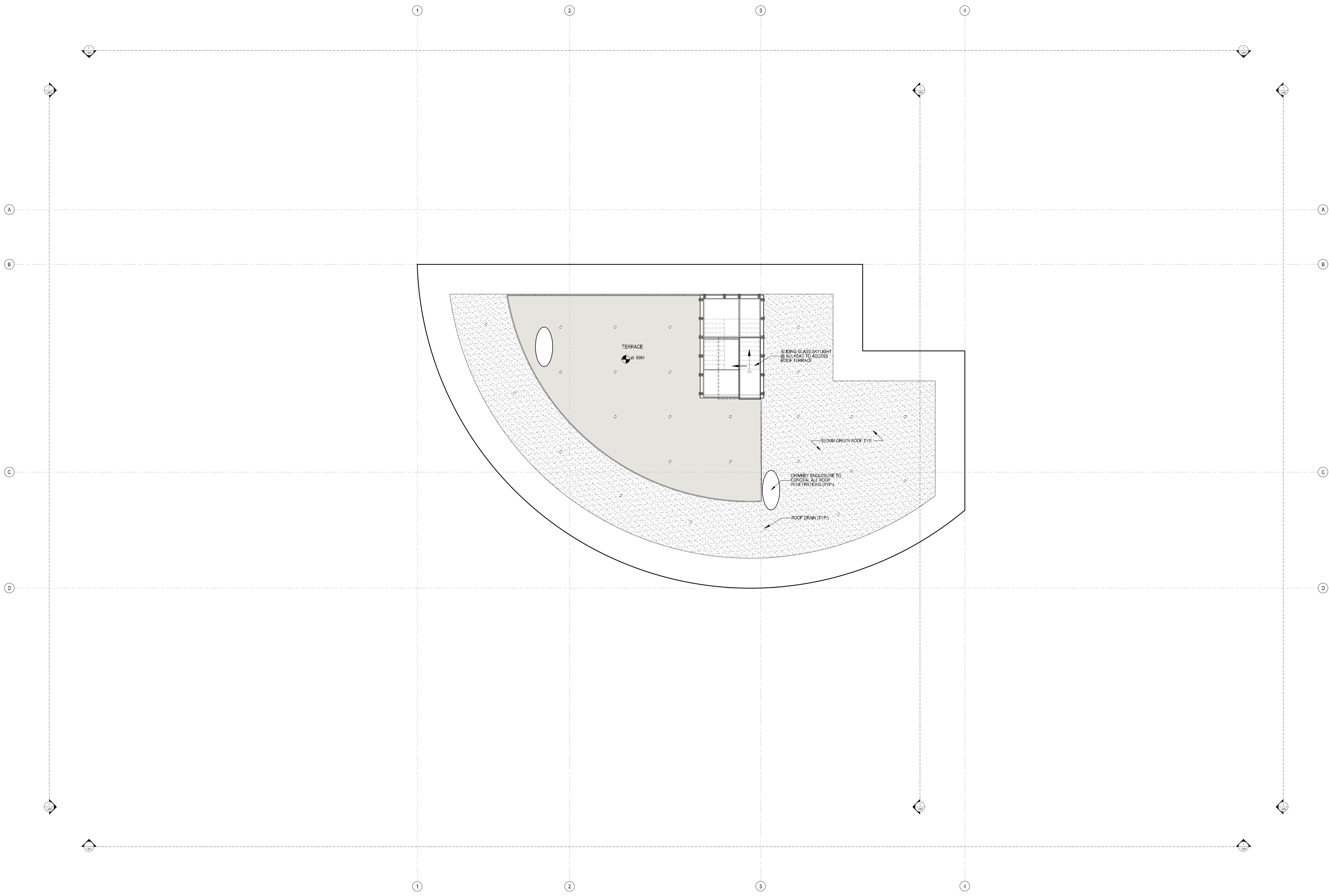
Residence

691 North Spruce Ave. & 671 East Sixth St.
Ketchum, ID 83340

Architect
Roger Ferris + Partners
11 Wilton Road • Westport, Connecticut 06880
tel. 203.222.4948 • www.ferrisarch.com

Civil Engineer/Surveyor
Galena Engineering
317 N. River Street • Halley, ID 83333
tel. 208.788.1705 • www.galena-engineering.com

Landscape Architect
BYLA Landscape Architects
323 Lewis Street, Suite N • Ketchum, ID 83340
tel. 208.726.5907 • www.byla.us



ARCHITECT'S SEAL

KEY PLAN

PROJECT PHASE - PERMITTING

REVISIONS

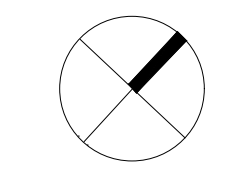
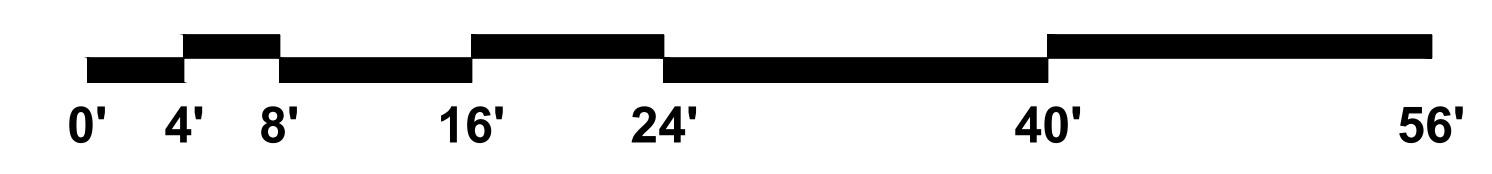
NO.	DESCRIPTION	DATE	ISSUED TO
1	ISSUE FOR CIVIL	JULY 1, 2021	CIVIL
2	ISSUE FOR CIVIL	JULY 8, 2021	CIVIL/SCAPE
3	M.O.D.R. PRE-APP.	AUGUST 06, 2021	CITY

SHEET NAME

ROOF LEVEL PLAN

PROJECT NUMBER: 21-002
DATE: JUNE 30, 2021
SCALE: AS NOTED

1 Roof Level Plan
1/8"=1'-0"



A104

Residence

691 North Spruce Ave. & 671 East Sixth St.
Ketchum, ID 83340

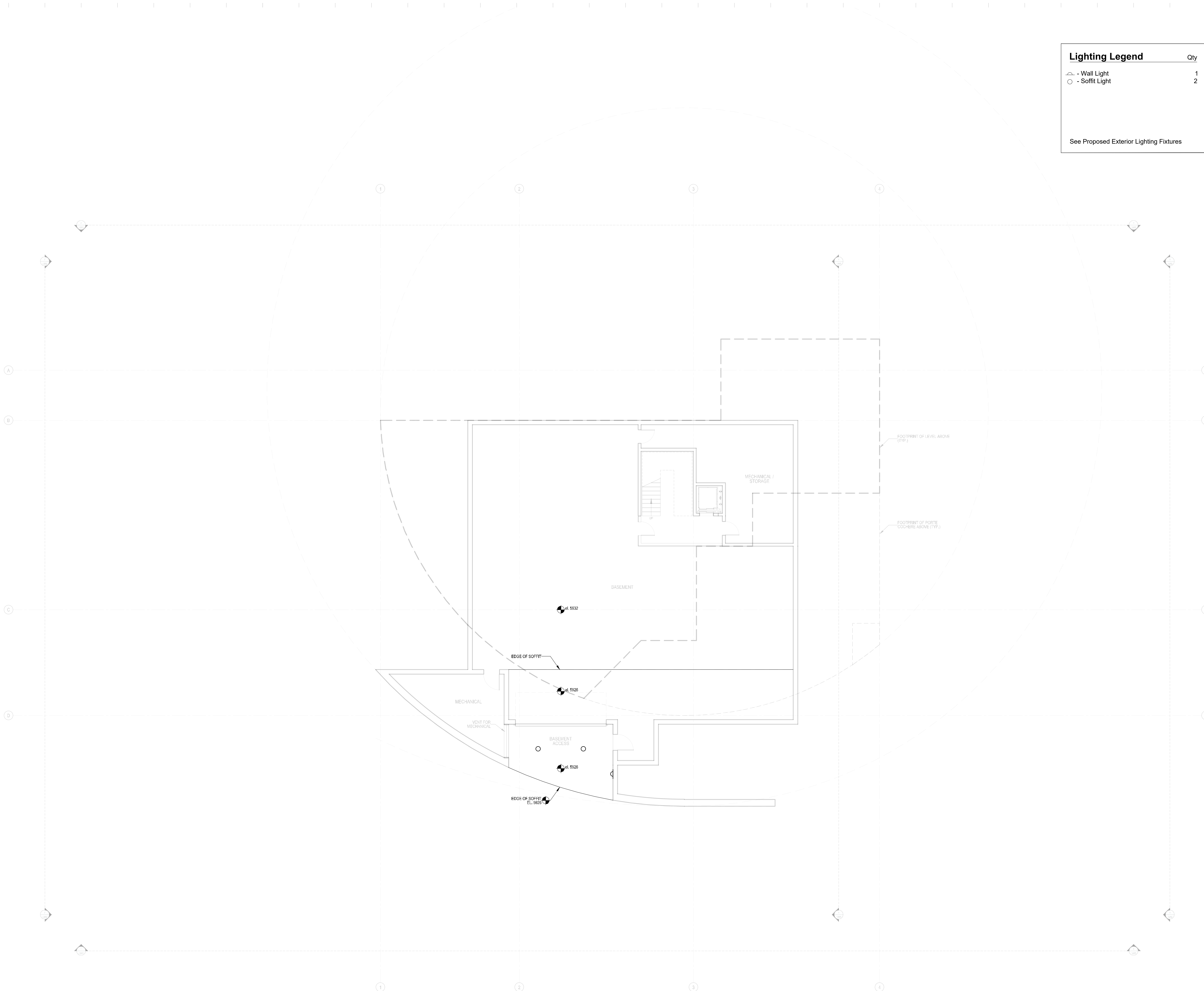
Architect
Roger Ferris + Partners
11 Wilton Road • Westport, Connecticut 06880
tel. 203.222.4948 • www.ferrisarch.com

Civil Engineer/Surveyor
Galena Engineering
317 N. River Street • Halley, ID 83333
tel. 208.788.1705 • www.galena-engineering.com

Landscape Architect
BYLA Landscape Architects
323 Lewis Street, Suite N • Ketchum, ID 83340
tel. 208.726.5907 • www.byla.us

Lighting Legend		Qty
△	- Wall Light	1
○	- Soffit Light	2

See Proposed Exterior Lighting Fixtures



ARCHITECT'S SEAL

KEY PLAN

PROJECT PHASE - PERMITTING

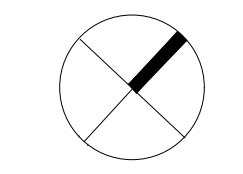
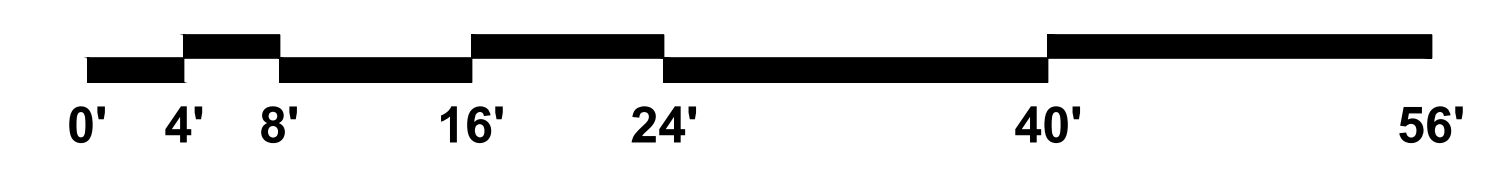
REVISIONS

NO.	DESCRIPTION	DATE	ISSUED TO
1	M.O.D.R. PRE-APP.	AUGUST 06, 2021	CITY

SHEET NAME
BASEMENT LEVEL REFLECTED CEILING PLAN

PROJECT NUMBER: 21-002
DATE: JUNE 30, 2021
SCALE: AS NOTED

1 Basement Level Reflected Ceiling Plan
1/8"=1'-0"



A111

Residence

691 North Spruce Ave. & 671 East Sixth St.
Ketchum, ID 83340

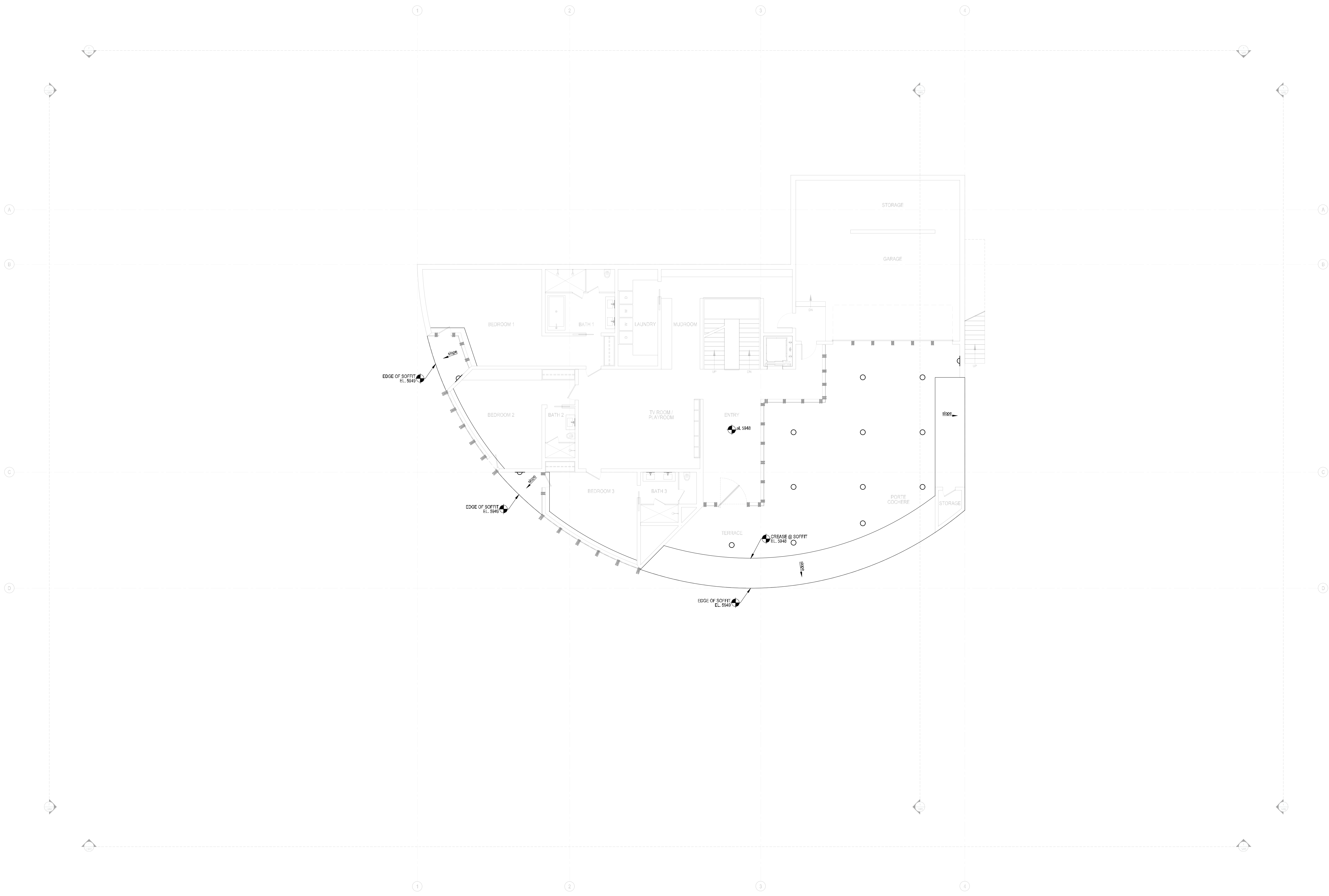
Architect
Roger Ferris + Partners
11 Wilton Road • Westport, Connecticut 06880
tel. 203.222.4948 • www.ferrisarch.com

Civil Engineer/Surveyor
Galena Engineering
317 N. River Street • Hailey, ID 83333
tel. 208.788.1705 • www.galena-engineering.com

Landscape Architect
BYLA Landscape Architects
323 Lewis Street, Suite N • Ketchum, ID 83340
tel. 208.726.5907 • www.byla.us

Lighting Legend		Qty
△	- Wall Light	3
○	- Soffit Light	11

See Proposed Exterior Lighting Fixtures



ARCHITECT'S SEAL

KEY PLAN

PROJECT PHASE - PERMITTING

REVISIONS

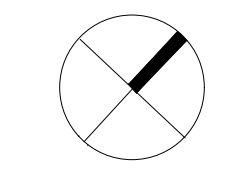
NO.	DESCRIPTION	DATE	ISSUED TO
1	M.O.D.R. PRE-APP.	AUGUST 06, 2021	CITY

SHEET NAME

GROUND LEVEL REFLECTED CEILING PLAN

PROJECT NUMBER: 21-002
DATE: JUNE 30, 2021
SCALE: AS NOTED

1 Ground Level Reflected Ceiling Plan
1/8"=1'-0"



A112

Residence

691 North Spruce Ave. & 671 East Sixth St.
Ketchum, ID 83340

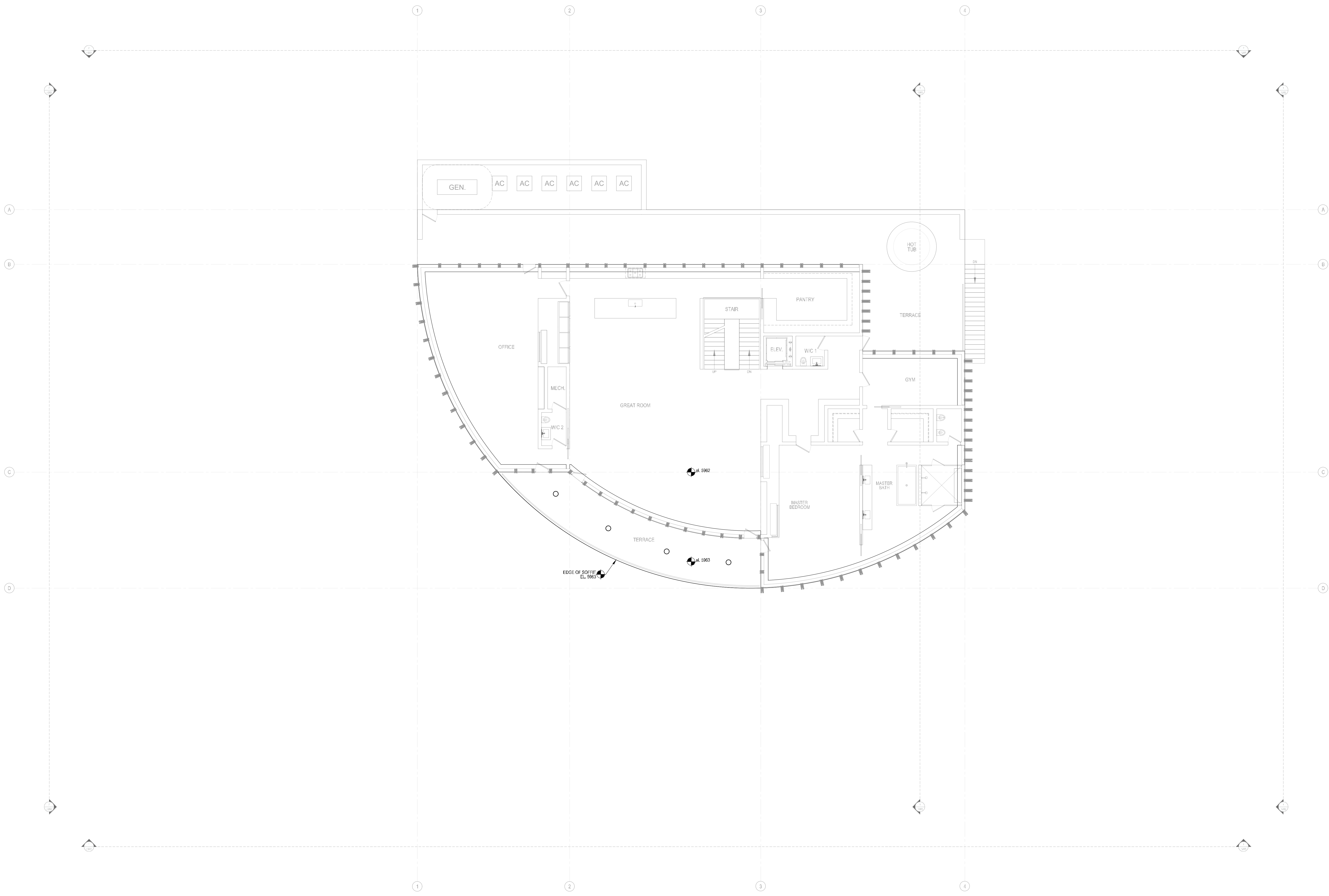
Architect
Roger Ferris + Partners
11 Wilton Road • Westport, Connecticut 06880
tel. 203.222.4948 • www.ferrisarch.com

Civil Engineer/Surveyor
Galena Engineering
317 N. River Street • Hailey, ID 83333
tel. 208.788.1705 • www.galena-engineering.com

Landscape Architect
BYLA Landscape Architects
323 Lewis Street, Suite N • Ketchum, ID 83340
tel. 208.726.5907 • www.byla.us

Lighting Legend		Qty
△	- Wall Light	0
○	- Soffit Light	4

See Proposed Exterior Lighting Fixtures



ARCHITECT'S SEAL

KEY PLAN

PROJECT PHASE - PERMITTING

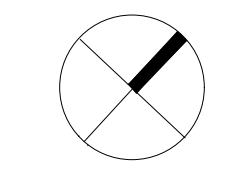
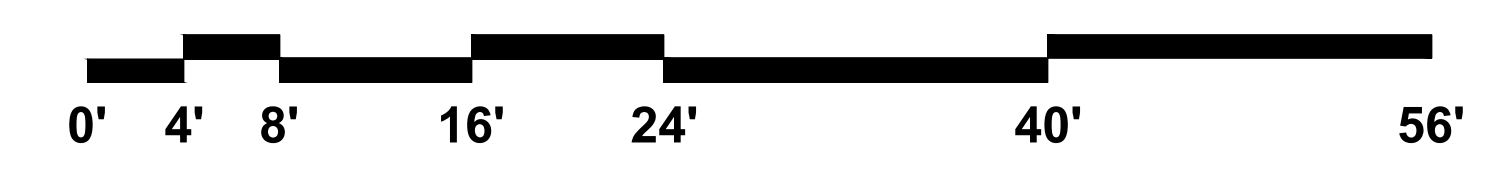
REVISIONS

NO.	DESCRIPTION	DATE	ISSUED TO
1	M.O.D.R. PRE-APP.	AUGUST 06, 2021	CITY

SHEET NAME
UPPER LEVEL REFLECTED CEILING PLAN

PROJECT NUMBER: 21-002
DATE: JUNE 30, 2021
SCALE: AS NOTED

1 Upper Level Reflected Ceiling Plan
1/8"=1'-0"



A113

Residence

691 North Spruce Ave. & 671 East Sixth St.
Ketchum, ID 83340

Architect
Roger Ferris + Partners
11 Wilton Road • Westport, Connecticut 06880
tel. 203.222.4848 • www.ferrisarch.com

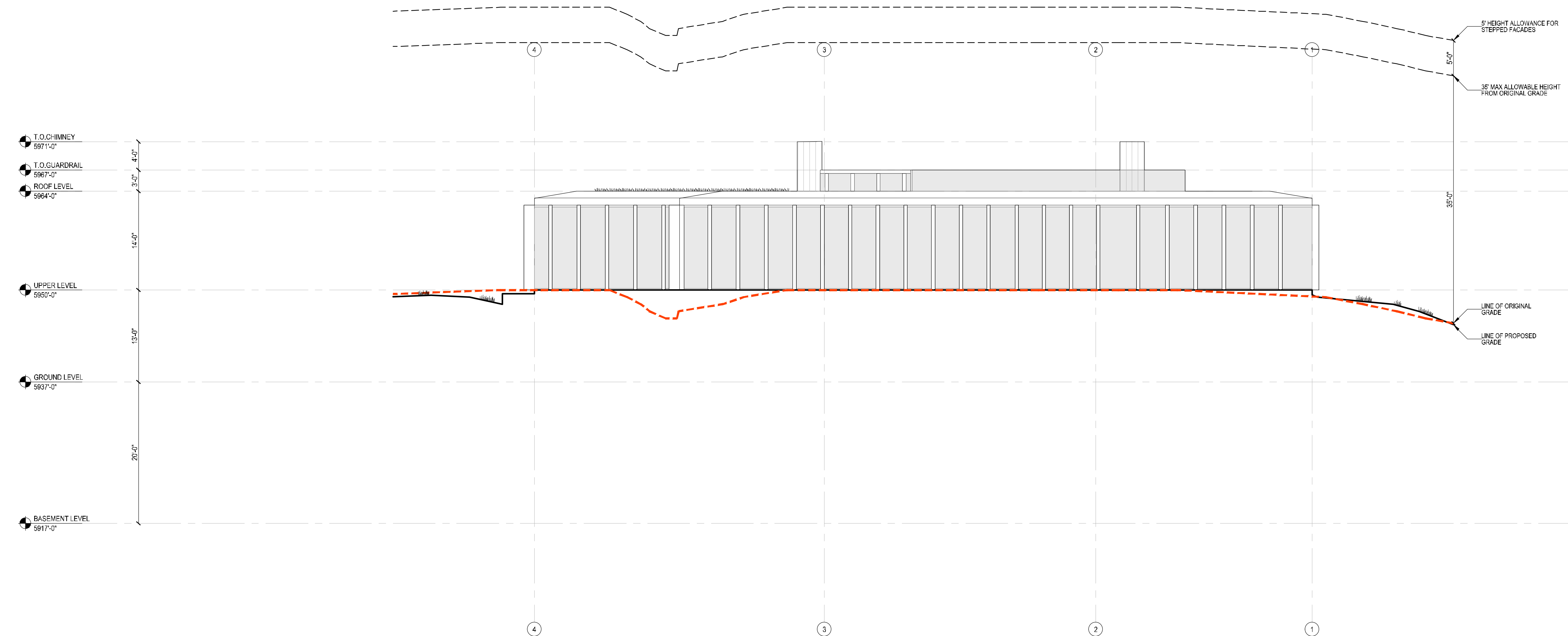
Civil Engineer/Surveyor
Galena Engineering
317 N. River Street • Hailey, ID 83333
tel. 208.788.1705 • www.galena-engineering.com

Landscape Architect
BYLA Landscape Architects
323 Lewis Street, Suite N • Ketchum, ID 83340
tel. 208.726.5307 • www.byla.us

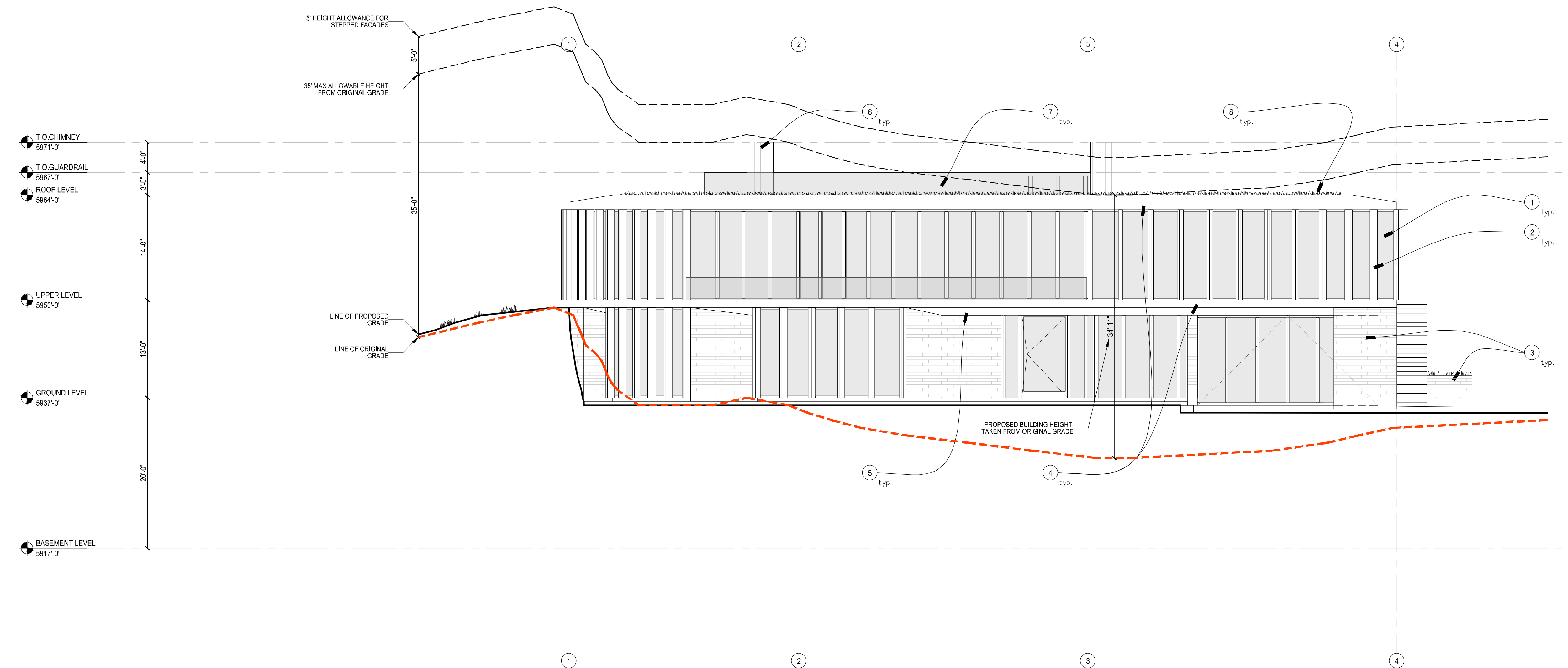
Material Legend

- 1) Wood Windows & Doors
- 2) Wood Louvers
- 3) Stone Cladding
- 4) Stone Fascias
- 5) Wood Soffits
- 6) Zinc Chimney
- 7) Glass Guardrail
- 8) Green Roof

See Proposed Material Palette



2 North Elevation
1/8"=1'-0"



1 South Elevation
1/8"=1'-0"



ARCHITECT'S SEAL

KEY PLAN

PROJECT PHASE - PERMITTING

REVISIONS

NO.	DESCRIPTION	DATE	ISSUED TO
1	M.O.D.R. PRE-APP.	AUGUST 06, 2021	CITY

SHEET NAME
ELEVATIONS

PROJECT NUMBER: 21-002
DATE: JULY 06, 2021
SCALE: AS NOTED

A201

Material Legend

- 1) Wood Windows & Doors
- 2) Wood Louvers
- 3) Stone Cladding
- 4) Stone Fascias
- 5) Wood Soffits
- 6) Zinc Chimney
- 7) Glass Guardrail
- 8) Green Roof

See Proposed Material Palette

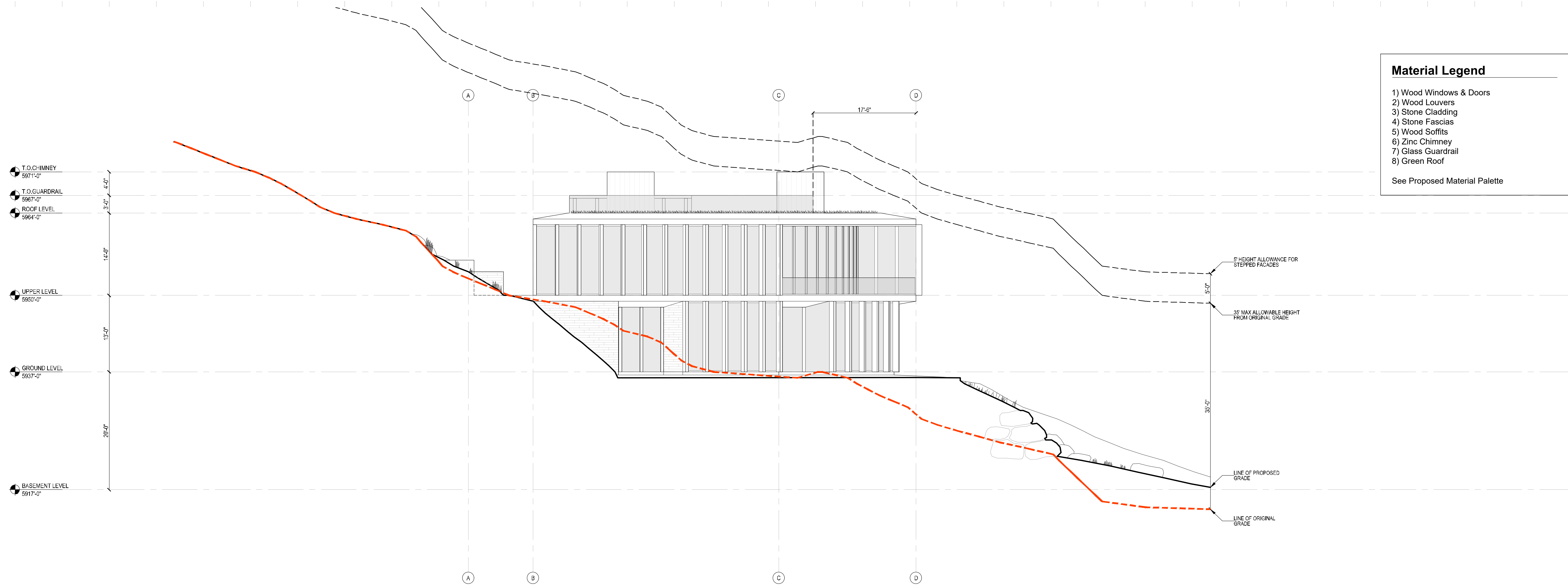
Residence

691 North Spruce Ave. & 671 East Sixth St.
Ketchum, ID 83340

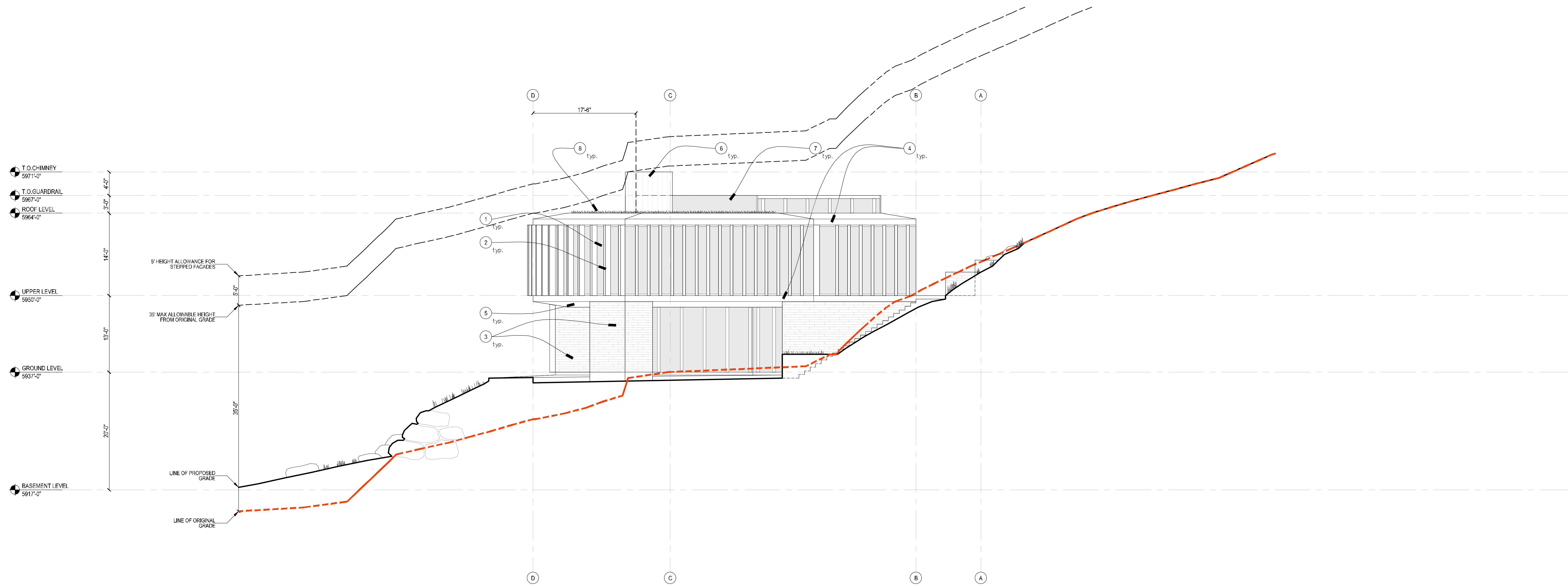
Architect
Roger Ferris + Partners
11 Wilton Road • Westport, Connecticut 06880
tel. 203.222.4848 • www.ferrisarch.com

Civil Engineer/Surveyor
Galena Engineering
317 N. River Street • Halley, ID 83333
tel. 208.788.1705 • www.galena-engineering.com

Landscape Architect
BYLA Landscape Architects
323 Lewis Street, Suite N • Ketchum, ID 83340
tel. 208.726.5907 • www.byla.us



2 West Elevation
1/8"=1'-0"



1 East Elevation
1/8"=1'-0"



ARCHITECT'S SEAL

KEY PLAN

PROJECT PHASE - PERMITTING

REVISIONS

NO.	DESCRIPTION	DATE	ISSUED TO
1	M.O.D.R. PRE-APP.	AUGUST 06, 2021	CITY

SHEET NAME

ELEVATIONS

PROJECT NUMBER: 21-002
DATE: JULY XX, 2021
SCALE: AS NOTED

A202

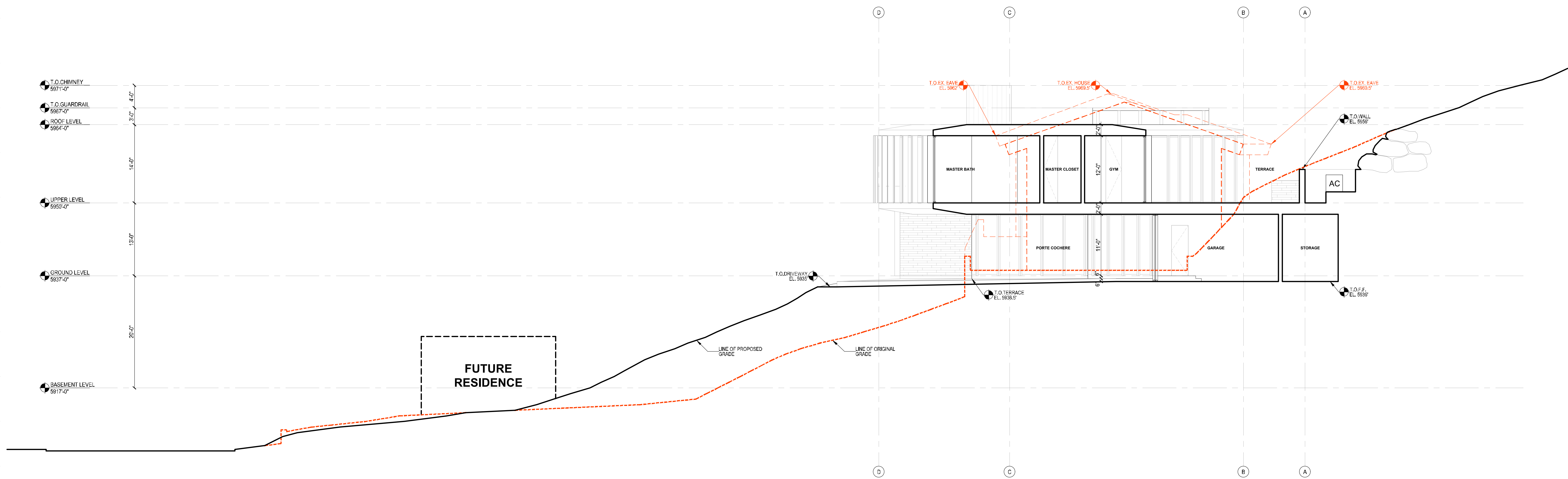
Residence

691 North Spruce Ave. & 671 East Sixth St.
Ketchum, ID 83340

Architect
Roger Ferris + Partners
11 Wilton Road • Westport, Connecticut 06880
tel. 203.222.4848 • www.ferrisarch.com

Civil Engineer/Surveyor
Galena Engineering
317 N. River Street • Hailey, ID 83333
tel. 208.788.1705 • www.galena-engineering.com

Landscape Architect
BYLA Landscape Architects
323 Lewis Street, Suite N • Ketchum, ID 83340
tel. 208.726.5307 • www.byla.us



ARCHITECT'S SEAL

KEY PLAN

PROJECT PHASE - PERMITTING

REVISIONS

NO.	DESCRIPTION	DATE	ISSUED TO
1	M.O.D.R. PRE-APP.	AUGUST 06, 2021	CITY

SHEET NAME
SITE/BUILDING SECTION

PROJECT NUMBER: 21-002
DATE: JULY 06, 2021
SCALE: AS NOTED

1 Site/Building Section
1/8"=1'-0"



A301

Proposed Exterior Lighting Fixtures

All fixtures to comply with City of Ketchum Dark Sky Ordinance - Chapter 17.132

LED recessed wall - shielded **BEGA**

Application
Designed for low mounting heights for interior and exterior locations, the shielded light distribution is ideal for the glare-free illumination of ground surfaces, building entrances, stairs, and footpaths.



Materials
Luminaire housing constructed of die-cast marine grade, copper free (±0.3% copper content) A360.0 aluminum alloy
Faceplate constructed of 316 grade machined stainless steel
White safety glass
High temperature silicone gasket
Mechanically captive stainless steel fasteners
NRTL listed to North American Standards, suitable for wet locations
Protection class IP64

Electrical
Operating voltage 120-277VAC
Minimum start temperature -20° C
LED module wattage 6.7W
System wattage 8.2W
Controllability 0-10V, TRIAC, and ELV dimmable
Color rendering index Ra > 80
Luminaire lumens 15 lumens (3000K)
Lifetime at Ta=25° C 50,000 h (L70)

LED color temperature
 4000K - Product number + **K4**
 3500K - Product number + **K35**
 3000K - Product number + **K3 (EXPRESS)**
 2700K - Product number + **K27**
BEGA can supply you with suitable LED replacement modules for up to 20 years after the purchase of LED luminaires - see website for details

Finish
#4 brushed stainless steel.
Custom colors are not available.
Stainless steel requires regular cleaning and maintenance, much like household appliances to maintain its luster and prevent tarnishing or the appearance of rust like stains.

Available Accessories
 19536 Concrete protection cover
See individual accessory spec sheet for details.

LED recessed wall - shielded			
LED	B	A	C
22136	6580	6.7W	10% 3 1/4 4

BEGA 1000 BEGA Way, Carpinteria, CA 93013 (805) 684-0533 info@bega-us.com
Due to the dynamic nature of lighting products and the associated technologies, luminaire data on this sheet is subject to change at the discretion of BEGA North America. For the most current technical data, please refer to bega-us.com
© copyright BEGA 2018 Updated 07/20/18

Lighting Fixture - Wall Light

Recessed and shielded
2700K Color Temperature

LED recessed ceiling downlights - narrow beam **BEGA**

Application
LED recessed ceiling luminaire with narrow beam light distribution designed for downlighting atriums, canopies, passages and other interior and exterior locations.



Materials
Luminaire housing and faceplate constructed of die-cast marine grade, copper free (±0.3% copper content) A360.0 aluminum alloy
Clear safety glass
Silicone optical collimating lens
Reflector surface made of pure anodized aluminum
High temperature silicone gasket
Stainless steel screw clamps
Galvanized sleep rough in ceiling pan with through wiring box
NRTL listed to North American Standards, suitable for wet locations
Protection class IP65
Weight: 4.0 lbs

Electrical
Operating voltage 120-277VAC
Minimum start temperature -20° C
LED module wattage 17.3W
System wattage 20.0W
Controllability 0-10V dimming down to 0.1%
Color rendering index Ra > 80
Luminaire lumens 2,445 lumens (3000K)
Lifetime at Ta=15° C 490,000 h (L70)
Lifetime at Ta=40° C 320,000 h (L70)

LED color temperature
 4000K - Product number + **K4**
 3500K - Product number + **K35**
 3000K - Product number + **K3**
 2700K - Product number + **K27**
BEGA can supply you with suitable LED replacement modules for up to 20 years after the purchase of LED luminaires - see website for details

Finish
All BEGA standard finishes are matte, textured polyester powder coat with minimum 3 mil thickness.

Available colors Black (BLK) White (WHT) RAL:
 Bronze (BRZ) Silver (SLV) CUS:

LED recessed ceiling downlights - narrow beam			
LED	B	A	B C
24819	17.3W	20"	8 1/2 6 18

BEGA 1000 BEGA Way, Carpinteria, CA 93013 (805) 684-0533 info@bega-us.com
Due to the dynamic nature of lighting products and the associated technologies, luminaire data on this sheet is subject to change at the discretion of BEGA North America. For the most current technical data, please refer to bega-us.com
© copyright BEGA 2018 Updated 07/20/18

Lighting Fixture - Soffit Light

Recessed
2700K Color Temperature

Garden and pathway bollard - Direct burial anchorage **BEGA**

Application
Pathway luminaires with shielded light for residential and light commercial use. These luminaires are ideally suited for gardens, entryways, and for many applications on paths and terraces. Anchorage unit provided for direct burial in concrete or soil. Low voltage magnetic transformer required for operation.



Materials
Luminaire housing and faceplate constructed of die-cast marine grade, copper free (±0.3% copper content) A360.0 aluminum alloy
Clear safety glass
High temperature silicone gasket
Reflector made of pure anodized aluminum
Anchorage constructed of galvanized steel
NRTL listed to North American Standards, suitable for wet locations
Protection class IP 65
Weight: 7.5 lbs

Electrical
Operating voltage 12-24V AC
Minimum start temperature -40° C
LED module wattage 4.2W
System wattage 6.0W
Controllability Non-dimmable
Color rendering index Ra > 80
Luminaire lumens 321 lumens (4000K)
LED service life (L70) 60,000 hours

LED color temperature
 4000K - Product number + **K4**
 3500K - Product number + **K35**
 3000K - Product number + **K3**
 2700K - Product number + **K27**
BEGA can supply you with suitable LED replacement modules for up to 20 years after the purchase of LED luminaires - see website for details

Finish
All BEGA standard finishes are matte, textured powder coat with minimum 3 mil thickness. BEGA Unidure® finish, a fluoropolymer technology, provides superior fade protection in Black, Bronze, and Silver. BEGA standard White, as well as optionally available RAL and custom colors, are a polyester powder.

Available colors Black (BLK) White (WHT) RAL:
 Bronze (BRZ) Silver (SLV) CUS:

Garden and pathway bollard - Direct burial anchorage			
LED	A	B	C
64218	4.2W	4"	27 1/2 4"

BEGA 1000 BEGA Way, Carpinteria, CA 93013 (805) 684-0533 info@bega-us.com
Due to the dynamic nature of lighting products and the associated technologies, luminaire data on this sheet is subject to change at the discretion of BEGA North America. For the most current technical data, please refer to bega-us.com
© copyright BEGA 2021 Updated 03/20/21

Lighting Fixture - Path Light

Shielded
2700K Color Temperature

Residence

691 North Spruce Ave. & 671 East Sixth St.
Ketchum, ID 83340

Architect
Roger Ferris + Partners
11 Wilton Road • Westport, Connecticut 06880
tel. 203.222.4848 • www.ferrisarch.com

Civil Engineer/Surveyor
Galena Engineering
317 N. River Street • Hailey, ID 83333
tel. 208.788.1705 • www.galena-engineering.com

Landscape Architect
BYLA Landscape Architects
323 Lewis Street, Suite N • Ketchum, ID 83340
tel. 208.726.5907 • www.byla.us

ARCHITECT'S SEAL

KEY PLAN

PROJECT PHASE - PERMITTING

REVISIONS

NO.	DESCRIPTION	DATE	ISSUED TO
1	M.O.D.R. PRE-APP.	AUGUST 06, 2021	CITY

SHEET NAME

PROPOSED EXTERIOR LIGHTING FIXTURES

PROJECT NUMBER: **21-002**
DATE: **JULY 14, 2021**
SCALE: **N/A**

G001

Proposed Material Palette



1) Wood Windows & Doors
At exterior glazing locations



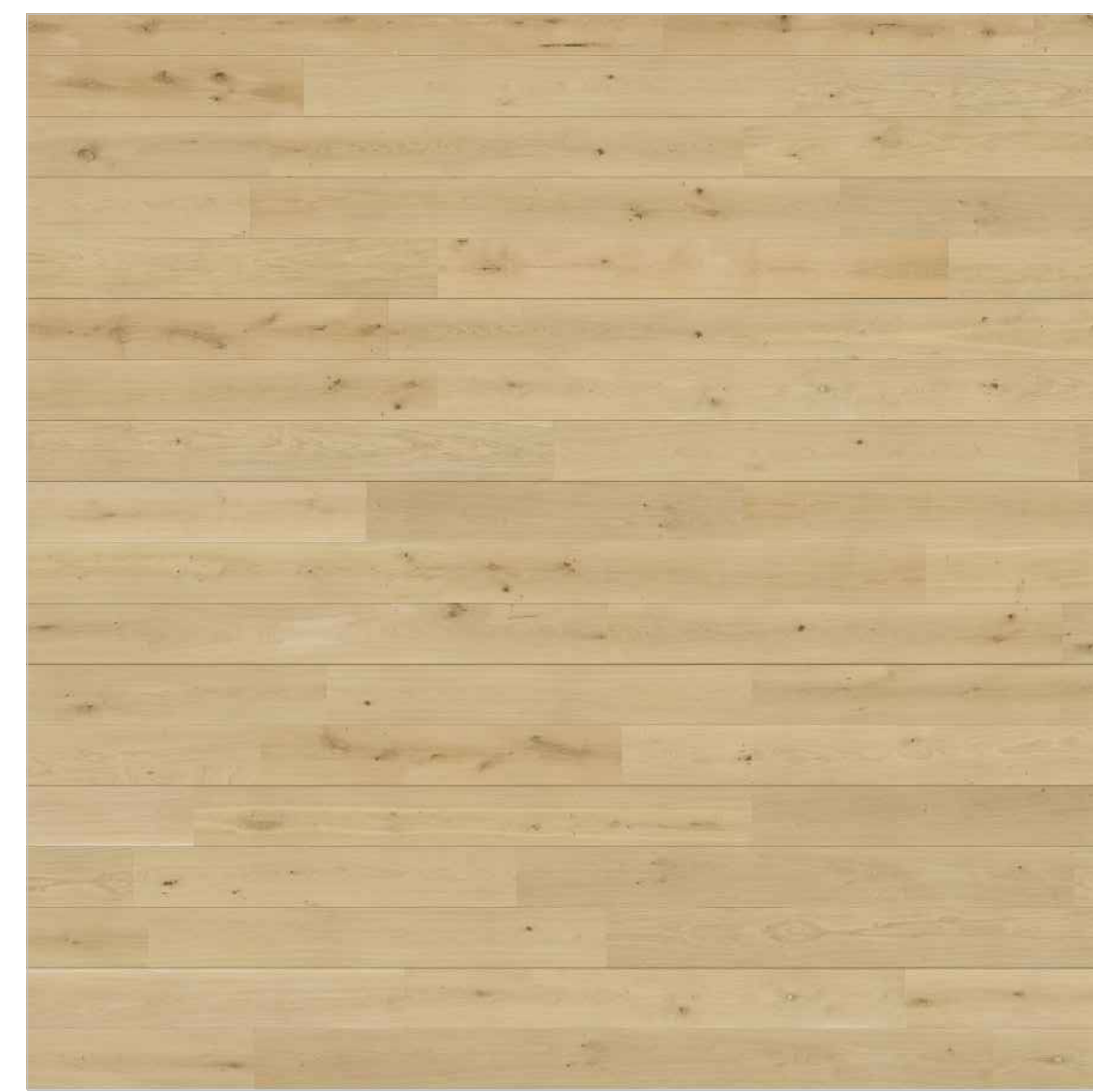
2) Wood Louvers
At exterior glazed locations



3) Stone Cladding
At exterior walls



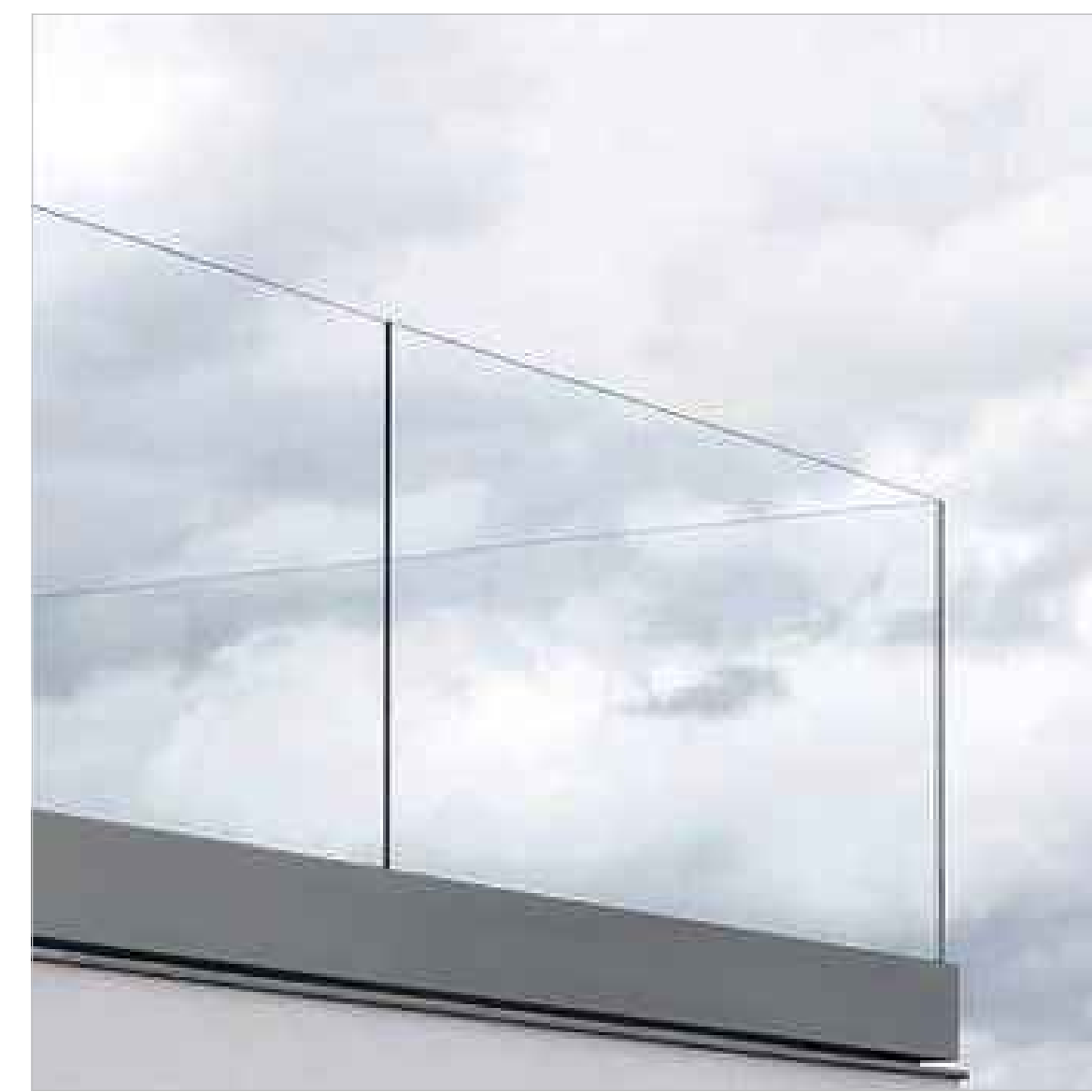
4) Stone Slabs
At exterior terraces & fascias



5) Wood Soffits
At exterior soffit locations



6) Zinc
At chimneys & parapet caps



7) Glass Guardrail
At exterior terraces



8) Green Roof
Sedum green roof w/native vegetation
(TBD by Landscape Architect)

Residence

691 North Spruce Ave. & 671 East Sixth St.
Ketchum, ID 83340

Architect
Roger Ferris + Partners
11 Wilton Road • Westport, Connecticut 06880
tel. 203.222.4848 • www.ferrisarch.com

Civil Engineer/Surveyor
Galena Engineering
317 N. River Street • Hailey, ID 83333
tel. 208.788.1705 • www.galena-engineering.com

Landscape Architect
BYLA Landscape Architects
323 Lewis Street, Suite N • Ketchum, ID 83340
tel. 208.726.5907 • www.byla.us

ARCHITECT'S SEAL

KEY PLAN

PROJECT PHASE - PERMITTING

REVISIONS

NO.	DESCRIPTION	DATE	ISSUED TO
1	M.O.D.R. PRE-APP.	AUGUST 06, 2021	CITY

SHEET NAME

PROPOSED MATERIAL PALETTE

PROJECT NUMBER: 21-002
DATE: JULY 14, 2021
SCALE: N/A

G002

Renderings



View 1



View 2



View 3

Residence

691 North Spruce Ave. & 671 East Sixth St.
Ketchum, ID 83340

Architect
Roger Ferris + Partners
11 Wilton Road • Westport, Connecticut 06880
tel. 203.222.4848 • www.ferrisarch.com

Civil Engineer/Surveyor
Galena Engineering
317 N. River Street • Hailey, ID 83333
tel. 208.788.1705 • www.galena-engineering.com

Landscape Architect
BYLA Landscape Architects
323 Lewis Street, Suite N • Ketchum, ID 83340
tel. 208.726.5907 • www.byla.us

ARCHITECT'S SEAL

KEY PLAN

PROJECT PHASE - PERMITTING

REVISIONS

NO.	DESCRIPTION	DATE	ISSUED TO
1	M.O.D.R. PRE-APP.	AUGUST 06, 2021	CITY

SHEET NAME

RENDERINGS

PROJECT NUMBER: 21-002
DATE: JULY 14, 2021
SCALE: N/A

CONSTRUCTION STAGING PLAN

CONSTRUCTION FENCE

TRUCK/VEHICLE ACCESS

PARKING

DUMPSTER

PORTABLE RESTROOM

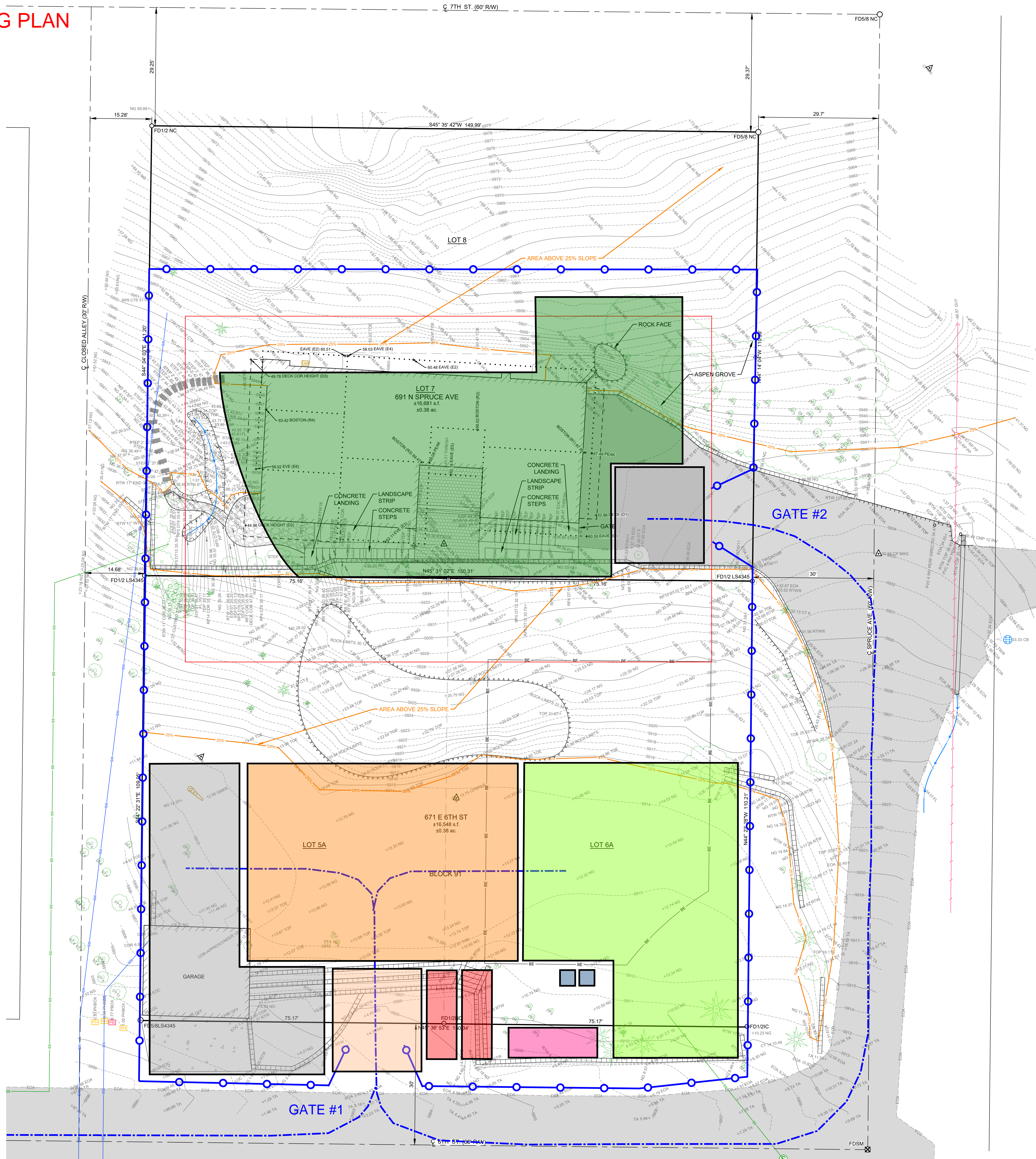
AREA OF EXCAVATION

MATERIAL STOCKPILE

TRACKPAD / CLEANOUT

JOB TRAILER

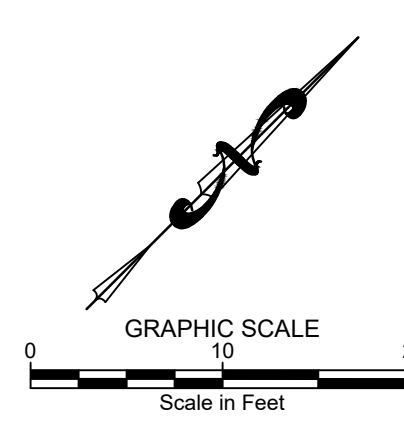
TRUCK LOADING + UNLOADING AREA



LEGEND

- Property Line
- Adjoner's Lot Line
- Centerline
- Interior Lot Line
- Building Envelope
- BE
- FNDGEAR / FDSM = Found Gear Survey Marker
- FDS/8 = Found 5/8" Rebar
- FD1/2 = Found 1/2" Rebar
- CP / CNTRL = Survey Control
- Calculated Point, not set
- 5' Contour Interval
- 1' Contour Interval
- FL = Flow Line
- Building
- Above Ground Deck
- Partial Roof Lines
- Edge of Asphalt
- Concrete
- Flat Stone Pavers
- Pavers
- RTW = Concrete/Block Retaining Wall
- Drystack or Railroad Tie Retaining Wall
- Rock Face / Outcropping
- 25% Slope Line
- Aspen Grove
- CT = Conifer Tree
- DT = Deciduous Tree
- Landscaping Steps
- GMTR = Gas Meter
- GMKR = Gas Marker
- PHBOX = Telephone Riser
- Overhead Power Line
- PBOX = Power Box
- PP = Power Pole
- GUY = Guywire
- Sewer Main
- SS = Sewer Service
- Sewer Manhole
- CB = Catch Basin
- Water Main
- WS = Water Service
- AP = Angle Point
- BEG = Beginning
- BOV = Back of Walk
- CMR = Corrugated Metal Pipe
- EOA = Edge of Asphalt
- EOC = Edge of Concrete
- EOP = Edge of Pavers
- EOPT = Edge of Flat Stone
- FF = Finished Floor
- GB = Grade Break
- GFF = Garage Finished Floor
- INT = Intersection
- NO = No Cap
- NG = Natural Ground
- PVC = Polyvinyl Chloride Pipe
- RP = Reference Point
- RR TIE = Railroad Tie
- TA = Top of Asphalt
- THRESH = Threshold of Door
- TOE = Toe of Slope
- TOP = Top of Slope
- TW = Top of Wall
- WTR TOP = Top of Water Fall

- NOTES**
- The purpose of this map is to show topographical information as it existed on the date the field survey was performed. Changes may have occurred to site conditions since survey date (691 N. Spruce Ave., 11/20/2019 & 671 E. 6th St., 08/06/2020).
 - Boundary information is based on Found Monumentation.
 - Underground utilities were not located. Water and sewer services shown hereon are per the City of Ketchum utility maps. Utilities should be located prior to any excavation.
 - Galema Engineering Inc. has not received a Title Policy from the client and has not been requested to obtain one. Relevant information that may be contained within a Title Policy may therefore not appear on this map and may affect items shown hereon. It is the responsibility of the client to determine the significance of the Title Policy information and determine whether it should be included. If the client desires for the information to be included they must furnish said information to Galema Engineering, Inc. and request it be added to this map.
 - Benchmark is top of found 1/2" rebar located at the common property corner of 691 N. Spruce Ave. and 671 E. 6th St. along Spruce Ave., elevation = 5934.10. Vertical Datum is NAVD 1988.
 - This Lot is within the Mountain Overlay Zoning District. Please Refer to Ketchum Zoning Ordinance 17.104 for use conditions and restrictions.



EXISTING SITE CONDITIONS
671 E 6TH ST & 691 NORTH SPRUCE
 LOCATED WITHIN SECTION 15, T2N, R18E, B.M. CITY OF HAILEY, BLAINE COUNTY, IDAHO
 PREPARED FOR 891 NORTH SPRUCE LLC



DESIGNED BY
 CT
 DRAWN BY
 SMF/MEP
 CHECKED BY

GALEMA
 ENGINEERING, INC.
 Civil Engineers & Land Surveyors
 317 N. River Street
 Hailey, Idaho 83433
 email: galema@galema-engineering.com

PURPOSE: TOPOGRAPHIC MAP (11/11/20)

NO.	DATE	BY	REVISIONS
1	07/20/21	SMF	ADDITIONAL TOPO

C1.0

RELEASE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any Project or extensions of this Project except by agreement in writing with Galema Engineering, Inc.