



STAFF REPORT
KETCHUM PLANNING AND ZONING COMMISSION
REGULAR MEETING ON FEBRUARY 28, 2023

- PROJECT: McGavick Residence
- FILE NUMBER: P22-048A
- APPLICATION: Mountain Overlay Design Review (Final)
- PROPERTY OWNER: The Dirty Foot Gang LLC
- REPRESENTATIVE: Jim McLaughlin, McLaughlin and Associates (Architect)
- LOCATION: 307 Garnet Street (ESMERALDA SOUTH SUBD LOT 2 BLK 1)
- ZONING: Limited Residential (LR)
- OVERLAY: Mountain Overlay
- REVIEWER: Morgan Landers, AICP - Senior Planner
- NOTICE: A public meeting notice for the project was mailed to all owners of property within 300 feet of the project site and all political subdivisions on February 8, 2023. The notice was published in the Idaho Mountain Express on February 8, 2023. A notice was posted on the project site and the city’s website on February 21, 2023. The city waived the story pole requirement for the application as story poles were evaluated during the preapplication design review with no significant changes to building height proposed.

Introduction and Background

The City of Ketchum received a final Mountain Overlay Design Review application for the development of a new single family dwelling unit on November 7, 2022, referred to as the McGavick Residence. The proposed project is on a 6-acre vacant lot zoned Limited Residential (LR) located at 307 Garnet St on the south end of Ketchum in the Gem Streets Neighborhood (the “subject property”) as shown in Figure 1. The proposed residence has 13,362 square feet of living space which includes five bedrooms, 6 baths, three car garage, and attached pool house. Surrounding the dwelling unit is a landscaping program that includes multiple hardscape patios and circulation paths, landscaped areas with

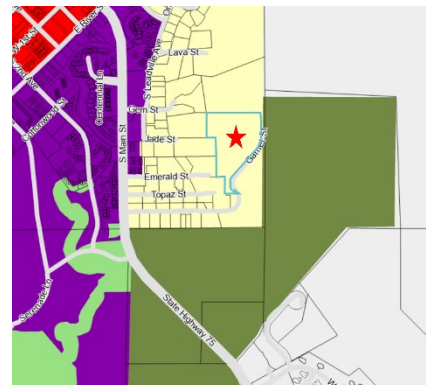


Figure 1: Subject Property Location Map

trees and shrubs, open landscaped areas with low lying plants and flowers, and a play lawn. The project plans, including architectural plans, site plan, landscape plans, and preliminary grading and drainage plans, are in Attachment B to this staff report. Prior to publication of the packet, staff was informed that the applicant decided to remove the pool from the proposed plans. Attachment C includes revised exhibits outlining the scope of the project, limits of disturbance, and site selection analysis conducted by the applicant with the removal of the pool. The landscape plans, grading and drainage plan, and civil plan sets have not been updated with the removal of the pool.

The Commission reviewed a Preapplication Mountain Overlay Design Review for the project at a meeting on September 27, 2022. The Commission provided the following feedback to the applicant before advancing the application to final design review:

- The proposed overall limits of disturbance to accommodate project did not meet the intent of the mountain overlay design review criteria and should be reduced.
- The size of the pool and associated hardscape areas extends the disturbance past the extent of disturbance for building construction and should be reconsidered.
- The size of the structure created a significant amount of excavation and should be reconsidered.
- The play lawn extends the limits of disturbance and is not consistent with surrounding hillsides and should be reconsidered.
- The addition of trees to the landscape are appropriate and would assist in screening the structure and outdoor spaces from surrounding properties. Remaining landscaping should mimic the surrounding hillsides as much as possible.

Following the preapplication meeting, the applicants have made the following revisions to the project:

- Reduction of the total size of the structure from 18,756 SF to 13,362 SF.
- Reduction of the lower floor footprint from 9,110 SF to 5,225 SF.
- Reduction of the upper floor footprint from 9,646 SF to 7,836 SF
- Reduction of the pool building from approximately 1,200 SF to 300 SF.
- Removal of the pool and associated hardscape.
- Removal of the garden, no-mow lawn, and surrounding landscape improvements.
- Reduction of the size of the play lawn.
- Reduction in the amount of formal landscaping on the downhill side of the project and slight reduction in amount of disturbance on the uphill side of the project.
- Reduction in grading outside of the building envelope along the existing private driveway.
- Revised planting plan to outline two types of revegetation of the site to better match the surrounding hillsides.

Staff has conducted a review of the proposed project for conformance with the city's zoning regulations including dimensional standards, dark skies, parking, and snow storage. Staff has also reviewed the project for conformance with the city's design review criteria and mountain overlay design review criteria. In general, staff believes the proposed project meets the requirements of the zoning regulations but does have concerns related to one of the mountain overlay design review criteria as further discussed in the report below. For a full review of the dimensional standards, design review criteria, and mountain overlay design review criteria please see Attachments D, E, and F respectively.

ANALYSIS

Per KMC 17.96.050.A. - *Criteria*. The Commission shall determine the following before approval is given for design review:

1. The project does not jeopardize the health, safety or welfare of the public.
2. The project conforms to all applicable standards and criteria as set forth in this chapter, this title, and any other standards as adopted or amended by the City of Ketchum from time to time.

Criteria 1: Health, Safety, and Welfare of the Public

The 2014 City of Ketchum Comprehensive plan outlines core values of the community and a policy framework that assists the city in strengthening those values as the community grows over time.

“Community Character” is one of the ten values outlined in the plan that speaks directly to development on the hillsides stating, “Protecting and enhancing the visual character of our community gateways, the undeveloped hillsides, and night skies is a priority.” The plan also states that “Unobstructed views exist in every direction in large part due to Ketchum’s wide streets and lack of hillside development. These environmental features and resources sustain our economy and are why many people choose to live in Ketchum.”

Policy CD-2.2 Mountain Overlay Zone outlines the city should “Continue to protect hillsides within the City and Area of City Impact from further development. Enforce and encourage strengthening of the Mountain Overlay standards of the City and County by using a variety of techniques such as clustering at lower elevations, creating conservation easements, or purchasing private property on hillsides.” Many of these goals and policies were considered when the subdivision of land occurred with the Esmeralda subdivision. The plat notes included in the approved subdivision restrict building heights more than the baseline zoning ordinance to limit visual impacts and limit disturbance outside the building envelope to preserve the hillside. Staff conducted a thorough review during the preapplication stage to ensure that the assumptions of building height and siting of development will not be visible from common public vantage points such as the bike path and Hwy 75.

The comprehensive plan also prioritizes the protection of natural features, open space, and rural character at community edges. The future land use designation for the property is “Low Density Residential” which notes single family residential, duplex residences, and accessory units as primary uses with open space as a noted secondary use. The plat memorialized pedestrian access easements to neighboring open spaces preserved by the Idaho Foundation for Parks and Lands. By siting the building toward the north side of the property, the proposed project preserves the existing trees on the property and does not impede or impact any of the pedestrian access easements that exist.

Staff believes that the goals and policies of the comprehensive plan related to hillside development are met with the proposed project as the project will not jeopardize the visual character of the community and open space/recreation access points are maintained.

Criteria 2: Applicable Standards and Criteria

Conformance with Zoning, Dimensional Standards, and Plat Notes

Staff has conducted a thorough review of the project’s conformance with the dimensional standards, dark skies, parking, and snow storage requirements of the city’s municipal code. Additionally, staff has reviewed the application for compliance with all applicable plat notes related to site disturbance,

building height, and construction practices. A full review of the requirements can be found in Attachment D.

Conformance with Design Review and Mountain Overlay Design Review Criteria

Staff has conducted a thorough review of the project's conformance with KMC Section 17.96.060 – *Improvements and Standards*, and 17.104.070.A – *Criteria and Standards*. In general, staff believes the design review criteria outlined in 17.96.060 is met, however, there are mountain overlay design review criteria that may warrant additional revisions to the proposed project. For the preapplication design review meeting, staff highlighted concerns related to the site's drainage, amount of disturbance including the pool and play lawn, and the type and extent of landscaping. As noted above, the applicant has made significant changes to the project in response to feedback from the Commission. Below is an overview of each of these items and whether further revisions are recommended by staff.

Drainage

At the preapplication review of the project, staff raised concerns about the drainage proposed and associated disturbance necessary to accommodate the drainage along the existing private driveway. KMC §17.96.060.C1 and 17.124.170.A.1, requires that all stormwater must be retained on site. The initial project plans included proposed drainage that funneled all stormwater along a newly created drainage swale along the private drive, south and off the property. The applicant has worked with the City Engineer to revise the grading and drainage plan to manage the stormwater on-site as required. Attachment XX includes an analysis conducted by the applicant team that demonstrates how the stormwater on-site will be managed adequately. Additionally, the revised grading and drainage plan reduces the amount of grading and disturbance outside the building envelope as required by plat note 4. Staff believes the drainage concerns raised during the preapplication meeting have been resolved.

Amount of Disturbance

KMC Section 17.104.070.A states "Excavations, fills and vegetation disturbance on hillsides not associated with the building construction shall be minimized." The total area of the building envelope is approximately 77,050 SF (1.77 acres) with a proposed area of disturbance of 51,868 SF (1.19 acres). Page one of Attachment C is an exhibit that shows the initial limits of disturbance proposed at preapplication design review compared with what is currently proposed. Overall, the revisions to the project have reduced the limits of disturbance by approximately 29%. As noted above, the pool has been removed from the scope of the project and therefore the additional pool criteria does not apply.

Sheets A1 and A2 of Attachment B show the building footprints of the residence proposed at preapplication in blue and the current footprints proposed in black, with summary tables for each to illustrate proposed changes. The most significant change of note is the reduction in size of the garage wing and the reduction of habitable square footage on the lower level under the main wing and the master wing. Overall, the building coverage for the project, as demonstrated by the upper-level footprint, has been reduced by approximately 1,800 SF.

The preapplication included a play lawn and no-mow lawn that staff expressed concerns about as the creation of this space necessitated a significant amount of clearing/grubbing and regrading of the hillside not related to building construction. As shown on page 2 of Attachment C, the no-mow lawn and garden have been removed and the area of the play lawn and formal areas of landscaping has been reduced to approximately 5,700 SF. Although this is a positive change, staff still has concerns regarding the proposed play lawn even with the reduced size. The excavation and grading required to create the lawn is not

associated with building construction and staff also has concerns about the incompatibility with surrounding hillside vegetation as further discussed below.

Extent and Type of Vegetation

KMC Section 17.104.070A.9 states that “Cuts and fills allowed for roadways shall be minimized; lengths of driveways allowed shall be minimized; all cuts and fills shall be concealed with landscaping, revegetation and/or natural stone materials. Revegetation on hillsides with a clear zone of thirty feet (30’) around all structures is recommended. Said clear zone shall include low combustible irrigated vegetation with appropriate species, on file with the Ketchum planning department. Revegetation outside of this clear zone should be harmonious with the surrounding hillsides.” This standard is primarily focused on prevention of structure damage in the event of a wildfire; however, the last sentence is of specific note related to the type of vegetation that should be outside the clear zone. As shown on Sheet L4.01, the proposed project is meeting minimum fire code requirements of a 10-foot clear zone. The fire department has reviewed the proposed planting plan and does not believe an additional 20 feet of clear zone should be required for the project.

Related to revegetation of the property outside the clear zone, the preapplication included significant landscaping that was of a formal nature and did not blend with the surrounding hillsides, which is primarily sage brush, tall grasses and other drought tolerant species. The applicant has revised the landscape plan to better match the surrounding hillsides as shown on page 2 of Attachment C and Sheets L-101 and L-4.00 of Attachment B. Staff believes the changes to the landscape plan are very positive but has concerns about the play lawn. The lawn is proposed to be a fescue turf grass that is drought tolerant. Other than landscaping down the hill in the more developed area of Garnet Street, turf grasses are not found within the surrounding hillsides.

Staff Recommendation

Staff recommends the Commission review the application materials, staff and applicant presentation, and public comment and provide feedback on the items outlined by staff in the above report.

Attachments:

- A. Application and Applicant Narrative
- B. Design Review Plan Set
- C. Supplemental Exhibits
- D. Zoning and Dimensional Standards Analysis
- E. Mountain Overlay Design Review Standards Analysis
- F. Design Review Standards Analysis



City of Ketchum

ATTACHMENT A:
Application Materials –
Application and Applicant
Narrative



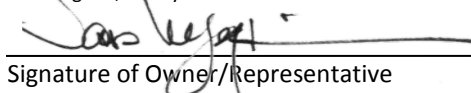
City of Ketchum
Planning & Building

OFFICIAL USE ONLY	
File Number:	P22-048A
Date Received:	10/28/22
By:	SM
Fee Paid:	\$1400 on 11/7/22
Approved Date:	
Denied Date:	
By:	

Mountain Overlay Design Review Application

OWNER INFORMATION			
Project Name: McGavick Residence			
Owner Name: Gaelynn and Mike McGavick			
Mailing Address: 276 Greenley Road, New Canaan, 06840			
Phone: (239) 315-5835			
Email: mikemcgavick@me.com; gaelynn@me.com			
PROJECT INFORMATION			
Architect/Representative: McLaughlin & Associates			
Phone: 208-726-9392			
Mailing Address: PO Box 479, Sun Valley, ID 83353			
Email: jim@mclaughlinarchitects.com			
Engineer of Record: Benchmark Associates			
Engineer Email:			
Legal Land Description: Lot 2, Esmerelda South Subdivision			
Project Address: City of Ketchum, Blaine County, Idaho			
Lot Area:			
Zoning District: LR Limited Residential - Mountain Overlay			
Anticipated Use: Private Residence			
Number of Residential Units: One			
TYPE OF CONSTRUCTION			
<input checked="" type="checkbox"/> New	<input type="checkbox"/> Remodel	<input type="checkbox"/> Addition	<input type="checkbox"/> Other, please explain:
TOTAL FLOOR AREA			
Proposed		Existing	
Basement:		LOT 2 CALCULATIONS	
1 st Floor: Lower - 5,225.9 square feet		LOT COVERAGE	
2 nd Floor: Upper - 7,835.9 square feet		LOT 2 SIZE = +/- 259,330 (6.0 ACRES) COVERAGE BY PRIMARY RESIDENCE = 9,320 SF	
Total 13,061.8 square feet		COVERAGE BY POOL BUILDING = 1,187 SF	
Pool Building: 300.6 square feet		COVERAGE BY PARKING AND DRIVEWAY = 3,500 SF	
Mezzanine:		COVERAGE BY POOL + HOT TUB + DECK = 1,815 SF	
Grand Total: 13,362.4 square feet		TOTAL = 15,822 SF	
Building Coverage: 9646.00 SF %		PERCENTAGE COVERAGE BY BLDGS AND APPLICABLE EXTERIOR IMPROVEMENTS (15,822 / 259,330) = +/- 6%	
		SNOW STORAGE	
		DRIVEWAY + MOTORCOURT: 3,555 SF X .3 = 1,067 SF (REQUIRED PER CODE)	
		SNOW STORAGE PER PLAN 1,210 SF	
PROPOSED SETBACKS			
Front: Per Envelope	Side: Per Envelope	Side: Per Envelope	Rear: Per Envelope
ADDITIONAL INFORMATION			
Building Height: Not to exceed 28' per plot		Parking Spaces Provided:	
Will Fill or Excavation Be Required? <input checked="" type="radio"/> Yes <input type="radio"/> No			
If Yes, Amount in Cubic Yards Fill: 1,500 cy		Excavation: 10,700 cy	
Will Existing Trees or Vegetation Be Removed? <input type="radio"/> Yes <input checked="" type="radio"/> No			

Applicant agrees in the event of a dispute concerning the interpretation or enforcement of the Mountain Overlay Design Review Application, in which the City of Ketchum is the prevailing party, to pay reasonable attorney fees, including attorney fees on appeal, and expenses of the City of Ketchum. I, the undersigned, certify that all information submitted with and upon this application form is true and accurate to the best of my knowledge and belief.


Signature of Owner/Representative

October 21, 2022

Date

22 09-06 BYLA COMMENT FOR TEAM REVIEW

2. Comment: As mentioned above, the location of the pool, turf areas, and siting of the home within the BE directly relates to the amount of disturbance proposed. KMC Section 17.104.070.A.10 states that “No other sites on the parcel are more suitable for the proposed development in order to carry out the purposes of this section.” Based on the information provided, staff is unclear whether siting the building in a different location, i.e. further south on the site, would lessen the amount of disturbance on the property based on existing grades.

a. Required Action: Please provide a narrative response that describes the methodology and approach to siting the building in its current location and also describe whether alternative sites within the building envelope were contemplated.

RESPONSE:

The building envelopes created at time of platting the subdivision address the primary concern of this question; it creates a building site- as mentioned in KMC 17.104.070.A.10” in order to carry out the purpose of the section”. Were there no building envelopes or building sites established, the location of the development could perhaps be questioned more. As such, the building envelope is appropriate to carry out the provisions and intent of the code of this section. It is located at the lower portion of the lot and includes by its nature areas suitable for construction. All grading and development is to take place within the building envelope.

Other Considerations: The house location on the upper part of the building envelope removes the house horizontally and vertically from any of the neighbors. The location of the house and site improvements also allows the project to keep all cut on the property with minimal import/ export of materials.

3. Comment: During the pre-submittal meeting, staff indicated that the Planning Commission was evaluating the appropriateness of pools within the Mtn Overlay district. On July 15th, staff provided preliminary criteria for the applicant to be aware of, however, the final verbiage of the criteria had not been adopted. On July 26th, the Planning and Zoning Commission adopted the following criteria for pools within the Mtn Overlay district. Proposed pools in the Mtn Overlay district shall demonstrate the following: 1) Adding the footprint of the pool to the building coverage of the lot does not take the building coverage of the project over the permitted building coverage requirement. 2) The project site must be disturbed from previous development therefore the pool causes minimal disruption to the project site. 3) Prior to issuance of the building permit, the applicant must demonstrate that the pool cover is sufficient to withstand the weight of wildlife and the pool does not endanger wildlife. 4) Pools construction shall not excavate into a hillside and shall not have a visual impact on the hillside. 5) Pool size shall be minimal in size and not cause disruption to the hillside.

a. Required Action: Please provide a narrative response to how the proposed pool meets all the criteria listed above. Additionally, staff understands the pool to be 53x20 feet. Please also provide the total depth of the pool at its lowest point.

Given that the Criteria are not a part of the adopted building code(Or are they – has this been approved by council) we are unsure of the need to provide adherence to this criteria. That said 1. – the pool footprint does not put the SF coverage over. 2. This wording is awkward. What does this mean ? The pool will not be visible and will meet this standard for the district.

3. *The pool cover will not endanger wildlife and will support the weight of wildlife.*
4. *Pool does not excavate into the hillside and will not be visible.*
5. *The pool could certainly be larger and it could be smaller. The pool size is not unreasonable. The pool will not cause disruption to the hillside outside of the Building Envelope.*
6. *The pool will be 7' deep at its deep end. What is the rationale for knowing the pool depth from the city?*

C L E A R C R E E K D I S P O S A L

PO Box 130 • Ketchum, ID 83340 • Phone 208.726.9600 • www.ccdisposal.com

October 26, 2022

Planning & Zoning
City of Ketchum
P O Box 2315
Ketchum, ID 83340-2315

Re: 307 Garnet St.

To Whom It May Concern,

Please let this letter serve as to the following:

Regular residential garbage/recycling service will apply to the project. Owner(s) of the property(s) will transport items to be collected from their residence to the street. Clear Creek Disposal will serve the properties at the edge of their respective Street for collection.

If you have any concerns, please call at your earliest convenience.

Respectfully,



Mike Goitiandia
Clear Creek Disposal

.307 Garnet St



Benchmark Associates, P.A.

ENGINEERING, PLANNING, SURVEYING & MAPPING
PO Box 733: 100 Bell Drive
Ketchum, Idaho 83340
208-726-9512

TECHNICAL MEMORANDUM

DATE: December 29, 2022

TO: Robyn Mattison
City Engineer
City of Ketchum

CC: Morgan Landers, Planning & Building Director

FROM: Phoebe Johannessen, P.E.
Benchmark Associates

RE: Esmeralda South, Lot 2 Drainage Design

Robyn,

This memo provides documentation of the proposed drainage system for Esmeralda South Sub, Lot 2, Block 1 (307 Garnet Street). This is a 6 acre lot that will develop approximately 1 acre for residential use. The remainder of the lot will remain undeveloped. Due to the size of the lot it is not practicable to meet the City of Ketchum drainage code 17.124.170.A requiring that all stormwater to be retained on site. In lieu of this, the developed project will reduce the stormwater runoff below existing conditions through a series of drywells and will therefore not introduce any new adverse effects downstream of the project.

Existing Conditions

The existing 6-acre lot is undeveloped and on the side of a steep hill. The lot was divided into 3 basins (see attached Existing Land Use Map). Basin A is the main basin that drains south through the middle of the site and will contain all of the developed area plus some area that will remain undeveloped. Basin B drains westward towards S. Leadville Ave. Basin C will remain undeveloped and drains southeast to the access drive and then down to Garnet Street. There is also approximately 0.4 acre of off-site area above the lot that currently drains through the site. The off-site area has been divided into the on-site basin that it drains to. Since Basins B and C will remain undeveloped, this drainage documentation will focus on Basin A. Refer to attached spreadsheet for complete land use and runoff calculations.

Basin A Existing Stormwater Runoff (25-year runoff event)

On-site Area	3.69 ac	0.30 cfs
Off-site Area	0.14 ac	0.01 cfs
Total	3.86 ac	0.31 cfs

Developed Conditions

Under developed conditions, approximately 0.47 acre of impervious surfaces consisting of the house, patios, and driveway will be added to the site. In addition, approximately 0.68 acre will be converted into lawn and landscaping and 2.54 acres will remain undeveloped. The estimated runoff from the developed

Basin A is 0.44 cfs. This is an increase of 0.13 cfs over existing conditions. This increase will be mitigated using four on-site drywells as described below.

Stormwater Mitigation Plan

The soils on-site are silty clay and/or weathered andesite bedrock and have low permeability. The project Geotech report recommends an infiltration rate of 0.1 inch per minute (6 inches per hour). The typical drywell (10' deep and 10 feet in diameter with a 2' diameter perforated standpipe) have an estimated infiltration rate of 0.05 cfs each. **Thus, the four proposed drywells will reduce the developed runoff rate of 0.44 cfs down to 0.24 cfs, which is a reduction from the existing runoff rate of 0.31 cfs.**

Drywells #1 and #2 receive runoff from the roof drains, footing drains, and cut-off trench around the house, the patio areas around the house, the landscaped area above the house, and the undeveloped Basin A area above the house.

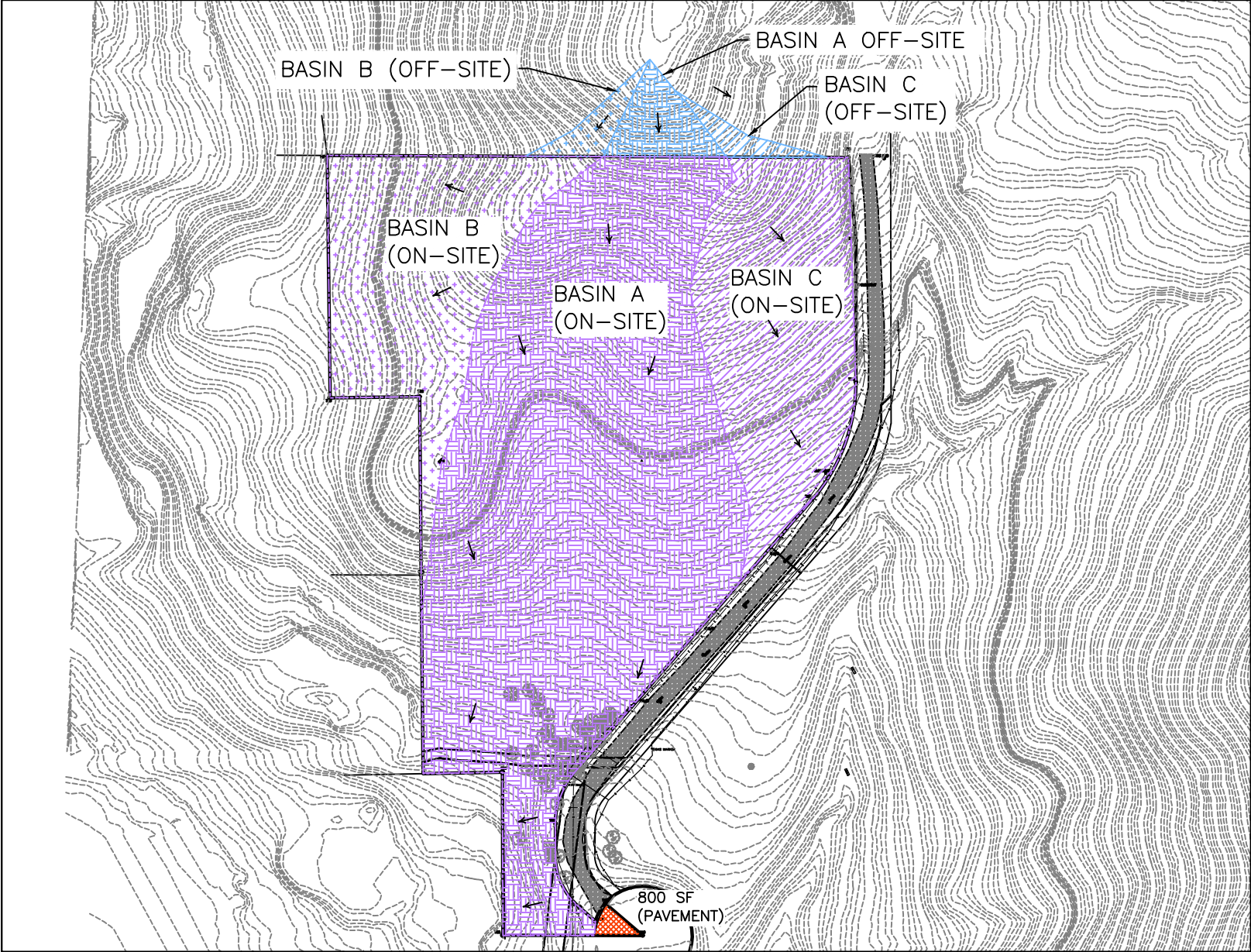
Drywell #4 is primarily an overflow drywell for Drywell #2 and will also receive runoff from the patio on the uphill side of the pool. Drywell #3 will receive runoff from the driveway and landscaping and undeveloped areas on the northeast side of the house. Figures depicting the tributary areas to the drywells, and the runoff calculations and drywell calculations are all attached.

Please contact me if you have any questions.

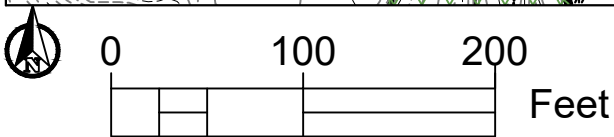
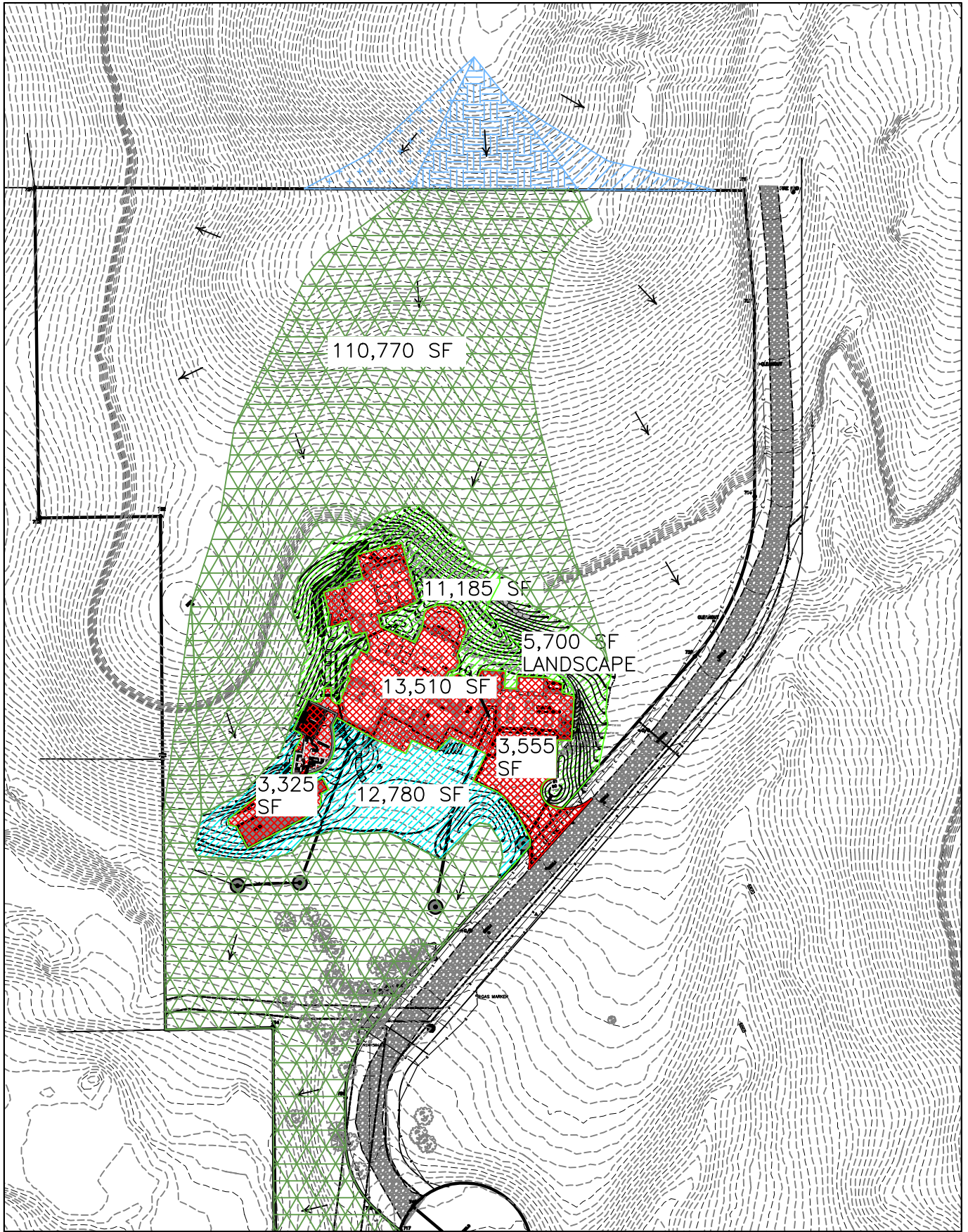
Sincerely,

Phoebe Johannessen

Phoebe Johannessen, P.E.
Benchmark Associates



ESMERALDA SOUTH LOT 2
EXISTING LAND USE MAP



ESMERALDA SOUTH LOT 2
DEVELOPED LAND USE MAP

Esmeralda South Lot 2

BY: P. Johannessen
DATE: 12/29/2022

Storm Intensity:	0.4 in/hr		
Runoff Coefficients	C:	0.2	Landscape Area
	C:	0.9	(Pavement)
	C:	0.2	Sage (unimproved)

EXISTING ON-SITE 25-YEAR RUNOFF

LAND USE	AREA (SF)	AREA (AC)	FLOW RATE (cfs) Q=CIA
Sage	258493	5.93	0.47
Pavement	800	0.02	0.01
TOTAL EXISTING RUNOFF (25-YEAR)			0.48

BASIN A - Drains through center of site

BASIN B - Drains to west side of ridge.

Basin C - Drains to gravel road.

Basin A	Area (SF)	Area (ac)	FLOW (cfs)
ON-SITE	160,650	3.69	0.30
OFF-SITE	6190	0.14	0.01
TOTAL =		3.83	0.31

Basin B	Area (SF)	Area (ac)
ON-SITE	47,710	1.10
OFF-SITE	3150	0.20
TOTAL =		1.29

Basin C	Area (SF)	Area (ac)
ON-SITE	49,540	1.14
OFF-SITE	2340	0.05
TOTAL =		1.19

TOTAL OFF-SITE TRIBUTARY AREA = 0.39 acres

Esmeralda South Lot 2

BY:

P. Johannessen

DATE:

12/29/2022

Storm Intensity:	0.4 in/hr		
Runoff Coefficients	C:	0.2	Landscape Area
	C:	0.9	(Pavement)
	C:	0.2	Sage (unimproved)

BASIN A DEVELOPED 25-YEAR RUNOFF

LAND USE	AREA (SF)	AREA (AC)	FLOW (cfs)
DRIVEWAY	3,555	0.08	0.03
HOUSE & PATIOS	16,835	0.39	0.14
LANDSCAPE (below house)	12,780	0.29	0.02
LANDSCAPE (above house)	16,885	0.39	0.03
Basin A Undeveloped (on-site)	110,770	2.54	0.20
Basin A Undeveloped (off-site)	6,190	0.14	0.01
BASIN A DEVELOPED RUNOFF (25-YEAR)		3.83	0.44

DRYWELL TRIBUTARY AREAS

DRYWELLS #1, 2, & 4 TRIBUTARY AREAS

LAND USE	AREA (SF)	AREA (AC)	FLOW (cfs)
House and Patios	16835	0.39	0.14
Landscape above house	11,185	0.26	0.02
Basin A (above house on-site)	61630	1.41	0.11
Basin A (off-site)	6190	0.14	0.01
TOTAL =			0.28
Drywell infiltration rate =			0.15
Overflow =			0.13

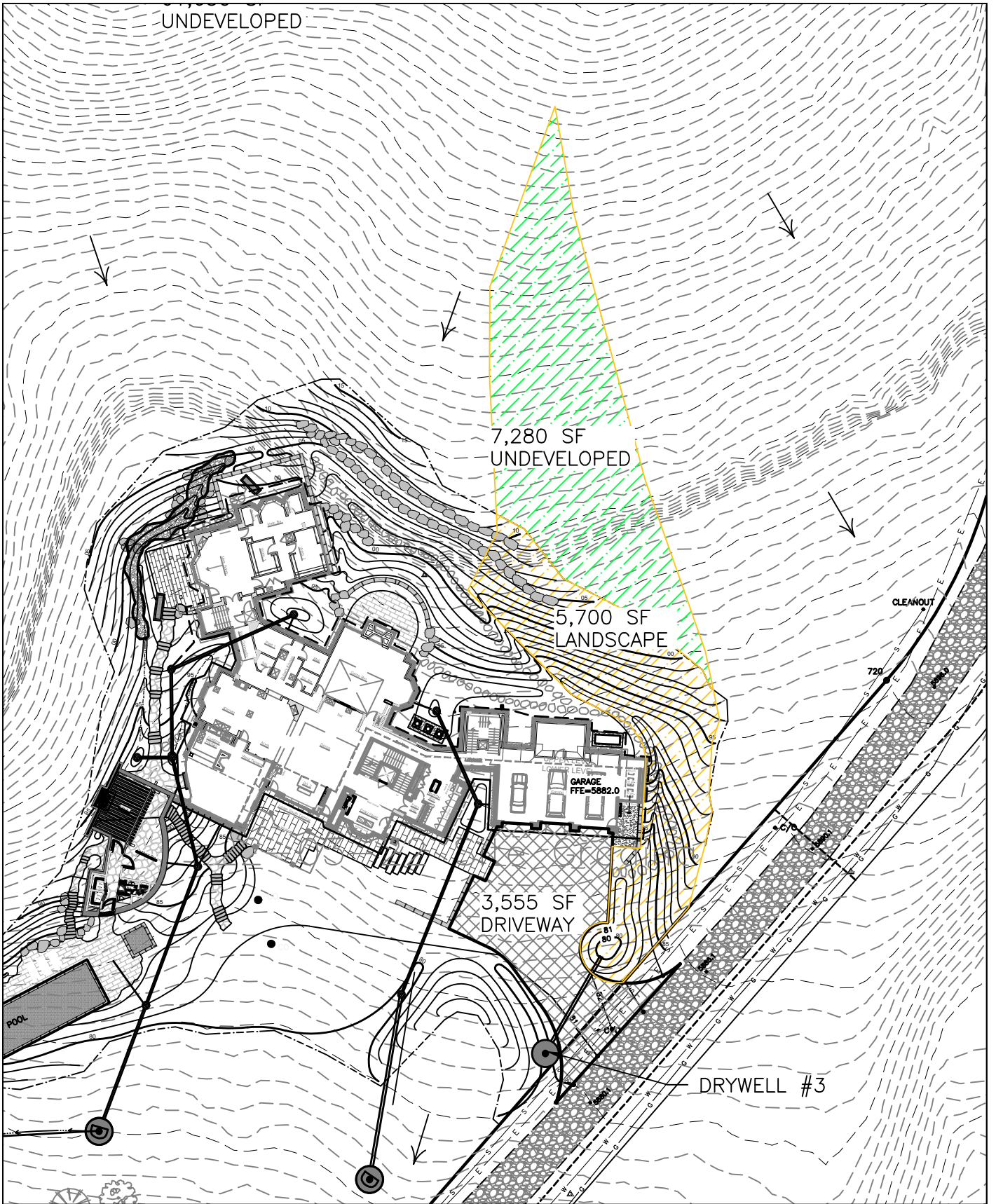
DRYWELL #3 TRIBUTARY AREA

LAND USE	AREA (SF)	AREA (AC)	FLOW (cfs)
Landscape	5700	0.13	0.01
Undeveloped	7280	0.17	0.01
Driveway	3555	0.08	0.03
TOTAL =			0.05

BASIN A - RUNOFF BALANCE FOR PRE-DEVELOPED TO DEVELOPED

	FLOW (cfs)
DEVELOPED RUNOFF	0.44
PRE-DEVELOPED RUNOFF	0.31
UNMITIGATED INCREASE IN RUNOFF	0.13
DRYWELL #1	-0.05
DRYWELL #2	-0.05
OVERFLOW DRYWELL #4	-0.05
DRYWELL #3	-0.05
MITIGATED RUNOFF (25-YEAR)	0.24

UNDEVELOPED



7,280 SF
UNDEVELOPED

5,700 SF
LANDSCAPE

3,555 SF
DRIVEWAY

GARAGE
FFE-5882.0

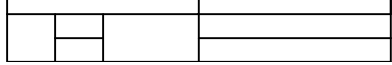
DRYWELL #3

CLEANOUT

720'



0 50 100



Feet

DRYWELL #3 TRIBUTARY
AREA

Infiltration System Sizing Worksheet

The proposed infiltration system design below allows for infiltration of stormwater collected from the house and patios. The below calculation shows required drywell dimensions to infiltrate the 25- year storm.

Onsite Native Soil Infiltration

Infiltration Rate:	6 in/hr	Assumed T _c :	10 min
Factor of Safety:	1	Intensity (25-yr, 10-min):	0.4 in/hr
Design Infiltration Rate:	6 in/hr		

Site Infiltration Sizing

Impervious Area:	ac
Runoff Coefficient (Imp.):	0.9
25-Year Design Runoff:	0.16 cfs

Drywell Structure Dimensions

Drywell Manhole Diameter:	24 in	
Drain Rock Thickness:	48 in	
Drain Rock Void Ratio:	0.4	
Drywell Rim Elevation:	100.00	
Max Storage Elevation:	99.00	Max water surface will be top of pipe.
Depth to Bottom of Drywell:	10.0 ft	
Bottom Elevation:	90.0	

Drywell Stage-Storage-Discharge

Drywell Stage	Water Surface Depth	Elevation	Storage in MH	Storage in Drain Rock	Total Storage	Bottom Wetted Area	Side Wetted Area	Total Wetted Area	Drywell Infiltration Flow Rate
(ft)	(ft)		(cf)	(cf)	(cf)	(sf)	(sf)	(sf)	(cfs)
0.00	10.00	90.00	0.0	0.0	0.0	78.5	0.0	78.5	0.011
0.90	9.10	90.90	2.8	27.1	30.0	78.5	28.3	106.8	0.015
1.80	8.20	91.80	5.7	54.3	59.9	78.5	56.5	135.1	0.019
2.70	7.30	92.70	8.5	81.4	89.9	78.5	84.8	163.4	0.023
3.60	6.40	93.60	11.3	108.6	119.9	78.5	113.1	191.6	0.027
4.50	5.50	94.50	14.1	135.7	149.9	78.5	141.4	219.9	0.031
5.40	4.60	95.40	17.0	162.9	179.8	78.5	169.6	248.2	0.034
6.30	3.70	96.30	19.8	190.0	209.8	78.5	197.9	276.5	0.038
7.20	2.80	97.20	22.6	217.1	239.8	78.5	226.2	304.7	0.042
8.10	1.90	98.10	25.4	244.3	269.7	78.5	254.5	333.0	0.046
9.00	1.00	99.00	28.3	271.4	299.7	78.5	282.7	361.3	0.050

Typical Drywell Design

Esmeralda South Lot 2

T4N, R17E, SEC 13, B.M., Blaine County, ID

BY: PLJ DATE: 12/22/22





City of Ketchum

ATTACHMENT B: Design Review Plan Set

McGavick Residence

Lot 2, Esmeralda South Subdivision
City of Ketchum, Blaine County, Idaho



Project Team

Architect: McLaughlin & Assoc. Architects
100 South Leadville Ave., 3rd Flr.
Ketchum, ID.
(208) 726-9392
www.mclaughlinarchitects.com
Bernie Johnson - bernie@mclaughlinarchitects.com

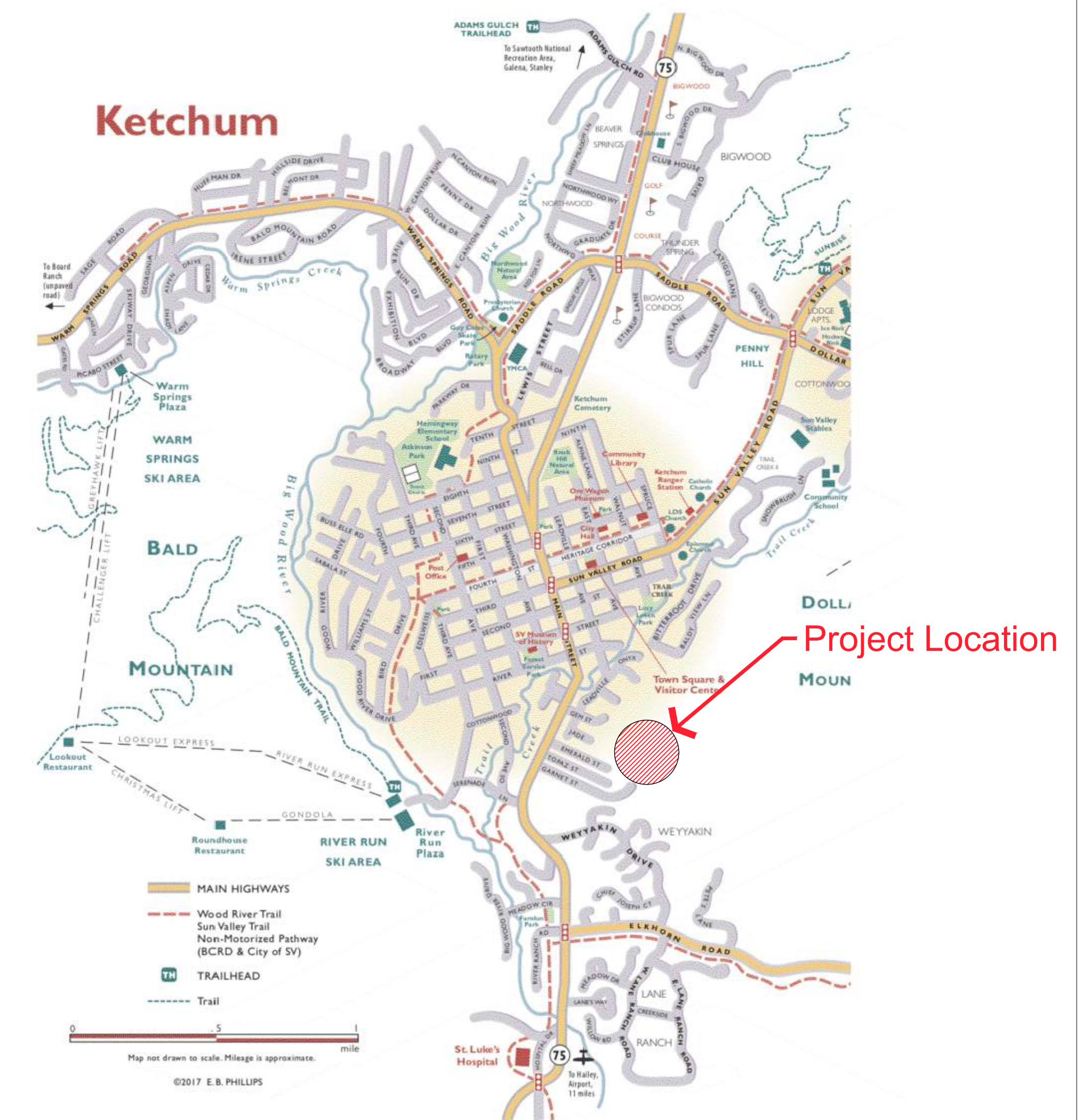
Landscape Architect: BYLA Landscape Architects
323 Lewis,
Ketchum, ID.
(208) 726-5907
www.byla.us
Eric Meadows - eric@byla.us

Civil Engineer: Benchmark Associates
100 Bell Dr.
Ketchum, ID.
(208) 726-9512
Phoebe Johannessen - phoebe@bma5b.com

Contents

- C Cover Sheet
- P Plat
- L-1.0 Overall Site Plan
- L-1.1 Site Disturbance Revegetation Plan
- L-1.2 Site Construction Management Plan
- L-2.0 Site Grading and Drainage Plan
- L-3.0 Site Materials and Layout Plan
- L-4.0 Site Planting Notes and Schedule
- L-4.1 Site Planting Plan
- A0 Renderings
- A1 Lower Level Plan / Exterior Lighting Plan
- A2 Upper Level Plan / Exterior Lighting Plan
- A3 Roof Plan
- A4 Exterior Elevations / Material Samples
- A5 Exterior Elevations
- A6 Exterior Elevations
- A7 Property and Building Sections
- C1 Civil Grading / Drainage Plan
- C2 Civil Utility Plan
- C3 Civil Drainage Details

Vicinity Map



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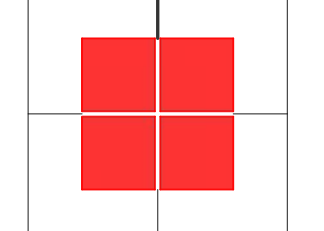
REVISIONS:

#	Description	Date

McGavick Residence

Location: Lot 2, Esmeralda South Subdivision
City of Ketchum, Blaine County, Idaho
Parcel #
JOB #: 0406.19

McLaughlin & Associates Architects
Chartered, AIA
mailing: 208.726.9392
Sun Valley, ID 83353
www.mclaughlinarchitects.com
Ketchum, ID 83340
shipping: 100 South Leadville Ave., 3rd floor



Project Issue Date:
10-21-2022
MOD Final Submittal

Cover

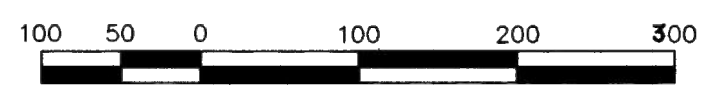
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ESMERALDA SOUTH SUBDIVISION

WHEREIN LOT 1A, BLOCK 1, ESMERALDA SUBDIVISION IS SUBDIVIDED INTO LOTS 1, 2, & 3
LOCATED WITHIN
SECTION 18 T.4N., R.18E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO

JUNE 1998



SCALE IN FEET

DAHO FOUNDATION FOR PARKS AND RECREATION

10' WIDE PEDESTRIAN AND NON-MOTORIZED ACCESS EASEMENT TO DAHO FOUNDATION FOR PARKS AND RECREATION LAND

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SCALE: 1" = 100'

LEGEND

- Found Brass Cap
- Found 5/8" Rebar
- Found 1/2" Rebar
- Set 1/2" Rebar, L.S. 3621
- Set 5/8" Rebar, L.S. 3621
- Fd Iron Pipe
- Fd Galvanized Iron Fence Post
- Easement
- Building Envelope
- Approx. Rock Ridge Line
- Property Line
- Slopes Greater Than 25%

LINE	LENGTH	BEARING
L1	31.10	N89°00'00"W
L2	15.62	N49°31'09"W
L3	21.66	N49°31'09"W
L4	31.10	N00°00'00"E
L5	50.00	N49°33'07"W
L6	125.66	N89°00'00"E
L7	15.23	S89°00'00"W
L8	48.26	S00°45'35"W

CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C1	115.92	200.00	30°12'37"	114.99	N5°44'45"E
C2	174.21	100.00	47°03'47"	136.44	N0°16'22"E
C3	88.51	40.00	49°50'28"	87.91	S20°05'14"W
C4	28.51	40.00	49°50'28"	27.91	S20°05'14"W
C5	25.92	30.00	49°31'59"	25.11	S24°45'24"E
C6	20.57	50.00	23°34'31"	20.43	S58°14'08"W
C7	20.58	50.00	23°34'31"	20.43	S58°14'08"W
C8	62.90	70.00	49°31'59"	58.63	S24°45'24"E
C9	37.82	80.00	49°50'28"	35.83	S20°05'14"W

NOTES:
1. This entire subdivision is zoned Limited Residential and Mountain Overlay.
2. All building envelopes have been established by Ketchum Ordinance No. 316 and Ketchum Zoning Ordinance 208, Section 19, Ketchum Mountain Overlay Zoning District. Any changes to building envelopes shall require the applicant to go through the Subdivision procedure and obtain Ketchum Mountain Overlay Design Review approval.
3. All grading and construction activity and all fencing shall be subject to Ketchum Mountain Overlay Design Review (KMOR).
4. All natural existing vegetation outside of building envelopes shall be preserved (with exception of driveway connections from the access road and livestock grazing as pursuant to Note 5).
5. Livestock grazing shall be limited to 15% of the lot area.
6. Each lot is restricted to no more than one horse per acre.
7. This development recognizes Section 22-4503 of the Idaho code, The Right to Farm, which states "Agricultural operation or an appearance to it shall be or become a nuisance, private or public, by any changed conditions in or about the surrounding nonagricultural activities after the same has been in operation for more than one (1) year, when the operation was not a nuisance at the time the operation began; provided that the provisions of this section shall not apply whenever a nuisance results from the improper or negligent operation of any agricultural operation or appearance to it".
8. Maximum building height is restricted to 28 feet on Lots 1, 2 & 3.
9. No portion of a structure on Lot 2 shall exceed elevation 5820 feet and/or be visible above the ridge line, as determined by KMOR.
10. No portion of a structure on Lot 3 shall exceed elevation 5975 feet and/or be visible above the ridge line, as determined by KMOR.
11. All lots shall provide adequate access for Fire Suppression Services as approved by Ketchum Fire Chief.
12. All residential structures shall install automatic fire sprinklers approved by the Ketchum Fire Chief and be of Type V-1 hour construction.
13. Sewer utilities to the manhole in Lot 2 and Water utilities up to the pump house easement in Lot 1 shall be dedicated to the City of Ketchum.
14. A pump house easement is reserved, as illustrated on plot, for Lot 3 on Lot 1.
15. A 40 foot drainage easement is reserved as illustrated on the plot to preserve existing vegetation and natural runoff. No fill, excavation or disturbance of vegetation shall occur within this easement.
16. A 20 foot maintenance easement for the benefit of the Weyakkin Homeowners Association and the Idaho Foundation for Parks and Recreation Land is reserved for the existing Weyakkin/Reinheimer Canal. Existing vegetation shall be preserved within a 40' easement centered on the canal.
17. The 40 foot landscape easement on Lot 1 for the benefit of TL 2864 shall be improved with landscaping and maintained by Lot 1.
18. A 10 foot pedestrian & non-motORIZED easement is reserved, as illustrated on the plot, for access through said subdivision from Garnet Street to the Idaho Foundation For Parks and Recreation Lands.
19. A 10 foot pedestrian & non-motORIZED easement is reserved as illustrated on the plot, for access through Lot 2 from the property at the end of Emerald Street to the Garnet Street pedestrian easement.
20. The lot owner doing construction shall be responsible for the installation of speed bumps, the posting of the speed limit to be determined by the City, and construction cleanup and dust abatement on an assigned basis, on Garnet Street as determined by the City.
21. A 20 foot sewer easement on Lot 1 and Lot 2 is reserved, as illustrated on the plot, for maintenance for the City of Ketchum.
22. The 40 foot road and utility easement over the paved portion of Garnet Street within said subdivision shall be for maintenance and access for the City of Ketchum for the purpose of snowplowing.
23. The gravel portion of Garnet Street shall remain unimproved per recorded agreement dated February 8, 1998 between Carl Curtis, City of Ketchum, and Garnet Street neighbors, Instrument No. 403847 dated February 2, 1998, recorded July 15, 1997.
24. The paved portion of Garnet Street in this subdivision is considered a private road and shall be maintained by Lot 1 with all the costs shared equally between Lots 1, 2, and 3.
25. A 40 foot access easement for Lot 2 overlaps the Lot 3 Flag Lot for approximately 450 feet.
26. If Lot 3 gravel driveway is oiled it shall be chiseled with earth tone gravel.
27. Front lot lines for Lots 1 & 2 shall be those lot lines adjacent to the Lot 3 flaglot.

HEALTH CERTIFICATE: Sanitary restrictions as required by Idaho Code Title 50, Ch. 13, have been satisfied. Sanitary restrictions may be reimposed in accordance with Idaho Code Title 50, Ch. 13, Sec. 50-1326, by issuance of a Certificate of Disapproval.
Date: 5-26-98
Richard D. Fosbury, L.S. 3621
South Central District Health Dept., IHS

ESMERALDA SOUTH SUBDIVISION
GALENA ENGINEERING, INC.
KETCHUM, IDAHO
SHEET 1 OF 2
JOB No. 2910

CERTIFICATE OF OWNERSHIP

This is to certify that the undersigned are the owners in fee simple of the following described parcel of land: A parcel of land located within Section 18, T.4N., R.17., B.M., Ketchum, Blaine County, Idaho; more particularly described as follows:

Esmeralda South Subdivision

The easements indicated hereon are not dedicated to the public, but the right to use said easements is hereby reserved for the public utilities and for any other uses indicated hereon and no permanent structures are to be erected within the lines of said easements. We do hereby certify that all lots in this plat will be eligible to receive water service from an existing water distribution system and that the existing water distribution system has agreed in writing to serve all of the lots shown within this plat.

It is the intent of the owners to hereby include said land in this plat.

STATE OF Idaho }
COUNTY OF Blaine } ss
On this 22nd day of May, 1998, before me, a Notary Public in and for said State, personally appeared Carl Curtis, known or identified to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that she executed the same.
IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

STATE OF Idaho }
COUNTY OF Blaine } ss
On this 22nd day of May, 1998, before me, a Notary Public in and for said State, personally appeared Sandy Hall, known or identified to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that she executed the same.
IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

STATE OF Idaho }
COUNTY OF Blaine } ss
On this 22nd day of May, 1998, before me, a Notary Public in and for said State, personally appeared Cindy Curtis, known or identified to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that she executed the same.
IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

STATE OF Idaho }
COUNTY OF Blaine } ss
On this 22nd day of May, 1998, before me, a Notary Public in and for said State, personally appeared Scott Curtis, known or identified to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same.
IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

STATE OF Idaho }
COUNTY OF Blaine } ss
On this 1st day of May, 1998, before me, a Notary Public in and for said State, personally appeared Scott Curtis, known or identified to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same.
IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

STATE OF Idaho }
COUNTY OF Blaine } ss
On this 1st day of May, 1998, before me, a Notary Public in and for said State, personally appeared Scott Curtis, known or identified to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same.
IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

STATE OF Idaho }
COUNTY OF Blaine } ss
On this 1st day of May, 1998, before me, a Notary Public in and for said State, personally appeared Scott Curtis, known or identified to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same.
IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

ACKNOWLEDGMENT

STATE OF Idaho }
COUNTY OF Blaine } ss
On this 22nd day of May, 1998, before me, a Notary Public in and for said State, personally appeared Carl Curtis, known or identified to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same.
IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

ACKNOWLEDGMENT

STATE OF Idaho }
COUNTY OF Blaine } ss
On this 22nd day of May, 1998, before me, a Notary Public in and for said State, personally appeared Sandy Hall, known or identified to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that she executed the same.
IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

ACKNOWLEDGMENT

STATE OF Idaho }
COUNTY OF Blaine } ss
On this 22nd day of May, 1998, before me, a Notary Public in and for said State, personally appeared Cindy Curtis, known or identified to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that she executed the same.
IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

ACKNOWLEDGMENT

STATE OF Idaho }
COUNTY OF Blaine } ss
On this 22nd day of May, 1998, before me, a Notary Public in and for said State, personally appeared Scott Curtis, known or identified to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same.
IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

SURVEYOR'S CERTIFICATE

I, Richard D. Fosbury, a duly licensed land surveyor in the State of Idaho, do hereby certify that the foregoing plat is a true and accurate copy of the land surveyed under my direct supervision and that it is in accordance with the Idaho State Code relating to plats and surveys.

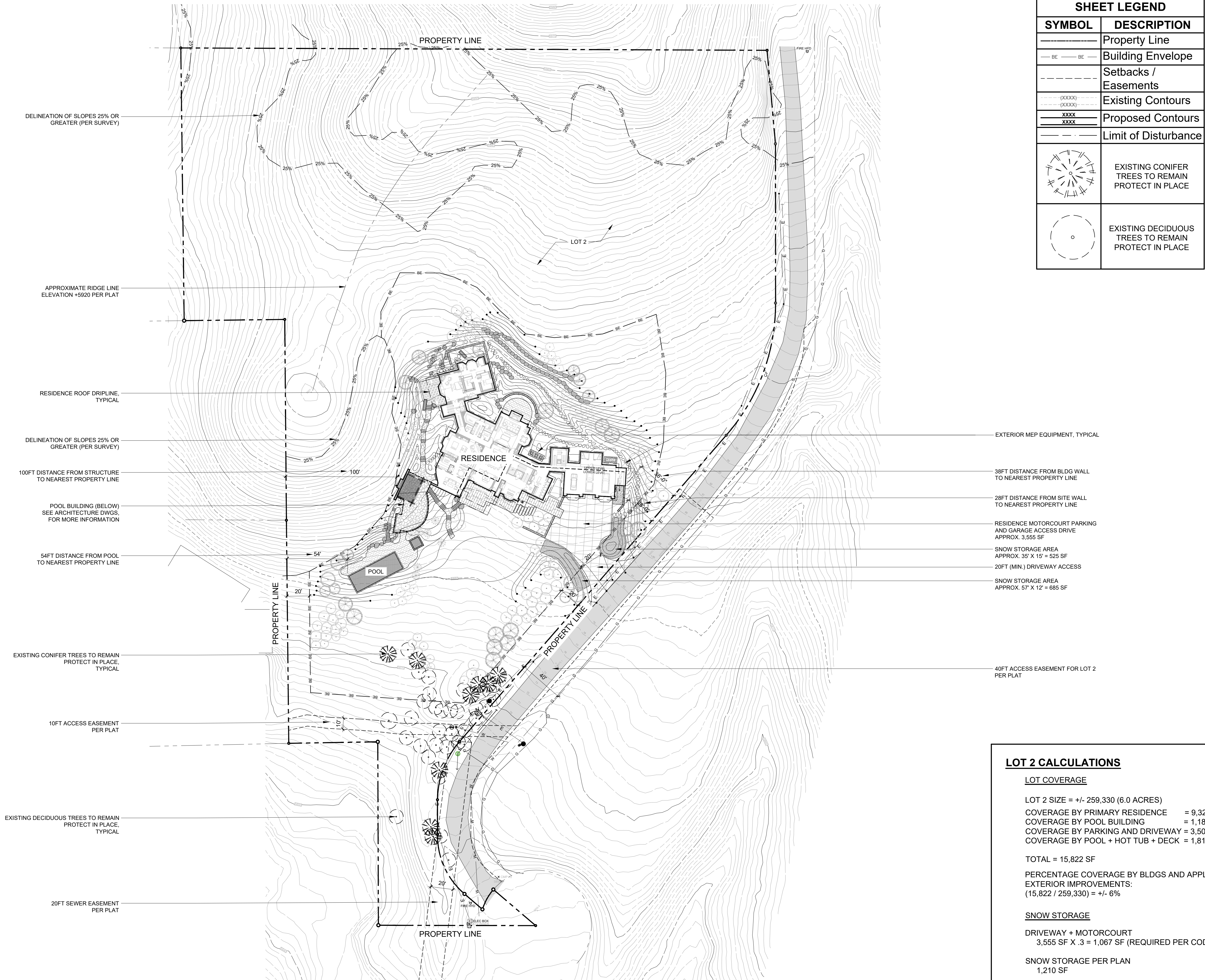


ACKNOWLEDGMENT

STATE OF IDAHO }
COUNTY OF BLAINE } ss
On this 22nd day of May, 1998, before me, a Notary Public in and for said State, personally appeared Richard D. Fosbury, known to me to be the person whose name is subscribed to the above Surveyor's Certificate and acknowledged to me that he executed the same.
IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

Richard D. Fosbury
Notary Public in and for the State of Idaho
Residing in Ketchum
My Commission Expires 5/15/04

KETCHUM CITY ENGINEER'S APPROVAL



SHEET LEGEND	
SYMBOL	DESCRIPTION
---	Property Line
BE BE	Building Envelope
---	Setbacks / Easements
(XXXX)	Existing Contours
XXXX	Proposed Contours
---	Limit of Disturbance
	EXISTING CONIFER TREES TO REMAIN PROTECT IN PLACE
	EXISTING DECIDUOUS TREES TO REMAIN PROTECT IN PLACE

DELINEATION OF SLOPES 25% OR GREATER (PER SURVEY)

APPROXIMATE RIDGE LINE ELEVATION +5920 PER PLAT

RESIDENCE ROOF DRIPLINE, TYPICAL

DELINEATION OF SLOPES 25% OR GREATER (PER SURVEY)

100FT DISTANCE FROM STRUCTURE TO NEAREST PROPERTY LINE

POOL BUILDING (BELOW) SEE ARCHITECTURE DWGS. FOR MORE INFORMATION

54FT DISTANCE FROM POOL TO NEAREST PROPERTY LINE

PROPERTY LINE

EXISTING CONIFER TREES TO REMAIN PROTECT IN PLACE, TYPICAL

10FT ACCESS EASEMENT PER PLAT

EXISTING DECIDUOUS TREES TO REMAIN PROTECT IN PLACE, TYPICAL

20FT SEWER EASEMENT PER PLAT

EXTERIOR MEP EQUIPMENT, TYPICAL

38FT DISTANCE FROM BLDG WALL TO NEAREST PROPERTY LINE

28FT DISTANCE FROM SITE WALL TO NEAREST PROPERTY LINE

RESIDENCE MOTORCOURT PARKING AND GARAGE ACCESS DRIVE APPROX. 3,555 SF

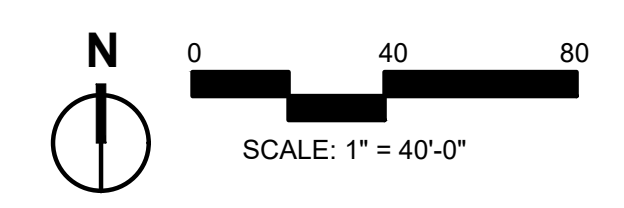
SNOW STORAGE AREA APPROX. 35' X 15' = 525 SF

20FT (MIN.) DRIVEWAY ACCESS

SNOW STORAGE AREA APPROX. 57' X 12' = 685 SF

40FT ACCESS EASEMENT FOR LOT 2 PER PLAT

LOT 2 CALCULATIONS	
<u>LOT COVERAGE</u>	
LOT 2 SIZE = +/- 259,330 (6.0 ACRES)	
COVERAGE BY PRIMARY RESIDENCE	= 9,320 SF
COVERAGE BY POOL BUILDING	= 1,187 SF
COVERAGE BY PARKING AND DRIVEWAY	= 3,500 SF
COVERAGE BY POOL + HOT TUB + DECK	= 1,815 SF
TOTAL	= 15,822 SF
PERCENTAGE COVERAGE BY BLDGS AND APPLICABLE EXTERIOR IMPROVEMENTS:	(15,822 / 259,330) = +/- 6%
<u>SNOW STORAGE</u>	
DRIVEWAY + MOTORCOURT	3,555 SF X .3 = 1,067 SF (REQUIRED PER CODE)
SNOW STORAGE PER PLAN	1,210 SF



LANDSCAPE DESIGN
307 GARNET STREET
KETCHUM, ID 83340

FILENAME: -
PROJECT MANAGER: **EM**
DRAWN BY:
ISSUE DATE: **10/20/2022**

OVERALL SITE PLAN

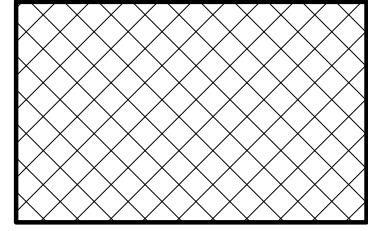
SHEET NO.

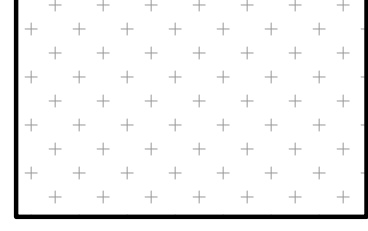
L-1.00



LOT 2 CALCULATIONS

LOT 2 BUILDING ENVELOPE SIZE = +/- 77,050

 DISTURBANCE TYPE 1
PERMANENT BUILT ELEMENTS
OR NON-NATIVE PLANTINGS
= +/- 23,350 SF

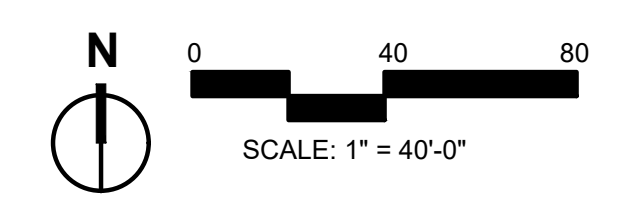
 DISTURBANCE TYPE 2
AREAS TO BE REVEGETATED
WITH NATIVE PLANTINGS
= +/- 26,575 SF

NATIVE HILLSIDE PLANTINGS TO REMAIN UNDISTURBED

NEW PLANTINGS TO BE PRIMARILY SELECTED FROM NATIVE PLANT PALETTE; SEE PLANTING SCHEDULE ON SHEET L-4.00 FOR MORE INFORMATION

NATIVE HILLSIDE PLANTINGS TO REMAIN UNDISTURBED

NEW PLANTINGS TO BE PRIMARILY SELECTED FROM NATIVE PLANT PALETTE; SEE PLANTING SCHEDULE ON SHEET L-4.00 FOR MORE INFORMATION



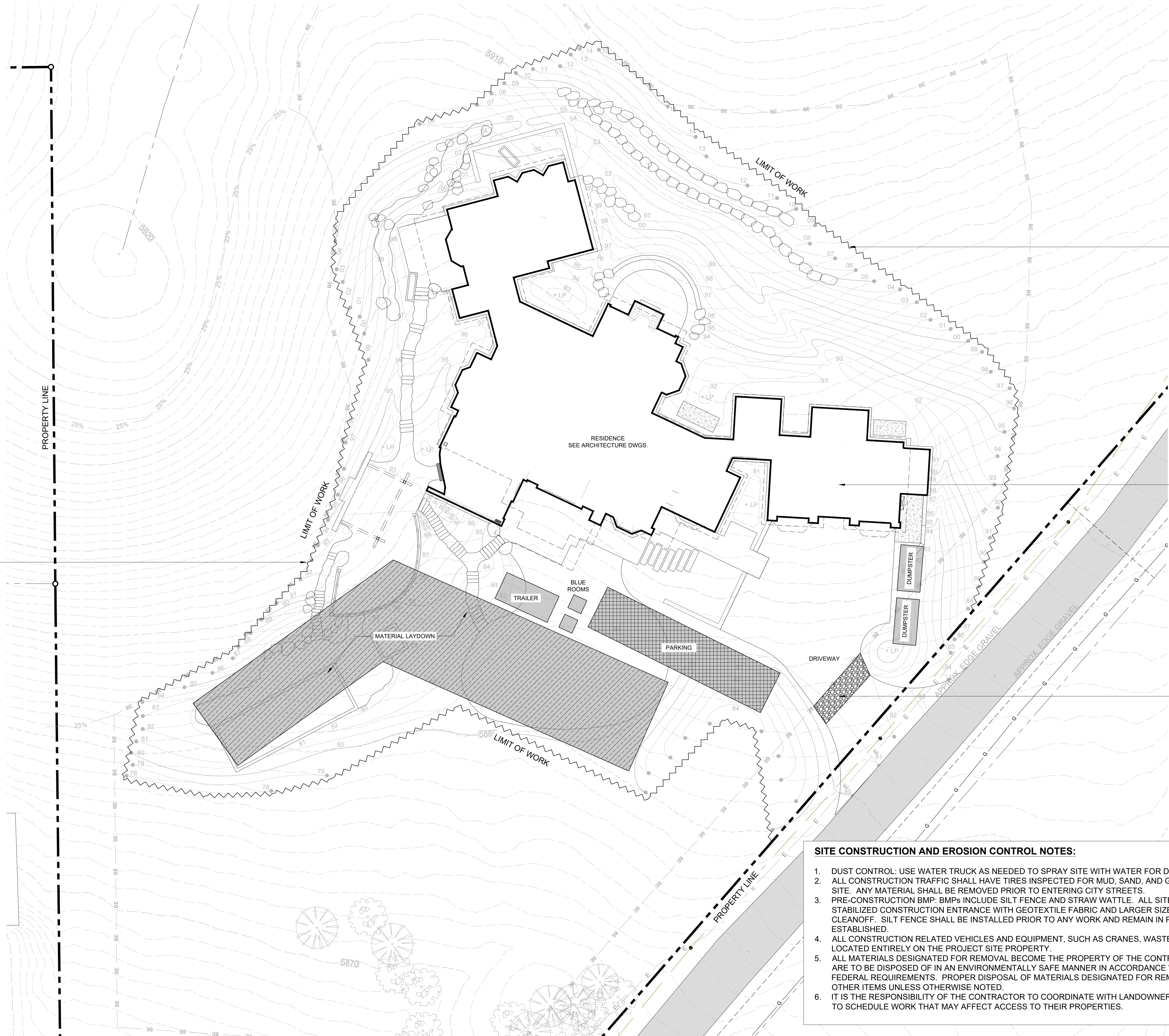
LANDSCAPE DESIGN
307 GARNET STREET
KETCHUM, ID 83340

FILENAME: _____
PROJECT MANAGER: **EM**
DRAWN BY: _____
ISSUE DATE: 10/20/2022

**OVERALL SITE
DISTURBANCE
AND
REVEGETATION
PLAN**

SHEET NO.

L-1.01



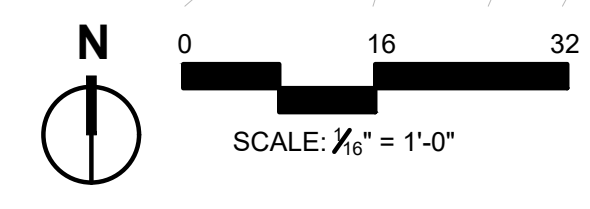
- SITE CONSTRUCTION AND EROSION CONTROL NOTES:**
1. DUST CONTROL: USE WATER TRUCK AS NEEDED TO SPRAY SITE WITH WATER FOR DUST CONTROL.
 2. ALL CONSTRUCTION TRAFFIC SHALL HAVE TIRES INSPECTED FOR MUD, SAND, AND GRAVEL PRIOR TO LEAVING SITE. ANY MATERIAL SHALL BE REMOVED PRIOR TO ENTERING CITY STREETS.
 3. PRE-CONSTRUCTION BMP: BMPs INCLUDE SILT FENCE AND STRAW WATTLE. ALL SITE ACCESS POINTS SHALL HAVE STABILIZED CONSTRUCTION ENTRANCE WITH GEOTEXTILE FABRIC AND LARGER SIZE AGGREGATE FOR TIRE CLEANOFF. SILT FENCE SHALL BE INSTALLED PRIOR TO ANY WORK AND REMAIN IN PLACE UNTIL SEED IS ESTABLISHED.
 4. ALL CONSTRUCTION RELATED VEHICLES AND EQUIPMENT, SUCH AS CRANES, WASTE DUMPSTERS, ETC. SHALL BE LOCATED ENTIRELY ON THE PROJECT SITE PROPERTY.
 5. ALL MATERIALS DESIGNATED FOR REMOVAL BECOME THE PROPERTY OF THE CONTRACTOR UPON REMOVAL AND ARE TO BE DISPOSED OF IN AN ENVIRONMENTALLY SAFE MANNER IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS. PROPER DISPOSAL OF MATERIALS DESIGNATED FOR REMOVAL ARE INCIDENTAL TO OTHER ITEMS UNLESS OTHERWISE NOTED.
 6. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH LANDOWNERS ADJACENT TO THE PROJECT TO SCHEDULE WORK THAT MAY AFFECT ACCESS TO THEIR PROPERTIES.

LANDSCAPE DESIGN
307 GARNET STREET
KETCHUM, ID 83340

FILENAME:
PROJECT MANAGER: **EM**
DRAWN BY:
ISSUE DATE: 10/20/2022

SITE CONSTRUCTION MANAGEMENT PLAN

SHEET NO.





SHEET LEGEND	
SYMBOL	DESCRIPTION
---	Property Line
BE	Building Envelope
---	Setbacks / Easements
(XXXX)	Existing Contours
XXXX	Proposed Contours
---	Limit of Disturbance

GRADING + DRAINAGE LEGEND	
SYMBOL	DESCRIPTION
⊕	Catch Basin
●	Dry Well
X.X%	Grade Pitch
→	Drainage Swale
+H.P.S	High Point of Swale
FFE	Finish Floor Elevation
10.5000	Spot Elevation
FG	Finished Grade
FS	Finished Surface
TS	Top of Step
BS	Bottom of Step
TW	Top of Wall
BW	Bottom of Wall
TC	Top of Coping
TB	Top of Boulder
LP	Low Point
HP	High Point

- NOTES**
- SEE CIVIL PLAN FOR ALL UTILITY LOCATIONS; CONTRACTOR TO VERIFY SITE UTILITIES AND INFRASTRUCTURE LOCATIONS PER CIVIL ENGINEER AS-BUILT DRAWINGS PRIOR TO CONSTRUCTION.
 - CONTRACTOR TO VERIFY TOP OF WALL ELEVATIONS WITH LANDSCAPE ARCHITECT PRIOR TO STARTING CONSTRUCTION.
 - REFER TO ARCHITECTURAL AND STRUCTURAL ENGINEERING PLANS FOR ALL FINISHED FLOOR ELEVATIONS (FEE).
 - GRADING SHOWN ON PLAN IS CONCEPTUAL AS SHOWN FOR DESIGN PURPOSED ONLY. LANDSCAPE ARCHITECT TO VERIFY FINAL GRADING ONSITE WITH CONTRACTOR.
 - CONTRACTOR SHALL UTILIZE 'BEST MANAGEMENT PRACTICES' (BMP) TO CONTROL EROSION AND SEDIMENTATION BEFORE AND DURING CONSTRUCTION.
 - CATCH BASINS AND DRYWELLS TO BE INSTALLED PER GEO-TECHNICAL ENGINEER RECOMMENDATIONS.
 - ALL GRADING AND TRENCHING WITHIN THE DRIPLINE OF EXISTING TREES TO BE DONE BY HAND WITH CARE TAKEN NOT TO CUT OR DAMAGE ROOTS OVER 1-INCH DIAMETER. TREES TO REMAIN SHALL BE FENCED WITH TEMPORARY FENCING, SUCH AS STEEL STAKES (MAX. 5 FEET O.C.) WITH WIRE MESH FABRICS (6X6 OPEN), CHAINLINK OR SIMILAR - HEIGHT TO BE 5-FEET MINIMUM. TEMPORARY IRRIGATION IS REQUIRED TO ALL EXISTING TREES TO REMAIN DURING CONSTRUCTION.
 - EXCAVATION CONTRACTOR TO LEAVE ALL REGIONS OF DISTURBED NATIVE AREA WITHIN 4" OF FINISHED GRADE. LANDSCAPER TO SUPPLY 4" OF TOP SOIL THROUGHOUT NATIVE PLANTING AND REHABILITATION AREA.
 - ALL RECLAIMED SLOPES GREATER THAN 3:1 MUST UTILIZE BIODEGRADABLE EROSION CONTROL MAT.

LANDSCAPE DESIGN
307 GARNET STREET
KETCHUM, ID 83340

FILENAME: 1
PROJECT MANAGER: EM
DRAWN BY:
ISSUE DATE: 10/20/2022

**SITE GRADING +
DRAINAGE PLAN**

SHEET NO.

LANDSCAPE DESIGN
307 GARNET STREET
KETCHUM, ID 83340

FILENAME: L-3.00
PROJECT MANAGER: EM
DRAWN BY:
ISSUE DATE: 10/20/2022

**SITE MATERIALS
+ LAYOUT PLAN**

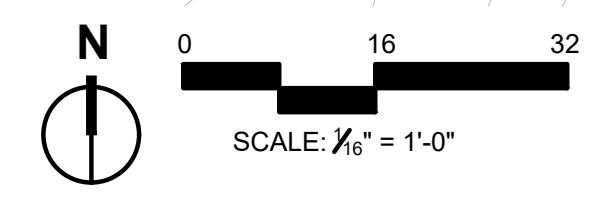
SHEET NO.

L-3.00



- MASTER BATH GARDEN SITE RETAINING WALL HEIGHT VARIES - MAX. 72" HT. FULL DEPTH STONE VENEER STONE TYPE: TBD
- MASTER BATHROOM GARDEN WATER FEATURE TROUGH
- STONE BOULDER IN LANDSCAPE STONE TYPE: TBD
- GARDEN PATHWAY STONE SLAB STEPPERS STONE TYPE: TBD
- MASTER BEDROOM TERRACE STONE PAVING
- WATER FEATURE TROUGH
- STONE SLAB STEPS STONE TYPE: TBD
- TERRACE CONNECTION PATHWAY STONE PAVING
- FIRE DEPT. STANDPIPE LOCATION ON BUILDING
- PROPERTY LINE
- LOUNGE TERRACE SITE RETAINING WALL HEIGHT VARIES - MAX. 96" FULL DEPTH STONE VENEER STONE TYPE: TBD
- LOUNGE TERRACE OVERHEAD SHADE STRUCTURE
- STONE SLAB STEPS STONE TYPE: TBD
- TERRACE GUARDRAIL 42" HT MIN.
- STONE SLAB STEPS STONE TYPE: TBD
- LOUNGE TERRACE STONE PAVING
- POOL BUILDING WALL SEE ARCHITECTURE DRAWINGS FOR MORE INFORMATION
- POOL EQUIPMENT ROOM ACCESS DOOR
- CUSTOM HOT TUB (8' X 8')
- POOL DECK STONE PAVING
- POOL TO HAVE SAFETY COVER THAT MEETS ASTM F1346-91 STANDARDS AS RELATES TO WEIGHT BEARING CAPACITY / PERFORMANCE.

- STONE BOULDER RETAINING WALL HEIGHT VARIES - MAX. 36" HT. STONE TYPE: TBD
- GAME ROOM TERRACE SITE RETAINING WALL HEIGHT VARIES - MAX. 48" HT. FULL DEPTH STONE VENEER STONE TYPE: TBD
- STONE BOULDER RETAINING WALL HEIGHT VARIES - MAX. 48" HT. STONE TYPE: TBD
- STONE BOULDER RETAINING WALL HEIGHT VARIES - MAX. 48" HT. STONE TYPE: TBD
- GAME ROOM TERRACE STONE PAVING
- STONE BOULDER RETAINING WALL HEIGHT VARIES - MAX. 36" HT. STONE TYPE: TBD
- FIRE DEPT. STANDPIPE LOCATION ON BUILDING
- ACCESS PATHWAY STONE SLAB STEPPERS
- EAST GARAGE SITE RETAINING WALL HEIGHT VARIES - 72" HT. MAX FULL DEPTH STONE VENEER STONE TYPE: TBD
- ENTRY GARDEN SITE WALL 48" HT. FULL DEPTH STONE VENEER STONE TYPE: TBD
- ENTRY WALK STONE PAVING
- ENTRY GARDEN SITE WALL 48" HT. FULL DEPTH STONE VENEER STONE TYPE: TBD
- RESIDENCE VEHICLE MOTORCOURT PAVING TYPE: UNIT PAVERS
- SNOW STORAGE AREA
- SOUTH TERRACE STONE PAVING
- DRIVEWAY APRON / ENTRY
- EXISTING GRAVEL ACCESS DRIVE



PLANTING NOTES:

1. ALL SOIL PREPARATION AND PLANTING OPERATIONS SHALL BE CONDUCTED UNDER FAVORABLE WEATHER CONDITIONS ONLY. SOIL SHALL NOT BE WORKED WHEN EXCESSIVELY DRY OR WET, AND THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO STOP ANY WORK TAKING PLACE DURING A PERIOD WHEN CONDITIONS ARE CONSIDERED DETRIMENTAL TO SOIL STRUCTURE OR PLANT GROWTH.
2. MULCH: INSTALL A MIN 3" LAYER OF MULCH AROUND ALL TREES AND SHRUBS AND IN ALL PLANTING AREAS UNLESS OTHERWISE NOTED CREATE A NATURAL SPADED EDGE WHERE PLANTING BEDS MEET TURF AREAS.
3. FINISH GRADE VERIFICATION: FINISH GRADE TO BE 1" BELOW FINISH PAVING SURFACE IN LAWN AREAS AND 2" BELOW IN PLANTING AREAS. VERIFY PLANTING AREAS ARE GRADED AT +/- 0.2 FOOT TO FINISH GRADE, PRIOR TO LANDSCAPE INSTALLATION.
4. PLANT MATERIAL AND ACQUISITION: PROVIDE SINGLE TRUNK STANDARD TREES UNLESS NOTED OTHERWISE. NOTIFY THE OWNER'S REPRESENTATIVE AT THE TIME OF DELIVERY OF ANY PLANT MATERIAL THAT IS DAMAGED OR IN POOR CONDITION. OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO INSPECT ALL PLANT MATERIALS BEFORE PLANTING. MATERIAL MAY BE REJECTED AT ANY TIME DUE TO CONDITION, FORM OR DAMAGE BEFORE OR AFTER PLANTING. PROVIDE IDENTIFICATION TAG FROM THE SUPPLYING NURSERY SHOWING COMMON AND BOTANICAL PLANT NAMES FOR AT LEAST ONE PLANT OF EACH SPECIES DELIVERED TO THE SITE. PROTECT ALL PLANTS AGAINST HEAT, SUN, WIND AND FROST DURING TRANSPORTATION TO THE SITE AND WHILE BEING HELD AT THE SITE. DO NOT STORE PLANTS IN TOTAL DARKNESS MORE THAN ONE DAY. CONTRACTOR IS RESPONSIBLE FOR WATERING ALL PLANT MATERIALS ON-SITE DURING CONSTRUCTION.
5. PLANT PACKAGING: ALL CONTAINERS/PACKAGING SHALL REMAIN IN PLACE UNTIL IMMEDIATELY PRIOR TO PLANTING. ANY STOCK IN CONTAINERS SHALL BE REMOVED FROM CONTAINERS AND THE CONTAINER BALL SHALL BE CUT VERTICALLY AS NECESSARY TO LOOSEN ROOTS. REMOVE ALL PLANT TAGS, TYING MATERIAL AND MARKING TAPES AT THE TIME OF PLANTING.
6. PLANT QUALITY: ALL PLANT MATERIAL SHALL BE SELECTED AT NURSERY BY OWNER'S REPRESENTATIVE. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO INSPECT AND REJECT PLANT MATERIAL AT ANY POINT FROM DELIVERY THROUGH WARRANTY PERIOD, CONTRACTOR TO REPLACE MATERIAL DURING CURRENT PLANTING WINDOW. ALL MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE CURRENT AMERICAN STANDARD FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
7. PLANT QUANTITIES: THE PLANT SCHEDULE IS PROVIDED AS AN AID ONLY. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING SHOWN ON ALL DRAWINGS.
PLANTING DETAILS: REFER TO PLANTING DETAILS AND OR SPECIFICATIONS FOR PLANT INSTALLATION REQUIREMENTS.
8. PLANTING LAYOUT: THE PLANTING PLANS ARE DIAGRAMMATIC. SITE PLANT MATERIALS APPROXIMATELY AS SHOWN ON THE LANDSCAPE DRAWING AND NOTIFY OWNER'S REPRESENTATIVE FOR REVIEW, PRIOR TO PLANTING. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO ADJUST PLANTS TO EXACT LOCATION IN FIELD.
9. INITIAL PRUNING: PRUNE ONLY DEAD OR DAMAGED LIMBS, OR AS DIRECTED BY LANDSCAPE ARCHITECT.
10. STAKING: TREE STAKING SHALL BE AT THE CONTRACTOR'S DISCRETION, BUT CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE, AND OR REPLACEMENT/REPLANTING NECESSARY DUE TO WIND DISPLACEMENT OF PLANT MATERIALS.
11. WATERING REQUIREMENTS: ALL PLANTS SHALL BE WATERED THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING. ALL PLANTS SHALL THEN BE WATERED AS NECESSARY, DURING THE FIRST GROWING SEASON.
12. WORK ORDER: ALL SUBSURFACE WORK, INCLUDING UTILITY AND IRRIGATION SHALL BE INSTALLED AND FUNCTIONAL, PRIOR TO THE INSTALLATION OF ANY PROPOSED LANDSCAPING. STAKE LOCATION OF ALL TREES, HEDGE LINES AND PLANTING BEDS AND NOTIFY OWNER'S REPRESENTATIVE FOR REVIEW PRIOR TO PLANTING. TREES AND SHRUBS MUST BE INSTALLED PRIOR TO PERENNIALS AND GRASSES TO ESTABLISH PROPER LAYOUT AND TO AVOID DAMAGE TO SMALLER PLANTINGS.

SOIL PREPARATION NOTES:

1. BED PREPARATION: PREPARE SOILS IN PLANTING AREAS BY ROTO-TILLING AMENDMENT AND TOPSOIL TO A DEPTH OF 8" BELOW FINISHED SOIL SURFACE IN ALL PLANTED AREAS. TREES WILL REQUIRE OVER-EXCAVATION AND BACKFILL WITH AMENDED SOIL.
2. DE-COMPACTION: SUBSOILING IN PLANTING AREAS SHOULD BE PERFORMED AS REQUIRED, AT A DEPTH OF 12-24 INCHES IN SUCH A MANNER AS WILL FRACTURE COMPACTED SOIL WITHOUT ADVERSELY DISPLACING SURFACE SOIL, OR DISTURBING PLANT LIFE, TOPSOIL AND SURFACE RESIDUE. MULTIPLE PASSES AT VARYING ANGLES ARE REQUIRED TO ENSURE SUITABILITY FOR GROWTH. WHEN USING DISC OR RIPPING EQUIPMENT, IT IS REQUIRED THAT THE FINAL PASSES OVER THE AREA BE MADE WITH A ROTO-TILLER TO BREAK UP ANY LARGE CLUMPS TO MAKE FINAL GRADING EASIER. PROPER EQUIPMENT, AND METHOD ARE CRITICAL.
LANDSCAPE CONSTRUCTION COMPACTION MITIGATION: COMPACTION DURING CONSTRUCTION SHOULD BE MINIMIZED AS POSSIBLE AND REMEDIATED AS REQUIRED TO LESS THAN 80% USING METHODS DESCRIBED, PRIOR TO PLANT INSTALLATION.
3. THE LANDSCAPE CONTRACTOR SHALL COMPLETE THE FOLLOWING. STRIP EXISTING TOPSOIL AND STOCKPILE ON SITE FOR LATER USE. CONDUCT A SOIL EVALUATION AND PROVIDE WRITTEN LAB REPORT TO DETERMINE THE EXISTING SOIL'S:
COMPOSITION, COMPACTION RATE, NUTRIENT QUALITIES, ORGANIC CONTENT, PH LEVELS, AND WATER HOLDING CAPABILITIES
4. THE IDEAL PARTICLE SOIL MIX FOR THIS PROJECT IS APPROXIMATELY 45% SAND, 40% SILT, 10% CLAY AND 5% ORGANIC MATERIAL WITH A PH LEVEL NEAR SEVEN. PRIOR TO THE INSTALLATION OF THE LANDSCAPE AND IRRIGATION SYSTEM, CONTRACTOR TO PREPARE SOIL TO ENSURE A PROPER ENVIRONMENT FOR PLANT ROOT DEVELOPMENT.
SOIL AMENDMENT: AFTER INITIAL SOIL DE-COMPACTION PROCEDURES ARE PERFORMED, SOIL AMENDMENTS SHOULD BE ADDED. THE ADDITION OF SOIL AMENDMENTS IS DETERMINED FROM SOIL TESTS CONDUCTED PRIOR TO WORK COMMENCING. SOIL AMENDMENT MAY INCLUDE INORGANIC MATERIAL SUCH AS SAND, SILT OR CLAY, WHICH HELP IMPROVE SOIL TEXTURE. ORGANIC MATERIAL SUCH AS COMPOST, MANURE, AND PEAT MOSS MAY ALSO BE USED AND HELP IMPROVE SOIL STRUCTURE. OTHER AMENDMENTS SHALL BE ADDED AS SPECIFIED IN REQUIRED SOILS REPORT. ALL AMENDMENTS SHOULD BE MIXED THOROUGHLY WITH EXISTING SOIL AND AN ADDITIONAL SOIL TEST WILL BE TAKEN TO ENSURE PROPER SOIL CONDITIONS PRIOR TO PLANTING.
5. SUPPLEMENTAL TOPSOIL: IF NECESSARY, PROVIDE NEW TOPSOIL THAT IS FERTILE, FRIABLE AND NATURAL LOAM SURFACE SOIL, REASONABLY FREE OF SUBSOIL, CLAY, CLAY LUMPS, BRUSH WEEDS, AND OTHER LITTER AND FREE OF ROOTS, STUMPS, STONES LARGER THAN 2" IN ANY DIMENSION AND OTHER EXTRANEIOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH. OBTAIN TOPSOIL FROM LOCAL SOURCES OR FROM AREAS HAVING SIMILAR SOIL CHARACTERISTICS TO THAT NECESSARY FOR VIGOROUS GROWTH OF SPECIFIED PLANTINGS. OBTAIN TOPSOIL THAT OCCURS IN A DEPTH OF NOT LESS THAN 6". DO NOT OBTAIN SOIL FROM BOGS OR MARSHES.
6. TURF/SOD PREPARATION: PREPARE SOILS IN SEED AND SOD AREAS BY ROTO-TILLING AMENDMENT AND TOPSOIL TO A DEPTH OF 4" BELOW FINISHED SOIL SURFACE

IRRIGATION NOTES:

1. CODES: IRRIGATION SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH ALL LOCAL CODES AND MANUFACTURER'S SPECIFICATIONS. NOTIFY LANDSCAPE ARCHITECT BY TELEPHONE AND IN WRITING OF ANY CONFLICTS PRIOR TO INSTALLATION.
2. SEEDED & REVEGETATED AREAS: SHALL BE IRRIGATED BY TEMPORARY OVERHEAD SPRAY WITH AN AUTOMATIC SYSTEM. THIS SYSTEM MAY BE ABANDONED WHEN PLANTINGS HAVE BEEN CLEARLY ESTABLISHED AFTER A MINIMUM OF TWO GROWING SEASONS
3. LAWN AREAS: SHALL BE IRRIGATED BY SUBSURFACE DRIP TUBING WITH A PERMANENT AUTOMATIC SYSTEM.
4. SHRUB, TREE, AND GROUND COVER AREAS: SHALL BE DRIP IRRIGATED WITH A PERMANENT AUTOMATIC SYSTEM.
5. DRIP TO BE ON SEPARATE ZONE, COORDINATE ALL SLEEVING WITH APPROPRIATE CONTRACTORS.
6. SLEEVING: TO BE INSTALLED BY LANDSCAPE CONTRACTOR PRIOR TO IRRIGATION WORK - CONTRACTOR SHALL ADEQUATELY SIZE ALL SLEEVES SHOWN ON PLAN. SLEEVES SHALL BE INSTALLED AT THE NECESSARY DEPTHS PRIOR TO PAVEMENT CONSTRUCTION. SLEEVING SHALL EXTEND 1'-0" FROM EDGE OF PAVEMENT INTO LAWN OR PLANTING AREA, AND SHALL HAVE ENDS CLEARLY MARKED ABOVE GRADE.
7. SYSTEM DAMAGE: SHOULD THE MAINLINE OR OTHER COMPONENTS BREAK OR BE SHUT OFF FOR ANY REASON DURING THE COURSE OF CONSTRUCTION THAT CONTRACTOR SHALL HANDWATER ANY INSTALLED PLANTS. THE CONTRACTOR SHALL CONTINUE TO DO SO UNTIL THE IRRIGATION SYSTEM IS OPERABLE.
8. UTILITIES: CONTRACTOR SHALL VERIFY LOCATION OF ALL ON-SITE UTILITIES. RESTORATION OF DAMAGED UTILITIES SHALL BE MADE AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE OWNER.

PLANTING SCHEDULE

TREES				
SYMBOL	CODE	PROPOSED SPECIES:	QUANTITY / SIZE	SPACING
	AG	ROCKY MOUNTAIN MAPLE <i>ACER GLABRUM</i>	8 TOTAL AT 10' HT.	PER PLAN
	CD	BLACK HAWTHORN <i>CRATAEGUS DOUGLASII</i>	5 TOTAL AT 10' HT.	PER PLAN
	JS	ROCKY MOUNTAIN JUNIPER <i>JUNIPEROUS SCOPULORUM</i>	7 TOTAL AT 10' HT.	PER PLAN
	PL	LODGEPOLE PINE <i>PINUS CONTORTA LATIFOLIA</i>	5 TOTAL AT 14' HT.	PER PLAN
	PT	QUAKING ASPEN <i>POPULUS TREMULOIDES</i>	25 TOTAL AT 4" CAL. 30 TOTAL AT 2" CAL. 30 TOTAL AT 1" CAL.	PER PLAN
	PM	DOUGLAS FIR <i>PSEUDOTSUGA MENZIESII</i>	12 TOTAL AT 14' HT. 3 TOTAL AT 12' HT. 5 TOTAL AT 10' HT. 3 TOTAL AT 8' HT.	PER PLAN
	PV	CHOKECHERRY <i>PRUNUS VIRGINIANA</i>	24 TOTAL AT 8' - 10' HT.	PER PLAN
SHRUBS				
SYMBOL	CODE	PROPOSED SPECIES:	QUANTITY / SIZE	SPACING
	AR	REGENT SERVICEBERRY <i>AMELANCHIER ALNIFOLIA 'REGENT'</i>	147 TOTAL 5 GAL.	PER PLAN
	CR	RUBBER RABBITBRUSH <i>CHRYSOTHAMNUS NAUSEOSUS</i>	50 TOTAL 5 GAL.	PER PLAN
	JM	MONTANA COMMON JUNIPER <i>JUNIPEROUS COMMUNIS 'MONTANA'</i>	113 TOTAL 2 GAL.	PER PLAN
	PA	ABBOTSWOOD BUSH CINQUEFOIL <i>POTENTILLA FRUTICOSA 'ABBOTSWOOD'</i>	114 TOTAL 2 GAL.	PER PLAN
	RA	ALPINE CURRANT <i>RIBES ALPINUM</i>	100 TOTAL 5 GAL.	PER PLAN
	RC	GOLDEN CURRANT <i>RIBES AUREUM</i>	51 TOTAL 5 GAL.	PER PLAN

GROUND COVER				
SYMBOL	ZONE	SEED MIX / RATE		AREA
		COMMON NAME	RATE (LBS OF PLS / ACRE)	
	NATIVE REVEGETATION TYPE 1 (PLUGS)	SHEEP FESCUE IDAHO FESCUE BLUEBUNCH WHEATGRASS BLUE FLAX SAGEBRUSH SILVER LUPINE BASIN WILDRYE		4,800 SF
	NATIVE REVEGETATION TYPE 2 (SEEDED)	SHEEP FESCUE IDAHO FESCUE BLUEBUNCH WHEATGRASS BLUE FLAX ARROWLEAF BALSAMROOT		15,400 SF
	PLAY LAWN	FESCUE TURF GRASS (SOD - DROUGHT TOLERANT)		3,350 SF

LANDSCAPE DESIGN

307 GARNET STREET

KETCHUM, ID 83340

FILENAME: L-4.01
PROJECT MANAGER: EM
DRAWN BY:
ISSUE DATE: 10/20/2022

SITE PLANTING PLAN

SHEET NO.

L-4.01



QUAKING ASPEN
(*POPULUS TREMULOIDES*)
1 OF 85 TOTAL

NATIVE REVEGETATION AREA - TYPE 2
SEE SHEET L4.0 FOR MORE INFORMATION
ON SPECIES MIX

NATIVE REVEGETATION AREA - TYPE 1
SEE SHEET L4.0 FOR MORE INFORMATION
ON SPECIES MIX

ROCKY MOUNTAIN MAPLE
(*ACER GLABRUM*)
1 OF 10 TOTAL

18" WIDE GRAVEL BORDER AT
INTERFACE WITH STRUCTURE, TYPICAL
ALL AROUND

ABBOTSWOOD BUSH CINQUEFOIL
POTENTILLA FRUTICOSA 'ABBOTSWOOD'

REGENT SERVICEBERRY
(*AMELANCHIER ALNIFOLIA* 'REGENT')

ROCKY MTN JUNIPER
(*JUNIPEROUS SCOPULORUM*)
1 OF 7 TOTAL

MONTANA COMMON JUNIPER
(*JUNIPEROUS COMMUNIS* 'MONTANA')

DOUGLAS FIR
(*PSEUDOTSUGA MENZIESII*)

LODGEPOLE PINE
(*PINUS CONTORTA LATIFOLIA*)
1 OF 5 TOTAL

CHOKECHERRY
(*PRUNUS VIRGINIANA*)

QUAKING ASPEN
(*POPULUS TREMULOIDES*)

CHOKECHERRY
(*PRUNUS VIRGINIANA*)
1 OF 24 TOTAL

GOLDEN CURRANT
RIBES AUREUM

BLACK HAWTHORN
(*CRATAEGUS DOUGLASII*)
1 OF 5 TOTAL

RUBBER RABBITBRUSH
CHRYSOTHAMNUS NAUSEOSUS

NATIVE REVEGETATION AREA - TYPE 2
SEE SHEET L4.0 FOR MORE INFORMATION
ON SPECIES MIX

LINE INDICATING 10FT OFFSET FROM
RESIDENCE ROOFLINE OR STRUCTURE;
NO TREE CANOPIES TO EXTEND INTO THIS
ZONE

18" WIDE GRAVEL BORDER AT
INTERFACE WITH STRUCTURE, TYPICAL
ALL AROUND

QUAKING ASPEN
(*POPULUS TREMULOIDES*)

QUAKING ASPEN
(*POPULUS TREMULOIDES*)

NATIVE REVEGETATION AREA - TYPE 1
SEE SHEET L4.0 FOR MORE INFORMATION
ON SPECIES MIX

DOUGLAS FIR
(*PSEUDOTSUGA MENZIESII*)
1 OF 23 TOTAL

ALPINE CURRANT
RIBES ALPINUM

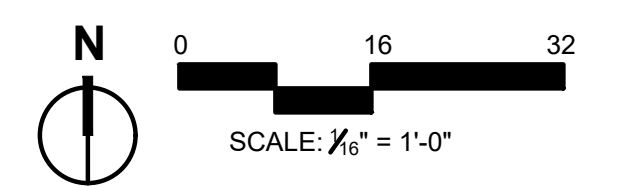
LODGEPOLE PINE
(*PINUS CONTORTA LATIFOLIA*)

QUAKING ASPEN
(*POPULUS TREMULOIDES*)

DOUGLAS FIR
(*PSEUDOTSUGA MENZIESII*)

EXISTING DECIDUOUS TREE TO REMAIN
TYPICAL

EXISTING CONIFER TREE TO REMAIN
TYPICAL



Z:\Dropbox\McGavick 2021\Drawings\Autocad\Current Working_Set\A0 Renderings.dwg



○ West Perspective Rendering - Master and Main Wings



○ East Perspective Rendering - Garage and Main Wings



○ Southwest Perspective Rendering



○ South (Front) Perspective Rendering - All Wings

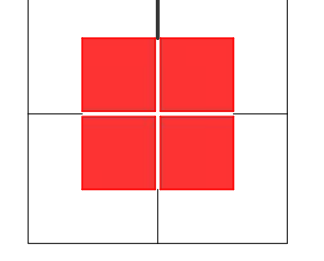
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REVISIONS:		
#	Description	Date

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McGavick Residence
 Location: Lot 2, Esmeralda South Subdivision
 City of Kelchum, Blaine County, Idaho
 Parcel #
 Job #: 0406.19

McLaughlin & Associates Architects
 Chartered, AIA
 Telephone: 208.226.9392
 Fax: 208.226.4779
 www.mclaughlinarchitects.com
 Kelchum, ID 83340
 Shipping: 100 South Leadville Ave, 3rd floor



Project Issue Date:
10-21-2022
MOD Final Submittal

Renderings

MD1LG2 RD 300LM WL Housing
LED 12V Wet Location Round Mini Housing

Product Submittal Description:
Mini LED Housing, 12V, Round, 300 lumens, 2700K, 60° CR, Foot Back

Product Website: www.junolighting.com/products/md1lg2

Item	Description	Quantity	Unit	Notes
1	MD1LG2 RD 300LM WL Housing	1	ea	

MD1LG2 RD 300LM WL Housing

Technical Drawings:
The drawings shown are for illustrative purposes only and do not represent the actual product.

Light Fixture 'A'

DestinationLighting
Customer Service: 1-800-653-6535 or customerservice@destinationlighting.com
M-F: 7am-5pm & Sunday: 11am-5pm (PST)
8-inch Black LED Tube Architectural Flush Mount 2700K 3395LM

Product Number: F1307973
Manufacturer: Wac Lighting
Model Number: DS-C08-F2-BK
Collection: Tube Architectural

Manufacturer Finish: R28
Material: Aluminum
Shipping: UPS Regular

Manufacturer Shade Color: R28
Certification Agencies: ETL
Energy Efficiency: 175 lm/w

Wet Location: Yes
Damp Location: Yes
Harsh Environment: No
Weight: 5.14 lb

Average Rated Life: 60,000 hrs
Voltage Type: Low Voltage
Voltage Range: 120-277 V
Dimmable: With Electronic
Lumen: 3395
Height: 11.75 in.
Color Rendering Index: 90
Made in America: No
Beam Spread: Flood
Beam Spread Degree: 40

Base Type: Integrated LED
Number of Bulbs: 1
Bulb Included: No
Beam Spread: Flood
Beam Spread Degree: 40

EnergStar Compliant: Yes
Dimmable: Yes
Material: Aluminum
Shipping: UPS Regular

Light Fixture 'B'

WAC LANDSCAPE LIGHTING
4031

Feature Type:

Catalog Number:

Project:

Location:

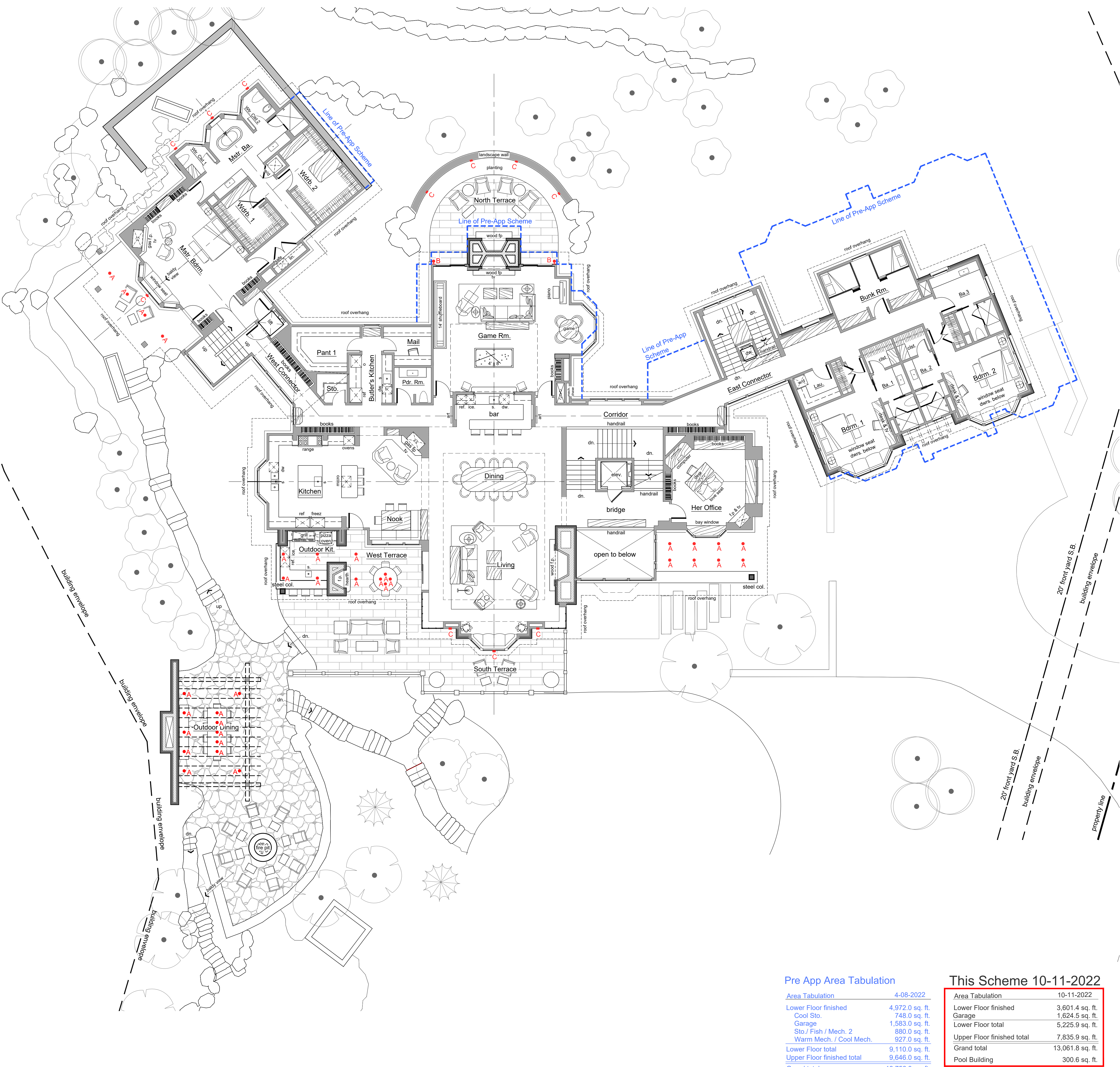
RECTANGLE STEP LIGHTS 12V
4031

PRODUCT DESCRIPTION:
Historical landscape lighting designed for safety and style on terraces, patios, decks, and walkways.

FEATURES:
- Full decorative profile with full cut-off illumination
- 100% of light directed downwards
- 2700K, 2.75" x 2.75" x 2.75" for easy installation and maintenance
- Protected against high pressure water jets
- 100% LED lighting
- Landscape transformer required (sold separately)

Ordering Number	Color	Size	Material	Notes
4031	Black	2.75" x 2.75" x 2.75"	Aluminum	

Light Fixture 'C'



Pre App Area Tabulation		This Scheme 10-11-2022	
Area Tabulation	4-08-2022	Area Tabulation	10-11-2022
Lower Floor finished	4,972.0 sq. ft.	Lower Floor finished	3,601.4 sq. ft.
Cool Sto.	748.0 sq. ft.	Garage	1,624.5 sq. ft.
Garage	1,583.0 sq. ft.	Sto./ Fish / Mech. 2	880.0 sq. ft.
Sto./ Fish / Mech. 2	880.0 sq. ft.	Warm Mech. / Cool Mech.	927.0 sq. ft.
Warm Mech. / Cool Mech.	927.0 sq. ft.	Lower Floor total	9,110.0 sq. ft.
Lower Floor total	9,110.0 sq. ft.	Upper Floor finished total	7,835.9 sq. ft.
Upper Floor finished total	9,646.0 sq. ft.	Grand total	13,061.8 sq. ft.
Grand total	18,756.0 sq. ft.	Pool Building	300.6 sq. ft.
Pool Building	1,187.0 sq. ft.		

Upper Level Floor Plan / Exterior Lighting Plan
1/8" = 1'-0"

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REVISIONS:

Rev	Description	Date

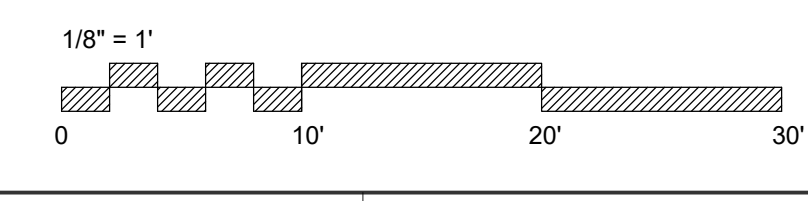
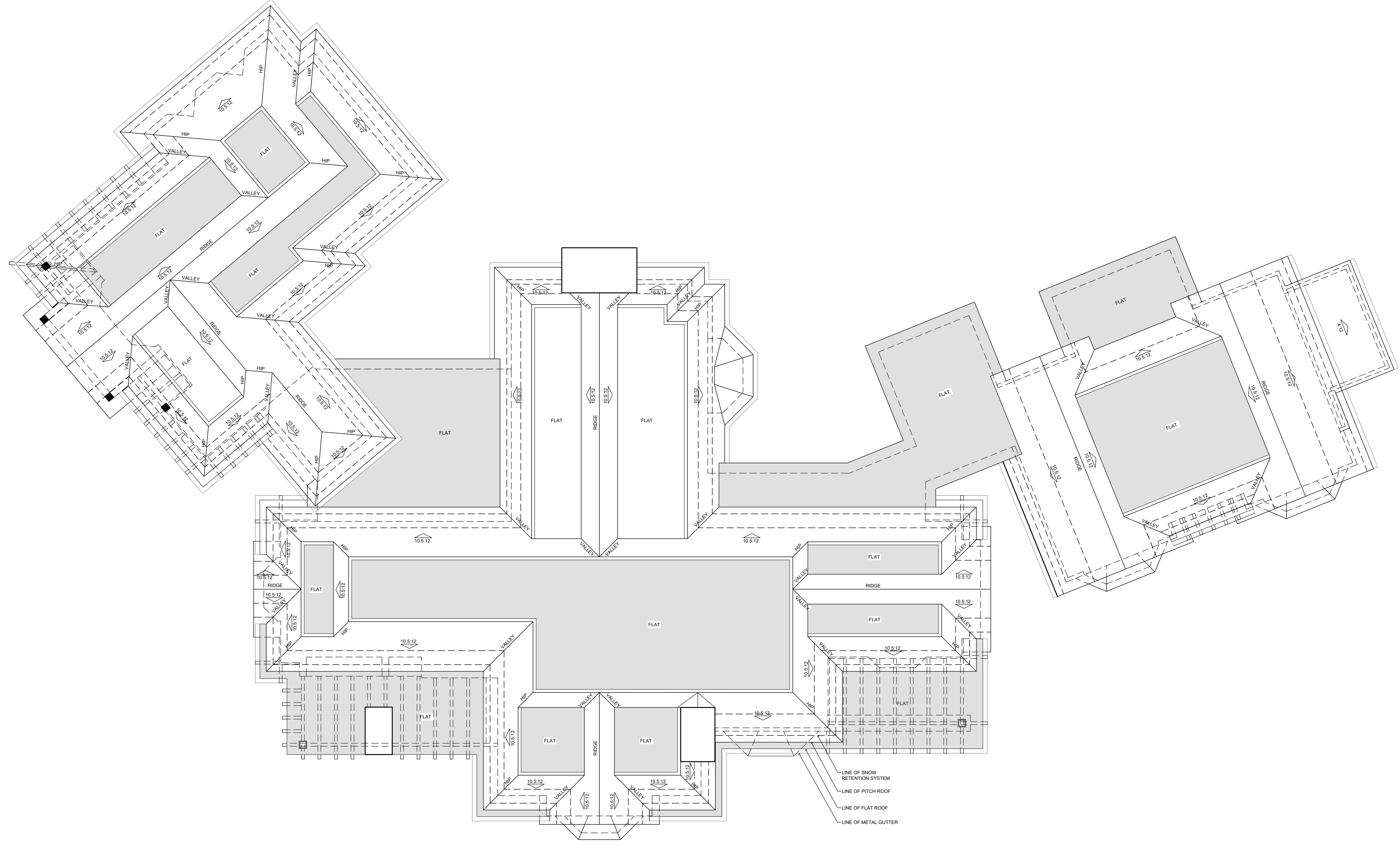
McLaughlin & Associates Architects
Chartered, AIA
100 South Leadville Ave, 3rd floor
Boulder, CO 80501
Phone: 303.440.4779
www.mclaughlinarchitects.com

McGavick Residence
Location: Lot 2, Esmeralda South Subdivision
City of Kelchum, Blaine County, Idaho
Parcel #
JOB #: 0406.19

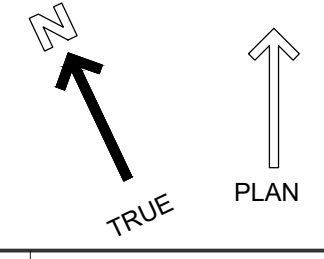
Project Issue Date: 10-21-2022
MOD Final Submittal

A2

Z:\Dropbox\McGavick 2021\Drawings\AutoCAD\Current Working Set\A3 Roof Plan.dwg 10/21/2022 10:25 AM



Roof Plan
1/8" = 1'-0"



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Chartered, AIA

Project Issue Date:
10-21-2022
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Roof Plan

A3

McGavick Residence

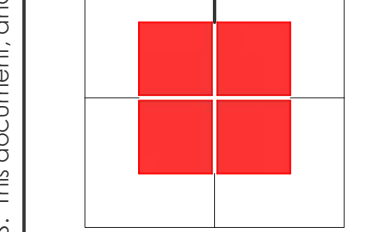
Location: Lot 2, Esmeralda South Subdivision
City of Ketchum, Blaine County, Idaho
Parcel #
JOB #: 0406.19

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McGavick Residence

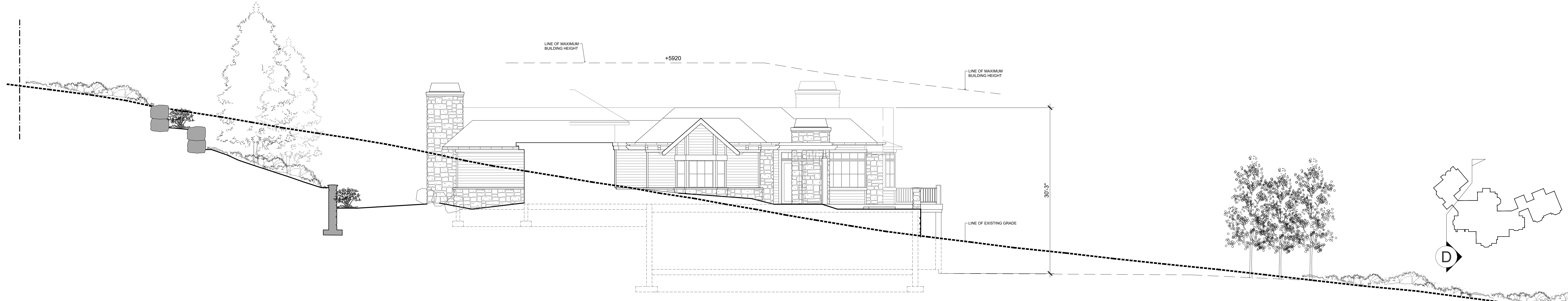
Location: Lot 2, Emerald South Subdivision
City of Kelchum, Blaine County, Idaho
Parcel #
JOB #: 0406.19

McLaughlin & Associates Architects
Chartered, AIA
mailing: 208 26 9392
Sun Valley, ID 83353
www.mclaughlinarchitects.com
kelchum: ID 83340

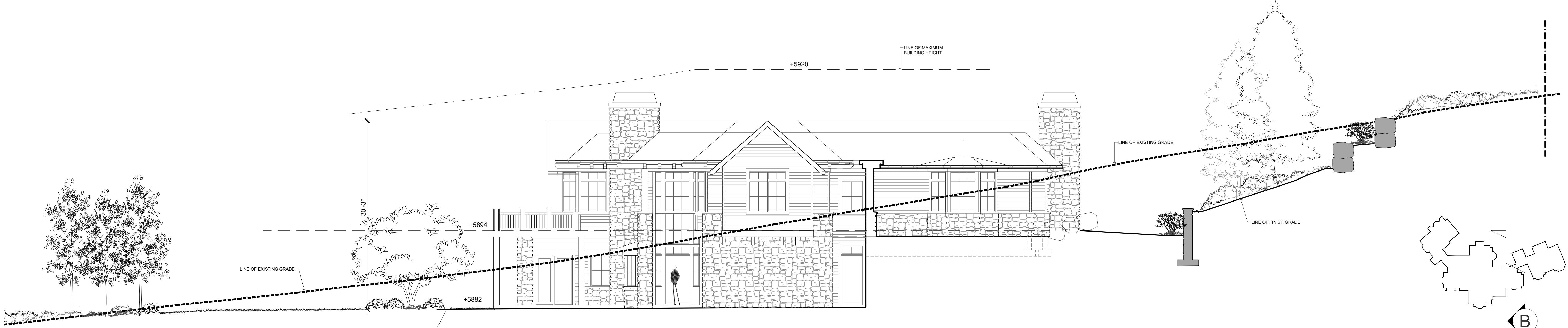


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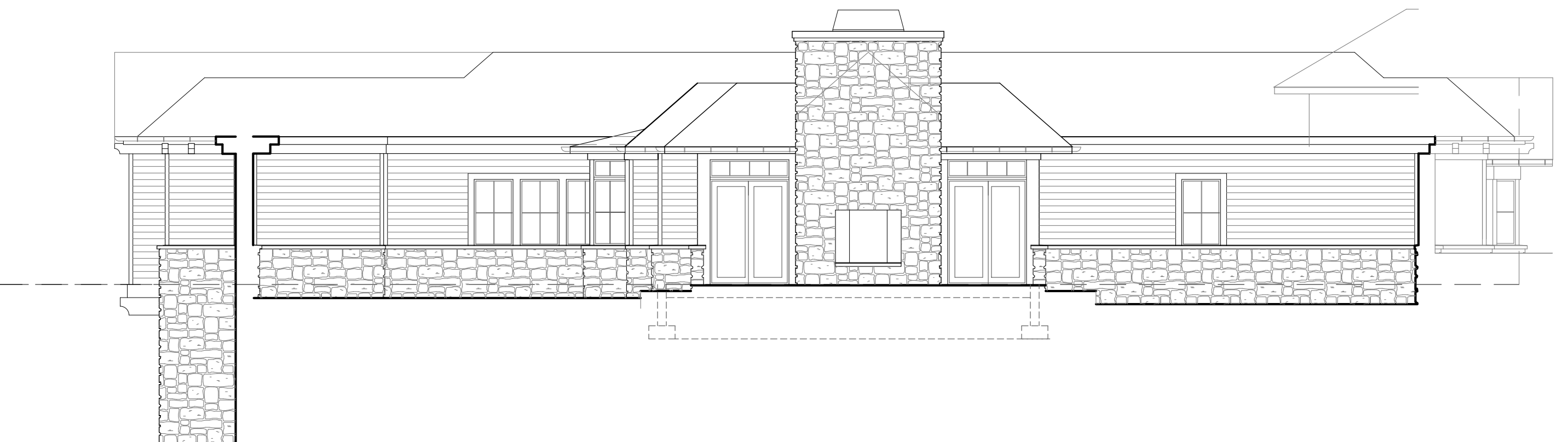
Exterior Elevations



D Main Wing Left Elevation
1/8" = 1'-0"



B Main Wing Right Elevation
1/8" = 1'-0"



C Main Wing Rear Elevation
1/8" = 1'-0"



A Main Wing Front Elevation
1/8" = 1'-0"



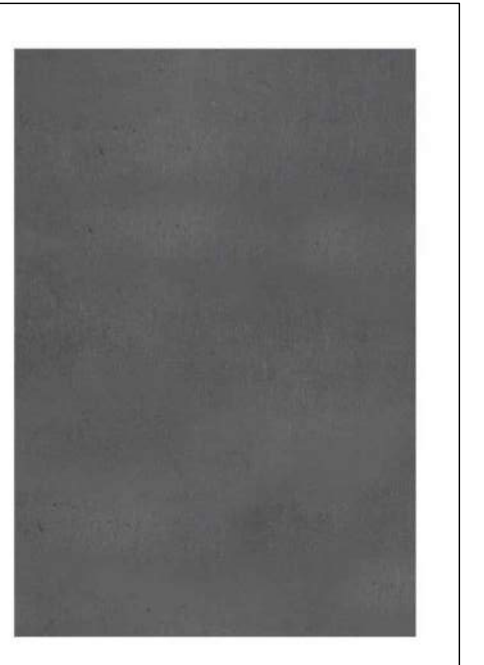
Typical Roofing
DaVinci select composite shake roofing



Typical Wood Siding
Rustic reclaimed fir siding



Typical Stone Veneer
Light limestone, wide grout joints



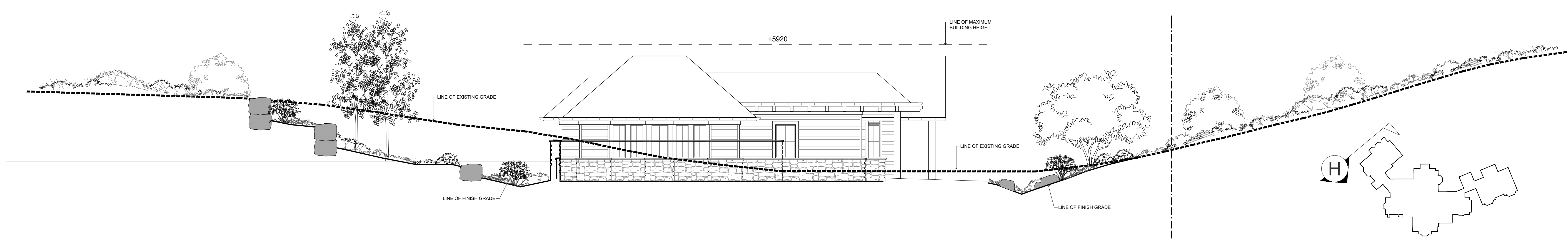
Typical Metal Accent
Chimney shrouds, misc. roof flashing



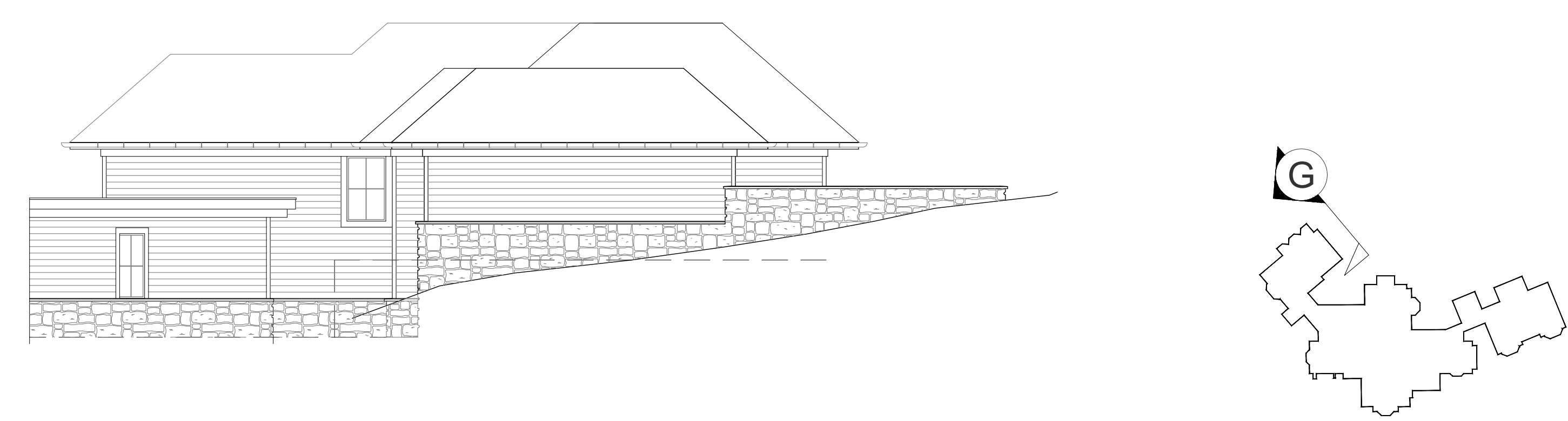
Typical Trim Accents
White painted roof fascia, misc. painted trims

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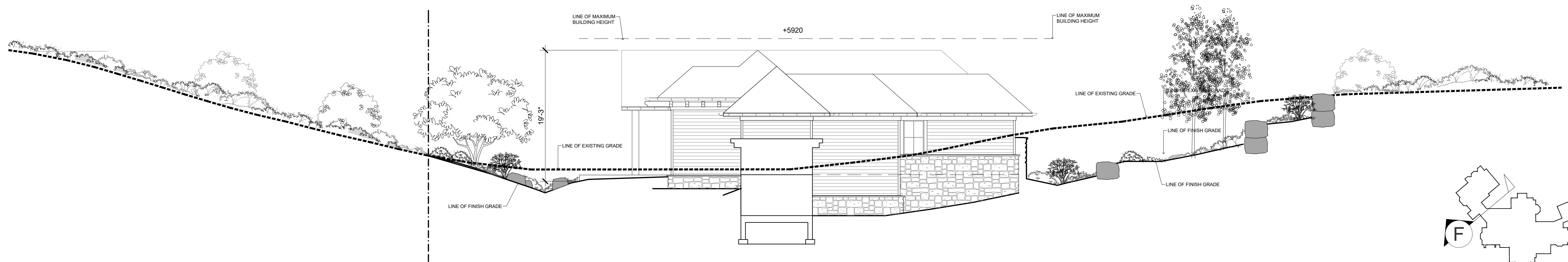
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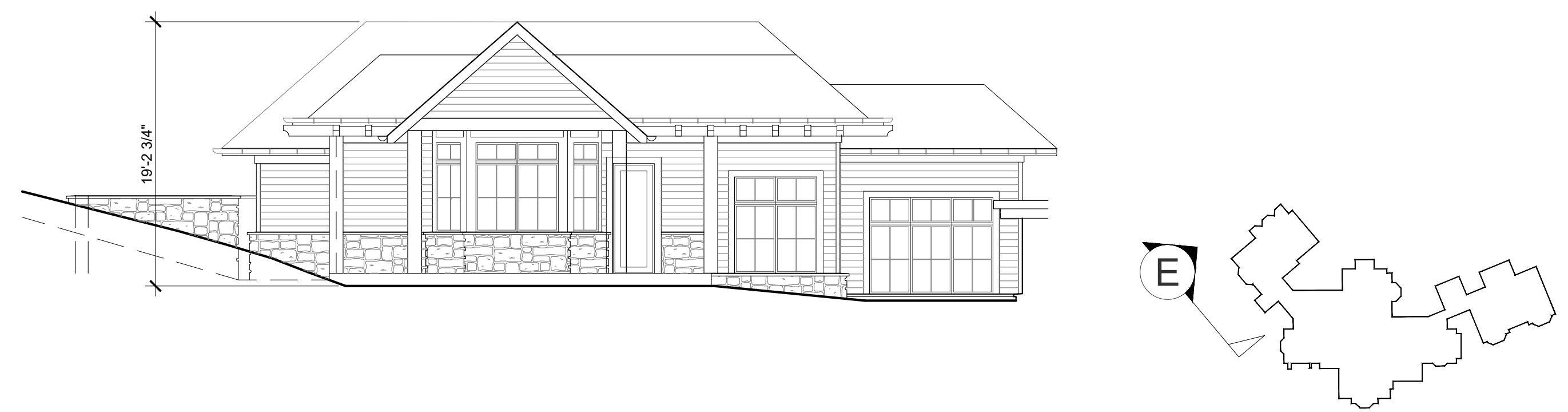
H Master Wing Left Elevation
1/8" = 1'-0"



G Master Wing Rear Elevation
1/8" = 1'-0"



F Master Wing Right Elevation
1/8" = 1'-0"



E Master Wing Front Elevation
1/8" = 1'-0"

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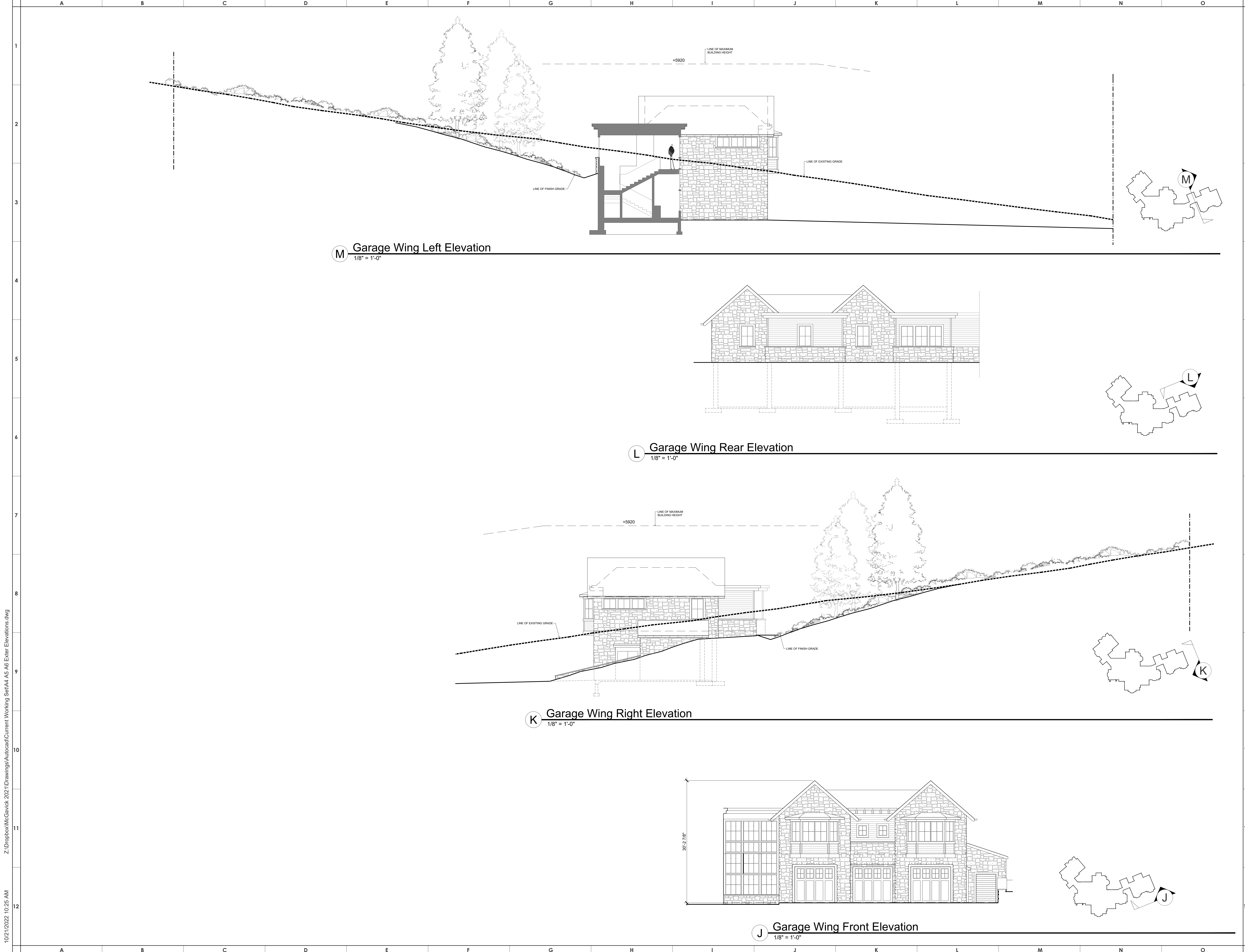
Project Issue Date: 10-21-2022
MOD Final Submittal
Exterior Elevations
A5

McLaughlin & Associates Architects
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Ketchum, ID 83340

McGavick Residence
Location: Lot 2, Esmeralda South Subdivision
City of Ketchum, Blaine County, Idaho
Parcel #
JOB #: 0406.19



M Garage Wing Left Elevation
1/8" = 1'-0"

L Garage Wing Rear Elevation
1/8" = 1'-0"

K Garage Wing Right Elevation
1/8" = 1'-0"

J Garage Wing Front Elevation
1/8" = 1'-0"

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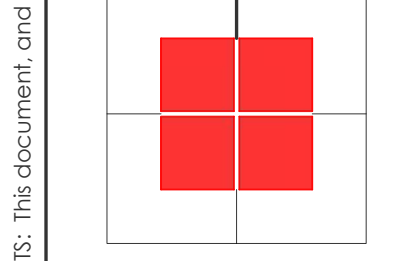
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McGavick Residence
 Location: Lot 2, Emeraldia South Subdivision
 City of Ketchum, Blaine County, Idaho
 Parcel #
 JOB #: 0406.19

McLaughlin & Associates Architects
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 Ketchum, ID 83340
 Shipping: 100 South Leadville Ave, 3rd floor



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Exterior Elevations

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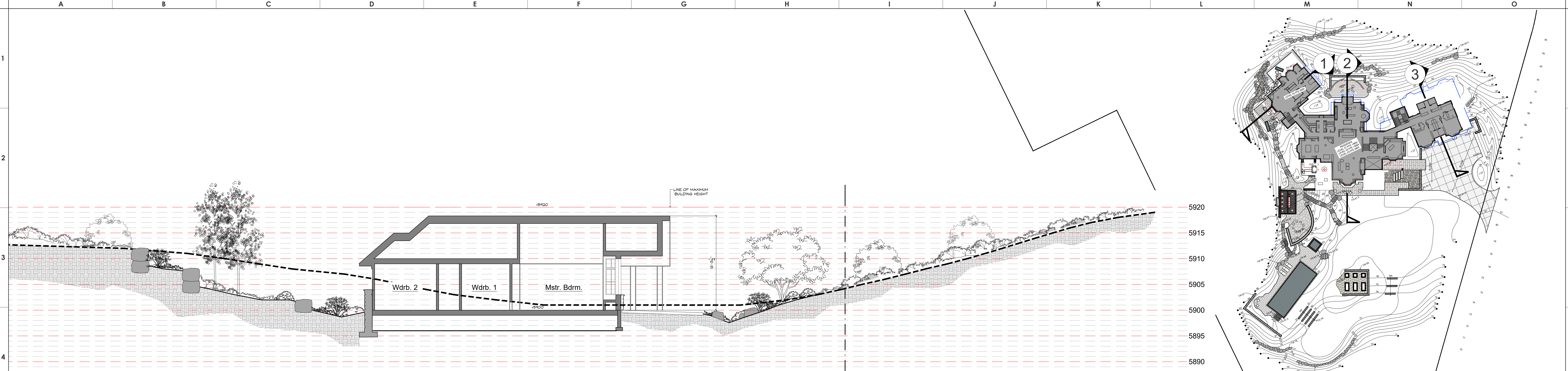
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C:\Users\bernie\Dropbox\McGavick 2021\Drawings\Autocad\Current Working Set\A7 Sections Site.dwg 2/2/2023 10:38 AM

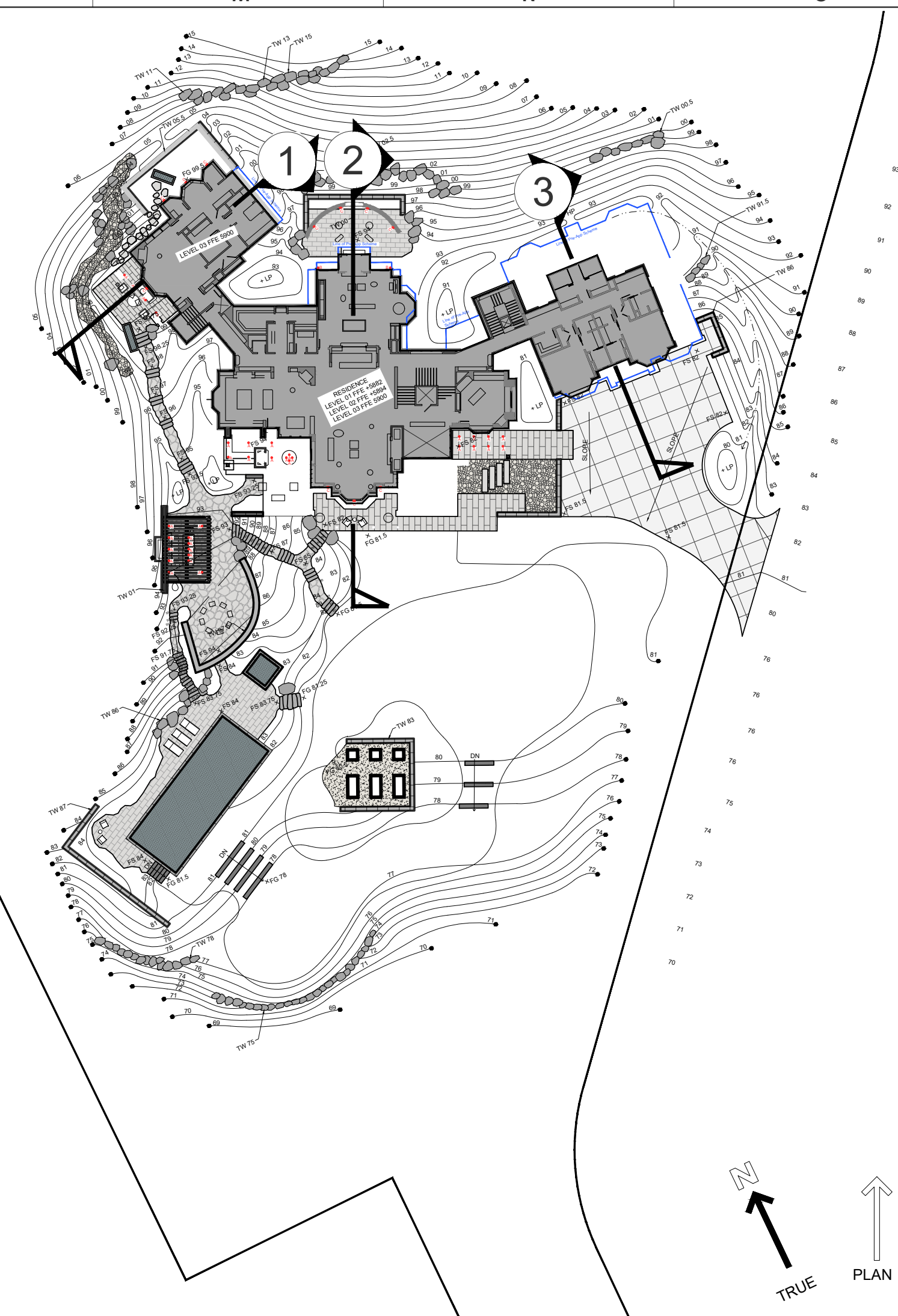
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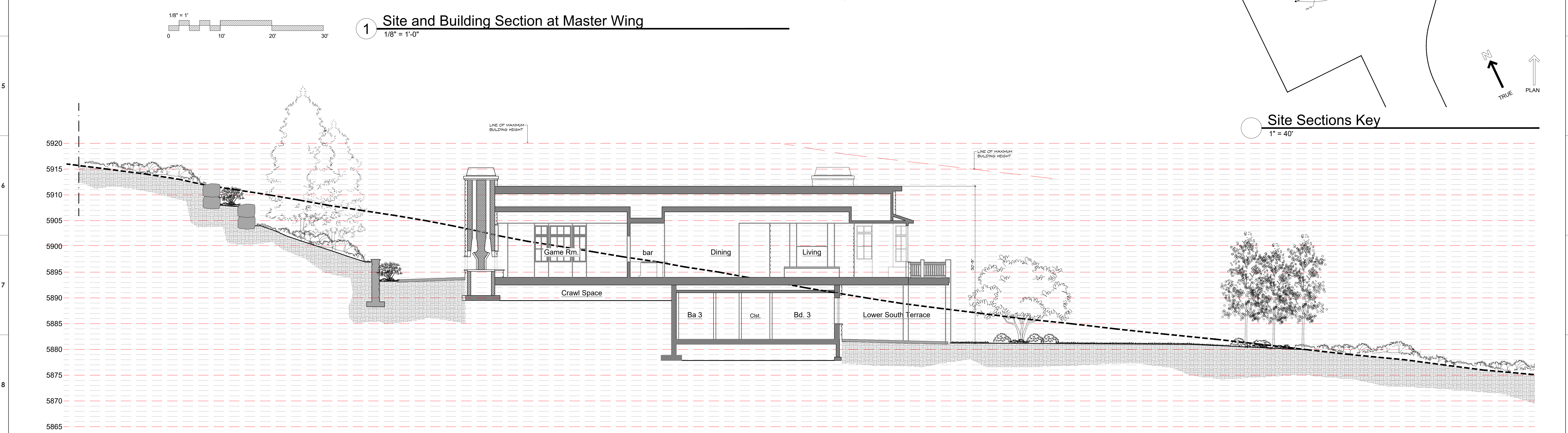
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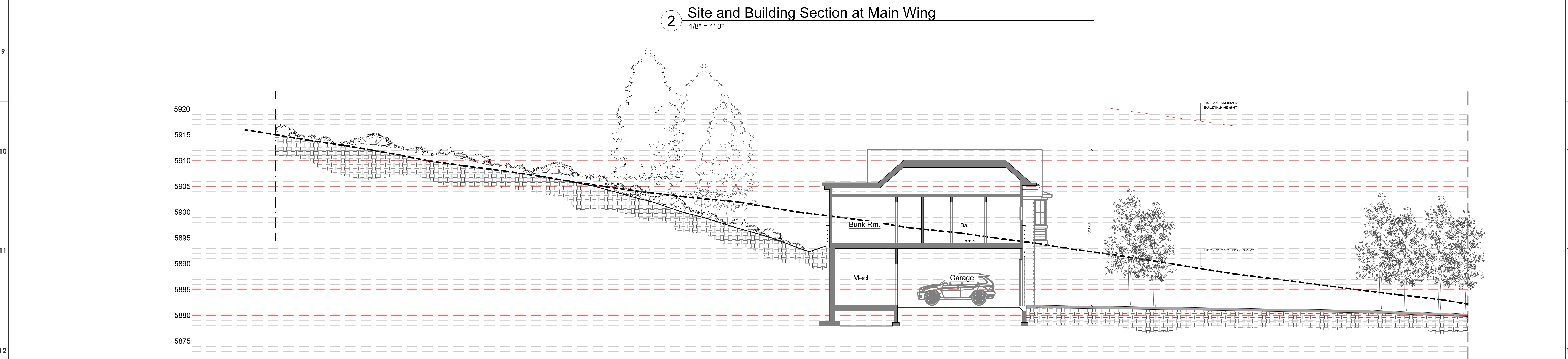
1 Site and Building Section at Master Wing
1/8" = 1'-0"



Site Sections Key
1" = 40'



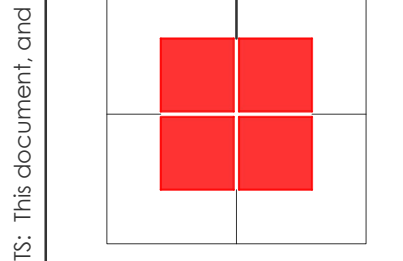
2 Site and Building Section at Main Wing
1/8" = 1'-0"



3 Site and Building Section at Main Wing
1/8" = 1'-0"

McGavick Residence
 Location: Lot 2, Esmeralda South Subdivision
 City of Ketchum, Blaine County, Idaho
 Parcel #
 JOB #: 0406.19

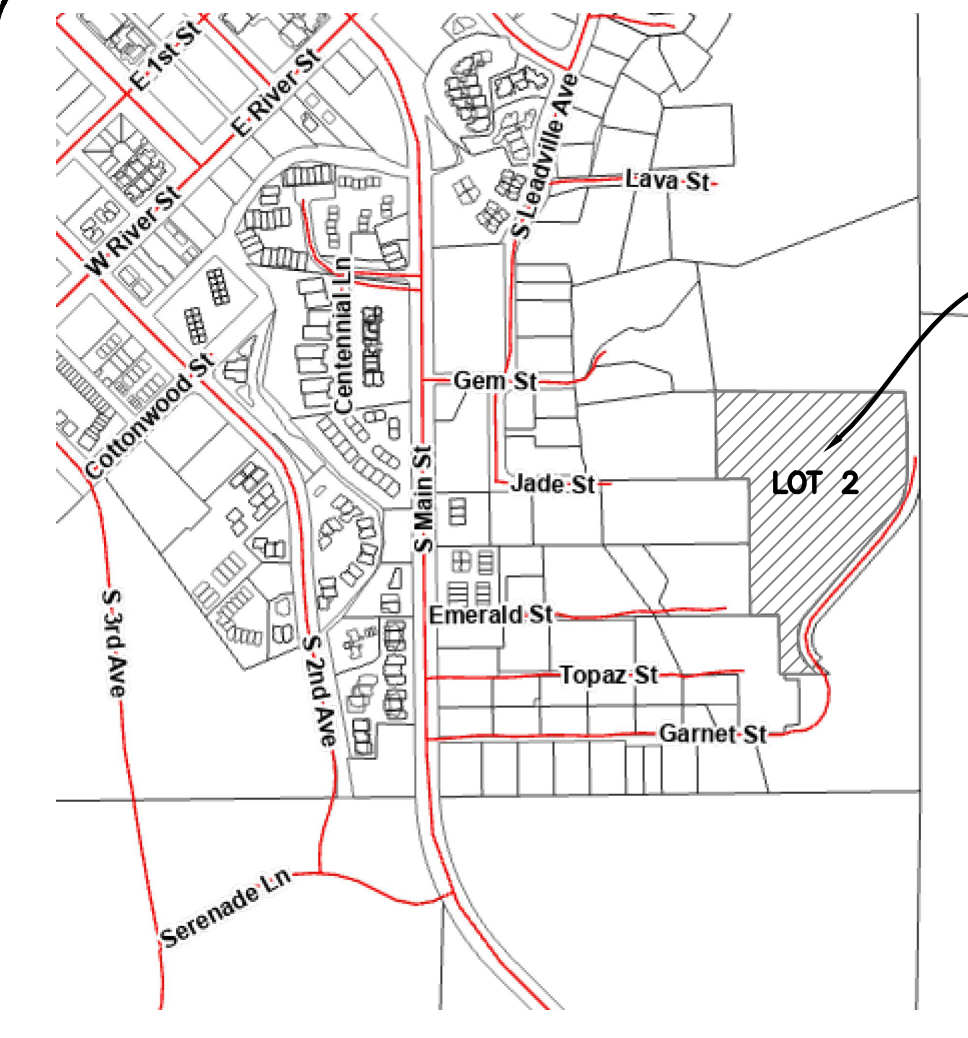
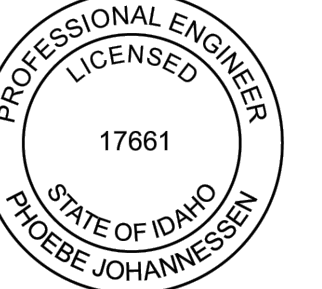
McLaughlin & Associates Architects
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 Telephone: 208.266.9392
 Fax: 208.266.4779
 www.mclaughlinarchitects.com
 100 South Leadville Ave., 3rd floor
 Ketchum, ID 83340



Project Issue Date:
10-21-2022
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Site and Bldg. Sections

A7



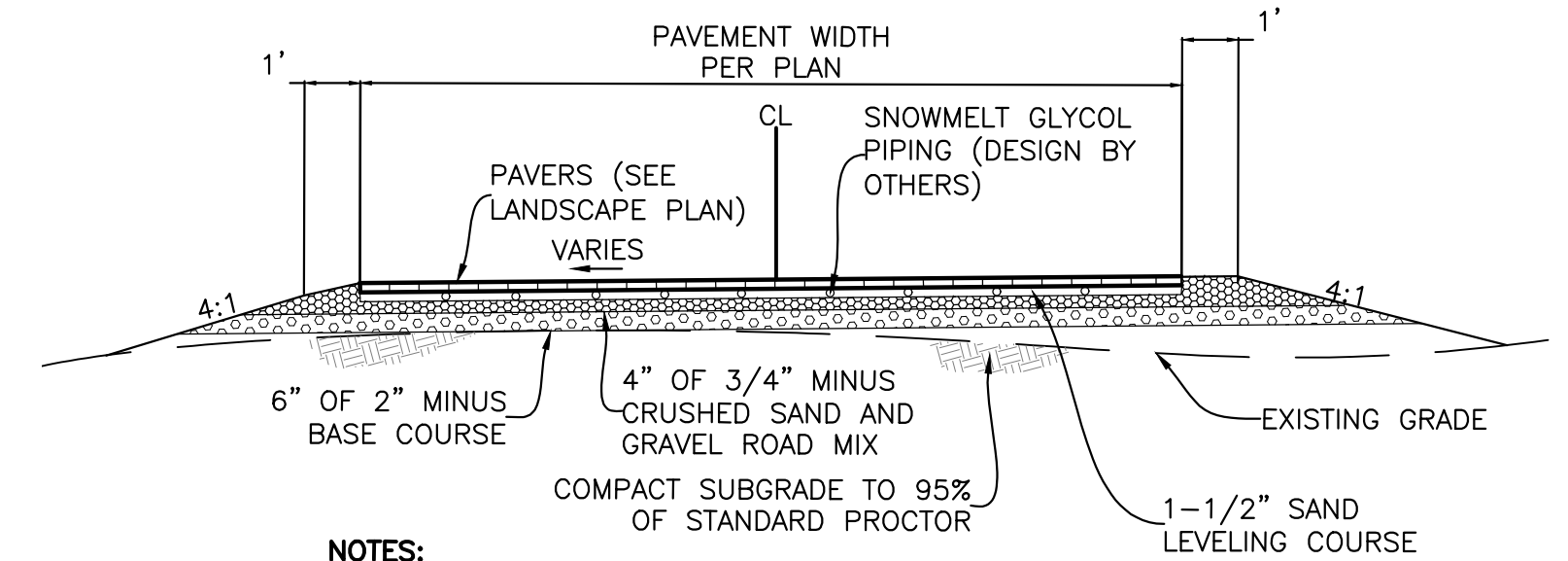
VICINITY MAP

GENERAL NOTES

- CONTRACTOR SHALL FIELD VERIFY LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING CONSTRUCTION. ANY CONFLICT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
- CONTRACTOR SHALL NOTIFY DIGLINE (1-800-342-1585) AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES ENCOUNTERED DURING CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL DURING THE CONSTRUCTION OF ALL ITEMS HEREON. DUST CONTROL SHALL BE CONTINUOUS DURING CONSTRUCTION, 24 HOURS PER DAY 7 DAYS PER WEEK. THE CONTRACTOR SHALL FOLLOW THE REQUIREMENTS OF THE STORM WATER POLLUTION PREVENTION PROGRAM AT ALL TIMES UNTIL PERMANENT EROSION CONTROL IS ESTABLISHED.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM THE HOUSE.
- ALL WORK WITHIN THE CITY RIGHT OF WAY SHALL CONFORM TO CITY OF KETCHUM STANDARDS.
- REFER TO SHEET C3 FOR STORM DRAIN PROFILES.

LEGEND

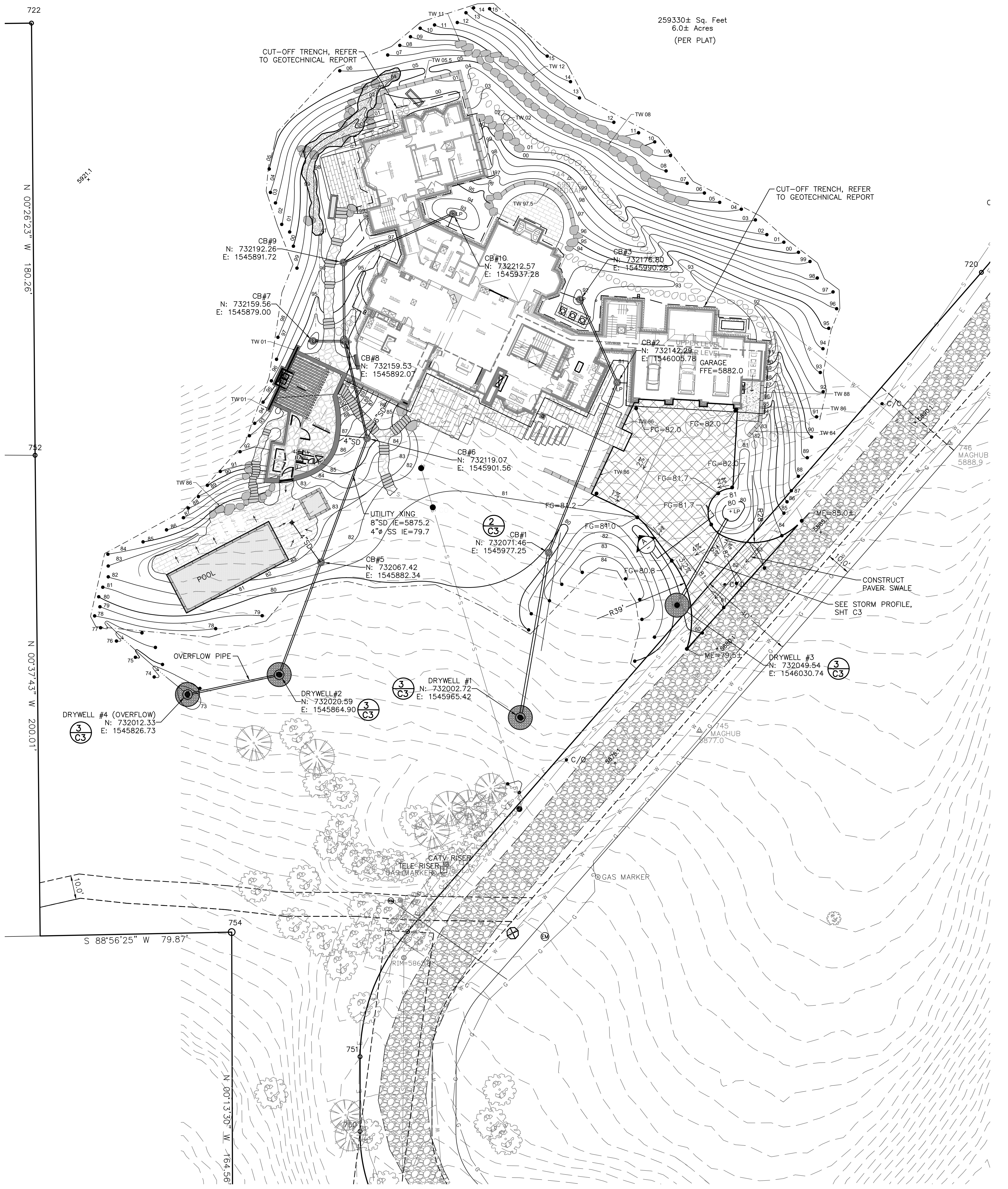
- PROPERTY LINE
- ADJOINING PROPERTY LINE
- EASEMENT
- SEWER
- SEWER MANHOLE
- SEWER CLEANOUT
- WATER
- GAS
- POWER
- TELEPHONE
- CABLE TV LINE
- ELEVATION CONTOUR
- FLOW LINE
- DRYWELL
- CATCH BASIN
- STORM DRAIN PIPE
- DOWN SPOUT
- CONCRETE PAVERS
- GRAVEL
- FG
- EG
- GB
- ME



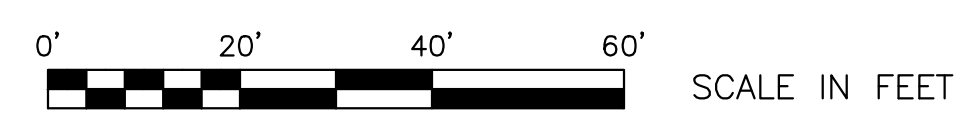
NOTES:

- COMPACT DRIVEWAY SUBGRADE AND ALL STRUCTURAL FILL MATERIAL TO AT LEAST 95% OF THE MAXIMUM DENSITY OF EACH MATERIAL ACCORDING TO STANDARD PROCTOR ASTM D-698.

A DRIVEWAY SECTION
SCALE: NONE



PLAN



REVISIONS

NO.	DESCRIPTION
1	



BENCHMARK ASSOCIATES, P.A.
P.O. BOX 733 100 BELL DRIVE
KETCHUM, IDAHO 83340
(208) 726-9512
(FAX) 726-9514
WEB: www.benchmark-associates.com
MAIL: mail@bma5b.com

GRADING AND DRAINAGE PLAN

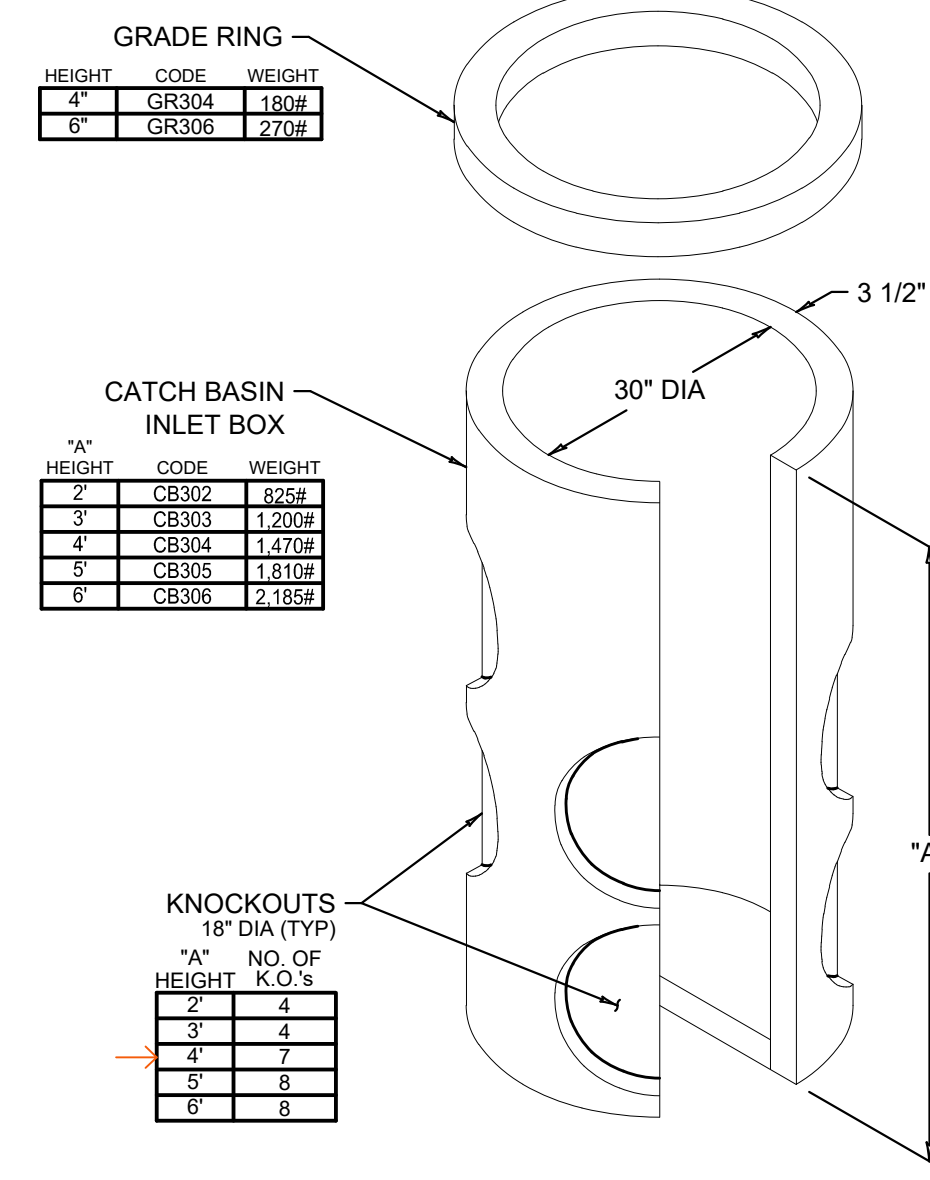
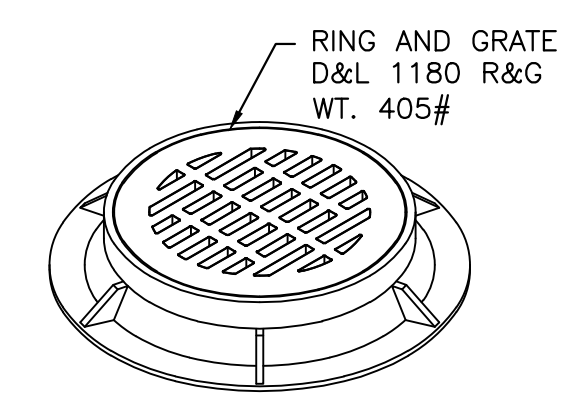
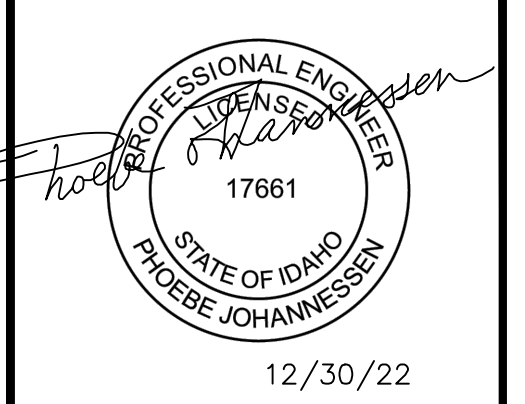
T4N, R18E, SEC 18, B.M.,
KETCHUM, IDAHO

PREPARED FOR: BYLA

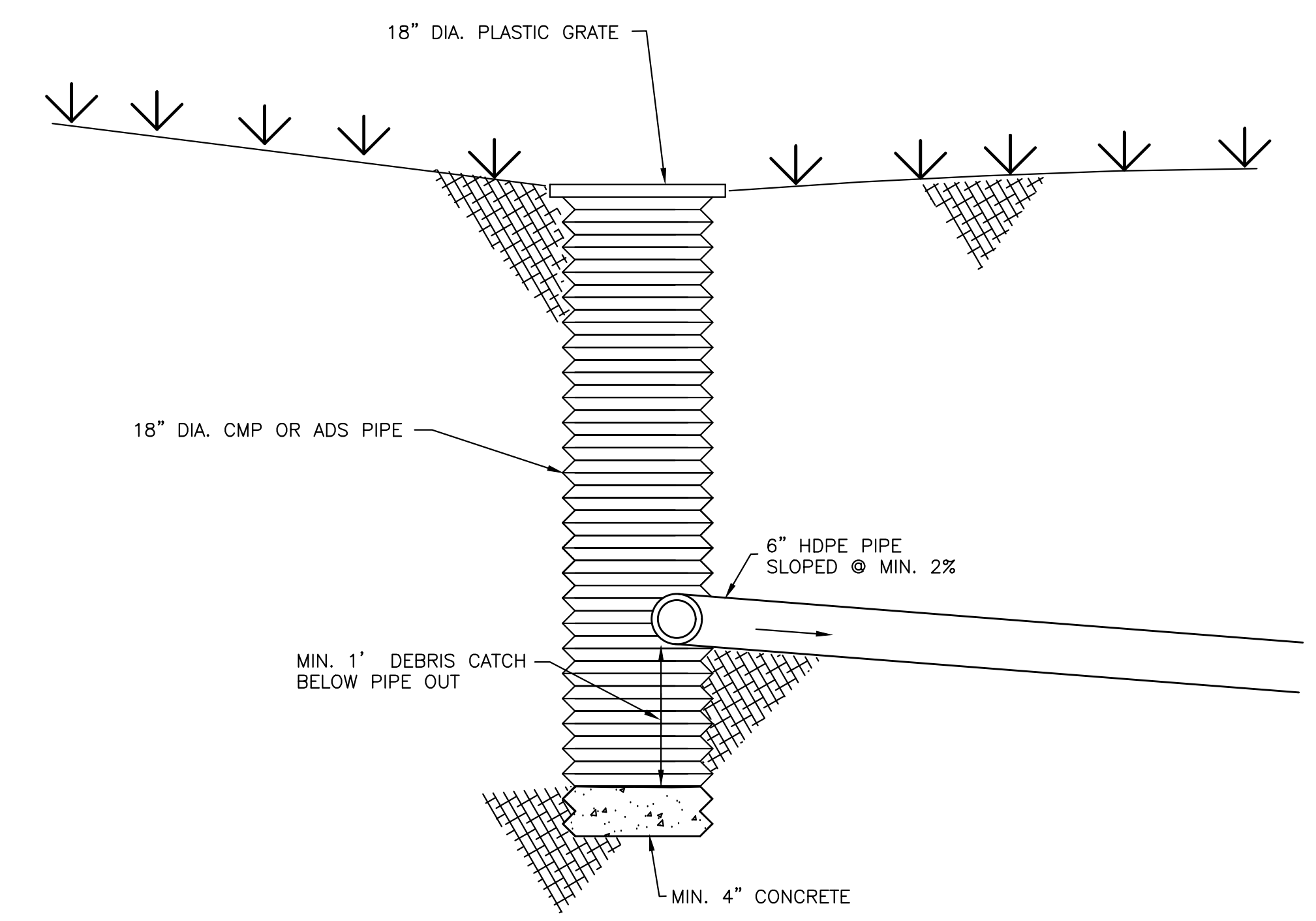
DRAWN BY:	PLJ
DESIGNED BY:	PLJ
CHECKED:	
DATE:	12/30/22
PROJECT NO.:	22029

SHEET NUMBER

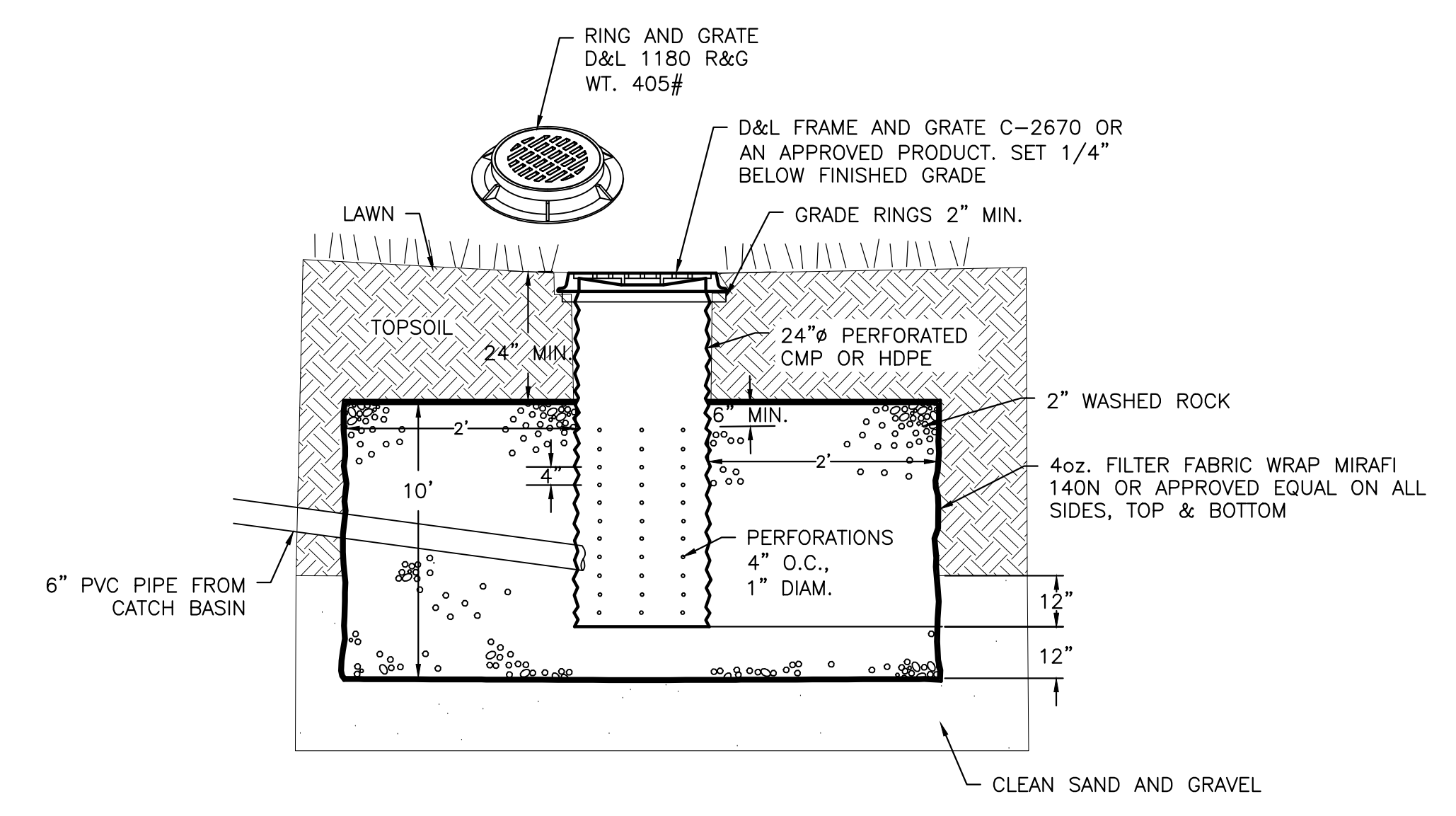
C1



1 30" CATCH BASIN (FOR USE IN PAVED AREAS)
C1 SCALE: N.T.S.



2 18-INCH ADS CATCH BASIN (FOR USE IN LANDSCAPE AREAS)
C1 SCALE: NONE



- NOTES:
1. THE BED SHALL BE EXCAVATED A MINIMUM OF 24" INTO CLEAN SAND AND GRAVEL.
 2. MAXIMUM DEPTH SHALL NOT EXCEED 12 FEET.
 3. IF CLEAN SAND AND GRAVEL IS NOT ENCOUNTERED WITHIN 12 FEET, THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER.
 4. GRATE OR SOLID LID AS APPROVED BY CITY OF KETCHUM.

3 TYPICAL DRYWELL DETAIL
C1 SCALE: NONE

NO.	REVISIONS	DESCRIPTION	DATE	BY
1				



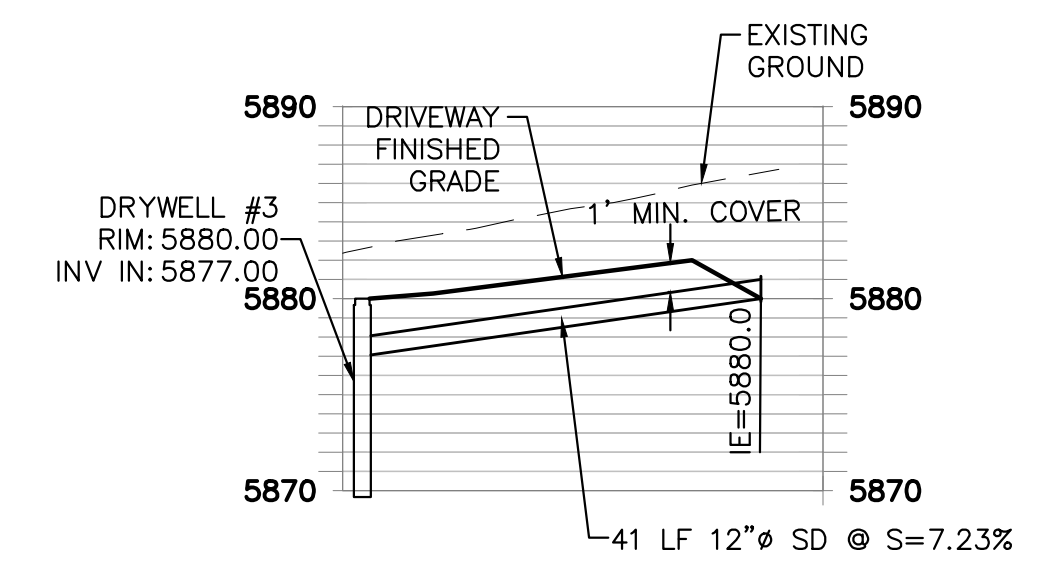
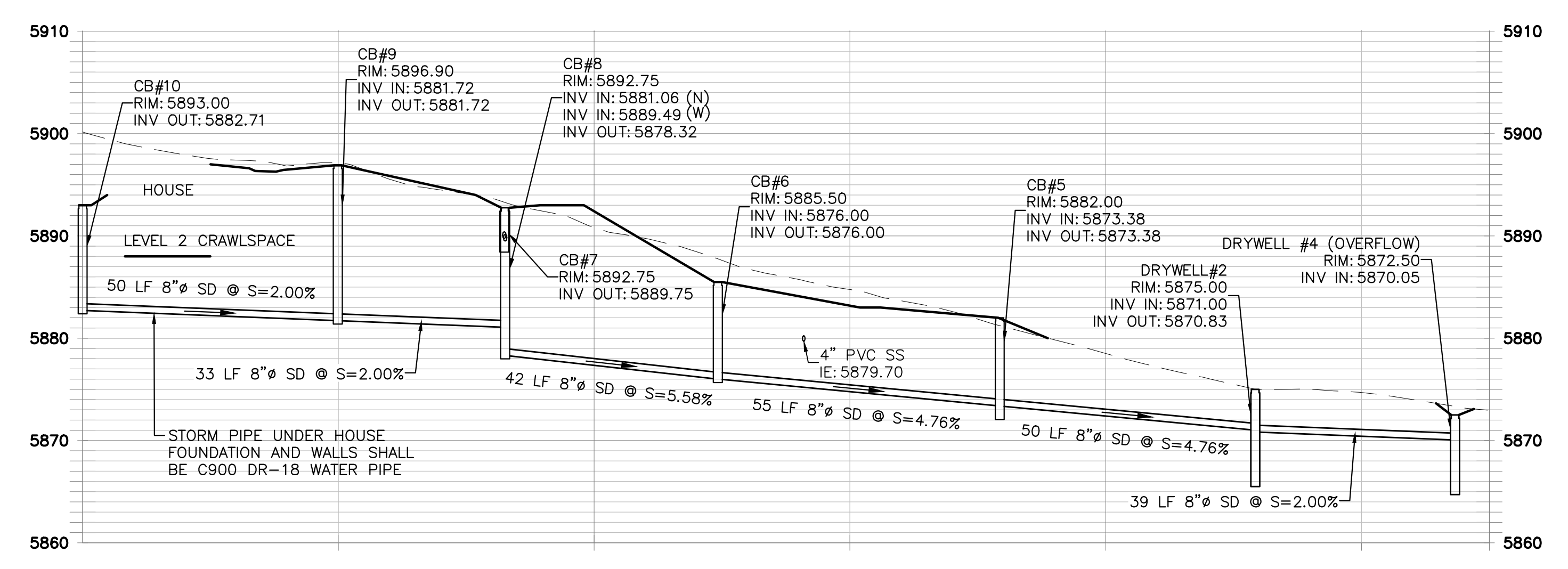
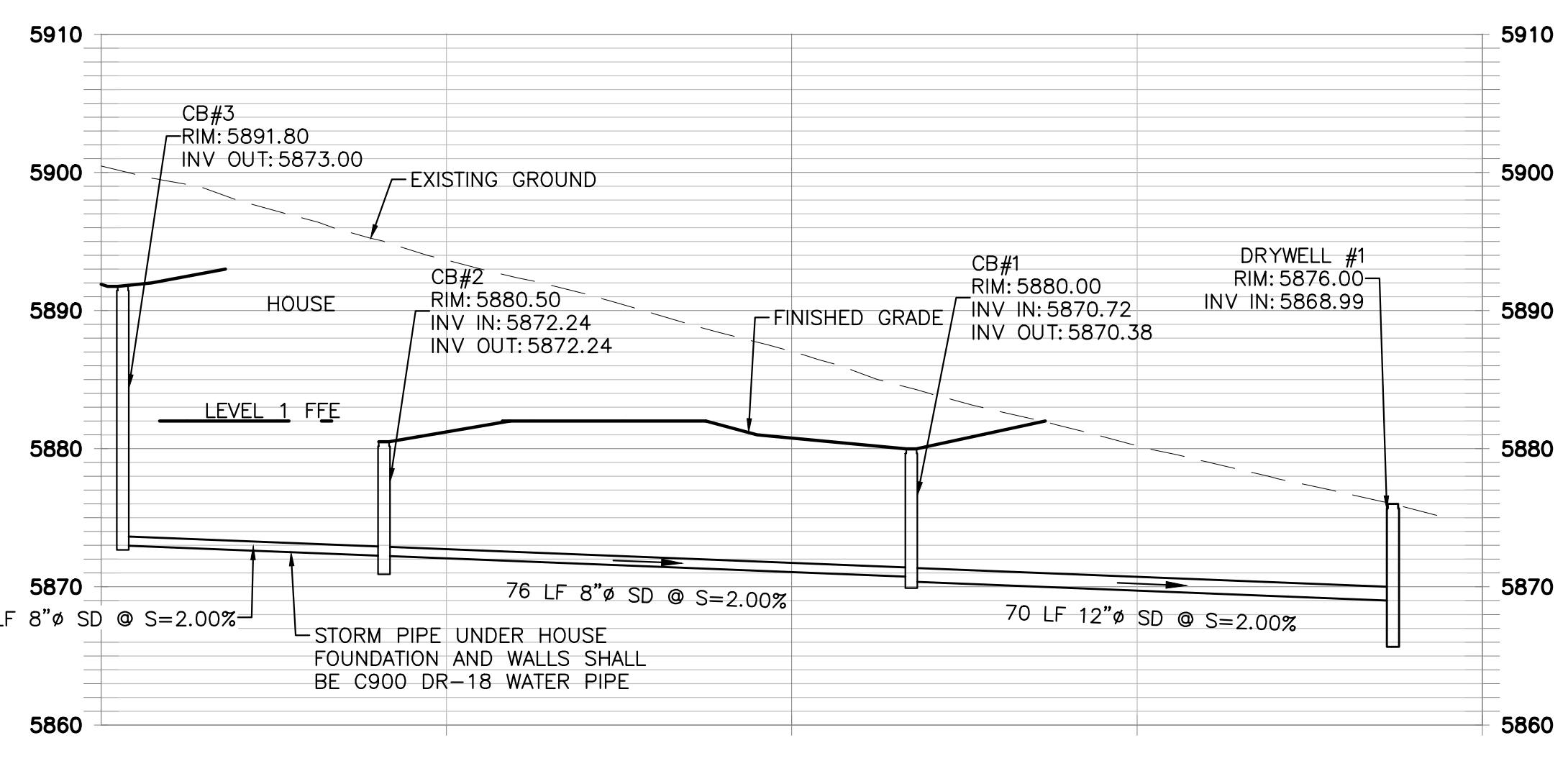
BENCHMARK ASSOCIATES, P.A.
P.O. BOX 733, 100 BELL DRIVE
KETCHUM, IDAHO 83340
(208) 726-9512
(FAX) 726-9514
WEB: www.benchmark-associates.com
MAIL: mail@bma5b.com

DRAINAGE DETAILS
T4N, R18E, SEC 18, B.M.,
KETCHUM, IDAHO
PREPARED FOR: BYLA

DRAWN BY: PLJ
DESIGNED BY: PLJ
CHECKED: -
DATE: 12/30/22
PROJECT NO.: 22029

SHEET NUMBER

C3



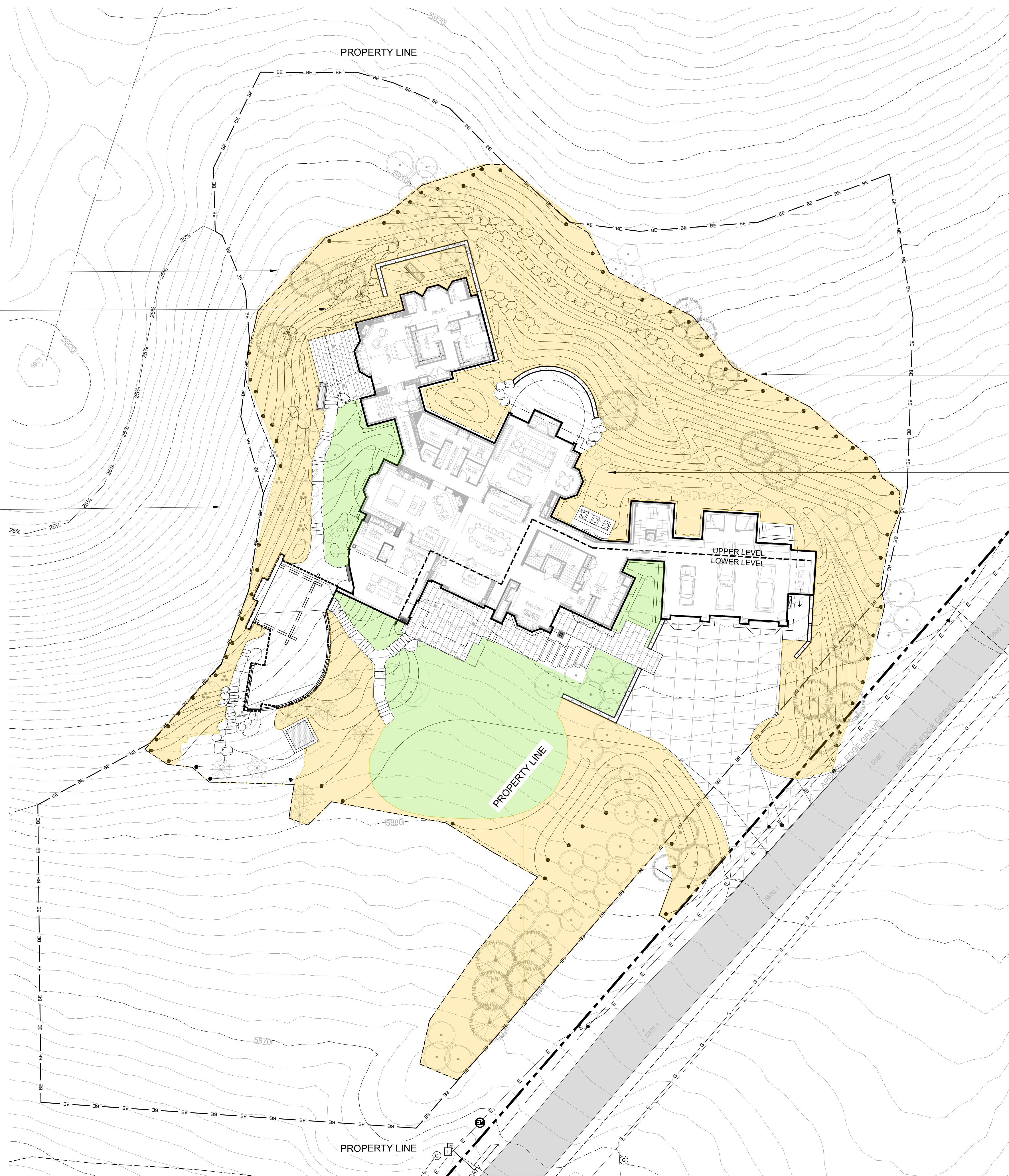
DRYWELL #3 RIM: 5880.00 INV IN: 5877.00
41 LF 12" SD @ S=7.23%



City of Ketchum

ATTACHMENT C: Supplemental Exhibits





LOT 2 BUILDING ENVELOPE SIZE = +/- 77,050
 TOTAL DISTURBED= +/- 49,900

AREAS TO BE REVEGETATED WITH NATIVE PLANTINGS = +/- 24,187 SF

OTHER IMPROVEMENTS = +/- 5,726 SF

NOTE:
 + THIS GRAPHIC SHOWS THAT OF THE AREAS TO BE DISTURBED (64% IN THE BUILDING ENVELOPE) THE MAJORITY OF THOSE AREAS ARE TO BE REVEGETATED WITH NATIVE PLANTINGS THAT INTEGRATE BACK INTO THE ADJACENT HILLSIDE

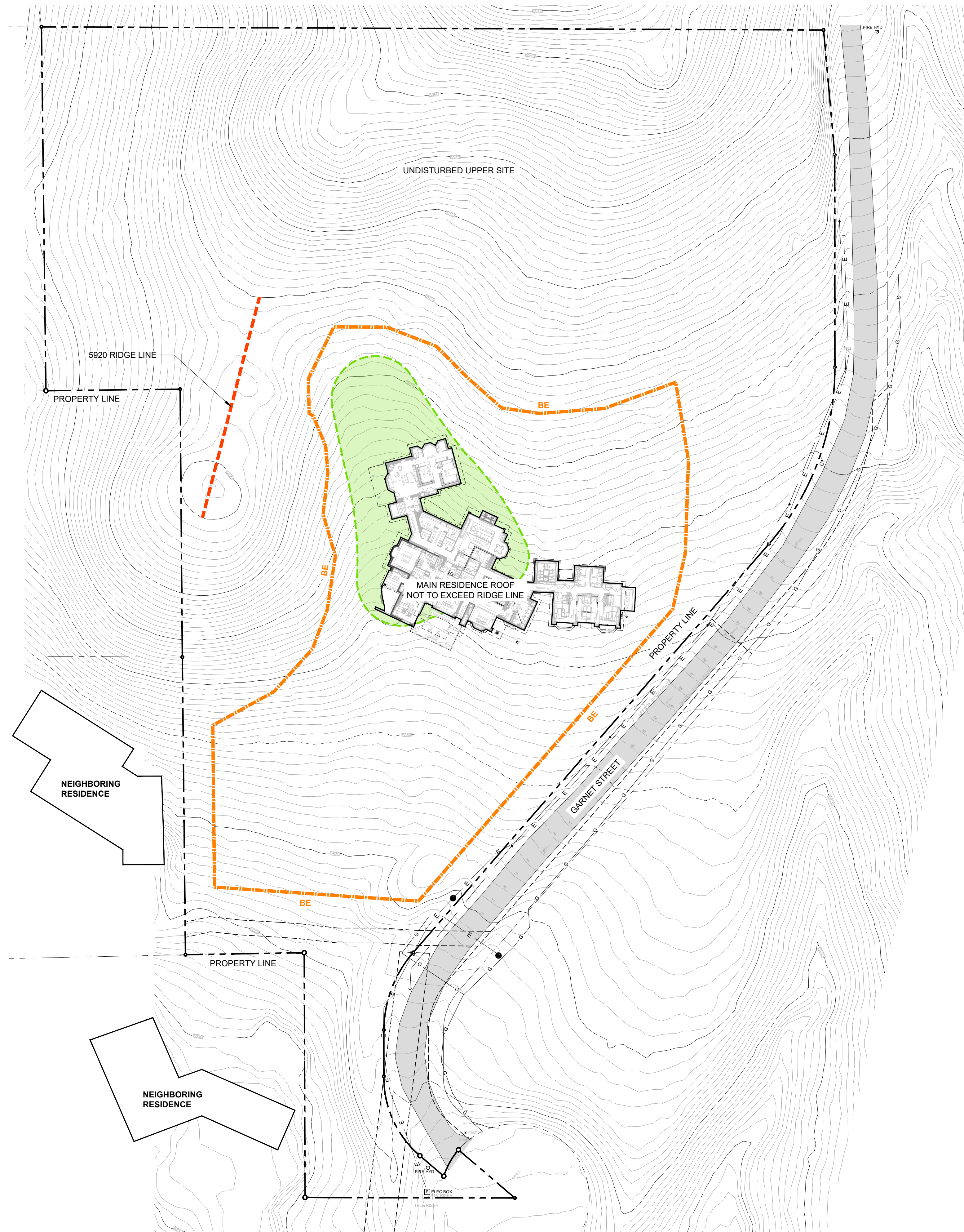
NATIVE HILLSIDE PLANTINGS TO REMAIN UNDISTURBED

NEW PLANTINGS TO BE PRIMARILY SELECTED FROM NATIVE PLANT PALETTE; SEE PLANTING SCHEDULE ON SHEET L-4.00 FOR MORE INFORMATION

NATIVE HILLSIDE PLANTINGS TO REMAIN UNDISTURBED

NATIVE HILLSIDE PLANTINGS TO REMAIN UNDISTURBED (OUTSIDE OF SITE IMPROVEMENTS)

NEW PLANTINGS TO BE PRIMARILY SELECTED FROM NATIVE PLANT PALETTE; SEE PLANTING SCHEDULE ON SHEET L-4.00 FOR MORE INFORMATION

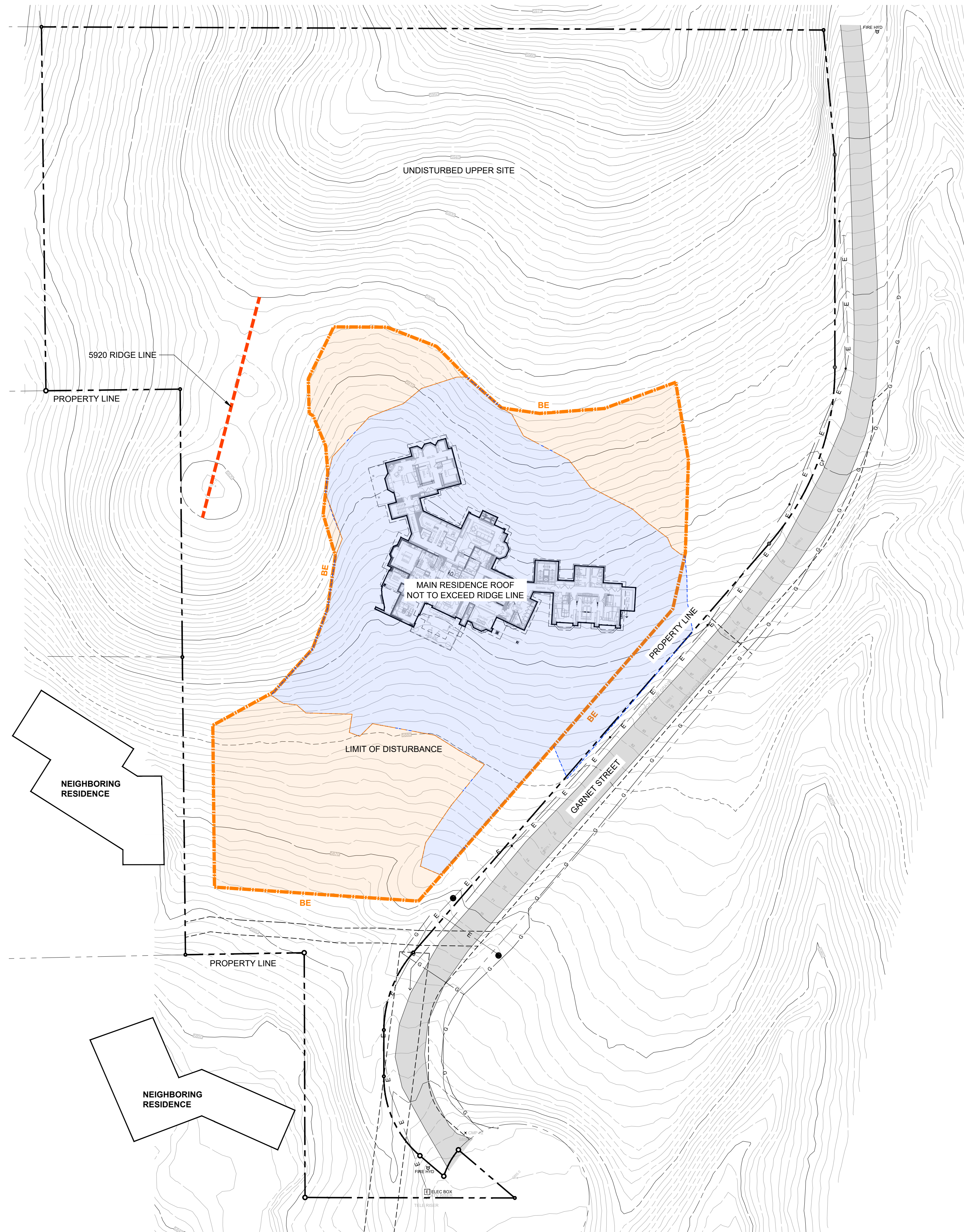


--- BUILDING ENVELOPE

■ VALLEY WITHIN HILLSIDE

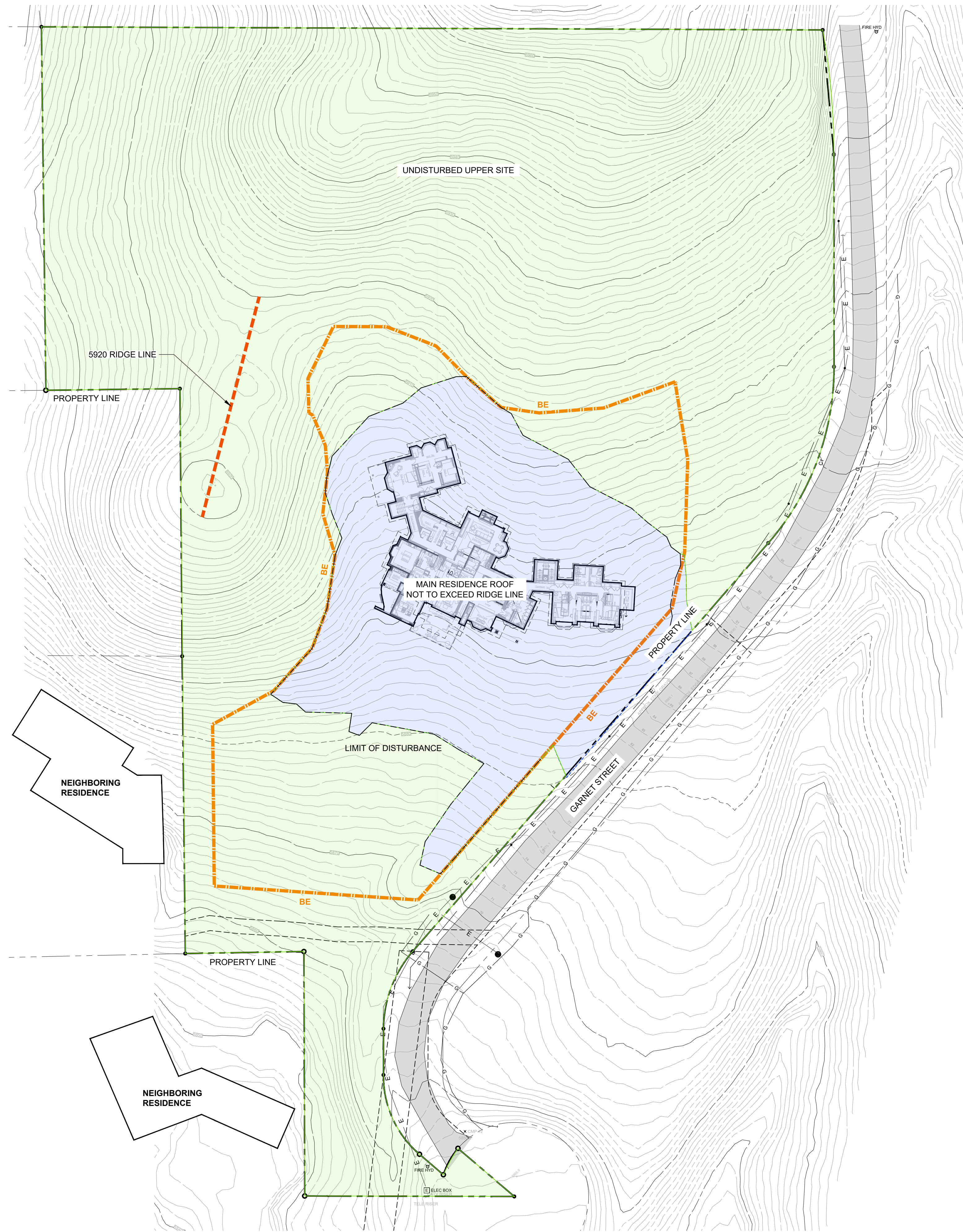
NOTE:

- + THIS GRAPHIC DEMONSTRATES THE LOCATION OF THE MAIN RESIDENCE WITHIN THE CONFINES OF THE NATURAL FEATURES ON SITE
- + THE RESIDENCE LOCATION IS TO HELP REDUCE THE IMPACT ON NEIGHBORING HOMES AND, TO SITE THE HOME WE INTERSECTED THE IDEAL LANDFORM LOCATION (IN THE GULLY) WITH A LOCATION MORE REMOVED FROM ADJACENT HOMES. THE RESULTANT PLACEMENT LOCATES THE HOME IN A WAY THAT MINIMIZES SITE EXPOSURE BOTH WITH RESPECT TO THE HILLSIDE AND FOR THE NEIGHBORS.
- + A SIZEABLE AMOUNT OF THE HOME IS LOCATED WITHIN THE NATURAL GULLY AND BEHIND THE WESTERN RIDGE LINE TO HELP CONCEAL THE NEW IMPROVEMENTS
- + THE ENTIRE UPPER PROPERTY IS LEFT UNDISTURBED. THIS AREA IS THE MOST VISIBLE TO THE PUBLIC



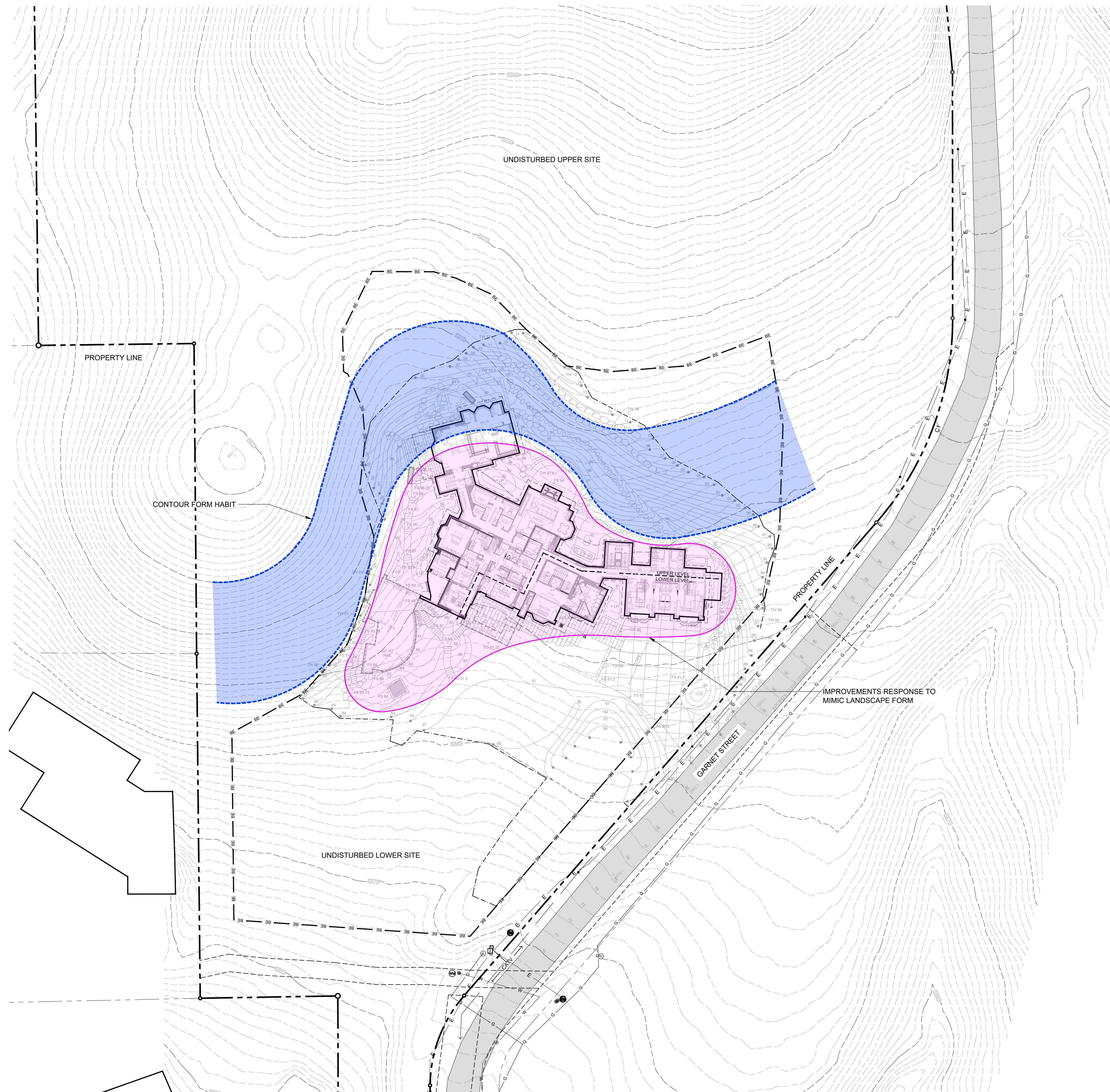
- BUILDING ENVELOPE AREA (77,030 sf)
- UNDISTURBED BUILDING ENVELOPE 39.1% (30,078 sf)
- DISTURBED BUILDING ENVELOPE 60.9% (46,952 sf)

NOTE:
 + THIS GRAPHIC DEMONSTRATES DISTURBANCE THE SITE IMPROVEMENTS WILL CAUSE WITHIN THE BUILDING ENVELOPE
 + INCLUDED ARE AREAS AND PERCENTAGES OF THE DIFFERENT ZONES OF DISTURBANCE RELATIVE TO THE CURRENT BUILDING ENVELOPE AND SITE PLAN



- - - BUILDING ENVELOPE
- UNDISTURBED SITE AREA (209,824 sf)
- DISTURBED SITE AREA 23.6% (49,584 sf)

NOTE:
 + THIS GRAPHIC DEMONSTRATES THE SITE DISTURBANCE OF THE CURRENT PROPOSED SITE PLAN AND IMPROVEMENTS WITHIN THE BOUNDS OF THE PROPERTY LINE AND IN RELATION TO SURROUNDING HOMES AND ROADS



- CONTOUR FOLD HABIT
- SITE IMPROVEMENT AREA

NOTE:
 + THIS GRAPHIC ILLUSTRATES WHERE ON SITE THE NEW IMPROVEMENTS ARE LOCATED AND THEIR ORIENTATION IN RELATION TO THE CONTOURS
 + ALL SITE IMPROVEMENTS- POOL, PATIO, AND BUILT STRUCTURE ARE ORIENTED IN PARALLEL TO THE LANDFORM. THIS MINIMIZES SITE DISTURBANCE AND ALSO MINIMIZES THE VISUAL IMPACT OF THE IMPROVEMENTS. LOWER AND UPPER AREAS IF THE SITE REMAIN UNDISTURBED.



City of Ketchum

ATTACHMENT D: Zoning and Dimensional Standards Analysis



307 GARNET STREET
CONFORMANCE WITH DESIGN REVIEW IMPROVEMENTS AND STANDARDS

Compliance with Zoning Standards				
Compliant			Standards	
Yes	No	N/A	Guideline	City Standards – Limited Residential Zone District
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.040	<p>Minimum Lot Area</p> <p>Required: 9,000 square feet minimum. Existing: 6 acres per site survey dated 3/31/22</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.040	<p>Building Coverage</p> <p>Permitted: 35% Proposed: Per Sheet L1.00 – total coverage by buildings is 15,822 SF for a total of 6% of lot area. Areas covered by parking and driveways is not included in the building coverage calculation, therefore the actual building coverage is 12,267 for a total building coverage of 5%.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.040	<p>Minimum Building Setbacks</p> <p>Minimum Setbacks: Front: 15' Side: > of 1' for every 2' in building height, or 10' (19' required) Rear: 20'</p> <p>The plat for the subject property also includes a building envelope that restricts the placement of structures to within the platted building envelope. Per the definition of building envelope in Section 16.04.020, building envelopes must conform to all minimum zoning requirements.</p> <p>Proposed as shown on Sheet L-1.00: Front (along private drive and fronting the pedestrian easement): 28 ft from property line to retaining wall, 38 feet from property line to building Side (eastern property boundary): 38 feet from property line to building at the transition point from front lot line to side lot line Side (western property boundary): 54 feet from property line to edge of pool Rear (northern property boundary): Greater than 100 feet</p> <p>No retaining walls or below grade structures are proposed within the setbacks for the property.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.040	<p>Building Height</p> <p>Maximum Permitted: 35' Height of building: The greatest vertical distance measured at any point from the roof to natural, existing, or finished grade, whichever is lowest. The maximum vertical distance from the lowest exposed finished floor to the highest point of the roof (regardless of vertical alignment) shall be no more than five feet greater than the maximum height permitted in the zoning district (see illustration B on file in the office of the City Clerk). No facade shall be greater than the maximum height permitted in the zoning district. (See definition of "facade" in this section and illustration B on file in the office of the City Clerk.) Facades which step up or down hillsides shall be set back from the lower facade a minimum of 50 percent of the height of the lower facade; except, that roof overhangs may extend up to three feet into this area (see illustration B on file in the office of the City Clerk). This building height provision shall</p>

				<p>apply to parapets, Boston roofs and any other portion of a building roof, but shall not apply to flagpoles, lightning rods, weather vanes, antennas or chimneys.</p> <p>The plat for the subject property also stipulates that the maximum height of the building shall be 28 feet from existing grade and that no portion of the building shall project above an elevation of 5,920 feet.</p> <p>Proposed: As shown on Sheets A4-A7, no portion of the building projects above an elevation of 5,920 feet. The maximum height above the existing grade is 24.5 feet as shown on Section 2 on Sheet A7. The total height of the building from the lowest finished grade (main building) to the highest roof (master suite wing) is approximately 38ft which is less than 5 feet above the maximum height. This additional height is permitted by code when the a building steps up a hillside. The lower façade wall is approximately 30.5 feet. The portion of the building that steps up is set back more than the required 15 feet.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.125.030.H	<p>Street Frontage</p> <p>Permitted: 35% or street frontage</p> <p>Proposed: Per the plat recorded under instrument #415453, the front lot line is the the portion of the lot that fronts the flag portion of Lot 3. There is over 364 feet of street frontage on the subject property. Per Sheet L-1.00, the width of the driveway accessing off-street parking is 20 feet, which is 6% of the street frontage.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.125.040.B	<p>Parking Spaces</p> <p>Required: Residential one family dwelling units: 2 parking spaces per dwelling unit required</p> <p>Proposed: Per Sheet A1, a 3 car garage on the lower level of the dwelling unit is proposed</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>		<p>Fences, Hedges, and Walls</p> <p>Permitted: A. In the LR, LR-2, GR-L and GR-H Districts, fences, hedges and walls shall not exceed four feet in height when located less than 30 feet from the front lot line; B. In the LR, LR-2, GR-L and GR-H Districts, fences, hedges and walls shall not exceed six feet in height when located more than 30 feet from the front lot line;</p> <p>Proposed: All proposed walls on the property are greater than 30 feet from the front property line except for the retaining wall along the driveway on the east side of the garage. The portion of the wall visible from the driveway is 2 feet and does not reach a height of 6 feet within the first 30 feet of the front property line.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.170.C	<p>Snow Storage</p> <p>Requirement:</p> <ol style="list-style-type: none"> 1. Snow storage areas shall not be less than 30 percent of the improved parking and pedestrian circulation areas. 2. Snow storage areas shall be provided on site. 3. A designated snow storage area shall not have any dimension less than five feet and shall be a minimum of 25 square feet. 4. In lieu of providing snow storage areas, snowmelt and hauling of snow may be allowed. <p>Proposed: As shown on Sheet L-1.00, there is 3,555 square feet of driveway/motorcourt areas which requires 1,067 square feet of snow storage. As shown on Sheet L-1.00, 1,210 square feet is proposed.</p>



City of Ketchum

ATTACHMENT E:
Mountain Overlay Design
Review Standards Analysis



**307 GARNET STREET
CONFORMANCE WITH DESIGN REVIEW IMPROVEMENTS AND STANDARDS**

IMPROVEMENTS AND STANDARDS: 17.104.070 – Mountain Overlay Design Review: The following list of criteria and those contained in section 17.96.080 of this title must be considered and addressed by each applicant seeking design review approval.				
Yes	No	N/A	City Code	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (1)	<p>There shall be no building on ridges or knolls which would have a material visual impact on a significant skyline visible from a public vantage point entering the city or within the city. "Material", as the term is used herein, shall be construed in light of the magnitude of the negative impact on the objectives of this section.</p> <p><i>Finding</i> The subject property was platted in 1998. The plat, recorded under Instrument #415453 includes a set of plat notes that restricts building height for any development on the property. The plat also includes a building envelope that dictates where development can happen on the subject property. The proposed project does not propose development outside the building envelope with the exception of the driveway entrance, which is permitted by the plat. Additionally, the proposed project meets all the building height restrictions as noted on the plat and will not be visible from any public vantage points.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (2)	<p>Building, excavating, filling and vegetation disturbance on hillsides which would have a material visual impact visible from a public vantage point entering the city or within the city shall be minimized. "Material", as the term is used herein, shall be construed in light of the magnitude of the negative impact on the objectives of this section.</p> <p><i>Finding</i> The proposed project does not propose development outside the building envelope except for the driveway entrance, which is permitted by the plat. The proposed project meets all the building height restrictions as noted on the plat and will not be visible from any public vantage points.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (3)	<p>Driveway standards as well as other applicable standards contained in chapter 12.04 of this code shall be met.</p> <p><i>Finding</i> The proposed project has been reviewed by the City Engineer and Fire Marshall for compliance with the city's driveway standards and the preliminary plans are believed to be in conformance. Final civil plans will be reviewed and approved by the City Engineer prior to issuance of a building permit.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (4)	<p>All development shall have access for fire and other emergency vehicles to within one hundred fifty feet (150') of the furthest exterior wall of any building.</p> <p><i>Finding</i> The proposed project has been reviewed and preliminarily approved by the City of Ketchum Fire Marshall for compliance with all fire code requirements. Due to the size of the structure, access by emergency vehicles within 150 feet of the furthest wall is not feasible. Per the Fire Code, an alternative can be approved. The proposed project includes a fire sprinkler system and must contain an approved Class 1 standpipe system with a minimum of two locations.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (5)	<p>Significant rock outcroppings shall not be disturbed.</p> <p><i>Finding</i> There are no significant rock outcroppings within the property boundary of the subject property.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (6)	<p>International building code (IBC) and international fire code (IFC) and Ketchum fire department requirements shall be met.</p> <p><i>Finding</i> The project must comply with the International Building Code 2018 and the Ketchum Fire Department requirements. All IBC, IFC, and Ketchum Fire Department</p>

				<i>requirements will be verified and met prior to the issuance of a building permit for the project.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (7)	Public water and sewer service shall comply with the requirements of the city.
			<i>Finding</i>	<i>The project will be serviced by City of Ketchum water and sewer as shown on Sheet C1. Both water and sewer mains are located within the private driveway adjacent to the property. The City of Ketchum water and sewer departments reviewed the proposed connections, and the proposed plans meet the city's requirements.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (8)	Drainage shall be controlled and maintained to not adversely affect other properties.
			<i>Finding</i>	<i>The city engineer reviewed the proposed grading and drainage plans for the project. During the first round of review, concerns were raised that the project was not adequately controlling the drainage resulting from development of the site. The applicant provided a technical memorandum on December 29, 2022 outlining the existing drainage conditions from the undeveloped site and developed conditions with the proposed project. The applicant revised the drainage plan to effectively manage any additional drainage needs resulting from development of the property. The city engineer concluded that the proposed drainage plan shows a decrease in stormwater flow from existing conditions and the plan controls the drainage to not adversely affect other properties.</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (9)	Cuts and fills allowed for roadways shall be minimized; lengths of driveways allowed shall be minimized; all cuts and fills shall be concealed with landscaping, revegetation and/or natural stone materials. Revegetation on hillsides with a clear zone of thirty feet (30') around all structures is recommended. Said clear zone shall include low combustibile irrigated vegetation with appropriate species, on file with the Ketchum planning department. Revegetation outside of this clear zone should be harmonious with the surrounding hillsides.
			<i>Finding</i>	<i>The proposed project includes one curb cut from the existing private driveway that serves all three lots. The location of the garage is on the east side of the structure, closest to the private driveway. The structure is setback 28 feet which tucks the building into the hillside and allows for adequate distance and area for vehicle turning movements in a forward direction which is preferred due to the grades of the existing private driveway. The distance to the structure is minimal due to the location of the garage.</i> <i>The project proposes a 10-foot clear zone around the structure, which is the minimum requirement per the fire code. The Fire Marshall has reviewed the proposed landscape plan and believes the plan supports adequate fire mitigation without additional clear zone areas.</i> <i>Staff has concerns about the proposed play lawn for the project as lawn areas are not "harmonious with the surrounding hillsides" as noted in the design review criteria. See the staff report for additional analysis.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (10)	No other sites on the parcel are more suitable for the proposed development in order to carry out the purposes of this section.
			<i>Finding</i>	<i>The applicant provided a set of exhibits demonstrating how the design team selected the location for the development. As noted above, the subject property has a platted building envelope which limits the areas of development on the property. The applicants selected the location of the project within the building envelope to mimic the curvature of the existing topography on the site and nestle the building into the hillside rather than locate the structure further down the slope. Locating the building further down the slope would place the structure closer to adjacent property owners and perch the structure further atop of the existing topography. The siting of the</i>

				<i>structure is within a "gully" feature on the property and behind the western ridgeline which assists in limiting visibility of the structure.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (11)	Access traversing twenty five percent (25%) or greater slopes does not have significant impact on drainage, snow and earthslide potential and erosion as it relates to the subject property and to adjacent properties.
			<i>Finding</i>	<i>The proposed driveway access will not traverse slopes greater than 25%.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (12)	Utilities shall be underground.
			<i>Finding</i>	<i>As shown on Sheet C1, all utilities are underground. Electric and gas services are available from the existing private driveway that services the three lots within the subdivision.</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (13)	Limits of disturbance shall be established on the plans and protected by fencing on the site for the duration of construction.
			<i>Finding</i>	<i>See staff report.</i>
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (14)	Excavations, fills and vegetation disturbance on hillsides not associated with the building construction shall be minimized.
			<i>Finding</i>	<i>See staff report.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (15)	Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.
			<i>Finding</i>	<i>No significant landmarks have been identified on-site.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.104.070 A (16)	Encroachments of below grade structures into required setbacks are subject to subsection 17.128.020K of this title and shall not conflict with any applicable easements, existing underground structures, sensitive ecological areas, soil stability, drainage, other sections of this Code or other regulating codes such as adopted International Code Council Codes, or other site features concerning health, safety, and welfare.
			<i>Finding</i>	<i>No encroachments of below grade structures into setbacks are proposed.</i>



City of Ketchum

ATTACHMENT F: Design Review Standards Analysis



**307 GARNET STREET
CONFORMANCE WITH DESIGN REVIEW IMPROVEMENTS AND STANDARDS**

Design Review Requirements IMPROVEMENTS AND STANDARDS: 17.96.060				
Yes	No	N/A	City Code	City Standards and <i>Staff Comments</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(A)(1) Streets	The applicant shall be responsible for all costs associated with providing a connection from an existing city street to their development.
			<i>Finding</i>	<i>The existing private driveway adjacent to the subject property connects directly with Garnet Street on the far east end. Garnet Street is a public right-of-way which provides access from the subject property to the city's transportation network.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(A)(2) Streets	All street designs shall be approved by the City Engineer.
			<i>Finding</i>	<i>N/A. No new street is proposed.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(B)(1)	All projects under 17.96.010(A) that qualify as a "Substantial Improvement" shall install sidewalks as required by the Public Works Department.
			<i>Finding</i>	<i>N/A. Sidewalks are not required in this zoning district, LR.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060 (B)(2)c	Sidewalk width shall conform to the City's right-of-way standards, however the City Engineer may reduce or increase the sidewalk width and design standard requirements at their discretion.
			<i>Finding</i>	<i>N/A. Sidewalks are not required in this zoning district, LR.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060 (B)(3)	Sidewalks may be waived if one of the following criteria is met: <ul style="list-style-type: none"> a. The project comprises an addition of less than 250 square feet of conditioned space. b. The City Engineer finds that sidewalks are not necessary because of existing geographic limitations, pedestrian traffic on the street does not warrant a sidewalk, or if a sidewalk would not be beneficial to the general welfare and safety of the public.
			<i>Finding</i>	<i>N/A. Sidewalks are not required in this zoning district, LR.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060 (B)(4)	The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.
			<i>Finding</i>	<i>N/A. Sidewalks are not required in this zoning district, LR.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060 (B)(5)	New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.
			<i>Finding</i>	<i>N/A. Sidewalks are not required in this zoning district, LR.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060 (B)(6)	The City may approve and accept voluntary cash contributions in-lieu of the above described improvements, which contributions must be segregated by the City and not used for any purpose other than the provision of these improvements. The contribution amount shall be one hundred ten percent (110%) of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the City Engineer. Any approved in-lieu contribution shall be paid before the City issues a certificate of occupancy.
			<i>Finding</i>	<i>N/A. Sidewalks are not required in this zoning district, LR.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(1)	All storm water shall be retained on site.
			<i>Finding</i>	<i>The city engineer reviewed the proposed grading and drainage plans for the project. During the first round of review, concerns were raised that the project was not adequately controlling the drainage resulting from development of the site. The applicant provided a technical memorandum on December 29, 2022 outlining the</i>

				existing drainage conditions from the undeveloped site and developed conditions with the proposed project. The applicant revised the drainage plan to effectively manage any additional drainage needs resulting from development of the property. The city engineer concluded that the proposed drainage plan shows a decrease in stormwater flow from existing conditions. Therefore all stormwater resulting from the development of the site will be retained on site.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(2)	Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.
			<i>Finding</i>	As shown on Sheet C1 and drainage improvements are placed in a way that manages all stormwater from the development of the site. The existing private driveway that serves all three lots contains drainage swales on either side that run the length of the driveway and manage stormwater from the driveway specifically.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(3)	The City Engineer may require additional drainage improvements as necessary, depending on the unique characteristics of a site.
			<i>Finding</i>	N/A. The city engineer has reviewed and approved the proposed drainage for the project. Final approval of the grading and drainage plan will occur during the review and approval of the building permit application.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(C)(4)	Drainage facilities shall be constructed per City standards.
			<i>Finding</i>	The specifications for the drywells and catch basins are included on Sheet C3 as preliminarily approved by the City Engineer. The final drainage plan and associated specifications shall be reviewed and approved by the City Engineer prior to issuance of a Building Permit for the project.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(D)(1)	All utilities necessary for the development shall be improved and installed at the sole expense of the applicant.
			<i>Finding</i>	All project costs associated with the development, including installation of utilities are the responsibility of the applicant. The applicant has not made requests for funding to the City, and no funds have been provided by the city for the project.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(D)(2)	Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view.
			<i>Finding</i>	All utilities are proposed to be located underground.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(D)(3)	When extension of utilities is necessary all developers will be required to pay for and install two (2") inch SDR11 fiber optical conduit. The placement and construction of the fiber optical conduit shall be done in accordance with city of Ketchum standards and at the discretion of the City Engineer.
			<i>Finding</i>	N/A. No extension of utilities is required for the proposed project.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(E)(1)	The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures.
			<i>Finding</i>	Per the renderings on Sheet A0, the project consists of mostly stone with accents of wood siding on the facades. The color palette is of a warm light stone that blends into the surrounding hillsides as the majority of the hillside vegetation are browns and yellow and light green/sage. The roof material is also a lighter brown/grey shingle that complements the façade color of stone and wood. The windows, balconies, and pergolas are white which provides contrast between the architectural features and the main structure. No signage is proposed for the project. The adjacent neighborhood is an eclectic mix of new and old with some structures more than 50 years old that have a cottage feel with light colored stucco and dark wood accents or wood siding as the primary material. Some of the more recent residential units contain stone and wood siding as the primary material. The majority of residential dwelling units on Garnet Street have a lighter color palette such as the one proposed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(E)(2)	Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.

			<i>Finding</i>	<i>N/A. There are no identified landmarks on the property.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(E)(3)	Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to.
			<i>Finding</i>	<i>N/A. The proposal is for new construction on a vacant lot.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(F)(1)	Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined.
			<i>Finding</i>	<i>N/A. Sidewalks are not required in the LR zone district.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(2)	The building character shall be clearly defined by use of architectural features.
			<i>Finding</i>	<i>The building character is defined by the use of gabled and hip rooflines, bay windows, pergola type overhangs above decks, and columns that accent key areas of the structure.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(3)	There shall be continuity of materials, colors and signing within the project.
			<i>Finding</i>	<i>No signage is proposed for the project. As noted above, the materials and colors are consistent throughout the structure that provides for a cohesive design.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(4)	Accessory structures, fences, walls and landscape features within the project shall match or complement the principal building.
			<i>Finding</i>	<i>The project contains a variety of walls, landscape features and accessory structures primarily associated with the pool house, trellises above decks and patio spaces, and flagstone patio areas around the pool and private patios on the north side of the residence. The trellis materials are consistent with the window trim and deck railing materials proposed for the primary structure. The stone proposed for the patios and landscape walls is of a similar color palette of the stone on the façade walls of the primary structure.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(5)	Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.
			<i>Finding</i>	<i>The building is designed to have one main structure and two wings, one on each side of the main structure. Each wing is setback and rotated at an angle to mimic the curvature of the topography and reduce the perceived bulk of the structure. The two story structure also contains decks and bay windows that also assist in breaking up the facades of each portion of the building.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(6)	Building(s) shall orient towards their primary street frontage.
			<i>Finding</i>	<i>The primary street is the existing private driveway that serves the three lots within the subdivision. The residence is sited on the property to mimic the curvature of the topography which minimizes disturbance of the hillside. The front of the residence faces southwest which is in alignment with the direction of the driveway.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(7)	Garbage storage areas and satellite receivers shall be screened from public view and located off alleys.
			<i>Finding</i>	<i>The garbage storage areas are contained within the proposed garage as shown on Sheet A1. Per the letter from Clear Creek Disposal, the garbage will be moved to the street during trash service times. Any future installation of satellite receivers are required to be screened from public view. The project is not adjacent to an alley.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(F)(8)	Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties.
			<i>Finding</i>	<i>Per the city of Ketchum building code requirements, snow retention devices are required. Review and approval of snow retention devices will be conducted prior to issuance of a building permit for the project.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(1)	Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.
			<i>Finding</i>	<i>The subject property contains a 10 foot pedestrian access easement on the southern end of the property to allow pedestrians access to the Idaho Foundation Parks and Recreation Land on the west side of Dollar Mountain. The proposed plans maintain the</i>

				<i>access easement and no improvements are proposed that would obstruct use of the access easement. No additional easements are required.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(G)(2)	Awnings extending over public sidewalks shall extend five (5') feet or more across the public sidewalk but shall not extend within two (2') feet of parking or travel lanes within the right of way.
			<i>Finding</i>	<i>N/A. No public sidewalks are within the vicinity of the subject property.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(3)	Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage.
			<i>Finding</i>	<i>The proposed project does not request or require changes to the existing street network. Traffic from the project will enter the private driveway and access the city's street network from Garnet Street. The city engineer has reviewed and approved the proposed access onto the private driveway and no issues have been identified with the proposed improvements.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(4)	Curbs cuts and driveway entrances shall be no closer than twenty (20') feet to the nearest intersection of two or more streets, as measured along the property line adjacent to the right of way. Due to site conditions or current/projected traffic levels or speed, the City Engineer may increase the minimum distance requirements.
			<i>Finding</i>	<i>The nearest intersection is the intersection of Garnet Street and Hwy 75. The driveway is not proposed within 20 feet of the intersection.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(G)(5)	Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project.
			<i>Finding</i>	<i>The proposed project provides for access from all necessary emergency and maintenance vehicles. The Fire Marshall has reviewed the proposed project and believes fire code requirements to be met with additional conditions as outlined below. The letter from Clear Creek Disposal indicated the property can be served adequate.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(H)(1)	Snow storage areas shall not be less than thirty percent (30%) of the improved parking and pedestrian circulation areas.
			<i>Finding</i>	<i>As shown on Sheet L-1.00, there is 3,555 square feet of driveway/motorcourt areas which requires 1,067 square feet of snow storage (30%). As shown on Sheet L-1.00, 1,210 square feet is proposed.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(H)(2)	Snow storage areas shall be provided on-site.
			<i>Finding</i>	<i>As shown on Sheet L-1.00, all snow storage is proposed on-site.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(H)(3)	A designated snow storage area shall not have any dimension less than five (5') feet and shall be a minimum of twenty five (25) square feet.
			<i>Finding</i>	<i>As shown on Sheet L-1.00, there are two snow storage areas. One is 35x15 square feet and the other is 57x12 square feet. Both are more than 25 square feet in size.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(H)(4)	In lieu of providing snow storage areas, snow melt and hauling of snow may be allowed.
			<i>Finding</i>	<i>N/A. Snow storage areas are provided on site and therefore snow melt and hauling of snow is not required.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(1)	Landscaping is required for all projects.
			<i>Finding</i>	<i>A landscape plan with all applicable information is provided as Sheets L-1.00 through L-4.01.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(2)	Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape.
			<i>Finding</i>	<i>Sheet L-4.00 outlines the proposed planting schedule for the project.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(3)	All trees, shrubs, grasses and perennials shall be drought tolerant. Native species are recommended but not required.

			<i>Finding</i>	<i>The proposed planting schedule includes plants that are noted as somewhat to extremely drought tolerant as defined by the University of Idaho Extension office. Two types of native revegetation are proposed for the project that includes a variety of grasses and shrubs found on the surrounding hillsides. The project does propose a turf grass play lawn that is also drought resistant.</i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.96.060(I)(4)	Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged.
			<i>Finding</i>	<i>No public courtyards are proposed for the project. The project does include additional tree planting to the north and south of the project to buffer the development from the surrounding residential neighborhoods.</i>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	17.96.060(J)(1)	Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All public amenities shall receive approval from the Public Works Department prior to design review approval from the Commission.
			<i>Finding</i>	<i>N/A. No sidewalks are required in the LR zone district.</i>