



Ketchum Urban Renewal Agency

P.O. Box 2315 | 480 East Ave. N. | Ketchum, ID 83340

August 15, 2022

Chair and Commissioners
Ketchum Urban Renewal Agency
Ketchum, Idaho

Recommendation to review and provide direction to staff on the request from Reid Sanborn for infrastructure funding in the amount of \$147,735 for improvements at 131 E Sun Valley Road (1st Avenue and Sun Valley Road)

Recommendation and Summary

Staff is recommending the KURA Board review the funding request submitted by Reid Sanborn for improvements located at 131 E Sun Valley Road and provide direction to staff on the funding request. Should the Board support the request, KURA would direct staff to prepare an Owner Participation Agreement (OPA) to return for KURA approval.

Analysis

The Planning and Zoning Commission approved a new three story 10,932 square-foot office building located at 131 Sun Valley Road at the NE corner of 1st Avenue and Sun Valley Road in the Community Core (CC-2 Zone) of downtown. (See Attachment B)

The applicant is requesting KURA funding to reimburse costs for the following:

- Sidewalk heating system: \$72,968
- Pavers and installation: \$33,622
- Street trees, irrigation, tree grates: \$58,020
- Concrete bench in planter box for bus stop: \$6,500
- Public Bench in Bulb out (1st Ave): \$2,000
- Public Bike Rack: \$500
- Total improvements: \$173,610
- Less cost of normal concrete sidewalk: (\$25,875)

Total Requested Funding: \$147,735

The applicant was informed the KURA was not inclined to approve infrastructure funding for private development projects until the 1st and Washington project funding was confirmed and informed about the Board's revised funding policy. The applicant requested to proceed with their funding request.

Using the recently amended funding criteria, the following elements of the request would be eligible for funding:

- Difference between sidewalk and pavers: \$7,747
- Street trees, irrigation, tree grates: \$58,020
- Public Bench in Bulb out (1st Ave): \$2,000

Total: \$67,767

The concrete bench in the planter box for the bus stop and the public bike rack are not approved features that can be placed in the city right of way.

Requested Funding

The funding request is for improvements that go beyond what the city requires for new development. As noted above, the cost of the eligible improvements is \$67,767. Based on the adopted KURA funding policy, 40% of \$67,767 would be eligible for funding totaling \$27,106.

Currently the taxable value of the property is \$966,471 and the applicant estimates the value after project completion at \$5.5 million.

Financial Requirement/Impact

Resolution 17-URA6 allows for a reimbursement of tax increment of no more than 50% of the total tax increment revenue generated from the project. Commitments for reimbursement shall not be greater than 5 years from the time the project is generating property tax revenue to the agency.

Based on the existing property value and a projected value of \$5.5 million, in the first year, the net projected KURA tax increment is \$5,547. That increment would be subject to the 50% split providing \$2,773 to the property owner and KURA. The increment is estimated to increase each year by 3%.

Recommendation and Motion

Staff is requesting direction from the KURA on the proposed funding request.

Attachment A: Applicant Application

Attachment B: Project Plans

Attachment C: KURA Reimbursement Policy



Ketchum Urban Renewal Agency

P.O. Box 2315 | 480 East Ave. N. | Ketchum, ID 83340

APPLICATION FOR PROJECTS REQUESTING FUNDING FROM THE KURA

Applicant and Project Information

Applicant Name: 131 E SUN VALLEY RD LLC
Representative: REID SANBORN
Phone: 208-720-8244
Email: REID.SANBORN@EVEREALSTATE.COM

Name of Project: 1ST & SUN VALLEY

Project Description: THREE STORY COMMERCIAL BUILDING IN KETCHUM CC DISTRICT.

Project Location: 131 E SUN VALLEY RD → CORNER OF 1ST AVE & SUN VALLEY RD

Date Submitted: _____

Estimated Date of Completion: _____

Application Submittal Requirements

- ☒ Brief narrative describing the proposed public benefit of the project
- ☒ Map of project location
- ☒ Attached professional bids, if applicable
- ☒ Attached preliminary/construction drawings, if applicable

Notes on Submittals

Projects Questions:

1. Is this project identified within the Urban Renewal Plan for KURA?
2. If identified in the Urban Renewal Plan, indicate section and page:
3. Estimated assessed value of project after completion (*taxable value*):
4. Will any KURA board members or staff financially benefit from the project?
5. New or retained jobs resulting from project:
6. Approximate return on public fund investment. (I.e. Public\$/Private\$)
7. Funding amount requested:

Yes: ☒ No: ☐
Section: 6.1 Page: 12-13, 16
\$ 5,500,000
Yes: ☐ No: ☒
Full Time: 50+ Part Time: _____
\$ ~~4,200~~ \$147,735 / \$14,200,000
\$ 147,735.00

Applicant's Signature 

Date: 6/23/22

23 June 2022

131 E Sun Valley Rd LLC
PO Box 5023
Ketchum, ID 83340

Ketchum Urban Renewal Agency
PO Box 2315
Ketchum, ID 83340

Application for requested funding from the KURA

Project Narrative:

The 1st and Sun Valley Rd commercial development is a new development to add five commercial spaces in the Ketchum core for five local business owners. The location of the project at 131 E Sun Valley Rd is currently leased to one tenant, Antique Alley, which sells antiques and old collectables. Ketchum will have a net gain of 4 commercial spaces after completion.

The project will become a 10,000 sqft building that will be subdivided into five separate commercial spaces. It is currently owned jointly by five local business ownership groups. The owners of the project are Reid Sanborn, Jennifer Hoey-Smith (Jennifer Hoey Interior Design), Scott Payne and Jamie Farmer (Farmer Payne Architects), Bill and Diane Banta (new business space), and Steve Kearns, Robin Story, and Victor Vandenberg (KMV Builders). All of the business owners provide good paying professional jobs to our city and are all outgrowing their current leased spaces in town. The project will provide for a permanent location moving forward to help each business grow and thrive and free up the current leased spaces to new or smaller businesses.

The 1st and Sun Valley Rd project was designed taking into consideration the downtown core design review guidelines with a design focus on bringing the old town feel mixed with some modern elements. Currently the sidewalks surrounding this property are 5' wide and provide no amenities to the public on this highly trafficked area of the commercial core.

The proposed plan would increase safety by increasing the sidewalks to a minimum of 8' along Sun Valley Rd and 1st Ave, add a bulb out section on the corner of Sun Valley and 1st with seating areas, trees for shade, and new city lighting similar to the layout of the 83340 Building (Maude's) across 1st Ave. The public will also benefit from the safety of the heated paver sidewalk in the winters, built in and covered bench for the bus stop along Sun Valley Rd, a public covered bike parking area, parking areas on 1st Ave and Sun Valley Rd, and a clearly marked bus stop at Sun Valley Rd.

The project has passed design review and permit sets are being prepared for submission.

Project Questions in Detail:

1) Is this project identified within the Urban Renewal Plan for KURA?

YES

2) If identified in the Urban Renewal Plan, indicate section and page.

The Project is located in the Ketchum Urban Renewal Area and Ketchum Urban Revenue Allocation Area and further identified in section 5.1 Capital Improvements Plan pages 12-13 and 16.

3) Estimated assessed value of project after completion (taxable value):

\$5,500,000

4) Will and KURA board members of staff financially benefit from the project?

NO

5) New or retained jobs resulting from the project:

50+ retained jobs, 5+ new jobs

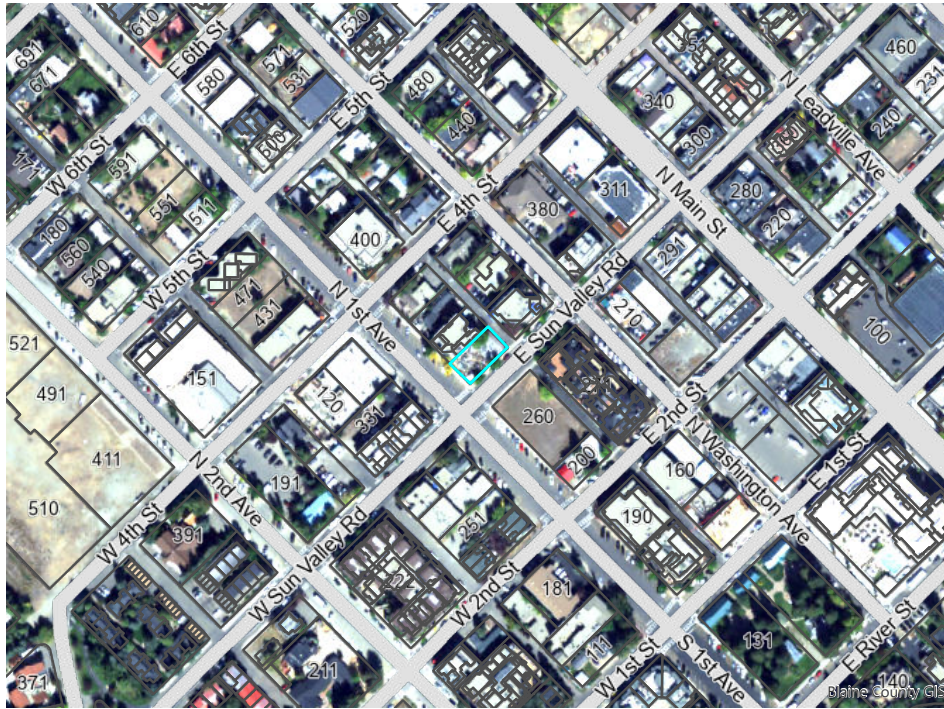
6) Approximate return on public fund investment. (i.e. Public \$ / Private \$)

\$147,735 / \$4,200,000

7) Funding amount requested:

- a. Sidewalk heating system: \$72,968
- b. Pavers and installation: \$33,622
- c. Street trees, irrigation, tree grates: \$58,020
- d. Concrete bench in planter box for bus stop: \$6,500
- e. Public Bench in Bulb out (1st Ave): \$2,000
- f. Public Bike Rack: \$500
- g. Total improvements: \$173,610
- h. Less cost of normal concrete sidewalk: (\$25,875)
- i. **Total Requested Funding: \$147,735**

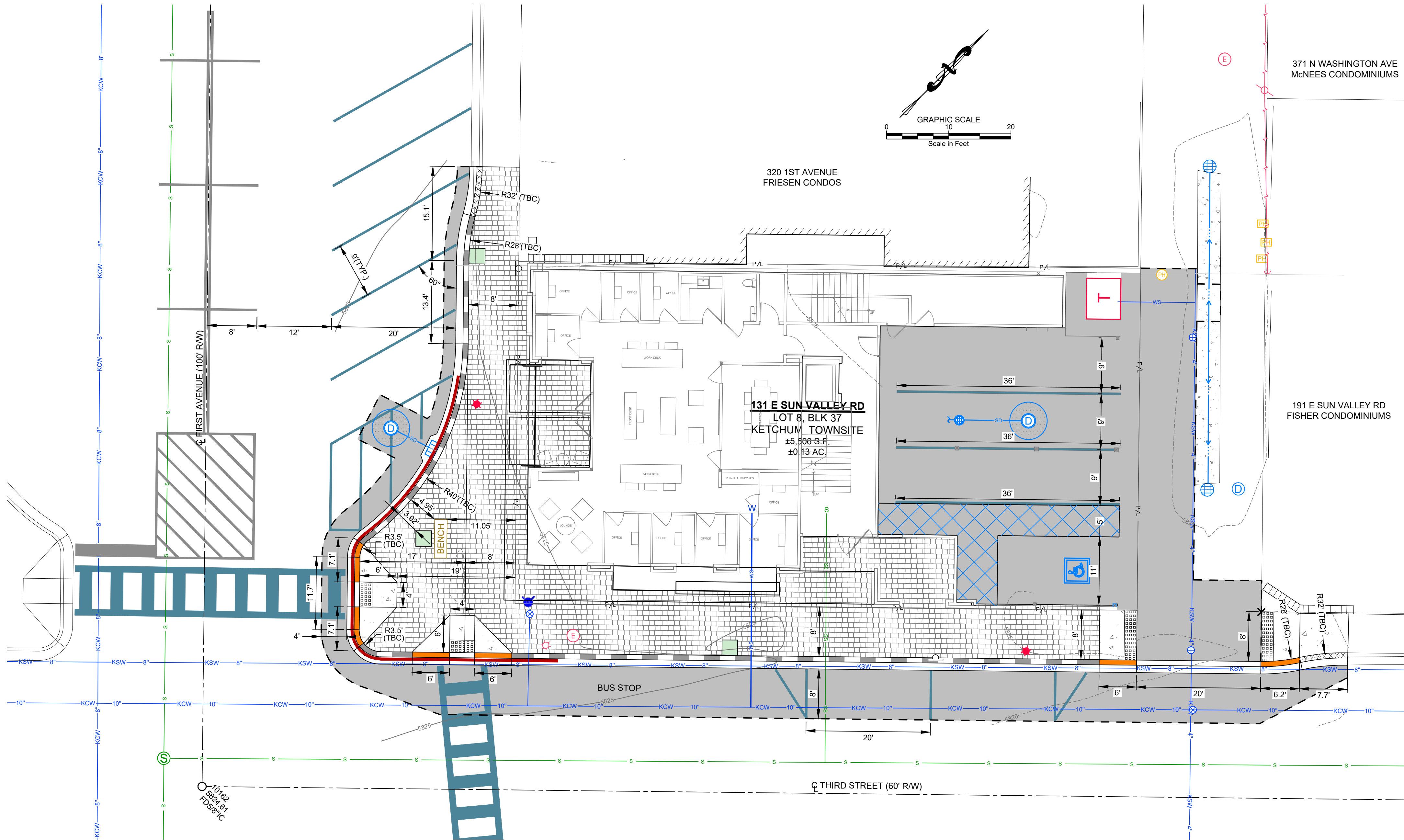
Map of Location: 131 E Sun Valley Rd



REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any project or extensions of this project except by agreement in writing with Galena Engineering, Inc.

CONSTRUCTION NOTES

- ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE "IDAHO REGULATIONS FOR PUBLIC DRINKING WATER SYSTEMS," THE CURRENT EDITION OF THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISPMC), AND CITY OF KETCHUM STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ISPMC ON SITE DURING CONSTRUCTION.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES PRIOR TO COMMENCING AND DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL CALL DIGLINE (1-800-342-1585) TO LOCATE ALL EXISTING UNDERGROUND UTILITIES.
- THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION, INCLUDING BUT NOT LIMITED TO, EPA'S NPDES CONSTRUCTION GENERAL PERMIT.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION.
- CONSTRUCTION OF WATER MAINS AND ALL OTHER RELATED APPURTENANCES SHALL BE IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPMC), IDAPA 58.01.08, IDAHO RULES FOR PUBLIC DRINKING WATER SYSTEMS AND THE CITY OF KETCHUM UTILITIES DEPARTMENT STANDARDS.
- CONTRACTOR SHALL PRESSURE TEST, DISINFECT, AND CONDUCT BIOLOGICAL TESTING IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPMC), AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS, AND THE PRESSURE TESTING, DISINFECTION, AND MICROBIOLOGICAL TESTING PROCEDURES.
- ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL BE ANSINSF STD. 61 COMPLIANT.
- ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL COMPLY WITH THE LOW LEAD ACT REQUIRING ALL MATERIALS TO HAVE A LEAD CONTENT EQUAL TO OR LESS THAN 0.25%.
- THE CONTRACTOR SHALL USE ANSINSF STANDARD 60 CHEMICALS AND COMPOUNDS DURING INSTALLATION & DISINFECTION OF POTABLE WATER MAIN.
- CONTRACTOR SHALL COORDINATE LOCATIONS OF DRY UTILITY FACILITIES (POWER, CABLE, PHONE, TV) NOT SHOWN ON THE DRAWING WITH IDAHO POWER.
- ALL CLEARING & GRUBBING SHALL CONFORM TO ISPMC SECTION 201.
- ALL EXCAVATION & EMBANKMENT SHALL CONFORM TO ISPMC SECTION 202. EXCAVATED SUBGRADE SHALL BE COMPACTED AND ALL UNSUITABLE SECTIONS REMOVED AND REPLACED WITH STRUCTURAL FILL AS DETERMINED BY THE ENGINEER. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITS T-91.
- ALL 2" MINUS GRAVEL SHALL CONFORM TO ISPMC 802, TYPE II (ITD STANDARD 703.04, 2"), SHALL BE PLACED IN CONFORMANCE WITH ISPMC SECTION 801 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99.
- ALL 3/4" MINUS CRUSHED GRAVEL SHALL CONFORM TO ISPMC 802, TYPE I (ITD STANDARD 703.04, 3/4" B), SHALL BE PLACED IN CONFORMANCE WITH ISPMC SECTION 802 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITS T-91.
- ALL ASPHALTIC CONCRETE PAVEMENT WORK SHALL CONFORM TO ISPMC SECTION(S) 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (13MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPMC SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPMC SECTION 805.
- ALL EDGES OF EXISTING ASPHALT PAVING SHALL BE SAW CUT 24" TO PROVIDE A CLEAN PAVEMENT EDGE FOR MATCHING. NO WHEEL CUTTING SHALL BE ALLOWED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL PER THE CURRENT EDITION OF THE US DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL CONCRETE FORM WORK SHALL CONFORM TO ISPMC SECTION 701 AND 703. ALL CONCRETE SHALL BE 3,000 PSI MINIMUM, 28 DAY, AS DEFINED IN ISPMC SECTION 703, TABLE 1.C.
- ALL TRENCHING SHALL CONFORM TO ISPMC STANDARD DRAWING SD-301. TRENCHES SHALL BE BACKFILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
- TOPOGRAPHIC, SITE, AND BOUNDARY SURVEYS SHOWN HEREON WERE CONDUCTED BY GALENA ENGINEERING, 02/12/07. LOCATIONS OF WATER AND SEWER MAINS AND SERVICES SHOWN HEREON ARE PER THE OFFICIAL WATER AND SEWER SYSTEM MAPS PROVIDED BY THE CITY OF KETCHUM.
- PER IDAHO CODE § 55-1613, THE CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS; ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS THAT ARE LOST OR DISTURBED BY CONSTRUCTION SHALL BE REESTABLISHED AND RE-MONUMENTED, AT THE EXPENSE OF THE AGENCY OR PERSON CAUSING THEIR LOSS OR DISTURBANCE AT THEIR ORIGINAL LOCATION OR BY SETTING OF A WITNESS CORNER OR REFERENCE POINT OR A REPLACEMENT BENCHMARK OR CONTROL POINT, BY OR UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR.



LEGEND

EXISTING ITEMS

- Property Line
- Adjoiner's Lot Line
- Centerline
- FDAC = Found Aluminum Cap
- CNTRL = Survey Control
- 5' Contour Interval
- 1' Contour Interval
- Curb & Gutter
- BLDG = Building
- SGN = Sign
- GMTR = Gas Meter
- PHBOX = Telephone Riser
- Overhead Power Line
- Light
- PMH = Power Manhole/Vault
- Subsurface Power Box
- PP = Power Pole
- GUY = Guywire
- Sewer Main
- SMH = Sewer Manhole
- SS = Sewer Service
- DWELL = Dry Well
- WV = Water Valve
- Ketchum City Water Line (10")
- Ketchum City Water Line (8")
- Ketchum Spring Line (8")
- Ketchum Spring Line (4")
- Water Service
- RTW = Retaining Wall
- Road Point
- PHMH = Telephone Manhole

- AP = Angle Point
- COR = Corner
- CWALK = Crosswalk
- CC = Curb Cut
- EOC = Edge of Concrete
- FF = Finished Floor
- FL = Flow Line
- GFF = Garage Finished Floor
- LIP = Lip of Gutter
- NG = Natural Ground
- TP = Top of Pavement
- TBC = Top Back of Curb

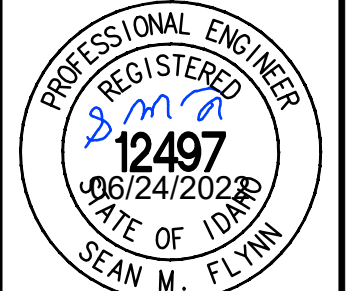
PROPOSED ITEMS

- Asphalt
- Pavers
- Concrete Sidewalk
- 6" Concrete Rolled Curb
- Curb Transition (6" Rolled to Zero Reveal)
- Curb Transition (6" Vertical to 6" Rolled)
- Zero Reveal Curb & Gutter
- ADA Access Truncated Dome
- Sign
- Drywell
- Storm Drain
- Catch Basin
- Sawcut Line
- Road Point
- Grade
- Spot Elevation
- Tree Well
- Improved Fire Hydrant
- BS = Bottom of Steps
- FRE = Finished Floor @ Entry
- LIP = Lip of Gutter
- POC = Point on Curve
- PRC = Point of Reverse Curve
- PT = Point of Tangent
- TA = Top of Asphalt
- TBW = Top Back of Walk
- TS = Top of Steps
- Trash Bin
- ADA Accessible Route (not painted)
- Bench
- Transformer
- Streetlight

1ST & SUN VALLEY OFFICE BUILDING SITE GEOMETRY PLAN

LOCATED WITHIN SECTIONS 13 & 18, T.4N., R.18E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR FARMER PAYNE ARCHITECTS

PROJECT INFORMATION
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CT DESIGNED BY
CT DRAWN BY
SMF CHECKED BY

GALENA
ENGINEERING, INC.
Civil Engineers & Land Surveyors
317 N. River Street
Hailey, Idaho 83433
(208) 786-1705
email: galena@galena-engineering.com

PURPOSE: ISSUE FOR REVIEW		REVISIONS	
NO.	DATE	BY	

C1.0

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LEGEND

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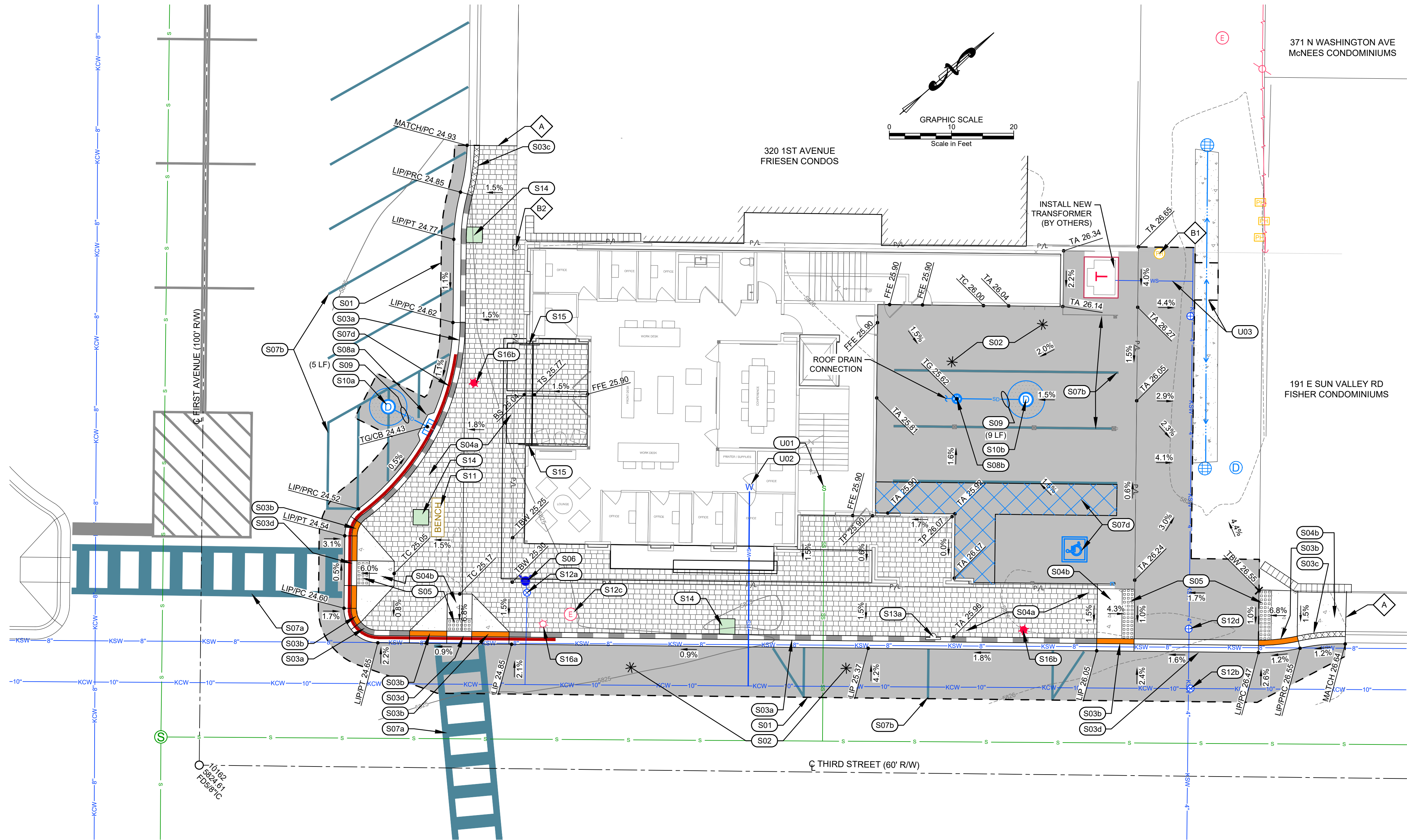
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PROPOSED ITEMS

- Asphalt
Pavers
Concrete Sidewalk
6" Concrete Rolled Curb
Curb Transition (6" Rolled to Zero Reveal)
Curb Transition (6" Vertical to 6" Rolled)
Zero Reveal Curb & Gutter
ADA Access Truncated Dome
Sign
Drywell
Storm Drain
Catch Basin
Sawcut Line
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Bench
Transformer
Trash Bin
ADA Accessible Route (not painted)

CONSTRUCTION (SITE, GRADING, & DRAINAGE) KEY NOTES

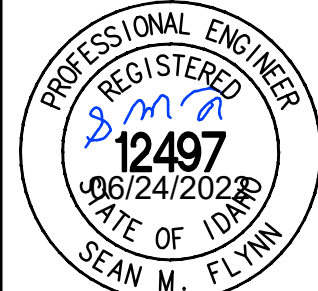
- S01** SAWCUT EXISTING ASPHALT TO PROVIDE FOR A CLEAN VERTICAL EDGE.
- S02** CONSTRUCT ASPHALT ROADWAY / ASPHALT REPAIR PER CITY OF KETCHUM STANDARD DRAWING NO. 3. SEE DETAIL 1 / C1.2.
- S03** CONSTRUCT CONCRETE CURB AND GUTTER
- a. 6" ROLLED C&G PER CITY OF KETCHUM STANDARD DRAWING NO. 4. SEE DETAIL 3 / C1.2.
- b. CURB TRANSITION FROM 6" ROLLED TO ZERO REVEAL PER CITY OF KETCHUM STANDARD DRAWING NO. 6. SEE DETAIL 2 / C1.2.
- c. CURB TRANSITION FROM 6" VERTICAL TO 6" ROLLED.
- d. ZERO REVEAL CURB AND GUTTER PER CITY OF KETCHUM STANDARD DRAWING NO. 6. SEE DETAIL 2 / C1.2.
- S04** CONSTRUCT SIDEWALK. WIDTH AS SHOWN HEREON.
- a. PAVEMENT SIDEWALK. SEE DETAIL 4 / C1.2.
- b. ADA COMPLIANT RAMPS. SEE DETAIL 5 / C1.2.
- S05** INSTALL CITY OF KETCHUM APPROVED CAST IRON TRUNCATED DOME DETECTABLE WARNING INSERT PER CITY OF KETCHUM STANDARD DRAWING NO. 9. SEE DETAIL 1 / C1.3.
- S06** RETAIN AND PROTECT EXISTING FIRE HYDRANT. INSTALL CITY PROVIDED MOUNTAIN EXTENSION. CONTRACTOR TO COORDINATE WITH WATER AND FIRE DEPARTMENTS.
- S07** INSTALL ROAD STRIPING / PAINT
- a. WHITE CROSSWALK STRIPING (12" WIDE STRIPES AND 24" CROSS BARS).
- b. YELLOW ASPHALT PARKING STRIPING (4" WIDE). MATCH CITY PATTERNS.
- c. RED "NO PARKING" STRIPING ON CURB. MATCH CITY PATTERNS.
- d. BLUE ADA PARKING STRIPING AND/OR PARKING SYMBOL (44" WIDE).
- S08** INSTALL CATCH BASIN. PER CITY OF KETCHUM STANDARD DRAWING NO. 9. SEE DETAIL 7 / C1.2.
- a. RIM = 5824.23
I.E.(OUT) = 5821.23
- b. RIM = 5825.62
I.E.(OUT) = 5822.62
- (LF) **S09** INSTALL 12" ADS N-12 STORM DRAIN PIPE WITH A MINIMUM SLOPE OF 2.0%. SEE DETAIL 6 / C1.2 FOR TRENCHING SECTION.
- S10** DRYWELL (PUBLIC). PER CITY OF KETCHUM STANDARD DRAWING NO. 10. SEE DETAIL 8 / C1.2.
- a. RIM = 5824.55
I.E.(IN) = 5821.03
- b. RIM = 5825.78
I.E.(IN) = 5822.44
- BENCH** **S11** INSTALL CITY OF KETCHUM APPROVED PEDESTRIAN BENCH. SEE ARCHITECTURAL PLANS FOR DETAIL.
- S12** RESET UTILITY BOX LID ELEVATION.
- a. WATER VALVE BOX
ORIGINAL RIM = 5824.86
NEW RIM = 5825.30
- b. WATER VALVE BOX
ORIGINAL RIM = 5826.31
NEW RIM = 5826.44
- c. POWER VAULT
ORIGINAL RIM = 5824.97
NEW RIM = 5825.31
- d. WATER VALVE BOX
ORIGINAL RIM = 5825.85
NEW RIM = 5826.31
- S13** SIGNS: SIGN BASE PER CITY OF KETCHUM STANDARD DRAWING NO. 13. SEE DETAIL 3 / C1.3 FOR DETAIL.
- a. INSTALL REGULATORY SIGN. COORDINATE TYPE AND FINAL LOCATION WITH CITY OF KETCHUM.
- S14** INSTALL KETCHUM STANDARD TREE WELL PER CITY OF KETCHUM STANDARD DRAWING NO. 1. SEE DETAIL 2 / C1.3.
- S15** INSTALL ADA COMPLIANT HAND RAIL PAINTED PER ARCHITECTS SPECIFICATIONS. SEE DETAIL 4 / C1.3.
- S16** REPLACE EXISTING LIGHT WITH CITY STANDARD LIGHT POST PER CITY OF KETCHUM STANDARD DRAWING NO. 14. SEE DETAIL 5 / C1.3.
- a. REPLACE EXISTING LIGHT WITH CITY STANDARD LIGHT POST
- b. INSTALL NEW LIGHT
- U01** UTILIZE EXISTING 4" SEWER SERVICE.
- U02** INSTALL 3" POLY PIPE WATER SERVICE. SEE DETAIL 6 / C1.2 FOR TRENCHING STANDARDS.
- U03** LOCATE AND REMOVE EXISTING WATER SERVICE AND CAP AT WATER MAIN. REPAIR CONCRETE VALLEY GUTTER.
- A** MATCH EXISTING LINES AND GRADES
- B** RETAIN AND PROTECT
1. COMMUNICATION MANHOLE
2. SIGN
- UTILITY IMPROVEMENT KEY NOTES**



1ST & SUN VALLEY OFFICE BUILDING GRADING AND DRAINAGE PLAN

LOCATED WITHIN SECTIONS 13 & 18, T.4N., R.18E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR FARMER PAYNE ARCHITECTS

PROJECT INFORMATION
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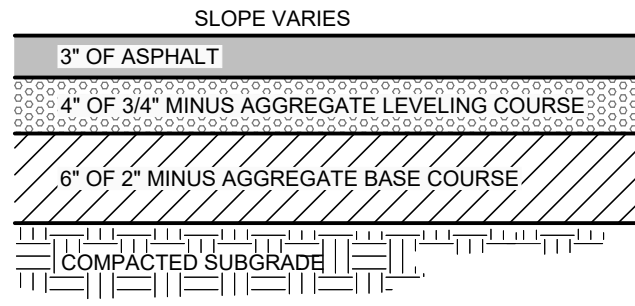


CT
DESIGNED BY
CT
DRAWN BY
SMF
CHECKED BY

GALENA
ENGINEERING, INC.
Civil Engineers & Land Surveyors
317 N. River Street
Hailey, Idaho 83433
(208) 788-1705
email: galena@galena-engineering.com

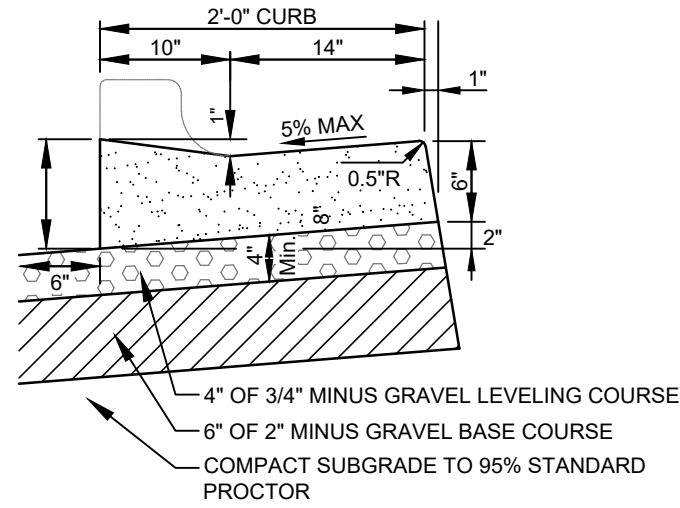
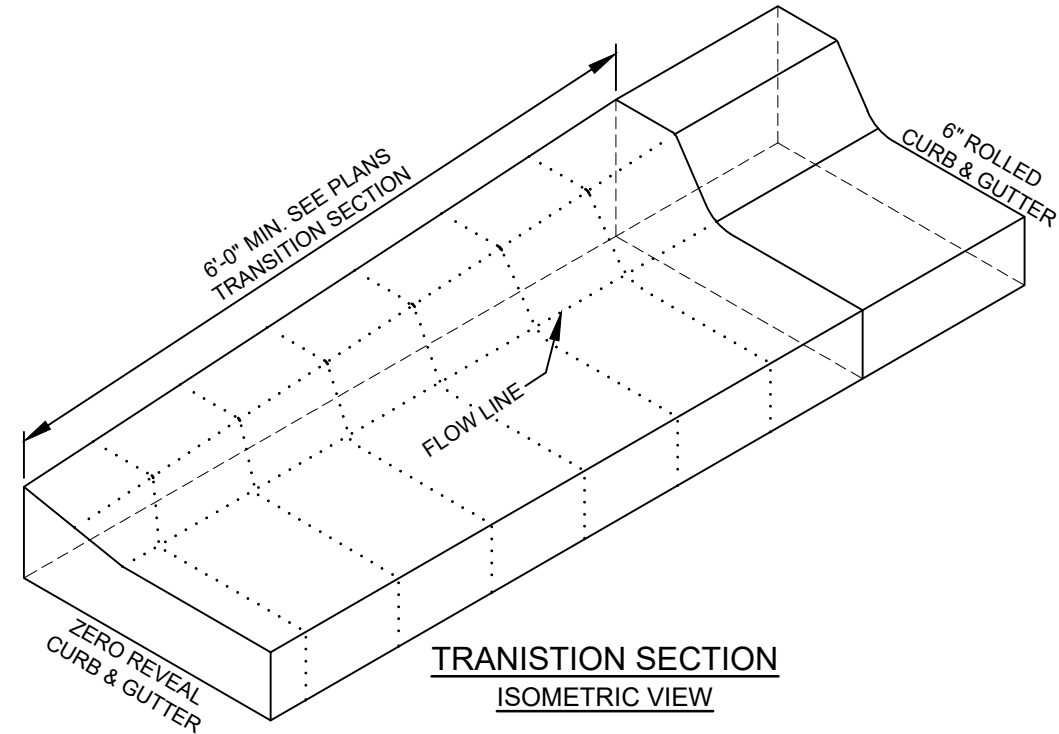
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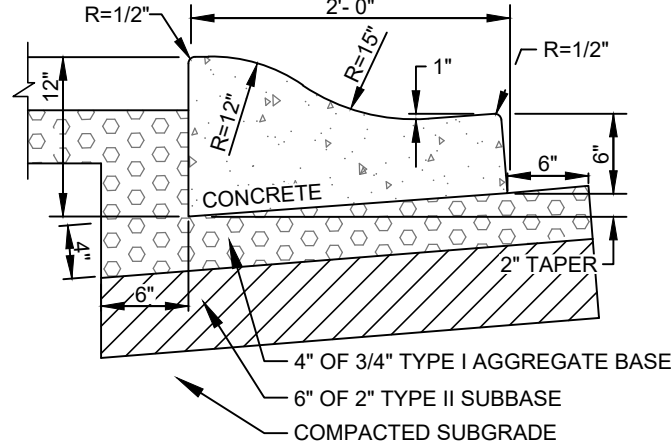
- NOTES:
- SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
 - MATERIALS SHALL CONFORM WITH CURRENT ISWPC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.

1
C1.2 **TYPICAL ASPHALT SECTION**
N.T.S.
CITY OF KETCHUM STANDARD DRAWING NO. 3



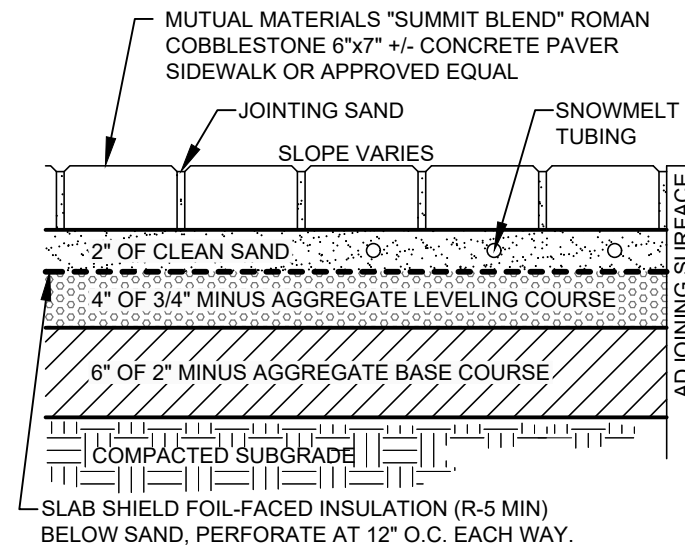
- NOTES:
- 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADII.
 - CONTINUOUS PLACEMENT PREFERRED. SCORE INTERVALS TO MATCH SIDEWALK WITH 10-FEET MAXIMUM SPACING.
 - MATERIALS SHALL CONFORM WITH CURRENT ISWPC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.

2
C1.2 **TYPICAL CURB TRANSITION DETAIL**
N.T.S.
CITY OF KETCHUM STANDARD DRAWING NO. 6

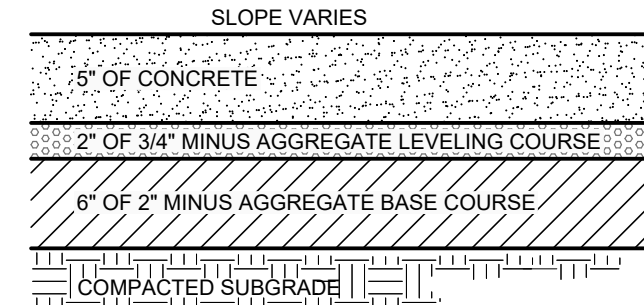


- NOTES:
- SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
 - MATERIALS SHALL CONFORM WITH CURRENT ISWPC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
 - 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADII.
 - CONTINUOUS PLACEMENT PREFERRED. SCORE INTERVALS 10-FEET MAXIMUM SPACING (8-FEET W/SIDEWALK).

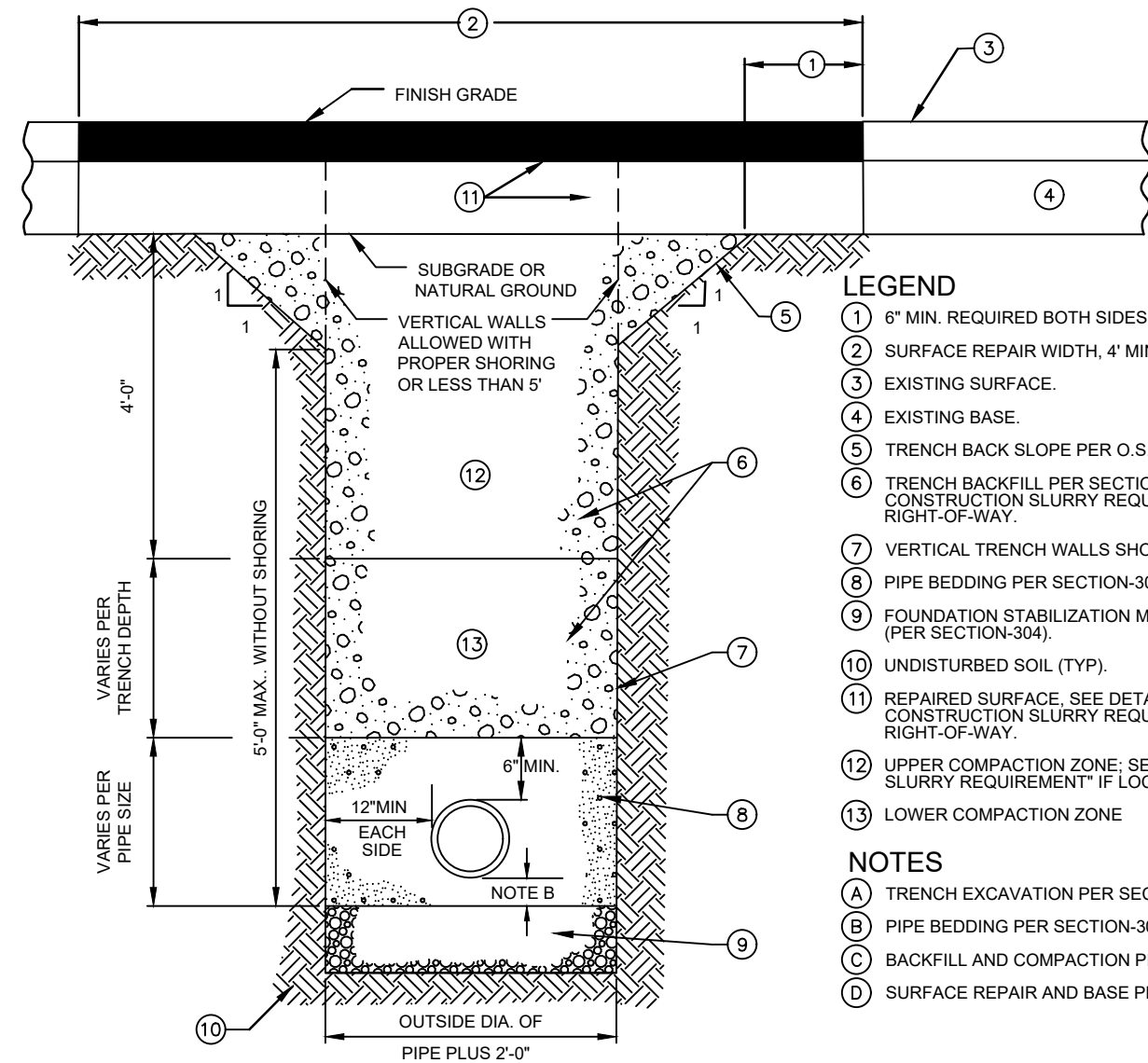
3
C1.2 **6\"/>**
N.T.S.
CITY OF KETCHUM STANDARD DRAWING NO. 4



4
C1.2 **PAVER DETAIL**
N.T.S.



5
C1.2 **TYPICAL CONCRETE SECTION**
N.T.S.
CITY OF KETCHUM STANDARD DRAWING NO. 7



- LEGEND
- 6" MIN. REQUIRED BOTH SIDES. SAWCUT REQUIRED.
 - SURFACE REPAIR WIDTH, 4" MINIMUM.
 - EXISTING SURFACE.
 - EXISTING BASE.
 - TRENCH BACK SLOPE PER O.S.H.A. OR SUITABLE SHORING.
 - TRENCH BACKFILL PER SECTION-306, OR SEE "KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT" IF LOCATED WITHIN PUBLIC RIGHT-OF-WAY.
 - VERTICAL TRENCH WALLS SHORING PER O.S.H.A.
 - PIPE BEDDING PER SECTION-305 (SEE SD-302).
 - FOUNDATION STABILIZATION MAY VARY PER SOIL TYPE AND STABILITY (PER SECTION-304).
 - UNDISTURBED SOIL (TYP).
 - REPAIRED SURFACE. SEE DETAILS 1 AND 2. SEE "KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT" IF LOCATED WITHIN PUBLIC RIGHT-OF-WAY.
 - UPPER COMPACTION ZONE. SEE "KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT" IF LOCATED WITHIN PUBLIC RIGHT-OF-WAY.
 - LOWER COMPACTION ZONE.

- NOTES
- TRENCH EXCAVATION PER SECTION-301.
 - PIPE BEDDING PER SECTION-305.
 - BACKFILL AND COMPACTION PER SECTION-306.
 - SURFACE REPAIR AND BASE PER DETAIL 3/C20

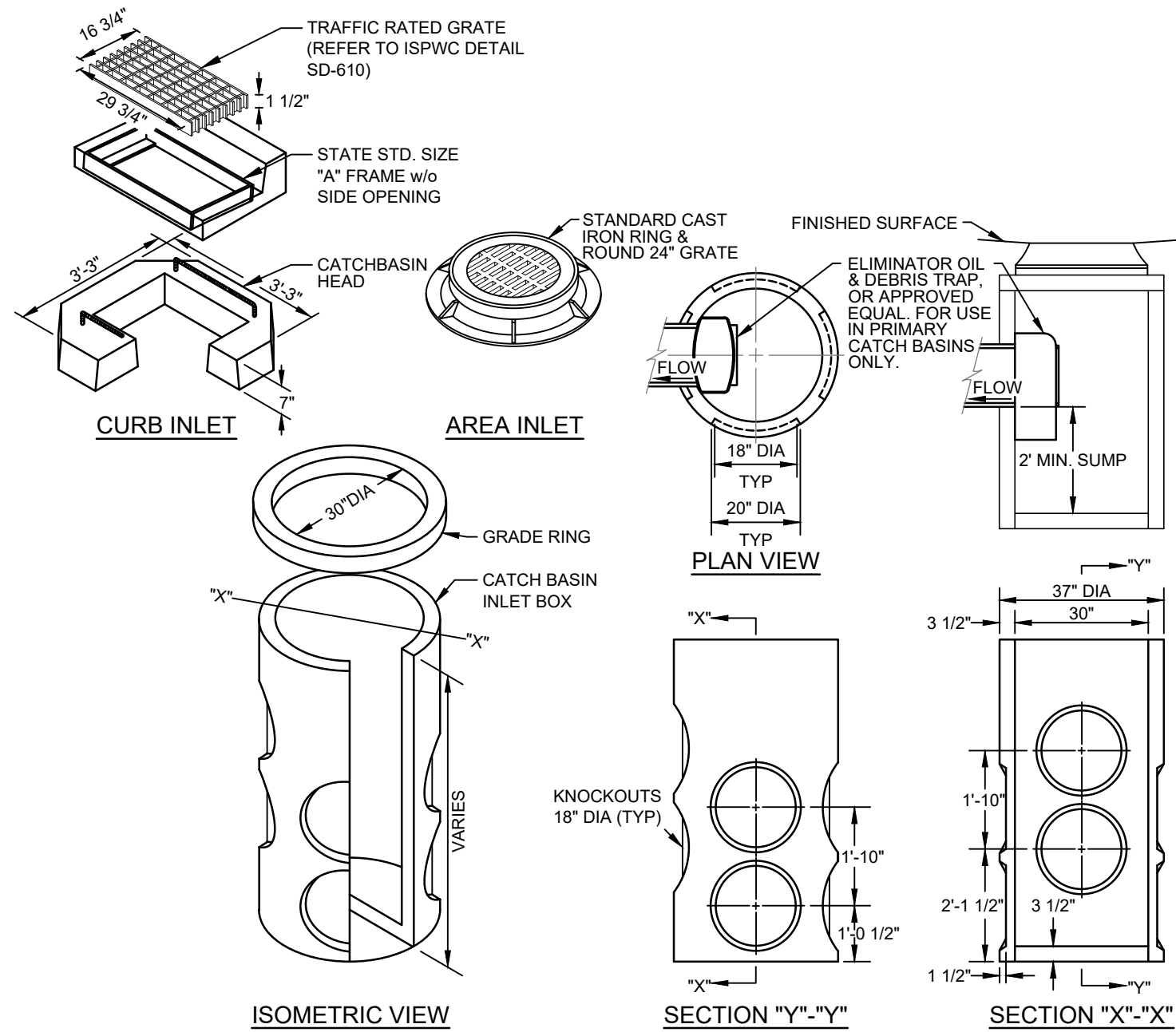
KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT
IN AREAS WHERE IT IS NECESSARY TO CUT THE ASPHALT PAVEMENT AND DIG A TRENCH FOR BURIAL OF CONDUIT CABLE OR OTHER CITY UTILITY, THE TRENCH SHALL BE BACKFILLED WITH A LEAN CONCRETE MIX TO THE FOLLOWING PROPORTIONS OF MATERIALS:

COARSE AGGREGATE (3/4" MINUS) 2,600 LBS.
SAND 800 LBS.
PORTLAND CEMENT 94 LBS.
WATER 11 GAL (MAX.)

WATER CONTENT IS MAXIMUM AND MAY BE REDUCING DOWNWARD. CARES SHALL BE TAKEN TO ASSURE THAT EXCESS WATER IS NOT PRESENT IN THE MIXING DRUM PRIOR TO CHARGING THE MIXER WITH MATERIALS. THOROUGH MIXING WILL BE REQUIRED PRIOR TO DISCHARGE.

NO COMPACTION, VIBRATION OR FINISHING IS REQUIRED. THE LEAN CONCRETE MIX SHALL BE STRUCK OFF AT OR BELOW THE ELEVATION OF THE PLANT MIX SURFACING WITH A SQUARE-NOSE SHOVEL OR SIMILAR HAND TOOL. THE BACKFILL MIX SHALL BE ALLOWED TO SET FOR A MINIMUM OF 2 HOURS BEFORE THE PERMANENT PLANT MIX SURFACING IS PLACED TO COMPLETE THE TRENCH REPAIR. TEMPORARY PLACEMENT OF ASPHALT COLD MIX SURFACING MAY BE NECESSARY TO ACCOMMODATE TRAFFIC WITHIN THE FIRST 2 HOURS OF BACKFILL PLACEMENT PRIOR TO COMPLETING THE PERMANENT REPAIR.

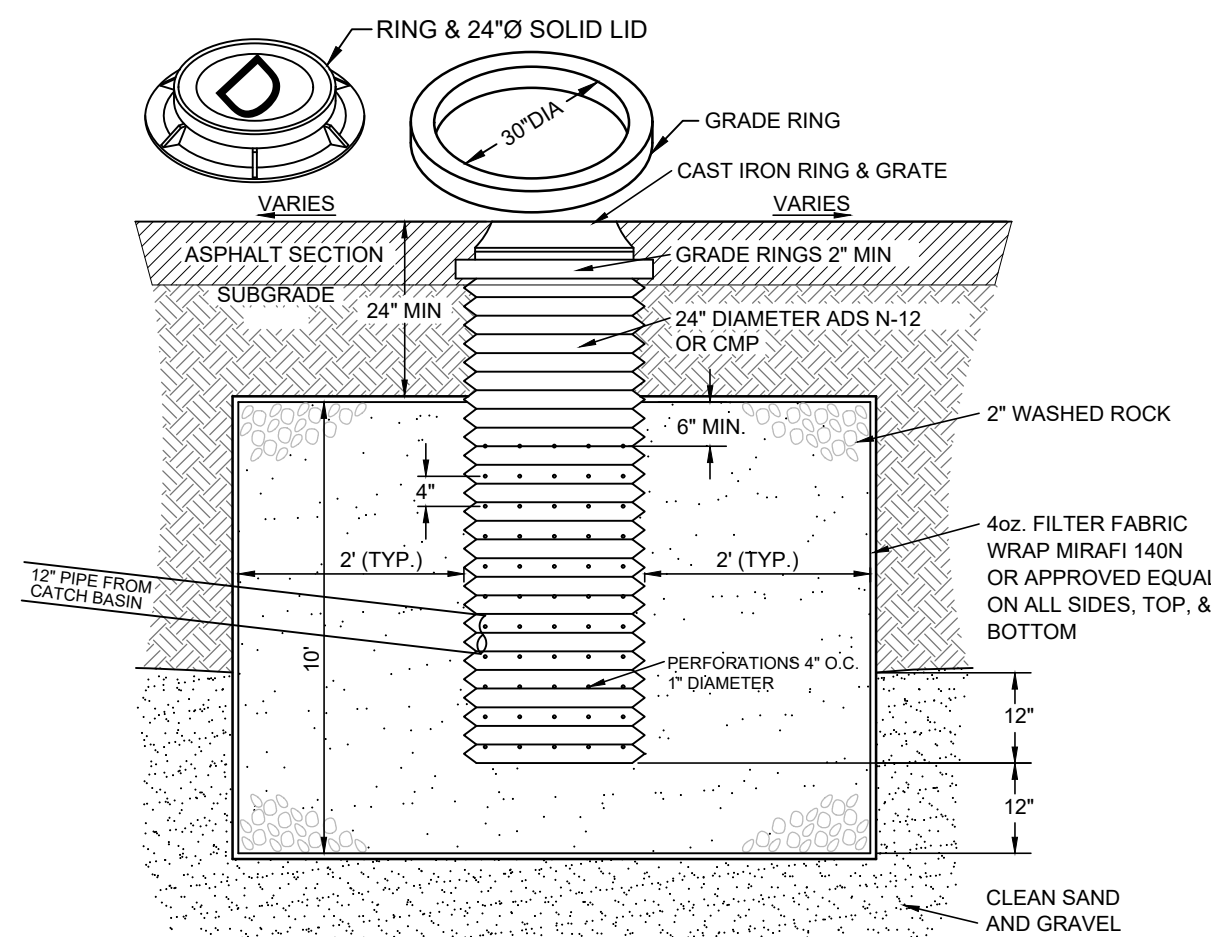
6
C1.2 **TYPICAL TRENCH SECTION**
N.T.S.
CITY OF KETCHUM STANDARD DRAWING NO. 12



CATCH BASIN INSTALLATION NOTES:

- A PRIMARY CATCH BASIN IS DEFINED AS THE FIRST STORM STRUCTURE UPSTREAM OF A DRYWELL. A SATELLITE CATCH BASIN IS DEFINED AS THE STORM STRUCTURE UPSTREAM OF THE PRIMARY CATCH BASIN.
- THE OIL & DEBRIS TRAP SHALL BE INSTALLED ON THE OUTLET OF THE PRIMARY CATCH BASIN ONLY, NOT ON SATELLITE CATCH BASINS.
- PLACE A MINIMUM OF 4" OF COMPACTED BEDDING ON PREPARED SUBGRADE AS SPECIFIED IN ISWPC SECTION 305 - PIPE BEDDING. EXTEND BEDDING EITHER TO THE LIMITS OF THE EXCAVATION OR AT LEAST 12" OUTSIDE THE LIMITS OF THE BASE SECTION.
- FILL THE BALANCE OF THE EXCAVATED AREA WITH SELECT MATERIAL. COMPACTED LEVEL TO THE TOP OF THE BEDDING.
- PROVIDE A SMOOTH AND LEVEL BEARING SURFACE ON THE BEDDING SURFACE.

7
C1.2 **30\"/>**
N.T.S.
CITY OF KETCHUM STANDARD DRAWING NO. 11



NOTES:

- THE BED SHALL BE EXCAVATED A MINIMUM OF 24" INTO CLEAN SAND AND GRAVEL.
- MAXIMUM DEPTH SHALL NOT EXCEED 12 FEET.
- IF CLEAN SAND AND GRAVEL IS NOT ENCOUNTERED WITHIN 12 FEET, THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER.
- GRATE OR SOLID LID AS APPROVED BY CITY OF KETCHUM.

8
C1.2 **DRYWELL DETAIL (PUBLIC)**
N.T.S.
CITY OF KETCHUM STANDARD DRAWING NO. 10

CT
DESIGNED BY
CT
DRAWN BY
SMF
CHECKED BY

GALENA
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Civil Engineers & Land Surveyors
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(208) 788-1705
email: galena@galena-engineering.com

PURPOSE: ISSUE FOR REVIEW

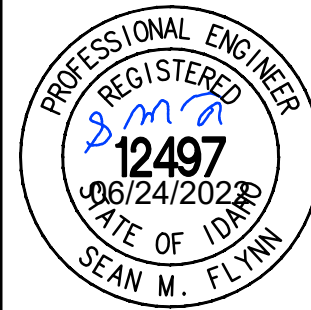
NO.	DATE	BY	REVISIONS

C1.2

1ST & SUN VALLEY OFFICE BUILDING
DETAIL SHEET

LOCATED WITHIN SECTIONS 13 & 13 & 18, T.4N., R.18E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR FARMER PAYNE ARCHITECTS

PROJECT INFORMATION
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Cost Estimates: KMV Builders



131 E Sun Valley Rd - ROW Improvement Estimates

Snow melt system	72,968
Paver sidewalk over snow melt system	33,622
Three street trees, tree grates, and irrigation	58,020
Concrete landscaping planter box and public bench for bus stop	6,500
Public bench in bulb out (similar/mirror to Maudes)	2,000
Public Bike Rack	500
Total Row Costs	173,610
Less concrete sidewalks (2,250 sf x \$11.50)	(25,875)

Total requested funding

147,735



FARMERPAYNE

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Louisiana
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LICENSED
ARCHITECT
AR 986479

4/25/2022

Scott Payne
STATE OF IDAHO

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1st & SUN VALLEY
OFFICE BUILDING

131 EAST SUN VALLEY RD
KETCHUM, ID 83340

DATE:	4/25/22
PROJECT #:	SV2106
DRAWN:	AB/NH
ISSUE:	
DESIGN REVIEW	

A000

COVER

V3

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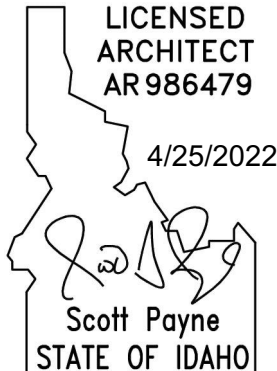
Shreveport, LA 71106

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LICENSED ARCHITECT

AR 986479

4/25/2022



Scott Payne

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1st & SUN VALLEY

OFFICE BUILDING

131 EAST SUN VALLEY RD

KETCHUM, ID 83340

DATE:

4/25/22

PROJECT #:

SV2106

DRAWN:

AB/NH

ISSUE:

DESIGN REVIEW

A00A

SITE PERSPECTIVE RENDERING

V3

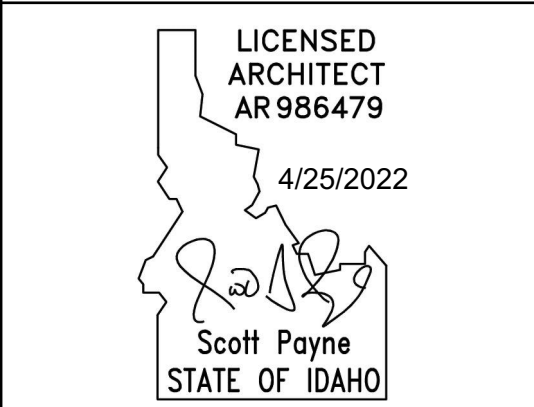
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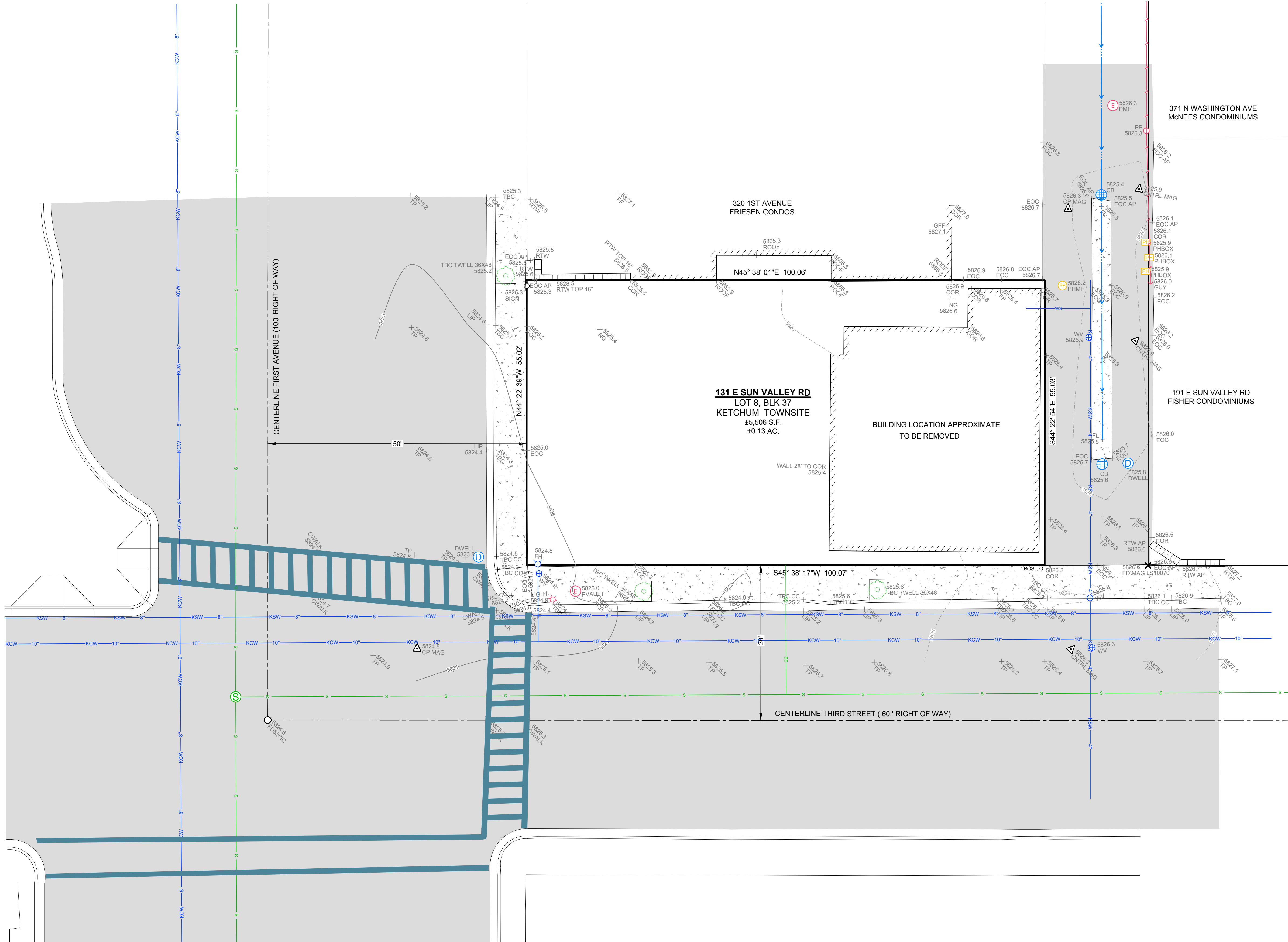


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1st & SUN VALLEY
OFFICE BUILDING
131 EAST SUN VALLEY RD
KETCHUM, ID 83340

DATE:	4/25/22
PROJECT #:	SV2106
DRAWN:	AB/NH
ISSUE:	
DESIGN REVIEW	

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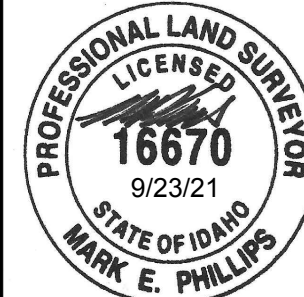
LEGEND

- | | |
|---|-----------------------------|
| Property Line | Light |
| Adjoiner's Lot Line | PBOX = Power Box |
| Centerline of Right of Way | PP = Power Pole |
| CNTRL = Survey Control | GUY = Guywire |
| Found Magnetic Nail | PMH = Power Manhole |
| 5' Contour Interval | CB = Catch Basin |
| 1' Contour Interval | DWELL = Dry Well |
| FL = Flow Line of Creek/Ditch | FH = Fire Hydrant |
| Curb & Gutter | WV = Water Valve |
| Building | AP = Angle Point |
| Asphalt | COR = Corner |
| Concrete Sidewalk | CWALK = Crosswalk |
| RTW = Retaining Wall | CC = Curb Cut |
| DT = Deciduous Tree | EOC = Edge of Concrete |
| SGN = Sign | FF = Finished Floor |
| PHBOX = Telephone Riser | FL = Flow Line |
| PHMH = Telephone Manhole | GFF = Garage Finished Floor |
| Gate Post | LIP = Lip of Gutter |
| Overhead Power Line | NG = Natural Ground |
| Sewer Main | TP = Top of Pavement |
| Sewer Manhole | TBC = Top Back of Curb |
| Sewer Service | |
| KCW = 10" Ketchum City Water Line (10") | |
| KCW = 8" Ketchum City Water Line (8") | |
| KSW = 8" Ketchum Spring Line (8") | |
| KSW = 4" Ketchum Spring Line (4") | |
| WS = Water Service | |

NOTES

- The purpose of this map is to show topographical information as it existed on the date the field survey was performed. Changes may have occurred to site conditions since survey date (09/08/2021).
- Boundary information is based on Found Centerline Monumentation. Please refer to the Official Map of the Village of Ketchum, Instrument No. 302967, records of Blaine County, Idaho.
- Underground utility locations are based on above ground appurtenances, utilities visible at the time of the survey, and City maps. Utilities should be located prior to any excavation.
- Galena Engineering Inc. has not received a Title Policy from the client and has not been requested to obtain one. Relevant information that may be contained within a Title Policy may therefore not appear on this map and may affect items shown hereon. It is the responsibility of the client to determine the significance of the Title Policy information and determine whether it should be included. If the client desires for the information to be included they must furnish said information to Galena Engineering, Inc. and request it be added to this map.
- Benchmark is top of FND 5/8" Rebar at the Intersection of Third Street and First Avenue, elevation = 5824.6. Vertical Datum is NAVD 1988.

A TOPOGRAPHIC MAP SHOWING
131 E SUN VALLEY RD, LOT 8, BLK 37, KETCHUM TOWNSITE
LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR: 131 E SUN VALLEY RD LLC



DESIGNED BY
IDV
DRAWN BY
SMF/MEP
CHECKED BY

GALENA
ENGINEERING, INC.
Civil Engineers & Land Surveyors
317 N. River Street
Hailey, Idaho 83333
(208) 788-1705
email: galena@galena-engineering.com

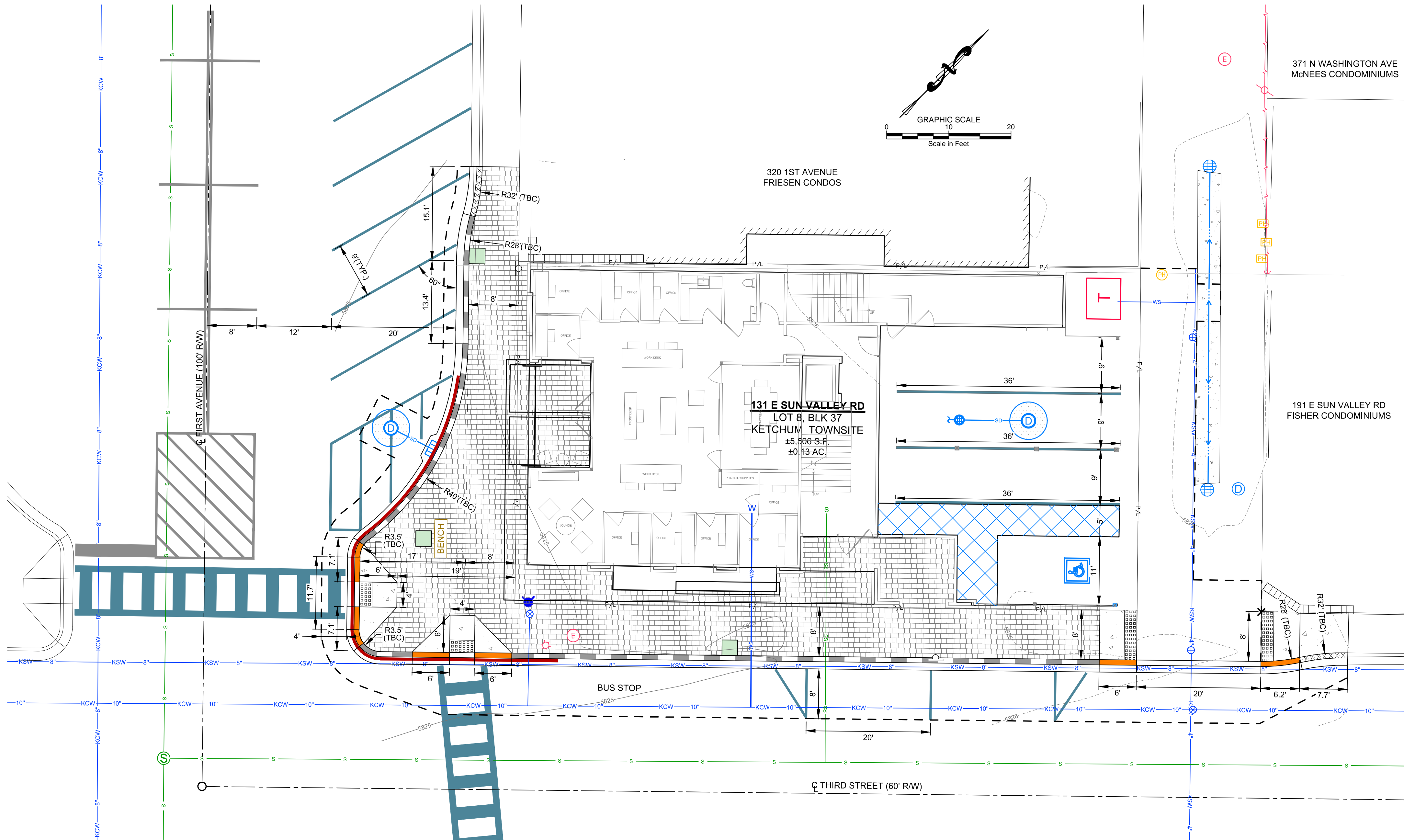
PURPOSE:		REVISIONS	
NO.	DATE	BY	

C0.0

REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any Project or extensions of this Project except by agreement in writing with Galena Engineering, Inc.

CONSTRUCTION NOTES

- ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE "IDAHO REGULATIONS FOR PUBLIC DRINKING WATER SYSTEMS," THE CURRENT EDITION OF THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISPMC), AND CITY OF KETCHUM STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ISPMC ON SITE DURING CONSTRUCTION.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES PRIOR TO COMMENCING AND DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL CALL DIGLINE (1-800-342-1585) TO LOCATE ALL EXISTING UNDERGROUND UTILITIES.
- THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION, INCLUDING BUT NOT LIMITED TO, EPA'S NPDES CONSTRUCTION GENERAL PERMIT.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION.
- CONSTRUCTION OF WATER MAINS AND ALL OTHER RELATED APPURTENANCES SHALL BE IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPMC), IDAPA 58.01.08, IDAHO RULES FOR PUBLIC DRINKING WATER SYSTEMS AND THE CITY OF KETCHUM UTILITIES DEPARTMENT STANDARDS.
- CONTRACTOR SHALL PRESSURE TEST, DISINFECT, AND CONDUCT BIOLOGICAL TESTING IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPMC), AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS, AND THE PRESSURE TESTING, DISINFECTION, AND MICROBIOLOGICAL TESTING PROCEDURES.
- ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL BE ANSINSF STD. 61 COMPLIANT.
- ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL COMPLY WITH THE LOW LEAD ACT REQUIRING ALL MATERIALS TO HAVE A LEAD CONTENT EQUAL TO OR LESS THAN 0.25%.
- THE CONTRACTOR SHALL USE ANSINSF STANDARD 60 CHEMICALS AND COMPOUNDS DURING INSTALLATION & DISINFECTION OF POTABLE WATER MAIN.
- CONTRACTOR SHALL COORDINATE LOCATIONS OF DRY UTILITY FACILITIES (POWER, CABLE, PHONE, TV) NOT SHOWN ON THE DRAWING WITH IDAHO POWER.
- ALL CLEARING & GRUBBING SHALL CONFORM TO ISPMC SECTION 201.
- ALL EXCAVATION & EMBANKMENT SHALL CONFORM TO ISPMC SECTION 202. EXCAVATED SUBGRADE SHALL BE COMPACTED AND ALL UNSUITABLE SECTIONS REMOVED AND REPLACED WITH STRUCTURAL FILL AS DETERMINED BY THE ENGINEER. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITS T-91.
- ALL 2" MINUS GRAVEL SHALL CONFORM TO ISPMC 802, TYPE II (ITD STANDARD 703.04, 2"), SHALL BE PLACED IN CONFORMANCE WITH ISPMC SECTION 801 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99.
- ALL 3/4" MINUS CRUSHED GRAVEL SHALL CONFORM TO ISPMC 802, TYPE I (ITD STANDARD 703.04, 3/4" B), SHALL BE PLACED IN CONFORMANCE WITH ISPMC SECTION 802 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITS T-91.
- ALL ASPHALTIC CONCRETE PAVEMENT WORK SHALL CONFORM TO ISPMC SECTION(S) 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (13MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPMC SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPMC SECTION 805.
- ALL EDGES OF EXISTING ASPHALT PAVING SHALL BE SAW CUT 24" TO PROVIDE A CLEAN PAVEMENT EDGE FOR MATCHING. NO WHEEL CUTTING SHALL BE ALLOWED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL PER THE CURRENT EDITION OF THE US DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL CONCRETE FORM WORK SHALL CONFORM TO ISPMC SECTION 701 AND 703. ALL CONCRETE SHALL BE 3,000 PSI MINIMUM, 28 DAY, AS DEFINED IN ISPMC SECTION 703, TABLE 1.C.
- ALL TRENCHING SHALL CONFORM TO ISPMC STANDARD DRAWING SD-301. TRENCHES SHALL BE BACKFILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
- TOPOGRAPHIC, SITE, AND BOUNDARY SURVEYS SHOWN HEREON WERE CONDUCTED BY GALENA ENGINEERING, 02/12/07. LOCATIONS OF WATER AND SEWER MAINS AND SERVICES SHOWN HEREON ARE PER THE OFFICIAL WATER AND SEWER SYSTEM MAPS PROVIDED BY THE CITY OF KETCHUM.
- PER IDAHO CODE 55-1613, THE CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS. ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS THAT ARE LOST OR DISTURBED BY CONSTRUCTION SHALL BE REESTABLISHED AND RE-MONUMENTED, AT THE EXPENSE OF THE AGENCY OR PERSON CAUSING THEIR LOSS OR DISTURBANCE AT THEIR ORIGINAL LOCATION OR BY SETTING OF A WITNESS CORNER OR REFERENCE POINT OR A REPLACEMENT BENCHMARK OR CONTROL POINT, BY OR UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR.



LEGEND

EXISTING ITEMS

- Property Line
- Adjoiner's Lot Line
- Centerline
- FDAC = Found Aluminum Cap
- CNTRL = Survey Control
- 5' Contour Interval
- 1' Contour Interval
- Curb & Gutter
- BLDG = Building
- SGN = Sign
- GMTR = Gas Meter
- PHBOX = Telephone Riser
- Overhead Power Line
- Light
- PMH = Power Manhole/Vault
- Subsurface Power Box
- PP = Power Pole
- GUY = Guywire
- Sewer Main
- SMH = Sewer Manhole
- SS = Sewer Service
- DWELL = Dry Well
- WV = Water Valve
- KCW = 10" Ketchum City Water Line (10")
- KCW = 8" Ketchum City Water Line (8")
- KSW = 8" Ketchum Spring Line (8")
- KSW = 4" Ketchum Spring Line (4")
- Water Service
- RTW = Retaining Wall
- Road Point
- PHMH = Telephone Manhole

- AP = Angle Point
- COR = Corner
- CWALK = Crosswalk
- CC = Curb Cut
- EOC = Edge of Concrete
- FF = Finished Floor
- FL = Flow Line
- GFF = Garage Finished Floor
- LIP = Lip of Gutter
- NG = Natural Ground
- TP = Top of Pavement
- TBC = Top Back of Curb

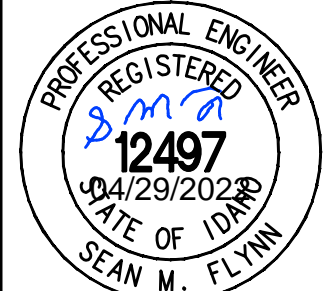
PROPOSED ITEMS

- Asphalt
- Pavers
- Concrete Sidewalk
- 6" Concrete Rolled Curb
- Curb Transition (6" Rolled to Zero Reveal)
- Curb Transition (6" Vertical to 6" Rolled)
- Zero Reveal Curb & Gutter
- ADA Access Truncated Dome
- Sign
- Drywell
- Storm Drain
- Catch Basin
- Sawcut Line
- Road Point
- Grade
- Spot Elevation
- Tree Well
- Improved Fire Hydrant
- BS = Bottom of Steps
- FPE = Finished Floor @ Entry
- LIP = Lip of Gutter
- POC = Point on Curve
- PRC = Point of Reverse Curve
- PT = Point of Tangent
- TA = Top of Asphalt
- TBW = Top Back of Walk
- TS = Top of Steps
- Trash Bin
- ADA Accessible Route (not painted)
- Bench
- Transformer

1ST & SUN VALLEY OFFICE BUILDING SITE GEOMETRY PLAN

LOCATED WITHIN SECTIONS 13 & 18, T.4N., R.18E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR FARMER PAYNE ARCHITECTS

PROJECT INFORMATION
131st & Sun Valley Office Building Construction 18242 ENG 2022-04-21 dwg 04/2022 3:13:04 PM



CT DESIGNED BY
CT DRAWN BY
SMF CHECKED BY

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ENGINEERING, INC.
Civil Engineers & Land Surveyors
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(208) 788-1705
email: galena@galena-engineering.com

PURPOSE: ISSUE FOR REVIEW		REVISIONS	
NO.	DATE	BY	

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ARCHITECT
AR 986479

4/25/2022

Scott Payne
STATE OF IDAHO

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1st & SUN VALLEY
OFFICE BUILDING
131 EAST SUN VALLEY RD
KETCHUM, ID 83340

DATE: 4/29/22

PROJECT #: SV2106

DRAWN: AB/NH

ISSUE:

DESIGN REVIEW

A100
SQUARE FOOTAGE
DIAGRAMS



3RD LEVEL PLAN
SCALE: 1/8" = 1'-0"



MAIN LEVEL PLAN
SCALE: 1/8" = 1'-0"



2ND LEVEL PLAN
SCALE: 1/8" = 1'-0"

REQUIRED 5'-0" AVERAGE STREET FRONTAGE SETBACKS

STORY	SETBACK AREA	BUILDING FACADE LENGTH	TOTAL AVERAGE
Main Level	South Side: 477' /	95'-0"	= 5.02'
	West Side: 251' /	48'-6 ^{1/4} "	= 5.17'
Second Level	South Side: 480' /	95'-0"	= 5.05'
	West Side: 246' /	48'-11 ^{3/4} "	= 5.02'
Third Level	South Side: 716' /	94'-6 ^{1/2} "	= 7.58'
	West Side: 247' /	48'-6 ^{1/4} "	= 5.09'

SQUARE FOOTAGE TABULATIONS

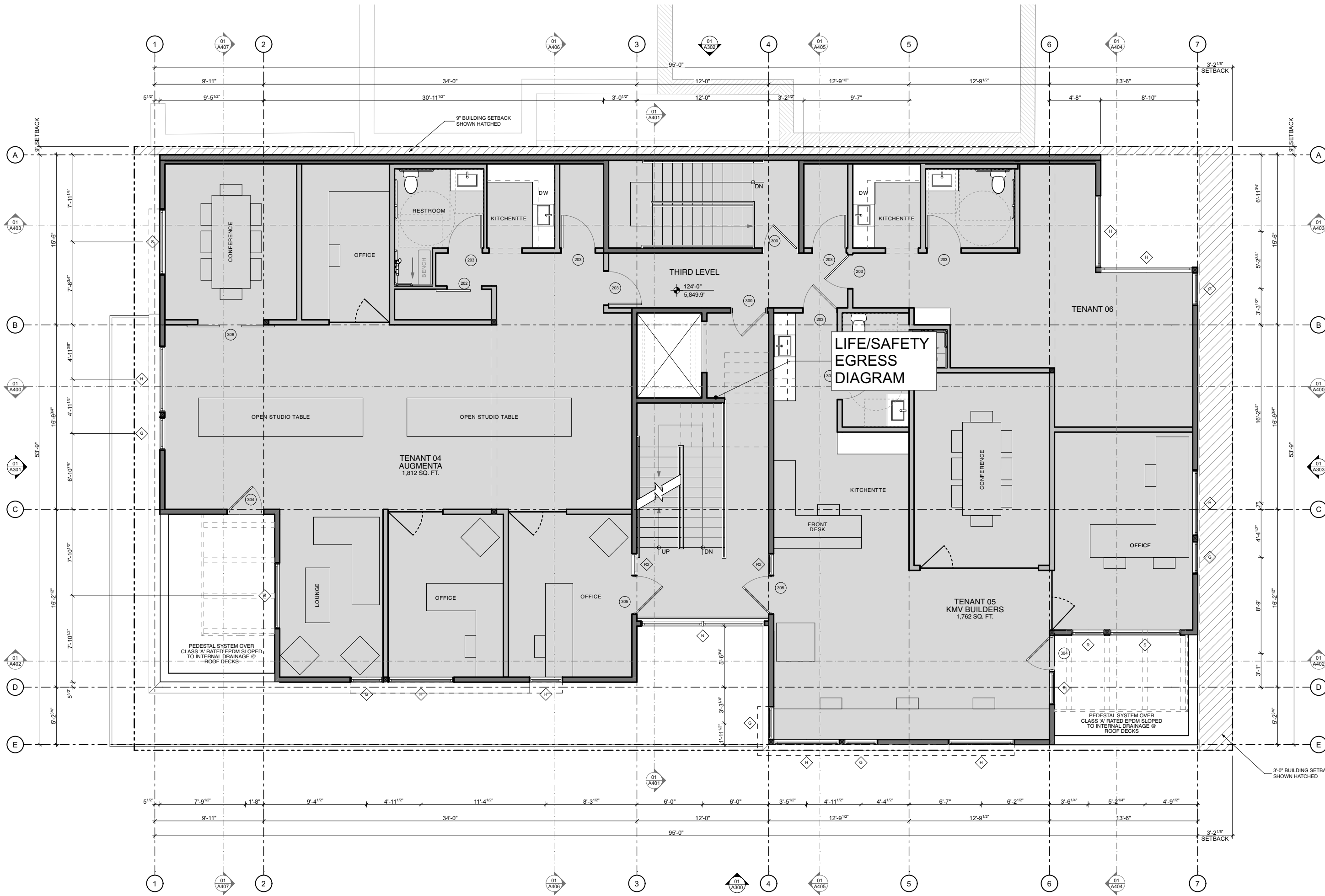
PROPOSED GROSS SQUARE FOOTAGE

Main Level:	
Tenant 01 -	1,813 sf
Common Space -	176 sf
Stair & Elevator -	222 sf
Atrium -	134 sf
Mechanical -	209 sf
Garage (enclosed) -	440 sf
Total	2,994 sf

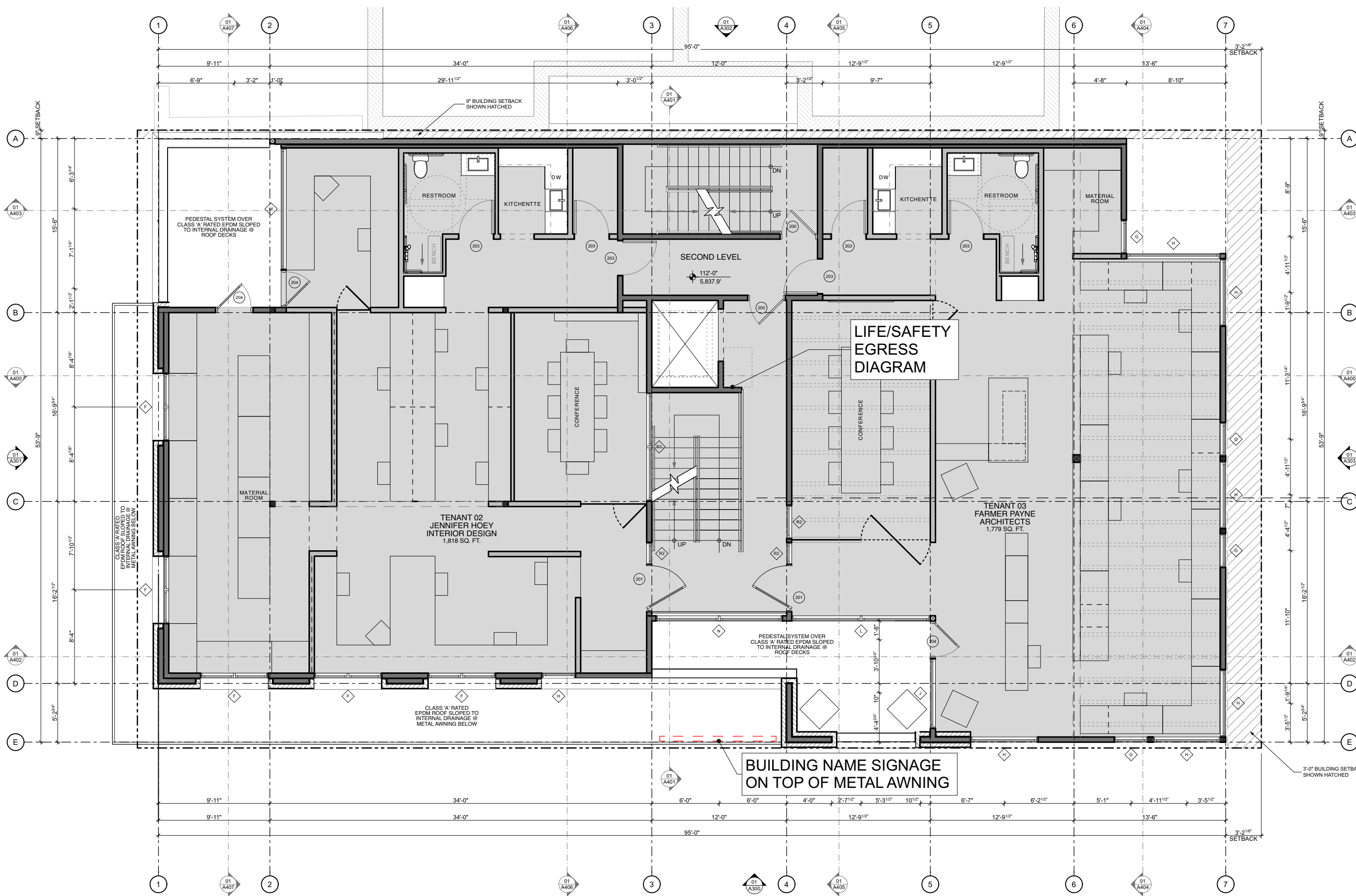
Second Level:	
Tenant 02 -	1,818 sf
Common Space -	372 sf
Tenant 03 -	1,779 sf
Total	3,969 sf

Third Level:	
Tenant 04 -	1,812 sf
Common Space -	395 sf
Tenant 05 -	1,762 sf
Total	3,969 sf

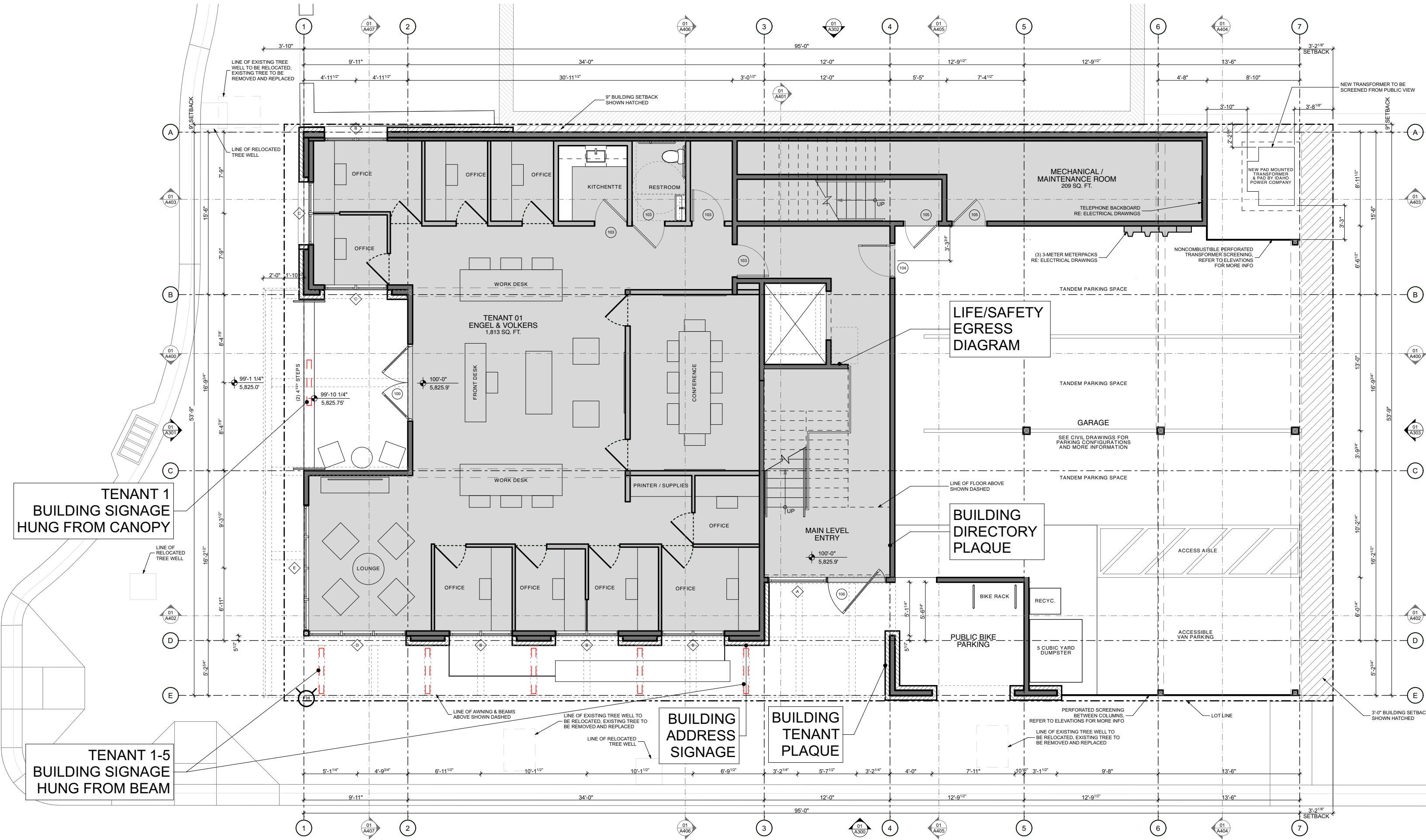
Total Gross:	10,932 sf
---------------------	------------------



3RD LEVEL PLAN
SCALE: 1/8" = 1'-0"



2ND LEVEL PLAN
SCALE: 1/8" = 1'-0"



MAIN LEVEL PLAN
SCALE: 1/8" = 1'-0"

PROPOSED SIGNAGE SQUARE FOOTAGE
Tenant Signage (6 Total) = 4'-6" x 8" = 3'-0"(6) = 18' sq. ft.
Address Signage = 1'-6" x 10" = 1.25 sq. ft.
Tenant Plaque = 1'-6" x 2'-6" = 3.75 sq. ft.
Building Name Signage = 1'-0" x 10'-0" = 10 sq. ft.
TOTAL PROPOSED SIGNAGE SQUARE FOOTAGE = 33 sq. ft.

Refer to Project Information Sheet for
more Information & City Ordinances.

TOTAL AREA OF EXTERIOR SIGNAGE
95'-0" x 53'-9" (Building Frontage) = 148'-9"
148'-9" / 3 (Reduction Factor) = 49.58 sq. ft.
Refer to Elevations for Approximate
Signage Locations, Sizes & Clearances



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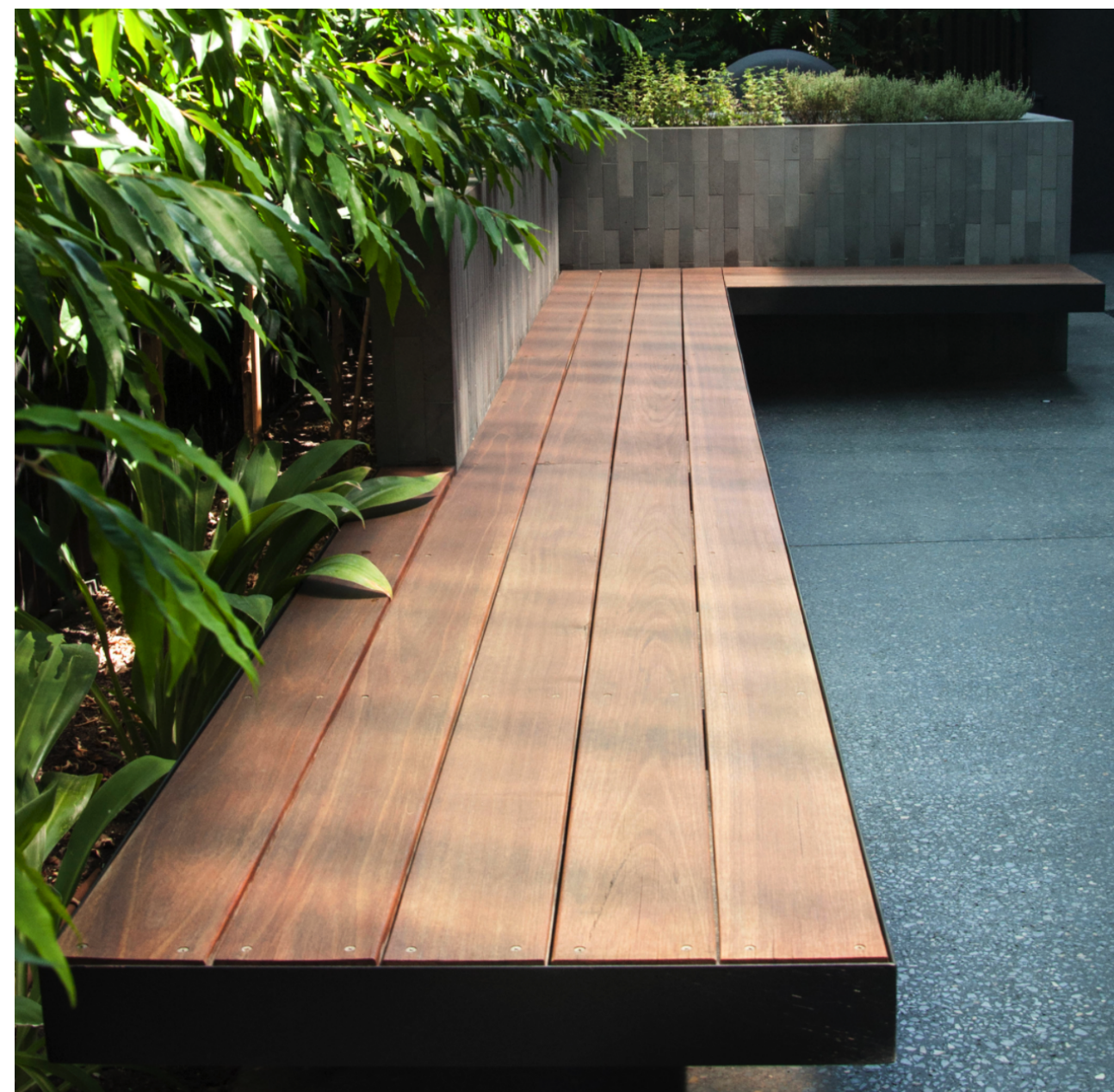
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OFFICE BUILDING
131 EAST SUN VALLEY RD
KETCHUM, ID 83340

DATE: 4/29/22
PROJECT #: SV2106
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DESIGN REVIEW

A101
SIGNAGE PLANS

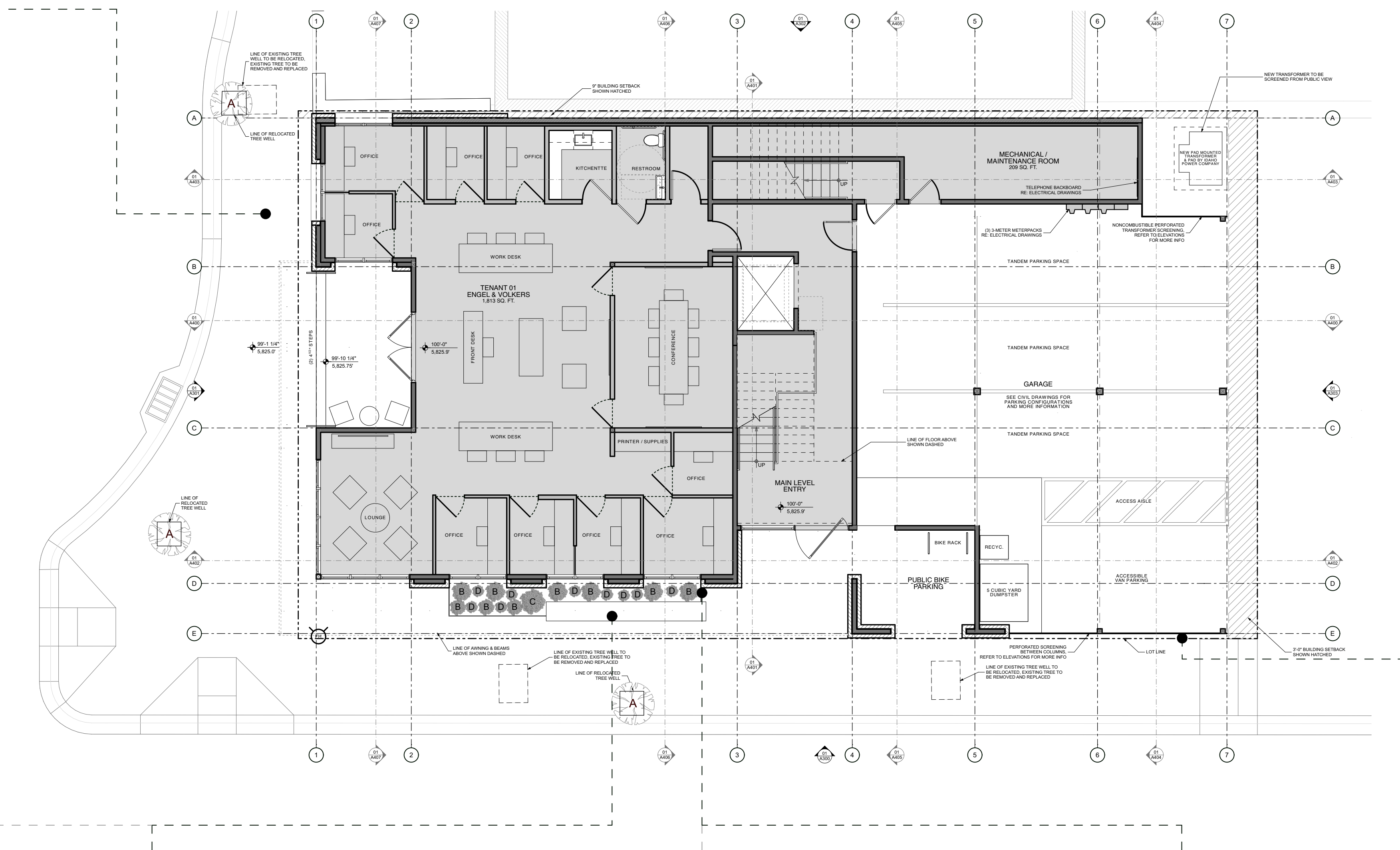


PIXIE FOUNTAIN HAIR GRASS

	SPECIES	QUANTITY	SIZE	KEY
TREES	Verify Existing	3	Verify Existing	A
GRASSES	Blue Oat Grass (Helictotrichon Sempervirens)	13 / 1	2 Gal. / 3 Gal.	B / C
	Pixie Fountain Hair grass (Deschampsia Cespitosa)	13	1 Gal.	D



BLUE OAT GRASS



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OFFICE BUILDING

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DATE: 4/29/22

PROJECT #:	SV2106
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A200A

MAIN LEVEL
LANDSCAPE / SITE PLAN

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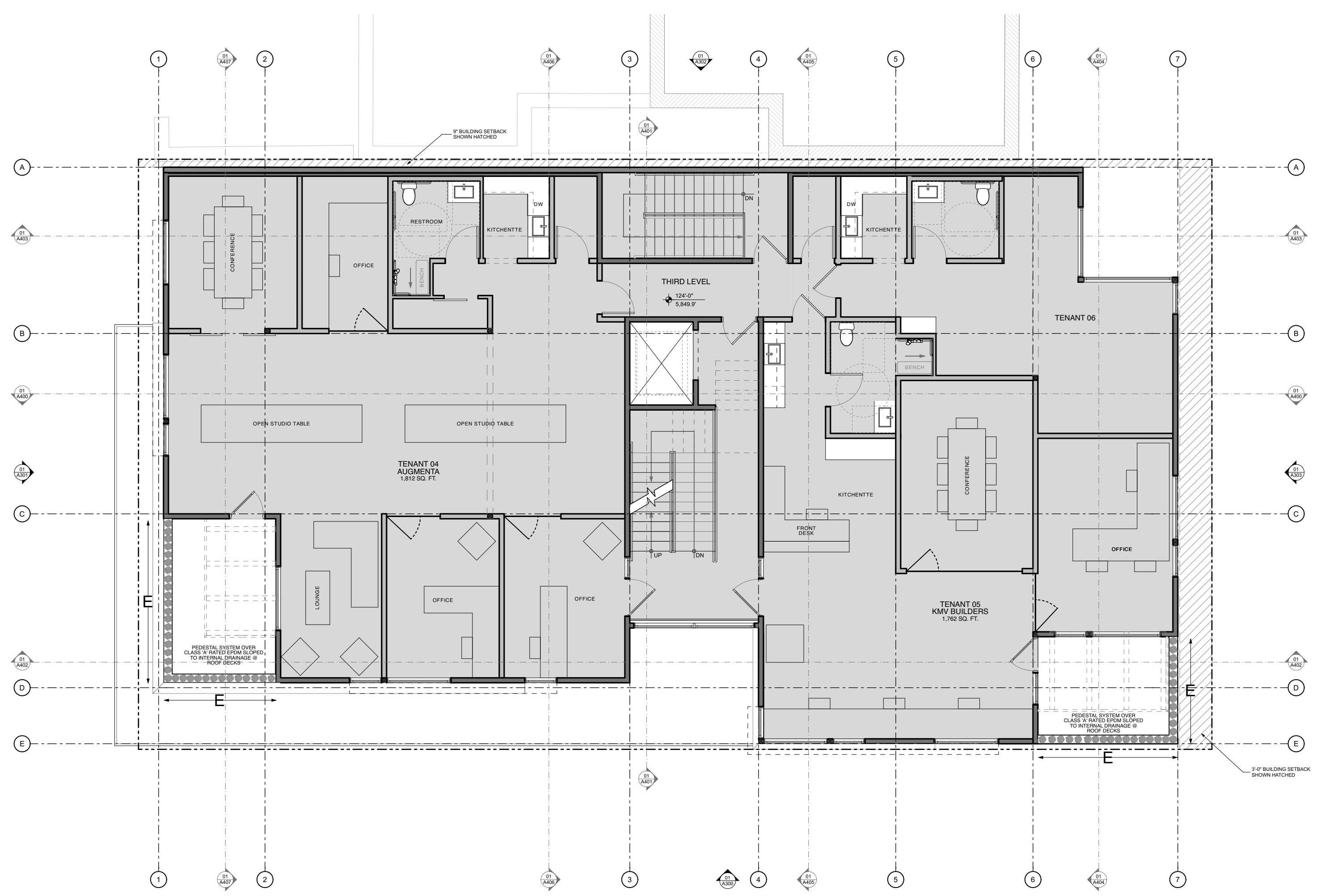
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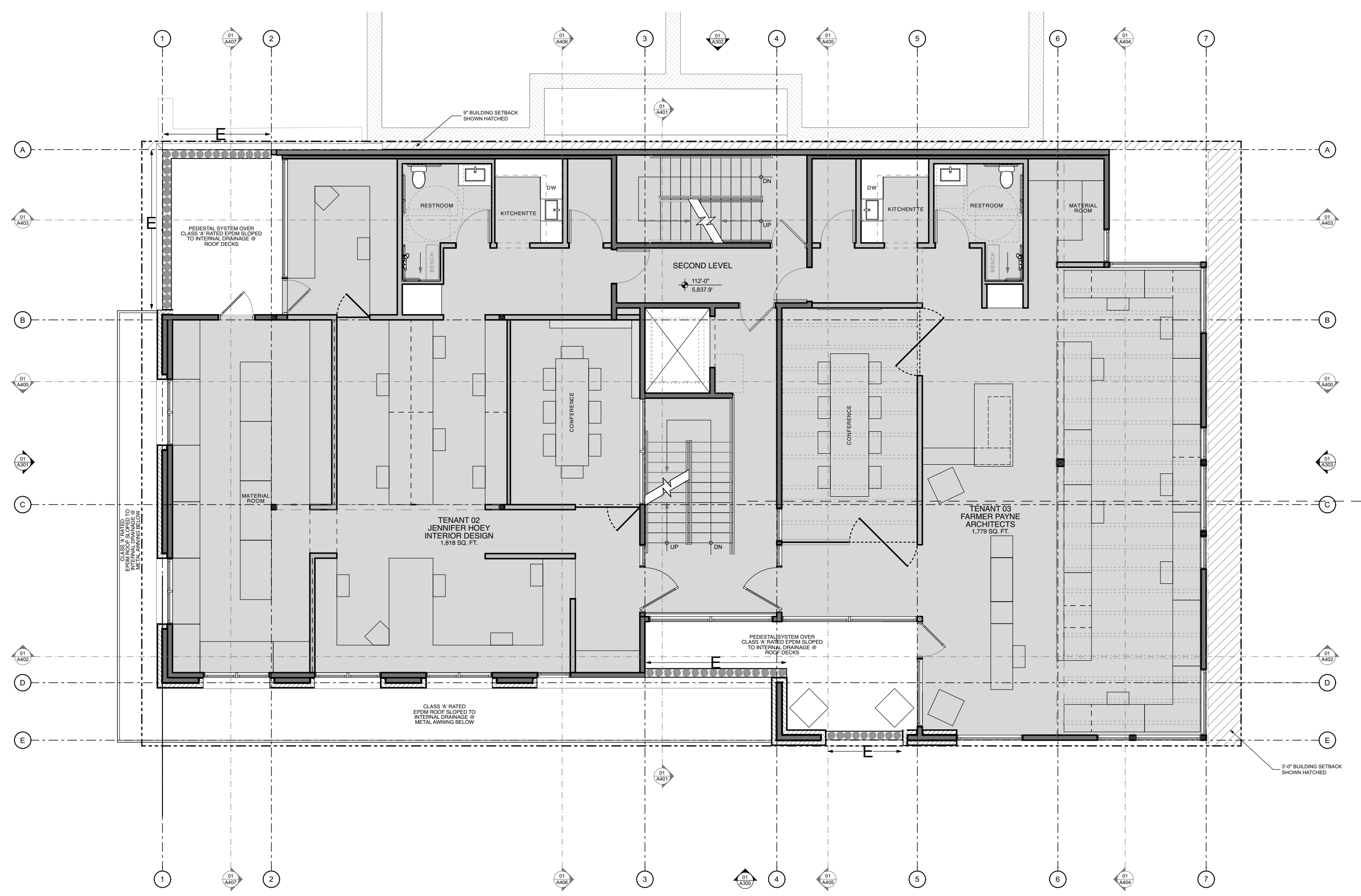
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3RD LEVEL LANDSCAPE PLAN
SCALE: 1/8" = 1'-0"



2ND LEVEL LANDSCAPE PLAN
SCALE: 1/8" = 1'-0"

LANDSCAPE LEGEND - 3RD LEVEL

	SPECIES	QUANTITY	SIZE	KEY
VINES	Trumpet Honeysuckle (Lonicera Sempervirens)	64	1 Gal.	E

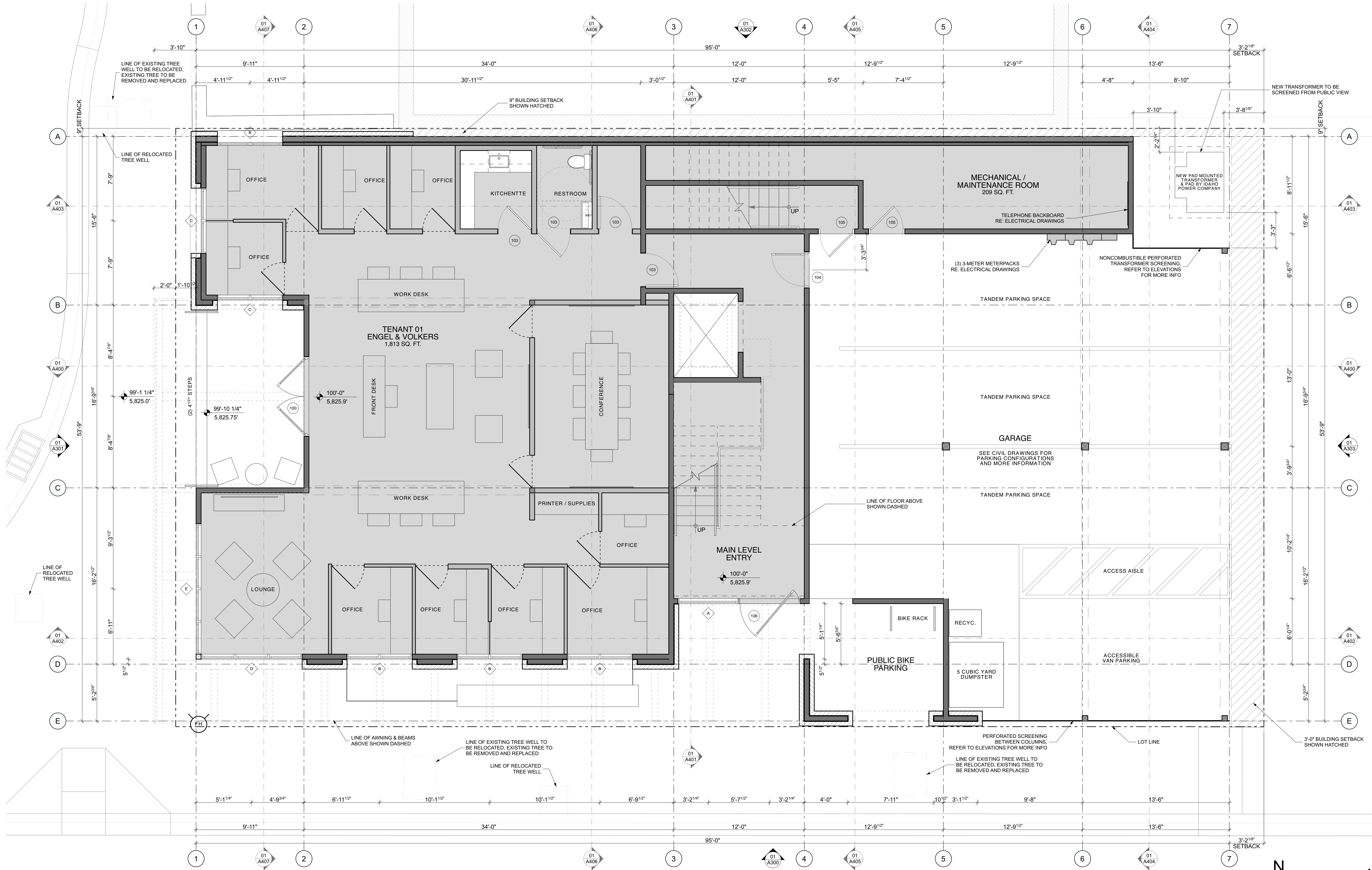


TRUMPET HONEYSUCKLE

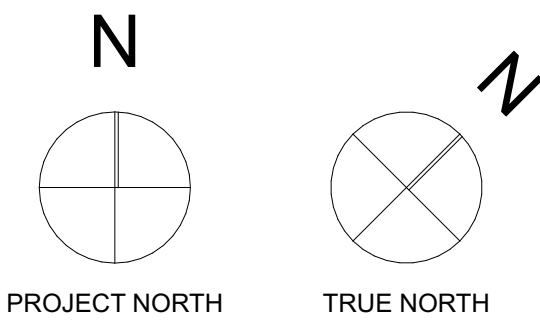


LANDSCAPE LEGEND - 2ND LEVEL

	SPECIES	QUANTITY	SIZE	KEY
VINES	Trumpet Honeysuckle (Lonicera Sempervirens)	57	1 Gal.	E



MAIN LEVEL PLAN
SCALE: 1/4" = 1'-0"



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A201

MAIN LEVEL PLAN

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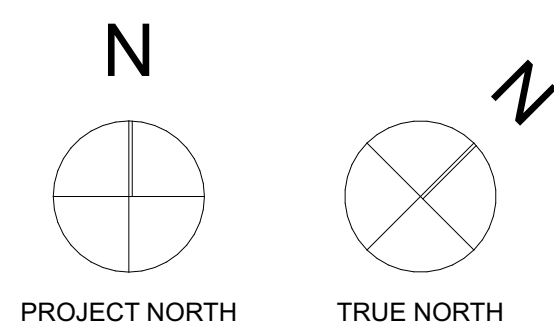
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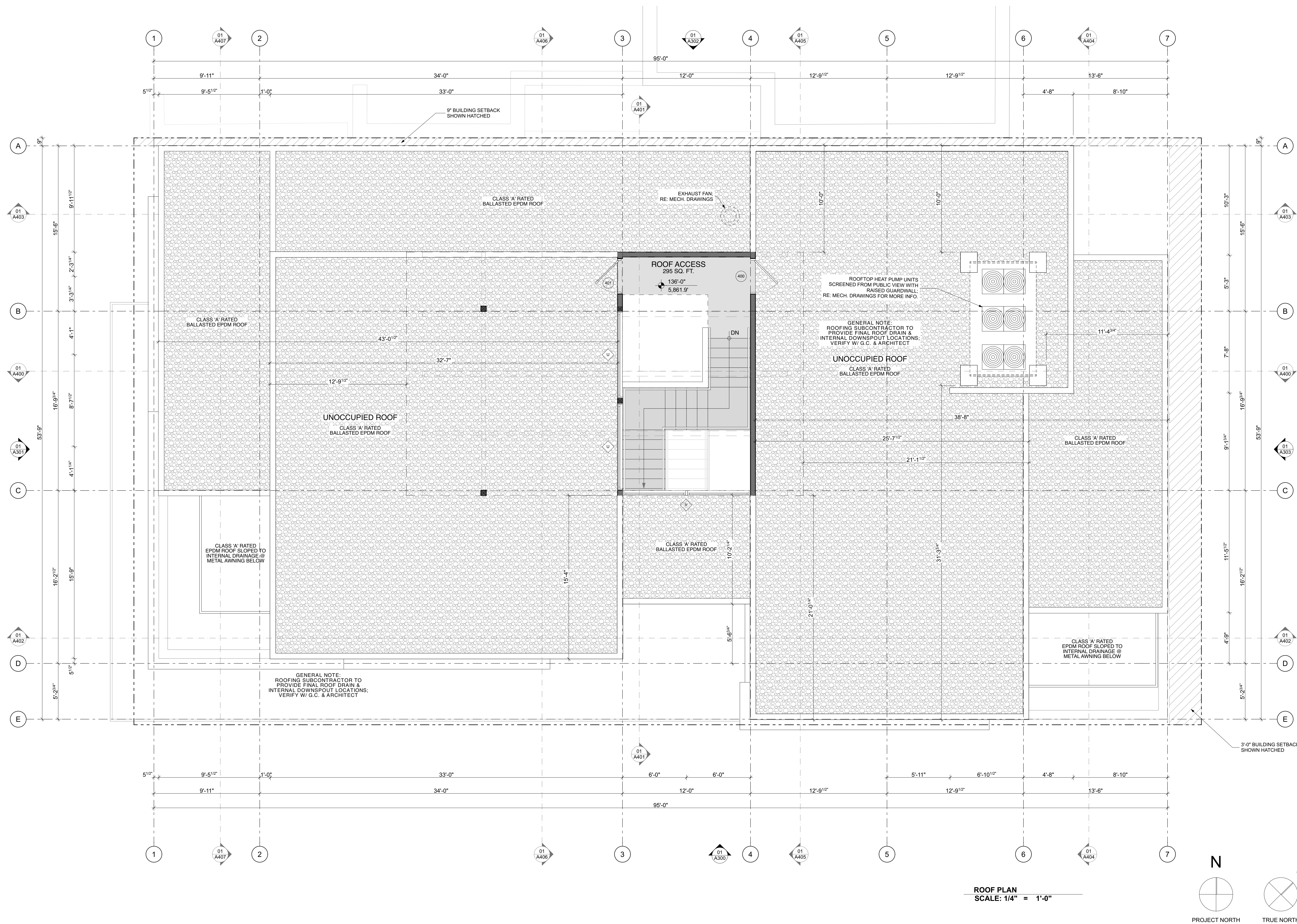
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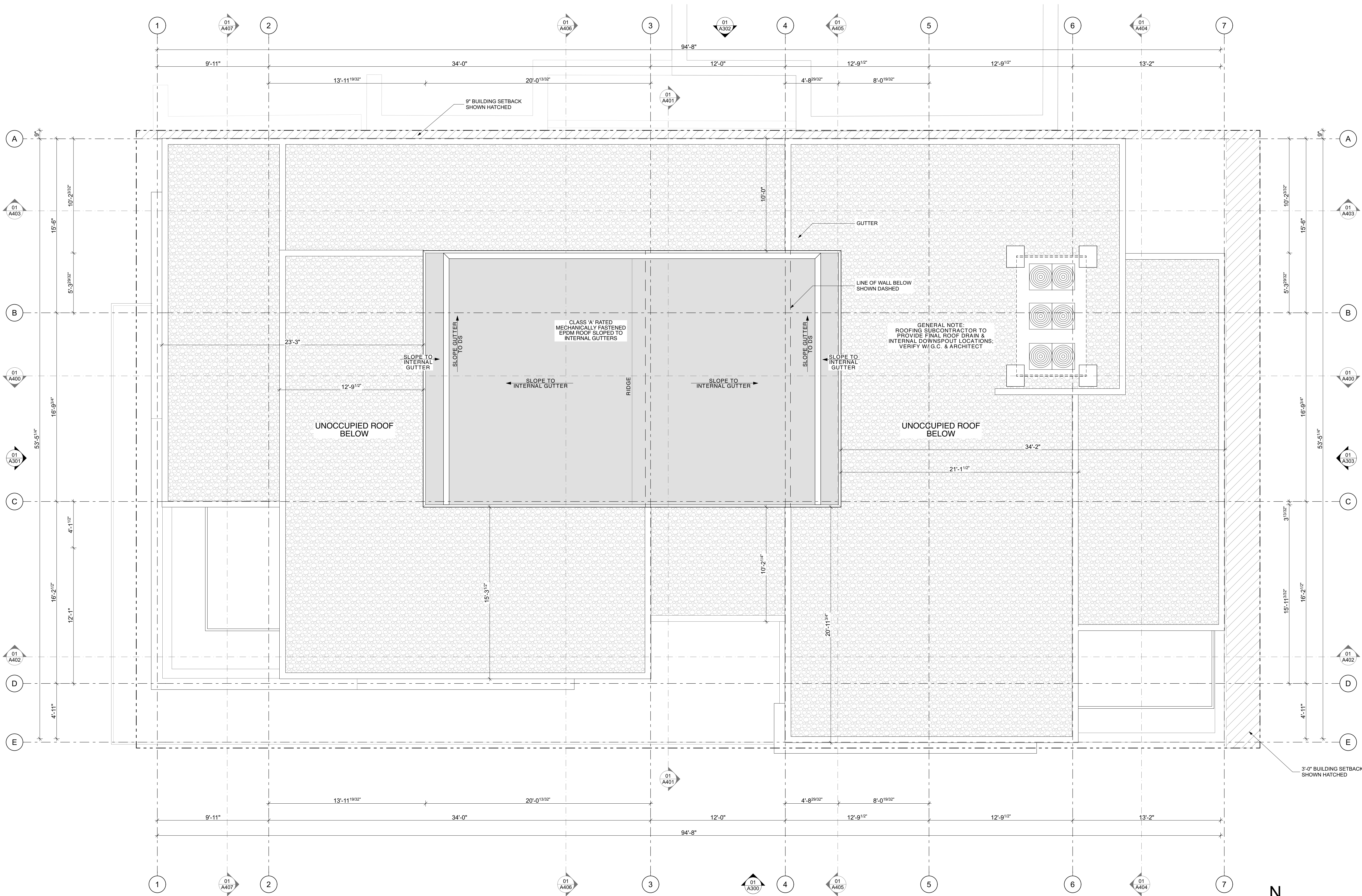
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A202
2ND LEVEL PLAN

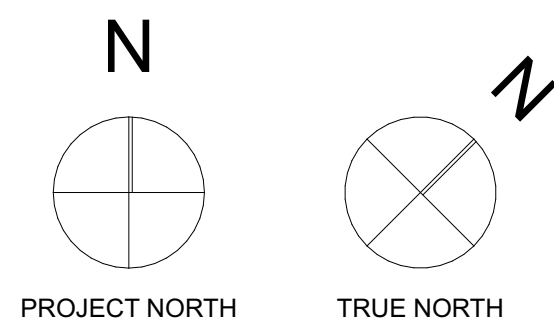








UPPER ROOF PLAN
SCALE: 1/4" = 1'-0"



01	Antique Brick Facade with Large Mortar Joints, Quality of General Shale Cambridge Series
02	20 ga. Multi-Width Vertical Boxed Seam Metal Siding, Quality of Bryer Axis Series
03	20 ga. Blackened Metal Panels
04	Thermally Broken Aluminum Window / Door, Typ., Quality of Kolbe Ultra Series or Quaker
05	Reclaimed Heavy Timbers, Typ.
06	Single-Ply Class 'A' Rated EPDM Roof
07	Blackened Plate Steel
08	20 ga. Corrugated Metal Siding, Quality of Bryer Axis Series

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SOUTH BUILDING ELEVATION
SCALE: 1/4" = 1'-0"

ELEVATION KEY NOTES

- 01

Antique Brick Facade with Large Mortar Joints,
Quality of General Shale Cambridge Series
- 02

20 ga. Multi-Width Vertical Boxed Seam Metal Siding,
Quality of Bryer Axis Series
- 03

20 ga. Blackened Metal Panels
- 04

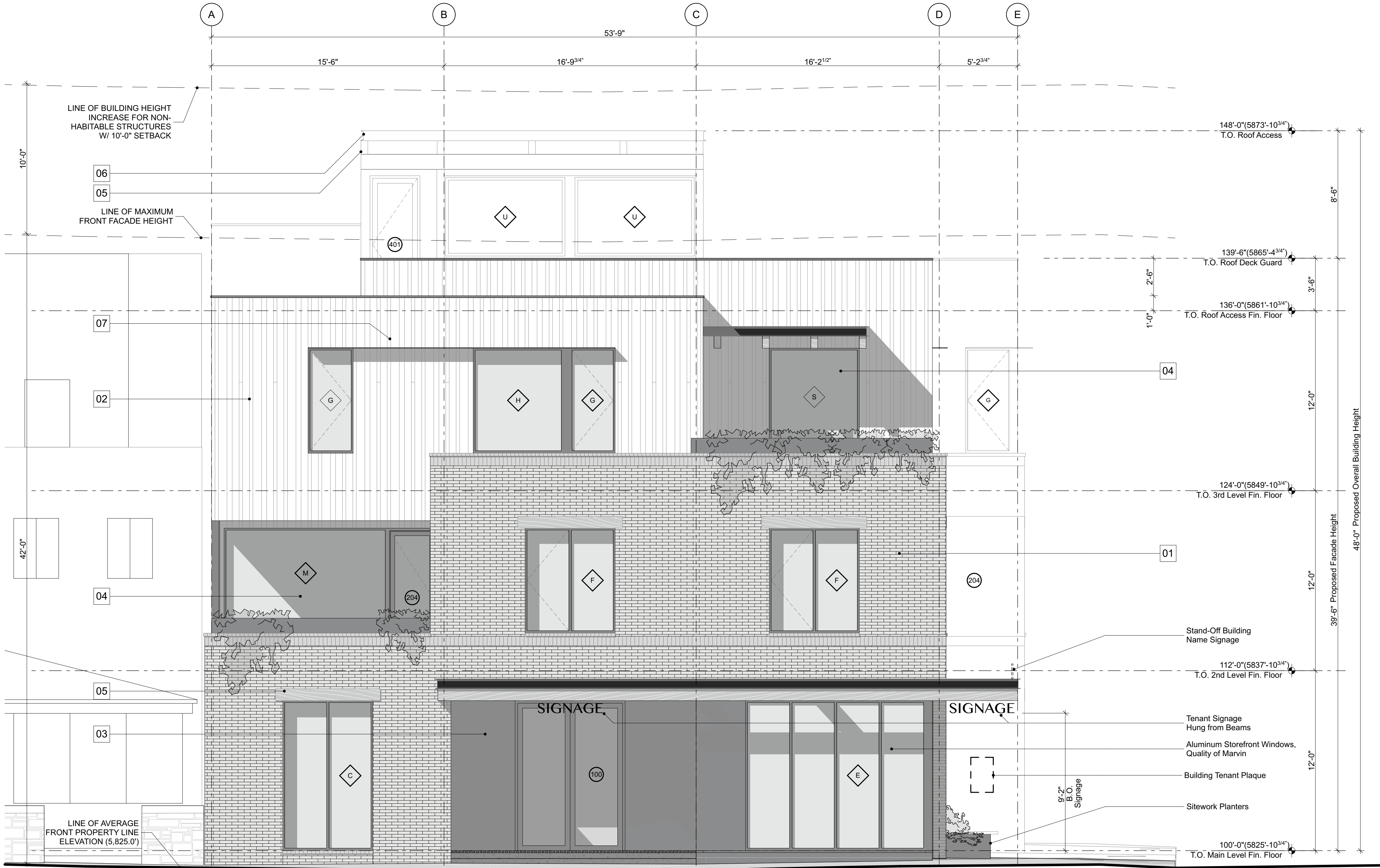
Thermally Broken Aluminum Window / Door, Typ.,
Quality of Kolbe Ultra Series or Quaker
- 05

Reclaimed Heavy Timbers, Typ.
- 06

Single-Ply Class 'A' Rated EPDM Roof
- 07

Blackened Plate Steel
- 08

20 ga. Corrugated Metal Siding,
Quality of Bryer Axis Series



01 WEST BUILDING ELEVATION
SCALE: 1/4" = 1'-0"

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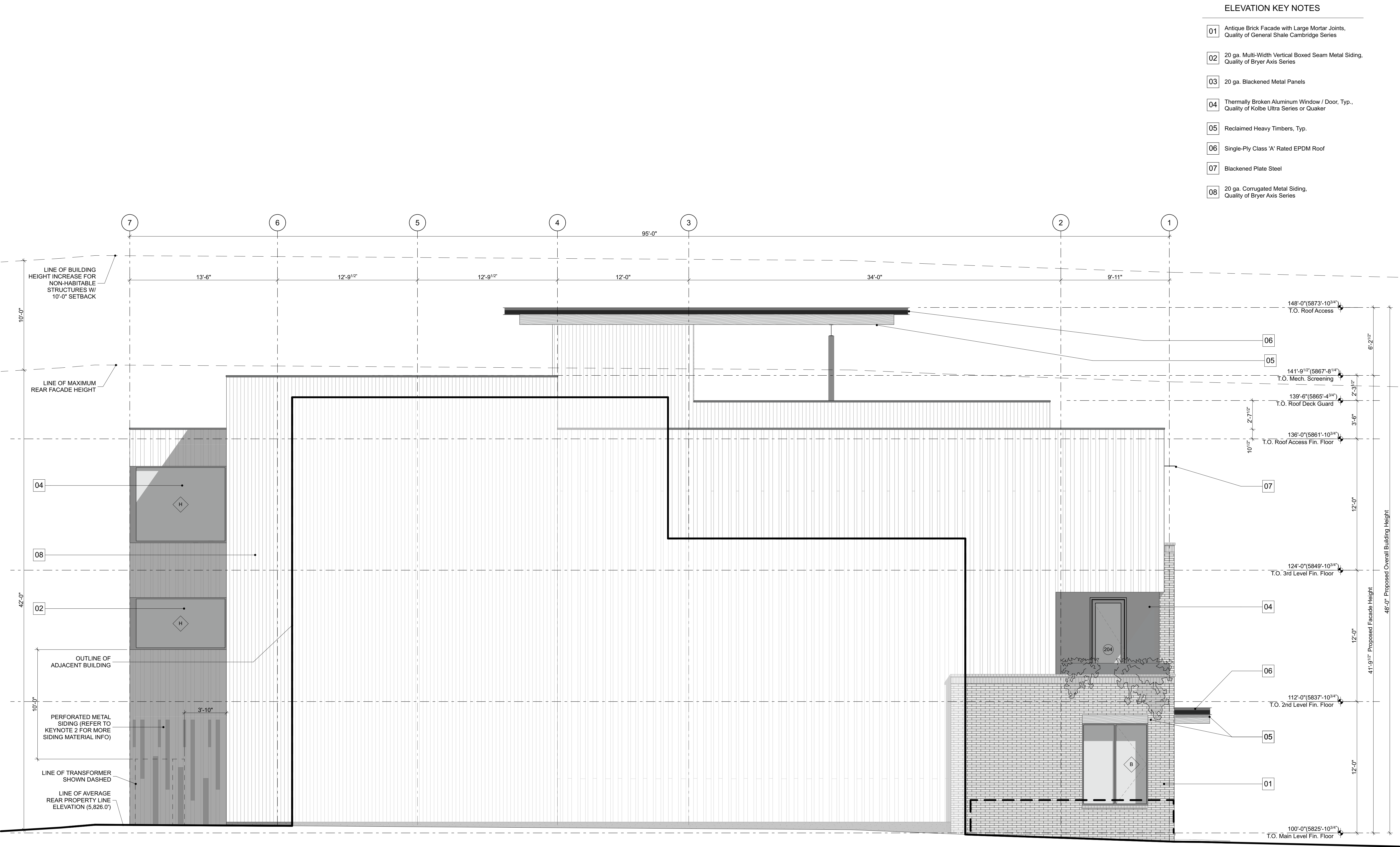
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A301
WEST BUILDING
ELEVATION



ELEVATION KEY NOTES

- 01 Antique Brick Facade with Large Mortar Joints, Quality of General Shale Cambridge Series
- 02 20 ga. Multi-Width Vertical Boxed Seam Metal Siding, Quality of Bryer Axis Series
- 03 20 ga. Blackened Metal Panels
- 04 Thermally Broken Aluminum Window / Door, Typ., Quality of Kolbe Ultra Series or Quaker
- 05 Reclaimed Heavy Timbers, Typ.
- 06 Single-Ply Class 'A' Rated EPDM Roof
- 07 Blackened Plate Steel
- 08 20 ga. Corrugated Metal Siding, Quality of Bryer Axis Series

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OFFICE BUILDING

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A302

NORTH BUILDING
ELEVATION

ELEVATION KEY NOTES

- 01

Antique Brick Facade with Large Mortar Joints,
Quality of General Shale Cambridge Series
- 02

20 ga. Multi-Width Vertical Boxed Seam Metal Siding,
Quality of Bryer Axis Series
- 03

20 ga. Blackened Metal Panels
- 04

Thermally Broken Aluminum Window / Door, Typ.,
Quality of Kolbe Ultra Series or Quaker
- 05

Reclaimed Heavy Timbers, Typ.
- 06

Single-Ply Class 'A' Rated EPDM Roof
- 07

Blackened Plate Steel
- 08

20 ga. Corrugated Metal Siding,
Quality of Bryer Axis Series



01 EAST BUILDING ELEVATION
SCALE: 1/4" = 1'-0"

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KETCHUM, ID 83340

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EAST BUILDING
ELEVATION

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BY THE BOARD OF COMMISSIONERS OF THE URBAN RENEWAL AGENCY OF KETCHUM, IDAHO:

A RESOLUTION OF THE BOARD OF COMMISSIONERS OF THE URBAN RENEWAL AGENCY OF KETCHUM, IDAHO, AMENDING THE AGENCY'S PARTICIPATION POLICY; AUTHORIZING THE CHAIR AND EXECUTIVE DIRECTOR TO TAKE APPROPRIATE ACTION; AND PROVIDING AN EFFECTIVE DATE.

THIS RESOLUTION, made on the date hereinafter set forth by the Urban Renewal Agency of Ketchum, Idaho, also known as the Ketchum Urban Renewal Agency, an independent public body, corporate and politic, authorized under the authority of the Idaho Urban Renewal Law of 1965, as amended, Chapter 20, Title 50, Idaho Code, a duly created and functioning urban renewal agency for Ketchum, Idaho, hereinafter the Ketchum Urban Renewal Agency is referred to as the "Agency."

WHEREAS, the Agency, an independent public body, corporate and politic, is an urban renewal agency created by and existing under the authority of and pursuant to the Idaho Urban Renewal Law of 1965, being Idaho Code, Title 50, Chapter 20 (the "Law"), and the Local Economic Development Act, being Idaho Code, Title 50, Chapter 29, as amended and supplemented (the "Act");

WHEREAS, the City of Ketchum (the "City") by adoption of Ordinance No. 992 on November 15, 2006, duly adopted the Ketchum Urban Renewal Plan (the "2006 Plan") to be administered by the Agency;

WHEREAS, upon the approval of Ordinance No. 1077 adopted by the City Council on November 15, 2010, and deemed effective on November 24, 2010, the Agency began implementation of the amended Ketchum Urban Renewal Plan (the "Amended Plan");

WHEREAS, the Agency Board adopted a formal participation policy that sets out the criteria for funding projects requested by various entities on May 16, 2016;

WHEREAS, since May 16, 2016, the Agency has considered several requests for funding through the Participation Policy, which has raised the prospect for greater discretion and flexibility in response to requests for funding through the Participation Policy;

WHEREAS, by virtue of those requests, Agency staff has determined a need for an amendment to the Participation Policy;

WHEREAS, at the Agency Board meeting of June 19, 2017, the Board considered amendments to the Participation Policy;

WHEREAS, Agency adopted amendments to the Participation Policy July 17, 2017:

WHEREAS, the Agency adopted additional amendments to the Participation Policy on June 27, 2022;

WHEREAS, the Board finds it in the best interests of the Agency and the public to approve and adopt the Amended Participation Policy.

NOW, THEREFORE, BE IT RESOLVED BY THE MEMBERS OF THE BOARD OF COMMISSIONERS OF THE KETCHUM URBAN RENEWAL AGENCY OF THE CITY OF KETCHUM, IDAHO, AS FOLLOWS:

Section 1: That the above statements are true and correct.

Section 2: That the Participation Policy, as amended, set forth below is hereby approved and adopted by the Agency Board, and that the Chair and Executive Director are authorized and directed to take all action to implement the Amended Participation Policy.

**Participation Policy
KURA Funding Criteria for Projects**

Section 1: General Funding Criteria for All Projects:

- A. The KURA is not obligated to fund any project, even when the project meets all funding criteria. Funding a project is a discretionary decision by the Ketchum Urban Renewal Board.
- B. Funds generated from projects within the Revenue Allocation Area shall be used first and foremost for publically owned infrastructure and for infrastructure that serves a direct public purpose.
- C. Public infrastructure located below ground or at-grade shall be given priority.
- D. In rare circumstances, funding for a non-infrastructure request may be considered if it is found to meet the criteria described in the section below.
- E. Projects specifically identified in the 2010 Ketchum Urban Renewal Plan shall take priority for funding in all cases.
- F. All requests for Tax Increment Financing shall be made no later than thirty (30) days after the applicant applies for a building permits.
- G. The Agency shall not consider requests to fund public infrastructure that ~~have~~ ~~has~~ been required by the City of Ketchum in exchange for development bonuses, such as density waivers, variances, and other development bonuses. In these situations, the public infrastructure that was required in exchange for development bonuses shall be paid by the private developer.
- H. Funding approvals are valid for the duration of the fiscal year in which the request was granted, unless otherwise stated in an agreement between the Agency and the entity.

Section 2: Project Funding Categories

A. Reimbursement to Private Entities for Public Infrastructure

1. Tax increment funds generated by a project within the Revenue Allocation Area may be allocated for reimbursement of public infrastructure expenses incurred by the private development.
2. Reimbursement for public infrastructure shall commence after the project is generating a tax increment benefit to the Agency.
3. No more than 50% of the total tax increment revenue generated from a project may be used for reimbursement to the project developer
4. Commitments for reimbursement in Owner Participation Agreements shall not be greater than five years from the time the project is generating property tax revenue to the Agency.
5. KURA may fund 40% of the cost of the following:
 - a. Cost differential between concrete sidewalks and paver sidewalks, snowmelt systems will not be funded
 - b. Installation of street trees
 - c. Art or other public amenities in the public right-of way

B. Direct Funding of Public Infrastructure as Defined in Idaho Code §§ 50-2018(10), 50-2903(13) and 50-2903 (14):

1. Tax increment funds may be used to directly finance public infrastructure without a reimbursement agreement.
2. In these cases, payments should be made directly to a public entity, public utility, or other public or semi-public entity that will own and maintain the infrastructure.

C. Funding for Non-Infrastructure Requests:

1. Requests for funding non-infrastructure may only be considered when a good, service, or benefit is received by the KURA in exchange for funds. In these cases, the approval of funds would result in a benefit to the revenue allocation area that the KURA could not have achieved on its own.
2. Entities requesting funding must be a legally recognized Idaho non-profit corporation organized under Chapter 30, Title 30, Idaho Code or equivalent or a public governmental entity and must have a proven track record of success.
3. Non-infrastructure funding request must result in a net financial benefit to the KURA.
4. Requests for funding administrative or operational costs shall not be considered except as may be proportionally allocated for the project.

D. Funding of Residential Projects:

1. Only residential projects that incorporate community housing, as defined by the City of Ketchum, will be considered for tax increment funding. Funding will be proportionate to the amount of community housing the project provides. For example, if ten out of 100 residential units are considered community housing, the Agency may consider funding 10% of infrastructure costs. All other residential projects will not be considered.
2. Mixed-Use projects of any scale are considered commercial projects and may apply for tax increment financing, provided they meet all other criteria.

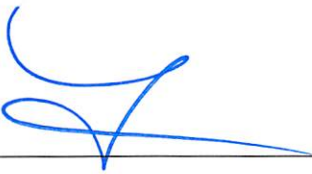
Section 3: That this Resolution shall be in full force and effect immediately upon its adoption and approval.

PASSED By the Urban Renewal Agency of Ketchum, Idaho, on June 27, 2022. Signed by the Chair of the Board of Commissioners, and attested by the Secretary to the Board of Commissioners, on June 27, 2022.

URBAN RENEWAL AGENCY OF KETCHUM

By Susan Scovell (CHAIR)
Susan Scovell, Chair

ATTEST:

By 
Secretary