



STAFF REPORT  
KETCHUM PLANNING AND ZONING COMMISSION  
REGULAR MEETING OF MAY 20, 2026

**PROJECT:** Amendment of The City of Ketchum Official Zoning Map: Rezone of 119 Townhouse Lane

**FILE NUMBER:** Ordinance 1275

**APPLICATION:** Zoning Map Amendment (City Initiated)

**REPRESENTATIVE:** City of Ketchum

**ZONING:** Limited Residential (LR) proposed to be rezoned to Tourist (T)

**REVIEWER:** Genoa Beiser – Associate Planner

**NOTICE:** A public meeting notice for the project was mailed to 300’ adjoining, mailed to political subdivisions, published in the Idaho Mountain Express, and posted to the City website on April 29, 2026. A public meeting notice was posted at 119 Townhouse Lane on May 13, 2026. Additionally, an informal courtesy notice was mailed to the property owners on April 6, 2026.

**INTRODUCTION**

During review of building permit application 25-KET-00298, the property located at 119 Townhouse Lane (subject property) was found to be zoned Limited Residential (LR) making elements of the existing townhome development non-conforming. After further research into the history of the subject property, staff believe the current zoning of LR is an error on Ketchum’s official zoning map ([linked here](#)) and that the correct zoning of 119 Townhouse Lane should be Tourist (T).

The property at 119 Townhouse Lane contains six townhomes, known as Warm Springs Townhomes #2. Under Ketchum Municipal Code (KMC) 16.03.020.F: Table of Permitted Uses, the LR zone permits single-family dwellings, but not multi-family dwellings, making the existing townhomes nonconforming. In addition, portions of the south side set back are nonconforming with LR zone dimensional standards.

Access to the development is from Townhouse Lane. This road terminates on the subject property with multiple properties preceding it that also contain multi-family dwellings and townhouses, including three other Warm Springs Townhomes developments. These adjacent properties containing multi-family dwellings are all zoned T, see figure 1 on page 2 for the location of the subject property and adjacent zoning.

Upon staff's first round of review on building permit application 25-KET-00298, staff noted that elements of the building proposal would not be permitted due to the side setback requirements of the LR zone and that the dwelling classification itself was non-conforming. The applicant requested that the City investigate the zoning on the subject property and consider rezoning it.

After reviewing previous Ketchum zoning maps and the original building permit for the development, staff determined that the current zoning of 119 Townhouse as LR was an error and that the correct zoning should be T.

### BACKGROUND

*Please reference Attachment A: 119 Townhouse Lane Ketchum Zoning Map History for visuals.*

The general area of Townhouse Lane shows T zoning as far back as 1966. By 1974, Ketchum's zoning map clearly delineates that the subject property is zoned as both T & LR. It is important to note that the building permit for Warm Springs Townhomes #2 was issued on March 24, 1971, and was developed under T zone dimensional standards. By 1974, the townhouse development had been completed.

The dual zoning of T & LR continued through at least 1997. By 2002, Ketchum's zoning map provides a lack of clarity on the zoning of the subject property. It appears that the thin, colored lines delineating zoning districts did not carry through the full zoning map. By 2008, 119 Townhouse Lane began showing as fully zoned LR.

It appears the breakdown in the zoning map happened in the early 2000's with zoning reflecting existing conditions getting lost in translation during technological advances. Staff could not locate a determination in city records addressing why the subject property was zoned fully LR. It would appear from the historical dual zoning that the portion of the LR zone on the subject property may have been slightly larger in size than the T zone portion. Since dual zoning is not preferable, it's likely that the dual zoning was flagged through an update and adjusted in favor of the zone with a majority on the subject property without a detailed analysis on appropriate zoning.

### ANALYSIS

Per KMC 16.07.070.C.e there are three criteria to consider when reviewing a rezone proposal. The proposed amendment:

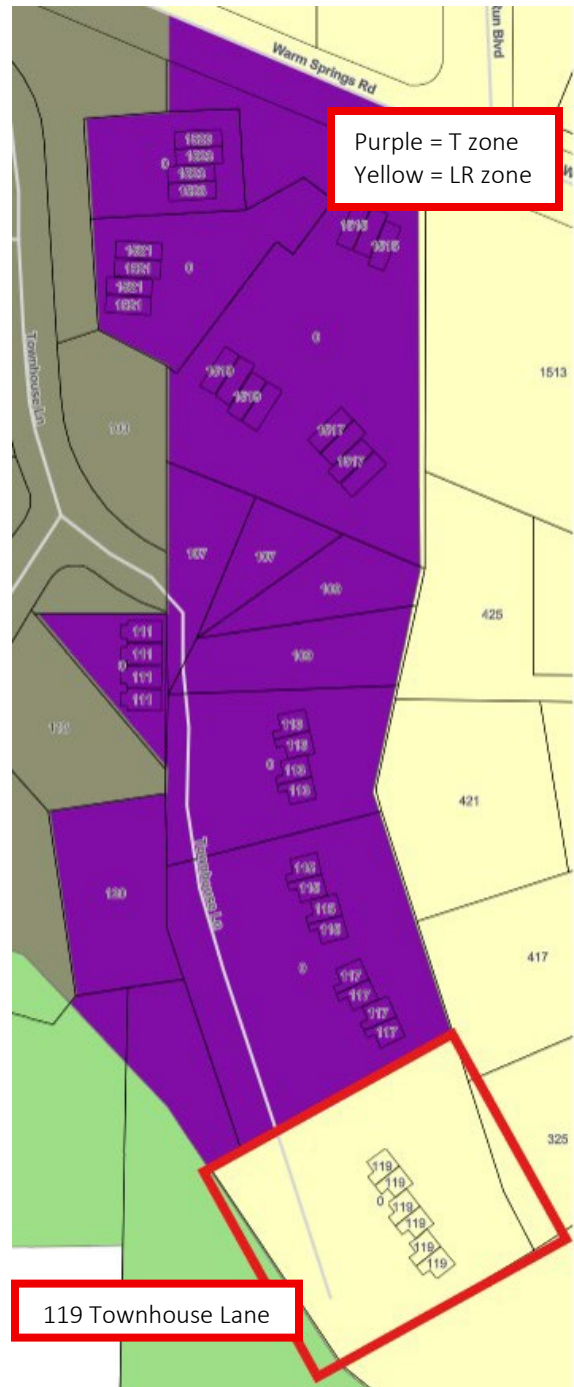


Figure 1: Current Ketchum Zoning Map

- (1) Is consistent with the Comprehensive Plan and other City policies;
- (2) Does not conflict with other provisions of [the] Code or other provisions in the Ketchum Municipal Code; and
- (3) Is consistent with the general purpose and intent of [the] Code.

The Future Land Use Map (FLUM) in Ketchum’s 2025 Comprehensive Plan (Comp Plan) categorizes the current T zoned areas, as shown in figure 1 and figure 2, as medium density residential (MDR) while the LR zone of the subject property is categorized as low density residential (LDR). However, since the 2025 FLUM was informed by Ketchum’s current zoning map, the error in the current zoning map was carried into the 2025 FLUM. The subject property should be classified as MDR to reflect the appropriate underlying T zoning.

The primary uses in the MDR category are small single-family homes, duplexes, and townhomes. The intent of the MDR, per the 2025 Comp Plan, is:

“The diversification of housing options is encouraged through residential infill and redevelopment that is compatible with the surrounding neighborhood and expands community housing. Naturally-occurring affordable rental and owner-occupied housing units should be preserved. Density should be generally 5 to 11 dwelling units per acre...”

Staff believe that the proposed rezone to T supports the intent of MDR by nature of the existing development being a townhome, remaining compatible with the surrounding neighborhood, and falling within the intended density range. In addition to the FLUM categorization, Comp Plan policies further support the rezone, such as policies:

- BNE–1.6: Adaptive Reuse, which encourages reuse if buildings as a preferred alternative to demolition to maintain community character and preserve existing housing.
- H–1.2: Preservation of Existing Units.

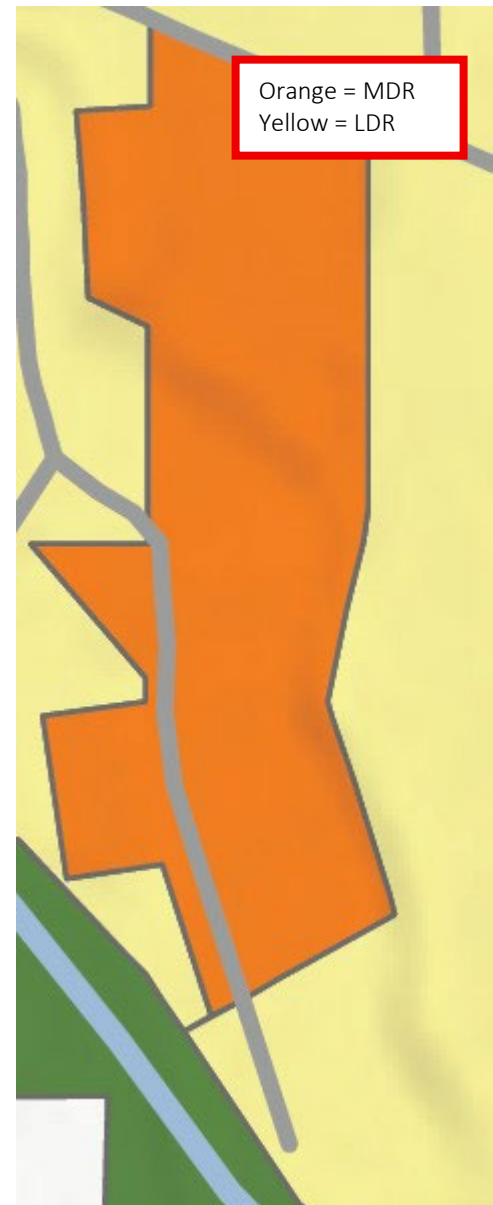


Figure 2: 2025 FLUM

When considering if the proposal conflicts with KMC, staff find that the subject property complies with all T zone dimensional standards in KMC 16.02.020.A. In fact, the proposed rezone generates greater compliance with code. The existing nonconforming use and side setbacks would be brought into conformance with approval of the rezone. Additionally, if the subject property were ever redeveloped, the current LR zoning would require a single-family home conflicting with the no net loss of dwelling units provision in KMC 16.04.070.A. Approval of the proposed rezone would remove this current conflict as the T zone would allow for replacement of the six existing units.

Overall, staff believe the rezone of 119 Townhouse Lane to the T zone is supported by the 2025 Comprehensive Plan, does not conflict with the KMC, and is consistent with the general intent and purpose of the KMC.

#### **STAFF RECOMMENDATION**

Staff recommend the Commission review the application and make a recommendation of approval to City Council on Draft Ordinance 1275.

However, the Commission has the following options for recommendations:

- Approval
- Approval with recommended revisions
- Denial

If the Commission would like additional information from staff prior to making a recommendation, the Commission can move to continue the hearing to a date certain or uncertain. Continuing to a date uncertain would require re-noticing of the application.

#### **ATTACHMENTS:**

- A. 119 Townhouse Lane Ketchum Zoning Map History
- B. Original Warm Springs Townhomes #2 Building Permit
- C. Draft Ordinance and Publication Summary



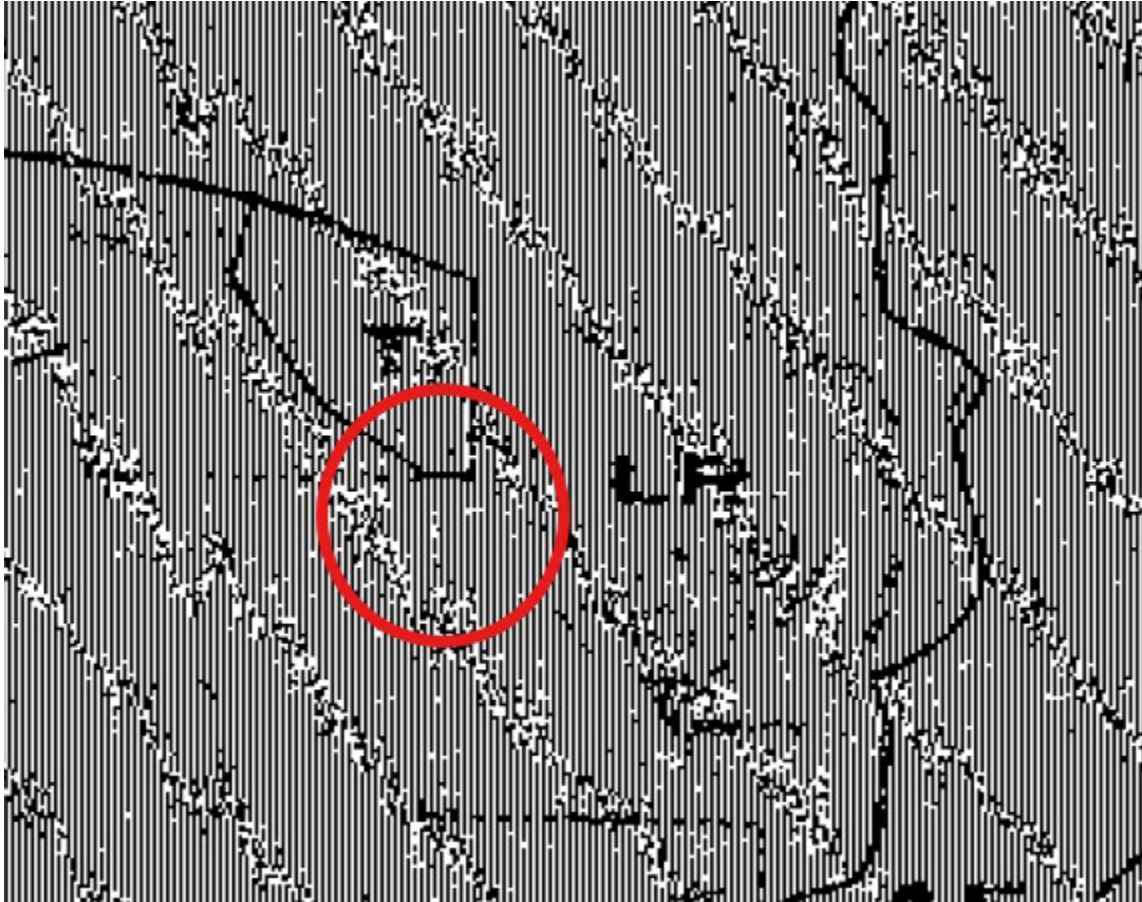
City of Ketchum

## **ATTACHMENT A:**

# **119 Townhouse Lane Ketchum Zoning Map History**

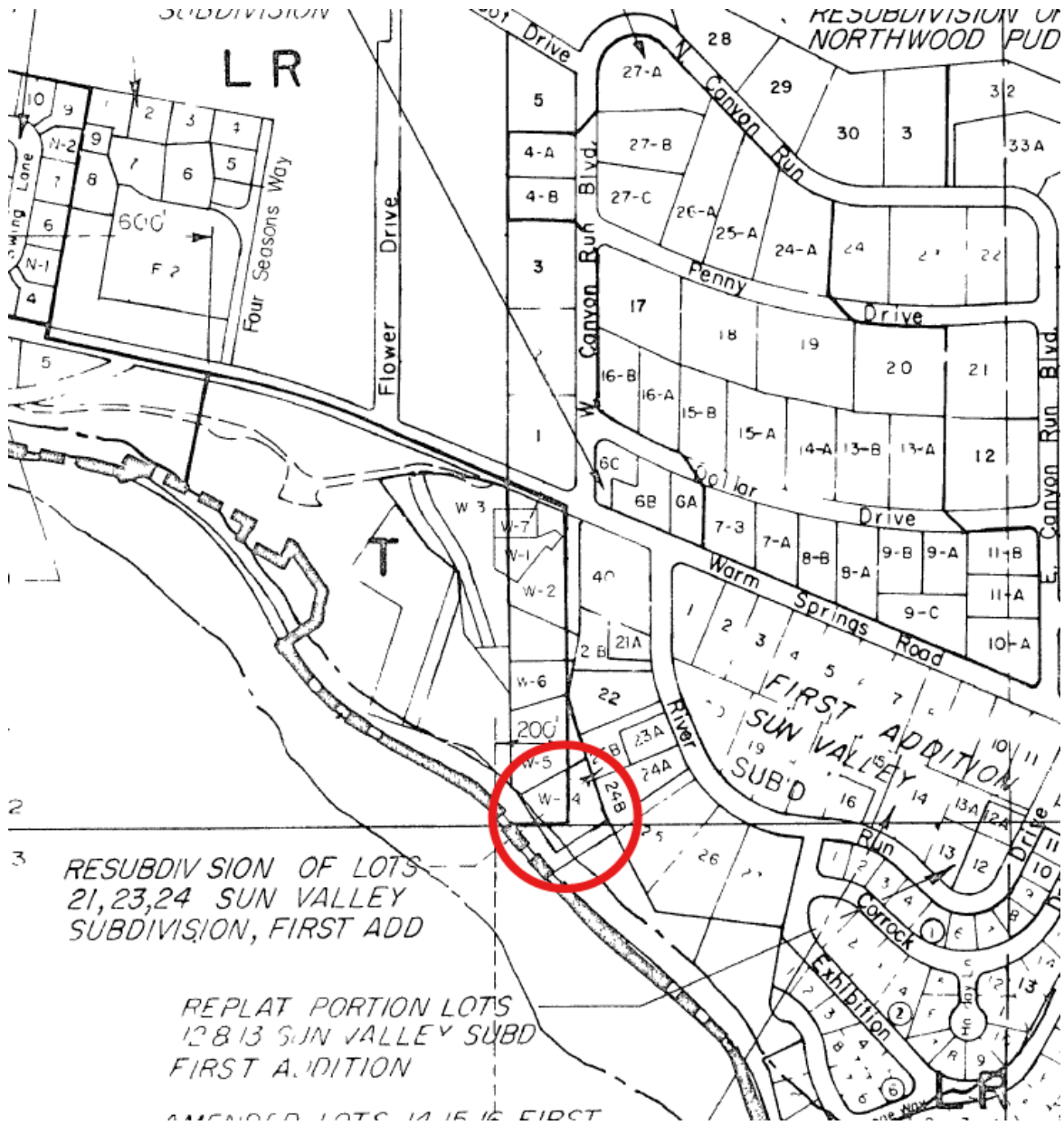
## 119 Townhouse Lane Ketchum Zoning Map History

1966 Zoning Map – showing T zoned pocket within the broader LR zone.



1974 Zoning Map – first showing dual zoning of T & LR

Warm Springs Townhomes had already been developed by this point.

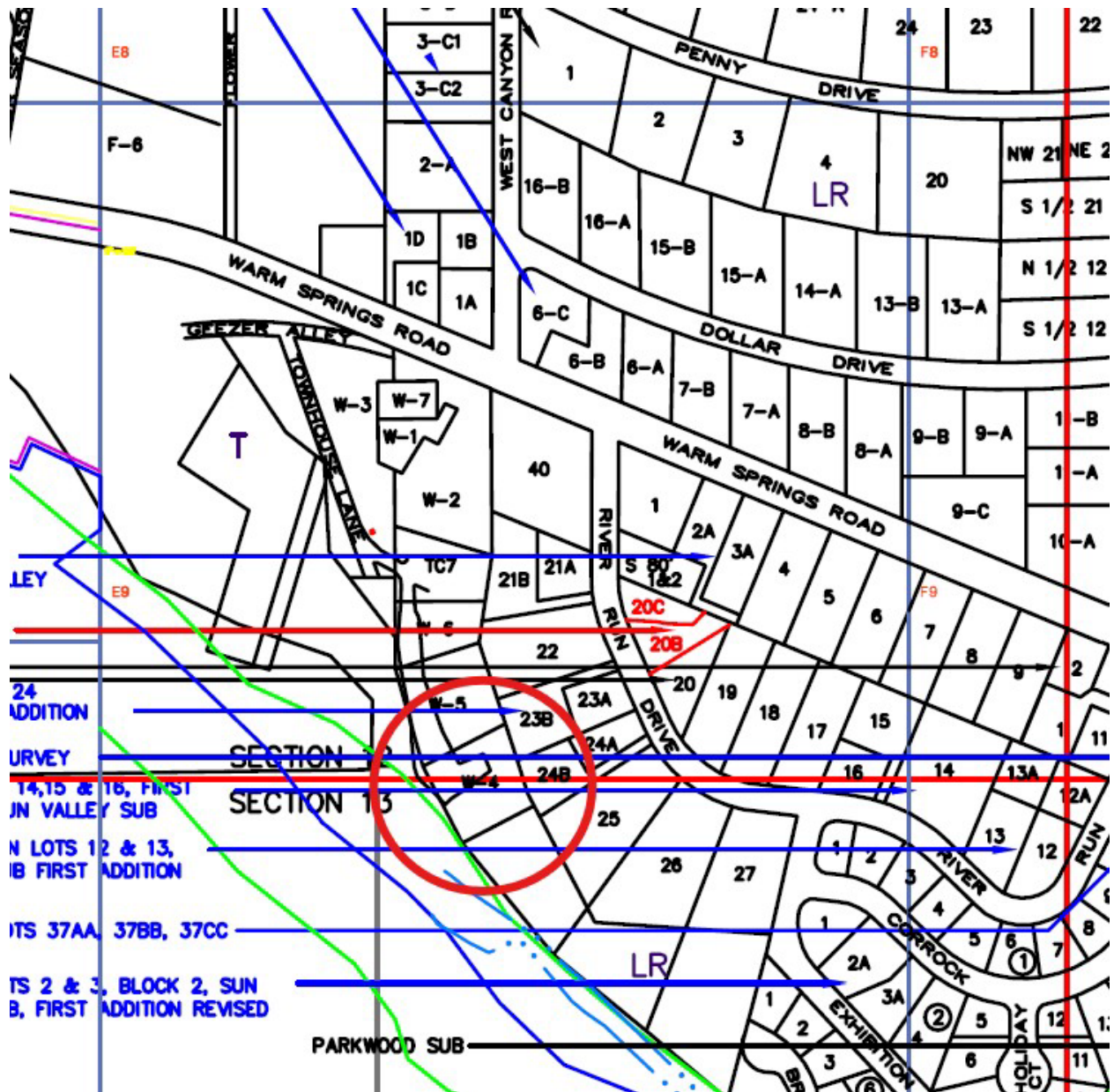




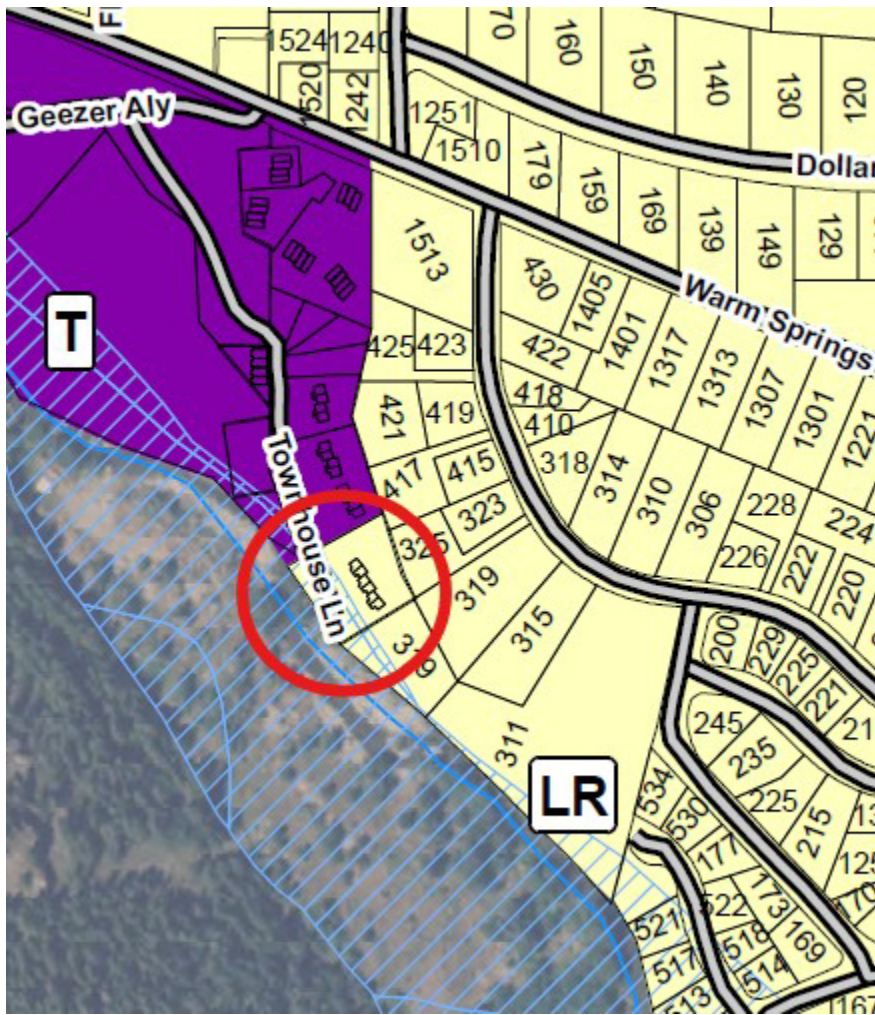
1997 Zoning Map – continues dual zoning of T & LR



2002 Zoning Map – loss of clarity on zoning designation



2008 (shown) through Current Zoning Map – fully zoned LR





City of Ketchum

## **ATTACHMENT B:**

# **Original Warm Springs Townhomes #2 Building Permit**

APPLICATION FOR BUILDING PERMIT

City of Ketchum, Idaho

Permit No.

6

Date Filed

Mar 24 1971

Fee Paid

\$ 94.00

Please fill in each of the following sections:

Application is hereby made to: construct ( ), repair ( ),

move ( ), alter ( ) or enlarge ( ) a Simpson townhouses (describe type of use, such as one-family dwelling, gas station, etc.)

To be located at Warm Springs (give street address); which is legally described as follows) (give lot and block number or other legal description)

Warm Springs Town Houses. 6 units, Simpson Unit Development.

is located in Tourist Zone District; and is estimated to cost \$ 100,000.00

SITE AND BUILDING DESCRIPTION

The structure will consist of Wood frame (describe basic materials to be used)

It will have 6 Family units (give number of family units, if any)

And will contain 8700 sq. ft. (include the total floor area, exclusive of garage, basement & porches)

The lot area is 1 acre sq. ft.;

And is to be served by a Private well (for water supply;

And is to be served by a Ketchum City for sewage disposal.

Yard setbacks will be as follows: (give distance of structure in feet from each lot line)

front yard 50 rear yard hill each side yard 25' and 25'

(A sketch plan showing the location of the building on the lot and the location of any well or septic system shall be drawn on the back of this page)

NAMES, ADDRESS AND SIGNATURE

Contractor Butler Bros. 13045 37 Sun Valley

Owner Jack Simpson Ketchum

I hereby acknowledge that I have filled in this application accurately to the best of my knowledge and that I agree to comply with all City ordinances and State laws regulating building construction in the City of Ketchum, Idaho.

Bill Butler

Signature of Owner or Contractor

OFFICIAL ACTION

Application Approved Building Inspector

Application denied Building Inspector

Reasons for denial

1st Inspection approved ( ), disapproved ( ) by

2nd Inspection approved ( ), disapproved ( ) by



City of Ketchum

## **ATTACHMENT C:**

# **Draft Ordinance and Publication Summary**

**DRAFT ORDINANCE NO. 1275**

**AN ORDINANCE OF THE CITY OF KETCHUM, BLAINE COUNTY, IDAHO, AMENDING THE CITY OF KETCHUM OFFICIAL ZONING MAP, BY CHANGING THE ZONING DISTRICT DESIGNATION OF WARM SPRINGS T.H. #2 COMMON AREA SEC 12, 4N 17E AND WARM SPRINGS TOWNHOUSE CONDO 2 UNIT 1, 2, 3, 4, 5, & 6 BLDG 2 .16667 (119 TOWNHOUSE LANE) FROM THE LIMITED RESIDENTIAL ZONING DISTRICT (LR) TO THE TOURIST ZONING DISTRICT (T); PROVIDING A SAVINGS AND SEVERABILITY CLAUSE, PROVIDING A REPEALER CLAUSE; PROVIDING FOR PUBLICATION BY SUMMARY; AND PROVIDING AN EFFECTIVE DATE.**

WHEREAS, the City of Ketchum is authorized to pursue a rezone through Ketchum Municipal Code (KMC) 16.07.070.C: Zoning Map Amendment (Rezoning);

WHEREAS, through review of a building permit, the City identified an error in Ketchum's Official Zoning Map;

WHEREAS, 119 Townhouse Lane was recorded as split zoned between Limited Residential Zoning District (LR) and Tourist Zoning District (T) from 1974 through 1997 but then recorded as zoned entirely LR from 2008 to current with no documentation addressing why or how 119 Townhouse Lane was rezoned fully LR;

WHEREAS, 119 Townhouse Lane has six existing townhomes that were developed per T zone dimensional standards in 1971;

WHEREAS, rezoning 119 Townhouse Lane from LR to T is supported by the 2025 Comprehensive Plan & Future Land Use Map, will mitigate current conflicts with the KMC, and will correct an error in the Ketchum Official Zoning Map;

WHEREAS, rezoning 119 Townhouse Lane from LR to T will maintain a minimum of six units on the property in the event of redevelopment, per current regulations;

WHEREAS, rezoning 119 Townhouse Lane from LR to T will bring current nonconformities on the property into conformance.

WHEREAS, the Planning and Zoning Commission held a public hearing on May 20, 2026 and provided a recommendation of approval to City Council to rezone 119 Townhouse Lane from LR to T;

WHEREAS, the City Council held a public hearing on \_\_\_\_\_ to review the ordinance and information;

WHEREAS, the City Council held three readings of Ordinance 1275 on \_\_\_\_\_, \_\_\_\_\_, and \_\_\_\_\_, resulting in approval of this ordinance;

WHEREAS, the City Council hearings were duly noticed per the requirements of Idaho Code Section 67-6509; and

**NOW, THEREFORE, BE IT ORDAINED BY THE MAYOR AND COUNCIL OF THE CITY OF KETCHUM**

**SECTION 1.** The City of Ketchum’s Official Zoning Map shall be amended to show the change in zoning designation from the Limited Residential Zoning District (LR) to the Tourist Zoning District (T) for WARM SPRINGS T.H. #2 COMMON AREA SEC 12, 4N 17E and WARM SPRINGS TOWNHOUSE CONDO 2 UNIT 1, 2, 3, 4, 5, & 6 BLDG 2 .16667 (119 Townhouse Lane) as set forth in “Exhibit A” attached hereto.

**SECTION 2. SAVINGS AND SEVERABILITY CLAUSE.** If any section, paragraph, sentence or provision hereof of the application to any particular circumstances shall ever be held invalid or unenforceable, such holding shall not affect the remainder hereof, which shall continue in full force and effect and applicable to all circumstances to which it may validly apply.

**SECTION 3. REPEALER CLAUSE.** All City of Ketchum Ordinances or parts thereof which are in conflict herewith are hereby repealed.

**SECTION 4. PUBLICATION.** This Ordinance, or a summary thereof in compliance with Section 50-901A, Idaho Code, substantially in the form annexed hereto as “Exhibit B” shall be published once in the official newspaper of the City, and shall take effect immediately upon its passage, approval, and publication.

**SECTION 5. EFFECTIVE DATE.** This Ordinance shall be in full force and effect after its passage, approval, and publication, according to law.

PASSED BY the CITY COUNCIL and APPROVED by the MAYOR of Ketchum, Idaho, on this \_\_\_\_\_ day of \_\_\_\_\_, 2026.

APPROVED:

\_\_\_\_\_  
Pete Prekeges, Mayor

ATTEST:

\_\_\_\_\_  
Trent Donat, City Clerk



City of Ketchum

# Exhibit A



City of Ketchum



Blue Outline and Overlay = Proposed Rezone  
Purple = Tourist Zoning District (T)  
Yellow = Limited Residential Zoning District (LR)  
Green = Recreation Use Zoning District (RU)

Ketchum Official Zoning Map:

<https://experience.arcgis.com/experience/5851906662bd4c20a5abe6fe6d2e7a05/>



City of Ketchum

# Exhibit B

**PUBLICATION SUMMARY**

**DRAFT ORDINANCE 1275**

**AN ORDINANCE OF THE CITY OF KETCHUM, BLAINE COUNTY, IDAHO, AMENDING THE CITY OF KETCHUM OFFICIAL ZONING MAP, BY CHANGING THE ZONING DISTRICT DESIGNATION OF WARM SPRINGS T.H. #2 COMMON AREA SEC 12, 4N 17E AND WARM SPRINGS TOWNHOUSE CONDO 2 UNIT 1, 2, 3, 4, 5, & 6 BLDG 2 .16667 (119 TOWNHOUSE LANE) FROM THE LIMITED RESIDENTIAL ZONING DISTRICT (LR) TO THE TOURIST ZONING DISTRICT (T); PROVIDING A SAVINGS AND SEVERABILITY CLAUSE, PROVIDING A REPEALER CLAUSE; PROVIDING FOR PUBLICATION BY SUMMARY; AND PROVIDING AN EFFECTIVE DATE.**

A summary of the principal provisions of Ordinance No. 1275 of the City of Ketchum, Blaine County, Idaho, adopted on \_\_\_\_\_ is as follows:

- SECTION 1.** The City of Ketchum’s Official Zoning Map shall be amended to show the change in zoning designation from the Limited Residential Zoning District (LR) to the Tourist Zoning District (T) for WARM SPRINGS T.H. #2 COMMON AREA SEC 12, 4N 17E and WARM SPRINGS TOWNHOUSE CONDO 2 UNIT 1, 2, 3, 4, 5, & 6 BLDG 2 .16667 (119 Townhouse Lane).
- SECTION 2.** Provides a savings and severability clause.
- SECTION 3.** Provides a repealer clause.
- SECTION 4.** Provides for publication of this Ordinance by Summary.
- SECTION 5.** Establishes an effective date.

The full text of this Ordinance is available at the City Clerk’s Office, Ketchum City Hall, 191 5<sup>th</sup> Street West, Ketchum, Idaho 83340 and will be provided to any citizen upon personal request during normal office hours.

ATTEST:

APPROVED:

\_\_\_\_\_  
Trent Donat, City Clerk

\_\_\_\_\_  
Pete Prekeges, Mayor