



City of Ketchum
Planning & Building

STAFF REPORT
KETCHUM PLANNING AND ZONING COMMISSION
March 5, 2026

PROJECT: Wood River YMCA (Addition)

FILE NUMBER: P25-068

APPLICATION: Pre-Application Design Review

PROPERTY OWNER: City owned Land and YMCA Lease
Matt Neilson, deChase Miksis Development (Owners representative)

ARCHITECT: Michael Bulls, RLB Architecture

REQUEST: Pre-Application Design Review for proposed addition of a new main entrance lobby, teen center, fieldhouse with upper-level running track and exterior improvements including: heated sidewalks, landscaped areas, removal of stairs leading up to the existing main entrance. In addition, the reconfigured parking and fire/emergency access located on the north side of the proposed addition. (Internal remodel not subject to design review)

LOCATION: 101 Saddle Road

ZONING: Tourist Zoning District (T)

OVERLAY: None

REVIEWER: Allison Kennedy – Senior Planner

NOTICE: A courtesy notice for the public meeting on the project was mailed to all property owners within 300 feet of the project site on February 5, 2026. The notice was published in the Idaho Mountain Express on February 11, 2026 and materials were posted on the City website on February 18, 2026. A notice was posted on premises February 25, 2026.

I. EXECUTIVE SUMMARY

The Wood River YMCA is proposing an interior remodel, addition, and exterior improvements within their leased boundary located at 101 Saddle Road within the Tourist District. (See Fig.1). A Pre-Application Design Review is required for the 26,464sf addition which includes a new main entrance lobby, teen center, and a field house with an upper-level running track proposed to be added to the north end of the facility. Exterior improvements are also proposed requiring design review; including a heated sidewalk, landscaped areas adjacent to addition, removal of existing main entrance stairs, and parking and fire/emergency access reconfiguration. See Attachment A.III Pre-Design Review Drawings.

The application was submitted after the adoption of the new comprehensive plan, but prior to adoption of the updated code. Therefore, the application was reviewed under the previous Title 17 and 2025

Comprehensive Plan. Based on staff's review of the application, staff believe the application meets the design review criteria and that no changes to the design are necessary to proceed to final design review.



Figure 1 Vicinity Map

II. BACKGROUND

A Pre-Application for Design review was received by the City Planning Department on December 31, 2025. Following receipt of the application, staff routed the application materials to all city departments for review. No significant changes were requested at this time. The Planning Department deemed the application complete on January 26, 2026.

A Planned Unit Development Conditional Use Permit (PUD-CUP) was approved by the city of Ketchum in October 2005 for a 84,155 square foot recreation complex to include: a ice rink approximately 32,500sf, a pool area approximately 12,000sf, a gymnasium approximately 6,000sf, locker rooms approximately 3,800 sf, climbing wall area approximately 2,000sf, aerobics room approximately 1,200 sf, community conference rooms approximately 3,000sf, staff offices approximately 2,000sf, and a daycare area approximately 1,400 sf.

The Wood River YMCA built 56,438sf of the recreation complex but have yet to build the 32,500sf addition on the northern portion of the complex which was originally contemplated and approved as part of the PUD-CUP. Since the original 2005 approval, an indoor ice rink arena was built in Hailey. With this community recreation need met and after operating within the Valley for 20 years, the Wood River YMCA is proposing to fully realize its approved square footage by instead creating a 26,464 sf addition on the north side of the existing structure to include the above referenced additions.

III. PROCESS

The Planning and Zoning Commission gives general feedback to the applicant during a Preapplication Design Review Meeting. This allows the applicant to present their general concept and the Planning and Zoning to provide initial feedback and direction.

Pursuant to KMC §17.96.010.D.2.:

The purpose of preapplication review is to allow the Commission to exchange ideas and give direction to the applicant on the "design concept", keeping in mind the purpose of this chapter and the application of the evaluation standards.

After the Preapplication Design Review, the applicant may then choose to incorporate the feedback and submit a full design review proposal as laid out in KMC §17.96 to be scheduled for a public hearing once city

staff deem their application complete and pertinent city departments review the application. Per SKMC 17.96.010D.5. if the applicant proceeds, the Design Review application must be submitted within 180 days of the pre-application meeting with the Commission.

IV. CONFORMANCE WITH ZONING AND DESIGN REVIEW STANDARDS

Pursuant to KMC §17.96.050.A, the Commission shall determine the following before granting Design Review approval:

1. The project does not jeopardize the health, safety or welfare of the public.
2. The project generally conforms with the goals, policies, and objectives of the adopted comprehensive plan.
3. The project conforms to all applicable standards and criteria as set forth in this chapter, this title, and any other standards as adopted or amended by the City of Ketchum from time to time.

Criteria 1 & Criteria 2

The application generally conforms with the goals, policies, and objectives of the Comprehensive Plan. Specifically, the Distinct Built and Natural Environment Chapter which focuses on Land Use and Community Character. Policy BNE-1.5: Context Sensitive Development highlights the objective that the built environment should blend with the adjacent materials, mix of uses, massing, scale, building heights, and densities permitted within the underlying zoning districts. The application proposes extending the existing recreational facility with similar materials, uses, and heights that blend within the context of that particular built environment and therefore is in congruent with the character of the existing area. In addition, the footprint of the proposed development is less than what was originally approved and therefore fits within the density planned for the site.

The application also meets Policy BNE-1.2: Neighborhood Characteristics which states the desire to reinforce the distinct characteristics of Ketchum's neighborhoods, encouraging creativity and innovation over uniformity. This innovation and flexibility of design over uniformity is highlighted with the proposed alteration of the underutilized main stairs and entrance way and the multitude of details such as the varied roof lines and a mix of building materials which is unusual for a large recreational facility. This YMCA design is unique to Ketchum and is not typical for this organization's usual utilitarian recreational facilities.

Criteria 3

A. ZONING STANDARDS

The proposed application conforms with the zoning and dimensional standards of the underlying Tourist District (T) and the pre-existing site approvals. Planning staff have highlighted pertinent standards below for the Commission to better understand the context of the application and the standards it is subject to.

Height-The required building height per 2005 CUP-PUD is 45'6". Both proposed elevations are below the maximum height requirement.

Proposed elevations (Refer to Attachment A III. Sheet A.4):

- Northern addition of 34'7"
- West elevation lobby roof top 39'7"

Setbacks- The required setbacks for the Tourist Zone:

Front: 30' however a waiver to 25' was approved in 2005 CUP-PUD for Warm Springs Rd. & 15' for Saddle Rd.

Side: 1' for every 3' of building height or 16.5'

(A waiver to a side setback to Saddle Road to 0' for one portion of the building was approved in 2005 CUP-PUD for the anticipated ice rink. The new structure is setback ~50' from that line.)

Rear: 15'

The proposed addition maintains these required setbacks.

2005 CUP Ice Rink Square Footage Footprint Approval

The ice rink was approved at "approximately 32,500 square feet" in the 2005 CUP. The addition proposed is 26,464sf. The application proposes approximately 6,036sf less square footage than what was approved and therefore meets the standard in regard to size of footprint.

Floor Area Ratio Tourist Zone: The FAR associated with this 5.72 acre parcel located within the Tourist Zoning District is .5 up to 1.6. (82,902 sf total) = .33 FAR. The city of Ketchum had this lot surveyed and it is 5.72 acres. This standard is met and no action is required.

B. DESIGN REVIEW STANDARDS

The applicant will submit a full design review application to be reviewed per KMC §17.96.060 Improvements and Standards after it receives feedback from the Commission. A full list of Design Review Evaluation Standards are attached for reference. (See Attachment B.) The following will be reviewed in more detail for compliance during the full design review, including: drainage, utilities, snow storage, emergency and fire vehicular access, pedestrian and traffic circulation, refined landscaping plans, & architectural renderings.

Fire & Parking

The YMCA is working with the City of Ketchum Fire Department to solidify unobstructed fire and emergency access routes. In addition, the YMCA is working with the city to create temporary parking lot(s) for YMCA patrons that would be utilized to replace the parking spots that would be vacated with the proposed addition. A more formalized plan will be made available as part of the full design review application.

Compatibility of Design & Architectural Features

Staff reviewed standards as it relates to a predesign review application and found the standards were met in regard to design.

1) KMC §17.96.060.E. *Compatibility of design* states; 1. *The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures.* The materials proposed on Sheet A.4(See Image below) match the existing structural materials including the shingled roof, brick, horizontal board siding, metal finishes, wood columns and beams, masonry, board and batten, and the existing metal and glass doors. The colors of the proposed materials are designed to match the existing building therefore the addition would appear to be fully integrated into the existing architectural palate and materials. Refer to Sheet A4: Building Elevation and Materials for Specific locations of building materials.



BRICK VENEER
RUNNING BOND,
TO MATCH EXISTING



COMPOSITE BOARD SIDING
HORIZONTAL SHIPLAP,
TO MATCH EXISTING



METAL CLADDING/FLASHING
MATTE BRONZE,
TO MATCH EXISTING



SHINGLE SLOPED ROOFING
FINISH TO MATCH EXISTING



WOOD COLUMNS AND BEAMS
STAINED, FLAIN SAWN, TO
MATCH EXISTING



BOARD AND BATTEN SIDING
TO MATCH EXISTING



METAL DOORS AND WINDOWS
BRONZE FINISH TO MATCH
EXISTING



SPLIT FACED MASONRY
TO MATCH EXISTING

2) Architectural Standards KMC §17.96.060.F.2,3,&5 state:

- The building character shall be clearly defined by use of architectural features.
- There shall be continuity of materials, colors and signing within the project.
- Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.

The proposed addition (See gray portion of Fig 2 below) continues the existing character as seen in the use of the same materials and color palettes. The continuation of the flat roof and three sloped roofed areas add interest within the addition and mirror the roof design existing throughout the structure.

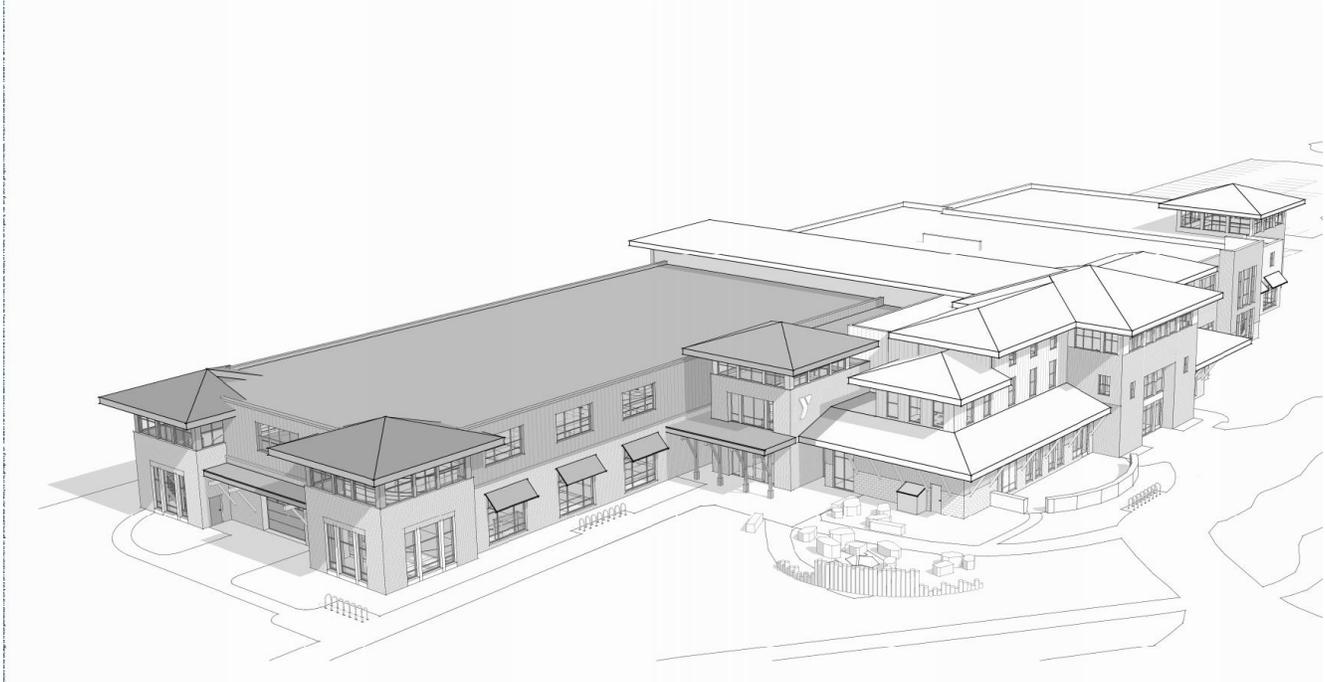


Figure 2 3D Perspective of Addition

The western elevation (Fig 3) of the addition which faces Warm Spring Road has continued the design of predominate brick veneer with the hardboard on the second level. The bulk and mass is broken up by mirroring pedestrian scale awnings seen on the southern end of the building, inclusion of a variety of roof lines, and the large windows with panes to break up the flatness of the large walls. (See Sheet A.4 Building Elevations & Materials)

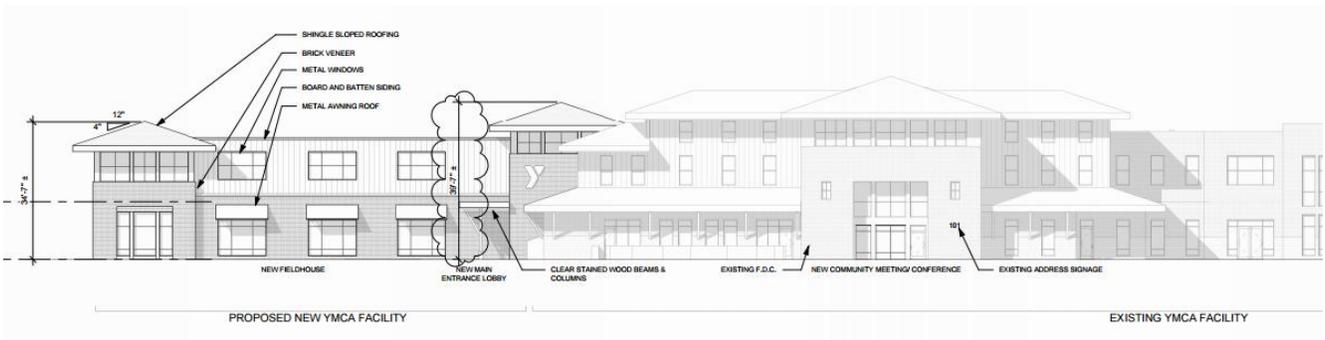


Figure 3 Western Elevation



Figure 4 Eastern Elevation

The eastern façade is facing the service alley and matches the existing rear façade with composite board horizontal siding on the majority, split masonry on the bottom ~10, and a brick veneer building pop out. The two sloped roof lines and windows add interest and break up the large nature of the fieldhouse building.

Siting

The §17.96.060F. Architectural design standards have a variety of siting requirements that will be evaluated during design review. The following staff has pulled below for initial review are key for locational siting and all have been met as seen in Sheet A 1.2 Site Plan :

- 1. Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined.
- 6. Building(s) shall orient toward their primary street frontage.
- 7. Garbage storage areas and satellite receivers shall be screened from public view and located off alleys.

The YMCA fronts both Warm Springs & Saddle Road with a new front entrance proposed oriented toward Saddle Road. The majority of the building is existing and fronts Warm Springs. The address signage and YMCA logo will remain fronting the intersection of Saddle & Warm Springs. In addition, the use of large windows and undulation will help keep the eastern façade welcoming and prominent as the front of the building to the street.

The proposed garbage and recycling area is labeled behind Bonnie’s Garden on the Southern end of the service alley of the existing facility. This location would be screened from Warm Springs Road.

The City ROW including sidewalks are outside the leased boundary and will not be altered. However proposed sidewalks for the facility will be connected to the existing sidewalks as seen on the Site Plan Sheet A.1.2. The lobby entrance rooflines, signage, and (heated) walkway would clearly delineate the entryway.

3) Landscaping

The applicant appears to be proposing general landscaping design concepts that are analogous with the standards:

- KMC §17.96.060.F4 Accessory structures, fences, walls and landscape features within the project shall match or complement the principal building.
- KMC §17.96.060.I.4. Expands on this concept that Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged.

The applicant is proposing to move the existing front entrance to the northern addition creating a new front lobby. The proposal on site plan Sheet A.1 describes landscaping features to be installed to buffer the northeast and west portions of the new structure with the surrounding hardscape . New bike racks are also shown. The existing “Wendy’s Garden” will remain and is surrounded currently by permeable landscaping that also serves as 2,557sf of snow storage area. More specific

details will be required at time of design review regarding anticipated plant types and location as required in the landscaping section I: 1-4. of the evaluation standards.

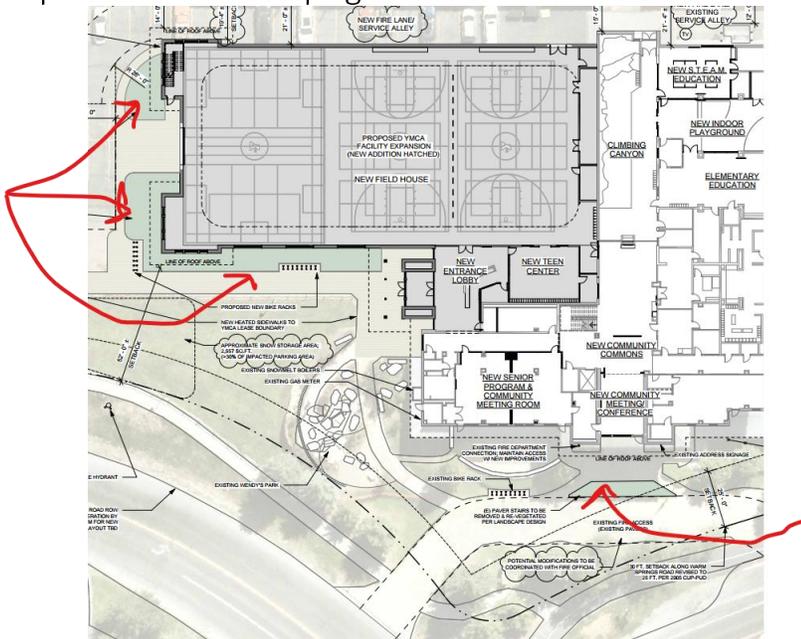


Figure 5: Site Plan(Sheet A1) highlighting areas to be landscaped

V. STAFF RECOMMENDATION

As this is a Pre-Application meeting, there is no formal action taken by the Commission. Staff recommends the Commission review the comments outlined by staff and provide any additional feedback to the applicant for consideration as they move through the Design Review process.

ATTACHMENTS:

- A. I. Application
- II. Project Narrative
- III. Design Review Drawings
- B. Design Review Evaluation Standards KMC S17.96
- C. Public Comment-No Public Comment on the date of this Staff Report

ATTACHMENT A

I. Project Application

II. Project Narrative

III. Pre-Application Drawings



**City of Ketchum
Planning & Building**

Pre-Application Design Review

OFFICIAL USE ONLY
File Number:
Date Received:
By:
Pre-Application Fee Paid:
Design Review Fee Paid:
By:

Submit completed application and documentation to planningandbuilding@ketchumidaho.org. If you have questions, please contact the Planning and Building Department at (208) 726-7801. Design Review criteria, zoning regulations, and development standards are specified in Title 17 of Ketchum Municipal Code, which may be viewed by clicking the link [here](#). You will be contacted and invoiced once your application package is complete.

APPLICANT INFORMATION			
Project Name:	Wood River Community YMCA	Phone:	520.270.6846
Owner:	Matt Neilson, deChase Miksis Development (Owner's Rep)	Mailing Address:	PO Box 733 Boise, ID 83701
Email:	Matt@dechase.com		
Architect/Representative:	Michael Bulls, RLB Architectura	Phone:	208.726.5608
Email:	mbulls@rlb-sv.com	Mailing Address:	PO Box 5619 Ketchum, ID 83340
Architect License Number:	AR 984243		
Engineer of Record:	Matt Walker, RLB Architectura	Phone:	208.726.5608
Email:	matt@rlb-sv.com	Mailing Address:	PO Box 5619 Ketchum, ID 83340
Engineer License Number:	12593		
Primary Contact Name and Phone Number: Michael Bulls, Architect, Office: 208.726.5608			
PROJECT INFORMATION			
Legal Land Description: TL 6689, SEC 12 4N 17E, Exempted App received 2025		Street Address: 101 Saddle Road	
Lot Area (Square Feet):	248,385	Zoning District: Tourist (T)	RPK #: LRK4N170121200
Overlay District:	<input type="checkbox"/> Floodplain	<input type="checkbox"/> Avalanche	<input type="checkbox"/> Mountain <input checked="" type="checkbox"/> None
Type of Construction:	<input type="checkbox"/> New	<input checked="" type="checkbox"/> Addition	<input checked="" type="checkbox"/> Remodel <input type="checkbox"/> Other
Anticipated Use:	Wellness & Recreation	Number of Residential Units: NA	
GROSS FLOOR AREA			
	Proposed	Existing	
Basements	NA Sq. Ft.	NA Sq. Ft.	
1 st Floor	18,860 Sq. Ft.	38,262 Sq. Ft.	
2 nd Floor	7,604 Sq. Ft.	18,176 Sq. Ft.	
3 rd Floor	NA Sq. Ft.	NA Sq. Ft.	
Mezzanine	NA Sq. Ft.	NA Sq. Ft.	
Total	26,464 Sq. Ft.	56,438 Sq. Ft.	
FLOOR AREA RATIO			
Community Core:	Tourist: 0.34	General Residential-High:	
BUILDING COVERAGE/OPEN SPACE			
Percent of Building Coverage: Building coverage/open space for entire Development Parcel to be confirmed with City of Ketchum			
DIMENSIONAL STANDARDS/PROPOSED SETBACKS			
Front: 52'-0"± (SADDLE ROAD)	Side: NA	Side: NA	Rear: 14'-0"± (SERVICE ALLEY)
Building Height: 45'-6" (EXISTING) , 39'-7"± (PROPOSED ADDITION)			
OFF STREET PARKING			
Parking Spaces Provided:	Coordinate with City of Ketchum	Curb Cut: NA Sq. Ft. NA	% NA

The Applicant agrees in the event of a dispute concerning the interpretation or enforcement of the Design Review Application in which the city of Ketchum is the prevailing party, to pay the reasonable attorney fees, including attorney fees on appeal and expenses of the city of Ketchum. I, the undersigned, certify that all information submitted with and upon this application form is true and accurate to the best of my knowledge and belief.


12.30.2025

 Signature of Owner/Representative Date

PRE-APPLICATION DESIGN REVIEW SUBMITTAL CHECKLIST

A Pre-Application Design Review submittal shall include the materials listed in the following table in digital format. Please fill out the checklist in the table below and include the sheet number(s) where the required submittal material may be found in the project plan set. The applicant may elect to provide more details, additional plan sheets, and other supplemental materials not listed in the checklist at their discretion.

PRE-APPLICATION DESIGN REVIEW SUBMITTAL CHECKLIST		
Submitted by Applicant	Plan Sheet Number(s)	Pre-Application Required Materials
<input checked="" type="checkbox"/>	N/A	Project Narrative: A project narrative describing the approach and concept of the project and how the project meets the applicable design review criteria. <i>(narrative shall include a response to each applicable criteria)</i>
<input checked="" type="checkbox"/>	A1.0 - A1.2	Conceptual Site Plan: A conceptual site plan showing proposed on and off-site improvements. Site plan shall include conceptual landscaping and public amenities. Detailed plant list not required.
<input checked="" type="checkbox"/>	A2.0 - A2.2 A4.0	Conceptual Elevations and Floor Plans: Elevations and floor plans for all facades and all levels shall be provided. Elevations shall depict materiality, however, colored renderings not required.
<input checked="" type="checkbox"/>	A4.0	Conceptual Materials and Color Palette: Materials and colors sample board shall be provided for all facades. Photos of materials, representative imagery, and other digital representation of concept is acceptable. Specifications of materials and colors are not required.
<input checked="" type="checkbox"/>	A5.0 - A5.1	3D Perspectives: A minimum of two perspectives, one from a street view and one from bird's eye view, showing the massing of the proposed project within the context of the surrounding neighborhood. Adjacent properties and structures must be included. Full color renderings or photo-realistic perspectives are not required.

Preapplication Design Review Standards

Preapplication review is required for all new non-residential and multi-family residential developments with four or more stories and all new developments on a lot or lots totaling 11,000 square feet or more. Applicants of projects exempt from preapplication design review may request a preapplication design review at their discretion.

Please note that projects that conducted a Pre-Application Design Review meeting with the Planning & Zoning Commission, as required or voluntary, must file a complete Design Review application and pay all required fees within 180 calendar days of the last review meeting on the Pre-Application with the Commission, otherwise the Pre-Application review will become null and void.

The purpose of preapplication review is to allow the Commission to exchange ideas and give direction to the applicant on the "design concept", keeping in mind the purpose of this chapter and the application of the evaluation standards.

Design Review Evaluation Standards

17.96.060: Improvements and Standards

A. Streets:

1. The applicant shall be responsible for all costs associated with providing a connection from an existing city street to their development.
2. All street designs shall be approved by the City Engineer.

B. Sidewalks:

1. All projects under 17.96.010(A) that qualify as a "Substantial Improvement" shall install sidewalks as required by the Public Works Department.
2. Sidewalk width shall conform to the city's right of way standards; however the city engineer may reduce or increase the sidewalk width and design standard requirements at their discretion.
3. Sidewalks may be waived if one of the following criteria is met:
 - i. The project comprises an addition of less than two hundred fifty (250) square feet of conditioned space.
 - ii. The city engineer finds that sidewalks are not necessary because of existing geographic limitations, pedestrian traffic on the street does not warrant a sidewalk, or if a sidewalk would not be beneficial to the general welfare and safety of the public.
4. The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.
5. New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.

6. The city may approve and accept voluntary cash contributions in lieu of the above described improvements, which contributions must be segregated by the city and not used for any purpose other than the provision of these improvements. The contribution amount shall be one hundred ten percent (110%) of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the city engineer. Any approved in lieu contribution shall be paid before the city issues a certificate of occupancy.

C. Drainage:

1. All storm water shall be retained on site.
2. Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.
3. The City Engineer may require additional drainage improvements as necessary, depending on the unique characteristics of a site.
4. Drainage facilities shall be constructed per city standards.

D. Utilities:

1. All utilities necessary for the development shall be improved and installed at the sole expense of the applicant.
2. Utilities shall be located underground and above grade utility, power and communication equipment within the development site shall be concealed from public view.
3. When extension of utilities is necessary all developers will be required to pay for and install two (2") inch SDR11 fiber optical conduit. The placement and construction of the fiber optical conduit shall be done in accordance with City of Ketchum standards and at the discretion of the City Engineer.

E. Compatibility of Design:

1. The project's materials, colors and signing shall be complementary to the townscape, surrounding neighborhoods and adjoining structures.
2. Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.
3. Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to.

F. Architectural:

1. Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined.
2. The building character shall be clearly defined by use of architectural features.
3. There shall be continuity of materials, colors and signing within the project.
4. Accessory structures, fences, walls, and landscape features within the project shall match or complement the principal building.
5. Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.
6. Building(s) shall orient towards their primary street frontage.

7. Garbage storage areas and satellite receivers shall be screened from public view and located off alleys.
8. Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties.

G. Circulation Design:

1. Pedestrian, equestrian, and bicycle access shall be located to connect with existing and anticipated easements and pathways.
2. Awnings extending over public sidewalks shall extend five (5') feet or more across the public sidewalk but shall not extend within two (2') feet of parking or travel lanes within the right of way.
3. Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian, and equestrian use. Consideration shall be given to adequate sight distances and proper signage.
4. Curb cuts and driveway entrances shall be no closer than twenty (20') feet to the nearest intersection of two or more streets, as measured along the property line adjacent to the right of way. Due to site conditions or current/projected traffic levels or speed, the City Engineer may increase the minimum distance requirements.
5. Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project.

H. Snow Storage:

1. Snow storage areas shall not be less than thirty percent (30%) of the improved parking and pedestrian circulation areas.
2. Snow storage areas shall be provided on-site.
3. A designated snow storage area shall not have any dimension less than five (5') feet and shall be a minimum of twenty-five (25) square feet.
4. In lieu of providing snow storage areas, snow melt and hauling of snow may be allowed.

I. Landscaping:

1. Landscaping is required for all projects.
2. Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape.
3. All plant species shall be drought tolerant. Native species are recommended but not required.
4. Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged.

J. Public Amenities:

1. Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All public amenities shall be approved by the Public Works Director prior to design review approval from the Commission.

17.96.070: COMMUNITY CORE (CC) PROJECTS

In addition to the requirements of section 17.96.060, unless otherwise specified, the below standards apply to projects in the Community Core district.

A. Streets:

1. Street trees, streetlights, street furnishings, and all other street improvements shall be installed or constructed as determined by the Public Works Department.
2. Street trees with a minimum caliper size of three inches (3"), shall be placed in tree grates.
3. Due to site constraints, the requirements of this subsection A may be modified by the Public Works Department.

B. Architectural:

1. Facades facing a street or alley or located more than five (5') feet from an interior side property line shall be designed with both solid surfaces and window openings to avoid the creation of blank walls and employ similar architectural elements, materials and colors as the front façade.
2. For nonresidential portions of buildings, front building facades and facades fronting a pedestrian walkway shall be designed with ground floor storefront windows and doors with clear transparent glass. Landscaping planters shall be incorporated into facades fronting pedestrian walkways.
3. For nonresidential portions of buildings, front facades shall be designed to not obscure views into windows.
4. Roofing forms and materials shall be compatible with the overall style and character of the structure. Reflective materials are prohibited.
5. All pitched roofs shall be designed to sufficiently hold all snow with snow clips, gutters and downspouts.
6. Roof overhangs shall not extend more than three (3') feet over a public sidewalk. Roof overhangs that extend over the public sidewalk shall be approved by the Public Works Director.
7. Front porches and stoops shall not be enclosed on the ground floor by permanent or temporary walls, windows, window screens, or plastic or fabric materials.

C. Service Areas and Mechanical/Electrical Equipment:

1. Trash disposal areas and shipping and receiving areas shall be located within parking garages or to the rear of buildings. Trash disposal areas shall not be located within the public right of way and shall be screened from public views.
2. Roof and ground mounted mechanical and electrical equipment shall be fully screened from public view. Screening shall be compatible with the overall building design.

D. Landscaping:

1. When a healthy and mature tree is removed from a site, it shall be replaced with a new tree. Replacement trees may occur on or off site.
2. Trees that are placed within a courtyard, plaza or pedestrian walkway shall be placed within tree wells that are covered by tree grates.
3. The city arborist shall approve all parking lot and replacement trees.

E. Surface Parking Lots:

1. Surface parking lots shall be accessed from off the alley and shall be fully screened from the street.
2. Surface parking lots shall incorporate at least one (1) tree and one (1) additional tree per ten (10) onsite parking spaces. Trees shall be planted in landscaped planters, tree wells and/or diamond shaped planter boxes located between parking rows. Planter boxes shall be designed so as not to impair vision or site distance of the traveling public.
3. Ground cover, low lying shrubs, and trees shall be planted within the planters and planter boxes. Tree grates or landscaping may be used in tree wells located within pedestrian walkways.

F. Bicycle Parking:

1. One (1) bicycle rack, able to accommodate at least two (2) bicycles, shall be provided for every four (4) parking spaces as required by the proposed use. At a minimum, one (1) bicycle rack shall be required per development on private property. Bike racks shall not be located in the public right-of-way.
2. When the calculation of the required number of bicycle racks called for in this section results in a fractional number, a fraction equal to or greater than one-half (1/2) shall be adjusted to the next highest whole number.
3. Bicycle racks shall be clearly visible from the building entrance they serve and not mounted less than fifty (50') feet from said entrance or as close as the nearest non-ADA parking space, whichever is closest.

WOOD RIVER COMMUNITY YMCA
CITY OF KETCHUM PRE-APPLICATION
PROJECT NARRATIVE
12.30.2025



PROJECT SCOPE OF WORK:

The scope of work includes alterations and an addition to the existing Wood River Community YMCA.

Interior Alterations

Main level interior alterations consist of expanding and renovating existing spaces including the senior program & community meeting room, community commons area, and youth education spaces. Upper level interior alterations include the relocation of health partner offices and the expansion of wellness and functional training areas.

Addition

The proposed addition consists of a new main entrance lobby, teen center, and fieldhouse with upper level running track located on the north end of the existing facility.

Exterior Improvements

Proposed exterior improvements will be located within the YMCA lease boundary and consist of new heated sidewalks, landscaped areas adjacent to the proposed addition, and the removal of stairs leading up to the existing main entrance. Reconfigured parking and fire/emergency access located on the north side of the proposed addition and within the YMCA lease boundary are included in the scope of work.

DESIGN APPROACH AND CONCEPT:

The proposed addition to the YMCA makes use of architectural features and materials similar to the existing facility to create an aesthetically cohesive building. Architectural elements are used to soften the perceived massing of the proposed fieldhouse. The new main entrance lobby is designed to complement the adjacent architectural forms with lofted clerestory glass and sloped roof.

DESIGN REVIEW EVALUATION STANDARDS:

17.96.060: Improvements and Standards

A. Streets

Existing street access from Saddle Road and Warm Springs Road are located adjacent to City of Ketchum parking areas to the north and south, respectively, of the YMCA lease area and are outside of the project scope. No new city street connections or curb cuts are proposed for the project.

B. Sidewalks

Existing sidewalks adjacent to Warm Springs and Saddle roads will remain and are outside of the project scope of work. A new section of sidewalk within the YMCA lease area and adjacent to the west edge of the north parking lot is proposed to accommodate the proposed addition. The new sidewalk section will extend to the new main entrance lobby and will tie into the existing sidewalks and paths within the YMCA lease area.

C. Drainage

Stormwater from the proposed addition, new sidewalks and hardscape, new planting areas, and the portion of the new parking area to the North of the proposed addition and within the YMCA lease area will be retained on site.

Existing stormwater drainage systems outside of the project scope of work will remain.

D. Utilities

All new utilities and connections required to service the proposed improvements will be installed at the sole expense of the applicant and will be installed underground, concealed from public view.

E. Compatibility of Design

The project's materials, colors, and signage will match the existing YMCA facility where possible. Exterior materials including brick, composite wood wall siding, metal windows and doors, stained timber beams and details, and sloped shingle roofing are consistent with the various existing architecture seen in surrounding neighborhoods and across Ketchum. The proposed addition will serve to conceal the currently exposed structural concrete masonry units along the North elevation of the existing YMCA facility; thus, creating a proper architectural design for the north façade.

F. Architectural

The proposed addition to the YMCA makes use of architectural features and materials similar to the existing facility to create an aesthetically cohesive building. Architectural features including sloped roofs, awning roofs, stepped exterior walls, and differing materials are used to soften the perceived massing of the proposed fieldhouse addition. New and existing sidewalks will connect parking areas to a new main entrance lobby that is designed to complement the adjacent architectural forms with lofted clerestory glass and sloped roof. The length of the proposed addition and the overall YMCA facility orients toward Saddle and Warm Springs roads.

Garbage storage areas, where provided, shall be screened from public view and located off the service alley.

Sloped roofs with engineered snow retention devices, gutters, and downspouts as well as flat roofs with internal roof drains will protect pedestrian areas below from snow sliding and ice accumulation.

G. Circulation Design

Vehicle access to the site occurs on parking areas to the north and south of the existing YMCA facility. These parking areas connect to Saddle Road and Warm Springs Road, respectively, on property owned by the City of Ketchum outside of the YMCA lease area. The south parking area is entirely outside of the project scope of work. The portion of the north

parking area within the YMCA lease area will be partially reconfigured as part of the project scope of work. The YMCA shall coordinate with the City of Ketchum so that the greater parking layout meets fire apparatus access and accessible parking requirements. No new city street connections or curb cuts are included in the proposed scope of work.

New pedestrian and bicycle paths within the YMCA lease area will be snow-melted to provide safe approach to proposed addition and main entrance lobby. These paths will tie into the existing pathways within the YMCA lease area as well as into the existing sidewalks along Saddle Road and Warm Springs Roads. Existing bicycle racks will remain in place and new bicycle racks are proposed adjacent to the proposed addition.

H. Snow Storage

The lawn area to the west of the proposed addition, currently used as snow storage, will continue to serve as the snow storage area for the north parking area and new service alley.

New pedestrian and bicycle paths within the YMCA lease area are proposed to be snow-melted.

I. Landscaping

New landscaped areas are proposed along the north and west elevations of the new addition. Existing stairs to the west of the current main entry are to be removed and landscaped.

New landscaping shall follow City of Ketchum design standards, will be readily adaptable to the site's microclimate, soil conditions, orientation, and aspect, and shall be drought tolerant.

New landscaping is proposed to serve as a buffer between streets and parking areas and the YMCA facility.

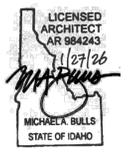
J. Public Amenities

The existing bus stop and associated benches, existing sidewalks and light fixtures, existing bicycle racks, existing historical plaque, and Wendy's Park are outside of the project scope of work and will remain. New bicycle racks will be installed adjacent to the proposed addition.

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01.27.2026	DELTA 1 SET



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**WOOD RIVER
 COMMUNITY YMCA**
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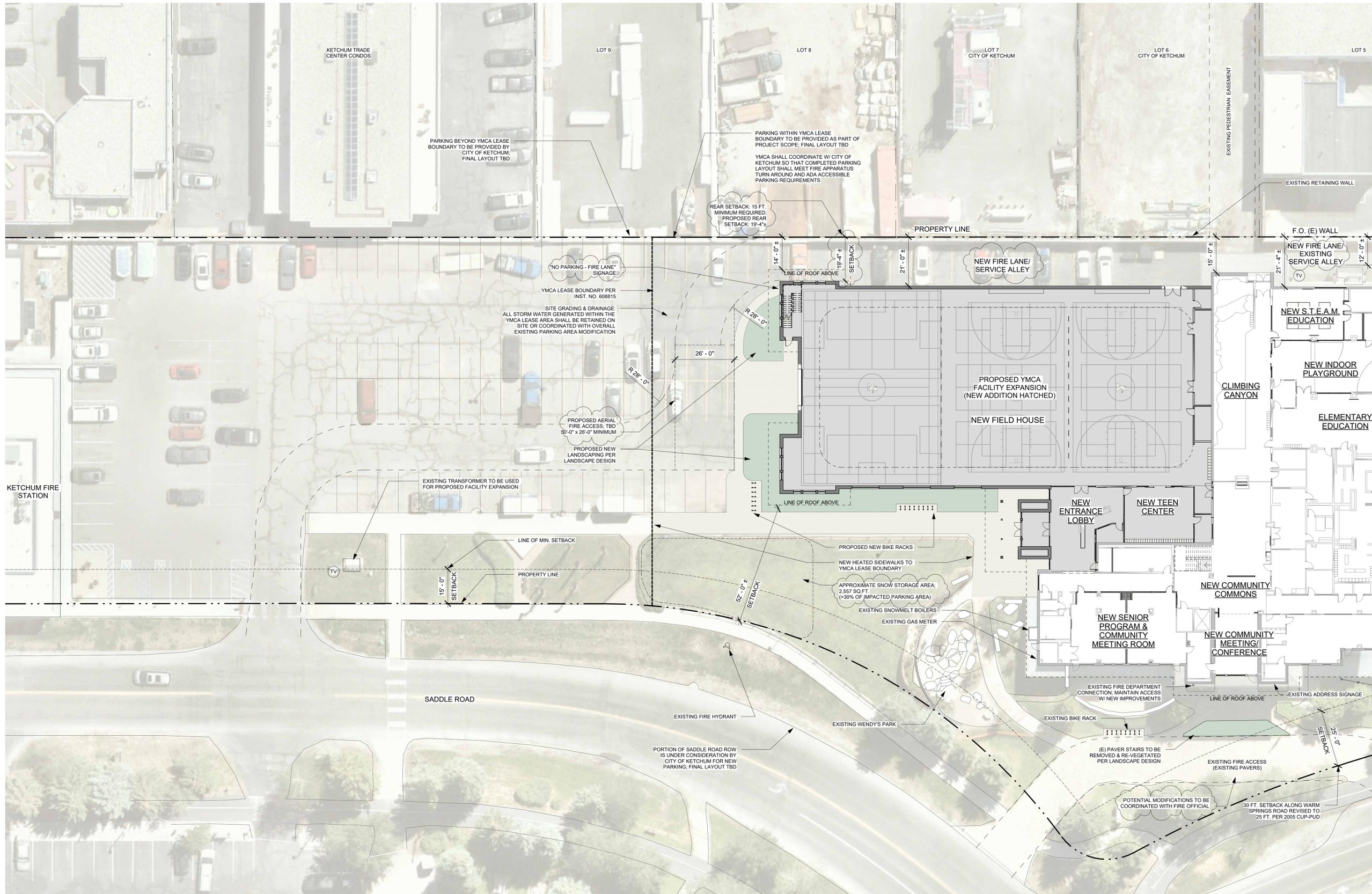
VICINITY PLAN

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SITE PLAN

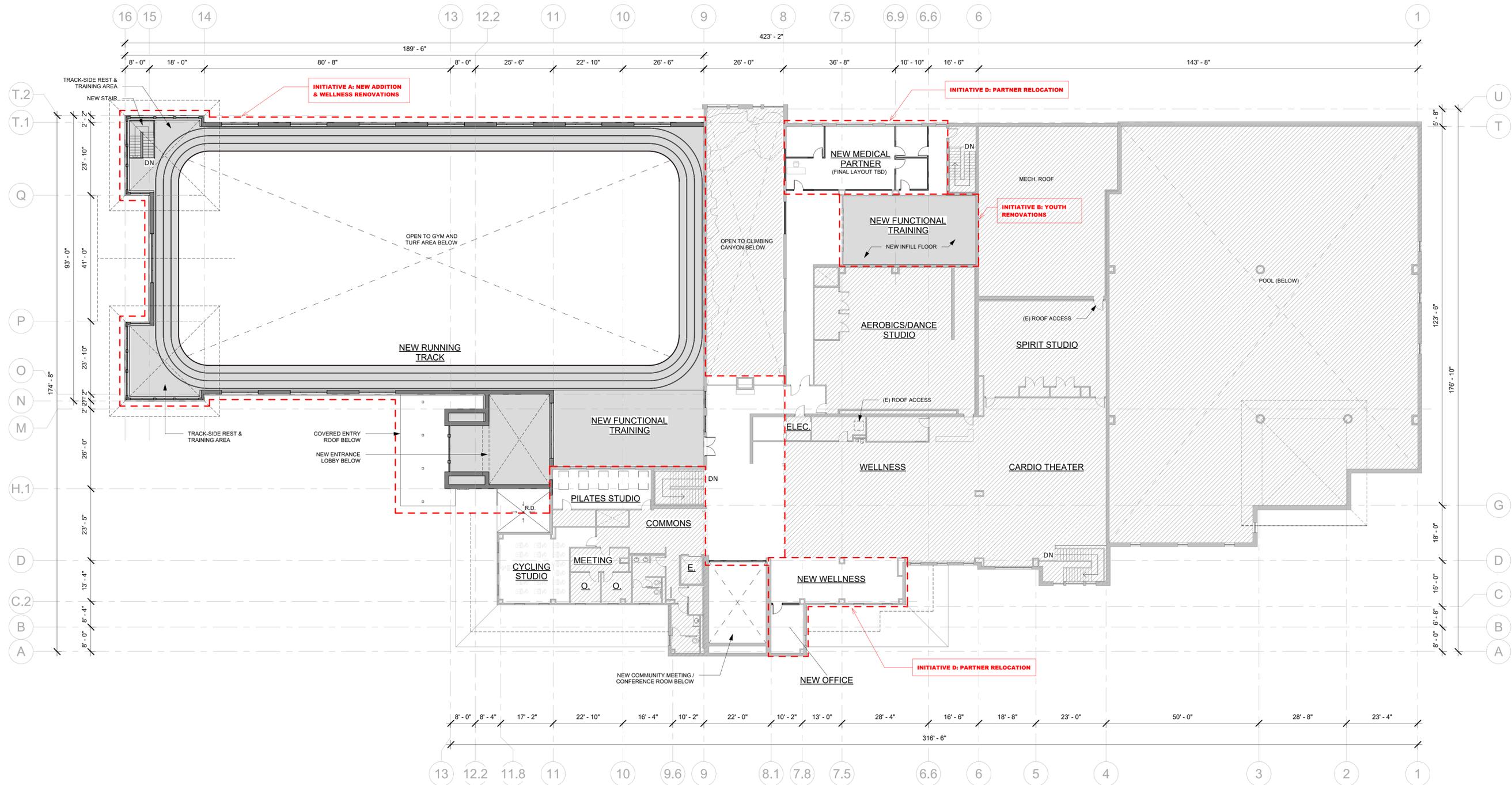
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A1.2

SITE PLAN
 SCALE: 1" = 20'-0"

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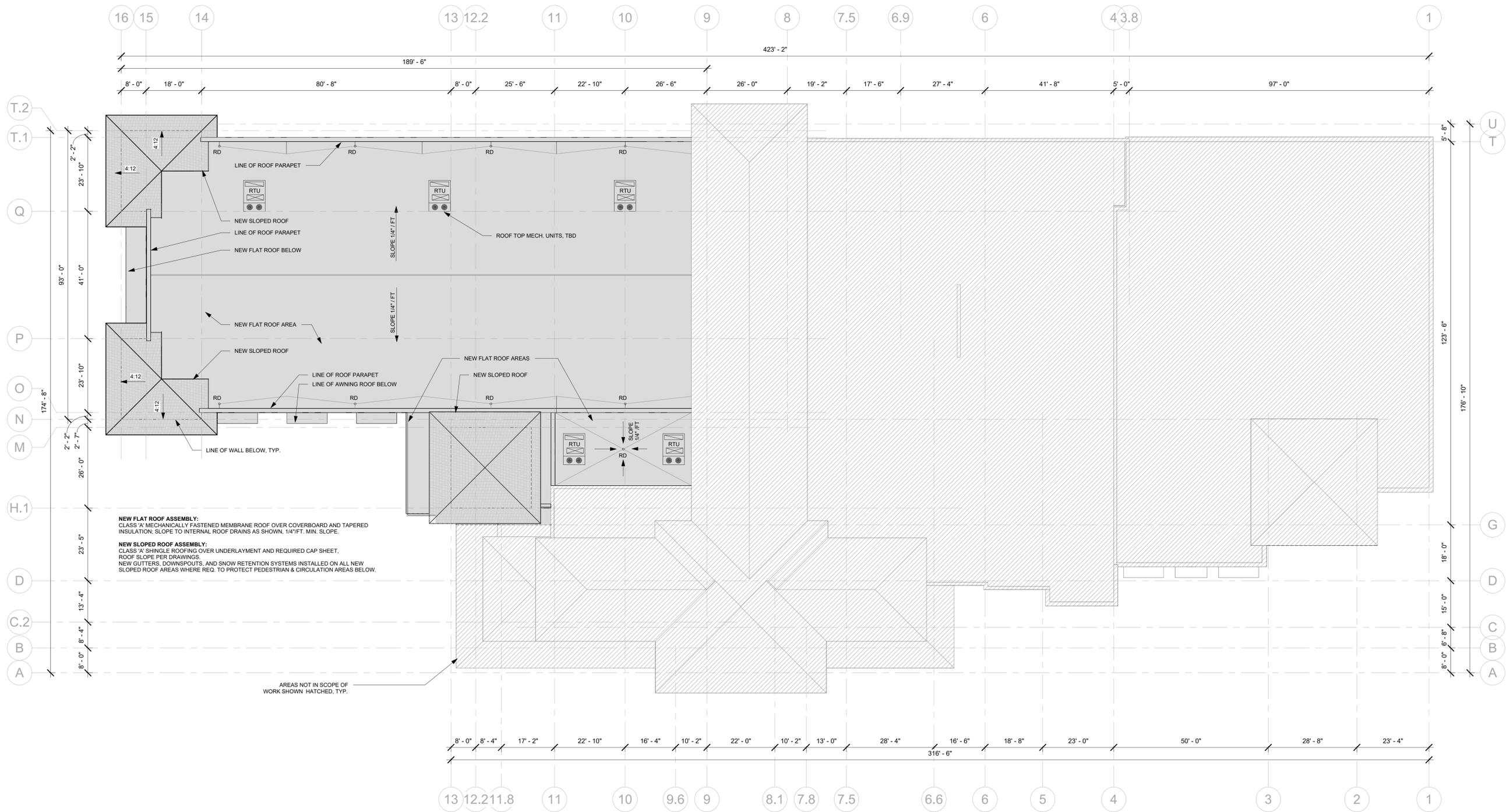
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 UPPER LEVEL FLOOR PLAN - OVERALL
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UPPER LEVEL FLOOR PLAN - OVERALL
 SCALE: 1/16" = 1'-0"

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ROOF PLAN

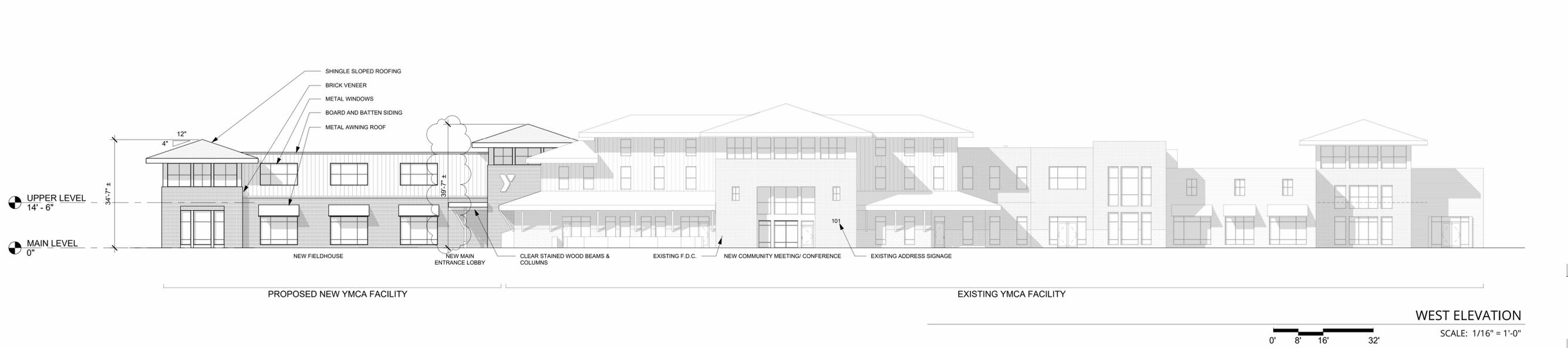
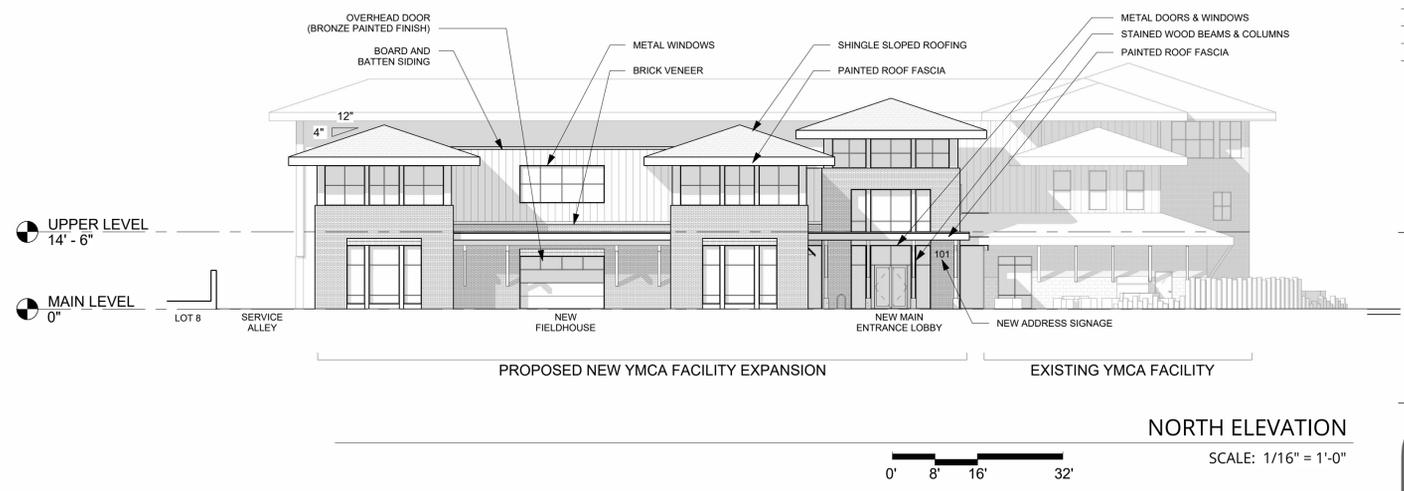
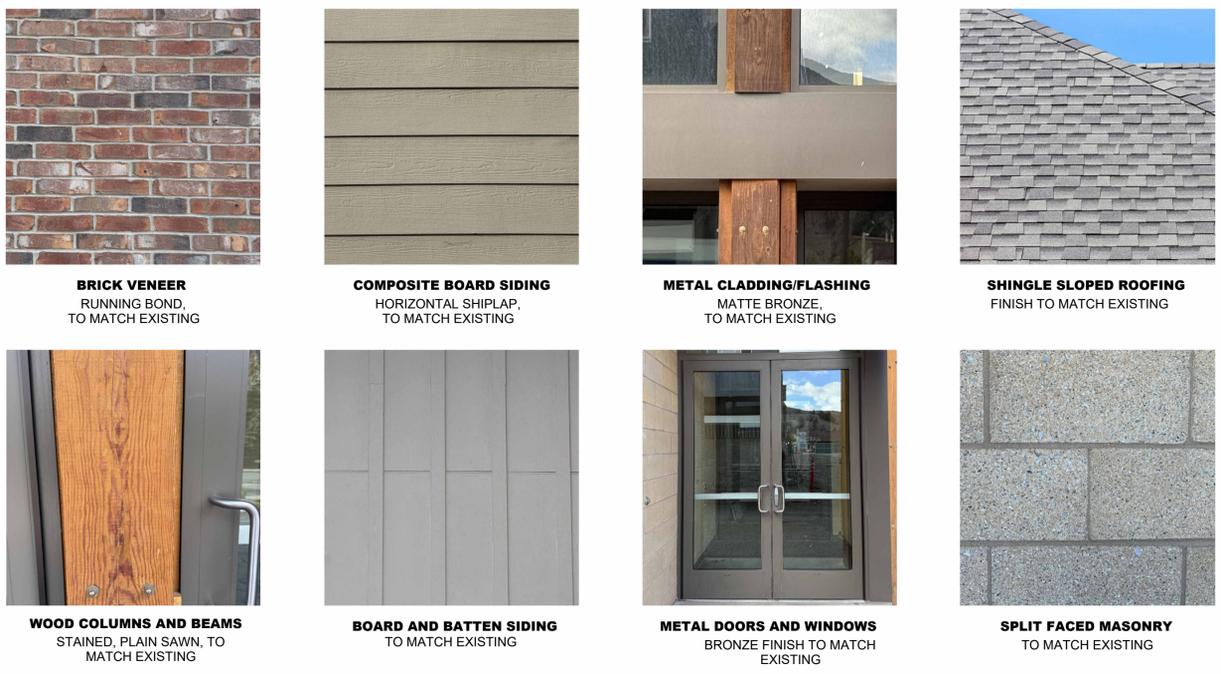
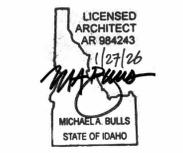
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BUILDING ELEVATIONS & MATERIALS
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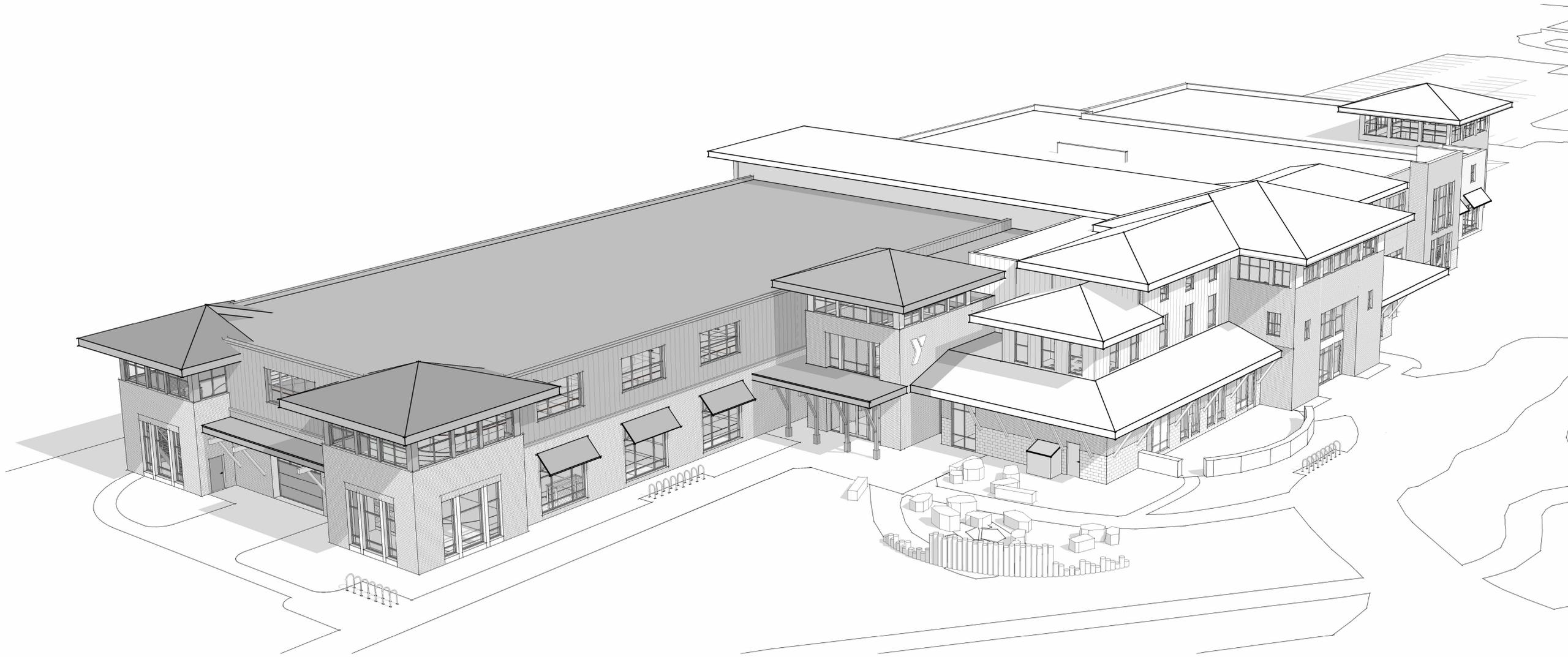
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3D
PERSPECTIVES

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VIEW OF YMCA NORTH ELEVATION AND PARKING LOT - LOOKING SOUTH WEST



VIEW OF YMCA NORTH ELEVATION AND EXTERIOR LAWN AREA - LOOKING SOUTH

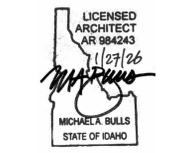


VIEW FROM LOT 6 TOWARD YMCA CLIMBING CANYON ENTRANCE DOOR - LOOKING WEST



VIEW OF YMCA EXISTING MAIN ENTRANCE - LOOKING SOUTH EAST

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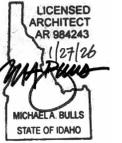
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SITE IMAGES

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VIEW OF EXISTING ARCHITECTURAL TOWER AT YMCA STAIR - LOOKING EAST



VIEW OF EXISTING ARCHITECTURAL TOWER AT YMCA POOL - LOOKING EAST

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ATTACHMENT B

Design Review Evaluation Standards

KMC §17.96.060 Improvements and Standards

KETCHUM CITY CODE

to the completion of the improvements and complete construction of the improvements. Following completion of required improvements the City shall return excess funds to the applicant.

(Ord. 1148, 2016; Ord. No. 1249, § 17, 10-2-2023)

17.96.060 Improvements and standards.

Improvements and standards for all projects listed in subsection 17.96.010.A of this chapter:

A. Streets.

1. The applicant shall be responsible for all costs associated with providing a connection from an existing City street to their development.
2. All street designs shall be approved by the City Engineer.

B. Sidewalks.

1. All projects under subsection 17.96.010.A of this chapter that qualify as a "substantial improvement" shall install sidewalks as required by the Public Works Department.
2. Sidewalk width shall conform to the City's right-of-way standards, however the City Engineer may reduce or increase the sidewalk width and design standard requirements at their discretion.
3. Sidewalks may be waived if one of the following criteria is met:
 - a. The project comprises an addition of less than 250 square feet of conditioned space.
 - b. The City Engineer finds that sidewalks are not necessary because of existing geographic limitations, pedestrian traffic on the street does not warrant a sidewalk, or if a sidewalk would not be beneficial to the general welfare and safety of the public.
4. The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.
5. New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.
6. The City may approve and accept voluntary cash contributions in lieu of the above described improvements, which contributions must be segregated by the City and not used for any purpose other than the provision of these improvements. The contribution amount shall be 110 percent of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the City Engineer. Any approved in lieu contribution shall be paid before the City issues a certificate of occupancy.

C. Drainage.

1. All stormwater shall be retained on site.

ZONING REGULATIONS

2. Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.
3. The City Engineer may require additional drainage improvements as necessary, depending on the unique characteristics of a site.
4. Drainage facilities shall be constructed per City standards.

D. *Utilities.*

1. All utilities necessary for the development shall be improved and installed at the sole expense of the applicant.
2. Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view.
3. When extension of utilities is necessary all developers will be required to pay for and install two-inch SDR11 fiber optical conduit. The placement and construction of the fiber optical conduit shall be done in accordance with City of Ketchum standards and at the discretion of the City Engineer.

E. *Compatibility of design.*

1. The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures.
2. Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.
3. Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to.

F. *Architectural.*

1. Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined.
2. The building character shall be clearly defined by use of architectural features.
3. There shall be continuity of materials, colors and signing within the project.
4. Accessory structures, fences, walls and landscape features within the project shall match or complement the principal building.
5. Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.
6. Building(s) shall orient toward their primary street frontage.
7. Garbage storage areas and satellite receivers shall be screened from public view and located off alleys.
8. Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties.

KETCHUM CITY CODE

G. *Circulation design.*

1. Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.
2. Awnings extending over public sidewalks shall extend five feet or more across the public sidewalk but shall not extend within two feet of parking or travel lanes within the right-of-way.
3. Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage.
4. Curb cuts and driveway entrances shall be no closer than 20 feet to the nearest intersection of two or more streets, as measured along the property line adjacent to the right-of-way. Due to site conditions or current/projected traffic levels or speed, the City Engineer may increase the minimum distance requirements.
5. Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project.

H. *Snow storage.*

1. Snow storage areas shall not be less than 30 percent of the improved parking and pedestrian circulation areas.
2. Snow storage areas shall be provided on site.
3. A designated snow storage area shall not have any dimension less than five feet and shall be a minimum of 25 square feet.
4. In lieu of providing snow storage areas, snowmelt and hauling of snow may be allowed.

I. *Landscaping.*

1. Landscaping is required for all projects.
2. Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape.
3. All trees, shrubs, grasses and perennials shall be drought tolerant. Native species are recommended but not required.
4. Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged.

J. *Public amenities.*

1. Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash

ZONING REGULATIONS

receptacles, restrooms, fountains, art, etc. All public amenities shall receive approval from the Public Works Department prior to design review approval from the Commission.

K. *Underground encroachments.*

1. Encroachments of underground building(s) or portions of building(s) into required setbacks are subject to subsection 17.128.020.K of this title and shall not conflict with any applicable easements, existing underground structures, sensitive ecological areas, soil stability, drainage, other sections of this Code or other regulating codes such as adopted International Code Council Codes, or other site features concerning health, safety, and welfare.
2. No below grade structure shall be permitted to encroach into the riparian setback.
(Ord. 1148, 2016; Ord. 1186, 2018; Ord. No. 1249, § 17, 10-2-2023)

ATTACHMENT C

Public Comment