

STAFF REPORT HISTORIC PRESERVATION COMMISSION REGULAR MEETING OF OCTOBER 3rd, 2022

PROJECT: Goldmine Thrift Store Historic Building Alteration Request

FILE NUMBER: H22-051

APPLICATION TYPE: Request to Alter a Historic Structure

REPRESENTATIVE: Morley Golden

PROPERTY OWNER: The Community Library Association

REQUEST: Proposal of a rear detached roof assembly, site improvements, and repainting of

soffit

LOCATION: 331 North Walnut Ave (Ketchum Townsite: Block 44, Lot 6)

ZONING: Mixed-Use Subdistrict of the Community Core (CC-2)

NOTICE: The public hearing notice was published in the Idaho Mountain Express on

September 14th, 2022. A public hearing notice was mailed to adjacent properties within 300 feet of the project site on September 14th, 2022. A public hearing

notice was posted on the project site on September 27th, 2022.

REVIEWER: Adam Crutcher, Associate Planner

BACKGROUND

The applicant, The Community Library Association, has submitted a Request to Alter a Historic Structure located at 331 N Walnut Ave (Ketchum Townsite: Block 44, Lot 6) within the Mixed-Use Subdistrict of the Community Core (CC-2) Zone. The request proposes to construct a detached roof assembly to the rear of the building, install site improvements including benches and site walls, and repaint the soffit color to more closely resemble what was present on the building in the 1950's. The Gold Mine Thrift Store building was constructed in 1957 and is one of the few examples of Mid-Century Modern architecture in downtown Ketchum. The primary period of Mid-Century Modern architecture was from 1945-1969 and was a by-product of post war optimism and innovation. The character defining features of Mid-Century Modern architecture include flat planes, clean lines and geometric shapes, little ornamentation, an emphasis of functionality over form, open floor plans and large windows for light and views. This building reflects the key characteristics of the architectural style.

The project is subject to Historic Preservation Commission (HPC) review pursuant to KMC 17.20.010.B. HPC review is required for all requests for partial or total demolitions, exterior alterations, and additions to all structures on the Historic Building List.

ANALYSIS

The HPC may approve, approve with conditions, or deny a Request for Demolition or Alteration application based on the criteria specified in KMC 17.20.030.C. The following analysis evaluates the proposed additions to the Gold Mine Thrift Store in relation to the review criteria for requests to alter structures on the Historic Building List. The project plans are attached as Exhibit A.

Review Criteria for Request for Demolition or Alteration Application

Is the structure of historic or architectural value or significance and does it contribute to the historic significance of the property within the Community Core?

The Gold Mine Thrift Store is one of the 24 structures on the Historic Building List. The 2005 Walsworth Associates Windshield Survey identified the Gold Mine Thrift Store as a locally significant historical resource. The existing structure was built in 1957 for the purpose of housing the Community Library and the Gold Mine Thrift Store. The Community Library moved out of the location in 1977 and the building has since been solely used as the home for the Gold Mine.

Limited alterations have been made to the building over time. Staff found one building permit in City records from 1991 (Building Permit Application File No. 91-004). This building permit was for an addition to the rear of the building. The purpose of this addition was to add storage space for the Gold Mine. Staff was also able to find mention of one other addition to the building in the mid 1960's. Again, the purpose of this addition was to allow for greater space for the operation of the library and thrift store. Both additions to the building used the same materials and roof line as the original building.

The Gold Mine building has social and cultural value to the community and architectural significance within downtown Ketchum. The building has been used in the past as the home of the Community Library. The single-story building is architecturally significant as it is one of the few examples of midcentury modern architecture within the downtown. The building's slanted roof, frontside glazing, and minimal ornamentation are representative of this style of architecture.

Would the loss, alteration of, or addition to, the structure adversely affect the historic integrity of the structure, impact the significance of the structure within the Community Core, impact the architectural or aesthetic relationship to adjacent properties, or conflict with the Comprehensive Plan?

Historic integrity measures how effectively a building's materials, design, feeling, location, association, workmanship, and setting convey the property's historic significance. The Gold Mine building has retained its historic and architectural integrity over the 65 years since it was originally constructed. The structure has remained in its same location and retained its original building form and materials. The

331 N Walnut Ave Addition
Request to Alter Historic Structure
Historic Preservation Commission Meeting of October 3rd, 2022
City of Ketchum Planning & Building Department

development's small scale contributes to downtown's mix of diverse building types that visually track Ketchum's incremental growth through time.

The proposed project includes a detached roof assembly to the rear of the building which would match the roof line of the existing building. The minimal architectural ornamentation to the roof assembly and the angled roof line is consistent with mid-century modern architectural principles. The roof assembly follows standard #9 of the Secretary of the Interior Standards for Rehabilitations which states,

"New additions, exterior alteration, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale and architectural features to protect the historic integrity of the property and its environment".

The roof assembly is differentiated from the existing building due to the use of metal and it being a detached structure while still being compatible in terms of size, scale, and architectural features.

Other aspects of the project include site walls and benches at the front of the property. These features are small in scale and do not take attention away from the existing building. The site walls and benches are characterized with clean geometric shapes and don't have much architectural detail, keeping in line with mid-century modern architecture characteristics. The alterations to the existing building include repainting the soffit to match the coloration used in the 1950's and replacing the roof shingles with similar material.

Does the structure retain the requisite integrity to convey its historic and/or architectural significance?

The Gold Mine retains its historic integrity through the feeling and association conveyed through its original building form along with it being the original location of the Community Library. The building is in good condition and contains most of the same materials and color palette from the original construction. The two additions which have occurred after the original construction have used the same materials and design characteristics. The architectural features which make the building representative of mid-century modern architecture are still present and will not be affected by the proposed project.

Does the proposed demolition or alteration adversely affect the historic significance or architectural distinction of the structure or the Community Core?

The proposed alteration/addition does not adversely affect the historic significance or architectural distinction of the structure. The alterations/additions won't detract from the existing architectural qualities which make the existing building significant (angled roof line, large storefront windows, minimal architectural ornamentation). The historic significance of the Gold Mine building is it being the first location of the Community Library. This historic significance will not be negatively impacted due to the proposed additions/alterations.

STAFF RECOMMENDATION

After considering the project plans, Staff's analysis, the applicant's presentation, and public comment, Staff recommends the Historic Preservation Commission deliberate and move to approve the Request to Alter a Historic Structure located at 331 N Walnut Avenue.

RECOMMENDED MOTION

"I move to approve the Request to Alter a Historic Structure for the proposed demolition to the structure located at 331 N Walnut Avenue."

EXHIBITS:

A. 331 N Walnut Avenue Addition Plans

Attachment A: Gold Mine Addition Plans

INDEX TO DRAWINGS

- A0.1 TITLE SHEET
 A1.0 EXISTING & PROPOSED FLOOR PLAN
- C0.1 CIVIL DETAILS
- C1.0 SITE PLAN
- L1.0 LANDSCAPE SITE PLAN
- L2.0 GRADING PLAN L3.1 LANDSCAPE MATERIAL PLAN
- A2.0 EAST AND NORTH ELEVATIONS
- A3.0 WEST ELEVATION AND FINISH MATERIALS G1.0 CONSTRUCTION MANAGEMENT PLAN
- S2.0 CANOPY STRUCTURAL PLAN

S3.0 CANOPY STRUCTURAL DETAILS

MINE ROOF ASSEMBLY ADDITION

KETCHUM, IDAHO

SITE PLAN SYMBOLS						
EXISTING	FEATURE	PROPOSED	EXISTING	FEATURE	PROPOSED	
	CONTOUR PROPERTY LINE CENTER LINE EASEMENT/SETBACK RIGHT OF WAY FENCE STORM DRAIN SANITARY SEWER WATER LINE ELECTRIC LINE GAS LINE TELEPHONE LINE DRAINAGE LINE LIMIT OF WORK MATCH LINE	100		SPOT ELEVATION FIRE HYDRANT VALVE UTILITY POLE TRANSFORMER LIGHT SIGN MONUMENT METER PIT MANHOLE CATCH BASIN CLEAN OUT OUTFALL/HEADWALL BENCHMARK BORING LOCATION EXISTING TREE TREE TO BE REMOVED TRIANGULATION POIN		
	SCALE		/●\	I RIANGULATION POIN	I	

PROJECT SITE:

331 N. WALNUT AVENUE

ARCHITECTURAL SYMBOLS						
BUILDING SECTION (PLAN)		BUILDING SECTION NUMBER SHEET WHERE DRAWN	DOOR NUMBER			
WALL SECTION		─WALL SECTION NUMBER ─SHEET WHERE DRAWN	WINDOW NUMBER	\Diamond		
DETAIL BLOWUP		DETAIL NUMBER SHEET WHERE DRAWN	REVISION INDICATION	\triangle		
DETAIL CUT AND SECTION		─ DETAIL NUMBER ─ SHEET WHERE DRAWN	ELEVATION MARK	 		
ELEVATIONS		ELEVATION NUMBER SHEET WHERE DRAWN	GRAPHIC SCALE	12 4		
ROOM TAG	ROOM — — — — — — — — — — — — — — — — — —	ROOM NAME ROOM NUMBER	NORTH ARROW			

PROJECT DATA LEGAL DESCRIPTION: KETCHUM LOT 6, BLOCK 44 GOLD MINE THRIFT STORE CC-1 (COMMUNITY CORE; RETAIL CORE) CONSTRUCTION TYPE: TYPE V WOOD FRAME

OCCUPANCY: M MERCANTILE BUILDING AREA: 4,844 SQUARE FEET

8,250 SQ. FT. (0.189 ACRES) SITE AREA:

2018 INTERNATIONAL BUILDING CODE (2018 IBC) AS ADOPTED BY CITY OF KETCHUM BUILDING DEPT

JURISDICTIONS: KETCHUM PLANNING & ZONING KETCHUM BUILDING DEPARTMENT KETCHUM FIRE DEPARTMENT

ABBREVIATIO	ABBREVIATIONS							
ABV above AFF above finish floor ASC above suspended ceiling ACC access ACFL access floor AP access panel AC acoustical ACPL acoustical plaster ACT acoustical plaster ACT acoustical ile ACR acrylic plastic ADD addendum ADN addition (al) ADH adhesive ADJ adjacent ADJT adjustable AGG aggregrate A/C air conditioning	CAB cabinet CAD cadmium CPT carpet (ed) CSMT casement C.I. cast iron C.I.P. cast in place CST cast stone C.B. catch basin (C) caulk (ing) CLG celling CHT ceiling height CEM cement CPL cement plaster (portland) CM centimeter CER ceramic C.T. ceramic tile CMT ceramic mosaic (tile)	DBL double DA double acting DH double hung D.S.B. double strength B DTA dovetail anchor DTS dovetail anchor slot DW down D.S. downspout D drain DRB drainboard DT drain tile DWR drawer DWG drawing D.F. drinking fountain D.W. double acting	FHWS flathead wood screw FLX flexible FLR floor (ing) FLCO floor cleanout FD floor drain FPL flourescent FLUOR flush joint FJT footing FTG forged FRG foundation FDN frame (d), (ing) FR fresh air FRA furnished and installed by others F.I.O. furnished by others F.B.O. furnished by tenant F.B.D. furnished by tenant F.B.D. furnished by tenant F.B.T. furred (ing)	INCIN incinerator INCL include (d), (ing) INFO information I.D. inside diameter I.B.C. installed by contractor I.B.O. installed by others INSUL insulate (d), (ion) INSC insulating fill INT interior ILK interiock INTM intermediate INV invert IPS iron pipe size	MTHR metal threshold M meter (s) MEZ mezzanine MM millimeter (s) MWK millwork MIN minimum MIR mirror MISC miscellaneous MOD modular MLD molding, moulding MR mop receptor MT mount (d), (ing) MOV movable MUL mullion	PT point PVC polyvinyl chloride PE porcelain enamel POS positive, position PTC post-tensioned concrete LB pounds PCF pounds per cubic foot PLF pounds per square foot PSF pounds per square foot PSI pounds per square inch P.I.P. poured in place PCC precast concrete PREFAB prefabricate (d) PFN prefinish PRF preformed PSC presstressed concrete PRCP property	SIM similar S.H. single hung SKL skylight S.J. slip joint SL sleeve SC solid core SP sound proof SPC spacer SPK speaker SPL special SPEC specification (s) SQ square SF square feet SST stainless steel STD standard STA station STL steel	VJ v-joint VB vapor barrier VAR varnish VNR veneer VTR vent through roof (V) verify VRM vermiculite VERT vertical VEST vestibule VG vertical grain V.S.J. vertical slip joint VIN vinyl VAT vinyl asbestos tile VB vinyl fabric
ALM alarm ALT alternate AL aluminum ACI American Concrete Institute AIA American Institute of Architects	CHBD chalk board CHAM chamfer CR chromium CIR circle CIRC circumference	EA each E.F. each face E.W. each way	FUT Idred (ing) FUT	JC janitor's closet J.T. joint J.F. joint filler	NFPA National Fire Protection Association NAT natural (N) new NI nickle	P.L. property line	STOR storage SD storm drain STR structural SCT structural clay tile STDS studs	VT vinyl tile VWC vinyl wall covering
AISC American Institute of Steel Construction ANSI American National Standards Institute ASTM American Society for Testing and Materials AWG American Wire Gage ANC anchor, anchorage	CL cleanout CLR clear (ance) CLOS closet CLS closure C.W. cold water	ELEC electric (al) EP electrical panel board EWC electrical water cooler EL elevation ELEV elevator EMER emergency	GA gage, guage GPM gallons per minute GALV. galvinized G.I. galvinized iron G.P. galvinized pipe	KCPL keene's cement plaster KPL kickplate KIT kitchen	NR noise reduction NRC noise reduction coefficient NOM nominal NC non-corrosive NMT nonmetallic	QTY quantity QT quarry tile	SUSP suspended SYM symmetry (ical) SYN synthitic SYS system	WCST wainscot WTW wall to wall WH wall hung WC water closet WP waterproofing / weatherproof
A.B. anchor bolt ANOD anodized APPD approved APPROX approximate ARCH architect (ural)	COL column COMB combination COMPT compartment COMPO composition (composite) COMP compress (ed) (ion) (lble)	ENCL enfolse (ure) EQ egual EQUIP equipment ESC escalator EST estimate	GSS galvinized steel sheet GKT gasket (ed) GEN general GC general contract GL glass, glazing	K.O. knockout LBL lable	(NP) no paint N.A. not applicable, available N.I.C. not in contract N.T.S. not to scale	RBT rabbet, rebate RAD radius RL rail (ing) RWC rain water conductor RECP recepticle	TKBD tackboard TKS tackstrip TEL telephone	WR water repellent / waste receptacle WS waterstop WT weight WWF welded wire fabric WHB wheel bumper
AD area drain ASB asbestos ASPH asphalt AT asphalt tile AUTO automatic AVG average	CONC concrete CMU concrete masonry unit CONN connection CONST construction CSI Construction Specifications Institute CONT continuous or continue CONTR contract (or) CLL contract limit line CJT control joint	EXCA excavate EXH exhaust (E) existing EXMP expanded metal plate E.B. expansion bolt EXP exposed EXT exterior E.J. expansion joint	GLB glass block GLF glass fiber GCMU glazed concrete masonry unit GST glazed structural tile GB grab bar GR grade, grading GRN granite GVL gravel	LAB laboratory LAD ladder LB lag bolt LAM laminate (d) LAV lavatory L.H. left hand L.H.R. left hand reverse L length LT light track	OBS obscure O.C. on center (s) OP opaque OPG opening OJST open-web joist OPP opposite OPH opposite	RE reference RFL reflect (ed), (ive), (or) REFR refrigerator REG register REINF reinforce (d), (ing) RCP reinforced concrete pipe (R) remove REQ required RESIL resillent	TV television TEMP tempered, temperature TC terra cotta TZ terrazzo THK thick (ness) THR threshold TPTN toilet partition T.P.H. toilet paper holder	W width, wide WDO window WG wired glass WM wire mesh W/ with WO/ without WD wood WB wood base
BP back plaster (ed) BSMT basement BM bearn BRG bearing BPL bearing plate BJT bed joint B.M. bench mark BEL below	CPR copper CG corner guard CORR corrugated CTR counter CFL counterflashing CS countersunk CTSK countersunk screw CRS course (s)	FAB fabricate FB face of brick F.O. face of F.O.C. face of concrete F.O.F. face of finish F.O.M. face of masonry	GRD ground GF ground face GT grout GYP gypsum GWB gypsum vall board GYPT gypsum tile	L.W. light weight L.W.C. light weight concrete LMS limestone LF lineal feet LTL lintel L.L. live load LVR louver LPT low point	OPS opposite surface O.D. outside diameter OHMS ovalhead machine screw OHWS ovalhead wood screw OA overall OH overhead	RET return RA return air RVS reverse (side) REV revision (s), revised RH right hand ROW right of way R riser RVT rivet	TOL tolerance T&G tounge and groove T&B top and bottom T.O. top of T.O.B. top of beam T.O.C. top of concrete T.O.D. top of drain T.O.F. top of footing T.O.M. top of masonry	WPT work point WI wrought iron angle CL center line
BET between BVL beveled BIT bituminous BLK block BLKG blocking BD board	CRG cross grain CF cubic foot CY cubic yard	F.O.M. face of masonry F.O.S. face of stud FAS fasten, fastener F.N.D. femine napkin dispenser F.N.R. femine napkin receptacle FN fence FBD fiberboard	HH handhole HBD hardboard HDW hardware HWD hardwood HJT head joint HDR header	MB machine bolt MI malleable iron MH manhole	(P) paint (d) PR pair PNL panel PB panic bar P.T.D. paper towel dispenser	RD roof drain RFH roof hatch RFG roofing RM room R.O. rough opening R.S. rough sawn RB rubber base	T.O.S. top of slab T.O.SL. top of steel T.O.W. top of wall TB towel bar TR transom T tread	[channel # number PL property line
B.S. both sides BW both ways BOT bottom B.O.B. bottom of beam B.O.C. bottom of concrete B.O.F. bottom of footing	DPR damper DP damp proofing DL dead load DEG or degree DEM demolish, demolition DEP depressed	FGL fiberglass FIN finish (ed) F.F. finished floor F.A. fire alarm FBRK fire brick	HTR heater HTG heating HVAC heating/ventilating/air conditioning HD heavy duty HT height	MFR manufacture (er) MRB marble MAS masonry M.O. masonry opening MATL material (s) MAX maximum	PTR paper towel receptor PAR parallel PK parking PART BD particle board PTN partition PV pave (d), (ing)	RBT rubber tile RBL rubble stone	TYP typical UC undercut	o round square foot
B.O.S. bottom of steel or bottom of slab B.O.W. bottom of wall BRK brick BTU British Thermal Unit BRZ bronze BLDG building	DMT demountable DTL detail DIAG diagonal DIAM diameter DIM dimension DW dishwasher	F.E. fire extinguisher F.E.C. fire extinguisher cabinet F.H.S. fire hose station FPL fireplace FP fireproof FRC fire-resistant coating FRT fire-retardent	HX hexagonal HES high early strength cement H.C. hollow core H.M. hollow metal HK hook (s) HOR horizontal H.B. hose bib	MECH mechanic (al) M.C. medicine cabinet MED medium MBR member MMB membrane MTL metal	PVMT pavement PED pedistal PERF perforate (d) PERI perimeter PH phase PLS plaster	SFGL safety glass SCN screen (S) sealant STG seating SECT section S/S service sink SHTG sheathing	UG underground UL Underwriters Laboratories UNF unfinished U.O.N. unless otherwise noted UR urinal	
BUR built up roofing BBD bulletin board	DSPR dispenser DIS disposal DIV division DR door	FIX fixture FLG flashing FHMS flathead machine screw	HWH hot water heater	M.E. metal edge MFD metal floor decking MTFR metal furring MRD metal roof decking	PLAS plastic PL plate PG plate glass PWD plywood	SHTG sheathing SHT sheet SVFC sheet vinyl floor covering SHO shore (d), (ing)		

PROJECT TEAM

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GENERAL REQUIREMENTS

- 1. ALL WORK PERFORMED SHALL COMPLY WITH THE MOST STRINGENT REQUIREMENTS OF THE FOLLOWING AND HAVE SAME FORCE AND EFFECT AS IF COPIED DIRECTLY INTO CONTRACT DOCUMENTS.
- A. 2018 INTERNATIONAL BUILDING CODE B. ALL APPLICABLE LOCAL, CITY, COUNTY, STATE AND FEDERAL LAWS, CODES, ORDINANCES, COVENANTS, REGULATIONS GOVERNING THE SITE OF WORK IN EFFECT AS OF THE DATE OF CONSTRUCTION DOCUMENTS. SHOULD THE GENERAL CONTRACTOR OR ANY SUBCONTRACTOR PERFORM WORK NOT IN ACCORDANCE OR IN CONFLICT WITH THE ABOVE-MENTIONED LAWS, CODES, ORDINANCES, RULES AND REGULATIONS, CONTRACTOR IN VIOLATION SHALL BEAR RESPONSIBILITY OF ALL COSTS INCURRED ARISING FROM REMOVAL AND REPAIR OF NON-CONFORMING
- 2. GENERAL CONTRACTOR SHALL REVIEW ALL PLANS AND SPECIFICATIONS AND VERIFY ALL DIMENSIONS AND SITE CONDITIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. ALL ERRORS AND OR DISCREPANCIES IN THESE PLANS SHALL IMMEDIATELY BE REPORTED IN WRITING TO THE ARCHITECT AND SHALL BE RESOLVED AT THE ARCHITECTS DISCRETION PRIOR TO THE COMMENCEMENT OF ANY WORK IN QUESTION. 3. ON SITE VERIFICATION OF ALL DIMENSIONS AND SITE CONDITIONS SHALL BE THE RESPONSIBILITY OF THE
- GENERAL CONTRACTOR AND HIS SUB CONTRACTORS. 4. THE GENERAL CONTRACTOR SHALL PROVIDE ON-SITE CONSTRUCTION SUPERVISION TO THE EXTENT NECCESSARY TO ASSURE THAT ALL IMPROVEMENTS ARE BEING CONSTRUCTED IN CONFORMANCE WITH THE CONSTRUCTION DOCUMENTS AND COMMON INDUSTRY TRADE PERFORMANCE STANDARDS. GENERAL CONTRACTOR SHALL INSPECT ALL STRUCTURAL FRAMING MEMBERS, CONCRETE ANCHORS, TIE DOWNS, FLASHING, ROOF MATERIALS, AND UNDERLAYMENT. INSPECTION IS TO ASSURE THAT ALL MATERIALS AND APPLICATIONS MEET MANUFACTURER'S SPECIFICATIONS AND INSTALLATION GUIDELINES OR ASTM REQUIREMENTS, WHICH EVER IS MORE STRINGENT, AND TO NOTIFY THE ARCHITECT AND OWNER IN SUFFICIENT TIME TO PREVENT DEFECTIVE AND OR SUBSTANDARD MATERIALS FROM BEING INCORPORATED INTO
- 5. THE PROJECT ARCHITECT FOR MICHAEL DOTY ASSOCIATES, ARCHITECTS, P.C., SHALL IMMEDIATELY BE NOTIFIED IN WRITING BY THE GENERAL CONTRACTOR / CONSTRUCTION SUPERINTENDENT SHOULD ANY DISCREPANCY. INCONSISTENCY, OR OTHER QUESTION ARISE PERTAINING TO THE CONSTRUCTION DOCUMENTS. THE GENERAL CONTRACTOR SHALL BEAR SOLE LIABILITY FOR ALL DECISIONS MADE WITHOUT CONSULTING ARCHITECT FOR CLARIFICATION OF MATTER IN QUESTION.
- 6. THE DESIGN ADEQUACY, AND SAFETY OF THE ERECTION, BRACING, SHORING, TEMPORARY SUPPORTS, ETC.. IS THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR, AND HAS NOT BEEN CONSIDERED BY THE ARCHITECT OR STRUCTURAL ENGINEER. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE STABILITY OF THE STRUCTURE PRIOR TO THE APPLICATION OF ALL SHEAR WALLS, ROOF, AND FLOOR DIAPHRAGMS AND FINISH MATERIALS. AND SHALL PROVIDE THE NECESSARY BRACING TO PROVIDE STABILITY PRIOR TO THE APPLICATION OF THE AFOREMENTIONED MATERIALS. OBSERVATION VISITS TO THE SITE BY THE ARCHITECT OR STRUCTURAL ENGINEER SHALL NOT INCLUDE INSPECTION OF
- 7. REFER TO STRUCTURAL SPECIFICATIONS, PLANS, AND DETAILS FOR QUESTIONS REGARDING LUMBER GRADES, BEAM AND HEADER SIZES, FOOTINGS, AND SHEAR REQUIREMENTS. 8. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION COORDINATION AND SUPERVISION. THE ARCHITECT WILL PERIODICALLY OBSERVE THE PROGRESS OF CONSTRUCTION, BUT WITHOUT UNDERTAKING TO PROVIDE CONSTRUCTION SUPERVISION, SOLELY FOR THE PURPOSE OF DETERMINING DESIGN CONSISTENCY. 9. THE GENERAL CONTRACTOR IS TO COMPLY WITH MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS TO THE EXTENT THAT MANUFACTURER'S PRINTED INFORMATION IS MORE DETAILED AND OR STRINGENT THAN REQUIREMENTS

CONTAINED DIRECTLY IN THE CONSTRUCTION DOCUMENTS.

- 10. IT IS THE INTENT OF THE CONSTRUCTION DOCUMENTS THAT ALL WORK BE PERFORMED IN A SOUND MANNER PROVIDING A COMPLETED PROJECT WITH MATERIALS, ASSEMBLIES, AND SYSTEMS CORRECTLY INSTALLED AND PERFORMING IN A MANNER CONSISTENT WITH THE COMMON STANDARDS ON THE INDUSTRY FOR THIS TYPE OF
 - A. CONSTRUCTION DOCUMENTS INCLUDE, BUT ARE NOT LIMITED TO, WORKING DRAWINGS, SPECIFICATIONS, STRUCTURAL CALCULATIONS, STATE MANDATED ENERGY CALCULATIONS AND NOTES, SOILS REPORT, GEOLOGY REPORT, ACOUSTICAL ENGINEERS REPORT, ADDENDUM AND CHANGE ORDERS, AND THESE GENERAL REQUIREMENTS UNLESS OTHERWISE NOTED ON PLANS OR SPECIFICATIONS.
- 11. GENERAL CONTRACTOR AND SUBCONTRACTORS RECOGNIZE THAT THE ARCHITECT CANNOT PREPARE PLANS AND DRAWINGS THAT COVER ALL CONCEIVABLE CONSTRUCTION DETAILS OR SITE CONDITIONS. 12. GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL IMMEDIATELY INFORM THE ARCHITECT IN WRITING OF ANY MISSING DETAILS AND OR CORRECTIONS WHICH ARE BELIEVED BY THEM TO BE NECESSARY AND OR APPROPRIATE FOR THE PROPER CONSTRUCTION OF THE PROJECT AND THAT WOULD NOT NORMALLY BE THEIR RESPONSIBILITY
- UNDER COMMON INDUSTRY PRACTICES AND TECHNIQUES. 13. TERMINOLOGY, ABBREVIATIONS, AND SYMBOLS USED IN THE CONSTRUCTION DOCUMENTS ARE THOSE RECOGNIZED IN THE CONSTRUCTION INDUSTRY FOR THE PURPOSED INDICATED BY THE CONTEXT IN WHICH USED. IN THE EVENT THAT INDUSTRY PUBLICATIONS DO NOT ADEQUATELY DEFINE ANY GIVEN TERM. THE DEFINITIONS FOUND IN WEBSTERS UNABRIDGED DICTIONARY OF THE AMERICAN LANGUAGE WILL GOVERN. REFER UNCERTAINTIES TO ARCHITECT
- 14. GENERAL CONTRACTOR SHALL ARRANGE FOR ALL TESTING AND INSPECTING REQUIRED BY THE CONSTRUCTION DOCUMENTS, LOCAL BUILDING DEPARTMENT, GRADING AND HEALTH DEPARTMENTS, AND ALL OTHER AGENCIES HAVING JURISDICTION OVER THE PROJECT.
- 15. PRODUCTS SPECIFIED IN THE CONSTRUCTION DOCUMENTS BY MANUFACTURER, MAKE, BRAND, MODEL, AND OR OTHER DESIGNATION ARE A PROJECT REQUIREMENT, UNLESS SPECIFICALLY NOTED OTHERWISE SUBSTITUTIONS OF ACCEPTABLE EQUALS ARE PERMITTED ONLY WITH PRIOR WRITTEN APPROVAL OF THE ARCHITECT AND OWNER. SELECTION OF PRODUCTS WHICH COMPLY WITH REQUIREMENTS INCLUDING APPLICABLE STANDARDS IS THE GENERAL CONTRACTOR'S OPTION WHERE NO PRODUCTS ARE SPECIFIED BY THE CONSTRUCTION DOCUMENTS, ARCHITECT, OR OWNER. THE GENERAL CONTRACTOR AND OR SUBCONTRACTOR SHALL BEAR ALL

RESPONSIBILITY FOR PRODUCTS WHICH HE SELECTS AND INSTALLS.

17. NO CHANGES ARE TO BE MADE ON THESE CONSTRUCTION DOCUMENTS WITH OUT THE PRIOR KNOWLEDGE AND WRITTEN CONSENT OF THE ARCHITECT OR ENGINEER WHOSE SIGNATURE APPEARS HERE ON. APPROVAL BY CITY AND OR COUNTY BUILDING INSPECTOR DOES NOT CONSTITUTE AUTHORITY TO DEVIATE FROM PLANS AND

16. WHERE CONSTRUCTION DOCUMENTS CONFLICT WITH CODES, THE MORE STRINGENT SHALL APPLY.

- 18. ALL REVISIONS TO AND OR CHANGES IN THE SCOPE OF WORK DESCRIBED BY THESE CONSTRUCTION DOCUMENTS SHALL BE BY WRITTEN CHANGE ORDER ONLY. GENERAL CONTRACTOR SHALL PROCURE THE BUILDING OFFICIAL'S APPROVAL
- FOR ANY SUCH CHANGES IN THE WORK. 19. GENERAL CONTRACTOR SHALL PROCURE ALL REQUIRED BUILDING PERMITS AND APPROVALS THROUGHOUT
- 20. ALL CLEAR DIMENSIONS ARE REQUIRED TO BE EXACT WITHIN 1/8" TOLERANCE ALONG THE FULL HEIGHT AND WIDTH OF WALLS. GENERAL CONTRACTOR AND OR SUBCONTRACTOR SHALL NOT ADJUST ANY GIVEN DIMENSION WITHOUT
- 21. ALL SHOP DRAWINGS REQUIRED BY THE CONSTRUCTION DOCUMENTS SHALL BE SUBMITTED TO THE ARCHITECT AND OR ENGINEER PRIOR TO FABRICATION FOR REVIEW OF COMPLIANCE WITH DESIGN INTENT.

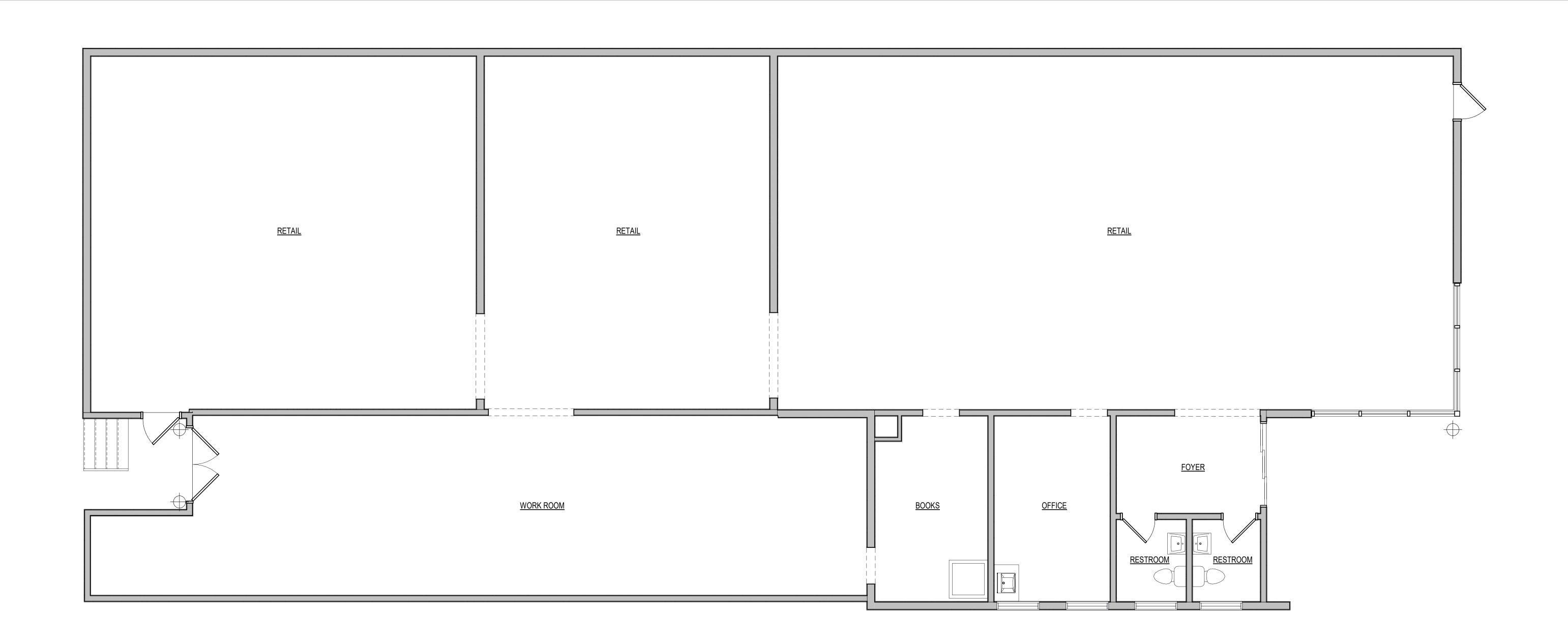
- 22. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR REQUIRING AND VERIFICATION THAT ALL SUBCONTRACTORS ARE ALWAYS USING THE MOST CURRENT ISSUED SET OF BUILDING DEPARTMENT APPROVED CONSTRUCTION DOCUMENTS.
- 23. THE GENERAL CONTRACTOR AND OR SUBCONTRACTORS SHALL BE RESPONSIBLE FOR STORING BUILDING MATERIALS ON SITE. MATERIALS SHALL BE KEPT SECURE AND PROTECTED FROM MOISTURE, PESTS, AND VANDALS. ALL LOSSES ARISING FROM DAMAGED OR STOLEN MATERIALS STORED ON SITE SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND OR SUBCONTRACTOR STORING THOSE MATERIALS.
- 24. THE GENERAL CONDITIONS OF THE CONTRACT SHALL CONSIST OF THE AIA STANDARD DOCUMENT NO. A201, TITLED "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION." IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO PROVIDE HIS SUBCONTRACTORS AND MATERIAL SUPPLIERS, OR ANY OTHER PERSONS PROPOSED TO PERFORM WORK, FURNISH MATERIALS OR EQUIPMENT, OR RENDER SERVICE ON OR ABOUT THE PROJECT, WITH A COPY OF THE SPECIFIED

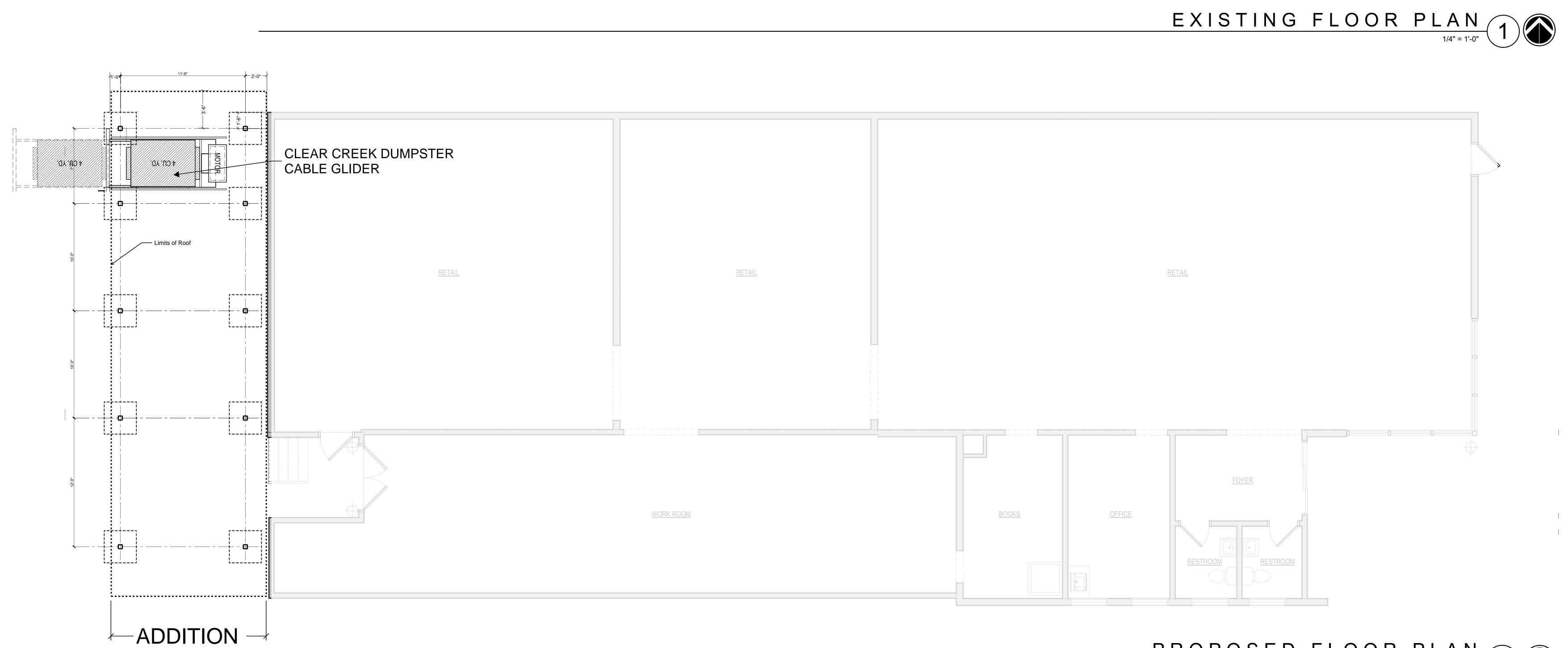
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08/01/2022
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08/01/2022

PROPOSED FLOOR PLAN

1/4" = 1'-0"

SHEET OF

A1.0

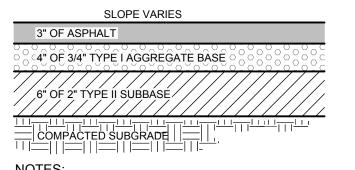
TOTAL

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331 N. WALNUT AVENUE MAY 2022

CONSTRUCTION NOTES

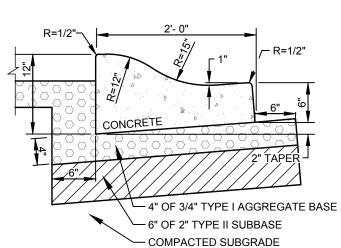
- 1. ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE "IDAHO REGULATIONS FOR PUBLIC DRINKING WATER SYSTEMS," THE CURRENT EDITION OF THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISPWC), AND CITY OF KETCHUM STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ISPWC ON SITE DURING CONSTRUCTION.
- 2. THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES PRIOR TO COMMENCING AND DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL CALL DIGLINE (1-800-342-1585) TO LOCATE ALL EXISTING UNDERGROUND UTILITIES.
- 3. THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION, INCLUDING BUT NOT LIMITED TO, EPA'S NPDES CONSTRUCTION GENERAL PERMIT.
- 4. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION.
- 5. CONSTRUCTION OF WATER MAINS AND ALL OTHER RELATED APPURTENANCES SHALL BE IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPWC), IDAPA 58.01.08, IDAHO RULES FOR PUBLIC DRINKING WATER SYSTEMS AND THE CITY OF KETCHUM UTILITIES DEPARTMENT STANDARDS.
- 6. CONTRACTOR SHALL PRESSURE TEST, DISINFECT, AND CONDUCT BIOLOGICAL TESTING IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPWC), AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS, AND THE PRESSURE TESTING, DISINFECTION, AND MICROBIOLOGICAL
- 7. ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL BE ANSI/NSF STD. 61 COMPLIANT.
- 8. ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL COMPLY WITH THE LOW LEAD ACT REQUIRING ALL MATERIALS TO HAVE A LEAD CONTENT EQUAL TO OR LESS THAT 0.25%.
- 9. THE CONTRACTOR SHALL USE ANSI/NSF STANDARD 60 CHEMICALS AND COMPOUNDS DURING INSTALLATION & DISINFECTION OF POTABLE WATER MAIN.
- 10. CONTRACTOR SHALL COORDINATE LOCATIONS OF DRY UTILITY FACILITIES (POWER, CABLE, PHONE, TV) NOT SHOWN ON THE DRAWING WITH IDAHO POWER.
- 11. ALL CLEARING & GRUBBING SHALL CONFORM TO ISPWC SECTION 201.
- 12. ALL EXCAVATION & EMBANKMENT SHALL CONFORM TO ISPWC SECTION 202. EXCAVATED SUBGRADE SHALL BE COMPACTED AND ALL UNSUITABLE SECTIONS REMOVED AND REPLACED WITH STRUCTURAL FILL AS DETERMINED BY THE ENGINEER. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
- 13. ALL 2" MINUS GRAVEL SHALL CONFORM TO ISPWC 802, TYPE II (ITD STANDARD 703.04, 2"), SHALL BE PLACED IN CONFORMANCE WITH ISPWC SECTION 801 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO
- 14. ALL 3/4" MINUS CRUSHED GRAVEL SHALL CONFORM TO ISPWC 802, TYPE I (ITD STANDARD 703.04, 3/4" B), SHALL BE PLACED IN CONFORMANCE WITH ISPWC SECTION 802 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS
- 15. ALL ASPHALTIC CONCRETE PAVEMENT WORK SHALL CONFORM TO ISPWC SECTION(S) 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE
- 16. ALL EDGES OF EXISTING ASPHALT PAVING SHALL BE SAW CUT 24" TO PROVIDE A CLEAN PAVEMENT EDGE FOR MATCHING. NO WHEEL CUTTING SHALL BE ALLOWED. PRIOR TO REPLACING ASPHALT, THE UNDERLYING SURFACE INCLUDING VERTICAL SAWCUT JOINTS SHALL BE CLEANED OF ALL DEBRIS AND A TACK COAT SHALL BE APPLIED TO ALL CURBS, SAWCUTS, OR OVERLAY SURFACES.
- 17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL PER THE CURRENT EDITION OF THE US DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- 18. ALL CONCRETE FORM WORK SHALL SHALL CONFORM TO ISPWC SECTION 701 AND 703. ALL CONCRETE SHALL BE 3,000 PSI MINIMUM, 28 DAY, AS DEFINED IN ISPWC
- 19. ALL TRENCHING SHALL CONFORM TO ISPWC STANDARD DRAWING SD-301. TRENCHES SHALL BE BACKFILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
- 20. TOPOGRAPHIC, SITE, AND BOUNDARY SURVEY SHOWN HEREON WAS CONDUCTED BY GALENA ENGINEERING, INC., 12/6/2019.
- 21. PER IDAHO CODE § 55-1613, THE CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS; ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS THAT ARE LOST OR DISTURBED BY CONSTRUCTION SHALL BE REESTABLISHED AND RE-MONUMENTED, AT THE EXPENSE OF THE AGENCY OR PERSON CAUSING THEIR LOSS OR DISTURBANCE AT THEIR ORIGINAL LOCATION OR BY SETTING OF A WITNESS CORNER OR REFERENCE POINT OR A REPLACEMENT BENCHMARK OR CONTROL POINT, BY OR UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR.
- 22. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIRING A MATERIALS TESTING COMPANY DURING CONSTRUCTION TO VERIFY ALL COMPACTION AND MATERIAL PLAN AND SPECIFICATION REQUIREMENTS ARE MET. QUALITY CONTROL DOCUMENTATION OF TESTING FOR WORK IN RIGHT-OF-WAY MEETING CITY OF KETCHUM CODE SECTION 12.04.040 (CONCRETE, AGGREGATE BASE COMPACTION, ASPHALT COMPACTION) WILL BE NECESSARY FOR CERTIFICATE OF OCCUPANCY.



- AGGREGATE BASE COURSE.
- 2. MATERIALS SHALL CONFORM WITH CURRENT ISPWC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT. 3. PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT
- SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.

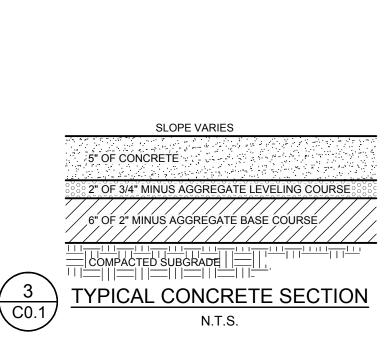


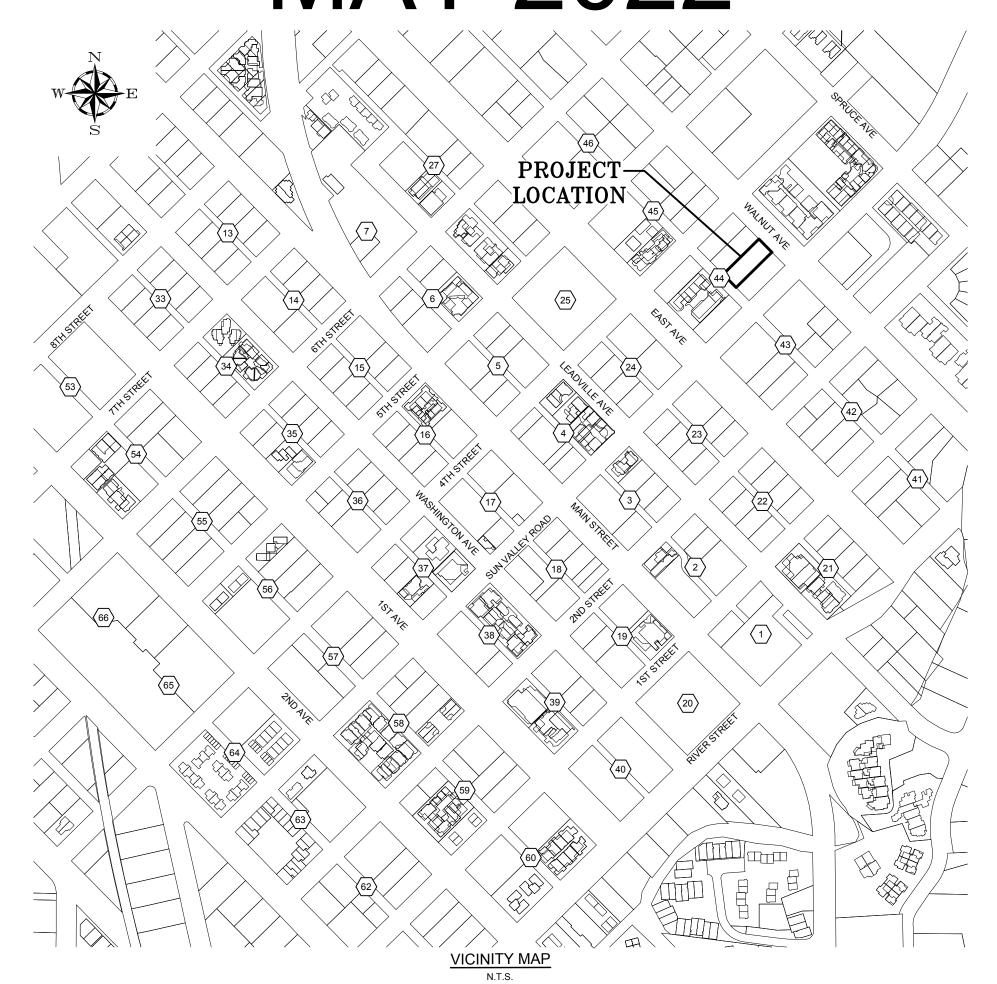
TYPICAL STREET ASPHALT SECTION



- 1. SUBBASE CAN BE 2" TYPE II OR $\frac{3}{4}$ " TYPE I CRUSHED AGGREGATE BASE COURSE.
- 2. MATERIALS SHALL CONFORM WITH CURRENT ISPWC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
- 3. PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED. 4. 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS
- 5. CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FEET MAXIMUM SPACING

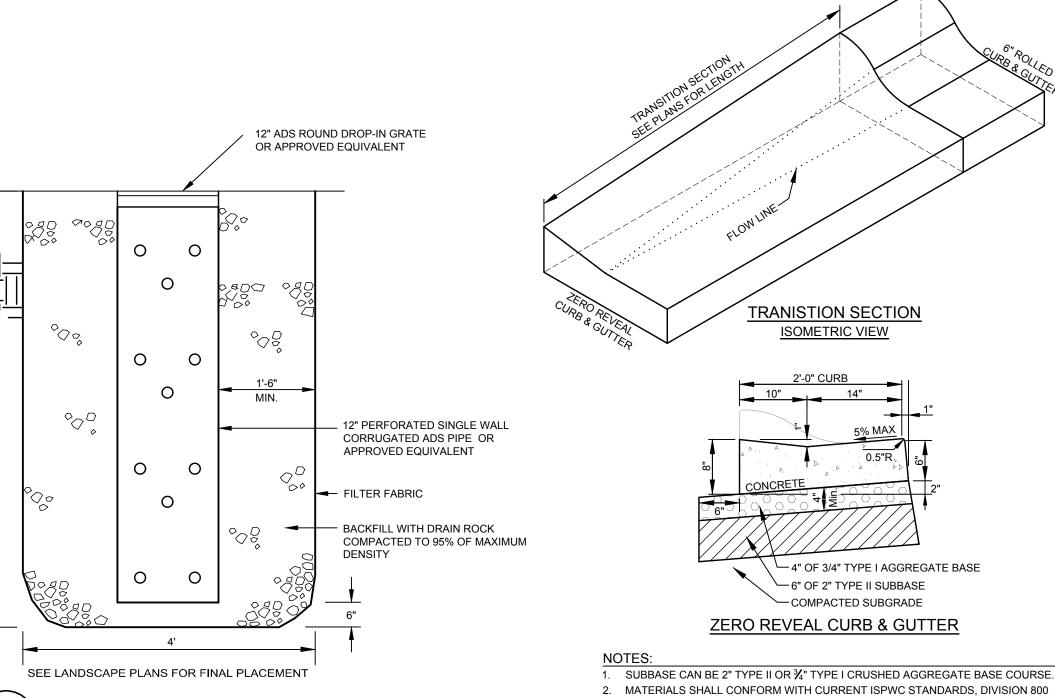


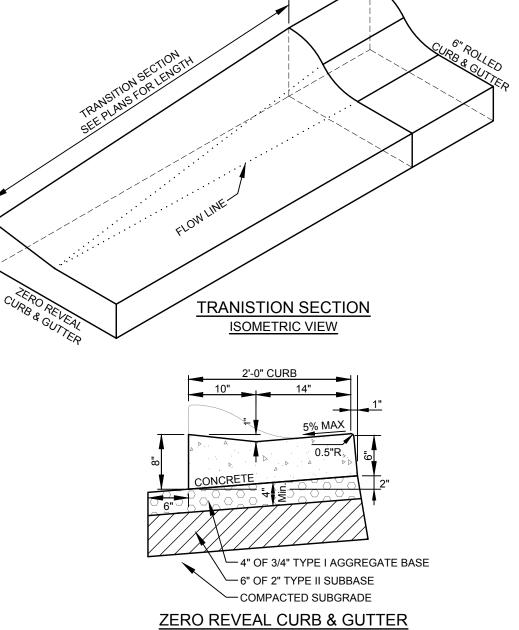




SHEET INDEX

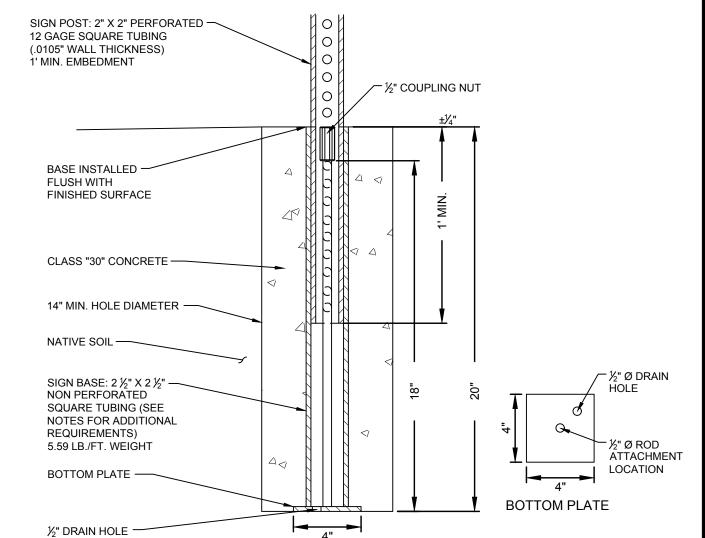
C0.1 COVER SHEET C1.0 RIGHT-OF-WAY GRADING PLAN



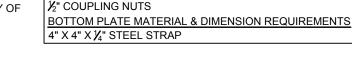


1. SUBBASE CAN BE 2" TYPE II OR $\frac{3}{4}$ " TYPE I CRUSHED AGGREGATE BASE COURSE.

- REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
- 5. CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FEET MAXIMUM
- TYPICAL CURB TRANSITION DETAIL



- 1. BASES SHALL BE INSTALLED TO BE FLUSH WITH SURFACE. 2. ALL INSTALLATIONS SHALL HAVE 14" Ø MINIMUM
- FOUNDATION OR GROUTED INTO SOLID ROCK.
- 3. ALL STREET SIGNS SHALL BE IN ACCORDANCE WITH THE MOST CURRENT EDITION OF THE MUTCD.
- 4. SIGN PLACEMENT SHALL BE APPROVED BY THE CITY OF
- 5. CITY TO PROVIDE BASES.



½" COLD ROLLED ROD (18" LENGTH)

SIGN BASE MATERIAL & DIMENSION REQUIREMENTS

INTERNAL ROD MATERIAL & DIMENSION REQUIREMENTS

2½" OUTSIDE TUBE STEEL (20" LENGTH)

DESIGNED BY

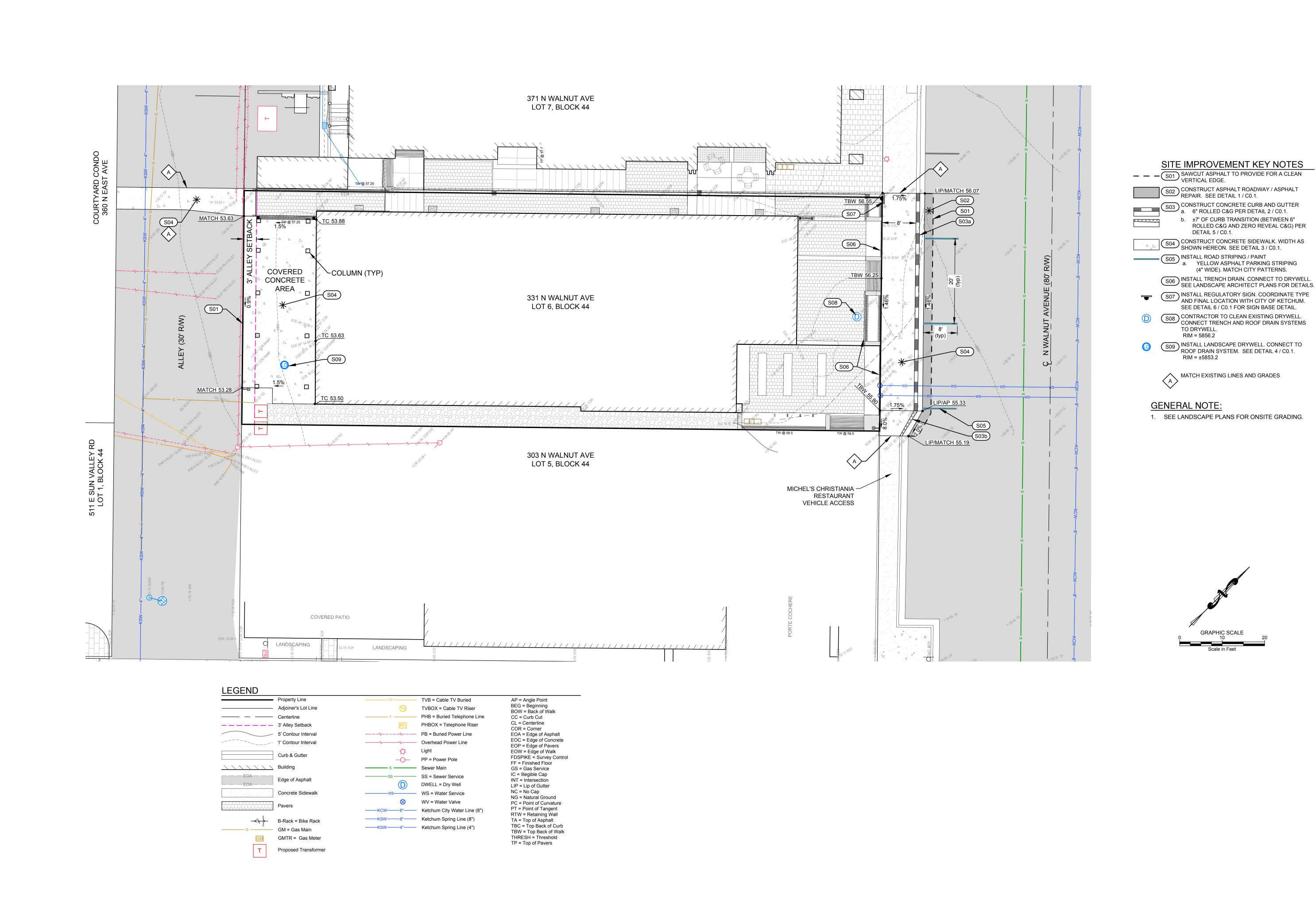
CHECKED BY

DRAWN BY

1. SUBBASE CAN BE 2" TYPE II OR ¾" TYPE I CRUSHED

LANDSCAPE DRYWELI

- AGGREGATES AND ASPHALT.
- 3. PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL 4. 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL
- SPACING (8-FEET W/SIDEWALK).

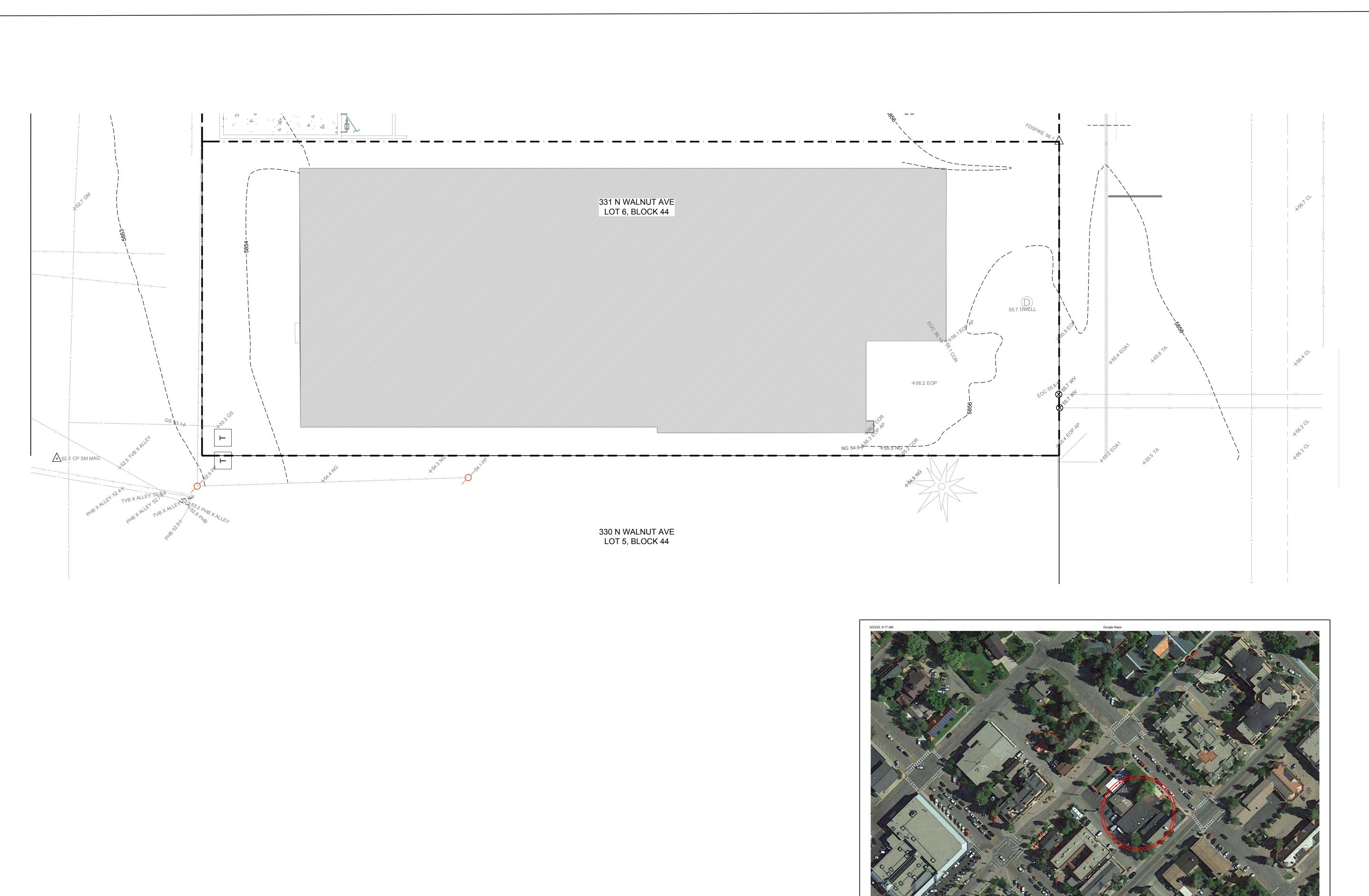


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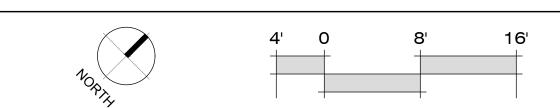
GENERAL NOTES

- 1. DRAWINGS OF EXISTING FACILITIES ARE BASED ON TOPOGRAPHICAL SURVEY PROVIDED BY OTHERS ALONG WITH ON-SITE MEASUREMENTS AND ARE ONLY APPROXIMATE. EXACT LOCATIONS SHALL BE FIELD VERIFIED. REFER TO CIVIL DRAWINGS FOR MORE INFORMATION.
- 2. REFER TO ALL LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION AND SPECIFICATIONS.
- 3. REFER TO ARCHITECTURAL DRAWINGS FOR FINAL BUILDING DIMENSIONS AND DETAILS.
- REFER TO ENGINEERING DRAWINGS FOR FINAL CIVIL AND MECHANICAL DETAILS.
 ALL WORK SHALL BE PERFORMED IN FULL ACCORDANCE WITH ALL APPLICABLE CODES, INCLUDING BUT NOT LIMITED TO THE UNIFORM BUILDING CODE AND UNIFORM FIRE CODE, AS ADOPTED BY BLAINE COUNTY, IDAHO.

SITE PLAN - EXISTING CONDITIONS

OWNERSHIP OF DOCUMENTS: THIS ELECTRONIC DOCUMENT AND THE CONTENTS CONTAINED THEREON (I.E. DESIGNS, CONCEPTS, AND GRAPHIC SYMBOLS) ARE THE PROPERTY OF LANDWORK STUDIO LLC, AND SHALL NOT BE USED IN WHOLE OR IN PART, BY ANY OTHER PERSON OR PERSONS WITHOUT THE WRITTEN AUTHORIZATION OF LANDWORK STUDIO LLC.

SCALE: 1/8" = 1' -0"

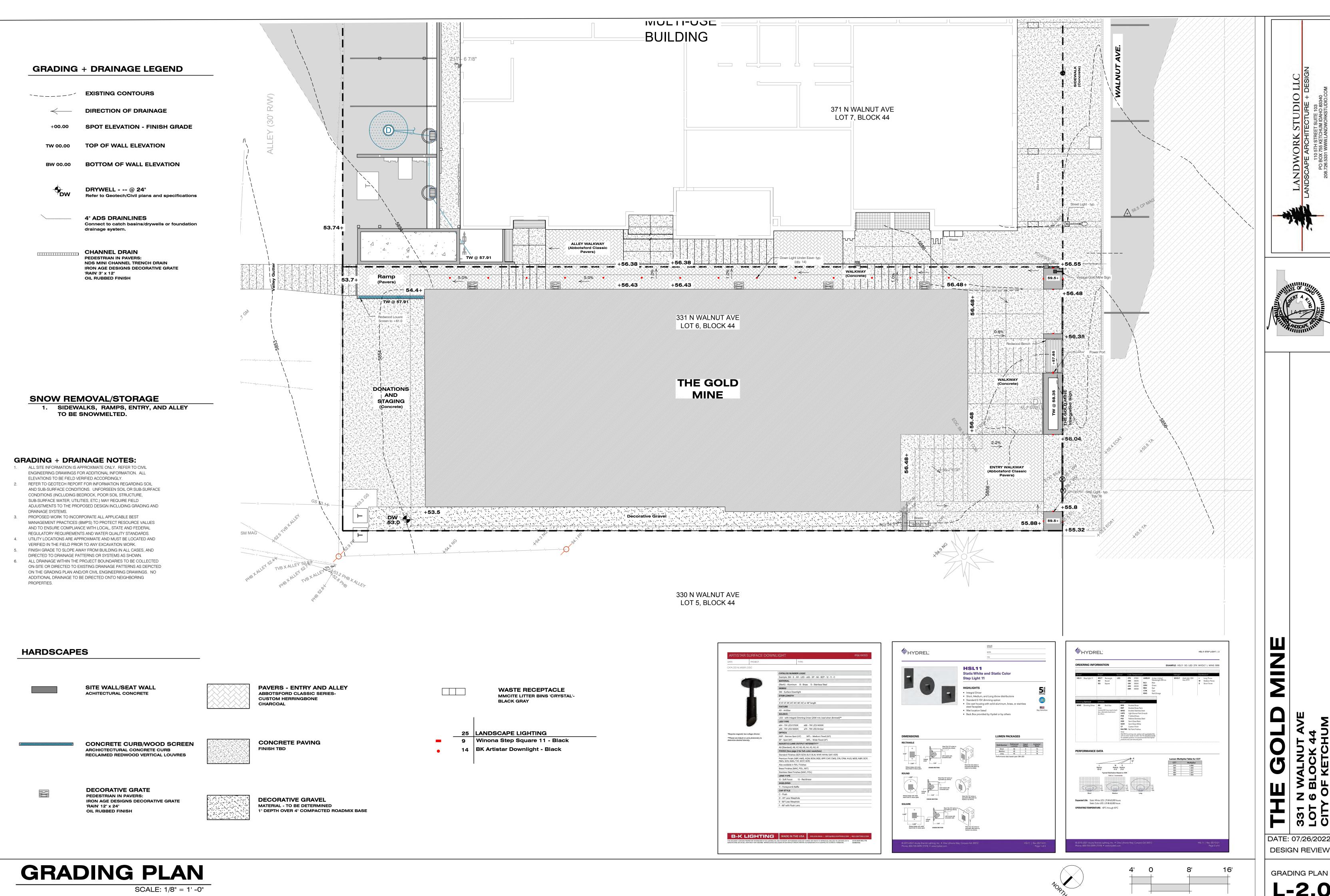


E GOLD MINE

DATE: 07/26/2022 DESIGN REVIEW

SITE PLAN

L-1.0



OWNERSHIP OF DOCUMENTS: THIS ELECTRONIC DOCUMENT AND THE CONTAINED THERON (I.E. DESIGNS, CONCEPTS, AND GRAPHIC SYMBOLS) ARE THE PROPERTY OF LANDWORK STUDIO LLC, AND SHALL NOT BE USED IN WHOLE OR IN PART, BY ANY OTHER PERSON OR PERSONS WITHOUT THE WRITTEN AUTHORIZATION OF LANDWORK STUDIO LLC.

DATE: 07/26/2022 **DESIGN REVIEW**

331 LOT (CITY

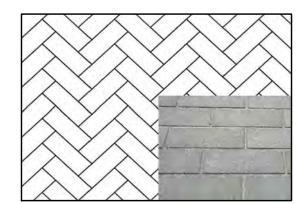
HARDSCAPE MATERIALS





ARCHITECTURAL CONCRETE SITE WALLS

INTEGRATED REDWOOD BENCHES



CONCRETE PAVERS -Abbotsford Classic Series Custom Herringbone Pattern -



WOOD SCREEN -Reclaimed Redwood Vertical Louvres



CHANNEL DRAINS + CATCH BASIN GRATES
- Iron Age Designs 'Rain'

LIGHTING





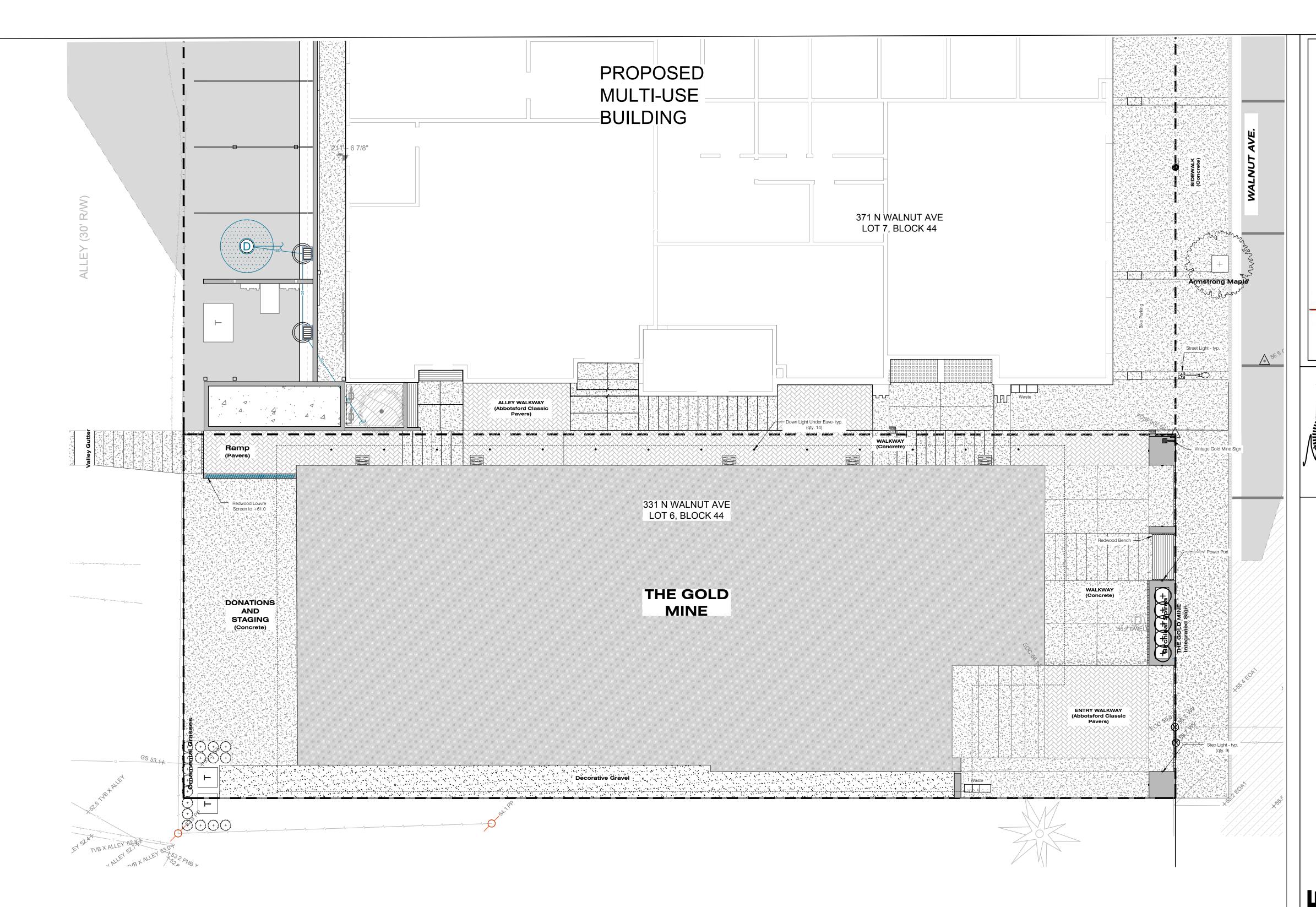
SITE AMENITIES



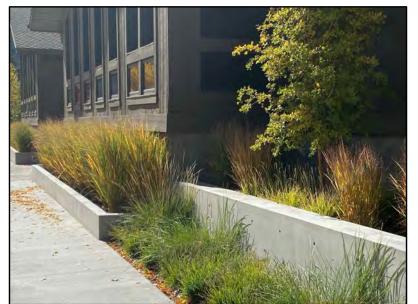


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LANDSCAPE MATERIALS



GRASSES





DESIGN REVIEW

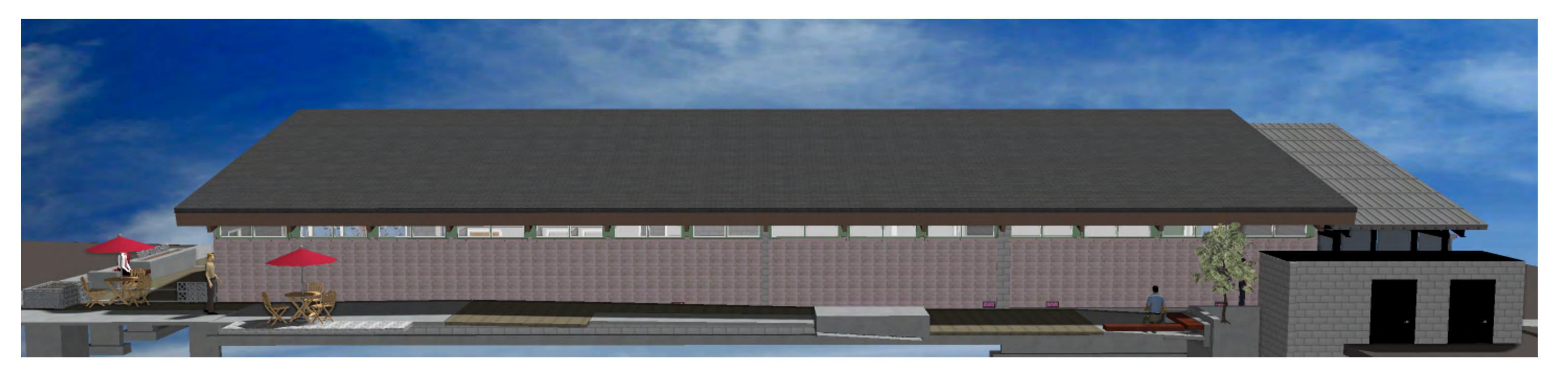
LANDSCAPE MATERIALS PLAN



EAST ELEVATION - WALNUT AVENUE



NORTH EAST ELEVATION



NORTH ELEVATION

	NT RECORD	
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	ISION RECOR	
RE\	ISION RECOR	D DATE

SHEET	OF
A2.0	TOTAL



WEST ELEVATION WITH SCREEN UP



WEST ELEVATION WITH SCREEN DOWN





ORIGINAL FASCIAA & SOFFIT COLOR - SIMILAR TO BENJAMIN MOORE 2130-10



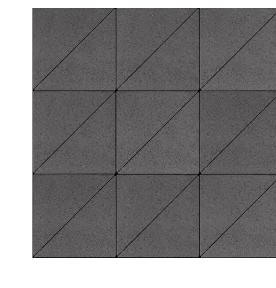
METAL COLOR - DARK BRONZE



OR



SCREEN FABRIC COLOR



TECHNO BLOCK
INDUSTRIA TRIANGLE
POLISHED ONYX



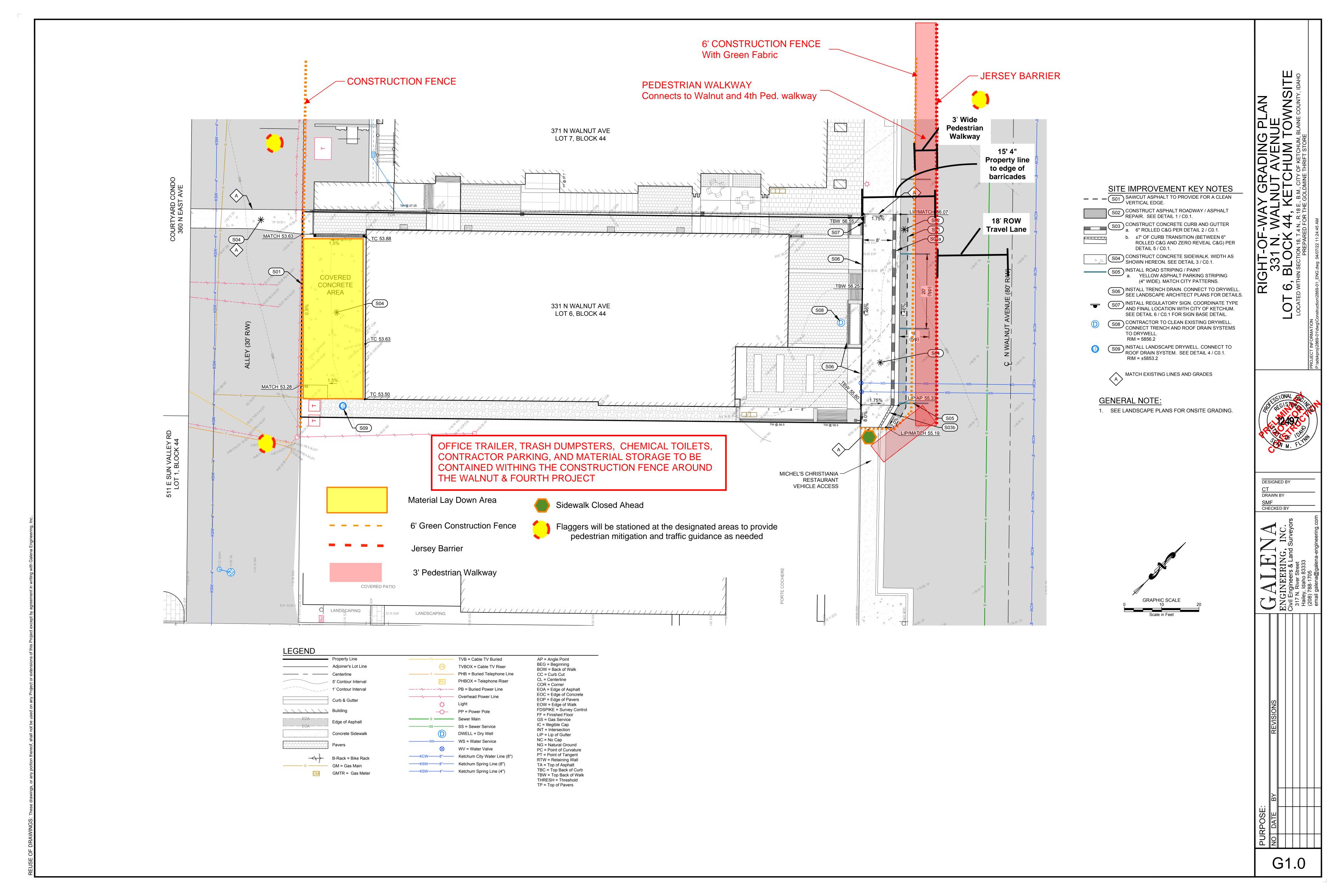
ORIGINAL SPLIT FACE BLOCK

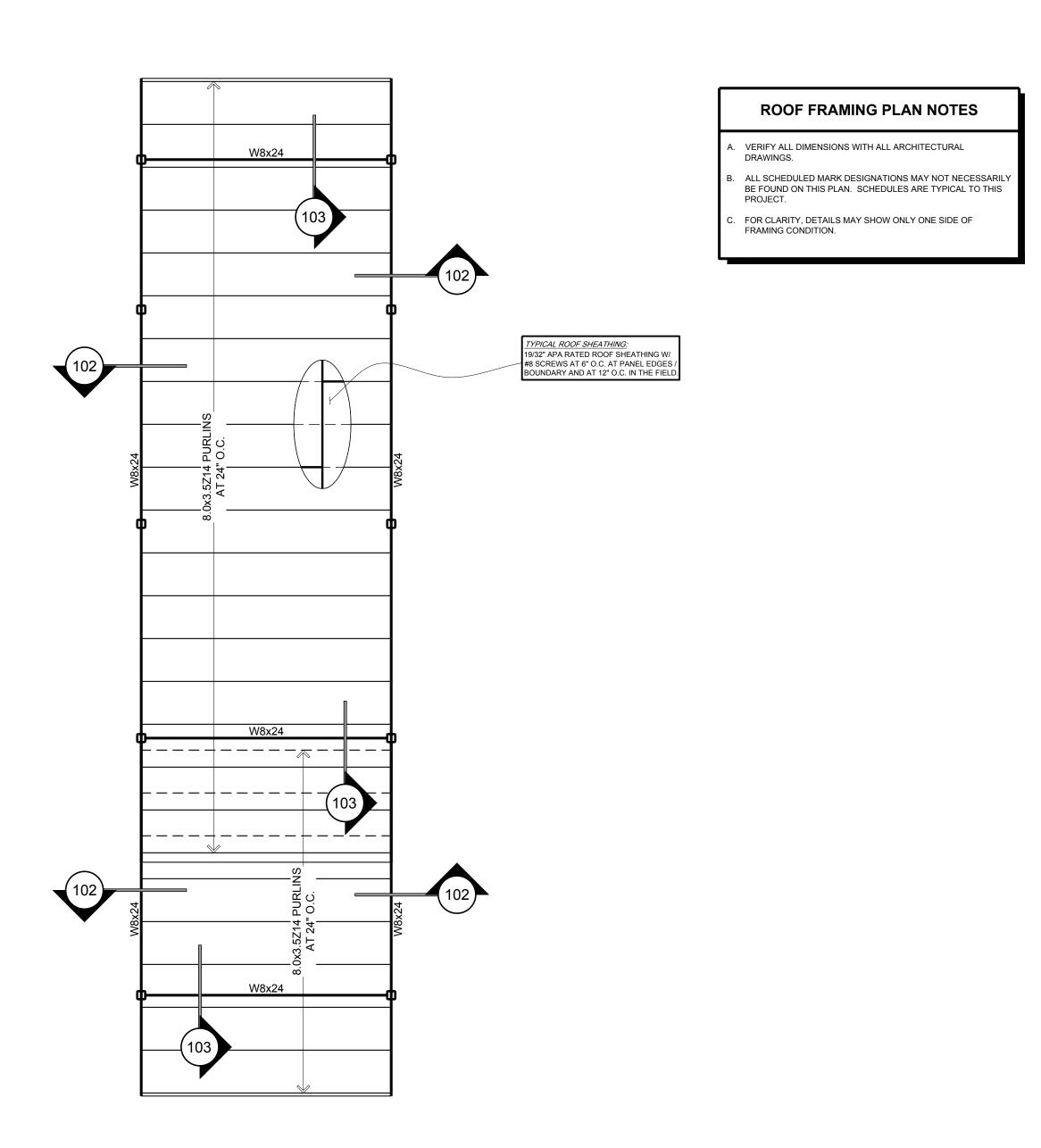


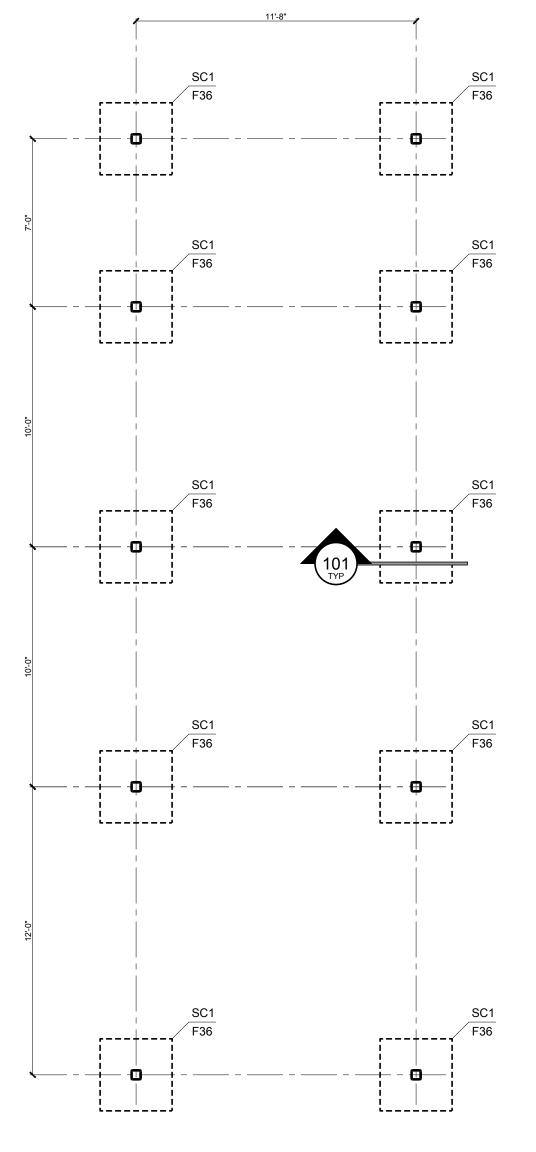
CERTAINTEED
PRESIDENTIAL TL CLASSIC
WEATHERED WOOD

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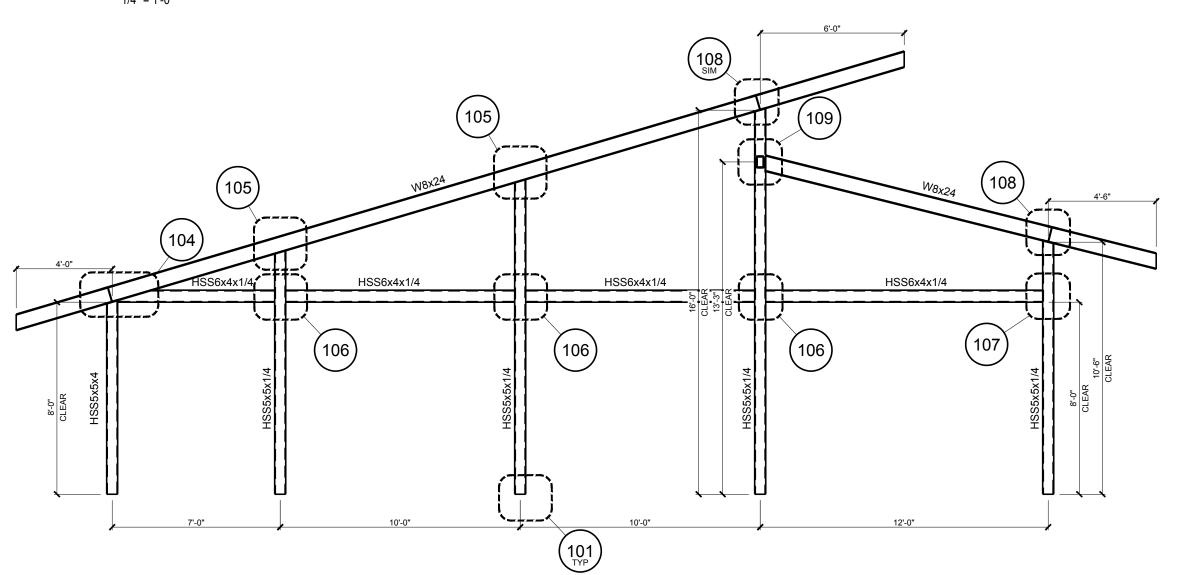




FOUNDATION PLAN

1/4" = 1'-0"

ROOF FRAMING PLAN 1/4" = 1'-0"



SIDE ELEVATION

SCALE: 1/4" = 1'-0" **FOUNDATION PLAN NOTES**

VERIFY ALL DIMENSIONS WITH ALL ARCHITECTURAL

ALL SCHEDULED MARK DESIGNATIONS MAY NOT NECESSARILY BE FOUND ON THIS PLAN. SCHEDULES ARE

TYPICAL TO THIS PROJECT. THE DEPTH OF FOOTING DIMENSION INDICATED IN THE G.S.N. IS A MINIMUM. FOUNDATION CONTRACTOR SHALL

TO INSURE THAT THESE MINIMUMS ARE SUFFICIENT FOR THE WORK. SEE TYPICAL DETAILS FOR ADDITIONAL REQUIREMENTS.

COORDINATE WITH THE SOILS REPORT AND OTHER TRADES

D. F36, F48, ETC. - AS SHOWN ON PLAN INDICATES A CONCRETE FOOTING. SEE FOOTING SCHEDULE FOR ADDITIONAL INFORMATION.

STEEL COLUMN (SC) SCHEDULE				
MARK	SIZE	BASE CONNECTION		
		5/,">11">11" DLATE \\\/ (4) 3/		

HSS5x5x¹/₄ | ⁵/₈"x11"x11" PLATE W/ (4) ³/₄"Ø ANCHOR BOLTS W/ 10" MINIMUM EMBEDMENT

FOOTING SCHEDULE NOTES: 1. FOR CONSTRUCTION ABOVE FOOTING, SEE DETAILS. POR MINIMUM CLEARANCE (CLR) OF REINFORCING, SEE GENERAL STRUCTURAL NOTES (GSN). FOOTING REINFORCING REMARKS (4) #4 EACH WAY

BOTTOM

GOLDMINE ENTRY C
331 WALNUT AVE
---KETCHUM, ID 83340

