



**City of Ketchum  
Planning & Building**

**STAFF REPORT  
HISTORIC PRESERVATION COMMISSION  
REGULAR MEETING OF OCTOBER 3<sup>rd</sup>, 2022**

**PROJECT:** Goldmine Thrift Store Historic Building Alteration Request

**FILE NUMBER:** H22-051

**APPLICATION TYPE:** Request to Alter a Historic Structure

**REPRESENTATIVE:** Morley Golden

**PROPERTY OWNER:** The Community Library Association

**REQUEST:** Proposal of a rear detached roof assembly, site improvements, and repainting of soffit

**LOCATION:** 331 North Walnut Ave (Ketchum Townsite: Block 44, Lot 6)

**ZONING:** Mixed-Use Subdistrict of the Community Core (CC-2)

**NOTICE:** The public hearing notice was published in the Idaho Mountain Express on September 14<sup>th</sup>, 2022. A public hearing notice was mailed to adjacent properties within 300 feet of the project site on September 14<sup>th</sup>, 2022. A public hearing notice was posted on the project site on September 27<sup>th</sup>, 2022.

**REVIEWER:** Adam Crutcher, Associate Planner

**BACKGROUND**

The applicant, The Community Library Association, has submitted a Request to Alter a Historic Structure located at 331 N Walnut Ave (Ketchum Townsite: Block 44, Lot 6) within the Mixed-Use Subdistrict of the Community Core (CC-2) Zone. The request proposes to construct a detached roof assembly to the rear of the building, install site improvements including benches and site walls, and repaint the soffit color to more closely resemble what was present on the building in the 1950's. The Gold Mine Thrift Store building was constructed in 1957 and is one of the few examples of Mid-Century Modern architecture in downtown Ketchum. The primary period of Mid-Century Modern architecture was from 1945-1969 and was a by-product of post war optimism and innovation. The character defining features of Mid-Century Modern architecture include flat planes, clean lines and geometric shapes, little ornamentation, an emphasis of functionality over form, open floor plans and large windows for light and views. This building reflects the key characteristics of the architectural style.

The project is subject to Historic Preservation Commission (HPC) review pursuant to KMC 17.20.010.B. HPC review is required for all requests for partial or total demolitions, exterior alterations, and additions to all structures on the Historic Building List.

## ANALYSIS

The HPC may approve, approve with conditions, or deny a Request for Demolition or Alteration application based on the criteria specified in KMC 17.20.030.C. The following analysis evaluates the proposed additions to the Gold Mine Thrift Store in relation to the review criteria for requests to alter structures on the Historic Building List. The project plans are attached as Exhibit A.

### Review Criteria for Request for Demolition or Alteration Application

*Is the structure of historic or architectural value or significance and does it contribute to the historic significance of the property within the Community Core?*

The Gold Mine Thrift Store is one of the 24 structures on the Historic Building List. The 2005 Walsworth Associates Windshield Survey identified the Gold Mine Thrift Store as a locally significant historical resource. The existing structure was built in 1957 for the purpose of housing the Community Library and the Gold Mine Thrift Store. The Community Library moved out of the location in 1977 and the building has since been solely used as the home for the Gold Mine.

Limited alterations have been made to the building over time. Staff found one building permit in City records from 1991 (Building Permit Application File No. 91-004). This building permit was for an addition to the rear of the building. The purpose of this addition was to add storage space for the Gold Mine. Staff was also able to find mention of one other addition to the building in the mid 1960's. Again, the purpose of this addition was to allow for greater space for the operation of the library and thrift store. Both additions to the building used the same materials and roof line as the original building.

The Gold Mine building has social and cultural value to the community and architectural significance within downtown Ketchum. The building has been used in the past as the home of the Community Library. The single-story building is architecturally significant as it is one of the few examples of mid-century modern architecture within the downtown. The building's slanted roof, frontside glazing, and minimal ornamentation are representative of this style of architecture.

*Would the loss, alteration of, or addition to, the structure adversely affect the historic integrity of the structure, impact the significance of the structure within the Community Core, impact the architectural or aesthetic relationship to adjacent properties, or conflict with the Comprehensive Plan?*

Historic integrity measures how effectively a building's materials, design, feeling, location, association, workmanship, and setting convey the property's historic significance. The Gold Mine building has retained its historic and architectural integrity over the 65 years since it was originally constructed. The structure has remained in its same location and retained its original building form and materials. The

development's small scale contributes to downtown's mix of diverse building types that visually track Ketchum's incremental growth through time.

The proposed project includes a detached roof assembly to the rear of the building which would match the roof line of the existing building. The minimal architectural ornamentation to the roof assembly and the angled roof line is consistent with mid-century modern architectural principles. The roof assembly follows standard #9 of the Secretary of the Interior Standards for Rehabilitations which states,

*"New additions, exterior alteration, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale and architectural features to protect the historic integrity of the property and its environment".*

The roof assembly is differentiated from the existing building due to the use of metal and it being a detached structure while still being compatible in terms of size, scale, and architectural features.

Other aspects of the project include site walls and benches at the front of the property. These features are small in scale and do not take attention away from the existing building. The site walls and benches are characterized with clean geometric shapes and don't have much architectural detail, keeping in line with mid-century modern architecture characteristics. The alterations to the existing building include repainting the soffit to match the coloration used in the 1950's and replacing the roof shingles with similar material.

*Does the structure retain the requisite integrity to convey its historic and/or architectural significance?*

The Gold Mine retains its historic integrity through the feeling and association conveyed through its original building form along with it being the original location of the Community Library. The building is in good condition and contains most of the same materials and color palette from the original construction. The two additions which have occurred after the original construction have used the same materials and design characteristics. The architectural features which make the building representative of mid-century modern architecture are still present and will not be affected by the proposed project.

*Does the proposed demolition or alteration adversely affect the historic significance or architectural distinction of the structure or the Community Core?*

The proposed alteration/addition does not adversely affect the historic significance or architectural distinction of the structure. The alterations/additions won't detract from the existing architectural qualities which make the existing building significant (angled roof line, large storefront windows, minimal architectural ornamentation). The historic significance of the Gold Mine building is it being the first location of the Community Library. This historic significance will not be negatively impacted due to the proposed additions/alterations.

## **STAFF RECOMMENDATION**

After considering the project plans, Staff's analysis, the applicant's presentation, and public comment, Staff recommends the Historic Preservation Commission deliberate and move to approve the Request to Alter a Historic Structure located at 331 N Walnut Avenue.

## **RECOMMENDED MOTION**

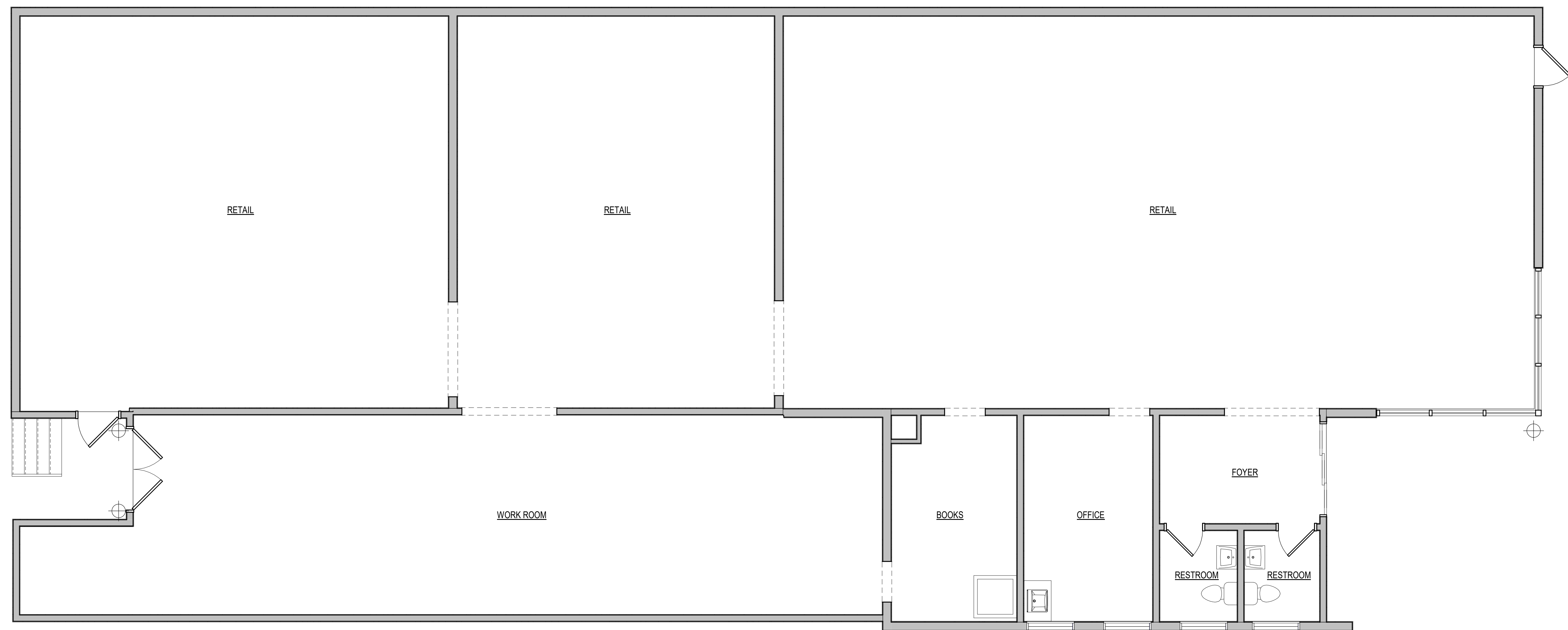
"I move to approve the Request to Alter a Historic Structure for the proposed demolition to the structure located at 331 N Walnut Avenue."

## **EXHIBITS:**

- A. 331 N Walnut Avenue Addition Plans

Attachment A:  
Gold Mine Addition Plans





EXISTING FLOOR PLAN 1

1/4" = 1'-0"



PROPOSED FLOOR PLAN 2

1/4" = 1'-0"



GOLD MINE ROOF ASSEMBLY ADDITION

331 NORTH WALNUT AVENUE  
KETCHUM, IDAHO 83340

PRINT RECORD

PURPOSE	DATE

REVISION RECORD

NO.	CHANGE	DATE

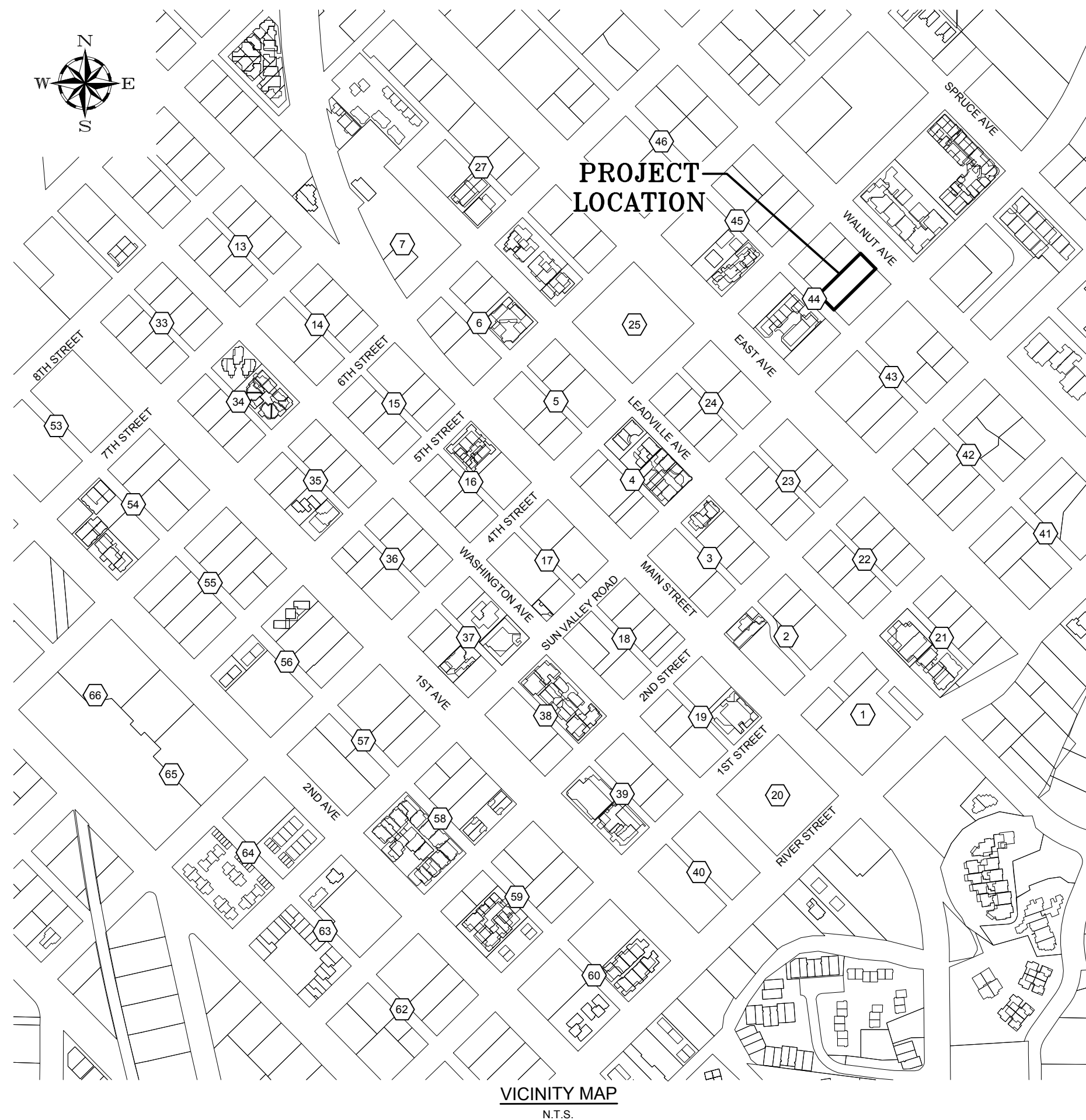
08/01/2022

SHEET OF  
A1.0 TOTAL

# 331 N. WALNUT AVENUE MAY 2022

## CONSTRUCTION NOTES

- ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE "IDAHO REGULATIONS FOR PUBLIC DRINKING WATER SYSTEMS," THE CURRENT EDITION OF THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISPC), AND CITY OF KETCHUM STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ISPC ON SITE DURING CONSTRUCTION.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES PRIOR TO COMMENCING AND DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL CALL DIGLINE (1-800-342-1585) TO LOCATE ALL EXISTING UNDERGROUND UTILITIES.
- THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION, INCLUDING BUT NOT LIMITED TO, EPA'S NPDES CONSTRUCTION GENERAL PERMIT.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION.
- CONSTRUCTION OF WATER MAINS AND ALL OTHER RELATED APPURTENANCES SHALL BE IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPC), IDAPA 58.01.08, IDAHO RULES FOR PUBLIC DRINKING WATER SYSTEMS AND THE CITY OF KETCHUM UTILITIES DEPARTMENT STANDARDS.
- CONTRACTOR SHALL PRESSURE TEST, DISINFECT, AND CONDUCT BIOLOGICAL TESTING IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPC), AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS, AND THE PRESSURE TESTING, DISINFECTION, AND MICROBIOLOGICAL TESTING PROCEDURES.
- ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL BE ANSINSF STD. 61 COMPLIANT.
- ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL COMPLY WITH THE LOW LEAD ACT REQUIRING ALL MATERIALS TO HAVE A LEAD CONTENT EQUAL TO OR LESS THAN 0.25%.
- THE CONTRACTOR SHALL USE ANSINSF STANDARD 60 CHEMICALS AND COMPOUNDS DURING INSTALLATION & DISINFECTION OF POTABLE WATER MAIN.
- CONTRACTOR SHALL COORDINATE LOCATIONS OF DRY UTILITY FACILITIES (POWER, CABLE, PHONE, TV) NOT SHOWN ON THE DRAWING WITH IDAHO POWER.
- ALL CLEARING & GRUBBING SHALL CONFORM TO ISPC SECTION 201.
- ALL EXCAVATION & EMBANKMENT SHALL CONFORM TO ISPC SECTION 202. EXCAVATED SUBGRADE SHALL BE COMPACTED AND ALL UNSUITABLE SECTIONS REMOVED AND REPLACED WITH STRUCTURAL FILL AS DETERMINED BY THE ENGINEER. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
- ALL 2" MINUS GRAVEL SHALL CONFORM TO ISPC SECTION 802, TYPE II (ITD STANDARD 703.04.2), SHALL BE PLACED IN CONFORMANCE WITH ISPC SECTION 801 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99.
- ALL 3/4" MINUS CRUSHED GRAVEL SHALL CONFORM TO ISPC SECTION 802, TYPE I (ITD STANDARD 703.04.3/4" B), SHALL BE PLACED IN CONFORMANCE WITH ISPC SECTION 802 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
- ALL ASPHALTIC CONCRETE PAVEMENT WORK SHALL CONFORM TO ISPC SECTION(S) 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (13MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPC SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPC SECTION 805.
- ALL EDGES OF EXISTING ASPHALT PAVING SHALL BE SAW CUT 24" TO PROVIDE A CLEAN PAVEMENT EDGE FOR MATCHING. NO WHEEL CUTTING SHALL BE ALLOWED. PRIOR TO REPLACING ASPHALT, THE UNDERLYING SURFACE INCLUDING VERTICAL SAWCUT JOINTS SHALL BE CLEANED OF ALL DEBRIS AND A TACK COAT SHALL BE APPLIED TO ALL CURBS, SAWCUTS, OR OVERLAY SURFACES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL PER THE CURRENT EDITION OF THE US DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL CONCRETE FORM WORK SHALL CONFORM TO ISPC SECTION 701 AND 703. ALL CONCRETE SHALL BE 3,000 PSI MINIMUM, 28 DAY, AS DEFINED IN ISPC SECTION 703, TABLE 1.C.
- ALL TRENCHING SHALL CONFORM TO ISPC STANDARD DRAWING SD-301. TRENCHES SHALL BE BACKFILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
- TOPOGRAPHIC, SITE, AND BOUNDARY SURVEY SHOWN HEREON WAS CONDUCTED BY GALENA ENGINEERING, INC., 12/6/2019.
- PER IDAHO CODE § 55-1613, THE CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS. ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS THAT ARE LOST OR DISTURBED BY CONSTRUCTION SHALL BE RE-ESTABLISHED AND RE-MONUMENTED, AT THE EXPENSE OF THE AGENCY OR PERSON CAUSING THEIR LOSS OR DISTURBANCE AT THEIR ORIGINAL LOCATION OR BY SETTING OF A WITNESS CORNER OR REFERENCE POINT OR A REPLACEMENT BENCHMARK OR CONTROL POINT, BY OR UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIRING A MATERIALS TESTING COMPANY DURING CONSTRUCTION TO VERIFY ALL COMPACTION AND MATERIAL PLAN AND SPECIFICATION REQUIREMENTS ARE MET. QUALITY CONTROL DOCUMENTATION OF TESTING FOR WORK IN RIGHT-OF-WAY MEETING CITY OF KETCHUM CODE SECTION 12.04.040 (CONCRETE, AGGREGATE BASE COMPACTION, ASPHALT COMPACTION) WILL BE NECESSARY FOR CERTIFICATE OF OCCUPANCY.



## SHEET INDEX

SHEET#	DESCRIPTION
C0.1	COVER SHEET
C1.0	RIGHT-OF-WAY GRADING PLAN

**COVER SHEET**  
**331 N. WALNUT AVENUE**  
**LOT 6, BLOCK 44, KETCHUM TOWNSITE**  
 LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO  
 PREPARED FOR THE GOLDMINE THRIFT STORE

PROJECT INFORMATION  
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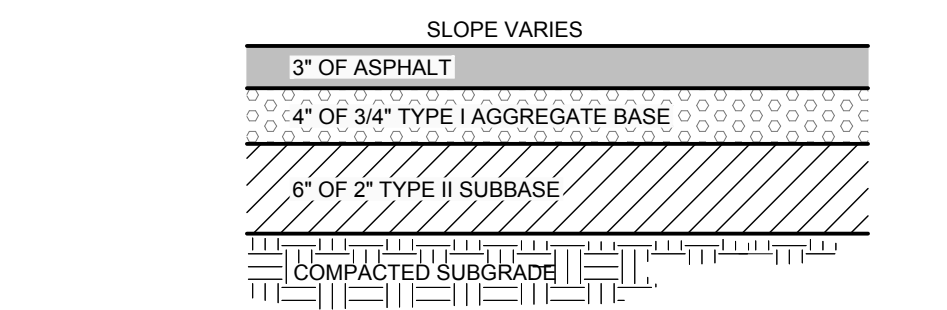


DESIGNED BY \_\_\_\_\_  
 CT  
 DRAWN BY \_\_\_\_\_  
 SMF  
 CHECKED BY \_\_\_\_\_

**GALENA**  
**ENGINEERING, INC.**  
 Civil Engineers & Land Surveyors  
 317 N. River Street  
 Hailey, Idaho 83433  
 (208) 768-1705  
 email: galena@galena-engineering.com

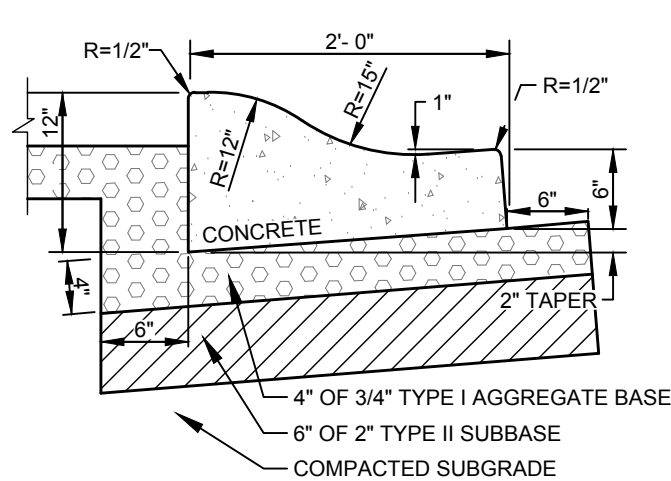
PURPOSE:	NO.	DATE	BY	REVISIONS

C0.1



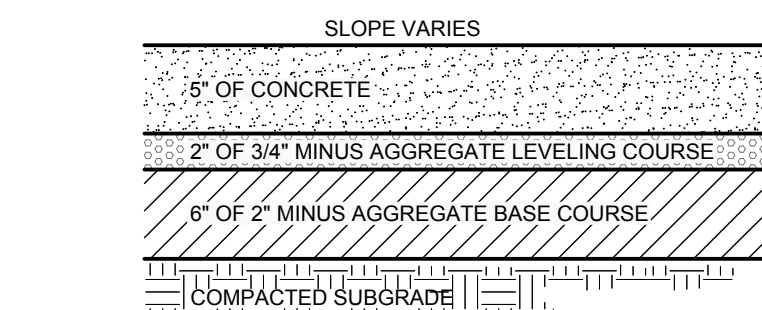
- NOTES:
- SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
  - MATERIALS SHALL CONFORM WITH CURRENT ISPC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
  - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.

1  
C0.1 TYPICAL STREET ASPHALT SECTION  
N.T.S.

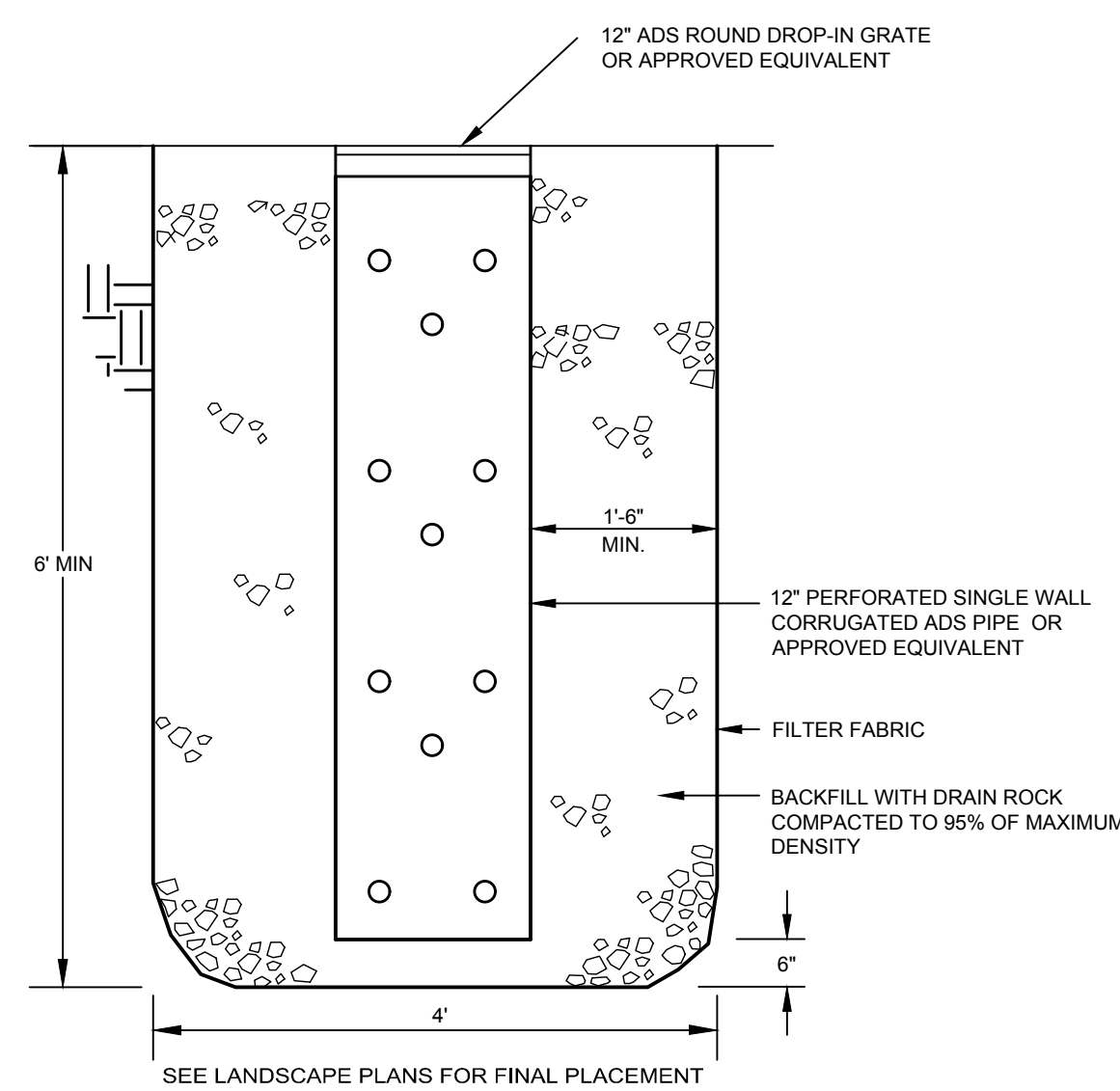


- NOTES:
- SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
  - MATERIALS SHALL CONFORM WITH CURRENT ISPC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
  - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
  - 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADI.
  - CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FEET MAXIMUM SPACING (8-FEET WISIDEWALK).

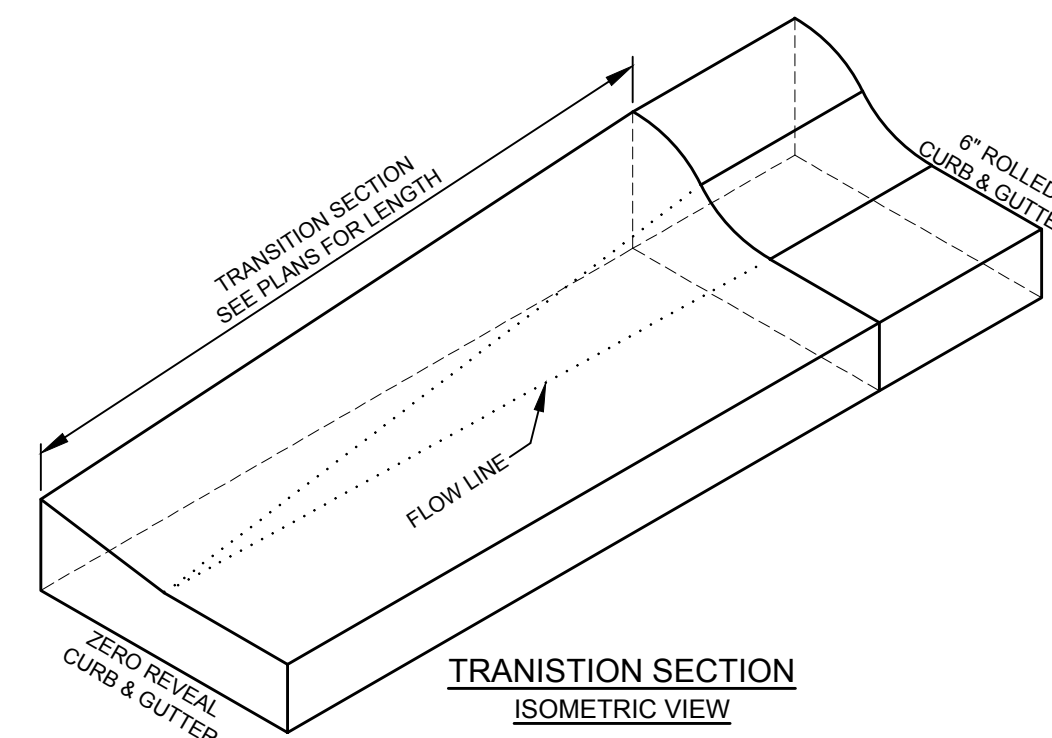
2  
C0.1 6" CONCRETE ROLLED CURB & GUTTER  
N.T.S.



3  
C0.1 TYPICAL CONCRETE SECTION  
N.T.S.

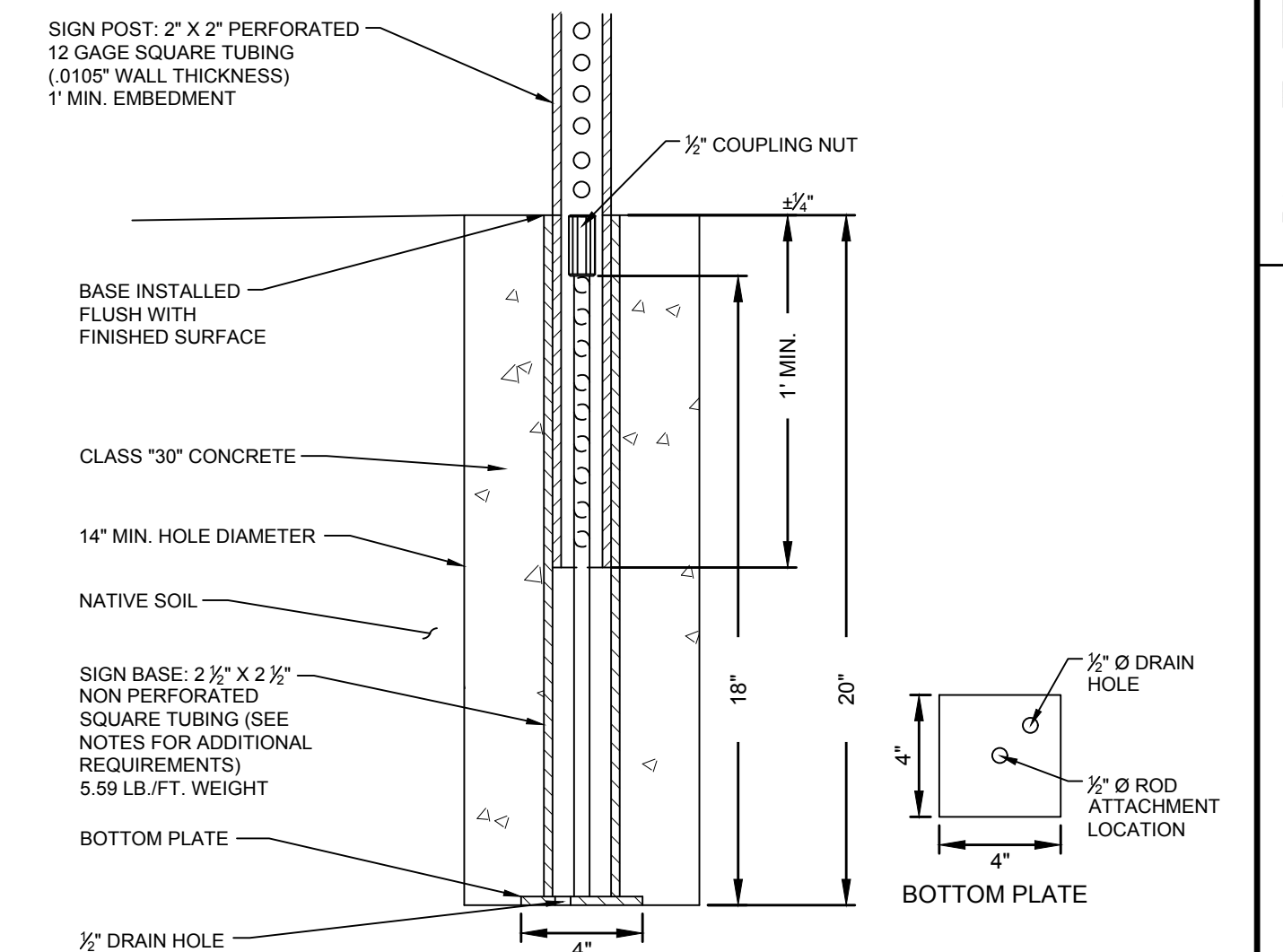


4  
C0.1 LANDSCAPE DRYWELL  
N.T.S.



- NOTES:
- SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
  - MATERIALS SHALL CONFORM WITH CURRENT ISPC STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
  - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
  - 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADI.
  - CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FEET MAXIMUM SPACING (8-FEET WISIDEWALK).

5  
C0.1 TYPICAL CURB TRANSITION DETAIL  
N.T.S.



- NOTES:
- BASES SHALL BE INSTALLED TO BE FLUSH WITH SURFACE.
  - ALL INSTALLATIONS SHALL HAVE 14" MINIMUM FOUNDATION OR GROUTED INTO SOLID ROCK.
  - ALL STREET SIGNS SHALL BE IN ACCORDANCE WITH THE MOST CURRENT EDITION OF THE MUTCD.
  - SIGN PLACEMENT SHALL BE APPROVED BY THE CITY OF KETCHUM.
  - CITY TO PROVIDE BASES.

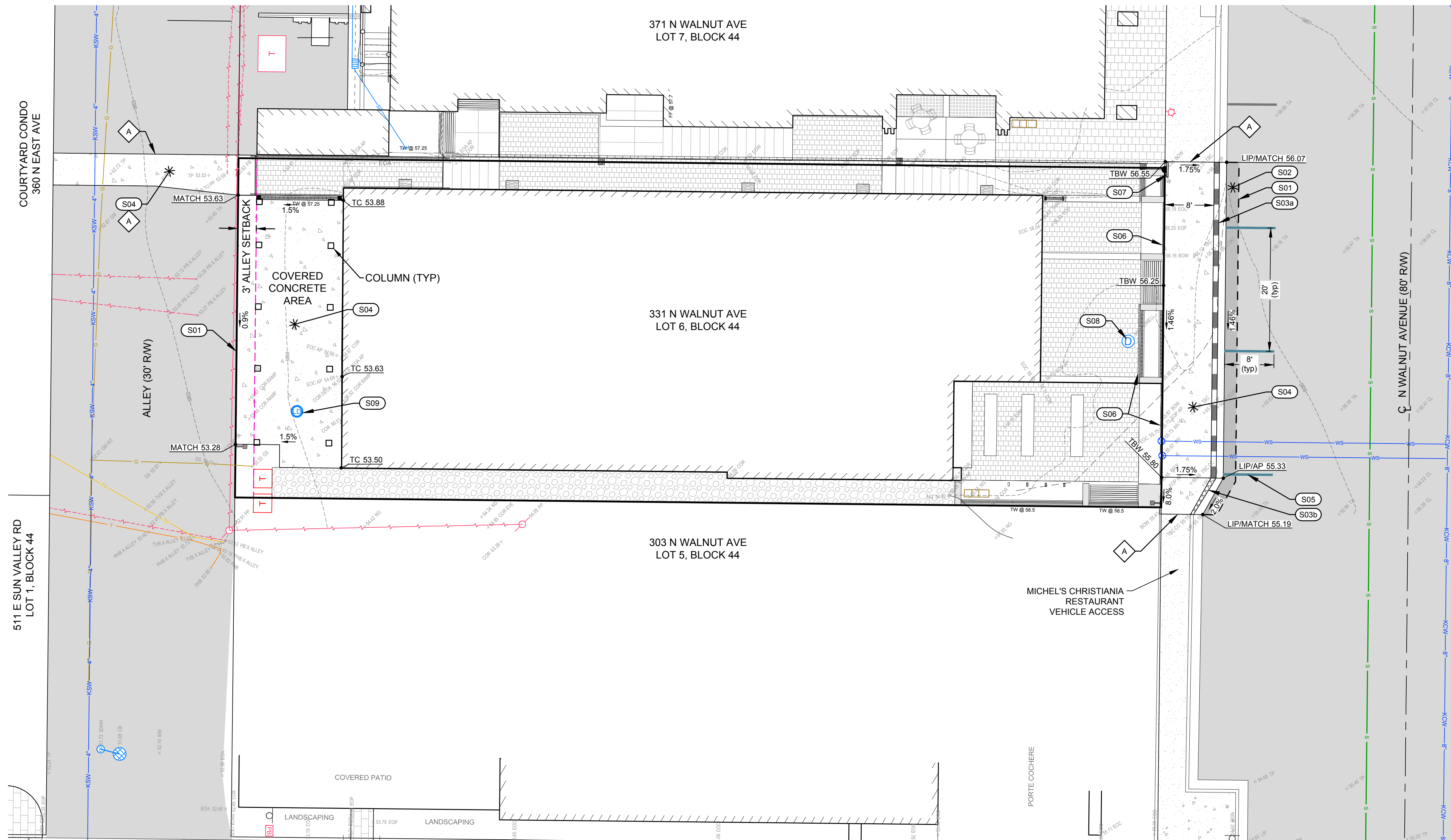
6  
C0.1 TYPICAL SIGN BASE  
N.T.S.

08/01/2022

REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any project or extension of this project without the written consent of Galena Engineering, Inc.



REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any project or extension of this Project except by agreement in writing with Galena Engineering, Inc.



**LEGEND**

<ul style="list-style-type: none"> <li>— Property Line</li> <li>- - - Adjoiner's Lot Line</li> <li>— Centerline</li> <li>- - - 3' Alley Setback</li> <li>- - - 5' Contour Interval</li> <li>- - - 1' Contour Interval</li> <li>— Curb &amp; Gutter</li> <li>— Building</li> <li>EOA Edge of Asphalt</li> <li>EOA Concrete Sidewalk</li> <li>— Pavers</li> <li>— B-Rack = Bike Rack</li> <li>— GM = Gas Main</li> <li>— GMTR = Gas Meter</li> <li>— Proposed Transformer</li> </ul>	<ul style="list-style-type: none"> <li>— TVB = Cable TV Buried</li> <li>— TVBOX = Cable TV Riser</li> <li>— PHB = Buried Telephone Line</li> <li>— PHBOX = Telephone Riser</li> <li>— PB = Buried Power Line</li> <li>— Overhead Power Line</li> <li>— Light</li> <li>— PP = Power Pole</li> <li>— S = Sewer Main</li> <li>— SS = Sewer Service</li> <li>— DWELL = Dry Well</li> <li>— WS = Water Service</li> <li>— W = Water Valve</li> <li>— KSW = Ketchum City Water Line (8")</li> <li>— KSW = Ketchum Spring Line (8")</li> <li>— KSW = Ketchum Spring Line (4")</li> </ul>	<ul style="list-style-type: none"> <li>AP = Angle Point</li> <li>BEG = Beginning</li> <li>BOW = Back of Walk</li> <li>CC = Curb Cut</li> <li>CL = Centerline</li> <li>COR = Corner</li> <li>EOA = Edge of Asphalt</li> <li>EOC = Edge of Concrete</li> <li>EOP = Edge of Pavers</li> <li>EW = Edge of Walk</li> <li>FDSPIKE = Survey Control</li> <li>FF = Finished Floor</li> <li>GS = Gas Service</li> <li>IC = Illegible Cap</li> <li>INT = Intersection</li> <li>LIP = Lip of Gutter</li> <li>NC = No Cap</li> <li>NG = Natural Ground</li> <li>PC = Point of Curvature</li> <li>PT = Point of Tangent</li> <li>RTW = Retaining Wall</li> <li>TA = Top of Asphalt</li> <li>TBC = Top Back of Curb</li> <li>TBW = Top Back of Walk</li> <li>THRESH = Threshold</li> <li>TP = Top of Pavers</li> </ul>
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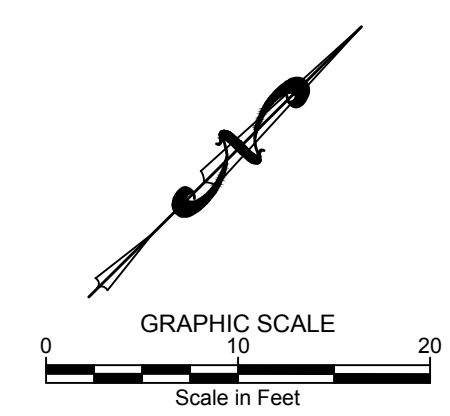
**SITE IMPROVEMENT KEY NOTES**

- S01 SAWCUT ASPHALT TO PROVIDE FOR A CLEAN VERTICAL EDGE.
- S02 CONSTRUCT ASPHALT ROADWAY / ASPHALT REPAIR. SEE DETAIL 1 / CO.1.
- S03 CONSTRUCT CONCRETE CURB AND GUTTER
  - a. 6" ROLLED C&G PER DETAIL 2 / CO.1.
  - b. ±7" OF CURB TRANSITION (BETWEEN 6" ROLLED C&G AND ZERO REVEAL C&G) PER DETAIL 5 / CO.1.
- S04 CONSTRUCT CONCRETE SIDEWALK. WIDTH AS SHOWN HEREON. SEE DETAIL 3 / CO.1.
- S05 INSTALL ROAD STRIPING / PAINT
  - a. YELLOW ASPHALT PARKING STRIPING (4" WIDE). MATCH CITY PATTERNS.
- S06 INSTALL TRENCH DRAIN. CONNECT TO DRYWELL. SEE LANDSCAPE ARCHITECT PLANS FOR DETAILS.
- S07 INSTALL REGULATORY SIGN. COORDINATE TYPE AND FINAL LOCATION WITH CITY OF KETCHUM. SEE DETAIL 6 / CO.1 FOR SIGN BASE DETAIL.
- S08 CONTRACTOR TO CLEAN EXISTING DRYWELL. CONNECT TRENCH AND ROOF DRAIN SYSTEMS TO DRYWELL. RIM = 5856.2
- S09 INSTALL LANDSCAPE DRYWELL. CONNECT TO ROOF DRAIN SYSTEM. SEE DETAIL 4 / CO.1. RIM = ±5853.2

MATCH EXISTING LINES AND GRADES

**GENERAL NOTE:**

- 1. SEE LANDSCAPE PLANS FOR ONSITE GRADING.



**RIGHT-OF-WAY GRADING PLAN**  
**331 N. WALNUT AVENUE**  
**LOT 6, BLOCK 44, KETCHUM TOWNSITE**  
 LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO  
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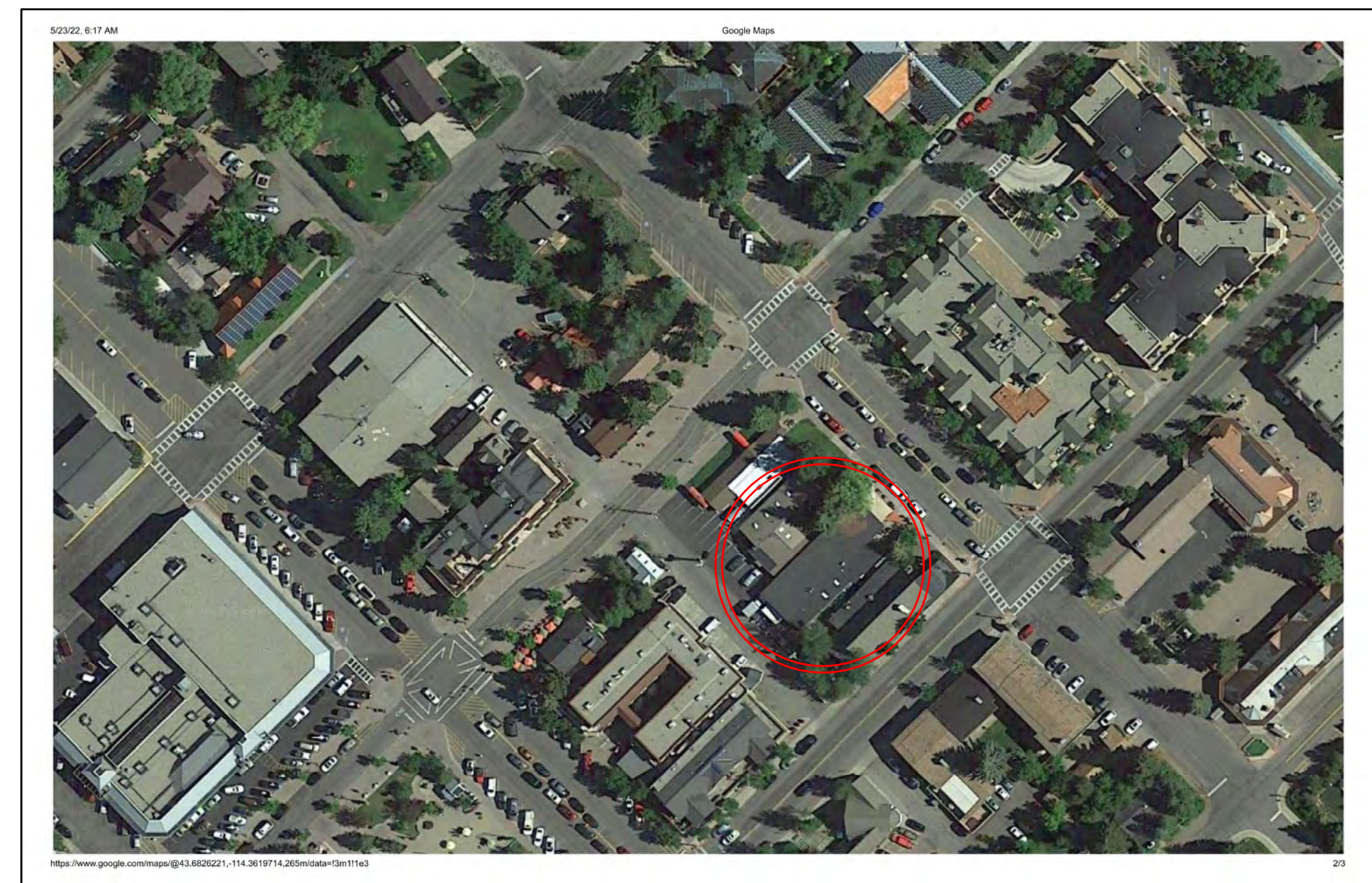
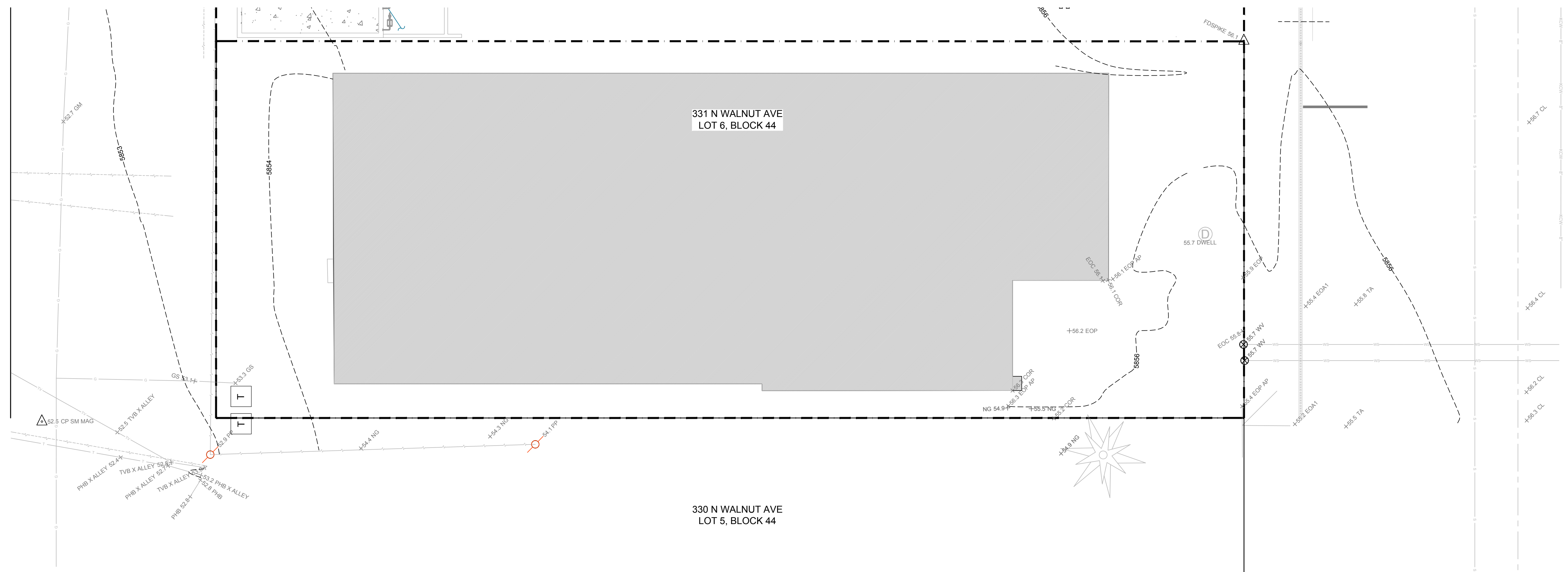
DESIGNED BY \_\_\_\_\_  
 CT  
 DRAWN BY \_\_\_\_\_  
 SMF  
 CHECKED BY \_\_\_\_\_

**GALENA**  
**ENGINEERING, INC.**  
 Civil Engineers & Land Surveyors  
 317 N. River Street  
 Halley, Idaho 83333  
 (208) 788-1705  
 email: galena@galena-engineering.com

PURPOSE:	NO.	DATE	BY	REVISIONS

08/01/2022

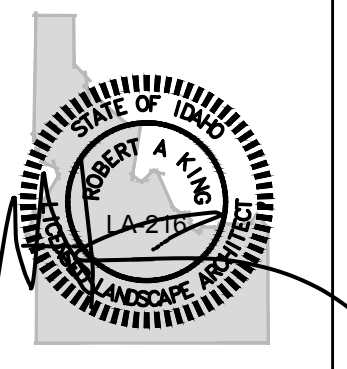
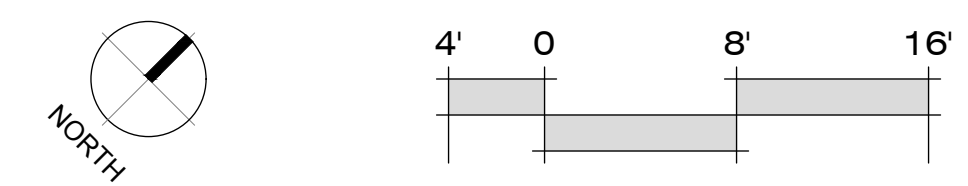
C1.0



- GENERAL NOTES**
- DRAWINGS OF EXISTING FACILITIES ARE BASED ON TOPOGRAPHICAL SURVEY PROVIDED BY OTHERS ALONG WITH ON-SITE MEASUREMENTS - AND ARE ONLY APPROXIMATE. EXACT LOCATIONS SHALL BE FIELD VERIFIED. REFER TO CIVIL DRAWINGS FOR MORE INFORMATION.
  - REFER TO ALL LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION AND SPECIFICATIONS.
  - REFER TO ARCHITECTURAL DRAWINGS FOR FINAL BUILDING DIMENSIONS AND DETAILS.
  - REFER TO ENGINEERING DRAWINGS FOR FINAL CIVIL AND MECHANICAL DETAILS.
  - ALL WORK SHALL BE PERFORMED IN FULL ACCORDANCE WITH ALL APPLICABLE CODES, INCLUDING BUT NOT LIMITED TO THE UNIFORM BUILDING CODE AND UNIFORM FIRE CODE, AS ADOPTED BY BLAINE COUNTY, IDAHO.

# SITE PLAN - EXISTING CONDITIONS

SCALE: 1/8" = 1' -0"



**THE GOLD MINE**  
 331 N WALNUT AVE  
 LOT 6 BLOCK 44  
 CITY OF KETCHUM

DATE: 07/26/2022  
 DESIGN REVIEW

SITE PLAN  
**L-1.0**

**GRADING + DRAINAGE LEGEND**

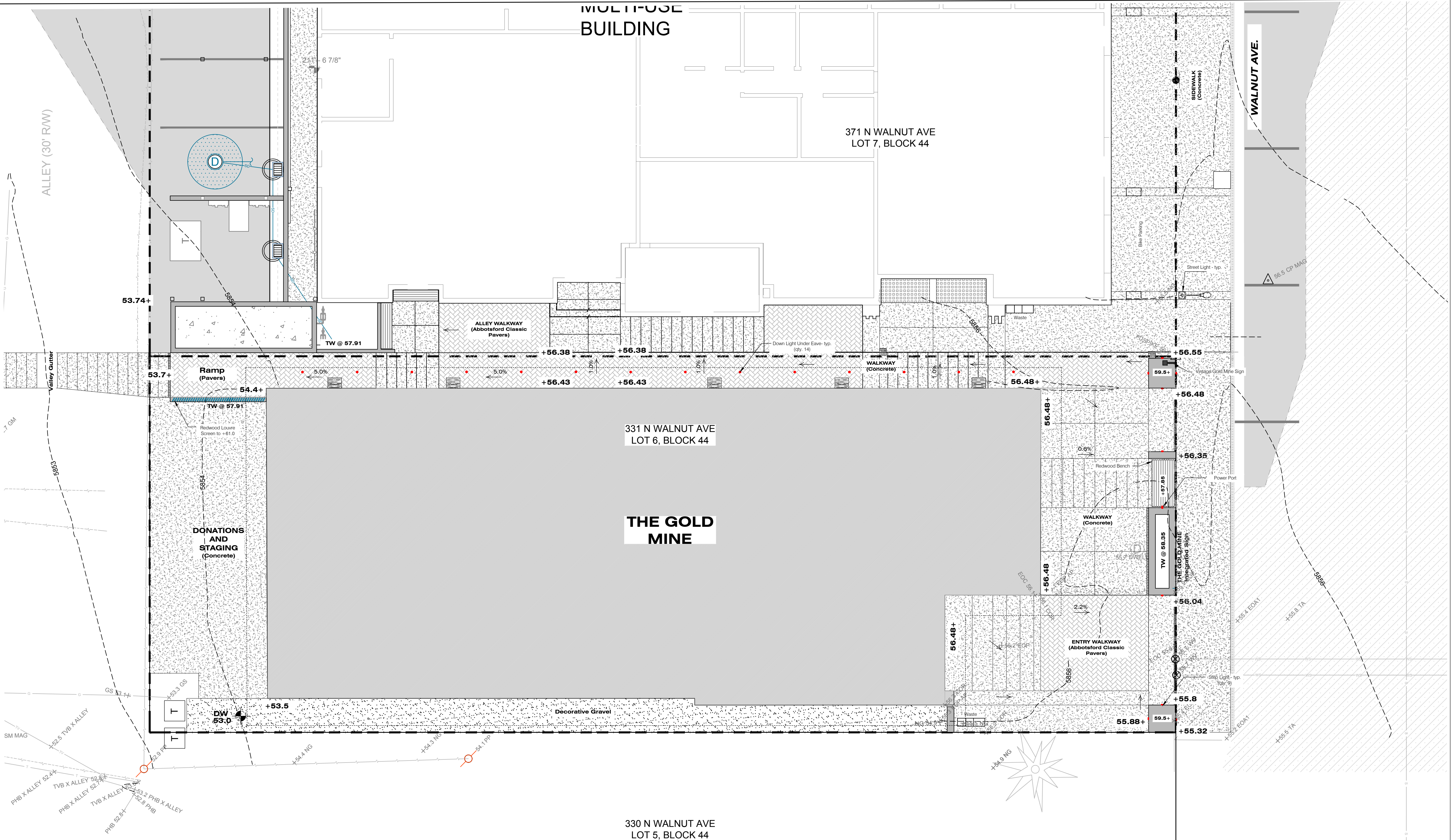
- EXISTING CONTOURS
- DIRECTION OF DRAINAGE
- SPOT ELEVATION - FINISH GRADE
- TOP OF WALL ELEVATION
- BOTTOM OF WALL ELEVATION
- DRYWELL - - @ 24"  
Refer to Geotech/Civil plans and specifications
- 4" ADS DRAINLINES  
Connect to catch basins/drywells or foundation drainage system.
- CHANNEL DRAIN  
PEDESTRIAN IN PAVERS:  
NDS MINI CHANNEL TRENCH DRAIN  
IRON AGE DESIGNS DECORATIVE GRATE  
RAIN 3" x 12"  
OIL RUBBED FINISH

**SNOW REMOVAL/STORAGE**

1. SIDEWALKS, RAMPS, ENTRY, AND ALLEY TO BE SNOWMELTED.

**GRADING + DRAINAGE NOTES:**

1. ALL SITE INFORMATION IS APPROXIMATE ONLY. REFER TO CIVIL ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION. ALL ELEVATIONS TO BE FIELD VERIFIED ACCORDINGLY.
2. REFER TO GEOTECH REPORT FOR INFORMATION REGARDING SOIL AND SUB-SURFACE CONDITIONS. UNFORSEEN SOIL OR SUB-SURFACE CONDITIONS (INCLUDING BEDROCK, POOR SOIL STRUCTURE, SUB-SURFACE WATER, UTILITIES, ETC.) MAY REQUIRE FIELD ADJUSTMENTS TO THE PROPOSED DESIGN INCLUDING GRADING AND DRAINAGE SYSTEMS.
3. PROPOSED WORK TO INCORPORATE ALL APPLICABLE BEST MANAGEMENT PRACTICES (BMPs) TO PROTECT RESOURCE VALUUES AND TO ENSURE COMPLIANCE WITH LOCAL, STATE AND FEDERAL REGULATORY REQUIREMENTS AND WATER QUALITY STANDARDS. UTILITY LOCATIONS ARE APPROXIMATE AND MUST BE LOCATED AND VERIFIED IN THE FIELD PRIOR TO ANY EXCAVATION WORK.
4. FINISH GRADE TO SLOPE AWAY FROM BUILDING IN ALL CASES, AND DIRECTED TO DRAINAGE PATTERNS OR SYSTEMS AS SHOWN.
5. ALL DRAINAGE WITHIN THE PROJECT BOUNDARIES TO BE COLLECTED ON-SITE OR DIRECTED TO EXISTING DRAINAGE PATTERNS AS DEPICTED ON THE GRADING PLAN AND/OR CIVIL ENGINEERING DRAWINGS. NO ADDITIONAL DRAINAGE TO BE DIRECTED ONTO NEIGHBORING PROPERTIES.



**HARDSCAPES**

- SITE WALL/SEAT WALL ARCHITECTURAL CONCRETE
- PAVERS - ENTRY AND ALLEY ABBOTSFORD CLASSIC SERIES-CUSTOM HERRINGBONE CHARCOAL
- CONCRETE CURB/WOOD SCREEN ARCHITECTURAL CONCRETE CURB RECLAIMED REDWOOD VERTICAL LOUVRES
- DECORATIVE GRATE PEDESTRIAN IN PAVERS: IRON AGE DESIGNS DECORATIVE GRATE RAIN 12" x 24" OIL RUBBED FINISH
- CONCRETE PAVING FINISH TBD
- DECORATIVE GRAVEL MATERIAL - TO BE DETERMINED 1" DEPTH OVER 4" COMPACTED ROADMIX BASE
- WASTE RECEPTACLE MIMOTE LITTER BINS CRYSTAL- BLACK GRAY

- 25 LANDSCAPE LIGHTING**
- 9 Winona Step Square 11 - Black
  - 14 BK Artistar Downlight - Black

**GRADING PLAN**

SCALE: 1/8" = 1' - 0"

**ARTISTAR SURFACE DOWNLIGHT**

DATE: PROJECT: TYPE:

CONTRACT NUMBER/SPEC:

CATALOG NUMBER/LOGIC: Example: M1 - 4" x 4" LED - 4000K - 800 - 10' - 1' - C

**DETAILS:**  
 (B) - Aluminum (S) - Stainless Steel  
 (D) - Diffuser  
 (S) - Surface Mount  
 (T) - Trench Mount

**FINISHES:**  
 (F) - 2" x 2" or 3" x 3" or 4" x 4" or 6" x 6" or 8" x 8" or 10" x 10"

**SOURCES:**  
 (S) - LED - with integral Cooling Driver (C) - with external driver

**LED TYPE:**  
 (S) - 100% CRI  
 (S) - 100% CRI  
 (S) - 100% CRI

**OUTPUT:**  
 (S) - 100% CRI  
 (S) - 100% CRI  
 (S) - 100% CRI

**WARRANTY:**  
 (S) - 5 Year  
 (S) - 5 Year  
 (S) - 5 Year

**NOTES:**  
 (S) - 100% CRI  
 (S) - 100% CRI  
 (S) - 100% CRI

**B-K LIGHTING** MADE IN THE USA

**HYDREL**

**MSL 11**  
 Static White and Static Color  
 Step Light 11

**HIGHLIGHTS:**  
 • Single Color  
 • Short Medium and Long throw distributions  
 • Standard 30° beam angle  
 • Steel housing with solid aluminum, brass, or stainless steel trim  
 • Wet location listed  
 • Back Box provided by Hydrel or by others

**DIMENSIONS:**  
 RECTANGULAR: 11" x 11" x 4.5"  
 ROUND: 11" x 11" x 4.5"

**LUMEN PACKAGES:**

Beam Angle	Beam Diameter	Beam Length	Beam Area	Beam Volume
30°	11"	4.5"	110"	550"
45°	15.5"	4.5"	220"	1100"
60°	19.5"	4.5"	330"	1650"
75°	23.5"	4.5"	440"	2200"
90°	27.5"	4.5"	550"	2750"

**PERFORMANCE DATA:**

Expected Life: 50,000 Hours (at 25°C ambient)  
 100,000 Hours (at 15°C ambient)

OPERATING TEMPERATURE: -40°C through 40°C

**HYDREL**

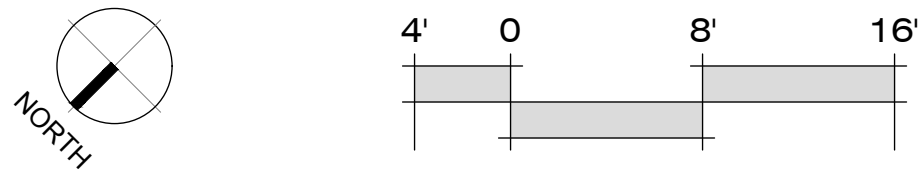
**ORDERING INFORMATION:**

Part No.	Part Name	Material	Color	Beam Angle	Beam Diameter	Beam Length	Beam Area	Beam Volume
MSL 11	Static White and Static Color Step Light 11	Aluminum	White	30°	11"	4.5"	110"	550"

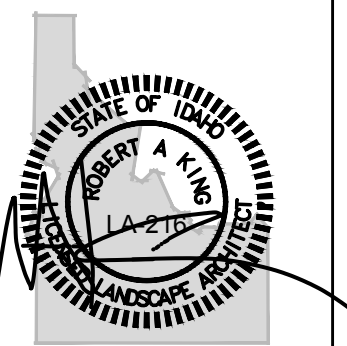
**PERFORMANCE DATA:**

Expected Life: 50,000 Hours (at 25°C ambient)  
 100,000 Hours (at 15°C ambient)

OPERATING TEMPERATURE: -40°C through 40°C



**LANDWORK STUDIO LLC**  
 LANDSCAPE ARCHITECTURE + DESIGN  
 110 5TH STREET SUITE 103  
 PO BOX 755 KETCHUM IDAHO 83340  
 208.726.5331 WWW.LANDWORKSTUDIO.COM



**THE GOLD MINE**  
 331 N WALNUT AVE  
 LOT 6 BLOCK 44  
 CITY OF KETCHUM

DATE: 07/26/2022  
 DESIGN REVIEW

GRADING PLAN  
**L-2.0**

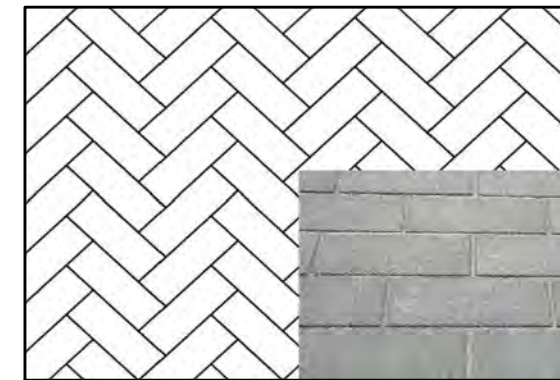
**HARDSCAPE MATERIALS**



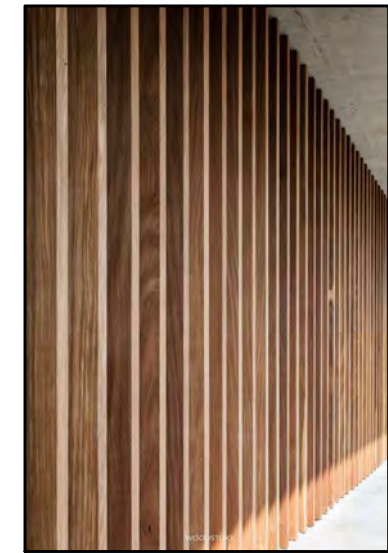
ARCHITECTURAL CONCRETE SITE WALLS



INTEGRATED REDWOOD BENCHES



CONCRETE PAVERS -  
Abbotsford Classic Series  
Custom Herringbone Pattern -  
Charcoal



WOOD SCREEN -  
Reclaimed Redwood  
Vertical Louvers



CHANNEL DRAINS + CATCH BASIN GRATES  
- Iron Age Designs 'Rain'

**LIGHTING**



WINONA -  
Step 11 Square -  
Black



BK LIGHTING -  
Artistar - 2700k Downlight-  
Black

**SITE AMENITIES**



SIGNAGE - Match Lettering of The Community Library

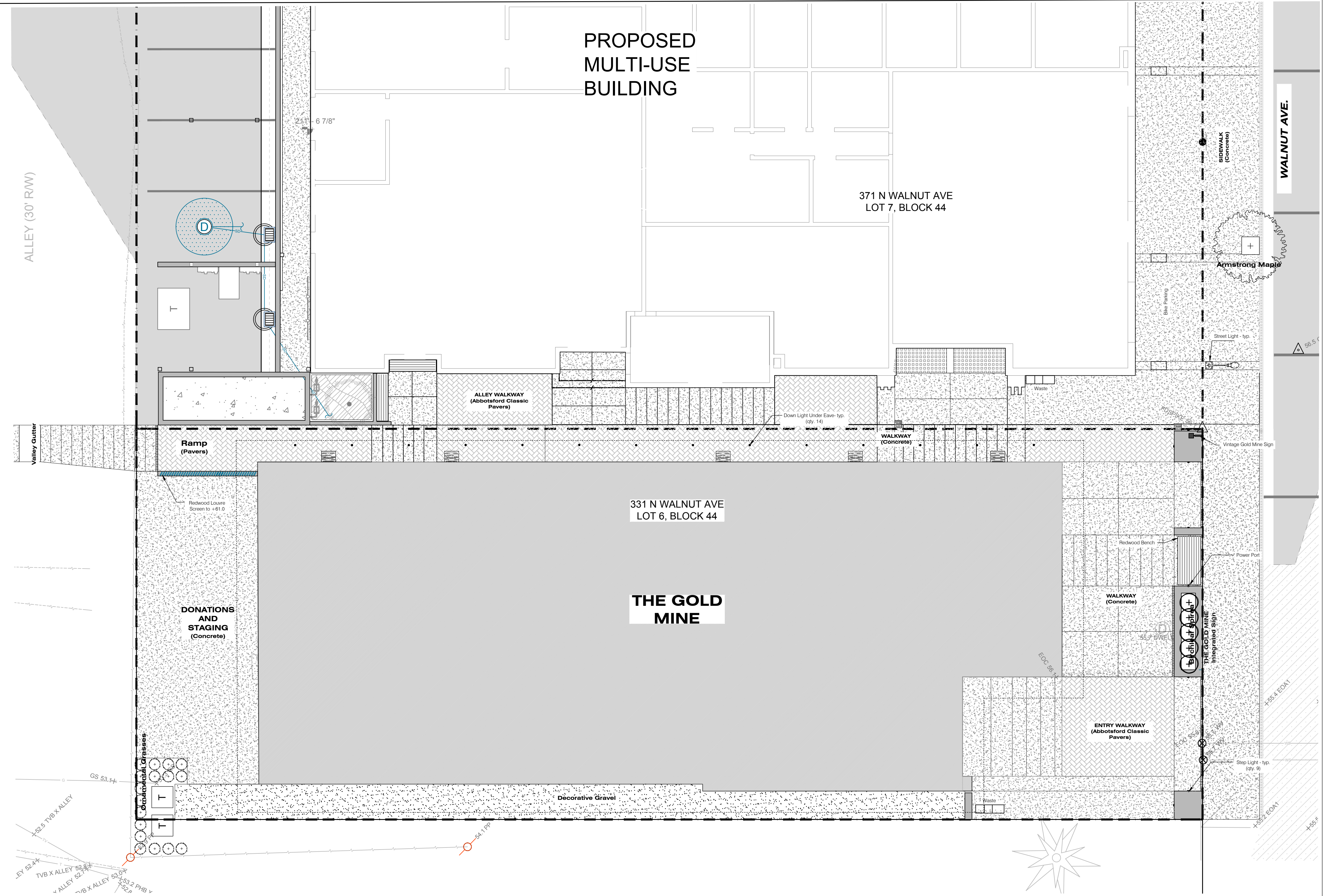


SIGNAGE - Reuse Vintage Sign

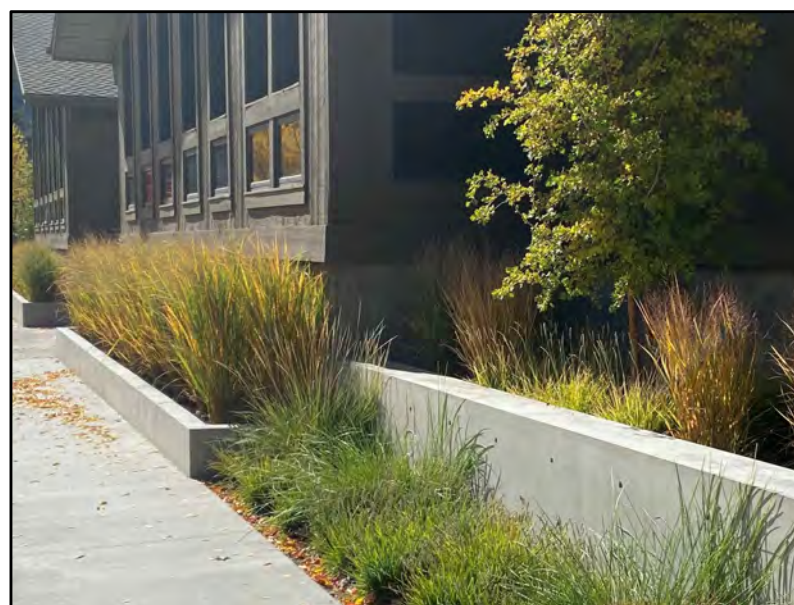


WASTE BINS

**PROPOSED  
MULTI-USE  
BUILDING**



**LANDSCAPE MATERIALS**



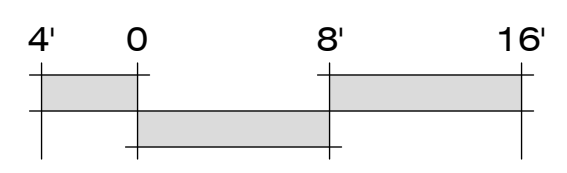
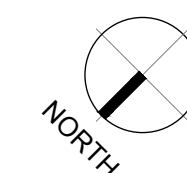
GRASSES



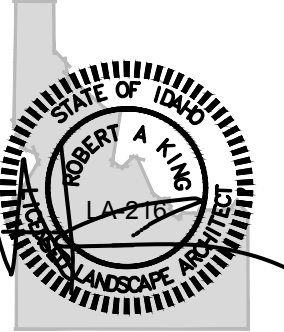
BIRCHLEAF SPIREA

**LANDSCAPE MATERIALS PLAN**

SCALE: 1/8" = 1'-0"



LANDWORK STUDIO LLC  
LANDSCAPE ARCHITECTURE + DESIGN  
110 5TH STREET SUITE 103  
PO BOX 755 KETCHUM IDAHO 83840  
208.726.5561 WWW.LANDWORKSTUDIO.COM



**THE GOLD MINE**

331 N WALNUT AVE  
LOT 6 BLOCK 44  
CITY OF KETCHUM

DATE: 07/26/2022  
DESIGN REVIEW

LANDSCAPE MATERIALS PLAN

**L-3.1**



**EAST ELEVATION - WALNUT AVENUE**



**NORTH EAST ELEVATION**



**NORTH ELEVATION**

**GOLD MINE ROOF ASSEMBLY ADDITION**

331 NORTH WALNUT AVENUE  
KETCHUM, IDAHO 83340

PRINT RECORD

PURPOSE	DATE

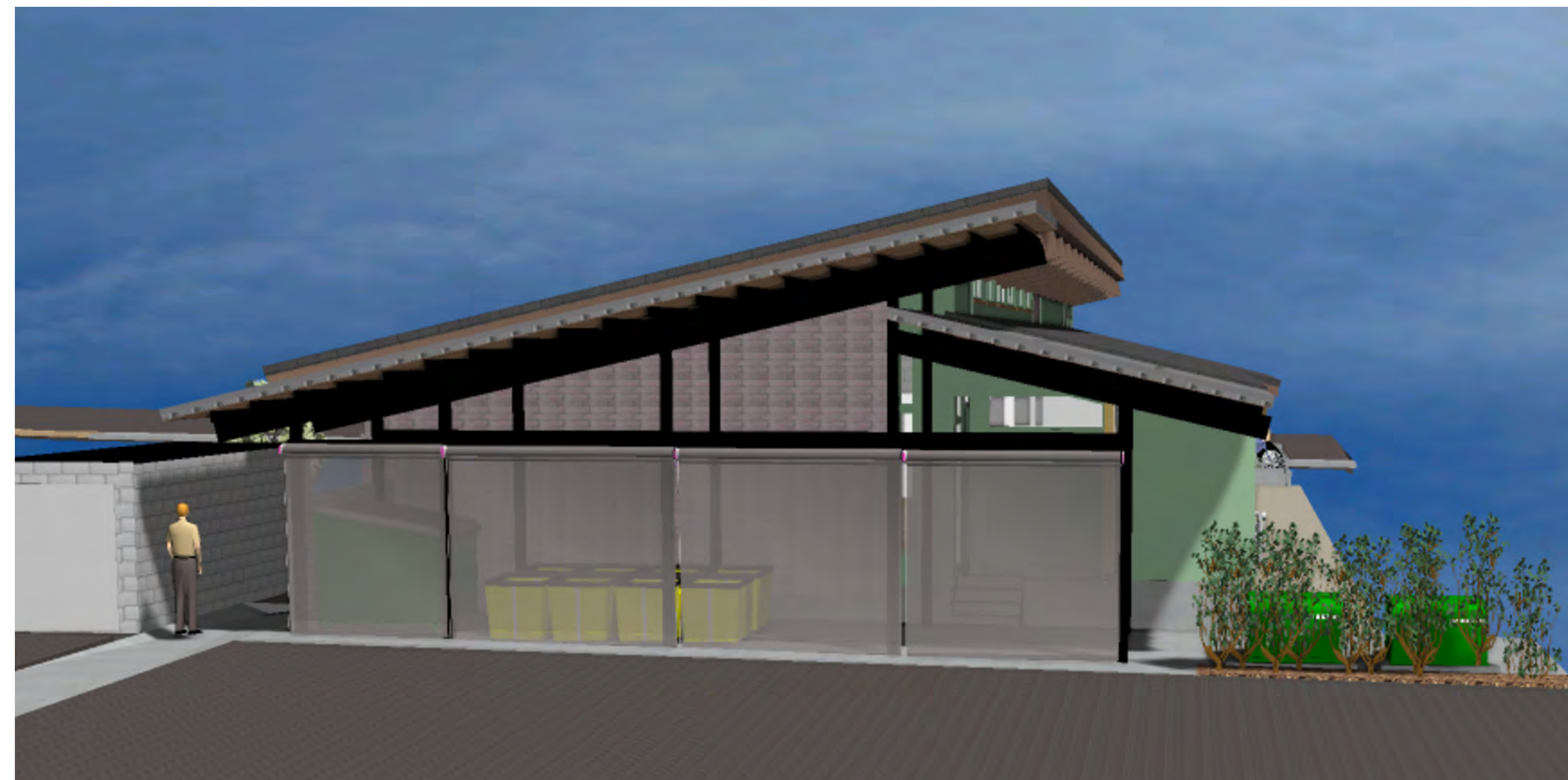
REVISION RECORD

NO.	CHANGE	DATE

SHEET	OF
A2.0	TOTAL



**WEST ELEVATION WITH SCREEN UP**



**WEST ELEVATION WITH SCREEN DOWN**



**ORIGINAL SIDING &  
WINDOW COLOR - SIMILAR  
TO BENJAMIN MOORE  
CLASSIC 635**



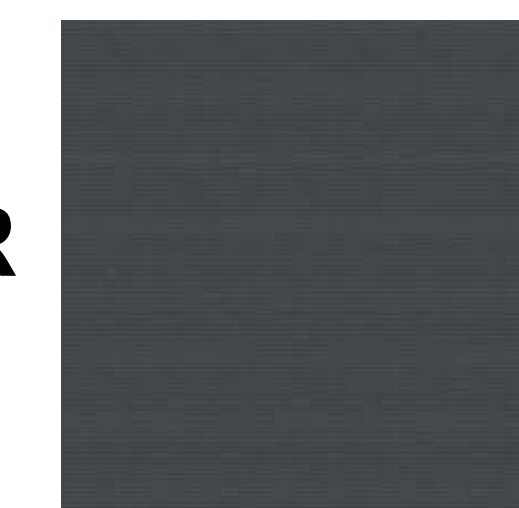
**ORIGINAL FASCIAA &  
SOFFIT COLOR - SIMILAR  
TO BENJAMIN MOORE  
2130-10**



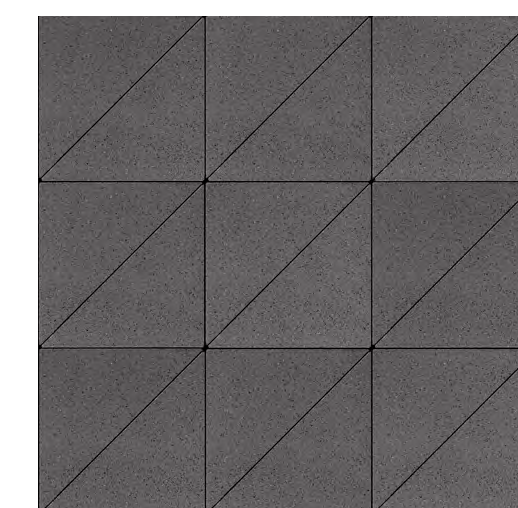
**METAL COLOR -  
DARK BRONZE**



**OR**



**SCREEN  
FABRIC  
COLOR**



**TECHNO BLOCK  
INDUSTRIA TRIANGLE  
POLISHED ONYX**



**ORIGINAL SPLIT FACE  
BLOCK**



**CERTAINTEED  
PRESIDENTIAL TL CLASSIC  
WEATHERED WOOD**

**GOLD MINE ROOF ASSEMBLY ADDITION**

331 NORTH WALNUT AVENUE  
KETCHUM, IDAHO 83340

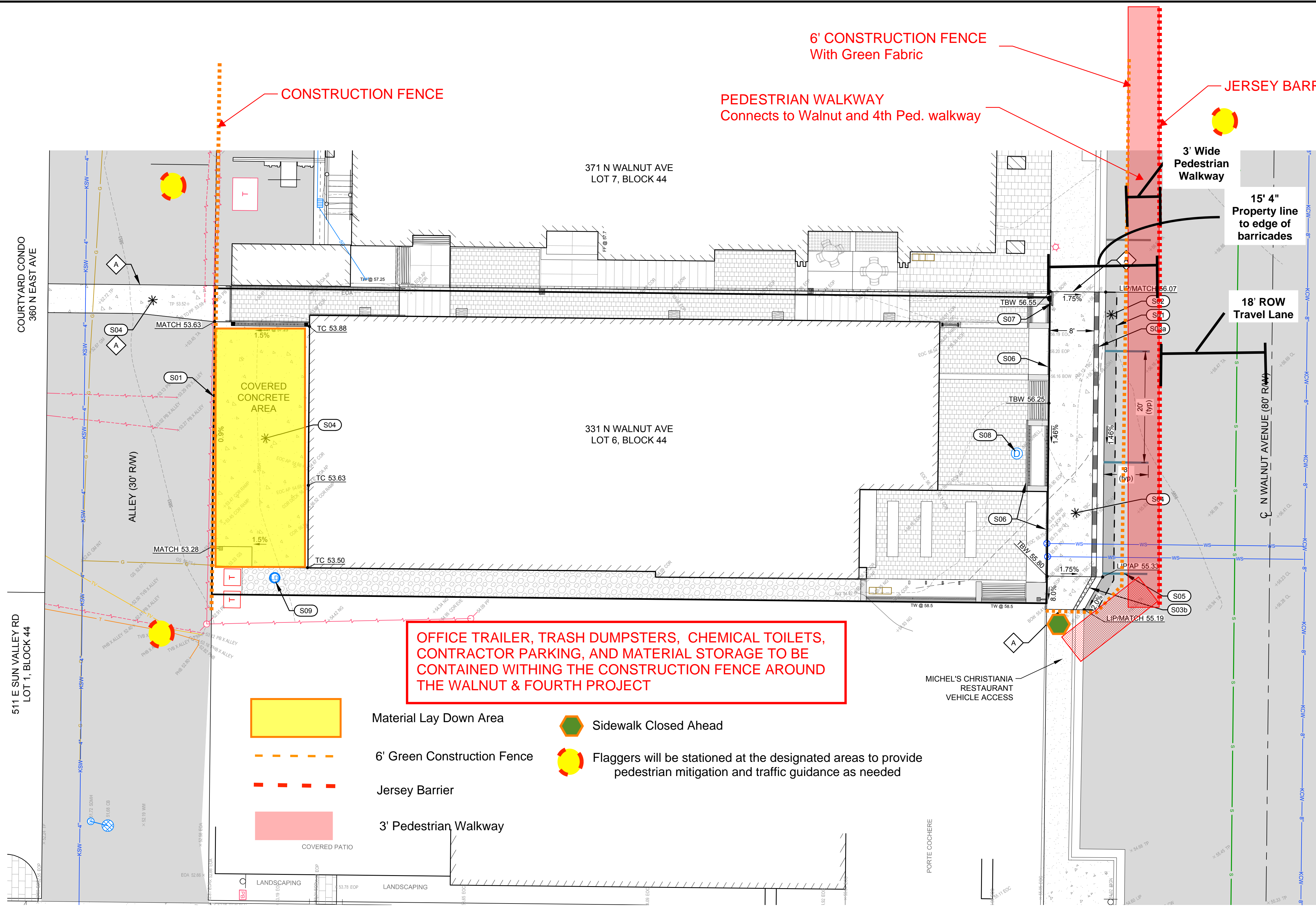
**PRINT RECORD**

PURPOSE	DATE

**REVISION RECORD**

NO.	CHANGE	DATE

REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any project or extension of this Project except by agreement in writing with Galena Engineering, Inc.



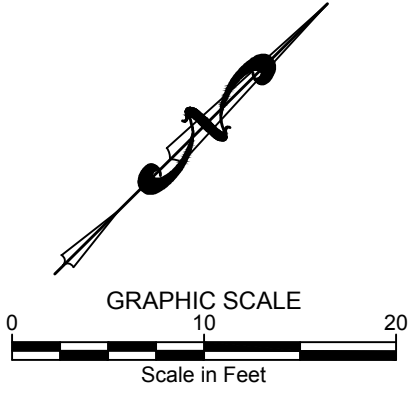
OFFICE TRAILER, TRASH DUMPSTERS, CHEMICAL TOILETS, CONTRACTOR PARKING, AND MATERIAL STORAGE TO BE CONTAINED WITHIN THE CONSTRUCTION FENCE AROUND THE WALNUT & FOURTH PROJECT

- Material Lay Down Area
- 6' Green Construction Fence
- Jersey Barrier
- 3' Pedestrian Walkway
- Sidewalk Closed Ahead
- Flaggers will be stationed at the designated areas to provide pedestrian mitigation and traffic guidance as needed

LEGEND					
	Property Line		TVB = Cable TV Buried		AP = Angle Point
	Adjoiner's Lot Line		TVBOX = Cable TV Riser		BEG = Beginning
	Centerline		PHB = Buried Telephone Line		CC = Curb Cut
	5' Contour Interval		PHBOX = Telephone Riser		CL = Centerline
	1' Contour Interval		PB = Buried Power Line		COR = Corner
	Overhead Power Line		Light		EOA = Edge of Asphalt
	Curb & Gutter		PP = Power Pole		EOC = Edge of Concrete
	Building		S = Sewer Main		EOP = Edge of Pavers
	Edge of Asphalt		SS = Sewer Service		EOW = Edge of Walk
	Concrete Sidewalk		DWELL = Dry Well		FDSPIKE = Survey Control
	Pavers		WS = Water Service		FF = Finished Floor
	B-Rack = Bike Rack		WV = Water Valve		GS = Gas Service
	GM = Gas Main		Ketchum City Water Line (8")		IC = Illegible Cap
	GMTR = Gas Meter		Ketchum Spring Line (8")		INT = Intersection
			Ketchum Spring Line (4")		LIP = Lip of Gutter
					NC = No Cap
					NG = Natural Ground
					PC = Point of Curvature
					PT = Point of Tangent
					RTW = Retaining Wall
					TA = Top of Asphalt
					TBC = Top Back of Curb
					TBW = Top Back of Walk
					THRESH = Threshold
					TP = Top of Pavers

- SITE IMPROVEMENT KEY NOTES**
- S01 SAWCUT ASPHALT TO PROVIDE FOR A CLEAN VERTICAL EDGE.
  - S02 CONSTRUCT ASPHALT ROADWAY / ASPHALT REPAIR. SEE DETAIL 1 / CO.1.
  - S03 CONSTRUCT CONCRETE CURB AND GUTTER
    - a. 6" ROLLED C&G PER DETAIL 2 / CO.1.
    - b. ±7" OF CURB TRANSITION (BETWEEN 6" ROLLED C&G AND ZERO REVEAL C&G) PER DETAIL 5 / CO.1.
  - S04 CONSTRUCT CONCRETE SIDEWALK. WIDTH AS SHOWN HEREON. SEE DETAIL 3 / CO.1.
  - S05 INSTALL ROAD STRIPING / PAINT
    - a. YELLOW ASPHALT PARKING STRIPING (4" WIDE). MATCH CITY PATTERNS.
  - S06 INSTALL TRENCH DRAIN. CONNECT TO DRYWELL. SEE LANDSCAPE ARCHITECT PLANS FOR DETAILS.
  - S07 INSTALL REGULATORY SIGN. COORDINATE TYPE AND FINAL LOCATION WITH CITY OF KETCHUM. SEE DETAIL 6 / CO.1 FOR SIGN BASE DETAIL.
  - S08 CONTRACTOR TO CLEAN EXISTING DRYWELL. CONNECT TRENCH AND ROOF DRAIN SYSTEMS TO DRYWELL. RIM = 5856.2
  - S09 INSTALL LANDSCAPE DRYWELL. CONNECT TO ROOF DRAIN SYSTEM. SEE DETAIL 4 / CO.1. RIM = ±5853.2
- MATCH EXISTING LINES AND GRADES

**GENERAL NOTE:**  
1. SEE LANDSCAPE PLANS FOR ONSITE GRADING.



**RIGHT-OF-WAY GRADING PLAN**  
**331 N. WALNUT AVENUE**  
**LOT 6, BLOCK 44, KETCHUM TOWNSITE**  
 LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO  
 PREPARED FOR THE GOLDMINE THRIFT STORE

PROJECT INFORMATION  
 P:\sub\proj\2869-01\img\Construction\2869-01\_ENG.dwg 04/07/22 11:24:45 AM

PROFESSIONAL SEAL

PRELIMINARY DESIGN

2022

STATE OF IDAHO

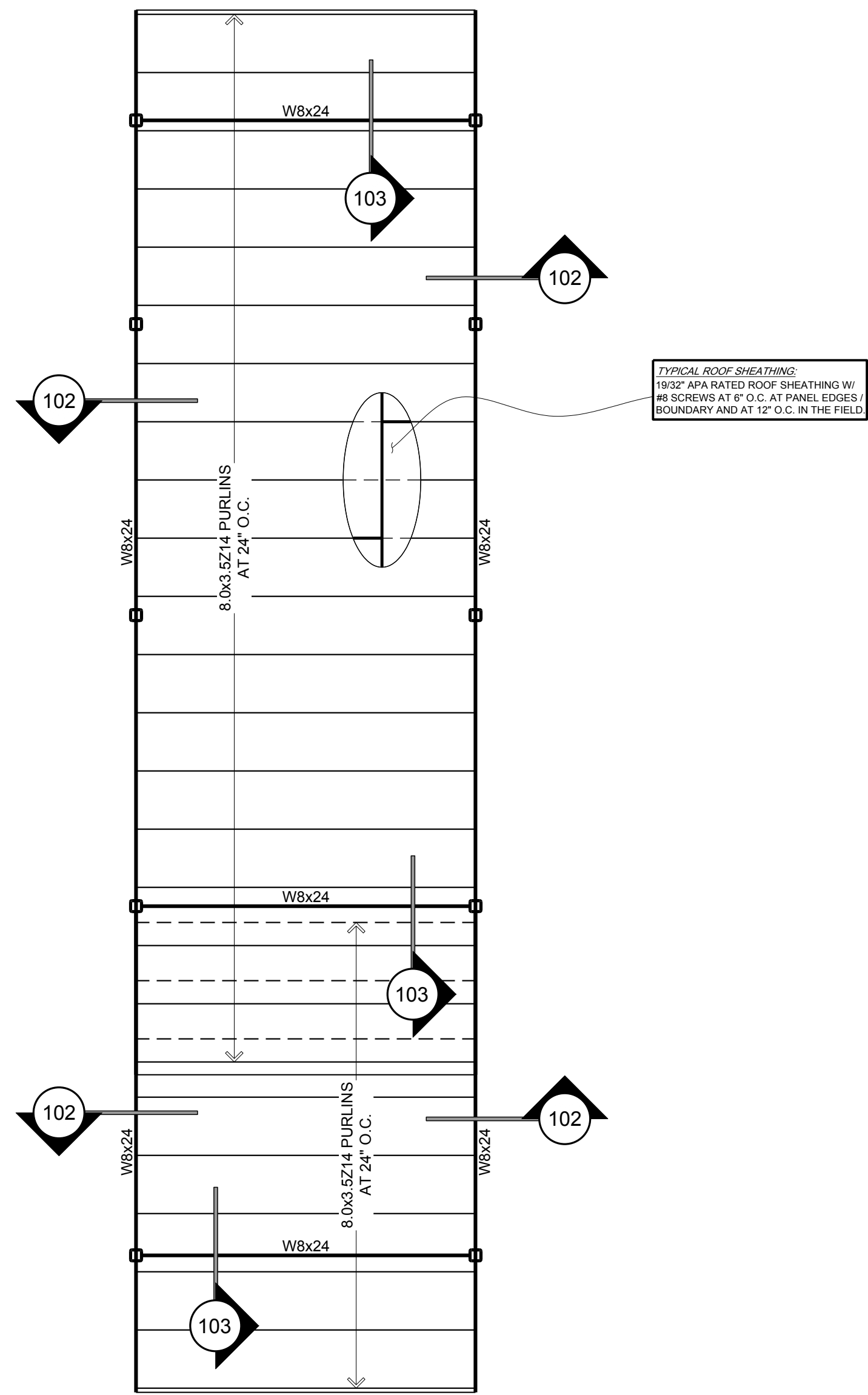
C. M. W. FLYNN

DESIGNED BY \_\_\_\_\_  
 DRAWN BY \_\_\_\_\_  
 SMF  
 CHECKED BY \_\_\_\_\_

**GALENA ENGINEERING, INC.**  
 Civil Engineers & Land Surveyors  
 317 N. River Street  
 Halley, Idaho 83333  
 (208) 788-1705  
 email: galena@galena-engineering.com

PURPOSE:	NO.	DATE	BY	REVISIONS

G1.0



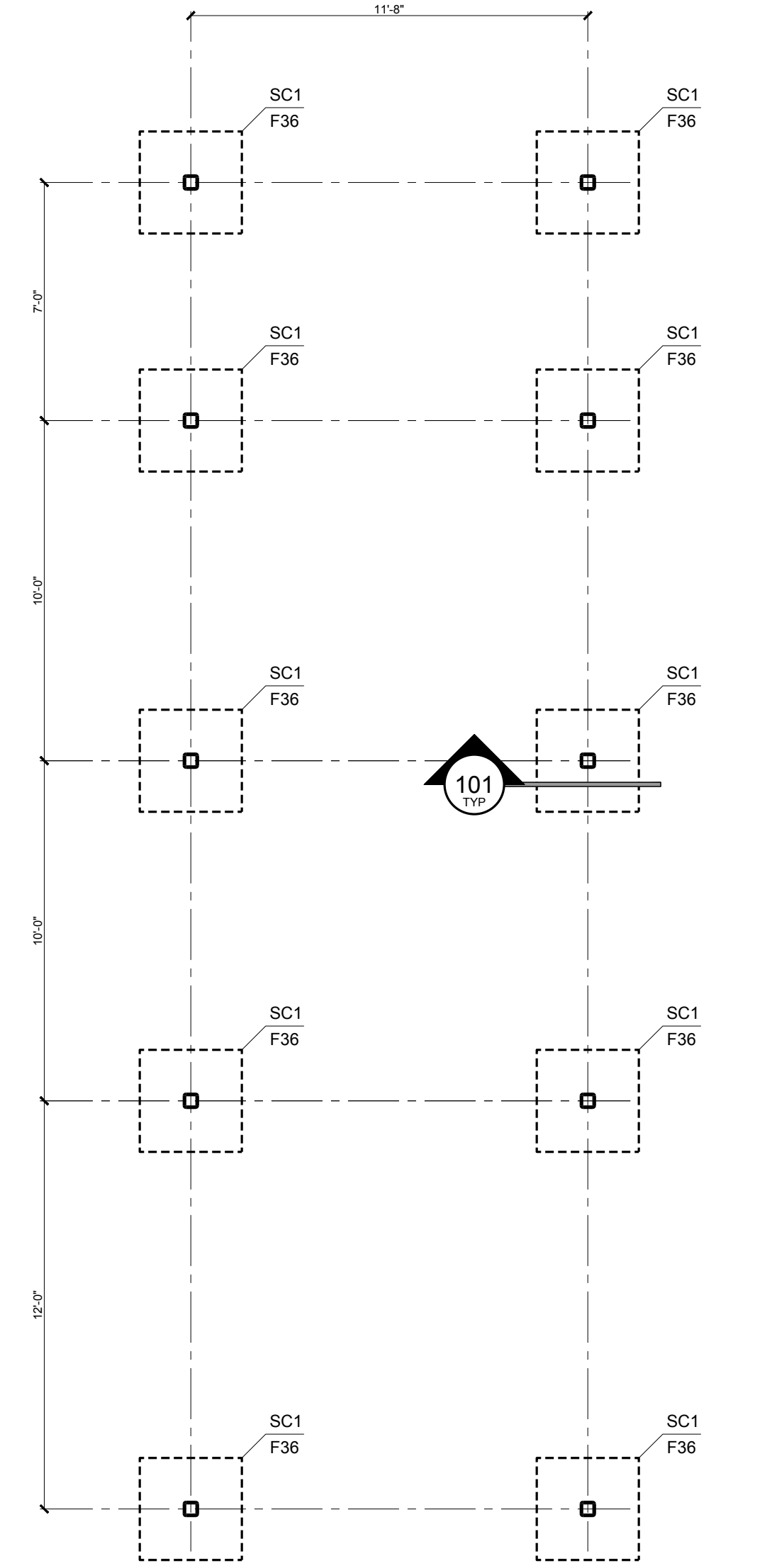
TYPICAL ROOF SHEATHING:  
1/2" AIA RATED ROOF SHEATHING W/  
#8 SCREWS AT 6" O.C. AT PANEL EDGES,  
BOUNDARY AND AT 12" O.C. IN THE FIELD.

**ROOF FRAMING PLAN NOTES**

A. VERIFY ALL DIMENSIONS WITH ALL ARCHITECTURAL DRAWINGS.

B. ALL SCHEDULED MARK DESIGNATIONS MAY NOT NECESSARILY BE FOUND ON THIS PLAN. SCHEDULES ARE TYPICAL TO THIS PROJECT.

C. FOR CLARITY, DETAILS MAY SHOW ONLY ONE SIDE OF FRAMING CONDITION.



**FOUNDATION PLAN**  
SCALE: 1/4" = 1'-0"

**FOUNDATION PLAN NOTES**

A. VERIFY ALL DIMENSIONS WITH ALL ARCHITECTURAL DRAWINGS.

B. ALL SCHEDULED MARK DESIGNATIONS MAY NOT NECESSARILY BE FOUND ON THIS PLAN. SCHEDULES ARE TYPICAL TO THIS PROJECT.

C. THE DEPTH OF FOOTING DIMENSION INDICATED IN THE G.S.N. IS A MINIMUM. FOUNDATION CONTRACTOR SHALL COORDINATE WITH THE SOILS REPORT AND OTHER TRADES TO INSURE THAT THESE MINIMUMS ARE SUFFICIENT FOR THE WORK. SEE TYPICAL DETAILS FOR ADDITIONAL REQUIREMENTS.

D. F36, F48, ETC. - AS SHOWN ON PLAN INDICATES A CONCRETE FOOTING. SEE FOOTING SCHEDULE FOR ADDITIONAL INFORMATION.

**STEEL COLUMN (SC) SCHEDULE**

MARK	SIZE	BASE CONNECTION
SC1	HSS5x5x1/4	3/4"x11"x11" PLATE W/ (4) 3/4" ANCHOR BOLTS W/ 10" MINIMUM EMBEDMENT

**FOOTING SCHEDULE**

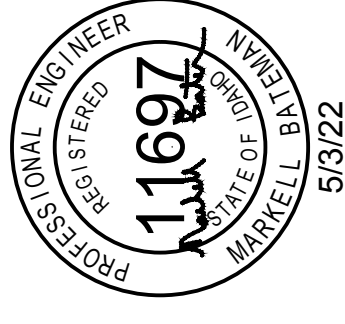
NOTES:  
1. FOR CONSTRUCTION ABOVE FOOTING, SEE DETAILS.  
2. FOR MINIMUM CLEARANCE (CLR) OF REINFORCING, SEE GENERAL STRUCTURAL NOTES (GSN).

MARK	LENGTH	WIDTH	THICKNESS	FOOTING REINFORCING	REMARKS
F36	36"	36"	10"	(4) #4 EACH WAY BOTTOM	---

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PROJECT: **GOLDMINE ENTRY CANOPY**  
331 WALNUT AVE  
KETCHUM, ID 83340

CLIENT: GOLDMINE THRIFT STORE



FOUNDATION AND ROOF FRAMING PLAN

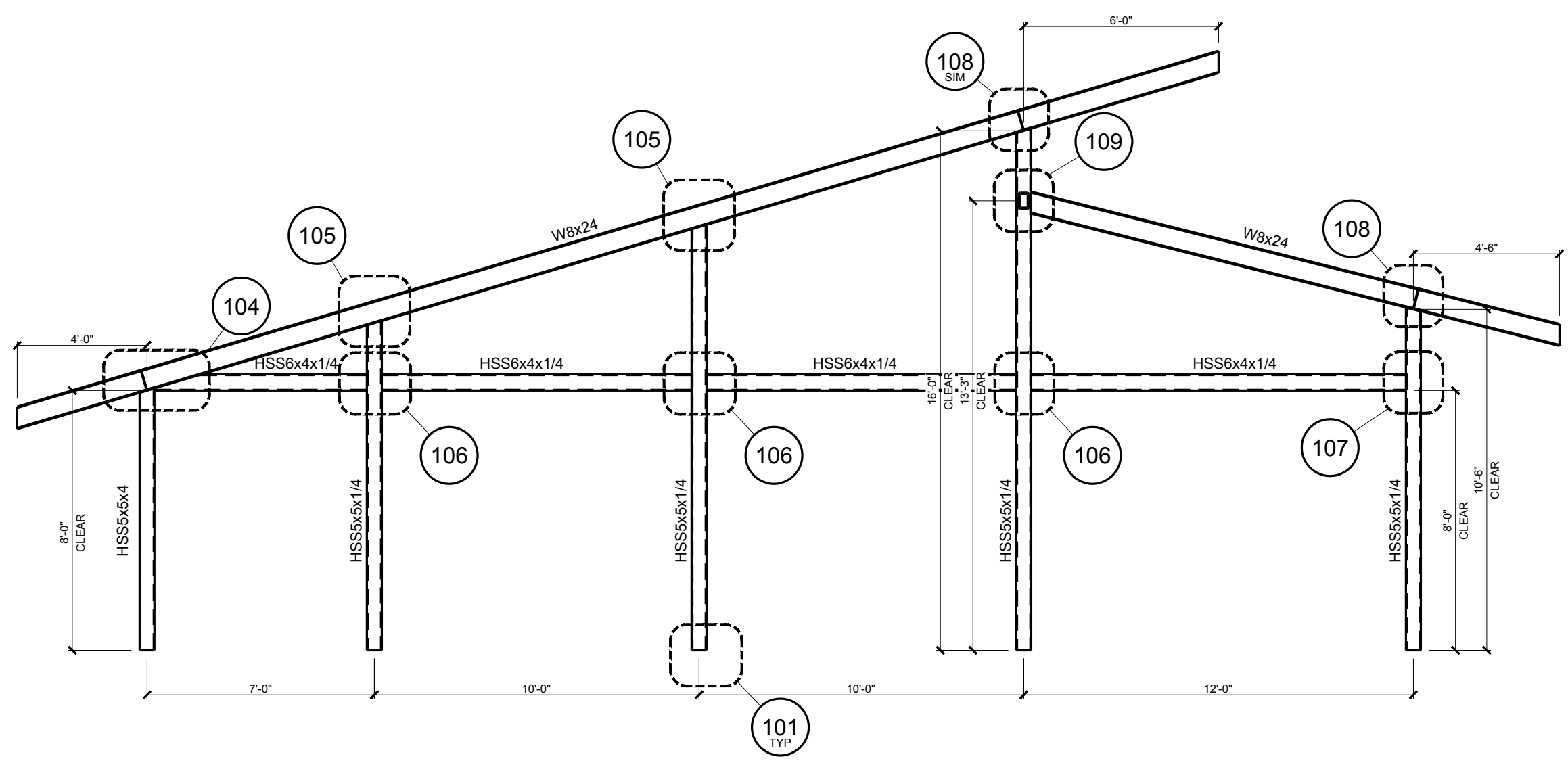
PROJECT MANAGER: EBC CAD OPERATOR: DTC

**FROST Structural Engineering**  
1020 E. Lincoln Road  
Idaho Falls, ID 83401  
phone: 208.227.8404 fax: 208.227.8405  
contact@frost-structural.com

DATE: 5/3/22 CURRENT REV: A

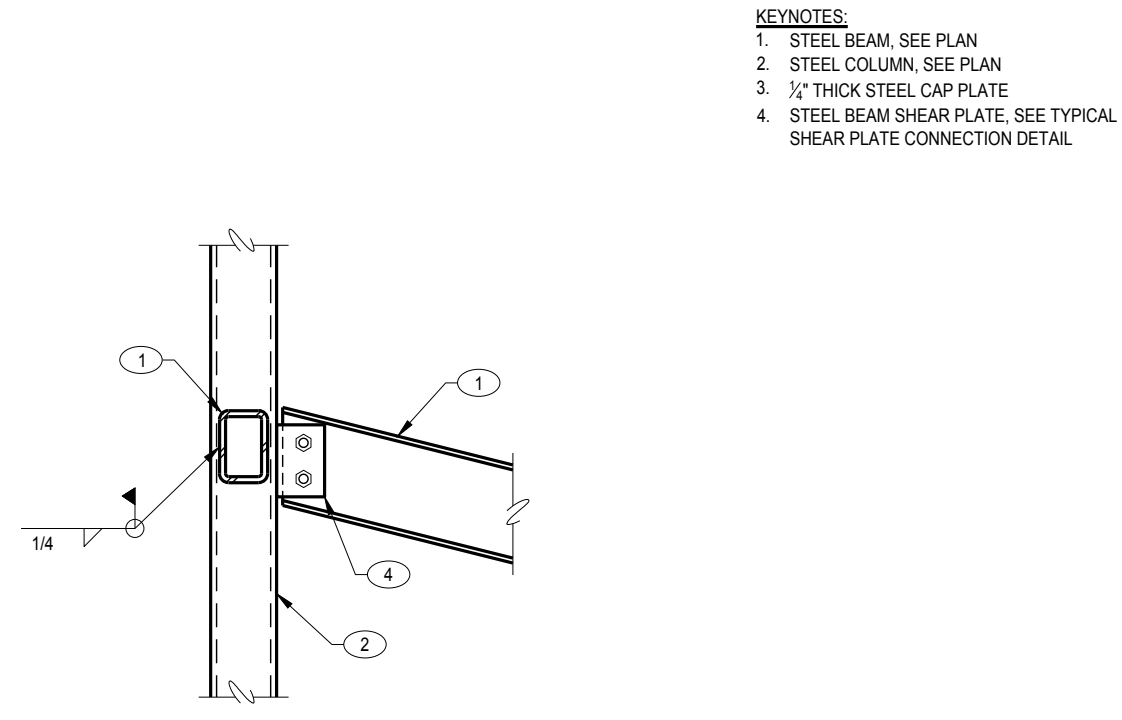
**S2.0**

**ROOF FRAMING PLAN**  
SCALE: 1/4" = 1'-0"



**SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"

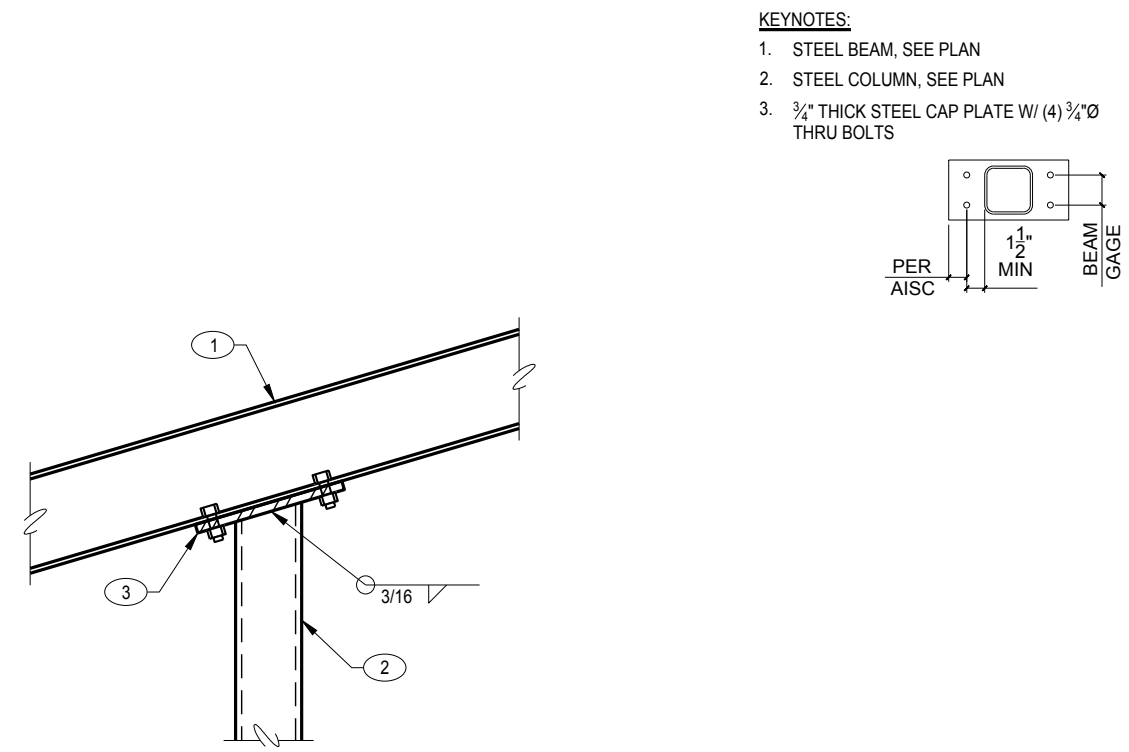




109 STEEL BEAM AT STEEL COLUMN NO SCALE

- KEYNOTES:**  
 1. STEEL BEAM, SEE PLAN  
 2. STEEL COLUMN, SEE PLAN  
 3. 1/2" THICK STEEL CAP PLATE  
 4. STEEL BEAM SHEAR PLATE, SEE TYPICAL SHEAR PLATE CONNECTION DETAIL

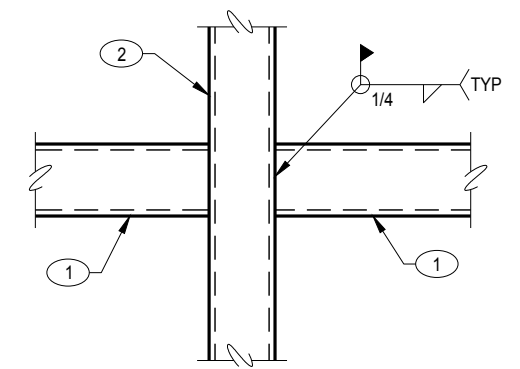
**NOTES:**  
 A. SEE CORRESPONDING DETAILS FOR ADDITIONAL INFORMATION



105 STEEL BEAM AT STEEL COLUMN NO SCALE

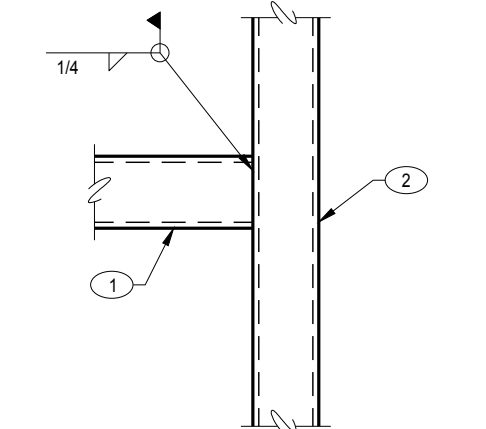
- KEYNOTES:**  
 1. STEEL BEAM, SEE PLAN  
 2. STEEL COLUMN, SEE PLAN  
 3. 1/2" THICK STEEL CAP PLATE W/ (4) 3/8" THRU BOLTS

**NOTES:**  
 A. SEE CORRESPONDING DETAILS FOR ADDITIONAL INFORMATION  
 B. AT CONTRACTORS OPTION BEAM MAY BE WELDED TO CAP PLATE W/ 3/4" FILLETS EACH SIDE



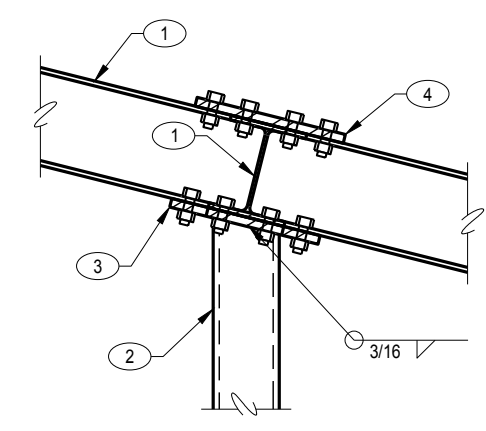
106 STEEL BEAM AT STEEL COLUMN NO SCALE

**NOTES:**  
 A. SEE CORRESPONDING DETAILS FOR ADDITIONAL INFORMATION



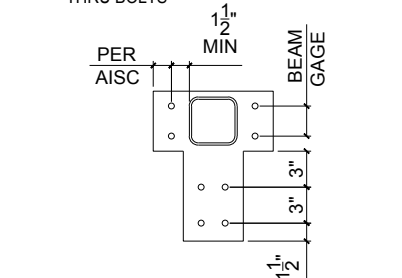
107 STEEL BEAM AT STEEL COLUMN NO SCALE

**NOTES:**  
 A. SEE CORRESPONDING DETAILS FOR ADDITIONAL INFORMATION

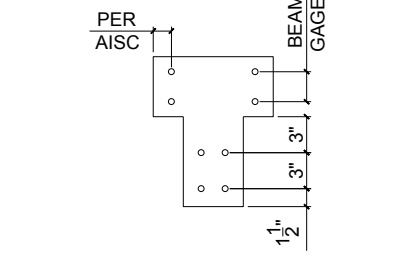


108 STEEL BEAM AT STEEL COLUMN NO SCALE

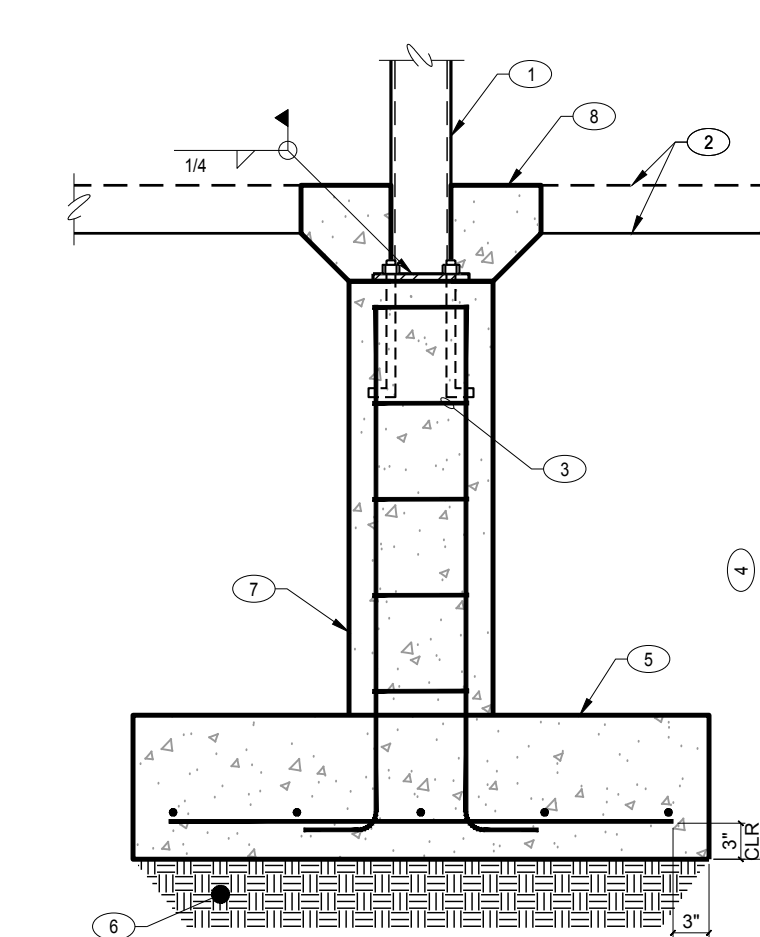
- KEYNOTES:**  
 1. STEEL BEAM, SEE PLAN  
 2. STEEL COLUMN, SEE PLAN  
 3. 1/2" THICK STEEL CAP PLATE W/ (8) 3/8" THRU BOLTS



4. 1/2" THICK STEEL CONNECTION PLATE W/ (8) 3/8" THRU BOLTS



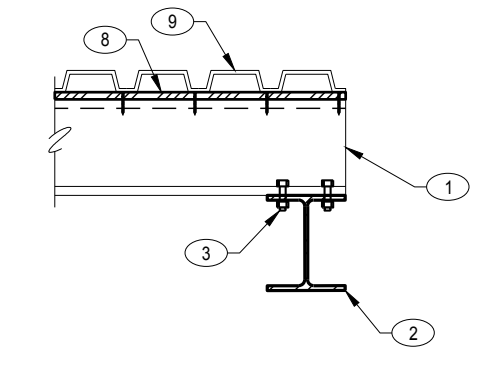
**NOTES:**  
 A. SEE CORRESPONDING DETAILS FOR ADDITIONAL INFORMATION  
 B. AT CONTRACTORS OPTION BEAM MAY BE WELDED TO CAP PLATE W/ 3/4" FILLETS EACH SIDE



101 STEEL COLUMN AT FOUNDATION NO SCALE

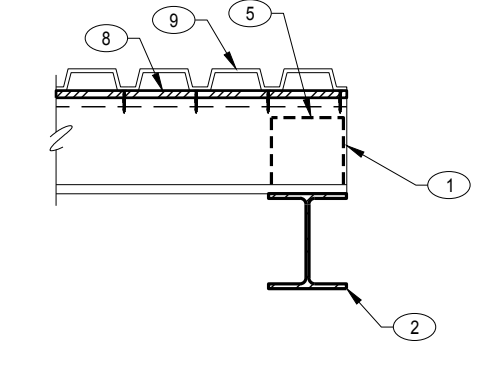
- KEYNOTES:**  
 1. STEEL COLUMN AND BASE PLATE, SEE PLAN  
 2. SIDEWALK, PAVEMENT, OR FINISH GRADE PER ARCH  
 3. #3 TIES AT 8" O.C.  
 4. MINIMUM FOOTING DEPTH, SEE GSN  
 5. CONCRETE FOOTING, SEE PLAN  
 6. COMPACTED SUB-GRADE BELOW FOOTING, SEE PLAN  
 7. 12" SQR CONCRETE PIER W/ (8) #5 VERTICAL DOWELS  
 8. CONCRETE CLOSURE POUR

**NOTES:**  
 A. PROTECT EXPOSED STEEL AND STEEL BELOW GRADE, SEE ARCHITECTURAL

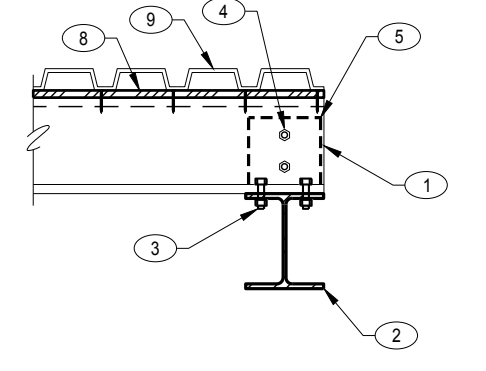


102 PURLIN CONNECTION TO BEAM NO SCALE

- KEYNOTES:**  
 1. ROOF PURLIN, SEE PLAN  
 2. STEEL BEAM, SEE PLAN  
 3. (2) 1/2" Ø A307 BOLTS  
 4. (2) 1/2" Ø A307 BOLTS INTO WEB OF ROOF PURLIN  
 5. 6" WIDE 10 ga CLIP  
 6. ROOF SHEATHING, SEE PLAN  
 7. 24 GAUGE STANDING SEAM ROOFING, ATTACH PER MANUFACTURER

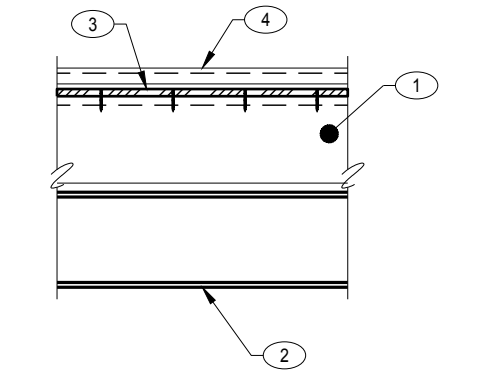


WELDED CLIP CONNECTION - ALTERNATE



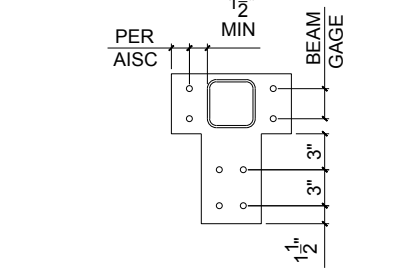
BOLTED CLIP CONNECTION - ALTERNATE

- KEYNOTES:**  
 1. ROOF PURLIN, SEE PLAN  
 2. STEEL BEAM, SEE PLAN  
 3. ROOF SHEATHING, SEE PLAN  
 4. 24 GAUGE STANDING SEAM ROOFING, ATTACH PER MANUFACTURER

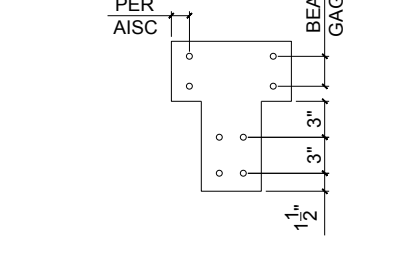


103 LOWER STEEL BEAM AT ROOF NO SCALE

- KEYNOTES:**  
 1. STEEL BEAM, SEE PLAN  
 2. 1/4" THICK END PLATE  
 3. STEEL COLUMN, SEE PLAN  
 4. 1/2" THICK STEEL CAP PLATE W/ (8) 3/8" THRU BOLTS



5. 1/2" THICK STEEL CONNECTION PLATE W/ (8) 3/8" THRU BOLTS



**NOTES:**  
 A. SEE CORRESPONDING DETAILS FOR ADDITIONAL INFORMATION  
 B. AT CONTRACTORS OPTION BEAM MAY BE WELDED TO CAP PLATE W/ 3/4" FILLETS EACH SIDE

104 STEEL BEAM AT STEEL COLUMN NO SCALE

REV.	DATE	BY	DESCRIPTION
1			
2			
3			
4			
5			
6			
7			
8			

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