



City of Ketchum  
Planning & Building

**STAFF REPORT**  
**KETCHUM PLANNING AND ZONING COMMISSION**  
**SPECIAL MEETING OF DECEMBER 20, 2022**

**PROJECT:** The 208 Condos

**FILE NUMBER:** P22-035 and P22-035A

**APPLICATION TYPE:** Final Design Review and Subdivision – Condominium Preliminary Plat

**APPLICANT:** Nicole Ramey, Medici Architects (Architect)

**PROPERTY OWNER:** 755 S Broadway, LLC

**REQUEST:** Final Design Review and Condominium Preliminary Plat application for the development of a new, 11,663 square foot, three-story mixed-use building

**LOCATION:** 200 N Leadville Avenue - Ketchum Townsite: Block 23: Lot 1

**ZONING:** Community Core – Subdistrict 2 – Mixed Use (CC-2)

**REVIEWER:** Morgan R. Landers, AICP – Senior Planner

**NOTICE:** A public hearing notice for the project was mailed to all owners of property within 300 feet of the project site and all political subdivisions on November 7, 2022. The public hearing notice was published in the Idaho Mountain Express on November 9, 2022. A notice was posted on the project site and the city’s website on November 7, 2022. Story poles were verified on the subject property on November 22, 2022. The project was heard at the November 29, 2022 meeting of the Planning and Zoning Commission and continued to a special meeting on December 20, 2022.

**I. EXECUTIVE SUMMARY:**

The Planning and Zoning Commission reviewed the proposed development at their November 29, 2022 meeting (See Attachment A for the staff report). At the meeting, staff highlighted three areas where improvements to the project could be made to bring the application into conformance with the Ketchum Design Review Criteria:

- Location of the transformer
- 2<sup>nd</sup> Street activation on the ground floor
- Exposed façade on the north side of the building

Upon review of the application materials, staff and applicant presentation, and public comment, the Commission provided feedback to the applicant as follows:

- The location of the transformer was acceptable, however, landscape screening that retains its foliage year-round is preferred to the metal screening proposed

- A window well for added light to the basement unit would be a preferred alternative to the stairwell on the corner of 2<sup>nd</sup> and Leadville Ave
- Additional articulation of the north elevation should be considered, this could be achieved with material variation, architectural detailing, or stepping the top floor of the façade back on the north end

The applicant has provided a revised development proposal (Attachment B) which seeks to address the comments provided by the Commission. The following changes are being proposed:

- Transformer – the location of the transformer has remained, however, there is additional landscape screening proposed around the transformer for additional screening
- 2<sup>nd</sup> Street – the basement level floor plan has been reconfigured:
  - Decreased the size of the storage units
  - Moved the dwelling unit to orient along 2<sup>nd</sup> Street not Leadville Ave and increased the size of the basement dwelling unit
  - Moved the staircase to the dwelling unit to the center of the building a moved the entrance to the recessed residential entryway
  - Increased the square footage of retail with the addition of basement level retail space with staircase to lower level from the ground floor retail
- 2<sup>nd</sup> Street – Ground level changes include:
  - Addition of a light well on the Leadville side of the building
  - Entrance to the retail space moved from the recessed entry to be street facing on 2<sup>nd</sup> Street
  - Windows on 2<sup>nd</sup> Street provide direct view into retail space rather than staircase to basement dwelling unit
- North Elevation – the material on northern portion of the façade has changed to the red brick wrapping the building on the top level of the building. There is additional brick detailing on the horizontal and vertical red brick portions of the building.

## II. CONFORMANCE WITH ZONING AND DESIGN REVIEW STANDARDS:

Per Ketchum Municipal Code (KMC) §17.96.010.A – *Applicability*, design review is required for all new mixed-use buildings. Before granting Design Review approval, the Commission must determine that the application meets two criteria: (1) the project doesn't jeopardize the health, safety, or welfare of the public, and (2) the project conforms to all Design Review standards and zoning regulations (KMC §17.96.050.A).

### Conformance with Zoning Regulations

The proposed changes do not impact the project's conformance with the zoning regulations, including dimensional standards, applicable to the project. The project remains in conformance with all zoning requirements.

### Conformance with Design Review Improvements and Standards

Staff believes the proposed changes to the basement and ground floor of the project address the staff and commission comments very well. The relocation of the staircase at the corner of 2<sup>nd</sup> and Leadville opens the views into the retail space and emphasizes the commercial elements of the building. The reorganization also creates additional retail space and increases the size of the basement dwelling unit which are all desirable outcomes. A such, staff believes the comments related to ground floor activation to be resolved with the revised design.

Staff conducted a meeting with the applicant and Idaho Power to discuss screening of the proposed transformer. Staff believes the proposed landscaping to be an improvement over the previous proposal and supports the revised screening.

The applicant has made revisions to the north elevation of building, however, staff is concerned that the changes proposed do not resolve the Commission's comments. The Design Review criteria outlines that "Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness" and that "Facades facing a street or alley or located more than five feet from an interior side property line shall be designed with both solid surfaces and window openings to avoid the creation of blank walls and employ similar architectural elements, materials, and colors as the front façade". The changes to the brick coloring on the top portion of the building accentuates the building's height and length and is fully exposed to the street. Although there is additional brick detailing, it is subtle and does not assist in reducing the appearance of the bulk of the building or the flatness of the elevation. Staff recommends further consideration of this façade by the applicant through more extensive façade treatments or adjustments of roof lines or façade walls to create adequate undulation/relief.

### **III. STAFF RECOMMENDATION**

Staff requests the Commission review the Design Review application and provided feedback to the applicant on the proposed revisions.

#### **ATTACHMENTS:**

- A. Staff Report – November 29, 2022 Planning and Zoning Commission Meeting
- B. Application Materials – Revised Design Review Plan Set
- C. Public Comment



City of Ketchum

**ATTACHMENT A:**  
**Staff Report– November 29,**  
**2022 Planning and Zoning**  
**Commission Meeting**



City of Ketchum  
Planning & Building

**STAFF REPORT**  
**KETCHUM PLANNING AND ZONING COMMISSION**  
**SPECIAL MEETING OF NOVEMBER 29, 2022**

- PROJECT:** The 208 Condos
- FILE NUMBER:** P22-035 and P22-035A
- APPLICATION TYPE:** Final Design Review and Subdivision – Condominium Preliminary Plat
- APPLICANT:** Nicole Ramey, Medici Architects (Architect)
- PROPERTY OWNER:** 755 S Broadway, LLC
- REQUEST:** Final Design Review and Condominium Preliminary Plat application for the development of a new, 11,663 square foot, three-story mixed-use building
- LOCATION:** 200 N Leadville Avenue - Ketchum Townsite: Block 23: Lot 1
- ZONING:** Community Core – Subdistrict 2 – Mixed Use (CC-2)
- REVIEWER:** Morgan R. Landers, AICP – Senior Planner
- NOTICE:** A public hearing notice for the project was mailed to all owners of property within 300 feet of the project site and all political subdivisions on November 7, 2022. The public hearing notice was published in the Idaho Mountain Express on November 9, 2022. A notice was posted on the project site and the city’s website on November 7, 2022. Story poles were verified on the subject property on November 22, 2022.

**I. EXECUTIVE SUMMARY:**



Figure 1: Conceptual Rendering of “The 208 Condos”

The Applicant is proposing an 11,663 square foot three-story mixed-use development known as The 208 Condominiums (the “project”), located at 200 N Leadville Avenue (the “subject property”). The development is not subject to the interim ordinance as the applications were deemed complete prior to the effective date of the ordinance.

The subject property is a vacant corner lot zoned Community Core -Subdistrict 2 - Mixed Use (CC-2) just southeast of the Kneadery and VP Companies offices, across from Vintage restaurant and another vacant lot on the opposite corner.

As proposed, the project includes 1,306 square feet of ground floor retail, and four residential dwelling units as follows:

- One dwelling unit in the basement – 704 net square feet (NSF)

- Two dwelling units on the second floor – 749 NSF and 2,587 NSF
- One dwelling unit on the third floor – 3,514 NSF

Based on the size of the units, a total of 4 parking spaces are required for the residential units. The project proposes two two-car garages. The retail space and the two residential units less than 750 net square feet are exempt from parking requirements. Please see Attachment B for floor plans of each floor and corresponding square footage calculations.

The project proposes to take advantage of the Floor Area Ratio (FAR) bonus in exchange for community housing, mitigating the additional floor area by making a community housing in-lieu payment of \$421,650. The total FAR for the project is 2.0, where 1.0 is permitted by right. An FAR Exceedance Agreement for the in-lieu payment was approved by City Council on November 21, 2022. See Attachment E for the FAR calculations for the project.

The project will construct improvements to the right-of-way per the City of Ketchum improvement standards including, three streetlights, asphalt alley, curb and gutter, and 8-foot sidewalks. The project proposes to snowmelt the sidewalks adjacent to the project. The city engineer and streets department has conducted a preliminary review all improvements and believes the improvements to meet the city's standards. Final review of all improvements to the right-of-way will be conducted by the City Engineer and Streets Department prior to issuance of a building permit. An encroachment permit approved by the City Council will be required for the snow melt system.

Staff believes the project conforms to the zoning and dimensional standard requirements and most of the design review criteria. Staff also believes the project conforms with the subdivision preliminary plat and condominium preliminary plat requirements. However, staff has concerns related to the placement of the transformer and the activation of the 2<sup>nd</sup> Street façade. Staff recommends the Commission review the application and provide feedback to the applicant on potential revisions to address staff's concerns.

## **II. BACKGROUND:**

The City of Ketchum received the application for Final Design Review and condominium preliminary plat on July 1, 2022. The Final Design and Preliminary Plat applications have been reviewed concurrently and were deemed complete on October 14, 2022. Department comments were provided to the applicant on July 27, 2022, and additional comments provided on October 14, 2022. As of the date of this report, most comments have been resolved or are addressed by conditions of approval. Staff has outstanding concerns related to the location of the proposed transformer and 2<sup>nd</sup> Street façade as outlined further below.

## **III. CONFORMANCE WITH ZONING AND DESIGN REVIEW STANDARDS:**

Per Ketchum Municipal Code (KMC) §17.96.010.A – *Applicability*, design review is required for all new mixed-use buildings. Before granting Design Review approval, the Commission must determine that the application meets two criteria: (1) the project doesn't jeopardize the health, safety, or welfare of the public, and (2) the project conforms to all Design Review standards and zoning regulations (KMC §17.96.050.A).

### **Conformance with Zoning Regulations**

During department review, city staff reviewed the project for conformance with all applicable zoning code requirements including uses, dimensional limitations, signage, parking, development standards, and dark skies. The project follows all applicable zoning code requirements. Please see Attachment E for a full review of dimensional standards.

The proposed development is not subject to the interim ordinance as the application was deemed complete prior to the effective date of the ordinance. However, for information only, staff has provided an overview of

how the project would conform to the interim ordinance as Attachment H. This is for information and reference only and does not represent criteria by which the development should or can be evaluated.

Staff believes the proposed development meets all zoning and dimensional standards as outlined in the applicable sections of the KMC.

### Conformance with Design Review Improvements and Standards

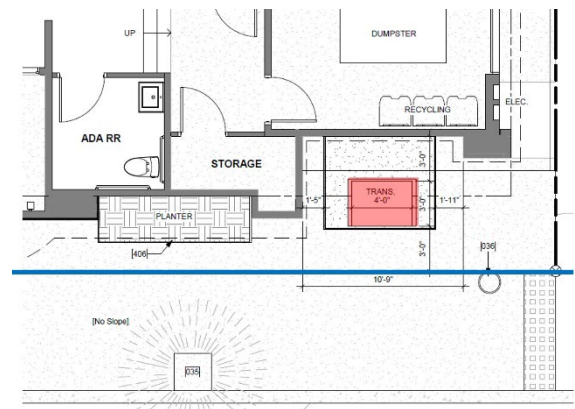
During department review, city staff reviewed the project for conformance with all applicable design review improvements and standards outlined in KMC §17.96.060 – *Improvements and Standards*. Staff also reviewed the development for conformance with KMC §17.96.070 – *Community Core (CC) Projects*. Finally, staff reviewed the development for conformance with all corresponding city code requirements related to right-of-way improvements including but not limited to sidewalks, street lighting, alleys, and on-street parking.

Staff believes that either a requirement is not applicable due to the scope of the project, or requirements are met, except for the placement of the transformer and activation of the 2<sup>nd</sup> Street façade and further discussed below. Please see Attachment F for a review of all design review improvements and standards.

### Transformer Location

Per Section 17.96.060.D.2 “Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view”. Additionally, Criteria 17.96.060.C.2 states “Roof and ground mounted mechanical and electrical equipment shall be fully screened from public view. Screening shall be compatible with the overall building design.” The subject property was previously served by an above ground power line that crossed the alley from the north to a power pole on the subject property as shown on the Sheet titled “ALTA” of Attachment B. At the owner’s expense, the above ground lines have already been removed. The applicant proposes to serve the development by below grade power from the alley to a transformer at the rear of the building adjacent to the sidewalk as shown in Figure 2 to the right.

Figure 2: Proposed Transformer Location.

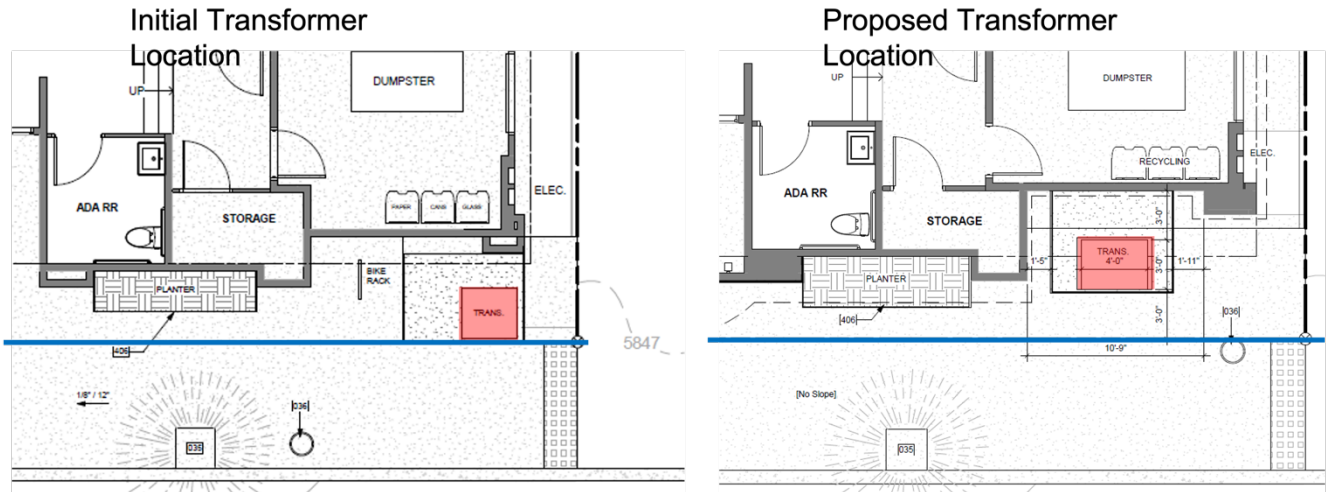


Staff is not supportive of the current location as it does not meet the criteria outlined above specific to screening. Staff also believes the location to be contradictory to the placement of transformers in recent projects within the downtown that have effectively screened transformers. Many projects place this equipment within the rear of the building, opposite pedestrian walkways, and concealed by the building or other substantial screening. Approval of this location would be a departure from what many projects in the community core have designed to and accommodated. The currently proposed location is an improvement from the initial application submittal; however, staff does not believe the placement and screening to be sufficient.

For context, during department review of the initial application, planning staff expressed concern that the location of the transformer did not meet setback and clearance requirements and was not fully screened from public view with the proposed metal screening. Staff recommended the applicant team evaluate relocation of the transformer to the northern property boundary to provide more separation and screening between the sidewalk and the equipment. Staff also recommended the applicant consider open tuck-under parking as that would allow for a more flexible use of the limited space off the alley. Enclosed garage space requires square foot allocation for walls, doors, access and circulation.

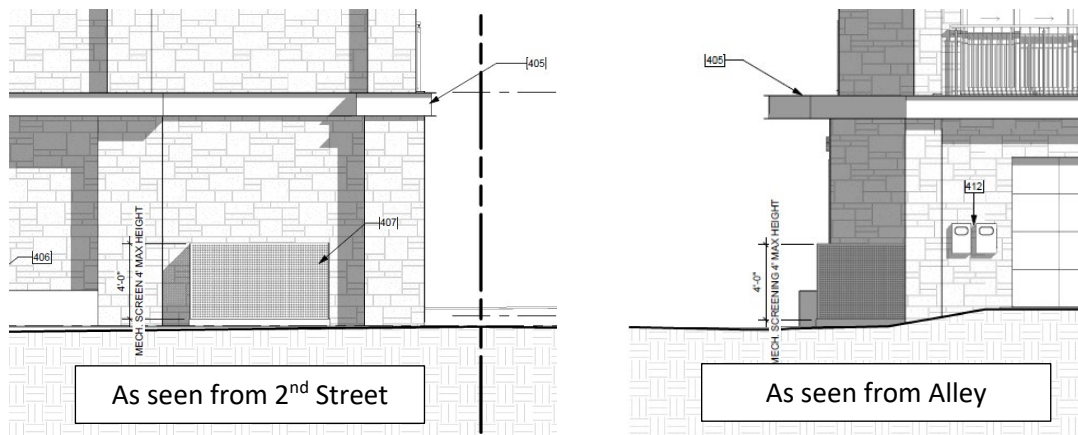
Upon resubmittal of the application materials, the applicant team made some changes to the transformer placement by setting it back to meet clearance requirements but did not move the transformer from the general location. The applicant represents that all options were evaluated and that no other location for the transformer is feasible based on clearance requirements, the applicant's desire to have enclosed parking, and the constrained space allocated to various uses on the ground floor. Figure 3 below shows the initial transformer location on the left and the proposed transformer location on the right. The transformer is highlighted in red and the subject property boundary adjacent to the 2<sup>nd</sup> Street sidewalk is shown in blue.

Figure 3: Initial and Proposed Transformer Locations



The proposed screening is a 4-foot-high metal mesh panel as shown below in Figure 4 below.

Figure 4: Proposed Screening of Transformer



Staff believes the current location is preferable to the initial application, however, the transformer will still be visible by the public at all times of year due to the proximity to the public sidewalk. Staff also has concerns about the metal screening. This screening is seen in other areas of downtown with little practical success. Metal paneling is prone to freezing in the wintertime, causing Idaho Power to break the panels to get access to transformers. Often, repair of the screens by the property management or homeowner's association takes an extended period of time resulting in either no screening, or broken screening that may obstruct alleys or sidewalks.

Staff believes that consistent application of the design review criteria is important as the city has made positive progress in the placement of equipment over the past couple of years from previous practice. If allowed to place the transformer in the proposed location, the project is setting an example that would be considered



acceptable to the city and will likely be employed on other projects. Based on these concerns, staff recommends the following alternatives to what is currently proposed:

- Evaluate the configuration of ground floor parking and uses to create an adequate space for the transformer in the rear of the property along the northern property boundary
- Screen the transformer with landscaping that will soften the aesthetic of the transformer and adequately screen the equipment year-round. Staff recommends shrubs rather than tall grasses as the grasses are cut down during the winter and will expose the equipment.

### Activation of Ground Floor at Corner

Per Section 17.96.070.B.2, “For nonresidential portions of buildings, front building facades and facades fronting a pedestrian walkway shall be designed with ground floor storefront windows and doors with clear transparent glass. Landscaping planters shall be incorporated into facades fronting pedestrian walkways.” During department review, staff expressed concerns about the placement of the entrance to the basement residential unit and the recessed nature of the retail and residential entrance on 2<sup>nd</sup> Ave. Although the façade along the stairwell includes storefront type windows with associated landscape planters, the placement of the stairwell at the prominent corner of the building and the recessed nature of the main entrance takes away opportunities to maximize activation of the street along 2<sup>nd</sup> Street. On many corner lot developments in the downtown, the focus of activating the street should be at the corner with facades becoming less activated toward the alley where there is usually parking, utilities, trash, and other back of house uses. As shown in Figures 5 and 6 below, only a small portion of the 2<sup>nd</sup> Street façade will have activation at the street level adjacent to the sidewalk. Figure 5 is a plan view of the uses adjacent to the 2<sup>nd</sup> Street façade and Figure 6 shows how those uses translate to the building’s elevation. See the paragraph below for a description of the color coding.

Figure 5: 2nd Street Facade (plan view)

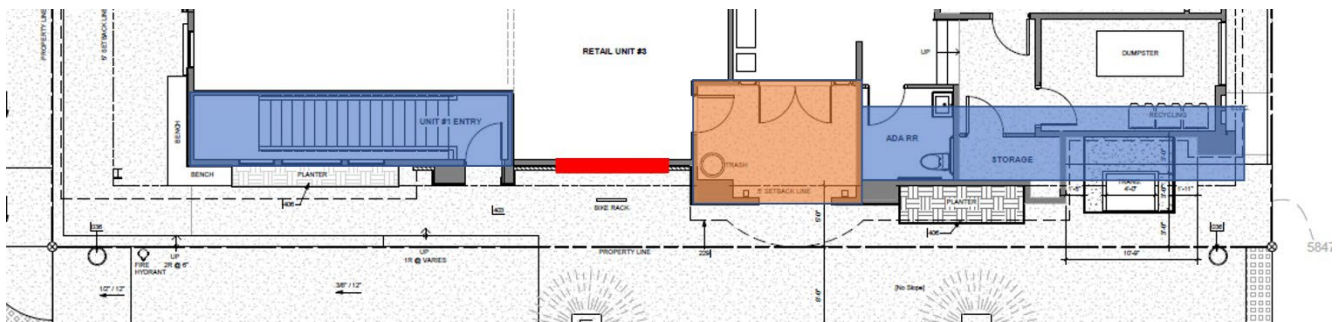


Figure 6: 2nd Street Facade (elevation)



The blue shading notates the stairwell to the basement on the corner and the back of house uses along the façade toward the alley. The orange notes the recessed entry to the building which includes a side entrance to the retail space and the primary entrance for the upper-level residential uses. The red line notates the portion of the façade with direct visibility into the retail space. The intent of the design review criteria is to ensure activation of the street by providing interest for pedestrians. Retail uses rely heavily on “window shopping” potential, which is not supported by the placement of the stairwell in its currently location. Staff recommended the applicant review alternative placement of the stairwell; however the applicant team

represents this is the best location for the purpose of bringing in natural light into the basement unit. The applicant also represents a desire to create a prominent entrance to the upper floor residential units that sets this portion of the building apart from the other uses.

Although staff understands these desires, staff believes the placement of these features diminishes the activation of the street and closes the building off from the pedestrian realm. Staff recommends the applicant consider the following alternatives:

- Relocate the stairwell to the basement residential unit to allow for full visibility of the retail space.
- Reduce the size of the recessed entry to allow for the relocation of the retail entrance to be placed directly onto 2<sup>nd</sup> Street.

#### Exposed Wall on North Facade

The north facade of the proposed building faces toward the Kneadery, adjacent to the VP Companies office and has a zero-foot setback from the property line. Section 17.96.070.B.1 states “Facades facing a street or alley or located more than five feet from an interior side property line shall be designed with both solid surfaces and window openings to avoid the creation of blank walls and employ similar architectural elements, materials, and colors as the front façade”. Although this standard does not directly apply to this façade as it is not set back from the property line, the adjacent building is a one-story building with a pitched roof and has significant setbacks from property lines. Some vegetation is present, although sparse. As shown in the southwest perspective on Sheet A4.4, the north façade will be visible until redevelopment of the adjacent property. As shown in the renderings on Sheet A4.4 and elevation on Sheet A4.3, the development proposes some horizontal banding and a mural to add interest to the building and to reduce the perceived mass of the structure.

In general, staff believes the proposed development meets the design review criteria except for the placement of the transformer and potential activation of the 2<sup>nd</sup> Street facade. Staff requests the Commission review the proposed development and provide feedback to the applicant on the transformer location and 2<sup>nd</sup> Street activation.

#### **IV. CONFORMANCE WITH SUBDIVISION STANDARDS**

During Department Review, staff reviewed the preliminary plat application for conformance with KMC 16.04.030 – *Procedures for subdivision approval*, KMC 16.04.040 – *Development and Design*, and KMC 16.04.070 – *Condominiums*. Please see Attachment G for the review of all requirements and standards. Where “N/A” is checked, the standard is not applicable for one of three reasons:

- The standard applies to the creation of new subdivisions, not the subject property, which is an existing platted lot within the original Ketchum Townsite.
- The standard applies to action that shall be taken at the final plat stage of the process and this application is for a preliminary plat.
- Per provisions of the standard, the City Engineer has determined that the standard does not apply.

The alley between N Leadville Ave and East Ave meets the city’s minimum width requirement of 20 feet. The proposed building is set back 3 feet from the alley, allowing adequate turning movements for vehicles entering and exiting the enclosed garages. The development will reconstruct the alley as shown in the right-of-way improvements plan on Sheet C2.0 of Attachment B. Reconstruction of the alley will include regrading of the alley to meet slope requirements, address drainage issues for the length of the subject property, and tie into the existing sidewalk to the east across the alley.

Staff believes the proposed preliminary plat meets all the subdivision requirements and standards for a preliminary plat and condominium map.

#### **V. STAFF RECOMMENDATION**

Staff requests the Commission review the Design Review application and provided feedback to the applicant on the transformer location and the 2<sup>nd</sup> Street façade activation.

**ATTACHMENTS:**

- A. Application Materials – Design Review application and supplemental materials
- B. Application Materials - Design Review Plan Set
- C. Application Materials – Preliminary Plat application and supplemental materials
- D. Application Materials – Preliminary Plat Plan Set
- E. Zoning and Dimensional Standards Analysis
- F. Design Review Criteria Analysis
- G. Condominium Preliminary Plat Analysis
- H. Interim Ordinance Analysis – Information Only



City of Ketchum

**ATTACHMENT B:**  
**Application Materials – Revised**  
**Design Review Plan Set**

# THE 208



NOTE: 3D RENDERINGS ARE FOR ILLUSTRATIVE PURPOSES ONLY. NOT TO BE USED FOR CONSTRUCTION.

## ZONING REQUIREMENTS

**JURISDICTION:** CITY OF KETCHUM, ID  
**ZONING:** CC COMMUNITY CORE, SUBDISTRICT 2-MIXED USE  
**PARCEL ASSESSOR'S #:** RPK00000230010  
**LOT SIZE:** 5,504 SF = 0.13 ACRE

**LEGAL DESCRIPTION:**  
 LOT 1, BLOCK 23 OF THE VILLAGE OF KETCHUM, BLAINE COUNTY, IDAHO, ACCORDING TO THE OFFICIAL PLAT THEREOF, RECORDED AS INSTRUMENT NO. 302967, RECORDS OF BLAINE COUNTY, IDAHO.

**MAXIMUMS:**  
 MAX. FAR: 2.25 WITH INCLUSIONARY HOUSING INCENTIVE  
 REFER TO SHEET A0.3  
 MAX. BUILDING COVERAGE: 75% (SF)  
 MAX. HEIGHT: 42' ABOVE ABE

**SETBACKS:**  
 -FRONT AND STREET SIDE 5' AVERAGE  
 -ADJACENT TO ALLEYWAY 3'  
 -NON-HABITABLE STRUCTURES LOCATED ON BUILDING ROOF-TOPS 10'

## CODE INFORMATION

ALL MATERIALS, WORKMANSHIP, DESIGN AND CONSTRUCTION SHALL CONFORM TO THE DRAWINGS, SPECIFICATIONS, AND THE FOLLOWING APPLICABLE CODES USED IN THIS DESIGN FOR CITY OF KETCHUM.

- 2018 INTERNATIONAL BUILDING CODE (IBC)
- 2018 INTERNATIONAL FIRE CODE
- INCLUDING AMENDMENTS PER KETCHUM ORDINANCE
- 2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
- INCLUDING AMENDMENTS BY THE IDAHO BUILDING CODE BOARD
- 2018 INTERNATIONAL FIRE CODE (IFC)
- INCLUDING AMENDMENTS PER KETCHUM ORDINANCE
- 2018 CITY OF KETCHUM MUNICIPAL CODE
- INCLUDING KETCHUM GREEN BUILDING CODE
- 2018 INTERNATIONAL FUEL GAS CODE (IFGC)
- 2018 INTERNATIONAL MECHANICAL CODE (IMC)
- 2018 NATIONAL ELECTRIC CODE (NEC)
- 2018 IDAHO STATE PLUMBING CODE (ISPC)

## ACCESSIBLE UNITS

PROJECT CONTAINS (4) UNITS TOTAL:  
 (3)TYPE B UNITS PROVIDED, PER IBC CHAPTER 11

**PARKING:**  
 RETAIL: EXEMPT LESS THAN 5,500 SF 0 SPACES  
 RESIDENTIAL: 4 SPACES

## INDEX OF DRAWINGS

**A0.0** TITLE SHEET & SYMBOLS  
**CIVIL SHEET INDEX**  
 1 OF 4 PRELIMINARY PLAT  
 2 OF 4 PRELIMINARY PLAT  
 3 OF 4 PRELIMINARY PLAT  
 4 OF 4 PRELIMINARY PLAT

**C0.10** COVER SHEET  
**ALTA** EXISTING SITE CONDITIONS  
**C1.00** SITE GEOMETRY PLAN  
**C2.00** SITE GRADING, DRAINAGE, AND UTILITY PLAN  
**C2.10** DETAIL SHEET  
**C2.11** DETAIL SHEET

## LANDSCAPE SHEET INDEX

**L1.00** LANDSCAPE SITE PLAN  
**L1.01** ROOFTOP LAYOUT PLAN

## ARCHITECTURAL SHEET INDEX

**A0.1** SITE PLAN  
**A0.3** DESIGN REVIEW FLOOR AREA DIAGRAM  
**A2.0** LOWER LEVEL PLAN  
**A2.1** 1ST FLOOR PLAN  
**A2.2** 2ND FLOOR PLAN  
**A3.0** ROOF PLAN  
**A4.0** ELEVATIONS  
**A4.1** ELEVATIONS  
**A4.2** ELEVATIONS  
**A4.3** ELEVATIONS  
**A4.4** PERSPECTIVES  
**A5.0** SECTION  
**A5.1** EXTERIAL MATERIALS  
**A5.2** EXTERIOR LIGHTING PLAN  
**A5.3** SPEC SHEET

## ELECTRICAL SHEET INDEX

**E0.1** PHOTOMETRIC LIGHTING  
**E0.2** SITE PHOTOMETRICS BUILDING

## DESIGN REVIEW APPLICATION REQUIREMENTS

**TITLE 17 - CHAPTER 17.96 DESIGN REVIEW:**  
 17.96.04.C.2.f. FLOOR PLAN. LIST GROSS AND NET SQUARE FOOTAGE FOR EACH FLOOR. LIST OCCUPANCY CLASSIFICATION AND TYPE OF CONSTRUCTION.

**OCCUPANCY CLASSIFICATION:**  
 M - MERCANTILE (RETAIL AREAS)  
 R-2 - RESIDENTIAL  
 S-2 - PARKING AREAS

## TYPE OF CONSTRUCTION:

**V-B**  
 NOTE: METHOD FOR MEASURING FLOOR AREA (GROSS) PER CHAPTER 17.08 DEFINITIONS:  
 THE SUM OF HORIZONTAL AREA OF THE BUILDING MEASURED ALONG THE OUTSIDE WALLS OF EACH FLOOR OF A BUILDING OR PORTION OF A BUILDING, INCLUDING STAIR TOWERS AND ELEVATORS ON THE GROUND FLOOR ONLY, AND 50 PERCENT OF ATRIUMS OVER 18 FEET PLATE HEIGHT, BUT NOT INCLUDING BASEMENTS, UNDERGROUND PARKING AREAS OR OPEN UNENCLOSED DECKS. PARKING AREAS COVERED BY A ROOF OR PORTION OF THE BUILDING AND ENCLOSED ON THREE OR MORE SIDES BY BUILDING WALLS ARE INCLUDED. FOUR PARKING STALLS FOR DEVELOPMENTS ON SINGLE KETCHUM TOWN SITE LOTS OF 5,600 SF IN SIZE OR LESS ARE NOT INCLUDED IN THE GROSS FLOOR AREA CALCULATION.

NOTE: METHOD FOR MEASURING FLOOR AREA (NET) PER CHAPTER 17.08 DEFINITIONS:  
 THE SUM OF HORIZONTAL AREAS OF ALL FLOORS IN A BUILDING INCLUDING BASEMENTS BUT NOT INCLUDING OPEN UNENCLOSED DECKS, INTERIOR OR EXTERIOR CIRCULATION, MECHANICAL EQUIPMENT ROOMS, PARKING AREAS, COMMON AREAS, PUBLIC BATHROOMS OR STORAGE AREAS IN BASEMENTS.

## PROJECT DATA

**PROJECT DESCRIPTION:** NEW CONSTRUCTION OF MIXED USE AND COMMERCIAL BUILDING  
**OWNER:** MICHAEL CARR  
 2867 SOUTH TACOMA WAY  
 TACOMA, WA 98409  
 P:206.423.3121  
 E:MIKEC@PERFORMANCERADIATOR.COM

**ARCHITECT:** MEDICI ARCHITECTS  
 SHERMAN, JONATHAN  
 200 WEST RIVER STREET #301  
 KETCHUM, ID 83340  
 P: 208.726.0194  
 E: EMILY@MEDICIARCHITECTS.COM

**DESIGNER:** EXECUTIVE DESIGN SERVICES  
 SHERMAN, JONATHAN  
 FRIDAY HARBOR, WA 98250  
 P:206.383.4526  
 E:JONATHANDESIGN007@GMAIL.COM

**CIVIL ENGINEER:** GALENA ENGINEERING, INC  
 317 N. RIVER STREET  
 HAILEY, IDAHO 83333  
 P: 208.788.1705  
 E:GALENA@GALENA-ENGINEERING.COM

**LANDSCAPE ARCHITECT:** LYON LANDSCAPE ARCHITECTS  
 126 SOUTH MAIN STREET, SUITE B1  
 HAILEY, IDAHO 83333  
 P:253.209.4053  
 E:MOGHAN@LYONLA.COM

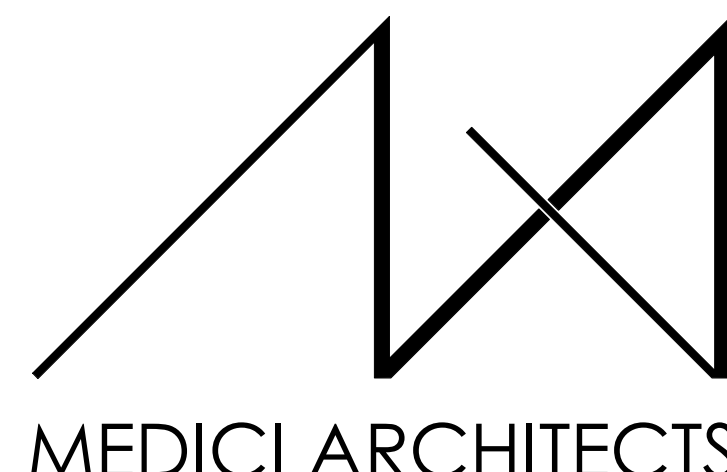
**GENERAL CONTRACTOR:** CONRAD BROTHERS  
 105 LEWIS ST SUITE 101  
 KETCHUM, IDAHO 83340  
 P:208.309.1200  
 E:PAUL@CONRADBROTHERSCONSTRUCTION.COM

**ELECTRICAL ENGINEER:** ABOSSEIN ENGINEERING  
 18465 NE 68TH STREET #22  
 REDMOND, WA 98052  
 P:425.462.9441  
 E:CSERVICE@ABOSSEIN.COM

**CITY OF KETCHUM LIGHTING CONSULTANT:** THE MH COMPANIES  
 2995 N COLE RD SUITE 115  
 BOISE, IDAHO 83704  
 P:208.609.3722  
 E:CARSON@MHLIGHTING.COM

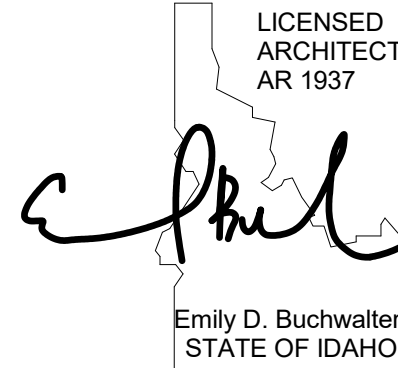


**VICINITY MAP**  
 1/4" = 1'-0"



11711 SE 8TH STREET SUITE 100  
 BELLEVUE, WA 98005  
 TEL: (425) 453-9298  
 200 W. RIVER ST. SUITE 301  
 KETCHUM, ID 83340  
 TEL: (208) 726-0194

## REGISTRATION:



**INTAKE DATE:** 10/12/22

**REVISIONS:** DATE:

NO.	DESCRIPTION	DATE

## PROJECT / CLIENT:

**THE 208 BUILDING**

CARR, MICHAEL

## JOB ADDRESS:

200 N LEADVILLE KETCHUM  
 IDAHO, 83340  
 PARCEL #RPK00000230010

## SYMBOL LEGEND

(A)	GRID LINES	EXISTING WALL
(1)	PROJECT BASE POINT	EXISTING WALL TO DEMO
(2)	REFERENCE ELEVATION POINT	2X WALLS
(3)	PROPERTY CORNER	FOUNDATION WALL
(4)	PROPERTY LINE	CONCRETE SURFACE
(5)	CENTER LINE	CAST IN PLACE CONCRETE
(6)	TOP OF WALL ELEVATION	STRUCTURAL POST - SIZE AND TYPE PER STRUCTURAL PLAN
(7)	PROPERTY LINE TAG	GAS OUTLET
(8)	SECTIONS FOUND ON SHEET A101	GAS
(9)	DETAIL SECTION FOUND ON SHEET A101	GAS METER
(10)	INTERIOR ELEVATION FOUND ON SHEET A1.0	HOSE BIB
(11)		DOWNSPOUT
(12)		METER
(13)		ELECTRICAL METER
(14)		ELECTRICAL PANEL
(15)		UNDISTURBED EARTH
(16)		COMPACTED FILL
(17)		GRAVEL
(18)		RIGID OR SPRAY INSULATION
(19)		BIBS BLOW-IN INSULATION
(20)		STONE
(21)		BATT INSULATION
(22)		EXHAUST FAN
(23)		VENT TO OUTSIDE
(24)		WINDOW TAG NUMBER
(25)		WHOLE HOUSE FAN CONTROL
(26)		KEY NOTES

## ABBREVIATIONS

AFF	ABOVE FINISH FLOOR	PICT	PICTURE
A/C	AIR CONDITIONING	PLAM	PLASTIC LAMINATE
AHU	AIR HANDLING UNIT	PSF	POUNDS PER SQUARE FOOT
ALT	ALTERNATE	PSI	POUNDS PER SQUARE INCH
ALUM	ALUMINUM	PL	PROPERTY LINE
ANOD	ANODIZED	PNA	PROTECTED NATURAL AREA
BSMT	BASEMENT	QTY	QUANTITY
BLK	BLOCK	REF	REFRIGERATOR
BS	BOTH SIDES	REQD	REQUIRED
BLDG	BUILDING	REV	REVISION
CAB	CABINET	R	RISER
CB	CATCH BASIN	RM	ROOM
CLG	CEILING	RO	ROUGH OPENING
CLR	CLEAR	SG	SAFETY GLASS
CL	CLOSET	SM	SMILAR
CONC	CONCRETE	SH	SINGLE HUNG
CMU	CONCRETE MASONRY UNIT	SOG	SLAB ON GRADE
CONT	CONTINUOUS	SPEC	SPECIFICATION
CJ	CONTROL JOINT	SF	SQUARE FOOT
CPT	CARPET	SS	STAINLESS STEEL
CSMT	CASSEMENT	STD	STANDARD
CF	CUBIC FOOT	STL	STEEL
DIA	DIAMETER	STOR	STORAGE
DBH	DIAMETER BREST HEIGHT	SZ	STORM DRAIN
DIM	DIMENSION	SUP	SUPPLEMENTAL
DW	DISHWASHER	TV	TELEVISION
DH	DOUBLE HUNG	TEMP	TEMPORARY
DN	DOWN	TP	TOILET PAPER DISPENSER
DS	DOWNSPOUT	T&G	TONGUE & GROOVE
D	DRYER	TO	TOP OF
EA	EACH	TOW	TOP OF WALL
ELEC	ELECTRICAL	TB	TOWEL BAR
EP	ELECTRICAL PANEL	T	TREAD
ELEV	ELEVATION	TPZ	TREE PROTECTION ZONE
EQ	EQUAL	TYP	TYPICAL
EXT	EXTERIOR	UNO	UNLESS NOTED OTHERWISE
EXIST	EXISTING	VB	VAPOR BARRIER
FFE	FINISH FLOOR ELEVATION	VTOS	VENT TO OUTSIDE
FRD	FIRE RATE DOOR	VF	VERIFY IN FIELD
FRW	FIRE RATE WINDOW	VF	VERTICAL
FXD	FIXED	VC	VERTICAL GRAIN
FIXT	FIXTURE	WC	WATER CLOSET
FAR	FLOOR AREA RATIO	WH	WATER HEATER
FTG	FOOTING	WRB	WATER RESISTANT BARRIER
FAU	FORCED AIR UNIT	W	WASHER
FDN	FOUNDATION	WHF	WHOLE HOUSE FAN
FURN	FURNACE	W	WINDOW
GFA	GROSS FLOOR AREA	WI	WITH
HWD	HARDWOOD	W/O	WITHOUT
HDR	HEADER	WP	WATER PROOFING
HVAC	HEATING, VENTILATION & A/C	YD	YARD
HT	HEIGHT		
HRZ	HORIZONTAL		
HR	HOUR		
INCL	INCLUDE (ED/ING)		
INT	INTERIOR		
LED	LIGHT EMITTING DIODE		
LOD	LIMIT OF DISTURBANCE		
LF	LINEAR FEET		
MANUF	MANUFACTURER		
MAX	MAXIMUM		
MECH	MECHANICAL		
MED	MEDIUM		
MIN	MINIMUM		
MISC	MISCELLANEOUS		
NIC	NOT IN CONTRACT		
NTS	NOT TO SCALE		
NO	NUMBER		
OC	ON CENTER		
PERF	PERFORATED		

## DRAWING NAME:

TITLE SHEET

Drawn By: NR/AR

Checked By: EB

Owner Approval:

## PHASE:

CONSTRUCTION DRAWINGS

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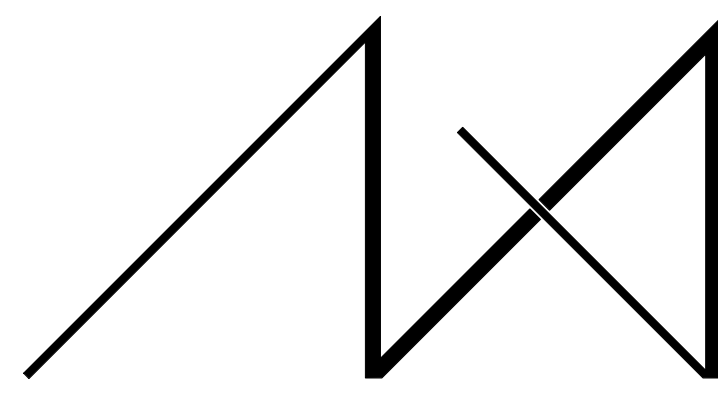
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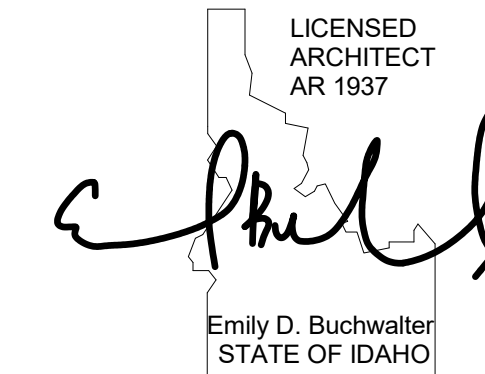
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MEDICI ARCHITECTS

11711 SE 8TH STREET SUITE 100 BELLEVUE, WA 98005 TEL: (425) 453-9298  
200 W. RIVER ST. SUITE 301 KETCHUM, ID 83340 TEL: (208) 726-0194

REGISTRATION:



INTAKE DATE: 10/12/22

REVISIONS: DATE:

REVISIONS:	DATE:

PROJECT / CLIENT:

THE 208 BUILDING

CARR, MICHAEL

JOB ADDRESS:

200 N LEADVILLE KETCHUM IDAHO, 83340  
PARCEL #RPK00000230010

DRAWING NAME:

SITE PLAN

Drawn By: NR/AR

Checked By: EB

Owner Approval:

PHASE:

CONSTRUCTION DRAWINGS

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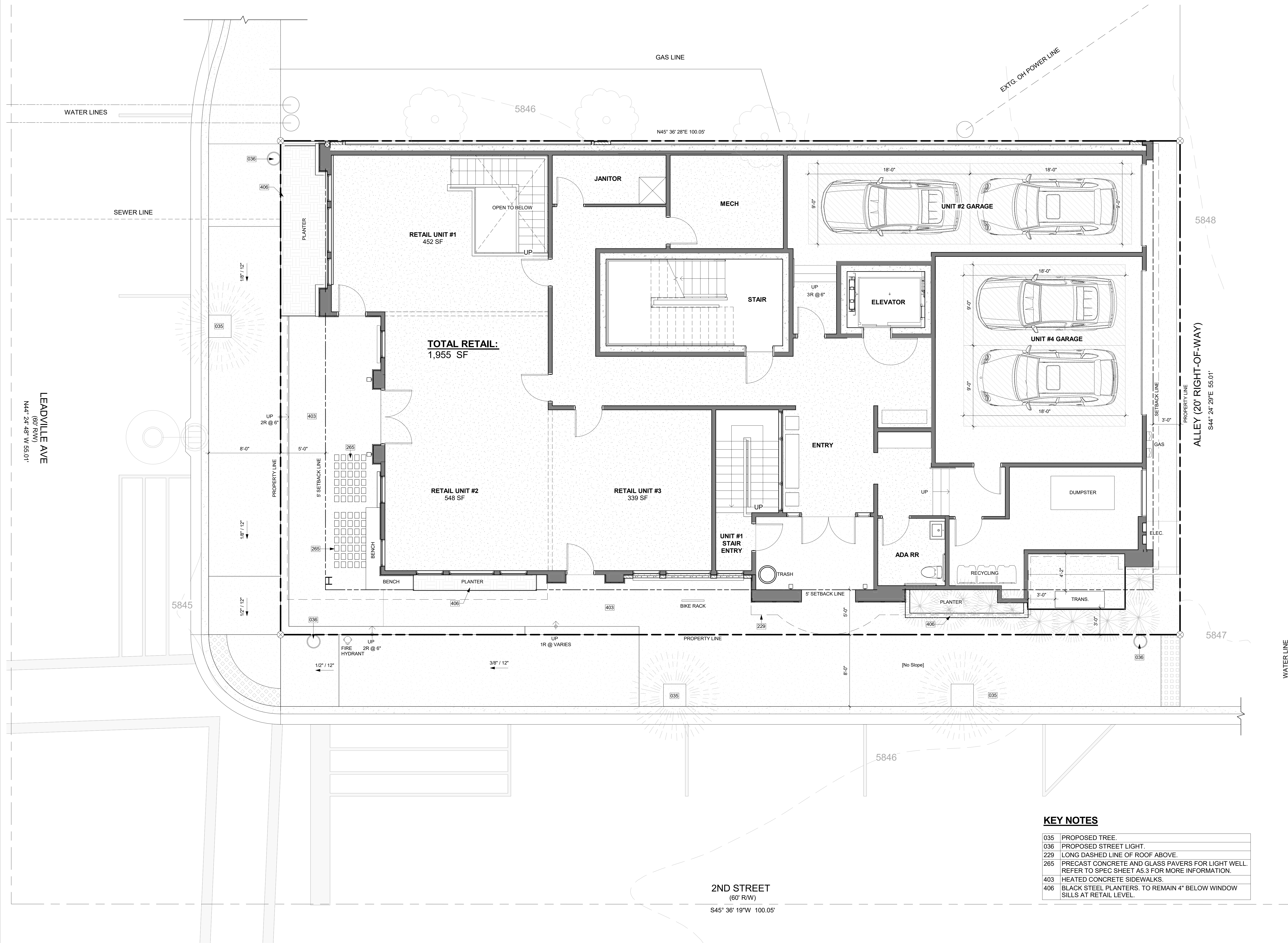
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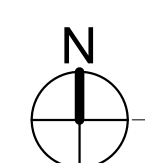
SITE PLAN 1  
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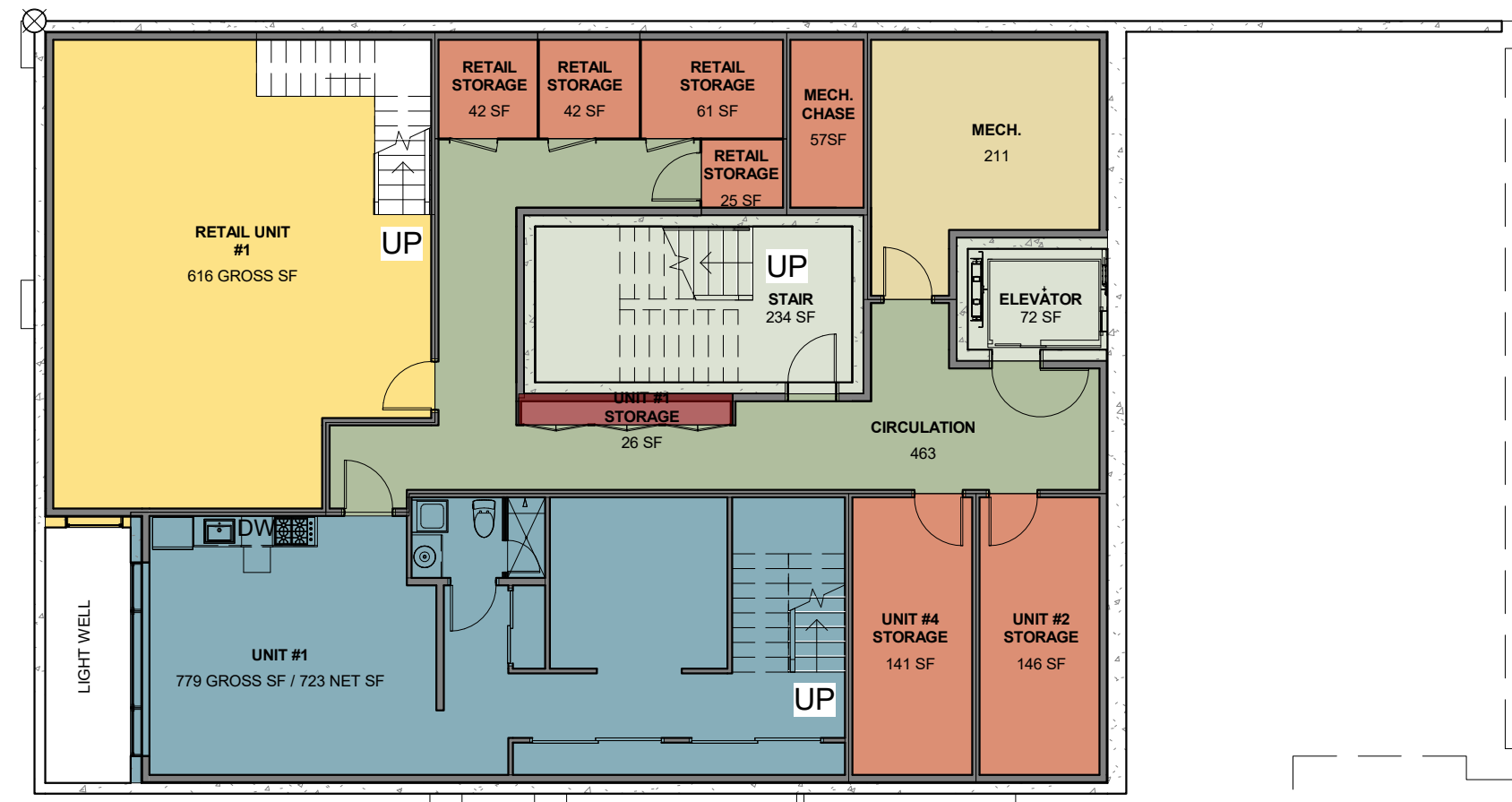
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KEY NOTES

035	PROPOSED TREE.
036	PROPOSED STREET LIGHT.
229	LONG DASHED LINE OF ROOF ABOVE.
265	PRECAST CONCRETE AND GLASS PAVERS FOR LIGHT WELL. REFER TO SPEC SHEET A5.3 FOR MORE INFORMATION.
403	HEATED CONCRETE SIDEWALKS.
406	BLACK STEEL PLANTERS. TO REMAIN 4" BELOW WINDOW SILLS AT RETAIL LEVEL.

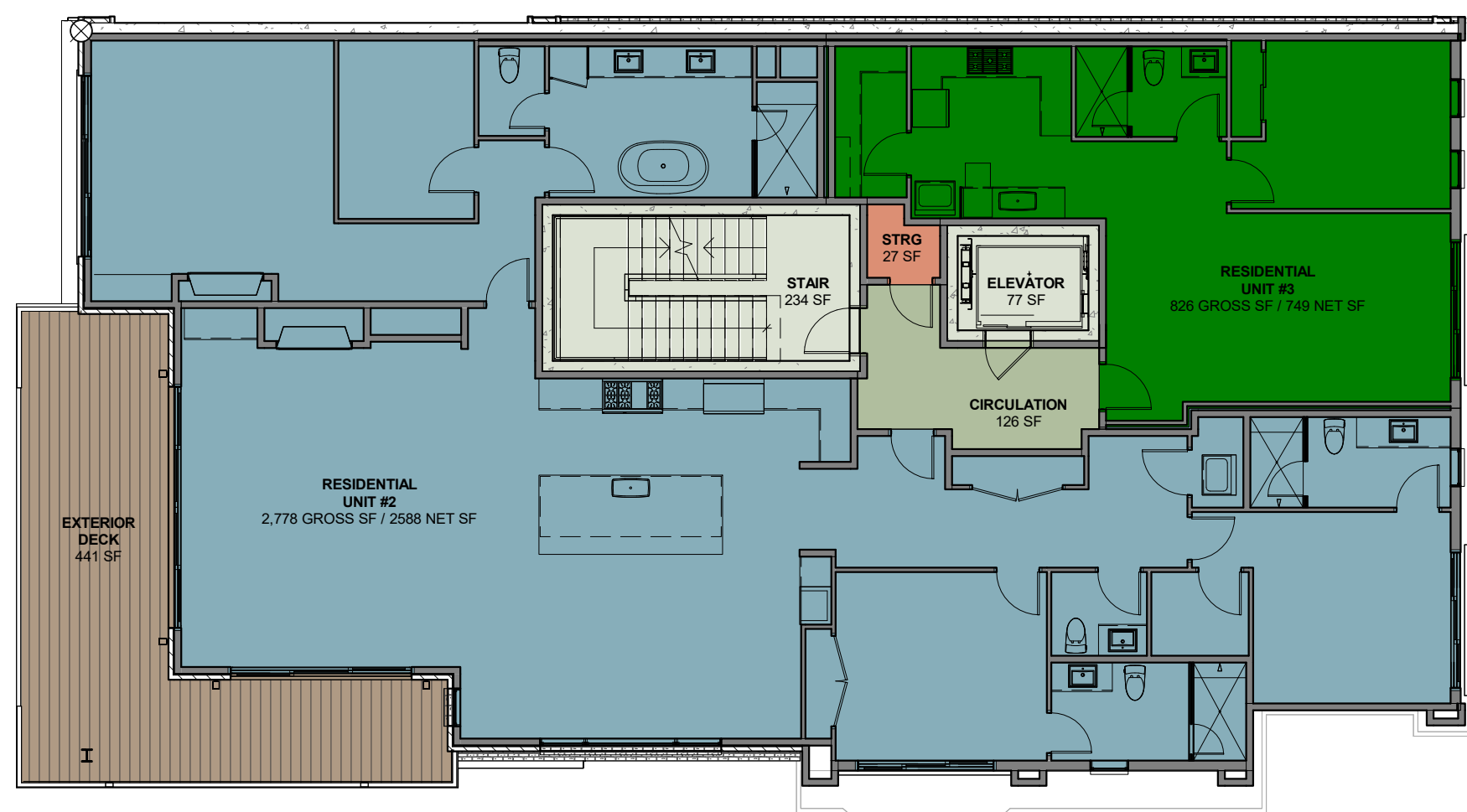




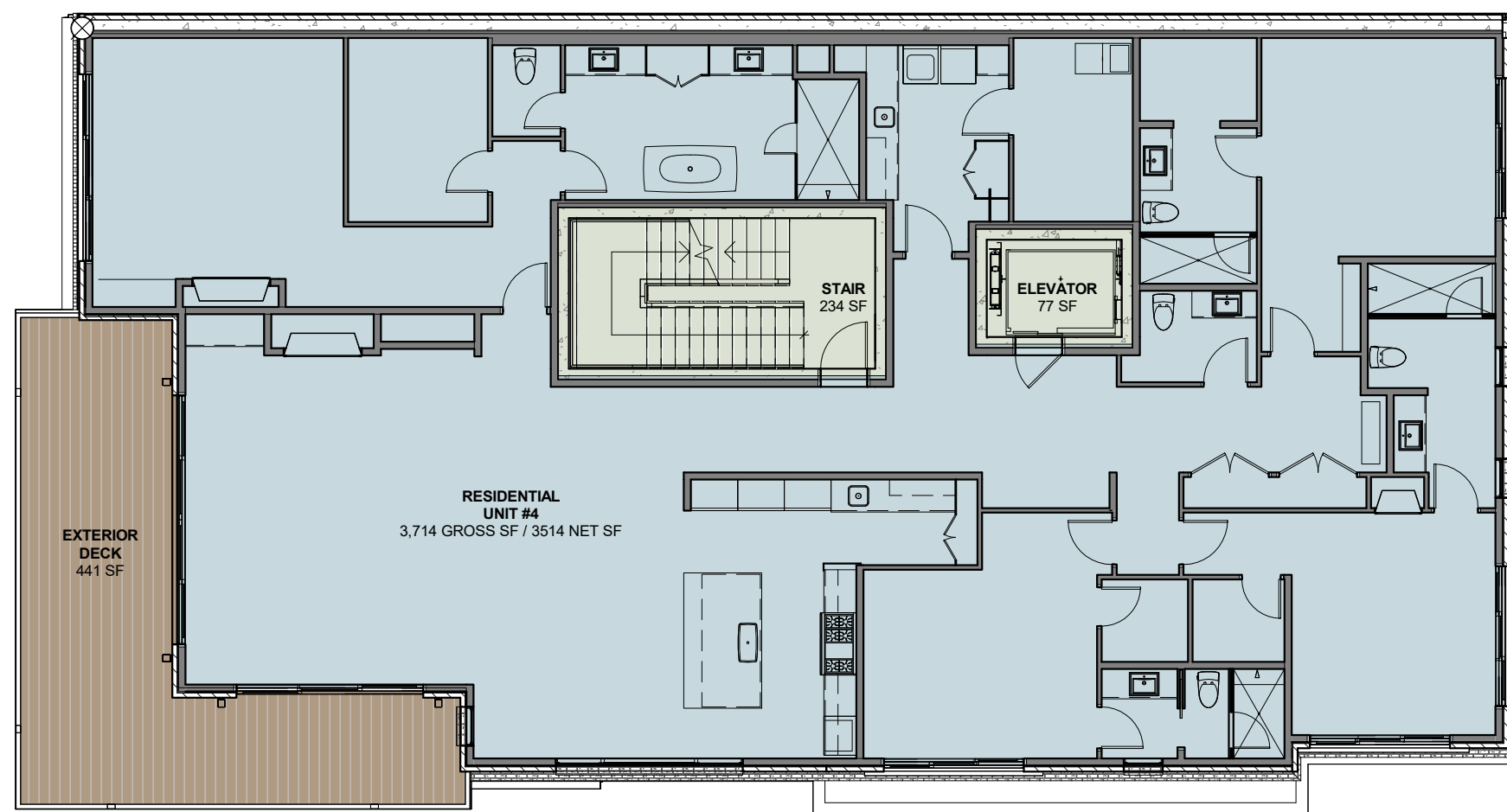
LOWER LEVEL PLAN  
3/32" = 1'-0"



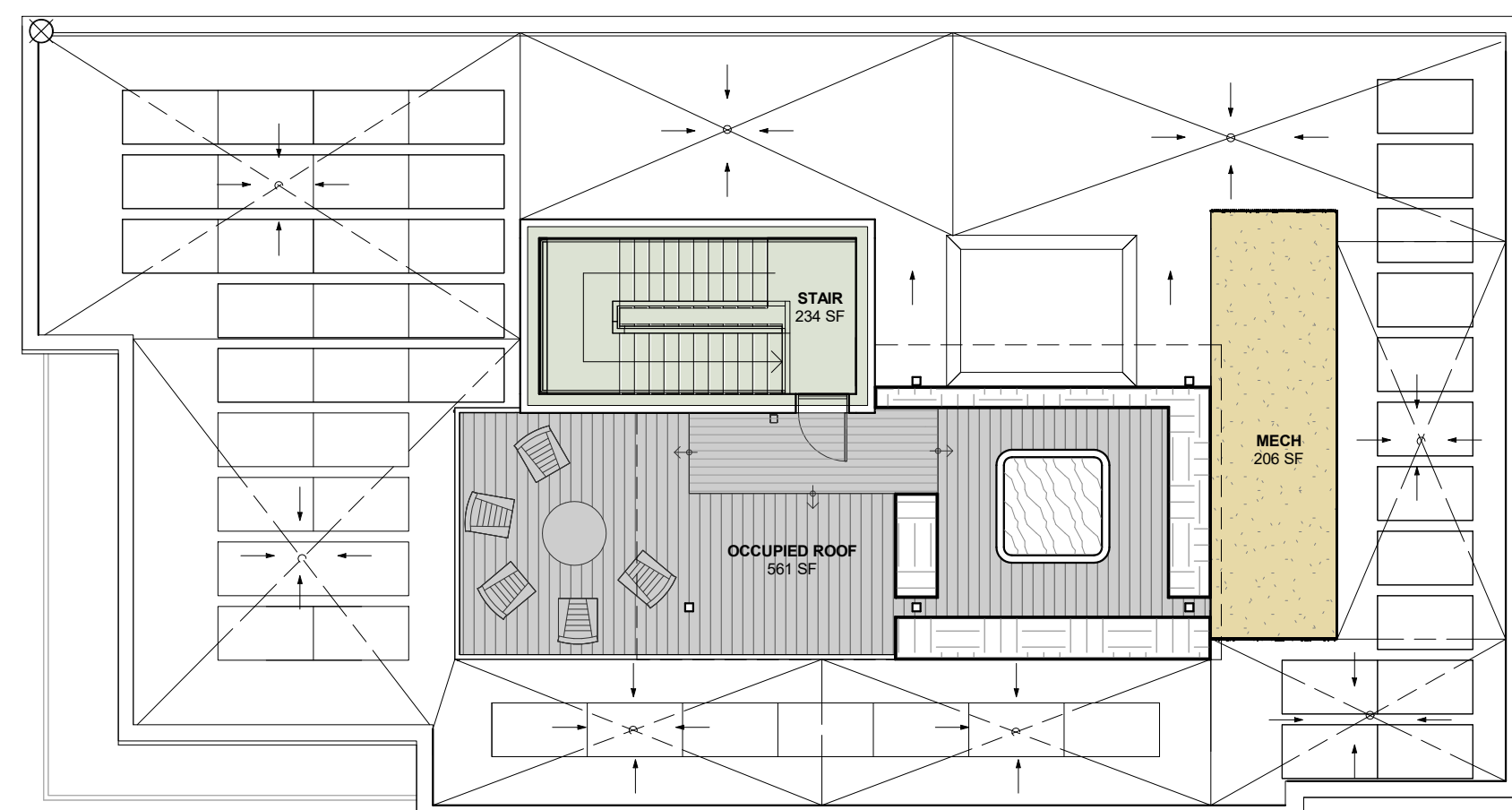
1ST FLOOR PLAN  
3/32" = 1'-0"



2ND FLOOR PLAN  
3/32" = 1'-0"



3RD FLOOR PLAN  
3/32" = 1'-0"



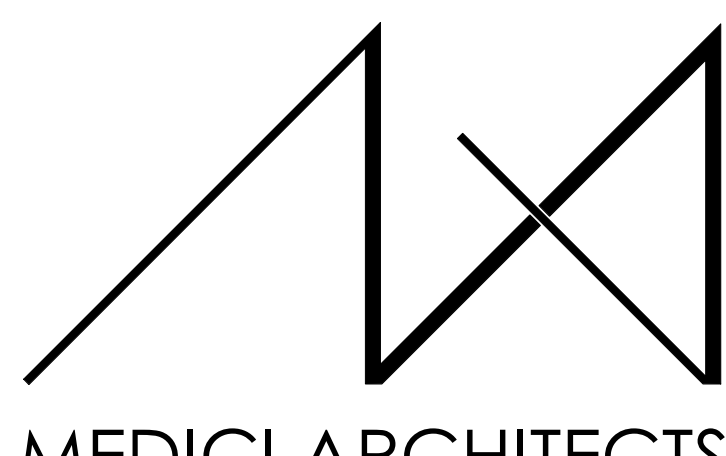
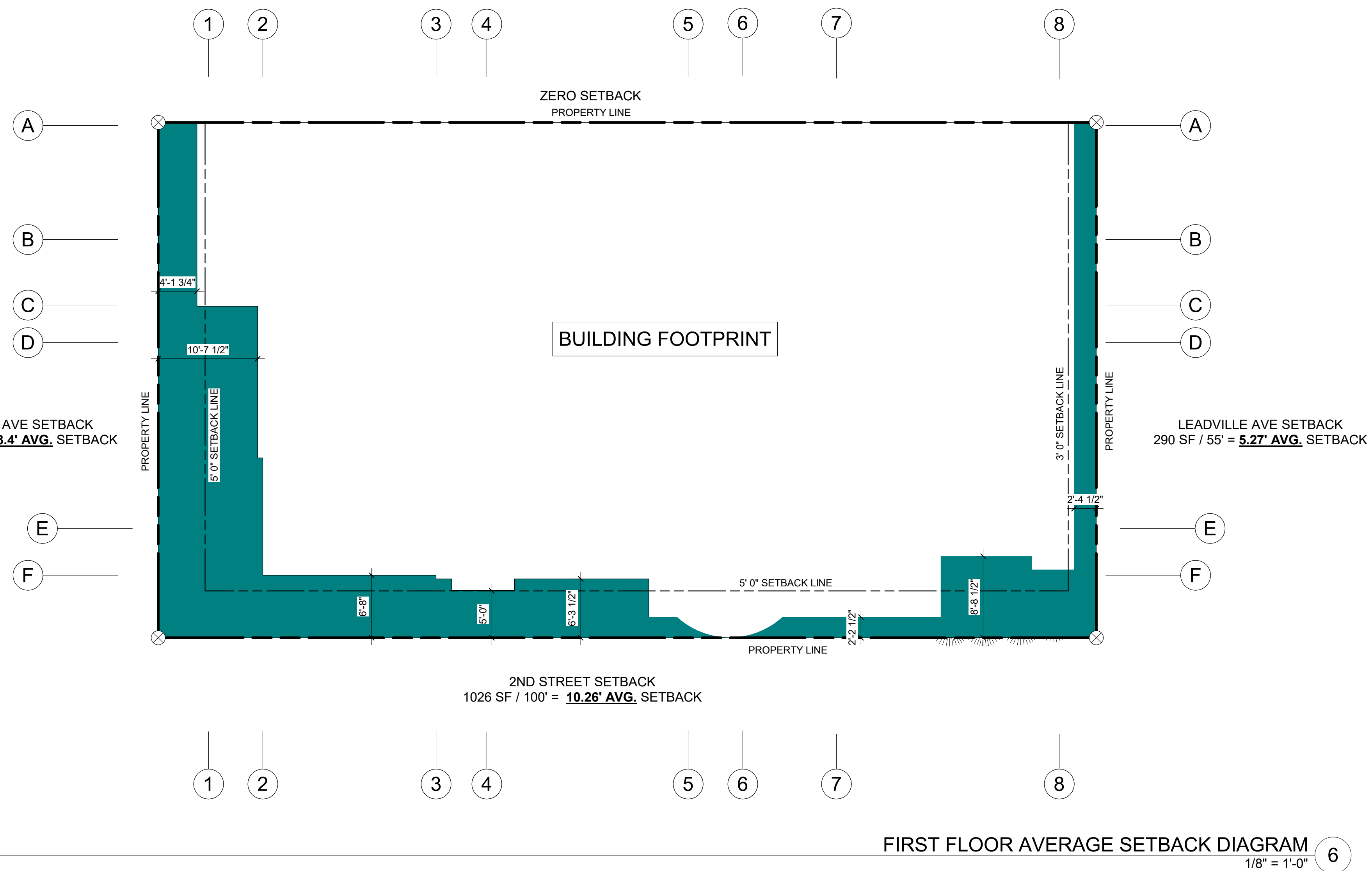
ROOF PLAN  
3/32" = 1'-0"

FLOOR AREA LEGEND	
<span style="display:inline-block; width:10px; height:10px; background-color:orange;"></span>	STORAGE AREA
<span style="display:inline-block; width:10px; height:10px; background-color:lightblue;"></span>	RESIDENTIAL PARKING
<span style="display:inline-block; width:10px; height:10px; background-color:blue;"></span>	RESIDENTIAL AREA
<span style="display:inline-block; width:10px; height:10px; background-color:lightgrey;"></span>	EXTERIOR AMENITY AREA
<span style="display:inline-block; width:10px; height:10px; background-color:yellow;"></span>	MECHANICAL / FIRE
<span style="display:inline-block; width:10px; height:10px; background-color:lightgreen;"></span>	COMMERCIAL AREA
<span style="display:inline-block; width:10px; height:10px; background-color:grey;"></span>	CIRCULATION
<span style="display:inline-block; width:10px; height:10px; background-color:lightgrey;"></span>	VERTICAL CIRCULATION

DESIGN REVIEW APPLICATION REQUIREMENTS

BUILDING AREA SQUARE FOOTAGES				
FLOOR PLAN	AREA USE	GROSS AREA SF	NET AREA SF	EXCLUDED AREA SF
LOWER LEVEL	RESIDENTIAL UNIT #1	779 SF	723 SF	779 SF
	STORAGE UNIT #4	141 SF		141 SF
	STORAGE UNIT #1	26 SF		26 SF
	STORAGE UNIT #2	146 SF		146 SF
	RETAIL UNIT #1	616 SF		616 SF
	MECH / FIRE RISER ROOM	268 SF		268 SF
	CIRCULATION	463 SF		463 SF
	STAIR	234 SF		234 SF
TOTALS:		2745 SF	723 SF	2745 SF
1ST FLOOR	RETAIL UNIT #1	452 SF	26 SF	324 SF
	RETAIL UNIT #2	548 SF		
	RETAIL UNIT #3	339 SF		
	RESTROOM	68 SF		
	RESIDENTIAL UNIT#1 STAIR	30 SF		
	RESIDENTIAL PARKING	523 SF		
	RESIDENTIAL PARKING	562 SF		
	STORAGE	78 SF		
	MECHANICAL	148 SF		
	CIRCULATION	672 SF		
	STAIR	234 SF		
	ELEVATOR	77 SF		
	TRASH ROOM	221 SF		
	ENTRY	113 SF		
TOTALS:		4065 SF	26 SF	648 SF
2ND FLOOR	RESIDENTIAL UNIT #2	2778 SF	3357 SF	752 SF
	RESIDENTIAL UNIT #3	826 SF		
	STORAGE	27 SF		
	EXTERIOR DECK	441 SF		
	CIRCULATION	126 SF		
	STAIR	234 SF		
	ELEVATOR	77 SF		
	TOTALS:			
3RD FLOOR	RESIDENTIAL UNIT #4	3714 SF	3514 SF	441 SF
	EXTERIOR DECK	441 SF		
	STAIR	234 SF		
TOTALS:		4389 SF	3514 SF	675 SF
ROOF DECK	OCCUPIED ROOF	561 SF	0 SF	561 SF
	MECHANICAL	206 SF		206 SF
	STAIR	234 SF		234 SF
TOTALS:		1001 SF	0 SF	1001 SF
TOTAL BUILDING:		16709 SF	7599 SF	5821 SF

	GROSS AREA SF	SITE AREA SF	FAR
FAR:	10888 SF	5504 SF	1.98

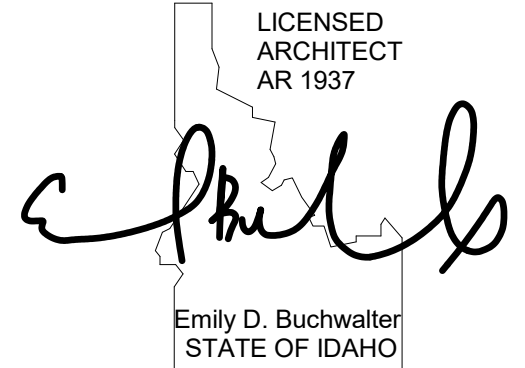


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INTAKE DATE: 10/12/22

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PROJECT / CLIENT:

THE 208 BUILDING

CARR, MICHAEL

JOB ADDRESS:

200 N LEADVILLE KETCHUM IDAHO, 83340 PARCEL #RPK0000230010

DRAWING NAME:

DESIGN REVIEW FLOOR AREA DIAGRAM

Drawn By: NR/AR

Checked By: EB

Owner Approval:

PHASE:

CONSTRUCTION DRAWINGS

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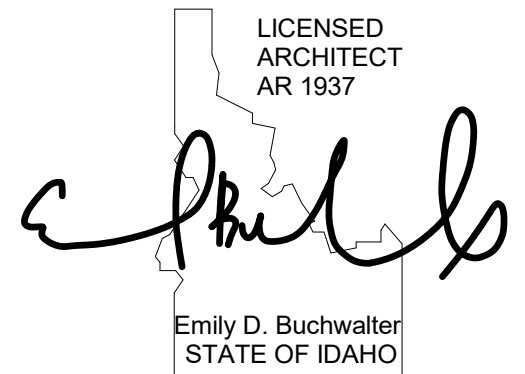
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A0.3

PLOT SCALE: 1:1

REGISTRATION:



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PROJECT / CLIENT:  
**THE 208 BUILDING**

CARR, MICHAEL

JOB ADDRESS:  
200 N LEADVILLE KETCHUM  
IDAHO, 83340  
PARCEL #RPK00000230010

DRAWING NAME:

**LOWER LEVEL PLAN**

Drawn By: NR/AR

Checked By: EB

Owner Approval:

PHASE:

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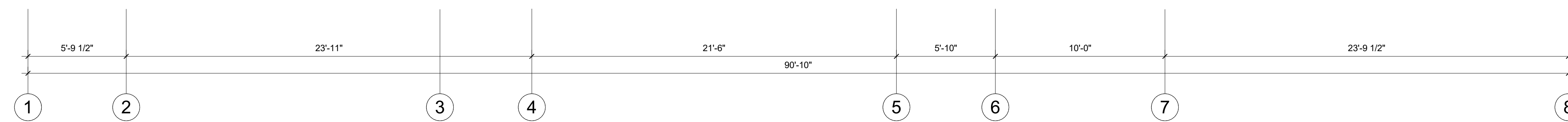
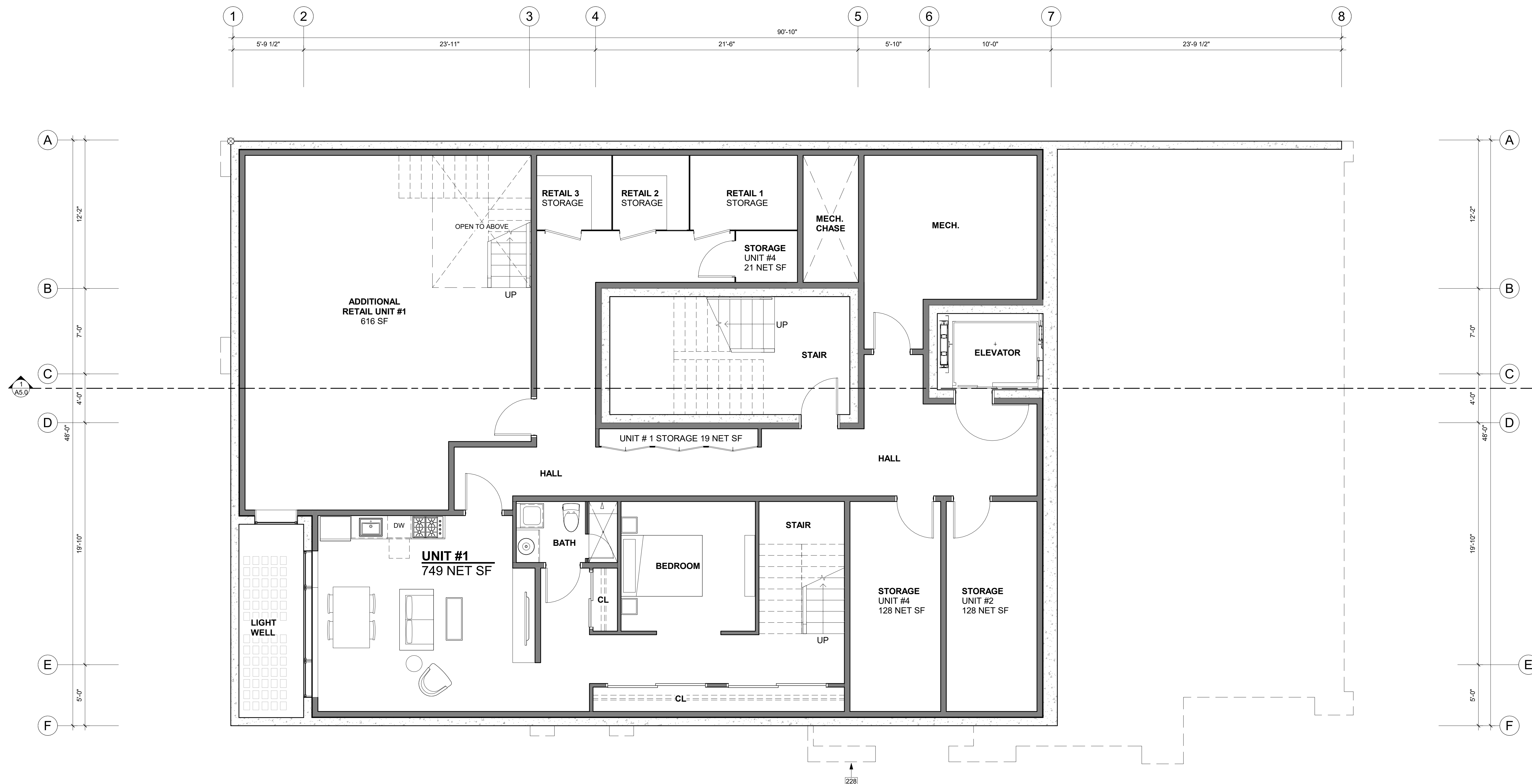
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**A2.0**

PLOT SCALE: 1:1



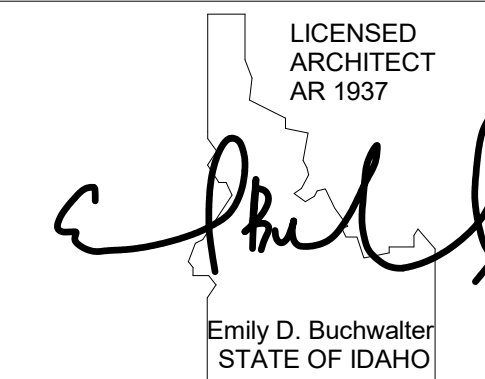
**LOWER LEVEL PLAN**  
1/4" = 1'-0" 1

**KEY NOTES**

228 DASHED LINE OF BUILDING ABOVE.



REGISTRATION:



INTAKE DATE: 10/12/22

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PROJECT / CLIENT:

**THE 208 BUILDING**

CARR, MICHAEL

JOB ADDRESS:

200 N LEADVILLE KETCHUM IDAHO, 83340  
 PARCEL #RPK0000230010

DRAWING NAME:

**1ST FLOOR PLAN**

Drawn By: NR/AR

Checked By: EB

Owner Approval:

PHASE:

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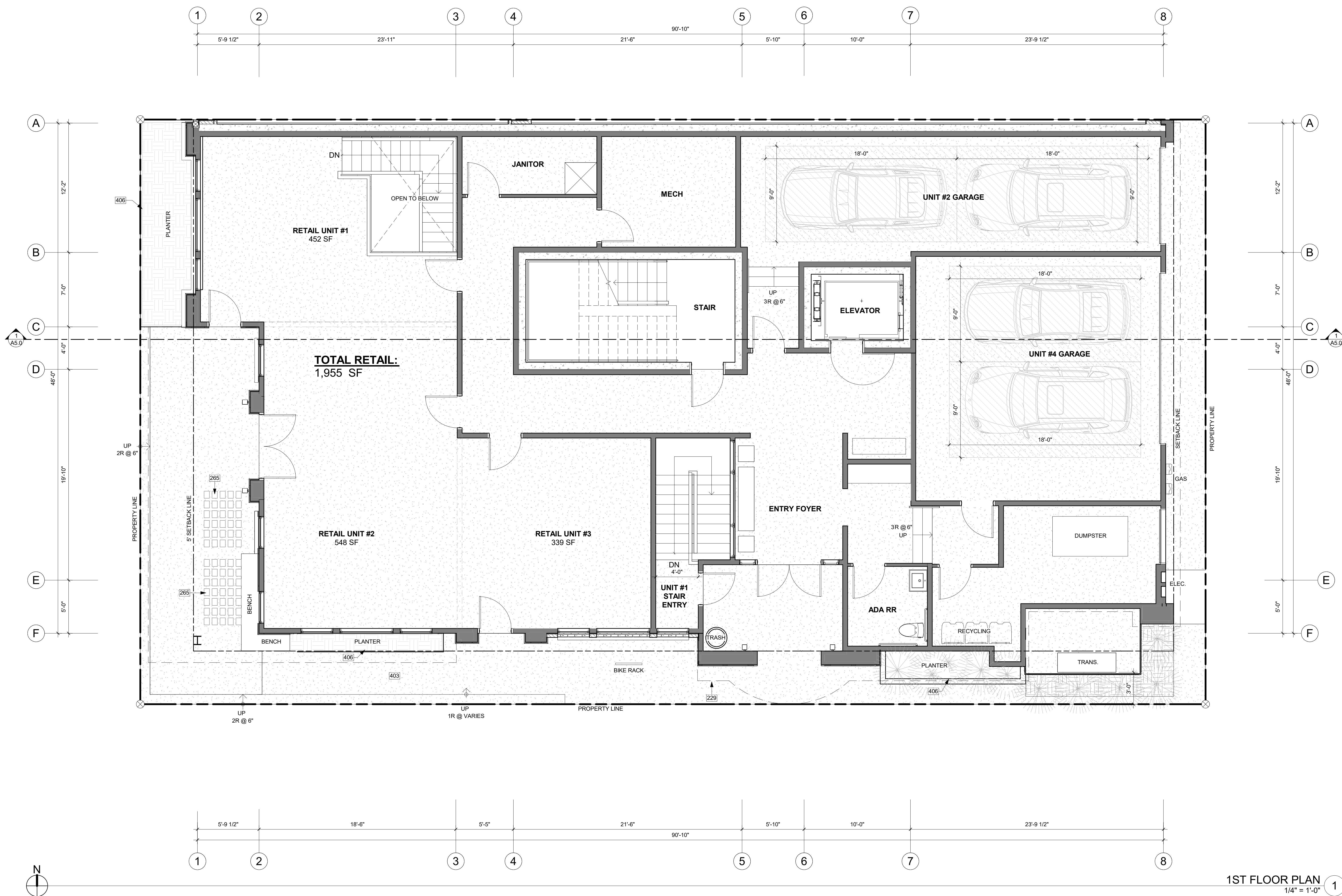
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DATE: 12/9/2022

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PLOT SCALE: 1:1

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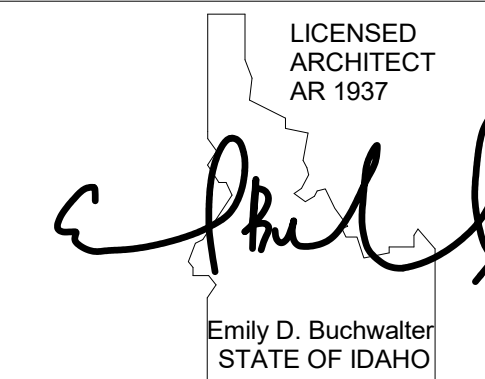


**KEY NOTES**

- 229 LONG DASHED LINE OF ROOF ABOVE.
- 265 PRECAST CONCRETE AND GLASS PAVERS FOR LIGHT WELL. REFER TO SPEC SHEET A5.3 FOR MORE INFORMATION.
- 403 HEATED CONCRETE SIDEWALKS.
- 406 BLACK STEEL PLANTERS. TO REMAIN 4" BELOW WINDOW SILLS AT RETAIL LEVEL.

**1ST FLOOR PLAN**  
 1/4" = 1'-0" 1

REGISTRATION:



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REVISIONS:	DATE:

PROJECT / CLIENT:

**THE 208 BUILDING**

CARR, MICHAEL

JOB ADDRESS:

200 N LEADVILLE KETCHUM IDAHO, 83340  
 PARCEL #RPK00000230010

DRAWING NAME:

**2ND FLOOR PLAN**

Drawn By: NR/AR

Checked By: EB

Owner Approval:

PHASE:

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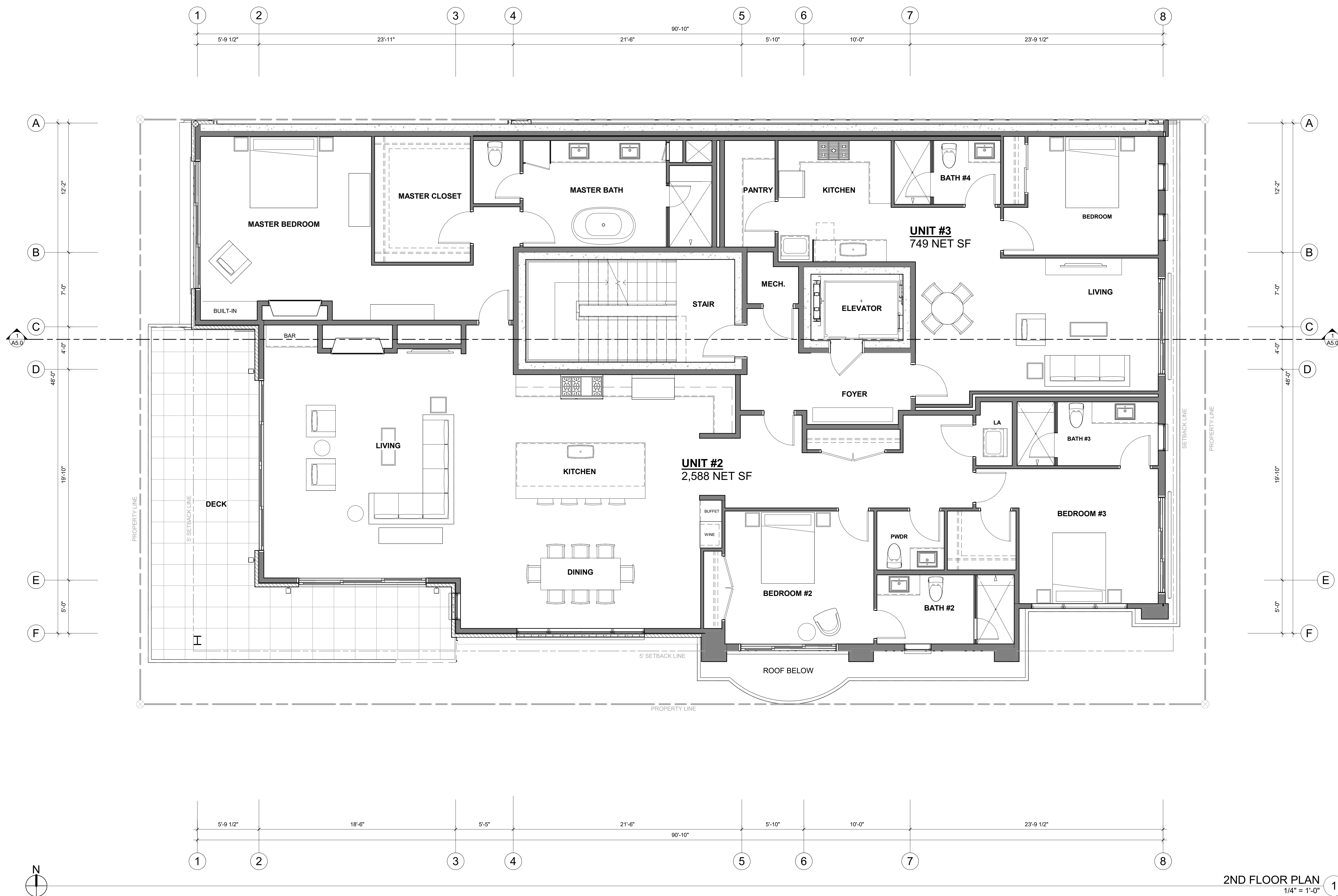
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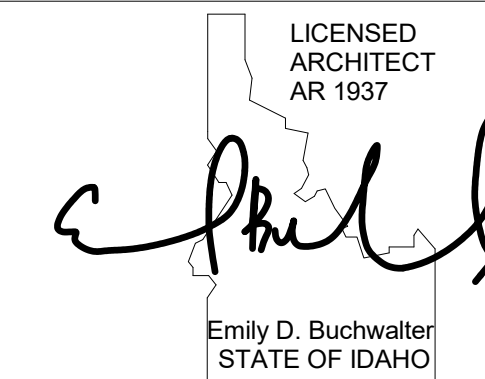
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PLOT SCALE: 1:1

**A2.2**



REGISTRATION:



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PROJECT / CLIENT:

THE 208 BUILDING

CARR, MICHAEL

JOB ADDRESS:

200 N LEADVILLE KETCHUM IDAHO, 83340  
PARCEL #RPK00000230010

DRAWING NAME:

3RD FLOOR PLAN

Drawn By: NR/AR

Checked By: EB

Owner Approval:

PHASE:

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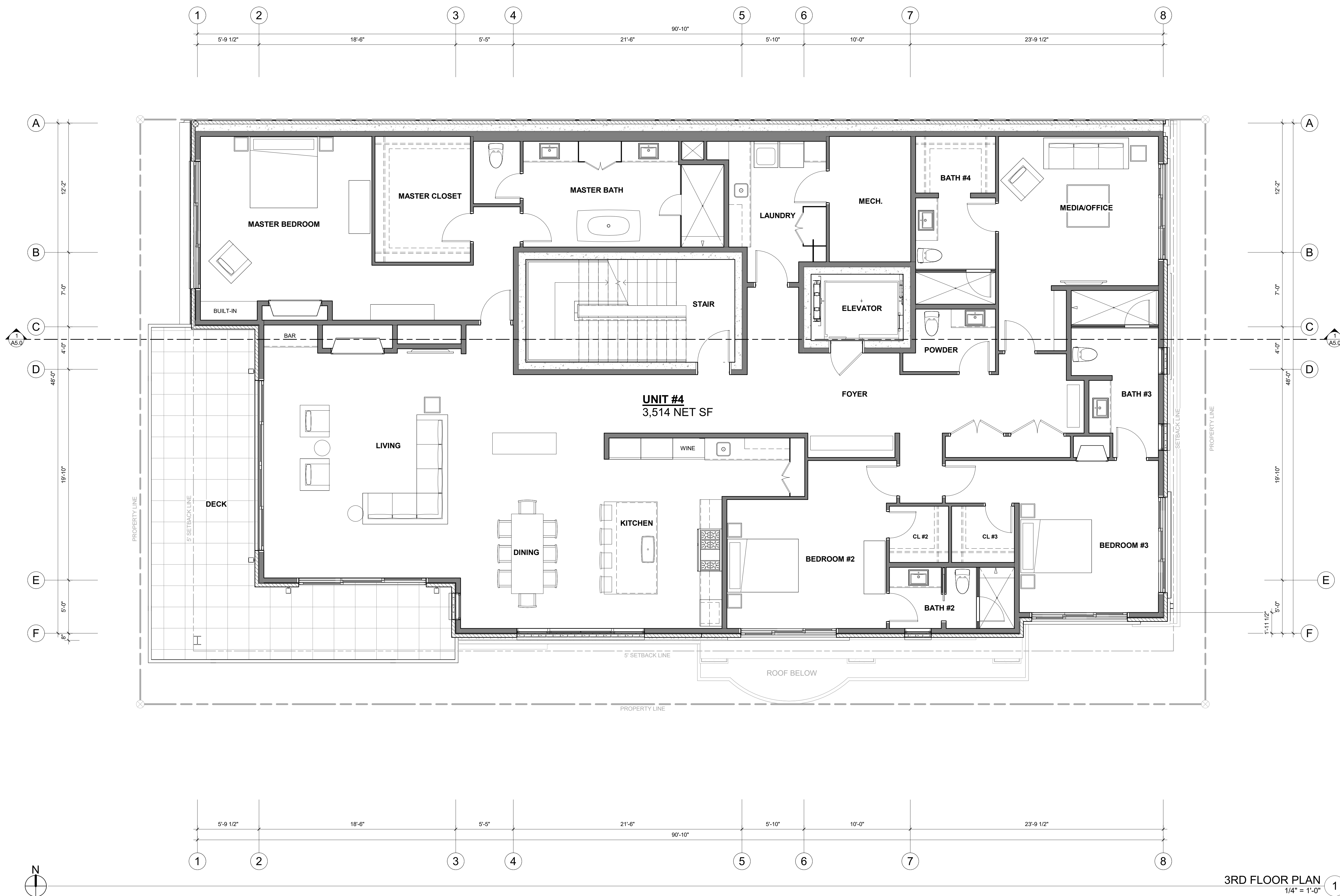
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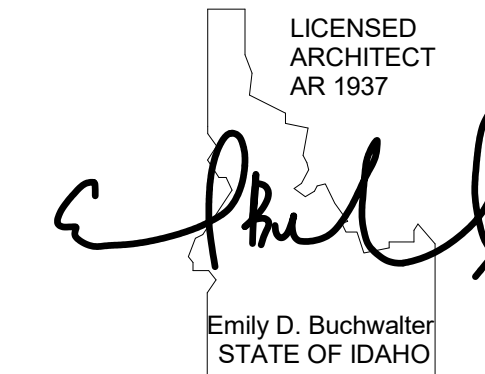
PLOT SCALE: 1:1

A2.3



3RD FLOOR PLAN  
1/4" = 1'-0" 1

REGISTRATION:



INTAKE DATE: 10/12/22

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REVISIONS:	DATE:

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**THE 208 BUILDING**

CARR, MICHAEL

JOB ADDRESS:

200 N LEADVILLE KETCHUM IDAHO, 83340  
 PARCEL #RPK0000230010

DRAWING NAME:

**ROOF PLAN**

Drawn By: NR/AR

Checked By: EB

Owner Approval:

PHASE:

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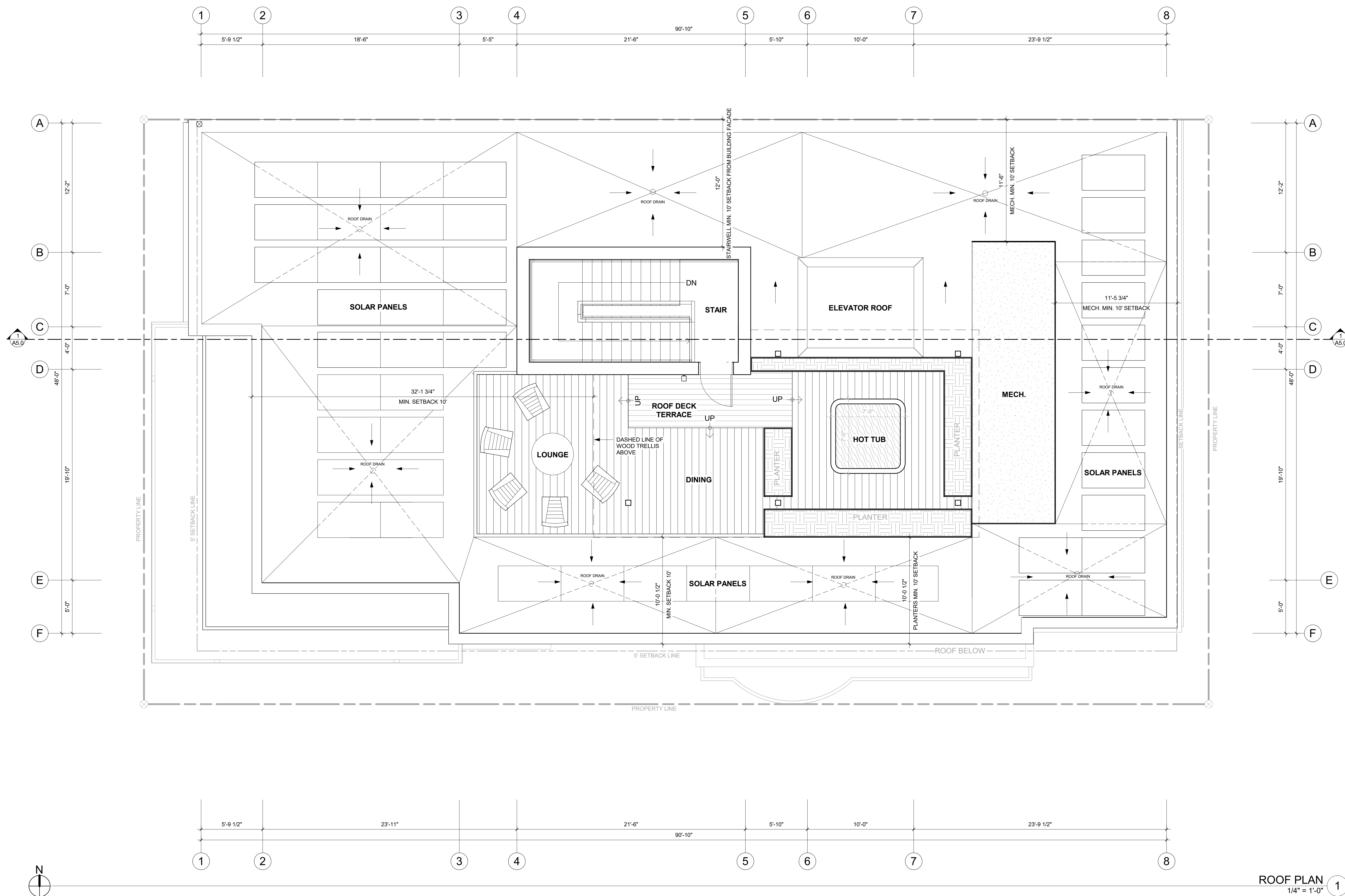
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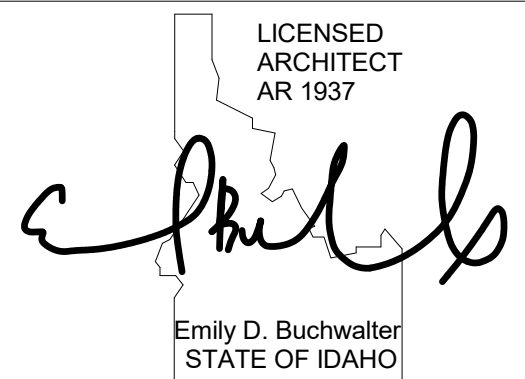
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**A3.0**



**ROOF PLAN**  
 1/4" = 1'-0" 1

REGISTRATION:



INTAKE DATE: 10/12/22

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REVISIONS:	DATE:

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**THE 208 BUILDING**

CARR, MICHAEL

JOB ADDRESS:

200 N LEADVILLE KETCHUM IDAHO, 83340  
 PARCEL #RPK00000230010

DRAWING NAME:

**ELEVATIONS**

Drawn By: NR/AR

Checked By: EB

Owner Approval:

PHASE:

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PROJECT No.: A21-198

DATE: 12/9/2022  
 12:12:53 PM

PLOT SCALE: 1:1

**A4.0**

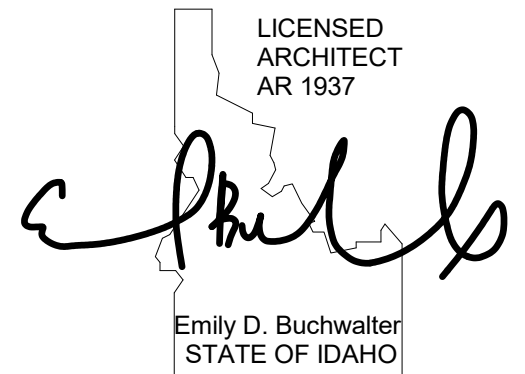


**SOUTH ELEVATION** 1  
 1/4" = 1'-0"

**KEY NOTES**

- 400 NATURAL STONE VENEER.
- 401 BRICK VENEER.
- 404 WOOD SIDING.
- 405 BLACK STEEL C-CHANNEL.
- 406 BLACK STEEL PLANTERS. TO REMAIN 4" BELOW WINDOW SILLS AT RETAIL LEVEL.
- 407 METAL MESH SCREEN.
- 408 BLACK STEEL GUARD. MIN. 75% TRANSPARENT AT ROOFTOP.
- 409 BLACK METAL COPING OVER PARAPET WALL.
- 410 METAL CLAD WOOD WINDOWS AND DOORS.
- 411 PRE CAST CONCRETE LINTEL.
- 413 BLACK STEEL FRAMED TRELLIS W/ BLACK STAINED WOOD CANOPY.

REGISTRATION:



INTAKE DATE: 10/12/22

REVISIONS:	DATE:

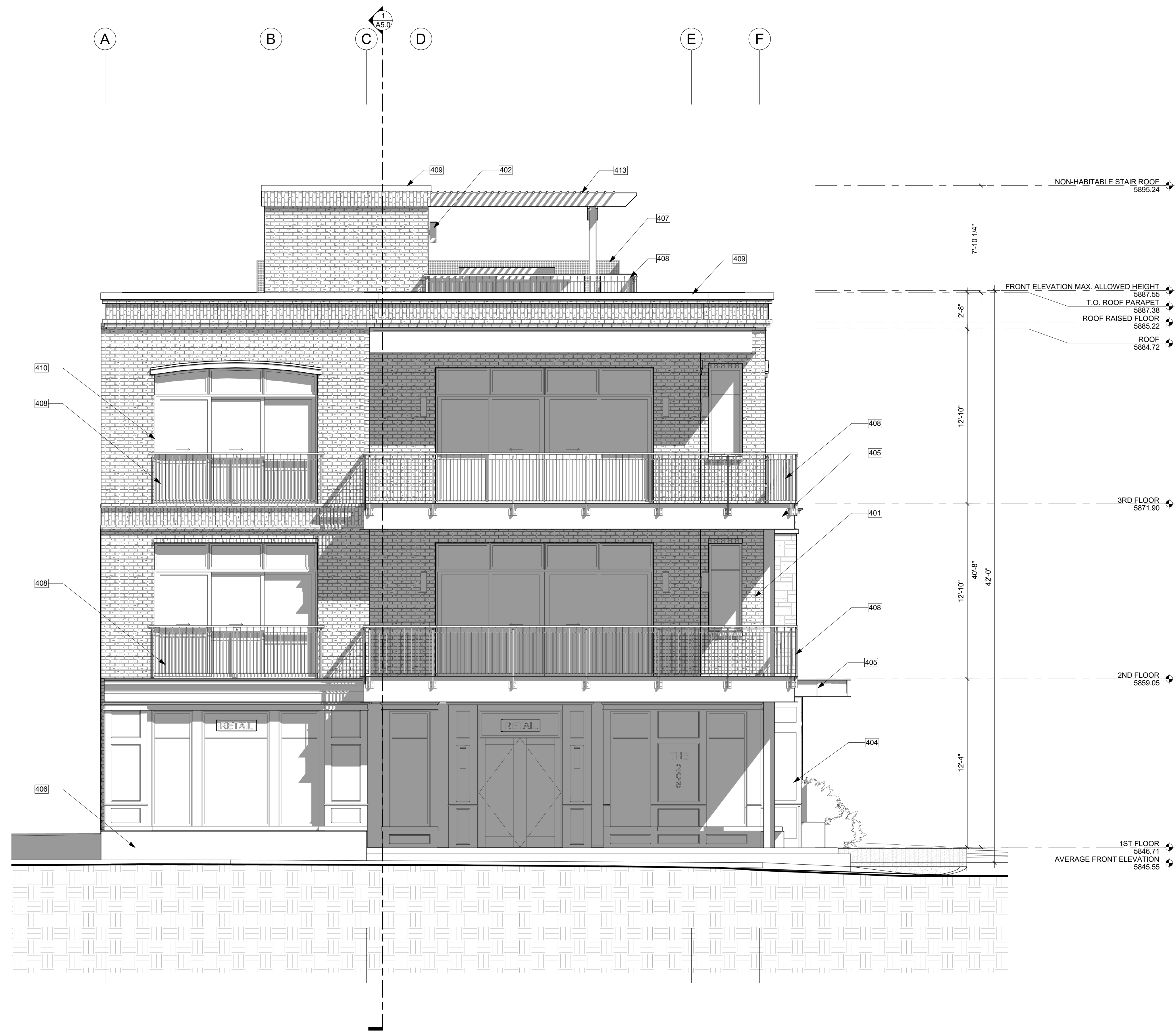
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CARR, MICHAEL

JOB ADDRESS:

200 N LEADVILLE KETCHUM IDAHO, 83340 PARCEL #RPK00000230010



WEST ELEVATION 2  
 1/4" = 1'-0"

KEY NOTES

401	BRICK VENEER.
402	LIGHTING @ ALL EXTERIOR DOORS INSTALLED PER MANUFACTURER, TYP. REFER TO SHEET A5.2 FOR LIGHTING SPECS. ALL LIGHTS SHALL COMPLY WITH CITY OF KETCHUM MUNICIPAL CODE 17.132.
404	WOOD SIDING.
405	BLACK STEEL C-CHANNEL.
406	BLACK STEEL PLANTERS. TO REMAIN 4" BELOW WINDOW SILLS AT RETAIL LEVEL.
407	METAL MESH SCREEN.
408	BLACK STEEL GUARD. MIN. 75% TRANSPARENT AT ROOFTOP.
409	BLACK METAL COPING OVER PARAPET WALL.
410	METAL CLAD WOOD WINDOWS AND DOORS.
413	BLACK STEEL FRAMED TRELLIS W/ BLACK STAINED WOOD CANOPY.

DRAWING NAME:

ELEVATIONS

Drawn By: NR/AR

Checked By: EB

Owner Approval:

PHASE:

CONSTRUCTION DRAWINGS

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APPROVED FOR CONSTRUCTION:

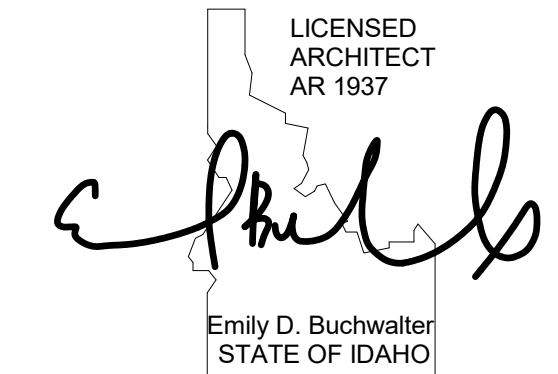
PROJECT No.: A21-198

DATE: 12/9/2022 12:13:09 PM

PLOT SCALE: 1:1

A4.1

REGISTRATION:



INTAKE DATE: 10/12/22

REVISIONS:	DATE:

PROJECT / CLIENT:

THE 208 BUILDING

CARR, MICHAEL

JOB ADDRESS:

200 N LEADVILLE KETCHUM IDAHO, 83340  
 PARCEL #RPK00000230010



EAST ELEVATION 1  
 1/4" = 1'-0"

**KEY NOTES**

400	NATURAL STONE VENEER.
401	BRICK VENEER.
405	BLACK STEEL C-CHANNEL.
407	METAL MESH SCREEN.
408	BLACK STEEL GUARD. MIN. 75% TRANSPARENT AT ROOFTOP.
409	BLACK METAL COPING OVER PARAPET WALL.
410	METAL CLAD WOOD WINDOWS AND DOORS.
411	PRE CAST CONCRETE LINTEL.
412	ELECTRICAL/ GAS METERS.
413	BLACK STEEL FRAMED TRELLIS W/ BLACK STAINED WOOD CANOPY.

DRAWING NAME:

ELEVATIONS

Drawn By: NR/AR

Checked By: EB

Owner Approval:

PHASE:

CONSTRUCTION DRAWINGS

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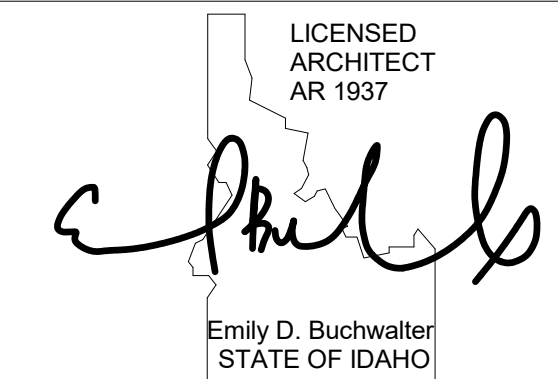
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DATE: 12/9/2022  
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PLOT SCALE: 1:1

A4.2

REGISTRATION:



INTAKE DATE: 10/12/22

REVISIONS: DATE:

REVISIONS:	DATE:

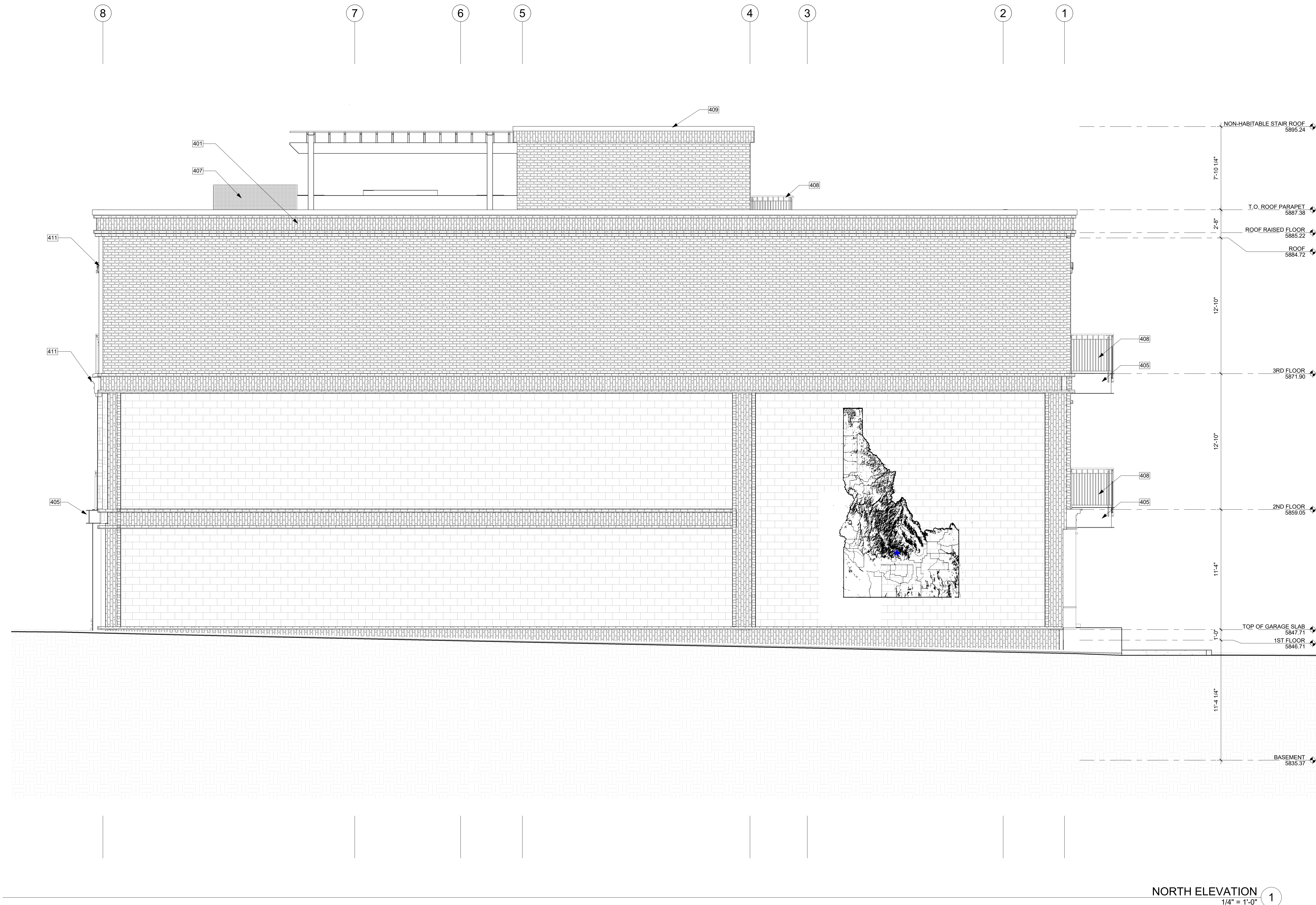
PROJECT / CLIENT:

**THE 208 BUILDING**

CARR, MICHAEL

JOB ADDRESS:

200 N LEADVILLE KETCHUM IDAHO, 83340  
 PARCEL #RPK00000230010



**NORTH ELEVATION** 1  
 1/4" = 1'-0"

**KEY NOTES**

401	BRICK VENEER.
405	BLACK STEEL C-CHANNEL.
407	METAL MESH SCREEN.
408	BLACK STEEL GUARD. MIN. 75% TRANSPARENT AT ROOFTOP.
409	BLACK METAL COPING OVER PARAPET WALL.
411	PRE CAST CONCRETE LINTEL.

DRAWING NAME:

**ELEVATIONS**

Drawn By: NR/AR

Checked By: EB

Owner Approval:

PHASE:

CONSTRUCTION DRAWINGS

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APPROVED FOR CONSTRUCTION:

PROJECT No.: A21-198

DATE: 12/9/2022  
 12:13:36 PM

PLOT SCALE: 1:1

**A4.3**





SOUTH EAST PERSPECTIVE 1

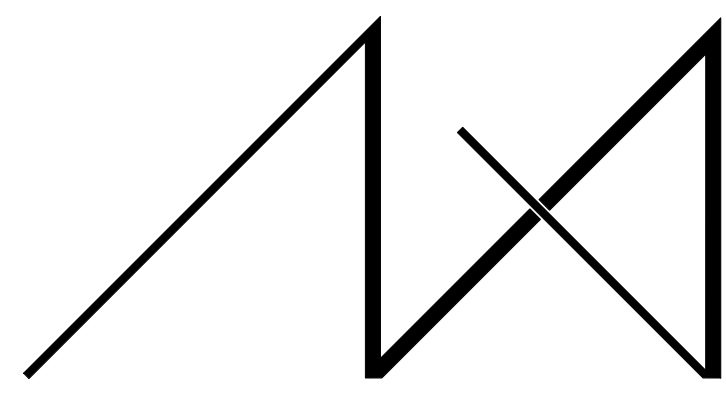


NORTH EAST PERSPECTIVE 2



SOUTH WEST PERSPECTIVE 1

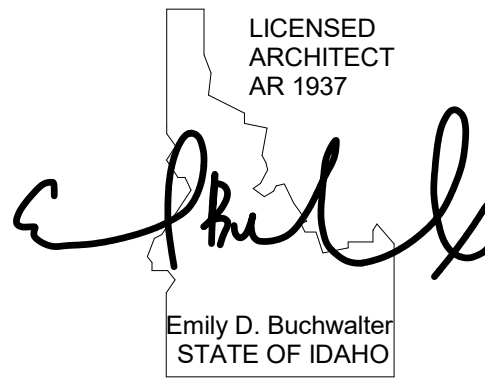
NOTE: 3D RENDERINGS ARE FOR ILLUSTRATIVE PURPOSES ONLY. NOT TO BE USED FOR CONSTRUCTION.



MEDICI ARCHITECTS

11711 SE 8TH STREET SUITE 100 BELLEVUE, WA 98005 TEL: (425) 453-9298  
 200 W. RIVER ST. SUITE 301 KETCHUM, ID 83340 TEL: (208) 726-0194

REGISTRATION:



INTAKE DATE: 10/12/22

REVISIONS: DATE:

REVISIONS:	DATE:

PROJECT / CLIENT:

THE 208 BUILDING

CARR, MICHAEL

JOB ADDRESS:

200 N LEADVILLE KETCHUM IDAHO, 83340 PARCEL #RPK00000230010

DRAWING NAME:

PERSPECTIVES

Drawn By: NR/AR

Checked By: EB

Owner Approval:

PHASE:

CONSTRUCTION DRAWINGS

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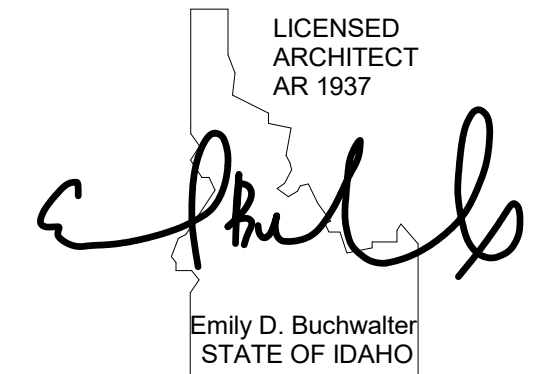
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DATE: 12/9/2022 12:13:37 PM

PLOT SCALE: 1:1

A4.4

REGISTRATION:



INTAKE DATE: 10/12/22

REVISIONS: DATE:

REVISIONS:	DATE:

PROJECT / CLIENT:

**THE 208 BUILDING**

CARR, MICHAEL

JOB ADDRESS:

200 N LEADVILLE KETCHUM IDAHO, 83340  
 PARCEL #RPK00000230010

DRAWING NAME:

**SECTIONS**

Drawn By: NR/AR

Checked By: EB

Owner Approval:

PHASE:

CONSTRUCTION DRAWINGS

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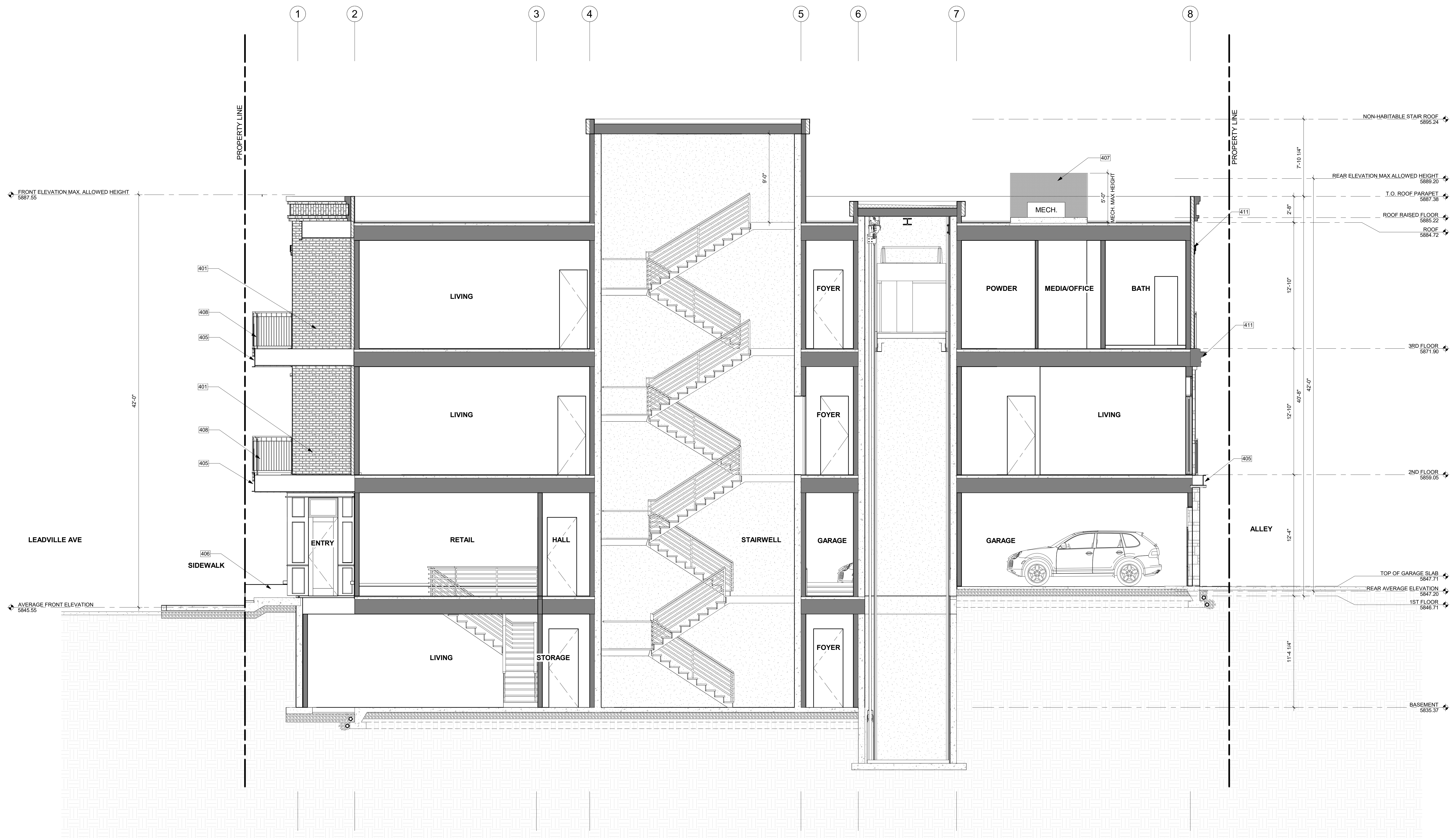
PROJECT No.: A21-198

DATE: 12/9/2022

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**A5.0**

PLOT SCALE: 1:1



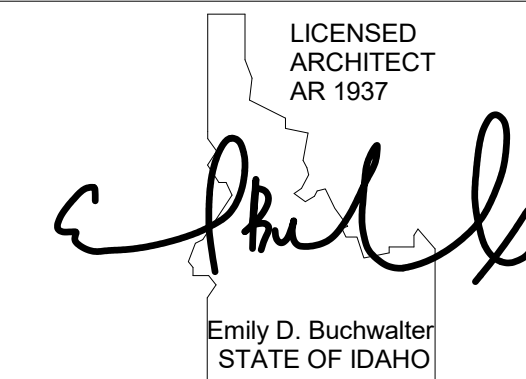
**SECTION 1**  
 1/4" = 1'-0" 1

**KEY NOTES**

401	BRICK VENEER.
405	BLACK STEEL C-CHANNEL.
406	BLACK STEEL PLANTERS. TO REMAIN 4" BELOW WINDOW SILLS AT RETAIL LEVEL.
407	METAL MESH SCREEN.
408	BLACK STEEL GUARD. MIN. 75% TRANSPARENT AT ROOFTOP.
411	PRE CAST CONCRETE LINTEL.



REGISTRATION:



INTAKE DATE: 10/12/22

REVISIONS: DATE:

REVISIONS:	DATE:

PROJECT / CLIENT:

**THE 208 BUILDING**

CARR, MICHAEL

JOB ADDRESS:

200 N LEADVILLE KETCHUM IDAHO, 83340 PARCEL #RPK00000230010

DRAWING NAME:

**EXTERIOR MATERIALS**

Drawn By: NR/AR

Checked By: EB

Owner Approval:

PHASE:

CONSTRUCTION DRAWINGS

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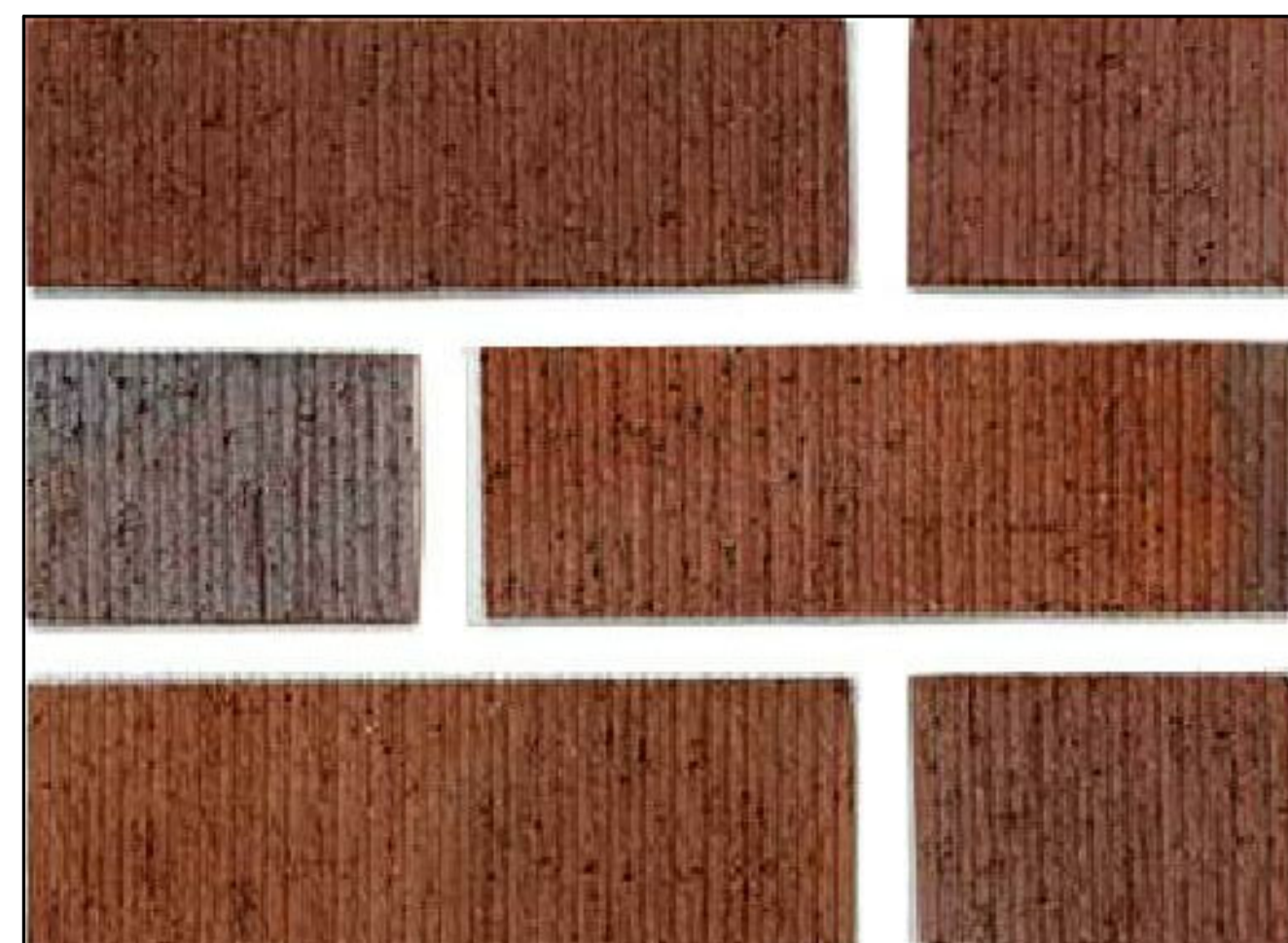
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DATE: 12/9/2022

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PLOT SCALE: 1:1

**A5.1**



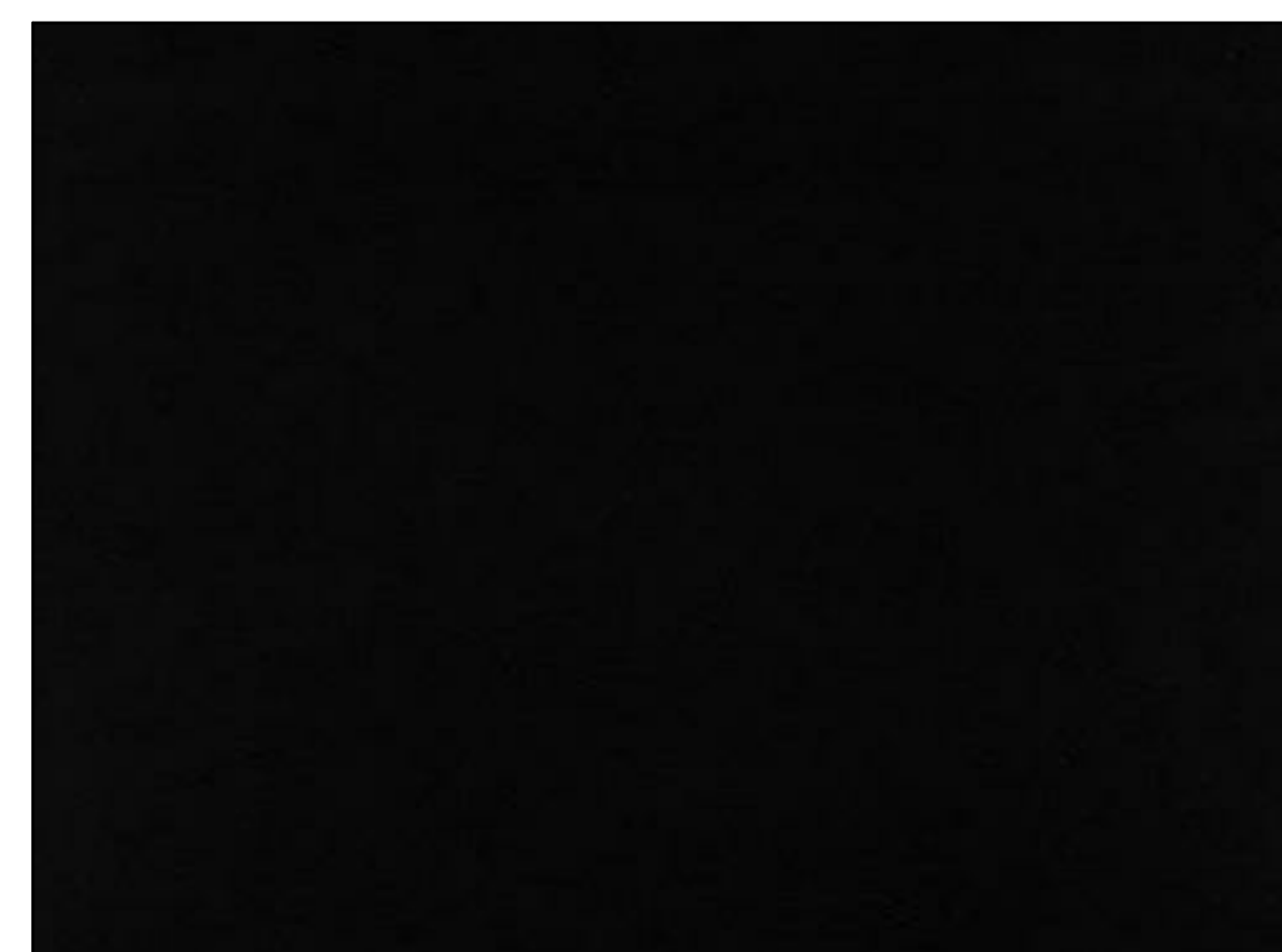
**BRICK VENEER**  
MOUNTAIN BLEND WITH RUG TEXTURE



**STONE VENEER**  
SILVERTIP STACK



**WOOD SOFFIT**  
ALASKAN YELLOW CEDAR VG



**STEEL**  
BLACK STEEL

TEGEL 18 WALL SCONCE



Understated modern design characterizes Tegel outdoor LED wall sconces. Providing well-controlled up and down lighting, or down light only, these wall sconces provide accent and ambient illumination. The option of three finish choices and two sizes ensures this design profile successfully blends with all architectural aesthetics.

Outstanding protection against the elements:

- Powder coat finishes
- Impact-resistant, UV stabilized frosted acrylic lensing
- Up light and down light options, with 10° and 36° beam spread options

SPECIFICATIONS

DELIVERED LUMENS	2419 Up/Downlight	1212 Downlight
WATTS	21.9 Up/Downlight	11.5 Downlight
VOLTAGE	Universal 120-277V, with integral transformer 2.5KV surge protection (driver)	
DIMMING	0-10, 0-1V	
LIGHT DISTRIBUTION	Symmetric Up/Down Lighting	
MOUNTING OPTIONS	Wall	
OPTICS	10° and 36°	
PERFORMANCE OPTIONS	Photocontrol / Surge Protector	
CCT	2700K, 3000K or 4000K	
CRI	80+	
COLOR BINNING	3 Step	
BUS RATING	Up-Downlight 80-105-010	
DARK SKY	Compliant (Downlight)	
WET LISTED	IP65	
GENERAL LISTING	ETL	
CALIFORNIA TITLE 24	Can be used to comply with CEC 2019 Title 24 Part 6 for outdoor use. Registration with CEC Appliance Database not required.	
START TEMP	38°C	
FIELD SERVICEABLE LED	Yes	
CONSTRUCTION	Aluminum	
HARDWARE	Stainless Steel	
FINISH	Powder Coat	
LED LIFETIME	L70: >60,000 Hours	
WARRANTY*	5 Years	
WEIGHT	8 lbs.	



ORDERING INFORMATION

PRODUCT	CIRCUIT	LENGTH	BEAM SPREAD*	LENS	FINISH	FUNCTION	VOLTAGE	OPTIONS
DOWNLIGHT	80-105-010	18" H	10°	FR	BLACK	DOWNLIGHT ONLY	120-277V	None
UP/DOWNLIGHT	80-105-010	18" H	10°	FR	BLACK	UP/DOWNLIGHT	120-277V	None
UP/DOWNLIGHT	80-105-010	18" H	36°	FR	BLACK	UP/DOWNLIGHT	120-277V	None
UP/DOWNLIGHT	80-105-010	18" H	36°	FR	BRONZE	UP/DOWNLIGHT	120-277V	None
UP/DOWNLIGHT	80-105-010	18" H	36°	FR	CHARCOAL	UP/DOWNLIGHT	120-277V	None

techlighting.com

LITECONTROL making light work™

2L-R-D MOD\* 2 LED RECESSED DIRECT

MOD X

Product Details

General	Aperture: 2 in
Color Rendering Index (CRI)	• 80 CRI • 90 CRI
Color Temperature	• 2700 K • 3000 K • 4000 K • 5000 K • SpectraSync

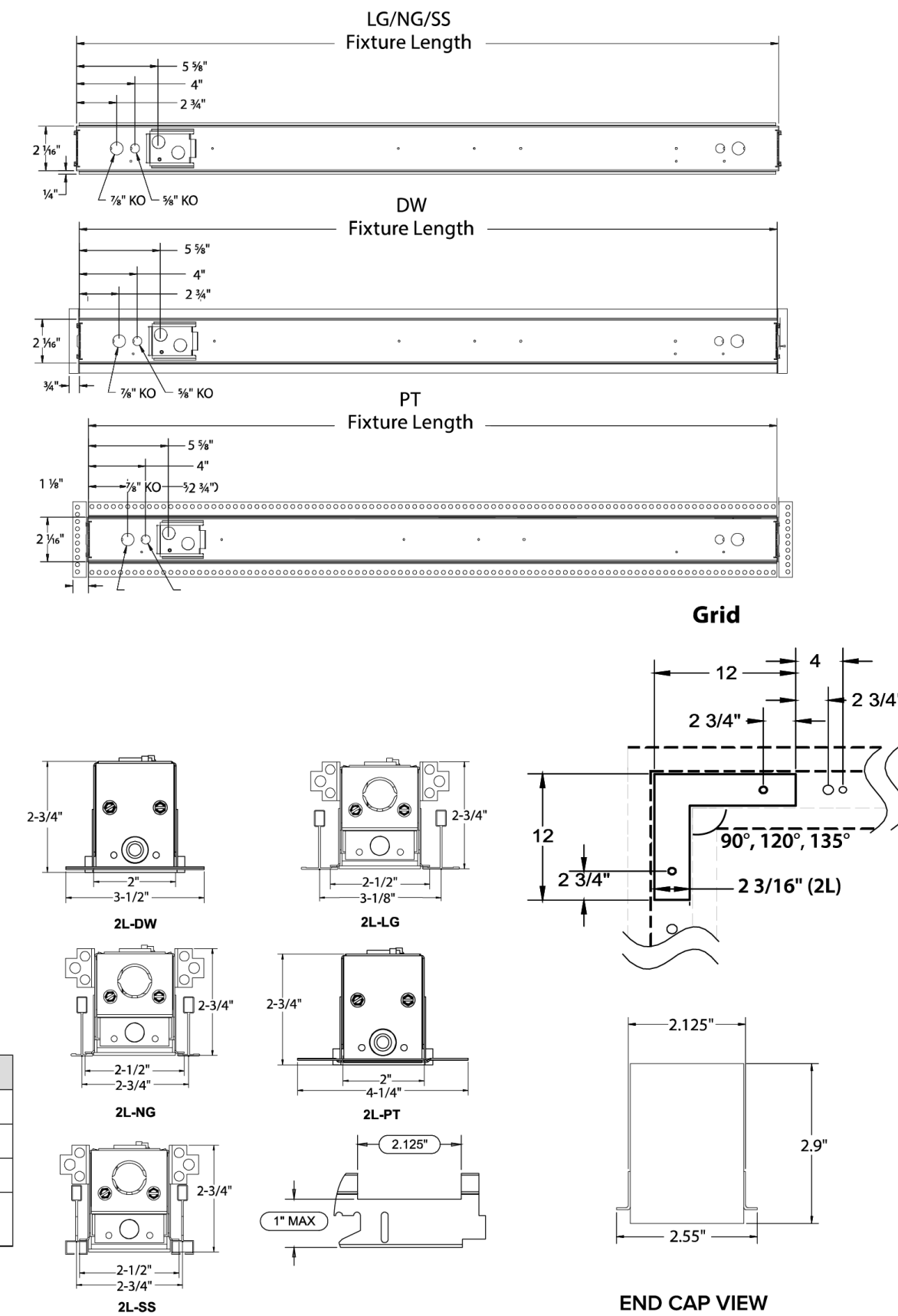
- FEATURES**
- Variable Intensity technology provides a range of specifiable outputs and resulting fixture wattages
  - 2 SDCM color consistency
  - End cap design eliminates visible diffuser seams/gaps

- INSTALLATION**
- PT Mounting: Continuous spackle trim with beaded edge welded to housing. Spackle trim allows plaster coat up to fixture edge for clean ceiling appearance
  - LG/NG/SS Mounting: Side rails provide continuous mounting, lateral spacing between T-bars and allows clearance for T-bar supporting wire. For Tegel grid mount, fixture will sit level with the T-bar
  - DW Mounting: Side rails allow installation into drywall slot. Visible flange is located on all 4 sides of fixture

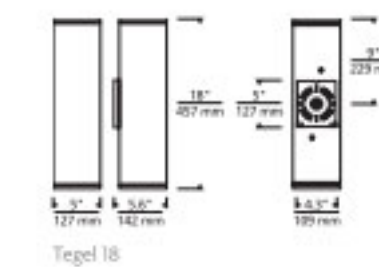
- ELECTRICAL**
- Variable Intensity (VI) technology allows precise specification of fixture output/wattage. Fixture will be programmed and labeled to specification. Indirect and direct hemispheres can be independently specified
  - LED boards and drivers can be accessed and removed from fixture, while installed
  - Entire LED module can be removed and replaced
  - IC (i Circuit) Fixture wired for a single circuit
  - Emergency Battery: 10W battery powered driver. Provides a minimum of 90 minutes of emergency lighting. Inverter-Compatible. Provided by others. Available in: 6" EF L or R, D030 through D065, 8" EF Full D030 through D055, 8" EF L or R, D030 through D075. Available with SCF, ASYM, BAT downlight diffusers. Test switch located in lens. For rows where the battery fixture is in the middle of a row, the test switch will be located in that section

KEY DATA	
Lumen Range Per Foot	D: 300-850
Wattage Range Per Foot	2.9-8.6
Efficacy Range (LPW)	99-102
Rated Life (Hours)	L70: >61,000 L90: >61,000

DIMENSIONS

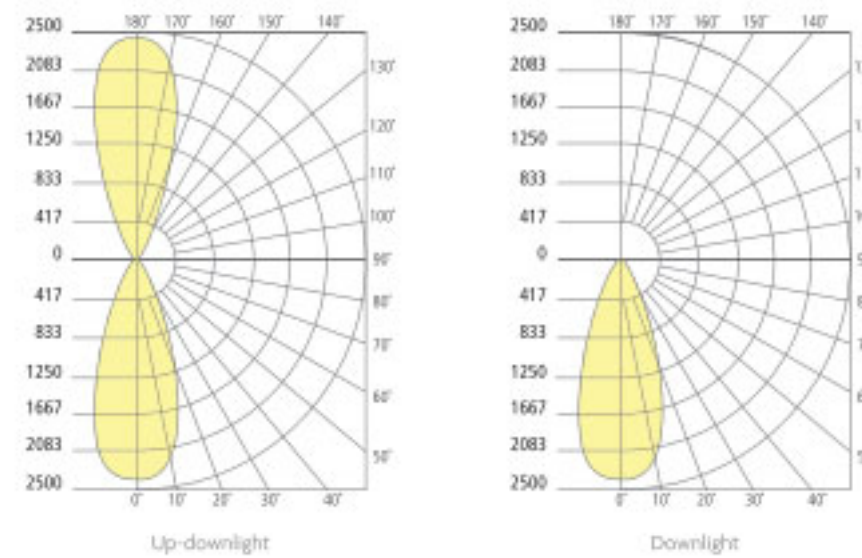


TEGEL 18 WALL SCONCE



PHOTOMETRICS\*

TEGEL 18 UP/DOWN		TEGEL 18 DOWN	
Total Lumen Output:	2419	Total Lumen Output:	1212
Total Power:	29.9	Total Power:	15.6
Luminaire Efficacy:	80.6	Luminaire Efficacy:	77.7
Color Temp:	3000K	Color Temp:	3000K
CRI:	80+	CRI:	80+
BUG Rating:	80-105-G0	BUG Rating:	80-105-G0



PROJECT INFO

DESIGN TYPE & QUANTITY	JOB NAME & INFO	NOTES



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KIMLIGHTING®

UR20 ARCHITECTURAL AREA/SITE

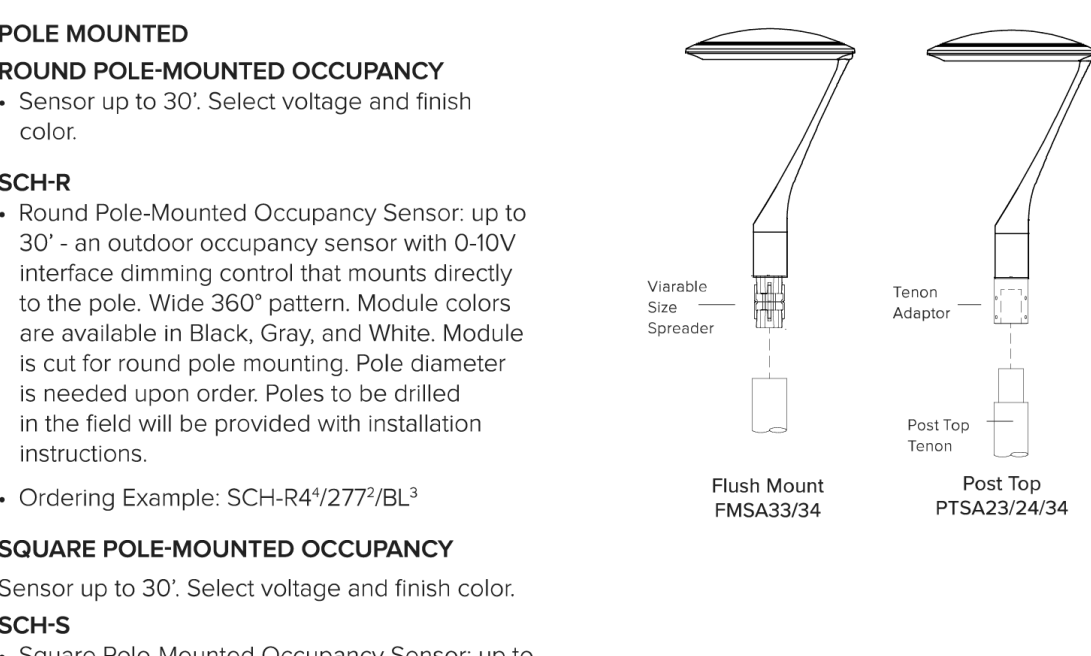
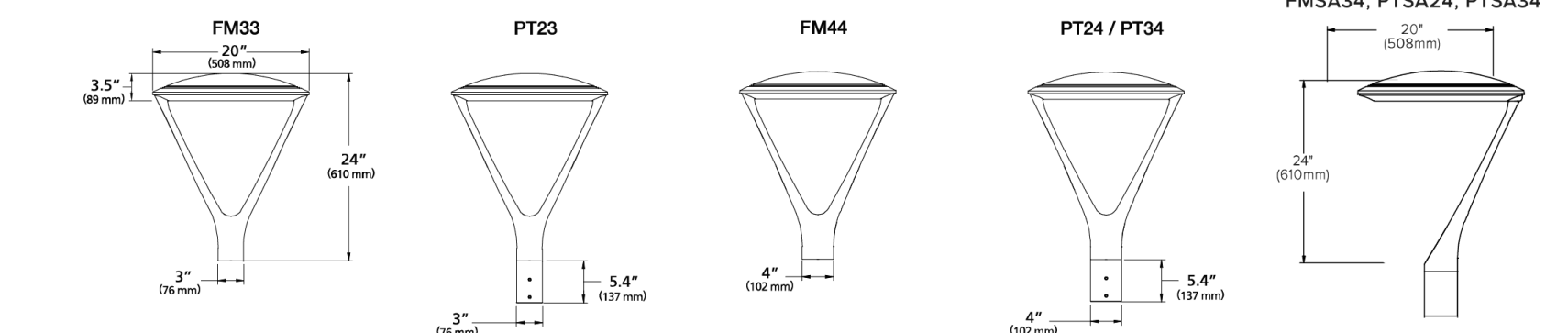
Ouro

- FEATURES**
- 20" size in single/dual arm post top, pole and wall mount
  - High performance optics up to 16,874 delivered lumens
  - Elegant form factor
  - Diffusion lens option
  - SiteSync™ wireless control options
  - UL/CUL listed for wet locations, IP66 and 4G/1.5G vibration rated

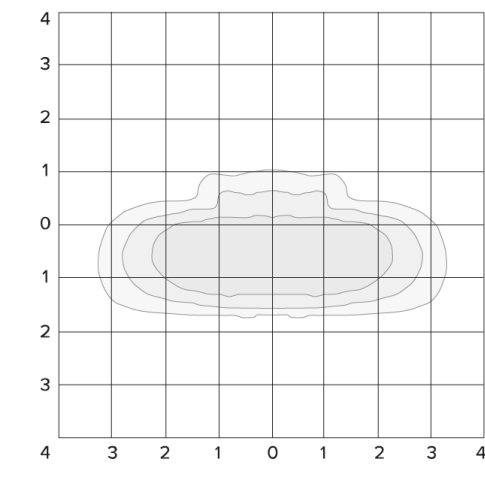
- INSTALLATION**
- Fixtures must be grounded in accordance with national, state and/or local electrical codes. Failure to do so may result in serious personal injury.
  - **ELECTRICAL**
    - Universal voltage, 120 through 277V with ±10% tolerance. Driver is Underwriters Laboratories listed.
    - High voltage configurations, 347/480. Driver has a 0-10V dimming interface for multi-level illumination options. Driver is Underwriters Laboratories listed.
    - "Thermal Shield", secondary side, thermistor provides protection for the sustainable life of LED module and electronic components.
    - Drivers shall have greater than a 0.9 power factor, less than 20% harmonic distortion, and be suitable for operation in -40°C to 40°C ambient environments.
    - Luminaire shall be capable of operating at 100% brightness in a 40°C environment. Both driver and optical array have integral thermal protection that will dim the luminaire upon detection of temperatures in excess of 85°C.
    - Surge protection: 10,000k in parallel, 20,000k in series
    - Wiring: No. 18AWM rated 105°C, wet rating.

KEY DATA	
Lumen Range	2694 - 16874
Wattage Range	25 - 150
Efficacy Range (LPW)	95 - 133
Reported Life (Hours)	L70:>60,000
Weight	35 lbs - 15.8 Kg
EPA	0.608

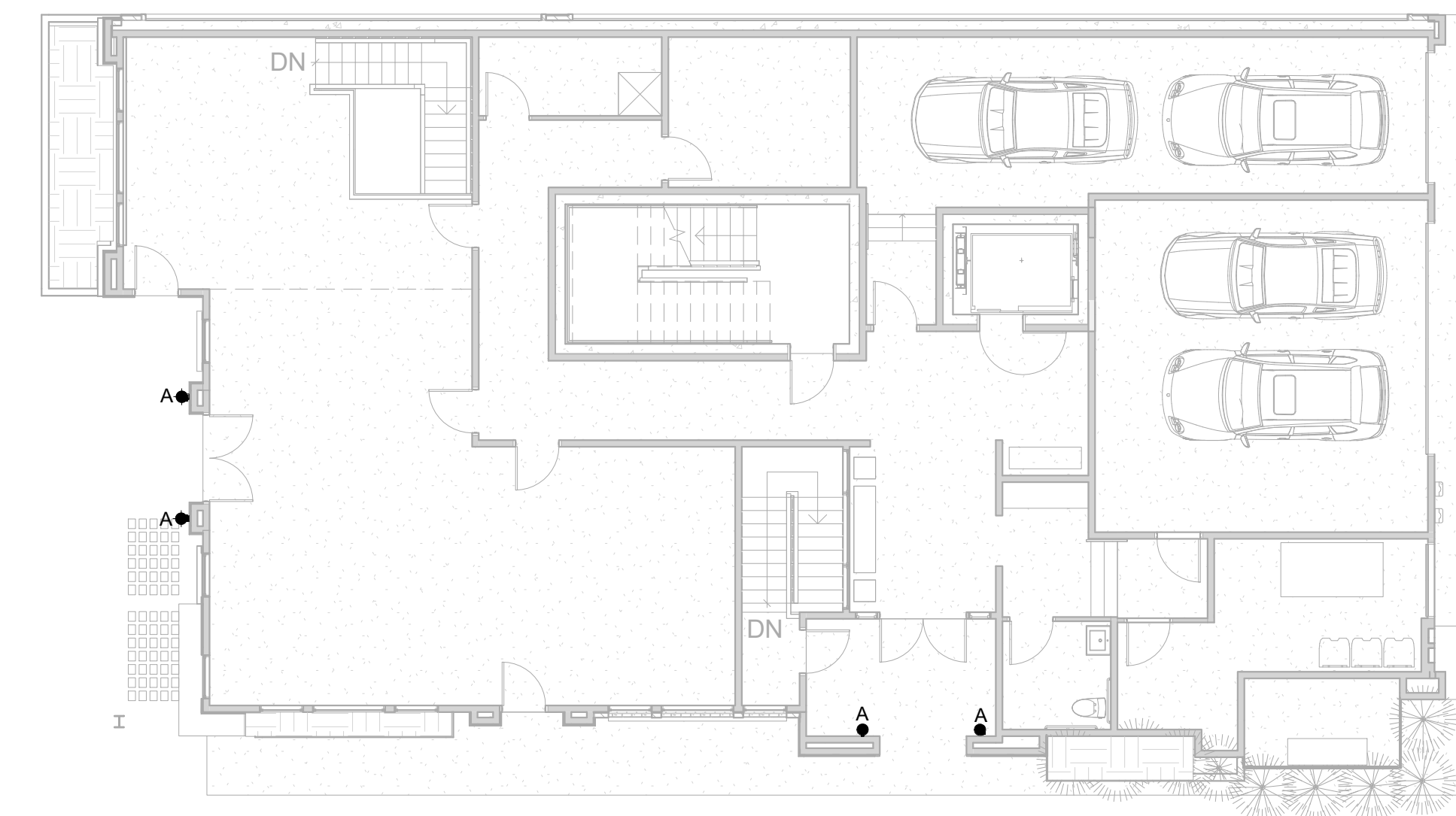
DIMENSIONS



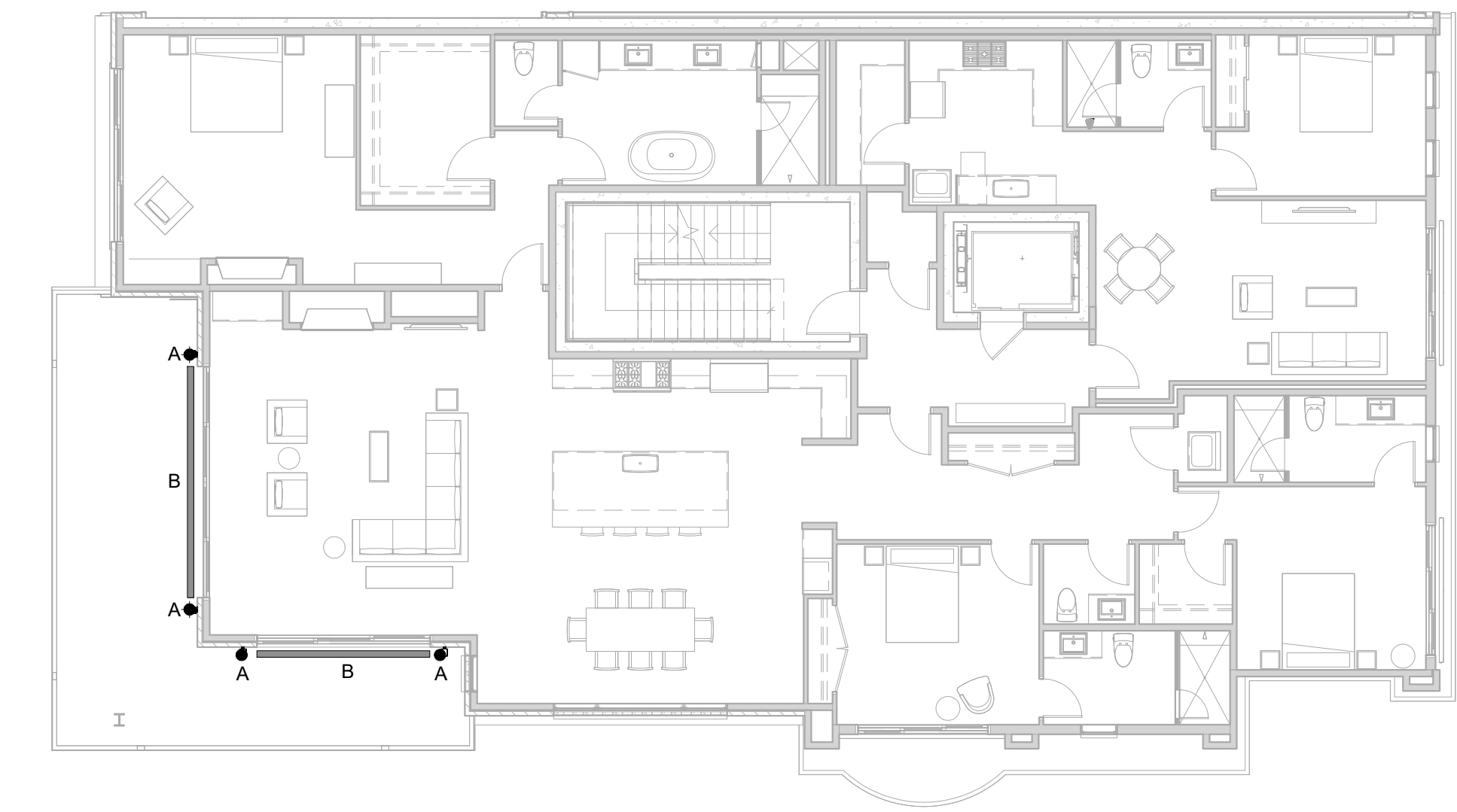
ISOFOOT CANDLE PLOT



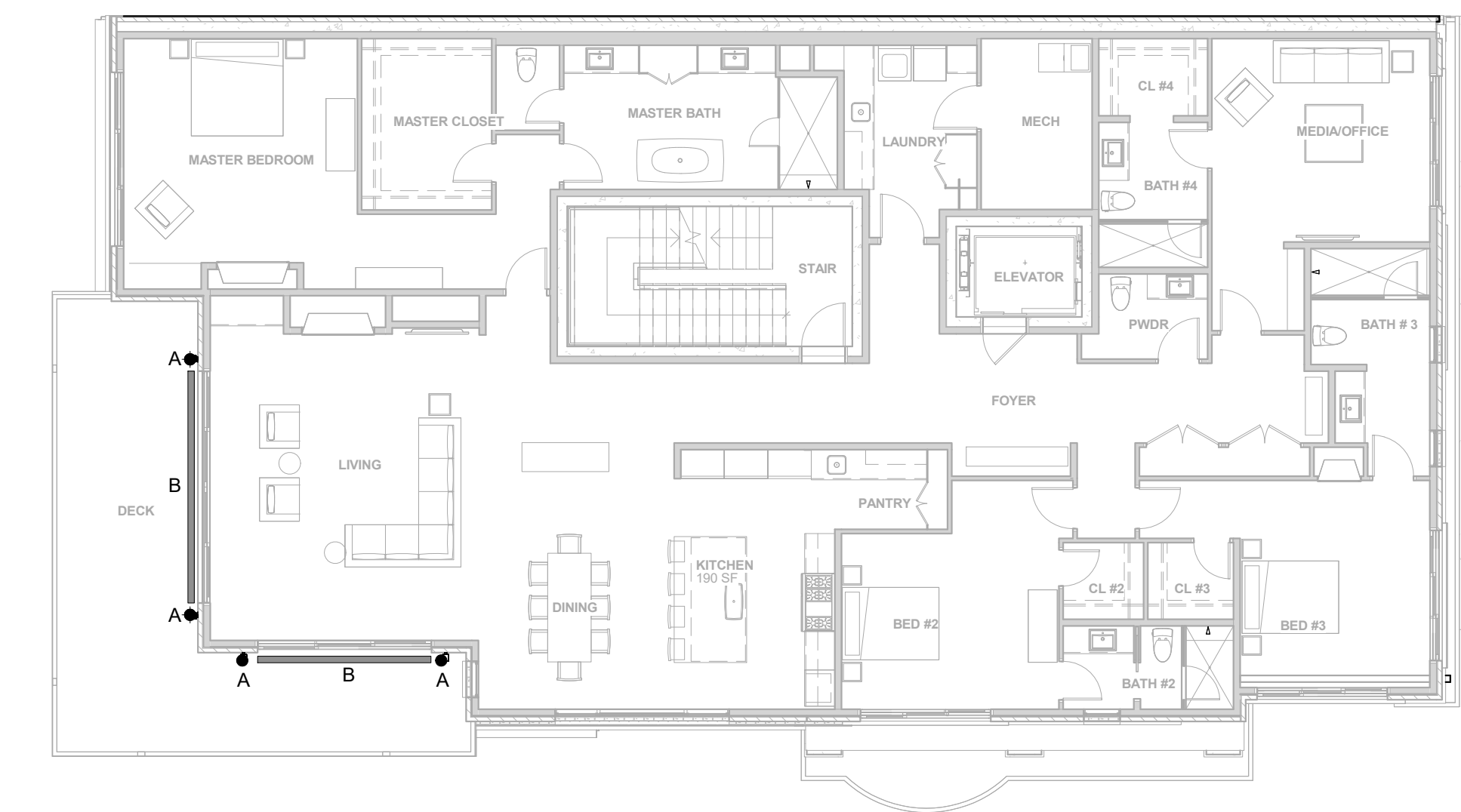
- ASTRODIM**
- AstroDIM provides multi-stage night-time power reduction based on an internal timer referenced to the power on/off time. There is no need for an external control infrastructure. The unit automatically performs a dimming profile based on the predefined scheduled reference to the midpoint, which is calculated based on the power on/off times.



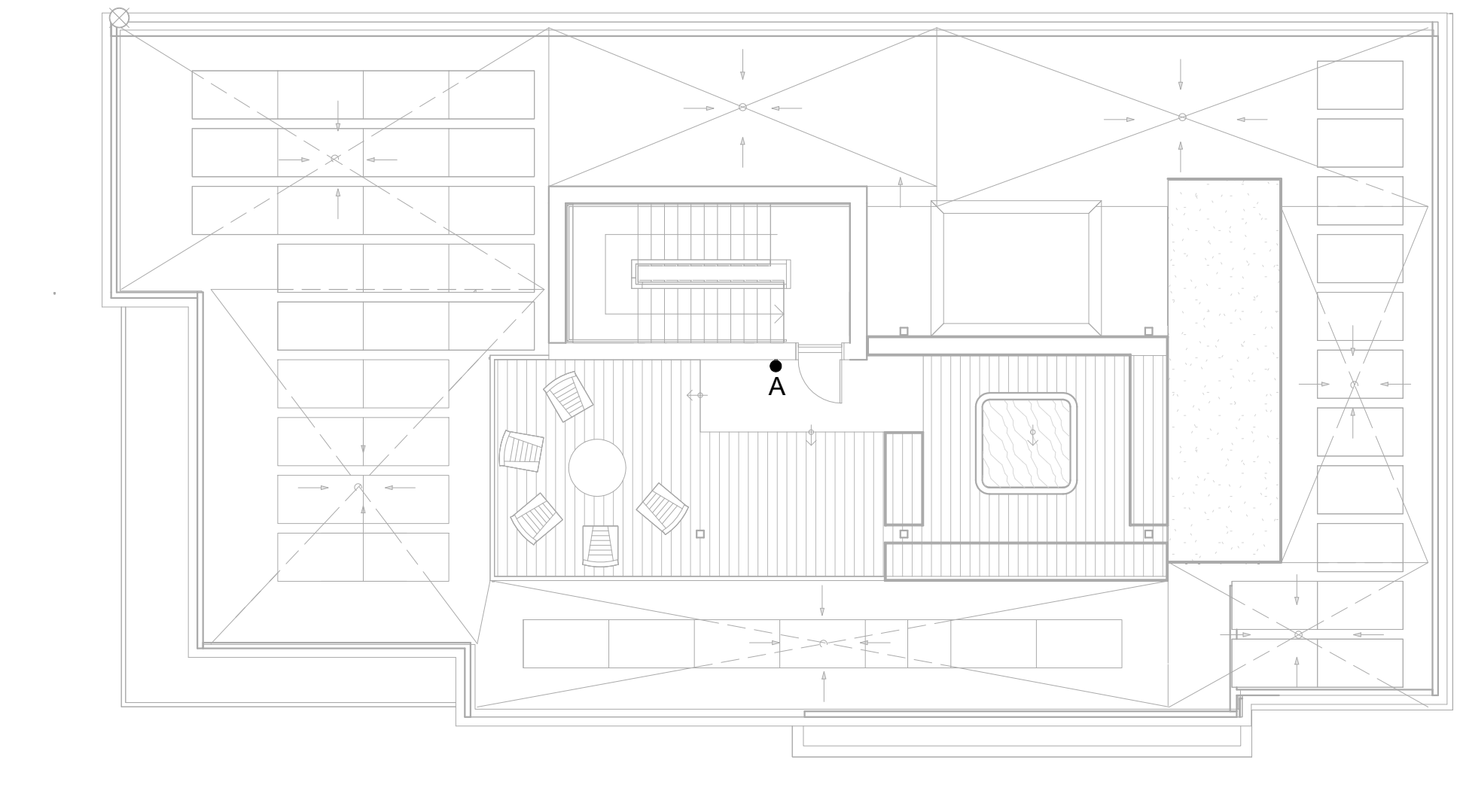
1ST FLOOR PLAN 1" = 10'-0" 1



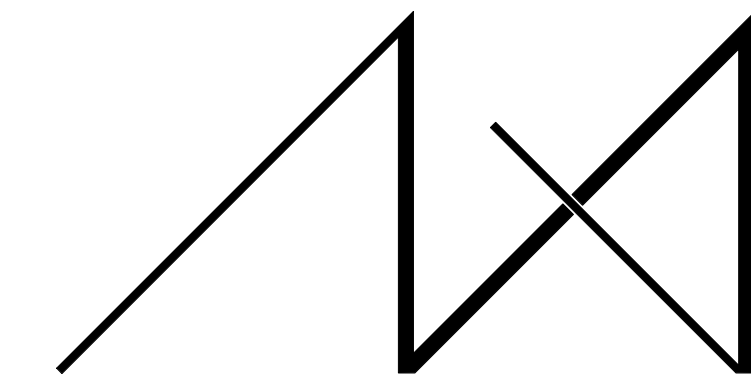
2ND FLOOR PLAN 1" = 10'-0" 2



3RD FLOOR PLAN 1" = 10'-0" 3



ROOF PLAN 1" = 10'-0" 4

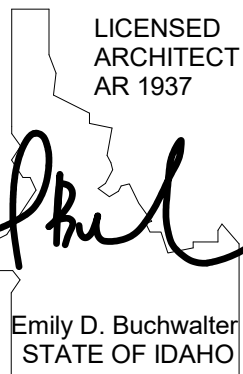


MEDICI ARCHITECTS

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THE 208 BUILDING

CARR, MICHAEL

JOB ADDRESS:

200 N LEADVILLE KETCHUM IDAHO, 83340 PARCEL #RPK0000230010

DRAWING NAME:

EXTERIOR LIGHTING PLANS AND FIXTURES

Drawn By: NR/AR

Checked By: EB

Owner Approval:

PHASE:

CONSTRUCTION DRAWINGS

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APPROVED FOR CONSTRUCTION:

PROJECT No.: A21-198

DATE: 12/9/2022

12:14:18 PM

A5.2

PLOT SCALE: 1:1

**EXTERIOR BUILDING SIGN**

**BUILDING SIGN**  
 TYPE FACE: SWIS721 BLK BT  
 SIZE OF NUMBERS: 4.25" x 6"  
 SIZE OF LETTERS: 3" x 3"

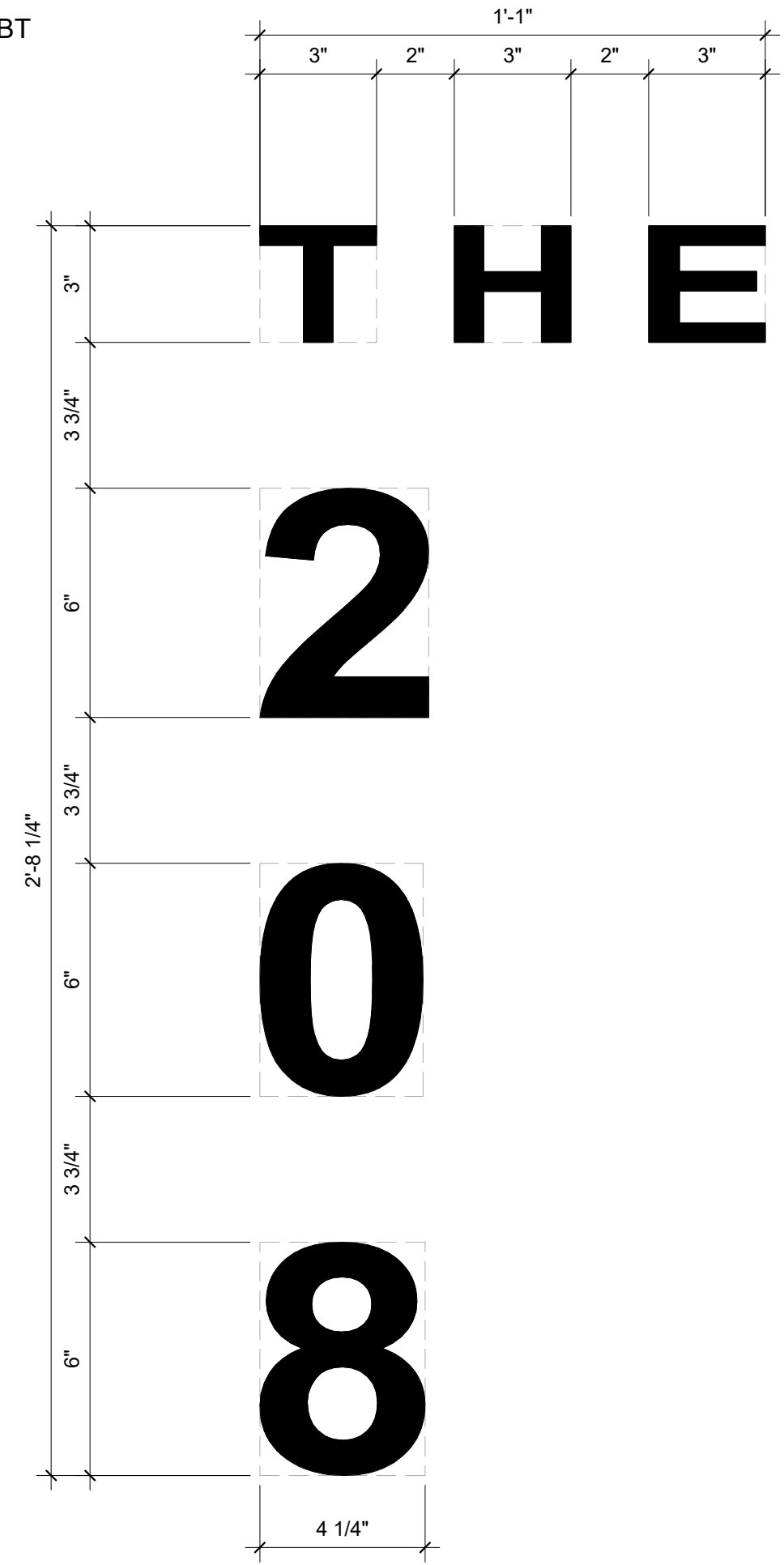
**DISCRIPTION:**  
 BLACK ANODIZED ALUMINUM  
 HOLLOW CORE CAST LETTER PIN  
 MOUNTED WITH HALF INCH OFFSET  
 FROM BUILDING SURFACE

4 SQ FEET MAX  
 TO COMPLY WITH KETCHUM  
 SIGN ORDINANCE  
 17.127.00

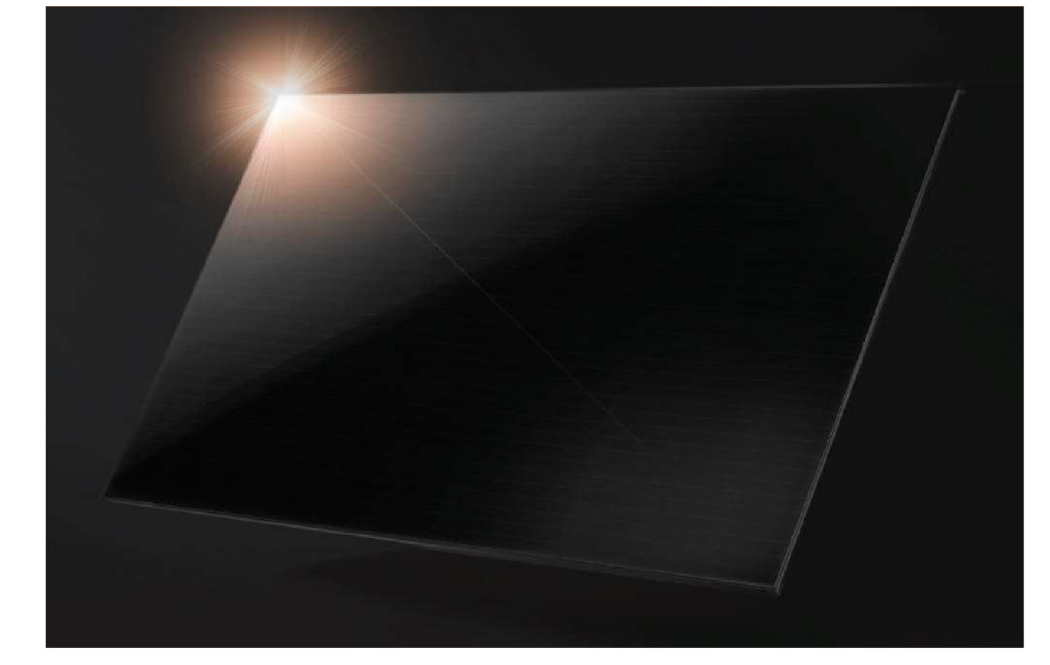
**LEADVILLE AVE SIGNAGE CALC**  
 55/3 L.F. = 18.3 SQ. FT.  
 OF SIGNAGE ALLOWED

-SIGN TO COMPLY WITH 17.127  
 KETCHUM SIGN ORDINANCE

**PROPOSED:**  
 BUILDING ADDRESS 8,625 SQ. FT



- CONSTRUCTION NOTES**
- ROOF PITCH: 5° (AR-01) AND 36° (AR-02)
  - ROOF CLADDING: FLAT TPO MEMBRANE (AR-01) AND STANDING SEAM METAL ROOF (AR-02)
  - ROOF STRUCTURE: ENGINEERED RAFTER SYSTEM (AR-01) AND 2"X4" TRUSSES AT 24" O.C. (AR-02)
  - MOUNTS ARE ON GRID SPACING, OCCURRING AT RAFTERS.
  - VERIFY RAFTER LOCATIONS IN FIELD.
  - MAX SPAN BETWEEN MOUNTS: 20' O.C.
  - APPROX 60 MOUNTS TOTAL.
  - REFER TO MODULE AND RACKING MFR'S INSTALL MANUALS.
  - PLUMBING AND MECHANICAL VENTS SHALL NOT BE COVERED BY SOLAR MODULES.
  - ALL FASTENERS STAINLESS STEEL U.O.N.



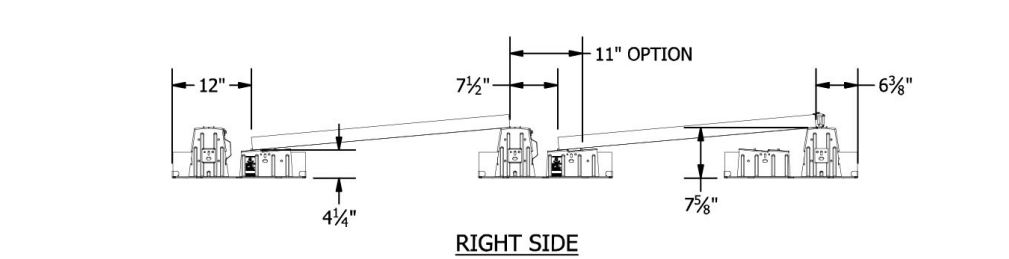
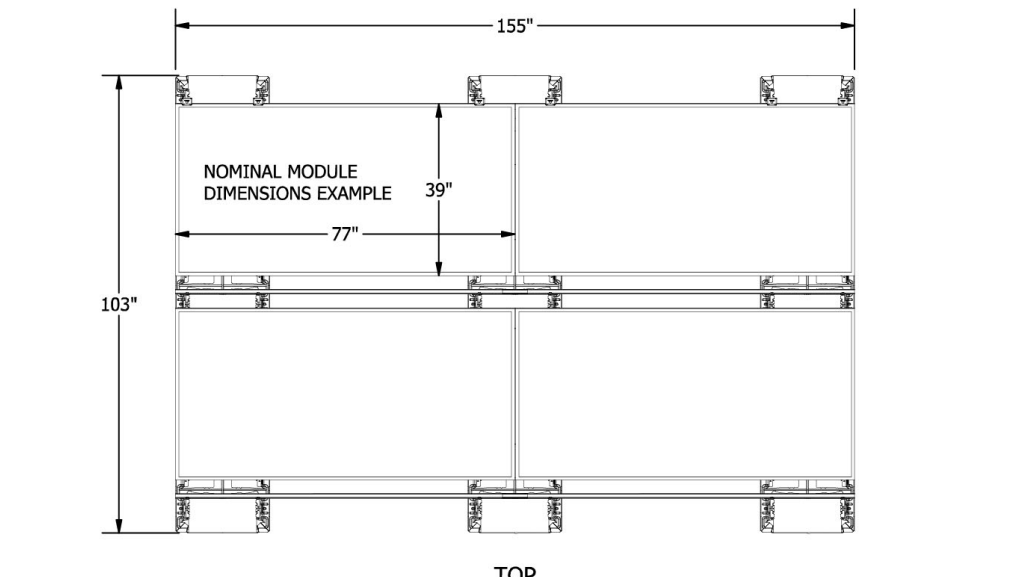
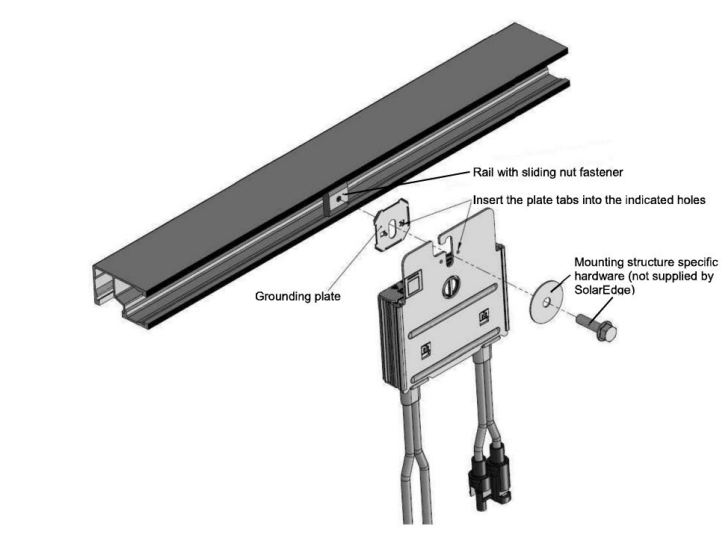
**DIRECT CURRENT PHOTOVOLTAIC POWER SOURCE**

MAXIMUM VOLTAGE	480.0 V
MAXIMUM CIRCUIT CURRENT	20.0 A
MAXIMUM RATED OUTPUT CURRENT OF DC TO DC CONVERTER	15.0 A

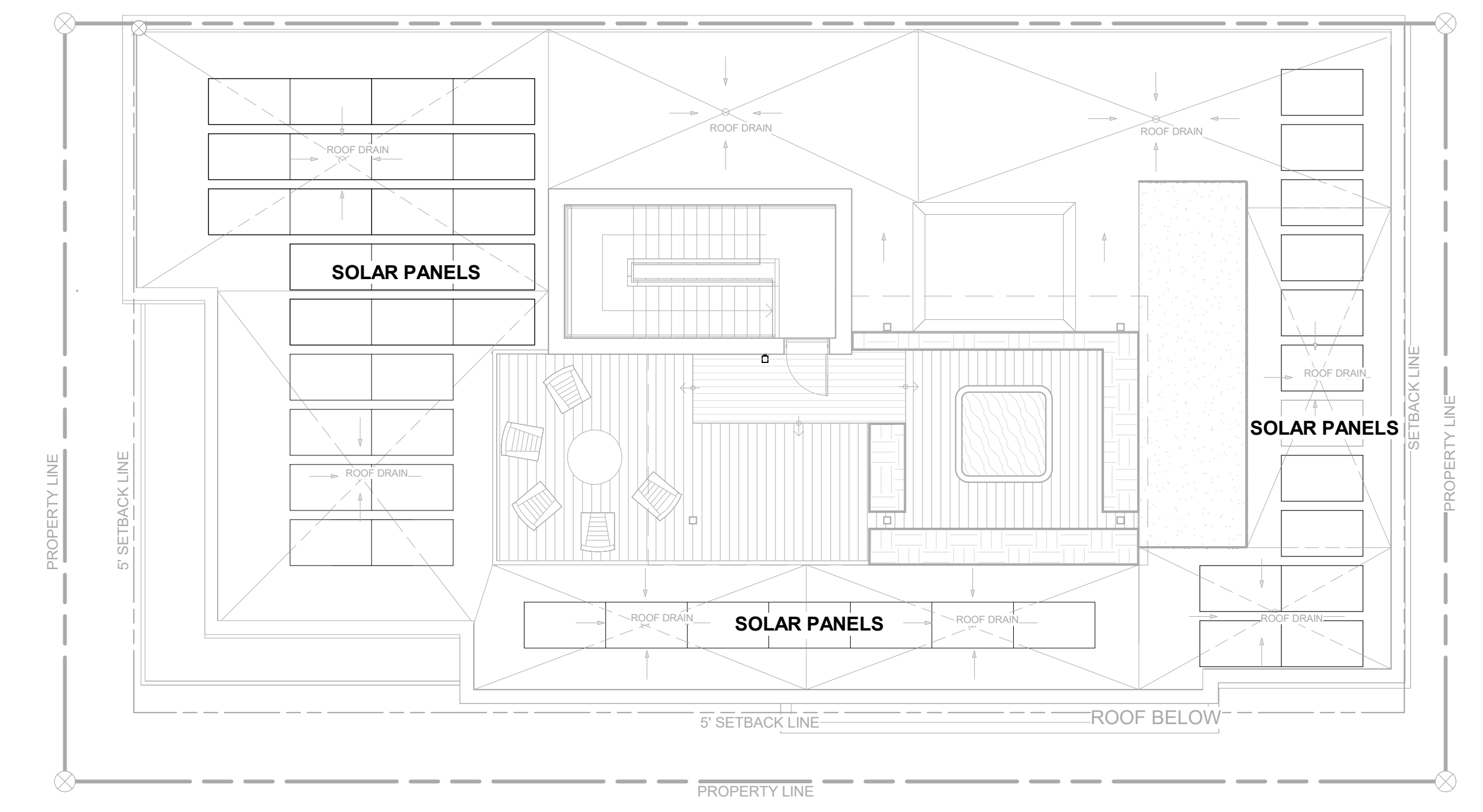
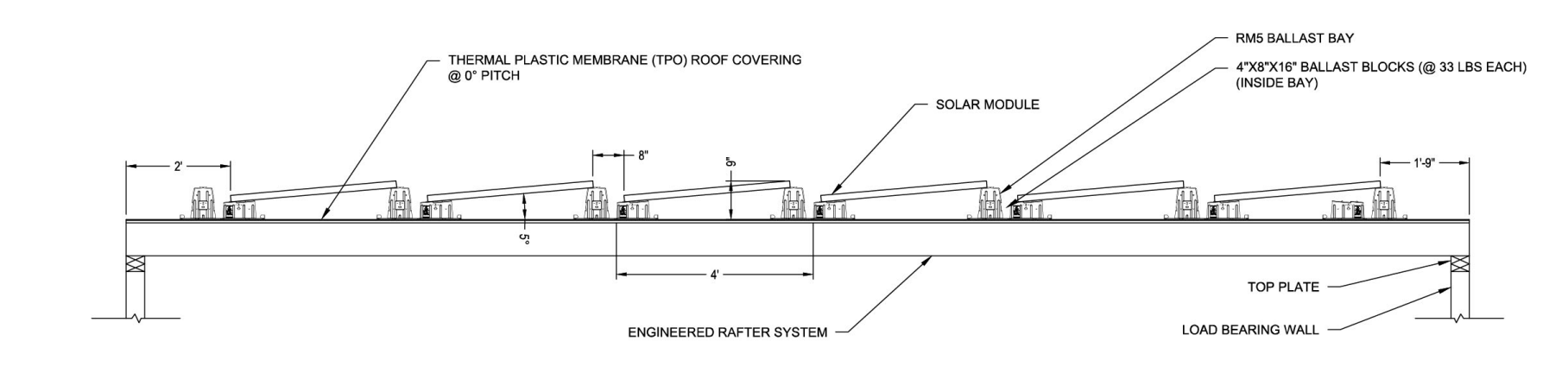
**SOLAR PV SYSTEM AC POINT OF CONNECTION**

AC OUTPUT CURRENT	64.0 A
NOMINAL AC VOLTAGE	240 V

THIS PANEL FED BY MULTIPLE SOURCES (UTILITY AND SOLAR)  
 LABEL PLACEMENT: MAIN SERVICE PANEL



1 ROOF ELEVATION (AR-01)  
 SCALE: 1/2" = 1'

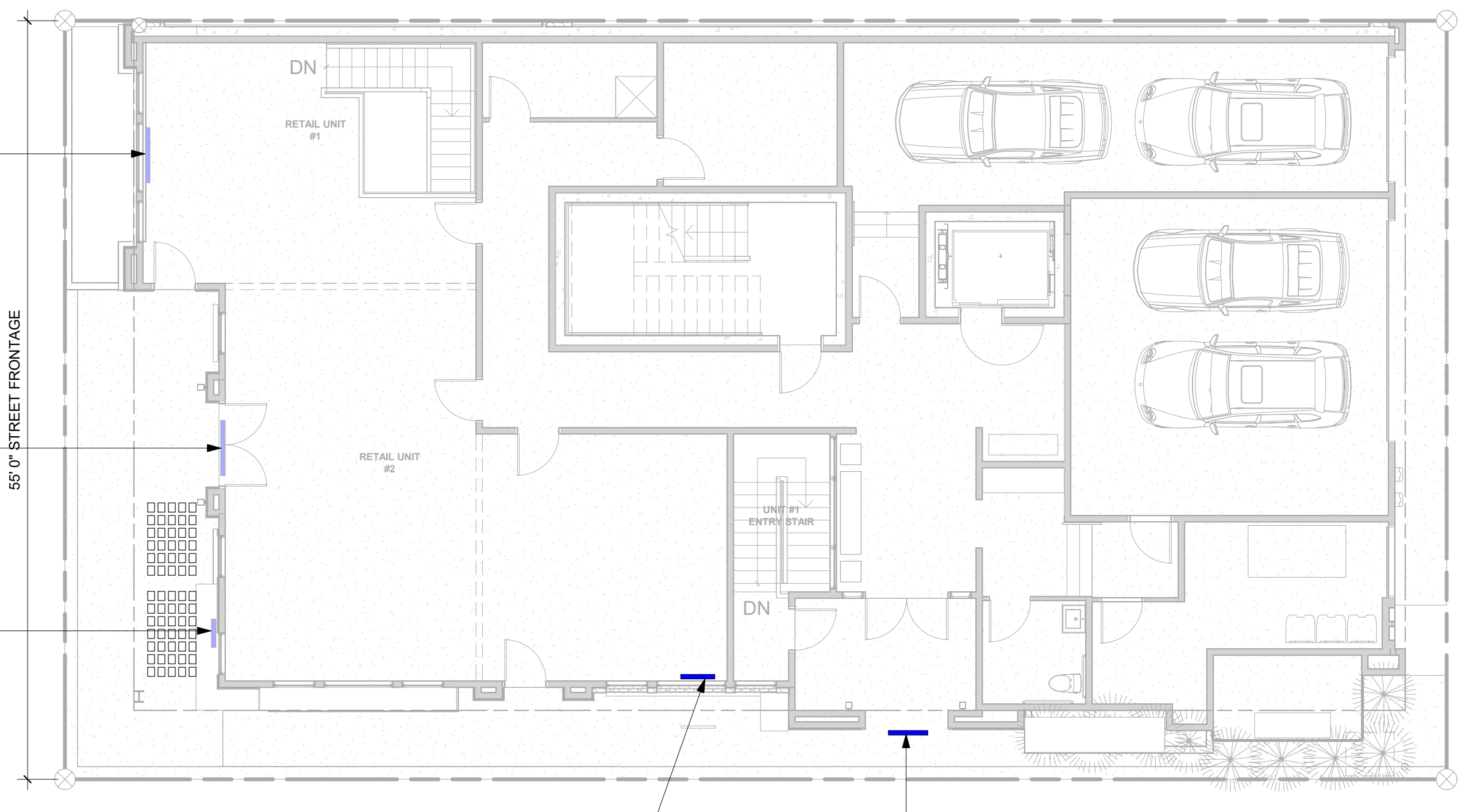


ROOF SOLAR PANEL LAYOUT  
 1/8" = 1'-0" 1

**INTERIOR RETAIL SIGN**  
 -4SQ FT MAX  
 -TO COMPLY WITH KETCHUM  
 SIGN ORDINANCE 17.127.020

**INTERIOR RETAIL SIGN**  
 -4SQ FT MAX  
 -TO COMPLY WITH KETCHUM  
 SIGN ORDINANCE 17.127.020

**EXTERIOR SIGN**  
 -PROPOSED 8,625 SF  
 -TO COMPLY WITH KETCHUM  
 SIGN ORDINANCE 17.127



**INTERIOR RETAIL SIGN**  
 -4SQ FT MAX  
 -TO COMPLY WITH KETCHUM  
 SIGN ORDINANCE 17.127.020

**EXTERIOR SIGN**  
 -PROPOSED SIGN 3 SF  
 -TO COMPLY WITH KETCHUM  
 SIGN ORDINANCE 17.127.020

SIGNAGE PLAN  
 1/8" = 1'-0" 3

**PRECAST CONCRETE AND GLASS PAVERS**



**Design Features + Options:**

**Glass paver** and precast concrete panel systems allow light to travel through the floor to brighten any space below or create a decorative feature at night as the light shines up from underfoot. Solid or hollow floor glass blocks are manufactured to have a thicker face and are annealed for a longer period of time, increasing the strength of the precast concrete and glass paver sidewalk panels. Our panels can also be recessed to accept field-applied finishes (ex. wood) to seamlessly transition into adjoining materials.

**Glass Pavers & Panel Sizes**

- Glass pavers are available in:
  - 2.75" and 3.5" square (historic pavers)
  - 4.5" and 7.5" round
  - 6" and 8" square

Panels come in a variety of common sizes. Custom shapes, sizes, and configurations are possible to fit any project's design.

**Glazing**

- Glazing options available:
  - Clear or sandblasted top for an anti-slip walking surface

Sandblasting the glass will allow for overall more slip resistance when walking across the top surface of the glass pavers. Custom faux finishes may also be available.

**Concrete Finishes**

- Six (6) standard colors
- Custom colors available to match any project's design
- Sand Blast, Acid Etched, or Light Broom finish on the top surface of the concrete
- Fully engineered and tested
- Stamped engineered drawings are available for all 50 States and Canada

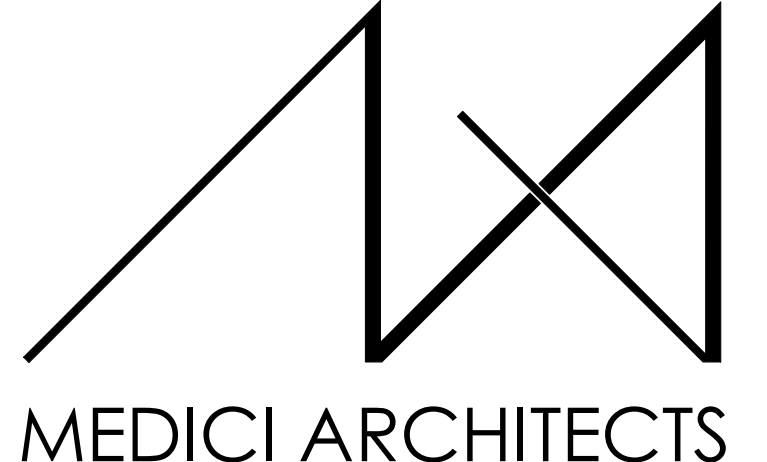
**Common Applications:**

Glass paver and precast concrete panels are extremely versatile and appropriate for use in all market sectors ranging from commercial offices, cultural centers, government building renovations, mass transit, and more. Below is a list of applications in which our precast concrete and pavers system has been installed. Prefabricated panels allow for a quick and easy installation, with low maintenance in the future. If you don't see your application below, give one of our design experts a call to start working on the design of your dreams.

Balconies	Flooring	Stair Treads
Barrel Vaults	Lobby Floors	Pavios
Bridges	Roadways	Walls
Canopies	Sidewalks	Windows
Deck Lights	Skylights	Vault Lights

**Load Capabilities:**

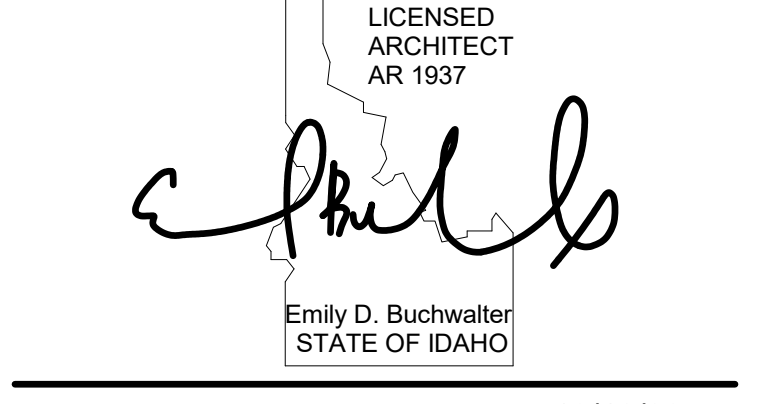
Precast concrete panels are engineered to carry 150 pounds per square foot live load over the course of a 5-foot span. Pre-glazed glass paver and precast concrete panels are engineered to handle high load capabilities. Incredibly strong, these precast concrete panels can even be engineered to withstand vehicular traffic and vehicular traffic loads as high as ASHTO H520-44.



11711 SE 8TH STREET SUITE 100  
 BELLEVUE, WA 98005  
 TEL: (425) 453-9298

200 W. RIVER ST. SUITE 301  
 KETCHUM, ID 83340  
 TEL: (208) 726-0194

**REGISTRATION:**



INTAKE DATE: 10/12/22

**REVISIONS:**

REVISIONS:	DATE:

**PROJECT / CLIENT:**

**THE 208 BUILDING**

CARR, MICHAEL

**JOB ADDRESS:**

200 N LEADVILLE KETCHUM  
 IDAHO, 83340  
 PARCEL #RPK0000230010

**DRAWING NAME:**

**SPEC SHEET**

Drawn By: NR/AR  
 Checked By: EB  
 Owner Approval:

**PHASE:**

**CONSTRUCTION DRAWINGS**

This drawing is the exclusive property of MEDICI ARCHITECTS, and can be reproduced only with the permission of the Architect. Variations and modifications to work shown on this drawing shall not be carried out without written permission from the Architect.

**APPROVED FOR CONSTRUCTION:**

PROJECT No.: A21-198  
 DATE: 12/9/2022  
 12:14:43 PM

PLOT SCALE: 1:1

**A5.3**



City of Ketchum

# ATTACHMENT C: Public Comment

Dear P&Z Commissioners,

I was recently made aware of the project application at 200 N. Leadville Avenue in Ketchum. I did some investigation after seeing the incredibly tall story poles on the lot and, as a developer, it did not take too much imagination to project that height to the four building corners and the zero set back proposed on the north property line. I was very surprised at the size but learned that the height and bulk of the building was based on a bonus related to a potential in-lieu housing payment. Although I certainly support the city's different housing initiatives, it should not be at the expense of community character and scale and by ignoring the Design Review Ordinance we all rely upon. This is just the wrong location for a height and size bonus.

When I first began to re-plan Warm Springs Ranch, I soon realized that the scale of prior approvals would have been a blight on the overall community. My final decision included dramatically reduced density (only 35 single family homes), CC&Rs that significantly reduced potential home sizes, added setbacks beyond city requirements etc. and finally, a sizable preserve that will exist in perpetuity. This plan was not put in place to maximize sales volume, it was based on having lived here for 40 years and my care for the community into the future.

I believe my actions prove that I certainly believe in proper scale throughout the city limits and this project is simply too big for the smaller scale neighborhood and its prominent location in the core. The bonus is not a right of the developer and must be first be evaluated for proper design. It's apparent that by pushing the size limits to the max. there is a greater profit for the developer but that should be of no concern to you as commissioners.

Some of the actual architectural elements have some appeal and the overall design would not be as objectionable without the bonus height and FAR. I would also expect the Second Street frontage to actually have retail as required. I would also recommend a setback(s) from the north property line to create some relief and an acceptable façade, as it is highly visible along Leadville and even from Sun Valley Road. I would also think that this is actually better for the value of any above ground residential units in the building, by bringing in natural light and views.

Making everyone look at a 42-foot-tall generally blank wall for what could be decades seems like an obviously wrong decision. The mural idea is an obvious band aid on a much bigger issue and should not even be considered.

Please deny this application and/or send it back to be designed more in keeping with the existing neighborhood and without the inappropriate bonus. It could be there for a hundred years. Let's get it right before it gets built and we are stuck with it.

Sincerely,



Bob Brennan

# DAVID C. HUTCHINSON

November 29, 2022

Dear Commissioners,

My Name is David Hutchinson and I represent the owner of the property at 240 North Leadville Avenue in Ketchum, 240 North Leadville, LLC. My company has also been the tenant in the building at the same address for about 30 years. I provide this letter and make these comments as a neighbor, but want you to know that I look at this application as a problem for the entire community, as a whole.

My first comment, prior to getting into some detail, is that the building, as currently designed, has too much mass, bulk, very little architectural relief, and, if granted the bonuses (which are discretionary), it's way too tall and simply does not fit into the city at large and definitely not within the city block where it is proposed. The purpose as outlined in the Ordinance "is to maintain and enhance the appearance, character, beauty and function of the city, to ensure that new development is complimentary to design of existing City neighborhoods and to protect the economic base of the City of Ketchum." This proposal blatantly contradicts the purpose on a number of levels. It is certainly not complimentary to the design of the existing neighborhood and has no intent to enhance the economic base commercially, in this highly viable retail location, one block east of Main Street. The building is proposing a mere 1306 sq. ft. of retail in an oversized building that is 11,663 sq. ft. or only 11% of the total. This is a residential development disguised as mixed use.

The Ordinance actually provides the Commission the discretion to require more restrictive standards than are generally found in the Code. The applicant is requesting bonuses on a site that is actually a candidate for more restrictive standards. In 17.96.060 Improvements and Standards under F- 1, "Building(s) shall provide unobstructed access to the nearest sidewalk and entryway shall be clearly defined." The opposite is true on Second Street and that is pointed out in the staff report. Most of the Second Street window front exposes stairs for residential units. Again, that is because this is clearly a residential development that does not conform with the intent or standards. In F-2, the building character is not clearly defined by architectural features, it has minimal relief and is really designed to provide maximum interior square footage. F-5 requires undulation and relief to deal with bulk and flatness and that does not occur to the necessary extent, especially on a building of this size.

From a functional perspective, garage parking off the alley (including a 2-car tandem) is extremely problematic in a busy commercial alley. Deliveries and refuse pick up associated with The Kneadery, Wiseguys and the Cellar are regular daily occurrences. The power lines and poles in the alley further complicate the situation. Two of the units have no parking at all and all the surrounding long-term public parking is occupied daily, so not sure where those owners/tenants will put their cars ever, not to mention on a snowy night. Speaking of precipitation, the building design does not take into account most of the exposed sidewalks as it relates to snow and rain protection. Finally, the transformer is clearly in the wrong place and needs to be moved. If an acceptable building can be approved, I would also encourage the city to require that the under-



grounding of all the power lines in the alley be done by this developer with a reimbursement provision on future development and/or a contribution from the undergrounding fund that is from the Idaho Power franchise agreement.

Although this application, on its face, does not meet the standards under this now old ordinance, I reserve the right to argue the fact that this project should be reviewed under the current emergency ordinance. By definition, if it's an emergency, the city, under existing Standard 17.96.050 A. Criteria, can also require that the project conform to "any other standards as adopted or amended by the city of Ketchum from time to time." I also believe it could be successfully argued legally that an application, although deemed "complete," is not actually final until the notice provision is met. Notice was provided on November 23, 2022, which was well after the formal adoption of the emergency Interim Ordinance.

Design review is not a mechanical decision. The lines people in tennis and now baseball umpires are being replaced by machines because machines can more accurately determine simple facts like in or out, in situations where there is no gray area. The Design Review process intentionally includes subjectivity and requires that decisions be made by people, those appointed as the protectors of the public and the voice of the community. You are those people.

The Design Review ordinance has the strength to prohibit buildings like this from cropping up in town. The ordinance provides the discretion, but you, the commissioners, must have the courage to do what is right. The developer is required to meet the standards and only you determine if they are met. This building simply does not meet a lot of them. Per the ordinance, If any one of the standards is not met, the decision must be denial or, at minimum, a request for a significant redesign. You have the strong support of the public to deny what is inappropriate. You have been appointed to represent the past, the present and the future of Ketchum, and are the City's last line of defense. This building will stand for one hundred years or more. It's not built yet and it can be redesigned properly. If you look the other way, it will be a "sore thumb" that everyone talks about for decades.

It is apparent that this project does not want to provide something of value to the community and add to a vibrant commercial core; it just wants to make sure it makes as much economic sense as possible. The design is obviously driven by residential values and building size, not by acceptable architecture. The developer wants to sneak this building by, use the bonuses to add mass (and sales revenue) and to disregard the City's efforts at responsible development. It's all about pushing the limits. This is the opposite of sensitive and appropriate development in the core, and the applicant needs to hear that from all of you. The community is counting on you to have their back.

Sincerely,

A handwritten signature in blue ink, appearing to read "David C. Hutchinson", with a long horizontal flourish extending to the right.

David C. Hutchinson

**From:** [Participate](#)  
**To:** [Morgan Landers](#); [Heather Nicolai](#)  
**Subject:** FW: Additional Comments  
**Date:** Wednesday, December 14, 2022 11:51:34 AM

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Public comment.

## **LISA ENOURATO | CITY OF KETCHUM**

**Public Affairs & Administrative Services Manager**

P.O. Box 2315 | 191 Fifth St. W. | Ketchum, ID 83340

o: 208.726.7803 | f: 208.726.7812

[lenourato@ketchumidaho.org](mailto:lenourato@ketchumidaho.org) | [www.ketchumidaho.org](http://www.ketchumidaho.org)

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**From:** David Hutchinson <david@vpcompanies.com>  
**Sent:** Tuesday, December 13, 2022 4:56 PM  
**To:** Participate <participate@ketchumidaho.org>  
**Subject:** Additional Comments

To: Ketchum Planning and Zoning Commissioners

Please include this email in the staff report for the hearing on The 208 Condominiums on December 20, 2022.

The following comments are based upon additional information and from attending the first hearing,

I learned at the hearing for the first time that the City Council had approved an "FAR Exceedance Agreement" prior to the P&Z hearing for design review. I believe the staff said this was not how it was typically done in the past. I would suggest that the initial portion of the hearing was quite confusing based on this procedure deviation. The staff attempted to let the commission know that the "exceedance agreement" approval was subject to modification based on the P&Z design review findings. I would, therefore, like to emphasize that point and ask that the commission disregard what was really a premature approval. Also, as an adjacent property owner, I do not believe I was noticed of the council meeting where the exceedance was discussed and "approved".

From my observation at the hearing ( and the video tape will bear that out) this council "approval" wrongly influenced the process and created an expectation of a P&Z design review approval by the applicant for a building that is clearly out of scale for the property and the location. The applicant actually put forth the amount of time and money spent based on the council approval as a reason to approve the design review. The potential for a much bigger and taller building was in exchange for an in-lieu housing contribution.

I am all for the formula that creates housing money but not when it is at the expense of the scale and character of the community. It is only appropriate where the actual project, the location and the neighborhood support a larger scale. The potential locations for this type of height and bulk would typically be more than two blocks from the intersection of Main and Sun Valley Road ( as the scale

has been mostly determined and is lower ) and/or where there is topography that mitigates appearance of height and bulk ( west side of Main Street ), where the building fronts a 90 'wide street ( very important as it mitigates a narrow corridor) and where the neighborhood already has a collection of larger buildings, therefore adding some complimentary design to the existing neighborhood.

This site meets none of those reasonable criteria and is therefore in conflict with the entire purpose of the Design Review Ordinance. It's a block from both Main Street and Sun Valley Road, The neighborhood buildings are low in scale and not far from historic preservation buildings, it's a 55 ft wide single lot with narrow roads on both sides of the corner, it proposes a basically blank 42' tall north wall that is over 6000 sq. ft. and very visible from many locations and a Second Street frontage with no retail that contradicts that specific design review criteria. Based on those facts, the city's meaningful intent of providing for community housing creates a situation where the intended contribution to a solution becomes its own bigger problem. Any in-lieu payment in exchange for a building that will be detrimental to the community character for up to 100 years or more, is simply not worth the trade. The City needs to save the in-lieu formula and the FAR Exceedance Agreement for appropriate projects in a locations that work. There are plenty of those locations in town, but this is obviously not one.

Sincerely,  
Dave



**David Hutchinson**

*(208) 726-1875*  
*(208) 720-0789 (cell)*  
[www.vpcompanies.com](http://www.vpcompanies.com)

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THE KNEADERY  
P.O. BOX 3043  
KETCHUM, ID 83340  
(208) 726-9462

December 14, 2022

Dear Commissioners:

I am the owner of the Kneadery, which is located at 260 N. Leadville Avenue. The Kneadery is located on the same street as the proposed three-story mixed-use building at 200 N. Leadville Avenue just 55 feet to the North. Although the proposed building is labeled "mixed-use," upon review of the proposed design, it appears that it is predominately a residential building with only a small portion (approximately 11%) dedicated to retail. Certainly, such residential development is not appropriate in the commercial core, and having zero retail on the Second Street frontage makes no sense.

As currently proposed, the building is only a block from Main Street and Sun Valley Road and the existing buildings in the neighborhood are low in scale (including the Kneadery). Furthermore, although 200 Leadville Avenue is only 55 feet wide with narrow roads on both sides of the corners, the proposed building contemplates a blank north wall that is more than 6000 square feet and very visible from public spaces, including the Kneadery's front patio, which is used for outdoor dining. Obviously, it would be less than desirable to have my customers staring at such an eyesore that will block the sun and views while they are trying to enjoy their dining experience at my restaurant.

Not only will the proposed building have a negative aesthetic effect on my business, but it will also interrupt my business's operations as well as the neighboring business' operations. Specifically, I am referring to the fact that the alley behind my property is used daily for deliveries and garbage services for the neighboring businesses. Unobstructed and continued use of this alley is imperative to allow each of these businesses to efficiently operate. However, as proposed, the garage parking off the alley as well as the 2-car tandem parking will interfere with this use and visa versa.

Additionally, as I am sure you are aware, parking in this area is already strained. Despite this problem, the project does not contemplate any relief. Instead, it proposes a mere four parking spaces with no parking for two of the units which will undoubtedly cause further strain on the publicly available parking situation, especially during the winter season when overnight parking is prohibited to allow for snow plowing. This is especially troubling to me as I anticipate that the owners of the residential units will use the nearest parking, which is located on Leadville Avenue even though those parking spaces are intended for customers at my business as well as the neighboring businesses. If parking is not readily available for customers, it is likely that they will take their business elsewhere which will have a negative impact on the existing

businesses. We cannot lose sight of the fact that this area is commercial core. Hence, the well-being of the existing businesses must be the City's priority.

Despite this, I have been informed that the City may accept an in-lieu payment in exchange for allowing a huge building that will negatively impact the neighborhood and community. Certainly, the City should not resort to prioritizing a small payment to the in-lieu fund over preserving the character of this community. The City's design standards were adopted to preserve, not undercut, the character of the community and it is imperative that you uphold them by not approving this project. Per my conversations with neighboring business owners and members of the community, the consensus is that while the proposed building may be appropriate in an alternative location, it should not be allowed at 200 N. Leadville Avenue as it will not contribute complementary design to the neighborhood. To the contrary, it attempts to sneak in an oversized, primarily residential development in an existing commercial part of town.

For these reasons, I strongly urge you to deny this application.

Sincerely,

A handwritten signature in black ink, appearing to read 'Dillon Witmer', with a long horizontal stroke extending to the right.

Dillon Witmer

PS. Please read my letter into the record at the December 20, 2022 hearing.