



**City of Ketchum
Planning & Building**

**STAFF REPORT
KETCHUM PLANNING AND ZONING COMMISSION
REGULAR MEETING OF MAY 10th, 2022**

PROJECT: 4th & Main Mixed-Use Building

FILE NUMBERS: P21-104

APPLICATION: Pre-Application Design Review

REPRESENTATIVE: Peter Paulos, PH Architects

DEVELOPER: Chris Ensign, Solstice Development

OWNER: 4th and Main Ketchum LLC

LOCATION: Hot Dog Hill—Northeast Corner of Main & 4th Street (Ketchum Townsite: Block 5: Lots 1 & 2)

ZONING: Retail Core Subdistrict of the Community Core (CC-1)

OVERLAY: None

REVIEWER: Abby Rivin, Senior Planner

4th & Main Mixed-Use Building

The applicant, developer Chris Ensign, represented by architect Peter Paulos of PH Architects, has submitted a Pre-Application Design Review for the development of a new four-story, 22,784-square-foot mixed-use building located at northeast corner of Main and 4th Street within the Retail Core (CC-1 Zone) of downtown. The ground level of the mixed-use building features 4,039 square feet of retail space within three separate units fronting Main and 4th Streets. The upper levels of the mixed-use building will contain five multi-family residential units. Parking for the residences is provided on site within five individual parking garages accessed from the alleyway.

Pre-Application Design Review Process

Design Review is required for the development of new mixed-use buildings pursuant to Ketchum Municipal Code §17.96.010.A4 . The project is subject to Pre-Application Design Review pursuant to Ketchum Municipal Code §17.96.010.C.1. The purpose of Pre-Application Design Review is to allow the Commission to exchange ideas and give direction to the applicant on the preliminary design concept in relation to all Design Review criteria and evaluation standards. The Pre-Application facilitates an

iterative and collaborative process between the Planning & Zoning Commission, developers, design teams, and the community. This preliminary review allows the Commission to identify design issues, offer constructive advice, and highlight opportunities to improve project. The Commission's feedback helps developers produce high-quality buildings and projects that enhance the character of downtown Ketchum. The Pre-Application Design Review submittal is attached as Exhibit A to the Staff Report and includes the applicant's narrative and project plans.

Background

In February 2021 the Planning and Zoning Commission reviewed a different project proposed on the entire west half of the Main Street block between 4th Street and 5th Street. That project consisted of a four-story, 48.5 foot tall, 2.21 FAR 59,090 square foot mixed use development with 4 retail units and 17 residential units. The project was denied by the Planning and Zoning Commission.

A new application with a different project has been submitted for review and consideration by the Planning and Zoning Commission. The project is now proposed on two lots, at the northeast corner of 4th Street and Main Street.

Project Site

The two lots within the project site are undeveloped. The topography slopes upwards approximately 9 feet from the northwest property corner along Main Street towards the alley. As the former summer home of Irving's Red Hots, the street corner is commonly referred to Hot Dog Hill. The applicant will submit a subdivision application to consolidate lots 1 and 2 concurrently with the final Design Review application. Lot consolidations impact the pattern of downtown development. Many Ketchum Townsite lots have been consolidated downtown to support new development. The development parcel is the same size and shape as the Idaho Independent Bank and Wells Fargo Bank properties across Main Street.

Uses & Pedestrian-Oriented Streetscape

Only pedestrian-activated commercial uses like retail shops and restaurants are permitted on the ground-floor along the street frontage within developments in the Retail Core (CC-1) Zone (KMC §17.12.020). The proposed development includes ground-level retail units fronting Main and 4th Streets. The retail units provide an active use at the ground-level that will add vibrancy to both street frontages. The upper-level multi-family dwelling units are permitted in the CC-1 Zone pursuant to KMC §17.12.020.

The applicant's project narrative states:

4th and Main provides several benefits to the community. Most importantly, the project adds retail activation and vibrancy at one of Ketchum's most significant pedestrian corners. Three retail units front Main Street and 4th Street, with storefront windows draped in canopies, providing valuable space for local businesses and bringing to life a corner that has been dormant in the heart of the city. With over 3100 square feet of activated sidewalk, this project will provide the only safe, uninterrupted, and fully ADA compliant access to Main Street on the block as it stretches up the hill. The heated sidewalk wraps the corner with covered awnings, five trees for natural screening and shade, planter boxes with native plantings, multiple sitting spaces for up to 16 seats, 8 bicycle parking stalls, and a designated art pedestal. This visually welcoming, pedestrian-oriented corner in Ketchum will encourage walking and shopping. The

seating will draw pedestrians to the site and provide a space to gather, further supporting the businesses and also providing a counterbalance to the vehicle feel of Main Street.

Building Bulk and Mass

The 22,784-gross-square-foot mixed-use building has a Floor Area Ratio (FAR) of 2.08. The height of the front façade along Main Street is 39'-4" and the height of the rear façade is 41'-10". The maximum height from the average elevation at the front property line (5837.7') to the upper-level roof (5885') is 47.3 feet, which will need to be revised to comply with the permitted height. The 4th & Main Mixed-Use Building has a fourth floor. All buildings greater than 48 feet or that contain a fourth floor require final review and approval from the City Council (KMC §17.12.040: Footnote 2). The length of the front façade along Main Street is 98.84 feet. The front façade steps back from the front property line at the building entrances. These setbacks from Main Street range from 8 feet to 16 feet. The length of the side façade along 4th Street is 94.17 feet. A majority of the 4th Street façade is setback approximately 5 feet providing an area for landscaped planters. Table 1 provides Staff's analysis of the project in relation to the dimensional standards required in the Community Core Zone is provided in Table 1.

Table 1: Zoning and Dimensional Standards Analysis				
Compliant			Standards and Staff Comments	
Yes	No	N/A	Ketchum Municipal Code Section	City Standards and Staff Comments
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.12.040	Minimum Lot Area
			Staff Comments	Required: 5,500 square feet minimum Existing: Lots 1 and 2 have a combined area of 10,997 square feet. The applicant will submit a subdivision application to consolidate lots 1 and 2 concurrently with the final Design Review application. The amended plat shall be recorded prior to issuance of a building permit for the project.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.124.040	Floor Area Ratios and Community Housing
			Staff Comments	Permitted Gross FAR in Community Core Subdistrict 1(CC-1) : 1.0 Permitted Gross FAR with Inclusionary Housing Incentive: 2.25 Proposed Gross Floor Area: 22,784 gross square feet Lot Area: 10,977 square feet FAR Proposed: 2.08 (22,784 gross sq ft/10,977 sq ft lot area) Increase Above Permitted FAR: 11,807 square feet 20% of Increase: 2,361 square feet Net Livable (15% Reduction): 2,007 square feet Community Housing In-Lieu Fee: \$903,150 (2,007 net livable square feet x \$450) The applicant intends to pay the in-lieu fee to satisfy the community housing contribution. Prior to issuance of a building permit for the project, an FAR Exceedance Agreement approved by Ketchum City Council addressing the square footage above the permitted 1.0 Floor Area Ratio and memorializing the associated community housing contribution is required (KMC §17.124.040.B).

☒	☐	☐	17.12.040	Minimum Building Setbacks
			Staff Comments	<p><u>Required</u> Front & Street Side: 0' Rear Side Adjacent to an Alleyway: 3' Interior Side: 0' Setbacks for 4th Floor: 10' Non-habitable Structures/Fixed Amenities/Solar and Mechanical Equipment Affixed to the Roof from all Building Facades: 10'</p> <p><u>Proposed Setbacks</u> Front (Main Street): 0' to Street Side: (4th Street): 0' to 5'-2" Rear Side (adjacent to alleyway): 5'-4" Interior Side: 0' to 5'-7" Non-habitable Structures/Fixed Amenities/Solar and Mechanical Equipment Affixed to the Roof from all Building Facades: The roof plan on Sheet A1.2 indicates the rooftop access hatch, elevator shaft, and mechanical equipment are setback more than 10' from all building facades.</p> <p><i>4th Floor Setbacks from Building Facades</i> Front (Main Street): 40'-4" Rear (Alley): 10'-2" to 15'-6" Interior Side: 10'11" Street Side (4th Street): 11'-11" to 16'-11"</p> <p>Sheet CD1.0 of the project plans indicates that the canopies along Main Street extend over the property line and overhang into the public right-of-way a maximum of 4'-7". Pursuant to KMC §17.96.060.G2, awnings extending over public sidewalks shall extend five feet or more across the public sidewalk but shall not extend within two feet of parking or travel lanes within the public right-of-way. KMC §17.08.020 defines an awning as a covered architectural projection that extends from the exterior wall of a building for the purpose of providing shade, shelter, or aesthetic value to the building façade.</p>
☒	☐	☐	17.12.040	Maximum Building Heights
			Staff Comments	<p><u>Permitted</u> Building Height: 42' Non-Habitable Structures Located on Building Rooftops: 10'</p> <p>Height of Building/CC District: The greatest vertical distance of a building in the community core district measured by determining the average elevation of the front property line and rear property line. Draw a line from the average front or rear elevation up to the maximum building height allowed, and then draw a line at that height parallel to the front or rear property line. The resulting line establishes the highest elevation of the front or rear facade. The front or rear facade shall not extend above this line. Side facades may be stepped up or</p>

			<p>down to transition from the highest elevation of the front facade height to the highest elevation of the rear facade. One or multiple steps along the side facades are allowed, except no step shall occur within 40 feet of the front elevation or within 35 feet of the rear facade (Ketchum Municipal Code §17.08.020).</p> <p><u>Proposed</u> Average Elevation at Front Property Line: 5837.7' Front Façade Height: 39'-4''</p> <p>The applicant has measured the front façade height to the top of the roof at the third level and indicated that the maximum height of the front façade is 35'-10''. The façade height must be measured to the top of the balcony railing. The balcony railing is 3'-6''. The maximum height of the front façade is 39'-4''.</p> <p>The side facades step up to the highest elevation at the rear façade height 40'-4'' from the front elevation.</p> <p>Average Elevation at Rear Property Line: 5843.15' Upper-Level Roof Elevation: 5885' Rear Façade Hight: 41'-10''</p> <p>The elevator shaft extends 2'-7'' above the roof surface.</p> <p>The applicant has proposed to screen the roof-mounted mechanical equipment with two parapet walls that are 24 inches and 33 inches in height. The exterior elevations on Sheets A2.0 and A2.1 of the project plans show that these two parapet walls have not been included in the measurement of the mixed-use building's height. The building height must be measured to the highest point of the roof at the top of the parapet wall. Perimeter walls enclosing rooftop decks and structures are permitted to extend a maximum of 4 feet above the roof surface height pursuant to Ketchum Municipal Code §17.12.040. This standard allowing perimeter walls to extend 4 feet above the roof surface does not apply to parapets extending up from the building walls. These parapets are part of the façade and must be included in the building height calculation. The two parapet walls will need to be removed as they extend above the maximum permitted building height. The applicant must propose alternative screening for the roof-mounted mechanical equipment that complies with the zoning code.</p> <p>Footnote No. 2 of Ketchum Municipal Code §17.12.040 requires that all buildings greater than 48 feet or that contain a fourth floor receive final review and approval from the City Council.</p>
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<p>17.125.030H Curb Cut</p> <p>Staff Comments</p> <p><u>Required</u> A total of 35% of the linear footage of any street frontage can be devoted to access to off street parking. Corner lots that front two or more streets may</p>

				<p>select either or both streets as access but shall not devote more than 35% of the total linear footage of street frontage to access off street parking.</p> <p><u>Proposed</u> The parking area is located off the alley. No curb cuts along are proposed.</p>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	17.125.040	<p>Parking Spaces</p> <p><u>Required (KMC §17.125.040)</u> Multi-Family Dwelling Units in CC Zone Units 750 square feet or less: 0 parking spaces Units 751 square feet to 2,000 square feet: 1 parking space Units 2,001 square feet and above: 2 parking spaces</p> <p>Non-residential: 1 parking space per 1,000 gross square feet (refer to definition of gross floor area with additional exclusion of common and public areas)</p> <p><u>Exemptions in CC Zone</u></p> <ul style="list-style-type: none"> • Community housing • Food service • The first 5,500 gross square feet of retail trade • The first 5,500 gross square feet of assembly uses <p><u>Project Parking Demand</u></p> <p><i>Main Level</i> Retail (4,039 gross sq ft): first 5,500 sq ft retail trade exempt</p> <p><i>Second Floor</i> 2-bedroom residential unit (1,505 sq ft): 1 parking space required 2-bedroom residential unit (1,725 sq ft): 1 parking space required</p> <p><i>Third Floor</i> 2-bedroom residential unit (2,277 square feet): 2 parking spaces required 3-bedroom residential unit (3,485 square feet): 2 parking spaces required</p> <p><i>Fourth Floor</i> 3-bedroom residential unit (3,039 square feet): 2 parking spaces required</p> <p>Total Parking Demand: 8 Parking Spaces</p> <p><u>Proposed</u> 9 parking spaces are provided within 5 separate garages accessed from the alleyway.</p>

Exterior Materials

The exterior materials include brick veneer, horizontal wood cladding, and dark bronze canopies and window treatments.

The applicant's project narrative states:

Brick and wood materials were chosen to ground the 4th and Main building in Ketchum's current built environment and to give reference to the nature that Ketchum is so well connected to. Measured amounts of steel and glass were chosen to respectfully touch upon Ketchum's mining past and to look toward the future. These materials were selectively used to add accents and break up elevation areas to visually smaller parts.

The applicant has submitted two design alternatives on the perspective renderings for the Commission's consideration. Option A (Figure 1) carries the brick veneer and arched-window elements across the front façade. Option B (Figure 2) incorporates more of the wood cladding across the front façade and reduces the roof overhang at the fourth floor.



Figure 1: Design Option A--Sheet A5.0



Figure 2: Design Option B--Sheet A5.0a

Issues for Commission Consideration

Staff recommends the Planning and Zoning Commission consider discussing the following issues with the applicant:

- Evaluate additional building articulation and design treatments to reduce the perceived mass of the mixed-use building.
- Discuss design modifications to help integrate the mixed-use development within the context of the surrounding built environment and respect the traditional lot and block pattern of development in downtown Ketchum.
- Analyze the color, texture, pattern, and placement of exterior materials and provide recommendations to enhance visual interest.
- Evaluate the building corner at Main and 4th Street and consider design treatments that will soften the building edges in order to enhance the pedestrian experience.
- Consider incorporating sustainable building systems like solar panels into the project design.

Staff Recommendation

After considering the project plans attached as Exhibit A, the applicant's presentation, and any public comment received, Staff recommends the Commission provide feedback to the applicant and move to advance the 4th & Main Mixed-Use Building to final Design Review.

Exhibits:

- A. 4th & Main Mixed-Use Building Pre-Application Design Review Submittal

Exhibit A

4th & Main Mixed-Use Building Pre-Application Design Review Submittal



City of Ketchum
Planning & Building

Pre- Design Review Application

OFFICIAL USE ONLY	
File #	PEA-104
Date Received	12/30/21
By:	S. Batnley
Pre-Application Fee Paid:	1100
Design Review Fee Paid:	
Approved Date:	
Denied Date:	
By:	
ADRE: Yes <input type="checkbox"/> No <input type="checkbox"/>	

APPLICANT INFORMATION

Project Name: 4th & Main Street	Phone: 858-232-4928 ←
Owner: Chris Ensign	Mailing Address: 4685 Highland Dr., #224, Millcreek, UT 84117
Email: chris@solsticedev.com	
Architect/Representative: PH Architects / Peter Paulos	Phone: 203-426-6500
Email: ppaulos@ph-archs.com	Mailing Address: 38 Taunton Hill Rd., Newtown, CT 06470
Architect License Number: AR-986736	
Engineer of Record: Galena Engineering, Inc / Samantha Stahlnecker	Phone: 208-788-1705
Email: sam@galena-engineering.com	Mailing Address: 317 North River St., Hailey, ID 83333
Engineer License Number: 17618	

All design review plans and drawings for public commercial projects, residential buildings containing more than four (4) dwelling units and development projects containing more than four (4) dwelling units shall be prepared by an Idaho licensed architect or an Idaho licensed engineer.

PROJECT INFORMATION

Legal Land Description: Ketchum Lot 2 Block 5 - Ketchum Lot 1 Block 5

Street Address:

Lot Area (Square Feet): 10,997

Zoning District: Community Core (CC)

Overlay District: Floodplain Avalanche Mountain

Type of Construction: New Addition Remodel Other

Anticipated Use: Retail/Residential Number of Residential Units: 5

TOTAL FLOOR AREA		Proposed	Existing
Basements	0	Sq. Ft.	n/a
1 st Floor	4,235	Sq. Ft.	n/a
2 nd Floor	8,515	Sq. Ft.	n/a
3 rd Floor	6,764	Sq. Ft.	n/a
Mezzanine	3,270	Sq. Ft.	n/a
Total	22,784	Sq. Ft.	n/a

FLOOR AREA RATIO

Community Core: 2.07 Tourist: General Residential-High:

BUILDING COVERAGE/OPEN SPACE

Percent of Building Coverage: n/a

DIMENSIONAL STANDARDS/PROPOSED SETBACKS

Front: (Main Street, West) 0'-6" Side: (North) 0'-0" Side: (South) 4'-9 5/8" Rear: (Alley, East) 5'- 0 3/8"

Building Height: 36'-11 3/8" (Front), 39'-4 3/4" (Rear)

OFF STREET PARKING

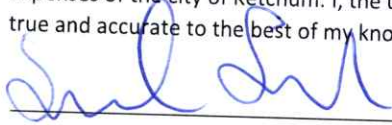
Parking Spaces Provided: 9

Curb Cut: Sq. Ft. %

WATER SYSTEM

Municipal Service Ketchum Spring Water

The Applicant agrees in the event of a dispute concerning the interpretation or enforcement of the Design Review Application in which the city of Ketchum is the prevailing party, to pay the reasonable attorney fees, including attorney fees on appeal and expenses of the city of Ketchum. I, the undersigned, certify that all information submitted with and upon this application form is true and accurate to the best of my knowledge and belief.



Signature of Owner/Representative

12/28/21

Date

Once your application has been received, we will review it and contact you with next steps.
No further action is required at this time.

DESIGN REVIEW EVALUATION STANDARDS (May not apply to Administrative Design Review):

17.96.060: IMPROVEMENTS AND STANDARDS FOR ALL PROJECTS

A. Streets:

1. The applicant shall be responsible for all costs associated with providing a connection from an existing city streets to their development.
2. All streets designs shall be in conformance with the right-of-way standards and approved by the Public Works Director.

B. Sidewalks:

1. All projects under 17.96.010(A) that qualify as a "Substantial Improvement" shall install sidewalks in conformance with the right-of-way standards. Sidewalk improvements may be waived for projects that qualify as a "Substantial Improvement" which comprise additions of less than 250 square feet of conditioned space.
2. The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.
3. New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.
4. The city may approve and accept voluntary cash contributions in-lieu of the above described improvements, which contributions must be segregated by the city and not used for any purpose other than the provision of these improvements. The contribution amount shall be one hundred ten percent (110%) of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the Public Works Director. Any approved in-lieu contribution shall be paid before the city issues a certificate of occupancy.

C. Drainage:

1. All storm water shall be retained on site.
2. Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.
3. The Public Works Director may require additional drainage improvements as necessary, depending on the unique characteristics of a site.

February 7, 2022

City of Ketchum
P.O. Box 2315
480 East Ave. N.
Ketchum, ID 83340

RE: 4th and Main Project Narrative

Dear Planning Staff and Design Review Committee,

We are pleased to present this project narrative and the enclosed materials in support of the 4th and Main Mixed-Use Project for the Pre-App Design Review Application.

4th and Main is a retail and residential mixed-use development located on the northeast corner of 4th Street and Main Street in Ketchum's Community Core District. The project provides three retail units – two along Main Street and one along 4th Street – and five residential units with parking garages accessed from the rear alley.

DESIGN FIRM BACKGROUND

P|H Architects is a Connecticut-based design firm that has projects nationwide. The firm has designed projects in areas from San Francisco, California, to Wellington, Florida and Front Royal, Virginia. Many of the firm's projects have been in Fairfield County, Connecticut and in Salt Lake City, Utah. A project of note that the firm has had the privilege to work on was Bright Angel Lodge on the South Rim of the Grand Canyon, where P|H was contracted to help update a newer restaurant constructed in an historic lodge structure that is on the National Registry of Historic Places. This is a theme of much of the work that P|H has done along the shores of Connecticut, creating additions and renovating structures as old as the 1780's while respecting the historic nature of the existing structure. Another recent project of note is a modern addition and renovation to a 1920's colonial home on the Fairfield, Connecticut shoreline. The design of the addition respected and drew from the existing structure, garnering accolades from neighbors.

P|H has teamed up with Solstice Development to create mixed use developments in Salt Lake City. Each development has been met with support from the public with great interest in leasing or buying residential units even prior to construction completion. P|H hopes to bring their knowledge, experience, and passion for good design to this project in Ketchum.

PUBLIC OUTREACH

To gather input from the community about the proposed development, we held two public open house events. We advertised the events in the Mtn Express and posted a banner on the

site. Given the current health crises and to allow the most people to attend, both events were held virtually. At our first open house on December 10th from 4:00 to 5:00 PM, seven people joined; feedback was positive as most mentioned they like the design, the step backs, and how many of the design features connect to other design elements from other historic buildings in Ketchum. At the second meeting on December 15th from 5:00 to 6:00 PM, we did not have any attendees.

We also contacted our immediate neighbors directly. Ozzies Shoes (Steve Carlson), our neighbor to the east, and Sturtevants of Sun Valley (Olin Glenne), our neighbor to the south, both positively support the project. We have coordinated our project with Dave Wilson, who is proposing a mixed-use development immediately to our north; the developments are working together on shared footings, sidewalk connectivity, and design compatibility.

We have also worked with planning staff who has reviewed building height compliance and made meaningful contributions to the project's design, including to pull the elevator further interior to create more visual space and massing relief along 4th Street, to add retail along 4th Street, and to rebuild the sidewalk along 4th Street to remove existing steps and make accessible for all.

BUILDING DESIGN

4th and Main presents as a three-story building at the Main Street front facade and at the rear alley façade, stepping back as it follows the grade of the sloped site. Each public facade of the proposed development undulates both in plan (horizontal plane) and in elevation (vertical plane). These undulations provide opportunity to include other public amenities that further soften the building facade.



P|H Architects studied buildings in the immediate area and throughout Ketchum for design characteristics, materials, and massing to provide inspiration and grounding for 4th and Main. The resulting design draws on historic and current elements while also looking to the future with a few modern touches to provide some differentiation and individual site character. The Christiana and Les Saisons Building on Spruce Avenue provide a precedent for the retail/pedestrian that we wanted to emulate. Both use canopies to help make the walking

P|H

A R C H I T E C T S

experience of the building more human scaled. In studying these buildings, we felt we could design the mass of our building to be less horizontal and erode the mass of our building to a greater degree to help fit in with both the smaller and larger buildings on Main St.

Christiana Building



Les Saisons



The Mountain West Bank/Galleria Building has a materiality that reflected the image that we had in mind, a brick and metal building with projections to help break up the building mass. Again, we felt we could erode the mass of the building to better fit into Main Street and to provide a better pedestrian experience. The Rocky Mountain and Cornerstone buildings provided a glimpse into the brick treatment that we wanted to recreate. Both buildings also have a pleasant vertical proportion and width that we wanted to emulate on the Main St. façade plane of our proposed building.

Mountain West Bank/Galleria



Rocky Mountain



Cornerstone



The Enoteca Building held yet another item that we wanted to use in our design. This building used a covering over the sidewalk to protect pedestrians from the weather, which also helped to make the walking experience of the building feel much different than the building's elevation presents. The Theater Building on First Avenue does a good job of addressing the corner and reducing its mass as the building gets taller. The proportion of window-to-wall area is also a comfortable ratio.

Theater Building



Enoteca Building



Brick and wood materials were chosen to ground the 4th and Main building in Ketchum's current built environment and to give reference to the nature that Ketchum is so well connected to. Measured amounts of steel and glass were chosen to respectfully touch upon Ketchum's mining past and to look toward the future. These materials were selectively used to add accents and break up elevation areas to visually smaller parts.

The fact that our site is a corner site is an important one and a point that drove the design of the building. The volume and mass at the corner have been eroded to a greater extent than other areas of the building to soften the corner and help the building feel more to human scale. This also helped give character and interest to the most important part of the project.

The street level of the proposed building contains retail space to enliven each facade and provide two activated streetscapes. Upper levels of the Main Street and 4th Street elevations are activated by private terraces. Glass railings on terraces minimize the heightening effect that is created with solid or baluster type railings. The terraces afford the residential units an opportunity to connect to Ketchum and to Bald Mountain, livening up the building to the streetscape at multiple levels. Access to parking was intentionally kept off the street faces and provided at the rear alley. Minimal portions of each public facade were kept as foremost projections to reduce building mass.

To screen rooftop mechanical equipment, parapet walls were created at points on the upper story of the building. The parapet walls also add interest to the roof of the building.

The two foremost components of our building at the Main Street property line are approximately the same height as the Wells Fargo building on the opposing side of Main Street, providing symmetry from this main corridor. These components are designed to feel like the Cornerstone and Rocky Mountain buildings but with more facade undulation to make their scale even more humanizing. The brick arches pull the brick detailing of existing Ketchum buildings into our building. The window-to-wall ratio of the facades references these existing Ketchum buildings, as well as others mentioned previously. Even these components step back from the property line to relieve massing and have a softer street presence.

PROJECT SITE

Grade across the site rises approximately 8'-6" from Main Street toward the rear alley, with most of that elevation change occurring along 4th Street. The building works with this elevation difference, appearing to be three stories from adjacent grade at both Main Street and the rear alley. The upper level of the building is stepped back over 40'-0" from the Main Street facade, consistent with City Code, making the upper level barely perceptible from the Main Street walking experience.¹ This upper level is also setback at least 11'-0" along 4th Street and the rear alley and adjoining property to the north, exceeding the City Code requirement for a minimum 10' setback.²

HEIGHT & F.A.R.

4th and Main has a maximum height of 36'-11' consistent with City Code and surrounding buildings.

We worked with staff to confirm the building height fits within the City's parameters for buildings in the Community Core District at every façade and interior measurement. The building's maximum height of 36'-11" from adjacent average grade per Ketchum's Building Height definition is well within the 42' maximum height established for the Community Core District.³ The proposed height is comparable to the buildings opposite our site on Main Street and to the recently pre-design approved building for 460 N. Main Street to our immediate north. The walking experience of our building is very relatable, in no small part due to the canopies at the street facades. These canopies are a maximum of 11'-6" above sidewalk surface, setting up the shorter sense of the building.

We request to increase the F.A.R. from 1.0 allowed in the CC zone, to 2.07, based on payment of the Workforce Housing In Lieu Fee. City Code includes an incentive of increased FAR allowance up to 2.25 where Workforce Housing is provided or a Workforce Housing In-Lieu Fee is paid.⁴ This project proposes to pay the Workforce Housing In Lieu Fee to support a F.A.R. of

¹ "Height of building/CC District: The greatest vertical distance of a building in the community core district measured by determining the average elevation of the front property line and rear property line. Draw a line from the average front or rear elevation up to the maximum building height allowed, and then draw a line at that height parallel to the front or rear property line. The resulting line establishes the highest elevation of the front or rear facade. The front or rear facade shall not extend above this line. Side facades may be stepped up or down to transition from the highest elevation of the front facade height to the highest elevation of the rear facade. One or multiple steps along the side facades are allowed, **except no step shall occur within 40 feet of the front elevation or within 35 feet of the rear facade.** The City shall establish the elevation points used to calculate the average elevation of the front and rear property lines (see illustration A on file in the office of the City Clerk)." (Emphasis added)/

² KCC §17.12.040.

³ KCC § 17.12.040 (Dimensional standards in CC Zone).

⁴ KCC § 17.124.040 (Floor Area Ratios & Community Housing).

2.07, which reflects 1,959 SF less than if the full 2.25 FAR were utilized.⁵ This design represents a careful balance between creating usable square footage, which in turn supports the Workforce Housing contribution, and creating the necessary undulations to reduce the perceived mass of the building.

Learning from other similarly sized buildings in Ketchum, we studied and strategically implemented undulations in plan and elevation to erode mass and to fit in to the Main Street character while balancing permitted usable space in the building. Ultimately, no length of building along Main Street is greater than 26'-10" without an undulation; or greater than 35'-0" along 4th Street. No height of building is greater than 24'-0" from adjacent grade without undulation on Main Street, greater than 30'-0" from adjacent grade at 4th Street, or greater than 29'-2" from the rear alley. In addition, canopies line each street front to provide shelter from the elements and maintain the walking experience of the street, similar to the Enoteca building one block south of our site. Due to these undulations, minimal amounts of facade surface establish the building plane at the public faces.

MASSING RELIEF PERCENTAGE

A helpful metric to envision FAR utilization and building articulation is a *Massing Relief Percentage*. This percentage quantifies the amount of architectural relief of the physical form of the structure as it relates to the visual impacts from the various lines of sight and points of view. It represents how much spatial light is felt or experienced through relief and undulation of the mass. To the pedestrian or vehicular passerby, the form of a building can be experienced as a 3-story rubrics cube or with multiple spatial light planes as in origami-form. This metric calculates the buildable envelope and deducts the building from volume. The proposed building has a Massing Relief Percentage of 33%.

4th and Main uses only a fraction of its usable footprint area at multiple levels. At the Main Street level, 47% of the usable footprint is proposed to be developed, the remainder is proposed as unexcavated area, respecting the natural grade and allowing for 4th street activation. Similarly, the Upper Level of the project develops only 53% of the total footprint.

PUBLIC BENEFITS

4th and Main provides several benefits to the community. Most importantly, the project adds retail activation and vibrancy at one of Ketchum's most significant pedestrian corners. Three retail units front Main Street and 4th Street, with storefront windows draped in canopies,

⁵ Without the parking, which is located above ground to provide an alley entrance and save 4th street for retail and pedestrian activation, the unused FAR would be 4,624 SF or 1.84 FAR.

providing valuable space for local businesses and bringing to life a corner that has been dormant in the heart of the city.

With over 3100 square feet of activated sidewalk, this project will provide the only safe, uninterrupted, and fully ADA compliant access to Main Street on the block as it stretches up the hill. The heated sidewalk wraps the corner with covered awnings, five trees for natural screening and shade, planter boxes with native plantings, multiple sitting spaces for up to 16 seats, 8 bicycle parking stalls, and a designated art pedestal. This visually welcoming, pedestrian-oriented corner in Ketchum will encourage walking and shopping. The seating will draw pedestrians to the site and provide a space to gather, further supporting the businesses and also providing a counterbalance to the vehicle feel of Main Street.

4th and Main provides funding for Workforce Housing by payment of the In Lieu Fee to allow additional usable space within the building. A FAR of up to 2.25 may be approved with this contribution to Workforce Housing; the project only utilizes 2.07 and this *includes* parking that is required to be above-ground to enable full activation of 4th street with no access driveway to underground parking.⁶ The density and scale of the project is consistent with City plans, City Code, and the surrounding uses along Main Street.

The five residential units also provide additional housing in an infill location, where residents can walk to businesses, restaurants, services and amenities throughout the city. The garage parking means these residents will not need to park on City streets. The mixed use nature of the building minimizes traffic impacts while supporting businesses in the core and adding vibrancy to this important part of the City.

COMPREHENSIVE PLAN

4th and Main will fulfill many goals of Ketchum’s Comprehensive Plan. The Plan focuses on creating a “sustainable, vibrant, connected and more beautiful Ketchum” based on the principle of sustainability. Plan, p. iii.

Policy LU-2.1. Infill and Redevelopment. Support intensification of land uses on appropriate infill and redevelopment sites in the following areas: Downtown.

This infill development includes commercial store-fronts and integrated residential units – providing new retail space, housing, and activated public spaces to the downtown core on a formerly vacant lot, all surrounded by developed and redeveloping properties.

Policy E-1(b). Downtown as a Major Community Asset and Tourism Attraction. The community will strive to maintain a single concentrated commercial and retail core. The City will reinforce the downtown core’s role as a major asset and visitor attraction by encouraging businesses

⁶ The FAR would be 1.82 if the parking were located below ground.

that fit the downtown character and by developing policies, programs, investment strategies, and organizations that help retain downtown businesses.

4th and Main provides three new highly visible commercial spaces in the downtown core to serve local businesses and attract new independent businesses, contributing to the downtown core's role as a major asset and visitor attraction. The project's activated streetscape and public spaces, with high visibility on Main Street and pedestrian connectivity along 4th Street, will draw visitors to and around the corner, supporting all commercial businesses in the area.

Policy H-1.4. Integrated Housing in Business and Mixed-Use Areas. Housing should be integrated into the downtown core and light industrial areas, and close to the ski bases. The resulting mix of land use will help promote a greater diversity of housing opportunities as well as social interactions.

Policy M-1.3 Compact Development and Housing Downtown and in Activity Centers. Encourage compact development, mixed uses, and additional housing density in the downtown and in high-activity areas. This will increase opportunities for walking, bicycling and transit ridership and reduce vehicle trips.

4th and Main provides five new residential units vertically integrated above three new retail spaces. The mixed-use project is horizontally integrated with the downtown core with activated sidewalk and public gathering space lining both Main Street and 4th Street at this key corner location. The project's residents can walk to employment, shopping, services, and recreation, reducing vehicle trips and resulting in greater social interactions and more vibrancy around-the-clock in the downtown core.

Policy H-1.2 Local Solutions to Attainable Housing. ...The City will look to new funding mechanisms, and encourage a broad range of regulatory incentives and options for community housing. These may include unit buy-downs, unit reuse, density increases, and height bonuses.

Policy H-2.1 The Ketchum community will support affordable housing programs. BCHA, ARCH, and KCDC will serve the important functions of promoting, planning, developing, managing and preserving the longterm supply of affordable housing options in Ketchum. The City will partner with other entities to fulfill its housing goals.

4th and Main proposes to utilize the City's incentive of increased FAR by paying the Workforce Housing In Lieu Fee to Blaine County Housing Authority, supporting the community's efforts to provide attainable housing.

Policy M-5.1 Complete Sidewalk Network. Connect destinations with pedestrian facilities and encourage walking by filling in missing sidewalk links, restoring damaged sidewalks, and requiring sidewalks as part of development approvals. Ensure that sidewalks are accessible and clear of impediments to passage.

4th and Main will provide over 3100 square feet of activated sidewalk with public gathering space lining both Main Street and 4th Street at this key corner location. The project will reconstruct sidewalk along 4th Street to make it ADA compliant.

Policy M-5.4 Walkability and Sit-ability Improvements. Promote walkability and sit-ability through connected pathways, sidewalks and public seating; art, historical and cultural exhibits and other items of visual interest; and good wayfinding that encourages walking and dwell time in the downtown.

4th and Main will promote both walkability and sit-ability along both Main Street and 4th Street with heated sidewalks, covered awnings, trees for natural screening and shade, multiple seating areas for up to 16 seats, and a designated art pedestal to provide visual interest and to draw in passersby.

Policy H-3.4. Efficient Energy Use in New and Retrofitted Residential Construction. New housing will be energy-efficient, emphasize the use of durable and environmentally responsible materials, and implement best practices in site design and construction.

4th and Main will include energy-efficient construction with durable and environmentally responsible materials (e.g., minimum twenty-year materials and energy-efficient insulation values), and best practices in site design and construction.

Policy CD-2.5. Energy and Water Efficiency in New Development. The community should promote the siting and use of renewable energy, water conservation, and the use of compatible native or xeric landscape planting.

Policy NR 6.4. Energy Conservation in New Construction. Promote energy conservation features in residential and commercial development.

4th and Main will promote the siting and use of renewable energy, including rooftop solar panels to offset common area and exterior lighting needs; water conservation (drip line irrigation); and the use of compatible native landscape planting.

SITE AND PROJECT SUMMARY

- Lot Size – 10,997 SF
- Building – 22,784 SF
- 3 Retail Units – 4,039 SF
- 5 Residential Units – 12,029 SF
- 9 Private Parking Stalls – 2,666 SF
- Balcony & Terrace – 4,653

LEVEL-BY-LEVEL PROGRAMMING

Main St. Level

- Uses: Retail / Main Street Pedestrian Access / Elevator Access
- Bicycle racks
- Retail A: 1,659 nsf
- Retail B: 1,1718 nsf
- 11'-6" ceiling height
- Floor-to-ceiling glazing
- Two on-street parking spaces

Alley Level

- Uses: Retail / Private Garages / Condominiums / Private Terraces / Common Lobby
- Retail C: 662 nsf
- 2-bedroom condominium, 1,725 nsf
- 2-bedroom condominium, 1,505 nsf
- Refuse Area
- Private 1-car garage
- Three private tandem 2-car garages
- Private handicap tandem 2-car garage
- 10'-6" ceiling height

Middle Level

- Uses: Common Circulation / Condominiums / Private Terraces
- 3-bedroom condominium, 3,485 nsf, Private Terraces
- 2-bedroom condominium, 2,277 nsf, Private Terraces
- 10'-6" ceiling height

Upper Level

- Uses: Common Circulation / Condominium / Private Terraces

- 3-bedroom penthouse condominium, 3,039 nsf, Private Terraces
- 10'-6" ceiling height
- Building Mass maintaining minimum 11'-0" setback for fourth floor and minimum 40'-0" setback from Main Street

KETCHUM'S DESIGN GOALS

4th and Main not only meets the current City Code and Comprehensive Plan policies but also the design goals currently being considered by the City to develop new design standards.

1. Integrate new development into the natural and manmade environment around it.

4th and Main is an infill development that integrates with the sloped site and the surrounding built environment. The building height is comparable to uses across Main Street and immediately adjacent with the proposed redevelopment to the north, providing symmetry.

2. Strengthen the downtown pedestrian experience with more walkable areas.

4th and Main provides retail activation and vibrancy on a significant pedestrian corner with three retail units wrapping the corner and over 3100 sf of activated sidewalk, including a rebuilt and fully ADA compliant access along 4th Street. The activated streetscapes will feature heated sidewalks, covered awnings, trees and shade, planter boxes, sitting spaces for up to 16 seats, and a designated art pedestal, all strengthening the downtown pedestrian experience.

3. Avoid overbearing mass in design and break up facades into smaller components.

The 4th and Main building is designed well within the 42' height limit for the zone, with a maximum height of 36'-11' and no more than 30' at street property lines. The building also proposes a 2.07 FAR, where the City Code provides up to 2.25 as an incentive for Workforce Housing contributions. The stepped back building, undulating facades with significant architectural relief, and activated canopied streetscapes all reduce massing. Design elements and materials break up facades into smaller components.

4. Promote the surrounding environment's color and material palettes.

Many buildings on Main Street and around Ketchum have brick as a main material in the building. Our building also uses brick, with historic detailing, to continue that tradition. The brick is accentuated with wood siding to soften the building and bring in the feel of Silver Creek Outfitters and other surrounding buildings sharing our side on Main Street.

5. Create inviting spaces that encourage community.

The proposed retail spaces along Main Street and 4th Street are designed to encourage pedestrian traffic and “window shopping” along these main through-fares. The over 3100 SF of sidewalk with multiple seating areas, landscaping, and designated art pedestal will draw in the public and give them space to commune. Consistent with the comprehensive plan, these spaces promote both walkability and sit-ability.

6. Support Ketchum’s history through reuse of historic buildings.

The 4th and Main site does not have an existing building on it. However, the proposed design for the site draws from Ketchum’s existing structures and history to create a solution that respects the past and the environment around it.

7. Promote innovation.

4th and Main strikes a balance in providing architectural elements based on Ketchum’s existing buildings with a few modern touches and materials to add interest and variety. The project provides innovative streetscapes to encourage shopping, art, canopied storefront visuals, seating areas, all bringing together a human scale and a beautiful, usable mixed use building.

CONCLUSION

Thank you for your review and consideration of these materials. We are excited to present the 4th and Main development and we look forward to continued collaboration with City planning staff and discussion and with the Commission at the Pre-Application Design Review meeting.



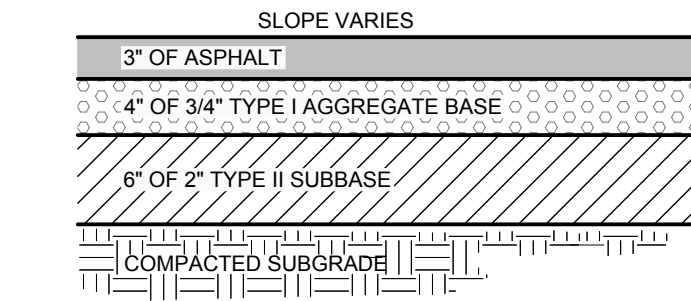
Peter Paulos, Jr., AIA
Principal, P|H Architects

CONSTRUCTION NOTES

- ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE "IDAHO REGULATIONS FOR PUBLIC DRINKING WATER SYSTEMS," THE CURRENT EDITION OF THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISPCW), AND CITY OF KETCHUM STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ISPCW ON SITE DURING CONSTRUCTION.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES PRIOR TO COMMENCING AND DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL CALL DIGLINE (1-800-342-1585) TO LOCATE ALL EXISTING UNDERGROUND UTILITIES.
- THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION, INCLUDING BUT NOT LIMITED TO, EPA'S NPDES CONSTRUCTION GENERAL PERMIT.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION.
- CONSTRUCTION OF WATER MAINS AND ALL OTHER RELATED APPURTENANCES SHALL BE IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPCW), IDAPA 58.01.08, IDAHO RULES FOR PUBLIC DRINKING WATER SYSTEMS AND THE CITY OF KETCHUM UTILITIES DEPARTMENT STANDARDS.
- CONTRACTOR SHALL PRESSURE TEST, DISINFECT, AND CONDUCT BIOLOGICAL TESTING IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPCW), AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS, AND THE PRESSURE TESTING, DISINFECTION, AND MICROBIOLOGICAL TESTING PROCEDURES.
- ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL BE ANSINFS STD. 61 COMPLIANT.
- ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL COMPLY WITH THE LOW LEAD ACT REQUIRING ALL MATERIALS TO HAVE A LEAD CONTENT EQUAL TO OR LESS THAN 0.25%.
- THE CONTRACTOR SHALL USE ANSINFS STANDARD 60 CHEMICALS AND COMPOUNDS DURING INSTALLATION & DISINFECTION OF POTABLE WATER MAIN.
- CONTRACTOR SHALL COORDINATE LOCATIONS OF DRY UTILITY FACILITIES (POWER, CABLE, PHONE, TV) NOT SHOWN ON THE DRAWING WITH IDAHO POWER.
- ALL CLEARING & GRUBBING SHALL CONFORM TO ISPCW SECTION 201.
- ALL EXCAVATION & EMBANKMENT SHALL CONFORM TO ISPCW SECTION 202. EXCAVATED SUBGRADE SHALL BE COMPACTED AND ALL UNSUITABLE SECTIONS REMOVED AND REPLACED WITH STRUCTURAL FILL AS DETERMINED BY THE ENGINEER. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
- ALL 2" MINUS GRAVEL SHALL CONFORM TO ISPCW 802, TYPE II (ITD STANDARD 703.04.2), SHALL BE PLACED IN CONFORMANCE WITH ISPCW SECTION 801 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99.
- ALL 3/4" MINUS CRUSHED GRAVEL SHALL CONFORM TO ISPCW 802, TYPE I (ITD STANDARD 703.04.3/4" B), SHALL BE PLACED IN CONFORMANCE WITH ISPCW SECTION 802 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
- ALL ASPHALTIC CONCRETE PAVEMENT WORK SHALL CONFORM TO ISPCW SECTION(S) 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (13MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPCW SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPCW SECTION 805.
- ALL EDGES OF EXISTING ASPHALT PAVING SHALL BE SAW CUT 24" TO PROVIDE A CLEAN PAVEMENT EDGE FOR MATCHING. NO WHEEL CUTTING SHALL BE ALLOWED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL PER THE CURRENT EDITION OF THE US DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL CONCRETE FORM WORK SHALL CONFORM TO ISPCW SECTION 701 AND 703. ALL CONCRETE SHALL BE 3,000 PSI MINIMUM, 28 DAY, AS DEFINED IN ISPCW SECTION 703, TABLE 1.C.
- ALL TRENCHING SHALL CONFORM TO ISPCW STANDARD DRAWING SD-301. TRENCHES SHALL BE BACKFILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
- TOPOGRAPHIC, SITE, AND BOUNDARY SURVEYS SHOWN HEREON WERE CONDUCTED BY BENCHMARK ASSOCIATES, P.A., 11/6/2019. REFER TO TOPOGRAPHIC MAP FOR NOTES.
- PER IDAHO CODE § 55-1613, THE CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS; ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS THAT ARE LOST OR DISTURBED BY CONSTRUCTION SHALL BE REESTABLISHED AND RE-MONUMENTED, AT THE EXPENSE OF THE AGENCY OR PERSON CAUSING THEIR LOSS OR DISTURBANCE AT THEIR ORIGINAL LOCATION OR BY SETTING OF A WITNESS CORNER OR REFERENCE POINT OR A REPLACEMENT BENCHMARK OR CONTROL POINT, BY OR UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR.

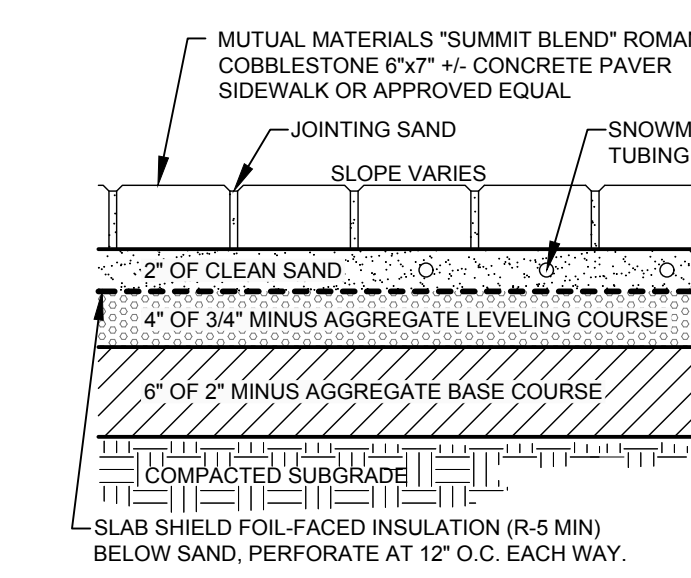


VICINITY MAP
SCALE: 1" = 200'

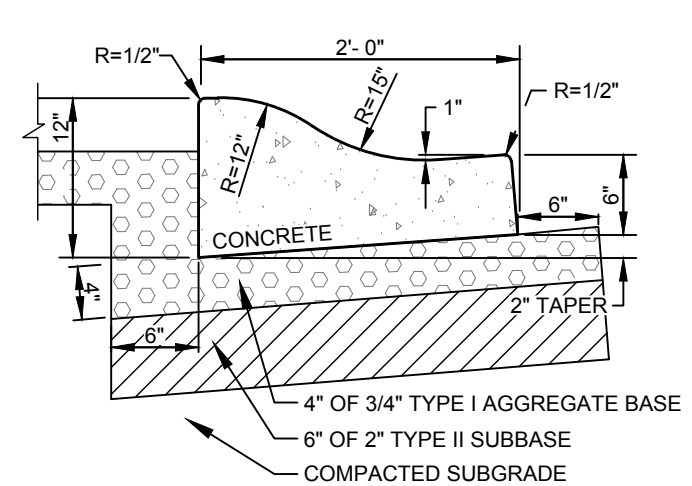


- NOTES:**
- SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
 - MATERIALS SHALL CONFORM WITH CURRENT ISPCW STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.

1
C0.1 TYPICAL STREET ASPHALT SECTION
N.T.S.

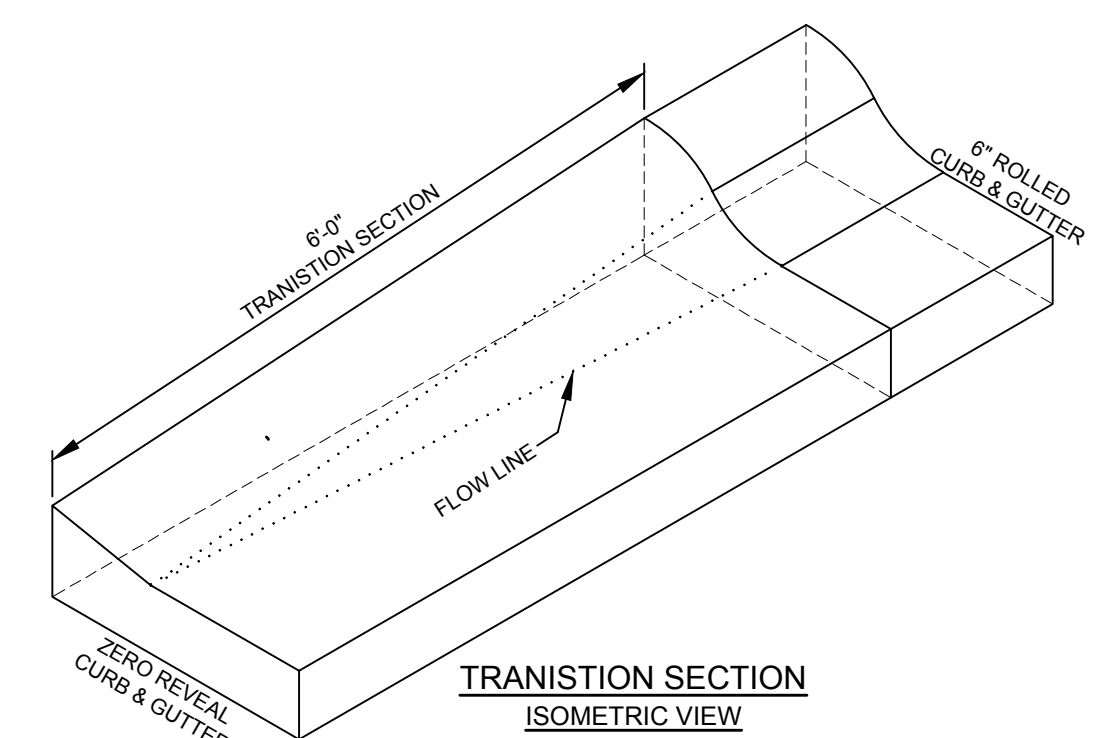


2
C0.1 PAVER DETAIL
N.T.S.

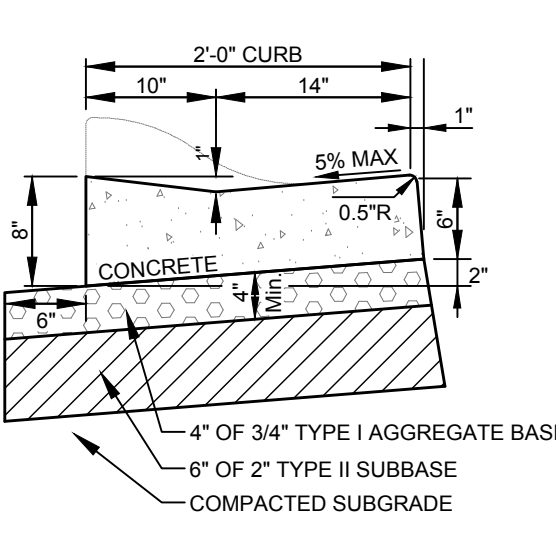


- NOTES:**
- SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
 - MATERIALS SHALL CONFORM WITH CURRENT ISPCW STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
 - 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADIUS.
 - CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FEET MAXIMUM SPACING (8-FEET W/SIDEWALK).

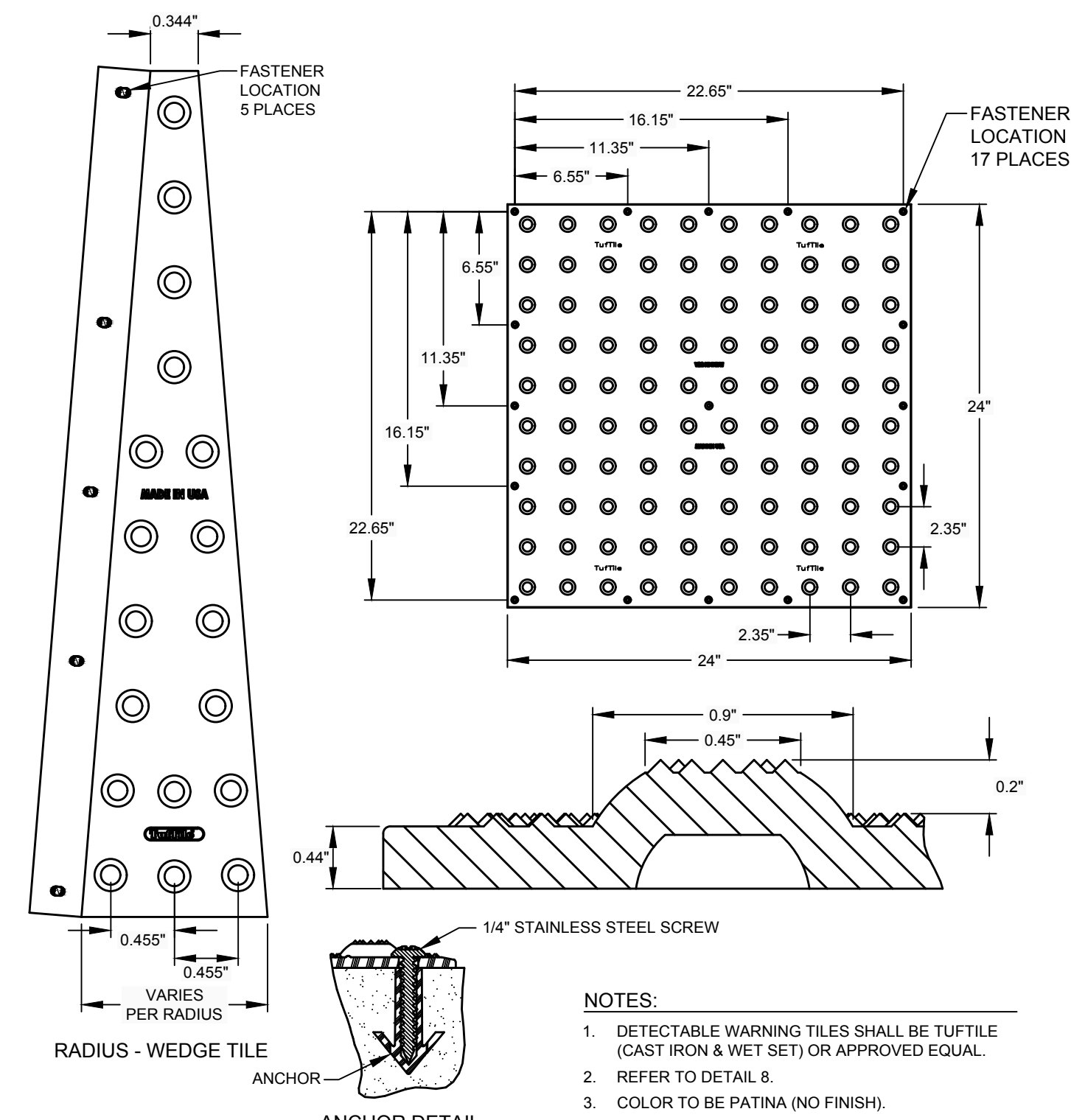
3
C0.1 6" CONCRETE ROLLED CURB & GUTTER
N.T.S.



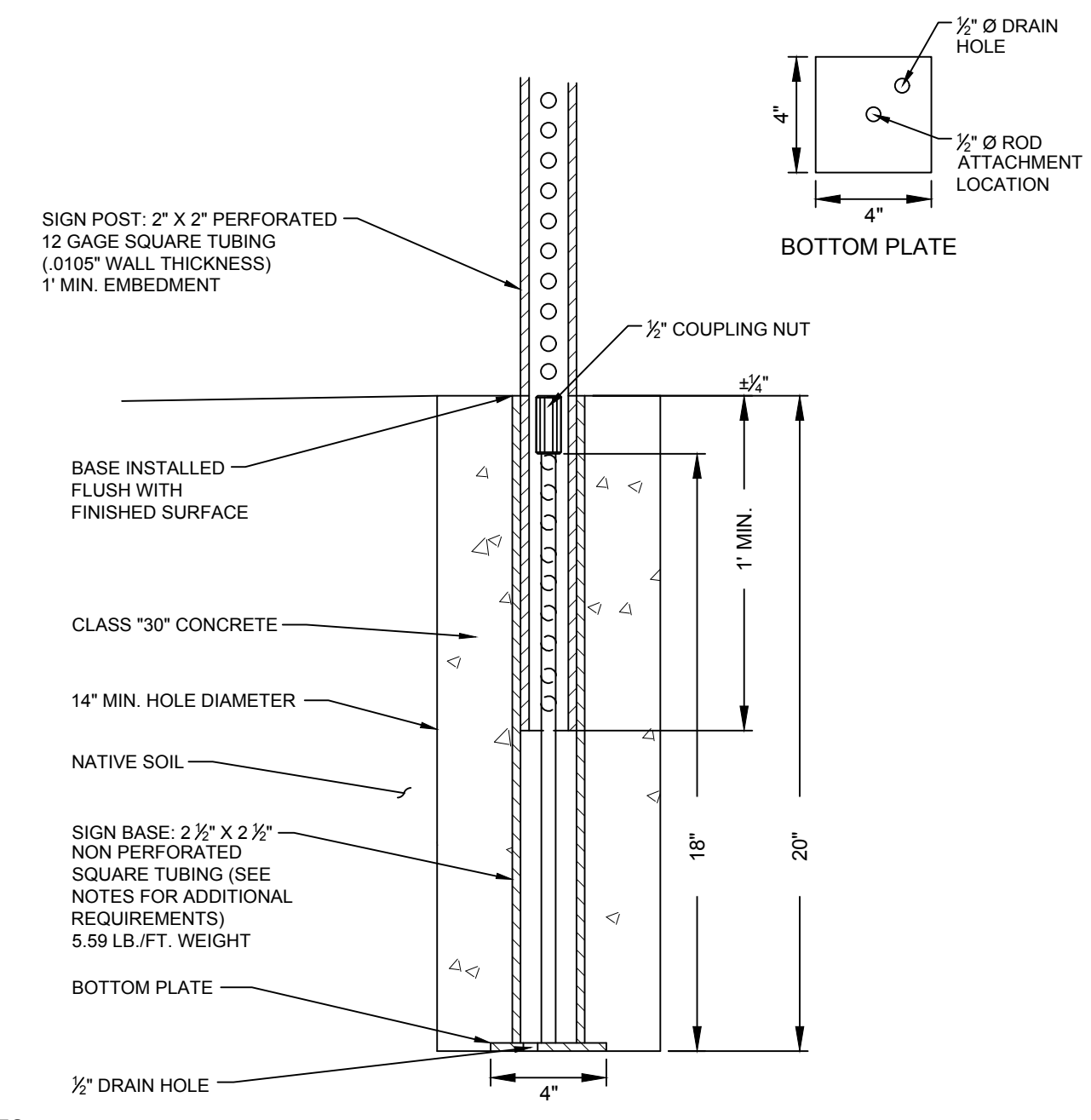
TRANSITION SECTION
ISOMETRIC VIEW



ZERO REVEAL CURB & GUTTER



5
C0.1 DETECTABLE WARNING PLATE
N.T.S.



- NOTES:**
- BASES SHALL BE INSTALLED TO BE FLUSH WITH SURFACE.
 - ALL INSTALLATIONS SHALL HAVE 14" Ø MINIMUM FOUNDATION OR GROUTED INTO SOLID ROCK.
 - ALL STREET SIGNS SHALL BE IN ACCORDANCE WITH THE MOST CURRENT EDITION OF THE MUTCD.
 - SIGN PLACEMENT SHALL BE APPROVED BY THE CITY OF KETCHUM.
 - CITY TO PROVIDE BASES.

6
C0.1 TYPICAL SIGN BASE
N.T.S.

**PRELIMINARY
NOT FOR
CONSTRUCTION**

NOTES AND DETAIL SHEET
MIXED USE DEVELOPMENT, 4TH AND MAIN ST.
LOCATED WITHIN SEC 13, T4N, R17E & SEC 18, T4N, R17E, BM, CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR SOLISTICE DEVELOPMENT

PROJECT INFORMATION
11-15-2022/10:17:02 AM/Construction/121_Constr_2021-12-22/EPJ/awg 03/10/2022 11:12:29 PM

ORIGINAL SIGNED BY
SAMANTHA STAHL NECKER
DATE ORIGINAL SIGNED
03/09/2022

PROFESSIONAL ENGINEER
LICENSED
17618
STATE OF IDAHO
SAMANTHA STAHL NECKER

ORIGINAL ON FILE AT
OFFICE OF GALENA
ENGINEERING (HAILEY, ID)

DESIGNED BY
CT
DRAWN BY
SMF
CHECKED BY

GALENA
ENGINEERING, INC.
Civil Engineers & Land Surveyors
317 N. River Street
Hailey, Idaho 83433
(208) 788-1705
email: galena@galena-engineering.com

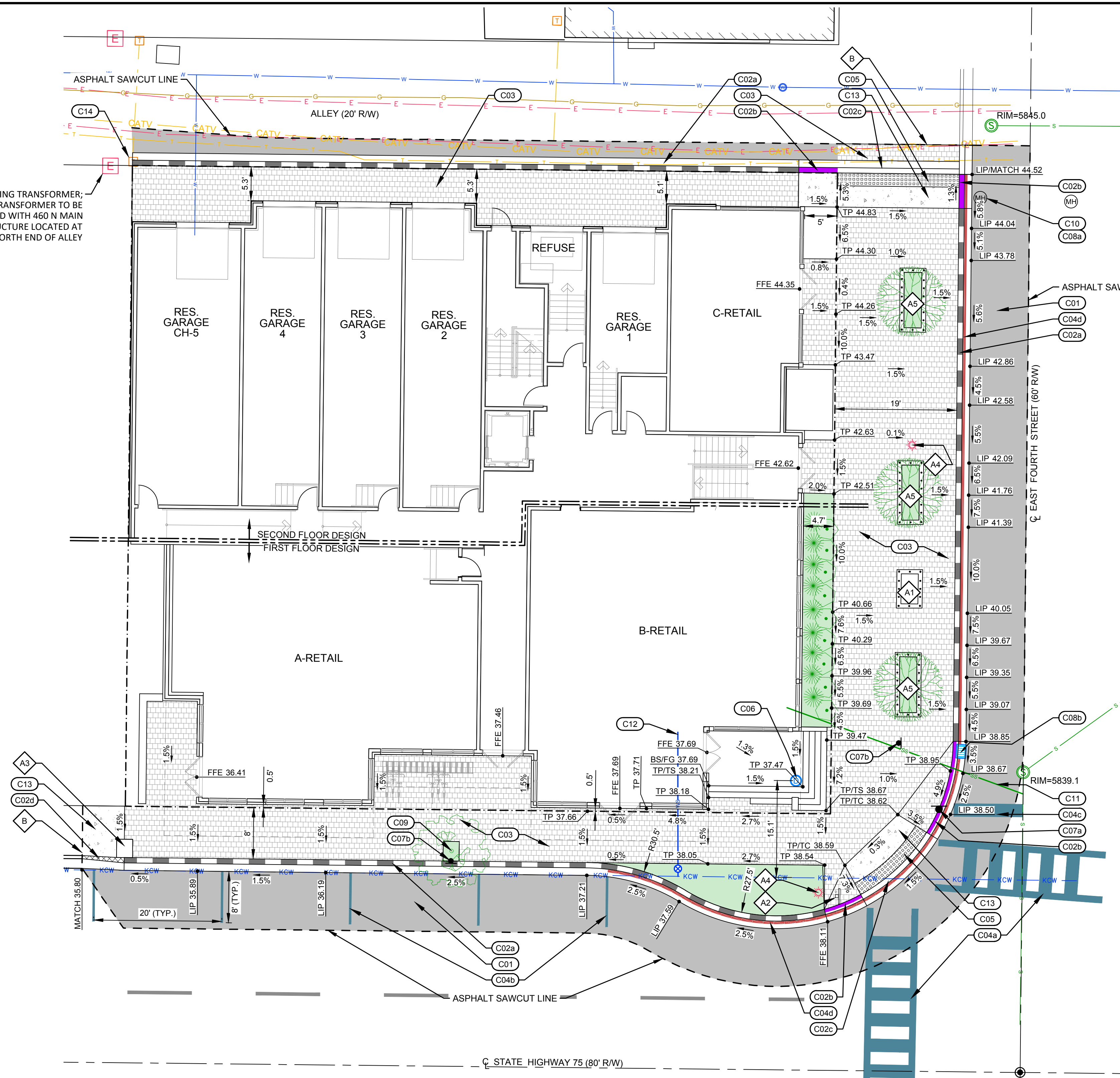
PURPOSE: ISSUE FOR DESIGN REVIEW

NO.	DATE	BY	REVISIONS

C0.1

REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any project or extension of this project except by agreement in writing with Galena Engineering, Inc.

REMOVE EXISTING TRANSFORMER;
PROPOSED TRANSFORMER TO BE
SHARED WITH 460 N MAIN
PROJECT, STRUCTURE LOCATED AT
THE NORTH END OF ALLEY

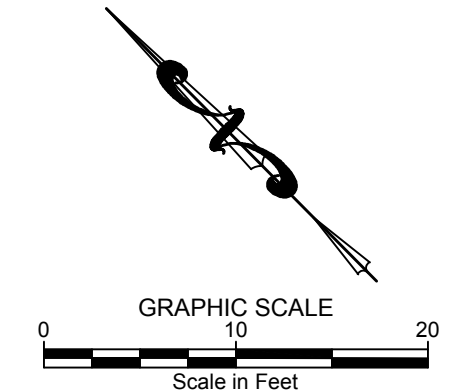


CONSTRUCTION KEY NOTES

- C01** CONSTRUCT ASPHALT ROADWAY / ASPHALT REPAIR. SEE DETAIL 1 / C0.1.
- C02** CONSTRUCT CONCRETE CURB AND GUTTER
 - a. 6" ROLLED C&G PER DETAIL 3 / C0.1.
 - b. CURB TRANSITION PER DETAIL 4 / C0.1.
 - c. ZERO REVEAL CURB AND GUTTER PER DETAIL 4 / C0.1.
 - d. ±10' OF CURB TRANSITION (BETWEEN 6" VERTICAL C&G AND 6" ROLLED C&G).
- C03** CONSTRUCT HEATED PAVEMENT SIDEWALK. WIDTH AS SHOWN HEREON. SEE DETAIL 2 / C0.1.
- C04** INSTALL ROAD STRIPING / PAINT
 - a. WHITE CROSSWALK STRIPING. MATCH CITY PATTERNS.
 - b. YELLOW ASPHALT PARKING STRIPING (4" WIDE), MATCH CITY PATTERNS.
 - c. WHITE STOP BAR STRIPING (24" WIDE).
 - d. RED "NO PARKING" STRIPING ON CURB. MATCH CITY PATTERNS.
- C05** INSTALL CITY OF KETCHUM APPROVED CAST IRON TRUNCATED DOME DETECTABLE WARNING INSERT. SEE DETAIL 5 / C0.1.
- C06** CONSTRUCT DRYWELL. CONNECT TO ROOF AND FOUNDATION DRAIN SYSTEMS. SEE DETAIL 1 / C0.2
RIM = 5837.47
- C07** SIGNS:
 - a. INSTALL STOP / STREET SIGN. USE PREVIOUSLY REMOVED SIGN. COORDINATE FINAL LOCATION WITH CITY OF KETCHUM. SEE DETAIL 6 / C0.1 FOR SIGN BASE DETAIL.
 - b. INSTALL REGULATORY SIGN. COORDINATE TYPE AND FINAL LOCATION WITH CITY OF KETCHUM. SEE DETAIL 6 / C0.1 FOR SIGN BASE DETAIL.
- C08** RESET UTILITY BOX LID/GRATE ELEVATION.
 - a. PAVEMENT HYDRONIC HEATING MANHOLE LID ORIGINAL RIM = 58__
NEW RIM = 58__
 - b. CATCH BASIN GRATE ORIGINAL RIM = 5838.62
NEW RIM = 5838.66
- C09** INSTALL STREET TREE. SEE DETAIL 3 / C0.2.
- C10** DISCONNECT EXISTING PAVEMENT HYDRONIC HEATING SYSTEM. CAP EXISTING TUBES FOR FUTURE CITY USE. COORDINATE WORK WITH CITY.
- C11** INSTALL 6" PVC SEWER SERVICE.
- C12** INSTALL 6" PVC WATER SERVICE.
- C13** CONSTRUCT CONCRETE SIDEWALK. WIDTH AS SHOWN HEREON. SEE DETAIL 2 / C0.2.
- C14** RELOCATE UTILITIES. CONTRACTOR TO COORDINATE RELOCATION WITH UTILITY COMPANY.

- A** RETAIN AND PROTECT
 - 1. ART PEDESTAL.
 - 2. PEDESTRIAN CROSSING SIGN.
 - 3. TREE.
 - 4. STREET LIGHT.
 - 5. LANDSCAPE WALL / LANDSCAPING.
- B** MATCH EXISTING LINES AND GRADES

EXISTING ITEMS		PROPOSED ITEMS	
—	Property Line	—	Asphalt
—	Adjoiner's Lot Line	—	Paver Sidewalk
—	Centerline	—	6" Rolled Curb & Gutter
—	Edge of Pavement	—	Zero Reveal Curb & Gutter
—	5' Contour Interval	—	Curb Transition (Rolled to Zero Reveal)
—	1' Contour Interval	—	No Parking Zone
—	Cable TV Line	—	Curb Transition (Rolled to Vertical)
—	Buried Power Line	—	ADA Access Truncated Dome
—	Gas Line	—	Sign
—	Telephone Line	—	Drywell
—	Sewer Line	—	Sawcut Line
—	Spring Water Line	—	Road Paint
—	Ketchum City Water	—	Grade
—	Street Light	—	Spot Elevation
—	Water Manhole	—	Concrete
—	Telephone Riser	—	Landscape Areas
—	Electrical Box	—	



PRELIMINARY
NOT FOR
CONSTRUCTION

GRADING AND DRAINAGE PLAN
MIXED USE DEVELOPMENT, 4TH AND MAIN ST.

LOCATED WITHIN SEC 13, T4N, R18E, BM, CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR SOLISTICE DEVELOPMENT

PROJECT INFORMATION
Prepared by: 1/22/2022
Date: 03/09/2022

ORIGINAL SIGNED BY
SAMANTHA STAHLNECKER
DATE ORIGINAL SIGNED:
03/09/2022

PROFESSIONAL ENGINEER
LICENSED
7618
STATE OF IDAHO
SAMANTHA STAHLNECKER

ORIGINAL ON FILE AT
OFFICE OF GALENA
ENGINEERING
(HAILEY, ID)

DESIGNED BY: _____
 CT: _____
 DRAWN BY: _____
 SMF: _____
 CHECKED BY: _____

GALENA ENGINEERING, INC.
 Civil Engineers & Land Surveyors
 317 N. River Street
 Hailey, Idaho 83433
 (208) 788-1705
 email: galena@galena-engineering.com

PURPOSE:	ISSUE FOR DESIGN REVIEW	NO.	DATE	BY	REVISIONS

C1.0

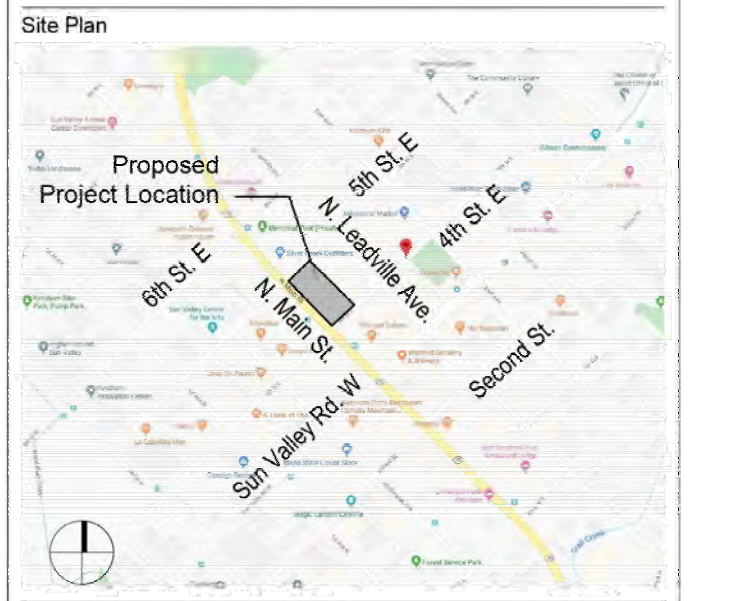
MIXED USE DEVELOPMENT

4TH & MAIN ST.
KETCHUM, BLAINE COUNTY,
IDAHO 84117

Prepared For: SOLSTICE DEVELOPMENT
4686 HIGHLAND DR. #224
MILLCREEK, UT 84117

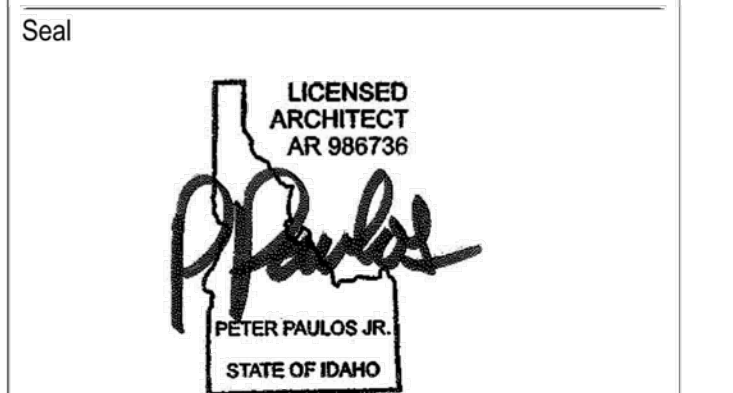
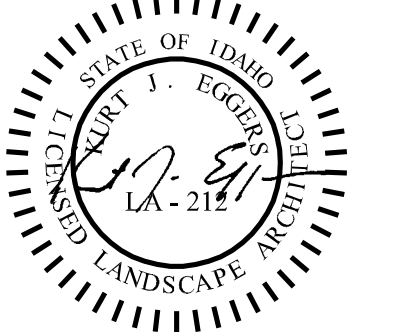
PH ARCHITECTS

38 Taunton Hill Road
Newtown, Connecticut 06470
203-426-6500 tel. 203-426-6503 fax
ph-archs.com



Project Team:
Architect and Planner:
P H Architects, LLC
38 Taunton Hill Road
Newtown, Connecticut 06470
(203) 426-6500 tel.
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Civil Engineer:
Galena Engineering, Inc.
317 North River Street
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(208) 788-1705 tel.
Landscape Architect:
Eggers Associates, Landscape Architecture
560 North Second Avenue
Ketchum, Idaho 83340
(208) 725-0988 tel.
(208) 725-0972 fax

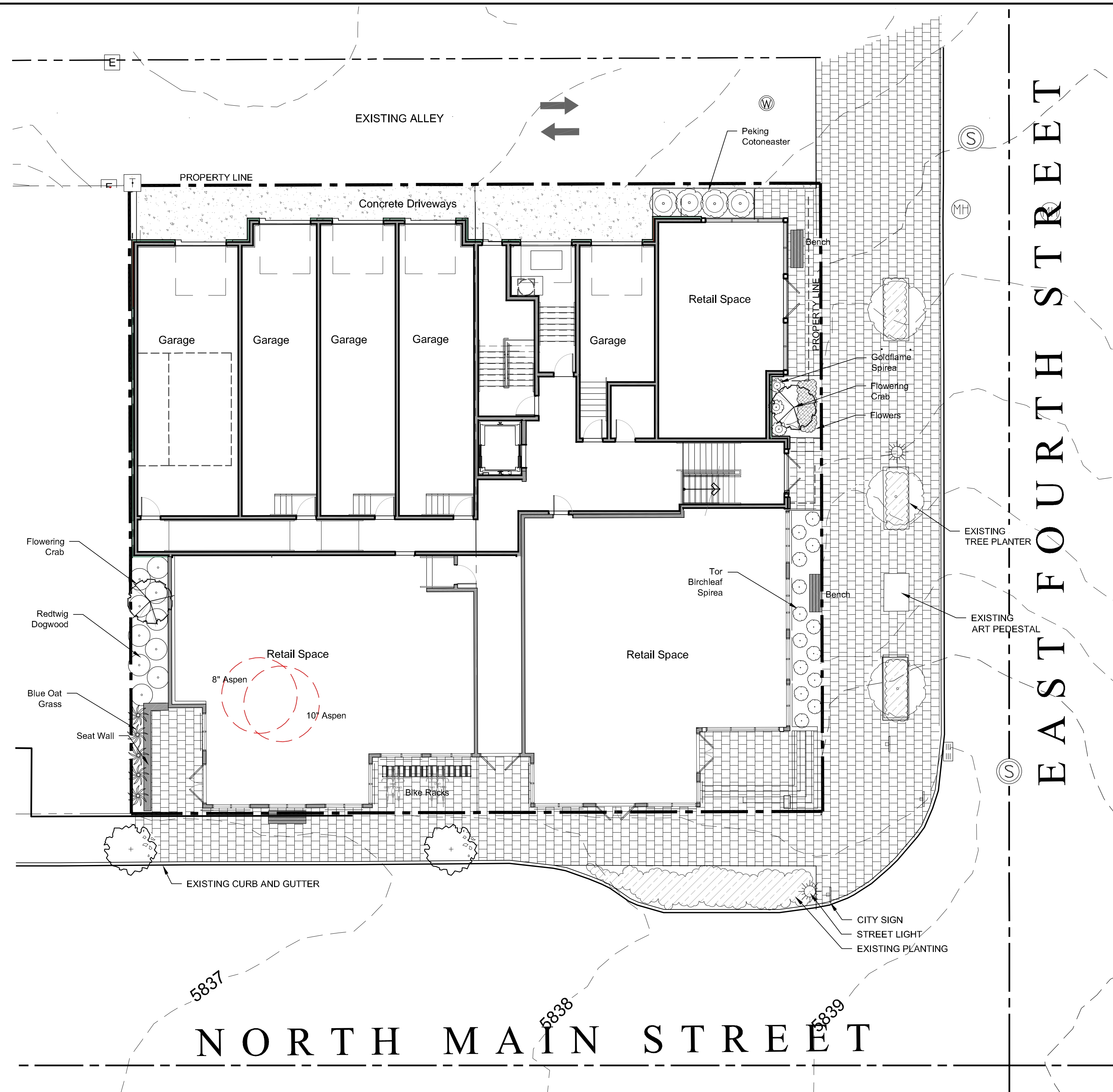
EGGERS ASSOCIATES
landscape architecture
P.O. Box 959
Ketchum, ID 83340
T (208) 725-0988
F (208) 725-0972



No.	Date	Issue
4.	2020/05/12	GRADING COORDINATION
5.	2020/05/14	COMMISSION RESUBMISSION
6.	2021/12/23	RVSD
7.	2022/02/24	RVSD

Landscape Plan Level 01 & 02

Date: 02/24/22 Project No.: 10-001
Scale: 1" = 10' CAD File Name:
Design: Checked:
Sheet No.:

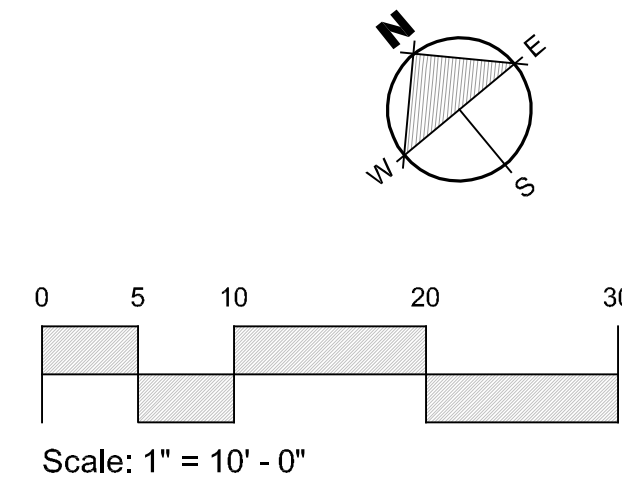


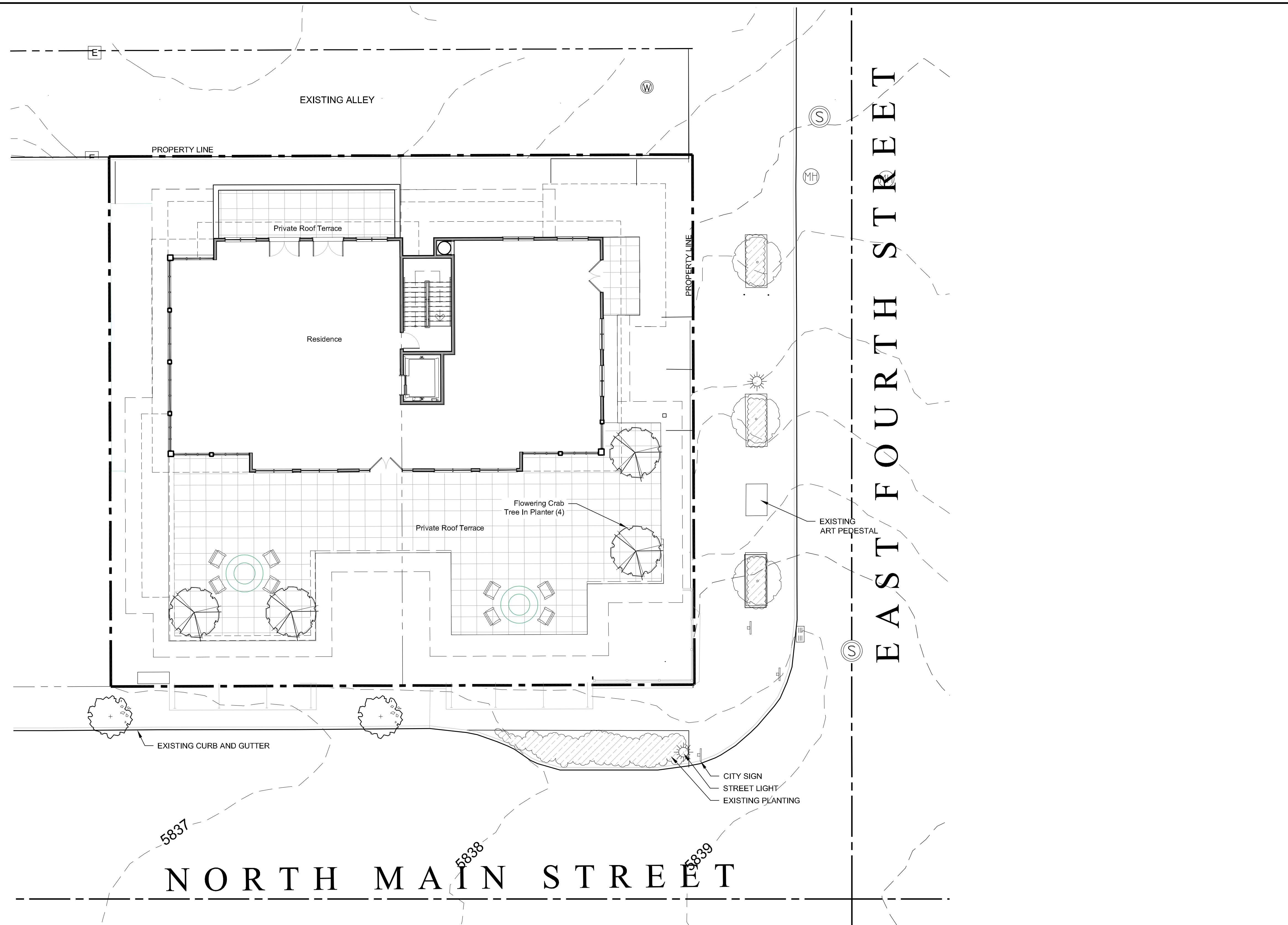
NOTE:
Per Ketchum Code,
Two Trees To Be
Removed Will Be
Replaced With Two
New Trees On Site.

Plan Legend	
	Property Line
	Utilities
	Light Post
	Bench
	Side Walk Pavers
	Concrete

Existing Tree Legend	
	Existing Deciduous Tree To Be Removed (2)
	Existing Deciduous Street Tree
	Existing Street Planting

Symbol	Qty.	Species	Size
	2	Autumn Blaze Maple	3" Cal
	2	Flowering Crab	3" Cal
	4	Peking Cotoneaster	5 Gal.
	3	Goldflame Spirea	5 Gal.
	16	Tor Birchleaf Spirea	5 Gal.
	10	Redtwig Dogwood	5 Gal.
	4	Blue Oat Grass	5 Gal.
	30 sq.ft.	Groundcover/ Kinnikinnick	1 Gal.

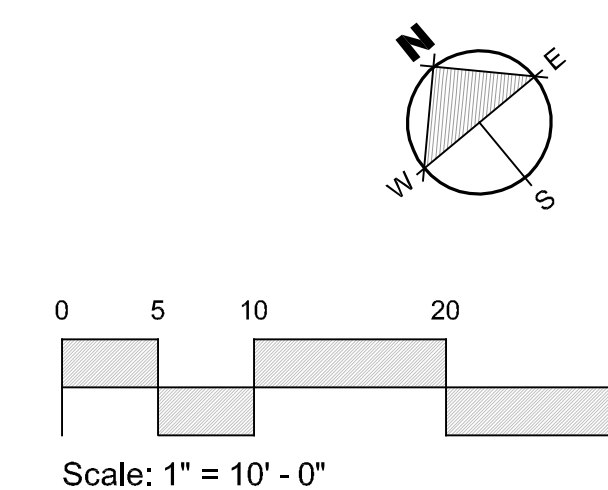




Plan Legend	
	Property Line
	Utilities
	Light Post
	Bench
	Side Walk Pavers
	Concrete

Existing Tree Legend	
	Existing Deciduous Street Tree
	Existing Street Planting

Plant Legend			
Symbol	Qty.	Species	Size
	4	Flowering Crab	1 1/2" Cal



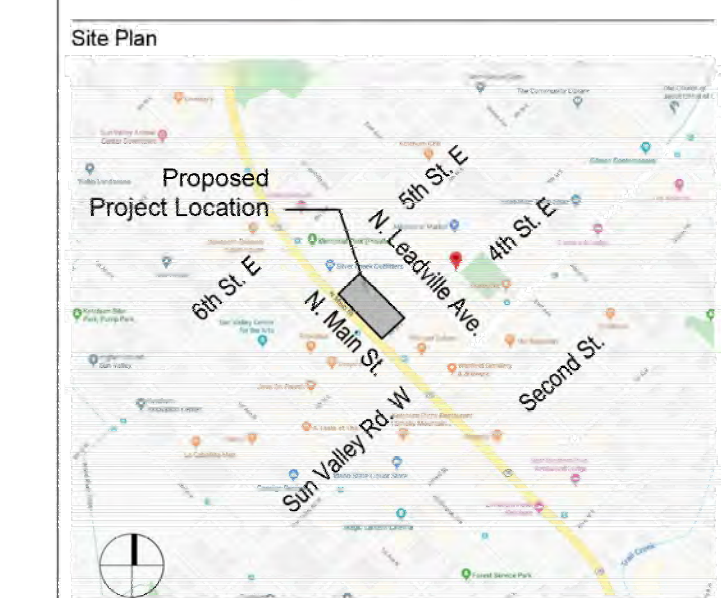
MIXED USE DEVELOPMENT

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IDAHO 84117

Prepared For: SOLSTICE DEVELOPMENT
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MILLCREEK, UT 84117

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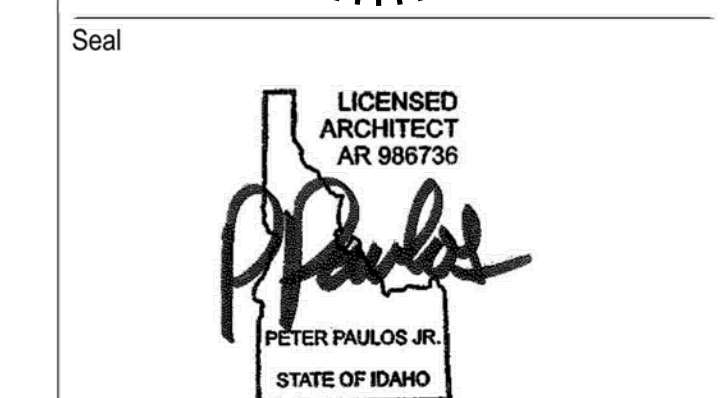
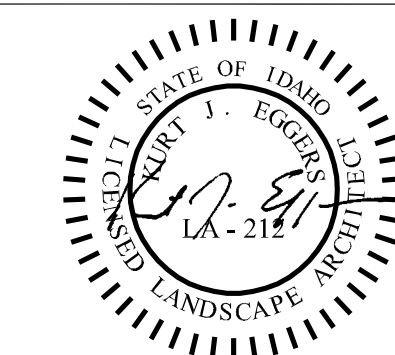
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Newtown, Connecticut 06470
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ph-archs.com



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Ketchum, Idaho 83340
(208) 725-0988 tel.
(208) 725-0972 fax

EGGERS ASSOCIATES landscape architecture

P.O. Box 959 Ketchum, ID 83340 T (208) 725-0988 F (208) 725-0972



No.	Date	Issue
4.	2020/05/12	GRADING COORDINATION
5.	2020/05/14	COMMISSION RESUBMISSION
6.	2021/12/23	RVSD
7.	2022/02/24	RVSD

Landscape Plan Level 04

Date: 02/24/22 Project No.: 20-001
Scale: 1" = 10' CAD File Name:
Design: Checked

Sheet No.:

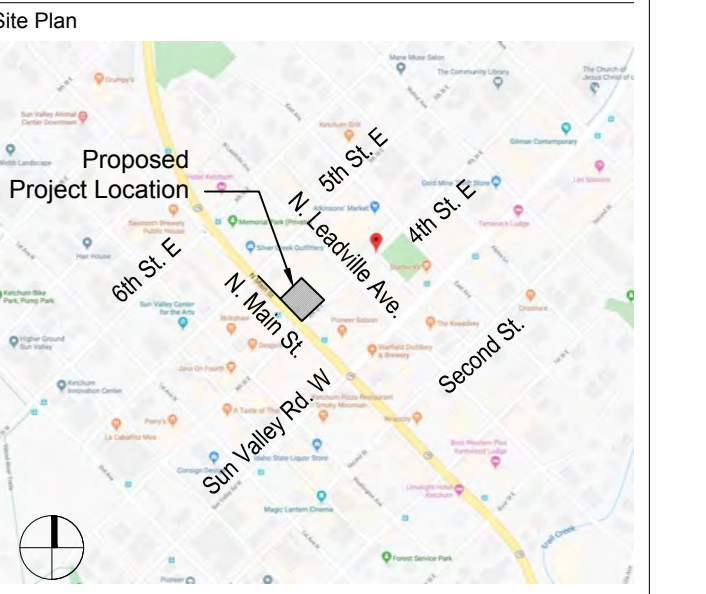
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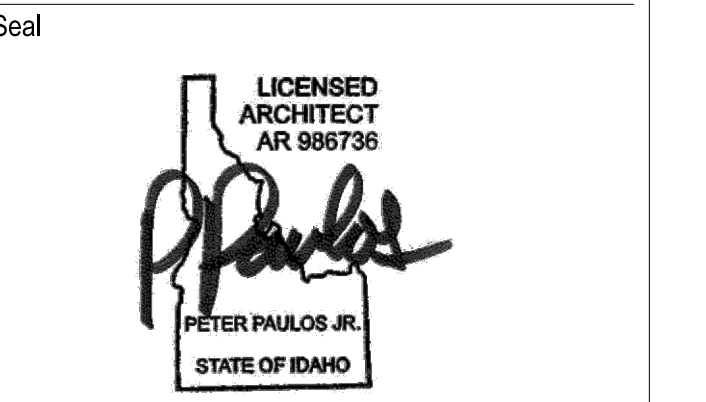
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Revisions		
No.	Date	Issue
2	2022/03/11	REVIEW RESPONSE

SETBACK PLANS

Date: 2022/03/11 Project No.: 20-001
Scale: 3/32"=1'-0" CAD File Name: base-floor-plans
Design: sbz Checked:
Sheet No.:

CD1.0



1 MAIN STREET LEVEL SETBACK PLAN
SCALE: 3/32"=1'-0"



2 UPPER LEVEL SETBACK PLAN
SCALE: 3/32"=1'-0"

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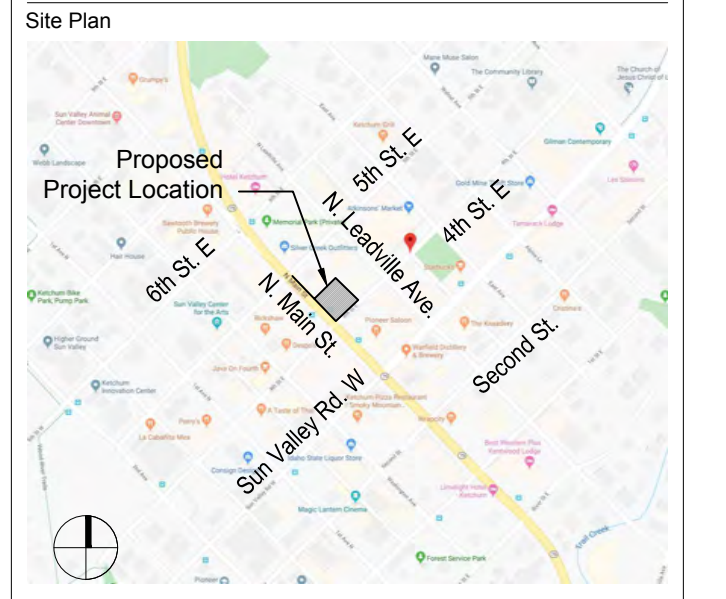
MIXED USE DEVELOPMENT

4TH & MAIN ST.
KETCHUM, BLAINE COUNTY,
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4,235 GSF FIRST FLOOR
8,515 GSF SECOND FLOOR
6,764 GSF THIRD FLOOR
3,210 GSF FOURTH FLOOR
22,784 GSF TOTAL FLOOR AREA

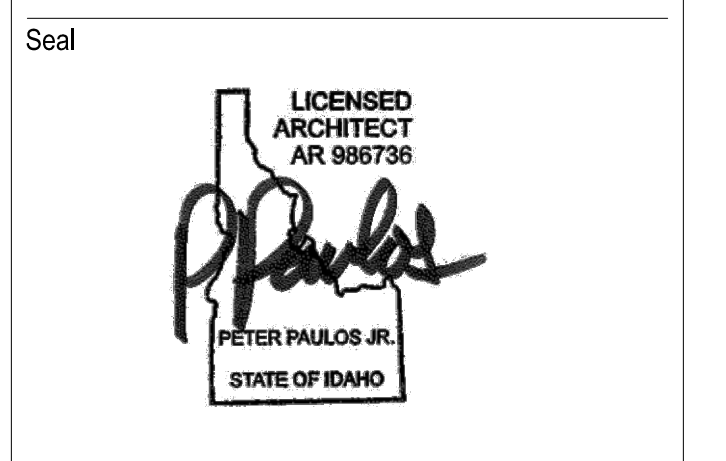
22,784 GSF TOTAL FLOOR AREA = 2.07 F.A.R. < 2.25 ALLOWED
10,997 SF LOT AREA

S U M M A R Y

GENERAL BUILDING INFORMATION	FLOOR	GROSS SQUARE FOOTAGE PER AREA	GROSS SQUARE FOOTAGE PER FAR	UNITS/ BEDROOM COUNT	REMARKS
OCCUPANCY CLASS RETAIL - MERCANTILE USE (M) CONDOMINIUMS - RESIDENTIAL USE (R-2) PARKING - LOW-HAZARD STORAGE USE ("S-2") BUILDING CONSTRUCTION PROTECTED WOOD CONSTRUCTION (TYPE V(A)) BUILDING VOLUME FOUR STORIES MAX 17,672 SF PER FLOOR PLATE	MAIN LEVEL	3,371 SQ. FT./RETAIL SPACE 540 SQ. FT./CIRCULATION 104 SQ. FT./CORRIDOR	4,235 SQ. FT. (INCLUDING MAIN LEVEL CIRCULATION, ELEVATOR MACHINE RM. & REFUSE)	N/A	LOT SIZE: 10,997 SQ.FT. MAXIMUM FAR= 2.25 X 10,997= 24,749.25 SQ. FT.
	SECOND LEVEL	2,666 SQ. FT./PARKING 662 SQ. FT./RETAIL SPACE 3,230 SQ. FT./LIVING (CONDOS) 490 SQ. FT./CIRCULATION 708 SQ. FT./CORRIDOR 545 SQ. FT./ PRIVATE ROOF TERRACE	8,515 SQ. FT. (EXCLUDING 2ND FLOOR STAIRWELLS & ELEVATOR)	(2)- 2 BEDROOM UNITS (CONDO)	
	THIRD LEVEL	5,760 SQ. FT./LIVING (CONDOS) 219 SQ. FT./CIRCULATION 392 SQ. FT./CORRIDOR 1,241 SQ. FT./ PRIVATE ROOF TERRACE	6,764 SQ. FT. (EXCLUDING 3RD FLOOR STAIRWELLS FROM 2ND FLOOR & ELEVATOR)	(1)- 2 BEDROOM UNIT (CONDO) (1)- 3 BEDROOM UNIT (CONDO)	
	FOURTH LEVEL	3,299 SQ. FT./LIVING (CONDOS) 219 SQ. FT./CIRCULATION 2,847 SQ. FT./PRIVATE ROOF TERRACE	3,210 SQ. FT. (EXCLUDING 4TH FLOOR STAIRWELLS & ELEVATOR)	(1)- 3 BEDROOM UNIT (CONDO)	
	TOTAL	2,666 SQ. FT./PARKING 4,099 SQ. FT./RETAIL SPACE 14,099 SQ. FT./CIRCULATION 12,099 SQ. FT./LIVING (CONDOS) 12,094 SQ. FT./CORRIDOR 4,653 SQ. FT./PRIVATE ROOF TERRACE	TOTAL PROVIDED PER FAR: 22,784 SQ. FT. FAR: 2.07	(3)-2 BEDROOM UNITS (CONDO) (2)-3 BEDROOM UNITS (CONDO) 5 TOTAL UNITS	
PARKING COUNT					
	2 BEDROOM UNITS (CONDOS)	(2)- UNITS UNDER 2001 SF (3)- UNITS OVER 2001 SF	1 PARKING/UNIT 2 PARKING/UNIT	2 PARKING NEEDED 6 PARKING NEEDED	
	RETAIL	4,099 NSQ. FT. RETAIL	1 PARKING/ 1000 SQ. FT. (INITIAL REDUCTION OF 9500 SQ. FT.)	0 PARKING NEEDED (UNDER 9500 SQ. FT.)	TOTAL 9 PARKING PROVIDED- UNDERGROUND PARKING (2 OF WHICH ARE HANDICAP) 2 ON STREET PARKING PROVIDED ***EXACT ON STREET PARKING TBD***
			0 TOTAL PARKING NEEDED	2 ON STREET PARKING PROVIDED ***EXACT ON STREET PARKING TBD***	

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No.	Date	Issue
1.	2021/12/17	ZONING APPLICATION
2.	2022/01/09	PROJECT NARRATIVE
3.	2022/03/11	REVIEW RESPONSE

CODE DATA

Date: 2021/12/17 Project No.: 20-001
Scale: 3/32"=1'-0" CAD File Name: base-floor plans
Design: sbz Checked:
Sheet No.:

CD1.1

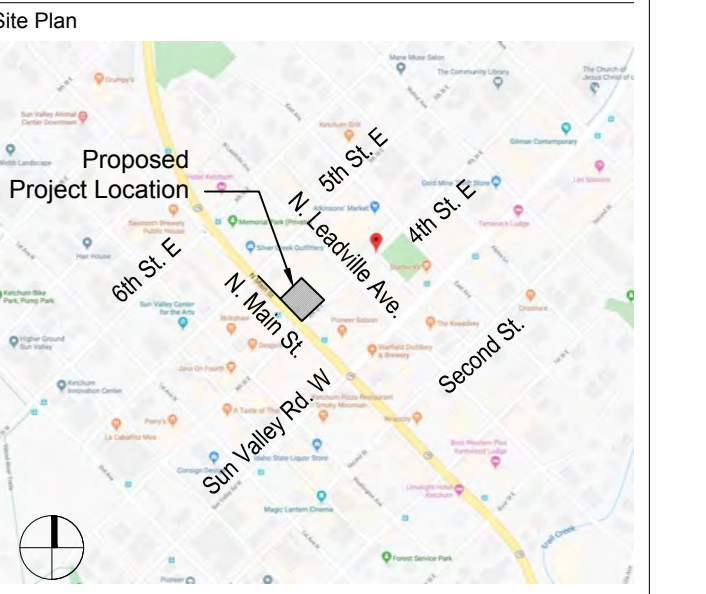
MIXED USE DEVELOPMENT

4TH & MAIN ST.
KETCHUM, BLAINE COUNTY,
IDAHO 84117

Prepared For: SOLSTICE DEVELOPMENT
4686 HIGHLAND DR. #224
MILLCREEK, UT 84117

P|H
ARCHITECTS

38 Taunton Hill Road
Newtown, Connecticut 06470
203-426-6500 tel. 203-426-6503 fax
ph-archs.com



Project Team:
Architect and Planner:
P H Architects, LLC
38 Taunton Hill Road
Newtown, Connecticut 06470
(203) 426-6500 tel.
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Eggers Associates, Landscape Architecture
560 North Second Avenue
Ketchum, Idaho 83340
(208) 725-0988 tel.
(208) 725-0972 fax

Seal
LICENSED ARCHITECT
AR 986736
P. Paulos Jr.
PETER PAULOS JR.
STATE OF IDAHO

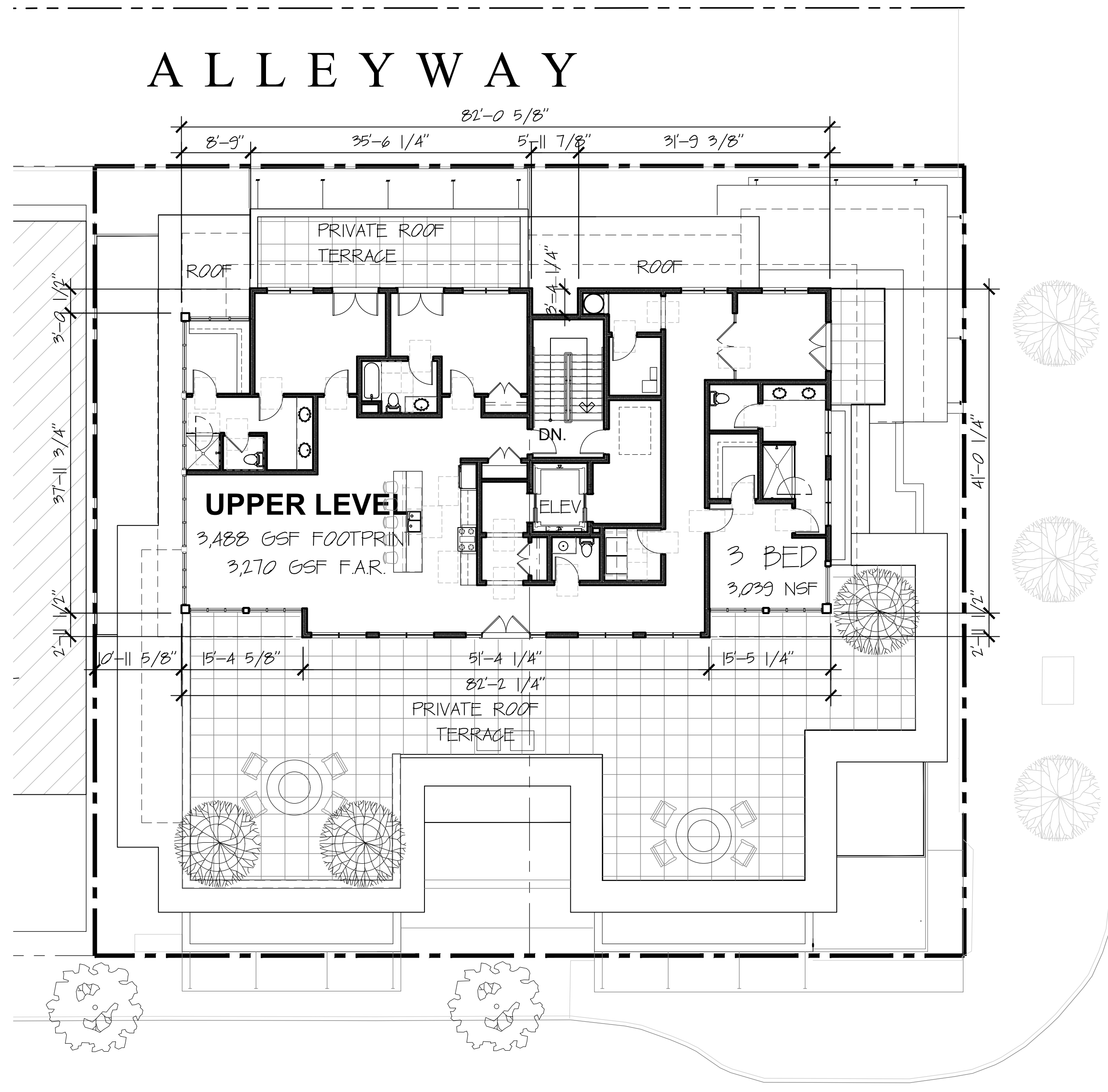
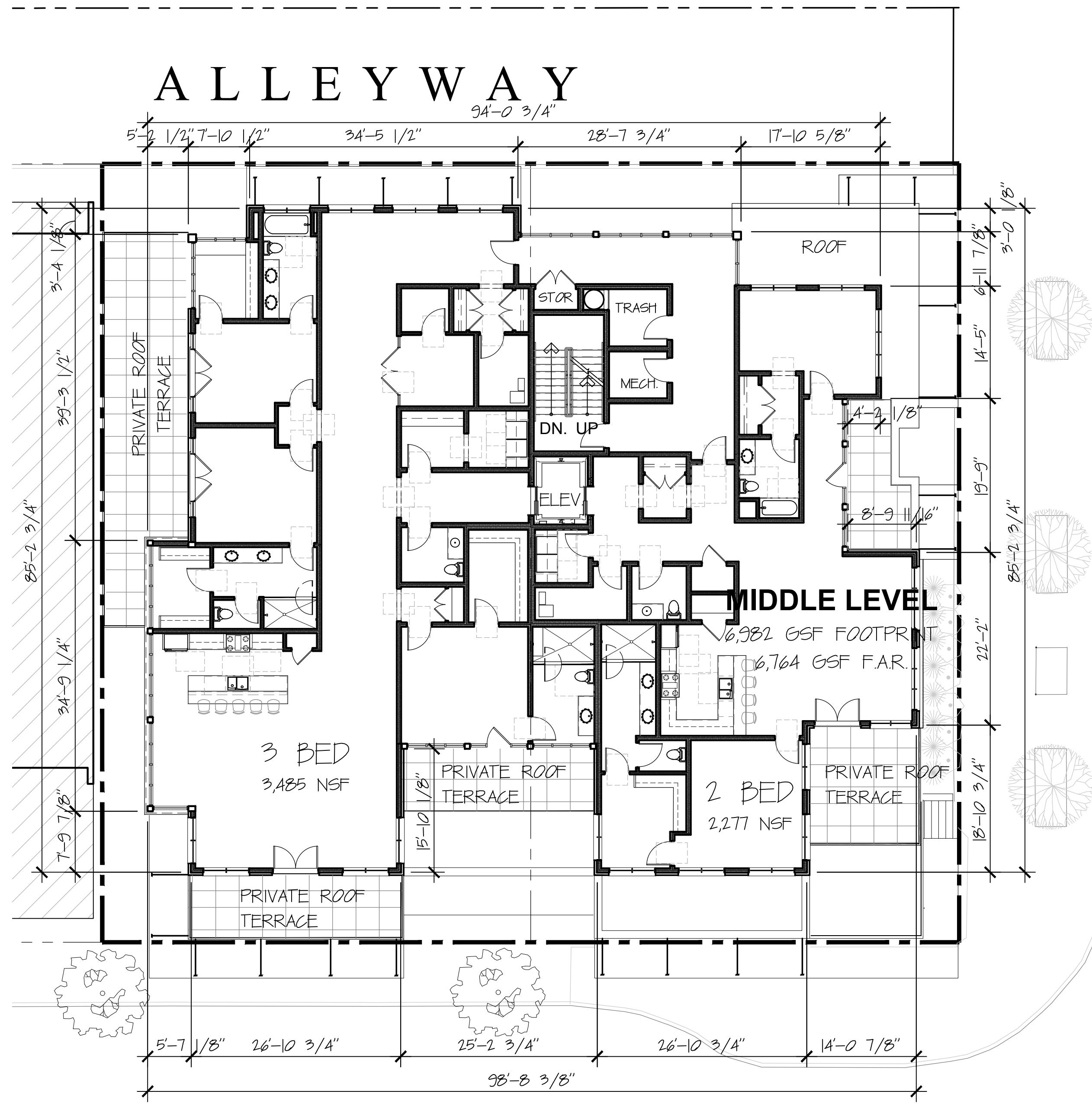
Revisions

No.	Date	Issue
1.	2021/12/17	ZONING APPLICATION
2.	2022/01/03	PROJECT NARRATIVE
3.	2022/03/11	REVIEW RESPONSE

MIDDLE & UPPER LEVEL PLANS

Date: 2021/12/17 Project No.: 20-001
Scale: 3/32"=1'-0" CAD File Name: base-floor-plans
Design: sbz Checked:
Sheet No.:

A1.1



EAST FOURTH STREET

EAST FOURTH STREET

ALLEYWAY

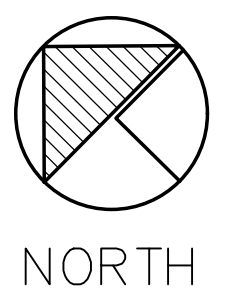
ALLEYWAY

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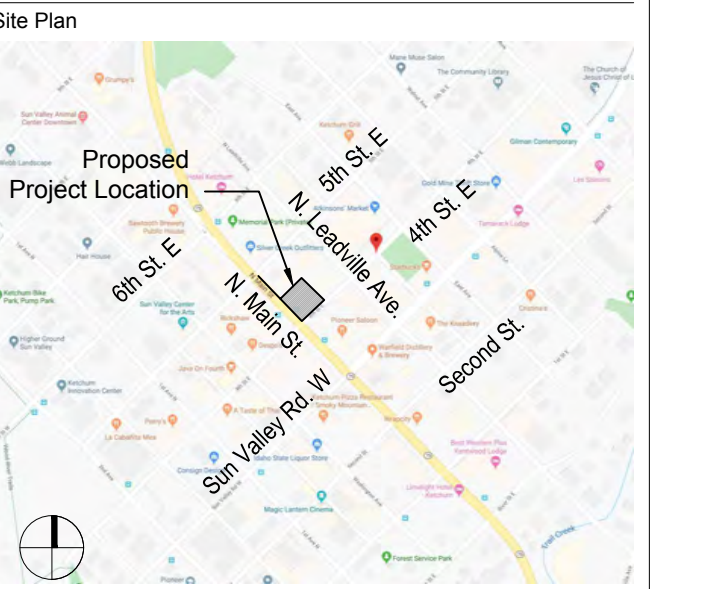
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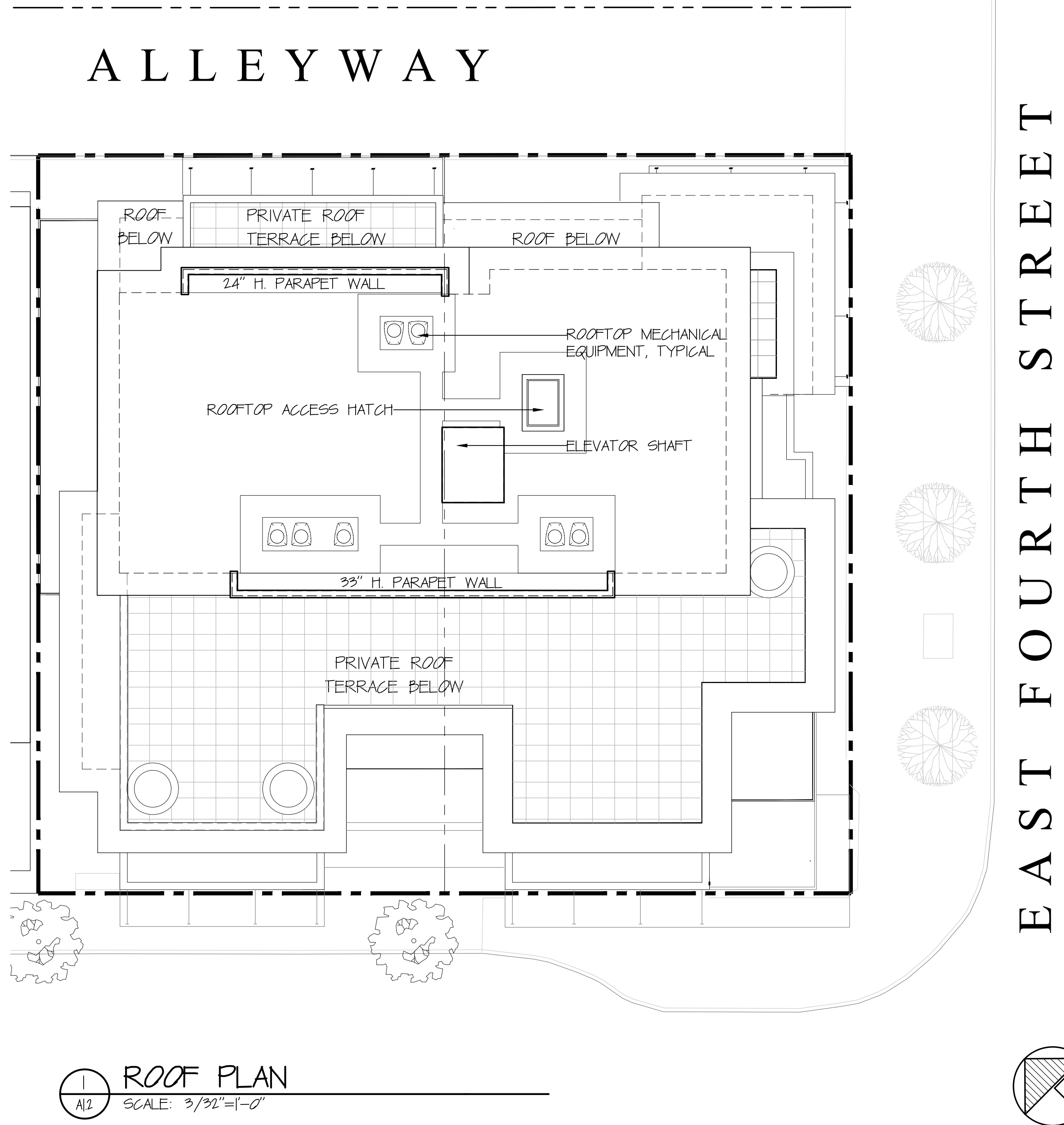
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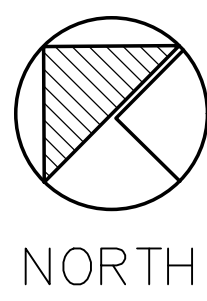
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ROOF PLAN
SCALE: 3/32" = 1'-0"

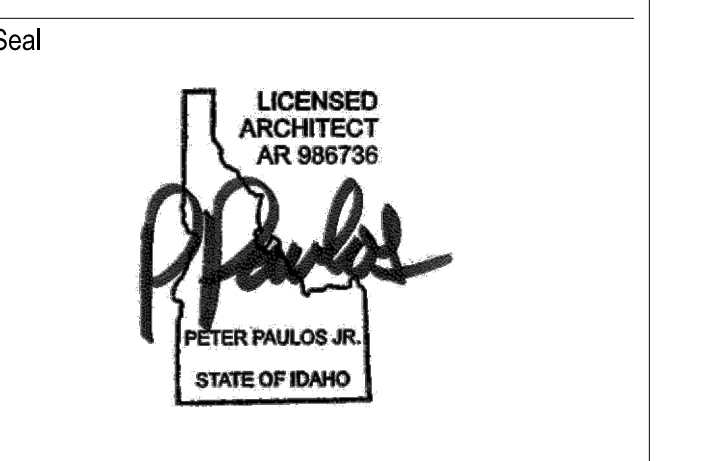


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3	2021/09/11	REVIEW RESPONSE

ROOF PLAN

Date: 2021/12/17 Project No.: 20-001
Scale: 3/32" = 1'-0" CAD File Name: base-floor plans
Design: sbz Checked:
Sheet No.:

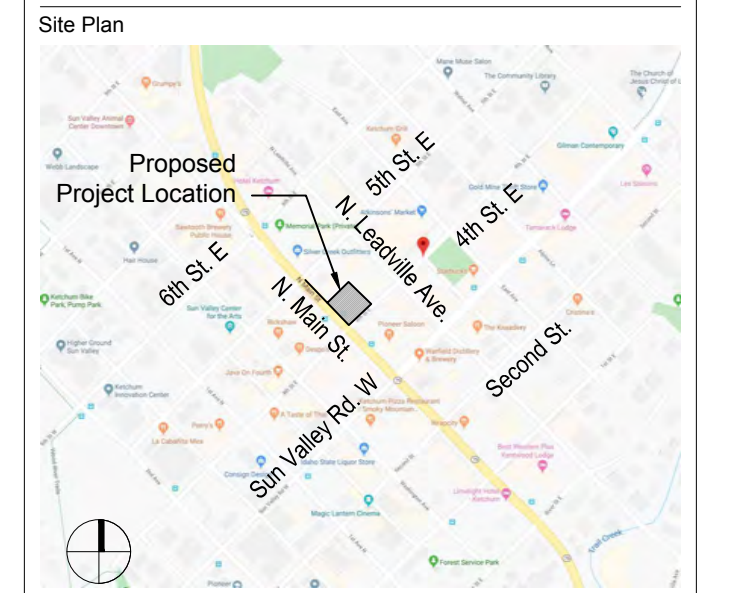
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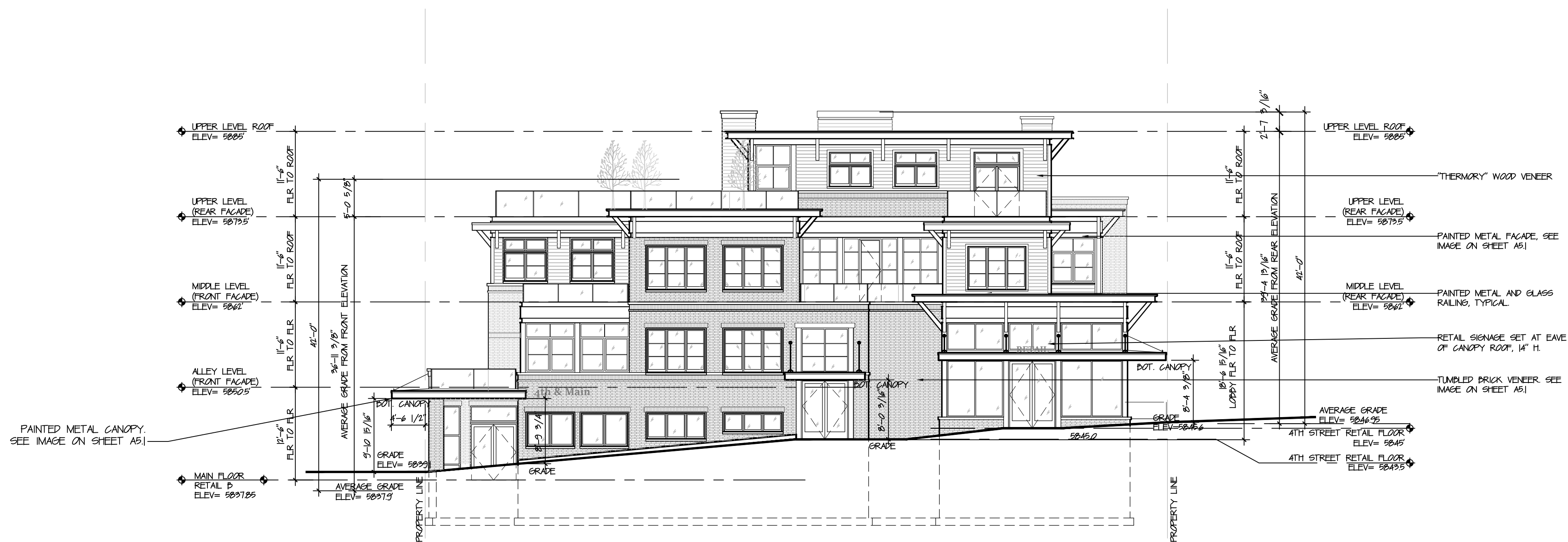
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1 FRONT EXTERIOR ELEVATION
SCALE: 3/32"=1'-0"



2 SIDE EXTERIOR ELEVATION (SOUTH)
SCALE: 3/32"=1'-0"

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Seal
LICENSED ARCHITECT AR 986736
P. Paulos Jr.
PETER PAULOS JR.
STATE OF IDAHO

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2.	2021/02/09	PROJECT NARRATIVE
3.	2021/09/11	REVIEW RESPONSE

FRONT & SIDE EXTERIOR ELEVATIONS

Date: 2021/12/17 Project No.: 20-001
Scale: 3/32"=1'-0" CAD File Name: base-ext elev.
Design: sbz Checked:
Sheet No.:

A2.0

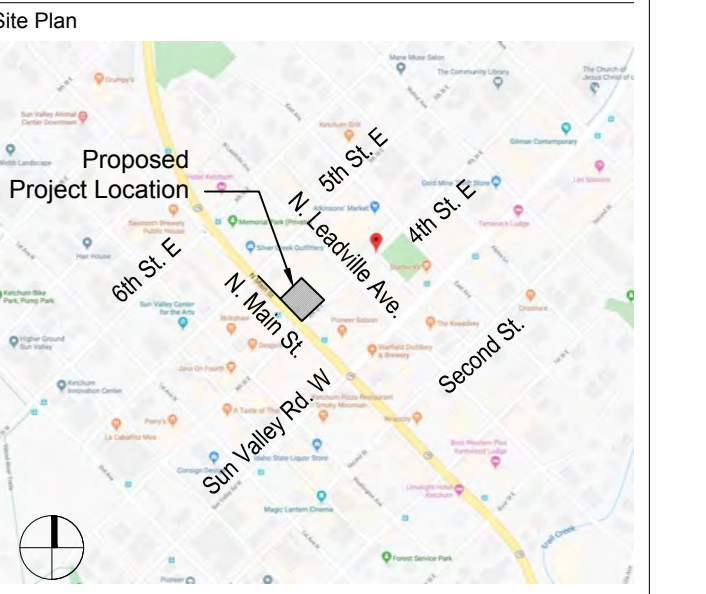
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1 REAR EXTERIOR ELEVATION
SCALE: 3/32"=1'-0"



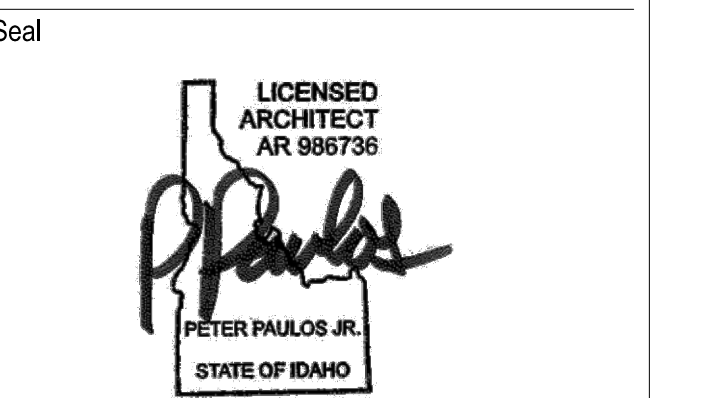
2 SIDE EXTERIOR ELEVATION (NORTH)
SCALE: 3/32"=1'-0"

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No.	Date	Issue
1	2021/02/17	ZONING APPLICATION
2	2021/01/09	PROJECT NARRATIVE
3	2021/03/11	REVIEW RESPONSE

REAR & SIDE EXTERIOR ELEVATIONS

Date: 2021/02/17 Project No.: 20-001
Scale: 3/32"=1'-0" CAD File Name: base-ext elev.
Design: sbz Checked:
Sheet No.:

A2.1

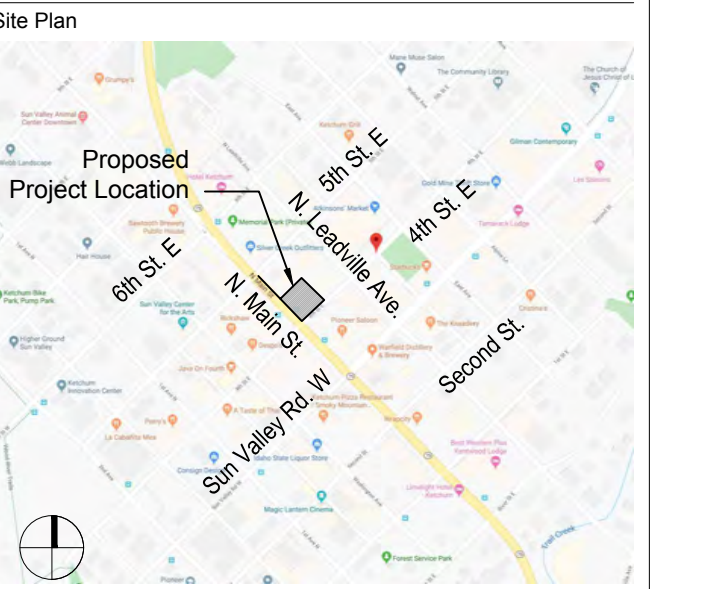
MIXED USE DEVELOPMENT

4TH & MAIN ST.
KETCHUM, BLAINE COUNTY,
IDAHO 84117

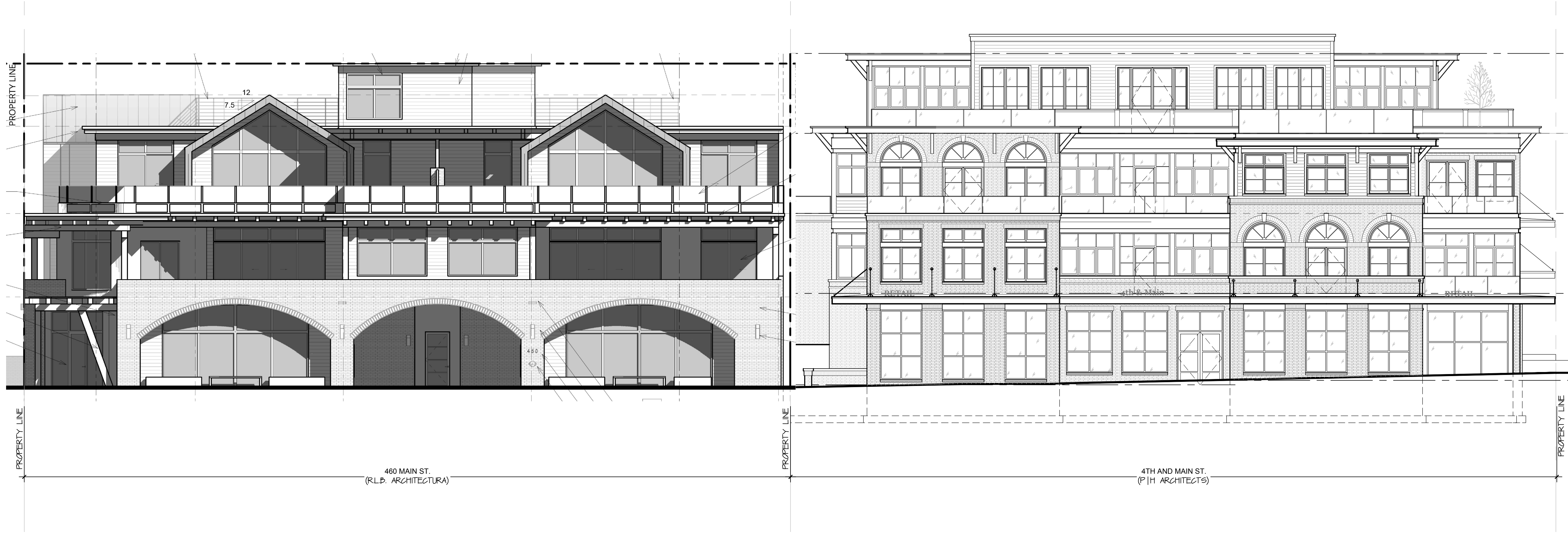
Prepared For: SOLSTICE DEVELOPMENT
4686 HIGHLAND DR. #224
MILLCREEK, UT 84117

P | H
ARCHITECTS

38 Taunton Hill Road
Newtown, Connecticut 06470
203-426-6500 tel. 203-426-6503 fax
ph-archs.com



Project Team:
Architect and Planner:
P H Architects, LLC
38 Taunton Hill Road
Newtown, Connecticut 06470
(203) 426-6500 tel.
(203) 426-6503 fax
Civil Engineer:
Galena Engineering, Inc.
317 North River Street
Halley, Utah 83333
(208) 788-1705 tel.
Landscape Architect:
Eggers Associates, Landscape Architecture
560 North Second Avenue
Ketchum, Idaho 83340
(208) 725-0988 tel.
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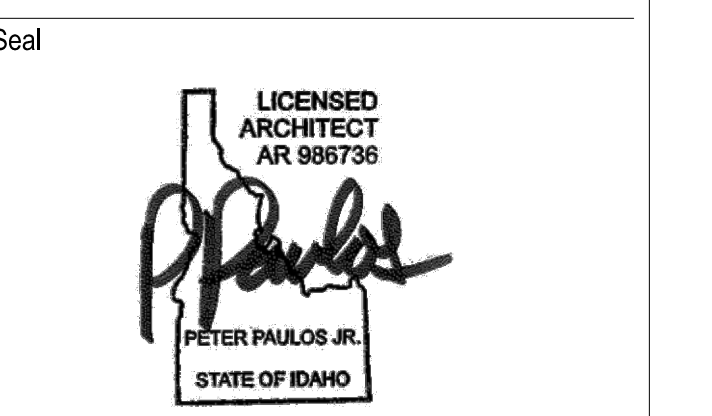
① **COMBINED MAIN ST. ELEVATION**
A2.2 SCALE: 1/8"=1'-0"

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Revisions		
No.	Date	Issue
3	2/02/11	REVIEW RESPONSE

COMBINED MAIN ST. ELEVATION

Date: 2/02/11 Project No.: 20-00
Scale: 1/8"=1'-0" CAD File Name: base-ext elev.
Design: sbz Checked:
Sheet No.:

A2.2

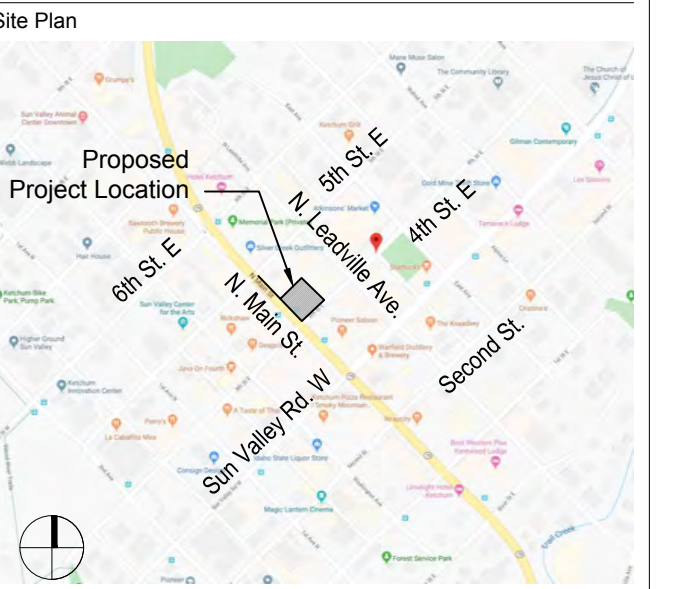
MIXED USE DEVELOPMENT

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KETCHUM, BLAINE COUNTY,
IDAHO 84117

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4686 HIGHLAND DR. #224
MILLCREEK, UT 84117

P|H ARCHITECTS

38 Taunton Hill Road
Newtown, Connecticut 06470
203-426-6500 tel. 203-426-6503 fax
ph-archs.com



Project Team:
Architect and Planner:
 P H Architects, LLC
 38 Taunton Hill Road
 Newtown, Connecticut 06470
 (203) 426-6500 tel.
 (203) 426-6503 fax
Civil Engineer:
 Galena Engineering, Inc.
 317 North River Street
 Hailey, Utah 83433
 (208) 788-1705 tel.
Landscape Architect:
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 560 North Second Avenue
 Ketchum, Idaho 83340
 (208) 725-0988 tel.
 (208) 725-0972 fax



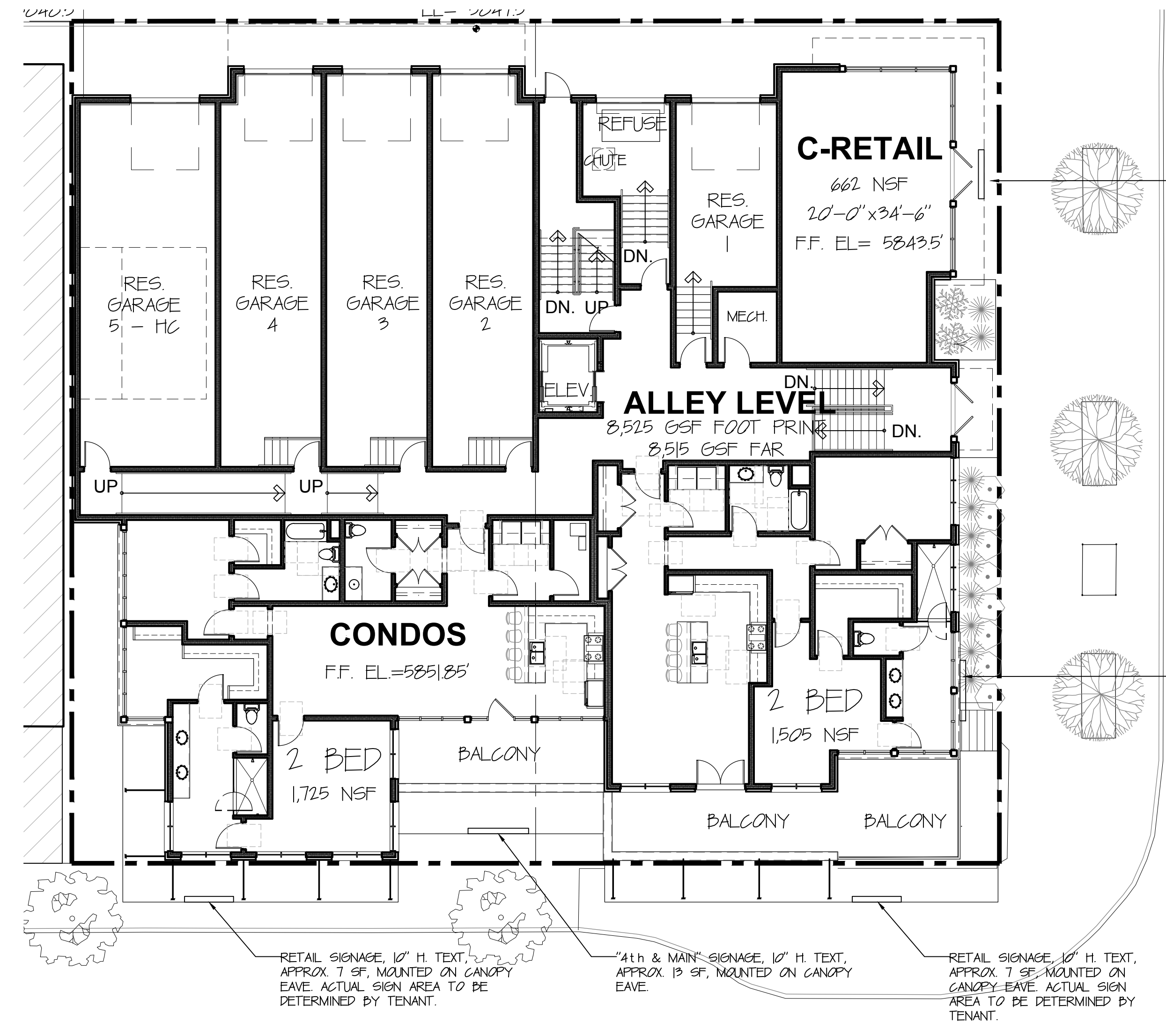
RETAIL SIGNAGE, 10" H. TEXT, APPROX 7 SF, MOUNTED ON CANOPY EAVE. ACTUAL SIGN AREA TO BE DETERMINED BY TENANT.
 "4th & MAIN" SIGNAGE, 10" H. TEXT, APPROX 13 SF, MOUNTED ON CANOPY EAVE. ACTUAL SIGN AREA TO BE DETERMINED BY TENANT.
 RETAIL SIGNAGE, 10" H. TEXT, APPROX 7 SF, MOUNTED ON CANOPY EAVE. ACTUAL SIGN AREA TO BE DETERMINED BY TENANT.

2 MAIN ST. SIGNAGE ELEVATION
 SCALE: 3/32"=1'-0"



"4th & MAIN" SIGNAGE, 14" H. TEXT, APPROX 13 SF, WALL MOUNTED (99' OF FRONTAGE, 33 SF OF SIGNAGE ALLOWED)
 RETAIL SIGNAGE, 10" H. TEXT, APPROX 7 SF, MOUNTED ON CANOPY EAVE. ACTUAL SIGN AREA TO BE DETERMINED BY TENANT.

3 4TH ST. SIGNAGE ELEVATION
 SCALE: 3/32"=1'-0"



EAST FOURTH STREET

RETAIL SIGNAGE, 10" H. TEXT, APPROX 7 SF, MOUNTED ON CANOPY EAVE. ACTUAL SIGN AREA TO BE DETERMINED BY TENANT.

94'-0" OF FRONTAGE / 1 SF SIGN FOR 3'-0" FRONTAGE = 31.3 SF SIGNAGE ALLOWED, 20 SF PROPOSED

"4th & MAIN" SIGNAGE, 14" H. TEXT, APPROX 13 SF, WALL MOUNTED (99' OF FRONTAGE, 33 SF OF SIGNAGE ALLOWED)

RETAIL SIGNAGE, 10" H. TEXT, APPROX 7 SF, MOUNTED ON CANOPY EAVE. ACTUAL SIGN AREA TO BE DETERMINED BY TENANT.

"4th & MAIN" SIGNAGE, 10" H. TEXT, APPROX 13 SF, MOUNTED ON CANOPY EAVE.

RETAIL SIGNAGE, 10" H. TEXT, APPROX 7 SF, MOUNTED ON CANOPY EAVE. ACTUAL SIGN AREA TO BE DETERMINED BY TENANT.

95'-6" OF FRONTAGE / 1 SF SIGN FOR 3'-0" FRONTAGE = 33.1 SF SIGNAGE ALLOWED, 27 SF PROPOSED

1 MASTER SIGNAGE PLAN
 SCALE: 3/32"=1'-0"



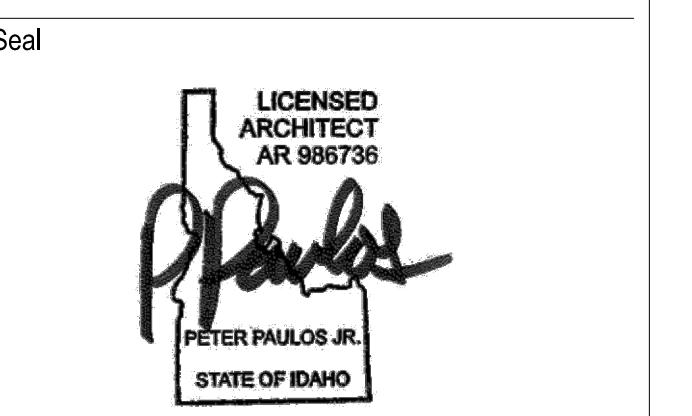
INSPIRATION IMAGE
 SCALE: N.T.S.

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Revisions		
No.	Date	Issue
2	2022/03/11	REVIEW RESPONSE

MASTER SIGNAGE PLAN

Date: 2022/03/11 Project No.: 20-001
 Scale: 3/32"=1'-0" CAD File Name: base-ext elev.
 Design: sbz Checked:
 Sheet No.:

A3.0



1 PERSPECTIVE RENDERING
 A5.0 SCALE: NTS

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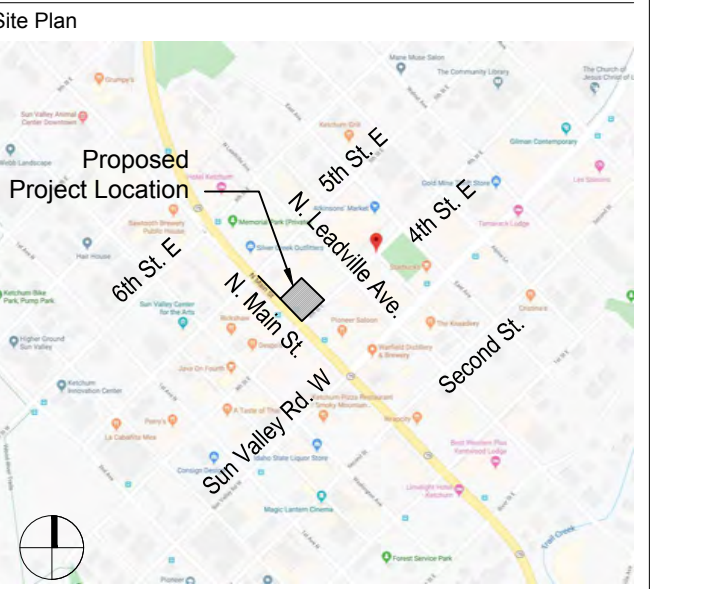
MIXED USE DEVELOPMENT

4TH & MAIN ST.
 KETCHUM, BLAINE COUNTY,
 IDAHO 84117

Prepared For: SOLSTICE DEVELOPMENT
 4686 HIGHLAND DR. #224
 MILLCREEK, UT 84117

P | H ARCHITECTS

38 Taunton Hill Road
 Newtown, Connecticut 06470
 203-426-6500 tel. 203-426-6503 fax
 ph-archs.com

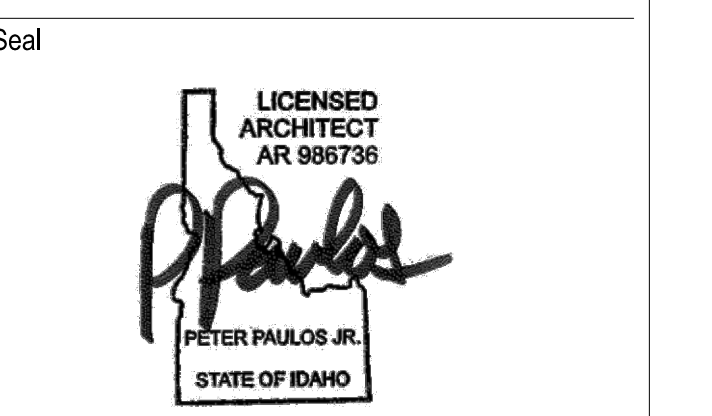


Project Team:

Architect and Planner:
P H Architects, LLC
 38 Taunton Hill Road
 Newtown, Connecticut 06470
 (203) 426-6500 tel.
 (203) 426-6503 fax

Civil Engineer:
 Galena Engineering, Inc.
 317 North River Street
 Halley, Utah 83333
 (208) 788-1705 tel.

Landscape Architect:
 Eggers Associates, Landscape Architecture
 560 North Second Avenue
 Ketchum, Idaho 83340
 (208) 725-0988 tel.
 (208) 725-0972 fax



No.	Date	Issue
1	2021/12/17	ZONING APPLICATION
2	2022/01/05	PROJECT NARRATIVE
3	2022/03/11	REVIEW RESPONSE

PERSPECTIVE RENDERING

Date: 2021/12/17 Project No.: 20-001
 Scale: NTS CAD File Name:
 Design: pep Checked:
 Sheet No.:

A5.0



OPTION B - ALTERNATE MATERIALS
PERSPECTIVE RENDERING
 SCALE: NTS

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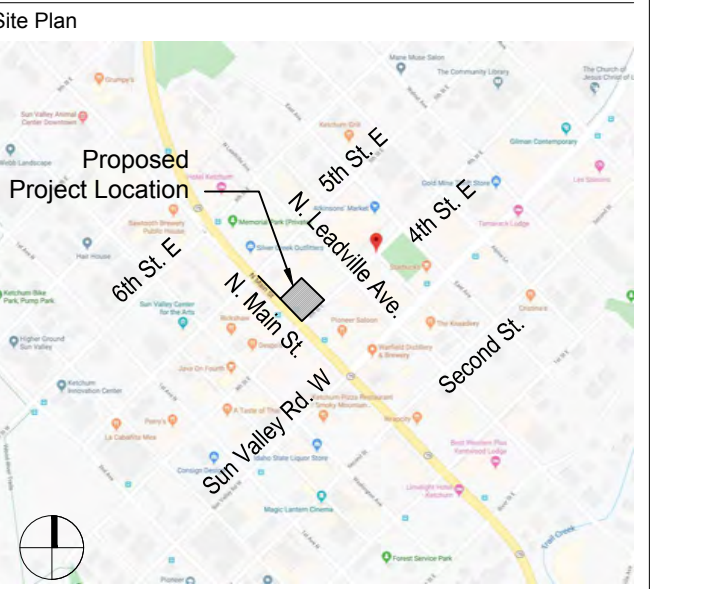
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 IDAHO 84117

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 4686 HIGHLAND DR. #224
 MILLCREEK, UT 84117

P | H
 ARCHITECTS

38 Taunton Hill Road
 Newtown, Connecticut 06470
 203-426-6500 tel. 203-426-6503 fax
 ph-archs.com



Project Team:
 Architect and Planner:
 P H Architects, LLC
 38 Taunton Hill Road
 Newtown, Connecticut 06470
 (203) 426-6500 tel.
 (203) 426-6503 fax
 Civil Engineer:
 Galena Engineering, Inc.
 317 North River Street
 Halley, Utah 83333
 (208) 788-1705 tel.
 Landscape Architect:
 Eggers Associates, Landscape Architecture
 560 North Second Avenue
 Ketchum, Idaho 83340
 (208) 725-0988 tel.
 (208) 725-0972 fax

Seal

 LICENSED ARCHITECT
 AR 986736
 PETER PAULOS JR.
 STATE OF IDAHO

Revisions

No.	Date	Issue
1	2021/12/17	ZONING APPLICATION
2	2022/01/03	PROJECT NARRATIVE
3	2022/03/11	REVIEW RESPONSE

**PERSPECTIVE RENDERING
 OPT. B - ALT. MATERIAL**

Date: 2021/12/17 Project No.: 20-001
 Scale: NTS CAD File Name:
 Design: pep Checked:
 Sheet No.:

A5.0a



A5.1
PERSPECTIVE RENDERING
 SCALE: NTS

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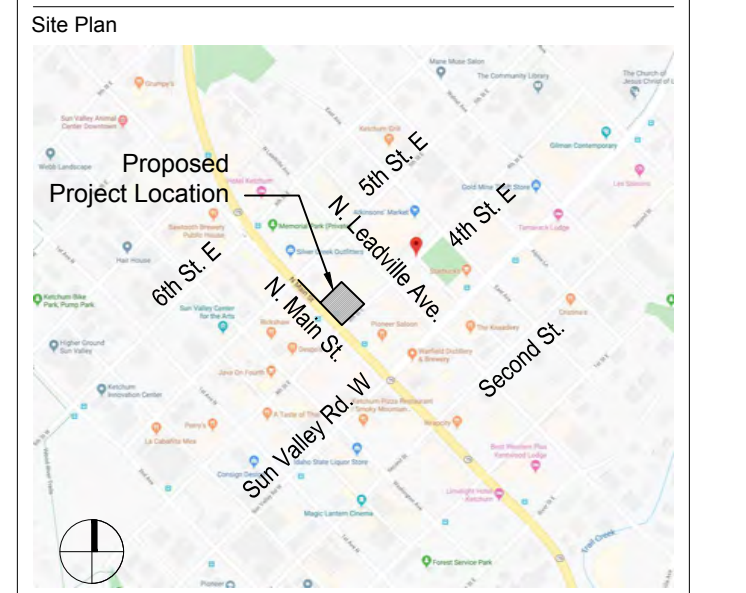
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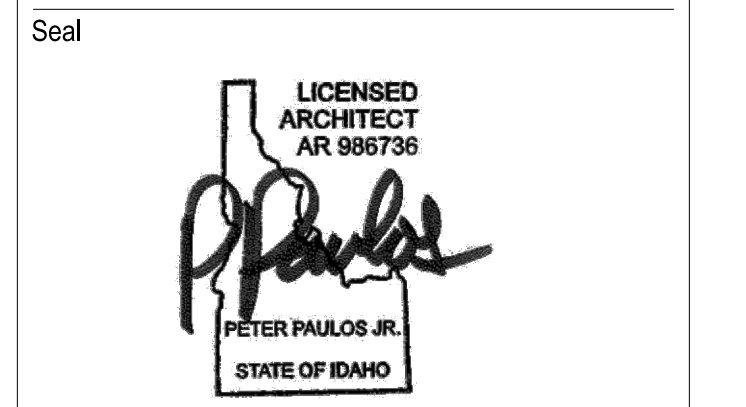
38 Taunton Hill Road
 Newtown, Connecticut 06470
 203-426-6500 tel. 203-426-6503 fax
 ph-archs.com



Project Team:
Architect and Planner:
P H Architects, LLC
 38 Taunton Hill Road
 Newtown, Connecticut 06470
 (203) 426-6500 tel.
 (203) 426-6503 fax

Civil Engineer:
 Galena Engineering, Inc.
 317 North River Street
 Halley, Utah 84333
 (208) 788-1705 tel.

Landscape Architect:
 Eggers Associates, Landscape Architecture
 560 North Second Avenue
 Ketchum, Idaho 83340
 (208) 725-0988 tel.
 (208) 725-0972 fax



No.	Date	Issue
1.	2021/12/17	ZONING APPLICATION
2.	2022/01/09	PROJECT NARRATIVE
3.	2022/03/11	REVIEW RESPONSE

PERSPECTIVE RENDERING

Date: 2021/12/17 Project No.: 20-001
 Scale: NTS CAD File Name:
 Design: pep Checked:
 Sheet No.:

A5.1



1 PERSPECTIVE RENDERING
 A5.2 SCALE: NTS

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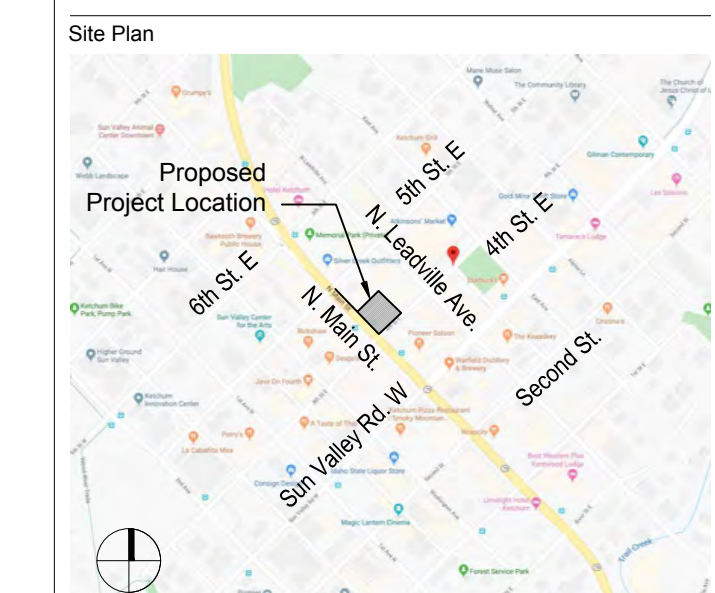
MIXED USE DEVELOPMENT

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 IDAHO 84117

Prepared For: SOLSTICE DEVELOPMENT
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P | H
 ARCHITECTS

38 Taunton Hill Road
 Newtown, Connecticut 06470
 203-426-6500 tel. 203-426-6503 fax
 ph-archs.com

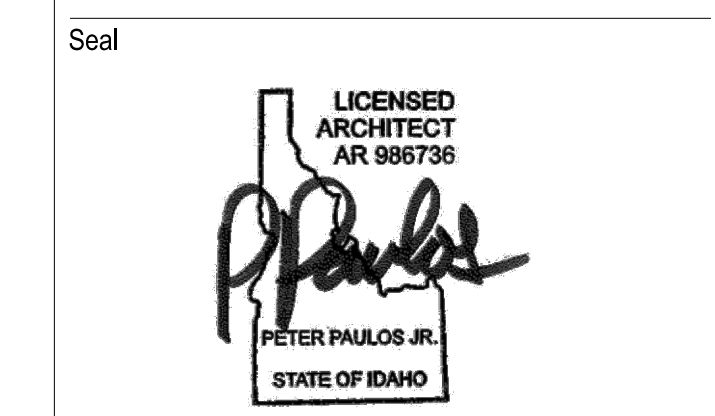


Project Team:

Architect and Planner:
P H Architects, LLC
 38 Taunton Hill Road
 Newtown, Connecticut 06470
 (203) 426-6500 tel.
 (203) 426-6503 fax

Civil Engineer:
 Galena Engineering, Inc.
 317 North River Street
 Halley, Utah 83333
 (208) 788-1705 tel.

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 560 North Second Avenue
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No.	Date	Issue
1.	2021/12/17	ZONING APPLICATION
2.	2022/01/09	PROJECT NARRATIVE
3.	2022/03/11	REVIEW RESPONSE

PERSPECTIVE RENDERING

Date: 2021/12/17 Project No.: 20-001
 Scale: NTS CAD File Name:
 Design: pep Checked:
 Sheet No.:

A5.2



NOTE
GENERAL CONTRACTOR TO FOLLOW ALL CITY ORDINANCES AND OSHA STANDARDS

CONSTRUCTION MANAGEMENT PLAN REGULATIONS/ACTIVITIES PLAN

B.3 TEMPORARY DELIVERY AREA - SEE MAP

B.4 DUST, MUD, SAND AND GRAVEL CONTROL - SEE MAP

B.5 WATER BASED DUST CONTROL (IDENTIFIED IN SWPPP)

C.1 ONLY TYPICAL PASSENGER VEHICLES (SEDANS/SUVS/ETC)

D.1 MATERIAL STORAGE AREA - SEE MAP

E.1 TEMPORARY RESTROOMS AND DUMPSTER - SEE MAP

F.1 & F.2 ENTIRE SITE TO HAVE INT. SILT FENCE - EXTERIOR 6'h FENCE WITH WRAP

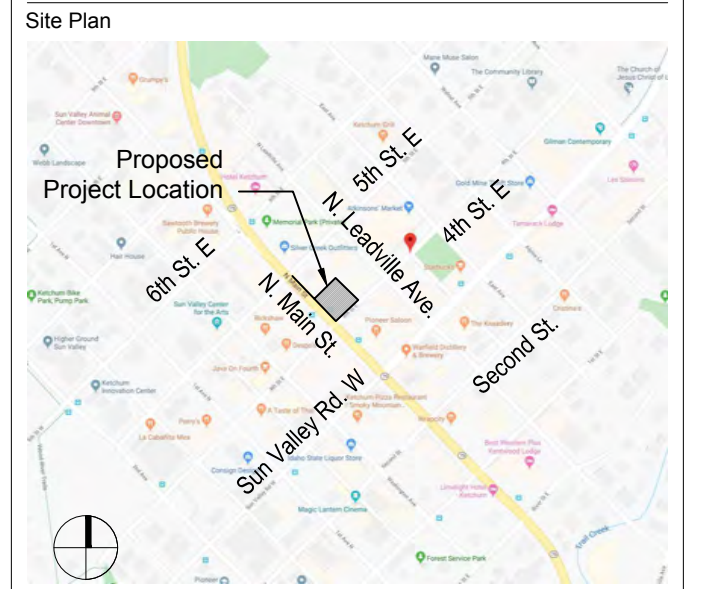
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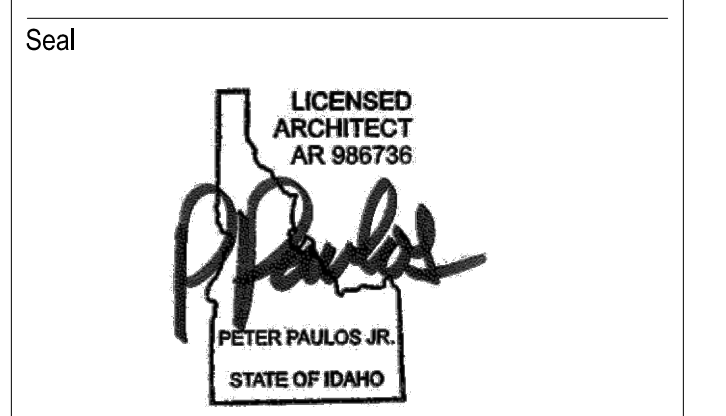
38 Taunton Hill Road
Newtown, Connecticut 06470
203-426-6500 tel. 203-426-6503 fax
ph-archs.com



Project Team:
Architect and Planner:
P H Architects, LLC
38 Taunton Hill Road
Newtown, Connecticut 06470
(203) 426-6500 tel.
(203) 426-6503 fax

Civil Engineer:
Galena Engineering, Inc.
317 North River Street
Halley, Utah 83333
(208) 788-1705 tel.

Landscape Architect:
Eggers Associates, Landscape Architecture
560 North Second Avenue
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(208) 725-0988 tel.
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Revisions		
No.	Date	Issue
2	2021/01/03	PROJECT NARRATIVE
3	2021/03/11	REVIEW RESPONSE

CONSTRUCTION MANAGEMENT PLAN

Date: 2021/02/23 Project No.: 20-001
Scale: 1/16"=1'-0" CAD File Name: base-CM diagram
Design: sbz Checked:
Sheet No.:

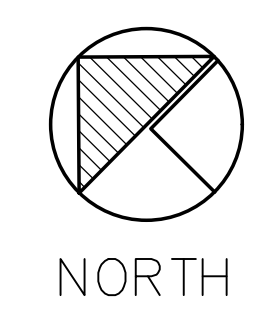
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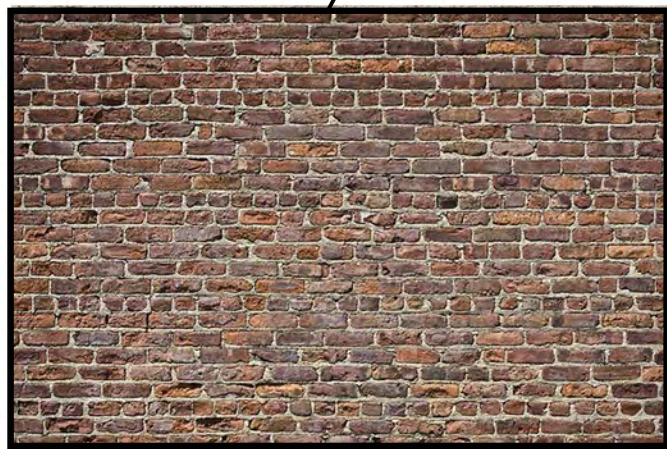




HORIZONTAL THERMORY WOOD CLADDING
(OR APPROVED ALTERNATE)



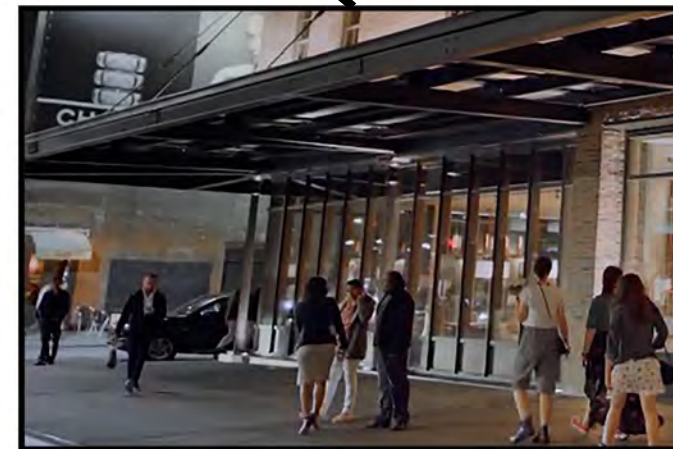
DARK BRONZE WINDOW



DISTRESSED BRICK VENEER



MATTE DARK BRONZE PAINTED METAL FACADE



MATTE DARK BRONZE PAINTED METAL CANOPY



DARK BRONZE OVERHEAD DOOR

MATERIAL & COLOR SAMPLE BOARD
SCALE: NOT TO SCALE
December 22, 2021
Revised: March 11, 2022

PH
ARCHITECTS
38 TAUNTON HILL ROAD NEWTOWN, CT 06470
PH-ARCHS.COM

MIXED USE DEVELOPMENT
4TH & MAIN ST.
KETCHUM, IDAHO

MIXED USE DEVELOPMENT

4TH & MAIN ST.
KETCHUM, BLAINE COUNTY
IDAHO 83340

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P|H
ARCHITECTS

38 Taunton Hill Road
Newtown, Connecticut 06470
203-426-6500 tel. 203-426-6503 fax
ph-archs.com

Site Plan



Project Team:

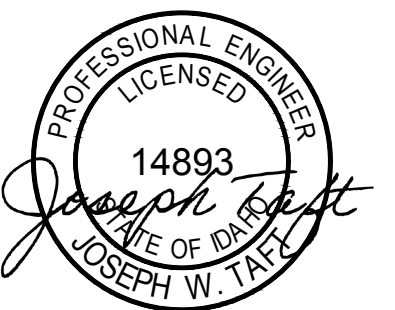
Architect and Planner:
P|H Architects, LLC
38 Taunton Hill Road
Newtown, Connecticut 06470
(203) 426-6500 tel.
(203) 426-6503 fax

Civil Engineer:
Galena Engineering, Inc.
517 North River Street
Hayley, Idaho 83333
(208) 725-0988 tel.
(208) 725-0972 fax

Landscape Architect
Eggers Associates, Landscape Architecture
560 North Second Avenue
Ketchum, Idaho 83340
(208) 725-0988 tel.
(208) 725-0972 fax

Electrical Engineer:
Taft Engineering, LLC
8610 South Sandy Parkway, Suite #200
Sandy, Utah 84070
(801) 568-8012 tel.
www.tafteng.com

Seal



Revisions

No.	Date	Issue
1	04-09-2022	PRE-APPLICATION COMMENTS

ELECTRICAL FIRST FLOOR SITE PLAN

Date: 04-09-2022 Project No.: 01-0082-2021
Scale: SEE PLAN CAD File Name:
Design: JWT Checked: JWT
Sheet No.:

E101

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ELECTRICAL DEVICE SYMBOL SCHEDULE

SYMBOL	DESCRIPTION
SWITCHES	
	SINGLE POLE SWITCH
	TWO POLE SWITCH
	THREE WAY SWITCH
	FOUR WAY SWITCH
	DIMMER SWITCH (PROVIDE DIMMER COMPATIBLE WITH LIGHT(S) BEING CONTROLLED)
	DIMMER THREE WAY SWITCH (PROVIDE DIMMER COMPATIBLE WITH LIGHT(S) BEING CONTROLLED)
	MASTER OVERRIDE SWITCH
	ELECTRIC TIMER SWITCH
	SWITCH WITH RED PILOT LIGHT IN HANDLE
	MANUAL MOTOR STARTER WITH HEATER ELEMENTS
	SWITCH WITH KEYPED LOCK OPERATION
	SWITCH WITH JANITORIAL KEY LOCK OPERATION
	WALL MOUNTED OCCUPANCY SENSOR SWITCH (DUAL TECHNOLOGY)
	WALL MOUNTED VACANCY SENSOR SWITCH (DUAL TECHNOLOGY)
	CEILING MOUNTED OCCUPANCY SENSOR (DUAL TECHNOLOGY)
	CEILING MOUNTED VACANCY SENSOR (DUAL TECHNOLOGY)
	DAYLIGHT SENSOR (CLOSED LOOP)
	POWER PACK FOR OCCUPANCY / VACANCY / DAYLIGHT SENSOR (MOUNTED IN ACCESSIBLE CEILING)
	PROGRAMMABLE LIGHTING ROOM CONTROLLER (MOUNTED IN ACCESSIBLE CEILING)
	PHOTOCCELL SENSOR
POWER RECEPTACLES & DEVICES	
	SINGLE RECEPTACLE
	DUPLEX RECEPTACLE
	RECEPTACLE MOUNTED ABOVE COUNTER (COORDINATE WITH ARCHITECTURAL DRAWINGS)
	HALF SWITCH RECEPTACLE (LABEL ON FACE PLATE FOR EACH OUTLET)
	DOUBLE DUPLEX RECEPTACLE
	ELECTRIC WATER COOLER GFCI RECEPTACLE (COORDINATE WITH PLUMBING CONTRACTOR)
	GROUND FAULT CURRENT INTERRUPTER DUPLEX RECEPTACLE
	GROUND FAULT CURRENT INTERRUPTER DUPLEX RECEPTACLE IN WEATHER PROOF ENCLOSURE
	ISOLATED GROUND DUPLEX RECEPTACLE
	SPECIAL PURPOSE OUTLET (TYPE SPECIFIED IN CD)
	SPECIAL PURPOSE OUTLET (TYPE SPECIFIED IN CD)
	POWER RECEPTACLE LOCATED IN FLOOR (TYPE SPECIFIED IN CD)
	POWER RECEPTACLE LOCATED IN CEILING
	WALL FURNITURE CONNECTION (USE SEALTIGHT FROM WALL TO FURNITURE)
	FLOOR FURNITURE CONNECTION (USE SEALTIGHT TO FURNITURE, TYPE SPECIFIED IN CD)
	CEILING FURNITURE CONNECTION (POLE PROVIDED BY FURNITURE VENDOR UNO)
TELECOMMUNICATION DEVICES	
	VOICE OUTLET (# INDICATES THE NUMBER OF CAT6 CABLES, MINIMUM OF 1)
	DATA OUTLET (# INDICATES THE NUMBER OF CAT6 CABLES, MINIMUM OF 1)
	VOICE & DATA OUTLET (#/# INDICATES THE NUMBER OF CAT6 CABLES FOR EACH, MINIMUM OF 1/1)
	COAX OUTLET (# INDICATES THE NUMBER OF RG6 CABLES, MINIMUM OF 1)
	SPECIAL OUTLET (TYPE SPECIFIED IN CONSTRUCTION DOCUMENTS)
	TELECOMMUNICATION OUTLET LOCATED IN FLOOR (TYPE SPECIFIED IN CD)
	TELECOMMUNICATION OUTLET LOCATED IN CEILING
	WALL FURNITURE CONNECTION (USE SEALTIGHT FROM WALL TO FURNITURE)
	FLOOR FURNITURE CONNECTION (USE SEALTIGHT TO FURNITURE, TYPE SPECIFIED IN CD)
	CEILING FURNITURE CONNECTION (POLE PROVIDED BY FURNITURE VENDOR UNO)

ELECTRICAL FIRE ALARM SYMBOL SCHEDULE

SYMBOL	DESCRIPTION
PANELS	
	FIRE ALARM CONTROL PANEL
	FIRE ALARM REMOTE DISPLAY
	FIRE ALARM REMOTE TERMINAL
	FIRE ALARM NOTIFICATION POWER SUPPLY
	FIRE ALARM AMPLIFIER POWER SUPPLY
ADDRESSABLE MODULES	
	FIRE ALARM MANUAL PULL STATION
	FIRE ALARM MONITOR MODULE
	FIRE ALARM RELAY MODULE
	FIRE ALARM CONTROL POINT MODULE
	FIRE ALARM CONVENTIONAL ZONE MODULE
	FIRE ALARM LINE ISOLATION MODULE
	FIRE ALARM SMOKE DETECTOR
	FIRE ALARM HEAT DETECTOR
	FIRE ALARM DUCT DETECTOR
NOTIFICATION DEVICES	
	FIRE ALARM BELL
	FIRE ALARM HORN
	FIRE ALARM STROBE
	FIRE ALARM HORN STROBE
FIRE SPRINKLER DEVICES (F.&I.B.O.)	
	FIRE SPRINKLER FLOW SWITCH
	FIRE SPRINKLER TAMPER SWITCH
	FIRE SPRINKLER PRESSURE SWITCH

ELECTRICAL ANNOTATION SYMBOL SCHEDULE

SYMBOL	DESCRIPTION
RACEWAY AND CONDUCTORS	
	ONE CIRCUIT, 2#12 THWN (CU), 1#12 THWN (CU) GND
	TWO CIRCUITS (SHARED NEUTRAL), 3#12 THWN (CU), 1#12 THWN (CU) GND
	THREE CIRCUITS (SHARED NEUTRAL), 4#12 THWN (CU), 1#12 THWN (CU) GND
	THREE CIRCUITS (SHARED NEUTRAL), 4#10 THWN (CU), 1#10 THWN (CU) GND
	ONE CIRCUIT, 2#12 THWN (CU), 1#12 THWN (CU) GROUND, 1#12 THWN (CU) ISO GND
	TWO CIRCUITS (DEDICATE NEUTRALS), 4#12 THWN (CU), 1#12 THWN (CU) GND
	THREE CIRCUITS (DEDICATE NEUTRALS), 6#12 THWN (CU), 1#12 THWN (CU) GND
	ELECTRICAL JUNCTION BOX (SIZE PER NFPA 70)
	RACEWAY AND/OR CONDUCTORS CONCEALED BELOW FLOOR OR BELOW FINISHED GRADE
	FLEXIBLE CONDUIT, STEEL OR SEALTIGHT
ABBREVIATIONS	
F.B.O.	FURNISHED BY OTHERS
F.&I.B.O.	FURNISHED & INSTALLED BY OTHERS
F.V.M.H.	FIELD VERIFY MOUNTING HEIGHT
A/R	AS REQUIRED
N/A	NOT APPLICABLE OR NOT AVAILABLE
W	MOUNT 48" FROM THE FINISHED FLOOR TO THE CENTER OF DEVICE
C	MOUNT COUNTER HEIGHT (FIELD VERIFY MOUNTING HEIGHT)
CD	CONSTRUCTION DOCUMENT(S)
CU	COPPER
AL	ALUMINUM
WP	WEATHERPROOF
NL	NIGHTLIGHT
E	EMERGENCY
ISO	ISOLATED
GND	GROUND
UNO	UNLESS NOTED OTHERWISE
(D)	TO BE REMOVED OR DEMOLISHED
(E)	TO REMAIN OR EXISTING
(M)	TO BE MOVED OR RELOCATED
(N)	NEW
(V)	TO BE PROVIDED BY VENDOR
(O)	TO BE PROVIDED BY OWNER

ELECTRICAL LIGHTING SYMBOL SCHEDULE

SYMBOL	DESCRIPTION
LUMINAIRES (SEE LIGHT FIXTURE SCHEDULE FOR ADDITIONAL DETAILS)	
	LUMINAIRES (APPROXIMATE SHAPE AND SIZE FOR CLARITY)
	STRIP, NEON AND FIBER OPTIC LUMINAIRES
	EXIT SIGN (NUMBER OF FACES (SHADES) AND ARROWS) AS SHOWN
	EMERGENCY LIGHT WITH BATTERY PACK
LUMINAIRE MOUNTING	
	RECESSED LUMINAIRES
	SUSPENDED LUMINAIRES
	WALL MOUNTED LUMINAIRES
	POLE TOP MOUNTED LUMINAIRES (ROUND OR SQUARE POLE)
	POLE WITH ARM MOUNTED LUMINAIRES (ROUND OR SQUARE POLE)
	GROUND OR FLOOR MOUNTED LUMINAIRES
	TRACK MOUNTED (LENGTH DRAWN TO SCALE, LUMINAIRE TYPES AND QUANTITIES AS SHOWN)
LUMINAIRE OPTIC ORIENTATION	
	HORIZONTAL ZERO LINE
	PRIMARY LUMINAIRE ORIENTATION
	DIRECTIONAL AIMING LINE (FROM PHOTOMETRIC CENTER TO TARGET)
LUMINAIRE ANNOTATION	
	LUMINAIRES THAT PROVIDE EMERGENCY ILLUMINATION
	LUMINAIRES THAT PROVIDE EMERGENCY ILLUMINATION
	LUMINAIRES THAT PROVIDE NIGHT LIGHT ILLUMINATION
	MOUNTING HEIGHT
	LUMINAIRE TAG (# INDICATES THE NUMBER OF LUMINAIRES IN THE AREA, ESTIMATE ONLY)
	LOWER CASE SUBSCRIPT INDICATES SWITCH IDENTIFICATION
	UPPER CASE SUBSCRIPT INDICATES CIRCUIT IDENTIFICATION

ELECTRICAL MOTOR AND EQUIPMENT HOOK-UP SYMBOL SCHEDULE

SYMBOL	DESCRIPTION
MOTOR AND EQUIPMENT HOOK-UP	
	ELECTRIC MOTOR HOOK-UP (FURNISHED AND INSTALLED BY OTHERS UNLESS NOTED OTHERWISE)
	ELECTRIC EQUIPMENT HOOK-UP (JUNCTION BOX WITH FLEXIBLE CONDUIT, STEEL OR SEALTIGHT)
	DISCONNECT SWITCH (NON-FUSIBLE) (AF = FRAME SIZE)
	DISCONNECT SWITCH (FUSIBLE) (AF = FRAME SIZE, AT = TRIP SETTING)
	DISCONNECT SWITCH (CIRCUIT BREAKER) (AF = FRAME SIZE, AT = TRIP SETTING)
	MAGNETIC STARTER (STYLE = FVNR, FVR, AFD, ETC)
	COMBINATION STARTER
	CONTACTOR - SELF-ENCLOSED

ELECTRICAL GENERAL NOTES

- ALL WORK SHALL COMPLY WITH ALL LOCALLY ADOPTED BUILDING CODES AND REQUIREMENTS OF THE AUTHORITIES HAVING JURISDICTION.
- THE CONTRACTOR SHALL REVIEW ALL CONTRACT DOCUMENTS, SHOP DRAWINGS, SUBMITTALS, ETC. PRIOR TO ROUGH-IN AND SHALL IMMEDIATELY NOTIFY THE OWNER, ARCHITECT AND ENGINEER OF ANY DISCREPANCIES.
- THE CONTRACTOR SHALL BE EXPERIENCED IN THE TYPE OF CONSTRUCTION AND WITH THE MATERIALS AND SYSTEMS SPECIFIED.
- THE CONTRACTOR SHALL BE FAMILIAR WITH THE EXISTING SITE CONDITIONS.
- ALL ALTERNATES MUST BE APPROVED BY ENGINEER PRIOR TO BID DATE INCLUDING ANY EQUIPMENT THAT HAS BEEN NOTED WITH A "OR EQUIVALENT" STATEMENT. PROPOSED ALTERNATES MUST BE SUBMITTED TO ENGINEER AT LEAST ONE WEEK PRIOR TO BID DATE TO BE CONSIDERED.
- THE CONTRACTOR SHALL COORDINATE ALL UTILITIES PRIOR TO ROUGH-IN AND SHALL IMMEDIATELY NOTIFY THE OWNER, ARCHITECT AND ENGINEER OF ANY DISCREPANCIES.
- THE CONTRACTOR SHALL PROVIDE ALL UTILITY VAULTS & PADS AS REQUIRED BY THE UTILITY COMPANY UNLESS NOTED OTHERWISE.
- ALL MV SWITCHGEAR, SECTIONALIZING CABINETS AND MV TO LV STEP DOWN TRANSFORMERS SHALL BE PROVIDED AND INSTALLED BY THE UTILITY COMPANY UNLESS NOTED OTHERWISE.
- ALL MV CABLE SHALL BE PROVIDED AND INSTALLED BY THE UTILITY COMPANY UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL VERIFY ALL EQUIPMENT DIMENSIONS AND LOCATIONS PRIOR TO ROUGH-IN AND SHALL IMMEDIATELY NOTIFY THE OWNER, ARCHITECT AND ENGINEER OF ANY DISCREPANCIES. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE ENGINEER FOR APPROVAL FOR ALL ELECTRICAL, TELECOMMUNICATION AND OTHER ROOMS AS NOTED, SHOWING THE LAYOUT OF THE ELECTRICAL, TELECOMMUNICATION AND/OR SYSTEMS EQUIPMENT USING ACTUAL EQUIPMENT DIMENSIONS AND REQUIRED CLEARANCES FOR PROPER OPERATION AND MAINTENANCE OF THE EQUIPMENT.
- THE CONTRACTOR SHALL USE COPPER CONDUCTORS UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL USE A PVC SCHEDULE 40 CONDUIT RACEWAY SYSTEM WITH RIDGED STEEL ELBOWS FOR ALL UNDERGROUND RACEWAY. LARGE RADIUS ELBOWS WILL BE REQUIRED ON ALL CONDUITS 1" AND LARGER. LARGE RADIUS FIBERGLASS ELBOWS ARE ACCEPTABLE ON UTILITY UNDERGROUND CONDUITS WHERE APPROVED BY THE LOCAL UTILITY. THE CONTRACTOR SHALL USE A MINIMUM OF 1" CONDUIT FOR ALL UNDERGROUND RACEWAY EXTENDING BEYOND THE ENVELOP OF THE BUILDING UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL USE A EMT CONDUIT RACEWAY SYSTEM IN ALL INTERIOR EXPOSED AREAS AND ON THE HOME RUNS IN CONCEALED AREAS. THE CONTRACTOR SHALL USE A MINIMUM SIZE OF 0.75" CONDUIT UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL BE PERMITTED TO USE MC CABLE AFTER THE FIRST BOX IN CONCEALED AREAS. ALSO IN EXPOSED AREAS THE CONTRACTOR SHALL BE PERMITTED TO USE MC CABLE FOR LIGHT FIXTURE WHIPS WHERE THE MC CABLE DOES NOT EXCEED 6'-0", UNLESS NOTED OTHERWISE.
- IN WAREHOUSE AREAS THE CONTRACTOR CAN USE MC CABLE ABOVE 15'-0" UNLESS NOTED OTHERWISE. RUNS MUST BE MADE SQUARE TO THE BUILDING AND INSTALLED IN A NEAT AND WORKMAN LIKE MANNER.
- THE CONTRACTOR SHALL BE PERMITTED TO USE LIQUIDTIGHT FLEXIBLE METAL CONDUIT IN EXPOSED AREAS FOR FURNITURE OR MOTOR HOOK-UP WHERE THE LIQUIDTIGHT FLEXIBLE METAL CONDUIT DOES NOT EXCEED 6'-0" UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL BE PERMITTED TO USE FLEXIBLE METAL CONDUIT IN EXPOSED AREAS FOR MOTOR AND TRANSFORMER HOOK-UP WHERE THE FLEXIBLE METAL CONDUIT DOES NOT EXCEED 6'-0" UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL SEAL ALL RACEWAY PENETRATIONS OF THE BUILDING EXTERIOR WITH AN APPROVED METHOD FOR THE TYPE OF MATERIAL BEING PENETRATED AND MAINTAIN THE FIRE RATING.
- THE CONTRACTOR SHALL MAINTAIN ALL FLOOR, WALL AND CEILING FIRE RATINGS. BOXES, RACEWAY, DEVICES, LIGHT FIXTURES, ETC. THAT PENETRATE FIRE RATED FLOORS, WALLS AND CEILING SHALL BE SEALED WITH AN APPROVED LISTED MATERIAL TO MAINTAIN THE FIRE RATING OF THE FLOORS, WALLS AND CEILING.
- THE CONTRACTOR SHALL USE THE FOLLOWING COLOR CODING SCHEME FOR ALL CONDUCTORS:
AC SYSTEM PHASE A PHASE B PHASE C NEUTRAL GROUND**
480/277V, 3ø, 4W BROWN ORANGE YELLOW GRAY GREEN
480V, 3ø, 3W BROWN ORANGE YELLOW N/A GREEN
240V, 3ø, 3W BLACK RED BLUE N/A GREEN
240/120V, 1ø, 3W BLACK RED N/A WHITE GREEN
240/120V, 3ø, 4W BLACK ORANGE* BLUE WHITE GREEN
208/120V, 3ø, 4W BLACK RED BLUE WHITE GREEN
**PHASE B SHALL BE WIRED AS THE HIGH-LEG.
***ALL ISOLATED GROUND CONDUCTORS SHALL BE GREEN WITH A YELLOW STRIPE.
- THE CONTRACTOR SHALL VERIFY ALL VOLTAGE DROP CALCULATIONS BASED ON THE ACTUAL ROUTE OF THE CONDUCTOR(S) AND IF NEEDED FURNISH AND INSTALL LARGER WIRE TO MEET THE FOLLOWING REQUIREMENTS. MAXIMUM VOLTAGE DROP ALLOWANCE ON FEEDERS IS 2%, MAXIMUM VOLTAGE DROP ON BRANCH CIRCUITS IS 3%. IF APPROVED BY THE ENGINEER A COMBINED VOLTAGE DROP OF 5% FOR THE FEEDER AND BRANCH CIRCUIT CAN BE USED.
- THE CONTRACTOR SHALL PROVIDE SEDGMC BRACING FOR ALL ELECTRICAL EQUIPMENT, RACEWAYS, CABLE TRAYS, BUSDUCTS, LIGHT FIXTURES, ETC. PER THE REQUIREMENTS OF THE BUILDING CODE. AT A MINIMUM, LIGHT FIXTURES SHALL BE SUPPORTED WITH AT LEAST TWO (2) #12 AWG STEEL WIRE FROM OPPOSITE CORNERS OF THE LIGHT FIXTURE AND ALL ELECTRICAL DISTRIBUTION EQUIPMENT MUST BE SECURED PER THE MANUFACTURERS RECOMMENDATIONS.
- THE CONTRACTOR SHALL LABEL ALL ELECTRICAL DISTRIBUTION EQUIPMENT INCLUDING BUT NOT LIMITED TO SWITCHGEAR, SWITCHBOARDS, PANELBOARDS, TRANSFORMERS, SAFETY SWITCHES, AUTOMATIC TRANSFER SWITCHES (ATS), MANUAL TRANSFER SWITCHES (MTS), UNINTERRUPTIBLE POWER SUPPLY (UPS), ETC. BY A MEANS THAT IS SUITABLE FOR THE ENVIRONMENT. HAND WRITTEN LABELS ARE NOT ACCEPTABLE.
- THE CONTRACTOR SHALL LABEL ALL DEVICES INCLUDING BUT NOT LIMITED TO SWITCHES, OUTLETS, FLOOR BOXES, FURNITURE CONNECTIONS, ETC. WITH THE NAMES OF THE SUPPLYING CIRCUIT(S) ON THE FACE OF THE DEVICE BY A MEANS THAT IS SUITABLE FOR THE ENVIRONMENT. HAND WRITTEN LABELS ARE NOT ACCEPTABLE.
- THE CONTRACTOR SHALL LABEL ALL JUNCTION BOXES WITH THE NAME OF THE CIRCUIT(S) BY A MEANS THAT IS SUITABLE FOR THE ENVIRONMENT. IF HAND WRITTEN LABELS ARE USED ALL HAND WRITING MUST BE LEGIBLE OTHERWISE HAND WRITTEN LABELS ARE NOT ACCEPTABLE.
- THE CONTRACTOR SHALL PROVIDE A CLEAN WORK AREA THROUGHOUT CONSTRUCTION, REMOVING ALL PACKAGING AND WASTE DUE TO THE INSTALLATION. THE CONTRACTOR SHALL ALSO CLEAN ALL ELECTRICAL EQUIPMENT (INTERNALLY AND EXTERNALLY), LIGHT FIXTURES, DEVICES, ETC. PRIOR TO SUBSTANTIAL COMPLETION.
- THE CONTRACTOR SHALL PROVIDE TO THE ENGINEER COMPLETE RECORD OF ALL FIELD CHANGES NOT DOCUMENTED BY RF, ADDENDUM, ETC. TO BE INCLUDED IN THE OWNERS RECORD DOCUMENTS.

DIGLINE, INC.

- THE CONTRACTOR SHALL CONTACT ALL INVOLVED PROPERTY OWNERS, UTILITIES AND OTHER CONTRACTORS INVOLVED WITH THE SITE BEFORE DIGGING AND SHALL OBEY STATE "CALL BEFORE YOU DIG" LAWS.
- REGULAR NOTICE:
THE EXCAVATOR MUST CALL DIGLINE AT LEAST TWO (2) BUSINESS DAYS AND NOT MORE THAN FOURTEEN (14) CALENDAR DAYS PRIOR TO DOING ANY EXCAVATION WORK. THE REQUEST IS VALID FOR FOURTEEN (14) CALENDAR DAYS.
- UPDATE NOTICE:
IF EXCAVATION ACTIVITY WILL CONTINUE BEYOND THE FOURTEEN (14) DAY PRIOR THE EXCAVATOR SHALL UPDATE THE REQUEST AT LEAST TWO (2) BUSINESS DAYS BUT NO SOONER THAN SIX (6) CALENDAR DAYS BEFORE THE ORIGINAL REQUEST'S EXPIRATION DATE. THE EXCAVATOR SHALL CONTINUE TO GIVE NOTICE IN LIKE MANNER FOR EACH FOURTEEN (14) CALENDAR DAY PERIOD IN WHICH EXCAVATION ACTIVITIES CONTINUE.
- IF ANY MEMBER UTILITIES HAS FAILED TO NOTIFY OR LOCATE THEIR FACILITIES THE EXCAVATOR SHALL CONTACT DIGLINE AND FILE A SECOND NOTICE.
- ASK FOR STAKES OR FLAG MARKINGS IN LIEU OF PAINT.
- DO NOT DIG WITH IN TWO (2) FEET OF MARKINGS UNLESS THE UTILITY COMPANY IS PRESENT.
- DIGLINE CAN BE REACHED AT (800) 342-1585 (TOLL-FREE)
- ADDITIONAL INFORMATION CAN BE FOUND AT www.digline.com.

MIXED USE DEVELOPMENT

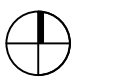
4TH & MAIN ST.
KETCHUM, BLAINE COUNTY
IDAHO 83340

Prepared For: SOLSTICE DEVELOPMENT
4686 HIGHLAND DR. #224
MILLCREEK, UT 84117

PH
ARCHITECTS

38 Taunton Hill Road
Newtown, Connecticut 06470
203-426-6500 tel. 203-426-6503 fax
ph-archs.com

Site Plan



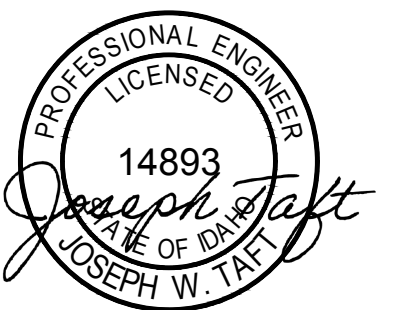
Project Team:

Architect and Planner:
PH Architects, LLC
38 Taunton Hill Road
Newtown, Connecticut 06470
(203) 426-6500 tel.
(203) 426-6503 fax

Civil Engineer:
Galena Engineering, Inc.
317 North River Street
Hayley, Idaho 83333
(208) 725-0988 tel.
(208) 725-0972 fax

Landscape Architect:
Eggers Associates, Landscape Architecture
560 North Second Avenue
Ketchum, Idaho 83340
(208) 725-0988 tel.
(208) 725-0972 fax
Electrical Engineer:
Taft Engineering, LLC
8610 South Sandy Parkway, Suite #200
Sandy, Utah 84070
(801) 586-8012 tel.
www.tafteng.com

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Revisions

No.	Date	Issue
1	04-09-2022	PRE-APPLICATION COMMENTS

ELECTRICAL
FIRST FLOOR
SITE PLAN

Date: 04-09-2022 Project No.: 01-0082-2021
Scale: SEE PLAN CAD File Name:
Design: JWT Checked: JWT
Sheet No.:

E101

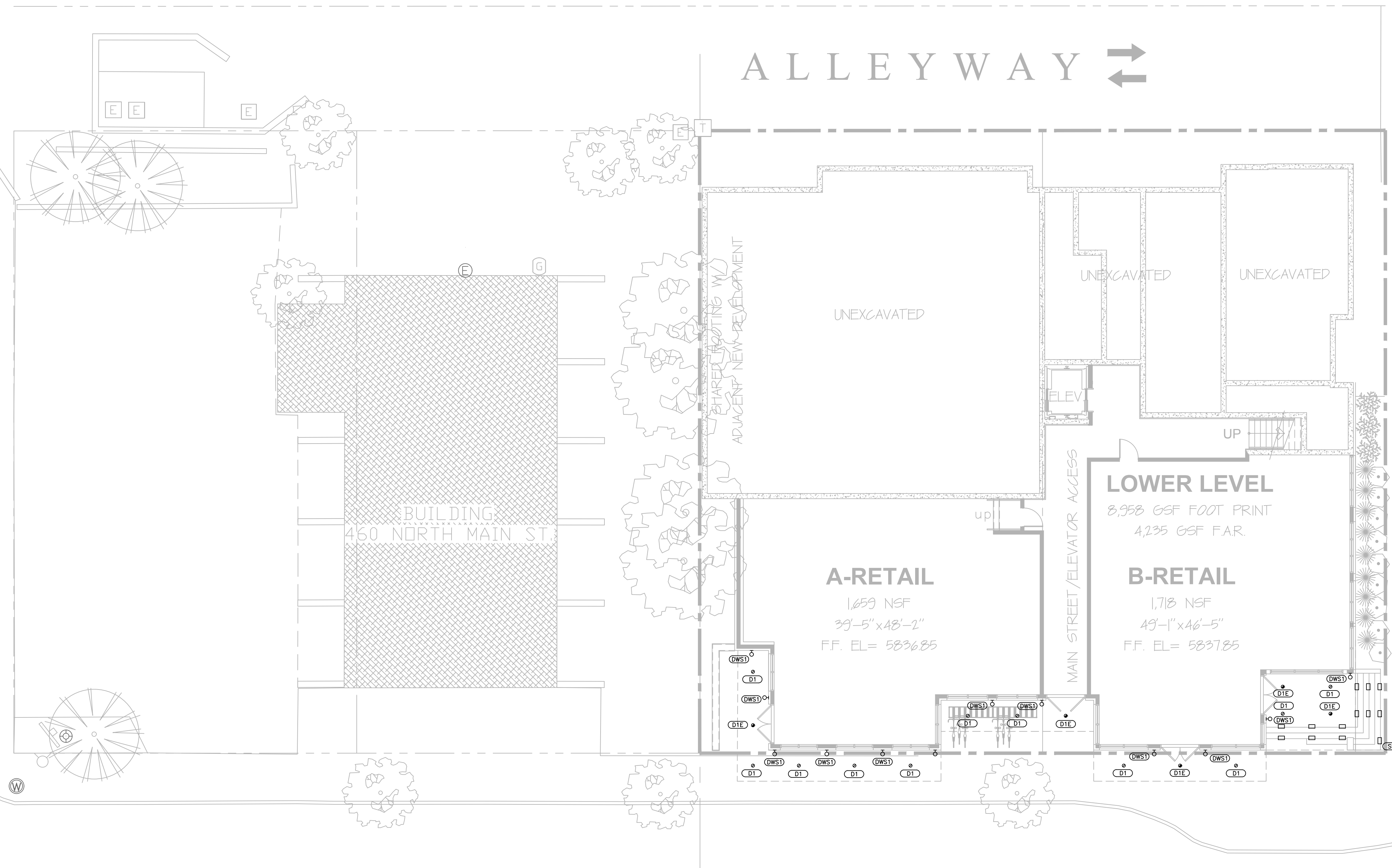
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EAST FIFTH STREET

ALLEYWAY

EAST FOURTH STREET

NORTH MAIN STREET



BUILDING
460 NORTH MAIN ST.

A-RETAIL

1,659 NSF
39'-5" x 48'-2"
F.F. EL = 5836.85

LOWER LEVEL

8,958 GSF FOOT PRINT
4,235 GSF F.A.R.

B-RETAIL

1,718 NSF
49'-1" x 46'-5"
F.F. EL = 5837.85

1 ELECTRICAL FIRST FLOOR SITE PLAN
SCALE: 1" = 10'-0"

MIXED USE DEVELOPMENT

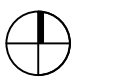
4TH & MAIN ST.
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Prepared For: SOLSTICE DEVELOPMENT
4686 HIGHLAND DR. #224
MILLCREEK, UT 84117

PH
ARCHITECTS

38 Taunton Hill Road
Newtown, Connecticut 06470
203-426-6500 tel. 203-426-6503 fax
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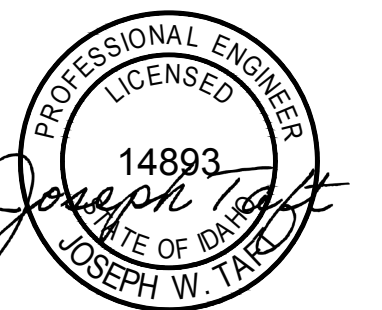
Project Team:

Architect and Planner:
P H Architects, LLC
38 Taunton Hill Road
Newtown, Connecticut 06470
(203) 426-6500 tel.
(203) 426-6503 fax

Civil Engineer:
Galena Engineering, Inc.
317 North River Street
Hayley, Idaho 83333
(208) 725-0988 tel.
(208) 725-0972 fax

Landscape Architect:
Eggers Associates, Landscape Architecture
560 North Second Avenue
Ketchum, Idaho 83340
(208) 725-0988 tel.
(208) 725-0972 fax
Electrical Engineer:
Traft Engineering, LLC
8610 South Sandy Parkway, Suite #200
Sandy, Utah 84070
(801) 586-8012 tel.
www.trafteng.com

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Revisions

No.	Date	Issue
1	04-09-2022	PRE-APPLICATION COMMENTS

ELECTRICAL
FIRST FLOOR
SITE PHOTOMETRIC PLAN

Date: 04-09-2022 Project No.: 01-0082-2021

Scale: SEE PLAN CAD File Name:

Design: JWT Checked: JWT

Sheet No.:

E101A

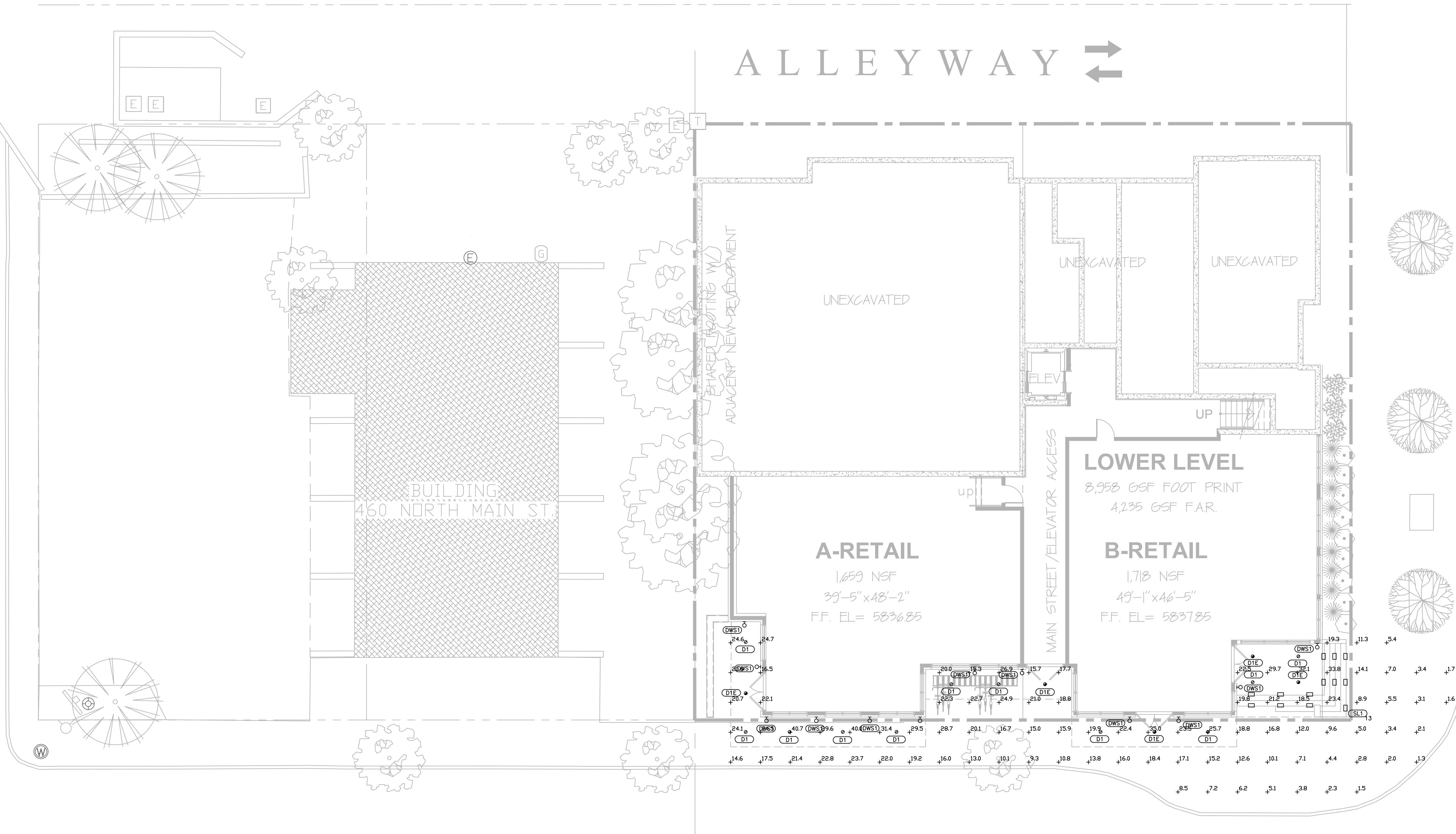
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EAST FIFTH STREET

ALLEYWAY

EAST FOURTH STREET

NORTH MAIN STREET



1 ELECTRICAL FIRST FLOOR SITE PHOTOMETRIC PLAN
SCALE: 1" = 10'-0"

**MIXED USE
DEVELOPMENT**

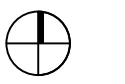
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PH
ARCHITECTS

38 Taunton Hill Road
Newtown, Connecticut 06470
203-426-6500 tel. 203-426-6503 fax
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Site Plan



Project Team:

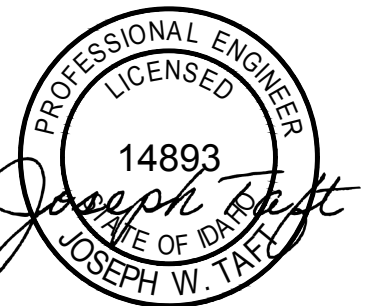
Architect and Planner:
PH Architects, LLC
38 Taunton Hill Road
Newtown, Connecticut 06470
(203) 426-6500 tel.
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Electrical Engineer:
Taft Engineering, LLC
8610 South Sandy Parkway, Suite #200
Sandy, Utah 84070
(801) 566-8012 tel.
www.tafteng.com

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Revisions

No.	Date	Issue
1	04-09-2022	PRE-APPLICATION COMMENTS

ELECTRICAL
SECOND FLOOR
SITE PLAN

Date: 04-09-2022 Project No.: 01-0082-2021
Scale: SEE PLAN CAD File Name:
Design: JWT Checked: JWT
Sheet No.:

E102

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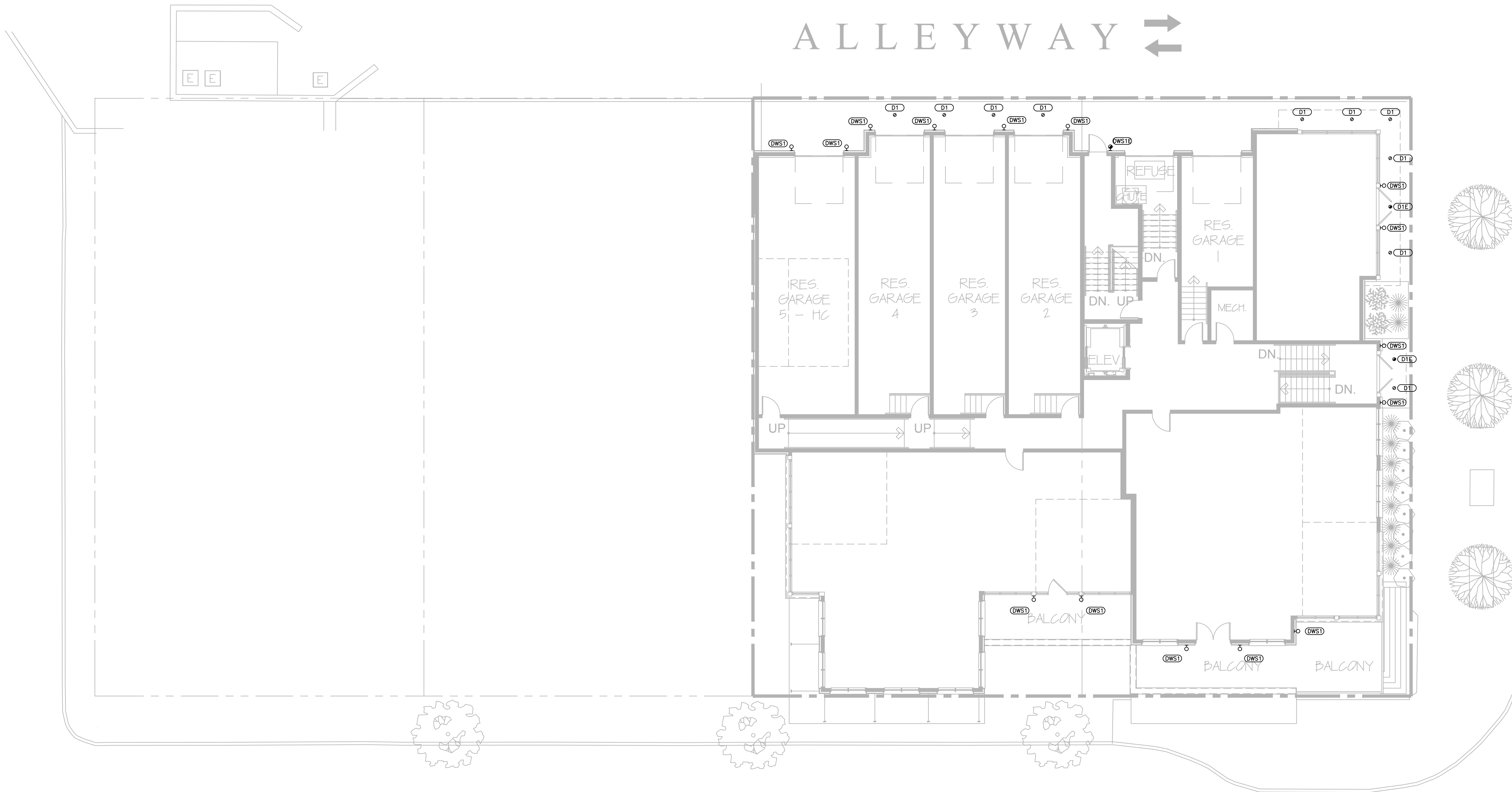
EAST FIFTH STREET

ALLEYWAY

EAST FOURTH STREET

NORTH MAIN STREET

1 ELECTRICAL SECOND FLOOR SITE PLAN
SCALE: 1" = 10'-0"



**MIXED USE
DEVELOPMENT**

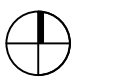
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38 Taunton Hill Road
Newtown, Connecticut 06470
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Site Plan



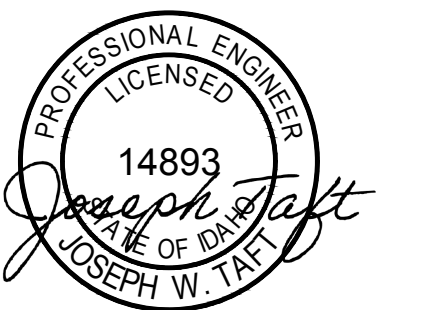
Project Team:

Architect and Planner:
PH Architects, LLC
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Revisions

No.	Date	Issue
1	04-09-2022	PRE-APPLICATION COMMENTS

ELECTRICAL
SECOND FLOOR
SITE PHOTOMETRIC PLAN

Date: 04-09-2022 Project No.: 01-0082-2021

Scale: SEE PLAN CAD File Name:

Design: JWT Checked: JWT

Sheet No.:

E102A

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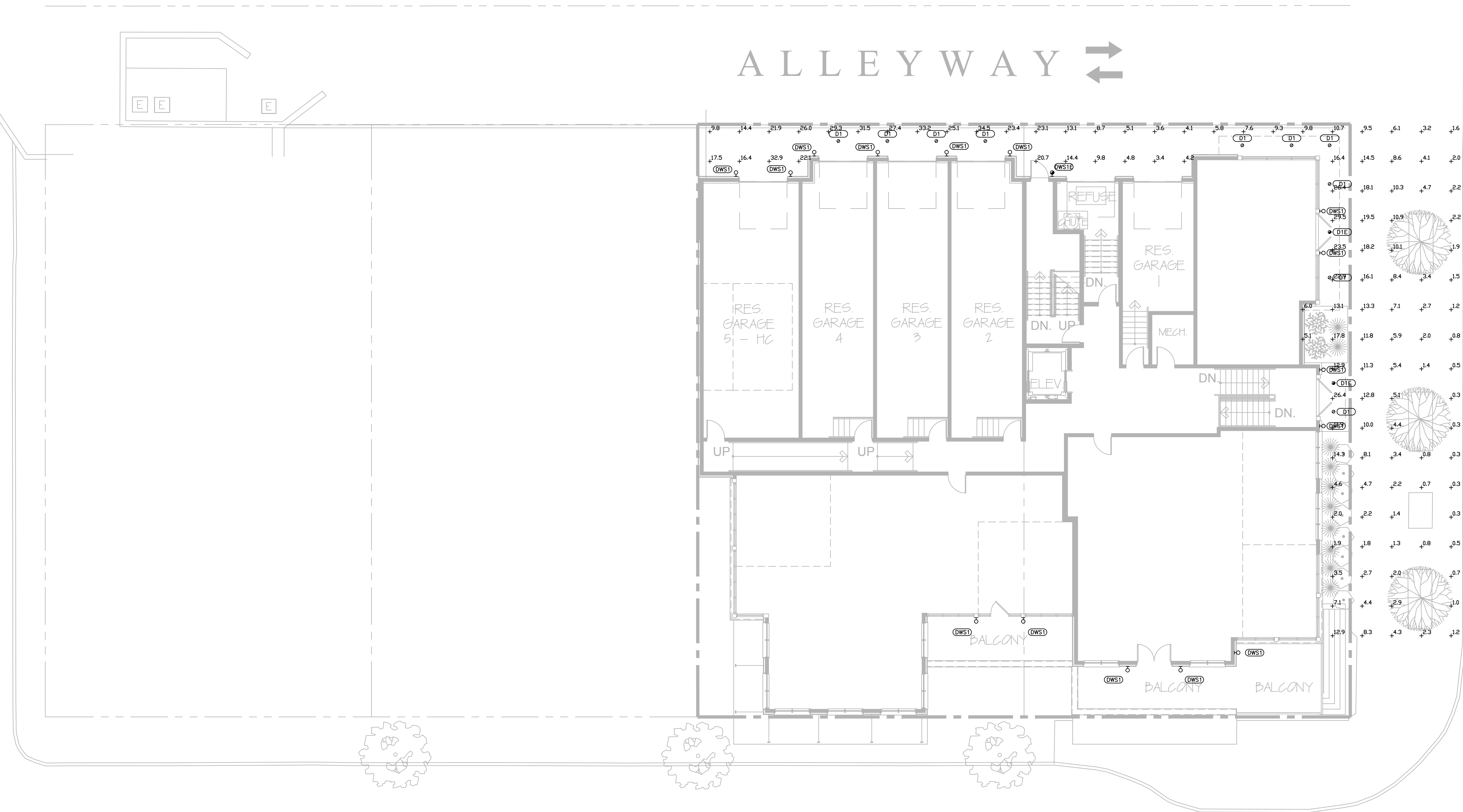
EAST FIFTH STREET

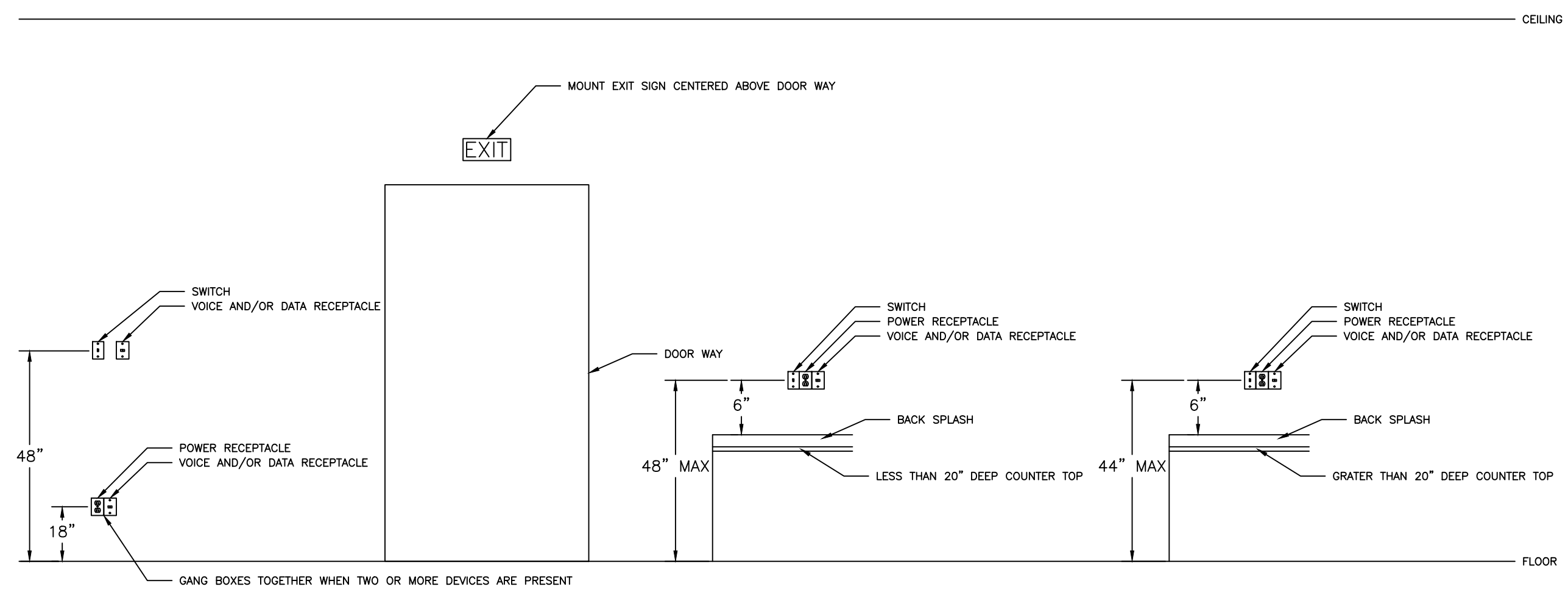
ALLEYWAY

EAST FOURTH STREET

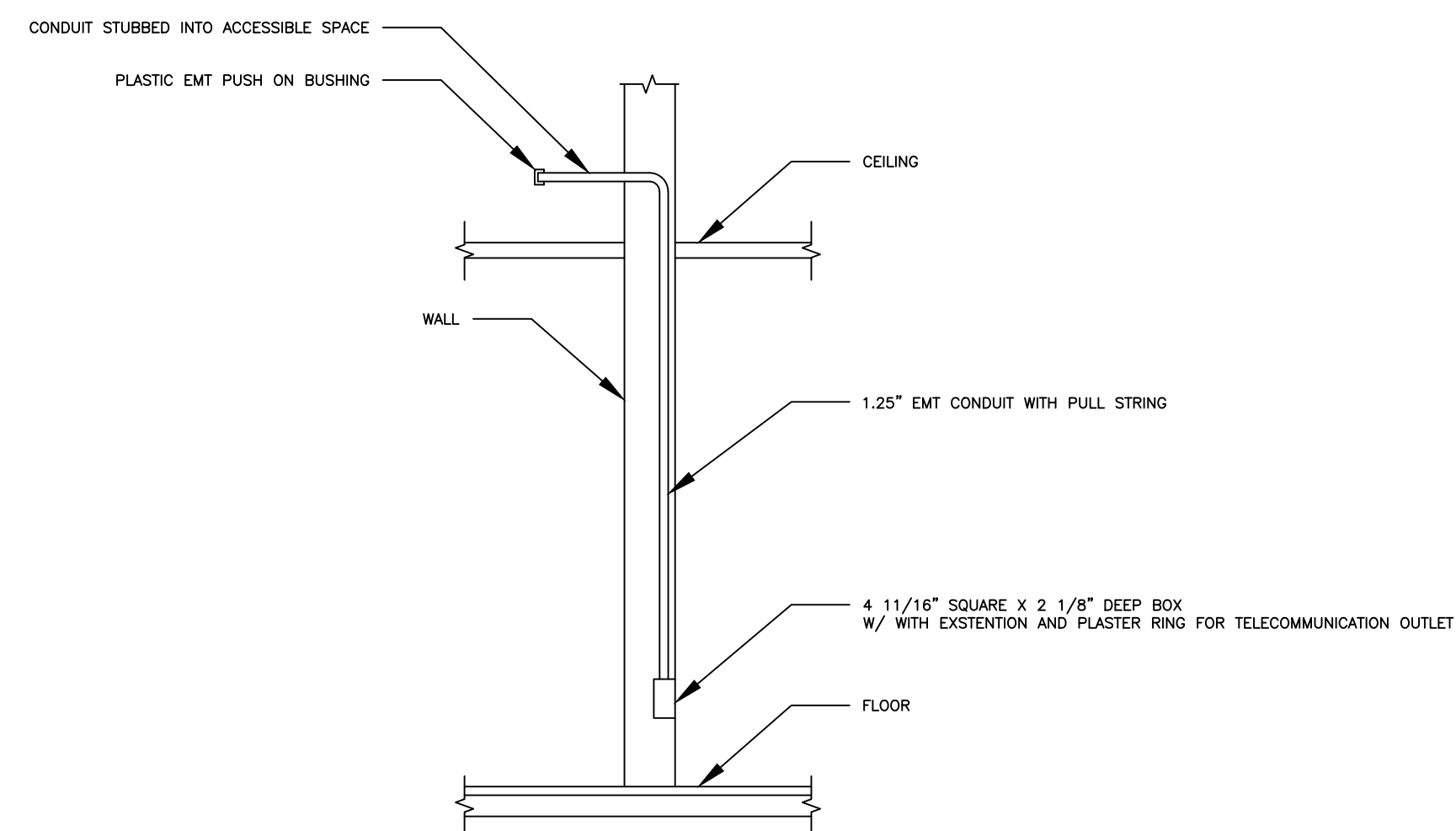
NORTH MAIN STREET

1 ELECTRICAL SECOND FLOOR SITE PHOTOMETRIC PLAN
SCALE: 1" = 10'-0"

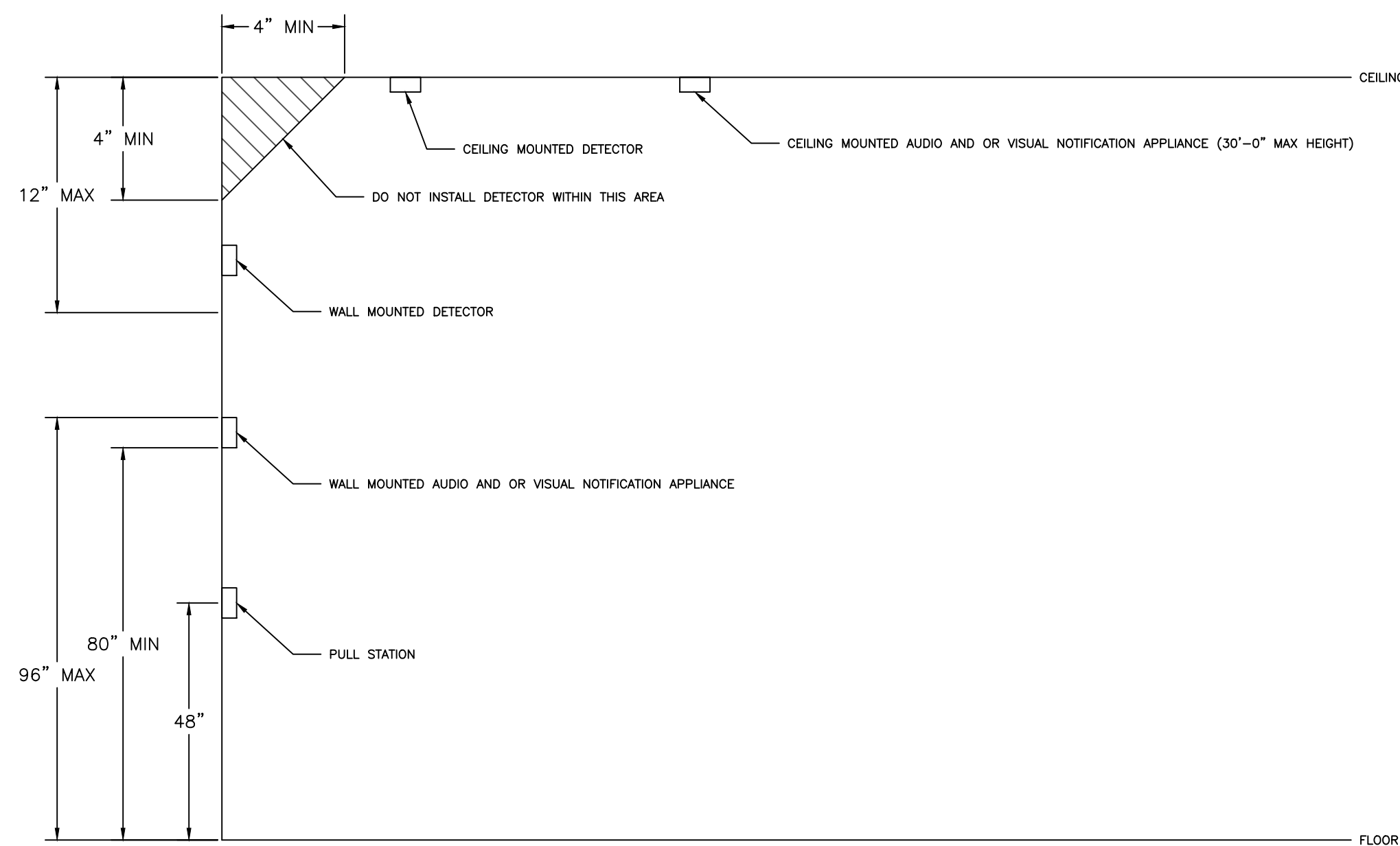




A ELECTRICAL OUTLET & SWITCH MOUNTING HEIGHTS DETAIL (TYPICAL)
SCALE: NONE



B ELECTRICAL TELECOMMUNICATION DEVICE STUB-UP DETAIL (TYPICAL)
SCALE: NONE

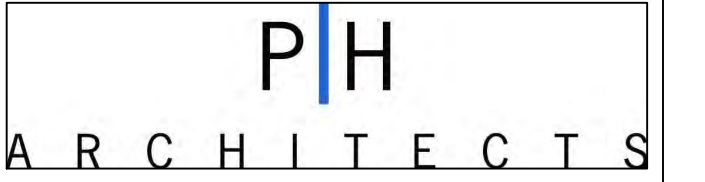


C ELECTRICAL FIRE ALARM DEVICE MOUNTING HEIGHT DETAIL (TYPICAL)
SCALE: NONE

MIXED USE DEVELOPMENT

4TH & MAIN ST.
KETCHUM, BLAINE COUNTY
IDAHO 83340

Prepared For: SOLSTICE DEVELOPMENT
4686 HIGHLAND DR. #224
MILLCREEK, UT 84117



38 Taunton Hill Road
Newtown, Connecticut 06470
203-426-6500 tel. 203-426-6503 fax
ph-archs.com

Site Plan



Project Team:

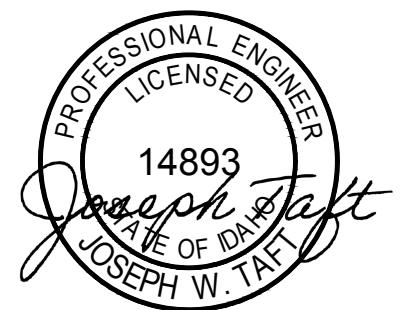
Architect and Planner:
PH Architects, LLC
38 Taunton Hill Road
Newtown, Connecticut 06470
(203) 426-6500 tel.
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Civil Engineer:
Galena Engineering, Inc.
317 North River Street
Hayley, Idaho 83333
(208) 725-0988 tel.
(208) 725-0972 fax

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Eggers Associates, Landscape Architecture
560 North Second Avenue
Ketchum, Idaho 83340
(208) 725-0988 tel.
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Electrical Engineer:
Taft Engineering, LLC
8610 South Sandy Parkway, Suite #200
Sandy, Utah 84070
(801) 586-8012 tel.
www.tafteng.com

Seal



Revisions

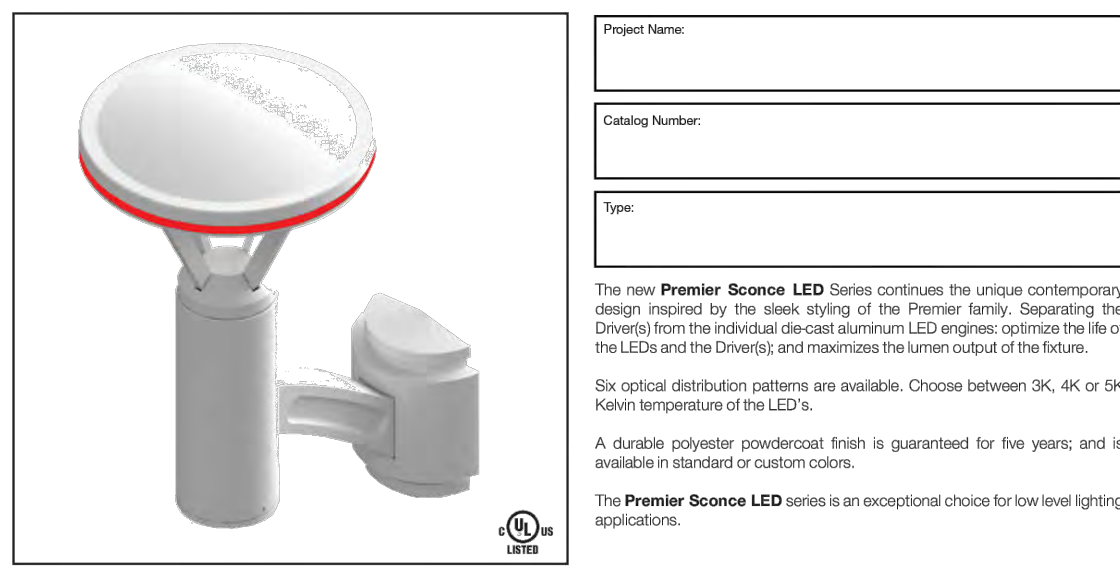
No.	Date	Issue
1	04-09-2022	PRE-APPLICATION COMMENTS

ELECTRICAL
DETAILS

Date: 04-09-2022 Project No.: 01-0082-2021
Scale: SEE PLAN CAD File Name:
Design: JWT Checked: JWT
Sheet No.:

E601

PREMIER Sconce LED Specifications



Ordering Information

MODEL	OPTICS	SOURCE	CURRENT	KELVIN	VOLTAGE	MOUNTING	FINISH	OPTIONS
PRS	T1 Type 1	20LC	1	3K	UNV	Wall Mount	GY Grey	PC-120 Button Type (Phosor)
	T2 Type 2		3	4K	8		SL Silver Metallic	PC-208 Button Type (Phosor)
	T3 Type 3		5	5000K	5		BK Black	PC-840 Button Type (Phosor)
	T4 Type 4		7	2700K	5		SBK Smooth Black	PC-277 Button Type (Phosor)
	T5 Type 5		7	2700K	5		WH White	IR-R Smooth White
	T5W Type 5 Wide		7	2700K	5		BZ Bronze	IR-B Muraled Ring Ped
							GP Graphite	IR-G Muraled Ring Ped
							CC Custom Color	LDL Secondary Lightly Diffused
								HDL Secondary High Diffused
								DIM Dimming Driver



Features & Specifications PREMIER Sconce

Housing
The Premier Sconce consists of a durable, cast aluminum housing and lens frame.

Driver Compartment
The driver housing is constructed of cast aluminum allowing for cooler operation and longer driver life. One-piece gasketing is utilized throughout the fixture for weather-tight operation.

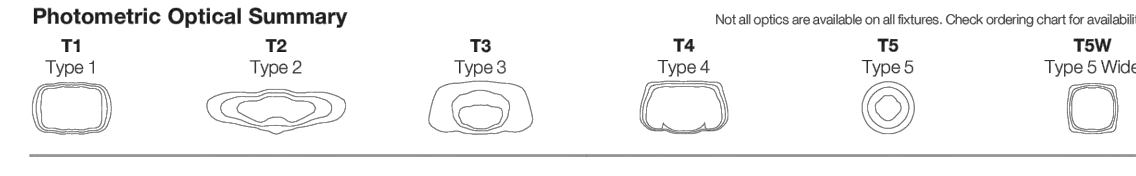
Thermal Management
The Premier Sconce Series provides excellent overall thermal management by maximizing the fixture's heat sink capabilities. This enables the Premier Sconce Series to withstand higher ambient temperatures and drive currents without degrading LED life.

Optical System
The highest lumen output LEDs are utilized in the Lusso Sconce Series. IES distribution Types 1, 2, 3, 4, 5 and DW are available. LED light assemblies come in 20 LEDs.

Quali-Guard® Finish
The finish is a Quali-Guard® textured, chemically pretreated through a multiple-stage weather, electrostatically applied, thermoset polyester powder coat finish, with a minimum of 3-5 millimeter thickness. Finish is oven-baked at 400 °F to promote maximum adhesion and finish hardness.

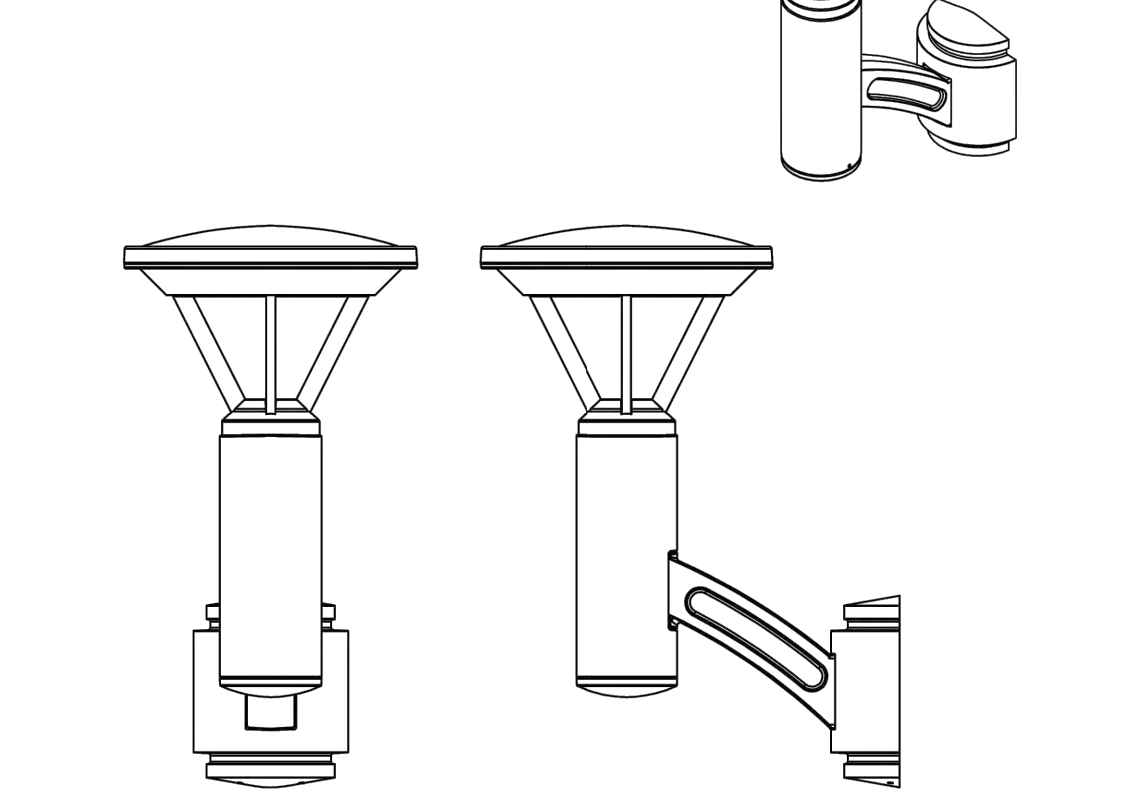


PREMIER Sconce LED Specifications



Dimensions

Width: PRS 12"
Height: PRS 23"
Depth: PRS 17.25"
Weight: PRS 30 lbs



LED Specifications PREMIER Sconce

# LEDs	mA	3K LUMEN DATA												
		T1	LPW	T2	LPW	T3	LPW	T4	LPW	T5	LPW	T5W	LPW	Watts
20	175	1425	110	1321	102	1361	105	1274	98	1429	110	1347	104	13
	350	2863	112	2283	104	2392	107	2203	100	2470	112	2327	106	24
	530	3849	113	3698	105	3675	108	3441	101	3890	114	3637	107	34
	700	4760	109	4415	99	4548	101	4356	95	4777	106	4500	100	45

# LEDs	mA	4K LUMEN DATA												
		T1	LPW	T2	LPW	T3	LPW	T4	LPW	T5	LPW	T5W	LPW	Watts
20	175	1900	116	1981	107	1432	110	1341	103	1504	116	1417	109	13
	350	2593	118	2404	109	2476	113	2318	105	2600	118	2450	111	24
	530	4292	119	3796	110	3869	114	3627	107	4093	120	3828	113	34
	700	5014	111	4648	103	4707	105	4482	100	5028	112	4737	105	45

# LEDs	mA	5K LUMEN DATA												
		T1	LPW	T2	LPW	T3	LPW	T4	LPW	T5	LPW	T5W	LPW	Watts
20	175	1439	111	1334	103	1374	106	1287	99	1444	111	1380	105	13
	350	2488	113	2307	105	2376	108	2224	101	2495	113	2351	107	22
	530	3899	114	3604	106	3712	109	3460	102	3899	115	3674	108	34
	700	4811	107	4460	99	4584	102	4320	98	4825	107	4548	101	45

A ELECTRICAL LIGHT FIXTURE (DWS1) & (DWS1E) SPECIFICATION SHEETS

SCALE: NONE

Landscape

94 Line Series

941L, 942L & 943L

The Gardco LED street and aisle lights 941L, 942L & 943L are architecturally styled luminaires precisely constructed of die cast aluminum, providing light with high performance, long life LED systems. Retrofit kits are also available, making it possible to update installations of classic 941, 942 and 943 Gardco fluorescent and HID step lights to LED without the need to replace the back housing. A field adjustable junction box enhances design flexibility.

Self-compensating silicone gasketing completely excludes moisture, insects and contaminants. A choice of three (3) architecturally designed fasciaplates allows for a variety of applications. The ribbed guard fasciaplate offers vandal protection for glass lenses.

Ordering guide example 941L-941L-CW-LV-120-4-BZ

Order	Package	Color Temp. Variation	Watt Type	Comments	Voltage	Options	Finish
Complete Luminaires	2XL 27W, Integral lens array (300mA)	CW White 3000K	D Drywall	Not suitable for mounting on concrete or masonry. Also, a mounting surface is required. Must be a minimum of 1/2" from masonry. Type C: Concrete Pour (not available for 941L).	LV Louver	F Fixing screws (included)	BZ Textured black
941L Horizontal	3XL 37W, Integral lens array (330mA)	NW Neutral White 4000K	W Wall	Not suitable for mounting on concrete or masonry. Also, a mounting surface is required. Must be a minimum of 1/2" from masonry. Type C: Concrete Pour (not available for 941L).	DD Diffuse Glass	TP Tangier	WH Textured white
942L Horizontal	3XL 37W, Integral lens array (330mA)	WW Warm White 3000K	C Concrete	Not suitable for mounting on concrete or masonry. Also, a mounting surface is required. Must be a minimum of 1/2" from masonry. Type C: Concrete Pour (not available for 941L).	DD Diffuse Glass	TP Tangier	BK Textured black
943L-825					DD Diffuse Glass	TP Tangier	OC Optional color (see the 941L-825-OC kit)
941L-840					DD Diffuse Glass	TP Tangier	SC Special color paint (must specify color temp to specify)

Note: On-site wall type for 941L-825 and 943L-840. Gardco reserves the right to refuse a configuration. Not all combinations and configurations are available. Refer to notes below for restrictions and limitations. For questions or concerns, please consult the factory.

1. 941L and 942L are not available with the R00 fasciaplate.
2. Retrofit kits are available in Wall Type "C" only (Concrete Pour). Retrofit kits are not available for existing Wall Type "D" (Drywall) luminaires. The step light portion of existing 943L-825 and 943L-840 units may be replaced utilizing R00 943L retrofit kits.
3. 941L is not available in 42V (900mA) LED wattage. Lumen values shown are based on Brose painted fasciaplates. Values will vary based on the fasciaplate color.
4. Wall Type D luminaires only.
5. 941W means 120V through 277V input. Not available on Wall Type D luminaires.

Accessories (order separately, field installed):
941L D HSG/PWK ASSY Back box for 941L drywall application
941L C HSG/PWK ASSY Back box for 941L concrete application
942L D HSG/PWK ASSY Back box for 942L drywall application
942L C HSG/PWK ASSY Back box for 942L concrete application
943L D HSG/PWK ASSY Back box for 943L drywall application
943L C HSG/PWK ASSY Back box for 943L concrete application

941L, 942L & 943L 94 Line series Landscape

LED Wattage and Lumen Values

Neutral White										Cool White										Warm White									
941-LV	942-LV	943-LV	941-LV	942-LV	943-LV	941-LV	942-LV	943-LV	941-LV	942-LV	943-LV	941-LV	942-LV	943-LV	941-LV	942-LV	943-LV	941-LV	942-LV	943-LV	941-LV	942-LV	943-LV						
38-630-BZ	178	1037	344	376	1037	344	376	794	392	1061	392	1061	392	1061	392	1061	392	1061	392	1061	392	1061	392	1061					
38-630-WH	203	1222	422	469	1222	422	469	1020	483	1290	483	1290	483	1290	483	1290	483	1290	483	1290	483	1290	483	1290					
38-940-BZ	122	711	236	256	711	236	256	108	444	128	727	241	221	727	241	110	447	139	493	230	210	693	230	105	631				
38-940-WH	222	824	426	476	824	273	323	631	227	843	436	486	843	270	319	646	216	803	416	463	803	266	304	615					

1. Wattage may vary by +/- 5% due to LED manufacturer forward volt specification and ambient temperature. Wattage shown is average for 120V through 277V input. Actual wattage may vary by an additional +/- 10% due to actual input voltage.
2. Where shown are for luminaires without the DL, unless noted. Corrected lamp output and applicable safety code vary. Approximate estimates are required for design purposes.
3. Lumen values based on tests performed in compliance with EN61347-26.

941L, 942L & 943L 94 Line series Landscape

Specifications

General
The Gardco 941L, 942L and 943L recessed aisle lights are architecturally styled luminaires precisely constructed of die cast aluminum, providing light with high performance, long life LED systems. A field adjustable junction box enhances design flexibility. Self-compensating silicone gasketing completely excludes moisture, insects and contaminants. A choice of three (3) architecturally designed fasciaplates allows for a variety of applications. The ribbed guard fasciaplate offers vandal protection for glass lenses.

Lowers
Die cast open the entire length of the fasciaplate, providing for vent and resistance and glare control. Lower fasciaplates include diffuse glass behind the lowers to minimize apparent glare from the luminaire.

Finish
Each standard color luminaire receives a fade and abrasion resistant, electrostatically applied, thermoset, triglycidyl isocyanurate (TGIC) textured polyester powdercoat finish. Standard colors include bronze (BZ), black (BK), white (WH), and natural aluminum (NF). Consult factory for specs on optional or custom colors.

Diffuse Glass
The fasciaplate includes a 3/16" thick diffuse white opal flat tempered glass lens. The lens is internally sealed and mounted and provides a soft, uniform glow.

Labels
All luminaires bear UL or cUL (where applicable) Wet Location labels.

Warranty
E-year limited warranty. See signify.com/warranty for details and restrictions. Visit our eCatalog or contact your local sales representative for more information.

Thermal Management
Gardco 94 Line LED step and aisle lights include integral thermal control to provide the excellent thermal management so critical to long LED system life.

Electrical
Driver efficiency >90% (stand-by) 60/60Hz available in 120-277V or 347-480V open/short circuit protection. R00 compliant. Surge protector standard. 10KA per ANSI/IEEE C62.41.2.

Predicted Lumen Depreciation Data

Amount	System Temperature	LED Calculated	L70 per 1000 Hours	Lumen Maintenance
2%	25 °C	530 mA	133.5 mA	>100,000
4%	25 °C	530 mA	133.5 mA	>85,000
8%	25 °C	530 mA	133.5 mA	>70,000

1. Predicted performance defined from LED manufacturer's data and engineering design estimates, based on EN61347-26 methodology. Actual experience may vary due to field application conditions.
2. L70 is the predicted time when LED performance degrades to 70% of initial lumen output.
3. Calculated per IESNA TM-21-11. Published L70 hours limited to 6 times actual test hours.

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941L, 942L, 943L, 01/21 page 3 of 3

B ELECTRICAL LIGHT FIXTURE (SL1) SPECIFICATION SHEETS

SCALE: NONE

941L, 942L, 943L, 01/21 page 3 of 3

941L, 942L, 943L, 01/21 page 3 of 3

941L, 942L, 943L, 01/21 page 3 of 3

MIXED USE DEVELOPMENT

4TH & MAIN ST.
KETCHUM, BLAINE COUNTY
IDAHO 83340

Prepared For: SOLSTICE DEVELOPMENT
4686 HIGHLAND DR. #224
MILLCRREEK, UT 84117

PH ARCHITECTS

38 Taunton Hill Road
Newtown, Connecticut 06470
203-426-6500 tel. 203-426-6503 fax
ph@archs.com

Site Plan

Project Team:

Architect and Planner:
PH Architects, LLC
38 Taunton Hill Road
Newtown, Connecticut 06470
(203) 426-6500 tel.
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Civil Engineer:
Galena Engineering, Inc.
317 North River Street
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(208) 725-0688 tel.
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Landscape Architect:
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Ketchum, Idaho 83340
(208) 725-0688 tel.
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Electrical Engineer:
Taft Engineering, LLC
8610 South Sandy Parkway, Suite #200
Sandy, Utah 84070
(801) 566-8012 tel.
www.tafteng.com

Professional Engineer License 14893
Joseph W. Taft
State of Idaho

Revisions

No.	Date	Issue
1	04-09-2022	PRE-APPLICATION COMMENTS

Date: 04-09-2022 Project No.: 01-0082-2021
Scale: SEE PLAN CAD File Name:
Design: JWT Checked: JWT
Sheet No.: E603

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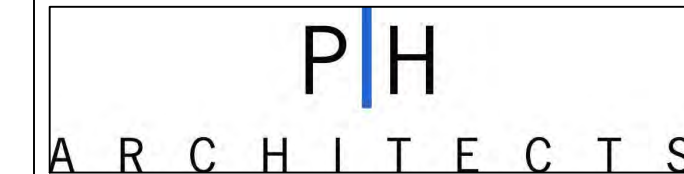
ELECTRICAL LIGHT FIXTURE SCHEDULE (TYPE)									
TYPE	QUANTITY (ESTIMATE ONLY)	DESCRIPTION	MANUFACTURER(S)	CATALOG NUMBER(S)	LIGHT SOURCE	WATTS PER FIXTURE	VOLTAGE	MOUNTING	NOTES
SL1	13	STEP LIGHT	GARCO	842L-31L-WW-C-RGD-UNV-TP-SCBA	LED 600lm, 2700K, 70 CRI	35	UNV	MOUNTED TO FACE OF STEP	
D1	21	CANOPY DOWN LIGHT	VISIONAIRE	PGA-1-11-16LC-3-2.7K-UNV-CN-SCBA-DM	LED 2370lm, 2700K, 70 CRI	20	UNV	SURFACE	
D1E	7	CANOPY DOWN LIGHT	VISIONAIRE	PGA-1-11-16LC-3-2.7K-UNV-CN-SCBA-DM-EBPL	LED 2370lm, 2700K, 70 CRI	20	UNV	SURFACE	PROVIDE WITH EMERGENCY BATTERY PACK.
DWS1	26	DECORATIVE WALL SCONCE	VISIONAIRE	PRS-13-20LC-5-2.7K-UNV-WM-SCBA	LED 3870lm, 2700K, 70 CRI	37	UNV	7'-0" ABOVE FINISHED GRADE	
DWS1E	1	DECORATIVE WALL SCONCE	VISIONAIRE	PRS-13-20LC-5-2.7K-UNV-WM-SCBA	LED 3870lm, 2700K, 70 CRI	37	UNV	7'-0" ABOVE FINISHED GRADE	PROVIDE WITH REMOTE EMERGENCY BATTERY PACK.

NOTES:
1. OWNER / ARCHITECT TO DETERMINE FINISH OF FIXTURES
2. ALTERNATE MANUFACTURERS ACCEPTABLE IF PRE-APPROVED BY ENGINEER BEFORE BID DATE. SEE GENERAL NOTES AND SPECIFICATIONS FOR ADDITIONAL DETAILS.

MIXED USE DEVELOPMENT

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IDAHO 83340

Prepared For: SOLSTICE DEVELOPMENT
4686 HIGHLAND DR. #224
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38 Taunton Hill Road
Newtown, Connecticut 06470
203-426-6500 tel. 203-426-6503 fax
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Site Plan



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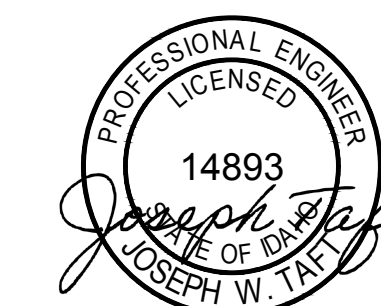
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(203) 426-6500 tel.
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Electrical Engineer:
Taft Engineering, LLC
8610 South Sandy Parkway, Suite #200
Sandy, Utah 84070
(801) 566-8012 tel.
www.tafteng.com

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Revisions

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ELECTRICAL SCHEDULES

Date: 04-09-2022 Project No.: 01-0082-2021
Scale: SEE PLAN CAD File Name:
Design: JWT Checked: JWT

Sheet No.:

E801

MIXED USE DEVELOPMENT

4TH & MAIN ST.
KETCHUM, BLAINE COUNTY
IDAHO 83340

Prepared For: SOLSTICE DEVELOPMENT
4686 HIGHLAND DR. #224
MILLCREEK, UT 84117

P | H
ARCHITECTS

38 Taunton Hill Road
Newtown, Connecticut 06470
203-426-6500 tel. 203-426-6503 fax
ph@archs.com

Site Plan

Project Team:

Architect and Planner:
P | H Architects, LLC
38 Taunton Hill Road
Newtown, Connecticut 06470
(203) 426-6500 tel.
(203) 426-6503 fax

Civil Engineer:
Galena Engineering, Inc.
317 North River Street
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(208) 725-0972 fax

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(208) 725-0988 tel.
(208) 725-0972 fax

Electrical Engineer:
Taff Engineering, LLC
8610 South Sandy Parkway, Suite #200
Sandy, Utah 84070
(801) 566-8012 tel.
www.taffeng.com

Professional Engineer
14893
Joseph W. Taff
STATE OF IDAHO
JOSEPH W. TAFF

Seal

Revisions

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Design: JWT Checked: JWT
Sheet No: JWT

E901

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MASTER ELECTRICAL SPECIFICATION

GENERAL PROVISIONS

- The Architectural General and Special Conditions for the work of this project shall be part of the Electrical Specifications. The Electrical Contractor shall examine the General and Special Conditions before submitting a proposal.
- The General Contractor shall be responsible for all of the work included in this section. The delegation of this work to the Electrical Contractor shall not relieve the Electrical Contractor of responsibility. The Electrical Contractor and subcontractors who perform work under this section will be responsible to the General Contractor.
- The intent of the repetition of paragraphs under the General or Special Conditions is to call particular attention to them, and it is not intended nor shall it be assumed that any other parts of the General or Special Conditions have been omitted or not repeated herein.
- The naming of a manufacturer or brand with catalog number or other product identification without the words "or equivalent" in the specifications shall indicate that it is the only product approved for purchase. If the words "or equivalent" are used in the specification, they shall be interpreted as establishing a quality or performance standard for the material or product to be purchased. This shall indicate that the Electrical Contractor is not restricted to the use of the named and identified product if a substitute approved by the Architect/Engineer is available. However, where a substitution is requested, it will be permitted only with the written approval of the Architect/Engineer. No substitute material or product shall be ordered, fabricated, shipped, or processed in any manner prior to the approval of the Architect/Engineer. The Electrical Contractor shall assume all responsibility for additional expenses as required to make changes from the original material or product specified. If a notice of substitution is not furnished to the Architect/Engineer within fifteen (15) days after the General Contract is awarded, then the materials or products named in the specification shall be purchased and used.
- The Electrical Contractor shall furnish and present five (5) copies of all electrical drawings, brochures, and installation instructions relating to specified equipment, wiring devices, and accessories to the Architect/Engineer for approval and shall furnish and present five (5) copies of a schedule of the manufacturers of all items for which shop drawings or brochures are not presented. No equipment shall be ordered, purchased, or installed prior to the approval of shop drawings, brochures, installation instructions, and schedules. Approval by the Architect/Engineer is intended to establish conformance with the project design concept and the requirements of the drawings and specifications.
- The Electrical Contractor shall examine the drawings of all trades whose work relates to or is dependent on electrical work to become fully informed of the extent and character of their specified work and be able to coordinate it while avoiding possible interference with the electrical work.
- Before submitting the bid, the Electrical Contractor shall visit the site and examine all adjoining existing buildings, equipment, and space conditions which he or her work in any way dependent to anticipate any possible space restrictions or conditions that could affect timely completion of the electrical work in accordance with the intent of the specifications and drawings. The Electrical Contractor shall report to the Architect/Engineer any conditions that might prevent the specified electrical work from being performed in the manner intended. No consideration or allowance will be granted to the Electrical Contractor for failure to visit the project site, or for any alleged misunderstanding of the materials to be furnished or work to be done.

ELECTRICAL DRAWINGS AND SYMBOLS

- The Electrical Drawings are diagrammatic and indicate the general locations of all materials, equipment, luminaires, and wiring devices. These drawings shall be followed as closely as practical. The Electrical Contractor shall coordinate the work under this section with the architectural, plumbing, heating and air conditioning, and other trade drawings for the exact dimensions, clearances, and routing in locations. The Electrical Contractor shall cooperate with the other trades if field adjustments are required to accommodate the work of others.
 - The drawings and specifications are complementary, each to the other, and the work required by either shall be included in the Contract as called for by both.
 - If directed by the Architect/Engineer, the Electrical Contractor shall, without an extra charge, make reasonable modifications in the layout as needed to prevent conflict with the work of other trades or for the workmanlike execution of the work specified.
 - The standard or modified electrical symbols used on the drawings for the project are identified in a Master Symbol List in the specifications and they are also identified where used on the drawings. Not all symbols will appear on any one drawing and some symbols may not be used at all.
- WORK INCLUDED
- The work consists of the furnishing and installing of a complete exterior and interior electrical system. The Electrical Contractor shall provide all supervision and labor, and furnish and install all materials, equipment, wiring devices, and all other fixtures and fittings as indicated on the drawings and as necessary to complete the system.
 - The intent of the specifications and drawings is to call for finished work that has been tested to demonstrate that it is operational.
 - Any apparatus, appliance, material, or work not shown on the drawings but called out in the specifications, or vice versa, or any incidental accessories necessary to complete the work in all respects and make it ready for operation, even if not specifically specified, shall be furnished, delivered, and installed by the Electrical Contractor without additional expense to the Owner.
 - Minor details not usually shown or specified, but necessary for the proper installation and operation of a system or equipment, shall be included in the Electrical Contractor's estimate, as if specified herein or shown.
 - With submission of the bid, the Electrical Contractor shall give written notice to the Architect/Engineer of any necessary items or work that have been omitted from the drawings or specifications. In the absence of such written notice, it is mutually agreed that the Electrical Contractor has included the cost of all required items in his or her proposal, and that the Electrical Contractor will be responsible for the approved satisfactory functioning of the entire system without extra compensation.

WORK NOT INCLUDED

- The furnishing, installing, and wiring of equipment and controls that shall be performed by others as follows:
 - Heating, ventilating, and air conditioning equipment, and electrically powered or driven major appliances requiring permanent installation, unless otherwise indicated, shall be furnished and installed by others but connected by the Electrical Contractor at the locations indicated on the drawings.

CODES AND FEES

- All materials and workmanship shall comply with all applicable codes, state laws, local ordinances, industry standards, and electric utility and insurance carrier requirements.
- In case of conflict between all applicable code, state law, local ordinances, industry standards, and insurance carrier and electric utility requirements, the Electrical Contractor shall bear all costs related to the correction of any such conflict.
- Noncompliance: Should the Electrical Contractor perform any work that does not comply with all applicable codes, state laws, local ordinances, industry standards, and insurance carrier and electric utility specifications, the Electrical Contractor shall bear all costs related to the correction of any such noncompliance.
- Applicable codes, standards, and specifications shall include, but not be limited to, the building codes and industry standards, codes, and specifications listed below:
 - Building Codes
 - National Building Code
 - Local Building Codes
 - State Electrical Codes
 - National Electrical Code (NEC)
 - Local Municipal Electrical Codes
 - Industry Standards, Codes, and Specifications
 - AMCA—Air Moving and Conditioning Association
 - ANSI—American National Standards Institute, Inc.
 - ASHRAE—American Society of Heating, Refrigeration, and Air Conditioning Engineers
 - ASME—American Society of Mechanical Engineers
 - ASTM—American Society for Testing and Materials
 - EIA—Electronic Industries Association
 - IEEE—Institute of Electrical and Electronic Engineers
 - IECEA—Insulated Power Cable Engineers Association
 - NEC—National Electrical Code (NFPA No. 70-2003)
 - NEMA—National Electrical Manufacturers Association
 - NFPA—National Fire Protection Association, Inc.
 - OSHA—Occupational Safety and Health Administration
 - UL—Underwriters' Laboratories Inc.

BASIC ELECTRICAL MATERIALS AND WIRING DEVICES

General

- All wire, cable, conduit, conduit fittings, cabinets, panel boxes, wiring devices, and miscellaneous hardware and fittings shall be new and undamaged, and bear the UL label where applicable, and be as specified for use in each specific location.
 - Samples of specific wire, cable, conduit, fittings, cabinets, panels, and boxes procured for use shall be made available to the Architect/Engineer for approval when requested.
 - Equipment Finish: All factory finished electrical boxes, cabinets, and panelboards shall be furnished in the manufacturer's standard color and finish. The Electrical Contractor shall notify the Architect/Engineer of exposed ungalvanized electrical equipment, except conduit, and those factory finished cabinets and panelboards that are to be painted can be cleaned, primed as required, and finish-painted in the colors selected by the Owner in accordance with the Finishing Section of these specifications.
- Conduit
- Rigid steel conduit shall be used for service entrance and main feeders, and branch circuits where shown on the drawings and in the specifications. Rigid steel conduit shall be made from low-carbon steel that has been hot-dip galvanized inside and outside, and the ends shall be threaded to accept threaded fittings. Other conduit shall be substituted if approved by the Architect/Engineer. All conduit shall be UL approved.
 - Electrical metallic tubing (EMT) may be used for branch circuits and raceways other than for service entrance and main feeders, unless prohibited by the NEC or local ordinances. All EMT shall be UL-approved, pressure-connected type, and galvanized inside and outside, and shall comply with ASA C83.9 for zinc-coated EMT with fittings of the same type, material, and finish.
 - Conduit diameters shall be as indicated on the drawings, or as stated in the schedules in the current NEC. Provision shall be made for including a green insulated grounding conductor where specified or as shown on the drawings.
 - Conduit fittings shall be appropriate for each application, and shall be manufactured by Allied Tube and Conduit or approved equal.
 - All conduit joints shall be cut square, threaded, reamed smooth, and drawn up tight. Bends or offsets shall be made with an approved bender or hickey, or hub-type conduit fittings. The number of bends per run shall conform to those stated in the current NEC.
 - Concealed conduit systems shall be run in a direct line with long sweeps bends and offsets. Exposed conduit runs shall be parallel to and at right angles to building lines, using conduit fittings for all turns and offsets.
 - Transitions between nonmetallic conduits and metallic conduits shall be made with the manufacturer's standard adapters made for this purpose.
 - Exposed conduit shall be securely fastened in place on maximum eight-foot intervals. Hangers, supports, or fasteners shall be provided at each elbow and at the end of each straight run terminating at a box or cabinet. Only crimping and fittings designed specifically for the type of conduit procured shall be used. The conduit shall be supported by corrosion-resistant straps and/or clamps.
 - Conduit systems shall be installed in accordance with the current NEC to provide a continuous bond throughout the system in a neat, workmanlike manner.

Wire and Cables

- All wire and cable shall meet all applicable specifications and standards and shall conform with the current edition of the NEC. Insulated wire shall have information including but not limited to gauge, voltage rating, insulation type, temperature rating, sheath type, permissible location, and manufacturer's name, as applicable to the type, permanently marked on the outer covering at regular intervals not exceeding 4 feet. Cable shall have information including but not limited to type, style, voltage rating, number of conductors, ground conductors, maximum voltage, listing, and weight resistance, as applicable to the type, permanently marked on the outer covering at regular intervals not exceeding 4 feet. Wire and cable shall be delivered in complete coils or reels with identifying tags stating the gauge and type of insulation.
- Wire and cable shall be suitably protected from weather and other damage during storage and handling, and shall be in pristine condition after installation.
- Conductors shall be soft-drawn copper conforming to ASTM B3 for solid wire and ASTM B8 for stranded wire. Stranded wire shall be No. 6 American Wire Gauge (AWG) and larger, and solid wire shall be No. 8 AWG and smaller.
- Wire and cable shall be factory color-coded with a separate color for each phase and a neutral color used consistently throughout the system, as required by the current NEC.
- 4/0 conductors shall be rated for 600 volts, unless otherwise specified or shown on the drawings, or for electronic or communication use.
- Conductors for lighting, receptacles, and power branch circuits, feeders, and sub-feeders shall be Type THHW flame retardant, moisture- and heat-resistant, thermoplastic insulated.
- Conductors for feeders and subfeeders shall be Type THWN flame retardant, moisture-resistant, thermoplastic insulated.
- Branch circuits containing all electric heating elements such as electric duct coils, baseboard radiation, and cabinet unit heaters shall be Type THHN flame retardant, heat-resistant, thermoplastic insulated with a maximum operating temperature of 90 degrees C (194 degrees F).
- Underground feeder and branch circuit wire for direct burial in earth or in conduit shall be Type UF for use in wet or dry locations.
- Wire and cable shall be as manufactured by Southwire or approved equal.

Wire Connections

- Joints in branch circuits shall be made only where such circuits divide as indicated on the drawings and shall consist of one through circuit to which the branch from the circuit shall be spliced. Joints in branch circuits shall not be made by future hangers. No splices shall be made in conductors except at outlet, junction, or splice boxes.
- All joints or splices for No. 10 AWG conductors or smaller shall be made with UL-approved wire nuts or compression-type connectors.
- All joints or splices for No. 8 AWG or larger conductors shall be made with a mechanical compression connector. After the conductors have been made mechanically and electrically secure, the entire joint or splice shall be covered with 3M Scotch brand No. 33 tape, or approved equal, to make the insulation value at the joint or splice equal to the insulation value of the conductors. The connectors shall be UL approved.

Junction and Pull Boxes

- The Electrical Contractor shall furnish and install all junction and pull boxes to provide access points for pulling and feeding conductors into a raceway system. They shall be used in conduit runs where the number of bends between outlets exceeds the maximum number permitted by the current NEC. Junction and pull boxes shall be located as shown on the drawings in the sizes indicated in the junction and pull box schedule.
- Junction and pull boxes and their covers shall be formed from sheet steel and shall have widths, heights, and depths as shown on the drawing or junction and pull box schedules and shall be finished in gray enamel paint. Boxes without hinged covers shall include covers with attached screws.
- Junction and pull boxes shall be in industry standard sizes as manufactured by _____ or approved equivalent.

Outlet Boxes

- Outlet boxes with the correct fitting for the application shall be located at each conductor splice point, at each outlet, switch point, or junction point, and at each pull point for the connection of conduit and other raceways. They shall also be located at all transitions from conduit to open cables. All outlet boxes for concealed wiring shall be made from galvanized- or cold-rolled-plate sheet steel, and they shall have a depth of at least 1.5 inches, whether single or ganged. The boxes shall be large enough to accommodate the number of wiring devices and conductors as specified in the fill schedule of the current NEC. The depths, clamps, and number of knockouts shall be as specified in the outlet box schedule.
- Rectangular 3- by 2-inch metal boxes shall be used for installing single switches or duplex receptacles, as specified or shown on the drawings. Two compatible boxes may be ganged together to accept two switches or two duplex receptacles at a single location or as specified or shown on the drawings.
- Square 4- by 4-inch or 41/16- by 41/16-inch metal boxes shall be used for installing two switches or two duplex receptacles at a single location or as specified or shown on the drawings.
- Octagonal 4- by 4-inch metal boxes shall be used for containing and protecting wire connections for ceiling- or wall-mounted luminaires as specified or shown on the drawings. The Electrical Contractor shall furnish all required telescoping metal braces, hickey, covers, and miscellaneous hardware, as required.
- Round ceiling metal pan boxes with diameters of 24 inches shall be used for containing and protecting wire connections for ceiling- or wall-mounted luminaires as specified or shown on the drawings. The Electrical Contractor shall furnish all hickey, covers, clamps, and miscellaneous clamps, as required.
- Telephone and communication boxes shall be as specified or shown on the drawings.
- Outlet boxes shall be in industry standard sizes as manufactured by Thomas & Betts, or approved equivalent.

Wiring Devices

- The wiring devices listed below by manufacturer and catalog number indicate the quality and specification grade required. In the judgment of the Electrical Contractor, wiring devices manufactured in the same style and dimensions that comply with the same tests and codes may be used without approval by the Architect/Engineer. It cites where a device is specified with only one manufacturer and catalog or part number and without the phrase "or equivalent," substitutions shall be made only with the approval of the Architect/Engineer.
 - Wall-Mounted Switches: Where more than one flush wall switch is indicated in the same location, the switches shall be mounted in gangs under a common wallplate.

Single-Pole Switch, 20A, 120/277V	Leviton 5621 or equivalent
Two-Pole Switch, 20A, 120/277V	Leviton 5622 or equivalent
Three-Way Switch, 20A, 120/277V	Leviton 5623 or equivalent
Four-Way Switch, 20A, 120/277V	Leviton 5624 or equivalent
 - Wall-Mounted Receptacles: Where more than one flush wall-mounted receptacle is indicated in the same location, the receptacles shall be mounted in gangs under a common wallplate.

Single Receptacle, 20A, 120V	Leviton 36841 or equivalent
Duplex Receptacle, 15A, 120V, 1R	Leviton DR155 or equivalent
Duplex Receptacle, 20A, 120V	Leviton 36342 or equivalent
Duplex Receptacle (PFC), 20A, 120V	Leviton N7899 or equivalent
Duplex Receptacle (WPFC), 20A, 120V	Leviton W7899 or equivalent
Duplex Receptacle (USB), 20A, 120V	Leviton T5832 or equivalent
- The following wiring devices are specified by only one manufacturer and catalog number; substitutions may be made only with the approval of the Architect/Engineer.

Motion Sensor (Wall)	Sensor Switch WSD-PDT 9 or equivalent
Motion Sensors (Ceiling)	Sensor Switch CMB-PDT 9 or equivalent
Motion Sensors with Day Lighting (Ceiling)	Sensor Switch CMP-PDT 9-ADC or equivalent
- The Electrical Contractor shall furnish and install appropriate wallplates for all receptacles, switches, control devices, communications, and telephone outlets.
 - The warehouse wallplates shall be made of stainless steel with a brushed finish.
 - The office wallplates shall be made of nylon with a satin finish, and shall be the color specified by the architect in one of the standard colors.
 - Special markings shall be as indicated on the drawings or in the specifications.
- Where wiring devices are installed in outlet boxes exposed to weather, the boxes, wallplates, and covers shall be approved by the Architect/Engineer for those locations.

Electrical Identification

- The Electrical Contractor shall maintain accurate records of all deviations in work as installed from work specified on the drawing or in the specifications. On completion of the project, two (2) complete sets of marked-up prints showing these deviations shall be delivered to the Architect/Engineer.

SERVICE AND DISTRIBUTION

General

- The Electrical Contractor shall furnish and install an electric service entrance, related distribution equipment, and an approved grounding system as shown on the drawings, and schedules shall comply with the current NEC, local and state building and electric codes, and electric utility specifications.
 - The Electrical Contractor shall furnish and install all required conduit, cable, and watt-hour meter and base provided by the Electric Utility and all equipment required by the Electric Utility for secondary service from the point of attachment to the main service panel.
 - The Electrical Contractor shall furnish and install a proper electrical ground as shown on the drawings that makes the approved connections to suitable metallic cold water piping and a properly driven approved ground rod or rods as specified by the NEC or local electric codes, whichever is more stringent.
 - The conduct used for the service entrance shall be rigid, galvanized steel conduit unless otherwise indicated on the drawings.
 - The conductors for the service entrance shall be copper Type RHW-2 or THW-2 rated at 194 degrees F (90 degrees C), unless otherwise noted.
- Underground Service Connection
- Where the Electric Utility's distribution facilities are in a zoned underground or network area, it will install, own, and maintain, at its own expense, the necessary cable system from the underground distribution line which is part of its distribution system to the Owner's point of service connection.
 - The Electrical Contractor shall contact the Electric Utility and determine the cable and conduit to be installed by the Electric Utility and the limits of its installation, ownership, and maintenance responsibilities. The Electrical Contractor shall also determine the Electric Utility's recommended position for a service entrance, as necessary, where the utility is to be made.
 - The Electrical Contractor shall furnish the matching cable and conduit necessary to extend the service lateral from the service end box to the main disconnect inside the project building, as indicated in the drawings and specifications. The Owner shall maintain at his or her own expense the required service lateral from this point to his or her main disconnect.
 - Unless otherwise specified, the service lateral shall be three insulated conductors buried in a trench 2 to 4 feet deep below finished grade and a minimum of 4 inches wide.
 - The Electrical Contractor shall mount the watt-hour meter and base plumb and level at the distance above the finished grade specified or shown on the drawings, or 200 millimeters above the service entrance conduit. It shall be 2-inch galvanized steel pipe threaded into the meter base. Raintight threaded flange conduit connectors shall be located as shown on the drawings, and the metal conduit shall be strapped to the supporting wall with conduit straps not more than 54 inches apart.

Service Entrance

- The Electrical Contractor shall provide a service entrance system as shown on the drawings and described in the specifications. The Electrical Contractor shall calculate and verify the electrical demand requirements for the building prior to the installation of electric service.
- The electrical systems shall be a 277/480-volt, 60-Hertz, Three-phase, Four-wire service.

Grounding

- Unless otherwise specified or determined by local building code, the Electrical Contractor shall measure ground resistance with an approved Megger ground-resistance tester to determine the requirement for more than one ground rod as specified in the current NEC.
- In addition to the ground rod(s), the Electrical Contractor shall make approved connections to one other earth ground, a metal cold water pipe or as approved by the NEC. If no one shall be used as an earth ground. The grounding wire shall be at least No. 6 AWG copper protected by PVC conduit if exposed above ground at any outside location. All ground clamps shall be approved for the intended purpose.
- If a second ground rod is specified, it shall be separated at least 6 feet from the first, assuming vertical orientation of the rods.

Branch-Circuit Panelboards

- Lighting and appliance branch-circuit panelboards shall be made from cold-rolled steel and shall be finish painted in the manufacturer's color. It shall consist of three main parts: front cover, inner cover, and backpan built to accept bolt on molded branch circuit breakers.
- The branch-circuit panelboard shall be equipped with gasketed hot buses with sufficient slots to accept the number and type of circuit breakers specified for the project and have room to spare for later expansion. The back pan shall contain a rail for effective clamping of all circuit breakers. The parallel neutral/ground buses shall be made from solid, rectangular copper alloy with screw-type wire terminals. The backpan shall be large enough to provide adequate gutter space around the busbars for the anticipated wire fill. It shall have sufficient knockouts for the number and position of cables specified. The front cover shall be provided with a secure latch and concealed hinges.
- The branch-circuit panelboard shall be UL listed for indoor applications, bear the UL label, and meet NEMA and ANSI requirements. It shall also conform to the current NEC for switchboards and panelboards and the insertion of overcurrent devices.
- The branch-circuit panelboard shall be NEMA Type 1, unless noted otherwise, and as manufactured by Cutler-Hammer, Siemens, GE, Square-D or approved equivalent, and shall be fully assembled with all hot and neutral/ground buses, gutter posts, tie bar, and other ancillary fittings. It shall be durably marked in accordance with the current NEC.
- The Electrical Contractor shall make every reasonable effort to balance the load to the satisfaction of the Electric Utility. The Electrical Contractor shall complete the panelboard directory on the inner face of the front cover legibly to identify all circuits in a permanent manner, as approved by the Owner.

Overcurrent Protective Devices

- The Electrical Contractor shall furnish and install, where indicated on the drawing or as required by the current NEC, main and branch circuit breakers. The breakers shall be capable of manual operation and opening all poles simultaneously. The tripping mechanism shall operate thermally, magnetically, or both, shall open instantaneously on short circuits, and have a time delay on overcurrent. The circuit breakers shall be of the type shown on the drawings or called out in the protective device schedule.

Lighting

- The Electrical Contractor shall furnish, install, and wire all permanent luminaires as shown on the drawings or as listed in the luminaire schedule and shall install all required lamps, wires, reflectors, protective covers, and decorative components.
 - Luminaires shall be of the type, and sizes, with the specified lamping, in the wattage ratings, shown on the drawings or as listed in the luminaire schedule. The Electrical Contractor may furnish luminaires that meet current commercial electrical and mechanical standards for quality and the specified illumination requirements as listed in the luminaire schedule from the product selections of different manufacturers. However, at the Architect/Engineer's request, the Electrical Contractor shall submit for approval one sample of each luminaire specified.
 - If a luminaire is specified only by a single manufacturer and model number for reasons of appearance, style, or specialized function, and that product is not available commercially, the Electrical Contractor may make a reasonable substitution only with the approval of the Architect/Engineer.
 - The material and workmanship of the luminaires shall be quality products in accordance with commercial standards. By mutual agreement with the Electrical Contractor, the Owner reserves the right to request replacements for any luminaire furnished that is damaged, defective, or poorly finished or otherwise fails to meet the accepted commercial quality standards for that grade of product, provided that the Electrical Contractor is notified prior to the installation of said luminaire.
 - The Electrical Contractor shall assemble custom-made luminaires furnished disassembled by others following approved assembly instructions and/or shop drawings, and install and wire them where and as specified.
 - The Electrical Contractor shall coordinate the furnishing and installation of luminaires with the completion of the project to avoid interference with the work of other trades, unless otherwise covered by the specifications. The Electrical Contractor shall keep all luminaires delivered to the job site in their protective cartons or packages to protect them from dust or damage prior to installation.
- Lamps
- All luminaires shall be lamped as indicated on the lighting fixture schedule. All lamps shall be new and unused and shall have the style, shape, special properties, wattage ratings, and spectral color specified. Lamp installation shall not exceed the wattage ratings recommended by the luminaire manufacturer. All fluorescent lamps shall be matched with the appropriate electronic or magnetic ballast, as recommended by the luminaire manufacturer. Lamps shall be purchased from recognized commercial manufacturers or vendors.
 - At the time of the acceptance of the building, the Electrical Contractor shall have all luminaires lamped, cleaned, and assembled with all reflectors, sockets, or light shields, and be prepared to demonstrate their proper operation to the satisfaction of the Architect/Engineer and Owner.

C L E A R C R E E K D I S P O S A L

PO Box 130 • Ketchum, ID 83340 • Phone 208.726.9600 • www.ccdisposal.com

March 10, 2022

City of Ketchum
Planning Department
P O Box 2315
Ketchum, ID 83340

Re: 4th & Main

To Whom It May Concern,

I have met with the development team regarding future garbage services at this site. Please see the following:

Clear Creek Disposal has reviewed the plans the 4th & Main Street development and can adequately service the proposed development as proposed.

A dumpster mounted on a Garbage Glider system will be installed and served multiple days per week. Clear Creek Disposal will approach the facility heading North in the alley from 4th St. and have an angled approach to the dumpster extended from the garbage room. Clear Creek will have access to the Garbage Room to access automatic controls to the dumpster glide platform system.

If you would like to discuss and/or need further information, please contact me.

Respectfully,



Mike Goitiandia
Clear Creek Disposal

.4th & Main – 1

