



**City of Ketchum
Planning & Building**

**STAFF REPORT
KETCHUM PLANNING AND ZONING COMMISSION
SPECIAL MEETING OF APRIL 27, 2021**

- PROJECT:** Westcliff Townhomes
- FILE NUMBERS:** P21-019 & P21-008
- APPLICATION:** Design Review, Townhouse Subdivision Preliminary Plat, and Phased Development Agreement
- REPRESENTATIVES:** Peter & Kristin Anderson, Anderson Architecture, P.A. and Garth McClure, Benchmark Associates
- OWNER:** Westcliff LLC
- LOCATION:** 106 & 110 Rember Street (Bavarian Village Subdivision: Lot 3B)
- ZONING:** General Residential (GR-H) High Density
- OVERLAY:** None
- NOTICE:** A public hearing notice for the project was mailed to all owners of property within 300 feet of the project site and all political subdivision on March 3rd, 2021. The public hearing notice was published in the Idaho Mountain Express the on March 3rd, 2021. A notice was posted on the project site and the city's website on March 16th, 2021. The public hearing for this project was continued from the March 23rd, 2021 Planning & Zoning Commission Meeting.

WESTCLIFF TOWNHOMES

The Westcliff Townhomes is a new four-unit, multi-family residential development located at 106 and 110 Rember Street within the General Residential High Density (GR-H) Zoning District. The development is comprised of four identical detached townhome units and associated site improvements. The project plans for the new townhome development are attached as Exhibit A to the Staff Report.

The Planning & Zoning Commission reviewed the Pre-Application Design Review for the proposed multi-family residential development on February 9th, 2021 and unanimously advanced the project to final Design Review.

The Westcliff Townhomes project requires both Design Review for the development of multi-family residential dwellings (Ketchum Municipal Code §17.96.010.A3) and a Townhouse Subdivision Preliminary Plat to create the townhouse sublots (Ketchum Municipal Code §16.04.080). Additionally,

the developer plans to offer units for sale individually as construction is completed and has submitted a Phased Development Plan and Agreement for review concurrently with the Townhouse Subdivision Preliminary Plat application (Ketchum Municipal Code §16.04.110). The Phased Development Agreement is attached as Exhibit D to the Staff Report.

ANALYSIS

Floor Area Ratio & Underground Parking Credit for Groundwater

The total gross floor area of the townhome development is 14,948 gross square feet. The applicant's FAR calculations include a 2,800-square-foot parking credit for groundwater issues. Ketchum Municipal Code §17.124.040.B.2b allows for a gross floor area credit if groundwater issues on a development site, verified by an Idaho-licensed engineer, preclude the construction of underground parking. Upon determination by the City that groundwater on the subject property precludes underground parking, a credit of 350 square feet per required parking space may be subtracted from the net livable square footage prior to the calculation for the 20% deed restricted community housing contribution.

The applicant has submitted a geotechnical report and hydrology opinions prepared by Idaho-licensed engineer Steve Butler attached as Exhibit E to the Staff Report. The report confirms that groundwater on the development site was observed as high as 4.3 feet below existing grade on October 17, 2019 and as high as 5.5 feet below grade on July 24, 2020. The report notes that a below-grade parking structure would be impacted by groundwater during an average snowpack runoff and is economically impractical to construct on the development site. The project's proposed floor area ratio with the parking space credit for groundwater is 0.73 (12,148 gross square feet/16,574 square feet lot area).

The Planning & Zoning Commission may allow an increased FAR subject to Design Review (Ketchum Municipal Code §17.124.040.B). Ketchum Municipal Code does not guarantee 1.4 as the allowed FAR. New developments may be permitted an increased FAR above 0.5 at the Commission's discretion through Design Review. To receive more floor area, new buildings must complement the scale and character of the surrounding neighborhood.

Design Review Standards

The project complies with design review standards and complements the scale and character of the surrounding residential neighborhood. The project's exterior materials include metal panels, stone veneer, and horizontal cedar siding. The exterior materials are specified on the elevations shown on Sheet A5 of the project plans. The specifications and colors for the project's proposed exterior materials are included on Sheet A8 of the project plans. All 4 townhome units share the same exterior material patterns and color palette. The front façade of each townhome unit is distinguished by the stone veneer column that covers the building's interior core circulation, which includes both a staircase and elevator. This stone veneer column vertically integrates all three levels of the building and grounds each townhome unit to the project site. This column also divides each townhome into two distinct masses. These two-story and three-story masses are distinguished by modern design elements, including flat roofs and cantilevered overhangs. Additionally, the townhomes include upper-level balconies and decks that further define the building and minimize the appearance of building bulk and mass. The front, rear, and side façades all incorporate both rectangular metal panels and horizontal cedar siding with rectangular window openings. This material differential provides visual interest across all facades.

Utility Easement Encroachment

The project plans indicate that driveway pavers, landscaping, privacy fencing, and site walls encroach over the two 10-foot-wide utility easements (Instrument Nos. 660804 & 661178) that border the east side property line along Bird Drive. These encroachments require written consent from the easement beneficiaries, Idaho Power Company and Intermountain Gas. The applicant has submitted written consent from Idaho Power dated April 21, 2021 for the proposed encroachments within the easement area. As of the publication of this Staff Report, the applicant has not submitted the required written consent from Intermountain Gas for the proposed encroachments.

Transformer Screening

Pursuant to Ketchum Municipal Code §17.96.060.D2, utilities shall be located underground and all utility, power, and communication lines within the development site shall be concealed from public view. All utilities, including transformers, must be concealed from public view.

The project plans indicate the installation of new transformer to serve the townhome development on the southeast corner of subplot 4. As indicated on Sheet L-3.0, the transformer is proposed to be screened from public view by a 3-foot tall concrete site wall and 3 aspen trees. The existing sector box at the northeast corner of the project site at intersection of Rember Street and Bird Drive is proposed to be screened by ornamental grasses and a 3.5-foot-tall concrete site wall. The applicant has submitted a letter from Idaho Power dated April 21, 2021 stating that the proposed screening does not comply with their clearance requirements. The applicant must propose a solution that complies with all Ketchum Municipal Code screening standards and Idaho Power Company clearance requirements.

The townhome development may not be approved unless the project complies with all design review standards and requirements specified in Ketchum Municipal Code. The Commission has two options: (1) continue review of the application until a solution to screen the transformer that complies with all Ketchum Municipal Code standards and Idaho Power Company requirements is indicated on the project plans for the Commission's final review and approval or (2) approve the project with a conditions that building permit may not be issued until the applicant indicates a solution on the project plans that complies with all Ketchum Municipal Code standards for utility screening and Idaho Power Company requirements for clearance for final review and approval by Planning Staff.

Comprehensive Staff analysis is provided in Tables 1 through 4 including: (1) City Department comments, (2) adherence zoning and dimensional standards, (3) evaluation of Design Review criteria, (4) townhouse subdivision requirements, and (5) subdivision design and development standards.

STAFF RECOMMENDATION: COMMISSION OPTIONS

Staff recommends that the Commission consider the project plans, the applicant's presentation, and any public comment received, deliberate, and either: (a) move to continue the project to a date certain or (b) move to approve the Westcliff Townhomes Design Review application and recommend approval of the Townhouse Subdivision Preliminary Plat and Phased Development Agreement to City Council subject to the recommended conditions of approval specified in the Staff Report. The recommended conditions of approval include conditions regarding the utility easement encroachments and transformer screening:

Westcliff Townhomes

Design Review, Townhouse Subdivision Preliminary Plat, and Phased Development Agreement

Planning & Zoning Commission Meeting of April 27th, 2021

City of Ketchum Planning & Building Department

Recommended Condition of Approval: Utility Easement Encroachment

13. The project plans indicate that driveway pavers, landscaping, privacy fencing, and site walls encroach over the two 10-foot-wide utility easements (Instrument Nos. 660804 & 661178) that border the east side property line along Bird Drive. These encroachments require written consent from the easement beneficiaries, Idaho Power Company and Intermountain Gas. The applicant shall submit written consent from Intermountain Gas prior to issuance of a building permit for the project.

Recommended Condition of Approval: Transformer Screening

14. All utilities, including transformers, must be screened and concealed from public view pursuant to Ketchum Municipal Code §17.96.060.D2. The applicant must propose a solution for the new transformer that complies with all Ketchum Municipal Code standards for utility screening and Idaho Power Company requirements for clearance. The applicant must indicate the proposed location and siting of the new transformer on the project plans with written confirmation of Idaho Power’s approval for final review and approval by Planning Staff prior to issuance of a building permit for the project.

Table 1: City Department Comments

City Department comments are based on the project concept as proposed with the Design Review project plans. All City Departments shall review and approve the project through the Building Permit application process. All comments pertaining to the Design Review drawings are subject to change. All right-of-way improvements must be reviewed and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project.

| City Department Comments |
|---|
| <i>All City Department requirements and associated specifications for the required improvements must be verified, reviewed, and approved prior to issuance of a Building Permit for the project.</i> |
| <p>Fire Department:</p> <ul style="list-style-type: none">• It is the General Contractor’s responsibility to understand and adhere to all Fire Protection Ordinance #1217 requirements in addition to any and all other City of Ketchum requirements in effect at the time of Building Permit issuance. Failure to comply with all local ordinances and codes may result in project work stoppage as well as criminal penalties.• The above project shall meet all 2018 International Fire Code requirements in addition to specific City Building and Fire Ordinances.• In lieu of a 20-foot-wide fire apparatus access road, the building located on the interior southwest corner of the project shall be provided with a minimum 14-foot-wide driveway and shall have an approved automatic fire sprinkler system installed throughout the building per City of Ketchum Ordinance No. 1217 and the National Protection Association Standard 13. An approved fire sprinkler flow bell, Knox box, and Fire Department connection shall be installed in an approved location visible to approaching firefighters. Water service lines to structures shall be hydraulically calculated for size to meet fire sprinkler flow requirements. Fire sprinkler systems shall be annually tested and maintained per NFPA 25. An approved Fire Department connection and flow bell shall be installed in a location approved by the Fire Department and the system shall be supervised by an approved alarm system. <p>Note: One electronic set of fire sprinkler system plans must be submitted to the Ketchum Fire Department as well as the State Fire Marshal’s Office and a Ketchum Fire Department Permit must</p> |

be obtained prior to installation of fire sprinkler systems. Inspections of fire sprinkler systems by the Fire Chief or an appointee are required. Inspections must be scheduled at least 48 hours in advance.

- An approved monitored fire sprinkler alarm system shall be installed per City of Ketchum Ordinance No. 1217 and the requirements of NFPA 72. Two sets of alarm system plans shall be submitted to the Ketchum Fire Department for approval and a permit is required prior to installation of alarm systems. Inspections of fire detection systems by the Fire Chief or an appointee are required and shall be scheduled at least 48 hours in advance.
- An approved key box shall be installed on each townhome unit, with the appropriate keys, for emergency access in a location approved by the Fire Department. The key box shall be a Knox Box brand and sized to accommodate keys to every door of the townhome unit.
- Smoke and carbon monoxide detectors shall be installed per NFPA and the 2018 International Fire Code. Smoke detectors shall be installed inside each bedroom, within 21 feet of each sleeping area, and on every level of occupancy, including the basement. Carbon monoxide alarms shall be installed in a central location outside each sleeping area and on every level of the townhome unit.
- Approved address numbers shall be placed in such a position to be plainly visible and legible from the road fronting the property. Numbers and letters shall be a minimum of four (4) inches tall, contrast with their background and be positioned a minimum of forty-eight (48) inches above final grade.
- An approved access roadway per 2018 International Fire Code Appendix D shall be installed prior to any combustible construction on the site. The road shall be a minimum of twenty (20) feet in width and capable of supporting an imposed load of at least 75,000 pounds. The road must be an all-weather driving surface maintained free, clear, and unobstructed at all times. Grades shall not exceed 7%. Dead end access roadways exceeding 150 feet in length shall be provided with an approved turnaround. Gates, if installed, are required to be siren activated for emergency vehicle access. Where the vertical distance between the grade plane and the highest roof surface exceeds 30 feet, an approved aerial fire apparatus access road shall be provided. Aerial fire apparatus access roads shall have a minimum unobstructed width of 26 feet, exclusive of shoulders, in the immediate vicinity of the building or portion thereof.
- Vehicle parking and material storage during construction shall not restrict or obstruct public streets or access to any building. A minimum twenty-foot travel lane for emergency vehicle access shall be maintained clear and unobstructed at all times. All required Fire Lanes, including within 15 feet of fire hydrants, shall be maintained clear and unobstructed at all times.
- Fire extinguishers shall be installed and maintained per 2018 IFC Section 906 both during construction and upon occupancy of the building. During construction fire extinguishers shall be placed in a conspicuous, easy to access, unobstructed location that is less than 75 feet travel distance to any combustibles on site, 30 feet to any hot work. Upon completion of project, every townhome unit shall have a minimum of one extinguisher per garage and one extinguisher per kitchen area. Extinguishers shall be mounted in a conspicuous, easy to access, unobstructed location. During construction, three 5-pound Class A fire extinguishers shall be required in each townhome unit.
- Spark arresters are required on all solid fuel burning appliance chimneys to reduce potential fires from burning embers. A minimum 10-feet of separation from all chimneys to combustible vegetation and tree crowns shall be maintained at all times.
- This project shall comply with the City of Ketchum Fire Protection Ordinance No. 1217 and defensible space characteristics. All exterior windows shall be glazed, and all exterior doors shall be solid core construction, both shall have a fire rating of not less than 20 minutes. All exterior vents

shall be designed and approved to prevent flame or ember penetration and all exterior mesh shall have openings that do not exceed 1/8". Gutters and downspouts shall be non-combustible and shall be provided with an approved means to prevent the accumulation of leaves and debris. All materials within 12 inches vertical of finished grade shall be 1-hour rated, non-combustible, or covered with minimum 28-gauge flashing. The area 12-inches horizontal from the base of a wall shall be finished in a way to prevent any vegetation growing, and for vegetative debris to be easily removed. Tree crowns extending to within 10 feet of any structure shall be pruned to maintain a minimum horizontal clearance of 10 feet. Tree crowns within 30 feet of any structure shall be pruned to remove limbs located less than 6 feet above the ground surface adjacent to the trees. Non-fire-resistant vegetation or growth shall be kept clear of buildings and structures, in such a manner as to provide a clear area for fire suppression operations.

- An 8 ½ by 11 color coded site map of this project shall be provided on paper and electronically to the fire department. This site map shall show the locations of gas shut-offs, power shut-offs, fire sprinkler riser rooms, fire department connections, alarm panels, Knox boxes, access doors, egress windows, stairways and any additional fire department requirements. Exact details for color coded "On-Sites" can be found at www.ketchumfire.org.
- Final inspections of all fire department permit required installations by the Fire Chief or an appointee are required and shall be scheduled at least 48 hours in advance. A Final Inspection Checklist can be found at www.ketchumfire.org.
- Fire Department requirements and associated specifications for the required improvements must be verified, reviewed, and approved prior to issuance of a Building Permit for the project.

City Engineer & Streets Department:

- All drainage shall be retained on site (KMC §17.96.060.C.1). Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street (KMC §17.96.060C).
- All construction for the project must comply with the standards set forth in Ketchum Municipal Code, Chapter 15.06 Construction Activity Standards. The applicant shall submit a Construction Activity Plan addressing all applicable activities (KMC §15.06.030), including how materials will be off-loaded at the site, plan for coordinating with neighbors on temporary closures, temporary traffic control, and construction fencing with appropriate screening, to be reviewed and approved prior to issuance of a Building Permit for the project. Pursuant to KMC §15.06.030.A.2, the applicant shall provide notice of the project, construction schedule, and general contractor's contact information to all neighbors with properties adjacent to the project site.
- The building permit plans and construction drawings shall meet all applicable sections of Chapter 12 of Ketchum Municipal Code.
- The applicant shall submit the drainage and geotechnical report with the building permit application for review by the City Engineer and the Streets Department.
- The plans for the ROW improvements must be prepared by a professional engineer licensed in Idaho (KMC §12.04.020). The adjacent ROW along Rember Street and Bird Drive must be improved to City standards for residential streets. Material shall be pervious/permeable to allow drainage. Surface must allow for vehicle parking and be consistent along the entire property frontage. Material within the first eight (8) feet from edge of asphalt shall be distinct from driveway and rest of property in order to visually appear to be available for parking. Grading and drainage improvements must meet the following standards: minimum 5% slope, no obstructions, such as boulders or berms, no buried irrigation systems within the first eight (8) feet from the edge of asphalt, and no subsurface irrigation lines are permitted beyond the first eight (8) feet, however

popup heads are not permitted anywhere in the ROW. No live plant material within the first eight (8) feet from edge of asphalt. Low ground cover plant material, such as turf grass, is permitted beyond the first eight (8) feet. Drought-tolerant species is preferred.

- The applicant shall submit a Street and Alley Digging, Excavation, and Trenching (“DIG”) Permit application with an associated traffic control plan for all construction work within the City right-of-way to be reviewed and approved by the Streets Department. The use of City right-of-way for construction including the closure of adjacent streets or sidewalks requires a Temporary Use of Right-of-Way Permit (“TURP”).
- Final civil drawings for all associated ROW improvements shall be submitted with the Building Permit application to be verified, reviewed, and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project.

Utilities & Wastewater:

- The property owner/developer and all successors in interest are responsible for the installation, maintenance, repair, and other costs associated with the private water and sewer lines serving the property.
- Each detached townhome unit shall have separate water and sewer services. Connection fees are determined based on water and sewer meter sizes. The applicant shall have the proposed water and sewer service connection line and meter sizes verified by an Idaho-licensed plumber or mechanical engineer. The service line connections shall be installed to City standards.
- The City must approve the timing of the water and sewer connections to the municipal systems due to groundwater on the subject property. The contractor may tap the main upon inspection and approval by the Utilities Department.
- As specified in the Phased Development Agreement, by December 30, 2022 or prior to obtaining Certificate of Occupancy for the first townhome unit, each townhouse subplot shall be adequately served by both water and sewer services as shown on Sheets C1-C3 of the project plans.
- The project plans show the applicant intends to use an existing stub for the sewer service connection to serve the townhome unit located on subplot 4. Any existing stubs connecting to the property that are not proposed to be used for the new multi-family residential development must be cut and capped at the main.
- Drywells must have proper separation from potable water lines.
- The final civil drawings shall be approved by DEQ prior to issuance of a building permit for the project.
- Requirements and specifications for the water and sewer connections will be verified, reviewed, and approved by the Utilities and Wastewater departments prior to issuance of a building permit for the project.

Building:

- The building must meet the 2018 International Building Code and Title 15 Buildings and Construction of Ketchum Municipal Code.
- Building Department requirements and associated specifications for the required improvements must be verified, reviewed, and approved prior to issuance of a building permit for the project.

Planning and Zoning:

Comments are denoted within the analysis of the project’s compliance with zoning and dimensional standards, design review evaluation standards, and subdivision design and development standards.

Table 2: Zoning and Dimensional Standards Analysis

| Zoning and Dimensional Standards Analysis | | | | |
|---|--------------------------|--------------------------|------------------------------|---|
| Compliant | | | Standards and Staff Comments | |
| Yes | No | N/A | Guideline | City Standards and Staff Comments |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.12.030 | <p>Minimum Lot Area</p> <p>Required Minimum Lot Area: 8,000 square feet minimum Required Minimum Townhouse Sublot Area: equal to the of the perimeter of the townhouse unit</p> <p>KMC §17.08.020 defines <i>Area of Lot</i> as the area of a lot, exclusive of any area contained within a private driveway easement.</p> <p><i>Ketchum Municipal Code §17.08.020: Definitions</i> AREA OF LOT: The area within the boundaries of a lot, exclusive of any area contained within a public or private street, alley, fire lane or private driveway easement; also, exclusive of any narrow strip of land connecting a lot set back from any public street for the purpose of providing driveway access with that street and exclusive of any portion of the property that lies between the mean high-water marks of the Big Wood River, Trail Creek and Warm Springs Creek. All exclusions shall not be used for the purpose of calculating density and building coverage. Lot area shall include the area of any dedicated public bike path, equestrian path or other public pathway within the boundaries of a lot.</p> <p>Proposed: Lot 3B of Bavarian Village Subdivision has a total area of 18,130 square feet (0.42 acres).</p> <p>The area of the private driveway easement on subplot 2 is 1,556 square feet.</p> <p>The area of the lot as defined by KMC §17.08.020 exclusive of the private driveway easement on subplot 2 is 16,574 square feet.</p> <p>Lot 3B is proposed to be subdivided into four townhouse sublots. All townhouse sublots within the proposed subdivisions are greater than the perimeter of the townhouse unit. No land within the townhouse subdivision is proposed to be designated as common area. The proposed areas of each townhouse subplot are indicated on the preliminary plat. Townhouse Sublot 1: 4,886 square feet Townhouse Sublot 2: 4,934 square feet Townhouse Sublot 3: 4,038 square feet Townhouse Sublot 4: 4,269 square feet</p> |
| | | | 17.12.030 | Minimum Open Space |

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|-------------------------------------|--------------------------|--------------------------|---|---|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | Staff Comments | <p>Required: 35% (Footnote 5: 5% open site area may be used for private decks or patios and walkways subject to Design Review approval)</p> <p>Proposed: 6,472 square feet of open space is provided on site, which is 36% of the townhome development site's total area (Sheet A1)</p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <p>17.124.040</p> <p>Staff Comments</p> | <p>Floor Area Ratios and Community Housing</p> <p>Gross FAR Permitted in General Residential High Density (GR-H) Zone Gross FAR Permitted in GR-H Zone: 0.5 Gross FAR Permitted with Inclusionary Housing Incentive: 1.4</p> <p>The Planning & Zoning Commission may allow an increased FAR subject to Design Review (Ketchum Municipal Code §17.124.040.B). Ketchum Municipal Code does not guarantee 1.4 as the allowed FAR. New developments may be permitted an increased FAR above 0.5 at the Commission's discretion through Design Review. To receive more floor area, new buildings must complement the scale and character of the surrounding neighborhood.</p> <p>KMC §17.124.040.B.2b allows for a gross floor area credit if groundwater issues on a development site, verified by an Idaho-licensed engineer, preclude the construction of underground parking. Upon determination by the City that groundwater on the subject property precludes underground parking, a credit of 350 square feet per required parking space may be subtracted from the net livable square footage prior to the calculation for the 20% deed restricted community housing contribution.</p> <p>The applicant has submitted a geotechnical report and hydrology opinions prepared by Idaho-licensed engineer Steve Butler attached as Exhibit E to the Staff Report. The report confirms that groundwater on the development site was observed as high as 4.3 feet below existing grade on October 17, 2019 and as high as 5.5 feet below grade on July 24, 2020. The report notes that a below-grade parking structure would be impacted by groundwater during an average snowpack runoff and is economically impractical to construct on the development site.</p> <p>Proposed Gross Floor Area Ratio Townhome Unit Gross Floor Area: 3,737 gross square feet Total Gross Floor Area (x4 townhome units): 14,948 gross square feet Parking Space Credit for Groundwater: 2,800 square feet (350 square feet x 8 required parking spaces) Total Gross Floor Area Minus Parking Space Credit for Groundwater: 12,148 gross square feet Bavarian Village Subdivision Lot 3B Area: 18,130 square feet Private Driveway Easement on Sublot 2 Area: 1,556 square feet</p> |

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| | | | | <p>Lot Area (as defined by KMC §17.08.020 exclusive of the private driveway easement on subplot 2): 16,574 square feet. Proposed Floor Area Ratio (FAR): 0.73 (12,148 gross square feet/16,574 square feet lot area)</p> <p>Community Housing Contribution Calculation Total Gross Floor Area Permitted with 0.5 FAR: 8,287 gross square feet Proposed Gross Floor Area: 12,148 gross square feet Increase Above Permitted 0.5 FAR: 3,861 gross square feet 20% of Increase: 772 gross square feet Net Livable (15% Reduction): 656 net livable square feet</p> <p>As specified in the Phased Development Agreement attached as Exhibit D to the Staff Report, the applicant intends to pay the community housing in-lieu fee (\$238 per square foot) in exchange for the gross floor area increase above the 0.5 FAR permitted in the GR-H Zone.</p> <p>Community Housing Contribution: 656 net livable square feet Community Housing In-Lieu Fee: \$156,128</p> <p>Prior to issuance of a building permit for the project, the Ketchum City Council shall review and approve a FAR Exceedance Agreement addressing the square footage above the permitted 0.5 Floor Area Ratio and memorializing the associated community housing contribution.</p> <p>The Phased Development Agreement (Exhibit D) specifies that the owner agrees to pay the total \$156,128 at the time of building permit issuance for the first townhome unit.</p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.12.030 | Minimum Building Setbacks |
| | | | Staff Comments | <p>Required: Front: 15 feet Side: 1 foot for every 3 feet in building height or 5 feet minimum and no less than 10 feet minimum for one-family dwellings Rear: 15 feet</p> <p>KMC §17.128.020: Supplementary Yard Regulations H. Decks less than 30 inches in height from existing grade may be constructed to the property line.</p> <p>Proposed: Dimensioned setbacks from property lines are indicated on Sheet L-1.0 of the project plans.</p> |

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|-------------------------------------|--------------------------|--------------------------|-----------------------|--|
| | | | | <p>Front (North/Rember Street): The townhome units are sublots 3 and 4 are both setback 15 feet from the development’s front property line along Rember Street.</p> <p>Street Side (East/Bird Drive): The townhome unit on subplot 4 is setback 12 feet from the east side property line along Bird Drive. The townhome unit on subplot is setback 13.3 feet from the east side property line along Bird Drive.</p> <p>Side (West/Interior): The townhome unit on subplot 3 is setback 12 feet from the west side property line. The townhome unit on subplot 1 is setback 18.8 feet from the west side property line.</p> <p>Rear (South/Interior): The townhome unit on subplot 2 is setback 20 feet from the rear property line. The townhome unit on subplot 1 is setback 18.8 feet from the rear property line.</p> <p>At-grade patios on townhouse sublots 2, 3, and 4 extend into the required setback areas, which is permitted pursuant to KMC §17.128.020.H.</p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.12.030 | Building Height |
| | | | Staff Comments | <p>Maximum Permitted: 35 feet</p> <p>Proposed:</p> <p>The building sections on Sheet A7 of the project plans (Exhibit A) specify each townhome unit’s maximum height from the highest point of the roof to lowest grade. All townhome units are less than 35 feet in height from lowest existing grade.</p> <p>Townhome Unit Sublot 1: 33’-7”</p> <p>Townhome Unit Sublot 2: 33’-4”</p> <p>Townhome Unit Sublot 3: 34’-5”</p> <p>Townhome Unit Sublot 4: 34’-1”</p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.125.030H | Curb Cut |
| | | | Staff Comments | <p>Required:</p> <p>A maximum of 35% of the linear footage of any street frontage may be devoted to access off-street parking. Corner lots may select either or both streets as access but shall still not devote more than 35% of the total linear footage of street frontage to access off-street parking.</p> <p>Proposed:</p> <p>The dimensions of the driveway access widths are specified on Sheet L-1.0 of the project plans.</p> <p>Sublot 3 Driveway Access Width Along Rember Street: 16’-3”</p> <p>Sublot 4 Driveway Access Width Along Rember Street: 16’-3”</p> <p>Sublot 2 Driveway Access Width Along Bird Drive: 16’-3”</p> |

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|-------------------------------------|--------------------------|--------------------------|-----------------------|--|
| | | | | <p>Sublot 1 Private Driveway Width Along Bird Drive: 14'</p> <p>As noted on the site plan (Sheet L-1.0) and the preliminary plat, a 20-foot-wide access easement is provided on subplot 2 for ingress, egress, public utilities, and emergency vehicle access to benefit interior subplot 1. While the access easement is 20 feet wide, the width of the improved driveway access to subplot 1 is 14 feet wide.</p> <p>27% (32.5' driveway/120.72' street frontage) of the property's street frontage along Rember Street will be dedicated to off-street parking access.</p> <p>22% (30.25' driveway/136.89' street frontage) of the street frontage along Bird Drive will be dedicated to off-street parking access.</p> <p>Pursuant to KMC §17.96.060.G3, vehicle, bicycle, and pedestrian traffic shall flow safely within the project and onto adjacent streets. Prior to issuance of a building permit for the project, the City Engineer and Streets Department shall review the civil drawings to ensure adequate sight distances and proper signage for the proposed driveway accesses.</p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.125.040 | <p>Parking Spaces</p> <p>Off-street parking standards apply to any new development and to any new established uses.</p> <p>Required: Multiple-Family Residential Dwelling Units in the GR-H Zone Units 2,001 square feet and above: 2 parking spaces</p> <p>Proposed: All townhome units exceed 2,001 square feet. Each townhome unit has its own attached 2-car garage.</p> |
| | | | Staff Comments | |

Table 3: Design Review Standards Evaluation

| Design Review Improvements and Standards (KMC §17.96.060) | | | | |
|---|--------------------------|--------------------------|-----------------------------|--|
| Yes | No | N/A | City Code | City Standards and Staff Comments |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.96.060.A1 Streets | The applicant shall be responsible for all costs associated with providing a connection from an existing city street to their development. |
| | | | Staff Comments | No new streets are proposed with this development. The townhome units on sublots 3 and 4 will be accessed from Rember Street. The townhome unit on subplot 2 will be accessed along Bird Drive. The townhome unit on subplot 1 will be accessed from a 14-foot-wide improved private driveway that connects to Bird Drive through a 20-foot-wide access easement on subplot 2. Pursuant to KMC §17.96.060.G3, vehicle, bicycle, and pedestrian traffic shall flow safely within the project and onto adjacent streets. Prior to issuance of a building permit for the project, the City Engineer and Streets |

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| | | | | Department shall review the civil drawings to ensure adequate sight distances and proper signage for the proposed driveway accesses. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.96.060.A2 Streets | All street designs shall be approved by the City Engineer. |
| | | | Staff Comments | The City Engineer has reviewed the townhome development's proposed circulation design. Pursuant to KMC §17.96.060.G3, vehicle, bicycle, and pedestrian traffic shall flow safely within the project and onto adjacent streets. Prior to issuance of a building permit for the project, the City Engineer and Streets Department shall review the civil drawings to ensure adequate sight distances and proper signage for the proposed driveway accesses. The circulation design shall be indicated on civil drawings stamped by an Idaho-licensed engineer (KMC §12.04.020.C.3) included with the project plans submitted with the building permit application for final review and approval by the City Engineer and Streets Department prior to issuance of a building permit for the project. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.96.060.B1 Sidewalks | All projects under 17.96.010(A) that qualify as a "Substantial Improvement" shall install sidewalks as required by the Public Works Department. |
| | | | Staff Comments | <p>While the Westcliff Townhomes project qualifies as a substantial improvement, sidewalks are not required to be installed within this residential neighborhood.</p> <p>The applicant shall improve the right-of-way (ROW) adjacent to the front property line along Rember Street and the street side property line along Bird Drive to City ROW standards for residential roadways. The required right-of-way improvements are indicated on Sheet C2 of the project plans (Exhibit A). Material shall be pervious/permeable to allow drainage. Surface must allow for vehicle parking and be consistent along the entire property frontage. Material within the first eight (8) feet from edge of asphalt shall be distinct from driveway and rest of property in order to visually appear to be available for parking. Grading and drainage improvements must meet the following standards: minimum 5% slope, no obstructions, such as boulders or berms, no buried irrigation systems within the first eight (8) from the edge of asphalt, and no subsurface irrigation lines are permitted beyond the first eight (8) feet, however popup heads are not permitted anywhere in the ROW. No live plant material within the first eight (8) feet from edge of asphalt. Low ground cover plant material, such as turf grass, is permitted beyond the first eight (8) feet. Drought-tolerant species is preferred.</p> <p>Final civil drawings for all associated ROW improvements shall be submitted with the building permit application to be reviewed and approved by the City Engineer and Streets Department prior to issuance of a building permit for the project.</p> |

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| | | | | See Table 1 for comments and conditions from the City Engineer & Streets Department. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.96.060.B2 Sidewalks | Sidewalk width shall conform to the City’s right-of-way standards, however the City Engineer may reduce or increase the sidewalk width and design standard requirements at their discretion. |
| | | | Staff Comments | The City Engineer has determined that sidewalks are not required to be installed within this residential neighborhood. The applicant shall improve the right-of-way (ROW) adjacent to the front property line along Rember Street and the street side property line along Bird Drive to City ROW standards for residential roadways. Final civil drawings for all associated ROW improvements shall be submitted with the Building Permit application to be verified, reviewed, and approved by the City Engineer and Streets Department prior to issuance of a building permit for the project. See Table 1 for review comments and conditions from the City Engineer & Streets Department. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.96.060.B3 Sidewalks | Sidewalks may be waived if one of the following criteria is met: <ul style="list-style-type: none"> a. The project comprises an addition of less than 250 square feet of conditioned space. b. The City Engineer finds that sidewalks are not necessary because of existing geographic limitations, pedestrian traffic on the street does not warrant a sidewalk, or if a sidewalk would not be beneficial to the general welfare and safety of the public. |
| | | | Staff Comments | The City Engineer has determined that sidewalks are not required to be installed within this residential neighborhood. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.96.060.B4 Sidewalks | The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street. |
| | | | Staff Comments | The City Engineer has determined that sidewalks are not required to be installed within this residential neighborhood. The applicant shall improve the right-of-way (ROW) adjacent to the front property line along Rember Street and the street side property line along Bird Drive to City ROW standards for residential roadways. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.96.060.B5 Sidewalks | New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building. |
| | | | Staff Comments | N/A. The City Engineer has determined that sidewalks are not required to be installed within this residential neighborhood. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.96.060.B6 Sidewalks | The City may approve and accept voluntary cash contributions in-lieu of the above described improvements, which contributions must be |

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| | | | | <p>segregated by the City and not used for any purpose other than the provision of these improvements. The contribution amount shall be one hundred ten percent (110%) of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the City Engineer. Any approved in-lieu contribution shall be paid before the City issues a certificate of occupancy.</p> |
| | | | Staff Comments | N/A. The City Engineer has determined that sidewalks are not required to be installed within this residential neighborhood. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.96.060.C1 Drainage | All storm water shall be retained on site. |
| | | | Staff Comments | <p>The drainage system must keep all storm water within the project site. Storm water is prohibited from draining onto the Rember Street or Bird Drive rights-of-way. All drainage improvements must meet city standards. Drainage improvements are indicated on Sheet C1, C2, C3, and L2 of the project plans (Exhibit A). Proposed drainage improvements include a system of drywells, catch basins, and storm drain pipes.</p> <p>Prior to issuance of a building permit for the project, the applicant shall submit a final drainage plan indicating grading, catch basins, piping, and drywells (KMC §17.96.040.C.2b & KMC §17.96.060.C.1-4) prepared by a civil engineer licensed in the state to be submitted for review and approval by the City Engineer and Streets Department. Additionally, the applicant shall submit geotechnical report with the building permit application for review by the City Engineer. As noted in the Utilities Department’s comments, all drywells must have proper separation from potable water lines. See Table 1 for City Department comments and conditions.</p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.96.060.C2 Drainage | Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street. |
| | | | Staff Comments | <p>See above analysis for Ketchum Municipal Code §17.96.060C1. All drainage improvements shall be equal to the length of the property lines adjacent to Rember Street and Bird Drive. All drainage improvements shall meet City standards.</p> <p>All drainage improvements shall be indicated on civil plans prepared by an Idaho licensed engineer and require review and approval from the City Engineer & Streets Department prior to issuance of a Building Permit for the project.</p> <p>See Table 1 for comments and conditions from the City Engineer & Streets Department.</p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.96.060.C3 Drainage | The City Engineer may require additional drainage improvements as necessary, depending on the unique characteristics of a site. |

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| | | | Staff Comments | The application will be required to install drainage improvements on to the satisfaction of the City Engineer. A final drainage plan prepared by a civil engineer licensed in the state of Idaho shall be submitted with the building permit application to be reviewed and approved by the City Engineer and the Streets Department. The City Engineer may require additional drainage improvements as necessary. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.96.060.C.4 Drainage | Drainage facilities shall be constructed per City standards. |
| | | | Staff Comments | All drainage facilities within the project site and the public right-of-way shall meet city standards. Final drainage specifications must be included with the civil drawings submitted with the building permit application to be reviewed and approved by the City Engineer & Streets Department. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.96.060.D1 Utilities | All utilities necessary for the development shall be improved and installed at the sole expense of the applicant. |
| | | | Staff Comments | <p>The property owner/developer and all successors in interest are responsible for the installation, maintenance, repair, and other costs associated with the private water and sewer lines serving the property.</p> <p>Each detached townhome unit shall have separate water and sewer services. Connection fees are determined based on water and sewer meter sizes. The applicant shall have the proposed water and sewer service connection line and meter sizes verified by an Idaho-licensed plumber or mechanical engineer. The service line connections shall be installed to City standards.</p> <p>The City must approve the timing of the water and sewer connections to the municipal systems due to groundwater on the subject property. The contractor may tap the main upon inspection and approval by the Utilities Department.</p> <p>As specified in the Phased Development Agreement, by December 30, 2022 or prior to obtaining Certificate of Occupancy for the first townhome unit, each townhouse subplot shall be adequately served by both water and sewer services as shown on Sheets C1-C3 of the project plans.</p> <p>The project plans show the applicant intends to use an existing stub for the sewer service connection to serve the townhome unit located on subplot 4. Any existing stubs connecting to the property that are not proposed to be used for the new multi-family residential development must be cut and capped at the main.</p> <p>The final civil drawings shall be approved by DEQ prior to issuance of a building permit for the project.</p> |

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| | | | | Requirements and specifications for the water and sewer connections will be verified, reviewed, and approved by the Utilities and Wastewater departments prior to issuance of a building permit for the project. |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | <input type="checkbox"/> | 17.96.060.D2 Utilities | Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view. |
| | | | Staff Comments | <p>All utilities within the development site shall be underground and concealed from public view.</p> <p>As indicated on Sheet C2 of the project plans, the existing power pole adjacent to the front property line within the Rember Street right-of-way will be removed.</p> <p>The project plans indicate the installation of new transformer to serve the townhome development on the southeast corner of subplot 4. As indicated on Sheet L-3.0, the transformer is proposed to be screened from public view by a 3-foot tall concrete site wall and 3 aspen trees. The existing sector box at the northeast corner of the project site at intersection of Rember Street and Bird Drive is proposed to be screened by ornamental grasses and a 3.5-foot-tall concrete site wall. The applicant has submitted a letter from Idaho Power dated April 21, 2021 stating that the proposed screening does not comply with their clearance requirements. The applicant must propose a solution that complies with all Ketchum Municipal Code screening standards and Idaho Power Company clearance requirements.</p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.96.060.D3 Utilities | When extension of utilities is necessary all developers will be required to pay for and install two (2") inch SDR11 fiber optical conduit. The placement and construction of the fiber optical conduit shall be done in accordance with city of Ketchum standards and at the discretion of the City Engineer. |
| | | | Staff Comments | The applicant is aware of this requirement to install services for high-speed internet to the site. The applicant will work with the City Engineer to identify if additional fiber optical conduit is required to be installed for the new multi-family residential development. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.96.060.E1 Compatibility of Design | The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures. |
| | | | Staff Comments | The project's exterior materials include metal panels, stone veneer, and horizontal cedar siding. The exterior materials are specified on the elevations shown on Sheet A5 of the project plans. The specifications and colors for the project's proposed exterior materials are included on Sheet A8 of the project plans. All 4 townhome units share the same exterior material patterns and color palette. |

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| | | | | <p>The site is adjacent to: (a) West Ketchum Residences townhome development currently under construction to the south, (b) the Bavarian Village Townhomes currently under construction to the west, and (c) the Westwood Townhomes to the east, and (d) the Residences at River Lodges to the north.</p> <p>The neighboring Westwood Townhomes, Bavarian Village Townhomes, and the Residences at River Lodges are characterized by a more traditional design style, including pitched roofs. The Westcliff Townhomes development is more to the West Ketchum Residences currently under construction as both projects are characterized by modern design elements like flat roofing forms. While the architectural design styles range from traditional to modern, all neighboring townhome developments complement each other through their natural exterior materials, including wood siding and stone veneer, and similar color palettes, including beige, brown, gray, and white.</p> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <p>17.96.060.E2 Compatibility of Design</p> <p>Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.</p> | <p>Staff Comments</p> <p>N/A. No significant landmarks of historical or cultural importance have been identified on the property. The site is vacant and the townhome development is an infill project.</p> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | <p>17.96.060.E3 Compatibility of Design</p> <p>Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to.</p> | <p>Staff Comments</p> <p>N/A This standard does not apply because the project is new construction.</p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <p>17.96.060.F1 Architectural</p> <p>Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined.</p> | <p>Staff Comments</p> <p>The front door of each townhome unit is framed by projecting side wing wall comprised of metal panels and the central stone-veneer column. The front entrance is covered by the second-level balcony cantilever overhead. The entrances lead to at-grade paver patios that connect to each driveway. The City Engineer has determined that sidewalks are not required to be installed within this residential neighborhood. Pedestrian and bicycle access is provided within the low-traffic residential streets.</p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <p>17.96.060.F2 Architectural</p> <p>The building character shall be clearly defined by use of architectural features.</p> | <p>Staff Comments</p> <p>The front façade of each townhome unit is distinguished by the stone veneer column that covers the building’s interior core circulation, which includes both a staircase and elevator. This stone veneer column vertically integrates all three levels of the building and grounds each townhome unit to the project site. This column also</p> |

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| | | | | divides each townhome into two distinct masses. These two-story and three-story masses are distinguished by modern design elements, including flat roofs and cantilevered overhangs. Additionally, the townhomes include upper-level balconies and decks that further define the building and minimize the appearance of building bulk and mass. The front, rear, and side façades all incorporate both rectangular metal panels and horizontal cedar siding with rectangular window openings. This material differential provides visual interest across all facades. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.96.060.F3 Architectural | There shall be continuity of materials, colors and signing within the project. |
| | | | Staff Comments | The project’s exterior materials include metal panels, stone veneer, and horizontal cedar siding. The exterior materials are specified on the elevations shown on Sheet A5 of the project plans. The specifications and colors for the project’s proposed exterior materials are included on Sheet A8 of the project plans. All 4 townhome units share the same exterior material patterns and color palette. The front, rear, and side façades all incorporate both rectangular metal panels and horizontal cedar siding with rectangular window openings. This material differential provides visual interest across all facades. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.96.060.F4 Architectural | Accessory structures, fences, walls and landscape features within the project shall match or complement the principal building. |
| | | | Staff Comments | The project does not propose any accessory structures. The project’s site improvements include landscaping, privacy fences, and concrete site walls. The landscape plan is provided on Sheet L-3.0 of the project plans (Exhibit A). Landscaping includes evergreen trees (Subalpine Fir), deciduous trees (Russian Hawthorn and Aspen), shrubs groupings, and ornamental grasses. The proposed landscaping softens the rectangular mass of each townhome unit and provides screening between the project and neighboring developments. The applicant has proposed a series of concrete site-walls along the front and street side property lines that frame the townhome development. All site-walls are less than 4 feet in height and are softened by shrubs and ornamental grasses. The applicant has proposed a 6-foot-tall privacy fence to screen the private driveway accessing subplot 1. The privacy screen is comprised of a stained concrete base with steel posts and cedar boards. An elevation of the privacy screen is provided on Sheet L-2.0 of the project plans. The site walls’ and privacy fences’ concrete, steel, and cedar complement each townhome units’ natural exterior materials and colors. The concrete site walls and privacy fences comply with the maximum height permitted for fences, hedges, and walls pursuant to KMC §17.124.130. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.96.060.F5 Architectural | Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness. |

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| | | | Staff Comments | The front façade of each townhome unit is distinguished by the stone veneer column that covers the building’s interior core circulation, which includes both a staircase and elevator. This stone veneer column vertically integrates all three levels of the building and grounds each townhome unit to the project site. This column also divides each townhome into two distinct masses. These two-story and three-story masses are distinguished by modern design elements, including flat roofs and cantilevered overhangs. Additionally, the townhomes include upper-level balconies and decks that further define the building and minimize the appearance of building bulk and mass. The front, rear, and side façades all incorporate both rectangular metal panels and horizontal cedar siding with rectangular window openings. This material differential provides visual interest across all facades. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.96.060.F6 Architectural | Building(s) shall orient towards their primary street frontage. |
| | | | Staff Comments | The townhomes on sublots 3 and 4 orient towards their primary street frontage along Rember Street. The townhome unit on subplot 2 orients towards its primary street frontage along Bird Drive. The interior townhome unit on subplot 2 orients towards the private driveway to the south. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.96.060.F7 Architectural | Garbage storage areas and satellite receivers shall be screened from public view and located off alleys. |
| | | | Staff Comments | Each townhome unit have its own trash and recycling bins stored and screened from public view within the attached, enclosed garages. The applicant has submitted a letter from Clear Creek Disposal approving the townhome development’s garbage disposal configuration (Exhibit B). Clear Creek Disposal will only collect the garbage and recycling bins from Rember Street and Bird Drive—no trash collection will occur along the private driveway that accesses the interior townhome unit on subplot 1. The owners of the townhome units on sublots 3 and 4 will wheel their garbage and recycling bins from the garage to the front property line along Rember Street for trash collection. The owners of the townhome units on sublots 1 and 2 will wheel their garbage and recycling bins from the garage to the street side property line along Bird Drive for trash collection. Special services are required because the townhomes are accessed off a private driveway. The letter indicates that Clear Creek will serve the address with the developer’s assurance that the entire width of the driveway will be properly plowed and sanded. The project plans do not indicate the installation of any satellite receivers. Any future installations of satellite receivers must be screened from public view. |

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| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.96.060.F8 Architectural | Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties. |
| | | | Staff Comments | The building design includes weather protection that prevents water from dripping or snow from sliding onto areas where pedestrians gather and circulate and onto adjacent properties. As indicated on Sheet A4, the flat roof includes a system of internal drains connected to external drywells through drain pipes. The front entrance is covered by the cantilever of the second-level balcony. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.96.060.G1 Circulation Design | Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways. |
| | | | Staff Comments | The townhome units' entrances lead to at-grade paver patios that connect to each driveway. The City Engineer has determined that sidewalks are not required to be installed within this residential neighborhood. Pedestrian and bicycle access is provided within the low-traffic residential streets. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.96.060.G2 | Awnings extending over public sidewalks shall extend five (5') feet or more across the public sidewalk but shall not extend within two (2') feet of parking or travel lanes within the right of way. |
| | | | Circulation Design | N/A. No awnings are proposed to extend across the public sidewalk. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.96.060.G3 Circulation Design | Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage. |
| | | | Staff Comments | The townhome units on sublots 3 and 4 will be accessed from Rember Street. The townhome unit on subplot 2 will be accessed along Bird Drive. The townhome unit on subplot 1 will be accessed from a 14-foot-wide improved private driveway that connects to Bird Drive through a 20-foot-wide access easement on subplot 2. The preliminary plat and civil drawings indicate that the AASHTO sight distance triangle from the intersection of Rember Street and Bird Drive is unobstructed. Prior to issuance of a building permit for the project, the City Engineer and Streets Department shall review the civil drawings to ensure adequate sight distances and proper signage for the proposed driveway access. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.96.060.G4 Circulation Design | Curb cuts and driveway entrances shall be no closer than twenty (20') feet to the nearest intersection of two or more streets, as measured along the property line adjacent to the right of way. Due to site conditions or current/projected traffic levels or speed, the City Engineer may increase the minimum distance requirements. |

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| | | | Staff Comments | As specified on Sheet L-1.0, the driveway entrance to the townhome unit on subplot 4 is located 33.2' from the intersection of Rember Street with Bird Drive. The preliminary plat and civil drawings indicate that the AASHTO sight distance triangle from the intersection of Rember Street and Bird Drive is unobstructed. Prior to issuance of a building permit for the project, the City Engineer and Streets Department shall review the civil drawings to ensure adequate sight distances and proper signage for the proposed driveway access. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.96.060.G5 Circulation Design | Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project. |
| | | | Staff Comments | The new multi-family residential development provides unobstructed access for emergency vehicles, snowplows, garbage trucks, and other services vehicles. Unobstructed access to the townhome units on sublots 3 and 4 is provided from Rember Street. Unobstructed access to the townhome unit on subplot 2 is provided from Bird Drive. Unobstructed access to the interior townhome unit on subplot 1 is provided from the 20-foot-wide access easement the border the rear property line on subplot 2 and connected to Bird Drive. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.96.060.H1 Snow Storage | Snow storage areas shall not be less than thirty percent (30%) of the improved parking and pedestrian circulation areas. |
| | | | Staff Comments | As permitted by KMC §17.96.060.H4, the applicant has included a snowmelt system for all improved parking and pedestrian circulation areas instead of providing on-site snow storage areas. As indicated on Sheet L-2.0, the driveways, at-grade patios, and walkways are improved with heated pavers. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.96.060.H2 Snow Storage | Snow storage areas shall be provided on-site. |
| | | | Staff Comments | As permitted by KMC §17.96.060.H4, the applicant has included a snowmelt system for all improved parking and pedestrian circulation areas instead of providing on-site snow storage areas. As indicated on Sheet L-2.0, the driveways, at-grade patios, and walkways are improved with heated pavers. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.96.060.H3 Snow Storage | A designated snow storage area shall not have any dimension less than five (5') feet and shall be a minimum of twenty-five (25) square feet. |
| | | | Staff Comments | As permitted by KMC §17.96.060.H4, the applicant has included a snowmelt system for all improved parking and pedestrian circulation areas instead of providing on-site snow storage areas. As indicated on Sheet L-2.0, the driveways, at-grade patios, and walkways are improved with heated pavers. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.96.060.H4 Snow Storage | In lieu of providing snow storage areas, snow melt and hauling of snow may be allowed. |

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| | | | Staff Comments | As permitted by KMC §17.96.060.H4, the applicant has included a snowmelt system for all improved parking and pedestrian circulation areas instead of providing on-site snow storage areas. As indicated on Sheet L-2.0, the driveways, at-grade patios, and walkways are improved with heated pavers. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.96.060.I1 Landscaping | Landscaping is required for all projects. |
| | | | Staff Comments | The landscape plan is provided on Sheet L-3.0 of the project plans (Exhibit A). Landscaping includes evergreen trees (Subalpine Fir), deciduous trees (Russian Hawthorn and Aspen), shrubs groupings, and ornamental grasses. The proposed landscaping softens the rectangular mass of each townhome unit and provides screening between the project and neighboring developments. The applicant has proposed a series of concrete site-walls along the front and street side property lines that frame the townhome development. All site-walls are less than 4 feet in height and are softened by shrubs and ornamental grasses. The applicant has proposed a 6-foot-tall privacy fence to screen the private driveway accessing subplot 1. The privacy screen is comprised of a stained concrete base with steel posts and cedar boards. An elevation of the privacy screen is provided on Sheet L-2.0 of the project plans. The site walls' and privacy fences' concrete, steel, and cedar complement each townhome units' natural exterior materials and colors. The concrete site walls and privacy fences comply with the maximum height permitted for fences, hedges, and walls pursuant to KMC §17.124.130. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.96.060.I2 Landscaping | Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape. |
| | | | Staff Comments | The landscape plan is provided on Sheet L-3.0 of the project plans (Exhibit A). Landscaping includes evergreen trees (Subalpine Fir), deciduous trees (Russian Hawthorn and Aspen), shrubs groupings, and ornamental grasses. The proposed landscaping softens the rectangular mass of each townhome unit and provides screening between the project and neighboring developments. The applicant has proposed a series of concrete site-walls along the front and street side property lines that frame the townhome development. All site-walls are less than 4 feet in height and are softened by shrubs and ornamental grasses. The applicant has proposed a 6-foot-tall privacy fence to screen the private driveway accessing subplot 1. The privacy screen is comprised of a stained concrete base with steel posts and cedar boards. An elevation of the privacy screen is provided on Sheet L-2.0 of the project plans. The concrete, steel, and cedar materials provided with the fences and site walls complement each townhome units' natural exterior materials and colors. The concrete site walls |

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| | | | | and privacy fences comply with the maximum height permitted for fences, hedges, and walls pursuant to KMC §17.124.130. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.96.060.I3 Landscaping | All trees, shrubs, grasses and perennials shall be drought tolerant. Native species are recommended but not required. |
| | | | Staff Comments | All proposed landscape materials and vegetation types shall be drought tolerant. The applicant is encouraged to select native species. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.96.060.I4 Landscaping | Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged. |
| | | | Staff Comments | The landscape plan is provided on Sheet L-3.0 of the project plans (Exhibit A). Landscaping includes evergreen trees (Subalpine Fir), deciduous trees (Russian Hawthorn and Aspen), shrubs groupings, and ornamental grasses. The proposed landscaping softens the rectangular mass of each townhome unit and provides screening between the project and neighboring developments. The applicant has proposed a series of concrete site-walls along the front and street side property lines that frame the townhome development. All site-walls are less than 4 feet in height and are softened by shrubs and ornamental grasses. The applicant has proposed a 6-foot-tall privacy fence to screen the private driveway accessing subplot 1. The privacy screen is comprised of a stained concrete base with steel posts and cedar boards. An elevation of the privacy screen is provided on Sheet L-2.0 of the project plans. The concrete, steel, and cedar materials provided with the fences and site walls complement each townhome units' natural exterior materials and colors. The concrete site walls and privacy fences comply with the maximum height permitted for fences, hedges, and walls pursuant to KMC §17.124.130. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.96.060.J1 Public Amenities | Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All public amenities shall receive approval from the Public Works Department prior to design review approval from the Commission. |
| | | | Staff Comments | The City Engineer has determined that sidewalks are not required for this project in this residential neighborhood. |

Table 4: Townhouse Subdivision Requirements

| Townhouse Plat Requirements | | | | |
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| Compliant | | | Standards and Staff Comments | |
| Yes | No | N /A | City Code | City Standards and Staff Comments |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.04.080.B | Townhouse Owners' Documents: The subdivider of the townhouse project shall submit with the preliminary plat application a copy of the proposed party wall agreement and any proposed document(s) creating an association of owners of the proposed townhouse sublots, which shall adequately |

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| | | | | provide for the control and maintenance of all commonly held facilities, garages, parking and/or open spaces. Prior to final plat approval, the subdivider shall submit to the city a final copy of such documents and shall file such documents prior to recordation of the plat, which shall reflect the recording instrument numbers. |
| | | | Staff Comments | The applicant has submitted a complete preliminary plat application including the CC&Rs. The applicant shall submit a final copy of the Townhouse Declaration and CC&Rs document to the Planning & Building Department and file such document prior to recordation of the final plat. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.04.080.C.1 | <p>Preliminary Plat Procedure: Townhouse developments shall be administered consistent with the procedures and design and development regulations established in §16.04.030 and §16.04.040 and the standards of this subsection.</p> <p>All townhouse developments shall be platted under the procedures contained in the subdivision ordinance in effect and shall be required to obtain design review approval prior to building permit issuance.</p> |
| | | | Staff Comments | The townhouse subdivision shall be platted under the procedures contained in the subdivision ordinance. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.04.080.C.2 | <p>The subdivider may apply for preliminary plat approval from the commission pursuant to subsection 16.04.030D of this chapter at the time application is made for design review approval pursuant to title 17, chapter 17.96 of this code. The commission may approve, deny or conditionally approve such preliminary plat upon consideration of the action taken on the application for design review of the project.</p> |
| | | | Staff Comments | The townhome subdivision preliminary plat and design review applications for the development are being reviewed concurrently. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.04.080.C.3 | <p>The preliminary plat, other data, and the commission's findings may be transmitted to the council prior to commencement of construction of the project under a valid building permit issued by the City. The council shall act on the preliminary plat pursuant to subsection 16.04.030E and F of this chapter.</p> |
| | | | Staff Comments | The preliminary plat, phased development agreement, and the Planning & Zoning Commission's findings will be transmitted to the City Council for their review and approval prior to the issuance of a building permit for the project. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.04.080.C.4 | <p>In the event a phased townhouse development project is proposed, after preliminary plat is granted for the entirety of a project, the final plat procedure for each phase of a phased development project shall follow §16.04.030.G and comply with the additional provisions of §16.04.110 of this code.</p> |
| | | | Staff Comments | The applicant has proposed a phased development project. The Phased Development Agreement is attached as Exhibit D to the Staff Report. The final plat procedure for each phase shall follow KMC §16.04.030.G and comply with the additional provisions of KMC §16.04.110. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.04.080.D | D. Final Plat Procedure: |

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| | | | | <p>1. The final plat procedure contained in subsection 16.04.030G of this chapter shall be followed. However, the final plat shall not be signed by the city clerk and recorded until the townhouse has received either:</p> <p style="padding-left: 40px;">a. A certificate of occupancy issued by the city of Ketchum for all structures in the townhouse development and completion of all design review elements as approved by the planning and zoning administrator; or</p> <p style="padding-left: 40px;">b. Signed council approval of a phased development project consistent with §16.04.110 herein.</p> <p>2. The council may accept a security agreement for any design review elements not completed on a case by case basis pursuant to title 17, chapter 17.96 of this code.</p> |
| | | | Staff Comments | The applicant shall follow the final plat procedure as specified in the City's subdivision ordinance and as specified in the Phased Development Agreement. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.04.080.E.1 | <p>E. Required Findings: In addition to all Townhouse Developments complying with the applicable provisions of Title 17 and this Subdivision Chapter (§16.04), the Administrator shall find that</p> <p>All Townhouse Developments, including each individual subplot, shall not exceed the maximum building coverage requirements of the zoning district.</p> |
| | | | Staff Comments | The townhome project is located within the General Residential High Density (GR-H) Zone. The townhomes development has a Floor Area Ratio of 0.73 (12,148 gross square feet/16,574 square feet lot area). |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.04.080.E.2 | <p>Garage: All garages shall be designated on the preliminary and final plats and on all deeds as part of the particular townhouse units. Detached garages may be platted on separate sublots; provided, that the ownership of detached garages is tied to specific townhouse units on the townhouse plat and in any owner's documents, and that the detached garage(s) may not be sold and/or owned separate from any dwelling unit(s) within the townhouse development.</p> |
| | | | Staff Comments | Each townhome unit includes an attached and enclosed 2-car garage. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.04.080.E.3 | <p>General Applicability: All other provisions of this chapter and all applicable ordinances, rules and regulations of the city and all other governmental entities having jurisdiction shall be complied with by townhouse subdivisions. (Ord. 1061 § 3, 2009: Ord. 879 § 4, 2001: Ord. 460 § 2, 1987)</p> |
| | | | Staff Comments | This townhouse subdivision will comply with all applicable local, state, and federal ordinances, rules, and regulations. |

Table 5: Preliminary Plat Requirements (all subdivisions)

| Preliminary Plat Requirements | | | | |
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| Compliant | | | Standards and Staff Comments | |
| Yes | No | N/A | City Code | City Standards and Staff Findings |
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| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.04.030.C.1 | The subdivider shall file with the administrator copies of the completed subdivision application form and preliminary plat data as required by this chapter. |
| | | | Findings | The application has been reviewed and determined to be complete. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.04.030.J | Application and Preliminary Plat Contents: The preliminary plat, together with all application forms, title insurance report, deeds, maps, and other documents reasonably required, shall constitute a complete subdivision application. The preliminary plat shall be drawn to a scale of not less than one inch equals one hundred feet (1" = 100') and shall show the following: |
| | | | Findings | All required materials for the preliminary plat application have been submitted. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.04.030.I.1 | The scale, north point and date. |
| | | | Findings | This standard has been met. The preliminary plat contains a scale, north point, and date. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.04.030.J.2 | The name of the proposed subdivision. |
| | | | Findings | This standard has been met. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.04.030.J.3 | The name and address of the owner of record, the subdivider, and the engineer, surveyor, or other person preparing the plat. |
| | | | Findings | This information has been provided on the application form and indicated on the Preliminary Plat. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.04.030.J.4 | Legal description of the area platted. |
| | | | Findings | This standard has been met. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.04.030.J.5 | The names and the intersecting boundary lines of adjoining subdivisions and parcels of property. |
| | | | Findings | This standard has been met. The neighboring Bavarian Village Townhomes and the West Ketchum Residences currently under construction are indicated on the plat map. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.04.030.J.6 | A contour map of the subdivision with contour lines and a maximum interval of two feet (2') to show the configuration of the land based upon the United States geodetic survey data, or other data approved by the city engineer. |
| | | | Findings | This project plans include a topographic map. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.04.030.J.7 | The scaled location of existing buildings, water bodies and courses and location of the adjoining or immediately adjacent dedicated streets, roadways and easements, public and private. |
| | | | Findings | Rember Street and Bird Drive are indicated on the plat. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.04.030.J.8 | Boundary description and the area of the tract. |
| | | | Findings | This boundary description and the area of the tract is noted on the Preliminary Plat. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.04.030.J.9 | Existing zoning of the tract. |
| | | | Findings | The property is within the GR-H Zone. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.04.030.J.10 | The proposed location of street rights of way, lots, and lot lines, easements, including all approximate dimensions, and including all proposed lot and block numbering and proposed street names. |

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| | | | Findings | This standard has been met. No new streets are proposed. The 20-foot-wide access easement is specified within plat note 5 and the location and dimensions of the access easement are designated as parcel A on the plat map. The subplot lines and dimensions are indicated on the preliminary plat map. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16.04.030.J.11 | The location, approximate size and proposed use of all land intended to be dedicated for public use or for common use of all future property owners within the proposed subdivision. |
| | | | Findings | The townhome development does not provide any land intended to be dedicated for public use or for the common use of all future property owners within the proposed subdivision. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.04.030.J.12 | The location, size and type of sanitary and storm sewers, water mains, culverts and other surface or subsurface structures existing within or immediately adjacent to the proposed sanitary or storm sewers, water mains, and storage facilities, street improvements, street lighting, curbs, and gutters and all proposed utilities. |
| | | | Findings | The project plans indicate the locations of all utilities that will serve the townhome development. The Phased Development Agreement (Exhibit D) includes the required construction and completion scheduled for the required improvements and designates the owner's maintenance responsibilities. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.04.030.J.13 | The direction of drainage, flow and approximate grade of all streets. |
| | | | Findings | The project plans include drainage improvements. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.04.030.J.14 | The location of all drainage canals and structures, the proposed method of disposing of runoff water, and the location and size of all drainage easements, whether they are located within or outside of the proposed plat. |
| | | | Findings | All drainage improvements have been indicated on the project plans. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.04.030.J.15 | Vicinity map drawn to approximate scale showing the location of the proposed subdivision in reference to existing and/or proposed arterials and collector streets. |
| | | | Findings | The project plans include a vicinity map. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16.04.030.J.16 | The boundaries of the floodplain, floodway and avalanche overlay district shall also be clearly delineated and marked on the preliminary plat or a note provided if the entire project is in the floodplain, floodway or avalanche overlay district. |
| | | | Findings | N/A. The property is not currently mapped to be in the floodplain/floodway. The property is not located within the avalanche zone. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16.04.030.J.17 | Building envelopes shall be shown on each lot, all or part of which is within a floodway, floodplain, or avalanche zone; or any lot that is adjacent to the Big Wood River, Trail Creek, or Warm Springs Creek; or any lot, a portion of which has a slope of twenty five percent (25%) or greater; or upon any lot which will be created adjacent to the intersection of two (2) or more streets. |
| | | | Findings | N/A. The property is not located within the floodway, floodplain, or avalanche zone. The property does not lie adjacent to a river or creek. |

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| | | | | The lot does not contain slopes of 25% or greater. The project does not create a new lot—the preliminary plat subdivides an exiting corner lot into 4 townhouse sublots. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.04.030.J.18 | Lot area of each lot. |
| | | | Findings | The existing and proposed size of each subplot is indicated. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.04.030.J .19 | Existing mature trees and established shrub masses. |
| | | | Findings | The project plans indicate existing mature trees and shrub masses. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.04.030.J.20 | To be provided to Administrator: |
| | | | | Subdivision names shall not be the same or confused with the name of any other subdivision in Blaine County, Idaho and shall be approved by the Blaine County Assessor. |
| | | | Findings | The Westcliff Townhomes subdivision name is unique and is not the same as another townhouse subdivision in Blaine County. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16.04.030.J.21 | All percolation tests and/or exploratory pit excavations required by state health authorities. |
| | | | Findings | N/A. This project will connect to municipal services. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.04.030.J.22 | A copy of the provisions of the articles of incorporation and bylaws of homeowners' association and/or condominium declarations to be filed with the final plat of the subdivision. |
| | | | Findings | The applicant has submitted a complete preliminary plat application including the CC&Rs. The applicant shall submit a final copy of the Townhouse Declaration and Party Wall Agreement document to the Planning & Building Department and file such document prior to recordation of the final plat. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.04.030.J.23 | A current title report shall be provided at the time that the preliminary plat is filed with the administrator, together with a copy of the owner's recorded deed to such property. |
| | | | Findings | This standard has been met. The applicant has submitted a Title Report and the Last Deed of Record. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.04.030.J.24 | A digital copy of the preliminary plat shall be filed with the administrator. |
| | | | Findings | This standard has been met. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.04.040.A | Required Improvements: The improvements set forth in this section shall be shown on the preliminary plat and installed prior to approval of the final plat. Construction design plans shall be submitted and approved by the city engineer. All such improvements shall be in accordance with the comprehensive plan and constructed in compliance with construction standard specifications adopted by the city. Existing natural features which enhance the attractiveness of the subdivision and community, such as mature trees, watercourses, rock outcroppings, established shrub masses and historic areas, shall be preserved through design of the subdivision. |
| | | | Findings | This standard has been met. Sheet L-1.0 indicates existing trees and vegetation to be removed. The landscape plans on Sheets L-2.0 and L3.0 show the new landscaping proposed with the townhome development, including evergreen trees, deciduous trees, shrubs, and ornamental |

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| | | | | grasses. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.04.040.B | Improvement Plans: Prior to approval of final plat by the commission, the subdivider shall file two (2) copies with the city engineer, and the city engineer shall approve construction plans for all improvements required in the proposed subdivision. Such plans shall be prepared by a civil engineer licensed in the state. |
| | | | Findings | Improvement plans shall be reviewed and approved by City Departments through the building permit application process. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.04.040.C | Prior to final plat approval, the subdivider shall have previously constructed all required improvements and secured a certificate of completion from the city engineer. However, in cases where the required improvements cannot be constructed due to weather conditions or other factors beyond the control of the subdivider, the city council may accept, in lieu of any or all of the required improvements, a performance bond filed with the city clerk to ensure actual construction of the required improvements as submitted and approved. Such performance bond shall be issued in an amount not less than one hundred fifty percent (150%) of the estimated costs of improvements as determined by the city engineer. In the event the improvements are not constructed within the time allowed by the city council (which shall be one year or less, depending upon the individual circumstances), the council may order the improvements installed at the expense of the subdivider and the surety. In the event the cost of installing the required improvements exceeds the amount of the bond, the subdivider shall be liable to the city for additional costs. The amount that the cost of installing the required improvements exceeds the amount of the performance bond shall automatically become a lien upon any and all property within the subdivision owned by the owner and/or subdivider. |
| | | | Findings | The completion of improvements shall follow the construction schedule specified in the Phased Development Agreement attached as Exhibit D to the Staff Report. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.04.040.D | As Built Drawing: Prior to acceptance by the city council of any improvements installed by the subdivider, two (2) sets of as built plans and specifications, certified by the subdivider's engineer, shall be filed with the city engineer. Within ten (10) days after completion of improvements and submission of as built drawings, the city engineer shall certify the completion of the improvements and the acceptance of the improvements, and shall submit a copy of such certification to the administrator and the subdivider. If a performance bond has been filed, the administrator shall forward a copy of the certification to the city clerk. Thereafter, the city clerk shall release the performance bond upon application by the subdivider. |
| | | | Findings | The completion and acceptance of improvements shall follow the construction schedule specified in the Phased Development Agreement attached as Exhibit D to the Staff Report. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.04.040.E | Monumentation: Following completion of construction of the required improvements and prior to certification of completion by the city |

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| | | | | <p>engineer, certain land survey monuments shall be reset or verified by the subdivider's engineer or surveyor to still be in place. These monuments shall have the size, shape, and type of material as shown on the subdivision plat. The monuments shall be located as follows:</p> <ol style="list-style-type: none"> 1. All angle points in the exterior boundary of the plat. 2. All street intersections, points within and adjacent to the final plat. 3. All street corner lines ending at boundary line of final plat. 4. All angle points and points of curves on all streets. 5. The point of beginning of the subdivision plat description. |
| | | | Findings | The applicant shall meet the required monumentation standards prior to recordation of the final plat. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.04.040.F | <p>Lot Requirements:</p> <ol style="list-style-type: none"> 1. Lot size, width, depth, shape and orientation and minimum building setback lines shall be in compliance with the zoning district in which the property is located and compatible with the location of the subdivision and the type of development, and preserve solar access to adjacent properties and buildings. 2. Whenever a proposed subdivision contains lot(s), in whole or in part, within the floodplain, or which contains land with a slope in excess of twenty five percent (25%), based upon natural contours, or creates corner lots at the intersection of two (2) or more streets, building envelopes shall be shown for the lot(s) so affected on the preliminary and final plats. The building envelopes shall be located in a manner designed to promote harmonious development of structures, minimize congestion of structures, and provide open space and solar access for each lot and structure. Also, building envelopes shall be located to promote access to the lots and maintenance of public utilities, to minimize cut and fill for roads and building foundations, and minimize adverse impact upon environment, watercourses and topographical features. Structures may only be built on buildable lots. Lots shall only be created that meet the definition of "lot, buildable" in section 16.04.020 of this chapter. Building envelopes shall be established outside of hillsides of twenty five percent (25%) and greater and outside of the floodway. A waiver to this standard may only be considered for the following: a. For lot line shifts of parcels that are entirely within slopes of twenty five percent (25%) or greater to create a reasonable building envelope, and mountain overlay design review standards and all other city requirements are met. b. For small, isolated pockets of twenty five percent (25%) or greater that are found to be in compliance with the purposes and standards of the mountain overlay district and this section. 3. Corner lots outside of the original Ketchum Townsite shall have a property line curve or corner of a minimum radius of twenty five feet (25') unless a longer radius is required to serve an existing or future use. 4. Side lot lines shall be within twenty degrees (20°) to a right angle or radial line to the street line. 5. Double frontage lots shall not be created. A planting strip shall be provided along the boundary line of lots adjacent to arterial streets or incompatible zoning districts. |

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| | | | | 6. Every lot in a subdivision shall have a minimum of twenty feet (20') of frontage on a dedicated public street or legal access via an easement of twenty feet (20') or greater in width. Easement shall be recorded in the office of the Blaine County recorder prior to or in conjunction with recordation of the final plat.. |
| | | | Findings | Standards 1, 3, 4, 5, and 6 have been met. Standard 1 has been met—the lot and townhouse sublots sizes, widths, and depths comply with the dimensional standards for lots and townhouse sublots required in the GR-H Zone. The proposed townhome development complies with setbacks from front, rear, and side property lines required in the GR-H Zone. Standard 6 has been met. Sublot 3 has 62.26 feet of street frontage along Rember Street, Sublot 4 has 58.46 feet of street frontage along Rember Street, and Sublot 2 has 70.39 of street frontage along Bird Drive. Sublot 1 is accessed from a 20-foot-wide access easement that border the rear property line on subplot 2. Standard 2 is not applicable as the subdivision is not located in the floodplain, mountain overlay, or avalanche zone. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16.04.040.G | G. Block Requirements: The length, width and shape of blocks within a proposed subdivision shall conform to the following requirements: <ol style="list-style-type: none"> 1. No block shall be longer than one thousand two hundred feet (1,200'), nor less than four hundred feet (400') between the street intersections, and shall have sufficient depth to provide for two (2) tiers of lots. 2. Blocks shall be laid out in such a manner as to comply with the lot requirements. 3. The layout of blocks shall take into consideration the natural topography of the land to promote access within the subdivision and minimize cuts and fills for roads and minimize adverse impact on environment, watercourses and topographical features. 4. Except in the original Ketchum Townsite, corner lots shall contain a building envelope outside of a seventy five foot (75') radius from the intersection of the streets. |
| | | | Findings | N/A. No new blocks are proposed. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16.04.040.H.1 | H. Street Improvement Requirements: <ol style="list-style-type: none"> 1. The arrangement, character, extent, width, grade and location of all streets put in the proposed subdivision shall conform to the comprehensive plan and shall be considered in their relation to existing and planned streets, topography, public convenience and safety, and the proposed uses of the land; |
| | | | Findings | N/A. The townhome development is an infill project within an existing subdivision. No new streets are proposed. The townhomes are accessed from Bird Drive, Rember Street, and a private driveway. |

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| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16.04.040.H.2 | 2. All streets shall be constructed to meet or exceed the criteria and standards set forth in chapter 12.04 of this code, and all other applicable ordinances, resolutions or regulations of the city or any other governmental entity having jurisdiction, now existing or adopted, amended or codified; |
| | | | Findings | This proposal does not create a new street. This standard is not applicable. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16.04.040.H.3 | 3. Where a subdivision abuts or contains an existing or proposed arterial street, railroad or limited access highway right of way, the council may require a frontage street, planting strip, or similar design features; |
| | | | Findings | N/A. No street frontage improvements like planting strips are required. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16.04.040.H.4 | 4. Streets may be required to provide access to adjoining lands and provide proper traffic circulation through existing or future neighborhoods; |
| | | | Findings | N/A. This proposal does not create a new street. This standard is not applicable. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16.04.040.H.5 | 5. Street grades shall not be less than three-tenths percent (0.3%) and not more than seven percent (7%) so as to provide safe movement of traffic and emergency vehicles in all weather and to provide for adequate drainage and snow plowing; |
| | | | Findings | N/A. This proposal does not create a new street. This standard is not applicable. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16.04.040.H.6 | 6. In general, partial dedications shall not be permitted, however, the council may accept a partial street dedication when such a street forms a boundary of the proposed subdivision and is deemed necessary for the orderly development of the neighborhood, and provided the council finds it practical to require the dedication of the remainder of the right of way when the adjoining property is subdivided. When a partial street exists adjoining the proposed subdivision, the remainder of the right of way shall be dedicated; |
| | | | Findings | N/A. This proposal does not create a new street. This standard is not applicable. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16.04.040.H.7 | 7. Dead end streets may be permitted only when such street terminates at the boundary of a subdivision and is necessary for the development of the subdivision or the future development of the adjacent property. When such a dead end street serves more than two (2) lots, a temporary turnaround easement shall be provided, which easement shall revert to the adjacent lots when the street is extended; |
| | | | Findings | N/A. This proposal does not create a new dead end street. This standard is not applicable. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16.04.040.H.8 | 8. A cul-de-sac, court or similar type street shall be permitted only when necessary to the development of the subdivision, and provided, that no such street shall have a maximum length greater than four hundred feet (400') from entrance to center of turnaround, and all cul-de-sacs shall have a minimum turnaround radius of sixty feet (60') at the property line and not less than forty five feet (45') at the curb line; |
| | | | Findings | N/A. The townhouse sublots are within an existing subdivision. No new streets are proposed. This standard is not applicable. |

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| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16.04.040.H.9 | 9. Streets shall be planned to intersect as nearly as possible at right angles, but in no event at less than seventy degrees (70°); |
| | | | Findings | N/A. No new streets are proposed with this townhome development. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16.04.040.H.10 | 10. Where any street deflects an angle of ten degrees (10°) or more, a connecting curve shall be required having a minimum centerline radius of three hundred feet (300') for arterial and collector streets, and one hundred twenty five feet (125') for minor streets; |
| | | | Findings | N/A. No new streets are proposed. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16.04.040.H.11 | 11. Streets with centerline offsets of less than one hundred twenty five feet (125') shall be prohibited; |
| | | | Findings | N/A. No new streets are proposed. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16.04.040.H.12 | 12. A tangent of at least one hundred feet (100') long shall be introduced between reverse curves on arterial and collector streets; |
| | | | Findings | N/A. The townhome development is an infill project within a residential neighborhood served by existing streets. No new streets are proposed. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16.04.040.H.13 | 13. Proposed streets which are a continuation of an existing street shall be given the same names as the existing street. All new street names shall not duplicate or be confused with the names of existing streets within Blaine County, Idaho. The subdivider shall obtain approval of all street names within the proposed subdivision from the County Assessor's office before submitting same to council for preliminary plat approval; |
| | | | Findings | N/A. The townhome development is an infill project within a residential neighborhood served by existing streets. No new streets are proposed. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16.04.040.H.14 | 14. Street alignment design shall follow natural terrain contours to result in safe streets, usable lots, and minimum cuts and fills; |
| | | | Findings | N/A. The townhome development is an infill project within a residential neighborhood served by existing streets. No new streets are proposed. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16.04.040.H.15 | 15. Street patterns of residential areas shall be designed to create areas free of through traffic, but readily accessible to adjacent collector and arterial streets; |
| | | | Findings | N/A. The townhome development is an infill project within a residential neighborhood served by existing streets. No new streets are proposed. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16.04.040.H.16 | 16. Reserve planting strips controlling access to public streets shall be permitted under conditions specified and shown on the final plat, and all landscaping and irrigation systems shall be installed as required improvements by the subdivider; |
| | | | Findings | N/A. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16.04.040.H.17 | 17. In general, the centerline of a street shall coincide with the centerline of the street right of way, and all crosswalk markings shall be installed by the subdivider as a required improvement; |
| | | | Findings | N/A. The townhome development is an infill project within a residential neighborhood served by existing streets. No new streets are proposed. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16.04.040.H.18 | 18. Street lighting shall be required consistent with adopted city standards and where designated shall be installed by the subdivider as a requirement improvement; |

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| | | | Findings | N/A. The townhome development is an infill project within a residential neighborhood served by existing streets. No new streets are proposed and no sidewalks are required to be installed. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16.04.040.H.19 | 19. Private streets may be allowed upon recommendation by the commission and approval by the Council. Private streets shall be constructed to meet the design standards specified in subsection H2 of this section and chapter 12.04 of this code; |
| | | | Findings | N/A. N/A. The townhome development is an infill project within a residential neighborhood served by existing streets. No new private streets are proposed. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16.04.040.H.20 | 20. Street signs shall be installed by the subdivider as a required improvement of a type and design approved by the Administrator and shall be consistent with the type and design of existing street signs elsewhere in the City; |
| | | | Findings | N/A. The townhome development is an infill project within a residential neighborhood served by existing streets. No new streets are proposed. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16.04.040.H.21 | 21. Whenever a proposed subdivision requires construction of a new bridge, or will create substantial additional traffic which will require construction of a new bridge or improvement of an existing bridge, such construction or improvement shall be a required improvement by the subdivider. Such construction or improvement shall be in accordance with adopted standard specifications; |
| | | | Findings | N/A. This proposal does not require construction of a new bridge or impact any existing bridges. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.04.040.H.22 | 22. Sidewalks, curbs and gutters shall be required consistent with adopted city standards and where designated shall be a required improvement installed by the subdivider; |
| | | | Findings | While the Westcliff Townhomes project qualifies as a substantial improvement, sidewalks are not required to be installed within this residential neighborhood. The applicant shall improve the right-of-way (ROW) adjacent to the front property line along Rember Street and the street side property line along Bird Drive to City ROW standards for residential roadways. The required right-of-way improvements are indicated on Sheet C2 of the project plans (Exhibit A). Material shall be pervious/permeable to allow drainage. Surface must allow for vehicle parking and be consistent along the entire property frontage. Material within the first eight (8) feet from edge of asphalt shall be distinct from driveway and rest of property in order to visually appear to be available for parking. Grading and drainage improvements must meet the following standards: minimum 5% slope, no obstructions, such as boulders or berms, no buried irrigation systems within the first eight (8) from the edge of asphalt, and no subsurface irrigation lines are permitted beyond the first eight (8) feet, however popup heads are not permitted anywhere in the ROW. No live plant material within the first eight (8) feet from edge of asphalt. Low ground cover plant material, such as turf grass, is permitted beyond the first eight (8) feet. Drought-tolerant species is preferred. |

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| | | | | <p>Final civil drawings for all associated ROW improvements shall be submitted with the building permit application to be reviewed and approved by the City Engineer and Streets Department prior to issuance of a building permit for the project.</p> <p>See Table 1 for comments and conditions from the City Engineer & Streets Department.</p> |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16.04.040.H.23 | <p>23. Gates are prohibited on private roads and parking access/entranceways, private driveways accessing more than one single-family dwelling unit and one accessory dwelling unit, and public rights-of-way unless approved by the City Council; and</p> |
| | | | Findings | No gates are proposed. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16.04.040.H.24 | <p>24. No new public or private streets or flag lots associated with a proposed subdivision (land, planned unit development, townhouse, condominium) are permitted to be developed on parcels within the Avalanche Zone</p> |
| | | | Findings | N/A. The townhouse sublots are not located within the Avalanche Zone. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16.04.040.I | <p>I. Alley Improvement Requirements: Alleys shall be provided in, commercial and light industrial zoning districts. The width of an alley shall be not less than twenty feet (20'). Alley intersections and sharp changes in alignment shall be avoided, but where necessary, corners shall be provided to permit safe vehicular movement. Dead end alleys shall be permitted only within the original Ketchum Townsite and only after due consideration of the interests of the owners of property adjacent to the dead end alley including, but not limited to, the provision of fire protection, snow removal and trash collection services to such properties. Improvement of alleys shall be done by the subdivider as required improvement and in conformance with design standards specified in subsection H2 of this section.</p> |
| | | | Findings | N/A. The townhouse sublots are located in a residential neighborhood within the City's GR-H Zone and do not abut an alley. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16.04.040.J.1 | <p>J. Required Easements: Easements, as set forth in this subsection, shall be required for location of utilities and other public services, to provide adequate pedestrian circulation and access to public waterways and lands.</p> <p>1. A public utility easement at least ten feet (10') in width shall be required within the street right-of-way boundaries of all private streets. A public utility easement at least five feet (5') in width shall be required within property boundaries adjacent to Warm Springs Road and within any other property boundary as determined by the City Engineer to be necessary for the provision of adequate public utilities.</p> |
| | | | Findings | N/A. These easements are not required as the project create a new street and the property is not adjacent to Warm Springs Road. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16.04.040.J.2 | <p>2. Where a subdivision contains or borders on a watercourse, drainageway, channel or stream, an easement shall be required of sufficient width to</p> |

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| | | | | contain such watercourse and provide access for private maintenance and/or reconstruction of such watercourse. |
| | | | Findings | N/A as the townhouse sublots do not border a waterway. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16.04.040.J.3 | 3. All subdivisions which border the Big Wood River, Trail Creek and Warm Springs Creek shall dedicate a ten foot (10') fish and nature study easement along the riverbank. Furthermore, the Council shall require, in appropriate areas, an easement providing access through the subdivision to the bank as a sportsman's access. These easement requirements are minimum standards, and in appropriate cases where a subdivision abuts a portion of the river adjacent to an existing pedestrian easement, the Council may require an extension of that easement along the portion of the riverbank which runs through the proposed subdivision. |
| | | | Findings | N/A as the townhouse sublots do not border a waterway. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16.04.040.J.4 | 4. All subdivisions which border on the Big Wood River, Trail Creek and Warm Springs Creek shall dedicate a twenty five foot (25') scenic easement upon which no permanent structure shall be built in order to protect the natural vegetation and wildlife along the riverbank and to protect structures from damage or loss due to riverbank erosion. |
| | | | Findings | N/A as the townhouse sublots do not border a waterway. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16.04.040.J.5 | 5. No ditch, pipe or structure for irrigation water or irrigation wastewater shall be constructed, rerouted or changed in the course of planning for or constructing required improvements within a proposed subdivision unless same has first been approved in writing by the ditch company or property owner holding the water rights. A written copy of such approval shall be filed as part of required improvement construction plans. |
| | | | Findings | N/A. No changes to ditches, pipes, or other irrigation structures are proposed. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16.04.040.J.6 | 6. Nonvehicular transportation system easements including pedestrian walkways, bike paths, equestrian paths, and similar easements shall be dedicated by the subdivider to provide an adequate nonvehicular transportation system throughout the City. |
| | | | Findings | N/A. The townhouse sublots are within an existing residential neighborhood. The City Engineer has determine that sidewalks are not required for this project. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.04.040.K | K. Sanitary Sewage Disposal Improvements: Central sanitary sewer systems shall be installed in all subdivisions and connected to the Ketchum sewage treatment system as a required improvement by the subdivider. Construction plans and specifications for central sanitary sewer extension shall be prepared by the subdivider and approved by the City Engineer, Council and Idaho Health Department prior to final plat approval. In the event that the sanitary sewage system of a subdivision cannot connect to the existing public sewage system, alternative provisions for sewage disposal in accordance with the requirements of the Idaho Department of Health and the Council may be constructed on a temporary basis until such time as connection to the public sewage system is possible. In considering such alternative provisions, the Council may require an increase in the minimum lot size and may impose any other reasonable |

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| | | | | requirements which it deems necessary to protect public health, safety and welfare. |
| | | | Findings | All townhome units will connect to the municipal sewer systems. The project shall meet all requirements of the Wastewater Department. The Phased Development Agreement (Exhibit D) includes the required construction and completion scheduled for the required improvements and designates the owner's maintenance responsibilities. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.04.040.L | L. Water System Improvements: A central domestic water distribution system shall be installed in all subdivisions by the subdivider as a required improvement. The subdivider shall also be required to locate and install an adequate number of fire hydrants within the proposed subdivision according to specifications and requirements of the City under the supervision of the Ketchum Fire Department and other regulatory agencies having jurisdiction. Furthermore, the central water system shall have sufficient flow for domestic use and adequate fire flow. All such water systems installed shall be looped extensions, and no dead end systems shall be permitted. All water systems shall be connected to the Municipal water system and shall meet the standards of the following agencies: Idaho Department of Public Health, Idaho Survey and Rating Bureau, District Sanitarian, Idaho State Public Utilities Commission, Idaho Department of Reclamation, and all requirements of the City. |
| | | | Findings | The townhome development will connect to the municipal water system. All utilities necessary must be improved and installed at the sole expense of the applicant. Final plans will be reviewed and approved by the Utilities Department prior to issuance of a building permit for the project. See Table 1 for review comments and conditions from the Utilities Department. The Phased Development Agreement (Exhibit D) includes the required construction and completion scheduled for the required improvements and designates the owner's maintenance responsibilities. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16.04.040.M | M. Planting Strip Improvements: Planting strips shall be required improvements. When a predominantly residential subdivision is proposed for land adjoining incompatible uses or features such as highways, railroads, commercial or light industrial districts or off street parking areas, the subdivider shall provide planting strips to screen the view of such incompatible features. The subdivider shall submit a landscaping plan for such planting strip with the preliminary plat application, and the landscaping shall be a required improvement. |
| | | | Findings | N/A. The townhouse sublots are within an existing subdivision with adequate plantings where necessary. The applicant has provided more landscaping on the project site, which is indicated on Sheet L-3.0 of the project plans. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.04.040.N.1 | N. Cuts, Fills, And Grading Improvements: Proposed subdivisions shall be carefully planned to be compatible with natural topography, soil conditions, geology and hydrology of the site, as well as to minimize cuts, fills, alterations of topography, streams, drainage channels, and disruption of soils and vegetation. The design criteria shall include the following: |

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| | | | | 1. A preliminary soil report prepared by a qualified engineer may be required by the commission and/or Council as part of the preliminary plat application. |
| | | | Findings | The applicant has submitted a geotechnical report for the project site, which will be included with the building permit application for review by the City Engineer. The project shall meet all cut, fill, and grading standards. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.04.040.N.2 | 2. Preliminary grading plan prepared by a civil engineer shall be submitted as part of all preliminary plat applications. Such plan shall contain the following information: a. Proposed contours at a maximum of five foot (5') contour intervals. b. Cut and fill banks in pad elevations. c. Drainage patterns. d. Areas where trees and/or natural vegetation will be preserved. e. Location of all street and utility improvements including driveways to building envelopes. f. Any other information which may reasonably be required by the Administrator, commission or Council to adequately review the affect of the proposed improvements. |
| | | | Findings | The project plans include a grading plan prepared by an Idaho-licensed engineer. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.04.040.N.3 | 3. Grading shall be designed to blend with natural landforms and to minimize the necessity of padding or terracing of building sites, excavation for foundations, and minimize the necessity of cuts and fills for streets and driveways. |
| | | | Findings | The proposed grading meets these requirements. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16.04.040.N.4 | 4. Areas within a subdivision which are not well suited for development because of existing soil conditions, steepness of slope, geology or hydrology shall be allocated for open space for the benefit of future property owners within the subdivision. |
| | | | Findings | N/A. The townhome development is an infill project on a vacant lot surrounding by existing development. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.04.040.N.5 | 5. Where existing soils and vegetation are disrupted by subdivision development, provision shall be made by the subdivider for revegetation of disturbed areas with perennial vegetation sufficient to stabilize the soil upon completion of the construction. Until such times as such revegetation has been installed and established, the subdivider shall maintain and protect all disturbed surfaces from erosion. |
| | | | Findings | The project shall meet this requirement regarding soil stabilization and revegetation. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.04.040.N.6 | 6. Where cuts, fills, or other excavations are necessary, the following development standards shall apply: a. Fill areas shall be prepared by removing all organic material detrimental to proper compaction for soil stability. b. Fills shall be compacted to at least ninety five percent (95%) of maximum density as determined by AASHO T99 (American Association of State Highway Officials) and ASTM D698 (American Standard Testing Methods). |

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| | | | | <p>c. Cut slopes shall be no steeper than two horizontal to one vertical (2:1). Subsurface drainage shall be provided as necessary for stability.</p> <p>d. Fill slopes shall be no steeper than three horizontal to one vertical (3:1). Neither cut nor fill slopes shall be located on natural slopes of three to one (3:1) or steeper, or where fill slope toes out within twelve feet (12') horizontally of the top and existing or planned cut slope.</p> <p>e. Toes of cut and fill slopes shall be set back from property boundaries a distance of three feet (3'), plus one-fifth (1/5) of the height of the cut or the fill, but may not exceed a horizontal distance of ten feet (10'); tops and toes of cut and fill slopes shall be set back from structures at a distance of at least six feet (6'), plus one-fifth (1/5) of the height of the cut or the fill. Additional setback distances shall be provided as necessary to accommodate drainage features and drainage structures.</p> |
| | | | Findings | The project shall meet these development standards. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.04.040.0 | <p>O. Drainage Improvements: The subdivider shall submit with the preliminary plat application such maps, profiles, and other data prepared by an engineer to indicate the proper drainage of the surface water to natural drainage courses or storm drains, existing or proposed. The location and width of the natural drainage courses shall be shown as an easement common to all owners within the subdivision and the City on the preliminary and final plat. All natural drainage courses shall be left undisturbed or be improved in a manner that will increase the operating efficiency of the channel without overloading its capacity. An adequate storm and surface drainage system shall be a required improvement in all subdivisions and shall be installed by the subdivider. Culverts shall be required where all water or drainage courses intersect with streets, driveways or improved public easements and shall extend across and under the entire improved width including shoulders.</p> |
| | | | Findings | <p>The drainage system must keep all storm water within the project site. Storm water is prohibited from draining onto the Rember Street or Bird Drive rights-of-way. All drainage improvements must meet city standards. Drainage improvements are indicated on Sheet C1, C2, C3, and L2 of the project plans (Exhibit A). Proposed drainage improvements include a system of drywells, catch basins, and storm drain pipes.</p> <p>Prior to issuance of a building permit for the project, the applicant shall submit a final drainage plan indicating grading, catch basins, piping, and drywells (KMC §17.96.040.C.2b & KMC §17.96.060.C.1-4) prepared by a civil engineer licensed in the state to be submitted for review and approval by the City Engineer and Streets Department. Additionally, the applicant shall submit geotechnical report with the building permit application for review by the City Engineer. As noted in the Utilities Department's comments, all drywells must have proper separation from potable water lines. See Table 1 for City Department comments and conditions.</p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 16.04.040.P | <p>P. Utilities: In addition to the terms mentioned in this section, all utilities including, but not limited to, electricity, natural gas, telephone and cable</p> |

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| | | | | services shall be installed underground as a required improvement by the subdivider. Adequate provision for expansion of such services within the subdivision or to adjacent lands including installation of conduit pipe across and underneath streets shall be installed by the subdivider prior to construction of street improvements. |
| | | | Findings | All utilities, including electricity, natural gas, telephone, and cable services, shall be installed underground. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16.04.040.Q | Q. Off Site Improvements: Where the off site impact of a proposed subdivision is found by the commission or Council to create substantial additional traffic, improvements to alleviate that impact may be required of the subdivider prior to final plat approval, including, but not limited to, bridges, intersections, roads, traffic control devices, water mains and facilities, and sewer mains and facilities. |
| | | | Findings | N/A. The townhouse subdivision does not trigger off-site improvements. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16.04.040.R | R. Avalanche And Mountain Overlay: All improvements and plats (land, planned unit development, townhouse, condominium) created pursuant to this chapter shall comply with City of Ketchum Avalanche Zone District and Mountain Overlay Zoning District requirements as set forth in Title 17 of this Code. |
| | | | Findings | N/A. The townhouse sublots are not located in the Avalanche or Mountain overlay zoning districts. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 16.04.040.S | S. Existing natural features which enhance the attractiveness of the subdivision and community, such as mature trees, watercourses, rock outcroppings, established shrub masses and historic areas, shall be preserved through design of the subdivision. |
| | | | Findings | The applicant will install new landscaping as indicated on Sheet L-3.0 of the project plans. |

STAFF RECOMMENDATION: COMMISSION OPTIONS

Staff recommends that the Commission consider the project plans, the applicant’s presentation, and any public comment received, deliberate, and either: (a) move to continue the project to a date certain or (b) move to approve the Westcliff Townhomes Design Review application and recommend approval of the Townhouse Subdivision Preliminary Plat and Phased Development Agreement to City Council subject to the following recommended conditions of approval.

RECOMMENDED DESIGN REVIEW CONDITIONS OF APPROVAL

1. This Design Review approval is subject to all comments and conditions as described in Tables 1, 2, 3, 4, and 5.
2. The Westcliff Townhomes Design Review (Application File No. P21-019) approval is subject to the project’s Townhouse Subdivision Preliminary Plat (Application File No. P21-008) and associated Phased Development Agreement. All associated conditions of approval shall apply to the project.
3. Prior to issuance of a building permit for the project, the Ketchum City Council shall review and approve a FAR Exceedance Agreement addressing the square footage above the permitted 0.5 Floor Area Ratio and memorializing the associated community housing contribution.

4. This Design Review approval is based on the plans and information presented and approved at the meeting on the date noted herein. Building Permit plans for all on-site improvements must conform to the approved Design Review plans unless otherwise approved in writing by the Planning and Zoning Commission or Administrator. Any building or site discrepancies which do not conform to the approved plans will be subject to removal.
5. All governing ordinances, requirements, and regulations of the Fire Department (2018 International Fire Code and local Fire Protection Ordinance No.1217), Building Department (2018 International Building Code, the 2018 International Residential Code, and Title 15 of Ketchum Municipal Code), Utilities Department, Street Department (Title 12 of Ketchum Municipal Code), and the City Engineer shall be met prior to Certificate of Occupancy.
6. The applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho to include specification for the ROW, circulation design, utilities, and drainage improvements to be reviewed and approved by the City Engineer, Streets, and Utilities departments prior to issuance of a Building Permit for the project.
7. The term of Design Review approval shall be twelve (12) months from the date that the Findings of Fact, Conclusions of Law, and Decision are adopted by the Commission or upon appeal, the date the approval is granted by the Council subject to changes in zoning regulations (KMC §17.96.090).
8. All Design Review elements shall be completed prior to issuance of a Certificate of Occupancy for each townhome unit.
9. All exterior lighting on the property shall comply with Ketchum Municipal Code, Chapter 17.132, Dark Skies, and shall be inspected by Planning Staff and approved prior the issuance of a Certificate of Occupancy for the building.
10. The project shall comply with the requirements of §17.124.040 Development Standards as adopted on the date a Building Permit is submitted for the project.
11. Prior to issuance of a Building Permit for the project, the applicant shall submit a construction management plan, which addresses each of the standards as set forth in Ketchum Municipal Code, Chapter 15.06 Construction Activity Standards for review and approval by the Building, Planning, Streets, Utilities, and Fire departments.
12. In addition to the requirements set forth in this Design Review approval, this project shall comply with all applicable local, state, and federal laws.

Recommended Condition of Approval: Utility Easement Encroachment

13. The project plans indicate that driveway pavers, landscaping, privacy fencing, and site walls encroach over the two 10-foot-wide utility easements (Instrument Nos. 660804 & 661178) that border the east side property line along Bird Drive. These encroachments require written consent from the easement beneficiaries, Idaho Power Company and Intermountain Gas. The applicant shall submit written consent from Intermountain Gas prior to issuance of a building permit for the project.

Recommended Condition of Approval: Transformer Screening

14. All utilities, including transformers, must be screened and concealed from public view pursuant to Ketchum Municipal Code §17.96.060.D2. The applicant must propose a solution for the new transformer that complies with all Ketchum Municipal Code standards for utility screening and Idaho Power Company requirements for clearance. The applicant must indicate the proposed location and siting of the new transformer on the project plans with written confirmation of Idaho Power's approval for final review and approval by Planning Staff prior to issuance of a building permit for the project.

RECOMMENDED TOWNHOUSE SUBDIVISION PRELIMINARY PLAT CONDITIONS OF APPROVAL

1. This Townhouse Subdivision Preliminary Plat approval is subject to all comments and conditions as described in Tables 1, 2, 3, 4, and 5.
2. The Westcliff Townhomes Subdivision Preliminary Plat (Application File No. P21-008) approval is subject to the project's Design Review (Application File No. P21-019) and associated Phased Development Agreement. All associated conditions of approval shall apply to the project.
3. The project shall meet all governing ordinances, requirements, and regulations of the Fire Department (2018 International Fire Code and local Fire Protection Ordinance No.1217), Building Department (2018 International Building Code, the 2018 International Residential Code, and Title 15 of Ketchum Municipal Code), Utilities Department, Street Department (Title 12 of Ketchum Municipal Code), and the City Engineer.
4. The recorded plat shall show a minimum of two Blaine County Survey Control Monuments with ties to the property and an inverse between the two monuments. The Survey Control Monuments shall be clearly identified on the face of the map.
5. An electronic CAD file shall be submitted to the City of Ketchum prior to final plat signature by the City Clerk. The electronic CAD file shall be submitted to the Blaine County Recorder's office concurrent with the recording of the Plat containing the following minimum data:
 - a. Line work delineating all parcels and roadways on a CAD layer/level designated as "parcel";
 - b. Line work delineating all roadway centerlines on a CAD layer/level designated as "road"; and,
 - c. Line work that reflects the ties and inverses for the Survey Control Monuments shown on the face of the Plat shall be shown on a CAD layer/level designated as "control"; and,
 - d. All information within the electronic file shall be oriented and scaled to Grid per the Idaho State Plane Coordinate System, Central Zone, NAD1983 (1992), U.S. Survey Feet, using the Blaine County Survey Control Network. Electronic CAD files shall be submitted in a ".dwg", ".dgn" or ".shp" format and shall be submitted digitally to the City on a compact disc. When the endpoints of the lines submitted are indicated as coincidental with another line, the CAD line endpoints shall be separated by no greater than 0.0001 drawing units.
6. The applicant shall provide a copy of the recorded final plat to the Department of Planning and Building for the official file on the application.
7. The Townhouse Declaration and CC&Rs shall be simultaneously recorded with the Final Plat. The developer shall submit a final copy of the document to the Planning & Building Department and file such document prior to recordation of the final plat. The City will not now, nor in the future, determine the validity of the Townhouse Declaration.
8. The 20-foot-wide access easement bordering the rear property line on subplot 2 shall be recorded prior to the Final Plat. The developer shall submit a final copy of the document to the Planning & Building Department and file such document prior to recordation of the final plat.
9. The project shall meet all requirements as specified in the Phased Development Agreement.

EXHIBITS:

- A. Westcliff Townhomes Project Plans
- B. Design Review Application & Supplemental Materials (Idaho Power Letters, Clear Creek Disposal Letter, Story Pole Photos)
- C. Preliminary Plat Application & Supplemental Materials (CC&Rs, Deed, Title Report)
- D. Phased Development Agreement
- E. Geotechnical Report & Hydrology Opinions

Exhibit A:
Westcliff Townhomes
Project Plans

WESTCLIFF TOWNHOMES



PROJECT TEAM:

ARCHITECT:

ANDERSON ARCHITECTURE, P.A.
P.O. BOX 1306
371 N. MAIN STREET, SUITE 202
KETCHUM, IDAHO 83340

PHONE: 208-726-6054

OWNER:

Westcliff LLC
134 3rd Ave E.
PO Box 1906
Twin Falls, ID 83303

GENERAL CONTRACTOR:

WAYNE ROTH CONSTRUCTION
P.O. BOX 2040
SUN VALLEY, IDAHO 83353

PHONE: 208-720-2987

STRUCTURAL ENGINEER:

FROST STRUCTURAL ENGINEERING
1020 Lincoln Road
Idaho Falls, ID 83401

PHONE: 208-227-8404

LANDSCAPE ARCHITECT

LANDWORK STUDIO LLC
ROB KING
110 5th St W
KETCHUM, IDAHO 83340

PHONE: 208-726-5331

CIVIL ENGINEER/SURVEYOR:

BENCHMARK AND ASSOCIATES
100 BELL DRIVE
KETCHUM, IDAHO 83340

PHONE: 208-726-9512

ENERGY CODE COMPLIANCE:

GREENWORKS
JOHN REUTER
P.O. BOX 4714
KETCHUM, IDAHO 83340

PHONE: 208-721-2922

INDEX OF DRAWINGS:

| | |
|----|------------------------------|
| A1 | COVER SHEET |
| C | PRELIMINARY PLAT |
| C | SURVEY |
| C1 | GRADING AND DRAINAGE PLAN |
| C2 | UTILITY PLAN |
| C3 | DETAILS |
| L1 | SITE PLAN |
| L2 | GRADING PLAN |
| L3 | GRADING PLAN |
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| A2 | COLOR PERSPECTIVES |
| A3 | FLOOR PLANS |
| A4 | FLOOR / ROOF PLANS |
| A5 | BUILDING ELEVATIONS |
| A6 | BUILDING ELEVATIONS |
| A7 | BUILDING SECTIONS |
| A8 | COLOR BOARD |

BUILDING DATA:

| | |
|---------------------------|--|
| PROJECT NAME: | WESTCLIFF TOWNHOMES |
| LEGAL DESCRIPTION: | Amended Lot 3B, BAVARIAN VILLAGE SUB, KETCHUM, IDAHO |
| PHYSICAL ADDRESS: | 106 REMBER STREET KETCHUM IDAHO 83340 |
| ZONING DISTRICT: | GR-H |
| PARCEL NUMBER: | RPK042000003A,RPK042000004A |
| LOT SIZE: | .42 ACRE |
| INDIVIDUAL BUILDING AREA: | |
| FIRST LEVEL LIVING: | 996.0 S.F. |
| SECOND LEVEL LIVING: | 1,483.0 S.F. |
| THIRD LEVEL LIVING: | 636.0 S.F. |
| TOTAL LIVING: | 3,115.0 S.F. |
| GARAGE/MECHANICAL: | 622.0 S.F. |
| GRAND TOTAL: | 3,737.0 S.F. |
| OPEN SPACE CALCULATION: | |
| BUILDING FOOTPRINT (X4): | 1,618.0 S.F. X 4 = 6,472 S.F. |
| LOT AREA: | 18,129.1 S.F. |
| TOTAL OPEN SPACE: | 6,472 / 18,129.86 = .357 OR 35.7% |
| CONST. TYPE: | V-B |
| OCCUPANCY TYPE: | GROUP R-3, SINGLE FAMILY RESIDENCE |
| MUNICIPALITIES: | KETCHUM, IDAHO |

CODE:

The following international codes as amended herein are adopted by reference by the city of Ketchum, Idaho:

- A. The international building code, 2012 edition, including appendices A, B, C, E, G, I and J, excluding section 101.4.3.
- B. The international residential code, 2012 edition, parts I through IV and part IX including appendices D, E, F, G, H, J, K and M;
- C. The international energy conservation code, 2012 edition, including the appendix;
- D. The international existing building code, 2012 edition; and
- E. The international property maintenance code, 2012 edition.

15.04.020: AMENDMENTS:

- A. Amendments To The International Building Code:
 - Section 101.1 Insert: [city of Ketchum, Idaho]
 - Section 1612.3 Insert: [city of Ketchum, Idaho] [June 5, 1978]
 - Section 3412.2 Insert: [January 1, 1975]
 - Section 104.10.1 of said code is amended to read as follows:
 - 104.10.1 Flood Hazard Areas.
 - The building official shall not grant modifications to any provision required in flood hazard areas as established by section 1612.3 unless a variance has been approved by the planning and zoning commission.

| | |
|--|---------------|
| FLOOR AREA RATIO CALCULATIONS: | |
| TOTAL SQUARE FOOTAGE (FOUR BUILDINGS): | 14,948.0 S.F. |
| PARKING BONUS FOR GROUND WATER: | -2,800.0 S.F. |
| TOTAL: | 12,148.0 S.F. |
| DIVIDE BY LOT AREA: (18,129.1 S.F. - 1556.0 S.F. EASEMENT) | 16,573.1 S.F. |
| FLOOR AREA RATIO: | .73 FAR |

DESIGN REVIEW SET (3-23-2021)

WESTCLIFF TOWNHOMES
106 REMBER STREET KETCHUM IDAHO 83340
COVER SHEET

REVISIONS:

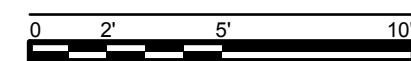
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- 3-23-2021- DESIGN REVIEW SET-REVISED
- 4-5-2021- DESIGN REVIEW SET-REVISED

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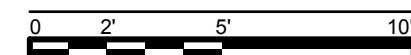
COVER SHEET



Model View- Bird's Eye

SCALE: 1" = 5'

1



Model View Overall

SCALE: 1" = 5'

2

DESIGN REVIEW SET (3-23-2021)

WESTCLIFF TOWNHOMES
106 REMBER STREET KETCHUM IDAHO 83340
COLOR PERSPECTIVES

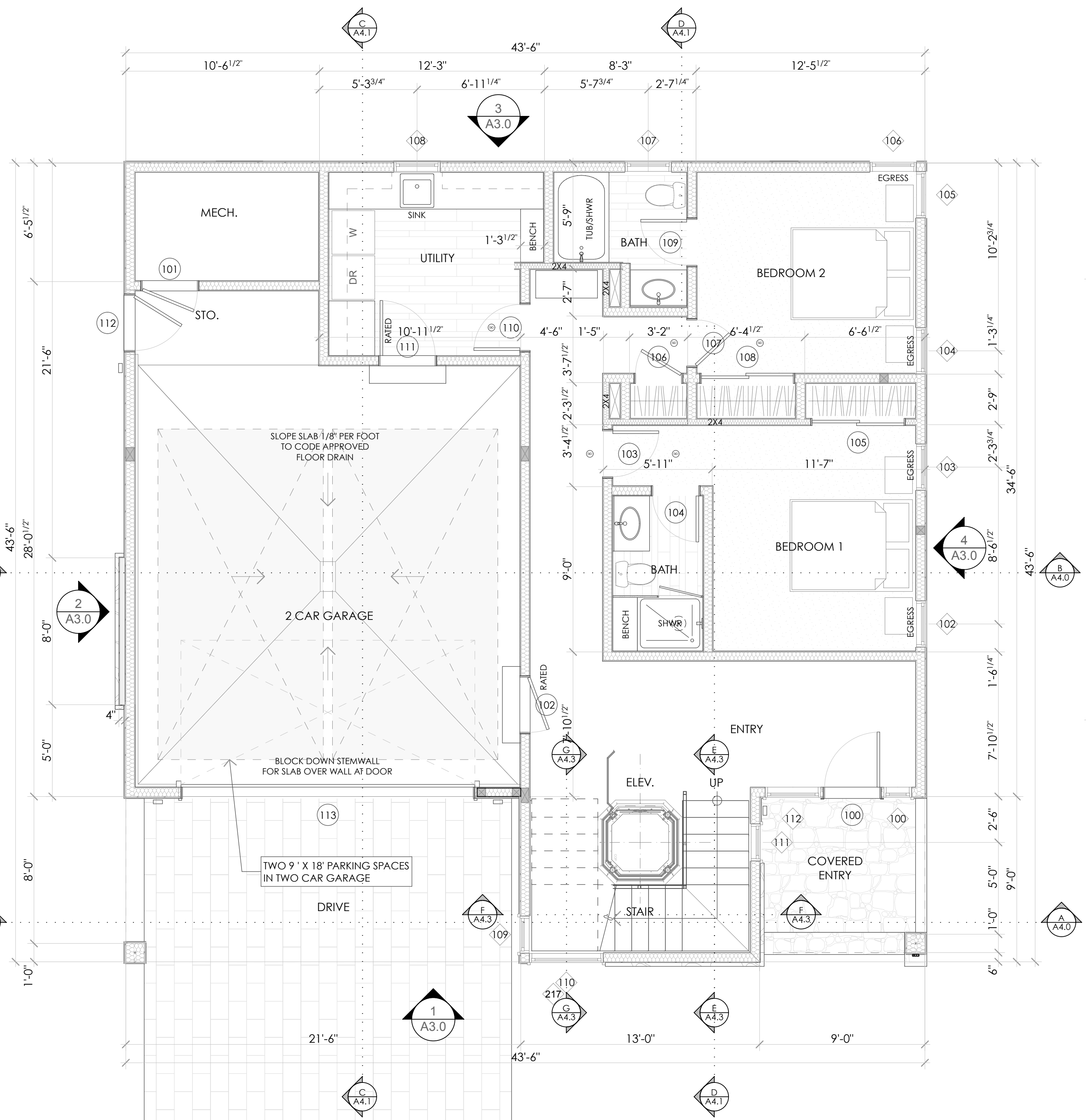
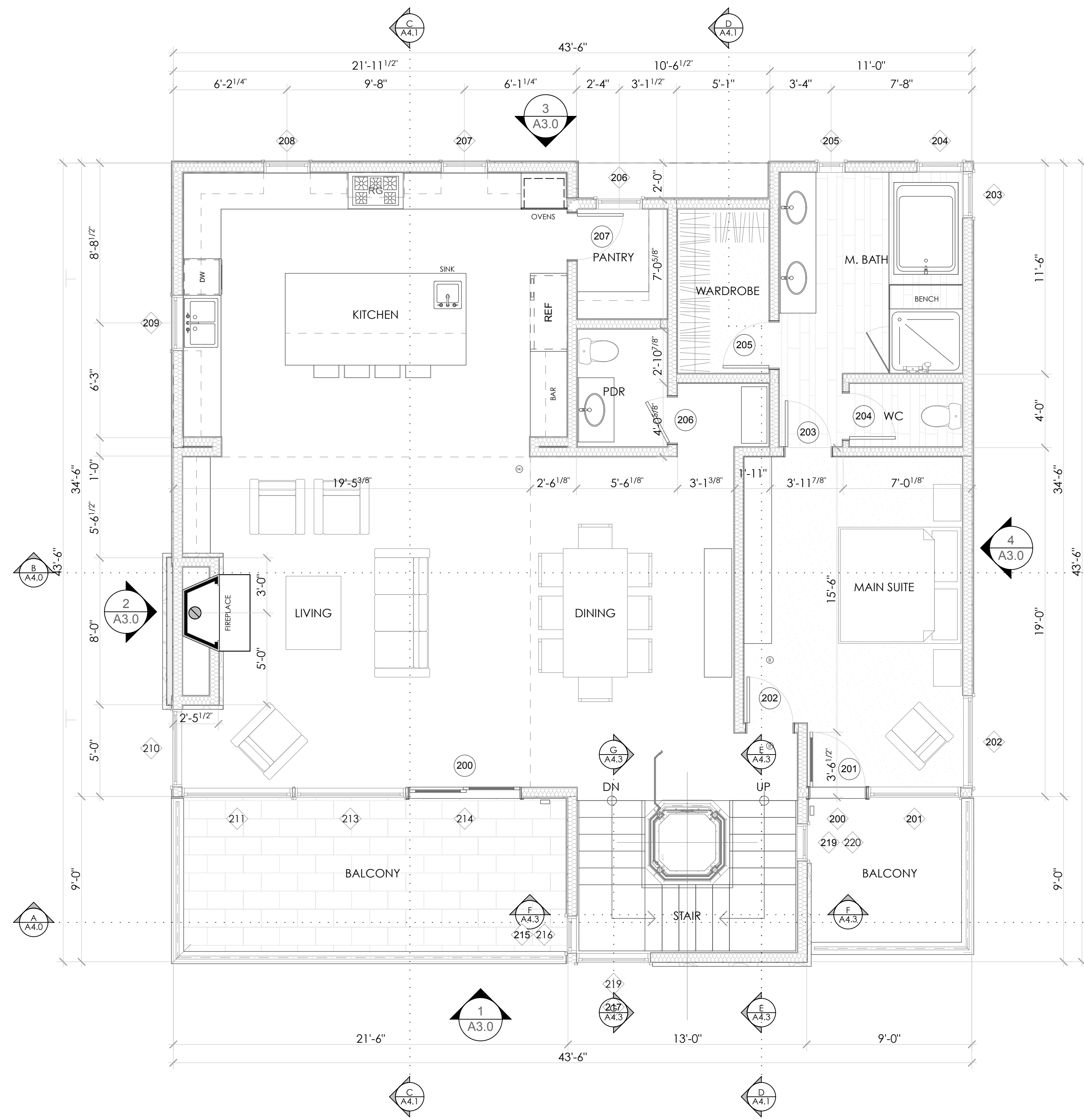
COLOR PERSPECTIVES

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DESIGN REVIEW SET (3-23-2021)

WESTCLIFF TOWNHOMES
106 REMBER STREET KETCHUM IDAHO 83340
FLOOR PLANS

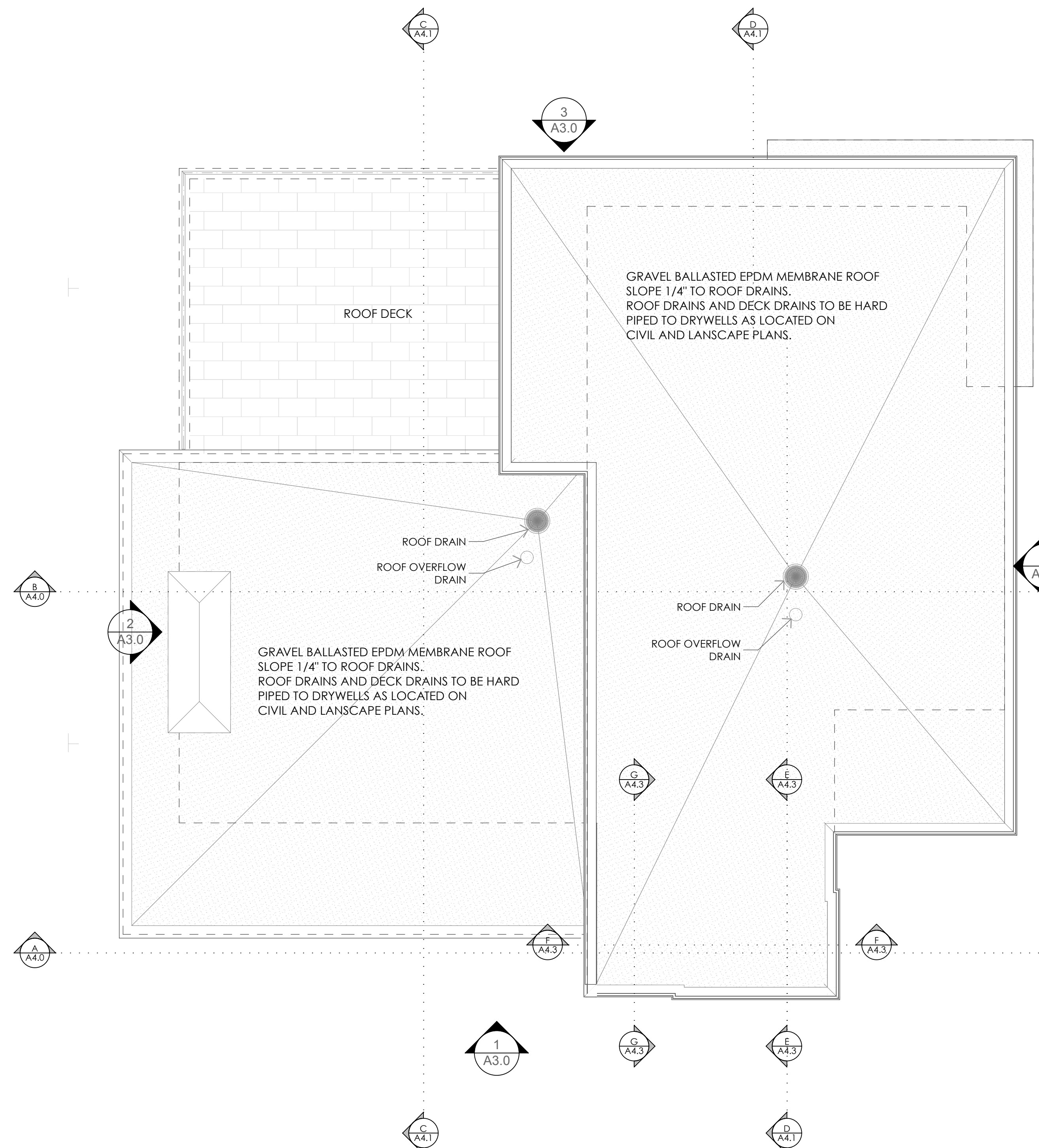
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| 4-5-2021 | DESIGN REVIEW SET REVISED |

ISSUE:

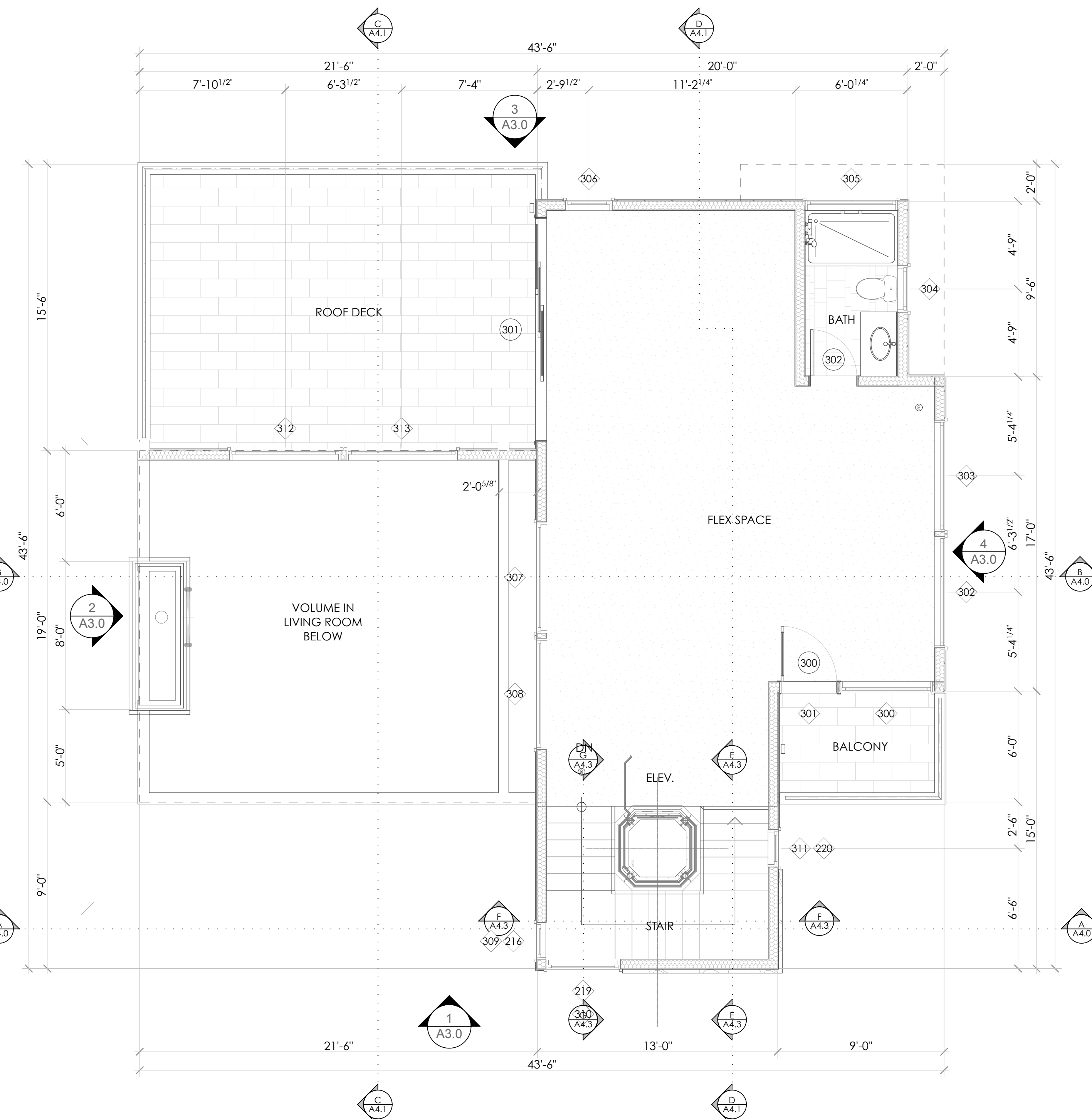
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FLOOR PLANS



ROOF PLAN
SCALE: 1/4" = 1'-0"

2



THIRD LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"

1

DESIGN REVIEW SET (3-23-2021)

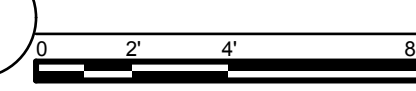
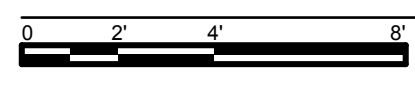
WESTCLIFF TOWNHOMES
106 REMBER STREET KETCHUM IDAHO 83340
FLOOR / ROOF PLANS

REVISIONS:

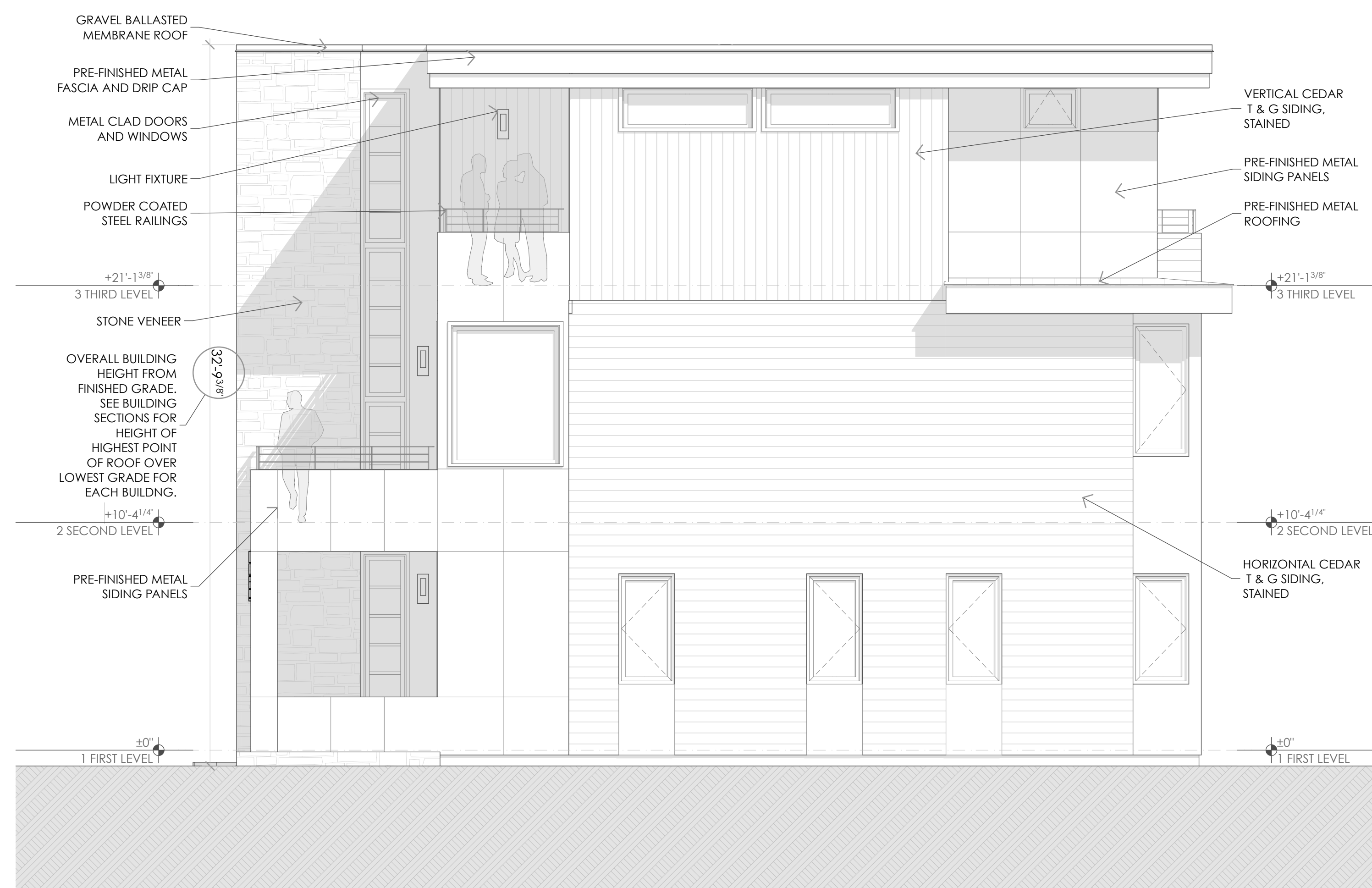
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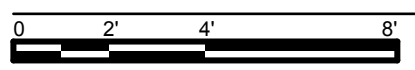


FLOOR / ROOF PLANS



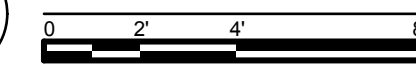
RIGHT ELEVATION ④

SCALE: 1/4" = 1'-0"



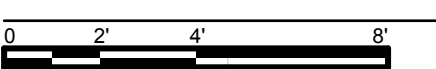
REAR ELEVATION ②

SCALE: 1/4" = 1'-0"



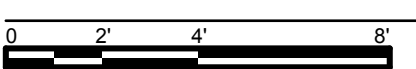
LEFT ELEVATION ①

SCALE: 1/4" = 1'-0"



FRONT ELEVATION ③

SCALE: 1/4" = 1'-0"



DESIGN REVIEW SET (3-23-2021)

WESTCLIFF TOWNHOMES
106 REMBER STREET KETCHUM IDAHO 83340
BUILDING ELEVATIONS

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BUILDING ELEVATIONS

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DESIGN REVIEW SET (3-23-2021)

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BUILDING ELEVATIONS

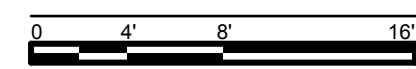
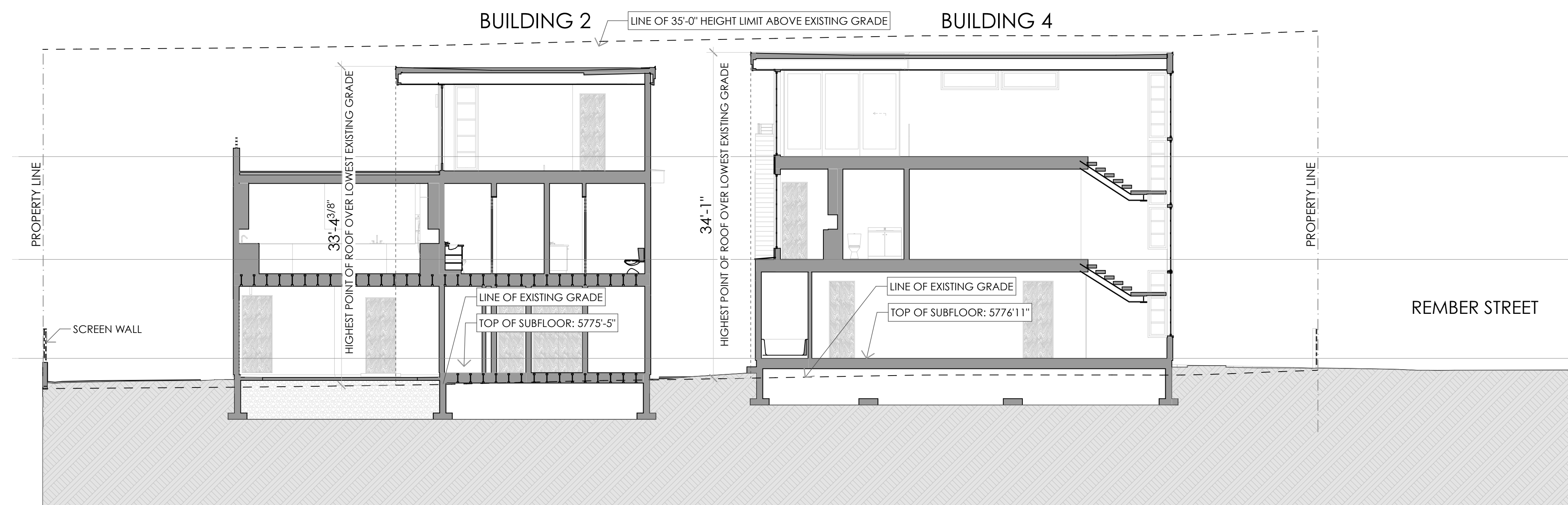
BUILDING ELEVATIONS

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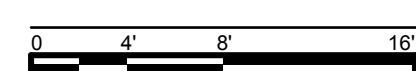
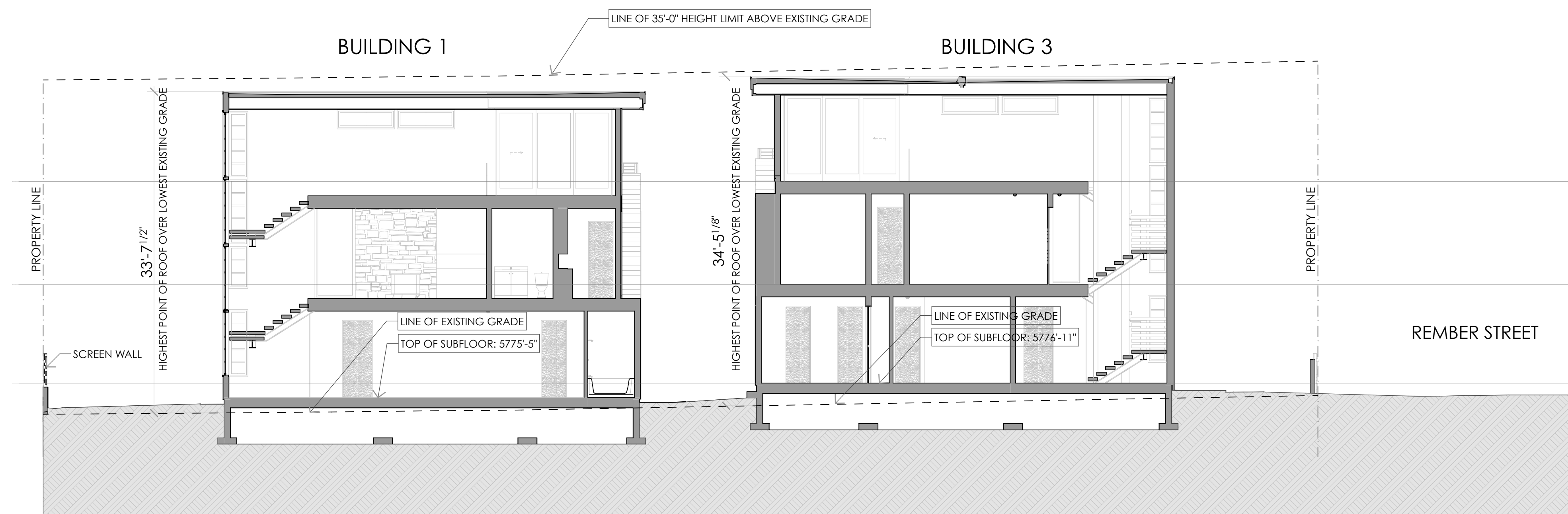
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SECTION 2
SCALE: 1/8" = 1'-0" ②



SECTION 1
SCALE: 1/8" = 1'-0" ①

DESIGN REVIEW SET (3-23-2021)

WESTCLIFF TOWNHOMES
106 REMBER STREET KETCHUM IDAHO 83340
BUILDING SECTIONS

BUILDING SECTIONS

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Hinkley 1648SK-LED
Atlanta LED 16 inch Satin Black Outdoor Wall Mount, Medium
 Atlanta features a minimalist design for the ultimate in urban sophistication. Constructed of solid aluminum and Dark Sky compliant, Atlanta provides a chic solution to eco-conscious homeowners.



Brand Information

- Brand: Hinkley
- Collection: Atlanta
- SKU: 1648SK-LED
- UPC: 00640665164879

Dimensions and Weight

- Length: 3.50 in.
- Width: 6.00 in.
- Height: 16.00 in.
- Extension/Depth: 3.50 in.
- Backplate/Canopy Width: 4.50 in.
- Backplate/Canopy Length: 4.50 in.
- Height from Center of Wall Opening: 13.75 in.
- Weight: 4.00 lb.

Other Specifications

- Ships Via: Ground (FREE SHIPPING)
- Warranty: General Hinkley Warranty Statement, LED components - Integrated, Outdoor - Finish

Additional Details

- Install Sloped Ceiling: NO
- Diffuser: NO
- Combo Mount: NO
- Heavy Fixture: NO

Design Information

- Category: Outdoor Wall Lights
- Finish: Satin Black
- Glass: Etched Glass Lens
- Material: Extruded Aluminum

Bulb Information

- Bulbs Included: Yes
- Bulb Category: LED
- Primary Bulb(s): x 11.00 watts
- Color Temperature: 3000K
- Color Rendering Index: 96.0000
- Total Lumens: 900
- Additional Bulb Details: Incandescent Equivalency: 1-35w & 1-50w

Product Rating

- Voltage: 120V
- Outdoor Rating: Suitable for Damp Locations
- Safety Rating: C-US Wet Rated
- Dark-Sky Approved
- ADA Approved
- Title 24 Approved

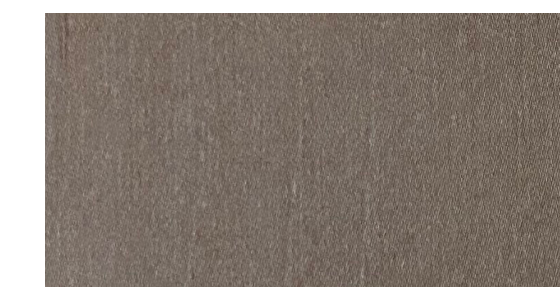
Documents

- Spec Sheet: 1648SK-LED.pdf
- Install Sheet: 1648LED.pdf
- Hinkley Lighting Limited Warranty: Hinkley Lighting Warranty.pdf

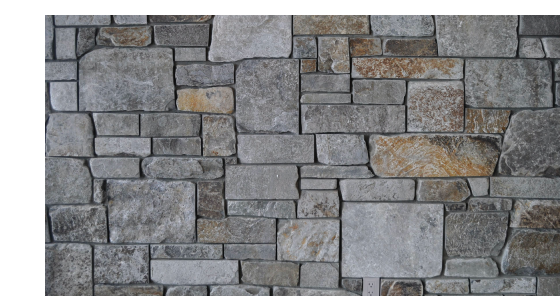
EXTERIOR SURFACE MOUNT LIGHT FIXTURE



**WINDOW CLADDING, FLASHING,
 METAL PANEL SIDING, METAL ROOFING,
 METAL RAILINGS, METAL GARAGE DOORS-
 DARK BRONZE**



**CEDAR WOOD SIDING STAIN:
 CABBOT -THRUSH, SEMI TRANS**



**STONE VENEER-
 TUMBLED CHIEF CLIFF**

**DRIVEWAY-
 GREY CONCRETE PAVERS**

PROJECT MATERIALS COLOR BOARD

DESIGN REVIEW SET (3-23-2021)

WESTCLIFF TOWNHOMES
 106 REMBER STREET KETCHUM IDAHO 83340
 COLOR BOARD

REVISIONS:

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COLOR BOARD

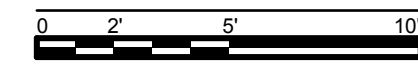
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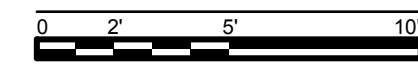
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Model View- Bird's Eye ①
SCALE: 1" = 5'



Model View Overall ②
SCALE: 1" = 5'

DESIGN REVIEW SET (3-23-2021)

WESTCLIFF TOWNHOMES
106 REMBER STREET KETCHUM IDAHO 83340
COLOR PERSPECTIVES

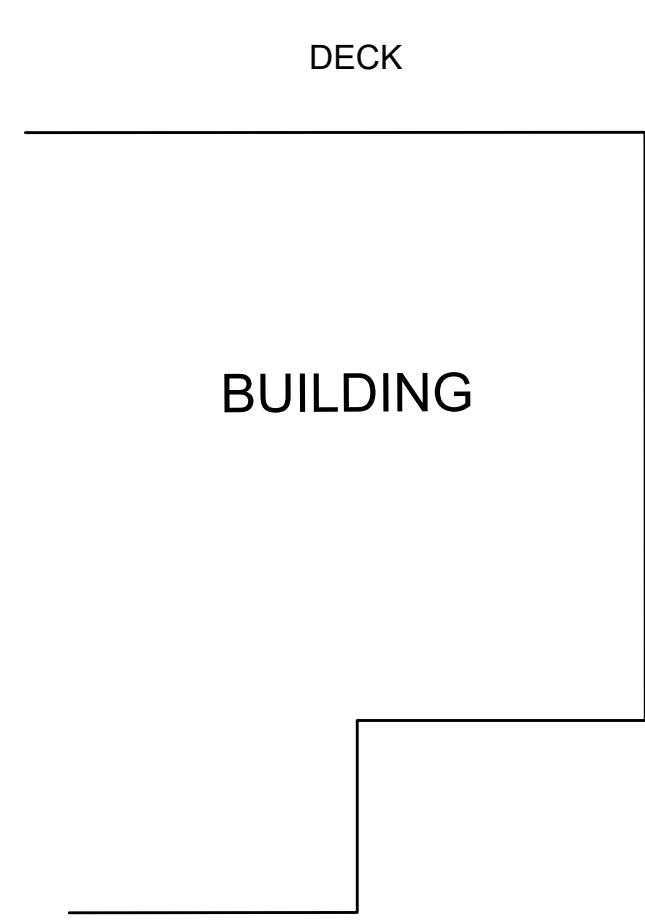
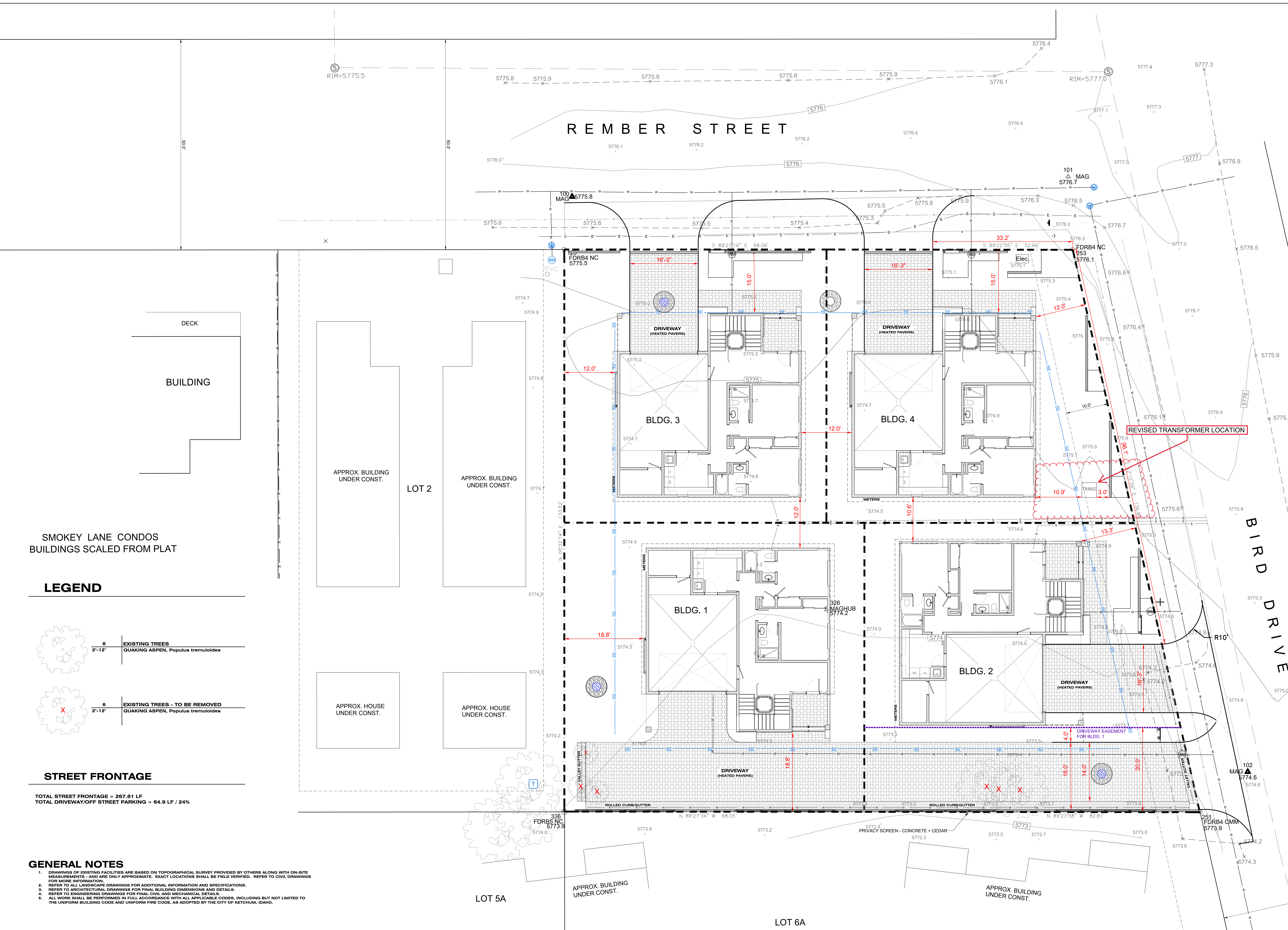
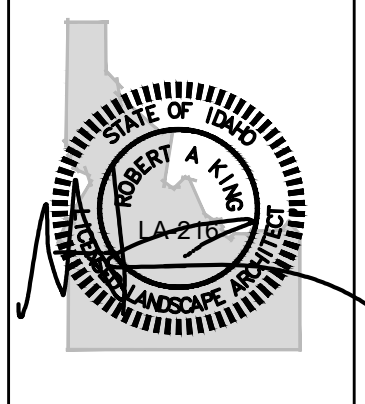
COLOR PERSPECTIVES

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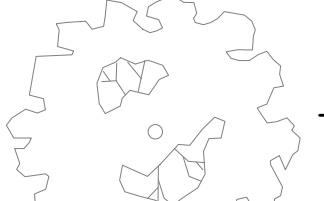
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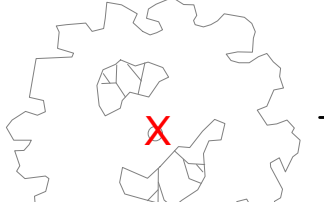
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SMOKEY LANE CONDOS
 BUILDINGS SCALED FROM PLAT

LEGEND

- 

| | |
|--------|------------------------------------|
| 6 | EXISTING TREES |
| 2'-12" | QUAKING ASPEN, Populus tremuloides |
- 

| | |
|--------|------------------------------------|
| 6 | EXISTING TREES - TO BE REMOVED |
| 2'-12" | QUAKING ASPEN, Populus tremuloides |

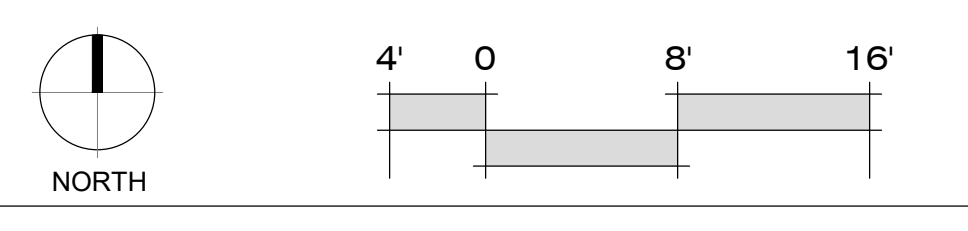
STREET FRONTAGE

TOTAL STREET FRONTAGE = 267.61 LF
 TOTAL DRIVEWAY/OFF STREET PARKING = 64.9 LF / 24%













GENERAL NOTES

1. DRAWINGS OF EXISTING FACILITIES ARE BASED ON TOPOGRAPHICAL SURVEY PROVIDED BY OTHERS ALONG WITH ON-SITE MEASUREMENTS - AND ARE ONLY APPROXIMATE. EXACT LOCATIONS SHALL BE FIELD VERIFIED. REFER TO CIVIL DRAWINGS FOR MORE INFORMATION.
2. REFER TO ALL LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION AND SPECIFICATIONS.
3. REFER TO ARCHITECTURAL DRAWINGS FOR FINAL BUILDING DIMENSIONS AND DETAILS.
4. REFER TO ENGINEERING DRAWINGS FOR FINAL CIVIL AND MECHANICAL DETAILS.
5. ALL WORK SHALL BE PERFORMED IN FULL ACCORDANCE WITH ALL APPLICABLE CODES, INCLUDING BUT NOT LIMITED TO THE UNIFORM BUILDING CODE AND UNIFORM FIRE CODE, AS ADOPTED BY THE CITY OF KETCHUM, IDAHO.

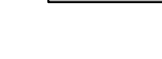
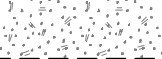
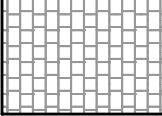
SITE PLAN
 SCALE: 1/8" = 1' - 0"

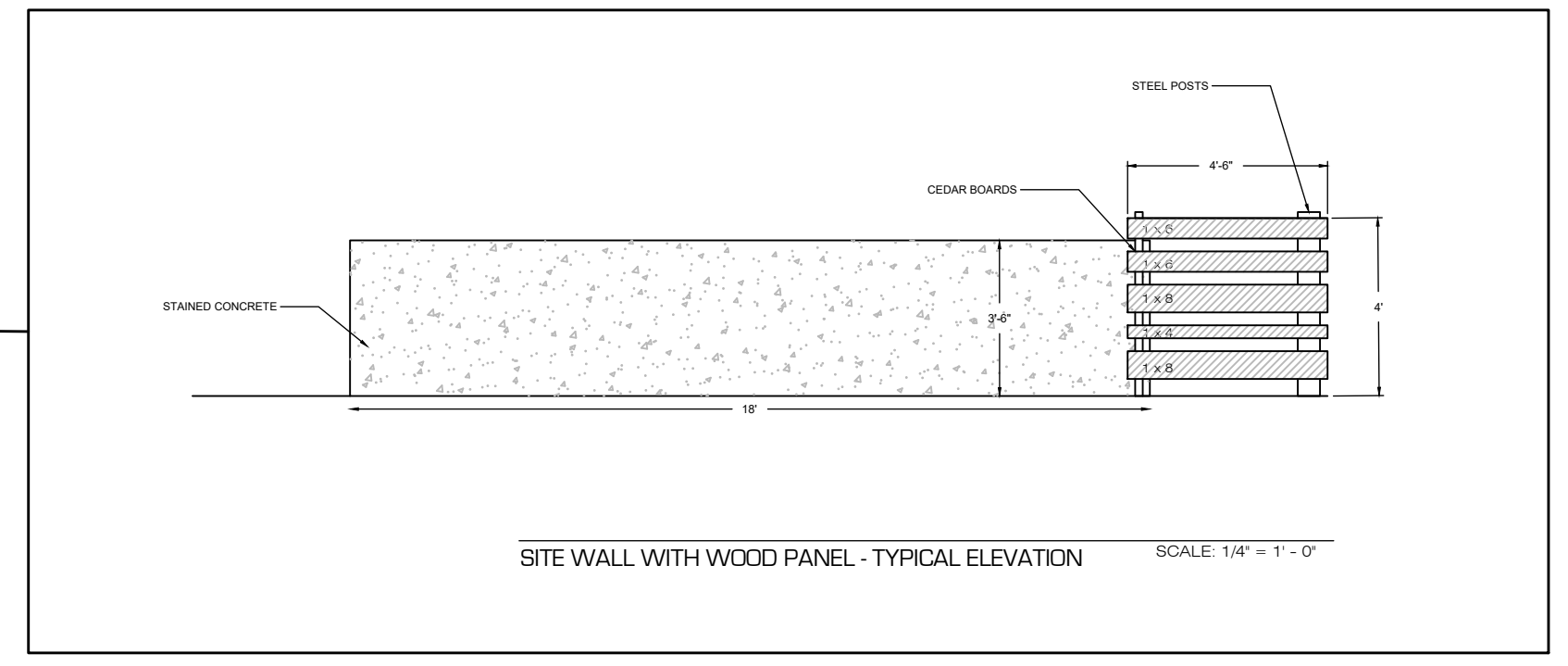
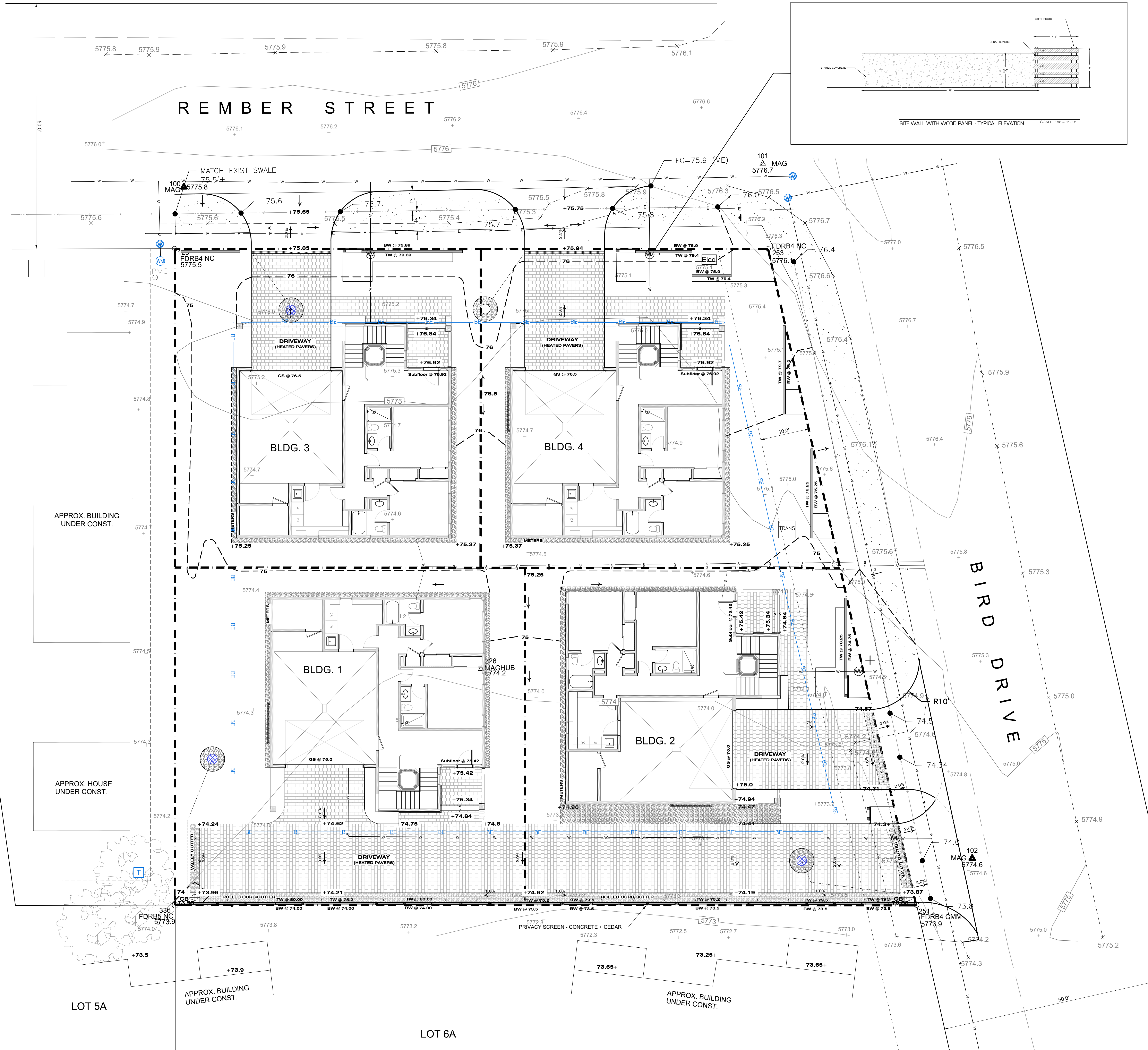
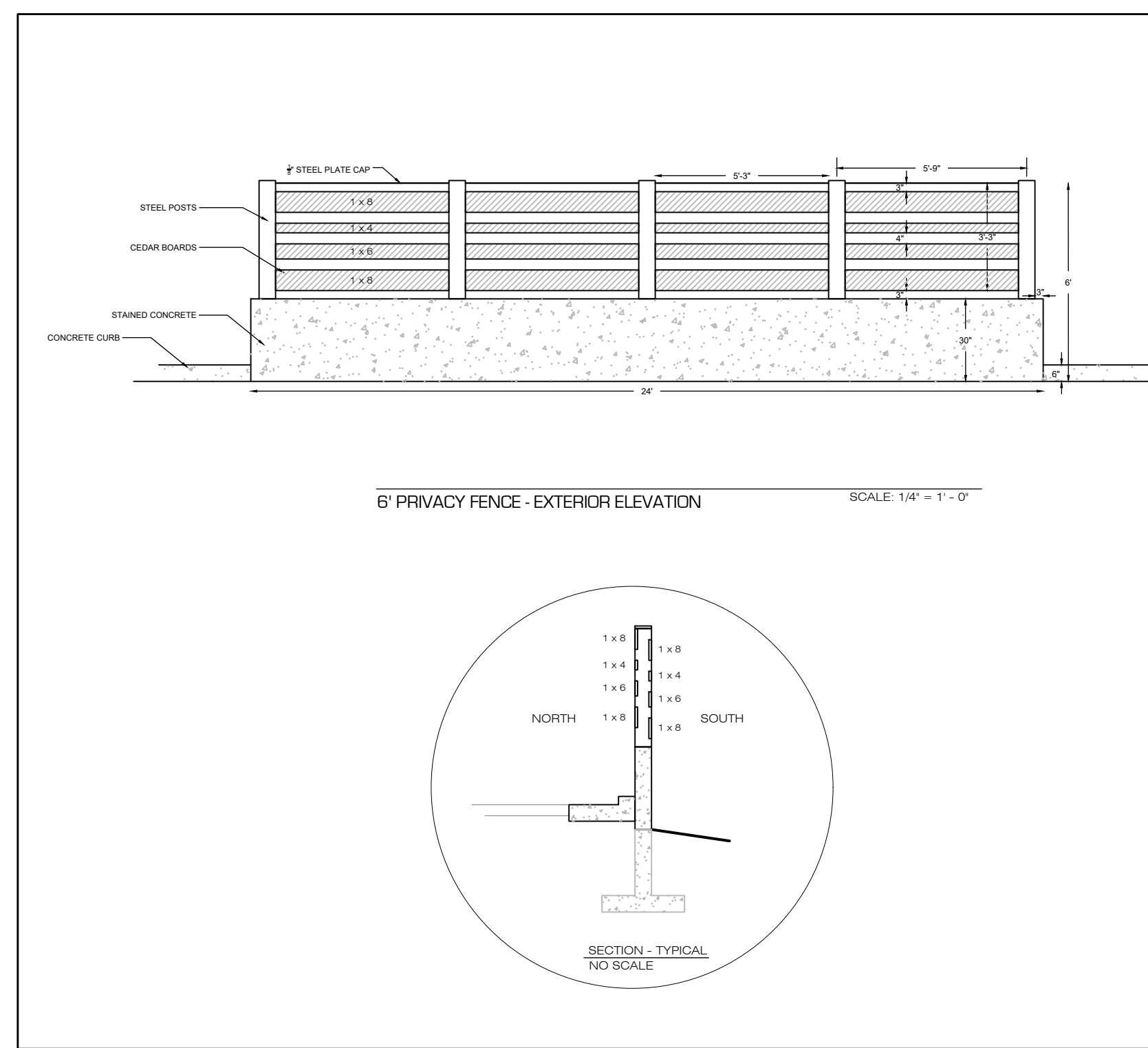


GRADING + DRAINAGE LEGEND

-  EXISTING CONTOURS
-  PROPOSED CONTOURS
-  SPOT ELEVATION - EXISTING GRADE
-  FINISH FLOOR ELEVATION
-  GARAGE SLAB ELEVATION
-  SPOT ELEVATION - FINISH GRADE
-  TOP OF WALL ELEVATION
-  BOTTOM OF WALL ELEVATION
-  DIRECTION OF DRAINAGE
-  DRYWELL - 4 @ 24"
Refer to Geotech/Civil plans and specifications
-  CATCHBASIN - 2 @ 24"
Tie into drywells or foundation drainage system
Refer to Geotech/Civil plans and specifications
-  4\" data-bbox="65 335 75 350"/> CHANNEL DRAIN
NDS CHANNEL TRENCH DRAIN
IRON AGE DESIGN'S DECORATIVE GRATE
REGULAR JOE 6\" data-bbox="65 365 75 380"/> CONCRETE VALLEY GUTTER
Direct to catch basins/drywells.

HARDSCAPES

-  CONCRETE SITE WALLS
Architectural Concrete - Color TBD
-  STEEL EDGING AND GRAVEL APRON
1/2\" data-bbox="55 495 75 515"/> UPPER TERRACE PAVERS (not shown)
ABBOTSFORD TEXADA CHARCOAL
12X24 STACKED BOND - PEDESTAL SET
-  DRIVEWAY PAVERS
ABBOTSFORD CLASSIC STANDARD CALIFORNIA CHARCOAL
6X12 RUNNING BOND PATTERN - SAND SET

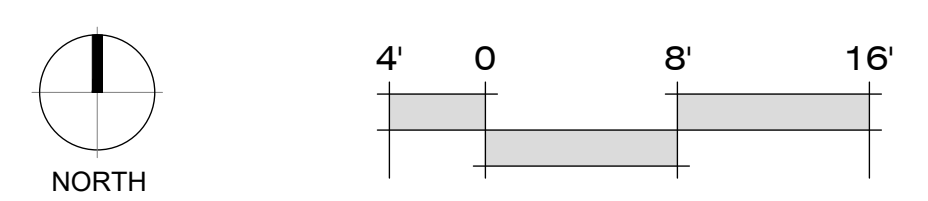


GRADING + DRAINAGE NOTES:

1. ALL SITE INFORMATION IS APPROXIMATE ONLY. REFER TO CIVIL ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION.
2. ALL ELEVATIONS TO BE FIELD VERIFIED ACCORDINGLY.
3. REFER TO GEOTECH REPORT FOR INFORMATION REGARDING SOIL AND SUB-SURFACE CONDITIONS, UNFORSEEN SOIL OR SUB-SURFACE CONDITIONS (INCLUDING BEDROCK, POOR SOIL STRUCTURE, SUB-SURFACE WATER, UTILITIES, ETC.) MAY REQUIRE FIELD ADJUSTMENTS TO THE PROPOSED DESIGN INCLUDING GRADING AND DRAINAGE SYSTEMS.
4. PROPOSED WORK TO INCORPORATE ALL APPLICABLE BEST MANAGEMENT PRACTICES (BMP'S) TO PROTECT RESOURCE VALUES AND TO ENSURE COMPLIANCE WITH LOCAL, STATE AND FEDERAL REGULATORY REQUIREMENTS AND WATER QUALITY STANDARDS.
5. SILT FENCE TO BE INSTALLED ALONG MHV AND RIPARIAN SETBACK PRIOR TO EXCAVATION WORK.
6. UTILITY LOCATIONS ARE APPROXIMATE AND MUST BE LOCATED AND VERIFIED IN THE FIELD PRIOR TO ANY EXCAVATION WORK.
7. ALL PLANTING AREAS TO BE AERATED AFTER CONSTRUCTION AND PRIOR TO INSTALLATION OF PLANT MATERIALS.
8. FINISH GRADE TO SLOPE AWAY FROM BUILDING IN ALL CASES, AND DIRECTED TO DRAINAGE PATTERNS OR SYSTEMS AS SHOWN.
9. ALL DRAINAGE WITHIN THE PROJECT BOUNDARIES TO BE COLLECTED ON-SITE OR DIRECTED TO EXISTING DRAINAGE PATTERNS AS DEPICTED ON THE GRADING PLAN AND/OR CIVIL ENGINEERING DRAWINGS. NO ADDITIONAL DRAINAGE TO BE DIRECTED ONTO NEIGHBORING PROPERTIES.

GRADING PLAN

SCALE: 1/8" = 1'-0"

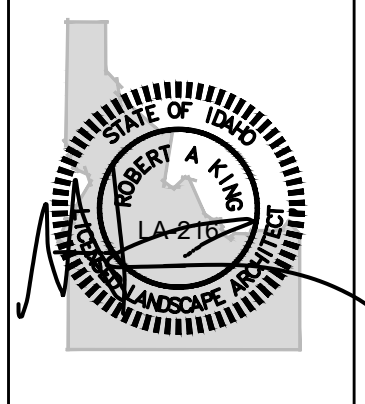


WESTCLIFF TOWNHOMES
 BAVARIAN VILLAGE LOT 3B
 BIRD DRIVE + REMBER STREET
 KETCHUM, IDAHO

DATE: 04/02/2021
 DESIGN REVIEW
 REVISED

GRADING PLAN
L-2.0

LANDWORK STUDIO LLC
 LANDSCAPE ARCHITECTURE + DESIGN
 110 8TH STREET SUITE 100
 KETCHUM, IDAHO 83701
 208.726.8331 WWW.LANDWORKSTUDIO.COM



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PLANT LEGEND

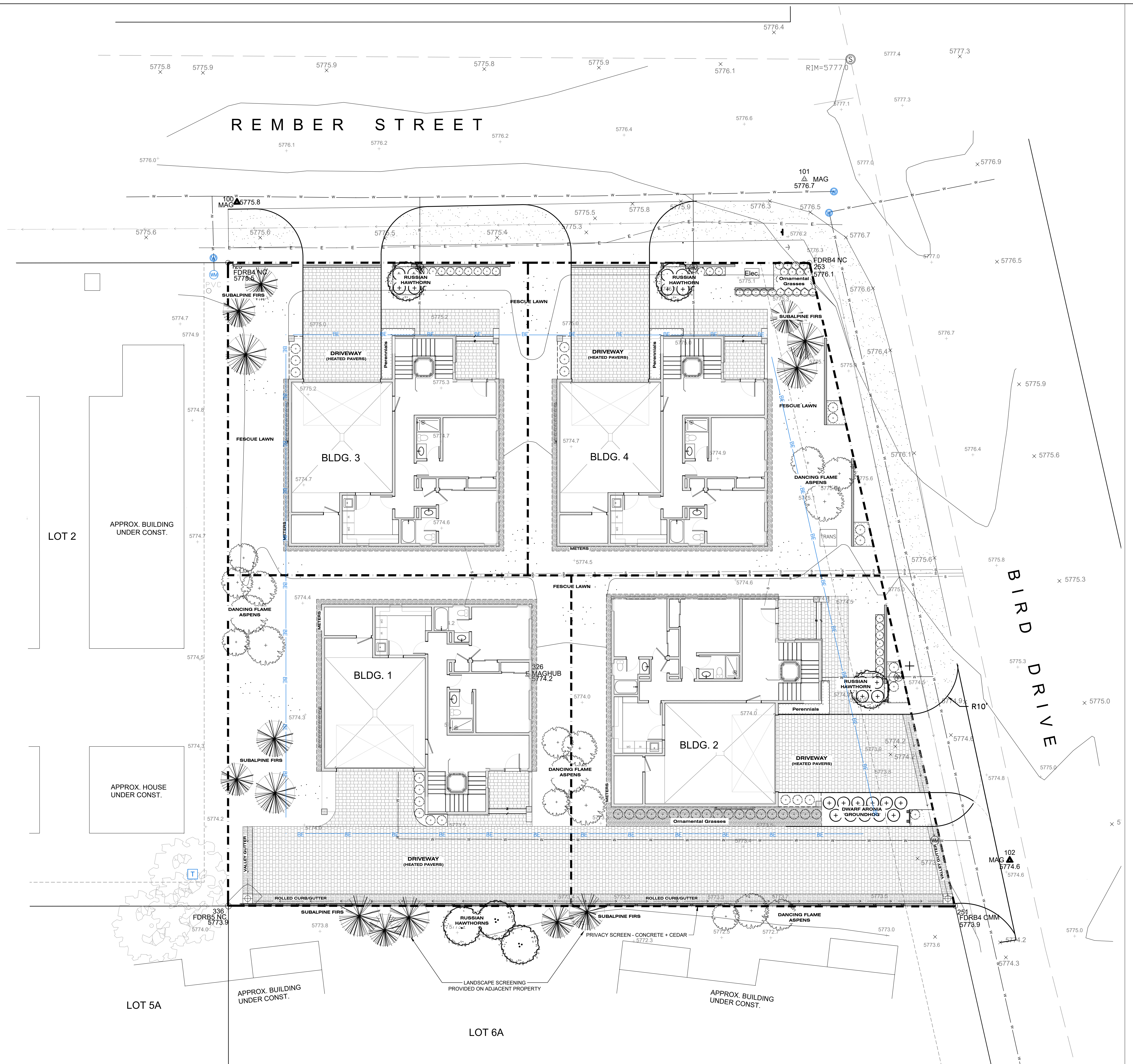
| | |
|------------------|---|
| | 14 EVERGREEN TREES |
| 2 @ 10' | SUBALPINE FIR, <i>Abies lasiocarpa</i> |
| 4 @ 12' | |
| 5 @ 14' | |
| 3 @ 16' | |
| | 23 DECIDUOUS TREES |
| 6 @ 8'+8" | RUSSIAN HAWTHORN, <i>Crataegus ambigua</i> |
| 6 @ 2" | QUAKING ASPEN 'DANCING FLAME', <i>Populus tremuloides</i> |
| 6 @ 3" | |
| 5 @ 4" | |
| | 25 SHRUBS |
| 13 @ 5 GAL. | DWARF CHOKEBERRY, <i>Aronia melanocarpa</i> 'Groundhog' |
| 12 @ 5 GAL. | PAWNEE BUTTES CHERRY, <i>Prunus besseyi</i> 'Pawnee Buttes' |
| | 104 ORNAMENTAL GRASSES |
| 104 @ 1 GAL. | VARIETIES TBD |
| | 5,700 SF LAWN - FESCUE SOD |
| | FINE FESCUE MIX (OR EQUIVALENT) |
| | 140 sf PLANTING BEDS |
| 1 gal @ 18" O.C. | PERENNIALS + GROUNDCOVERS |
| | Beds Prepared with Planting Mix Consisting of 50% Compost/50% Top-Soil, and APEX Fertilizer or similar - Per Manufacturers Specified Application Rates. |

SNOW REMOVAL/STORAGE

1. DRIVEWAYS AND ENTRY WALKS TO BE SNOWMELTED.

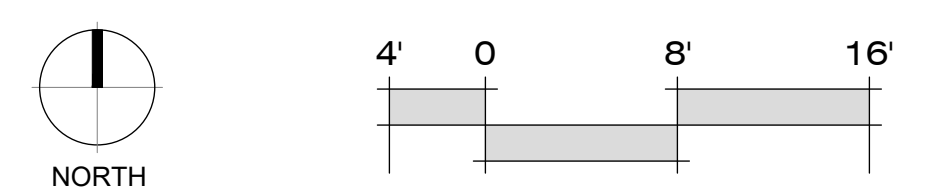
LANDSCAPE + PLANTING NOTES

1. LOCATIONS OF PROPOSED PLANT MATERIALS ARE APPROXIMATE AND MUST BE FIELD VERIFIED PRIOR TO INSTALLATION.
2. UTILITY LOCATIONS ARE APPROXIMATE AND MUST BE LOCATED AND VERIFIED IN THE FIELD PRIOR TO ANY EXCAVATION WORK INCLUDING INSTALLATION OF PLANT MATERIALS.
3. ALL PLANTING AREAS TO BE AERATED AFTER CONSTRUCTION AND PRIOR TO INSTALLATION OF PLANT MATERIALS.
4. ALL PLANT MATERIALS TO COMPLY WITH THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
5. ALL EXISTING PLANTS THAT ARE IDENTIFIED TO REMAIN SHALL BE PROTECTED FROM CONSTRUCTION ACTIVITIES AS NECESSARY TO PROTECT AGAINST COMPACTION OF ROOT ZONES, SOIL CONTAMINANTS, AND INJURY TO BRANCHES.
6. REFER TO IRRIGATION PERFORMANCE SPECIFICATIONS FOR ADDITIONAL INFORMATION.



LANDSCAPE PLAN

SCALE: 1/8" = 1' - 0"



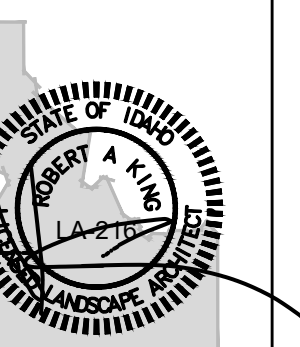
WESTCLIFF TOWNHOMES

BAVARIAN VILLAGE LOT 3B
BIRD DRIVE + REMBER STREET
KETCHUM, IDAHO

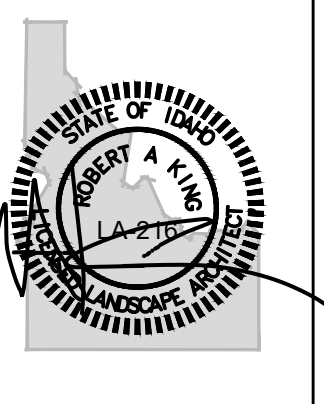
DATE: 04/02/2020
DESIGN REVIEW
REVISED

LANDSCAPE PLAN
L-3.0

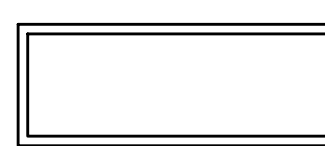
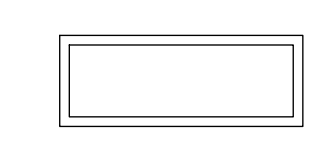
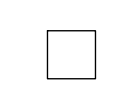
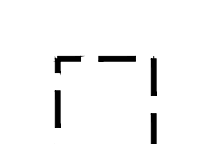
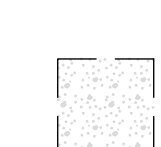
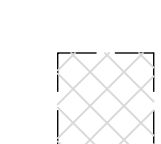

LANDWORK STUDIO LLC
LANDSCAPE ARCHITECTURE + DESIGN
110 8TH STREET SUITE 100
PO BOX 5331 WYLLAND, IDAHO 83401
208.726.5331 WWW.LANDWORKSTUDIO.COM



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LEGEND

-  OFFICE TRAILER
-  DUMPSTER
-  RESTROOMS
-  MATERIAL DELIVERY/STORAGE
-  PARKING
-  TIRE CLEAN APRON
-  CONSTRUCTION SILT FENCE

CONSTRUCTION MANAGEMENT PLAN - PHASE 1
 SCALE: 1/8" = 1'-0"

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WESTCLIFF TOWNHOMES

LOCATED WITHIN: SECTION 13, TOWNSHIP 4 NORTH, RANGE 17 EAST, B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO

A TOWNHOUSE SUBDIVISION OF BAVARIAN VILLAGE SUBDIVISION, LOT 3B.

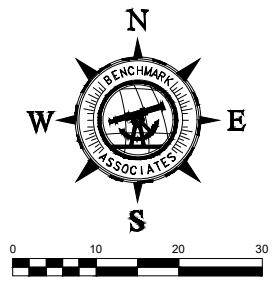
APRIL 2021 PRELIMINARY PLAT

SURVEYOR'S NARRATIVE:

1. THE PURPOSE OF THIS PLAT IS TO CREATE FOUR SUBLOTS WITHIN LOT 3B OF BAVARIAN VILLAGE SUBDIVISION. FOUND MONUMENTS WERE ACCEPTED AS EITHER ORIGINAL OR REPLACEMENTS OF ORIGINAL CORNERS.
2. DIMENSIONS SHOWN HEREON ARE MEASURED. FOR RECORD DIMENSIONS, SEE REFERENCED SURVEYS.
3. DOCUMENTS USED IN THE COURSE OF THIS SURVEY:
 - A. ORIGINAL PLAT OF "BAVARIAN VILLAGE SUBDIVISION", INST. NO. 139821.
 - B. PLAT OF "BAVARIAN VILLAGE SUBDIVISION: LOTS 3A, 4A, 5A, 6A, 7A & 8A", INST. NO. 631181.
 - C. PLAT OF "BAVARIAN VILLAGE SUBDIVISION: LOT 3B", INST. NO. 680918.

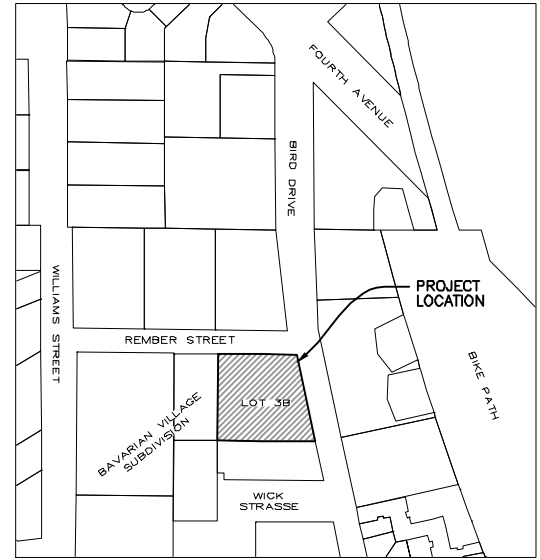
NOTES:

1. REFER TO THE ORIGINAL PLAT OF BAVARIAN VILLAGE SUBDIVISION, INST. NO. 139821, TO THE PLAT OF BAVARIAN VILLAGE SUBDIVISION: LOTS 3A, 4A, 5A, 6A, 7A & 8A, INST. NO. 631181 AND TO THE PLAT OF BAVARIAN VILLAGE SUBDIVISION: LOT 3B, INST. NO. 680918. FOR CONDITIONS, RESTRICTIONS AND PLAT NOTES GOVERNING THIS PROPERTY.
2. THE TOWNHOME DECLARATION AND PARTY WALL AGREEMENT FOR WESTCLIFF TOWNHOMES WERE RECORDED AS INST. NO. _____, RECORDS OF BLAINE COUNTY, IDAHO.
3. THE PHASED DEVELOPMENT AGREEMENT FOR WESTCLIFF TOWNHOMES WAS RECORDED AS INST. NO. _____, RECORDS OF BLAINE COUNTY, IDAHO.
4. ALL TOWNHOUSE OWNERS SHALL HAVE MUTUAL RECIPROCAL EASEMENTS FOR EXISTING AND FUTURE PUBLIC AND PRIVATE UTILITIES INCLUDING, BUT NOT LIMITED TO, WATER, CABLE TV, SEWER, NATURAL GAS, TELEPHONE, AND ELECTRIC LINES OVER, UNDER AND ACROSS THEIR TOWNHOUSE SUBLOTS AND COMMON AREA FOR THE REPAIR, MAINTENANCE AND REPLACEMENT THEREOF.
5. A 20 FOOT WIDE EASEMENT WITHIN SUBLOT 2 FOR INGRESS, EGRESS, PUBLIC UTILITIES AND EMERGENCY VEHICLE ACCESS IS GRANTED TO BENEFIT SUBLOT 1, AS SHOWN HEREON.
6. THE CURRENT ZONING IS GENERAL RESIDENTIAL HIGH DENSITY (GR-H). REFER TO THE CITY OF KETCHUM ZONING CODE FOR MORE INFORMATION ABOUT THIS ZONE.
7. UTILITIES ARE PER SURFACE EVIDENCE ONLY. OTHER UNDERGROUND UTILITIES MAY EXIST. LOCATION OF UNDERGROUND UTILITIES AND SERVICES SHOULD BE CONFIRMED PRIOR TO EXCAVATION OR DESIGN. WATER AND SEWER LINES ARE PER FOUND VALVES, MANHOLES AND RECORD MAPS.
8. VERTICAL DATUM: ELEVATIONS BASED ON NAVD 88 (GEIOD03) DATUM UTILIZING SMARTNET CORS STATION IDKM.



LEGEND:

- SUBLOT BOUNDARY
- - - EASEMENT LINE AS SHOWN
- EDGE PAVEMENT
- PROPOSED BUILDING ENVELOPE
- W --- EXISTING WATER LINE
- W --- PROPOSED WATER SERVICE
- S --- EXISTING SEWER LINE
- S --- PROPOSED SEWER SERVICE
- G --- EXISTING GAS LINE
- G --- EXISTING ELECTRIC LINE
- CATV --- EXISTING CABLE TV LINE
- OHP --- EXISTING OVERHEAD POWER LINE
- 5775 --- EXISTING CONTOUR
- 5775 --- PROPOSED CONTOUR
- FLOWLINE
- ELECTRIC BOX
- GAS MARKER
- SEWER MANHOLE
- TELECOM BOX
- WATER VALVE
- WATER METER
- CATV BOX
- STORM DRAIN
- COMMON AREA
- PROPOSED DRYWELL
- PROPOSED CATCH BASIN
- PROPOSED EASEMENT "A" (SEE NOTE 5.)
- DRAINAGE ARROW
- FOUND 5/8" REBAR
- FOUND 1/2" REBAR



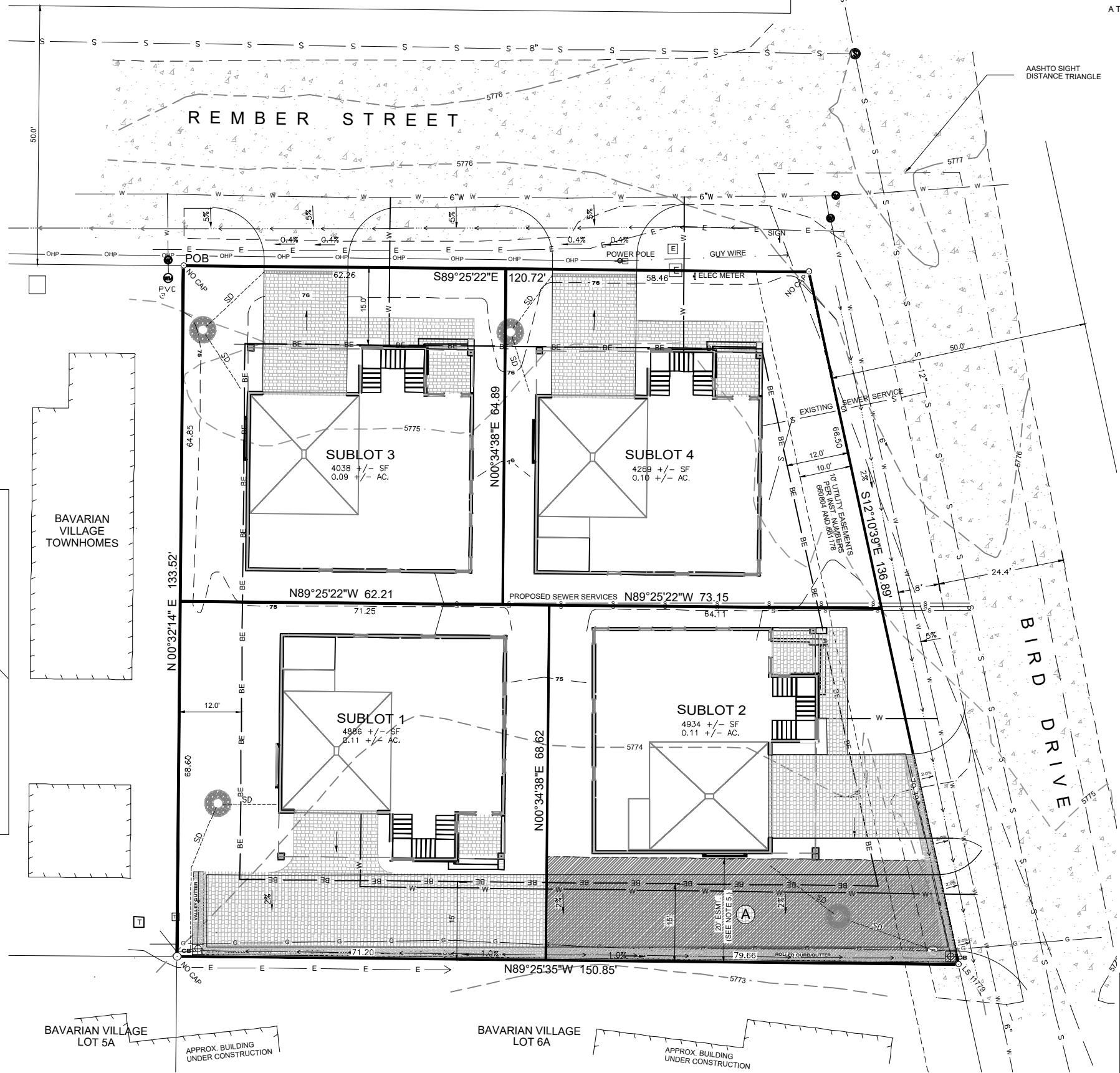
VICINITY MAP
NOT TO SCALE

HEALTH CERTIFICATE

Sanitary restrictions as required by Idaho Code Title 50, Chapter 13, have been satisfied. Sanitary restrictions may be reimposed, in accordance with Idaho Code Title 50, Chapter 13, Section 50-1326, by the issuance of a certificate of disapproval.

South Central Public Health District, REHS

Dated: _____



BAVARIAN VILLAGE LOT 5A

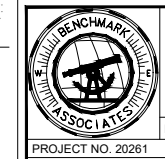
BAVARIAN VILLAGE LOT 6A

APPROX. BUILDING UNDER CONSTRUCTION

APPROX. BUILDING UNDER CONSTRUCTION



DRAFT

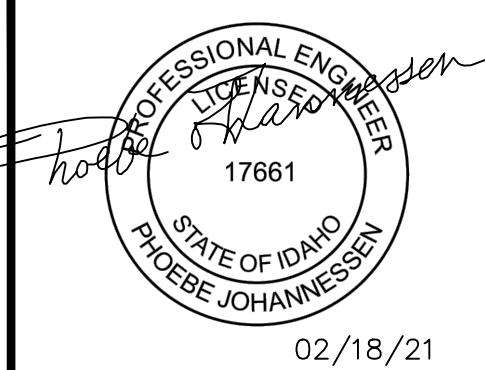


WESTCLIFF TOWNHOMES

LOCATED WITHIN SECTION 13, TOWNSHIP 4 NORTH, RANGE 17 EAST, B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO

PREPARED FOR: WESTCLIFF, LLC

| | | |
|-------------------|------------------|---------------|
| PROJECT NO. 20261 | DWG BY: DWS/ICPL | 20261PRE DWG |
| PRELIMINARY PLAT | DATE: 04/02/2021 | SHEET: 1 OF 1 |



| REVISIONS | |
|-----------|---------------|
| No. | DESCRIPTION |
| 1 | CITY COMMENTS |



PREPARED BY:
BENCHMARK ASSOCIATES, P.A.
P.O. BOX 733 100 BELL DRIVE
KETCHUM, IDAHO 83340
(208) 726-9512
FAX 726-9514
WEB: WWW.BMA5B.COM
MAIL: WWW.BMA5B.COM

GRADING & DRAINAGE PLAN
WESTCLIFF TOWNHOMES
T4N, R17E, SEC 13, B.M., KETCHUM, IDAHO
PREPARED FOR: PB INVESTMENTS

| | |
|--------------|-----------|
| DRAWN BY: | PLJ |
| DESIGNED BY: | PLJ |
| CHECKED BY: | DP |
| DATE: | 2/18/2021 |
| PROJECT NO.: | 20261 |

DRAWING NO.
C1

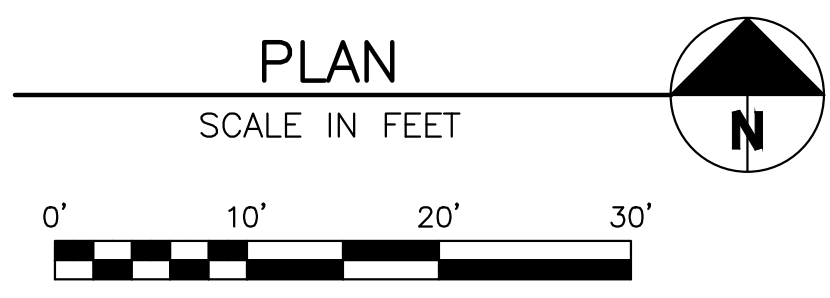
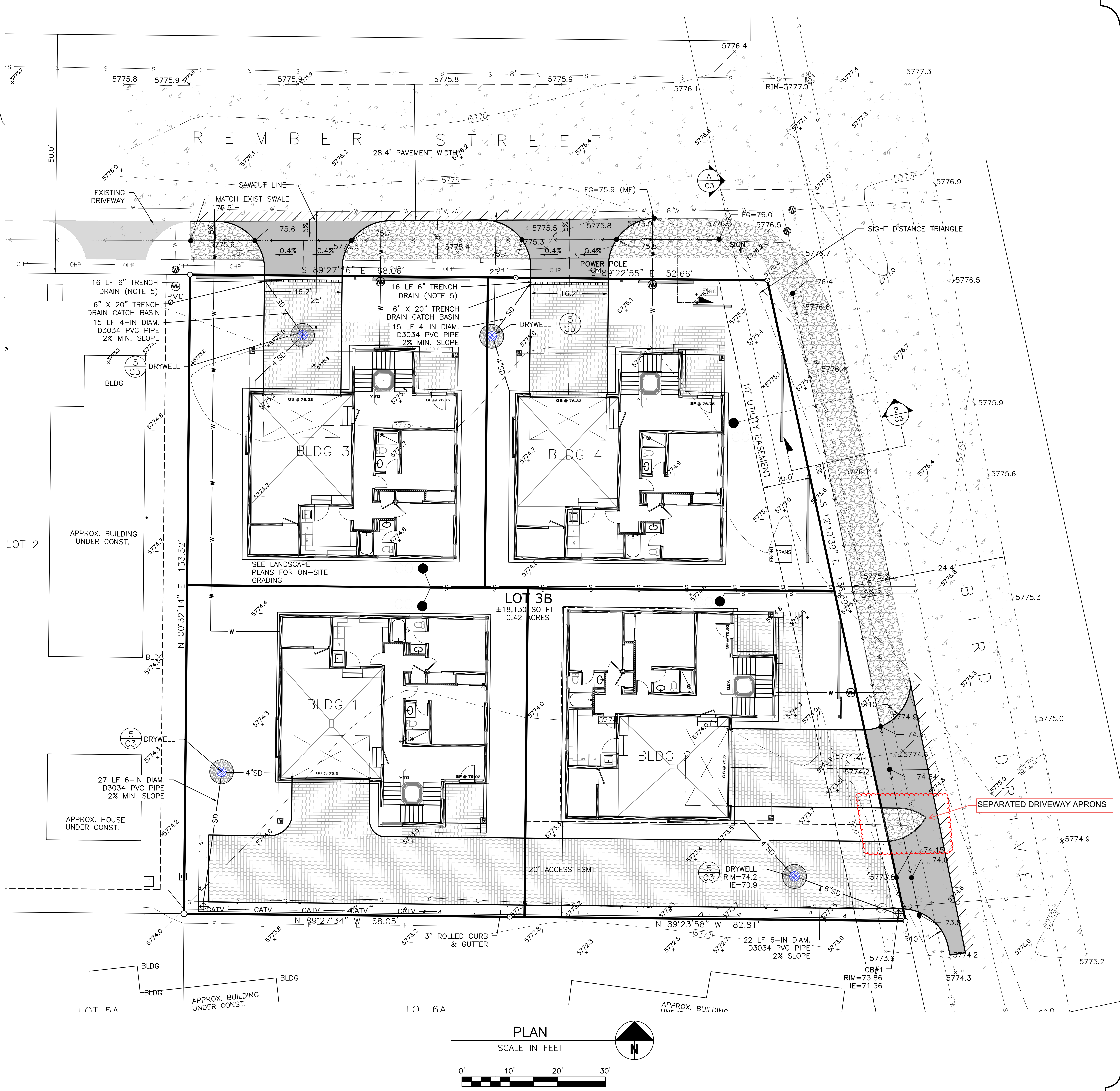


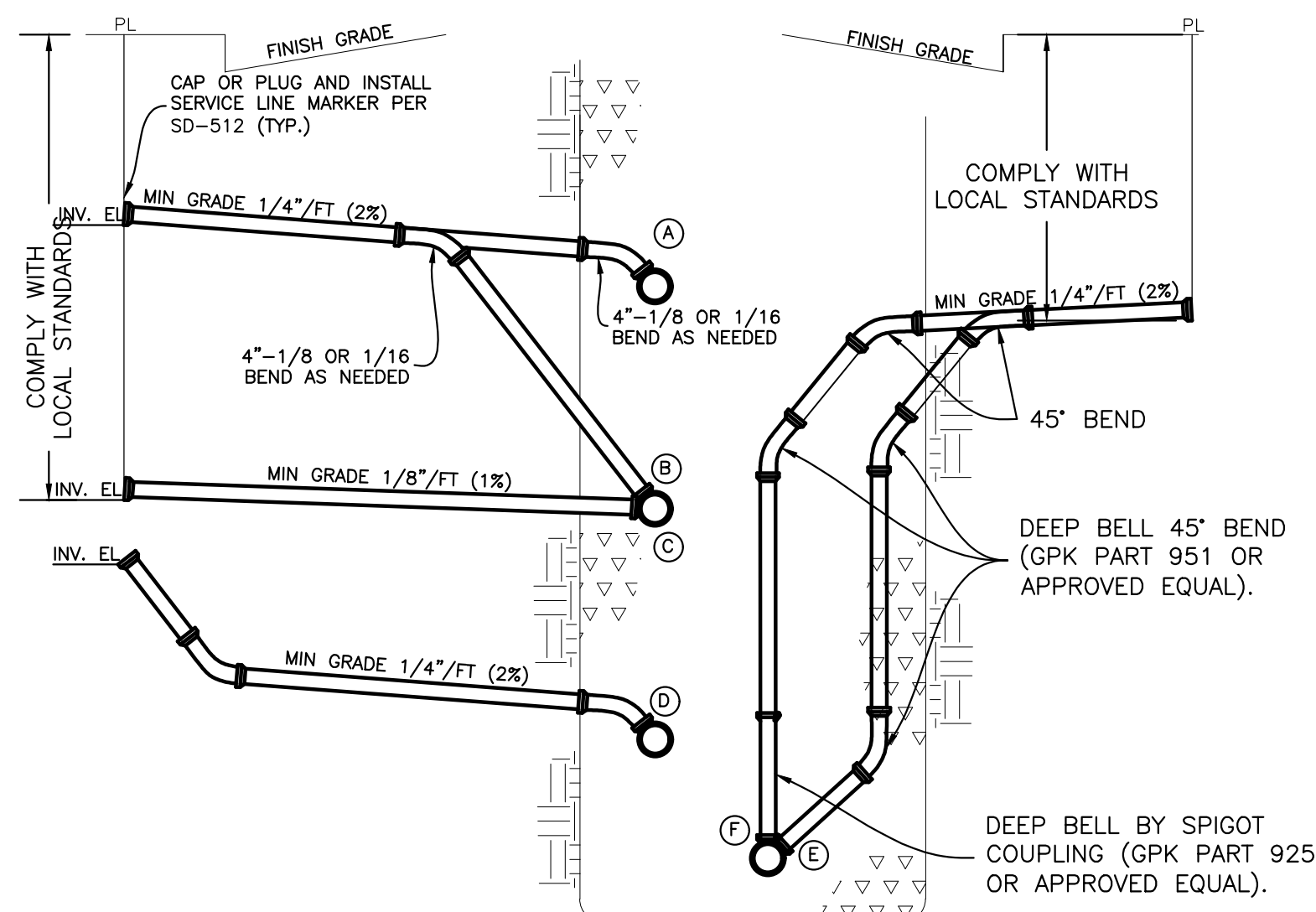
VICINITY MAP
NOT TO SCALE

- GENERAL NOTES**
- CONTRACTOR SHALL FIELD VERIFY LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING CONSTRUCTION. ANY CONFLICT SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
 - CONTRACTOR SHALL NOTIFY DIGLINE (1-800-342-1585) AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION ACTIVITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES ENCOUNTERED DURING CONSTRUCTION.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL DURING THE CONSTRUCTION OF ALL ITEMS HEREON. DUST CONTROL SHALL BE CONTINUOUS DURING CONSTRUCTION, 24 HOURS PER DAY 7 DAYS PER WEEK.
 - CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM THE HOUSE.
 - TRENCH DRAIN SHALL BE A 6" WIDE HDPE CHANNEL WITH A 0.75% BUILT IN CHANNEL SLOPE (ZURN FLO-THRU MODEL Z886 OR EQUIVALENT). GRATE SHALL BE DUCTILE IRON WITH A SLOTTED PATTERN. CATCH BASIN SHALL BE 6" WIDE X 20" LONG X 20" DEEP AND SHALL BE MADE OF HDPE. OUTLET PIPE SHALL BE 4" DIAMETER. (FLO-THRU MODEL Z887 OR EQUIVALENT). ALL COMPONENTS SHALL BE RATED FOR H2O LOADING.
 - ALL WORK WITHIN THE CITY RIGHT OF WAY SHALL CONFORM TO CITY OF KETCHUM STANDARDS.

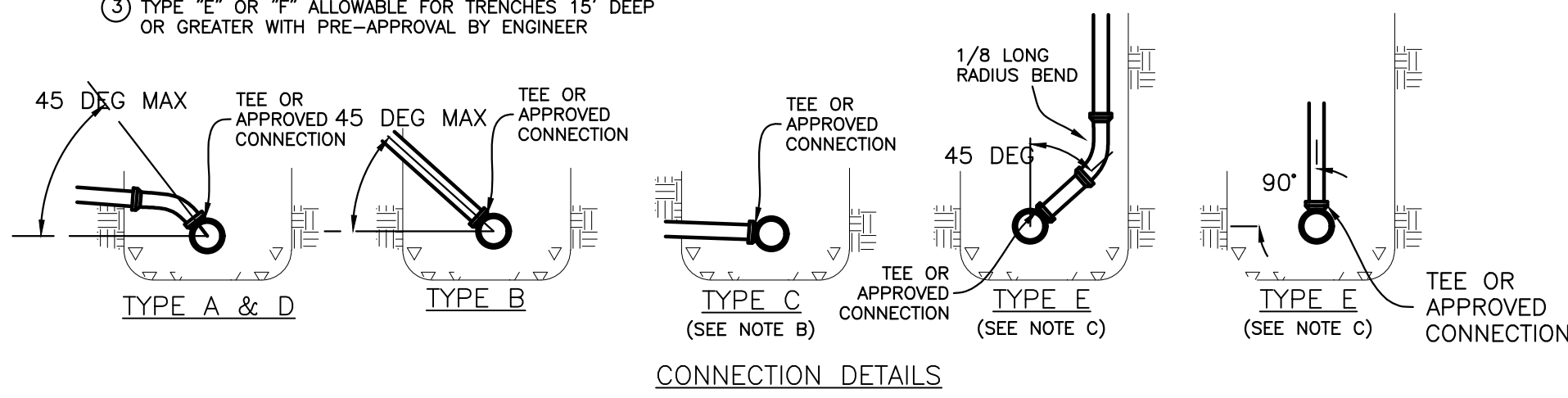
LEGEND

| | EXISTING | PROPOSED |
|-------------------------|--------------|----------|
| PROPERTY LINE | --- | --- |
| ADJOINING PROPERTY LINE | --- | --- |
| CENTERLINE | --- | --- |
| FENCE | --- | --- |
| SEWER | S | S |
| SEWER MANHOLE | ⊙ | ⊙ |
| SEWER CLEANOUT | ⊙ | ⊙ |
| WATER | W | W |
| WATER METER | ⊙ | ⊙ |
| GAS | G | G |
| POWER | E | E |
| OVERHEAD POWER | OHP | OHP |
| TELEPHONE | --- | --- |
| CABLE TV LINE | TV | TV |
| ELEVATION CONTOUR | ---[5775]--- | --- |
| SAWCUT LINE | --- | --- |
| FLOW LINE | --- | --- |
| DRYWELL | ⊙ | ⊙ |
| STORM DRAIN PIPE | 4"SD | 4"SD |
| DOWN SPOUT | DS | DS |
| ASPHALT PAVEMENT | --- | --- |
| PAVERS | --- | --- |
| GRAVEL | --- | --- |
| FG | --- | --- |
| EG | --- | --- |
| GB | --- | --- |
| ME | --- | --- |
| FINISHED GRADE | --- | --- |
| EXISTING GROUND | --- | --- |
| GRADE BREAK | --- | --- |
| MATCH EXISTING | --- | --- |

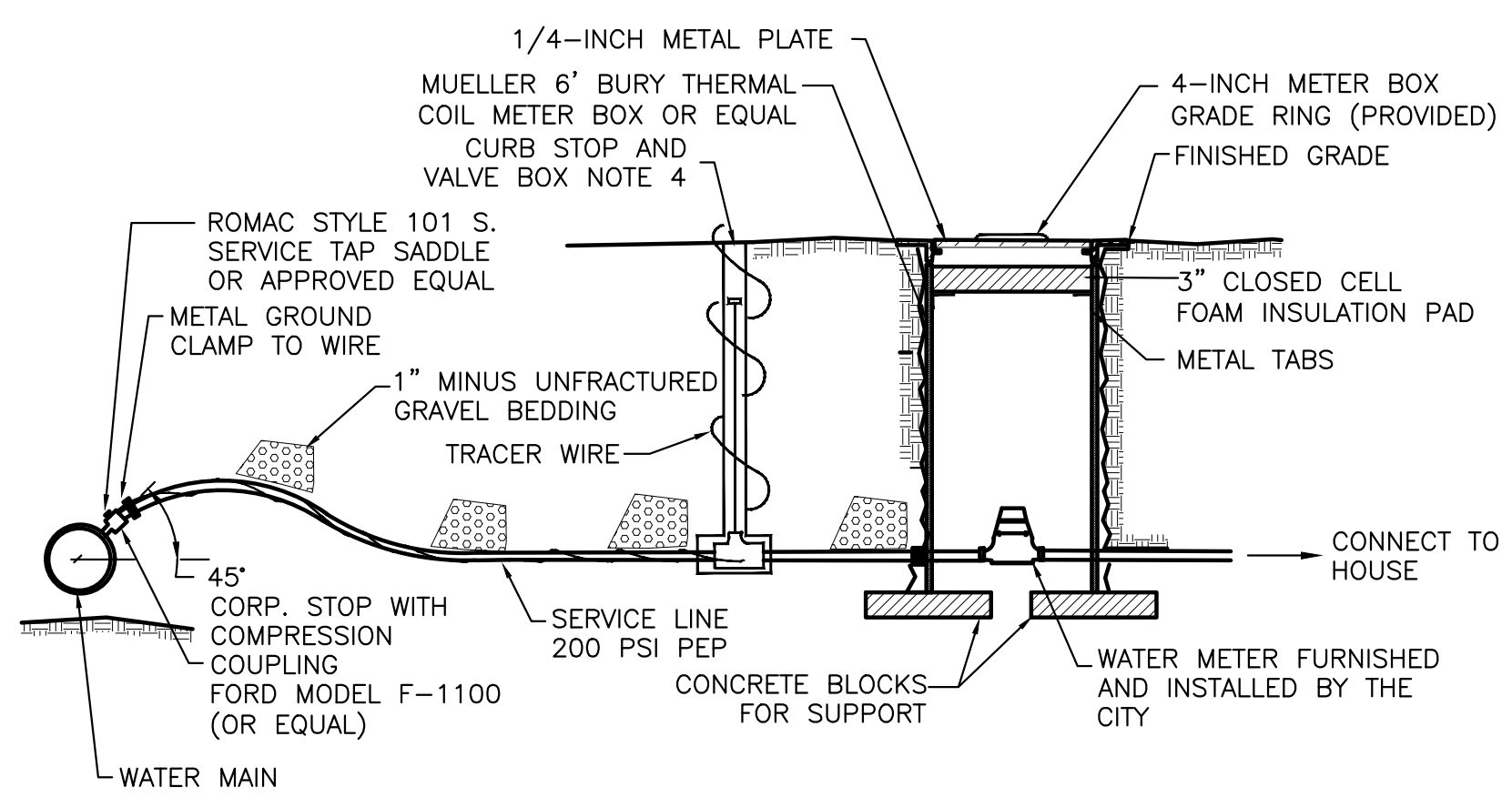




- NOTES**
- 1 ALL SERVICE LINES TO BE 4" INSIDE DIAMETER UNLESS OTHERWISE NOTED.
 - 2 TYPE "C" CONNECTION WILL ONLY BE ALLOWED IF SHOWN ON THE PLANS OR OTHERWISE APPROVED BY THE ENGINEER
 - 3 TYPE "E" OR "T" ALLOWABLE FOR TRENCHES 15' DEEP OR GREATER WITH PRE-APPROVAL BY ENGINEER

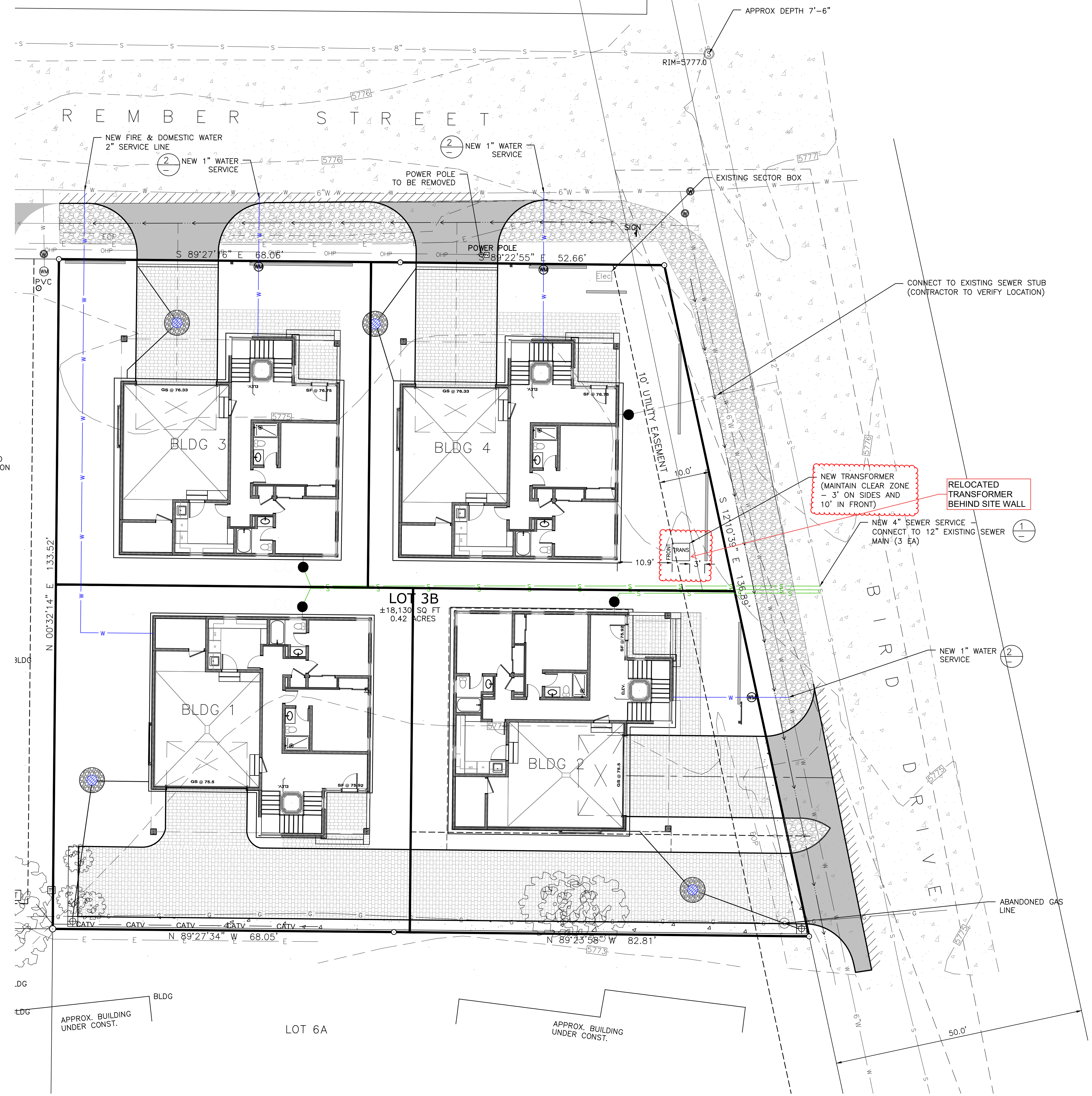


1 STANDARD SEWER SERVICE LINES
SCALE: NONE



- NOTES**
1. WATER SERVICE LINE SHALL HAVE A 6" MIN. BURY DEPTH
 2. SERVICE LINE SHALL BE 1" DIAMETER POLYETHYLENE PIPE UNLESS OTHERWISE SPECIFIED.
 3. WATER SERVICE LINES SHALL BE BEDDED WITH 1" MINUS UNFRACTURED GRAVEL. BEDDING SHALL BE INSTALLED 4" UNDER THE PIPE AND 6" OVER THE PIPE.
 4. FORD MODEL B-111 RESILIENT SEAT, CURB BALL VALVE (OR EQUAL). FORD EXTENSION CURB BOX WITH ARCHED BASE, 1-INCH UPPER SECTION, AND 2 HOLE "ERIE" PATTERN LID.

2 WATER SERVICE AND METER CONNECTION
SCALE: N.T.S.



PROFESSIONAL ENGINEER
LICENSE NO. 17661
STATE OF IDAHO
PRICE JOHANNESSEN
02/18/21

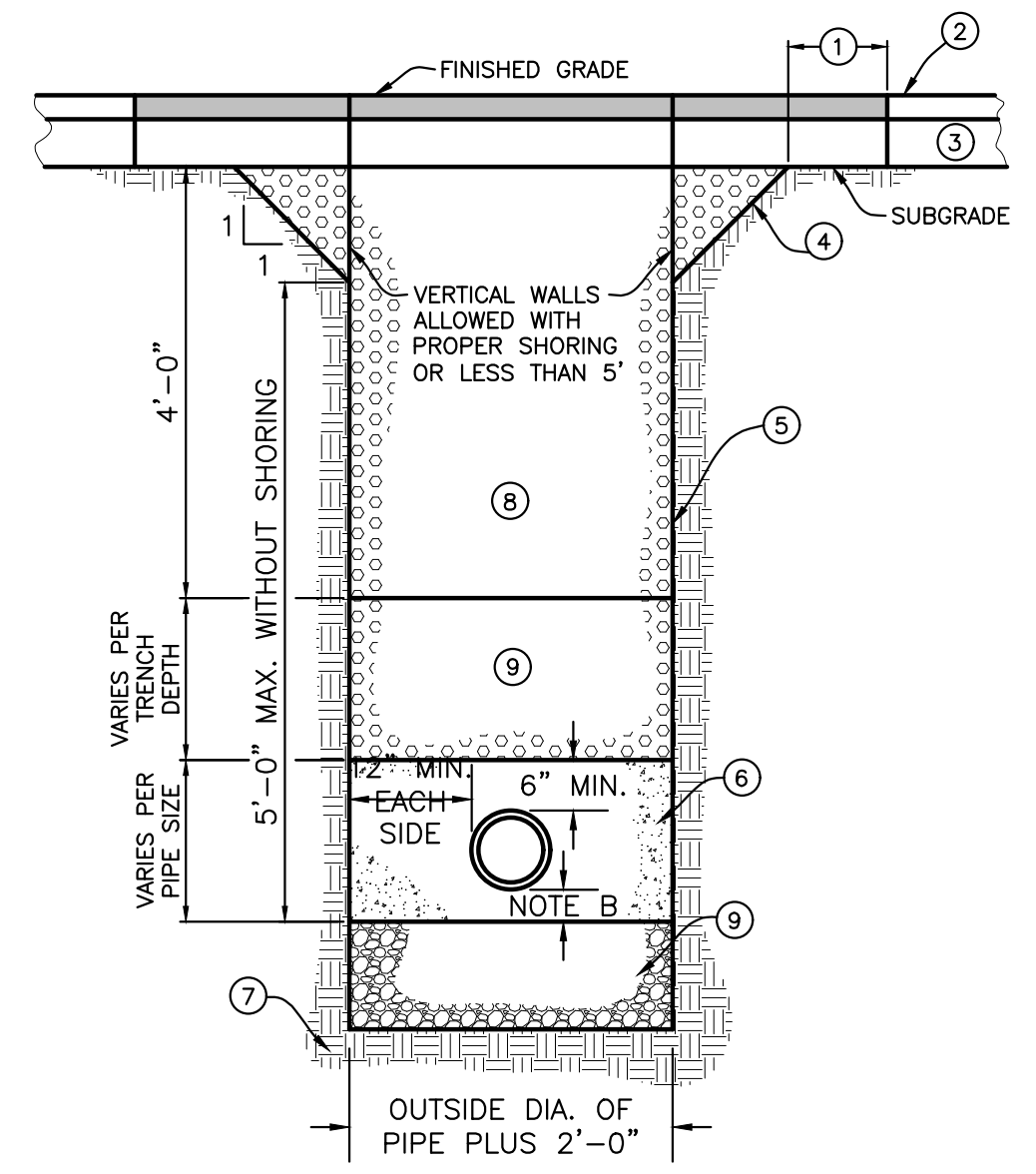
| NO. | DESCRIPTION | DATE | BY |
|-----|---------------|--------|-----|
| 1 | CITY COMMENTS | 4/2/21 | PLJ |

BENCHMARK ASSOCIATES, P.A.
PREPARED BY:
BENCHMARK ASSOCIATES, P.A.
P.O. BOX 733 100 BELL DRIVE
KETCHUM, IDAHO 83340
(208) 726-9512
FAX 726-9514
WEB: WWW.BMA5B.COM
MAIL: WWW.BMA5B.COM

UTILITY PLAN
WESTCLIFF TOWNHOMES
T4N, R17E, SEC 13, B.M., KETCHUM, IDAHO
PREPARED FOR: PB INVESTMENTS

| | |
|--------------|------------|
| DRAWN BY: | PLJ |
| DESIGNED BY: | PLJ |
| CHECKED BY: | DP |
| DATE: | 02/18/2021 |
| PROJECT NO.: | 20261 |

DRAWING NO.
C2



LEGEND

① 6" MIN. REQUIRED BOTH SIDES & SHALL BE SAWCUT.
 ② EXISTING SURFACE. (REPAIR ASPHALT TO MATCH EXISTING. (3" MINIMUM COMPACTED))
 ③ EXISTING BASE.
 ④ TRENCH BACK SLOPE
 ⑤ VERTICAL TRENCH WALLS, SHORING PER O.S.H.A.
 ⑥ PIPE BEDDING PER ISPMC SECTION-305 (SEE SD-302).
 ⑦ UNDISTURBED SOIL
 ⑧ LEAN CONCRETE
 ⑨ LOWER COMPACTION ZONE

NOTES

A TRENCH EXCAVATION PER ISPMC SECTION-301.
 B BACKFILL AND COMPACTION PER ISPMC SECTION-306.

DESCRIPTION AND CONSTRUCTION REQUIREMENTS:

IN AREAS WHERE IT IS NECESSARY TO CUT THE ASPHALT PAVEMENT AND DIG A TRENCH FOR BURIAL OF CONDUIT CABLE OR OTHER CITY UTILITY, THE TRENCH SHALL BE BACKFILLED WITH A LEAN CONCRETE MIX WITH THE FOLLOWING PROPORTIONS OF MATERIALS --

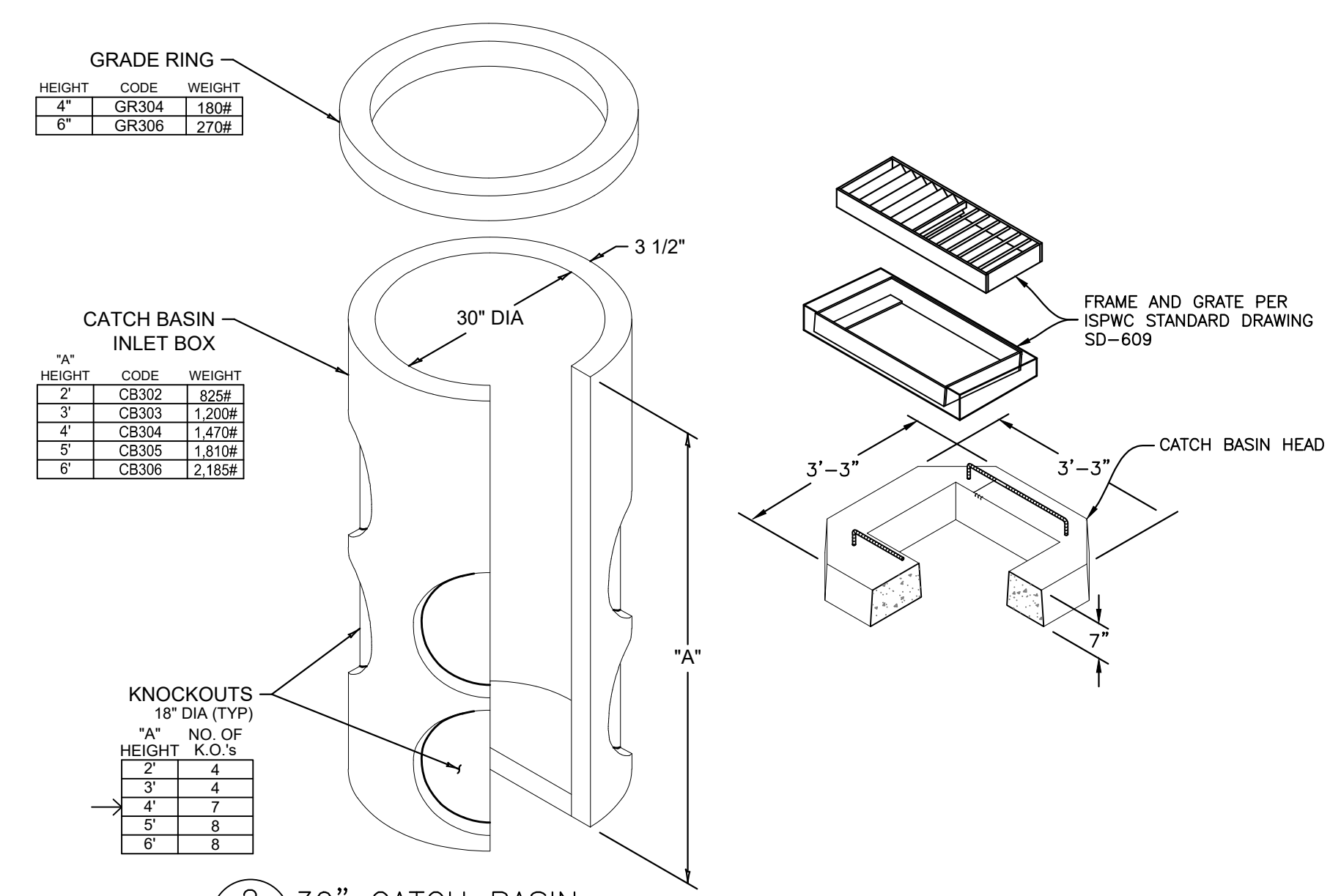
| | |
|-------------------------------|----------------|
| COARSE AGGREGATE (3/4" MINUS) | 2,600 LBS |
| SAND | 800 LBS |
| PORTLAND CEMENT | 94 LBS |
| WATER | 11 GAL. (MAX.) |

WATER CONTENT IS MAXIMUM AND MAY BE REDUCED. CARE SHALL BE TAKEN TO ASSURE THAT EXCESS WATER IS NOT PRESENT IN THE MIXING DRUM PRIOR TO CHARGING THE MIXER WITH MATERIALS. THOROUGH MIXING WILL BE REQUIRED PRIOR TO DISCHARGE.

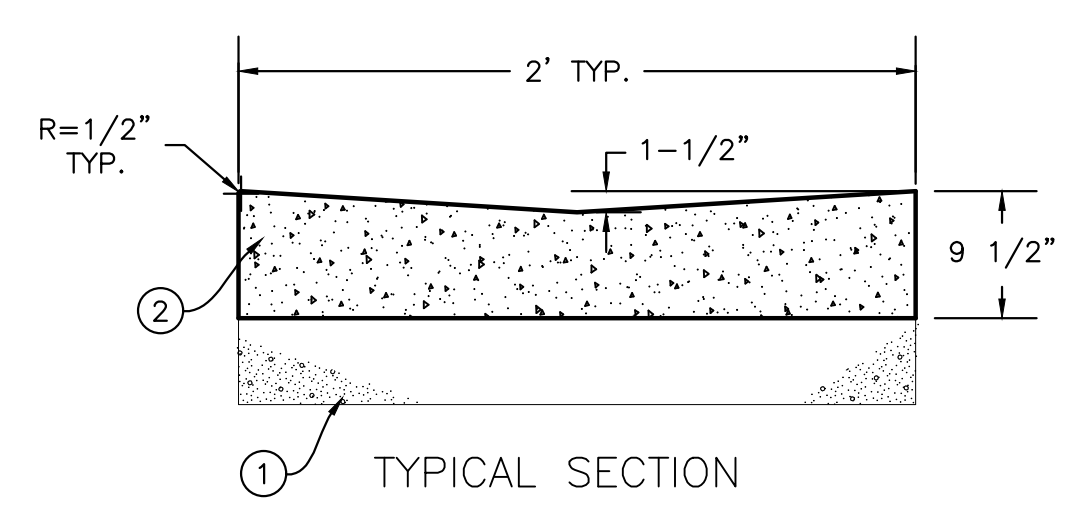
NO COMPACTION, VIBRATION OR FINISHING IS REQUIRED. THE LEAN CONCRETE MIX SHALL BE STRUCK OFF AT OR BELOW THE ELEVATION OF THE PLANT MIX SURFACING WITH A SQUARE-NOSE SHOVEL OR SIMILAR HAND TOOL. THE BACKFILL MIX SHALL BE ALLOWED TO SET FOR A MINIMUM OF 2 HOURS BEFORE THE PERMANENT PLANTMIX SURFACING IS PLACED TO COMPLETE THE TRENCH REPAIR.

TEMPORARY PLACEMENT OF ASPHALT COLD MIX SURFACING MAY BE NECESSARY TO ACCOMMODATE TRAFFIC WITHIN THE FIRST 2 HOURS OF BACKFILL PLACEMENT PRIOR TO COMPLETING THE PERMANENT REPAIR.

① TRENCH REPAIR IN CITY STREET
 C2 SCALE: NONE



② 30" CATCH BASIN
 C1 SCALE: N.T.S.



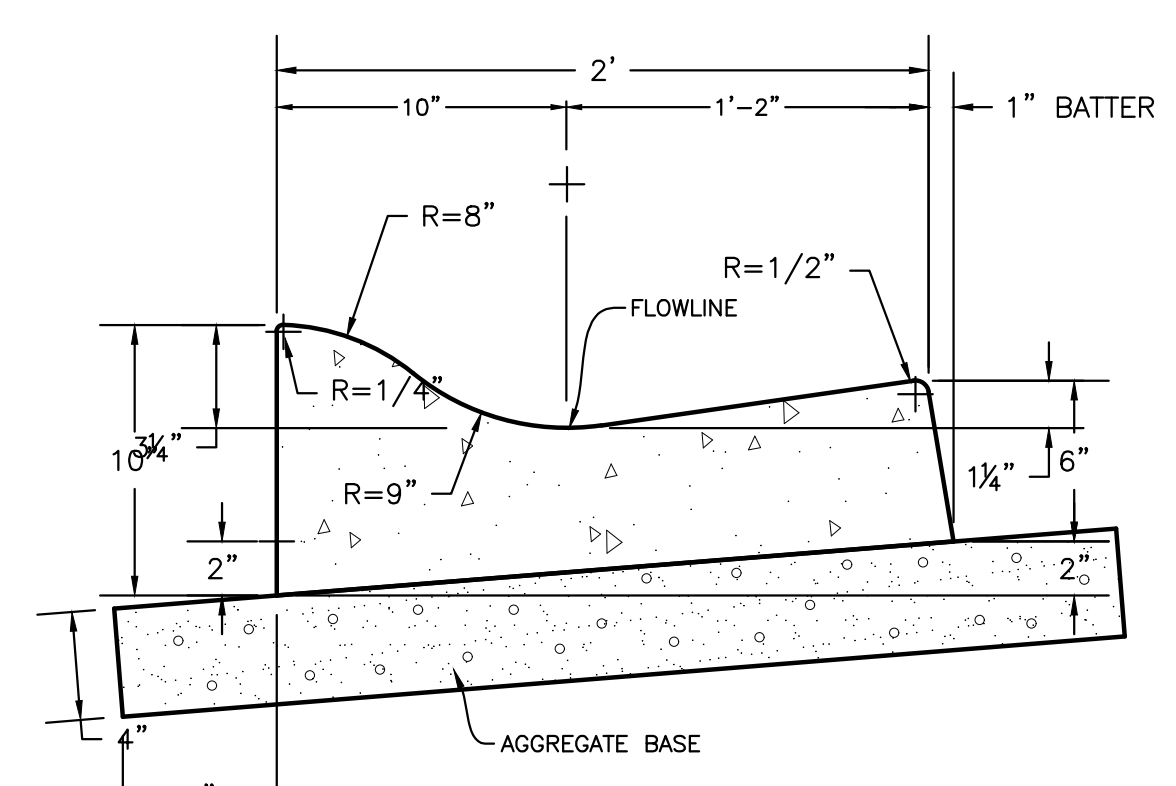
LEGEND

① 6-INCH AGGREGATE BASE
 ② CONCRETE

NOTES:

A GRADE OF GUTTER MINIMUM 0.5%.
 B EXPANSION JOINT 1/2-INCH PREFORMED JOINT MATERIAL (AASHTO M 213.)

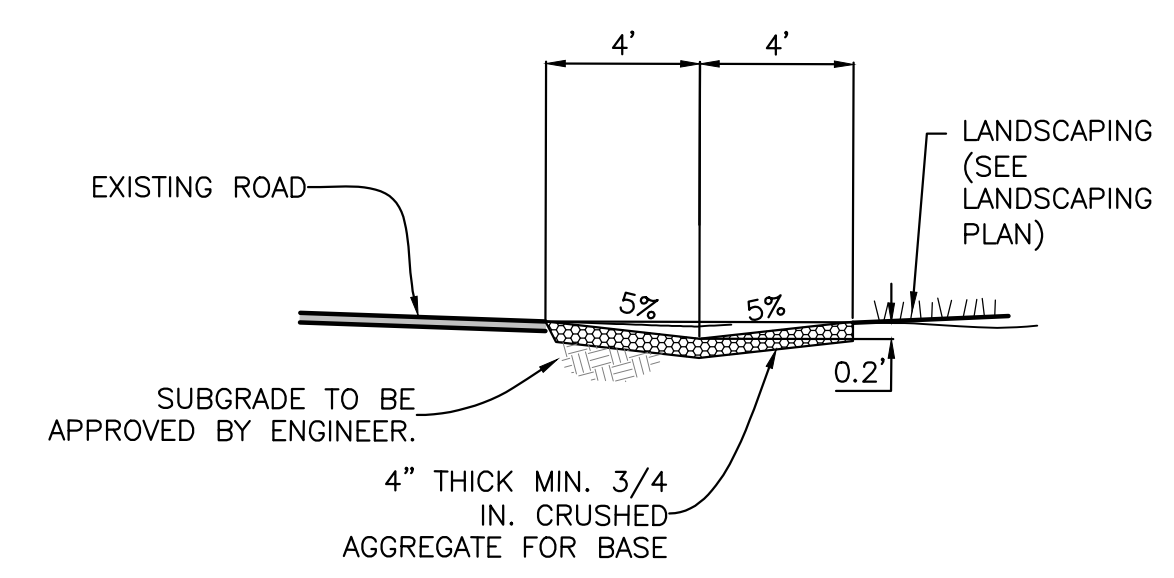
③ CONCRETE VALLEY GUTTER
 C1 SCALE: N.T.S.



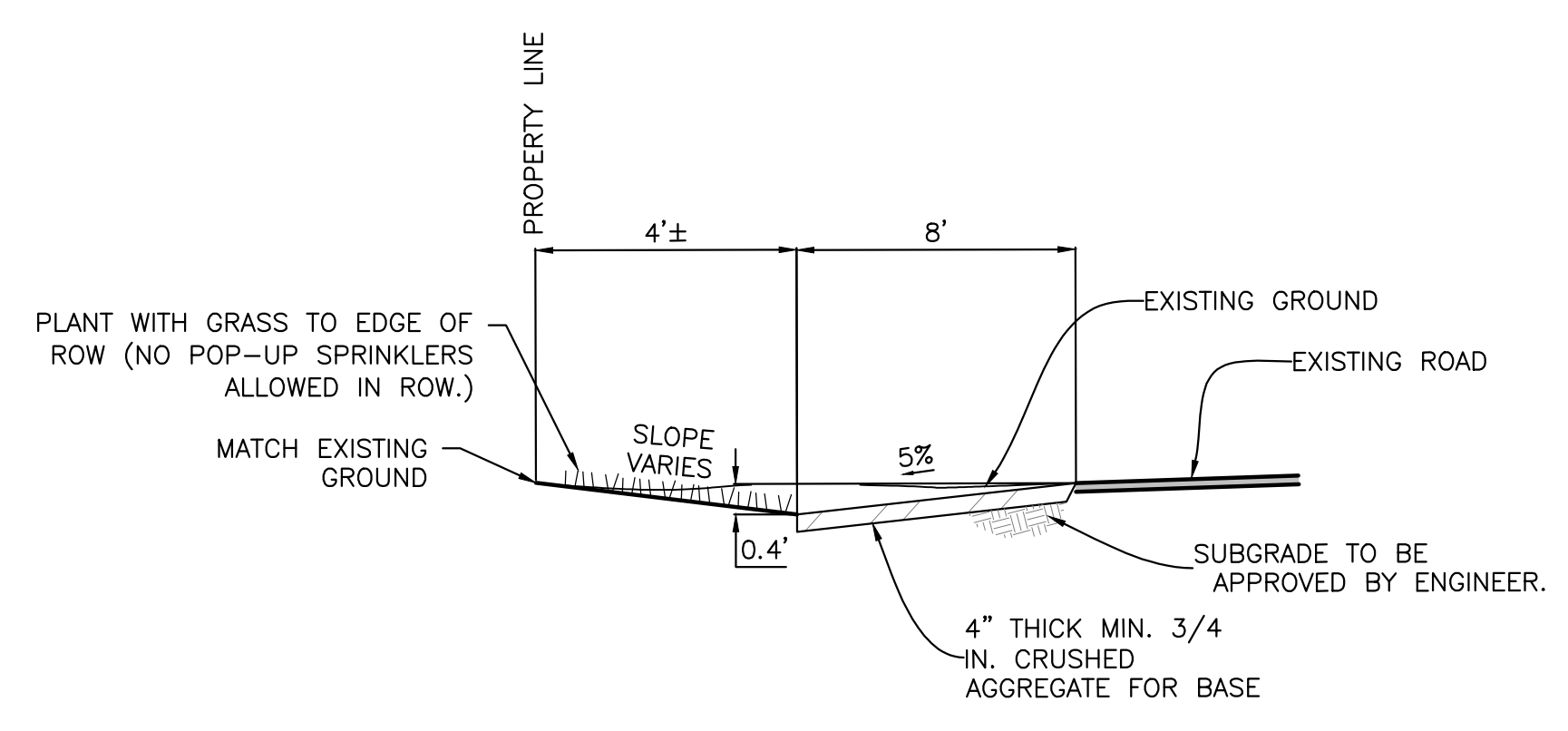
NOTES:

A GRADE AND ALIGNMENT TO BE ESTABLISHED OR APPROVED BY THE ENGINEER AND THE PUBLIC AGENCY HAVING JURISDICTION.
 B BASE: 4-INCH COMPACTED DEPTH OF 3/4-INCH MINUS CRUSHED AGGREGATE BASE MATERIAL, PLACE AS SPECIFIED AND PAID UNDER ISPMC SECTION-802; COMPACTED TO EXCEED 95% OF STANDARD PROCTOR.
 C 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADII.
 D CONTINUOUS PLACEMENT PREFERRED. SCORE INTERVALS 10-FOOT MAXIMUM SPACING (OR CONSISTENT WITH 2X SIDEWALK WIDTH FOR SCORE PATTERN).
 E MATERIALS AND CONSTRUCTION IN COMPLIANCE WITH ISPMC SPECIFICATIONS.
 F BACKFILL AS PER SECTION-706.
 G SECURE RIGHT-OF-WAY PERMIT BEFORE BEGINNING CONSTRUCTION IN PUBLIC RIGHT-OF-WAY.
 H USE ROLL CURB IN RESIDENTIAL AREAS, WHEN LOCAL JURISDICTION REQUIRES VERTICAL CURB AT INTERSECTIONS VERTICAL CURB LENGTH TO BE FULL RADIUS PLUS 5 FEET AT EACH END. TRANSITION LENGTH FROM ROLLED CURB TO VERTICAL CURB 2 FEET.

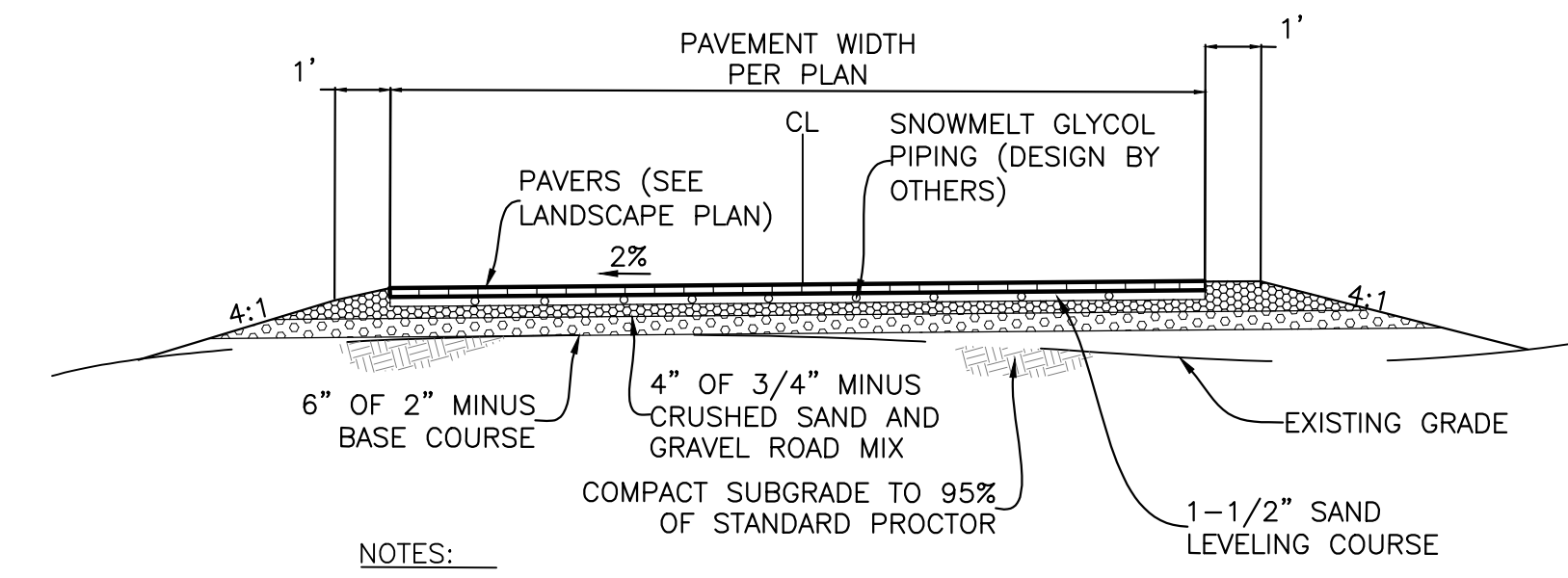
④ 3" ROLLED CURB AND GUTTER DETAIL
 C1 SCALE: NONE



A ROAD SHOULDER SECTION (NORTH SIDE)
 C1 SCALE: NONE



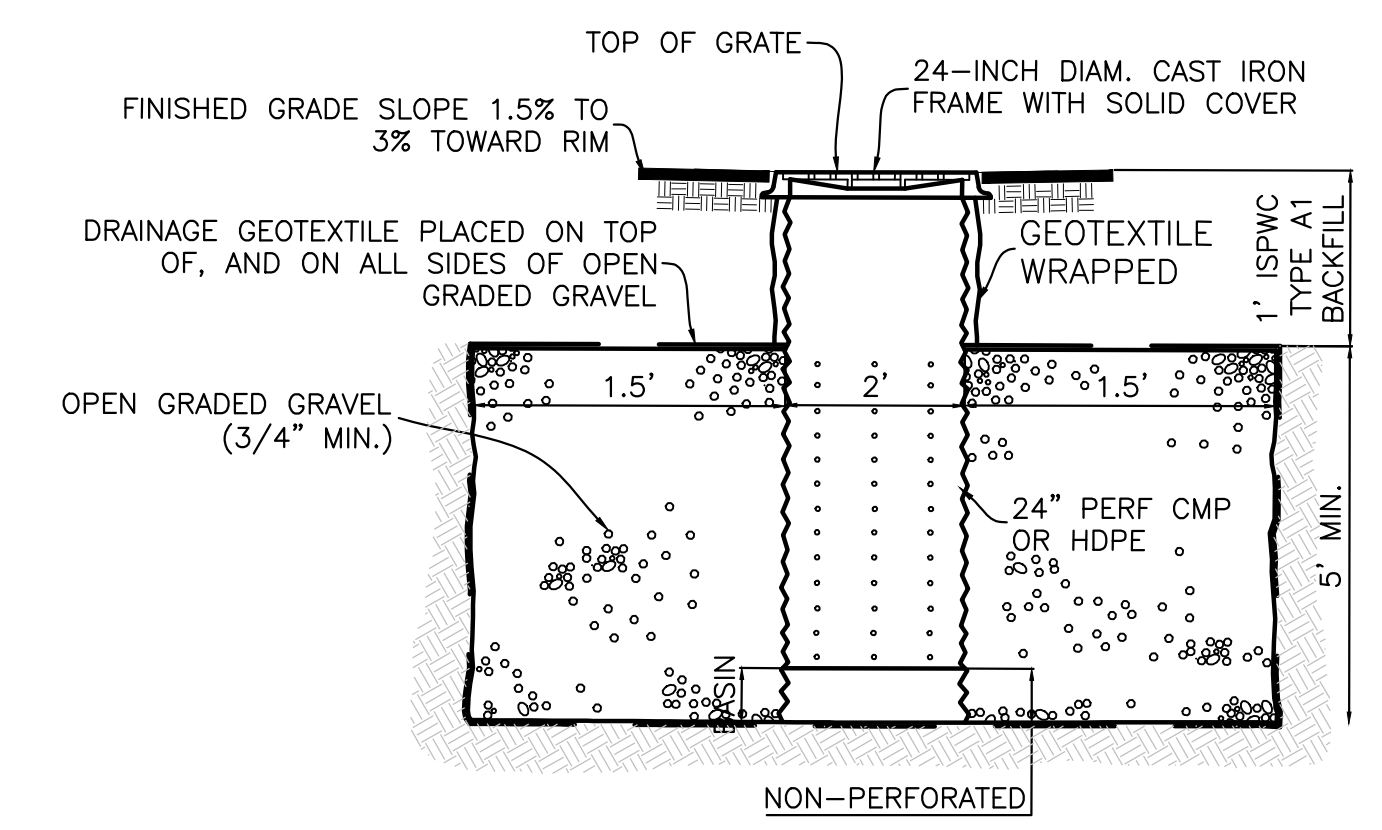
B ROAD SHOULDER SECTION (EAST SIDE)
 C1 SCALE: NONE



NOTES:

1. COMPACT DRIVEWAY SUBGRADE AND ALL STRUCTURAL FILL MATERIAL TO AT LEAST 95% OF THE MAXIMUM DENSITY OF EACH MATERIAL ACCORDING TO STANDARD PROCTOR ASTM D-698.

C DRIVEWAY SECTION
 C1 SCALE: NONE



NOTES:

① ALL PRODUCTS AS NOTED OR APPROVED SUBSTITUTION.

⑤ DRIVEWAY DRYWELL DETAIL
 C1 SCALE: NONE

| REVISIONS | DESCRIPTION | DATE | BY |
|-----------|-------------|------|----|
| No. 1 | | | |



PREPARED BY:
 BENCHMARK ASSOCIATES, P.A.
 P.O. BOX 733 100 BELL DRIVE
 KETCHUM, IDAHO 83340
 (208) 726-9512
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 WEB: WWW.BMASB.COM
 MAIL: WWW.BMASB.COM

DETAILS

WESTCLIFF TOWNHOMES
 T4N, R17E, SEC 13, B.M., KETCHUM, IDAHO
 PREPARED FOR: PB INVESTMENTS

DRAWN BY: PLJ
 DESIGNED BY: PLJ
 CHECKED BY: DP
 DATE: 02/18/2021
 PROJECT NO.: 20261

DRAWING NO.

C3

Exhibit B:
Design Review Application
&
Supplemental Materials
(Idaho Power Letters, Clear
Creek Disposal Letter, Story
Pole Photos)



City of Ketchum
Planning & Building

CERTIFIED COMPLETE
2-19-21
AM

Design Review Application

| OFFICIAL USE ONLY | |
|--|-------------|
| File Number: | P 21-019 |
| Date Received: | 2-19-21 |
| By: | mp |
| Pre-Application Fee Paid: | \$11,000.00 |
| Design Review Fee Paid: | \$2,850.00 |
| Approved Date: | |
| Denied Date: | |
| By: | |
| ADRE: Yes <input type="checkbox"/> No <input type="checkbox"/> | |

| APPLICANT INFORMATION | | | |
|--|---|---|---|
| Project Name: Westcliff Townhomes | | Phone: 207-720-2897 | |
| Owner: Westcliff LLC | | Mailing Address: P.O. Box 1906, Twin Falls, Idaho | |
| Email: wroth13@gmail.com | | | |
| Architect/Representative: Anderson Architecture, P.A. | | Phone: 208-726-6054 | |
| Email: pete@andersonarc.com | | Mailing Address: P.O. Box 1306, Ketchum Idaho 83340 | |
| Architect License Number: AR-2272 | | | |
| Engineer of Record: Butler Associates, Inc | | Phone: 208-720-6432 | |
| Email: svgeotech@gmail.com | | Mailing Address: P.O. Box 1034, Ketchum Idaho 83340 | |
| Engineer License Number: 9392 | | | |
| <i>All design review plans and drawings for public commercial projects, residential buildings containing more than four (4) dwelling units and development projects containing more than four (4) dwelling units shall be prepared by an Idaho licensed architect or an Idaho licensed engineer.</i> | | | |
| PROJECT INFORMATION | | | |
| Legal Land Description: Amended Lot 3B, Bavarian Village Sub, Ketchum Idaho | | | |
| Street Address: 106 Rember Street, Ketchum Idaho 83340 | | | |
| Lot Area (Square Feet): 18,129.1 SF | | | |
| Zoning District: GR-H | | | |
| Overlay District: | <input type="checkbox"/> Floodplain | <input type="checkbox"/> Avalanche | <input type="checkbox"/> Mountain |
| Type of Construction: | <input checked="" type="checkbox"/> New | <input type="checkbox"/> Addition | <input type="checkbox"/> Remodel <input type="checkbox"/> Other |
| Anticipated Use: | Number of Residential Units: | | |
| TOTAL FLOOR AREA | | | |
| | Proposed | Existing | |
| Basements | | Sq. Ft. | Sq. Ft. |
| 1 st Floor | 1618 | Sq. Ft. | Sq. Ft. |
| 2 nd Floor | 1483 | Sq. Ft. | Sq. Ft. |
| 3 rd Floor | 636 | Sq. Ft. | Sq. Ft. |
| Mezzanine | | Sq. Ft. | Sq. Ft. |
| Total | 3737 | Sq. Ft. | Sq. Ft. |
| FLOOR AREA RATIO | | | |
| Community Core: | Tourist: | General Residential-High: .67 | |
| BUILDING COVERAGE/OPEN SPACE | | | |
| Percent of Building Coverage: 64.3% building coverage, 35.7% open space | | | |
| DIMENSIONAL STANDARDS/PROPOSED SETBACKS | | | |
| Front: 15' | Side: 12' | Side: 12' | Rear: 18'-8" |
| Building Height: 34'-1", 34'-4 1/8", 34'-8 1/4", 34'-5 1/8", 34'-7 1/2"- measured highest point above lowest grade | | | |
| OFF STREET PARKING | | | |
| Parking Spaces Provided: 8 enclosed, 4 two car garages | | | |
| Curb Cut: 64.9 LF | Sq. Ft. | 24 | % |
| WATER SYSTEM | | | |
| <input checked="" type="checkbox"/> Municipal Service | | <input type="checkbox"/> Ketchum Spring Water | |

The Applicant agrees in the event of a dispute concerning the interpretation or enforcement of the Design Review Application in which the city of Ketchum is the prevailing party, to pay the reasonable attorney fees, including attorney fees on appeal and expenses of the city of Ketchum. I, the undersigned, certify that all information submitted with and upon this application form is true and accurate to the best of my knowledge and belief.

Signature of Owner/Representative

Date

DESIGN REVIEW EVALUATION STANDARDS

(May not apply to Administrative Design Review):

17.96.060: IMPROVEMENTS AND STANDARDS FOR ALL PROJECTS

A. Streets:

1. The applicant shall be responsible for all costs associated with providing a connection from an existing city streets to their development.
2. All streets designs shall be in conformance with the right-of-way standards and approved by the Public Works Director.

B. Sidewalks:

1. All projects under 17.96.010(A) that qualify as a "Substantial Improvement" shall install sidewalks in conformance with the right-of-way standards. Sidewalk improvements may be waived for projects that qualify as a "Substantial Improvement" which comprise additions of less than 250 square feet of conditioned space.
2. The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.
3. New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.
4. The city may approve and accept voluntary cash contributions in-lieu of the above described improvements, which contributions must be segregated by the city and not used for any purpose other than the provision of these improvements. The contribution amount shall be one hundred ten percent (110%) of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the Public Works Director. Any approved in-lieu contribution shall be paid before the city issues a certificate of occupancy.

C. Drainage:

1. All storm water shall be retained on site.
2. Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.
3. The Public Works Director may require additional drainage improvements as necessary, depending on the unique characteristics of a site.

April 21, 2021

Westcliff LLC
C/O Benchmark Associates
100 Rember Dr.
Ketchum, ID 83340

Re: Request for landscape walls within Idaho Power Easement Instrument Number (Inst. No.)
660804

Westcliff LLC:

This is in response to the request received by Idaho Power Company (IPC) on April 15, 2021, regarding the possible installation of landscaping walls within IPC easement Inst. No. 660804. The proposed location and landscaping wall dimensions are better described on the attached drawings you provided (Exhibit A). Also attached is IPC easement Inst. No. 660804 (Exhibit B) known as the "Easement Area".

IPC's records indicate that the Company does maintain facilities within the Easement Area. IPC is ok with the installation of the proposed landscaping walls however, should the walls or footings require removal for IPC to access underground power lines or devices, the walls will be moved/replaced at the customer(s) cost.

Thank you for providing Idaho Power Company the opportunity to review and comment upon your request.

Sincerely,



Krista Englund
Associate Real Estate Specialist
Land Management and Permitting Department
Idaho Power Company

208-388-2245
kenglund@idahopower.com

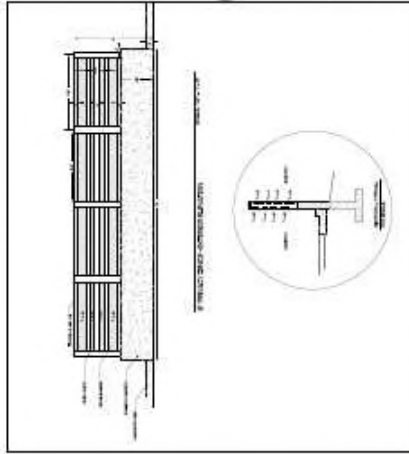
Exhibit A, Pg. 1

GRADING + DRAINAGE LEGEND

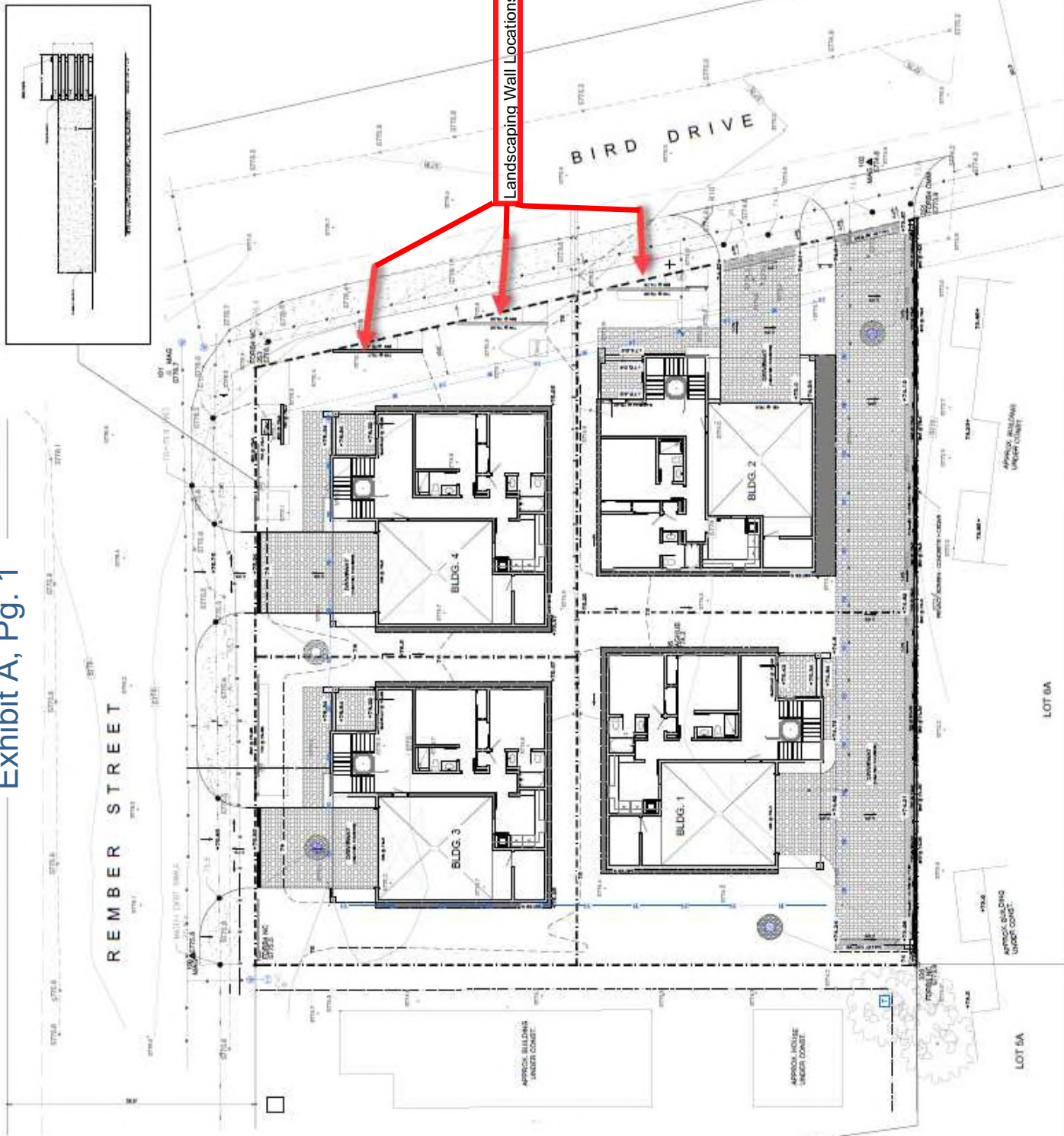
- EXISTING CONTOUR
- PROPOSED CONTOUR
- SPOT ELEVATION - EXISTING GRADE
- FINISH FLOOR ELEVATION
- GRADE ABOVE FINISH GRADE
- SPOT ELEVATION - FINISH GRADE
- TOP OF WALL ELEVATION
- BOTTOM OF WALL ELEVATION
- DIRECTION OF DRAINAGE
- DEWELL - 4.5'±F
- CATCHBASIN - 2.5'±F
- 2' FLOOR DRAINAGE
- CHANNEL DRAIN
- CONCRETE VALLEY CUTTER

HARDSCAPES

- CONCRETE SET WALL
- SPRINKLER AND IRRIGATION
- GRASS
- PERMEABLE PAVEMENT
- PERMEABLE PAVEMENT (SEE SHEET)
- PERMEABLE PAVEMENT (SEE SHEET)

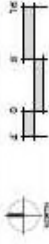


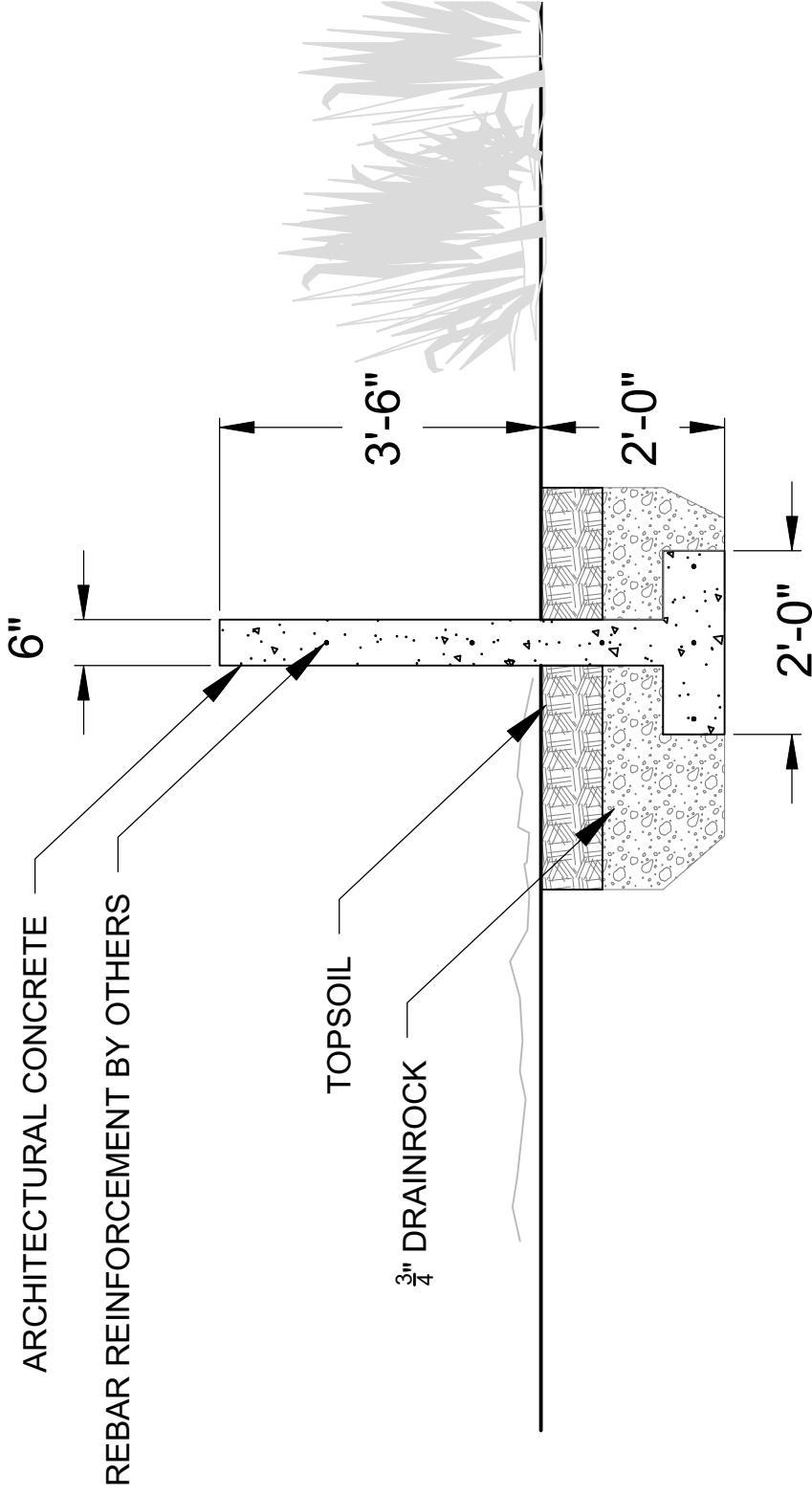
- ### GRADING + DRAINAGE NOTES:
- ALL FINISH GRADES AND ELEVATIONS SHALL BE TO THE CENTERLINE OF THE ROADWAY UNLESS OTHERWISE NOTED.
 - ALL FINISH GRADES AND ELEVATIONS SHALL BE TO THE CENTERLINE OF THE ROADWAY UNLESS OTHERWISE NOTED.
 - ALL FINISH GRADES AND ELEVATIONS SHALL BE TO THE CENTERLINE OF THE ROADWAY UNLESS OTHERWISE NOTED.
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 - ALL FINISH GRADES AND ELEVATIONS SHALL BE TO THE CENTERLINE OF THE ROADWAY UNLESS OTHERWISE NOTED.



GRADING PLAN

SCALE: 1/8" = 1'-0"





ARCHITECTURAL CONCRETE

REBAR REINFORCEMENT BY OTHERS

TOPSOIL

$\frac{3}{4}$ " DRAINROCK

6"

3'-6"

2'-0"

2'-0"

Site Wall - TYPICAL SECTION

scale: $\frac{1}{2}$ " = 1' - 0"



| For County Recorder's Use Only | |
|---------------------------------------|----------------------------|
| Instrument # 660804 | |
| HAILEY, BLAINE, IDAHO | |
| 06-14-2019 | 9:27:01 AM No. of Pages: 4 |
| Recorded for: IDAHO POWER | |
| JOLYNN DRAGE | Fee: \$19.00 |
| Ex-Officio Recorder Deputy: CWB | |
| Electronically Recorded by Simplifile | |

PLEASE RETURN TO:
 1221 W. Idaho St. (83702)
 P.O. Box 70
 Boise, ID 83707

Easement—Organization

4017E 13

Hanggi Family Limited Partnership

N/A

“Grantor(s)”, of Blaine County, State of Idaho, do hereby grant and convey to IDAHO POWER COMPANY, a Corporation, with its principal office located at 1221 W. Idaho Street, Boise, Idaho, 83702 (P.O. Box 70, Boise, ID 83707), its licensees, successors, and assigns, (collectively, “Grantee”), for One Dollar and other valuable considerations, the receipt and sufficiency of which is hereby acknowledged, a permanent and perpetual easement and right of way, at all times sufficient in width for the installation, erection, continued operation, maintenance, repair, alteration, inspection, and/or replacement of the following:

Underground Facilities: Underground electrical power line or lines and related facilities and equipment, generally including, but not limited to, buried power lines and wires, above-ground pad-mounted transformers, junction boxes, cables, conduits, communication lines, including fiber optics, other equipment, and all related appurtenances, any of which may extend above ground, in certain locations to be determined by Grantee at Grantee’s sole and absolute discretion (all of the above collectively being referred to as the “Facilities”) together with the right to permit the attachment and/or use or placement of the wires, fixtures, cables and conduits of other companies or parties (all of the same being included within the definition of “Facilities”), on, over, through, under, and across the following premises belonging to Grantor(s) in Blaine County, State of Idaho, in the location described below.

Grantee is hereby also granted the perpetual right of ingress and egress over Grantor’s other property necessary for the full and complete use, occupation, and enjoyment of the easement hereby granted, and together with all rights and privileges incident thereto, including, but not limited to, (i) the right, at Grantee’s expense, to excavate and refill ditches and trenches for the location of the Facilities, (ii) the right, at Grantee’s expense, to cut, trim, and remove trees, brush, bushes, sod, flowers, shrubbery, overhanging branches and other obstructions and improvements which may injure or interfere with Grantee’s use, occupation, or enjoyment of this easement, and (iii) the right, at Grantee’s expense, to install, construct, operate, inspect, alter, maintain, replace, improve and repair any and all aspects of Grantee’s Facilities over, through, under and across the lands subject to this easement.

The location of the easement and right of way granted herein is described as follows:

In Exhibit ‘A’ Legal Description and shown on Exhibit ‘B’ Survey Map attached hereto and made a part hereof.

Grantor shall not alter the grade or elevation of the land within the right-of-way existing on the date hereof through excavations, grading, installation of berms, or other activities without the prior written approval of Grantee. Grantor shall not place nor build any structure(s) within the easement area except fences and except as otherwise approved by Grantee in writing. This Easement shall run with the land and be binding upon the parties’ successors and assigns.

Checked by: EK
 Work Order #: 27523057

(Signature page immediately follows)

Executed and delivered this 3rd day of JUNE, 2019.

Signature(s) of Grantor(s) (Include title where applicable):

Dennis M. Hanggi, General Partner

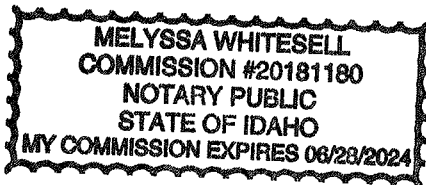
Corporate Verification

STATE OF Idaho
COUNTY OF Blaine } ss.

I, Melissa Whitesell (Notary's Name), a notary public, do hereby certify that on this 3rd day of June, 20 19, personally appeared before me Dennis Hanggi General Partner (Individual's Name Including Title) and _____ (Individual's

Name Including Title), who, being by me first duly sworn, declared that he/she/they are respectively the duly authorized person(s) of Hanggi Family Limited Partnership (Organization Name), that he/she/they signed the foregoing document, and acknowledged to me that he/she/they executed the same as the free act and deed on behalf of said organization.

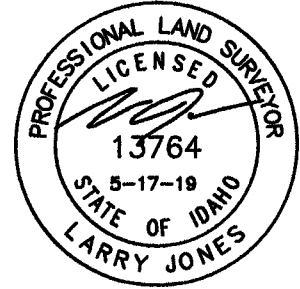
(NOTARY SEAL)



[Signature]
Notary Public
My Commission Expires on 06/28/2024

Benchmark Associates, P.A.

ENGINEERING, PLANNING, SURVEYING & MAPPING
P.O. Box 733 - 100 Bell Drive
Ketchum, Idaho 83340
208/726-9512 Fax 208/726-9514 www.benchmark-associates.com



DESCRIPTION - EXHIBIT A

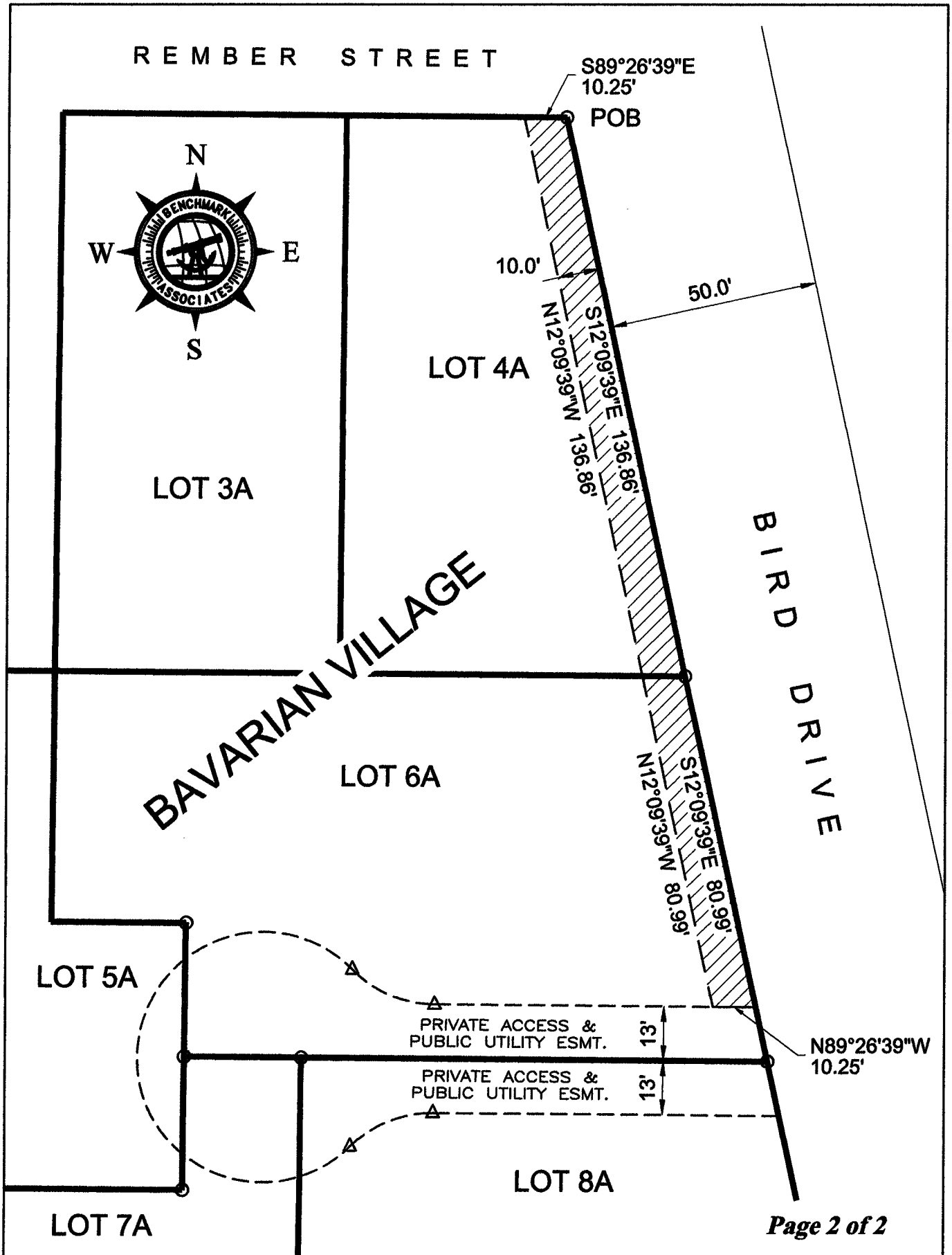
EASEMENT AREA

Within: SECTION 13, TOWNSHIP 4 NORTH, RANGE 17 EAST, BOISE MERIDIAN, KETCHUM, BLAINE COUNTY, IDAHO.

A Easement Area lying within Lots 4A and 6A, Bavarian Village Subdivision, according to the official plat thereof, recorded as Instrument No. 631181, records of Blaine County, Idaho, said easement area being more particularly described by metes and bounds as follows:

Beginning at a 1/2" rebar marking the northeasterly corner of said Lot 4A;
thence S12°09'39"E a distance of 136.86' to a 1/2" rebar marking the southeasterly corner of said Lot 4;
thence along the easterly boundary of said Lot 6A S12°09'39"E a distance of 80.99' to the existing public utility easement as shown on said Bavarian Village Subdivision ;
thence N89°26'39"W a distance of 10.25';
thence N12°09'39"W a distance of 80.99' to a point on the lot line between lots 6A and 4A;
thence N12°09'39"W a distance of 136.86' to the northerly lot line of said lot 4A;
thence S89°26'39"E a distance of 10.25';
Which is the point of beginning.

See exhibit map attached hereto and made a part of this description.



April 21, 2021

Phoebe Johannessen, PE
Senior Civil Engineer
Benchmark Associates, PA
Ketchum, ID 83340

Subject: IPCO Padmount Devices

Dear Phoebe:

Per your request for a letter regarding our requirements for padmount devices, and in particular, the Westcliff Townhomes, I have the following information.

Our clearance requirements for any padmount device is 3' on rear and sides of any padmount device and any padmount transformer requires 10' of clearance in any direction from a combustible structure unless the material is fire-rated per specs.

In addition to the above specifications, all padmount devices **MUST** have 10' of clearance from the front of the device (or where doors/access is located) so our crews can safely operate them. In the event of an emergency, we must be able to find the device quickly, be able to open quickly and have the 10' clearance to operate. Not only does the crew operate with a special tool that requires them to be back from the device, if there ever was an electrical arc the worker needs to be able to quickly move away from the device.

We also need the ability to change out a device in the future in the event of a failure or upgrade, which if there are walls or other encumbrances that keep us from changing the device, it can be a serious issue. Obviously we have older installations that may not meet these requirements now or customers have done something to lessen the clearances and if we find that it causes a safety issue, we will work with the customer to rectify the safety/clearance violation.

We have run across recent "screening" of our devices that violates the above specifications and we will need to address this requirement with the City of Ketchum. In two of the instances, we were not able to "remove" the screen either because of weight or because they were frozen in place. This truly is a safety concern for our employees and/or can cause a delay in de-energizing a line in the event of an emergency.

I have attached our specifications to address the above information as well. Please note that there may be other requirements or specifications that are not covered in this letter from a design standpoint. The specifications contained within this letter are for any device not just the project referenced above.

Best Regards,

Cheryl Bennett
Senior Distribution Designer
PO Box 3909, Hailey, ID 83333

Attachments:
Distribution Manual 53-04-01
Distribution Manual 53-04-04

cc: Jori Tate, IPCO Area Manager

C L E A R C R E E K D I S P O S A L

PO Box 130 • Ketchum, ID 83340 • Phone 208.726.9600 • www.ccdisposal.com

April 6, 2021

Planning & Zoning
City of Ketchum
P O Box 2315
Ketchum, ID 83340-2315

Re: Westcliff Townhomes

To Whom It May Concern,

I have engaged in conversation with Peter Anderson, of Anderson Architecture, regarding the above address; a new construction of four single family homes. Please let this letter serve as to the following:

Regular residential garbage/recycling service will apply to the project. Service will be provided at Rember St and Bird Dr. Owner(s) of the property(s) will transport items to be collected from their residence to the street via a private drive. Clear Creek Disposal will serve the properties at the edge of their respective Street for collection.

If you have any concerns, please call at your earliest convenience.

Respectfully,



Mike Goitiandia
Clear Creek Disposal

.Westcliff Townhomes













WESTCLIFF

- COMING IN 2021
- 4 INDIVIDUAL RESIDENCES
- 4 BEDROOM, 4 1/2 BATH
- ELEVATOR, ROOF DECK
- 2 CAR GARAGE



ALL INQUIRIES:
(208) 720-2987







Exhibit C:
Preliminary Plat Application
&
Supplemental Materials
(CC&Rs, Deed, Title Report)



**City of Ketchum
Planning & Building**

| OFFICIAL USE ONLY | |
|---------------------|--|
| Application Number: | |
| Date Received: | |
| By: | |
| Fee Paid: | |
| Approved Date: | |
| By: | |

Subdivision Application

Submit completed application and payment to the Planning and Building Department, PO Box 2315, Ketchum, ID 83340 or hand deliver to Ketchum City Hall, 480 East Ave. N., Ketchum. If you have questions, please contact the Planning and Building Department at (208) 726-7801. To view the Development Standards, visit the City website at: www.ketchumidaho.org and click on Municipal Code.

| APPLICANT INFORMATION | | | |
|--|-------------------------------|------------------------------|---|
| Name of Proposed Subdivision: Westcliff Townhomes | | | |
| Owner of Record: PB Investments / Westcliff LLC | | | |
| Address of Owner: PO Box 1906, Twin Falls, ID 83303 | | | |
| Representative of Owner: Benchmark Associates, PA | | | |
| Legal Description: Bavarian Subdivision, Lots 3B | | | |
| Street Address: 106/110 Rember Street | | | |
| SUBDIVISION INFORMATION | | | |
| Number of Lots/Parcels: 1 lot being divided into 4 townhouse sublots | | | |
| Total Land Area: 18,130 sf | | | |
| Current Zoning District: GR-H | | | |
| Proposed Zoning District: GR-H | | | |
| Overlay District: none | | | |
| TYPE OF SUBDIVISION | | | |
| Condominium <input type="checkbox"/> | Land <input type="checkbox"/> | PUD <input type="checkbox"/> | Townhouse <input checked="" type="checkbox"/> |
| Adjacent land in same ownership in acres or square feet: n/a | | | |
| Easements to be dedicated on the final plat: 10' utility easement per Inst. Nos. 660804 & 661178 | | | |
| Briefly describe the improvements to be installed prior to final plat approval: building improvements per building permit | | | |
| ADDITIONAL INFORMATION | | | |
| All lighting must be in compliance with the City of Ketchum's Dark Sky Ordinance One (1) copy of Articles of Incorporation and By-Laws of Homeowners Associations and/or Condominium Declarations One (1) copy of current title report and owner's recorded deed to the subject property One (1) copy of the preliminary plat All files should be submitted in an electronic format. | | | |

Applicant agrees in the event of a dispute concerning the interpretation or enforcement of the Subdivision Application in which the City of Ketchum is the prevailing party to pay reasonable attorney's fees and costs, including fees and costs of appeal for the City of Ketchum. Applicant agrees to observe all City ordinances, laws and conditions imposed. Applicant agrees to defend, hold harmless and indemnify the City of Ketchum, city officials, agents and employees from and for any and all losses, claims, actions, judgments for damages, or injury to persons or property, and losses and expenses caused or incurred by Applicant, its servants, agents, employees, guests and business invitees and not caused by or arising out of the tortious conduct of city or its officials, agents or employees. Applicant certifies that s/he has read and examined this application and that all information contained herein is true and correct.

North William, Rep.

Applicant Signature

1/15/20

Date

WESTCLIFF TOWNHOMES

LOCATED WITHIN: SECTION 13, TOWNSHIP 4 NORTH, RANGE 17 EAST, B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO

A TOWNHOUSE SUBDIVISION OF BAVARIAN VILLAGE SUBDIVISION, LOT 3B.

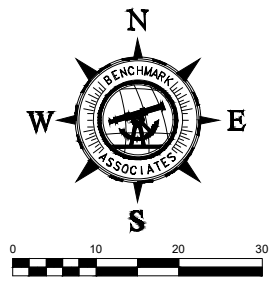
APRIL 2021 PRELIMINARY PLAT

SURVEYOR'S NARRATIVE:

1. THE PURPOSE OF THIS PLAT IS TO CREATE FOUR SUBLOTS WITHIN LOT 3B OF BAVARIAN VILLAGE SUBDIVISION. FOUND MONUMENTS WERE ACCEPTED AS EITHER ORIGINAL OR REPLACEMENTS OF ORIGINAL CORNERS.
2. DIMENSIONS SHOWN HEREON ARE MEASURED. FOR RECORD DIMENSIONS, SEE REFERENCED SURVEYS.
3. DOCUMENTS USED IN THE COURSE OF THIS SURVEY:
 - A. ORIGINAL PLAT OF "BAVARIAN VILLAGE SUBDIVISION", INST. NO. 139821.
 - B. PLAT OF "BAVARIAN VILLAGE SUBDIVISION: LOTS 3A, 4A, 5A, 6A, 7A & 8A", INST. NO. 631181.
 - C. PLAT OF "BAVARIAN VILLAGE SUBDIVISION: LOT 3B", INST. NO. 680918.

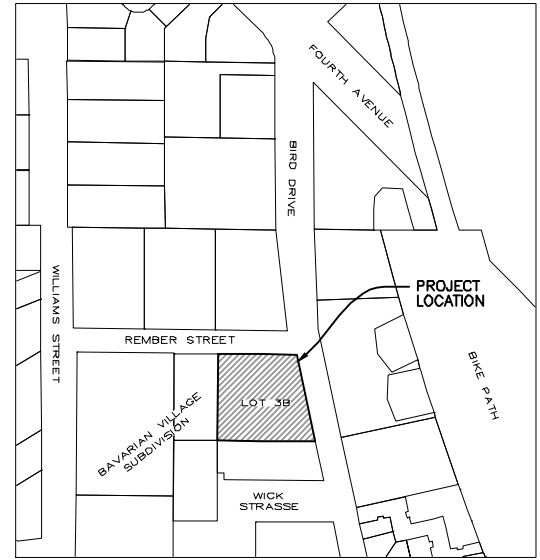
NOTES:

1. REFER TO THE ORIGINAL PLAT OF BAVARIAN VILLAGE SUBDIVISION, INST. NO. 139821, TO THE PLAT OF BAVARIAN VILLAGE SUBDIVISION: LOTS 3A, 4A, 5A, 6A, 7A & 8A, INST. NO. 631181 AND TO THE PLAT OF BAVARIAN VILLAGE SUBDIVISION: LOT 3B, INST. NO. 680918. FOR CONDITIONS, RESTRICTIONS AND PLAT NOTES GOVERNING THIS PROPERTY.
2. THE TOWNHOME DECLARATION AND PARTY WALL AGREEMENT FOR WESTCLIFF TOWNHOMES WERE RECORDED AS INST. NO. _____, RECORDS OF BLAINE COUNTY, IDAHO.
3. THE PHASED DEVELOPMENT AGREEMENT FOR WESTCLIFF TOWNHOMES WAS RECORDED AS INST. NO. _____, RECORDS OF BLAINE COUNTY, IDAHO.
4. ALL TOWNHOUSE OWNERS SHALL HAVE MUTUAL RECIPROCAL EASEMENTS FOR EXISTING AND FUTURE PUBLIC AND PRIVATE UTILITIES INCLUDING, BUT NOT LIMITED TO, WATER, CABLE TV, SEWER, NATURAL GAS, TELEPHONE, AND ELECTRIC LINES OVER, UNDER AND ACROSS THEIR TOWNHOUSE SUBLOTS AND COMMON AREA FOR THE REPAIR, MAINTENANCE AND REPLACEMENT THEREOF.
5. A 20 FOOT WIDE EASEMENT WITHIN SUBLLOT 2 FOR INGRESS, EGRESS, PUBLIC UTILITIES AND EMERGENCY VEHICLE ACCESS IS GRANTED TO BENEFIT SUBLLOT 1, AS SHOWN HEREON.
6. THE CURRENT ZONING IS GENERAL RESIDENTIAL HIGH DENSITY (GR-H). REFER TO THE CITY OF KETCHUM ZONING CODE FOR MORE INFORMATION ABOUT THIS ZONE.
7. UTILITIES ARE PER SURFACE EVIDENCE ONLY. OTHER UNDERGROUND UTILITIES MAY EXIST. LOCATION OF UNDERGROUND UTILITIES AND SERVICES SHOULD BE CONFIRMED PRIOR TO EXCAVATION OR DESIGN. WATER AND SEWER LINES ARE PER FOUND VALVES, MANHOLES AND RECORD MAPS.
8. VERTICAL DATUM: ELEVATIONS BASED ON NAVD 88 (GEIOD03) DATUM UTILIZING SMARTNET CORS STATION IDKM.



LEGEND:

- SUBLLOT BOUNDARY
- - - EASEMENT LINE AS SHOWN
- EDGE PAVEMENT
- PROPOSED BUILDING ENVELOPE
- EXISTING WATER LINE
- PROPOSED WATER SERVICE
- EXISTING SEWER LINE
- PROPOSED SEWER SERVICE
- EXISTING GAS LINE
- EXISTING ELECTRIC LINE
- CATV
- EXISTING OVERHEAD POWER LINE
- 5775 EXISTING CONTOUR
- 5775 PROPOSED CONTOUR
- FLOWLINE
- ELECTRIC BOX
- GAS MARKER
- SEWER MANHOLE
- TELECOM BOX
- WATER VALVE
- WATER METER
- CATV BOX
- STORM DRAIN
- COMMON AREA
- PROPOSED DRYWELL
- PROPOSED CATCH BASIN
- PROPOSED EASEMENT "A" (SEE NOTE 5.)
- DRAINAGE ARROW
- FOUND 5/8" REBAR
- FOUND 1/2" REBAR



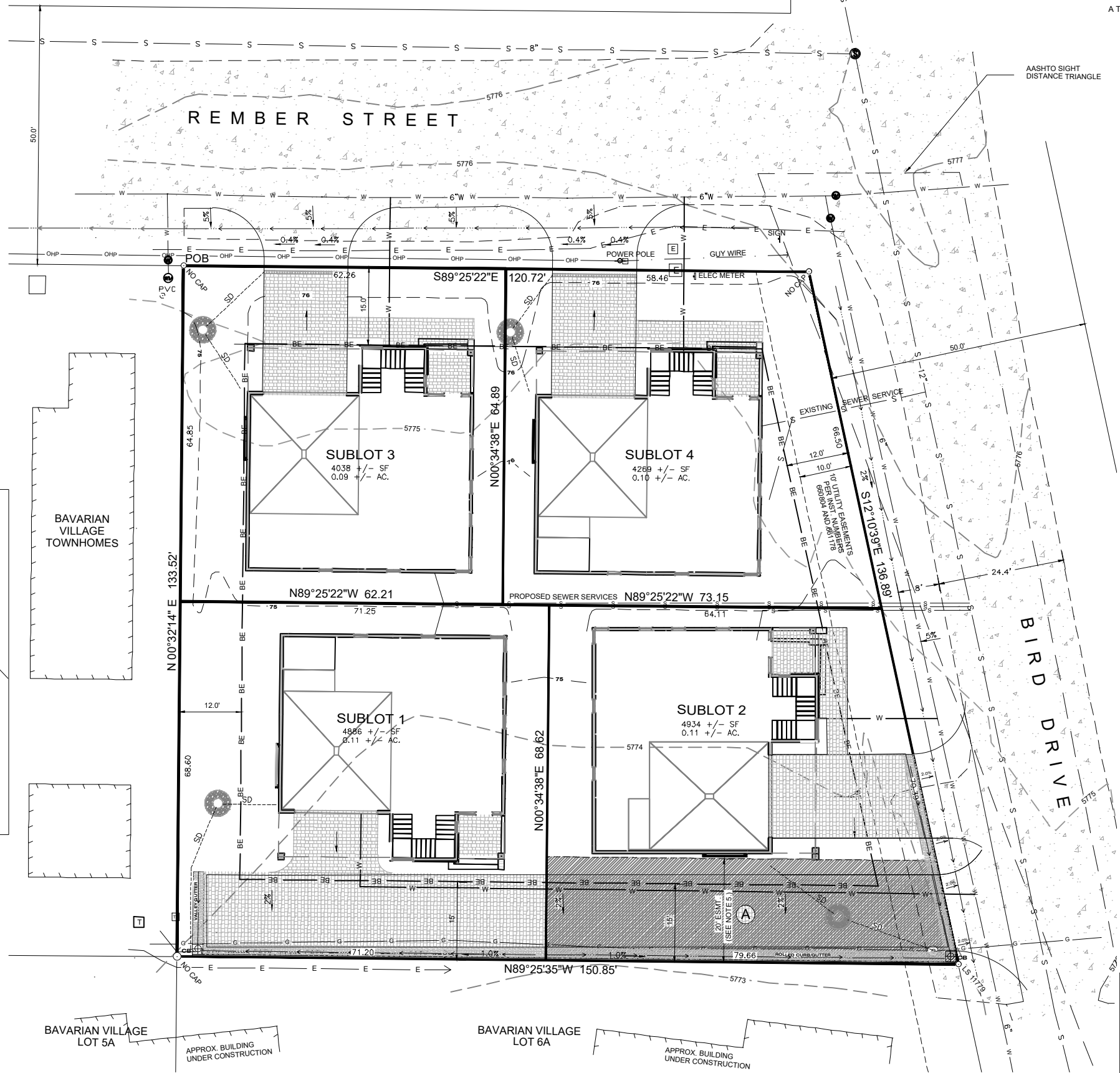
VICINITY MAP
NOT TO SCALE

HEALTH CERTIFICATE

Sanitary restrictions as required by Idaho Code Title 50, Chapter 13, have been satisfied. Sanitary restrictions may be reimposed, in accordance with Idaho Code Title 50, Chapter 13, Section 50-1326, by the issuance of a certificate of disapproval.

South Central Public Health District, REHS

Dated: _____



AASHTO SIGHT DISTANCE TRIANGLE

BIRD DRIVE

BAVARIAN VILLAGE LOT 5A

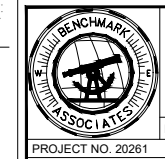
BAVARIAN VILLAGE LOT 6A

APPROX. BUILDING UNDER CONSTRUCTION

APPROX. BUILDING UNDER CONSTRUCTION



DRAWING



WESTCLIFF TOWNHOMES

LOCATED WITHIN SECTION 13, TOWNSHIP 4 NORTH, RANGE 17 EAST, B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO

PREPARED FOR: WESTCLIFF, LLC

| | | |
|-------------------|------------------|---------------|
| PROJECT NO. 20261 | DWG BY: DWS/ICPL | 20261PRE DWG |
| PRELIMINARY PLAT | DATE: 04/02/2021 | SHEET: 1 OF 1 |

**DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS
OF
WESTCLIFF TOWNHOMES**

THIS DECLARATION is made on the date hereunder set forth by **WESTCLIFF, L.L.C.**, an Idaho limited liability company, hereinafter referred to as "Declarant".

RECITALS

This Declaration is made in contemplation and furtherance of the following facts and purposes:

- A. Declarant is the owner of certain real property located in the City of Ketchum, Blaine County, State of Idaho, more particularly described as follows: Bavarian Subdivision Lot 3B as shown on the official plat thereof recorded as Instrument No. _____, records of Blaine County, Idaho (hereinafter sometimes referred to as "Subdivision).
- B. The Subdivision, and all improvements and structures to be erected and maintained thereon, is a Townhome subdivision project developed pursuant to applicable zoning, subdivision and land use ordinances of the City of Ketchum, Idaho.
- C. It is the intent of the Declarant to create a quality residential Townhome project in Ketchum within Westcliff Townhomes Subdivision and the surrounding environment, for the enjoyment and convenience of persons living within said project, and to secure said objectives through the covenants, conditions and restrictions hereinafter set forth.

DECLARATION

Declarant hereby declares that Westcliff Townhomes Subdivision, and all real property, parcels, lots, Townhome sub-lots and common area now or hereafter situated within said Subdivision, or otherwise made subject hereto, shall all be held, conveyed, encumbered, leased and used subject to the following covenants, conditions, restrictions and equitable servitudes hereinafter set forth or provided for, which shall run with said land and be binding upon, and benefit, all parties now or hereafter having or acquiring any right, title or interest therein, or to any part thereof.

ARTICLE I
DEFINITIONS

Unless the context otherwise specifies or requires, the following words and phrases when used herein shall have the following meaning:

Section 1. "Architectural Design Committee" shall mean the committee created pursuant to Article VII hereof.

Section 2. "Articles" shall mean the Articles of Incorporation of the Westcliff Townhomes Owners Association, Inc.

Section 3. "Assessments" shall mean assessments described in Article VI.

Section 4. "Association" shall mean and refer to Westcliff Townhomes Owners Association, Inc., a non-profit corporation organized pursuant to Article V of this Declaration under the laws of the State of Idaho, its successors and assigns.

Section 5. "Common Area" means the roadways, driveways and other properties so designated as "common area" on the townhouse unit plat map, a copy of which is attached hereto as Exhibit "A", as well as any other lots or real property purchased by Association.

Section 6. "Lot" shall mean and refer to a Townhome lot as shown on the official plat of the Subdivision.

Section 7. "Westcliff Homeowners Association, Inc." shall mean and refer to the association of owners of Townhome lots within the Subdivision.

Section 8. "Member" shall mean a member of the Association, who shall be an Owner and shall qualify for membership in the Association in the manner hereinafter set forth.

Section 9. "Owner" shall mean and refer to the record owner, whether one or more persons or entities of a fee simple title to any Townhome Lot; provided, however, that the term "Owner" shall not include those having only a security interest in any Lot through a lien, encumbrance, deed of trust or mortgage, or other similar security instrument.

Section 10. "Property" shall mean and refer to the real property within the Subdivision.

Section 11. "Townhome" shall mean and refer to a Townhome residential unit, as that term is defined in the applicable land use ordinances of the City of Ketchum, Idaho, to be built and maintained on each Lot as depicted on the Subdivision plat.

ARTICLE II
PROJECT DEVELOPMENT

Section 1. Development of Lots. Declarant has or shall construct, or cause to be constructed, pursuant to plans and specifications approved by the City of Ketchum, Idaho, a Townhome on each Lot within the Subdivision.

Section 2. Common Area. Any Common Area shown on the Plat for the Subdivision shall be deeded by the Declarant to the Association, to be held, improved, maintained, managed and used by the Association for the common benefit, use and enjoyment of the Owners and their respective family members, guests and invitees subject to the provisions of this Declaration. Prior to being deeded to the Association, the Declarant, at its sole cost and expense, shall improve or make appropriate provisions for the improvement of the Common Area in a manner consistent with the official Plat for the Subdivision and specifications approved by the City of Ketchum, Idaho.

ARTICLE III
TOWNHOME RESTRICTIONS

Section 1. Residential Purposes. Lots shall be restricted exclusively to residential use. No structures of a temporary character, trailer, tent, shack, carport, garage or other similar improvement shall be used as a residence, either temporarily or permanently, on any Lot.

Section 2. Exterior Changes and Alterations. No changes or alterations to the exterior of any Townhome or other improvement on any Lot may be made or undertaken without the prior approval of the Architectural Design Committee of the Westcliff Townhomes Townhome Subdivision; provided, however, that this provision shall not preclude exterior painting provided there is no change in existing color, or the replacement or repair of broken or damaged exterior windows, siding, trim, decking, sidewalks, driveways, fences, exposed structural members or foundations, if the same does not alter the size of the Townhome, the configuration of its exterior, or the architectural features of the Townhome, including the size and shape of windows, or the pitch or configuration of roof lines, eaves and exposed gables.

Section 3. Animals and Pets. No animals, livestock or poultry of any kind shall be raised, bred or kept on any Lot, except that not more than a total of two (2) dogs, cats, or other household pets may be kept by Owners, provided they are not kept, bred or maintained for any commercial purpose, do not endanger the health of other residents, are not allowed outside the Townhome except when kenneled in an approved dog run, leashed or otherwise under someone's direct control, and do not unreasonably disturb the occupants of any other Townhome, or the owners, occupants or residents of the Westcliff Townhomes Subdivision. The term "household pets" is defined as dogs and cats.

Section 4. Signs and Business Activities. No advertising signs, billboards, or commercial equipment or supplies shall be erected, placed, or permitted to remain on any Lot or Common Area, nor shall any Lot or Common Area be used in any way or for any purpose which may endanger the health or unreasonably disturb the Owner or occupant of any Townhome.

Section 5. Service Facilities. No outside clotheslines shall be permitted, and all garbage cans, maintenance tools, and similar items shall be kept screened or enclosed to conceal them from the view of neighboring Lots.

Section 6. Exterior Antennas. No exterior television or radio antennas or similar communication installations shall be placed on any Lot without prior written approval from the Architectural Design Committee of Westcliff Townhomes Subdivision.

Section 7. Nuisances. No rubbish, waste or debris of any kind shall be placed or permitted to accumulate upon any Lot, and no odor shall be permitted to arise therefrom so as to render any such property or any portion thereof unsanitary, unsightly, offensive or detrimental to any other Lot or to the occupants of any residence within Westcliff Townhomes Subdivision. No exterior lights or noise, including but not limited to, noise created by people, animals, equipment and/or machinery, shall be permitted to exist, emanate from, or operate upon any Lot or Common Area so as to be offensive or detrimental to any other Lot, or its occupants, or to the occupants of any residence within Westcliff Townhomes Subdivision.

Section 8. Hazardous Activities. No activities shall be conducted, and no improvements shall be constructed on any Lot or Common Area which are or might be unsafe or hazardous to any person or property. Without limiting the foregoing, no firearms shall be discharged upon any Lot or Common Area and no open fires shall be lighted or permitted except in a contained barbecue unit while attended and in use for cooking purposes, or within a safe and well designed interior fireplace or stove.

Section 9. Unsightly Articles. No unsightly articles shall be permitted to remain on any Lot so as to be visible from adjoining Lots or Westcliff Townhomes Subdivision, including, without limitation, trailers, campers, motorhomes, boats, tractors, vehicles, inoperable vehicles, snowmobiles, and snow removal, garden, or maintenance equipment.

Section 10. Exterior Maintenance. The Association shall at all times keep the exterior of each Townhome and appurtenant exterior decks, fences, sidewalks, porches and patios in good condition and repair, and shall not let the condition thereof deteriorate to the point where it has a negative impact on the value, use or enjoyment of other Townhomes, Common Area, or properties within the Westcliff Townhomes Subdivision. For the common good of all Owners, and the owners of lots within Westcliff Townhomes Subdivision, it is the intent of this provision that all Townhomes and related improvements be maintained in a first class manner. Every Owner, by

accepting a deed to a Lot, is deemed to grant unto the Association such easements, rights to access and other authorizations as may be necessary to permit the Association, or their designated agents, to complete the necessary exterior repairs and maintenance, and upon completion, to recover any costs reasonably incurred therefor, through the levy of annual or special assessments as provided for in Article VI hereinafter.

Section 11. Townhome Alterations. Notwithstanding anything to the contrary herein contained, no Townhome shall be increased in size, exterior, configuration or square footage through any remodel, addition or replacement, or through the conversion or enclosure of any storage areas, porches, patios, decks or garage space into residential living area.

Section 12. Fire and Casualty Insurance of Townhomes. The Association shall acquire and maintain a policy or policies of insurance on each Townhome, insuring it to its full insurable value against loss or damage due to fire or other cause insured in a standard fire and casualty policy of insurance.

Section 13. Townhome Contents and Liability Insurance. Each Owner shall be solely responsible to determine, obtain and pay for any desired fire and casualty insurance coverage for contents and personal property situated within said Owner's Townhome or on said Owner's Lot, and any desired liability insurance for activities conducted, or otherwise occurring, on said Lot.

Section 14. Occupancy Limits. Full-time occupants of the Townhomes within the Subdivision shall be limited to four (4) persons with no exceptions. For purposes of this section "full-time" shall refer to any consecutive period of seven (7) days.

Section 15. Garage Use. Garages are intended and shall be used primarily for the parking and temporary storage of automobiles belonging to the owners of said garages. No garage shall be used for any storage or other purpose which would prevent its use for such automobile parking or temporary storage. All Townhome Owner's and occupant's vehicles must be kept in their respective garages.

ARTICLE IV COMMON AREA

Section 1. Conveyance to the Association. Prior to the sale of any Lot within the Subdivision, the Declarant at its sole cost and expense shall improve or make appropriate provision for the improvement of said Common Area in a manner consistent with the plat and development plans approved by the City of Ketchum, and deed the same to the Association, which the Association shall accept, at no cost to it, free and clear of all liens and encumbrances other than easements of record.

Section 2. Snow melt systems have been installed for the driveways within the project. However, in the event a heavy snowfall necessitates removal of the snow by hauling it away, such expense shall be deemed a common area expense of the Association.

Section 3. Enjoyment of Common Area. Subject to the following provisions and limitations, each Owner shall have a non-exclusive right and easement of enjoyment, in common with all other Owners, in and to any Common Area, and such right and easement shall be appurtenant to and pass with the title to each Lot:

- A. The right of Association to assess reasonable fees for operation, repairs and maintenance of the Common Area.
- B. The right of the Association to suspend the voting rights and right to use Common Area by an Owner for any period during which said Owner remains delinquent in the payment of any assessment duly levied against any Lot owned by said Owner.
- C. The right of the Association to promulgate reasonable rules and regulations governing the use and enjoyment of Common Area by Owners, their family members, and guests.
- D. The right of the Association, in accordance with its Articles and Bylaws, to borrow money for the purpose of further improving Common Area and related facilities; and in aid thereof to place a mortgage, deed of trust or other security instrument upon the Common Area.

Section 4. Improvement of Common Area. The Association may, from time-to-time, further modify, improve, or equip the Common Area for the benefit of the Owners, and make such Assessments or borrow such funds therefor as may be reasonably necessary, subject to the provisions and limitations set forth herein.

Section 5. Common Area Obstructions. Notwithstanding anything to the contrary herein contained, the Common Area shall not be used for the storage of equipment, recreational vehicles (including boats, trailers, campers, watercraft, snowmobiles, motorcycles and similar vehicles), inoperable automobiles and trucks, trash, debris, or other items which may impede the use of the paved access of the Common Area for access and temporary vehicular parking.

ARTICLE V THE ASSOCIATION

Section 1. Membership. Every Owner shall be entitled and required to be a Member of the Association. If title to a Lot is held by more than one person or entity, the membership related

to that Lot shall be shared by all such persons or entities in the same proportionate interest and by the same type of tenancy in which title to the Lot is held. An Owner shall be entitled to one membership for each Lot owned by that Owner. No person or entity other than an Owner may be a member of the Association.

Section 2. Voting Rights. The total number of votes which may be cast by all Members of the Association shall be the same as the total number of Lots, and each membership shall be entitled to one (1) vote.

Section 3. Cumulative Voting. In any election of the members of the Board of Directors, each Member entitled to vote at such election shall have the right to cumulative voting for each director to be elected, and to thereby give one candidate or divide among any number of the candidates a number of votes equal to the total number of votes to which that Member is entitled to vote for all Directors to be elected. The candidates receiving the highest number of votes, up to the number of Directors to be elected, shall be deemed elected.

Section 4. Governance. The Association shall be governed by a Board of Directors and officers in accordance with its Articles of Incorporation and Bylaws.

Section 5. Management of the Common Area. Subject to the exclusive landscaping easement referred to in Article IV, Section 5 hereinabove, the Association shall be responsible for exclusive management and control of the Common Area. All driveways, parking areas, landscaping and other improvements situated on or included in Common Area, shall be kept in good condition and repair and all driveways and parking areas belonging to the Association shall be kept reasonably free of debris, obstructions, and snow by the Association. The Association shall keep the Common Area and its improvements fully insured against reasonable risks of casualties, and shall maintain public liability insurance coverage on the Common Area in an amount the Board of Directors deems appropriate.

Section 6. Miscellaneous Services. The Association may obtain and pay for the services of any person or entity to manage the Association's affairs, or any part thereof, to the extent the Association deems advisable, as well as such other personnel as the Association shall determine to be necessary or desirable for the proper operation of its purposes and obligations, whether such personnel are furnished or employed directly by the Association or any person or entity with whom the Association contracts. The Association may obtain and pay for legal and accounting services necessary or desirable in connection with the operation of the Property, or the enforcement of this Declaration. The Association may arrange with others to furnish insurance, electricity, water, sewer, snow removal, trash collection, landscaping, or other services for the Common Area or other property owned or managed by the Association pursuant to this Declaration.

Section 7. Rules and Regulations. The Association may make reasonable rules and regulations governing the use of the Common Area, which rules, and regulations shall be consistent with the rights and duties established in this Declaration. Such rules and regulations may include, without limitation, govern the use of all driveways and parking areas owned or controlled by the Association for the benefit of the Owners. The Association may also take judicial action against any Owner to enforce compliance with any of its rules or regulations, or the other terms or provisions of this Declaration.

Section 8. Assessments. The Association shall be empowered to levy, enforce, and collect annual assessments and special assessments, against Townhomes and the Owners thereof in the manner and amounts set forth in Article VI hereinbelow.

Section 9. Implied Rights. The Association may exercise any other right or privilege given to the Association expressly by this Declaration or by law, and every other right or privilege reasonably to be implied from the existence of any right or privilege given to the Association herein or reasonably necessary to effectuate any such right or privilege.

ARTICLE VI ASSESSMENTS

Section 1. Agreement to Pay Assessments. Declarant, for each Lot owned by the Declarant, hereby covenants, and each subsequent Owner of any Lot, by the acceptance of a deed therefor, whether or not it be so expressed in said deed, shall be deemed to covenant and agree with each other and with the Association, to pay to the Association the assessments provided for in this Declaration. In the case of joint or co-ownerships, this liability shall be joint and several. Such assessments shall be levied against Lots and collected from time-to-time in the manner provided in this Article VI.

Section 2. Annual Assessments. Annual assessments against all Lots are hereby authorized which shall be based upon advance annual estimates of cash requirements by the Association to provide for the payment of all estimated expenses to be incurred in the ensuing twelve-month period in the conduct of the Association's affairs. Such expenses may include, among other things, those incurred for taxes, fire and casualty insurance, liability insurance, legal and accounting services, road maintenance, snow removal, landscaping installation and maintenance, Common Area utilities, Common Area improvements and equipment, the repair, maintenance and replacement of Common Area improvements and equipment, the repair and maintenance of the exterior components of Townhomes, and the creation of a reasonable contingency reserve, surplus and/or sinking fund for capital improvements, replacements and repair.

Section 3. Special Assessments. In addition to the annual assessments authorized hereinabove, the Association may levy at anytime a special assessment payable over such a period as the Association may determine for the purpose of defraying in whole or in part the unanticipated cost of any expenses duly incurred or to be incurred as provided in this Declaration, but not adequately provided for by the annual assessment. This section shall not be construed as independent authority for the Association to incur expenses, but shall be construed to prescribe an alternative manner of assessing for expenses authorized in other sections hereof.

Section 4. Apportionment of Assessments. Unless otherwise provided to the contrary herein, annual and special assessments shall be apportioned equally among the Owners and their respective Lots.

Section 5. Exemption from Assessment. Notwithstanding anything to the contrary herein contained, no annual or special assessments shall be levied against any Lot owned by the Declarant, nor be payable by, or collected from the Declarant.

Section 6. Notice of Assessments and Time for Payment Thereof. The Association shall establish an annual assessment each year, the exact date to be determined by its Board of Directors, and shall further establish and levy special assessments whenever circumstances, in the opinion of the Board of Directors, require it to meet the financial obligations and necessities of the Association. Such assessments shall be payable annually, quarterly, monthly, or in a lump sum, as the Association from time-to-time determines. The Association shall provide each Owner with notice specifying the amount of the assessment levied against its Lot and the date or dates of payment of the same. No payment shall be due less than 15 days after said written notice has been given and each assessment shall bear interest at the rate of 12 percent per annum from and after the date it becomes due and payable if not paid within 30 days after such date. Failure of the Association to give notice of the assessment shall not affect the liability of the Owner for such assessment, but the date when payment shall become due in such a case shall be deferred to a date 15 days after such notice has been given.

Section 7. Lien of Assessment. All sums assessed against any Lot shall be secured by a lien on said Lot in favor of the Association upon recordation of a notice of assessment as herein provided. Such lien shall be superior to all other liens and encumbrances on said Lot, with exception of: (a) valid tax and assessment liens imposed by governmental entities; (b) the lien of prior mortgages, deeds of trust or other security instruments perfected and recorded in Blaine County, Idaho; and (c) valid prior labor and materialman's liens duly perfected and recorded in Blaine County, Idaho.

To create a lien for sums assessed pursuant to this Declaration, the Association may prepare a written notice of said assessments, setting forth the amount thereof, the date due, the unpaid balance, the name of the record Owner of the Lot the legal description of said Lot. Such notice shall

be signed by an officer of the Association and may be recorded in the office of the County Recorder of Blaine County, Idaho. No such notice of assessment shall be recorded until there is a delinquency in the payment of the assessment to which it relates. The priority date of the lien shall be the date of its recordation, and it may be foreclosed and enforced in the manner permitted for consensual liens by the laws of the State of Idaho. In addition to all other sums which may be due and owing for which a lien is recorded, the Owner shall be obligated to pay all costs and expenses incurred by the Association in preparing, filing, foreclosing said lien, or otherwise collecting the assessment to which it is related, including all attorney's fees. All such costs and expenses shall be deemed to be secured by the lien being foreclosed.

Unless sooner satisfied and released, or the enforcement initiated as provided earlier in this section, any lien created pursuant to this section shall expire and be of no further force or effect one year from the date of recordation of said notice of assessment; provided, however, said one year period may be extended by the Association for an additional period not to exceed one year by a written extension signed by an officer of the Association and recorded in the office of County Recorder of Blaine County, Idaho, prior to the expiration of the initial one year period.

Section 8. Personal Obligation of Owner. The amount of any assessment against any Lot shall be the personal obligation of the Owner thereof to the Association. A suit to recover a money judgment for such obligation can be maintained by the Association without foreclosure or waiver of the lien securing the same, and no owner may avoid or diminish such personal obligation by waiver of the use and enjoyment of any of the common area, or by the sale or abandonment of the Lot.

Section 9. Personal Liability of Purchasers. Subject to the provisions of Section 7 immediately hereinabove, the purchaser of a Lot shall be jointly and severally liable with the seller for all unpaid assessments appurtenant thereto including any such assessments due and owing prior to said purchaser's acquisition of said Lot.

ARTICLE VII ARCHITECTURAL DESIGN COMMITTEE

Section 1. Architectural Review and Approval. No improvement, alteration or change to the exterior of any Townhome, or any appurtenant exterior appurtenance, such as decks, porches, patios, and exterior colors shall be constructed, installed, or completed until the plans and specifications therefor have been submitted to, and approved in writing by, the Architectural Design Committee (hereinafter "ADC") of the Westcliff Townhomes Subdivision. All plans and specifications shall be evaluated as to compliance with this Declaration, harmony, and compatibility with the external design of other Townhomes and the location of any proposed improvements in relation to surrounding structures, topography and neighborhood design characteristics.

Section 2. Architectural Design Committee. Appointments to the ADC shall be made by the Board of Directors of the Association, and members shall serve at the pleasure of said Board of Directors. Members may, but need not, be Owners. A majority of the ADC shall constitute a quorum for the transaction of business at any duly called meeting thereof, and the action of a majority present at any such meeting at which a quorum is present shall constitute the action of the ADC.

Section 3. Powers and Duties of the ADC. The ADC shall have the following powers and duties:

- A. To require submission to the ADC of complete sets of plans and specifications for any proposed exterior improvement, alteration, change or structure for any Townhome or Lot. The ADC may also require submission of samples of building materials proposed for any such project and may require such additional information as is reasonably necessary to evaluate the proposed work.
- B. To approve or disapprove any proposed alterations, additions, changes, modifications, or improvements to the exterior of any Townhome or Lot. All decisions of the ADC shall be submitted in writing to the applicant, and signed by all members of the ADC participating in such decision. In the event that the ADC fails to approve or disapprove any plans or specifications requested within thirty (30) days after receiving an application therefor, together with all additional information, plans or specifications requested by the ADC, approval of the ADC shall conclusively be deemed to have been given.
- C. To require a fee to be set and, as necessary from time-to-time amended, by the ADC, in an amount reasonably calculated to defray the costs incurred in reviewing proposed development plans, including the costs incurred for the services of any architects, engineers or other professional consultants retained by the ADC to assist it in the review process.
- D. To obtain, and pay for, the services of architects, engineers or other professional consultants which the ADC deems necessary or appropriate to assist in the review process.

Section 4. Development by Declarant. The ADC shall not have any jurisdiction over, or right to review, approve or disapprove of any Townhome Unit or other improvement placed upon any Lot or other portion of the Property by the Declarant, or its designated agents or contractors; provided, however, that all Townhome Units or other improvements constructed by the Declarant or its designated agents or contractors shall conform substantially with plans and inspections approved by the City of Ketchum.

ARTICLE VIII
REVOCATION OR AMENDMENT

Section 1. Method of Revocation or Amendment. This Declaration may be amended or revoked, in part in whole, by an instrument duly executed by the record Owners of more than two-thirds of the total number of Lots subject to the provisions of this Declaration on the effective date of the amendment or revocation, and by all mortgagees and deed of trust beneficiaries under any mortgage or deed of trust encumbering any Lot appearing of record at the time of revocation or amendment. Any such revocation or amendment duly adopted shall be binding upon every Owner and Lot, whether the burdens thereon are increased or decreased by any such amendment or revocation, and whether or not the Owner consents thereto. Notwithstanding the foregoing, the provisions of Article III; Article IV, Sections 5 and 6; Article VII, Section 1; Article VIII; and Article IX, Sections 7 and 8, shall not be amended or revoked without the prior written consent of the Board of Directors of the Westcliff Townhomes Homeowners Association, Inc.

ARTICLE IX
MISCELLANEOUS

Section 1. Compliance. Each Owner shall comply with the provisions of this Declaration, the Articles of Incorporation and Bylaws of the Association, and all rules and regulations duly enacted by the Association. Failure to comply shall be grounds for an action to recover sums due for damages or injunctive relief, or both, maintainable by the Association or any Owner.

Section 2. Mailing Address. Each Owner shall provide the Association with such Owner's mailing address, which address shall be used for the mailing or other service of any and all notices, assessments or communications from the Association. Any notice referred to in this section shall be deemed given by the Association when it has been deposited in the United States mail, postage prepaid, addressed to the Owner at the given address.

Section 3. Transfer of Rights. Any right or interest reserved hereby to the Declarant may be transferred or assigned by the Declarant to any person or entity.

Section 4. Number and Gender. Whenever used herein, unless the context shall otherwise provide, the singular number shall include the plural, the plural the singular, and the use of any gender shall include all genders.

Section 5. Severability. If any of the provisions of this Declaration, or any clause, paragraph, sentence, phrase or word or the application thereof in any circumstance shall be invalidated, such invalidity shall not affect the validity of the remainder of this Declaration, and the application of any such provision, paragraph, sentence, clause, phrase or word in any other circumstance shall not be affected thereby.

Instrument # 678686

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01-28-2021 2:20:46 PM No. of Pages: 3
Recorded for: ROBERTSON & SLETTE, PLLC
JOLYNN DRAGE Fee: \$15.00
Ex-Officio Recorder Deputy: GWB
Electronically Recorded by Simplifile

After Recording Return To:

Gary D. Slette
Robertson & Slette, pllc
P.O. Box 1906
Twin Falls, ID 83303

This Space Reserved for Recording Purposes

QUITCLAIM DEED

FOR VALUE RECEIVED, **PB INVESTMENTS**, an Idaho general partnership, does hereby convey, release, remise and forever quitclaim unto, **WESTCLIFF, LLC**, an Idaho limited liability company, whose address is P.O. Box 1906, Twin Falls, Idaho 83303, all of its right, title and interest in and to the following described premises, to-wit:

**SEE EXHIBIT "A" ATTACHED HERETO AND
MADE A PART HEREOF BY THIS REFERENCE**

Subject to a recorded deed of trust in favor of D.L. Evans Bank recorded as Instrument No. 671148 on July 27, 2020, in the records of Blaine County, Idaho.

To have and to hold the said premises and their appurtenances unto the said Grantee, its successors and assigns, forever.

DATED this 28th day of January, 2021.

**PB INVESTMENTS, an Idaho
general partnership**



Gary D. Slette, General Partner

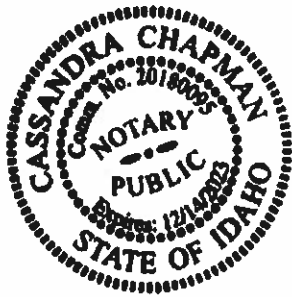


J. Evan Robertson, General Partner

STATE OF IDAHO)
)
 ss.
County of Twin Falls)

On this 28th day of January, 2021, before me, a Notary Public, in and for said County and State, personally appeared **GARY D. SLETTE**, known or identified to me to be a general partner of **PB INVESTMENTS**, the partnership that executed the foregoing instrument, and acknowledged to me that such partnership executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

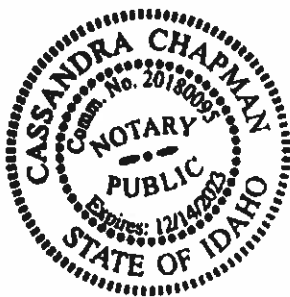


Cassandra Chapman
NOTARY PUBLIC FOR IDAHO
Residing at: Twin Falls

STATE OF IDAHO)
)
 ss.
County of Twin Falls)

On this 28th day of January, 2021, before me, a Notary Public, in and for said County and State, personally appeared **J. EVAN ROBERTSON**, known or identified to me to be a general partner of **PB INVESTMENTS**, the partnership that executed the foregoing instrument, and acknowledged to me that such partnership executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.



Cassandra Chapman
NOTARY PUBLIC FOR IDAHO
Residing at: Twin Falls

EXHIBIT “A”

LEGAL DESCRIPTION

Parcel I

Lot 3A, Block 1 of BAVARIAN VILLAGE SUBDIVISION: LOTS 3A, 4A, 5A, 6A, 7 A & 8A, as shown on the official plat thereof recorded as Instrument No. 631181, records of Blaine County, Idaho.

Parcel II

Lot 4A, Block 1 of BAVARIAN VILLAGE SUBDIVISION: LOTS 3A, 4A, 5A, 6A, 7 A & 8A, as shown on the official plat thereof recorded as Instrument No. 631181, records of Blaine County, Idaho.

stewart title

ALTA COMMITMENT FOR TITLE INSURANCE

ISSUED BY
STEWART TITLE GUARANTY COMPANY

NOTICE

IMPORTANT - READ CAREFULLY: THIS COMMITMENT IS AN OFFER TO ISSUE ONE OR MORE TITLE INSURANCE POLICIES. ALL CLAIMS OR REMEDIES SOUGHT AGAINST THE COMPANY INVOLVING THE CONTENT OF THIS COMMITMENT OR THE POLICY MUST BE BASED SOLELY IN CONTRACT.

THIS COMMITMENT IS NOT AN ABSTRACT OF TITLE, REPORT OF THE CONDITION OF TITLE, LEGAL OPINION, OPINION OF TITLE, OR OTHER REPRESENTATION OF THE STATUS OF TITLE. THE PROCEDURES USED BY THE COMPANY TO DETERMINE INSURABILITY OF THE TITLE, INCLUDING ANY SEARCH AND EXAMINATION, ARE PROPRIETARY TO THE COMPANY, WERE PERFORMED SOLELY FOR THE BENEFIT OF THE COMPANY, AND CREATE NO EXTRACTIONAL LIABILITY TO ANY PERSON, INCLUDING A PROPOSED INSURED.

THE COMPANY'S OBLIGATION UNDER THIS COMMITMENT IS TO ISSUE A POLICY TO A PROPOSED INSURED IDENTIFIED IN SCHEDULE A IN ACCORDANCE WITH THE TERMS AND PROVISIONS OF THIS COMMITMENT. THE COMPANY HAS NO LIABILITY OR OBLIGATION INVOLVING THE CONTENT OF THIS COMMITMENT TO ANY OTHER PERSON.

COMMITMENT TO ISSUE POLICY

Subject to the Notice; Schedule B, Part I - Requirements; Schedule B, Part II - Exceptions; and the Commitment Conditions, STEWART TITLE GUARANTY COMPANY, a Texas corporation (the "Company"), commits to issue the Policy according to the terms and provisions of this Commitment. This Commitment is effective as of the Commitment Date shown in Schedule A for each Policy described in Schedule A, only when the Company has entered in Schedule A both the specified dollar amount as the Proposed Policy Amount and the name of the Proposed Insured.

If all of the Schedule B, Part I - Requirements have not been met within six months after the Commitment Date, this Commitment terminates and the Company's liability and obligation end.

Countersigned by:


Authorised Owners Signature

Blaine County Title, Inc.
360 Sun Valley Road
P.O. Box 3176
Ketchum, ID 83340
(208) 726-0700




Frederick H. Eppinger
President and CEO


Denise Carraux
Secretary

For purposes of this form the "Stewart Title" logo featured above is the represented logo for the underwriter, Stewart Title Guaranty Company.

This page is only a part of a 2016 ALTA® Commitment for Title Insurance. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I - Requirements; and Schedule B, Part II - Exceptions; and a countersignature by the Company or its issuing agent that may be in electronic form.

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File No. 2022352

ALTA Commitment For Title Insurance 8-1-16 (4-2-18)

Page 1 of 3



- (d) The Company's liability shall not exceed the lesser of the Proposed Insured's actual expense incurred in good faith and described in Commitment Conditions 5(a)(i) through 5(a)(iii) or the Proposed Policy Amount.
- (e) The Company shall not be liable for the content of the Transaction Identification Data, if any.
- (f) In no event shall the Company be obligated to issue the Policy referred to in this Commitment unless all of the Schedule B, Part I - Requirements have been met to the satisfaction of the Company.
- (g) In any event, the Company's liability is limited by the terms and provisions of the Policy.

6. LIABILITY OF THE COMPANY MUST BE BASED ON THIS COMMITMENT

- (a) Only a Proposed Insured identified in Schedule A, and no other person, may make a claim under this Commitment.
- (b) Any claim must be based in contract and must be restricted solely to the terms and provisions of this Commitment.
- (c) Until the Policy is issued, this Commitment, as last revised, is the exclusive and entire agreement between the parties with respect to the subject matter of this Commitment and supersedes all prior commitment negotiations, representations, and proposals of any kind, whether written or oral, express or implied, relating to the subject matter of this Commitment.
- (d) The deletion or modification of any Schedule B, Part II - Exception does not constitute an agreement or obligation to provide coverage beyond the terms and provisions of this Commitment or the Policy.
- (e) Any amendment or endorsement to this Commitment must be in writing and authenticated by a person authorized by the Company.
- (f) When the Policy is issued, all liability and obligation under this Commitment will end and the Company's only liability will be under the Policy.

7. IF THIS COMMITMENT HAS BEEN ISSUED BY AN ISSUING AGENT

The issuing agent is the Company's agent only for the limited purpose of issuing title insurance commitments and policies. The issuing agent is not the Company's agent for the purpose of providing closing or settlement services.

8. PRO-FORMA POLICY

The Company may provide, at the request of a Proposed Insured, a pro-forma policy illustrating the coverage that the Company may provide. A pro-forma policy neither reflects the status of Title at the time that the pro-forma policy is delivered to a Proposed Insured, nor is it a commitment to insure.

9. ARBITRATION

The Policy contains an arbitration clause. All arbitrable matters when the Proposed Policy Amount is \$2,000,000 or less shall be arbitrated at the option of either the Company or the Proposed Insured as the exclusive remedy of the parties. A Proposed Insured may review a copy of the arbitration rules at <http://www.alta.org/arbitration>.

STEWART TITLE GUARANTY COMPANY

All notices required to be given the Company and any statement in writing required to be furnished the Company shall be addressed to it at P.O. Box 2029, Houston, Texas 77252-2029.

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File No. 2022352

ALTA Commitment For Title Insurance 8-1-16 (4-2-18)

Page 3 of 3



**ALTA COMMITMENT FOR TITLE INSURANCE
SCHEDULE A**

ISSUED BY
STEWART TITLE GUARANTY COMPANY

**EXHIBIT "A"
LEGAL DESCRIPTION**

Parcel I

Lot 3A, Block 1 of BAVARIAN VILLAGE SUBDIVISION: LOTS 3A, 4A, 5A, 6A, 7A & 8A, as shown on the official plat thereof recorded as Instrument No. 631181, records of Blaine County, Idaho.

Parcel II

Lot 4A, Block 1 of BAVARIAN VILLAGE SUBDIVISION: LOTS 3A, 4A, 5A, 6A, 7A & 8A, as shown on the official plat thereof recorded as Instrument No. 631181, records of Blaine County, Idaho.

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File No. 2022352

ID ALTA Commitment For Title Insurance Schedule 8-1-16 (4-2-18)

Page 2 of 2



ALTA COMMITMENT FOR TITLE INSURANCE SCHEDULE B PART II

ISSUED BY
STEWART TITLE GUARANTY COMPANY

Exceptions

File No.: 2022352- Amended No. 2

THIS COMMITMENT DOES NOT REPUBLISH ANY COVENANT, CONDITION, RESTRICTION, OR LIMITATION CONTAINED IN ANY DOCUMENT REFERRED TO IN THIS COMMITMENT TO THE EXTENT THAT THE SPECIFIC COVENANT, CONDITION, RESTRICTION, OR LIMITATION VIOLATES STATE OR FEDERAL LAW BASED ON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, GENDER IDENTITY, HANDICAP, FAMILIAL STATUS, OR NATIONAL ORIGIN.

The Policy will not insure against loss or damage resulting from the terms and provisions of any lease or easement identified in Schedule A, and will include the following Exceptions unless cleared to the satisfaction of the Company:

1. Any defect, lien, encumbrance, adverse claim, or other matter that appears for the first time in the Public Records or is created, attaches, or is disclosed between the Commitment Date and the date on which all of the Schedule B, Part I - Requirements are met.
2. Taxes or assessments which are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the public records. Proceedings by a public agency which may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by public record.
3. Any facts, rights, interests, or claims which are not shown by the public records, but which could be ascertained by an inspection of the Land or by making inquiry of persons in possession thereof.
4. Easements, liens, or encumbrances, or claims thereof, which are not shown by the public records.
5. Discrepancies, conflicts in boundary lines, shortages in area, encroachments, or any other facts which a correct survey would disclose, and which are not shown by the public records.
6. (1) Unpatented mining claims; (2) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (3) water rights, claims, or title to water.
7. Any lien or right to a lien for services, labor, or material heretofore or hereafter furnished, imposed by law and not shown by the public records.
8. Minerals of whatsoever kind, subsurface and surface substances, including but not limited to coal, lignite, oil, gas, uranium, clay, rock, sand and gravel in, on, under and that may be produced from the Land, together with all rights, privileges, and immunities relating thereto, whether or not appearing in the Public Records or listed in Schedule B. Stewart makes no representation as to the present ownership of any such interests. There may be leases, grants, exceptions or reservations of interest that are not listed.
9. General taxes for the year 2020 and subsequent years, which are a lien not yet payable.

General taxes for the year 2019, a lien in the amount of \$2,358.12, which are paid in full. (Parcel No. RPK042000003A)

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File No. 2022352

ID ALTA Commitment For Title Insurance Schedule 8-1-16 (4-2-18)

Page 1 of 3



**ALTA COMMITMENT FOR TITLE INSURANCE
SCHEDULE B PART II**

ISSUED BY
STEWART TITLE GUARANTY COMPANY

Exceptions

NOTE: The following conveyances describing all or a part of the subject property have been recorded within the last 24 months:

Grant Deed from TBDBV, LLC(grantor) to Robert L. Van Fossan Jr. Trustee of the Robert L. Van Fossan Revocable Deed of Trust dated, December 12, 2013 and Mary D. Van Fossan, Trustee of the Mary D. Van Fossan Revocable Deed of Trust dated December 12, 2013 (grantee), recorded 08/14/2018 as Instrument No. 654127 and Correction Deed recorded 09/07/2018 as Instrument No. 654782

Grant Deed from TBDBV, LLC(grantor) to Hanggi Family Limited Partnership, an Idaho limited partnership (grantee), recorded 08/14/2018 as Instrument No. 654128

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File No. 2022352

ID ALTA Commitment For Title Insurance Schedule 8-1-16 (4-2-18)

Page 3 of 3



Privacy Notice for California Residents

Pursuant to the California Consumer Privacy Act of 2018 ("CCPA"), Stewart Information Services Corporation and its subsidiary companies (collectively, "Stewart") are providing this Privacy Notice for California Residents ("CCPA Notice"). This CCPA Notice supplements the information contained in Stewart's existing privacy notice and applies solely to all visitors, users and others who reside in the State of California or are considered California Residents ("consumers" or "you"). Terms used but not defined shall have the meaning ascribed to them in the CCPA.

Information Stewart Collects

Stewart collects information that identifies, relates to, describes, references, is capable of being associated with, or could reasonably be linked, directly or indirectly, with a particular consumer, household, or device. Most of the information that Stewart collects in the course of its regular business is already protected pursuant to the Gramm-Leach-Bliley Act (GLBA). Additionally, much of this information comes from government records or other information already in the public domain. Personal information under the CCPA does not include:

- Publicly available information from government records.
- Deidentified or aggregated consumer information.
- Certain personal information protected by other sector-specific federal or California laws, including but not limited to the Fair Credit Reporting Act (FCRA), GLBA and California Financial Information Privacy Act (FIPA).

Specifically, Stewart has collected the following categories of personal information from consumers within the last twelve (12) months:

| Category | Examples | Collected? |
|---|--|------------|
| A. Identifiers. | A real name, alias, postal address, unique personal identifier, online identifier, Internet Protocol address, email address, account name, Social Security number, driver's license number, passport number, or other similar identifiers. | YES |
| B. Personal information categories listed in the California Customer Records statute (Cal. Civ. Code § 1798.80(e)). | A name, signature, Social Security number, physical characteristics or description, address, telephone number, passport number, driver's license or state identification card number, insurance policy number, education, employment, employment history, bank account number, credit card number, debit card number, or any other financial information, medical information, or health insurance information. Some personal information included in this category may overlap with other categories. | YES |
| C. Protected classification characteristics under California or federal law. | Age (40 years or older), race, color, ancestry, national origin, citizenship, religion or creed, marital status, medical condition, physical or mental disability, sex (including gender, gender identity, gender expression, pregnancy or childbirth and related medical conditions), sexual orientation, veteran or military status, genetic information (including familial genetic information). | YES |
| D. Commercial information. | Records of personal property, products or services purchased, obtained, or considered, or other purchasing or consuming histories or tendencies. | YES |
| E. Biometric information. | Genetic, physiological, behavioral, and biological characteristics, or activity patterns used to extract a template or other identifier or identifying information, such as, fingerprints, faceprints, and voiceprints, iris or retina scans, keystroke, gait, or other physical patterns, and sleep, health, or exercise data. | YES |
| F. Internet or other similar network activity. | Browsing history, search history, information on a consumer's interaction with a website, application, or advertisement. | YES |
| G. Geolocation data. | Physical location or movements. | YES |
| H. Sensory data. | Audio, electronic, visual, thermal, olfactory, or similar information. | YES |
| I. Professional or employment-related information. | Current or past job history or performance evaluations. | YES |
| J. Non-public education information (per the Family Educational Rights and Privacy Act (20 U.S.C. Section 1232g, 34 C.F.R. Part 99)). | Education records directly related to a student maintained by an educational institution or party acting on its behalf, such as grades, transcripts, class lists, student schedules, student identification codes, student financial information, or student disciplinary records. | YES |
| K. Inferences drawn from other personal information. | Profile reflecting a person's preferences, characteristics, psychological trends, predispositions, behavior, attitudes, intelligence, abilities, and aptitudes. | YES |

Access to Specific Information and Data Portability Rights

You have the right to request that Stewart disclose certain information to you about our collection and use of your personal information over the past 12 months. Once we receive and confirm your verifiable consumer request, Stewart will disclose to you:

- The categories of personal information Stewart collected about you.
- The categories of sources for the personal information Stewart collected about you.
- Stewart's business or commercial purpose for collecting that personal information.
- The categories of third parties with whom Stewart shares that personal information.
- The specific pieces of personal information Stewart collected about you (also called a data portability request).
- If Stewart disclosed your personal data for a business purpose, a listing identifying the personal information categories that each category of recipient obtained.

Deletion Request Rights

You have the right to request that Stewart delete any of your personal information we collected from you and retained, subject to certain exceptions. Once we receive and confirm your verifiable consumer request, Stewart will delete (and direct our service providers to delete) your personal information from our records, unless an exception applies.

Stewart may deny your deletion request if retaining the information is necessary for us or our service providers to:

1. Complete the transaction for which we collected the personal information, provide a good or service that you requested, take actions reasonably anticipated within the context of our ongoing business relationship with you, or otherwise perform our contract with you
2. Detect security incidents, protect against malicious, deceptive, fraudulent, or illegal activity, or prosecute those responsible for such activities.
3. Debug products to identify and repair errors that impair existing intended functionality.
4. Exercise free speech, ensure the right of another consumer to exercise their free speech rights, or exercise another right provided for by law.
5. Comply with the California Electronic Communications Privacy Act (Cal. Penal Code § 1546 *seq.*).
6. Engage in public or peer-reviewed scientific, historical, or statistical research in the public interest that adheres to all other applicable ethics and privacy laws, when the information's deletion may likely render impossible or seriously impair the research's achievement, if you previously provided informed consent.
7. Enable solely internal uses that are reasonably aligned with consumer expectations based on your relationship with us.
8. Comply with a legal obligation.
9. Make other internal and lawful uses of that information that are compatible with the context in which you provided it.

Exercising Access, Data Portability, and Deletion Rights

To exercise the access, data portability, and deletion rights described above, please submit a verifiable consumer request to us either:

- Calling us Toll Free at 1-866-571-9270
- Emailing us at Privacyrequest@stewart.com
- Visiting <http://stewart.com/ccpa>

Only you, or someone legally authorized to act on your behalf, may make a verifiable consumer request related to your personal information. You may also make a verifiable consumer request on behalf of your minor child.

To designate an authorized agent, please contact Stewart through one of the methods mentioned above.

You may only make a verifiable consumer request for access or data portability twice within a 12-month period. The verifiable consumer request must:

- Provide sufficient information that allows us to reasonably verify you are the person about whom we collected personal information or an authorized representative.
- Describe your request with sufficient detail that allows us to properly understand, evaluate, and respond to it.

Stewart cannot respond to your request or provide you with personal information if we cannot verify your identity or authority to make the request and confirm the personal information relates to you.

Making a verifiable consumer request does not require you to create an account with Stewart.

Response Timing and Format

We endeavor to respond to a verifiable consumer request within forty-five (45) days of its receipt. If we require more time (up to an additional 45 days), we will inform you of the reason and extension period in writing.

A written response will be delivered by mail or electronically, at your option.

Exhibit D:
Phased Development
Agreement

| | |
|---|--|
| <p>RECORDING REQUESTED BY AND WHEN RECORDED RETURN TO:</p> <p>City Clerk, City of Ketchum PO Box 2315 Ketchum Idaho, 83340</p> | |
|---|--|

(Space Above Line For Recorder's Use)

WESTCLIFF TOWNHOMES PHASED TOWNHOUSE SUBDIVISION AGREEMENT

THIS PHASED TOWNHOUSE SUBDIVISION AGREEMENT ("Agreement") is made and entered into as of the __ day of _____ 2021, by and between the City of Ketchum, an Idaho municipal corporation ("City") and Westcliff, LLC, an Idaho limited liability company ("Owner").

RECITALS

WHEREAS, Owner owns that certain real property located at 106 and 110 Rember Street, Ketchum, Idaho legally described as Bavarian Village Subdivision, Block 1, Lot 3B within the City of Ketchum, according to the official plat thereof, on file in the office of the County Recorder of Blaine County, Idaho (the "Property"); and

WHEREAS, Owner has applied for a Preliminary Plat, creating Sublots 1-4 within the City of Ketchum ("Preliminary Plat Property") and requested an extension to complete certain improvements and City is agreeable to certain extensions to address Owner's request.

WHEREAS, Owner has applied to construct infrastructure improvements to City standards and assume private maintenance of the improved private driveway accessing Sublot 1 and water and sewer lines within the Preliminary Plat Property and City is agreeable to private maintenance of the improvements to address Owner's request.

AGREEMENT

NOW THEREFORE, in consideration of the above recitals and the mutual covenants and agreements herein contained and other good and valuable consideration, the sufficiency of which is hereby acknowledged, the parties hereto agree as follows:

1. Maintenance Responsibilities.

A. *Owner.*

(1) *Water Service Lines Serving Sublots 1-4.* Owner and all successors in interest are responsible for the installation, maintenance, repair, and other costs associated with the private water lines serving the

Preliminary Plat Property. The private line is from the point of the meter on Bird Drive and Rember Street and connecting to each unit.

(2) *Sewer Service lines Sublots 1-4.* Owner and all successors in interest are responsible for the installation, maintenance and repair and other costs associated with private sewer lines serving the Preliminary Plat Property. The private line is from the point of the meter on Bird Drive and Rember Street and connecting to each Unit.

(3) *Private Driveway.* Owner and all successors in interest are responsible for the installation, maintenance, repair, and other costs associated with the private driveway serving Sublot 1.

2. Construction and Completion Schedule.

- A. Prior to issuance of a Certificate of Occupancy for the first townhouse unit, each subplot shall be adequately served by both water and sewer services as generally depicted on Exhibit A, as affirmed in writing by the City. The City must approve the timing of water and sewer connections to the existing system.
- B. By December 30, 2022 or prior to obtaining Certificate of Occupancy for the first townhouse unit, the following improvements as generally depicted on Exhibit A shall be completed and/or extended to each Sublot 1-4:
- (1) Dry utility services (power, IMG, cable, etc); and
 - (2) Bird Drive and Rember Street right of way improvements consistent with Ketchum Municipal Code, Title 12.04.030.H.1 and current right of way standards shall be completed and installed to the satisfaction of the City Engineer. Completion of right of way improvements shall occur prior to Certificate of Occupancy is issued for the first townhouse unit.
 - (3) Water and sewer mains and services serving sublots 1-4.
- C. By December 30, 2022 or prior to issuance of a Certificate of Occupancy for either of the townhouse units on Sublot 1 or Sublot 2, the private driveway accessing Sublot 1 shall be installed.
- D. By December 31, 2023 all townhomes on Sublots 1-4 shall be completed as evidenced by issuance of a Certificate of Occupancy for each townhouse unit.
- E. By February 1, 2024 the Final Plat for each townhouse unit shall be recorded.

3. Building Permits for Each Townhouse Unit. Owner shall apply for individual building permits for each townhouse unit to be constructed. Each townhouse unit shall obtain a separate Certificate of Occupancy. The first building permit shall include plans and improvements as identified in 2A and B of this Agreement.
4. Sublot Releases. The City agrees to release individual Sublots for Final Plat approval by City Council provided a Certificate of Occupancy has been issued for each building should Owner comply with above recitals.
5. In Lieu Affordable Housing, Payments and Payment Schedule. Owner agrees to pay the \$156,128 in-lieu affordable housing fee at time of issuance of the building permit for the first townhouse unit.
7. Owners' Association Assumption of Responsibilities. Upon the recording of the final plat or the final Sublot (the forth Sublot), Owner may assign and transfer its maintenance responsibilities and obligations under this Agreement to the Westcliff Homeowner's Association, Inc.
8. General Provisions.
 - A. *Recitals and Construction.* The City and Owner incorporate the above recitals into this Agreement and affirm such recitals are true and correct.
 - B. *Effective Date.* This Agreement is effective as of the date on which the last of the City and Owner execute this Agreement. Neither party shall have any rights with respect to this Agreement until both have executed this Agreement.
 - C. *Owner Representations.* Owner represents and warrants to City that (a) Owner holds fee simple title to the Property, and (b) no joinder or approval of another person or entity is required with respect to Owner's authority to make and execute this Amendment.
 - D. *Neutral Interpretation.* City and Owner acknowledge they and, if they so choose, their respective counsel have reviewed this Agreement and the normal rule of construction to the effect that any ambiguities are to be resolved against the drafting party will not be employed in the interpretation of the Agreement, or any exhibits, attachments and addenda to the Agreement.
 - E. *Counterparts.* This Agreement may be executed in multiple counterparts, each of which taken together shall constitute one and the same agreement binding upon the parties. Signatures transmitted by facsimile or via e-mail in a "PDF" format shall have the same force and effect as original signatures on this Amendment. The Original of this Amendment shall be recorded with the Blaine County Recorder.

IN WITNESS WHEREOF, the parties, having been duly authorized, have hereunder caused this Agreement to be executed, the same being done after public notice and statutory requirements having been fulfilled.

“CITY”:

CITY OF KETCHUM,
an Idaho municipal corporation

“OWNER”:

WESTCLIFF LLC,
an Idaho limited liability company

By: _____
Neil Bradshaw, Mayor

By: _____
J. Evan Robertson, Managing Member

ATTEST:

Jade Riley, Acting City Clerk

ACKNOWLEDGEMENT FOR CITY

STATE OF IDAHO)
) ss.
COUNTY OF BLAINE)

On this _____ day of _____, 2020, before me, the undersigned Notary Public in and for said State, personally appeared NEIL BRADSHAW, known or identified by me to be the Mayor of the City of Ketchum, Idaho, and the person who executed the foregoing instrument and acknowledged to me that he executed the same on behalf of such city.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first written above.

Notary Public for the State of _____
Residing at _____
My Commission Expires _____

ACKNOWLEDGEMENT FOR OWNER

STATE OF _____)
) ss.
COUNTY OF _____)

On this _____ day of _____, 2020, before me, a Notary Public in and for said State, personally appeared _____, known to me to be the Managing Member of 128 Saddle Road LLC, an Idaho limited liability company, and known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same on behalf of said limited liability company.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

Notary Public for the State of _____
Residing at _____
My Commission Expires _____

ACKNOWLEDGEMENT FOR OWNER

STATE OF _____)
) ss.
COUNTY OF _____)

On this ____ day of _____, 2020, before me, a Notary Public in and for said State, personally appeared _____, known to me to be the Managing Member of Bowry LLC, an Idaho limited liability company, and known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same on behalf of said limited liability company.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year in this certificate first above written.

Notary Public for the State of _____
Residing at _____
My Commission Expires _____

Exhibit E:
Geotechnical Report
&
Hydrology Opinions

BUTLER ASSOCIATES, INC.

GEOTECHNICAL & CIVIL ENGINEERING & CONSULTING

P.O.B. 1034

Ketchum, Idaho 83340

Phone: 208.720.6432

Email: svgeotech@gmail.com

Abby Rivin, AICP | City of Ketchum

Associate Planner

P.O. Box 2315 | 480 East Ave. N. | Ketchum, ID 83340

office: 208-726-7801 | direct: 208-727-5082

arivin@ketchumidaho.org | www.ketchumidaho.org

February 19, 2021

RE: HYDROLOGY OPINIONS

Proposed Westcliff Townhomes

Lots 3A & 4A, Bavarian Village Subdivision

110 & 106 Rember Street

Ketchum, ID 83340

Dear Abby,

This letter presents my professional opinions regarding the feasibility of a below grade parking garage for the Westcliff Townhomes based on the hydrology history I have observed during geotechnical investigations and construction of multiple residential projects in West Ketchum, not of which incorporate a below grade parking garage.

The following are my groundwater observations for current projects in West Ketchum:

1. During the subsurface investigation for the West Ketchum Townhomes groundwater was observed as high as 4.3 feet below existing grade on October 17, 2019.
2. During the subsurface investigation for the Westcliff Townhomes groundwater was observed as high as 5.5 feet below grade on July 24, 2020.

Both of these observations occurred after the typical peak late May/June snowmelt runoff and the 2019 and 2020 snowpacks were not above average so the runoff period was not extended. Higher groundwater elevations were observed during the 2017 large snowpack melt when the extended runoff allowed the ground to become saturated. I anticipate that groundwater elevations at the Westcliff Townhomes could be several feet higher during the next large snowpack runoff than observed on July 24, 2020.

See the attached Blaine County Land Use Information Flood Hazard Map indicating that the 100 year flood perpendicular to the site is 5772 feet and the existing grade at the site is 5774 feet. During a prolonged runoff event the native, free-draining sand and gravel soils in West Ketchum will allow groundwater to equal and possibly exceed the river elevation perpendicular to the site.

It is my professional opinion that a below grade parking structure for the Westcliff Townhomes will be impacted by groundwater during an average snowpack runoff and is economically impractical to construct. I appreciate this opportunity of providing these opinions. Please feel free to contact me if you have any questions or comments.

Sincerely,

Steve Butler, P.E.



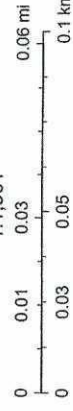
Westcliff Townhomes Flood Map



2/19/2021, 1:40:33 PM

- Base Flood Elevations
- Flood Hazard Areas
- Special Flood Hazard Area (Floodplain, 1%)
- Floodway
- 2ft Contours 2017
- 20ft Contours
- 10ft Contours
- 2ft Contours
- Parcels
- Roads

1:1,361



Blaine County GIS

BUTLER ASSOCIATES, INC.

GEOTECHNICAL & CIVIL ENGINEERING & CONSULTING

P.O.B. 1034

Ketchum, Idaho 83340

Phone: 208.720.6432

Email: svgeotech@gmail.com

Evan Robertson and Gary Slette

August 13, 2020

c/o PB Investments

134 3rd Ave. E.

Twin Falls, ID 83303

E: wroth13@gmail.com

C: (208) 720-2987

RE: GEOTECHNICAL REPORT

Proposed Rember Street Residences
Lots 3A & 4A, Bavarian Village Subdivision
110 & 106 Rember Street
Ketchum, ID 83340

Dear Evan and Gary,

I have completed the authorized geotechnical investigation and report for the proposed Rember Street Residences on Lots 3A & 4A, Bavarian Village Subdivision located at 110 & 106 Rember Street. The work was authorized with the signed proposal dated July 20, 2020.

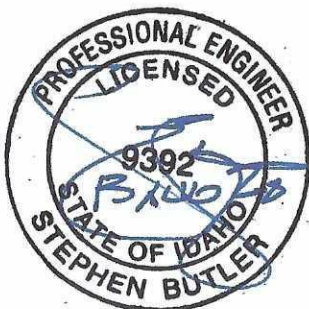
This report summarizes the results of my field and laboratory testing and presents my geotechnical engineering opinions and recommendations. **It is my opinion that the site is suitable for the proposed residences and garages supported by continuous and spread footings and slab-on-grade foundations constructed on an approved structural fill foundation building pad and/or approved native subgrade underlying the uncontrolled fill.** I am providing the recommendations in this report for the preparation of the subgrade, structural fill building pad, foundation design, foundation drainage system, surface grading and drainage and general radon venting concepts. Groundwater was encountered at approximately 6.0 feet below existing grade in all the test pits so I do not recommend below grade structures.

I recommend that this office be retained to provide observations for the construction of the structural fill foundation building pad, foundation drainage system, structural backfill to support exterior hardscapes and any other recommendations presented in this report that are incorporated into the project design. This work will be performed on a time and material basis and is not included in this scope of services. A copy of this geotechnical report should be incorporated into the project construction documents.

I appreciate this opportunity of working with you on this project. Please call me if you have any questions or comments.

Sincerely,

Steve Butler, P.E.



GEOTECHNICAL REPORT

Proposed Rember Street Residences
Lots 3A & 4A, Bavarian Village Subdivision
110 & 106 Rember Street
Ketchum, ID 83340

Butler Associates, Inc.
P.O. Box 1034
Ketchum, Idaho 83340
August 13, 2020

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INTRODUCTION

This report represents the results of the soil and foundation engineering evaluation for the proposed Rember Street Residences on Lots 3A & 4A, Bavarian Village Subdivision located at 110 & 106 Rember Street in Ketchum, Idaho. The *Vicinity Map* shows the general location of the proposed project site.

The purpose of this evaluation was to assess the surface and subsurface soil and water conditions to prepare geotechnical engineering opinions and recommendations for the construction of the proposed Rember Street Residences. Before the subsurface investigation I reviewed the geotechnical reports for the projects directly to the west and south of the site and geologic data pertinent to the site and general area. I performed a subsurface investigation by excavating six test pits at the site using a track mounted excavator. The soils encountered in the test pits were visually identified and logged by a geotechnical engineer according to the Unified Soil Classification System and used to prepare this final report.

PROPOSED PROJECT

I understand that the proposed project will consist of a four, two story, concrete, steel and wood frame single family townhome residences with attached garages supported by continuous and spread footings and slab-on-grade construction. The garages will be supported by slab-on-grade construction and accessed from the new driveways commencing at Rember Street and/or Bird Drive. The project will be served with water and sewer by the Ketchum Utility Department.

The primary views from the site are the Griffin Butte and Wood River Valley to the north, Pioneer Mountains and Dollar Mountain to the east, the Wood River Valley and Bald Mountain to the south and Bald Mountain to the west.

According to the Blaine County Parcel Information Map the property is generally "square shaped" and totals approximately 0.42 acres in size. Rember Street borders the site to the north, Bird Drive to the east, Lot 6A Bavarian Village Subdivision to the south and Lot 2, Bavarian Village Subdivision to the west.

FIELD EXPLORATION

Six test pits were excavated and observed at the site on July 24, 2020 using a track-mounted excavator. The test pits were excavated up to 7.9 feet below existing grade. The *Test Pit Site Plan* shows the property lines, existing contours and test pit locations.

The soils in each test pit were evaluated and the soil profiles logged in the field by a geotechnical engineer in accordance with the Unified Soil Classification System (*USCS*). The *Test Pit Site Plan Photos*, *Test Pit Site Plan* and *Test Pit Logs* are presented on pages 10-12, 13, and 14-19, respectively. The *USCS* chart on page 20 should be used to interpret the terms on the test pit logs in this report. No test pits were excavated to design the septic system drainfield since the project will be served by the Ketchum Utility Department.

At the conclusion of the subsurface evaluation, the test pits were loosely backfilled to match the existing ground surface. Any of the test pits located beneath areas proposed for foundations, terraces, walkways or driveways will need to be excavated and backfilled with structural fill in accordance with the *Site Preparation* section of this report.

SUBSURFACE CONDITIONS

The general soil profiles encountered in the test pits revealed up to 4.0 feet of silty fine sand and gravel with trace gravel, roots & debris (topsoil/uncontrolled fill) overlying native, brown, sand, gravel, cobble and boulders with trace silt up to 7.9 feet below existing grade. The test pits were terminated after reaching several feet below typical footing elevations and due to consistency of the soil between the test pits. Groundwater was encountered in all of the test pits at approximately 6.0 feet below existing grade. Following the completion of the subsurface investigation the test pits were loosely backfilled and graded close to existing grade.

The geology of this area is mapped on the "Geologic Map of the Hailey Quadrangle" as alluvial soils consisting of sand, gravel, silt and clay deposited by the Big Wood River. The uncontrolled fill is the result of grading the site level after demolishing the existing structures.

OPINIONS AND RECOMMENDATIONS

General

It is the opinion of this office that the site is suitable from a geotechnical standpoint for the proposed development of the four single family townhome residences with attached garages supported by an approved native sand and gravel subgrade underlying the surficial fine grain soils and uncontrolled fill or a free-draining structural fill foundation building pad constructed on an approved native subgrade. Due to encountering groundwater at approximately 6 feet below existing grade I do not recommend below existing grade structures unless they are designed to resist groundwater buoyancy forces and waterproofed.

All structural fill to be placed for the foundation building pad, exterior terraces, walkways and driveways should be approved on-site or imported sand and gravel soils. The surficial uncontrolled fill could be moisture sensitive, contains organics and debris and should be stockpiled to use as non-structural landscaping fill or exported. All structural fill should be placed as outlined in the *Structural Fill* section of this report.

The recommendations contained in this report reflect my understanding of the existing surface and below grade conditions and reflect a straight-line interpolation and extrapolation of the subsurface conditions between and beyond test pit locations. However, the soil conditions may vary at the proposed site. The various soil conditions will not be known until the foundation excavation is complete and may cause changes to construction plans and/or costs.

Subgrade Preparation & Structural Fill Foundation Building Pad

Following are site preparation recommendations to be completed prior to approving the subgrade

for footings and the construction of the structural fill foundation building pad to support the foundation:

1. All test pits should be accurately located in the field prior to commencing with the excavation. Any test pit that is located beneath a proposed footing, slab-on-grade, terrace or walkway adjacent to the structure should be excavated and backfilled with structural fill in accordance with this report. This procedure should help reduce local settlement. The approximate test pit locations are shown on the *Test Pit Site Plan*.
2. The building footprints, exterior terraces, walkways and limits of disturbance should be stripped of disturbed soils, uncontrolled fill, debris and silty fine sand topsoil sand and organics to expose the underlying undisturbed native free-draining sand and gravel soils. The excavated fine grain soils should be stockpiled as used for non-structural landscaping or exported.
3. The excavation to bottom of the footing should be completed to expose undisturbed native sand and gravel soils. If pockets of silty fine sand and/or organics are exposed in the foundation subgrade I recommend removing the material and backfilling with on-site or imported sand and gravel soils. The native sand and gravel soils are not moisture sensitive and should not be compromised from precipitation during construction and construction traffic.
4. The exposed subgrade should be scarified at least 6" below bottom of footing, watered and compacted with a multiple passes of a 5-ton smooth roller to at least 95% of the maximum dry density of the material according to ASTM D- 698 and observed by this office. Any unsuitable soils or soft areas should be excavated to expose a competent subgrade and backfilled with structural fill as outlined in the *Structural Fill* is section.
5. After this office has observed the compacted subgrade to be free of unsuitable soils it will be approved for footings. See the *Crawlspace Foundation Wall Drainage Profile*.

Structural Fill

Structural fill for the foundation building pad, retaining walls, walkways, exterior terraces and the driveway shall meet the following recommendations:

1. Structural fill should consist of approved washed fractured or rounded gravel, crushed sand and gravel (roadmix), on-site native sand and gravel soils or imported pitrun sand and gravel classified as GW, GM, GP, SW, SM, or SP as described in the Unified Soil Classification System chart presented after the test pit logs.
2. If fine grain soils are used as non-structural fill against the foundation walls imported 1"-2" dia. washed gravel should be installed from bottom of footing to the top of footing and covered with a layer of 4.0 oz., non-woven filter fabric to assist in subsurface runoff in reaching the footing drain and being directed to a drywell as shown on the *Crawlspace Foundation Wall Drainage Profile*.
3. Granular structural fill should have no more than 10% passing the No. 200 sieve and a cobble size of no larger than 8 inches.

4. Structural fill should be placed in uniform, maximum 10-inch deep, loose lifts and compacted to a minimum of 95% of the maximum dry density of the soil, as determined by ASTM D 698 (Standard Proctor). This assumes that heavy compaction equipment such as smooth-drum, vibratory rollers with a minimum drum weight of 5 tons is used. The depth of each lift could be adjusted in the field based on the material and size of compaction equipment.
5. The maximum loose lift thickness should be reduced to 6 inches where smaller and/or lighter compaction equipment is used (i.e. WACKER jumping jack). A vibrating plate tamper can be used to compact 10" lifts of washed rock but should not be used to compact native sand and gravel.
6. $\frac{3}{4}$ " minus crushed sand and gravel roadmix should be placed in 6" loose lifts, watered and compacting with a jumping jack tamper, vibrating plate tamper or smooth drum roller.
7. The general contractor should contact this office several days before the foundation excavation commences to minimize any delays in excavation, placement of structural fill, approval of imported structural fill, construction observations and reports to the building inspector by a stamped by an engineer.

Foundations

The approved native sand and gravel subgrade or imported sand and gravel structural fill foundation building pad will support continuous footings, spread footings and slab-on-grade construction based on the following parameters:

1. The allowable bearing pressure of the approved sand and gravel soils is 3,500 pounds per square foot (psf).
2. Exterior footings should be at least 32 inches below finish grade to minimize the potential for frost heave.
3. Total and differential settlement is estimated to be less than one inch and $\frac{3}{4}$ ", respectively, for the approved sand and gravel foundation subgrade or structural fill building pad.
4. The recommended friction factor is 0.6 for the sand and gravel subgrade.
5. The floor joists and sub-floor should be in-place prior to backfilling against the foundation walls unless directed otherwise by the structural engineer.
6. All footings should be constructed so that a line drawn from the edge of footings at a slope of 0.5' horizontal to 1.0 foot vertical so the undisturbed subgrade soil is not intercepted by non-structural fill or an open slope.
7. Crawlspace foundations can be waterproofed with several coats of asphalt emulsion or a waterproofing membrane i.e. bituthane membrane. If a membrane is installed it should be protected with a synthetic drainage matt or a cheaper protection board to minimize any

penetrations from rocks in the backfill.

8. All footings should be constructed so that a line drawn from the edge of footings at a slope of 0.5 foot horizontal to 1.0 foot vertical to the undisturbed subgrade soil is not intercepted by non-structural fill or an open slope. See *Structural Fill/Foundation Subgrade Concepts Profile* for details. See the *Slab-on-grade Profile*.

Soil Classification for Septic Design

The residence will be served by the Ketchum Utility Department so no test pit was excavated for a private septic system design.

Surface Grading and Drainage

I have not reviewed the completed grading and drainage plan at the time this report was completed. The drainage plan should incorporate the following grading and drainage concepts based on the soils encountered in the test pits.

1. I recommend that the finish surface be sloped at a minimum of 2% to direct runoff away from the foundations, walkways, terraces and driveways.
2. All roof down spouts, foundation drains, landscape catch basins and surface runoff should be directed to the drywells terminated at least 10 feet from and 3 feet below the lowest footing.
3. Roof down spouts should **not** be allowed to drain adjacent to foundation. A 4" solid pipe should be installed in top of the footing and sloped at a min. of 1% with stub-outs for connecting the downspouts. The pipe should be terminated in the drywells located at least 10 feet from the foundation. See the *Retaining Wall Drainage Profile* for concepts.
4. The native sand and gravel soils underlying the surficial silty fine sand soils has an infiltration rate of approximately 2.0"/minute. This office can recommend the size and number of drywells. See the *Landscape Drywell Profile*.
5. All drain lines terminated in drywells should be sloped at a min. 2% and covered with at least 24" of soil to minimize freezing.

Driveway, Terraces and Walkways

I recommend the following section for asphalt driveways, terraces and walkways of either pavers or exterior concrete slabs to minimize frost action and settlement. The driveway section is designed to allow for an exposed gravel driving surface during construction before the final asphalt driving surface is installed:

1. The hardscape areas should be excavated to remove all roots, organics, uncontrolled fill, disturbed native soils and dark brown topsoil. The underlying undisturbed native soils should be

scarified to a 6" depth, watered and compacted with a 5-ton smooth drum roller and proof rolled with a 5-ton smooth drum roller to locate any soft areas.

2. Any soft areas exposed in the compacted subgrade should be excavated to expose competent soils and replaced with compacted structural fill as outlined in the *Site Preparation* section.
3. All parking areas, terraces and walkways should be constructed so that a line drawn from the edge of walkways or driveways at a slope of 0.5 foot horizontal to 1.0 foot vertical to the undisturbed subgrade soil is not intercepted by non-structural fill or an open slope. See the *Structural Fill-Foundation Subgrade Concepts Profile*.
4. 6 inches of on-site or imported pitrun sand and gravel or 2" minus crushed sand and gravel roadmix sub-base watered and compacted with multiple passes of a smooth drum roller to at least 95% of the maximum dry density of the soil as determined by ASTM Test D-698 (Standard Proctor). On-site sand and gravel soils can be used for the sub-base layer.
5. 4 inches of ¾" minus, crushed sand and gravel roadmix compacted to at least 95% of the maximum dry density of the soil as determined by ASTM Test D-698 (Standard Proctor).
6. Typically, the driveway is constructed at the commencement of the project to include the roadmix to provide a driving surface that can be plowed during construction. Prior to placing pavers or asphalt the surface should be cleared of mud and debris and several inches of roadmix is added to create the finish grading.
7. Pavers, asphalt or concrete.
8. Driveway and surface runoff should not be allowed to drain onto Rember Street or Bird Drive. I recommend that a drywell with a cast iron ring and grate be installed near the end of the driveway and parking area in the asphalt. Having drywells located in the asphalt will allow them to be kept clear of snow and ice when the areas are plowed. Drywells located along the edge of the driveway or parking areas can be buried under plowed snow and become ineffective. See the *Storm Water Drywell Profile* for details.

A minimum of 4 inches of ¾", well graded, crushed sand and gravel (road mix) base course should be placed between the pit-run sub-base and the finish walking surface. This will provide a leveling course and distribute point loads. If the sub-base for the driveway, terraces, and walkways are completed before the finish surface is constructed any structural fill should be compacted if the surfaces are exposed over a winter since the material will experience frost heave and reach a loose state.

Seismicity

The general subsurface soil conditions are consistent with Design Code Reference IBC-2015 for Site Class C-Very Dense Soil and Soft Rock. The latitude and longitude of the project site are 43.68°N and 114.37° W, respectively.

Seismic Design Category : C

Risk Category: I/II/III

Ss = 0.591 g

S1 = 0.171 g

Sms = 0.688 g

Sm1 = 0.276 g

Radon Venting

Blaine County has a history of radon gas collecting in crawlspaces and under slab-on-grades. Radon gas is a byproduct of the natural breakdown of uranium that accumulates in improperly sealed basements and crawl spaces. These radon levels can exceed safety standards as set by the EPA. According to the State Radon Contact the most accurate testing results are gathered in the structure after construction.

This office is not qualified to complete a radon venting system design so the following venting concepts are guidelines. The radon system should be designed or reviewed by a radon venting contractor to ensure the proper spacing of the perforated pipes and vertical vent pipes.

Typical radon system designs consist of the following:

1. Install a 4-inch dia. perforated pipes on the footing subgrade within the crawlspace or slab-on-grade foundation.
2. I recommend installing sleeves through interior footings to allow the perforated radon pipe to remain below top of footing.
3. Place imported washed gravel to top of footing to protect radon piping and create level crawlspace surface. A typical footing depth of 8" would provide 4" of gravel over the 4" perforated pipes.
4. Install vapor barrier over top of gravel and seal to top of footing. A white vapor barrier i.e. Dura Skrim enhances lighting in the crawlspace.
5. Connect radon piping to vertical vent pipes. The horizontal length of radon piping per vent pipe and number and location of vent pipes should be determined by radon system contractor.
6. Power should be provided adjacent to the vertical vent pipe in case a low-voltage fan is required to vacate radon.

It is important to create an airtight seal between all concrete slabs and adjacent walls. Consulting an experienced contractor or radon-venting specialist can ensure an adequate system is installed during construction compared to potentially expensive remedial measures. See *Radon System Concepts Plan* for general design concepts.

I would anticipate that groundwater will rise to at least the BFE (5791') during a high snowpack spring runoff even though the site is located outside of the floodplain. If the bottom of the crawlspace

will be at or below the BFE then the radon system should be designed to allow groundwater to temporarily flood the crawlspace and then drain without compromising the vapor barrier or the vapor barrier seal to the foundation.

CONSTRUCTION OBSERVATION AND MONITORING

This report provides opinions and recommendations that are generally accepted geotechnical engineering principle and practices. I recommend that this office provide construction monitoring and observation services to ensure that the recommendations outlined in this report are followed and that the structural fill foundation building pad, foundation drainage system and grading and drainage details are constructed properly. If this office is not retained to perform the recommended services, I cannot be responsible for soil engineering construction errors or omissions. The costs for the recommended services are not included with this report and would be incurred on a time and expense basis.

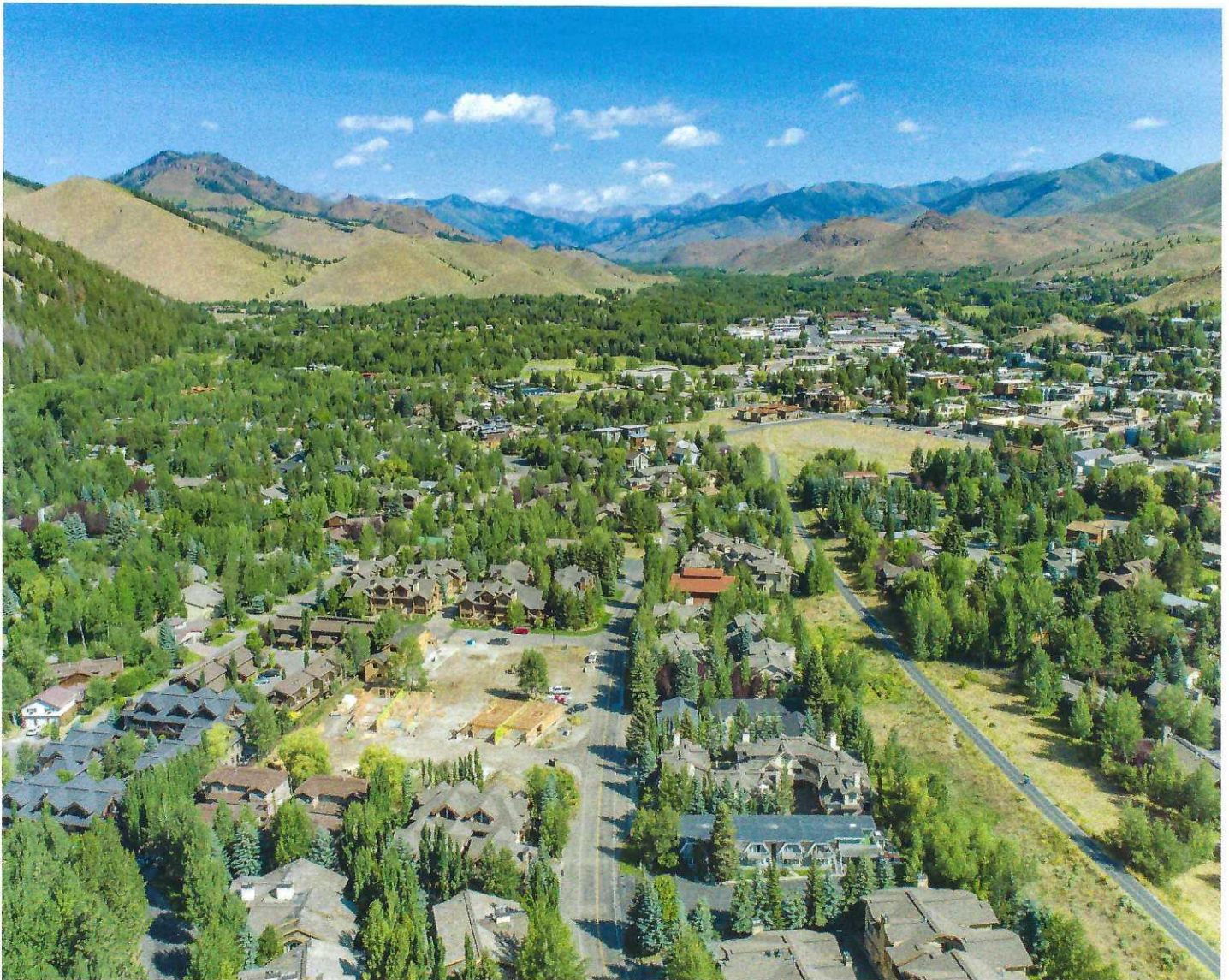


VICINITY MAP

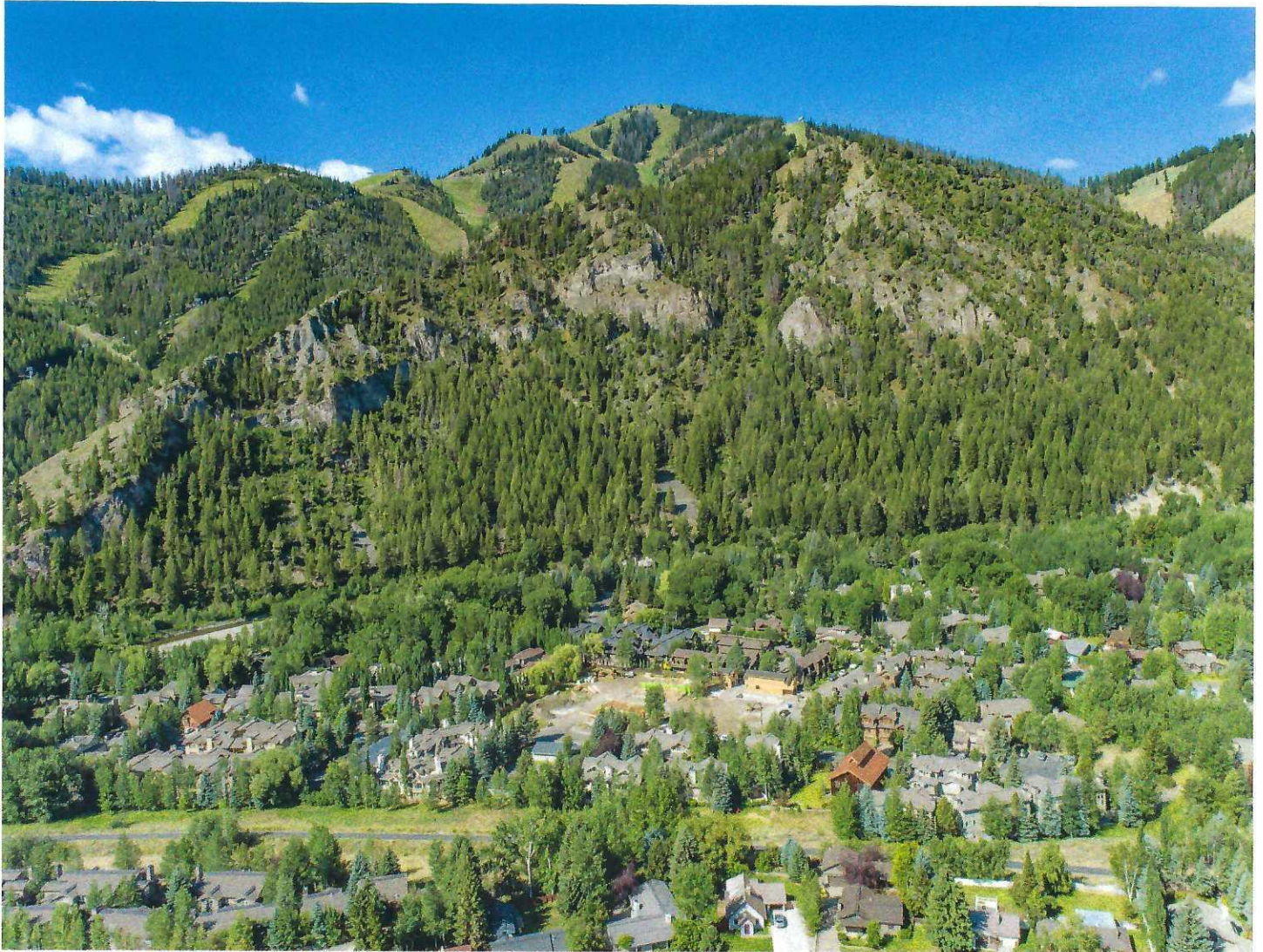
**Proposed Rember Street Residences
Lots 3A & 4A, Bavarian Village Subdivision
110 & 106 Rember Street
Ketchum, ID 83340
43° 47' 34" 114° 22' 12"**



TEST PIT SITE PLAN PHOTO 1
Proposed Rember Street Residences
Lots 3A & 4A, Bavarian Village Subdivision
110 & 106 Rember Street
Ketchum, ID 83340
Image captured on July 24, 2020



TEST PIT SITE PLAN PHOTO 2
Proposed Rember Street Residences
Lots 3A & 4A, Bavarian Village Subdivision
110 & 106 Rember Street
Ketchum, ID 83340
Image captured on July 24, 2020

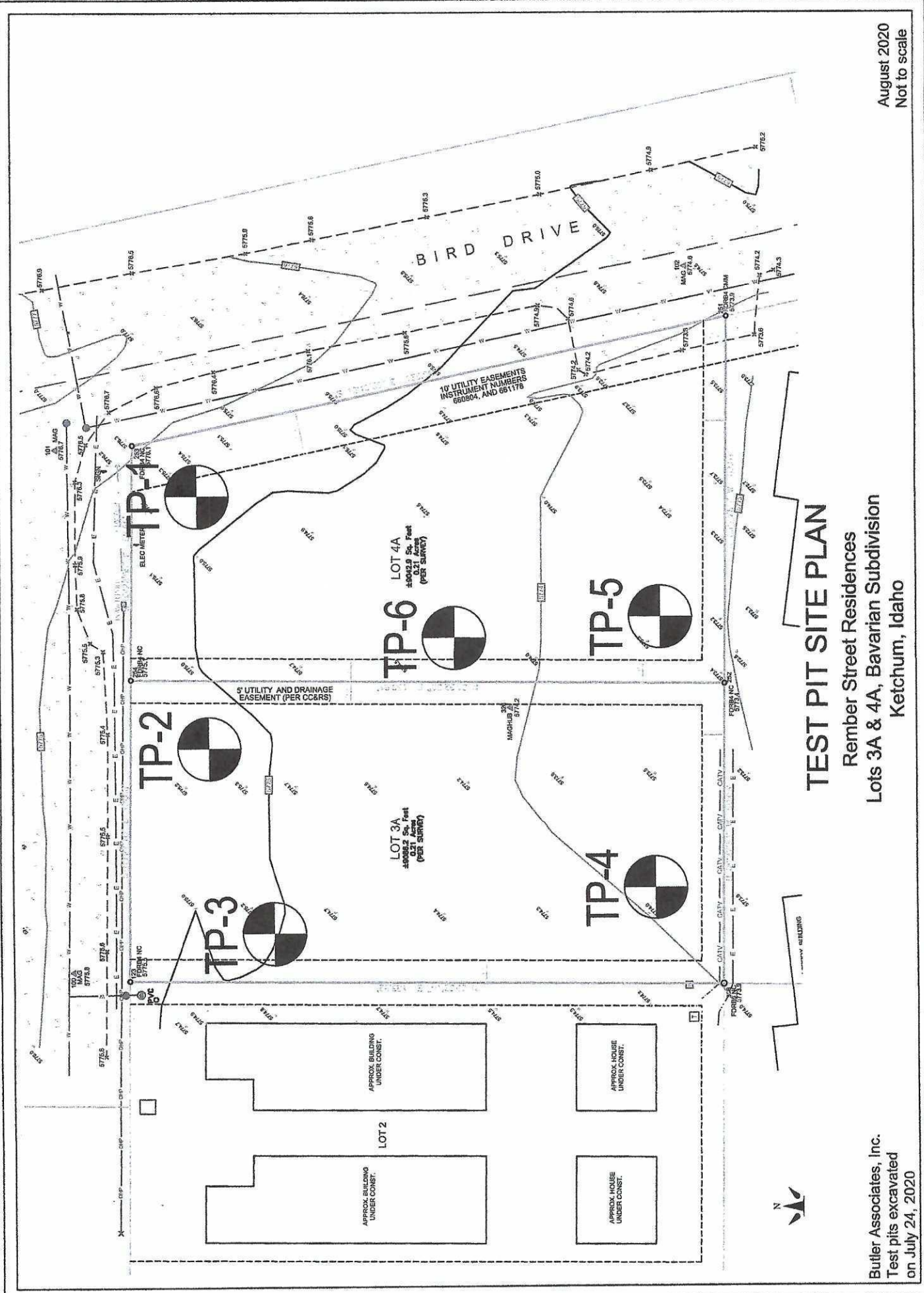


TEST PIT SITE PLAN PHOTO 2
Proposed Rember Street Residences
Lots 3A & 4A, Bavarian Village Subdivision
110 & 106 Rember Street
Ketchum, ID 83340
Image captured on July 24, 2020

TEST PIT SITE PLAN

Rember Street Residences
Lots 3A & 4A, Bavarian Subdivision
Ketchum, Idaho

Butler Associates, Inc.
Test pits excavated
on July 24, 2020



EXPLORATORY TEST PIT #1
Proposed Rember Street Residences
Lots 3A & 4A, Bavarian Village Subdivision
110 & 106 Rember Street
Ketchum, ID 83340

| DEPTH (Feet) | USCS SOIL CLASS | SOIL DESCRIPTION |
|-------------------------|----------------------------|---|
| 0.0'-up to 4.0' | GM | Silty fine SAND, GRAVEL & COBBLE, trace Roots & Debris (FILL) Brown, loose, dry-damp. |
| 4.0'-7.5' | GW | SAND, GRAVEL, COBBLE & BOULDER (NATIVE) Brown, compact-dense, damp. |

Test Pit completed on July 24, 2020.

See *Test Pit Site Plan* for test pit location.

The test pit surface elevation is approximately 5775.0 feet based on the topographic survey by Benchmark Associates, Inc.

Groundwater encountered at 6.0 feet below grade.

Test pit terminated at 7.5 feet below existing grade after reaching several feet below typical crawlspace footings and due to the consistency of the soil type between the test pits.

No soil sample retrieved.

Sloughing of test pit walls in native sand and gravel soils.

Excavation equipment: DEERE track-mounted excavator.



EXPLORATORY TEST PIT #2
Proposed Rember Street Residences
Lots 3A & 4A, Bavarian Village Subdivision
110 & 106 Rember Street
Ketchum, ID 83340

| <u>DEPTH (Feet)</u> | <u>USCS SOIL CLASS</u> | <u>SOIL DESCRIPTION</u> |
|-------------------------|----------------------------|---|
| 0.0'-2.5' | GM | Silty fine SAND, GRAVEL & COBBLE, trace Roots & Debris (FILL) Brown, loose, dry-damp. |
| 2.5'-7.6' | GW | SAND, GRAVEL, COBBLE & BOULDER (NATIVE) Brown, compact-dense, damp. |

Test Pit completed on July 24, 2020.

See *Test Pit Site Plan* for test pit location.

The test pit surface elevation is approximately 5775.0 feet based on the topographic survey by Benchmark Associates, Inc.

Groundwater encountered at 6.0 feet below grade.

Test pit terminated at 7.6 feet below existing grade after reaching several feet below typical crawlspace footings and due to the consistency of the soil type between the test pits.

No soil sample retrieved.

Sloughing of test pit walls in native sand and gravel soils.

Excavation equipment: DEERE track-mounted excavator.



EXPLORATORY TEST PIT #3
Proposed Rember Street Residences
Lots 3A & 4A, Bavarian Village Subdivision
110 & 106 Rember Street
Ketchum, ID 83340

| DEPTH (Feet) | USCS SOIL CLASS | SOIL DESCRIPTION |
|-------------------------|----------------------------|---|
| 0.0'-up to 2.8' | GM | Silty fine SAND, GRAVEL & COBBLE, trace Roots & Debris (FILL) Brown, loose, dry-damp. |
| 2.8'-7.9' | GW | SAND, GRAVEL, COBBLE & BOULDER (NATIVE) Brown, compact-dense, damp. |

Test Pit completed on July 24, 2020.

See *Test Pit Site Plan* for test pit location.

The test pit surface elevation is approximately 5775.0 feet based on the topographic survey by Benchmark Associates, Inc.

Groundwater encountered at 6.0 feet below grade.

Test pit terminated at 7.9 feet below existing grade after reaching several feet below typical crawlspace footings and due to the consistency of the soil type between the test pits.

No soil sample retrieved.

Sloughing of test pit walls in native sand and gravel soils.

Excavation equipment: DEERE track-mounted excavator.



EXPLORATORY TEST PIT #4
Proposed Rember Street Residences
Lots 3A & 4A, Bavarian Village Subdivision
110 & 106 Rember Street
Ketchum, ID 83340

| DEPTH (Feet) | USCS SOIL CLASS | SOIL DESCRIPTION |
|-------------------------|----------------------------|---|
| 0.0'-2.0' | GM | Silty fine SAND, GRAVEL & COBBLE, trace Roots & Debris (FILL) Brown, loose, dry-damp. |
| 2.0'-7.0' | GW | SAND, GRAVEL, COBBLE & BOULDER (NATIVE) Brown, compact-dense, damp. |

Test Pit completed on July 24, 2020.

See *Test Pit Site Plan* for test pit location.

The test pit surface elevation is approximately 5774.0 feet based on the topographic survey by Benchmark Associates, Inc.

Groundwater encountered at 5.5 feet below grade.

Test pit terminated at 7.0 feet below existing grade after reaching several feet below typical crawlspace footings and due to the consistency of the soil type between the test pits.

No soil sample retrieved.

Sloughing of test pit walls in native sand and gravel soils.

Excavation equipment: DEERE track-mounted excavator.



EXPLORATORY TEST PIT #5
Proposed Rember Street Residences
Lots 3A & 4A, Bavarian Village Subdivision
110 & 106 Rember Street
Ketchum, ID 83340

| DEPTH (Feet) | USCS SOIL CLASS | SOIL DESCRIPTION |
|-------------------------|----------------------------|---|
| 0.0'-2.8' | GM | Silty fine SAND, GRAVEL & COBBLE, trace Roots & Debris (FILL) Brown, loose, dry-damp. |
| 2.8'-6.9' | GW | SAND, GRAVEL, COBBLE & BOULDER (NATIVE) Brown, compact-dense, damp. |

Test Pit completed on July 24, 2020.

See *Test Pit Site Plan* for test pit location.

The test pit surface elevation is approximately 5773.3 feet based on the topographic survey by Benchmark Associates, Inc.

Groundwater encountered at 5.7 feet below grade.

Test pit terminated at 6.9 feet below existing grade after reaching several feet below typical crawlspace footings and due to the consistency of the soil type between the test pits.

No soil sample retrieved.

Sloughing of test pit walls in native sand and gravel soils.

Excavation equipment: DEERE track-mounted excavator.



EXPLORATORY TEST PIT #6

Proposed Rember Street Residences
Lots 3A & 4A, Bavarian Village Subdivision
110 & 106 Rember Street
Ketchum, ID 83340

| <u>DEPTH (Feet)</u> | <u>USCS SOIL CLASS</u> | <u>SOIL DESCRIPTION</u> |
|-------------------------|----------------------------|--|
| 0.0'-3.0' | GM | Silty fine SAND, GRAVEL & COBBLE, trace Roots & Debris (FILL) Brown, loose, dry-damp. |
| 3.0'-7.1' | GW | SAND, GRAVEL, COBBLE & BOULDER (NATIVE) Brown, compact-dense, damp. |

Test Pit completed on July 24, 2020.

See *Test Pit Site Plan* for test pit location.

The test pit surface elevation is approximately 5774.5 feet based on the topographic survey by Benchmark Associates, Inc.

Groundwater encountered at 6.0 feet below grade.

Test pit terminated at 7.1 feet below existing grade after reaching several feet below typical crawlspace footings and due to the consistency of the soil type between the test pits.

No soil sample retrieved.

Sloughing of test pit walls in native sand and gravel soils.

Excavation equipment: DEERE track-mounted excavator.



SOILS CLASSIFICATION / LEGEND

RELATIVE DENSITY OR CONSISTENCY UTILIZING STANDARD PENETRATION TEST VALUES

| COHESIONLESS SOILS (a) | | | COHESIVE SOILS (b) | | |
|------------------------|------------------|----------------------|--------------------|---------------------|------------------------------------|
| Density (c) | N. blows/ft. (c) | Relative Density (%) | Consistency | N. blows/ft. (c) | Undrained (d) Shear Strength (psf) |
| Very loose | 0 to 4 | 0 - 15 | very soft | 0 to 2 | <250 |
| Loose | 4 to 10 | 15 - 35 | soft | 2 to 4 | 250-500 |
| Compact | 10 to 30 | 35 - 65 | firm | 4 to 8 | 500-1000 |
| Dense | 30 to 50 | 65 - 85 | stiff | 8 to 15 | 1000-2000 |
| Very Dense | over 50 | >85 | very stiff Hard | 15 to 30 over 30 | 2000-4000 >4000 |

- (a) Soils consisting of gravel, sand, and silt, either separately or in combination, possessing no characteristics of plasticity and exhibiting drained behavior.
- (b) Soils possessing the characteristics of plasticity and exhibiting undrained behavior.
- (c) Refer to text of ASTM D 1586-84 for a definition of N; in normally consolidated cohesionless soils Relative Density terms are based on N_v values corrected for overburden pressures.
- (d) Undrained shear strength = 1/2 unconfined compression strength.

COMPONENT DEFINITIONS BY GRADATION

| COMPONENT | SIZE RANGE |
|---------------|-------------------------------------|
| Boulders | Above 12 inches |
| Cobbles | 3 inches to 12 inches |
| Gravel | 3 inches to No. 4 (4.76 mm) |
| Coarse gravel | 3 inches to 3/4 inch |
| Fine gravel | 3/4 inch to No. 4 (4.76mm) |
| Sand | No. 4 (4.76mm) to No. 200 (0.074mm) |
| Coarse sand | No. 4 (4.76) to No. 10. (2.0mm) |
| Medium sand | No. 10 (2.0mm) to No. 40 (0.42mm) |
| Fine sand | No. 40 (0.42) to No. 200 (0.074mm) |
| Silt & Clay | Smaller than No. 200 (0.074mm) |

LABORATORY TESTS

| TEST | DESIGNATION |
|------------------|-------------|
| Moisture | (1) |
| Density | D |
| Grain Size | G |
| Hydrometer | H |
| Atterberg Limits | (1) |
| Consolidation | C |
| Unconfined | U |
| UU Triax | UU |
| CU Triax | CU |
| CD Triax | CD |
| Permeability | P |

(1) Moisture & Atterberg Limits

SAMPLES

| | |
|----|-------------------------|
| SS | SPT Samplers |
| HD | Heavy Duty Split Spoons |
| SH | Shelby Tube |
| P | Pitcher Sampler |
| B | Bulk |
| C | Cord |

Unless otherwise noted, drive samples advanced with 140 lb. Hammer with 30 inch drop.

COMPONENT PROPORTIONS

| DESCRIPTIONS | RANGE OF PROPORTION |
|-----------------------|---------------------|
| Trace | 0 - 5% |
| Little | 5 - 12% |
| Some or Adjective (a) | 12 - 30% |
| And | 30 - 50% |

(a) Use Gravelly, Sandy or Silty as appropriate.

SILT & CLAY DESCRIPTIONS

| DESCRIPTIONS | TYPICAL UNIFIED DESIGNATION |
|---------------|-----------------------------|
| Silt | ML (non-plastic) |
| Clayey Silt | CL-ML (low plasticity) |
| Silty Clay | CL |
| Clay | CH |
| Plastic Silt | MH |
| Organic Soils | OL, OH, Pt |

UNIFIED SOIL CLASSIFICATION SYSTEM

| MAJOR DIVISIONS | | SYMBOL | TYPICAL NAMES | |
|--|---|---------------------|---|--|
| COARSE GRAINED SOILS | GRAVELS More than 50% of coarse fraction retained on No. 4 Sieve | CLEAN GRAVELS GW | Well-Graded gravel | |
| | | GP | Poorly-graded gravels | |
| | GRAVELS WITH FINES | GM | Gravel and Silt Mixtures | |
| | | GC | Gravel and Clay Mixtures | |
| | SANDS 50% or more of coarse fraction passes No. 4 Sieve | CLEAN SANDS | SW | Well-graded Sands |
| | | | SP | Poorly-graded Sands |
| SANDS WITH FINES more than 12% fines | | SM | Sand and Silt Mixtures | |
| | | SC | Sand and Clay Mixtures | |
| FINE GRAINED SOILS 50% or more passes the No. 200 Sieve | SILTS & CLAYS Liquid limit less than 50 | INORGANIC | CL | Low-plasticity Clays |
| | | | ML | Non-plastic and Low-plasticity Silts |
| | | ORGANIC | OL | Organic Silt and Clay of Low plasticity. |
| | SILTS & CLAYS Liquid limit less than 50 | INORGANIC | CH | High Plasticity Clays |
| | | | MH | High Plasticity Silts |
| | | ORGANIC | OH | High-plasticity-Organic Clays High-plasticity-Organic Silts |
| HIGHLY ORGANIC SOILS | | PT | Peat, Muck and Other Highly Organic Soils | |



Rember Street Residences

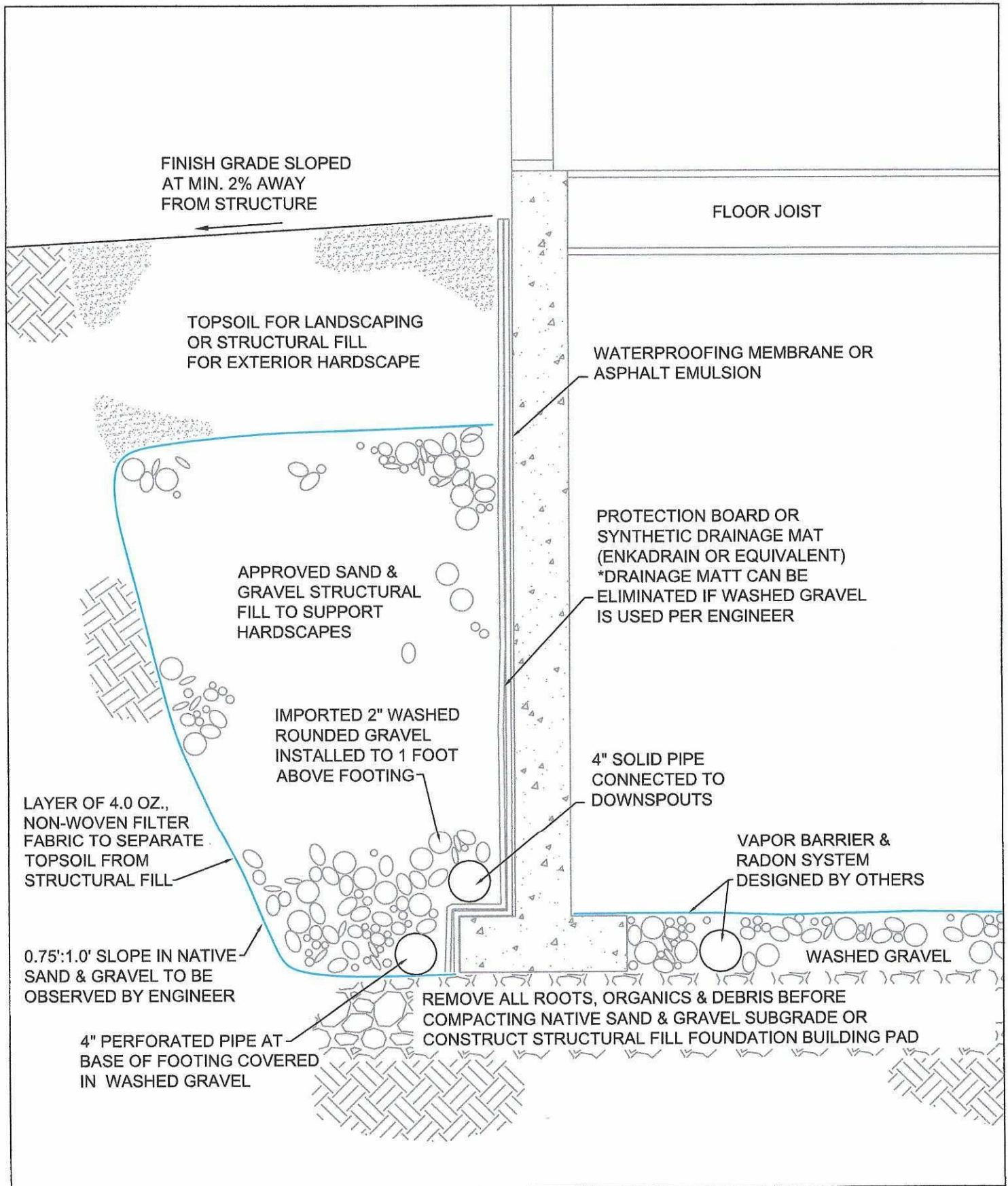
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| | |
|---------------------------------------|-----------------------------------|
| Date | 8/12/2020, 4:53:50 PM |
| Design Code Reference Document | IBC-2015 |
| Risk Category | II |
| Site Class | C - Very Dense Soil and Soft Rock |

| Type | Value | Description |
|-----------------|-------|---|
| S _S | 0.591 | MCE _R ground motion. (for 0.2 second period) |
| S ₁ | 0.171 | MCE _R ground motion. (for 1.0s period) |
| S _{MS} | 0.688 | Site-modified spectral acceleration value |
| S _{M1} | 0.278 | Site-modified spectral acceleration value |
| S _{DS} | 0.459 | Numeric seismic design value at 0.2 second SA |
| S _{D1} | 0.185 | Numeric seismic design value at 1.0 second SA |

| Type | Value | Description |
|------------------|-------|---|
| SDC | C | Seismic design category |
| F _a | 1.164 | Site amplification factor at 0.2 second |
| F _v | 1.629 | Site amplification factor at 1.0 second |
| PGA | 0.238 | MCE _G peak ground acceleration |
| F _{PGA} | 1.162 | Site amplification factor at PGA |
| PGA _M | 0.277 | Site modified peak ground acceleration |
| T _L | 6 | Long-period transition period in seconds |
| SsRT | 0.591 | Probabilistic risk-targeted ground motion. (0.2 second) |
| SsUH | 0.639 | Factored uniform-hazard (2% probability of exceedance in 50 years) spectral acceleration |
| SsD | 1.5 | Factored deterministic acceleration value. (0.2 second) |
| S1RT | 0.171 | Probabilistic risk-targeted ground motion. (1.0 second) |
| S1UH | 0.18 | Factored uniform-hazard (2% probability of exceedance in 50 years) spectral acceleration. |
| S1D | 0.6 | Factored deterministic acceleration value. (1.0 second) |
| PGAd | 0.6 | Factored deterministic acceleration value. (Peak Ground Acceleration) |
| C _{RS} | 0.925 | Mapped value of the risk coefficient at short periods |
| C _{R1} | 0.948 | Mapped value of the risk coefficient at a period of 1 s |



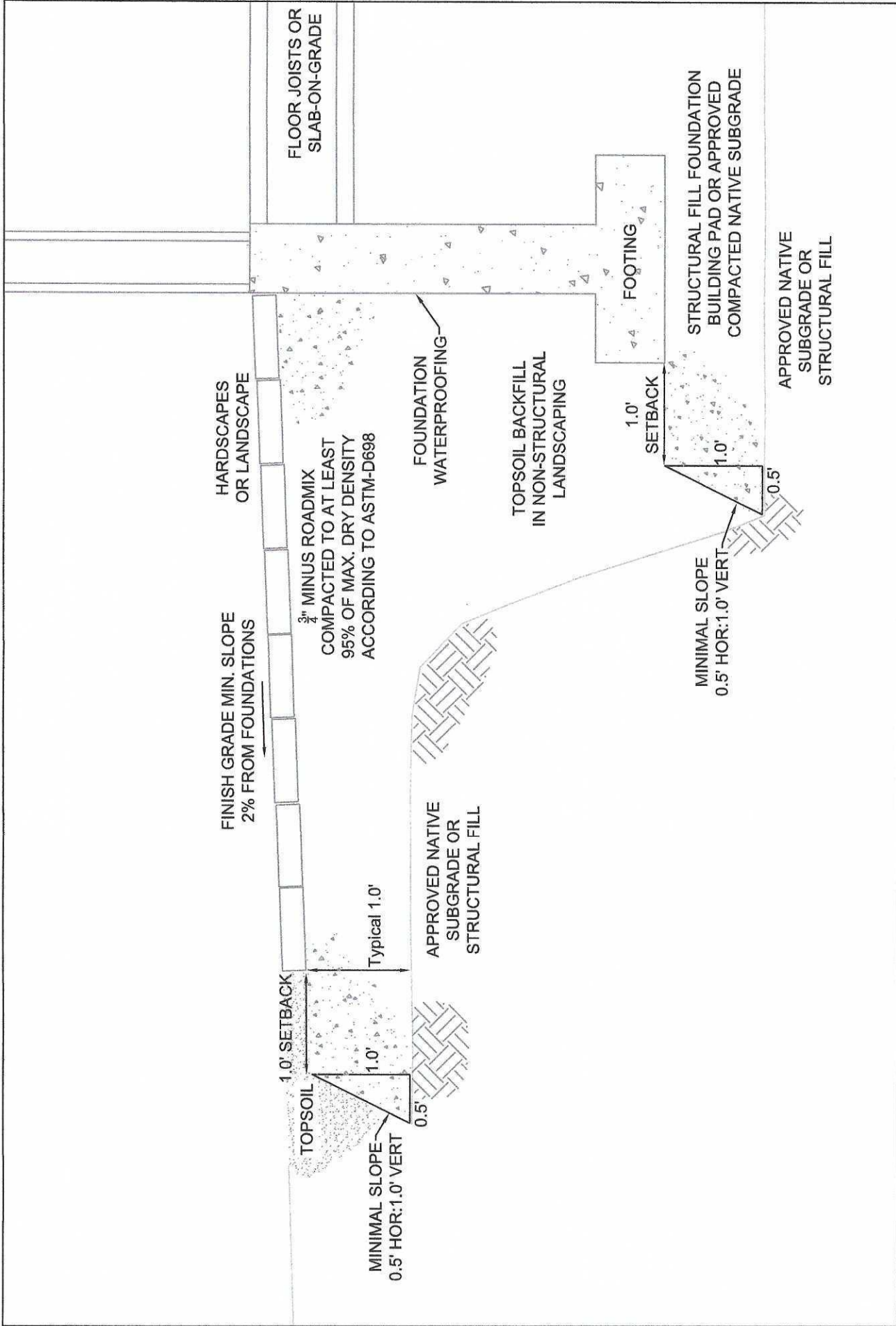
CRAWLSPACE FOUNDATION WALL DRAINAGE PROFILE

Proposed Lot 10 Residence
 Lots 3A & 4A, Block 1, Bavarian Village Subdivision
 Ketchum, Idaho

Butler Associates, Inc.
 P.O.B. 1034
 Ketchum, ID 83340
 208.720.6432
 svgeotech@gmail.com

8-12-20

Not To Scale



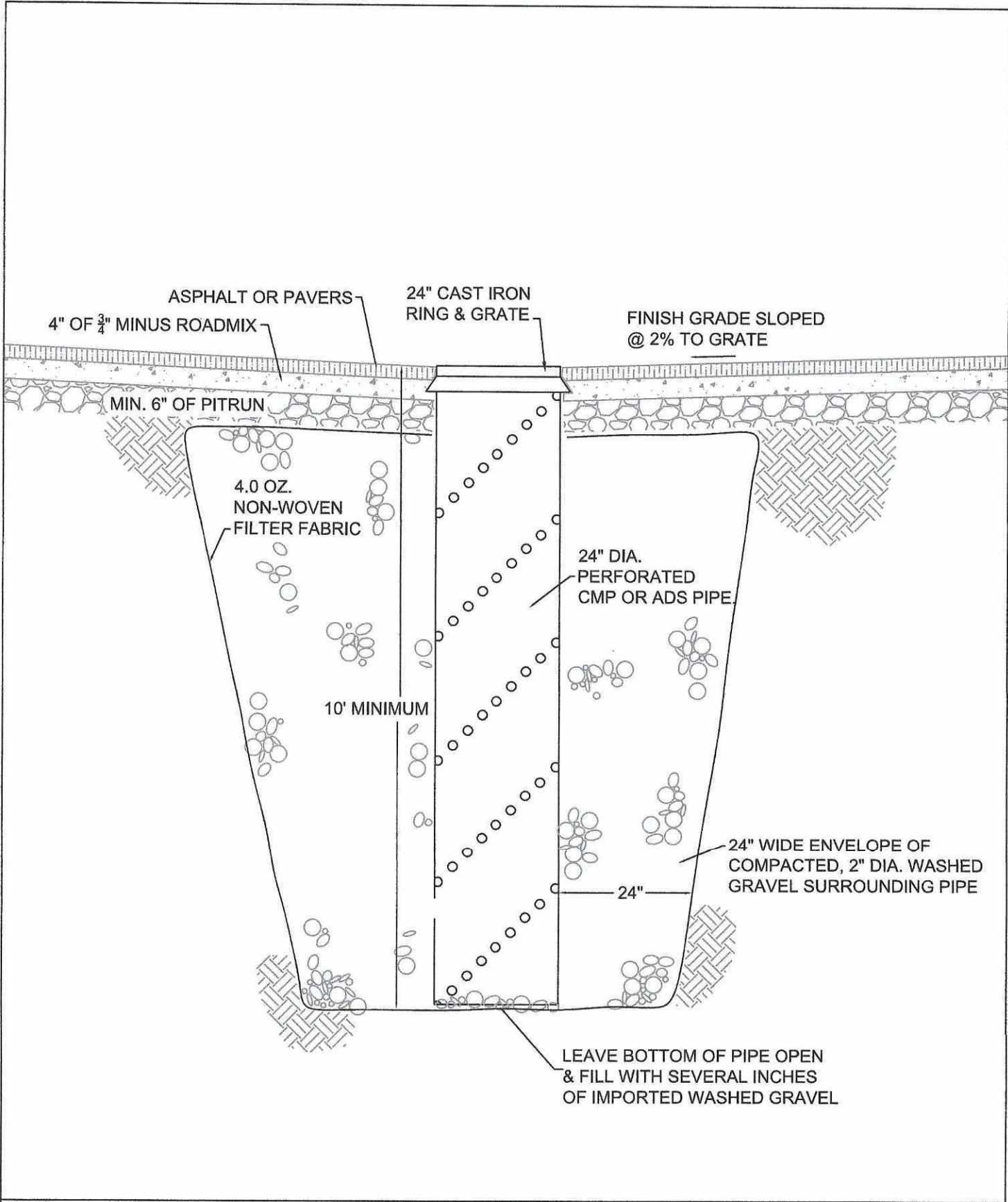
STRUCTURAL FILL / FOUNDATION SUBGRADE CONCEPTS PROFILE

Proposed Lot 10 Residence
 Lots 3A & 4A, Block 1, Bavarian Village Subdivision
 Ketchum, Idaho

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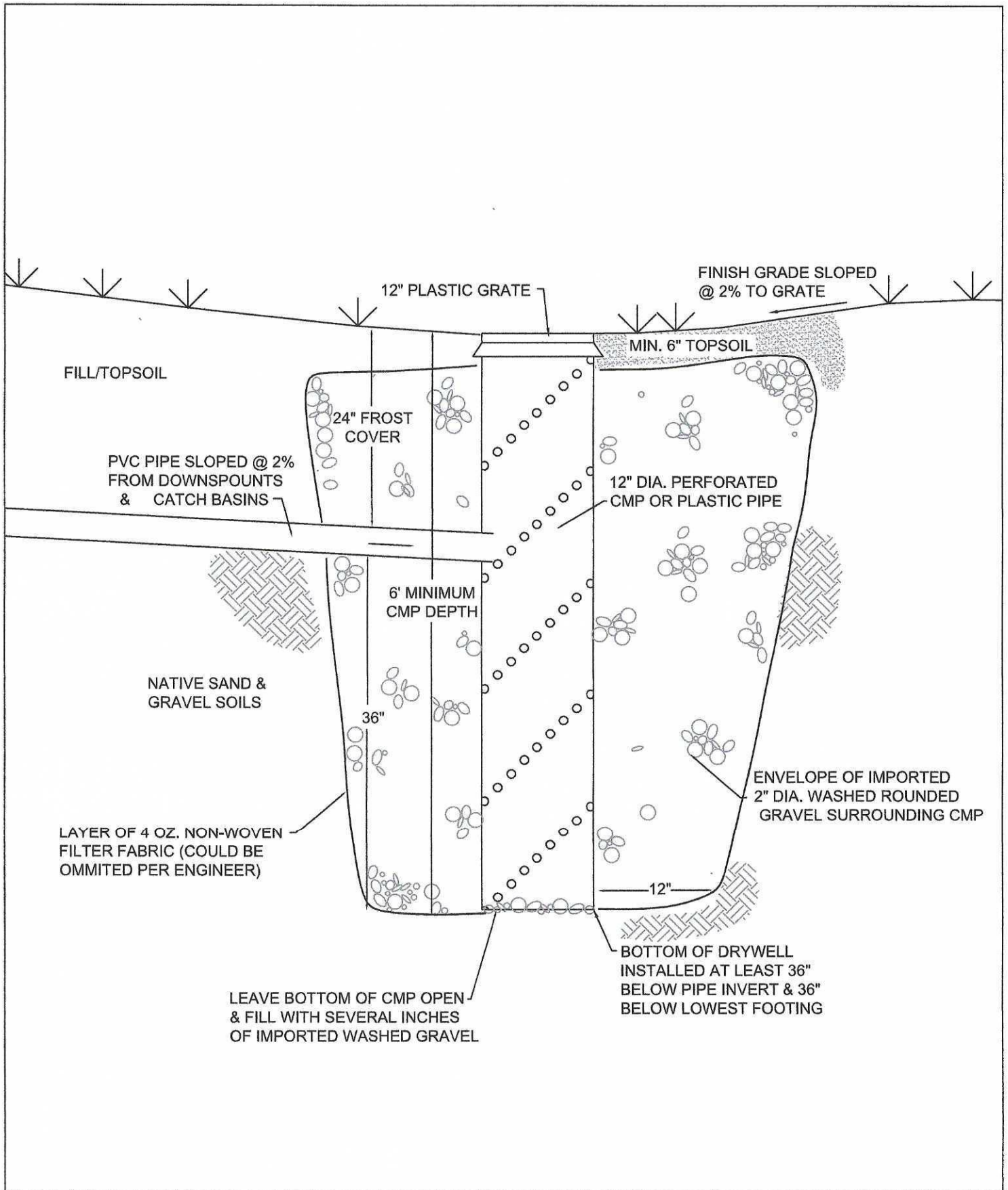
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STORMWATER DRYWELL PROFILE
 Proposed Lot 10 Residence
 Lots 3A & 4A, Block 1, Bavarian Village Subdivision
 Ketchum, Idaho

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LANDSCAPE DRYWELL PROFILE

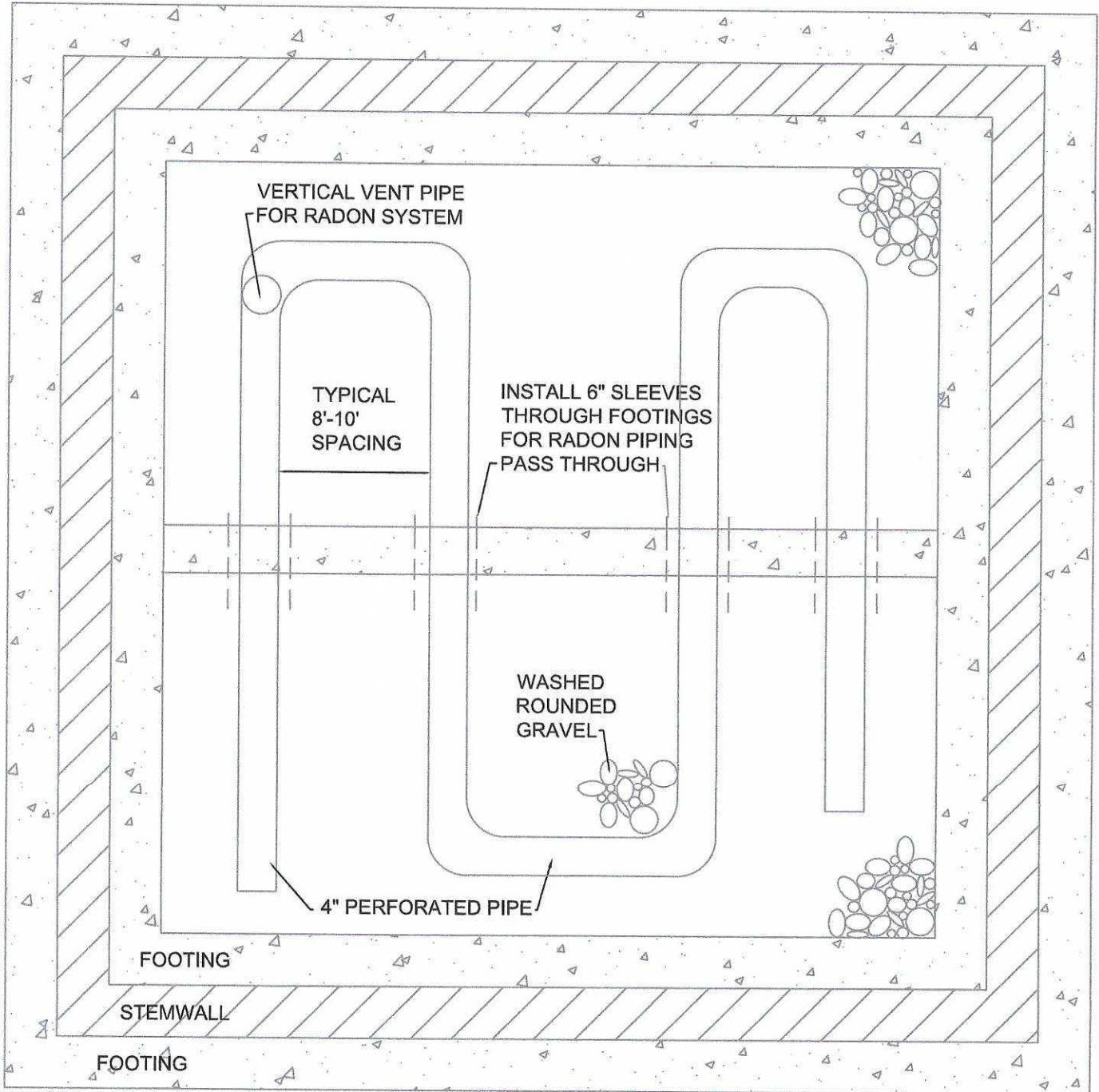
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 Ketchum, Idaho

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8-12-20

Not To Scale

*TYPICALLY WASHED GRAVEL PLACED OVER PERFORATED PIPE TO TOP OF FOOTING AND COVERED WITH VAPOR BARRIER THAT IS SEALED TO TOP OF FOOTING



**RADON SYSTEM DESIGNED BY OTHERS

RADON SYSTEM CONCEPTS PLAN

Proposed Lot 10 Residence
 Lots 3A & 4A, Block 1, Bavarian Village Subdivision
 Ketchum, Idaho

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8-12-20

Not To Scale