



**City of Ketchum
Planning & Building**

IN RE:)
)
120 N East Avenue Addition) KETCHUM PLANNING AND ZONING COMMISSION
Design Review) FINDINGS OF FACT, CONCLUSIONS OF LAW, AND
Application File Number: P24-074) DECISION
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)
Date: May 27, 2025)

PROJECT: 120 N East Ave Addition

APPLICATION TYPE: Design Review

FILE NUMBER: P24-074

PROPERTY OWNER: 120 East LLC

REPRESENTATIVE: Mike Brunelle, Brunelle Architects

LOCATION: 120 N East Avenue (Ketchum Townsite: Block 42: Lot 2)

ZONING: Mixed-Use Subdistrict of the Community Core (CC-2 Zone)

OVERLAY: None

RECORD OF PROCEEDINGS

The Planning and Zoning Commission (the “Commission”) considered the 120 N East Avenue Addition Design Review Application File No. P24-074 during their special meeting on May 7, 2025. A public hearing notice for the project was mailed to all owners of property within 300 feet of the project site on April 16, 2025. The public hearing notice was published in the Idaho Mountain Express on April 16, 2025. A notice was posted on the project site on April 30, 2025 and on the city’s website on April 22, 2025. After considering Staff’s analysis, the applicant’s presentation, and public comment, the Commission approved Design Review Application File No. P24-074 subject to conditions.

FINDINGS OF FACT

The Commission having reviewed the entire project record, provided notice, and conducted the required public hearing does hereby make and set forth these Findings of Fact, Conclusions of Law, and Decision as follows:

The applicant is proposing a 2,279-square-foot addition to the existing commercial building located at 120 N East Avenue (the “subject property”) in the Mixed-Use Subdistrict of the Community Core (“CC-

2 Zone”). The proposed 2,279 square-foot addition will accommodate a remodel of the existing commercial area, a new attached garage, and two new multi-family dwelling units. The proposed mixed-use building has a total FAR is 0.99 and with a maximum height of 39’-7”. The project plans are included as Exhibit A.

The proposed addition is subject to Design Review pursuant to Ketchum Municipal Code (“KMC”) §17.96.010.A4, which requires Design Review for substantially altering the exterior of commercial and mixed-use buildings. The Planning and Zoning Commission (the “Commission”) has the authority to review and approve the applicant’s Design Review request pursuant to KMC §17.96.030.B. As conditioned, the Commission finds that the project complies with all zoning code requirements and Design Review standards.

Findings Regarding Conformance with Zoning and Design Review Standards

Pursuant to KMC §17.96.050.A, the Commission shall determine the following before granting Design Review approval:

1. The project does not jeopardize the health, safety or welfare of the public.
2. The project generally conforms with the goals, policies, and objectives of the adopted comprehensive plan.
3. The project conforms to all applicable standards and criteria as set forth in this chapter, this title, and any other standards as adopted or amended by the City of Ketchum from time to time.

Criteria 1 & Criteria 2: Public Health, Safety, and Welfare & Comprehensive Plan Conformance

Future Land Use

The subject property is designated as Mixed-Use Commercial on the future land use map of the 2104 Comprehensive Plan (“2014 Plan”). The Mixed-Use Commercial promotes a wide range of commercial and residential uses and mixed-use development. The 2014 Plan supports redevelopment and the intensification of land uses downtown. Goal LU-1 promotes, “a functional, compact, and mixed-use pattern that integrates and balances residential and non-residential land uses.” Goal LU-2 supports, “infill and redevelopment in the downtown, major activity areas and specific areas that can take advantage of proximity to services and transportation” (page 71). As noted in the 2014 Plan, redevelopment, “means the more intensive use of existing or underused buildings and sites or the replacement of buildings with larger buildings” (page 71). Policy LU-2.1 supports the intensification of land uses on appropriate redevelopment sites downtown (page 71).

The project will expand the existing commercial space in the 120 N East Ave building and add two new housing units. By intensifying the existing commercial use and adding residential use, the project meets the 2014 Plan policies supporting a mixture of uses and the intensification of land uses through redevelopment downtown.

Housing

The 2014 Plan identifies downtown as an appropriate place for housing density due to its proximity to jobs and transportation options. Policy H-1.4 of the comprehensive plan states that, “housing should be integrated into the downtown core” (page 20), and Policy H-3.1 encourages the siting of housing in new developments near public transportation and retail districts (page 21). The project will provide

two new housing units located within the downtown core within walking distance to the Mountain Rides bus stop Visitor Center on Sun Valley Road, which provides access to all major transit routes connecting riders to other areas of Ketchum and the Wood River Valley.

Compatibility with Surrounding Neighborhood

The 2014 Plan provides the following policies regarding design and compatibility with the surrounding neighborhood:

- Policy CD-1.3: “Infill and redevelopment projects should be contextually appropriate to the neighborhood and development in which they occur. Context refers to the natural and manmade features adjoining a development site; it does not imply a certain style” (page 26).
- Policy CD-1.4: “Each new project should be well-designed and attractive, and should complement surrounding land uses and existing neighborhood character”(page 26).

While infill and redevelopment has intensified downtown, this area has not experienced the same degree of change. The proposed three-story mixed-use building has maximum height of 38’-5”, is 8,134 gross square feet, and has a total Floor Area Ratio (FAR) of 0.99. The natural materials and earthtone colors will complement the adjacent buildings and surrounding buildings. Staff believes the project provides a high-quality design that complements adjacent buildings and is contextually appropriate for this area of downtown.

Criteria 3: Conformance with Applicable Standards and Criteria

The 120 N East Ave Addition Design Review project complies with all zoning code regulations, dimensional standards required for buildings in the CC-2 Zone, Design Review standards, and Community Core project requirements.

FINDINGS REGARDING COMPLIANCE WITH ZONING REGULATIONS

17.12.020 – District Use Matrix	Conformance
<i>Zone District: Mixed-Use Subdistrict of the Community Core (CC-2)</i>	YES
Staff Analysis: The mixed-use development includes commercial offices and two multi-family dwelling units, which are permitted in the CC-2 Zone pursuant to KMC §17.12.020.	

17.12.040 – Dimensional Standards. CC District Matrix	Conformance
<i>Minimum Lot Size</i>	YES
Staff Analysis: <u>Required:</u> 5,500 square feet <u>Lot 2 Area:</u> 8,250 square feet	

17.12.040 – Dimensional Standards. CC District Matrix	Conformance
<i>Minimum Lot Width</i>	YES
Staff Analysis: <u>Required:</u> Minimum lot width of an average of 55 feet is required in the CC-2 zone district. <u>Existing Nonconforming Lot Width:</u> 55 feet	

17.12.040 – Dimensional Standards. CC District Matrix	Conformance
<i>Minimum Building Setbacks</i>	YES
<p>Staff Analysis:</p> <p><u>Required:</u></p> <p>Front (East Avenue/west): 5' average</p> <p>Side (interior/north): 0'</p> <p>Side (interior/south): 0'</p> <p>Rear (alley/east): 3'</p> <p>Non-habitable structures, permanently affixed deck amenities, solar panels visible above roof ridge or parapet, and mechanical equipment and screening affixed to a roof from all building facades: 10 feet</p> <p><u>Proposed:</u></p> <p><i>Setbacks for Mixed-Use Building</i></p> <p>Front (East Avenue/west): 11'-1" average</p> <p>Side (interior/north): 10"</p> <p>Side (interior/south): 7"</p> <p>Rear (alley/east): 6'-6"</p> <p><i>Rooftop Structures</i></p> <p>N/A—no rooftop solar or mechanical units are proposed to be installed on the roof.</p>	

17.12.040 – Dimensional Standards. CC District Matrix	Conformance
<i>Maximum Building Heights</i>	YES
<p>Permitted: 42 feet</p> <p>Height of building/CC District: The greatest vertical distance of a building in the community core district measured by determining the average elevation of the front property line and rear property line. Draw a line from the average front or rear elevation up to the maximum building height allowed, and then draw a line at that height parallel to the front or rear property line. The resulting line establishes the highest elevation of the front or rear facade. The front or rear facade shall not extend above this line. Side facades may be stepped up or down to transition from the highest elevation of the front facade height to the highest elevation of the rear facade. One or multiple steps along the side facades are allowed, except no step shall occur within 40 feet of the front elevation or within 35 feet of the rear facade. The City shall establish the elevation points used to calculate the average elevation of the front and rear property lines (see illustration A on file in the office of the City Clerk).</p> <p>Proposed:</p> <p>Maximum Height of Front Façade: 38'-7"</p> <p>Maximum Height of Rear Façade: 33'-6"</p>	

17.124.040 – Floor Area Ratios and Community Housing	Conformance
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<i>All new buildings and alterations to existing buildings in the GR-H, T, T-3000 and CC zoning districts, unless otherwise specified in this title, shall be subject to the maximum floor area ratio (FAR) described below.</i>	YES
Required Permitted FAR: 1.0 Permitted FAR with Community Housing: 2.25 <u>Proposed:</u> The FAR calculation is provided on Sheet A-002 of the project plans. Total Gross Floor Area: 8,134 square feet Lot Area: 8,250 square feet FAR: 0.99	

17.125.030 - Off Street Parking and Loading 17.125.040 – Off Street Parking and Loading Calculations 17.125.050 – Community Core District Off Street Parking and Loading Calculations	Conformance
<i>Pursuant to Ketchum Municipal Code 17.125.020.A1, all new development must comply with the off street vehicle parking requirements.</i>	YES
Permitted: <u>Required (KMC §17.125.040)</u> Multi-Family Dwelling Units in CC Zone Units 750 square feet or less: 0 parking spaces Units 751 square feet to 2,000 square feet: 1 parking space Units 2,001 square feet and above: 2 parking spaces Non-residential: 1 parking space per 1,000 gross square feet (refer to definition of gross floor area with additional exclusion of common and public areas) <u>Exemptions in CC Zone</u> <ul style="list-style-type: none"> • Community housing • Food service • The first 5,500 gross square feet of retail trade • The first 5,500 gross square feet of assembly uses • The first 5,500 square feet of office and personal service uses <u>Project Parking Demand</u> Office (4,139 gross sq ft): Exempt Multi-Family Dwelling Units: <ul style="list-style-type: none"> • Second-Floor Dwelling Unit Net Floor Area: 574 square feet—0 parking required • Third-Floor Dwelling Unit Net Floor Area: 2,185 square feet—2 parking spaces required <u>Total Parking Demand:</u> 2 Parking Spaces	

Proposed

The applicant has provided 7 parking spaces—2 parking spaces are proposed within the attached garage and 5 parking spaces are proposed for the surface parking area.

17.125.060 – Bicycle Parking	Conformance
<i>Ketchum Municipal Code §17.125.060.B: All uses, other than one family dwellings, are required to provide one bicycle rack, able to accommodate at least two bicycles, for every four parking spaces required by the proposed use.</i>	YES
Finding: <u>Required:</u> 1 bike rack, accommodating at least two bicycles, is required based on the project parking demand. <u>Proposed:</u> 1 bike rack accommodating two bicycles is provided on site.	

17.127 – Signage	Conformance
<i>Master Signage Plan for New Construction</i>	YES
Finding: The master signage plan is specified on sheet L-100.	

17.132 – Dark Skies	Conformance
<i>Compliance with Section 17.132 – Dark Skies.</i>	YES
Finding: The exterior lighting plan is provided on sheets A-003 and A-004. The proposed exterior lighting complies with the Dark Skies Ordinance.	

FINDINGS REGARDING COMPLIANCE WITH DESIGN REVIEW STANDARDS

17.96.060.A.1 - Streets	Conformance
<i>The applicant shall be responsible for all costs associated with providing a connection from an existing City street to their development.</i>	YES Condition #4
Finding: The City Engineer has conducted a review of the project plans and believes the proposed right-of-way improvements comply with city standards. The applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for all right-of-way improvements, including sidewalks, alley asphalt, streetlights, utilities, and drainage facilities, for review and approval by the City Engineer, Streets Department, Utilities Department, and Planning Department prior to issuance of a building permit for the project pursuant to condition of approval #4.	

17.96.060.A.2 - Streets	Conformance
<i>All street designs shall be approved by the City Engineer.</i>	YES Condition #4
Finding: No new streets or changes to the travel lanes or street designs are proposed with this project. Final civil drawings for all associated right-of-way improvements shall be submitted with the building permit application to be verified, reviewed, and approved by the City Engineer and Streets Department. Final review of all right-of-way improvements will be completed prior to issuance of a building permit for the project pursuant to condition of approval #4.	

17.96.060.B.1 - Sidewalks	Conformance
<i>All projects under subsection 17.96.010.A of this chapter that qualify as a "substantial improvement" shall install sidewalks as required by the Public Works Department.</i>	YES
<p>Finding: Ketchum Municipal Code 17.124.140 outlines the zone districts where sidewalks are required when substantial improvements are made, which include the CC, all tourist zone districts, and all light industrial districts. As the project is within the CC-2 zone district, sidewalks are required and included in the project plans. The applicant has proposed to install new 8-foot-wide sidewalk along 2nd Street.</p>	

17.96.060.B.2 - Sidewalks	Conformance
<i>Sidewalk width shall conform to the City's right-of-way standards, however the City Engineer may reduce or increase the sidewalk width and design standard requirements at their discretion.</i>	YES Condition #4
<p>Finding: The applicant has proposed installing a new 8-foot-wide, concrete sidewalk along East Avenue. The City Engineer, Streets Department, and City Arborist have conducted a review of the project plans and believe the proposed right-of-way improvements comply with city standards.</p> <p>The applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for all right-of-way improvements, including sidewalks, alley asphalt, streetlights, utilities, and drainage facilities, for review and approval by the City Engineer, Streets Department, Utilities Department, and Planning Department prior to issuance of a building permit for the project pursuant to condition of approval #4.</p>	

17.96.060.B.3 - Sidewalks	Conformance
<p><i>Sidewalks may be waived if one of the following criteria is met:</i></p> <ul style="list-style-type: none"> <i>a) The project comprises an addition of less than 250 square feet of conditioned space.</i> <i>b) The City Engineer finds that sidewalks are not necessary because of existing geographic limitations, pedestrian traffic on the street does not warrant a sidewalk, or if a sidewalk would not be beneficial to the general welfare and safety of the public.</i> 	N/A
<p>Finding: N/A. Sidewalks are required for the project. The applicant has not requested, nor has the City Engineer granted, a waiver to the sidewalk requirement for the project.</p>	

17.96.060.B.4 - Sidewalks	Conformance
<i>The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.</i>	YES
<p>Finding: The proposed sidewalk improvements are equal to the length of the subject property's frontage along East Avenue.</p>	

17.96.060.B.5 – Sidewalks	Conformance
<i>New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.</i>	YES
Finding: The new sidewalk will connect to the existing sidewalk to the north and south along East Avenue.	

17.96.060.B.6 - Sidewalks	Conformance
<i>The City may approve and accept voluntary cash contributions in lieu of the above described improvements, which contributions must be segregated by the City and not used for any purpose other than the provision of these improvements. The contribution amount shall be 110 percent of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the City Engineer. Any approved in lieu contribution shall be paid before the City issues a certificate of occupancy.</i>	N/A
Finding: N/A. The applicant has not requested relief from the requirement to construct sidewalks nor has the City granted any such request.	

17.96.060.C.1 - Drainage	Conformance
<i>All stormwater shall be retained on site.</i>	YES Condition #4
<p>Finding: On-site stormwater drainage will be directed through internal roof drains to on-site drywells. The roof plan on revised sheet A-104 includes a note stating that the EDPM roofing will be sloped to an internal drain system. Specifications for the roof drainage submitted must be provided with the project plans submitted with the building permit application for final review and approval by the City Engineer.</p> <p>Pursuant to condition of approval #4, the applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for all drainage improvements, for review and approval by the City Engineer and Streets Department prior to issuance of a building permit for the project.</p>	

17.96.060.C.2 - Drainage	Conformance
<i>Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.</i>	YES Condition #4
<p>Finding: The project proposes to construct drainage improvements along the length of the subject property, including curb and gutter, along East Avenue. All drainage improvements are required to be constructed to comply with city standards. Pursuant to condition of approval #4, the applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for all drainage improvements, for review and approval by the City Engineer and Streets Department prior to issuance of a building permit for the project.</p>	

17.96.060.C.3 - Drainage	Conformance
<i>The City Engineer may require additional drainage improvements as necessary, depending on the unique characteristics of a site.</i>	YES Condition #4
Finding: The City Engineer will determine if the drainage improvements for the public right-of-way and surface parking area are sufficient after reviewing the final civil drawings submitted with the building permit application. The City Engineer may require additional drainage improvements if necessary. Pursuant to condition of approval #4, the applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for all drainage improvements, for review and approval by the City Engineer and Streets Department prior to issuance of a building permit for the project.	

17.96.060.C.4 - Drainage	Conformance
<i>Drainage facilities shall be constructed per City standards.</i>	YES Condition #4
Finding: The City Engineer and Streets Department have conducted a review of the project plans and believe the proposed right-of-way improvements comply with city standards. Pursuant to condition of approval #4, the applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for all drainage improvements, for review and approval by the City Engineer and Streets Department prior to issuance of a building permit for the project.	

17.96.060.D.1 - Utilities	Conformance
<i>All utilities necessary for the development shall be improved and installed at the sole expense of the applicant.</i>	YES
Finding: All project costs associated with the development, including the installation of utilities, are the responsibility of the applicant. The applicant has not made requests for funding to the city for utility improvements. No funds have been provided by the city for the project.	

17.96.060.D.2 - Utilities	Conformance
<i>Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view.</i>	YES
Finding: Sheet L-100 shows the siting of the new transformer required to serve the project. The proposed transformer is located at northeast corner of the property by the alley and is not visible from public view along the East Avenue street frontage. The revised submittal included a letter dated January 17, 2025 confirming that they have reviewed the design and siting of the proposed transformer. The gas meters will be located within an alcove along the south interior façade.	

17.96.060.D.3 - Utilities	Conformance
<i>When extension of utilities is necessary all developers will be required to pay for and install two-inch SDR11 fiber optical conduit. The placement and</i>	N/A

<i>construction of the fiber optical conduit shall be done in accordance with City of Ketchum standards and at the discretion of the City Engineer.</i>	
Finding: N/A. The location of the subject property is already served by fiber optic cable and therefore no conduit is required in this location.	

17.96.060.E.1 – Compatibility of Design	Conformance
<i>The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures.</i>	YES
Finding: The proposed exterior materials include unpainted sealed steel panels, metal cladding, bonderized metal paneling, board-formed concrete, stucco painted dark brown (Benjamin Moore Deep River 1582), wood siding and soffit material in a natural light brown color (Resawn Abodo Vulcan Cladding “Straw”), and wood siding in a dark brown color (Resawn Abodo Vulcan Cladding “Nero”). The proposed sign is comprised of steel beams and plates with colors that match the metal and steel panels proposed for the building. The natural materials and earthtone colors will complement the adjacent buildings and surrounding buildings. The project provides a high-quality design that complements adjacent buildings and is contextually appropriate for this area of downtown.	

17.96.060.E.2 – Compatibility of Design	Conformance
<i>Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.</i>	N/A
Finding: The subject property is not listed as a historical or cultural landmark on the city of Ketchum’s Historical Building/Site List, therefore this standard does not apply.	

17.96.060.E.3 – Compatibility of Design	Conformance
<i>Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to.</i>	N/A
Finding: N/A. The existing commercial building was constructed in 1985.	

17.96.060.F.1 – Architectural	Conformance
<i>Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined.</i>	YES
Finding: The primary building entrance is along East Avenue. The existing building entrance borders the south side property line. The existing building entrance connects to the East Avenue sidewalk through an uncovered pathway and uncovered steps. The project proposes to improve the existing building entrance. The entrance will remain in the same location but is proposed to be further defined by a flat roof projection that covers a portion of the pathway. The flat roof covering will provide weather protection for pedestrians accessing the building. The proposed building entrance is well defined and provide unobstructed access to the sidewalk.	

17.96.060.F.2 – Architectural	Conformance
<i>The building character shall be clearly defined by use of architectural features.</i>	YES
<p>Finding: The building character is defined by architectural features, including horizontal bands at the top of each floor level. These horizontal bands provide a distinct base, middle, and top along the front façade. The third-floor is setback from the lower levels, which softens the visual presence of the addition along East Avenue and helps to distinguish the building’s interior program externally. The project includes different roof styles, including the flat roof covering proposed for the building entrance along East Avenue as well as flat and sloped roof elements at different heights on the third floor addition. The different roof styles and heights help break up the building’s bulk and mass and provide visual interest. The front facade includes large windows that break up the solid surfaces. The horizontal bands capping the top of each floor level is comprised of light brown wood siding that is placed vertically. The third floor is comprised of darker brown wood siding that is placed horizontally. The placement and pattern of the light and dark brown wood siding provide visual interest that helps animate the façade. The open space on the subject property along East Avenue includes a bench and provides a space for pedestrian gathering. The proposed signage is pedestrian oriented, complements the design of the building, and integrates with the streetscape.</p>	

17.96.060.F.3 – Architectural	Conformance
<i>There shall be continuity of materials, colors and signing within the project.</i>	YES
<p>Finding: The project uses an integrated palette of high-quality exterior materials. The proposed exterior materials include unpainted sealed steel panels, metal cladding, bonderized metal paneling, board-formed concrete, stucco painted dark brown (Benjamin Moore Deep River 1582), wood siding and soffit material in a natural light brown color (Resawn Abodo Vulcan Cladding “Straw”), and wood siding in a dark brown color (Resawn Abodo Vulcan Cladding “Nero”). The proposed sign is comprised of steel beams and plates with colors that match the metal and steel panels proposed for the building. The natural materials and earthtone colors will complement the adjacent buildings and surrounding buildings. The project provides a high-quality design that complements adjacent buildings and is contextually appropriate for this area of downtown.</p>	

17.96.060.F.4 – Architectural	Conformance
<i>Accessory structures, fences, walls and landscape features within the project shall match or complement the principal building.</i>	YES
<p>Finding: The existing site includes shrubs planted along the East Avenue street frontage and aspen trees that border the south interior property line. New board-formed concrete walls are proposed to border the pathway to the building entrance. The existing landscape features and board-formed concrete walls match and complement the principal building.</p>	

17.96.060.F.5 – Architectural	Conformance
<i>Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.</i>	YES

Finding: All building walls provide either undulation through projections/recessions in building mass or visual relief through exterior material differentiation. The horizontal bands that cap the top of each floor level define the character of the building and provide a distinct base, middle, and top along the front façade. The third-floor is setback from the lower levels, which softens the visual presence of the addition along East Avenue and helps to distinguish the building's interior program externally. The project includes different roof styles, including the flat roof covering proposed for the building entrance along East Avenue as well as flat and sloped roof elements at different heights on the third floor addition. The different roof styles and heights help break up the building's bulk and mass and provide visual interest. The front facade includes large windows that break up the solid surfaces. The East Avenue and alley façades are designed with both solid surfaces and window openings and employ consistent architectural elements, exterior materials, and colors.

The majority of the north interior side façade and a portion of the south interior side facade are setback less than 1 foot from the side property line. Windows have been incorporated into portions of the south interior façade that are setback more than 5 feet from the interior lot line. The north side façade and the portion of south façade setback less than 1 foot from the side property line are characterized by exterior materials differentiation. The first two floors are comprised of stucco painted brown, the horizontal bands that cap the top of each floor level are comprised of light brown wood siding, the third floor is comprised of dark brown wood siding. The light brown siding is placed vertically and the dark brown siding is placed horizontally. The exterior material differentiation as well as the pattern and placement of the light and dark brown wood siding provide visual interest that helps animate the side façades..

17.96.060.F.6 – Architectural	Conformance
<i>Building(s) shall orient toward their primary street frontage.</i>	YES
Finding: The building orients towards East Avenue. The primary building entrance is along East Avenue. The existing building entrance borders the south side property line. The existing building entrance connects to the East Avenue sidewalk through an uncovered pathway and uncovered steps. The project proposes to improve the existing building entrance. The entrance will remain in the same location but is proposed to be further defined by a flat roof projection that covers a portion of the pathway. The flat roof covering will provide weather protection for pedestrians accessing the building. The proposed building entrance is well defined and provide unobstructed access to the sidewalk.	

17.96.060.F.7 – Architectural	Conformance
<i>Garbage storage areas and satellite receivers shall be screened from public view and located off alleys.</i>	YES
Finding: The dumpster is located at the rear of the lot by the alley and screened by an enclosure. No satellite receivers are proposed.	

17.96.060.F.8 – Architectural	Conformance
<i>Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties.</i>	YES
Finding: The roof plan on revised sheet A-104 includes a note stating that the EDPM roofing will be sloped to an internal drain system. Specifications for the roof drainage submitted must be provided with the project plans submitted with the building permit application for final review and approval by the City Engineer. The proposed flat roof covering the pathway that connects the East Avenue sidewalk to the building entrance will provide weather protection for pedestrians.	

17.96.060.G.1 – Circulation Design	Conformance
<i>Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.</i>	YES
Finding: The new sidewalk will connect to the existing concrete sidewalks along East Avenue. The proposed sidewalk connects to pathways on the project site providing safe pedestrian access to and around the building.	

17.96.060.G.2 – Circulation Design	Conformance
<i>Awnings extending over public sidewalks shall extend five feet or more across the public sidewalk but shall not extend within two feet of parking or travel lanes within the right-of-way.</i>	N/A
Finding: N/A. All projecting flat roof elements terminate at the property line and no awnings are proposed to extend over the property line.	

17.96.060.G.3 – Circulation Design	Conformance
<i>Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage.</i>	YES
Finding: Access to the project is provided along East Avenue and the alley. Access to the surface parking area and garage are accessed off the block 42 alleyway. The proposed alley access allows traffic to flow safely within the project. The new sidewalk will connect to walkways on the subject property providing safe pedestrian access to and around the building.	

17.96.060.G.4 – Circulation Design	Conformance
<i>Curb cuts and driveway entrances shall be no closer than 20 feet to the nearest intersection of two or more streets, as measured along the property line adjacent to the right-of-way. Due to site conditions or current/projected traffic levels or speed, the City Engineer may increase the minimum distance requirements.</i>	N/A
Finding: N/A. No curb cuts or driveway entrances are proposed along East Avenue. Access to the surface parking area and garage are accessed off the block 42 alleyway.	

17.96.060.G.5 – Circulation Design	Conformance
<i>Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project.</i>	YES
Finding: Unobstructed access for emergency vehicles, snowplows, garbage trucks, and similar service vehicles is provided to the project from East Avenue and the alley.	

17.96.060.H.1 – Snow Storage	Conformance
<i>Snow storage areas shall not be less than 30 percent of the improved parking and pedestrian circulation areas.</i>	YES Condition #2
Finding: Based on the areas listed on revised sheet L-100, the total parking and pedestrian circulation area is 4,122 square feet. 1,237 square feet of snow storage is required based on parking and pedestrian circulation area. Only 471 square feet of snow storage is provided on the subject property. The remaining snow storage requirement is proposed to be satisfied through hauling of snow off site, which is permitted pursuant to KMC 17.96.060.H4.	

17.96.060.H.2 – Snow Storage	Conformance
<i>Snow storage areas shall be provided on site.</i>	YES Condition #2
Finding: Based on the areas listed on revised sheet L-100, the total parking and pedestrian circulation area is 4,122 square feet. 1,237 square feet of snow storage is required based on parking and pedestrian circulation area. Only 471 square feet of snow storage is provided on the subject property. The remaining snow storage requirement is proposed to be satisfied through hauling of snow off site, which is permitted pursuant to KMC 17.96.060.H4.	

17.96.060.H.3 – Snow Storage	Conformance
<i>A designated snow storage area shall not have any dimension less than five feet and shall be a minimum of 25 square feet.</i>	YES Condition #2
Finding: The proposed snow storage area is 471 square feet with a minimum dimension of 5 feet.	

17.96.060.H.4 – Snow Storage	Conformance
<i>In lieu of providing snow storage areas, snowmelt and hauling of snow may be allowed.</i>	YES Condition #2
Finding: The applicant has indicated that the owners have an existing agreement with the adjacent property owner to the south to store snow but intend to utilize Joe's Backhoe Service to haul snow off-site once the surface parking area improvements are complete. Pursuant to condition #2, prior to issuance of a building permit, the applicant shall submit a copy of the snow hauling agreement with a contractor who provides snow hauling services to ensure compliance with the snow storage standards specified in KMC §17.96.060.H1.	

17.96.060.I.1 – Landscaping	Conformance
<i>Landscaping is required for all projects.</i>	YES

Finding: Existing landscaping is proposed to be retained on site. Existing landscaping includes aspen trees and shrubs along East Avenue.

17.96.060.I.2 – Landscaping	Conformance
<i>Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape.</i>	YES
Finding: The existing aspen trees and shrubs are proposed to be retained and complement the neighborhood.	

17.96.060.I.3 – Landscaping	Conformance
<i>All trees, shrubs, grasses and perennials shall be drought tolerant. Native species are recommended but not required.</i>	YES
Finding: The existing landscaping is proposed to be retained on site.	

17.96.060.I.4 – Landscaping	Conformance
<i>Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged.</i>	YES
Finding: The existing landscaping is proposed to be retained. The existing shrubs along East Avenue help beautify the street frontage.	

17.96.060.J.1 – Public Amenities	Conformance
<i>Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All public amenities shall receive approval from the Public Works Department prior to design review approval from the Commission.</i>	YES
Finding: The applicant will provide a bench and two bike racks on the subject property by the East Avenue sidewalk.	

17.96.060.K.1 – Underground Encroachments	Conformance
<i>Encroachments of below grade structures into required setbacks are subject to subsection 17.128.020.K of this title and shall not conflict with any applicable easements, existing underground structures, sensitive ecological areas, soil stability, drainage, other sections of this Code or other regulating codes such as adopted International Code Council Codes, or other site features concerning health, safety, and welfare.</i>	N/A
Finding: N/A. The basement does not encroach into required setback areas.	

17.96.060.K.2 – Underground Encroachments	Conformance
<i>No below grade structure shall be permitted to encroach into the riparian setback.</i>	N/A
Finding: N/A. The basement does not encroach into required setbacks.	

FINDINGS REGARDING CONFORMANCE WITH COMMUNITY CORE PROJECT REQUIREMENTS

17.96.070.A.1 – Streets	Conformance
<i>Street trees, streetlights, street furnishings, and all other street improvements shall be installed or constructed as determined by the Public Works Department.</i>	YES Condition #4
Finding: The project will construct right-of-way improvements, including a new sidewalk along East Avenue, drainage facilities, and streetlights in accordance with city standards. No street trees are proposed. A bench and two bike racks are proposed to be sited on the subject property along the East Avenue frontage. The applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for all right-of-way improvements, including sidewalks, alley asphalt, streetlights, utilities, and drainage facilities, for review and approval by the City Engineer prior to issuance of a building permit for the project pursuant to condition of approval #4.	

17.96.070.A.2 – Streets	Conformance
<i>Street trees with a minimum caliper size of three inches, shall be placed in tree grates.</i>	N/A
Finding: N/A. No street trees are proposed or required to be installed for the project.	

17.96.070.A.3 – Streets	Conformance
<i>Due to site constraints, the requirements of this subsection A may be modified by the Public Works Department.</i>	N/A
Finding: N/A. The subject property is not characterized by site constraints that warrant modification to the requirements of KMC §17.96.060.A. The City Engineer and Streets Department have conducted a preliminary review of the project plans and believe the proposed right-of-way improvements comply with city standards.	

17.96.070.B.1 - Architectural	Conformance
<i>Facades facing a street or alley or located more than five feet from an interior side property line shall be designed with both solid surfaces and window openings to avoid the creation of blank walls and employ similar architectural elements, materials, and colors as the front facade.</i>	YES
Finding: The East Avenue and alley façades are designed with both solid surfaces and window openings and employ consistent architectural elements, exterior materials, and colors. The majority of the north interior side façade and a portion of the south interior side facade are setback less than 1 foot from the side property line. Windows have been incorporated into portions of the south interior façade that are setback more than 5 feet from the interior lot	

line. The north side façade and the portion of south façade setback less than 1 foot from the side property line are characterized by exterior materials differentiation. The first two floors are comprised of stucco painted brown, the horizontal bands that cap the top of each floor level are comprised of light brown wood siding, the third floor is comprised of dark brown wood siding. The light brown siding is placed vertically and the dark brown siding is placed horizontally. The exterior material differentiation as well as the pattern and placement of the light and dark brown wood siding provide visual interest that helps animate the side façades.

17.96.070.B.2 - Architectural	Conformance
<i>For nonresidential portions of buildings, front building facades and facades fronting a pedestrian walkway shall be designed with ground floor storefront windows and doors with clear transparent glass. Landscaping planters shall be incorporated into facades fronting pedestrian walkways.</i>	YES
Finding: The placement of windows on the first two floors of the front façade matches the existing window configuration. The window configuration of the existing office building includes a significant amount of glazing. The existing shrubs that front the East Avenue sidewalk are proposed to be retained. Sheet L-100 shows that new steel planter is proposed to be installed along the front façade by the East Avenue sidewalk.	

17.96.070.B.3 - Architectural	Conformance
<i>For nonresidential portions of buildings, front facades shall be designed to not obscure views into windows.</i>	YES
Finding: The design of the existing and proposed front façade is designed so that views into windows are not obscured. The existing shrubs along East Avenue that are proposed to be retained do not impede views into the first-floor windows.	

17.96.070.B.4 - Architectural	Conformance
<i>Roofing forms and materials shall be compatible with the overall style and character of the structure. Reflective materials are prohibited.</i>	YES
Finding: The new angled roof and flat roof proposed for the third-floor addition are compatible with the overall style and character of the remodeled structure. Reflective roofing material is not proposed.	

17.96.070.B.5 - Architectural	Conformance
<i>All pitched roofs shall be designed to sufficiently hold all snow with snow clips, gutters, and downspouts.</i>	YES Condition #4
Finding: The roof plan on revised sheet A-104 includes a note stating that the EDPM roofing will be sloped to an internal drain system. Specifications for the roof drainage submitted must be provided with the project plans submitted with the building permit application for final review and approval by the City Engineer. The applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for all drainage improvements, including roof drainage, for review and approval by the City Engineer prior to issuance of a building permit for the project pursuant to condition of approval #4.	

17.96.070.B.6 - Architectural	Conformance
<i>Roof overhangs shall not extend more than three feet over a public sidewalk. Roof overhangs that extend over the public sidewalk shall be approved by the Public Works Department.</i>	N/A
Finding: N/A. All roof overhangs and projections are contained on the subject property and do not extend over the property lines.	

17.96.070.B.7 - Architectural	Conformance
<i>Front porches and stoops shall not be enclosed on the ground floor by permanent or temporary walls, windows, window screens, or plastic or fabric materials.</i>	N/A
Finding: N/A. The project does not include front porches or stoops on the front façade of the building.	

17.96.070.C.1 – Service Areas and Mechanical/Electrical Equipment	Conformance
<i>Trash disposal areas and shipping and receiving areas shall be located within parking garages or to the rear of buildings. Trash disposal areas shall not be located within the public right-of-way and shall be screened from public views.</i>	YES
Finding: The dumpster is located at the rear of the property along the alley and is proposed to be screened within an enclosure.	

17.96.070.C.2 – Service Areas and Mechanical/Electrical Equipment	Conformance
<i>Roof and ground mounted mechanical and electrical equipment shall be fully screened from public view. Screening shall be compatible with the overall building design.</i>	YES
Finding: Sheet L-100 shows the siting of the new transformer required to serve the project. The proposed transformer is located at northeast corner of the property by the alley and is not visible from public view along the East Avenue street frontage. The revised submittal included a letter dated January 17, 2025 confirming that they have reviewed the design and siting of the proposed transformer. The gas meters are located in an alcove along the south side façade. The project does not propose to install any roof-mounted mechanical or electrical equipment.	

17.96.070.D.1 - Landscaping	Conformance
<i>When a healthy and mature tree is removed from a site, it shall be replaced with a new tree. Replacement trees may occur on or off site.</i>	N/A
Finding: N/A. All existing healthy and mature trees are proposed to be retained on the subject property.	

17.96.070.D.2 - Landscaping	Conformance
<i>Trees that are placed within a courtyard, plaza, or pedestrian walkway shall be placed within tree wells that are covered by tree grates.</i>	N/A
Finding: N/A. No trees are proposed in courtyard plazas or within pedestrian walkways.	

17.96.070.D.3 - Landscaping	Conformance
<i>The City arborist shall approve all parking lot and replacement trees.</i>	N/A
Finding: N/A. All existing healthy and mature trees are proposed to be retained on the subject property, so no replacement trees are required per KMC §17.96.070.D1.	

17.96.070.E.1 – Surface Parking Lots	Conformance
<i>Surface parking lots shall be accessed from off the alley and shall be fully screened from the street.</i>	YES
Finding: The surface parking area is located at the rear of the lot and accessed from the alley. The surface parking lot is fully screened from East Avenue by the mixed-use building.	

17.96.070.E.2 – Surface Parking Lots	Conformance
<i>Surface parking lots shall incorporate at least one tree and one additional tree per ten on site parking spaces. Trees shall be planted in landscaped planters, tree wells and/or diamond shaped planter boxes located between parking rows. Planter boxes shall be designed so as not to impair vision or site distance of the traveling public.</i>	N/A
Finding: The existing 6 aspen trees located along the south side of the parking lot are proposed to be retained. The surface parking area is comprised of only one row of parking with 5 parking spaces oriented towards the north side property line. The remainder of the parking area is the aisle providing access to these parking spaces from the alley. Since the surface parking area contains less than 10 parking spaces (5 total parking spaces are proposed), this requirement is not applicable.	

17.96.070.E.3 – Surface Parking Lots	Conformance
<i>Ground cover, low lying shrubs, and trees shall be planted within the planters and planter boxes. Tree grates or landscaping may be used in tree wells located within pedestrian walkways.</i>	N/A
Finding: N/A as no new ground cover, low lying shrubs, or trees are proposed to be installed in the surface parking area.	

17.96.070.F.1 – Bicycle Parking	Conformance
<i>One bicycle rack, able to accommodate at least two bicycles, shall be provided for every four parking spaces as required by the proposed use. At a minimum, one bicycle rack shall be required per development.</i>	YES

Finding: The project has a total parking of two spaces. One bike rack is required for the development. The project proposes to install two bike racks, accommodating two bicycles, on the subject property adjacent to the entrance to the building along East Avenue.

17.96.070.F.2 – Bicycle Parking	Conformance
<i>When the calculation of the required number of bicycle racks called for in this section results in a fractional number, a fraction equal to or greater than one-half shall be adjusted to the next highest whole number.</i>	YES
Finding: One bike rack is required for the proposed development.	

17.96.070.F.3 – Bicycle Parking	Conformance
<i>Bicycle racks shall be clearly visible from the building entrance they serve and not mounted less than 50 feet from said entrance or as close as the nearest non-ADA parking space, whichever is closest. Bicycle racks shall be located to achieve unobstructed access from the public right-of-way and not in areas requiring access via stairways or other major obstacles.</i>	YES
Finding: The project proposes to install one bike rack, accommodating two bicycles, adjacent to the entrance to the building along the alley.	

CONCLUSIONS OF LAW

1. The City of Ketchum is a municipal corporation established in accordance with Article XII of the Constitution of the State of Idaho and Title 50 Idaho Code and is required and has exercised its authority pursuant to the Local Land Use Planning Act codified at Chapter 65 of Title 67 Idaho Code and pursuant to Chapters 3, 9 and 13 of Title 50 Idaho Code to enact the ordinances and regulations, which ordinances are codified in the Ketchum Municipal Code (“KMC”) and are identified in the Findings of Fact and which are herein restated as Conclusions of Law by this reference and which City Ordinances govern the applicant’s Design Review application for the development and use of the project site.
2. The Commission has authority to hear the applicant’s Design Review Application pursuant to Chapter 17.96 of Ketchum Municipal Code Title 17.
3. The City of Ketchum Planning Department provided notice for the review of this application in accordance with Ketchum Municipal Code §17.96.080.
4. The Design Review application is governed under Ketchum Municipal Code Chapters 17.96, 17.124, 17.08, 17.12, 17.18, and 17.128.
5. The 120 N East Ave Addition Design Review Application File No. P24-074 meets all applicable standards specified in Title 17 of Ketchum Municipal Code.

DECISION

THEREFORE, the Ketchum Planning and Zoning Commission **approves** this Design Review Application File No. P24-074 this Tuesday, May 27, 2025 subject to the following conditions of approval.

CONDITIONS OF APPROVAL

1. This Design Review approval is based on the plans dated February 6, 2025 and the information presented and approved at the May 7, 2025 Planning and Zoning Commission Special Meeting included as Exhibit A. The building permit plans must conform to the approved Design Review plans unless otherwise approved in writing by the Planning and Zoning Commission or Administrator. Any building or site discrepancies which do not conform to the approved plans will be subject to removal.
2. Prior to issuance of a building permit, the applicant shall submit a copy of the snow hauling agreement with a contractor who provides snow hauling services to ensure compliance with the snow storage standards specified in KMC §17.96.060.H1.
3. At time of building permit, the applicant shall submit final civil drawings prepared by an engineer registered in the State of Idaho that provide specifications for all right-of-way improvements, including sidewalks, alley asphalt, streetlights, utilities, and drainage facilities, for final review and approval by the City Engineer, Streets Department, Utilities Department, and Planning Department.
4. Pursuant to Ketchum Municipal Code §17.127.030.B, separate sign permits shall be required for all new signs prior to installation.
5. The term of Design Review approval shall be twelve (12) months from the date that the Findings of Fact, Conclusions of Law, and Decision are adopted by the Planning and Zoning Commission or upon appeal, the date the approval is granted by the Council subject to changes in zoning regulations. Any extension shall comply with KMC §17.96.090.
6. In addition to the requirements set forth in this Design Review approval, this project shall comply with all applicable local, state, and federal laws.

Findings of Fact **adopted** this 27th day of May 2025.

Neil Morrow, Chair
City of Ketchum
Planning and Zoning Commission

Exhibit A

Project Team

Owner

120 N East LLC
120 N East Avenue
Ketchum, ID 83340

Contractor

Peak Venture Group, LLC
Cody Colombo
120 N. Leadville
Ketchum, ID 83340
208/481-1189
cody@peakvg.com

Architect

Brunelle Architects
Mike Brunelle
190 Cranbrook Rd
P.O. Box 3204
Hailey, ID 83333
208/589-0771
mike@brunellearchitects.com

Civil Engineering

Galena-Benchmark Engineering
Contact - David Patrie
P.O. Box 733
Ketchum, ID 83340
208/726-9512
208/481-8287
dave@galena-benchmark.com

Structural Engineer

Maxwell Structural Design Studio
Craig Maxwell P.E.
105 Lewis Street, Unit 205
Ketchum, ID 83340
P.O. Box 1911
Sun Valley, ID 83353
208/721-2171
craig@maxwellsds.com

Index of Drawings

CS	cover sheet
TOPO	Survey
C1.00	Site Improvement Plan
L-100	Site Plan
A-000	as-builts images
A-000a	site panoramas
A-001	as-builts
A-002	project/FAR information
A-003	photometric study - building
A-004	photometric study - roadway
A-100a	floor plan - basement
A-101a	floor plan - 1st floor
A-102a	floor plan - 2nd floor
A-103a	floor plan - 3rd floor
A-104	roof plan
A-201	elevations
A-202	elevations
A-203	elevations
A-204	elevations
E-100	electrical

120 Cranbrook Rd
P.O. Box 3204
Hailey, Idaho
83333-0204
p. 208.589.0771

1/2025

PROJECT:
120 N East LLC

120 N East Ave
Ketchum, Idaho
83340

Permit Set: 02/06/2025

Construction Set: xx/xx/xx

REVISION DATE

NOTES:



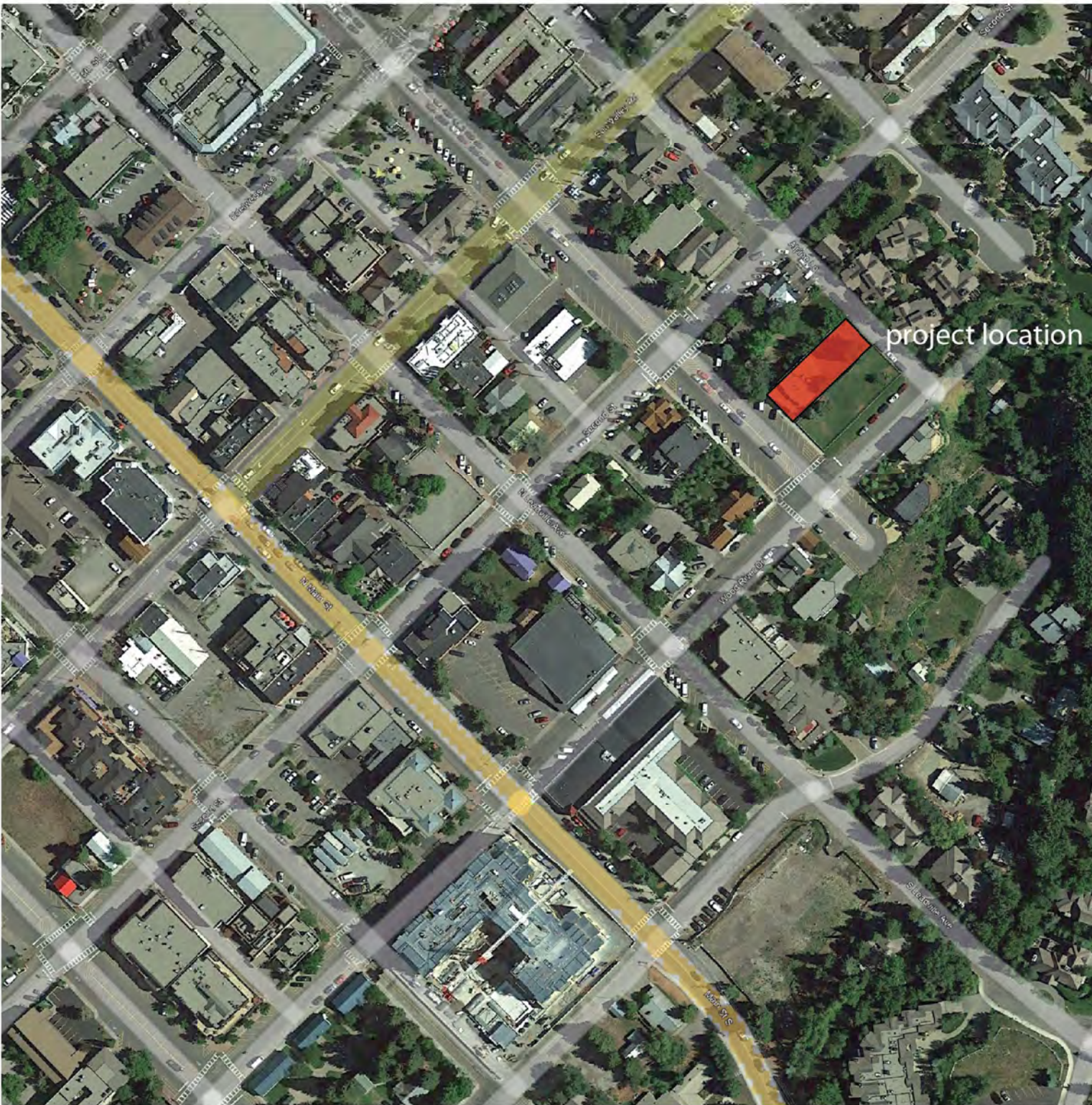
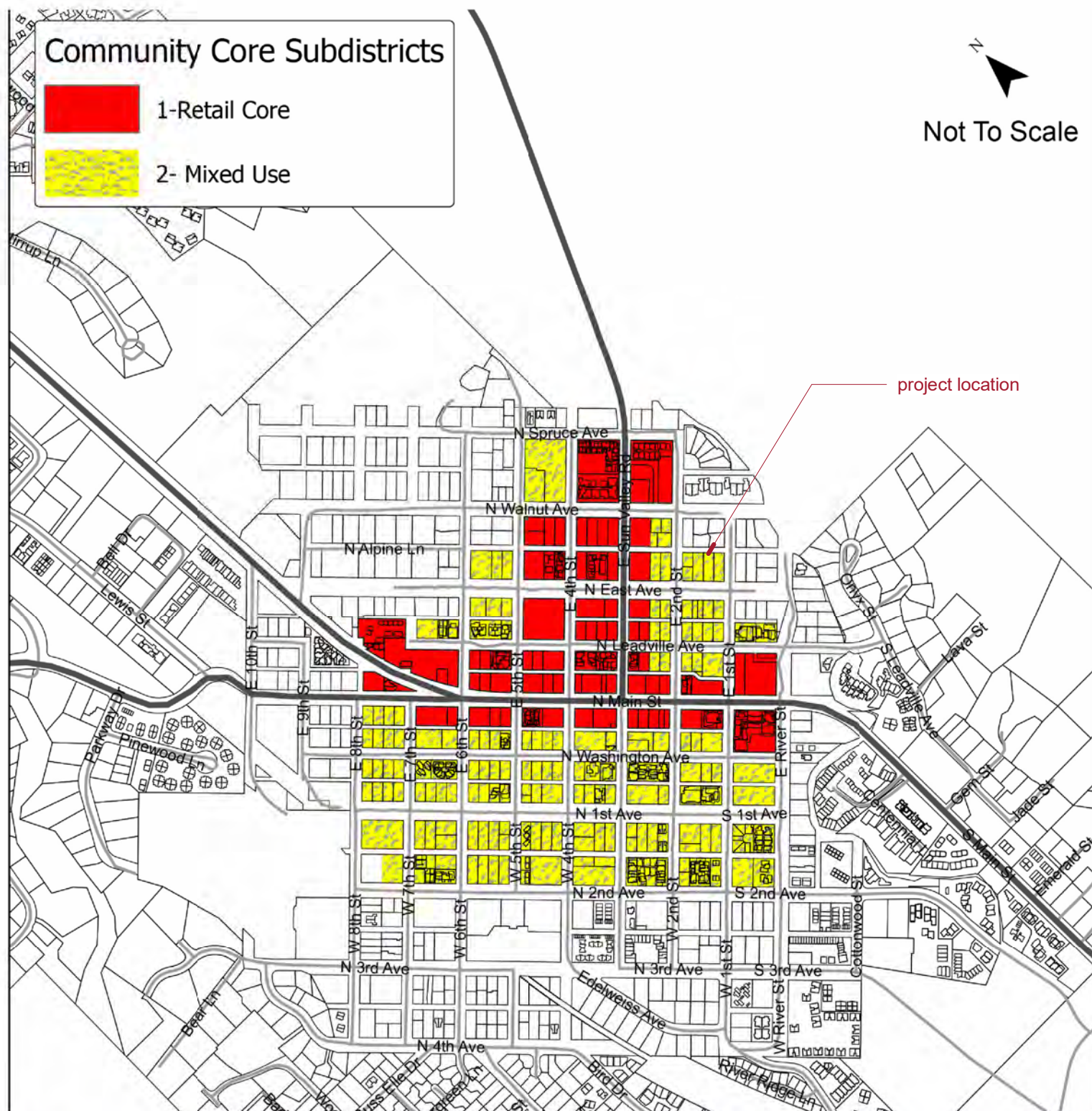
cover sheet

SCALE: As indicated

CS

DRAWN BY: Author

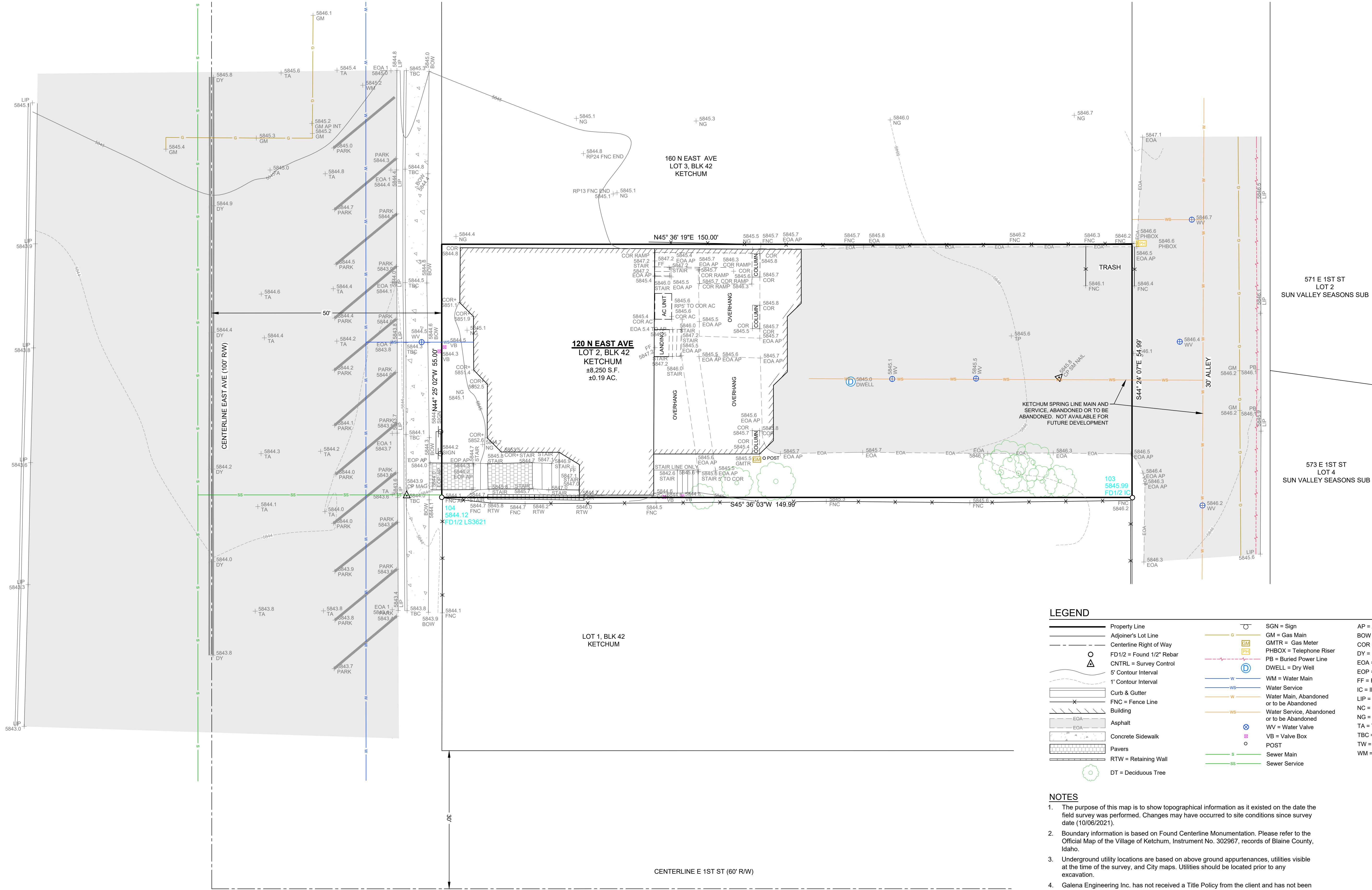
PLOT DATE: 2/6/2025 3:58:29 PM



120 N East LLC
120 N East Ave
Ketchum, Idaho
83340

BRUNELLE ARCHITECTS, INC
MIKE BRUNELLE
190 CRANBROOK RD
PO BOX 3204
HAILEY, IDAHO
83333
P. 208.589.0771
MIKE@BRUNELLEARCHITECTS.COM

REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any Project or extensions of this Project except by agreement in writing with Galena Engineering, Inc..

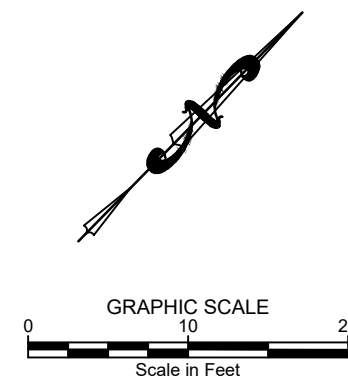


LEGEND

	Property Line		SGN = Sign		AP = Angle Point
	Adjoiner's Lot Line		GM = Gas Main		BOW = Back of Walk
	Centerline Right of Way		GMTR = Gas Meter		COR = Corner
	FD1/2 = Found 1/2" Rebar		PHBOX = Telephone Riser		DY = Double Yellow Paint Line
	CNTRL = Survey Control		PB = Buried Power Line		EOA = Edge of Asphalt
	5' Contour Interval		DWELL = Dry Well		EOP = Edge of Pavers
	1' Contour Interval		WM = Water Main		FF = Finished Floor
	Curb & Gutter		WS = Water Service		IC = Illegible Cap
	FNC = Fence Line		WMA = Water Main, Abandoned or to be Abandoned		LIP = Lip of Gutter
	Building		WWS = Water Service, Abandoned or to be Abandoned		NC = No Cap
	Asphalt		WV = Water Valve		NG = Natural Ground
	Concrete Sidewalk		VB = Valve Box		TA = Top of Asphalt
	Pavers		POST		TBC = Top Back of Curb
	RTW = Retaining Wall		S = Sewer Main		TW = Top of Wall
	DT = Deciduous Tree		SS = Sewer Service		WM = Watermain

NOTES

- The purpose of this map is to show topographical information as it existed on the date the field survey was performed. Changes may have occurred to site conditions since survey date (10/06/2021).
- Boundary information is based on Found Centerline Monumentation. Please refer to the Official Map of the Village of Ketchum, Instrument No. 302967, records of Blaine County, Idaho.
- Underground utility locations are based on above ground appurtenances, utilities visible at the time of the survey, and City maps. Utilities should be located prior to any excavation.
- Galena Engineering Inc. has not received a Title Policy from the client and has not been requested to obtain one. Relevant information that may be contained within a Title Policy may therefore not appear on this map and may affect items shown hereon. It is the responsibility of the client to determine the significance of the Title Policy information and determine whether it should be included. If the client desires for the information to be included they must furnish said information to Galena Engineering, Inc. and request it be added to this map.
- Benchmark is top of 1/2" rebar marking the southwest corner of lot elevation = 5844.12. Vertical Datum is NAVD 1988.



PURPOSE:		REVISIONS	
NO	DATE	BY	

GALENA
ENGINEERING, INC.
Civil Engineers & Land Surveyors
317 N. River Street
Hailey, Idaho 83433
(208) 788-1705
email: galena@galena-engineering.com

DESIGNED BY
IDV
DRAWN BY
SMF/MEP
CHECKED BY

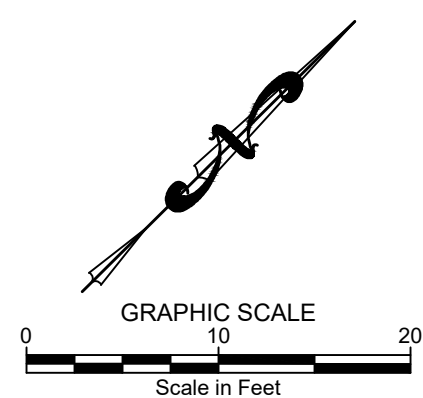
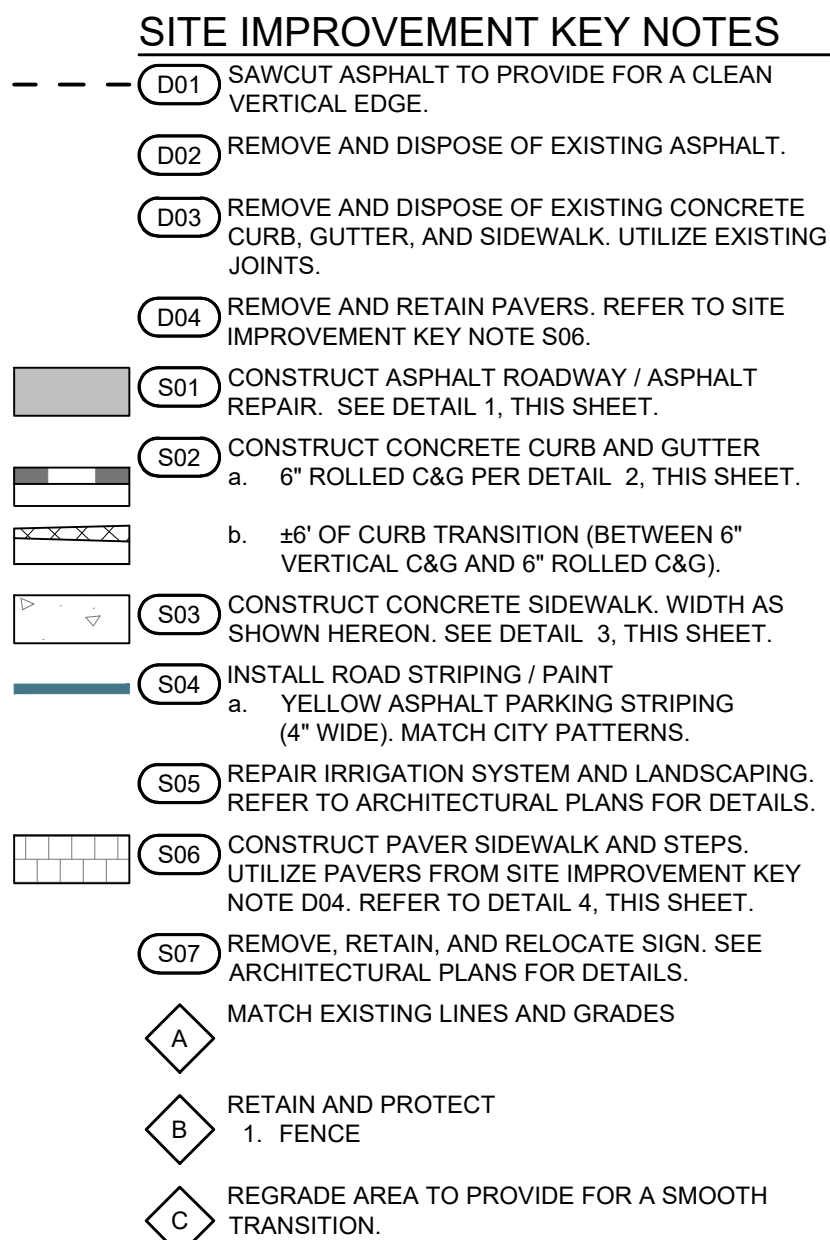


A TOPOGRAPHIC MAP SHOWING
120 N EAST AVE, LOT 2, BLK 42 KETCHUM TOWNSITE
LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR GEORGE & CHRISTINA BOURKIS

PROJECT INFORMATION
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1. ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISPWC) AND CITY OF KETCHUM STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ISPWC AND CITY OF KETCHUM STANDARDS ON SITE DURING CONSTRUCTION.
2. THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES PRIOR TO COMMENCING AND DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL CALL 811 (1-800-342-1585) TO LOCATE ALL EXISTING UNDERGROUND UTILITIES A MINIMUM OF 48 HOURS IN ADVANCE OF EXCAVATION.
3. CONTRACTOR SHALL COORDINATE RELOCATIONS OF DRY UTILITY FACILITIES (POWER, CABLE, PHONE, TV) WITH THE APPROPRIATE UTILITY FRANCHISE.
4. THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION.
5. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION (THIS MAY INCLUDE ENCROACHMENT PERMITS AND NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION GENERAL PERMIT (CGP) PERMIT COVERAGE).
6. ALL CLEARING & GRUBBING SHALL CONFORM TO ISPWC SECTION 201.
7. ALL EXCAVATION & EMBANKMENT SHALL CONFORM TO ISPWC SECTION 202. SUBGRADE SHALL BE EXCAVATED AND SHAPED TO LINE, GRADE, AND CROSS-SECTION SHOWN ON THE PLANS. THE SUBGRADE SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-698. THE CONTRACTOR SHALL WATER OR AERATE SUBGRADE AS NECESSARY TO OBTAIN A MINIMUM 10% MOISTURE CONTENT. UNLESS OTHERWISE SPECIFIED, THE SUBGRADE MAY BE PROOF-ROLLED TO THE APPROVAL OF THE ENGINEER.

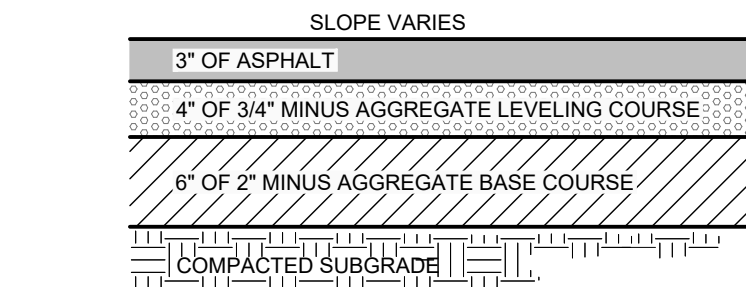
- PROOF-ROLLING:** AFTER EXCAVATION TO THE SUBGRADE ELEVATION AND PRIOR TO PLACING COURSE GRAVEL, THE CONTRACTOR SHALL PROOF ROLL THE SUBGRADE WITH A 5-TON SMOOTH DRUM ROLLER, LOADED WATER TRUCK, OR LOADED PUMP TRUCK, AS ACCEPTED BY THE ENGINEER. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF UNSUITABLE SUBGRADE MATERIAL AREAS, AND/OR AREAS NOT CAPABLE OF COMPACTION ACCORDING TO THESE SPECIFICATIONS. UNSUITABLE OR DAMAGED SUBGRADE IS WHEN THE SOIL MOVES, PUMPS AND/OR DISPLACES UNDER ANY TYPE OF PRESSURE INCLUDING FOOT TRAFFIC LOADS.
- IF, IN THE OPINION OF THE ENGINEER, THE CONTRACTOR'S OPERATIONS RESULT IN DAMAGE TO, OR PROTECTION OF, THE SUBGRADE, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, REPAIR THE DAMAGED SUBGRADE BY OVER-EXCAVATION OF UNSUITABLE MATERIAL TO FIRM SUBSOIL, LINE EXCAVATION WITH GEOTEXTILE FABRIC, AND BACKFILL WITH PIT RUN GRAVEL.
8. ALL 2" MINUS GRAVEL SHALL CONFORM TO ISPGW 802, TYPE II (ITD STANDARD 703.04, 2"), SHALL BE PLACED IN CONFORMANCE WITH ISPGW SECTION 801 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99.
9. ALL 3/4" MINUS CRUSHED GRAVEL SHALL CONFORM TO ISPGW 802, TYPE I (ITD STANDARD 703.04, 3/4" B), SHALL BE PLACED IN CONFORMANCE WITH ISPGW SECTION 802 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
10. ALL ASPHALTIC CONCRETE PAVEMENT WORK SHALL CONFORM TO ISPGW SECTION(S) 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (13MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPGW SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPGW SECTION 805.
11. ASPHALT SAWCUTS SHALL BE AS INDICATED ON THE DRAWINGS, OR 24" INCHES FROM EDGE OF EXISTING ASPHALT, IF NOT INDICATED OTHERWISE SO AS TO PROVIDE A CLEAN PAVEMENT EDGE FOR MATCHING. NO WHEEL CUTTING SHALL BE ALLOWED. PRIOR TO REPLACING ASPHALT, THE UNDERLYING SURFACE INCLUDING VERTICAL SAWCUT JOINTS SHALL BE CLEANED OF ALL DEBRIS AND A TACK COAT SHALL BE APPLIED TO ALL CURBS, SAWCUTS, OR OVERLAY SURFACES.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A TRAFFIC CONTROL PLAN FOR APPROVAL BY THE CITY OF KETCHUM PRIOR TO CONSTRUCTION. THE TRAFFIC CONTROL PLAN SHALL BE PER THE CURRENT EDITION OF THE US DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
13. ALL CONCRETE WORK SHALL CONFORM TO ISPGW SECTIONS 701, 703, AND 705. ALL CONCRETE SHALL BE 3,000 PSI MINIMUM, 28 DAY, AS DEFINED IN ISPGW SECTION 703, TABLE 1. IMMEDIATELY AFTER PLACEMENT PROTECT CONCRETE BY APPLYING MEMBRANE-FORMING CURING COMPOUND, TYPE 2, CLASS A, PER ASTM C 309-94. APPLY CURING COMPOUND PER MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS.
14. PER IDAHO CODE S 55-1613, THE CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS. ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS THAT ARE LOST OR DISTURBED BY CONSTRUCTION SHALL BE REESTABLISHED AND RE-MONUMENTED, AT THE EXPENSE OF THE AGENCY OR PERSON CAUSING THEIR LOSS OR DISTURBANCE AT THEIR ORIGINAL LOCATION OR BY SETTING OF A WITNESS CORNER OR REFERENCE POINT OR A REPLACEMENT BENCHMARK OR CONTROL POINT, BY OR UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIRING A MATERIALS TESTING COMPANY DURING CONSTRUCTION TO VERIFY ALL COMPACTION AND MATERIAL PLAN AND SPECIFICATION REQUIREMENTS. TO DETERMINE THE QUALITY CONTROL FOR COMPACTION, DOCUMENTATION OF RIGHT-OF-WAY MEETING CITY OF KETCHUM CODE SECTION 12.04.04 (CONCRETE, AGGREGATE BASE COMPACTION, ASPHALT COMPACTION) WILL BE NECESSARY FOR CERTIFICATE OF OCCUPANCY.
16. NO SNOWMELT INSTALLATIONS ARE TO OCCUR WITHIN CITY OF KETCHUM ROW.
17. BOUNDARY INFORMATION AND TOPOGRAPHIC DATA SHOWN HEREON ARE PER A SURVEY CONDUCTED BY GALENA ENGINEERING 10/06/2021. SITE CONDITIONS MAY HAVE CHANGED SINCE THE DATE OF SURVEY. CONTRACTOR TO NOTIFY ENGINEER OF ANY DISCREPANCIES THAT AFFECT THE SCOPE OF WORK.



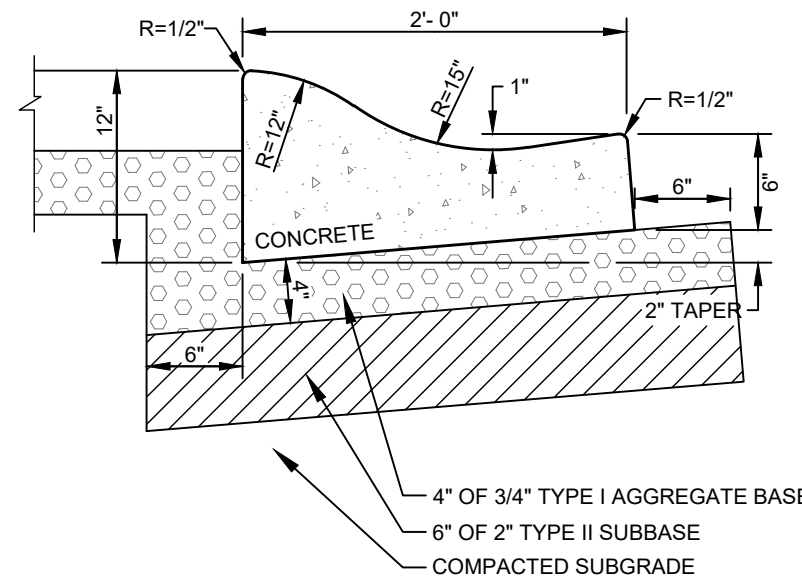
LEGEND

	P/L	Property Line		G	GM = Gas Main
		Adjoiner's Lot Line			GMTR = Gas Meter
		Centerline Right of Way			PHBOX = Telephone Rise
		5' Contour Interval			PB = Buried Power Line
		1' Contour Interval			DWELL = Dry Well
		Curb & Gutter		W	WM = Water Main
	X	FNC = Fence Line		WS	Water Service
	EOA	Asphalt			WV = Water Valve
		Concrete Sidewalk			POST
		RTW = Retaining Wall		S	Sewer Main
		Deciduous Tree		SS	Sewer Service
		Building Overhead Line			

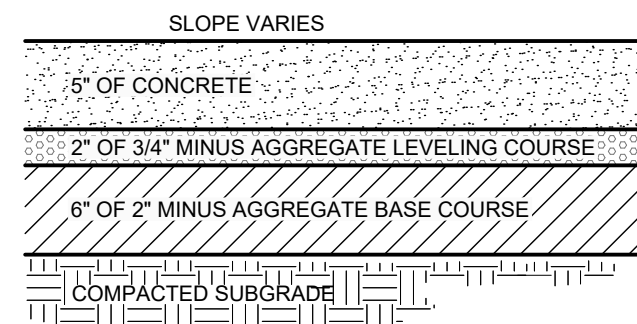
AP = Angle Point	NC = No Cap
BOW = Back of Walk	NG = Natural Ground
BS = Bottom of Step	TA = Top of Asphalt
COR = Corner	TBC = Top Back of Cut
DE = Double Yellow Paint Line	TC = Top of Concrete
EOA = Edge of Asphalt	TS = Top of Step
EOP = Edge of Pavers	TW = Top of Wall
FF = Finished Floor	WM = Watermain
IC = Illegible Cap	
LIP = Lip of Gutter	



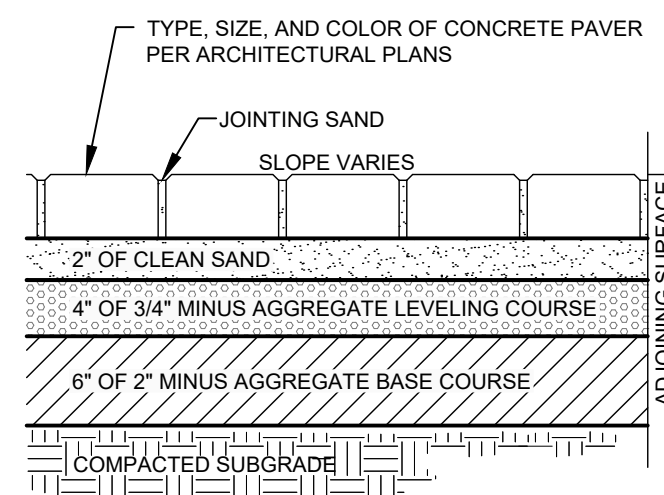
1. SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
2. MATERIALS SHALL CONFORM WITH CURRENT ISPMC STANDARDS DIVISION 800 AGGREGATES AND ASPHALT.
3. PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.



1. SUBBASE CAN BE 2" TYPE I OR ¾" TYPE I CRUSHED AGGREGATE BASE COURSE.
2. MATERIALS SHALL CONFORM WITH CURRENT ISPCW STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
3. PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT IS OBTAINED BY A LICENSED ENGINEER, AS PROVIDED.
4. 12-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADI.
5. CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FEET MAXIMUM SPACING (8-FEET W/SIDEWALK).



1. SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
2. MATERIALS SHALL CONFORM WITH CURRENT ISPCW STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
3. PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT STATED BY A LICENSED ENGINEER, IS PROVIDED.
4. 1/2" MIN. PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADI.
5. CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FEET MAXIMUM SPACING (8-FEET W/SIDEWALK).



4
C1.00

**PRELIMINARY
NOT FOR
CONSTRUCTION**

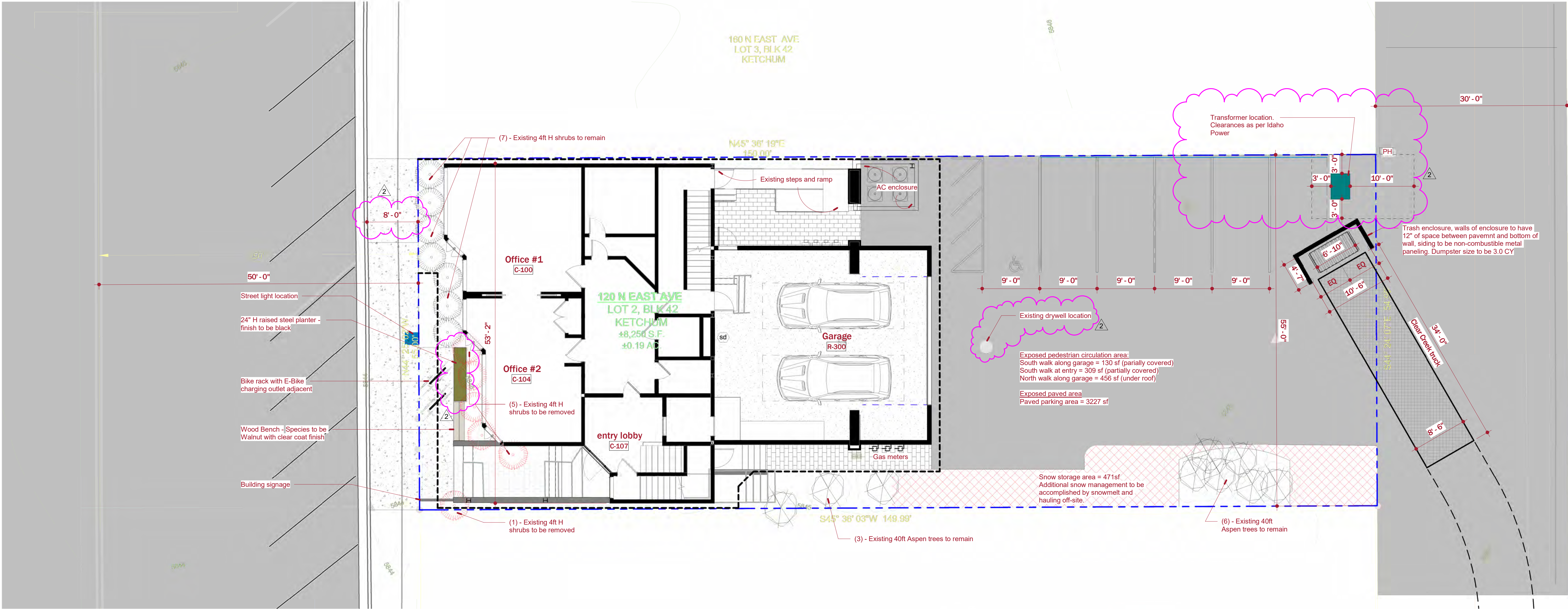
GALENA-BENCHMARK
ENGINEERING
Civil Engineers & Land Surveyors
100 Bell Drive
P.O. Box 733
Ketchum, Idaho 83340
(208) 726-9512
www.benchmark-associates.com

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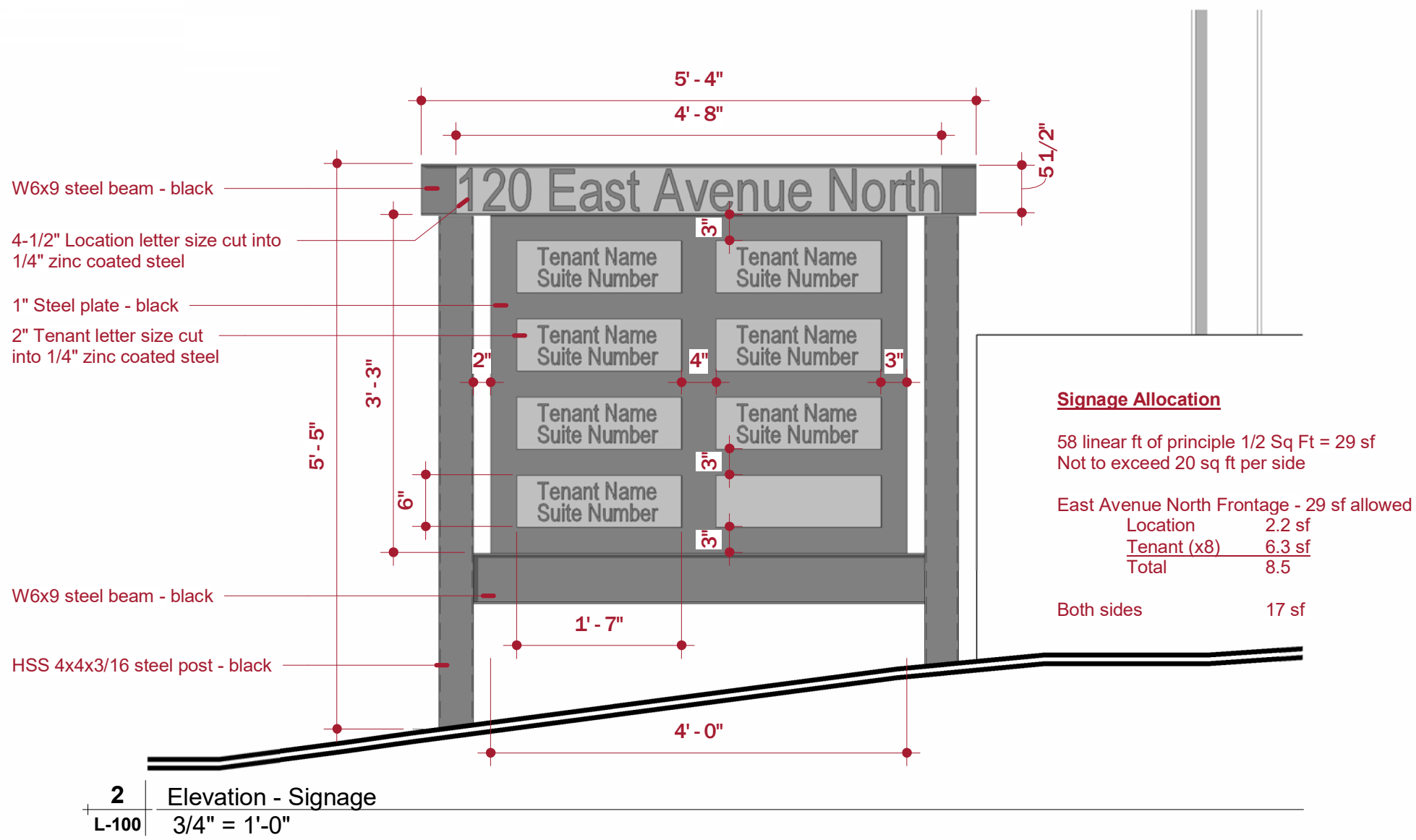
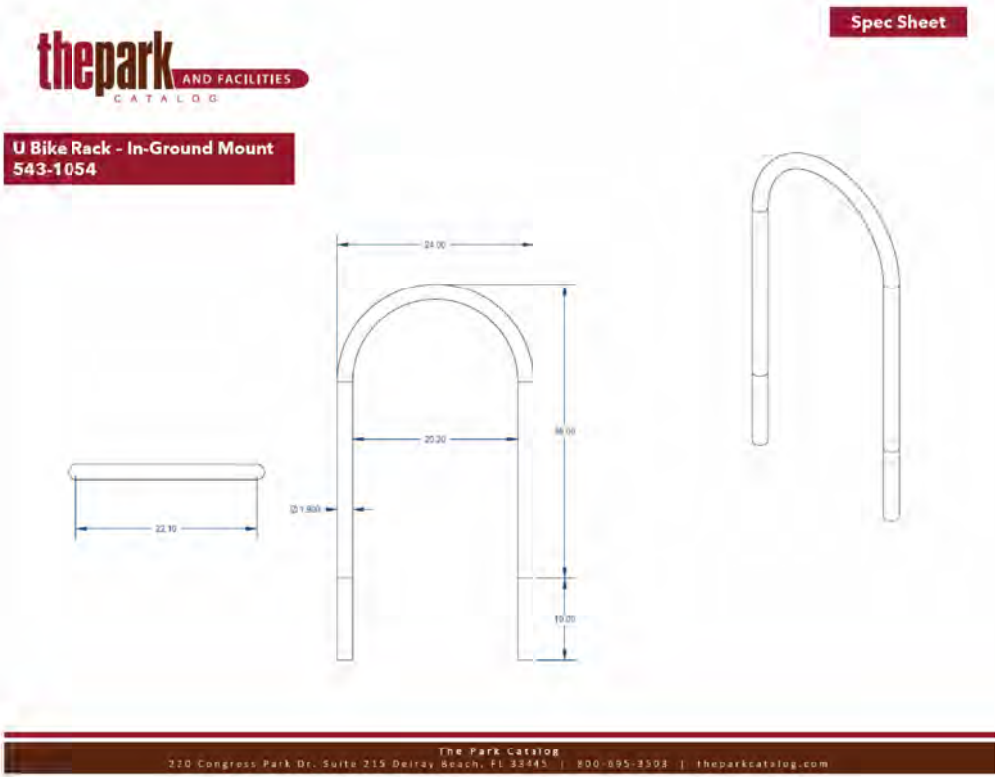
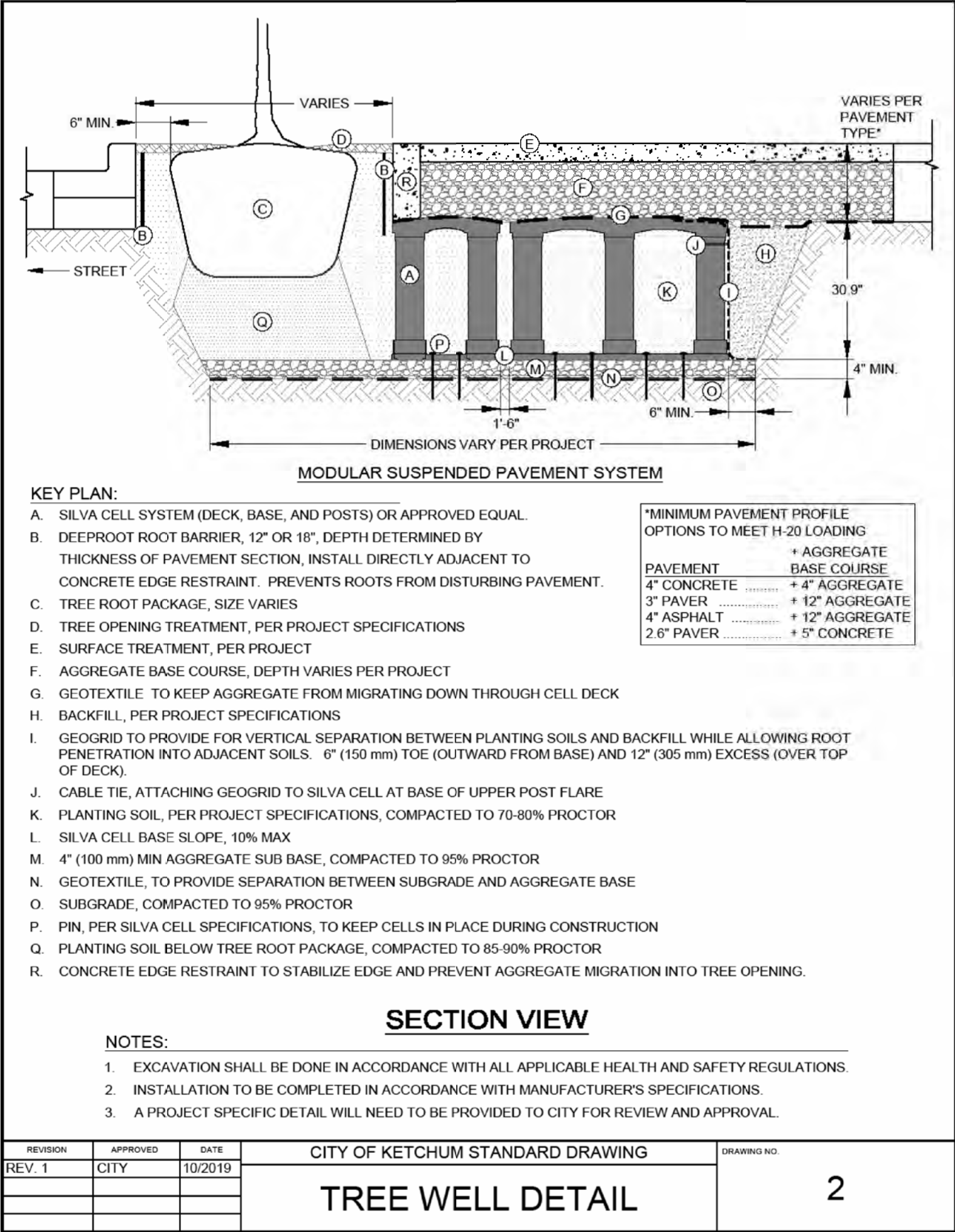
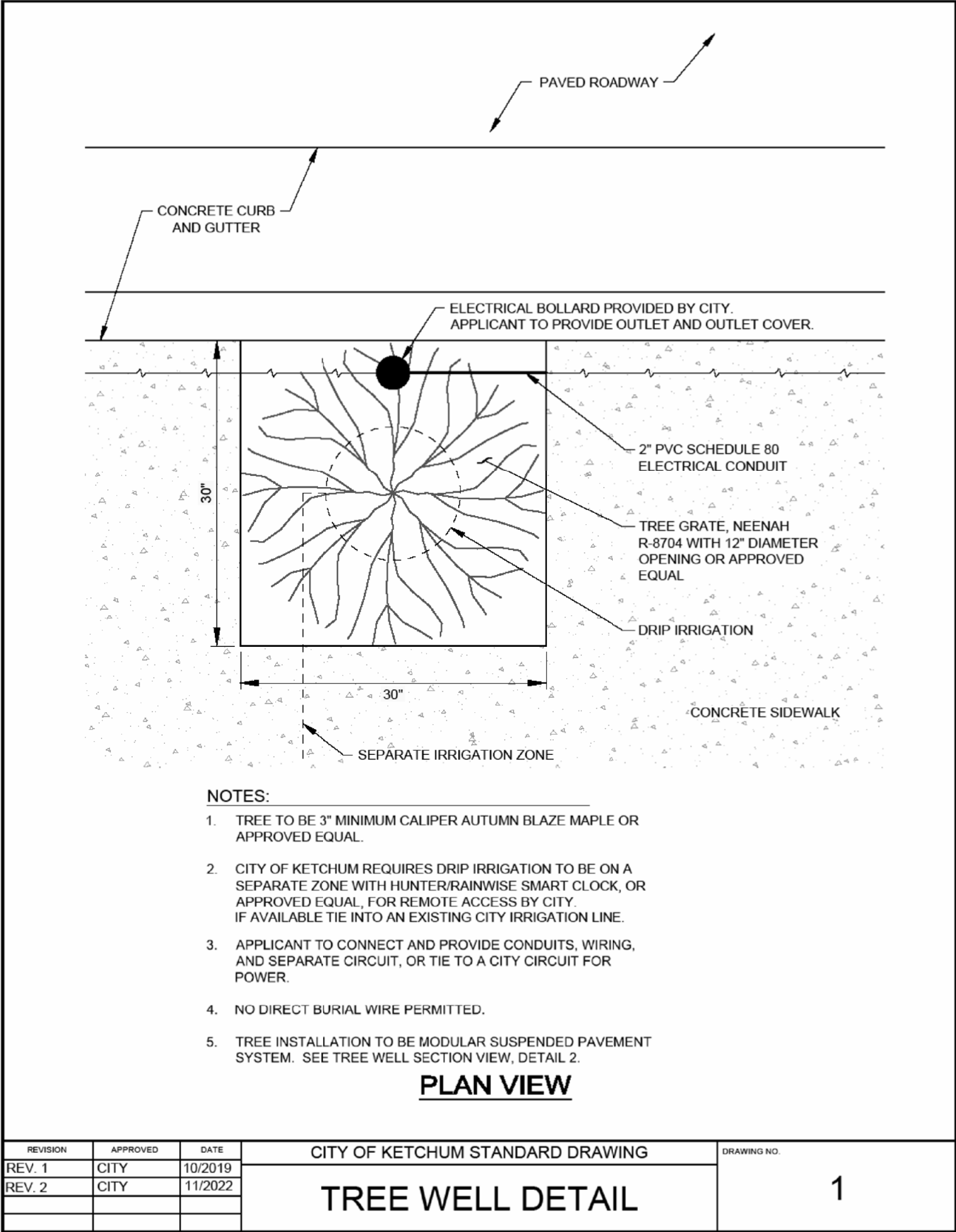
[illegible]

C1.00

PROJECT INFORMATION



1 Site Plan
1/8" = 1'-0"





PROJECT:
120 N East LLC

120 N East Ave
Ketchum, Idaho
83340

Permit Set: 02/06/2025
Construction Set: xx/xx/xx
REVISION DATE

NOTES:



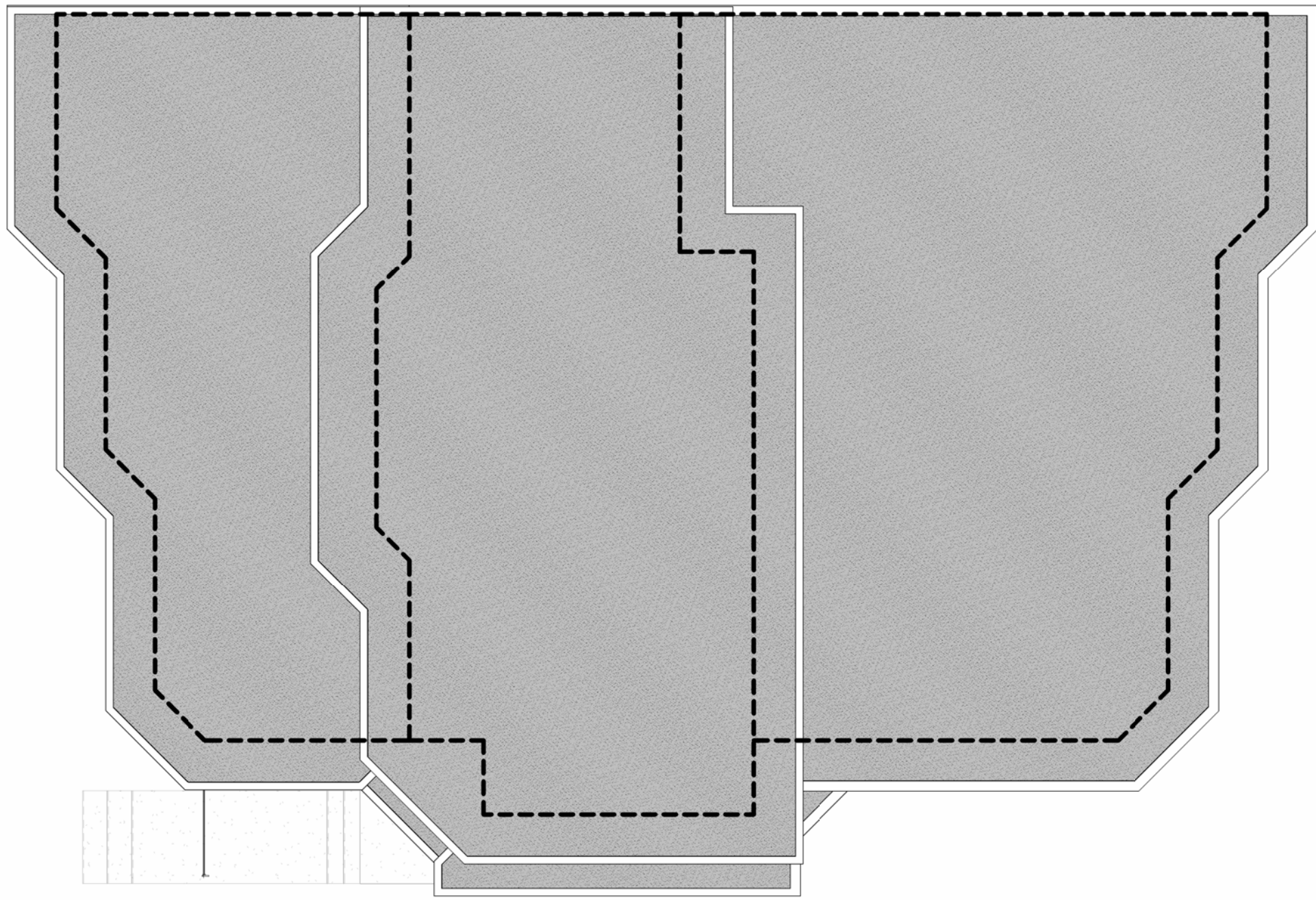
as-builts
images

SCALE:

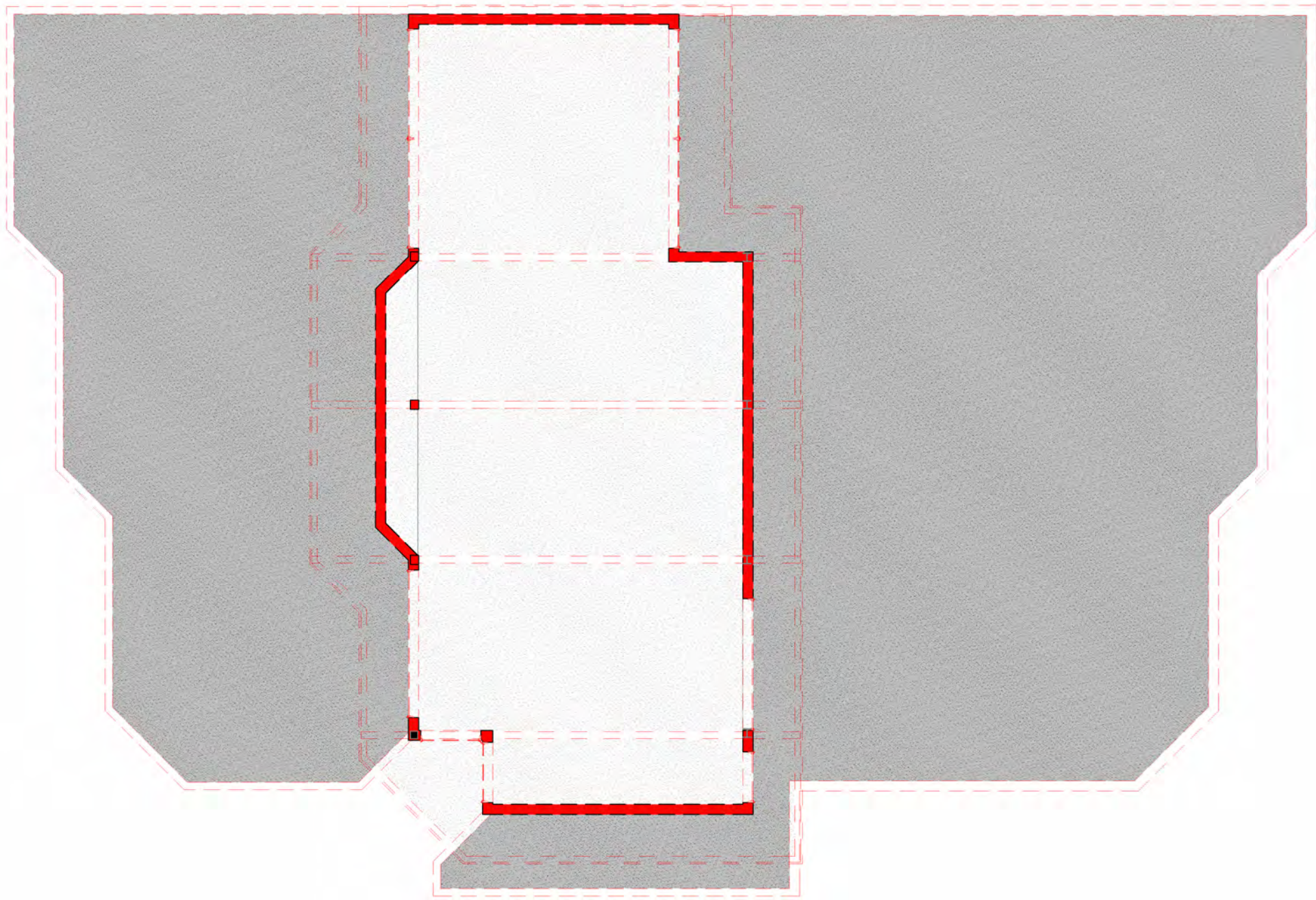
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Plot Date: 2/6/2025 3:59:37 PM





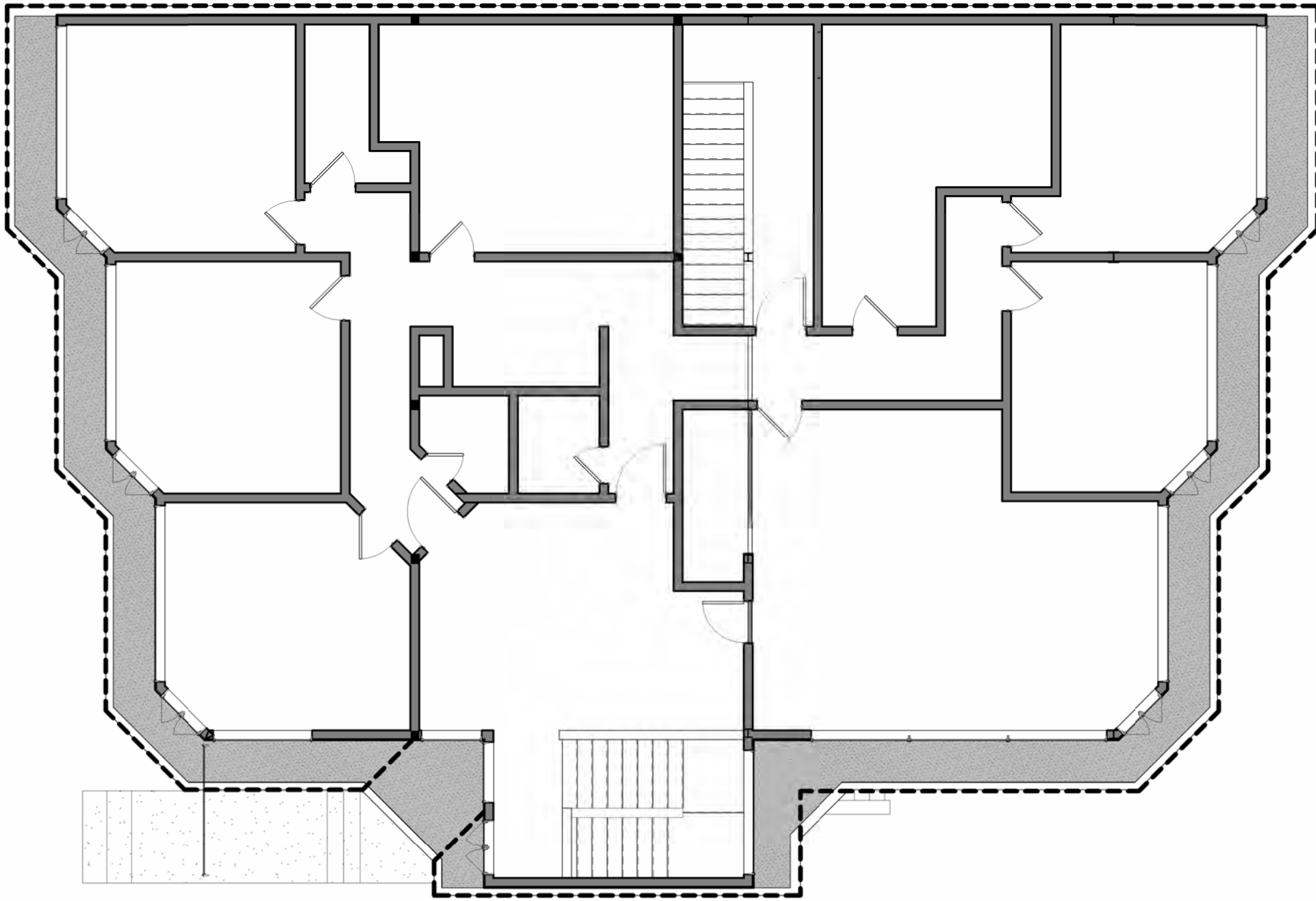
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A-001 | 1/8" = 1'-0"



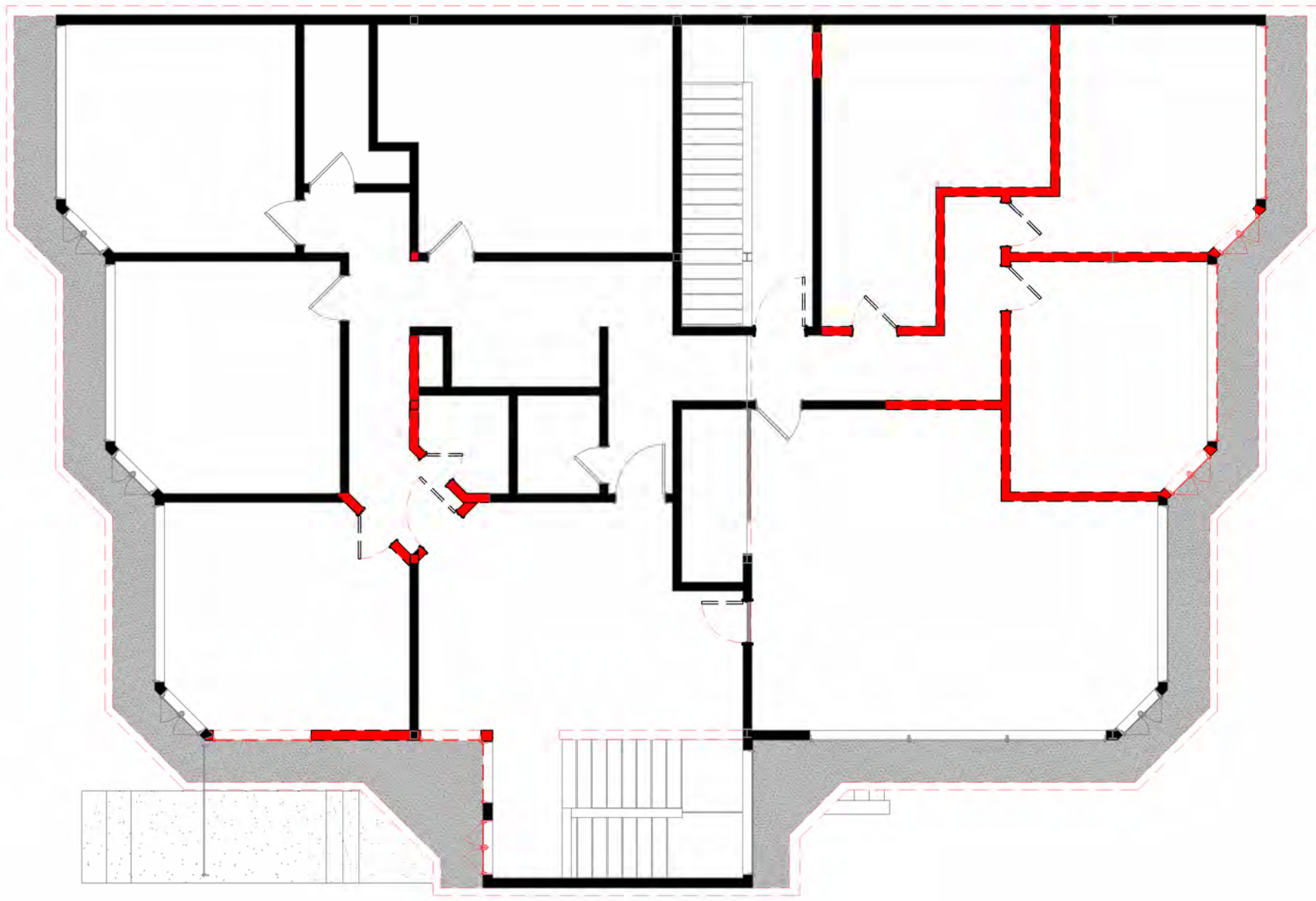
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A-001 | 1/8" = 1'-0"



3 | floor plan - 3rd floor - remodel
A-001 | 1/8" = 1'-0"



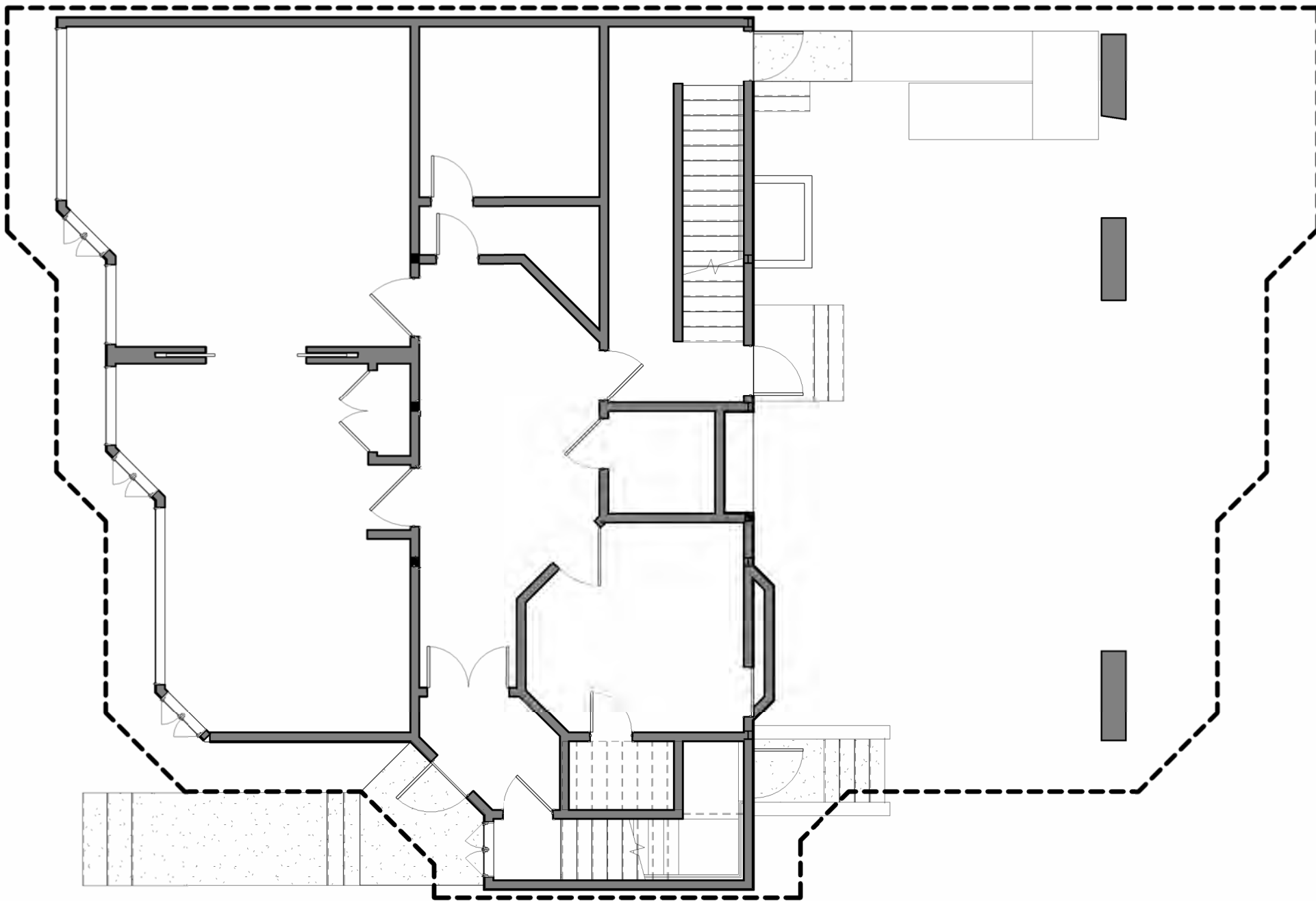
4 | floor plan - 2nd level - as-builts
A-001 | 1/8" = 1'-0"



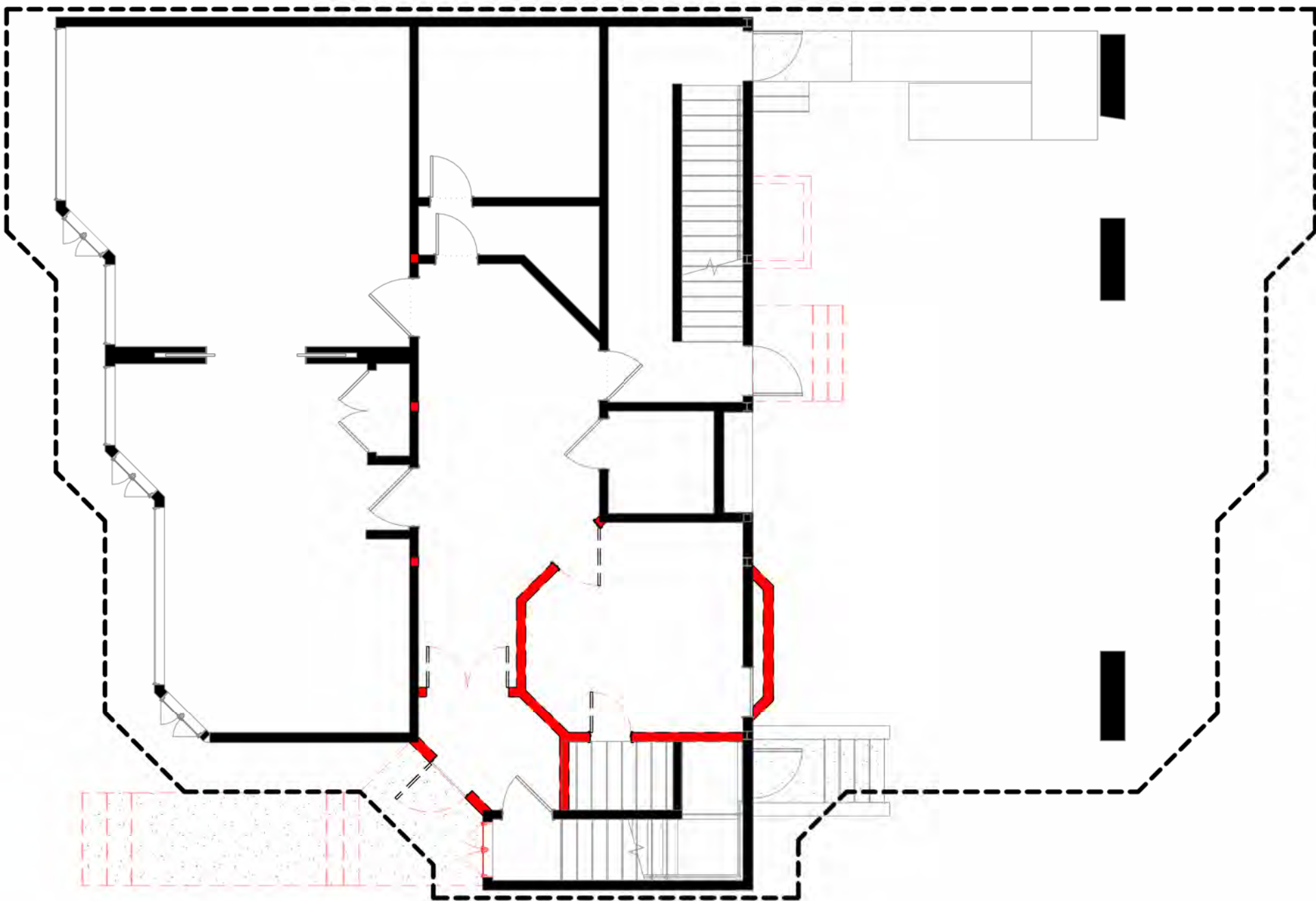
5 | demolition plan - 2nd floor
A-001 | 1/8" = 1'-0"



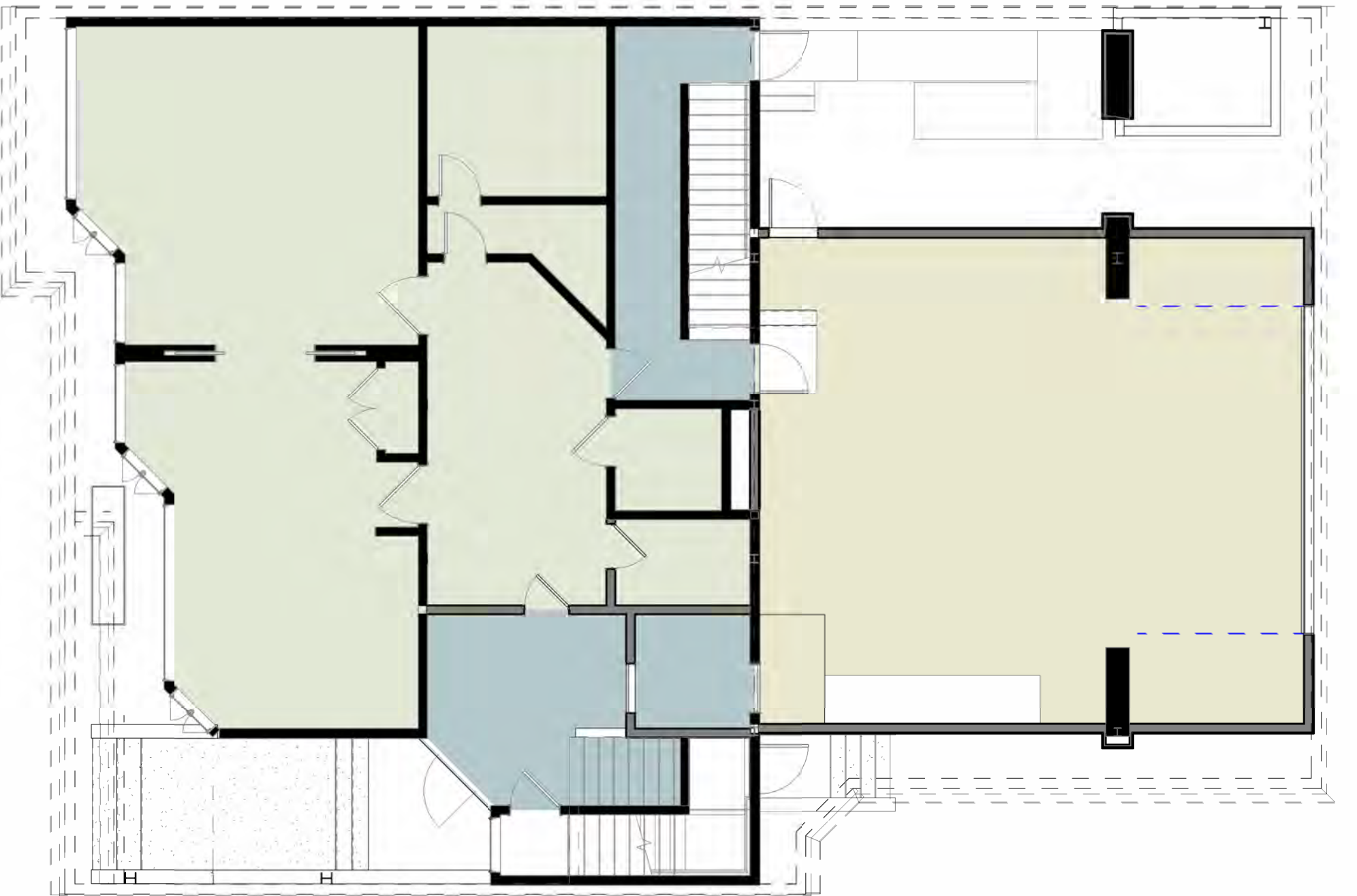
6 | floor plan - 2nd floor - remodel
A-001 | 1/8" = 1'-0"



7 | floor plan - 1st level - as-builts
A-001 | 1/8" = 1'-0"



8 | demolition plan - 1st level
A-001 | 1/8" = 1'-0"



9 | floor plan - 1st floor - remodel
A-001 | 1/8" = 1'-0"

PROJECT:
120 N East LLC120 N East Ave
Ketchum, Idaho
83340Permit Set: 02/06/2025
Construction Set: xx/xx/xx

REVISION	DATE
1	12/5/24
2	2/6/25

NOTES:

project/FAR
information

SCALE: As indicated

A-002

DRAWN BY: Author
Plot Date: 2/6/2025 3:59:53 PM

Project Information

Address: 120 N East Ave, Ketchum, Idaho 83340
Parcel Number: RPK00000420020
Legal Description: Ketchum Lot 2, Block 42
Lot Size: 8250 sf

Building Department: City of Ketchum
County: Blaine

Building Code (per City Code 15.04.010)

- International Building Code (IBC) 2018 edition, as amended by the Idaho Building Code Board and including new Appendix O
- International Residential Code (IRC), 2018 edition, as amended by the Idaho Building Code Board, parts I—III and IX, including appendix F, radon control methods
- International Energy Conservation Code (IECC) 2018 edition, as amended by the Idaho Building Code Board
- International Existing Building Code (IEBC), 2018 edition, as amended by the Idaho Building Code Board
- International Property Maintenance Code (IPMC), 2018 edition
- International Building Code (IBC), Water conservation provisions of Appendix M
- Ketchum Municipal Code, Chapter 15.08

Property Zoning (per official zoning district map)
Community Core (CC) - Subdistrict 2 (Mixed Use)

Permitted Use (per City Code 17.12.020, Table):
Residential: Dwelling, multi-family
Commercial: Office, business

Setbacks / Height (per City Code 17.12.040, Table, Subdistrict 2: Mixed Use):
Front and street side = 5'-0" average
Side (Interior side) = 0'
Rear = 3'
Setback for 4th floor = 10'
Cantilevered decks/overhangs = 0'

Maximum Building heights
Cantilevered decks and overhangs = 8'-0" above grade and/or walking surface
Building Height = 42'-0"
Non-habitable structures on roof top = 10'-0"
Perimeter walls enclosing roof top deck = 4'-0" abv roof surface ht.(min. 75% transparent)
Roof top solar and mechanical equipment = 5'-0"

Planning Code Compliance

Floor Area, Gross: The sum of the horizontal area of the building measured along the outside walls of each floor of a building or portion of a building, including stair towers and elevators on the ground floor only, and fifty percent (50%) of atriums over eighteen feet (18') plate height, but not including basements, underground parking areas or open unclosed decks. Parking areas covered by a roof or portion of the building and enclosed on three (3) or more sides by building walls are included.

Floor Area, Net: The sum of the horizontal areas of all floors in a building including basements but not including open unclosed decks, interior or exterior circulation, mechanical equipment rooms, parking areas, common areas, public bathrooms or storage areas in basements.

Parking Calculations
Residential multiple-family dwelling within the Community Core (CC) District :
Units 750 square feet or less 0 parking spaces
Units 751 square feet to 2,000 square feet 1 space
Units 2,001 square feet and above 2 parking spaces
Nonresidential 1 parking space per 1,000 gross sf
17,125.040 C.1.f - Exemption: The first 5,500 sf of office and personal service uses.

Office, business 5 parking spaces
Residential 2 parking spaces

Net floor area 2nd floor residence = 574sf
Net floor area 3rd floor residence = 2185sf

7 parking spaces provided

Floor Area Ratio (F.A.R.) (17.124.040)
FLOOR AREA RATIO: The product of the floor area divided by the lot area.

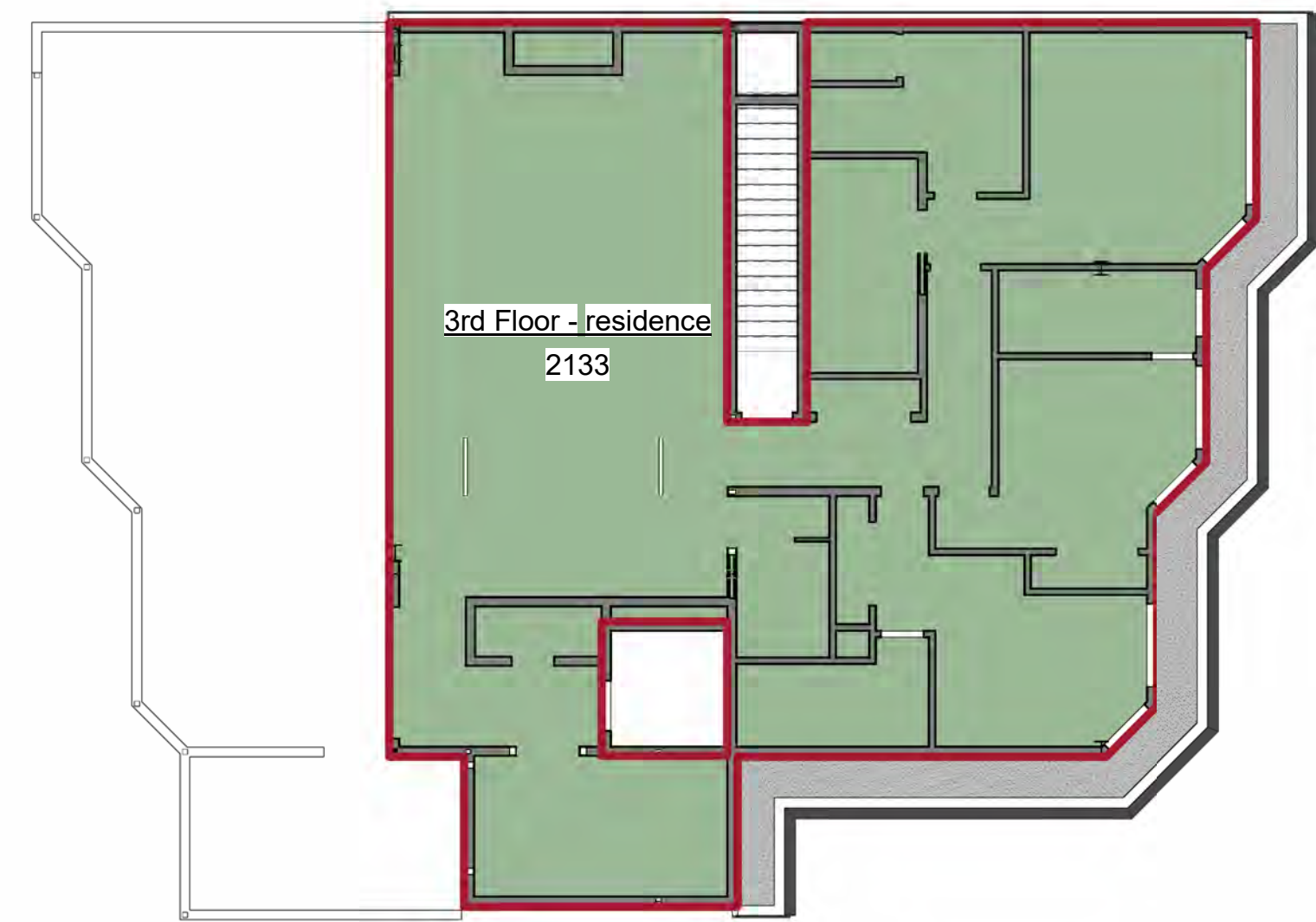
Property 150' x 55' = 8250 sf (per sheet C0.2, Permitted by right, 1.0)

Basic FAR allowance 1.0 (8,250 gsf)
Proposed FAR .98 (8,134 gsf / 8,250 gsf)

- Drip Lines / Drainage - No drop lines or snow shedding occur on public sidewalks. Roof and canopy drainage collected and directed by internal gutters into drywell located on property.
- Site Lighting Plan - All lighting and illumination to conform to dark sky ordinance.
- Mechanical Screening - Mechanical units located on roof to be screened as per elevations.
- Green Building - Project to be constructed to USGBC standards.
- Public Open Space - Trash receptacles, benches and gathering spaces are provided along public streets.
- Snow Storage Calculation - All snow management will be accomplished by snowmelt and hauling snow off-site.
- Storm Water - On-site storm water shall be directed to internal roof drains, drain leaders, and trench drain grates and retained on site through an underground infiltration system designed by Galena Engineers.
- Drainage improvements will be made equal to the length of the subject property lines adjacent to public streets.
- All utility improvements necessary for the development will be provided and made to meet City of Ketchum standards.
- Garbage will be collected in rolling carts and stored in a closed garbage closet adjacent to the alley. No satellite receivers are proposed.
- Existing sidewalks will be replaced with new 8-foot wide sidewalks per city standards. Two bicycle racks for (4) bicycles will be provided adjacent to the entry with direct access to the sidewalk.

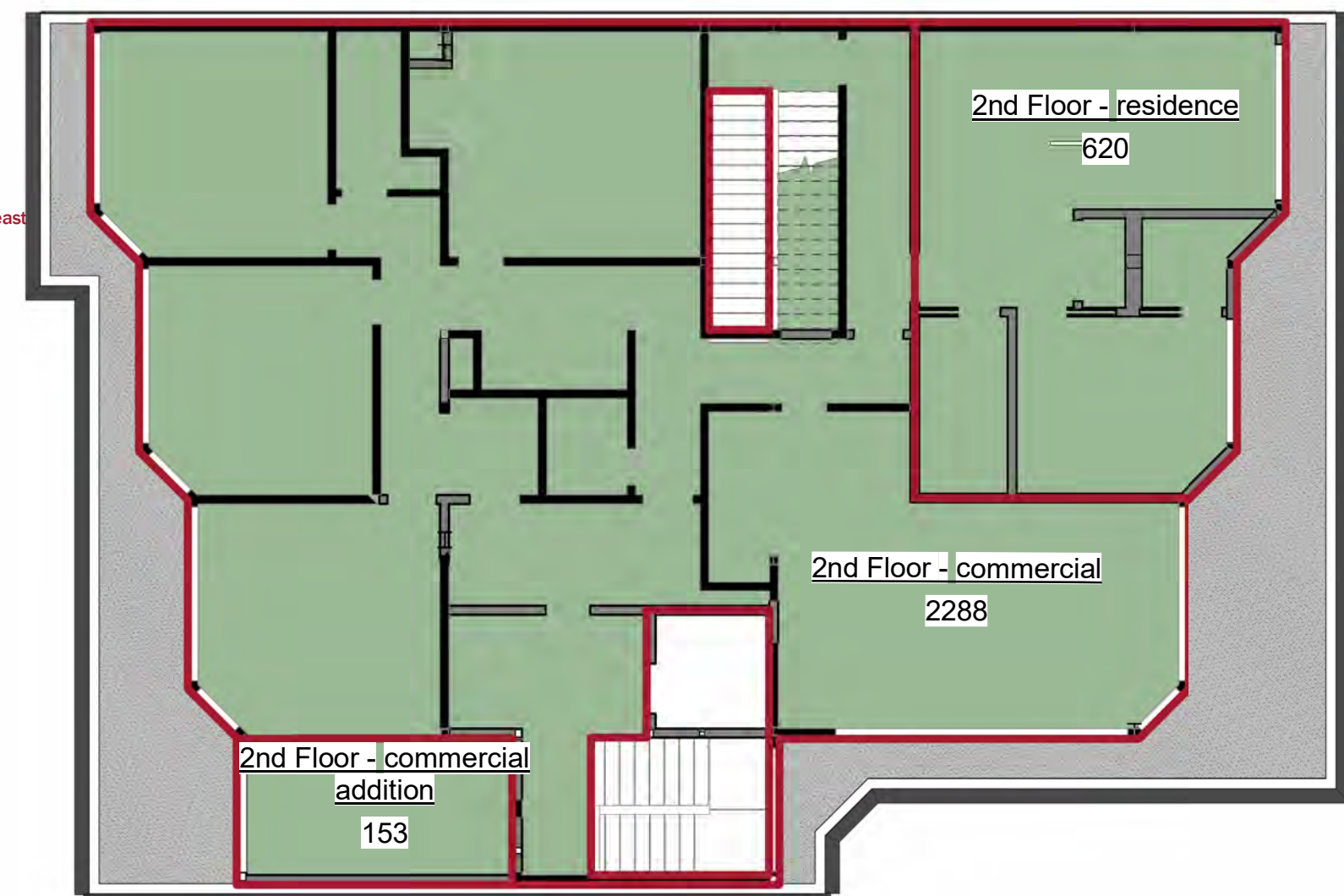
Floor Area, Gross

Level	Area Type	Type	Area
1st Floor - commercial	Gross Building Area	a	1878 SF
1st Floor - garage addition	Gross Building Area	a	1061 SF
2nd Floor - commercial	Gross Building Area	a	2288 SF
2nd Floor - commercial addition	Gross Building Area	a	153 SF
2nd Floor - residence	Gross Building Area	a	620 SF
3rd Floor - residence	Gross Building Area	a	2133 SF
			8134 SF



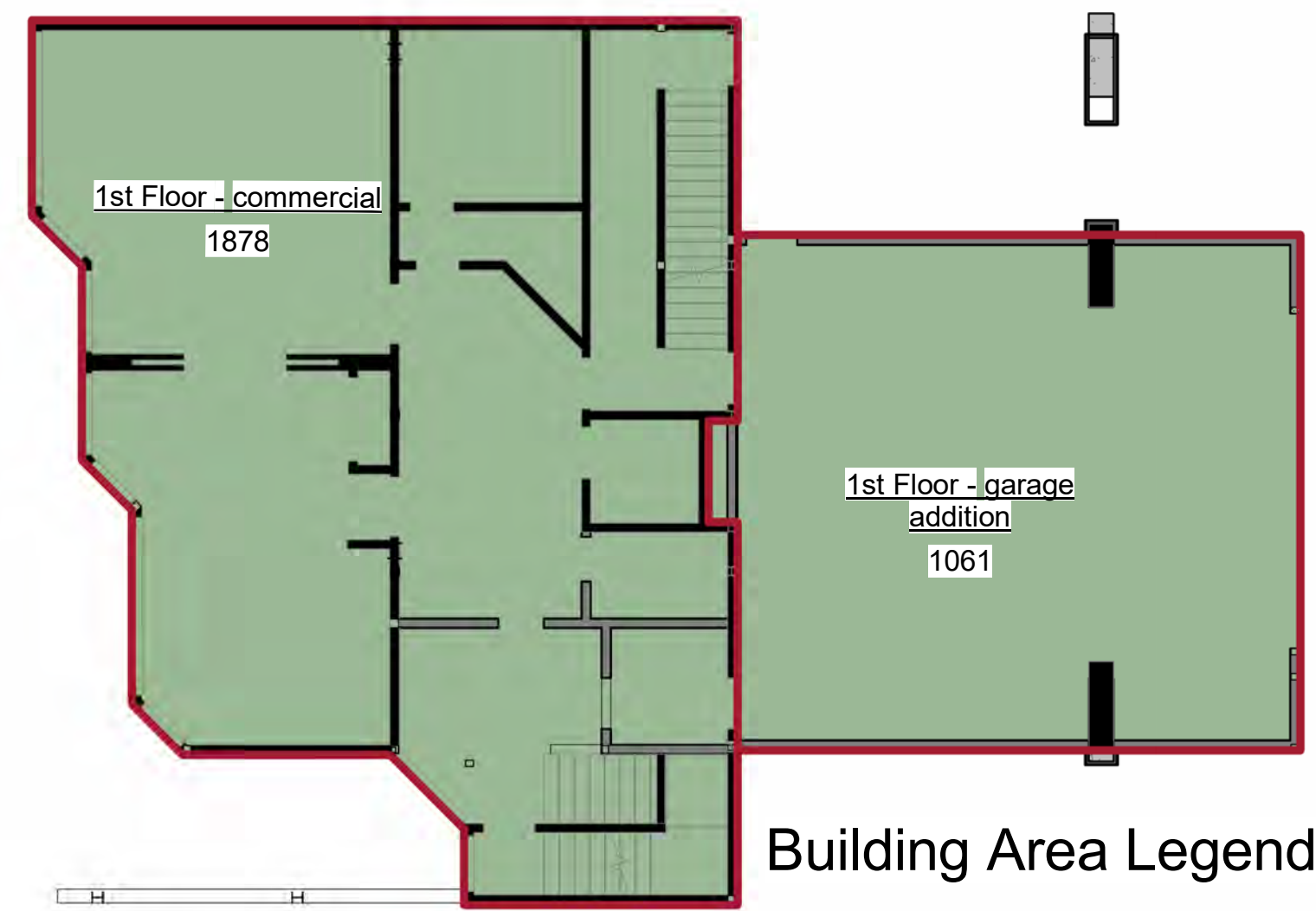
Building Area Legend

Gross Building Area

6 area - 3rd floor - remodel
A-002 1" = 10'-0"

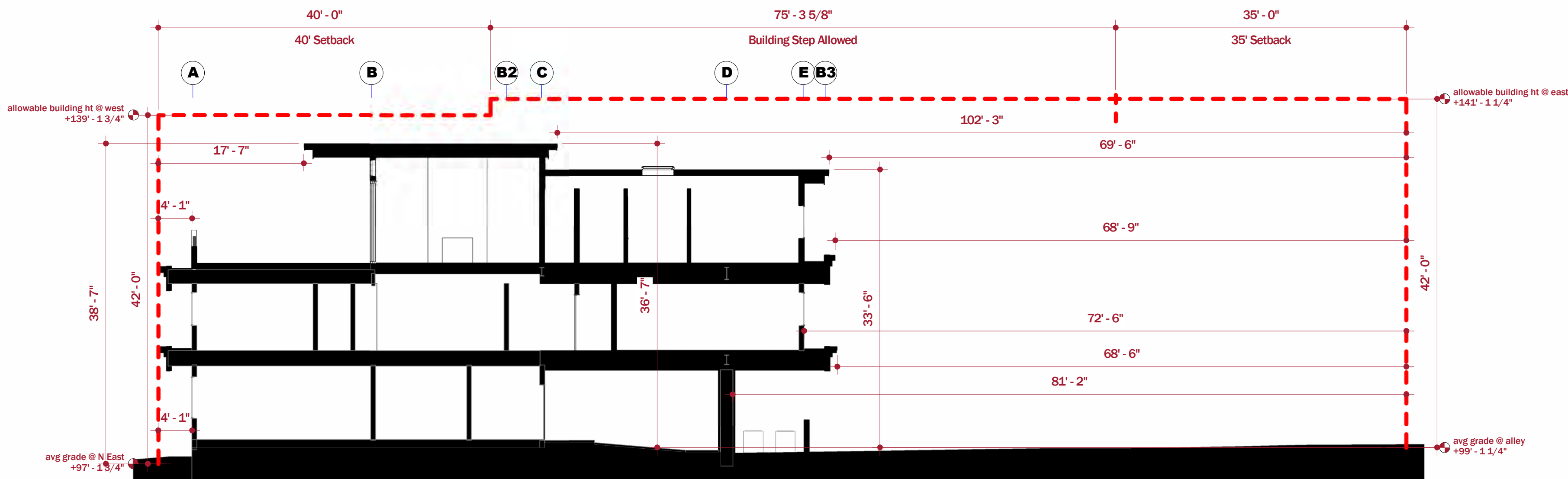
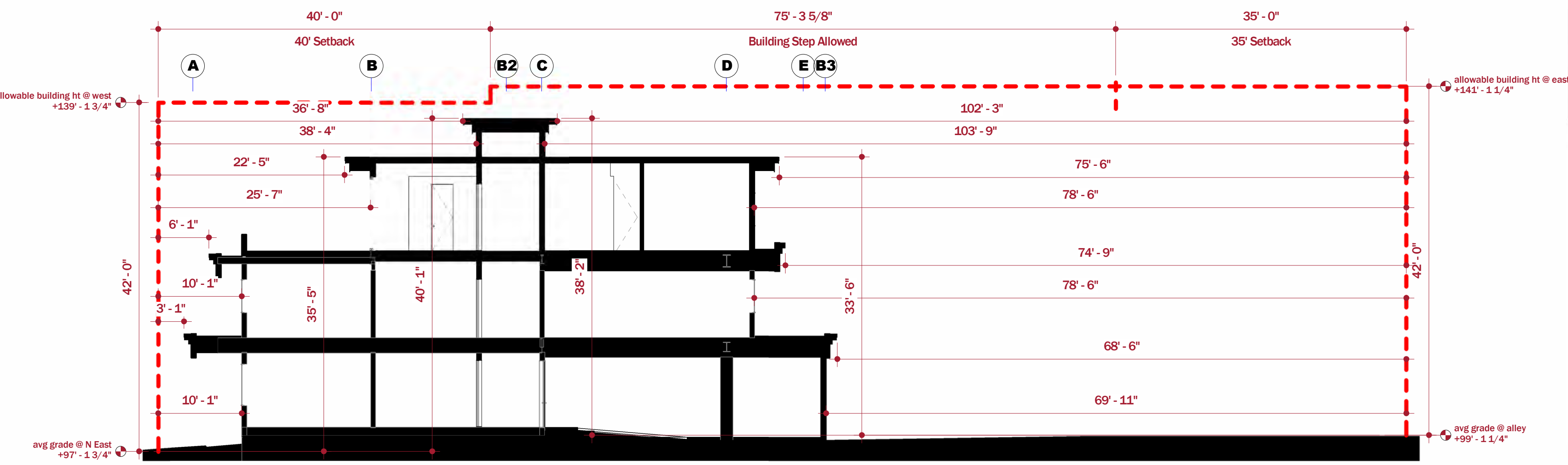
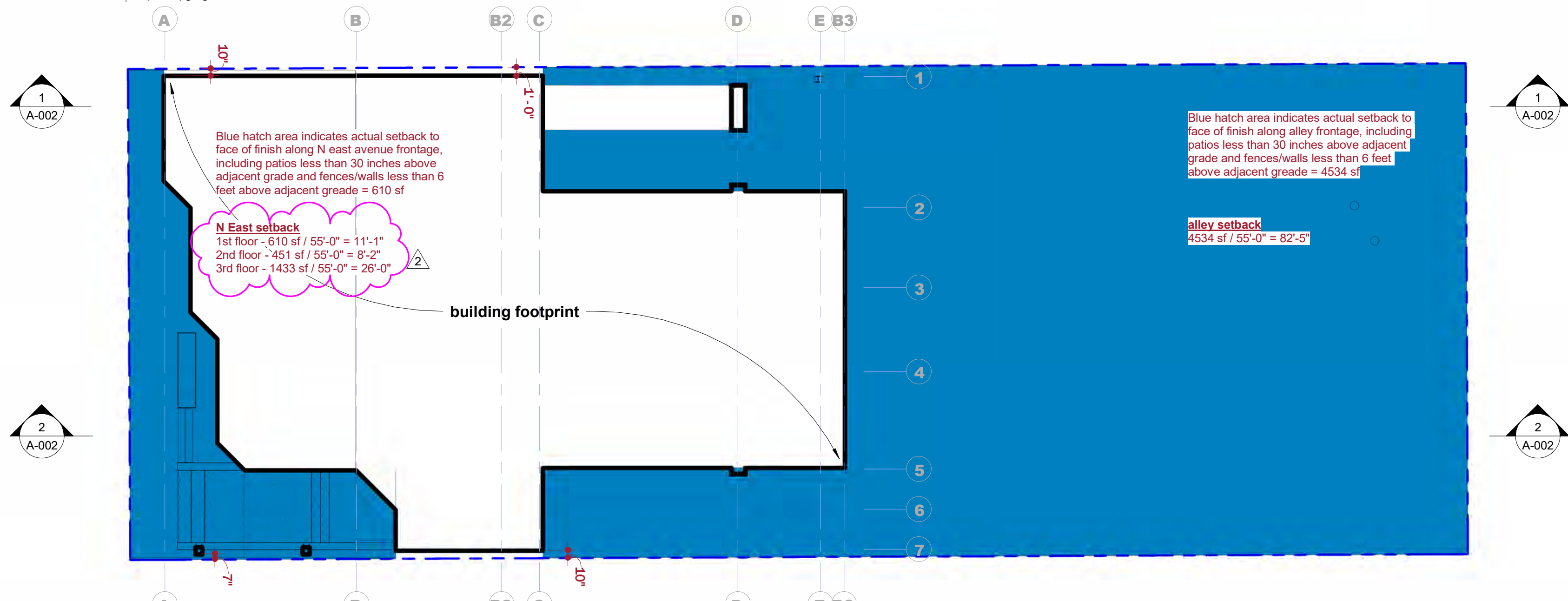
Building Area Legend

Gross Building Area

5 area - 2nd floor - remodel
A-002 1" = 10'-0"

Building Area Legend

Gross Building Area

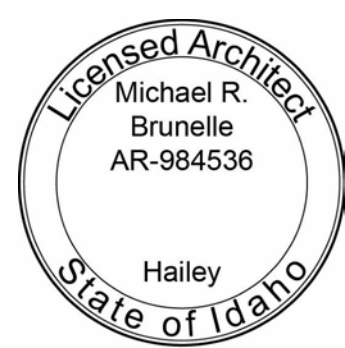
4 area - 1st floor - remodel
A-002 1" = 10'-0"1 Section - Setback Section - North
A-002 1" = 10'-0"2 Section - Setback Section - South
A-002 1" = 10'-0"3 Setback Diagram
A-002 1" = 10'-0"

PROJECT:
120 N East LLC

120 N East Ave
Ketchum, Idaho
83340

Permit Set: 02/06/2025
Construction Set: xx/xx/xx
REVISION DATE

NOTES:

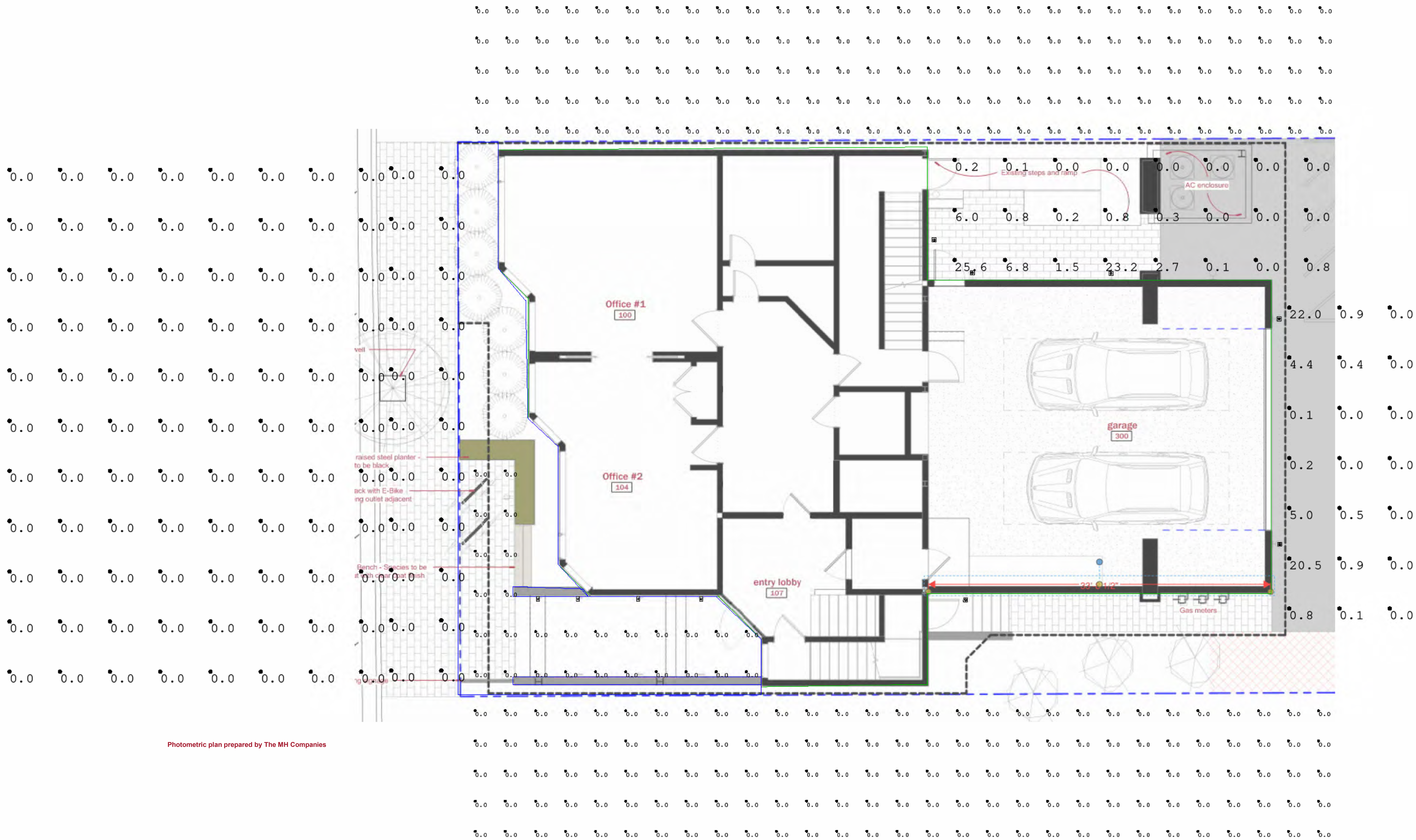


photometric
study -
building

SCALE: 1/4" = 1'-0"

A-003

DRAWN BY: Author
Plot Date: 2/6/2025 3:59:55 PM

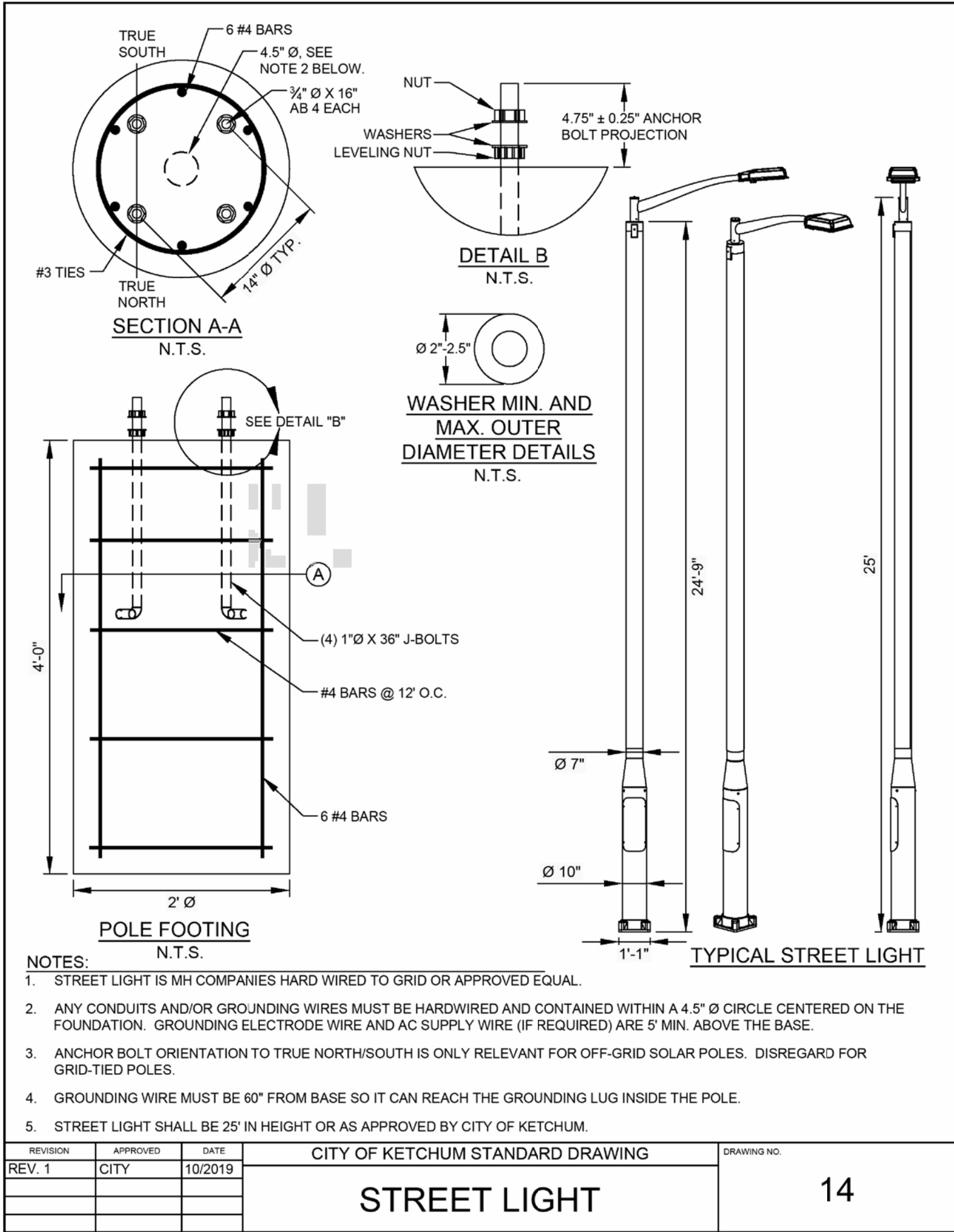


Photometric plan prepared by The MH Companies

Luminaire Schedule									
Symbol	Qty	Label	Arrangement	Description	Tag	LLF	Luminaire Lumens	Luminaire Watts	Total Watts
⊕	4	B Ferona	Single	1	B	0.900	70	2	8
⊞	6	WCED3D-13W-830-W	Single	CCT_ 2986K, CRI_ 82_0Ra		1.000	844	13.2	79.2

1 photometric study - roadway
A-004 1/4" = 1'-0"

DATE	BY	REVISION	DESCRIPTION	DATE	BY	REVISION	DESCRIPTION
10/20/2019	MB	1	POLE FOOTING	10/20/2019	MB	1	POLE FOOTING
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10/20/2019	MB	70	POLE FOOTING	10/20/2019	MB	70	POLE FOOTING
10/20/2019	MB	71	POLE FOOTING	10/20/2019	MB	71	POLE FOOTING
10/20/2019	MB	72	POLE FOOTING	10/20/2019	MB	72	POLE FOOTING
10/20/2019	MB	73	POLE FOOTING	10/20/2019	MB	73	POLE FOOTING
10/20/2019	MB	74	POLE FOOTING	10/20/2019	MB	74	POLE FOOTING
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10/20/2019	MB	93	POLE FOOTING	10/20/2019	MB	93	POLE FOOTING
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10/20/2019	MB	95	POLE FOOTING	10/20/2019	MB	95	POLE FOOTING
10/20/2019	MB	96	POLE FOOTING	10/20/2019	MB	96	POLE FOOTING
10/20/2019	MB	97	POLE FOOTING	10/20/2019	MB	97	POLE FOOTING
10/20/2019	MB	98	POLE FOOTING	10/20/2019	MB	98	POLE FOOTING
10/20/2019	MB	99	POLE FOOTING	10/20/2019	MB	99	POLE FOOTING
10/20/2019	MB	100	POLE FOOTING	10/20/2019	MB	100	POLE FOOTING



PROJECT:
120 N East LLC

120 N East Ave
Ketchum, Idaho
83340

Permit Set: 02/06/2025

Construction Set: xx/xx/xx

REVISION DATE

NOTES:



floor plan - 1st
floor

SCALE: 1/4" = 1'-0"

A-101a

DRAWN BY: Author

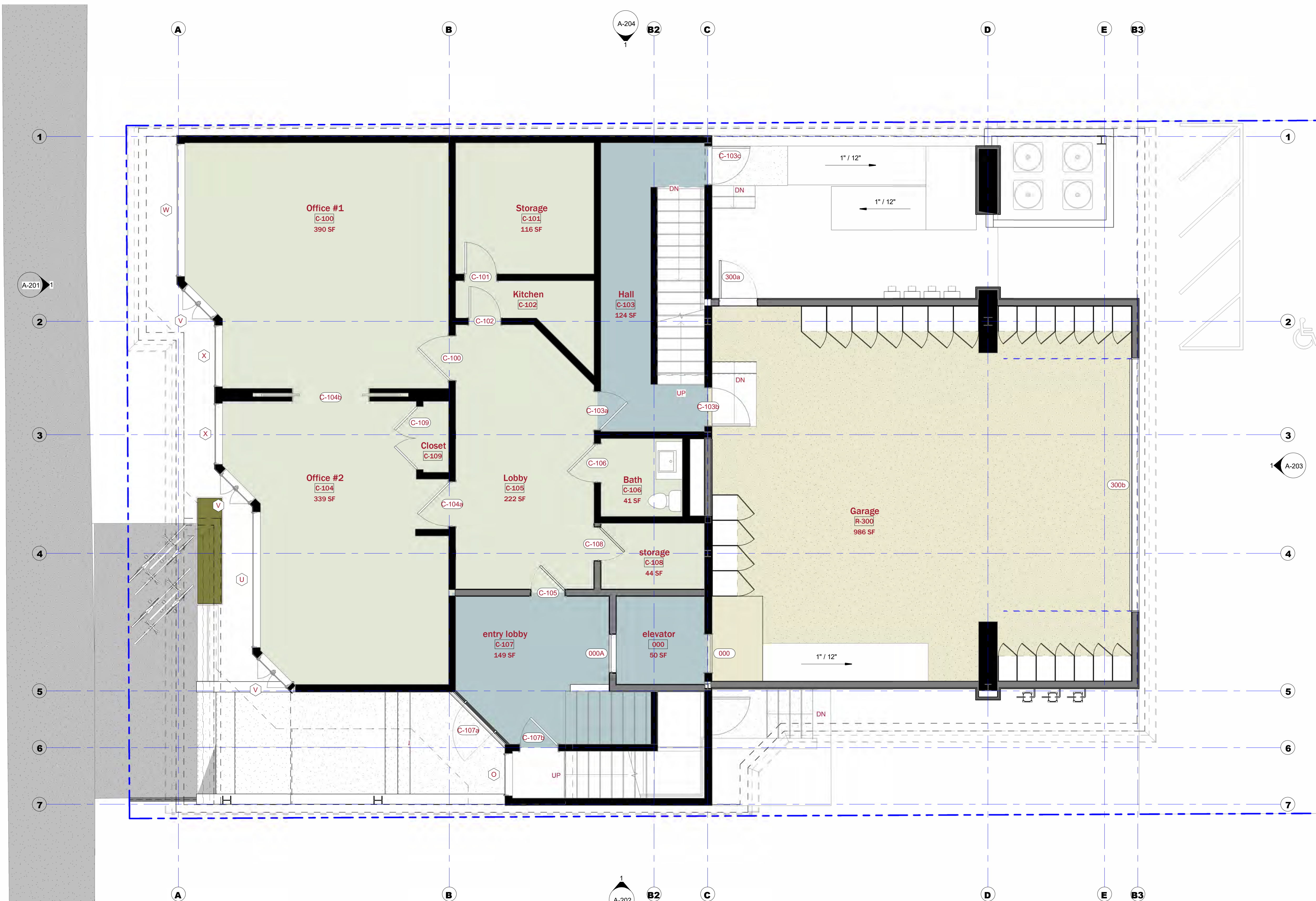
Plot Date: 2/6/2025 4:00:01 PM

Use Legend

- Commercial - existing
- Common
- Residential - 3rd floor

1 floor plan - 1st floor
A-101a 1/4" = 1'-0"

Floor Area, Gross			
Level	Area Type	Type	Area
1st Floor - commercial	Gross Building Area	a	1878 SF
1st Floor - garage addition	Gross Building Area	a	1061 SF
2nd Floor - commercial	Gross Building Area	a	2288 SF
2nd Floor - commercial addition	Gross Building Area	a	153 SF
2nd Floor - residence	Gross Building Area	a	620 SF
3rd Floor - residence	Gross Building Area	a	2133 SF
			8134 SF





8 Cranbrook Rd
BOX 3204
Tulley Idaho
233-3204
(808) 583-0771

NOTES:

floor plan -
2nd floor

SCALE: $1/4" = 1'-0"$

A-102a

DRAWN BY: **Author**
Plot Date: **2/6/2025 4:00:12 PM**



Floor Area, Gross			
Level	Area Type	Type	Area
1st Floor - commercial	Gross Building Area	a	1878 SF
1st Floor - garage addition	Gross Building Area	a	1061 SF
2nd Floor - commercial	Gross Building Area	a	2288 SF
2nd Floor - commercial addition	Gross Building Area	a	153 SF
2nd Floor - residence	Gross Building Area	a	620 SF
3rd Floor - residence	Gross Building Area	a	2133 SF
			8134 SF

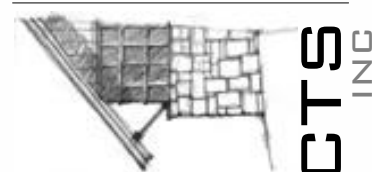


Floor Area, Gross			
Level	Area Type	Type	Area
1st Floor - commercial	Gross Building Area	a	1878 SF
1st Floor - garage addition	Gross Building Area	a	1061 SF
2nd Floor - commercial	Gross Building Area	a	2288 SF
2nd Floor - commercial addition	Gross Building Area	a	153 SF
2nd Floor - residence	Gross Building Area	a	620 SF
3rd Floor - residence	Gross Building Area	a	2133 SF
			8134 SF

SCALE: 1/4" = 1'-0"

A-103a

DRAWN BY: Author
Plot Date: 2/6/2025 4:00:19 PM



PROJECT:
120 N East LLC

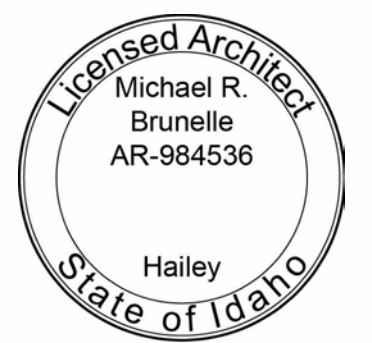
120 N East Ave
Ketchum, Idaho
83340

Permit Set: 02/06/2025

Construction Set: xx/xx/xx

REVISION DATE

NOTES:



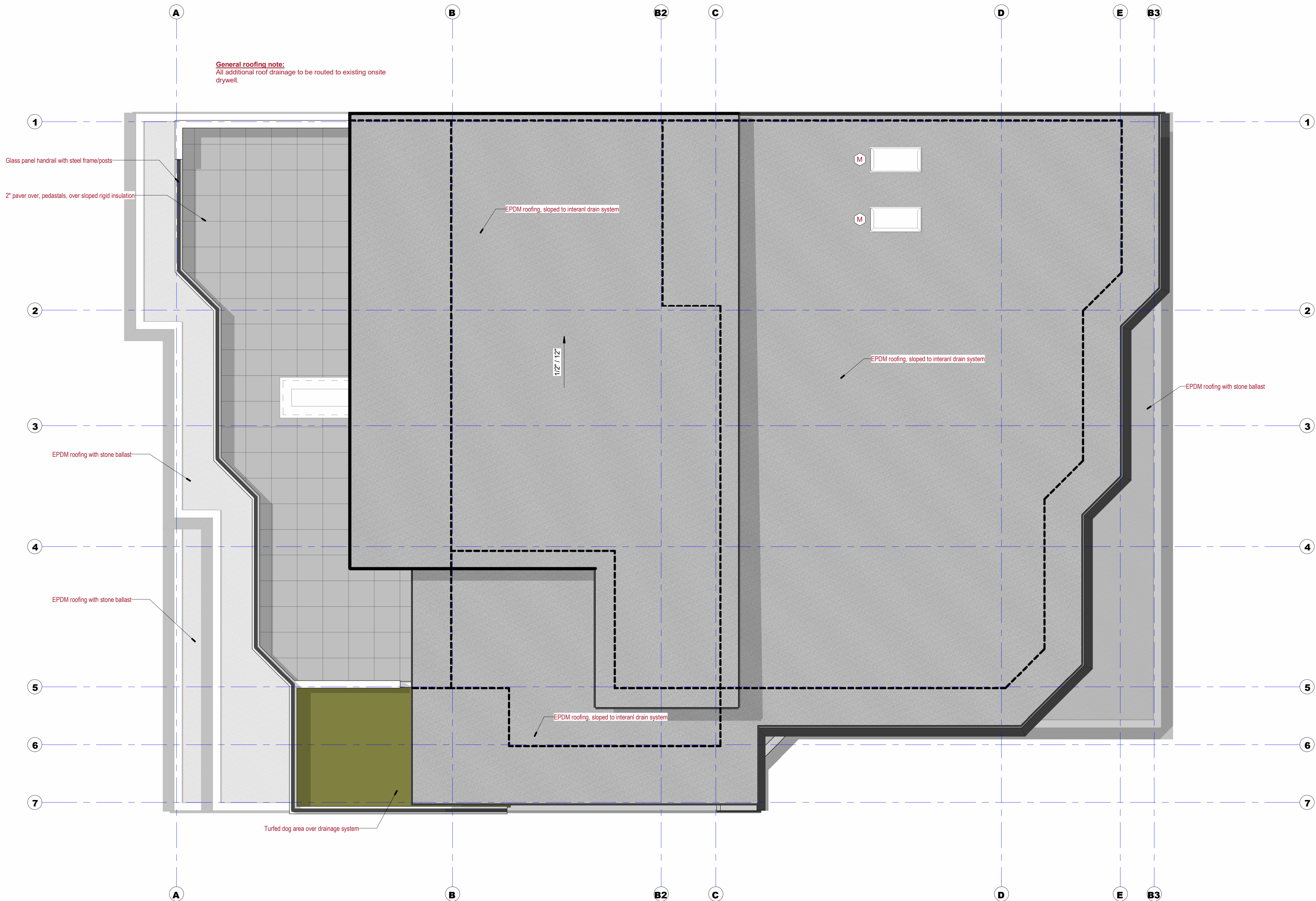
roof plan

SCALE: 1/4" = 1'-0"

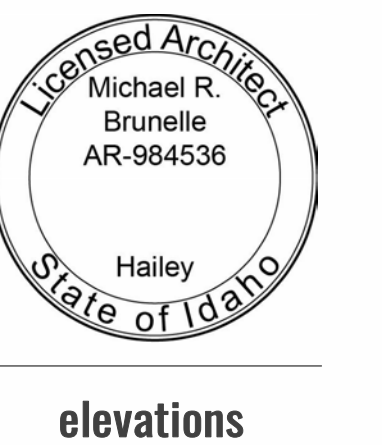
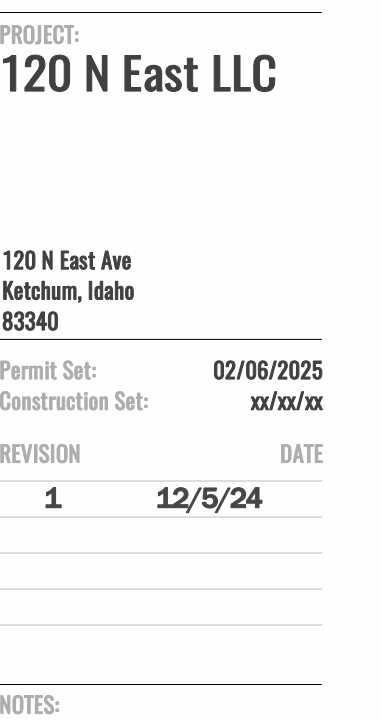
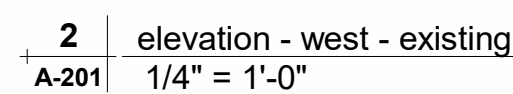
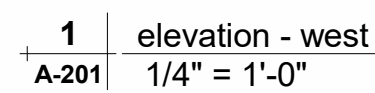
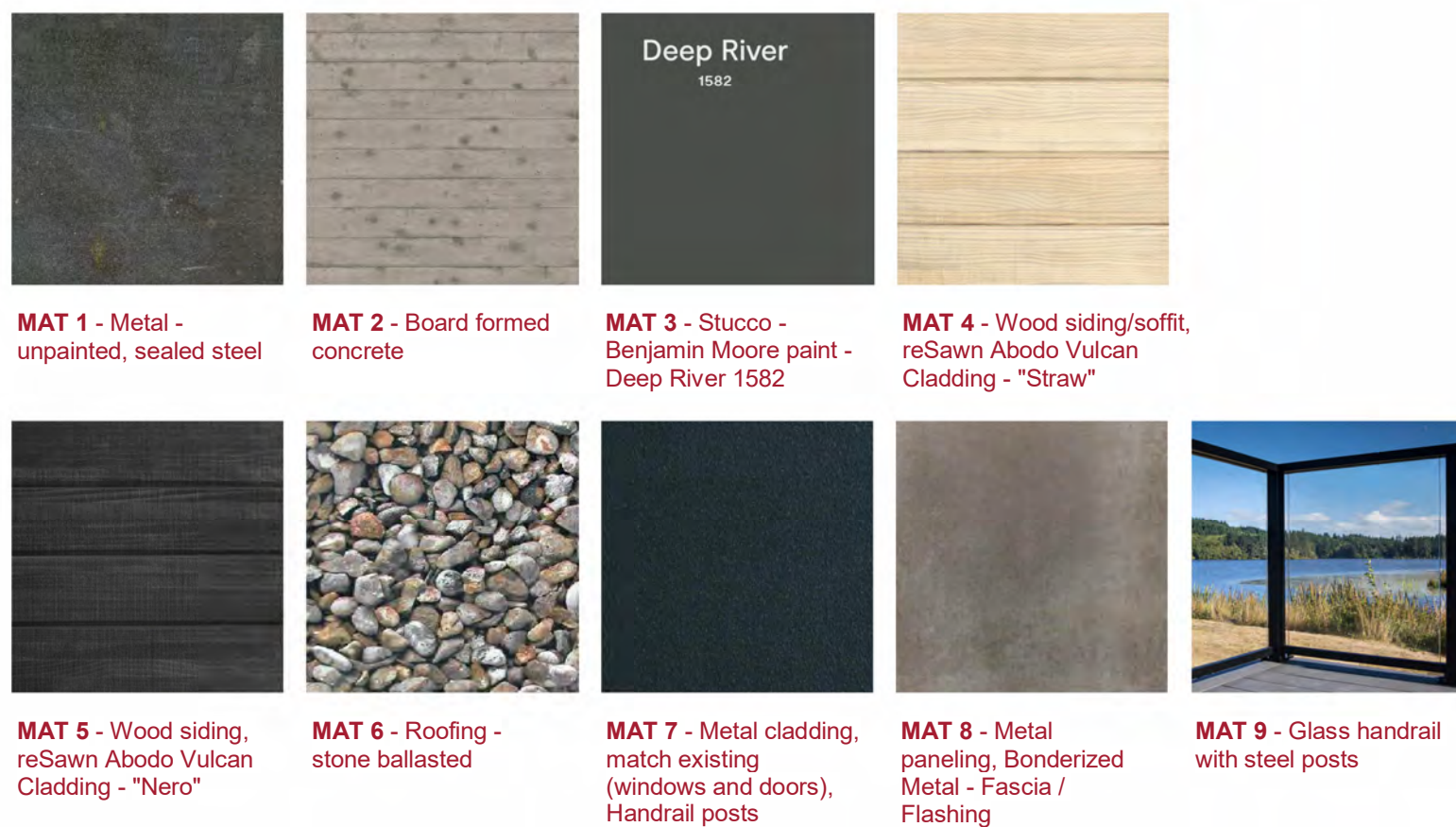
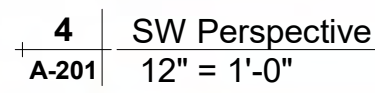
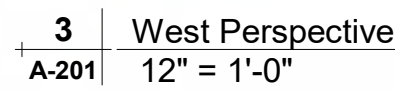
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DRAWN BY: Author

Plot Date: 2/6/2025 4:00:24 PM



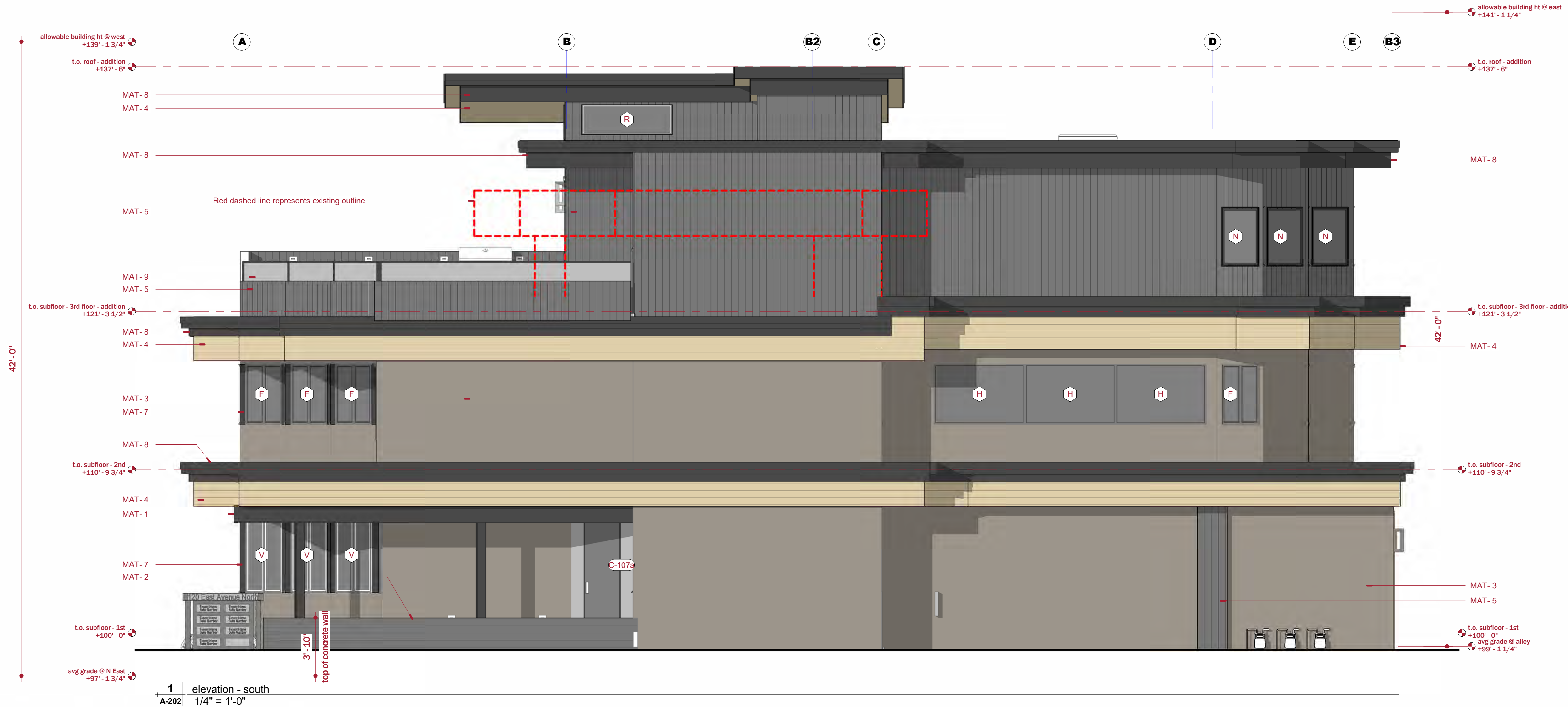
1 roof plan
A-104 1/4" = 1'-0"



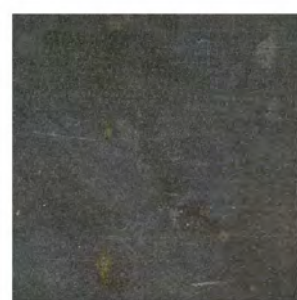
SCALE: As indicated

DRAWN BY: **Author**
Plot Date: **2/6/2025 4:00:44 PM**

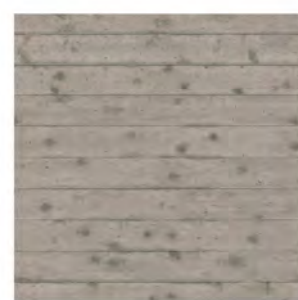
A-201



3 SE Perspective
A-202 12" = 1'-0"



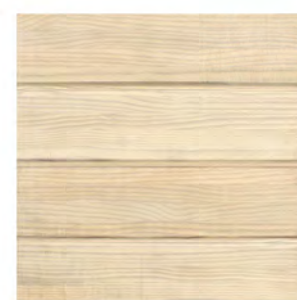
MAT 1 - Metal - unpainted, sealed steel



MAT 2 - Board formed concrete



MAT 3 - Stucco - Benjamin Moore paint - Deep River 1582



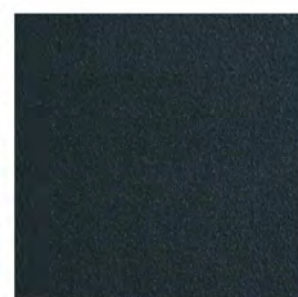
MAT 4 - Wood siding/soffit, reSawn Abodo Vulcan Cladding - 'Straw'



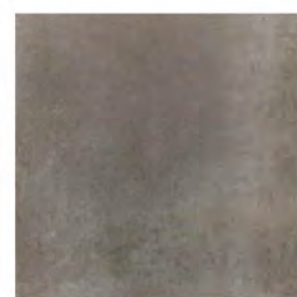
MAT 5 - Wood siding, reSawn Abodo Vulcan Cladding - 'Nero'



MAT 6 - Roofing - stone ballasted



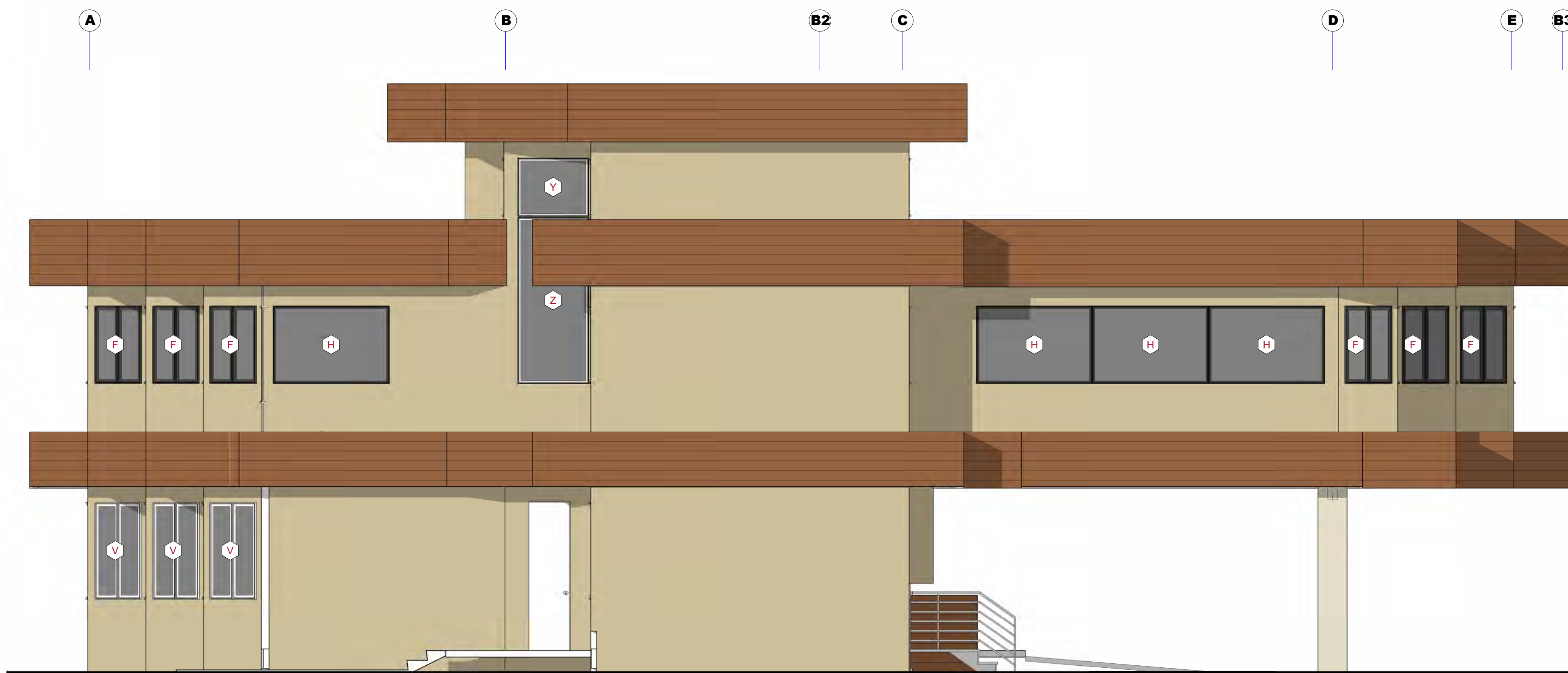
MAT 7 - Metal cladding, match existing (windows and doors), Handrail posts



MAT 8 - Metal paneling, Bonderized Metal - Fascia / Flashing



MAT 9 - Glass handrail with steel posts



2 elevation - south - existing
A-202 1/4" = 1'-0"



elevations

SCALE: As indicated

A-202



3 SE Perspective
A-203 12" = 1'-0"




4 NE Perspective
A-203 12" = 1'-0"



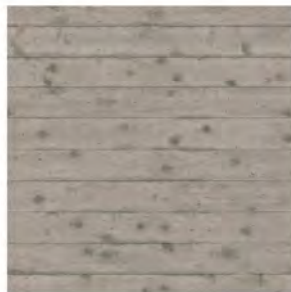
Existing tree conditions, South Elevation




Existing tree conditions, South Elevation




MAT 1 - Metal - unpainted, sealed steel




MAT 2 - Board formed concrete




MAT 3 - Stucco - Benjamin Moore paint - Deep River 1582



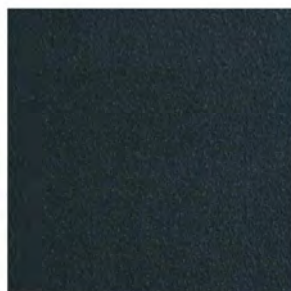
MAT 4 - Wood siding/soffit, reSawn Abodo Vulcan Cladding - "Straw"



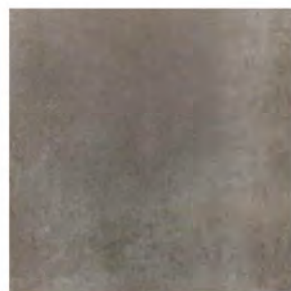
MAT 5 - Wood siding, reSawn Abodo Vulcan Cladding - "Nero"




MAT 6 - Roofing - stone ballasted



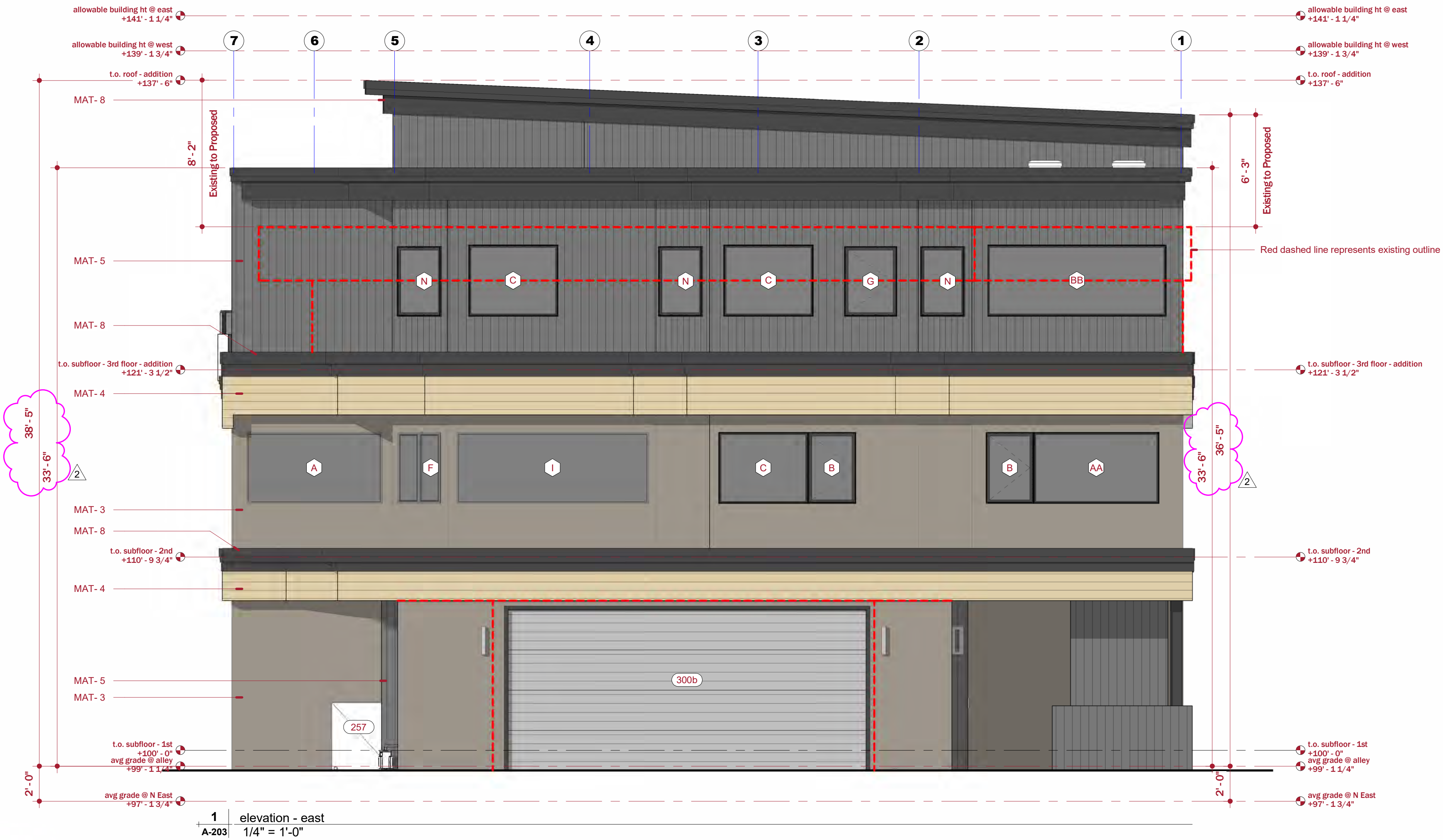
MAT 7 - Metal cladding, match existing (windows and doors), Handrail posts



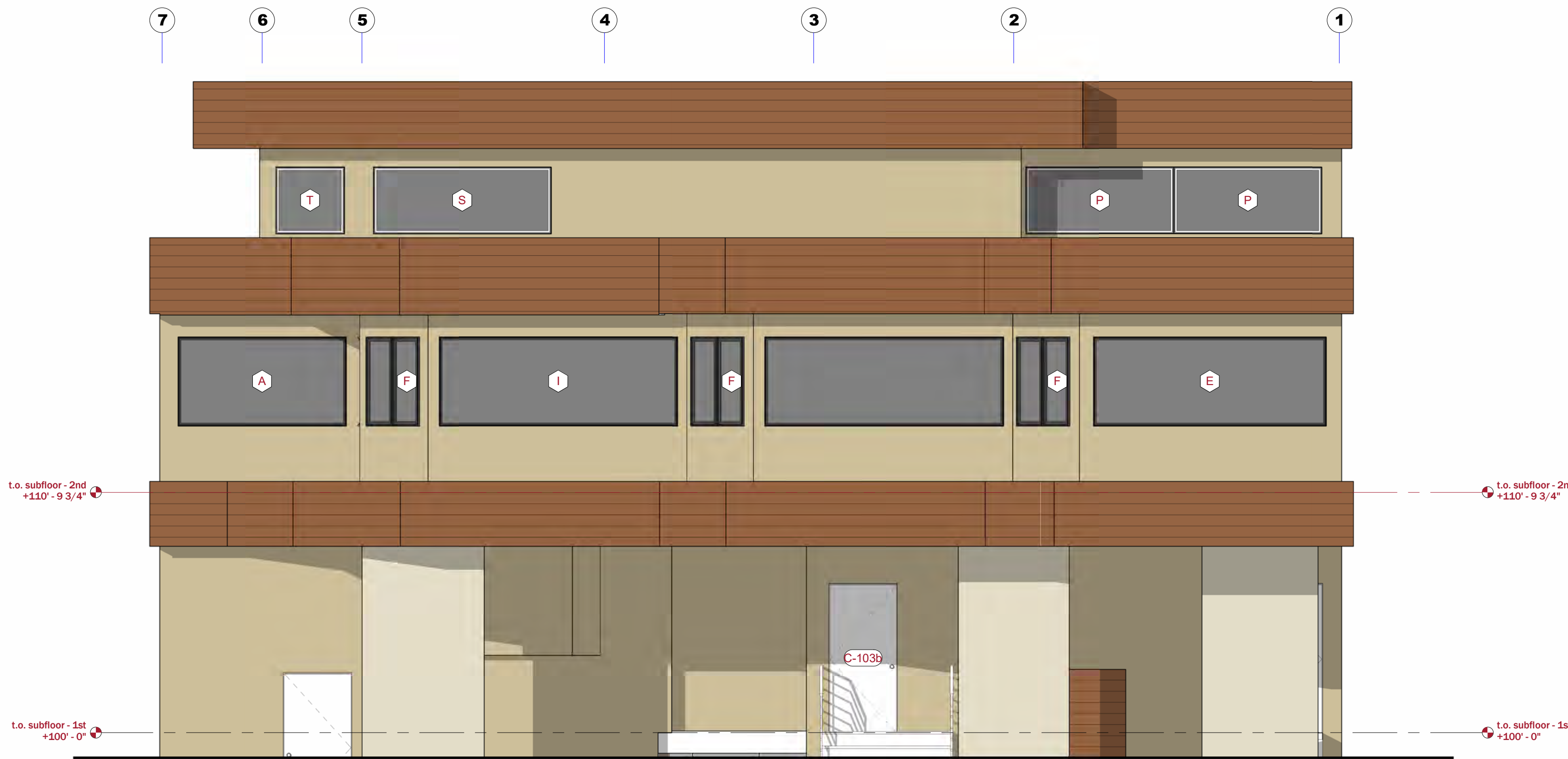
MAT 8 - Metal paneling, Bonderized Metal - Fascia / Flashing



MAT 9 - Glass handrail with steel posts



1 elevation - east
A-203 1/4" = 1'-0"



2 elevation - east - existing
A-203 1/4" = 1'-0"



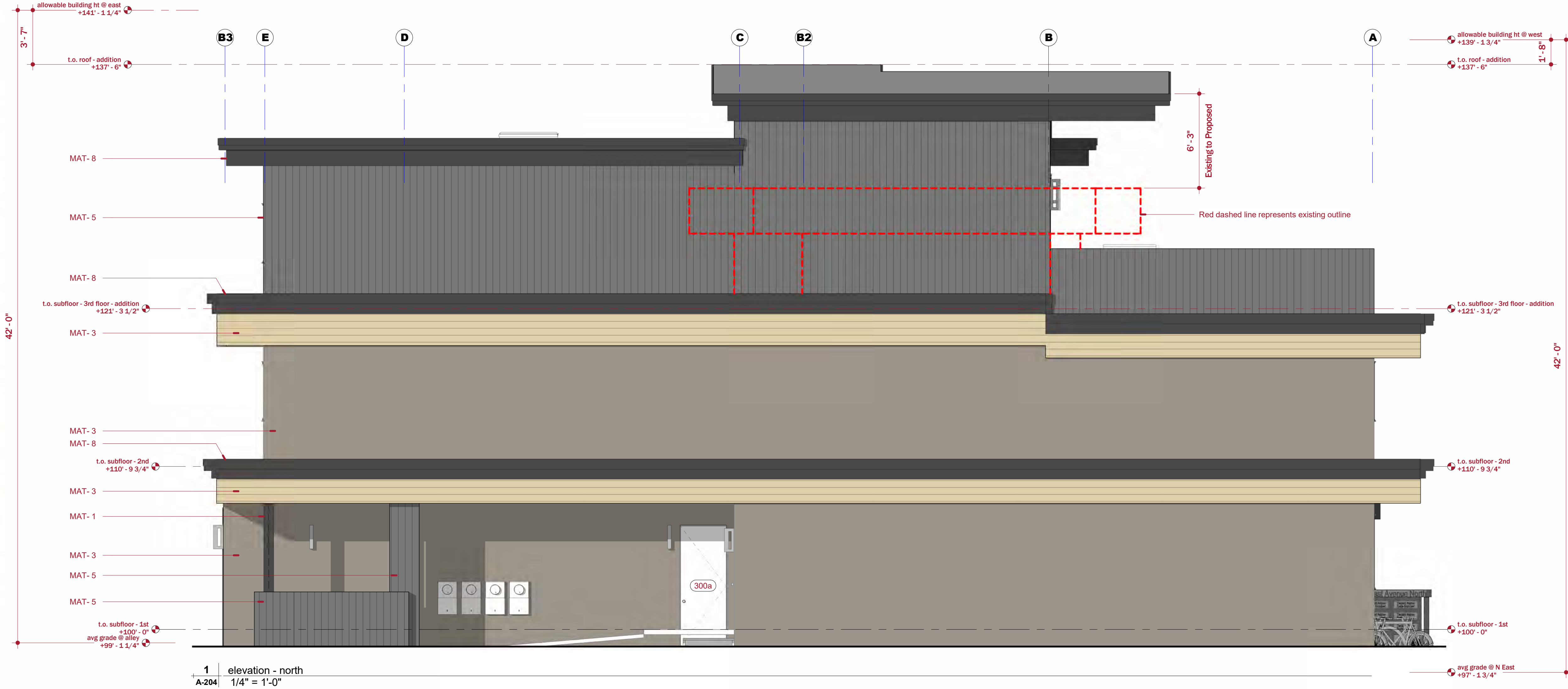
Existing tree conditions, North Elevation



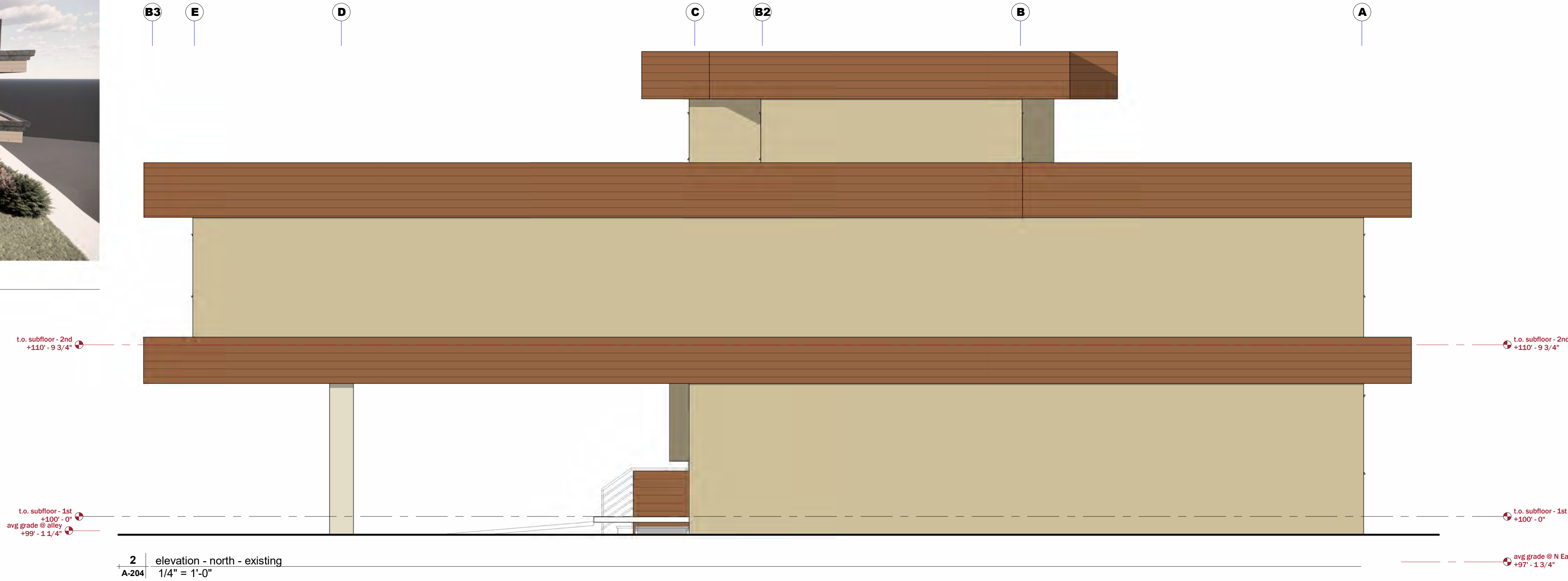
Existing tree conditions, North Elevation



3 North Perspective
A-204 12" = 1'-0"



1 elevation - north
A-204 1/4" = 1'-0"



2 elevation - north - existing
A-204 1/4" = 1'-0"

M Series + DRD2

Cutsheet for exterior location



4" Round Downlight

Modular System Flexibility during and after installation with interchangeable modules, optics and trims

Quick Install Integrated driver and plug-and-play connection require no wiring

High Performance Precise lighting control without sacrificing stellar efficiency

Enhanced Dimming Smooth, Flicker-free dimming options down to 0.1%

INSTALLATION

Ceiling Thickness

New construction: 1/2" up to 1 1/4"

Remodel: 1/2" up to 1 1/2"

Ceiling Material

Drywall, Millwork

TRIMS

Aperture

4"

Shape

Round

Style

Beveled, Hyperbolic, Pinhole, Flangeless, Wall Wash, Decorative

Finish

White, Black, Bronze, Clear Diffused, Warm Diffused, Custom

LIGHT OUTPUT & DISTRIBUTION

Module

Fixed

Lumens (Power)

750 lm (9.5W), 1000 lm (12.5W), 1250 lm (14.5W), 1500 lm (16.5W)

Color Quality

93+ CRI, 2-step SDCM

Color Temperature

2700K, 3000K, 3500K

4000K, Warm Dim (3000K-1800K)

Tunable White (4000K-1800K), Tunable White (6500K-2700K)

Beam Spread

Narrow Spot (15°), Wide Flood (60°)

Spot (25°), General (90°)

Flood (40°), Linear Spread

Soft Focus

POWER & CONTROLS

Input Voltage

120/277V

Dimming

0-10V (1%), TRIAC/ELV (1%), EcoSystem (1%), DALI 2 (0.1%)

RATINGS & CERTIFICATIONS

Housing

IC (Insulation Contact) Rated

ASTM E283 Certified Air Tight

Code compliant for use in fire-rated assemblies up to a maximum of 2-hours

STC/IC Sound Rated

Chicago Plenum

RoHS Compliant

Module and Trim

UL Listed for Wet Location (I-labeled Trim Only)

NSF Listed

Warranty

5 year limited warranty; 50,000 hours

DMF LIGHTING 1118 E. 22nd St. Carson, CA 90745 323.934.7779 info@dmflighting.com dmflighting.com

© 2025 DMF Lighting. All Rights Reserved. Specifications subject to change without notice. See website for U.S. and international patent information.



Fixture not used for exterior use

A - Recessed Ceiling Can -

- Dark sky compliant
- 2700K
- 0 fixtures
- Located in roof soffits

RECTANGLE STEP LIGHTS 12V

4011



PRODUCT DESCRIPTION

Horizontal rectangle step light designed for safety and style on stairways, patios, decks, balcony areas, walkways and building perimeters.

Features an architectural design. Energy efficient for long-lasting outdoor lighting solutions. Creates an attractive, romantic impression at night.

FEATURES

- Solid diecast brass, corrosion resistant aluminum alloy, or cast stainless steel construction
- IP66 rated. Protected against high-pressure water jets
- Conveniently adapts into existing 12V system
- Invisible hardware
- Maintains constant lumen output against voltage drop
- UL 1838 Listed

ORDERING NUMBER

	Color Temp	CRI	Finish	Lumens
4011	27	2700K	90	BBR Bronze on Brass
				BK Black on Aluminum
				BZ Bronze on Aluminum
				WT White on Aluminum
	30	3000K	90	BBR Bronze on Brass
				BK Black on Aluminum
				BZ Bronze on Aluminum
				WT White on Aluminum
	AM	Ambier		BBR Bronze on Brass
				BK Black on Aluminum
				BZ Bronze on Aluminum
				WT White on Aluminum

Example: 4011-30BK

wacighting.com Phone (800) 526-2588 Fax (800) 526-2585 Headquarters/Eastern Distribution Center 44 Harbor Park Drive Port Washington, NY 11050 Central Distribution Center 1600 Distribution Ct Lithia Springs, GA 30122 Western Distribution Center 1750 Archibald Avenue Ontario, CA 91760

WAC Lighting retains the right to modify the design of our products at any time as part of the company's continuous improvement program. JUL 2016

B - Step Louvre -

- Dark sky compliant
- CRI 2700K
- 16 fixtures
- Patio/Entry walls, 12" above pavers
- Upper patio cabinets, 40" above pavers

TUBE ARCHITECTURAL DS-WD08

LED Wall Mounts



PRODUCT DESCRIPTION

The latest energy efficient LED technology in an appealing cylindrical profile delivers accent and wall wash lighting. Comes in various light distribution and beam angle options.

FEATURES

- High performance exterior rated LED wall mount light
- Can be installed up, down, or in any direction
- Solid aluminum construction
- 5 year warranty

SPECIFICATIONS

Input: Universal voltage 120V - 277V AC, 50/60Hz
Dimming: Electronic low voltage (ELV) 100% - 5%
Light Source: High output 3 Step Mac Adam Ellipse COB
Rated life of 60,000 hours at L70
Electrostatically powder coated. White, black, bronze and graphite
Standards: IP65 rated, ETL & cETL wet location listed
Titled 24 JAB 2016 Compliant
Operating Temp: -13°F to 122°F (-25°C to 50°C)

ORDERING NUMBER

Diameter	Watt	Beam Angle	Color Temp	CRI	Reference Output*	Efficacy	Light Distribution	Finish
S Spotlight down	18"	18°	9275	2700K	90	8080 x 2	51.87	57 x 2
			275	2700K	85	2885 x 2	16.84	57 x 2
			305	3000K	85	3355 x 2	19.87	86 x 2
			355	3500K	85	4030 x 2	18.07	86 x 2
			405	4000K	85	4095 x 2	20.15	89 x 2
N Spotlight up and down	25"	25°	9275	2700K	90	3185 x 2	105.56	68 x 2
			275	2700K	85	2880 x 2	14.26	68 x 2
			305	3000K	85	3380 x 2	17.28	82 x 2
			355	3500K	85	4070 x 2	13.60	88 x 2
			405	4000K	85	4240 x 2	14.00	92 x 2
F Spotlight up and down	35"	35°	9275	2700K	90	3015 x 2	54.75	66 x 2
			275	2700K	85	2785 x 2	22.11	62 x 2
			305	3000K	85	3210 x 2	61.11	70 x 2
			355	3500K	85	3850 x 2	73.34	84 x 2
			405	4000K	85	3945 x 2	75.17	85 x 2
DS-WD08 8" 34W v2	8"	N/A	927A	2700K	90	3020 x 2	66 x 2	82 x 2
			27A	2700K	85	2790 x 2	72 x 2	82 x 2
			30A	3000K	85	3355 x 2	84 x 2	84 x 2
			35A	3500K	85	3950 x 2	86 x 2	86 x 2
			40A	4000K	85	4015 x 2	87 x 2	87 x 2
F Toward the wall	N/A	N/A	927B	2700K	90	3020 x 2	66 x 2	82 x 2
			27B	2700K	85	2790 x 2	72 x 2	82 x 2
			30B	3000K	85	3355 x 2	84 x 2	84 x 2
			35B	3500K	85	3950 x 2	86 x 2	86 x 2
			40B	4000K	85	4015 x 2	87 x 2	87 x 2
F One side each	N/A	N/A	927C	2700K	90	3020 x 2	66 x 2	82 x 2
			27C	2700K	85	2790 x 2	72 x 2	82 x 2
			30C	3000K	85	3355 x 2	84 x 2	84 x 2
			35C	3500K	85	3950 x 2	86 x 2	86 x 2
			40C	4000K	85	4015 x 2	87 x 2	87 x 2

Example: DS-WD08-F930A-WT *Reference output shows 40W output. Multiply by 0.8 to determine output for 34W combinations

wacighting.com Phone (800) 526-2588 Fax (800) 526-2585 Headquarters/Eastern Distribution Center 44 Harbor Park Drive Port Washington, NY 11050 Central Distribution Center 1600 Distribution Ct Lithia Springs, GA 30122 Western Distribution Center 1750 Archibald Avenue Ontario, CA 91760

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C - Wall sconce -

- Dark sky compliant
- CRI 2700K
- 8 fixtures
- Garage/Entry - 8ft high
- Upper Level Patio - 8ft high

RECTANGLE STEP LIGHTS 12V

4011



TESTED MAGNETIC LOW VOLTAGE (MLV) DIMMERS

Luminaire	Manufacturer	Family	Model	Power Rating	Range*	Note
4011	LUDON	VAVR	SLV-600P	600W	12% - 100%	Best performance
			SLV-10P	100W		Not recommended

*Low end of this range is determined by output current which may not directly translate to the perceived light output

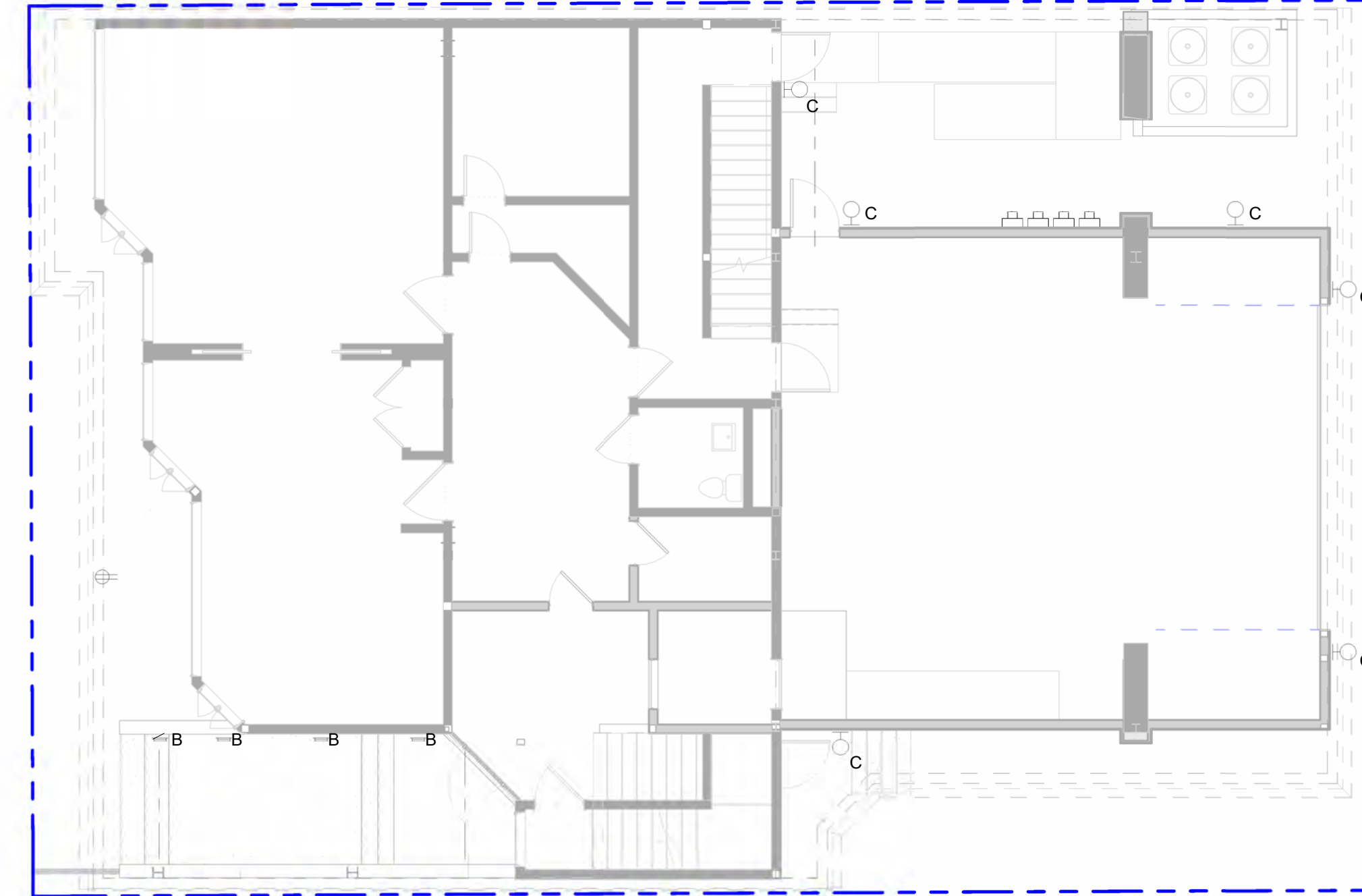
WAC Lighting fixtures are compatible with a variety of dimmers. For your convenience we have included a compatibility chart showing dimmers which have been tested with our products. The recommended list below is based upon testing conducted in a lab, and the results can vary in certain field applications due to a number of factors. Exclusion from the list does not imply incompatibility, just that it has not been tested by WAC Lighting. Please reference the dimmer manufacturer's instructions for installation, or contact a WAC Lighting professional at 800-526-2588.

Spacing Recommendations for Optimal Light Distribution



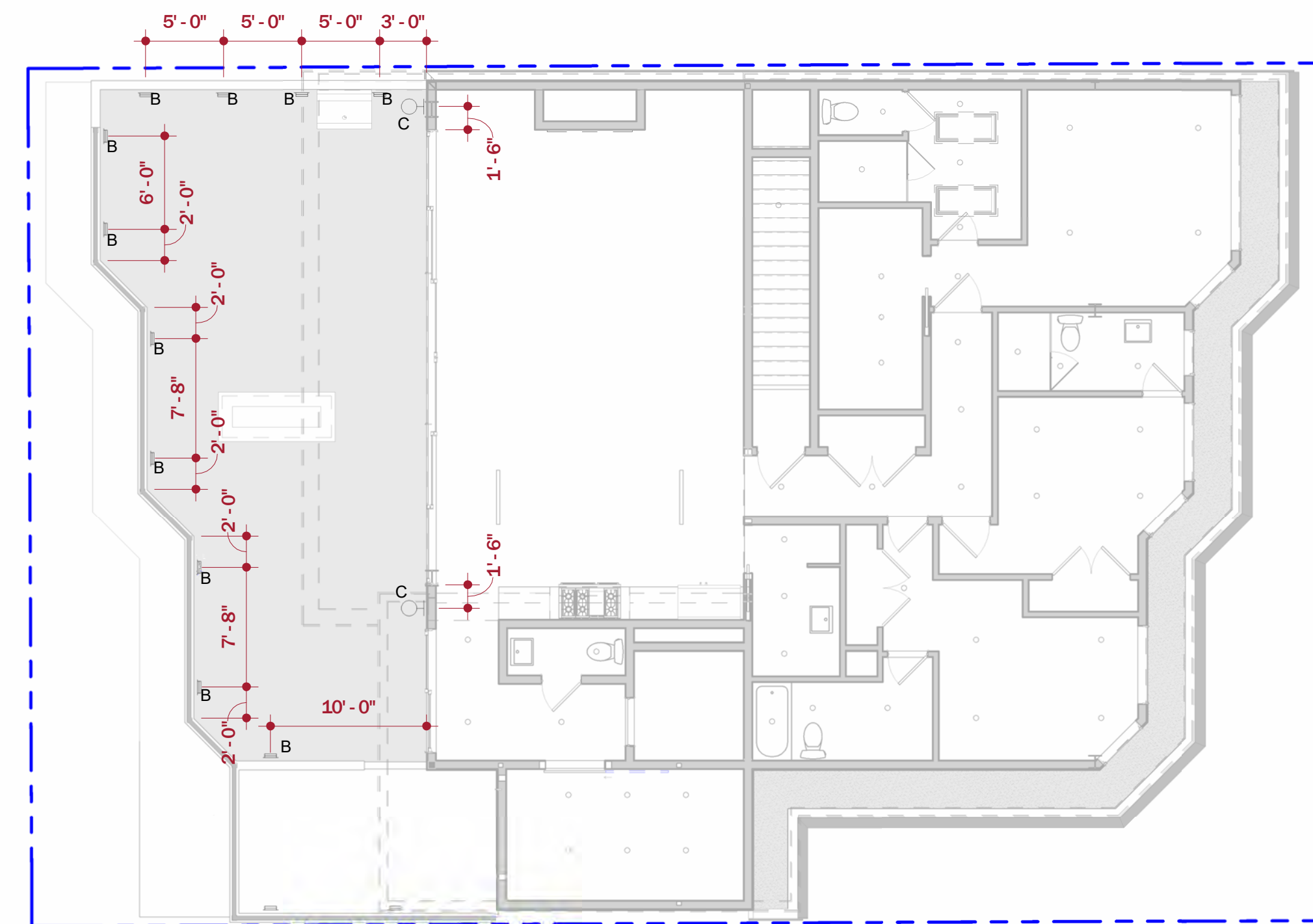
wacighting.com Phone (800) 526-2588 Fax (800) 526-2585 Headquarters/Eastern Distribution Center 44 Harbor Park Drive Port Washington, NY 11050 Central Distribution Center 1600 Distribution Ct Lithia Springs, GA 30122 Western Distribution Center 1750 Archibald Avenue Ontario, CA 91760

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1 exterior lighting plan - 1st floor

E-100 1/8" = 1'-0"



2 exterior lighting plan - 3rd floor

E-100 1/8" = 1'-0"



PROJECT: 120 N East LLC

120 N East Ave
Ketchum, Idaho
83340

Permit Set: 02/06/2025

Construction Set: xx/xx/xx

REVISION DATE

NOTES:



electrical

SCALE: As indicated

E-100

DRAWN BY: Author

Plot Date: 2/6/2025 4:01:50 PM